

DESIGN REVIEW COMMISSION MEETING SPECIAL MEETING AGENDA

7:00 PM - Wednesday, March 29, 2023

*Community Meeting Chambers, Los Altos City Hall
1 North San Antonio Road, Los Altos, CA*

Members of the Public may call **(253) 215-8782** to participate in the conference call (Meeting ID: **873 9470 0145** or via the web at <https://tinyurl.com/4v7whnnx> with Passcode: **593203**). Members of the Public may only comment during times allotted for public comments and public testimony will be taken at the direction of the Commission Chair. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

1. Design Review Commission Minutes

Approve the minutes of the regular meeting of March 1, 2023.

DISCUSSION

2. SC22-0031– Jun Zhang – 1248 Via Huerta

Design review for a new two-story house. The project will include a new house with 3,446 square feet at the first story and 624 square feet at the second story. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *THE ITEM WAS CONTINUED FROM THE FEBRUARY 15, 2023 DRC MEETING.*

Project Planner: Gallegos

3. SC22-0030 – Pisuttisuk Kittipongdaja – 1081 Nottingham Way

Design review for a 51 square-foot first story, 218 square-foot first story patio addition, and 90 square-foot second story addition to an existing two-story house. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos*

4. SC22-0032 - Hannah Chiu - 749 University Avenue

Design Review for the construction of a new two-story house including 1,578 square feet at the first story and 1,223 square feet at the second story. A 710 square-foot, attached accessory dwelling unit is also proposed, but not subject to design review. This project is categorically exempt from environmental review under 15303 of the California Environmental Quality Act (CEQA). *Project Planner: Liu*

COMMISSIONERS' REPORTS AND COMMENTS

POTENTIAL FUTURE AGENDA ITEMS

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility. The City ADA Coordinator can be reached at (650) 947-2607 or by email: ada@losaltosca.gov.

Agendas, Staff Reports and some associated documents for Design Review Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

If you wish to provide written materials, please provide the Commission Staff Liaison with 10 copies of any document that you would like to submit to the Commissioners in order for it to become part of the public record.

For other questions regarding the meeting proceedings, please contact the City Clerk at (650) 947-2720.



DESIGN REVIEW COMMISSION MEETING MINUTES

7:00 PM - Wednesday, March 1, 2023

Telephone/Video Conference Only

CALL MEETING TO ORDER

At 7:00 p.m. Vice-Chair Ma called the meeting to order.

ESTABLISH QUORUM

- PRESENT: Vice-Chair Ma, Commissioners Blockhus and Mantica
 ABSENT: Chair Harding and Commissioner Klein
 STAFF: Senior Planner Gallegos

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

- Design Review Commission Minutes**
Approve the minutes of the regular meeting of February 15, 2023.

Action: Upon a motion by Commissioner Blockhus, seconded by Commissioner Mantica, the Commission approved the minutes of the regular meeting of February 15, 2023 as written.

The motion was approved (3-0) by the following vote:

AYES: Ma, Blockhus and Mantica

NOES: None

ABSENT: Harding and Klein

DISCUSSION

- SC22-0035 – Jenny Kang – 825 Parma Way**
Design review application for a new two-story house. The project includes 2,587 square feet at the first story and 1,448 square feet at the second story. This project should be categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos THIS ITEM WAS CONTINUED FROM THE FEBRUARY 1, 2023 DRC MEETING*

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review application SC22-0035 subject to the listed findings and conditions and answered questions from Commissioner Blockhus.

APPLICANT PRESENTATION

Applicant Jenny Kang provided a project presentation and answered a question from Commissioner Blockhus.

PUBLIC COMMENT

Resident Linda Davidson provided comments.

Applicant Jenny Kang provided a rebuttal.

Vice-Chair Ma closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Mantica, seconded by Commissioner Blockhus, the Commission approved design review application SC22-0035 per the staff report findings and conditions, with the following additional condition:

- Recommend the neighbors talk to each other to discuss the landscape screening.

The motion was approved (3-0) by the following vote:

AYES: Ma, Blockhus and Mantica

NOES: None

ABSENT: Harding and Klein

COMMISSIONERS' REPORTS AND COMMENTS

None.

POTENTIAL FUTURE AGENDA ITEMS

Senior Planner Gallegos stated that the next meeting will be on March 15, 2023 will a full agenda including the project at 1248 Via Huerta that was continued from the February 1, 2023 meeting.

ADJOURNMENT

Vice-Chair Ma adjourned the meeting at 7:37 PM.

Sean Gallegos
Senior Planner



DATE: March 29, 2023

AGENDA ITEM # 2

TO: Design Review Commission

FROM: Sean Gallegos, Senior Planner

SUBJECT: SC22-0031 – 1248 Via Huerta

RECOMMENDATION:

Approve design review application SC22-0031 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new house. The project includes 3,502 square feet at the first story and 624 square feet at the second story. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-family, Residential

ZONING: R1-10

PARCEL SIZE: 14,074 square feet

MATERIALS: composition shingle, stucco and cedar siding, fiberglass windows and wood trim and doors,

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	2,369 square feet	3,127 square feet	4,925.9 square feet
FLOOR AREA:			
Main floor (2 nd floor)	2,369 square feet	3,502 square feet	
Lower floor (1 st floor)	-	624 square feet	
Total	2,369 square feet	4,126 square feet	4,157 square feet
SETBACKS:			
Front	26.5 feet	33.75 feet	25 feet
Rear	77.2 feet	42.25 feet	25 feet
Right side (1 st /2 nd)	10 feet/-	10 feet/25.2 feet	10 feet/17.5 feet
Left side(1 st /2 nd)	11.5 feet/-	17.35 feet/38 feet	10 feet/17.5 feet
HEIGHT:	23 feet	26.3	27 feet

BACKGROUND

Design Review Commission Action

At their meeting on February 15, 2023, the Design Review Commission considered the proposed project. Following input from the applicant and public comments, the Commission discussed the proposed project and voted unanimously (5-0), to continue the project. The Commission continued the item due to the following concern:

1. A neighbor raised a concern that an easement on the subject property limited any structure at the subject site to a maximum one-story height.

The February 15, 2023 Design Review Commission agenda report and meeting minutes are attached for reference (Attachments A and B).

DISCUSSION

Design Review

The applicant responded to the neighbor's comments in the following manner.

1. In response to the neighbor's claim that an easement limited the subject site to one-story, the applicant provided the Title Report (Attachment C) and Covenants, Conditions, and Restrictions (CC&Rs) documents (Attachment D) for the property.

In reviewing the Title Report, the report did not show that an easement, restriction or encumbrance was recorded against the subject site stating the maximum height of a structure at the site is limited to one-story.

Staff's review of the CC&Rs did not find the document limited structures on the subject site to a maximum one-story height. In regard to the CC&Rs, the city is not a party to CC&Rs: therefore, we will not enforce any element of a CC&R.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Via Huerta and Chuleta Court. The Notification Map is included in Attachment C.

Based on neighborhood outreach efforts, the applicants have provided documentation showing outreach to the neighbors in the immediate neighborhood context. A document from the applicant regarding outreach is included in Attachment D.

Public Correspondence

No correspondence was received from neighboring property owners.

Cc: Jun Zhang, Applicant and Designer
Patricia Sierra, Property Owners

Attachments:

- A. Design Review Commission Minutes, February 1, 2023
- B. Design Review Commission Agenda Report, February 1, 2023
- C. Preliminary Title Report
- D. Covenants, Conditions, and Restrictions (CC&Rs)
- E. Design Review Commission Project Plans, March 1, 2023

FINDINGS

SC22-0031 – 1248 Via Huerta

With regard to the new one-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

1. The proposed new house complies with all provision of this chapter;
2. The height, elevations, and placement on the site of the proposed new house, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
3. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
4. The orientation of the proposed new house in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
5. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
6. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC22-0031 – 1248 Via Huerta

GENERAL

1. Expiration

The Design Review Approval will expire on February 15, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on February 1, 2023, except as may be modified by these conditions.

3. Protected Trees

The existing trees shall be protected under this application and cannot be removed without a tree removal permit from the Development Services Director.

4. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

5. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

6. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

7. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or

permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

10. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

11. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. Reach Codes

Building Permit Applications submitted on or after January 1, 2023 shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Outdoor Condensing Unit Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s), the nominal size of the unit, and setback to the nearest property line. Provide the manufacturer's specifications showing the sound rating for each unit.

The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Off-haul Excavated Soil

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

18. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

19. Tree Protection

Tree protection fencing shall be installed around the dripline(s), or as required by the project arborist, of the existing trees as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

20. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

21. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

22. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

23. Green Building Verification

Submit verification that the house was built in compliance with the City’s Green Building Ordinance (Chapter 12.26 of the Municipal Code).



DESIGN REVIEW COMMISSION MEETING MINUTES

7:00 PM - Wednesday, February 15, 2023

Telephone/Video Conference Only

CALL MEETING TO ORDER

At 7:10 p.m. Chair Harding called the meeting to order.

ESTABLISH QUORUM

PRESENT: Chair Harding, Vice-Chair Ma, Commissioners Blockhus, Klein and Mantica

STAFF: Senior Planner Gallegos and Associate Planner Jia Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. **Design Review Commission Minutes**

Approve the minutes of the regular meeting of January 4, 2023.

Action: Upon a motion by Commissioner Klein, seconded by Commissioner Mantica, the Commission approved the minutes of the regular meeting of January 4, 2023 as written.

The motion was approved (3-0-2) by the following vote:

AYES: Harding, Klein and Mantica

NOES: None

ABSTAIN: Ma and Blockhus

2. **Design Review Commission Minutes**

Approve the minutes of the regular meeting of February 1, 2023.

Action: Upon a motion by Commissioner Blockhus, seconded by Vice-Chair Ma, the Commission approved the minutes of the regular meeting of February 1, 2023 as written.

The motion was approved (4-0-1) by the following vote:

AYES: Harding, Ma, Blockhus and Klein

NOES: None

ABSTAIN: Mantica

DISCUSSION

3. **SC22-0029 - Bryan Lee - 5790 Arboretum Drive**

Design Review for the expansion of a second story deck to an existing two-story house. The project also includes a 190 square-foot addition at the first story. This project is categorically

exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC22-0029 subject to the listed findings and conditions and answered questions from Commissioners Klein and Blockhus, and Vice-Chair Ma.

APPLICANT PRESENTATION

Camden Santo of Square 3 Architecture Inc. provided a project presentation and property owner Marwan Eways spoke to the project.

PUBLIC COMMENT

None.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission continued design review application SC22-0029 to a date uncertain in order for the project to return to the DRC for review with a variance application.

The motion was approved (5-0) by the following vote:

AYES: Harding, Ma, Blockhus, Klein and Mantica

NOES: None

4. SC22-0001 – Anat Sokol – 1000 Crooked Creek Drive

Design review for a new two-story house. The project will include a new house with 3,103 square feet at the first story and 1,803 square feet at the second story. The project includes a 489 square-foot attached accessory dwelling unit, which is not part of the design review application. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos* THIS ITEM HAS BEEN CONTINUED TO A DATE UNCERTAIN.

5. SC22-0023 – Steve Collom – 435 Casita Way

Design review for a 548 square-foot first story and 704 square-foot second story addition to an existing one-story house. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. *Project Planner: Gallegos*

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review application SC22-0023 subject to the listed findings and conditions and answered questions from Commissioner Klein and Vice-Chair Ma.

APPLICANT PRESENTATION

Applicant and project architect, Steve Collum of RH Associates Architects, provided a project presentation and answered questions from Commissioner Blockhus and Vice-Chair Ma.

The property owner spoke to the neighborhood outreach completed for the project.

PUBLIC COMMENT

Neighbor Mark Vasser provided public comment.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Blockhus, seconded by Commissioner Mantica, the Commission approved design review application SC22-0023 subject to the listed findings and conditions. The motion was approved (5-0) by the following vote:
AYES: Harding, Ma, Blockhus, Klein and Mantica
NOES: None

6. SC22-0031– Jun Zhang – 1248 Via Huerta

Design review for a new two-story house. The project will include a new house with 3,446 square feet at the first story and 624 square feet at the second story. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Planner: Gallegos*

STAFF PRESENTATION

Senior Planner Gallegos presented the staff report recommending approval of design review application SC22-0031 subject to the listed findings and conditions and answered questions from Chair Harding and Commissioner Blockhus.

APPLICANT PRESENTATION

Applicant and architect Henry Zeng provided a project presentation.

PUBLIC COMMENT

Neighbors Susanne Hollands, Wei Lien Dang, Jim Stoner and Chris Holland and former resident Sandy Sierra that grew up in the home provided public comments.

Chair Harding closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Blockhus, the Commission continued design review application SC22-0031 to the next DRC meeting on March 1, 2023. The motion was approved (5-0) by the following vote:
AYES: Harding, Ma, Blockhus, Klein and Mantica
NOES: None

COMMISSIONERS' REPORTS AND COMMENTS

Chair Harding commented on the Commission meeting protocols going forward for the DRC, which they received from the Interim City Clerk. Senior Planner Gallegos provided more detailed information on the new meeting format. Commissioner Klein asked some clarifying questions about in-person attendance at meetings.

POTENTIAL FUTURE AGENDA ITEMS

Senior Planner Gallegos stated that the next meetings will be on March 1, 2023 and March 15, 2023. The April 5, 2023 DRC meeting will be Cancelled due to the Passover holiday.

ADJOURNMENT

Chair Harding adjourned the meeting at 9:36 PM.

Sean Gallegos
Senior Planner

DATE: February 15, 2025

AGENDA ITEM # 6



TO: Design Review Commission
FROM: Sean Gallegos, Senior Planner
SUBJECT: SC22-0031 – 1248 Via Huerta

RECOMMENDATION:

Approve design review application SC22-0031 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for new house. The project includes 3,502 square feet at the first story and 624 square feet at the second story. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-family, Residential
ZONING: R1-10
PARCEL SIZE: 14,074 square feet
MATERIALS: composition shingle, stucco and cedar siding, fiberglass windows and wood trim and doors,

	Existing	Proposed	Allowed/Required
LOT COVERAGE:	2,369 square feet	3,127 square feet	4,925.9 square feet
FLOOR AREA:			
Main floor (2 nd floor)	2,369 square feet	3,502 square feet	
Lower floor (1 st floor)	-	624 square feet	
Total	2,369 square feet	4,126 square feet	4,157 square feet
SETBACKS:			
Front	26.5 feet	33.75 feet	25 feet
Rear	77.2 feet	42.25 feet	25 feet
Right side (1 st /2 nd)	10 feet/-	10 feet/25.2 feet	10 feet/17.5 feet
Left side(1 st /2 nd)	11.5 feet/-	17.35 feet/38 feet	10 feet/17.5 feet
HEIGHT:	23 feet	26.3	27 feet

BACKGROUND

Neighborhood Context

The subject property is located in a Diverse Character Neighborhood, as defined in the City’s Residential Design Guidelines. The subject property is located on Via Huerta between Sierra Ventura Drive and Via Maderos, and the site slopes upward from the street frontage. Along Via Huerta, there are primarily two-story Ranch style houses that are similar in size, footprint, design characteristics, building scale, and rustic materials. The exterior materials commonly used include stucco, horizontal siding and board and batten siding and wood trim accents. Roof forms are mostly low-sloped pitched gable, hipped and Dutch-gable roofs with composition shingles. The residences have low scale horizontal eave lines with wall plates that appear to be between eight to nine feet in height and garages that face the street or face a side yard. The neighborhood character appears consistent through rustic materials, similar house scale, and roof forms. The street does not have a consistent street tree pattern but does have a variety of mature trees and vegetation.

DISCUSSION

According to the Design Guidelines, in Diverse Character Neighborhoods, good neighbor design has its own design integrity while incorporating some design elements, materials and scale found in the neighborhood.

As depicted in the design plans (Attachment G), the applicant proposes a new two-story residence with an attached garage. The proposed setbacks meet or exceed the required setbacks for the R1-10 zoning district. Please refer to the table above for more specific setbacks proposed and as required pursuant to the R1-10 Zoning District Standards found in Los Altos Municipal Code (LAMC) Chapter 14.06.



The proposed two-story house has a traditional style that uses design elements and materials that are compatible with the immediate neighborhood. The project uses design elements such as a gable and hipped roof forms, articulated massing, steep-pitched (6:12) roof, and high-quality materials that are compatible with the neighborhood. The project does a good job of integrating the hipped and gable roof forms and recessed entry porch, which are elements from the neighborhood, while still establishing its own design integrity. The project is utilizing high quality materials, such as composition shingle, stucco siding, stone veneer, wood trim, aluminum clad wood windows and doors, which are integral to the architectural design of the house. The project’s material board is included as Attachment E. Overall, the project is compatible with this diverse character neighborhood setting and has an appropriate relationship to the adjacent structures.

Due to the slope of the site, the house will appear as a one-story structure with a tall finished floor height when viewed from the street and a portion of the structure is recessed into the grade along the sides and rear, which reduces the perception of excessive bulk. Due to the slope of the lot, there are multiple first and second story levels for the home. Along the front and right side of the house, a garage is proposed at a first floor level, and a master bedroom and master bathroom are proposed at the second floor level. At the first floor level to the left of the garage and behind the stairs, the applicant proposes a foyer, living room, office, kitchen, nook, three bedrooms, three full bathrooms, one powder room, and a second floor level is proposed with a family-multi-function room.

According to the Residential Design Guidelines, a house should be designed to fit the lot and should not result in a home that stands out in the neighborhood. On hillside lots, the Residential Design Guidelines recommends the following:

- Dwellings on hillside lots should reflect the topography in their designs by following the natural contours of the site, with minimal grading.
- Use split-level and multi-level plans.
- Avoid tall walls under the first floor by stepping the floor level with the grade.
- Screen any open space under the living space above with either lattice or solid wall infill.
- To soften these areas, plant landscaping in front of them.
- Avoid tall unbroken expanses of wall.

Due to the upslope nature of the lot, the project minimizes the bulk and scale of the second story along the street frontage by maintaining a one- and two-story story appearance consistent with adjacent properties.

Along the front and right side of the house, the first story garage is proposed with a nine-foot plate height, and the second story master bedroom, master bathroom, walk-in closet, laundry and stairs are proposed with a nine-foot plate height. At the first-floor level to the left of the garage and behind the stairs, first floor foyer, living room, office, kitchen, nook, three bedrooms, three full bathrooms, and one powder room have a nine-foot plate height, and a second floor level is proposed with a family-multi-function room that has an eight-foot, two-inch plate height.

The Residential Design Guidelines recommends avoiding tall walls under the first story by stepping the floor level with the grade. As noted in the civil drawings (Sheet CC1), the proposed primary first floor has a topographic elevation of 323 feet and the existing house has a topographic elevation of 322.51, which is a difference of .51 feet. While the house does have a tall wall beneath the first floor along the front elevation and small segments of the left and right side elevations, the potential bulk impacts are similar to the perceived bulk impacts of the existing house due maintaining similar finished floor heights.

The project minimizes the bulk of the rear segment of the left and side elevations and rear elevation by cutting into the hillside, which results in a perceived one-story house along the rear segments of the sides and the rear elevations.

The proposed project is sensitive to the scale of the neighborhood and incorporates similar massing found within the neighborhood context in the kitchen and dining area on the main floor, and the lower level, with nine-foot respective plate heights. While the house has a steeper roof form with the 6:12 roof pitch, the roof form successfully obscures the second story family room, which minimizes the potential bulk of the second story.

While this design has a larger overall bulk, mass and scale, staff does believe that due to the hillside context and limited visibility off of the site along the sides and rear, the design appears to reasonably address the City’s design review findings related to bulk, mass and neighborhood context.

The design findings also require that a project not unreasonably interfere with views. Unless there is a view shed or easement across a property, there are no “rights” to a particular view. The intent of the City’s view finding is clarified in Section 4.1 of the Design Guidelines and relates to minimizing the visual impact of a project. On hillside lots, dwellings should reflect the topography by following the contours of the site.

The 26.25-foot-tall house is in scale with other houses within the surrounding neighborhood. The overall height is also minimized by cutting into the natural grade along rear the lot and lowering the grade approximately 3.25 feet. The house is adequately screened with trees and various landscaping and several mature trees that line the right side and the rear of the property. Overall, staff believes the height of the new house, low-scale roof form and the landscape screening diminishes view impacts to properties from the upslope.

Privacy

There are no second story windows proposed along the side and rear elevations; therefore, there are no potential privacy impacts.

Landscaping

The application includes an arborist report (Attachment F) that provides an inventory of the 21 on-site trees and three trees on adjacent properties. The applicant proposes the removal of no protected trees. A comprehensive landscaping plan has been provided. The landscaping plan includes maintaining the existing protected trees. The project meets the City’s landscaping regulations and street tree guidelines with the new landscaping and hardscape. Since the new landscaping area exceeds 500 square feet, the project requires a landscape plan that complies with the City’s Water Efficient Landscape Regulations.

ENVIRONMENTAL REVIEW

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on Via Huerta and Chuleta Court. The Notification Map is included in Attachment C.

Based on neighborhood outreach efforts, the applicants have provided documentation showing outreach to the neighbors in the immediate neighborhood context. A document from the applicant regarding outreach is included in Attachment D.

Public Correspondence

No correspondence was received from neighboring property owners.

Cc: Jun Zhang, Applicant and Designer
Patricia Sierra, Property Owners

Attachments:

- A. Neighborhood Combability Worksheet
- B. Public Notification Map
- C. Public Notice Poster
- D. Proof of Community Outreach
- E. Materials Board
- F. Arborist Report
- G. Design Plans

FINDINGS

SC22-0031 – 1248 Via Huerta

With regard to the new one-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

1. The proposed new house complies with all provision of this chapter;
2. The height, elevations, and placement on the site of the proposed new house, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
3. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
4. The orientation of the proposed new house in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
5. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
6. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC22-0031 – 1248 Via Huerta

GENERAL

1. Expiration

The Design Review Approval will expire on February 15, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on February 1, 2023, except as may be modified by these conditions.

3. Protected Trees

The existing trees shall be protected under this application and cannot be removed without a tree removal permit from the Development Services Director.

4. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

5. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

6. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

7. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or

permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

10. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

11. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City's Water Efficient Landscape Regulations and include signed statements from the project's landscape professional and property owner.

12. Reach Codes

Building Permit Applications submitted on or after January 1, 2023 shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Outdoor Condensing Unit Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s), the nominal size of the unit, and setback to the nearest property line. Provide the manufacturer's specifications showing the sound rating for each unit.

The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Off-haul Excavated Soil

The grading plan shall show specific grading cut and/or fill quantities. Cross section details showing the existing and proposed grading through at least two perpendicular portions of the site or more shall be provided to fully characterize the site. A note on the grading plans should state that all excess dirt shall be off-hauled from the site and shall not be used as fill material unless approved by the Building and Planning Divisions.

18. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

19. Tree Protection

Tree protection fencing shall be installed around the dripline(s), or as required by the project arborist, of the existing trees as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

20. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

21. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

22. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

23. Green Building Verification

Submit verification that the house was built in compliance with the City’s Green Building Ordinance (Chapter 12.26 of the Municipal Code).



City of Los Altos

Planning Division

(650) 947-2750

Planning@losaltosca.gov

NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood's special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 1248 Via Huerta, Los Altos
Scope of Project: Addition or Remodel or New Home
Age of existing home if this project is to be an addition or remodel? N/A
Is the existing house listed on the City's Historic Resources Inventory? NO

Address: 1248 Via Huerta
Date: 10/12/2022

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 14,074 ± square feet
Lot dimensions: Length 172.24 feet
Width 119.91 feet

If your lot is significantly different than those in your neighborhood, then note its: area _____, length _____, and width _____.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? N/A
What % of the front facing walls of the neighborhood homes are at the front setback 80 %
Existing front setback for house on left 25 ± ft./on right 30 ± ft.
Do the front setbacks of adjacent houses line up? ~~NO~~ YES

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)

Garage facing front projecting from front of house face 0
Garage facing front recessed from front of house face 0
Garage in back yard 1
Garage facing the side 2
Number of 1-car garages ; 2-car garages 9; 3-car garages

Address: 1248 Via Huerta
Date: 10/12/2022

4. **Single or Two-Story Homes:**

What % of the homes in your neighborhood* are:

One-story 3
Two-story 0

5. **Roof heights and shapes:**

Is the overall height of house ridgelines generally the same in your neighborhood*? YES

Are there mostly hip , gable style , or other style roofs*?

Do the roof forms appear simple or complex ?

Do the houses share generally the same eave height YES?

6. **Exterior Materials:** (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

wood shingle stucco board & batten clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

ASPHALT SHINGLE

If no consistency then explain: _____

7. **Architectural Style:** (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? Ranch Shingle Tudor Mediterranean/Spanish
 Contemporary Colonial Bungalow Other

Address: 1248 Via Huerta
Date: 10/12/2022

8. Lot Slope: (Pg. 25 Design Guidelines)

Does your property have a noticeable slope? YES

What is the direction of your slope? (relative to the street)
SLOPE UP FROM THE STREET

Is your slope higher lower same in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind? YES

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?
NO.

How visible are your house and other houses from the street or back neighbor's property?
NOT MUCH

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?
NO

10. Width of Street:

What is the width of the roadway paving on your street in feet? 30' ±
Is there a parking area on the street or in the shoulder area? YES.
Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? GUTTER

Address: 1248 Via Huerta
Date: 10/12/2022

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

SLOPE LOTS / GABLE ROOF

General Study

A. Have major visible streetscape changes occurred in your neighborhood?

YES NO

B. Do you think that most (~ 80%) of the homes were originally built at the same time?

YES NO

C. Do the lots in your neighborhood appear to be the same size?

YES NO

D. Do the lot widths appear to be consistent in the neighborhood?

YES NO

E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?

YES NO

F. Do you have active CCR's in your neighborhood? (p.36 Building Guide)

YES NO

G. Do the houses appear to be of similar size as viewed from the street?

YES NO

H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?

YES NO

Address: 1248
 Date: _____

Summary Table

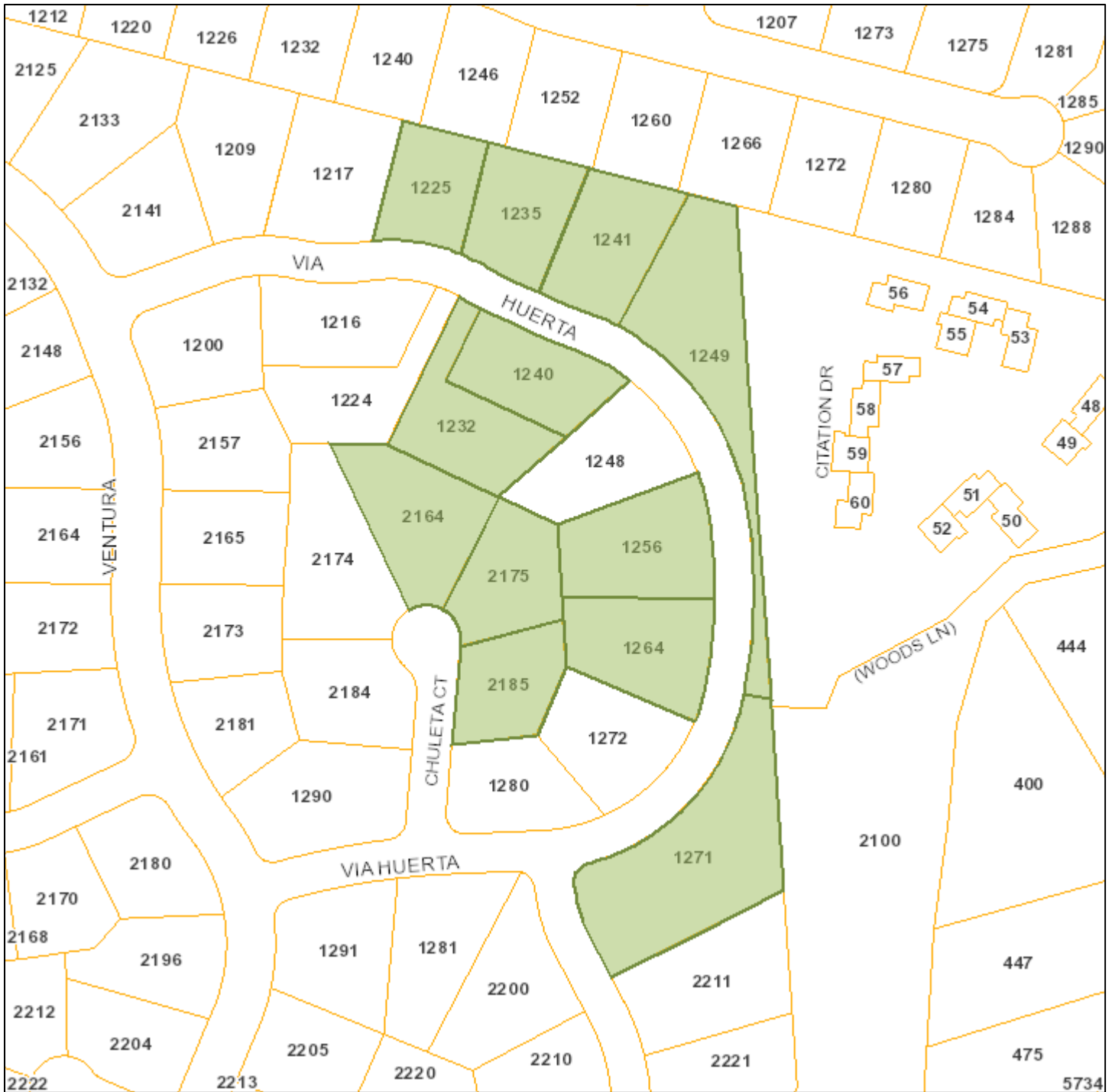
Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
1240 VA HUERTA	25	20	S	2	24	SIDING	GABLE
1232 "	25	10	S	2	25	SIDING	GABLE
1256 "	32	40	F	2	25	SIDING/BRICK	GABLE
1264 "	30	25	F	1	20	SIDING	GABLE
2164 CHULETA G.	25	20	F	1	20	SIDING	HIP
2175 "	25	20	F	1	20	STUCCO	HIP/GABLE
2185 "	25	20	F	1	20	STUCCO	HIP/GABLE
1249 VA HUERTA	25	20	F	2	25	SIDING/BRICK	GABLE
1241 "	25	30	F	2	25	SIDING	GABLE
1235 "	30	30	B	2	25	SIDING	GABLE
1225 "	25	25	F	2	25	STUCCO	GABLE

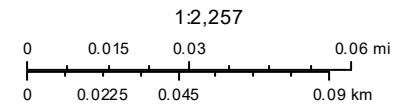
ATTACHMENT B

1248 Via Huerta Notification Map

Agenda Item 2.



Print Date: December 12, 2022



- Schools
- Park and Recreation Areas
- City Limit
- Road Names
- Waterways
- Situs Label
- TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community

From: Ryan Loh
To: Sean Gallegos
Cc: Henry Hong Zeng
Subject: Re: SC22-0031 1248 VIA HUERTA
Date: Thursday, February 2, 2023 4:56:33 PM

Hi Sean

Attached is the notice of development sign on the front of the house per your request. Please let me know if you have any questions. Thanks



Sent from my iPhone

On Feb 2, 2023, at 2:38 PM, Sean Gallegos <sgallegos@losaltosca.gov> wrote:

I received the plans, but I didn't receive a photo showing the installation of the sign. I need it.

Thanks,
Sean

Sean K. Gallegos
Senior Planner, City of Los Altos
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

From: Ryan Loh <rlloh@rdise.com>
Sent: Thursday, February 2, 2023 1:11 PM
To: Henry Hong Zeng <hzeng@steinbergart.com>
Cc: Sean Gallegos <sgallegos@losaltosca.gov>; Jun (junzhangzeng@gmail.com) <junzhangzeng@gmail.com>
Subject: Re: SC22-0031 1248 VIA HUERTA

Hi Sean

Can we get confirmation that you have received the updated plan for us to address your over the counter comments. The plan is included in the email sent by Henry yesterday and a picture showing site condition grade is less than 24" from the finish floor to the existing grade. Thanks

Ryan C LOH
Principal
C A P E S E.
T X P E

RCL Structural Engineers, Inc
570 EAST EL CAMINO REAL, SUITE D
SUNNYVALE, CA 94087
408-463.6832 main
408-464.6623 cell
rdise.com
www.rclse.com

On Wed, Feb 1, 2023 at 11:34 PM Henry Hong Zeng <hzeng@steinbergart.com> wrote:

Thank you Sean so much for the meeting today. We really appreciate your time and consideration.

1. As we discussed, attached, please see updated package with revised A4.1 and, Topo Survey (C-0) has been added to the set.

2. Public Notice has been sent to print, screenshot for your review:

<image002.png>

3. We visited the site right after our meeting and took couple of site pictures. It is around 18" from grade to the finish floor.

<image003.jpg>

<image004.png>

Again, feel free to let me know if you have any questions about the project.

Best,

Henry Hong Zeng ^{AA}
Principal
D 408 817 3200 C 408 464 5631

From: Sean Gallegos <sgallegos@losaltosca.gov>
Sent: Tuesday, January 31, 2023 10:26 AM
To: Henry Hong Zeng <h2zeng@steinberghart.com>
Subject: RE: SC22-0031 1248 VIA HUERTA

It is tomorrow.

Sean K. Gallegos
<img005.png>
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

From: Henry Hong Zeng <h2zeng@steinberghart.com>
Sent: Tuesday, January 31, 2023 9:26 AM
To: Sean Gallegos <sgallegos@losaltosca.gov>; Ryan Loh <rl@rclbe.com>; Jun Zhang <junzhangzeng@gmail.com>
Subject: RE: SC22-0031 1248 VIA HUERTA

My apology, the date of our meet is not Thursday, but tomorrow(Wednesday). I already accepted the zoom invite from you.
Thank again!

Henry Hong Zeng ^{AA}
Principal
[Steinberg Hart](mailto:h2zeng@steinberghart.com)
D 408 817 3200 C 408 464 5631

From: Henry Hong Zeng
Sent: Tuesday, January 31, 2023 9:01 AM
To: Sean Gallegos <sgallegos@losaltosca.gov>; Ryan Loh <rl@rclbe.com>; Jun Zhang <junzhangzeng@gmail.com>
Subject: RE: SC22-0031 1248 VIA HUERTA

Good morning Sean,
Thank you so much for the message.
Attached, please see The response letter and hold harmless letter. Feel free to let me know if you have any questions about it.
Again, we appreciate your help and looking forward to seeing you on Thursday 3:00pm at your office.

Best,
Henry Hong Zeng ^{AA}
Principal
[Steinberg Hart](mailto:h2zeng@steinberghart.com)
D 408 817 3200 C 408 464 5631

From: Sean Gallegos <sgallegos@losaltosca.gov>
Sent: Tuesday, January 31, 2023 8:23 AM
To: Ryan Loh <rl@rclbe.com>; Henry Hong Zeng <h2zeng@steinberghart.com>; Jun Zhang <junzhangzeng@gmail.com>
Subject: RE: SC22-0031 1248 VIA HUERTA

I received this email dated Monday, January 30, 2023, which included the plans for the project. I have not received the response letter and hold harmless, please send those documents today. If you conducted any community outreach, please provide me a copy of a letter outlining the outreach and response to public input.

Thanks,
Sean
Sean K. Gallegos
<img006.png>
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

From: Ryan Loh <rl@rclbe.com>
Sent: Monday, January 30, 2023 11:29 AM
To: Sean Gallegos <sgallegos@losaltosca.gov>; Henry Hong Zeng <h2zeng@steinberghart.com>; Jun Zhang <junzhangzeng@gmail.com>
Subject: Fwd: SC22-0031 1248 VIA HUERTA

Hi Sean
Just received the email from you regarding the drawing you requested. Henry, our architect, did resend this drawing via email on January 19, 2021. See email below. In addition, we did submit the same package back on December 29 where we have uploaded to the portal as well. I will forward you the email from Jun to notify you that we have done that because per our previous zoom meeting, if we submit before the end of the year, we will be able to be at the Feb 1 meeting. Please let us know if there is anything you will need from us. We really hope to get to the Feb 15 meeting. Thanks

Ryan C. LOH
Principal
CA P.E., S.E.
TX P.E.
RCL Structural Engineers, Inc
570 EAST EL CAMINO REAL, SUITE D
SUNNYVALE, CA 95087
408.463.6832 main
408.464.6623 cell
rl@rclbe.com
www.rclbe.com

----- Forwarded message -----
From: Henry Hong Zeng <h2zeng@steinberghart.com>
Date: Thu, Jan 19, 2023 at 4:39 PM
Subject: RE: SC22-0031 1248 VIA HUERTA
To: Sean Gallegos <sgallegos@losaltosca.gov>; Ryan Loh <rl@rclbe.com>
Cc: Jun Zhang <junzhangzeng@gmail.com>

Hi, Sean,
Thank you so much for the responses.
Attached, please see the updated plans (reduced size) and let me know if you have any questions about it.
Best and Happy New Year!

Henry Hong Zeng ^{AA}
Principal
[Steinberg Hart](mailto:h2zeng@steinberghart.com)
D 408 817 3200 C 408 464 5631

From: Sean Gallegos <sgallegos@losaltosca.gov>
Sent: Thursday, January 19, 2023 4:17 PM
To: Ryan Loh <rl@rclbe.com>
Cc: Jun Zhang <junzhangzeng@gmail.com>; Henry Hong Zeng <h2zeng@steinberghart.com>
Subject: RE: SC22-0031 1248 VIA HUERTA

Ryan,
Can you please send me the update plans? I need them to confirm the meeting date.
Thanks,
Sean

Sean K. Gallegos
<img007.png>
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

From: Sean Gallegos
Sent: Thursday, January 19, 2023 4:17 PM
To: Ryan Loh <rl@rclbe.com>
Cc: Jun Zhang <junzhangzeng@gmail.com>; Henry Hong Zeng <h2zeng@steinberghart.com>
Subject: RE: SC22-0031 1248 VIA HUERTA

Ryan,

Your item is not scheduled for the DRC meeting of February 1, 2023. We didn't have a chance to finalize our review of your resubmittal, but I can schedule your item for the DRC meeting of February 15, 2023.

Sean

Sean K. Gallegos
Senior Planner, City of Los Altos
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

From: Ryan Loh <rl@rlrche.com>
Sent: Wednesday, January 18, 2023 8:44 AM
To: Sean Gallegos <sgallego@losaltosca.gov>
Cc: Jun Zhang <junzhangzeng@gmail.com>; Henry Zeng <hzeng@steinberghart.com>
Subject: Re: SC22-0031 1248 VIA HUERTA

Hi Sean

Hope you have a great MLK weekend. We would like to know if you can give us an update on our project in regard to be on the February 1 DRC calendar. We know all planners are very busy now, any update will be appreciated! Thanks

Sent from my iPhone

On Jan 11, 2023, at 9:09 AM, Ryan Loh <rl@rlrche.com> wrote:

Hi Sean

Happy New Year!

We would like to follow up regarding our plan resubmittal for 1248 Via Huerta which we resubmitted on Dec 29, 2022 and if we are on the February 1, 2023 DRC meeting calendar? Can you please provide us an update? Thanks

Ryan C LOH, S.E
Principal
RCL Structural Engineers, Inc
570 EAST EL CAMINO REAL, SUITE D
SUNNYVALE, CA 94087
408-463-6832 main
408-494-6623 cell
408-685-2038 fax
rl@rlrche.com
www.rclse.com

On Thu, Dec 15, 2022 at 5:50 PM Sean Gallegos <sgallego@losaltosca.gov> wrote:

Jun,

The next available DRC meeting is on Wednesday, February 1, 2023 at 7:00 pm. We must have your plans submitted by January 7, 2023.

Thanks,
Sean

Sean K. Gallegos
Senior Planner, City of Los Altos
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

From: Jun Zhang <junzhangzeng@gmail.com>
Sent: Thursday, December 15, 2022 5:00 PM
To: Sean Gallegos <sgallego@losaltosca.gov>
Cc: Henry Zeng <hzeng@steinberghart.com>; Ryan Loh <rl@rlrche.com>
Subject: Re: SC22-0031 1248 VIA HUERTA

Hi, Sean

Thank you so much for spending time with us this morning and it was really helpful.

Henry will send you his revised design soon while the whole team is working to address the comments.

To get Review Board to review our project on 2/1/2023, when we should re-submit our package and when we should have the poster established on site?

Thank you and good night!

Jun

Sent from my iPad

On Dec 8, 2022, at 4:22 PM, Sean Gallegos <sgallego@losaltosca.gov> wrote:

Good Afternoon,

We have completed our review of the design review application or 1248 Via Huerta, and we have found the application is incomplete. An incompleteness letter is attached for your review.

Thanks,
Sean Gallegos
Senior Planner

Sean K. Gallegos
Senior Planner, City of Los Altos
(650) 947-2641 | www.losaltosca.gov
1 N. San Antonio Road | Los Altos, CA 94022

Important Dates: December 16th is the last day to submit under the current 2019 California Building Codes. Submittals after this date will need to comply with the new 2022 codes. (Applications/Submittals, when applicable, will need to have their planning approval prior to submitting to the building department)

City offices will be closed December 29th – December 30th. For additional information visit Building Services | City of Los Altos, California

If you wish to speak to me without waiting for my response, I am available by the following options:

I am available for virtual appointments on Thursday from 7:40 am to 12:00 pm. You may schedule a virtual appointment with me on **THURSDAY ONLY** at the following link: <https://calendly.com/losaltosplanning/planning-division-city-hall?back=1&month=2022-08>.

If you wish to schedule an appointment with another planner, please schedule at the following link: <https://calendly.com/losaltosplanning>



Z S D ARCHITECTS, INC
ARCHITECTURE . PLANNING . ILLUSTRATION

January 31, 2023

Subject: Community Outreach for **1248 Via Huerta (SC22-0031), Los Altos, CA 94024**
Proposed New two-story Residential house

To whom it may concern;

This letter is to inform the neighbors regarding the new development project for a new two-story house at **1248 Via Huerta, Los Altos, CA 94024** required by City of Los Altos Planning department. We have included the following drawings for your information T.0, A1.2, A2.1, A2.2, A3.1, A3.2 and material board. If there are any questions or concerns after you reviewed the drawings, please feel free to contact Henry Zeng the architect at 408.464.5631 or email at henryzeng@yahoo.com with any feedback.

Sincerely

Henry Zeng
Principal Architect

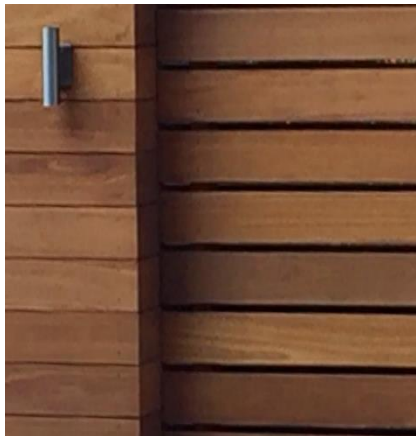
353 Costello Dr.
Los Altos CA94024
tel. 408.348.6885
cel. 408.464.5631

MATERIAL BOARD

1248 VIA HUERTA
LOS ALTOS, CA



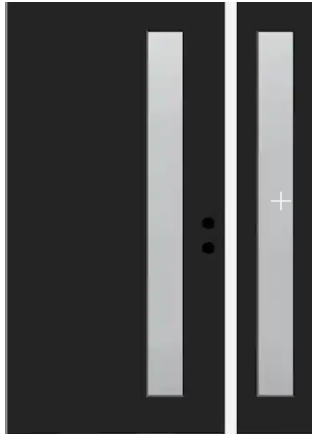
Z S D ARCHITECTS, INC.
ARCHITECTURE . PLANNING . ILLUSTRATION



CEDAR DECK RAILING
REDWOOD FENCE
SEMI-STAIN COATING/FINISH



STUCCO WALL FINISH
PAINTED WITH KM5759 COLOR



FIBERGLASS ENTRY DOOR



WOOD GARAGE DOOR
SEMI-TRANSPARENT STAIN FINISH



FIBERGLASS OR VINYL WINDOW
BRONZE/DARK BROWN COLOR



PRESIDENTIAL SINGLES ROOF

Advanced Tree Care

965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos

October 20, 2022

Jun Zhang
1248 Via Huerta
Los Altos, CA 94024

Site: 1248 Via Huerta, Los Altos

Dear Jun,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new home is proposed for this property, prompting the need for this tree protection report.

Method:

Los Altos protects all trees with a trunk diameter at 4 feet above ground level greater than 15.2 inches. Los Altos requests that all trees within the property or within 8 feet of the property lines be included on the report if the trunk diameter at standard height is greater than 4 inches.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 48 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely



Robert Weatherill
Certified Arborist WE 1936A

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Italian cypress <i>Cupressus sempervirens</i>	14.3"@grade	25/5	70	Good health and condition Not Regulated
2	Italian cypress <i>Cupressus sempervirens</i>	16.0"@grade	20/5	60	Good health, fair condition Regulated
3	Hollywood juniper <i>Juniperus 'Hollywood'</i>	7.5"	10/5	50	Fair health and condition, leaning Not Regulated
4	Hollywood juniper <i>Juniperus 'Hollywood'</i>	8.0"	12/5	50	Fair health and condition, leaning Not Regulated
5	Hollywood juniper <i>Juniperus 'Hollywood'</i>	11.8"	12/8	60	Good health and condition Not Regulated
6	Coast live oak <i>Quercus agrifolia</i>	4.3"/2.1"/2.2"	15/6	60	Good health, fair condition, multi stemmed at grade, Not Regulated
7	Monterey pine <i>Pinus radiata</i>	16"est	20/15	50	Fair health, poor condition, topped by utility, neighbor's tree, Regulated
8	Monterey pine <i>Pinus radiata</i>	16"est	20/10	50	Fair health, poor condition, topped by utility, neighbor's tree, Regulated
9	Italian cypress <i>Cupressus sempervirens</i>	6.3"@1'	30/2	70	Good health and condition Not Regulated
10	Italian cypress <i>Cupressus sempervirens</i>	9.8"@grade	35/5	70	Good health and condition Not Regulated
11	Italian cypress <i>Cupressus sempervirens</i>	6.2"@grade	25/2	70	Good health and condition Not Regulated
12	Italian cypress <i>Cupressus sempervirens</i>	7.4"@grade	26/2	70	Good health and condition Not Regulated
13	Italian cypress <i>Cupressus sempervirens</i>	6.3"@grade	25/2	70	Good health and condition Not Regulated
14	Italian cypress <i>Cupressus sempervirens</i>	6.8"@grade	27/2	70	Good health and condition Not Regulated
15	Italian cypress <i>Cupressus sempervirens</i>	7.1"@grade	30/2	70	Good health and condition Not Regulated
16	Coast live oak <i>Quercus agrifolia</i>	17.1"/9.7"	30/20	60	Fair health and condition, codominant at grade, Regulated
17	Coast live oak <i>Quercus agrifolia</i>	8.7"	30/10	60	Fair health and condition, suppressed by #16, Not Regulated
18	Olive <i>Olea europaea</i>	11.0"	20/15	60	Fair health and condition, suppressed by #16, Not Regulated

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
19	Japanese maple <i>Acer palmatum</i>	5.3"	12/5	30	Poor health and condition, almost dead, Not Regulated
20	Arborvitae <i>Thuja occidentalis</i>	6.8"@grade	10/5	30	Poor health and condition Not Regulated
21	Mexican fan palm <i>Washingtonia filifera</i>	19.5"	TrkHt 4'	70	Good health and condition Regulated
22	Arborvitae <i>Thuja occidentalis</i>	7.8"@grade	10/5	30	Poor health and condition Not Regulated
23	Coast live oak <i>Quercus agrifolia</i>	4.4"	12/7	70	Good health and condition, poor location, Not Regulated
24	Coast live oak <i>Quercus agrifolia</i>	8.3"/5.1"	20/15	50	Fair health and condition, codominant at grade, thin canopy, Not Regulated

Summary:

There are 22 trees on this property with trunk diameters greater than 4 inches at 48 inches above grade.

Tree #s 2, 16 and 21 are Regulated trees on this property and should be protected during construction.

There are 2 trees on adjacent properties, Tree #s 7 and 8, both are Regulated trees that should be protected during construction.

All other trees are not protected and can be removed if desired.

Tree Protection Plan

1. The Tree Protection Zone (TPZ) should be defined with protective fencing. This should be cyclone or chain link fencing on 1½” or 2” posts driven at least 2 feet in to the ground standing at least 6 feet tall. Normally a TPZ is defined by the dripline of the tree. I recommend the TPZ’s as follows:-

Tree # 2: TPZ should be at 13 feet radius from the trunk of the tree closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾ .

The TPZ for Tree # 2 can be reduced to edge of existing home and proposed construction to allow for demolition and construction. Shown as a thick red line.

The proposed new home is in a very similar footprint to the existing home. Excavation for the proposed foundation within the TPZ should be dug by hand. Area shaded in blue. Any roots encountered should be cut cleanly with handsaw or pruners.

Tree #s 7 and 8: TPZ should be at 13 feet from the trunk closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾ . Shown as a thick red line.

Tree # 16: TPZ should be at 18 feet radius from the trunk of the tree closing on the fence line in accordance with Type I Tree Protection as outlined and illustrated in image 2.15-1 and 2 ⁽⁶⁾ .

The tree is located on top of a steep grade. This grade will be supported with a retaining wall in the new landscape. The retaining wall is outside the grade and so there will be very little root disturbance in the construction of the retaining wall. The tree protection fencing can be placed at edge of retaining wall, shown as a thick red line.

Tree # 21: Should be protected with Type III TPZ fencing as outlined and illustrated in image 2.15-4 ⁽⁶⁾ .



IMAGE 2.15-1
Tree Protection Fence at the Dripline



IMAGE 2.15-2
Tree Protection Fence at the Dripline



IMAGE 2.15-4
Trunk Wrap Protection

• Type I Tree Protection

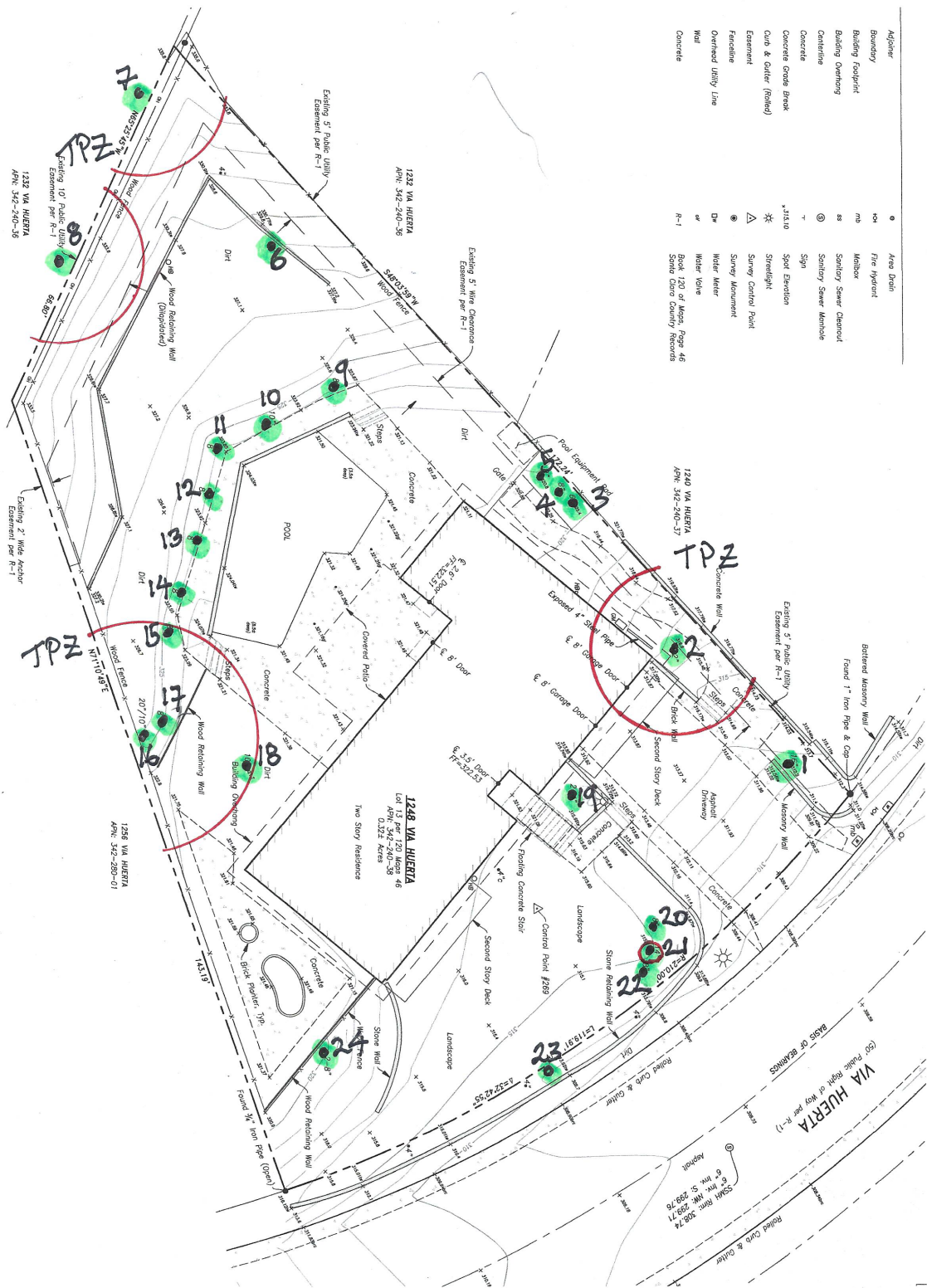
The fences shall enclose the entire area under the **canopy dripline or TPZ** of the tree(s) to be saved throughout the life of the project, or until final improvement work within the area is required, typically near the end of the project (see *Images 2.15-1 and 2.15-2*). Parking Areas: If the fencing must be located on paving or sidewalk that will not be demolished, the posts may be supported by an appropriate grade level concrete base.

• Type III Tree Protection

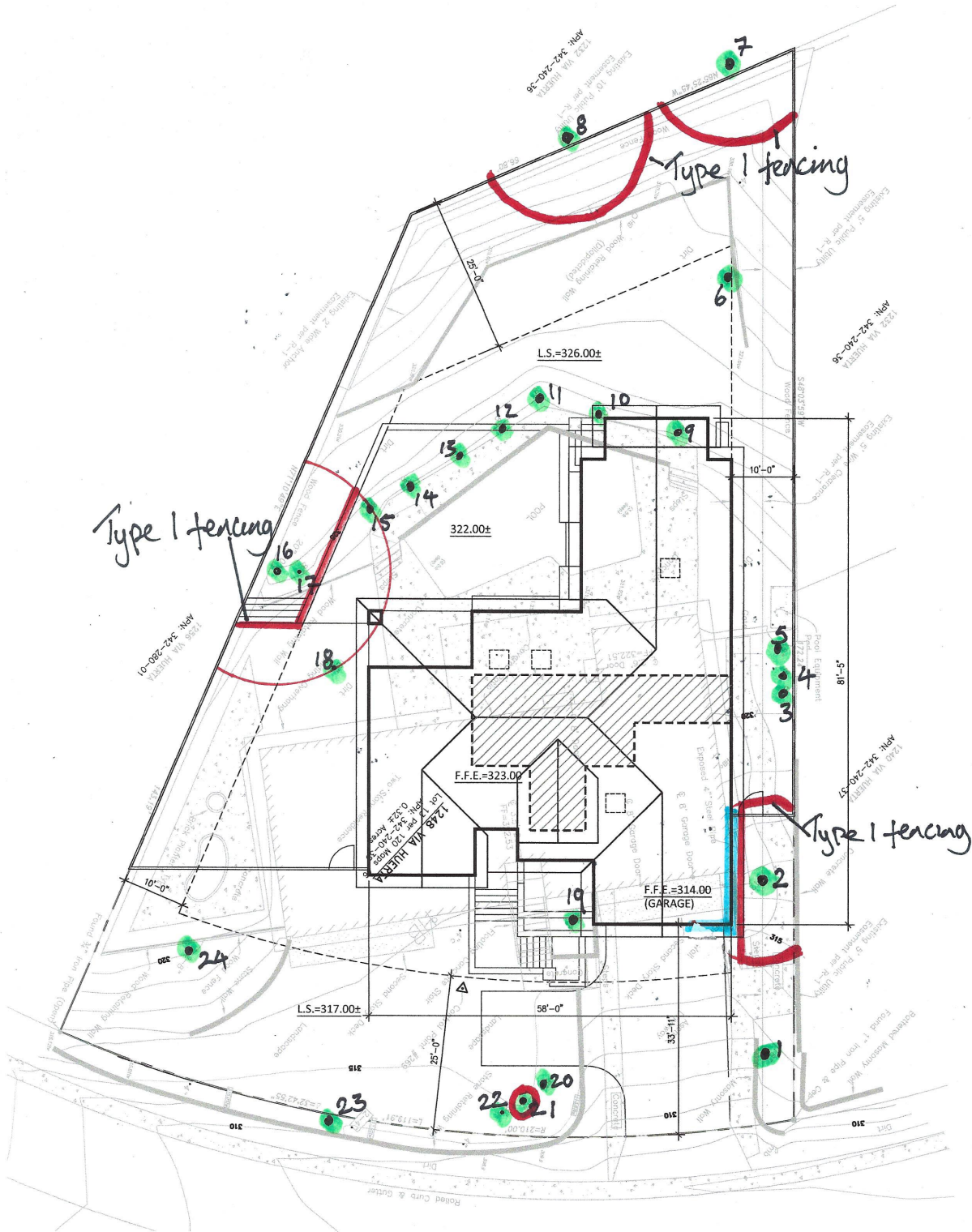
Trees situated in a small tree well or **sidewalk planter pit**, shall be wrapped with 2-inches of orange plastic fencing as padding from the ground to the first branch with 2-inch thick wooden slats bound securely on the outside. During installation of the wood slats, caution shall be used to avoid damaging any bark or branches. Major scaffold limbs may also require plastic fencing as directed by the *City Arborist*. (see *Image 2.15-4*)

2. Any pruning and maintenance of the trees shall be carried out before construction begins. This should allow for any clearance requirements for both the new structure and any construction machinery. This will eliminate the possibility of damage during construction. **The pruning should be carried out by an arborist, not by construction personnel.** No limbs greater than 4" in diameter shall be removed.
3. Any excavation in ground where there is a potential to damage roots of 1" or more in diameter should be carefully hand dug. Where possible, roots should be dug around rather than cut.⁽²⁾

4. If roots are broken, every effort should be made to remove the damaged area and cut it back to its closest lateral root. A clean cut should be made with a saw or pruners. This will prevent any infection from damaged roots spreading throughout the root system and into the tree.⁽²⁾
5. **Do Not:**⁽⁴⁾
 - a. Allow run off or spillage of damaging materials into the area below any tree canopy.
 - b. Store materials, stockpile soil, park or drive vehicles within the TPZ of the tree.
 - c. Cut, break, skin or bruise roots, branches or trunk without first obtaining permission from the city arborist.
 - d. Allow fires under any adjacent trees.
 - e. Discharge exhaust into foliage.
 - f. Secure cable, chain or rope to trees or shrubs.
 - g. Apply soil sterilants under pavement near existing trees.
6. Where roots are exposed, they should be kept covered with the native soil or four layers of wetted, untreated burlap. Roots will dry out and die if left exposed to the air for too long⁽⁴⁾
7. Route pipes into alternate locations to avoid conflict with roots⁽⁴⁾
8. Where it is not possible to reroute pipes or trenches, the contractor is to bore beneath the dripline of the tree. The boring shall take place no less than 3 feet below the surface of the soil in order to avoid encountering “feeder” roots⁽⁴⁾
9. Compaction of the soil within the dripline shall be kept to a minimum⁽²⁾ If access is required to go through the TPZ of a protected tree, the area within the TPZ should be protected from compaction either with steel plates or with 4” of wood chip overlaid with plywood.
10. Any damage due to construction activities shall be reported to the project arborist or city arborist within 6 hours so that remedial action can be taken.
11. Ensure upon completion of the project that the original ground level is restored



Location of existing home, protected trees and their Tree Protection Zones



Location of proposed new home and Tree Protection Fencing

Glossary

- Canopy** The part of the crown composed of leaves and small twigs.⁽²⁾
- Cavities** An open wound, characterized by the presence of extensive decay and resulting in a hollow.⁽¹⁾
- Decay** Process of degradation of woody tissues by fungi and bacteria through the decomposition of cellulose and lignin⁽¹⁾
- Dripline** The width of the crown as measured by the lateral extent of the foliage.⁽¹⁾
- Genus** A classification of plants showing similar characteristics.
- Root crown** The point at which the trunk flares out at the base of the tree to become the root system.
- Species** A Classification that identifies a particular plant.
- Standard height** Height at which the girth of the tree is measured. Typically 4 1/2 feet above ground level

References

(1) Matheny, N.P., and Clark, J.P. Evaluation of Hazard Trees in Urban Areas. International Society of Arboriculture, 1994.

(2) Harris, R.W., Matheny, N.P. and Clark, J.R.. Arboriculture: Integrated Management of Landscape Trees, Shrubs and Vines. Prentice Hall, 1999.

(3) Carlson, Russell E. Paulownia on The Green: An Assessment of Tree Health and Structural Condition. Tree Tech Consulting, 1998.

(4) Extracted from a copy of Tree Protection guidelines. Anon

(5) T. D. Sydnor, Arboricultural Glossary. School of Natural Resources, 2000

(6) D Dockter, Tree Technical Manual. City of Palo Alto, June, 2001

Certification of Performance⁽³⁾

I, Robert Weatherill certify:

- * That I have personally inspected the tree(s) and/or the property referred to in this report, and have stated my findings accurately. The extent of the evaluation and appraisal is stated in the attached report and the Terms and Conditions;
- * That I have no current or prospective interest in the vegetation or the property that is the subject of this report, and I have no personal interest or bias with respect to the parties involved;
- * That the analysis, opinions and conclusions stated herein are my own, and are based on current scientific procedures and facts;
- * That my compensation is not contingent upon the reporting of a predetermined conclusion that favors the cause of the client or any other party, nor upon the results of the assessment, the attainment of stipulated results, or the occurrence of any subsequent events;
- * That my analysis, opinions, and conclusions were developed and this report has been prepared according to commonly accepted Arboricultural practices;
- * That no one provided significant professional assistance to the consultant, except as indicated within the report.

I further certify that I am a member of the International Society of Arboriculture and a Certified Arborist. I have been involved in the practice of arboriculture and the care and study of trees for over 20 years.

Signed

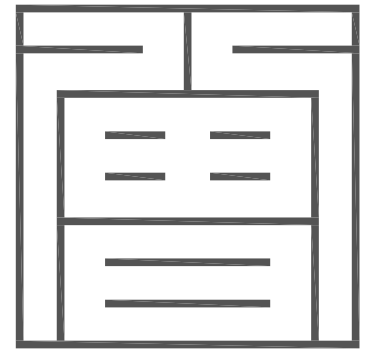


Robert Weatherill
Certified Arborist WE 1936a
Date: 10/20/22

Terms and Conditions(3)

The following terms and conditions apply to all oral and written reports and correspondence pertaining to consultations, inspections and activities of Advanced Tree Care :

1. All property lines and ownership of property, trees, and landscape plants and fixtures are assumed to be accurate and reliable as presented and described to the consultant, either verbally or in writing. The consultant assumes no responsibility for verification of ownership or locations of property lines, or for results of any actions or recommendations based on inaccurate information.
2. It is assumed that any property referred to in any report or in conjunction with any services performed by Advanced Tree Care, is not in violation of any applicable codes, ordinances, statutes, or other governmental regulations, and that any titles and ownership to any property are assumed to be good and marketable. Any existing liens and encumbrances have been disregarded.
3. All reports and other correspondence are confidential, and are the property of Advanced Tree Care and it's named clients and their assignees or agents. Possession of this report or a copy thereof does not imply any right of publication or use for any purpose, without the express permission of the consultant and the client to whom the report was issued. Loss, removal or alteration of any part of a report invalidates the entire appraisal/evaluation.
4. The scope of any report or other correspondence is limited to the trees and conditions specifically mentioned in those reports and correspondence. Advanced Tree Care and the consultant assume no liability for the failure of trees or parts of trees, either inspected or otherwise. The consultant assumes no responsibility to report on the condition of any tree or landscape feature not specifically requested by the named client.
5. All inspections are limited to visual examination of accessible parts, without dissection, excavation, probing, boring or other invasive procedures, unless otherwise noted in the report. No warrantee or guarantee is made, expressed or implied, that problems or deficiencies of the plants or the property will not occur in the future, from any cause. The consultant shall not be responsible for damages caused by any tree defects, and assumes no responsibility for the correction of defects or tree related problems.
6. The consultant shall not be required to provide further documentation, give testimony, be deposed, or attend court by reason of this appraisal/report unless subsequent contractual arrangements are made, including payment of additional fees for such services as described by the consultant or in the fee schedules or contract.
7. Advanced Tree Care has no warrantee, either expressed or implied, as to the suitability of the information contained in the reports for any purpose. It remains the responsibility of the client to determine applicability to his/her particular case.
8. Any report and the values, observations, and recommendations expressed therein represent the professional opinion of the consultants, and the fee for services is in no manner contingent upon the reporting of a specified value nor upon any particular finding to be reported.
9. Any photographs, diagrams, graphs, sketches, or other graphic material included in any report, being intended solely as visual aids, are not necessarily to scale and should not be construed as engineering reports or surveys, unless otherwise noted in the report. Any reproductions of graphs material or the work product of any other persons is intended solely for the purpose of clarification and ease of reference. Inclusion of said information does not constitute a representation by Advanced Tree Care or the consultant as to the sufficiency or accuracy of that information.

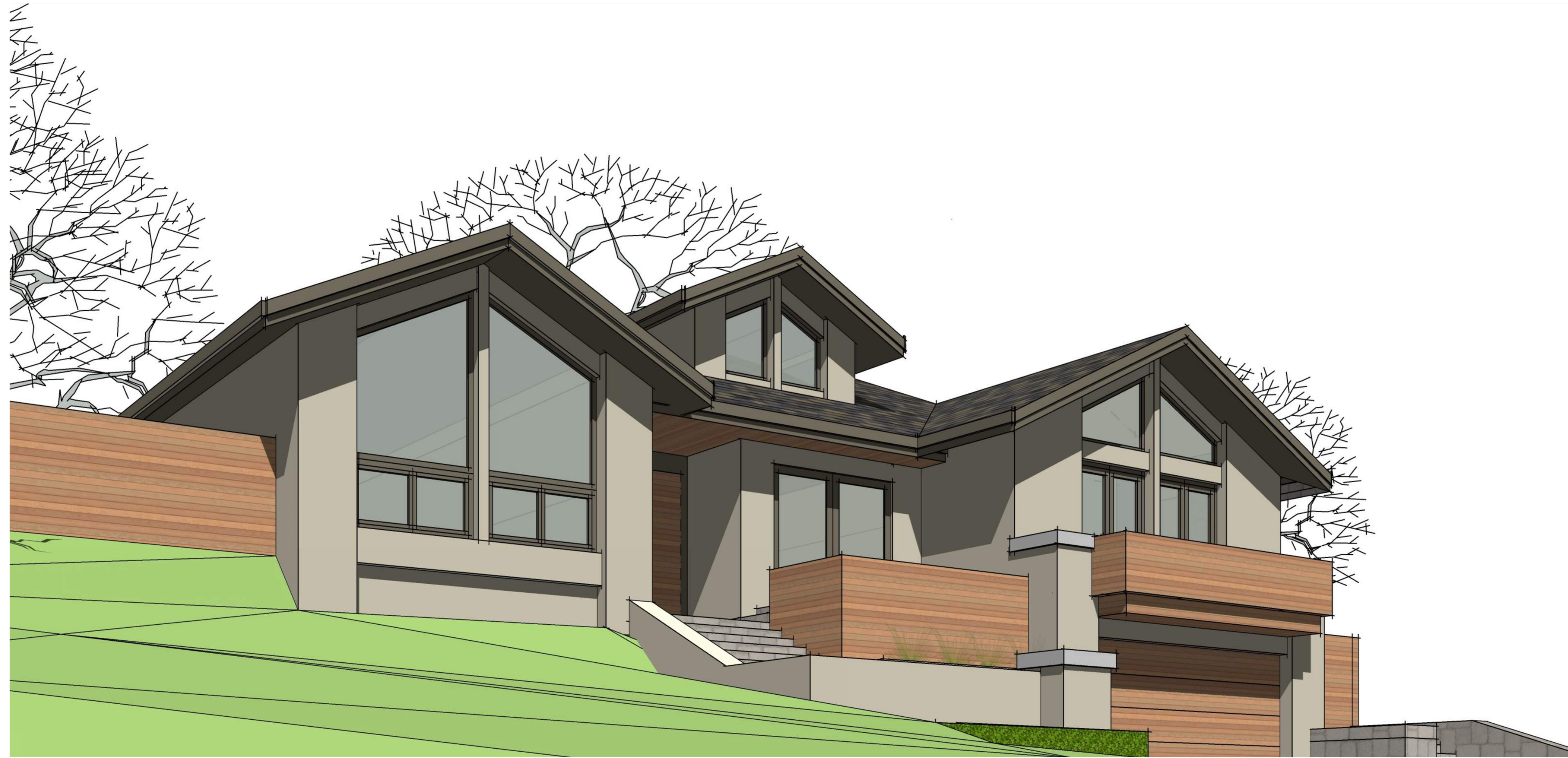


Z S D ARCHITECTS, INC
ARCHITECTURE . PLANNING . ILLUSTRATION

353 Costello Dr.
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631



henryzheng@yahoo.com
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PROPOSED RESIDENCE

1248 VIA HUERTA RESIDENCE

PROJECT DESCRIPTIONS

THIS PROJECT IS TO DEMOLISH AN EXISTING ONE STORY HOUSE AND BUILD A NEW 4,148 S.F. TWO STORY SINGLE-FAMILY RESIDENCE WITH ATTACHED DAYLIGHT BASEMENT 2-CAR GARAGE.

OWNER:	JUN ZHANG
ADDRESS:	353 COSTELLO DRIVE, LOS ALTOS, CA
APN:	342-240-38
OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
ZONING:	R1-10
NUMBER OF STORIES:	2

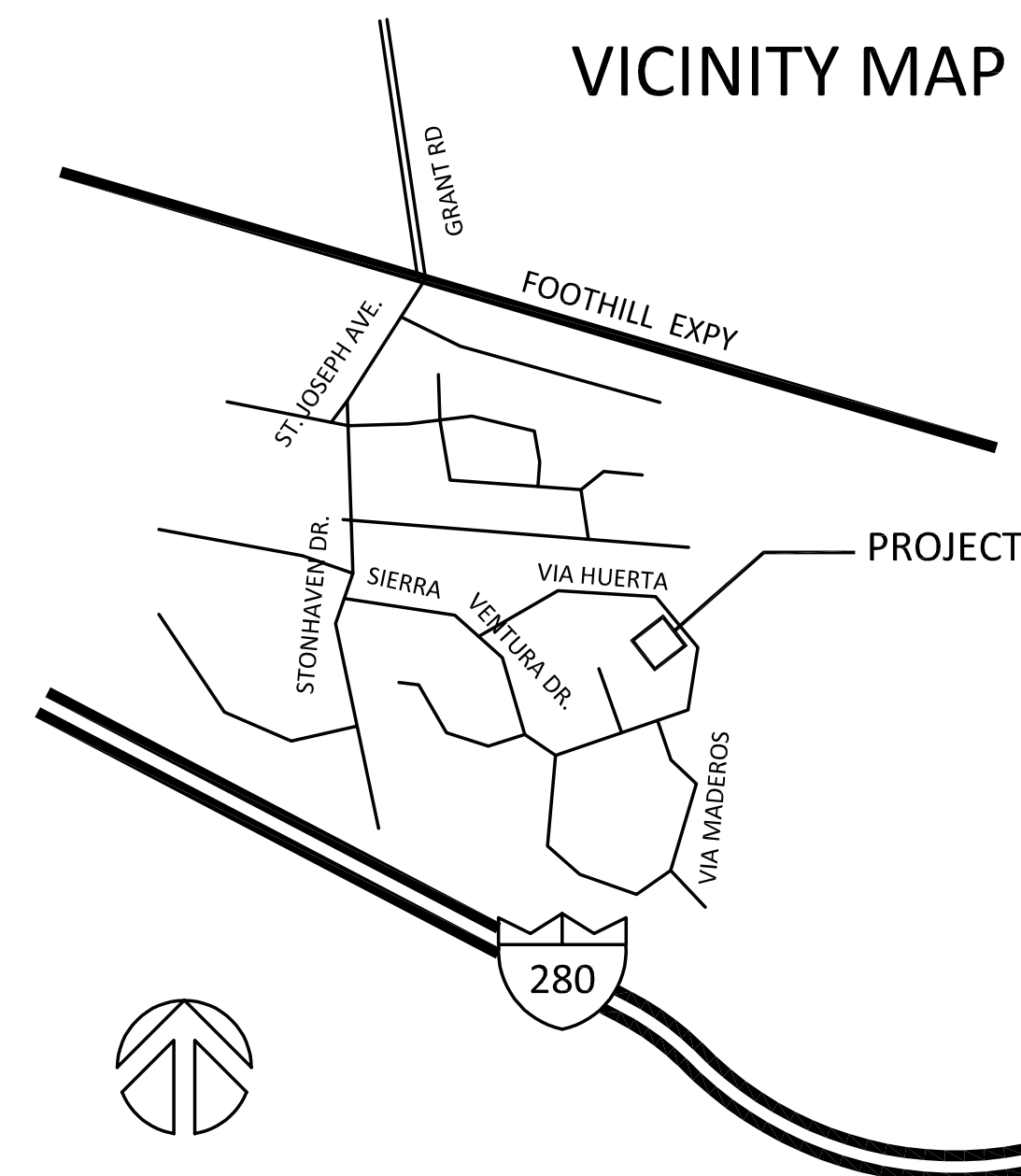
CODE INFORMATION

- 2019 CALIFORNIA BUILDING CODE (C.B.C.) STRUCTURAL ONLY
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA ENERGY CODE (2019 BUILDING ENERGY EFFICIENCY STANDARDS)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF LOS ALTOS ORDINANCES

PROJECT DATA

NET LOT AREA:	(0.32 ACRES) 14,074± S.F.		
LOT COVERAGE	EXISTING 2,369 S.F.	PROPOSED 3,127.47 S.F.	ALLOWED / REQUIRED 4,925.9 S.F.
FLOOR AREA	16.83% 2,369 S.F.	22.8% 4,126.29 S.F.	35% 3,850 +307 = 4,157 S.F.
LIVABLE AREA	16.83% 2,369 S.F.	29.3% 4,126.29 S.F.	
SETBACK			
FRONT	1ST STORY 26.5± FEET	33.9 FEET	25 FEET
2ND STORY			
REAR	1ST STORY 77.2± FEET	42.3± FEET	25 FEET
2ND STORY			
RIGHT SIDE	1ST STORY 10± FEET	10 FEET	10 FEET
2ND STORY		25.2 FEET	17.5 FEET
LEFT SIDE	1ST STORY 11.5± FEET	17.35 FEET	10 FEET
2ND STORY		38.0.5 FEET	17.5 FEET
HEIGHT	23 ± FEET	26.3 ± FEET	27 FEET
NET LOT AREA:	(0.32 ACRES) 14,074± S.F.		
FRONT YARD HARDSCAPE AREA			
LANDSCAPE BREAKDOWN	EXISTING	PROPOSED CHANGE	EXISTING / PROPOSED
HARDSCAPE AREA	877.3 S.F.	370.6 S.F.	1,247.9 S.F.
SOFTSCAPE AREA	2,850.7 S.F.	87.5 S.F.	2,930.2 S.F.
BUILDING BREAKDOWN	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	1,969 ±S.F.	1,743.6 S.F.	3,712.6 S.F.
NON- HABITABLE LIVING AREA	400 S.F.	40 S.F.	440 S.F.

VICINITY MAP



DRAWING INDEX

- T.0 PROJECT DATA, VICINITY MAP, DRAWING INDEX
- C.0 TOPOGRAPHICAL & BOUNDARY SURVEY
- ARCHITECTURAL**
 - A1.1 SITE PLAN
 - A1.2 NEIGHBORHOOD CONTEXT MAP AND AREA CALCULATION
 - A1.3 TREE PROTECTION PLAN
 - A2.1 FLOOR PLANS
 - A2.2 ROOF PLAN
 - A3.0 EXISTING ELEVATIONS
 - A3.1 FRONT AND REAR ELEVATIONS
 - A3.2 LEFT AND RIGHT ELEVATIONS
 - A4.1 SECTIONS 2-2 AND 2-2
 - A4.2 SECTION 3-3
- MATERIAL AND COLOR BOARD
- LANDSCAPE**
 - L1.00 LANDSCAPE PLAN
- CIVIL**
 - CC 1 GRADING AND DRAINAGE PLAN

JUN ZHANG

353 COSTELLO DRIVE
LOS ALTOS,
CALIFORNIA, 94024
408.348.6885 cel

	12.22.22	PLANNING RESUBMITTAL
	10.18.22	PLANNING SUBMITTAL
Rev.	Date	Issue

Copyright 2003 ZENG'S DESIGN. All Rights Reserved - These Plans and/or Specifications are intended for the sole benefit of the client and may not be used, reused, copied, or reproduced in any form without the express written consent of ZENG'S DESIGN.

Project No: 2022-08
Date: 10-06-2022
Scale: N.T.S.

TITLE SHEET

T.0

ATTACHMENT G

General Notes:

- 1) All features shown hereon represent surface conditions of the project area compiled from a ground survey performed in September of 2022. Surveyor made no attempt to determine the existence or extent of underground utilities or other features not surface visible.
- 2) Boundary and easement data shown hereon are based upon a Preliminary Title Report prepared by Orange Coast Title Company as order no. 520-2345327-60, dated September 14, 2022.

Datum Note:

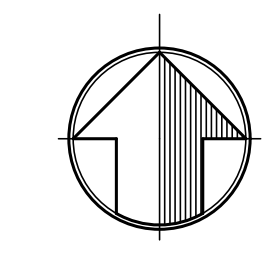
Horizontal datum is based upon a local assumed coordinate system. Vertical datum is based upon City of Los Altos Benchmark #40, a brass disc on the top of curb located at the southwest return of Stonehaven Drive & Kent Drive. Top of disc elevation taken as 276.45, NAVD83 datum. Temporary control points have been established hereon to perpetuate the project datum for future use.

Basis of Bearing:

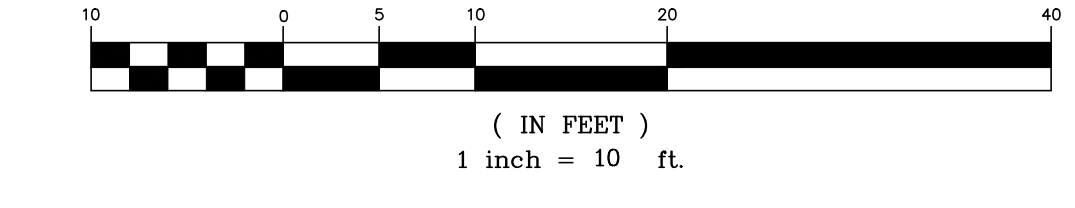
Bearings shown hereon are based upon the monumented centerline of Via Huerta as shown on that certain map filed for record in Book 120 of Maps at Page 46 of Santa Clara County Records.

Legend

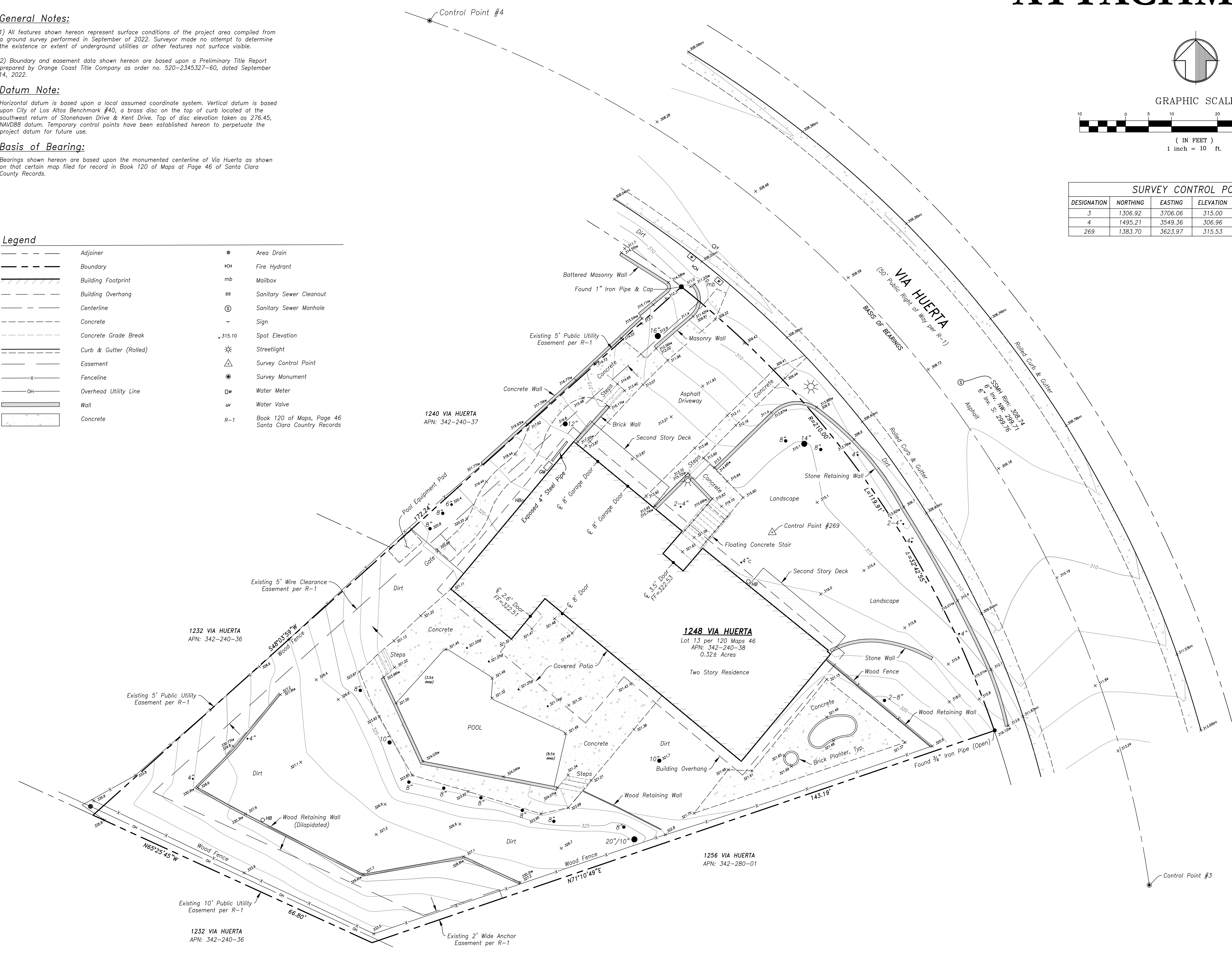
- Adjoiner
- Boundary
- Building Footprint
- Building Overhang
- Centerline
- Concrete
- Concrete Grade Break
- Curb & Gutter (Rolled)
- Easement
- Fenceline
- Overhead Utility Line
- Wall
- Concrete
- Area Drain
- Fire Hydrant
- Mailbox
- Sanitary Sewer Cleanout
- Sanitary Sewer Manhole
- Sign
- Spot Elevation
- Streetlight
- Survey Control Point
- Survey Monument
- Water Meter
- Water Valve
- Book 120 of Maps, Page 46 Santa Clara County Records



GRAPHIC SCALE



SURVEY CONTROL POINTS				
DESIGNATION	NORTHING	EASTING	ELEVATION	DESCRIPTION
3	1306.92	3706.06	315.00	2.5" BRASS DISK IN WELL
4	1495.21	3549.36	306.96	2.5" BRASS DISK IN WELL
269	1383.70	3623.97	315.53	GINNIE AND TACK



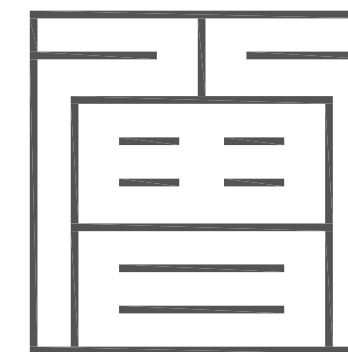
REV.	DATE	DESCRIPTION

DATE	APPROVED

MOUNTAIN PACIFIC SURVEYS
 1735 Enterprise Dr., Suite 109
 Fairfield, CA 94533
 PH (707) 425-6334
 FAX (707) 425-1969

**BOUNDARY AND TOPOGRAPHIC SURVEY
 1248 VIA HUERTA
 CITY OF LOS ALTOS - SANTA CLARA COUNTY - CALIFORNIA**

DATE	10-05-22
SCALE	1" = 10'
DRAWN	SR / CH
CHECKED	CMW
JOB NO.	522074
SHEET NO.	1
OF	1






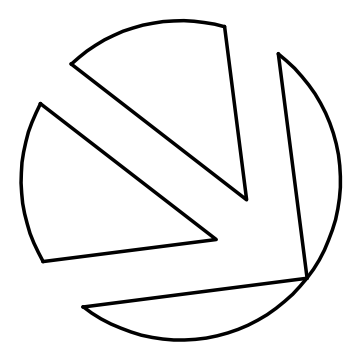
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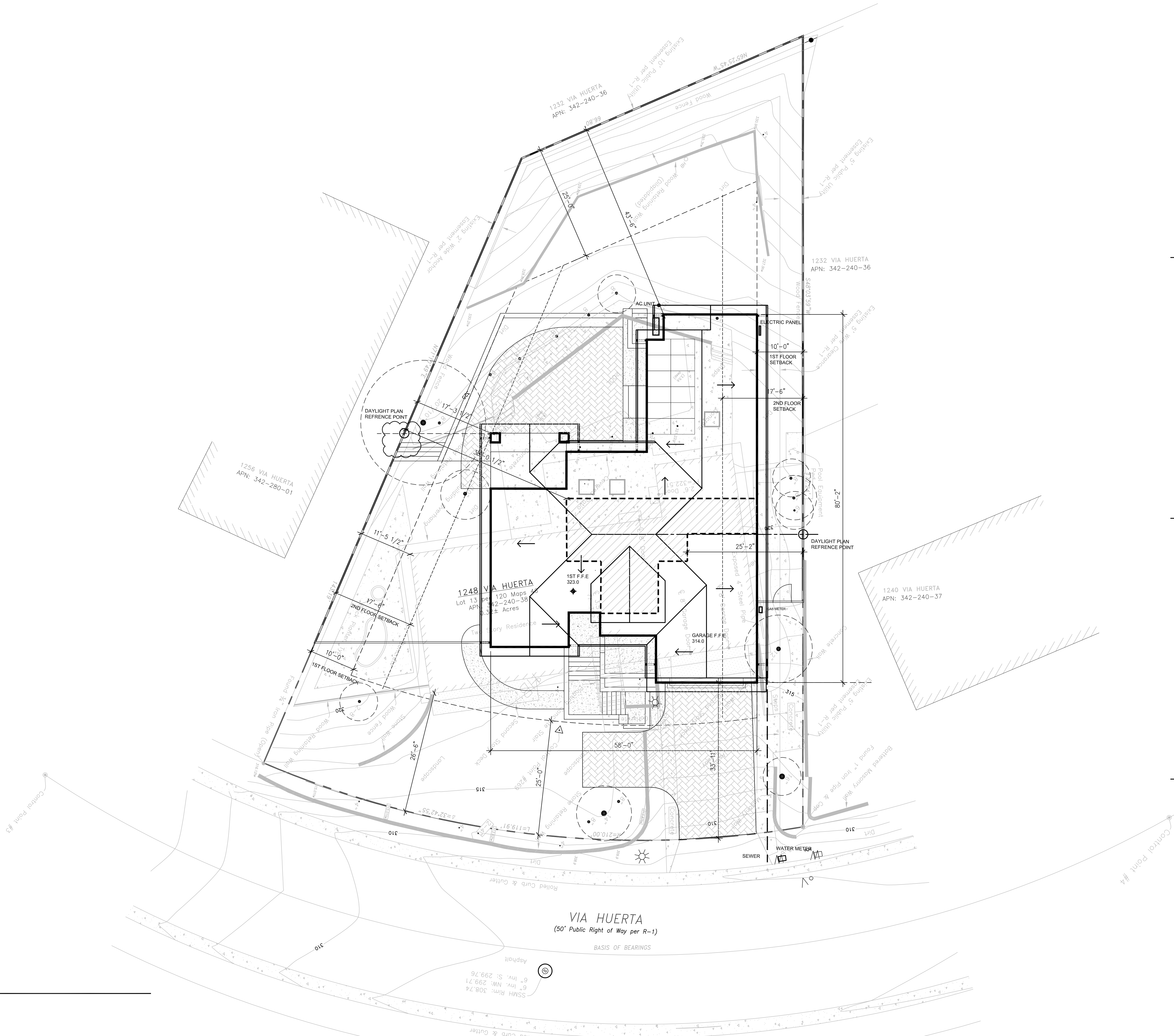
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-  NEW 2ND FLOOR
-  NEW 1ST FLOOR
-  EX. 1ST FLOOR



SITE PLAN

1"=10'-0"



1248 VIA HUERTA RESIDENCE

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408.348.6885 cel

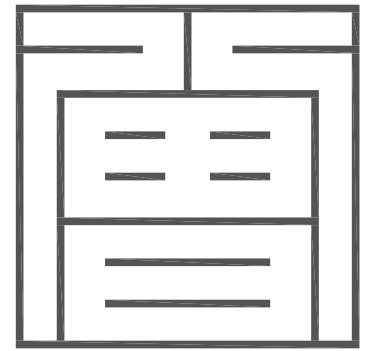
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10.18.22	10.18.22	PLANNING SUBMITTAL

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Scale: 1"=10'-0"

SITE PLAN

A1.1

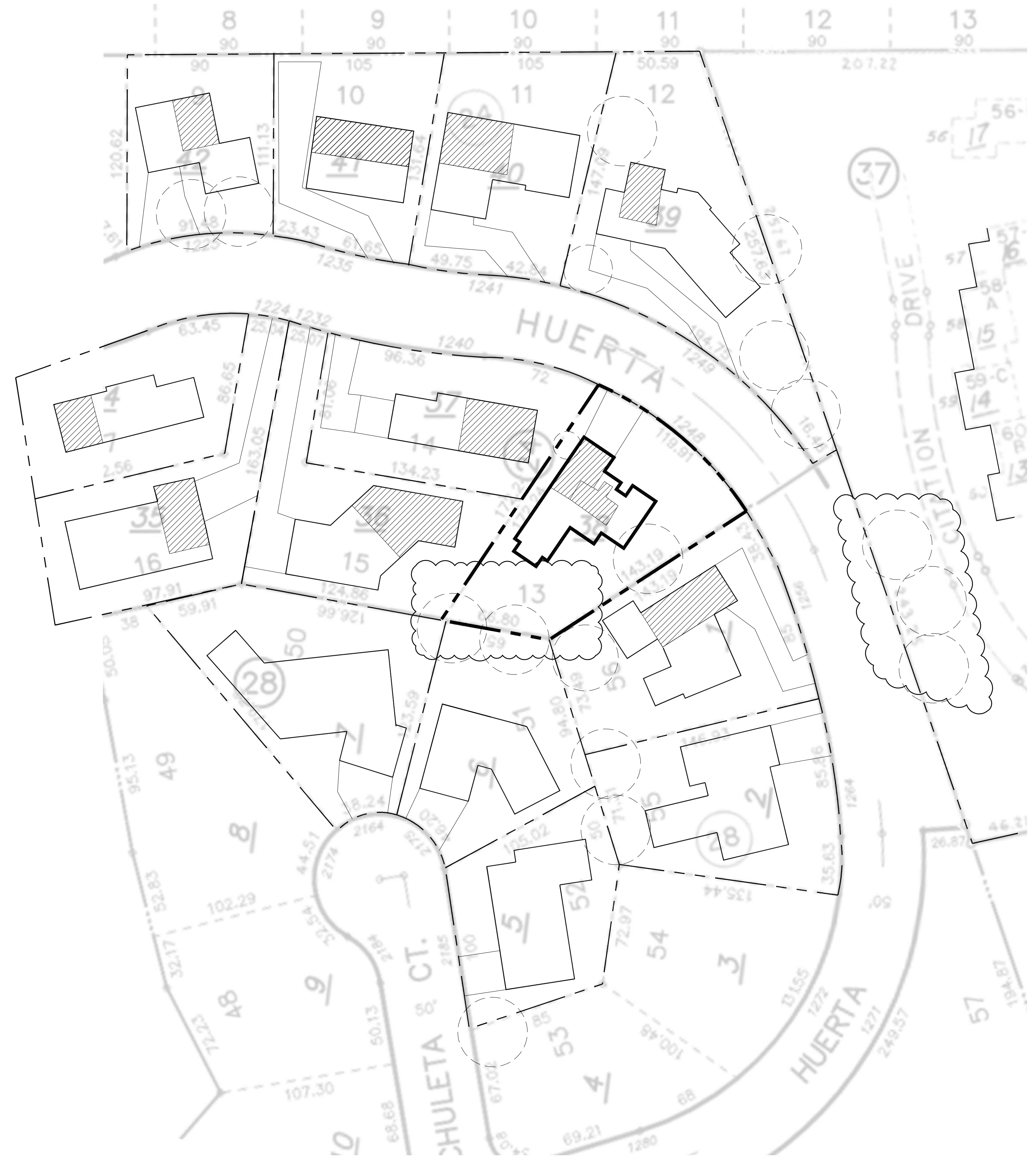
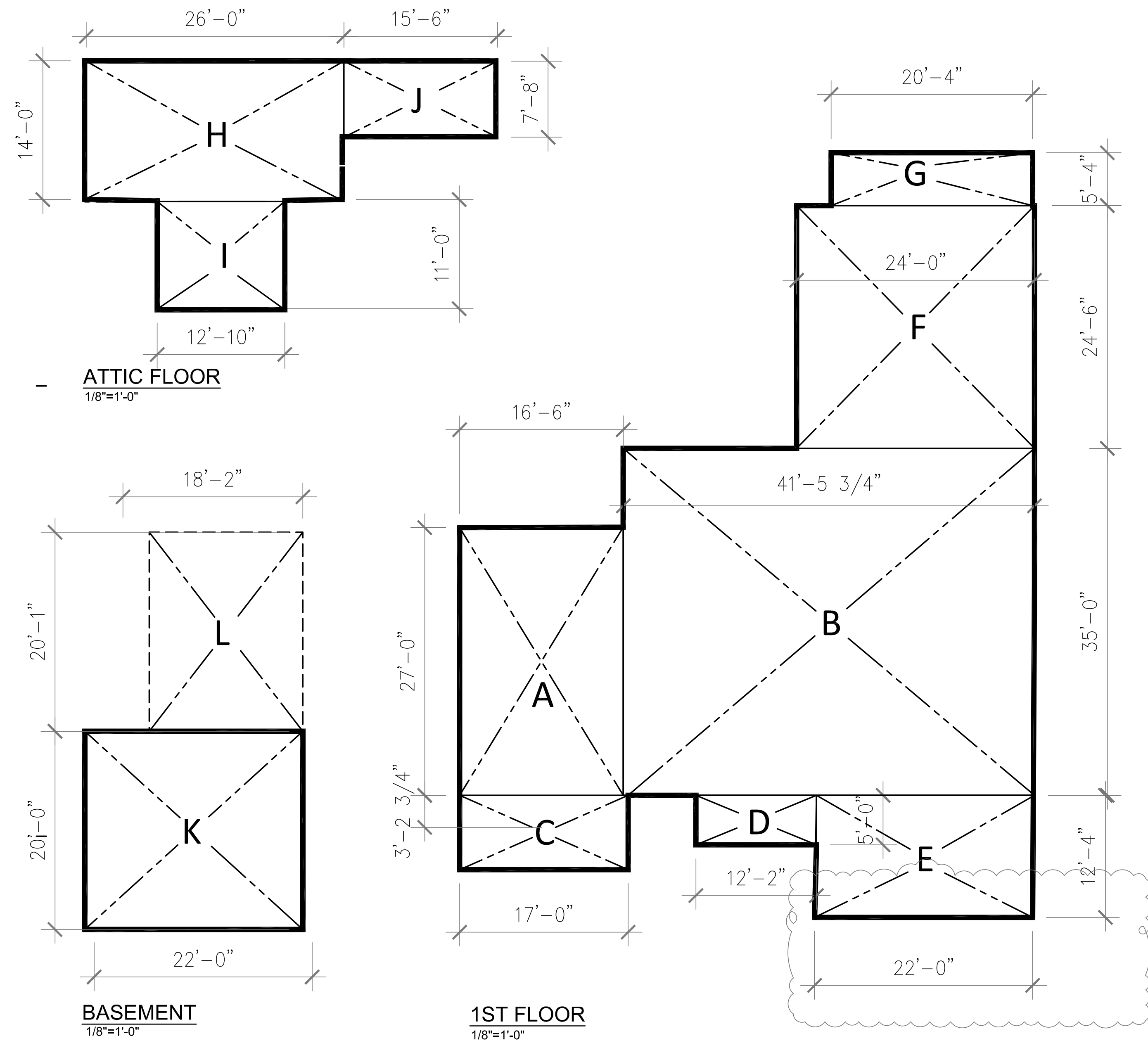


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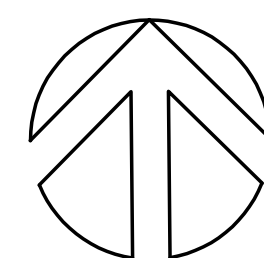


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FLOOR AREA AND COVERAGE CALCULATION

SECTION	DIMENTION	AREA	
A	16'-6" X 27'-0"	453.75 S.F.	
B	41'-6" X 35'-0"	1,452.5 S.F.	
C	17'-0" X 7'-6"	127.5 S.F.	
D	12'-2" X 5'-0"	60.8 S.F.	
E	22'-0" X 12'-4"	271.33 S.F.	
F	24'-0" X 24'-6"	588.0 S.F.	
G	20'-4" X 5'-4"	108.44 S.F.	
1ST FLOOR AREA SUBTOTAL		3,062.32 S.F.	
H	26'-0" X 14'-0"	364.0 S.F.	
I	12'-10" X 11'-0"	141.17 S.F.	
J	15'-6" X 7'-8"	118.8 S.F.	
ATTIC LEVEL AREA SUBTOTAL		623.97 S.F.	
K (2 CAR DAYLIGHT GARAGE)	22'-0" X 20'-0"	440.0 S.F.	
L BASEMENT AREA (NOT COUNT TO FAR)	18'-2" X 20'-1"		364.85 S.F.
BASEMENT AREA SUBTOTAL		440.0 S.F.	
TOTAL FLOOR AREA		4,126.29 S.F.	
LIVABLE AREA		3,062.32+623.97+364.85	4,051.14 S.F.
LOT COVERED AREA		3,062.32+66	3,128.32 S.F.



NEIGHBORHOOD CONTEXT MAP

1"=40'-0"



SIGNIFICANT TREE



TWO STORY



ONE STORY



DRIVE WAY

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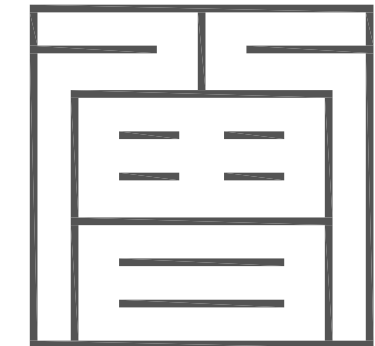
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NEIGHBORHOOD MAP
AND AREA CALCULATION

A1.2



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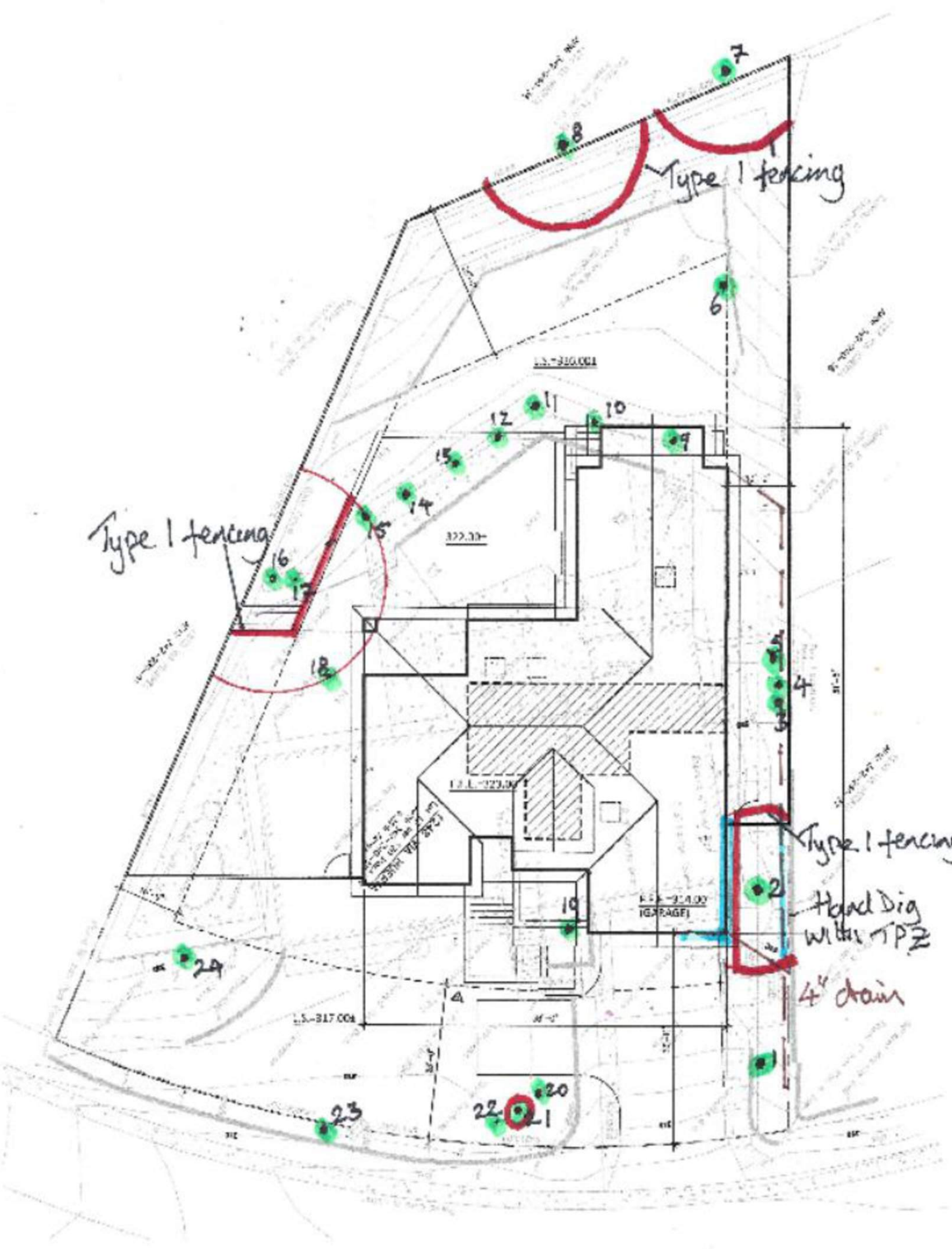
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TREE PROTECTION PLAN

A1.3

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022



Location of proposed new home and Tree Protection Fencing

Advanced Tree Care
965 East San Carlos Ave, San Carlos, CA 94070

1248 Via Huerta, Los Altos
December 20, 2022

Jun Zhang
1248 Via Huerta
Los Altos, CA 94024

Site: 1248 Via Huerta, Los Altos

Dear Jun,

I reviewed the plans for Grading, Drainage and Utilities by RCL Structural Engineers Inc, CC1, dated 10/24/22; and Preliminary Landscape Plan by Wes Arola, L-1.00, dated 12/20/22 and found them in accordance with recommendations in the Arborist Report dated December 20/2022.

If you have any questions, please don't hesitate to call.

Sincerely

Robert Weatherill
Certified Arborist WE 1936A

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022

Jun Zhang
1248 Via Huerta
Los Altos, CA 94024

Site: 1248 Via Huerta, Los Altos

Dear Jun,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new home is proposed for this property, prompting the need for this tree protection report.

Method:
Los Altos protects all trees with a trunk diameter at 4 feet above ground level greater than 15.2 inches. Los Altos requests that all trees within the property or within 8 feet of the property lines be included on the report if the trunk diameter at standard height is greater than 4 inches.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 48 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely

Robert Weatherill
Certified Arborist WE 1936A

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
19	Japanese maple <i>Acer palmatum</i>	5.3"	12/5	30	Poor health and condition, almost dead, Not Regulated
20	Arborvitae <i>Thuja occidentalis</i>	6.8"@grade	10/5	30	Poor health and condition Not Regulated
21	Mexican fan palm <i>Washingtonia filifera</i>	19.5"	Tk4H 4'	70	Good health and condition Regulated
22	Arborvitae <i>Thuja occidentalis</i>	7.8"@grade	10/5	30	Poor health and condition Not Regulated
23	Coast live oak <i>Quercus agrifolia</i>	4.4"	12/7	70	Good health and condition, poor location, Not Regulated
24	Coast live oak <i>Quercus agrifolia</i>	8.3"/5.1"	20/15	50	Fair health and condition, codominant at grade, thin canopy, Not Regulated

Summary:

There are 22 trees on this property with trunk diameters greater than 4 inches at 48 inches above grade.

Tree #s 2, 16 and 21 are Regulated trees on this property and should be protected during construction.

There are 2 trees on adjacent properties, Tree #s 7 and 8, both are Regulated trees that should be protected during construction.

All other trees are not protected and can be removed if desired.

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Italian cypress <i>Cupressus sempervirens</i>	14.3"@grade	25/5	70	Good health and condition Not Regulated
2	Italian cypress <i>Cupressus sempervirens</i>	16.0"@grade	20/5	60	Good health, fair condition Regulated
3	Hollywood juniper <i>Juniperus 'Hollywood'</i>	7.5"	10/5	50	Fair health and condition, leaning Not Regulated
4	Hollywood juniper <i>Juniperus 'Hollywood'</i>	8.0"	12/5	50	Fair health and condition, leaning Not Regulated
5	Hollywood juniper <i>Juniperus 'Hollywood'</i>	11.8"	12/8	60	Good health and condition Not Regulated
6	Coast live oak <i>Quercus agrifolia</i>	4.3"/2.1"/2.2"	15/6	60	Good health, fair condition, multi stemmed at grade, Not Regulated
7	Monterey pine <i>Pinus radiata</i>	16"est	20/15	50	Fair health, poor condition, topped by utility, neighbor's tree, Regulated
8	Monterey pine <i>Pinus radiata</i>	16"est	20/10	50	Fair health, poor condition, topped by utility, neighbor's tree, Regulated
9	Italian cypress <i>Cupressus sempervirens</i>	6.3"@1'	30/2	70	Good health and condition Not Regulated
10	Italian cypress <i>Cupressus sempervirens</i>	9.8"@grade	35/5	70	Good health and condition Not Regulated
11	Italian cypress <i>Cupressus sempervirens</i>	6.2"@grade	25/2	70	Good health and condition Not Regulated
12	Italian cypress <i>Cupressus sempervirens</i>	7.4"@grade	26/2	70	Good health and condition Not Regulated
13	Italian cypress <i>Cupressus sempervirens</i>	6.3"@grade	25/2	70	Good health and condition Not Regulated
14	Italian cypress <i>Cupressus sempervirens</i>	6.8"@grade	27/2	70	Good health and condition Not Regulated
15	Italian cypress <i>Cupressus sempervirens</i>	7.1"@grade	30/2	70	Good health and condition Not Regulated
16	Coast live oak <i>Quercus agrifolia</i>	17.1"/9.7"	30/20	60	Fair health and condition, codominant at grade, Regulated
17	Coast live oak <i>Quercus agrifolia</i>	8.7"	30/10	60	Fair health and condition, suppressed by #16, Not Regulated
18	Olive <i>Olea europaea</i>	11.0"	20/15	60	Fair health and condition, suppressed by #16, Not Regulated

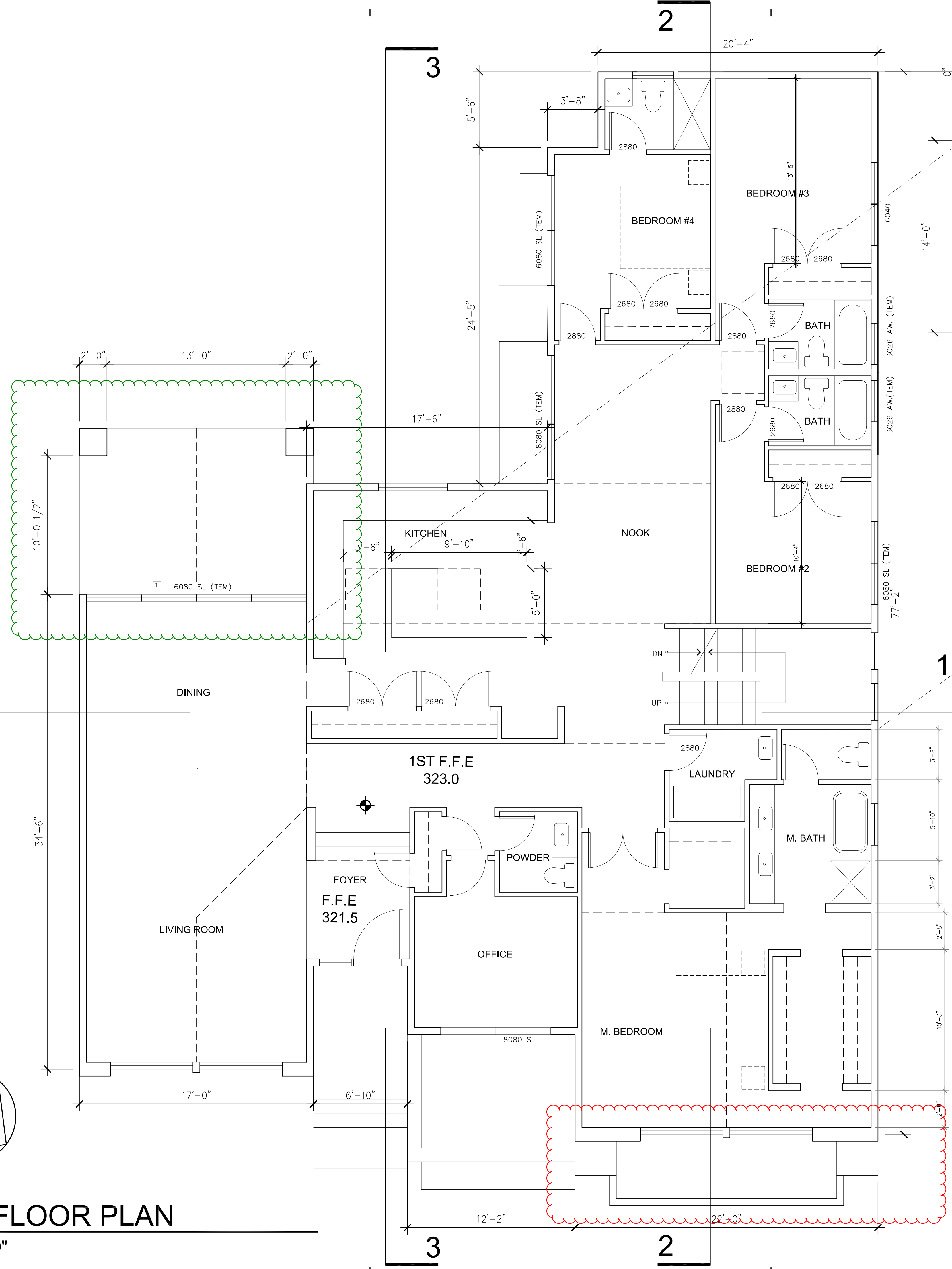


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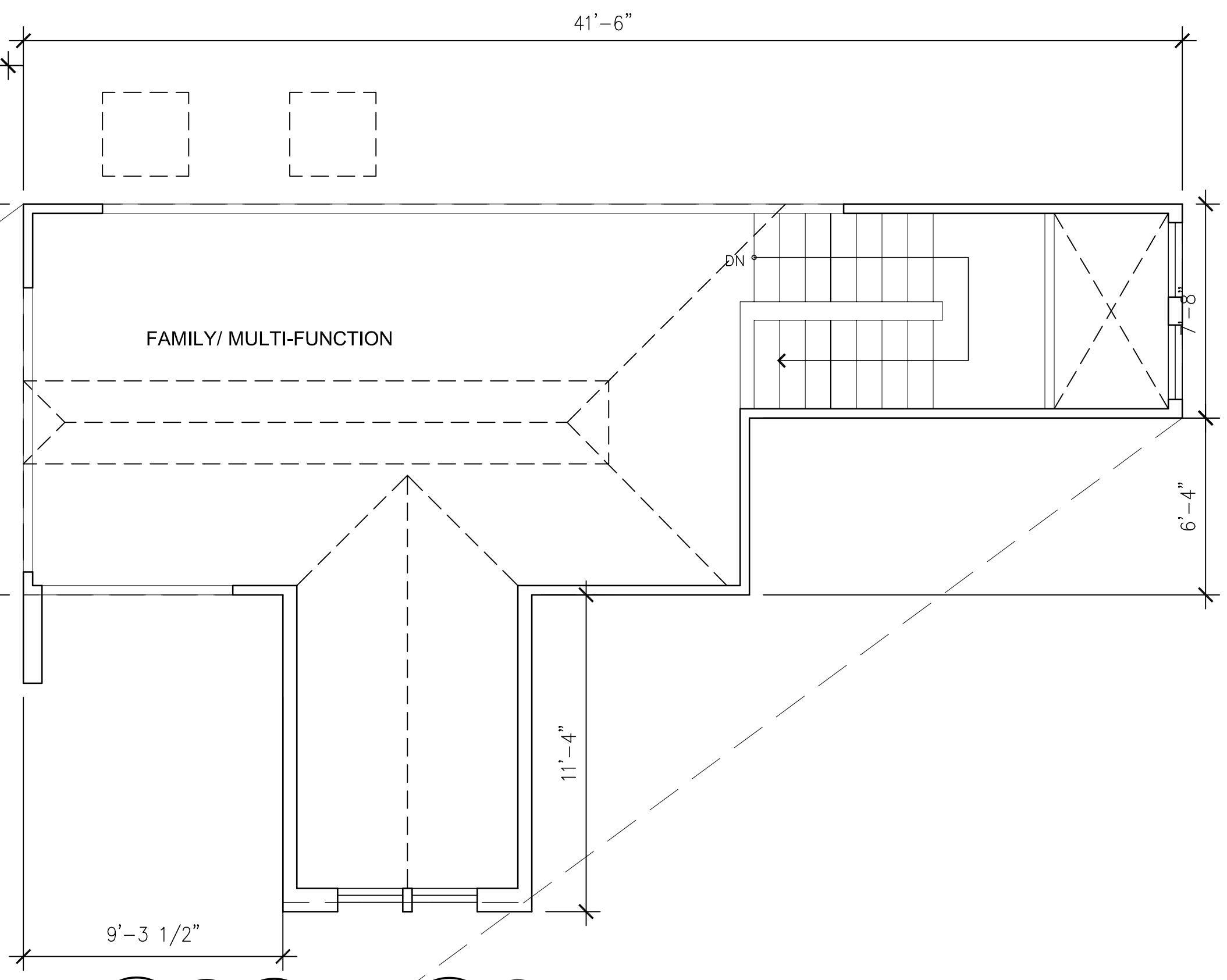
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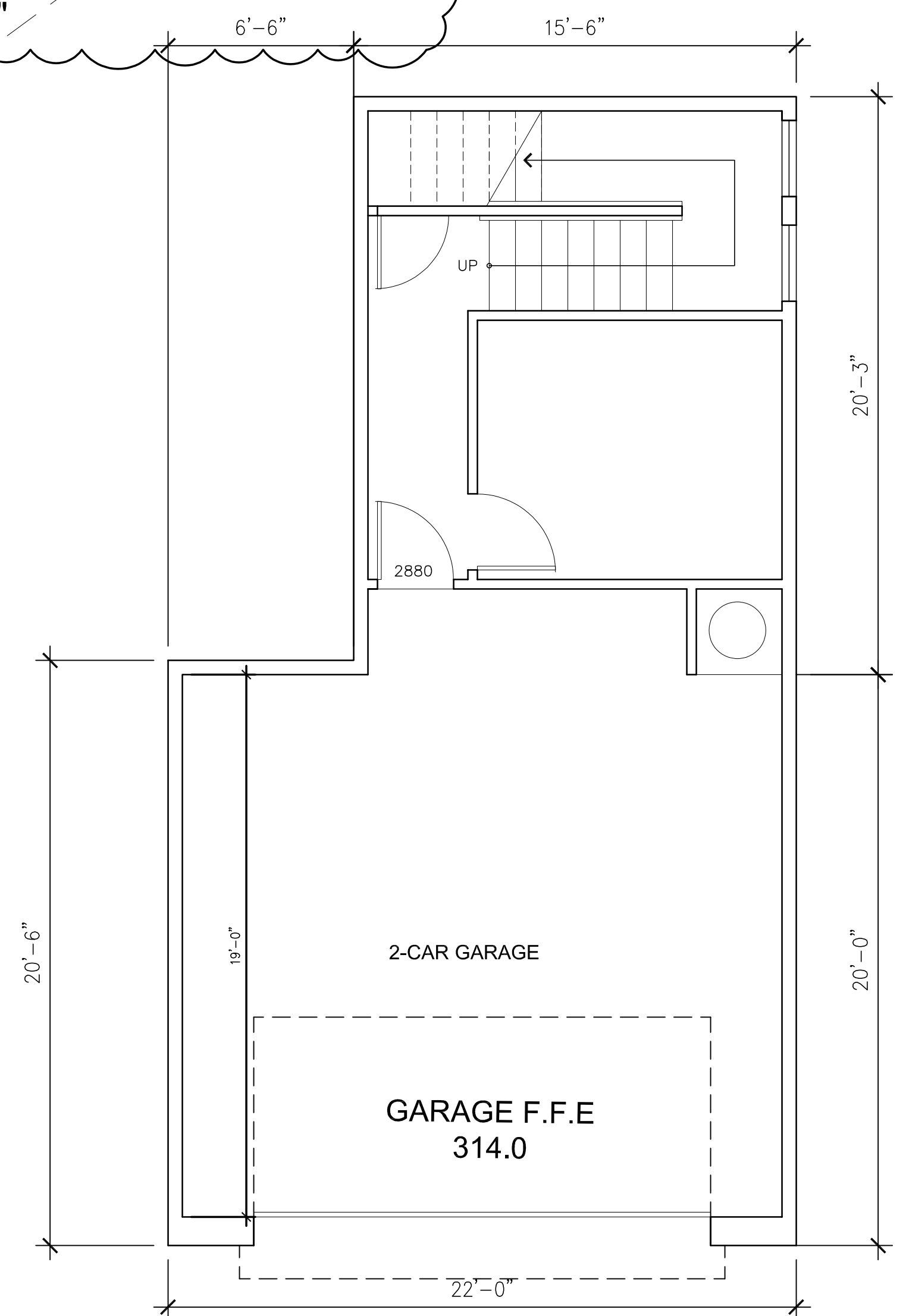
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1ST FLOOR PLAN
1/4"=1'-0"



2ND FLOOR PLAN
1/4"=1'-0"



GARAGE PLAN
1/4"=1'-0"

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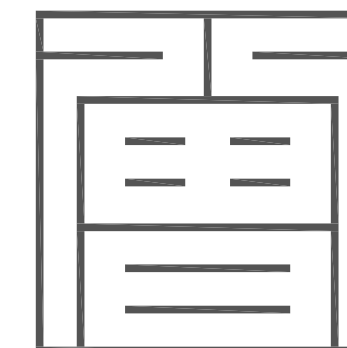
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	10.18.22	PLANNING SUBMITTAL

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Scale: 1/4"=1'-0"

FLOOR PLANS

A2.1

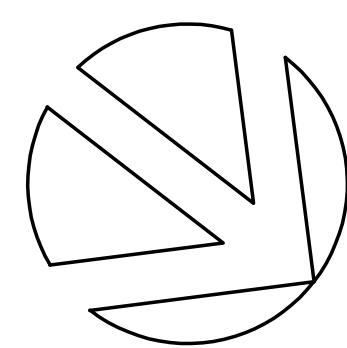
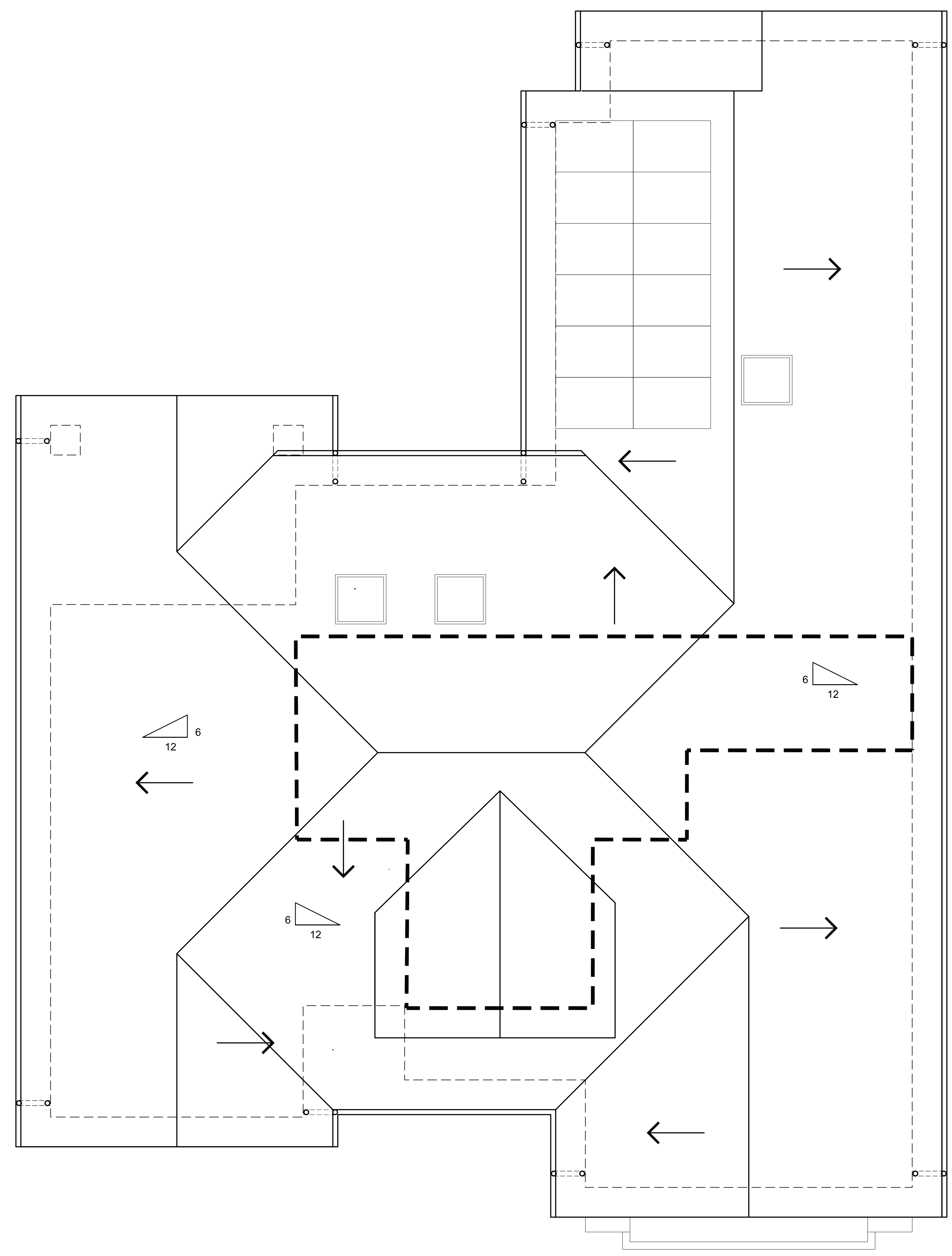


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ROOF PLAN
1/4"=1'-0"

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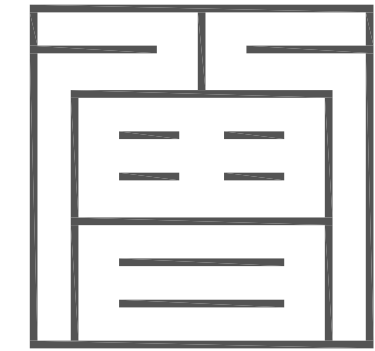
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ROOF PLAN

A2.2



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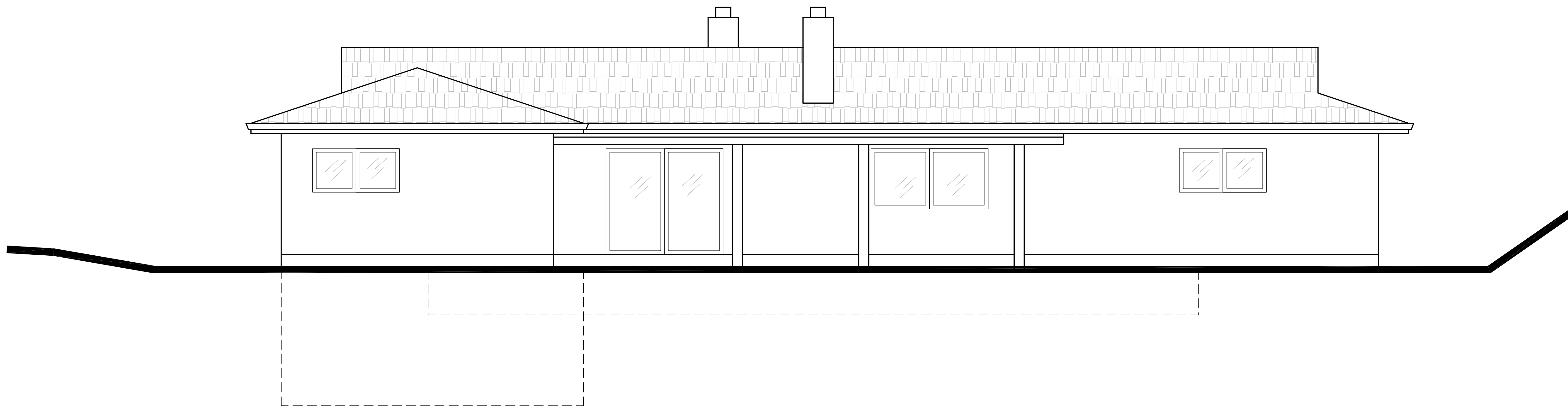


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EX. FRONT ELEVATION

1/4"=1'-0"



EX. REAL ELEVATION

1/4"=1'-0"

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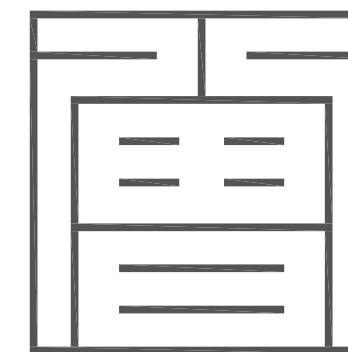
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EX. ELEVATIONS

A3.0

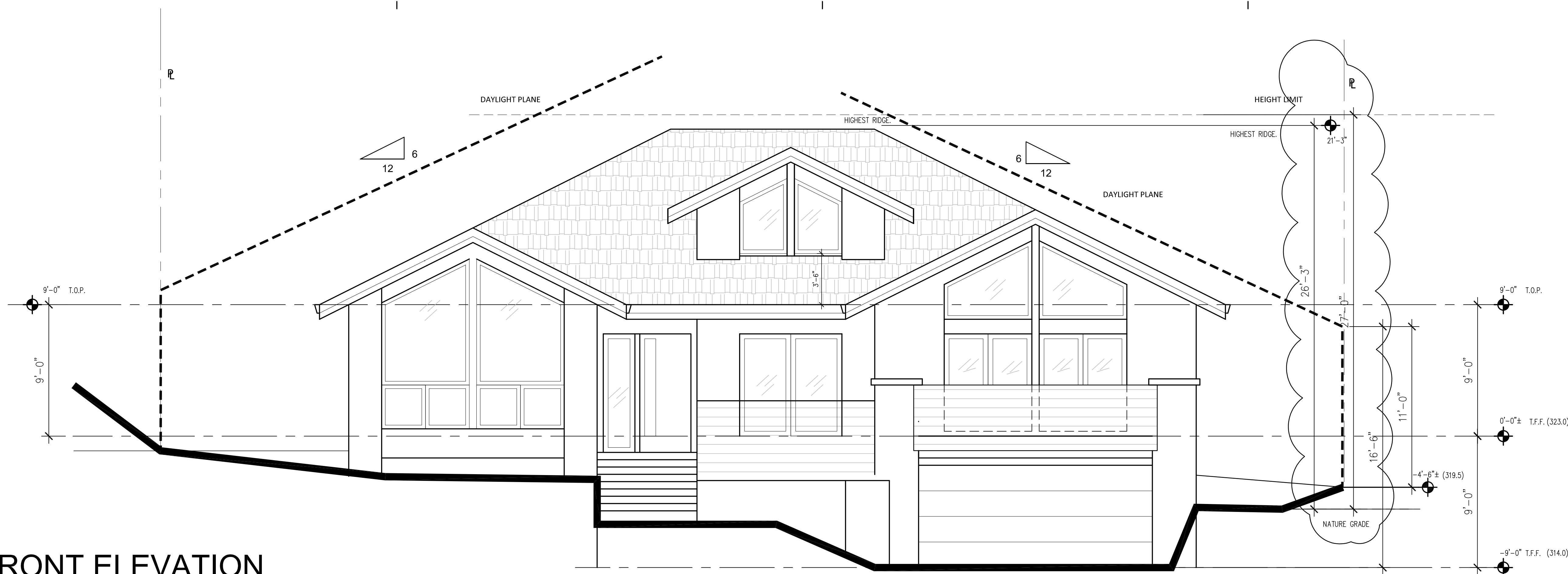


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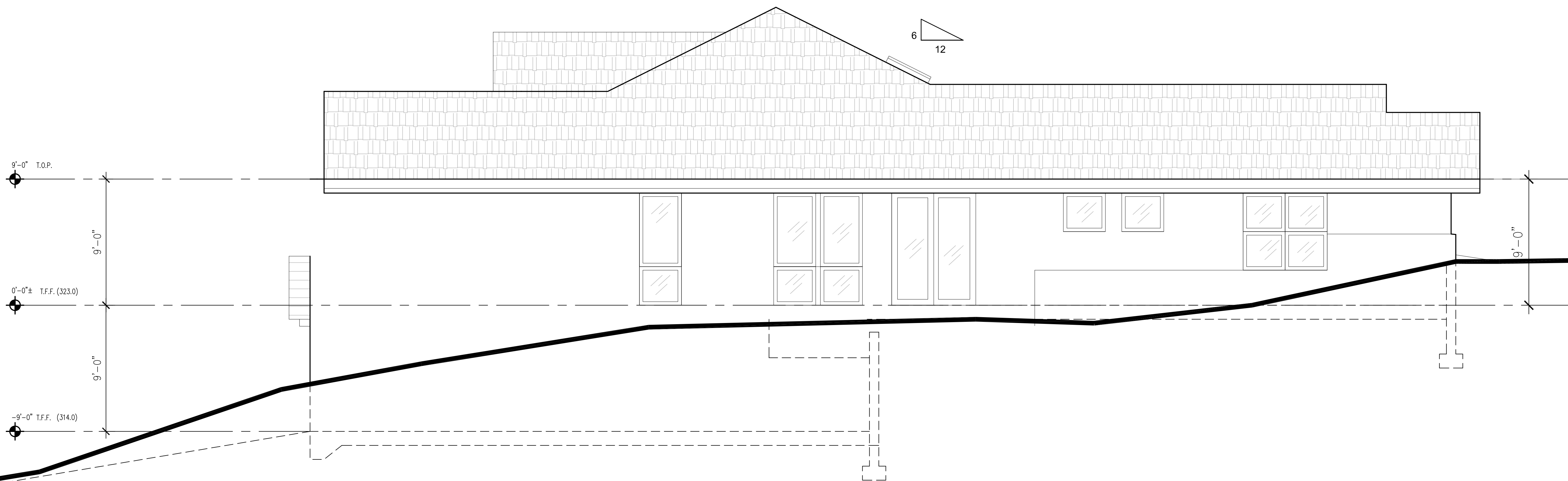


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FRONT ELEVATION

1/4"=1'-0"



RIGHT ELEVATION

1/4"=1'-0"

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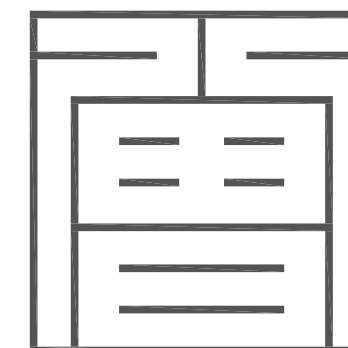
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ELEVATIONS

A3.1

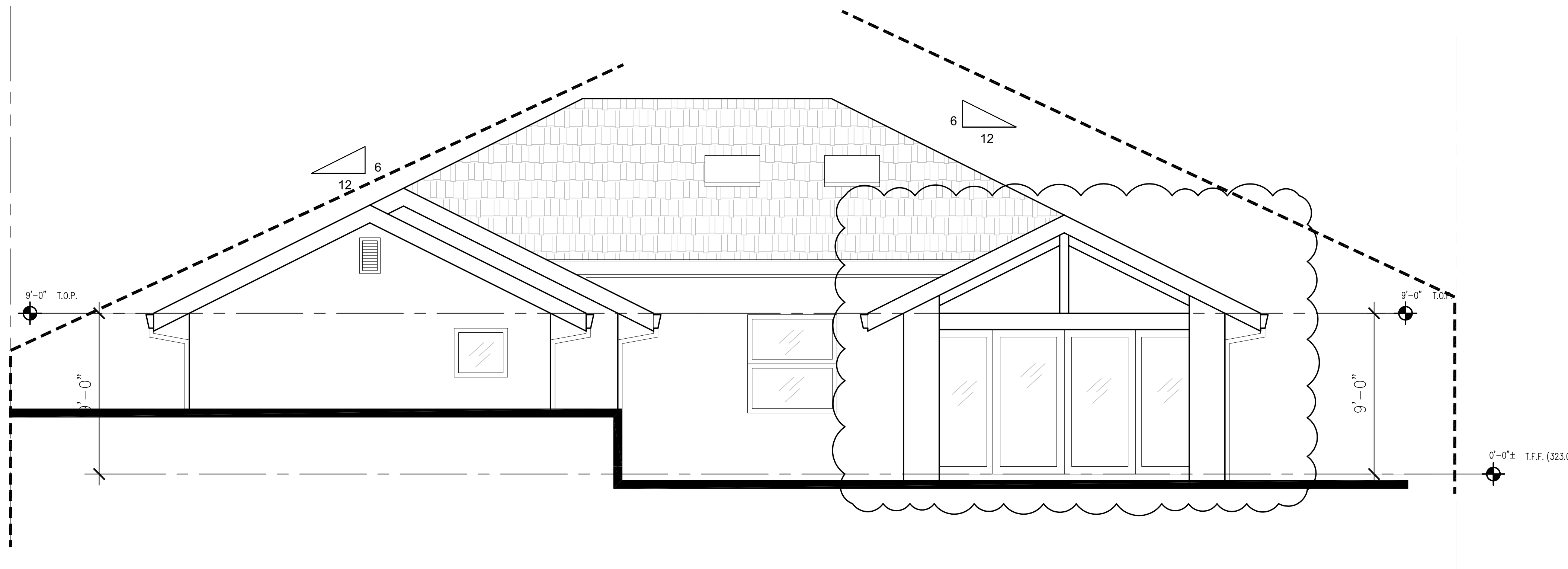


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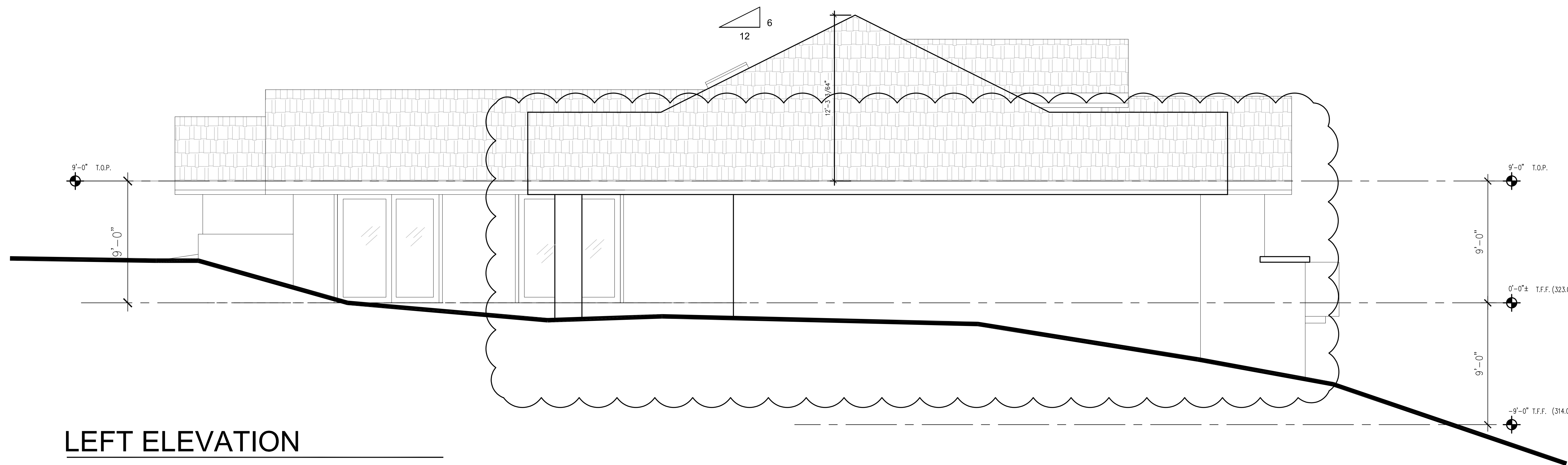


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REAR ELEVATION

1/4"=1'-0"



LEFT ELEVATION

1/4"=1'-0"

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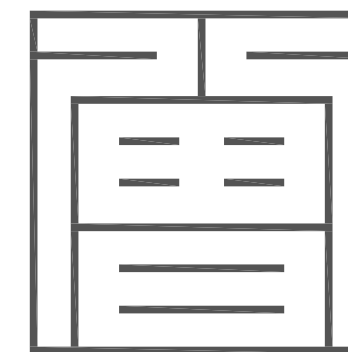
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ELEVATIONS

A3.2

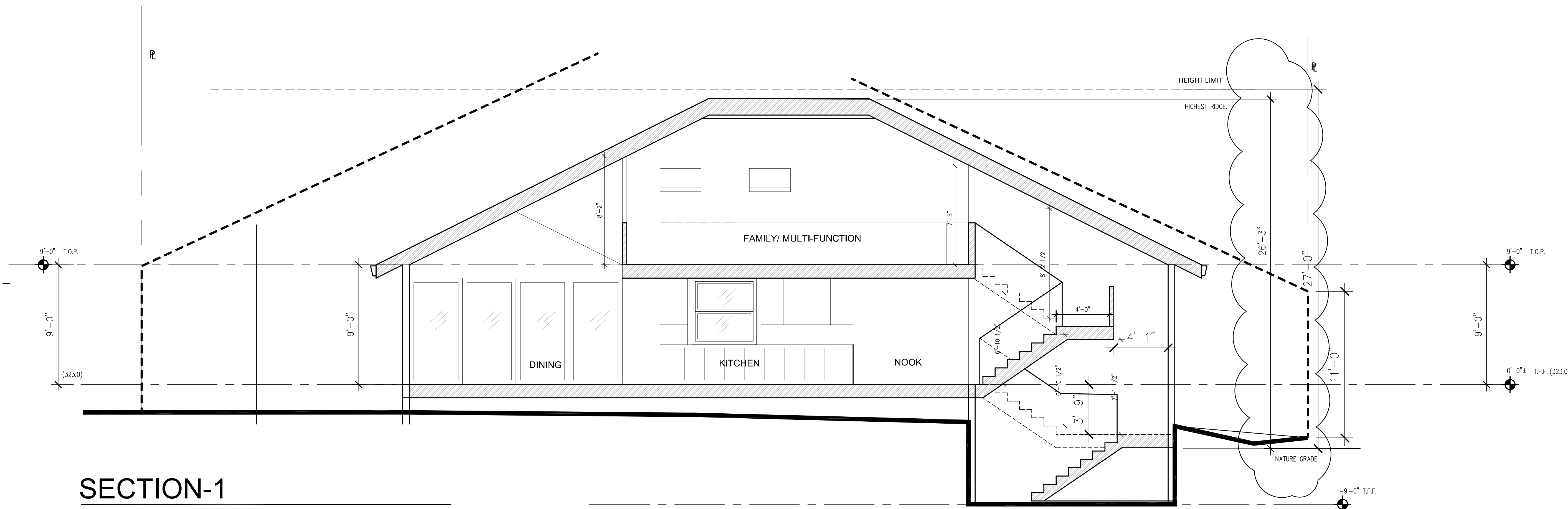


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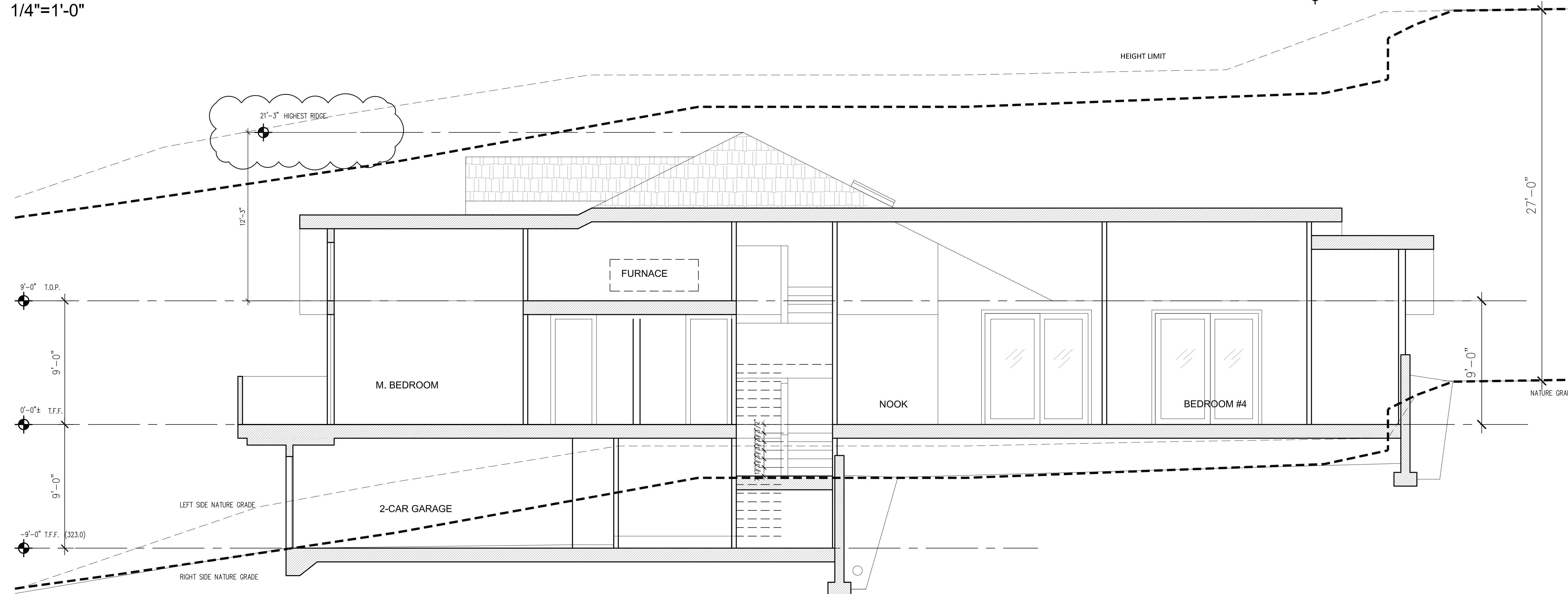


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SECTION-1

1/4"=1'-0"



SECTION-2

1/4"=1'-0"

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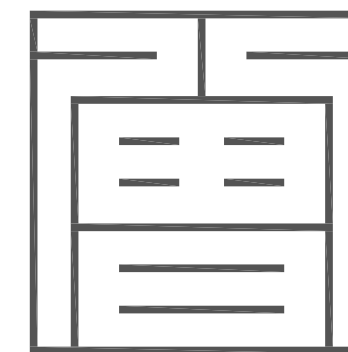
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Scale: 1/4"=1'-0"

SECTIONS

A4.1

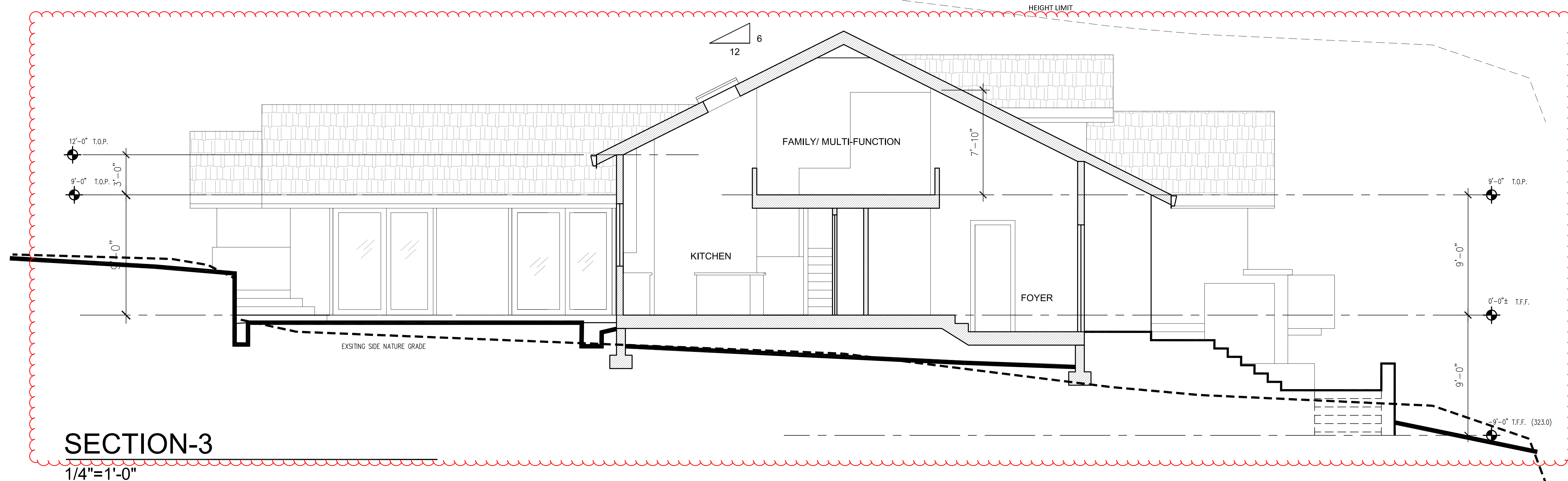


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SECTION-3

1/4"=1'-0"

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Scale: 1/4"=1'-0"

SECTIONS

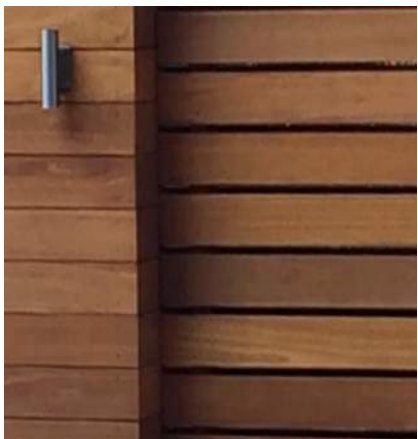
A4.2

MATERIAL BOARD

1248 VIA HUERTA
LOS ALTOS, CA



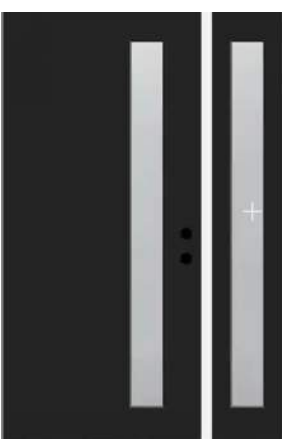
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FENCE



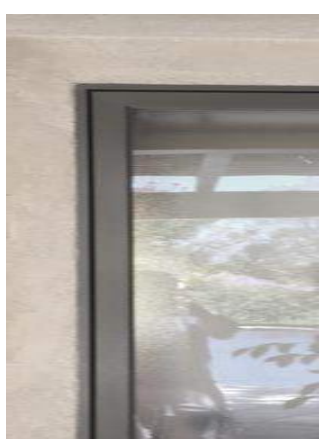
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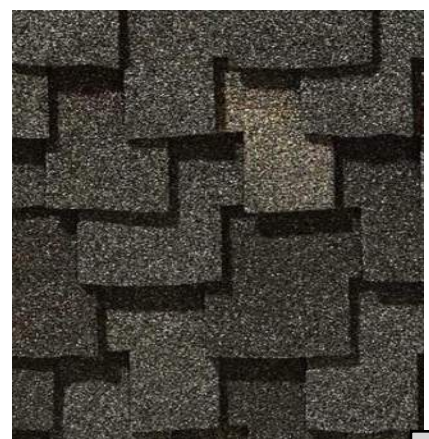
ENTRY DOOR



WOOD GARAGE DOOR



FIBERGLASS WINDOW



PRESIDENTIAL SINGLES ROOF



COMMON NAME // COAST LIVE OAK
HEIGHT AND SPREAD IN FEET // 40 X 60
GROWTH RATE // SLOW-MODERATE



COMMON NAME // FLAX LILY
HEIGHT AND SPREAD IN FEET // 2 X 1.5
GROWTH RATE // MODERATE



COMMON NAME // MATT RUSH
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // MODERATE - FAST



COMMON NAME // LITTLE OLLIE
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // MODERATE



COMMON NAME // MEXICAN SAGE
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // FAST



COMMON NAME // LOW COAST ROSEMARY
HEIGHT AND SPREAD IN FEET // 2 X 4
GROWTH RATE // MODERATE - FAST



COMMON NAME // CAPE RUSH
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // MODERATE



COMMON NAME // SANTA BARBARA DAISY
HEIGHT AND SPREAD IN FEET // 1.5 X 3
GROWTH RATE // FAST



COMMON NAME // MYOPORUM
HEIGHT AND SPREAD IN FEET // 1 X 5
GROWTH RATE // FAST



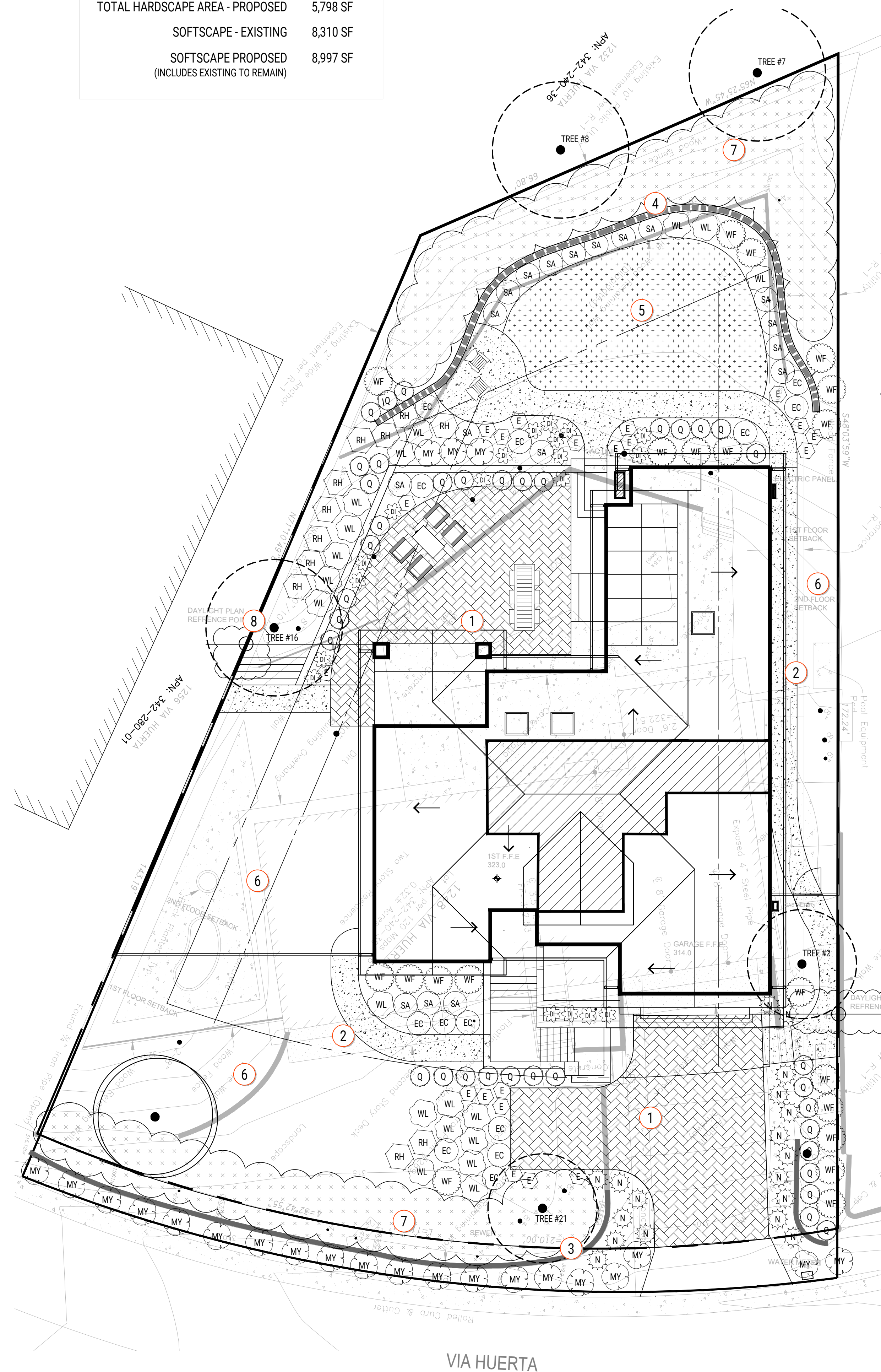
COMMON NAME // COFFEE BERRY
HEIGHT AND SPREAD IN FEET // 3 X 4
GROWTH RATE // MODERATE



COMMON NAME // BLUE COAST ROSEMARY
HEIGHT AND SPREAD IN FEET // 3 X 4
GROWTH RATE // MODERATE - FAST

LANDSCAPE DATA

TOTAL HARDSCAPE AREA - EXISTING	6,485 SF
TOTAL HARDSCAPE AREA - PROPOSED	5,798 SF
SOFTSCAPE - EXISTING	8,310 SF
SOFTSCAPE PROPOSED (INCLUDES EXISTING TO REMAIN)	8,997 SF



PLANTING SCHEDULE

TREES	BOTANICAL / COMMON NAME
	QUERCUS AGRIFOLIA / COAST LIVE OAK
SHRUBS	BOTANICAL / COMMON NAME
	CHONDRPETALUM TECTORUM / SMALL CAPE RUSH
	DIANELLA CAERULEA 'CASSA BLUE' / FLAX LILY
	ERIGERON KARVINSKIANUS / SANTA BARBARA DAISY
	LOMANDRA LONGIFOLIA 'NYALLA' / NYALLA MAT RUSH
	MYOPORUM PARVIFOLIUM 'PINK' / PINK TRAILING MYOPORUM
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE
	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY
	SALVIA LEUCANTHA / MEXICAN BUSH SAGE
	WESTRINGIA FRUTICOSA 'WES03' TM / BLUE GEM COAST ROSEMARY
	WESTRINGIA FRUTICOSA 'WES06' TM / LOW HORIZON COAST ROSEMARY

DESIGN KEY

- 1 PAVER DRIVEWAY AND PATIO
- 2 GRAVEL WALKWAY
- 3 EXISTING WALL TO REMAIN
- 4 NEW GARDEN WALL
- 5 SODDED TURF
- 6 MULCHED SIDEYARD AREA
- 7 EXISTING VEGETATION TO BE PRUNED / THINNED
- 8 EXISTING TREE TO REMAIN/PROTECT PER ARBORIST REPORT

DESIGN CRITERIA

PLANTING DESIGN CRITERIA

THE PROPOSED PLANT LIST IS COMPRISED OF PLANT MATERIAL AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. ABOVE GROUND UTILITIES WILL BE SCREENED BY PLANTING. ALL LANDSCAPE AREAS WILL BE COVERED IN MIN 3" OF BARK MULCH

IRRIGATION DESIGN CRITERIA

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE PROPOSED LANDSCAPE MATERIAL HAS A LOW TO MEDIUM WATER USE.

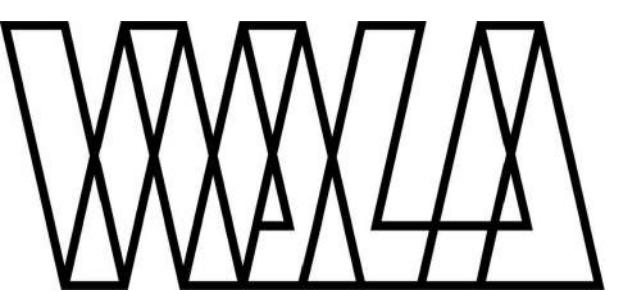
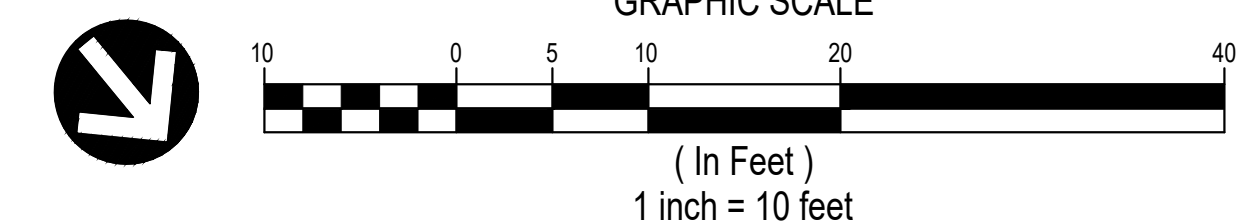
A WEATHER SENSING 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED BY DRIP, ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

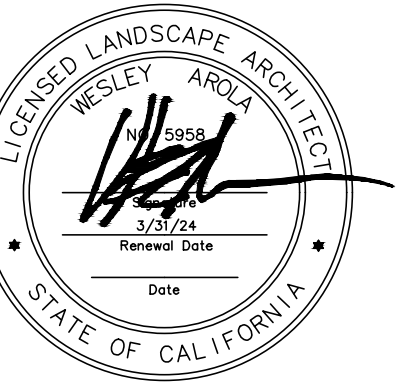
COMPLIANCE STATEMENT

THE DESIGN WILL MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWEO

WES AROLA - CA 5958



WES AROLA LANDSCAPE ARCHITECTURE
W@WESAROLA.COM 831/247 9936



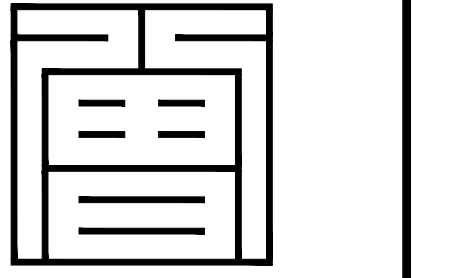
CUSTOM RESIDENCE
1248 VIA HUERTA . LOS ALTOS . 94024
LANDSCAPE PLANS

#	ITEM	DATE

DATE
12.20.2022

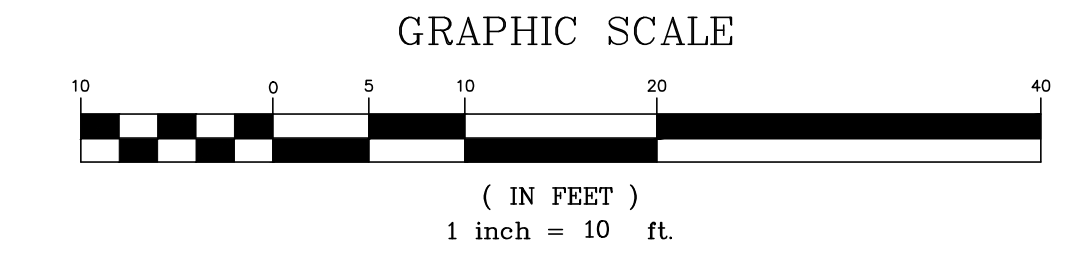
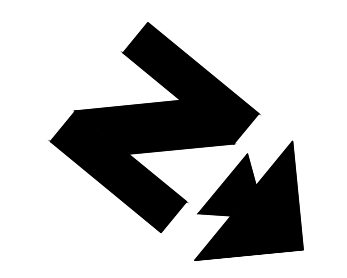
PRELIMINARY
LANDSCAPE PLAN

L-1.00



ZSD ARCHITECTS, INC.
ARCHITECTURE . PLANNING . ILLUSTRATION
11675 Putter way
Los Altos CA 94024
Tel. 408.348.6885
cel. 408.464.5631

henryzeng@yahoo.com
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TOPOGRAPHIC SURVEY BY MOUNTAIN PACIFIC SURVEYS, DATED DECEMBER 10, 2020

STORMWATER COMPLIANCE NOTES:

1. THE PROJECT CREATES AND/OR REPLACES LESS THAN ONE ACRE OF IMPERVIOUS SURFACES.
2. THE FOLLOWING SITE DESIGN MEASURES ARE PROPOSED:
 - PROTECT EXISTING TREES AND SOIL.
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREA
3. THE FOLLOWING SOURCE CONTROL MEASURES ARE PROPOSED:
 - DROUGHT TOLERANT LANDSCAPING
 - USE WATER EFFICIENT IRRIGATION SYSTEM

General Note:

- 1) Features shown hereon represent surface conditions of the project area compiled from a ground survey performed on September of 2022. Surveyor made no attempt to determine the existence or extent of underground utilities or other features not surface visible.
- 2) Boundary and easement data shown hereon are based upon a Preliminary Title Report prepared by Orange Coast Title Company as order no. 520-2345327, dated September 14, 2022

Datum Note:

Horizontal datum is based upon an assumed local coordinate system. Vertical Datum is based upon City of Los Altos benchmark #40, a brass disc set in the top of curb located at the southwest return of Stonehaven Drive and Kant Drive. Top of disc taken as 276.46', NAVD88 Datum. Temporary control points have been established hereon to perpetuate the project datum for future use.

Basis of Bearings:

Bearings shown hereon are based upon the monumented centerline of Via Huerta as shown on that certain map filed for record in Book 120 of Maps at Page 46 of Santa Clara County Records.

GENERAL GRADING NOTES:

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE COUNTY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS
3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE OPERATOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL Silt CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING
11. ALL ROOF DRAIN WILL BE DISCHARGED ONTO VEGETATED AREA PRIOR TO LEAVING SITE

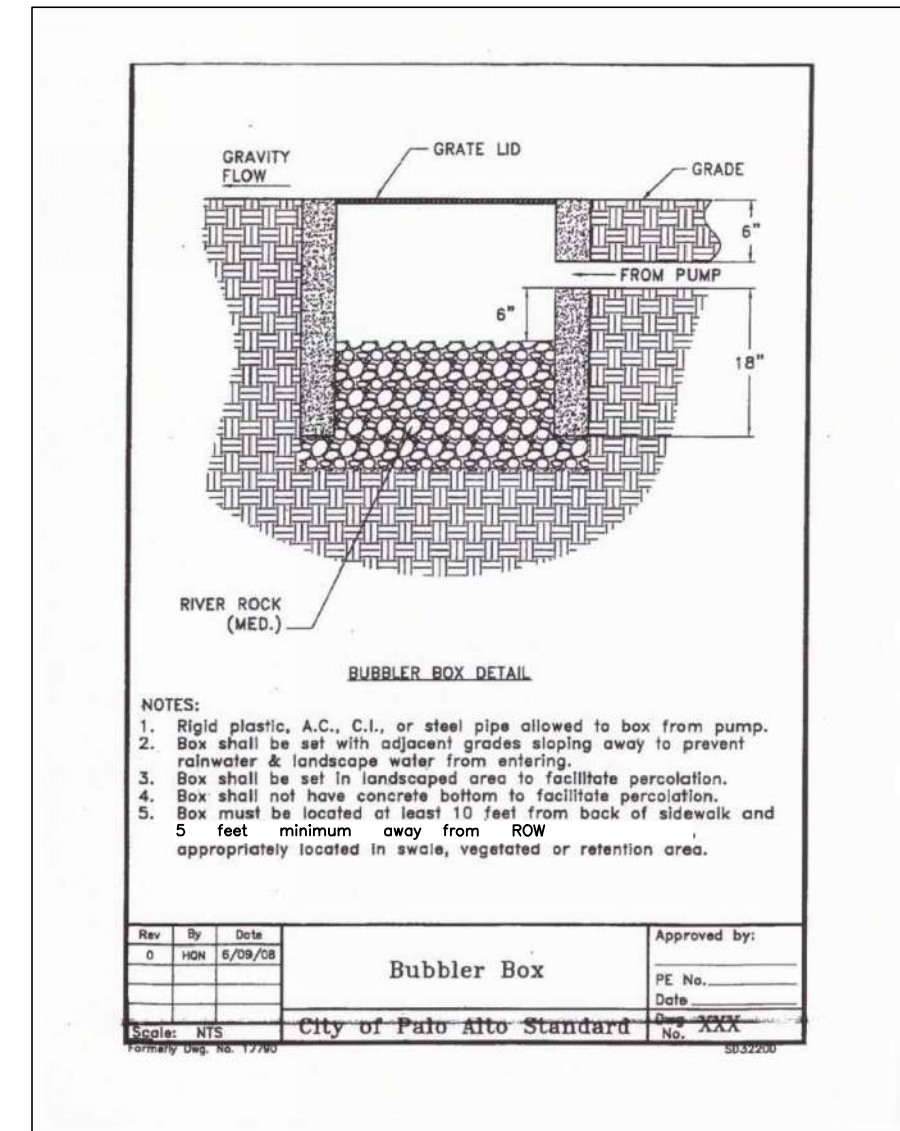
EXISTING LEGEND:

	Building Footprint		Area Drain
	Building Overhang		Fire Hydrant
	Centerline		Mailbox
	Concrete		Sanitary Sewer Cleanout
	Concrete Grade Break		Sanitary Sewer Manhole
	Curb & Gutter (Rolled)		Sign
	Easement		Spot Elevation
	Fenceline		Streetlight
	Overhead Utility Line		Survey Control Point
	Wall		Survey Monument
	Concrete		Water Meter
			Water Valve
			Book 120 of Maps, Page 46 Santa Clara Country Records

PROPOSED LEGEND:

- XXXX EX EXISTING SPOT ELEVATION
- XXXX FL FLOWLINE ELEVATION
- XXXX RIM RIM ELEVATION
- DRAINAGE SLOPE AND DIRECTION
- sd 4" HDPE @ MIN 1.5%
- 8" DRAIN BASIN W/ SOLID COVER (NYLOPLAST OR EQUIVALENT)
- 8" DRAIN BASIN W/ GRATE TOP (NYLOPLAST OR EQUIVALENT)
- BUBBLER BOX
- ROOF DRAIN DOWNSPOUT

- GENERAL NOTES:**
1. DO NOT DOWEL IN NEW DRIVEWAY AND WALKWAY INTO THE BACK OF EXISTING CONCRETE CURB
 2. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB & GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 974-2680.
 3. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT ILL BE REQUIRED.

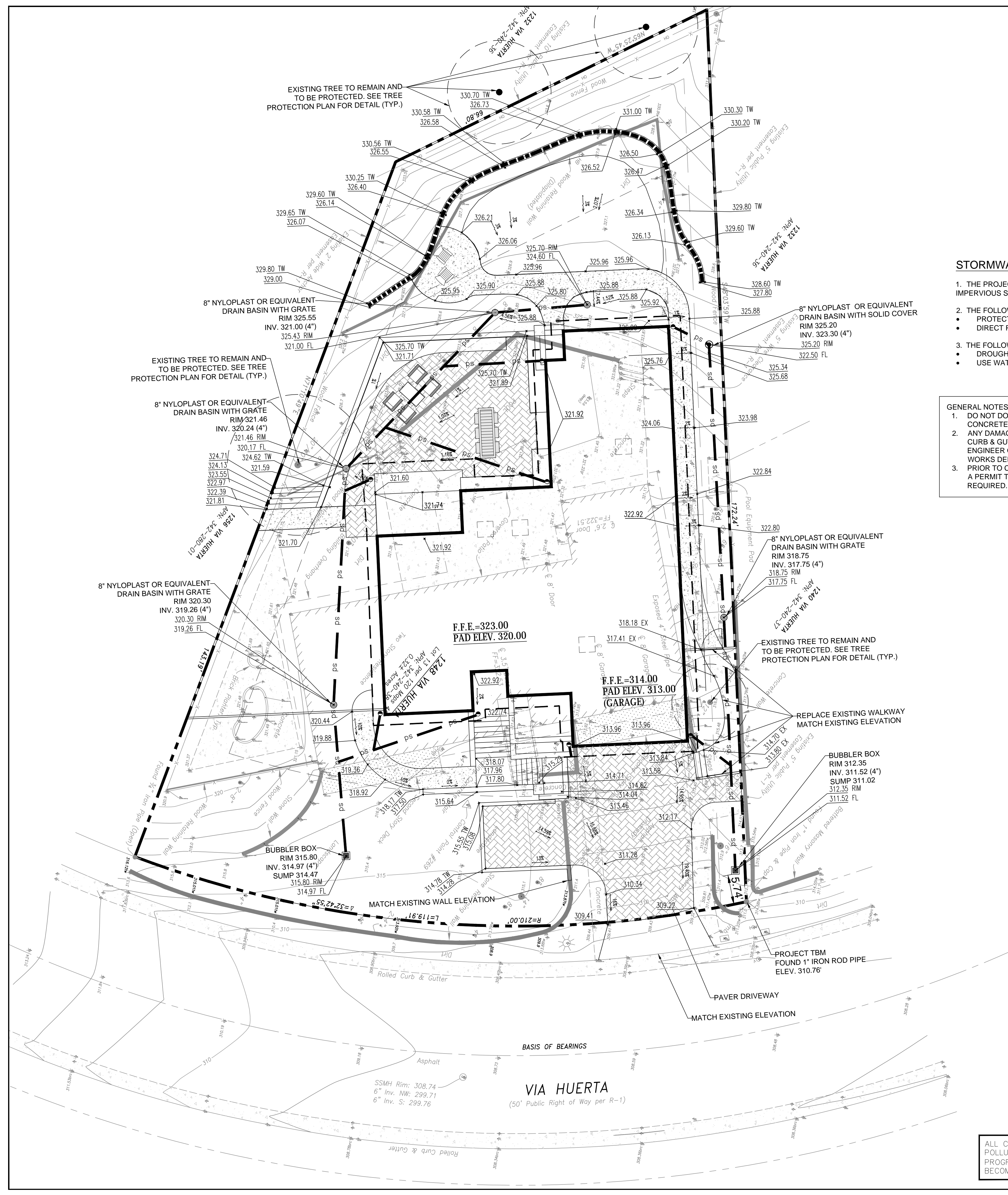


Call USA at:
1-800-227-2600

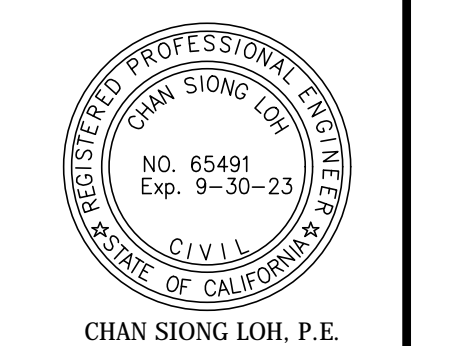


AT LEAST 48 HOURS
BEFORE YOU DIG!

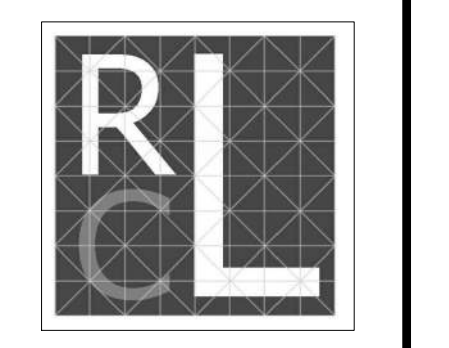
ALL CONTRACTOR AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL REFER TO SCVRP POLLUTION PREVENTION PROGRAM- CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) AND BECOME FAMILIAR WITH ITS CONTENTS PRIOR TO CONSTRUCTION



REV	BY	DATE	REVISIONS



CHAN SIANG LOH, P.E.
ECL STRUCTURAL ENGINEERS, INC.
P. 408.463.6632
info@ecse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087



RESIDENCE
GRADING & DRAINAGE PLAN
1248 VIA HUERTA
LOS ALTOS, CALIFORNIA
Project No: XXXX-XX
Designed: RK
Checked: RL
Date: 10-10-24-22

SHEET
CC1

PROJECT #

NOTICE

PLEASE BE ADVISED THAT THE DATA AND INFORMATION FROM THE PUBLIC RECORDS CONTAINED HEREIN WILL NEED TO BE UPDATED PRIOR TO CLOSING AS MANY COUNTY FACILITIES ARE CLOSED OR HAVE LIMITED STAFFING AS A RESULT OF THE CORONAVIRUS PANDEMIC. IF THE INFORMATION FROM THE COUNTY IS NOT AVAILABLE THERE WILL BE ADDITIONAL REQUIREMENTS IN ORDER TO CLOSE AND INSURE THIS TRANSACTION. PLEASE CONTACT YOUR LOCAL TITLE OFFICER FOR DETAILS.



Orange Coast Title Company of Northern California

718 University Ave., Suite 100
Los Gatos, CA 95032
(408) 827-4165 • Fax (408) 884-8395

PRELIMINARY REPORT

Intero Real Estate Services
496 First St., Ste 200
Los Altos, CA 94022

Escrow Officer: Sharon McMahon
Escrow No.: 22103038

Attention: Angie Wolff
Property address: 1248 Via Huerta, Los Altos, CA 94024

Your no.:
Order no.: 520-2345327-60

Dated: September 14, 2022

In response to the above referenced application for a policy of title insurance, **Orange Coast Title Company of Northern California** hereby reports that it is prepared to issue, or cause to be issued, as of the date hereof, a Policy or Policies of Title Insurance describing the land and the estate or interest therein hereinafter set forth, insuring against loss which may be sustained by reason of any defect, lien or encumbrance not shown or referred to as an Exception below or not excluded from coverage pursuant to the printed Schedules, Conditions and Stipulations of said Policy forms.

The printed Exceptions and Exclusions from the coverage and Limitations on Covered Risks of said policy or policies are set forth in Exhibit B attached. The policy to be issued may contain an arbitration clause. When the Amount of Insurance is less than that set forth in the arbitration clause, all arbitrable matters shall be arbitrated at the option of either the Company or the Insured as the exclusive remedy of the parties. Limitations on Covered Risks applicable to the CLTA and ALTA Homeowner’s Policies of Title Insurance which establish a Deductible Amount and a Maximum Dollar Limit of Liability for certain coverages are also set forth in Exhibit B. Copies of the policy forms should be read. They are available from the office which issued this report.

Please read the exceptions shown or referred to below and the exceptions and exclusions set forth in Exhibit B of this report carefully. The exceptions and exclusions are meant to provide you with notice of matters, which are not covered under the terms of the title insurance policy and should be carefully considered.

It is important to note that this preliminary report is not a written representation as the condition of title and may not list all liens, defects, and encumbrances affecting title to the land.

This report (and any supplements or amendments hereto) is issued solely for the purpose of facilitating the issuance of a policy of title insurance and no liability is assumed hereby. If it is desired that liability be assumed prior to the issuance of a policy of title insurance, a Binder or Commitment should be requested.

Dated as of September 8, 2022 at 7:30 AM

Sharon McMahon, Escrow Officer
Email: sharonm@octitle.com
Ph: 408-827-4165
Fax: 714-864-3198

The form of policy of title insurance contemplated by this report is:

A.L.T.A Homeowner's Policy (2/03/10) and A.L.T.A. Loan Policy (06-17-06)

The Policy of Title Insurance, if issued, will be underwritten by: Real Advantage Title Insurance Company, a subsidiary of Orange Coast Title Company. See attached disclosure.

NOTE: The premium for a policy of Title Insurance, if issued, will be based on:

A liability of TBD **Subject to any filed rate increases and/or changes in the liability.**

Schedule "A"**The estate or interest in the land hereinafter described or referred to covered by this report is:**

A Fee

Title to said estate or interest at the date hereof is vested in:

Hugh M. Sierra and Patricia G. Sierra, his wife, as community property, subject to paragraph no(s). 11 and 12 of Schedule B.

The land referred to in this report is situated in the City of Los Altos, the County of Santa Clara, State of California, and is described as follows:

Lot 13, as shown upon that certain Map entitled, "Tract No. 2616 Sierra Ventura Unit No. 1", in the City of Los Altos, County of Santa Clara, State of California which Map was filed for record in the Office of the Recorder of the County of Santa Clara, State of California, on May 26, 1960 in Book 120 of Maps, Page 46.

Excepting therefrom the underground water, as granted in Deed from Ashi Development Corporation, to California Water Service Company, a California Corporation, dated June 16, 1960, recorded June 28, 1960 in Book 4839 of Official Records, Page 214.

Assessor's Parcel Numbers(s): 342-24-038

Schedule “B”

At the date hereof exceptions to coverage in addition to the printed exceptions and exclusions contained in said policy form would be as follows:

1 **This transaction may be subject to a Federal Regulation. Information necessary to comply with the Federal Regulation must be provided prior to the closing. This transaction will not be insured until this information is submitted, reviewed and found to be complete. The form to submit the required information may be obtained by clicking on this link:**

[GTO Disclosure Form](#)

2 General and Special taxes for the fiscal year 2022-2023, including any assessments collected with taxes. A lien not yet payable.

First installment due and payable 11/01/2022, delinquent if not paid by 12/10/2022
Second installment due and payable 02/01/2023, delinquent if not paid by 04/10/2023

3 General and Special taxes for the fiscal year 2021-2022, including any assessments collected with current taxes.

Total amount	\$3,250.20
1st installment	\$1,625.10 , paid
Penalty	\$182.51 (after 12/10/2021)
2nd installment	\$1,625.10 , paid
Penalty	\$182.51 (after 4/11/2022)
Code area	011-000
Parcel No.	342-24-038
Exemption	\$7,000.00

NOTE: Taxes above mentioned have all been paid and are reported for proration purposes only.

4 Mello Roos assessments, collected and included within the taxes shown above:

Code	Description	Amount
851	LIBRARY JPA CFD 2013-1 MELLO ROOS	\$33.66

5 The Lien of future supplemental taxes, if any, assessed pursuant to the provisions of section 75, et seq of the revenue and taxation code of the State of California

6 Prior to close this company will require the Tax Collector's Office be contacted to verify open and delinquent taxes.

7 An easement for public utilities as shown on the map of said tract affects: Along the Northwesterly 5 and Southwesterly 10 feet of said land recorded [in Book 120, Page 46 of Maps](#).

8 An easement for Wire clearance easement and incidental purposes thereto as dedicated and delineated on the Tract map recorded [in Book 120, Page 46 of Maps](#).

9 An easement for 2' x 30' anchor easement and incidental purposes thereto as dedicated and delineated on the Tract map recorded [in Book 120, Page 46 of Maps](#).

- 10 Covenants, conditions and restrictions in an instrument recorded [7/11/1960 in Book 4850, Page 702, Official Records](#), which provide that a violation thereof shall not defeat or render invalid the lien of any mortgage or Deed of Trust made in good faith and for value, but deleting any covenant, condition, or restriction, if any, indicating a preference, limitation, or discrimination based on race, color, religion, sex, gender, gender identify, gender expression, sexual orientation, familial status, marital status, disability, handicap, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, to the extent that such covenants, conditions or restrictions violate applicable state or federal laws. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.

"NOTE: Section 12956.1 (b)(1) of California Government Code provide the following: if this document contains any restriction based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.2 of the Government Code. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status."

An instrument declaring a modification thereof was recorded 12/7/1964 as Instrument No. [2754735 in Book 6767, Page 329, Official Records](#)

- 11 The effect of Affidavit of Surviving Spouse Succeeding to Community Property (California Probate Code Section 13540) recorded 7/13/2021, as Instrument No. [25027911](#), Official Records, which purports to establish the death of Hugh Manuel Sierra.
- 12 The effect of a conveyance of said land
 From: Patricia G. Sierra, an unmarried woman
 To: Patricia G. Sierra, as Trustee of the Patricia G. Sierra Trust
 Recorded: 7/13/2021, as Instrument No. [25027912](#), Official Records.

Prior to close of this transaction we will require evidence of the validity of the above conveyance. The documentation appropriate to establish the validity of said conveyance will vary according to circumstances. Therefore this office must be contacted to determine what documentation will be acceptable to this company.

An approved notary of any documentation must be utilized and coordinated by this office.

- 13 "NOTE: Please be advised that our search did not disclose any open Deeds of Trust of record. If you should have knowledge of any outstanding obligation, please contact your title officer immediately for further review".
- 14 The requirement that we be furnished a copy of the **Patricia G. Sierra** Trust and any amendments thereto. A certification of said trust "may be" acceptable if made pursuant to probate code section 18100.5 and qualified as a trust under section 82 of probate code.

End of Schedule B

“NOTES AND REQUIREMENTS SECTION”ORANGE COAST TITLE COMPANY
OF NORTHERN CALIFORNIA**NOTE NO. 1****AFFILIATED BUSINESS ARRANGEMENT DISCLOSURE STATEMENT NOTICE**

This is to give you notice that Orange Coast Title Company is a shareholder in Orange Coast Title Company of Northern California and Orange Coast Title Company owns an interest in Real Advantage Title Insurance Company. This underwriter may be chosen by Orange Coast Title Company of Northern California and this referral may provide Orange Coast Title Company a financial or other benefit.

You are NOT required to use the listed provider as a condition for settlement of your loan or purchase, sale or refinance of the subject property and you have the opportunity to select any of the Orange Coast Title Company of Northern California title insurance underwriters for your transaction. THERE ARE FREQUENTLY OTHER SETTLEMENT SERVICE PROVIDERS AVAILABLE WITH SIMILAR SERVICES. YOU ARE FREE TO SHOP AROUND TO DETERMINE THAT YOU ARE RECEIVING THE BEST SERVICES AND THE BEST RATE FOR THESE SERVICES

Notes section continued on next page...

NOTE NO. 2

California Revenue and Taxation Code Section 18662, effective January 1, 1994 and by amendment effective January 1, 2003, provides that the buyer in all sales of California Real Estate may be required to withhold 3 and 1/3% of the total sales price as California State Income Tax, subject to the various provisions of the law as therein contained.

NOTE NO. 3 PAYOFF INFORMATION:

Note: this company does require current beneficiary demands prior to closing.

If the demand is expired and a correct demand cannot be obtained, our requirements will be as follows:

- A. If this company accepts a verbal update on the demand, we may hold an amount equal to one monthly mortgage payment. The amount of this hold will be over and above the verbal hold the lender may have stipulated.
- B. If this company cannot obtain a verbal update on the demand, will either pay off the expired demand or wait for the amended demand, at the discretion of the escrow.
- C. In the event that a payoff is being made to a servicing agent for the beneficiary, this company will require a complete copy of the servicing agreement prior to close.

NOTE NO. 4

If this company is requested to disburse funds in connection with this transaction, chapter 598, statutes of 1989 mandates hold periods for checks deposited to escrow or sub-escrow accounts. The mandatory hold is one business day after the day deposited. Other checks require a hold period from three to seven business days after the day deposited.

Notice Regarding Your Deposit of Funds

California Insurance Code Sections 12413 *et. Seq.* Regulates the disbursement of escrow and sub-escrow funds by title companies. The law requires that funds be deposited in the title company escrow and sub-escrow accounts and be available for withdrawal prior to disbursement. Funds deposited with the Company by wire transfer may be disbursed upon receipt. Funds deposited with the Company via cashier's checks drawn on a California based bank may be disbursed the next business day after the day of deposit. If funds are deposited with by other methods, recording or disbursement may be delayed. All escrow and sub-escrow funds received by the Company will be deposited with other funds in one or more non-interest bearing escrow accounts of the Company in a financial institution selected by the Company. The Company and/or its parent company may receive certain direct or indirect benefits from the financial institution by reason of the deposit of such funds or the maintenance of such accounts with the financial institution, and the Company shall have no obligation to account to the depositing party in any manner for the value of, or to pay such party, any benefit received by the Company and/or its parent Company. Those benefits may include, without limitation, credits allowed by such financial institution on loans to the Company and/or its parent company and earnings on investments made on the proceeds of such loans, accounting, reporting and other services and products of such financial institution. Such benefits shall be deemed additional compensation of the Company for its services in connection with the escrow or sub-escrow.



Orange Coast Title Company of Northern California

718 University Ave., Suite 100
Los Gatos, CA 95032
(408) 827-4165 • Fax (408) 884-8395

Attention:
Borrower:

Lenders supplemental report

The above numbered report (including any supplements or amendments thereto) is hereby modified and/or supplemented in order to reflect the following additional items relating to the issuance of an A.L.T.A Homeowner’s Policy (2/03/10) and A.L.T.A. Loan Policy (06-17-06) form as follows:

A. This report is preparatory to this issuance of an American Land Title Association loan policy of title insurance. This report discloses nothing, which would preclude the issuance of said American land title association loan policy of title insurance with endorsement no. 100 attached thereto.

B. The improvements on said land are designated as:

A single family residence

1248 Via Huerta, in the City of Los Altos, County of Santa Clara, State of California.

C. The only conveyance(s) affecting said land recorded within 24 months of the date of this report are as follows:

Grantor: Patricia G. Sierra, an unmarried woman
Grantee: Patricia G. Sierra, as Trustee of the Patricia G. Sierra Trust
Recorded: 7/13/2021 as Instrument No. [25027912](#), Official Records.

Attention

Please note that this preliminary report now has an extra copy of the legal description on a separate sheet of paper. There are no markings on the page. The idea is to provide you with a legal description that can be attached to other documents as needed. That legal description page immediately follows this page.

Thank you for your support of **Orange Coast Title Company of Northern California**. We hope that this makes your job a little easier.

Exhibit "A"

The land referred to in this report is situated in the City of Los Altos, County of Santa Clara, State of California, and is described as follows:

Lot 13, as shown upon that certain Map entitled, "Tract No. 2616 Sierra Ventura Unit No. 1", in the City of Los Altos, County of Santa Clara, State of California which Map was filed for record in the Office of the Recorder of the County of Santa Clara, State of California, on May 26, 1960 in Book 120 of Maps, Page 46.

Excepting therefrom the underground water, as granted in Deed from Ashi Development Corporation, to California Water Service Company, a California Corporation, dated June 16, 1960, recorded June 28, 1960 in Book 4839 of Official Records, Page 214.

Assessor's Parcel Numbers(s): 342-24-038

CLTA Preliminary Report Form – Exhibit B (06-03-11)

CLTA STANDARD COVERAGE POLICY – 1990 EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

- (a) Any law, ordinance or governmental regulation (including but not limited to building or zoning laws, ordinances, or regulations) restricting, regulating, prohibiting or relating (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement now or hereafter erected on the land; (iii) a separation in ownership or a change in the dimensions or area of the land or any parcel of which the land is or was a part; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations, except to the extent that a notice of the enforcement thereof or a notice of a defect, lien, or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy. (b) Any governmental police power not excluded by (a) above, except to the extent that a notice of the exercise thereof or notice of a defect, lien or encumbrance resulting from a violation or alleged violation affecting the land has been recorded in the public records at Date of Policy.
- Rights of eminent domain unless notice of the exercise thereof has been recorded in the public records at Date of Policy, but not excluding from coverage any taking which has occurred prior to Date of Policy which would be binding on the rights of a purchaser for value without knowledge.
- Defects, liens, encumbrances, adverse claims or other matters: (a) whether or not recorded in the public records at Date of Policy, but created, suffered, assumed or agreed to by the insured claimant; (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the insured claimant and not disclosed in writing to the Company by the insured claimant prior to the date the insured claimant became an insured under this policy; (c) resulting in no loss or damage to the insured claimant; (d) attaching or created subsequent to Date of Policy; or (e) resulting in loss or damage which would not have been sustained if the insured claimant had paid value for the insured mortgage or for the estate or interest insured by this policy.
- Unenforceability of the lien of the insured mortgage because of the inability or failure of the insured at Date of Policy, or the inability or failure of any subsequent owner of the indebtedness, to comply with the applicable doing business laws of the state in which the land is situated.
- Invalidity or unenforceability of the lien of the insured mortgage, or claim thereof, which arises out of the transaction evidenced by the insured mortgage and is based upon usury or any consumer credit protection or truth in lending law.
- Any claim, which arises out of the transaction vesting in the insured the estate of interest insured by this policy or the transaction creating the interest of the insured lender, by reason of the operation of federal bankruptcy, state insolvency or similar creditors' rights laws.

EXCEPTIONS FROM COVERAGE - SCHEDULE B, PART I

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) which arise by reason of:

- Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records. Proceedings by a public agency which may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the public records.
- Any facts, rights, interests, or claims which are not shown by the public records but which could be ascertained by an inspection of the land or which may be asserted by persons in possession thereof.
- Easements, liens or encumbrances, or claims thereof, which are not shown by the public records.
- Discrepancies, conflicts in boundary lines, shortage in area, encroachments, or any other facts which a correct survey would disclose, and which are not shown by the public records.
- (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the public records.
- Any lien or right to a lien for services, labor or material not shown by the public records.

CLTA/ALTA HOMEOWNER'S POLICY OF TITLE INSURANCE (02/03/10) EXCLUSIONS

In addition to the Exceptions in Schedule B, You are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- Governmental police power, and the existence or violation of those portions of any law or government regulation concerning: a. building, b. zoning, c. land use d. improvements on the Land, e. land division; and f. environmental protection. This Exclusion does not limit the coverage described in Covered Risk 8.a., 14, 15, 16, 18, 19, 20, 23 or 27.
- The failure of Your existing structures, or any part of them, to be constructed in accordance with applicable building codes. This Exclusion does not limit the coverage described in Covered Risk 14 or 15.
- The right to take the Land by condemning it. This Exclusion does not limit the coverage described in Covered Risk 17.
- Risks: a. that are created, allowed, or agreed to by You, whether or not they recorded in the Public Records; b. that are Known to You at the Policy Date, but not to Us, unless they are recorded in the Public Records at the Policy Date; c. that result in no loss to You; or d. that first occur after the Policy Date - this does not limit the coverage described in Covered Risk 7, 8.e, 25, 26, 27, or 28.
- Failure to pay value for Your Title.
- Lack of a right: a. to any land outside the area specifically described and referred to in paragraph 3 of Schedule A; and b. in streets, alleys, or waterways that touch the Land. This Exclusion does not limit the coverage described in Covered Risk 11 or 21.
- The transfer of the Title to You is invalid as a preferential transfer or as a fraudulent transfer or conveyance under federal bankruptcy, state insolvency, or similar creditors' rights laws.

LIMITATIONS ON COVERED RISKS

Your insurance for the following Covered Risks is limited on the Owner's Coverage Statement as follows:

- For Covered Risk 16, 18, 19, and 21 Your Deductible Amount and Our Maximum Dollar Limit of Liability shown in Schedule A.

The deductible amounts and maximum dollar limits shown on Schedule A are as follows:

	Your Deductible Amount	Our Maximum Dollar Limit of Liability
Covered Risk 16:	1 % of Policy Amount shown in Schedule A or \$ 2,500 (whichever is less)	\$ 10,000
Covered Risk 18:	1 % of Policy Amount shown in Schedule A or \$ 5,000 (whichever is less)	\$ 25,000
Covered Risk 19:	1 % of Policy Amount shown in Schedule A or \$ 5,000 (whichever is less)	\$ 25,000
Covered Risk 21:	1 % of Policy Amount shown in Schedule A or \$ 2,500 (whichever is less)	\$ 5,000

ALTA RESIDENTIAL TITLE INSURANCE POLICY (6-1-87)

EXCLUSIONS

In addition to the Exceptions in Schedule B, you are not insured against loss, costs, attorneys' fees, and expenses resulting from:

- Governmental police power, and the existence or violation of any law or government regulation. This includes building and zoning ordinances and also laws and regulations concerning: * land use * improvements on the land * land division * environmental protection. This exclusion does not apply to violations or the enforcement of these matters which appear in the public records at Policy Date. This exclusion does not limit the zoning coverage described in Items 12 and 13 of Covered Title Risks.
- The right to take the land by condemning it, unless: *a notice of exercising the right appears in the public records *on the Policy Date *the taking happened prior to the Policy Date and is binding on you if you bought the land without knowing of the taking
- Title Risks: *that are created, allowed, or agreed to by you *that are known to you, but not to us, on the Policy Date -- unless they appeared in the public records *that result in no loss to you *that first affect your title after the Policy Date -- this does not limit the labor and material lien coverage in Item 8 of Covered Title Risks
- Failure to pay value for your title.
- Lack of a right: *to any land outside the area specifically described and referred to in Item 3 of Schedule A OR *in streets, alleys, or waterways that touch your land. This exclusion does not limit the access coverage in Item 5 of Covered Title Risks.

2006 ALTA LOAN POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees or expenses which arise by reason of:

- (a) Any law, ordinance or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the land; (ii) the character, dimensions or location of any improvement erected on the Land; (iii) the subdivision of land; or (iv) environmental protection; or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5.
- Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
- Defects, liens, encumbrances, adverse claims or other matters: (a) created, suffered, assumed or agreed to by the Insured Claimant; (b) not known to the Company, not recorded in the public records at Date of Policy, but known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy; (c) resulting in no loss or damage to the Insured Claimant; (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 11, 13 or 14); or (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
- Unenforceability of the lien of the Insured Mortgage because of the inability or failure of an Insured to comply with applicable doing-business laws of the state in which the Land is situated.
- Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury or any consumer credit protection or truth in lending law.
- Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is (a) a fraudulent conveyance or fraudulent transfer, or (b) a preferential transfer for any reason not stated in Covered Risk 13(b) of this policy.
- Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the Insured Mortgage in the Public Records. This Exclusion does not modify or limit the coverage provided under Covered Risk 11(b):

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

- (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
- Any facts, rights, interests or claims which are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
- Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
- Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and not shown by the Public Records.
- (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b) or (c) are shown by the Public Records.
- Any lien or right to a lien for services, labor or material not shown by the public records.

2006 ALTA OWNER'S POLICY (06-17-06)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy, and the Company will not pay loss or damage, costs, attorneys' fees, or expenses that arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including those relating to building and zoning) restricting, regulating, prohibiting, or relating to: (i) the occupancy, use, or enjoyment of the Land; (ii) the character, dimensions, or location of any improvement erected on the Land; (iii) the subdivision of land; or (iv) environmental protection; or the effect of any violation of these laws, ordinances, or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risk 5. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risk 6.
 2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
 3. Defects, liens, encumbrances, adverse claims, or other matters: (a) created, suffered, assumed, or agreed to by the Insured Claimant; (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy; (c) resulting in no loss or damage to the Insured Claimant; (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risk 9 and 10); or (e) resulting in loss or damage that would not have been sustained if the Insured Claimant had paid value for the Title.
 4. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction vesting the Title as shown in Schedule A, is (a) a fraudulent conveyance or fraudulent transfer; or (b) a preferential transfer for any reason not stated in Covered Risk 9 of this policy.
 5. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching between Date of Policy and the date of recording of the deed or other instrument of transfer in the Public Records that vests Title as shown in Schedule A.
- The above policy form may be issued to afford either Standard Coverage or Extended Coverage. In addition to the above Exclusions from Coverage, the Exceptions from Coverage in a Standard Coverage policy will also include the following Exceptions from Coverage:

EXCEPTIONS FROM COVERAGE

This policy does not insure against loss or damage (and the Company will not pay costs, attorneys' fees or expenses) that arise by reason of:

1. (a) Taxes or assessments that are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the Public Records; (b) proceedings by a public agency that may result in taxes or assessments, or notices of such proceedings, whether or not shown by the records of such agency or by the Public Records.
2. Any facts, rights, interests, or claims that are not shown by the Public Records but that could be ascertained by an inspection of the Land or that may be asserted by persons in possession of the Land.
3. Easements, liens or encumbrances, or claims thereof, not shown by the Public Records.
4. Any encroachment, encumbrance, violation, variation, or adverse circumstance affecting the Title that would be disclosed by an accurate and complete land survey of the Land and that are not shown by the Public Records.
5. (a) Unpatented mining claims; (b) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (c) water rights, claims or title to water, whether or not the matters excepted under (a), (b), or (c) are shown by the Public Records.
6. Any lien or right to a lien for services, labor or material not shown by the public records.

ALTA EXPANDED COVERAGE RESIDENTIAL LOAN POLICY (07-26-10)

EXCLUSIONS FROM COVERAGE

The following matters are expressly excluded from the coverage of this policy and the Company will not pay loss or damage, costs, attorneys fees or expenses which arise by reason of:

1. (a) Any law, ordinance, permit, or governmental regulation (including but not limited to building and zoning) restricting, regulating, prohibiting or relating to (i) the occupancy, use, or enjoyment of the Land; (ii) the character, dimensions or location of any improvement erected on the Land; (iii) the subdivision of the land; or (iv) environmental protection, or the effect of any violation of these laws, ordinances or governmental regulations. This Exclusion 1(a) does not modify or limit the coverage provided under Covered Risks 5, 6, 13(c), 13(d), 14, and 16. (b) Any governmental police power. This Exclusion 1(b) does not modify or limit the coverage provided under Covered Risks 5, 6, 13(c), 13(b), 14, and 16.
2. Rights of eminent domain. This Exclusion does not modify or limit the coverage provided under Covered Risk 7 or 8.
3. Defects, liens, encumbrances, adverse claims or other matters (a) created, suffered, assumed or agreed to by the Insured Claimant; (b) not Known to the Company, not recorded in the Public Records at Date of Policy, but Known to the Insured Claimant and not disclosed in writing to the Company by the Insured Claimant prior to the date the Insured Claimant became an Insured under this policy; (c) resulting in no loss or damage to the Insured Claimant; (d) attaching or created subsequent to Date of Policy (however, this does not modify or limit the coverage provided under Covered Risks 11, 16, 17, 18, 19, 20, 21, 22, 23, 24, 27 or 26); or (e) resulting in loss or damage which would not have been sustained if the Insured Claimant had paid value for the Insured Mortgage.
4. Unenforceability of the lien of the Insured Mortgage because of the inability or failure of the Insured to comply with applicable doing-business laws of the state in which the Land is situated.
5. Invalidity or unenforceability in whole or in part of the lien of the Insured Mortgage that arises out of the transaction evidenced by the Insured Mortgage and is based upon usury, or any consumer credit protection or truth in lending law. This Exclusion does not modify or limit the coverage provided in Covered Risk 26.
6. Any claim of invalidity, unenforceability or lack of priority of the lien of the Insured Mortgage as to Advances or modifications made after the Insured has Knowledge that the vestee shown in Schedule A is no longer the owner of the estate or interest covered by this policy. This Exclusion does not modify or limit the coverage provided in Covered Risk 11.
7. Any lien on the Title for real estate taxes or assessments imposed by governmental authority and created or attaching subsequent to Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
8. The failure of the residential structure, or any portion of it, to have been constructed before, on or after Date of Policy in accordance with applicable building codes. This Exclusion does not modify or limit the coverage provided in Covered Risk 5 or 6.
9. Any claim, by reason of the operation of federal bankruptcy, state insolvency, or similar creditors' rights laws, that the transaction creating the lien of the Insured Mortgage, is (a) a fraudulent conveyance or fraudulent transfer, or (b) a preferential transfer for any reason not stated in Covered Risk 27(b) of this policy.

Orange Coast Title Company of Northern California

PRIVACY POLICY

We Are Committed to Safeguarding Customer Information

In order to better serve your needs now and in the future, we may ask you to provide us with certain information. We understand that you may be concerned about what we will do with such information – particularly any personal or financial information. We agree that you have a right to know how we will utilize the personal information that you provide to us. Therefore, we have adopted this Privacy Policy to govern the use and handling of your personal information.

Applicability

This Privacy Policy governs our use of the information which you provide to us. It does not govern the manner in which we may use information we have obtained from any other source, such as information obtained from a public record or from another person or entity.

Types of Information

Depending upon which of our services you are utilizing, the types of nonpublic personal information that we may collect include:

- Information we receive from you on applications, forms and in other communications to us, whether in writing, in person, by telephone or any other means.
- Information we receive from providers of services to us, such as appraisers, appraisal management companies, real estate agents and brokers and insurance agencies (this may include the appraised value, purchase price and other details about the property that is the subject of your transaction with us).
- Information about your transactions with us, our Affiliated Companies, or others; and
- Information we receive from a consumer reporting agency.

Your California Rights (immediately following this Privacy Policy) or you may visit our website at <https://www.titleadvantage.com/privacypolicy.htm> or call toll-free at (866) 241-7373. Only applies to CA residents

Use of Information

We request information from you for our own legitimate business purposes and not for benefit of any nonaffiliated party. Therefore, we will not release your information to nonaffiliated parties except: (1) as necessary for us to provide the product or service you have requested of us; or (2) as permitted by law. We may, however, store such information indefinitely, including the period after which any customer relationship has ceased. Such information may be used for any internal purpose, such as quality control efforts or customer analysis.

Former Customers

Even if you are no longer our customer, our Privacy Policy will continue to apply to you.

Confidentiality and Security

We will use our best efforts to ensure that no unauthorized parties have access to any of your information. We restrict access to nonpublic personal information about you to those individuals and entities who need to know that information to provide products or services to you. We will use our best efforts to train and oversee our employees and agents to ensure that your information will be handled responsibly and in accordance with this Privacy Policy. We currently maintain physical, electronic, and procedural safeguards that comply with federal regulations to guard your nonpublic personal information.

Other Important Information

We reserve the right to modify or supplement this Privacy Policy at any time. If our Privacy Policy changes, we will provide the new Privacy Policy before the new policy becomes effective.

Last Revision 12/26/2019
Effective on 1/01/2020

Your California Rights

If you are a California resident, you may have certain rights under California law, including but not limited to the California Consumer Privacy Act ("CCPA"). All phrases used herein shall have the same meaning as those phrases used under relevant California law, including but not limited to the CCPA.

Right to Know

You have the right to know:

- The categories of personal information we have collected about or from you;
- The categories of sources from which we collected your personal information;
- The business or commercial purpose for collecting or sharing your personal information;
- The categories of third parties with whom we have shared your personal information; and
- The specific pieces of your personal information we have collected.

Process to Submit a Request. To submit a verified request for this information you may visit our website at <https://www.titleadvantage.com/privacypolicy.htm> or call toll-free at (866) 241-7373. You may also designate an authorized agent to submit a request on your behalf by visiting our website <https://www.titleadvantage.com/privacypolicy.htm> or calling toll-free at (866) 241-7373 and then also submitting written proof of such authorization via e-mail to dataprivacy@octitle.com.

Verification Method. In order to ensure your personal information is not disclosed to unauthorized parties, and to protect against fraud, we will verify your identity before responding to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the personal information requested, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

Right of Deletion

You have a right to request that we delete the **personal information** we have collected from or about you.

Process to Submit a Request. To submit a verified request to delete you information you may visit our website at <https://www.titleadvantage.com/privacypolicy.htm> or call toll-free at (866) 241-7373. You may also designate an authorized agent to submit a request on your behalf by clicking here or calling toll-free at (866) 241-7373 and then also submitting written proof of such authorization via e-mail to dataprivacy@octitle.com.

Verification Method. In order to ensure we do not inadvertently delete your **personal information** based on a fraudulent request, we will verify your identity before we respond to your request. To verify your identity, we will generally match the identifying information provided in your request with the information we have on file about you. Depending on the sensitivity of the **personal information** requested to be deleted, we may also utilize more stringent verification methods to verify your identity, including but not limited to requesting additional information from you and/or requiring you to sign a declaration under penalty of perjury.

Right to Opt-Out

We do not sell your **personal information** to third parties, and do not plan to do so in the future.

Right of Non-Discrimination

You have a right to exercise your rights under the CCPA without suffering discrimination. Accordingly, OC Title & family of Companies will not discriminate against you in any way if you choose to exercise your rights under the CCPA.

California Minors

If you are a California resident under the age of 18, California Business and Professions Code § 22581 permits you to request and obtain removal of content or information you have publicly posted on any of our Applications or Websites. To make such a request, please send an email with a detailed description of the specific content or information to dataprivacy@octitle.com. Please be aware that such a request does not ensure complete or comprehensive removal of the content or information you have posted and there may be circumstances in which the law does not require or allow removal even if requested.

Collection Notice

The following is a list of the categories of **personal information** we may have collected about California residents in the twelve months preceding the date this Privacy Notice was last updated, including the business or commercial purpose for said collection, the

categories of sources from which we may have collected the **personal information**, and the categories of third parties with whom we may have shared the **personal information**:

Categories of Personal Information Collected

The categories of **personal information** we have collected include, but may not be limited to:

- real name
- Signature
- Alias
- SSN
- physical characteristics or description, including protected characteristics under federal or state law
- address
- telephone number
- passport number
- driver's license number
- state identification card number
- IP address
- policy number
- file number
- employment history
- bank account number
- credit card number
- debit card number
- financial account numbers
- commercial information
- professional or employment information

Categories of Sources

Categories of sources from which we've collected **personal information** include, but may not be limited to:

- the consumer directly
- public records
- governmental entities
- non-affiliated third parties
- affiliated third parties

Business Purpose for Collection

The business purposes for which we've collected **personal information** include, but may not be limited to:

- completing a transaction for our Products
- verifying eligibility for employment
- facilitating employment
- performing services on behalf of affiliated and non-affiliated third parties
- protecting against malicious, deceptive, fraudulent, or illegal activity

Categories of Third Parties Shared

The categories of third parties with whom we've shared **personal information** include, but may not be limited to:

- service providers
- government entities
- operating systems and platforms
- non-affiliated third parties
- affiliated third parties

Sale Notice

We have not sold the **personal information** of California residents to any third party in the twelve months preceding the date this Privacy Notice was last updated, and we have no plans to sell such information in the future. We also do not, and will not sell the **personal information** of minors under sixteen years of age without affirmative authorization.

Disclosure Notice

The following is a list of the categories of **personal information** of California residents we may have disclosed for a business purpose in the twelve months preceding the date this Privacy Notice was last updated.

- real name
- Signature
- Alias
- SSN
- physical characteristics or description, including protected characteristics under federal or state law
- telephone number
- passport number
- driver's license number
- state identification card number
- IP address
- policy number
- file number
- bank account number
- credit card number
- debit card number
- financial account numbers
- commercial information
- professional or employment information

- address
 - employment history
- If you have any questions and/or comments you may contact us:

Call Us at our toll free number (866) 241-7373
Email Us at dataprivacy@octitle.com
Mail:
Orange Coast Title
Attn: Privacy Officer
1551 N. Tustin Ave., Ste. 300
Santa Ana, CA 92705

Effective on 1/1/2019
Revised on 12/23/2019



**Orange Coast Title Company of
Northern California**
718 University Ave., Suite 100
Los Gatos, CA 95032
(408) 827-4165 • Fax (408) 884-8395

OWNER'S AFFIDAVIT

State of California }
County of _____ } S.S.

Order No.: 520-2345327-60

The undersigned, _____, (owner's name)
being first duly sworn, depose and say as follows:

1. That the undersigned is/are the owner(s) of certain real property situated in the City of Los Altos, County of Santa Clara and State of California, commonly known as 1248 Vía Huerta and more particularly described in Schedule "A" attached hereto (the "Property"):
2. That within the last ninety (90) days, including the date hereof, no person, firm or corporation has furnished any labor, services or materials in connection with the construction or repair of any buildings, fixtures or improvements on the Property, EXCEPT (if work has been performed or materials furnished within the last (90) days, please explain fully and state whether payment for the same has been made in full): _____.
3. That there are no present tenants, lessees or other parties in possession or who have a right to possession of said Property, EXCEPT: (if none, state "None") _____.
4. That the undersigned has/have no knowledge of any taxes or special assessments which are not shown as existing liens by the public records other than as follows: _____.
5. That the taxes for Installment ___ of fiscal year _____ are paid. Installment ___ of fiscal year _____ is not yet due.
6. That the undersigned has/have no knowledge of, nor has/have the undersigned created, any violations of any covenants, restrictions, agreements, conditions or zoning ordinances affecting the Property.
7. That Property is free of all liens, taxes, encumbrances and claims of every kind, nature and description whatsoever, except for the following mortgages or deeds of trust; _____ and except for real estate and personal property taxes for Installment ___ of fiscal year _____ and subsequent years.
8. That there are no mechanic's, materialmen's or laborer's liens against the above described Property, nor is any party entitled to assert any mechanic's, materialmen's or laborer's liens against the Property.
9. That there are no unrecorded leases or agreements affecting the Property, other than the Agreement of Sale between the undersigned and _____ as purchasers of the Property dated _____.
10. That there are no open, unexercised options to purchase or rights of first refusal to purchase the Property.
11. That no judgment or decree has been entered in any court of this State or the United States against the undersigned and which remain unsatisfied, EXCEPT _____.
12. The undersigned further state(s) that he/she/they are each familiar with the nature of an oath; and with the penalties under the laws of the state for making false statements in any instruments of this nature. The undersigned further certify(ies) that they have read, this affidavit, or have had it read to them, and understand its context.
13. That I/WE have made this Affidavit for the purpose of inducing Orange Coast Title Company of Northern California to issue one or more policy(ies) of title insurance insuring interests in the Property, and that said title company is relying on the

statements set forth in this Affidavit in issuing said policies, free and harmless from and against any and all actions, causes, of action, loss, cost, expense, or damages that may be brought against or suffered or incurred by Orange Coast Title Company of Northern California or its underwriters, in relying on the truth and accuracy of the statements contained herein.

By: _____
Name: _____

By: _____
Name: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy or validity of that document.

State of California }
County of _____ } S.S.

On _____, before me, _____,
personally appeared _____

_____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity(ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed this instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS MY HAND and OFFICIAL SEAL

Signature: _____

(Notary Seal)

Exhibit “A”

Lot 13, as shown upon that certain Map entitled, “Tract No. 2616 Sierra Ventura Unit No. 1”, in the City of Los Altos, County of Santa Clara, State of California which Map was filed for record in the Office of the Recorder of the County of Santa Clara, State of California, on May 26, 1960 in Book 120 of Maps, Page 46.

Excepting therefrom the underground water, as granted in Deed from Ashi Development Corporation, to California Water Service Company, a California Corporation, dated June 16, 1960, recorded June 28, 1960 in Book 4839 of Official Records, Page 214.



**Orange Coast Title Company of
Northern California**
718 University Ave., Suite 100
Los Gatos, CA 95032
(408) 827-4165 • Fax (408) 884-8395

DECLARATION OF OCCUPANCY
(Loan Transaction)

The undersigned, _____,
(owner's name) depose(s) and say(s) as follows:

1. The undersigned is/are the owner(s) of certain real property situated in the City of Los Altos, County of Santa Clara and State of California, commonly known as 1248 Vía Huerta, herein referred to as "Property":
2. The undersigned is/are obtaining a loan from _____ to be secured by a Deed of Trust against the Property, which is the subject of this transaction.
3. The undersigned currently occupy the Property as the undersigned's principal address, and intend to continue to occupy the same as the undersigned's principal residence following the close of this transaction.
4. The undersigned understand(s) that Orange Coast Title Company of Northern California is relying on this information in calculating the recording fees for all real estate instruments, papers, and notices recorded in connection with this transaction in accordance with *California Government Code* §27388.1(a)(2).
5. The undersigned agree(s) to indemnify and hold Orange Coast Title Company of Northern California harmless from and against, and to pay any additional recording fees and/or penalties arising out of, or in connection with, the inaccuracy of the information set forth herein.

The undersigned declare(s) under penalty of perjury under the laws of the State of California that the foregoing is true and correct, and that this Declaration was executed on _____, at _____, _____.

By: _____
Name: _____

By: _____
Name: _____



Orange Coast Title Company of Northern California

718 University Ave., Suite 100
Los Gatos, CA 95032
(408) 827-4165 • Fax (408) 884-8395

CONFIRMATION OF CONVEYANCE (Low or No Consideration Transfer)

I/We _____

Declare as Follows:

1. That I/We am/are the grantor(s) named in a certain grant deed or quit claim deed recorded as Instrument No. _____, in the County of _____, State of California.
2. That I/We did execute said conveyance on or about the date indicated.
3. That said Deed is valid and in full force and effect and that I/We claim no ownership interest in the property described therein.
4. That I/We hereby acknowledge, confirm, and ratify the above described conveyance.
5. That I/We did convey and transfer said property to the grantees and I/We am/are due no other consideration for my/our interest in the transferred property.
6. That I/We am/are making this declaration for the purposes of inducing Orange Coast Title Company of Northern California to issue certain policies of title insurance, insuring title to said land, and that Orange Coast Title Company of Northern California is not willing to insure title to said land if my/our interest was not transferred free from any remaining agreements or consideration.

I/We declare under penalty of perjury that the foregoing is true and correct and that this declaration is made this _____ Day of _____, _____, at _____, California.

BY: _____ Social Security # _____

BY: _____ Social Security # _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy or validity of that document.

State of California }
County of Santa Clara } S.S.

On _____, before me, _____,
personally appeared _____

who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity (ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed this instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS MY HAND and OFFICIAL SEAL

Signature: _____

(Notary Seal)

DO NOT USE THE SAME NOTARY AS USED TO EXECUTE THE DEED OR QUITCLAIM

**CERTIFICATION OF TRUST
PURSUANT TO CALIFORNIA PROBATE CODE SECTION 18100.5**

I (We) _____, trustee(s) confirm the following facts:

1. The _____ (Name of Trust) is currently in existence and was created on _____ (Date of Creation of Trust).
2. The Trust was amended on _____ (or enter "No Amendments")
3. The settler(s) of the trust are as follows: _____
4. The currently acting trustee(s) of the trust is (are): _____
5. The power of the trustee(s) includes:
 - (a) The powers to sell, convey and exchange YES NO (check one)
 - (b) The powers to borrow money and encumber the trust property with a deed of trust or mortgage YES NO (check one)
6. The trust is: (check the applicable box)
 - (a) **revocable** ;
 - (b) **irrevocable** and the following party (ies), if any, is (are) identified as having the power to revoke the trust: _____
7. The trust: (check the applicable box)
 - (a) **does** have multiple trustees ;
 - (b) **does not** have multiple trustees ; If the trust has multiple trustees, the signatures of all the trustees or of any _____ of the trustees is required to exercise the powers of the trust.
8. The trust identification number is as follows: _____ (Social Security No./Employee ID)
9. Title to trust assets shall be taken in the following fashion: _____

The undersigned trustee(s) hereby declare(s) that the trust has not been revoked, modified, or amended in any manner, which would cause the representations, contained herein to be incorrect. The certification is being signed by all currently acting trustee(s) and is being executed in conformity with the provision of California Probate Code Section 18100.5, Chapter 530, Statutes of 1993.

Document Date: _____

by: _____ by: _____

A notary public or other officer completing this certificate verifies only the identity of the individual who signed the document to which this certificate is attached, and not the truthfulness, accuracy or validity of that document.

State of California }
County of _____ } S.S.

On _____, before me, _____,

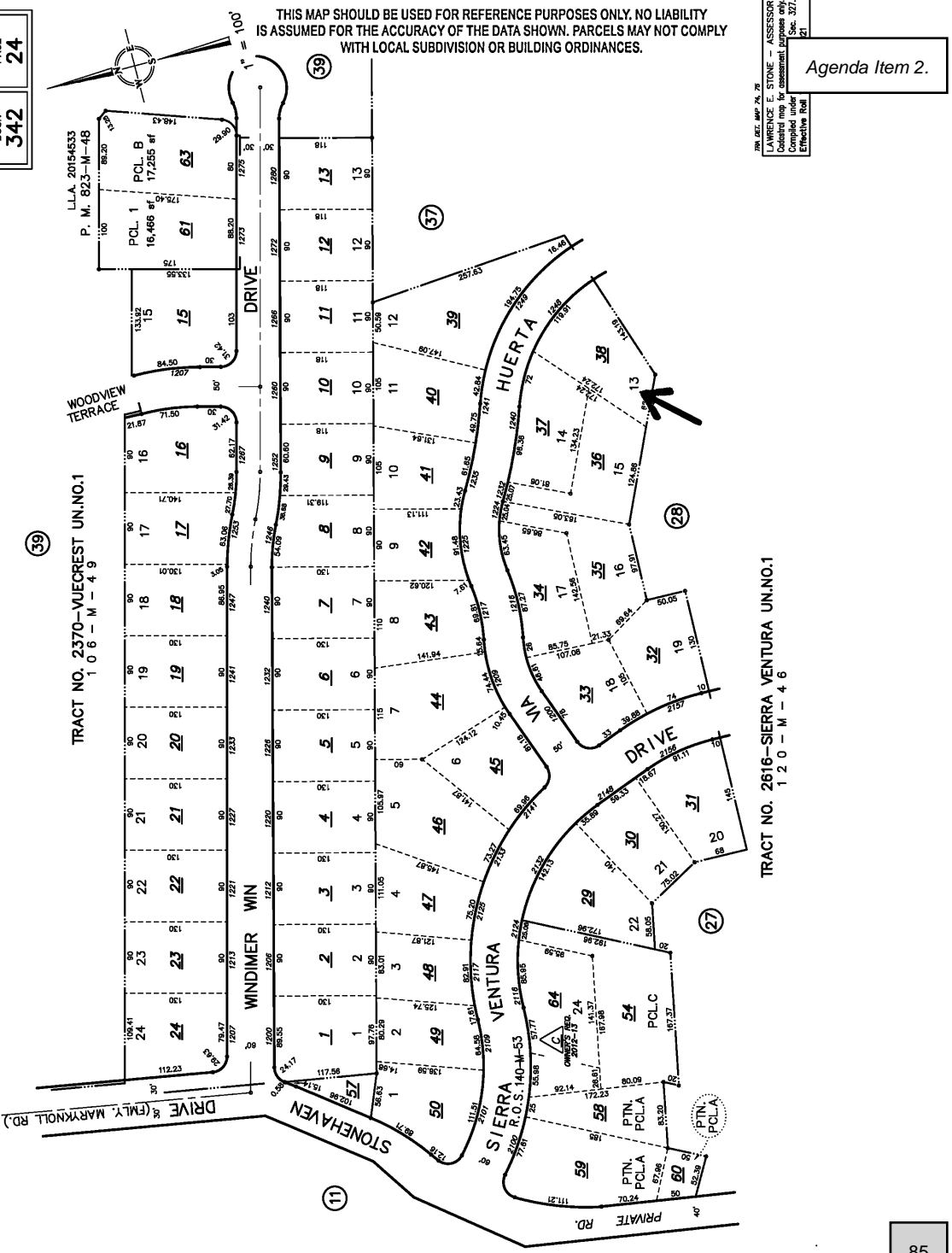
personally appeared _____ who proved to me on the basis of satisfactory evidence to be the person(s) whose name(s) is/are subscribed to the within instrument and acknowledged to me that he/she/they executed the same in his/her/their authorized capacity (ies), and that by his/her/their signature(s) on the instrument the person(s) or the entity upon behalf of which the person(s) acted, executed this instrument.

I certify under PENALTY OF PERJURY under the laws of the State of California that the foregoing paragraph is true and correct.

WITNESS MY HAND and OFFICIAL SEAL

Signature: _____

(Notary Seal)



THE OFF. MAP NO. 74
LAWRENCE E. STONE - ASSESSOR
Consulted map for assessment purposes only
Compiled under
Effective Roll

Agenda Item 2.

TRACT NO. 2616-SIERRA VENTURA UN.NO.1
1 2 0 - M - 4 6

TRACT NO. 2370-VUECREST UN.NO.1
1 0 6 - M - 4 9

LL.A. 2015-4533
P. M. 823-M-48

NOTICE

Attached is the document you (or someone on your behalf) requested. As required by Section 12956.1(b)(1) of the California Government Code, please take note of the following:

If this document contains any restriction based on race, color, religion, sex, gender, gender identity, gender expression, sexual orientation, familial status, marital status, disability, veteran or military status, genetic information, national origin, source of income as defined in subdivision (p) of Section 12955, or ancestry, that restriction violates state and federal fair housing laws and is void, and may be removed pursuant to Section 12956.2 of the Government Code by submitting a "Restrictive Covenant Modification" form, together with a copy of the attached document with the unlawful provision redacted to the county recorder's office. The "Restrictive Covenant Modification" form can be obtained from the county recorder's office and may be available on its internet website. The form may also be available from the party that provided you with this document. Lawful restrictions under state and federal law on the age of occupants in senior housing or housing for older persons shall not be construed as restrictions based on familial status.

If this cover page is a copy which has been transmitted to you by facsimile, email or other form of electronic transmission, please note that the notice above appears in the original cover page in 14-point bold face type.

4850 702

DECLARATION IMPOSING COVENANTS,
RESTRICTIONS, EASEMENTS AND AGREEMENTS
AFFECTING

SIERRA VENTURA UNIT NO. 1, TRACT
NO. 2616

WHICH IS SITUATE IN THE CITY OF LOS ALTOS, COUNTY OF SANTA CLARA
STATE OF CALIFORNIA

680

FILED
JUL 11 4 17 PM 1960
COUNTY OF SANTA CLARA
RECORDED

KNOW ALL MEN BY THESE PRESENTS:

THAT WHEREAS, the undersigned are the owners of a certain tract of land situate in the City of Los Altos, County of Santa Clara, State of California, shown on a Map of Tract No. 2616, Sierra Ventura Unit No. 1, being a portion of the San Antonio Rancho, Los Altos, California, filed for record in the office of the Recorder of the County of Santa Clara, State of California, on the 26th day of May, 1960 in Book 120 of Maps, page 46

All of which property they desire to and intend by these presents to subject to certain conditions, covenants and charges between them and all subsequent purchasers of said property, or any part thereof.

NOW THEREFORE, said owner hereby declares that said property and each and every part hereof is held and shall be conveyed subject to the conditions, covenants and charges set forth in the various clauses and subdivisions of this Declaration to wit:

CLAUSE I. USE AND IMPROVEMENT

A. No buildings other than one detached single family private residence, a private garage for use of the occupants of such residence and other usual and appropriate outbuildings, strictly incident and appurtenant to a private residence, shall be erected or maintained on any lot or plot in this subdivision, and no use whatsoever except in connection with its use and improvement as the site and grounds of a private residence shall be made of any lot or plot in this subdivision.

B. No business, or commercial, or manufacturing enterprise or activity shall be conducted on any lot or within any property in this subdivision. No trucks, trailers, equipment, lumber, binds, or goods of any kind used in connection with any trade, business or service shall be kept or stored in the open in a manner to constitute an eyesore or annoyance to neighboring properties or be unsightly when viewed from the street; nor shall anything be done upon any lot inconsistent with its intended use as the site and grounds of a private single family residence.

The term "private residence" is intended to exclude every form of multi-family dwelling, boarding or lodging house, sanitarium, hospital and like, but is not intended to exclude a proper "guest house" for the entertainment of social guests nor servants quarters for servants or other employees employed upon the premises.

C. The owners of all lots within the subdivision shall accept the surface run-off from the higher lots or adjacent parcels with the exception of roof run-off which shall be carried in full gutters and down spouts and disposed of without infringing upon adjacent property owners except where storm drainage easements have been provided. Said roof run-off shall be disposed of in storm drainage easements provided. Concentrated surface run-off shall also be disposed of within or through the drainage easements provided as shown the attached map of the subdivision.

Owner or owners of the respective parcels of land in, on or through which such easement runs shall keep and maintain the drainage easement and the drainage system in, on or through the land owned by him, her or them, in good condition and working order at his, her or their expense.

12X

4850 702

4850 703

Ashi Development Corporation may, if it so desires, enter in and on any of said property through which said drainage easement and system is located, to repair, replace and/or maintain such easement and drainage system.

It shall be the obligation of the contractor or lot purchaser to furnish Ashi Development Corporation with a tentative grading plan indicating disposition of run-off.

CLAUSE II. "PRESERVATION OF VIEW"

No tree, shrubbery, or other obstruction of any kind shall be planted, erected, or maintained on any lot in such a manner as to unreasonably obstruct or interfere with the view obtainable from the building plot for the principal residence of any other lot. The question of unreasonableness shall be determined by the Architectural Committee provided in Paragraph XV hereof. The determination of the Committee shall be final and shall be binding upon every lot owner in the subdivision. Native trees whose trunk exceeds 15 inches in diameter are not to be removed without approval of the architectural control committee.

CLAUSE III. MINIMUM AREA AND COST OF RESIDENCES

The principal residence building on any lot or plot shall be constructed thereon and not be moved on from some other location and shall not cover a ground floor area of less than 1500 square feet, if a single story dwelling. Ground floor area shall exclude any attached garage, open porch, terrace, stoop, steps and like appurtenances not enclosed by the proper walls of the residence building. The principal residence shall cover a ground floor area of not less than 1200 square feet, if a one and a half or two story structure, with an additional area of at least 500 square feet on the second floor.

CLAUSE IV. SET-BACK LINES

No building shall be erected on any residential building plot nearer than 25 feet to the front line, nor nearer than 20 feet to any side street line, nor nearer than 10 feet to the side lot line; except a garage which is located behind a line 30 feet from the front set-back line does not have to be 10 feet from the side line.

CLAUSE V. EASEMENTS

Easements, as indicated upon the recorded Map of this subdivision, are reserved for the installation and maintenance of sewers, pole lines, utilities, rights of way and other uses for public or quasi-public good. No buildings shall be placed upon such easements or interference be made with the free use of the same for the purposes intended.

CLAUSE VI. SIGNS

No billboards or other advertising device shall be erected or placed upon any lot or plot in this subdivision. No more than one "For Sale, Lease or Rent" sign shall be displayed upon any single lot or plot and such sign shall not be larger than eighteen (18) inches by twenty-four (24) inches; provided, however, during the subdivision and sale of lots in this tract the owner or his agent may erect and display larger signs, and construct a sale's office.

CLAUSE VII. OIL AND MINING OPERATIONS

No oil drilling, oil development operations, oil refining, quarrying or mining operations of any kind shall be permitted upon or in any lot, nor shall oil wells, tanks, tunnels, mineral excavations

4850 PAGE 704

or shafts be permitted upon or in any lot. No derrick or other structure designed for use in boring for oil or natural gas shall be erected, maintained or permitted upon any lot.

CLAUSE VIII. SIGHT DISTANCE AT INTERSECTIONS

No fence, hedge or other screening shall be permitted, constructed placed or located on any lot closer than 15 feet to the front property line thereof, nor closer than 8 feet to the side property line of corner lots; nor shall any such fence, hedge or other screening, wherever constructed, placed or located on any lot, have a greater height than six (6) feet above the finished graded surface of the ground upon which the same is constructed, placed or located. No fence, wall, hedge or shrub planting which obstructs sight lines at elevations between 2 and 6 feet above the roadways shall be placed or permitted to remain on any corner lot within the triangular area formed by the street property lines and the line connecting them at points 25 feet from the intersection of the street lines, or in the case of a rounded property corner from the intersection of the street property lines extended. The same sight-line limitations shall apply on any lot within 10 feet from the intersection of a street property line with the edge of a driveway or alley pavement. No tree shall be permitted to remain within such distances of such intersections unless the foliage line is maintained at sufficient height to prevent obstruction of such sight lines.

CLAUSE IX. LOT AREA AND WIDTH

No dwelling shall be erected or placed on any lot having a width of less than 50 feet at the minimum building setback line nor shall any dwelling be erected or placed on any lot having an area of less than 10,000 square feet, except that any lot shown upon the recorded Map may be built upon.

CLAUSE X. NUISANCES

No noxious or offensive activity shall be carried on upon any lot, nor shall anything be done, thereon which may be or may become an annoyance or nuisance to the neighborhood. The committee hereinafter referred to is to determine what is noxious or offensive activity.

CLAUSE XI. CARE OF PROPERTIES

All vacant lots in this subdivision shall at all times be kept free of rubbish and litter and weeds and grass shall be disked out or kept well mown so as to present a tidy appearance. The yards and grounds in connection with all improved properties shall be at all times kept in a neat and sightly condition and shall be cultivated and planted to any extent sufficient to maintain an appearance not out of keeping with that of typical improved properties in this subdivision.

CLAUSE XII. TEMPORARY DWELLINGS

No structure or building of a temporary character other than a completed proper residence designed as such, shall be used, parked, stored and occupied as a dwelling place on any lot or plot in this subdivision. No tents, trailers, or other temporary habitation are to be used.

CLAUSE XIII. COMPLETION OF CONSTRUCTION

BOOK 4850 PAGE 705

Any residence or other building in this subdivision the construction of which has been started, shall be completed without delay, except when such delay is caused by acts of God, strikes, actual inability of the owner to procure delivery of necessary material, or by interference by other persons or forces beyond the control of the owner to prevent. Financial inability of the owner or his contractor to secure labor or materials or discharge liens or attachments shall not be deemed a cause beyond his control.

In the event of cessation of construction of any building for a period of 120 days where such cessation is not excused by the provisions hereof, the existence of such incompleting building shall be deemed to be a nuisance and the undersigned or any other owner of property subject to the Declaration shall have the right to enter upon said incompleting property and remove same or carry such construction work to completion, and the expenses incurred in connection with the removal or completion of such building shall become a lien upon the land and improvements thereon upon which such building is located, which lien may be foreclosed either as a mechanics lien and/or a mortgage made on real property.

The right to remove any improvements, as herein provided shall be subject to all rights of any mortgagee under any mortgage encumbering said land or any trustee or beneficiary in any Deed of Trust which is a lien on or charge against the title to said land.

CLAUSE XIV. KEEPING OF FOWL, ANIMALS, ETC.

No roosters, bantam roosters, chickens, geese, ducks, pigeons, turkeys, guinea fowl, rabbits or hooved livestock shall be kept on any premises in this subdivision. Birds, if kept in cages will be allowed, but are not to be raised for commercial purposes, and no more than 2 cats or 2 dogs shall be kept on any premises in this subdivision. The foregoing is intended to exclude the keeping of any such pets in numbers ordinarily objectionable in closely built up residential sections.

CLAUSE XV. APPROVAL OF PLANS

a. No building, fence, wall or other permanent structure shall be erected, altered or placed on any lot or plot in this subdivision until building plans, specifications, and plot plans showing the location, height and external design thereof have been submitted to and approved in writing as to conformity and harmony of external design, and as not interfering with the reasonable enjoyment of any other lot or plot, by a committee composed of FRANK W. SAUL, ARTHUR E. HILLIER, JACK L. RAABE, IRA R. ANDERSEN, and WILLIAM B. RICHARDS JR., a majority of the committee may designate a representative to act for it. This committee will not approve the plans of any structure which is not artistic and of an architectural type, suitable to a rural suburb. No lot shall be resubdivided except upon approval of the committee.

NOV 1850 PAGE 708

NOV 1850 PAGE 706

failure by said Committee or its designated representative to approve or disapprove such plans and specifications within 30 days after receipt of a proper presentation, then approval of such plans and specifications will be deemed to have been made, provided such proposed construction complies with all other provisions of this Declaration.

c. In the event any member of said Committee resigns or is unable to act, the remaining member or members shall appoint his successor. Pending his appointment, the remaining member or members shall discharge the functions of the Committee.

d. If at any time said Committee shall by appropriate statement, recorded in the office of the County Recorder of Santa Clara County, relinquish the right hereinabove reserved to appoint and maintain said Architectural Committee, or be unable so to act, the then record owners of 51% or more of the lots in this subdivision may elect and appoint a committee of 3 or more of such owners to assume and exercise all the powers and functions of the Committee hereinabove provided for in paragraphs a, b, and c of this clause.

No member of any Architectural Committee, however created, shall receive any compensation or make any charge for his services as such.

CLAUSE XVI. FAILURE TO ENFORCE

The various restrictive measures and provisions of this Declaration are declared to constitute mutual equitable covenants and servitudes for the protection and benefit of each property in the said subdivision, and failure by the Declarant or any other person or persons entitled, so to do to enforce any measure or provisions upon violation thereof shall not stop or prevent enforcement thereafter or be deemed a waiver of the right so to do.

CLAUSE XVII. SEVERABILITY

The various measures and provisions of this Declaration are declared to be severable, and the holding invalid of any one measure or provision shall not affect any other measure or provision.

CLAUSE XVIII. SUBORDINATION TO MORTGAGES AND DEEDS OF TRUST

Nothing contained in this Declaration shall impair or defeat the lien of any Mortgage or Deed of Trust, but title to any property subject to this Declaration obtained through sale in satisfaction of any Mortgage or Deed of Trust shall thereafter be held subject to all of the measures and provisions thereof.

CLAUSE XIX. TERMS OF RESTRICTIONS

These covenants, restrictions and agreements are to run with the land and shall continue in full force and effect until date of April 15, 1990. Thereafter the same shall be automatically renewed for successive periods of 10 years, unless by a properly executed and recorded statement of the then owners of a majority or more of the lots in said subdivision, said owners elect to terminate or amend said restrictions in whole or in part. Provided further that the owners of 75% of the lots in said subdivision may elect to terminate or amend said restrictions in whole or in part at any time prior to April 15, 1990.

San Jose Abstract & Title Co.
SAN JOSE, CALIFORNIA

CLAUSE XX. WAIVER OR MODIFICATION.

The undersigned further reserves to itself, its successors and assigns, the right from time to time to waive, release or modify the restrictions, conditions, covenants and agreements herein contained to the extent which may be convenient or necessary for the proper installation, maintenance and repair of public utilities or other public services for use upon or for service to the property which is or may be subject hereto and said rights reserved by this paragraph shall be assignable as provided in Clause XXI hereof.

BOOK 1850 PAGE 707

CLAUSE XXI. ASSIGNMENT

The undersigned, its successors and assigns, shall have the right at any time hereafter to assign any or all of the rights, powers and privileges hereinabove retained by the undersigned for itself, its successors or assigns, with respect to all or any portion of the property subject to the foregoing restrictions, conditions, covenants and agreements. The assignment shall be accomplished by the recordation of a written assignment executed and acknowledged by the undersigned, its successors or assigns.

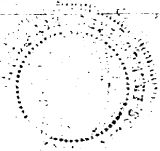
For the purpose of the Declaration no person shall be deemed a "successor or assign" of the undersigned for the purpose of exercising any rights, powers or privileges reserved hereby to the undersigned, its successors and assigns, by virtue of any conveyance or contract of sale executed by the undersigned unless such conveyance or contract of sale shall expressly refer to such reserved rights and state that they are intended to be assigned thereby.

CLAUSE XXII ENFORCEMENT AND REMEDY

Each grantee of a conveyance or purchaser under a Contract or Agreement of Sale by accepting a Deed or a Contract of Sale or Agreement of Purchase, accepts the same subject to all of the covenants, restrictions, easements and agreements set forth in this Declaration and agrees to be bound by the same.

Damages for any breach of the measures and provisions of this Declaration are hereby declared not to be adequate compensation, but such breach and/or the continuation thereof may be enjoined or abated by appropriate proceedings by the Declarant, or by an owner or owners of any other lot or lots in said subdivision. If suit is instituted to enforce any of the provisions of this declaration, the owner or owners against whom such suit is instituted hereby agree to pay costs and reasonable attorney's fees incurred by any person or persons or corporation duly authorized to prosecute such suit.

IN WITNESS WHEREOF, the party hereto has executed and sealed this instrument this 27th day of May, 1960.



ASHI DEVELOPMENT CORPORATION, as owners

By Frank H. Paul, President
By Arthur E. Hillier, Secretary

THE FOREGOING IS HEREBY CONSENTED TO AND APPROVED BY:

AMERICAN SECURITIES COMPANY, as Trustee



By CC Smith, ASST. Vice President
By W. Davis, ASST. SECRETARY

STATE OF CALIFORNIA,

County of Santa Clara } ss.

BOOK 4850 PAGE 708

On this 27th day of May in the year one thousand nine hundred and sixty

before me, the undersigned, a Notary Public in and for the County of Santa Clara



Frank W. Saul and Arthur E. Hillier State of California, residing therein, duly commissioned and sworn, personally appeared President and Secretary respectively

known to me to be the of the corporation described in and that executed the within instrument, and also known to me to be the person who executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF I have hereunto set my hand and affixed my official seal in the County of Santa Clara the day and year in this certificate first above written.

Anthony J. Sota

Notary Public in and for the County of Santa Clara State of California.

Notary's Form No. 28 (Acknowledgment—Corporation). (C. C. Sm. 1196-1206.1) 57000

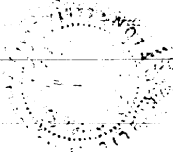
My Commission Expires Anthony J. Sota March 24, 1964

STATE OF CALIFORNIA,

County of Santa Clara } ss.

On this 31st day of May in the year one thousand nine hundred and Sixty

before me, H. S. Scott, a Notary Public in and for the County of Santa Clara,



L. C. Smith and C. Davis State of California, residing therein, duly commissioned and sworn, personally appeared Asst-Vice President and Asst-Secretary

known to me to be the of the corporation described in and that executed the within instrument, and also known to me to be the person who executed the within instrument on behalf of the corporation therein named, and acknowledged to me that such corporation executed the same.

IN WITNESS WHEREOF I have hereunto set my hand and affixed my official seal in the County of Santa Clara the day and year in this certificate first above written.

H. S. Scott

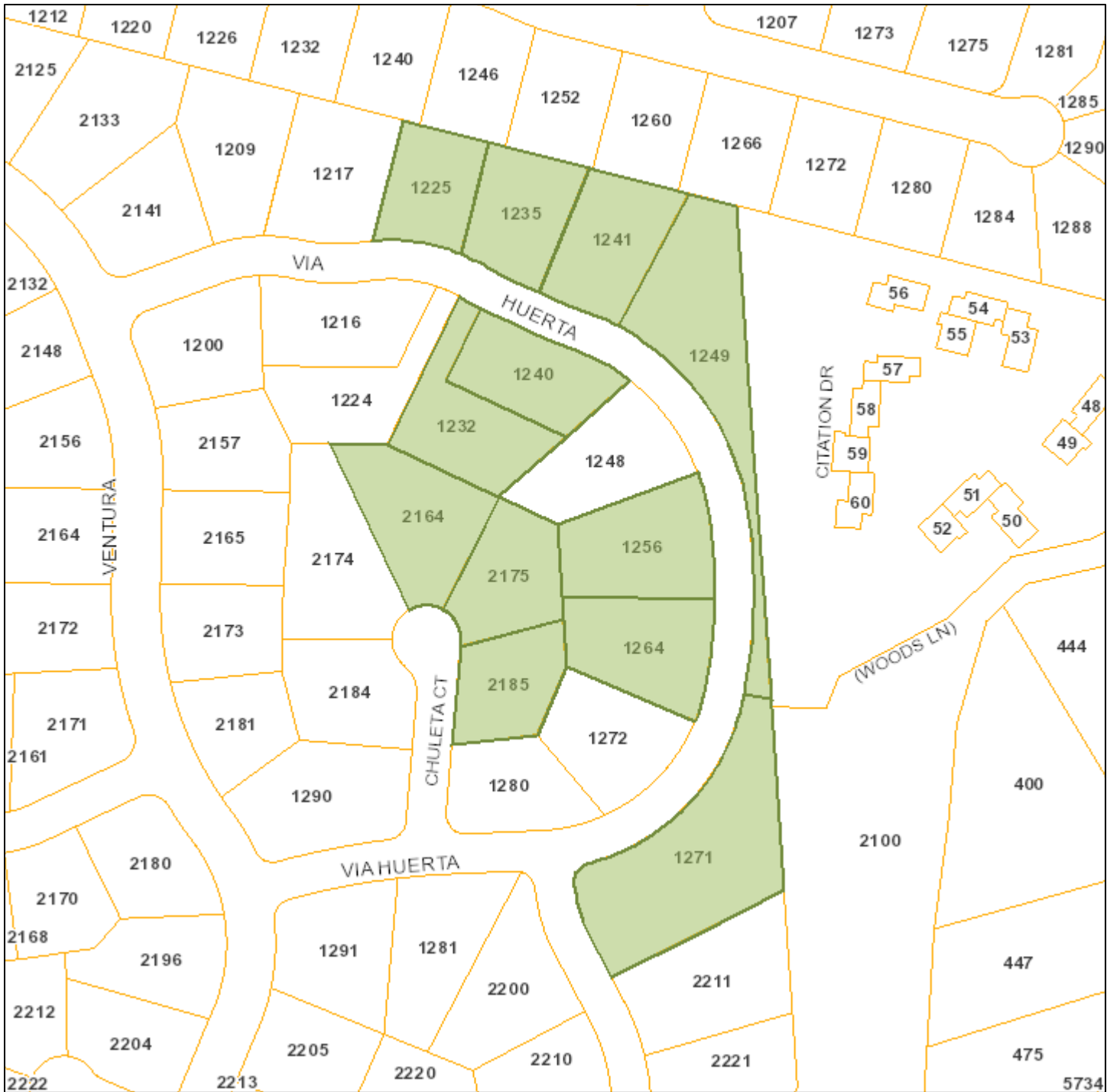
Notary Public in and for the County of Santa Clara State of California.

(Acknowledgment—Corporation).








My Commission Expires 4-6-61

1248 Via Huerta Notification Map

Agenda Item 2.



Print Date: December 12, 2022

-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

NOTICE OF DEVELOPMENT PROPOSAL

1248 VIA HUERTA RESIDENCE



Project Description

THIS PROJECT IS TO DEMOLISH AN EXISTING ONE STORY HOUSE AND BUILD A NEW 4,148 S.F. TWO STORY SINGLE-FAMILY RESIDENCE WITH AN ATTACHED DAYLIGHT BASEMENT 2-CAR GARAGE.

Applicant

HENRY ZENG
408-348-6885
henryzeng@yahoo.com

Property Owner


JUN ZHANG
408-348-6885
junzhangzeng@gmail.com

Project Planner

To submit comments or get additional information, please contact:
SEAN K. GALLEGOS
650-947-2641
jsgallegos@losaltosca.gov

Public Meeting Dates




PUBLIC MEETING NOTICE

Wednesday, March 15, 2023 at 7:00 pm

The Design Review Commission will hold a public hearing to consider the project at the above date and time with an opportunity for public comment. *THIS ITEM WAS CONTINUED FROM THE FEBRUARY 15, 2023 DRC MEETING.*

Members of the Public may call (650) 215-5782 to participate in the conference call (Meeting ID: 870 5737 5042) or via the web at <https://www1.com/online/26> with Passcode: 910385. Members of the Public may only comment during times allotted for public comments and public testimony will be taken at the direction of the Commission Chair. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

The agenda report and plans will be available on the City's website the Thursday before the meeting date at <https://www.losaltosca.gov/designreviewcommission/page/design-review-commission-meeting-21>. Written comments can be mailed or delivered in person to the Community Development Department or emailed to the Project Planner. Verbal comments can also be made at the Public Meeting.

SC22-0031

ATTACHMENT G



Z S D ARCHITECTS, INC
ARCHITECTURE . PLANNING . ILLUSTRATION

353 Costello Dr.
Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631



henryzeng@yahoo.com
COPYRIGHT © 2003



PROPOSED RESIDENCE

PROJECT DESCRIPTIONS

THIS PROJECT IS TO DEMOLISH AN EXISTING ONE STORY HOUSE AND BUILD A NEW 4,148 S.F. TWO STORY SINGLE-FAMILY RESIDENCE WITH ATTACHED DAYLIGHT BASEMENT 2-CAR GARAGE.

OWNER:	JUN ZHANG
ADDRESS:	353 COSTELLO DRIVE, LOS ALTOS, CA
APN:	342-240-38
OCCUPANCY:	R-3 / U
CONSTRUCTION TYPE:	VB
ZONING:	R1-10
NUMBER OF STORIES:	2

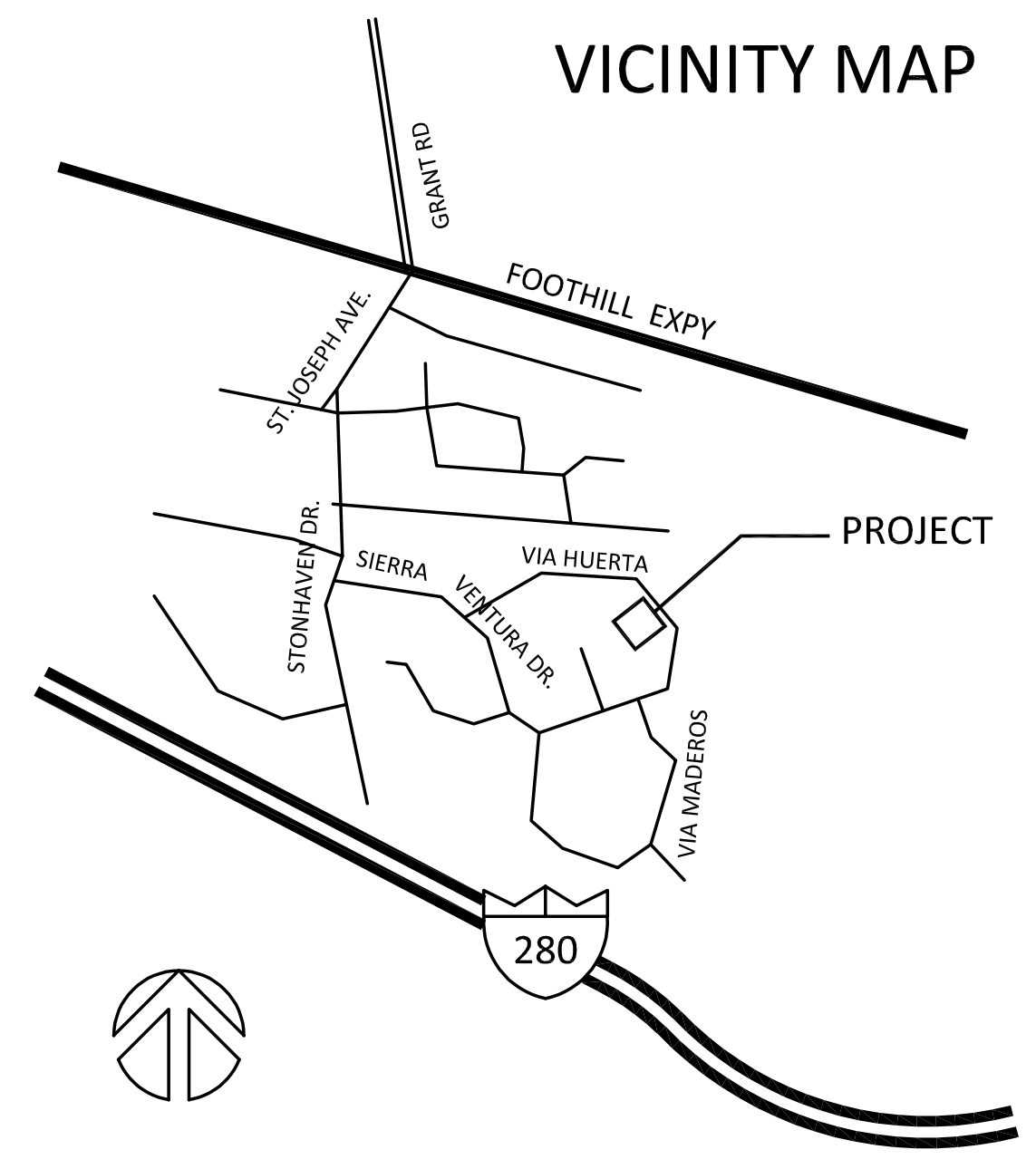
CODE INFORMATION

- 2019 CALIFORNIA BUILDING CODE (C.B.C.) STRUCTURAL ONLY
- 2019 CALIFORNIA RESIDENTIAL CODE
- 2019 CALIFORNIA MECHANICAL CODE
- 2019 CALIFORNIA PLUMBING CODE
- 2019 CALIFORNIA ELECTRIC CODE
- 2019 CALIFORNIA ENERGY CODE (2019 BUILDING ENERGY EFFICIENCY STANDARDS)
- 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE
- CITY OF LOS ALTOS ORDINANCES

PROJECT DATA

NET LOT AREA:	(0.32 ACRES) 14,074± S.F.		
LOT COVERAGE	EXISTING 2,369 S.F.	PROPOSED 3,127.47 S.F.	ALLOWED / REQUIRED 4,925.9 S.F.
FLOOR AREA	16.83% 2,369 S.F.	22.8% 4,126.29 S.F.	35% 3,850 + 307 = 4,157 S.F.
LIVABLE AREA	16.83% 2,369 S.F.	29.3% 4,126.29 S.F.	
SETBACK			
FRONT	1ST STORY 26.5± FEET	33.9 FEET	25 FEET
2ND STORY			
REAR	1ST STORY 77.2± FEET	42.3± FEET	25 FEET
2ND STORY			
RIGHT SIDE	1ST STORY 10± FEET	10 FEET	10 FEET
2ND STORY		25.2 FEET	17.5 FEET
LEFT SIDE	1ST STORY 11.5± FEET	17.35 FEET	10 FEET
2ND STORY		38.0.5 FEET	17.5 FEET
HEIGHT	23 ± FEET	26.3 ± FEET	27 FEET
NET LOT AREA:	(0.32 ACRES) 14,074± S.F.		
FRONT YARD HARDSCAPE AREA			
LANDSCAPE BREAKDOWN	EXISTING	PROPOSED CHANGE	EXISTING / PROPOSED
HARDSCAPE AREA	877.3 S.F.	370.6 S.F.	1,247.9 S.F.
SOFTSCAPE AREA	2,850.7 S.F.	87.5 S.F.	2,930.2 S.F.
BUILDING BREAKDOWN	EXISTING	CHANGE IN	TOTAL PROPOSED
HABITABLE LIVING AREA	1,969 ±S.F.	1,743.6 S.F.	3,712.6 S.F.
NON- HABITABLE LIVING AREA	400 S.F.	40 S.F.	440 S.F.

VICINITY MAP



DRAWING INDEX

- T.0 PROJECT DATA, VICINITY MAP, DRAWING INDEX
- C.0 TOPOGRAPHICAL & BOUNDARY SURVEY
- ARCHITECTURAL
 - A1.1 SITE PLAN
 - A1.2 NEIGHBORHOOD CONTEXT MAP AND AREA CALCULATION
 - A1.3 TREE PROTECTION PLAN
 - A2.1 FLOOR PLANS
 - A2.2 ROOF PLAN
 - A3.0 EXISTING ELEVATIONS
 - A3.1 FRONT AND REAR ELEVATIONS
 - A3.2 LEFT AND RIGHT ELEVATIONS
 - A4.1 SECTIONS 2-2 AND 2-2
 - A4.2 SECTION 3-3
- MATERIAL AND COLOR BOARD
- LANDSCAPE
 - L1.00 LANDSCAPE PLAN
- CIVIL
 - CC 1 GRADING AND DRAINAGE PLAN

1248 VIA HUERTA RESIDENCE

JUN ZHANG
353 COSTELLO DRIVE
LOS ALTOS,
CALIFORNIA, 94024
408.348.6885 cel

12.22.22	PLANNING RESUBMITTAL	
10.18.22	PLANNING SUBMITTAL	
Rev.	Date	Issue

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Project No: 2022-08
Date: 10-06-2022
Scale: N.T.S.

TITLE SHEET

T.0

ATTACHMENT G

General Notes:

1) All features shown herein represent surface conditions of the project area compiled from a ground survey performed in September of 2022. Surveyor made no attempt to determine the existence or extent of underground utilities or other features not surface visible.

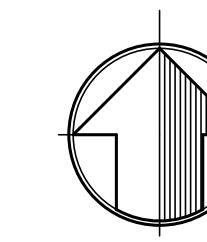
2) Boundary and easement data shown herein are based upon a Preliminary Title Report prepared by Orange Coast Title Company as order no. 520-2345327-60, dated September 14, 2022.

Datum Note:

Horizontal datum is based upon a local assumed coordinate system. Vertical datum is based upon City of Los Altos Benchmark #40, a brass disc on the top of curb located at the southwest return of Stonehaven Drive & Kent Drive. Top of disc elevation taken as 276.45, NAVD88 datum. Temporary control points have been established herein to perpetuate the project datum for future use.

Basis of Bearing:

Bearings shown herein are based upon the monumented centerline of Via Huerta as shown on that certain map filed for record in Book 120 of Maps at Page 46 of Santa Clara County Records.



GRAPHIC SCALE

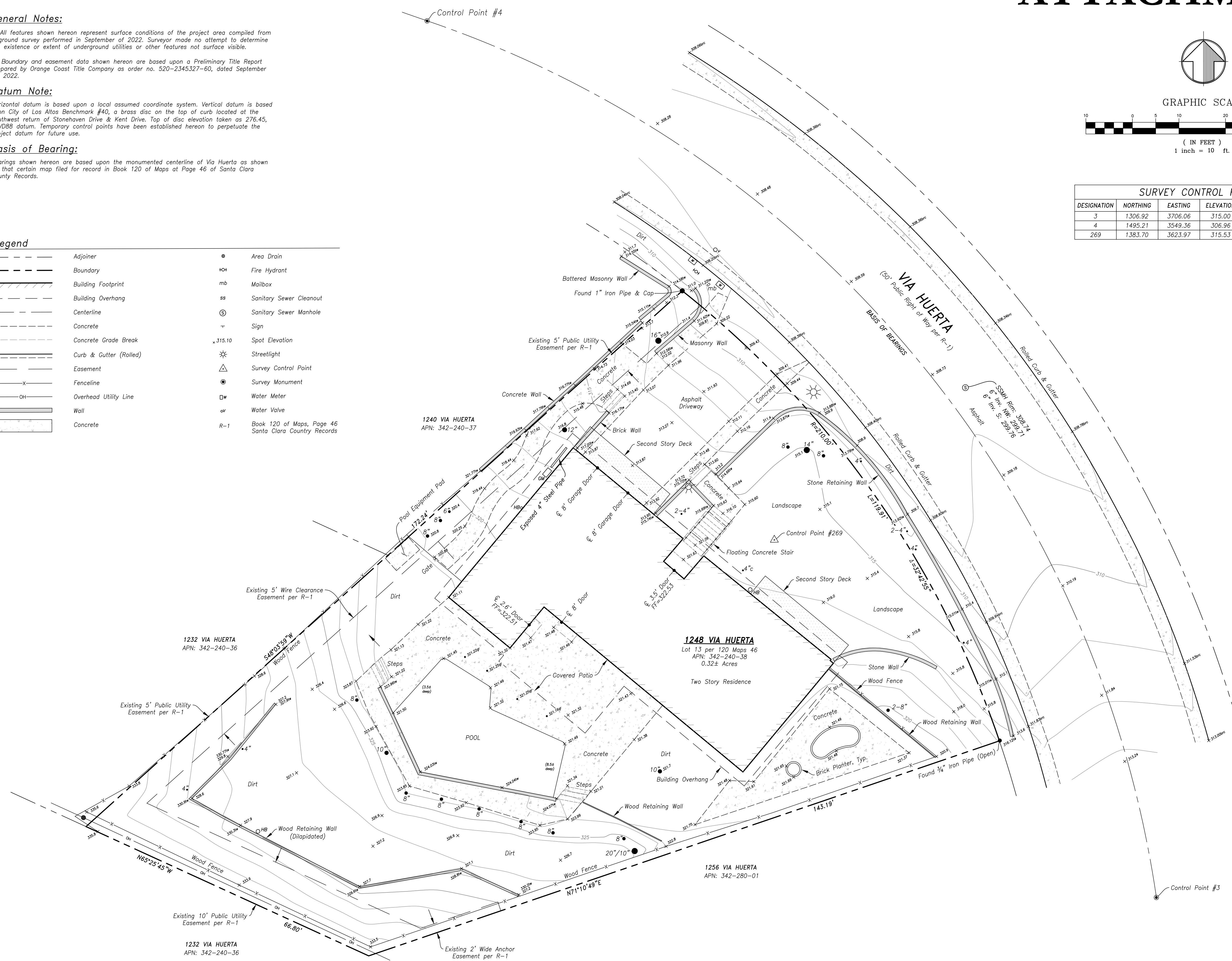


(IN FEET)
1 inch = 10 ft.

SURVEY CONTROL POINTS				
DESIGNATION	NORTHING	EASTING	ELEVATION	DESCRIPTION
3	1306.92	3706.06	315.00	2.5" BRASS DISK IN WELL
4	1495.21	3549.36	306.96	2.5" BRASS DISK IN WELL
269	1383.70	3623.97	315.53	GINNIE AND TACK

Legend

	Adjoiner		Area Drain
	Boundary		Fire Hydrant
	Building Footprint		Mailbox
	Building Overhang		Sanitary Sewer Cleanout
	Centerline		Sanitary Sewer Manhole
	Concrete		Sign
	Concrete Grade Break		Spot Elevation
	Curb & Gutter (Rolled)		Streetlight
	Easement		Survey Control Point
	Fenceline		Survey Monument
	Overhead Utility Line		Water Meter
	Wall		Water Valve
	Concrete		Book 120 of Maps, Page 46 Santa Clara County Records

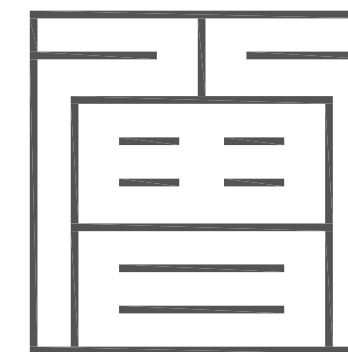


REV.	DATE	DESCRIPTION

MOUNTAIN PACIFIC SURVEYS
 1735 Enterprise Dr., Suite 109
 Fairfield, CA 94533
 PH (707) 425-6334
 FAX (707) 425-1969

BOUNDARY AND TOPOGRAPHIC SURVEY
 1248 VIA HUERTA
 CITY OF LOS ALTOS - SANTA CLARA COUNTY - CALIFORNIA

DATE	10-05-22
SCALE	1" = 10'
DRAWN	SR / CH
CHECKED	CMW
JOB NO.	522074
SHEET NO.	1
OF	1






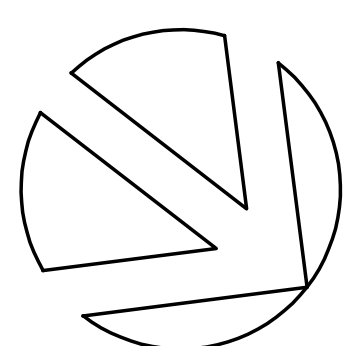
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cel. 408.464.5631



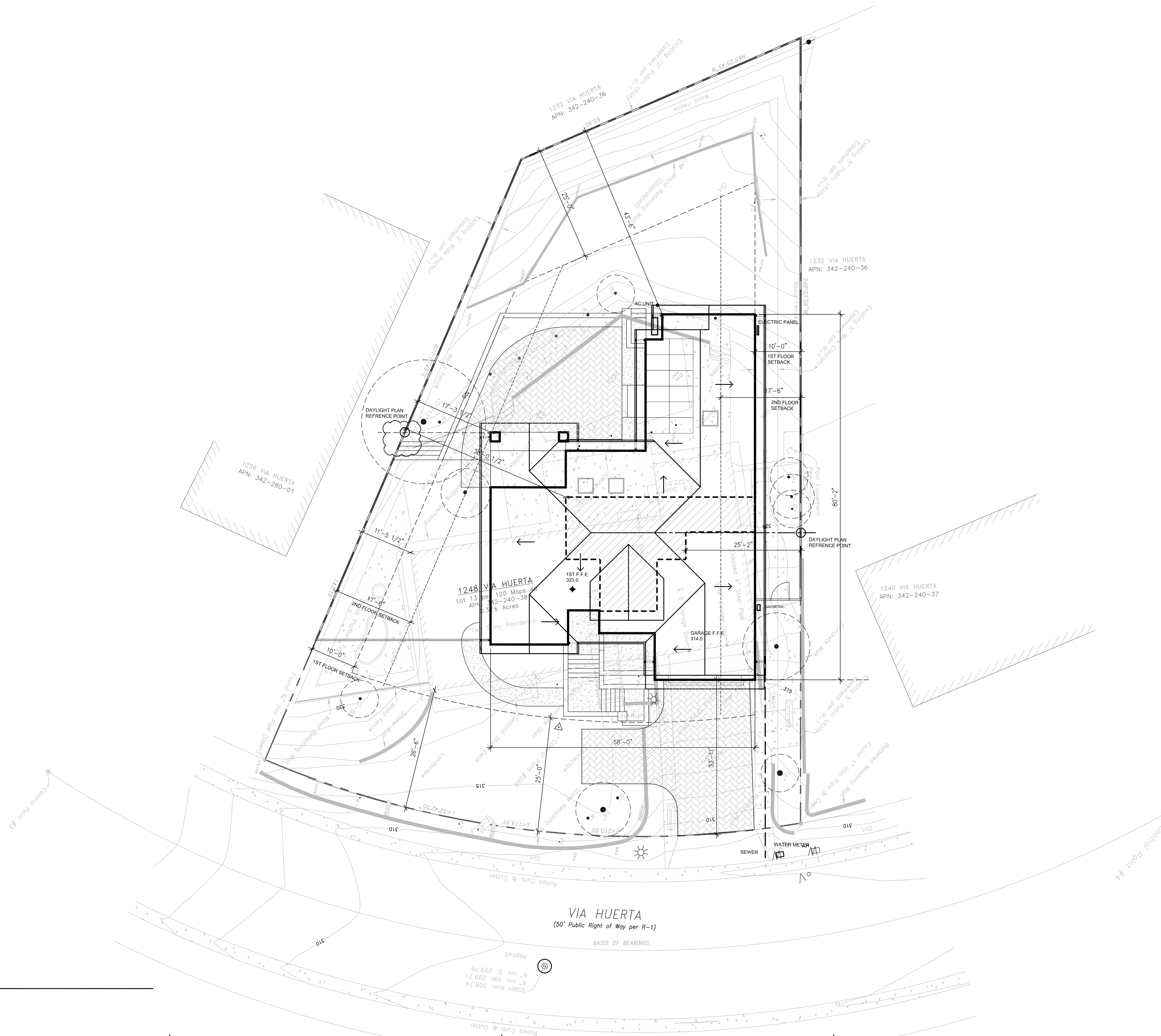
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-  NEW 2ND FLOOR
-  NEW 1ST FLOOR
-  EX. 1ST FLOOR



SITE PLAN

1"=10'-0"



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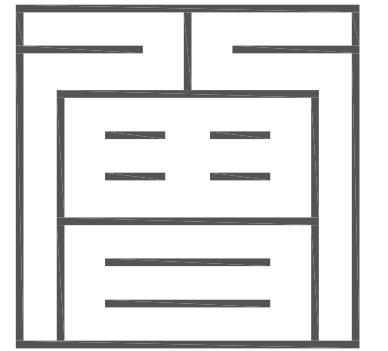
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Project No: 2022-08
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Scale: 1"=10'-0"

SITE PLAN

A1.1

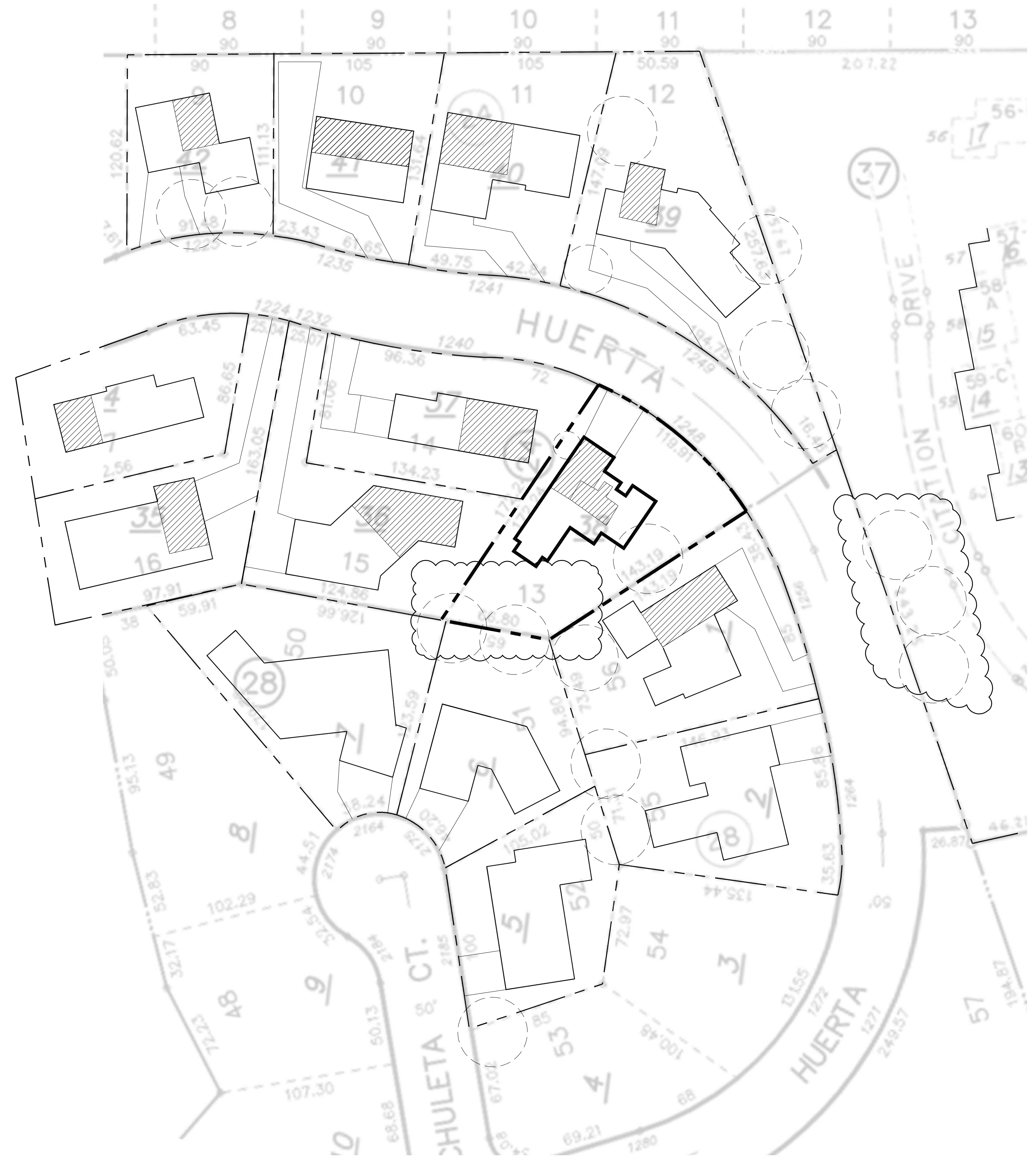
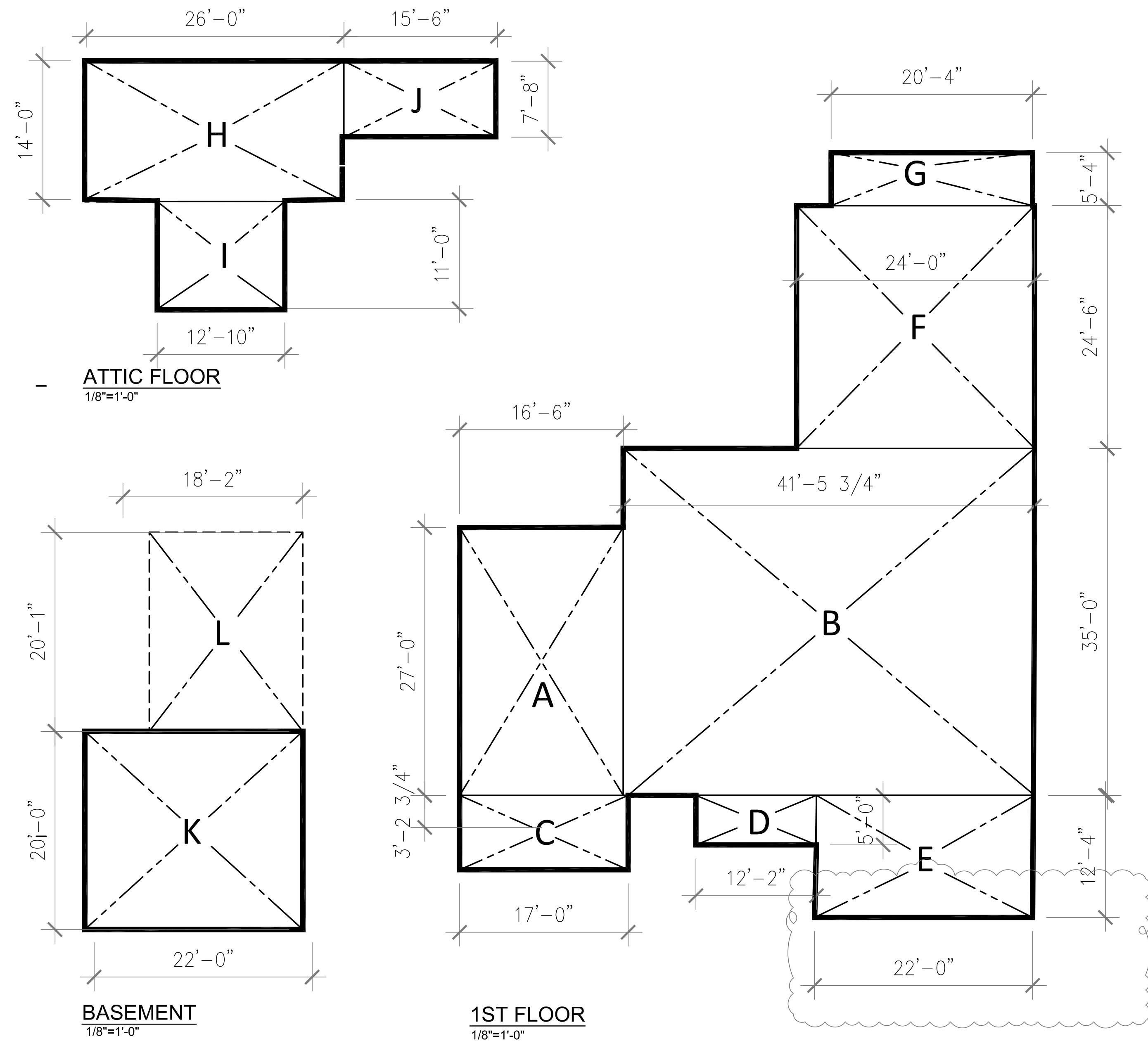


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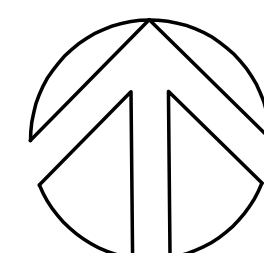


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FLOOR AREA AND COVERAGE CALCULATION

SECTION	DIMENTION	AREA	
A	16'-6" X 27'-0"	453.75 S.F.	
B	41'-6" X 35'-0"	1,452.5 S.F.	
C	17'-0" X 7'-6"	127.5 S.F.	
D	12'-2" X 5'-0"	60.8 S.F.	
E	22'-0" X 12'-4"	271.33 S.F.	
F	24'-0" X 24'-6"	588.0 S.F.	
G	20'-4" X 5'-4"	108.44 S.F.	
1ST FLOOR AREA SUBTOTAL		3,062.32 S.F.	
H	26'-0" X 14'-0"	364.0 S.F.	
I	12'-10" X 11'-0"	141.17 S.F.	
J	15'-6" X 7'-8"	118.8 S.F.	
ATTIC LEVEL AREA SUBTOTAL		623.97 S.F.	
K (2 CAR DAYLIGHT GARAGE)	22'-0" X 20'-0"	440.0 S.F.	
L BASEMENT AREA (NOT COUNT TO FAR)	18'-2" X 20'-1"		364.85 S.F.
BASEMENT AREA SUBTOTAL		440.0 S.F.	
TOTAL FLOOR AREA		4,126.29 S.F.	
LIVABLE AREA		3,062.32+623.97+364.85	4,051.14 S.F.
LOT COVERED AREA		3,062.32+66	3,128.32 S.F.



NEIGHBORHOOD CONTEXT MAP

1"=40'-0"



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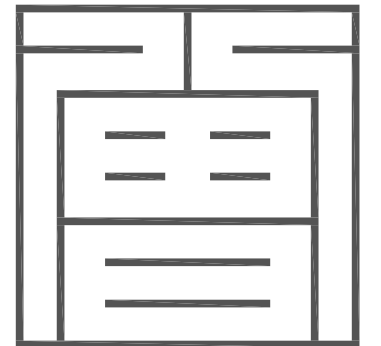
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Scale: 1/8"=1'-0"

NEIGHBORHOOD MAP AND AREA CALCULATION

A1.2



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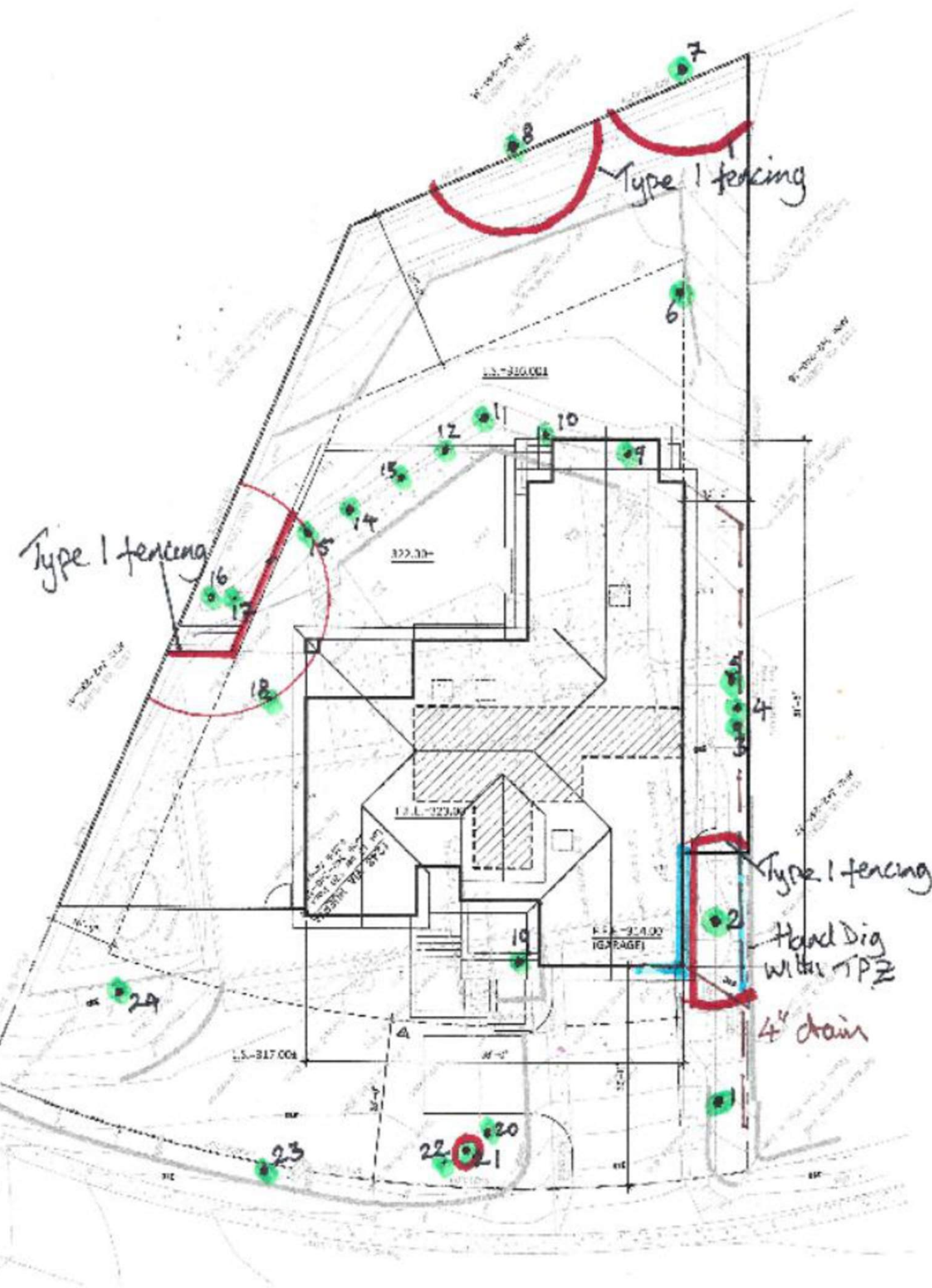
Date: 10-06-2022

Scale: N.T.S

TREE PROTECTION PLAN

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022



Location of proposed new home and Tree Protection Fencing

Advanced Tree Care
965 East San Carlos Ave, San Carlos, CA 94070

1248 Via Huerta, Los Altos
December 20, 2022

Jun Zhang
1248 Via Huerta
Los Altos, CA 94024

Site: 1248 Via Huerta, Los Altos

Dear Jun,

I reviewed the plans for Grading, Drainage and Utilities by RCL Structural Engineers Inc, CC1, dated 10/24/22; and Preliminary Landscape Plan by Wes Arola, L-1.00, dated 12/20/22 and found them in accordance with recommendations in the Arborist Report dated December 20/2022.

If you have any questions, please don't hesitate to call.

Sincerely

R Weatherill
Robert Weatherill
Certified Arborist WE 1936A

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022

Jun Zhang
1248 Via Huerta
Los Altos, CA 94024

Site: 1248 Via Huerta, Los Altos

Dear Jun,

At your request I visited the above site for the purpose of inspecting and commenting on the regulated trees around the property. A new home is proposed for this property, prompting the need for this tree protection report.

Method:

Los Altos protects all trees with a trunk diameter at 4 feet above ground level greater than 15.2 inches. Los Altos requests that all trees within the property or within 8 feet of the property lines be included on the report if the trunk diameter at standard height is greater than 4 inches.

The location of the regulated trees on this site can be found on the plan provided by you. Each tree is given an identification number. The trees are measured at 48 inches above ground level (DBH or Diameter at Breast Height). A condition rating of 1 to 100 is assigned to each tree representing form and vitality on the following scale:

1 to 29	Very Poor
30 to 49	Poor
50 to 69	Fair
70 to 89	Good
90 to 100	Excellent

The height and spread of each tree is estimated. A Comments section is provided for any significant observations affecting the condition rating of the tree.

A Summary and Tree Protection Plan are at the end of the survey providing recommendations for maintaining the health and condition of the trees during and after construction.

If you have any questions, please don't hesitate to call.

Sincerely

R Weatherill
Robert Weatherill
Certified Arborist WE 1936A

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
19	Japanese maple <i>Acer palmatum</i>	5.3"	12/5	30	Poor health and condition, almost dead, Not Regulated
20	Arborvitae <i>Thuja occidentalis</i>	6.8"@grade	10/5	30	Poor health and condition Not Regulated
21	Mexican fan palm <i>Washingtonia filifera</i>	19.5"	T44H 4'	70	Good health and condition Regulated
22	Arborvitae <i>Thuja occidentalis</i>	7.8"@grade	10/5	30	Poor health and condition Not Regulated
23	Coast live oak <i>Quercus agrifolia</i>	4.4"	12/7	70	Good health and condition, poor location, Not Regulated
24	Coast live oak <i>Quercus agrifolia</i>	8.3"/5.1"	20/15	50	Fair health and condition, codominant at grade, thin canopy, Not Regulated

Summary:

There are 22 trees on this property with trunk diameters greater than 4 inches at 48 inches above grade.

Tree #s 2, 16 and 21 are Regulated trees on this property and should be protected during construction.

There are 2 trees on adjacent properties, Tree #s 7 and 8, both are Regulated trees that should be protected during construction.

All other trees are not protected and can be removed if desired.

Advanced Tree Care
965 East San Carlos Ave, San Carlos

1248 Via Huerta, Los Altos
December 20, 2022

Tree Survey

Tree#	Species	DBH	Ht/Sp	Con Rating	Comments
1	Italian cypress <i>Cupressus sempervirens</i>	14.3"@grade	25/5	70	Good health and condition Not Regulated
2	Italian cypress <i>Cupressus sempervirens</i>	16.0"@grade	20/5	60	Good health, fair condition Regulated
3	Hollywood juniper <i>Juniperus 'Hollywood'</i>	7.5"	10/5	50	Fair health and condition, leaning Not Regulated
4	Hollywood juniper <i>Juniperus 'Hollywood'</i>	8.0"	12/5	50	Fair health and condition, leaning Not Regulated
5	Hollywood juniper <i>Juniperus 'Hollywood'</i>	11.8"	12/8	60	Good health and condition Not Regulated
6	Coast live oak <i>Quercus agrifolia</i>	4.3"/2.1"/2.2"	15/6	60	Good health, fair condition, multi stemmed at grade, Not Regulated
7	Monterey pine <i>Pinus radiata</i>	16"est	20/15	50	Fair health, poor condition, topped by utility, neighbor's tree, Regulated
8	Monterey pine <i>Pinus radiata</i>	16"est	20/10	50	Fair health, poor condition, topped by utility, neighbor's tree, Regulated
9	Italian cypress <i>Cupressus sempervirens</i>	6.3"@1'	30/2	70	Good health and condition Not Regulated
10	Italian cypress <i>Cupressus sempervirens</i>	9.8"@grade	35/5	70	Good health and condition Not Regulated
11	Italian cypress <i>Cupressus sempervirens</i>	6.2"@grade	25/2	70	Good health and condition Not Regulated
12	Italian cypress <i>Cupressus sempervirens</i>	7.4"@grade	26/2	70	Good health and condition Not Regulated
13	Italian cypress <i>Cupressus sempervirens</i>	6.3"@grade	25/2	70	Good health and condition Not Regulated
14	Italian cypress <i>Cupressus sempervirens</i>	6.8"@grade	27/2	70	Good health and condition Not Regulated
15	Italian cypress <i>Cupressus sempervirens</i>	7.1"@grade	30/2	70	Good health and condition Not Regulated
16	Coast live oak <i>Quercus agrifolia</i>	17.1"/9.7"	30/20	60	Fair health and condition, codominant at grade, Regulated
17	Coast live oak <i>Quercus agrifolia</i>	8.7"	30/10	60	Fair health and condition, suppressed by #16, Not Regulated
18	Olive <i>Olea europaea</i>	11.0"	20/15	60	Fair health and condition, suppressed by #16, Not Regulated

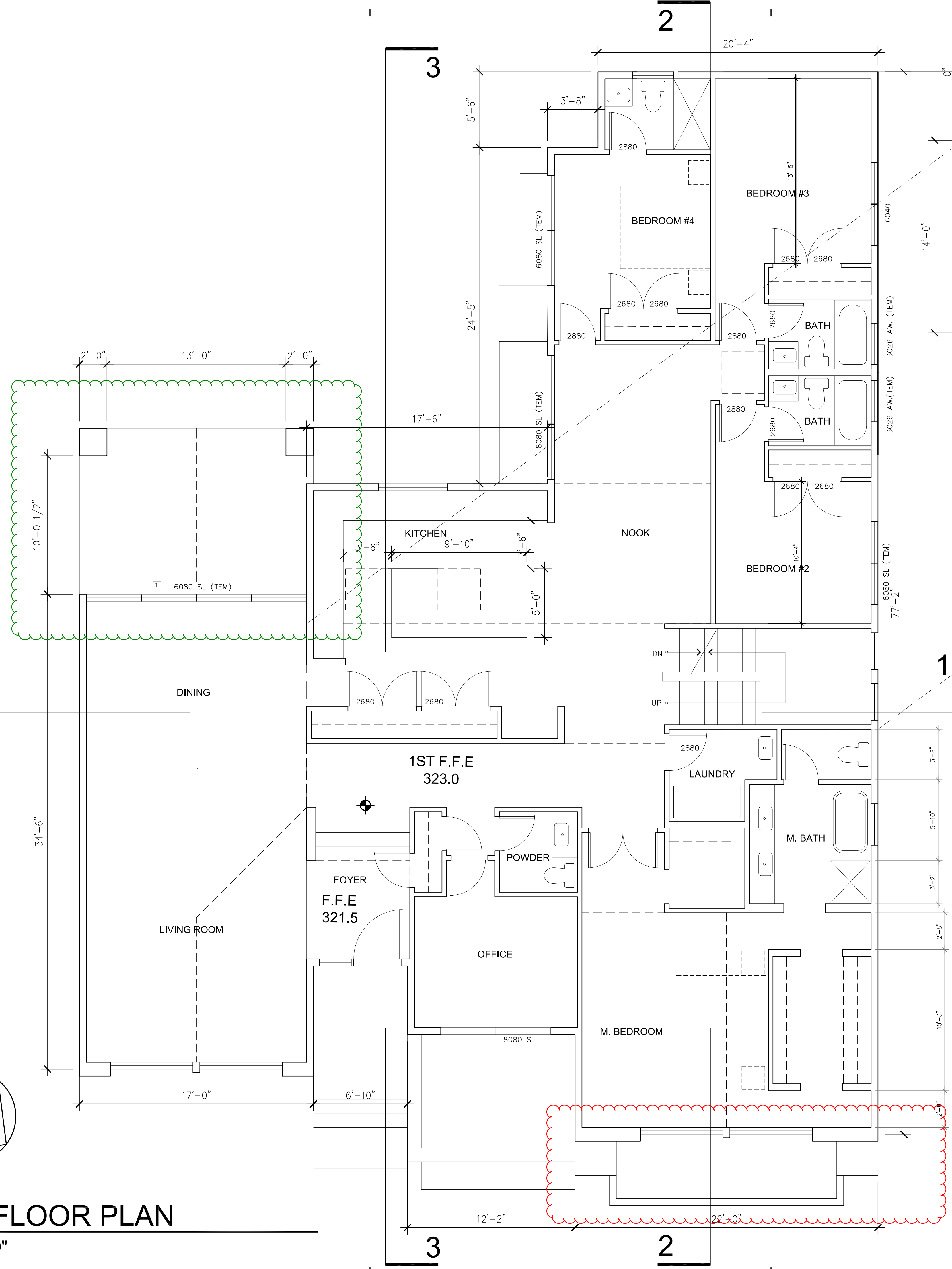


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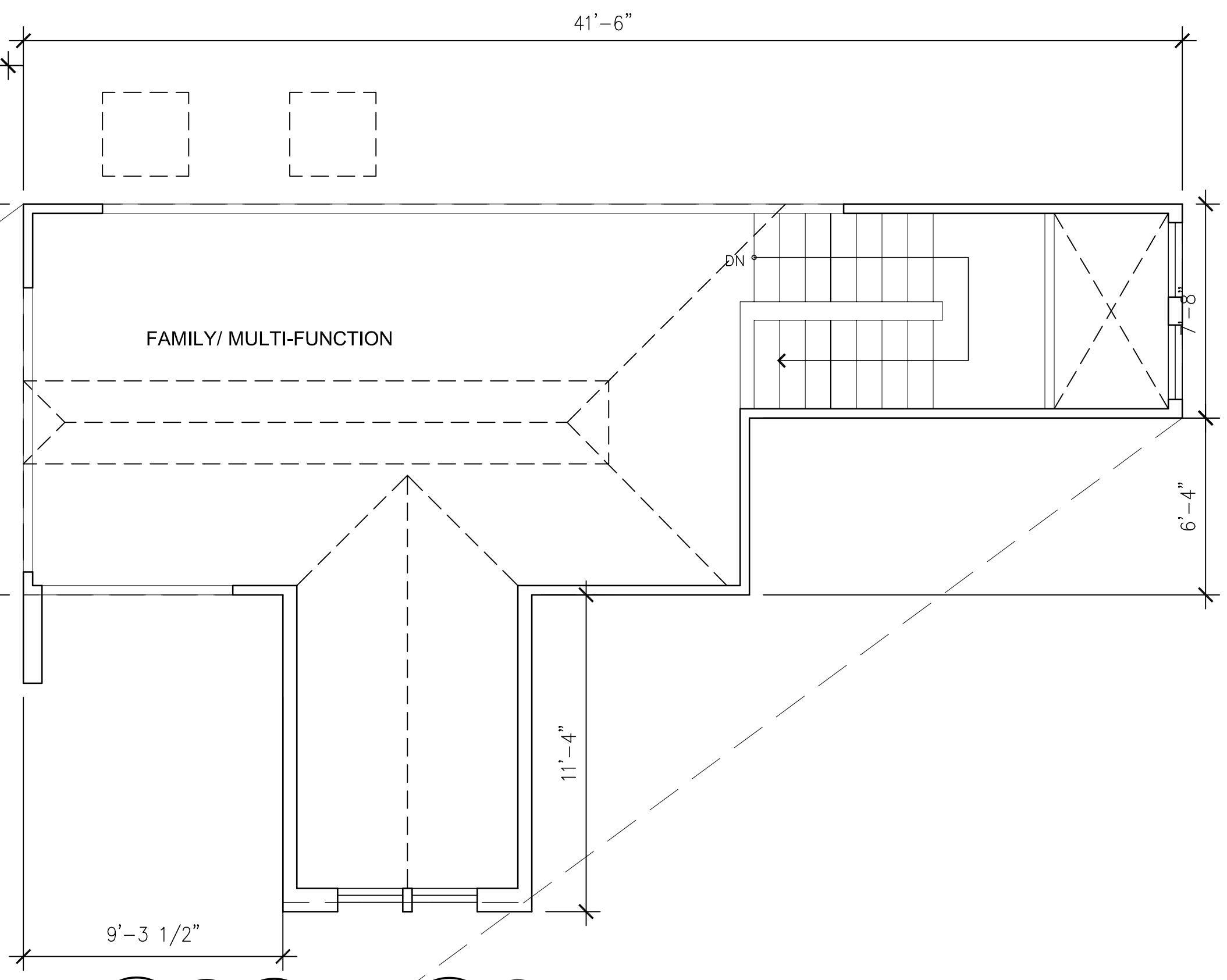
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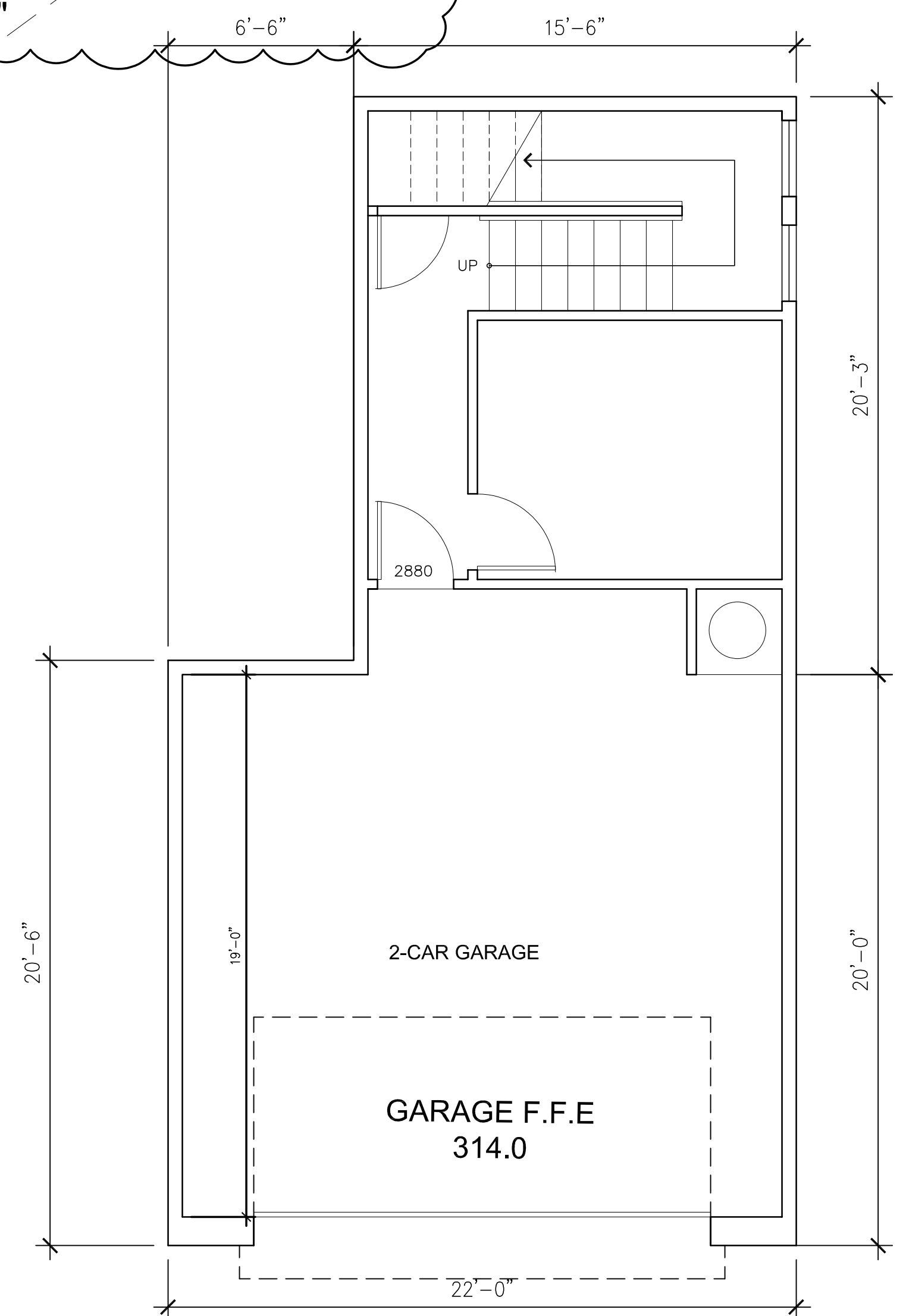
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1ST FLOOR PLAN
1/4"=1'-0"



2ND FLOOR PLAN
1/4"=1'-0"



GARAGE PLAN
1/4"=1'-0"

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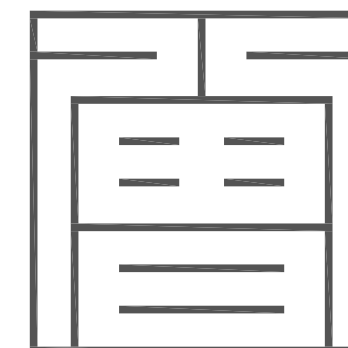
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	10.18.22	PLANNING SUBMITTAL

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Project No: 2022-08
Date: 10-06-2022
Scale: 1/4"=1'-0"

FLOOR PLANS

A2.1

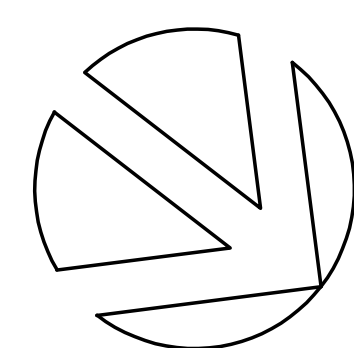
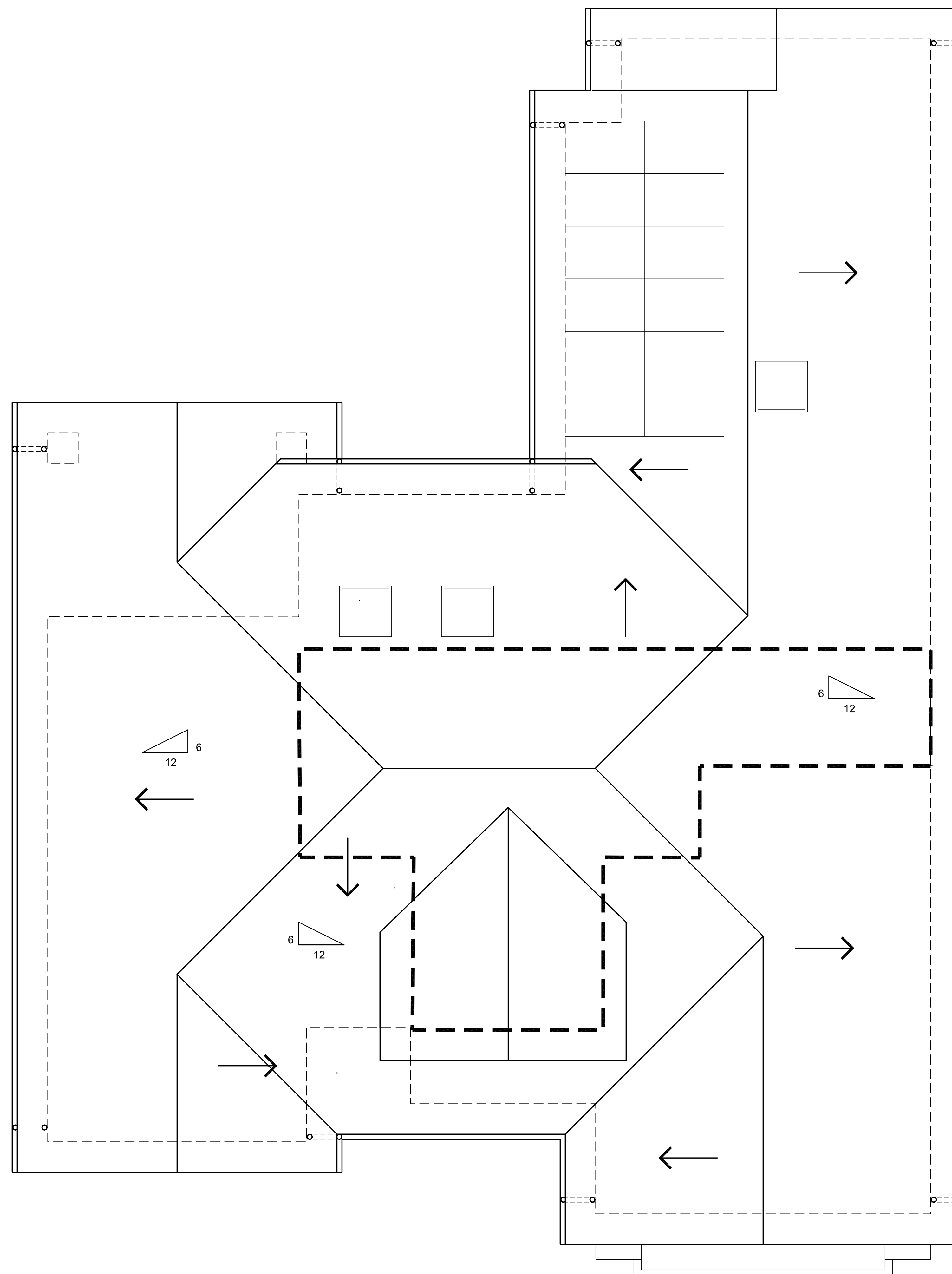


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ROOF PLAN

1/4"=1'-0"

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12.22.22 PLANNING RESUBMITTAL

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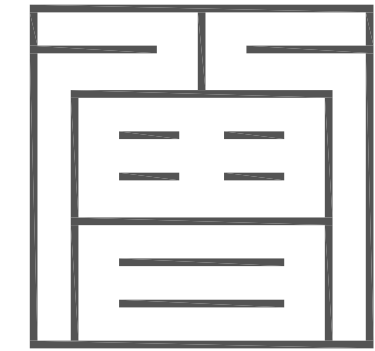
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Scale: 1/4"=1'-0"

ROOF PLAN

A2.2



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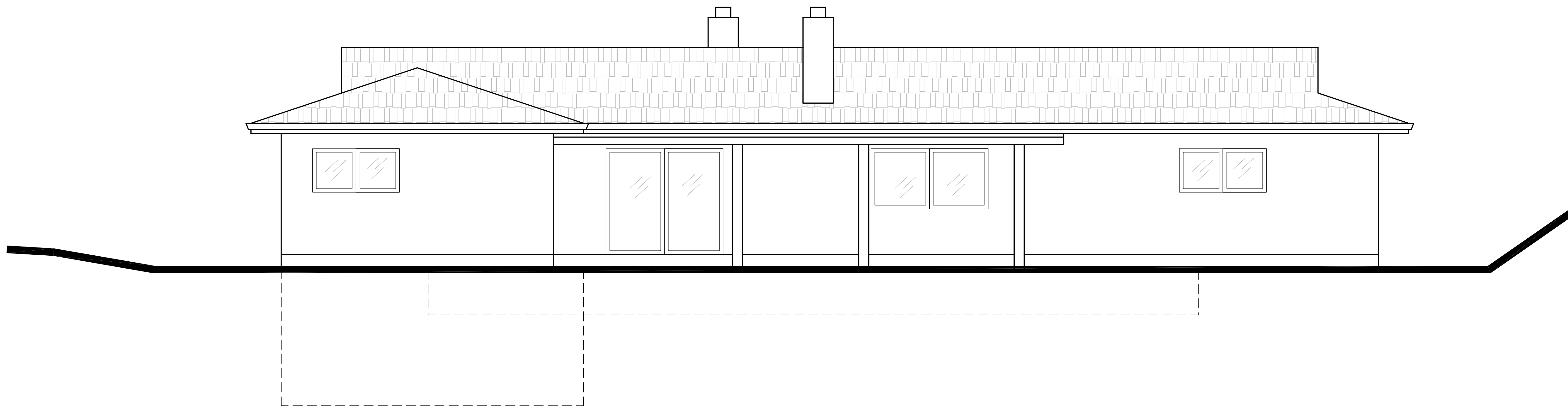


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EX. FRONT ELEVATION

1/4"=1'-0"



EX. REAL ELEVATION

1/4"=1'-0"

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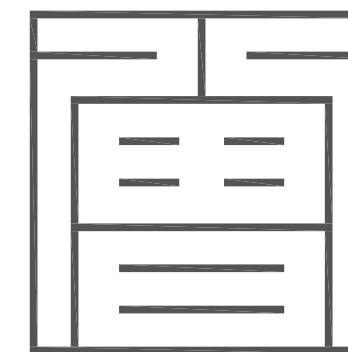
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Project No: 2022-08
Date: 10-06-2022
Scale: 1/4"=1'-0"

EX. ELEVATIONS

A3.0

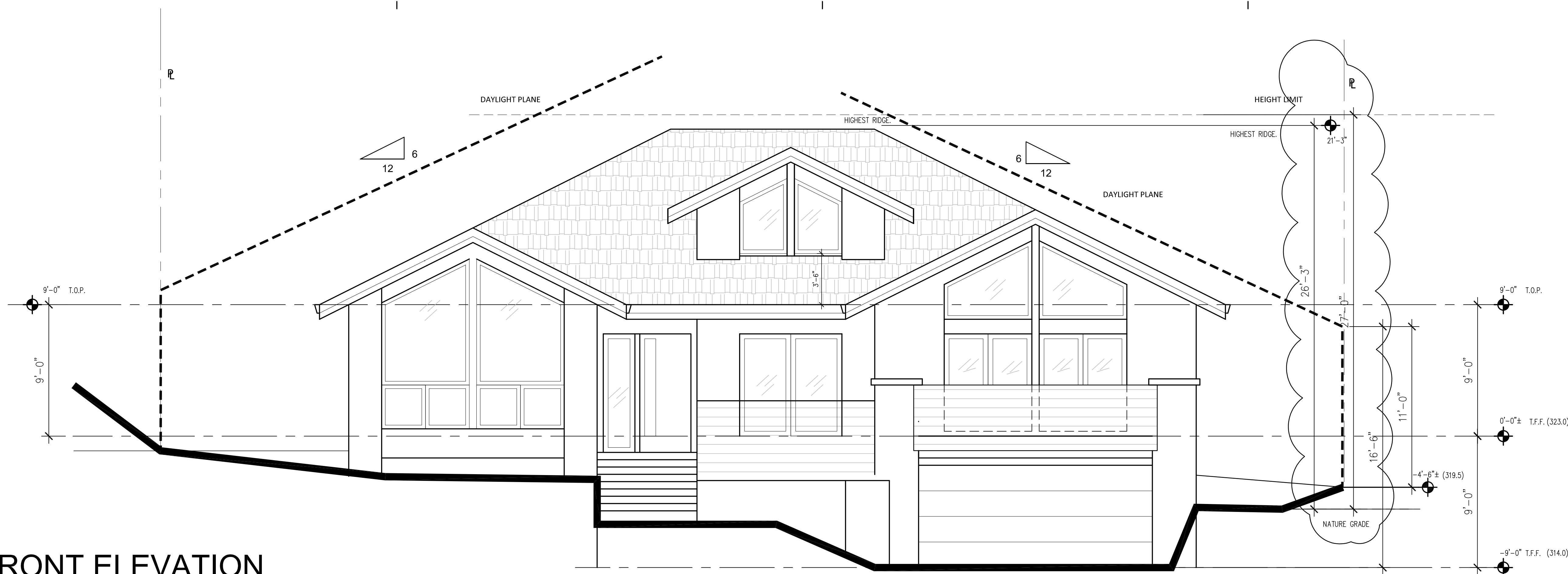


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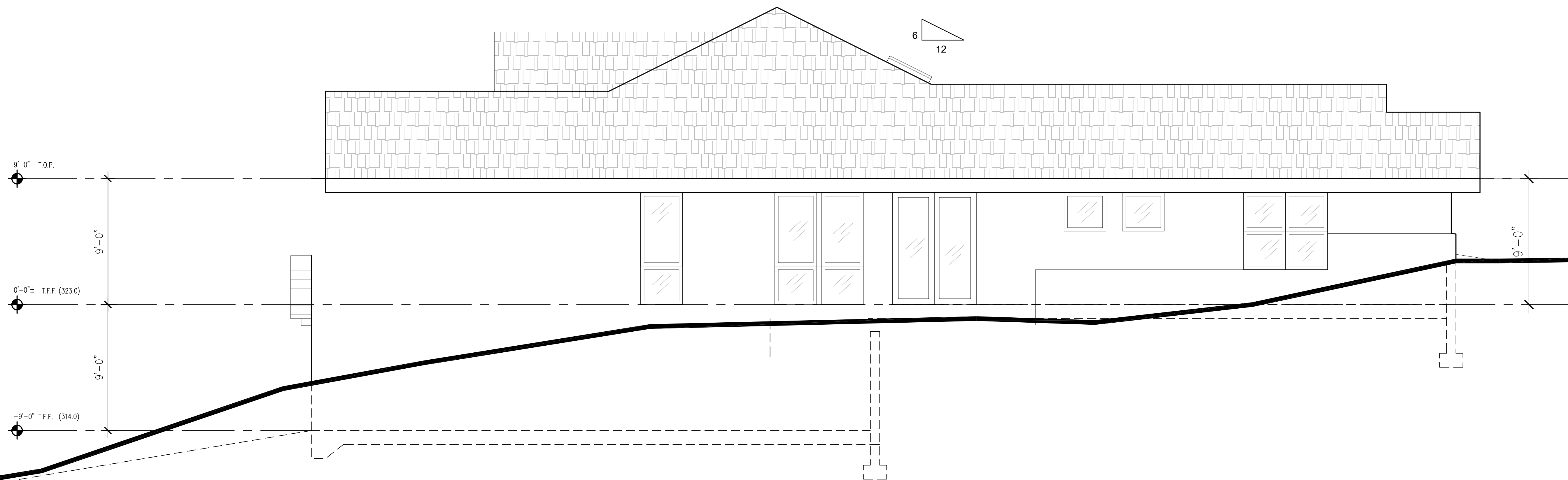


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FRONT ELEVATION

1/4"=1'-0"



RIGHT ELEVATION

1/4"=1'-0"

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02.08.23 PLANNING RESUBMITTAL

12.22.22 PLANNING RESUBMITTAL

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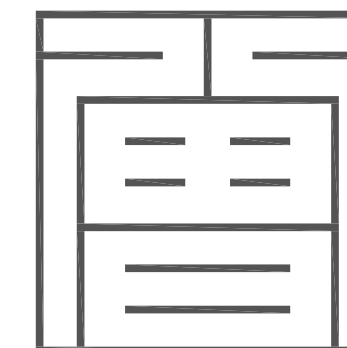
Project No: 2022-08

Date: 10-06-2022

Scale: 1/4"=1'-0"

ELEVATIONS

A3.1

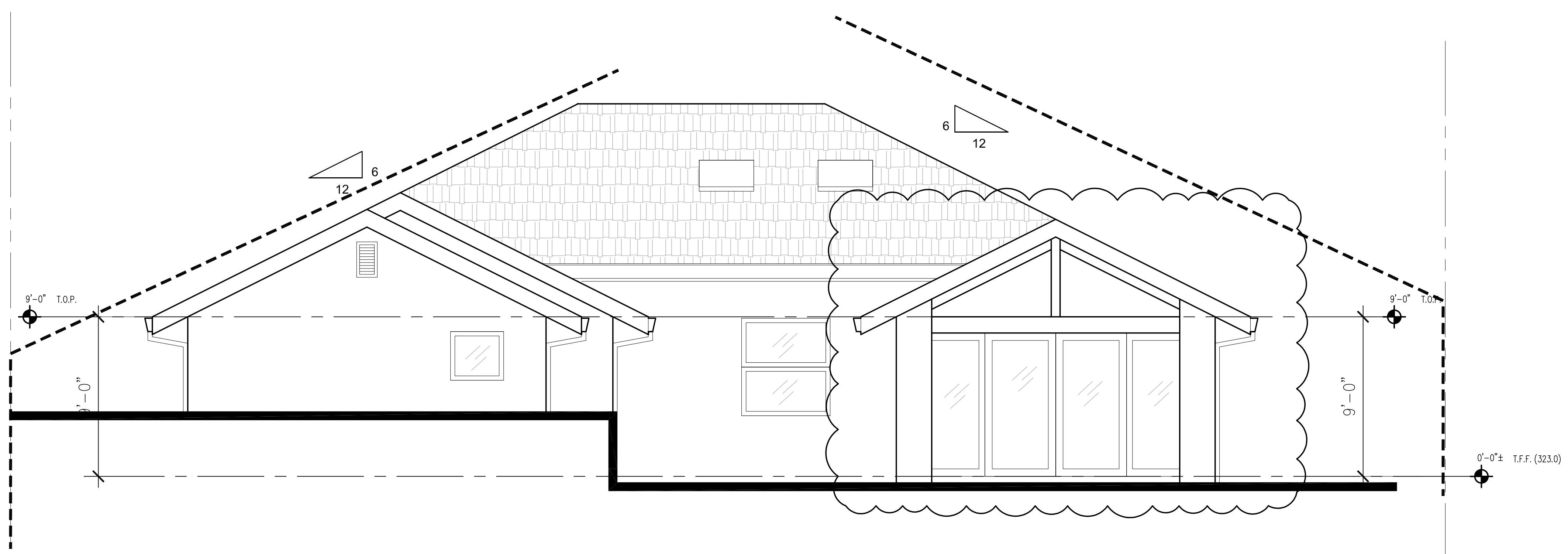


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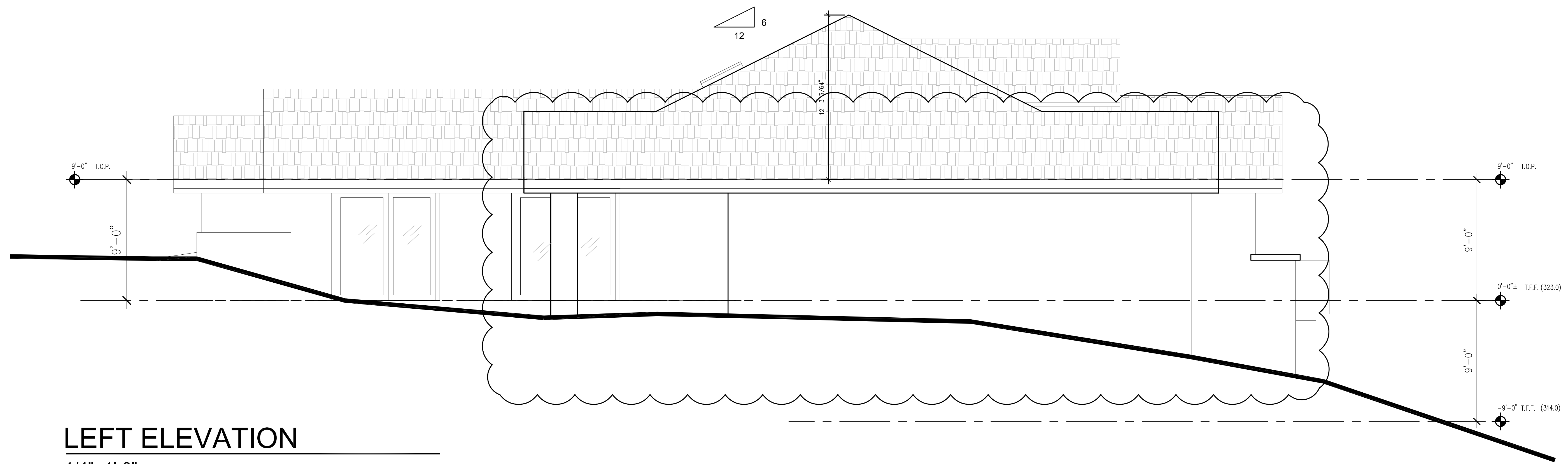
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Los Altos CA 94024
tel. 408.348.6885
cel. 408.464.5631



henryzeng@yahoo.com
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REAR ELEVATION
1/4"=1'-0"



LEFT ELEVATION
1/4"=1'-0"

**1248 VIA HUERTA
RESIDENCE**

JUN ZHANG
353 COSTELLO DRIVE
LOS ALTOS,
CALIFORNIA, 94024
408.348.6885 cel

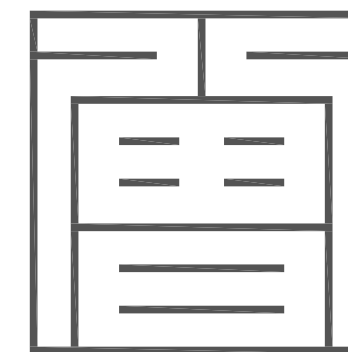
Rev.	Date	Issue
12.22.22	12.22.22	PLANNING RESUBMITTAL
10.18.22	10.18.22	PLANNING SUBMITTAL

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Project No: 2022-08
Date: 10-06-2022
Scale: 1/4"=1'-0"

ELEVATIONS

A3.2

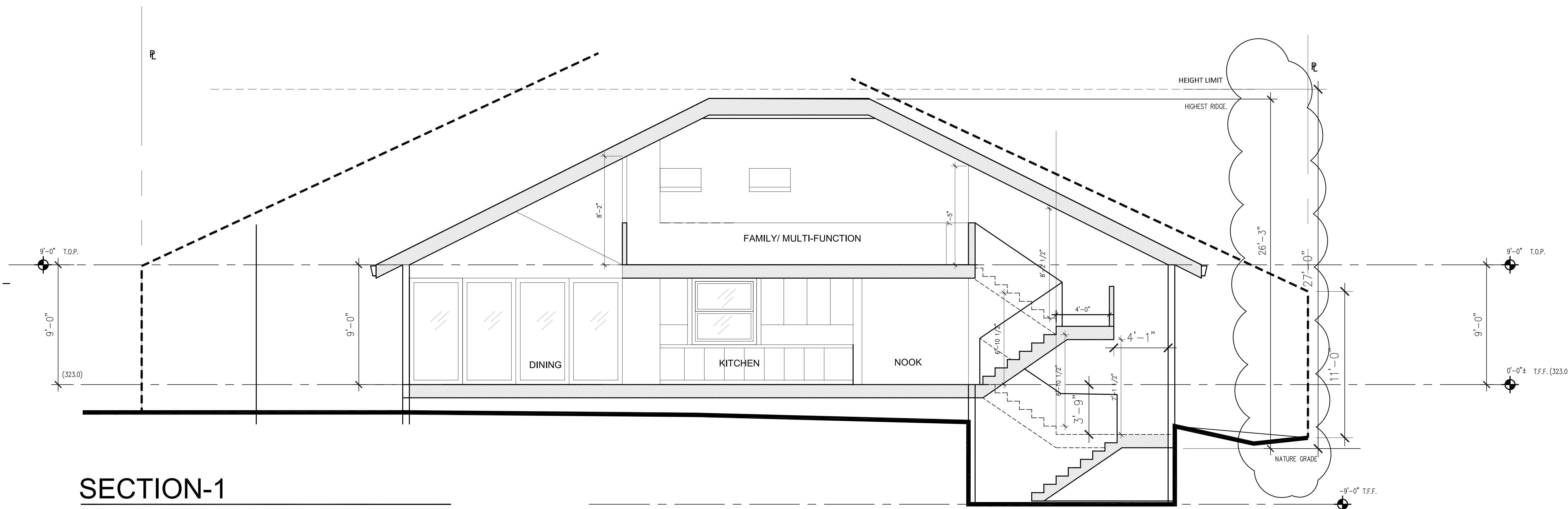


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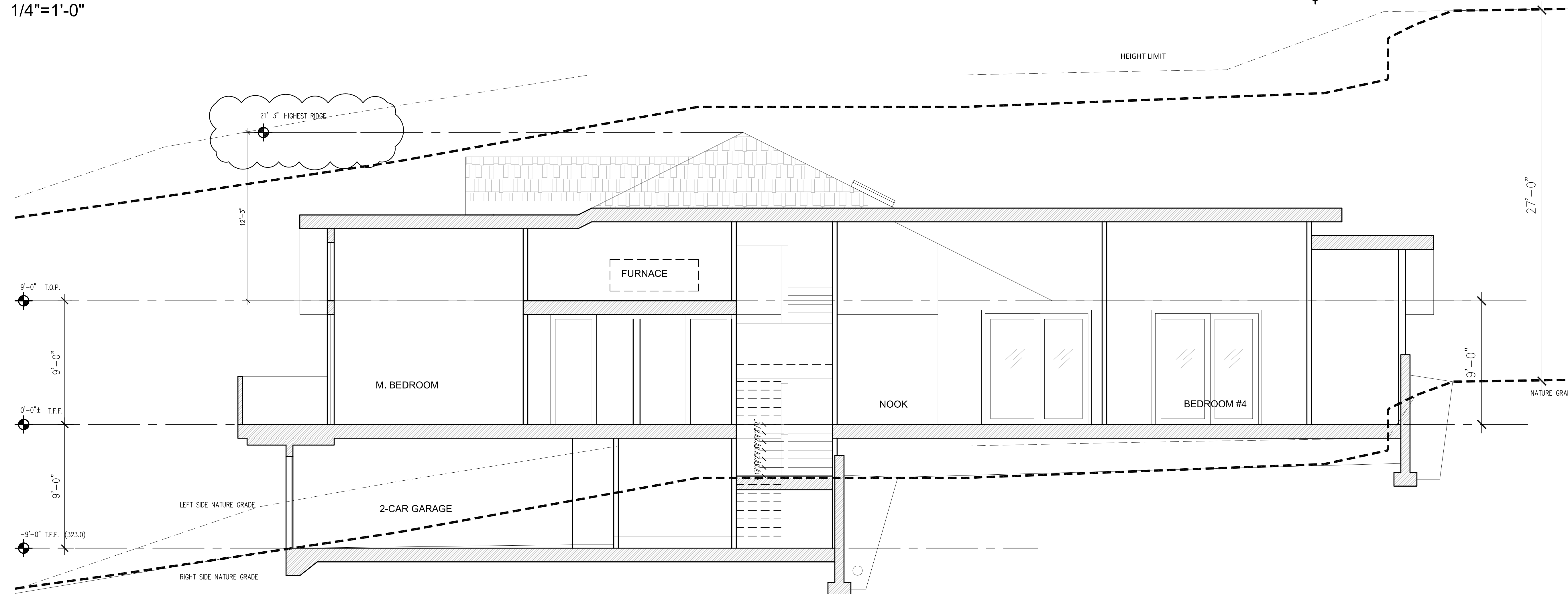


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SECTION-1

1/4"=1'-0"



SECTION-2

1/4"=1'-0"

1248 VIA HUERTA
RESIDENCE

JUN ZHANG

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LOS ALTOS,
CALIFORNIA, 94024
408.348.6885 cel

02.08.23 PLANNING RESUBMITTAL

12.22.22 PLANNING RESUBMITTAL

10.18.22 PLANNING SUBMITTAL

Rev. Date Issue

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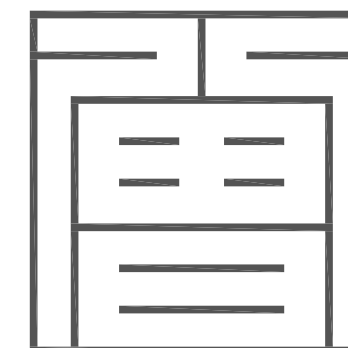
Project No: 2022-08

Date: 10-06-2022

Scale: 1/4"=1'-0"

SECTIONS

A4.1

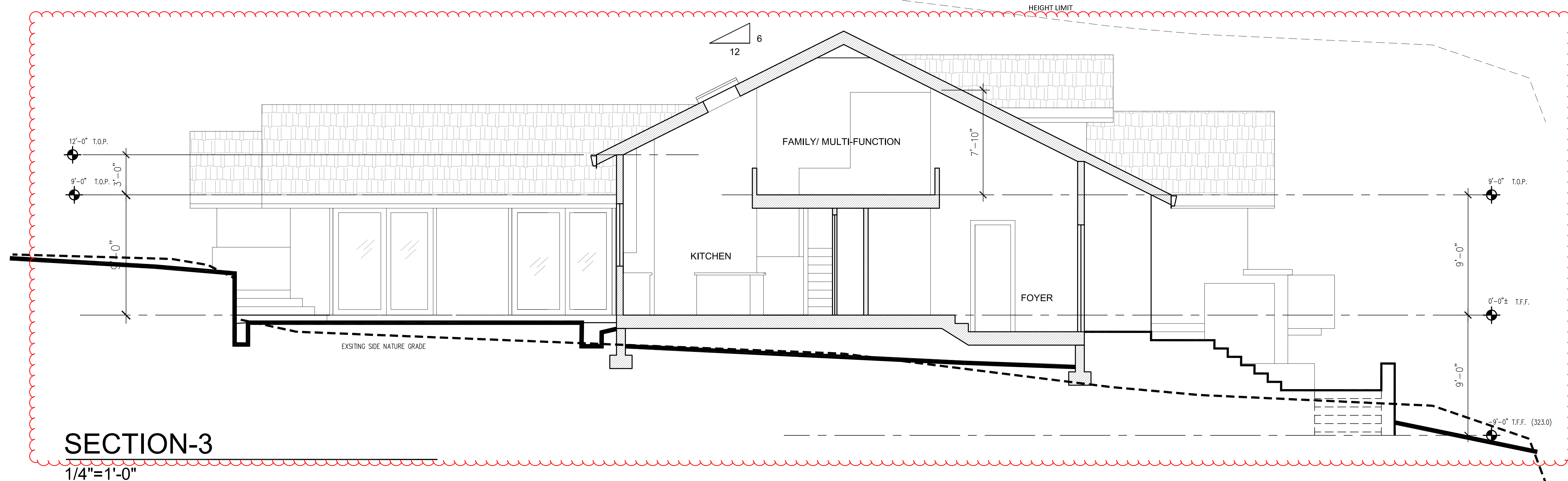


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1248 VIA HUERTA RESIDENCE

JUN ZHANG
353 COSTELLO DRIVE
LOS ALTOS,
CALIFORNIA, 94024
408.348.6885 cel

12.22.22	PLANNING RESUBMITTAL
10.18.22	PLANNING SUBMITTAL

Rev.	Date	Issue

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Project No: 2022-08
Date: 10-06-2022
Scale: 1/4"=1'-0"

SECTIONS

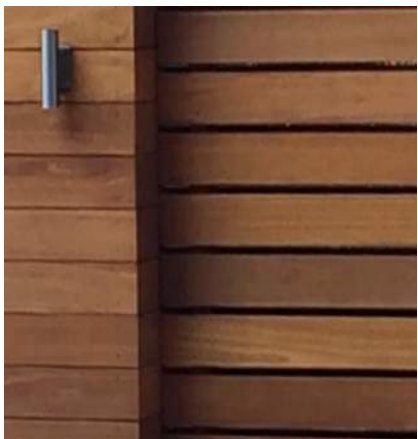
A4.2

MATERIAL BOARD

1248 VIA HUERTA
LOS ALTOS, CA



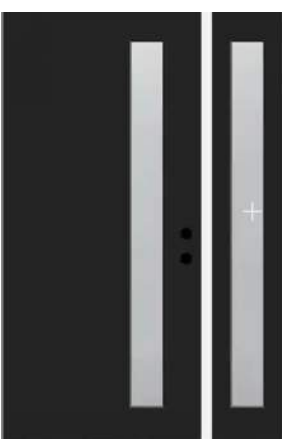
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FENCE



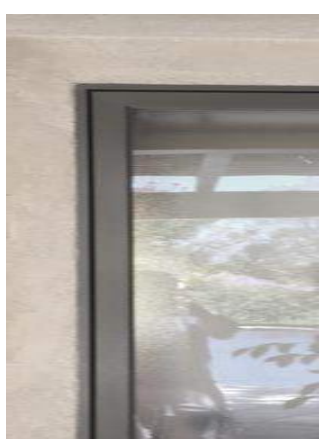
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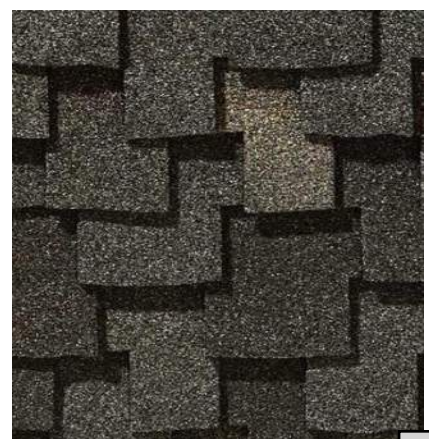
ENTRY DOOR



WOOD GARAGE DOOR



FIBERGLASS WINDOW



PRESIDENTIAL SINGLES ROO



COMMON NAME // COAST LIVE OAK
HEIGHT AND SPREAD IN FEET // 40 X 60
GROWTH RATE // SLOW-MODERATE



COMMON NAME // FLAX LILY
HEIGHT AND SPREAD IN FEET // 2 X 1.5
GROWTH RATE // MODERATE



COMMON NAME // MATT RUSH
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // MODERATE - FAST



COMMON NAME // LITTLE OLLIE
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // MODERATE



COMMON NAME // MEXICAN SAGE
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // FAST



COMMON NAME // LOW COAST ROSEMARY
HEIGHT AND SPREAD IN FEET // 2 X 4
GROWTH RATE // MODERATE - FAST



COMMON NAME // CAPE RUSH
HEIGHT AND SPREAD IN FEET // 3 X 3
GROWTH RATE // MODERATE



COMMON NAME // SANTA BARBARA DAISY
HEIGHT AND SPREAD IN FEET // 1.5 X 3
GROWTH RATE // FAST



COMMON NAME // MYOPORUM
HEIGHT AND SPREAD IN FEET // 1 X 5
GROWTH RATE // FAST



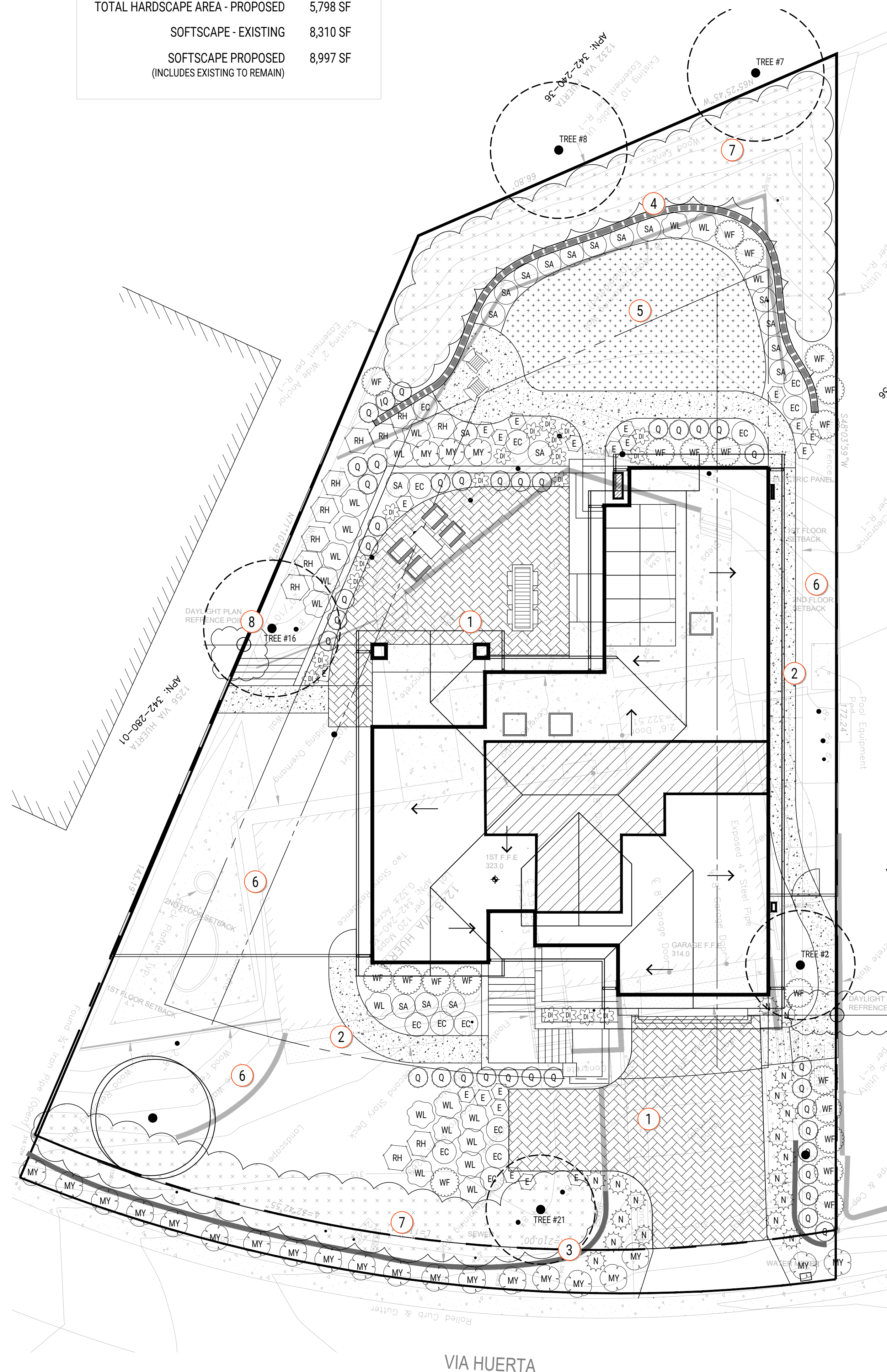
COMMON NAME // COFFEE BERRY
HEIGHT AND SPREAD IN FEET // 3 X 4
GROWTH RATE // MODERATE



COMMON NAME // BLUE COAST ROSEMARY
HEIGHT AND SPREAD IN FEET // 3 X 4
GROWTH RATE // MODERATE - FAST

LANDSCAPE DATA

TOTAL HARDSCAPE AREA - EXISTING	6,485 SF
TOTAL HARDSCAPE AREA - PROPOSED	5,798 SF
SOFTSCAPE - EXISTING	8,310 SF
SOFTSCAPE PROPOSED (INCLUDES EXISTING TO REMAIN)	8,997 SF



PLANTING SCHEDULE

TREES	BOTANICAL / COMMON NAME
	QUERCUS AGRIFOLIA / COAST LIVE OAK
SHRUBS	BOTANICAL / COMMON NAME
	CHONDROPETALUM TECTORUM / SMALL CAPE RUSH
	DIANELLA CAERULEA 'CASSA BLUE' / FLAX LILY
	ERIGERON KARVINSKIANUS / SANTA BARBARA DAISY
	LOMANDRA LONGIFOLIA 'NYALLA' / NYALLA MAT RUSH
	MYOPORUM PARVIFOLIUM 'PINK' / PINK TRAILING MYOPORUM
	OLEA EUROPAEA 'LITTLE OLLIE' TM / LITTLE OLLIE OLIVE
	RHAMNUS CALIFORNICA 'MOUND SAN BRUNO' / CALIFORNIA COFFEEBERRY
	SALVIA LEUCANTHA / MEXICAN BUSH SAGE
	WESTRINGIA FRUTICOSA 'WES03' TM / BLUE GEM COAST ROSEMARY
	WESTRINGIA FRUTICOSA 'WES06' TM / LOW HORIZON COAST ROSEMARY

DESIGN KEY

- 1 PAVER DRIVEWAY AND PATIO
- 2 GRAVEL WALKWAY
- 3 EXISTING WALL TO REMAIN
- 4 NEW GARDEN WALL
- 5 SODDED TURF
- 6 MULCHED SIDEYARD AREA
- 7 EXISTING VEGETATION TO BE PRUNED / THINNED
- 8 EXISTING TREE TO REMAIN/PROTECT PER ARBORIST REPORT

DESIGN CRITERIA

PLANTING DESIGN CRITERIA

THE PROPOSED PLANT LIST IS COMPRISED OF PLANT MATERIAL AND TREES KNOWN TO THRIVE IN THE LOCAL CLIMATE AND SOIL CONDITIONS. ABOVE GROUND UTILITIES WILL BE SCREENED BY PLANTING. ALL LANDSCAPE AREAS WILL BE COVERED IN MIN 3" OF BARK MULCH

IRRIGATION DESIGN CRITERIA

THE IRRIGATION DESIGN WILL COMPLY WITH THE LOCAL AND STATE WATER CONSERVATION REQUIREMENTS. THE WATER CONSERVATION METHOD FOR THE PROPOSED LANDSCAPE MATERIAL HAS A LOW TO MEDIUM WATER USE.

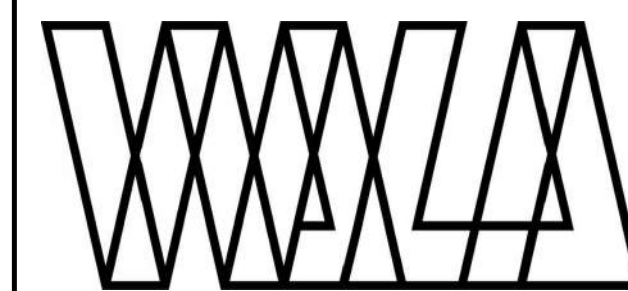
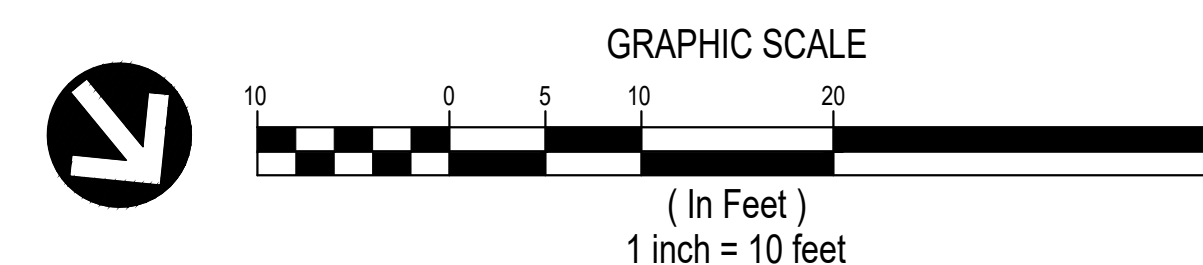
A WEATHER SENSING 'SMART CONTROLLER' WILL BE USED TO MONITOR THE IRRIGATION WATER AND MANAGE DAILY WATER CONSUMPTION TO THE MINIMUM REQUIREMENTS FOR EACH HYDROZONE.

ALL TREES, SHRUB AND GROUNDCOVER AREAS WILL BE IRRIGATED BY DRIP, ON SEPARATE HYDROZONES, SO THAT ONCE ESTABLISHED, WATER CAN BE REGULATED IN A MORE EFFICIENT MANNER.

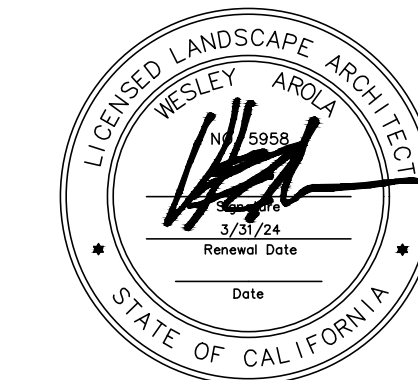
COMPLIANCE STATEMENT

THE DESIGN WILL MEET OR EXCEED THE STATE AND LOCAL STANDARDS FOR WATER CONSERVATION THROUGH WATER EFFICIENT LANDSCAPE IRRIGATION DESIGN. I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE MWEO

WES AROLA - CA 5958



WES AROLA LANDSCAPE ARCHITECTURE
W@WESAROLA.COM 831/247 9936



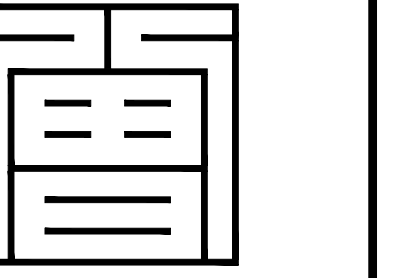
CUSTOM RESIDENCE
1248 VIA HUERTA . LOS ALTOS . 94024
LANDSCAPE PLANS

#	ITEM	DATE

DATE
12.20.2022

PRELIMINARY
LANDSCAPE PLAN

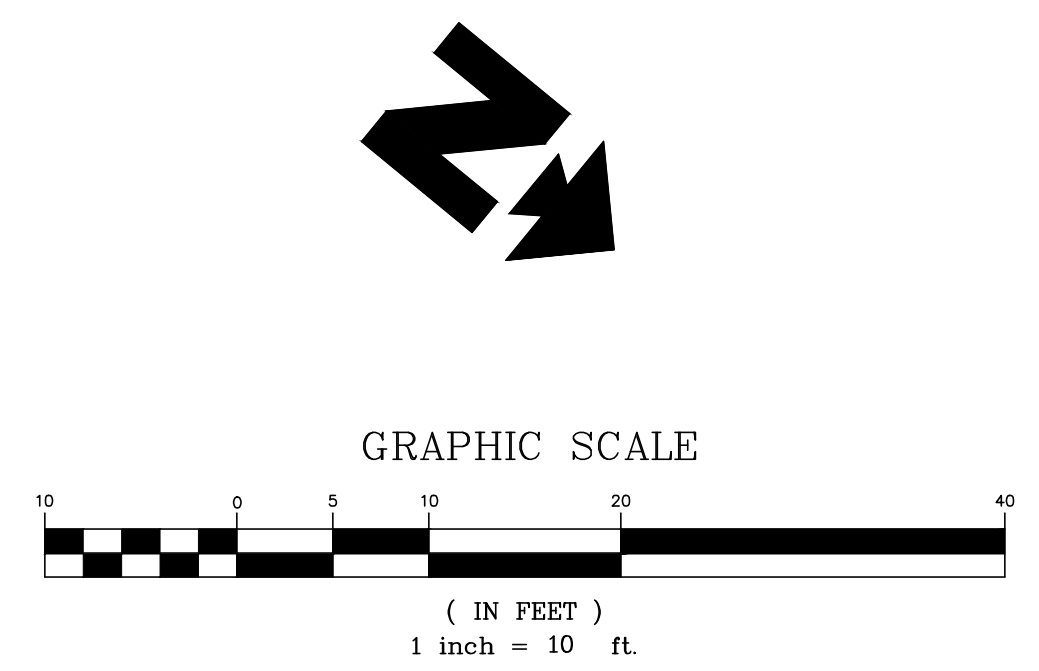
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cel. 408.464.5631

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TOPOGRAPHIC SURVEY BY MOUNTAIN PACIFIC SURVEYS, DATED DECEMBER 10, 2020

General Note:

- 1) Features shown hereon represent surface conditions of the project area compiled from a ground survey performed on September of 2022. Surveyor made no attempt to determine the existence or extent of underground utilities or other features not surface visible.
- 2) Boundary and easement data shown hereon are based upon a Preliminary Title Report prepared by Orange Coast Title Company as order no. 520-2345327, dated September 14, 2022

Datum Note:

Horizontal datum is based upon an assumed local coordinate system. Vertical Datum is based upon City of Los Altos benchmark #40, a brass disc set in the top of curb located at the southwest return of Stonehaven Drive and Kant Drive. Top of disc taken as 276.46', NAVD88 Datum. Temporary control points have been established hereon to perpetuate the project datum for future use.

Basis of Bearings:

Bearings shown hereon are based upon the monumented centerline of Via Huerta as shown on that certain map filed for record in Book 120 of Maps at Page 46 of Santa Clara County Records.

GENERAL GRADING NOTES:

1. ALL GRADING AND SITE PREPARATION SHALL CONFORM WITH SPECIFICATIONS CONTAINED IN THE GEOTECHNICAL REPORT
2. ALL CONSTRUCTION MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE TO THE COUNTY LATEST CONSTRUCTION SPECIFICATIONS AND DETAILS
3. PRIOR TO ANY EXCAVATION OF THE PROJECT SITE, THE OPERATOR SHALL NOTIFY THE COUNTY 48 HOURS PRIOR TO THE START OF CONSTRUCTION.
4. THE CONTRACTOR SHALL CAREFULLY PRESERVE BENCHMARKS, REFERENCE POINTS AND STAKES.
5. ALL INDICATED ELEVATIONS ARE FINISHED ELEVATIONS.
6. FIELD VERIFY LOCATIONS, SIZES AND IF APPLICABLE INVERTS OF EXISTING UTILITIES FOR PROPOSED CONNECTIONS PRIOR TO CONSTRUCTION.
7. LOCATE AND PROTECT ALL UTILITIES ASSOCIATED WITH THE PROJECT PRIOR TO CONSTRUCTION.
8. INSTALL SIT CONTROL MEASURES BEFORE BEGINNING SITE WORK. THESE MEASURES SHALL BE MAINTAINED THROUGHOUT CONSTRUCTION.
9. MAINTAIN PROPER SITE DRAINAGE AT ALL TIMES DURING CONSTRUCTION. PREVENT STORM WATER FROM RUNNING INTO OR STANDING IN EXCAVATED AREAS.
10. INSTALL ALL APPROPRIATE TREE PROTECTION MEASURES PRIOR TO GRADING.
11. ALL ROOF DRAIN WILL BE DISCHARGED ONTO VEGETATED AREA PRIOR TO LEAVING SITE

EXISTING LEGEND:

	Building Footprint		Area Drain
	Building Overhang		Fire Hydrant
	Centerline		Mailbox
	Concrete		Sanitary Sewer Cleanout
	Concrete Grade Break		Sanitary Sewer Manhole
	Curb & Gutter (Rolled)		Sign
	Easement		Spot Elevation
	Fenceline		Streetlight
	Overhead Utility Line		Survey Control Point
	Wall		Survey Monument
	Concrete		Water Meter
			Water Valve
			Book 120 of Maps, Page 46 Santa Clara Country Records

PROPOSED LEGEND:

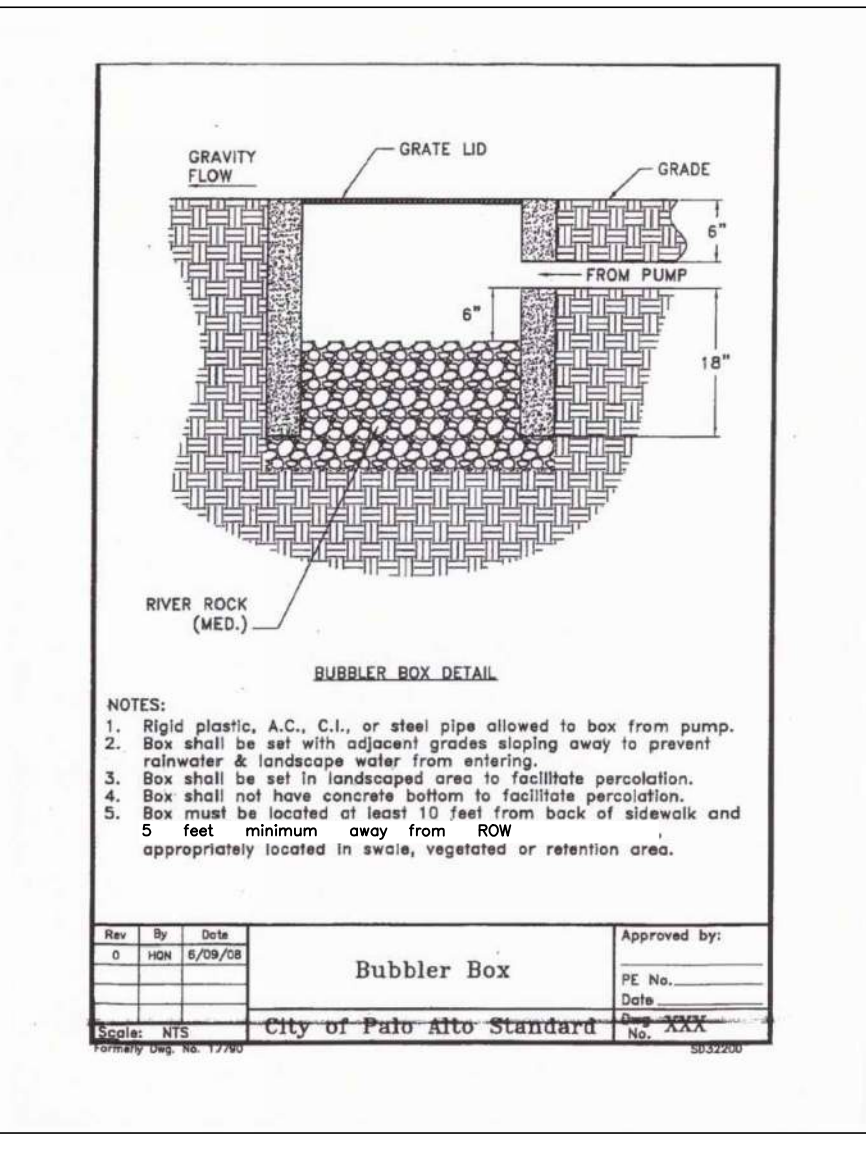
	EXISTING SPOT ELEVATION
	FLOWLINE ELEVATION
	RIM ELEVATION
	DRAINAGE SLOPE AND DIRECTION
	4" HDPE @ MIN 1.5%
	8" DRAIN BASIN W/ SOLID COVER (NYLOPLAST OR EQUIVALENT)
	8" DRAIN BASIN W/ GRATE TOP (NYLOPLAST OR EQUIVALENT)
	BUBBLER BOX
	ROOF DRAIN DOWNSPOUT

STORMWATER COMPLIANCE NOTES:

1. THE PROJECT CREATES AND/OR REPLACES LESS THAN ONE ACRE OF IMPERVIOUS SURFACES.
2. THE FOLLOWING SITE DESIGN MEASURES ARE PROPOSED:
 - PROTECT EXISTING TREES AND SOIL.
 - DIRECT ROOF RUNOFF ONTO VEGETATED AREA
3. THE FOLLOWING SOURCE CONTROL MEASURES ARE PROPOSED:
 - DROUGHT TOLERANT LANDSCAPING
 - USE WATER EFFICIENT IRRIGATION SYSTEM

GENERAL NOTES:

1. DO NOT DOWEL IN NEW DRIVEWAY AND WALKWAY INTO THE BACK OF EXISTING CONCRETE CURB
2. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB & GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650) 974-2680.
3. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT ILL BE REQUIRED.

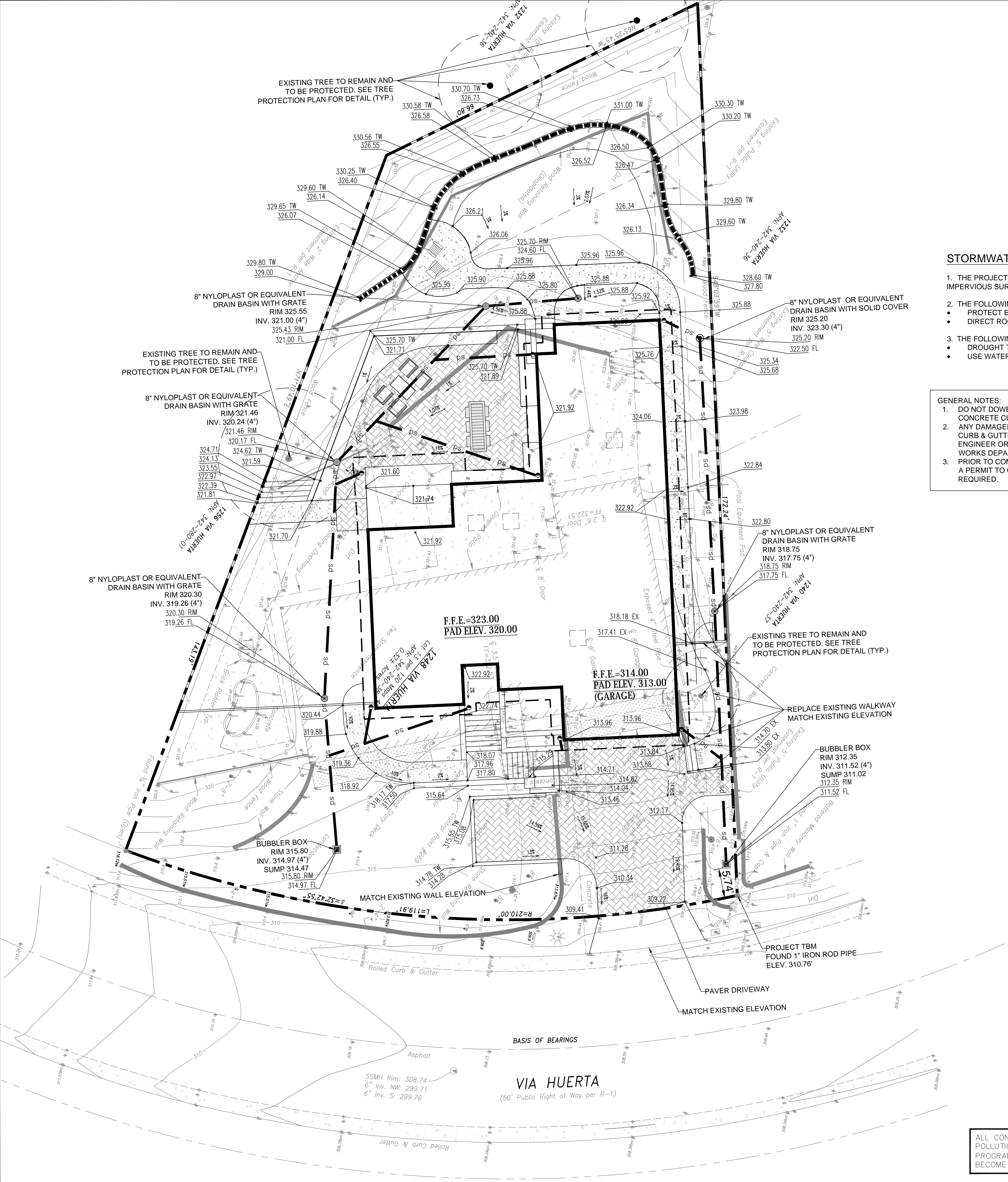


Call USA at:
1-800-227-2600

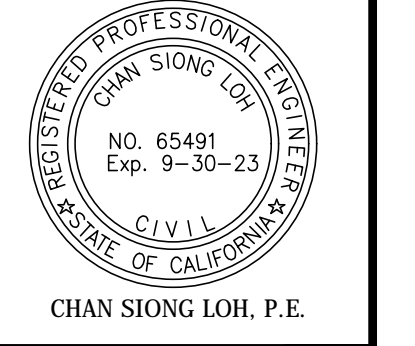


**AT LEAST 48 HOURS
BEFORE YOU DIG!**

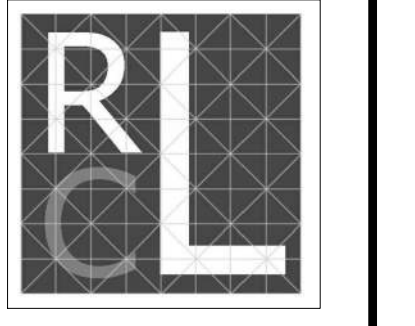
ALL CONTRACTOR AND SUBCONTRACTORS INVOLVED WITH STORM WATER POLLUTION PREVENTION SHALL REFER TO SCVRP POLLUTION PREVENTION PROGRAM - CONSTRUCTION BEST MANAGEMENT PRACTICES (BMPs) AND BECOME FAMILIAR WITH ITS CONTENTS PRIOR TO CONSTRUCTION



NO.	REVISIONS	DATE	REV	BY



CHAN SIANG LOH, P.E.
ECL STRUCTURAL ENGINEERS, INC.
P. 408.463.6632
info@ecse.com
570 E. El Camino Real Ste. D
Sunnyvale, CA 94087



**RESIDENCE
GRADING & DRAINAGE PLAN**
1248 VIA HUERTA
LOS ALTOS, CALIFORNIA
Project No: XXXX-XX
Designed: RK
Checked: RL
Date: 10-24-22

**SHEET
CC1**
PROJECT #



DATE: March 29, 2023
 AGENDA ITEM #3

TO: Design Review Commission
FROM: Sean K. Gallegos, Senior Planner
SUBJECT: SC22-0030 – 1081 Nottingham Way

RECOMMENDATION:

Approve design review application SC22-0030 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for first and second-story additions to an existing single-story residence. The project includes adding a 51 square-foot addition at the first story, a 218 square-foot rear patio, and a new 90 square-foot addition at the second story. This project should be considered categorically exempt from further environmental review under Section 15301 of the California Environmental Quality Act (CEQA) since it involves an addition to an existing single-family residence in an area zoned for residential uses. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Medium Lot
ZONING: R1-10
PARCEL SIZE: 13,204 square feet
MATERIALS: Composition shingle roof; smooth plaster finish, wood trim, wood windows, and wood entry doors

	Existing	Proposed	Allowed/Required
COVERAGE:	2,890 square feet	3,168 square feet	3,961 square feet
FLOOR AREA:	3,722 square feet	4,063 square feet	4,070 square feet
SETBACKS:			
Front	25 feet	25 feet	25 feet
Rear	86.25 feet	74.3 feet	25 feet
Right side(1 st /2 nd)	10 feet/17.5 feet	10.2 feet/25 feet	10 feet/17.5 feet
Left side (1 st /2 nd)	10 feet/17.5 feet	10.3 feet/17.5 feet	10 feet/17.5 feet
HEIGHT:	20.2 feet	20.2 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located in a Diverse Character Neighborhood as defined in the City's Residential Design Guidelines. The parcels in the neighborhood are similar sizes, have consistent front setbacks and the structures are a combination of older and new one- and two-story, single-family structures with simple roof forms (low-pitched gable and hipped roofs) and rustic materials. The houses have varying bulk and scale of low to moderate intensity. While there is not a distinctive street tree pattern on either street, there are many large trees along both streets.

DISCUSSION

Design Review

According to the Residential Design Guidelines, in Diverse Character Neighborhoods, a good neighbor design has its own design integrity while incorporating some design elements, materials, and scale found in the neighborhood.

As depicted in the design plans (Attachment D), the applicant is proposing a 51 square-foot addition at the first story, a 218 square-foot rear patio, and a new 90 square-foot addition at the second story.

First-Story Addition and Exterior Modifications

A 51 square-foot addition is proposed along the southwest corner of the house, which would add a reading room along the right side and front elevation. The additional exterior changes include:

- Along the front (south) elevation:
 - A 51 square-foot addition with a gable roof form along the front and right-side elevation
 - A single panel front door replaced with a two-panel front door.
 - The removal and replacement of two existing windows with new windows with a similar style, pattern and location.
- Along the interior right-side (east)elevation
 - A 51 square-foot addition with a gable roof form along the front and right-side elevation
 - The removal and replacement of six existing windows with new windows with a similar style, pattern and location.
- Along the interior left-side (west elevation)
 - The removal and replacement of four existing windows with new windows with a similar style, pattern and location.
- Along the rear (north) elevation

- The addition of a 218 square-foot covered patio with a gable roof form and columns
- The removal and replacement of seven existing windows with new windows with a similar style, pattern and location.
- The removal and replacement of one existing window and a three panel sliding door with a new seven panel door system.

Staff finds the proposed first-story addition and exterior modifications to be in compliance with the R1-10 zoning district development standards, the Single-Family Residential Design Guidelines, and the design review findings pursuant to Section 14.76.060 of the Zoning Code and therefore recommends design review approval of the first-story addition and exterior modifications. A materials board is provided in the project plans.

Second-Story Addition

The design plans include a 90 square-foot second story addition to the existing one-story house along the right and rear sides of the house. The second story addition will allow for the addition of a new bathroom. With regards to building setbacks, the second story addition exceeds the second-story setbacks as described in the table on Sheet A-1, and it is in conformance with the required standards. Please refer to the table above for more specific setbacks.

With regards to exterior materials, the project is matching the aesthetics of the existing residence and utilizing materials of similar quality to those found in the existing neighborhood. The first-story addition and the second story addition will use smooth plaster siding, and it is compatible with the other residences in the neighborhood. The proposed first and second floor roof materials are composition shingle roof. The other materials will include wood trim, wood windows, and wood entry doors.

For the wall plate height at the second story, the proposed addition will maintain the existing eight-foot-tall plate height, which is compatible with the existing house and immediate neighborhood context. The second floor is softened by being recessed within the roofline of the structure. The design does not create an abrupt change and is well proportioned and articulated to reduce the effect of bulk and mass.

The second story addition's roof forms will match the existing 4:12 pitched roof that are integrated with the existing roof forms. The low-pitched roof provides articulation of the eave line facing the right side and rear, limits the height of the building in comparison to adjacent houses and diminishes the overall scale of the structure. The proposed second story addition will have an overall height of 20 feet, two inches, which will be less than the allowed maximum height of 27 feet. Consistent with the design review findings, the modest sized second-story addition with its lower scale wall plate heights and roof forms will minimize the perception of excessive bulk and mass.

Overall, the design of the project appears to be an appropriate design within this Consistent Character Neighborhood and conforms to of the Residential Design Guidelines and Design Review findings.

Privacy

Along the left (west) elevation, there is one small window with a minimum windowsill height of five feet, six inches in bedroom Nos. 4 and 5. Due to the tall sill heights of the windows in the bathroom, the proposed window does not create unreasonable privacy impacts. Due to tall sill heights of the windows in the bedrooms, the proposed window does not create unreasonable privacy impacts.

Along the rear (east) second story elevation, there is one existing medium sized window. The project proposes a new small window in the new bathroom with a four-foot, six-inch sill height, the replacement of an existing medium sized window in the hallway with same sized window, which is in the same location with the same sill height of two feet, nine inches, and the addition of new twopanel French doors for the hallway. The French doors open inward and a Juliet balcony is proposed for the doors.

The rear elevation may have potential privacy impacts due to the French doors. Staff considered the privacy impact will be minimal because the setback from property line to the window will be between 37 feet along the left property line, 50 feet along the right property line and up to 100 feet from the rear of the house. The applicant will retain the existing evergreen screening and trees along the side and rear property lines to mitigate potential privacy impacts. The details of the proposed screening vegetation are provided in the Landscape Plan on Sheet L-2.

Landscaping and Trees

19 existing trees are depicted within the proximity of the subject site, please see sheet L-2 for the table identifying all trees on the site. The applicant proposes the removal of no protected trees. Consistent with the Submittal Requirements for Two-Story Residential Design review handout, an arborist report is not required for the proposal due to the proposed addition not falling within the inner 2/3rds of the dripline of any protected tree.

New or rebuilt landscaping would need to satisfy the Water Efficient Landscape Ordinance requirements should it exceed the 2,500 square-foot landscaping threshold for residential additions (Condition of Approval No. 6 and 18). Overall, the existing and proposed landscaping meets the intent of the City's landscape regulations and street tree guidelines. Overall, the existing and proposed landscaping meets the intent of the City's landscape regulations and street tree guidelines.

Environmental Review

This project should be considered categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves an addition to an existing single-family residence on an existing lot in an area zoned for residential uses.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 property owners in the immediate vicinity on Nottingham Way, Crooked Creek Drive, and Montclair Way. The

applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements.

Based on neighborhood outreach efforts, the applicants have provided documentation showing outreach to the neighbors in the immediate neighborhood context. A document from the applicant regarding outreach is included in Attachment C.

Cc: Pisuttisuk Kittipongdaja, Applicant and Designer
Sipra Hassan, Property Owners

Attachments:

- A. Public Notification Map
- B. Applicant Outreach
- C. Public Notice Poster
- D. Design Plans

FINDINGS

SC22-0030 – 1081 Nottingham Way

With regard to the first-story addition and modifications and the second story addition to the existing two-story house, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:

- a. The proposed residence complies with all provision of this chapter;
- b. The height, elevations, and placement on the site of the new residence, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC22-0030 – 1081 Nottingham Way

GENERAL

1. Expiration

The Design Review Approval will expire on March 15, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on February 21, 2023, except as may be modified by these conditions.

3. Protected Trees

The existing trees shall be protected under this application and cannot be removed without a tree removal permit from the Development Services Director.

4. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

5. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

6. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed.

7. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. **Conditions of Approval**

Incorporate the conditions of approval into the title page of the plans.

10. **Tree Protection Note**

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.”

11. **Water Efficient Landscape Plan**

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City’s Water Efficient Landscape Regulations and include signed statements from the project’s landscape professional and property owner.

12. **Reach Codes**

Building Permit Applications submitted on or after January 1, 2023 shall comply with specific amendments to the 2022 California Green Building Standards for Electric Vehicle Infrastructure and the 2022 California Energy Code as provided in Ordinances No 2022-487 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. **California Water Service Upgrades**

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. **Green Building Standards**

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project’s Qualified Green Building Professional Designer/Architect and property owner.

15. **Underground Utility Location**

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. **Outdoor Condensing Unit Sound Rating**

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s), the nominal size of the unit, and setback to the nearest property line. Provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. **Storm Water Management**

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the

City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Tree Protection

Tree protection fencing shall be installed around the dripline(s), or as required by the project arborist, of the existing trees as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

19. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

20. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project's landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

21. Landscape Privacy Screening

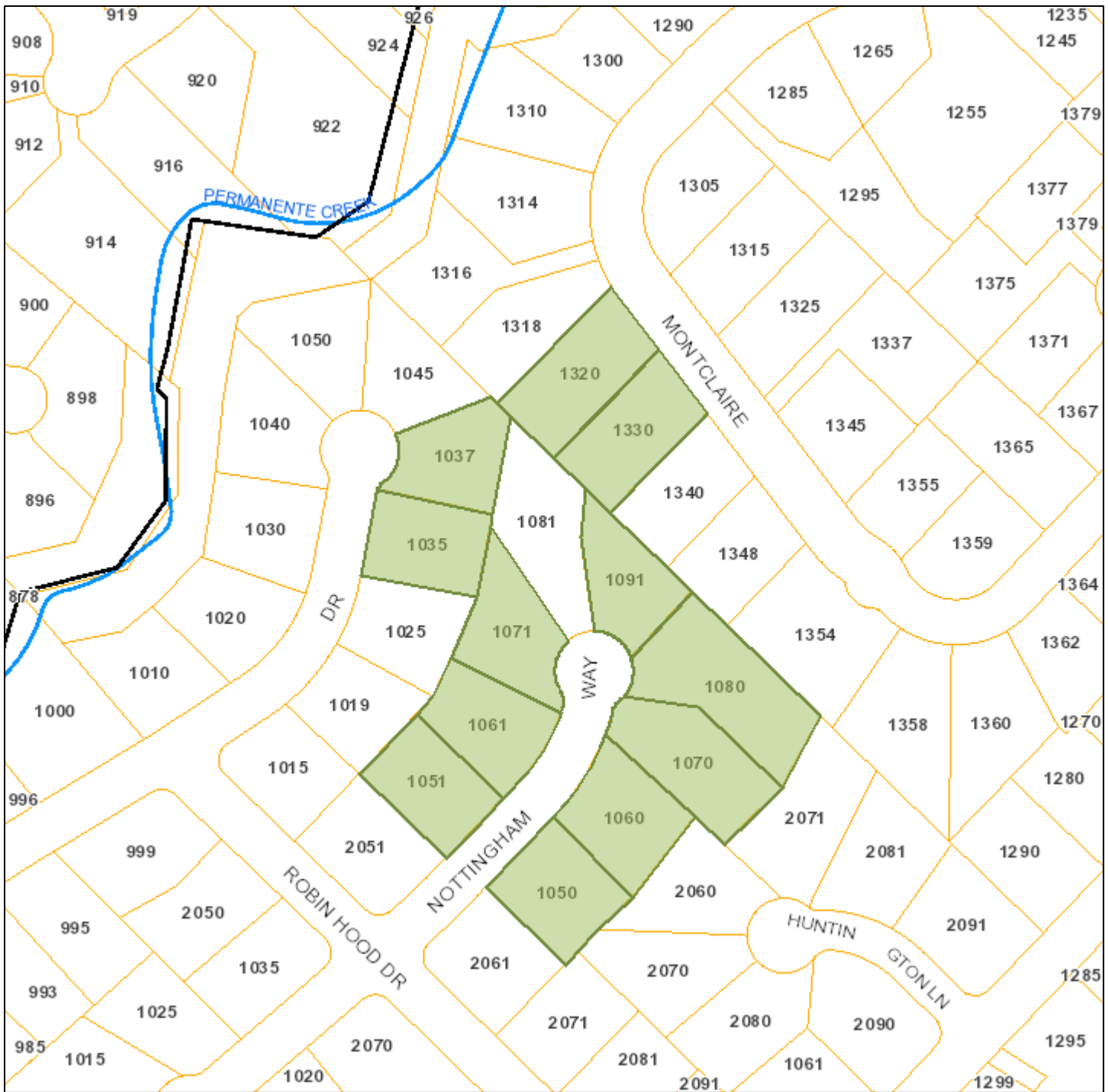
The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

22. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

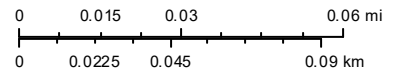
1081 Nottingham Way Notification Map

Agenda Item 3.



Print Date: September 30, 2022

12,257



- Schools
- Park and Recreation Areas
- City Limit
- Road Names
- Waterways
- Situs Label
- TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

Forwarded Conversation

Subject: Home renovations @ 1081 Nottingham way

From: Alina A <alina.ahmed05@gmail.com>

Date: Mon, Sep 12, 2022 at 10:48 AM

To:

Hello all,

Hope you're doing great. As some of you may know, we're planning a partial remodel of our home, the process is long and still going.

The city of Los Altos has informed us that in order to add an additional bathroom to our second floor (which would be on the back side of the house, in the backyard, not visible in the front), we must ask our neighbors and see if they're all okay with it.

We have a 5 bedroom house with only 2 full baths, which at times can get challenging, hence the addition.

Please reply to this email with your yays or nays so we can proceed.

Thank you for your time

Alina & Hassan
@ 1081 Nottingham way

From: sbcrystal <sbcrystal@aol.com>

Date: Mon, Sep 12, 2022 at 11:13 AM

To: Alina A <alina.ahmed05@gmail.com>

Hi,

I have no objections to adding a second bathroom on the back side of the house.

Sue

Sent from my iPad

From: Michael York <michaelwyork@gmail.com>

Date: Mon, Sep 12, 2022 at 12:43 PM

To: Alina A <alina.ahmed05@gmail.com>

Hi Alina!

That is great news! We're completely fine with that. Good luck and let me know if I can do anything to help.

Best,

Michael York and Ryan Pratt
1070 Nottingham Way, Los Altos, CA 94024
312-307-8055

From: **Lauri Steel** <lauristeel@aol.com>
Date: Mon, Sep 12, 2022 at 12:50 PM
To: <alina.ahmed05@gmail.com>

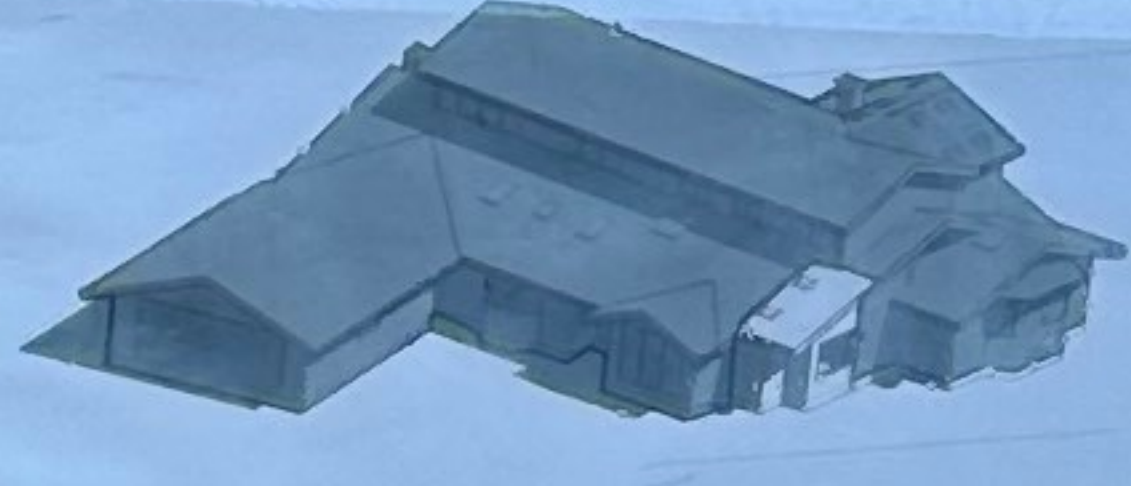
I'm fine with this - sounds like a very sensible addition to me. Good luck!
Lauri Steel
1061 Nottingham Way

From: **CHRIS DAVIS** <jcbd@aol.com>
Date: Mon, Sep 12, 2022 at 7:41 PM
To: Alina Ahmad <alina.ahmed05@gmail.com>

Alina and Hassan
No objections from our perspective. Let us know if we need to do anything.
Chris and Judith
1060 Nottingham Way
650 224 3677

On Sep 12, 2022, at 10:48 AM, Alina A <alina.ahmed05@gmail.com> wrote:

NOTICE OF DEVELOPMENT PROPOSAL
 DESIGN REVIEW - 1081 NOTTINGHAM WAY LOS ALTOS CA 94024



PROJECT DESCRIPTION
 Design Review for a two-story addition, with a 50 square-foot one-story addition for a reading room, a new 201 square-foot patio along the rear elevation, and a 90 square-foot second story addition for a new bathroom.

APPLICANT
 PETE KITIPONGDAJA
 702.605.1913
 FISUTTISUK@YAHOO.COM

PROPERTY OWNER
 HASSAN SUPRA
 408.341.5167
 HSPRA@GMAIL.COM

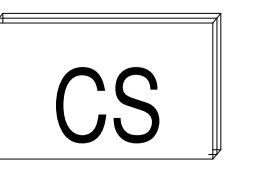
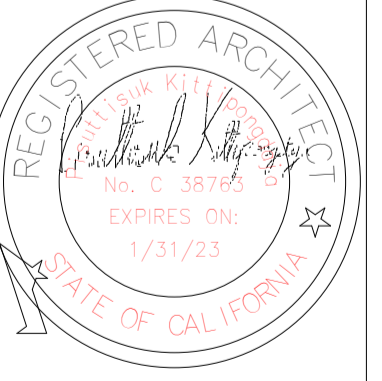
PROJECT PLANNER
 SARA CALLEJAS
 650.947.2730
 PLANNER@LOSALTOSCA.GOV

PUBLIC MEETING DATES (AS SCHEDULED)

MEETING NOTICE	MEETING NOTICE

PUBLIC MEETING NOTICE
 Wednesday, March 15, 2023 at 7:00 pm
 The Design Review Commission will hold a public meeting to consider the project on the above date and time with an opportunity for public comment.
 The agenda report and plan will be available on the City's website the Thursday before the meeting date.
 https://www.losaltosca.gov/development-services/development-services-commission-meetings/2023-03-15-2023-03-15-2023-03-15
 Written comments can be mailed or delivered in person to the Community Development Department at the Planning Department, 1081 Nottingham Way, Los Altos, CA 94024. Written comments are due at least 48 hours before the public meeting.





ATTACHMENT D

ALINA AHMED RESIDENCE REMODEL & EXPANSION 1081 NOTTINGHAM WAY LOS ALTOS 94024

THE ARCHITECT'S CONSTRUCTION DOCUMENTS ARE INTENDED TO BE A "BUILDERS SET" OF PLANS THAT THE OWNER/CONTRACTOR SHALL RELY UPON FOR BIDDING AND CONSTRUCTION OF THE PROJECT. HOWEVER, THE CONSTRUCTION DOCUMENTS ARE NOT INTENDED TO DEPICT EACH AND EVERY DETAIL AND/OR CONDITION THAT MAY OCCUR DURING THE COURSE OF CONSTRUCTION. THE ARCHITECT AND THE OWNER SHALL RELY UPON THE EXPERTISE OF THE GENERAL CONTRACTOR AND SUBCONTRACTORS FOR THE COMPLETE AND PROPER INSTALLATION OF MATERIALS AND PRODUCTS IN ACCORDANCE WITH INDUSTRY STANDARDS, MANUFACTURER'S RECOMMENDATIONS, AND ICC/ESR APPROVALS, ETC.

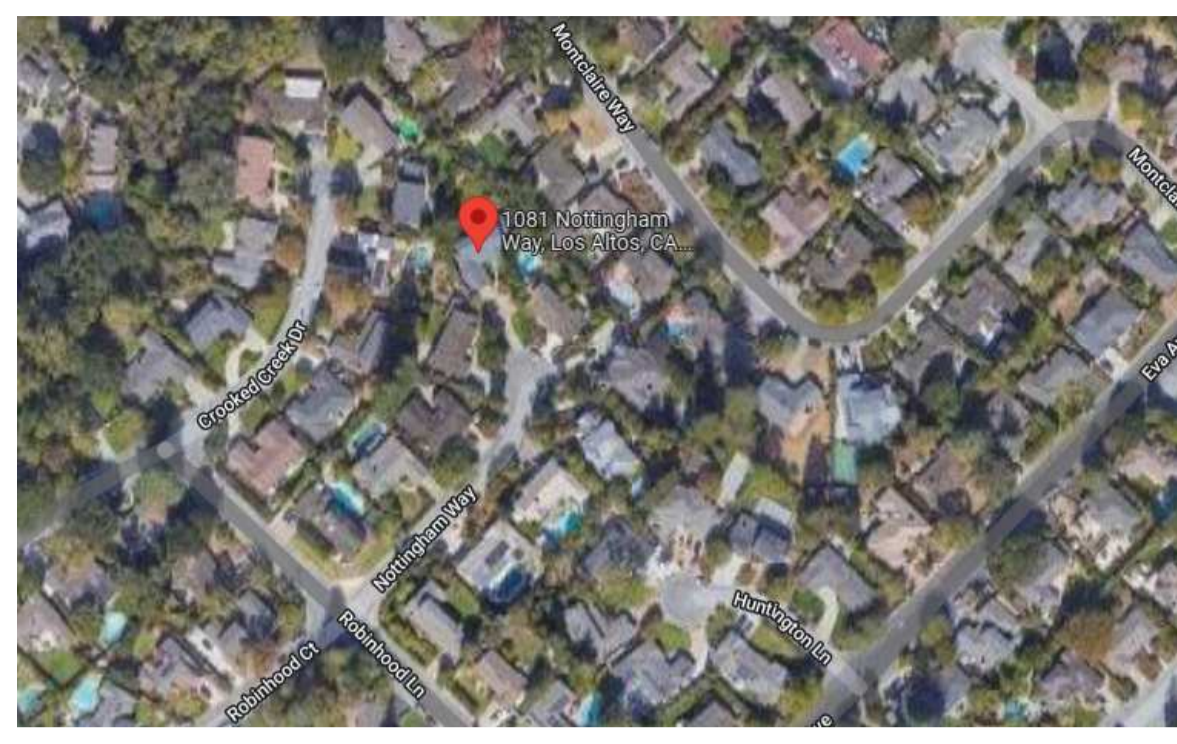
GENERAL NOTES

- THIS PROJECT AND ALL WORK ASSOCIATED WITH THE PROJECT SHALL CONFORM TO STATE AND LOCAL CODE JURISDICTIONS.
- THE TERM DESIGNER AS USED IN THESE DOCUMENTS SHALL REFER TO DESIGN EVEREST.
- THE DESIGNER SHALL NOT HAVE CONTROL OR CHARGE OF AND SHALL NOT BE RESPONSIBLE FOR MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURE, OR FOR SAFETY PRECAUTIONS AND PROGRAMS IN CONNECTION WITH THE WORK, ALL WHICH SHALL BE THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- SHORING, TEMPORARY SUPPORTS, AND SAFETY OF ERECTION BRACING DURING DEMOLITION AND /OR CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE STRUCTURAL ENGINEER OR THE DESIGNER.
- ALL WORK NOTED "N.I.C." OR "NOT IN CONTRACT" IS TO BE ACCOMPLISHED BY A CONTRACTOR OTHER THAN THE GENERAL CONTRACTOR AND IS NOT TO BE PART OF THE CONSTRUCTION AGREEMENT. THE GENERAL CONTRACTOR SHALL COORDINATE WITH "OTHER" CONTRACTORS PER REQUIREMENTS ESTABLISHED BY THE OWNER.
- THE GENERAL CONTRACTOR AND ALL SUB CONTRACTORS ARE RESPONSIBLE FOR EXAMINING CONTRACT DOCUMENTS, FIELD CONDITIONS, AND CONFIRMING THAT WORK IS BUILDABLE AS SHOWN BEFORE PROCEEDING WITH CONSTRUCTION. IF THERE ARE ANY QUESTIONS REGARDING THESE OR OTHER COORDINATION ITEMS, THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING CLARIFICATION FROM THE BEFORE PROCEEDING WITH WORK IN QUESTIONS OR RELATED WORK.
- CONTRACTOR SHALL MAINTAIN RECORD DOCUMENTS OF CONSTRUCTION CHANGES (AS-BUILT DRAWINGS) AND SHALL PROVIDE SAID DOCUMENTATION TO THE DESIGNER UPON COMPLETION OF CONSTRUCTION.
- THE GENERAL CONTRACTOR IS SOLELY RESPONSIBLE FOR TO COORDINATE WITH ALL SUB CONTRACTORS PER REQUIREMENTS ESTABLISHED BY THE OWNER, TENANT OR BOTH WHICH ARE UNDER SEPARATE CONTRACT WITH THE OWNER, TENANT, OR BOTH.
- THE STRUCTURAL, ELECTRICAL, MECHANICAL, & PLUMBING & OTHER DRAWINGS AND JOB SPECIFICATIONS ARE SUPPLEMENTARY TO THE WORKING CONSTRUCTION DRAWINGS. ANY DISCREPANCY BETWEEN THESE DOCUMENTS SHALL BE IMMEDIATELY BRIGHT TO THE ATTENTION OF THE DESIGNER FOR CLARIFICATION.
- THE INTENT OF DRAWINGS AND SPECIFICATIONS IS TO INCLUDE ALL LABOR, MATERIALS & SERVICES NECESSARY FOR THE COMPLETION OF ALL WORK SHOWN, DESCRIBED, OR REASONABLY IMPLIED, BUT NOT LIMITED TO THAT EXPLICITLY INDICATED ON THE CONTRACT DOCUMENTS.
- INSTALL ALL MANUFACTURED ITEMS, MATERIALS, AND EQUIPMENT IN STRICT ACCORDANCE WITH THE MANUFACTURERS RECOMMENDATIONS, UNLESS NOTED OTHERWISE NOTED OR INDICATED, ALL DIMENSIONS ON THESE DOCUMENTS SHALL BE TO FACE OF CURB, FACE OF CONCRETE, FACE OF FINISH OR CENTERLINE OF GRIDS.
- ANY WORK INSTALLED IN CONFLICT WITH THE CONSTRUCTION DRAWINGS, WITHOUT THE PRIOR APPROVAL OF THE OWNER AND THE DESIGNER SHALL BE CORRECTED AT THE CONTRACTOR'S EXPENSE.
- THE GENERAL CONTRACTOR SHALL NOTIFY THE DESIGNER IMMEDIATELY OF ANY SPECIFIED MATERIALS OR EQUIPMENT WHICH ARE EITHER UNAVAILABLE OR THAT WILL CAUSE A DELAY IN THE CONSTRUCTION COMPLETION SCHEDULE. THE CONTRACTOR SHALL SUBMIT CONFIRMATIONS OF DELIVERY DATES FOR ORDERS OF MATERIALS AND EQUIPMENT HAVING LONG LEAD TIMES.
- ALL REQUESTS FOR SUBSTITUTIONS OF ITEMS SHALL BE SUBMITTED IN WRITING TO THE DESIGNER. SUBSTITUTIONS SHALL BE OF EQUAL QUALITY SUBMITTAL PROCESS, OR EQ IS ACCEPTABLE.
- UNLESS OTHERWISE NOTED IN THE CONTRACT DOCUMENTS, THE CONTRACTOR SHALL SUBMIT (3) SETS OF SHOP DRAWINGS ELECTRONIC. (3) FINISH SUBMITTALS. FABRICATION SHALL NOT BEGIN UNTIL AFTER RECEIVING THE DESIGNER'S OR ENGINEER'S APPROVAL.
- THE DESIGNER'S REVIEW OF SHOP DRAWINGS SHALL NOT RELIEVE THE GENERAL CONTRACTOR OR SUB CONTRACTOR FROM RESPONSIBILITY FOR DEVIATIONS FROM THE DRAWINGS AND SPECIFICATIONS UNLESS HE HAS, IN WRITING, AND BROUGHT TO THE ATTENTION OF THE DESIGNER SUCH DEVIATIONS AT THE TIME OF THE SUBMISSION, NOR SHALL IT RELIEVE HIM FROM RESPONSIBILITY FOR ERRORS OF ANY SORT IN THE SHOP DRAWINGS.
- THE GENERAL CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL REQUIRED BUILDING PERMITS PRIOR TO STARTING CONSTRUCTION.
- PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, THE APPLICANT SHALL HAVE EVIDENCE OF CURRENT WORKMAN'S COMPENSATION INSURANCE COVERAGE ON FILE WITH THE STATE LABOR CODES.
- PROVIDE CONTINUOUS INSPECTIONS AS SET FORTH IN LOCAL AND STATE CODES AND PER THE CONTRACT DOCUMENTS AS NEEDED.
- PRIOR TO THE ISSUANCE OF FINAL CERTIFICATE OF OCCUPANCY FOR THIS PROJECT, THE GENERAL CONTRACTOR SHALL SUBMIT A SIGNED CERTIFICATE TO THE DEPARTMENT OF BUILDING & SAFETY STATING THAT ALL WORK HAS BEEN PERFORMED AND MATERIALS INSTALLED ACCORDING TO THE PLANS AND SPECIFICATIONS AFFECTING NON-RESIDENTIAL ENERGY.
- WHERE EXISTING TENANTS ARE ADJACENT TO THE JOB SITE, THE CONTRACTOR SHALL MINIMIZE CONSTRUCTION EXTREME CONSTRUCTION NOISE SHALL OCCUR ON NON-TYPICAL BUSINESS HOURS. CONTRACTOR SHALL NOTIFY THE BUILDING REPRESENTATIVE OF SPECIAL CIRCUMSTANCES PRIOR TO WORK FOLLOW LOCAL NOISE ORDINANCE.
- THE CONTRACTOR, AT HIS OWN EXPENSE, SHALL KEEP THE PROJECT AND SURROUNDING AREAS FREE FROM DUST AND THE WORK SHALL BE IN CONFORMANCE WITH THE AIR & WATER POLLUTION CONTROL STANDARDS AND REGULATIONS OF THE STATE DEPARTMENT OF HEALTH.
- CONSTRUCTION WASTE & DEBRIS SHALL BE DEPOSITED AT AN APPROPRIATE SITE.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE GENERAL CLEANING OF THE JOB AFTER COMPLETION.
- THE CONTRACTOR SHALL PROVIDE PEDESTRIAN PROTECTION, WHERE REQUIRED PER STATE AND LOCAL CODES.
- NO HAZARDOUS MATERIALS SHALL BE USED OR STORED WITHIN THE BUILDING WHICH DOES NOT COMPLY WITH THE LOCAL FIRE AUTHORITY AND STATE & COUNTY REQUIREMENTS.
- THE CONTRACTOR IS RESPONSIBLE FOR BLOWING OFF SUPPLY & RETURN AIR GRILLES & DUCTS TO KEEP DUST FROM ENTERING INTO THE BUILDING DISTRIBUTION SYSTEMS.
- ALL CONSTRUCTION & DEMOLITION SHALL BE DONE IN ACCORDANCE WITH LOCAL & STATE CODES.
- ALL VERTICAL DIMENSIONS SHOWN ARE FROM FLOOR SLAB, UNLESS NOTED OTHERWISE.
- DIMENSIONS TAKE PRECEDENCE. DO NOT SCALE THE DRAWINGS. LARGER DETAILED DRAWINGS TAKE PRECEDENCE OVER SMALLER SCALED DRAWINGS.
- WHERE ELECTRICAL, MECHANICAL, OR PLUMBING ITEMS PENETRATE A FOOTING, SLAB, WALL CEILING ETC. IT IS REQUIRED THAT AN APPROPRIATELY SIZED OPENING OR CLEARANCE BE FURNISHED. CONTRACTOR SHALL COORDINATE THE INSTALLATION OF ALL ITEMS WITH THE CONSTRUCTION DOCUMENTS PRIOR TO THE INSTALLATION. ANY CONFLICT WITH THE CONSTRUCTION DOCUMENTS, SHALL BE BROUGHT TO THE DESIGNER'S ATTENTION IMMEDIATELY.
- THE CONTRACTOR SHALL PROVIDE AND LOCATE ACCESS PANELS IN WALLS & CEILING CONSTRUCTION AS REQUIRED TO PROVIDE ACCESS TO FIRE SPRINKLER, MECHANICAL, PLUMBING & ELECTRICAL WORK. CONTRACTOR SHALL SUBMIT A PLAN OF ALL PROPOSED ACCESS PANEL TO THE DESIGNER FOR APPROVAL.
- ALL PENETRATIONS AT RATED CONSTRUCTION SHALL BE PROTECTED TO MAINTAIN RATING.
- INTERIOR WALLS & CEILINGS SHALL BE INSTALLED IN ACCORDANCE TO STATE & LOCAL CODES, INCLUDING REQUIREMENTS FOR FLAME SPREAD AND SMOKE DENSITY RATINGS FOR FINISH MATERIALS.
- ALL NEW CONSTRUCTION MATERIALS SHALL BE 100% ASBESTOS FREE.
- ALL INSPECTIONS SHALL BE CALLED FOR AND PASSED BEFORE ANY WORK CONTINUES TO THE NEXT PHASE.
- MANDATORY SPECIAL INSPECTIONS PER THE REQUIREMENTS OF THE ENGINEERING SUBMITTED AND I.C.C. PORTIONS OF THIS PROJECT REQUIRE SPECIAL INSPECTION.
- NO ROOFTOP EQUIPMENT SHALL BE VISIBLE FROM THE GROUND.
- A 4'-0" WALKWAY WILL BE MAINTAINED ALONG THE SIDE WALK IN FRONT OF THE BUILDING SITE DURING CONSTRUCTION.
- PEDESTRIAN PROTECTION, FENCES, RAILING OR CANOPIES, SHALL BE ALONG THE PUBLIC RIGHT OF WAY IN ACCORDANCE WITH C.B.C.
- A CONSTRUCTION FENCE SHALL BE MAINTAINED ALONG THE SIDE WALK IN FRONT OF THE BUILDING SITE DURING CONSTRUCTION. THIS FENCE SHALL BE INSTALLED PRIOR TO EXCAVATION AND/OR FOUNDATION TRENCHING.
- TEMPORARY TOILET FACILITIES SHALL BE ON SITE DURING THE CONSTRUCTION AND WILL BE AVAILABLE ALL DURING CONSTRUCTION TIMES.

FIRE AND EGRESS NOTES

- THE EXISTING RESIDENCE AND DETACHED GARAGE DOES NOT HAVE AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM
SECTION R313.2 EXCEPTION: AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM SHALL NOT BE REQUIRED FOR ADDITIONS OR ALTERATIONS TO EXISTING BUILDINGS THAT ARE NOT ALREADY PROVIDED WITH AN AUTOMATIC RESIDENTIAL FIRE SPRINKLER SYSTEM.
- DWELLING UNITS AND SLEEPING ROOM MUST HAVE AN OPERABLE WINDOW OR EXTERIOR DOOR FOR EMERGENCY MEANS OF EGRESS WHICH OPENS DIRECTLY ONTO A PUBLIC STREET, ALLEY, YARD OR EXTERIOR COURT. PROVIDE SILL HEIGHT NOT OVER 44" ABOVE FLOOR, 5.7 S.F. OF OPENABLE AREA, 24" NET CLEAR OPENING HEIGHT, 20" NET CLEAR OPENING WIDTH (SEC. 310.4)
- 1-HOUR RATED (5/8" TYPE "X") GYP. BOARD @ ALL WALLS @ CEILING BELOW STAIR & @ ATTACHED GARAGE TYPICAL
- NEW BUILDINGS SHALL HAVE APPROVED ADDRESS NUMBERS, BUILDING NUMBERS OR APPROVED BUILDING IDENTIFICATION PLACED IN A POSITION THAT IS PLAINLY VISIBLE FROM THE STREET OR ROAD FRONTING THE PROPERTY. THESE NUMBERS SHALL BE A MINIMUM OF 4" HIGH WITH A MINIMUM STROKE WIDTH. CRCH, CFC SECTION 505.1

VICINITY MAP



GREEN BUILDING CODE REQUIREMENTS

- STORM WATER DRAINAGE/RETENTION DURING CONSTRUCTION:** PROJECTS WHICH DISTRIB LESS THAN ONE ACRE OF SOIL SHALL MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION BY ONE OF THE FOLLOWING:
a) RETENTION BASINS
b) WHERE STORM WATER IS CONVEYED TO A PUBLIC DRAINAGE SYSTEM, WATER SHALL BE FILTERED BY USE OF A BARRIER SYSTEM, WATTLE OR OTHER APPROVED METHOD. (CGC 4.106.2)
- GRADING AND PAVING:** SITE GRADING OR DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS TO KEEP WATER FROM ENTERING BUILDINGS (SWALES, WATER COLLECTION, FRENCH DRAINS, ETC.) (CGC 4.106.3) **EXCEPTION:** ADDITIONS NOT ALTERING THE DRAINAGE PATH.
- LANDSCAPE IRRIGATION:** LANDSCAPE IRRIGATION WATER USE SHALL HAVE WEATHER OR SOIL BASED CONTROLLERS. (CGC 4.408.2)
- INDOOR WATER USE:**
a) SHOW COMPLIANCE WITH THE FOLLOWING TABLE FOR NEW/REPLACED FIXTURES PER CGC 4.303.1

FIXTURE FLOW RATES	GALLONS/FLUSH
WATER CLOSETS	1.28
URINALS (WALL-MOUNTED)	0.125
URINALS (OTHERS)	0.5
SHOWERHEADS	1.8 GPM @ 80 PSI
LAVATORY FAUCETS	1.5 GPM @ 60 PSI
KITCHEN FAUCETS	1.8 GPM @ 60 PSI
METERING FAUCETS	0.25 GALLONS PER MINUTE
NOT HAVE A FLOW RATE GREATER THAN	0.8 GPM AT 20 PSI

b) WHEN A SHOWER IS PROVIDED WITH MULTIPLE SHOWER HEADS, THE SUM OF THE FLOW TO ALL HEADS SHALL NOT EXCEED 1.8 GPM @ 80 PSI, OR THE SHOWER SHALL BE DESIGNED SO THAT ONLY ONE HEAD IS ON AT A TIME. (CGC 4.303.1.3.2)
- RECYCLING:**
a) A MINIMUM OF 65% OF CONSTRUCTION WASTE IS TO BE RECYCLED. (CGC 4.408.1)
b) CONTRACTOR SHALL SUBMIT A CONSTRUCTION WASTE MANAGEMENT PLAN TO THE JURISDICTION AGENCY THAT REGULATES WASTE MANAGEMENT. PER CGC 4.408.2
- OPERATION AND MAINTENANCE MANUAL:** THE BUILDER IS TO PROVIDE AN OPERATION MANUAL (CONTAINING INFORMATION FOR MAINTAINING APPLIANCES, ETC.) FOR THE OWNER AT THE TIME OF FINAL INSPECTION. (CGC 4.410.1)
- GAS FIREPLACES:** GAS FIREPLACES SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. WOODSTOVE OR PELLET STOVES MUST BE US EPA II RATED APPLIANCES. (CGC 4.503.1)
- POLLUTANT CONTROL:**
a) DURING CONSTRUCTION, ENDS OF DUCT OPENINGS ARE TO BE SEALED, AND MECHANICAL EQUIPMENT IS TO BE COVERED. (CGC 4.504.1)
b) VOC'S MUST COMPLY WITH THE LIMITATIONS LISTED IN SECTION 4.504.3 AND TABLES 4.504.1, 4.504.2, 4.504.3 AND 4.504.5 FOR: ADHESIVES, PAINTS AND COATINGS, CARPET AND COMPOSITION WOOD PRODUCTS. (CGC 4.504.2)
- INTERIOR MOISTURE CONTROL:**
a) CONCRETE SLABS WILL BE PROVIDED WITH A CAPILLARY BREAK. (CGC 4.505.2.1)
b) THE MOISTURE CONTENT OF WOOD SHALL NOT EXCEED 19% BEFORE IT IS ENCLOSED IN CONSTRUCTION. THE MOISTURE CONTENT NEEDS TO BE CERTIFIED BY ONE OF 3 METHODS SPECIFIED IN SECTION 4.505.3. BUILDING MATERIALS WITH VISIBLE SIGNS OF WATER DAMAGE SHOULD NOT BE USED IN CONSTRUCTION. THE MOISTURE CONTENT MUST BE DETERMINED BY THE CONTRACTOR BY ONE OF THE METHODS LISTED IN CGC 4.505.3.
- INDOOR AIR QUALITY:** BATHROOM FANS SHALL BE ENERGY STAR RATED, VENTED DIRECTLY TO THE OUTSIDE AND CONTROLLED BY A HUMIDISTAT. (CGC 4.506.1)
- WRITTEN VERIFICATION:** PRIOR TO FINAL INSPECTION THE LICENSED CONTRACTOR, ARCHITECT OR ENGINEER IN RESPONSIBLE CHARGE OF THE OVERALL CONSTRUCTION MUST PROVIDE TO THE BUILDING DEPARTMENT OFFICIAL WRITTEN VERIFICATION THAT ALL APPLICABLE PROVISIONS FROM THE GREEN BUILDING STANDARDS CODE HAVE BEEN IMPLEMENTED AS PART OF THE CONSTRUCTION. (CGC 102.3)

ABBREVIATION

A.C.I.	AMERICAN CONCRETE INSTITUTE	GYP BD	GYPSON BOARD
ADDNL.	ADDITIONAL	HB	HOSE BIBB
ADJ	ADJACENT	HD	HOLDOWN
A.I.A.	AMERICAN INSTITUTE OF ARCHITECTS	HDR	HEADER
A.I.S.C.	AMERICAN INSTITUTE OF STEEL CONSTRUCTION	HGR	HANGER
ALUM	ALUMINIUM	HORIZ	HORIZONTAL
APRV'D	APPROVED	IN	INCH
ARCH	ARCHITECTURAL	INFO	INFORMATION
A.S.T.M.	AMERICAN INSTITUTE FOR TESTING MATERIALS	INSUL	INSULATE
AUTO AVE	AUTOMATIC AVENUE	INT	INTERIOR
BATH	BATHROOM	JST.	JOIST
BD	BOARD	LAUND	LAUNDRY
BLDG	BUILDING	LAV	LAVATORY
BLK	BLOCK	LB	POUND
BLKG	BLOCKING	LW CONC	LIGHTWEIGHT CONC
BM	BEAM	MAS	MASONRY
B.M.	BENCH MARK	MAT'L	MATERIAL
B.N.	BOUNDARY NAILING	MAX	MAXIMUM
BOTT	BOTTOM	MB	MACHINE BOLT
BTU	BRITISH THERMAL UNIT	MECH	MECHANICAL
CAB	CABINET	MEMB	MEMBRANE
CARP	CARPET	MFR	MANUFACTURER
C.J.	CEILING JOIST	MIN	MINIMUM
CLG	CEILING	MISC	MISCELLANEOUS
CLKG	CAULKING	MTD	MOUNTED
CLOS	CLOSET	MTL	METAL
CLR	CLEAR	(N)	NEW
C.O.	CLEAN OUT	NTS	NOT TO SCALE
COL	COLUMN	O.C.	ON CENTER
CONC	CONCRETE	OPNG	OPENING
CONST	CONSTRUCTION	PERF	PERFORATE
CONT	CONTINUOUS	PG	PAD GRADE
C.S.I.	CONSTRUCTION SPECIFICATION INSTITUTE	PL	PLATE LINE
CT	CENTER	PLAS	PLASTER
CTR	CENTER LINE	PLUMB	PLUMBING
Q	CUBIC FEET	PLYWD	PLYWOOD
CU FT	CUBIC INCH	PR	PAIR
CU IN	CUBIC YARD	PREFAB	PREFABRICATED
CU YD	DRYER	PSI	POUNDS PER SQUARE INCH
D	DOUBLE	PSF	POUNDS PER SQUARE FOOT
DBL	DETAIL	PTD	PAINT
DET	DIAMETER	PTDF	PRESSURE TREATED DOUGLAS FIR
DIA	DIMENSION	RAD	RADIUS
DIM	DOWN	RAFT	RAFTER
DN	DOWN SPOUT	RAG	RETURN AIR GRILL
DWG	DRAWING	RDW	REDWOOD
EACH	EACH	REF	REFRIGERATOR
E.G.	EXISTING GRADE	REINF	REINFORCE (D) (ING)
EJ	EXPANSION JOINT	REQ'D	REQUIRED
ELEC	ELECTRIC	RM	ROOM
ELEV	ELEVATION	SAF	SELF ADHERED FLASHING
EN	EDGE NAIL	SCHED	SCHEDULE
ENGR	ENGINEER	SHTG	SHEATHING
EQ	EQUAL	SHR	SHOWER
EQUIP	EQUIPMENT	SIM	SIMILAR
EXIST'G	EXISTING	SMP	SHEAR PANEL
EXT	EXTERIOR	SPEC	SPECIFICATION
FAU	FORCED AIR UNIT	SQ	SQUARE
FD	FLOOR DRAIN	STD	STANDARD
F.G.	FUEL GAS	STL	STEEL
FIN	FINISH	STRUC	STRUCTURAL
FIN FLR	FINISH FLOOR	T.O.B	TOP OF BEAM
FIN GRD	FINISH GRADE	T&B	TOP AND BOTTOM
FLASH'G	FLASHING	T.O.C	TOP OF CURB
FL BM	FLOOR BEAM	TC	TRASH COMPACTOR
FLR	FLOOR	TEL	TELEPHONE
FLUOR	FLOURESCENT	T.O.F	TOP OF FOOTING
F.N.	FIELD NAIL	T.O.G	TOP OF GRADE
FND	FOUNDATION	T & G	TONGUE & GROOVE
FOB	FACE OF BEAM	THRU	THROUGH
FOC	FACE OF CONCRETE	T.O.S.	TUBE STEEL COLUMN
FOM	FACE OF MASONRY	T.O.W.	TOP OF WALL
FOS	FACE OF STUD	TYP	TYPICAL
FR	FRENCH	U.B.C.	UNIFORM BUILDING CODE
FTG	FOOT, FEET	U.O.N.	UNLESS OTHERWISE NOTED
GA	GAUGE	VTR	VENT THRU ROOF
GALV	GALVANIZED	VTW	VENT THRU WALL
GFI	GROUND FAULT INTERRUPTER	W	WASHER
GL	GLASS	WC	WATER CLOSET
GLB	GLUE LAMINATED BEAM	WD	WOOD
GRD	GRADE	W.F.	WIDE FLANGE
GRD BM	GRADE BEAM	W/H	WATER HEATER
GSM	GALV SHEET METAL	WI	WROUGHT IRON
GYP	GYPSON	WP	WATER PROOF
		WSCT	WAINSCOAT
		WT	WEIGHT

PROJECT INFORMATION

SCOPE OF WORK:
INTERIOR REMODEL, 1263 SF KITCHEN, DINING ROOM, LIVING ROOM AND FAMILY ROOM, NEW 50 SF READING ROOM ADDITION, 90 SF BATHROOM AT LEVEL 2 ADDITION, AND 218 SF PATIO ADDITION.

AREA SUMMARY

LEVEL	EXISTING	ADDITION
NEW PATIO	2890 sq.ft	2950 sq.ft
LEVEL 2	832 sq.ft	218 sq.ft
TOTAL	3722 sq.ft	4110 sq.ft

PROJECT ADDRESS: 1081 NOTTINGHAM WAY, LOS ALTOS 94024
APN: 34210115
ZONE: R1-10
LOT AREA: 13,204 SF
CONSTRUCTION TYPE: V-B
YEAR BUILT: 1955

SETBACK

FRONT	25'-0"
SIDE	10'-0" (FIRST STORY)
SIDE	17'-5" (SECOND STORY)
REAR	25'-0"

MAX ALLOWABLE HEIGHT : 27'-0"
MAX FAR : 3650 SF + .10 X (13221 - 11000) = 4072 SF
14.68 (30% FLOOR AREA RATIO (FAR))
A. FOR LOTS WITH A NET SITE AREA NOT EXCEEDING ELEVEN THOUSAND (11,000) S.F.T., THE MAXIMUM FLOOR AREA SHALL BE THIRTY-FIVE (35) PERCENT OF THE NET LOT AREA. B. FOR LOTS WITH A NET SITE AREA EXCEEDING ELEVEN THOUSAND (11,000) SQ.FT., THE MAXIMUM FLOOR AREA SHALL BE THREE THOUSAND EIGHT HUNDRED FIFTY (3850) SQ.FT. + 1 (10) PERCENT TIMES THE NET LOT AREA MINUS ELEVEN THOUSAND (11,000) SQ.FT.

APPLICABLE CODES

BUILDING CODE:	2019 CALIFORNIA BUILDING CODE 2019 CALIFORNIA RESIDENTIAL CODE
ELECTRICAL CODE:	2019 CALIFORNIA ELECTRICAL CODE
MECHANICAL CODE:	2019 CALIFORNIA MECHANICAL CODE
PLUMBING CODE:	2019 CALIFORNIA PLUMBING CODE
ENERGY CODE:	2019 CALIFORNIA ENERGY CODE
SUSTAINABILITY CODE:	2019 CALIFORNIA GREEN BUILDING STANDARDS
FIRE CODE:	2019 CALIFORNIA FIRE CODE

PROJECT DIRECTORY

ARCHITECT:	STRUCTURAL:
PETE KITTIPONGDAJA PISUTTISUK@YAHOO.COM TEL 702.605.1913	XX XX XX
DESIGN EVEREST 365 FLOWER LANE MOUNTAIN VIEW CA 94043	DESIGN EVEREST 365 FLOWER LANE MOUNTAIN VIEW CA 94043

DESIGN/BUILD ITEMS

- THE FOLLOWING TRADES/ CONTRACTOR/ CONSULTANTS ARE DESIGN BUILD ITEMS TO BE PROVIDED BY GENERAL CONTRACTOR :
- ELECTRICAL
 - MECHANICAL
 - PLUMBING
 - CABINETS
 - INTERIOR FINISHES, FIXTURES, ETC.

SHEET INDEX

CS	COVER SHEET
A-1	SITE PLAN
L-1	EXISTING LANDSCAPE
L-2	PROPOSED LANDSCAPE (NO CHANGE)
A-1.1	CALGREEN
A-1.2	CALGREEN
A-2.1	DEMOLITION 1ST FLOOR PLAN
A-2.2	DEMOLITION 2ND FLOOR PLAN
A-2.3	DEMOLITION ROOF PLAN
A-3.1	PROPOSED FIRST FLOOR PLAN
A-3.2	PROPOSED SECOND FLOOR PLAN
A-3.3	PROPOSED ROOF PLAN
A-4.1	EXTERIOR EAST SIDE ELEVATION
A-4.2	EXTERIOR WEST SIDE ELEVATION
A-4.3	EXTERIOR NORTH SIDE ELEVATION
A-4.4	EXTERIOR SOUTH SIDE ELEVATION
A-4.5	ELEVATIONS (COLORED)
A-4.6	ELEVATIONS (COLORED)
A-4.7	DOOR AND WINDOW DETAIL
A-5.1	SECTIONS
A-5.2	SECTIONS
A-5.3	SECTIONS
A-6.1	RCP FIRST FLOOR
A-6.2	RCP SECOND FLOOR
A-7	DETAILS
A-7.2	DETAILS
T24-01	TITLE 24
T24-02	TITLE 24
T24-03	TITLE 24
A-8.1	ENLARGED DETAILS- BATH 102
A-8.1.2	ENLARGED DETAILS- BATH 102
A-8.2	ENLARGED DETAILS- BATH 112
A-8.2.2	ENLARGED DETAILS- BATH 112
A-8.3	ENLARGED DETAILS- OFFICE 109
A-8.4	ENLARGED DETAILS- READING 114
A-8.5	ENLARGED DETAILS- BATH 202
A-8.5.2	ENLARGED DETAILS- BATH 202
A-8.6	ENLARGED DETAILS- BATH 205
A-8.6.2	ENLARGED DETAILS- BATH 205
A-8.7	KITCHEN DETAILS
A-8.7.2	KITCHEN DETAILS
A-8.7.3	KITCHEN 3D VIEWS
A-8.8	3D VIEW
A-8.9	3D VIEW (DAYLIGHT PLANE)
A-8.10	SCHEDULE SHEET
A-8.11	SCHEDULE SHEET
TOTAL 46	
STRUCTURAL	
S0.0	GENERAL NOTES
S1.0	FOUNDATION PLAN
S1.1	UPPER FLOOR FRAMING PLAN
S1.2	ROOF FRAMING PLAN
S4.0	DETAILS
S4.1	DETAILS
TOTAL 6	
GRAND TOTAL 52	







365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

SITE PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:	CITY SUBMITTAL
DATE:	23/02/05
No.	1 2 3 4 5

DATE: 23/02/05
SCALE: 1/8" = 1'-0"
DRAWN BY:
CKD BY:
PROJECT : 202107199

DRAWING NO.
A-1

SETBACK

FRONT 25'-0"
SIDE 10'-0" (FIRST STORY)
SIDE 17'-6" (SECOND STORY)
REAR 25'-0"

NET LOT AREA:	13,204 square feet		
	Existing	Change in	Total Proposed
% OF FRONT YARD PAVING	N/A	N/A	___ sq ft (___ %)
HABITABLE LIVING AREA: (includes habitable basement area)	3,722 square feet	140 square feet	3,862 square feet
NON- HABITABLE AREA:	0 square feet	201 square feet	201 square feet
			4063 square feet
	Existing	Proposed	Allowed/ Required
LOT COVERAGE: (Land area covered by all structures that are over 6 feet in height)	2,890 square feet 21.88%	3,168 square feet 23.99%	3,961 square feet 30%
FLOOR AREA:	1st Flr: 2890 sq ft 2nd Flr: 832 sq ft Total : 3722 sqft (28.18%)	1st Flr: 3141 sq ft 2nd Flr: 922 sq ft Total : 4063sqft (30.77%)	max allow 4,070* square feet (30.82%)
SETBACKS:			
Front	25'-0" feet	25'-0" feet	25'-0" feet
REAR	86.25 feet	74.30 feet	25'-0" feet
Right Side (1st / 2nd)	10 feet/17.5 feet	10.2 feet/25 feet	10 feet/17.5 feet
Left Side (1st / 2nd)	10 feet/17.5 feet	10.3 feet/17.5 feet	10 feet/17.5 feet
HEIGHT	20.2 feet	20.2 feet	27 feet

***MAX FAR SEE CALCULATION BELOW**

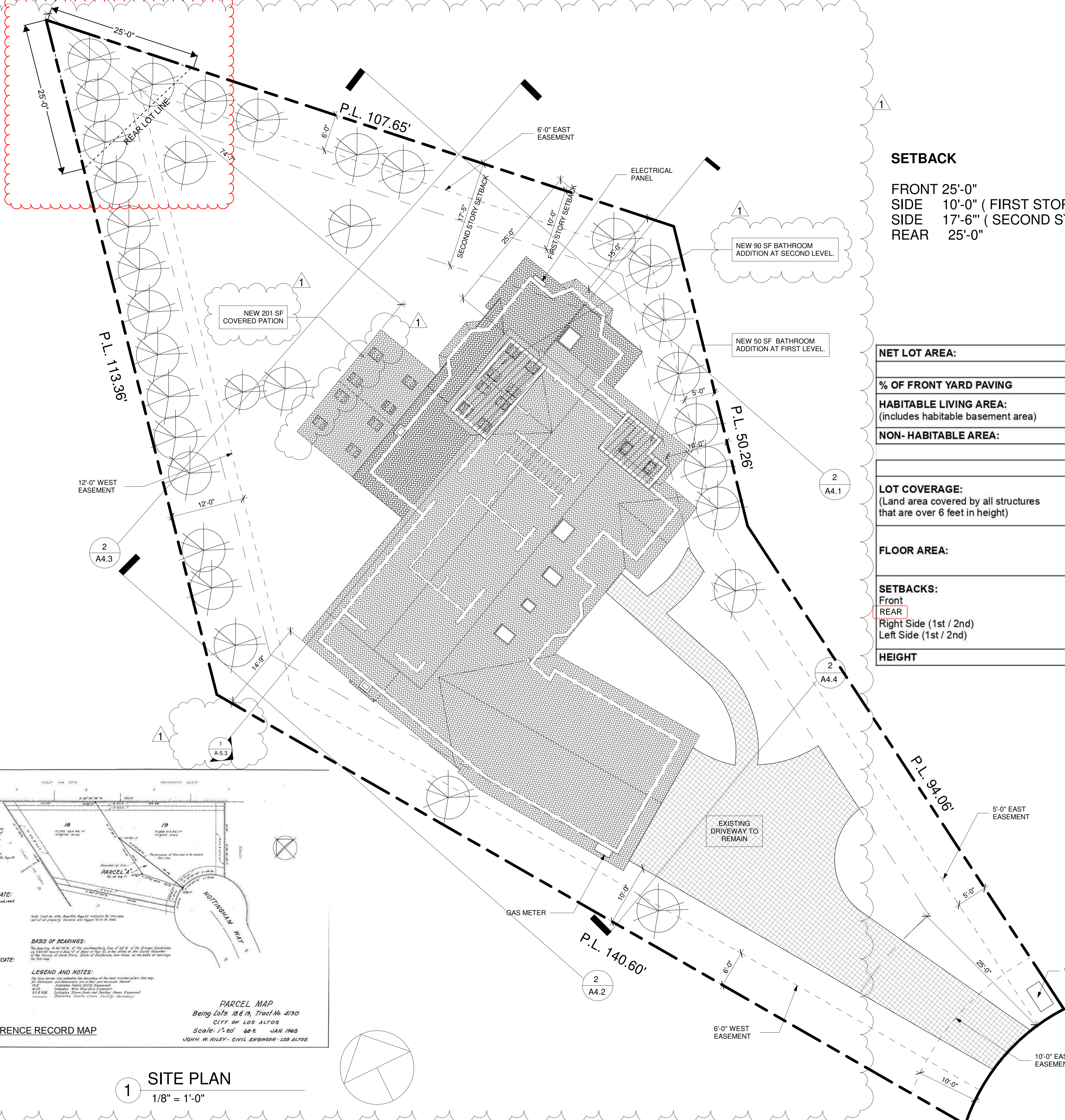
14.06.070- FLOOR AREA RATIO (R1-10)
A. FOR LOTS WITH A NET SITE AREA NOT EXCEEDING ELEVEN THOUSAND (11,000) S.F.T, THE MAXIMUM FLOOR AREA SHALL BE THIRTY-FIVE(35) PERCENT OF THE NET LOT AREA B.
FOR LOTS WITH A NET SITE AREA EXCEEDING ELEVEN THOUSAND (11,000) SQ.FT.
THE MAXIMUM FLOOR AREA SHALL BE THREE THOUSAND EIGHT HUNDRED FIFTY (3850) SQ.FT. + (10) PERCENT TIMES THE NET LOT AREA MINUS ELEVEN THOUSAND (11,000) SQ.FT

PER 14.06.070

SITE AREA: 13,240 (MORE THAN 11,000)

13204-11,000 = 2,204
2,204 X 10% = 220

3850 + 220= 4,070



ENGINEER'S CERTIFICATE:
This map was prepared by me and was compiled from records and measurements and measurements of the subdivision map and of the original area of the land shown on the map and I hereby certify that the same are correct and true to the original and that I am a duly Licensed Professional Engineer in the State of California.

CITY ENGINEER'S CERTIFICATE:
This map has been examined and found to conform with Section 18550 of the California Public Works Act.

COUNTY RECORDER'S CERTIFICATE:
This map has been examined and found to conform with Section 18550 of the California Public Works Act.

LEGEND AND NOTES:
1. This map shows the boundary of the land included within this map.
2. All dimensions and measurements are in feet and inches rounded to the nearest 1/8".
3. All dimensions are shown with their respective bearings.
4. All dimensions are shown with their respective bearings.
5. All dimensions are shown with their respective bearings.

PARCEL MAP
Being Lots 18 & 19, Tract No 4130
CITY OF LOS ALTOS
Scale: 1"=80' 682 JAN 1963
JOHN W. RILEY - CIVIL ENGINEER - LOS ALTOS

1 SITE PLAN
1/8" = 1'-0"

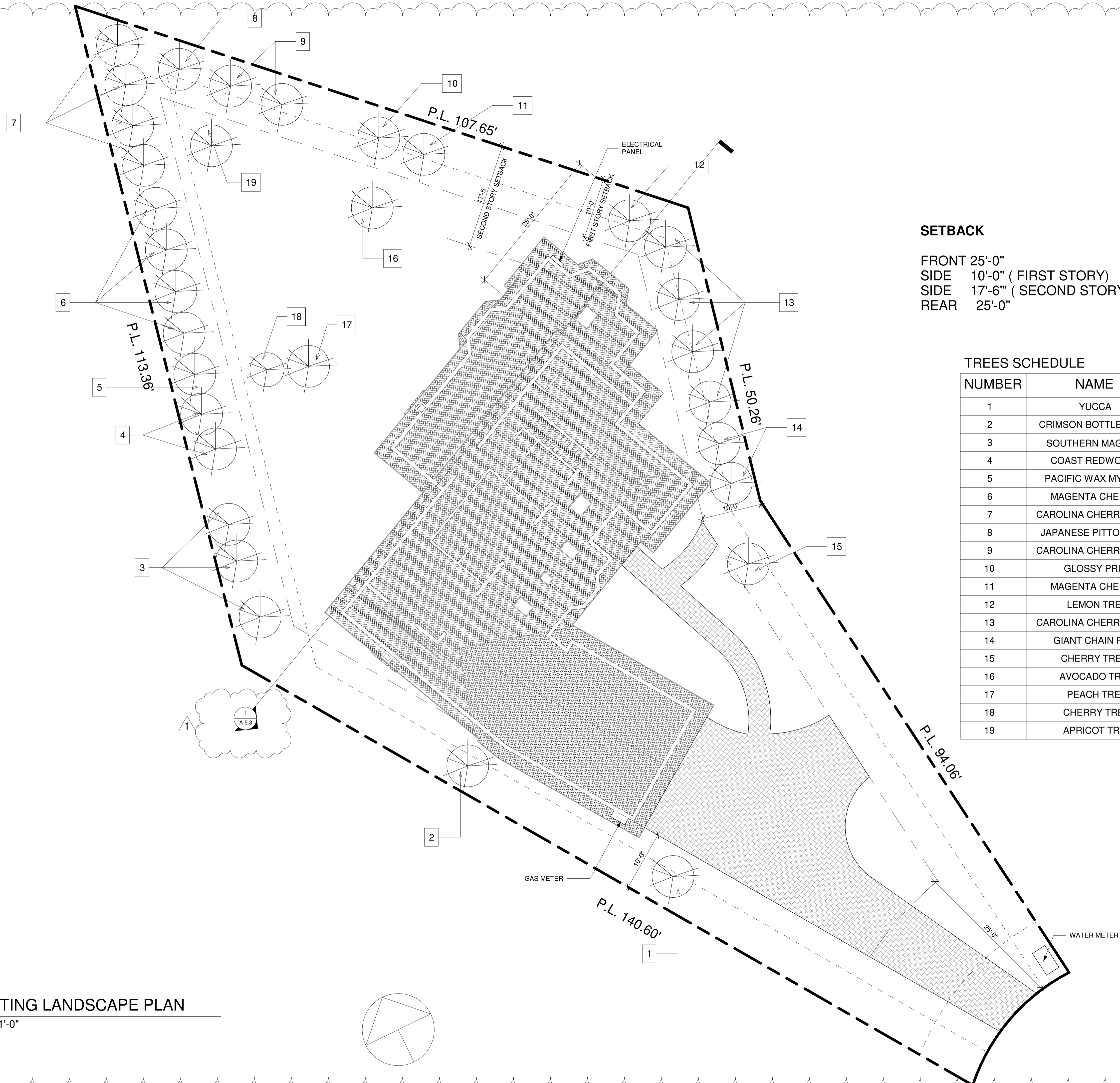


EXISTING LANDSCAPE PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:	CITY SUBMITTAL
DATE:	23/02/05
No.	1/1 1/2 1/3 1/4

DATE: 23/02/05
SCALE: As indicated
DRAWN BY:
CKD BY:
PROJECT : 202107199

DRAWING NO.
L-1



SETBACK

FRONT 25'-0"
SIDE 10'-0" (FIRST STORY)
SIDE 17'-6" (SECOND STORY)
REAR 25'-0"

TREES SCHEDULE

NUMBER	NAME	SIZE	REMOVE
1	YUCCA	15'	NO
2	CRIMSON BOTTLE BUSH	12'	NO
3	SOUTHERN MAGNOLIA	25'	NO
4	COAST REDWOOD	13'	NO
5	PACIFIC WAX MYRTLE	15'	NO
6	MAGENTA CHERRY	20'	NO
7	CAROLINA CHERRY LAUREL	20'	NO
8	JAPANESE PITTOSPORUM	15'	NO
9	CAROLINA CHERRY LAUREL	12'	NO
10	GLOSSY PRIVET	12'	NO
11	MAGENTA CHERRY	12'	NO
12	LEMON TREE	6'	NO
13	CAROLINA CHERRY LAUREL	25'	NO
14	GIANT CHAIN FERN	7'	NO
15	CHERRY TREE	10'	NO
16	AVOCADO TREE	10'	NO
17	PEACH TREE	10'	NO
18	CHERRY TREE	12'	NO
19	APRICOT TREE	8'	NO

1 EXISTING LANDSCAPE PLAN
1/8" = 1'-0"



PROPOSED LANDSCAPE PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE:
23/02/05

No.

DATE: 23/02/05

SCALE: As indicated

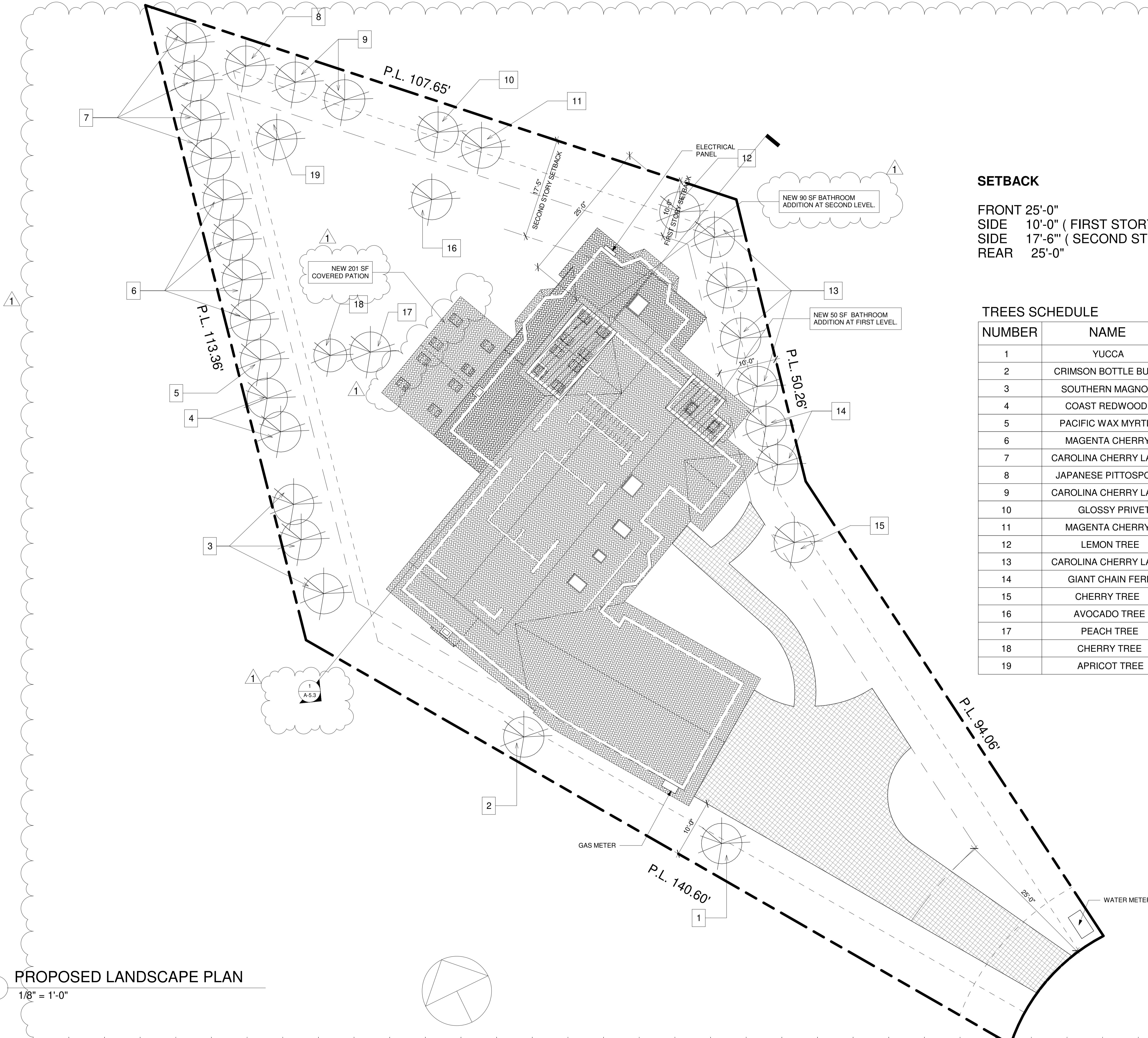
DRAWN BY :

CKD BY:

PROJECT : 202107199

DRAWING NO.

L-2



SETBACK

FRONT 25'-0"
SIDE 10'-0" (FIRST STORY)
SIDE 17'-6" (SECOND STORY)
REAR 25'-0"

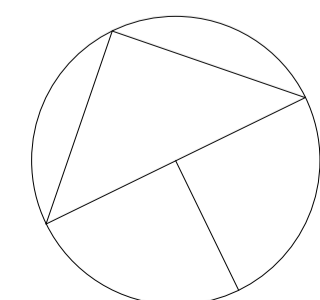
TREES SCHEDULE

NUMBER	NAME	SIZE	REMOVE
1	YUCCA	15'	NO
2	CRIMSON BOTTLE BUSH	12'	NO
3	SOUTHERN MAGNOLIA	25'	NO
4	COAST REDWOOD	13'	NO
5	PACIFIC WAX MYRTLE	15'	NO
6	MAGENTA CHERRY	20'	NO
7	CAROLINA CHERRY LAUREL	20'	NO
8	JAPANESE PITTOSPORUM	15'	NO
9	CAROLINA CHERRY LAUREL	12'	NO
10	GLOSSY PRIVET	12'	NO
11	MAGENTA CHERRY	12'	NO
12	LEMON TREE	6'	NO
13	CAROLINA CHERRY LAUREL	25'	NO
14	GIANT CHAIN FERN	7'	NO
15	CHERRY TREE	10'	NO
16	AVOCADO TREE	10'	NO
17	PEACH TREE	10'	NO
18	CHERRY TREE	12'	NO
19	APRICOT TREE	8'	NO

PROPOSED LANDSCAPE PLAN

1/8" = 1'-0"

1





2019 CALGREEN RESIDENTIAL CHECKLIST

MANDATORY ITEMS - Version 1.01.20
 COMMUNITY DEVELOPMENT DEPARTMENT – BUILDING DIVISION
 KIRK BALLARD, BUILDING OFFICIAL
 ONE NORTH SAN ANTONIO ROAD • LOS ALTOS, CA 94022-3088
 (650) 947-2752 • FAX/EMAIL- BUILDING@LOSALTOSCA.GOV • WWW.LOSALTOSCA.GOV

PURPOSE:

The 2019 CALGreen Code applies to all newly constructed hotels, motels, lodging houses, dwellings, dormitories, condominiums, shelters, congregate residences, employee housing, factory-built housing and other types of dwellings with sleeping accommodations and new accessory buildings associated with such uses. This section also applies to additions and alterations where there is an increase in conditioned space and specifies that these requirements only apply to the specific area of the addition or alteration. Existing site and landscaping improvements that are not otherwise disturbed are not subject to the requirements of CALGreen.

Project Name: Alina Ahmed Remodel and addition

Project Address: 1081 Nottingham Way Los Altos CA 94204

Project Description: INTERIOR REMODEL, 1263 SF KITCHEN, DINING ROOM, LIVING ROOM AND FAMILY ROOM. NEW 50 SF READING ROOM ADDITION AND 218 SF BATHROOM AT LEVEL 2 ADDITION.

Instructions (for projects of 300 sq. ft. or more):

- The owner or owner's agent shall employ a licensed qualified green-point rater (www.builditgreen.org) experienced with the 2019 California Green Building Standards Codes to verify and assure that all required work described herein is properly planned and implemented in the project.
- The green-point rater, in collaboration with the design professional shall review **Column 2** of this checklist, and initial all applicable measures, sign and date **Section 1 – Design Verification** at the end of this checklist, prior to submittal. Applicant to include these pages into the construction plans as well as provide (2) separate 8-1/2" x 11" signed copies.
- PRIOR TO FINAL INSPECTION BY THE BUILDING DEPARTMENT**, the Green-Point Rater shall complete Column 3 and sign and Date **Section 2 – Implementation Verification** at the end of this checklist and submit the completed form to the Building Department.

MANDATORY FEATURE OR MEASURE	COLUMN 2	COLUMN 3
	Project Requirements Rater to initial applicable measures prior to submitting forms	Verification Rater to verify during construction as applicable to project
Planning and Design – Site Development		
4.106.2 A plan is developed and implemented to manage storm water drainage during construction	PK	
4.106.3 Construction plans shall indicate how site grading or a drainage system will manage all surface water flows to keep water from entering buildings.	PK	
4.106.4 Provide capability for electric vehicle charging for one- and two-family dwellings; townhouses with attached private garages; multifamily dwellings; and hotels/motels in accordance with Section 4.106.4.1, 4.106.4.2 or 4.106.4.3 as applicable.	NOT APPLICABLE THIS IS REMODEL/MINOR ADDITION	

Energy Efficiency – General		
4.201.1 Building meets or exceeds the requirements of the California Building Energy Efficiency Standards ³ .	PK	
Water Efficiency and Conservation – Indoor Water Use		
4.303.1 Plumbing fixtures (water closets and urinals) and fittings (faucets and showerheads) installed in residential buildings shall comply with the prescriptive requirements of Sections 4.303.1.1 through 4.303.1.4.4.	PK	
4.303.2 Plumbing fixtures and fittings required in Section 4.303.1 shall be installed in accordance with the California Plumbing Code, and shall meet the applicable referenced standards.	PK	
4.303.1.4.3 Metering faucets in residential buildings shall not deliver more than 0.2 gallons per cycle.	PK	
Outdoor Water Use		
4.304.1 Residential developments shall comply with a local water efficient landscape ordinance or the current California Department of Water Resources' Model Water Efficient Landscape Ordinance (MWELO), whichever is more stringent.	PK	
Material Conservation and Resource Efficiency – Enhanced Durability and Reduced Maintenance		
4.406.1 Annular spaces around pipes, electric cables, conduits or other openings in plates at exterior walls shall be protected against the passage of rodents by closing such openings with cement mortar, concrete masonry or similar method acceptable to the enforcing agency.	PK	
Construction Waste Reduction, Disposal and Recycling		
4.408.1 Recycle and/or salvage for reuse a minimum of 65 percent of the nonhazardous construction and demolition waste in accordance with one of the following: 1. Comply with a more stringent local construction and demolition waste management ordinance; or 2. A construction waste management plan per Section 4.408.2; or 3. A waste management company per Section 4.408.3; or 4. The waste stream reduction alternative per Section 4.408.4.	PK	
Building Maintenance and Operation		
4.410.1 An operation and maintenance manual shall be provided to the building occupant or owner.	PK	
4.410.2 Where 5 or more multifamily dwelling units are constructed on a building site, provide readily accessible areas that serve the entire building and are identified for the depositing, storage and collection of non-hazardous materials for recycling, including (at a minimum) paper, corrugated cardboard, glass, plastics, organic waste, and metals or meet a lawfully enacted local recycling ordinance, if more restrictive. See exception for rural jurisdictions	NOT APPLICABLE	

ENVIRONMENTAL QUALITY		
Fireplaces		
4.503.1 Any installed gas fireplace shall be a direct-vent sealed-combustion type. Any installed woodstove or pellet stove shall comply with US EPA New Source Performance Standards (NSPS) emission limits as applicable, and shall have a permanent label indicating they are certified to meet the emission limits. Woodstoves, pellet stoves and fireplaces shall also comply with applicable local ordinances.	PK	
Pollutant Control		
4.504.1 Duct openings and other related air distribution component openings shall be covered during construction.	PK	
4.504.2.1 Adhesives, sealants and caulks shall be compliant with VOC limit finish materials have been used.	PK	
4.504.2.2 Paints, stains and other coatings shall be compliant with VOC limits.	PK	
4.504.2.3 Aerosol paints and coatings shall be compliant with product weighted MIR limits for ROC and other toxic compounds.	PK	
4.504.2.4 Documentation shall be provided to verify that compliant VOC limit finish materials have been used.	PK	
4.504.3 Carpet and carpet systems shall be compliant with VOC limits.	PK	
4.504.4 80 percent of floor area receiving resilient flooring shall comply with specified VOC criteria.	PK	
4.504.5 Particleboard, medium density fiberboard (MDF) and hardwood plywood used in interior finish systems shall comply with low formaldehyde emission standards.	PK	
Interior Moisture Control		
4.505.2 Vapor retarder and capillary break is installed at slab-on-grade foundations.	PK	
4.505.3 Moisture content of building materials used in wall and floor framing is checked before enclosure.	PK	
Indoor Air Quality and Exhaust		
4506.1 Each bathroom shall be provided with the following: 1. ENERGY STAR fans ducted to terminate outside of the building. 2. Fans must be controlled by a humidity control (separate or built-in); OR functioning as a component of a whole-house ventilation system. 3. Humidity controls with manual or automatic means of adjustment, capable of adjustment between a relative humidity range of ≤ 50 percent to a maximum of 80 percent	PK	



365 FLOWER LANE
 MOUNTAIN VIEW, CA 94043
 PHONE: (888) 311-3015 FAX: (650) 695-1801

CALGREEN
 AHMED RENOVATION
 ALINA AHMED
 LOT 15
 1081 NOTTINGHAM WAY
 LOS ALTOS, CA 94024

DELTA DESCRIPTION:
 CITY SUBMITTAL

DATE:
 23/02/05

No.

DATE: 23/02/05

SCALE:

DRAWN BY :

CKD BY:

PROJECT : 202107199

DRAWING NO.

A-1.1



CALGREEN
 AHMED RENOVATION
 ALINA AHMED
 LOT 15
 1081 NOTTINGHAM WAY
 LOS ALTOS, CA 94024

DELTA DESCRIPTION:
 CITY SUBMITTAL

DATE: 23/02/05

SCALE:
 DRAWN BY :
 CKD BY:
 PROJECT : 202107199

DRAWING NO.
A-1.2



CALGREEN SIGNATURE DECLARATIONS

Project Name: Alina Ahmed Remodel and addition
 Project Address: 1081 Nottingham Way Los Altos CA 94204
 Project Description: INTERIOR REMODEL, 1263 SF KITCHEN, DINING ROOM, LIVING ROOM AND FAMILY ROOM. NEW 50 SF READING ROOM ADDITION AND 218 SF BATHROOM AT LEVEL 2 ADDITION.

SECTION 1 – DESIGN VERIFICATION

Complete all lines of Section 1 – "Design Verification" and **SUBMIT THE ENTIRE CHECKLIST (COLUMNS 2 AND 3) WITH THE PLANS AND BUILDING PERMIT APPLICATION TO THE BUILDING DEPARTMENT.**

The design professional responsible for compliance with CalGreen Standards has reviewed the plans and certifies that the items checked above are hereby incorporated into the project plans and will be implemented into the project in accordance with the requirements set forth in the 2019 California Green Building Standards Code as adopted by the City of Los Altos.

Design Professional's Signature _____ Date _____

Design Professional's Name (Please Print) _____

Signature of Green Point Rater/Certified ICC CalGreen Special Inspector/Consulting Group _____ Date _____

Name of Green Point Rater/Inspector (Please Print) _____ Phone No. _____

Email Address _____ License No. _____

SECTION 2 – IMPLEMENTATION VERIFICATION

Complete, sign and submit the completed checklist, including column 3, together with all original signatures on Section 2 to the Building Department **PRIOR TO BUILDING DEPARTMENT FINAL INSPECTION.**

I have inspected the work and have received sufficient documentation to verify and certify that the project identified above was constructed in accordance with this Green Building Checklist and in accordance with the requirements of the 2019 California Green Building Standards Code as adopted by the City of Los Altos.

Signature of Licensed Green Point Rater/Certified ICC CalGreen Special Inspector/ Consulting Group _____ Date _____

Name of Green Point Rater/Inspector (Please Print) _____ Phone No. _____

Email address _____ License No. _____

Environmental Comfort		
4.507.2 Duct systems are sized, designed, and equipment is selected using the following methods: 1. Establish heat loss and heat gain values according to ANSI/ACCA 2 Manual J-2016 or equivalent. 2. Size duct systems according to ANSI/ACCA 1 Manual D-2016 or equivalent. 3. Select heating and cooling equipment according to ANSI/ACCA 3 Manual S-2014 or equivalent.	PK	
Installer and Special Inspector Qualifications		
Qualifications		
702.1 HVAC system installers are trained and certified in the proper installation of HVAC systems.	PK	
702.2 Special inspectors employed by the enforcing agency must be qualified and able to demonstrate competence in the discipline they are inspecting.	PK	
Verifications		
703.1 Verification of compliance with this code may include construction documents, plans, specifications builder or installer certification, inspection reports, or other methods acceptable to the enforcing agency which show substantial conformance.	PK	
1. Green building measures listed in this table may be mandatory if adopted by a city, county, or city and county as specified in Section 101.7 2. Required prerequisite for this Tier. 3. These measures are currently required elsewhere in statute or in regulation		

DEMOLITION KEYNOTE

- D1 REMOVE WALL
- D2 REMOVE DOOR
- D3 REMOVE WINDOW
- D4 REMOVE PARTITION OF WALL, PREP FOR NEW OPENING
- D5 VERIFY WITH STRUCTURAL, REUSE / REFURBISH WALL, PREP FOR NEW OPENING AND 2 STORY HEIGHT WALL
- D6 DEMO KITCHEN COUNTERTOP, PREP FOR NEW WORK
- D7 DEMO FIRE PLACE, PREP FOR 2 SIDED FIRE PLACE
- D8 REMOVE PLUMBING FIXTURE
- D9 REMOVE FLOOR FINISH
- D10 DEMO ROOF, PREP FOR BATHROOM ADDITION
- D11 REMOVE FLAT CEILING
- D12 REMOVE WINDOW ENCLOSED WITH WALL
- E1 EXISTING SKYLIGHT TO REMAIN

DESIGN EVEREST
CONSULTING ENGINEERS



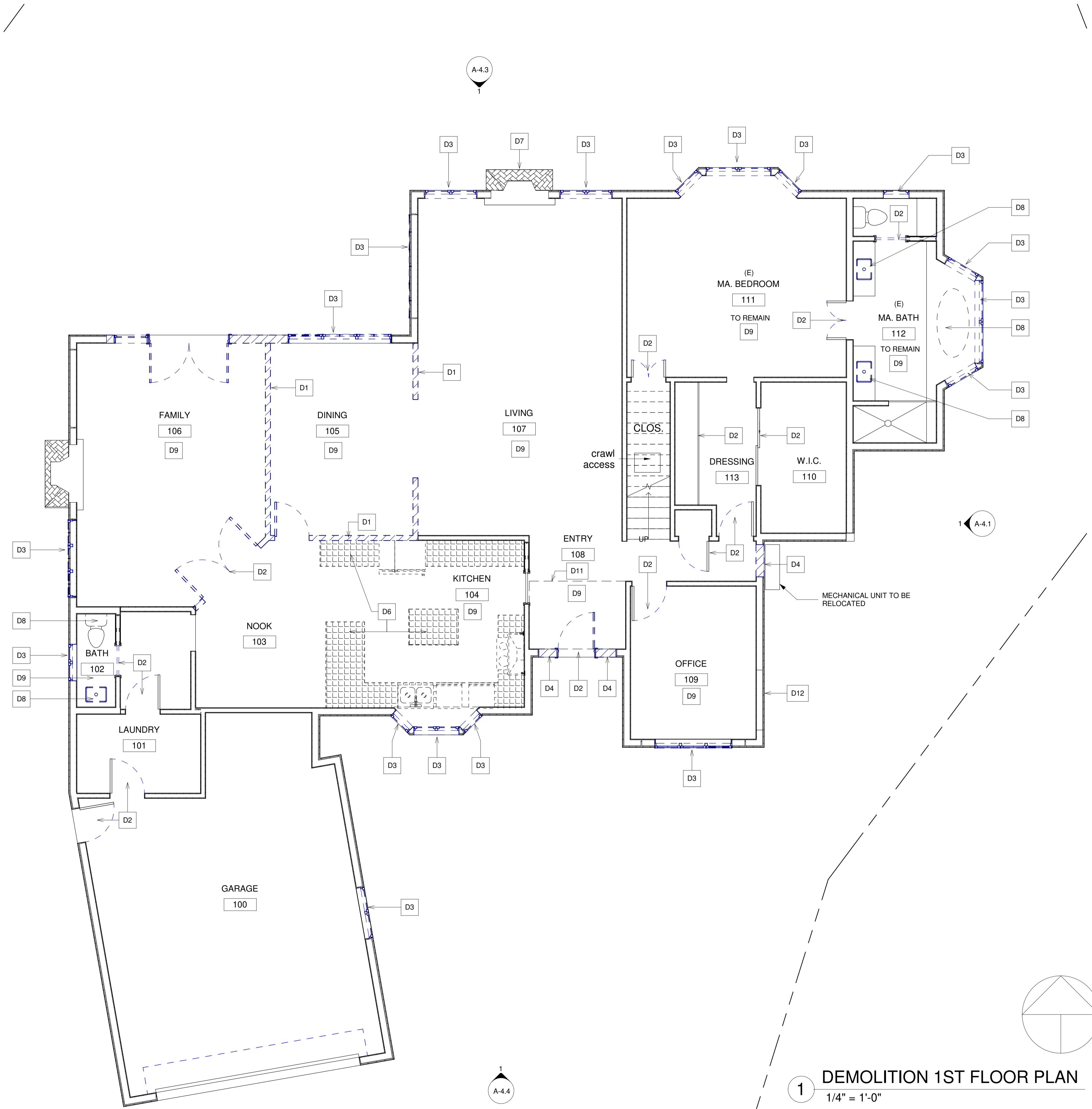
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

DEMOLITION 1ST FLOOR PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

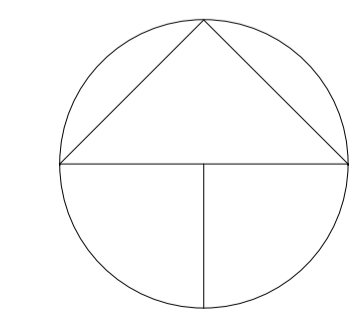
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A	CITY SUBMITTAL
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A	
A	

DATE: 23/02/05
SCALE: As indicated
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CKD BY:
PROJECT : 202107199

DRAWING NO.
A-2.1



1 DEMOLITION 1ST FLOOR PLAN
1/4" = 1'-0"



DEMOLITION KEYNOTE

- D1 REMOVE WALL
- D2 REMOVE DOOR
- D3 REMOVE WINDOW
- D4 REMOVE PARTITION OF WALL, PREP FOR NEW OPENING
- D5 VERIFY WITH STRUCTURAL, REUSE / REFURBISH WALL, PREP FOR NEW OPENING AND 2 STORY HEIGHT WALL
- D6 DEMO KITCHEN COUNTERTOP, PREP FOR NEW WORK
- D7 DEMO FIRE PLACE, PREP FOR 2 SIDED FIRE PLACE
- D8 REMOVE PLUMBING FIXTURE
- D9 REMOVE FLOOR FINISH
- D10 DEMO ROOF, PREP FOR BATHROOM ADDITION
- D11 REMOVE FLAT CEILING
- D12 REMOVE WINDOW ENCLOSED WITH WALL
- E1 EXISTING SKYLIGHT TO REMAIN

DESIGN EVEREST
CONSULTING ENGINEERS



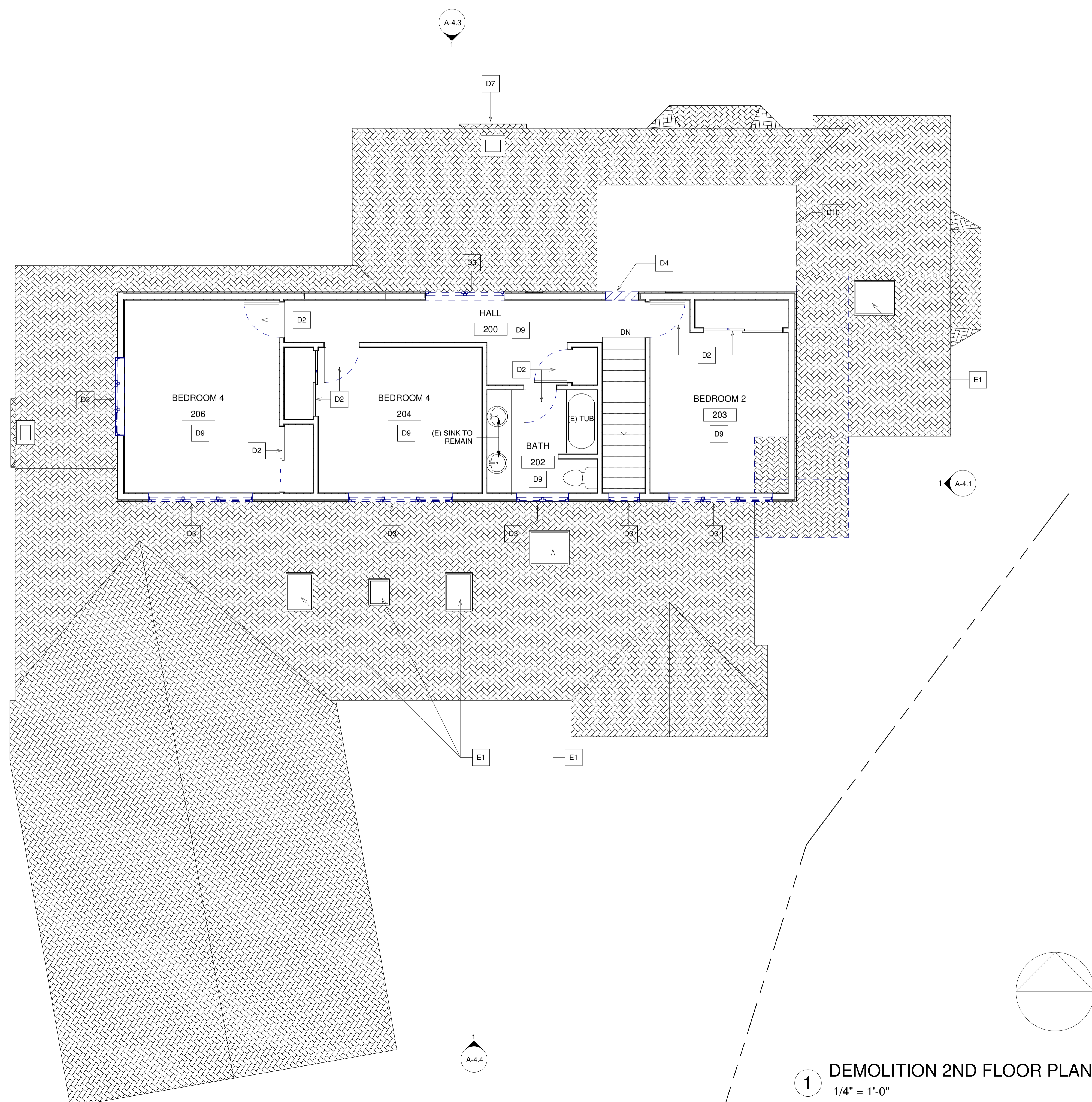
365 FLOWER LANE
MOUNTAIN VIEW, CA 94033
PHONE: (888) 311-3015 FAX: (650) 695-1801

DEMOLITION 2ND FLOOR PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

No.	DELTA DESCRIPTION:	CITY SUBMITTAL
23/02/05	DATE:	

DATE: 23/02/05
SCALE: As indicated
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CKD BY:
PROJECT : 202107199

DRAWING NO.
A-2.2



1 DEMOLITION 2ND FLOOR PLAN
1/4" = 1'-0"



365 FLOWER LANE
MOUNTAIN VIEW, CA 94033
PHONE: (888) 311-3015 FAX: (650) 695-1801

DEMOLITION ROOF PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE: 23/02/05

No. 1 2 3 4 5

DATE: 23/02/05

SCALE: As indicated

DRAWN BY :

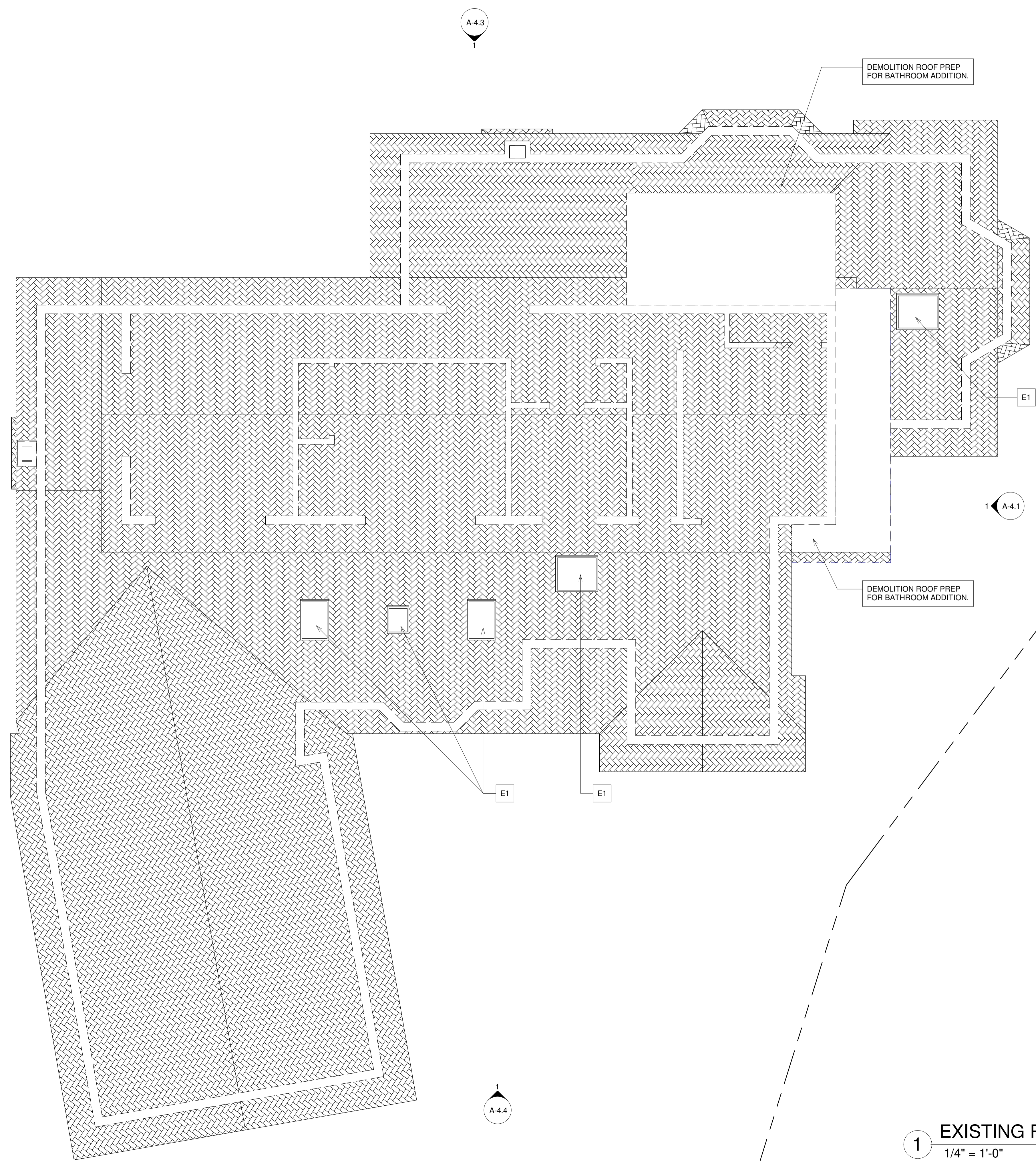
CKD BY:

PROJECT : 202107199

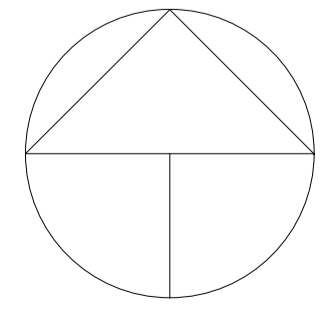
DRAWING NO.

A-2.3

- D1 REMOVE WALL
- D2 REMOVE DOOR
- D3 REMOVE WINDOW
- D4 REMOVE PARTITION OF WALL, PREP FOR NEW OPENING
- D5 VERIFY WITH STRUCTURAL, REUSE / REFURBISH WALL, PREP FOR NEW OPENING AND 2 STORY HEIGHT WALL
- D6 DEMO KITCHEN COUNTERTOP, PREP FOR NEW WORK
- D7 DEMO FIRE PLACE, PREP FOR 2 SIDED FIRE PLACE
- D8 REMOVE PLUMBING FIXTURE
- D9 REMOVE FLOOR FINISH
- D10 DEMO ROOF, PREP FOR BATHROOM ADDITION
- D11 REMOVE FLAT CEILING
- D12 REMOVE WINDOW ENCLOSED WITH WALL
- E1 EXISTING SKYLIGHT TO REMAIN



1 EXISTING ROOF PLAN
1/4" = 1'-0"



DESIGN ALTERATION AT (N) BATH 114

- 1. NEW BATHROOM
- 2. NEW STORAGE W/ PLUMBING STUD-CUTS
- 3. NEW STORAGE ROOM W/O PLUMBING

DESIGN NOTES:-

- 1. WOOD FLOORS THROUGHOUT LEVELS 1 & 2.
- 2. REPLACE WOOD FIREPLACE W/ GAS INSERTS
- 3. COFFEE BAR AT BREAKFAST NOOK AREA W/
 - a. HAND SINK
 - b. UNDER-COUNTER REFRIGERATOR
 - c. BULKHEAD TO ALIGN W/ UPPER KITCHEN CABINETS
- 4. EXTERIOR KITCHEN W/
 - a. BUILT-IN GRILL
 - b. HAND SINK
 - c. UNDER-COUNTER REFRIGERATOR
- 5. NEW EXTERIOR FIREPLACE DETACHED FROM DWELLING
- 6. FLOATING SINK & VANITY IN POWER 111
- 7. NEW VANITIES, COUNTERTOPS & SINKS IN BATH 114.
- 8. NEW OVERSIZED SOAKING TUB IN BATH 107
- 9. STONE PATIO TO MATCH EXISTING
- 10. ADD CATHEDRAL CEILING ABOVE FOYER

LEGEND

- A1** 7/8" PLASTER
0/ WATERPROOFING
0/ SHEATHING
0/ 2X6 WOOD STUD
0/ GYP ON INTERIOR SIDE
- A2** 5/8" GYPSUM BOARD
0/ 2X4 WOOD STUD
5/8" GYPSUM BOARD
- SD_E** EXISTING SMOKE DETECTOR TO REMAIN

KEY NOTE

KEY NOTE

- N1** ADD GAS TO EXISTING FIRE PLACE
- N2** REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3** OUTDOOR BBQ
- N4** NEW FLOORING
- N5** REMOVE FLAT CEILING
- N6** PROVIDE SKYLIGHT
- N7** FLOATING SINK WITH VANITY
- N8** NEW TUB
- N9** NEW WATER CLOSET
- N10** NEW SINK
- N11** NEW BIDET
- N12** GFCI OUTLET
- N13** REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14** 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1** EXISTING SKYLIGHT TO REMAIN

LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

DESIGN EVEREST
CONSULTING ENGINEERS

PROPOSED 1ST FLOOR PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE: 23/02/05

DATE: 23/02/05

SCALE: As indicated

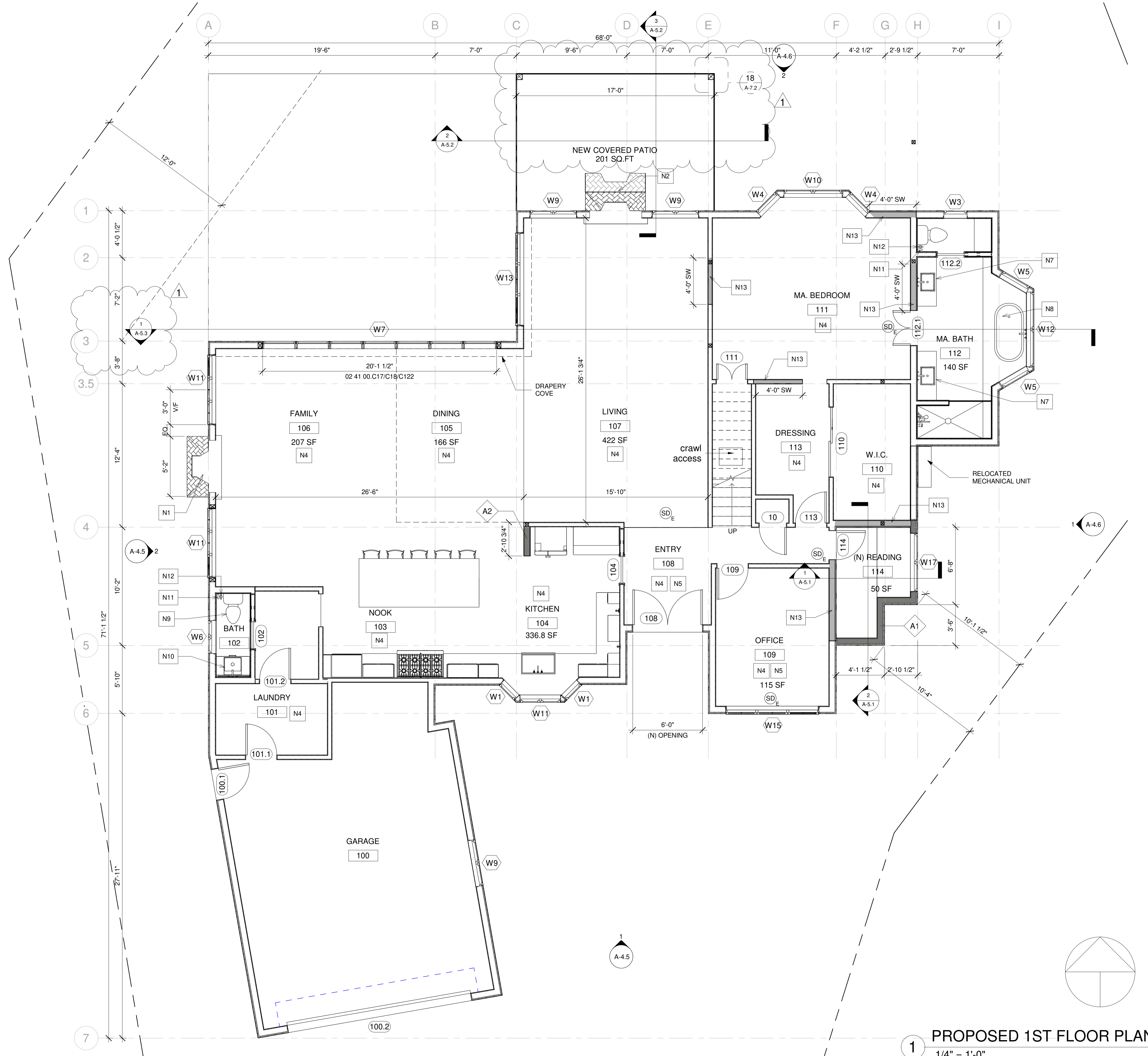
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CKD BY :

PROJECT : 202107199

DRAWING NO.

A-3.1



1 PROPOSED 1ST FLOOR PLAN
1/4" = 1'-0"

DESIGN NOTES:-

1. WOOD FLOORS THROUGHOUT LEVELS 1&2
2. REPLACE OCTAGON WINDOW IN STAIR WELL
3. ADD (2) NEW SKYLIGHT ABOVE HOME OFFICE
4. REFURBISH BATH 202

DESIGN EVEREST
 CONSULTING ENGINEERS
 365 FLOWER LANE
 MOUNTAIN VIEW, CA 94043
 PHONE: (888) 311-3015 FAX: (650) 695-1801

PROPOSED 2ND FLOOR PLAN
 AHMED RENOVATION
 ALINA AHMED
 LOT 15
 1081 NOTTINGHAM WAY
 LOS ALTOS, CA 94024

LEGEND

- A1** 7/8" PLASTER
 0' WATERPROOFING
 0' SHEATHING
 0' 2X6 WOOD STUD
 0' GYP ON INTERIOR SIDE
- A2** 5/8" GYPSUM BOARD
 0' 2X4 WOOD STUD
 5/8" GYPSUM BOARD
- SD_E** EXISTING SMOKE DETECTOR TO REMAIN

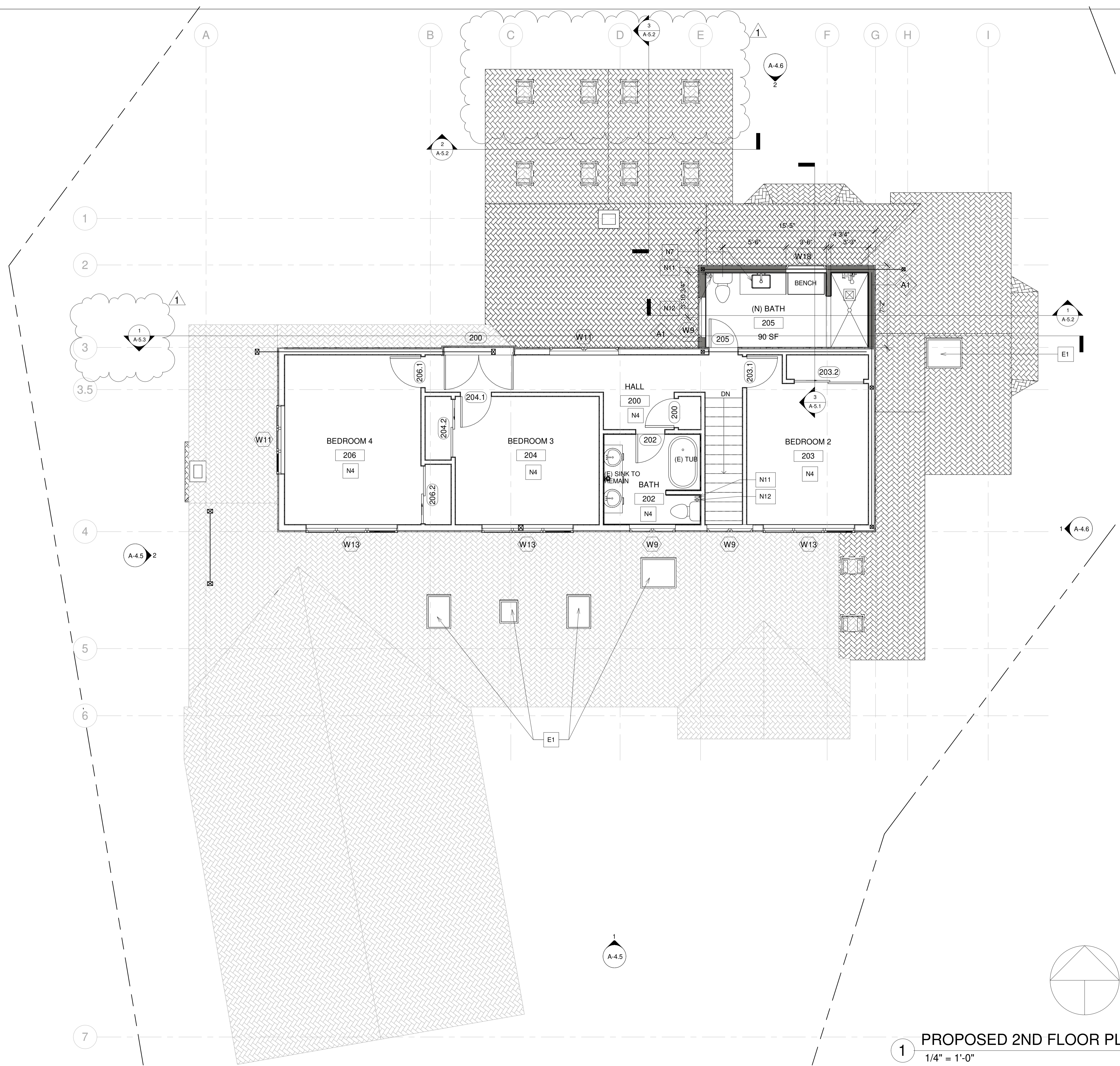
KEY NOTE

- KEY NOTE**
- N1** ADD GAS TO EXISTING FIRE PLACE
 - N2** REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
 - N3** OUTDOOR BBQ
 - N4** NEW FLOORING
 - N5** REMOVE FLAT CEILING
 - N6** PROVIDE SKYLIGHT
 - N7** FLOATING SINK WITH VANITY
 - N8** NEW TUB
 - N9** NEW WATER CLOSET
 - N10** NEW SINK
 - N11** NEW BIDET
 - N12** GFCI OUTLET
 - N13** REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
 - N14** 18" X 24" ROOF VENT 72 SQ. INCH EACH
 - E1** EXISTING SKYLIGHT TO REMAIN

LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

DRAWING NO.
A-3.2



1 PROPOSED 2ND FLOOR PLAN
 1/4" = 1'-0"

VENTILATION SPECIFICATIONS

1. PROVIDE ATTIC VENTILATION, ETC., IN ACCORDANCE WITH THE 2019 CRC.

ATTIC SPACES: R806.2: MINIMUM AREA. THE TOTAL NET FREE VENTILATING AREA SHALL NOT BE LESS THAN 1/150 OF THE AREA OF THE SPACE VENTILATED EXCEPT THAT REDUCTION OF THE TOTAL AREA TO 1/300 IS PERMITTED PROVIDED THAT AT LEAST 50 PERCENT AND NOT MORE THAN 80 PERCENT OF THE REQUIRED VENTILATING AREA IS PROVIDED BY VENTILATORS LOCATED IN THE UPPER PORTION OF THE SPACE TO BE VENTILATED AT LEAST 3 FEET (914 MM) ABOVE THE EAVE OR CORNICE VENTS WITH THE BALANCE OF THE REQUIRED VENTILATION PROVIDED BY EAVE OR CORNICE VENTS. AS AN ALTERNATIVE, THE NET FREE CROSS-VENTILATION AREA MAY BE REDUCED TO 1/300 WHEN A CLASS I OR II VAPOR BARRIER IS INSTALLED ON THE WARM-IN-WINTER SIDE OF THE CEILING.

R806.3: VENT AND INSULATION CLEARANCE. WHERE EAVE OR CORNICE VENTS ARE INSTALLED, INSULATION SHALL NOT BLOCK THE FREE FLOW OF AIR. A MINIMUM OF A 1/4 INCH (25 MM) SPACE SHALL BE PROVIDED BETWEEN THE INSULATION AND THE ROOF SHEATHING AND AT THE LOCATION OF THE VENT.

OPENINGS INTO ATTIC: EXTERIOR OPENINGS INTO THE ATTIC SPACE OF ANY BUILDING INTENDED FOR HUMAN OCCUPANCY SHALL BE COVERED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL THAT WILL PREVENT THE ENTRY OF BIRDS, SQUIRRELS, RODENTS, SNAKES AND OTHER SIMILAR CREATURES. THE OPENINGS THEREIN SHALL BE A MINIMUM OF 1/16 INCH AND NOT EXCEED 1/4 INCH. OPENINGS FOR VENTILATION HAVING A LEAST DIMENSION LARGER THAN 1/4 INCH SHALL BE PROVIDED WITH CORROSION-RESISTANT WIRE CLOTH SCREENING, HARDWARE CLOTH, PERFORATED VINYL OR SIMILAR MATERIAL WITH OPENINGS HAVING A LEAST DIMENSION OF 1/16 INCH (1.6 MM) MINIMUM AND 1/4 INCH MAXIMUM. WHERE COMBUSTION AIR IS OBTAINED FROM AN ATTIC AREA, IT SHALL BE IN ACCORDANCE WITH CHAPTER 7 OF THE CALIFORNIA MECHANICAL CODE.

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

ROOF SPECIFICATION

STEEP SLOPE ROOF COVERING:

- COMPOSITION SHINGLE ROOF MATERIAL BY GAF-ELK OR APPROVED EQUAL. ICC-ES REPORT RESR-1475 @ ENTIRE RESIDENCE - MATCH (E) COLOR
- ROOF VENTS:

- OHAGINS LOW PROFILE (TAPERED) PRE-PAINTED GALVANIZED FINISH WITH SHINGLE OVER, REFER TO 6.8 /A8.2
- PROVIDE INSULATION BAFFLES @ ROOF / WALL INTERSECTIONS WHERE VENTS OCCUR.

PROPOSED ROOF PLAN
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

KEY NOTE

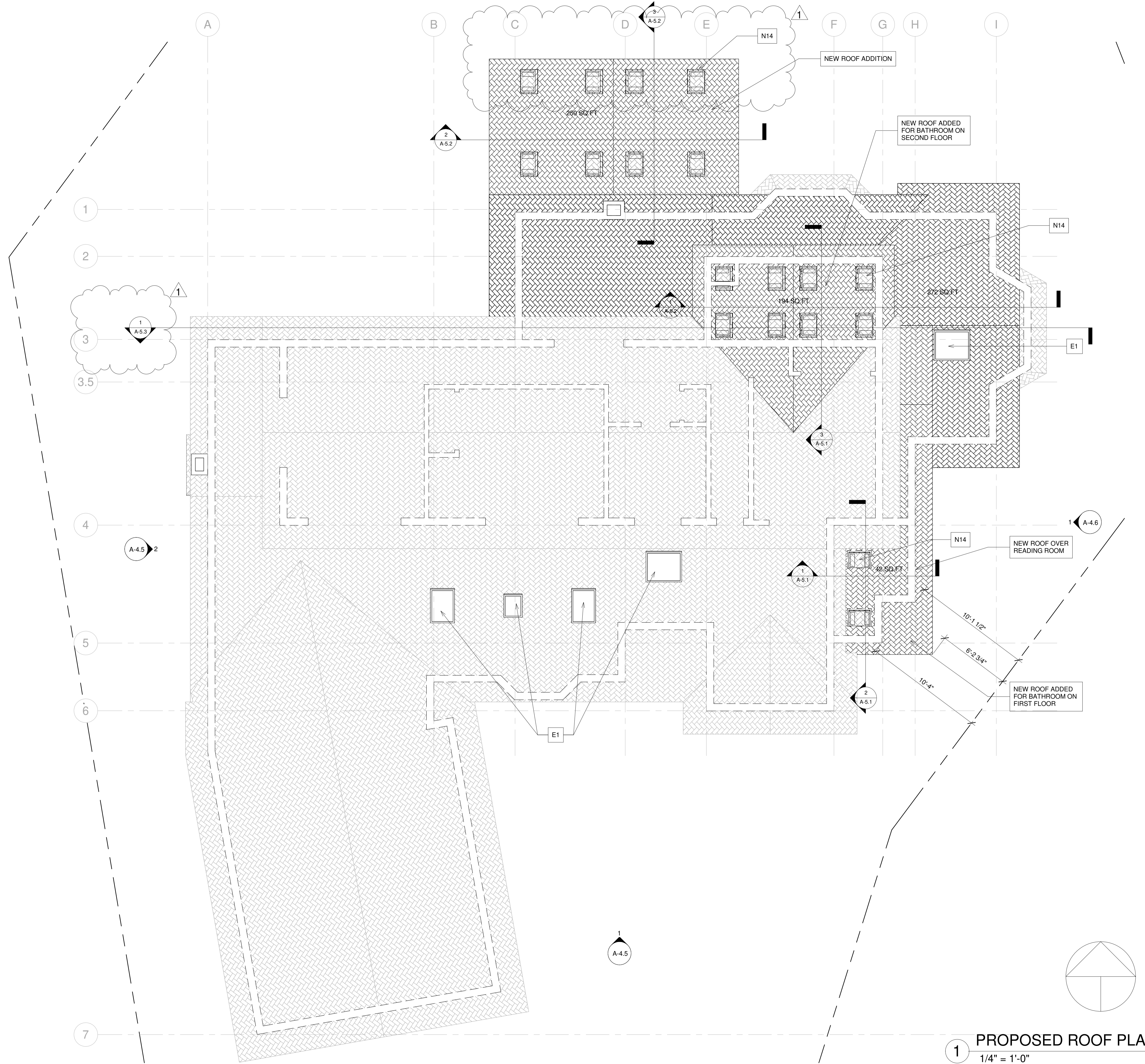
- KEY NOTE**
- N1 ADD GAS TO EXISTING FIRE PLACE
 - N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
 - N3 OUTDOOR BBQ
 - N4 NEW FLOORING
 - N5 REMOVE FLAT CEILING
 - N6 PROVIDE SKYLIGHT
 - N7 FLOATING SINK WITH VANITY
 - N8 NEW TUB
 - N9 NEW WATER CLOSET
 - N10 NEW SINK
 - N11 NEW BIDET
 - N12 GFCI OUTLET
 - N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
 - N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
 - E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

DATE: 23/02/05
SCALE: As indicated
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CKD BY :
PROJECT : 202107199

DRAWING NO.
A-3.3



1 PROPOSED ROOF PLAN
1/4" = 1'-0"



EXTERIOR EAST SIDE ELEVATION
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE:
23/02/05

No.

1	2	3	4	5
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DATE: 23/02/05

SCALE: As indicated

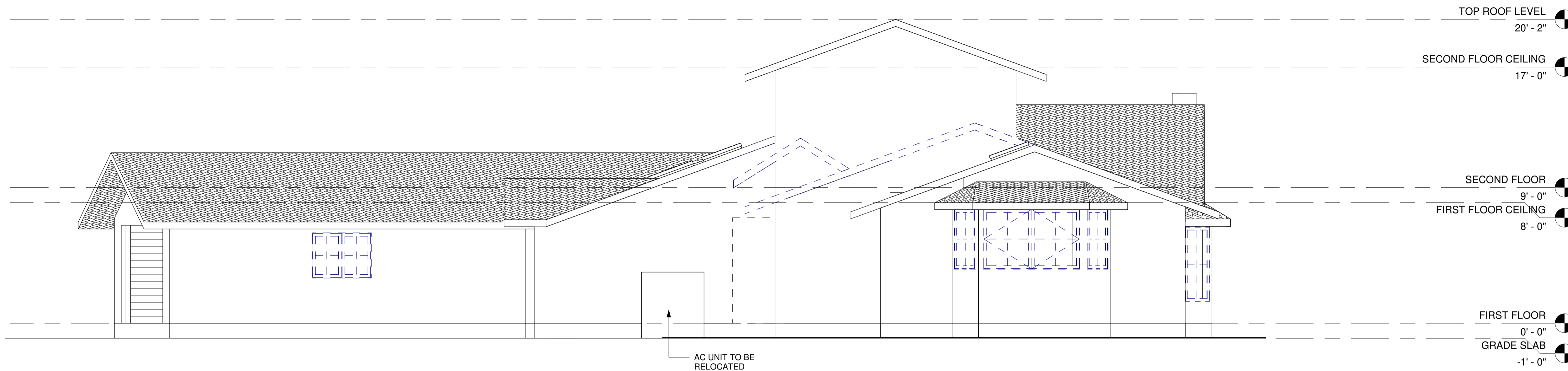
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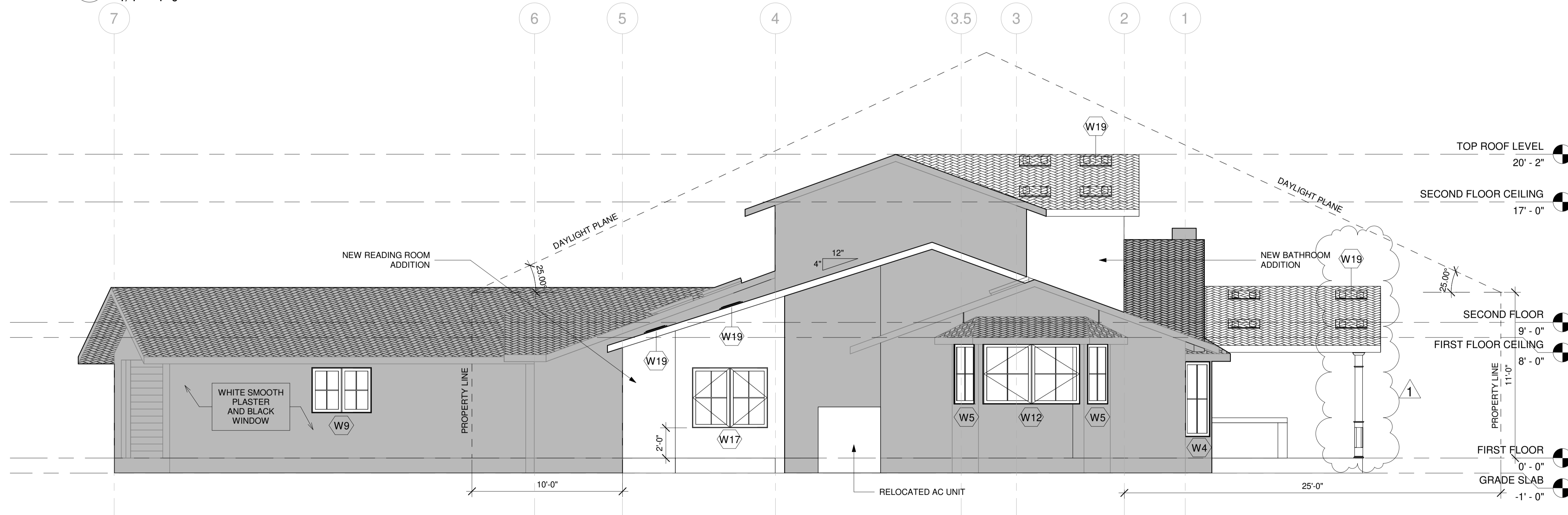
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A-4.1



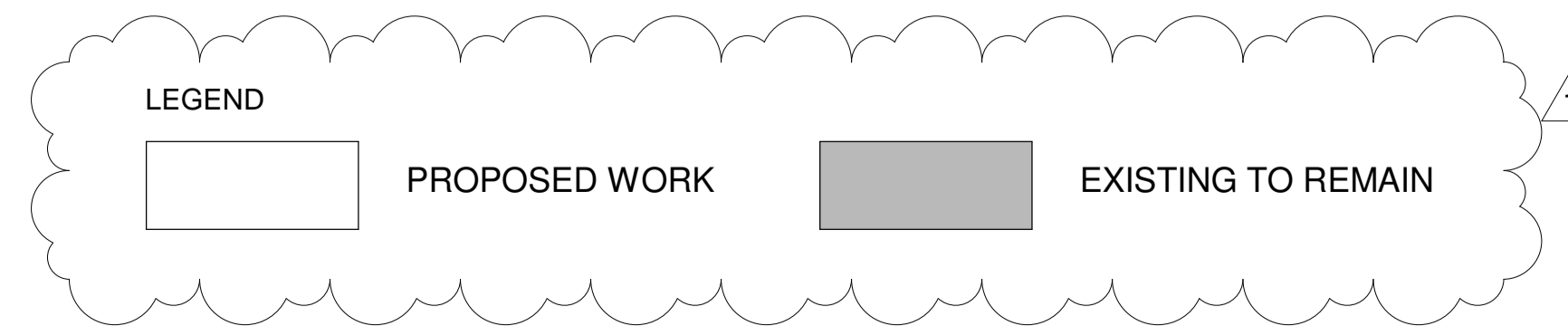
1 EXISTING EAST SIDE ELEVATION

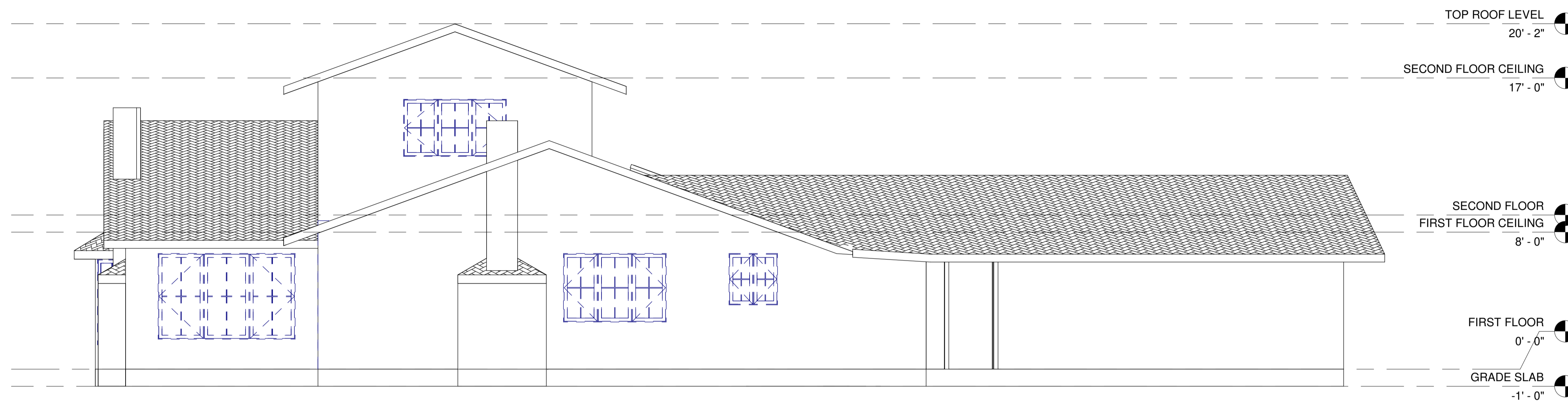
1/4" = 1'-0"



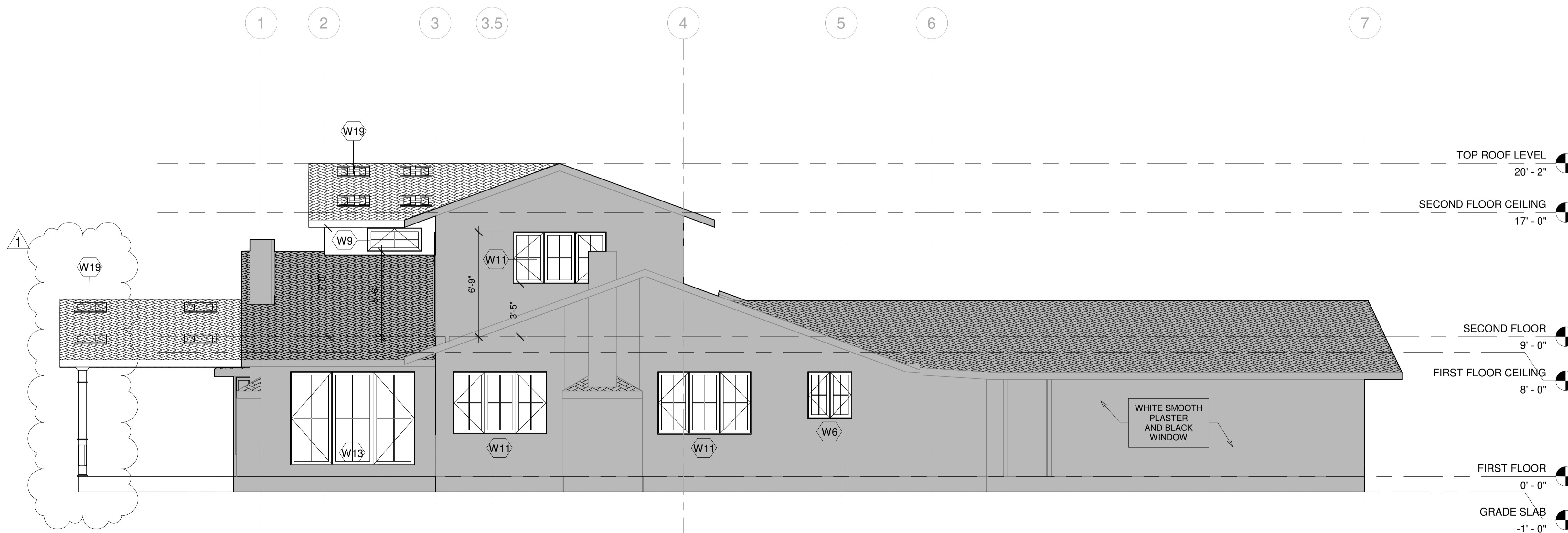
2 PROPOSED EAST SIDE ELEVATION

1/4" = 1'-0"

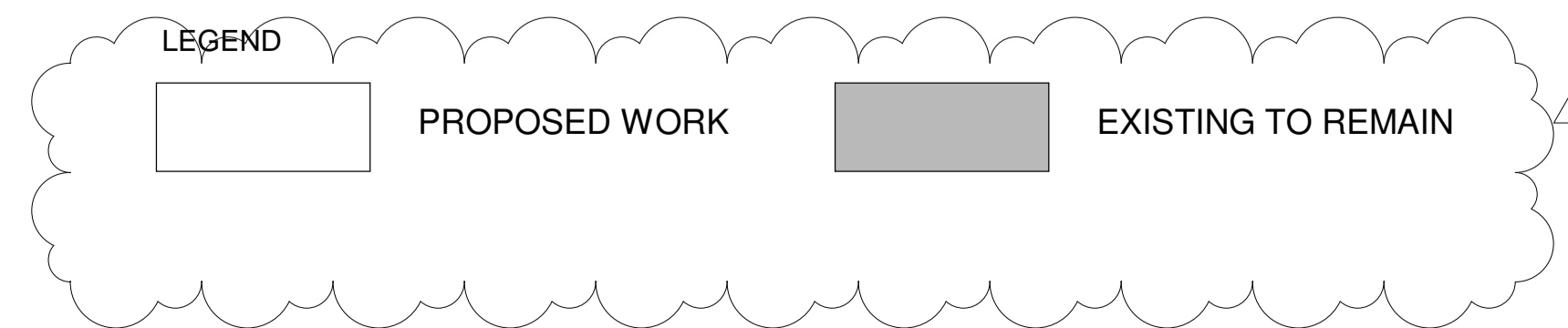




1 EXISTING SIDE WEST ELEVATION
1/4" = 1'-0"



2 PROPOSED SIDE WEST ELEVATION
1/4" = 1'-0"



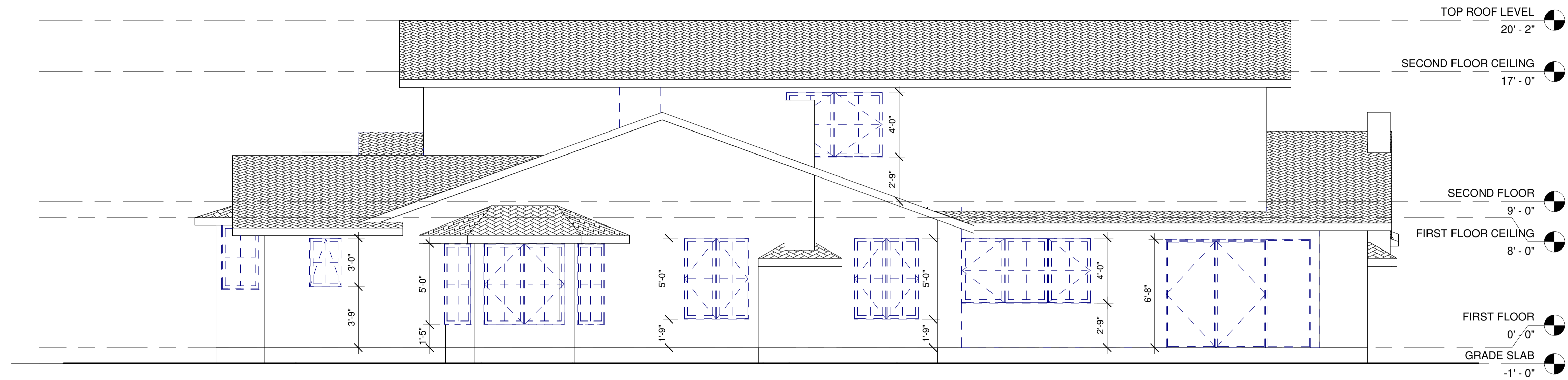


EXTERIOR NORTH SIDE ELEVATION
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

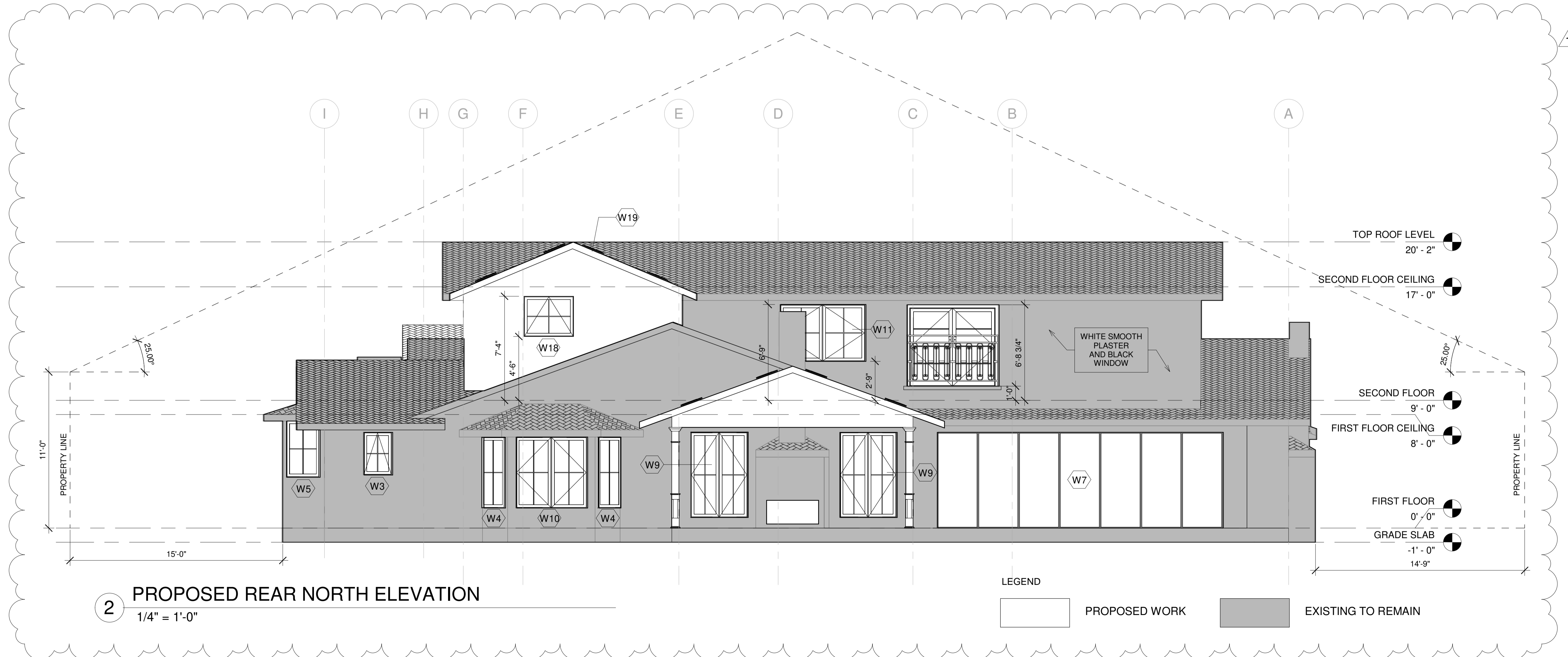
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No.	2
No.	3
No.	4

DATE: 23/02/05
SCALE: As indicated
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CKD BY:
PROJECT : 202107199

DRAWING NO.
A-4.3

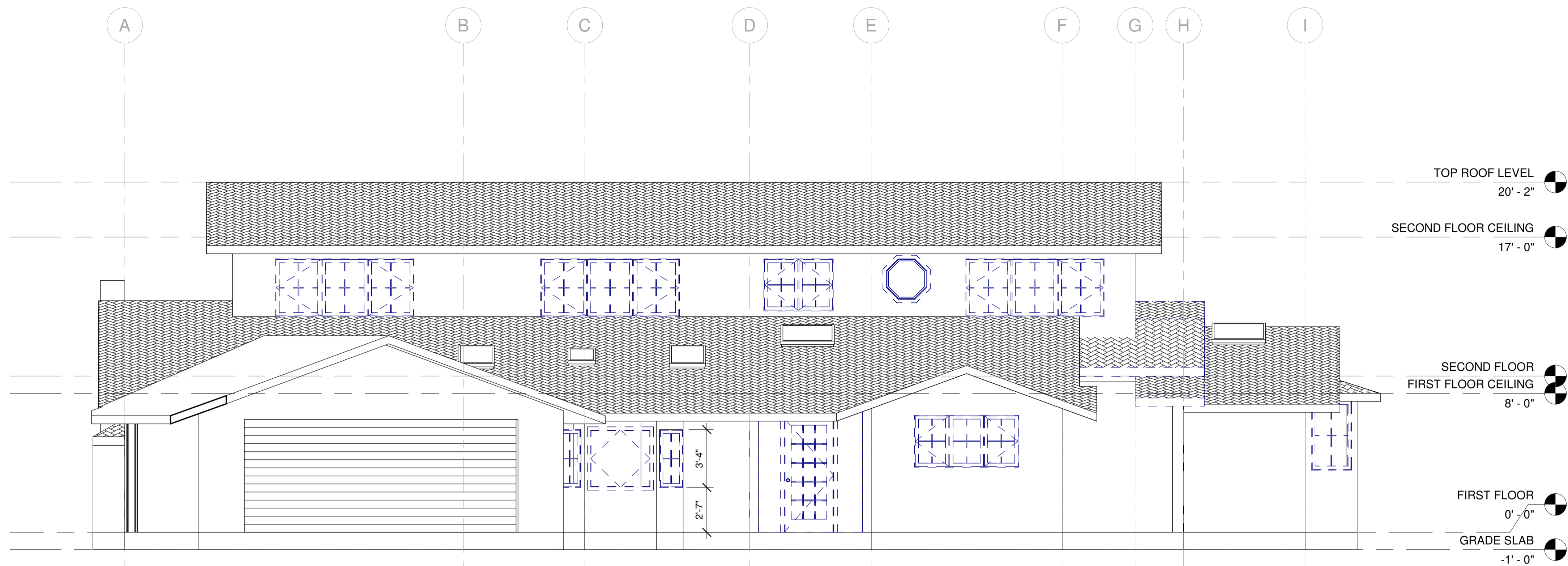


1 EXISTING REAR NORTH ELEVATION
1/4" = 1'-0"

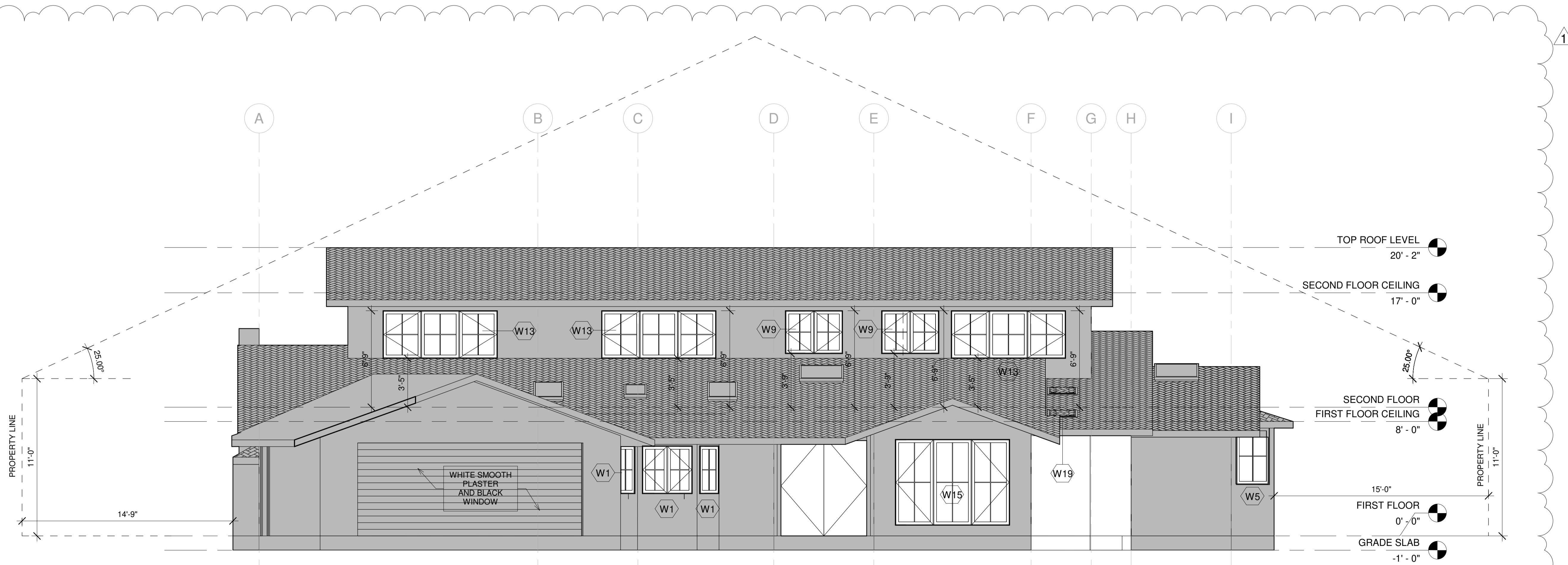


2 PROPOSED REAR NORTH ELEVATION
1/4" = 1'-0"

LEGEND
 PROPOSED WORK
 EXISTING TO REMAIN



1 EXISTING SOUTH FRONT ELEVATION
1/4" = 1'-0"



2 PROPOSED SOUTH FRONT ELEVATION
1/4" = 1'-0"

LEGEND
 PROPOSED WORK
 EXISTING TO REMAIN

DATE:	23/02/05
DELTA DESCRIPTION:	CITY SUBMITTAL
No.	1
No.	2
No.	3
No.	4
No.	5

DATE: 23/02/05
 SCALE: As indicated
 DRAWN BY:
 CKD BY:
 PROJECT : 202107199

DRAWING NO.
A-4.4



ELEVATIONS (COLORED)
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE: 23/02/05

No. 1 2 3 4 5

DATE: 23/02/05

SCALE: 1/4" = 1'-0"

DRAWN BY :

CKD BY:

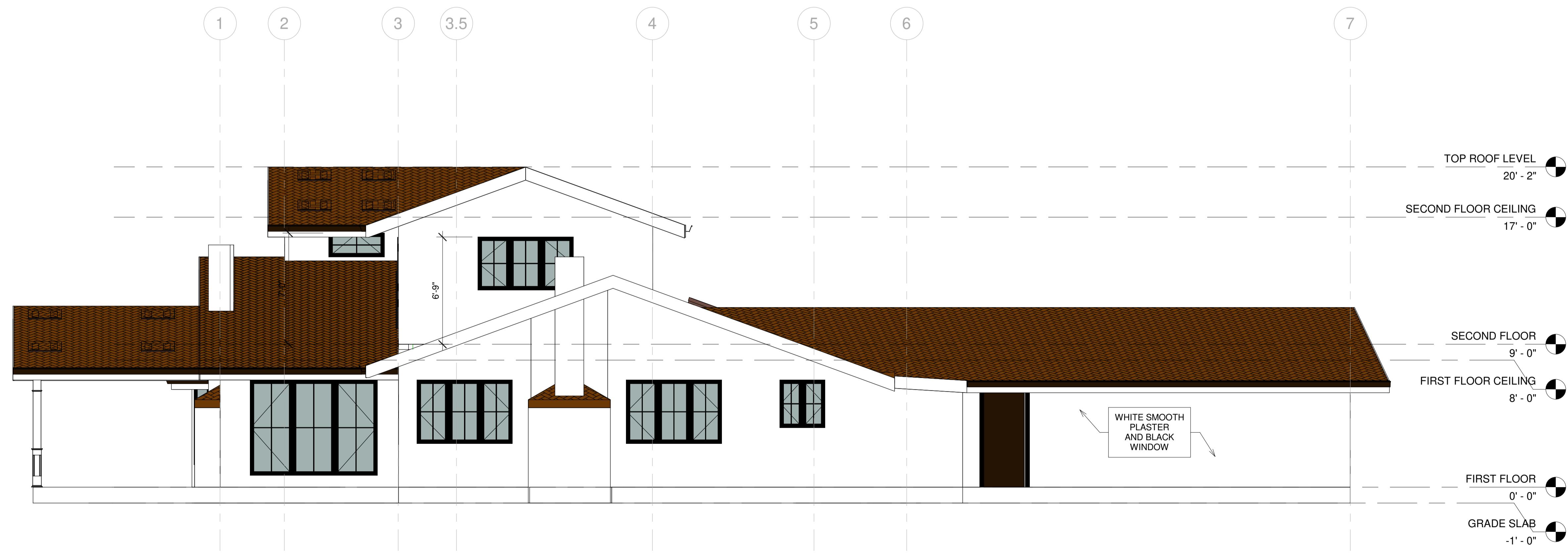
PROJECT : 202107199

DRAWING NO.

A-4.5



1 SOUTH FRONT ELEVATION
1/4" = 1'-0"



2 WEST ELEVATION
1/4" = 1'-0"

PAINT EXISTING PLASTER WITH WHITE
MANUFACTURE: LA HABRA
COLOR: DOVE GREY 40(66)
BASE 200

MATCH NEW ROOFING WITH EXISTING ROOF
MANUFACTURE: GAF-ELK SEQUOIA
COLOR: SLATE

WINDOW
MANUFACTURE: MARVIN ULTIMATE WOOD
PAINT WITH BLACK COLOR

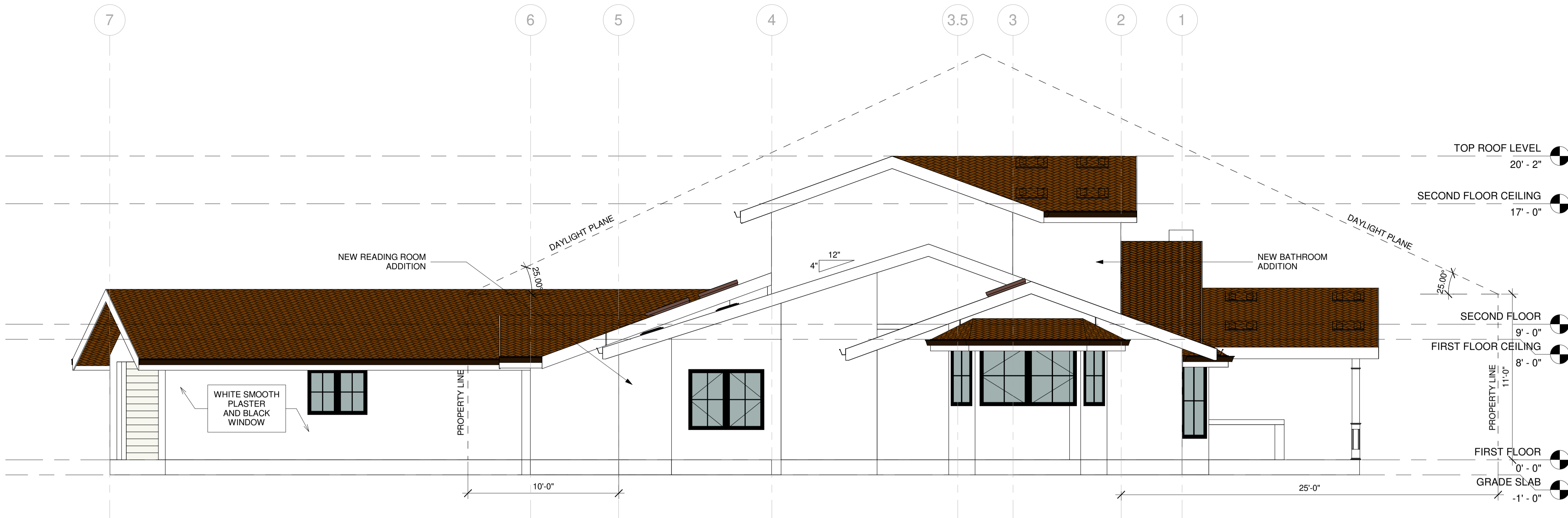
GUTTER
MANUFACTURE: SPECTRA
STYLE: K-STYLE MUSKET BROWN ALUMINUM
GUTTER



DELTA DESCRIPTION:	CITY SUBMITTAL
DATE:	23/02/05
No.	A/A/A/A/A

DATE:	23/02/05
SCALE:	1/4" = 1'-0"
DRAWN BY:	
CKD BY:	
PROJECT :	202107199

DRAWING NO.
A-4.6



1 EAST SIDE ELEVATION
1/4" = 1'-0"



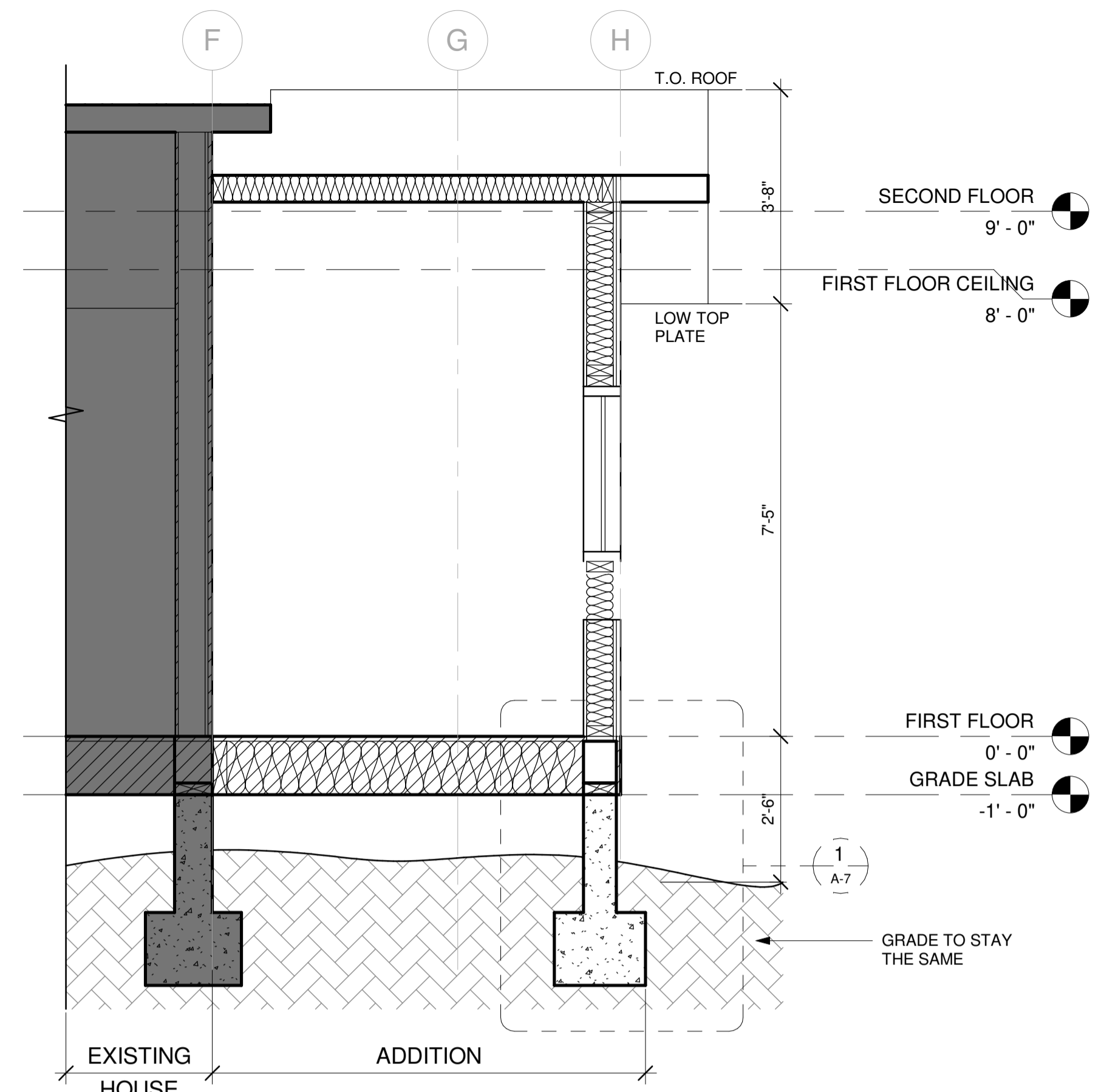
2 NORTH ELEVATION
1/4" = 1'-0"

 PAINT EXISTING PLASTER WITH WHITE MANUFACTURE: LA HABRA COLOR: DOVE GREY 40(66) BASE 200	 MATCH NEW ROOFING WITH EXISTING ROOF MANUFACTURE: GAF-ELK SEQUOIA COLOR: SLATE	 WINDOW MANUFACTURE: MARVIN ULTIMATE WOOD PAINT WITH BLACK COLOR	 GUTTER MANUFACTURE: SPECTRA STYLE: K-STYLE MUSKET BROWN ALUMINUM GUTTER
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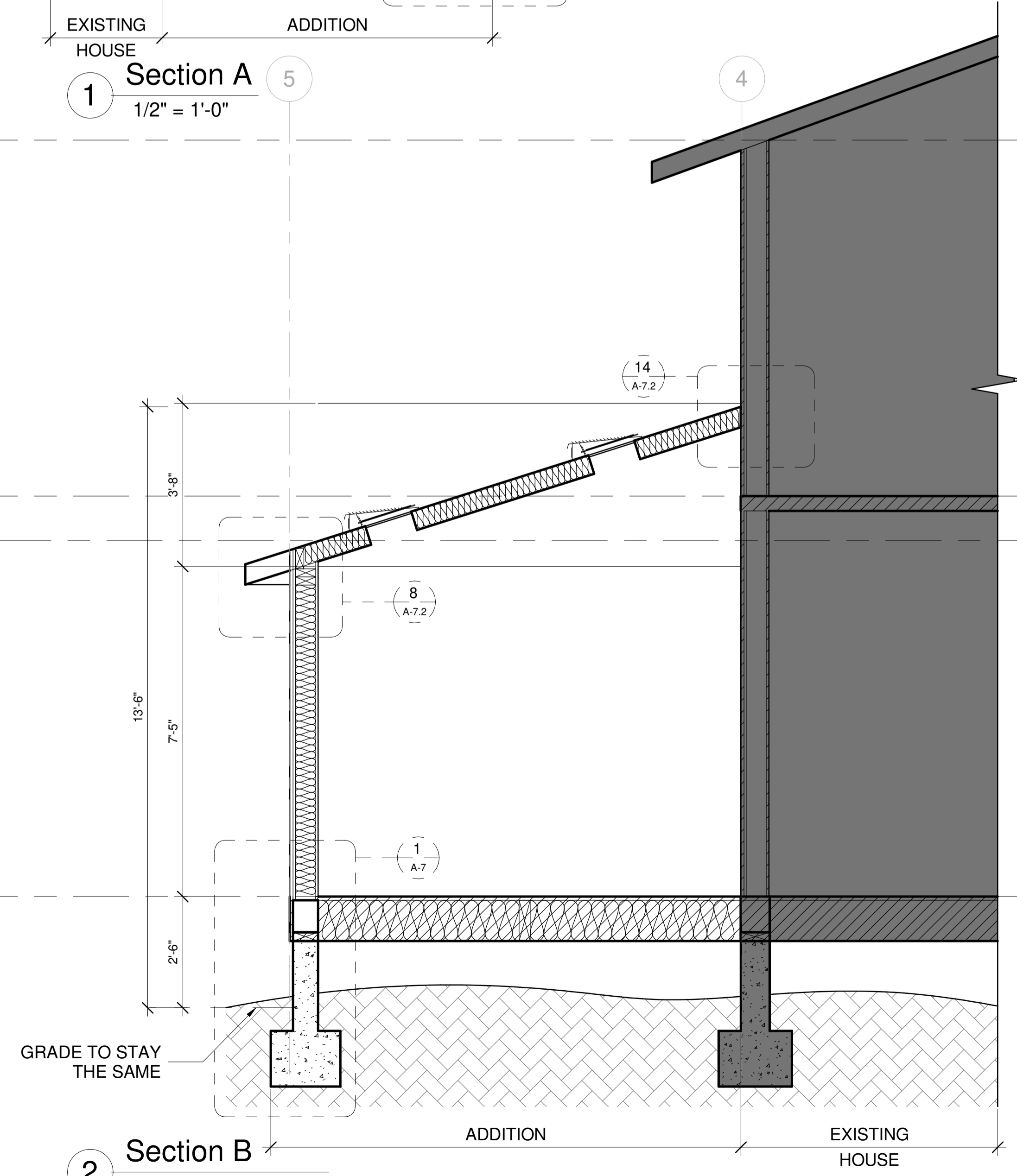
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DELTA DESCRIPTION:	CITY SUBMITTAL
No.	1/1 1/2 1/3 1/4

DATE: 23/02/05
SCALE: 1/2" = 1'-0"
DRAWN BY:
CKD BY:
PROJECT : 202107199

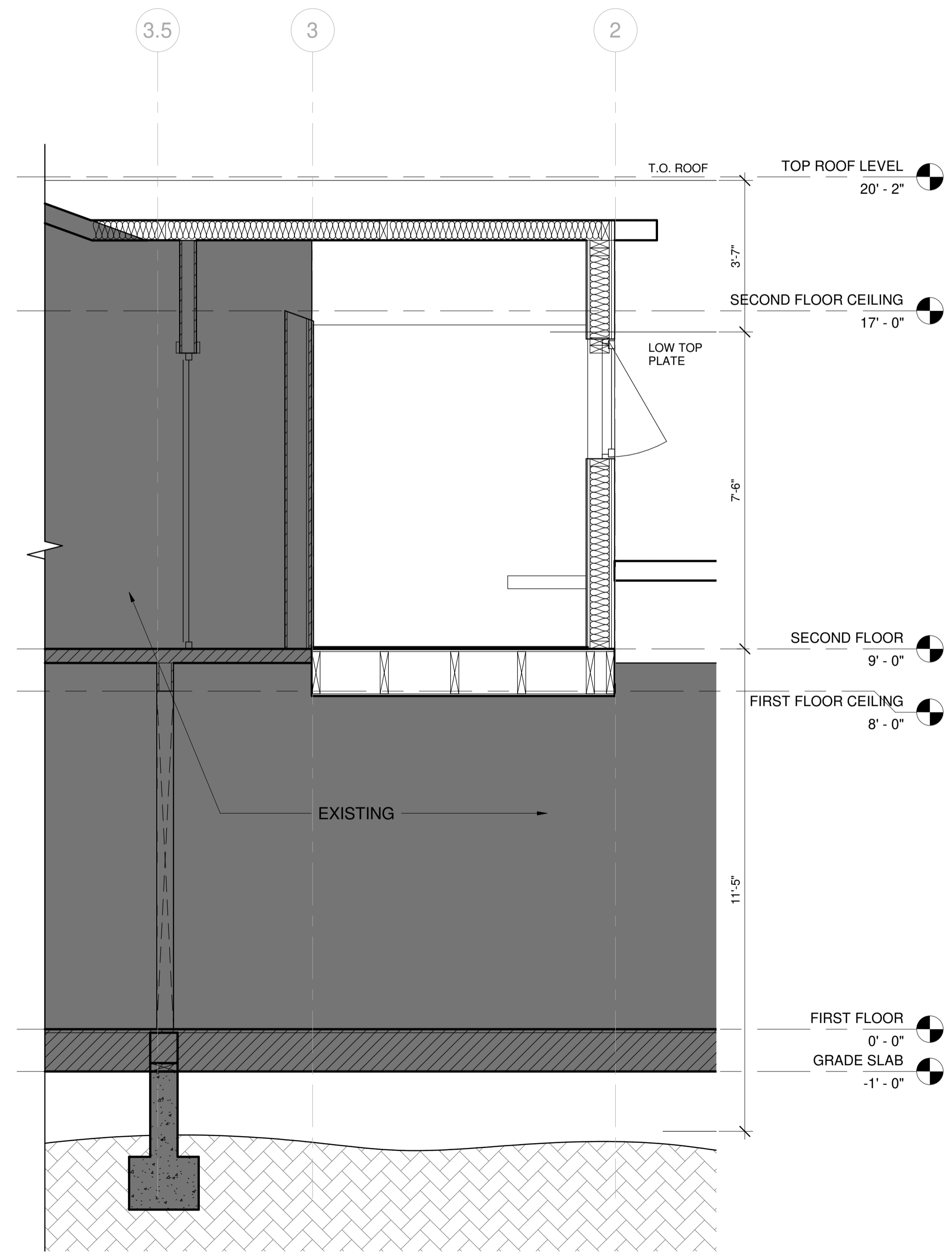
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A-5.1



1 Section A
1/2" = 1'-0"



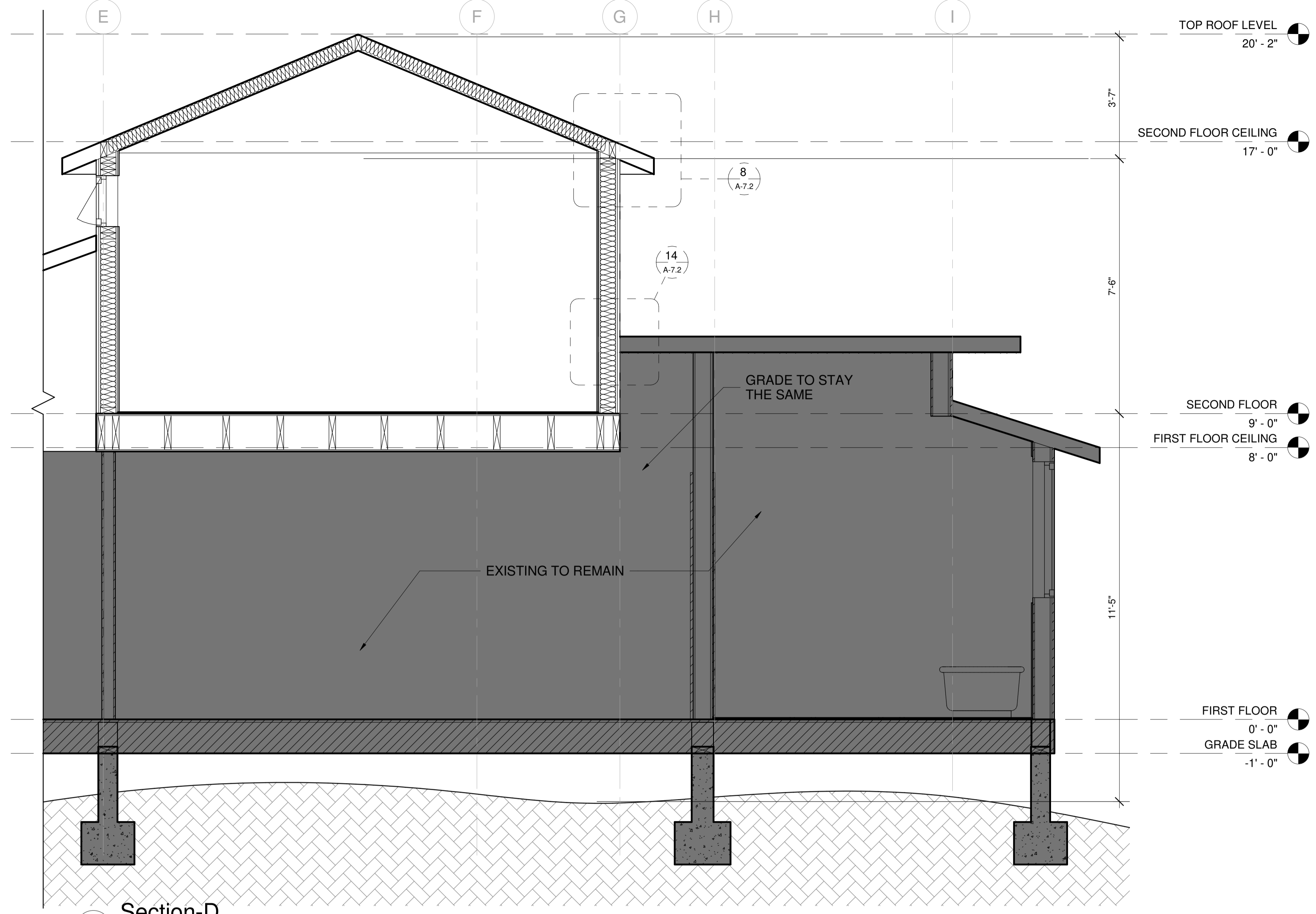
2 Section B
1/2" = 1'-0"



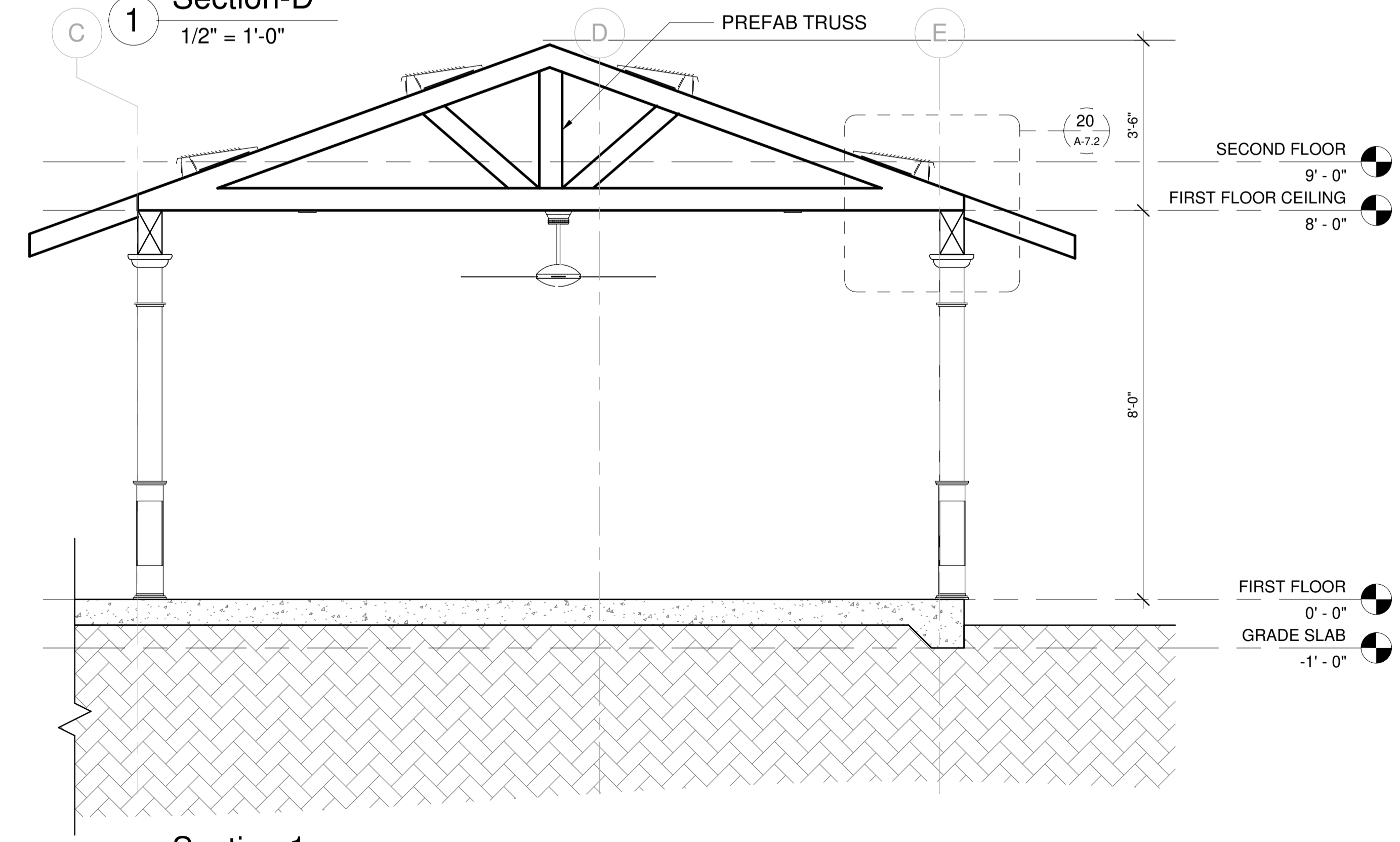
3 Section - C
1/2" = 1'-0"

DATE:	23/02/05
DELTA DESCRIPTION:	CITY SUBMITTAL
No.	A/A/A/A/A

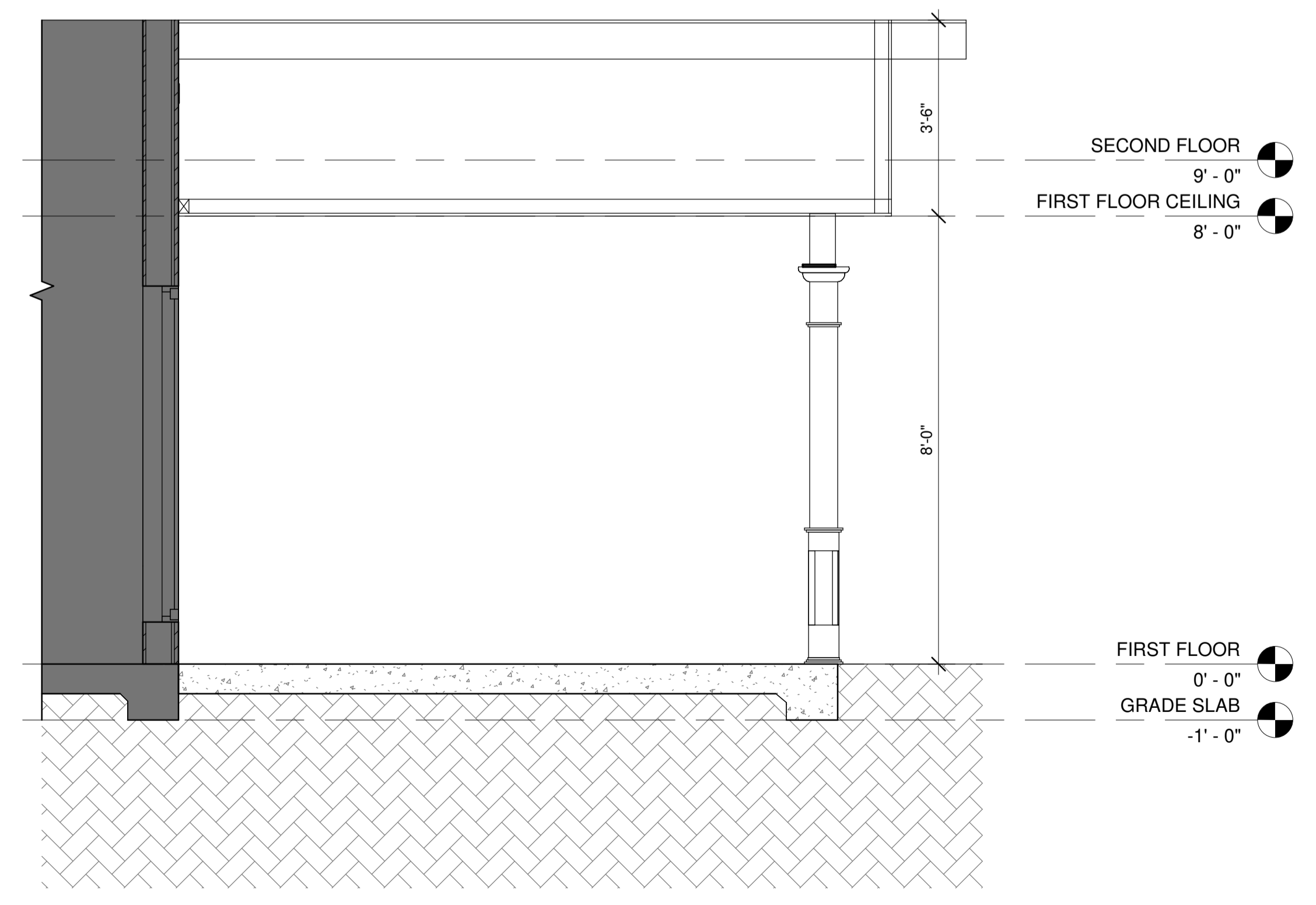
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SCALE:	1/2" = 1'-0"
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CKD BY:	
PROJECT :	202107199



1 Section-D
1/2" = 1'-0"



2 Section 1
1/2" = 1'-0"



3 Section 2
1/2" = 1'-0"



DELTA DESCRIPTION:
CITY SUBMITTAL

DATE:
23/02/05

No.

1
2
3
4

DATE: 23/02/05

SCALE: As indicated

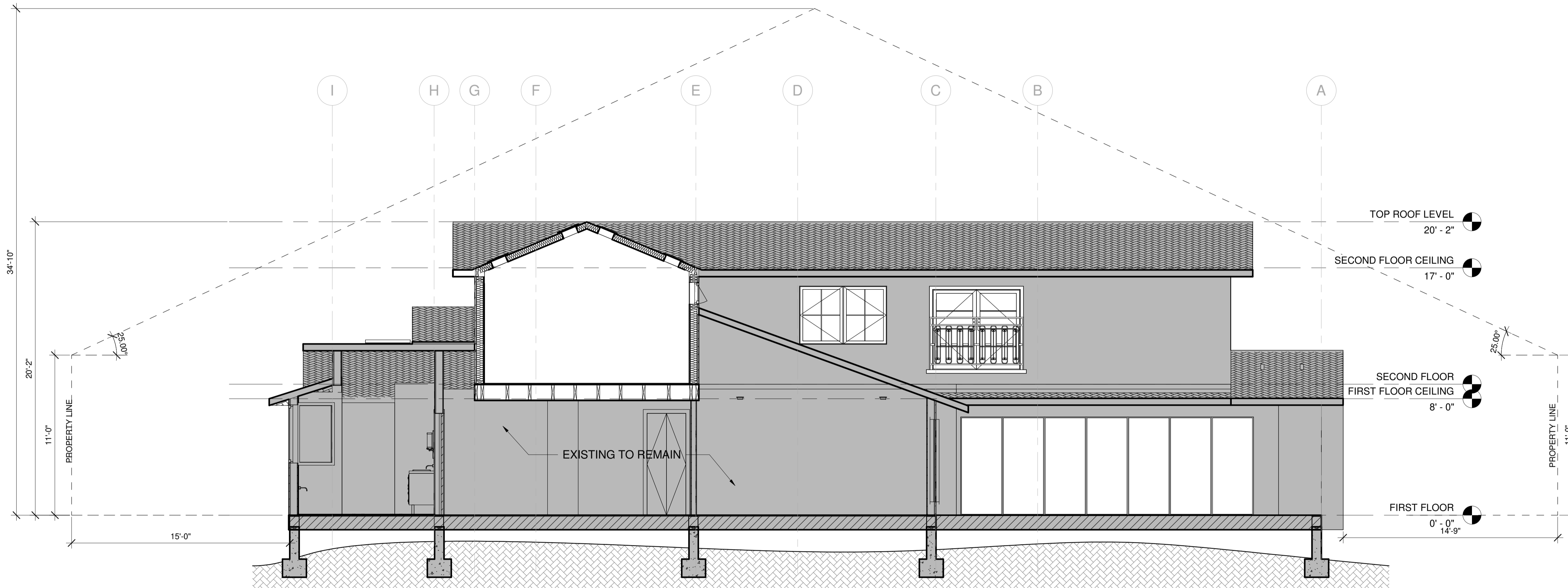
DRAWN BY :

CKD BY:

PROJECT : 202107199

DRAWING NO.

A-5.3



1 Section E
1/4" = 1'-0"

LEGEND









PROPOSED WORK



EXISTING TO REMAIN

RCP LEGEND

-  DOWNLIGHT
-  PENDANT LIGHT
-  SWITCH
-  OUTLET
-  GFCI
-  GROUND FAULT CIRCUIT INTERRUPTOR OUTLET

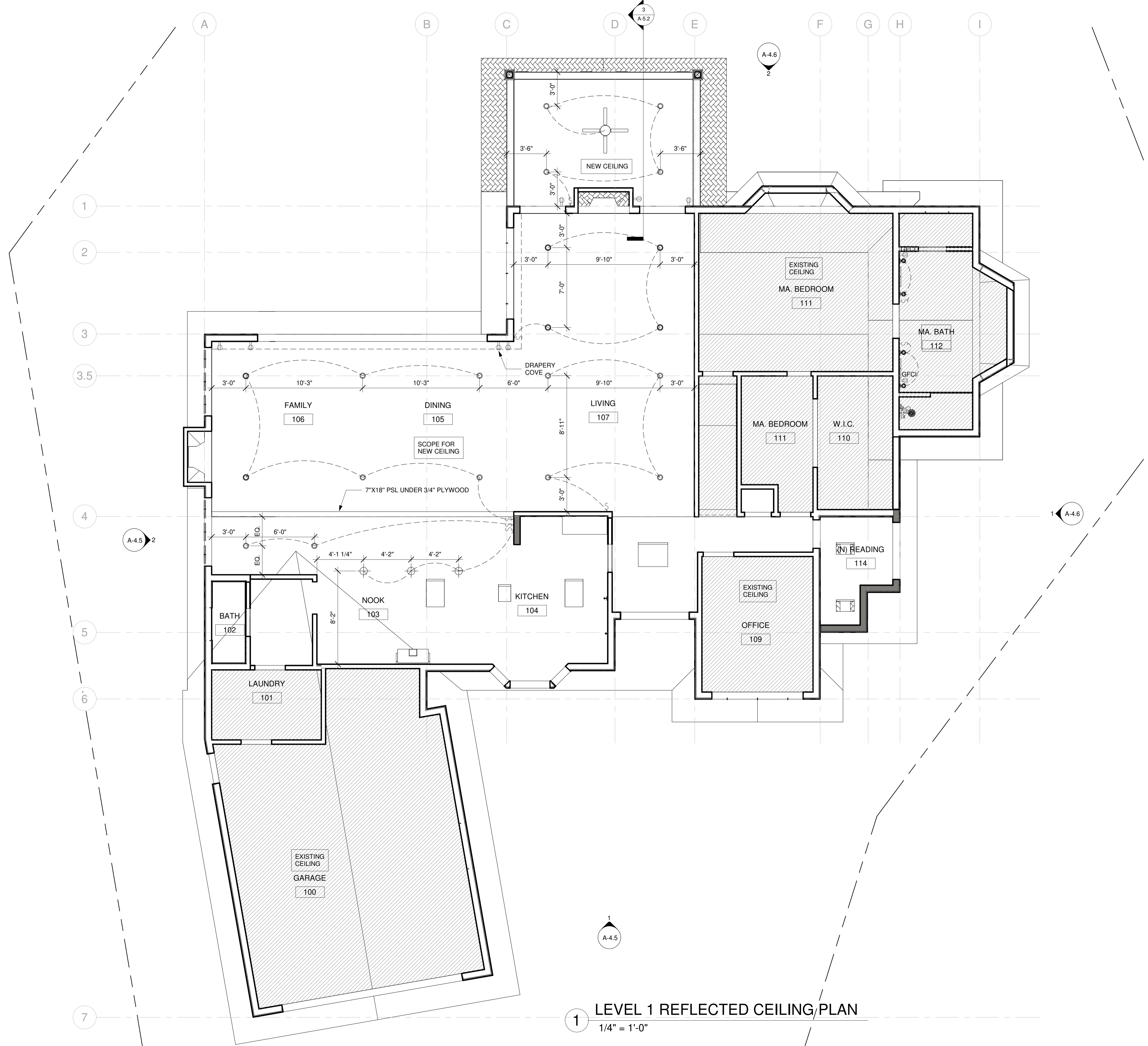
DESIGN EVEREST
 CONSULTING ENGINEERS
 365 FLOWER LANE
 MOUNTAIN VIEW, CA 94043
 PHONE: (888) 311-3015 FAX: (650) 695-1801

RCP FIRST FLOOR
 AHMED RENOVATION
 ALINA AHMED
 LOT 15
 1081 NOTTINGHAM WAY
 LOS ALTOS, CA 94024

No.	DELTA DESCRIPTION:
1	CITY SUBMITTAL
2	
3	
4	
5	







DATE: 23/02/05
 SCALE: As indicated
 DRAWN BY :
 CKD BY :
 PROJECT : 202107199

DRAWING NO.
A-6.1



1 LEVEL 1 REFLECTED CEILING PLAN
 1/4" = 1'-0"

RCP LEGEND

-  DOWNLIGHT
-  PENDANT LIGHT
-  SWITCH
-  OUTLET
-  GFCI
-  GROUND FAULT CIRCUIT INTERRUPTOR OUTLET

DESIGN EVEREST
 CONSULTING ENGINEERS


365 FLOWER LANE
 MOUNTAIN VIEW, CA 94039
 PHONE: (888) 311-3015 FAX: (650) 695-1801



RCP SECOND FLOOR
 AHMED RENOVATION
 ALINA AHMED
 LOT 15
 1081 NOTTINGHAM WAY
 LOS ALTOS, CA 94024

DELTA DESCRIPTION:
 CITY SUBMITTAL

DATE:
 23/02/05

No.    

DATE: 23/02/05

SCALE: As indicated

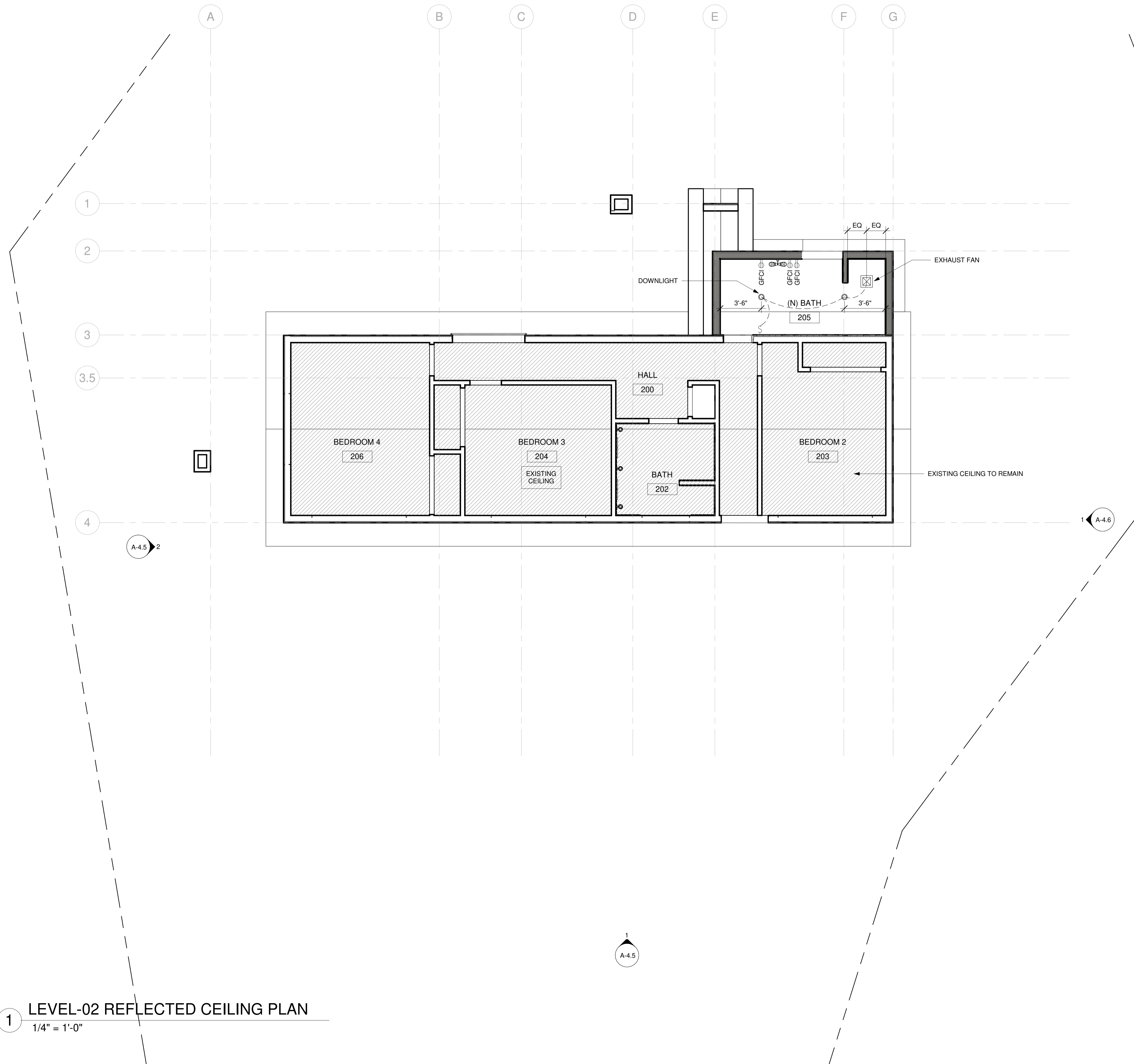
DRAWN BY :

CKD BY:

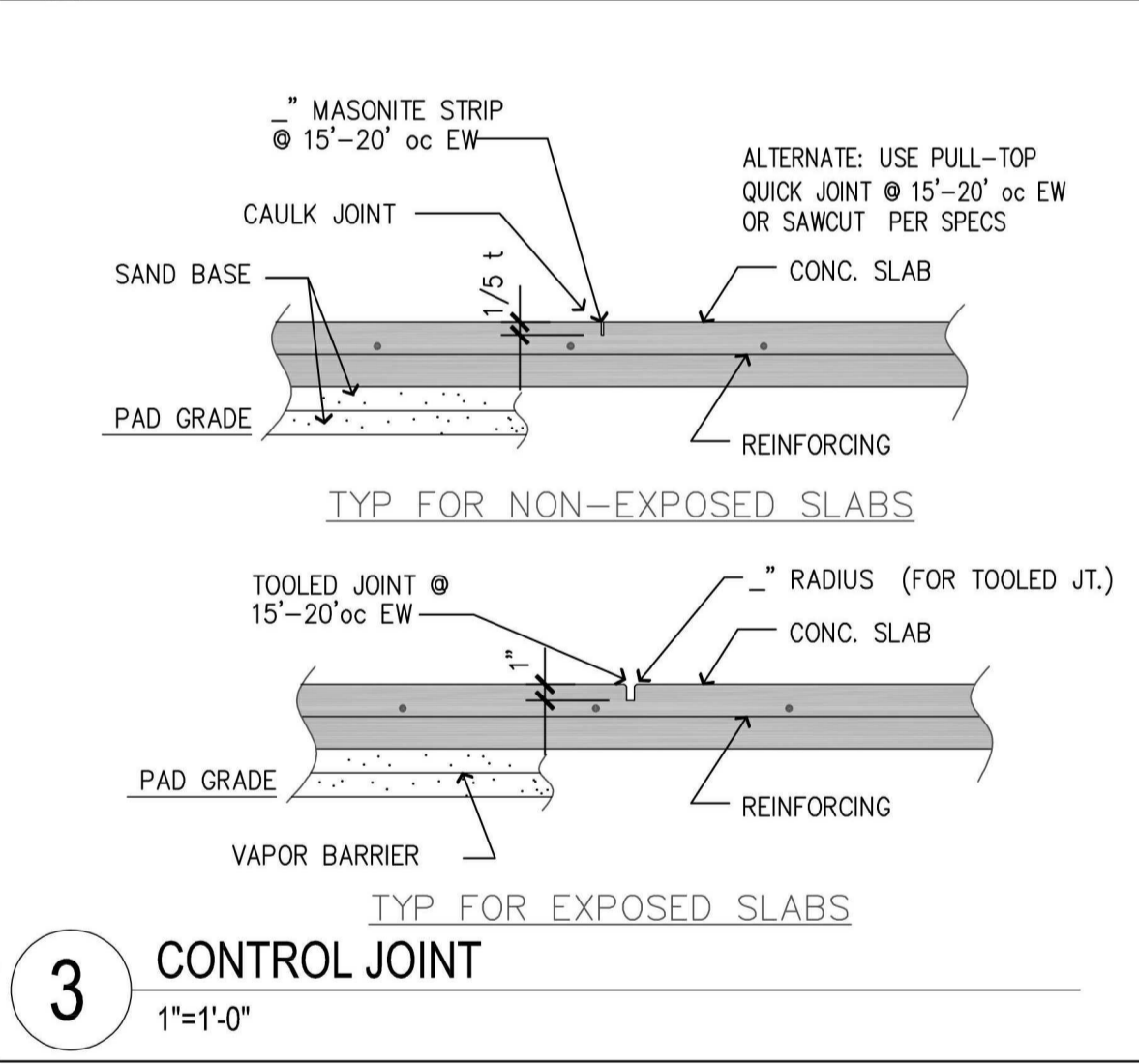
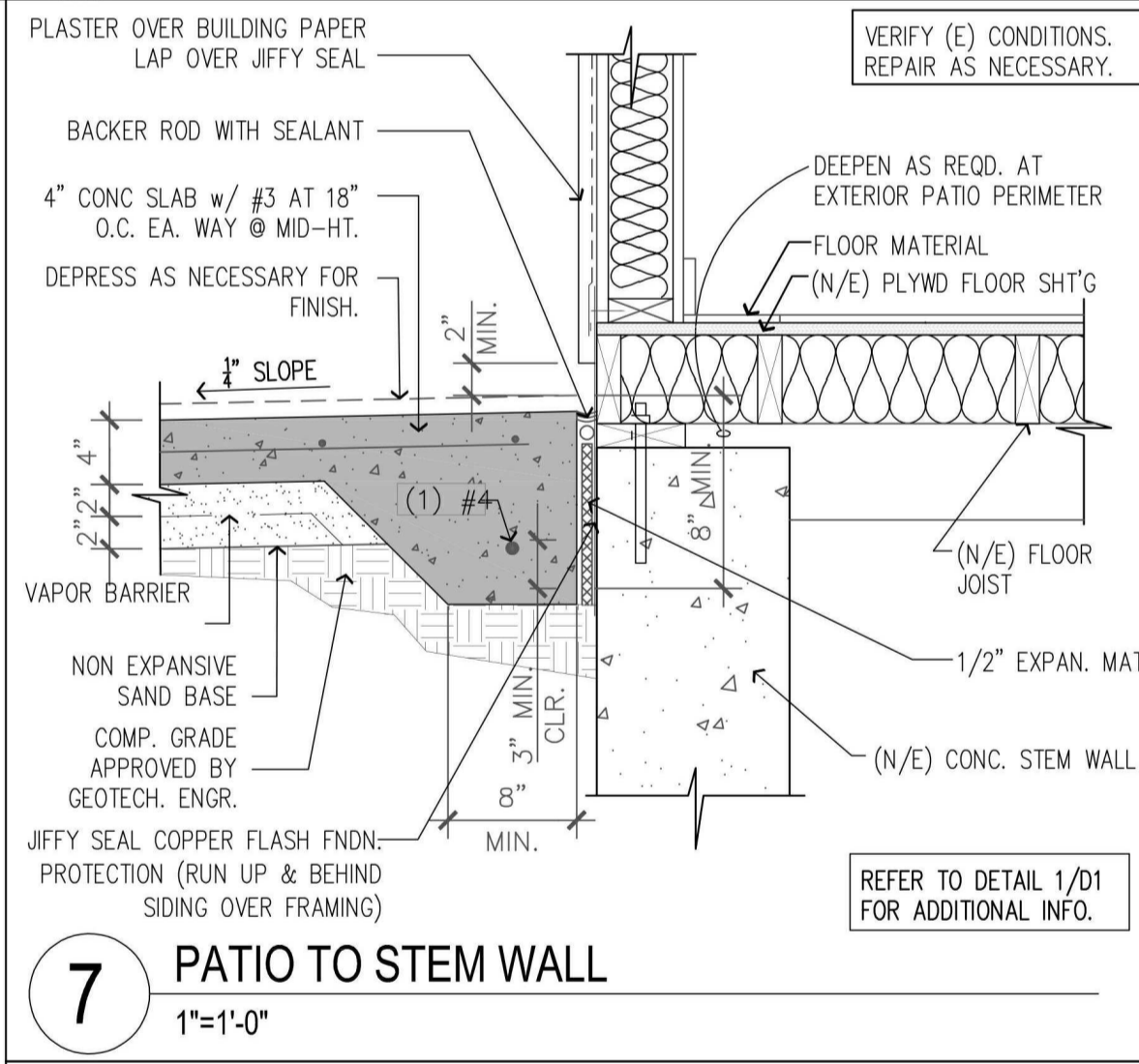
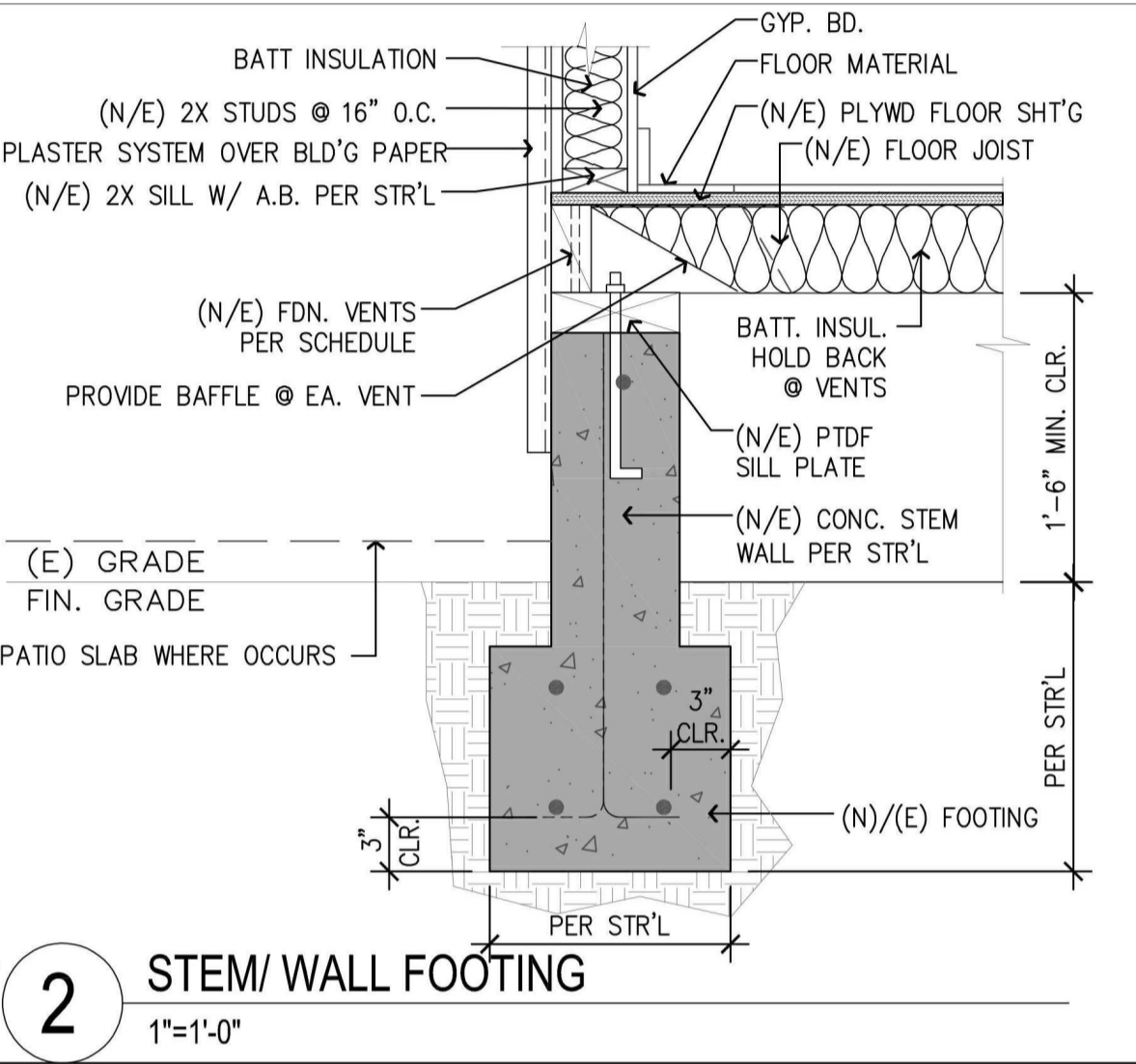
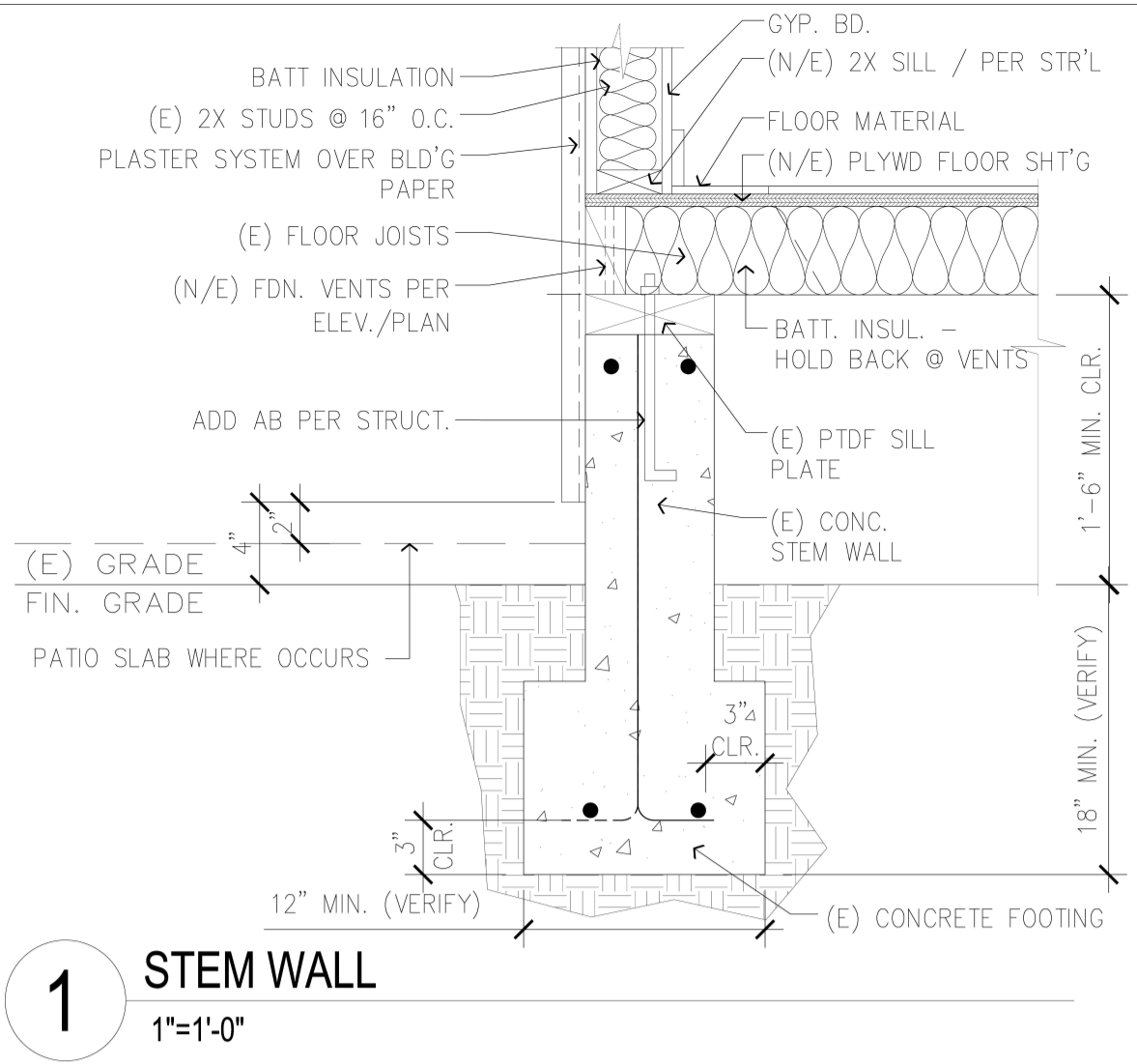
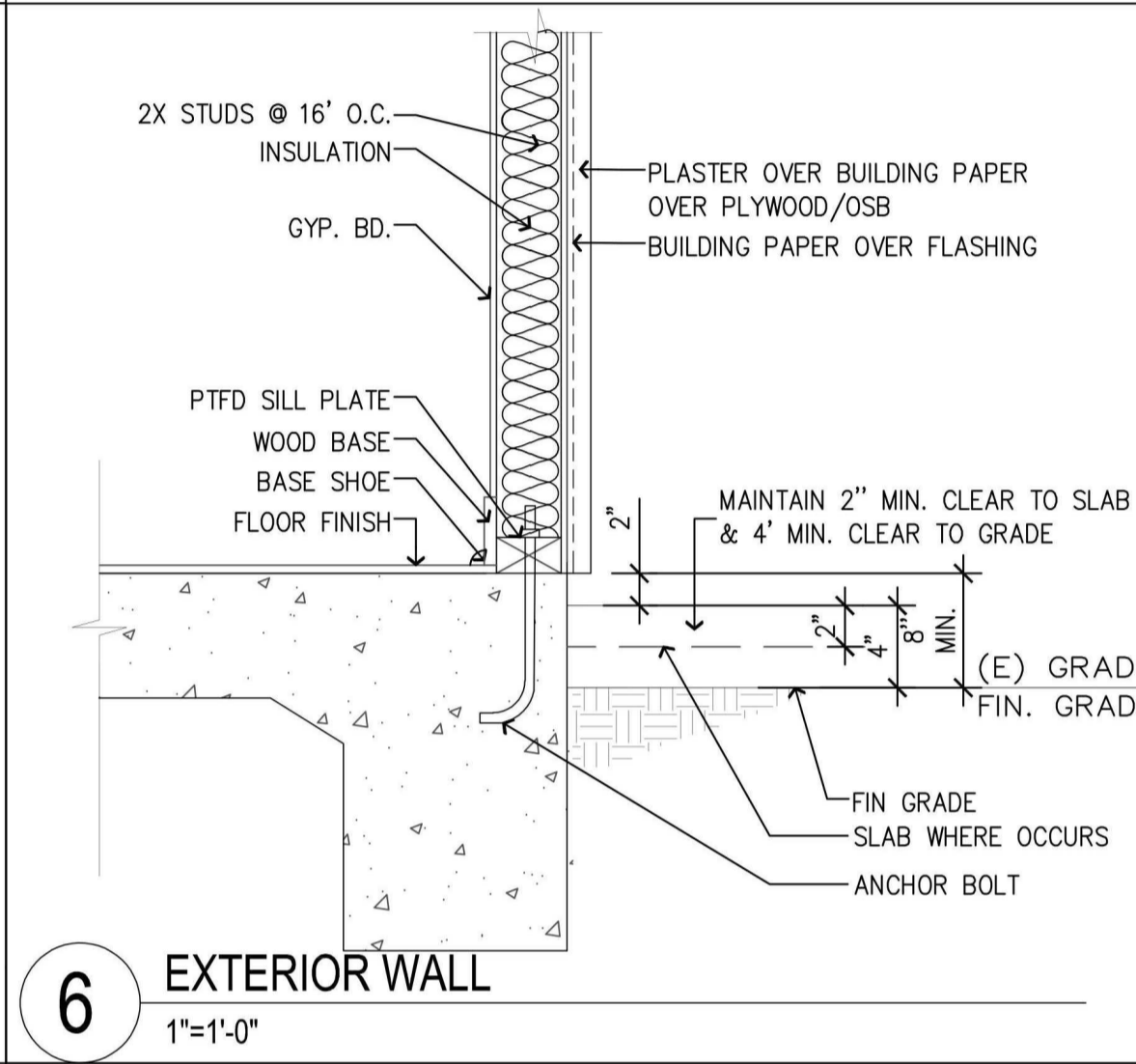
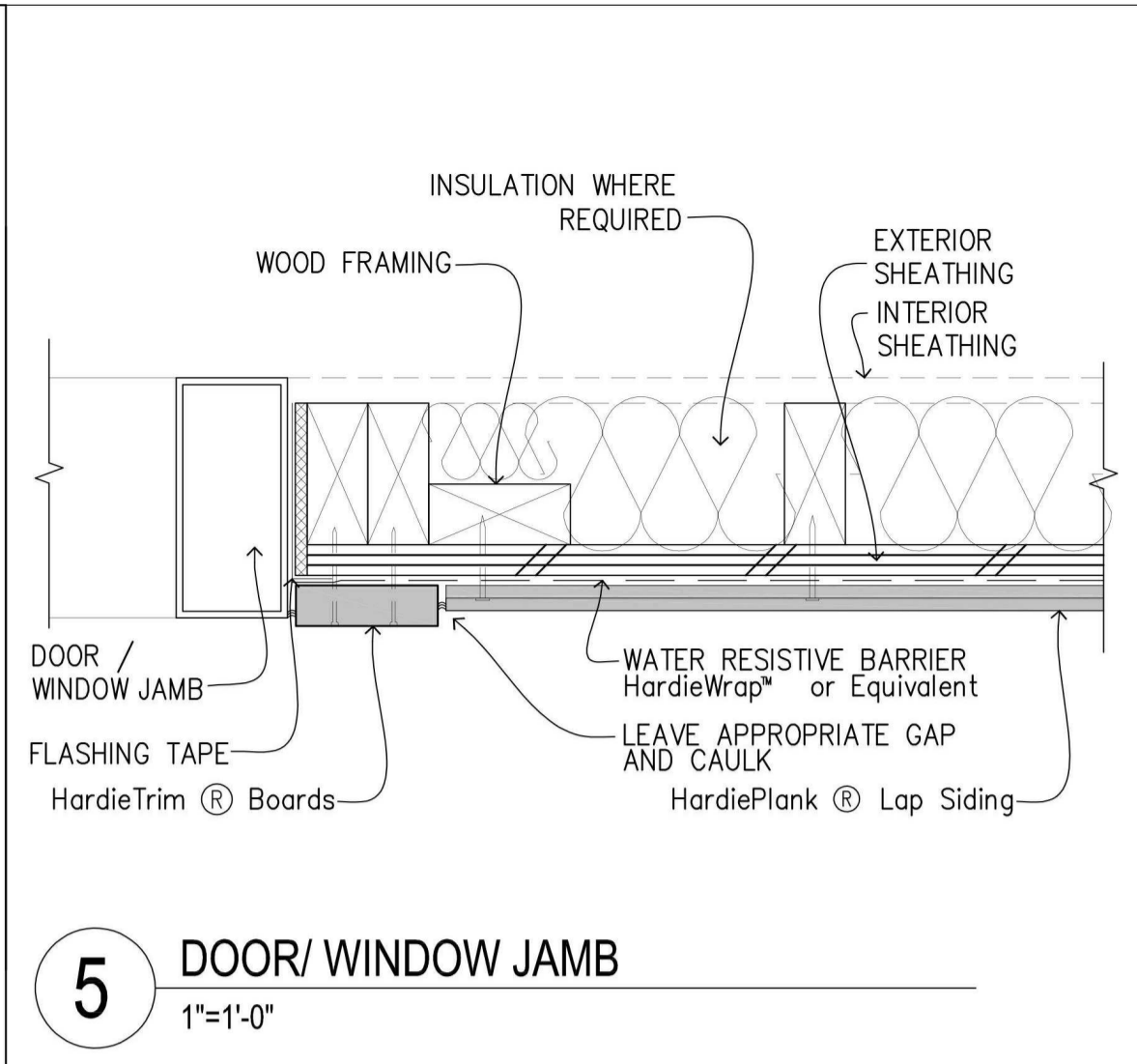
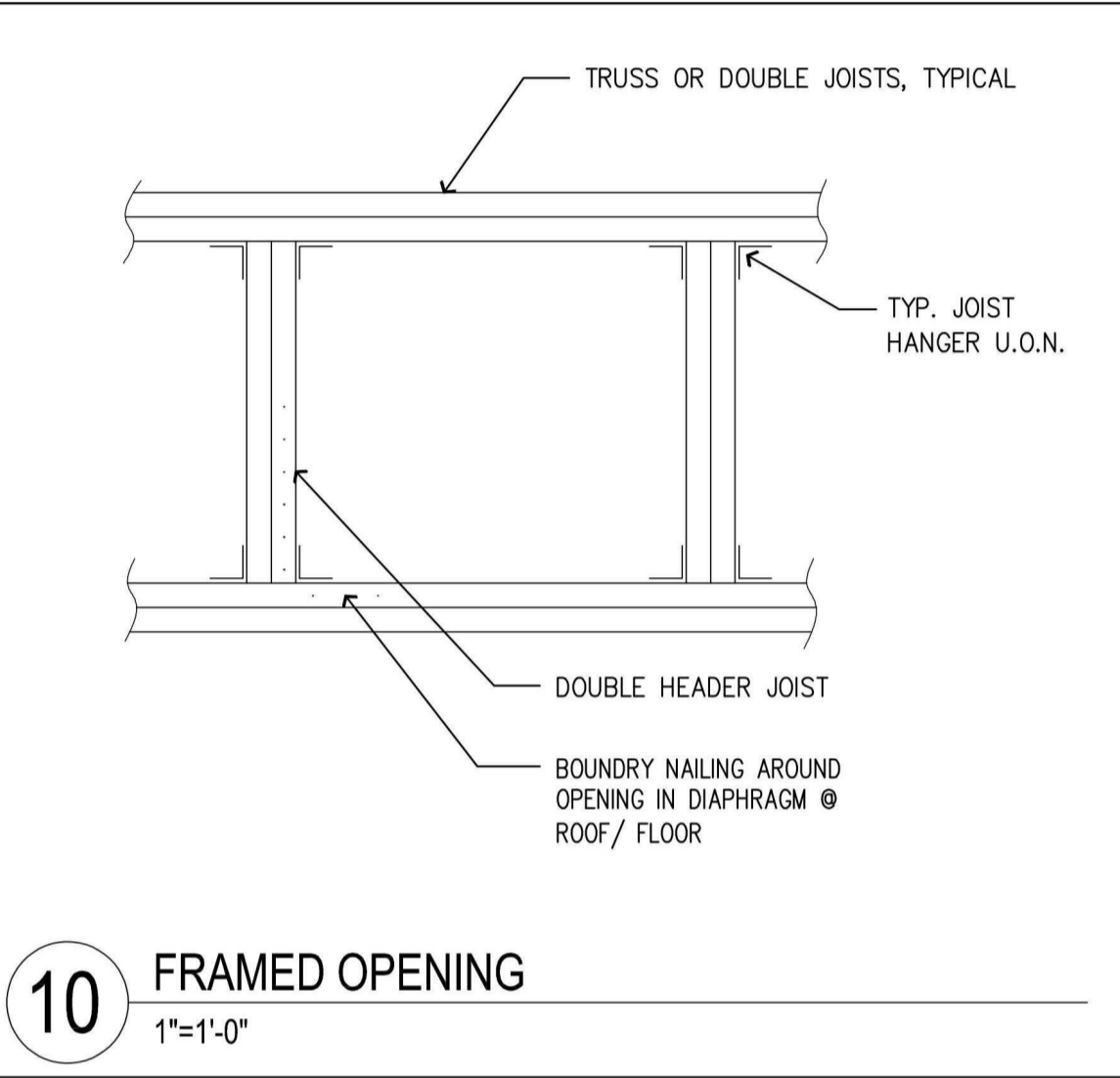
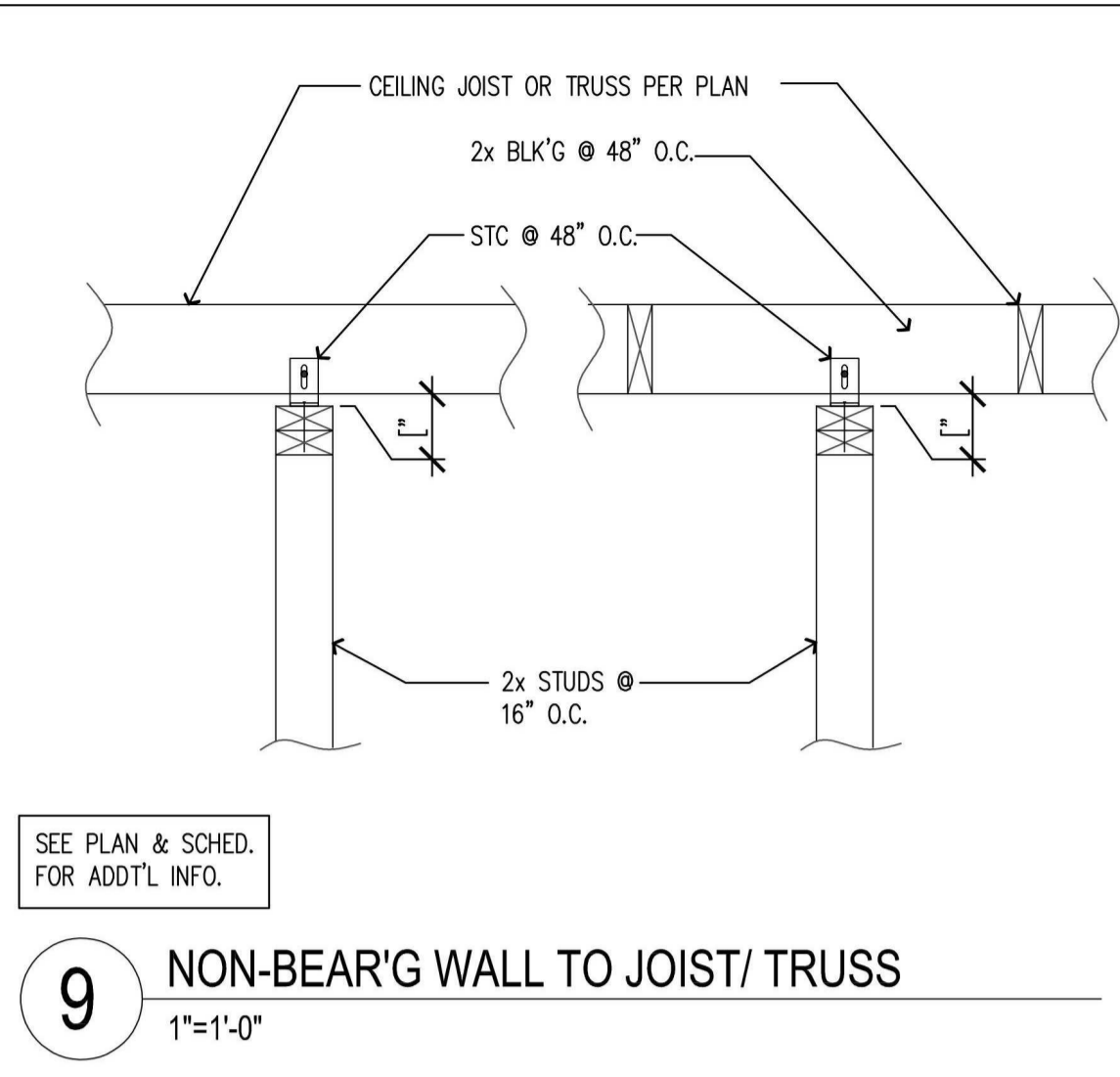
PROJECT : 202107199

DRAWING NO.

A-6.2



1 LEVEL-02 REFLECTED CEILING PLAN
 1/4" = 1'-0"

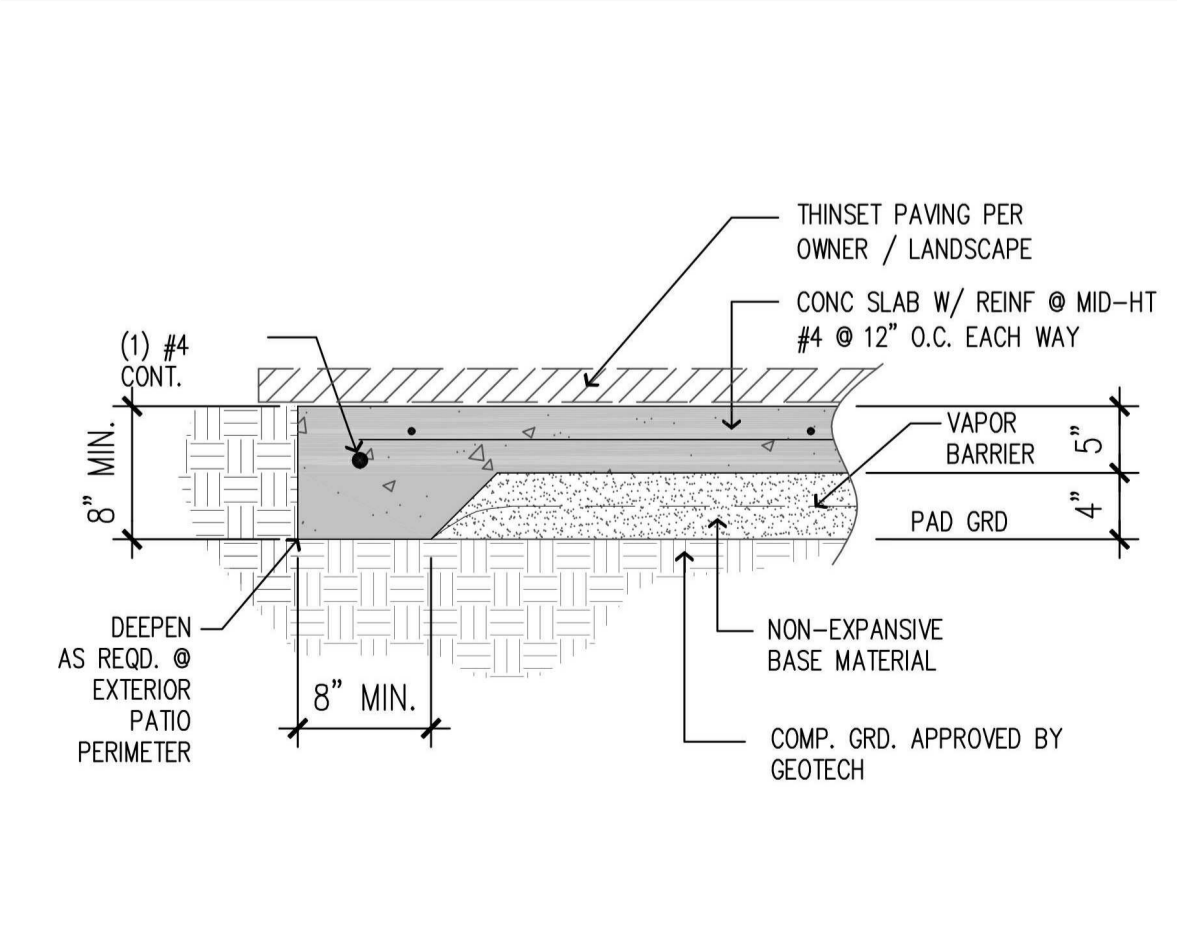


8 CEILING JOISTS SCHEDULE
1"=1'-0"

LUMBER GRADE DOUGLAS FIR LARCH NO. 2	ALLOWABLE SPANS	
	CEILING JOISTS	
FINISH OR SLOPE	WITH PLASTER BELOW	WITH DRYWALL BELOW
DEFLECTION	L/240 L ₁₀ L/360 L	L/240 L ₁₀ L/360 L
LOAD DURATION FACTORS	1.00	1.00
NOMINAL SIZE (INCHES)	SPACING (INCHES)	DL = 7.5 PSF LL = 10 PSF
2 x 4	12	10'-6"
	16	9'-7"
	24	8'-4"
2 x 6	12	17'-6"
	16	15'-3"
	24	15'-3"
2 x 8	12	N/A
	16	N/A
	24	N/A
2 x 10	12	N/A
	16	N/A
	24	N/A
2 x 12	12	N/A
	16	N/A
	24	N/A
2 x 14	12	N/A
	16	N/A
	24	N/A

DESIGN VALUES:
LUMBER GRADE: DOUGLAS FIR LARCH #2
ALLOWABLE BENDING STRESS: 900 PSI
ALLOWABLE SHEAR STRESS: 180 PSI
MODULUS OF ELASTICITY: 1,800,000 PSI
* VALUES BASED ON REPETITIVE MEMBER USE

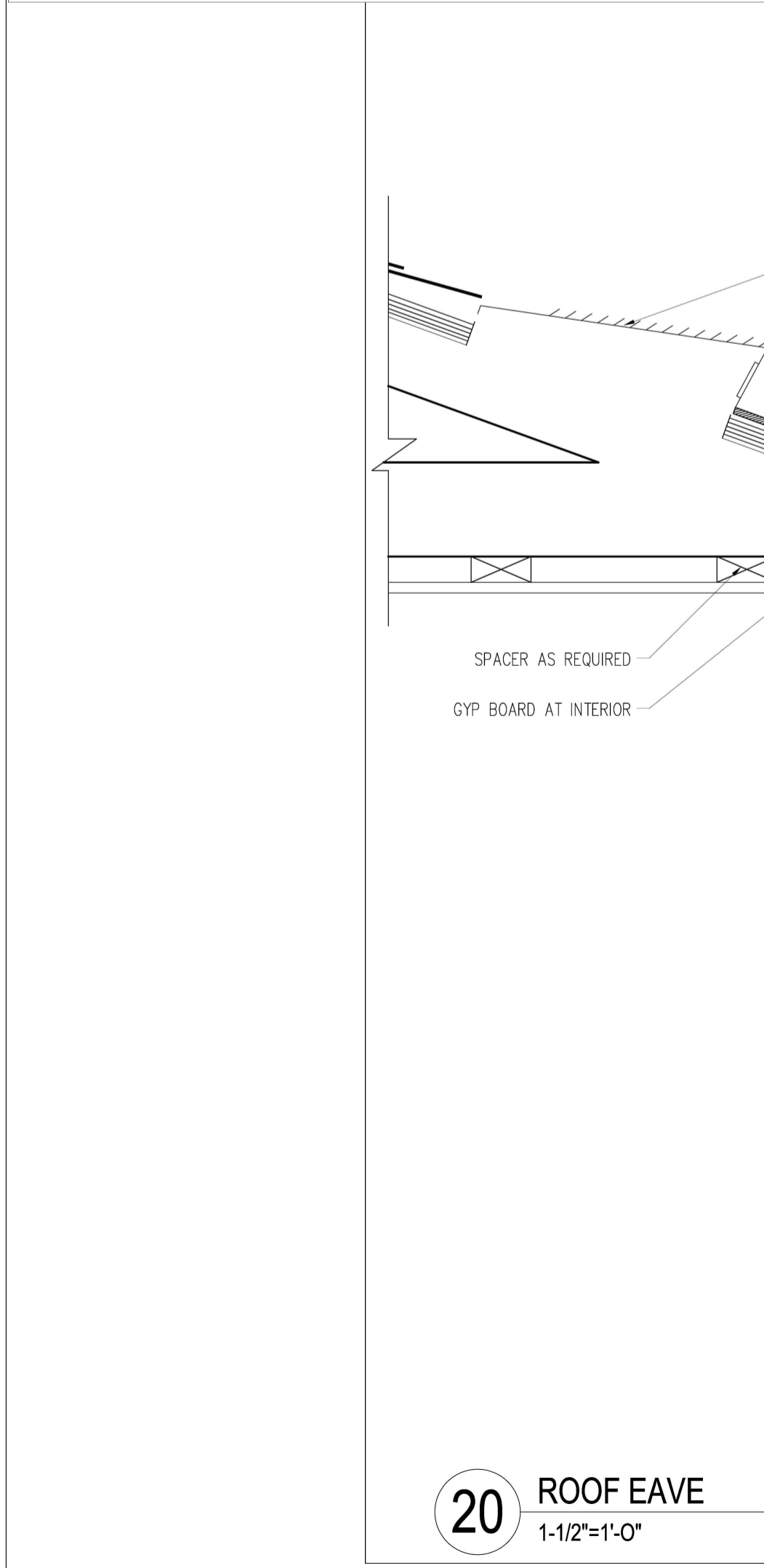
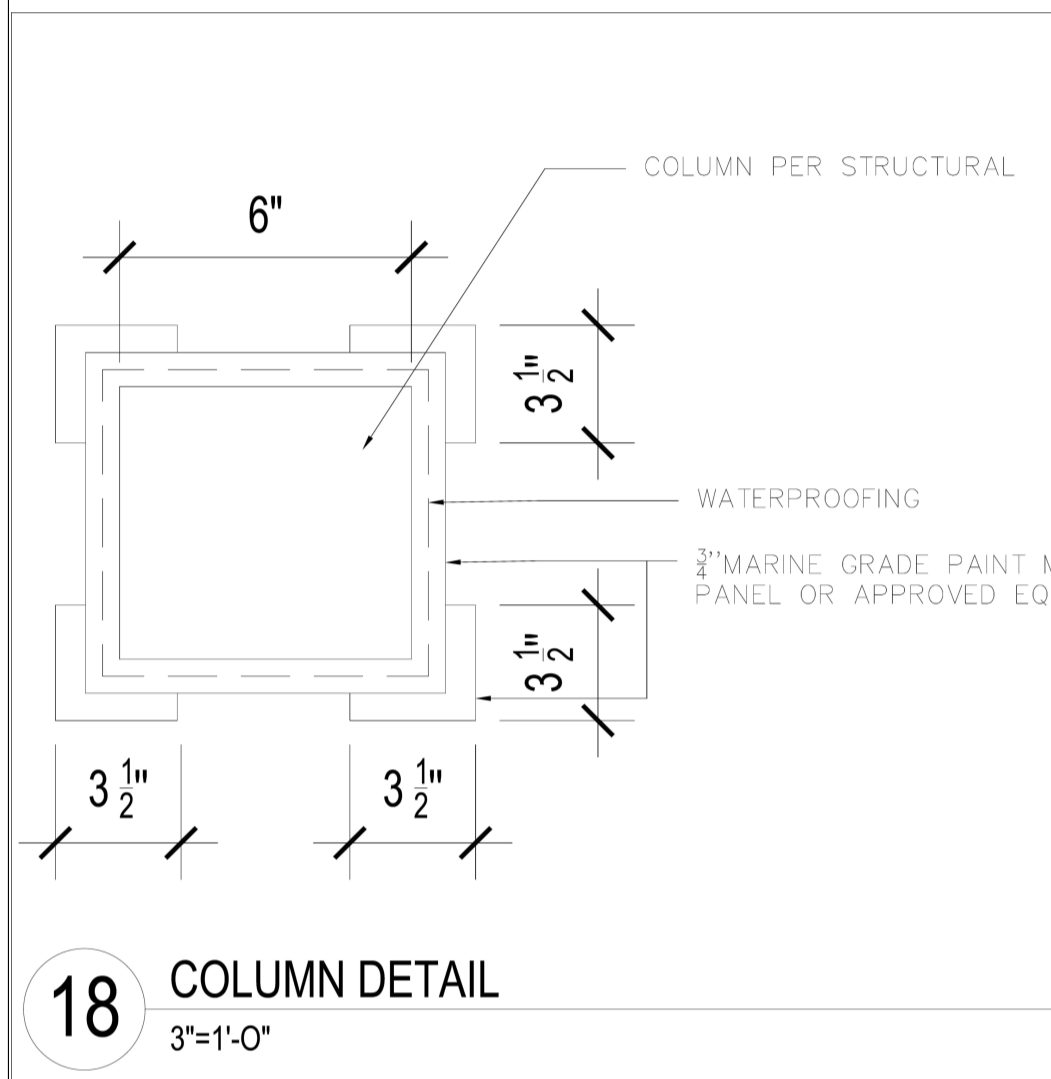
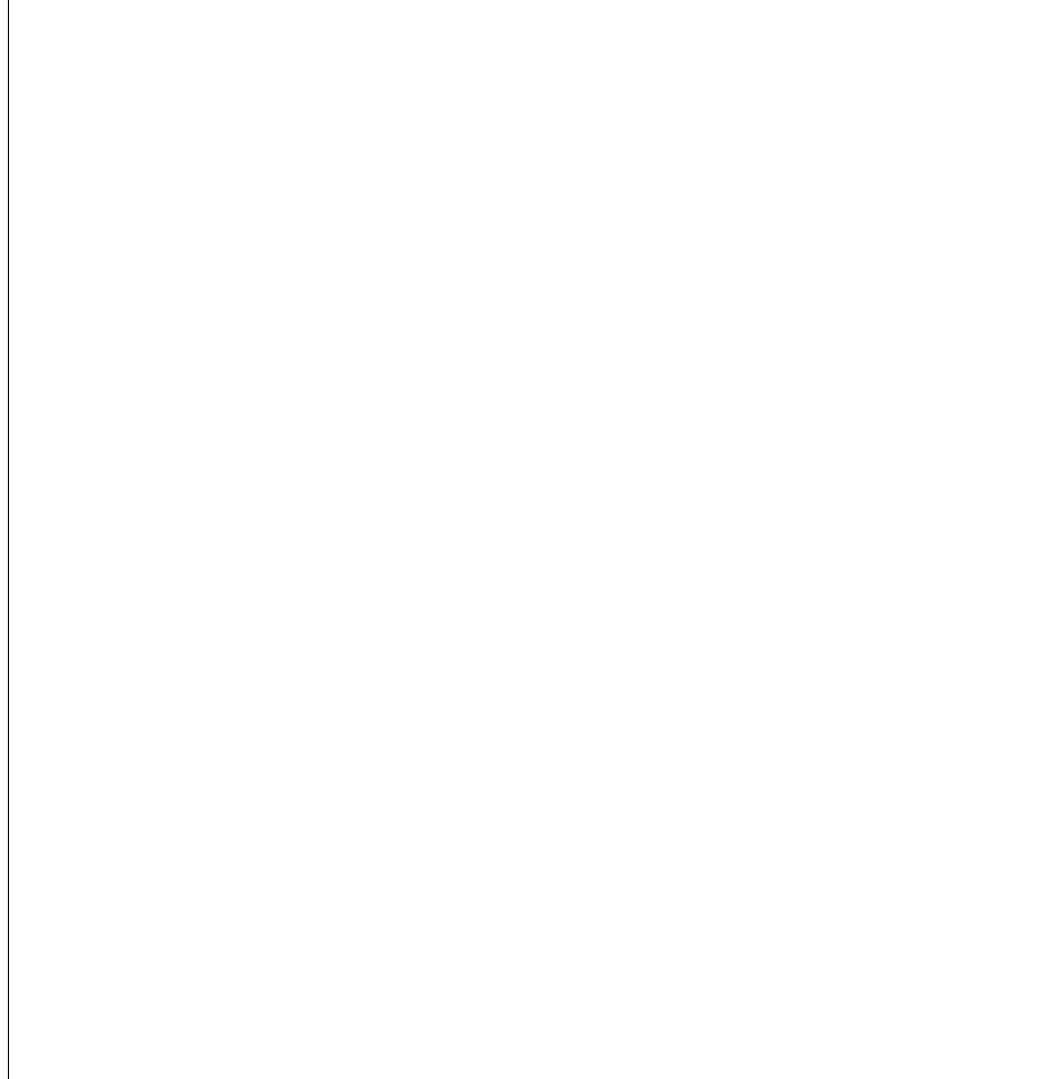
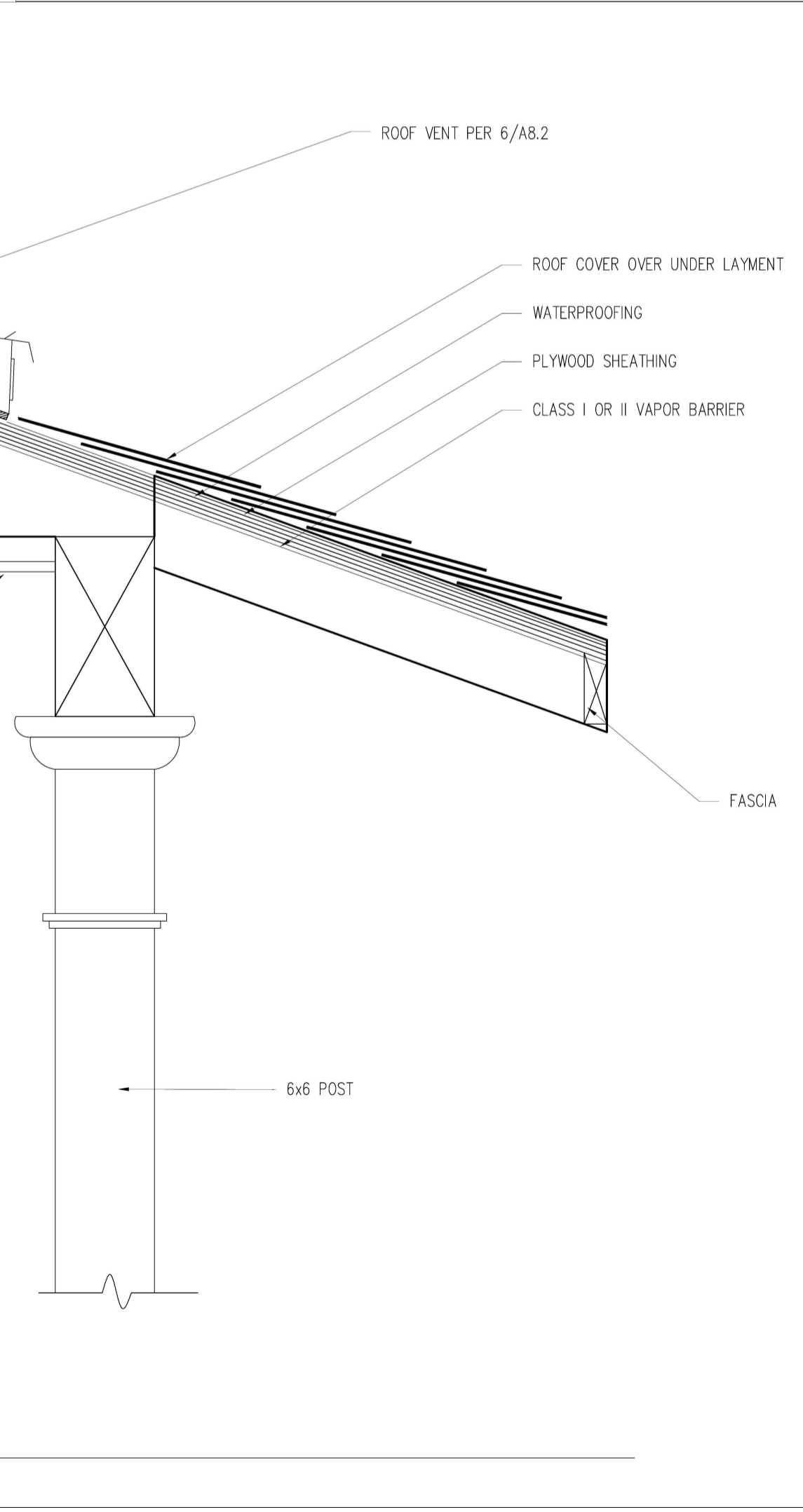
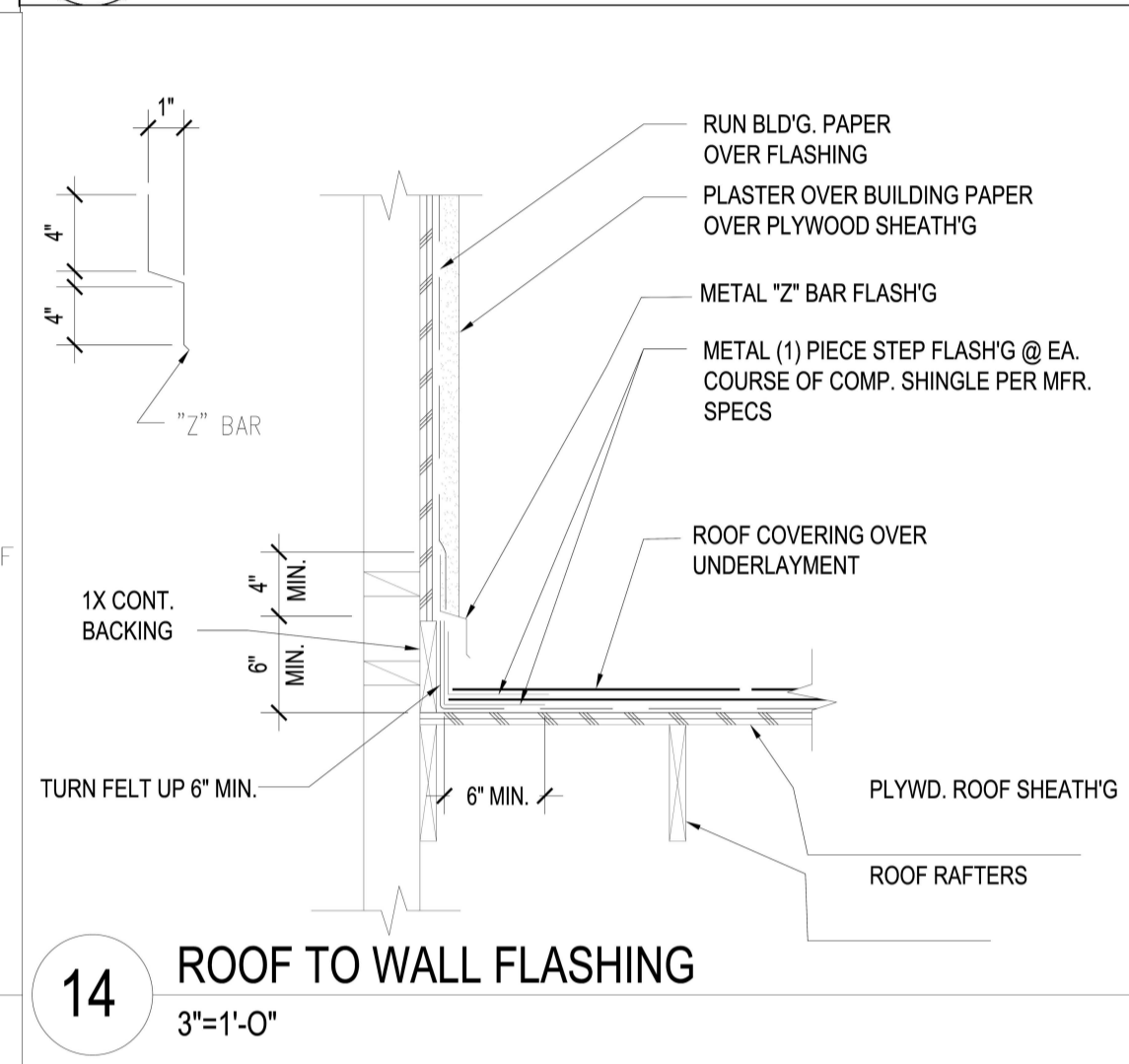
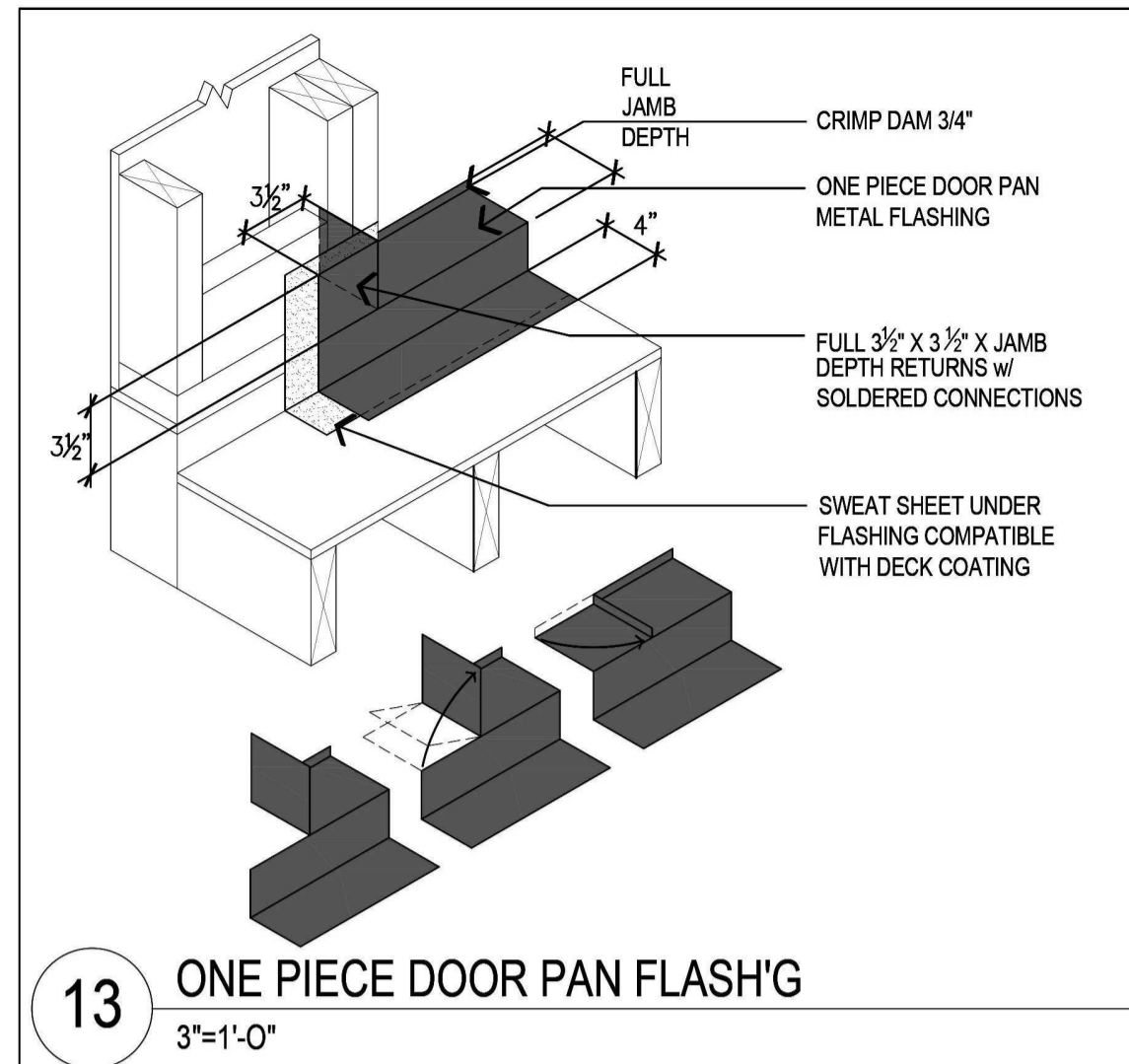
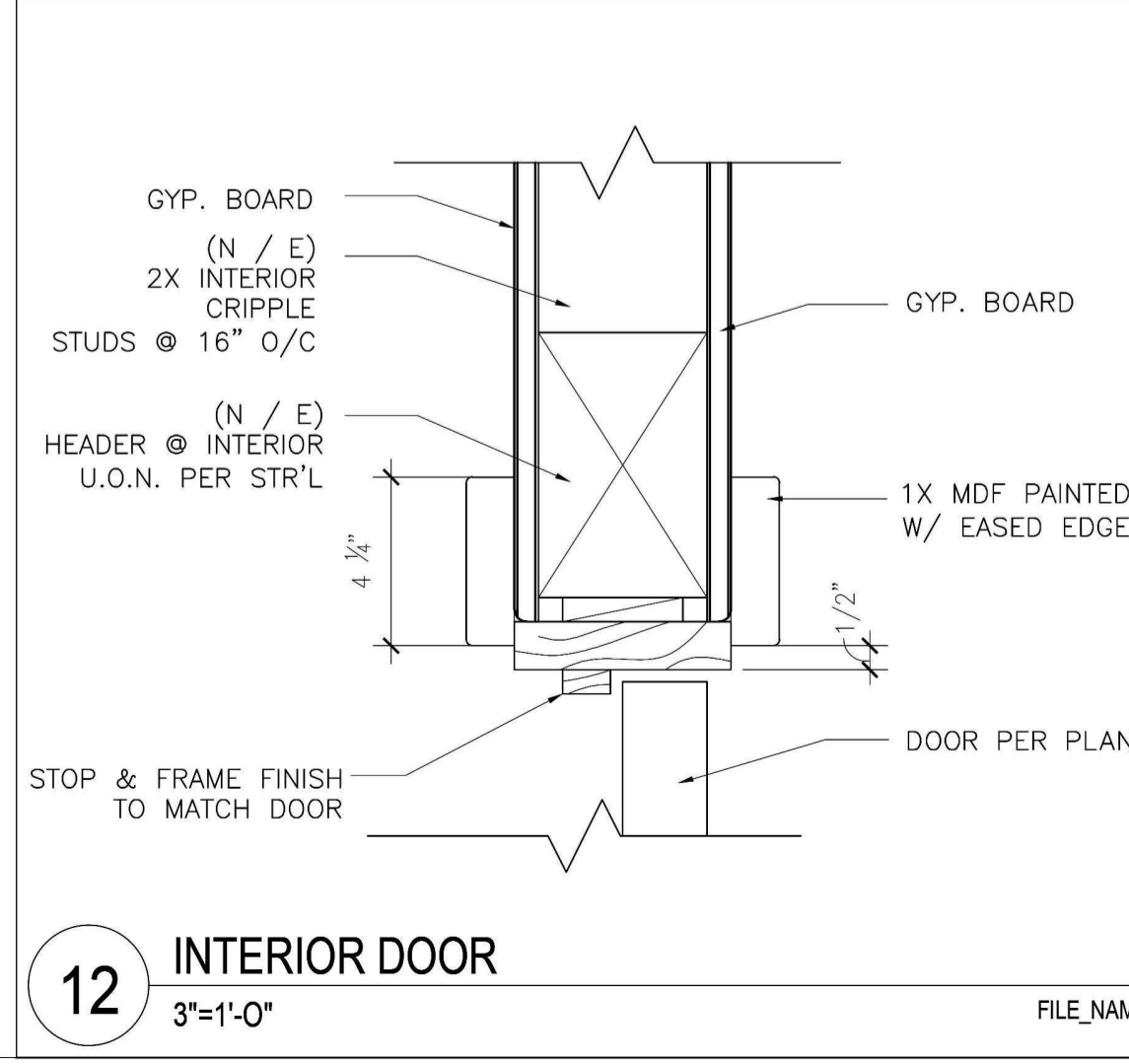
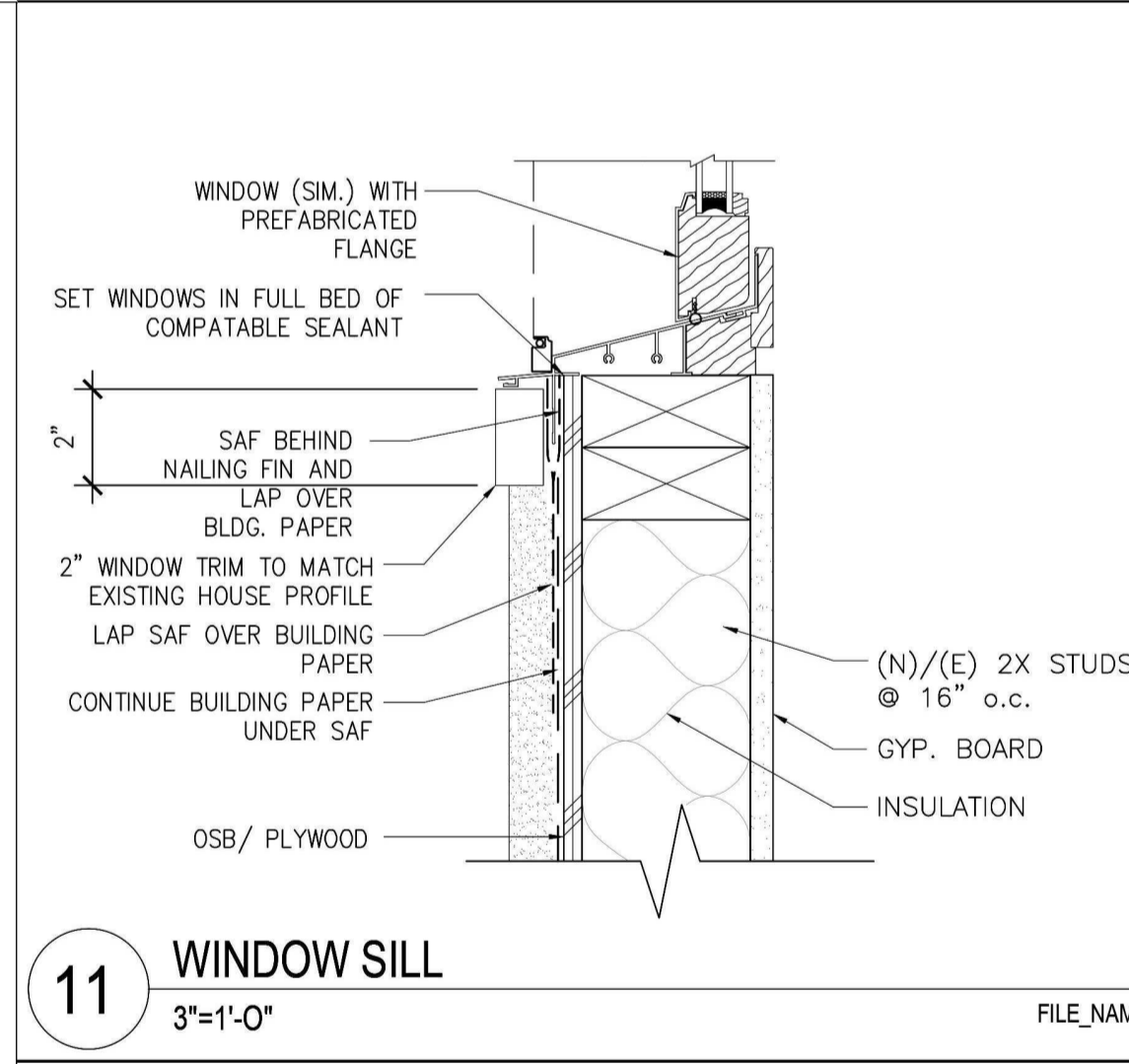
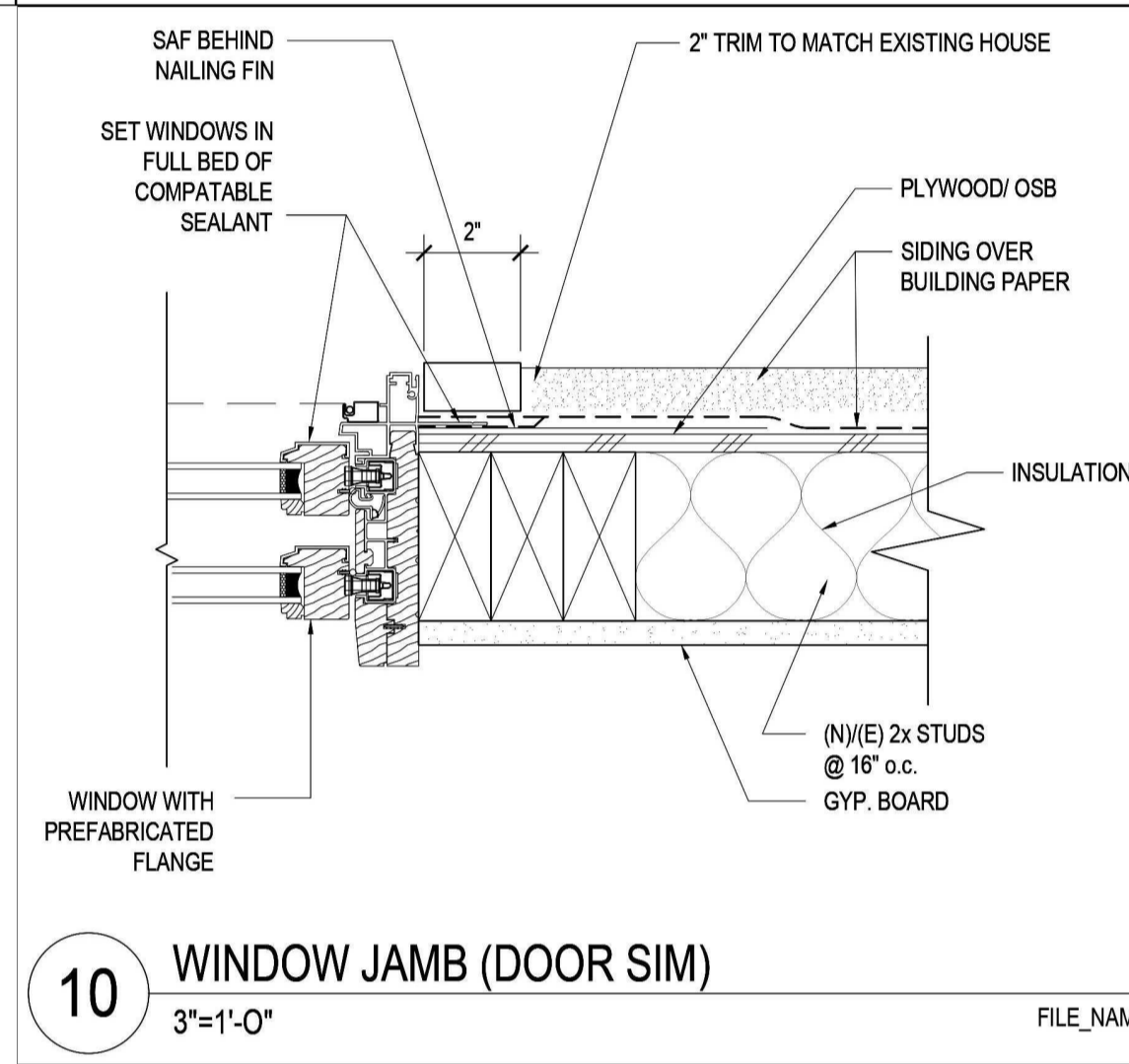
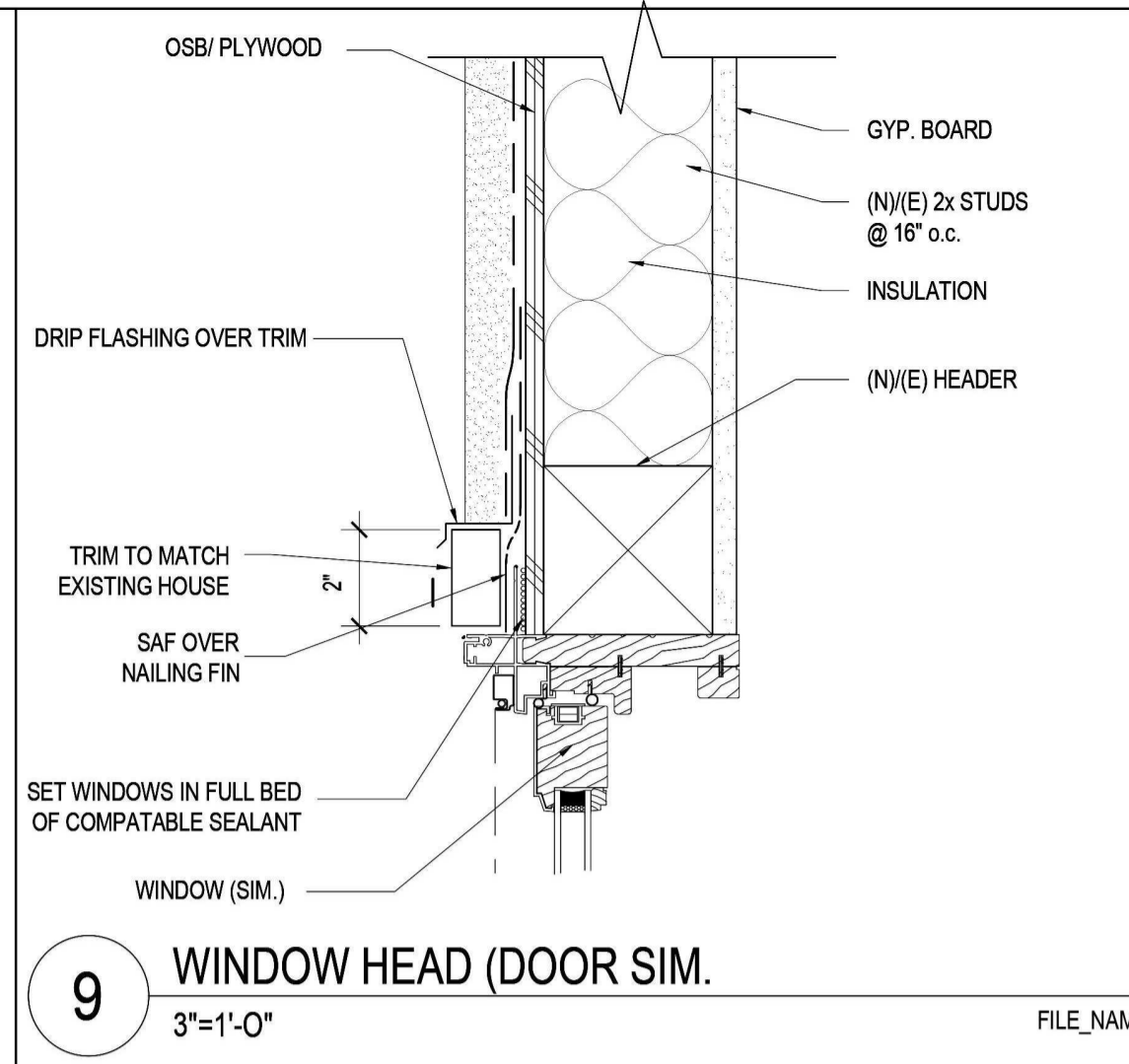
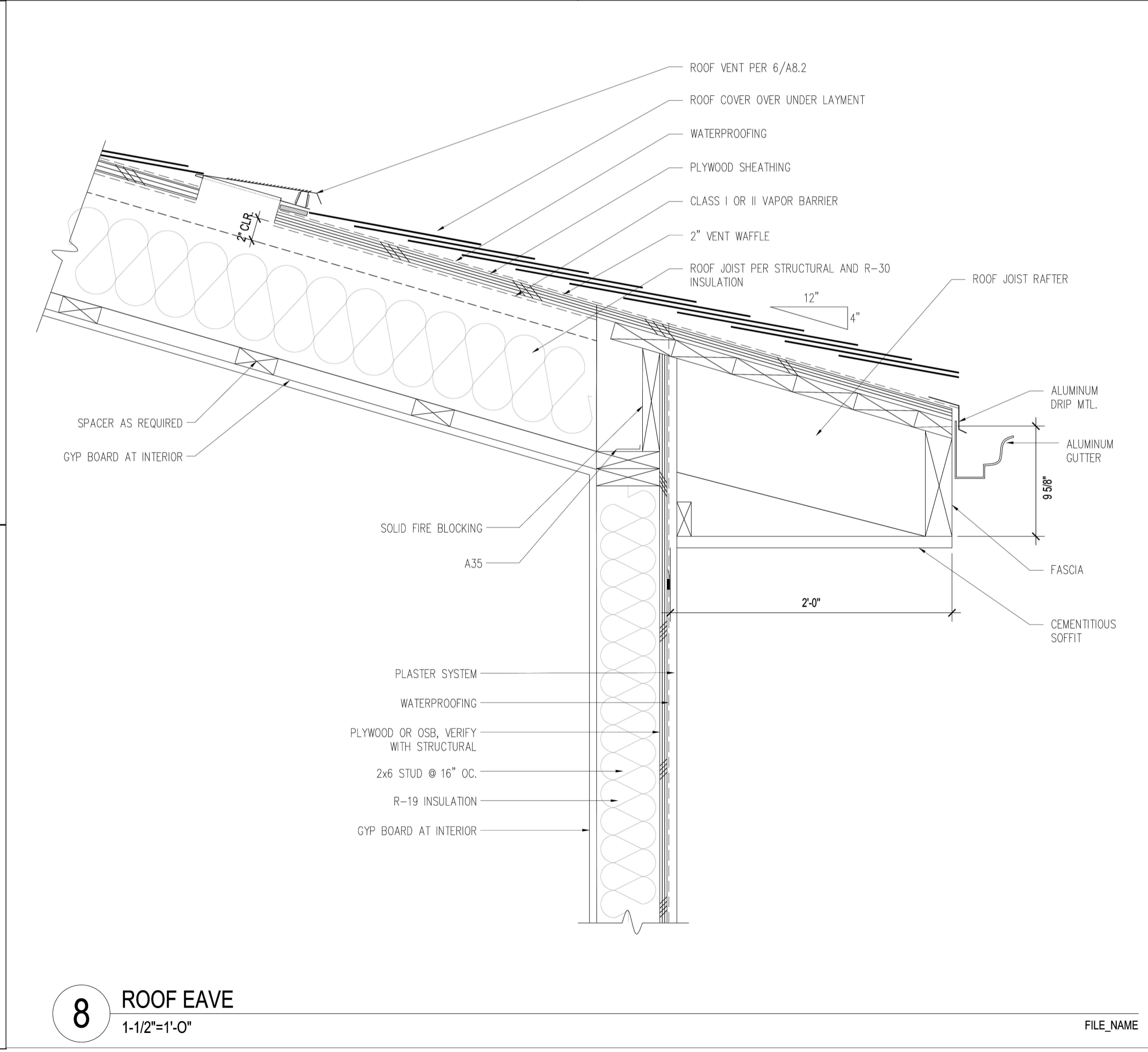
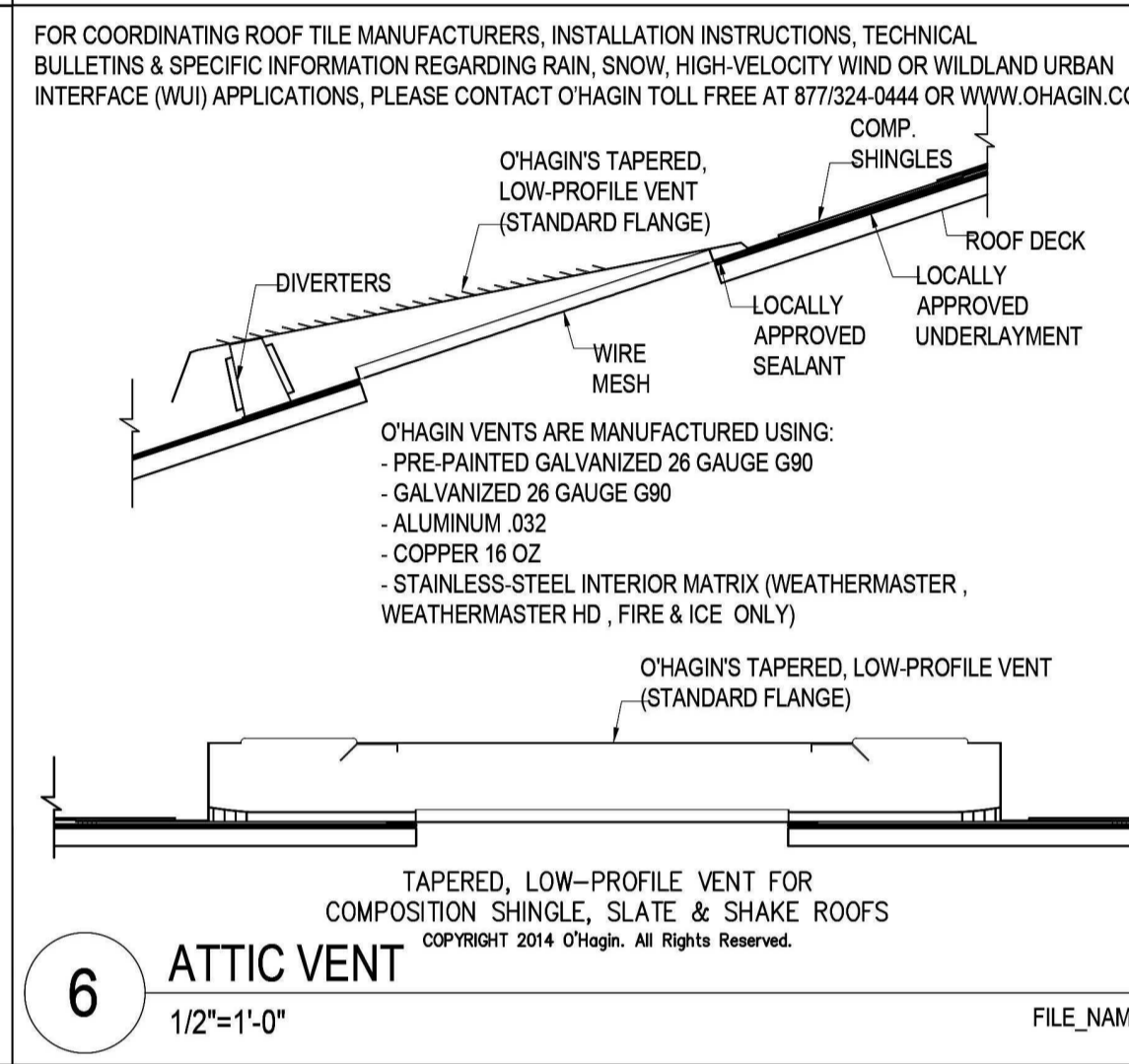
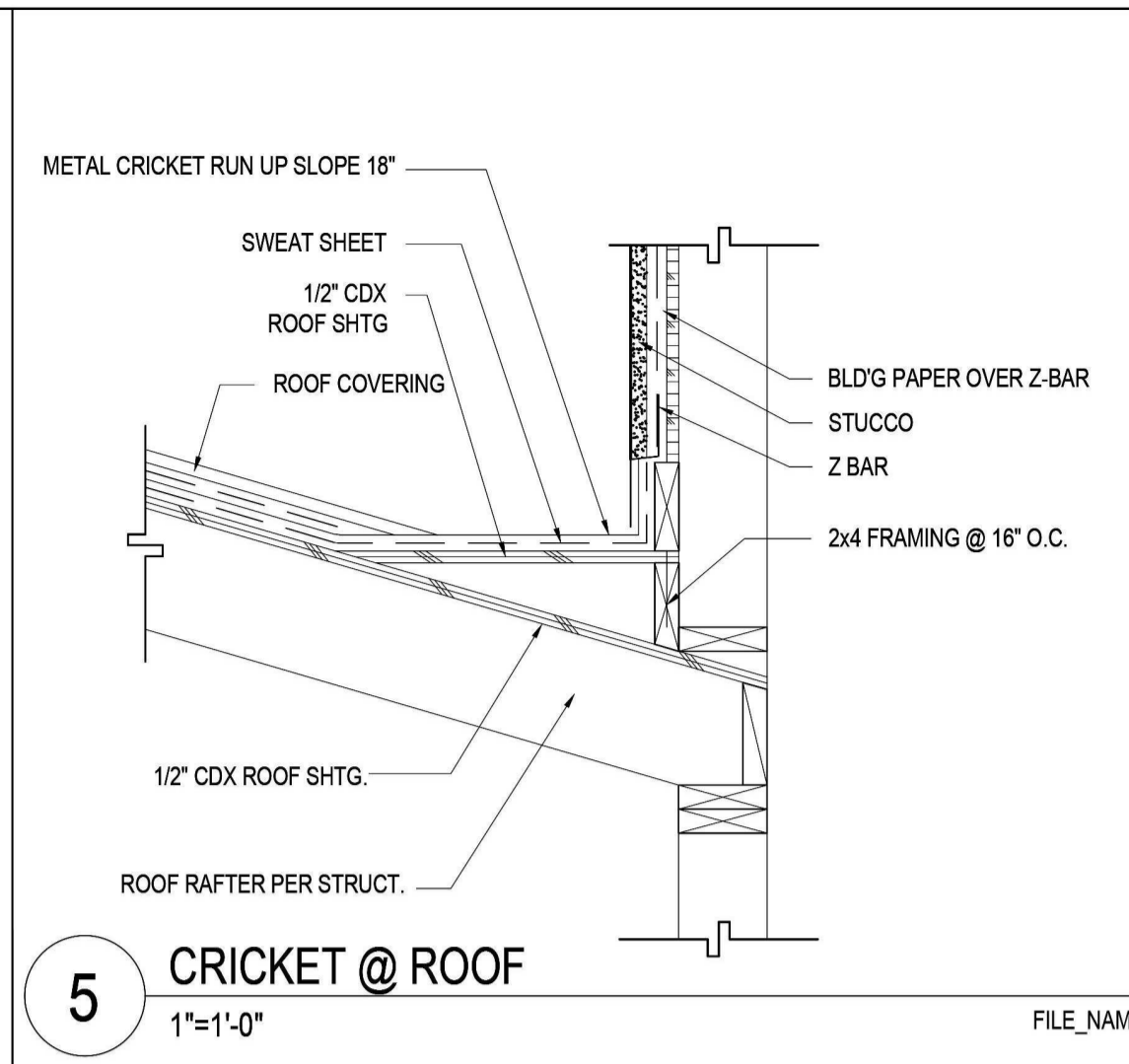
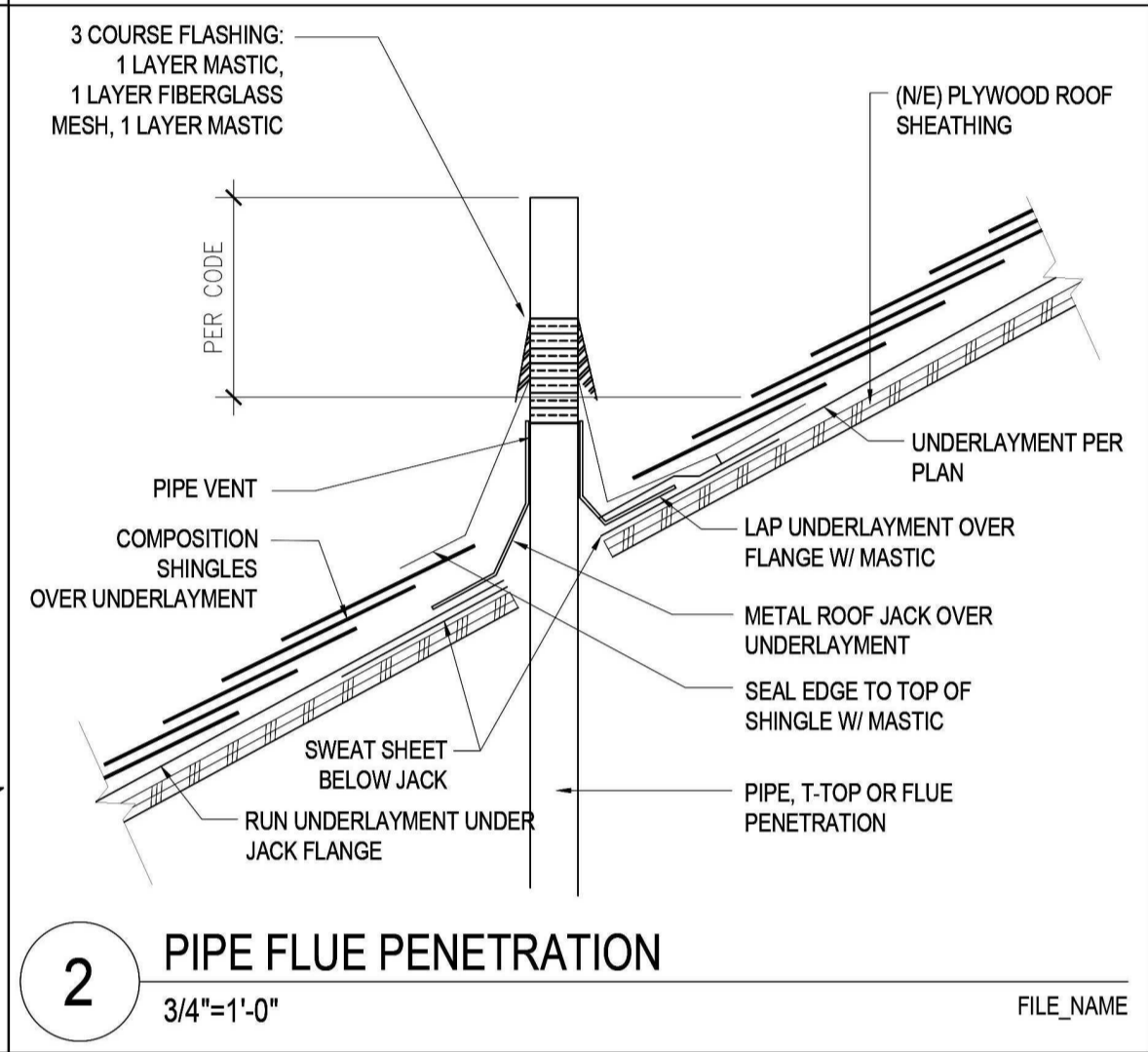
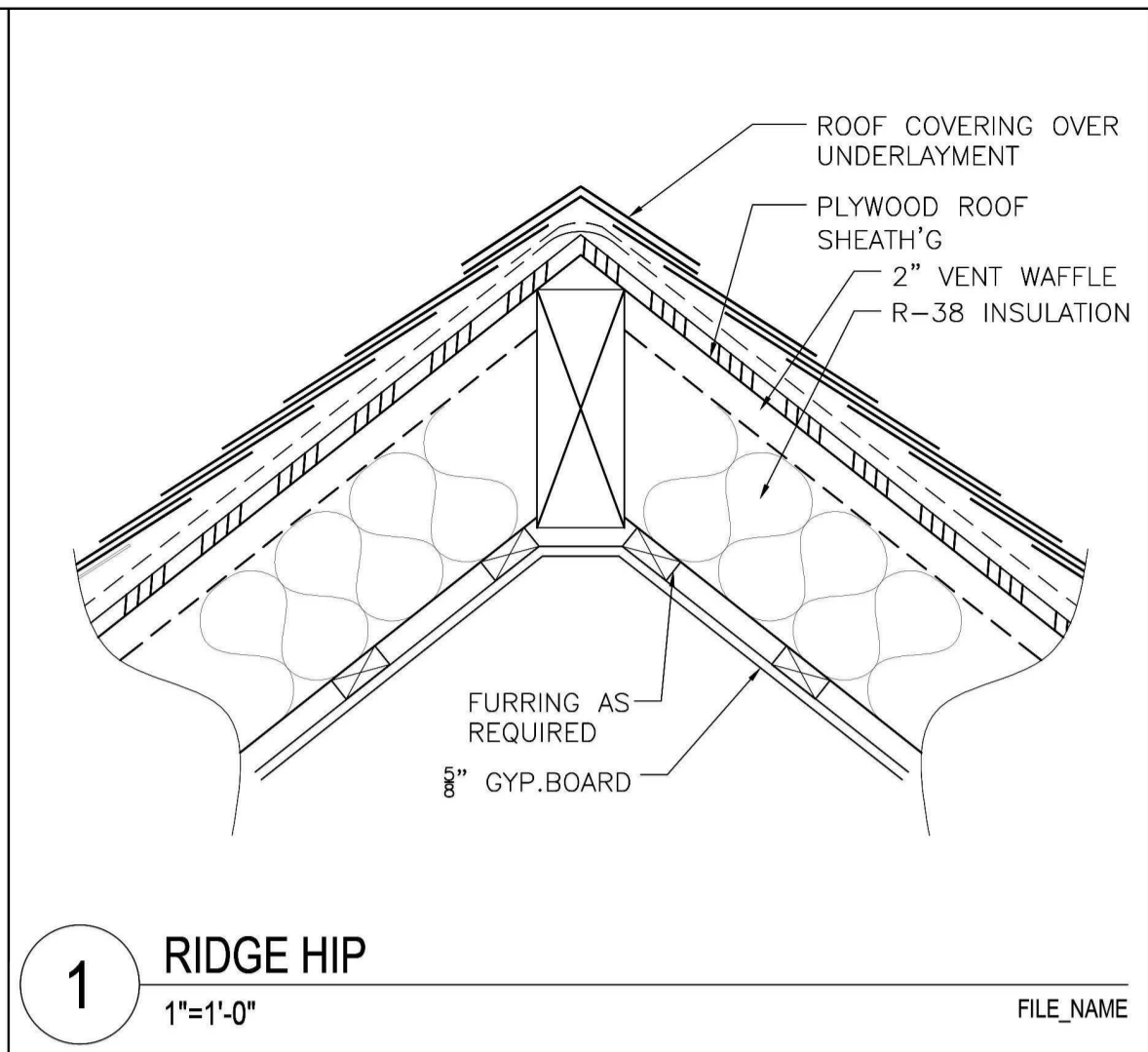
FOOTNOTES:
1. "N/A" DESIGNATION IS FOR SPANS OVER 20 FEET. SINGLE PIECES OF SAWN LUMBER OF THIS LENGTH ARE GENERALLY SPECIAL STOCK ORDER ITEMS AND HAVE NOT BEEN SHOWN.
2. MINIMUM SLOPES 1/4" : 12. MAXIMUM SLOPES 4" : 12. ROOF SURFACES HAVING A SLOPE LESS THAN 1/4" IN 12" ARE CONSIDERED TO BE FLAT ROOFS. FLAT ROOFS MUST BE DESIGNED TO ACCOMMODATE THE POTENTIAL FOR PONDING OF WATER. THIS INFORMATION BULLETIN MAY NOT BE USED FOR THE DESIGN OF FLAT ROOFS.
3. LOAD DURATION FACTOR = 1.25 (NO FLOORS ABOVE)
4. UNINHABITABLE ATTICS WITHOUT STORAGE.
5. TILE ROOFING MATERIALS SHALL CONFORM TO DL ASSUMPTION.

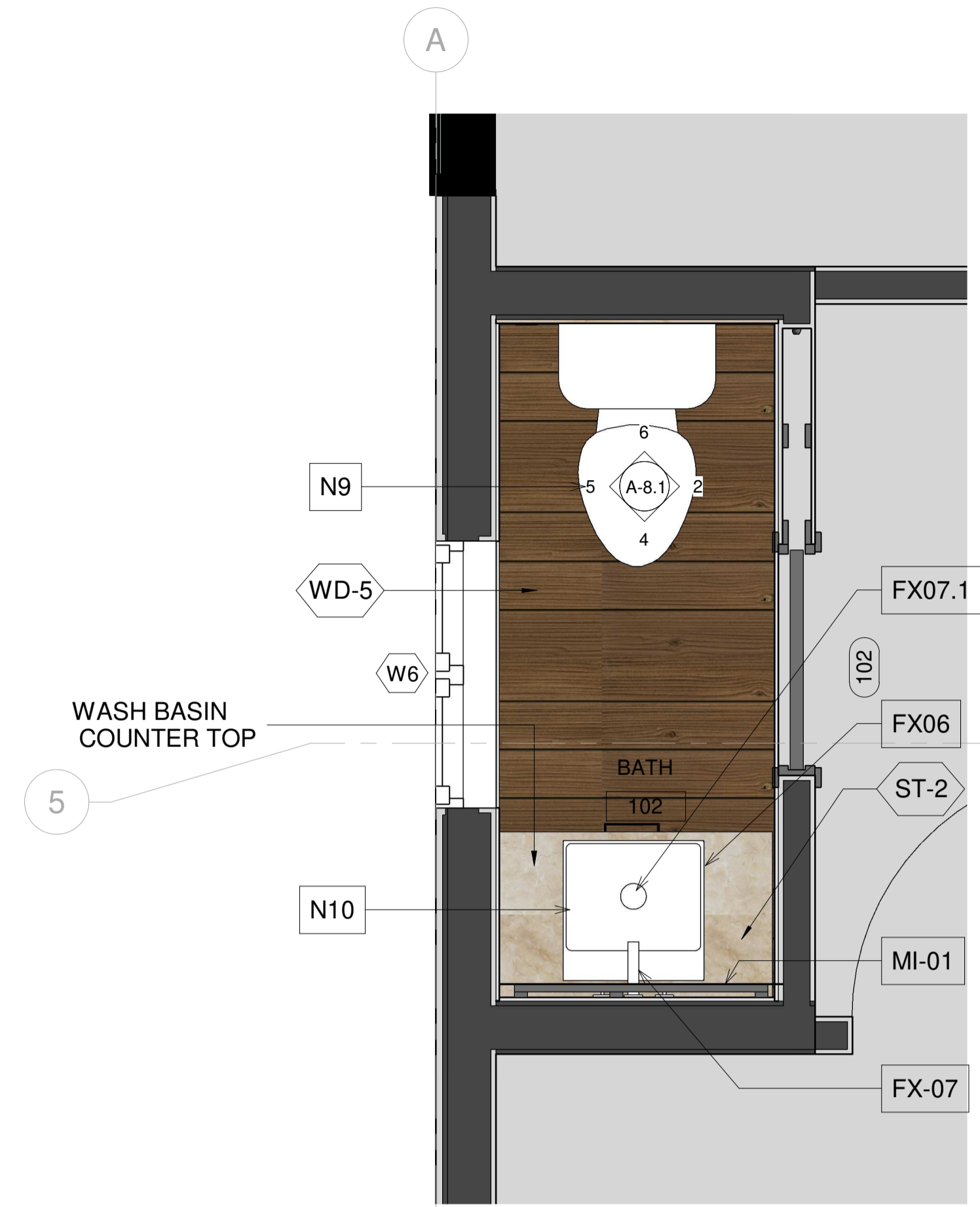


DATE:	23/02/05
CITY SUBMITTAL	
DELTA DESCRIPTION:	
No.	A/A/A/A/A

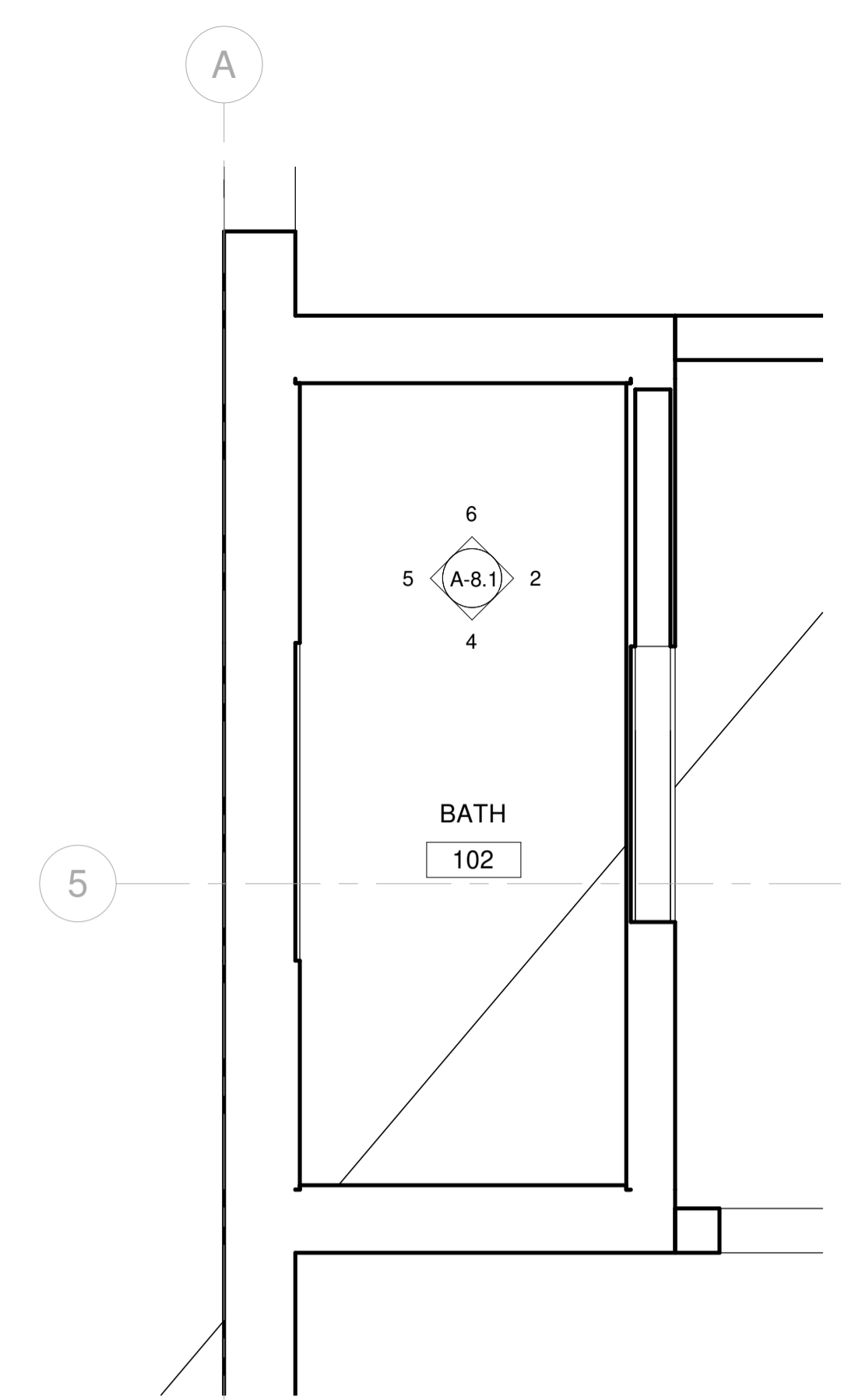
DATE: 23/02/05
SCALE: 3" = 1'-0"
DRAWN BY:
CKD BY:
PROJECT : 202107199

DRAWING NO.
A-7.2

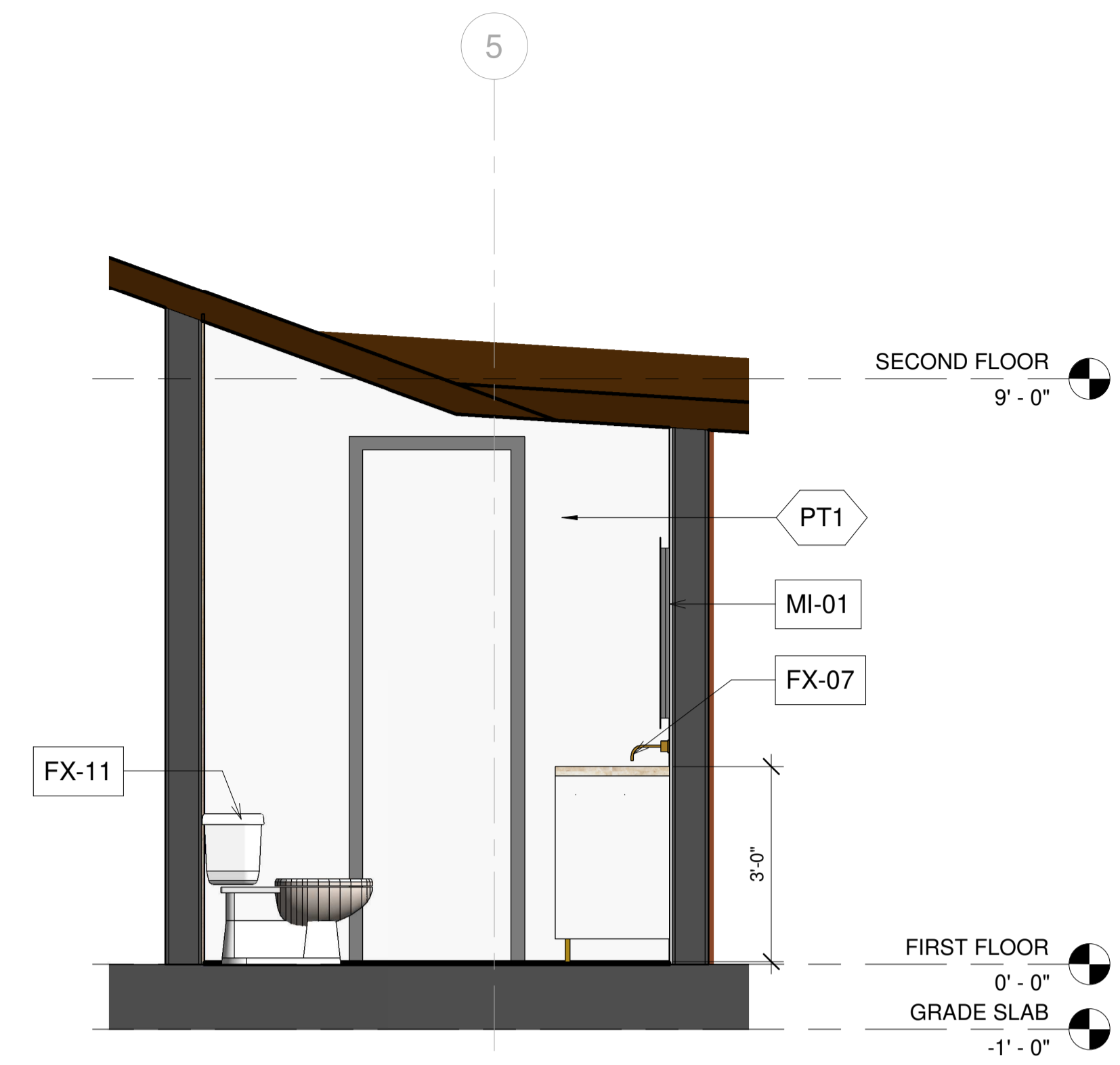




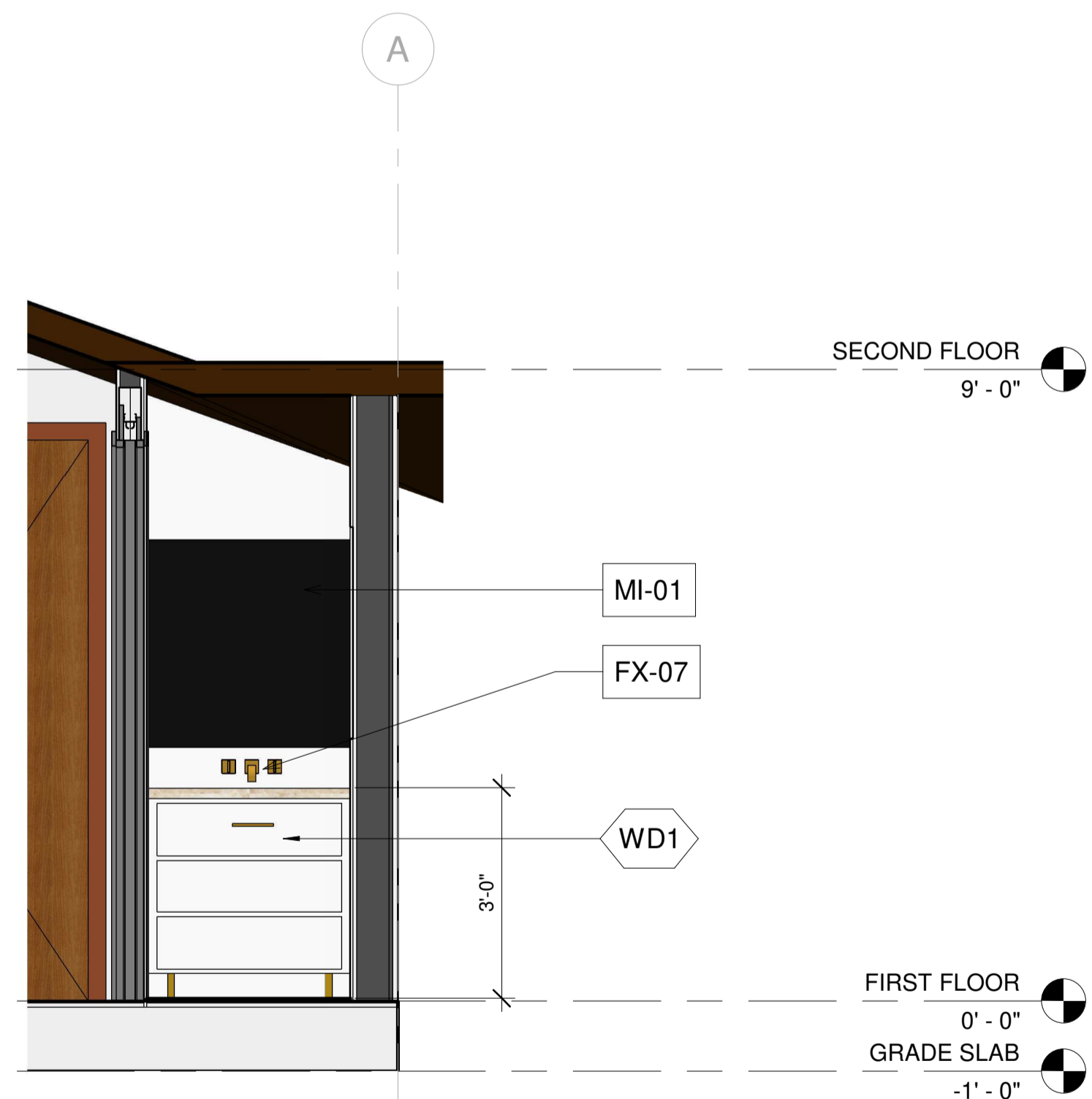
1 BATH 102 ENLARGED PLAN
3/4" = 1'-0"



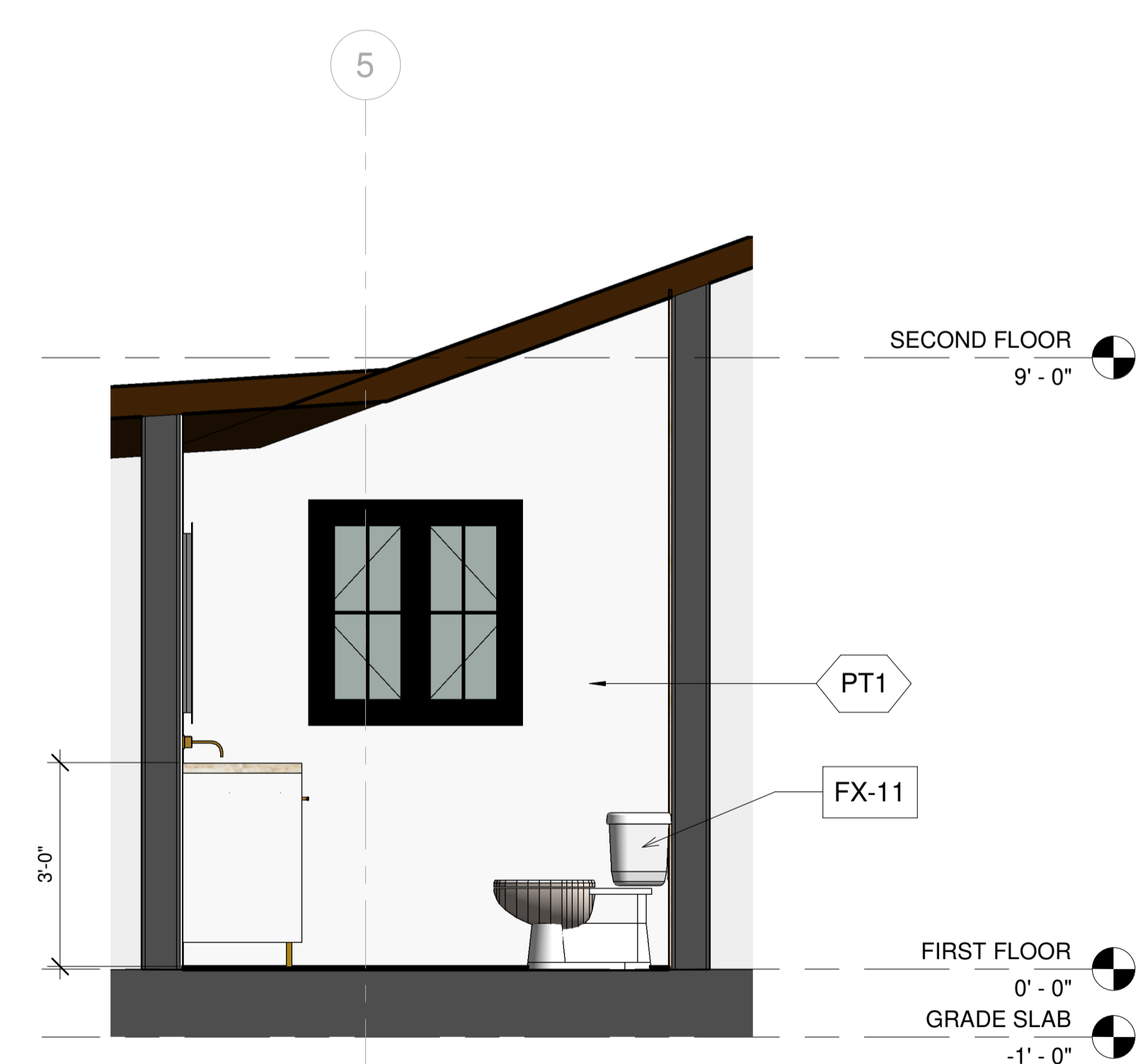
3 BATH 102 RCP
3/4" = 1'-0"



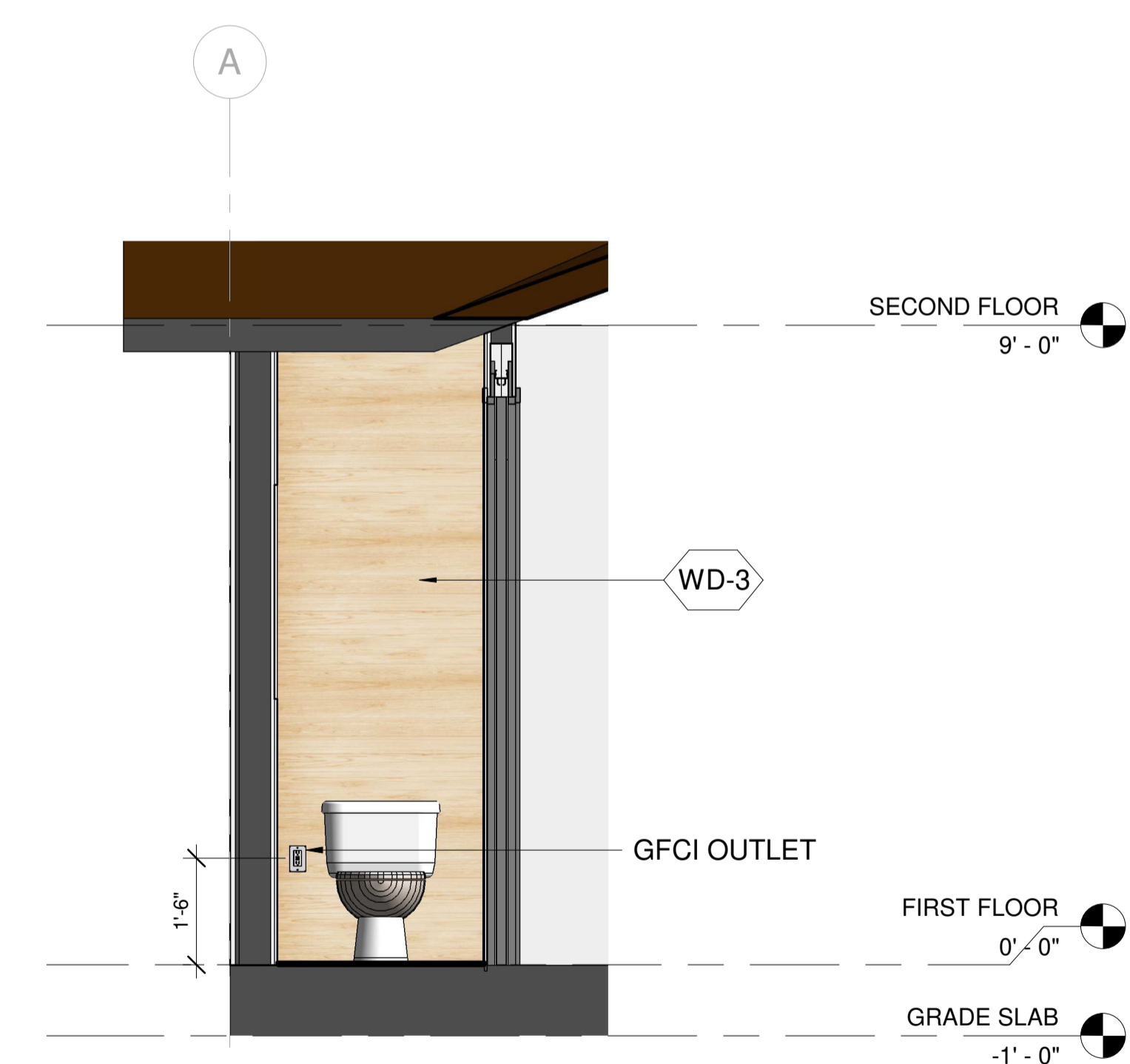
2 BATH 102 ELEVATION-A
1/2" = 1'-0"



4 BATH 102 ELEVATION-B
1/2" = 1'-0"



5 BATH 102 ELEVATION-C
1/2" = 1'-0"



6 BATH 102 ELEVATION-D
1/2" = 1'-0"

KEY NOTE

N1	ADD GAS TO EXISTING FIRE PLACE
N2	REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
N3	OUTDOOR BBQ
N4	NEW FLOORING
N5	REMOVE FLAT CEILING
N6	PROVIDE SKYLIGHT
N7	FLOATING SINK WITH VANITY
N8	NEW TUB
N9	NEW WATER CLOSET
N10	NEW SINK
N11	NEW BIDET
N12	GFCI OUTLET
N13	REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
N14	18" X 24" ROOF VENT 72 SQ. INCH EACH
E1	EXISTING SKYLIGHT TO REMAIN

LEGEND

[Square symbol]	FIXTURE TAG REFER TO A8.9 & A8.10
[Hexagon symbol]	FINISH TAG REFER TO A8.9

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94033
PHONE: (888) 311-3015 FAX: (650) 695-1801

ENLARGED DETAILS - BATH 102
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

No.	DATE	DELTA DESCRIPTION:
1	23/02/05	CITY SUBMITTAL
2		
3		
4		
5		

DATE: 23/02/05
SCALE: As indicated
DRAWN BY :
CKD BY :
PROJECT : 202107199

DRAWING NO.
A-8.1



ENLARGED DETAILS - BATH 102
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE: 23/02/05

No.	1	2	3	4	5
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DATE: 23/02/05

SCALE:

DRAWN BY :

CKD BY:

PROJECT : 202107199

DRAWING NO.

A-8.1.2



1 BATH 102.1



2 BATH 102.2

- KEY NOTE**
- N1 ADD GAS TO EXISTING FIRE PLACE
 - N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
 - N3 OUTDOOR BBQ
 - N4 NEW FLOORING
 - N5 REMOVE FLAT CEILING
 - N6 PROVIDE SKYLIGHT
 - N7 FLOATING SINK WITH VANITY
 - N8 NEW TUB
 - N9 NEW WATER CLOSET
 - N10 NEW SINK
 - N11 NEW BIDET
 - N12 GFCI OUTLET
 - N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
 - N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
 - E1 EXISTING SKYLIGHT TO REMAIN

- LEGEND**
- FIXTURE TAG REFER TO A8.9 & A8.10
 - FINISH TAG REFER TO A8.9

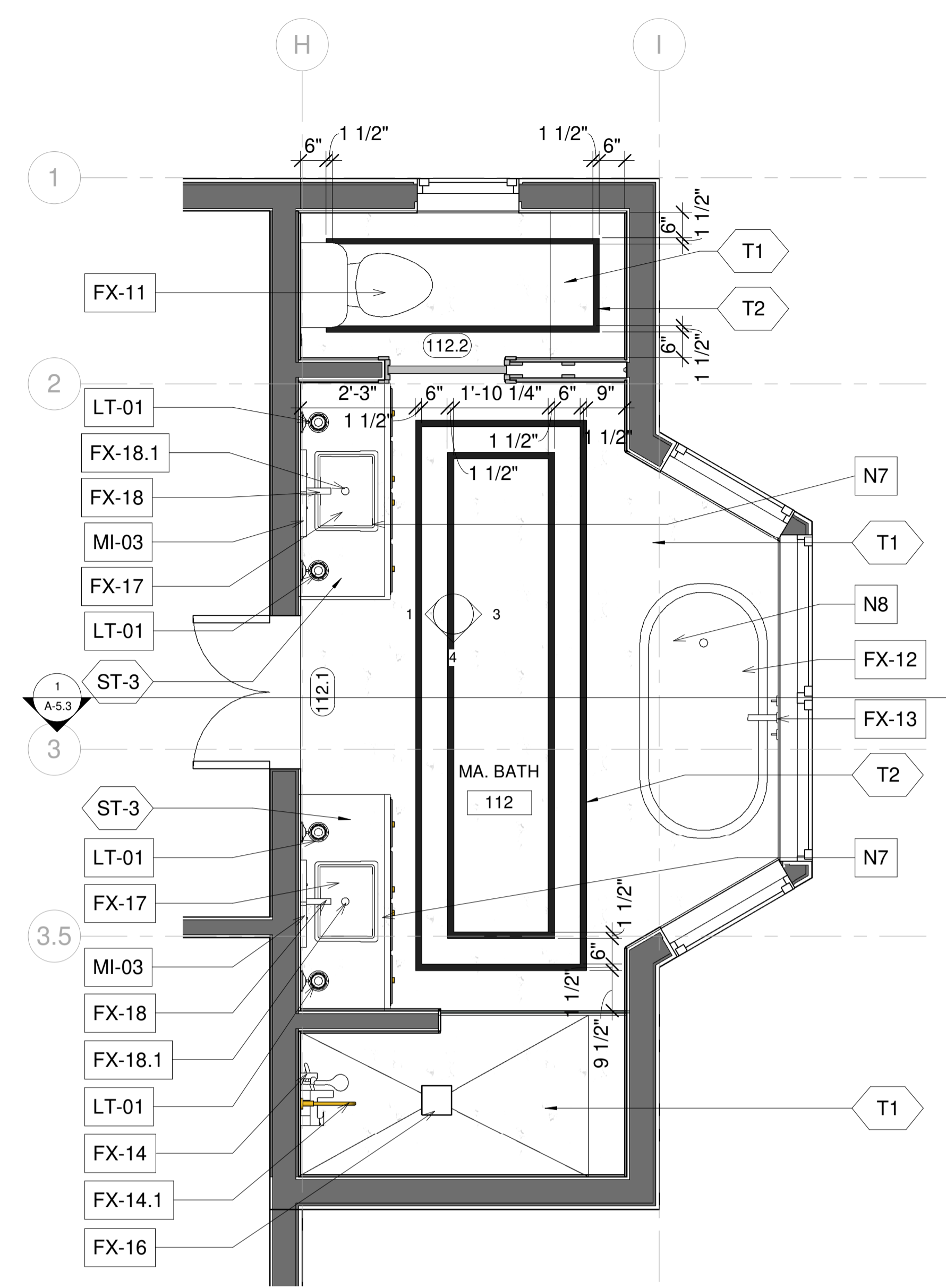
DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

ENLARGED DETAILS - BATH 112
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

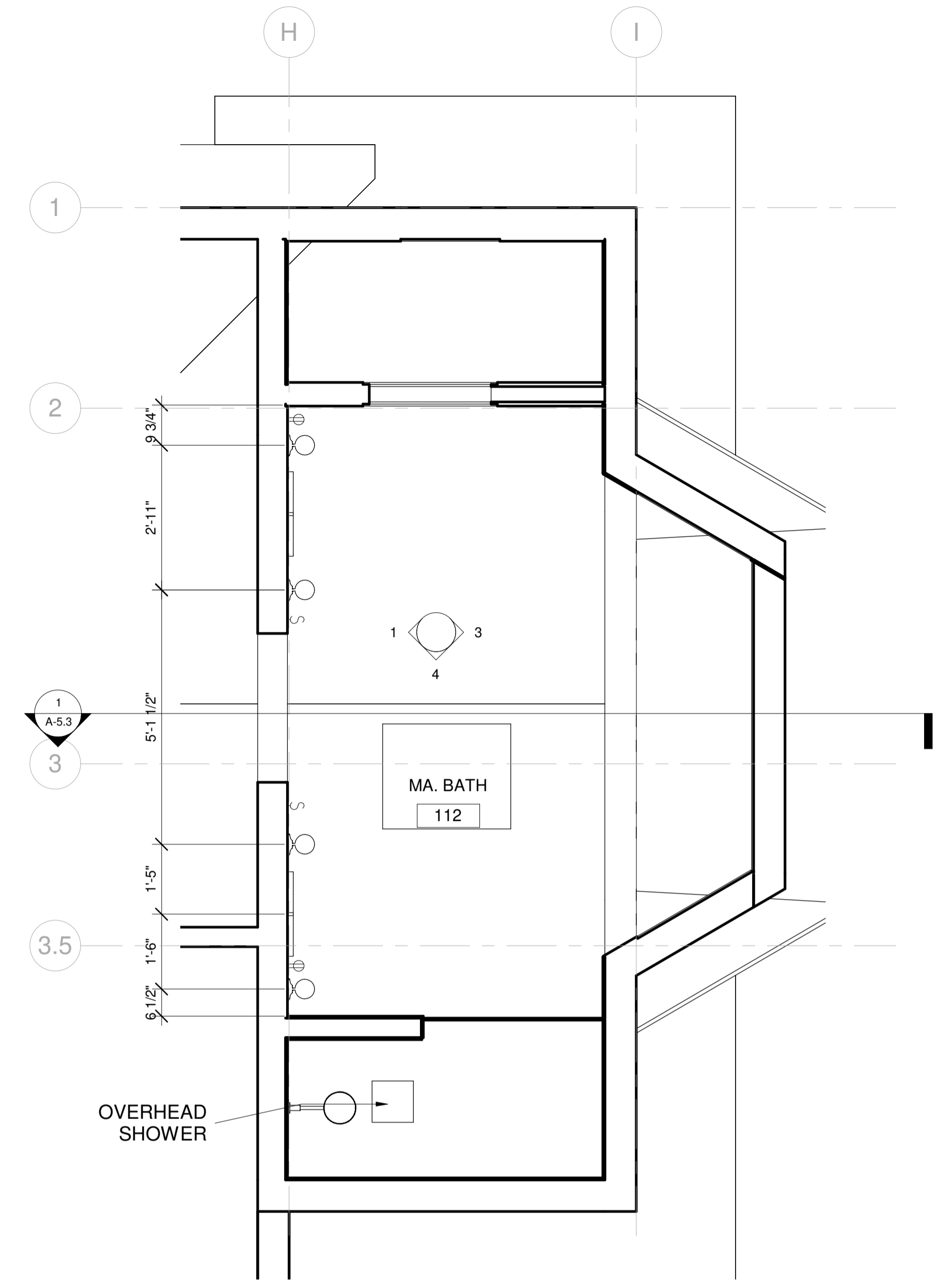
No.	DATE:	DELTA DESCRIPTION:
	23/02/05	CITY SUBMITTAL

DATE: 23/02/05
SCALE: As indicated
DRAWN BY:
CKD BY:
PROJECT : 202107199

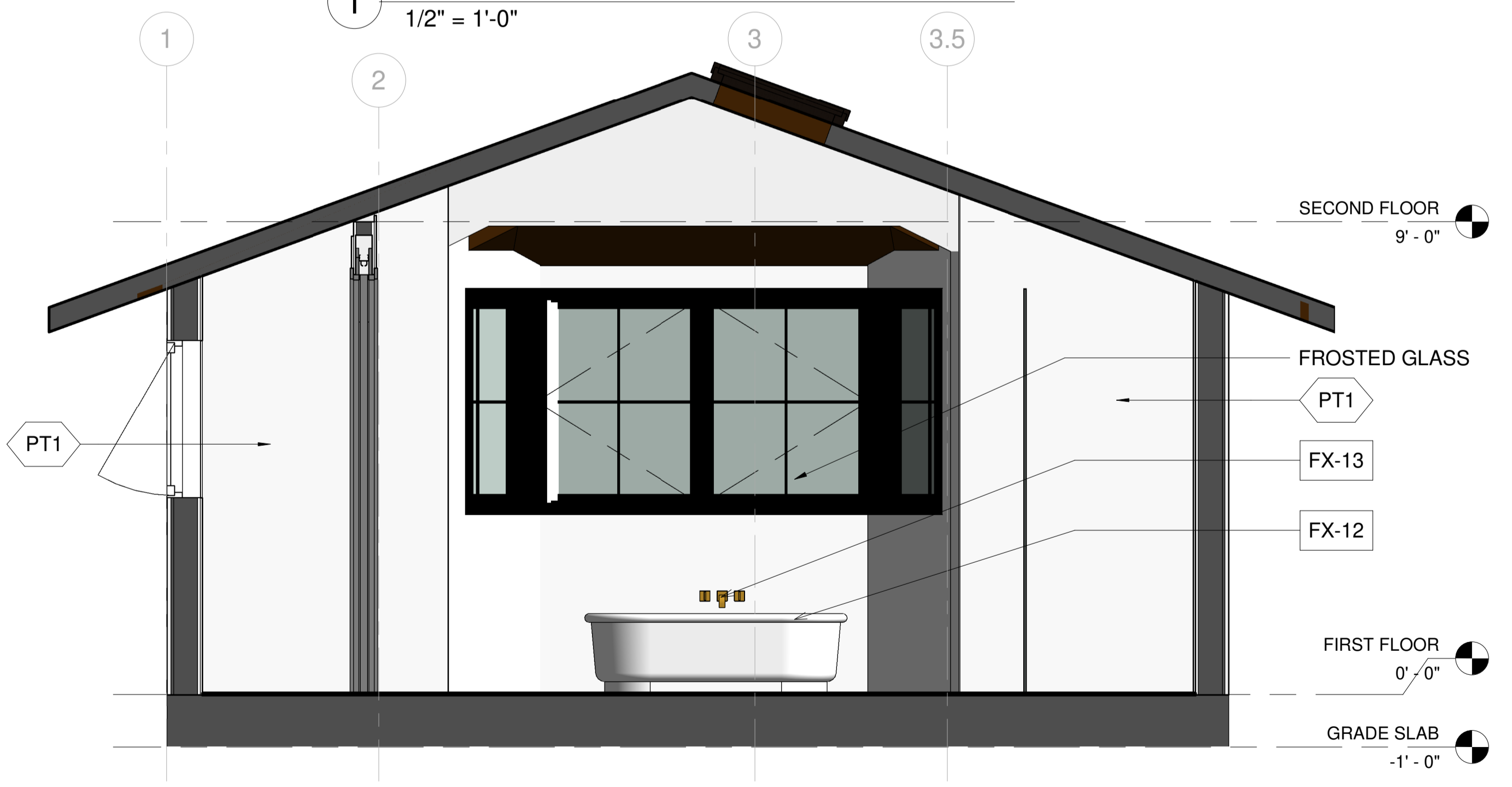
DRAWING NO.
A-8.2



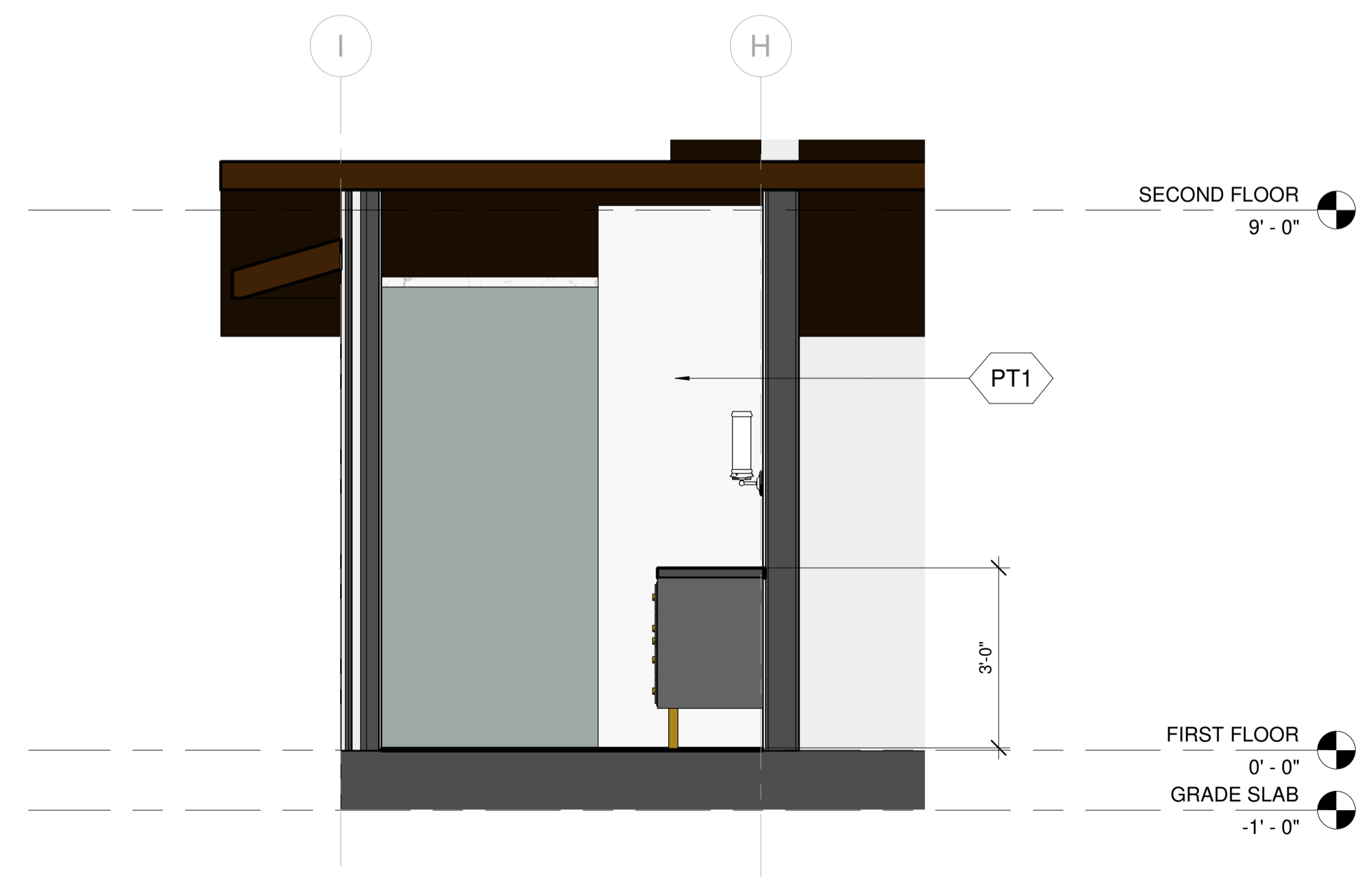
1 BATH 112 ENLARGED PLAN
1/2" = 1'-0"



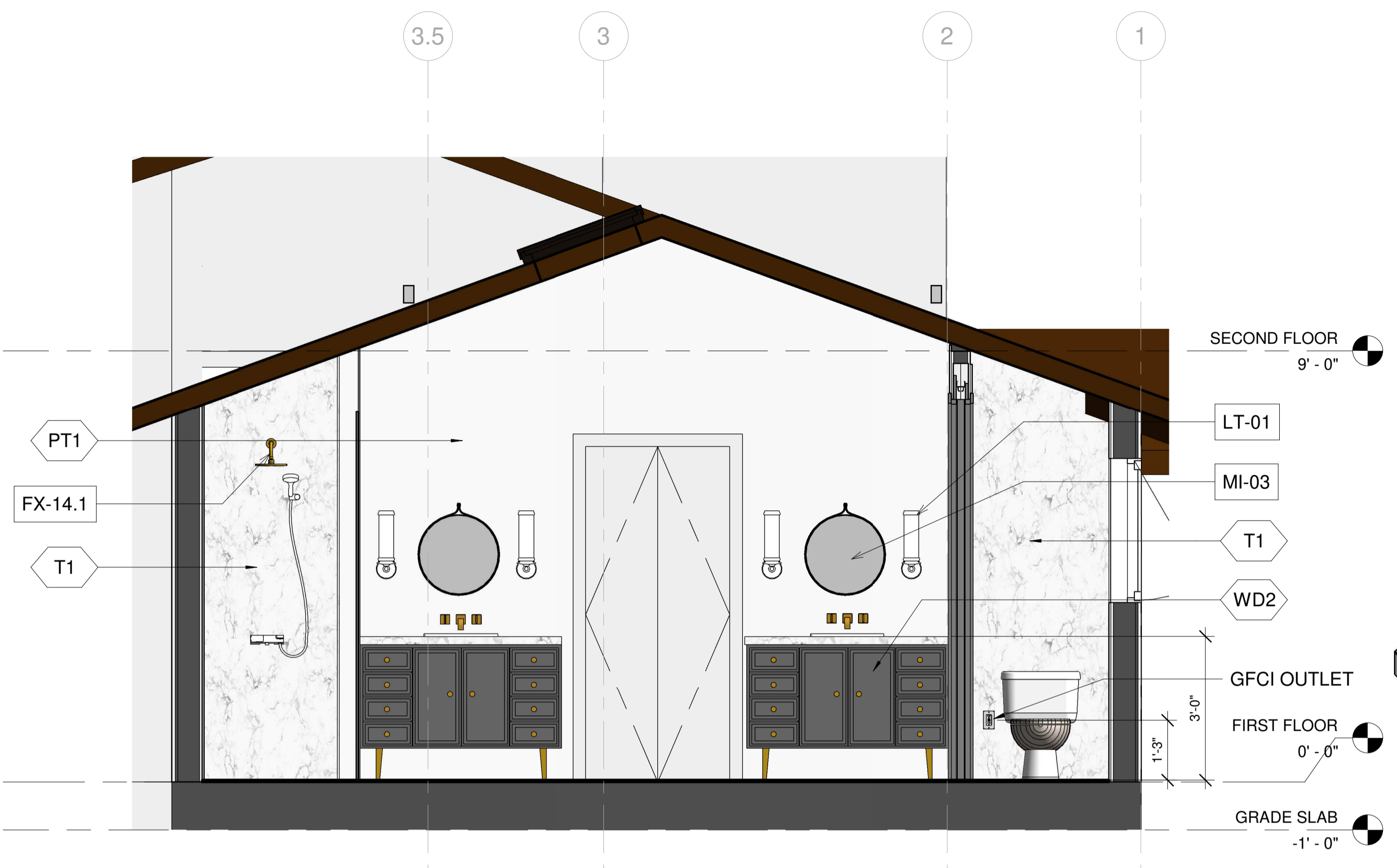
2 BATH 112 RCP
1/2" = 1'-0"



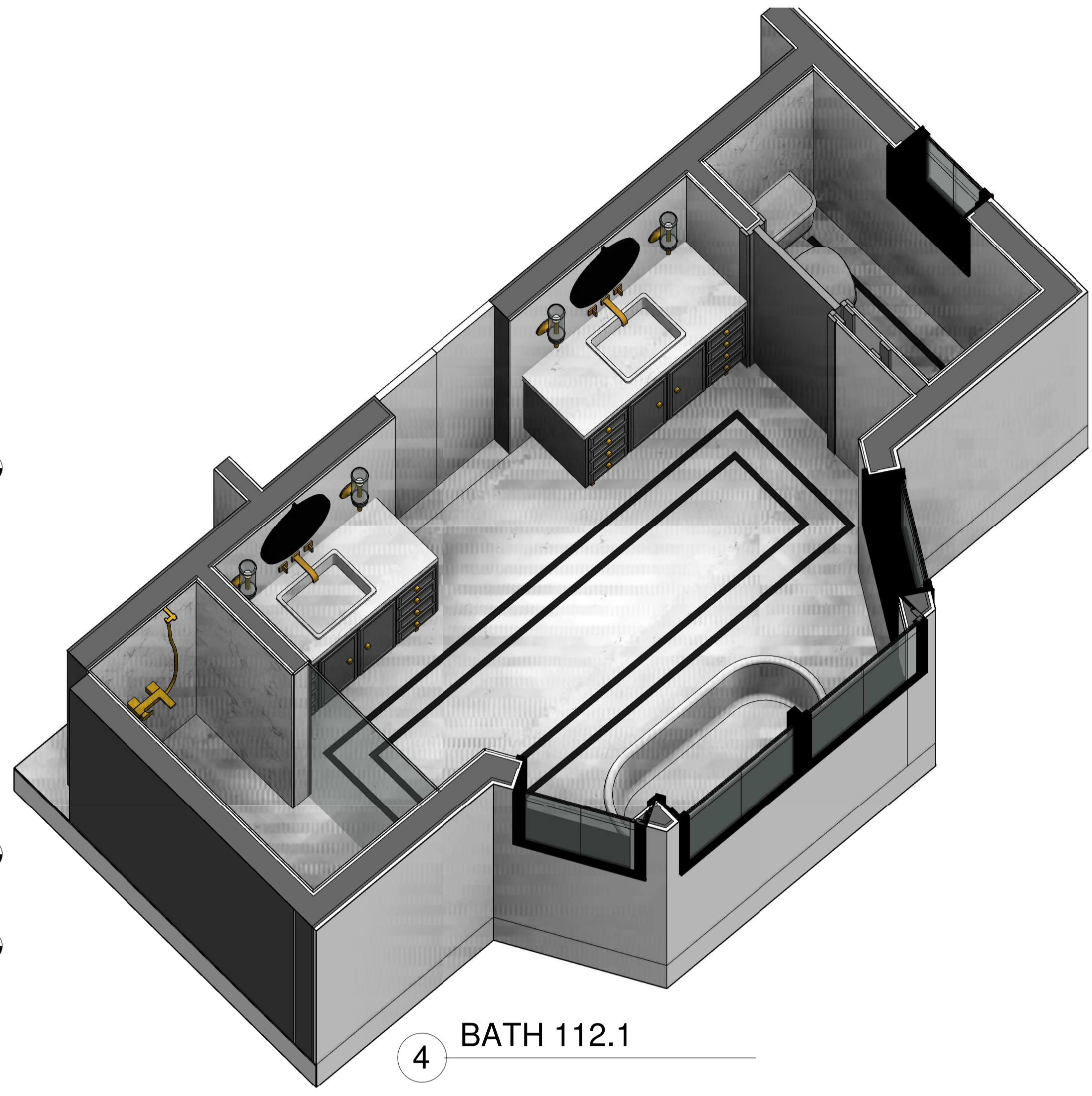
3 MA. BATH ELEVATION - A
1/2" = 1'-0"



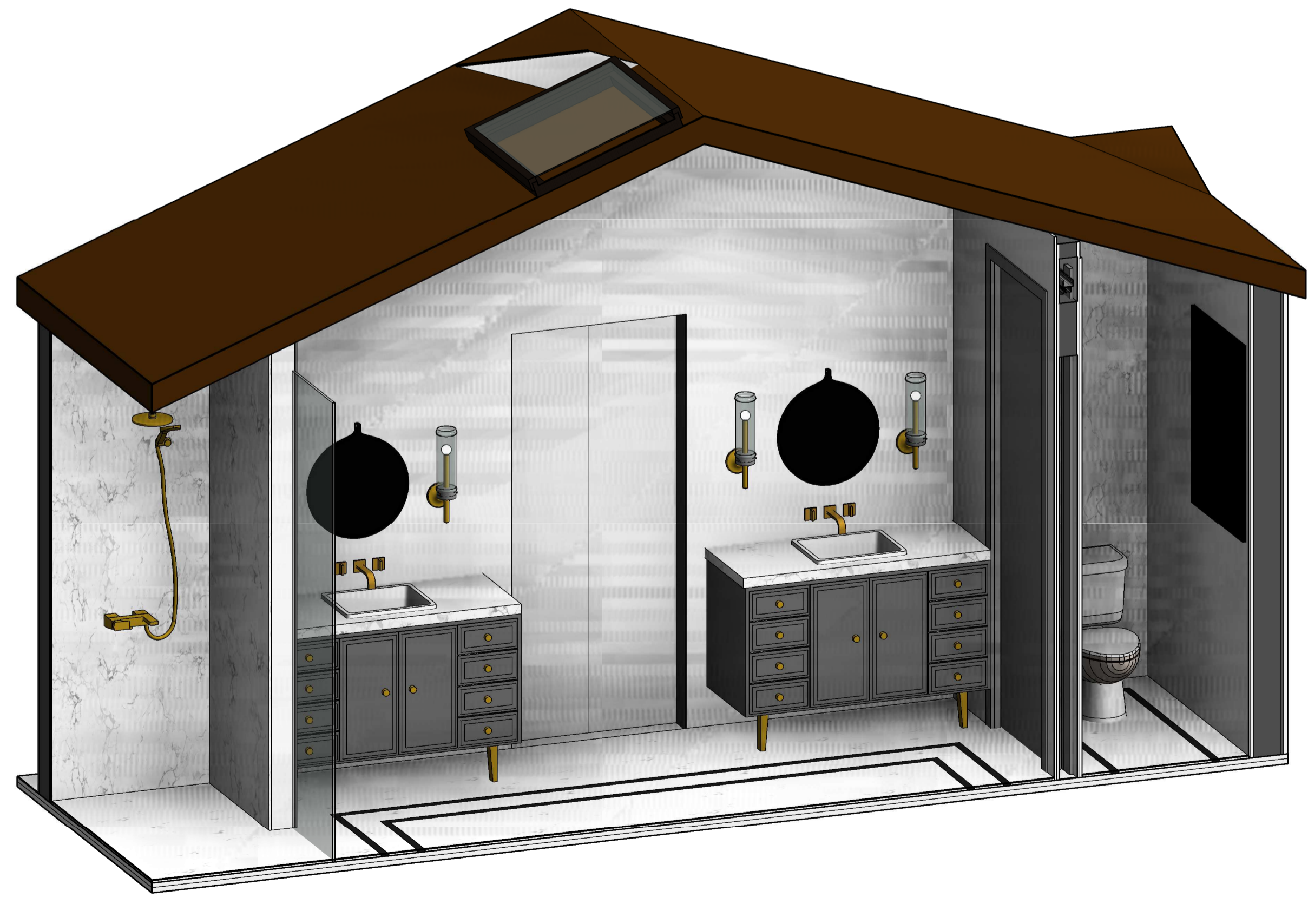
4 MA. BATH ELEVATION - B
1/2" = 1'-0"



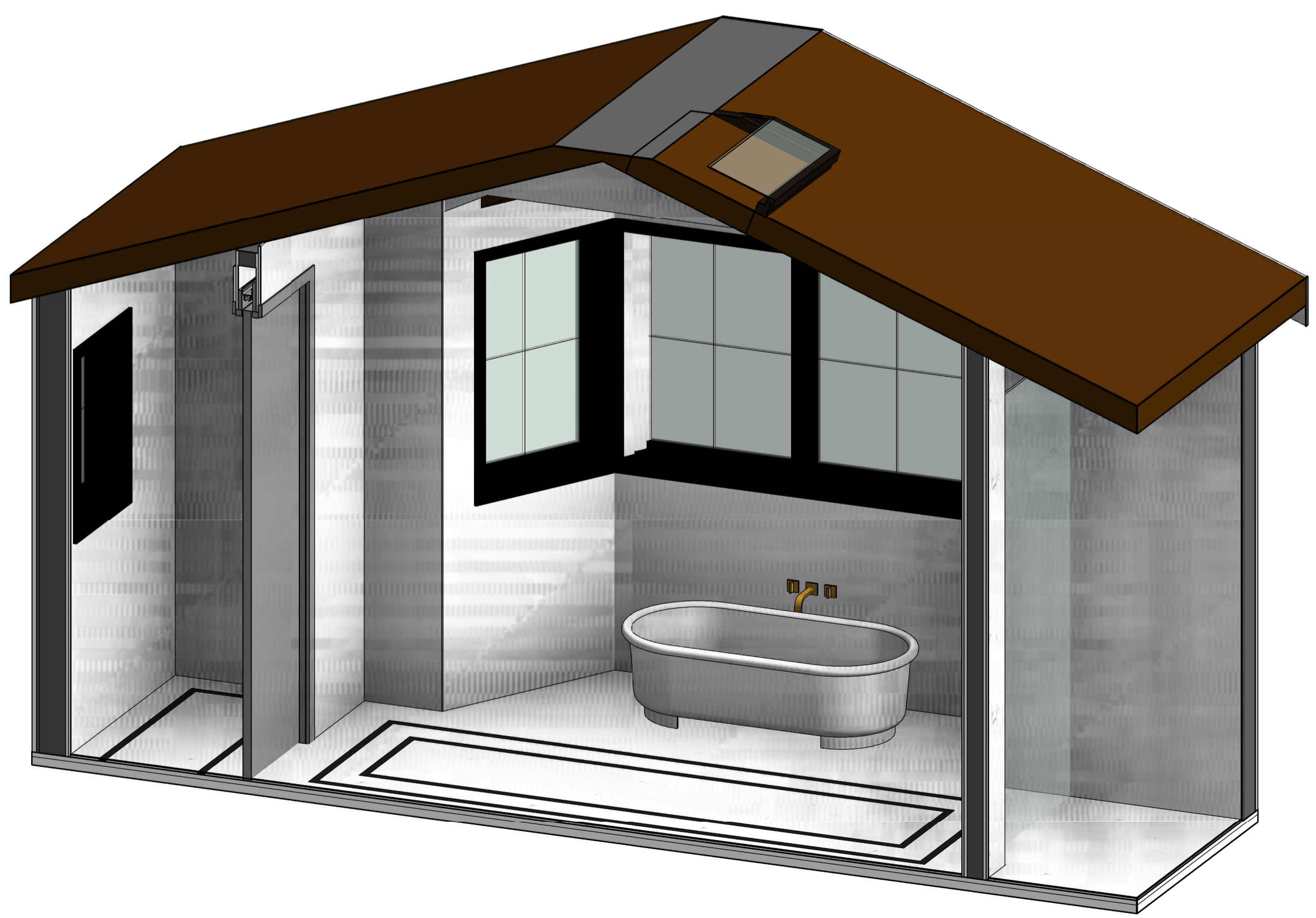
1 MA. BATH ELEVATION-C
1/2" = 1'-0"



4 BATH 112.1



2 BATH 112.2



3 BATH 112.3

KEY NOTE

- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

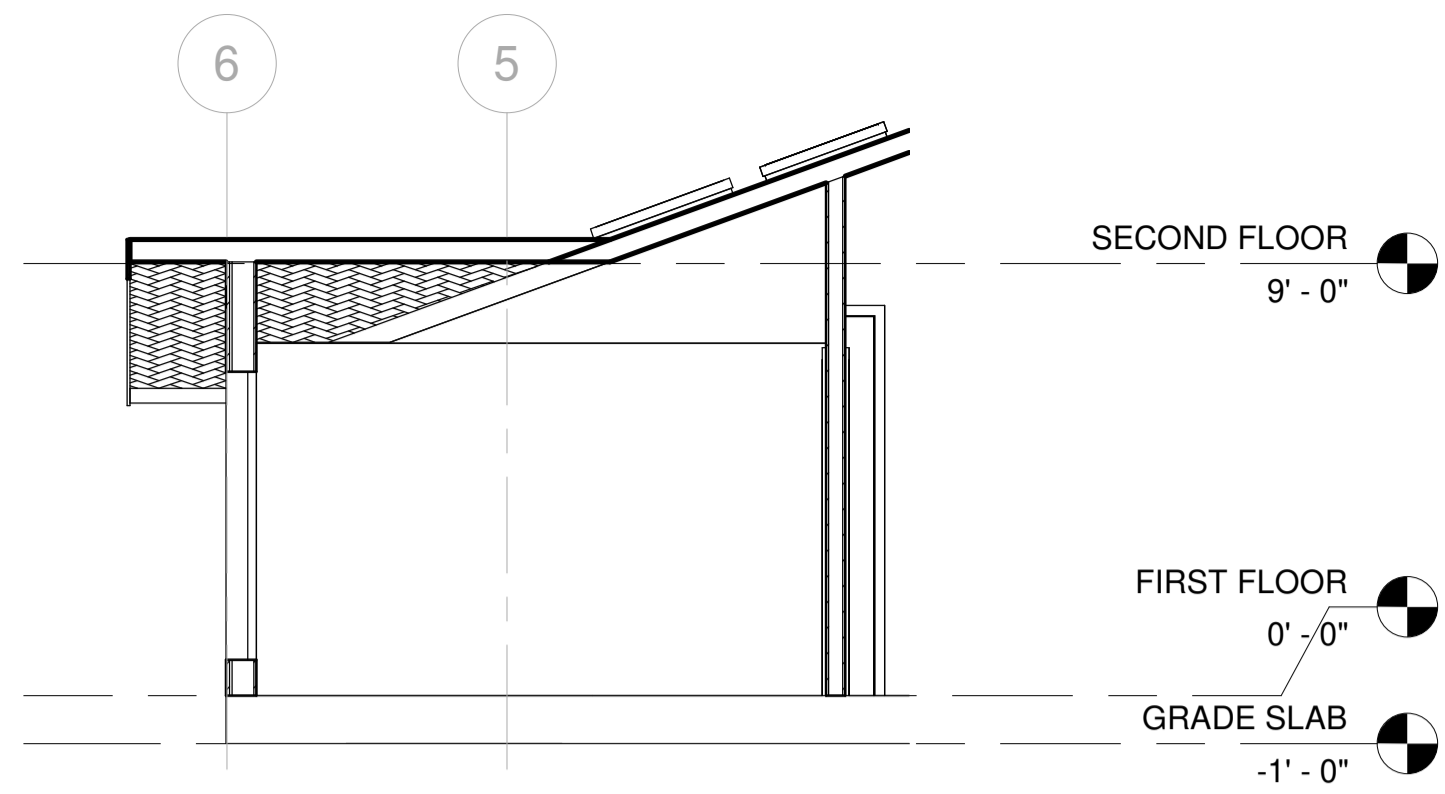
- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

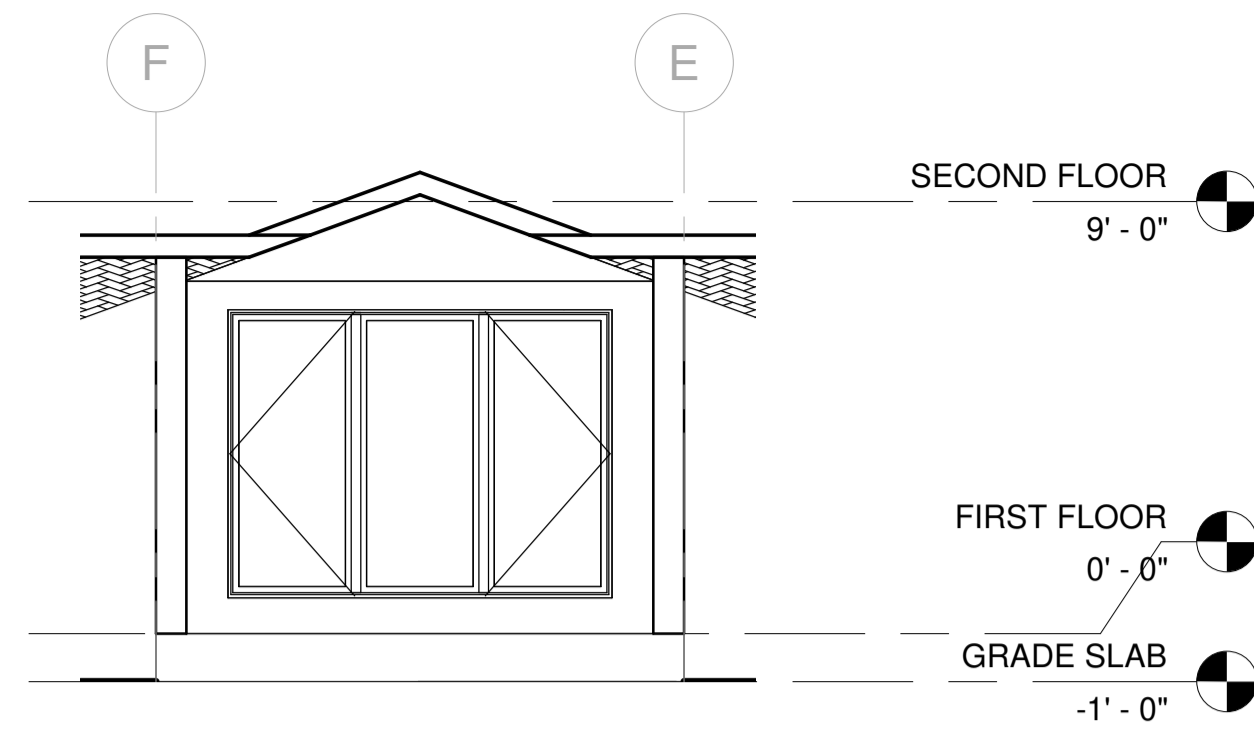
ENLARGED DETAILS - BATH 112
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

No.	DATE:	DELTA DESCRIPTION:	
A	23/02/05	CITY SUBMITTAL	
A			
A			
A			
DATE:		23/02/05	
SCALE:		As indicated	
DRAWN BY :			
CKD BY:			
PROJECT :		202107199	

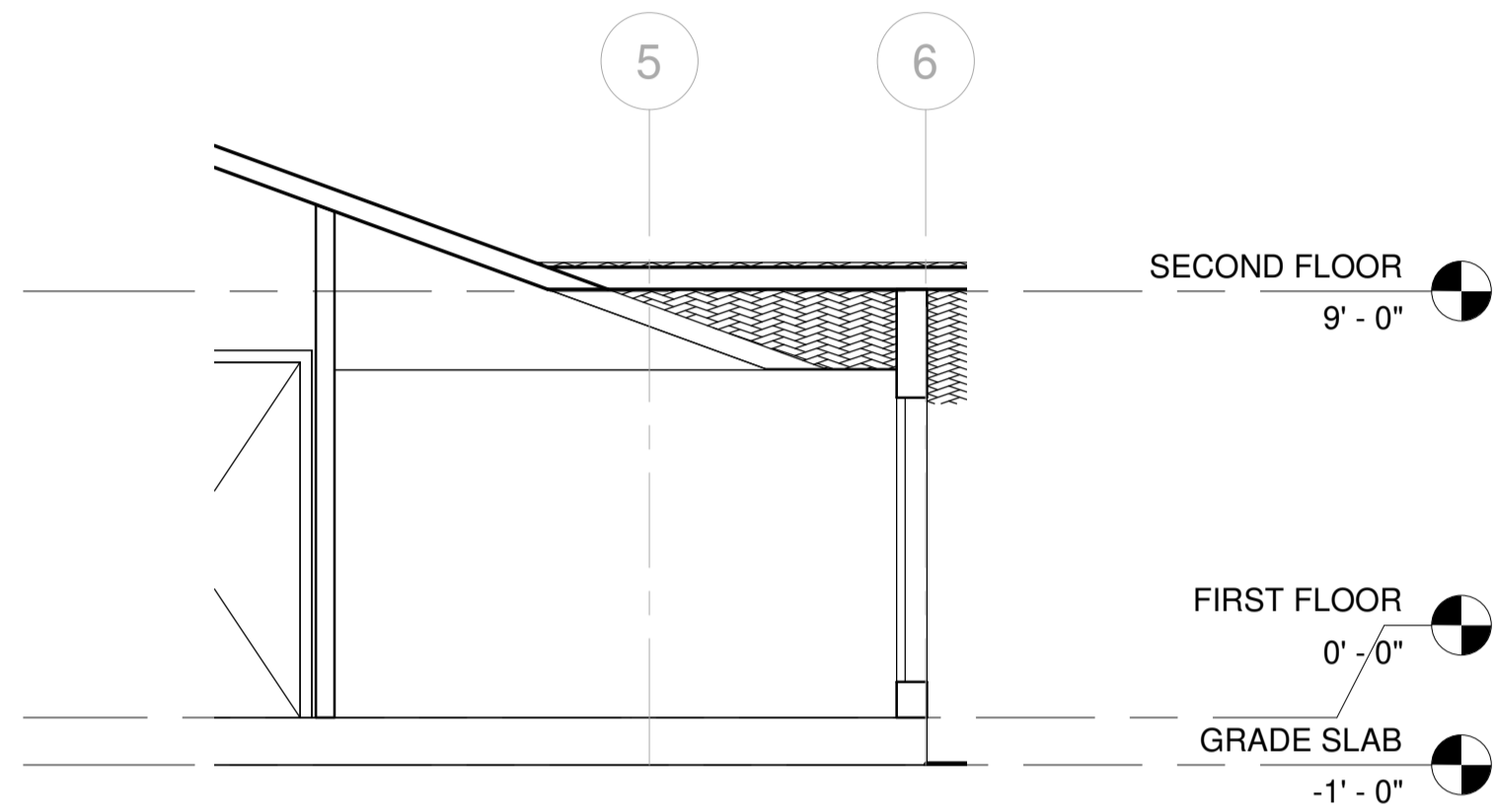
DRAWING NO.
A-8.2.2



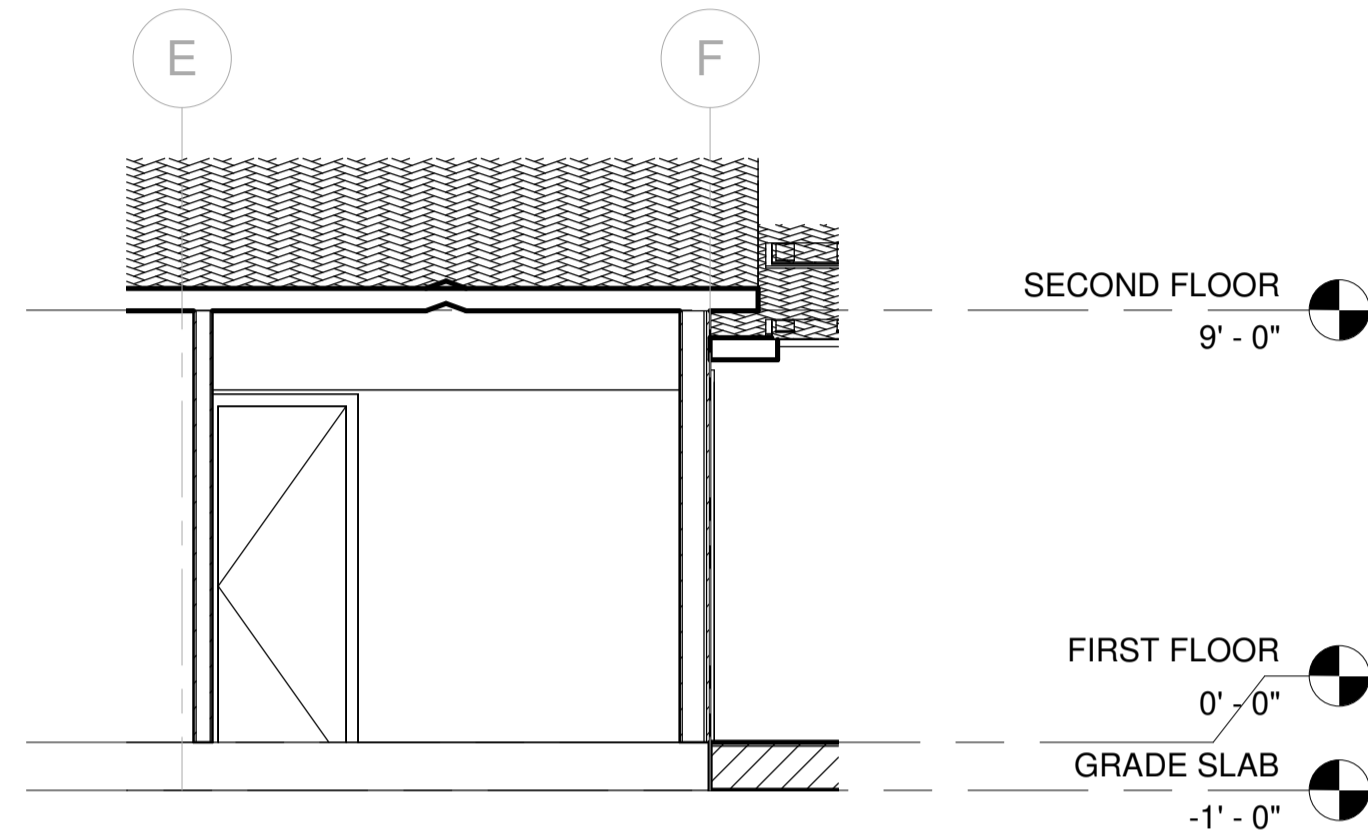
2 OFFICE ELEVATION - A
1/4" = 1'-0"



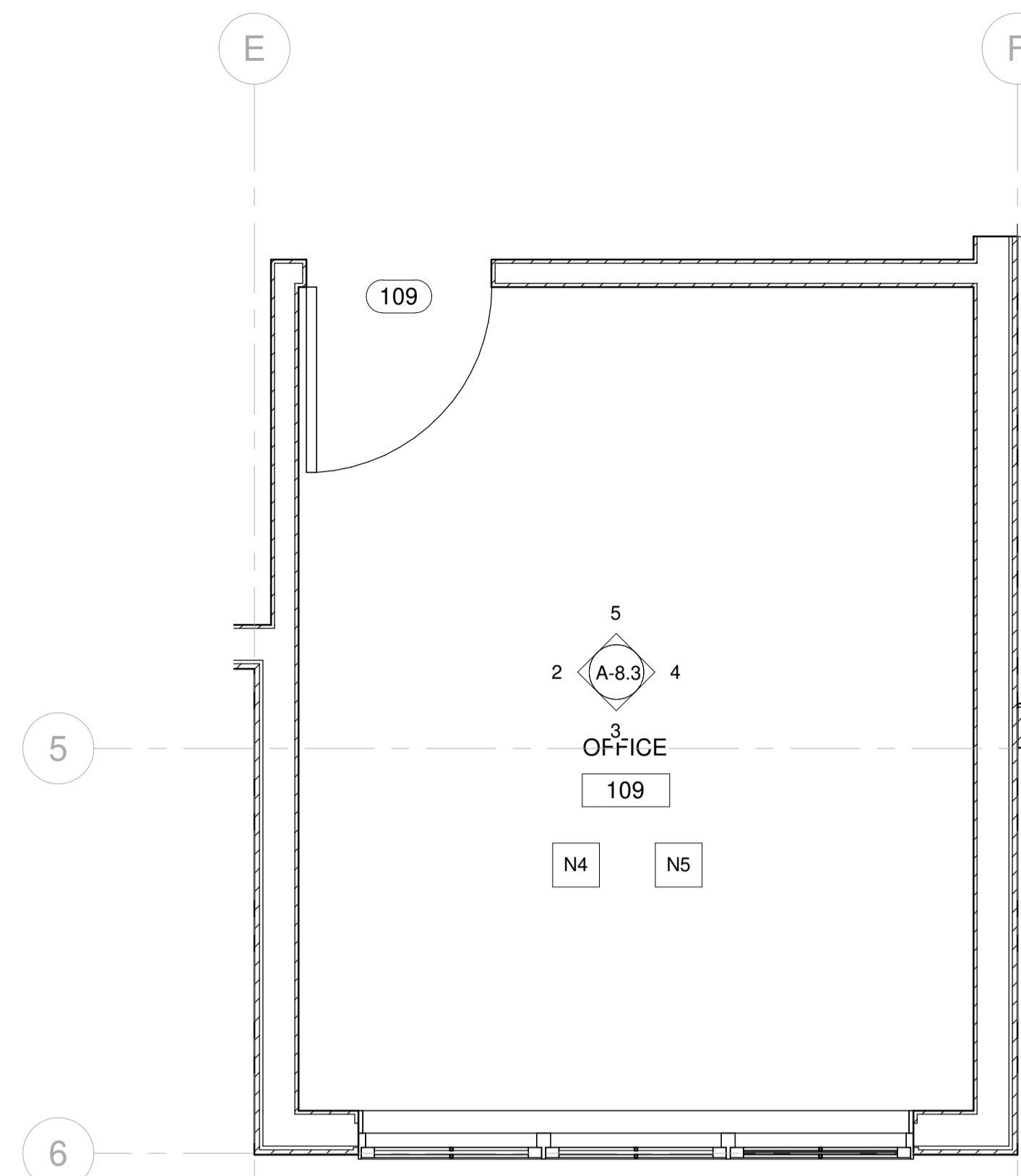
3 OFFICE ELEVATION - B
1/4" = 1'-0"



4 OFFICE ELEVATION - C
1/4" = 1'-0"



5 OFFICE ELEVATION - D
1/4" = 1'-0"



1 OFFICE 109 ENLARGED PLAN
1/2" = 1'-0"

KEY NOTE

- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

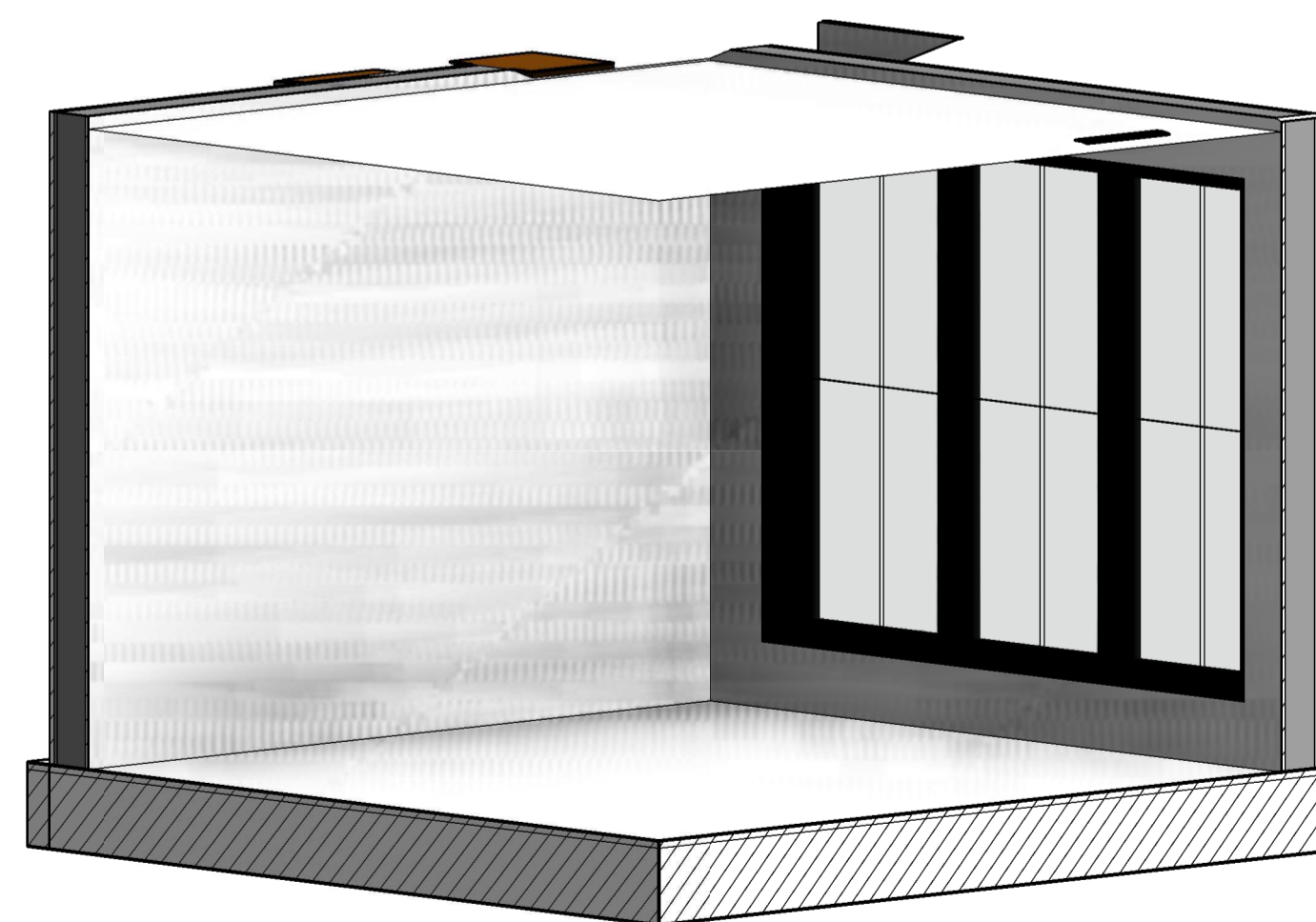
LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

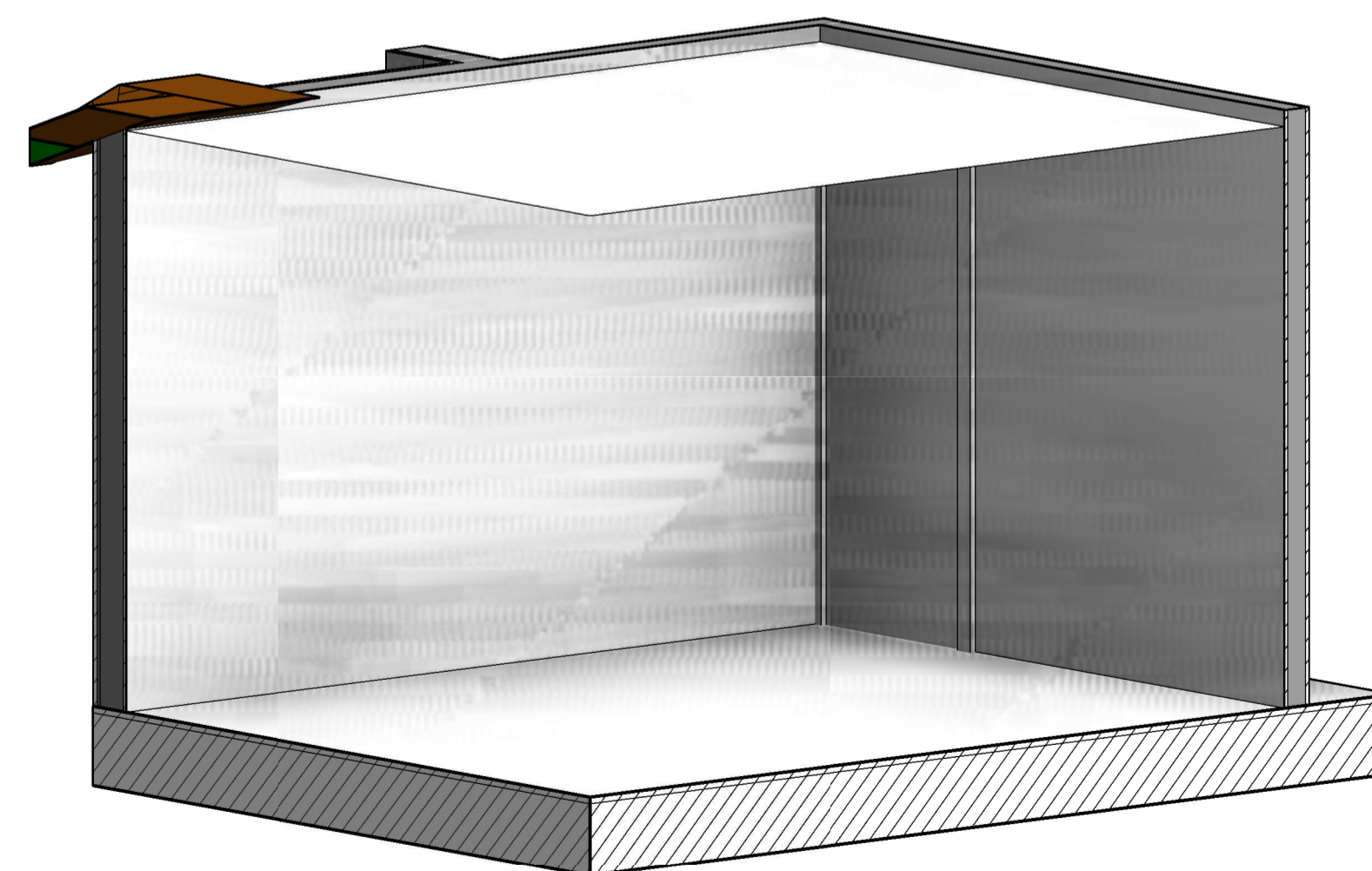
DESIGN EVEREST
CONSULTING ENGINEERS

365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

ENLARGED DETAILS-OFFICE 109
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024



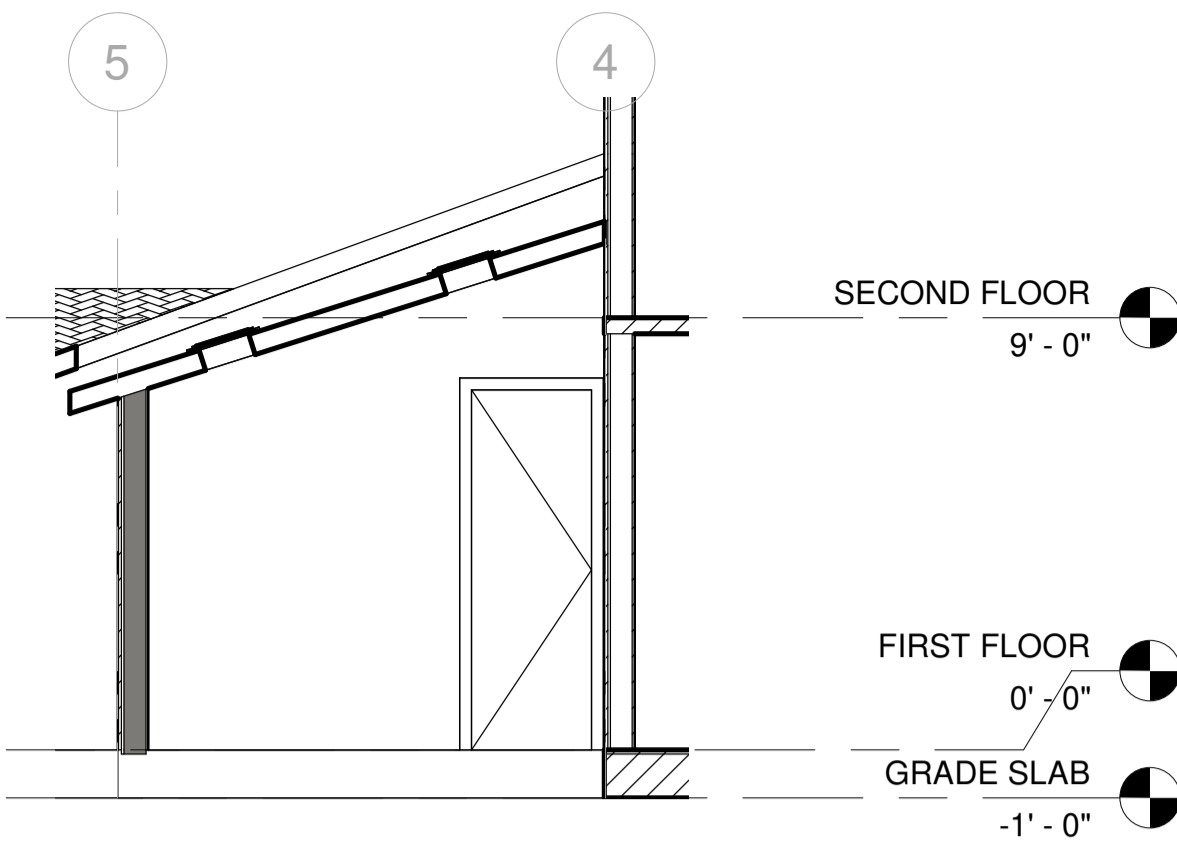
6 OFFICE 109



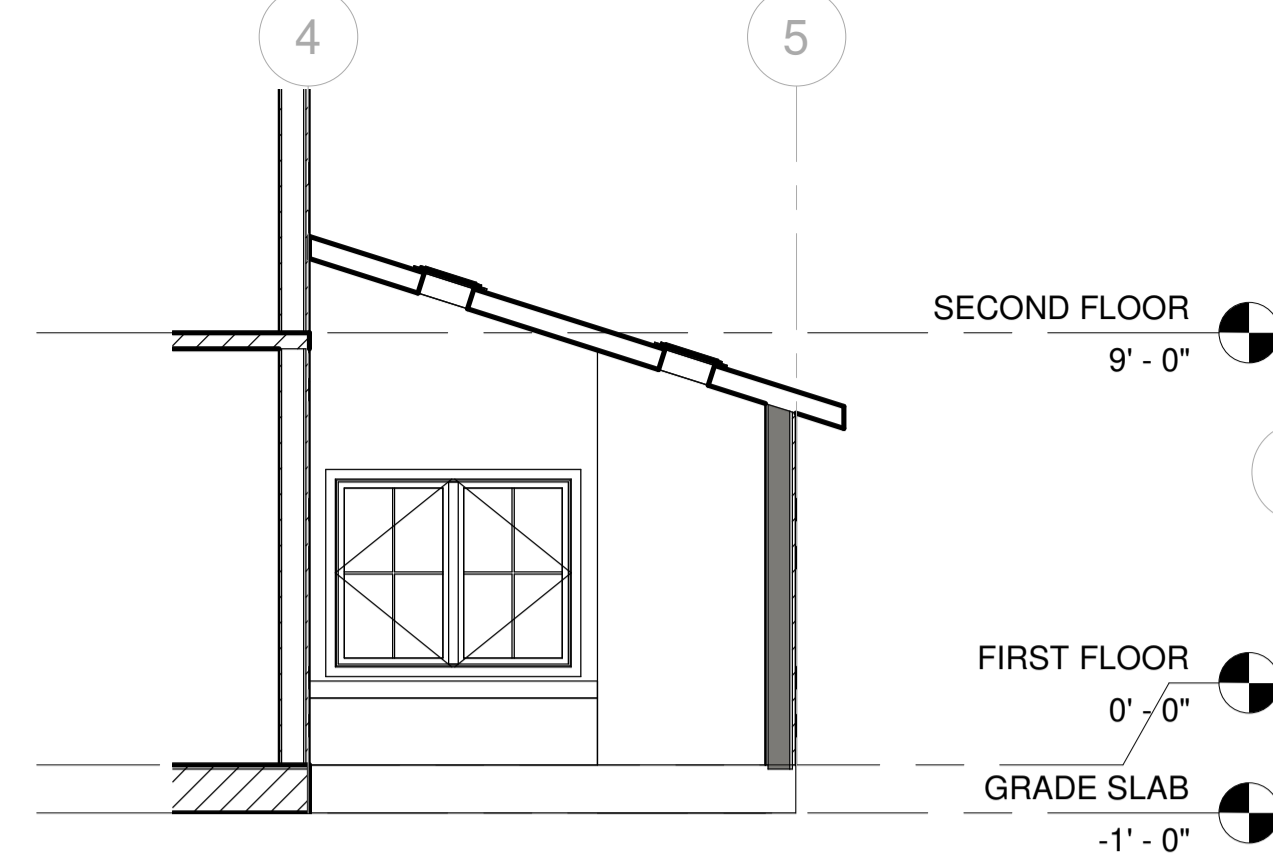
7 OFFICE 109.2

No.	DATE:	DELTA DESCRIPTION:					
A	23/02/05	CITY SUBMITTAL					
A							
A							
A							
DATE:		23/02/05					
SCALE:		As indicated					
DRAWN BY :							
CKD BY:							
PROJECT :		202107199					

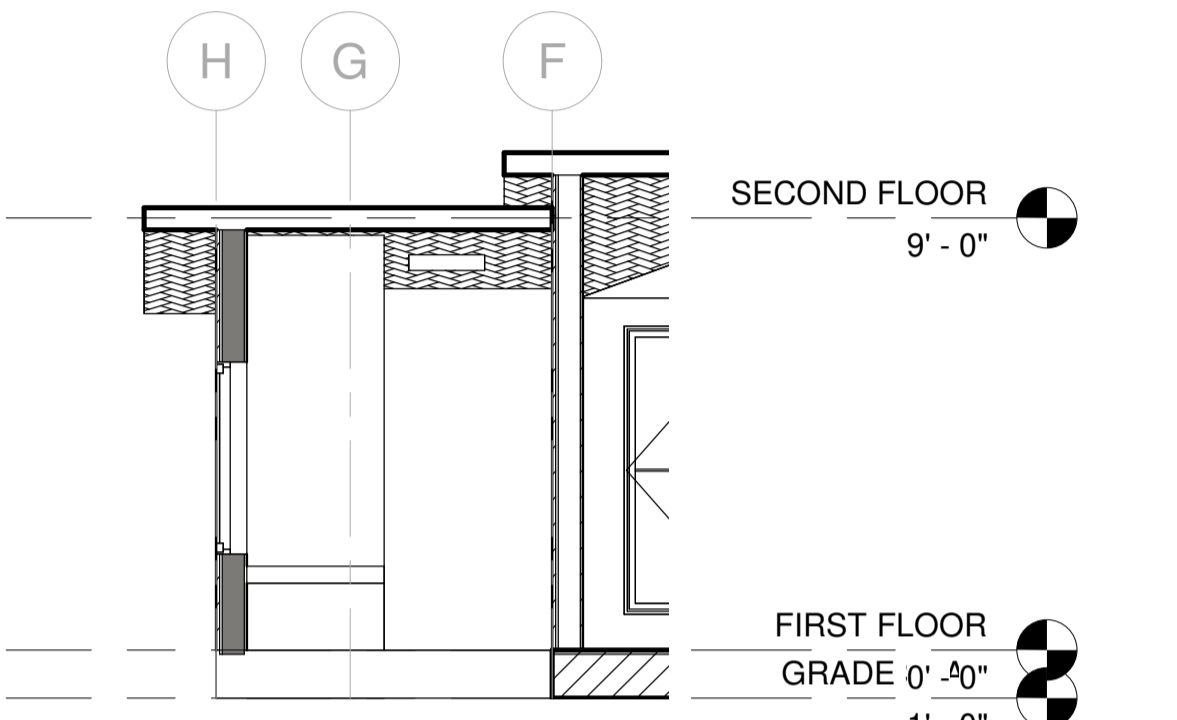
DRAWING NO.
A-8.3



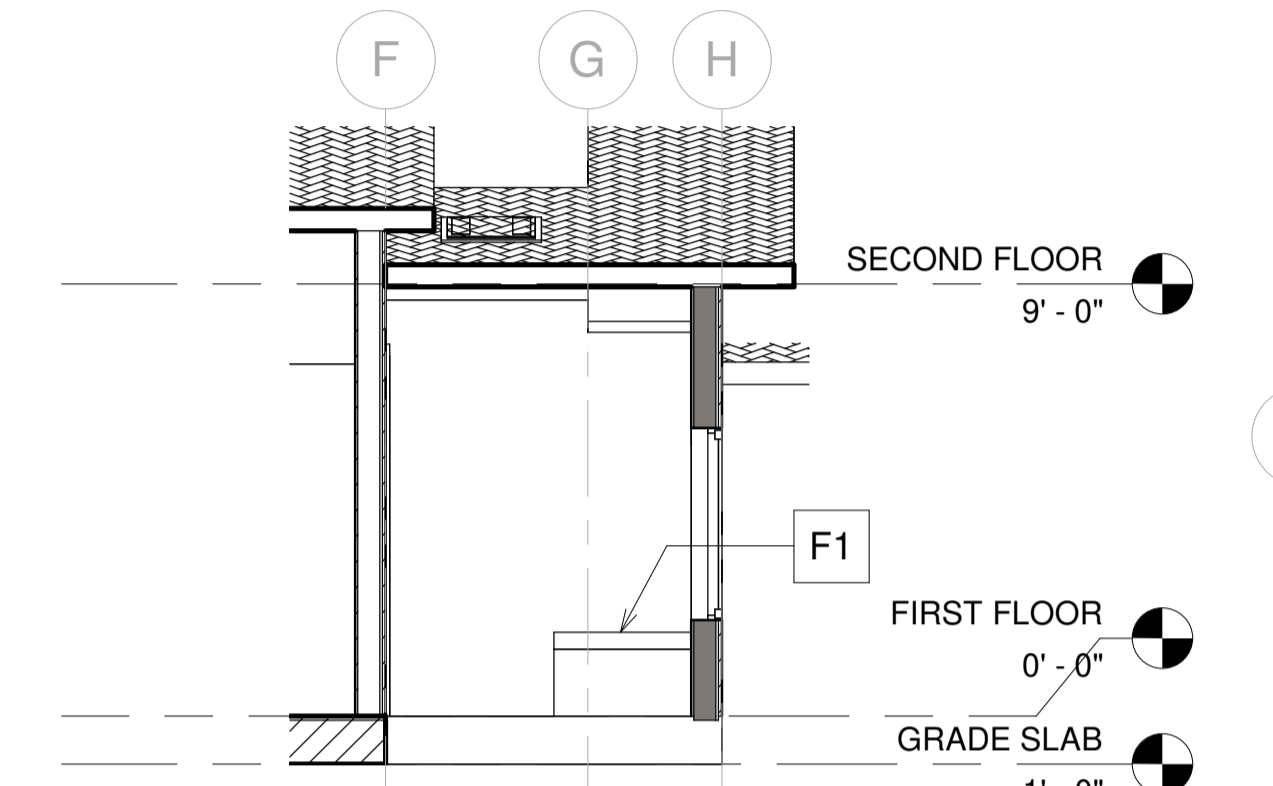
3 READING ROOM ELEVATION - A
1/4" = 1'-0"



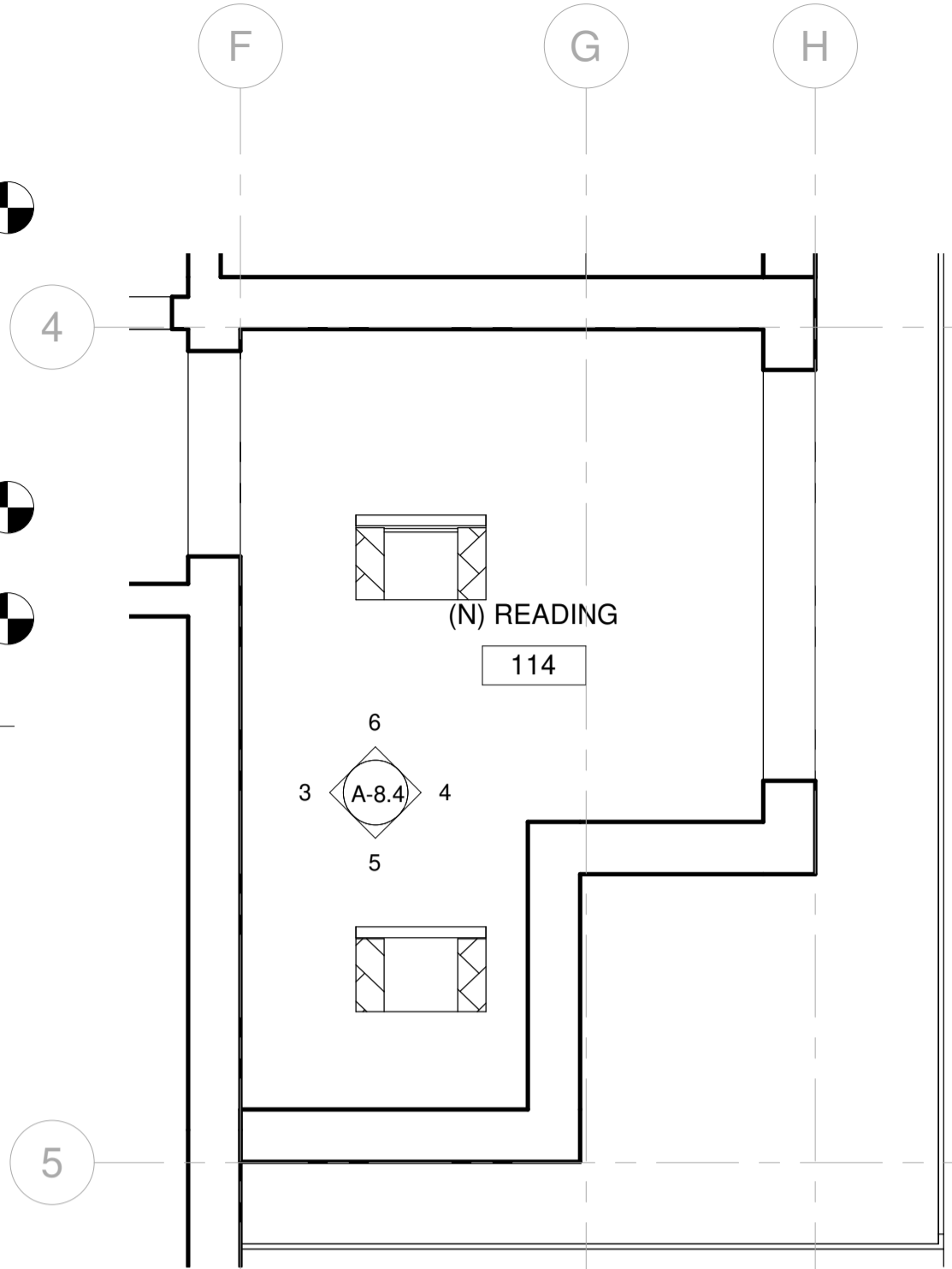
4 READING ROOM ELEVATION - B
1/4" = 1'-0"



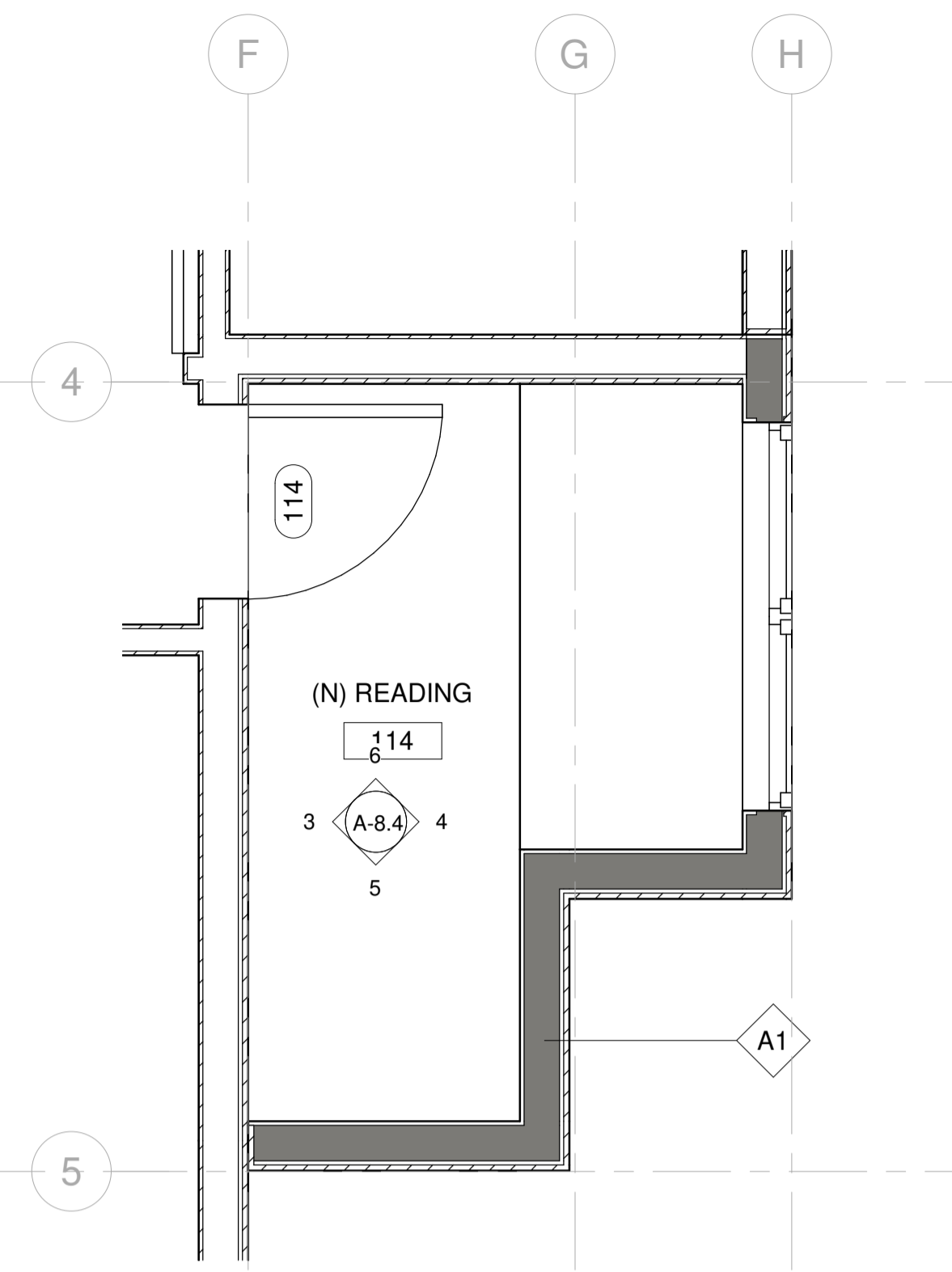
5 READING ROOM ELEVATION - C
1/4" = 1'-0"



6 READING ROOM ELEVATION - D
1/4" = 1'-0"



2 READING ROOM RCP
1/2" = 1'-0"



1 READING 114 ENLARGED PLAN
1/2" = 1'-0"

- KEY NOTE**
- N1 ADD GAS TO EXISTING FIRE PLACE
 - N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
 - N3 OUTDOOR BBQ
 - N4 NEW FLOORING
 - N5 REMOVE FLAT CEILING
 - N6 PROVIDE SKYLIGHT
 - N7 FLOATING SINK WITH VANITY
 - N8 NEW TUB
 - N9 NEW WATER CLOSET
 - N10 NEW SINK
 - N11 NEW BIDET
 - N12 GFCI OUTLET
 - N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
 - N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
 - E1 EXISTING SKYLIGHT TO REMAIN

- LEGEND**
- FIXTURE TAG REFER TO A8.9 & A8.10
 - FINISH TAG REFER TO A8.9

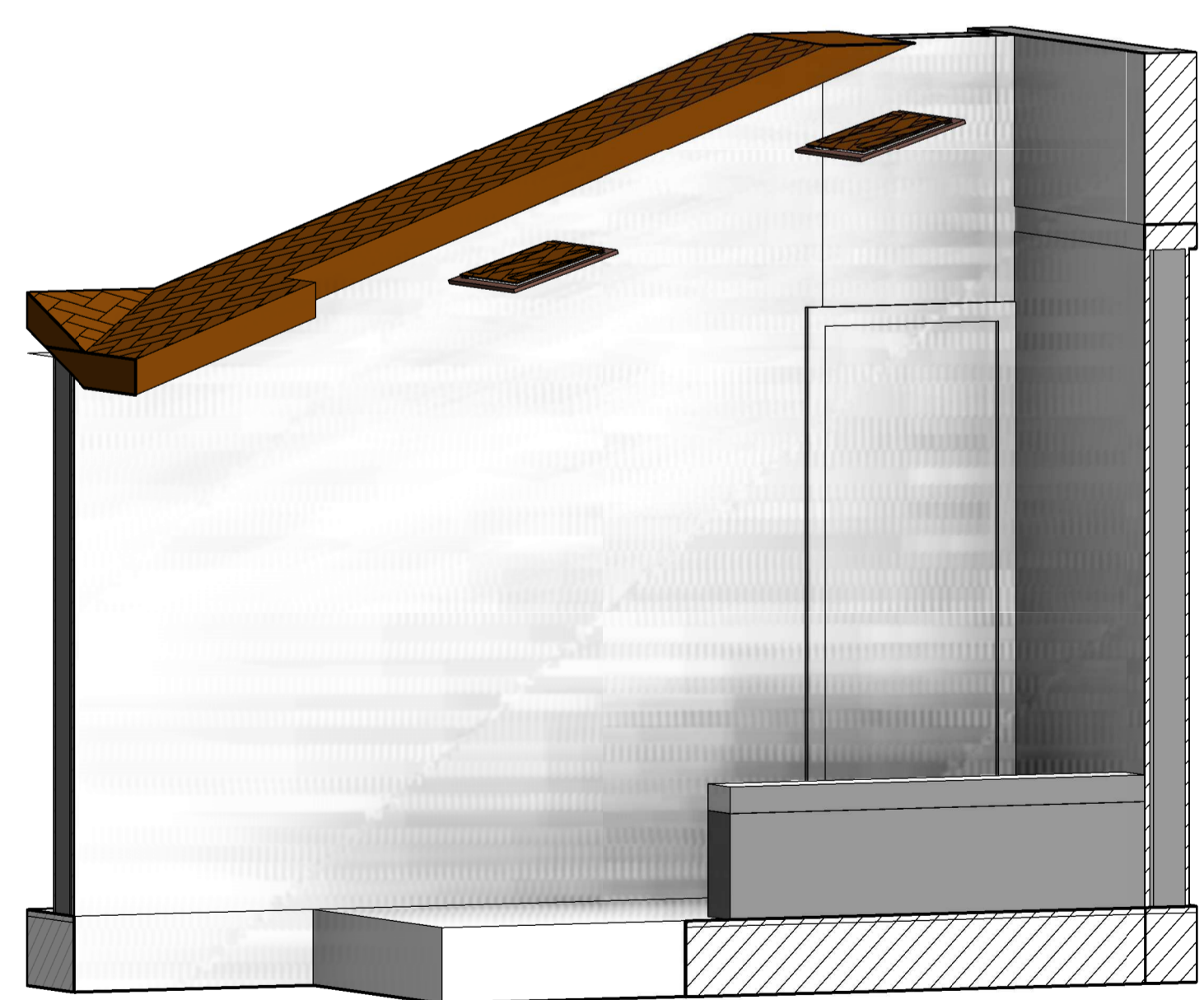
DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

ENLARGED DETAILS - READING 114
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

No.	DATE:	DELTA DESCRIPTION:
	23/02/05	CITY SUBMITTAL
1		
2		
3		
4		

DATE: 23/02/05
SCALE: As indicated
DRAWN BY :
CKD BY:
PROJECT : 202107199

DRAWING NO.
A-8.4



8 READING 114.2



7 READING 114.1

No.	DATE:	DELTA DESCRIPTION:
1	23/02/05	CITY SUBMITTAL
2		
3		
4		

DATE:	23/02/05
SCALE:	As indicated
DRAWN BY:	
CKD BY:	
PROJECT :	202107199

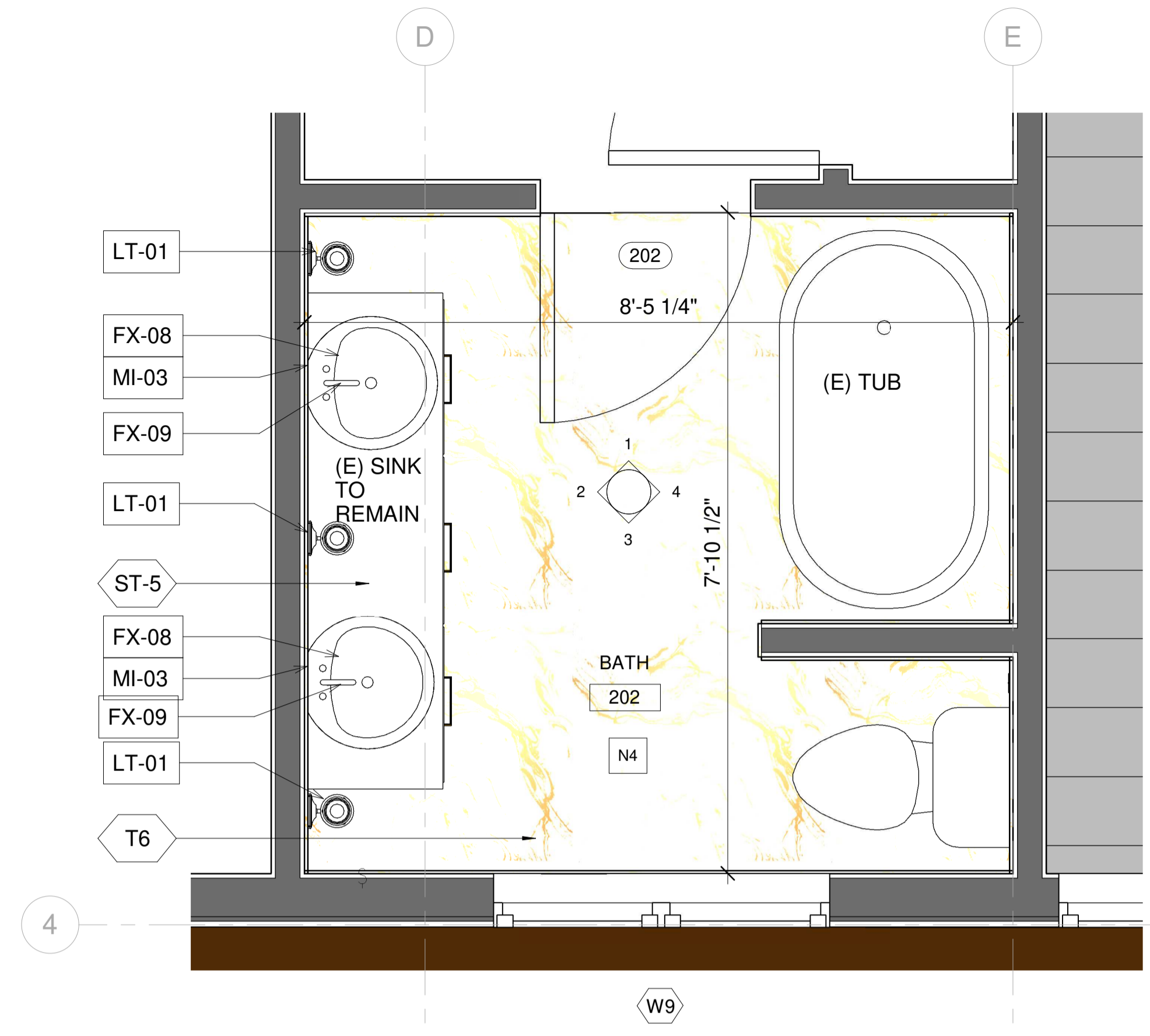
DRAWING NO.
A-8.5

KEY NOTE

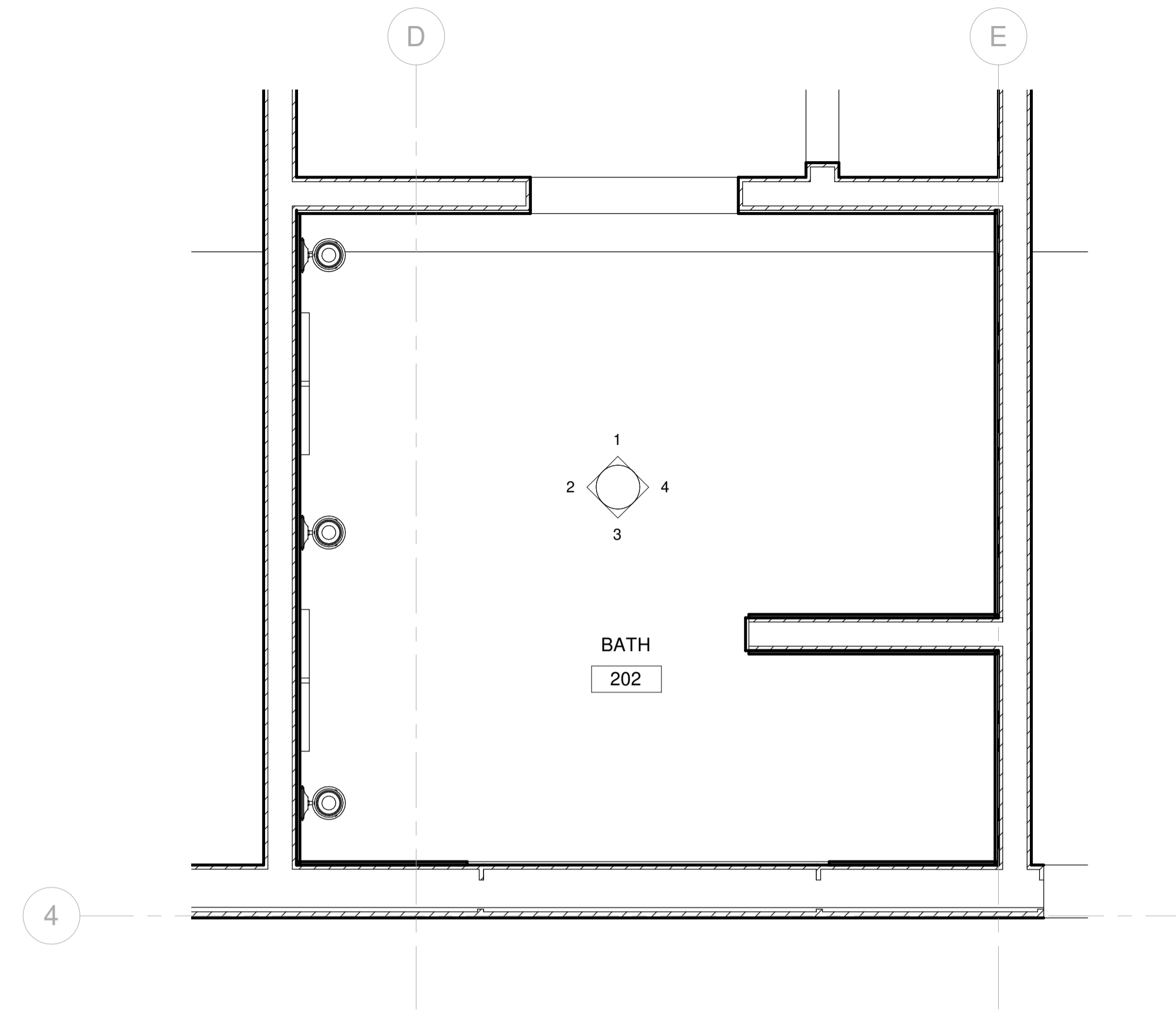
- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

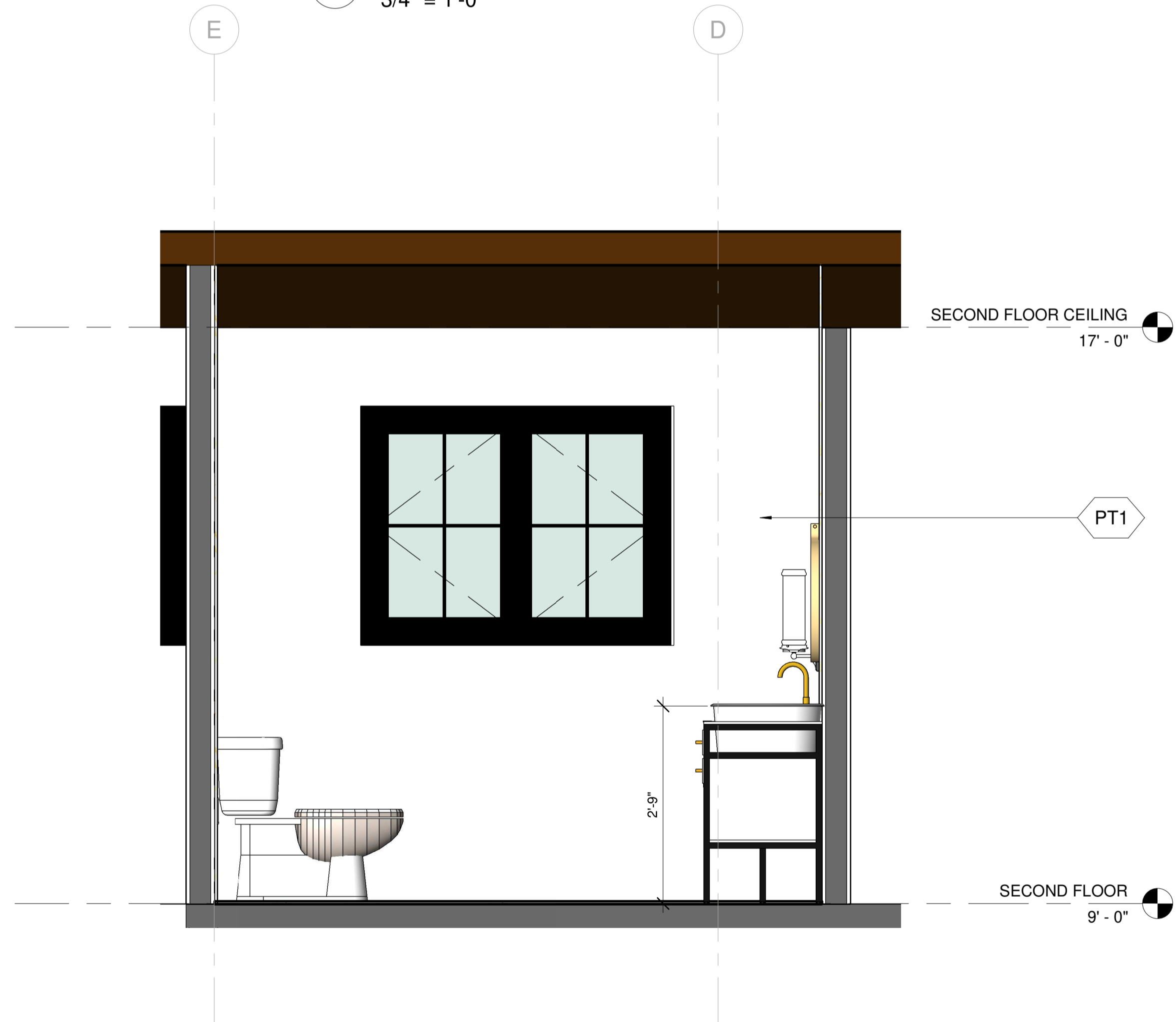
- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9



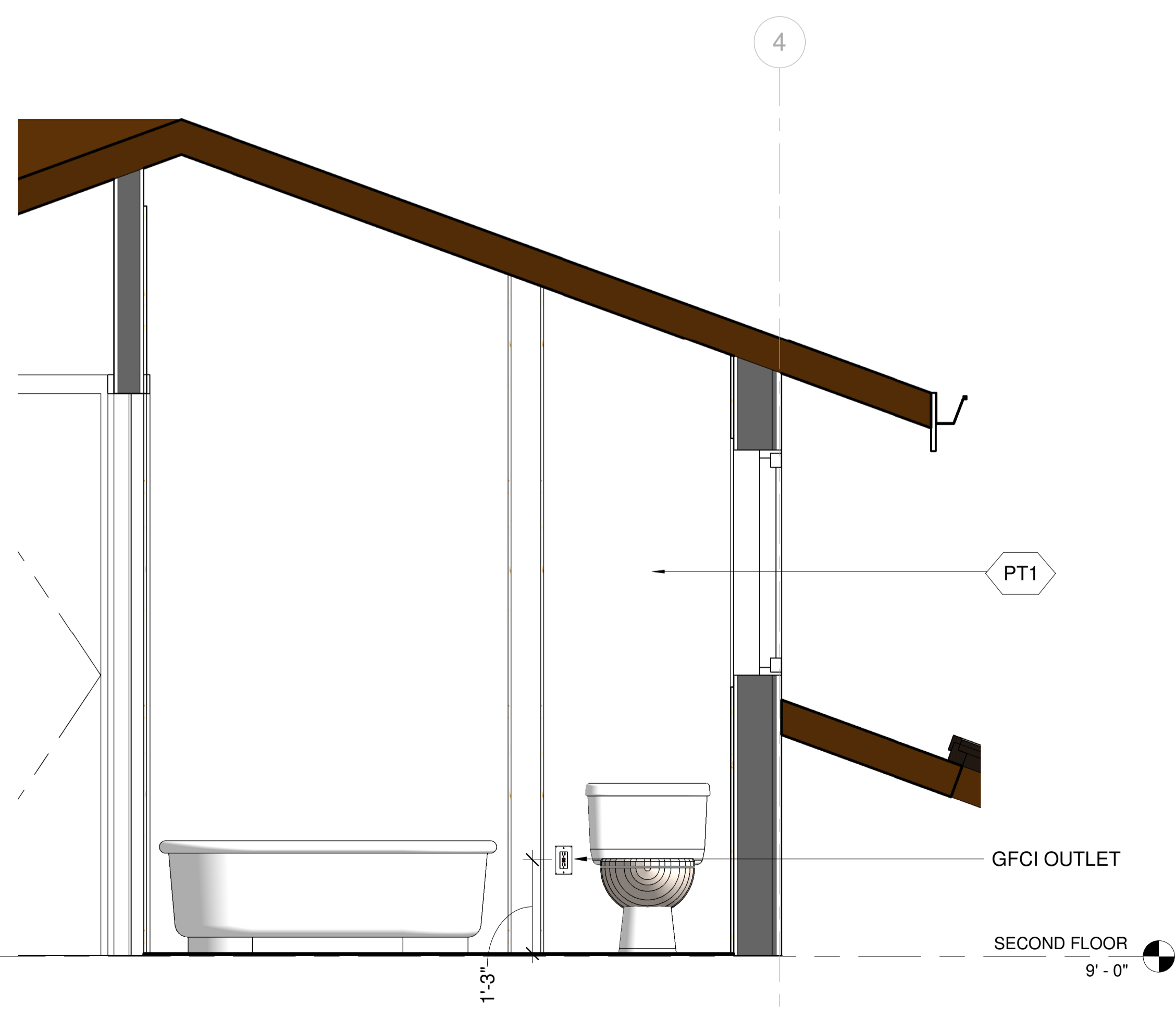
1 BATH 202 ENLARGED PLAN
3/4" = 1'-0"



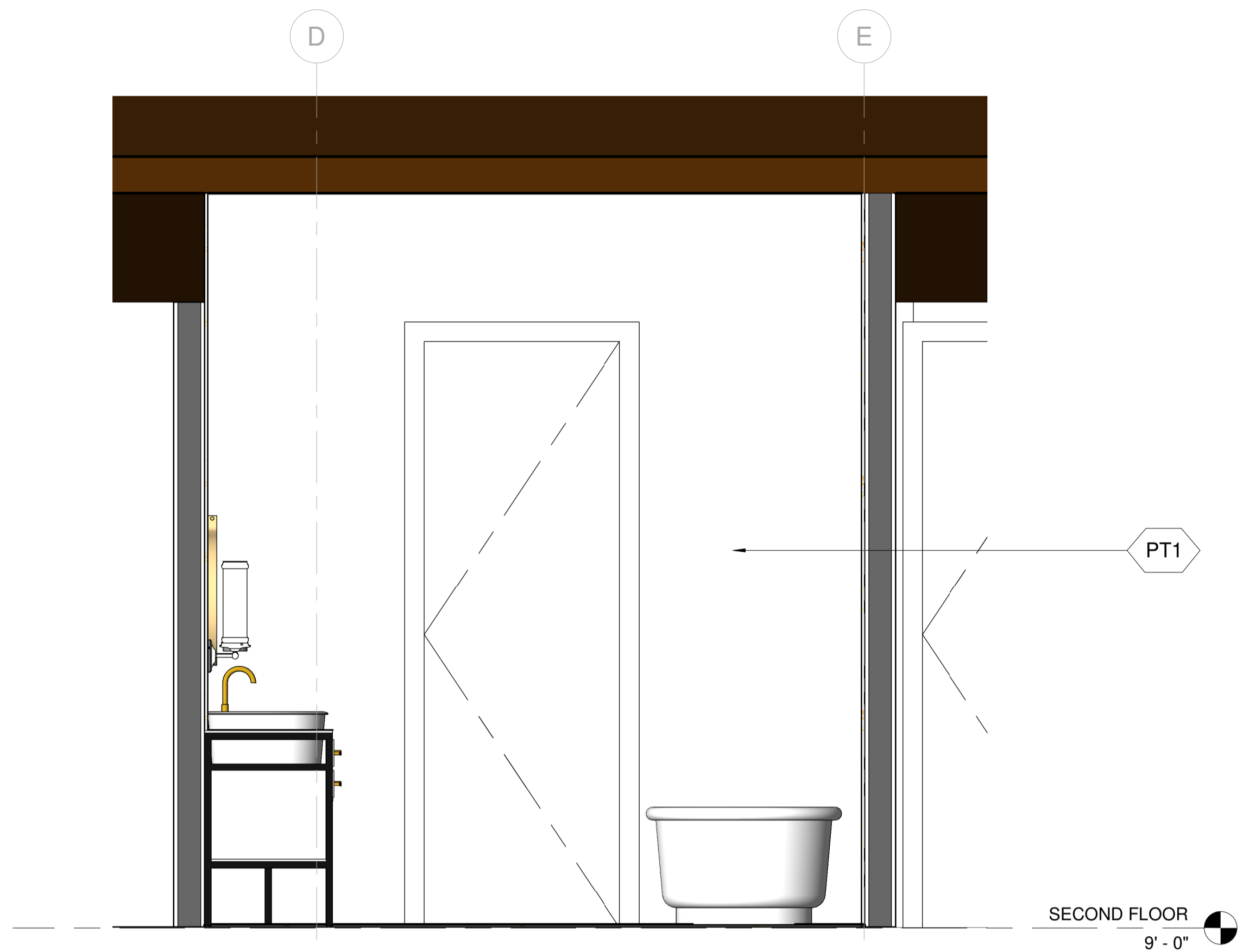
2 RCP_BATH 202
3/4" = 1'-0"



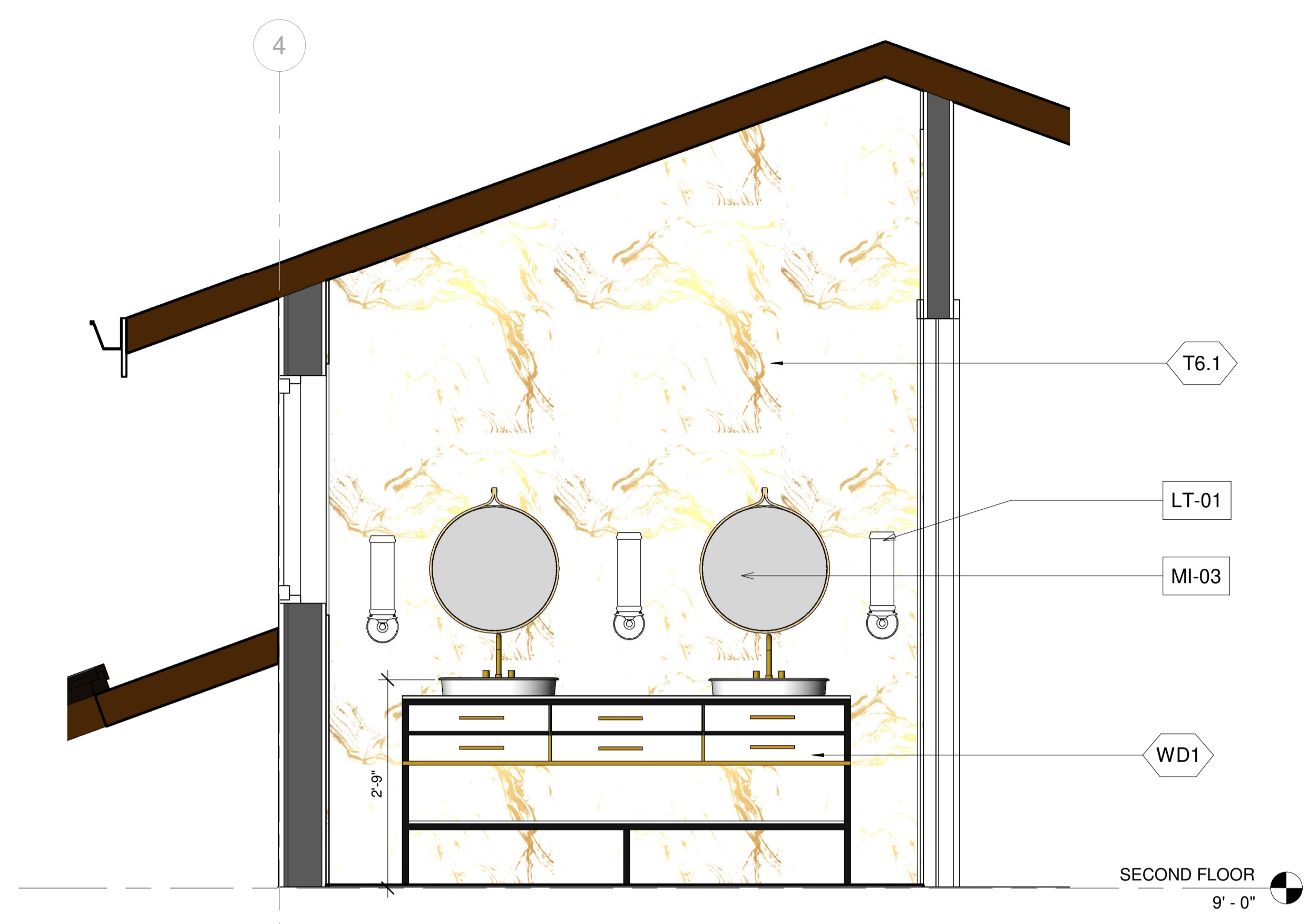
3 202 BATH ELEVATION - A
3/4" = 1'-0"



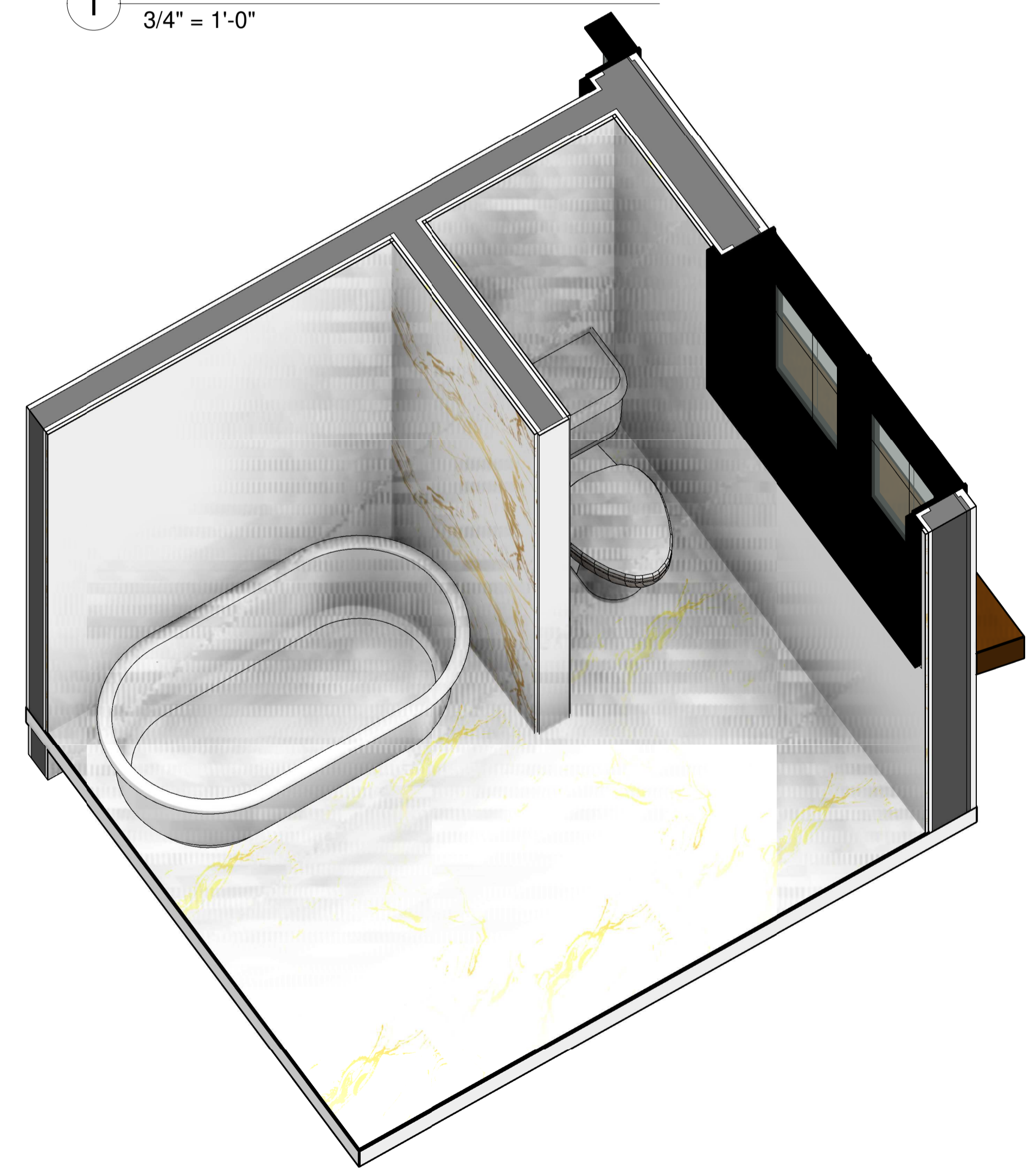
4 202 BATH ELEVATION - B
3/4" = 1'-0"



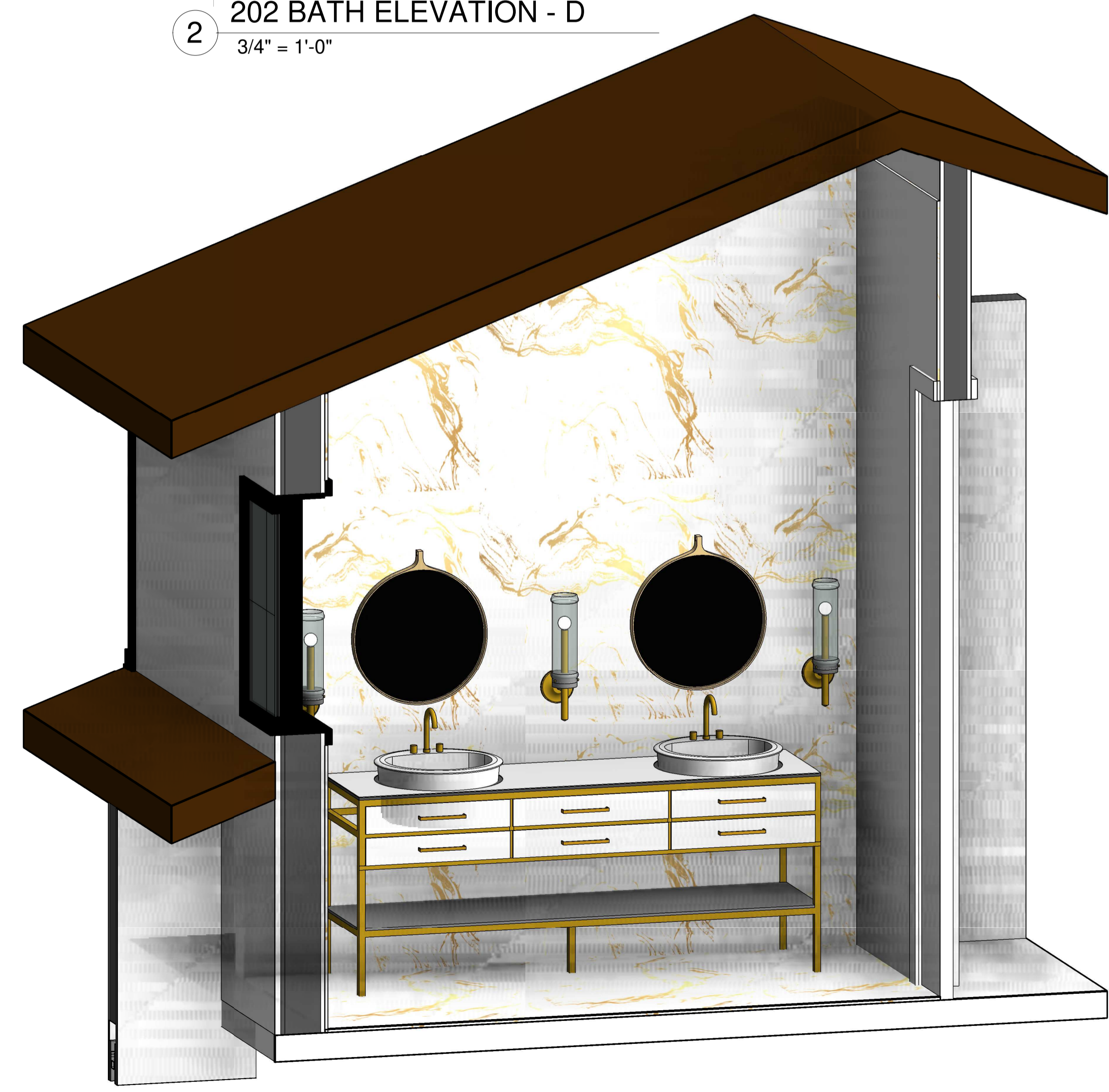
1 202 BATH ELEVATION - C
3/4" = 1'-0"



2 202 BATH ELEVATION - D
3/4" = 1'-0"



3 BATH 202.1



4 BATH 202.3

KEY NOTE	
N1	ADD GAS TO EXISTING FIRE PLACE
N2	REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
N3	OUTDOOR BBQ
N4	NEW FLOORING
N5	REMOVE FLAT CEILING
N6	PROVIDE SKYLIGHT
N7	FLOATING SINK WITH VANITY
N8	NEW TUB
N9	NEW WATER CLOSET
N10	NEW SINK
N11	NEW BIDET
N12	GFCI OUTLET
N13	REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
N14	18" X 24" ROOF VENT 72 SQ. INCH EACH
E1	EXISTING SKYLIGHT TO REMAIN

LEGEND	
	FIXTURE TAG REFER TO A8.9 & A8.10
	FINISH TAG REFER TO A8.9

DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

ENLARGED DETAILS- BATH 202
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

No.	DATE:	DELTA DESCRIPTION:
1	23/02/05	CITY SUBMITTAL
2		
3		
4		

DATE: 23/02/05
SCALE: As indicated
DRAWN BY :
CKD BY:
PROJECT : 202107199

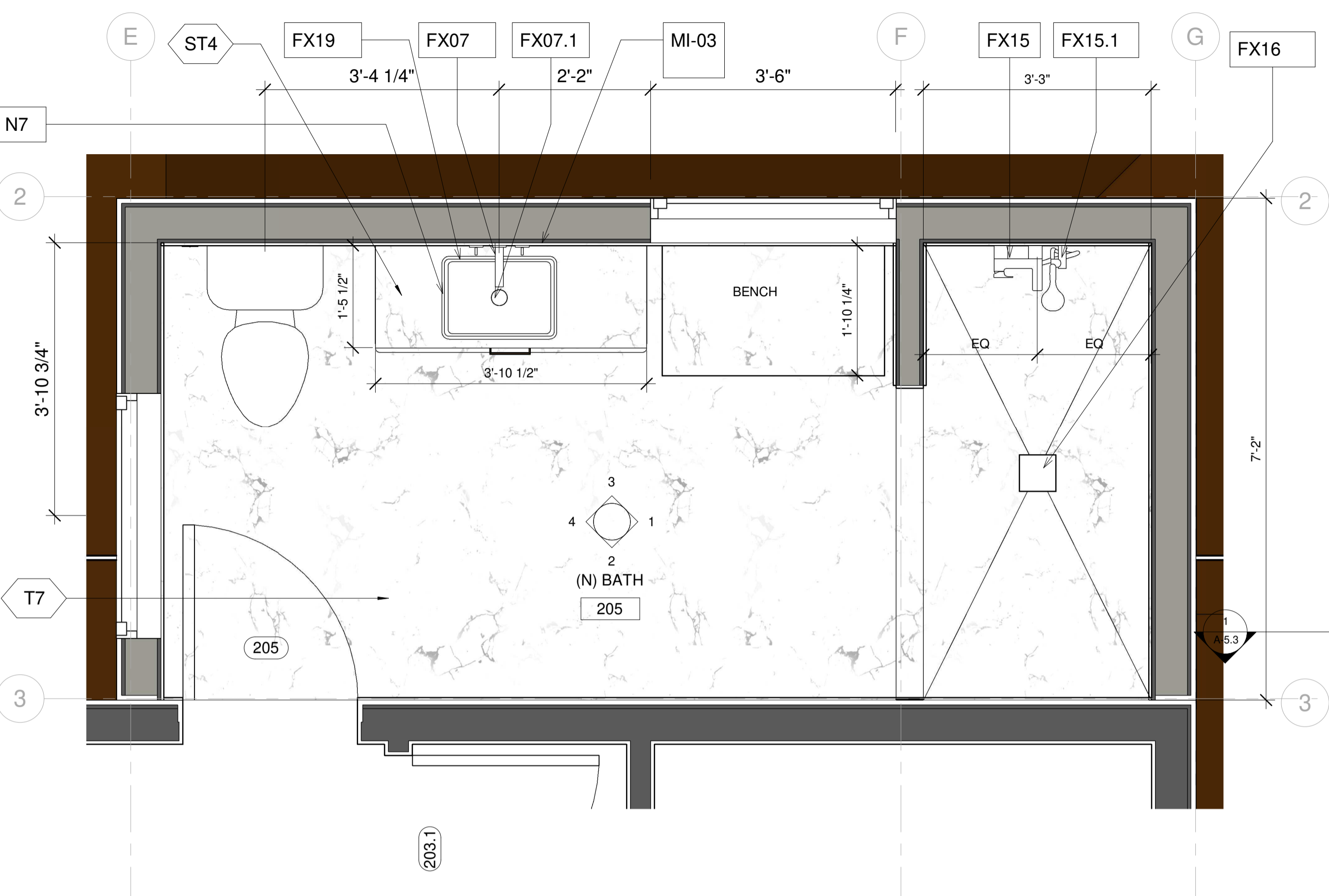
DRAWING NO.
A-8.5.2

KEY NOTE

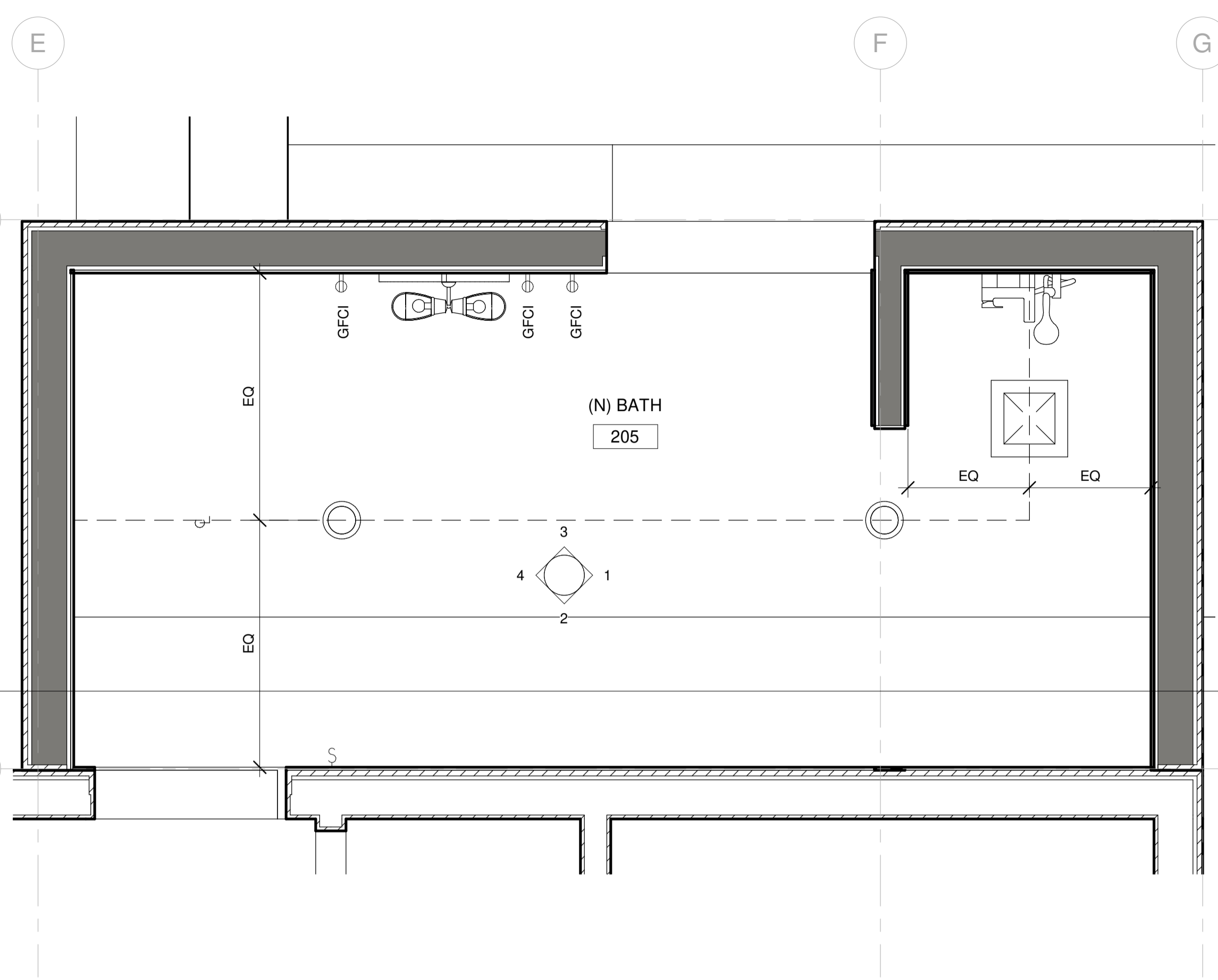
- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

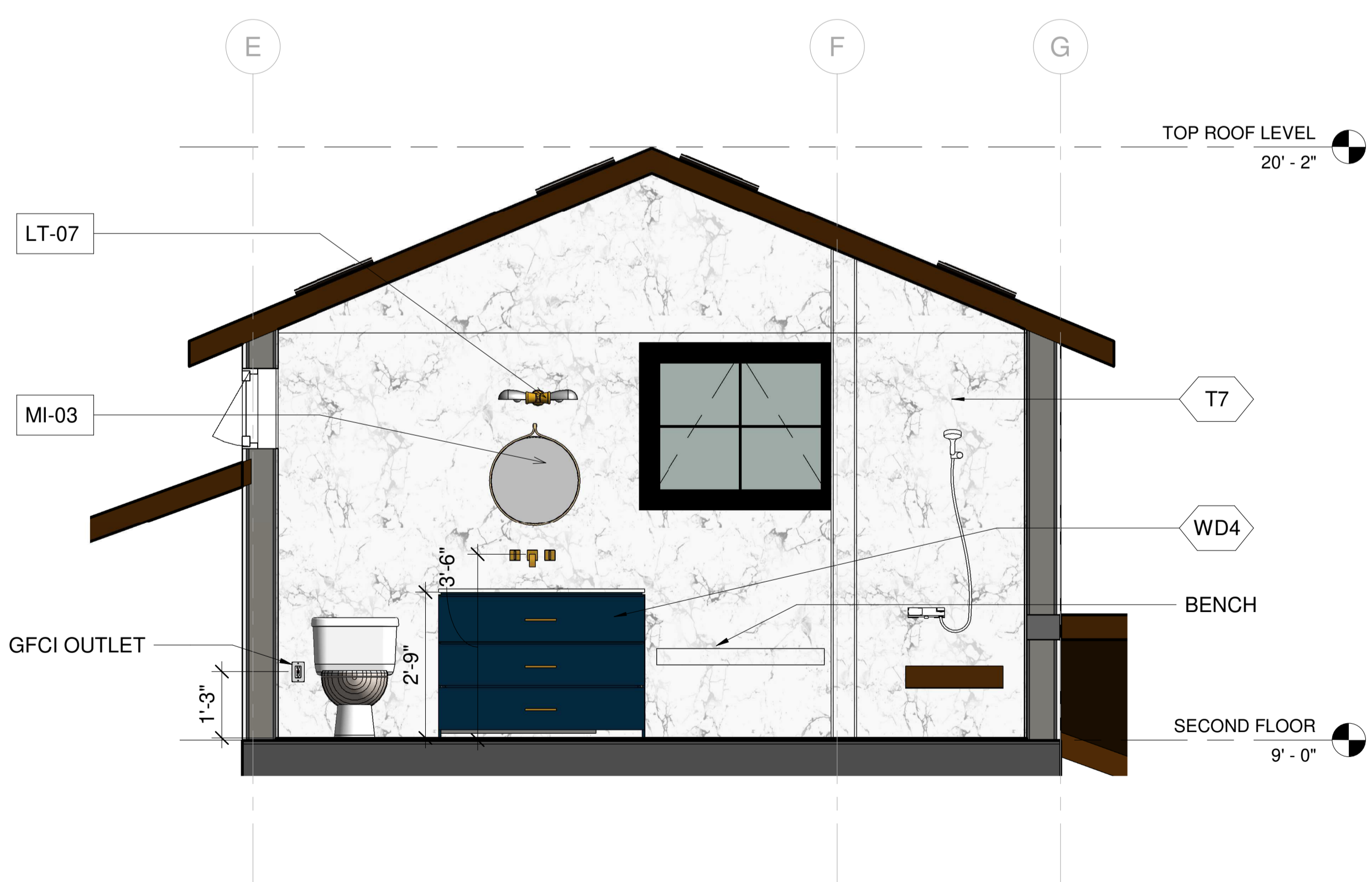
- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9



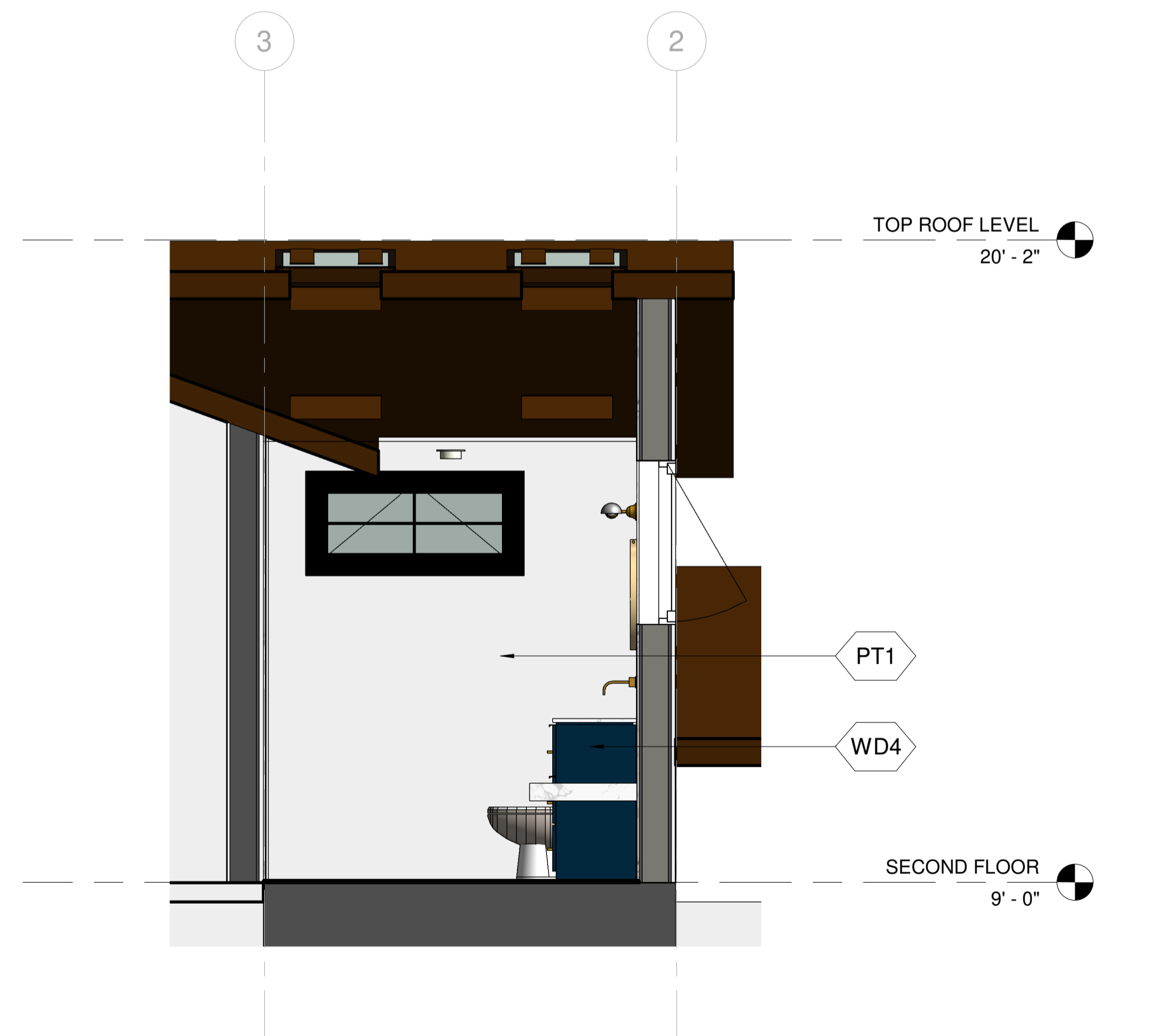
1 BATH 205 ENLARGED PLAN
3/4" = 1'-0"



2 RCP_BATH 205
3/4" = 1'-0"



3 205 BATH ELEVATION - A
1/2" = 1'-0"



4 205 BATH ELEVATION - B
1/2" = 1'-0"

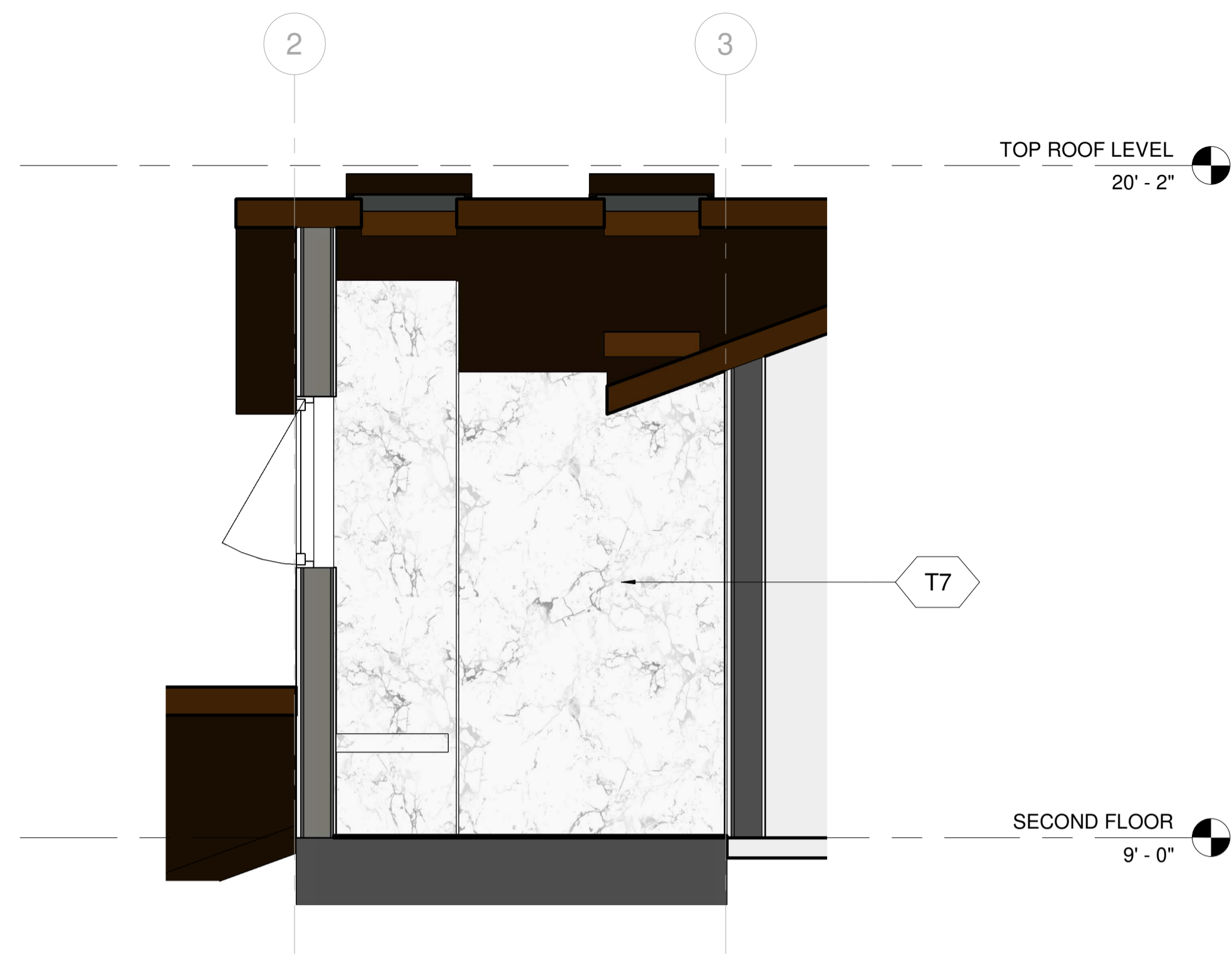
DELTA DESCRIPTION:
CITY SUBMITTAL

DATE:
23/02/05

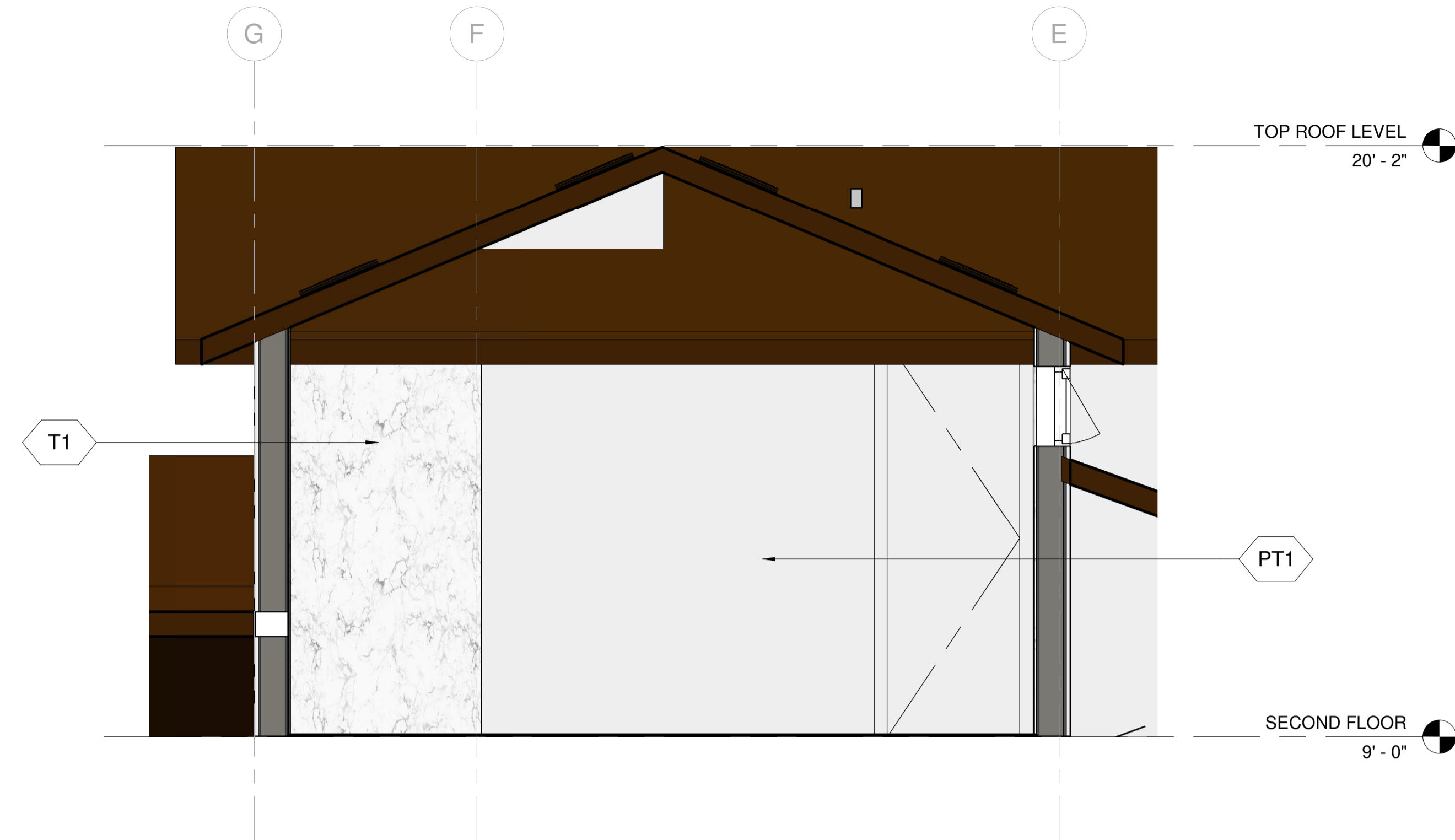
No. A A A A

DATE: 23/02/05
SCALE: As indicated
DRAWN BY:
CKD BY:
PROJECT : 202107199

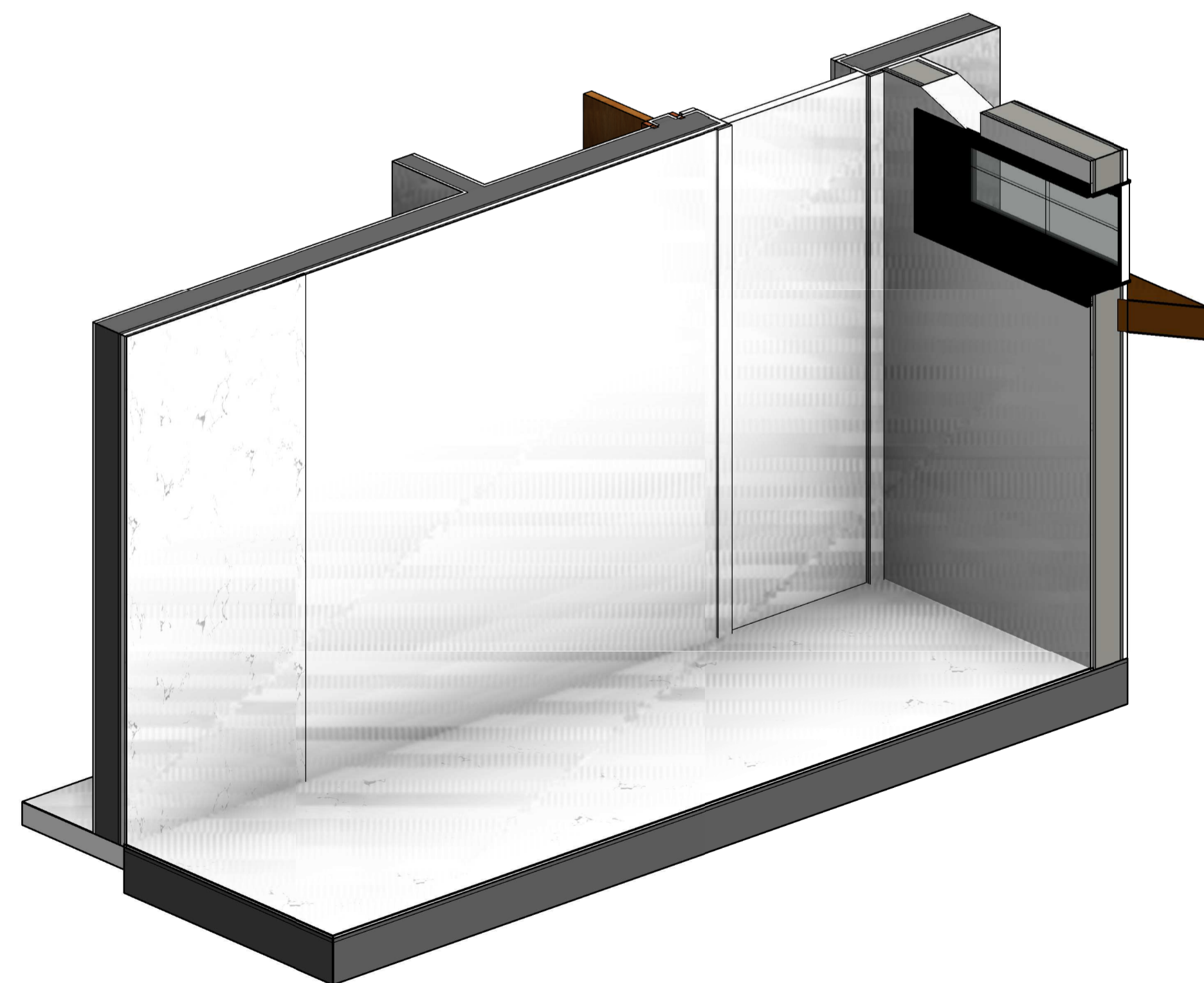
DRAWING NO.
A-8.6



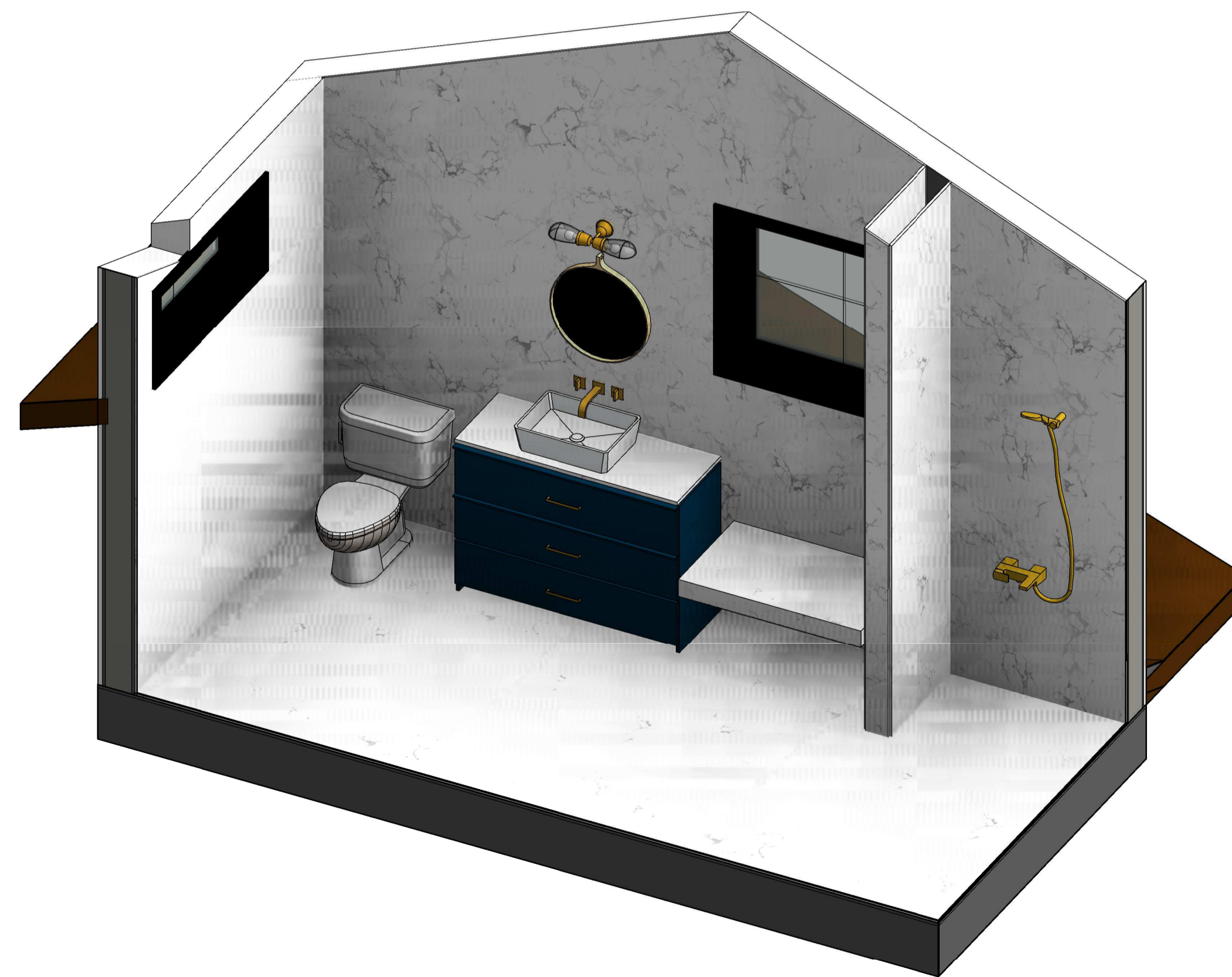
1 205 BATH ELEVATION - C
1/2" = 1'-0"



2 205 BATH ELEVATION - D
1/2" = 1'-0"



4 BATH 205.1



3 BATH 205.2

KEY NOTE

- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

DESIGN EVEREST
CONSULTING ENGINEERS

365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

ENLARGED DETAILS-BATH 205
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE:
23/02/05

DATE: 23/02/05
SCALE: As indicated
DRAWN BY :
CKD BY:
PROJECT : 202107199

DRAWING NO.
A-8.6.2

No.	DATE:	DELTA DESCRIPTION:
	23/02/05	CITY SUBMITTAL

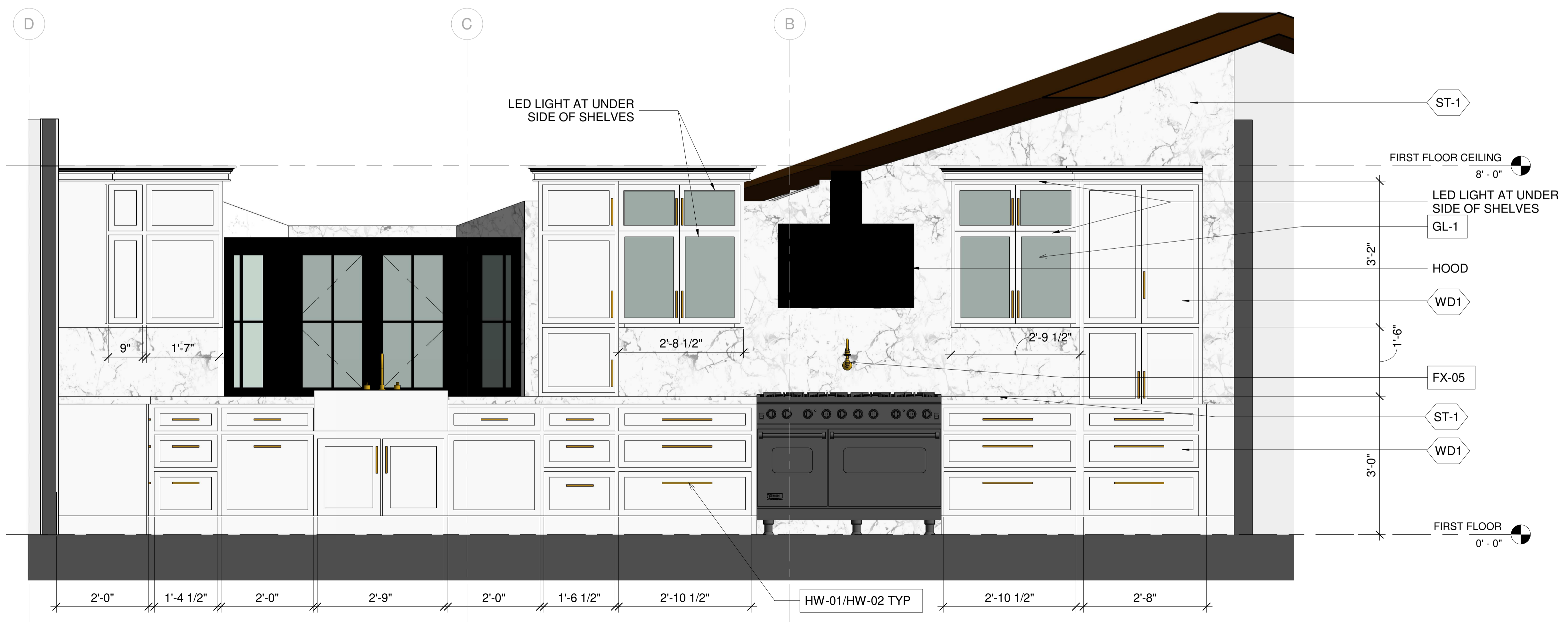
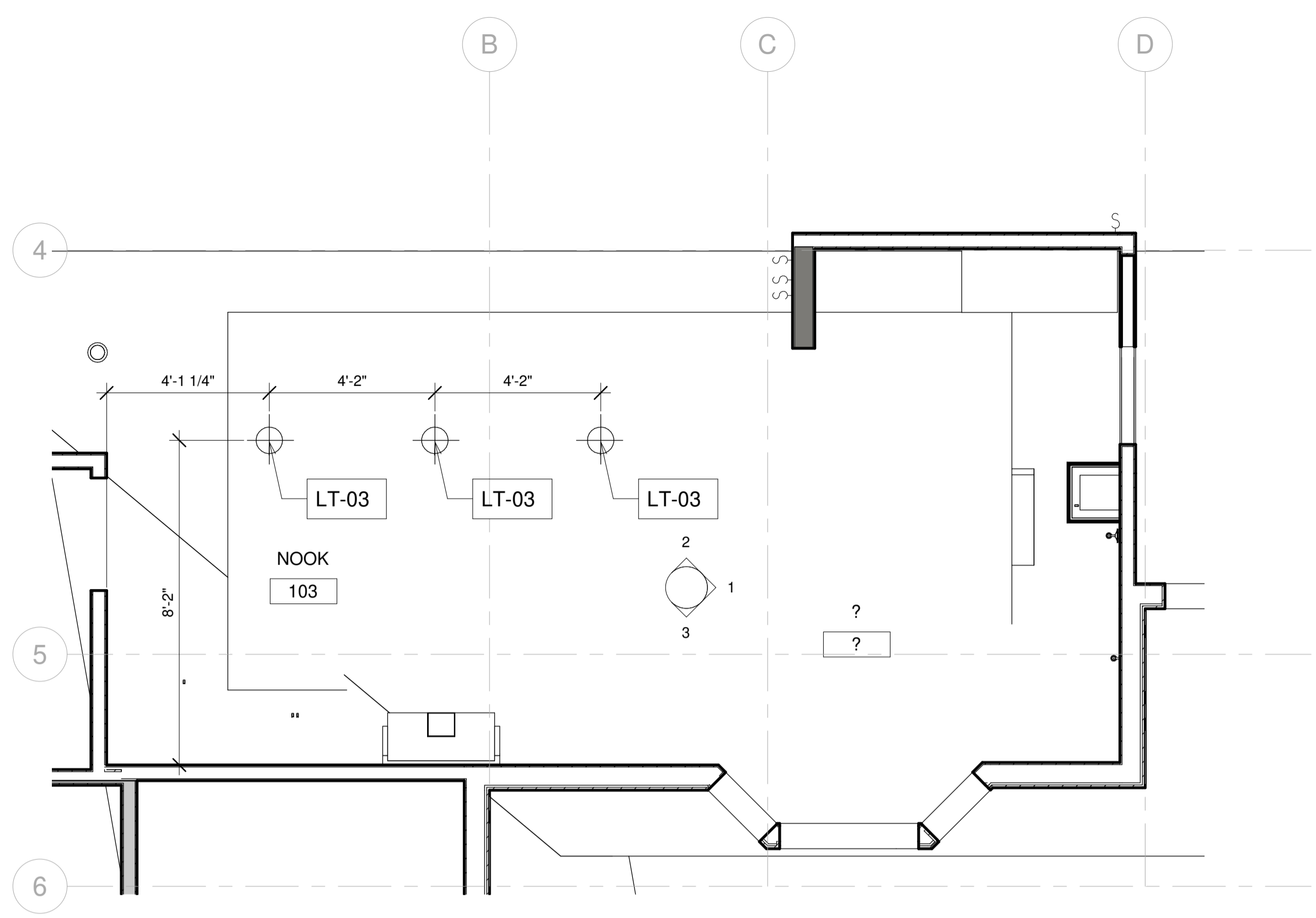
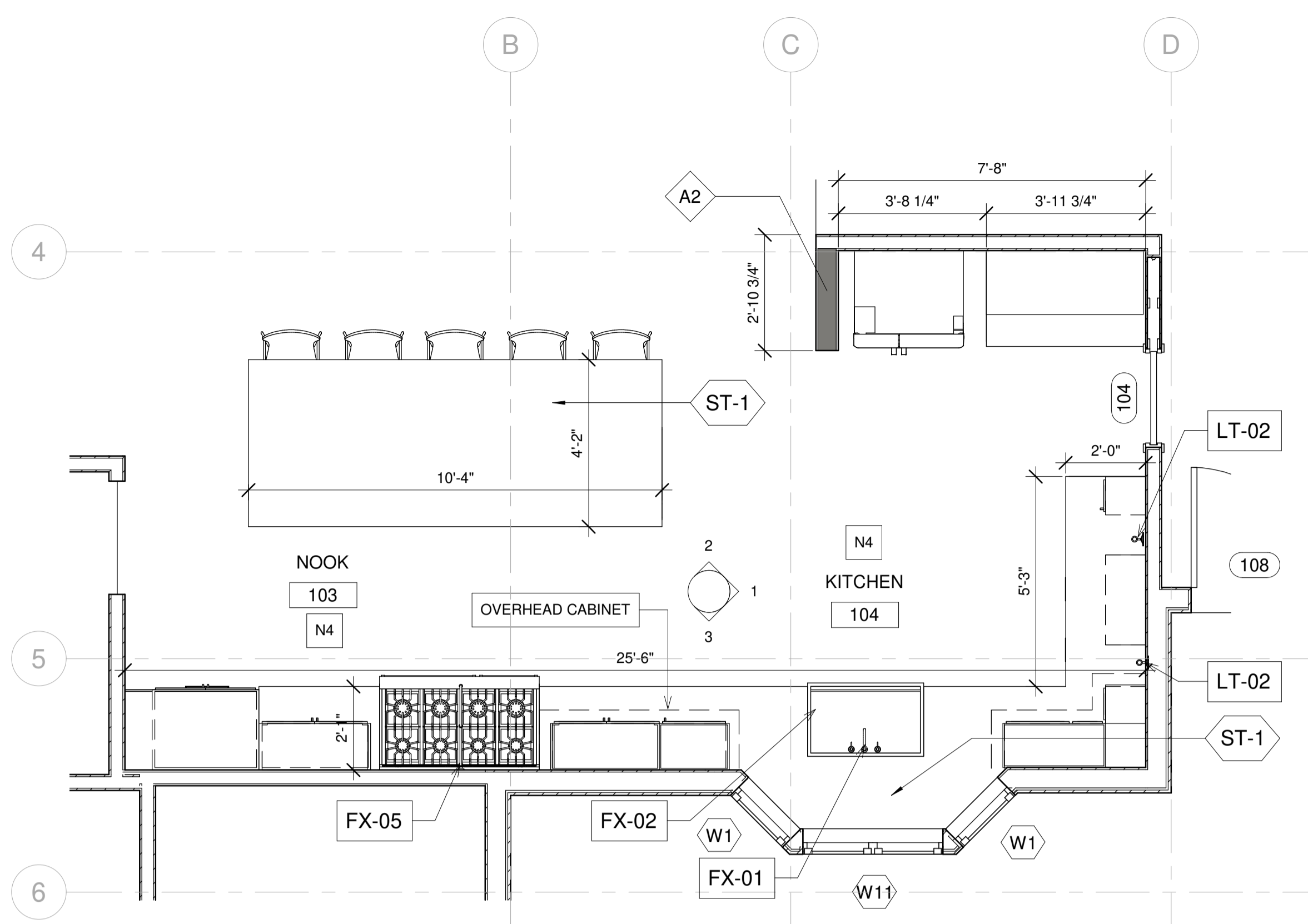
DATE:	23/02/05
SCALE:	As indicated
DRAWN BY:	
CKD BY:	
PROJECT :	202107199

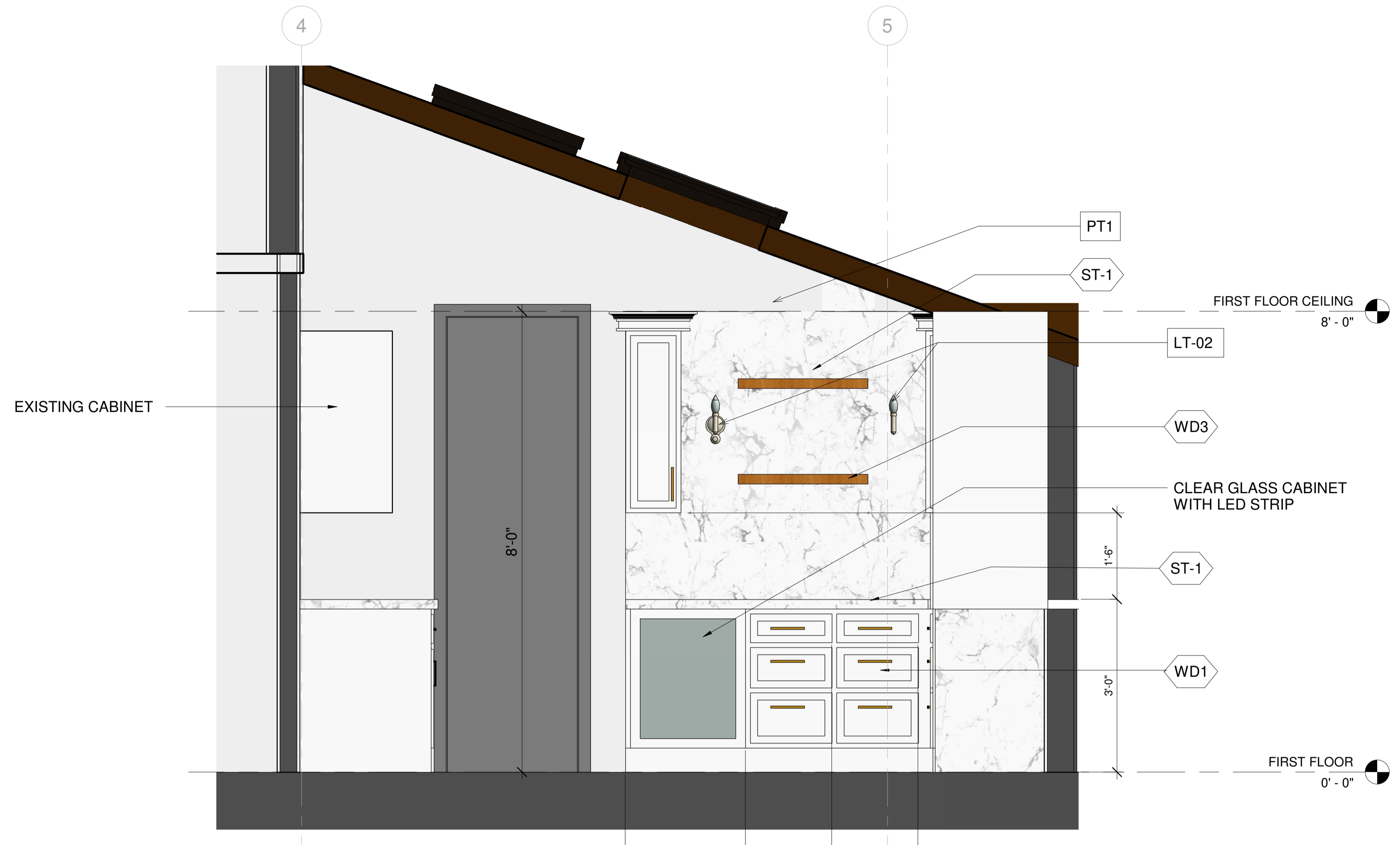
KEY NOTE

- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

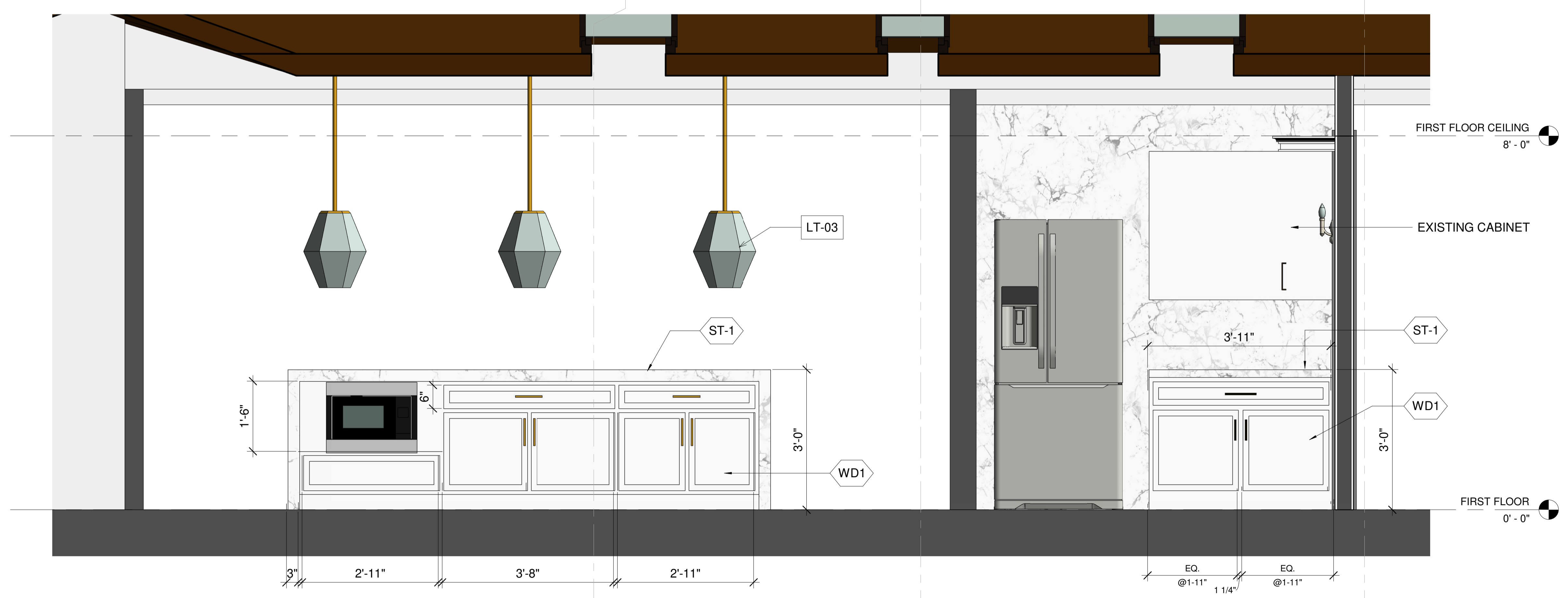
LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9





1 KITCHEN 104 ELEVATION-A
3/4" = 1'-0"



2 KITCHEN 104 ELEVATION-C
3/4" = 1'-0"

KEY NOTE

- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
- N8 NEW TUB
- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

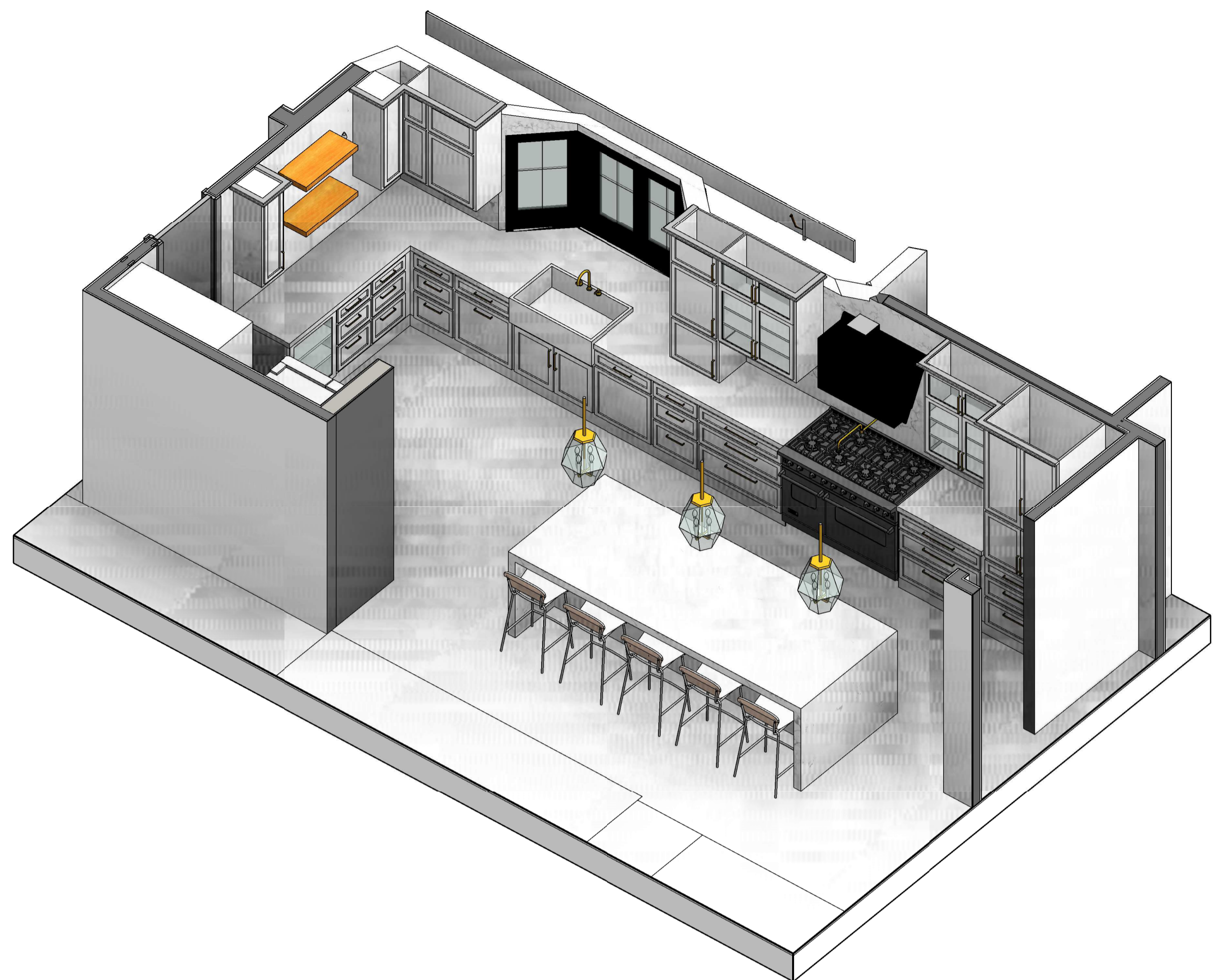
DESIGN EVEREST
CONSULTING ENGINEERS
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

KITCHEN DETAILS
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

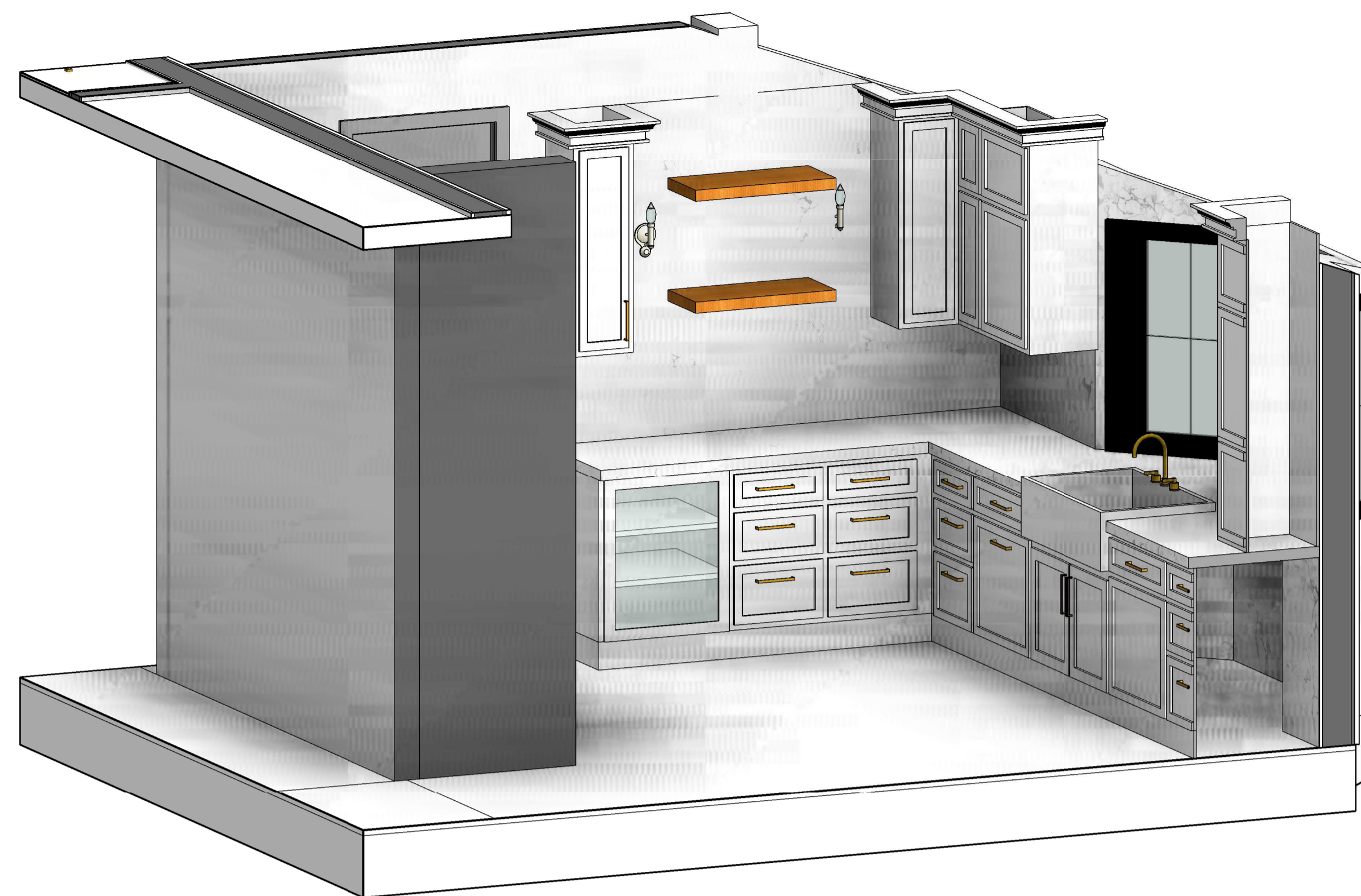
No.	DATE	DELTA DESCRIPTION
A	23/02/05	CITY SUBMITTAL
A		
A		
A		

DATE: 23/02/05
SCALE: As indicated
DRAWN BY:
CKD BY:
PROJECT : 202107199

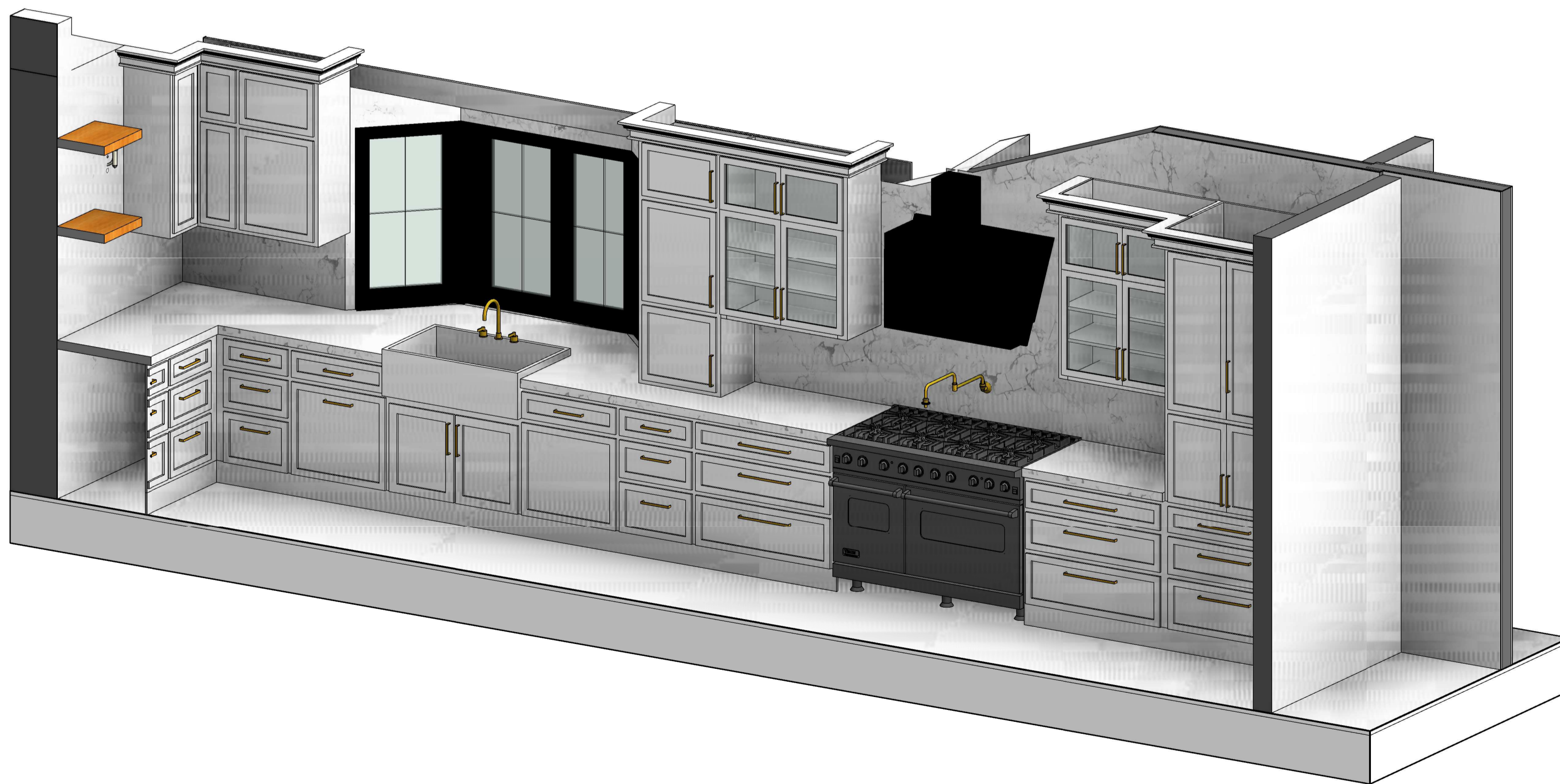
DRAWING NO.
A-8.7.2



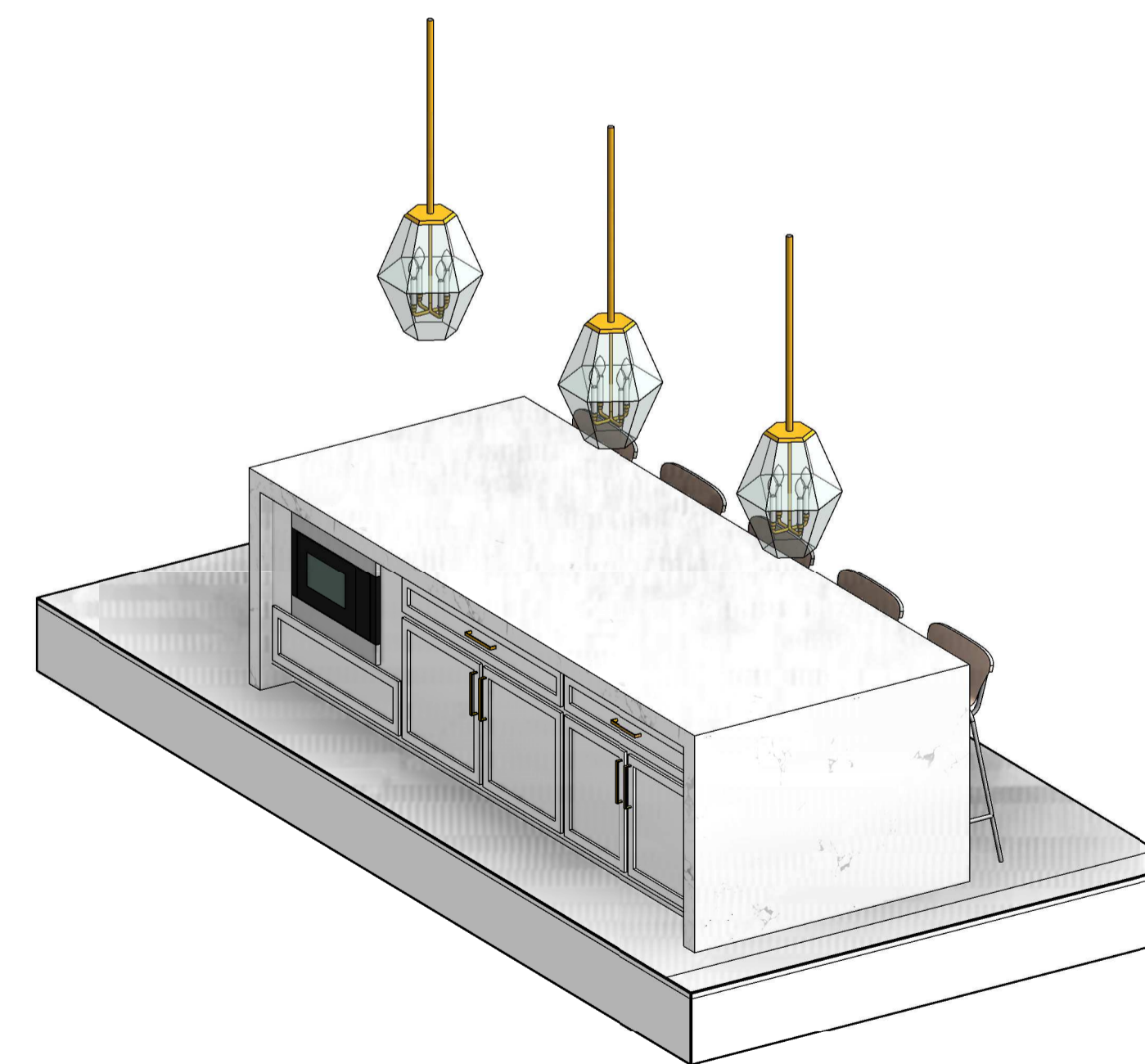
1 KITCHEN VIEW-1



3 KITCHEN VIEW-2



2 KITCHEN VIEW-3



4 KITCHEN VIEW-4

KEY NOTE

- N1 ADD GAS TO EXISTING FIRE PLACE
- N2 REFURBISH EXISTING FIRE PLACE INTO 2 SIDED FIRE PLACE
- N3 OUTDOOR BBQ
- N4 NEW FLOORING
- N5 REMOVE FLAT CEILING
- N6 PROVIDE SKYLIGHT
- N7 FLOATING SINK WITH VANITY
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- N9 NEW WATER CLOSET
- N10 NEW SINK
- N11 NEW BIDET
- N12 GFCI OUTLET
- N13 REFURBISH EXISTING WALL, PREP FOR NEW SHEAR WALL PER STRUCTURAL
- N14 18" X 24" ROOF VENT 72 SQ. INCH EACH
- E1 EXISTING SKYLIGHT TO REMAIN

LEGEND

- FIXTURE TAG REFER TO A8.9 & A8.10
- FINISH TAG REFER TO A8.9

DESIGN EVEREST
CONSULTING ENGINEERS

KITCHEN 3D VIEWS
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

No.	A	A	A	A
DATE:	23/02/05			
DELTA DESCRIPTION:	CITY SUBMITTAL			

DATE: 23/02/05
SCALE: 3" = 1'-0"
DRAWN BY :
CKD BY:
PROJECT : 202107199

DRAWING NO.
A-8.7.3



3D VIEW
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

DELTA DESCRIPTION:
CITY SUBMITTAL

DATE:
23/02/05

No.

DATE: 23/02/05

SCALE:

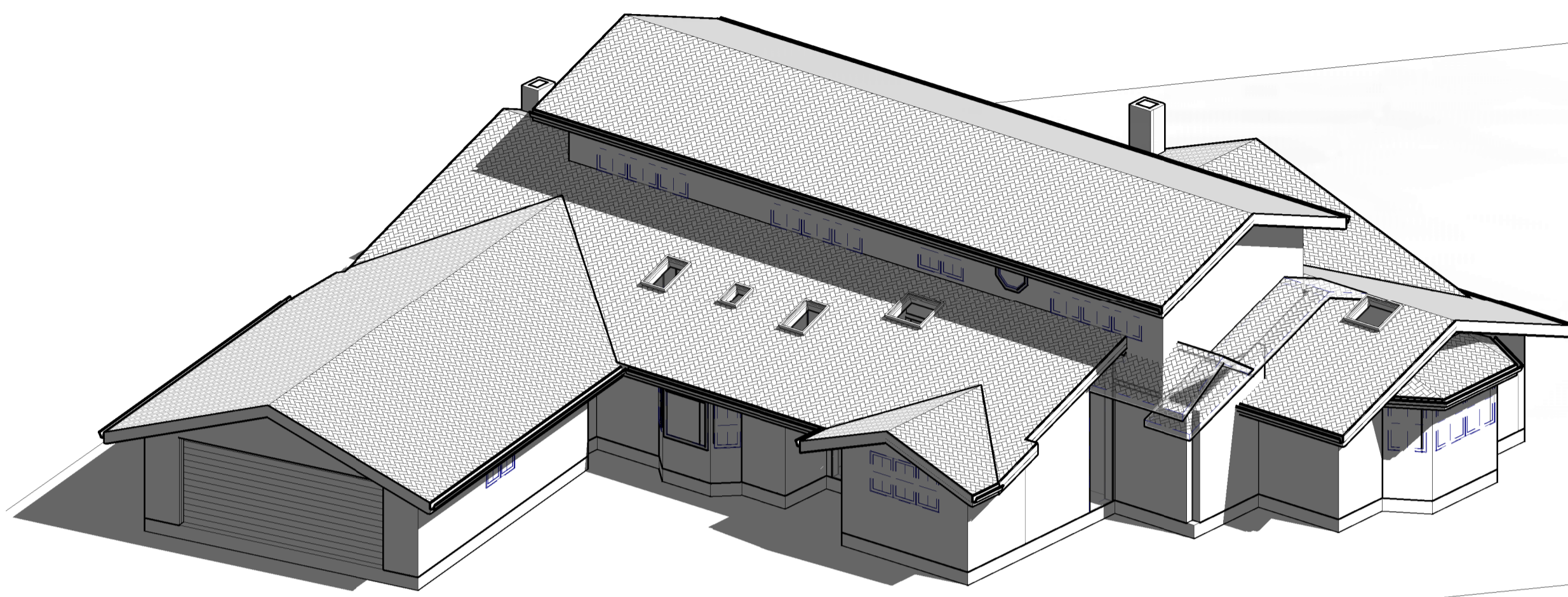
DRAWN BY :

CKD BY:

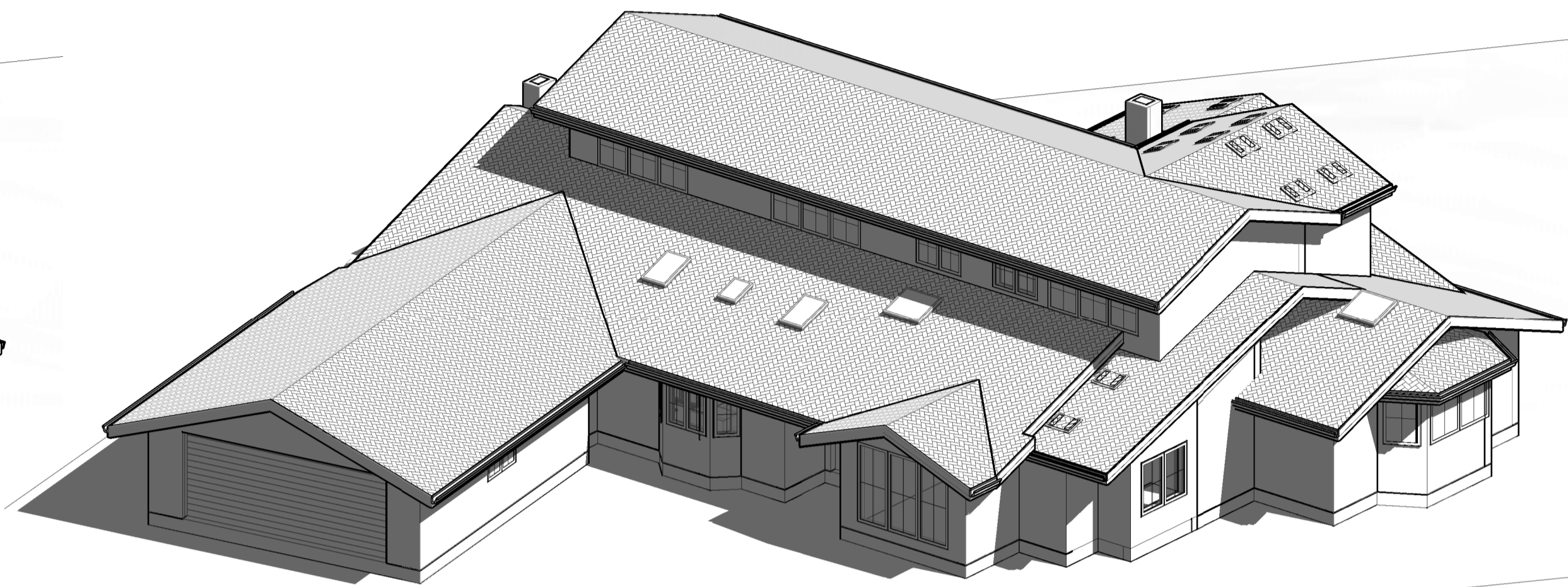
PROJECT : 202107199

DRAWING NO.

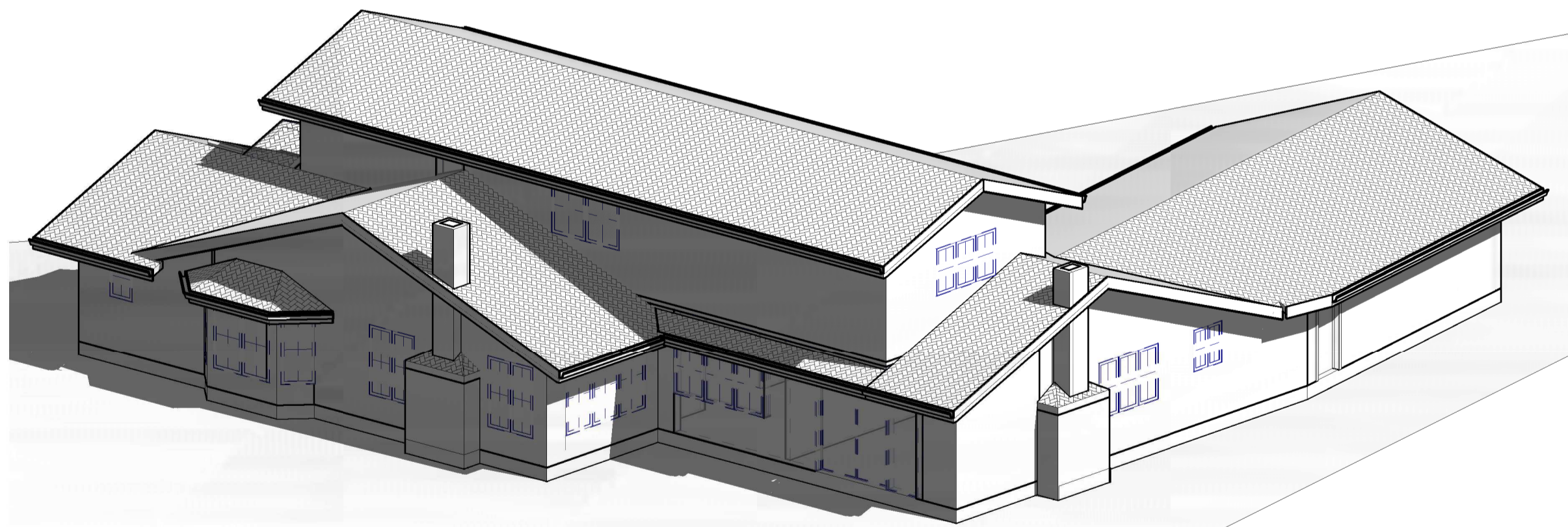
A-8.8



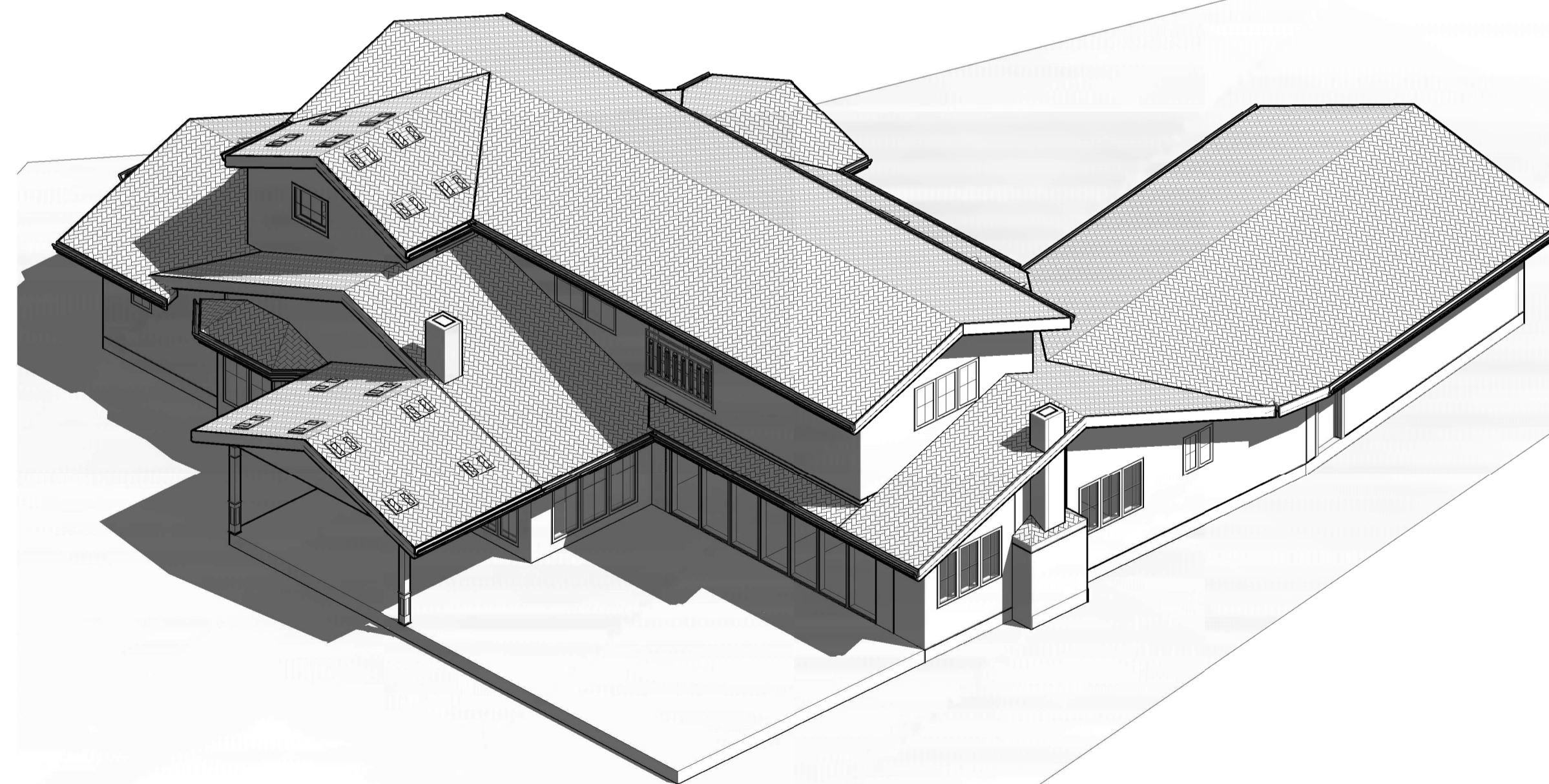
1 EXISTING 3D VIEW-1



2 PROPOSED 3D VIEW-1



3 EXISTING 3D VIEW-2



4 PROPOSED 3D VIEW-2



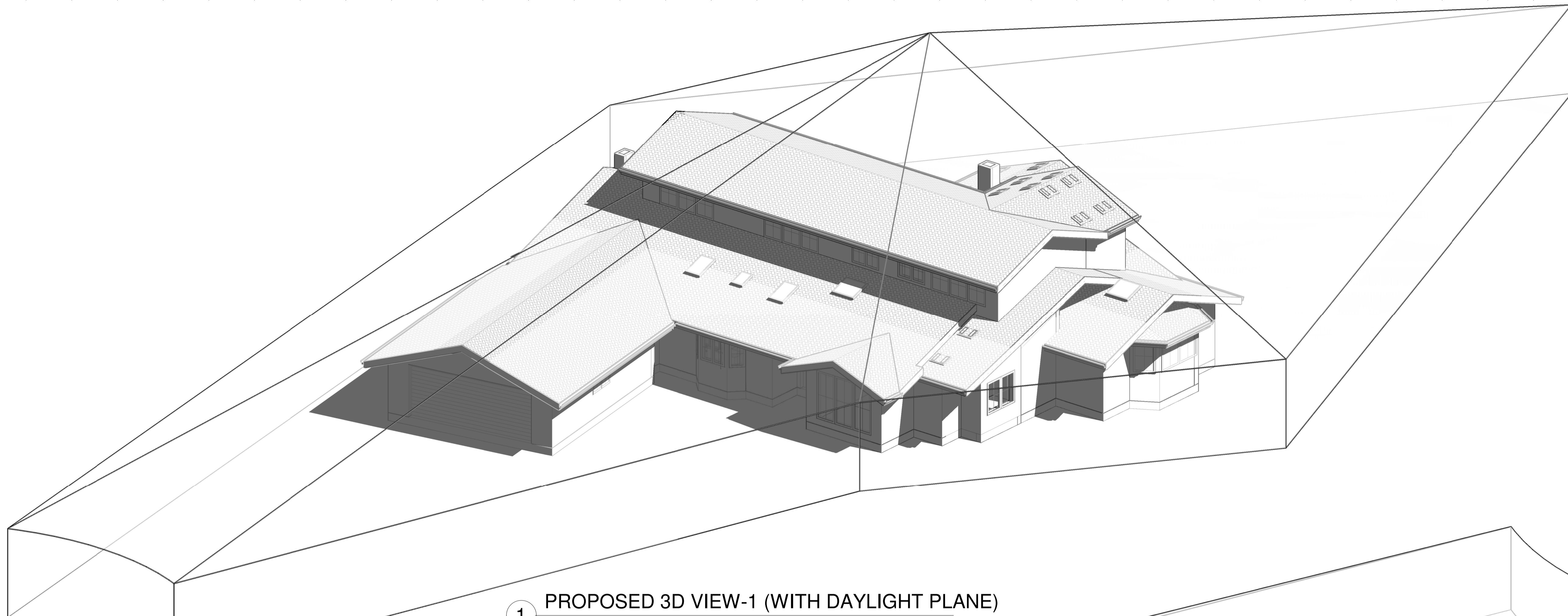
365 FLOWER LANE
MOUNTAIN VIEW, CA 94043
PHONE: (888) 311-3015 FAX: (650) 695-1801

3D VIEW (DAYLIGHT PLANE)
AHMED RENOVATION
ALINA AHMED
LOT 15
1081 NOTTINGHAM WAY
LOS ALTOS, CA 94024

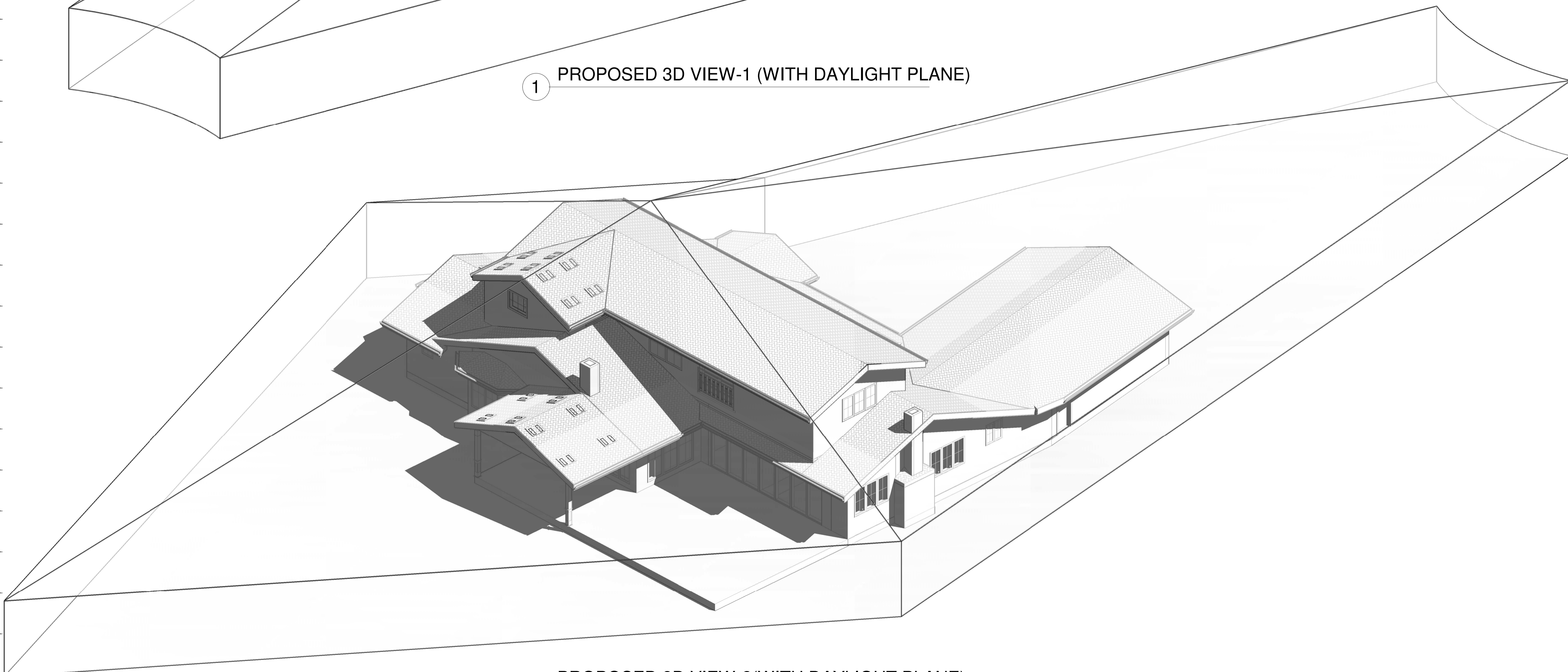
No.	DATE	DELTA DESCRIPTION:
1	23/02/05	CITY SUBMITTAL
2		
3		
4		
5		

DATE: 23/02/05
SCALE:
DRAWN BY :
CKD BY:
PROJECT : 202107199

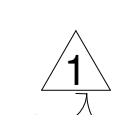
DRAWING NO.
A-8.9




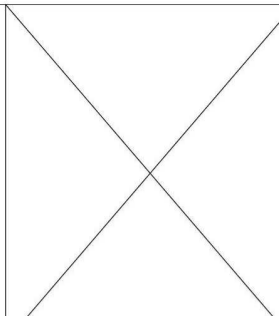
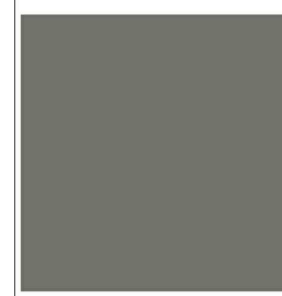

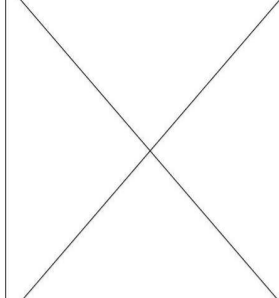



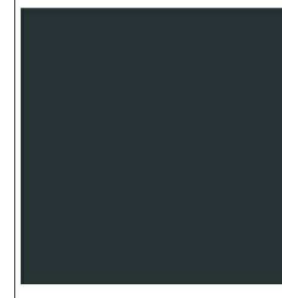
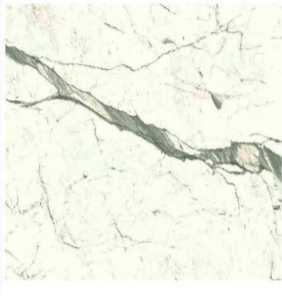


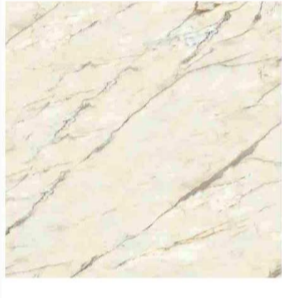




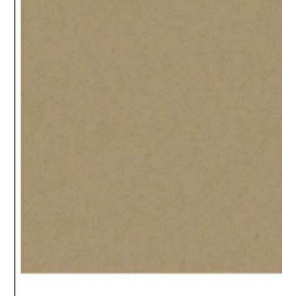


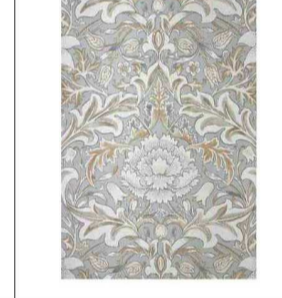
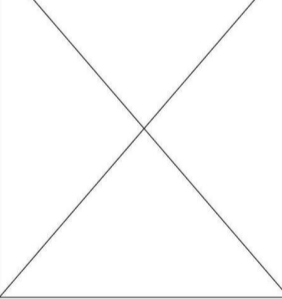

1 PROPOSED 3D VIEW-1 (WITH DAYLIGHT PLANE)










2 PROPOSED 3D VIEW-2(WITH DAYLIGHT PLANE)



FINISHES

ST-1		DESCRIPTION: MARBLE LOCATION: 104 - KITCHEN COUNTERTOPS & BACKSPLASH SOURCE: BY GC STYLE/PATTERN: CALACATTA MARBLE - HONED SIZE: 3 CM @ COUNTERTOP; 2 CM @ BACKSPLASH NOTES: EASED EDGE; APPLY MANUF. RECOMMENDED SEALER; CLIENT TO APPROVE SLAB PRIOR TO PURCHASE	T-4		NOT USED	WD-2		DESCRIPTION: PAINTED WOOD LOCATION: 112 - MASTER BATH VANITY SOURCE: CABINET MAKER COLOR: MATCH SHERWIN WILLIAMS 7066 GRAY MATTERS FINISH: SATIN
ST-2		DESCRIPTION: MARBLE LOCATION: 102 - HALF BATH COUNTERTOP SOURCE: BY GC STYLE/PATTERN: CALACATTA MARBLE - HONED SIZE: 2 CM NOTES: EASED EDGE; APPLY MANUF. RECOMMENDED SEALER; CLIENT TO APPROVE SLAB PRIOR TO PURCHASE	T-5		NOT USED	WD-3		DESCRIPTION: NATURAL WOOD LOCATION: 104 - KITCHEN SHELVES SOURCE: CABINET MAKER SPECIES: OAK COLOR: STAIN TO MATCH WD-5
ST-3		DESCRIPTION: MARBLE LOCATION: 112 - MASTER BATH COUNTERTOP SOURCE: BY GC STYLE/PATTERN: WHITE CARRARA MARBLE - HONED SIZE: 2 CM NOTES: EASED EDGE; APPLY MANUF. RECOMMENDED SEALER; CLIENT TO APPROVE SLAB PRIOR TO PURCHASE	T-6		DESCRIPTION: CALACATTA ORO - CAO LOCATION: 202 -BATH WALL & FLOOR SOURCE: BEDROSIANS STYLE/PATTERN: STPCL2CAO1224 MATTE SIZE: 12" X 24" NOTES: INSTALL IN RUNNING BOND PATTERN PER PLANS; 1/8" GROUT	WD-4		DESCRIPTION: PAINTED WOOD LOCATION: 205 - BATH SOURCE: CABINET MAKER COLOR: MATCH SHERWIN WILLIAMS 7615 SEA SERPENT FINISH: SATIN
ST-4		DESCRIPTION: PORCELAIN LOCATION: 205 - BATH COUNTERTOP SOURCE: BEDROSIANS STYLE/PATTERN: MAGNIFICA ENCORE PORCELAIN STATUARIETTO SIZE: 12 MM	T-6.1		DESCRIPTION: CALACATTA ORO - CAO PORCELAIN TILE LOCATION: 202 -BATH ACCENT WALL SOURCE: BEDROSIANS STYLE/PATTERN: STPCL2CAO26MO MATTE SIZE: 2" X 6" NOTES: INSTALL IN RUNNING BOND PATTERN PER PLANS; 1/8" GROUT	WD-5		DESCRIPTION: ENGINEERED WOOD FLOORING LOCATION: FIELD FLOORING THROUGHOUT U.N.O. SOURCE: MANNINGTON FLOORS STYLE/PATTERN: TIMBERPLUS COLOR: BRANCH TBRP08BRN1 SIZE: 8" WIDE PLANKS
ST-5		DESCRIPTION: PORCELAIN LOCATION: 202 - BATH COUNTERTOP SOURCE: BEDROSIANS STYLE/PATTERN: MAGNIFICA ENCORE PORCELAIN CALACATTA ORO SIZE: 12 MM	T-7		DESCRIPTION: STATUARIETTO CLASSIC PORCELAIN TILE LOCATION: 205 - BATH FLOOR & WALL SOURCE: BEDROSIANS STYLE/PATTERN: STPCLAST1224M MATTE SIZE: 12" X 24" NOTES: INSTALL IN RUNNING BOND PATTERN PER PLANS; 1/8" GROUT	PT-1		DESCRIPTION: PAINT LOCATION: FIELD PAINT THROUGHOUT U.N.O. SOURCE: SHERWIN WILLIAMS COLOR: SW 7005 PURE WHITE CEILING FINISH: FLAT; WALL FINISH: EGGSHELL; MILLWORK FINISH: SEMI-GLOSS NOTES: TWO (2) COATS OF LATEX PAINT OVER ONE (1) COAT OF LATEX PRIMER
T-1		DESCRIPTION: WHITE CARRARA MARBLE TILE W/ HONED FINISH LOCATION: 112 - MASTER BATH WALL & FLOOR SOURCE: BEDROSIANS STYLE/PATTERN: MRBWHTCAR1224H SIZE: 12"X24" NOTES: INSTALL IN RUNNING BOND PATTERN; 1/8" GROUT; APPLY MANUF. RECOMMENDED SEALER	T-8		DESCRIPTION: WHITE CARRARA MOSAIC HONED LOCATION: 112 - MASTER BATH FLOOR @ ACCENT LOCATIONS SOURCE: BEDROSIANS STYLE/PATTERN: 100001415 SIZE: 12 1/8" X 12 1/8" SHEET NOTES: INSTALL PER PLANS; 1/8" GROUT; APPLY MANUF. RECOMMENDED SEALER	F-1		DESCRIPTION: UPHOLSTERY FABRIC LOCATION: 114 - READING ROOM SOURCE: KRAVET / PERIGOLD COLOR: VELVET LIGHT BROWN
T-2		DESCRIPTION: NERO MARQUINA MARBLE TILE HONED LOCATION: 112 - MASTER BATH FLOOR SOURCE: BEDROSIANS STYLE/PATTERN: 100001381 SIZE: 2"X8" NOTES: INSTALL SINGLE LINEAR ROW IN RUNNING BOND PATTERN PER PLANS; 1/8" GROUT; APPLY MANUF. RECOMMENDED SEALER	GL-1		DESCRIPTION: CLEAR GLASS LOCATION: 104 - KITCHEN CABINETS SOURCE: BY GC - MATCH BENDHEIM LOW-IRON CRYSTAL FLAT STYLE/PATTERN: CLEAR LOW-IRON SIZE: 1/4" THICK	WP-1		DESCRIPTION: WALLPAPER LOCATION: 102 - HALF BATH ACCENT WALL SOURCE: WILLIAM MORRIS / ANTHROPOLOGIE STYLE/PATTERN: SIMPLY SEVERN COLOR: IVORY NOTES: GC TO PREP WALL TO LEVEL 5 FINISH
T-3		NOT USED	WD-1		DESCRIPTION: PAINTED WOOD LOCATION: 104 - KITCHEN CABINETS, 102- HALF BATH, 202 - BATH SOURCE: CABINET MAKER COLOR: MATCH SHERWIN WILLIAMS 7044 SNOWBOUND FINISH: SATIN			ALTERNATE FOR WOOD SIDING ON WALL AT ROOM 102

HARDWARE & ACCESSORIES

MI-01		DESCRIPTION: RECTANGULAR MIRROR LOCATION: 102 - HALF BATH SOURCE: POTTERY BARN STYLE/PATTERN: WARM BRONZE VINTAGE ROUNDED RECTANGULAR MIRROR 19X23" WITH D-RING MOUNT FINISH: ANTIQUE BRASS	HW-01		DESCRIPTION: DRAWER PULL LOCATION: 104 - KITCHEN DRAWERS SOURCE: SIGNATURE HARDWARE STYLE/PATTERN: STRASBOURG SOLID BRASS CABINET PULL FINISH: POLISHED BRASS SIZE: 8" NOTES: FOR KITCHEN DRAWERS GREATER THAN 2' WIDE
MI-02		DESCRIPTION: DECORATIVE MIRROR LOCATION: 112 - MASTER BATH SOURCE: ANTHROPOLOGIE STYLE/PATTERN: 60461217 APERTURE PORTRAIT MIRROR FINISH: GOLD SIZE: 24" X 40"X 1"D	HW-02		DESCRIPTION: DRAWER PULL LOCATION: 104 - KITCHEN DRAWERS SOURCE: SIGNATURE HARDWARE STYLE/PATTERN: STRASBOURG SOLID BRASS CABINET PULL FINISH: POLISHED BRASS SIZE: 3-3/4" NOTES: FOR KITCHEN DRAWERS LESS THAN 2' WIDE
MI-03		DESCRIPTION: CIRCULAR MIRROR LOCATION: 202 & 205 - BATH VANITY MIRROR SOURCE: SHADES OF LIGHT STYLE/PATTERN: KEYHOLE ROUND METAL MIRROR SKU MW17075 GL FINISH: BRONZED GOLD SIZE: 30.5"H X 25.5"W X 1"D	HW-03		DESCRIPTION: CABINET KNOB LOCATION: 104 - KITCHEN CABINETS SOURCE: SIGNATURE HARDWARE STYLE/PATTERN: STRASBOURG BRASS CABINET KNOB FINISH: POLISHED BRASS SIZE: 1-1/4" DIA. NOTES: FOR KITCHEN CABINETS
MI-03 ALT		DESCRIPTION: CIRCULAR MIRROR LOCATION: 202 & 205 - BATH VANITY MIRROR SOURCE: ANTHROPOLOGIE STYLE/PATTERN: 35418706 HOOP MIRROR FINISH: BRONZE 027 SIZE: 36.5"H X 30"W X 1"D			

ALERNATE FOR 112

ALTERNATE FOR WOOD SIDING ON WALL AT ROOM 102

ALTERNATE FOR FLOOR WHITE TILE AT BATHROOM 112












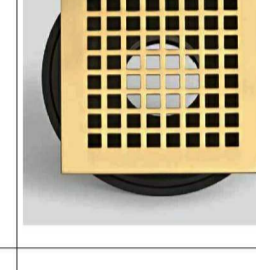




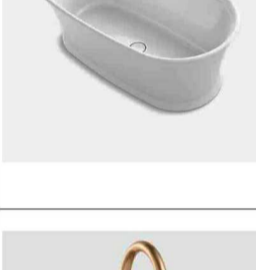
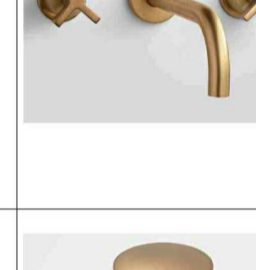



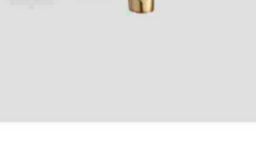




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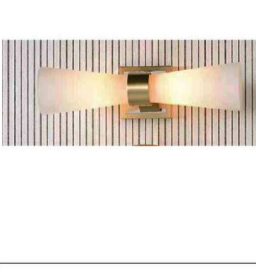
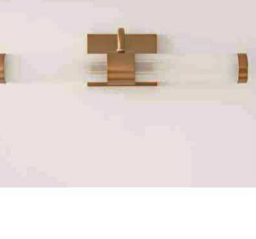
DATE: 23/02/05
SCALE:
DRAWN BY :
CKD BY:
PROJECT : 202107199

DRAWING NO.
A-8.11

PLUMBING FIXTURES

FX-01		DESCRIPTION: KITCHEN FAUCET LOCATION: 104 - KITCHEN SOURCE: HOUSE OF ROHL STYLE/PATTERN: PERRIN & ROWE GEORGIAN ERA BRIDGE KITCHEN FAUCET W/ SIDESPRAY U.4719 FINISH: SATIN ENGLISH GOLD	FX-07.1		DESCRIPTION: POP-UP DRAIN LOCATION: 102 - HALF BATH, 205 - BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: SOFT-TOUCH POP-UP DRAIN #C4668 FINISH: AGED BRASS	FX-14.1		DESCRIPTION: SHOWER HEAD LOCATION: 112 - MASTER BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: ROUND CONTEMPORARY SHOWER HEAD #C104913 FINISH: AGED BRASS
FX-02		DESCRIPTION: KITCHEN SINK LOCATION: 104 - KITCHEN SOURCE: KOHLER STYLE/PATTERN: WHITEHAVEN UNDERMOUNT SINGLE-BOWL FARMHOUSE KITCHEN SINK K-5827 COLOR: 0 WHITE NOTES: CLIENT TO CONFIRM ADDITIONAL ACCESSORIES	FX-08		DESCRIPTION: VESSEL SINK LOCATION: 202 - BATH SOURCE: SIGNATURE HARDWARE STYLE/PATTERN: MILFORDE PORCELAIN SEMI-RECESSED SINK SKU 914433	FX-15		DESCRIPTION: SHOWER SET LOCATION: 205 - BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: ROLLINS PRESSURE BALANCED SHOWER SET W/ HANDSHOWER #C5219 FINISH: AGED BRASS
FX-03		DESCRIPTION: HOT WATER FAUCET LOCATION: 104 - KITCHEN SOURCE: HOUSE OF ROHL STYLE/PATTERN: PERRIN & ROWE GEORGIAN ERA C-SPOUT HOT WATERFAUCET U.1307LS FINISH: SATIN ENGLISH GOLD NOTES: CLIENT TO CONFIRM IF FX-03 OR FX-03 ALT OR NEITHER IS PREFERRED; GC TO COORDINATE FILTER	FX-09		DESCRIPTION: FAUCET LOCATION: 202 - BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: LETA SINGLE-HOLE VESSEL FAUCET W/ POP-UP DRAIN SKU910802 FINISH: POLISHED BRASS	FX-15.1		DESCRIPTION: SHOWER HEAD LOCATION: 205 - BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: ROUND CONTEMPORARY SHOWER HEAD #C104913 FINISH: AGED BRASS
FX-03 ALT		DESCRIPTION: FILTERED WATER FAUCET LOCATION: 104 - KITCHEN SOURCE: HOUSE OF ROHL STYLE/PATTERN: PERRIN & ROWE GEORGIAN ERA C-SPOUT FILTER FAUCET U.1625 FINISH: SATIN ENGLISH GOLD NOTES: CLIENT TO CONFIRM IF FX-03 OR FX-03 ALT OR NEITHER IS PREFERRED; GC TO COORDINATE FILTER	FX-10		DESCRIPTION: TOILET LOCATION: 112 - MASTER BATH SOURCE: KOHLER STYLE/PATTERN: EIR COMFORT HEIGHT K-77795 COLOR: 0 WHITE	FX-16		DESCRIPTION: SHOWER DRAIN LOCATION: 112 - MASTER BATH, 205 - BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: CONTEMPORARY SQUARE GRILLED SHOWER DRAIN ASSEMBLY #C6988 FINISH: AGED BRASS
FX-04		DESCRIPTION: SOAP DISPENSER LOCATION: 104 - KITCHEN SOURCE: HOUSE OF ROHL STYLE/PATTERN: PERRIN & ROWE GEORGIAN ERA DECK MOUNT SOAP DISPENSER U.6695 FINISH: SATIN ENGLISH GOLD	FX-11		DESCRIPTION: TOILET LOCATION: 102, 202, 205 - BATH SOURCE: KOHLER STYLE/PATTERN: MEMOIRS STATELY COMFORT HEIGHT K-6428 COLOR: 0 WHITE	FX-17		DESCRIPTION: SHOWER DRAIN LOCATION: 112 - MASTER BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: CONTEMPORARY SQUARE GRILLED SHOWER DRAIN ASSEMBLY #C6988 FINISH: AGED BRASS
FX-05		DESCRIPTION: POT FILLER LOCATION: 104 - KITCHEN SOURCE: HOUSE OF ROHL STYLE/PATTERN: PERRIN & ROWE WALL MOUNT SWING ARM POT FILLER U.4799LS FINISH: SATIN ENGLISH GOLD	FX-12		DESCRIPTION: FREESTANDING TUB LOCATION: 112 - MASTER BATH SOURCE: KOHLER STYLE/PATTERN: MEMOIRS 66-3/16" 36-7/16" FREESTANDING BATH K-8333 COLOR: 0 WHITE	FX-18		DESCRIPTION: FAUCET LOCATION: 112 - MASTER BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: WEST SLOPE CROSS HANDLE WALL MOUNT FAUCET #C4405 FINISH: AGED BRASS
FX-06		DESCRIPTION: UNDERMOUNT SINK LOCATION: 102 - HALF BATH SOURCE: KOHLER STYLE/PATTERN: MEMOIRS K-2339 FINISH: 0 WHITE	FX-13		DESCRIPTION: FLOOR MOUNTED TUB FAUCET LOCATION: 112 - MASTER BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: WEST SLOPE FLOOR MOUNTED TUB FILLER WITH HANDSHOWER #C6658 FINISH: AGED BRASS	FX-18.1		DESCRIPTION: POP-UP DRAIN LOCATION: 112 - MASTER BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: SOFT-TOUCH POP-UP DRAIN #C4668 FINISH: AGED BRASS
FX-07		DESCRIPTION: WALL MOUNTED FAUCET LOCATION: 102 - HALF BATH, 205 - BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: CAN-2.2-CN4 WIDESPREAD WALL MOUNTED LAVATORY #C100001 FINISH: AGED BRASS	FX-14		DESCRIPTION: SHOWER SET LOCATION: 112 - MASTER BATH SOURCE: REJUVENATION HARDWARE STYLE/PATTERN: WEST SLOPE THERMOSTATIC SHOWER SET WITH HANDSHOWER #C3690 FINISH: AGED BRASS	FX-19		DESCRIPTION: VESSEL SINK LOCATION: 205 - BATH SOURCE: SIGNATURE HARDWARE STYLE/PATTERN: HIBISCUS RECTANGULAR FIRECLAY VESSEL SINK SKU 948624 FINISH: WHITE

LIGHTING

LT-01		DESCRIPTION: SCONCE LOCATION: 112 - MASTER BATH SOURCE: CIRCA LIGHTING STYLE/PATTERN: CAMILLE SCONCE SK 2016HAB-L FINISH: HAND-RUBBED ANTIQUE BRASS & LINEN	LT-05		DESCRIPTION: SCONCE LOCATION: 202 - BATH SOURCE: CIRCA LIGHTING STYLE/PATTERN: KATIE SMALL GLOBE SCONCE #TOB 2225HAB/G4-CG FINISH: HAND-RUBBED ANTIQUE BRASS & CLEAR GLASS	OPTIONAL LIGHT AT 202 VERIFY WITH OWNER
LT-02		DESCRIPTION: SCONCE LOCATION: 104 - KITCHEN SOURCE: VISUAL COMFORT & CO. STYLE/PATTERN: TT SINGLE SCONCE SL 2860AN FINISH: HAND-RUBBED ANTIQUE BRASS & LINEN	LT-06		DESCRIPTION: PENDANT LOCATION: 112 - MASTER BATH SOURCE: CIRCA LIGHTING STYLE/PATTERN: LORFORD LARGE SMOKE BELL LANTERN #CHC 2271GI-MG FINISH: GILDED IRON & MERCURY GLASS	OPTIONAL LIGHT AT 112 VERIFY WITH OWNER
LT-03		DESCRIPTION: PENDANT LOCATION: 104 - KITCHEN SOURCE: CIRCA LIGHTING STYLE/PATTERN: RIVERSIDE MEDIUM SQUARE LANTERN #CHC 3439AB-CG FINISH: ANTIQUE BURNISHED BRASS & CLEAR GLASS	LT-07		DESCRIPTION: SCONCE LOCATION: 205 - BATH SOURCE: ANTHROPOLOGIE STYLE/PATTERN: INGRAM VANITY SCONCE 54523295 FINISH: BRASS 027	
LT-04		DESCRIPTION: SCONCE LOCATION: 102 - HALF BATH SOURCE: ANTHROPOLOGIE STYLE/PATTERN: ELISE VANITY SCONCE 59974550 FINISH: BRASS 027				OPTIONAL LIGHT AT 102 VERIFY WITH OWNER

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 Input File Name: 220341ea_RD.ridb19x

GENERAL INFORMATION table with columns 01-22 and rows for Project Name, Run Title, Project Location, City, Zip code, Standards Version, Climate Zone, Building Type, Project Scope, Addition Cond. Floor Area, Existing Cond. Floor Area, Total Cond. Floor Area, ADU Bedroom Count, Is Natural Gas Available?

COMPLIANCE RESULTS table with columns 01-03 and rows for Building Complies with Computer Performance, Building does not require field testing or HERS verification, Building does not incorporate Special Features

ENERGY USE SUMMARY table with columns for Energy Use (kTD/ft²-yr), Standard Design, Proposed Design, Compliance Margin, Percent Improvement

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 Input File Name: 220341ea_RD.ridb19x

REQUIRED SPECIAL FEATURES table with row: NO SPECIAL FEATURES REQUIRED

HERS FEATURE SUMMARY table with rows for Building-level Verifications, Cooling System Verifications, Heating System Verifications, HVAC Distribution System Verifications, Domestic Hot Water System Verifications

BUILDING - FEATURES INFORMATION table with columns 01-07 and rows for Project Name, Conditioned Floor Area, Number of Dwelling Units, Number of Bedrooms, Number of Zones, Number of Ventilation Cooling Systems, Number of Water Heating Systems

ZONE INFORMATION table with columns 01-07 and rows for Zone Name, Zone Type, HVAC System Name, Zone Floor Area, Avg. Ceiling Height, Water Heating System 1, Water Heating System 2

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 Input File Name: 220341ea_RD.ridb19x

OPAQUE SURFACES - CATHEDRAL CEILING table with columns 01-11 and rows for East Wall (New), West Wall (New), Interior Surface, Interior Surface 2, Interior Surface 3, Roof (Existing) 2, Roof (Existing) 3, Raised Floor (Existing), Raised Floor (New), Interior Surface 4, Interior Surface 5

OPAQUE SURFACES - CATHEDRAL CEILING table with columns 01-14 and rows for Name, Zone, Construction, Azimuth, Orientation, Area (ft²), Skylight Area (ft²), Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Cool Roof, Status, Verified Existing Condition, Existing Construction

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 Input File Name: 220341ea_RD.ridb19x

OPAQUE SURFACES - CATHEDRAL CEILING table with columns 01-14 and rows for Name, Zone, Construction, Azimuth, Orientation, Area (ft²), Skylight Area (ft²), Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Cool Roof, Status, Verified Existing Condition, Existing Construction

ATTIC table with columns 01-10 and rows for Name, Construction, Type, Roof Rise (x in 12), Roof Reflectance, Roof Emittance, Radiant Barrier, Cool Roof, Status, Verified Existing Condition

FENESTRATION / GLAZING table with columns 01-16 and rows for Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 Input File Name: 220341ea_RD.ridb19x

OPAQUE SURFACES table with columns 01-11 and rows for Name, Zone, Construction, Azimuth, Orientation, Gross Area (ft²), Window and Door Area (ft²), Tilt (deg), Wall Exceptions, Status, Verified Existing Condition

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 Input File Name: 220341ea_RD.ridb19x

FENESTRATION / GLAZING table with columns 01-16 and rows for Name, Type, Surface, Orientation, Azimuth, Width (ft), Height (ft), Mult., Area (ft²), U-factor, U-factor Source, SHGC, SHGC Source, Exterior Shading, Status, Verified Existing Condition

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 CF1R-PRF-01E (Page 7 of 13) Calculation Description: Title 24 Analysis Input File Name: 220341ea_RD.rbd19x

Table with 16 columns (01-16) and 17 rows detailing fenestration/glazing specifications including Name, Type, Surface, Orientation, Azimuth, Width, Height, Area, U-factor, SHGC, SHGC Source, Exterior Shading, Status, and Verified Existing Condition.

Table with 6 columns (01-06) detailing opaque doors specifications including Name, Side of Building, Area, U-factor, Status, and Verified Existing Condition.

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-22 18:54:57 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 CF1R-PRF-01E (Page 8 of 13) Calculation Description: Title 24 Analysis Input File Name: 220341ea_RD.rbd19x

Table with 8 columns (01-08) detailing opaque surface constructions including Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior/Exterior Continuous R-value, U-factor, and Assembly Layers.

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-22 18:54:57 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 CF1R-PRF-01E (Page 9 of 13) Calculation Description: Title 24 Analysis Input File Name: 220341ea_RD.rbd19x

Table with 8 columns (01-08) detailing opaque surface constructions including Construction Name, Surface Type, Construction Type, Framing, Total Cavity R-value, Interior/Exterior Continuous R-value, U-factor, and Assembly Layers.

Table with 4 columns (01-04) detailing building envelope - HERS verification including Quality Insulation Installation (QI), High R-value Spray Foam Insulation, Building Envelope Air Leakage, and CFM50.

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-22 18:54:57 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 CF1R-PRF-01E (Page 12 of 13) Calculation Description: Title 24 Analysis Input File Name: 220341ea_RD.rbd19x

Table with 16 columns (01-16) detailing HVAC - Distribution Systems including Name, Type, Design Type, Supply, Return, Bypass Duct, Duct Leakage, HERS Verification, Status, Existing Distribution System, and New Ducts.

Table with 4 columns (01-04) detailing HVAC - Fan Systems including Name, Type, Fan Power (Watts/CFM), and Name.

Table with 3 columns (01-03) detailing HVAC Fan Systems - HERS Verification including Name, Verified Fan Watt Draw, and Required Fan Efficacy (Watts/CFM).

Table with 1 column (01) detailing HERS Rater Verification of Existing Conditions.

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-22 18:54:57 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 CF1R-PRF-01E (Page 13 of 13) Calculation Description: Title 24 Analysis Input File Name: 220341ea_RD.rbd19x

Documentation Author's Declaration Statement and Responsible Person's Declaration Statement forms, including signatures of Raffi Dar and Pisuttisuk Kittipongdaja.

Digitally signed by Carol Home Energy Efficiency Rating System Services, Inc. (CHEERS). This digital signature is provided in order to secure the content of this registered document, and in no way implies Registration Provider responsibility for the accuracy of the information.

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-22 18:54:57 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE Project Name: 1081 Nottingham Way Calculation Date/Time: 2022-06-22T18:53:32-07:00 CF1R-PRF-01E (Page 10 of 13) Calculation Description: Title 24 Analysis Input File Name: 220341ea_RD.rbd19x

Table with 10 columns (01-10) detailing Water Heating Systems including Name, System Type, Distribution Type, Water Heater Name, Solar Heating System, Compact Distribution, HERS Verification, Status, Verified Existing Condition, and Existing Water Heating System.

Table with 14 columns (01-14) detailing Water Heaters including Name, Heating Element Type, Tank Type, # of Units, Tank Vol. (gal), Energy Factor or Efficiency, Input Rating or Pilot, Tank Insulation R-value, Standby Loss or Recovery Eff, 1st Hr. Rating or Flow Rate, NEEA Heat Pump Brand or Model, Tank Location or Ambient Condition, Status, and Verified Existing Condition.

Table with 8 columns (01-08) detailing Water Heating - HERS Verification including Name, Pipe Insulation, Parallel Piping, Compact Distribution, Compact Distribution Type, Recirculation Control, Central DHW Distribution, and Shower Drain Water Heat Recovery.

Registration Number: 422-P010094810A-000-000-0000000-0000 Registration Date/Time: 06/22/2022 21:00 HERS Provider: CHEERS... CA Building Energy Efficiency Standards - 2019 Residential Compliance Report Version: 2019.2.000 Report Generated: 2022-06-22 18:54:57 Schema Version: rev 20200901

CERTIFICATE OF COMPLIANCE

Project Name: 1081 Nottingham Way

Calculation Date/Time: 2022-06-22T18:53:32-07:00

CF1R-PRF-01E

(Page 11 of 13)

Calculation Description: Title 24 Analysis

Input File Name: 220341ea_RD.ribd19x

SPACE CONDITIONING SYSTEMS										
01	02	03	04	05	06	07	08	09	10	11
Name	System Type	Heating Unit Name	Cooling Unit Name	Fan Name	Distribution Name	Required Thermostat Type	Status	Verified Existing Condition	Heating Equipment Count	Cooling Equipment Count
Existing HVAC1	Heating and cooling system other	Heating Component 1	Cooling Component 1	HVAC Fan 1	Air Distribution System 1	n/a	Existing	No	1	1

HVAC - HEATING UNIT TYPES			
01	02	03	04
Name	System Type	Number of Units	Heating Efficiency
Heating Component 1	Central gas furnace	1	AFUE-78

HVAC - COOLING UNIT TYPES							
01	02	03	04	05	06	07	08
Name	System Type	Number of Units	Efficiency EER/CEER	Efficiency SEER	Zonally Controlled	Multi-speed Compressor	HERS Verification
Cooling Component 1	Central split AC	1	9.7	14	Not Zonal	Single Speed	Cooling Component 1-hers-cool

HVAC - DISTRIBUTION SYSTEMS																
01	02	03	04	05	06	07	08	09	10	11	12	13	14	15	16	
Name	Type	Design Type	Duct Ins. R-value		Duct Location		Surface Area			Bypass Duct	Duct Leakage	HERS Verification	Status	Verified Existing Condition	Existing Distribution system	New Ducts 40 ft
			Supply	Return	Supply	Return	Supply	Return								
Air Distribution System 1	Unconditioned attic	Non-Verified	R-6	R-6	Attic	Attic	n/a	n/a	No Bypass Duct	Existing (not specified)	Air Distribution System	Existing	No	n/a	n/a	

Registration Number: 422-P010094810A-000-000-0000000-0000
 Registration Date/Time: 06/22/2022 21:00
 HERS Provider: CHEERS
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 CA Building Energy Efficiency Standards - 2019 Residential Compliance
 Report Version: 2019.2.000
 Schema Version: rev 20200901
 Report Generated: 2022-06-22 18:54:57



365 FLOWER LANE
 MOUNTAIN VIEW, CA 94043
 PHONE: (888) 311-3015 FAX: (650) 695-1801

TITLE 24

AHMED RENOVATION
 ALINA AHMED
 LOT 15
 1081 NOTTINGHAM WAY
 LOS ALTOS, CA 94024

DELTA DESCRIPTION:
 CITY SUBMITTAL

DATE:
 23/02/05

No. 1 2 3 4

DATE: 23/02/05

SCALE:

DRAWN BY :

CKD BY:

PROJECT : 202107199

DRAWING NO.

T24-03



DATE: March 29, 2023
AGENDA ITEM # 4

TO: Design Review Commission
FROM: Jia Liu, Associate Planner
SUBJECT: SC22-0032 – 749 University Avenue

RECOMMENDATION:

Approve design review application SC22-0032 subject to the listed findings

PROJECT DESCRIPTION

This is a design review application for a new two-story house. The project consists of 1,578 square feet at the first story and 1,223 square feet at the second story. A 710 square-foot, attached accessory dwelling unit is also proposed, but not subject to design review. This project is categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Residential
ZONING: R1-10
PARCEL SIZE: 8,052 square feet
MATERIALS: Composition shingle roof, stucco exterior finish with horizontal siding, fiberglass framed windows and doors with wood trims.

	Existing	Proposed	Allowed/Required
COVERAGE:	2,368 square feet	2,178 square feet	2,416 square feet
FLOOR AREA:			
First floor	2,368 square feet	1,578 square feet	2,818 square feet
Second floor	--	1,223 square feet	
Total	2,368 square feet	2,801 square feet	
SETBACKS:			
Front	25 feet	35 feet	25 feet
Rear	25 feet	27.5 feet	25 feet
Right side (1 st /2 nd)	6 feet/--	6.5 feet/16.1 feet	6.1 feet/11.1 feet
Left side (1 st /2 nd)	6 feet/--	6.5 feet/14 feet	6.1 feet/11.1 feet
HEIGHT:	15.17 feet	25.25 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is fronting University Avenue and back up to a public alley way between South El Monte Avenue and Lee Street. The surrounding neighborhood is considered a Consistent Character Neighborhood as defined in the City's Residential Design Guidelines. The homes in the immediate neighborhood context are a combination of one-story and two-story houses, with two-story homes at 731, 757, and 770 University Avenue. Properties in the immediate neighborhood appear to have consistent front setback patterns. Most homes in the neighborhood feature low to moderate scale horizontal eave lines with wall plates that appear to be between eight to nine feet in height. Most garages are attached to the existing homes fronting the street except for four homes on the northside of the University Avenue including the current house that have attached garage facing the alley way. Roof forms are a combination of simple and complex roof lines due to certain houses renovations/upgrades in the neighborhood over the years. A mix of roofing materials are found in the immediate neighborhood including wood shake, composition shingle, and tiles. The exterior materials commonly used include stucco and wood siding with stone veneer or brick accents. Landscapes in the front consist of mature street trees on most properties with dense screening shrubs further in.

Zoning Compliance

According to the land survey on Sheet 1, the subject site has an average lot width of 61 feet. Per the Los Altos Zoning Code (LAZC) Section 14.06.080 E.2, when a lot has an average width less than 80 feet, it is considered a narrow lot and eligible for a reduced side setback that is either 10% of average lot width or five feet, whichever is more restrictive. Furthermore, LAZC Section 14.06.080 E.2 requires an additional five-foot second story side setback for a narrow lot if a 35-foot front setback is provided. In summary, with the placement of a 35-foot front setback for the proposed house, the first story side setback shall be at least 6.1 feet and the second story side setback shall be at least 11.1 feet. The proposed house has a first-story side setback of least 6.5 feet and a second-story side setback of 16 feet that are found compliance.

DISCUSSION

Design Review

According to the Residential Design Guidelines, in a Consistent Character Neighborhoods, a good neighbor design has design elements, material, and scale found within the neighborhood and sizes that are not significantly larger than other homes in the neighborhood.

The proposed new two-story residence will maintain the same circulation as the existing house, which is designed to face University Avenue with pedestrian entry access, while the attached two-car garage will be situated towards the back of the property, facing the alley way. The front elevation incorporates design elements such as integrated gable and hipped roof forms, a recessed second story massing from the first story, horizontal eave lines, a front porch with a depth of fourteen feet, and articulated architecture on both the first and second floors. The rear elevation, visible from the alley way, will also feature consistent articulation, massing, and other architectural details that are well-integrated with the overall house design.

The project is also utilizing high quality materials such as the composition shingle roof, stucco exterior finish with horizontal Hardie board siding accent, and fiberglass framed windows and doors, which are integrated into the overall architectural design of the residence and found to relate to the surrounding

neighborhood.

The overall height of the proposed residence is 25.25 feet, consistent with the maximum height of 27 feet in the R1-10 zoning district. Consistent wall plate heights are designed at both floors: nine feet and one inch at the first floor and eight feet and six inches at the second floor. Regarding the roof design, the first-story features a 3:12 roof pitch except for the entry porch that has a 4:12 pitch and the second-story has a consistent 4:12 roof pitch with the roof material being composition shingle.

Overall, according to the Residential Design Guidelines, the project appears to be an appropriate design within this Consistent Character Neighborhood setting. The proposed addition has design elements, materials, and scale found in the neighborhood and meet the intent of the design review findings.

Privacy

On the left elevation, six windows are proposed at the second floor, including: five small-sized windows and one medium-sized, bathroom window. All the five windows will have the same sill height of four feet and six inches. On the right elevation, there will be three small windows with two window to the left featuring four-foot and six-inch sill height and one small window with a five-foot sill height.

The privacy impact to the interior side neighboring properties is found very minimal due to all windows that designed with a minimum sill height of four feet and six inches which are considered by the Design Review Commissioners as an acceptable practice to minimize privacy impact.

Along the rear second story elevation, there are two large windows proposed with the same sill height of two feet six inches. Staff found the design is consistent with the Residential Design Guidelines to minimize the privacy impact from the following aspects:

- The placement of the second story portion is located more than 33 feet away from the rear property line that is further than the required 25-foot rear setback. With the additional 16-foot public alley way, an approximate 50-foot separation from the second story window to the rear abutting property is provided, and
- New screening vegetation and trees will be planted along most of the rear property line to further mitigate the privacy impact. The details of the proposed evergreen plants will be provided in the Landscaping and Trees section of the staff report.

Landscaping and Trees

The site plan (Sheet A.3) shows there are 10 trees within the proximity of the subject site, including two street trees, six onsite trees, and two neighboring trees. All the trees were assessed by a professional arborist, Edwin E. Stirtz (ISA License #WE-0510A), and an arborist report with a tree protection plan was provided in Attachment B. One on-site protected tree, a 19-inch Silver Maple (Tree No. 6), will be removed due to its poor structure conditions. One 24-inch box Chinese Pistache will be planted in the front yard as the replacement tree. All the other trees will remain and be protected during future construction.

A new landscaping plan is proposed including a number of evergreen screening vegetation and new trees. The proposed screening vegetation will be planted along all the property lines and are outlined in Table 1 below. All the screening vegetation shall be sized at least 15 gallons as required by Condition No. 5 in the staff report.

Table 1: Proposed Screening Plant List

Location	Common Name	No.	Size	Description
Left property line	Wax Leaf Privet	16	Condition to 15 gallons	6'-8' tall x 4'-6' wide
Right property line	Wax Leaf Privet	8	Condition to 15 gallons	6'-8' tall x 4'-6' wide
Rear property line	Wax Leaf Privet	11	Condition to 15 gallons	6'-8' tall x 4'-6' wide

Since the project includes a new house and new landscaping area that exceeds 500 square feet, it is subject to the City’s Water Efficient Landscape regulations. Overall, the existing and proposed landscaping meets the intent of the City’s landscape regulations.

Environmental Review

This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of a single-family dwelling in a residential zone.

Public Notification and Community Outreach

A public meeting notice was posted on the property and mailed to 12 nearby property owners on University Avenue and Orange Avenue. The Notification Map is included in Attachment C.

The applicant was also dedicated to the community outreach for the subject project. On August 26, 2022, the applicant provided certified mail to the immediate neighborhood for early community awareness. An online community meeting was also hosted on December 7, 2022 for more neighborhood engagement. The receipts of certified mails and a summary of the community meeting are attached to the staff report in Attachment E.

Cc: SF21G, LLC., Property Owner
Hannah Chiu, Applicant

Attachments:

- A. Neighborhood Compatibility Worksheet
- B. Arborist Report
- C. Notification Map
- D. Pictures of Notice of Development Proposal
- E. Proof of Community Outreach
- F. Material Boards

FINDINGS

SC22-0032 – 749 University Avenue

With regard to design review for the new two-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed new two-story residence complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed new house, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new house in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed new house has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC22-0032 – 749 University Avenue

GENERAL

1. **Expiration**

The Design Review Approval will expire on March 29, 2025 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. **Approved Plans**

The approval is based on the plans and materials received on March 3, 2023, except as may be modified by these conditions.

3. **Protected Trees**

Trees Nos. 3-5, 7, and 9 along with the approved privacy screening and new trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

4. **Tree Removal Approved**

Tree No. 6 shown to be removed on plan Sheet A.3 of the approved set of plans are hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.

5. **Screening Vegetation Planting Size**

The screening vegetation as outlined in the Table 1 of the staff report shall be at least 15 gallons in size and maintained for the life of the project. The Plant Legend on Sheet L2.1 shall be revised and incorporated into the construction drawings.

6. **Landscaping**

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELo) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City's Model Water Efficient Landscape Ordinance.

7. **Underground Utility and Fire Sprinkler Requirements**

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. **Indemnity and Hold Harmless**

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

10. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

11. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

12. Reach Codes

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

18. Tree Protection

Tree protection fencing shall be installed around the driplines, or as required by the project arborist, of trees Nos. 1-5, and 7-10 as shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

19. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

20. Landscaping Installation

All front yard landscaping, street trees and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division.

21. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

22. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).



NEIGHBORHOOD COMPATIBILITY WORKSHEET

In order for your design review application for single-family residential remodel/addition or new construction to be successful, it is important that you consider your property, the neighborhood’s special characteristics that surround that property and the compatibility of your proposal with that neighborhood. **The purpose is to help you understand your neighborhood before you begin the design process with your architect/designer/builder or begin any formal process with the City of Los Altos.** *Please note that this worksheet must be submitted with your 1st application.*

The Residential Design Guidelines encourage neighborhood compatibility without necessarily forsaking individual taste. Various factors contribute to a design that is considered compatible with a surrounding neighborhood. The factors that City officials will be considering in your design could include, but are not limited to: design theme, scale, bulk, size, roof line, lot coverage, slope of lot, setbacks, daylight plane, one or two-story, exterior materials, landscaping et cetera.

It will be helpful to have a site plan to use in conjunction with this worksheet. Your site plan should accurately depict your property boundaries. The best source for this is the legal description in your deed.

Photographs of your property and its relationship to your neighborhood (see below) will be a necessary part of your first submittal. Taking photographs before you start your project will allow you to see and appreciate that your property could be within an area that has a strong neighborhood pattern. The photographs should be taken from across the street with a standard 35mm camera and organized by address, one row for each side of the street. Photographs should also be taken of the properties on either side and behind your property from on your property.

This worksheet/check list is meant to help *you* as well as to help the City planners and Planning Commission understand your proposal. Reasonable guesses to your answers are acceptable. The City is not looking for precise measurements on this worksheet.

Project Address 749 University Ave

Scope of Project: Addition or Remodel **or New Home**

Age of existing home if this project is to be an addition or remodel? _____

Is the existing house listed on the City’s Historic Resources Inventory? No

What constitutes your neighborhood?

There is no clear answer to this question. For the purpose of this worksheet, consider first your street, the two contiguous homes on either side of, and directly behind, your property and the five to six homes directly across the street (eight to nine homes). At the minimum, these are the houses that you should photograph. If there is any question in your mind about your neighborhood boundaries, consider a radius of approximately 200 to 300 feet around your property and consider that your neighborhood.

Streetscape

1. Typical neighborhood lot size*:

Lot area: 10,280 square feet
Lot dimensions: Length 139.2 feet
Width 71.31 feet

If your lot is significantly different than those in your neighborhood, then note its: area 7,840 sf, length 132 ft, and width 61 ft.

2. Setback of homes to front property line: (Pgs. 8-11 Design Guidelines)

Existing front setback if home is a remodel? No
What % of the front facing walls of the neighborhood homes are at the front setback 80 %
Existing front setback for house on left 25 ft./on right 25 ft.
Do the front setbacks of adjacent houses line up? _____

3. Garage Location Pattern: (Pg. 19 Design Guidelines)

Indicate the relationship of garage locations in your neighborhood* only on your street (count for each type)
Garage facing front projecting from front of house face 5
Garage facing front recessed from front of house face 1
Garage in back yard 4
Garage facing the side 0
Number of 1-car garages 3; 2-car garages 7; 3-car garages 0

4. Single or Two-Story Homes:

What % of the homes in your neighborhood* are:

One-story 70%

Two-story 30%

5. Roof heights and shapes:

Is the overall height of house ridgelines generally the same in your neighborhood*? No

Are there mostly hip , gable style , or other style roofs*?

Do the roof forms appear simple or complex ?

Do the houses share generally the same eave height Yes ?

6. Exterior Materials: (Pg. 22 Design Guidelines)

What siding materials are frequently used in your neighborhood*?

wood shingle stucco board & batten clapboard
 tile stone brick combination of one or more materials
(if so, describe) _____

What roofing materials (wood shake/shingle, asphalt shingle, flat tile, rounded tile, cement tile, slate) are consistently (about 80%) used?

Asphalt shingle (70%)

If no consistency then explain: _____

7. Architectural Style: (Appendix C, Design Guidelines)

Does your neighborhood* have a consistent identifiable architectural style?

YES NO

Type? Ranch Shingle Tudor Mediterranean/Spanish
 Contemporary Colonial Bungalow Other

8. Lot Slope: *(Pg. 25 Design Guidelines)*

Does your property have a noticeable slope? No

What is the direction of your slope? (relative to the street)

The lot is relatively flat. The site slopes down approximately +/-2.5' from the street frontage to the rear.

Is your slope higher lower same in relationship to the neighboring properties? Is there a noticeable difference in grade between your property/house and the one across the street or directly behind?

9. Landscaping:

Are there any frequently used or typical landscaping features on your street (i.e. big trees, front lawns, sidewalks, curbs, landscape to street edge, etc.)?

Trees and landscape to street edge.

How visible are your house and other houses from the street or back neighbor's property?

From the street the subject home and surrounding homes are highly to moderately visible. At the rear they are minimally visible due to fencing and trees.

Are there any major existing landscaping features on your property and how is the unimproved public right-of-way developed in front of your property (gravel, dirt, asphalt, landscape)?

There are 7 existing trees on site. The unimproved public right of way is developed with dirt and gravel. Landscaping consists of grass and street trees along sidewalk curbs.

10. Width of Street:

What is the width of the roadway paving on your street in feet? 25'

Is there a parking area on the street or in the shoulder area? Yes

Is the shoulder area (unimproved public right-of-way) paved, unpaved, gravel, landscaped, and/or defined with a curb/gutter? The right of way includes a sidewalk curb landscaping, and gravel parking.

11. What characteristics make this neighborhood* cohesive?

Such as roof material and type (hip, gable, flat), siding (board and batten, cement plaster, horizontal wood, brick), deep front yard setbacks, horizontal feel, landscape approach etc.:

The neighborhood has consistent front setbacks. Hip and gable roofs are common landscaping

General Study

A. Have major visible streetscape changes occurred in your neighborhood?

YES NO

Speed bumps and street markings.

B. Do you think that most (~ 80%) of the homes were originally built at the same time?

YES NO

C. Do the lots in your neighborhood appear to be the same size?

YES NO

D. Do the lot widths appear to be consistent in the neighborhood?

YES NO

E. Are the front setbacks of homes on your street consistent (~80% within 5 feet)?

YES NO

F. Do you have active CCR's in your neighborhood? (*p.36 Building Guide*)

YES NO

G. Do the houses appear to be of similar size as viewed from the street?

YES NO

H. Does the new exterior remodel or new construction design you are planning relate in most ways to the prevailing style(s) in your existing neighborhood?

YES NO

Address: 749 University Ave
 Date: 8/31/2022

Summary Table

Please use this table to summarize the characteristics of the houses in your immediate neighborhood (two homes on either side, directly behind and the five to six homes directly across the street).

Address	Front setback	Rear setback	Garage location	One or two stories	Height	Materials	Architecture (simple or complex)
731 University Ave	25'	25'	SIDE	TWO	27.5'	Stucco; stone	Complex
745 University Ave	25'	25'	REAR	ONE	19'	Clapboard	Simple
751 University Ave	25'	25'	FRONT	ONE	11'	Clapboard	Simple
757 University Ave	25'	25'	SIDE	TWO	25'	Wood shingle	Complex
770 University Ave	25'	25'	FRONT	TWO	25'	Board and batten	Complex
762 University Ave	25'	25'	FRONT	ONE	16'	Brick	Simple
756 University Ave	25'	25'	FRONT	ONE	20'	Stucco	Simple
736 Orange Ave	25'	25'	REAR	ONE	19'	Wood shingle	Simple
752 University Ave	25'	25'	FRONT	ONE	16'	Stucco; brick	Complex
728 Orange Ave	25'	25'	REAR	ONE	17'	Stucco	Complex



California Tree and Landscape Consulting, Inc.

December 19, 2022

K.C. Farrell, Director of Landscape Design
Thomas James Homes
1255 Treat Blvd, Suite 800
Walnut Creek, CA 94597

Phone: 650-249-1625
Via Email: kcfarrell@tjhusa.com

RE: Evaluation of Root Exploration at 749 University Ave, Los Altos, California Project Site

Dear KC Farrell:

You asked California Tree and Landscape Consulting, Inc. to have a certified arborist evaluate root exploration trenching performed at the project site referenced above. On December 19, 2022, Thomas M. Stein (ISA Certified Arborist # WE-12854A) visited the site and performed the evaluation.

A root trench was hand dug by two crew members of Golden State Co. along the north east side of the existing home. Refer to the attached exhibit for the approximate location of the trench relative to tree #'s 4, 5, 6 and 7 (Tag #'s 1242, 1243, 1244, 1245). This trench was dug to expose roots which may be growing in the top 2 feet of soil to the west of these trees. The trench was approximately 12" wide by 24" deep. The only significant root (2" diameter or greater) observed was one 4" diameter root from tree #6. This root grew west at a depth of about 1 foot until it reached the raised floor foundation, then it grew northeast adjacent to foundation past the point of excavation. Refer to the attached photographs.

In the arborist report written by California Tree and Landscape Consulting, Inc, dated August 11, 2022 removal of tree #6 was recommended due to noted defects. The tree has been inappropriately pruned and has multiple points of decay. It is likely that the 4" root will need to be pruned to excavate for the new slab foundation proposed by the developer. This may de-stabilize the tree or begin a long-term decline in health of the tree. It is still my recommendation that the tree be removed for development. If the tree is retained, the tree will have a limited area for canopy growth due to encroachment by the proposed home. The canopy will need frequent pruning to maintain clearance from the proposed home. This will also be true for tree #'s 4, 5 and 7, but they are not expected to suffer the same root impacts. The new proposed home will have an approximate 6' setback from the east property line. The over-excavation for the foundation will still have a significant impact to the critical root zones of all four trees. The lack of tree roots observed for Tree #'s 4, 5 and 7 indicates that de-stabilization of these tree is not expected. It should be noted, however, that there may be deeper roots for these trees under the raised floor foundation, not seen during this evaluation. If roots (>2" in diameter) are encountered during slab foundation excavation, they should be properly root pruned under the

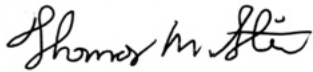


direction of the project arborist, following current ISA best practices. It was noted in the evaluation that the area to the northeast of all four trees, on the adjacent parcel, is primarily lawn, which is a favorable environment for root growth.

Please refer to the attached photographs.

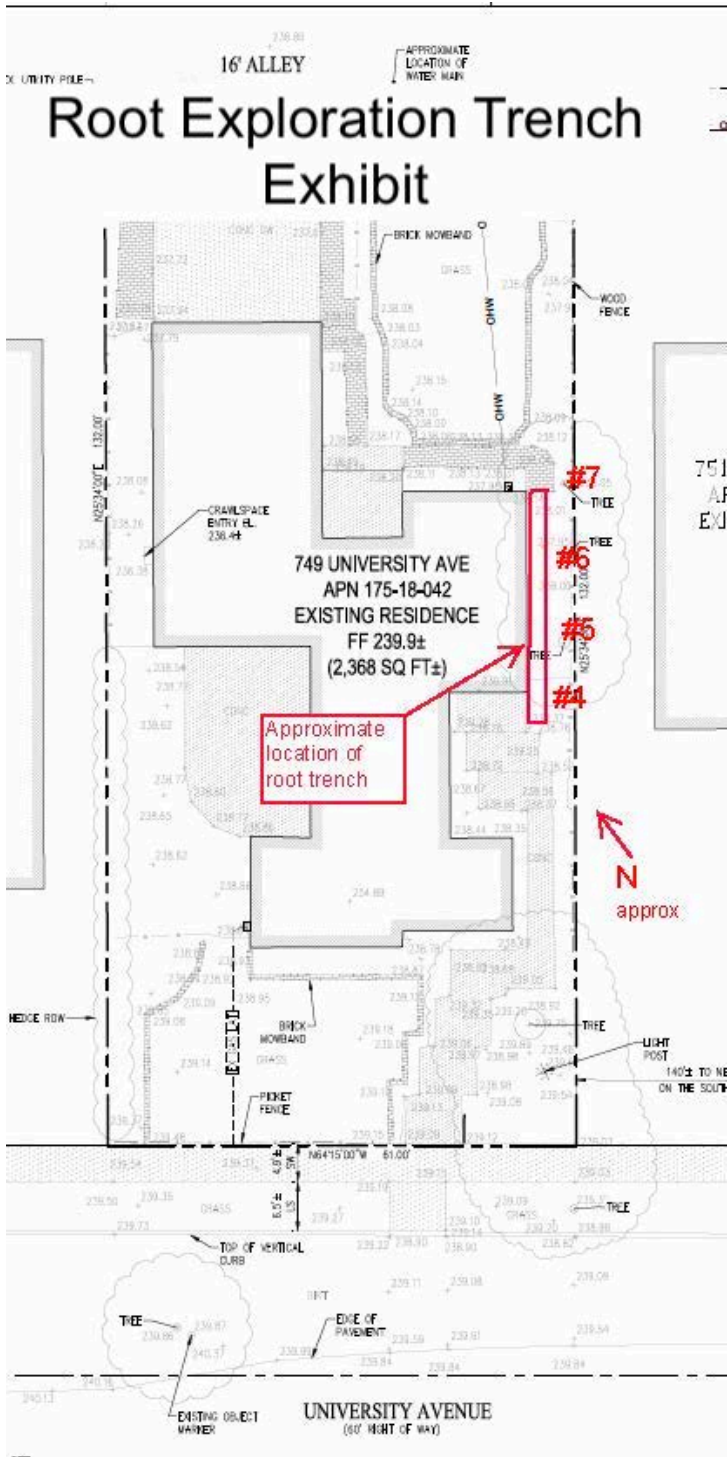
Please feel free to give us a call if you have any questions or require additional information.

Prepared by:

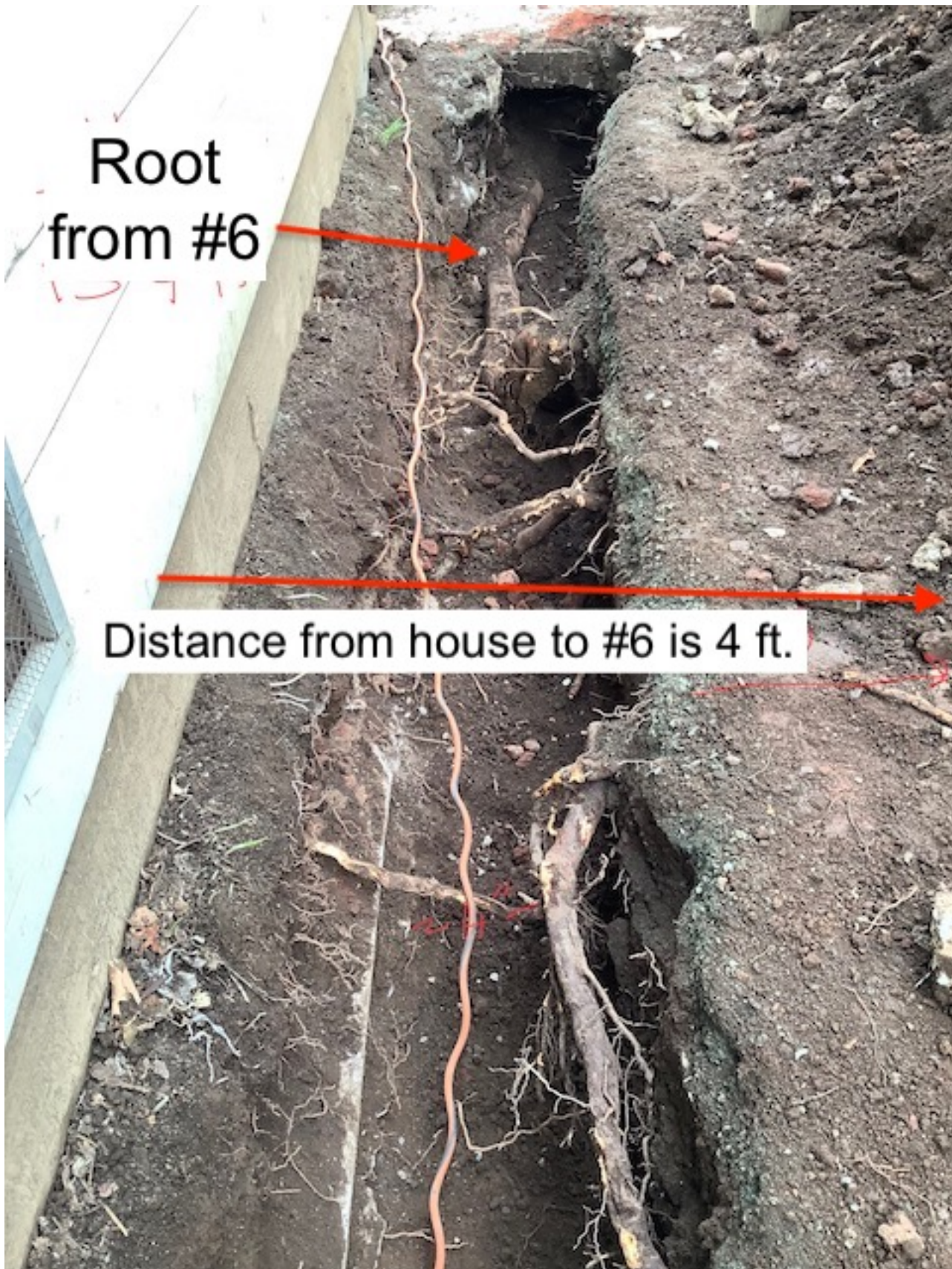


Thomas M. Stein, Arborist
International Society of Arboriculture
ISA Certified Arborist WE-12854A
ISA Tree Risk Assessment Qualified

CC: Andy Cost (Thomas James Homes)
Ed Stirtz (California Tree and Landscape Consulting, Inc.)













California Tree and Landscape Consulting, Inc.

August 11, 2022

Cynthia Thiebaut, Director of Development
 Thomas James Homes
 255 Shoreline Drive, Suite 428
 Redwood City, California 94065
 Via Email: cthiebaut@tjhusa.com

FINAL ARBORIST REPORT, TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN

RE: 749 University Avenue, City of Los Altos, California [APN 175-18-042]

EXECUTIVE SUMMARY

Thomas James Homes contacted California Tree and Landscape Consulting, Inc. to document the trees on the property for a better understanding of the existing resource and any potential improvement obstacles that may arise. In addition, trees located off the parcel are included if they would be impacted by development of the property. Thomas James Homes requested an Arborist Report, Tree Inventory, Construction Impact Assessment and Tree Protection Plan suitable for submittal to the City of Los Altos. This is a Final Arborist Report, Tree Inventory, Construction Impact Assessment and Tree Protection Plan for the filing of plans to develop the property.

Thomas M. Stein, ISA Certified Arborist #WE-12854A, visited the property on February 9, 2022, to provide species identification, measurements of DBH and canopy, field condition notes, recommended actions, ratings, and approximate locations. A total of 10 trees were evaluated on this property, 4 of which are protected according to the City of Los Altos Tree Ordinance, Section 11.08.040. Three trees are located off the parcel, but were included in the inventory because they may be impacted by development. **See Appendices for specific information on each tree.**

Tree Species	Total Trees Inventoried	Trees on this Site ¹	Protected Tree	Trees Proposed for Removal	Trees Proposed for Retention ²
Bay laurel, <i>Umbellularia californica</i>	1	0	1	0	1
Chinese elm, <i>Ulmus parvifolia</i>	1	0	0	0	1
Chinese pistache, <i>Pistacia chinensis</i>	1	0	0	0	1
Coast live oak, <i>Quercus agrifolia</i>	1	1	0	0	1
Deodar cedar, <i>Cedrus deodara</i>	1	1	1	0	1
London plane, <i>Platanus hybrida</i>	3	3	1	0	3
Silver maple, <i>Acer saccharinum</i>	1	1	1	1	0
Sweetgum, <i>Liquidambar styraciflua</i>	1	1	0	0	1
TOTAL	10	7	4	1	9

¹ CalTLC, Inc. is not a licensed land surveyor. Tree locations are approximate and we do not determine tree ownership. Trees which appear to be on another parcel are listed as off-site and treated as the property of that parcel.

² Trees in close proximity to development may require special protection measures. See Appendix/Recommendations for specific details.

ASSIGNMENT

Perform an examination of the site to document the presence and condition of trees protected by the City of Los Altos. The study area for this effort includes the deeded parcel as delineated in the field by the property fences and any significant or protected trees overhanging from adjacent parcels.

Prepare a report of findings. All trees protected by the City of Los Altos are included in the inventory.

METHODS

Appendix 2 in this report are the detailed inventory and recommendations for the trees. The following terms and Table A – Ratings Descriptions will further explain our findings.

The protected trees evaluated as part of this report have a numbered tag that was placed on each one that is 1-1/8" x 1-3/8", green anodized aluminum, "acorn" shaped, and labeled: CalTLC, Auburn, CA with 1/4" pre-stamped tree number and Tree Tag. They are attached with a natural-colored aluminum 10d nail, installed at approximately 6 feet above ground level on the approximate north side of the tree. The tag should last ~10-20+ years depending on the species, before it is enveloped by the trees' normal growth cycle.

TERMS

Species of trees is listed by our local common name and botanical name by genus and species.

DBH (diameter breast high) is normally measured at 4'6" (54" above the average ground, height but if that varies then the location where it is measured is noted here. A steel diameter tape was used to measure the trees.

Canopy radius is measured in feet. It is the farthest extent of the crown composed of leaves and small twigs measured by a steel tape. This measurement often defines the Critical Root Zone (CRZ) or Protection Zone (PZ), which is a circular area around a tree with a radius equal to this measurement.

Actions listed are recommendations to improve health or structure of the tree. Trees in public spaces require maintenance. If a tree is to remain and be preserved, then the tree may need some form of work to reduce the likelihood of failure and increase the longevity of the tree. Preservation requirements and actions based on a proposed development plan are not included here.

Arborist Rating is subjective to condition and is based on both the health and structure of the tree. All of the trees were rated for condition, per the recognized national standard as set up by the Council of Tree and Landscape Appraisers and the International Society of Arboriculture (ISA) on a numeric scale of 5 (being the highest) to 0 (the worst condition, dead). The rating was done in the field at the time of the measuring and inspection.

Table A – Ratings Descriptions

No problem(s)	5	excellent
No apparent problem(s)	4	good
<u>Minor problem(s)</u>	<u>3</u>	<u>fair</u>
Major problem(s)	2	poor
Extreme problem(s)	1	hazardous, non-correctable
Dead	0	dead

Rating #0: This indicates a tree that has no significant sign of life.

Rating #1: The problems are extreme. This rating is assigned to a tree that has structural and/or health problems that no amount of work or effort can change. The issues may or may not be considered a dangerous situation.

Rating #2: The tree has major problems. If the option is taken to preserve the tree, its condition could be improved with correct arboricultural work including, but not limited to: pruning, cabling, bracing, bolting, guying, spraying, mistletoe removal, vertical mulching, fertilization, etc. If the recommended actions are completed correctly, hazard can be reduced and the rating can be elevated to a 3. If no action is taken the tree is considered a liability and should be removed.

Rating #3: The tree is in fair condition. There are some minor structural or health problems that pose no immediate danger. When the recommended actions in an arborist report are completed correctly the defect(s) can be minimized or eliminated.

Rating #4: The tree is in good condition and there are no apparent problems that a Certified Arborist can see from a visual ground inspection. If potential structural or health problems are tended to at this stage future hazard can be reduced and more serious health problems can be averted.

Rating #5: No problems found from a visual ground inspection. Structurally, these trees have properly spaced branches and near perfect characteristics for the species. Highly rated trees are not common in natural or developed landscapes. No tree is ever perfect especially with the unpredictability of nature, but with this highest rating, the condition should be considered excellent.

Notes indicate the health, structure and environment of the tree and explain why the tree should be removed or preserved. Additional notes may indicate if problems are minor, extreme or correctible.

Remove is the recommendation that the tree be removed. The recommendation will normally be based either on poor structure or poor health and is indicated as follows:

Yes H – Tree is unhealthy

Yes S – Tree is structurally unsound

OBSERVATIONS AND CONCLUSIONS

The site is located in an existing subdivision with single-family residences, and the vegetation is comprised of ornamental landscape plants. The project site has an existing one-story house with a reported area of 1,181 sq. ft. on a parcel with a reported area of 8,437 sq. ft. The home is connected to electrical, communication, gas, water and sanitary sewer infrastructure. There is an alley at the rear of the parcel, and the garage is accessed from the alley. The development plans include demolition of the existing home and construction of a new 2-story home with a reported area of 2,812 sq. ft, new hardscape and landscape. Refer to Appendix 2 – Tree Data for details.

RECOMMENDED REMOVALS OF HAZARDOUS, DEFECTIVE OR UNHEALTHY TREES

At this time, no trees have been recommended for removal from the proposed project area due to the nature and extent of defects, compromised health, and/or structural instability noted at the time of field inventory efforts.

CONSTRUCTION IMPACT ASSESSMENT

This Arborist Report, Tree Inventory, Construction Impact Assessment and Tree Protection Plan is intended to provide Thomas James Homes, the City of Los Altos, and other members of the development team a detailed *pre-development review* of the species, size, and current structure and vigor of the trees within and/or overhanging the proposed project area. At this time, we have reviewed the 48" Wide Plan prepared by BSB Design dated May 18, 2022; the Landscape Improvement Plans prepared by Roach & Campbell dated July 22, 2022, and the Preliminary Civil Review Notes prepared by CBG date June 6, 2022. The perceived impacts are summarized below. **Refer to Appendix 2 – Tree Data for protective measures to be taken for trees that will remain.**

Tree # 1 (Tag # 1239): No impact is expected to this off-site tree.

Tree # 2 (Tag # 1240): No impact is expected to this off-site tree.

Tree # 3 (Tag # 1241): Slight impact to the tree's CRZ is expected due to hardscape and foundation excavation. Slight impact to the tree's canopy is expected due to building encroachment. Less than 5% of the tree's canopy is expected to be impacted by the required clearance pruning.

Tree # 4 (Tag # 1242): Significant impact to the tree's CRZ is expected due to foundation excavation. Perform root excavation to determine extent of root impacts prior to demolition. Perform foundation excavation by hand/hydro-vac or pneumatic techniques. Perform any root pruning under the direction of the Project Arborist. Slight impact to the tree's canopy is expected due to building encroachment. Less than 5% of the tree's canopy is expected to be impacted by the required clearance pruning.

Tree # 5 (Tag # 1243): Significant impact to the tree's CRZ is expected due to foundation excavation. Perform root excavation to determine extent of root impacts prior to demolition. Perform foundation excavation by hand/hydro-vac or pneumatic techniques. Perform any root pruning under the direction of the Project Arborist. Slight impact to the tree's canopy is expected due to building encroachment. Less than 5% of the tree's canopy is expected to be impacted by the required clearance pruning.

Tree # 6 (Tag # 1244): This tree is proposed to be removed by the developer due to poor condition.

Tree # 7 (Tag # 1245): Significant impact to the tree's CRZ is expected due to foundation excavation. Perform root excavation to determine extent of root impacts prior to demolition. Perform foundation excavation by hand/hydro-vac or pneumatic techniques. Perform any root pruning under the direction of the Project Arborist. Slight impact to the tree's canopy is expected due to building encroachment. Less than 5% of the tree's canopy is expected to be impacted by the required clearance pruning.

Tree # 8 (Tag # 1246): No impact is expected to this off-site tree due to development.

Tree # 9 (Tag # 1247): No impact is expected to this tree due to development.

Tree # 10 (Tag # 1248): No impact is expected to the CRZ of this off-site tree due to development. Slight impact to the canopy may occur due to clearance requirements. Less than 5% of the tree's canopy is expected to be impacted by the required clearance pruning.

DISCUSSION

Trees need to be protected from normal construction practices if they are to remain healthy and viable on the site. Our recommendations are based on experience, and City ordinance requirements, so as to enhance tree longevity. This requires their root zones remain intact and viable, despite heavy equipment being on site, and the need to install foundations, driveways, underground utilities, and landscape irrigation systems. Simply walking and driving on soil has serious consequences for tree health.

Following is a summary of Impacts to trees during construction and Tree Protection measures that should be incorporated into the site plans in order to protect the trees. Once the plans are approved, they become the document that all contractors will follow. ***The plans become the contract between the owner and the contractor, so that only items spelled out in the plans can be expected to be followed. Hence, all protection measures, such as fence locations, mulch requirements and root pruning specifications must be shown on the plans.***

RECOMMENDATIONS: SUMMARY OF TREE PROTECTION MEASURES

Hire a Project Arborist to help ensure protection measures are incorporated into the site plans and followed. The Project Arborist should, in cooperation with the Engineers and/or Architects:

- Identify the Root Protection Zones on the final construction drawings, prior to bidding the project.
- Show the placement of tree protection fences, as well as areas to be irrigated, fertilized and mulched on the final construction drawings.
- Clearly show trees for removal on the plans and mark them clearly on site. A Contractor who is a Certified Arborist should perform tree and stump removal. All stumps within the root zone of trees to be preserved shall be ground out using a stump router or left in place. **No trunk within the root zone of other trees shall be removed using a backhoe or other piece of grading equipment.**
- Prior to any grading, or other work on the site that will come within 50' of any tree to be preserved:
 1. Irrigate (if needed) and place a 3" layer of chip mulch over the protected root zone of all trees that will be impacted.
 2. Erect Tree Protection Fences. Place boards against trees located within 3' of construction zones, even if fenced off.
 3. Remove lower foliage that may interfere with equipment PRIOR to having grading or other equipment on site. The Project Arborist should approve the extent of foliage elevation, and oversee the pruning, performed by a contractor who is an ISA Certified Arborist.
- For grade cuts, expose roots by hand digging, potholing or using an air spade and then cut roots cleanly prior to further grading outside the tree protection zones.
- For fills, if a cut is required first, follow as for cuts.
- Where possible, specify geotextile fabric and/or thickened paving, re-enforced paving, and structural soil in lieu of compacting, and avoid root cutting as much as possible, prior to placing fills on the soil surface. Any proposed retaining wall or fill soil shall be discussed with the engineer and arborist in order to reduce impacts to trees to be preserved.
- Clearly designate an area on the site outside the drip line of all trees where construction materials may be stored, and parking can take place. No materials or parking shall take place within the root zones of protected trees.
- Design utility and irrigation trenches to minimize disturbance to tree roots. Where possible, dig trenches with hydro-vac equipment or air spade, placing pipes underneath the roots, or bore the deeper trenches underneath the roots.
- Include on the plans an Arborist inspection schedule to monitor the site during (and after) construction to ensure protection measures are followed and make recommendations for care of the trees on site, as needed.

General Tree protection measures are included as Appendix 3. These measures need to be included on the Site, Grading, Utility and Landscape Plans. A final report of recommendations specific to the plan can be completed as part of, and in conjunction with, the actual plans. This will require the arborist working directly with the engineer and architect for the project. If the above recommendations are followed, the amount of time required by the arborist for the final report should be minimal.

Report Prepared by:



Edwin E. Stirtz, Consulting Arborist
International Society of Arboriculture
Certified Arborist WE-0510A
ISA Tree Risk Assessment Qualified
Member, American Society of Consulting Arborists

- Enc.: Appendix 1 – Tree Protection Plan
- Appendix 2 – Tree Data
- Appendix 3 – General Practices for Tree Protection
- Appendix 4 – Photographs

SEE ARBORIST REPORT FOR ADDITIONAL DETAILS

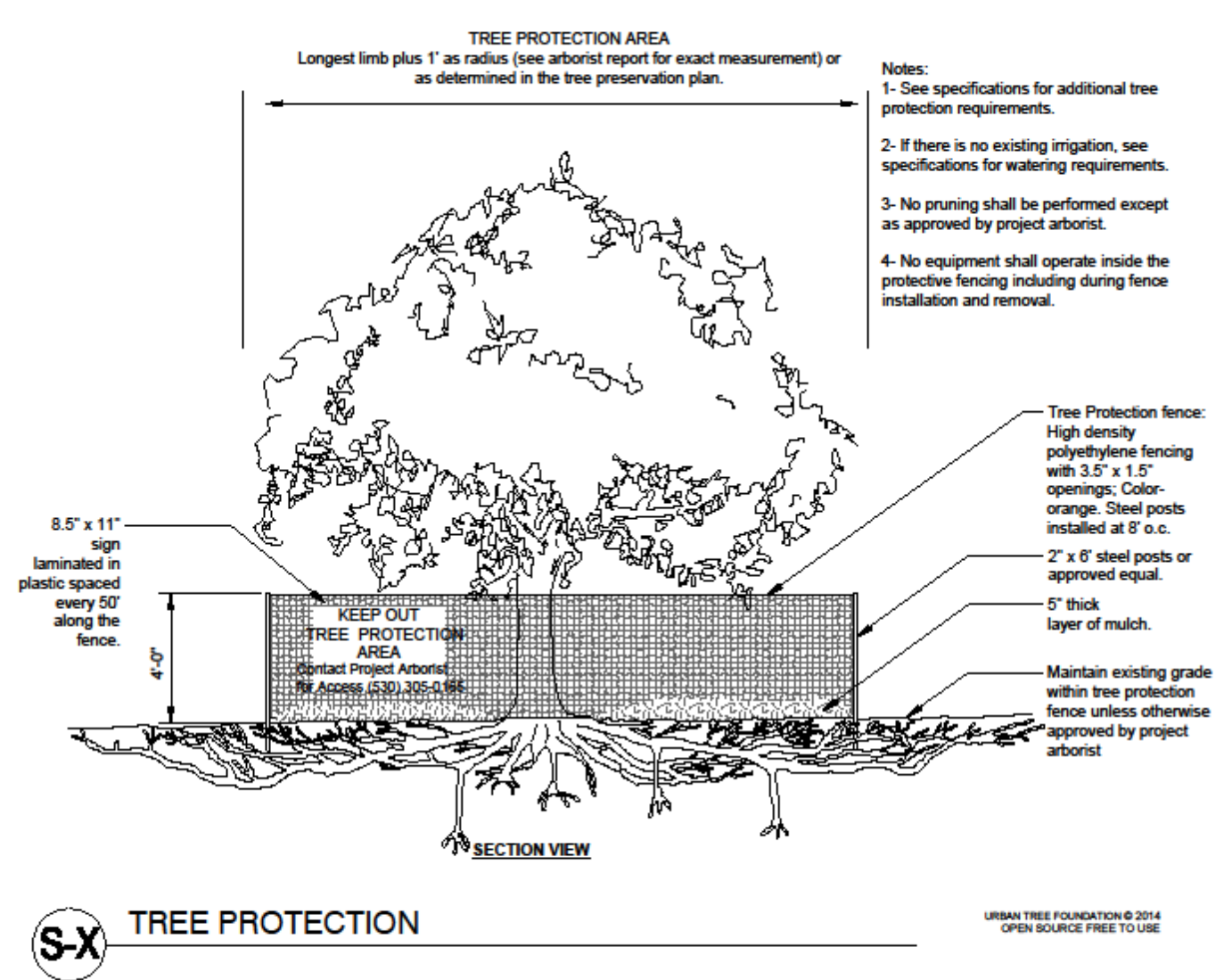
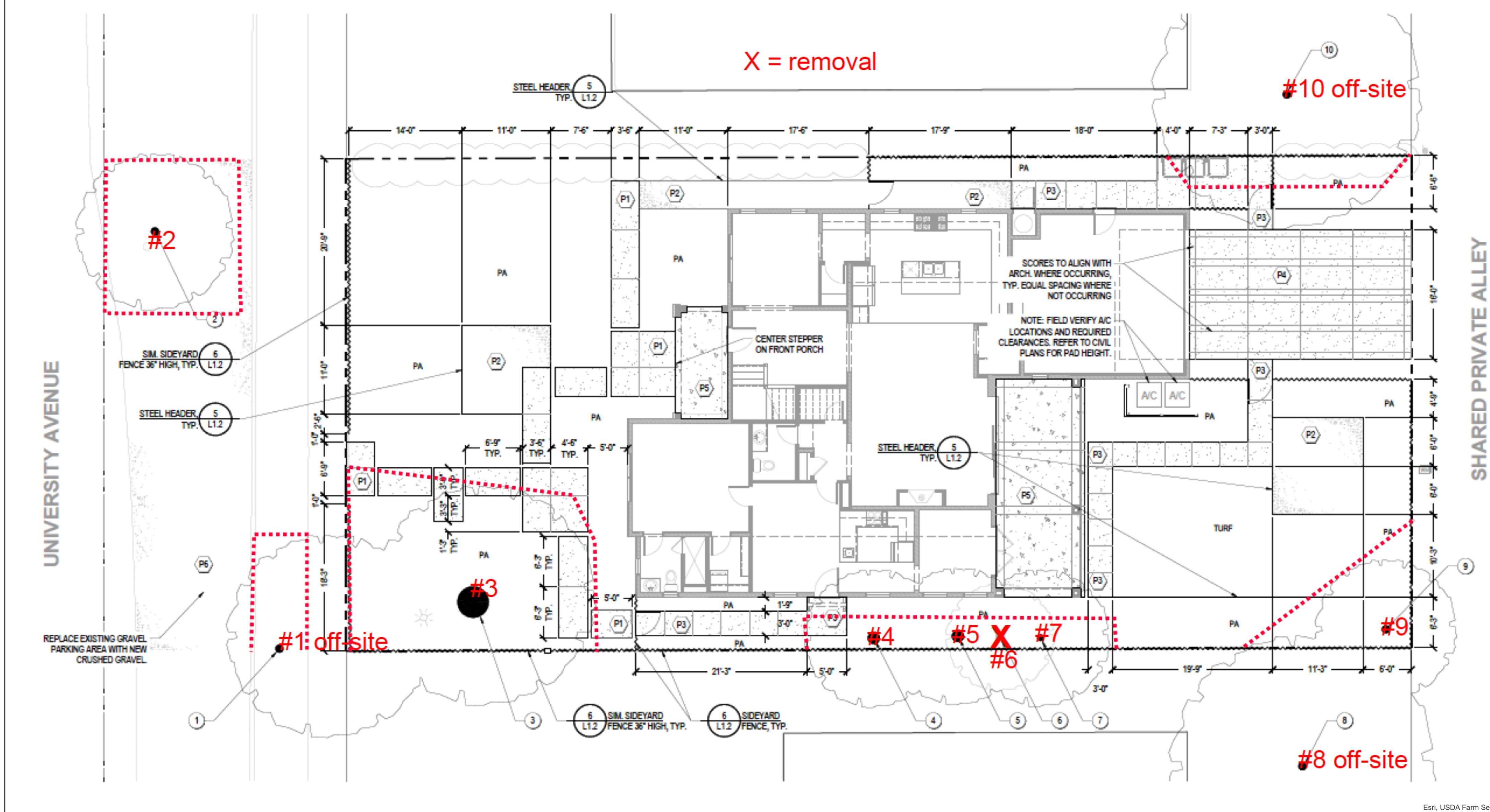


California Tree & Landscape Consulting, Inc.

359 Nevada St. Suite 201
Auburn, CA 95603

TREE PROTECTION GENERAL REQUIREMENTS

1. The project arborist for this project is California Tree & Landscape Consulting. The primary contact information is Nicole Harrison (530) 305-0165. The project arborist may continue to provide expertise and make additional recommendations during the construction process if and when additional impacts occur or tree response is poor. Monitoring and construction oversight by the project arborist is recommended for all projects and required when a final letter of assessment is required by the jurisdiction.
2. The project arborist should inspect the exclusionary root protection fencing installed by the contractors prior to any grading and/or grubbing for compliance with the recommended protection zones. Additionally, the project arborist shall inspect the fencing at the onset of each phase of construction. The root protection zone for trees is specified as the 'canopy radius' in Appendix 2 in the arborist report unless otherwise specified by the arborist. Note 'dripline' is not an acceptable location for installation of tree protection fencing.
3. The project arborist should directly supervise any clearance pruning, irrigation, fertilization, placement of mulch and/or chemical treatments. If clearance pruning is required, the Project Arborist should approve the extent of foliage elevation and oversee the pruning to be performed by a contractor who is an ISA Certified Arborist. Clearance pruning should include removal of all the lower foliage that may interfere with equipment PRIOR to having grading or other equipment on site.
4. No trunk within the root protection zone of any trees shall be removed using a backhoe or other piece of grading equipment.
5. Clearly designate an area on the site that is outside of the protection area of all trees where construction materials may be stored, and parking can take place. No materials or parking shall take place within the protection zones of any trees on or off the site.
6. Any and all work to be performed inside the protected root zone fencing, including all grading and utility trenching, shall be approved and/or supervised by the project arborist.
7. Trenching, if required, inside the protected root zone shall be approved and/or supervised by the project arborist and may be required to be performed by hand, by a hydraulic or air spade, or other method which will place pipes underneath the roots without damage to the roots.
8. The root protection zone for trees is specified as the 'canopy radius' in Appendix 2 in the arborist report unless otherwise specified by the arborist. Note 'dripline' is not an acceptable location for installation of tree protection fencing.

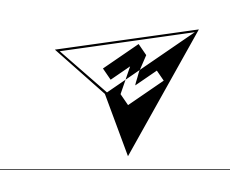


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Esri, USDA Farm Service Agency

TREE PROTECTION PLAN
Page 1 of 1

- Property Line
- Measured Tree Canopy
- Tree Protection Fencing



Sheet No.
TPP 1.1

749 University Ave.

City of Los Altos, California

Prepared by Thomas M. Stein, ISA Cert #WE-12854A

Date: 08/10/2022

APPENDIX 2 – TREE DATA

Tree #	Tag #	Protected Tree 48"+ Circ.	Street Tree	Offsite	Common Name	Botanical Name	DBH	Circ.	Measured At (ft)	Canopy Radius	Arborist Rating	Dvlpmt Status	Field Notes	Recommendations	Construction Impact	Protective Measures to be Taken
1	1239	No	Yes	Yes	Chinese pistache	<i>Pistacia chinensis</i>	11	35	4	15	Fair-3	Retain & Protect	Street tree. Possibly shared or offsite tree. Growing in 5'-wide park strip, 3' back of curb and 17' from edge of pavement. 2' from sidewalk. One-sided SW. Previously covered with heavy vines. Dead vines attached to mid-canopy stems. N side suppressed by adjacent Deodar Cedar. Cracked bark upper limbs.	None at this time.	No impact is expected from development.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Monitor irrigation needs 2x/mo; irrigate as needed.
2	1240	No	No	No	Coast live oak	<i>Quercus agrifolia</i>	10	31	3	15	Good-4	Retain & Protect	Located between curb and pavement in parking strip, 15' from front of curb, 7' from edge of pavement. Slight lean N. Branches at 4' above grade. Codominant branching at ~7' above grade. Clearance pruned on street side.	None at this time.	No impact is expected from development.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Monitor irrigation needs 2x/mo; irrigate as needed. Do not irrigate in summer months.
3	1241	Yes	No	No	Deodar cedar	<i>Cedrus deodara</i>	25	79	4	25	Fair-3	Retain & Protect	DLR measured toward house. Centerline of tree 12' from house. Face of trunk 5' from property line. Lowest limb 15' above grade. Pruned to 20' over house. Reduction pruning throughout. Topped at 61'.	None at this time.	Slight impact to CRZ due to hardscape and foundation excavation. Slight impact to canopy due to building encroachment.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Monitor irrigation needs 2x/mo; irrigate as needed.
4	1242	Yes	No	No	London plane	<i>Platanus hybrida</i>	15	47	4	10	Fair-3	Retain & Protect	Growing adjacent to property line and ~5' from existing house. Pollarded at ~15' above grade. Re-sprouts are ~4-7' in length. Protected tree due to diameter. DLR estimated.	None at this time.	Significant impact to CRZ due to foundation excavation. Slight impact to canopy due to building encroachment.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Perform foundation excavation by hand/hydro-vac/pneumatic techniques. Perform any root pruning required under the direction of the project arborist. Monitor irrigation needs 2x/mo; irrigate as needed.

Tree #	Tag #	Protected Tree 48" + Circ.	Street Tree	Offsite	Common Name	Botanical Name	DBH	Circ.	Measured At (ft)	Canopy Radius	Arborist Rating	Dvlpmt Status	Field Notes	Recommendations	Construction Impact	Protective Measures to be Taken
5	1243	No	No	No	London plane	<i>Platanus hybrida</i>	15	47	4	20	Fair-3	Retain & Protect	Growing adjacent to property line and ~4' from existing house. Enlarged root crown flare. Pollarded at ~18' above grade. Re-sprout length ranges from 3-7'. W side is only 1' from eave of existing house. Codominant branching 8' above grade.	None at this time.	Significant impact to CRZ due to foundation excavation. Slight impact to canopy due to building encroachment.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Perform foundation excavation by hand/hydro-vac/pneumatic techniques. Perform any root pruning required under the direction of the project arborist. Monitor irrigation needs 2x/mo; irrigate as needed.
6	1244	Yes	No	No	Silver maple	<i>Acer saccharinum</i>	19	60	3	15	Poor-2	Remove	Growing adjacent to property line and ~4' from existing house. Codominant branching with included bark at 9' above grade. Topped at 12' & 14' of grade with weakly attached re-sprouting. Re-sprout length ranges from 2'-7' in length. Pruned branches at ~4' above grade with resprouting. DLR estimated.	None at this time.	The developer proposes removal due to poor condition.	N/A
7	1245	No	No	No	London plane	<i>Platanus hybrida</i>	10	31	4	9	Fair-3	Retain & Protect	Growing adjacent to property line. Located ~4' from corner of existing house. Codominant branching at 7' above grade. Tree has been pollarded at ~11' above grade. Re-sprout length ranges from 2-5'. W stem is growing into electrical service entrance of house.	None at this time.	Significant impact to CRZ due to foundation/hardscape excavation. Slight impact to canopy due to building encroachment.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Perform foundation excavation by hand/hydro-vac/pneumatic techniques. Perform any root pruning required under the direction of the project arborist. Monitor irrigation needs 2x/mo; irrigate as needed.
8	1246	Yes	No	Yes	Bay laurel	<i>Umbellularia californica</i>	23	72	4	20	Fair-3	Retain & Protect	Offsite tree growing ~20' E of property line. No overhang. Enlarged root crown flare. Codominant branching with included bark at ~7'. All dimensions estimated. Tag on fence.	None at this time.	No impact is expected from development.	N/A; off-site tree with no overhang.



Tree #	Tag #	Protected Tree 48" + Circ.	Street Tree	Offsite	Common Name	Botanical Name	DBH	Circ.	Measured At (ft)	Canopy Radius	Arborist Rating	Dvlpmt Status	Field Notes	Recommendations	Construction Impact	Protective Measures to be Taken
9	1247	No	No	No	Sweetgum	<i>Liquidambar styraciflua</i>	11	35	4	10	Fair-3	Retain & Protect	Growing in NE ~2' from fences. Root crown obscured by vegetation. Codominant branching ~11' above grade. Growing into communication and electrical wires. Suppressed SE side by adjacent offsite Bay Laurel.	None at this time.	No impact is expected from development.	Install PTF as shown in App. 1. Perform clearance pruning (if needed) prior to demo. Monitor irrigation needs 2x/mo; irrigate as needed.
10	1248	No	No	Yes	Chinese elm	<i>Ulmus parvifolia</i>	12	38	4	25	Fair-3	Retain & Protect	Offsite tree growing ~1' W of property line. Lower trunk obscured by vegetation and fence. DLR/DBH estimated. Codominant branching ~10' above grade. Clearance pruned on E side. Overhangs existing home (project site) ~15'. Tag on fence.	None at this time.	No impact is expected to CRZ from development. Slight impact to canopy due to clearance pruning needs.	Perform clearance pruning as needed prior to demo. Install PTF as shown in App. 1.

TOTAL INVENTORIED TREES = 10 trees (474 aggregate circumference inches)
TOTAL RECOMMENDED REMOVALS = None
TOTAL REMOVALS FOR DEVELOPMENT = 1 tree (60 aggregate circumference inches)
Rating (0-5, where 0 is dead) = 2=1 tree; 3=8 trees; 4=1 tree
TOTAL PROTECTED TREES = 4 trees (258 aggregate circumference inches)



APPENDIX 3 – GENERAL PRACTICES FOR TREE PROTECTION

Definitions:

Root zone: The roots of trees grow fairly close to the surface of the soil, and spread out in a radial direction from the trunk of tree. A general rule of thumb is that they spread 2 to 3 times the radius of the canopy, or 1 to 1½ times the height of the tree. It is generally accepted that disturbance to root zones should be kept as far as possible from the trunk of a tree.

Inner Bark: The bark on large valley oaks and coast live oaks is quite thick, usually 1" to 2". If the bark is knocked off a tree, the inner bark, or cambial region, is exposed or removed. The cambial zone is the area of tissue responsible for adding new layers to the tree each year, so by removing it, the tree can only grow new tissue from the edges of the wound. In addition, the wood of the tree is exposed to decay fungi, so the trunk present at the time of the injury becomes susceptible to decay. Tree protection measures require that no activities occur which can knock the bark off the trees.

Methods Used in Tree Protection:

No matter how detailed Tree Protection Measures are in the initial Arborist Report, they will not accomplish their stated purpose unless they are applied to individual trees and a Project Arborist is hired to oversee the construction. The Project Arborist should have the ability to enforce the Protection Measures. The Project Arborist should be hired as soon as possible to assist in design and to become familiar with the project. He must be able to read and understand the project drawings and interpret the specifications. He should also have the ability to cooperate with the contractor, incorporating the contractor's ideas on how to accomplish the protection measures, wherever possible. It is advisable for the Project Arborist to be present at the Pre-Bid tour of the site, to answer questions the contractors may have about Tree Protection Measures. This also lets the contractors know how important tree preservation is to the developer.

Root Protection Zone (RPZ): Since in most construction projects it is not possible to protect the entire root zone of a tree, a Root Protection Zone is established for each tree to be preserved. The minimum Root Protection Zone is the area underneath the tree's canopy (out to the dripline, or edge of the canopy), plus 1'. The Project Arborist must approve work within the RPZ.

Irrigate, Fertilize, Mulch: Prior to grading on the site near any tree, the area within the Tree Protection fence should be fertilized with 4 pounds of nitrogen per 1000 square feet, and the fertilizer irrigated in. The irrigation should percolate at least 24 inches into the soil. This should be done no less than 2 weeks prior to grading or other root disturbing activities. After irrigating, cover the RPZ with at least 12" of leaf and twig mulch. Such mulch can be obtained from chipping or grinding the limbs of any trees removed on the site. Acceptable mulches can be obtained from nurseries or other commercial sources. Fibrous or shredded redwood or cedar bark mulch shall not be used anywhere on site.

Fence: Fence around the Root Protection Zone and restrict activity therein to prevent soil compaction by vehicles, foot traffic or material storage. The fenced area shall be off limits to all construction equipment, unless there is express written notification provided by the Project Arborist, and impacts are discussed and mitigated prior to work commencing.

No storage or cleaning of equipment or materials, or parking of any equipment can take place within the fenced off area, known as the RPZ.

The fence should be highly visible, and stout enough to keep vehicles and other equipment out. I recommend the fence be made of orange plastic protective fencing, kept in place by t-posts set no farther apart than 6’.

In areas of intense impact, a 6’ chain link fence is preferred.

In areas with many trees, the RPZ can be fenced as one unit, rather than separately for each tree.

Where tree trunks are within 3’ of the construction area, place 2” by 4” boards vertically against the tree trunks, even if fenced off. Hold the boards in place with wire. Do not nail them directly to the tree. The purpose of the boards is to protect the trunk, should any equipment stray into the RPZ.

Elevate Foliage: Where indicated, remove lower foliage from a tree to prevent limb breakage by equipment. Low foliage can usually be removed without harming the tree, unless more than 25% of the foliage is removed. Branches need to be removed at the anatomically correct location in order to prevent decay organisms from entering the trunk. For this reason, a contractor who is an ISA Certified Arborist should perform all pruning on protected trees.³

Expose and Cut Roots: Breaking roots with a backhoe, or crushing them with a grader, causes significant injury, which may subject the roots to decay. Ripping roots may cause them to splinter toward the base of the tree, creating much more injury than a clean cut would make. At any location where the root zone of a tree will be impacted by a trench or a cut (including a cut required for a fill and compaction), the roots shall be exposed with either a backhoe digging radially to the trunk, by hand digging, or by a hydraulic air spade, and then cut cleanly with a sharp instrument, such as chainsaw with a carbide chain. Once the roots are severed, the area behind the cut should be moistened and mulched. A root protection fence should also be erected to protect the remaining roots, if it is not already in place. Further grading or backhoe work required outside the established RPZ can then continue without further protection measures.

Protect Roots in Deeper Trenches: The location of utilities on the site can be very detrimental to trees. Design the project to use as few trenches as possible, and to keep them away from the major trees to be protected. Wherever possible, in areas where trenches will be very deep, consider boring under the roots of the trees, rather than digging the trench through the roots. This technique can be quite useful for utility trenches and pipelines.

Protect Roots in Small Trenches: After all construction is complete on a site, it is not unusual for the landscape contractor to come in and sever a large number of “preserved” roots during the installation of irrigation systems. The Project Arborist must therefore approve the landscape and irrigation plans. The irrigation system needs to be designed so the main lines are located outside the root zone of major trees, and the secondary lines are either laid on the surface (drip systems), or carefully dug with a hydraulic or air spade, and the flexible pipe fed underneath the major roots.

Design the irrigation system so it can slowly apply water (no more than ¼” to ½” of water per hour) over a longer period of time. This allows deep soaking of root zones. The system also needs to accommodate infrequent irrigation settings of once or twice a month, rather than several times a week.

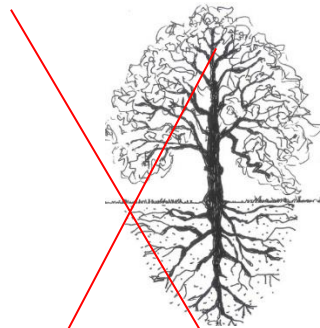
Monitoring Tree Health During and After Construction: The Project Arborist should visit the site at least twice a month during construction to be certain the tree protection measures are being followed, to monitor the health of impacted trees, and make recommendations as to irrigation or other needs. After construction is

³ International Society of Arboriculture (ISA), maintains a program of Certifying individuals. Each Certified Arborist has a number and must maintain continuing education credits to remain Certified.

complete, the arborist should monitor the site monthly for one year and make recommendations for care where needed. If longer term monitoring is required, the arborist should report this to the developer and the planning agency overseeing the project.

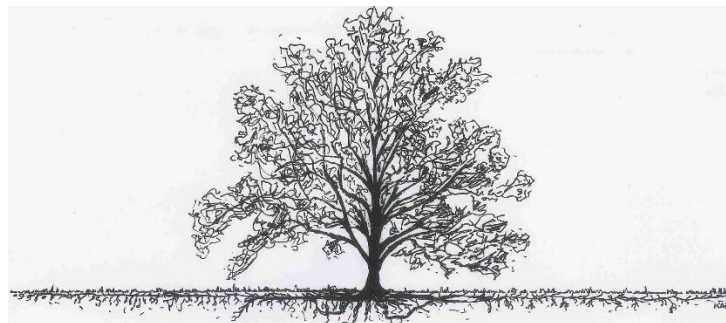
Root Structure

The majority of a tree's roots are contained in a radius from the main trunk outward approximately two to three times the canopy of the tree. These roots are located in the top 6" to 3' of soil. It is a common misconception that a tree underground resembles the canopy (see Drawing A below). The correct root structure of a tree is in Drawing B. All plants' roots need both water and air for survival. Surface roots are a common phenomenon with trees grown in compacted soil. Poor canopy development or canopy decline in mature trees is often the result of inadequate root space and/or soil compaction.



Drawing A

Common misconception of where tree roots are assumed to be located



Drawing B

The reality of where roots are generally located

Structural Issues

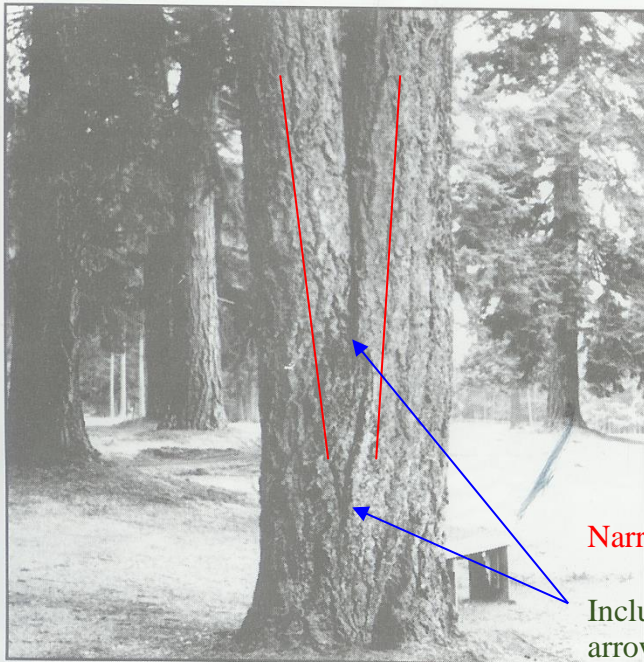
Limited space for canopy development produces poor structure in trees. The largest tree in a given area, which is 'shading' the other trees is considered Dominant. The 'shaded' trees are considered Suppressed. The following picture illustrates this point. Suppressed trees are more likely to become a potential hazard due to their poor structure.

Dominant Tree
Growth is upright
Canopy is balanced by limbs and foliage equally



Suppressed Tree
Canopy weight all to one side
Limbs and foliage grow away from dominant tree

Co-dominant leaders are another common structural problem in trees.



The tree in this picture has a co-dominant leader at about 3' and included bark up to 7 or 8'. Included bark occurs when two or more limbs have a narrow angle of attachment resulting in bark between the stems – instead of cell to cell structure. This is considered a critical defect in trees and is the cause of many failures.

Narrow Angle
Included Bark between the arrows

Figure 6. Codominant stems are inherently weak because the stems are of similar diameter.

Photo from Evaluation of Hazard Trees in Urban Areas by Nelda P. Matheny and James R. Clark, 1994 International Society of Arboriculture

Pruning Mature Trees for Risk Reduction

There are few good reasons to prune mature trees. Removal of deadwood, directional pruning, removal of decayed or damaged wood, and end-weight reduction as a method of mitigation for structural faults are the only reasons a mature tree should be pruned. Live wood over 3” should not be pruned unless absolutely necessary. Pruning cuts should be clean and correctly placed. Pruning should be done in accordance with the American National Standards Institute (ANSI) A300 standards. It is far better to use more small cuts than a few large cuts as small pruning wounds reduce risk while large wounds increase risk.

Pruning causes an open wound in the tree. Trees do not “heal” they compartmentalize. Any wound made today will always remain, but a healthy tree, in the absence of decay in the wound, will ‘cover it’ with callus tissue. Large, old pruning wounds with advanced decay are a likely failure point. Mature trees with large wounds are a high failure risk.

Overweight limbs are a common structural fault in suppressed trees. There are two remedial actions for overweight limbs (1) prune the limb to reduce the extension of the canopy, or (2) cable the limb to reduce movement. Cables do not hold weight they only stabilize the limb and require annual inspection.



Normal limb structure

Photo of another tree – not at this site.

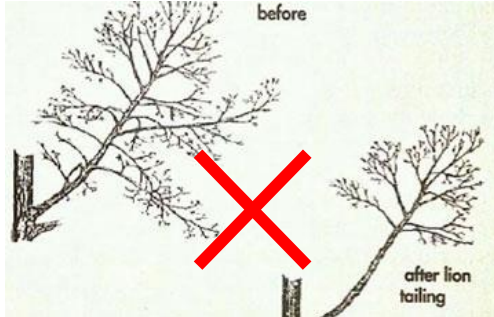
Over weight, reaching limb with main stem diameter small compared with amount of foliage present



Photo of another tree – not at this site

Lion's – Tailing is the pruning practice of removal of “an excessive number of inner and/or lower lateral branches from parent branches. Lion's tailing is not an acceptable pruning practice” ANSI A300 (part 1) 4.23. It increases the risk of failure.

Pruning – Cutting back trees changes their natural structure, while leaving trees in their natural form enhances longevity.



Arborist Classifications

There are different types of Arborists:

Tree Removal and/or Pruning Companies. These companies may be licensed by the State of California to do business, but they do not necessarily know anything about trees;

Arborists. Arborist is a broad term. It is intended to mean someone with specialized knowledge of trees but is often used to imply knowledge that is not there.

ISA Certified Arborist: An International Society of Arboriculture Certified Arborist is someone who has been trained and tested to have specialized knowledge of trees. You can look up certified arborists at the International Society of Arboriculture website: isa-arbor.org.

Consulting Arborist: An American Society of Consulting Arborists Registered Consulting Arborist is someone who has been trained and tested to have specialized knowledge of trees and trained and tested to provide high quality reports and documentation. You can look up registered consulting arborists at the American Society of Consulting Arborists website: <https://www.asca-consultants.org/>

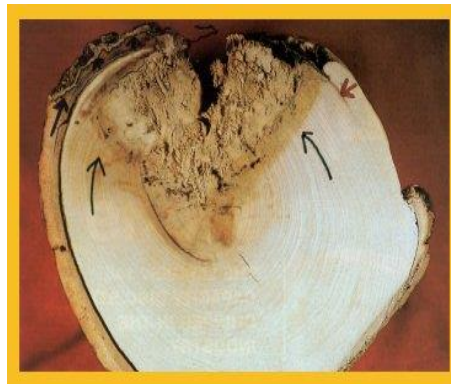
Decay in Trees

Decay (in General): Fungi cause all decay of living trees. Decay is considered a disease because cell walls are altered, wood strength is affected, and living sapwood cells may be killed. Fungi decay wood by secreting enzymes. Different types of fungi cause different types of decay through the secretion of different chemical enzymes. Some decays, such as white rot, cause less wood strength loss than others because they first attack the lignin (causes cell walls to thicken and reduces susceptibility to decay and pest damage) secondarily the cellulose (another structural component in a cell walls). Others, such as soft rot, attack the cellulose chain and cause substantial losses in wood strength even in the initial stages of decay. Brown rot causes wood to become brittle and fractures easily with tension. Identification of internal decay in a tree is difficult because visible evidence may not be present.



According to Evaluation of Hazard Trees in Urban Areas (Matheny, 1994) decay is a critical factor in the stability of the tree. As decay progresses in the trunk, the stem becomes a hollow tube or cylinder rather than a solid rod. This change is not readily apparent to the casual observer. Trees require only a small amount of bark and wood to transport water, minerals and sugars. Interior heartwood can be eliminated (or degraded) to a great degree without compromising the transport process. Therefore, trees can contain significant amounts of decay without showing decline symptoms in the crown.

additional cells. The weakest of the vertical wall. Accordingly, decay progression inward at large are more than one pruning cut trunk of the tree, the likelihood of decay progression and the associated structural loss of integrity of the internal wood is high.



Compartmentalization of decay in trees is a biological process in which the cellular tissue around wounds is changed to inhibit fungal growth and provide a barrier against the spread of decay agents into the barrier zones is the formation of while a tree may be able to limit pruning cuts, in the event that there located vertically along the main

Oak Tree Impacts

Our native oak trees are easily damaged or killed by having the soil within the Critical Root Zone (CRZ) disturbed or compacted. All of the work initially performed around protected trees that will be saved should be done by people rather than by wheeled or track type tractors. Oaks are fragile giants that can take little change in soil grade, compaction, or warm season watering. Don't be fooled into believing that warm season watering has no adverse effects on native oaks. Decline and eventual death can take as long as 5-20 years with poor care and inappropriate watering. Oaks can live hundreds of years if treated properly during construction, as well as later with proper pruning, and the appropriate landscape/irrigation design.

APPENDIX 4 – PHOTOGRAPHS



Tree #1



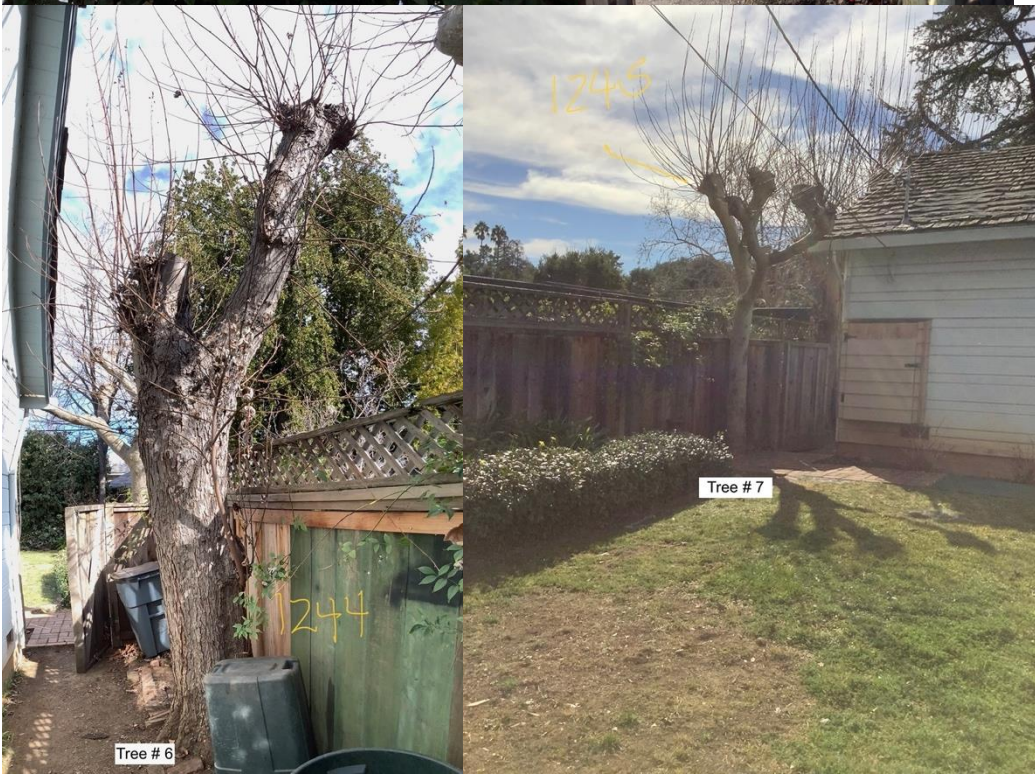
Tree #'s 3, 1



Tree # 2



Tree # 3, 1





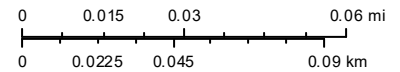
749 University Avenue Notification Map








Agenda Item 4.



Print Date: December 12, 2022

12,257



-  Schools
-  Park and Recreation Areas
-  City Limit
-  Road Names
-  Waterways
-  Situs Label
-  TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

NOTICE OF DEVELOPMENT PROPOSAL

Project Title- 749 University Ave



Project Description
Demolition of an existing single-family residence and the construction of a two-story, single-family residence that will be approximately 3,053 SF in size.

Applicant
Thomas James Homes
(650) 392-3573
hchiu@tjhusa.com

Project Planner
To submit comments or get additional information, please contact:
Jia Liu
(650) 947-2696
planning@losaltosca.gov

Property Owner
SF21A, LLC
255 Shoreline Drive,
#428
Redwood City, CA
94065
hchiu@tjhusa.com



Front Elevation

Public Meeting Dates (as scheduled):

PUBLIC MEETING NOTICE

Wednesday, March 15, 2023 at 7:00 pm

The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public comment.

The agenda report and plans will be available on the City's website the Thursday before the meeting date at: <https://www.losaltosca.gov/designreviewcommission/>

Written comments can be emailed or delivered in person to the Community Development Department or emailed to the Project Planner. Verbal comments can also be made at the Public Meeting.

749 UNIVERSITY AVE- NEIGHBORHOOD OUTREACH SUMMARY**Revised Neighborhood Meeting/Notice**

Date: December 7, 2022

Time: 5:30PM

A notice was sent via certified mail to all owners and occupants within 300 feet of the project site on 11/16/22. The notice contained information on the virtual meeting time, date, and login information, as well as the latest plans. The neighborhood meeting notice was also posted at the site.

Attendees:

- Stephanie Moore- 756 University Ave
- Howard Hartenbaum- 736 Orange Ave
- Carrie Souders- 745 University Ave

Due to re-design we sent new notices out with updated plans. Neighborhood meeting was based on these revisions.

- Neighbor 756 University Ave had questions regarding demolition/project timeline, and construction impacts to the neighborhood.
- Neighbor 736 Orange Ave had concerns regarding alley access during construction, privacy and driveway concerns.
 - We looked into the concept of swapping the location of the driveway, however, since the property already has the driveway paved on that side, we intend to use pre-existing site conditions.
 - Neighbor suggested we utilize different exterior material or color in effort to minimize privacy and impact. Neighbor 745 University agreed with this concern. We have modified the exterior color to be lighter in color as neighbor's preferred a lighter color to reduce visual impact.
 - Neighbor suggested reduction in window size, however, to meet egress requirements, window size was not altered. Neighbor understood and anticipated that egress requirements would not allow us to reduce window size.
- Neighbor 745 University had concerns regarding fencing and potential noise from our HVAC system.
 - We worked with this neighbor in regards to their fencing preferences and existing vegetation. The neighbor is okay with the new 6' fence with 2' lattice that we are proposing.
 - We called out our proposed HVAC location, indicating it's distance from both neighboring boundary lines minimizing any potential noise concerns from the system.

Initial Neighborhood Notice

Date: August, 26, 2022.

A notice was sent via certified mail to all owners and occupant within 300 feet of the project site on 8/26/22. The notice contained the applicant's direct contact information and the originally proposed project plans.

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736 Orange Ave
Los Altos, CA 94022

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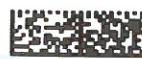
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Tamara Tossy
or Current Neighbor
752 University Ave
Los Altos, CA 94022

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Steven & Carol Souders
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745 University Ave
Los Altos, CA 94022

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Donald & Suzanne Gladstone
or Current Neighbor
744 Orange Ave
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Srinivas Saldi
or Current Neighbor
761 University Ave
Los Altos, CA 94022

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Theodore & Susan Sorensen
or Current Neighbor
751 University Ave
Los Altos, CA 94022

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Gillian Humphries
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714 Orange Ave
Los Altos, CA 94022

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Rosemarie Scheiff
or Current Neighbor
722 Orange Ave
Los Altos, CA 94022

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Martin & Diana Neiman
or Current Neighbor
762 University Ave
Los Altos, CA 94022

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Peter & Barbara Dehlinger
or Current Neighbor
740 Orange Ave
Los Altos, CA 94022

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Adult Signature Restricted Delivery \$

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Street and
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Warren Yang
or Current Neighbor
760 Edgewood Ln
Los Altos, CA 94022

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Adult Signature Required \$

Adult Signature Restricted Delivery \$

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FROM 94065



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Total Postage \$

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Joseph & Romina Miller
or Current Neighbor
731 University Ave
Los Altos, CA 94022

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Return Receipt (hardcopy) \$

Return Receipt (electronic) \$

Certified Mail Restricted Delivery \$

Adult Signature Required \$

Adult Signature Restricted Delivery \$

8/26/2022
CERTIFIED
FIRST-CLASS MAIL
062S0011687008
FROM 94065



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Total Postage \$

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Street and Apt.
City, State, ZIP+4®

Lester & Mary Kaye
or Current Neighbor
746 University Ave
Los Altos, CA 94022

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 - Adult Signature Required \$ _____
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Total Postage

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or Current Neighbor
706 Orange Ave
Los Altos, CA 94022

PS Form 3800, April 2015 PSN 7530-02-000-9047

See Reverse for Instructions

7021 2720 0001 6468 8598

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Agenda Item 4.

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 - Adult Signature Restricted Delivery \$ _____

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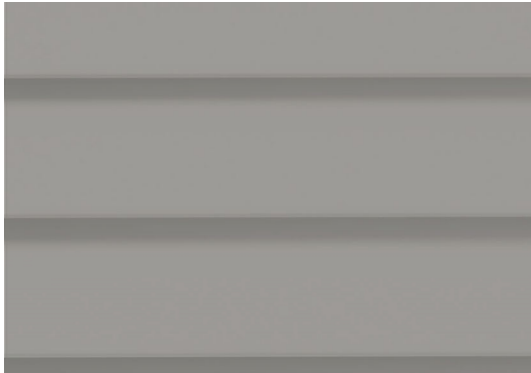
Street and A

City, State, ZIP+4®

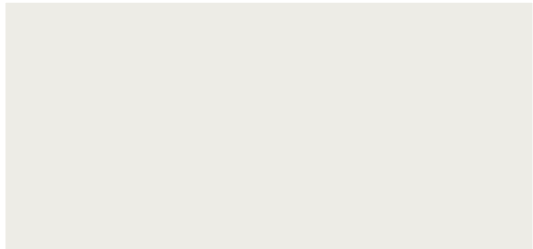
Eric & Lauren Albert
or Current Neighbor
725 University Ave
Los Altos, CA 94022

PS Form 3800, April 2015 PSN 7530-02-000-9047

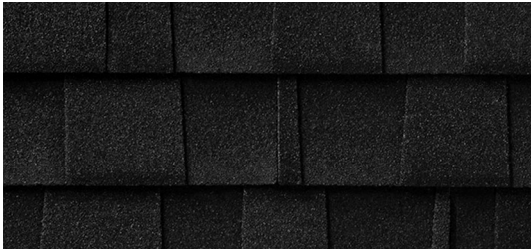
See Reverse for Instructions



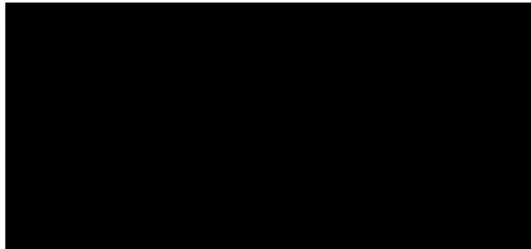
HORIZONTAL SIDING Hardie Cementitious
GRIZZLE GRAY-SW 7068 Lab Siding



FRONT DOOR, ADU DOOR, GARAGE
DOOR, GARAGE SIDE DOOR, FACIA,
EAVES, AND GUTTERS, WINDOW AND
DOOR TRIM
PURE WHITE-SW 7005



GAF ROOF SHINGLES
CHARCOAL



FIBERGLASS WINDOW FRAME



STUCCO
GRIZZLE GRAY-SW 7068



FENCE STAIN
SEMI-TRANSPARENT, NAVAJO WHITE



COLOR/MATERIAL SPECIFICATIONS

SCALE: 1/2" = 1'-0"

Redwood City, California

A.16
749 UNIVERSITY AVE
Los Altos, California



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January 19, 2023 | SF220089.00

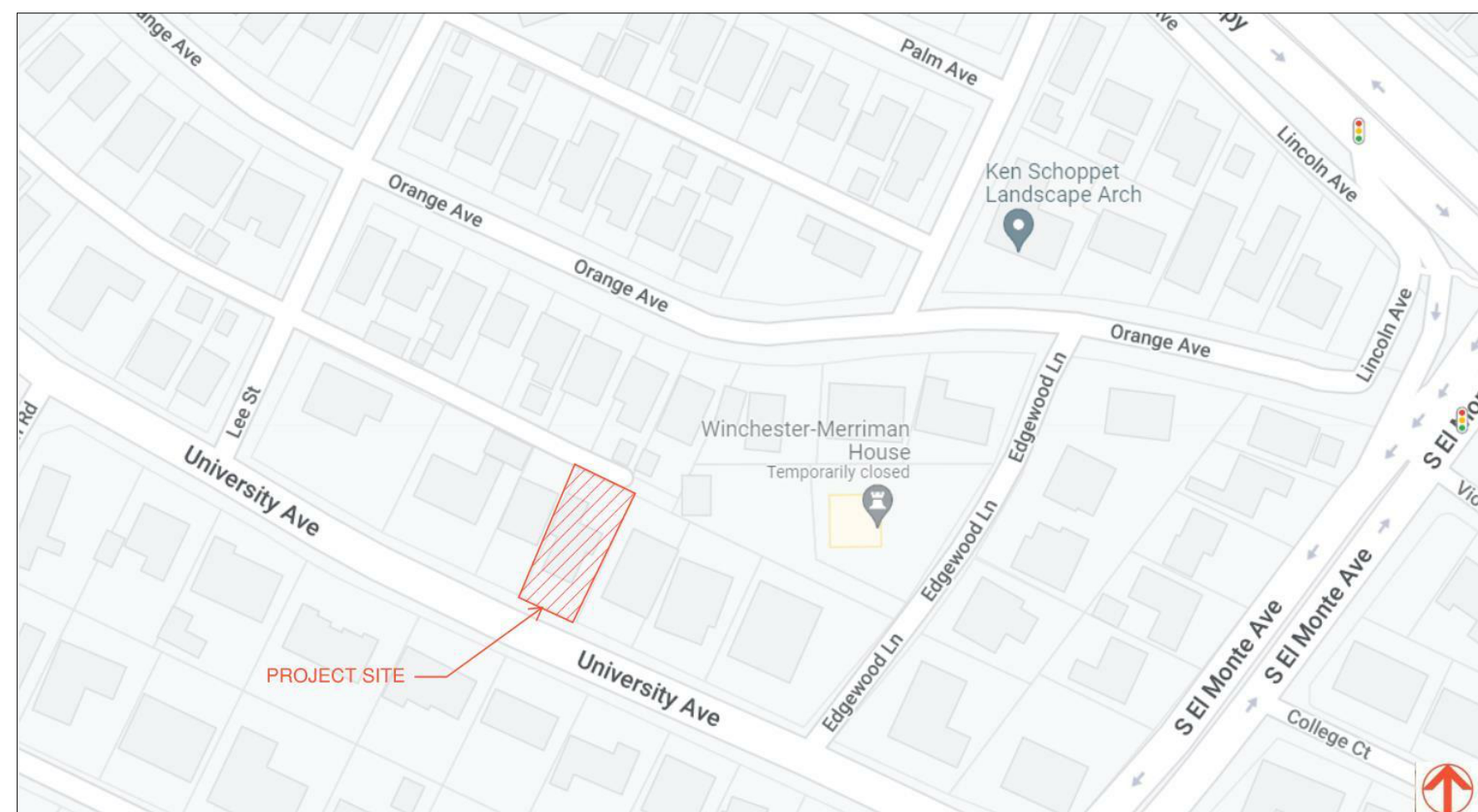
749 UNIVERSITY AVE

Los Altos, California

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Date: 3/3/23

CITY OF LOS ALTOS
PLANNING



Vicinity Map



Transitional



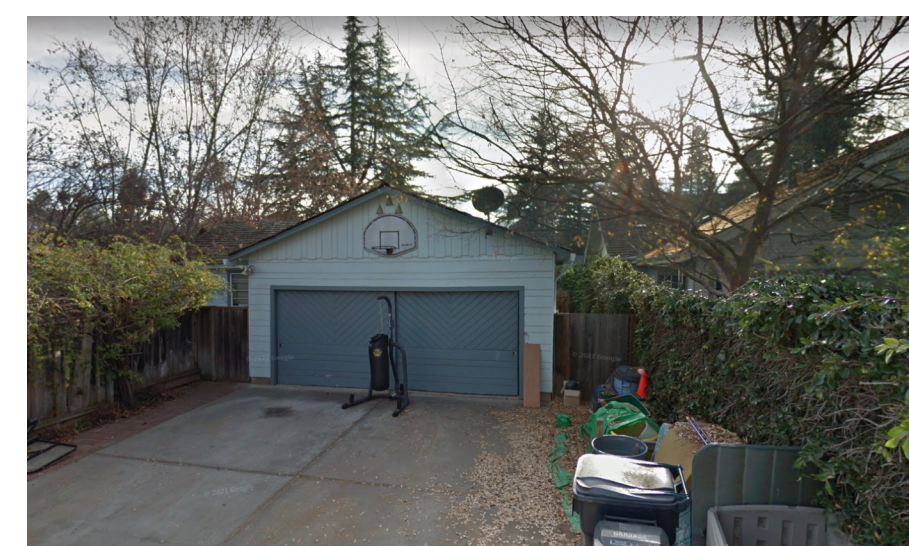
Site Contextual Map



1.



2.



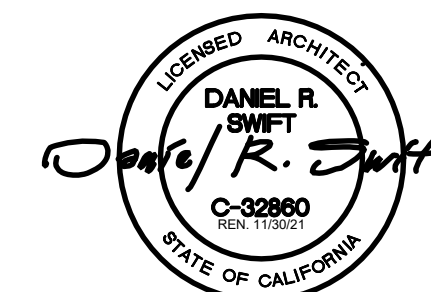
3.

DEVELOPMENT SUMMARY				DESIGN REVIEW SHEET INDEX			
LOCATION:	749 UNIVERSITY AVENUE			SHEET NUMBER	SHEET NAME		
ASSESSOR'S PARCEL NUMBER:	175-18-042			ARCHITECTURAL			
PARCEL AREA - GROSS:	8052 SQUARE FEET			A.0	COVER SHEET		
ZONING DESIGNATION:	R1-10			A.1	SITE NEIGHBORHOOD		
GENERAL PLAN DESIGNATION:	RESIDENTIAL SINGLE FAMILY			A.2	NEIGHBORHOOD CONTEXT		
PARKING REQUIRED:	2 TOTAL SPACES (1 MUST BE COVERED) MIN. GARAGE DIMENSIONS: 9'X18' PER SPACE			A.3	SITE PLAN		
PROJECT DESCRIPTION:	DEMOLITION OF ONE SINGLE FAMILY DETACHED RESIDENCE OF 1811 SF AND THE CONSTRUCTION OF ONE NEW SINGLE FAMILY DETACHED RESIDENCE OF APPROX. 3053 SF. ALL EXISTING TREES TO REMAIN			A.4	SITE DEMOLITION PLAN		
TYPE OF CONSTRUCTION:	V-B			A.5	AS-BUILT FLOOR PLAN		
OCCUPANCY GROUP:	R-3 / U-1			A.6	AS-BUILT ROOF PLAN		
				A.7	AS-BUILT EXTERIOR ELEVATIONS		
				A.8	MAIN FLOOR PLAN		
				A.9	UPPER FLOOR PLAN		
				A.10	EXTERIOR ELEVATIONS		
				A.11	EXTERIOR ELEVATIONS		
				A.12	ROOF PLAN		
				A.13	BUILDING SECTIONS		
				A.14	FLOOR AREA DIAGRAMS		
				A.15	COLOR/MATERIAL BOARD AND RENDERINGS		
				A.16	COLOR/MATERIAL SPECIFICATIONS		
LOT COVERAGE and FLOOR AREA CALCULATIONS				CIVIL			
LOT SIZE: 8,052 SQUARE FEET	EXISTING	PROPOSED	ALLOWED / REQUIRED	1	TOPOGRAPHY SURVEY		
LOT COVERAGE	2,368 SQUARE FEET (29.4%)	2,178 SQUARE FEET (27.0%)	2,416 SQUARE FEET (30.0%)	GP-1	NOTES, LEGEND, ABBREVIATIONS & SITEPLAN		
LAND AREA COVERED BY ALL STRUCTURES THAT ARE OVER 6 FEET IN HEIGHT				GP-2	DETAILS		
FLOOR AREA	2,368 SQUARE FEET (29.4%)	2,801 SQUARE FEET (34.8%)	2,818 SQUARE FEET (35.0%)	ECP-1	EROSION CONTROL PLAN		
MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS				ECP-2	EROSION CONTROL NOTES & DETAILS		
				ECP-3	CLEAN BAY BLUEPRINT		
LOT COVERAGE CALCULATION				LANDSCAPE			
ADU IS EXEMPT FROM THIS CALCULATION				L1.1	LAYOUT PLAN, NOTES, AND LEGEND		
	SQUARE FOOTAGE			L1.2	CONSTRUCTION DETAILS		
MAIN FLOOR	1123 SF	ALL ELEVATIONS		L2.1	PLANTING PLAN, NOTES, AND LEGEND		
2-CAR GARAGE	455 SF	G PROPERTY		L2.2	PLANTING PALETTE		
COVERED PORCH	205 SF	PROPERTY		L2.3	PLANTING DETAILS		
COVERED PATIO	395 SF	ALL ELEVATIONS		L2.4	TREE PROTECTION PLAN AND NOTES		
TOTAL SQUARE FOOTAGE:	2178 SF	ELEVATION A		TOTAL NUMBER OF SHEETS: 29			
LOT AREA:	8052 SF	A MAIN FLOOR LIVABLE		PROJECT TEAM			
LOT COVERAGE:	2178/8052 = 27.0%	B UPPER FLOOR LIVABLE		PROJECT NAME:	749 UNIVERSITY AVE - SINGLE-FAMILY DETACHED HOUSE		
MAX LOT COVERAGE:	2416/8052 = 30.0%	C A.D.U. LIVABLE		LOCAL JURISDICTION:	CITY OF LOS ALTOS 1 NORTH SAN ANTONIO ROAD LOS ALTOS, CALIFORNIA 94022 PHONE: (650) 947-2700		
FLOOR AREA CALCULATIONS				BUILDER / DEVELOPER:			
COVERED PORCH, COVERED PATIO, AND ADU ARE EXEMPT FROM THIS CALCULATION				THOMAS JAMES HOMES 275 SHORELINE DRIVE, SUITE 428 REDWOOD CITY, CALIFORNIA 94065 CONTACT: AARON HOLLISTER PHONE: (650) 562-8082 EMAIL: ahollister@tjhusa.com			
	SQUARE FOOTAGE	D 2-CAR GARAGE		ARCHITECT:			
MAIN FLOOR	1123 SF	E COVERED PATIO		BSB DESIGN, INC. 11211 GOLD COUNTRY BLVD, SUITE 101 GOLD RIVER, CALIFORNIA 95760 CONTACT: MATT HORNICEK PHONE: (916) 941-0990 EMAIL: mhornicek@bsbdesign.com			
UPPER FLOOR	1223 SF	F PORCH		CIVIL:			
2-CAR GARAGE	455 SF	NON-LIVABLE		CARLSON BARBEE & GIBSON, INC. 2633 CAMINO RAMON # 350 SAN RAMON, CALIFORNIA 94583 CONTACT: RYAN NYBERG PHONE: (925) 866-0322 EMAIL: rnyberg@cbandg.com			
TOTAL SQUARE FOOTAGE:	2801 SF	ELEVATION A		LANDSCAPE:			
LOT AREA:	8052 SF			ROACH & CAMPBELL 111 SCRIPPS DRIVE SACRAMENTO, CA 95825 CONTACT: AIMEE HENDRIE PHONE: (916) 501-4646 EMAIL: aimee@roachcampbell.com			
FLOOR AREA RATIO:	2801/8052 = 34.8%						
MAX FLOOR AREA RATIO:	2818/8052 = 35.0%						
SQUARE FOOTAGE BREAKDOWN				SETBACK REQUIREMENTS			
	EXISTING	CHANGE IN	TOTAL PROPOSED	MAIN HOUSE	EXISTING	PROPOSED	ALLOWED / REQUIRED
HABITABLE LIVING AREA:	1,085 SQUARE FEET	+1,971 SQUARE FEET	3,056 SQUARE FEET	FRONT	25'-0" feet	35'-0" feet	25'-0" feet
INCLUDES HABITABLE BASEMENT AREAS				REAR	25'-0" feet	27'-6" feet	25'-0" feet
NON-HABITABLE AREA:	1,097 SQUARE FEET	-42 SQUARE FEET	1,055 SQUARE FEET	LEFT SIDE (1ST/2ND)	6'-0" feet	6'-6" feet / 15'-6" feet	6'-0" feet / 6'-0" feet
DOES NOT INCLUDE COVERED PORCHES OR OPEN STRUCTURES				RIGHT (1ST/2ND)	6'-0" feet	6'-6" feet / 14'-0" feet	6'-0" feet / 6'-0" feet
LOT CALCULATIONS				FRONTAGE IMPROVEMENTS			
NET LOT AREA:	8052 SQUARE FEET			ALL EXISTING CRACKED OR DAMAGED FEATURES ALONG THE PROPERTY FRONTAGE MUST BE REPAIRED IN KIND. ADDITIONALLY, ANY FRONTAGE IMPROVEMENTS WHICH ARE DAMAGED AS A RESULT OF CONSTRUCTION WILL BE REQUIRED TO BE REPLACED. ALL FRONTAGE IMPROVEMENT WORK SHALL BE IN ACCORDANCE WITH THE LATEST VERSION OF THE CITY STANDARD DETAILS.			
FRONT YARD HARDSCAPE AREA:	3,221 SF (40%)			ANY ENCROACHMENT PERMIT FROM THE ENGINEERING DIVISION IS REQUIRED PRIOR TO ANY CONSTRUCTION ACTIVITIES, INCLUDING UTILITY LATERALS, IN THE PUBLIC RIGHT OF WAY			
HARDSCAPE AREA IN THE FRONT YARD SETBACK SHALL NOT EXCEED 50%							
LANDSCAPING BREAKDOWN:	TOTAL HARDSCAPE AREA (EXISTING & PROPOSED):	3575 SQ FT					
	EXISTING SOFTSCAPE (UNDISTURBED) AREA:	0 SQ FT					
	NEW SOFTSCAPE (DISTURBED) AREA:	4477 SQ FT					
	SUM OF ALL THREE SHOULD EQUAL THE SITE'S NET LOT AREA						

* LOT CALCULATIONS TABLE ABOVE INCLUDES INFORMATION PROVIDED BY THE LANDSCAPE ARCHITECT. SEE LANDSCAPE DRAWINGS FOR COMPLETE LANDSCAPE INFORMATION AND CALCULATIONS.



Redwood City, California



COVER SHEET **A.0**
749 UNIVERSITY AVE
Los Altos, California





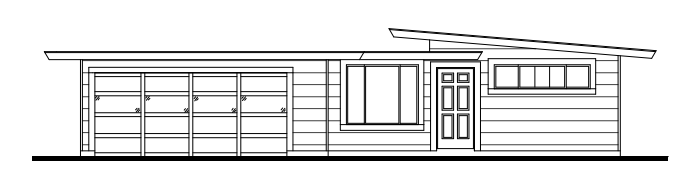
731 University



745 University



749 University



751 University



757 University



770 University



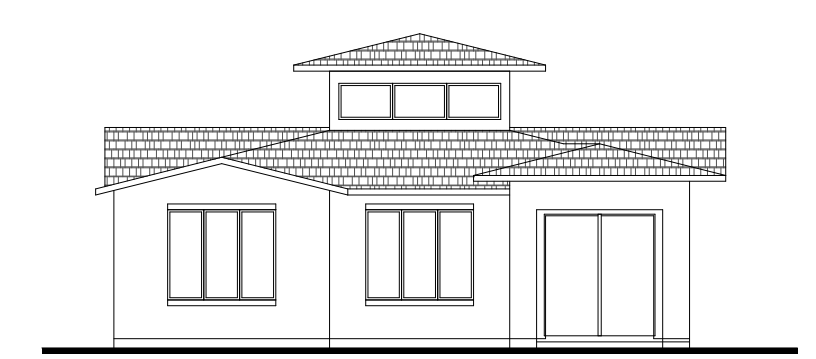
762 University



756 University



752 University



728 Orange



736 Orange



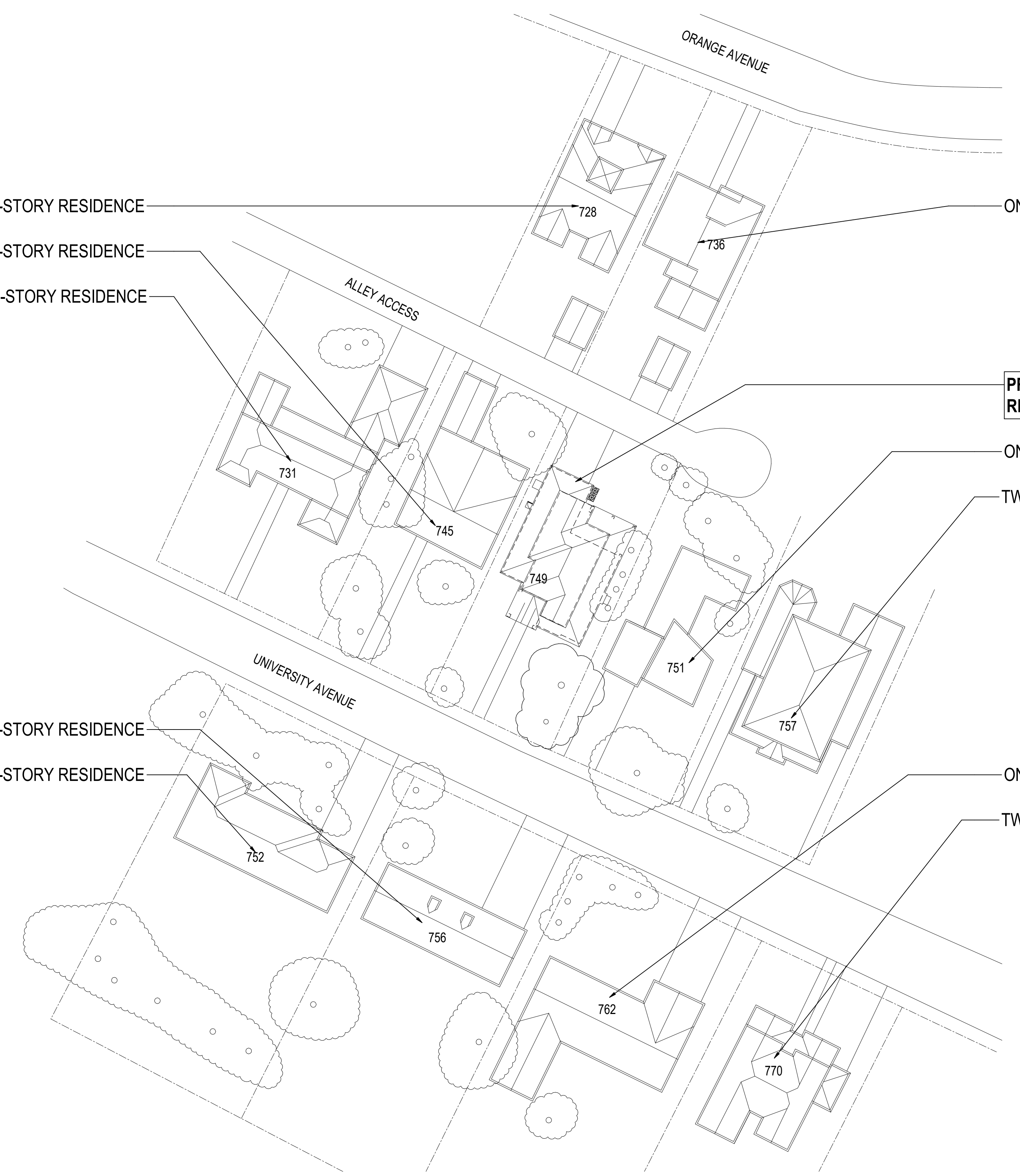
Redwood City, California

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ONE-STORY RESIDENCE
ONE-STORY RESIDENCE
TWO-STORY RESIDENCE

ONE-STORY RESIDENCE
ONE-STORY RESIDENCE

Site Neighborhood



ONE-STORY RESIDENCE

PROPOSED TWO-STORY RESIDENCE

ONE-STORY RESIDENCE

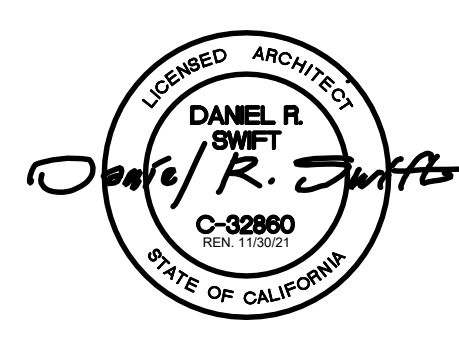
TWO-STORY RESIDENCE

ONE-STORY RESIDENCE

TWO-STORY RESIDENCE

SITE NEIGHBORHOOD A.1
749 UNIVERSITY AVE

Los Altos, California



February 16, 2023 | SF220089.00



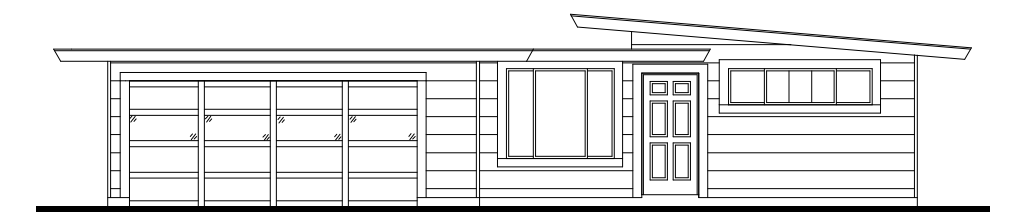
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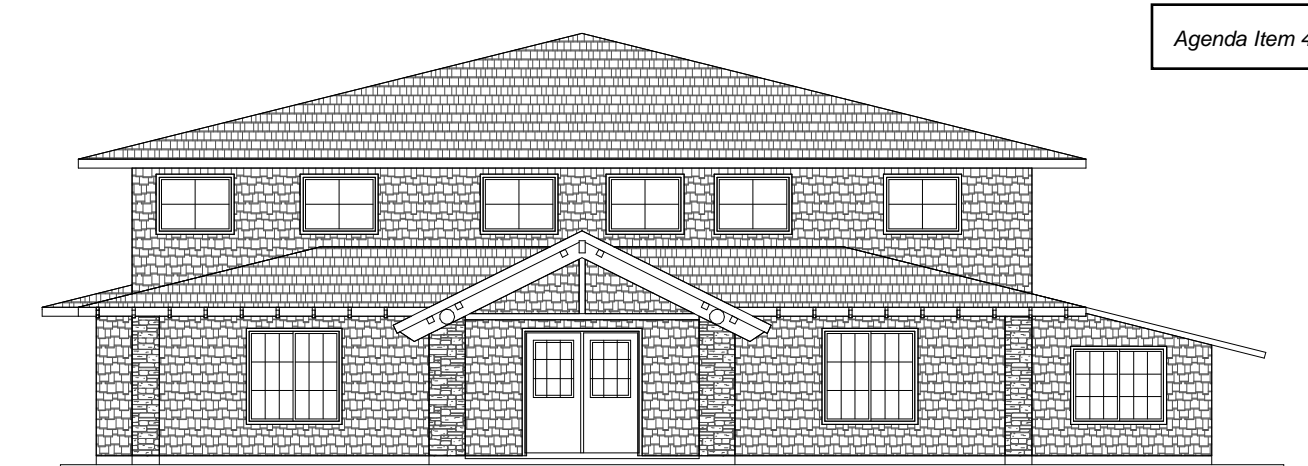
745 University



749 University



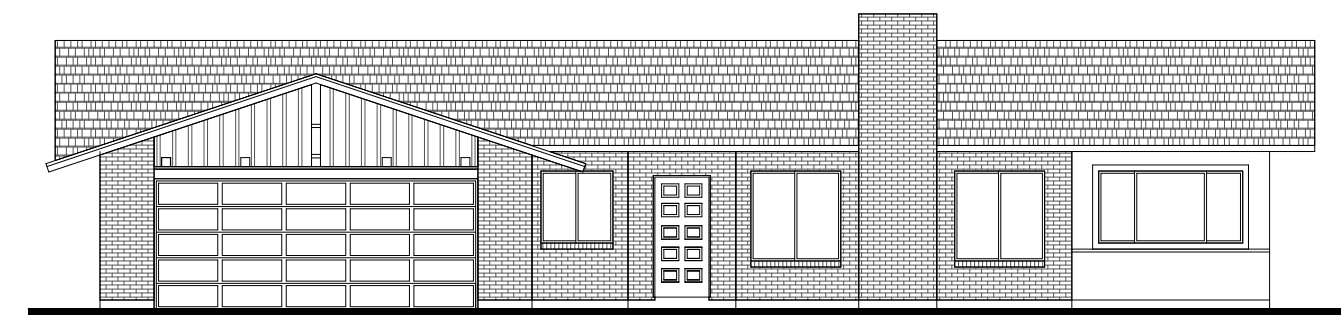
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757 University



770 University



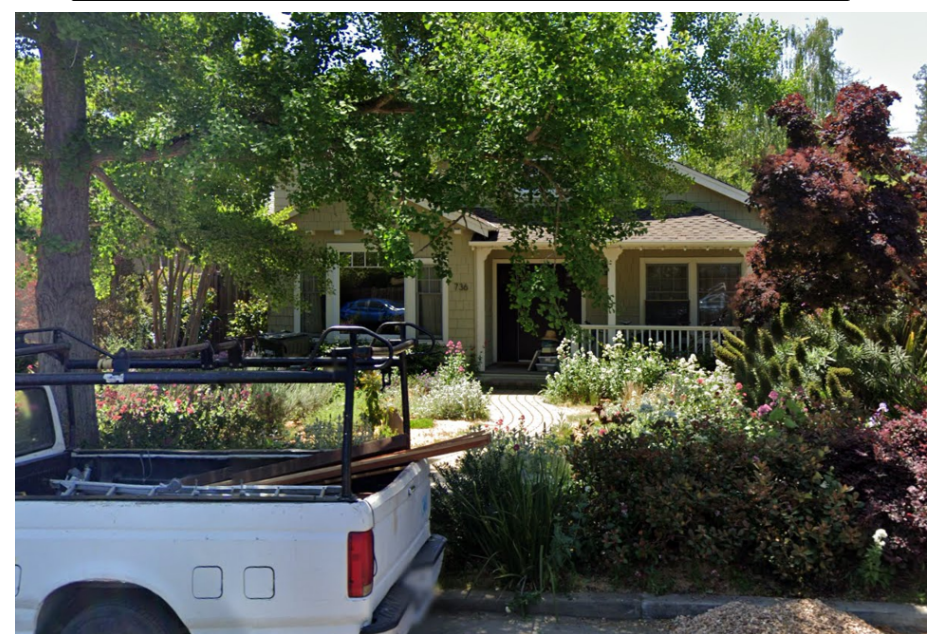
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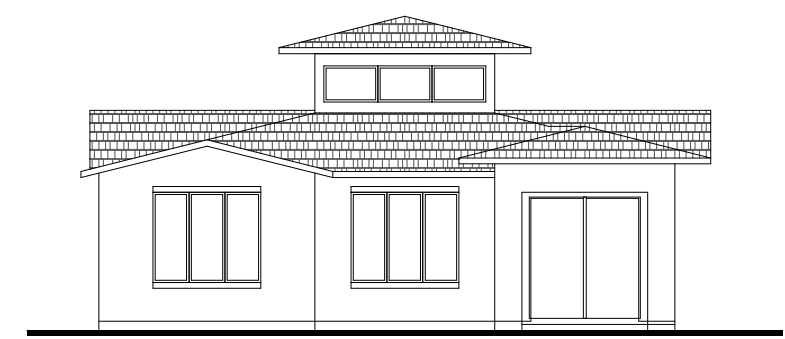
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736 Orange



752 University

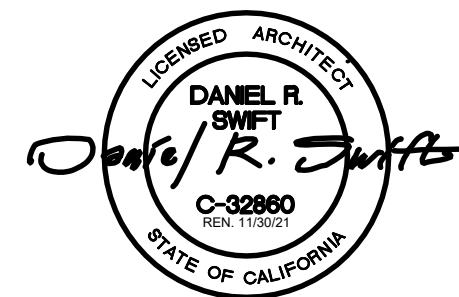


728 Orange

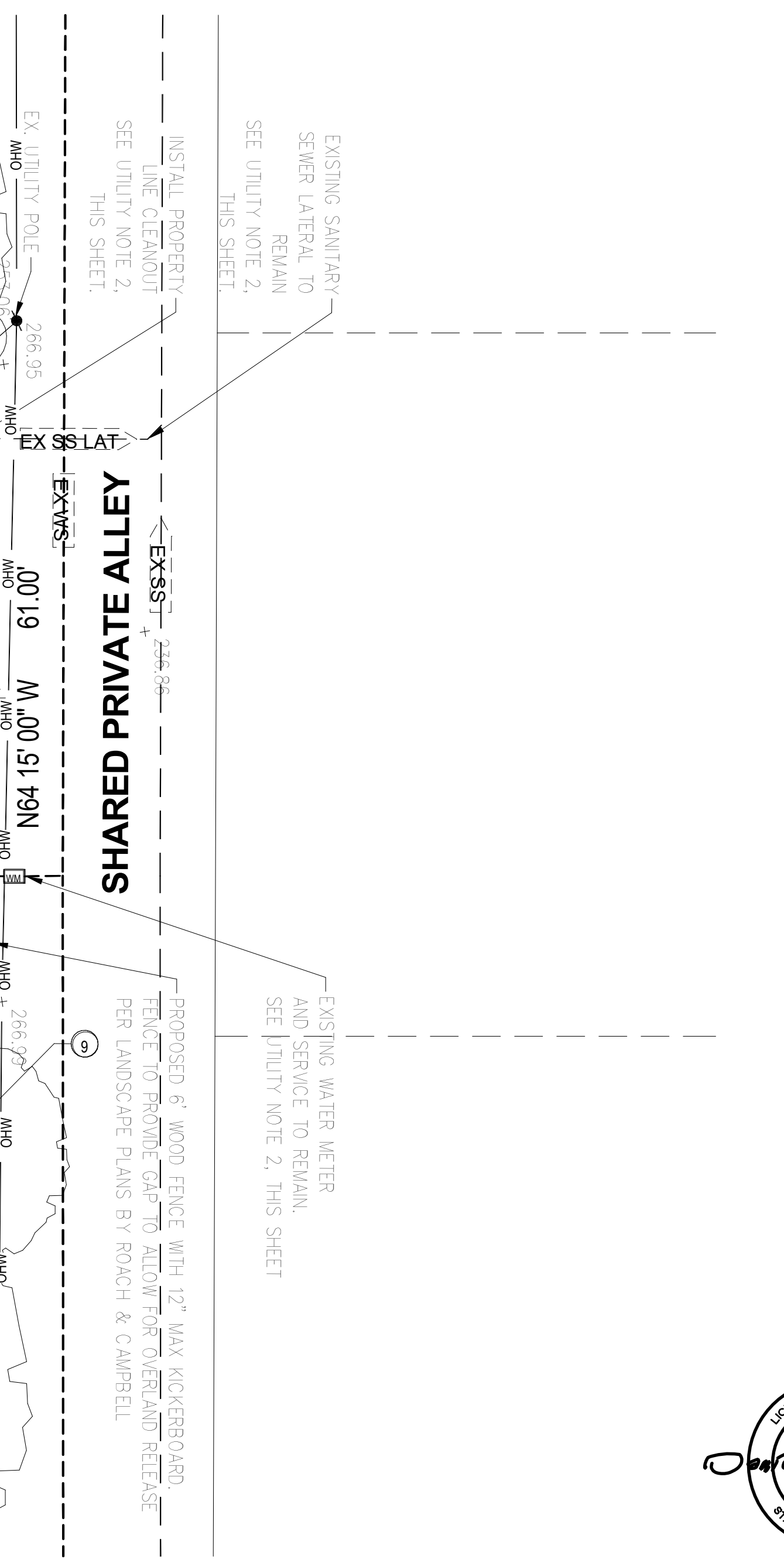
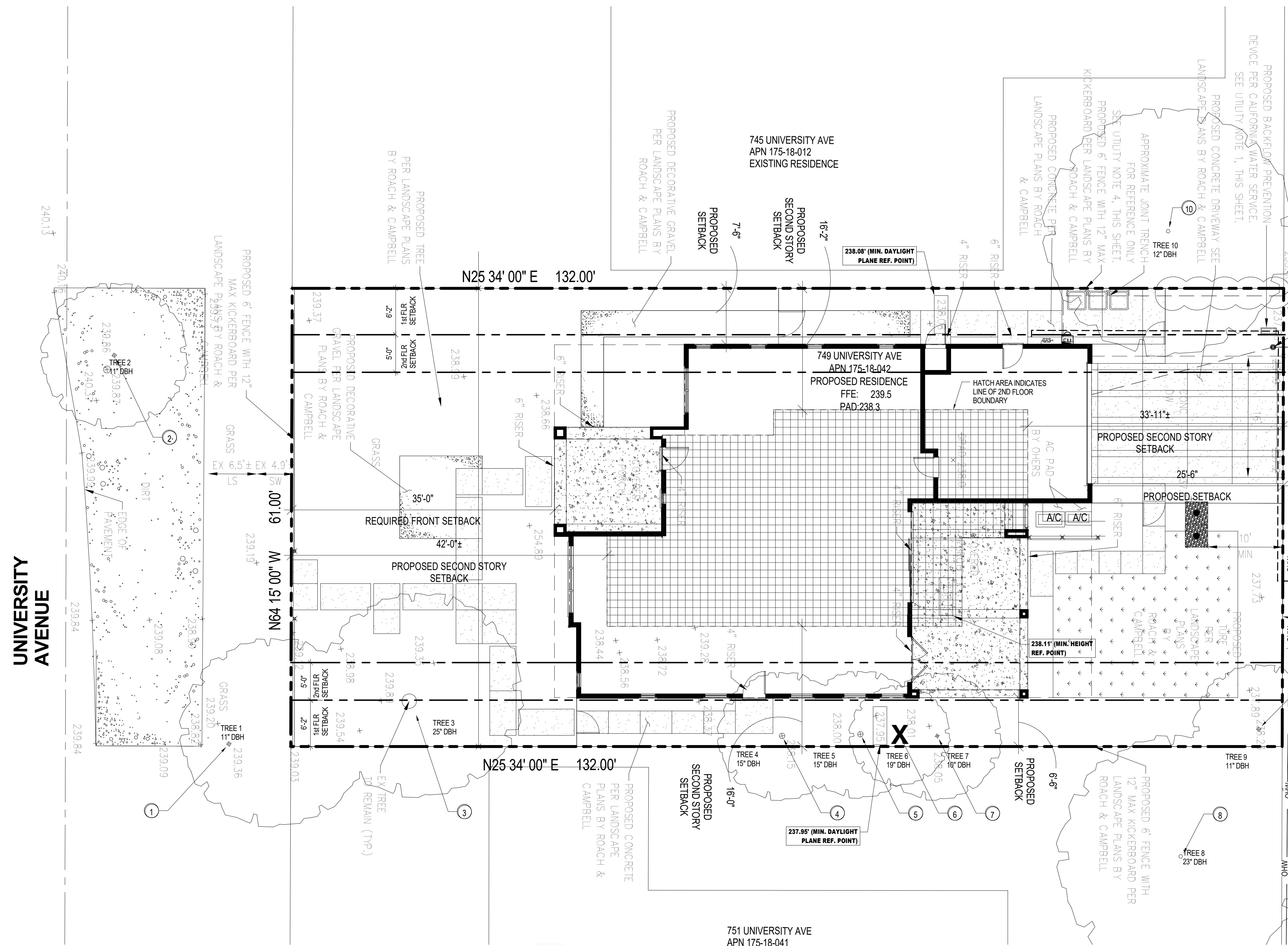


Redwood City, California

NEIGHBORHOOD CONTEXT A.2
749 UNIVERSITY AVE
Los Altos, California



TREE PROTECTION CHART						
MARK	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (IN)	ACTION
TREE 1	NON-PROTECTED	OFF-SITE	PISTACIA CHINENSIS	CHINESE PISTACHE	11	RETAIN & PROTECT
TREE 2	NON-PROTECTED	OFF-SITE	QUERCUS AGRIFOLIA	COAST LIVE OAK	10	RETAIN & PROTECT
TREE 3	PROTECTED	ON-SITE	CEDRUS DEODARA	DEODAR CEDAR	25	RETAIN & PROTECT
TREE 4	PROTECTED	ON-SITE	PLATANUS HYBRIDA	LONDON PLANE	15	RETAIN & PROTECT
TREE 5	NON-PROTECTED	ON-SITE	PLATANUS HYBRIDA	LONDON PLANE	15	RETAIN & PROTECT
TREE 6	PROTECTED	ON-SITE	ACER SACCHARINUM	SILVER MAPLE	19	REMOVE
TREE 7	NON-PROTECTED	ON-SITE	PLATANUS HYBRIDA	LONDON PLANE	10	RETAIN & PROTECT
TREE 8	PROTECTED	OFF-SITE	UMBRELLULARIA CALIFORNICA	BAY LAUREL	23	RETAIN & PROTECT
TREE 9	NON-PROTECTED	ON-SITE	LIQUIDAMBAR STYRACIFLUA	SWEETGUM	11	RETAIN & PROTECT
TREE 10	NON-PROTECTED	OFF-SITE	ULMUS PARVIFOLIA	CHINESE ELM	12	RETAIN & PROTECT



Redwood City, California

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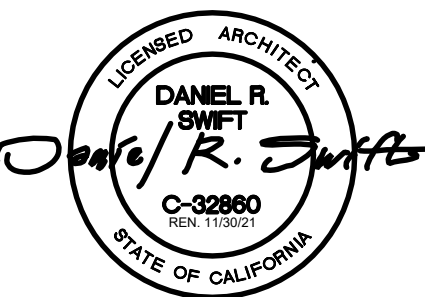
Architectural Site Plan

SCALE: 1/8" = 1'-0"

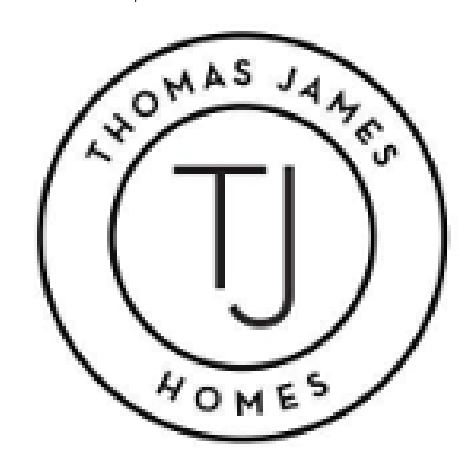
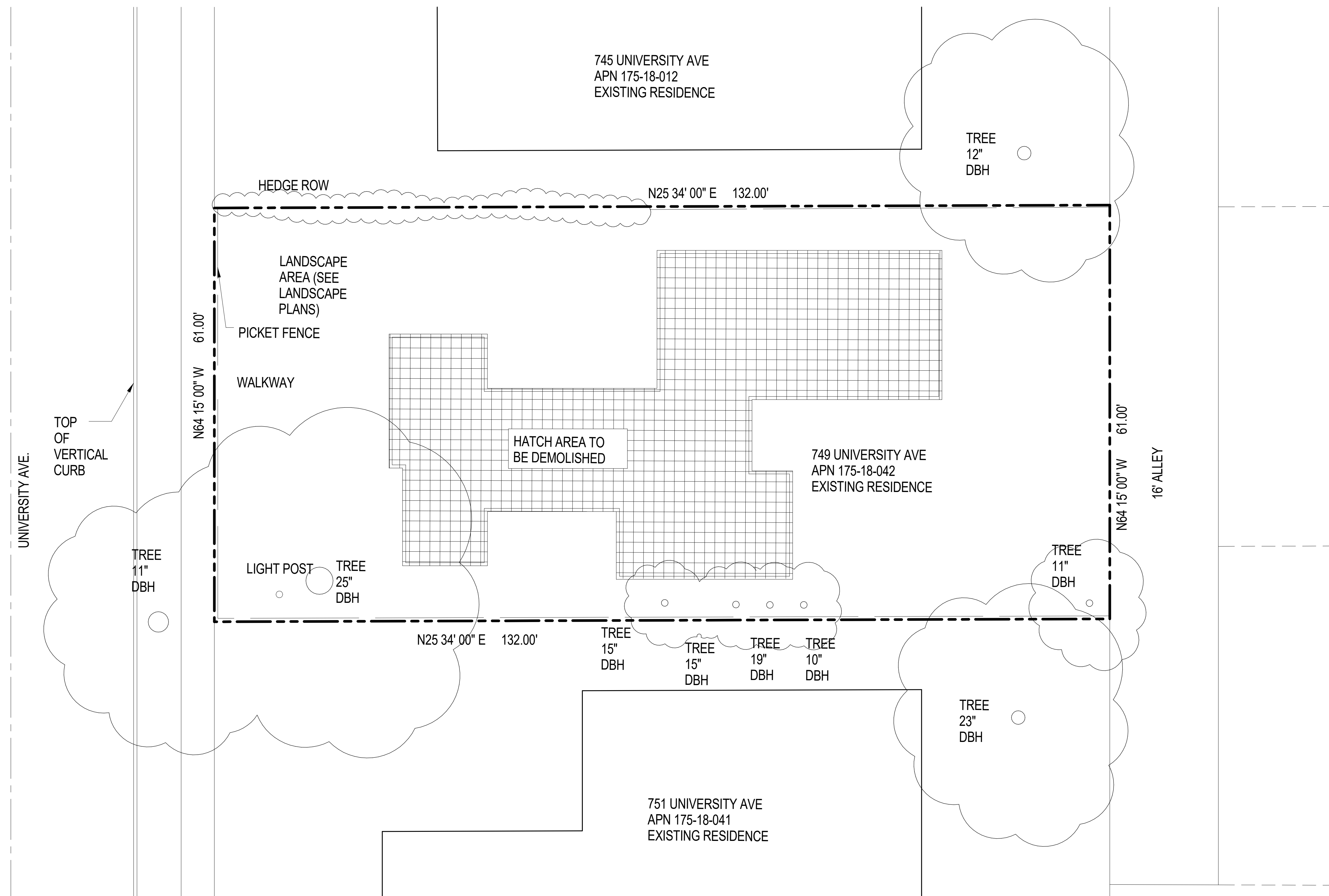


SITE PLAN A.3 749 UNIVERSITY AVE

Los Altos, California



February 16, 2023 | SF220089.00



Redwood City, California

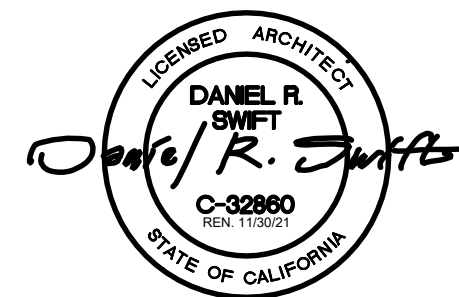
Site Demolition Plan

SCALE: 1/8" = 1'-0"



SITE DEMOLITION PLAN A.4 749 UNIVERSITY AVE

Los Altos, California



LEGEND

- LOW CASEWORK
- UPPER CASEWORK
- FULL HEIGHT CASEWORK
- WD = WASHER/DRYER COMBO
- W = WASHER
- D = DRYER
- RANGE
- REFR = REFRIGERATOR
- OVEN = OVEN
- DW = DISH WASHER
- TC = TRASH COMPACTOR
- FURN = FURNACE
- WALL HEATER
- GAS METER
- ELECTRIC METER
- SOLAR COMPONENTS
- ELECTRICAL PANEL
- TANKLESS WATER HEATER
- WATER HEATER
- FLOOR DRAIN
- CEILING HEIGHT
- HEADER HEIGHT



PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET



PREPARED FOR

THOMAS JAMES HOMES

PROJECT TYPE

FLOOR PLAN

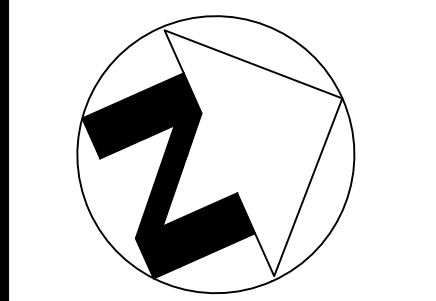
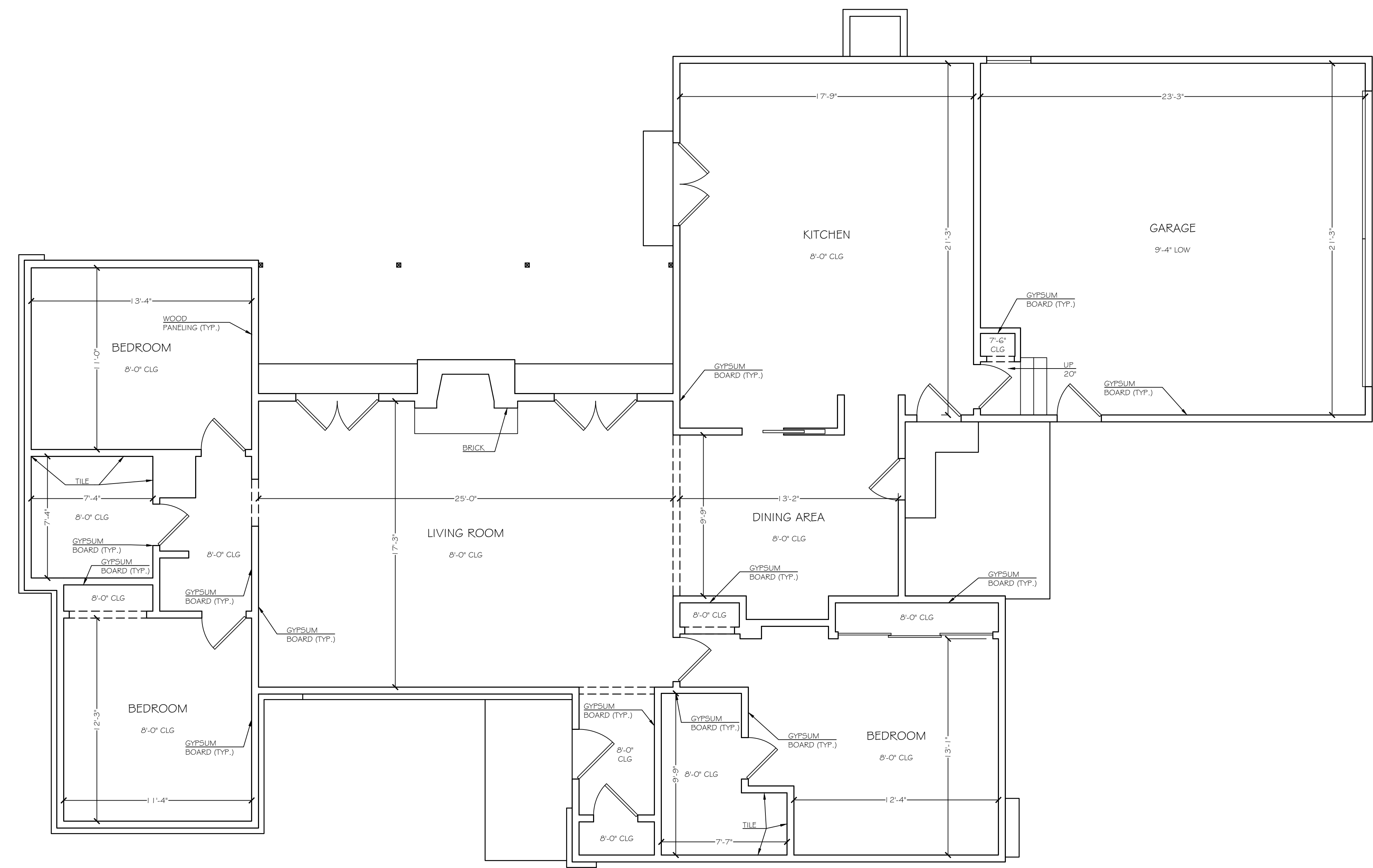
PROJECT NAME

749 UNIVERSITY AVENUE RESIDENCE

PROJECT ADDRESS

749 UNIVERSITY AVE, LOS ALTOS, CA 94022

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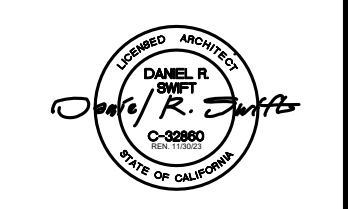
SCALE
1/4" = 1'-0"

PROJECT
2980_BA

APPROVED BY
ZJ

DATE
03/04/22


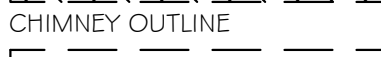







SHEET
1 of 3



A.5



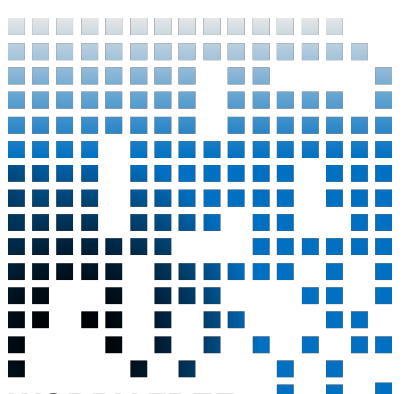
LEGEND

-  CHIMNEY OUTLINE
-  BUILDING FOOTPRINT
-  = ROOF DRAIN
-  = DOWNSPOUT
-  = AIR CONDITIONER
-  = UTILITY BOX
-  = ROOF VENT
-  = ROOF TOP UNIT
-  = ROOF TOP HATCH

PPM

PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST
HIGHWAY | 2ND FLOOR
LONG BEACH CA | 90804
T 562.621.9100
F 888.698.2966
WWW.PPMCO.NET



WORRY FREE RENOVATIONS

PREPARED FOR

THOMAS
HOMES

PROJECT TYPE

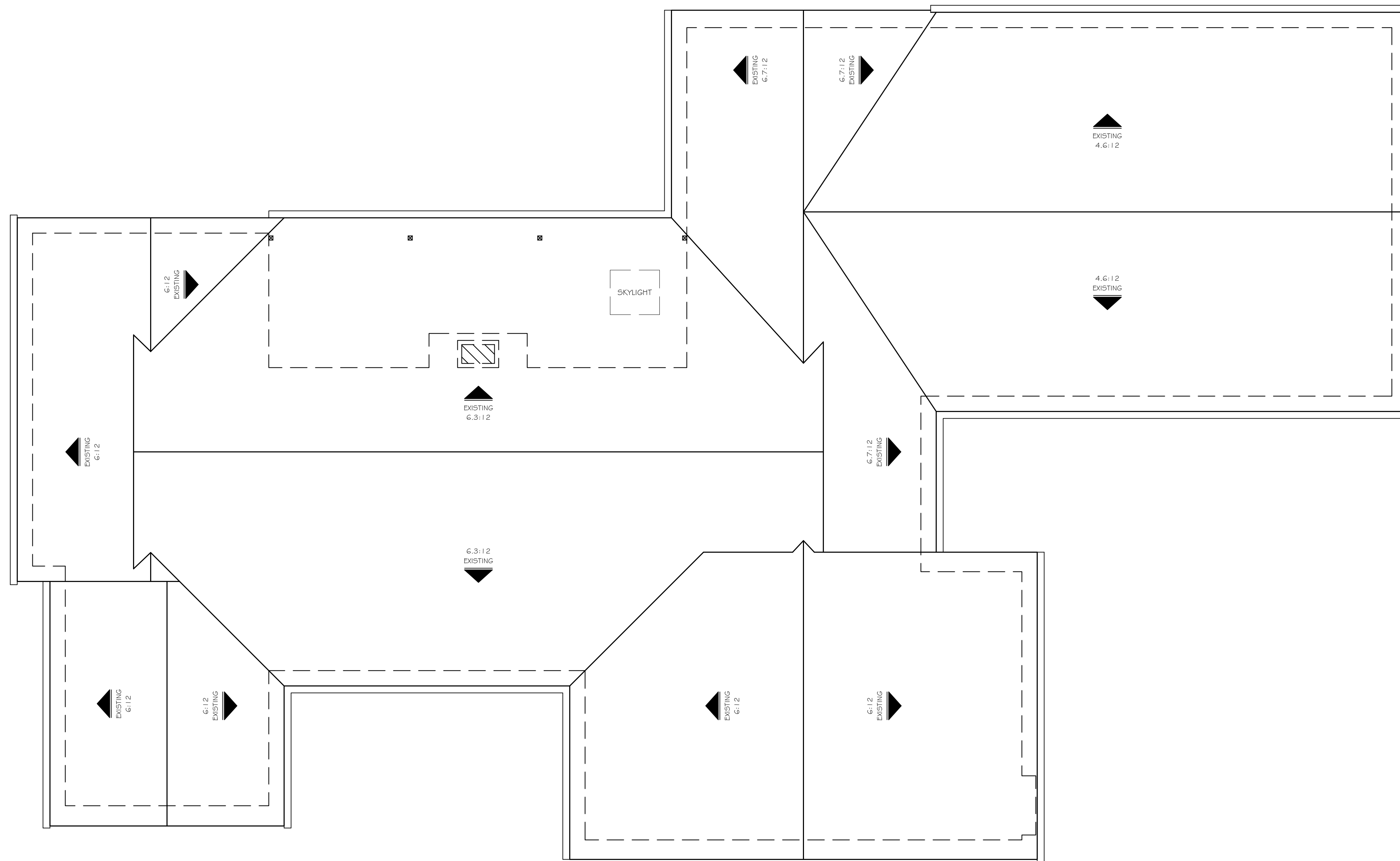
ROOF PLAN

PROJECT NAME

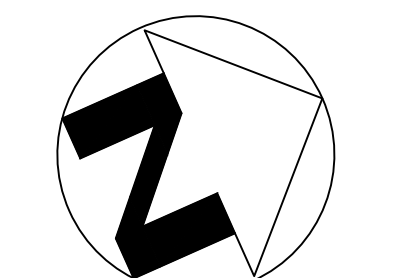
749 UNIVERSITY
AVENUE
RESIDENCE

PROJECT ADDRESS

749 UNIVERSITY AVE, LOS
ALTOS, CA 94022



All plans created by Precision Property Measurements, Ltd (PPM) are made exclusively for building purposes (i.e. this is not a final construction document). PPM does not warrant the accuracy of any measurements or calculations. PPM makes every reasonable effort to ensure the accuracy of its calculations based on data provided to it. All drawings created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its calculations based on data provided to it. All drawings created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its calculations based on data provided to it. All drawings created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its calculations based on data provided to it. All drawings created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect.



SCALE
1/4" = 1'-0"

PROJECT
2980_BA

APPROVED BY
ZJ

DATE
03/04/22

SHEET
2 of 3



A.6



LEGEND

FINISHED GRADE LINE
 FINISHED FLOOR LINE

12
 X
 ROOF PITCH LABEL (RISE/RUN)

PPM
 PRECISION PROPERTY MEASUREMENTS

3626 E. PACIFIC COAST HIGHWAY | 2ND FLOOR
 LONG BEACH CA | 90804
 T 562.621.9100
 F 888.698.2966
 WWW.PPMCO.NET

WORRY FREE RENOVATIONS

PREPARED FOR

THOMAS JAMES HOMES

PROJECT TYPE

EXTERIOR ELEVATIONS

PROJECT NAME

749 UNIVERSITY AVENUE RESIDENCE

PROJECT ADDRESS

749 UNIVERSITY AVE, LOS ALTOS, CA 94022

All plans created by Precision Property Measurements Use "PPM" as a trade acronym for landscaping purposes (CA, Title, & Prof. Code 86727). All data plans created by PPM do not make the determination of any property line, and as such do not constitute (86727) or (86728).
 CA Title & Prof. Code 86727-86728: In addition, PPM services are not constitute our engineering (CA, Title & Prof. Code 86702-8704), and this would not be used for any studies or activities defined as our engineering (CA, Title & Prof. Code 86731). All floor plans created by PPM are intended to be used as a reference for design and construction and should not be considered a substitute for the services of a licensed structural engineer or licensed architect. PPM makes every reasonable effort to ensure the accuracy of its information based on its data. However, some of our drawings represent certain errors to some degree. It is the duty of the architect, contractor, designer or other licensed professional, and a consultant to the property owner, to determine the suitability of the As-Built plans prior to construction. Measurements should be field confirmed before commencing construction. In the event that an error is found on a plan, PPM's liability is limited to the amount of the fee paid to PPM.

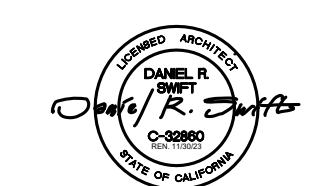
SCALE
 1/4" = 1'-0"

PROJECT
 2980_BA

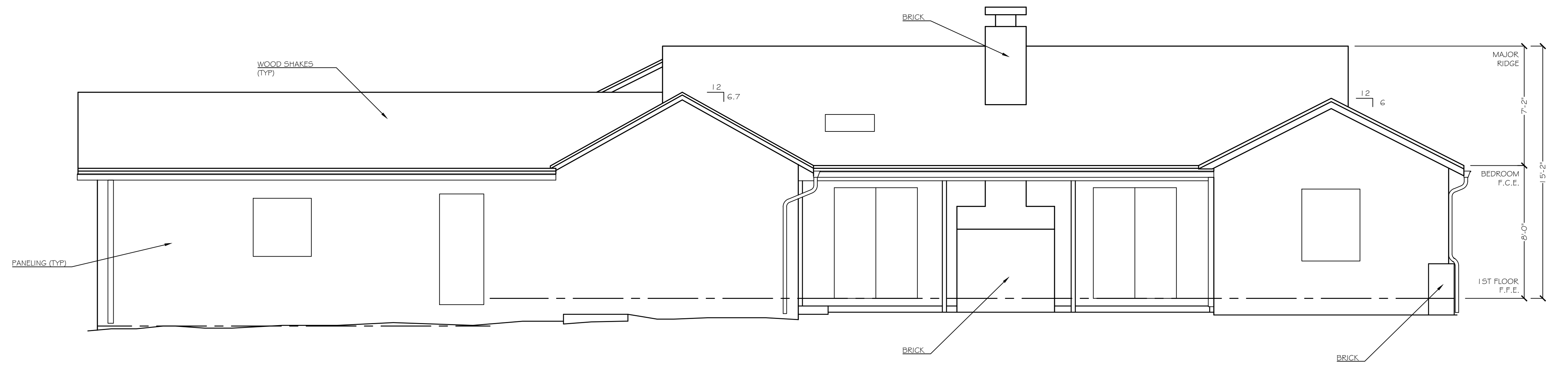
APPROVED BY
 ZJ

DATE
 03/04/22

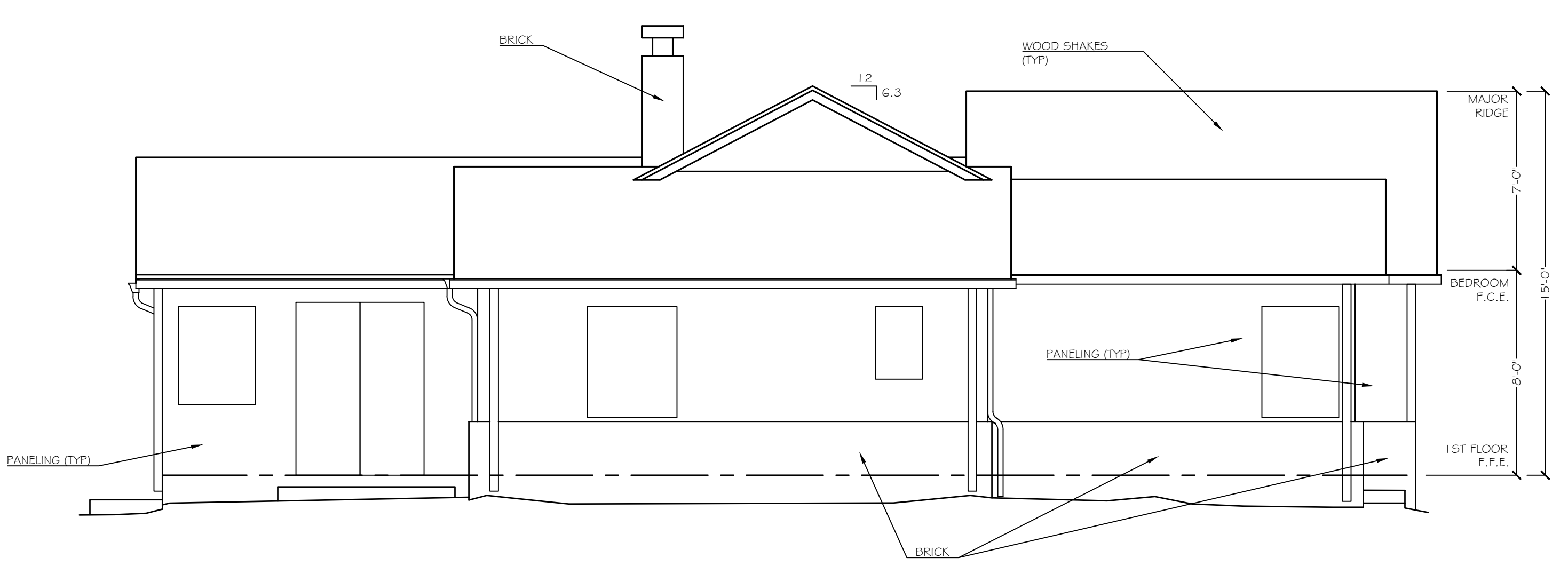
SHEET
 3 of 3



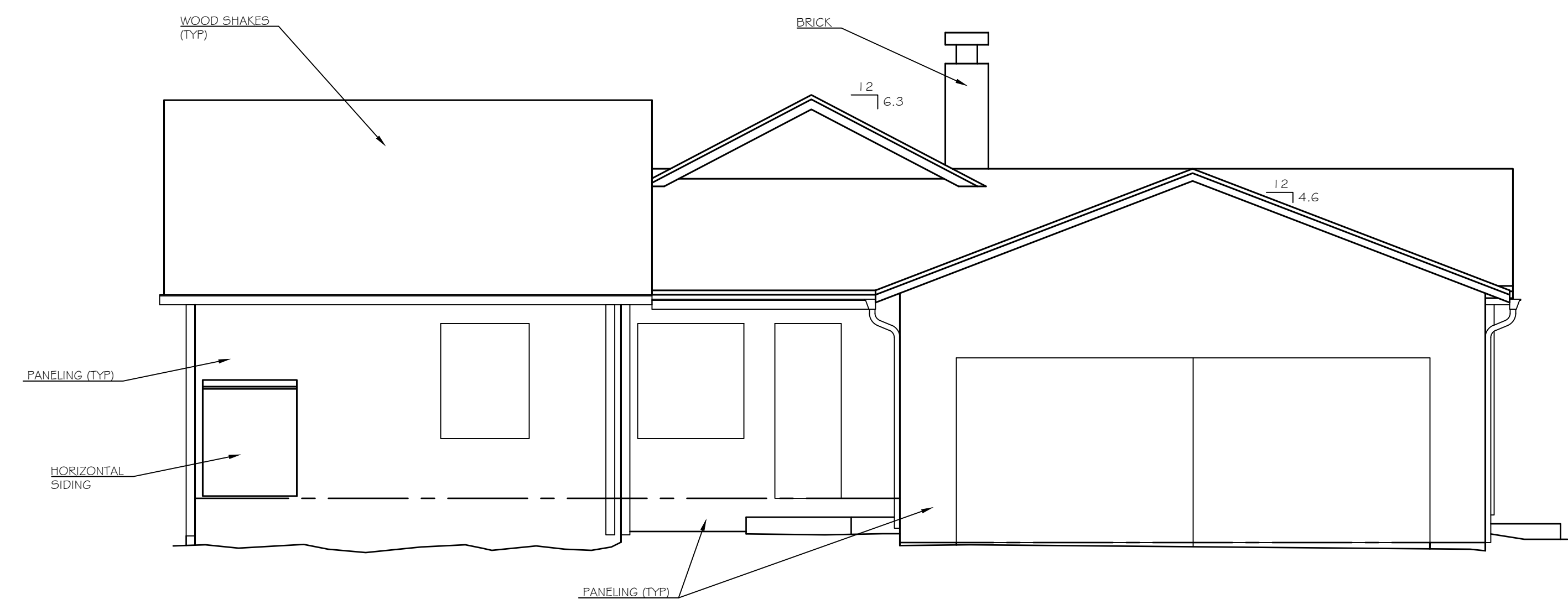
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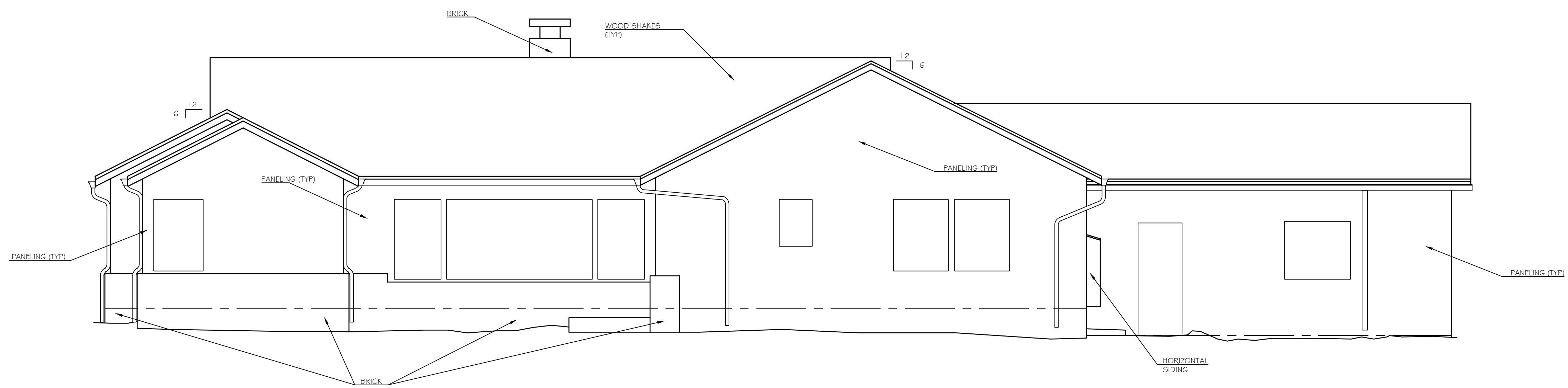
NORTHWEST



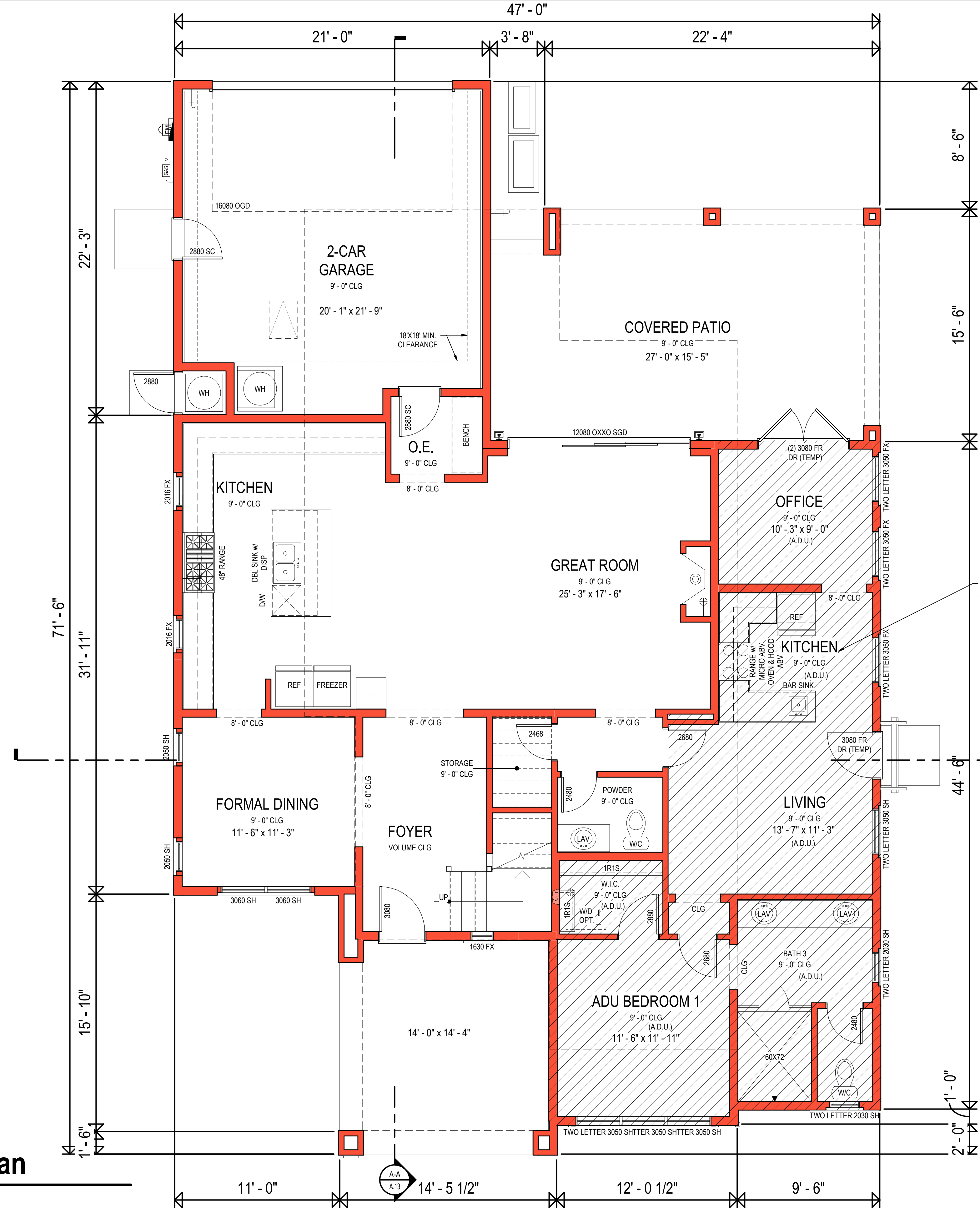
SOUTHWEST



NORTHEAST



SOUTHEAST



FLOOR AREA CALCULATIONS	
COVERED PORCH, COVERED PATIO, AND ADU ARE EXEMPT FROM THIS CALCULATION	
	SQUARE FOOTAGE
MAIN FLOOR	1123 SF
UPPER FLOOR	1223 SF
2-CAR GARAGE	455 SF
TOTAL SQUARE FOOTAGE:	2801 SF
LOT AREA:	8052 SF
FLOOR AREA RATIO:	2801/8052 = 34.8%
MAX FLOOR AREA RATIO:	2818/8052 = 35.0%

LOT COVERAGE CALCULATION	
ADU IS EXEMPT FROM THIS CALCULATION	
	SQUARE FOOTAGE
MAIN FLOOR	1123 SF
2-CAR GARAGE	455 SF
COVERED PORCH	205 SF
COVERED PATIO	395 SF
TOTAL SQUARE FOOTAGE:	2178 SF
LOT AREA:	8052 SF
LOT COVERAGE:	2178/8052 = 27.0%
MAX LOT COVERAGE:	2416/8052 = 30.0%

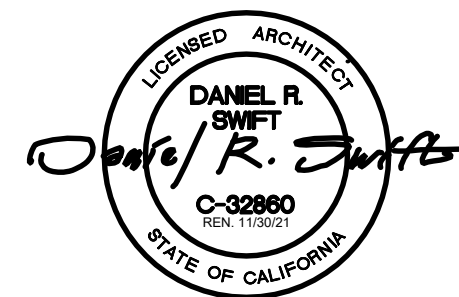
AREA SCHEDULE - STANDARD - ELEV A		
AREA KEY	AREA NAME	AREA
ELEVATION A		
A	MAIN FLOOR LIVABLE	1123 SF
B	UPPER FLOOR LIVABLE	1223 SF
C	A.D.U.	711 SF
LIVABLE		3057 SF
D	2-CAR GARAGE	455 SF
E	COVERED PATIO	395 SF
F	PORCH	205 SF
NON-LIVABLE		1055 SF
ELEVATION A		4112 SF

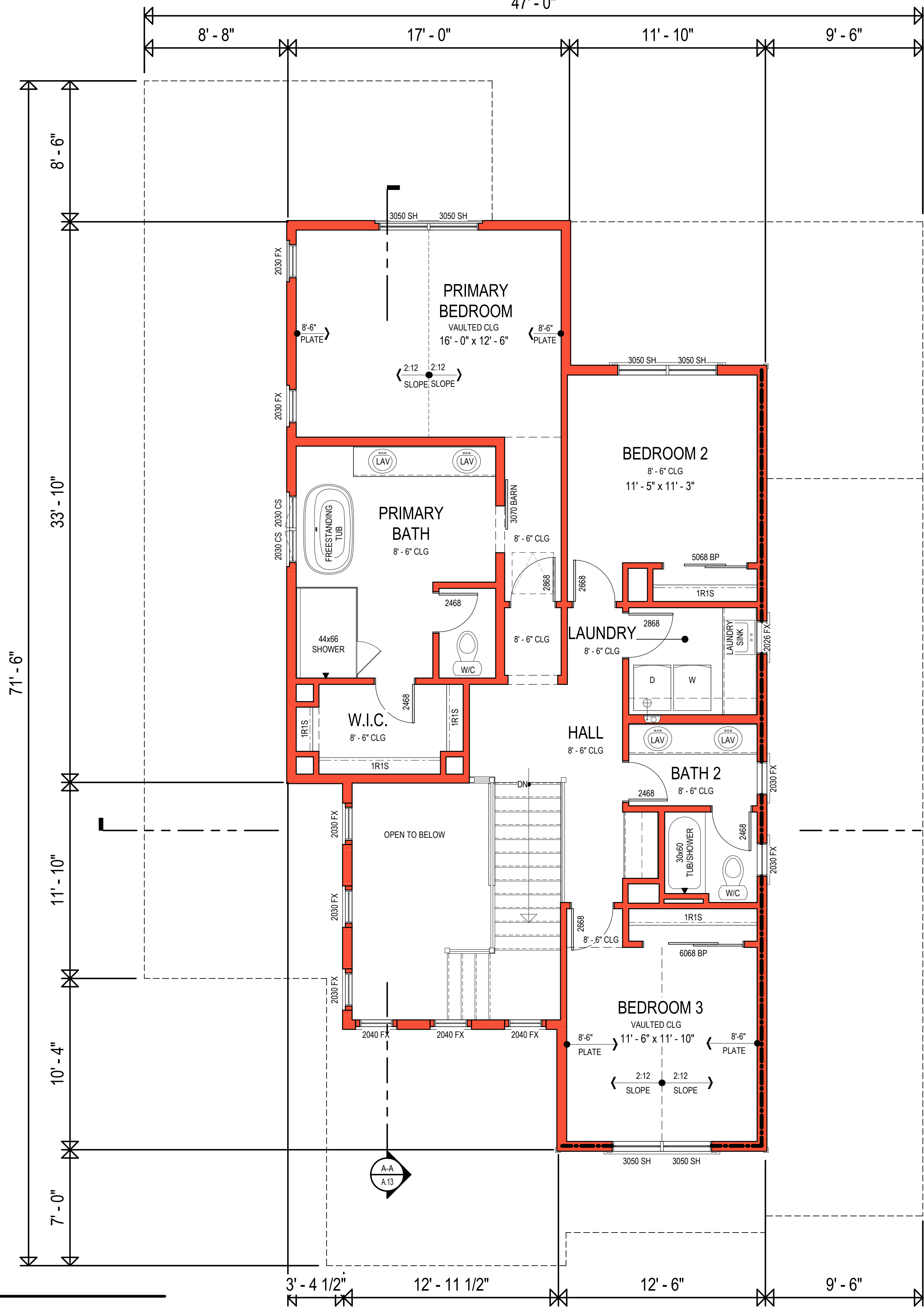


Main Floor Plan

SCALE: 1/4" = 1'-0"

MAIN FLOOR PLAN A.8
749 UNIVERSITY AVE
 Los Altos, California





FLOOR AREA CALCULATIONS
COVERED PORCH, COVERED PATIO, AND ADU ARE EXEMPT FROM THIS CALCULATION

	SQUARE FOOTAGE
MAIN FLOOR	1123 SF
UPPER FLOOR	1223 SF
2-CAR GARAGE	455 SF
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LOT COVERAGE CALCULATION
ADU IS EXEMPT FROM THIS CALCULATION

	SQUARE FOOTAGE
MAIN FLOOR	1123 SF
2-CAR GARAGE	455 SF
COVERED PORCH	205 SF
COVERED PATIO	395 SF
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AREA SCHEDULE - STANDARD - ELEV A

AREA KEY	AREA NAME	AREA
ELEVATION A		
A	MAIN FLOOR LIVABLE	1123 SF
B	UPPER FLOOR LIVABLE	1223 SF
C	A.D.U.	711 SF
LIVABLE		3057 SF
D	2-CAR GARAGE	455 SF
E	COVERED PATIO	395 SF
F	PORCH	205 SF
NON-LIVABLE		1055 SF
ELEVATION A		4112 SF

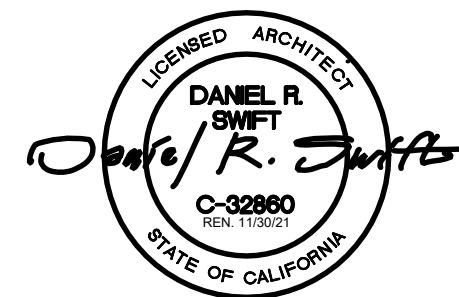


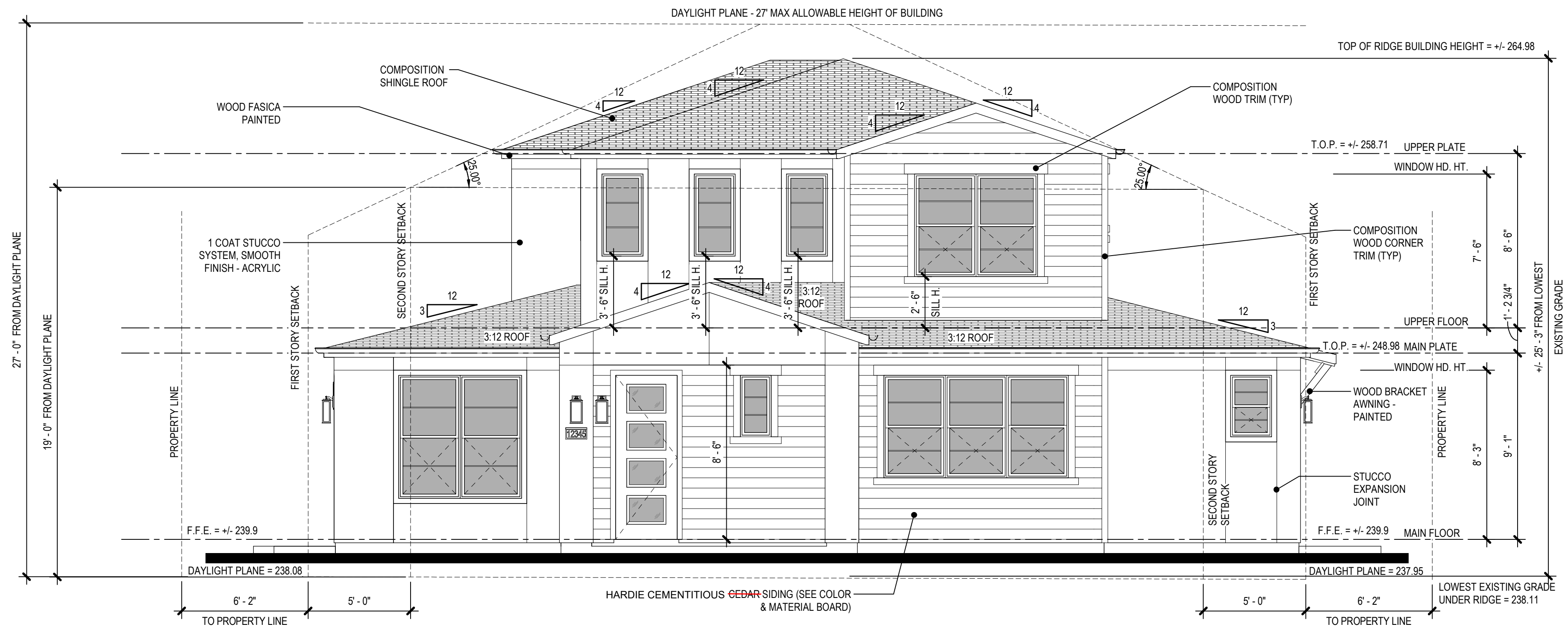
Redwood City, California

Upper Floor Plan

SCALE: 1/4" = 1'-0"

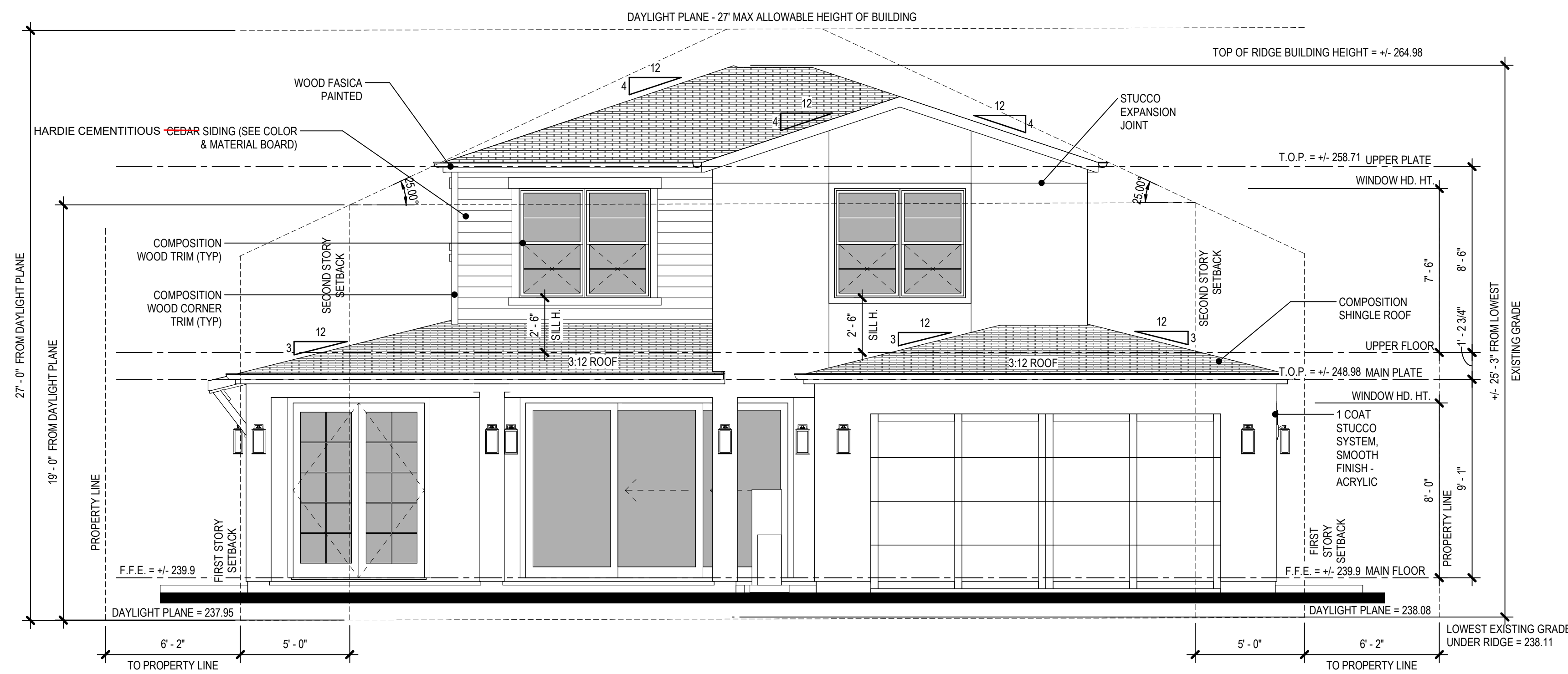
UPPER FLOOR PLAN A.9
749 UNIVERSITY AVE
Los Altos, California





Front Elevation

SCALE: 1/4" = 1'-0"

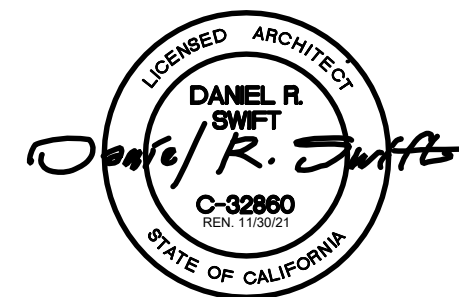


Rear Elevation

SCALE: 1/4" = 1'-0"

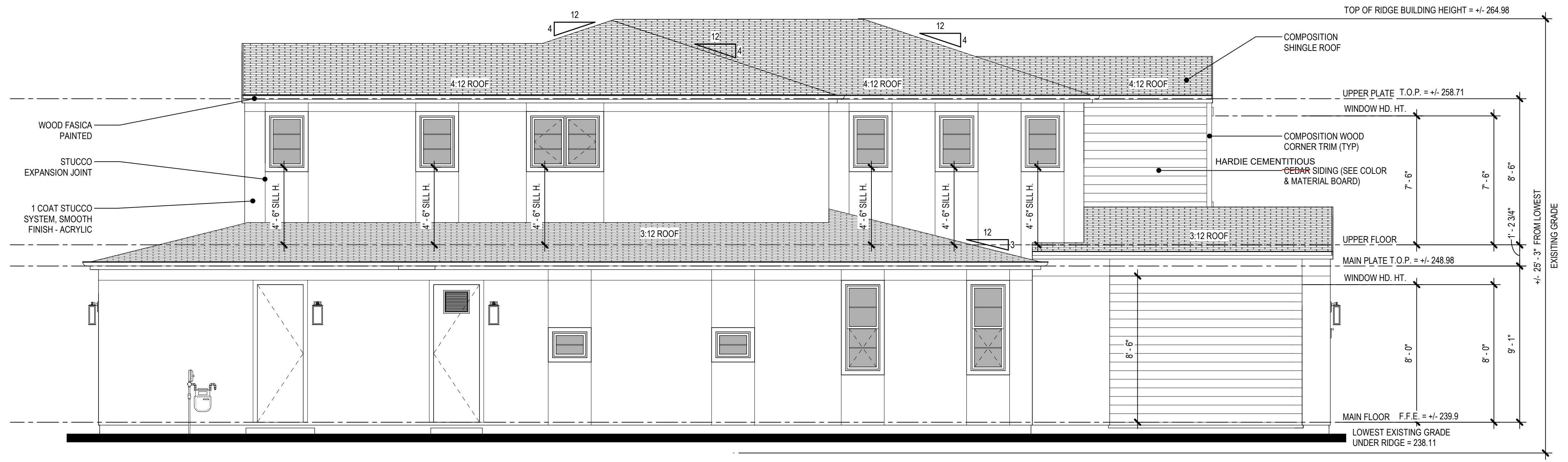


Redwood City, California



EXTERIOR ELEVATIONS A.10 749 UNIVERSITY AVE

Los Altos, California



Left Elevation

SCALE: 1/4" = 1'-0"



Right Elevation

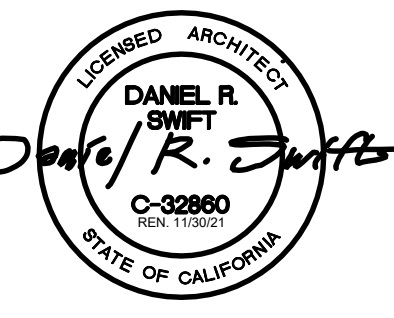
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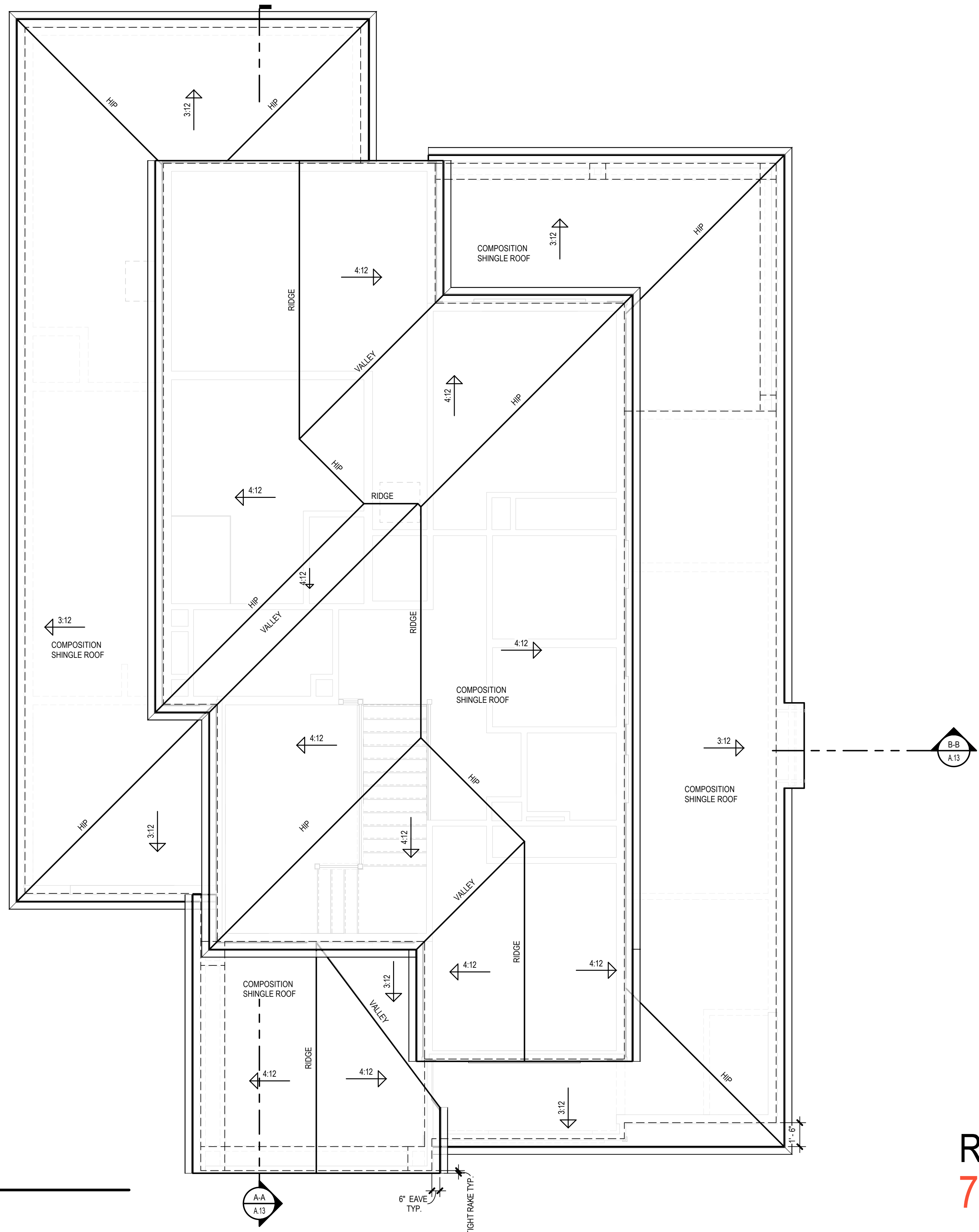


Redwood City, California

EXTERIOR ELEVATIONS A.11
749 UNIVERSITY AVE

Los Altos, California





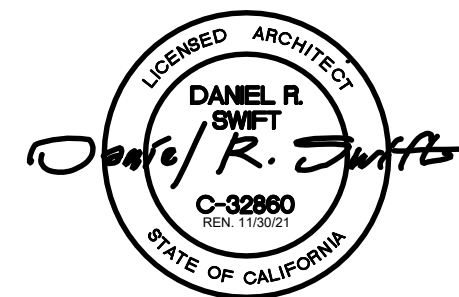
Roof Plan

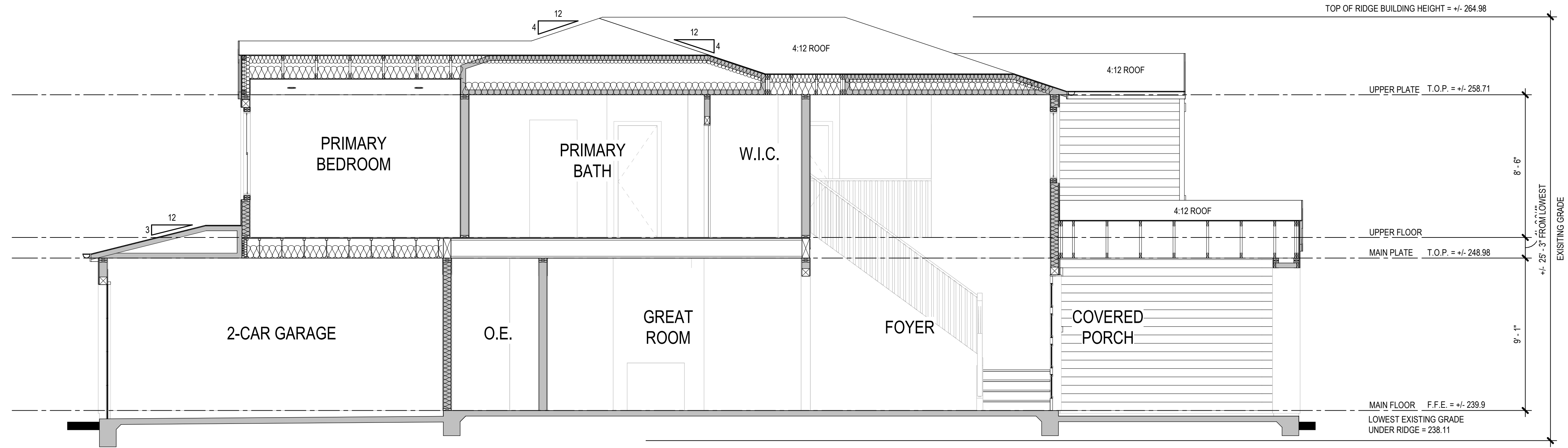
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Redwood City, California

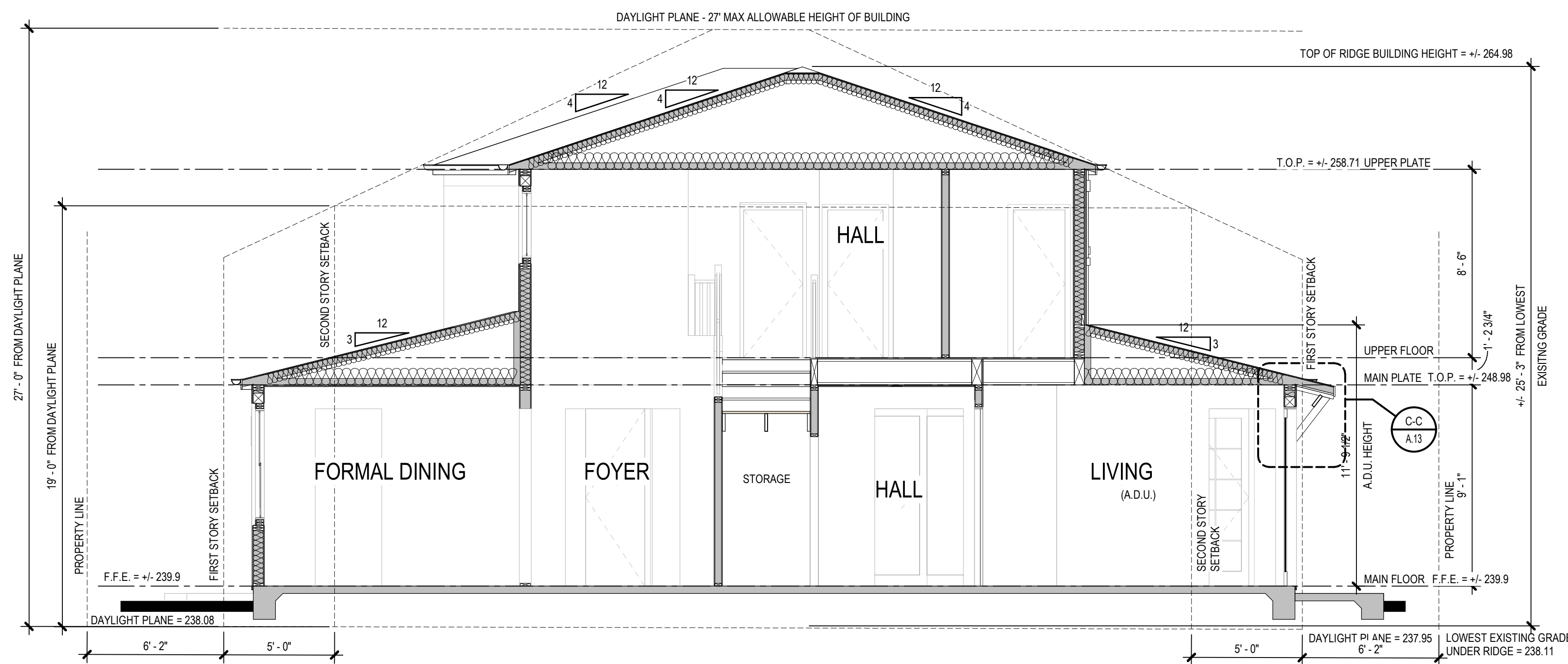
ROOF PLAN **A.12**
749 UNIVERSITY AVE
 Los Altos, California





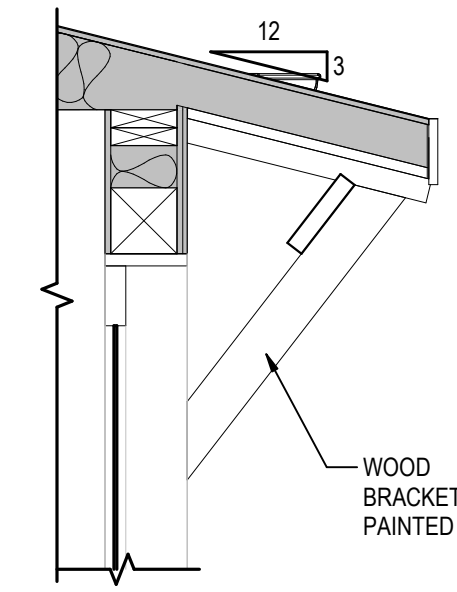
Section A-A

SCALE: 1/4" = 1'-0"



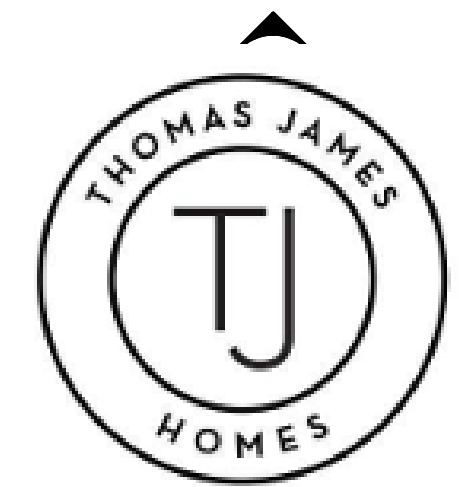
Section B-B

SCALE: 1/4" = 1'-0"



Section C-C

SCALE: 3/4" = 1'-0"



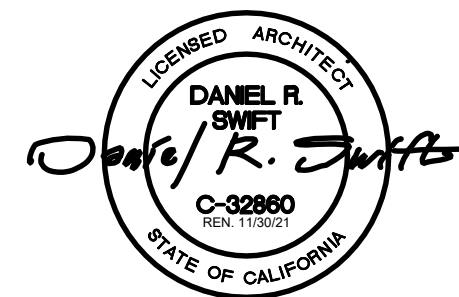
Redwood City, California

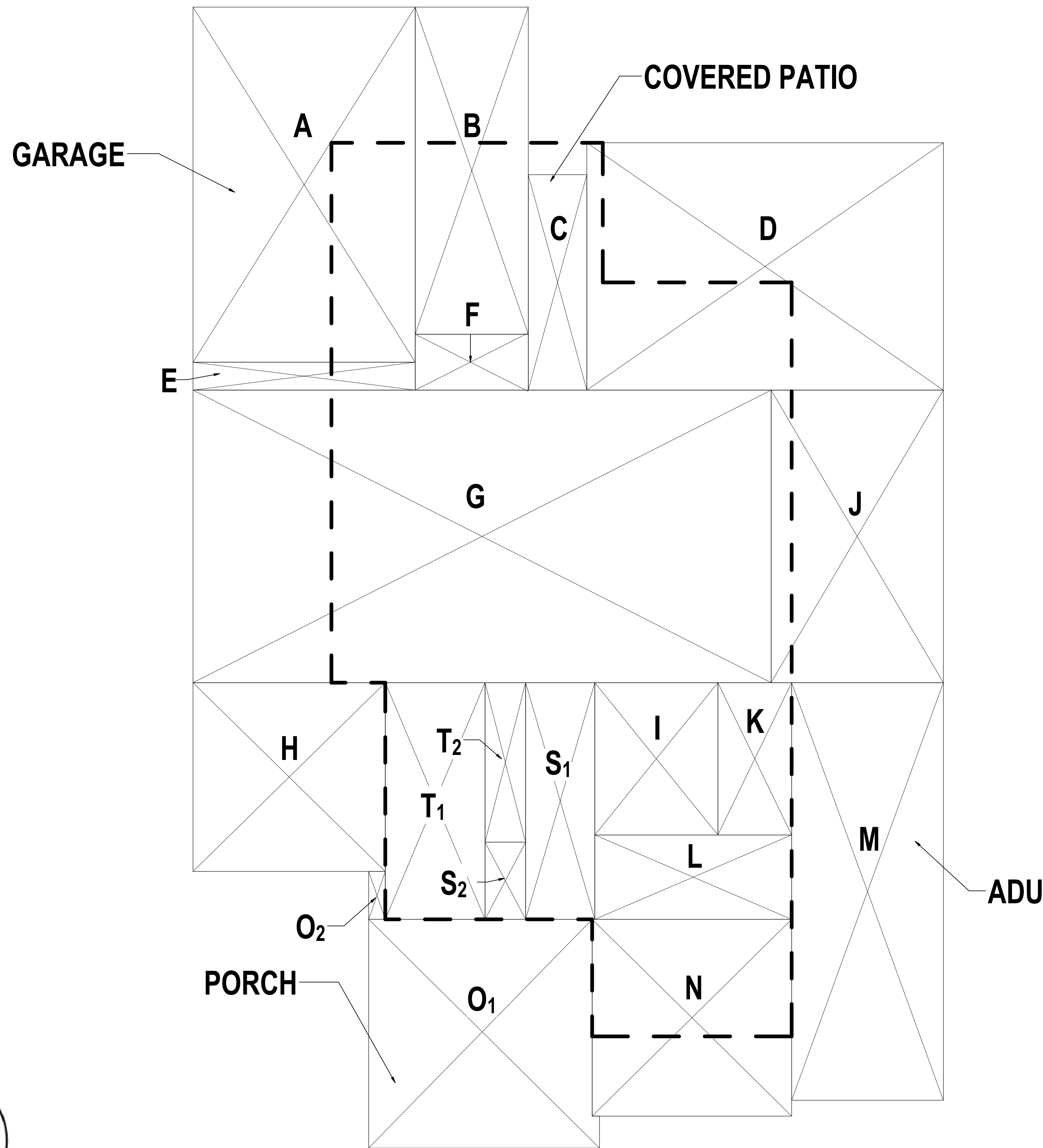
The drawings presented are illustrative of character and design intent only, and are subject to change based upon final design considerations (i.e. applicable codes, structural, and MEP design requirements, unit plan / floor plan changes, etc.) © 2022 BSB Design, Inc.

BUILDING SECTIONS A.13
749 UNIVERSITY AVE

Los Altos, California

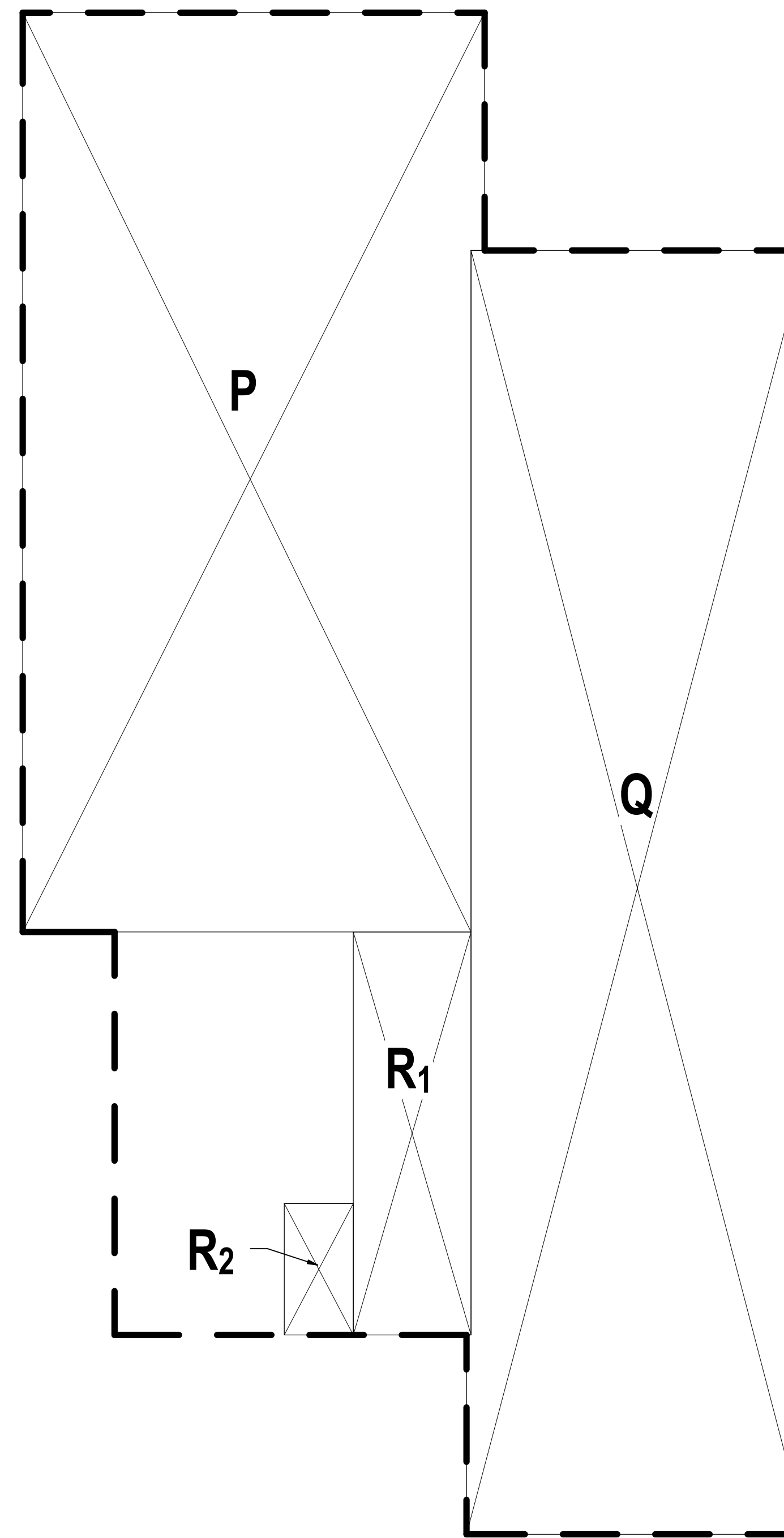
February 16, 2023 | SF220089.00





Main Floor Area Diagram

SCALE: 1/4" = 1'-0"



Upper Floor Area Diagram

SCALE: 1/4" = 1'-0"

FLOOR AREA CALCULATIONS	
COVERED PORCH, COVERED PATIO, AND ADU ARE EXEMPT FROM THIS CALCULATION	
	SQUARE FOOTAGE
MAIN FLOOR	1123 SF
UPPER FLOOR	1223 SF
2-CAR GARAGE	455 SF
TOTAL SQUARE FOOTAGE:	2801 SF
LOT AREA:	8052 SF
FLOOR AREA RATIO:	2801/8052 = 34.8%
MAX FLOOR AREA RATIO:	2818/8052 = 35.0%

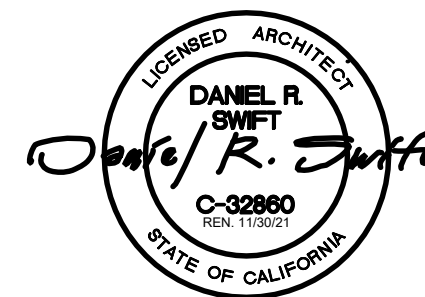
LOT COVERAGE CALCULATION	
ADU IS EXEMPT FROM THIS CALCULATION	
	SQUARE FOOTAGE
MAIN FLOOR	1123 SF
2-CAR GARAGE	455 SF
COVERED PORCH	205 SF
COVERED PATIO	395 SF
TOTAL SQUARE FOOTAGE:	2178 SF
LOT AREA:	8052 SF
LOT COVERAGE:	2178/8052 = 27.0%
MAX LOT COVERAGE:	2416/8052 = 30.0%

FLOOR AREA TABLE		
SECTION	DIMENSIONS	AREA
A	13' 11" X 22'-3"	310 SF
B	7' 1" X 20' 6"	145 SF
C	3' 8" X 13' 6"	49 SF
D	22' 4" X 15' 6"	346 SF
E	13' 11" X 1' 9"	24 SF
F	7' 1" X 3' 6"	25 SF
G	36' 2.5" X 18' 4"	664 SF
H	11' 10" X 12' 0.5"	142 SF
I	7' 8.5" X 9' 6.5"	74 SF
J	10' 9.5" X 18' 4"	198 SF
K	4' 7.5" X 9' 6.5"	44 SF
L	12' 4" X 5' 3.5"	65 SF
M	9' 6" X 26' 2"	249 SF
N	12' 6" X 12' 4"	154 SF
O ₁	14' 5.5" X 14' 4"	202 SF
O ₂	1' 0.5" X 3'	3 SF
P	16' 6" X 33' 10"	563 SF
Q	12' 4" X 47' 3"	584 SF
R ₁	4' 4" X 14' 10"	64 SF
R ₂	2' 6.5" X 4' 10"	12 SF
S ₁	4' 4" X 14' 10"	64 SF
S ₂	2' 6.5" X 4' 10"	12 SF
T ₁	6' 3" X 14' 10"	93 SF
T ₂	2' 6.5" X 10'	25 SF

GARAGE (SECTIONS A & B): 455 SF
 MAIN FLOOR (SECTIONS E-L, S₁&S₂, T₁&T₂): 1123 SF
 UPPER FLOOR (SECTIONS P & Q, R₁&R₂): 1223 SF
 ADU (SECTIONS J-N): 710 SF
 COVERED PATIO (SECTIONS C & D): 395 SF
 COVERED PORCH (SECTION O₁ &O₂): 205 SF



Redwood City, California



FLOOR AREA DIAGRAMS A.14
749 UNIVERSITY AVE

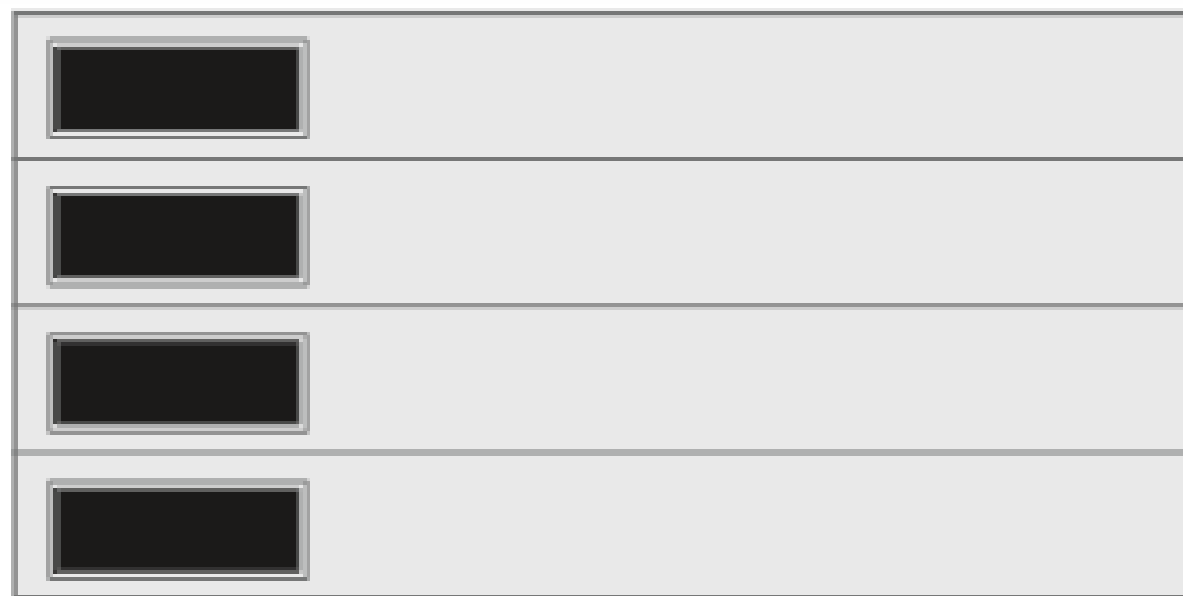
Los Altos, California

FIBERGLASS WINDOWS

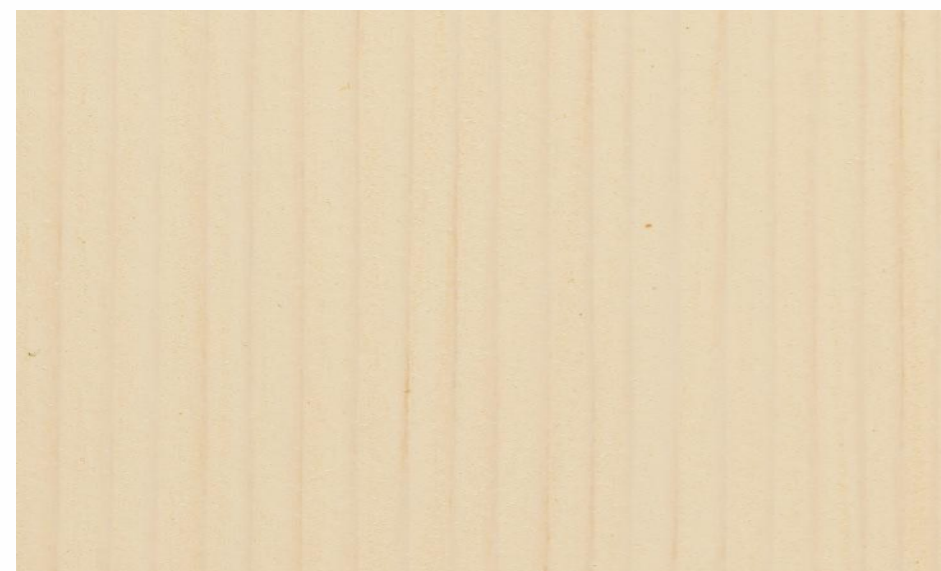
EXTERIOR: BLACK
 INTERIOR: BLACK



FRONT DOOR AND ADU DOOR
 MASONITE - VISTAGRANDE
 FIBERGLASS
 FULL LITE 3-1/2" SDL DOOR
 GLASS: FROSTED



GARAGE DOOR
 CLOPAY MODERN STEEL
 GL-SOL-SOL-SOL
 GLASS: FROSTED



FENCE STAIN
 SEMI-TRANSPARENT
 NAVAJO WHITE



EXTERIOR RENDERINGS
 (NOT TO SCALE)

749

HOUSE NUMBERS



EXTERIOR LIGHT FIXTURE
 9"W x 18.75"H

PURE WHITE
 SW 7005

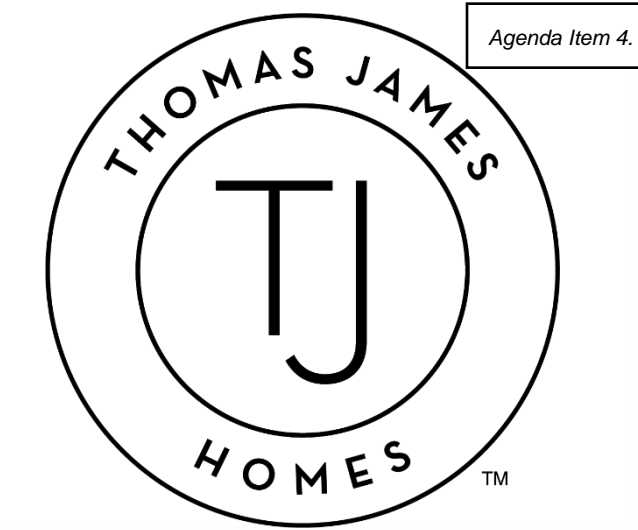
- FRONT DOOR
- ADU DOOR
- GARAGE DOOR
- GARAGE SIDE DOOR
- FACIA, EAVES, AND GUTTERS
- WINDOW AND DOOR TRIM

GRIZZLE GRAY

- SW 7068
- STUCCO
 - HORIZONTAL SIDING



GAF ROOF SHINGLES
 CHARCOAL



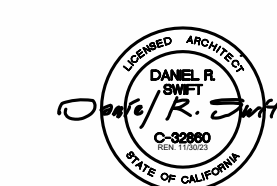
This is an example of design specifications for this particular plan and elevation. Detailed specifications, finishes and fixtures are subject to change, on homes prior to sale, at any time without notice or obligation. Dimensions and materials are approximate and may vary in color and depending on the material and manufacturer. All dimensions are in feet and inches. All materials are to be installed by a licensed contractor. Thomas James Homes is a registered trademark of Thomas James Homes, LLC. ©2018 Thomas James Homes, LLC. License #202057367

749 UNIVERSITY AVENUE
 LOS ALTOS, CALIFORNIA 94002

NOTES:
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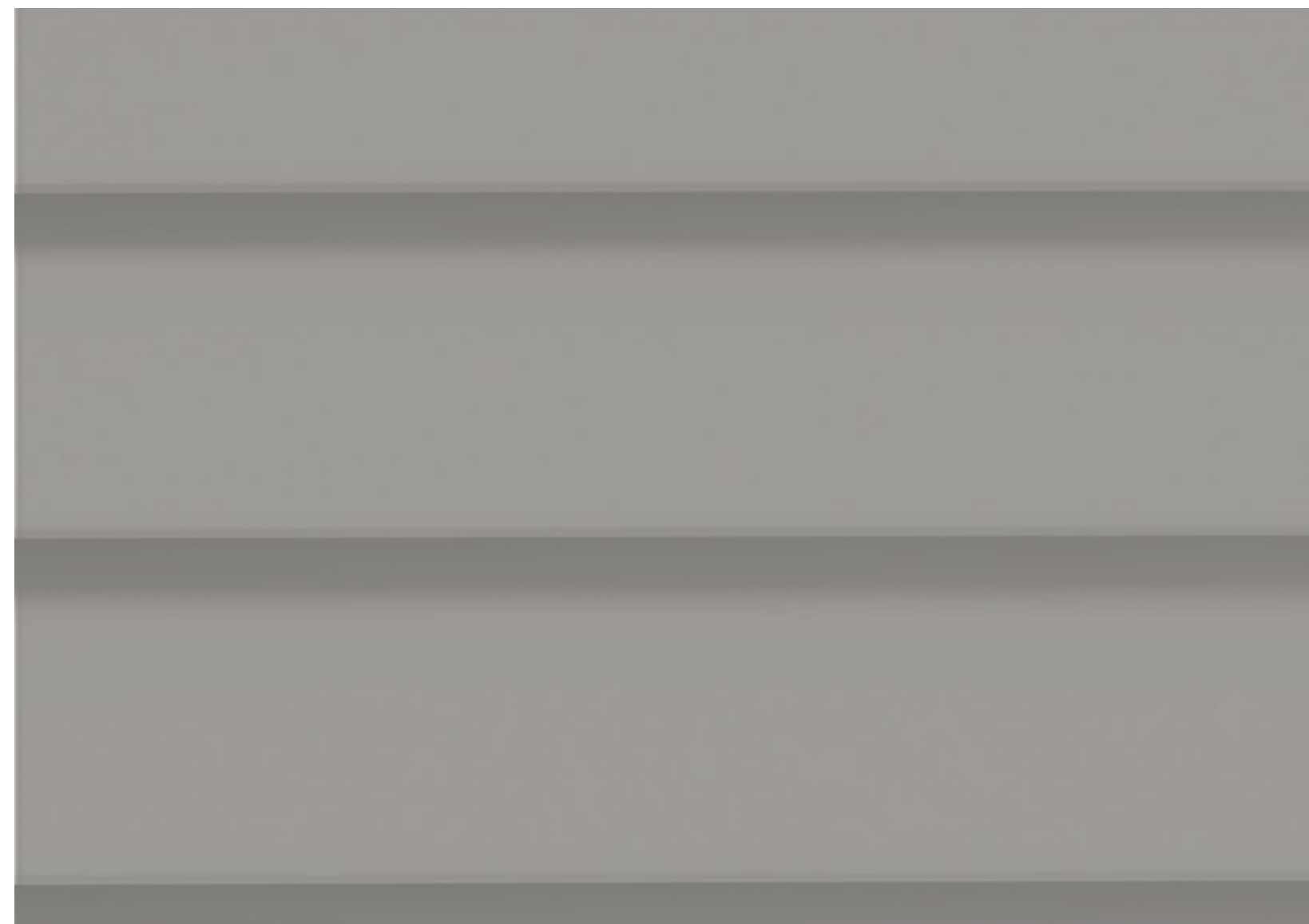
DATE: 01.05.23
 DESIGNER: KRISTIN LASKY
 ARCHITECT: BSB DESIGN

NOTE: RENDERINGS SHOWN ARE FOR ILLUSTRATION PURPOSES ONLY AND ARE NOT INTENDED TO BE AN ACTUAL DEPICTION OF THE HOME OR IT'S SURROUNDINGS

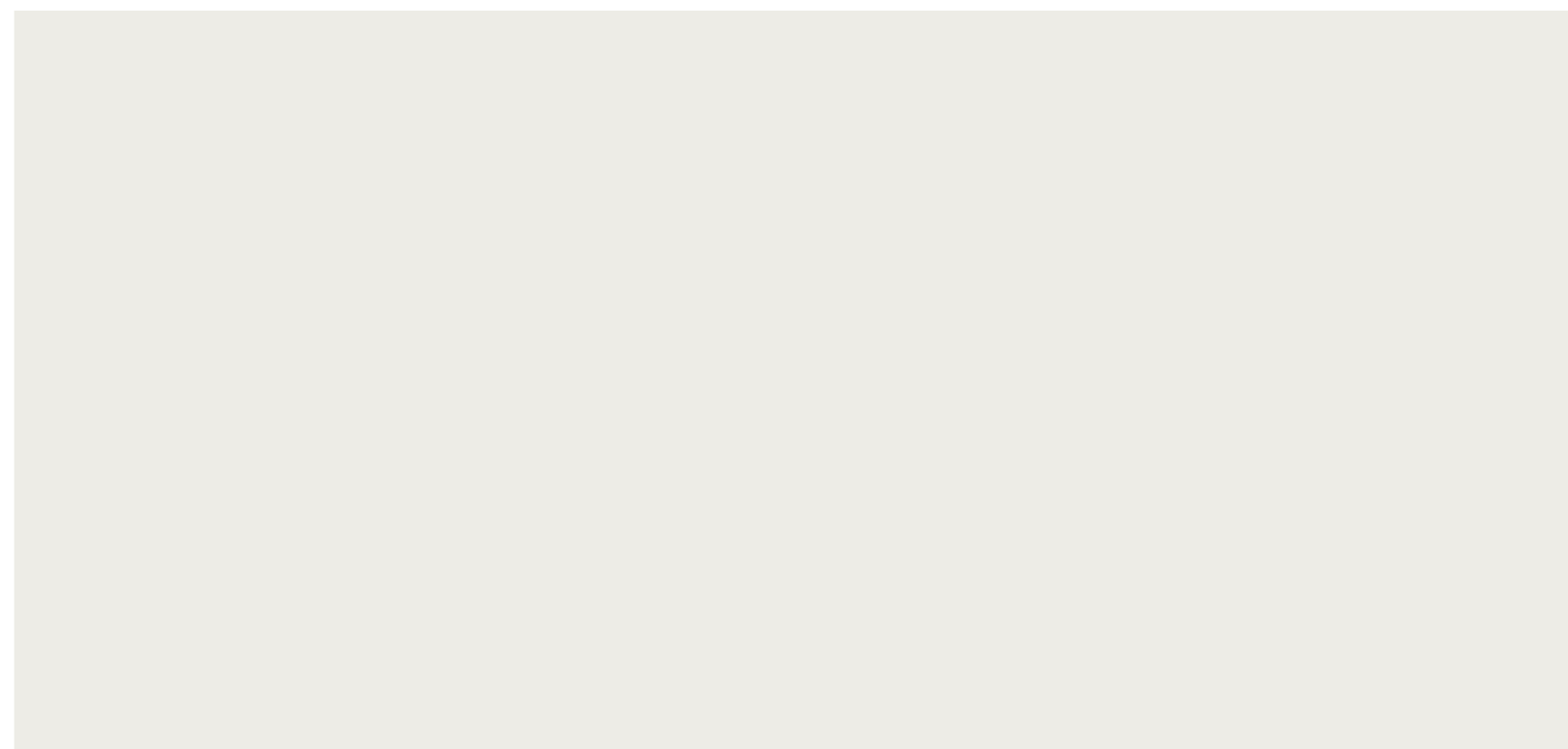


A.15

BSB 30 A
 TRANSITIONAL



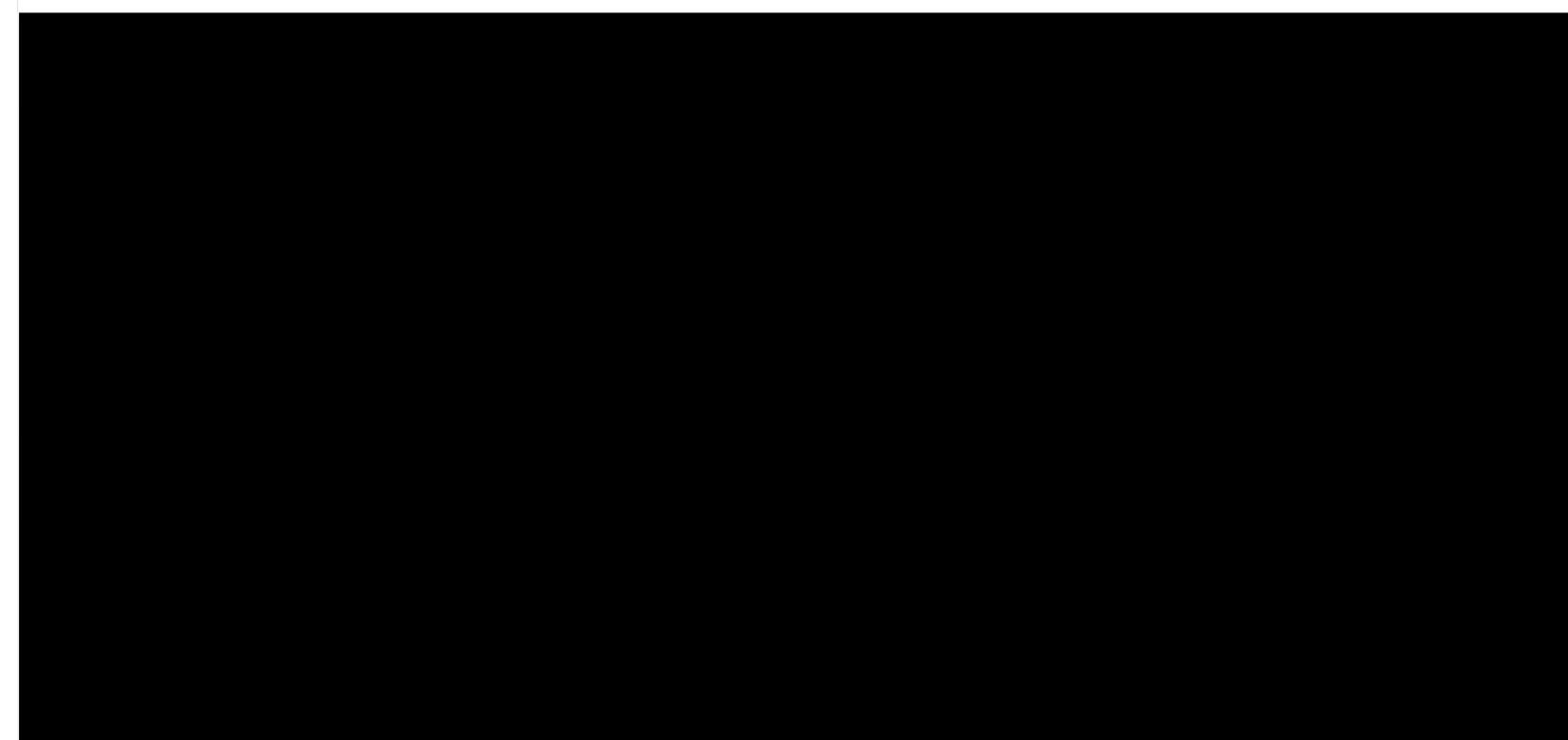
HORIZONTAL SIDING
GRIZZLE GRAY-SW 7068



FRONT DOOR, ADU DOOR, GARAGE
DOOR, GARAGE SIDE DOOR, FACIA,
EAVES, AND GUTTERS, WINDOW AND
DOOR TRIM
PURE WHITE-SW 7005



GAF ROOF SHINGLES
CHARCOAL



FIBERGLASS WINDOW FRAME



STUCCO
GRIZZLE GRAY-SW 7068



FENCE STAIN
SEMI-TRANSPARENT, NAVAJO WHITE

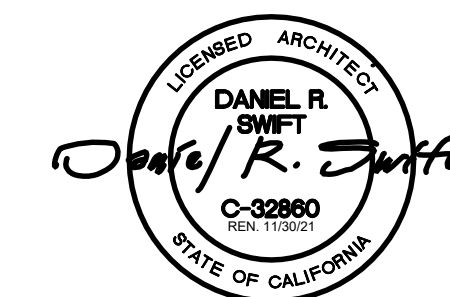


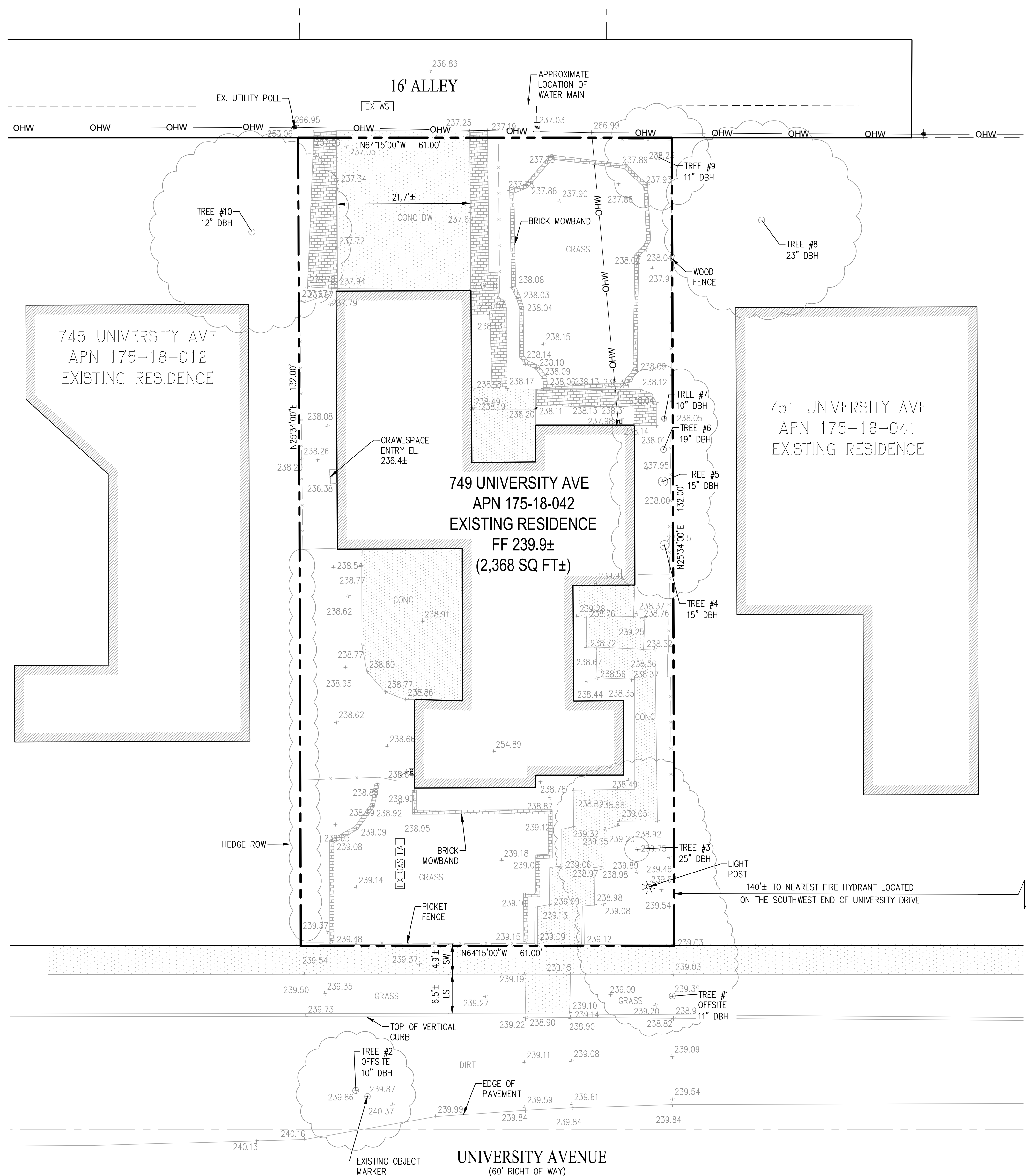
COLOR/MATERIAL SPECIFICATIONS

SCALE: 1/2" = 1'-0"

Redwood City, California

A.16
749 UNIVERSITY AVE
Los Altos, California





TITLE REPORT

FIDELITY NATIONAL TITLE COMPANY
TITLE NO.: FSBC-0302200091-DG
DATED: JANUARY 21, 2022

LEGAL DESCRIPTION:

THE LAND REFERRED TO HEREIN BELOW IS SITUATED IN THE CITY OF LOS ALTOS, COUNTY OF SANTA CLARA, STATE OF CALIFORNIA AND IS DESCRIBED AS FOLLOWS:

PARCEL B, AS DELINEATED UPON THAT CERTAIN PARCEL MAP, WHICH WAS FILED FOR RECORD IN THE OFFICE OF THE RECORDER OF THE COUNTY OF SANTA CLARA, STATE OF CALIFORNIA, ON APRIL 21, 1982 IN BOOK 499 OF MAPS PAGE 15.

EXCEPTING THEREFROM A 1/8TH INTEREST IN OIL RIGHTS AS RESERVED BY EVELYN JACOBS IN THE DEED RECORDED MAY 5, 1947 IN BOOK 1430, PAGE 447 OF OFFICIAL RECORDS.

EXCEPTIONS AND EXCLUSIONS:

- # INDICATES TITLE REPORT ITEM NUMBER
- ITEMS ① THROUGH ⑪ RELATE TO TAXES, LIENS, COVENANTS AND CONDITIONS AND DEED OF TRUST AND CANNOT BE PLOTTED.

BENCHMARK:

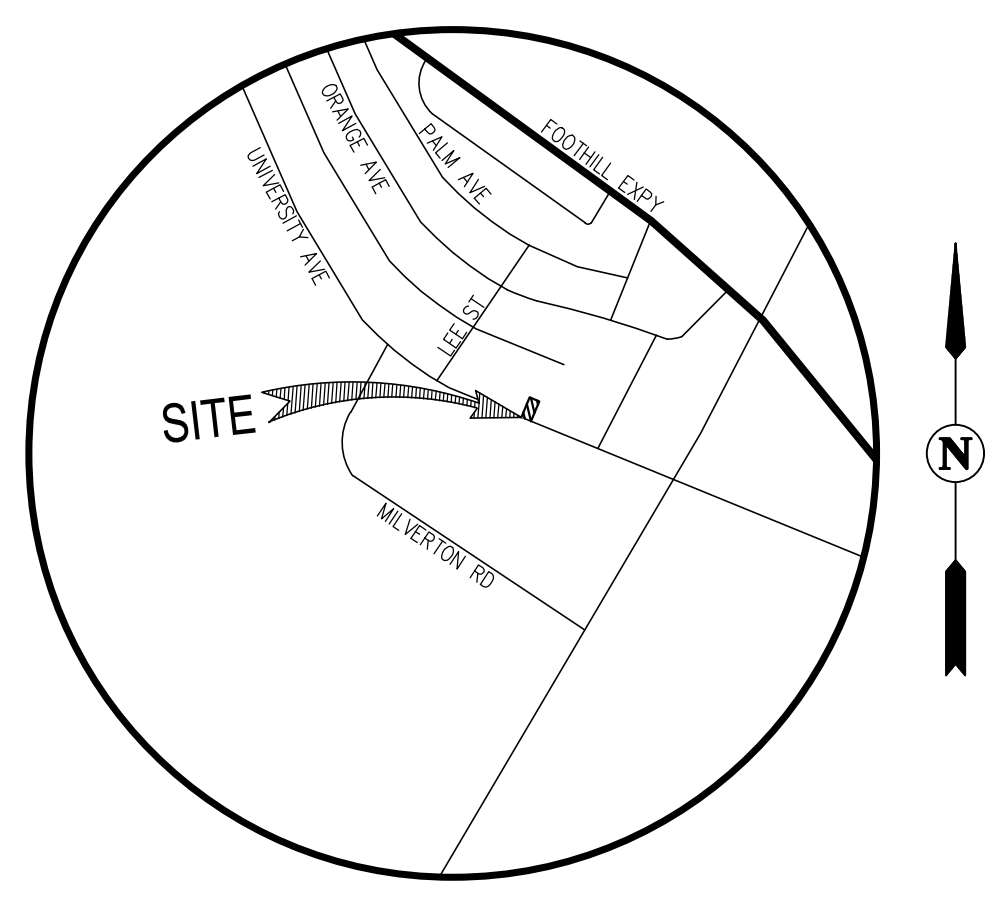
BENCHMARK ID: BM 25 (CITY OF LOS ALTOS)
DESCRIPTION: TOP OF CURB AT NORTHWEST RETURN UNIVERSITY AVE & LEE ST AT NORTH SIDE OF HC RAMP.
ELEVATION: 240.366' (NAVD 88)

ASSESSOR'S PARCEL NUMBER:

175-18-042

AREA:

8,052 SQ. FT. MORE OR LESS.



VICINITY MAP
NOT TO SCALE

NOTES:

- RECORD INFORMATION AND PROPERTY DESCRIPTION ARE PER TITLE REPORT LISTED HEREON. THIS IS NOT A BOUNDARY SURVEY.
- UTILITIES SHOWN ARE BASED ON OBSERVED EVIDENCE AT THE TIME OF THE FIELD SURVEY. ADDITIONAL RESEARCH AND INVESTIGATION WOULD BE REQUIRED TO DETERMINE THE EXACT LOCATIONS OF UNDERGROUND UTILITIES. DO NOT RELY ON THIS SURVEY FOR SUCH LOCATIONS. SOME UTILITIES COULD BE COVERED BY STRUCTURES OR OBJECTS SUCH AS AUTOMOBILES, TRUCKS, CONTAINERS, ETC.
- ALL DISTANCES SHOWN ARE FEET AND DECIMALS THEREOF.
- NO SANITARY SEWER FACILITIES WERE LOCATED DURING THE FIELD SURVEY.
- STRUCTURES, TREES AND IMPROVEMENTS ON ADJACENT PROPERTIES HAVE NOT BEEN SURVEYED. LOCATIONS DEPICTED HEREIN ARE APPROXIMATE.
- TREE NUMBERS AND DIAMETER AT BREST HEIGHT (DBH) MEASUREMENTS NOTED ON TOPO SURVEY ARE PER ARBORIST REPORT TITLED "ARBORIST REPORT AND TREE INVENTORY" PREPARED BY CALTC AND DATED FEBRUARY 28, 2022.

FLOOD ZONE:

ZONE X (SHADED): AREAS OF 0.2% ANNUAL CHANCE FLOOD; AREAS OF 1% ANNUAL CHANCE FLOOD WITH AVERAGE DEPTHS OF LESS THAN 1 FOOT OR WITH DRAINAGE AREAS LESS THAN 1 SQUARE MILE; AND AREAS PROTECTED BY LEVEES FROM 1% ANNUAL CHANCE FLOOD.

SOURCE: FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA), FLOOD INSURANCE RATE MAP, MAP NUMBER 06085C0201H
DATED: MAY 18, 2009

LEGEND & ABBREVIATIONS

---	PROPERTY BOUNDARY LINE
---	EXISTING RIGHT OF WAY
---	EXISTING EASEMENT LINE
---	CENTERLINE
---	EXISTING UTILITY AS NOTED
---	TIE LINE
---	ADJACENT PROPERTY BOUNDARY LINE
---	EXISTING STRUCTURE
---	OVERHEAD WIRES
---	FENCE LINE
○	UTILITY MANHOLE
□	EXISTING WATER METER
□	EXISTING ELECTRIC METER
□	EXISTING WATER FAUCET
□	EXISTING GAS METER
□	EXISTING FIRE HYDRANT
x	GROUND ELEVATION

AC	ASPHALT CONCRETE
CONC	CONCRETE
DBH	DIAMETER AT BREST HEIGHT
DW	DRIVEWAY
EL	ELEVATION
EX	EXISTING
FF	FINISHED FLOOR
INV	INVERT
LAT	LATERAL
NP	NON-PROTECTED
OHW	OVERHEAD WIRES
PUE	PUBLIC UTILITY EASEMENT
ROW	RIGHT OF WAY
SS	SANITARY SEWER
SSMH	SANITARY SEWER MANHOLE
W	WATER
WM	WATER METER
WS	WATER SERVICE

749 UNIVERSITY AVENUE TOPOGRAPHIC SURVEY

CITY OF LOS ALTOS SANTA CLARA COUNTY CALIFORNIA
SCALE: 1" = 10' DATE: MARCH 3, 2022

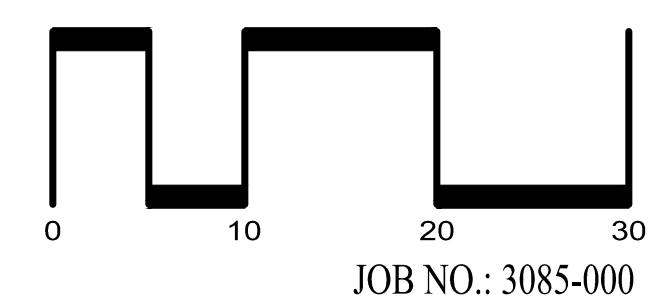
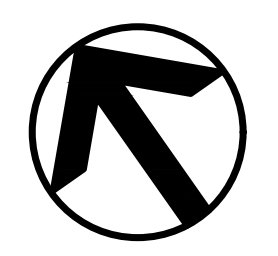
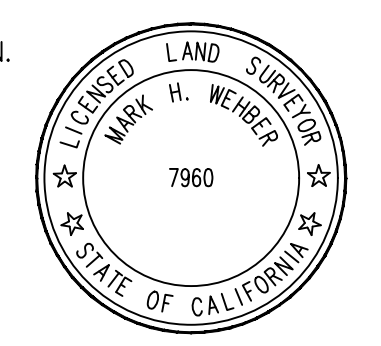
SURVEYOR'S STATEMENT:

THIS TOPOGRAPHIC SURVEY REPRESENTS A SURVEY BY ME OR UNDER MY DIRECTION.

Mark H. Wehber

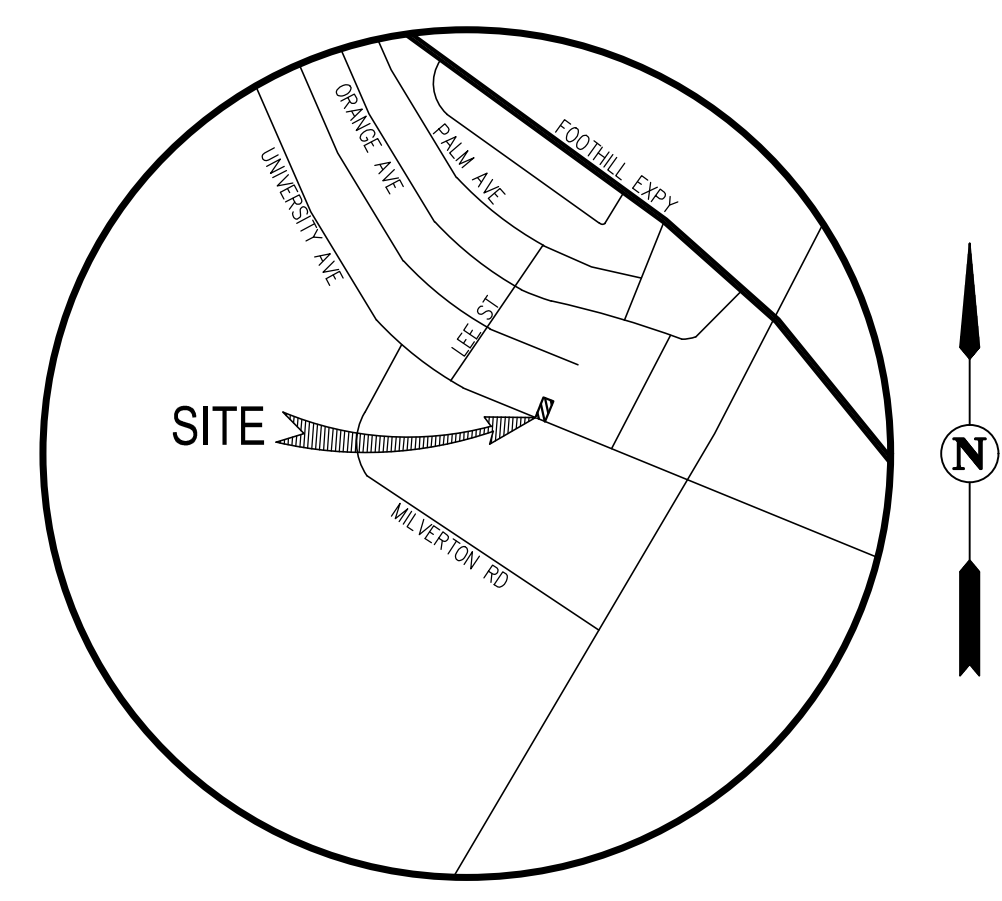
3/3/22

MARK H. WEHBER
REGISTERED L.S. NO. 7960



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SACRAMENTO • (916) 375-1877
WWW.CBANDG.COM
CIVIL ENGINEERS • SURVEYORS • PLANNERS

SHEET NO.
1
OF 1 SHEETS



VICINITY MAP
NOT TO SCALE

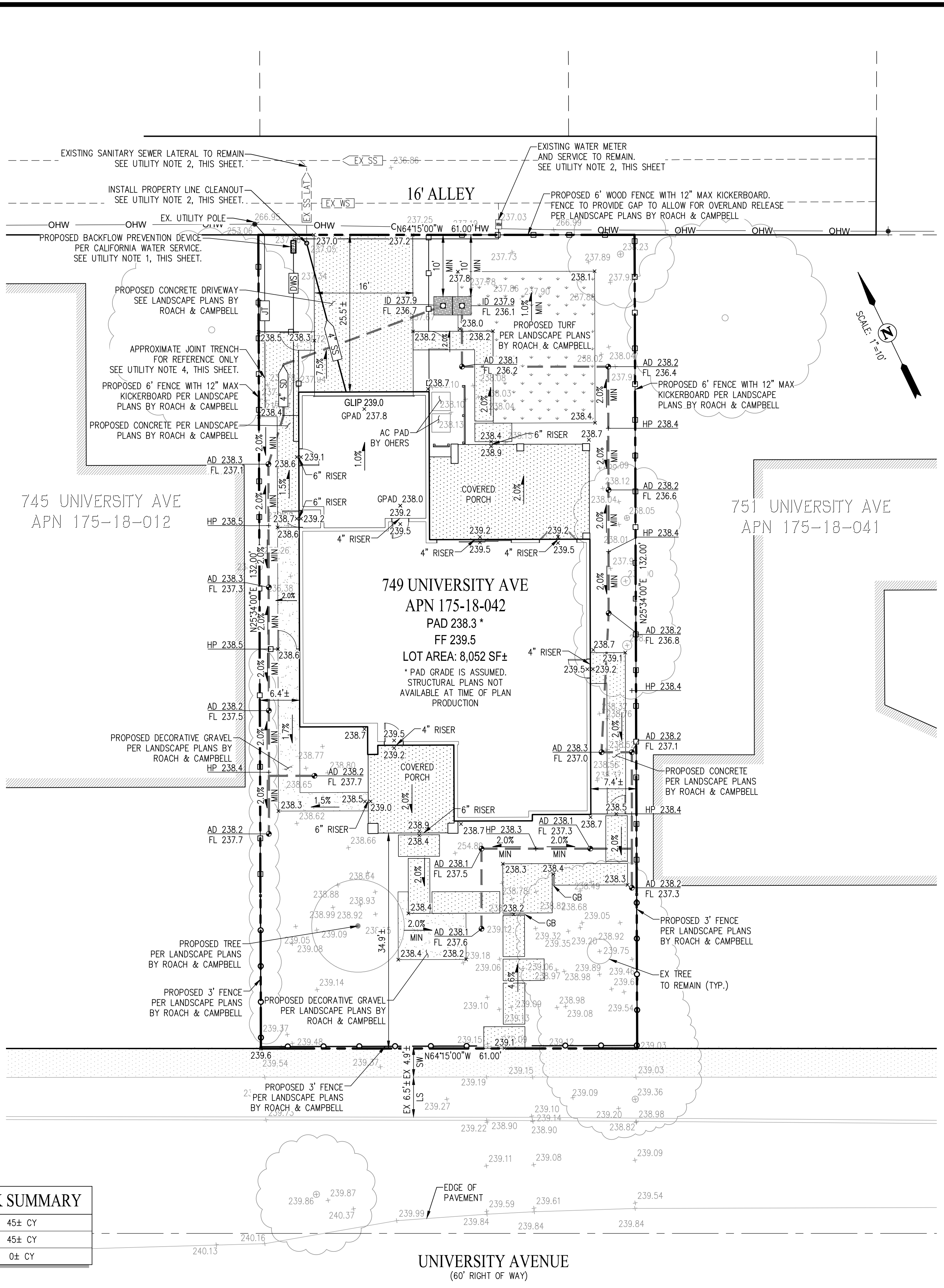
GENERAL NOTES

- SITE ADDRESS: 749 UNIVERSITY AVE, LOS ALTOS, CA 94022
- OWNER: THOMAS JAMES HOMES, 255 SHORELINE DRIVE, SUITE 428, REDWOOD CITY, CA 94065, (650) 434-7966, KEN KING
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC., 2633 CAMINO RAMON, SUITE 350, SAN RAMON, CA 94583, (925) 866-0322, JUSTIN R. DEKNOBLOUGH, R.C.E. 79604
- SOILS ENGINEER: ROMIG ENGINEERS, 1390 EL CAMINO REAL, 2ND FLOOR, SAN CARLOS, CA 94070, (650) 591-5224, JONATHAN J. FONE, R.C.E. 80875
- ARCHITECT: B&B DESIGN, INC., 11211 GOLD COUNTRY BLVD, SUITE 101, GOLD RIVER, CA 95760, (916) 941-0990, JOE PITZNER
- LANDSCAPE ARCHITECT: ROACH & CAMPBELL, 111 SCRIPPS DRIVE, SACRAMENTO, CA 95825, (916) 945-8003, AIMIE HENDRIE
- CONTRACTOR SHALL COMPLY WITH ALL STATE, COUNTY AND CITY LAWS AND ORDINANCES, AND REGULATIONS OF THE DEPARTMENT OF INDUSTRIAL RELATIONS, OSHA, AND INDUSTRIAL ACCIDENT COMMISSION RELATING TO THE SAFETY AND CHARACTER OF WORK, EQUIPMENT, AND LABOR PERSONNEL.
- THE CONTRACTOR SHALL CONTACT CARLSON, BARBEE AND GIBSON, INC. AT (925) 866-0322 IF DISCREPANCIES EXIST ON THESE PLANS OR IF THE WORK TO BE DONE, OR ANY MATTER RELATED THERETO, IS NOT SUFFICIENTLY DETAILED OR EXPLAINED ON THESE PLANS.
- THE GEOTECHNICAL REPORT, NAMED GEOTECHNICAL INVESTIGATION (ROMIG PROJECT NO. 5366-45) NOVEMBER 8, 2021 SHALL BE RETAINED ON THE CONSTRUCTION SITE.
- EARTHWORK, SLAB AND FOUNDATION CONSTRUCTION, SLAB SUBGRADE AND NON-EXPANSIVE FILL PREPARATION, EXCAVATION AND BACKFILLING OF FORMER PIT AREA, UTILITY TRENCH BACKFILL, PAVEMENT CONSTRUCTION, AND SITE DRAINAGE SHOULD BE PERFORMED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY ROMIG ENGINEERS, INC., DATED NOVEMBER 8, 2021. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 48 HOURS IN ADVANCE OF ANY EARTHWORK AND SHOULD OBSERVE AND TEST DURING EARTHWORK AND FOUNDATION CONSTRUCTION AS RECOMMENDED IN THE GEOTECHNICAL REPORT. ROMIG ENGINEERS SHOULD BE NOTIFIED AT LEAST 5 DAYS PRIOR TO EARTHWORK, TRENCH BACKFILL AND SUBGRADE PREPARATION WORK TO ALLOW TIME FOR SAMPLING OF ON-SITE SOIL AND LABORATORY COMPACTION CURVE TESTING TO BE PERFORMED PRIOR TO ON-SITE COMPACTION DENSITY TESTING.
- ON-SITE SLOPES, AWAY FROM THE STRUCTURE, OF AT LEAST 2 PERCENT ARE RECOMMENDED FOR FLATWORK AND PAVEMENT AREAS WITH 5 PERCENT PREFERRED IN LANDSCAPE AREAS WITHIN 8 FEET OF THE STRUCTURES, WHERE POSSIBLE, AS DESCRIBED IN THE PROJECT GEOTECHNICAL INVESTIGATION REPORT.
- CONTRACTOR SHALL FOLLOW ALL PROJECT ARBORIST RECOMMENDATIONS FOR GRADING WITHIN TREE PROTECTION AREAS.

SHEET INDEX

SHEET NO.	SHEET TITLE
GP-1	NOTES, LEGEND, ABBREVIATIONS, & SITE PLAN
GP-2	DETAILS
ECP-1	EROSION CONTROL PLAN
ECP-2	EROSION CONTROL NOTES & DETAILS
ECP-3	CLEAN BAY BLUEPRINT

ROUGH EARTHWORK SUMMARY	
CUT	45± CY
FILL	45± CY
NET	0± CY



LEGEND

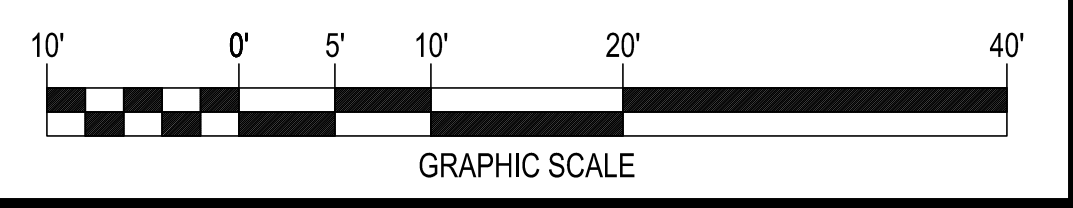
EXISTING	PROPOSED	DESCRIPTION
---	---	PROPERTY LINE (PROJECT)
---	---	PROPERTY LINE (ADJOINER)
---	---	RIGHT OF WAY LINE
---	---	CENTER LINE
---	---	SAWCUT LINE
---	---	STRUCTURE
---	---	4" AREA DRAIN PIPE
---	---	SANITARY SEWER PIPE OR LATERAL
---	---	WATER PIPE
---	---	FENCE
---	---	FENCE
---	---	SPOT ELEVATION
---	---	DOWNSPOUT (PER ARCHITECTURE)
---	---	AREA DRAIN
---	---	PROPOSED INFILTRATION DEVICE
---	---	SANITARY SEWER CLEANOUT
---	---	SANITARY SEWER MANHOLE
---	---	WATER METER
---	---	ELECTRIC METER (PER ARCHITECTURE)
---	---	GAS METER (PER ARCHITECTURE)
---	---	TREE (SEE LANDSCAPE PLANS)
---	---	STRUCTURAL CONCRETE
---	---	CONCRETE PAVEMENT
---	---	DECORATIVE GRAVEL
---	---	TURF

ABBREVIATIONS

AC	AIR CONDITIONER	LS	LANDSCAPE
AD	AREA DRAIN	MAX	MAXIMUM
APN	ASSESSORS PARCEL NUMBER	MIN	MINIMUM
DW	DRIVEWAY	OHW	OVERHEAD WIRES
DWS	DOMESTIC WATER SERVICE	S	SLOPE
EX	EXISTING	SD	SUBDRAIN
FF	FINISHED FLOOR	SDFI	STORM DRAIN FIELD INLET
FL	FLOW LINE	SDMH	STORM DRAIN MANHOLE
GLIP	GARAGE LIP	SS	SANITARY SEWER
GB	GRADE BREAK	SSCO	SANITARY SEWER CLEANOUT
GPAD	GARAGE PAD	SSMH	SANITARY SEWER MANHOLE
HP	HIGH POINT	SW	SIDEWALK
ID	INFILTRATION DEVICE	TC	TOP OF CURB
INV	INVERT	TYP.	TYPICAL
JT	JOINT TRENCH	W	WATER
L	LENGTH	WM	WATER METER
LAT	LATERAL	WS	WATER SERVICE

UTILITY NOTES

- EXISTING WATER SERVICE LATERAL AND METER TO REMAIN. IF EXISTING METER IS LESS THAN 1" METER, EXISTING METER IS TO BE REMOVED AND REPLACED WITH A 1" WATER METER PER CALIFORNIA WATER SERVICE STANDARD DRAWING CW-555R13. WATER PROVIDER TO DETERMINE IF EXISTING SERVICE LATERAL IS SUITABLE FOR PROJECT FLOWS. IF EXISTING SANITARY SEWER LATERAL IS INSPECTED AND DEEMED UNSEASABLE, A NEW WATER SERVICE SHALL BE INSTALLED PER CALIFORNIA WATER SERVICE STANDARD DRAWING CW-555R13. IF WATER METER IS WITHIN DRIVEWAY OR AC PARKING STRIP, THE METER BOX AND LID MUST BE UPGRADED TO A TRAFFIC RATED BOX AND LID. INSTALL A BACKFLOW PREVENTION DEVICE PER CALIFORNIA WATER SERVICE STANDARD DRAWING CW-762R1. BACKFLOW PREVENTION DEVICE SHALL BE INSTALLED ON PRIVATE PROPERTY AND IS SHOWN FOR REFERENCE ONLY. LAYOUT OF WATER SERVICE FROM BACK OF WATER METER TO THE HOUSE IS SHOWN FOR REFERENCE ONLY. SAID LINE SHALL BE CONSTRUCTED PER APPROVED PLUMBING PLANS.
- EXISTING SANITARY SEWER LATERAL TO REMAIN AND CLEANOUT TO BE REPLACED. IF EXISTING LATERAL IS INSPECTED AND DEEMED UNSUITABLE FOR REUSE, A NEW 4" SEWER LATERAL SHALL BE INSTALLED PER CITY OF LOS ALTOS STANDARD DETAIL SS-5. INSTALL A NEW PROPERTY LINE CLEANOUT PER CITY OF LOS ALTOS STANDARD DETAIL SS-6. IF SANITARY SEWER CLEANOUT IS WITHIN DRIVEWAY OR AC PARKING STRIP, THE CLEANOUT BOX AND LID MUST BE UPGRADED TO A TRAFFIC RATED BOX AND LID AND LOCATED WITHIN 5' OF THE PROPERTY LINE. THE LOCATION OF THE EXISTING SEWER LATERAL SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO ANY SEWER WORK. LAYOUT OF THE BUILDING SEWER LATERAL, FROM THE PROPERTY LINE CLEANOUT TO THE HOUSE, IS SHOWN FOR REFERENCE ONLY. LAYOUT AND CONSTRUCTION OF BUILDING SEWER SHALL FOLLOW APPROVED PLUMBING PLANS.
- EXISTING GAS SERVICE LATERAL WILL BE ABANDONED. THE LOCATION OF THE EXISTING GAS MAIN IS UNKNOWN AND SHALL BE VERIFIED PRIOR TO ANY WORK AFFECTING SAID LINE. THIS PLAN DOES NOT COVER ABANDONMENT OF THE EXISTING GAS LATERAL.
- THE JOINT TRENCH LOCATION SHOWN HEREIN IS FOR REFERENCE ONLY. THE FINAL DESIGN AND ALIGNMENT OF THE JOINT TRENCH SHALL FOLLOW THE APPROVED JOINT TRENCH DESIGN PREPARED BY THE PROJECT'S DRY UTILITY CONSULTANT OR UTILITY PROVIDER. THIS PLAN DOES NOT COVER THE DESIGN OR INSTALLATION OF DRY UTILITIES.
- THE LOCATIONS OF THE UTILITIES SHOWN ON THIS PLAN ARE APPROXIMATE AND FOR REFERENCE ONLY. THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF EXISTING UTILITIES PRIOR TO ANY WORK AFFECTING EXISTING UTILITY LINES TO DETERMINE IF CONFLICTS EXIST.



**PRELIMINARY PLANS
NOT FOR CONSTRUCTION**

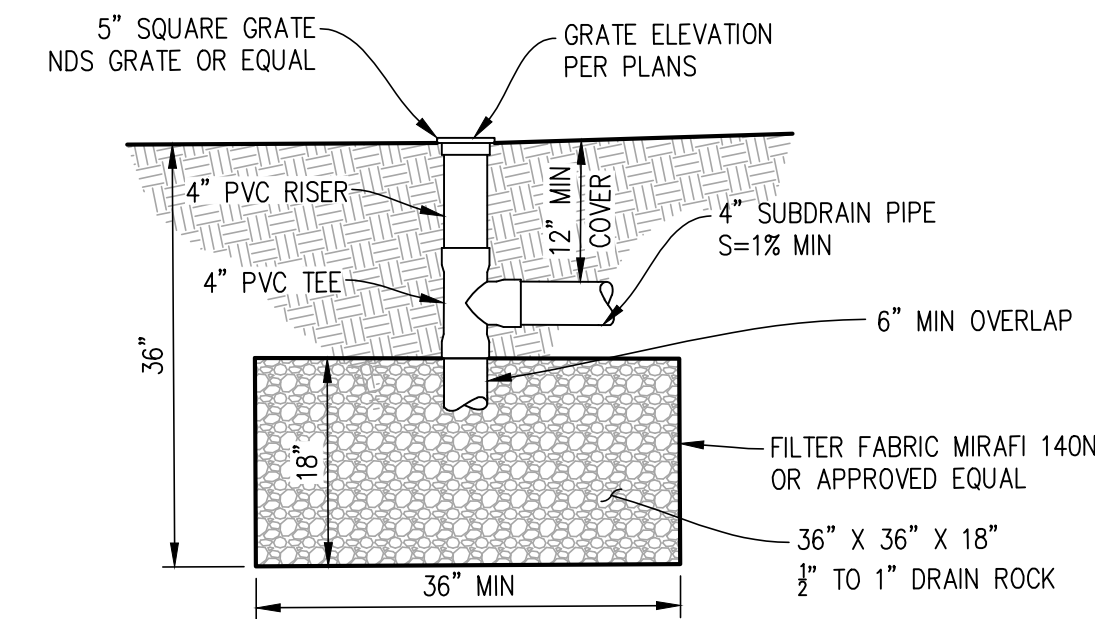
DATE: JAN 2023
DRAWN BY: SLC
PROJECT: REN
PROJ. MGR: JRD

REGISTERED PROFESSIONAL ENGINEER
JUSTIN R. DEKNOBLOUGH
79604
CIVIL
STATE OF CALIFORNIA

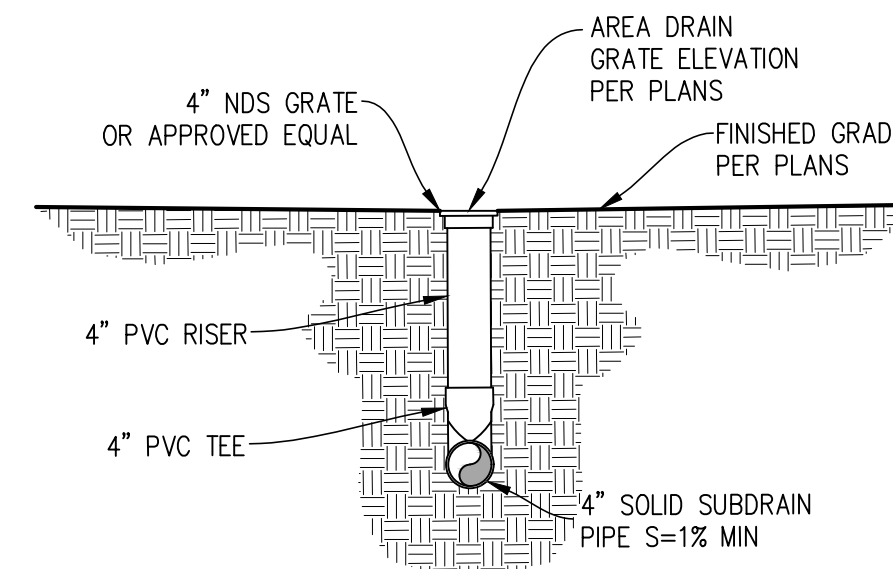
cbg
CIVIL ENGINEERS

749 UNIVERSITY AVE
THOMAS JAMES HOMES
GRADING & DRAINAGE PLAN
NOTES, LEGEND, ABBREVIATIONS & SITE PLAN
CITY OF LOS ALTOS
CALIFORNIA

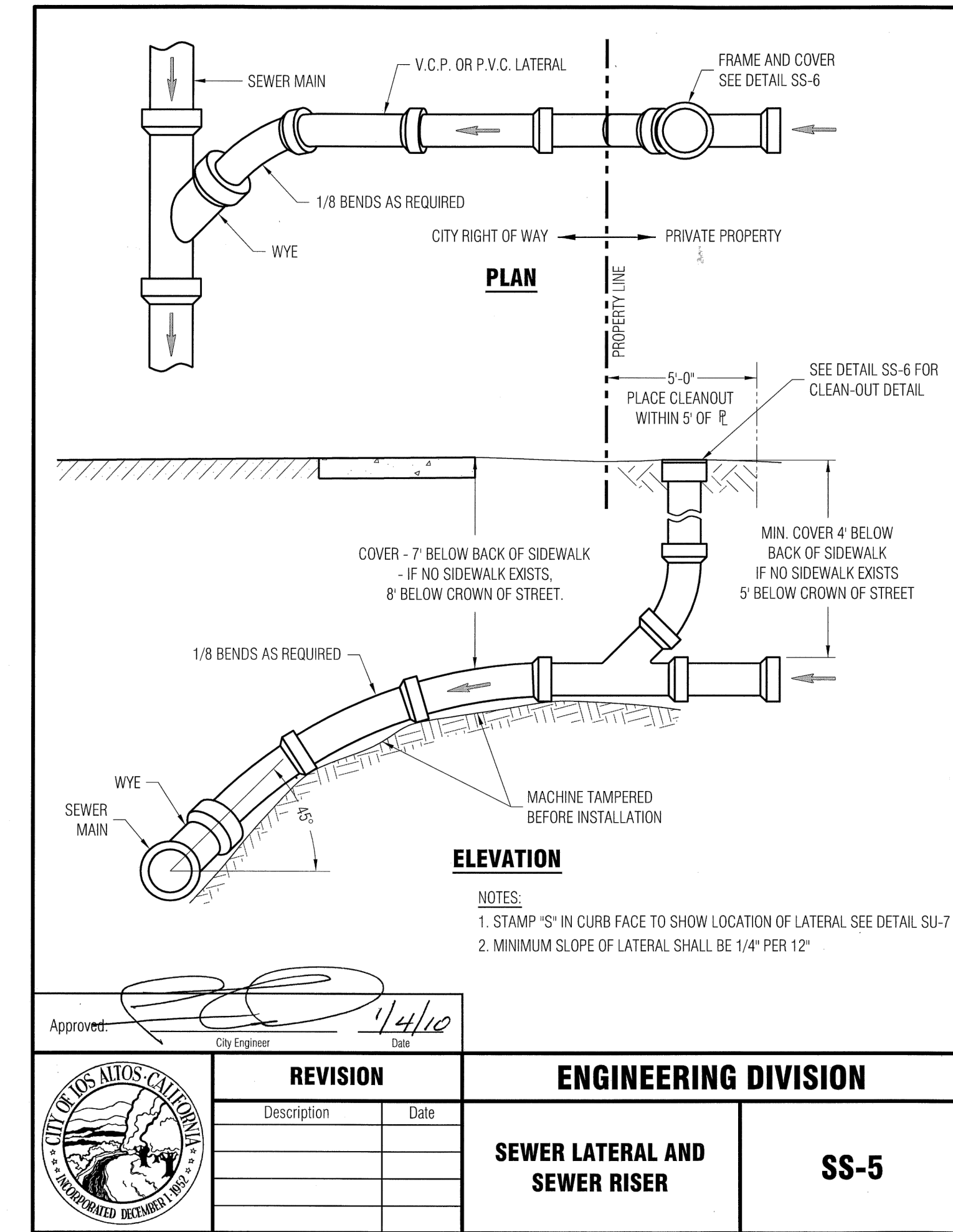
SHEET NUMBER
GP-1
OF 5
JOB NUMBER
3085-00



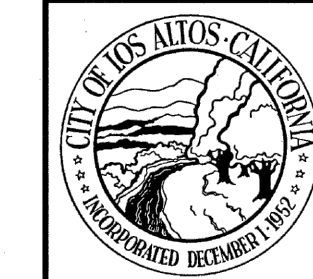
1 INFILTRATION DEVICE
NOT TO SCALE



2 AREA DRAIN
NOT TO SCALE



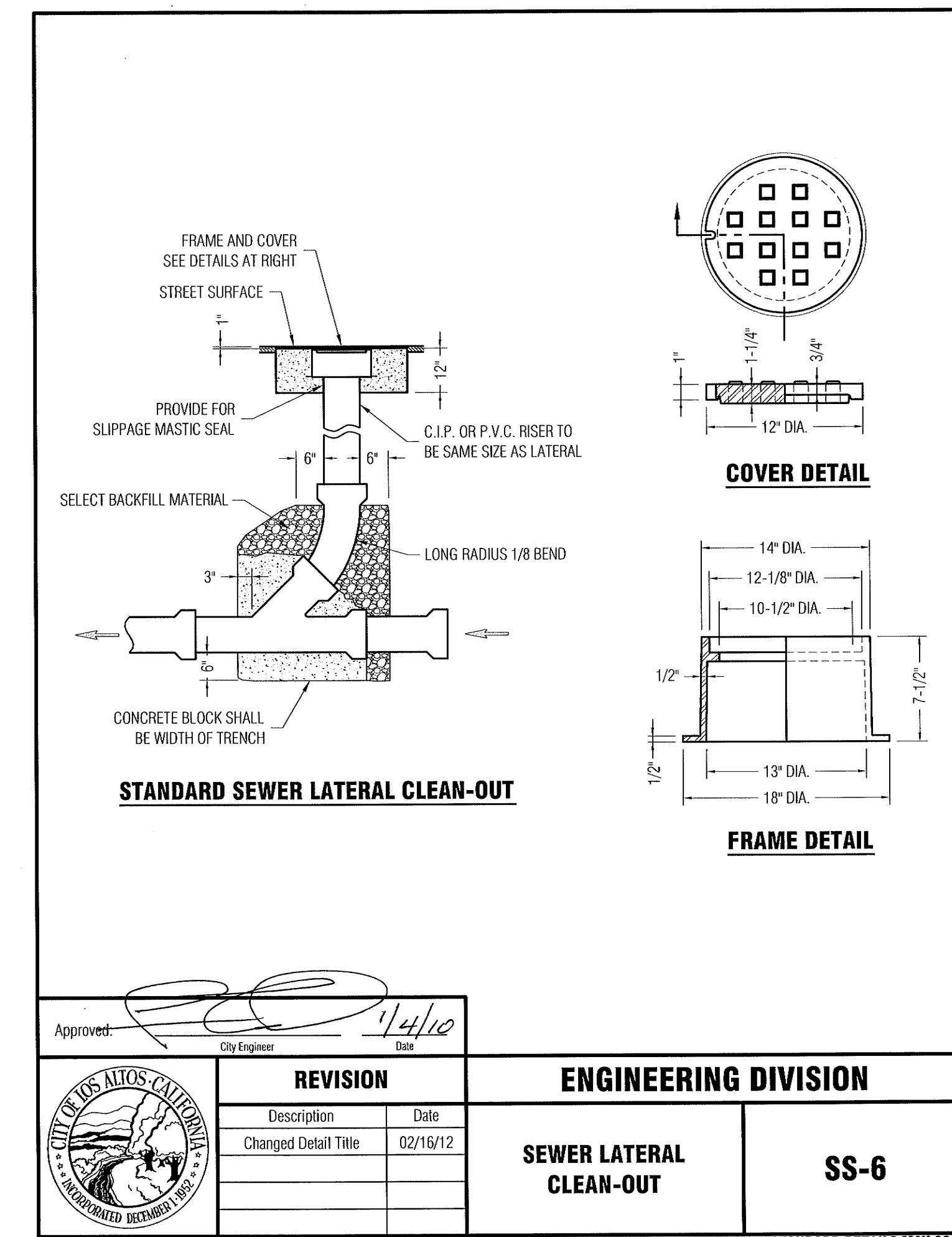
Approved: 1/4/10
City Engineer Date



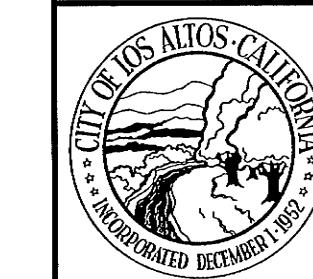
REVISION	
Description	Date

ENGINEERING DIVISION	
SEWER LATERAL AND SEWER RISER	SS-5

STANDARD DETAILS MAY 2010



Approved: 1/4/10
City Engineer Date



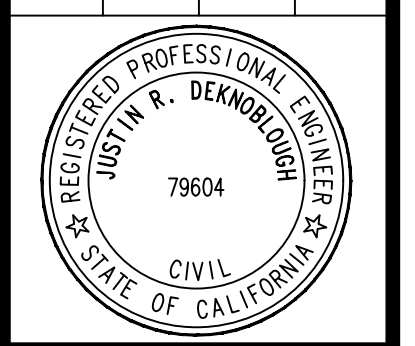
REVISION	
Description	Date
Changed Detail Title	02/16/12

ENGINEERING DIVISION	
SEWER LATERAL CLEAN-OUT	SS-6

STANDARD DETAILS MAY 2010

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: JAN 2023
DRAWN BY: SLC
PROJECT ENGR: REN
PROJ. MGR: JRD



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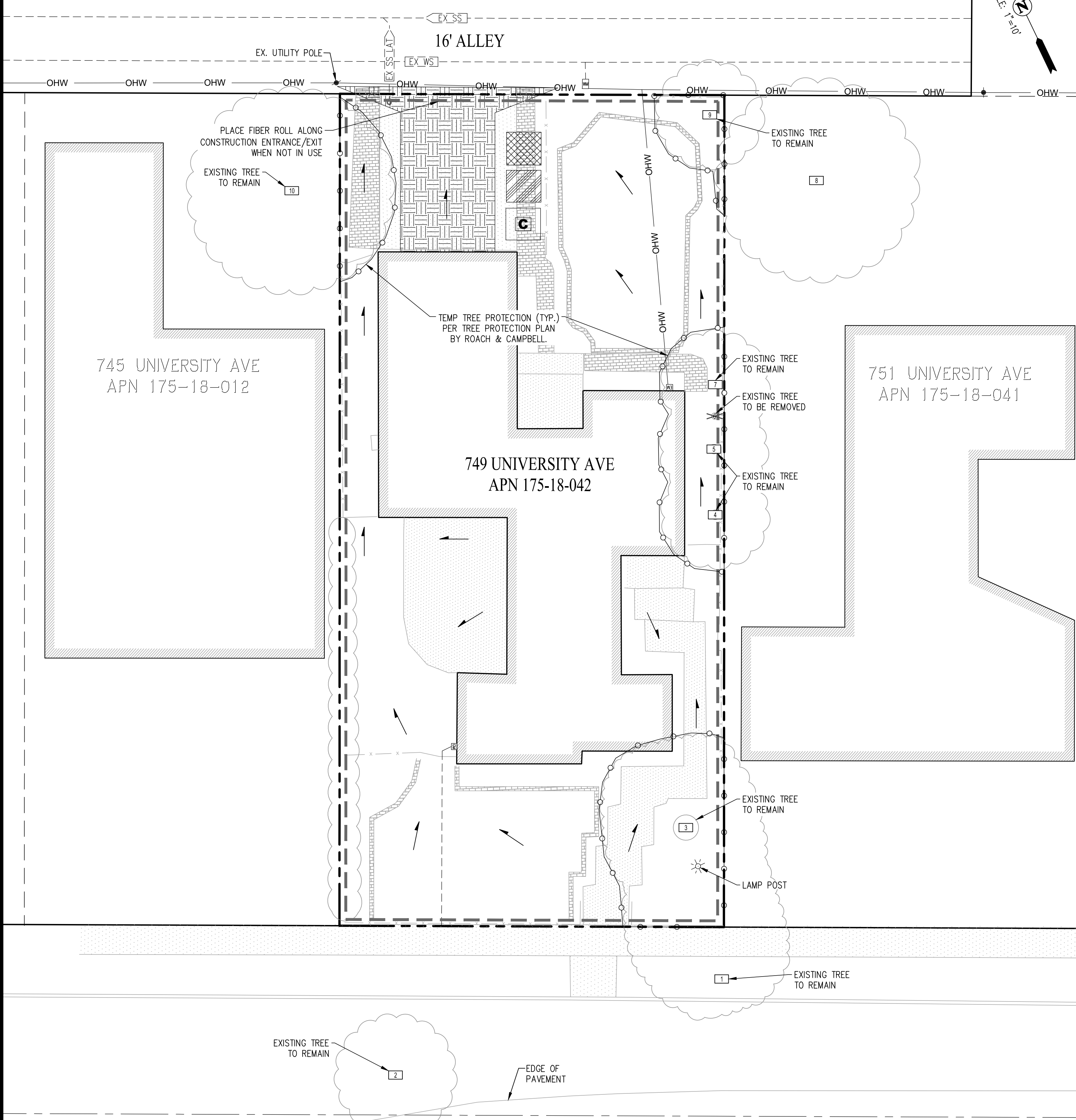
749 UNIVERSITY AVE
CITY OF LOS ALTOS
CALIFORNIA

THOMAS JAMES HOMES

GRADING & DRAINAGE PLAN
DETAILS

SHEET NUMBER
GP-2
OF 5

JOB NUMBER
3085-00



SITE MAP
SCALE: 1"=10'

- LEGEND**
- PROPERTY BOUNDARY
 - - - ADJOINER PROPERTY LINE
 - x - EXISTING FENCE
 - □ - TREE PROTECTION FENCE
 - ○ - TEMPORARY TREE PROTECTION FENCE DURING DEMOLITION
 - □ - FIBER ROLL - (EC-1 & EC-4)
 - 1 - TREE NUMBER PER ARBORIST REPORT (RETAINED)
 - 2 - TREE NUMBER PER ARBORIST REPORT (REMOVE)
 - □ - STABILIZED CONSTRUCTION ENTRANCE/EXIT - (EC-2)
 - DIRECTION OF EXISTING RUNOFF FLOW

PROJECT SUPERINTENDENT TO MARK KNOWN LOCATIONS*

- ▨ MATERIALS AND EQUIPMENT STORAGE AREA (WM-1 - WM-3**)
- ▨ SANITARY FACILITY (WM-9**)
- ⓐ CONCRETE/WASTE WASHOUT (WM-8)

NOTE:

- * THE MATERIALS AND EQUIPMENT STORAGE AREA AND SANITARY FACILITY WILL BE PLACED AT THE PROJECT SUPERINTENDENT'S DISCRETION AND ARE SUBJECT TO CHANGE.
- ** DENOTES SECTION RELATED TO BMP IN THE CASQA BMP HANDBOOK.

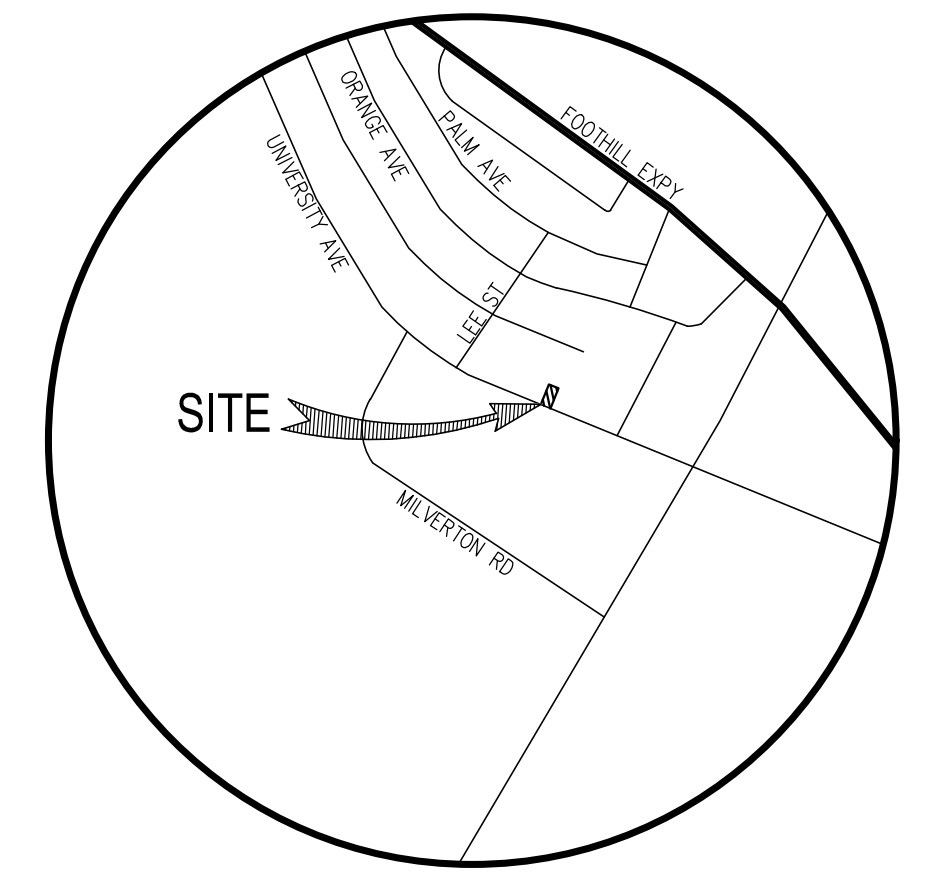
CURRENT CASQA STORMWATER BMP CONSTRUCTION HANDBOOK DETAILS

- EC-1 SCHEDULING
- NS-1 WATER CONSERVATION PRACTICES
- NS-8 VEHICLE & EQUIPMENT CLEANING
- NS-9 VEHICLE & EQUIPMENT FUELING
- NS-10 VEHICLE & EQUIPMENT MAINTENANCE
- NS-12 CONCRETE CURING
- NS-13 CONCRETE FINISHING
- SE-1 SILT FENCE
- SE-5 FIBER ROLLS
- TC-1 STABILIZED CONSTRUCTION ENTRANCE/EXIT
- WE-1 WIND EROSION CONTROL
- WM-1 MATERIAL DELIVERY & STORAGE
- WM-2 MATERIAL USE
- WM-3 STOCKPILE MANAGEMENT
- WM-8 CONCRETE WASTE MANAGEMENT
- WM-9 SANITARY/SEPTIC WASTE MANAGEMENT

NOTE:
NOT ALL DETAILS LISTED MAY BE APPLICABLE FOR THIS SITE.

SHEET INDEX

- ECP-1 EROSION CONTROL PLAN
- ECP-2 EROSION CONTROL NOTES & DETAILS



VICINITY MAP
NOT TO SCALE

EXISTING TREES TO BE RETAINED

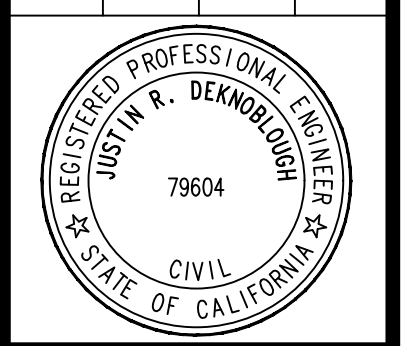
TREE NUMBER	COMMON NAME	DBH (IN)
1	CHINESE PISTACHE	11
2	COAST LIVE OAK	10
3	DEODAR CEDAR	25
4	LONDON PLANE	15
5	LONDON PLANE	15
7	LONDON PLANE	10
8	BAY LAUREL	23
9	SWEETGUM	11
10	CHINESE ELM	12

EXISTING TREES TO BE REMOVED

TREE NUMBER	COMMON NAME	DBH (IN)
6	SILVER MAPLE	19

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE:	JAN 2023
DRAWN BY:	S/LC
PROJ. ENGR:	REN
PROJ. MGR:	JRD



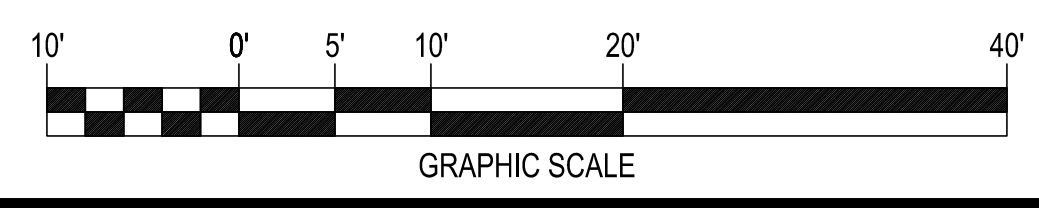
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SURVEYORS PLANNERS
CIVIL ENGINEERS



749 UNIVERSITY AVE
GRADING & DRAINAGE PLAN
EROSION CONTROL PLAN
CALIFORNIA
CITY OF LOS ALTOS

SHEET NUMBER
ECP-1
OF 5
JOB NUMBER
3085-00



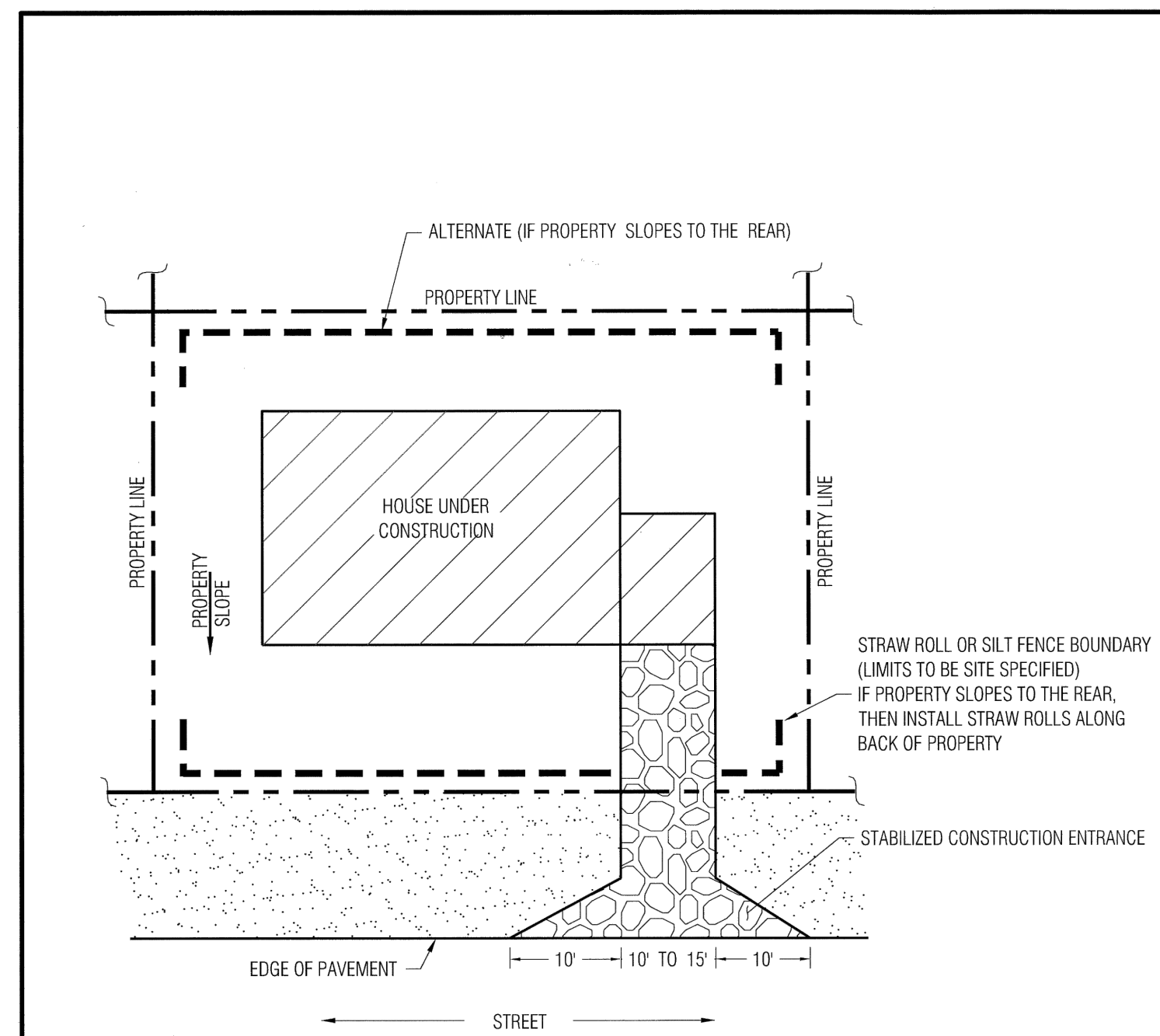


GENERAL NOTES

- SITE ADDRESS: 749 UNIVERSITY AVE
LOS ALTOS, CA 94022
- OWNER/DEVELOPER (DISCHARGER): THOMAS JAMES HOMES, LLC
255 SHORELINE DRIVE SUITE 428
REDWOOD CITY, CA 94065
(650) 434-7966
KEN KING
- CIVIL ENGINEER: CARLSON, BARBEE & GIBSON, INC.
2633 CAMINO RAMON, SUITE 350
SAN RAMON, CA 94583
(925) 866-0322
JUSTIN R. DEKNOBLOUGH, R.C.E. 79604

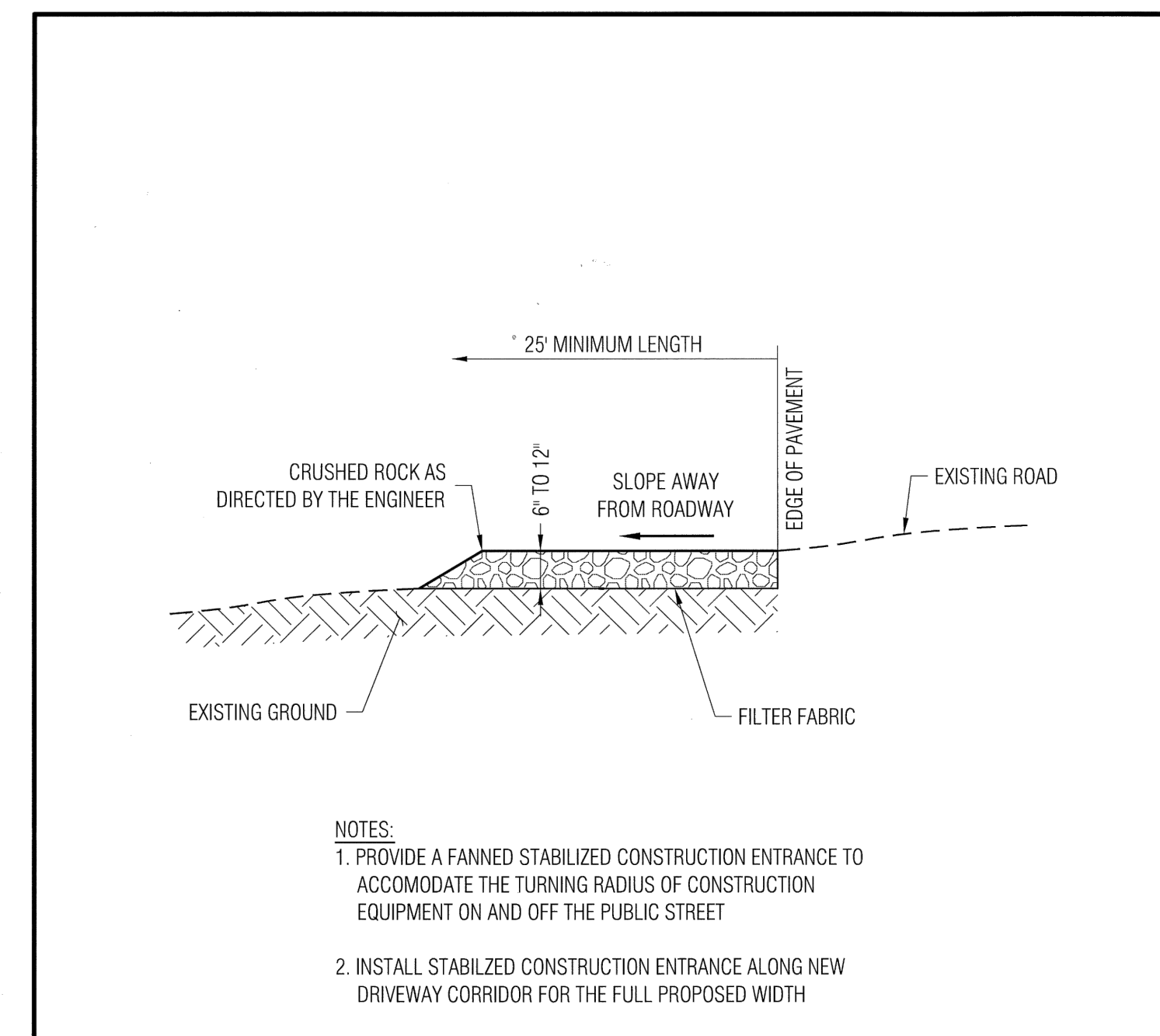
BEST MANAGEMENT PRACTICE NOTES

- IT SHALL BE THE OWNER'S DUTY TO MAINTAIN CONTROL OF THE ENTIRE CONSTRUCTION OPERATION AND TO ENSURE THE ENTIRE SITE IS IN COMPLIANCE WITH LOCAL ORDINANCES PROTECTION THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
- THIS PLAN IS INTENDED TO BE UTILIZED FOR INTERIM EROSION AND SEDIMENT CONTROL ONLY AND IS NOT TO BE UTILIZED FOR FINAL ELEVATIONS OR PERMANENT IMPROVEMENTS.
- THIS PLAN MAY NOT COVER ALL THE SITUATIONS THAT MAY ARISE DURING CONSTRUCTION DUE TO UNANTICIPATED FIELD CONDITIONS. VARIATIONS AND ADDITIONS MAY BE MADE TO THIS PLAN AS NECESSARY IN THE FIELD. DOCUMENT AND REPORT ANY FIELD CHANGES AND NOTIFY THE CITY OR COUNTY REPRESENTATIVE OF THE FIELD CHANGES.
- ALL MAINTENANCE AND OPERATION REQUIREMENTS SHALL FOLLOW THE CASQA CONSTRUCTION BMP GUIDANCE HANDBOOK.
- THE CONTRACTOR OR OWNER SHALL EFFECT AND MAINTAIN PRECAUTIONARY MEASURES NECESSARY TO PROTECT ADJACENT WATERCOURSES AND PUBLIC OR PRIVATE PROPERTY FROM DAMAGE BY EROSION, FLOODING AND DEPOSITION OF MUD OR DEBRIS ORIGINATING FROM THE SITE.
- THE CONTRACTOR OR OWNER IS RESPONSIBLE FOR ALL ASPECTS OF EROSION CONTROL FOR THE PROJECT AND SHALL INSTALL AND MAINTAIN ANY DEVICES AND MEASURES NECESSARY TO THE SATISFACTION OF THE CITY OR COUNTY ENGINEER.
- THE CONTRACTOR OR OWNER SHALL ESTABLISH AND MAINTAIN EFFECTIVE BMP PERIMETER CONTROLS AND STABILIZED ALL CONSTRUCTION ENTRANCES AND EXITS TO SUFFICIENTLY CONTROL EROSION AND SEDIMENT DISCHARGES FROM THE SITE YEAR-ROUND.
- EROSION CONTROL MEASURES WILL BE PROPERLY IN PLACE YEAR-ROUND. ALL REMOVABLE PROTECTIVE DEVICES SHOWN SHALL BE IN PLACE AT THE END OF EACH WORKING DAY WHEN THE FIVE DAY RAIN PROBABILITY EXCEEDS 50 PERCENT.
- INSPECTIONS AND OBSERVATIONS SHALL OCCUR WEEKLY, AND AT LEAST ONCE EACH 24-HOUR PERIOD DURING EXTENDED STORM EVENTS, TO IDENTIFY AND RECORD BMPs THAT NEED MAINTENANCE TO OPERATE EFFECTIVELY, THAT HAVE FAILED OR THAT COULD FAIL TO OPERATE AS INTENDED.
- DISCHARGERS SHALL IMPLEMENT MEASURES TO CONTROL ALL NON-STORMWATER DISCHARGES DURING CONSTRUCTION.
- DISCHARGERS SHALL IMPLEMENT EFFECTIVE WIND EROSION CONTROL.
- STABILIZED CONSTRUCTION ENTRANCES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF SITE WORK. ALL CONSTRUCTION TRAFFIC ENTERING THE PAVED ROAD MUST CROSS THE ENTRANCE. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY.
- APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN MATERIAL STORAGE AREA.
- APPLY GRAVEL CONSTRUCTION ENTRANCE MATERIAL WITHIN THE VEHICLE STORAGE AREA.
- PLACE ALL EQUIPMENT OR VEHICLES, WHICH ARE TO BE FUELED, MAINTAINED AND STORED IN A DESIGNATED AREA FITTED WITH APPROPRIATE BMPs.
- IMPLEMENT BMPs TO PREVENT THE OFF-SITE TRACKING OF LOOSE CONSTRUCTION AND LANDSCAPE MATERIALS.
- PAVED STREETS WILL BE MONITORED DAILY AND FREQUENTLY CLEANED. STREETS WILL ALSO BE SWEEPED ON AT LEAST A WEEKLY BASIS OR MORE OFTEN, AS NEEDED, TO MAINTAIN CONTINUOUS LITTER AND TRACKING CONTROL. STREET WASHING WILL NOT BE DONE.
- TRASH RECEPTACLES WILL BE PROVIDED THROUGHOUT THE SITE AND UTILIZED BY ALL WORKERS FOR MISCELLANEOUS TRASH. SITE REFUSE WILL BE PICKED UP ON A WEEKLY BASIS OR AS OFTEN AS NECESSARY IN ORDER TO KEEP THE SITE CLEAN.
- COVER AND BERM LOOSE STOCKPILED CONSTRUCTION MATERIALS THAT ARE NOT ACTIVELY BEING USED (I.E. SOIL, SPOILS, AGGREGATE, FLY-ASH, STUCCO, HYDRATED LIME, ETC.).
- CONTAIN AND SECURELY PROTECT STOCKPILED WASTE MATERIAL FROM WIND AND RAIN AT ALL TIMES UNLESS ACTIVELY BEING USED.
- EXCAVATING, FILLING, BACKFILLING AND GRADING WORK SHALL NOT BE PERFORMED DURING UNFAVORABLE WEATHER CONDITIONS.
- DISCHARGERS SHALL PROVIDE EFFECTIVE SOIL COVER FOR INACTIVE AREAS AND ALL FINISHED SLOPES, OPEN SPACE, UTILITY BACKFILL AND COMPLETED LOTS. INACTIVE AREAS OF CONSTRUCTION ARE AREAS OF CONSTRUCTION ACTIVITY THAT HAVE BEEN DISTURBED AND ARE NOT SCHEDULED TO BE RE-DISTURBED FOR AT LEAST 14 DAYS.
- SLOPES WILL BE GRADED SO THAT WATER IS DIRECTED AWAY FROM THE SLOPE FACES AT THE END OF EACH WORKING DAY WHEN A CHANCE OF RAIN IS FORECAST.
- ALL RILLS, GULLIES, ETC. WILL BE PROMPTLY REPAIRED AS PRACTICAL BY REGRADING OR INSTALLATION OF SOIL, GRAVEL OR SANDBAGS.
- ALL DRAIN INLETS WILL BE PROTECTED AS THEY ARE COMPLETED, DURING THE ENTIRE COURSE OF CONSTRUCTION.
- IF SEDIMENT BASINS ARE TO BE USED, DISCHARGERS SHALL, AT A MINIMUM DESIGN SEDIMENT BASINS ACCORDING TO THE METHOD PROVIDED IN CASQA'S CONSTRUCTION BMP GUIDANCE HANDBOOK.
- AFTER EACH RAINSTORM, SILT AND DEBRIS SHALL BE REMOVED FROM CHECK DAMS, FIBER ROLLS, SILT FENCES AND SILT SACKS. SEDIMENT TRAPS/BASINS SHOULD ALSO BE OBSERVED AND PUMPED DRY AS NECESSARY TO ASSURE PROPER FUNCTION AND CAPACITY.
- INTERIOR FIBER ROLLS MAY BE REMOVED AS THE AREA COMES UNDER CONSTRUCTION FOR FINISH GRADING AND LANDSCAPING INSTALLATION. PERIMETER PROTECTION SHOULD BE LEFT IN PLACE YEAR-ROUND DURING CONSTRUCTION OR DEMOLITION.
- AT A MINIMUM, TREE PROTECTION FENCING IS TO BE ORANGE CONSTRUCTION FENCING AND PLACED AROUND TREE TO CREATE A TREE PROTECTION ZONE AND SHALL BE INSTALLED AROUND TREES THAT ARE TO REMAIN. IF PROJECT ARBORIST REQUIRES ADDITIONAL PROTECTIONS, THE CONTRACTOR SHALL FOLLOW AND INSTALL SAID PROTECTIONS.



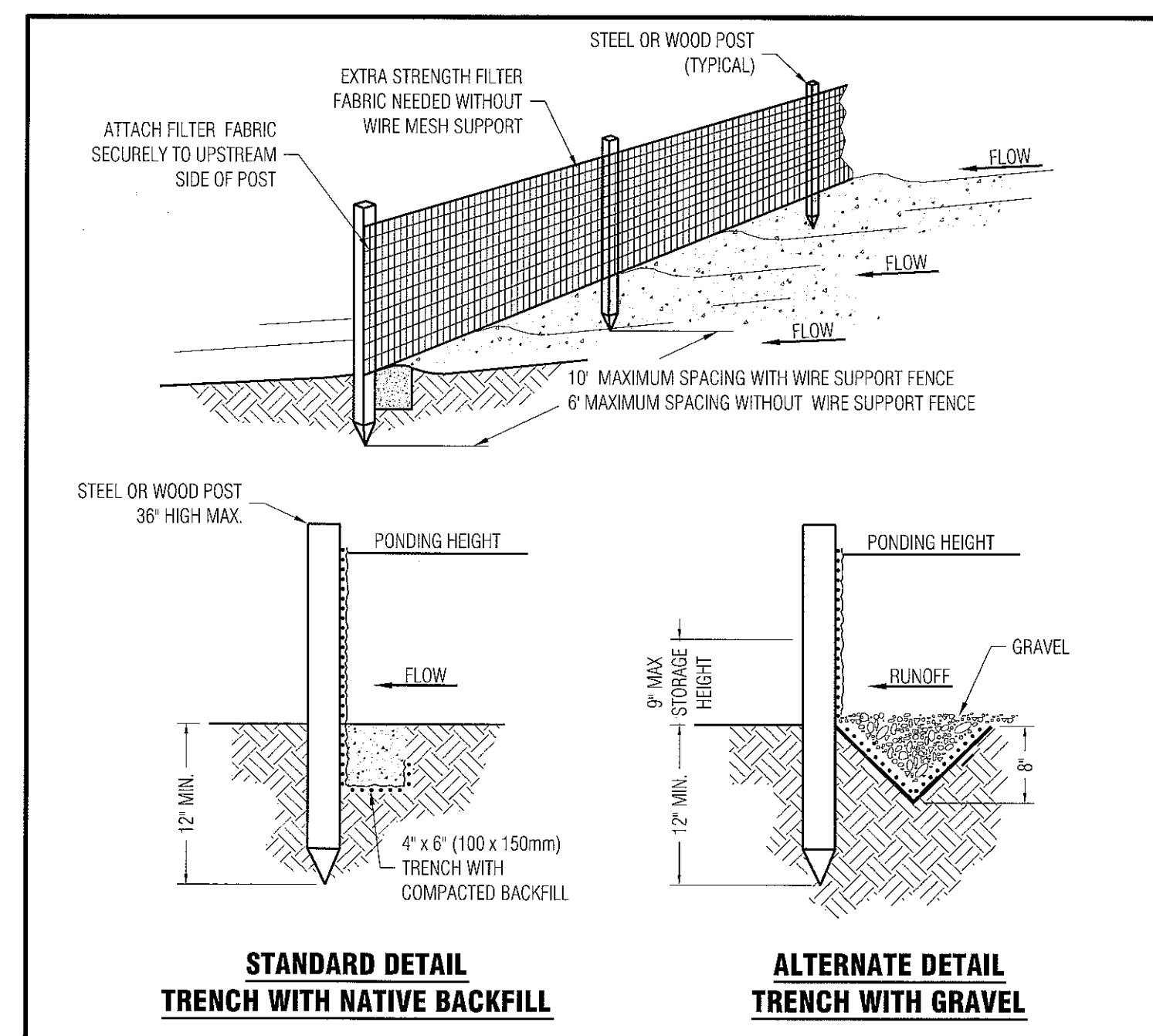
GENERIC CONSTRUCTION SITE PLAN

Approved: 1/4/10 City Engineer Date		ENGINEERING DIVISION																	
<table border="1"> <thead> <tr> <th>REVISION</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REVISION	Description	Date										<table border="1"> <thead> <tr> <th>TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE</th> <th>EC-1</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> </tbody> </table>	TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE	EC-1			STANDARD DETAILS MAY 2010	
REVISION	Description	Date																	
TYPICAL EROSION AND SEDIMENT CONTROL AT SINGLE FAMILY CONSTRUCTION SITE	EC-1																		



- NOTES:**
- PROVIDE A FANNED STABILIZED CONSTRUCTION ENTRANCE TO ACCOMMODATE THE TURNING RADIUS OF CONSTRUCTION EQUIPMENT ON AND OFF THE PUBLIC STREET
 - INSTALL STABILIZED CONSTRUCTION ENTRANCE ALONG NEW DRIVEWAY CORRIDOR FOR THE FULL PROPOSED WIDTH

Approved: 1/4/10 City Engineer Date		ENGINEERING DIVISION																	
<table border="1"> <thead> <tr> <th>REVISION</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REVISION	Description	Date										<table border="1"> <thead> <tr> <th>STABILIZED CONSTRUCTION SITE ENTRANCE</th> <th>EC-2</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> </tbody> </table>	STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2			STANDARD DETAILS MAY 2010	
REVISION	Description	Date																	
STABILIZED CONSTRUCTION SITE ENTRANCE	EC-2																		

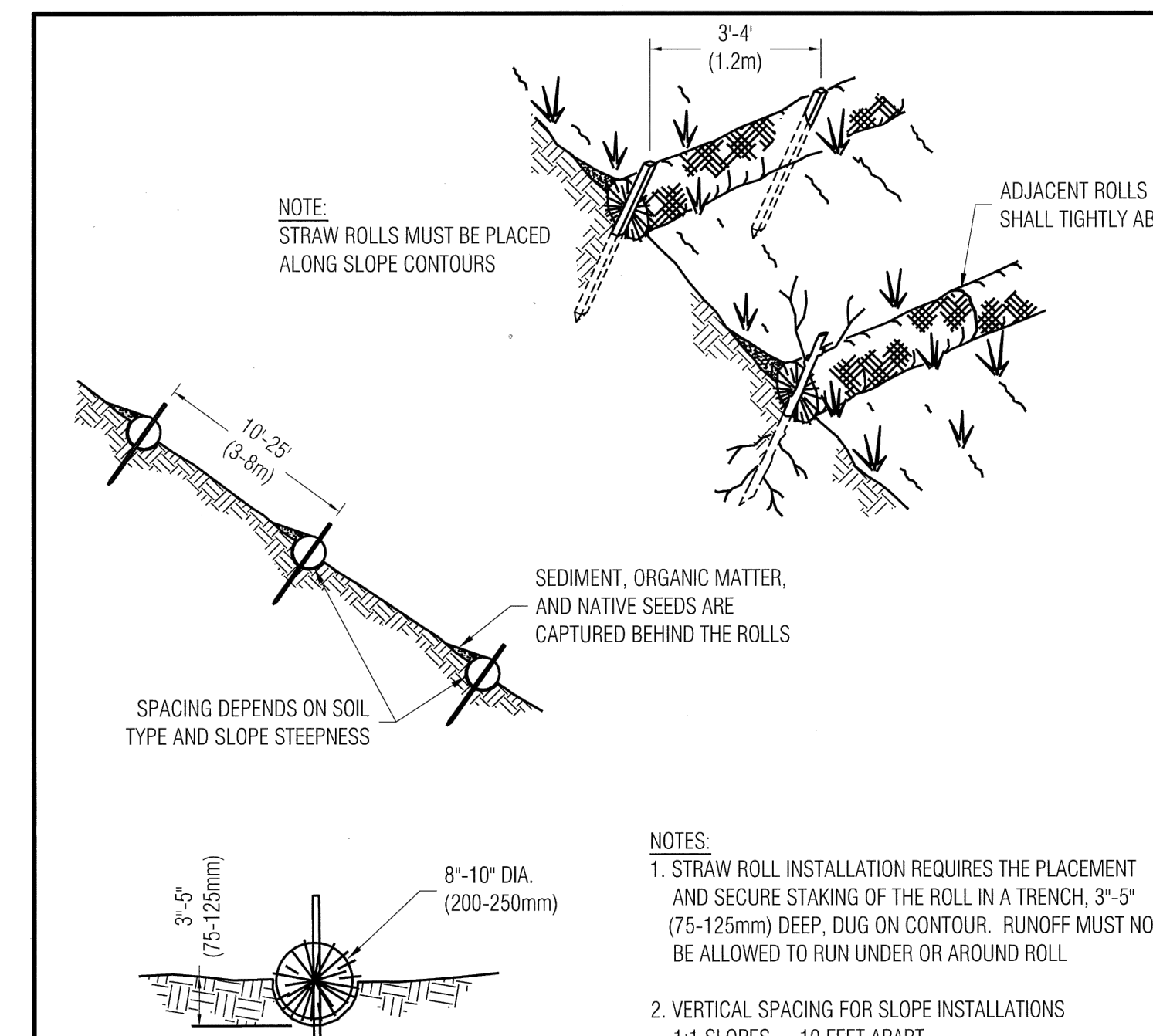


STANDARD DETAIL TRENCH WITH NATIVE BACKFILL

ALTERNATE DETAIL TRENCH WITH GRAVEL

- NOTES:**
- INSPECT AND REPAIR FENCE AFTER EACH STORM EVENT AND REMOVE SEDIMENT WHERE NECESSARY
 - REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED
 - SILT FENCE SHALL BE PLACED ON SLOPE CONTOURS TO MAXIMIZE PONDING EFFICIENCY

Approved: 1/4/10 City Engineer Date		ENGINEERING DIVISION																	
<table border="1"> <thead> <tr> <th>REVISION</th> <th>Description</th> <th>Date</th> </tr> </thead> <tbody> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> <tr><td> </td><td> </td><td> </td></tr> </tbody> </table>	REVISION	Description	Date										<table border="1"> <thead> <tr> <th>SILT FENCE</th> <th>EC-3</th> </tr> </thead> <tbody> <tr><td> </td><td> </td></tr> </tbody> </table>	SILT FENCE	EC-3			STANDARD DETAILS MAY 2010	
REVISION	Description	Date																	
SILT FENCE	EC-3																		



- NOTES:**
- STRAW ROLL INSTALLATION REQUIRES THE PLACEMENT AND SECURE STAKING OF THE ROLL IN A TRENCH, 3'-5" (75-125mm) DEEP, DUG ON CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL
 - VERTICAL SPACING FOR SLOPE INSTALLATIONS
 - 1:1 SLOPES = 10 FEET APART
 - 2:1 SLOPES = 20 FEET APART
 - 3:1 SLOPES = 30 FEET APART
 - 4:1 SLOPES = 40 FEET APART
 - <4:1 SLOPE = ONE ROW AT LOW POINT
 - REMOVED SEDIMENT SHALL BE DEPOSITED IN AN AREA THAT WILL NOT CONTRIBUTE SEDIMENT TO RUN OFF-SITE AND CAN BE PERMANENTLY STABILIZED

Approved: 1/4/10 City Engineer Date		ENGINEERING DIVISION																	
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REVISION	Description	Date																	
STRAW ROLLS	EC-4																		

PRELIMINARY PLANS
 NOT FOR CONSTRUCTION

DATE: JAN 2023
 DRAWN BY: SLC
 PROJ. ENGR: REN
 PROJ. MGR: JRD

REG. STATE OF CALIFORNIA
 JUSTIN R. DEKNOBLOUGH
 CIVIL ENGINEER
 79604

cbg
 CIVIL ENGINEERS
 SURVEYORS • PLANNERS

749 UNIVERSITY AVE
 THOMAS JAMES HOMES

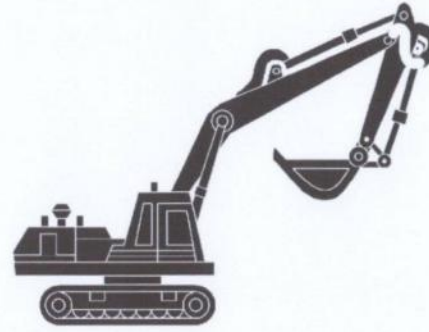
GRADING & DRAINAGE PLAN
 EROSION CONTROL NOTES & DETAILS
 CITY OF LOS ALTOS

SHEET NUMBER
ECP-2
 OF 5
 JOB NUMBER
 3085-00



Heavy Equipment Operation

Best Management Practices for the Construction Industry



Best Management Practices for the

- Vehicle and equipment operators
- Site supervisors
- General contractors
- Home builders
- Developers

Doing The Job Right

Site Planning and Preventive Vehicle Maintenance

- Maintain all vehicles and heavy equipment. Inspect frequently for and repair leaks.
- Perform major maintenance, repair jobs, and vehicle and equipment washing off site where cleanup is easier.
- If you must drain and replace motor oil, radiator coolant, or other fluids on site, use drip pans or drop cloths to catch drips and spills. Collect all spent fluids, store in separate containers, and properly dispose as hazardous waste (recycle whenever possible).
- Do not use diesel oil to lubricate equipment parts, or clean equipment. Use only water for any greasy cleaning.
- Cover exposed fifth wheel hitches and other oily or greasy equipment during rain events.

Spill Cleanup

- Clean up spills immediately when they happen.
- Never hose down "dirty" pavement or impermeable surfaces where fluids have spilled. Use dry cleanup methods (absorbent materials, cat litter, and/or rags) whenever possible and properly dispose of absorbent materials.
- Sweep up spilled dry materials immediately. Never attempt to "wash them away" with water, or bury them.
- Use as little water as possible for dust control. Ensure water used doesn't leave silt or discharge to storm drains.
- Clean up spills on dirt areas by digging up and properly disposing of contaminated soil.
- Report significant spills to the appropriate local spill response agencies immediately.
- If the spill poses a significant hazard to human health and safety, property or the environment, you must also report it to the State Office of Emergency Services.

Storm Water Pollution from Heavy Equipment on Construction Sites

Poorly maintained vehicles and heavy equipment that leak fuel, oil, antifreeze or other fluids on the construction site are common sources of storm drain pollution. Prevent spills and leaks by isolating equipment from runoff channels, and by watching for leaks and other maintenance problems. Remove construction equipment from the site as soon as possible.

Landscaping, Gardening, and Pool Maintenance

Best Management Practices for the Construction Industry



Best Management Practices for the

- Landscapers
- Gardeners
- Swimming pool/spa service and repair workers
- General contractors
- Home builders
- Developers
- Homeowners

Doing The Right Job

- Protect stockpiles and landscaping materials from wind and rain by storing them under tarps or secured plastic sheeting.
- Store pesticides, fertilizers, and other chemicals indoors or in a shed or storage cabinet.
- Schedule grading and excavation projects during dry weather.
- Use temporary check dams or ditches to divert runoff away from storm drains.
- Protect storm drains with sandbags or other sediment controls.
- Re-vegetation is an excellent form of erosion control for any site.

- Landscaping/Garden Maintenance
 - Use pesticides sparingly, according to instructions on the label. Rinse empty containers, and use rinse water as product. Dispose of rinsed, empty containers in the trash. Dispose of unused pesticides as hazardous waste.
 - Collect lawn and garden clippings, pruning waste, and tree trimmings. Chip if necessary, and compost.
 - In communities with curbside pick-up of yard waste, place clippings and pruning waste at the curb in approved bags or containers. Or, take to a landfill that composts yard waste. No curbside pickup of yard waste is available for commercial properties.

Storm Drain Pollution From Landscaping and Swimming Pool Maintenance

Many landscaping activities expose soils and increase the likelihood that erosion and garden chemicals will run off into the storm drain during irrigation or when it rains. Swimming pool water containing chlorine and copper-based algaecides should never be discharged to storm drains. These chemicals are toxic to aquatic life.

Doing The Job Right

- Keep an orderly site and ensure good housekeeping practices are used.
- Maintain equipment properly.
- Cover materials when they are not in use.
- Keep materials away from streets, storm drains and drainage channels.
- Ensure dust control water doesn't leave site or discharge to storm drains.

Advance Planning To Prevent Pollution

- Schedule excavation and grading activities for dry weather periods. To reduce soil erosion, plant temporary vegetation or place other erosion controls before rain begins. Use the Erosion and Sediment Control Manual, available from the Regional Water Quality Control Board, as a reference.
- Control the amount of runoff crossing your site (especially during excavation) by using berms or temporary or permanent drainage ditches to divert water flow around the site. Reduce storm water runoff velocities by constructing temporary check dams or berms where appropriate.
- Train your employees and subcontractors. Make these best management practices available to everyone who works on the construction site. Inform subcontractors about the storm water requirements and their own responsibilities.

Good Housekeeping Practices

- Designate one area of the site for auto parking, vehicle refueling, and other equipment maintenance. The designated area should be well away from streams or storm drain inlets, be bermed if necessary. Make major repairs off site.
- Keep materials off of the rain - prevent runoff contamination at the source. Cover exposed piles of soil or construction materials with plastic sheeting or temporary roofs. Before it rains, sweep and remove materials from surfaces that drain to storm drains, creeks, or channels.
- Keep pollutants off exposed surfaces. Place trashcans and recycling receptacles around the site to minimize litter.

Storm Drain Pollution from Construction Activities

Construction sites are common sources of storm water pollution. Materials and wastes that blow or wash into a storm drain, gutter, or street have a direct impact on local creeks and the Bay. As a contractor, or site supervisor, owner or operator of a site, you may be responsible for any environmental damage caused by your subcontractors or employees.

Roadwork and Paving

Best Management Practices for the Construction Industry



Best Management Practices for the

- Road crews
- Driveway/sidewalk/parking lot construction crews
- Seal coat contractors
- Operators of grading equipment, paving machines, dump trucks, concrete mixers
- Construction inspectors
- General contractors
- Home builders
- Developers

Doing The Job Right

General Business Practices

- Develop and implement erosion/sediment control plans for roadway embankments.
- Schedule excavation and grading work during dry weather.
- Check for and repair leaking equipment.
- Perform major equipment repairs at designated areas in your maintenance yard, where cleanup is easier. Avoid performing equipment repairs at construction sites.
- When refueling or when vehicle/equipment maintenance must be done on site, designate a location away from storm drains and creeks.
- Do not use diesel oil to lubricate equipment parts, or clean equipment.
- Recycle used oil, concrete, broken asphalt, etc. whenever possible, or dispose of properly.

During Construction

- Avoid paving and seal coating in wet weather, or when rain is forecast, to prevent fresh materials from contacting storm water runoff.
- Cover and seal catch basins and manholes with applying seal coat, slurry seal, fog seal, or similar materials.
- Protect drainage ways by using earth dikes, sand bags, or other controls to divert or trap and filter runoff.

Storm Drain Pollution from Roadwork

Road paving, surfacing, and pavement removal happen right in the street, where there are numerous opportunities for asphalt, seal-coating, or excavated material to illegally enter storm drains. Extra planning is required to store and dispose of materials properly and guard against pollution of storm drains, creeks, and the Bay.

Painting and Application of Solvents and Adhesives

Best Management Practices for the Construction Industry



Best Management Practices for the

- Homeowners
- Painters
- Paperhangers
- Plasterers
- Graphic artists
- Dry wall crews
- Floor covering installers
- General contractors
- Home builders
- Developers

Doing The Job Right

Handling Paint Products and wastes away from the gutter, street, and storm drains.

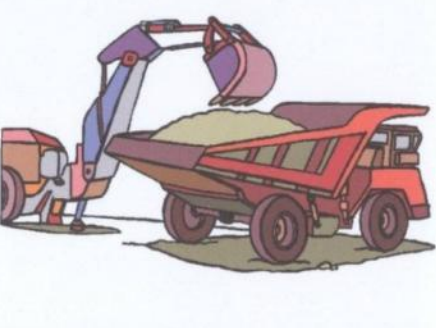
- Keep all liquid paint products and wastes away from the gutter, street, and storm drains. Liquid residues from paints, thinners, solvents, glues, and cleaning fluids are hazardous wastes and must be disposed of at a hazardous waste collection facility (contact your local stormwater program listed on the back of this brochure).
- When thoroughly dry, empty paint cans, used brushes, rags, and drop cloths may be disposed of as garbage in a sanitary landfill. Empty, dry paint cans also may be recycled as metal.
- Wash water from painted buildings constructed before 1978 can contain high amounts of lead, even if paint chips are not present. Before you begin stripping paint or cleaning pre-1978 building exteriors with water under high pressure, test paint for lead by taking paint scrapings to a local laboratory. See Yellow Pages for a state-certified laboratory.
- If there is loose paint on the building, or if the paint tests positive for lead, block storm drains. Check with the wastewater treatment plant to determine whether you may discharge water to the sanitary sewer, or if you must take it offsite for disposal as hazardous waste.

Storm Drain Pollution from Paints, Solvents, and Adhesives

All paints, solvents, and adhesives contain chemicals that are harmful to wildlife in local creeks, San Francisco Bay, and the Pacific Ocean. Toxic chemicals may come from liquid or solid products or from cleaning residues or rags. Paint material and wastes, adhesives and cleaning fluids, should be recycled when possible, or disposed of properly to prevent these materials from flowing into storm drains and watercourses.

Earth-Moving And Dewatering Activities

Best Management Practices for the Construction Industry



Best Management Practices for the

- Bulldozer, back hoe, and grading machine operators
- Dump truck drivers
- Site supervisors
- General contractors
- Home builders
- Developers

Doing The Job Right

- Schedule excavation and grading work during dry weather.
 - Perform major equipment repairs away from the job site.
 - When refueling or vehicle/equipment maintenance must be done on site, designate a location away from storm drains.
 - Do not use diesel oil to lubricate equipment parts, or clean equipment.
- Practices During Construction
- Remove existing vegetation only when absolutely necessary. Plant temporary vegetation for erosion control on slopes or where construction is not immediately planned.
 - Collect down slope drainage courses, streams, and storm drains with wattles, or temporary drainage swales. Use check dams or ditches to divert runoff around excavations. Refer to the Regional Water Quality Control Board's Erosion and Sediment Control Field Manual for proper erosion and sediment control measures.

Storm Drain Pollution from Earth-Moving Activities and Dewatering

Soil excavation and grading operations loose large amounts of soil that can flow or blow into storm drains when handled improperly. Sediments in runoff can clog storm drains, smother aquatic life, and destroy habitats in creeks and the Bay. Effective erosion control practices reduce the amount of runoff crossing a site and slow the flow with check dams or dewatering sites. Contaminated groundwater is a common problem in the Santa Clara Valley. Depending on soil types and site history, ground water seepage from excavation sites may be contaminated with toxics (such as oil or solvents) or laden with sediments. Any of these pollutants can harm wildlife in creeks or the Bay, or interfere with wastewater treatment plant operation. Discharging sediment-laden water from a dewatering site into any water of the state without treatment is prohibited.

Fresh Concrete and Mortar Application

Best Management Practices for the Construction Industry



Best Management Practices for the

- Masons and bricklayers
- Sidewalk construction crews
- Paving construction workers
- Construction inspectors
- General contractors
- Home builders
- Developers

Doing The Job Right

General Business Practices

- Wash out concrete mixers only in designated wash-out areas in your yard, away from storm drains and waterways, where the water will flow into a temporary waste pit in a dirt area. Let water percolate through soil and dispose of settled, hardened concrete as garbage. Whenever possible, recycle washout by pumping back into mixers for reuse.
- Wash out chutes onto dirt areas at site that do not flow to streets or drains.
- Always store both dry and wet materials under cover, protected from rainfall and runoff and away from storm drains or waterways. Protect dry materials from wind.
- Secure bags of cement after they are open. Be sure to keep wind-blown cement powder away from streets, gutters, storm drains, rainfall, and runoff.
- Do not use diesel fuel as a lubricant on concrete forms, tools, or trailers.

During Construction

- Don't mix up more fresh concrete or cement than you will use in a two-hour period.
- Set up and operate small mixers on tarps or heavy plastic drop cloths.
- When cleaning up after driveway or sidewalk construction, wash fines onto dirt areas, not down the driveway or into the street or storm drain.
- Protect applications of fresh concrete and mortar from rainfall and runoff until the material has dried.
- Wash down exposed aggregate concrete only when the wash water can (1) flow onto a dirt area; (2) drain onto a bermed surface from which it can be pumped and disposed of properly; or (3) be vacuumed from a catchment created by blocking a storm drain inlet. If necessary, divert runoff with temporary berms. Make sure runoff does not reach gutters or storm drains.
- When breaking up pavement, be sure to pick up all the pieces and dispose of properly. Recycle large chunks of broken concrete at a landfill.
- Never bury waste material. Dispose of small amounts of excess dry concrete, grout, and mortar in the trash.
- Never dispose of washout into the street, storm drains, drainage ditches, or streams.

Storm Drain Pollution from Fresh Concrete and Mortar Applications

Fresh concrete and cement-related mortars that wash into lakes, streams, or wetlands are toxic to fish and the aquatic environment. Disposing of these materials to the storm drains or creeks can block storm drains, cause serious problems, and is prohibited by law.



Los Altos Municipal Code Requirements

Los Altos Municipal Code Chapter 10.08.390 Non-storm water discharges

- Unlawful discharges. It shall be unlawful to discharge any domestic waste or industrial waste into storm drains, gutters, creeks, or San Francisco Bay. Unlawful discharges to storm drains shall include, but not be limited to, discharge from toilets; sinks; industrial processes; cooling systems; boilers; fabric cleaning; equipment cleaning; vehicle cleaning; construction activities, including, but not limited to, painting, paving, concrete placement, saw cutting and grading; swimming pools; spas; and fountains, unless specifically permitted by a discharge permit or unless exempted pursuant to guidelines published by the superintendent.
- Threatened discharges. It shall be unlawful to cause hazardous materials, domestic waste, or industrial waste to be deposited in such a manner or location as to constitute a threatened discharge into storm drains, gutters, creeks or San Francisco Bay. A "threatened discharge" is a condition creating a substantial probability of harm, when the probability and potential extent of harm make it reasonably necessary to take immediate action to prevent, reduce or mitigate damages to persons, property or natural resources. Domestic or industrial wastes that are no longer contained in a pipe, tank or other container are considered to be threatened discharges unless they are actively being cleaned up.

Los Altos Municipal Code Section 10.08.430 Requirements for construction operations.

- A spill response plan for hazardous waste, hazardous materials and uncontained construction materials shall be prepared and available at the construction sites for all projects where the proposed construction site is equal to or greater than one acre of disturbed soil and for any other projects for which the city engineer determines it is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer.
- A storm water pollution prevention plan shall be prepared and available at the construction sites for all projects greater than one acre of disturbed soil and for any other projects for which the city engineer determines that a storm water management plan is necessary to protect surface waters. Preparation of the plan shall be in accordance with guidelines published by the city engineer. Prior approval shall be obtained from the city engineer or designee to discharge water pumped from construction sites to the storm drain. The city engineer or designee may require gravity settling and filtration upon a determination that either or both would improve the water quality of the discharge. Contaminated groundwater or water that exceeds state or federal requirements for discharge to navigable waters may not be discharged to the storm drain. Such water may be discharged to the sewer, provided that the requirements of Section 10.08.240 are met and the approval of the superintendent is obtained prior to discharge.
- No cleanup of construction debris from the streets shall result in the discharge of water to the storm drain system; nor shall any construction debris be deposited or allowed to be deposited in the storm drain system. (Prior code § 5-5.643)

Criminal and judicial penalties can be assessed for non-compliance.

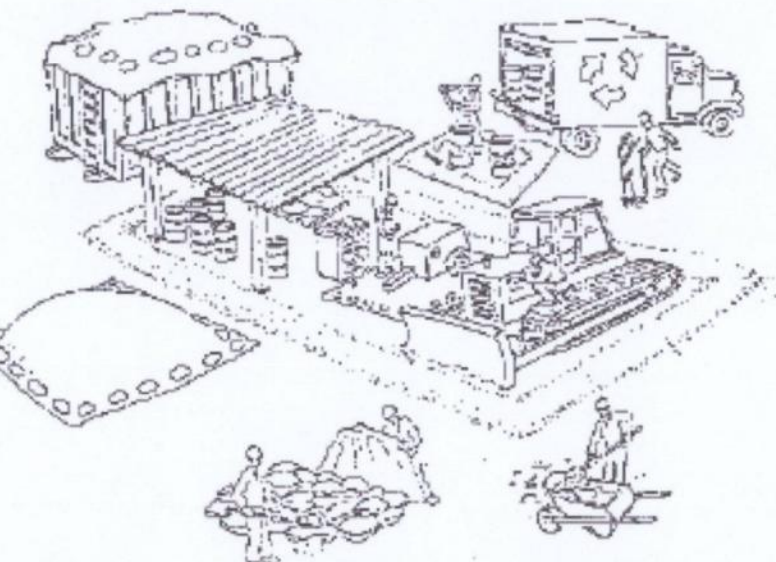
Blueprint for a Clean Bay

Remember: The property owner and the contractor share ultimate responsibility for the activities that occur on a construction site. You may be held responsible for any environmental damage caused by your subcontractors or employees.

Best Management Practices for the Construction Industry



Santa Clara Urban Runoff Pollution Prevention Program



DESIGNED BY: LARRY LIND	APPROVED BY: CITY OF LOS ALTOS 48056 K.E.L.	DATE: OCTOBER, 2003
DRAWN BY: VICTOR CHEN	CITY ENGINEER	SCALE: N.T.S.
CHECKED BY: JIM GUSTAFSON	SHEET OF SHEETS	DRAWING NO.:

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

DATE: JAN 2004
DRAWN BY: SLK
PROJECT: REN
PROJ. MGR: JRD

REGISTERED PROFESSIONAL CIVIL ENGINEER
JUSTIN R. DEANOWSKI
79604
STATE OF CALIFORNIA

Spill Response Agencies
DIAL 9-1-1
State Office of Emergency Services Warning Center (24 hours): 800-852-7550
Santa Clara County Environmental Health Services: (408) 299-6930

Local Pollution Control Agencies
County of Santa Clara Pollution Prevention Program: (408) 441-1195
County of Santa Clara Integrated Waste Management Program: (408) 441-1198
County of Santa Clara District Attorney Environmental Crimes Hotline: (408) 299-TIPS

City of Los Altos
Building Department: (650) 947-2752
Engineering Department: (650) 947-2780

749 UNIVERSITY AVE
THOMAS JAMES HOMES
GRADING & DRAINAGE PLAN
CLEAN BAY BLUEPRINT
CITY OF LOS ALTOS

PLANNERS
SURVEYORS
CIVIL ENGINEERS
CALIFORNIA

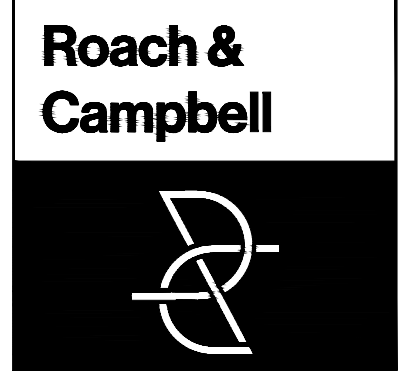
SAN RAMON
ROSEVILLE
WWW.CBANDCO.COM

(925) 866-0322
(916) 768-4456

DATE: JAN 2004
DRAWN BY: SLK
PROJECT: REN
PROJ. MGR: JRD

PRELIMINARY PLANS
NOT FOR CONSTRUCTION

SHEET NUMBER
ECP-3
OF 5
JOB NUMBER
3085-00



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

**749 UNIVERSITY AVE
LOS ALTOS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

LAYOUT PLAN, NOTES, AND LEGEND

DRAWN BY:

STAFF

CHECKED BY:

DWC

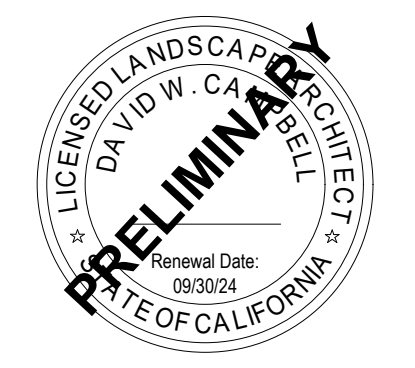
JOB NO.

20035

DATE

02/16/2023

REVISIONS:



L1.1

DRAWINGS IN SET:

CONSTRUCTION NOTES

- LOCAL CODES AND ORDINANCES: WORK SHALL CONFORM TO ALL LOCAL CODES, ORDINANCES, AND REQUIREMENTS, INCLUDING FEDERAL ACCESSIBILITY GUIDELINES. NOTHING IN THE CONTRACT DOCUMENTS SHALL BE CONSTRUED AS AN EXEMPTION TO APPLICABLE CODES OR OTHER JURISDICTIONAL REQUIREMENTS.
- UTILITIES: CONTACT COMMON GROUND ALLIANCE (C.G.A.) AT 811, AT LEAST TWO WORKING DAYS IN ADVANCE OF WORK (PER CA GOV. CODE 4216). THE CONTRACTOR SHALL PROTECT ALL EXISTING UTILITIES, WHETHER SHOWN OR NOT, AND SHALL PAY FOR ANY REPAIRS REQUIRED DUE TO THE CONTRACTOR'S OPERATIONS AT NO ADDITIONAL EXPENSE TO THE OWNER.
- DISCREPANCIES: NOTIFY DISTRICT'S REPRESENTATIVE OF ANY VARIATIONS BETWEEN THE CONTRACT DOCUMENTS AND FIELD CONDITIONS. DO NOT PROCEED WHERE DIFFERENCES EXIST THAT WOULD AFFECT THE WORK. ALL ADJUSTMENTS DUE TO FIELD CONDITIONS MUST BE APPROVED BY THE DISTRICT'S REPRESENTATIVE PRIOR TO CONTINUING.
- LAYOUT NOTES: THE WRITTEN DIMENSION SUPERCEDES SCALED OR GRAPHIC DENOTATION. DIMENSIONS ARE BETWEEN PARALLEL OR PERPENDICULAR POINTS UNLESS NOTED OTHERWISE. DIMENSIONS ARE TO CENTERLINE OR FACE OF MASONRY, CONCRETE, OR FRAMING SUBSTRATE FINISH SURFACES, UNLESS NOTED OTHERWISE.
- COORDINATION: CONTRACTOR SHALL COORDINATE WORK BETWEEN TRADES. ALL REQUIRED SLEEVING SHALL BE COORDINATED WITH SITE WORK, INCLUDING OTHER UNDERGROUND UTILITIES, CURBS, AND CONCRETE.
- VERTICAL WORK: ALL VERTICAL CONSTRUCTION SHALL BE INSTALLED TRUE AND PLUMB. ALL UNIT COURSING AND TOPS OF WALLS, FENCES, ETC. SHALL BE LEVEL UNLESS NOTED OTHERWISE. ALL CURVES SHALL BE CONTINUOUS AND EVEN, WITH NO BREAKS OR ANGLES AT POINTS OF TANGENCY OR FORMWORK JOINTING.
- LEAD TIME: SPECIFIED MATERIALS MAY REQUIRE A SIGNIFICANT LEAD TIME. CONTRACTOR IS SOLELY RESPONSIBLE TO LEAD TIMES AND TO PROVIDE SUBMITTALS, AND ORDER MATERIAL, AND ENSURE DELIVERY TO THE JOB SITE TO ALLOW TIMELY PROGRESSION OF WORK.
- EXISTING WORK: WHERE NEW CONSTRUCTION ABUTS EXISTING WORK, ALL EXISTING WORK SHALL BE PROTECTED. CONTRACTOR SHALL REPLACE ANY DAMAGED EXISTING WORK AT NO ADDITIONAL EXPENSE TO THE OWNER. ALL NEW WORK WILL CONFORM TO EXISTING WORK, INCLUDING FLATWORK JOINTS, ELEVATIONS, COLOR, AND FINISH.
- FENCING: FENCE LOCATIONS SHOWN ARE DIAGRAMMATIC AND FINAL LOCATIONS ARE TO BE COORDINATED IN THE FIELD BY THE LANDSCAPE CONTRACTOR.

LAYOUT LEGEND

DETAIL CALLOUT	REFERENCED DETAIL NUMBER	REFERENCED DETAIL SHEET
ADJ.	ADJACENT	NATIVE GRASS
EQ.	EQUAL DISTANT	OH
BOC	BACK OF CURB	PA
BOW	BACK OF WALK	PA
CJ	CONSTRUCTION/COLD JOINT	PL
CL	CENTERLINE	POB
CLR	CLEAR	SIM
EJ	EXPANSION JOINT	SYM
EQ	EQUAL DISTANT	TYP
ILO	IN LIEU OF	T, TURF
MAX	MAXIMUM	UNO
MIN	MINIMUM	VIF
		NATIVE GRASS
		OVERHANG
		PLANTING AREA
		PROPERTY LINE
		POINT OF BEGINNING
		SIMILAR TO
		SYMMETRICAL
		TYPICAL
		TURF AREA
		UNLESS NOTED OTHERWISE
		VERIFY IN FIELD

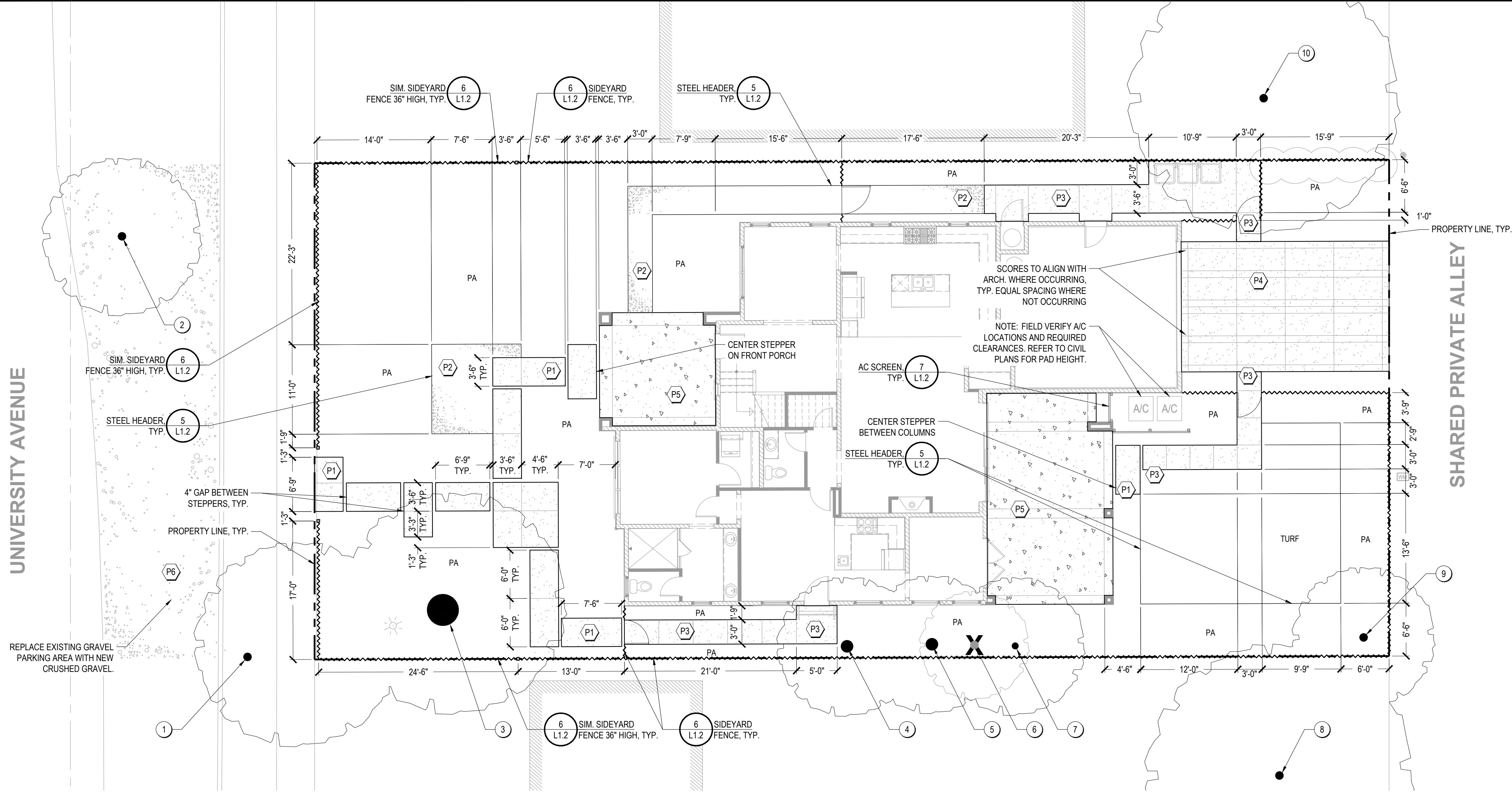
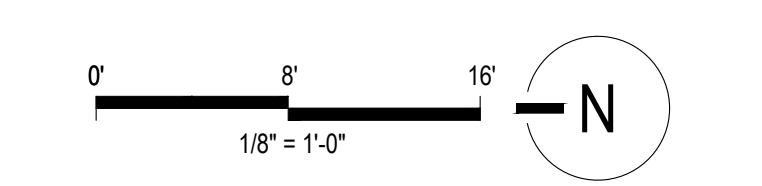
PAVING AND FENCING LEGEND

- P1** CONCRETE PAVERS PER DETAIL 1/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. 4" GAP FILL WITH P2.
- P2** DECORATIVE GRAVEL PER DETAIL 4/L1.2: 3/8" CRUSHED AGGREGATE, COLOR: YOSEMITE TAN (BUILDER TO VERIFY), BY LYNSCO (650.364.1730), 2" OVER COMPACTED SUBGRADE OVER FILTER FABRIC, WITH 8" GALVANIZED WIRE STAPLES.
- P3** CONCRETE PAVING (PEDESTRIAN) PER DETAIL 2/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS.
- P4** CONCRETE PAVING (VEHICULAR) PER DETAIL 3/L1.2: STANDARD GRAY CONCRETE WITH ACID ETCH FINISH WITH TOP CAST #01 SURFACE RETARDANT MANUFACTURED BY GRACE PRODUCTS. TOOLED SCORE JOINTS AS SHOWN ON PLANS.
- P5** CONCRETE TO BE POURED WITH ARCHITECTURE. REFER TO STRUCTURAL DRAWINGS.
- P6** FIELD: CRUSHED AGGREGATE IN RIGHT OF WAY PER COUNTY REQUIREMENTS, REFER TO CIVIL PLANS.
- ~~~~~ SIDEYARD FENCE: PER DETAIL 6/L1.2, 302 LF (CONTRACTOR TO VERIFY, INCLUDES TWO 3'-0" GATE AND ONE 3'-6" GATE)
- ~~~~~ 36" FENCE SIMILAR TO SIDEYARD FENCE: PER DETAIL 6/L1.2, 101 LF (CONTRACTOR TO VERIFY)
- STEEL HEADER, TYP. REFER TO PLAN FOR EXACT LOCATIONS AND CONDITIONS.

SEE SHEET L1.2 FOR CONSTRUCTION DETAILS

I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED: *RJ Campbell* 02/17/23
DATE



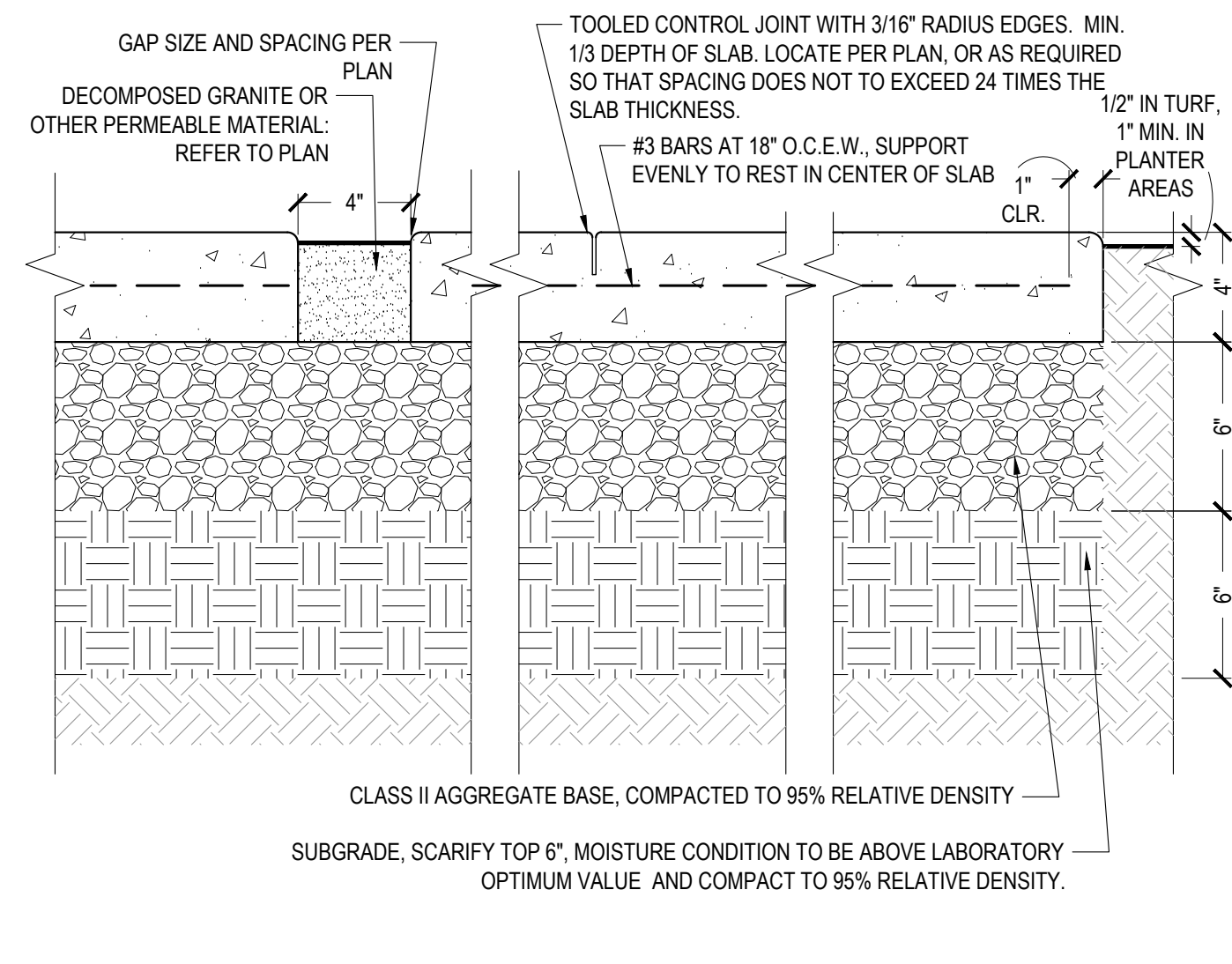
SITE CALCULATIONS (PERFORMANCE APPROACH)

749 University Avenue	SF	% OF LOT AREA
EXISTING		
TOTAL LOT SF	8,052	
TOTAL PERMEABLE AREA	4,330	54%
PROPOSED LOT LANDSCAPE AREA (% OF TOTAL AREA)	3,724	46%
SHRUB AND GROUND COVER AREA (% OF TOTAL LANDSCAPE AREA)	3,263	88%
PROPOSED TURF AREA (% OF TOTAL LANDSCAPE AREA)	461	12%
AGGREGATE PATIO	285	
WALKABLE CONCRETE PADS WITH GAPS	321	
TOTAL IMPERMEABLE AREA	3,722	46%
RESIDENCE/GARAGE FOOTPRINT (% OF TOTAL AREA)	2,376	30%
LANAI	409	
FRONT PORCH	202	
TRASH PAD AND WALK WAYS	327	
DRIVEWAY (CONCRETE)	408	

NOTE: WATER SUPPLY IS DOMESTIC.

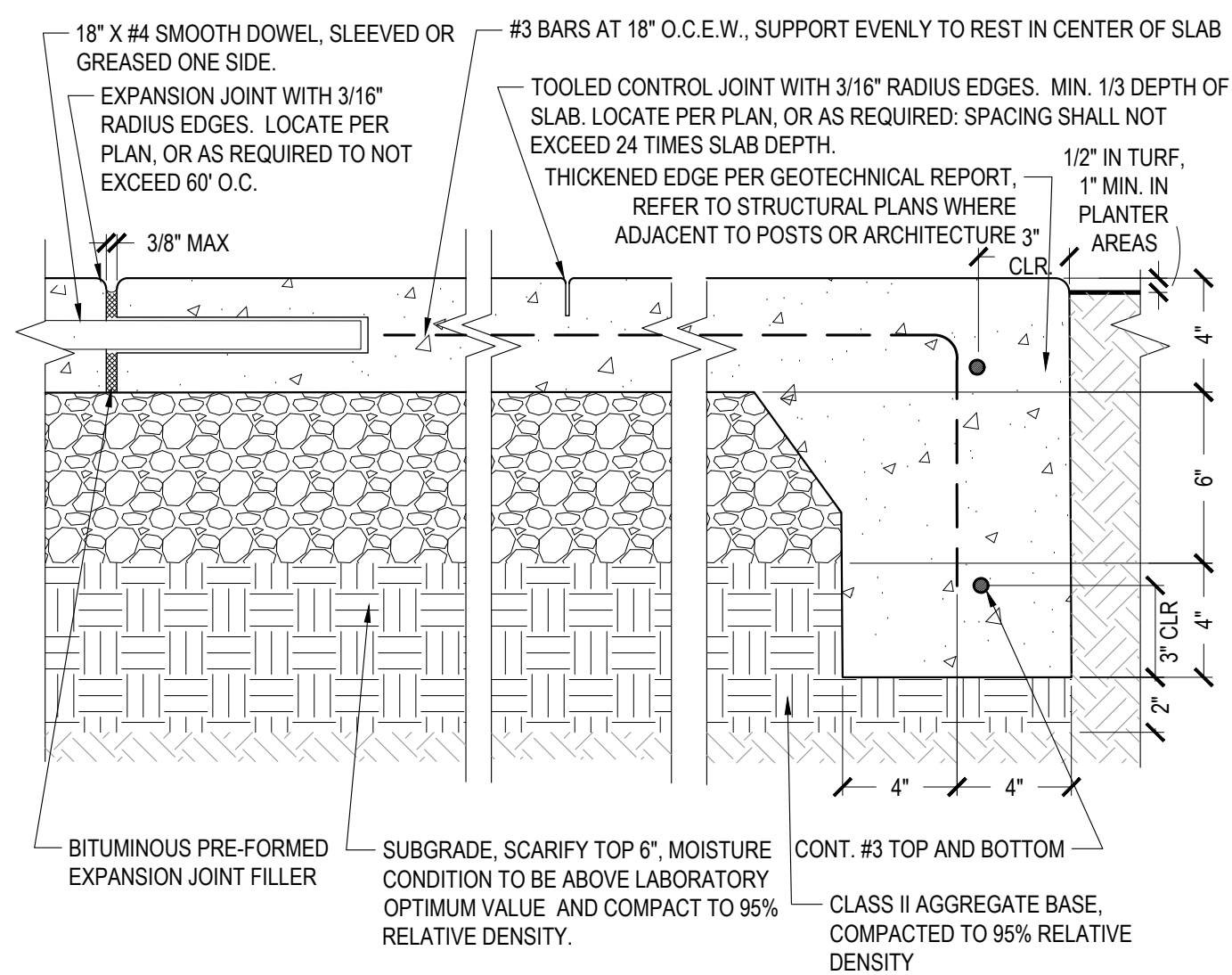
TREE PROTECTION CHART

KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	1239	Non-Protected	Off-site	<i>Pistacia chinensis</i>	Chinese pistache	11	Retain and Protect
2	1240	Non-Protected	Off-site	<i>Quercus agrifolia</i>	Coast Live Oak	10	Retain and Protect
3	1241	Protected	On-Site	<i>Cedrus deodara</i>	Deodar Cedar	25	Retain and Protect
4	1242	Protected	On-Site	<i>Platanus hybrida</i>	London Plane	15	Retain and Protect
5	1243	Non-Protected	On-Site	<i>Platanus hybrida</i>	London Plane	15	Retain and Protect
6	1244	Protected	On-Site	<i>Acer saccharinum</i>	Silver Maple	19	Remove
7	1245	Non-Protected	On-Site	<i>Platanus hybrida</i>	London Plane	10	Retain and Protect
8	1246	Protected	Off-site	<i>Umbellularia californica</i>	Bay Laurel	23	Retain and Protect
9	1247	Non-Protected	On-Site	<i>Liquidambar styraciflua</i>	Sweetgum	11	Retain and Protect
10	1248	Non-Protected	Off-site	<i>Ulmus parvifolia</i>	Chinese Elm	12	Retain and Protect



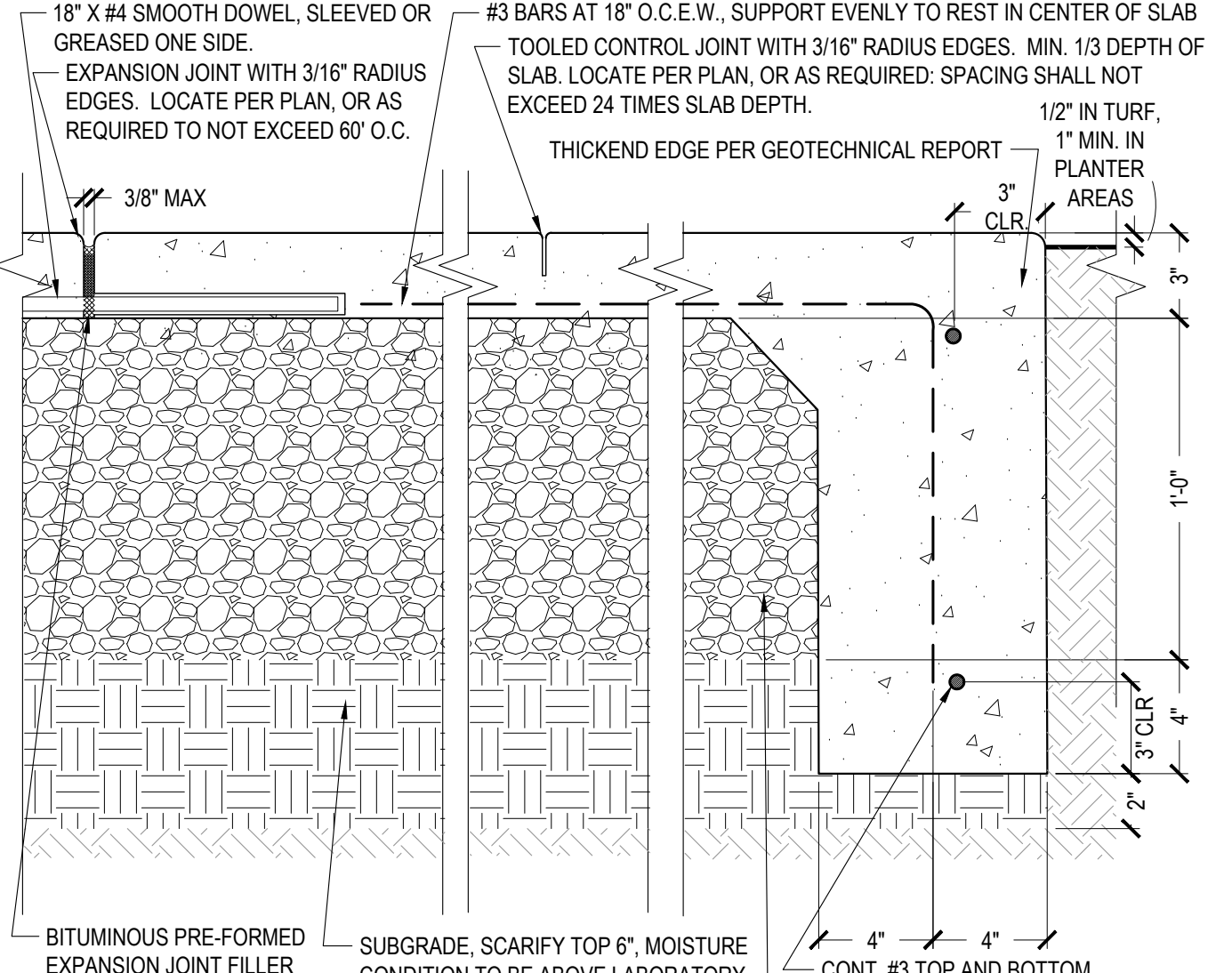
NOTES
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.

CONCRETE PAVERS
1" = 0'-6" SECTION



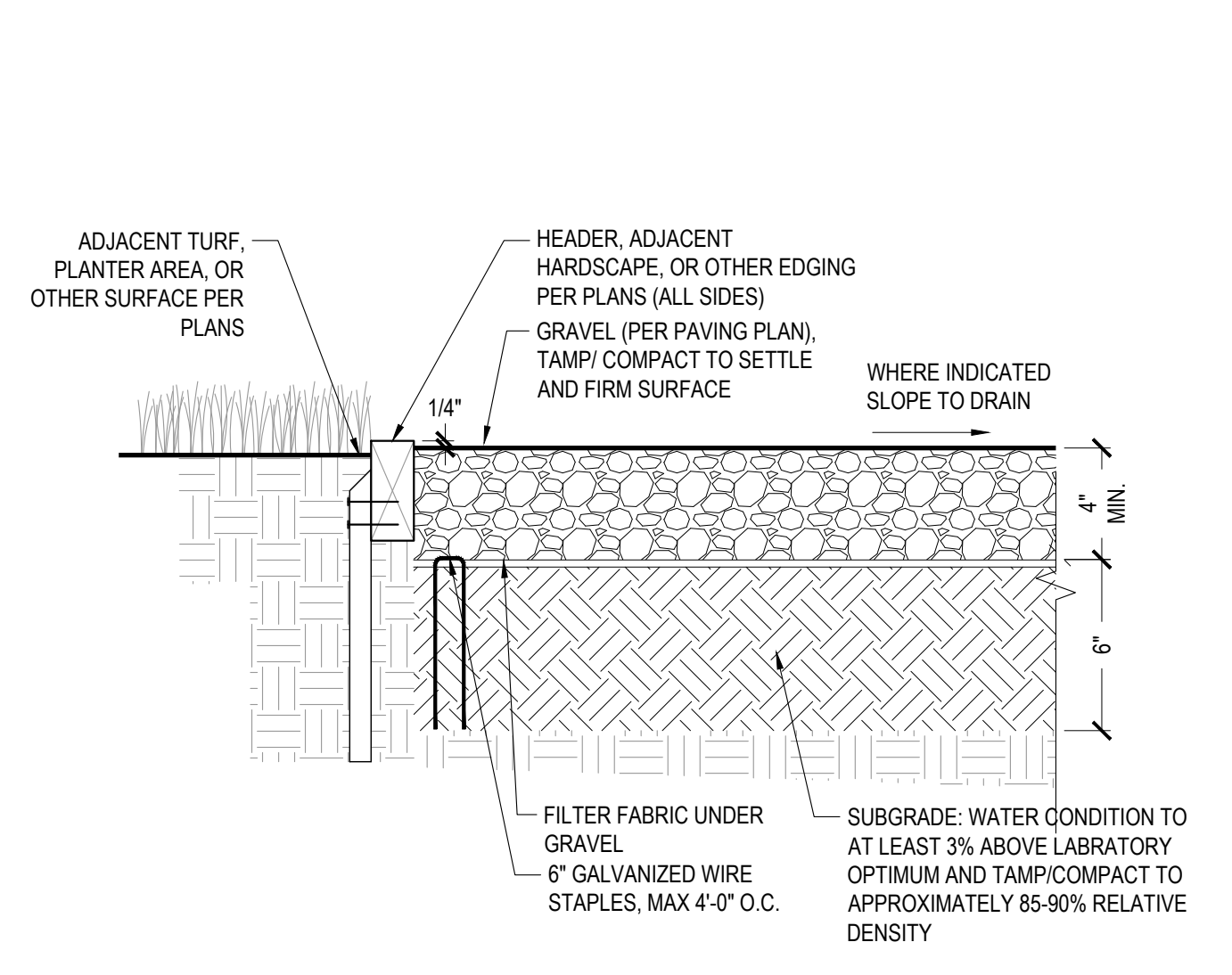
NOTES
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.

CONCRETE PAVING (PEDESTRIAN)
1" = 0'-6" SECTION



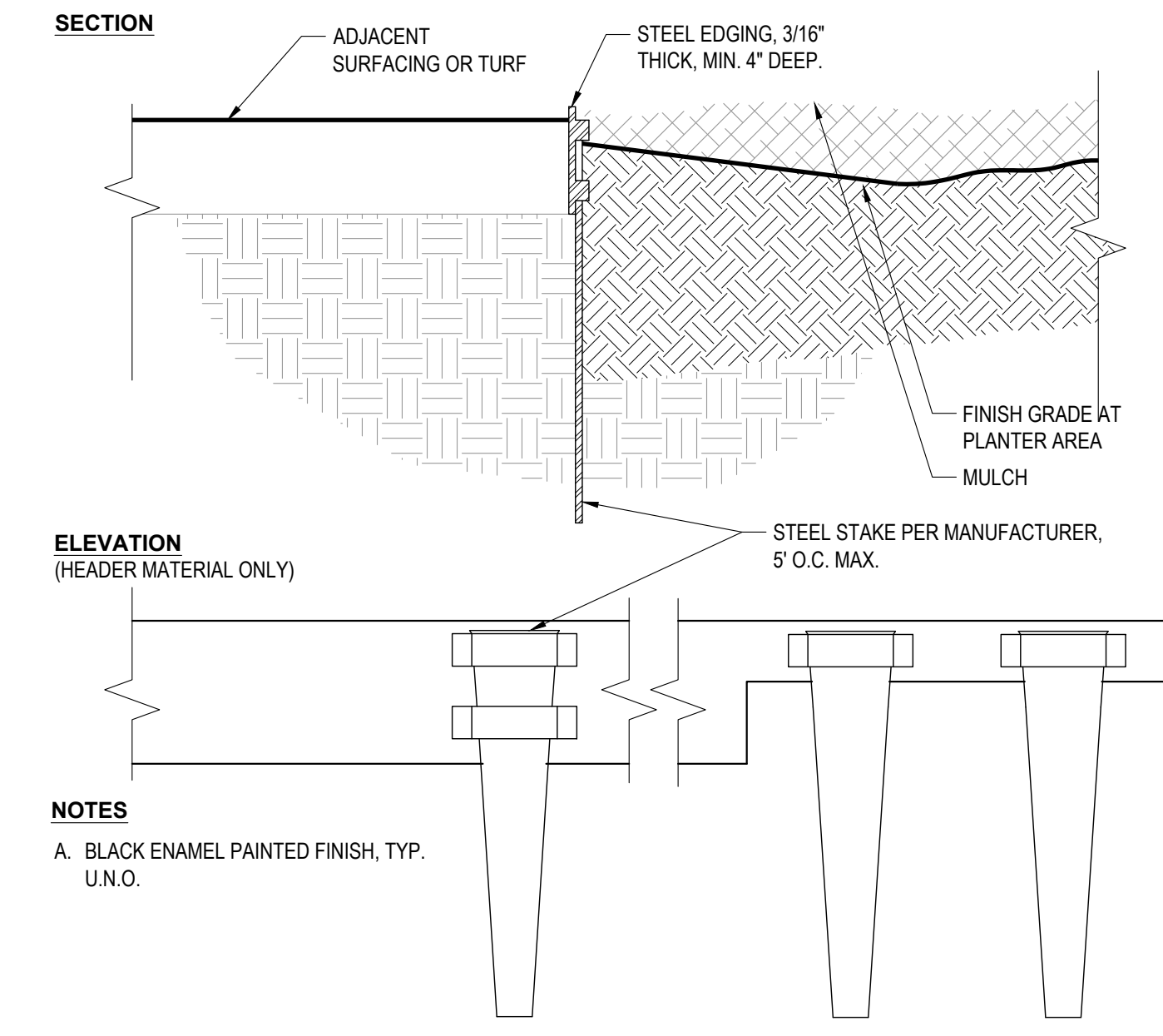
NOTES
A. PAVEMENT DEPTHS AND REQUIREMENTS HEREIN ARE SUPERCEDED BY THE PROJECT GEOTECHNICAL REPORT AND RECOMMENDATIONS.

3 CONCRETE PAVING (VEHICULAR)
1" = 0'-6" SECTION



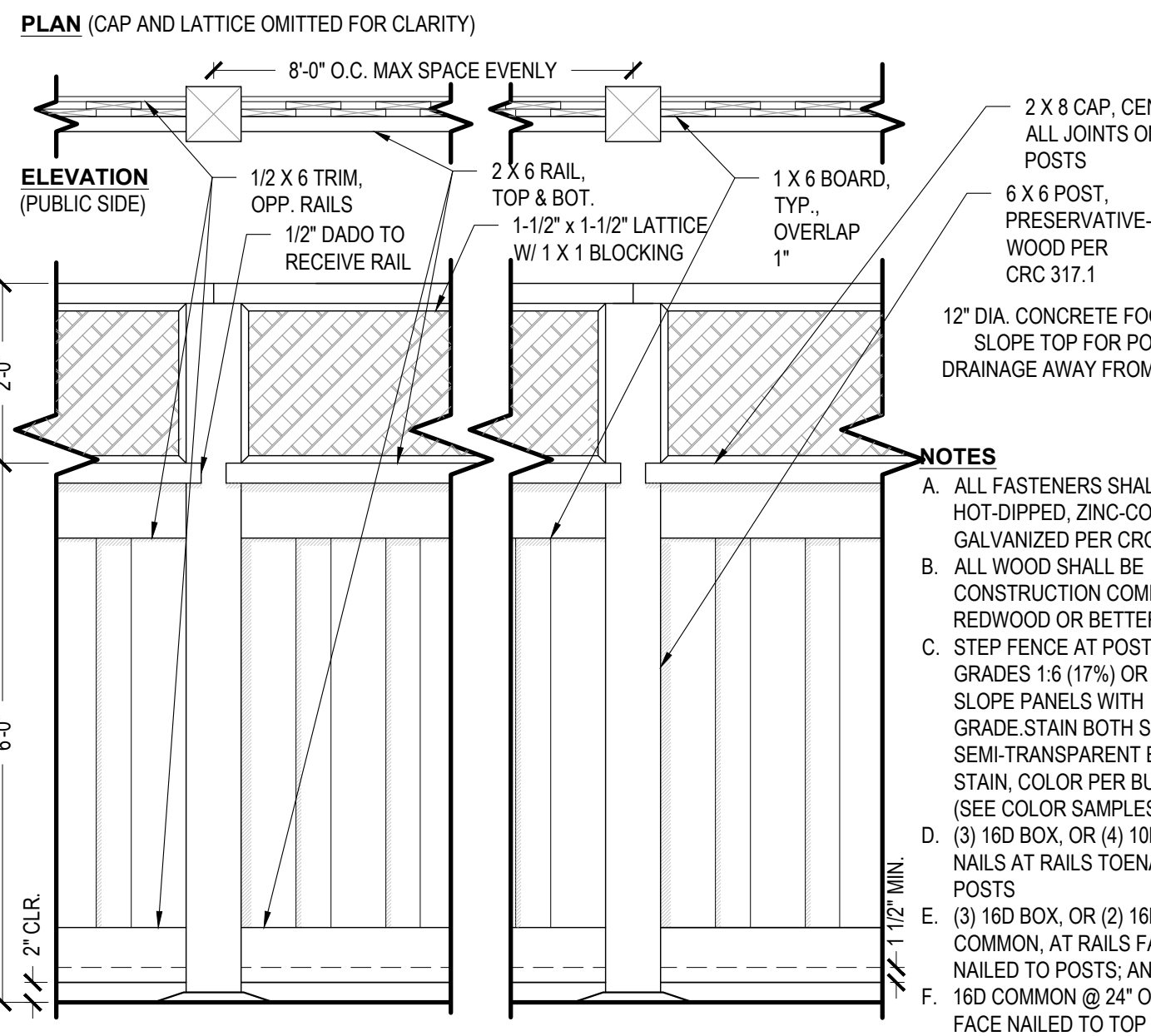
NOTE: WITHIN EXISTING TREE CANOPY, OR IN AREAS OF UNDISTURBED SUBGRADING, NO COMPACTION NEEDED.

4 CRUSHED GRAVEL (PEDESTRIAN)
1" = 0'-6" SECTION

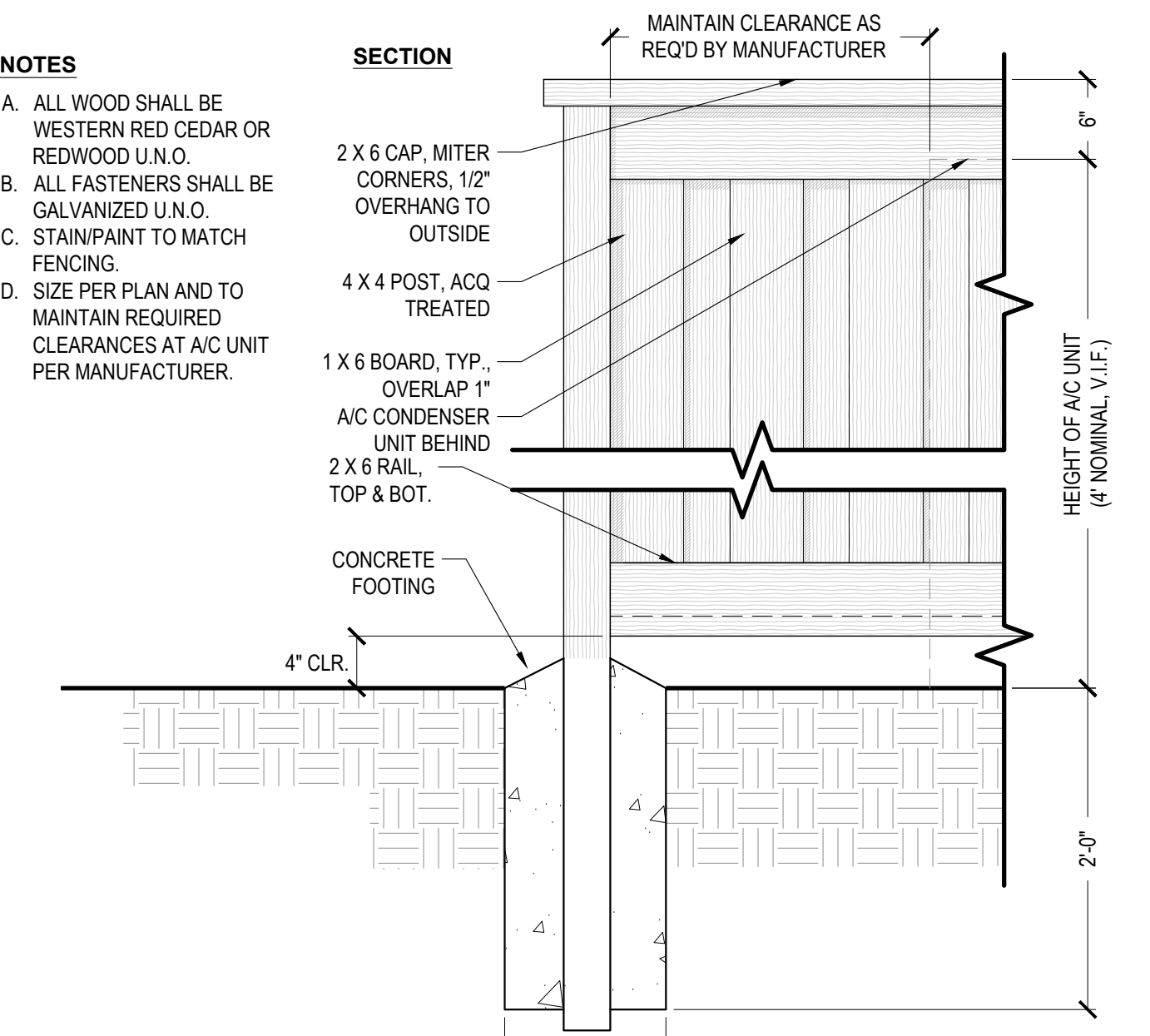


NOTES
A. BLACK ENAMEL PAINTED FINISH, TYP. U.N.O.

5 STEEL HEADER
1" = 0'-6" AS NOTED



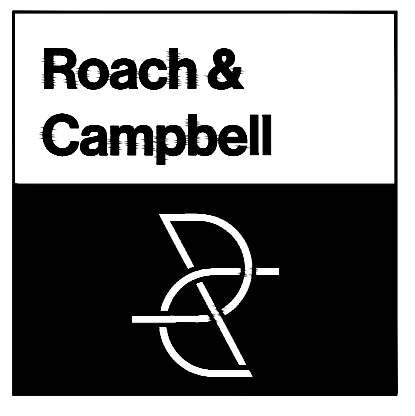
6 SIDERYARD FENCE WITH GATE
3/4" = 1'-0" AS NOTED



NOTES
A. ALL WOOD SHALL BE WESTERN RED CEDAR OR REDWOOD U.N.O.
B. ALL FASTENERS SHALL BE GALVANIZED U.N.O.
C. STAIN/PAIN TO MATCH FENCING.
D. SIZE PER PLAN AND TO MAINTAIN REQUIRED CLEARANCES AT A/C UNIT PER MANUFACTURER.

7 A/C SCREEN
1" = 1'-0" AS NOTED

REPRESENTATIVE STAIN COLORS



111 Scripps Drive
Sacramento, California 95825
916.945.8003 | 916.342.7119
4409 CRA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

**749 UNIVERSITY AVE
LOS ALTOS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

CONSTRUCTION DETAILS

DRAWN BY:
STAFF
CHECKED BY:
DWC
JOB NO.
20035
DATE
02/16/2023
REVISIONS:



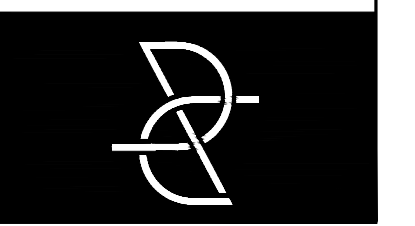
L1.2

DRAWINGS IN SET:

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ)



Roach & Campbell



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

**749 UNIVERSITY AVE
LOS ALTOS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

**PLANTING PLAN, NOTES,
AND LEGEND**

DRAWN BY:

STAFF

CHECKED BY:

DWC

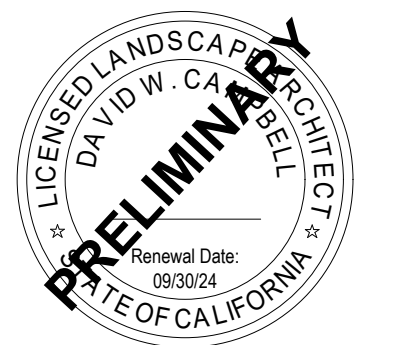
JOB NO.

20035

DATE

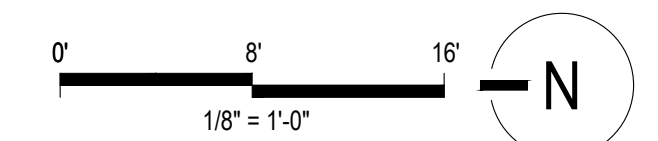
02/16/2023

REVISIONS:



I HAVE COMPLIED WITH THE CRITERIA OF THE WATER CONSERVATION IN LANDSCAPE ORDINANCE AND HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE AND IRRIGATION DESIGN.

SIGNED: *David W. Campbell* DATE: 02/17/23



WATER USE CALCULATIONS

Water Efficient Landscape Worksheet						Project: 20035	
749 University Ave.						Date: 2/16/2023	
Hydrozone/Planting Description	Plant Factor (PF)	Irrigation Method	Irrigation Efficiency	ETAF	Landscape Area (sf)	ETAF x Area	Estimated Total Water Use
Regular Landscape Areas							
Shrub and groundcover, Front (Low to Moderate)	0.35	DripLine	0.81	0.43	2,063	891	25,359
Shrub and groundcover, Rear (Low to Moderate)	0.35	DripLine	0.81	0.43	1,200	519	14,751
Turf, Rear (High)	0.9	MultiStrm	0.75	1.20	461	553	15,738
Totals					3,724	1,963	
Nearest Data Location: Los Altos						Estimated Total Water Use (ETWU): 55,848	
Reference Eto: 45.3						Maximum Allowed Water Allowance (MAWA): 57,526	
Reference ETAF: 0.55							

ETAF Calculations/Regular Landscape

Total ETAF x Area	1,410
Total Area (sf)	3,724
Average ETAF	0.38

Average ETAF for Regular Landscape Areas must be 0.55 or below for residential areas, 0.45 or below for non-residential areas, and 0.65 for DSA projects. These values are also reference values for determining MAWA.

ETAF Calculations/All Landscape

Total ETAF x Area	1,963
Total Area (sf)	3,724
Average ETAF	0.53

¹ETWU= Eto x 0.62 x ETAF x Area
²MAWA = (Eto) (0.62) [(ETAF x LA) + ((1-ETAF) x SLA)]
³ETWU must be less than or equal to MAWA

NOTE: PLANT FACTORS ARE AS FOLLOWS: .3 FOR LOW WATER USE PLANTS, .5 FOR MEDIUM WATER USE PLANTS, AND .9 FOR HIGH WATER USE PLANTS.



PLANT LEGEND

TREES	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
	PIS KEI	PISTACIA CHINENSIS 'KEITH DAVEY' / KEITH DAVEY CHINESE PISTACHE WUCOLS (M)	24" BOX	1	
SHRUBS	CODE	BOTANICAL / COMMON NAME	CONT	QTY	
	AGA BLF	AGAVE X 'BLUE FLAME' / BLUE FLAME AGAVE WUCOLS (L), (HW) 2'-3'	5 GAL.	3	
	CHO ELC	CHONDROPETALUM TECTORUM 'EL CAMPO' / EL CAMPO SMALL CAPE RUSH WUCOLS (L), (HW) 2'-3'	5 GAL.	8	
	LIG TEX	LIGUSTRUM JAPONICUM 'TEXANUM' / WAX LEAF PRIVET WUCOLS (M) (HW) 4'	5 GAL.	35	
	LOM LON	LOMANDRA LONGIFOLIA 'BREEZE' / DWARF MAT RUSH WUCOLS (L), (HW) 3'	5 GAL.	64	
	PEN HAM	PENNISSETUM ALPECOUROIDES 'HADELN' / HADELN FOUNTAIN GRASS WUCOLS (L)	5 GAL.	156	
	PHO TEN	PHORMIUM TENAX 'MAORI MAIDEN/SUNRISE' / TRICOLOR NEW ZEALAND FLAX WUCOLS (M), SW EXPOSURE	5 GAL.	6	
	SAL MEX	SALVIA CHAMAEDRYOIDES / MEXICAN BLUE SAGE WUCOLS (L), NE EXPOSURES	5 GAL.	5	
	TUL VAR	TULBAGHIA VIOLACEA 'VARIAGATA' / STRIPED SOCIETY GARLIC WUCOLS (L)	5 GAL.	15	
	WES MUN	WESTRINGIA FRUTICOSA 'WES05' TM / MUNDI COAST ROSEMARY WUCOLS (L)	5 GAL.	31	
GROUND COVERS	CODE	BOTANICAL / COMMON NAME	CONT	SPACING	QTY
	DYM MAR	DYMONDIA MARGARETAE / SILVER CARPET DYMONDIA WUCOLS (L)	4" POT	12" o.c.	108
	MYO PUC	MYOPORUM X 'PUTAH CREEK' / PUTAH CREEK MYOPORUM WUCOLS (L), (H) 1' X (W) 10'-15'	5 GAL.	48" o.c.	33
	TUR SOD	TURF / 90% DWARF FESCUE / 10% KENTUCKY BLUE WUCOLS (H)	SOD		461 SF

PLANTING NOTES

- SITE ACCEPTANCE:** THE CONTRACTOR SHALL OBSERVE THE SITE AND VERIFY THAT ROUGH GRADING AND ALL OTHER WORK HAS BEEN COMPLETED TO THE CONTRACTOR'S SATISFACTION. ANY PREVIOUS WORK THAT IS NOT COMPLETE SHALL BE BROUGHT TO THE OWNER'S OR LANDSCAPE ARCHITECT'S ATTENTION IN WRITING. BEGINNING WORK CONSTITUTES ACCEPTANCE OF THE SITE.
- SITE PREPARATION:** ALL EXISTING VEGETATION SHALL BE REMOVED (CLEAR AND GRUB). PRIOR TO ROUGH GRADING OPERATIONS, PRESERVE ALL TOPSOIL BY STOCKPILING ON SITE. TOPSOIL SHALL BE REPLACED IN PLANTING AREAS TO ACHIEVE FINAL FINISH GRADES. FOR PLANTERS IN LIME-TREATED AREAS, REMOVE AND DISPOSE OF EXISTING SOIL TO A DEPTH OF 24" THROUGHOUT THE ENTIRE PLANTER, AND REPLACE WITH CLEAN TOPSOIL.
- POSITIVE DRAINAGE:** ENSURE POSITIVE DRAINAGE IN ALL LANDSCAPE AREAS, AND SHALL ADJUST ELEVATIONS AS REQUIRED. MINIMUM SLOPE IN TURF AREAS SHALL BE 0.5% TO OUTLET, MINIMUM SLOPE IN PLANTED AREAS SHALL BE 1.0%.
- EXPLANATION OF DRAWINGS:** PLANTING INTENT IS TO COMPLETELY FILL ALL PLANTING AREAS, UNLESS SPECIFICALLY NOTED OTHERWISE. QUANTITIES, (IF SHOWN) ARE FOR CONTRACTOR'S CONVENIENCE ONLY, AND SHALL NOT RELIEVE THE CONTRACTOR OF THE OBLIGATION TO INSTALL PLANTS TO MEET THIS INTENT. PLANTING DETAILS ARE CONSIDERED TYPICAL AND ALL WORK SHALL CONFORM TO THESE DETAILS.
- SUBSTITUTIONS:** IN THE EVENT ANY PLANT MATERIAL SPECIFIED IS NOT AVAILABLE, CONTRACTOR SHALL SUBMIT PROPOSED SUBSTITUTION IMMEDIATELY TO LANDSCAPE ARCHITECT. LANDSCAPE ARCHITECT RESERVES THE RIGHT TO DETERMINE THE SUITABILITY OF ANY PROPOSED SUBSTITUTION. SUBSTITUTIONS SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- PLANTING PIT DRAINAGE:** EXCAVATED PLANTING PITS SHALL HAVE POSITIVE DRAINAGE. PLANT PITS WHEN FULLY FLOODED WITH WATER SHALL DRAIN WITHIN 2 HOURS OF FILLING. IF PLANTING PITS DO NOT DRAIN, OTHER MEASURES, INCLUDING A 1" DIAMETER X 8' DEEP AUGURED HOLE BACKFILLED WITH CRUSHED DRAIN ROCK, WILL BE REQUIRED.
- PLANT MATERIAL:** ALL PLANT MATERIAL SHALL COMPLY WITH ANSI Z60.1 'STANDARD FOR NURSERY STOCK' NOTES AND DETAILS ON THE DRAWINGS. UNLESS OTHERWISE NOTED MINIMUM PLANT SIZES SHALL BE AS FOLLOWS: EVERGREEN SHRUBS (EXCEPT DWARF VARIETIES): 9" H. X 8" W. FOR 1-GALLON (#1); 15" H. X 12" W. FOR 5-GALLON (#5); AND 30" H. X 24" W. FOR 15-GALLON (#15). SINGLE TRUNK TREES: 5" H. W/ 1" CALIPER FOR 15-GALLON (#15); 8" H. W/ 2" CALIPER FOR 24" BOX (#25). CONTRACTOR SHALL SUBMIT PHOTOS OF ALL TREES 36" AND ABOVE FOR LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO PURCHASE OR DELIVERY. APPROVAL OF PHOTOS DOES NOT PRECLUDE ON-SITE REJECTION OF UNSUITABLE PLANT MATERIAL.
- SITE CLEANLINESS:** THE CONTRACTOR IS RESPONSIBLE TO KEEP THE SITE CLEAN. FOR SOIL EROSION CONTROL MEASURES, AND FOR ANY OTHER GENERAL REQUIREMENTS. SHOULD EXISTING CONDITIONS REQUIRE MITIGATION, THE CONTRACTOR SHALL ALERT THE OWNER OR LANDSCAPE ARCHITECT PRIOR TO PERFORMING WORK.
- UNDERGROUND UTILITIES:** THE CONTRACTOR SHALL VERIFY ALL UNDERGROUND UTILITIES PRIOR TO BEGINNING WORK. CALL C.G.A. (811) TO LOCATE EXISTING UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE REPAIR OR REPLACEMENT OF ANY DAMAGED UTILITIES, TO THE SATISFACTORY OF THE OWNER AND GOVERNING AGENCY AT NO COST TO THE OWNER OR INCREASE IN BID AMOUNT.
- BARK MULCH:** A 3" LAYER OF 'WALK-ON' BARK MULCH SHALL BE INSTALLED IN ALL PLANTING BEDS. CONTRACTOR SHALL SUBMIT A MULCH SAMPLE PRIOR TO ORDER. APPLY PRE-EMERGENT PRIOR TO PLACING MULCH. IF MAINTENANCE PERIOD EXTENDS PAST 60 CALENDAR DAYS FROM APPLICATION, APPLY AGAIN PER MANUFACTURER'S INSTRUCTIONS.
- SOIL FERTILITY ANALYSIS AND AMENDMENT:** THE CONTRACTOR IS RESPONSIBLE FOR OBTAINING A SOIL SAMPLE AND LABORATORY SOIL FERTILITY ANALYSIS FOR EACH 10,000SF OF PLANTED AREA, AND FOR ALL SOURCES OF IMPORT (IF APPLICABLE). SUBMIT ANALYSIS TO LANDSCAPE ARCHITECT FOR REVIEW, AND DOCUMENTATION OF AMENDMENT FOR COMPLIANCE WITH WATER EFFICIENT LANDSCAPE ORDINANCE. ALL PLANTING AREAS, INCLUDING PLANTING PITS, SHALL BE AMENDED PER THE SOILS REPORT, AND PER LOCAL ORDINANCE, INCLUDING INCORPORATING COMPOST AT THE RATE OF A MINIMUM OF 4 CU YD PER 1,000 SF OF LANDSCAPE AREA TO A DEPTH OF SIX INCHES. SOILS WITH GREATER THAN 6% ORGANIC MATTER IN THE TOP SIX INCHES OF SOIL ARE EXEMPT FROM ADDING COMPOST AND TILLING. BACKFILL FOR ALL SUCCULENTS SHALL BE 50% CLEAN WASHED SAND.
- CERTIFICATE OF COMPLETION:** A CERTIFICATE OF COMPLETION SHALL BE FILLED OUT AND CERTIFIED BY EITHER THE DESIGNER OF THE LANDSCAPE PLANS, IRRIGATION PLANS, OR THE LICENSED LANDSCAPE CONTRACTOR FOR THE PROJECT AT THE COMPLETION OF THE PROJECT AND SUBMITTED WITH THE SOIL ANALYSIS REPORT TO THE AUTHORITY HAVING JURISDICTION.
- MAINTENANCE PERIOD:** SHALL BE A MINIMUM OF 60 CALENDAR DAYS. ANY PLANT THAT HAS BEEN REPLACED DURING THE MAINTENANCE PERIOD SHALL BE SUBJECT TO AN ADDITIONAL 60 DAYS FROM THE DATE OF REPLACEMENT. ANY DAY OF IMPROPER MAINTENANCE, AS DETERMINED BY THE LANDSCAPE ARCHITECT OR LOCAL JURISDICTION, SHALL NOT COUNT TOWARD THE MAINTENANCE PERIOD.
- ROOT CONTROL BARRIERS:** WHERE STREET TREES ARE WITHIN 3 FEET OF THE SIDEWALK OR CURB, PROVIDE A ROOT CONTROL BARRIER PANEL ALONG THE FACE OF SIDEWALK/CURB. PANELS SHALL BE 12" DEEP ALONG SIDEWALKS, AND 18" DEEP ALONG CURBS. CENTER PANELS AT EACH TREE AND EXTEND 10' IN EACH DIRECTION.
- UTILITY CLEARANCE:** NO TREES SHALL BE PLANTED WITHIN 5' OF WATER AND SANITARY SEWER LINES. NO TREES SHALL BE PLANTED UNDER EXISTING OR FUTURE OVERHEAD POWERLINES, AND ALL REQUIRED CLEARANCES SHALL BE MAINTAINED. ALL PLANTING EXCEPT LOW-GROWING GROUNDCOVER SHALL BE 3' CLEAR OF ALL FIRE APPURTENANCES PER NFPA 18.5.7
- WORK IN RIGHT-OF-WAY:** ALL WORK WITHIN THE RIGHT OF WAY OR TO BE MAINTAINED BY THE LOCAL AGENCY SHALL BE INSTALLED PER THE LATEST EDITION OF THE AGENCY CONSTRUCTION STANDARDS, AND ALL OTHER AGENCY REQUIREMENTS.
- TURF INSTALLATION:** CONTRACTOR SHALL PLACE AND ESTABLISH SOD IN ALL AREAS AS DELINEATED ON THE PLANS AS FOLLOWS.
 - REMOVE ALL ROCKS AND OTHER DELETERIOUS MATERIAL GREATER THAN 3/4" IN DIAMETER. ESTABLISH SMOOTH GRADES, WITH NO PONDING. ENSURE ADEQUATE SOIL COMPACTION TO AVOID SETTLEMENT, WITHOUT EXCEEDING 85% RELATIVE DENSITY. SUBSEQUENT SETTLEMENT SHALL BE CLEAR EVIDENCE OF INADEQUATE COMPACTION.
 - WITHIN 24 TO 48 HOUR OF SODDING, MOISTEN AREA TO BE SODDED TO A DEPTH OF AT LEAST 6", AND MAINTAIN MOISTURE UNTIL SODDING. DO NOT ALLOW SOIL TO BE COME SATURATED.
 - APPLY A STARTER FERTILIZER PRIOR TO LAYING SOD.
 - INSTALL SOD WITHIN 12 HOURS OF DELIVERY. DO NOT ALLOW SOD TO SIT IN DIRECT SUNLIGHT OR TO DRY OUT.
 - STARTING AT A STRAIGHT EDGE, LAY SOD IN STAGGERED ROWS, OFFSETTING JOINTS A MINIMUM OF 2 FEET.
 - AFTER LAYING, ROLL SOD WITH A LIGHT-WEIGHT WATER-DRUM ROLLER (APPROXIMATELY 50 LBS), AND ENSURE FULL CONTACT WITH SOIL. WATER AS SOON AS POSSIBLE, AND IN ALL CASES, WITHIN 1 HOUR AFTER LAYING.

SEE SHEET L2.2 FOR PLANTING PALETTE L2.3 FOR PLANTING DETAILS AND L2.4 FOR TREE PROTECTION PLAN

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (A.H.J.)

L2.1

DRAWINGS IN SET:



PISTACIA CHINENSIS 'KEITH DAVEY'
KEITH DAVEY CHINESE PISTACHE

MATURITY: 30'-60' H, 30'-60' W
GROWTH RATE: 1'-2' / YR



AGAVE X 'BLUE FLAME'
BLUE FLAME AGAVE

MATURITY: 2'-3' H, 3'-4' W
GROWTH RATE: SLOW



CHONDROPETALUM TECTORUM 'EL CAMPO'
EL CAMPO SMALL CAPE RUSH

MATURITY: 2'-3' H, 3'-4' W
GROWTH RATE: MODERATE



LIGUSTRUM JAPONICUM 'TEXANUM'
WAX LEAF PRIVET

MATURITY: 6'-8' H, 4'-6' W
GROWTH RATE: FAST



LOMANDRA LONGIFOLIA 'BREEZE'
DWARF MAT RUSH

MATURITY: 2'-3' H, 2'-4' W
GROWTH RATE: MODERATE



PENNISETUM ALOPECUROIDES 'HAMELN'
HAMELN FOUNTAIN GRASS

MATURITY: 2'-3' H, 2'-3' W
GROWTH RATE: MODERATE



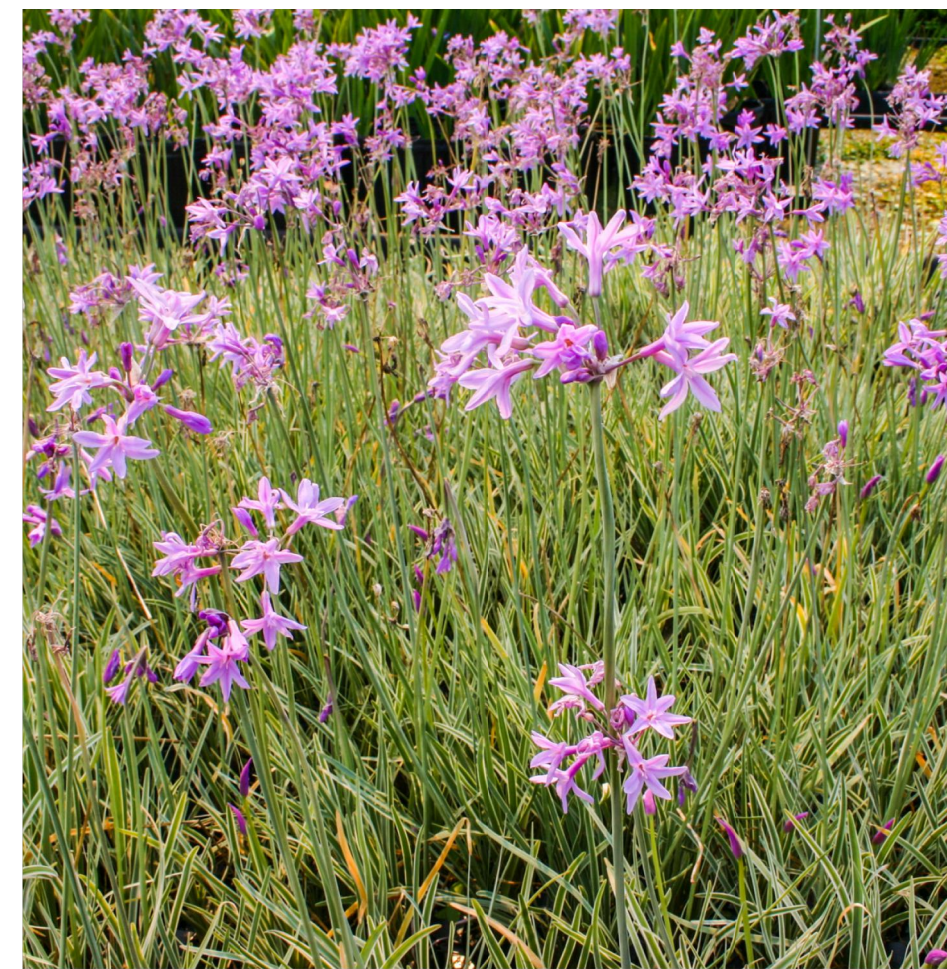
PHORMIUM TENAX 'MAORI MAIDEN/SUNRISE'
TRICOLOR NEW ZEALAND FLAX

MATURITY: 2'-3' H, 5'-6' W
GROWTH RATE: MODERATE



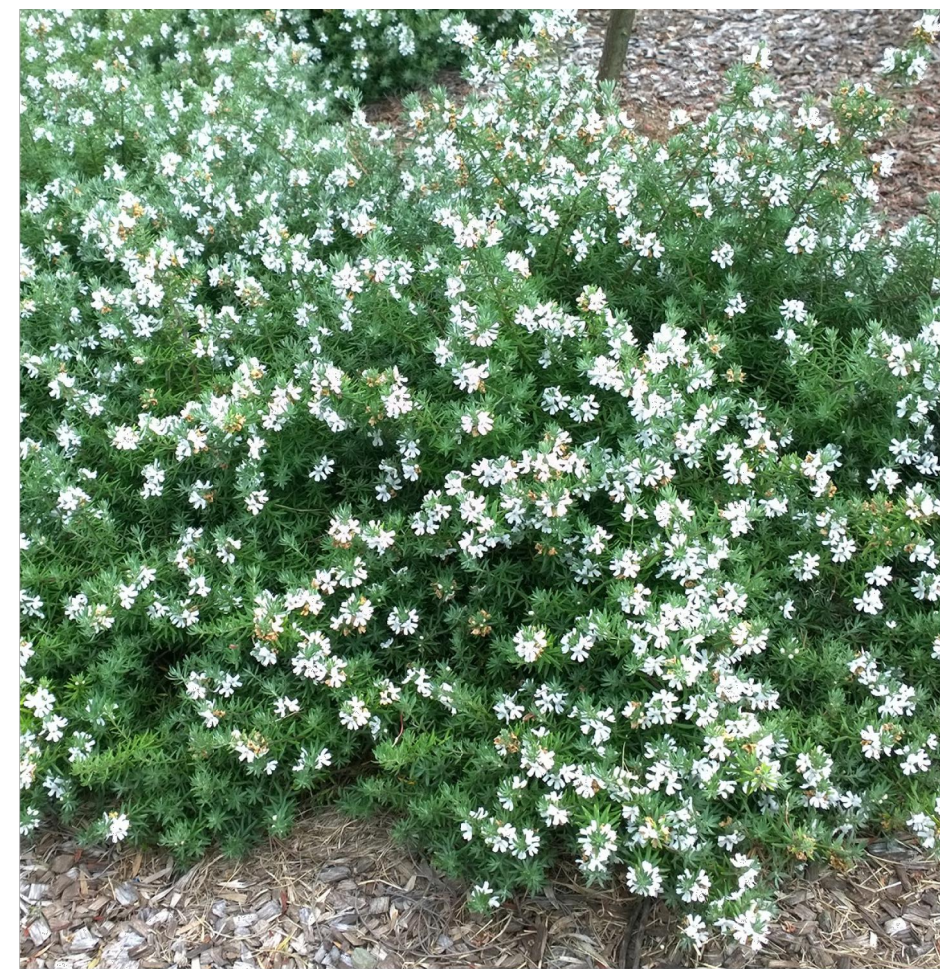
SALVIA CHAMAEDRYOIDES
MEXICAN BLUE SAGE

MATURITY: 1'-2' H, 2'-3' W
GROWTH RATE: FAST



TULBAGHIA VIOLACEA 'VARIEGATA'
STRIPED SOCIETY GARLIC

MATURITY: 1'-2' H, 1'-2' W
GROWTH RATE: FAST



WESTRINGIA FRUTICOSA 'WES05'™
MUNDI COAST ROSEMARY

MATURITY: 1'-2' H, 4'-6' W
GROWTH RATE: SLOW



DYMONDIA MARGARETAE
SILVER CARPET DYMONDIA

MATURITY: 2"-3" H, 1'-2' W
GROWTH RATE: SLOW



MYOPORUM X 'PUTAH CREEK'
PUTAH CREEK MYOPORUM

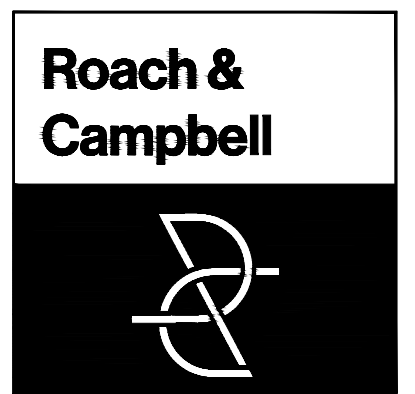
MATURITY: 1' H, 8' W
GROWTH RATE: FAST



TURF

90% DWARF FESCUE + 10% KENTUCKY BLUE

MATURITY: 1.5"-2" H
GROWTH RATE: FAST



111 Scripps Drive
Sacramento,
California 95825
916.945.8003 | 916.342.7119
4409 CRLA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

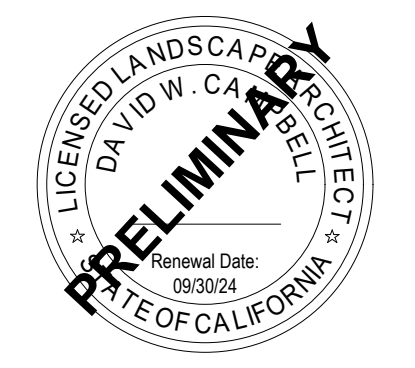
**749 UNIVERSITY AVE
LOS ALTOS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

PLANTING PALETTE

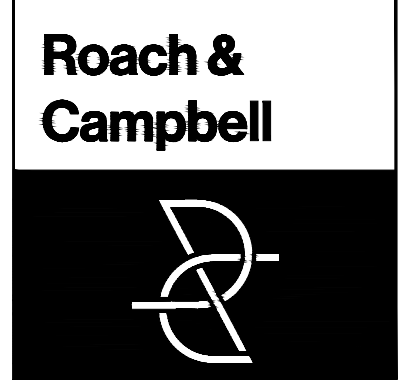
DRAWN BY: _____
STAFF _____
CHECKED BY: _____
DWC _____
JOB NO. _____
20035 _____
DATE _____
02/16/2023 _____
REVISIONS: _____



L2.2

DRAWINGS IN SET:

DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ)



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California 95825
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4409 CRA 5044

LANDSCAPE IMPROVEMENT PLANS FOR

**749 UNIVERSITY AVE
LOS ALTOS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

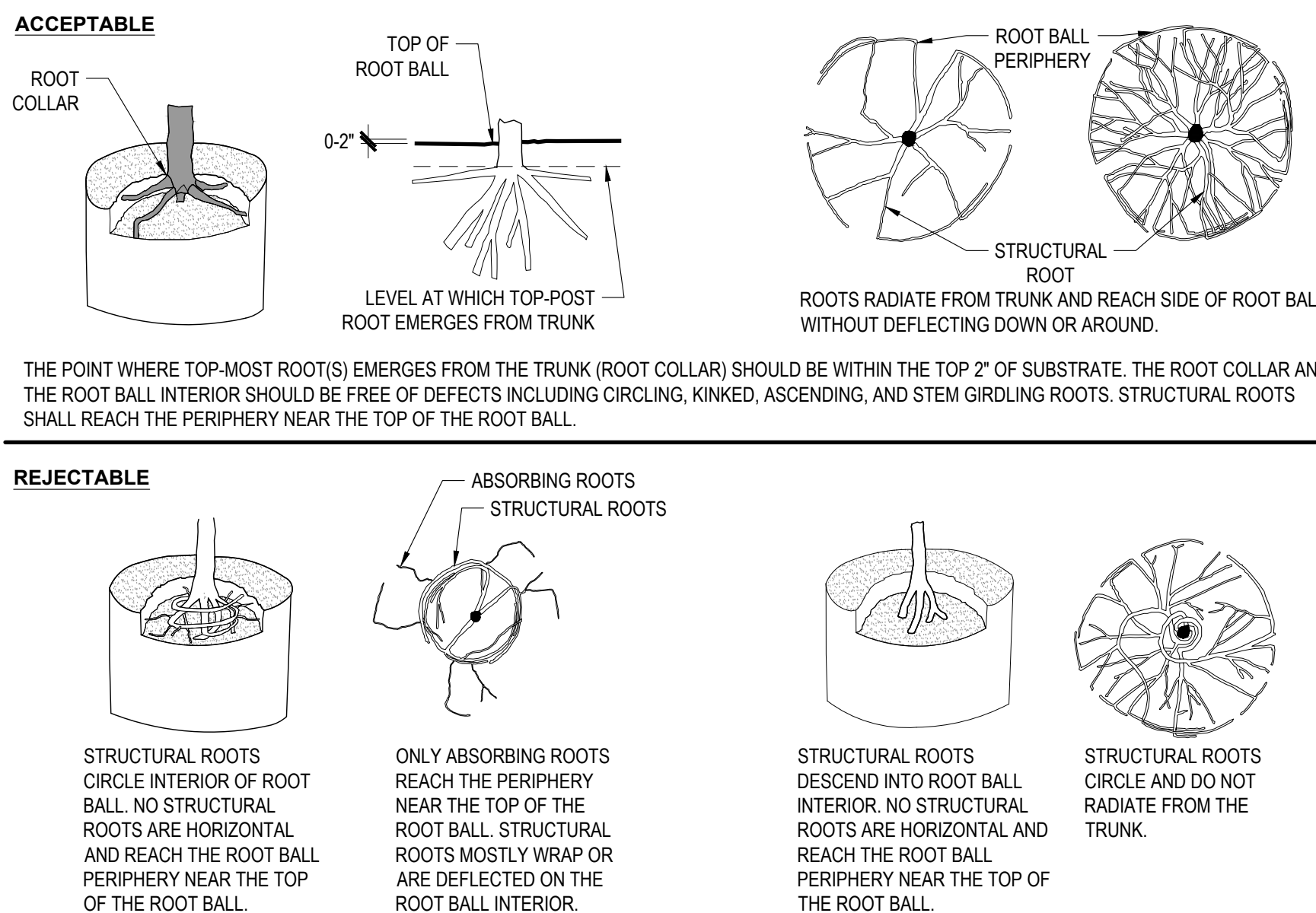
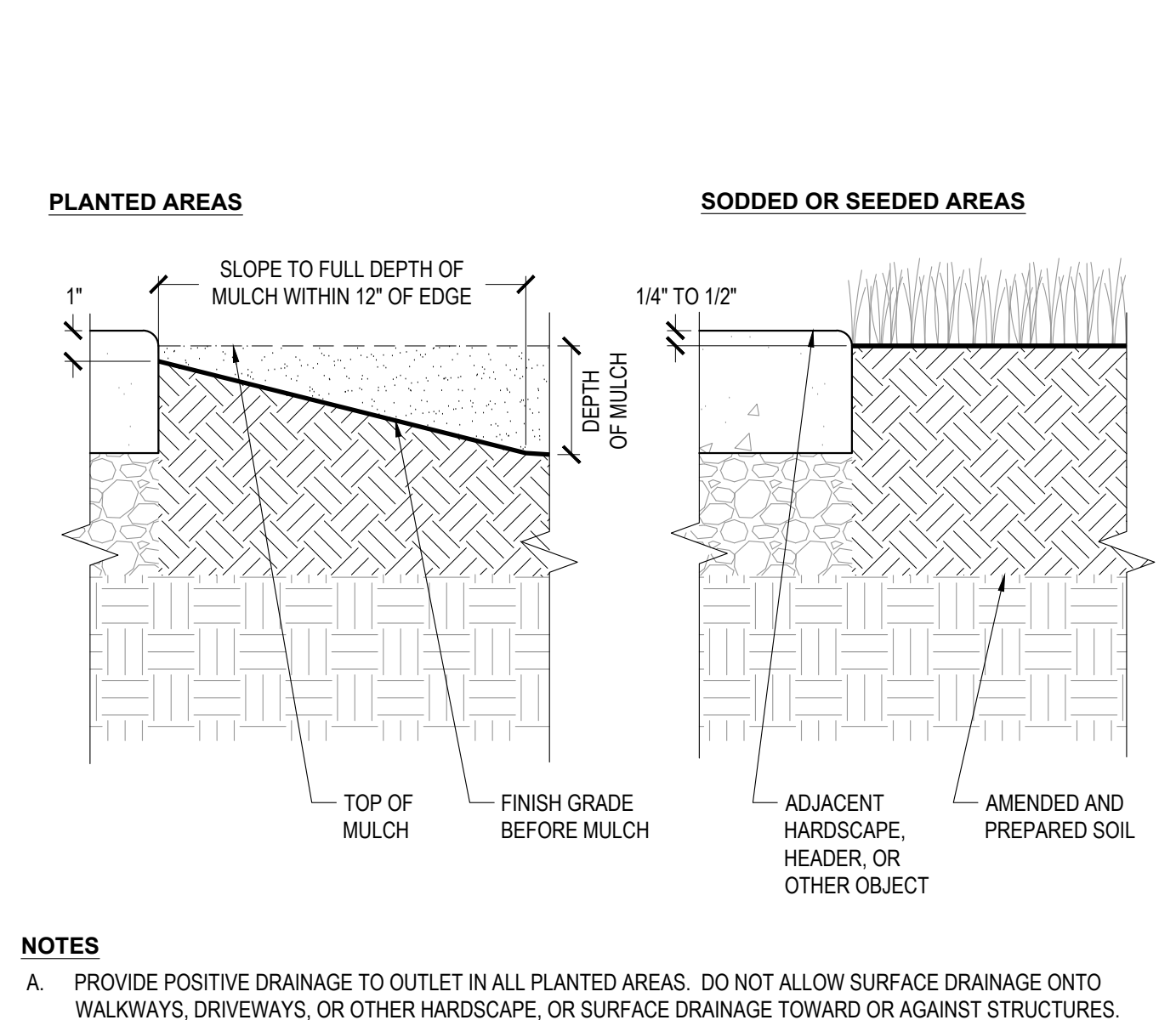
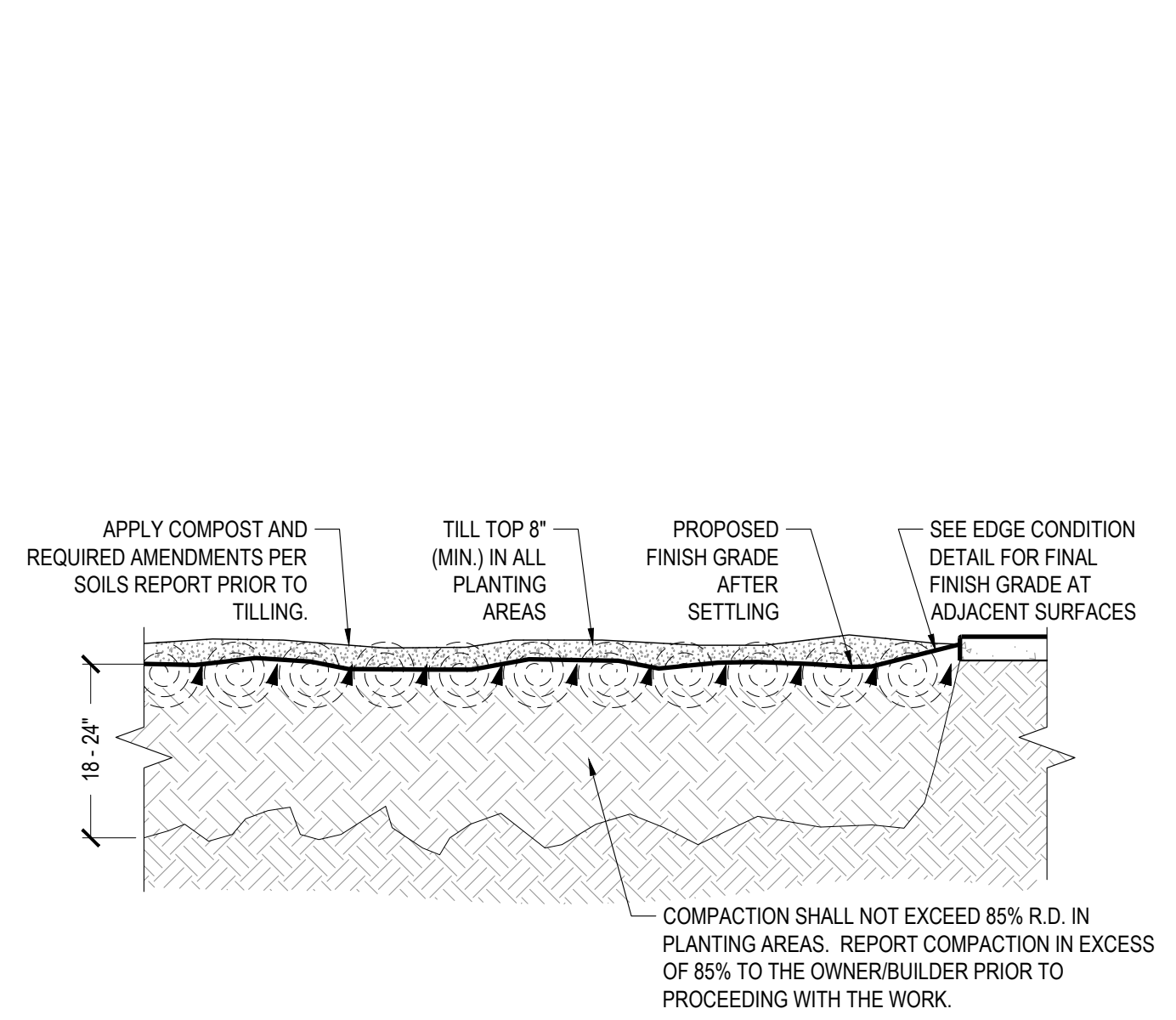
PLANTING DETAILS

DRAWN BY:
STAFF
CHECKED BY:
DWC
JOB NO.
20035
DATE
02/16/2023
REVISIONS:

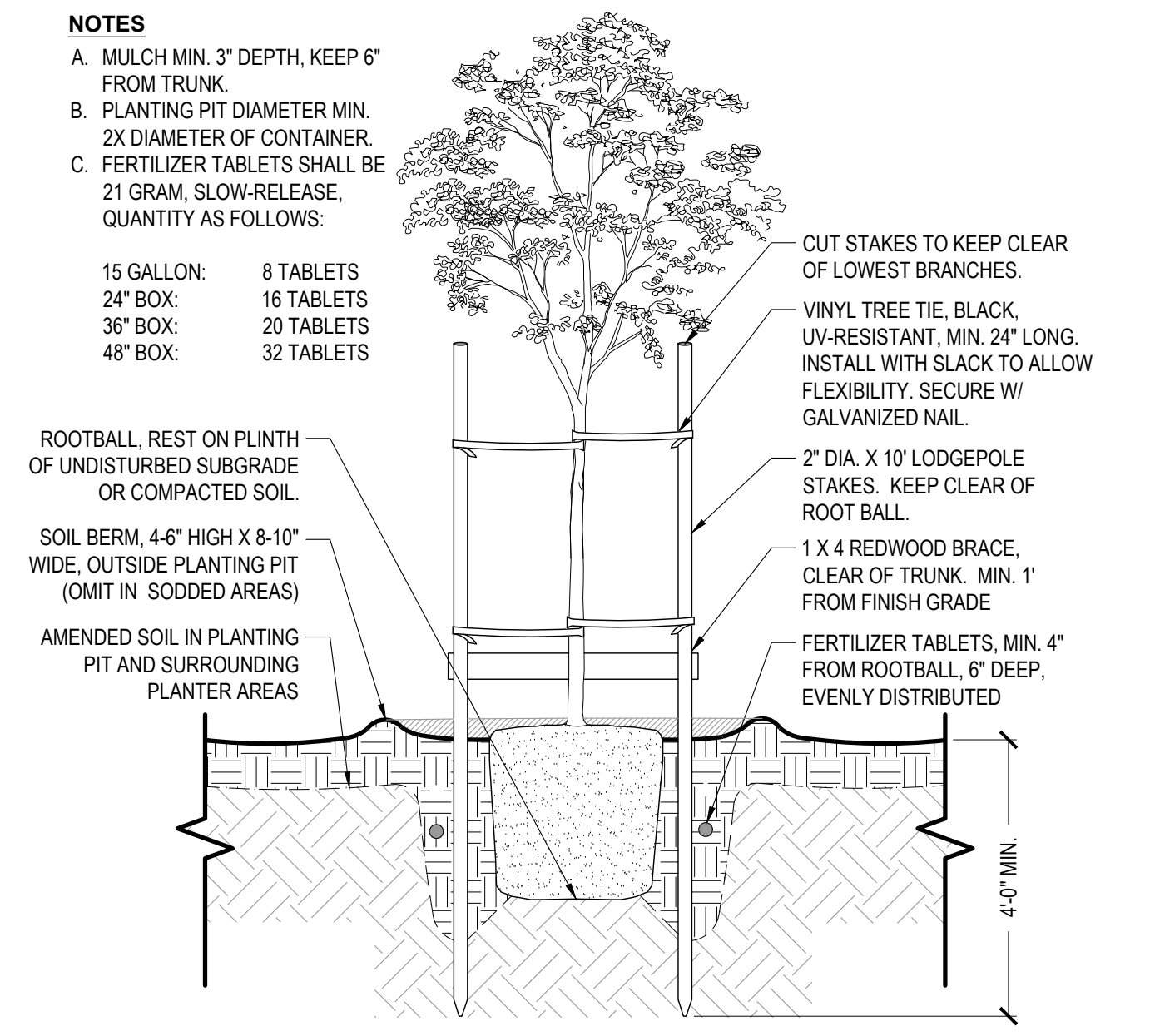
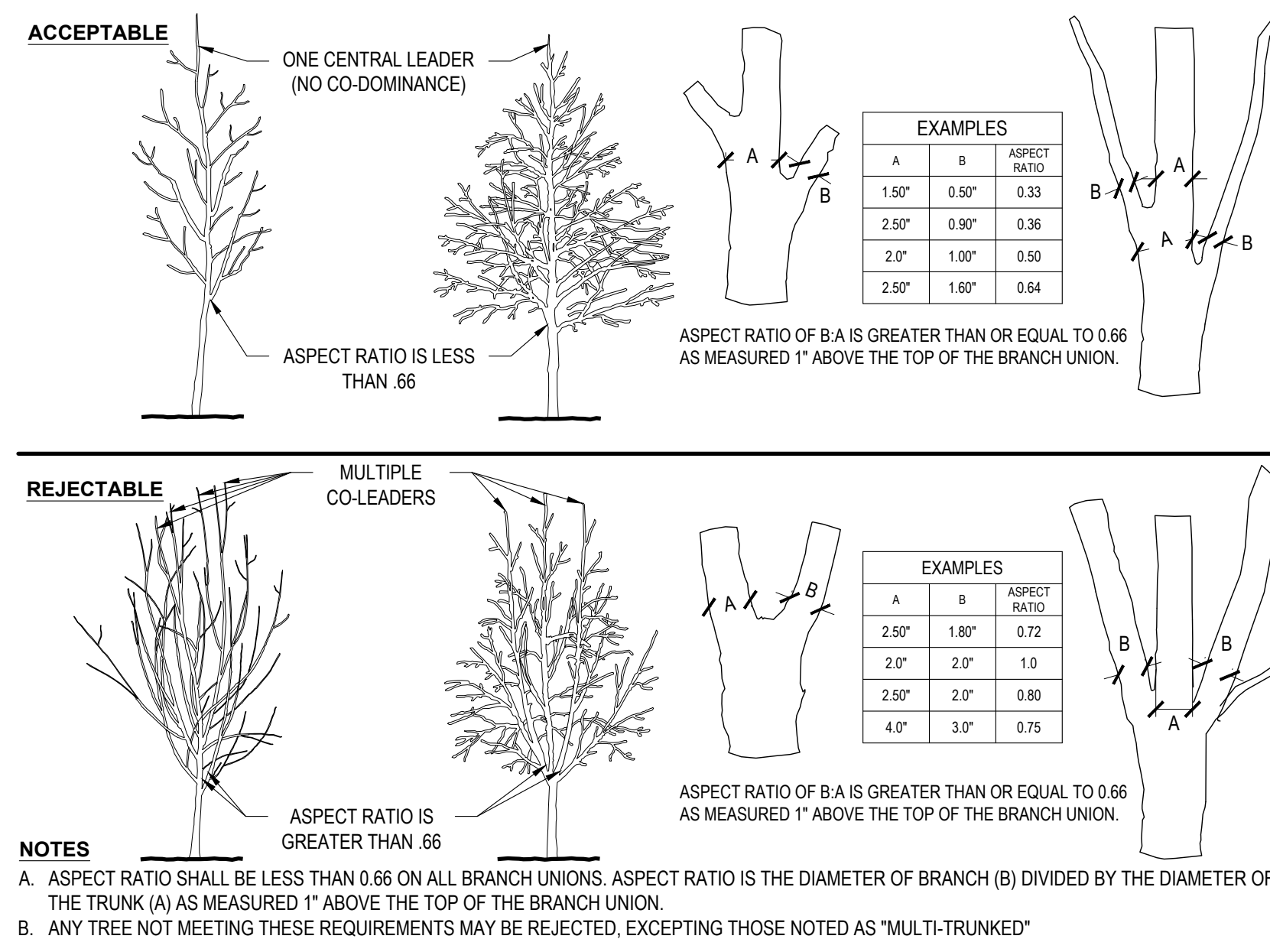


L2.3

DRAWINGS IN SET:

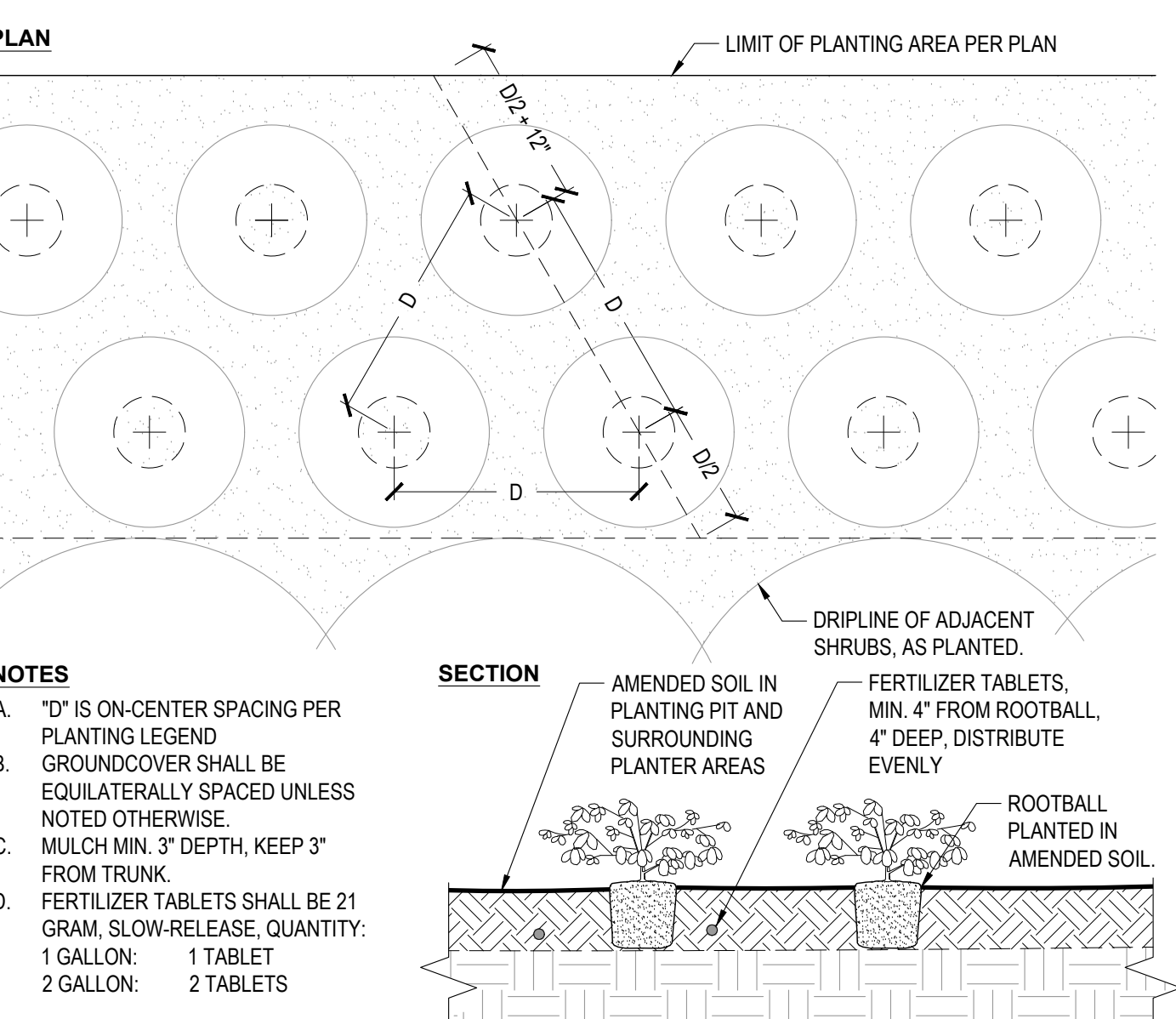
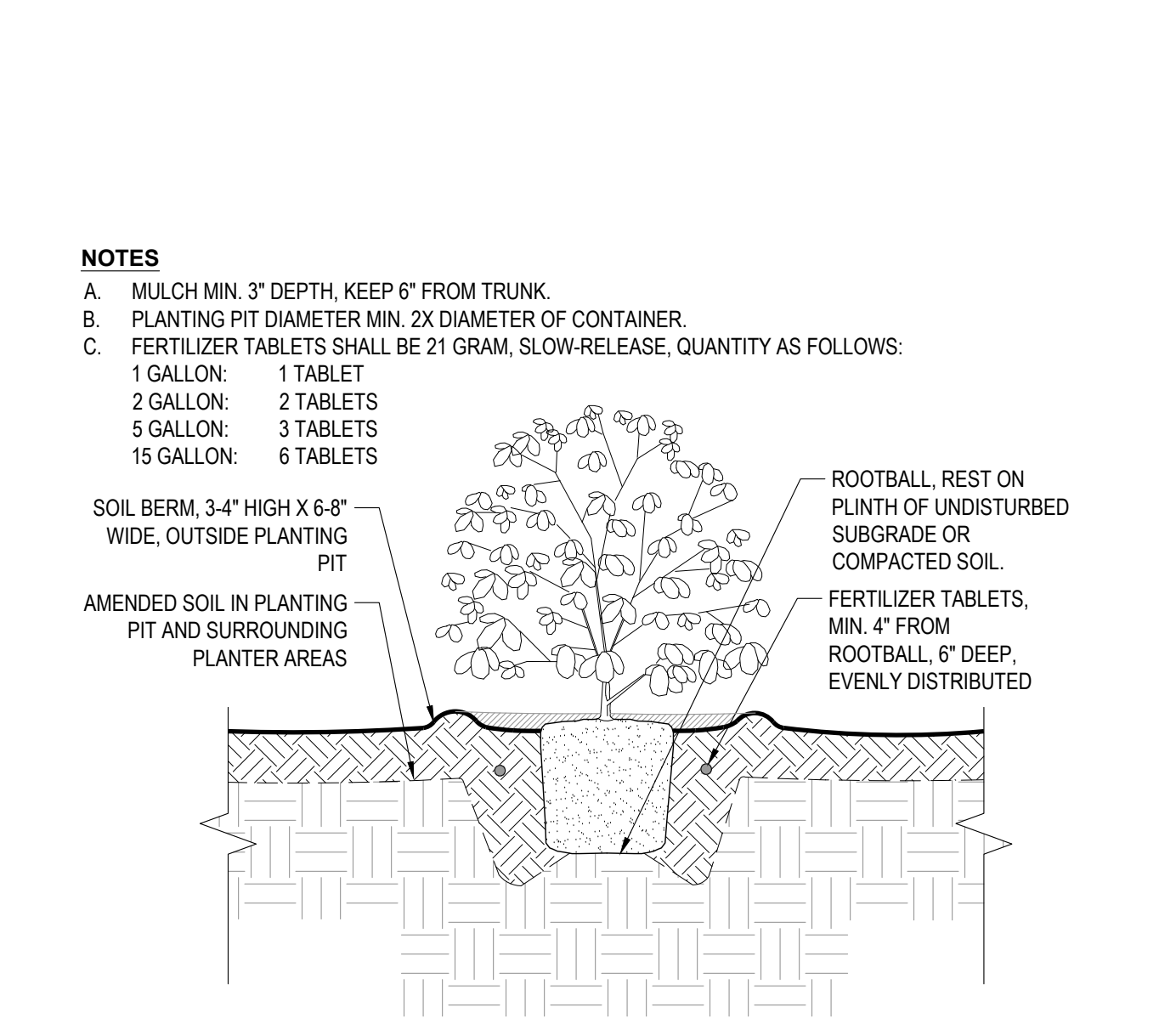


NOTES
A. OBSERVATIONS OF ROOTS SHALL OCCUR PRIOR TO ACCEPTANCE. ROOTS AND SUBSTRATE MAY BE REMOVED DURING THE OBSERVATION PROCESS. SUBSTRATE/SOIL SHALL BE REPLACED AFTER OBSERVATION HAS BEEN COMPLETED.
B. SMALL ROOTS (1/4" OR LESS) THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. ROOTS ON THE PERIPHERY MAY BE REMOVED AT THE TIME OF PLANTING.
C. SEE SPECIFICATIONS FOR OBSERVATION PROCESS AND REQUIREMENTS.

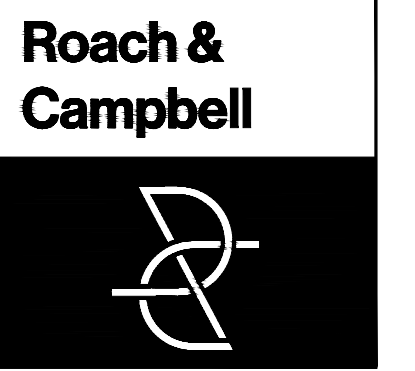


SOIL FERTILITY ANALYSIS: NOTE: SEE PLANTING NOTE #11.

CERTIFICATE OF COMPLETION: NOTE: SEE PLANTING NOTE #12.



DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ)



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LANDSCAPE IMPROVEMENT PLANS FOR

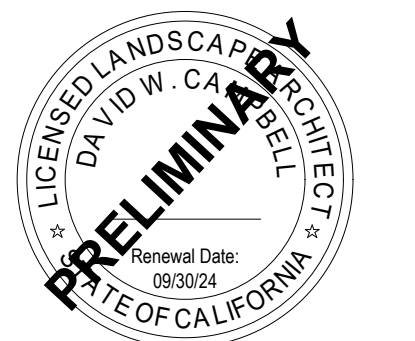
**749 UNIVERSITY AVE
LOS ALTOS, CA**

**BY
THOMAS JAMES HOMES**

KEYMAP:

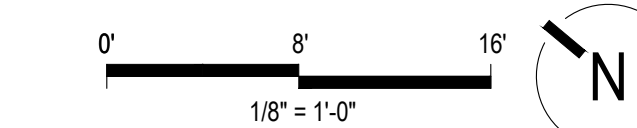
TREE PROTECTION PLAN AND NOTES

DRAWN BY:
STAFF
CHECKED BY:
DWC
JOB NO.
20035
DATE
02/16/2023
REVISIONS:



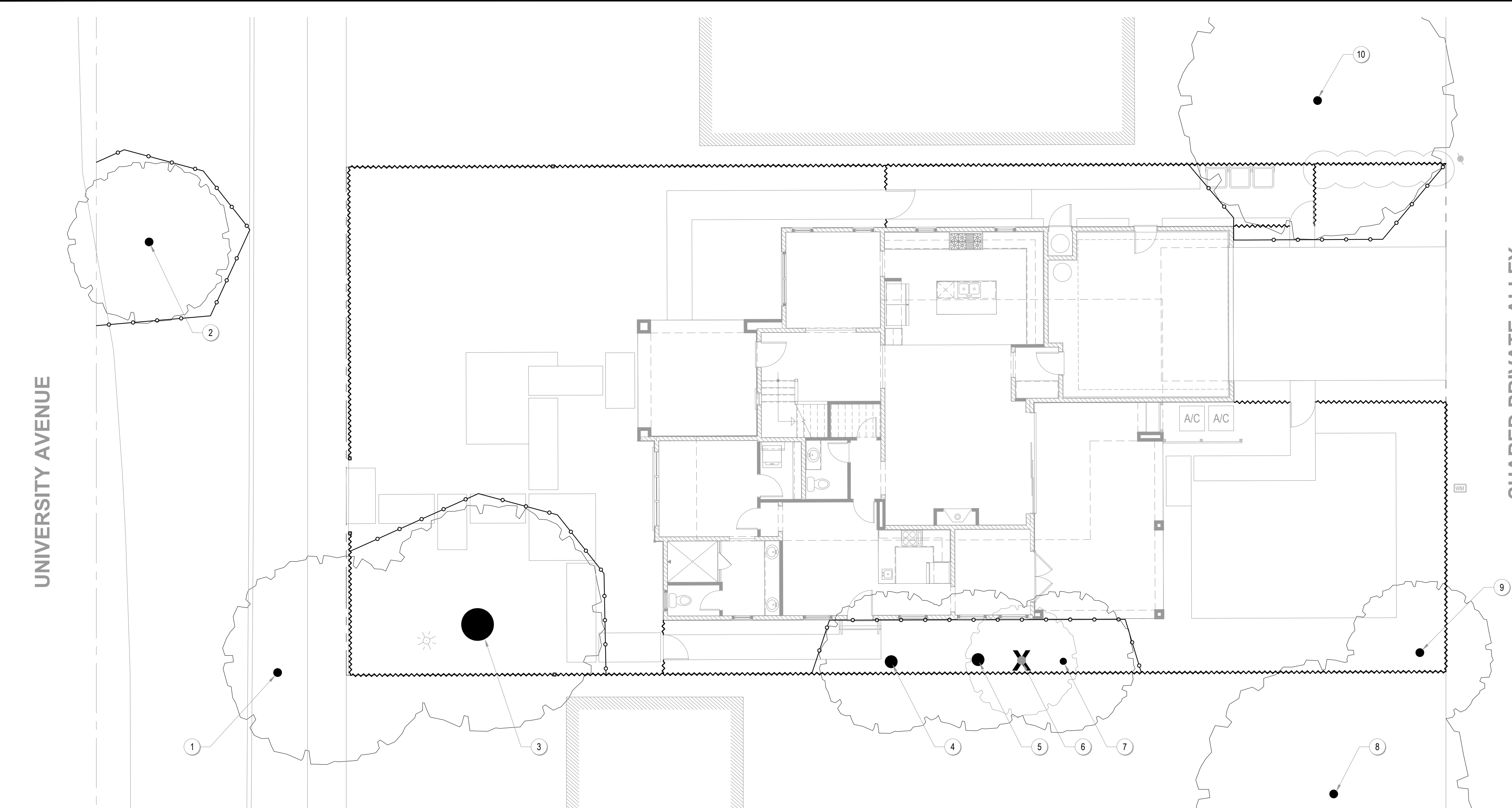
I AGREE TO COMPLY WITH THE REQUIREMENTS OF THE WATER EFFICIENT LANDSCAPE ORDINANCE. I HAVE APPLIED THEM FOR THE EFFICIENT USE OF WATER IN THE LANDSCAPE DESIGN PLANS AND SUBMIT A COMPLETE LANDSCAPE DOCUMENTATION PACKAGE.

[Signature]
02/17/23
DATE



DRAWINGS IN SET:

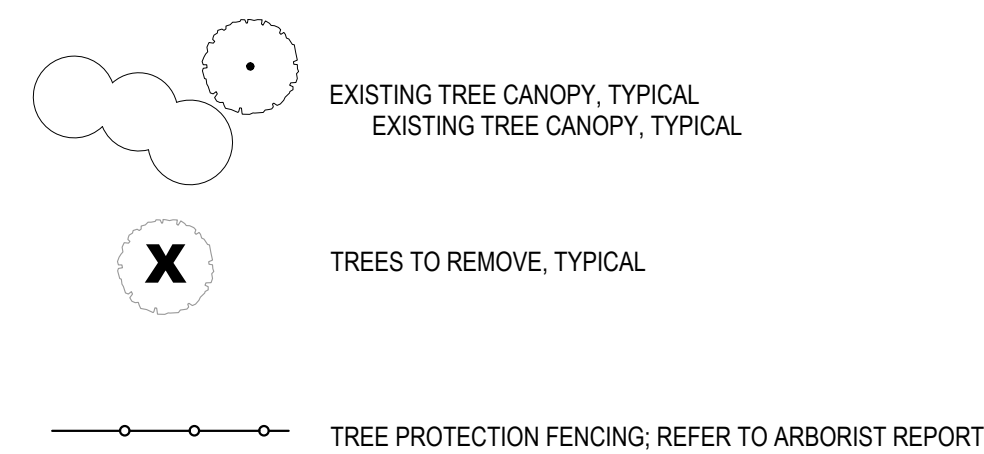
DESIGN REVIEW SUBMITTAL - NOT FOR CONSTRUCTION UNLESS APPROVED BY THE AUTHORITY HAVING JURISDICTION (AHJ)



TREE PROTECTION CHART

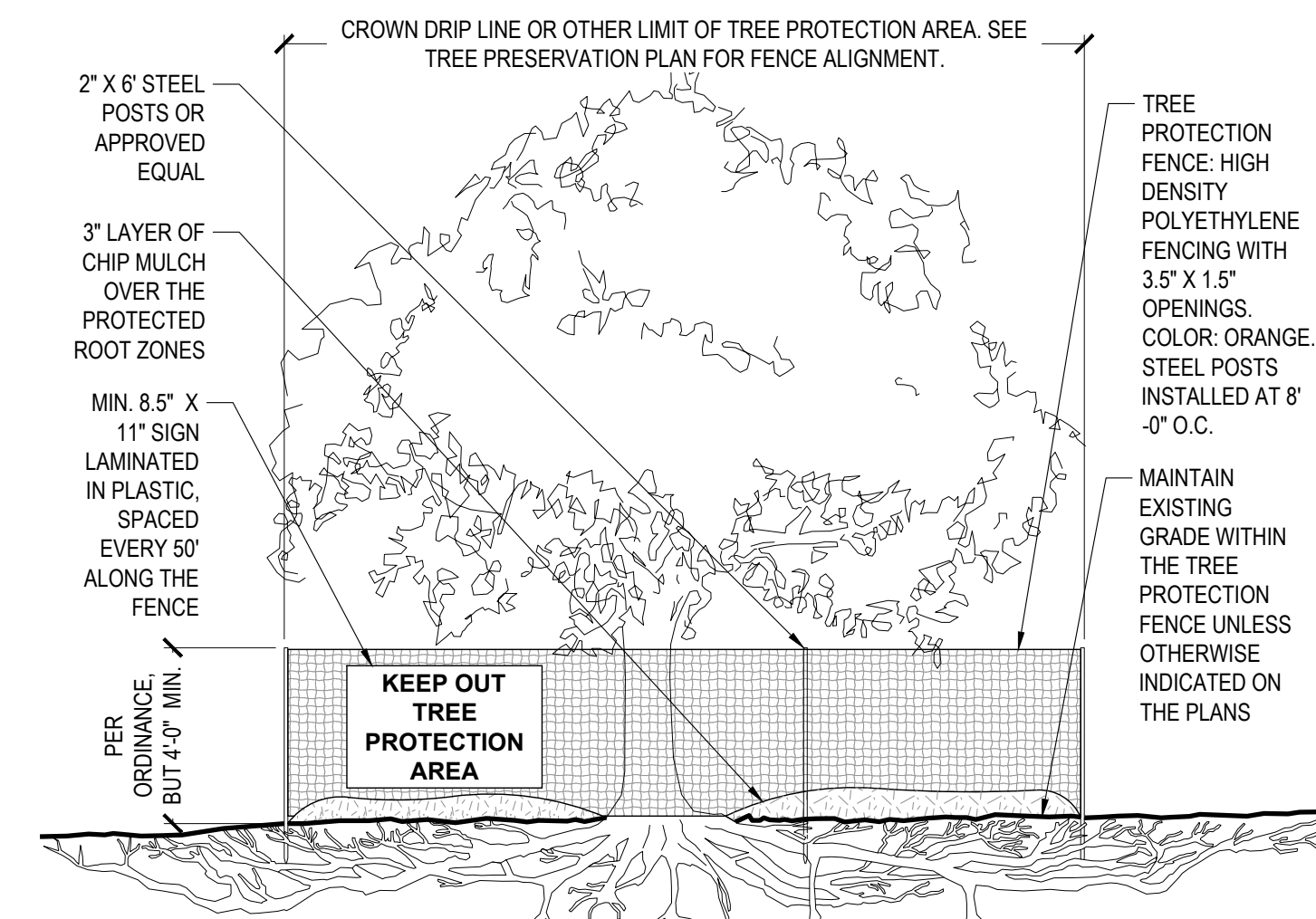
KEYNOTE	TAG#	STATUS	LOCATION	SCIENTIFIC NAME	COMMON NAME	DBH (in)	ACTION
1	1239	Non-Protected	Off-site	<i>Pistacia chinensis</i>	Chinese pistache	11	Retain and Protect
2	1240	Non-Protected	Off-site	<i>Quercus agrifolia</i>	Coast Live Oak	10	Retain and Protect
3	1241	Protected	On-Site	<i>Cedrus deodara</i>	Deodar Cedar	25	Retain and Protect
4	1242	Protected	On-Site	<i>Platanus hybrida</i>	London Plane	15	Retain and Protect
5	1243	Non-Protected	On-Site	<i>Platanus hybrida</i>	London Plane	15	Retain and Protect
6	1244	Protected	On-Site	<i>Acer saccharinum</i>	Silver Maple	19	Remove
7	1245	Non-Protected	On-Site	<i>Platanus hybrida</i>	London Plane	10	Retain and Protect
8	1246	Protected	Off-site	<i>Umbellularia californica</i>	Bay Laurel	23	Retain and Protect
9	1247	Non-Protected	On-Site	<i>Liquidambar styraciflua</i>	Sweetgum	11	Retain and Protect
10	1248	Non-Protected	Off-site	<i>Ulmus parvifolia</i>	Chinese Elm	12	Retain and Protect

LEGEND



NOTES:

- REFER TO THE ARBORIST REPORT "TREE INVENTORY, CONSTRUCTION IMPACT ASSESSMENT AND TREE PROTECTION PLAN 749 UNIVERSITY AVENUE, LOS ALTOS, CALIFORNIA" PREPARED BY CALIFORNIA TREE AND LANDSCAPE CONSULTING, INC. DATED AUGUST 11, 2022 FOR FULL DETAILS.
- TREES AND SHRUBS NOT IDENTIFIED WITHIN THE REPORT, BUT AS PART OF THE TOPOGRAPHICAL SURVEY, ARE INCLUDED FOR REFERENCE ONLY.
- PROTECT ALL EXISTING ITEMS NOTED TO REMAIN OR OTHERWISE UN-LABELLED.
- EXISTING TREES TO REMAIN UNLESS NOTED OTHERWISE. DO NOT STOCKPILE, DRIVE OVER, OR OTHERWISE DISTURB SOIL UNDER DRIFLINES OF EXISTING TREES, EXCEPT AS REQUIRED FOR PLANTING OPERATIONS.
- USE HAND TOOLS ONLY FOR SOIL CULTIVATION UNDER DRIFLINES OF EXISTING TREES TO REMAIN.
- TREES NOTED TO BE REMOVED SHALL BE COMPLETELY REMOVED, INCLUDING STUMP AND ROOT MASS. REFER TO ARBORIST REPORT FOR INSTRUCTIONS ON REMOVING TREE STUMPS WITHIN PROTECTED TREE ROOT ZONES.
- NO ROOTS OVER 2" IN DIAMETER SHALL BE CUT EXCEPT UNDER THE DIRECTION OF AN ARBORIST. ALL CUT ROOTS SHALL BE COVERED WITH BURLAP OR STRAW AND SHALL REMAIN MOIST UNTIL RE-BURIED IN SOIL.
- CALL COMMON GROUND ALLIANCE (811) AT LEAST TWO WORKING DAYS PRIOR TO BEGINNING WORK. CONTRACTOR IS RESPONSIBLE TO PROTECT FOR ALL EXISTING UTILITIES. SEE GENERAL NOTES, SHEET L1.1, FOR MORE INFORMATION.



NOTES

- SEE ARBORIST REPORT FOR ADDITIONAL PROTECTION REQUIREMENTS. COMPLY WITH ALL TREE PROTECTION REQUIREMENTS PER JURISDICTION.
- IRRIGATE AS NEEDED TO MAINTAIN HEALTH OF TREE.
- KEEP EXPOSED ROOTS MOIST.
- NO PRUNING SHALL BE PERFORMED EXCEPT UNDER THE DIRECTION OF APPROVED ARBORIST.
- NO EQUIPMENT SHALL OPERATE INSIDE THE PROTECTIVE FENCING INCLUDING DURING FENCE INSTALLATION AND REMOVAL.
- NO MATERIALS SHALL BE STORED INSIDE FENCE.

1 TREE PROTECTION FENCING

NO SCALE SECTION