

DESIGN REVIEW COMMISSION MEETING AGENDA

7:00 PM - Wednesday, June 01, 2022

Telephone/Video Conference Only

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (253) 215 8782 to participate in the conference call (Meeting ID: 818 3507 5467 or via the web at <https://tinyurl.com/yprmyr92>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record

ESTABLISH QUORUM

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

Members of the audience may bring to the Commission's attention any item that is not on the agenda. Please complete a "Request to Speak" form and submit it to the Staff Liaison. Speakers are generally given two or three minutes, at the discretion of the Chair. Please be advised that, by law, the Commission is unable to discuss or take action on issues presented during the Public Comment Period. According to State Law (also known as "the Brown Act") items must first be noticed on the agenda before any discussion or action.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

These items will be considered by one motion unless any member of the Commission or audience wishes to remove an item for discussion. Any item removed from the Consent Calendar for discussion will be handled at the discretion of the Chair.

1. Design Review Commission Minutes

Approve minutes of the regular meeting of May 4, 2022.

INFORMATIONAL ITEMS

2. SC22-0009 – Kyle Chan – 629 Benvenue Ave

Design review for a new 3,564 square-foot two-story single-family residence. The project includes 2,477 square feet on the first story and 1,087 square feet on the second story. This project is categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act. Project Manager: Healy

3. SC21-0048 – Kendra Rosenberg – 466 Raquel Lane

Design Review for the construction of an 818.8 square-foot, attached accessory dwelling unit

(ADU) to an existing one-story house. The proposal is subject to design review pursuant to Section 14.76.040 (D) of the Los Altos Municipal Code as the 22-foot, six-inch tall second story ADU will exceed a 20-foot height. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. Project Manager: Liu

4. SB9 Objective Standards Commission Feedback

COMMISSIONERS' REPORTS AND COMMENTS

POTENTIAL FUTURE AGENDA ITEMS

ADJOURNMENT

SPECIAL NOTICES TO PUBLIC

In compliance with the Americans with Disabilities Act and California Law, it is the policy of the City of Los Altos to offer its programs, services and meetings in a manner that is readily accessible to everyone, including individuals with disabilities. If you are a person with a disability and require information or materials in an appropriate alternative format; or if you require any other accommodation, please contact department staff. Advance notification within this guideline will enable the City to make reasonable arrangements to ensure accessibility. The City ADA Coordinator can be reached at (650) 947-2607 or by email: ada@losaltosca.gov.

Agendas, Staff Reports and some associated documents for Design Review Commission items may be viewed on the Internet at <http://losaltosca.gov/meetings>.

If you wish to provide written materials, please provide the Commission Staff Liaison with 10 copies of any document that you would like to submit to the Commissioners in order for it to become part of the public record.

For other questions regarding the meeting proceedings, please contact the City Clerk at (650) 947-2720.

MINUTES OF THE REGULAR MEETING OF THE DESIGN REVIEW COMMISSION OF THE CITY OF LOS ALTOS, HELD ON WEDNESDAY, MAY 4, 2022, BEGINNING AT 7:00 P.M. HELD VIA VIDEO/TELECONFERENCE PER EXECUTIVE ORDER N-29-20

Please Note: Per California Executive Order N-29-20, the Commissions will meet via teleconference only. Members of the Public may call (650) 242-4929 to participate in the conference call (Meeting ID: 148 231 6767 or via the web at <https://tinyurl.com/mwm68n5h>). Members of the Public may only comment during times allotted for public comments. Public testimony will be taken at the direction of the Commission Chair and members of the public may only comment during times allotted for public comments. Members of the public are also encouraged to submit written testimony prior to the meeting at DRCPublicComment@losaltosca.gov. Emails received prior to the meeting will be included in the public record.

ESTABLISH QUORUM

PRESENT: Chair Blockhus, Vice-Chair Ma, Commissioners Bishop, Harding and Kirik

STAFF: Interim Planning Services Manager Golden, Senior Planner Gallegos and Associate Planner Liu

PUBLIC COMMENTS ON ITEMS NOT ON THE AGENDA

None.

ITEMS FOR CONSIDERATION/ACTION

CONSENT CALENDAR

1. Design Review Commission Minutes

Approve minutes of the regular meeting of April 6, 2022.

Action: Upon a motion by Commissioner Harding, seconded by Vice-Chair Ma, the Commission approved the minutes of the regular meeting of April 6, 2022 as amended by Chair Blockhus that Vice-Chair Ma closed the public comment periods and adjourned the meeting as he was not in attendance.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

DISCUSSION

Vice-Chair Ma recused himself due to financial involvement with the party related to project.

2. SC21-0035 – Eric Keng – 944 Aura Way

Design review application for a new 4,010 square-foot two-story single-family residence with 2,692 square feet on the first story and 1,317square feet on the second story. A 798 square-foot detached accessory dwelling unit (ADU) is also proposed, but not subject to design review. A categorical exemption under Section 15303 of the California Environmental Quality Act Guidelines will be considered for this project. *Project Manager: Golden THIS ITEM WAS CONTINUED FROM THE APRIL 6, 2022 DRC MEETING DUE TO LACK OF QUORUM.*

STAFF PRESENTATION

Interim Planning Services Manager Golden presented the staff report recommending approval of design review application SC21-0035 subject to the listed findings and conditions.

DRC QUESTIONS TO STAFF

None.

APPLICANT PRESENTATION

Applicant and project architect Eric Keng provided a presentation.

The property owner introduced herself to the Commission and asked for their support.

DRC QUESTIONS TO APPLICANT

Commissioner Kirik asked the applicant about the window in bedroom No. 1 being so tall and asked if he would be willing to shorten it by increasing the sill height by six inches. He also suggested the same for the window in bedroom No. 2 and to get rid of the obscure glass.

The applicant said he was willing to make the suggested modifications.

Chair Blockhus asked to walk him through the community outreach. It looks weak and maybe missing something.

The applicant stated he originally contacted the adjacent neighbors. After meeting with the neighbors, he sent out letters by mail to three neighbors across the street and three neighbors to the rear. He received no input. When he put up the posting sign, none of the neighbors asked questions or set up meetings with him. The mail was delivered by regular mail and occurred April 6, 2022.

Interim Planning Services Manager Golden stated clarified that this project was submitted prior to new submittal requirement for neighborhood communication. There was no requirement at the time.

PUBLIC COMMENT

None.

Chair Blockhus closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission approved design review application SC21-0035 subject to the staff report findings and conditions, with the following additional conditions:

- Raise the sill height in bedroom No. 1 six inches; and
- Raise the sill height in bedroom no. 2 six inches, as long as it is code compliant and remove the obscured glass component.

The motion was approved (4-0) by the following vote:

AYES: Blockhus, Bishop, Harding and Kirik

NOES: None

RECUSED: Ma

Vice-Chair Ma rejoined the meeting for the remainder of the agenda items and took over as Chair for the

next item.

Chair Blockhus recused himself from item No. 3 due to a conflict of interest because he lives within 500 feet of the project site.

3. SC21-0046 – Yun Li – 628 Cuesta Drive

Design Review for a two-story addition to an existing two-story house. The includes a 26 square-foot addition at the first floor and a 542 square-foot addition at the second floor. This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Manager: Liu THIS ITEM WAS CONTINUED FROM THE MARCH 2, 2022 DRC MEETING.*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0046 subject to the listed findings and conditions.

COMMISSIONER COMMENTS

Commissioner Bishop stated that this design is much better than their last proposal.

APPLICANT PRESENTATION

Applicant and owner, Yun Li provided a project presentation.

COMMISSIONER COMMENTS

Commissioner Harding thanked the owner for the helpful presentation slides showing the angles and mature landscaping.

PUBLIC COMMENT

None.

Vice-Chair Ma closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Commissioner Harding, seconded by Commissioner Bishop, the Commission approved design review application SC21-0046 subject to the staff report findings and conditions.

The motion was approved (4-0) by the following vote:

AYES: Bishop, Harding, Kirik and Ma

NOES: None

RECUSED: Blockhus

Chair Blockhus rejoined the meeting for the remainder of the agenda items.

4. SC21-0043 - Anat Shmariahu – 301 Spagnoli Court

Design Review for a two-story addition to an existing one-story house. The development includes a 28.40 square-foot addition at the first floor and a 935.67 square-foot addition at the second floor.

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act. *Project Manager: Liu*

STAFF PRESENTATION

Associate Planner Liu presented the staff report recommending approval of design review application SC21-0043 subject to the listed findings and conditions.

DRC QUESTIONS TO STAFF

None.

APPLICANT PRESENTATION

Applicant and designer Anat Shmariahu provided a project presentation.

Property owners Suresh and Bindu Muthu provided a brief presentation, said that Los Altos is a beautiful city, and agreed to plant evergreen screening for the neighbors.

DRC QUESTIONS TO APPLICANT

Vice-Chair Ma asked questions regarding the materials and elevations. He noticed the material board shows metal fascia and the fascia on the ground floor elevation is shorter and other areas are wider. Can the designer clarify the materials and why the difference in width?

Project designer Anat Shmariahu said it will be the same width. The old windows are 2 feet by 4 feet, and the new windows will be 2 feet by 10 feet. However, the fascia will be the same on the old and new windows. She likes the metal fascia atop the wood to look cleaner and the metal fascia will be behind the galvanized gutter.

PUBLIC COMMENT

None.

Chair Blockhus closed the public comment period.

Commissioner discussion then proceeded.

Action: Upon a motion by Vice-Chair Ma, seconded by Commissioner Harding, the Commission approved design review application SC21-0043 subject to the staff report findings and conditions.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

5. SB9 Joint Commission Subcommittee

Associate Planner Liu provided a brief presentation and overview.

DRC QUESTIONS TO STAFF

Commissioner Harding noted the different outlook the DRC members had from the Planning Commissioners on several areas, and he didn't feel comfortable accepting them. He thought there would be an equal number of commissioners on the joint commission from the DRC and PC or an option to have separate subcommittees.

Commissioner Kirk said he believes there is a philosophical difference of opinion between the PC members and the DRC members, and he felt strongly about the importance to protect the integrity of the residential neighborhoods of Los Altos. He and Vice-Chair Ma spent a few hours to provide guidance to the City Council and staff, and he doesn't want to participate in a subcommittee that is opposed to the DRC's purpose.

Interim Planning Services Manager Golden directed the commission to continue the discussion after public comment is taken and this is the time for questions of staff. This discussion is less about objectives and more about public policy efforts and the state looking for more housing. SB9 is a way to get more housing. The city has an opportunity to flex some local efforts in what they want to support in neighborhood designs that have been in place since the Design Review Guidelines were adopted in 1991. The DRC efforts can be a collaboration with the PC members, and through a subcommittee they could work collaboratively to support what the goal or purpose of the DRC commission is and the intent of SB9.

Chair Blockhus stated his confusion by the process and asked for clarification on if they could have two separate subcommittees to resolve their positions, and then meet, or do you want commissions to form a subcommittee to address it in a combined discussion.

Interim Planning Services Manager Golden provided clarification on the process, timeline, and how to move forward in the formation of the subcommittee.

Chair Blockhus asked for further clarification on meeting timelines, commissioner terms ending, and if the addition of new members being added has been taken into consideration.

Interim Planning Services Manager Golden provided more clarification on forming the subcommittee and the meeting timelines once those members are picked.

Chair Blockhus asked what is the process of the meeting? Is it up to the meeting members?

Chair Blockhus asked the other Commissioners if they had questions on the process or discussion.

Commissioner Harding said that it sounds like Vice-Chair Ma and Commissioner Kirik should be on the subcommittee since they have already worked on SB9 objective standards, and Kirik already has great experience.

Commissioner Kirik stated that he will term out in September, thinks everything is being compromised by SB9, said the PC members wanting more floor area ratio is problematic, and he doesn't want to face a battle even though they have to comply with State law.

Vice-Chair Ma said he understands Commissioner Kirik's frustration. In some cities SB9 rules are loose and you can double the FAR, and in others it is strict and the FAR is low and follows the daylight plane. He stated that he and Commissioner Kirik can give their input and help shape the new rules under SB9.

PUBLIC COMMENT

None.

Chair Blockhus closed the public comment period.

Commission discussion then proceeded.

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission moved to continue the item to a meeting with the City Council Liaison and City Attorney present.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

Action: Friendly amendment by Commissioner Harding and accepted by Commissioner Kirik to have a start time of 6:00 pm to 6:45 pm to have a discussion with the Council Liaison and City Attorney.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, Commissioner Kirik rescinded his original motion.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

Action: Upon a motion by Commissioner Kirik, seconded by Commissioner Harding, the Commission continued the item for further discussion with next available meeting where Councilmember Meadows and City Attorney Houston can join to provide direction on SB9 as it relates to the Design Review Commission and the Residential Design Guidelines. All Commission members shall be available, including staff and the meeting discussion of the item shall start at 6:00 pm and go until 6:45 pm.

The motion was approved (5-0) by the following vote:

AYES: Blockhus, Bishop, Harding, Kirik, and Ma

NOES: None

COMMISSIONERS' REPORTS AND COMMENTS

Commissioner Harding asked about the return to in-person meetings.

POTENTIAL FUTURE AGENDA ITEMS

None.

ADJOURNMENT

Chair Blockhus adjourned the meeting at 9:43 PM.

Sean Gallegos
Senior Planner



DATE: June 1, 2022
 AGENDA ITEM #2

TO: Design Review Commission
FROM: Nazaneen Healy, Associate Planner
SUBJECT: SC22-0009 – 629 Benvenue Ave

RECOMMENDATION:

Consider design review application SC22-0009 subject to the listed findings and conditions

PROJECT DESCRIPTION

This is a design review application for a new 3,564 square-foot two-story single-family residence. The project includes 2,477 square feet on the first story and 1,087 square feet on the second story. This project is recommended to be considered categorically exempt from further environmental review under Section 15303 of the California Environmental Quality Act since it involves the construction of one single-family residence in an area zoned for residential uses. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Small Lot
ZONING: R1-10
PARCEL SIZE: 10,195 square feet
MATERIALS: Tile roof; smooth cement plaster and stone veneer exterior; stained wood entry door, garage door, and window shutters; and fiberglass windows

	Existing	Proposed	Allowed/Required
COVERAGE:	2,006 square feet	2,833 square feet	3,058 square feet
FLOOR AREA:	2,006 square feet	3,564 square feet	3,568 square feet
SETBACKS:			
Front	22 feet	25.1 feet	25 feet
Rear	63 feet	47.8 feet	25 feet
Right side(1 st /2 nd)	10 feet	10 feet/16.4 feet	7.4 feet/14.9 feet
Left side (1 st /2 nd)	9.6 feet	10.2 feet/20.2 feet	7.4 feet/14.9 feet
HEIGHT:	14.4 feet	24.2 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is a narrow interior lot on the northern portion of Benvenue Avenue east of S. Clark Avenue. The surrounding neighborhood is considered a Transitional Character Neighborhood as defined in the City’s Residential Design Guidelines with a mix of upgraded and/or larger one- and two-story homes and older, smaller homes.

Like much of the surrounding neighborhood, the subject property (74 feet wide) is a narrow lot, which is defined as an interior or corner lot less than 80 or 90 feet wide respectively. As a narrow lot, it is subject to a reduced interior side setback of ten percent of the lot width pursuant to Los Altos Municipal Code (LAMC) Section 14.06.080(E). The landscape along the street is varied with no street tree pattern but most properties include at least one medium to large tree in the front yard.

DISCUSSION

Design Review

According to the Design Guidelines, in Transitional Character Neighborhoods, good neighbor design reduces abrupt changes to the designs or sizes of structures.

As depicted in the design plans (Attachment F), the applicant proposes to demolish the existing 2,006 square foot one-story residence and replace it with a two-story residence (proposed front elevation to the right). The proposed setbacks meet or exceed the required setbacks for the R1-10 zoning district. Please refer to the table above for more specific setbacks proposed and as required pursuant to the R1-10 Zoning District Standards found in Los Altos Municipal Code (LAMC) Chapter 14.06.



The proposed residence is similar to homes in the area with its use of hipped and gabled roof forms and articulated massing. The proposed design includes first floor plate heights of 9 feet with the entry at 10.5 feet, and second floor plate heights of 8 feet, and an overall height of 24.2 feet which respects the scale of the surrounding homes. In addition, the second story is set back from the first story on all sides which helps minimize the appearance of bulk consistent with the Design Guidelines. The proposed building materials include smooth cement plaster and stone veneer walls, tile roofing, and a stained wood entry door, garage door, and window shutters which are found within the neighborhood. A materials board is provided as Attachment E.

Privacy

With regards to privacy, Section 5.3 of the Design Guidelines calls for careful design to prevent unreasonable privacy impacts on adjacent properties, in particular from second story sightlines. To minimize potential impacts, second story egress windows are located on the front and rear facades and the sill heights of the second story side-facing windows are 4'-8" above the finished floor with the

exception of a window at the stairs located 8'-10" above the landing and two bathroom windows with a 4'-0" plate height. In addition, as depicted on the landscape plans, existing evergreen screening plants along the side property lines and existing trees in the rear yard are proposed to remain to prevent direct views into the adjacent properties.

Staff finds the proposed residence to be in compliance with the R1-10 zoning district development standards, the Single-Family Residential Design Guidelines, and the design review findings pursuant to LAMC Section 14.76.060.

Landscaping and Trees

As described in the arborist report (Attachment D) and depicted on the site plan, there are 33 existing trees on the subject property:

- Tree Nos. 1, 2, 4, and 5 are located within the public right-of-way and indicated to remain. Future removal would require a tree removal permit from the Public Works Department.
- Tree No. 23 (31" Oak tree) in the rear yard is protected based on its size (over 48" in circumference/15" in diameter) and is proposed to remain.
- Tree No. 25 (8" Victorian Box tree) is not protected and proposed for removal due to poor health.
- The remaining trees are not protected based on their size but are proposed to remain.
- The survey depicts a 36" pine tree in the rear yard; however, the tree was previously removed pursuant to an approved tree removal permit (TREE21-0194). The approval included a condition to plant minimum 15 gallon size Valley Oak tree in the same location per the arborist report. Currently the landscape plans propose a lemon tree.

The recommended conditions of approval pertaining to trees include planting one Valley Oak tree as required by the previously approved tree removal permit, implementation of the City standard tree protection measures during construction for all trees to remain, and implementation of the tree protection measures recommended by the arborist (Conditions of Approval No. 3, 4, 12, and 19).

The landscaping plan proposes to maintain areas of existing landscaping supplemented with new small trees, shrubs, and turf areas. The existing landscaping will be required to be maintained or replaced and new/replacement landscaping, and it will need to satisfy the Water Efficient Landscape Ordinance requirements due to exceeding the 500 square-foot landscaping threshold for new residences (Conditions of Approval No. 7, 11, 21, and 22).

ENVIRONMENTAL REVIEW

This project should be considered categorically exempt from environmental review under Section 15303 of the California Environmental Quality Act because it involves the construction of one single-family residence on an existing lot in an area zoned for residential uses.

PUBLIC NOTIFICATION AND CORRESPONDENCE

A public meeting notice was posted on the property and mailed to 12 property owners in the immediate vicinity (Attachment A). The applicant's outreach efforts to neighbors is provided in Attachment B. The applicant also posted the public notice sign (24" x 36") in conformance with the Planning Division posting requirements, as shown in Attachment C.

Cc: Kyle Chan, Applicant
Anhua Yu, Property Owner

Attachments:

- A. Public Notification Map
- B. Applicant Outreach
- C. Public Notice Poster
- D. Arborist Report
- E. Materials Board
- F. Design Plans

FINDINGS

SC22-0009 – 629 Benvenue Ave

With regard to the new two-story single-family residence, the Design Review Commission finds the following in accordance with Section 14.76.060 of the Municipal Code:

- a. The proposed residence complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the new residence, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed new residence in relation to the immediate neighborhood will minimize the perception of excessive bulk and mass;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed residence has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS OF APPROVAL

SC22-0009 – 629 Benvenue Ave

GENERAL

1. Expiration

The Design Review Approval will expire on June 1, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on April 22, 2022, except as may be modified by these conditions.

3. Protected Trees

- a. Tree Nos. 3, 6-26, and 28-33, new replacement trees, and new screening trees shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director. The City standard tree protection measures and additional measures recommended by the arborist shall be implemented during construction for all trees to remain.
- b. Tree Nos. 1, 2, 4, and 5 are located within the public right-of-way cannot be removed without a tree removal permit from the Public Works Department. The City standard tree protection measures and additional measures recommended by the arborist shall be implemented during construction.

4. Tree Removal Approved

- a. Tree No. 27 is hereby approved for removal. Tree removal shall not occur until a building permit is submitted and shall only occur after issuance of a demolition permit or building permit. Exceptions to this condition may be granted by the Community Development Director upon submitting written justification.
- b. One new Valley Oak tree (minimum 15 gallon size) shall be planted in the location of the rear yard pine tree removed pursuant to TREE21-0194 which shall be reflected in the landscape plans.

5. Encroachment Permit

An encroachment permit shall be obtained from the Engineering Division prior to doing any work within the public right-of-way including the street shoulder. All work within the public street right-of-way shall be in compliance with the City's Shoulder Paving Policy.

6. New Fireplaces

Only gas fireplaces, pellet fueled wood heaters or EPA certified wood-burning appliances may be installed in all new construction pursuant to Chapter 12.64 of the Municipal Code.

7. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if over 500 square feet or more of new landscape area, including irrigated planting areas, turf areas, and water features is proposed. Existing landscape

areas shall be maintained before and during construction or shall be replaced in compliance with the WELO and to the satisfaction of the Planning Division.

8. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area (existing square footage calculations shall not include existing basements) and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

9. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney’s fees, incurred by the City or held to be the liability of the City in connection with the City’s defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City’s action with respect to the applicant’s project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

10. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

11. Water Efficient Landscape Plan

Provide a landscape documentation package prepared by a licensed landscape professional showing how the project complies with the City’s Water Efficient Landscape Regulations and include signed statements from the project’s landscape professional and property owner.

12. Tree Protection Note

On the grading plan and the site plan, show all tree/landscape protection fencing consistent with City standards and add the following note: “All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground.” Depict the additional tree protection measures indicated in the arborist report.

13. Reach Codes

Building Permit Applications submitted on or after January 14, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project’s Qualified Green Building Professional Designer/Architect and property owner.

15. Air Conditioner Sound Rating

The plans shall show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. The Applicant shall provide the manufacturer’s specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City’s Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

16. Storm Water Management

The Plans shall show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

17. California Water Service Upgrades

The Applicant is responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

18. Underground Utility Location

The Plans shall show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the drip-lines of all protected trees unless approved by the project arborist and the Planning Division.

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

19. Tree Protection

Tree protection shall be installed around the dripline(s) of the trees to remain as shown on the site plan approved with the building permit plans. Fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

20. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

21. Landscaping Installation and Verification

Provide a landscape Certificate of Completion, signed by the project’s landscape professional and property owner, verifying that the trees, landscaping and irrigation were installed per the approved landscape documentation package.

22. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

23. Green Building Verification

Submit verification that the house was built in compliance with the City's Green Building Ordinance (Chapter 12.26 of the Municipal Code).

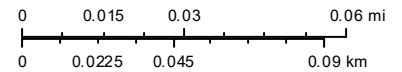
Notification Map

Agenda Item 2.



Print Date: March 21, 2022

12,257



- Schools
- Park and Recreation Areas
- City Limit
- Road Names
- Waterways
- Situs Label
- TaxParcel

The information on this map was derived from the City of Los Altos' GIS. The City of Los Altos does not guarantee data provided is free of errors, omissions, or the positional accuracy, and it should be verified.

618 BENVENUE

New text message from Anhua Ann Yu [REDACTED]

Anhua Ann Yu (SMS) <[REDACTED].fzrZc38R6W@txt.voice.google.com>
To: [REDACTED]

Tue, Apr 5, 2022 at 3:54 PM

Hi Anhua - thanks for your patience and for reaching out and sending the documents. It appears that the house fits all the guidelines and that you aren't asking for any variances. Thank you so much for that. Really appreciate it. However, I'm going to stay neutral on this one. I won't write a letter opposing nor will I write a letter endorsing your proposal. While we're glad to see your house will meet the city guidelines, my husband and I are just not big fans of having so many 2-story houses on the street. Good luck with your project. Hope it goes smoothly!

[YOUR ACCOUNT](#) [HELP CENTER](#) [HELP FORUM](#)

This email was sent to you because you indicated that you'd like to receive email notifications for text messages. If you don't want to receive such emails in the future, please update your [email notification settings](#).

Google

Google LLC
1600 Amphitheatre Pkwy
Mountain View CA 94043 USA

Kyle Chan [redacted] >

Fw: question about #629 floor plan

Anhua Yu <[redacted]>
To: Kyle Chan <[redacted]>

Sat, Apr 2, 2022 at 6:29 PM

From my #622 neighbor

----- Forwarded Message -----

From: Anita Kapadia <[redacted]>
To: Anhua Yu <[redacted]>
Sent: Saturday, April 2, 2022, 11:56:10 AM PDT
Subject: Re: question about #629 floor plan

Hi Anhua,

Thanks for reaching out. We don't have any questions at this time. Also we don't see any reason to object to your plan.

Thanks,
Anita (*pronounced Anaita*)

On Fri, Apr 1, 2022 at 11:55 PM Anhua Yu <[redacted]> wrote:

Hi Anita:

This is Anhua, your neighbor of #629. I would like to ask you that have you read our structure/floor plan? Do you have any question of it?

Thank you very much!

Anhua

Shelli Ching and Rowland Cheng
637 Benvenue Ave,
Los Altos, CA 94024

March 6, 2022

To: Los Altos Design Review Commission
Re: Tung Residence
629 Benvenue Ave
Los Altos, CA 94024
Request for 2-story Design Review

Dear sir/madam,

I'm writing to indicate my support for the approval of the new building plan set forth by my nextdoor neighbor, Mr. Chien-Chih Tung, to build a new 2-story home on 629 Benvenue Ave in Los Altos, to the extent that the plan is consistent with the attached plan (which has been initialled and dated by me), particularly with respect to the size, tinting and placement of the windows on the second floor. Based on our conversation with Mr. Tung's architect, Kyle Chan, it is our understanding that the largest, white, non-tinted window on the second floor in Diagram #1 is adjacent to a large stairwell and cannot be accessed from the interior within 10 feet of the window.

I have reviewed and discussed the design plan with Mr. Tung and his architect, Kyle Chan.

I believe the proposed design plan is a positive addition to our neighborhood. Thank you.

Yours Truly,

Shelli Ching
Shelli Ching



628 Paco Ave,
Los Altos, CA 94024

January 23rd, 2021

To: Los Altos Design Review Commission
Re: Tung Residence
629 Benvenue Ave
Los Altos, CA 94024
Request for 2-story Design Review

Dear sir/madam,

I'm writing to show my support for the approval of the new building plan set forth by my next door neighbor, Mr. Chien-Chih Tung, to build a new 2-story home on 629 Benvenue Ave in Los Altos.

I have reviewed and discussed the design plan with Mr. Tung and his architect, Kyle Chan.

I believe the proposed design plan is a positive addition to our neighborhood. Thank you.

Yours Truly,

644 Benvenue Ave,
Los Altos, CA 94024

January 23rd, 2021

To: Los Altos Design Review Commission
Re: Tung Residence
629 Benvenue Ave
Los Altos, CA 94024
Request for 2-story Design Review

Dear sir/madam,

I'm writing to show my support for the approval of the new building plan set forth by my next door neighbor, Mr. Chien-Chih Tung, to build a new 2-story home on 629 Benvenue Ave in Los Altos.

I have reviewed and discussed the design plan with Mr. Tung and his architect, Kyle Chan.

I believe the proposed design plan is a positive addition to our neighborhood. Thank you.

Yours Truly,

WLA GHOSHEN (644 Benvenue)



3/21/22

Jing Liy
623 Benvenue Ave,
Los Altos, CA 94024

January 23rd, 2021

To: Los Altos Design Review Commission
Re: Tung Residence
629 Benvenue Ave
Los Altos, CA 94024
Request for 2-story Design Review

Dear sir/madam,

I'm writing to show my support for the approval of the new building plan set forth by my next door neighbor, Mr. Chien-Chih Tung, to build a new 2-story home on 629 Benvenue Ave in Los Altos.

I have reviewed and discussed the design plan with Mr. Tung and his architect, Kyle Chan.

I believe the proposed design plan is a positive addition to our neighborhood. Thank you.

Yours Truly,



Yu Chien Yuan

630 Benvenue Ave,
Los Altos, CA 94024

January 23rd, 2021

To: Los Altos Design Review Commission
Re: Tung Residence
629 Benvenue Ave
Los Altos, CA 94024
Request for 2-story Design Review

Dear sir/madam,

I'm writing to show my support for the approval of the new building plan set forth by my next door neighbor, Mr. Chien-Chih Tung, to build a new 2-story home on 629 Benvenue Ave in Los Altos.

I have reviewed and discussed the design plan with Mr. Tung and his architect, Kyle Chan.

I believe the proposed design plan is a positive addition to our neighborhood. Thank you.

Yours Truly,

Yu Chien Yuan
Yu Chien Yuan

RICHARD QUAN
638 Benvenue Ave,
Los Altos, CA 94024

January 23rd, 2021

To: Los Altos Design Review Commission
Re: Tung Residence
629 Benvenue Ave
Los Altos, CA 94024
Request for 2-story Design Review

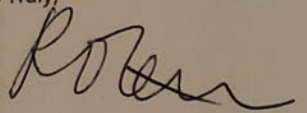
Dear sir/madam,

I'm writing to show my support for the approval of the new building plan set forth by my next door neighbor, Mr. Chien-Chih Tung, to build a new 2-story home on 629 Benvenue Ave in Los Altos.

I have reviewed and discussed the design plan with Mr. Tung and his architect, Kyle Chan.

I believe the proposed design plan is a positive addition to our neighborhood. Thank you.

Yours Truly,

 3/20/22

NOTICE OF DEVELOPMENT PROPOSAL

PROJECT TITLE: 629 BENVENUE AVENUE



PROJECT DESCRIPTION:
1. DEMOLISH EXISTING RESIDENCE
2. PROPOSE NEW 2-STORY SINGLE FAMILY RESIDENCE(3,564 SF)

APPLICANT
KYLE CHAN, ARCHITECT
PH: 408-780-8030
kyle@kylechan.com

OWNER
CHIEN-CHIH TUNG
650-380-9332
chienchih.tung@gmail.com

PROJECT PLANNER: TO SUBMIT COMMENTS OR ANY ADDITIONAL INFORMATION, PLEASE CONTACT:
NAZANEEN HEALY
650-947-2750
planner@tosaltosca.gov

PUBLIC HEARING DATES (AS SCHED

PUBLIC MEETING NOTICE

Wednesday, June 1, 2022 at 7:00 pm

The Design Review Commission will hold a public meeting to consider the project at the above date and time with an opportunity for public testimony.

How do I see the public hearing site? If you are interested in seeing the project site, please contact the applicant or the project planner. The project site is located at 629 Benvenue Avenue, San Jose, CA 95128. The project site is located at 629 Benvenue Avenue, San Jose, CA 95128. The project site is located at 629 Benvenue Avenue, San Jose, CA 95128.

Project plans and information are available for review on the City's website: <https://www.sanjoseca.gov/development/development>. The project plans will be available on the City's website on Thursday, June 1, 2022. The meeting will be held at 7:00 pm on Wednesday, June 1, 2022. The meeting will be held at 7:00 pm on Wednesday, June 1, 2022. The meeting will be held at 7:00 pm on Wednesday, June 1, 2022.



545 Meridian Ave # 26231
San Jose, CA 95126
408-646-9790

Arborist Report

Prepared For: Anhua Yu
629 Benvenue Ave
Los Altos, CA 94024

Prepared By: Thomas Lamas
ISA Certified Arborist
WE-13399A

February 23rd 2022

Table of Contents

Table of Contents	2
Introduction	3
Methodology	3
Summary	3
Tree Inventory	4
Protected Tree Evaluation & Recommendation	6
Tree Protection Plan	6
Example of Tree Protection	7
Disclosure Statement	9
Tree Photos	10
Site Plan	14

Introduction

NewVista Tree Service was contracted to provide a Certified Arborist Report for Anhua Yu, in conjunction with a development application for 629 Benvenue Ave Los Altos, CA 94024. All inspections were performed by a Certified Arborist accredited by the International Society of Arboriculture. The scope of our work was to evaluate the trees on the referenced property and to provide a professional recommendation on the necessary measures to complete the construction project and protect existing trees.

The proposed plans submitted to the City of Los Altos include the demolition of an existing single family home and the new construction of a 2-story 3,564 single family home. The report will express the Project Arborist Thomas Lamas' recommendations.

Methodology

Site tree assessments were carried out using a systematic and consistent method using the following rubric:

1. Species Identification and Classification
2. Measuring Tree Diameter at 4.5 ft in height (in accordance with ISA methods). Multi-trunk trees were measured by adding half the diameter of each additional stem to the largest stem.
3. Height Estimation
4. Classification of overall tree health using a rating system with the following metrics:
 - a. **5-** Tree is in excellent health. Excellent vigor with no signs of disease or dieback. Canopy is symmetrical and balanced with > 75% of original canopy intact. No evident structural defects.
 - b. **4-** Tree is in good health. Good vigor with minor imperfections and signs of stress. Small branch dieback. Relatively free of pests and disease. Between 50-75% of the original canopy is intact. No major structural defects that could not be corrected with appropriate methods.
 - c. **3-** Tree is in moderate health. Moderate vigor with branch dieback on small twigs and branches. Presence of pests or infection visible. The canopy is thinning and < 50% of the original canopy is intact. Some structural defects may be present that need to be corrected.
 - d. **2-** Tree is in poor declining condition. Has major dieback, cankers and or pockets on branches. Tree has < 25% of the original canopy intact. Major structural defects may be present that cannot be corrected.
 - e. **1-** Tree is in a severe declining condition. Major dieback and dead significant branches and or trunk. Mostly epicormic growth.
 - f. **0-** Tree is deceased.
5. Mapping and Labeling : Location of trees were identified on site plans in reference to existing structures

Summary

In total, **33** trees were assessed on the premises of 629 Benvenue Ave Los Altos, CA. Out of **33** trees **1** tree was found to be "protected" based on size. The **1** protected tree is a mature Coast Live Oak tree. On a health scale from 0-5, the majority of trees on the property scored 4 and 5's. Most trees are located along the perimeter of the property and will not be affected by construction. In this report, the retention and protection of **1** Large Oak Tree, **1** Birch Tree(non-protected), **1** Maple Tree (non-protected) is recommended. The removal of **1** non-protected Victorian Box Tree is recommended for future landscaping design.

Tree Inventory

Tree Inventory: 629 Benvenue Ave, Los Altos, CA 94024							
NewVista Tree Service							
Thomas Lamas ISA Certified Arborist							
Tree Number	Species	DBH (Inches)	Height (Ft)	Remain or Remove	Health Rating (0-5)	Protected (Y/N)	Comments
1	Birch (<i>Betula</i>)	5.3	20	Remain	5	N	Client Wishes To Protect
2	Mayten (<i>Maytenus boaria</i>)	4.9	10	Remain	5	N	Client Wishes To Protect
3	Japanese Maple (<i>Acer palmatum</i>)	9.8	15	Remain	5	N	
4	Privet (<i>Ligustrum vulgare</i>)	11	25	Remain	5	N	
5	Privet (<i>Ligustrum vulgare</i>)	9.2	25	Remain	5	N	Multi-Trunk
6	Pear (<i>Pyrus</i>)	3	7	Remain	5	N	
7	Privet (<i>Ligustrum vulgare</i>)	4.2	20	Remain	3	N	Previously topped
8	Privet (<i>Ligustrum vulgare</i>)	3.8	20	Remain	5	N	
9	Fig Tree (<i>Ficus</i>)	3	15	Remain	4	N	Growth into fence
10	Fern Pine (<i>Pinus densiflora</i>)	5	25	Remain	5	N	
11	Fern Pine (<i>Pinus densiflora</i>)	6.9	25	Remain	5	N	
12	Fern Pine (<i>Pinus densiflora</i>)	6.9	25	Remain	5	N	
13	Fern Pine (<i>Pinus densiflora</i>)	6.1	25	Remain	5	N	
14	Fern Pine (<i>Pinus densiflora</i>)	7.3	30	Remain	5	N	
15	Fern Pine (<i>Pinus densiflora</i>)	3.8	15	Remain	5	N	
16	Fern Pine (<i>Pinus densiflora</i>)	6.9	25	Remain	5	N	
17	Fern Pine (<i>Pinus densiflora</i>)	6.9	25	Remain	5	N	
18	Fern Pine (<i>Pinus densiflora</i>)	6.5	20	Remain	5	N	
19	Fern Pine (<i>Pinus densiflora</i>)	6.1	15	Remain	5	N	
20	Magnolia (<i>Magnolia sieboldii</i>)	12	30	Remain	5	N	

21	Redwood (<i>Sequoia sempervirens</i>)	8	30	Remain	5	N	
22	Shingle Oak (<i>Quercus imbricaria</i>)	13	25	Remain	5	N	
23	Coast Live Oak (<i>Quercus agrifolia</i>)	30.9	40	Remain	5	Yes	Protection Is Required
24	Japanese Photinia (<i>Photinia glabra</i>)	4.1	20	Remain	5	N	Multi-Trunk
25	Japanese Pittosporum (<i>Pittosporum tobira</i>)	12.6	20	Remain	5	N	Multi-Trunk
26	Victorian Box (<i>Pittosporum undulatum</i>)	5.3	25	Remain	4	N	
27	Victorian Box (<i>Pittosporum undulatum</i>)	6.8	25	Remove	4	N	Non-protected Tree
28	Japanese Photinia (<i>Photinia glabra</i>)	8.9	15	Remain	5	N	
29	Black Matipo (<i>Pittosporum tenuifolium</i>)	3.8	15	Remain	3	N	
30	Privet (<i>Ligustrum vulgare</i>)	3.8	8	Remain	3	N	Topped
31	Black Matipo (<i>Pittosporum tenuifolium</i>)	10.6	8	Remain	3	N	Topped
32	Black Matipo (<i>Pittosporum tenuifolium</i>)	11.8	8	Remain	3	N	Topped
33	Black Matipo (<i>Pittosporum tenuifolium</i>)	6.9	8	Remain	3	N	Topped

Protected Tree Evaluation & Recommendation

1. Species: **Coast Live Oak Tree** (*Quercus agrifolia*) DBH: **26**inches Height~**40**ft Tree# **23**
 - a. Health Rating: **5**
 - b. Observations: Mature Coast Live Oak tree is healthy. Foliage is green and lush. There are no signs of pests or diseases. The tree has a small bark lesion on the lower trunk. Tree is located on the rear of the property and construction should not encroach under the drip line of the canopy.
 - c. Recommendation: The large Oak tree should be protected during construction. A chain link fence should be erected around the perimeter of the tree's canopy.

Tree Protection Plan

If trees are identified to be preserved in this report or city officials make the recommendation. The trees shall be protected using the following methods.

Before Construction:

Before any construction is to commence, the following measures should be taken:

Tree Protection Zone

Trees which are located near the proposed construction, are to be protected from possible mechanical damage by the following protection methods in accordance with the City of Los Altos Municipal Code **11.08.120**:

1. Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree.
2. The fence shall be chain link and a minimum of five feet in height. Fence shall be supported by vertical posts driven 2 feet (min) into the ground.
3. The existing grade level around a tree shall normally be maintained out to the dripline of the tree. No signs, wires, or any other object shall be attached to the tree.
4. Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods

During Construction:

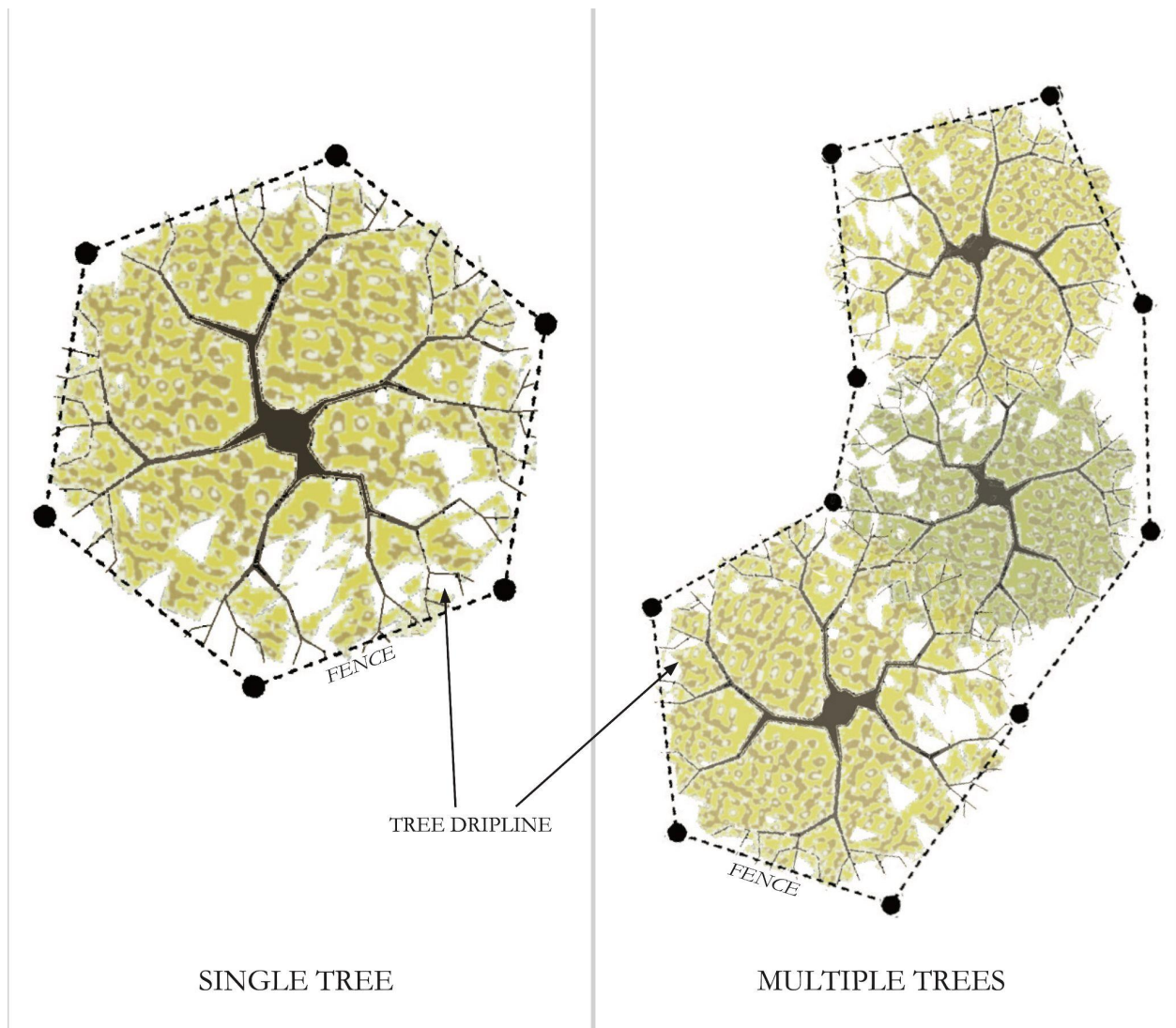
1. Project Arborist shall observe any excavation/drilling encroaching the protected tree(s) canopy. And direct any mitigation or required root pruning.
2. Any pruning done during construction must be in accordance with ANSI 300 standards.
3. All contractors & subcontractors must be informed not to encroach on protected tree(s) without the permission of the Project Arborist.
4. Unnecessary soil compaction must be avoided. No storage of heavy machinery or supplies should be stored under the canopy of protected trees.

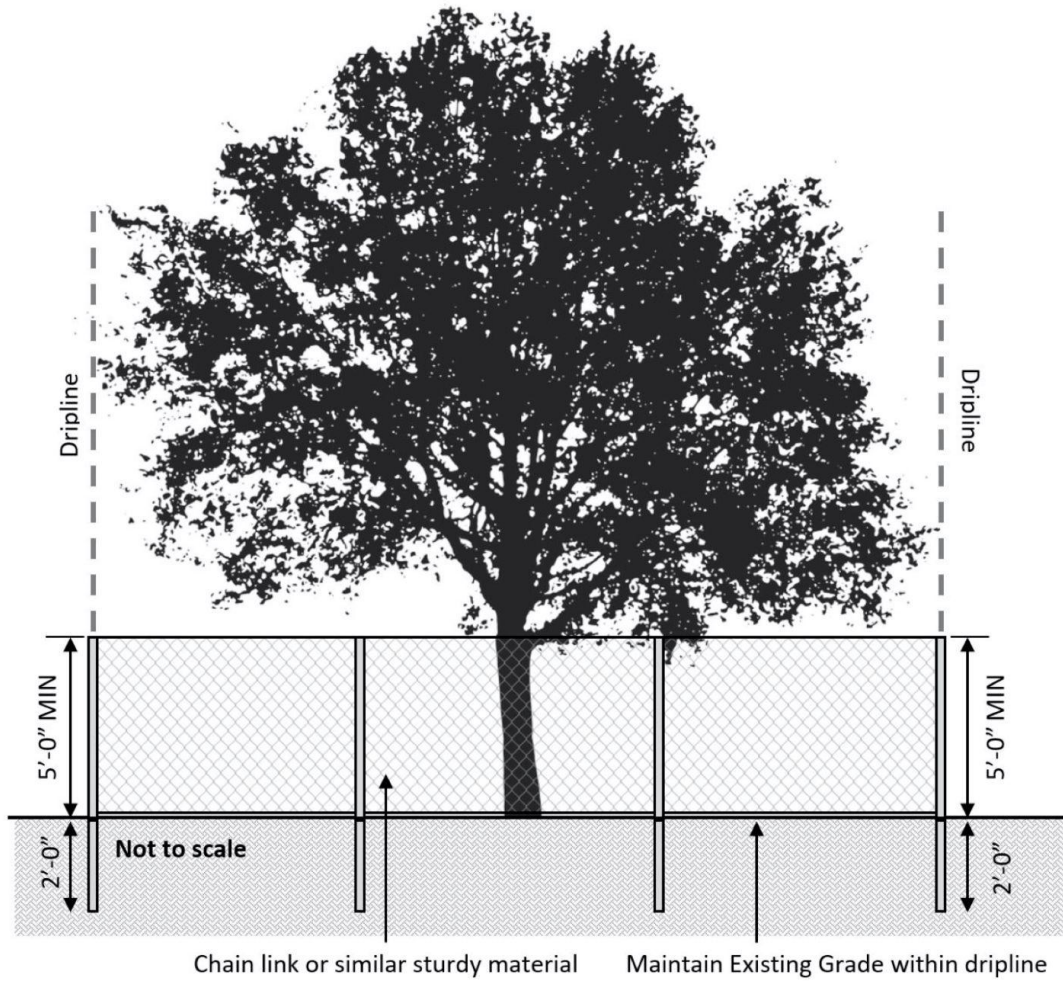
After Construction:

1. After Construction is complete, all protective material will be removed from trees and disposed of properly

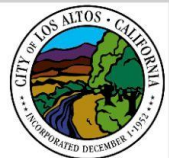
2. Over the next few months, property owners shall observe trees for any signs of distress. If any tree shows signs of stress, an arborist should be contacted.
3. Routine pruning should be performed to keep trees healthy. Removal of dead, diseased or damaged limbs is recommended.
4. Mulching is encouraged to help retain moisture in soil and prevent unwanted vegetation from growing around trees.
5. If needed, soil should be fertilized using slow release fertilizer. Soil testing can help determine if there is a mineral deficiency.

Example of Tree Protection





TREE PROTECTION FENCE DETAIL
ELEVATION VIEW



Disclosure Statement

The information presented in this report is accurate to the best of my knowledge. It is the responsibility of the property owner, contractor & architect to review the report as well as fully understand and adhere to its content for this development.

Sketches and diagrams in this report are intended to aid and are not intended to be taken as engineering or architectural reports.

NewVista Inc does not guarantee the survival or protection of the trees mentioned in this report. The recommendations made in this report are to aid and minimize the potential damage to such trees. Ultimately the trees on the property are the owners responsibility.

This report solely contains the opinion and recommendation of an ISA Certified Arborist; it does not provide approval or give the right to commence any development.



Thomas Lamas
ISA Certified Arborist
WE-13399A

Tree Photos



Tree #1



Tree # 2 #4 #5



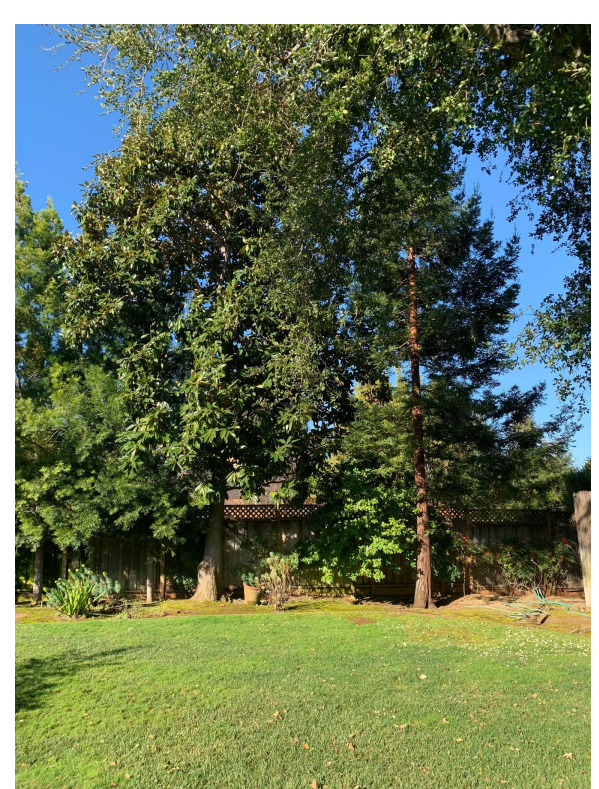
Tree#3



Tree#6 #7#8#9



Tree# 10#11#12#13#14#15#16#17#18#19



Tree#20 #21



Tree#22



Tree#23(Protected Tree)



Tree#24 #25



Tree#26

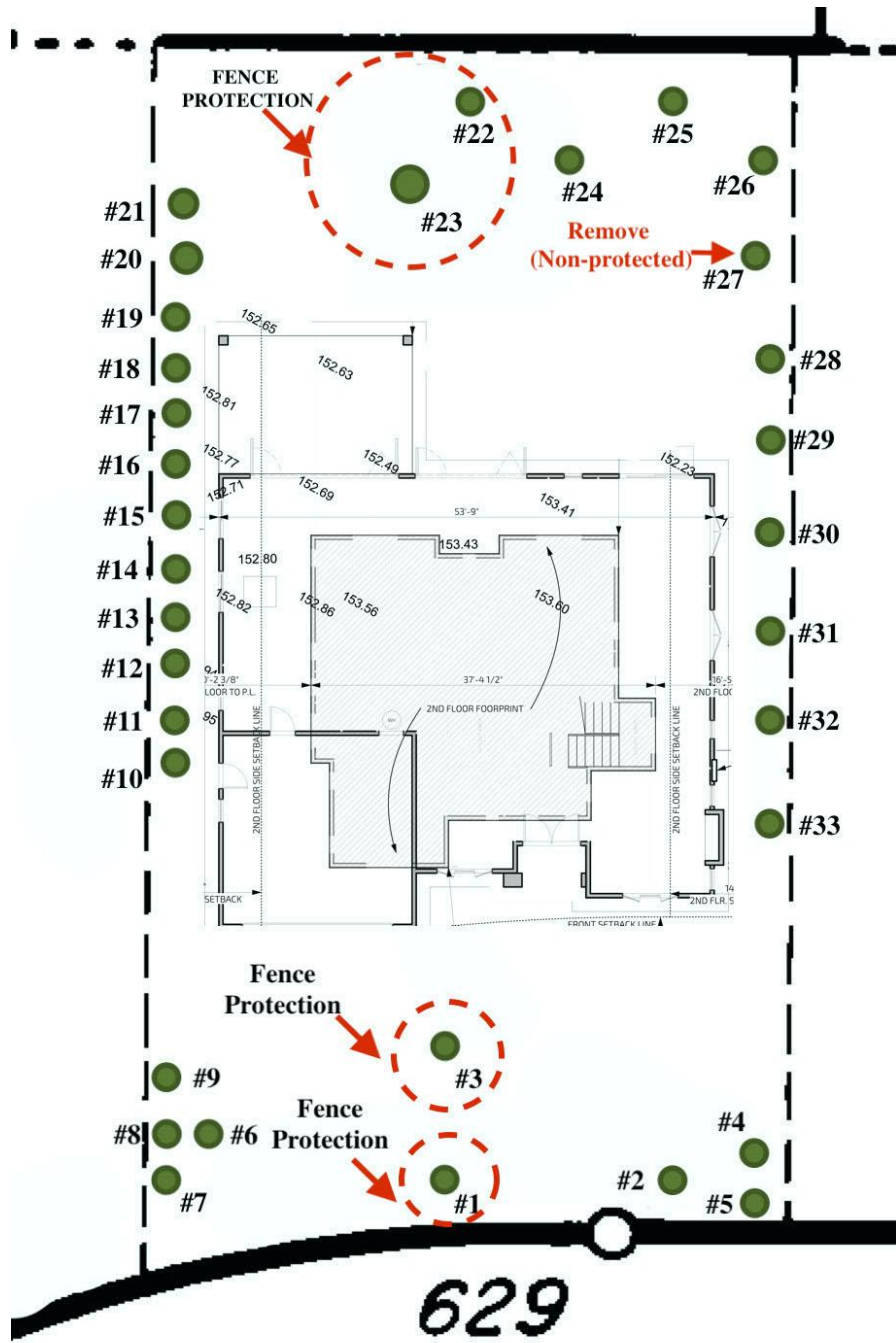


Tee#27#28



Tree #31#32#33

Site Plan



Benvenue
Ave

EXTERIOR FINISH SCHEDULE		
SYMBOL	MATERIAL	COLOR
R1	TILE ROOF	TAN
S2	FOND DU LAC RUSTIC VENEER STONE OR SIM.	BEIGE
S3	COTTONWOOD LIMESTONE VENEER STONE OR SIM.	BEIGE
CP1	SMOOTH CEMENT PLASTER	
P1	BENJAMIN MOORE	BEIGE
P2	BENJAMIN MOORE GRAPHITE 1603	GRAPHITE
	WINDOW W/ GRAPHITE TRIM BY MILGARD MONTECELLO OR SIM.	
	GARAGE: FIBERGLASS PANEL GRAPHITE FINISH W/ LIGHT BY OVERHEAD DOOR COMPANY OR SIM.	



WINDOW



GARAGE



629 BENVENUE AVE
 TWO-STORY RESIDENTIAL DESIGN
 3/1/2022
 MATERIAL BOARD

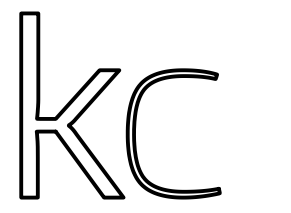
629 BENVENUE AVE

LOS ALTOS CA 94024

NEW 2-STORY SINGLE FAMILY HOUSE

PERMIT SUBMISSION SET:

- PV SYSTEM REQUIRED UNDER 2019 CODE:
 PROVIDE THE FOLLOWING FOR THE INSPECTOR'S REVIEW:
 1) LOCATION OF THE PV ARRAY SYSTEM ON ROOF PLANS.
 2) STATE THE KW PROPOSED IN TITLE-24 ON ROOF PLAN
 3) SOLAR PANELS MUST BE A ROOFTOP INSTALLATION
 4) TOTAL PANEL WEIGHT INCLUDING FRAME CANNOT EXCEED 5 POUNDS PER SQ FT.
 5) MAX CONCENTRATED LOAD AT EACH POINT OF SUPPORT SHALL NOT EXCEED 40 POUNDS
 6) MAX HEIGHT ABOVE THE ROOF SURFACE IS LESS THAN 18 INCHES
 7) PV PANELS MUST NOT BE BALLASTED
 8) SOLAR INSTALLATION DRAWINGS SHALL BE PROVIDED TO CITY INSPECTOR AT THE JOB SITE.



kylechan
 ARCHITECT
 3561 HOMESTEAD ROAD
 SUITE 222,
 SANTA CLARA, CA 95051
 669-244-3111
 www.kylechan.com
 kyle@kylechan.com

PLANNING SET
 3.9.2022

Sheet Revisions:
 1 PLAN CHECK COMMENTS
 4.22.2022

ALL DIMENSIONS AND WRITTEN MATERIALS CONTAINED HEREIN ARE THE PROPERTY OF KYLE CHAN ARCHITECT. NO PART OF THIS DOCUMENT IS TO BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF KYLE CHAN ARCHITECT, INC.

ELECTRONIC PLAN REVIEW

TUNG RESIDENCE
 NEW RESIDENCE
 629 BENVENUE AVE,
 LOS ALTOS, CA 94024

PLANNING SET
 NOT FOR CONSTRUCTION

COVER SHEET

CITY STAMP:

A0.1

PROJECT NUMBER: 2110
 629 BENVENUE AVE



<p>PROJECT TEAM</p> <p>OWNER CHIEN-CHIH TUNG 629 BENVENUE AVE LOS ALTOS, CA 94024 650-380-9332 chienchih.tung@gmail.com</p> <p>SURVEYOR BAY LAND CONSULTING 2315 SOUTH BASCOM AVE #200 CAMPBELL, CA 95008 KENNETH ANDERSON L57523 408-786-6700 AGOODSURVEYOR@GMAIL.COM SURVEYOR@BAYLANDCONSULTING.COM/ HTTP://BAYLANDCONSULTING.COM/</p> <p>CIVIL ENGINEER BAY LAND CONSULTING 2315 SOUTH BASCOM AVE #200 CAMPBELL, CA 95008 408-786-6700 SCOTT HOFFMAN scott@bcng.com HTTP://BAYLANDCONSULTING.COM/</p> <p>ARBORIST NEWVISTA INC. THOMAS LAMAS 545 MERIDIAN AVE # 26231 SAN JOSE, CA 95126 (408) 646-9790 TLAMAS@NEWVISTAINC.COM</p> <p>LANDSCAPE ARCHITECT YILIANG KAO 510-423-3626 yiliang.kao@gmail.com</p>	<p>ARCHITECT KYLE CHAN, ARCHITECT 3561 HOMESTEAD ROAD #222 SANTA CLARA, CA 95051 PH: 408-780-8030 CELL: 669-244-3111 kyle@kylechan.com</p> <p>TITLE-24 ENERGY CONSULTANT CARSTAIRS ENERGY CALCULATIONS PO BOX 4736 SAN LUIS OBISPO, CA 93403 PH: 805-904-9048 title24@yahoo.com</p> <p>GENERAL CONTRACTOR T.B.D.</p>	<p>VICINITY MAP</p> <p style="text-align: center;">SITE</p> <p style="text-align: center;">N.T.S.</p>	<p>ZONING INFORMATION</p> <p style="text-align: center;">ZONING COMPLIANCE</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>Existing</th> <th>Proposed</th> <th>Allowed/Required</th> </tr> </thead> <tbody> <tr> <td>LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i></td> <td>2,006 square feet (19.6%)</td> <td>2,833 square feet (27.8%)</td> <td>3,058 square feet (30.0%)</td> </tr> <tr> <td>FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i></td> <td>2,006 square feet (19.6%)</td> <td>3,564 square feet (34.9%)</td> <td>3,568 square feet (35.0%)</td> </tr> <tr> <td>SETBACKS:</td> <td></td> <td></td> <td></td> </tr> <tr> <td>Front</td> <td>22.0 feet</td> <td>25 feet</td> <td>25 feet</td> </tr> <tr> <td>Rear</td> <td>63.0 feet</td> <td>47.9 feet</td> <td>25 feet</td> </tr> <tr> <td>Right side (1st/2nd)</td> <td>10.2 feet/NA feet</td> <td>10 feet/15.5 feet</td> <td>74.2 feet/20.2 feet</td> </tr> <tr> <td>Left side (1st/2nd)</td> <td>9.7 feet/NA feet</td> <td>10 feet/20.2 feet</td> <td>74.2 feet/20.2 feet (100% LOT WIDTH 74')</td> </tr> <tr> <td>HEIGHT:</td> <td>16'5" feet</td> <td>24'2" feet</td> <td>27 feet</td> </tr> </tbody> </table> <p style="text-align: center;">SQUARE FOOTAGE BREAKDOWN</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th></th> <th>Existing</th> <th>Change in</th> <th>Total Proposed</th> </tr> </thead> <tbody> <tr> <td>HABITABLE LIVING AREA: <i>Includes habitable basement areas</i></td> <td>1,574 square feet</td> <td>1,531 square feet</td> <td>3,105 square feet</td> </tr> <tr> <td>NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i></td> <td>432 square feet</td> <td>27 square feet</td> <td>459 square feet</td> </tr> </tbody> </table> <p style="text-align: center;">LOT CALCULATIONS</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tbody> <tr> <td>NET LOT AREA:</td> <td>10,195 square feet</td> </tr> <tr> <td>FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i></td> <td>760 square feet (36%)</td> </tr> <tr> <td>LANDSCAPING BREAKDOWN:</td> <td></td> </tr> <tr> <td>Total hardscape area (existing and proposed):</td> <td>4,553 sq ft</td> </tr> <tr> <td>Existing softscape (undisturbed) area:</td> <td>3,386 sq ft</td> </tr> <tr> <td>New softscape area:</td> <td>2,756 sq ft</td> </tr> <tr> <td><i>Sum of all three should equal the site's net lot area</i></td> <td></td> </tr> </tbody> </table>		Existing	Proposed	Allowed/Required	LOT COVERAGE: <i>Land area covered by all structures that are over 6 feet in height</i>	2,006 square feet (19.6%)	2,833 square feet (27.8%)	3,058 square feet (30.0%)	FLOOR AREA: <i>Measured to the outside surfaces of exterior walls</i>	2,006 square feet (19.6%)	3,564 square feet (34.9%)	3,568 square feet (35.0%)	SETBACKS:				Front	22.0 feet	25 feet	25 feet	Rear	63.0 feet	47.9 feet	25 feet	Right side (1 st /2 nd)	10.2 feet/NA feet	10 feet/15.5 feet	74.2 feet/20.2 feet	Left side (1 st /2 nd)	9.7 feet/NA feet	10 feet/20.2 feet	74.2 feet/20.2 feet (100% LOT WIDTH 74')	HEIGHT:	16'5" feet	24'2" feet	27 feet		Existing	Change in	Total Proposed	HABITABLE LIVING AREA: <i>Includes habitable basement areas</i>	1,574 square feet	1,531 square feet	3,105 square feet	NON-HABITABLE AREA: <i>Does not include covered porches or open structures</i>	432 square feet	27 square feet	459 square feet	NET LOT AREA:	10,195 square feet	FRONT YARD HARDSCAPE AREA: <i>Hardscape area in the front yard setback shall not exceed 50%</i>	760 square feet (36%)	LANDSCAPING BREAKDOWN:		Total hardscape area (existing and proposed):	4,553 sq ft	Existing softscape (undisturbed) area:	3,386 sq ft	New softscape area:	2,756 sq ft	<i>Sum of all three should equal the site's net lot area</i>		<p>PROJECT INFORMATION</p> <p>PROJECT DESCRIPTION: 1. 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PROPOSE NEW 2-STORY SINGLE FAMILY RESIDENCE</p> <p>APN: 189-38-079</p> <p>CONSTRUCTION TYPE: V-B</p> <p>OCCUPANCY: R-3 / U</p> <p>BUILDING CODES: 2019 CBC (BASED ON 2018 IBC) 2019 CRC (BASED ON 2018 IRC) 2019 CEC (BASED ON 2017 NEC) 2019 EMC (BASED ON 2018 UMC) 2019 CPC (BASED ON 2018 UPC) 2019 CALIFORNIA ENERGY CODE 2019 CFC (BASED ON 2018 IFC) 2019 CALIFORNIA GREEN BUILDING STANDARDS CODE (CALGREEN) CITY MUNICIPAL CODE ALL APPLICABLE LOCAL, COUNTY, STATE AND FEDERAL CODES, LAWS & REGULATIONS</p> <p>NO GAS POLICY: FOR THE NEW SINGLEFAMILY HOME, NO GAS IS ALLOWED PER CITY REACH CODES.</p> <p>FIRE SPRINKLER: A RESIDENTIAL FIRE SPRINKLER SYSTEM IS REQUIRED IN ACCORDANCE WITH NFPA 13D AND STATE AND LOCAL REQUIREMENTS FIRE SPRINKLER SYSTEM TO BE APPROVED UNDER A SEPARATE PERMIT.</p> <p>SOLAR PANEL: SOLAR PANEL REQUIRED PER TITLE-24 UNDER A SEPARATE PERMIT.</p>	<p>DRAWING INDEX</p> <table border="0"> <tr> <td>A0.1</td> <td>PROJECT INFO</td> </tr> <tr> <td>A0.2</td> <td>STREETSCAPE DIAGRAM</td> </tr> <tr> <td>A0.3</td> <td>ARBORIST REPORT AND TPZ PLAN</td> </tr> <tr> <td colspan="2"> </td> </tr> <tr> <td>CIVIL</td> <td>BOUNDARY & TOPOGRAPHIC SURVEY</td> </tr> <tr> <td>T OF T</td> <td>GRADING AND DRAINAGE NOTES & DETAILS</td> </tr> <tr> <td>C-1</td> <td>GRADING AND DRAINAGE PLAN</td> </tr> <tr> <td>C-2</td> <td>EROSION CONTROL PLAN</td> </tr> <tr> <td>C-3</td> <td>EROSION CONTROL DETAILS</td> </tr> <tr> <td>C-4</td> <td>BLUEPRINT FOR A CLEAN BAY</td> </tr> <tr> <td>C-5</td> <td></td> </tr> <tr> <td colspan="2"> </td> </tr> <tr> <td>ARCHITECTURAL</td> <td>SITE PLAN / FLOOR AREA STUDY</td> </tr> <tr> <td>A0.5</td> <td>SITE PLAN / FLOOR AREA STUDY</td> </tr> <tr> <td>A1.1</td> <td>EXISTING FLOOR PLAN / ELEVATIONS</td> </tr> <tr> <td>A2.1</td> <td>FIRST / SECOND FLOOR PROPOSED PLAN</td> </tr> <tr> <td>A2.2</td> <td>ROOF PROPOSED PLAN</td> </tr> <tr> <td>A3.1</td> <td>PROPOSED ELEVATIONS</td> </tr> <tr> <td>A3.2</td> <td>PROPOSED ELEVATIONS</td> </tr> <tr> <td>A3.0</td> <td>EXTERIOR SECTIONS</td> </tr> <tr> <td colspan="2"> </td> </tr> <tr> <td>LANDSCAPE</td> <td>PLANTING PLAN</td> </tr> <tr> <td>L-1</td> <td>PLANTING PLAN</td> </tr> </table>	A0.1	PROJECT INFO	A0.2	STREETSCAPE DIAGRAM	A0.3	ARBORIST REPORT AND TPZ PLAN			CIVIL	BOUNDARY & TOPOGRAPHIC SURVEY	T OF T	GRADING AND DRAINAGE NOTES & DETAILS	C-1	GRADING AND DRAINAGE PLAN	C-2	EROSION CONTROL PLAN	C-3	EROSION CONTROL DETAILS	C-4	BLUEPRINT FOR A CLEAN BAY	C-5				ARCHITECTURAL	SITE PLAN / FLOOR AREA STUDY	A0.5	SITE PLAN / FLOOR AREA STUDY	A1.1	EXISTING FLOOR PLAN / ELEVATIONS	A2.1	FIRST / SECOND FLOOR PROPOSED PLAN	A2.2	ROOF PROPOSED PLAN	A3.1	PROPOSED ELEVATIONS	A3.2	PROPOSED ELEVATIONS	A3.0	EXTERIOR SECTIONS			LANDSCAPE	PLANTING PLAN	L-1	PLANTING PLAN
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624 PACO DR
2-STORY HOUSE



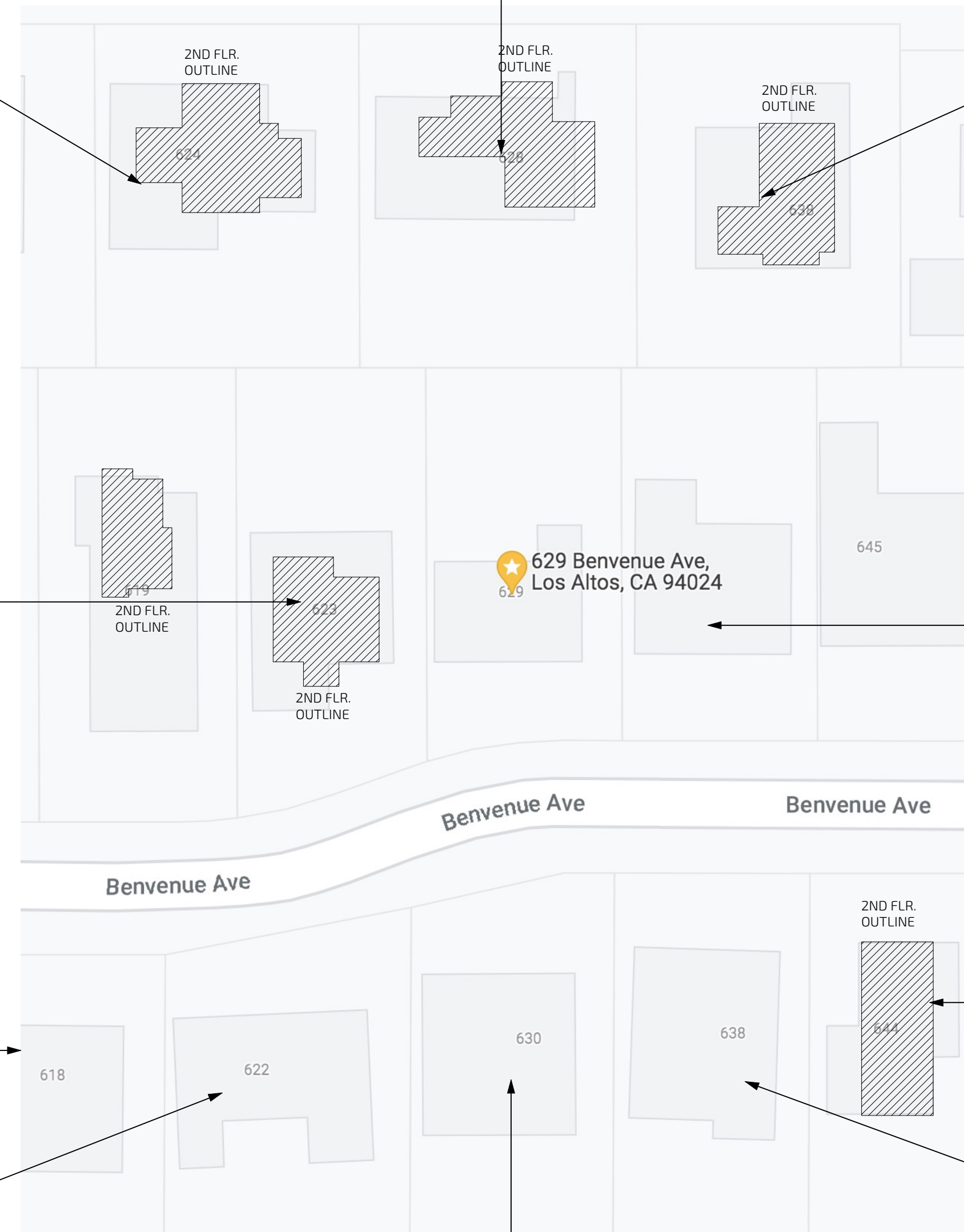
628 PACO DR
2-STORY HOUSE



638 PACO DR
2-STORY HOUSE



623 BENVENUE AVE
2-STORY HOUSE



645 BENVENUE AVE
1-STORY HOUSE



618 BENVENUE AVE
1-STORY HOUSE



644 BENVENUE AVE
2-STORY HOUSE



622 BENVENUE AVE
1-STORY HOUSE



630 BENVENUE AVE
1-STORY HOUSE



638 BENVENUE AVE (IN CONSTRUCTION)
1-STORY HOUSE

kc

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PLANNING SET
3.9.2022

Sheet Revisions:
1 PLAN CHECK COMMENTS
4.22.2022

ELECTRONIC PLAN REVIEW

TUNG RESIDENCE
NEW RESIDENCE
629 BENVENUE AVE,
LOS ALTOS, CA 94024

PLANNING SET
NOT FOR CONSTRUCTION

STREETSCAPE
DIAGRAM

CITY STAMP:

A0.2

PROJECT NUMBER: 2110
629 BENVENUE AVE

NewVista Inc
Tree Service

545 Meridian Ave # 26231
San Jose, CA 95126
408.666.9790

Arborist Report

Prepared For: Anshu Yu
629 Benvenue Ave
Los Altos, CA 94024

Prepared By: Thomas Lamas
ISA Certified Arborist
WE-13399A

February 23rd 2022

Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

Table of Contents

Table of Contents	2
Introduction	3
Methodology	3
Summary	3
Tree Inventory	4
Protected Tree Evaluation & Recommendation	6
Tree Protection Plan	6
Example of Tree Protection	7
Disclosure Statement	9
Tree Photos	10
Site Plan	14

Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

Introduction

NewVista Tree Service was contracted to provide a Certified Arborist Report for Anshu Yu, in conjunction with a development application for 629 Benvenue Ave, Los Altos, CA 94024. All inspections were performed by a Certified Arborist accredited by the International Society of Arboriculture. The scope of our work was to evaluate the trees on the referenced property and to provide a professional recommendation on the necessary measures to complete the construction project and protect existing trees.

The proposed plans submitted to the City of Los Altos include the demolition of an existing single family home and the new construction of a 2-story 3,564 single family home. The report will express the Project Arborist Thomas Lamas' recommendations.

Methodology

Site tree assessments were carried out using a systematic and consistent method using the following rubric:

- Species Identification and Classification
- Measuring Tree Diameter at 4.5ft in height (in accordance with ISA methods). Multi-trunk trees were measured by adding half the diameter of each additional stem to the largest stem.
- Height Estimation
- Classification of overall tree health using a rating system with the following metrics:
 - 5- Tree in excellent health. Excellent vigor with no signs of disease or dieback. Canopy is symmetrical and balanced with > 75% of original canopy intact. No evident structural defects.
 - 4- Tree in good health. Good vigor with minor imperfections and signs of stress. Small branch dieback. Relatively free of pests and disease. Between 50-75% of the original canopy is intact. No major structural defects that could not be corrected with appropriate methods.
 - 3- Tree in moderate health. Moderate vigor with branch dieback on small twigs and branches. Presence of pests or infection visible. The canopy is thinning and < 50% of the original canopy is intact. Some structural defects may be present that need to be corrected.
 - 2- Tree in poor declining condition. Has major dieback, cankers and/or peckers on branches. Tree has < 25% of the original canopy intact. Major structural defects may be present that cannot be corrected.
 - 1- Tree in a severe declining condition. Major dieback and dead significant branches and/or trunk. Mostly epicormic growth.
 - 0- Tree is deceased.
- Mapping and Labeling: Location of trees were identified on site plans in reference to existing structures

Summary

In total, 33 trees were assessed on the premises of 629 Benvenue Ave, Los Altos, CA. Out of 33 trees 1 tree was found to be "protected" based on site. The 1 protected tree is a mature Coast Live Oak tree. On a health scale from 0-5, the majority of trees on the property scored 4 and 5's. Most trees are located along the perimeter of the property and will not be affected by construction. In this report, the retention and protection of 1 Large Oak Tree, 1 Birch Tree (non-protected), 1 Maple Tree (non-protected) is recommended. The removal of 1 non-protected Victorian Box Tree is recommended for future landscaping design.

Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

Tree Inventory

Tree Inventory: 629 Benvenue Ave, Los Altos, CA 94024

NewVista Tree Service

Thomas Lamas ISA Certified Arborist

Tree Number	Species	DBH (Inches)	Height (ft)	Remove	Health Rating (0-5)	Protected (Y/N)	Comments
1	Birch (Betula)	5.3	20	Remains	5	N	Check White To Protect
2	Maple (Acer glabrum)	4.9	10	Remains	5	N	Check White To Protect
3	Japanese Maple (Acer palmatum)	9.8	15	Remains	5	N	
4	Prunus (Prunus vulgaris)	11	25	Remains	5	N	
5	Prunus (Prunus vulgaris)	9.2	25	Remains	5	N	Multi Trunk
6	Birch (Betula)	3	7	Remains	5	N	
7	Prunus (Prunus vulgaris)	4.2	20	Remains	5	N	Previously topped
8	Prunus (Prunus vulgaris)	3.8	20	Remains	5	N	
9	Fig Tree (Ficus)	3	15	Remains	4	N	Growth on fence
10	Iron Pine (Pinus densata)	5	25	Remains	5	N	
11	Iron Pine (Pinus densata)	6.9	25	Remains	5	N	
12	Iron Pine (Pinus densata)	6.9	25	Remains	5	N	
13	Iron Pine (Pinus densata)	6.1	25	Remains	5	N	
14	Iron Pine (Pinus densata)	7.3	30	Remains	5	N	
15	Iron Pine (Pinus densata)	3.8	15	Remains	5	N	
16	Iron Pine (Pinus densata)	6.9	25	Remains	5	N	
17	Iron Pine (Pinus densata)	6.9	25	Remains	5	N	
18	Iron Pine (Pinus densata)	6.5	20	Remains	5	N	
19	Iron Pine (Pinus densata)	6.1	15	Remains	5	N	
20	Magavilla (Magavilla arborea)	12	30	Remains	5	N	

Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

21	Kalwood (Quercus agrifolia)	8	30	Remains	5	N	
22	Single Oak (Quercus rubra)	13	25	Remains	5	N	
23	Coast Live Oak (Quercus agrifolia)	30.9	40	Remains	5	Yes	Protection Is Required
24	Japanese Phoenix (Phoenix glabra)	4.1	20	Remains	5	N	Multi Trunk
25	Japanese Pinesap (Pinus japonica)	12.6	20	Remains	5	N	Multi Trunk
26	Victorian Box (Panicum andalutense)	5.3	25	Remains	4	N	
27	Victorian Box (Panicum andalutense)	6.8	25	Remove	4	N	Non-protected Tree
28	Japanese Phoenix (Phoenix glabra)	8.9	15	Remains	5	N	
29	Black Maple (Acer glabrum)	3.8	15	Remains	3	N	
30	Prunus (Prunus vulgaris)	3.8	8	Remains	3	N	Topped
31	Black Maple (Acer glabrum)	10.6	8	Remains	3	N	Topped
32	Black Maple (Acer glabrum)	11.8	8	Remains	3	N	Topped
33	Black Maple (Acer glabrum)	6.9	8	Remains	3	N	Topped

Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

Protected Tree Evaluation & Recommendation

- Species: **Coast Live Oak Tree (Quercus agrifolia)** DBH: 26inches Height: 40ft Tree# 23
 - Health Rating: 5
 - Observation: Mature Coast Live Oak tree is healthy. Foliage is green and lush. There are no signs of pests or diseases. The tree has a small bark lesion on the lower trunk. Tree is located on the rear of the property and construction should not encroach under the drip line of the canopy.
 - Recommendation: The large Oak tree should be protected during construction. A chain link fence should be erected around the perimeter of the tree's canopy.

Tree Protection Plan

If trees are identified to be preserved in this report or city officials make the recommendation. The trees shall be protected using the following methods:

Before Construction:
Before any construction is to commence, the following measures should be taken:

Tree Protection Zone

Trees which are located near the proposed construction, are to be protected from possible mechanical damage by the following protection methods in accordance with the City of Los Altos Municipal Code: **11.08.130**:

- Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree.
- The fence shall be chain link and a minimum of five feet in height. Fence shall be supported by vertical posts driven 2 feet (min) into the ground.
- The existing grade level around a tree shall normally be maintained out to the dripline of the tree. No signs, wires, or any other object shall be attached to the tree.
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.

During Construction:

- Project Arborist shall observe any excavation/drilling encroaching the protected tree(s) canopy. And direct any mitigation or required tree pruning.
- Any pruning done during construction must be in accordance with ANSI 300 standards.
- All contractors & subcontractors must be informed not to encroach on protected tree(s) without the permission of the Project Arborist.
- Unnecessary soil compaction must be avoided. No storage of heavy machinery or supplies should be stored under the canopy of protected trees.

After Construction:

- After Construction is complete, all protective material will be removed from trees and disposed of properly.

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Trees which are located near the proposed construction, are to be protected from possible mechanical damage by the following protection methods in accordance with the City of Los Altos Municipal Code: **11.08.130**:

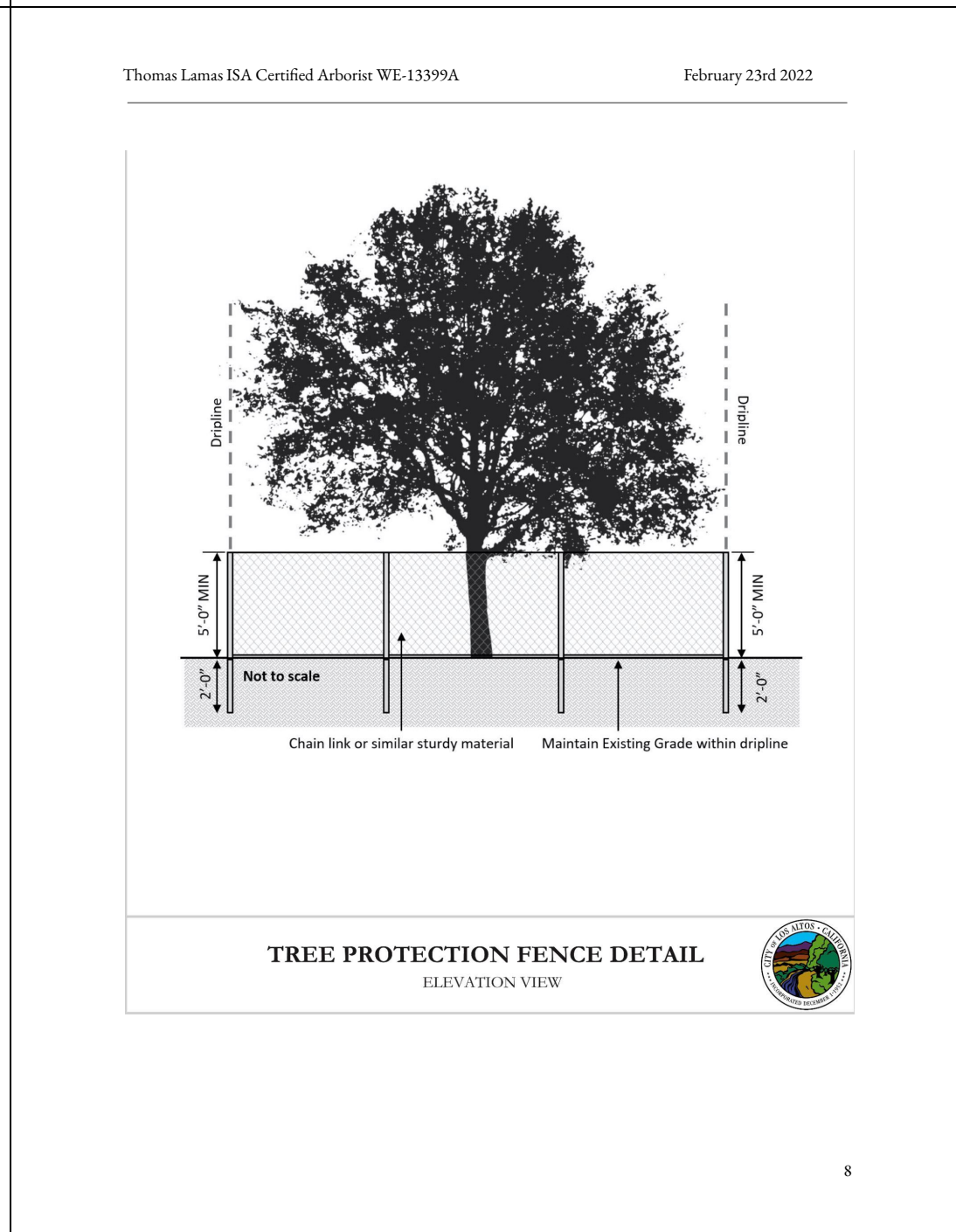
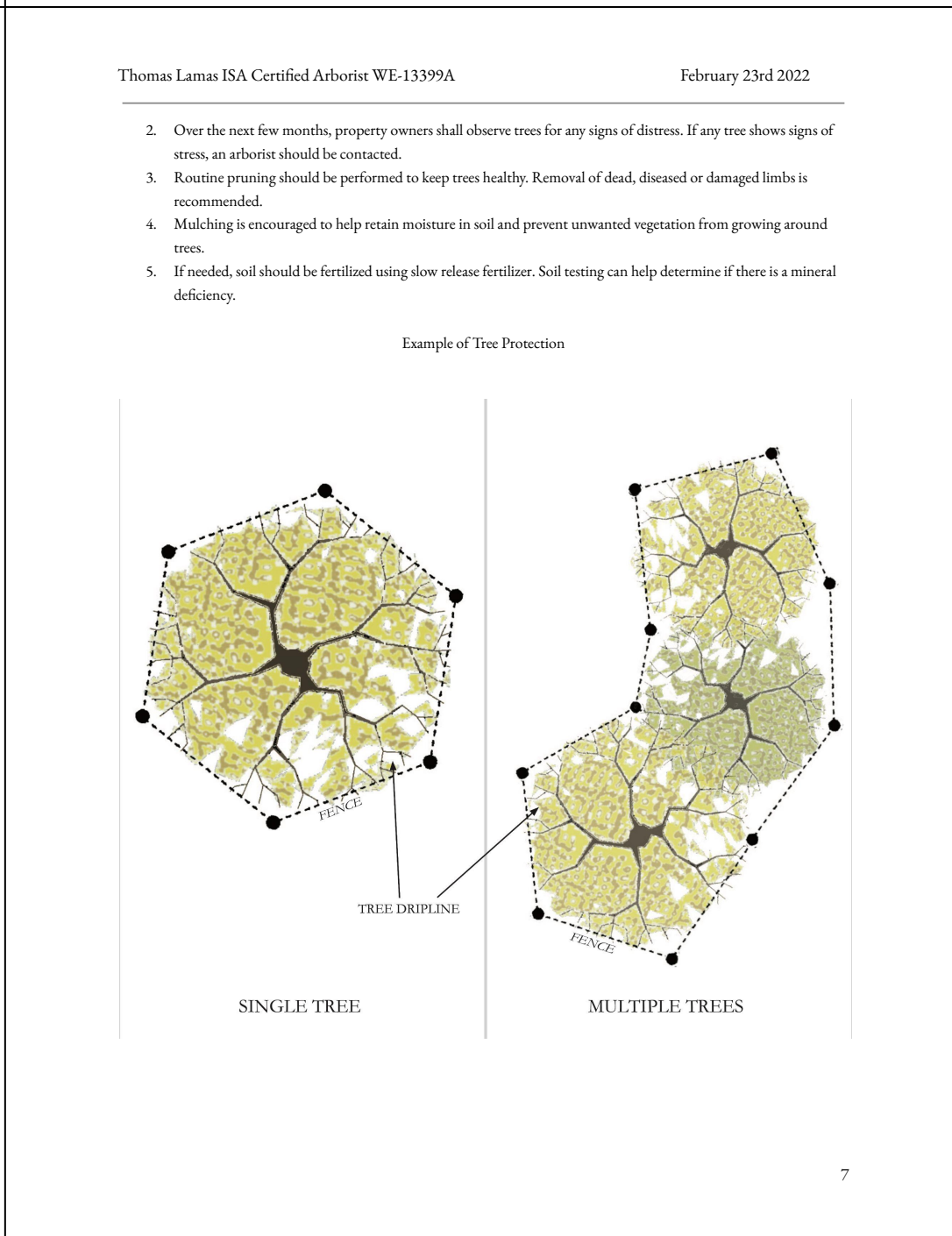
- Protective fencing shall be installed no closer to the trunk than the dripline, and far enough from the trunk to protect the integrity of the tree.
- The fence shall be chain link and a minimum of five feet in height. Fence shall be supported by vertical posts driven 2 feet (min) into the ground.
- The existing grade level around a tree shall normally be maintained out to the dripline of the tree. No signs, wires, or any other object shall be attached to the tree.
- Trees that have been damaged by construction shall be repaired in accordance with accepted arboriculture methods.

During Construction:

- Project Arborist shall observe any excavation/drilling encroaching the protected tree(s) canopy. And direct any mitigation or required tree pruning.
- Any pruning done during construction must be in accordance with ANSI 300 standards.
- All contractors & subcontractors must be informed not to encroach on protected tree(s) without the permission of the Project Arborist.
- Unnecessary soil compaction must be avoided. No storage of heavy machinery or supplies should be stored under the canopy of protected trees.

After Construction:

- After Construction is complete, all protective material will be removed from trees and disposed of properly.



Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

Disclosure Statement

The information presented in this report is accurate to the best of my knowledge. It is the responsibility of the property owner, contractor & architect to review the report as well as fully understand and adhere to its content for this development.

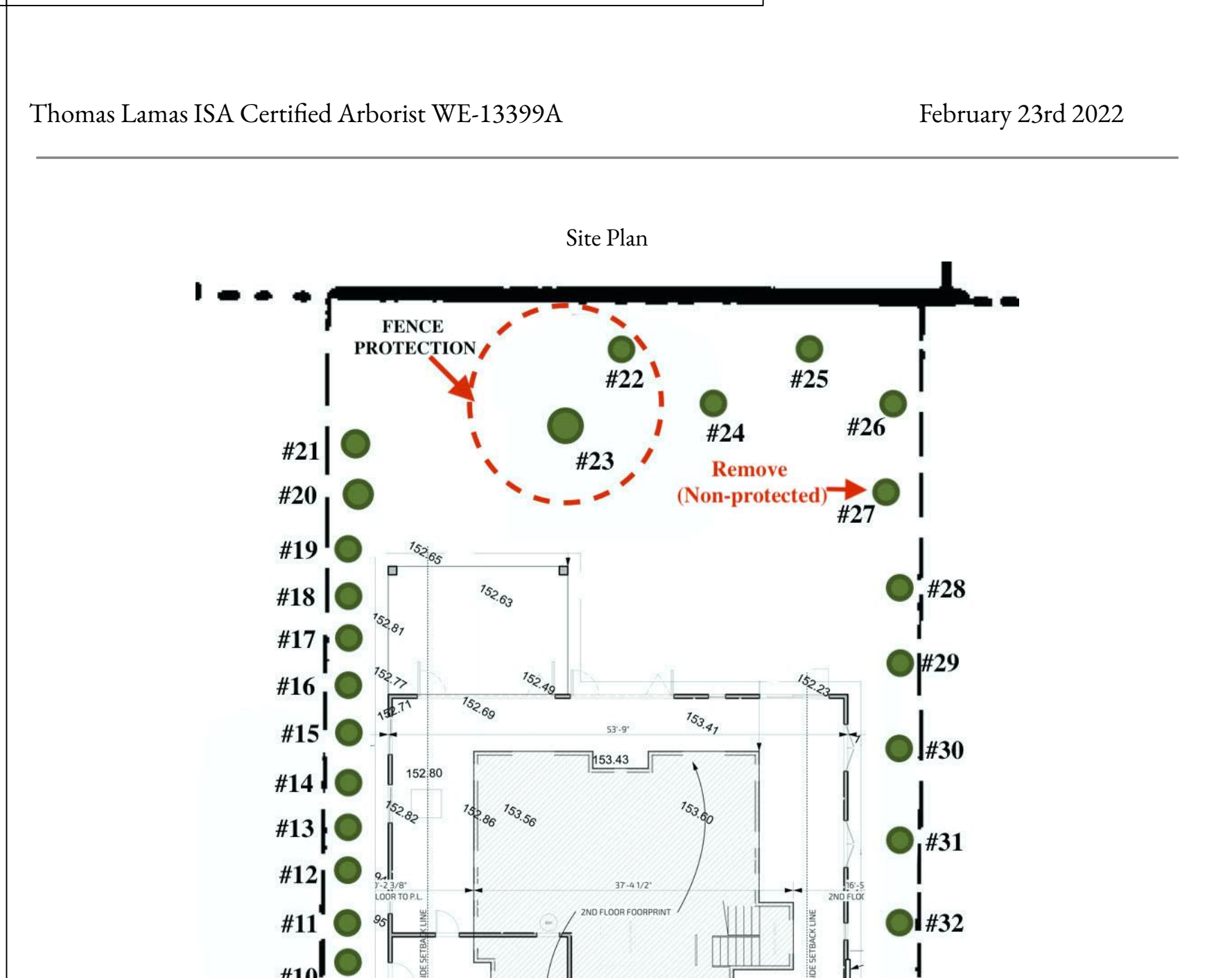
Sketches and diagrams in this report are intended to aid and are not intended to be taken as engineering or architectural reports.

NewVista Inc. does not guarantee the survival or protection of the trees mentioned in this report. The recommendations made in this report are to aid and minimize the potential damage to such trees. Ultimately the trees on the property are the owners responsibility.

This report solely contains the opinion and recommendation of an ISA Certified Arborist; it does not provide approval or give the right to commence any development.

Thomas Lamas

Thomas Lamas
ISA Certified Arborist
WE-13399A

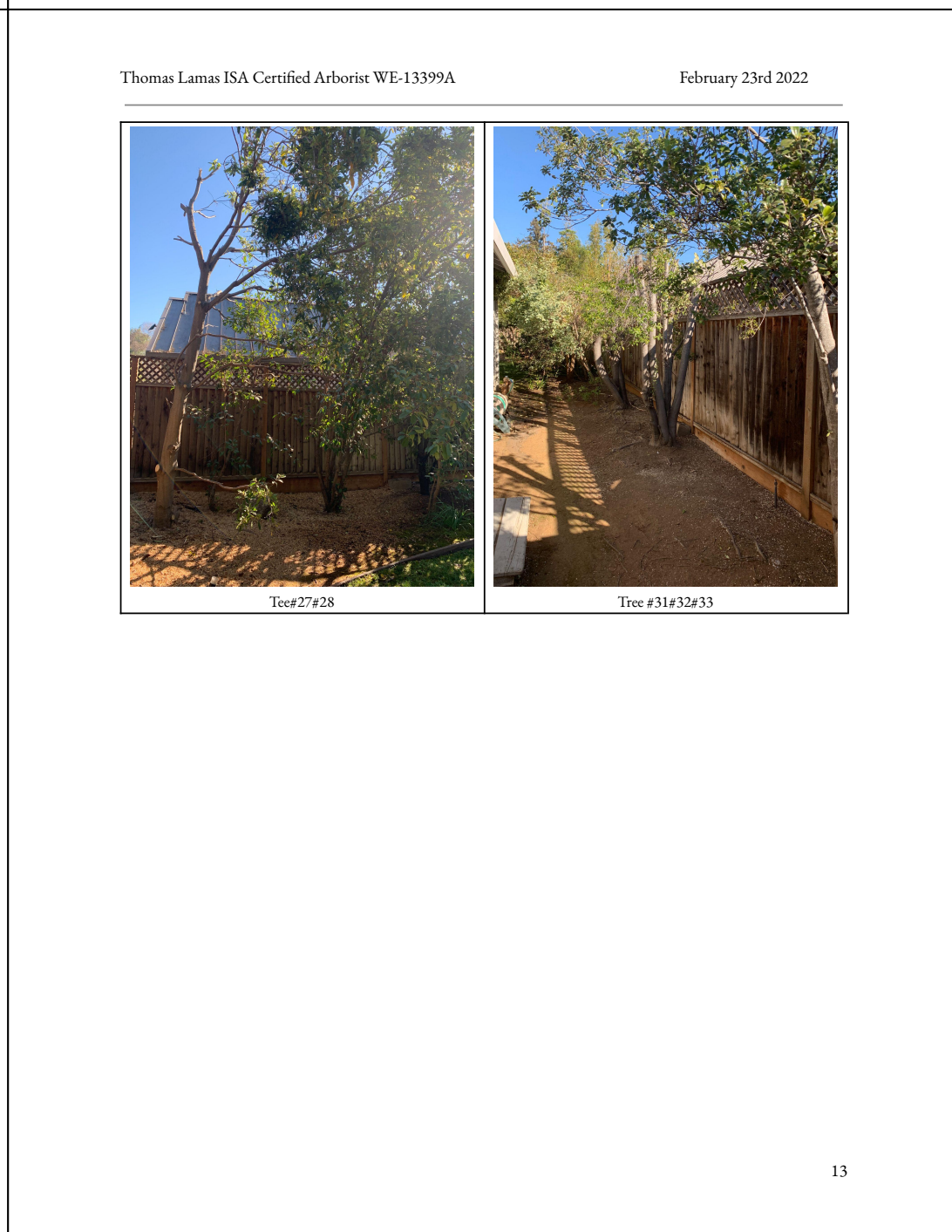


TUNG RESIDENCE
NEW RESIDENCE
629 BENVENUE AVE,
LOS ALTOS, CA 94024

PLANNING SET
NOT FOR CONSTRUCTION

ARBORIST
REPORT / TPZ
PLAN

CITY STAMP:



Thomas Lamas ISA Certified Arborist WE-13399A February 23rd 2022

Tree Photos

Tree#27

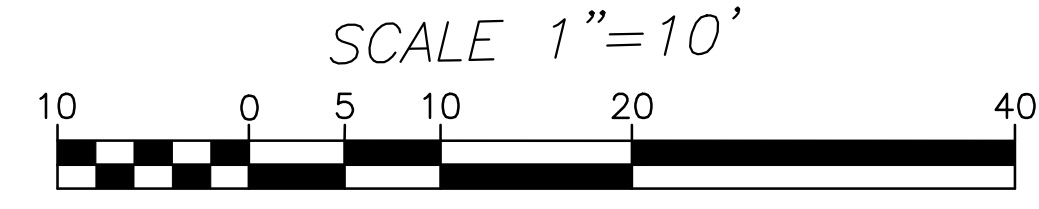
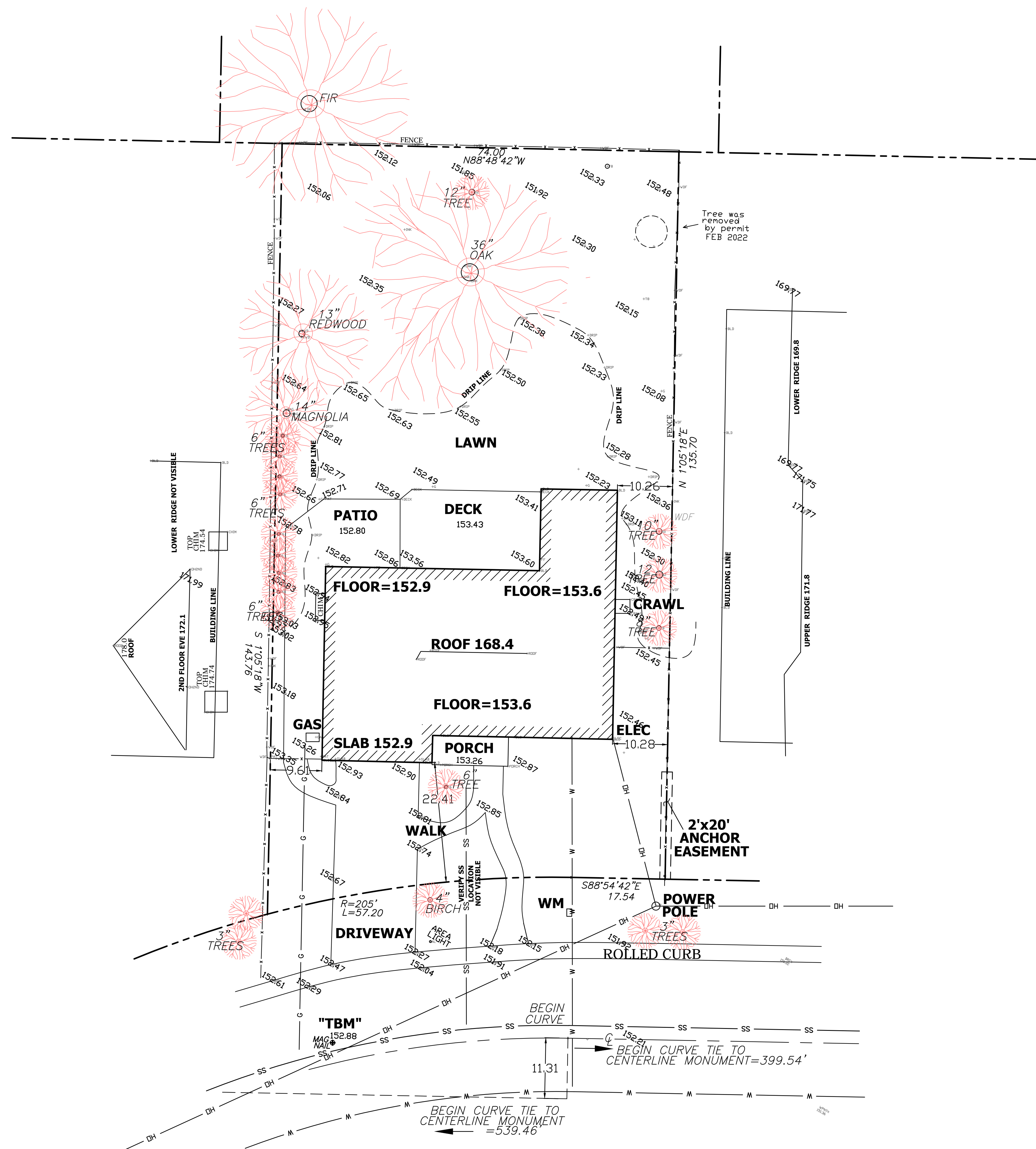
Tree #33

ARBORIST
REPORT / TPZ
PLAN

CITY STAMP:

A0.3

PROJECT NUMBER: 2110
629 BENVENUE AVE



LEGEND

---	PROPERTY LINE
- - -	CENTER LINE
x - x	FENCE LINE
- - - -	EASEMENT
□	UTILITY-AS NOTED

EASEMENT AND UNDERGROUND UTILITY NOTE

ALL EASEMENT AND UNDERGROUND UTILITY LINES MAY NOT BE SHOWN HEREON, BUT MAY EXIST. IT SHALL BE THE RESPONSIBILITY OF THE OTHERS DETERMINE THE SIZE, DEPTH, LOCATION THEREOF ANY EASEMENTS THAT ARE SHOWN ARE AS PER ARE PER THE RECORDED MAP 28M39. CALL 811 BEFORE YOU DIG.

PROJECT BENCHMARK-"TBM"

BENCHMARK ID: BM350
Elevation (ft): 174.21 NAVD'88 DATUM
BRASS DISK ON TOP OF CONCRETE NORTHEASTERN HEADWALL LOCATED AT THE NORTHWEST END OF SAID HEADWALL ON HALE CREEK BRIDGE AT COVINGTON ROAD. CITY OF LOS ALTOS THE PROJECT BENCHMARK IS A MAG NAIL AND IS OPPOSITE THE DRIVEWAY IN THE STREET AND LABELED "TBM"

BASIS OF BEARINGS

CENTERLINE MONUMENTS PER 28M39 SANTA CLARA COUNTY RECORDS

LOT AREA
10,195 SQ. FT.±



JOB NO.	BENVENUE 21-01	SHEET	1
SCALE:	1"=10'	PROJECT MGR:	KA
DATE:	8-16-21	OF 1 SHEET	
REVISIONS			
DESCRIPTION	3/2/22 tree removed by permit		
BOUNDARY & TOPOGRAPHIC PLAN			
AUGUST, 2021			
629 BENVENUE AV LOS ALTOS CA 94024			
LOT 7, TRACT NO. 751, DOC. NO.: 23612111			
APN 189-38-079			
SANTA CLARA COUNTY, CALIFORNIA			
BAY LAND CONSULTING			
LAND SURVEYORS/CIVIL ENGINEERS			
P.O. BOX 299 SANTA CLARA, CA 95052			
Santa Clara, California 95050			
Ph: (408) 296-6000			
MAPPING THE BAY AREA			

GENERAL NOTES

- ALL MATERIALS AND WORKMANSHIP SHALL CONFORM TO THE GENERAL AND SPECIFIC PROVISIONS, STANDARD DRAWINGS, AND REQUIREMENTS OF THE CITY OF LOS ALTOS.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY THE LOCATION OF ALL EXISTING UTILITIES WITH THE APPROPRIATE UTILITY AGENCIES PRIOR TO THE COMMENCEMENT OF CONSTRUCTION. CONTRACTOR SHALL NOTIFY ALL PUBLIC AND PRIVATE UTILITY OWNERS 48 HOURS PRIOR TO COMMENCEMENT OF WORK ADJACENT TO THE UTILITY CONTACT UNDERGROUND SERVICE ALERT (USA) AT 800/642-2444.
- EXISTING UTILITIES SHOWN ARE BASED UPON RECORD INFORMATION AND ARE APPROXIMATE IN LOCATION AND DEPTH. THE CONTRACTOR SHALL POTHOLE ALL EXISTING UTILITIES THAT MAY BE AFFECTED BY NEW FACILITIES IN THIS CONTRACT. VERIFY ACTUAL LOCATION AND DEPTH, AND REPORT POTENTIAL CONFLICTS TO THE ENGINEER PRIOR TO EXCAVATION FOR NEW FACILITIES.

IT IS THE CONTRACTOR'S RESPONSIBILITY TO REPLACE ALL STREET MONUMENTS, LOT CORNER PIPES, AND GRADE STAKES DISTURBED DURING THE PROCESS OF CONSTRUCTION AT THE REGULAR ENGINEER'S FEE.

PROVIDE CONCRETE PROTECTION BETWEEN UNDERGROUND PIPE CROSSINGS WITH 12" OR LESS VERTICAL CLEARANCE.

ALL SURPLUS AND UNSUITABLE MATERIAL SHALL BE REMOVED FROM PROJECT SITE AND FROM PUBLIC RIGHT-OF-WAY.

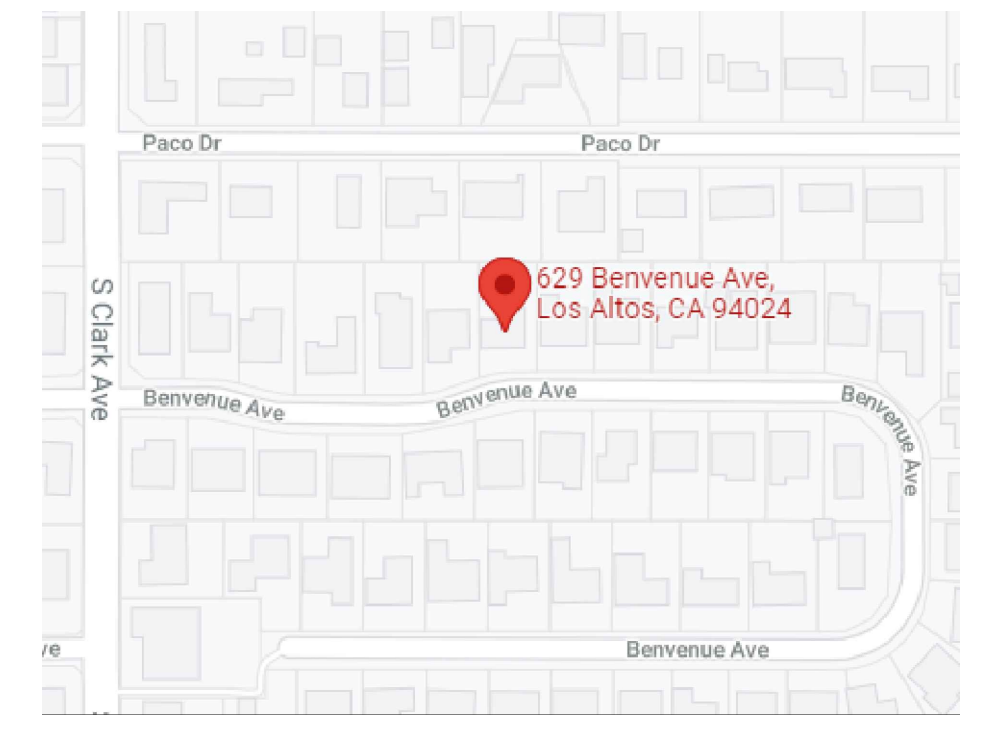
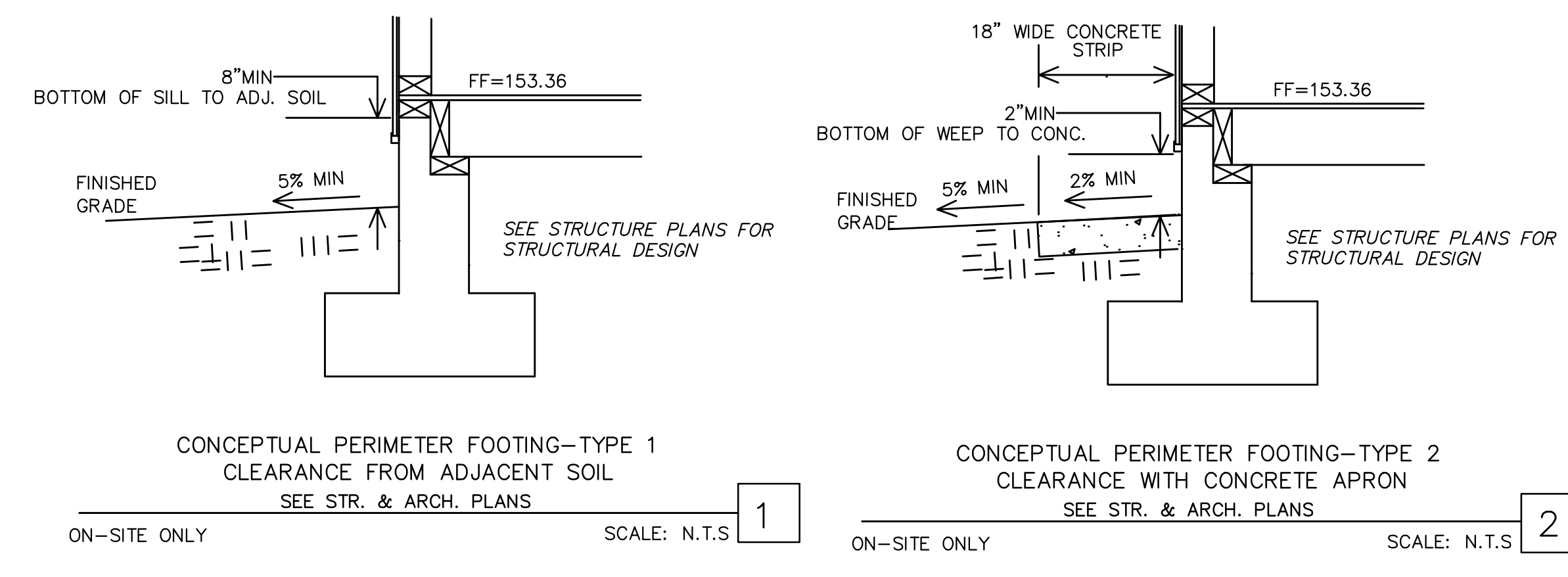
CONTRACTOR SHALL PROVIDE ADEQUATE DUST CONTROL AND KEEP MUD AND DEBRIS OFF THE PUBLIC RIGHT-OF-WAY AT ALL TIMES.

ALL TRENCHES AND EXCAVATIONS SHALL BE CONSTRUCTED IN STRICT COMPLIANCE WITH THE APPLICABLE SECTIONS OF CALIFORNIA AND FEDERAL O.S.H.A. REQUIREMENTS AND OTHER APPLICABLE SAFETY ORDINANCES. CONTRACTOR SHALL BEAR FULL RESPONSIBILITY FOR TRENCH SHORING DESIGN AND INSTALLATION.

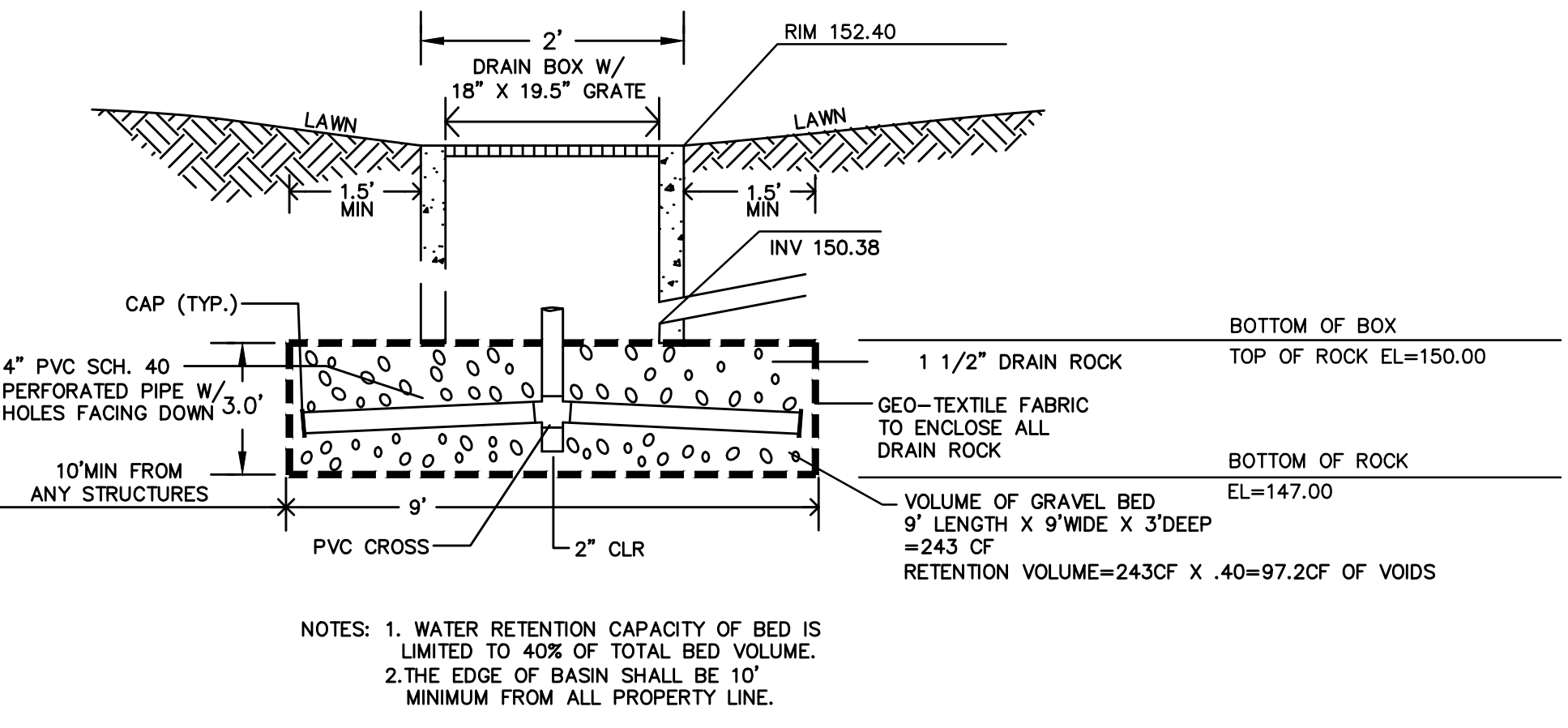
GRADE BREAKS ON CURBS AND SIDEWALKS ARE TO BE ROUNDED OFF ON FORM WORK AND FINISHED SURFACING.
- CONTRACTOR SHALL PERFORM HIS CONSTRUCTION AND OPERATION IN MANNER WHICH WILL NOT ALLOW HARMFUL POLLUTANTS TO ENTER THE STORM DRAIN SYSTEM. TO ENSURE COMPLIANCE, THE CONTRACTOR SHALL IMPLEMENT THE APPROPRIATE BEST MANAGEMENT PRACTICE (BMP) AS OUTLINED IN THE BROCHURES ENTITLED BEST MANAGEMENT PRACTICES FOR THE CONSTRUCTION INDUSTRY" ISSUED BY THE SAN MATEO COUNTYWIDE STORM WATER POLLUTION PREVENTION PROGRAM, TO SUIT THE CONSTRUCTION SITE AND JOB CONDITION. THE CONTRACTOR SHALL PRESENT HIS PROPOSED BMP AT THE PRECONSTRUCTION MEETING FOR DISCUSSION AND APPROVAL.
- OVERNIGHT PARKING OF CONSTRUCTION EQUIPMENT IN THE STREET RIGHT-OF-WAY SHALL NOT BE PERMITTED, EXCEPT AT LOCATION(S) APPROVED BY THE CITY TRAFFIC ENGINEER.

GRADING NOTES

- DATE OF SURVEY: AUGUST, 2021
- FINISHED GRADES ALONG THE PERIMETER OF THE FOUNDATION TO BE SLOPED AT A MINIMUM OF 5% FOR FIRST 10 FEET.
- ALL CONCRETE SHALL BE CLASS "A" CONFORMING TO SECTION 90 OF CALTRANS SPECIFICATIONS AND SHALL DEVELOP A COMPRESSIVE STRENGTH OF 3,000 PSI AT 28 DAYS PER CALIFORNIA TEST METHOD NO. 521.
- ON-SITE UTILITY TRENCHES SHALL BE BACKFILLED WITH COMPACTED ENGINEERED FILL. THE FILL MATERIAL SHALL BE PLACED IN LIFTS NOT TO EXCEED EIGHT (8) INCHES IN UNCOMPACTED THICKNESS AND SHALL BE MECHANICALLY COMPACTED TO AT LEAST 90% RELATIVE COMPACTION.
- LOCATION OF TREES SHOWN HEREON ARE TAKEN AT A POINT THAT THE TREE ENTERS THE GROUND. SIZES OF TREES SHOWN HEREON ARE TAKEN AT DBH (DIAMETER AT BREAST HEIGHT)
- LOCATION OF METERS ARE AS NOTED. COORDINATE ALL SUCH WORK WITH THE UTILITY COMPANY HAVING JURISDICTION.
- CONTRACTOR SHALL BARRICADE AND PROTECT ALL EXISTING SITE FEATURES INCLUDING TREES, FENCES, GATES, UTILITIES, ETC.
- ALL ON-SITE STORM DRAINAGE AND SANITARY SEWER PIPE TO BE PVC SCHEDULE 40.

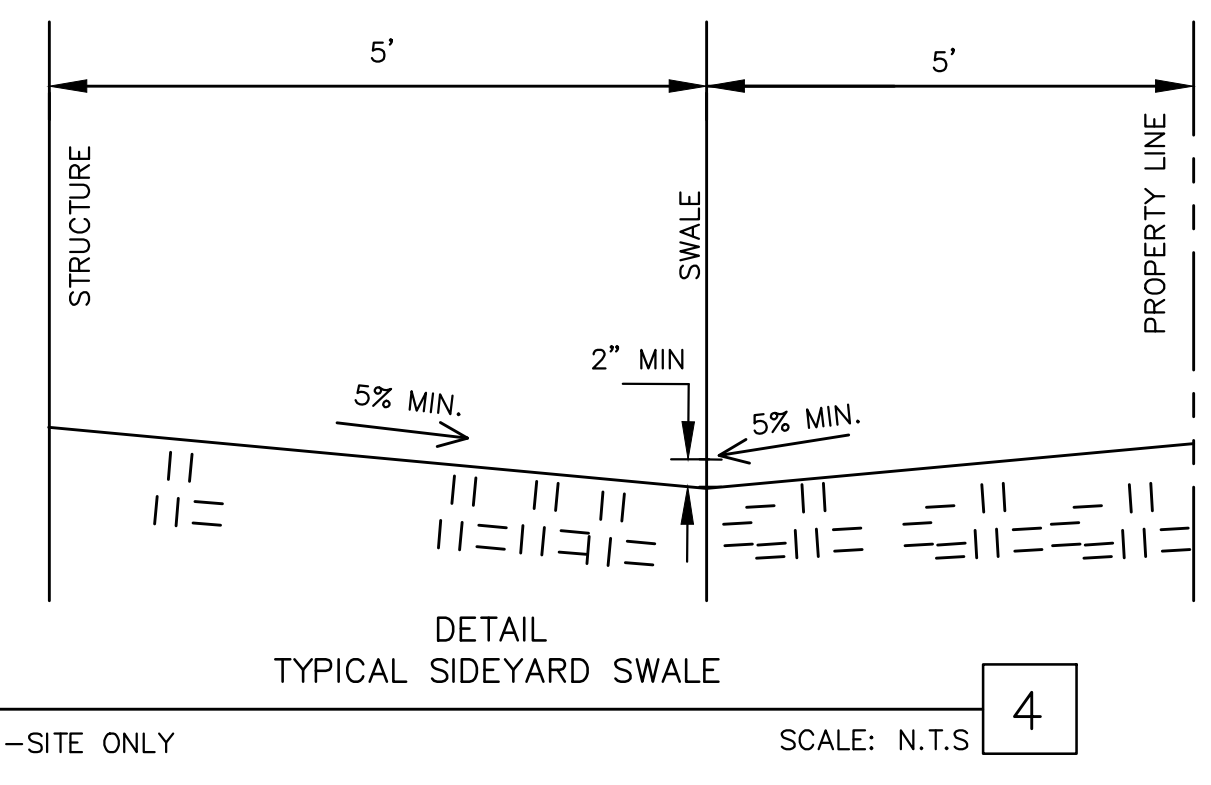


VICINITY MAP
NTS



NOTES: 1. WATER RETENTION CAPACITY OF BED IS LIMITED TO 40% OF TOTAL BED VOLUME.
2. THE EDGE OF BASIN SHALL BE 10' MINIMUM FROM ALL PROPERTY LINE.

SHALLOW GRAVEL BASIN(CB#1)
ON-SITE ONLY SCALE: NTS



DETAIL
TYPICAL SIDEYARD SWALE
ON-SITE ONLY SCALE: N.T.S.

LEGEND

EXISTING	PROPOSED	DESCRIPTION
- - - - -	- - - - -	PROPERTY LINE
⊕	⊕	CENTERLINE
- - - - -	- - - - -	FENCE LINE
-SD-	-SD-	STORM DRAIN
-SS-	-SS-	SANITARY SEWER
-G-	-G-	GAS
-W-	-W-	WATER
-	-	VERTICAL CURB
-	-	VERTICAL CURB AND GUTTER
-	-	TEMPORARY TREE PROTECTION FENCE
DSO	DSO	DOWN SPOUT
□	□	UTILITY BOX -AS NOTED
101.54	102.04 101.54	TOP OF CURB FINISH GRADE FINISH GRADE POINT ELEVATION -AS NOTED
▨	▨	CATCH BASIN (CB)
⊕	⊕	AREA DRAIN (AD)
▨	▨	PAVEMENT
-	-	FIBER ROLL
○	○	TREE DRIP LINE
X	X	REMOVE EXISTING TREE

CITY REQUIREMENTS FOR CERTIFICATES OF SURVEY BY A LICENSED CIVIL SURVEYOR OR CIVIL ENGINEER

- AT THE TIME OF FOUNDATION AND/OR FOOTING PRE-POUR INSPECTION TO VERIFY BUILDING SETBACKS FROM PROPERTY LINES, BUILDING DIMENSIONS AND FINISHED FLOOR ELEVATION.
- AT ROOF NAIL TO VERIFY COMPLIANCE WITH THE DAYLIGHT PLANE, AVERAGE HEIGHT AND TOTAL HEIGHT BASED ON THE JOB SITE PLANS AND SPECIFICATIONS.
- AT FINAL INSPECTION TO VERIFY COMPLIANCE WITH GRADING AND DRAINAGE PLAN.

UNDERGROUND UTILITY NOTES

- CONTRACTOR SHALL CONTACT U.S.A. AT LEAST 48 HOURS PRIOR TO EXCAVATING IN ANY AREA WHERE UNDERGROUND FACILITIES ARE LOCATED. PHONE (800)642-2444.
- THE EXISTENCE, LOCATION AND ELEVATION OF ANY UNDERGROUND UTILITIES ARE SHOWN IN A GENERAL WAY ONLY. IT WILL BE THE RESPONSIBILITY AND DUTY OF THE CONTRACTOR TO MAKE FINAL DETERMINATIONS AS TO THE EXISTENCE, LOCATION AND ELEVATION OF ALL UTILITIES.

BASIS OF BEARINGS
CENTERLINE MONUMENTS PER 28M39 SANTA CLARA COUNTY RECORDS

LOT AREA
10,195 SQ. FT.±

BENCHMARK "TBM"
BENCHMARK ID: BM350
Elevation (ft): 174.21 NAVD'88 DATUM
BRASS DISK ON TOP OF CONCRETE NORTHEASTERN HEADWALL LOCATED AT THE NORTHWEST END OF SAID HEADWALL ON HALE CREEK BRIDGE AT COVINGTON ROAD, CITY OF LOS ALTOS
THE PROJECT BENCHMARK IS A MAG NAIL AND IS OPPOSITE THE DRIVEWAY IN THE STREET AND LABELED "TBM"

GEOTECHNICAL REPORT
ALL WORK TO BE COMPLETED IN ACCORDANCE WITH THE GEOTECHNICAL REPORT PREPARED BY _____

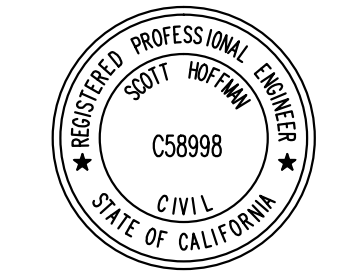
ABBREVIATIONS

AB	AGGREGATE BASE	MH	MAN HOLE
AC	ASPHALT CONCRETE	MON	MONUMENT
APN	ASSESSORS PARCEL NUMBER	N	NEW
BLD	BUILDING	OHW	OVERHEAD WIRE
CB	CATCH BASIN	PL	PROPERTY LINE
CO	CLEAN OUT	PM	PARCEL MAP
CONC	CONCRETE	P.U.E.	PUBLIC UTILITY EASEMENT
CP	CONTROL POINT	PVMT	PAVEMENT
DS	DOWN SPOUT	RD	ROOF DRAIN
DWY	DRIVEWAY	RIM	TOP OF GRATE
EX	EXISTING	SD	STORM DRAIN
EM	ELECTRICAL METER	SDMH	STORM DRAIN MANHOLE
FC	FACE OF CURB	SS	SANITARY SEWER
FF	FINISH FLOOR	SSCO	SANITARY SEWER CLEANOUT
FG	FINISH GRADE	S/W	SIDEWALK
FH	FIRE HYDRANT	TBM	TEMPORARY BENCH MARK
FS	FINISH SURFACE	VG	VALLEY GUTTER
GM	GAS METER	W	WATER
INV	PIPE INVERT	WDF	WOOD FENCE
JP	JOINT POLE	WM	WATER METER
		WV	WATER VALVE

SITE GRADING QUANTITIES
CUT 10± CY
FILL 10± CY
CUT/FILL QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR TO MAKE OWN ESTIMATES AS TO REQUIRED CUT AND FILL QUANTITIES.

SHEET INDEX

SHEET C1	GRADING AND DRAINAGE NOTES & DETAILS
SHEET C2	GRADING & DRAINAGE
SHEET C3	EROSION CONTROL PLAN
SHEET C4	EROSION CONTROL NOTES AND DETAILS
SHEET C5	BLUE PRINT FOR A CLEAN BAY



BAY LAND CONSULTING
CIVIL ENGINEERS
P.O BOX 299
Santa Clara, California 95050
Ph: (408) 296-6000
SERVING THE BAY AREA

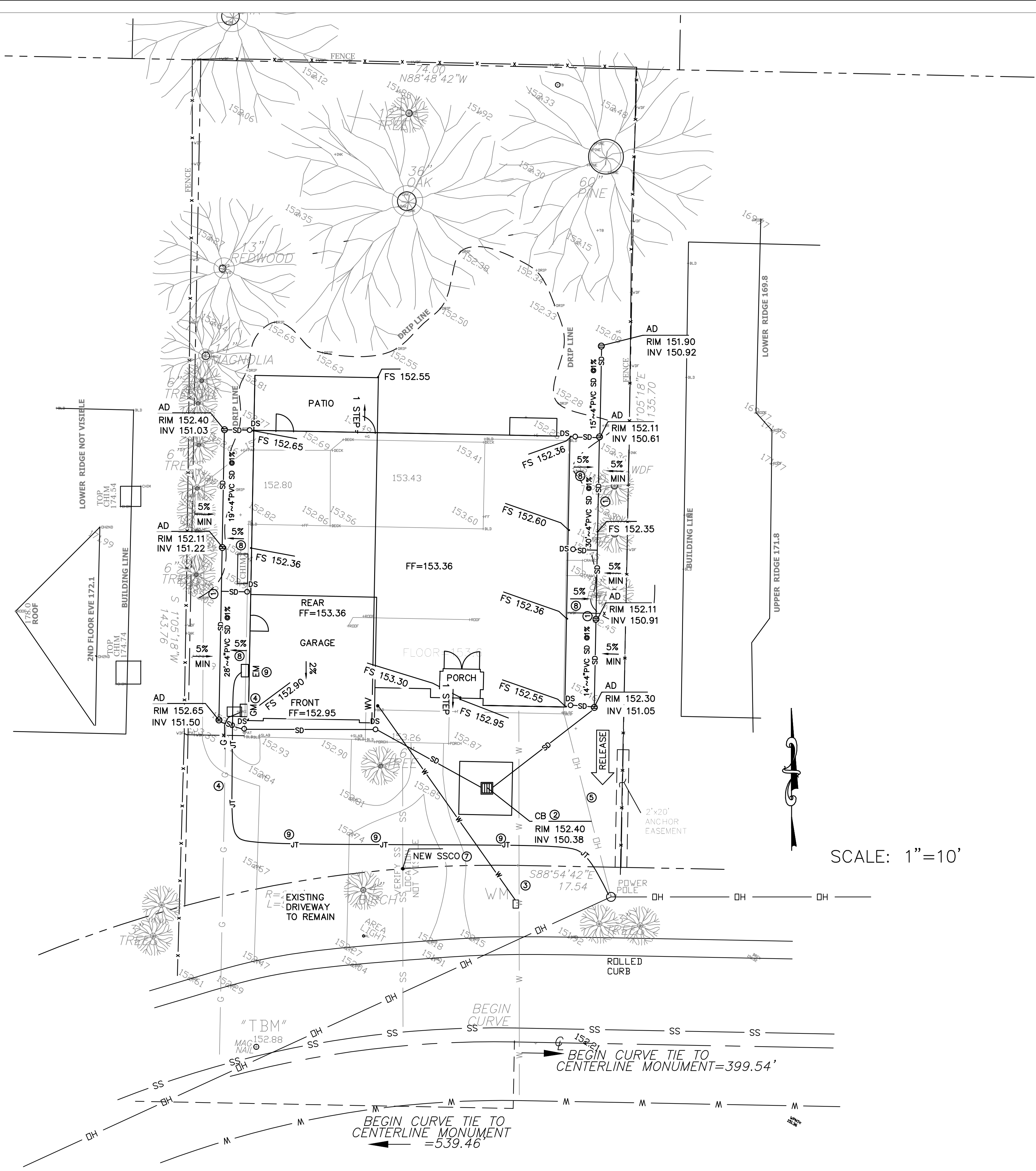
GRADING AND DRAINAGE NOTES AND DETAILS
629 BENVENUE AVE, LOS ALTOS CA 94024
APN 189-38-079
SANTA CLARA COUNTY

REVISIONS

DATE	DESCRIPTION
△	
△	
△	
△	

JOB NO. 21079
SCALE: N.T.S.
DWN: YC/SH
DATE: 02/15/22

SHEET
C1
OF 5 SHEETS



NOTES

- ① STORM DRAINAGE PIPING SHOWN TO BE 4" PVC SCH.40 OR GREATER
- ② SEE DETAIL ③, SHEET C1 FOR SHALLOW GRAVEL BASIN
- ③ EXISTING WATER METER TO REMAIN. INSTALL NEW 1 1/2" COPPER SERVICE TO RESIDENCE WITH SHUT OFF VALVE AT BUILDING FACE.
- ④ EXISTING GAS LINE TO REMAIN. CONTRACTOR SHALL VERIFY LOCATION AND DEPTH PRIOR CONSTRUCTION. CONTRACTOR TO COORDINATE NEW GAS METER INSTALLATION WITH PG&E
- ⑤ ALL UTILITIES TO BE UNDERGROUNDED
- ⑥ INSTALL TREE PROTECTION PER CONDITIONS OF APPROVAL. ALL TREE PROTECTION FENCING SHALL BE CHAIN LINE AND A MINIMUM OF FIVE FEET IN HEIGHT WITH POSTS DRIVEN INTO THE GROUND.
- ⑦ EXISTING SANITARY SEWER TO REMAIN. SEWER LATERAL AS SHOWN WAS NOT FIELD SURVEYED BY SURVEYOR. CONTRACTOR TO VERIFY LOCATION AS CONSTRUCTED. INSTALL NEW REQUIREMENT.
- ⑧ SLOPE GROUND AWAY FROM FOUNDATION
 ◎ 5% MIN ON SOIL AND ◎ 2% MIN ON CONCRETE FOR FIRST 10 FEET.
- ⑨ COORDINATE INSTALLATION OF NEW ELECTRIC METER AND JOINT TRENCH UTILITY SERVICES UNDERGROUNDING WITH CABLE, ELECT. AND TELEPHONE COMPANIES.

WORK IN RIGHT-OF-WAY NOTES

- a. ANY DAMAGED RIGHT-OF-WAY INFRASTRUCTURES AND OTHERWISE DISPLACED CURB AND GUTTER SHALL BE REMOVED AND REPLACED AS DIRECTED BY THE CITY ENGINEER OR HIS DESIGNEE. CONTRACTOR SHALL COORDINATE WITH PUBLIC WORKS DEPARTMENT AT (650)947-2680.
- b. PRIOR TO COMMENCEMENT OF ANY WORK DONE IN THE PUBLIC RIGHT-OF-WAY, A PERMIT TO OPEN STREET AND/OR AN ENCROACHMENT PERMIT WILL BE REQUIRED.



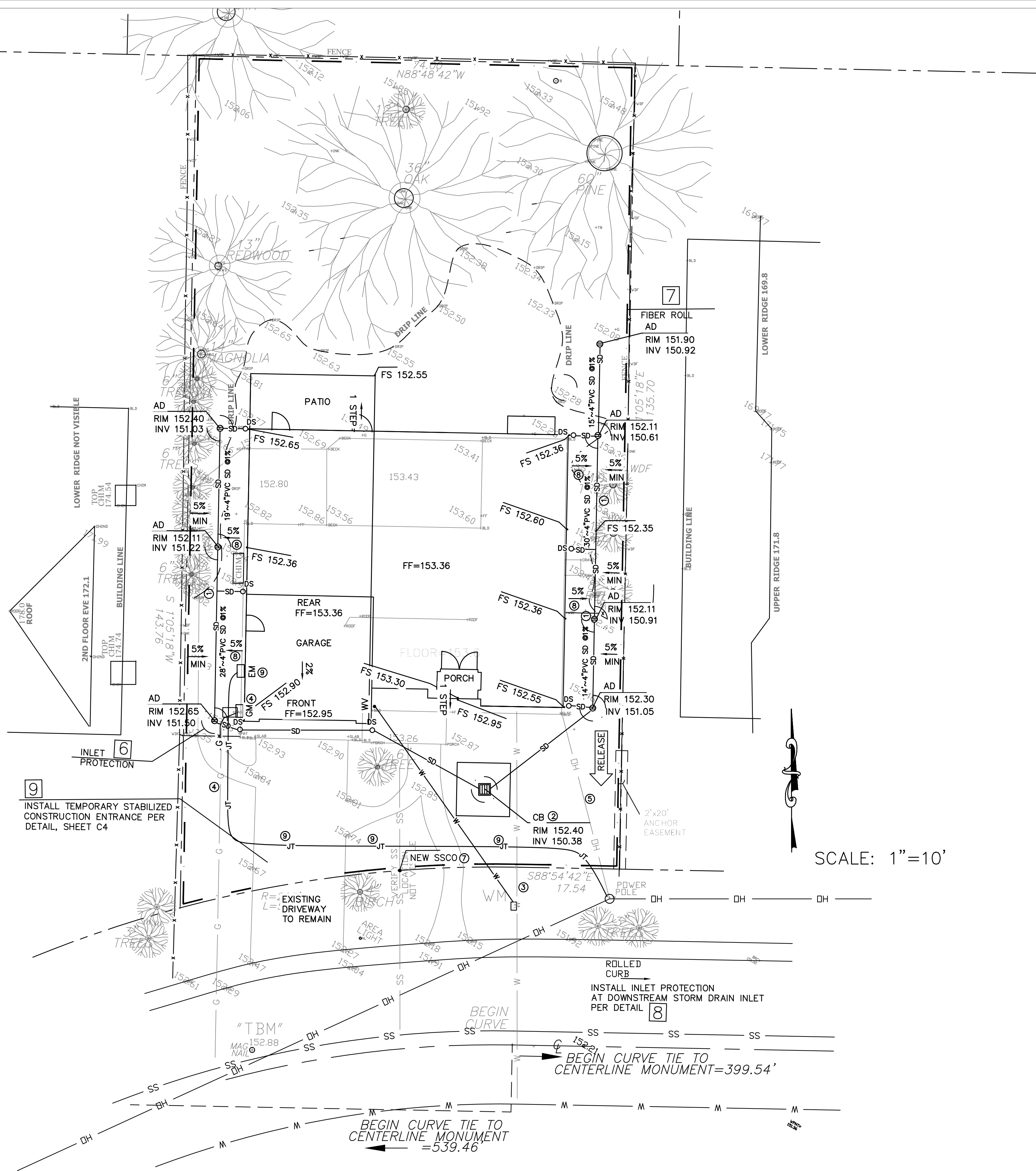
BAY LAND CONSULTING
 CIVIL ENGINEERS
 P.O BOX 299
 Santa Clara, California 95050
 Ph: (408) 296-6000
 SERVING THE BAY AREA

GRADING AND DRAINAGE PLAN
 629 BENVENUE AVE, LOS ALTOS CA 94024
 APN 189-38-079
 SANTA CLARA COUNTY

REVISIONS	
DATE	DESCRIPTION
△	
△	
△	
△	

JOB NO. 21079
 SCALE: N.T.S.
 DWN: YC/SH
 DATE: 02/15/22

SHEET
C2
 OF 5 SHEETS



SCALE: 1"=10'



BAY LAND CONSULTING
 CIVIL ENGINEERS
 P.O. BOX 299
 Santa Clara, California 95050
 Ph: (408) 296-6000
 SERVING THE BAY AREA

EROSION CONTROL PLAN
 629 BENVENUE AVE, LOS ALTOS CA 94024
 APN 189-38-079
 SANTA CLARA COUNTY

REVISIONS	
DATE	DESCRIPTION
△	
△	
△	
△	

JOB NO. 21079
 SCALE: N.T.S.
 DWN: YC/SH
 DATE: 02/15/22

SHEET
C3
 OF 5 SHEETS

GENERAL EROSION AND SEDIMENT CONTROL NOTES:

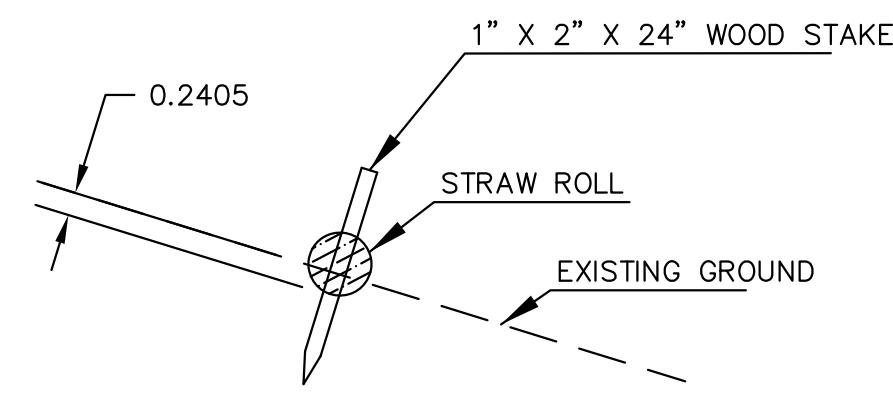
1. Contractor/Owner: _____
It shall be the owner's responsibility to maintain control of the entire construction operation and to keep the entire site in compliance with the soil erosion control measures.
2. Civil Engineer: Bay Land Consulting, 2005 De La Cruz Blvd. Ste 230, Santa Clara, CA Ph: 408-296-6000.
3. Construction Superintendent: _____
Contractor: _____
6. Owner/contractor shall be responsible for monitoring erosion and sediment control measures prior, during, and after storm events.
7. Reasonable care shall be taken when hauling any earth, sand, gravel, stone, debris, paper or any other substance over any public street, alley or other public place. Should any blow, spill, or track over and upon said public or adjacent private property, immediate remedy shall occur.
8. Sanitary facilities shall be maintained on the site.
9. During the rainy season, all paved areas shall be kept clear of earth material and debris. The site shall be maintained so as to minimize sediment laden runoff to any storm drainage system, including existing drainage swales and water courses.
10. Construction operations shall be carried out in such a manner that erosion and water pollution will be minimized. State and local laws concerning pollution abatement shall be complied with.
11. Contractor shall provide dust control as required by the appropriate federal, state and local agency requirements.

EROSION AND SEDIMENT CONTROL MEASURES

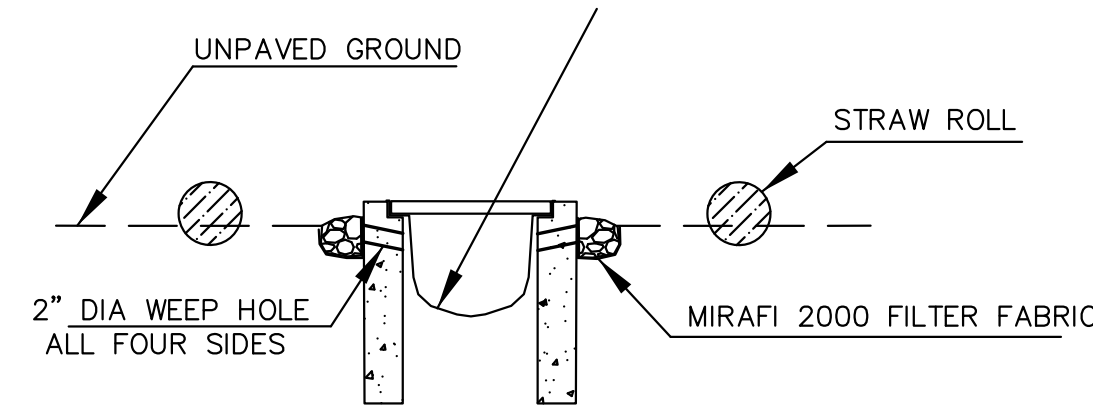
1. The facilities shown on this plan are designed to control erosion and sediment during the rainy season, October 15 to April 15. Facilities are to be operable prior to October 1 of any year. Grading operations during the rainy season which leave denuded slopes shall be protected with erosion control measures immediately following grading on the slopes. During the non-rainy season Best Management Practices (BMPs) must be implemented during construction which includes, but is not limited to: stabilized construction entrance, tire wash area and inlet protection.
3. Construction entrances shall be installed prior to commencement of grading. All construction traffic entering onto the paved roads must cross the stabilized construction entrance ways. (Also include this note on grading plans.)
4. Contractor shall maintain stabilized entrance at each vehicle access point to existing paved streets. Any mud or debris tracked onto public streets shall be removed daily and as required by the City.
5. If hydroseeding is not used or is not effective by 10/10, then other immediate methods shall be implemented, such as Erosion control Blankets, or a three-step application of 1) seed, mulch, fertilizer 2) blown straw 3) tackifier and mulch.
6. Inlet protection shall be installed at open inlets to prevent sediment from entering the storm drain system. Inlets not used in conjunction with erosion control are to be blocked to prevent entry of sediment.
7. Lots with houses under construction will not be hydroseeded. Erosion protection for each lot with a house under construction shall conform to the Typical Lot Erosion Control Detail shown on this sheet.
8. This erosion and sediment control plan may not cover all the situations that may arise during construction due to unanticipated field conditions. Variations and additions may be made to this plan in the field. Notify the City Representative of any field changes.

Maintenance Notes

1. Maintenance is to be performed as follows:
 - A. Repair damages caused by soil erosion or construction at the end of each working day.
 - B. Swales shall be inspected periodically and maintained as needed.
 - C. Sediment traps, berms, and swales are to be inspected after each storm and repairs made as needed.
 - D. Sediment shall be removed and sediment trap restored to its original dimensions when sediment has accumulated to a depth of 1 foot.
 - E. Sediment removed from trap shall be deposited in a suitable area and in such a manner that it will not erode.
 - F. Rills and gullies must be repaired.
2. Sand bag inlet protection shall be cleaned out whenever sediment depth is one half the height of one sand bag.



ON SLOPES



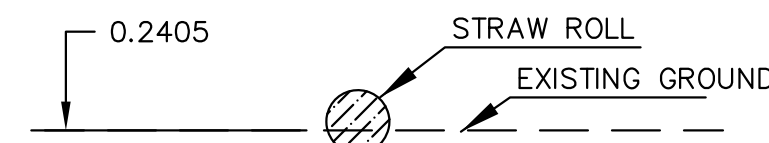
SECTION IPU-1

NOT TO SCALE

NOTE: MAX. DEPTH OF BED IS LIMITED TO 2FT & BED MUST BE LOCATED AT LEAST 10FT AWAY FROM NEAREST PROPERTY LINE & TREE.

EST. DIMENSIONS OF GRAVEL BED:

WIDTH = 4FT
LENGTH = 4FT
DEPTH = 2 FT

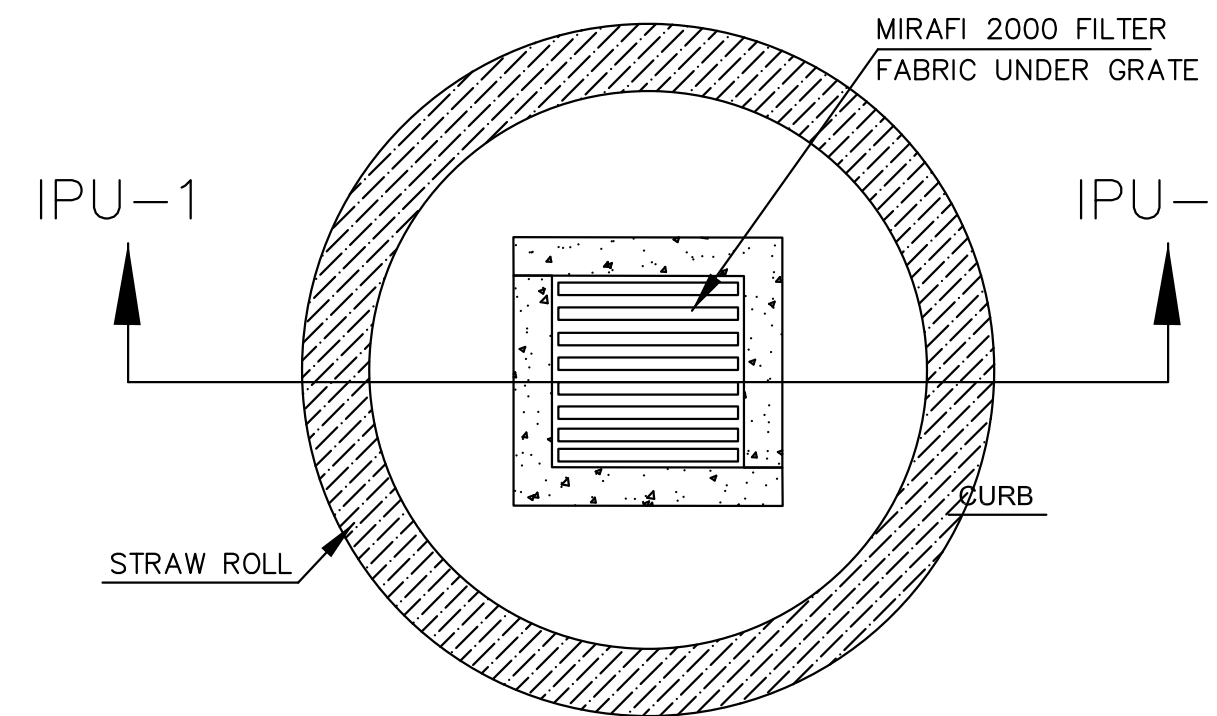


ON LEVEL GROUND

1. PLACE STRAW ROLL IN TRENCH EXCAVATED 3" (0.024') INTO GROUND ALONG CONTOUR. RUNOFF MUST NOT BE ALLOWED TO RUN UNDER OR AROUND ROLL.
2. ON SLOPES PLACE ROLL TO FOLLOW THE CONTOUR AS CLOSELY AS POSSIBLE. CURVE ENDS UPHILL AT THE ENDS.
3. ABUT ADJACENT ROLLS TIGHTLY.

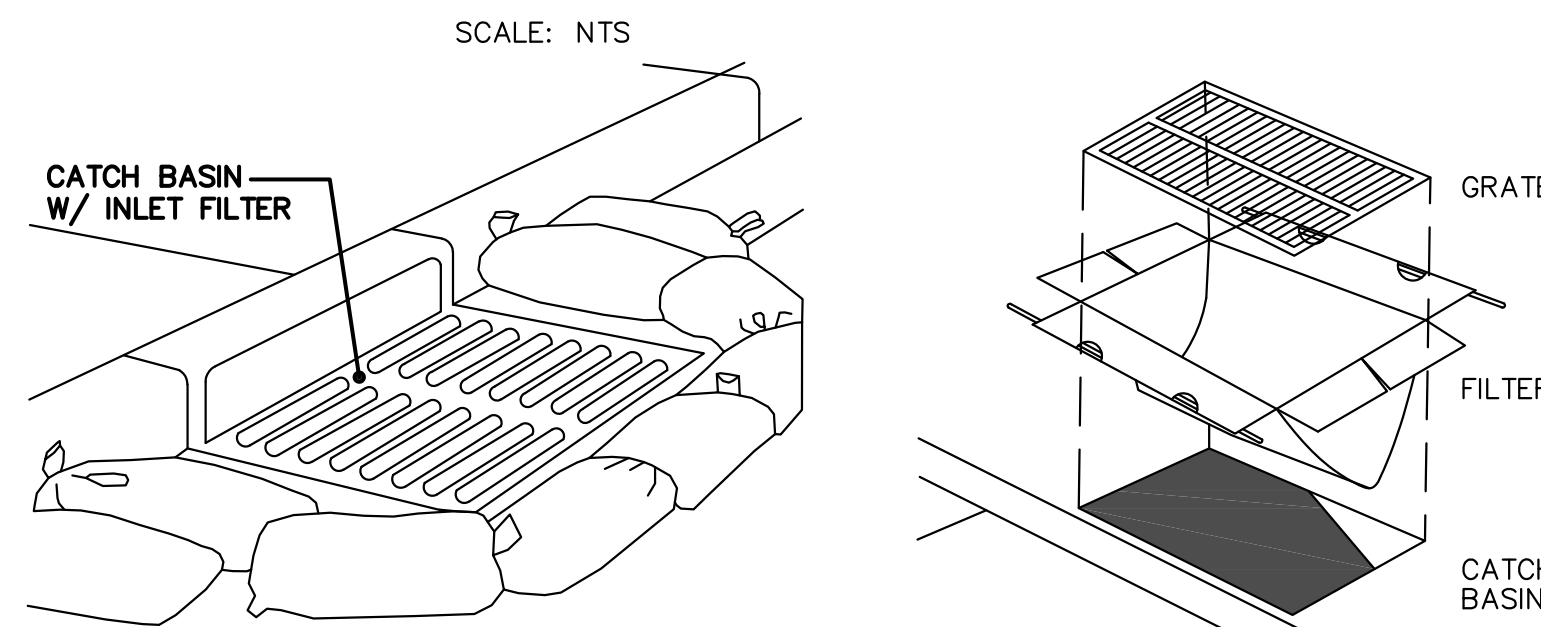
STRAW ROLL OR FIBER ROLL

SCALE: NTS



INLET PROTECTION IN UNPAVED AREAS

SCALE: NTS



NOTES:
BRING THE DISTURBED AREA TO THE GRADE OF THE DROP INLET AND SMOOTH AND COMPACT IT. APPROXIMATELY STABILIZE ALL BARE AREAS AROUND THE INLET.

PROPERLY DISPOSE OF ACCUMULATED SEDIMENT

INSPECT ALL INLET PROTECTION DEVICES BEFORE AND AFTER RAINFALL EVENTS, AND WEEKLY THROUGHOUT THE RAIN SEASON. DURING EXTENDED RAINFALL EVENTS, INSPECT INLET PROTECTION DEVICES AT LEAST ONCE EVERY 24 HOURS.

REMOVE ALL INLET PROTECTION DEVICES WITHIN THIRTY DAYS AFTER THE SITE IS STABILIZED, OR WHEN INLET PROTECTIONS IS NO LONGER REQUIRED.

CATCH BASIN INLET FILTER

INSTALLATION
REMOVE DRAIN GRATE

INSERT CATCH BASIN FILTER INTO BASIN LEAVING 3" FLAP EXPOSED

REPLACE GRATE TO BASIN THEREBY PINCHING FABRIC BETWEEN GRATE AND CATCH BASIN AND HOLDING FILTER IN PLACE

INSPECTION AND MAINTENANCE
INSPECT CATCH BASIN FILTERS WEEKLY AND AFTER EVERY RAIN EVENT

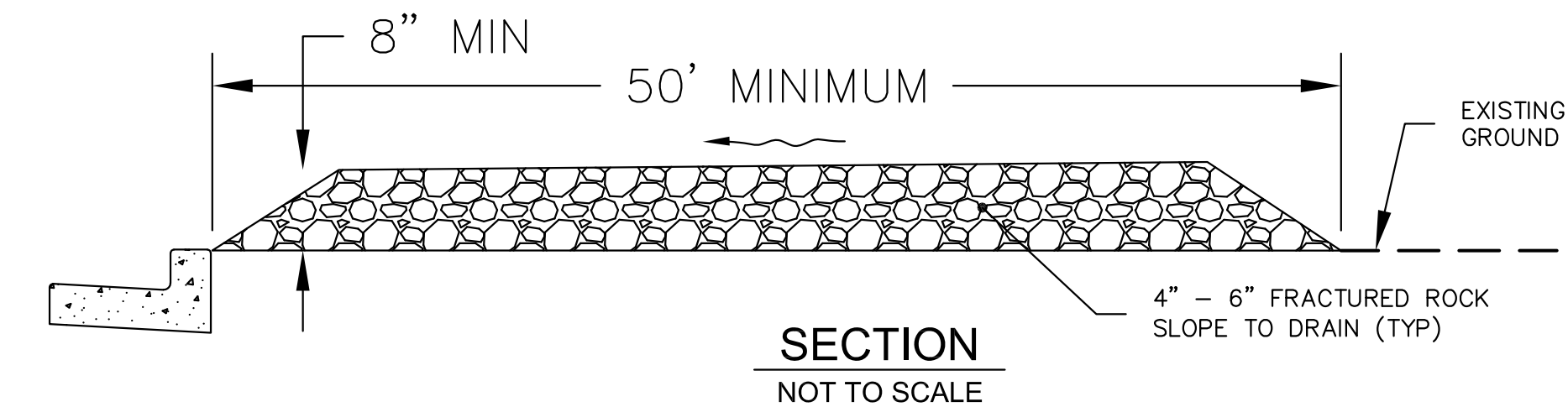
EMPTY CATCH BASIN FILTERS WHEN FILTERS APPEAR TO BE HALF FULL

DISPOSE OF TRAPPED SEDIMENT IN ACCORDANCE WITH LOCAL REQUIREMENTS

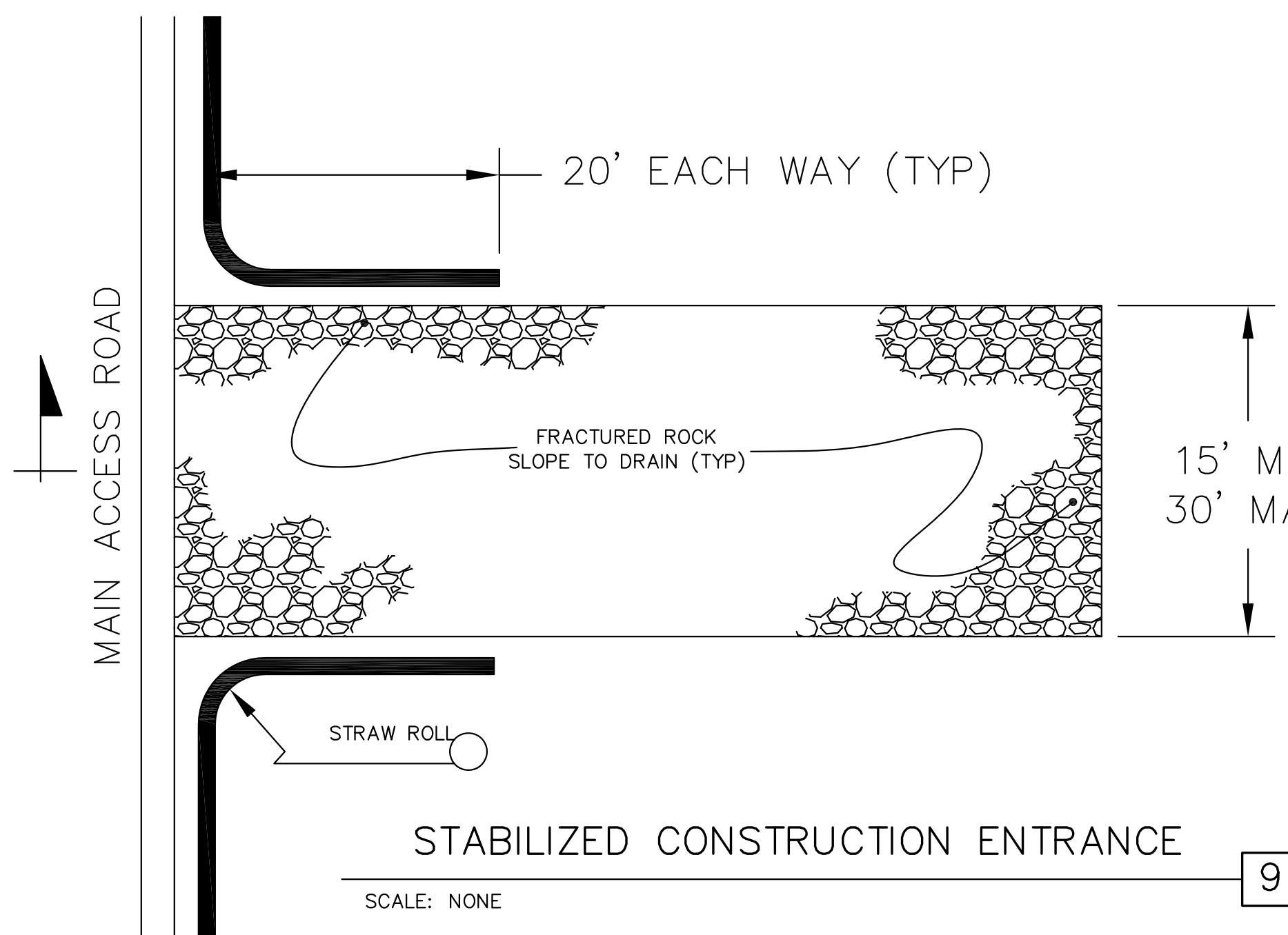
CLEAN AND REUSE INLET FILTERS OR DISCARD AND REPLACE AS NECESSARY

STORM DRAIN INLET PROTECTION PUBLIC STREET

SCALE: NONE



SECTION NOT TO SCALE



STABILIZED CONSTRUCTION ENTRANCE

SCALE: NONE



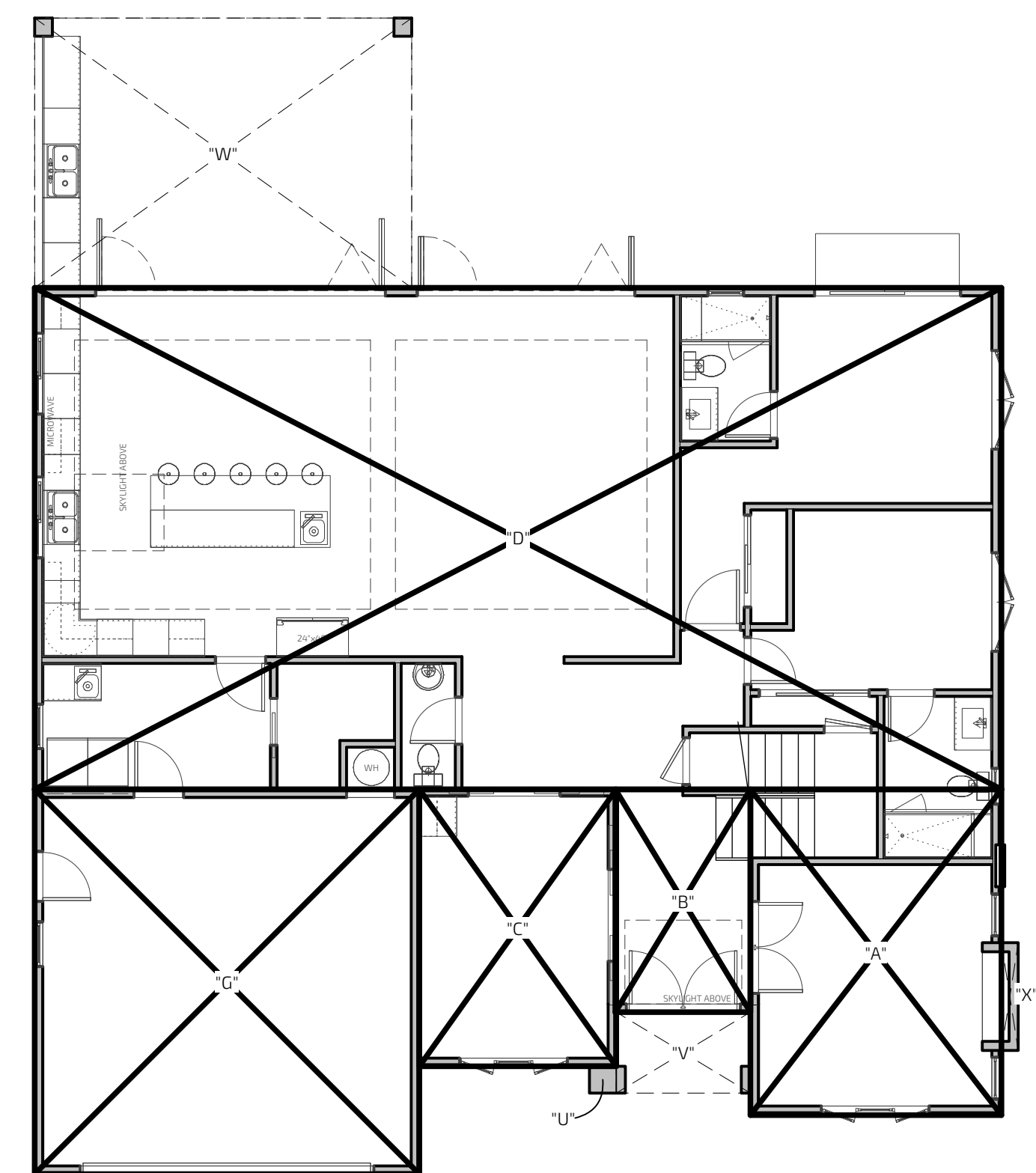
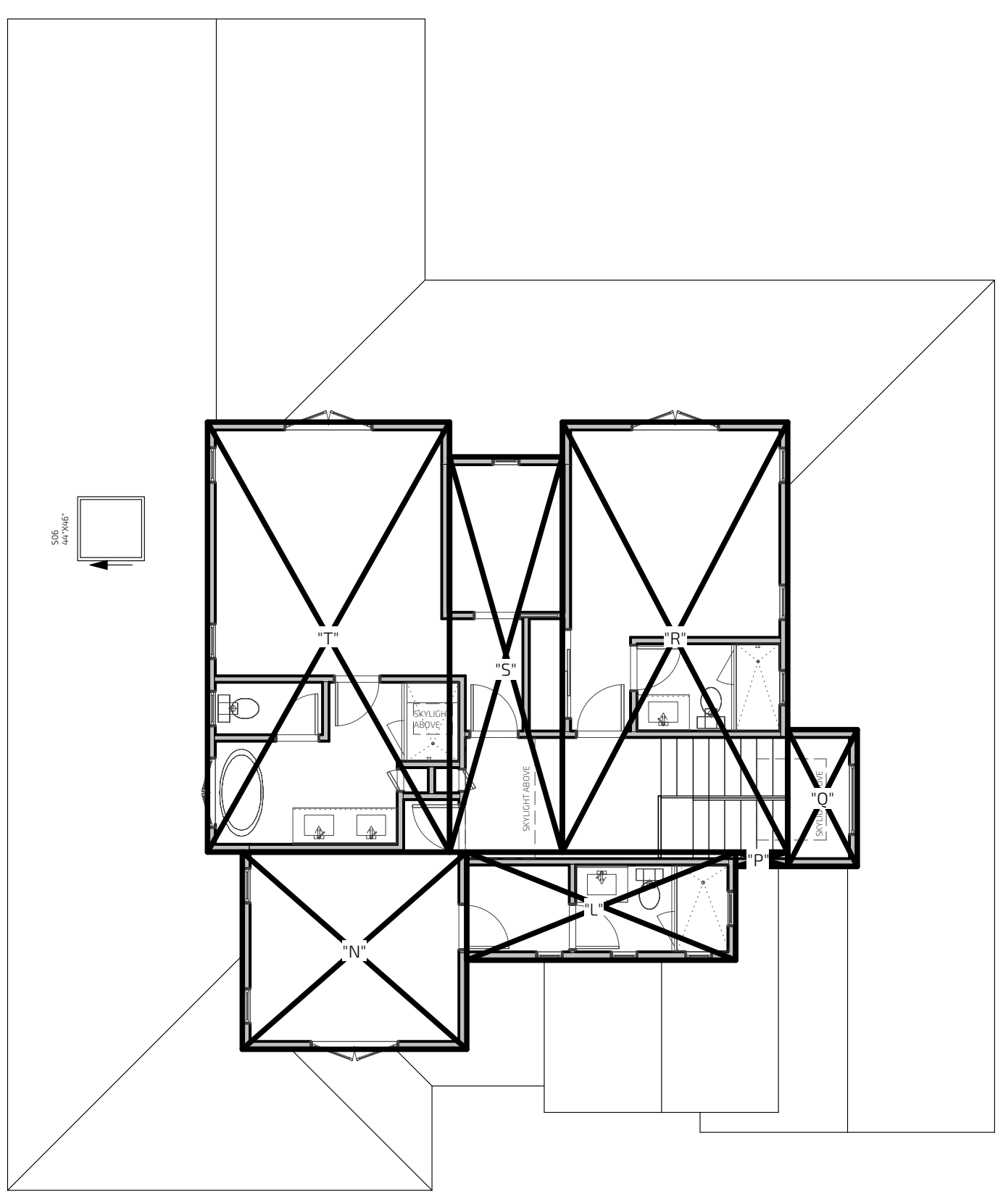
BAY LAND CONSULTING
CIVIL ENGINEERS
P.O. BOX 299
Santa Clara, California 95050
Ph: (408) 296-6000
SERVING THE BAY AREA

EROSION CONTROL DETAILS
629 BENVENUE AVE, LOS ALTOS CA 94024
APN 189-38-079
SANTA CLARA COUNTY

REVISIONS	
DATE	DESCRIPTION
△	
△	
△	
△	

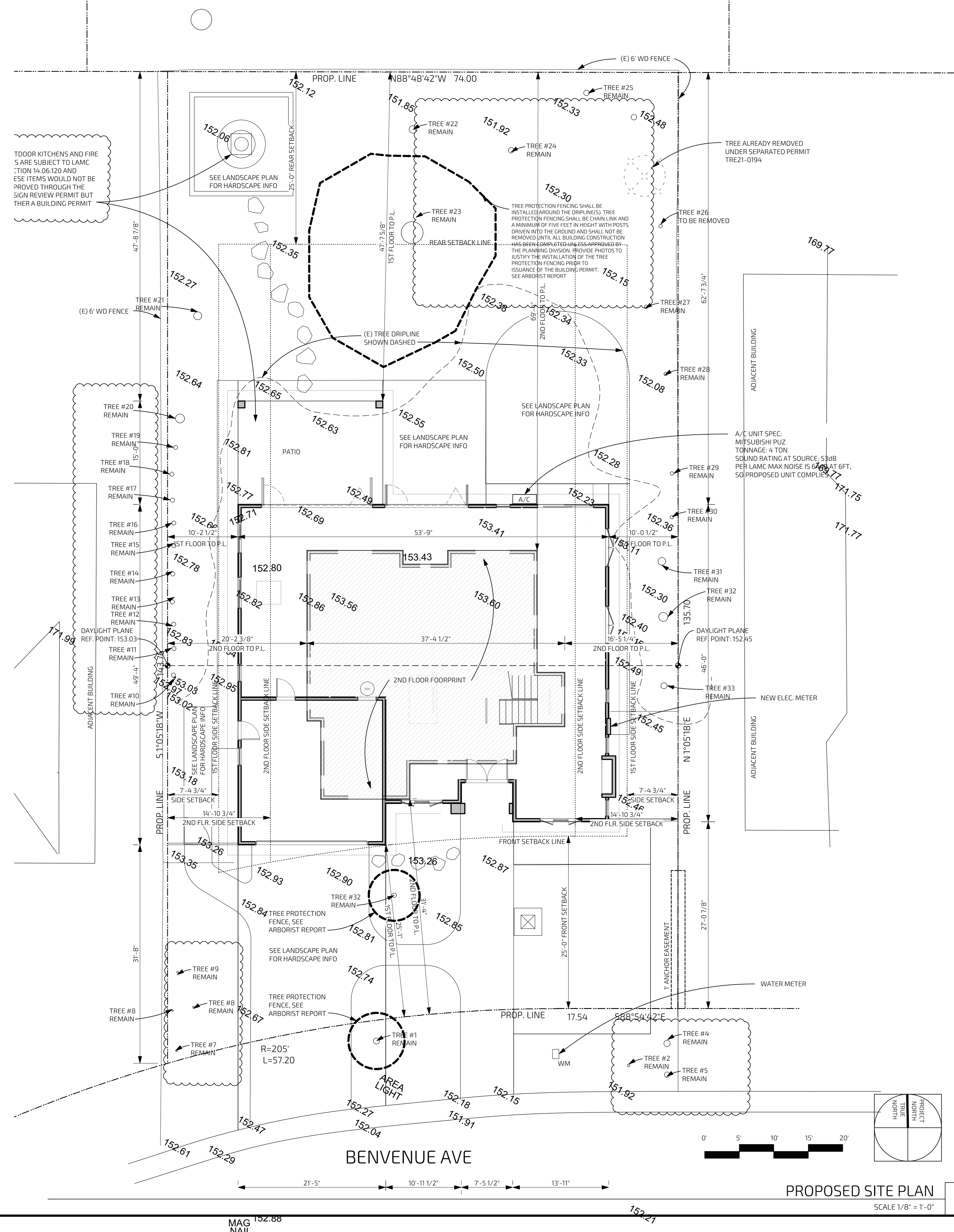
JOB NO. 21079
SCALE: N.T.S.
DWN: YC/SH
DATE: 12/10/21

SHEET
C4
OF 5 SHEETS



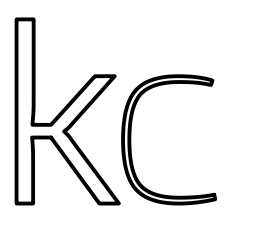
FLOOR AREA CALCULATION		
LABEL	DIMENSIONS	AREA
1ST FLOOR		
A	13'11.8 X 18'1.8	254 SF
B	7'6.3 X 12'5	93 SF
C	10'11.5 X 15'5	169 SF
D	53'9.8 X 27'11	1502 SF
G (GARAGE)	21'5 X 21'5	459 SF
2ND FLOOR		
L	15'5.5 X 6'2.4	96 SF
N	12'11 X 11'3.9	146 SF
P	3' X 9'9"	25 SF
Q	4'0 X 7'10.5	32 SF
R	12'11.5 X 24'8.6	320 SF
S	6'5.8 X 22'6	147 SF
T	13'11 X 24'8.6	344 SF
CONDITIONED AREA		
1ST FLOOR (A-D)		2,018 SF
2ND FLOOR (H-P)		1,067 SF
TOTAL		3,105 SF
GARAGE (G)		
TOTAL BUILDING		4,59 SF
FLOOR AREA RATIO		
LOT SIZE		10,195 SF
F.A.R.		34.9%
OUTDOOR PORCHES		
U	16 X 16	2 SF
V	7'5.5 X 4'6	34 SF
W	2'10 X 15'0	31 SF
X (CHIMNEY)	11'25 X 6'	5 SF
TOTAL		356 SF
LOT COVERAGE		
= 1ST FLOOR + GARAGE + PORCHES		
= 2,018 + 459 + 356		
= 2,833 SF		27.8%
EXISTING BUILDING HABITABLE		
EXISTING BUILDING		1,574 SF
EXISTING GARAGE		432 SF
EXISTING BUILDING TOTAL		2,006 SF

AREA CALCULATION
 SCALE 1/8" = 1'-0" **3**



BENVENUE AVE

PROPOSED SITE PLAN
 SCALE 1/8" = 1'-0" **1**



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kyle@kylechan.com

PLANNING SET
3.9.2022

Sheet Revisions:
1 PLAN CHECK COMMENTS
4.22.2022

ALL DIMENSIONS AND SPACINGS UNLESS OTHERWISE SPECIFIED ARE IN FEET AND INCHES. DIMENSIONS SHALL BE TO FACE UNLESS OTHERWISE NOTED. VERIFY THE EXISTING CONDITIONS OF THE PROJECT BEFORE CONSTRUCTION.

ELECTRONIC PLAN REVIEW

TUNG RESIDENCE
NEW RESIDENCE
629 BENVENUE AVE,
LOS ALTOS, CA 94024

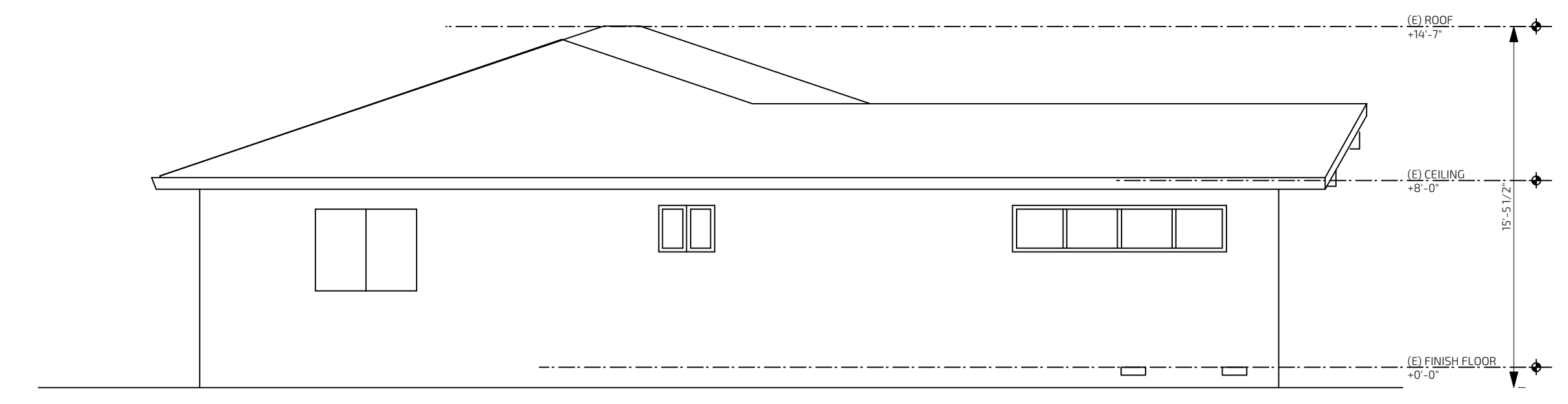
PLANNING SET
NOT FOR CONSTRUCTION

EXISTING
FLOOR PLAN/
ELEVATIONS

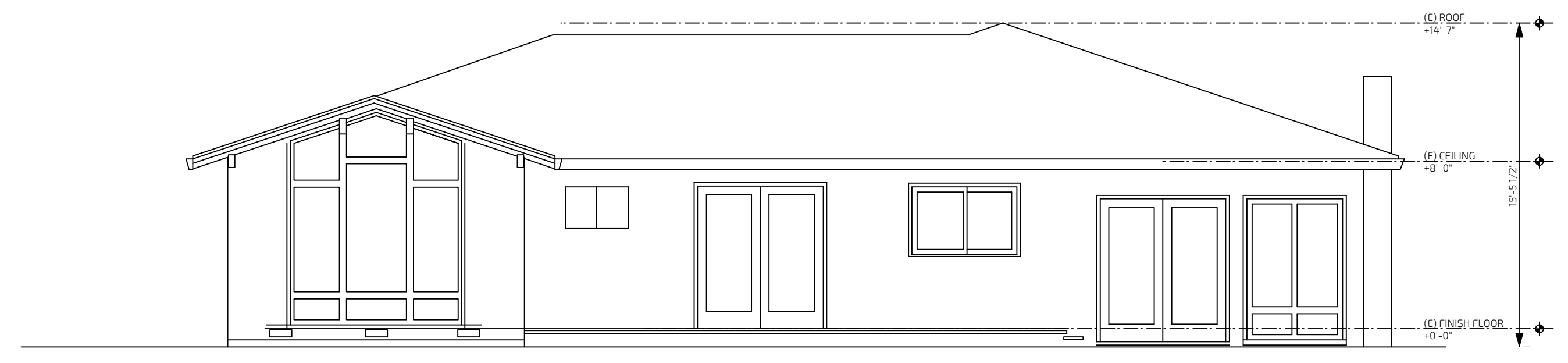
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A1.1

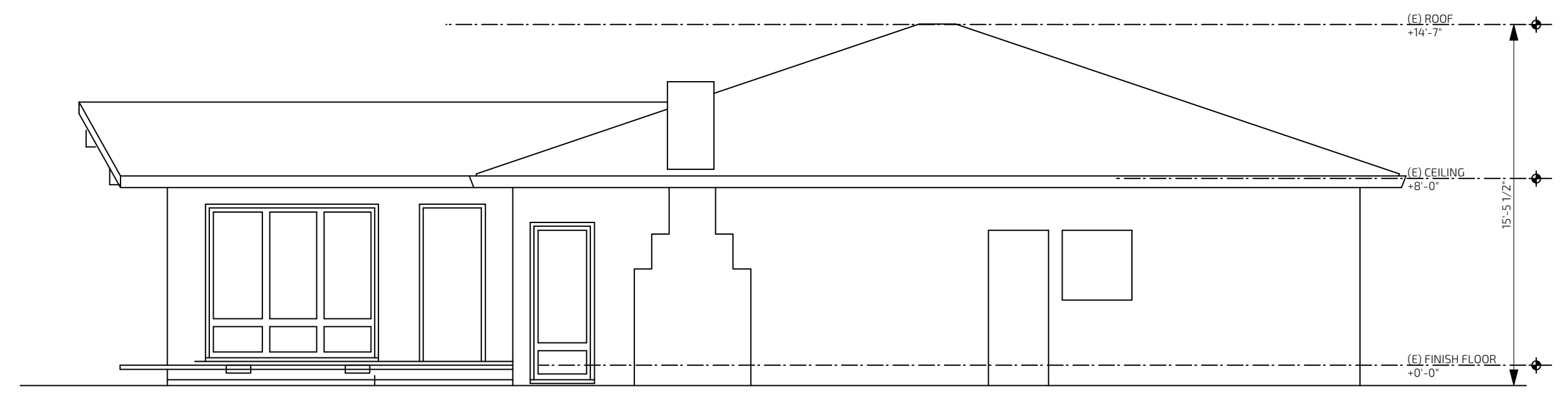
PROJECT NUMBER: 2110
629 BENVENUE AVE



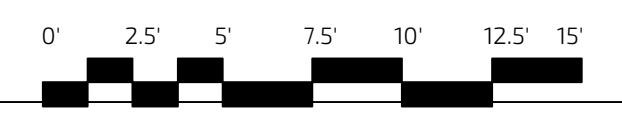
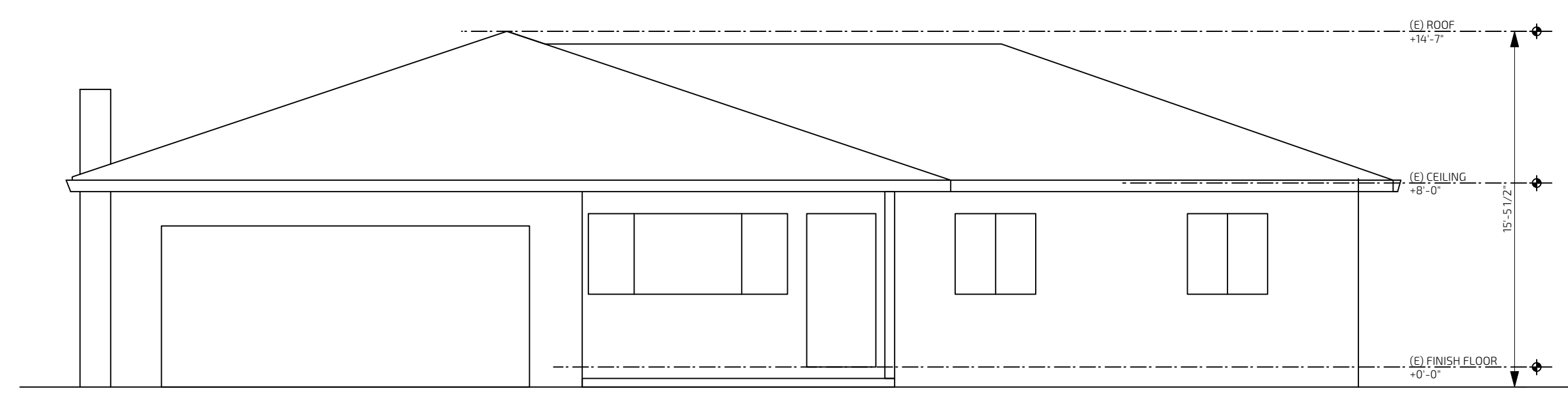
EXISTING EAST - RIGHT ELEVATION 4
SCALE 3/16" = 1'-0"



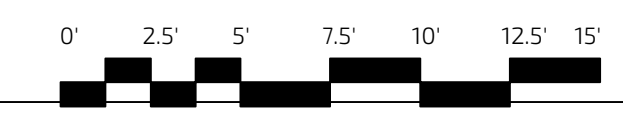
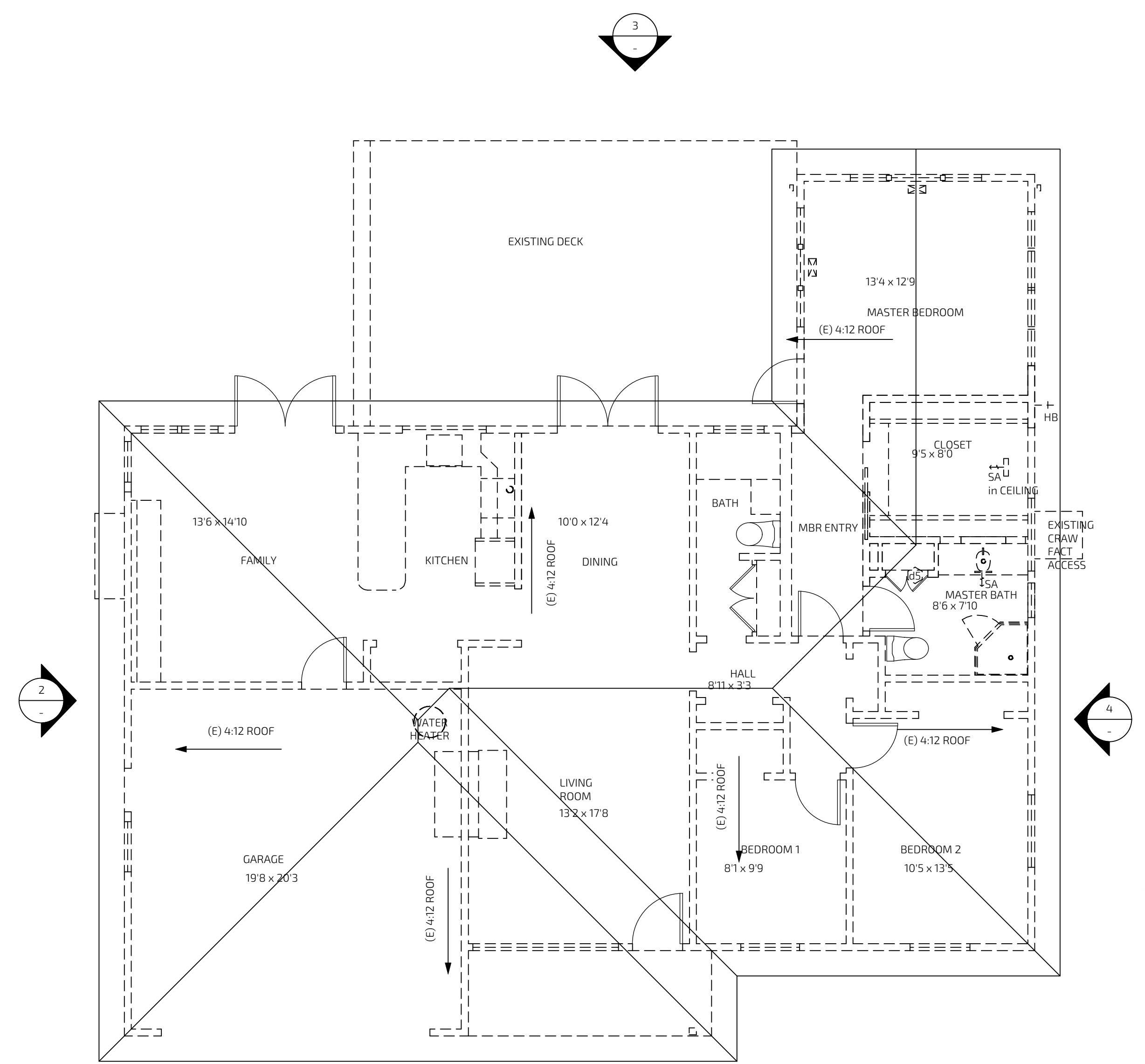
EXISTING NORTH - BACK ELEVATION 3
SCALE 3/16" = 1'-0"



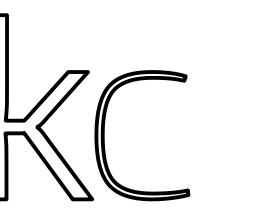
EXISTING WEST - LEFT ELEVATION 2
SCALE 3/16" = 1'-0"



EXISTING SOUTH - FRONT ELEVATION 1
SCALE 3/16" = 1'-0"



EXISTING FLOOR PLAN / ROOF PLAN 5
SCALE 3/16" = 1'-0"



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Sheet Revisions:
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ALL DIMENSIONS ARE SHOWN UNLESS OTHERWISE NOTED.
DIMENSIONS TO FACE UNLESS OTHERWISE NOTED.
DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.
DIMENSIONS TO CENTERLINE UNLESS OTHERWISE NOTED.

ELECTRONIC PLAN REVIEW

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NEW RESIDENCE
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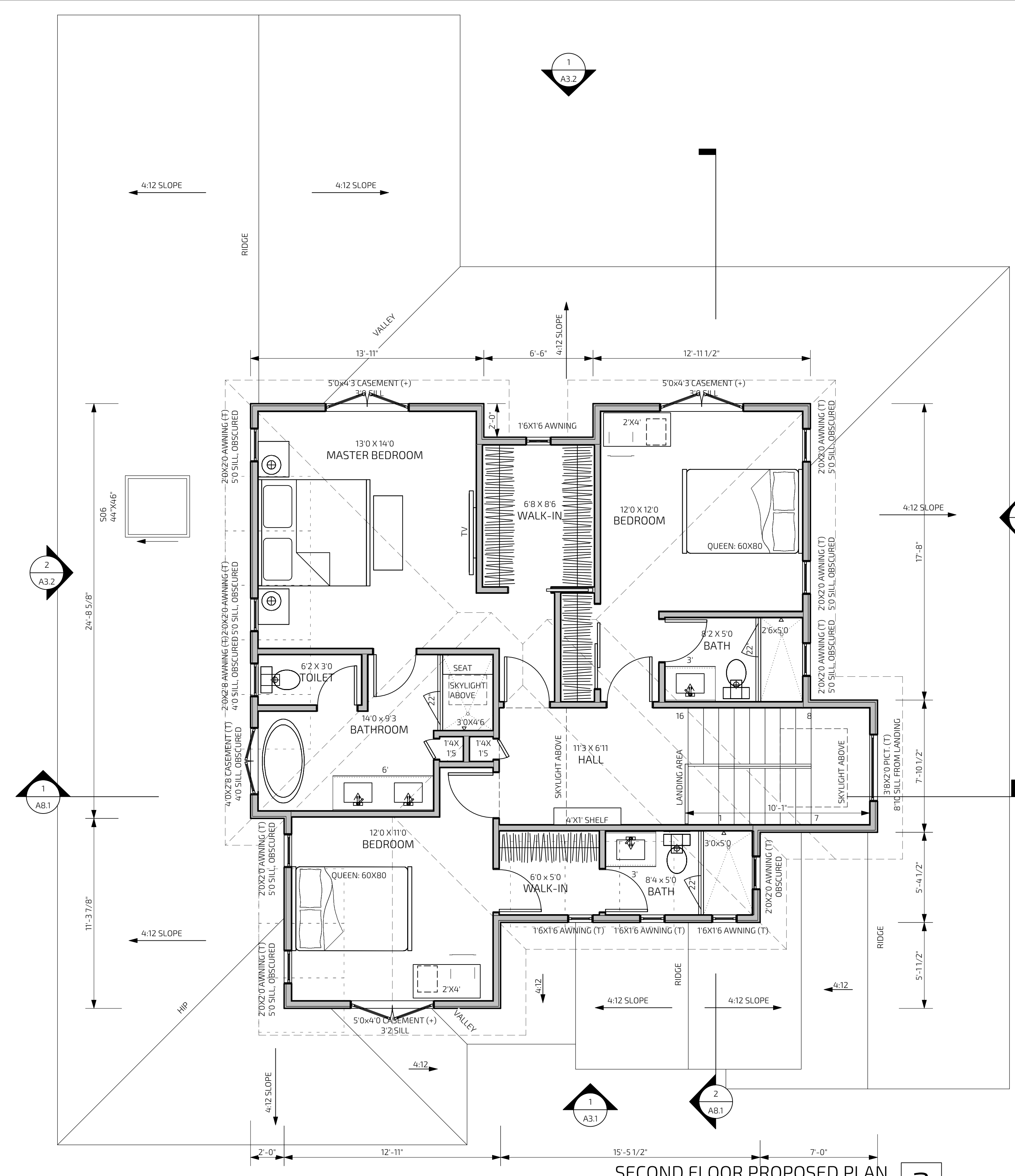
PLANNING SET
NOT FOR CONSTRUCTION

FIRST /
SECOND FLOOR
PROPOSED
PLAN

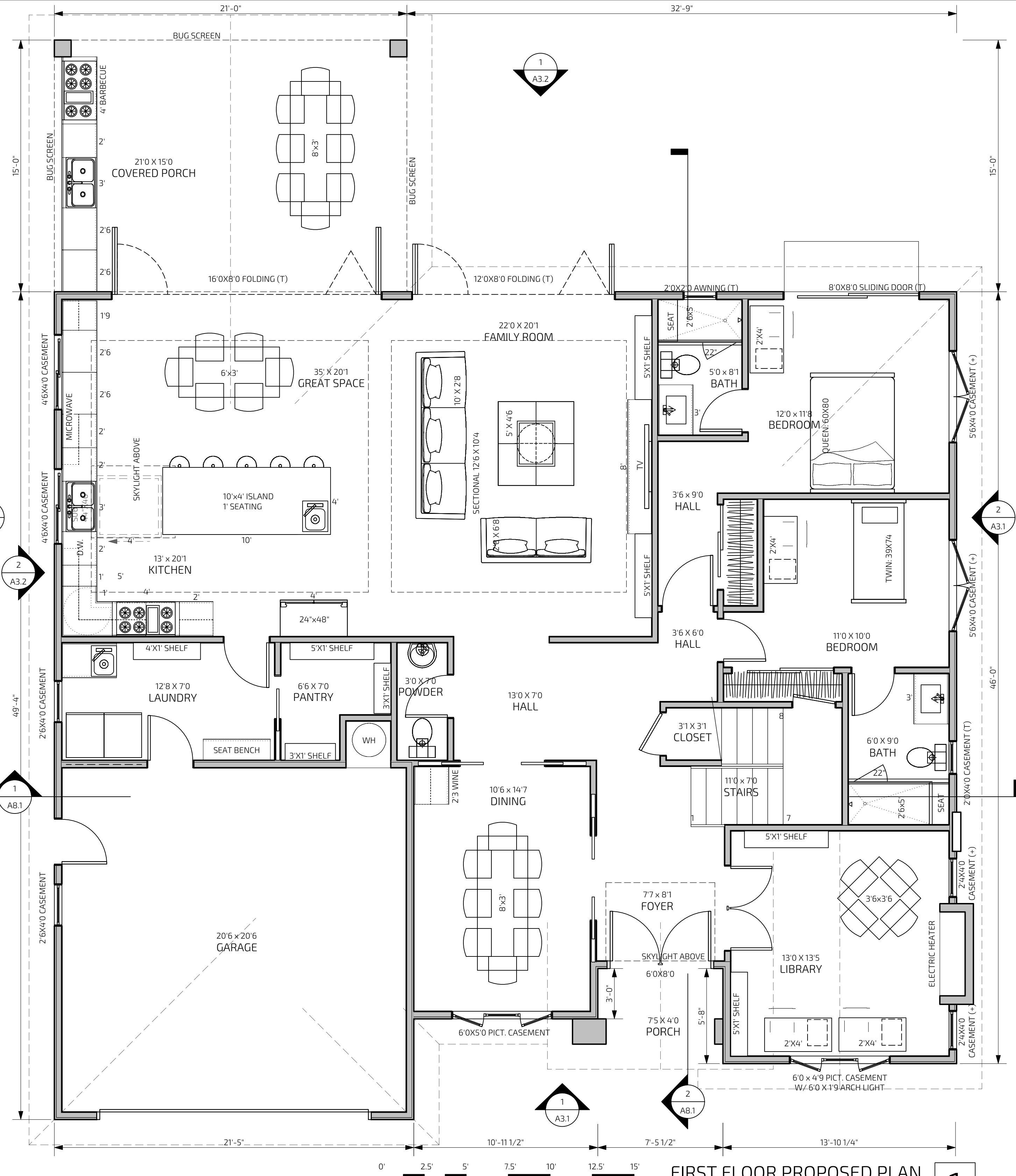
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A2.1

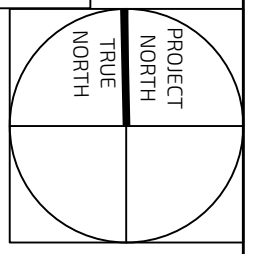
PROJECT NUMBER: 210
629 BENVENUE AVE



SECOND FLOOR PROPOSED PLAN
SCALE 1/4" = 1'-0" 2



FIRST FLOOR PROPOSED PLAN
SCALE 1/4" = 1'-0" 1

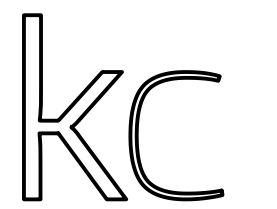


ROOF PLAN KEY NOTES

SEE A0.5 KEYNOTES FOR ALL ROOF PLAN KEYNOTES

FLOOR PLAN KEY NOTES

SEE A2.1 KEYNOTES FOR ALL ROOF PLAN KEYNOTES 1-9



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ALL DRAWINGS ARE UNLESS OTHERWISE SPECIFIED TO BE IN ACCORDANCE WITH THE CALIFORNIA ARCHITECTURAL BOARD'S STANDARD SPECIFICATIONS FOR ARCHITECTURAL DRAWINGS. THE USER SHALL BE RESPONSIBLE FOR VERIFYING THE ACCURACY OF THE INFORMATION PROVIDED IN THIS DOCUMENT.

ELECTRONIC PLAN REVIEW

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NEW RESIDENCE
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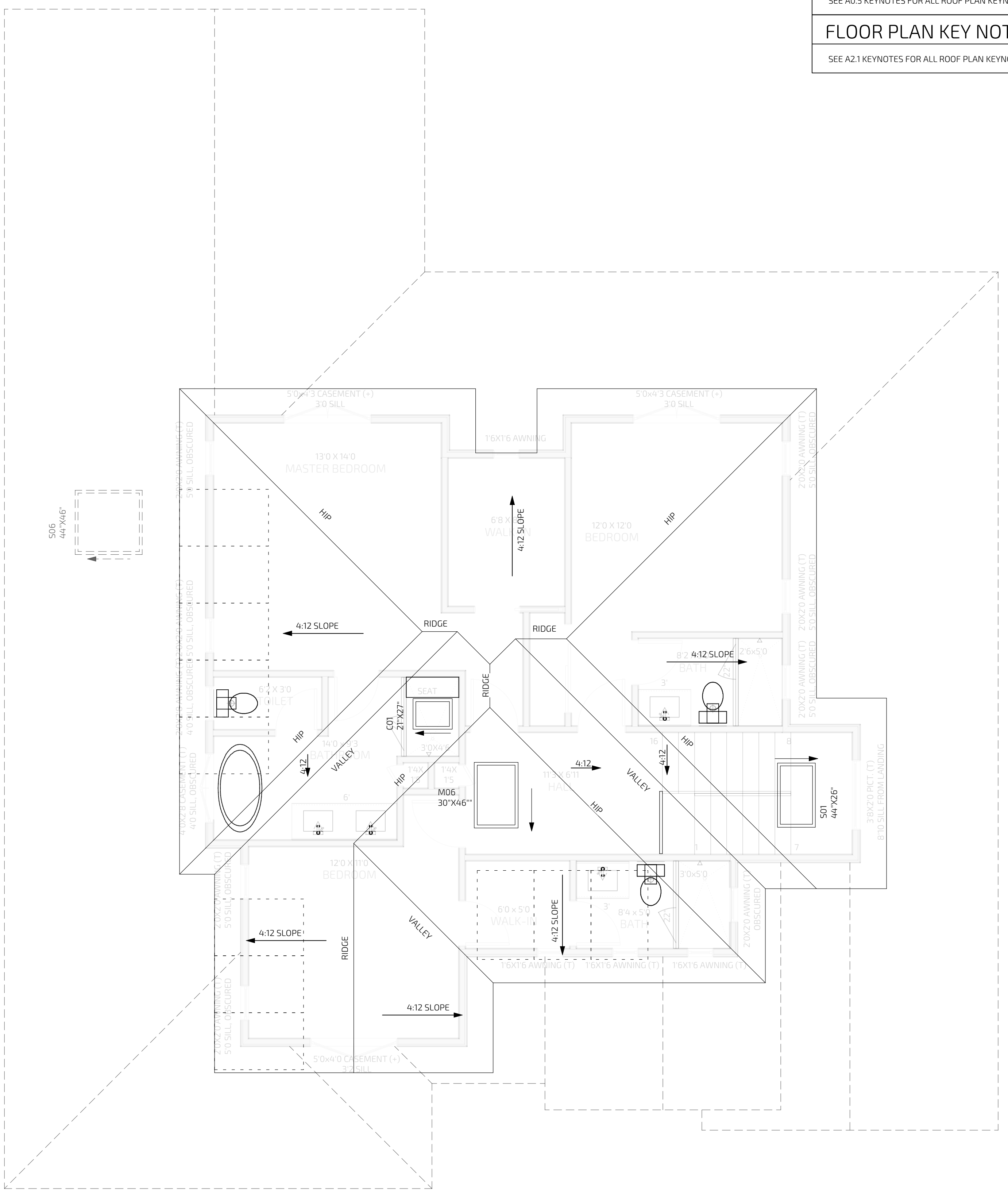
PLANNING SET
NOT FOR CONSTRUCTION

PROPOSED
ROOF PLAN

CITY STAMP:

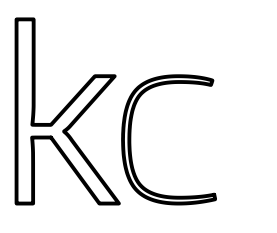
A2.2

PROJECT NUMBER: 2110
629 BENVENUE AVE



PROPOSED ROOF PLAN
SCALE 1/4" = 1'-0"

1



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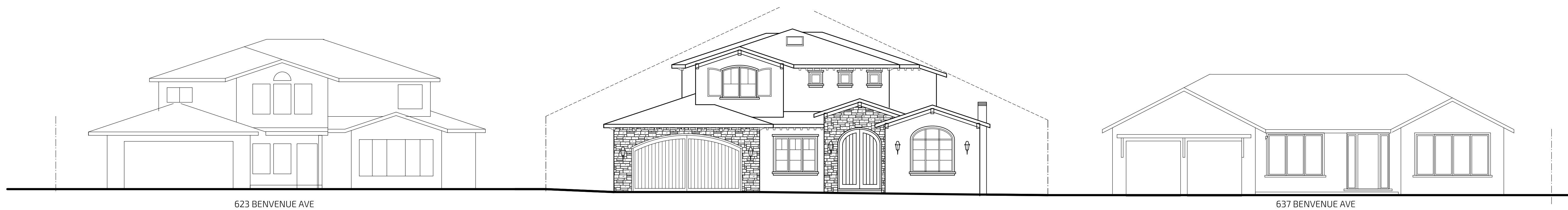
PLANNING SET
NOT FOR CONSTRUCTION

PROPOSED
ELEVATIONS

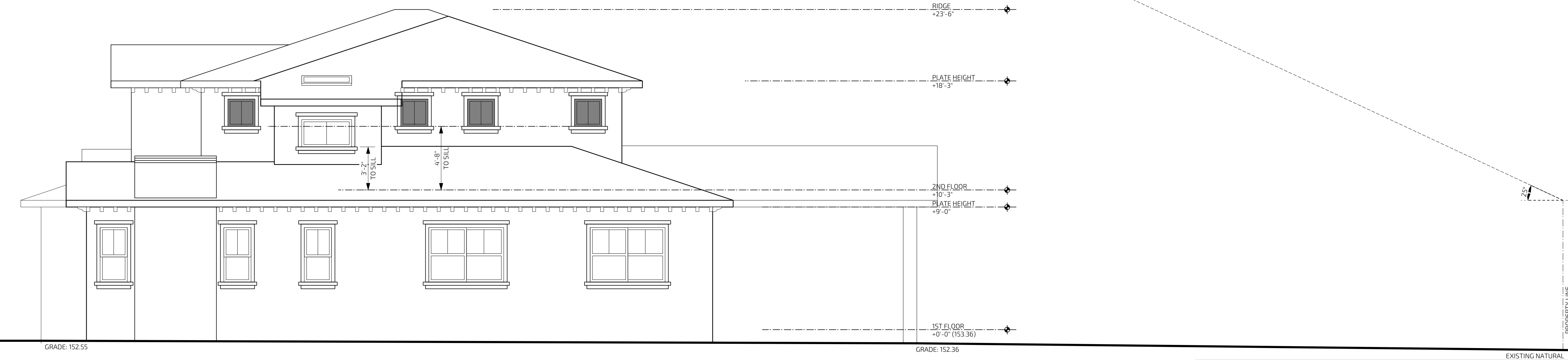
CITY STAMP:

A3.1

PROJECT NUMBER: 2110
629 BENVENUE AVE



STREETSCAPE FRONT ELEVATION
SCALE 1/8" = 1'-0" 3

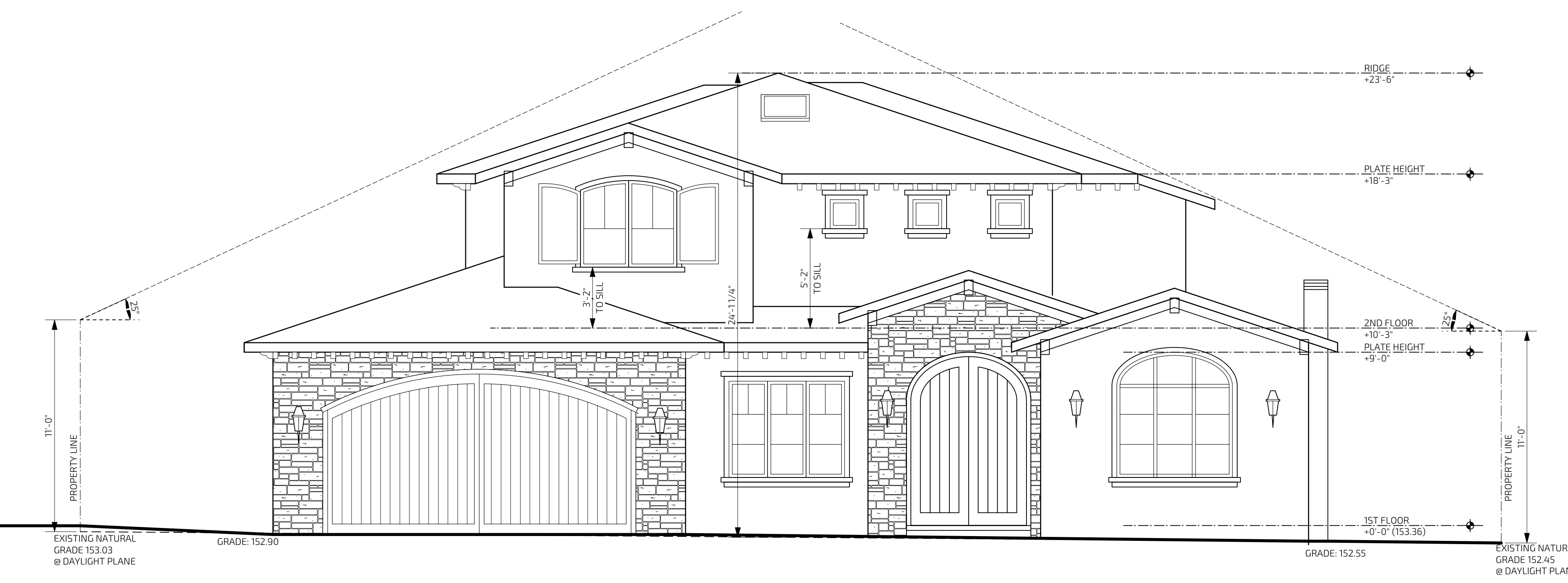


PROPOSED RIGHT ELEVATION
SCALE 1/4" = 1'-0" 2

EXTERIOR FINISH SCHEDULE

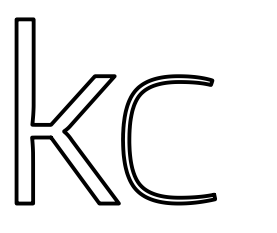
SYMBOL	MATERIAL	MFR./DEALER	MODEL #/ DESCRIPTION/ LOCATION	COLOR
S1	STONE OVERLAY / OR STAMP CONCRETE	P.B.M.	(N) CONC. LANDING W/ STONE OVERLAY: PENNSYLVANIA LILAC PATIO OR SIM.	-
S2	CLAD STONE VENEER PANEL	P.B.M.	FOND DU LAC RUSTIC VENEER STONE. STONE TO WRAP TO BOTH SIDES OF WALL, TYPICAL OR SIM.	-
R1	LIGHT WEIGHT TILE ROOF (*)	-	NEW TILE ROOF BY EAGLE OR SIM. ROOF TO BE CLASS 'A', COOL ROOF PER CALGREEN, MAX WEIGHT: 6PSF (PROVIDE BIRD STOP @ END OF TILE)	TAN
R2	ROLL ROOFING OR BUILT-UP ROOF (*)	-	CRICKET ROOFING PER CRC R905.5 & 905.9. ROOF TO BE CLASS 'A' OR BETTER.	LIGHT GRAY
G1	GUTTER	-	ALUM. - PAINTED	GRAPHITE
CP1	CEMENT PLASTER	-	EXTERIOR SMOOTH HARD STEEL TOWEL FINISH (ACRYLIC STUCCO FIN. SIMILAR)	MATCH (P1)
P1	EXTERIOR PAINT	-	PAINT AT CEMENT PLASTER	BEIGE
P2	TRIM PAINT	-	MATCH WINDOW TRIM	GRAPHITE
WINDOW	-	-	WINDOW SASH AND TRIM FINISH (SEE A2.1 SPEC FOR FINISH MATERIALS)	GRAPHITE

- (*) PER TITLE-24: COOL ROOF REQUIRED. ROOF REFLECTANCE: 0.1 OR BETTER. ROOF EMITTANCE: 0.8 OR BETTER.
 (**) STONE PANEL TO BE ADHERED PER CRC R703.12. SEE ICC-REPORT FOR INSTALLATION SPECIFICATIONS.
1. PAINT ALL EXTERIOR WINDOW TRIM, SILLS, NON-VINYL SASH, MUTTINGS, DECK RAILINGS, DECK FASCIA, BEAMS AND TRELLISES, RAFTER TAILS AND EAVE SHEATHING BOARDS. PROTECT ANY AND ALL VINES / PLANTINGS FROM DAMAGE.
 2. CONTRACTOR TO CONFIRM ALL FINISH WITH OWNER BEFORE ORDERING.
 3. PROVIDE COEFFICIENT OF FRICTION OF 0.6 OR HIGHER FOR ALL FLOOR TILE & EXTERIOR FLAG STONE SURFACE.
 4. FOR ALL WALL FINISHES, SEE WALL SCHEDULE ON A2.1 FOR UNDERLAYMENT REQUIREMENTS.



PROPOSED FRONT ELEVATION
SCALE 1/4" = 1'-0" 1





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3.9.2022

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ALL DIMENSIONS AND SPACINGS UNLESS OTHERWISE SPECIFIED ARE TO FACE UNLESS OTHERWISE NOTED. THE ARCHITECT ASSUMES RESPONSIBILITY FOR THE ACCURACY OF THE DIMENSIONS AND SPACINGS SHOWN ON THIS PLAN.
ELECTRONIC PLAN REVIEW

TUNG RESIDENCE
NEW RESIDENCE
629 BENVENUE AVE,
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PLANNING SET
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PROPOSED
ELEVATIONS

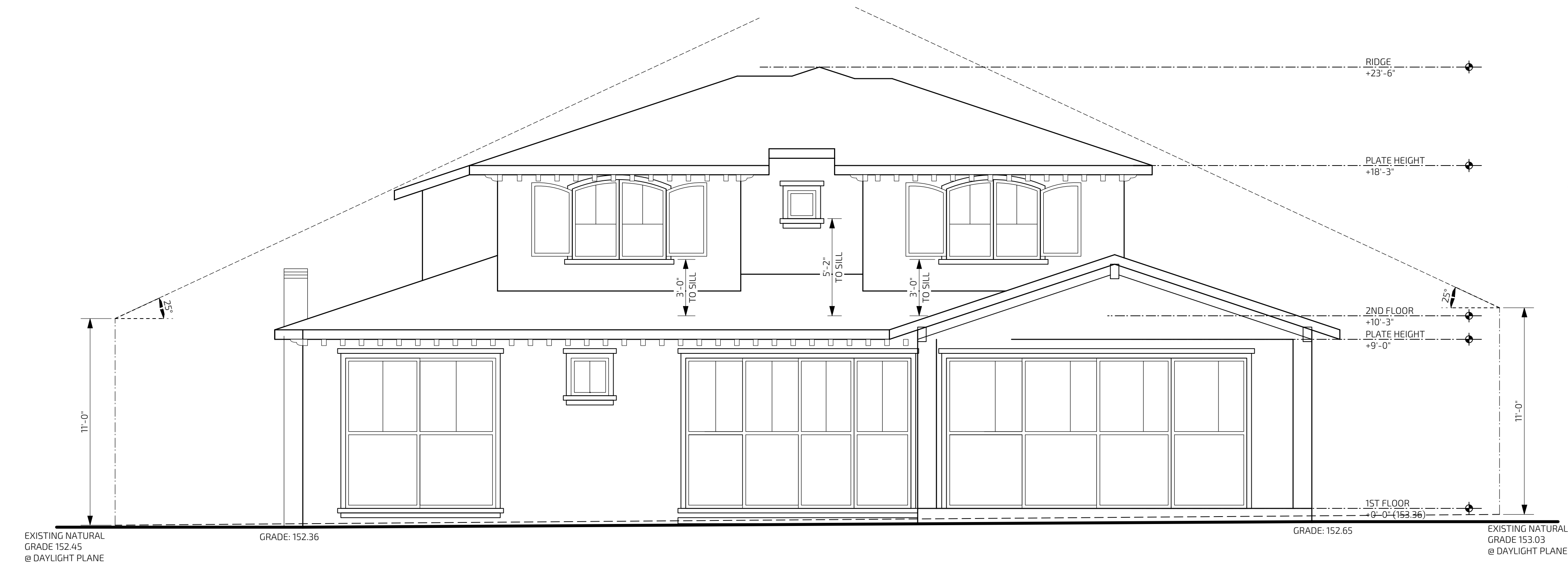
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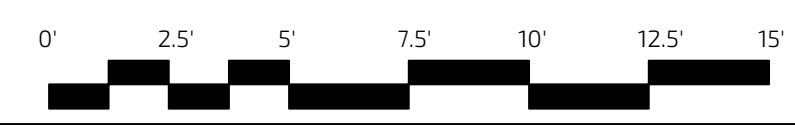
PROJECT NUMBER: 2110
629 BENVENUE AVE

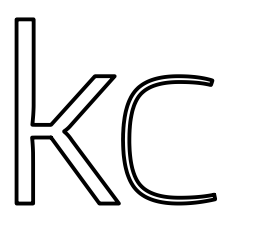


PROPOSED LEFT (WEST) ELEVATION
SCALE 1/4" = 1'-0" 2



PROPOSED BACK (NORTH) ELEVATION
SCALE 1/4" = 1'-0" 1



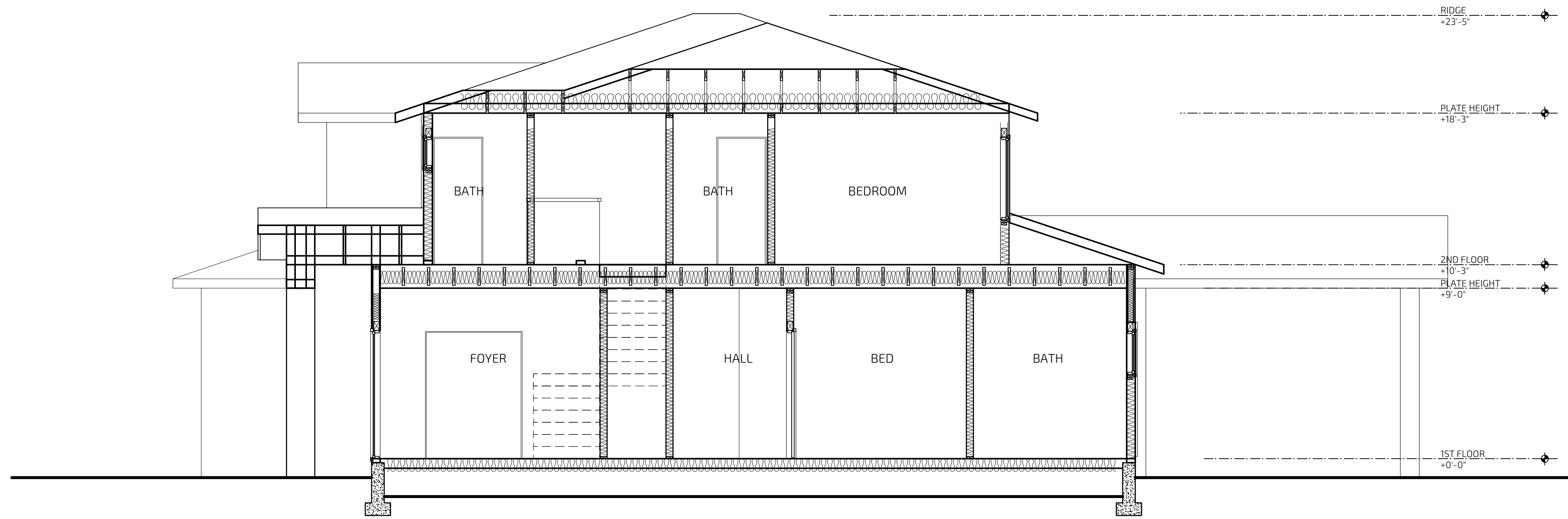


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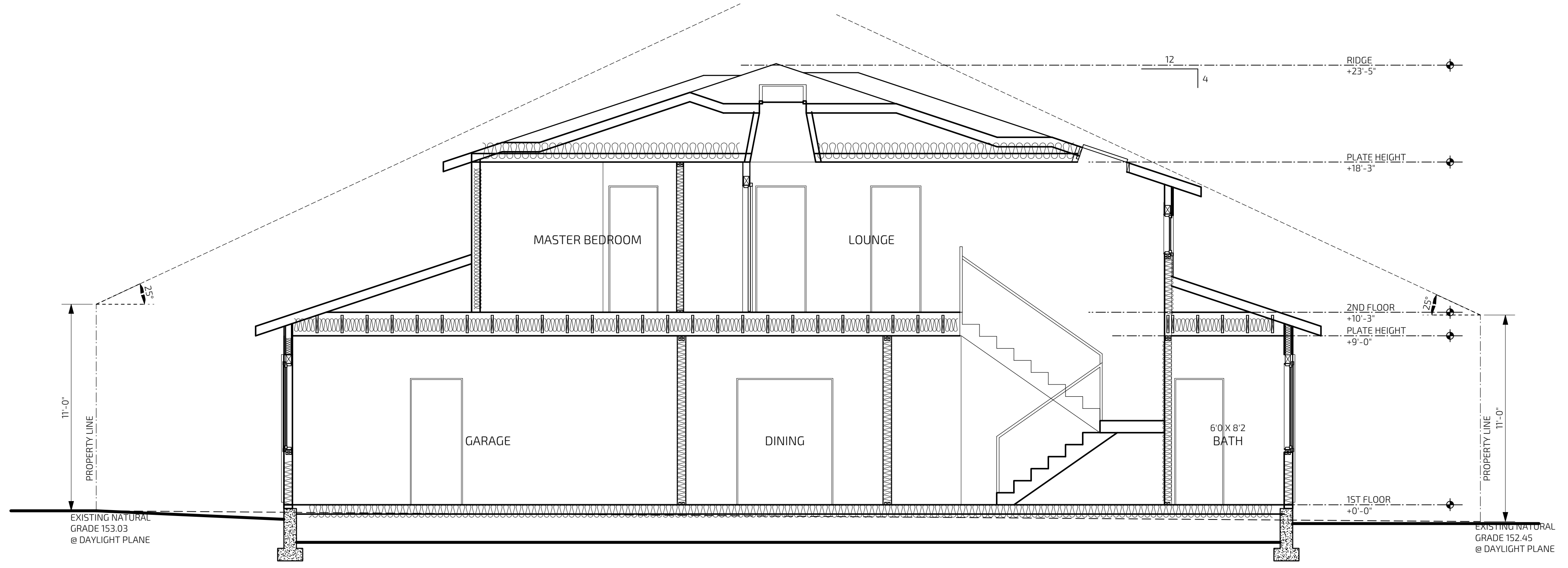
Sheet Revisions:
1 PLAN CHECK COMMENTS
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ELECTRONIC PLAN REVIEW



NORTH-SOUTH SECTION
SCALE 1/4" = 1'-0"

2



EAST WEST SECTION
SCALE 1/4" = 1'-0"

1

TUNG RESIDENCE
NEW RESIDENCE
629 BENVENUE AVE,
LOS ALTOS, CA 94024

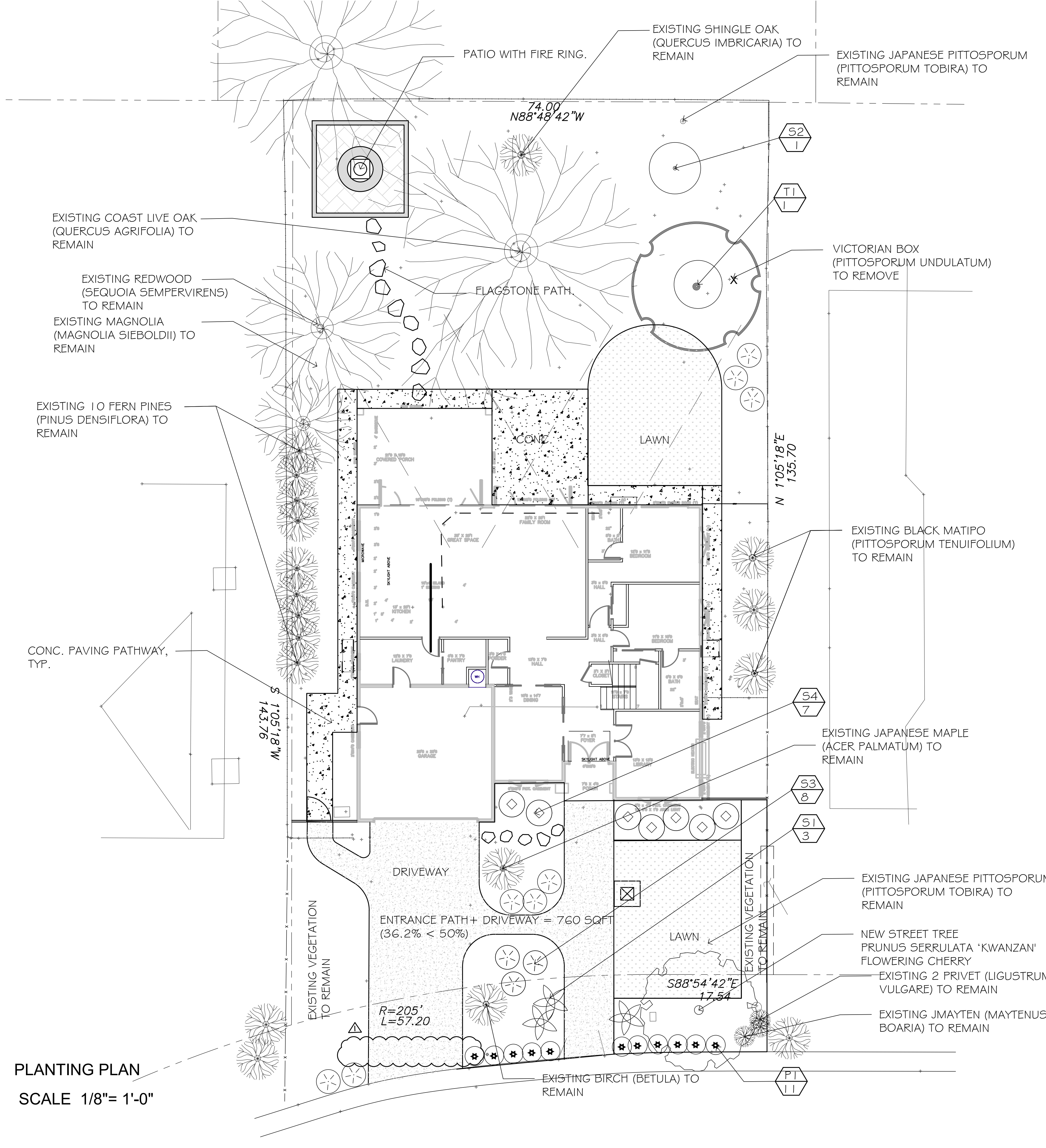
PLANNING SET
NOT FOR CONSTRUCTION

PROPOSED
SECTIONS

CITY STAMP:

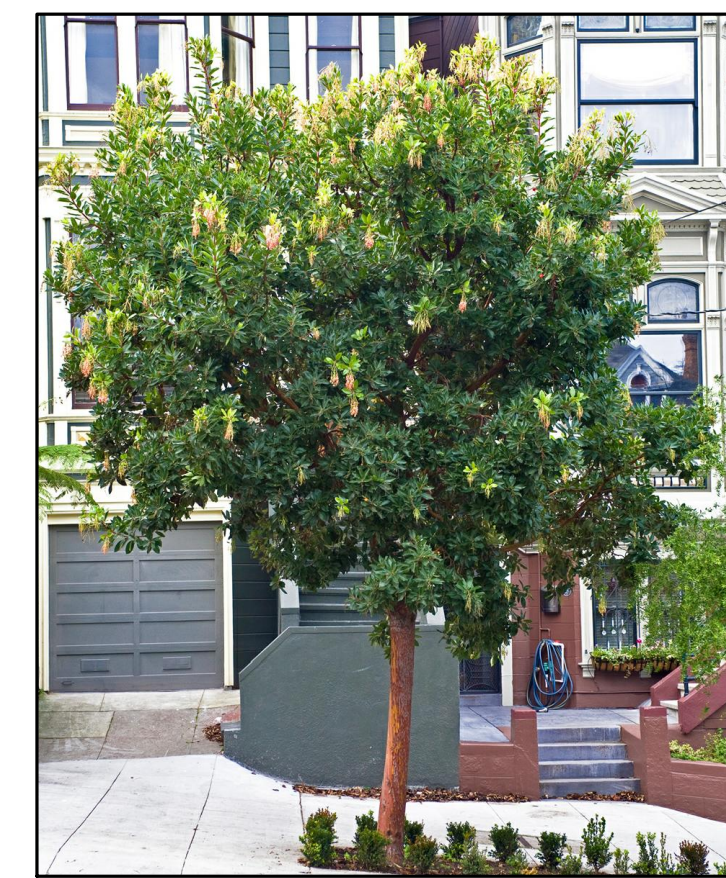
A8.0

PROJECT NUMBER: 2110
629 BENVENUE AVE



Private Screening Tree
 Arbutus 'Marina' _Marina Strawberry Tree
 Anticipated height and spread at maturity
 Height: 40-50 feet
 Width: 25-40 feet
 Average rate of growth: Moderate

Street Tree
 Prunus serrulata 'Kwanzan' _Kwanzan Flowering Cherry
 Anticipated height and spread at maturity
 Height: 20-25 feet
 Width: 15-20 feet
 Average rate of growth: Moderate



PLANT LEGEND

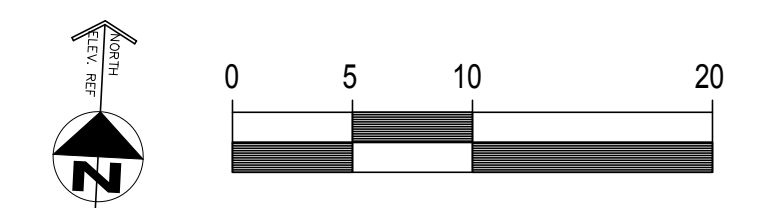
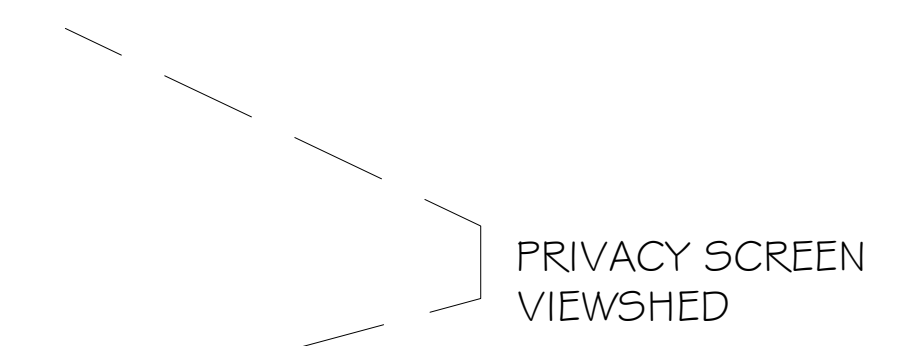
Water Use	KEY	Botanical Name	Common Name
L	T1	Arbutus 'Marina'	Strawberry Tree
M	T2	Prunus serrulata 'Kwanzan'	Flowering Cherry
L	S1	Agave attenuata 'Nova'	Blue Fox Tail Agave
M	S2	Citrus limon 'Meyer Improved'	Meyer Lemon
L	S3	Daphne odora 'Aureo-marginata'	Winter Daphne
L	S4	Loropetalum chinense 'Emerald Snow'	Fringe Flower
L	P1	Anigozanthos 'Gold Velvet'	Gold Kangaroo Paw

L=Low; M= Moderate; H= High

INDICATES PLANT KEY
 INDICATES PLANT QUANTITY

NOTE:

1. ALL EXISTING TREES TO REMAIN AND PROTECTED DURING CONSTRUCTION. SEE ARBORIST REPORT / TREE PROTECTION PLAN FOR MORE INFORMATION.
2. IF LANDSCAPING IS USED FOR PRIVACY SCREENING PURPOSES, IT SHOULD BE OF SUFFICIENT SIZE AND OF AN APPROPRIATE SPECIES TO PROVIDE SUCH PRIVACY WITHIN A TWO YEAR TIME FRAME.
3. 3" MULCH THROUGH OUT THE AREA WITHOUT PAVING.



PREPARED BY
 YI-LIANG KAO
 Landscape Architect, California, #4936
 (510) 423-3626
 yiliang.kao@gmail.com

PLANTING PLAN
 SCALE 1/8"= 1'-0"

TUNG & YU RESIDENCE
 629 BENVENUE AVE
 LOS ALTOS, CA 94024

PLANTING PLAN

DATE: 01/26/2022

JOB NO.

ISSUE & REVISION

1	4/22/2022
2	
3	
4	
5	
6	
7	
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SHEET NO.
L-1

DRAWN BY: YLK



DATE: June 1, 2022
 AGENDA ITEM #3

TO: Design Review Commission
FROM: Jia Liu, Associate Planner
SUBJECT: SC21-0048 – 466 Raquel Lane

RECOMMENDATION:

Approve design review application SC21-0048 subject to the listed findings

PROJECT DESCRIPTION

This is a design review application for the construction of an 831.8 square-foot, second-story accessory dwelling unit (ADU) added to an existing one-story house. The project should be considered categorically exempt from further environmental review under Section 15301 of the California Environmental Quality Act. The following table summarizes the project’s technical details:

GENERAL PLAN DESIGNATION: Single-Family, Residential
ZONING: R1-10
PARCEL SIZE: 12,944.3 square feet
MATERIALS: Composition shingle roof, Stucco and Hardie board siding, fiberglass window frame with Hardie board trims, metal railing

	Existing	Proposed	Allowed/Required
COVERAGE:	3,525 square feet	3,525 square feet	4,530.5 square feet
FLOOR AREA:			
First floor	3,525 square feet	0 square feet	
Second floor	-- square feet	-- square feet	4,044 square feet
Total	3,525 square feet	3,525 square feet	
SETBACKS:			
Front	27.96 feet	27.96 feet	25 feet
Rear (1 st /2 nd)	32.54 feet/--feet	32.54 feet/40.5 feet	25 feet/4 feet
Right side (1 st /2 nd)	9.75 feet/-- feet	-- feet/17.50 feet	-- feet/4 feet
Left side (1 st /2 nd)	10.15 feet/-- feet	-- feet/55.75 feet	-- feet/4 feet
HEIGHT:	15 feet	22 feet	27 feet

BACKGROUND

Neighborhood Context

The subject property is located on Raquel Lane between Raquel Court and Hacienda Way. The surrounding neighborhood is considered a Diverse Character Neighborhood as defined in the City's Residential Design Guidelines. The homes in the immediate neighborhood context are a combination of one-story and two-story houses, with two-story homes at 472 Raquel Lane and 500 Raquel Court. Residential properties on Raquel Lane share similar front setback patterns with low to moderate horizontal eave lines between eight to nine feet and six inches at first story and low horizontal eave line approximate eight feet at the second story. Most of the garages are attached to the existing homes in the front yard facing the street. A combination of simple and complex roof forms with composition shingle, standing metal seam, and clay tiles materials are found in the immediate neighborhood. The exterior materials commonly used include stucco and horizontal and vertical siding with stone veneer or brick accents. Landscapes in the front consist of mature street trees on most properties with dense screening shrubs further in.

Zoning Compliance

The existing house has a 9.83-foot side setback from the west side property line shown on the survey map where a 10-foot setback is required in the R1-10 (Single-Family) zoning district. The setback deficiency is considered de minimis and can be maintained as it is.

Discretionary Review Process

Pursuant to Section 65852.2 of the Government Code, a local jurisdiction shall not preclude the construction of an accessory dwelling unit with at least 800 square feet in size, 16 feet in height, and four-foot side and rear yard setbacks. Per the Section 14.14.050 of the Los Altos Zoning Code (LAZC), an attached ADU greater than 16 feet may be allowed but shall be subject to the underlying zoning's discretionary review process. Furthermore, the proposed ADU will be 22 feet in height that is greater than 20 feet; therefore, according to Section 14.76.040 (D) of the LAZC, the proposed ADU shall receive Design Review Commission approval through the public discussion process.

DISCUSSION

Design Review

According to the Residential Design Guidelines, in Diverse Character Neighborhoods, a good neighbor design has its own design integrity while incorporating some design elements, materials, and scale found in the neighborhood.

The existing residence will be modified from an existing one-story, ranch style house with crossed gable roof forms to a two-story house with the attached ADU on the second floor. The proposed roof will be consistent with the existing roof forms and remain as the crossed gable. The proposed project consists of an 831.8 square-foot second story ADU, interior remodeling, and exterior modifications to the first story.

At the first floor, the major exterior modification is to alter the existing garage's roof from being a part of the overall gable to a crossed gable roof form with the same 4:12 roof slope. The garage's plate height will be nine feet and six inches, which is greater than the eight-foot tall first story plate height of the existing structure. Interior remodeling will mostly occur under the proposed second story ADU. An independent staircase access for the proposed ADU is incorporated into the first story floor plan. While

staff acknowledges the garage plate height is greater than the existing structure, the applicant's incorporation of horizontal siding in the gables is more rustic and minimizes the massing of the plate alterations. Overall, the first story exterior modifications are well integrated into the existing first-story structure.

The second story will consist of the proposed ADU with two bedrooms, one bathroom, and one living room with a standard kitchen. The new second story ADU plate heights will change from a seven-foot and six-inch plate height in the living room facing the front to an eight-foot plate height for the rest of the second story. The overall height of the proposed residence is 22 feet, consistent with the maximum height of 27 feet in the R1-10 zoning district. Staff found that the new second story ADU with a seven-foot and six-inch plate height front facing gable with further setback from the first story massing is considered a low-scale second story with consistent roof forms and exterior appearance.

Overall, according to the Residential Design Guidelines, the project appears to be an appropriate design within this Diverse Character Neighborhood setting. The proposed are consistent with the eight-foot to nine-foot plate heights of existing residences in the neighborhood. The design uses the existing recessed front porch, low eave lines and horizontal siding in the gables to balance the massing of the structure by creating horizontal lines that break up the front elevation. The second story massing is located above the right side the first story and visually softened by the roof massing and low eave line . Overall, the two-story design is proportioned and articulated to reduce the effect of bulk and mass and is appropriate for the context of the area and meets the intent of the design review findings The proposed building materials, include composition horizontal and shingle siding, fiberglass window frame with Hardie board trims, and composition shingle roof material are high quality and compatible with the character of the neighborhood.

Privacy

On the right (west) elevation at the second story, there will be two windows with one small size and one medium size. Both two windows will have the same windowsill height of four feet and six inches. With a 17-foot and six-inch setback from the right-side property and additional screening vegetation along the property line to be planted, privacy invasion shall be minimized.

On the left (east) elevation at the second story, three windows and one double door with a Juliet balcony will be placed. The three windows perform different windowsill heights: one three-foot and 11-inch windowsill height small window at the kitchen, one two-foot and eight-inch sill height medium sized window at the living room, and two-foot and eight-inch sill height window at the staircase. The double door will be opened at the Bedroom #2 to a passive-used balcony with two feet in depth by 10 feet in length. Overall, privacy invasion should be very minimal as the distance from these windows and balcony will be at least 55 feet away to the east side property line.

Along the rear (south) second story elevation, two two-panel windows are proposed with the same two-foot and eight-inch sill height. Given that the setback from the rear property line to the rear elevation windows will be greater than 40 feet with existing screening vegetation and dense mature trees in the back neighbor's yard along Adobe Creek, staff found the second story windows have very minimal privacy impacts to the rear neighboring property.

In general, the Design Review Commission has previously considered second story windows with four-foot and six-inch windowsill heights acceptable to minimize direct views into neighboring properties. When there are perceived privacy impacts, installation of screening vegetation is another common practice to mitigate the interference with privacy. As discussed above, with the proposed design of second story

windowsill heights, placement of windows, setbacks to the property lines, and new and existing vegetation, staff considers the subject project is designed to avoid unreasonable potential privacy impacts to adjacent the residential neighbors.

Landscaping and Trees

There are 17 existing protected on-site trees, including nine oak trees with a diameter greater than four inches. All the described trees will be protected and retained during the construction.

Additionally, eleven new evergreen screening plants will be planted along the right-side property line to reduce potential privacy impacts. The proposed screening vegetation is conditioned (No. 5) to be planted with a minimum size of 15 gallon. Proposed screening vegetation are outlined in the Table 1 below.

Table 1: Proposed Screening Plant List

Location	Common Name	Number	Size	Description
Right side property line	Magnolia	3	Conditioned to be 15 gallons	25' tall x 25' wide
Right side property line	Oleander	8	Conditioned to be 15 gallons	12' tall x 10' wide

Environmental Review

This project is categorically exempt from environmental review under Section 15301 of the California Environmental Quality Act because it involves the construction of an addition to an existing dwelling in a residential zone.

Public Notification and Community Outreach

On March 31, 2022, a letter including the project scope and a rendering was hand delivered to each surrounding neighbor. At 9:00 am on April 5, 2022, a virtual community meeting was hosted by the applicant. No comment was received in the virtual meeting. The community outreach summary is provided in Attachment C.

A public meeting notice was posted on the property (Attachment D) and mailed to 11 nearby property owners on Raquel Lane, Raquel Court, and Blue Oak Lane. The Notification Map is included in Attachment B.

Cc: Kim & Sergio Monsalve, Property Owners
Kendra Rosenberg, Applicant and Designer

Attachments:

- A. Neighborhood Compatibility Worksheet
- B. Notification Map
- C. Community Outreach Summary
- D. Posting of Notice of Development Proposal
- E. Materials Board

FINDINGS

SC21-0048 – 466 Raquel Lane

With regard to design review for the addition of a second story accessory dwelling unit to an existing one-story house, the Design Review Commission finds the following in accordance with Section 14.76.050 of the Municipal Code:

- a. The proposed addition complies with all provisions of this chapter;
- b. The height, elevations, and placement on the site of the proposed addition, when considered with reference to the nature and location of residential structures on adjacent lots, will avoid unreasonable interference with views and privacy and will consider the topographic and geologic constraints imposed by particular building site conditions;
- c. The natural landscape will be preserved insofar as practicable by minimizing tree and soil removal; grade changes shall be minimized and will be in keeping with the general appearance of neighboring developed areas;
- d. The orientation of the proposed addition in relation to the immediate neighborhood will minimize the perception of excessive bulk;
- e. General architectural considerations, including the character, size, scale, and quality of the design, the architectural relationship with the site and other buildings, building materials, and similar elements have been incorporated in order to insure the compatibility of the development with its design concept and the character of adjacent buildings; and
- f. The proposed addition has been designed to follow the natural contours of the site with minimal grading, minimum impervious cover, and maximum erosion protection.

CONDITIONS

SC21-0048 – 466 Raquel Lane

GENERAL

1. Expiration

The Design Review Approval will expire on June 1, 2024 unless prior to the date of expiration, a building permit is issued, or an extension is granted pursuant to Section 14.76.090 of the Zoning Code.

2. Approved Plans

The approval is based on the plans and materials received on May 25, 2022, except as may be modified by these conditions.

3. Protected Trees

Tree Nos. 1, 3, 5 to 12, 14, 18, 21 and 25 to 28 along with the approved proposed privacy screening as outlined in the staff report shall be protected under this application and cannot be removed without a tree removal permit from the Community Development Director.

4. Landscaping

The project shall be subject to the City's Water Efficient Landscape Ordinance (WELO) pursuant to Chapter 12.36 of the Municipal Code if 2,500 square feet or more of new or replaced landscape area, including irrigated planting areas, turf areas, and water features is proposed. Any project with an aggregate landscape area of 2,500 square feet or less may conform to the prescriptive measures contained in Appendix D of the City's Model Water Efficient Landscape Ordinance.

5. New Horizontal Siding

The proposed horizontal sidings shall be at least applied to all the front and side exterior walls of the gable elements including the garage and living room facing the front yard.

6. Evergreen Screening Vegetation Size

All the approved evergreen screening vegetation as outlined in Table 1 shall be planted with a minimum size of 15 gallons.

7. Underground Utility and Fire Sprinkler Requirements

Additions exceeding fifty (50) percent of the existing living area and/or additions of 750 square feet or more shall trigger the undergrounding of utilities and new fire sprinklers. Additional square footage calculations shall include existing removed exterior footings and foundations being replaced and rebuilt. Any new utility service drops are pursuant to Chapter 12.68 of the Municipal Code.

8. Indemnity and Hold Harmless

The applicant/owner agrees to indemnify, defend, protect, and hold the City harmless from all costs and expenses, including attorney's fees, incurred by the City or held to be the liability of the City in connection with the City's defense of its actions in any proceedings brought in any State or Federal Court, challenging any of the City's action with respect to the applicant's project. The City may withhold final maps and/or permits, including temporary or final occupancy permits, for failure to pay all costs and expenses, including attorney's fees, incurred by the City in connection with the City's defense of its actions.

INCLUDED WITH THE BUILDING PERMIT SUBMITTAL

9. Conditions of Approval

Incorporate the conditions of approval into the title page of the plans.

10. Applicant Acknowledgement of Conditions of Approval

The applicant shall acknowledge receipt of the final conditions of approval and put in a letter format acceptance of said conditions. This letter will be submitted during the first building permit submittal.

11. Tree Protection Note

On the grading plan and/or the site plan, show all tree protection fencing around the driplines of Tree Nos. 1-28 on the subject site and add the following note: "All tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground."

12. Reach Codes

Building Permit Applications submitted on or after January 26, 2021 shall comply with specific amendments to the 2019 California Green Building Standards for Electric Vehicle Infrastructure and the 2019 California Energy Code as provided in Ordinances Nos. 2020-470A, 2020-470B, 2020-470C, and 2020-471 which amended Chapter 12.22 Energy Code and Chapter 12.26 California Green Building Standards Code of the Los Altos Municipal Code. The building design plans shall comply with the standards and the applicant shall submit supplemental application materials as required by the Building Division to demonstrate compliance.

13. California Water Service Upgrades

You are responsible for contacting and coordinating with the California Water Service Company any water service improvements including but not limited to relocation of water meters, increasing water meter sizing or the installation of fire hydrants. The City recommends consulting with California Water Service Company as early as possible to avoid construction or inspection delays.

14. Green Building Standards

Provide verification that the house will comply with the California Green Building Standards pursuant to Chapter 12.26 of the Municipal Code and provide a signature from the project's Qualified Green Building Professional Designer/Architect and property owner.

15. Underground Utility Location

Show the location of underground utilities pursuant to Chapter 12.68 of the Municipal Code. Underground utility trenches shall avoid the driplines of all protected trees unless approved by the project arborist and the Planning Division.

16. Air Conditioner Sound Rating

Show the location of any air conditioning unit(s) on the site plan including the model number of the unit(s) and nominal size of the unit. Provide the manufacturer's specifications showing the sound rating for each unit. The air conditioning units must be located to comply with the City's Noise Control Ordinance (Chapter 6.16) and in compliance with the Planning Division setback provisions. The units shall be screened from view of the street.

17. Storm Water Management

Show how the project is in compliance with the New Development and Construction Best Management Practices and Urban Runoff Pollution Prevention program, as adopted by the City for the purposes of preventing storm water pollution (i.e. downspouts directed to landscaped areas, minimize directly connected impervious areas, etc.).

18. Kitchen Design

Pursuant to Section 14.14.040 (n) of the Municipal Code, the design plans shall include a kitchen that includes habitable space used for preparation of food that contains at least a sink, a refrigerator of no less than ten (10) cubic feet, and either a cooktop and an oven, or a range. A food preparation counter and storage cabinets that are of reasonable size in relation to the size of the ADU are also required.

PRIOR TO ISSUANCE OF BUILDING OR DEMOLITION PERMIT

19. Tree Protection

Tree protection fencing shall be installed around the driplines of Tree Nos. 1-28 on the subject site shown on the site plan. Tree protection fencing shall be chain link and a minimum of five feet in height with posts driven into the ground and shall not be removed until all building construction has been completed unless approved by the Planning Division.

20. School Fee Payment

In accordance with Section 65995 of the California Government Code, and as authorized under Section 17620 of the Education Code, the property owner shall pay the established school fee for each school district the property is located in and provide receipts to the Building Division. The City of Los Altos shall provide the property owner the resulting increase in assessable space on a form approved by the school district. Payments shall be made directly to the school districts.

PRIOR TO FINAL INSPECTION

21. Deed Restriction

Prior to final inspection from the Planning Division, the owner must record a deed restriction and provide a conforming copy stating that the accessory dwelling unit may not be rented for periods less than thirty (30) days, and that it may not be transferred or sold separate from the primary residential structure. The Planning Division shall provide the deed restriction for recordation purposes upon receipt of a legal description of the property from the current grant deed.

22. Landscaping Installation

All front yard landscaping, street trees and privacy screening trees shall be maintained and/or installed as shown on the approved plans or as required by the Planning Division.

23. Landscape Privacy Screening

The landscape intended to provide privacy screening shall be inspected by the Planning Division and shall be supplemented by additional screening material as required to adequately mitigate potential privacy impacts to surrounding properties.

24. Green Building Verification

Submit verification that the house was built in compliance with the City’s Green Building Ordinance (Chapter 12.26 of the Municipal Code).

25. Kitchen Installation

Installation of the kitchen that conforms to the approved design plans and meets the minimum standards per Section 14.14.040 (n) of the Municipal Code.



Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com
681 DRISCOLL CT. PALO ALTO, CA 94306

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition



PROJECT RENDERING

GENERAL INFO

OWNERS: Kim & Sergio Monsalve
466 Raquel Lane
Los Altos, CA 94022
650-255-9018
kmonsalve@me.com

PROJECT ADDRESS: 466 Raquel Lane
Los Altos, CA 94022

APN: 167-44-032
ZONE: R1-10

OCCUPANCY: R-3/U
CONSTRUCTION TYPE: V-B

LOT SIZE: 12,944.3 SF
SINGLE STORY HOUSE:
Max Coverage (35%): 4,530.5 SF
Max Floor Area: 4,044.0 SF

(E) FLOOR AREA (TO REMAIN): 3,525.0 SF
MAX ALLOWABLE ADU AREA: 850.0 SF
PROPOSED ADU AREA: 831.8 SF

PROJECT DESCRIPTION

REMODEL / ADDITION OF EXISTING SINGLE-STORY HOUSE. REMODEL TO FIRST FLOOR GARAGE, ENTRY DOOR, LAUNDRY ROOM, AND BATHROOM.

ADDITION OF SECOND FLOOR ADU AND ASSOCIATED STAIRCASE.

PROJECT INFO

ZONING COMPLIANCE

	EXISTING	PROPOSED	ALLOWED/REQ'D
LOT COVERAGE:	3,525.0 SF (27.2%)	3,525.0 SF (27.2%)	4,530.5 SF (35%)
FLOOR AREA:			
MAIN HOUSE:	3,525.0 SF (27.2%)	0 SF (0.0%)	4,044.0 SF (31.2%)
ADU:	0.0 SF	831.8 SF	850 SF

SETBACKS:	EXISTING	PROPOSED	ALLOWED
FRONT:	25'-0"	25'-0"	25'
REAR:	25'-0"	25'-0"	25'
LEFT SIDE 1ST FLR:	9'-11"	10'-0"	10'
LEFT SIDE 2ND FLR:	17'-6"	17'-6"	17'-6"
RIGHT SIDE 1ST FLR:	9'-10"	10'-0"	10'
RIGHT SIDE 2ND FLR:	17'-6"	17'-6"	17'-6"

HEIGHT**: 13'-5" 24'-2" 20'
* EXISTING NON-CONFORMING TO REMAIN
** ALL HEIGHT MEASURED FROM EXISTING GRADE TO ROOF PEAK

SQUARE FOOTAGE BREAKDOWN

	EXISTING	CHANGE	PROPOSED
HABITABLE LIVING:	2,185.1 SF	-173.8 SF	2,011.3 SF
NON-HABITABLE LIVING:	1,339.9 SF	+173.8 SF	1,513.7 SF
ADU HABITABLE LIVING:	0.0 SF	0.0 SF	608.3 SF
ADU NON-HABITABLE LIVING:	0.0 SF	0.0 SF	223.5 SF

LOT CALCULATIONS

NET LOT AREA: 12,944.3 SF
FRONT YARD AREA: 2,330.5 SF
FRONT YARD HARDSCAPE: 535.6 SF (23.0%) (EXISTING TO REMAIN)

DEFERRED SUBMITTALS

- FIRE SPRINKLERS
- PHOTOVOLTAIC PANELS

CODE COMPLIANCE

- 2019 California Building Code
- 2019 California Residential Code
- 2019 California Plumbing Code
- 2019 California Mechanical Code
- 2019 California Electrical Code
- 2019 California Energy Code
- 2019 California Green Building Standards
- 2019 California Fire Code

SHEET INDEX

A0.0	Cover Sheet
A0.1	Notes
AN1.1	Neighborhood Context Map & Elevations
SU1	Topographic Survey
AS1.1	Architectural Site Plan
AS1.2	Planting Plan
AX1.1	Area Calcs
AX1.2	Foundation Calcs
AX1.3	Roof Area Calcs
A1.1	Demolition Floor Plan
A1.2	Demolition Roof Plan
A1.3	Existing Exterior Elevations
A1.4	Existing Exterior Elevation & Section
A2.1	Floor Plan
A2.2	Second Floor Plan - ADU Plan
A2.3	Roof Plan
A3.1	Reflected Ceiling Plan
A4.1	Exterior Elevations
A5.1	Sections
A6.1	Door/Window Schedule

PROJECT TEAM

DESIGNER: KNR Design Studio Kendra Rosenberg 681 Driscoll Ct. Palo Alto, CA 94306 (650) 308-8745 kendra@knrds.com	GENERAL CONTRACTOR: T.B.D.
CIVIL: Jeffery Barnea jeffbarneaps@aol.com	INTERIOR DESIGNER: T.B.D.
STRUCTURAL: T.B.D.	LANDSCAPE ARCHITECT: T.B.D.
	ARBORIST: T.B.D.

ABBREVIATIONS

& x DIA. #	And By Diameter Percent Pound [or] Number	DFR DIA DH DIM	Door Frame Diameter Double Hung Diffuser Dimension	GA GALV GB GDR	Gauge Gallon Galvanized Guard Rail Generator	MC MECH MED MEMB MFR	Medicine Cabinet Mechanical Medium Membrane Manufacturer	QT QTL QTR QTY QUAL	Quart Quarry Tile Quarter Quantity Quality	STL STOR STRUC SYS	Steel Storage Structural System		
A AC ADDL AD A.F.F. APPROX ARCH AV	Architectural Air Conditioning Unit Additional Area Drain Above Finish Floor Approximate (ly) Architect (ural) Audio Visual	DIV DMPF DMPR DN DR DW DWG DWR	Divider Damp-proofing Dampener Down Door Dishwasher Divider GYP GYP BD	GFCI GL GR GRP GSM GALVANIZED SHEET METAL GUT GYP GYP BD	Ground Fault Circuit Interrupter Glass Grade / Grading Gypsum Board Gypsum Board	MIR MIN MISC MLDG MLWK MTD MTO MTL MW MWD MWP	Mirror Glass Miscellaneous Molding Millwork Mounted Mounting Metal Microwave Microwave Drawer Membrane Waterproofing	Manhole Minimum Mirror Reinforced Concrete Roof Drain Recessed Refrigerator Register Reinforce (d) (ing) (ment) Removable Required Resilient Roofing Right Hand Railing Room Rough Opening Rain Water Leader	Riser Radius Reinforced Concrete Roof Drain Recessed Refrigerator Register Reinforce (d) (ing) (ment) Removable Required Resilient Roofing Right Hand Railing Room Rough Opening Rain Water Leader	T&G TB TBD TEL TEMP THK THRES THRU T.O.(x)	Tongue and Groove Towel Bar To Be Determined Telephone Temperature [or] Temporary Thickness Threshold Through Top of (x)		
BD BLDG BLKG BLW BM B.M B.M B.OF BP BR B.SMT BTW B.U.R.	Board Building Blocking Below Beam Bench Mark Bottom of Footing Base Plate Bedroom Basement Between Built-Up Roof	E (E) EA EL E/ELEC ELEV EMER ENG EQ EQUIP EQUIV ESMT EXIST EXT	East Existing Each Electrical Elevator Emergency Engineer Equal Equipment Equivalent Easement Existing Exterior	HPLAM HB HDR HDWD HDW HORZ HT HTG HVAC	High Pressure Laminate Hose Bib Header Hardwood Hardware Horizontal Height Heating Heating Heating Ventilation Air Conditioning	IN INFO INSUL INT INV JB JST JT	Inch (es) Information Insulation Interior Invert Junction Box Joist Joint	PERF PERM PERP PL KIT L LAU LBR LD LF LHM LIB LIN LONG	Perforated Permanent Perpendicular Plate Plastic Laminate Plaster Plumbing Plywood Paint Potable Prefab Prefinished Project Prestressed Concrete Pressure Treated [or] Point Polyvinyl Chloride	SB SC SCHED SD SF SHT SHG SIM SL SPEC SPKLR SPKR SS SSSL ST STD	Splash Block Solid Core Schedule Solid Core Wood Smoke Detector [or] Storm Drain Square Feet Sheet (ing) Sheathing Similar Slope Specification Sprinkler Speaker Sanitary Sewer Stainless Steel Street Standard	W W/ WIDTH WC WD WIN WP W/Q WR WS WSCST WT	West With Width Water Closet Wood Window Waterproof (ing) Without Water Resistant Weatherstripping Wainscot Weight

DRAWING SYMBOLS

AS-101 Drawing No. System Sheet Number Discipline Designator

Reference Symbol Item Number

Reference Number Scale

Exterior Elevation Identification Reference Number Sheet Number

Section Identification Reference Number Sheet Number

Detail Identification Reference Number Sheet Number

Interior Elevation Identification Drawing Number Sheet Number

Datum Point

108 Room Number

Window/Skylight Symbol Item Number

Door Symbol Item Number

Millwork Symbol Item Number

Appliance Symbol Appliance Type Item Number

Fixture/Fitting Symbol Item Number

Louver Symbol Item Number

Accessory Symbol Item Number

Revision Cloud Revision Number

Earth

Gravel, Rockfill

Brick

Concrete

Sand, Mortar, Plaster, Gyp. Bd.

Stone (including Marble)

Insulation

Property Line

Setback Line

Center Line

Masonry Unit

Metal (omit lines on thin material)

Finish Wood

Wood Framing

Wood Blocking

Plywood

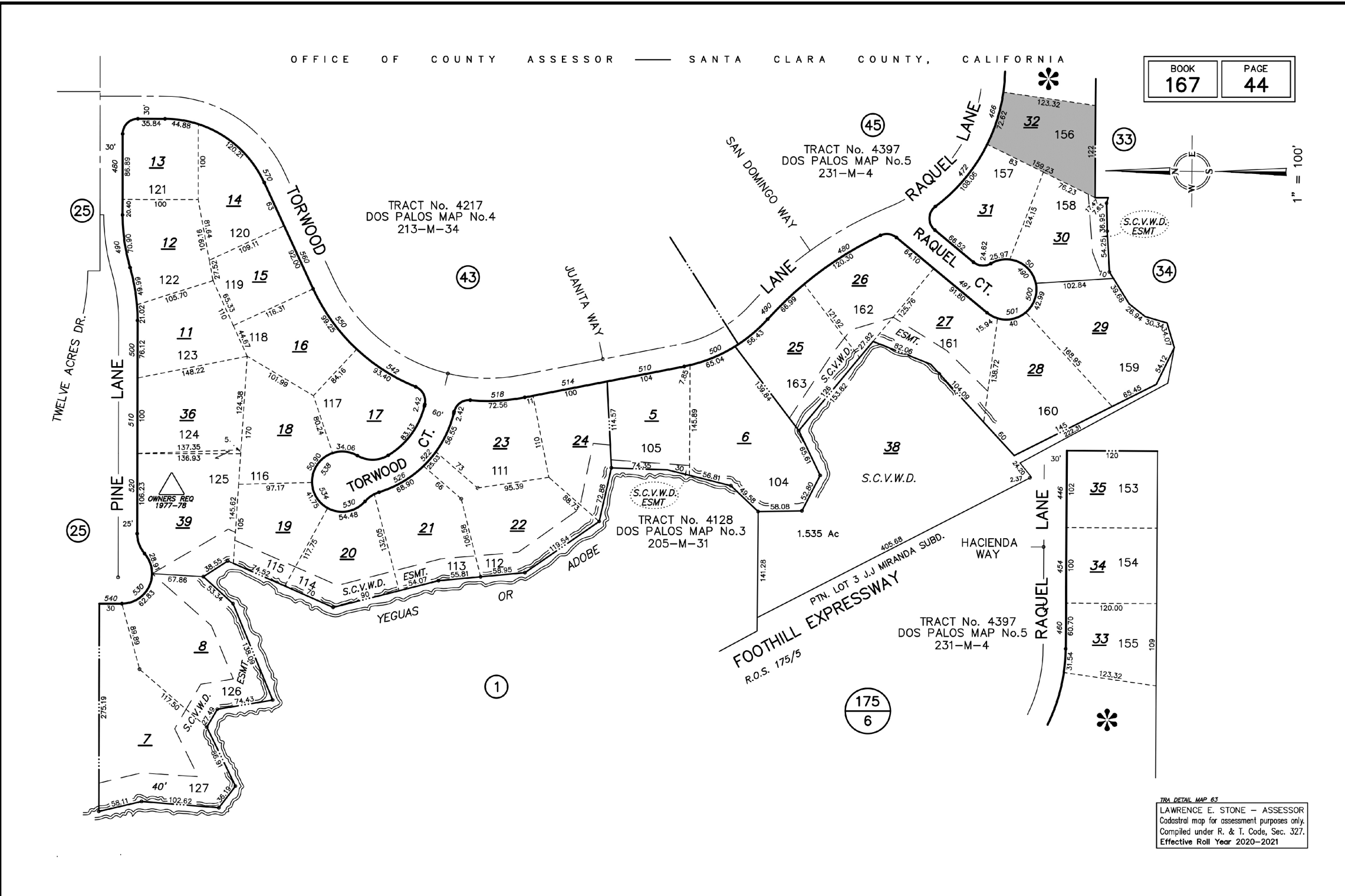
Backer Board

2'-0" Dimensions

2'-0" Center Line Dimension

2'-0" Face of Finish Dimension

PARCEL MAP



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This space reserved for City Stamps / Approval

No.	Date	Issues and Revisions
	10/15/21	Planning Submittal
1	03/12/22	Planning Resubmittal 1
2	05/18/22	Public Hearing Set

Project	MONSALVE RESIDENCE
Date	12.MAY.2022
Scale	N.T.S.
Sheet	Cover Sheet

A0.0

KNR

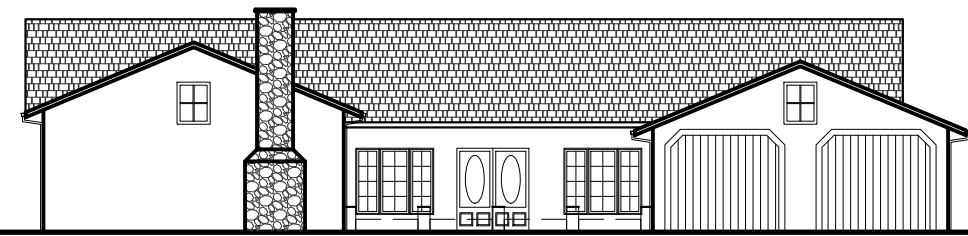
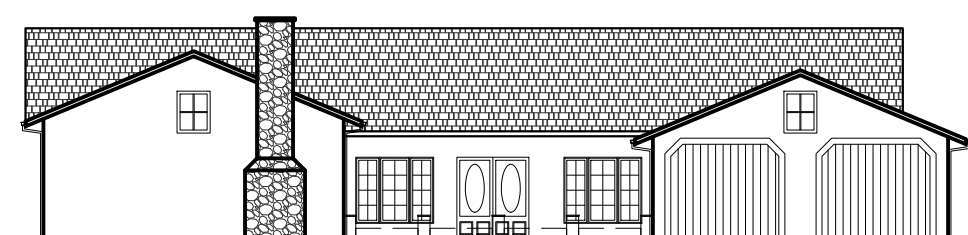
DESIGN STUDIO

Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com
681 DRISCOLL CT. PALO ALTO, CA 94306

Monsalve RESIDENCE

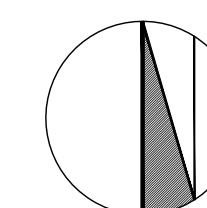
466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition



NEIGHBORHOOD CONTEXT ELEVATIONS
SCALE: 1/16" = 1'-0" 2

NEIGHBORHOOD CONTEXT MAP
SCALE: 1/32" = 1'-0" 1



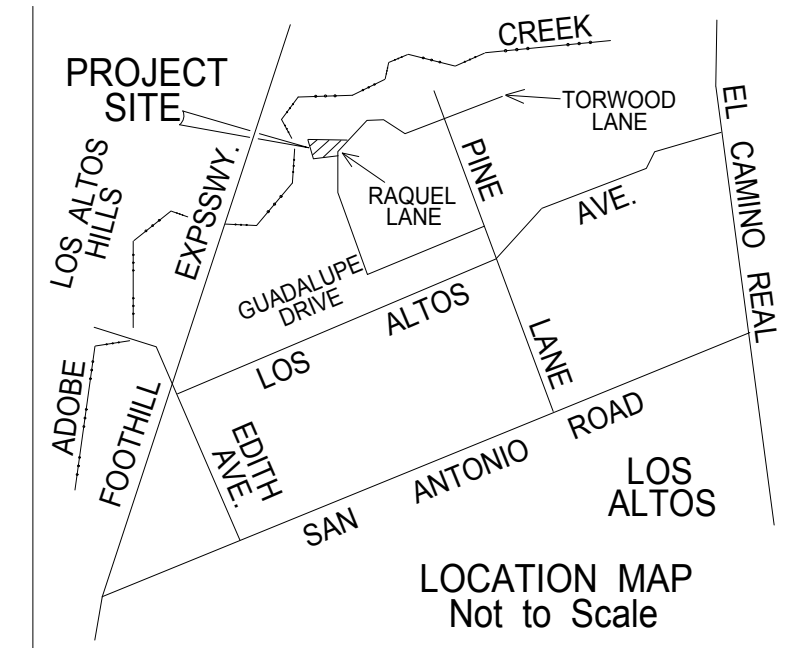
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No.	Date	Issues and Revisions
10/15/21		Planning Submittal
03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale AS NOTED

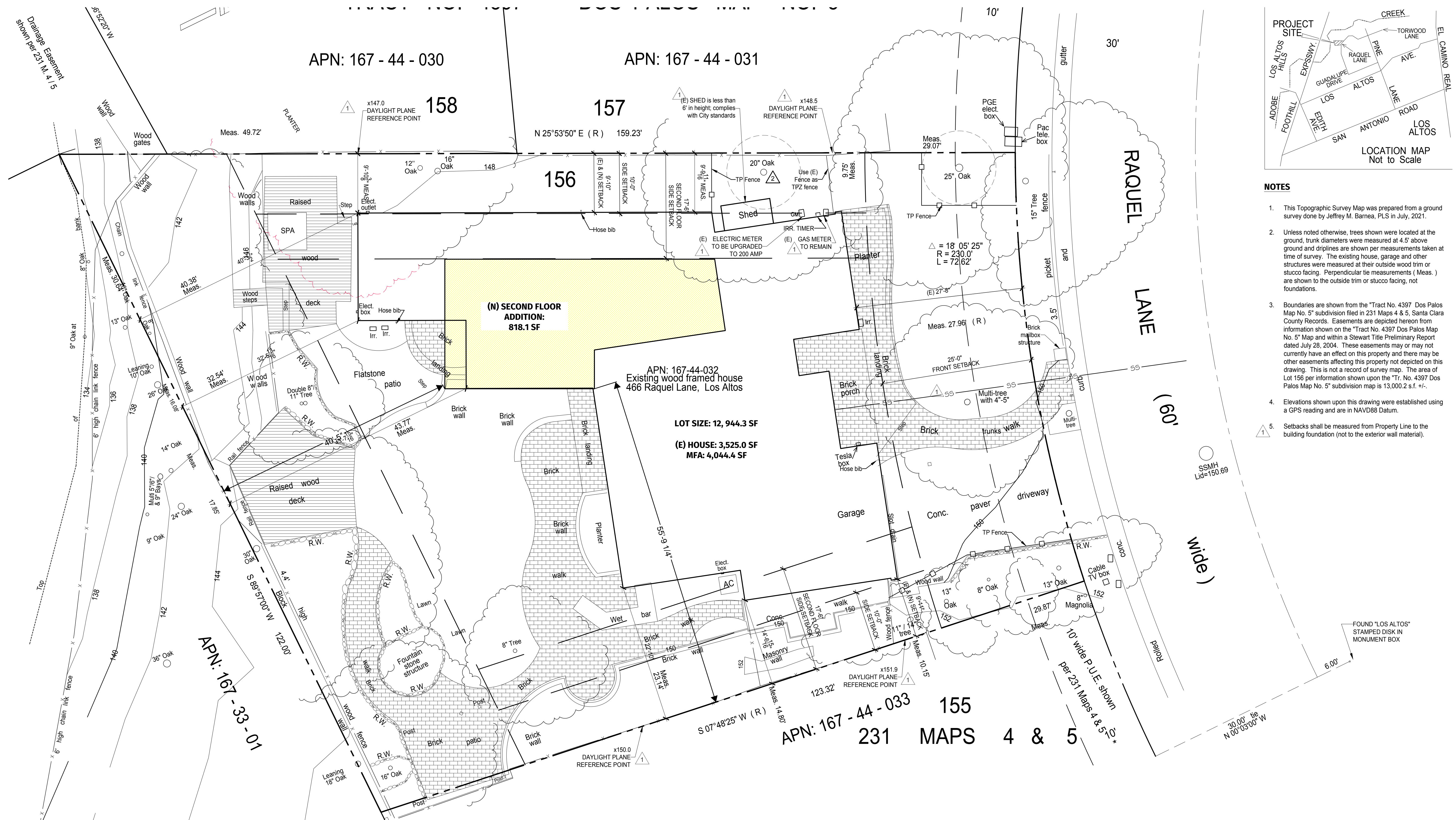
Sheet Neighborhood Context Map

AN1.1



NOTES

- This Topographic Survey Map was prepared from a ground survey done by Jeffrey M. Barnea, PLS in July, 2021.
- Unless noted otherwise, trees shown were located at the ground, trunk diameters were measured at 4.5' above ground and driplines are shown per measurements taken at time of survey. The existing house, garage and other structures were measured at their outside wood trim or stucco facing. Perpendicular tie measurements (Meas.) are shown to the outside trim or stucco facing, not foundations.
- Boundaries are shown from the "Tract No. 4397 Dos Palos Map No. 5" subdivision filed in 231 Maps 4 & 5, Santa Clara County Records. Easements are depicted hereon from information shown on the "Tract No. 4397 Dos Palos Map No. 5" Map and within a Stewart Title Preliminary Report dated July 28, 2004. These easements may or may not currently have an effect on this property and there may be other easements affecting this property not depicted on this drawing. This is not a record of survey map. The area of Lot 156 per information shown upon the "Tr. No. 4397 Dos Palos Map No. 5" subdivision map is 13,000.2 s.f. +/-.
- Elevations shown upon this drawing were established using a GPS reading and are in NAVD88 Datum.
- Setbacks shall be measured from Property Line to the building foundation (not to the exterior wall material).



APN: 167 - 44 - 030

APN: 167 - 44 - 031

158

157

156

(N) SECOND FLOOR ADDITION: 818.1 SF

APN: 167-44-032 Existing wood framed house 466 Raquel Lane, Los Altos

LOT SIZE: 12,944.3 SF
(E) HOUSE: 3,525.0 SF
MFA: 4,044.4 SF

APN: 167 - 33 - 01

APN: 167 - 44 - 033 155
231 MAPS 4 & 5

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(N) SITE PLAN 1
SCALE: 1/8" = 1'-0"

LEGEND	
	PROJECT PROPERTY LINE
	PROPERTY LINE
	SETBACK LINE
	EASEMENT LINE
	ETC
	ELECT/TEL/TV OVERHEAD LINE
	FENCE LINE
	SANITARY SEWER LINE
	STORM DRAIN LINE
	WATER LINE
	TREE: TYPE AND SIZE AS NOTED
	NEW FLOOR AREA
	DEMO AREA
	ASPHALT
	WOOD
	CONCRETE
	GRASS
	GRAVEL
	STONE
	TILE
	BRICK
	PAVING
	PAVERS
	AIR CONDITIONING UNIT
	AREA DRAIN
	BENCHMARK
	BOLLARD
	ELECTRICAL METER
	FIRE HYDRANT
	GAS METER
	GUY ANCHOR
	IRRIGATION CONTROL VALVE
	JOINT POLE
	MULTI-TRUNK TREE
	ROOF PEAK
	SANITARY SEWER CLEAN-OUT
	SANITARY SEWER MAINT. HOLE
	TOP OF SLAB
	WATER METER
	WATER VALVE
	SPOTGRADE
	EDGE OF PAVING
	CONC. CONCRETE
	IRR. IRRIGATION CONTROL
	GND. GROUND
	TOB TOP OF BANK
	TBC TOP, BACK OF
	CL CENTER LINE
	RW ROCK WALL
	FIL FLOW LINE
	TOW TOP OF WALL
	BOW BASE OF WALL
	ELECT. ELECTRIC
	FF FINISHED FLOOR
	F. STONE FLAT STONE
	SL. DR. SLOT DRAIN
	MEAS. MEASUREMENTS
	PERP. PERPENDICULAR
	RT RADIAL TIE
	RC ROLLED CURB

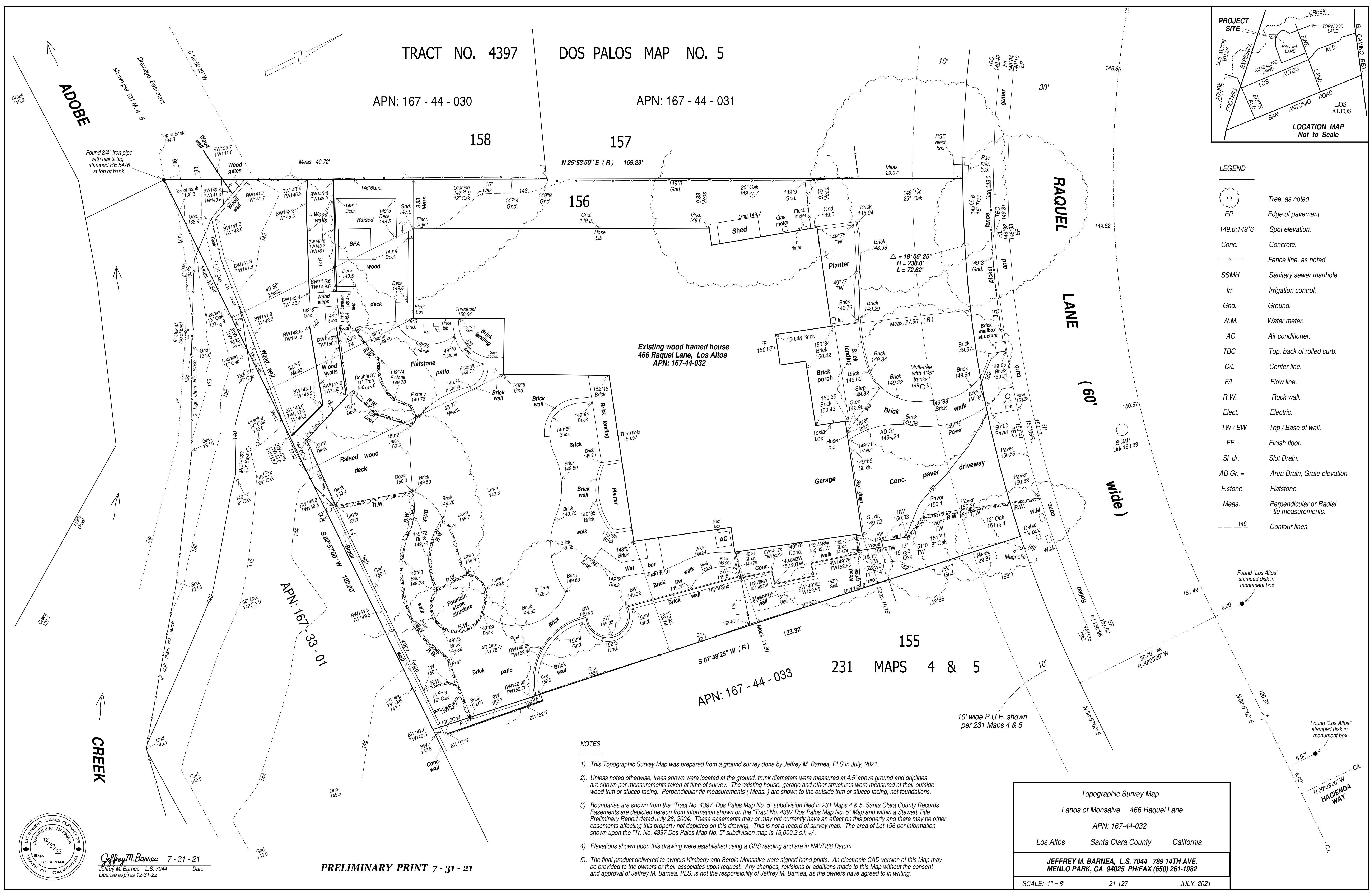
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03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/8" = 1'-0"

Sheet Architectural Site Plan

AS1.1



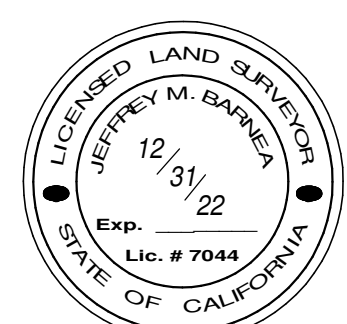
LEGEND

- Tree, as noted.
- EP Edge of pavement.
- 149.6; 149'6 Spot elevation.
- Conc. Concrete.
- Fence line, as noted.
- SSMH Sanitary sewer manhole.
- Irr. Irrigation control.
- Gnd. Ground.
- W.M. Water meter.
- AC Air conditioner.
- TBC Top, back of rolled curb.
- C/L Center line.
- F/L Flow line.
- R.W. Rock wall.
- Elect. Electric.
- TW / BW Top / Base of wall.
- FF Finish floor.
- Sl. dr. Slot Drain.
- AD Gr. = Area Drain, Grate elevation.
- F.stone. Flatstone.
- Meas. Perpendicular or Radial tie measurements.
- 146 Contour lines.

NOTES

1. This Topographic Survey Map was prepared from a ground survey done by Jeffrey M. Barnea, PLS in July, 2021.
2. Unless noted otherwise, trees shown were located at the ground, trunk diameters were measured at 4.5' above ground and driplines are shown per measurements taken at time of survey. The existing house, garage and other structures were measured at their outside wood trim or stucco facing. Perpendicular tie measurements (Meas.) are shown to the outside trim or stucco facing, not foundations.
3. Boundaries are shown from the "Tract No. 4397 Dos Palos Map No. 5" subdivision filed in 231 Maps 4 & 5, Santa Clara County Records. Easements are depicted hereon from information shown on the "Tract No. 4397 Dos Palos Map No. 5" Map and within a Stewart Title Preliminary Report dated July 28, 2004. These easements may or may not currently have an effect on this property and there may be other easements affecting this property not depicted on this drawing. This is not a record of survey map. The area of Lot 156 per information shown upon the "Tr. No. 4397 Dos Palos Map No. 5" subdivision map is 13,000.2 s.f. +/-.
4. Elevations shown upon this drawing were established using a GPS reading and are in NAVD88 datum.
5. The final product delivered to owners Kimberly and Sergio Monsalve were signed bond prints. An electronic CAD version of this Map may be provided to the owners or their associates upon request. Any changes, revisions or additions made to this Map without the consent and approval of Jeffrey M. Barnea, PLS, is not the responsibility of Jeffrey M. Barnea, as the owners have agreed to in writing.

Topographic Survey Map		
Lands of Monsalve 466 Raquel Lane		
APN: 167-44-032		
Los Altos	Santa Clara County	California
JEFFREY M. BARNEA, L.S. 7044 789 14TH AVE. MENLO PARK, CA 94025 PH/FAX (650) 261-1982		
SCALE: 1" = 8'	21-127	JULY, 2021



Jeffrey M. Barnea 7-31-21
 Jeffrey M. Barnea, L.S. 7044 Date
 License expires 12-31-22

PRELIMINARY PRINT 7-31-21

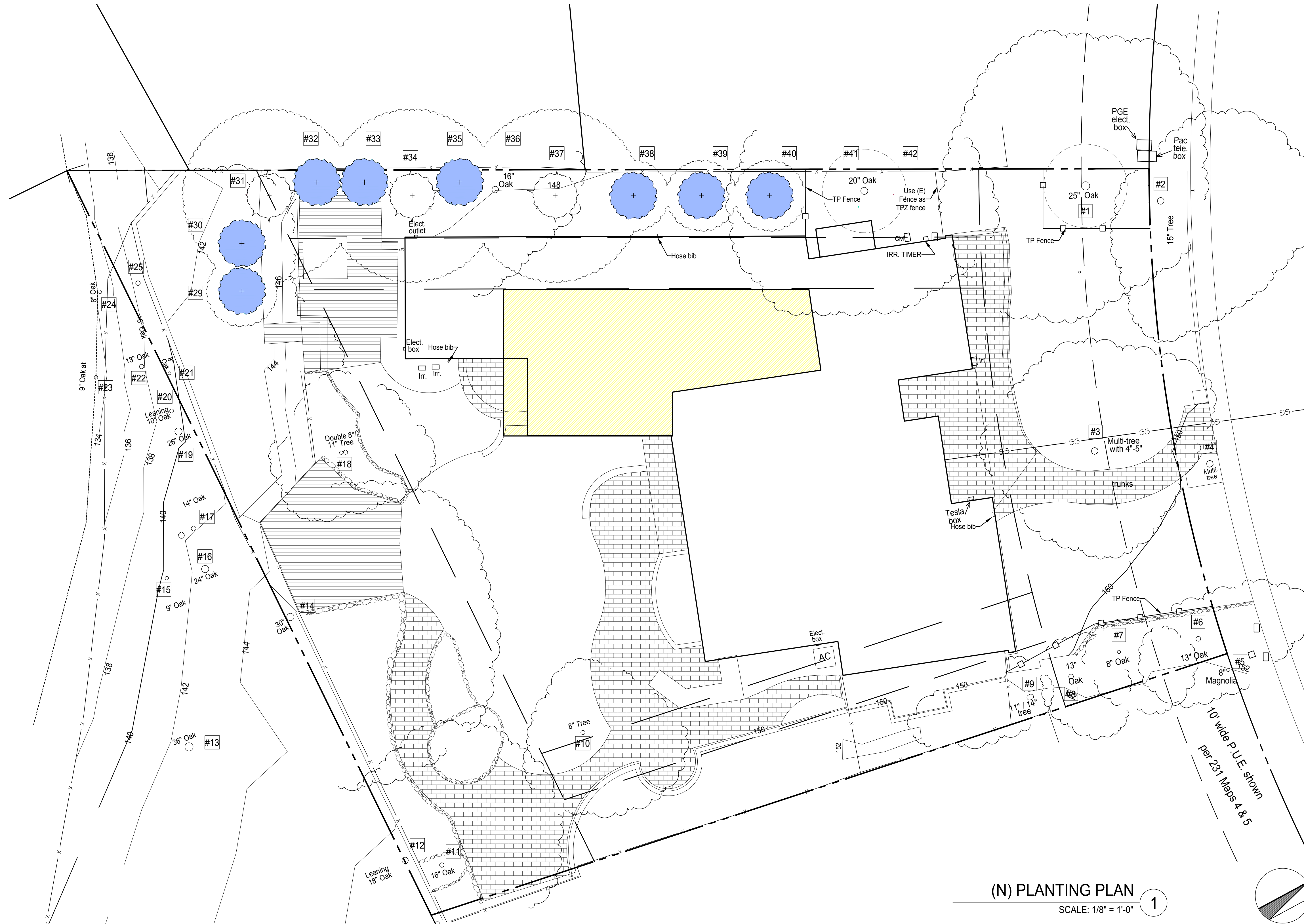
Monsalve RESIDENCE

466 Raquel St.
 Los Altos, CA 94024

Single-Story Remodel / Addition

EXISTING TREES

#1	25" OAK	TO REMAIN
#2	15" TREE	NOT ON PROPERTY
#3	4"-5" MULTI-TREE	TO REMAIN
#4	4" MULTI-TREE	NOT ON PROPERTY
#5	8" MAGNOLIA	TO REMAIN
#6	13" OAK	TO REMAIN
#7	8" OAK	TO REMAIN
#8	13" OAK	TO REMAIN
#9	11"/14" TREE	TO REMAIN
#10	8" TREE	TO REMAIN
#11	16" OAK	TO REMAIN
#12	18" OAK (LEANING)	TO REMAIN
#13	36" OAK	NOT ON PROPERTY
#14	30" OAK	TO REMAIN
#15	9" OAK	NOT ON PROPERTY
#16	24" OAK	NOT ON PROPERTY
#17	14" OAK	NOT ON PROPERTY
#18	DOUBLE 8"/11" TREE	TO REMAIN
#19	26" OAK	NOT ON PROPERTY
#20	10" OAK (LEANING)	NOT ON PROPERTY
#21	8" OAK	TO REMAIN
#22	13" OAK	NOT ON PROPERTY
#23	9" OAK	NOT ON PROPERTY
#24	8" OAK	NOT ON PROPERTY
#25	16" OAK	TO REMAIN
#26	12" OAK	TO BE RETAINED
#27	16" OAK	TO BE RETAINED
#28	20" OAK	TO BE RETAINED



(N) PLANTING PLAN

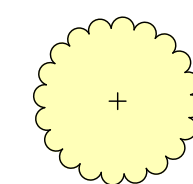
SCALE: 1/8" = 1'-0"

1

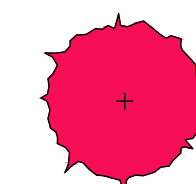
All drawings and written material appearing herein constitute original and unpublished work of KNR Design Studio and may not be duplicated, used, or disclosed without written consent.



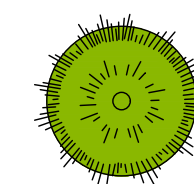
AMERICAN REDBUD
 CERCIS CANADENSIS
 20'-30' HEIGHT
 25'-35' SPREAD
 GROWTH RATE: MEDIUM



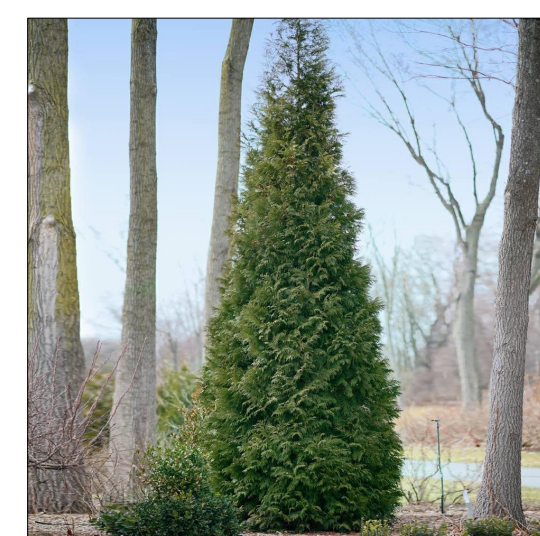
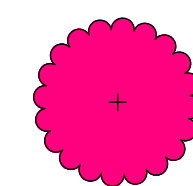
JAPANESE RED MAPLE
 ACER PALMATUM
 15'-25' HEIGHT
 20' SPREAD
 GROWTH RATE: SLOW TO MEDIUM



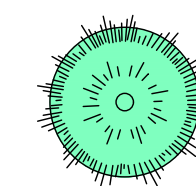
IRISH YEWS
 TAXUS BACCATA 'FASTIGIATA'
 5'-8' HEIGHT
 1'-3' SPREAD
 GROWTH RATE: SLOW



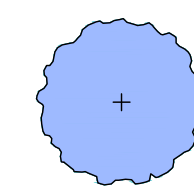
CRAPE MYRTLE
 LAGERSTROEMIA INDICA
 15'-25' HEIGHT
 6'-15' SPREAD
 GROWTH RATE: FAST



AMERICAN PILLAR
 THUJA OCCIDENTALIS
 23'-30' HEIGHT
 3'-5' SPREAD
 GROWTH RATE: FAST



OLEANDER
 NERIUM OLEANDER
 8'-12' HEIGHT
 10' SPREAD
 GROWTH RATE: MEDIUM



NEW TREES

#29	MAGNOLIA	25' HEIGHT, 25' SPREAD
#30	OLEANDER	12' HEIGHT, 10' SPREAD
#31	MAGNOLIA	25' HEIGHT, 25' SPREAD
#32	OLEANDER	12' HEIGHT, 10' SPREAD
#33	OLEANDER	12' HEIGHT, 10' SPREAD
#34	MAGNOLIA	25' HEIGHT, 25' SPREAD
#35	OLEANDER	12' HEIGHT, 10' SPREAD
#36	OLEANDER	12' HEIGHT, 10' SPREAD
#37	MAGNOLIA	25' HEIGHT, 25' SPREAD
#38	OLEANDER	12' HEIGHT, 10' SPREAD
#39	OLEANDER	12' HEIGHT, 10' SPREAD
#40	OLEANDER	12' HEIGHT, 10' SPREAD
#41	OLEANDER	12' HEIGHT, 10' SPREAD
#42	MAGNOLIA	25' HEIGHT, 25' SPREAD

This space reserved for City Stamps / Approval

No.	Date	Issues and Revisions
1	03/12/22	Planning Resubmittal 1
2	05/18/22	Public Hearing Set

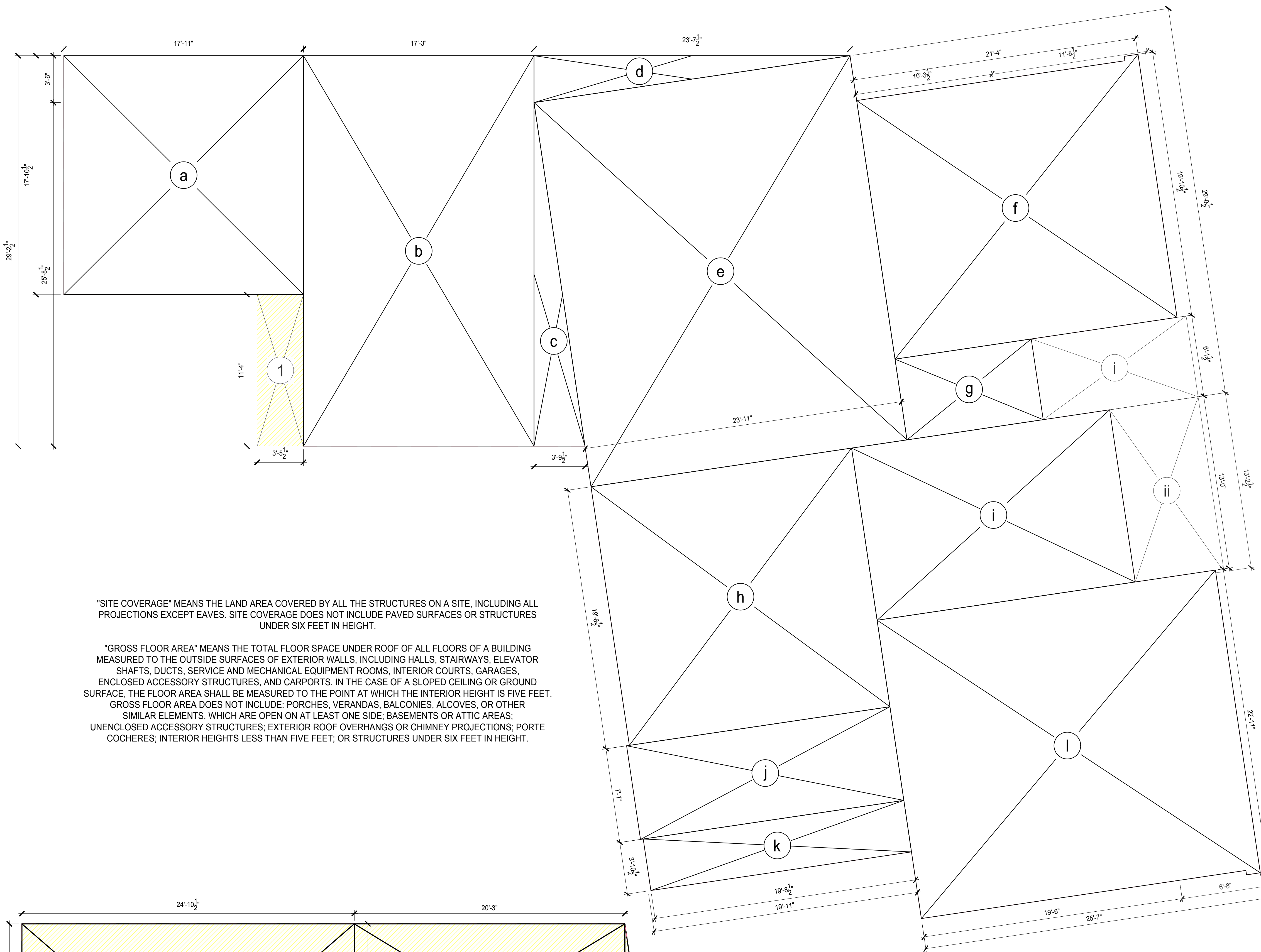
Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/8" = 1'-0"
 0 2' 4' 8' 16'

Sheet Planting Plan

Monsalve RESIDENCE

466 Raquel St.
 Los Altos, CA 94024

Single-Story Remodel / Addition



(E) FIRST FLOOR AREAS

a)	17'-10 1/2" x 17'-11"	=	320.4 SF
b)	29'-2 1/2" x 17'-3"	=	503.9 SF
c)	25'-8 1/2" x 3'-9 1/2"	=	49.0 SF
d)	3'-6" x 23'-7 1/2"	=	41.4 SF
e)	29'-0 1/2" x 23'-11"	=	694.5 SF
f)	19'-10 1/2" x 21'-4"	=	417.6 SF
g)	6'-1 1/2" x 10'-3 1/2"	=	62.9 SF
h)	19'-6 1/2" x 19'-8 1/2"	=	385.5 SF
i)	13'-0" x 19'-6"	=	254.1 SF
j)	7'-1" x 19'-11"	=	141.1 SF
k)	3'-10 1/2" x 19'-8 1/2"	=	76.8 SF
l)	22'-11" x 25'-7"	=	577.8 SF

TOTAL 3,525.0 SF

(E) COVERAGE AREAS $\triangle 1$

i)	11'-8 1/2" x 6'-1 1/2"	=	71.5 SF
ii)	6'-8" x 13'-2 1/2"	=	87.2 SF

TOTAL EXISTING COVERAGE 158.7 SF
 TOTAL FLOOR AREA 3,525.0 SF
 TOTAL COVERAGE 3,683.7 SF

(N) COVERAGE AREAS

1)	3'-5 1/2" x 11'-4"	=	39.2 SF
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TOTAL NEW 39.2 SF
 TOTAL EXISTING 3,683.7 SF
 TOTAL COVERAGE 3,722.9 SF

(N) SECOND FLOOR AREAS

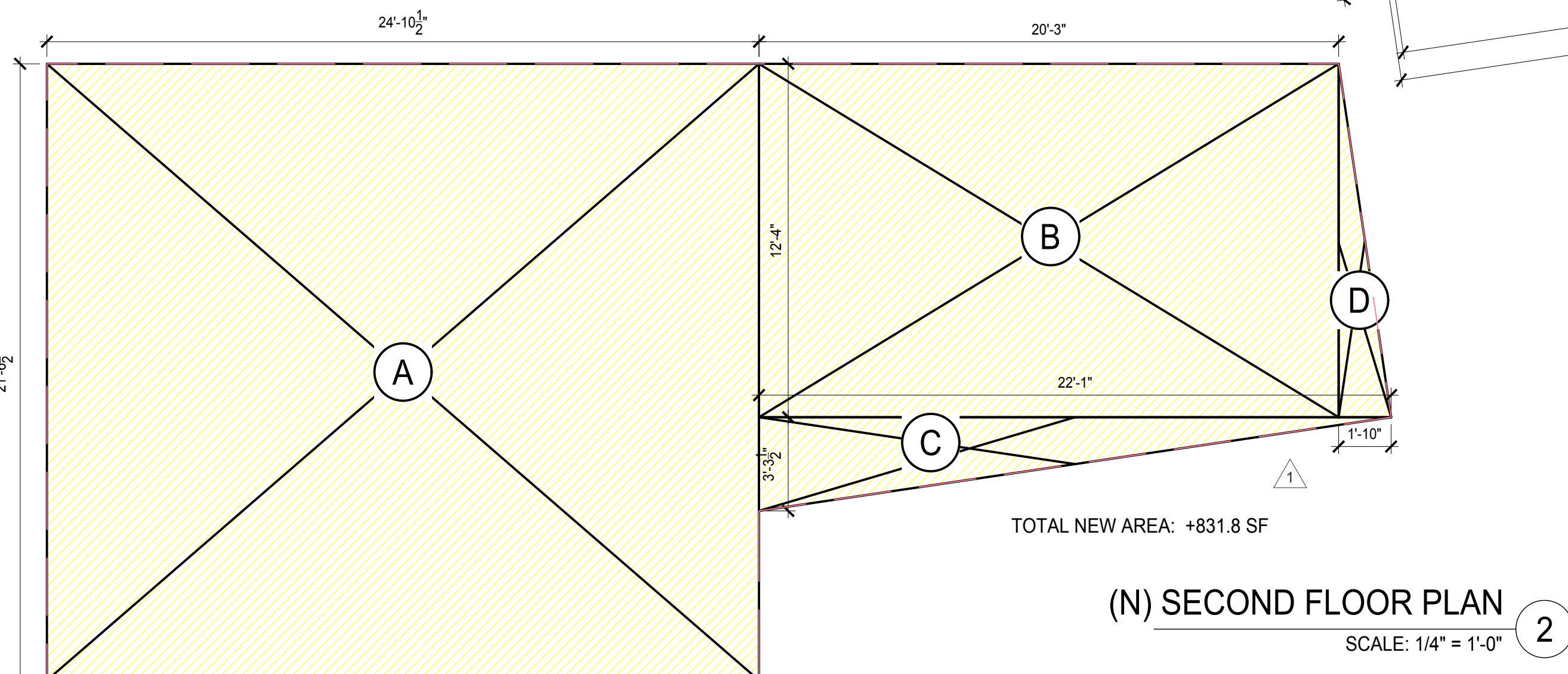
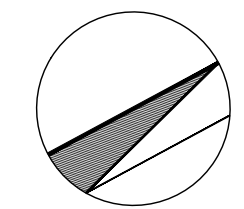
A)	24'-10 1/2" x 21'-6 1/2"	=	535.3 SF
B)	20'-3" x 12'-4"	=	249.3 SF
C)	1/2 (22'-1" x 3'-3 1/2")	=	36.0 SF
D)	1/2 (1'-10" x 12'-4")	=	11.2 SF

TOTAL 831.8 SF $\triangle 1$

"SITE COVERAGE" MEANS THE LAND AREA COVERED BY ALL THE STRUCTURES ON A SITE, INCLUDING ALL PROJECTIONS EXCEPT EAVES. SITE COVERAGE DOES NOT INCLUDE PAVED SURFACES OR STRUCTURES UNDER SIX FEET IN HEIGHT.

"GROSS FLOOR AREA" MEANS THE TOTAL FLOOR SPACE UNDER ROOF OF ALL FLOORS OF A BUILDING MEASURED TO THE OUTSIDE SURFACES OF EXTERIOR WALLS, INCLUDING HALLS, STAIRWAYS, ELEVATOR SHAFTS, DUCTS, SERVICE AND MECHANICAL EQUIPMENT ROOMS, INTERIOR COURTS, GARAGES, ENCLOSED ACCESSORY STRUCTURES, AND CARPORTS. IN THE CASE OF A SLOPED CEILING OR GROUND SURFACE, THE FLOOR AREA SHALL BE MEASURED TO THE POINT AT WHICH THE INTERIOR HEIGHT IS FIVE FEET. GROSS FLOOR AREA DOES NOT INCLUDE: PORCHES, VERANDAS, BALCONIES, ALCOVES, OR OTHER SIMILAR ELEMENTS, WHICH ARE OPEN ON AT LEAST ONE SIDE; BASEMENTS OR ATTIC AREAS; UNENCLOSED ACCESSORY STRUCTURES; EXTERIOR ROOF OVERHANGS OR CHIMNEY PROJECTIONS; PORTE COCHERES; INTERIOR HEIGHTS LESS THAN FIVE FEET; OR STRUCTURES UNDER SIX FEET IN HEIGHT.

(N) FIRST FLOOR PLAN $\triangle 1$
 SCALE: 1/4" = 1'-0"



(N) SECOND FLOOR PLAN $\triangle 2$
 SCALE: 1/4" = 1'-0"

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No.	Date	Issues and Revisions
	10/15/21	Planning Submittal
$\triangle 1$	03/12/22	Planning Resubmittal 1
	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE
 Date 12.MAY.2022
 Scale 1/4" = 1'-0"
 Sheet Area Calcs

KNR

DESIGN STUDIO

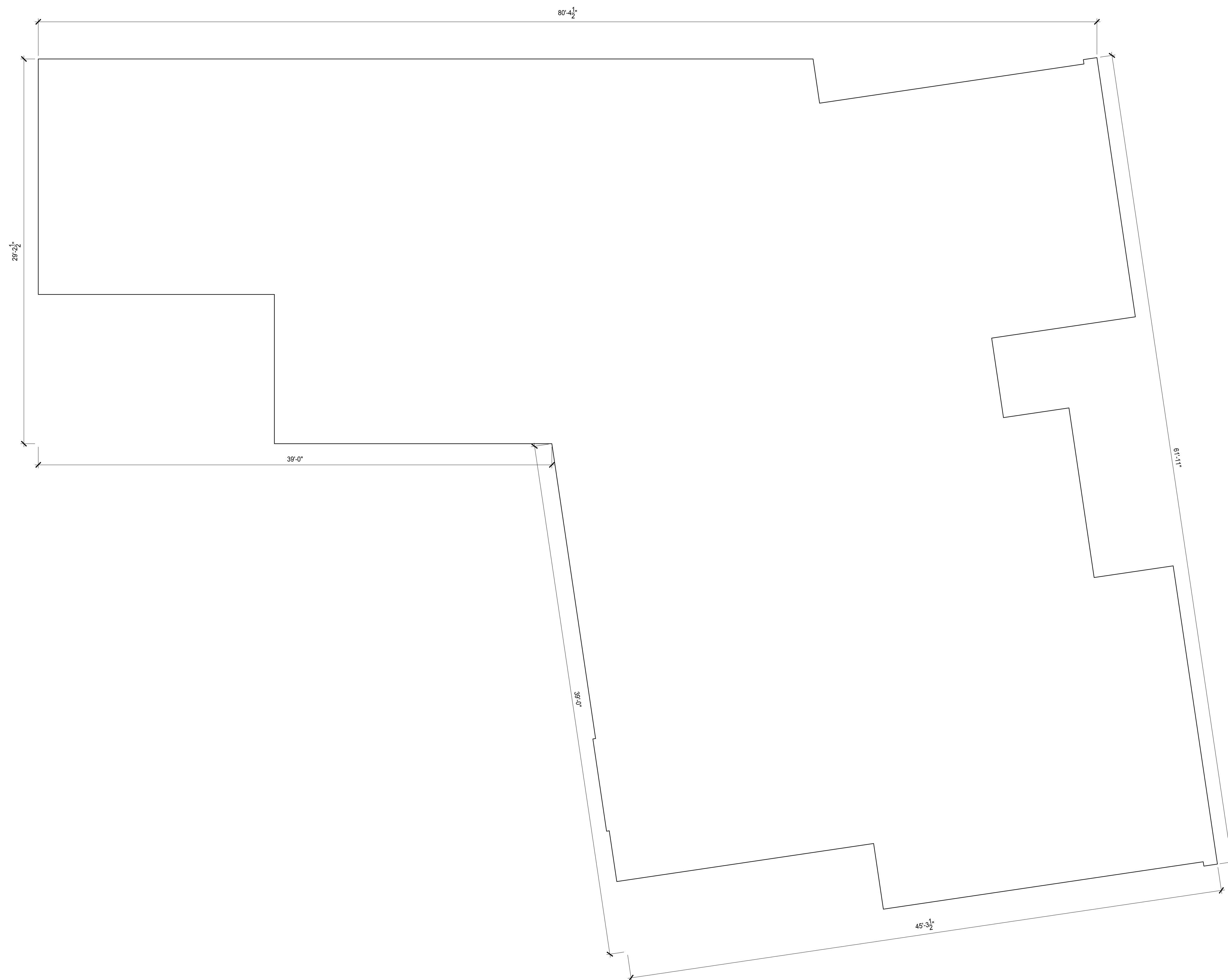
Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com
681 DRISCOLL CT. PALO ALTO, CA 94306

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

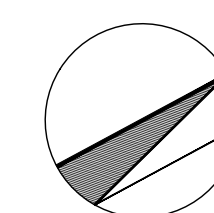
ALL EXISTING FOUNDATIONS TO REMAIN
100% TO REMAIN



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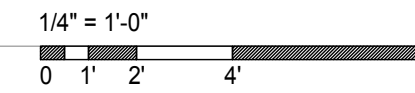
(N) FOUNDATION CALCULATIONS 1

SCALE: 1/4" = 1'-0"



This space reserved for City Stamps / Approval

No.	Date	Issues and Revisions
1	03/12/22	Planning Resubmittal 1
	05/18/22	Public Hearing Set

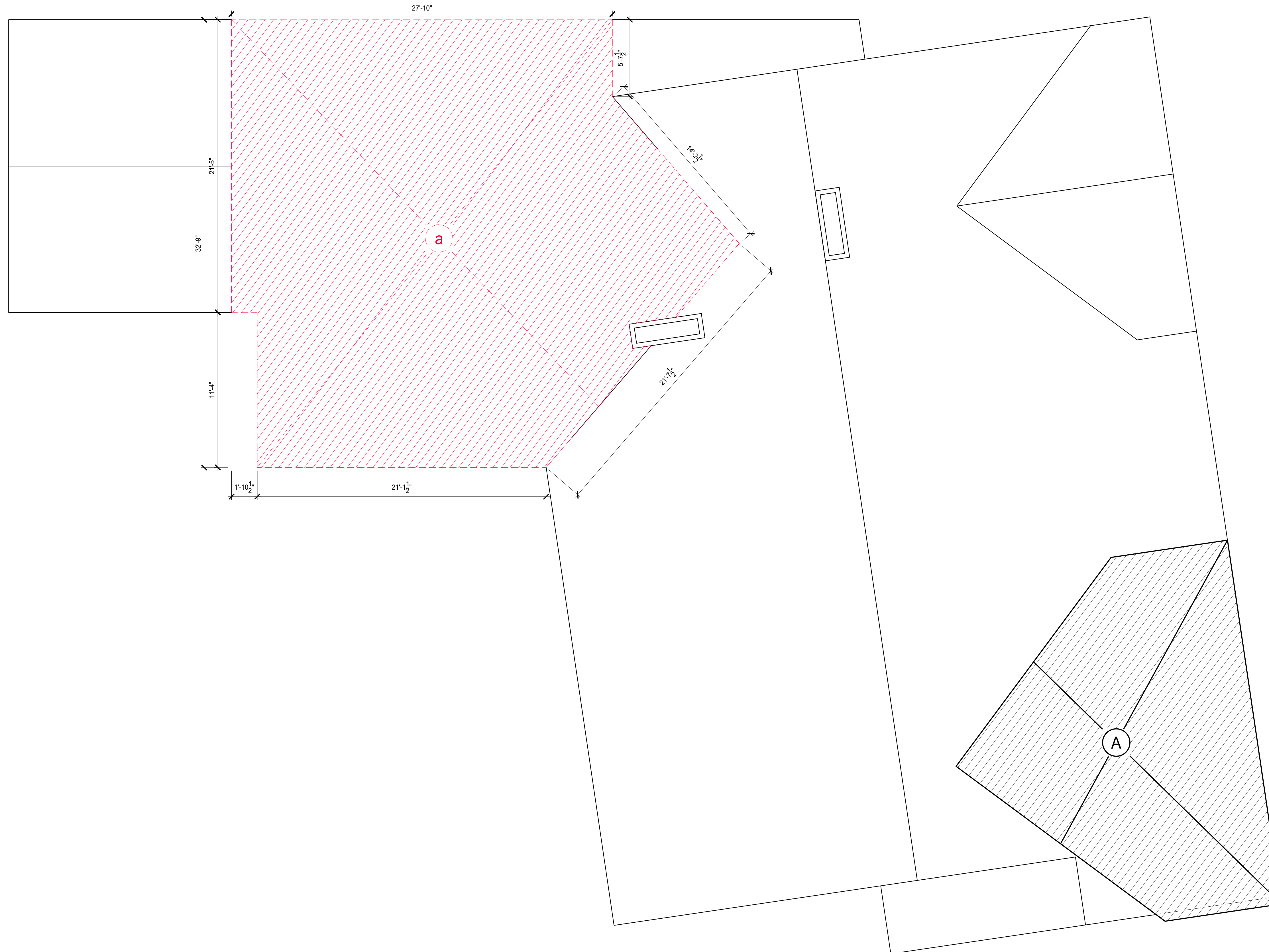
Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"


Sheet Foundation Calcs

AX1.2



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(E) ROOF AREAS: 4189.9 SF 100%

(D) ROOF AREAS: 972.4 SF 23.2%

(N) ROOF AREAS: 412.2 SF
CALIFORNIA FRAMING OVER EXISTING ROOF;
EXISTING ROOF STRUCTURE TO REMAIN

KNR
DESIGN STUDIO

Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com

681 DRISCOLL CT. PALO ALTO, CA 94306

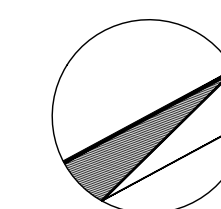
**Monsalve
RESIDENCE**

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

(N) ROOF AREA CALCULATIONS 1

SCALE: 1/4" = 1'-0"



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No.	Date	Issues and Revisions
1	03/12/22	Planning Resubmittal 1
	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE

Date 12.MAY.2022

Scale 1/4" = 1'-0"



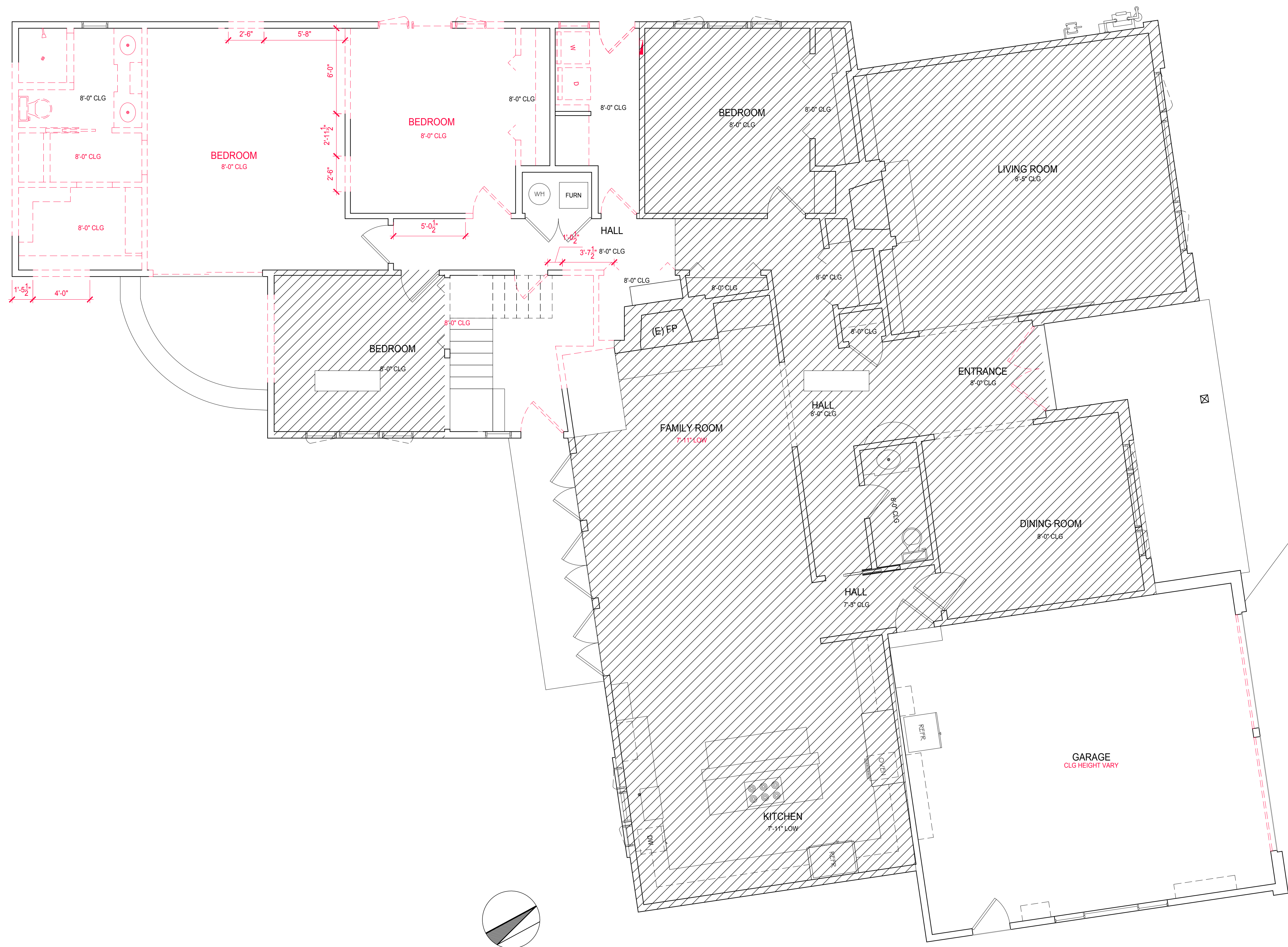
Sheet Roof Area Calcs

AX1.3

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition



DEMO FLOOR PLAN 1
SCALE: 1/4" = 1'-0"

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No.	Date	Issues and Revisions
10/15/21		Planning Submittal
03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project	MONSALVE RESIDENCE
Date	12.MAY.2022
Scale	1/4" = 1'-0"
Sheet	Demolition Floor Plan

A1.1

KNR

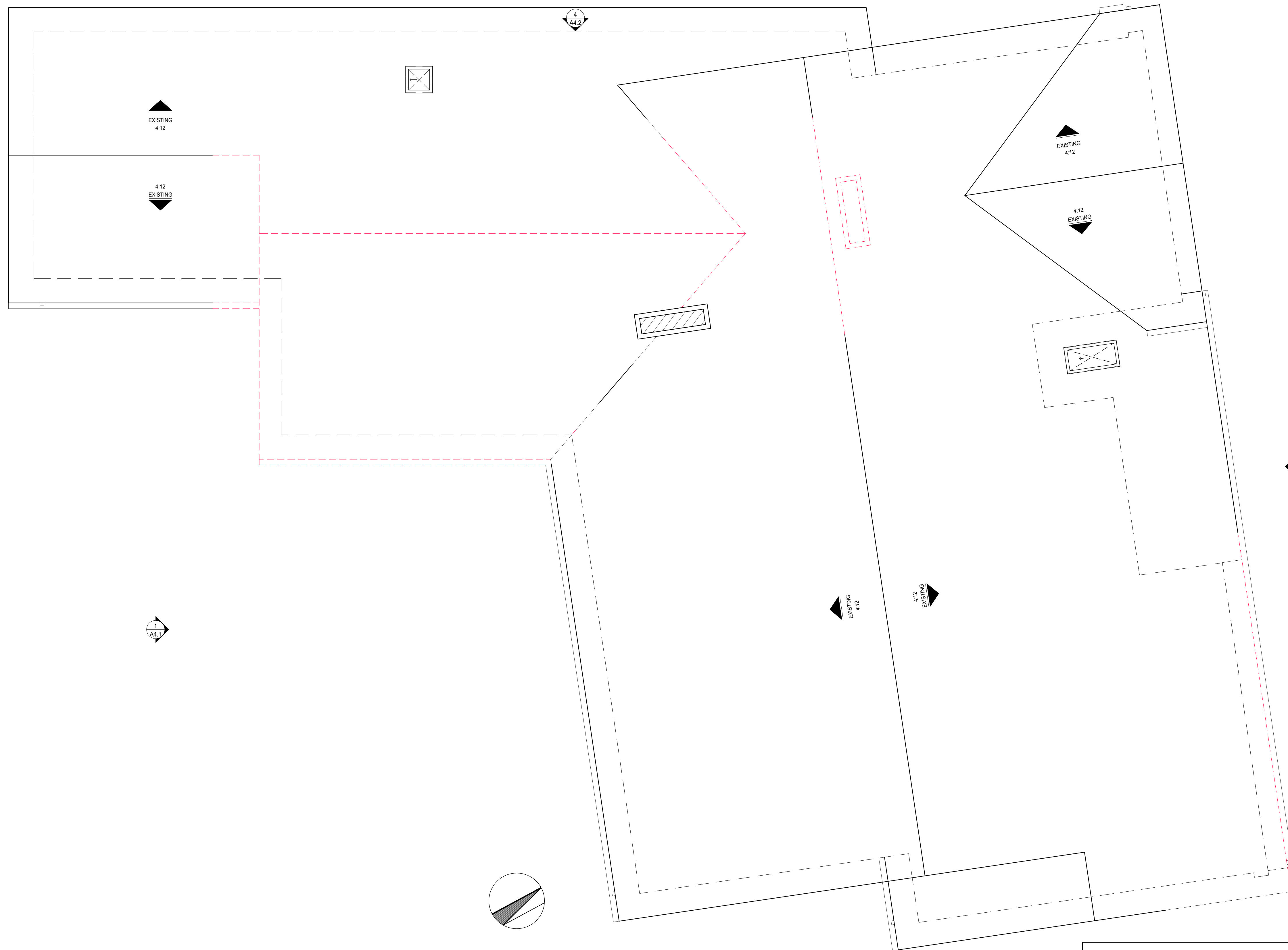
DESIGN STUDIO

Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com
681 DRISCOLL CT. PALO ALTO, CA 94306

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

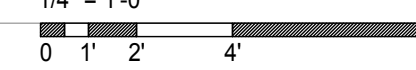


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DEMO ROOF PLAN 1
SCALE: 1/4" = 1'-0"

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No.	Date	Issues and Revisions
10/15/21		Planning Submittal
03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"


Sheet Demolition Roof Plan

A1.2

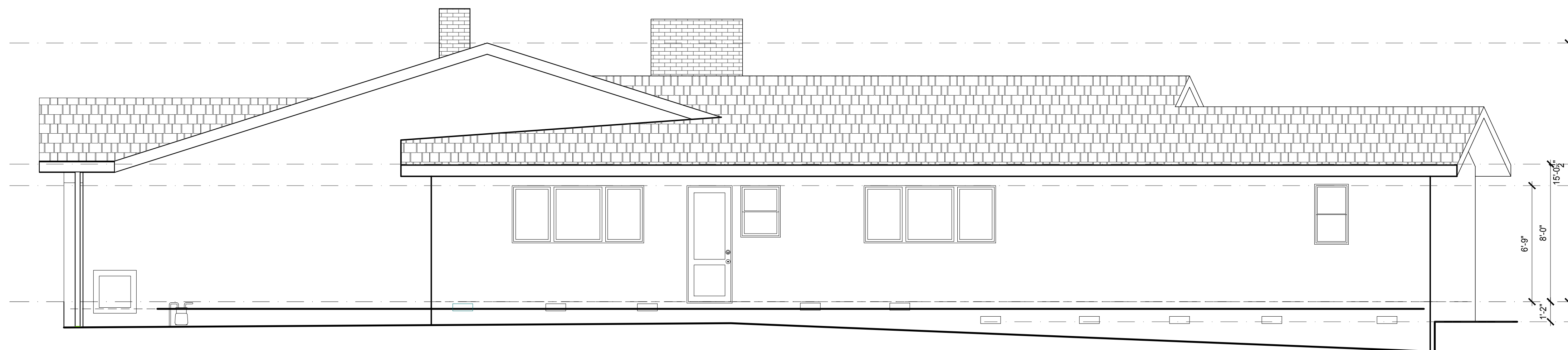
Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

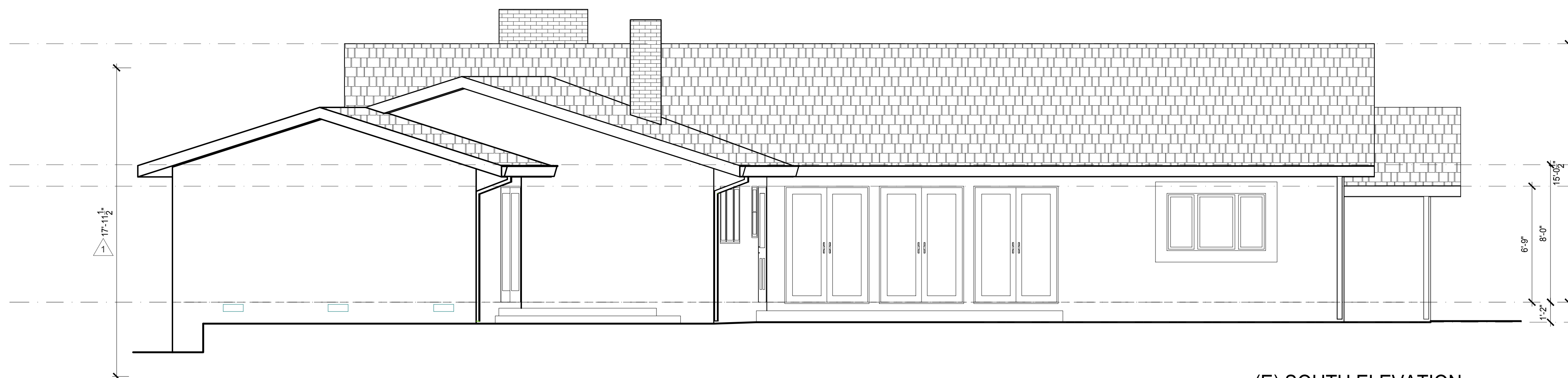
Single-Story Remodel / Addition



(E) NORTH ELEVATION 1
SCALE: 1/4" = 1'-0"



(E) WEST ELEVATION 2
SCALE: 1/4" = 1'-0"

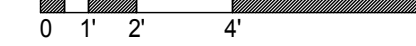


(E) SOUTH ELEVATION 3
SCALE: 1/4" = 1'-0"

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	10/15/21	Planning Submittal
△	03/12/22	Planning Resubmittal 1
	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"

Sheet Existing Exterior Elevations

A1.3

KNR

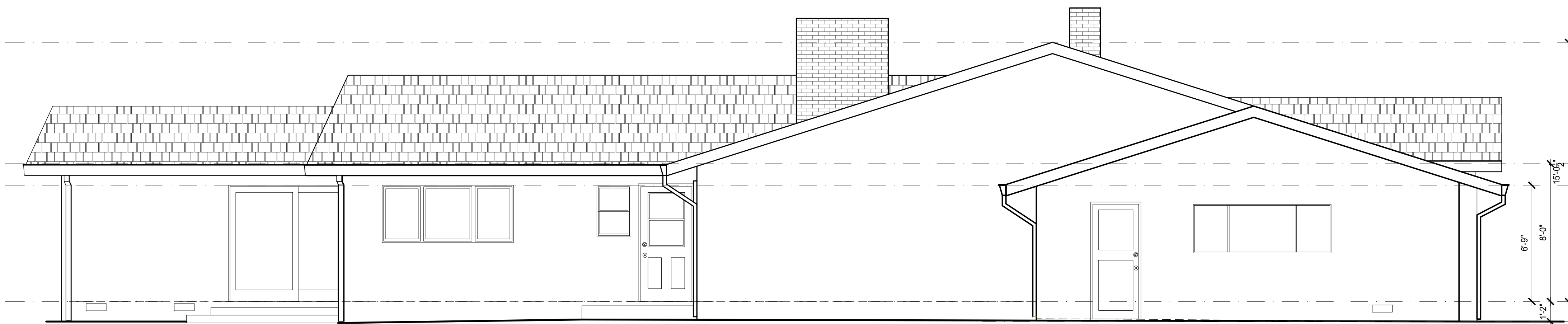
DESIGN STUDIO

Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com
681 DRISCOLL CT. PALO ALTO, CA 94306

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

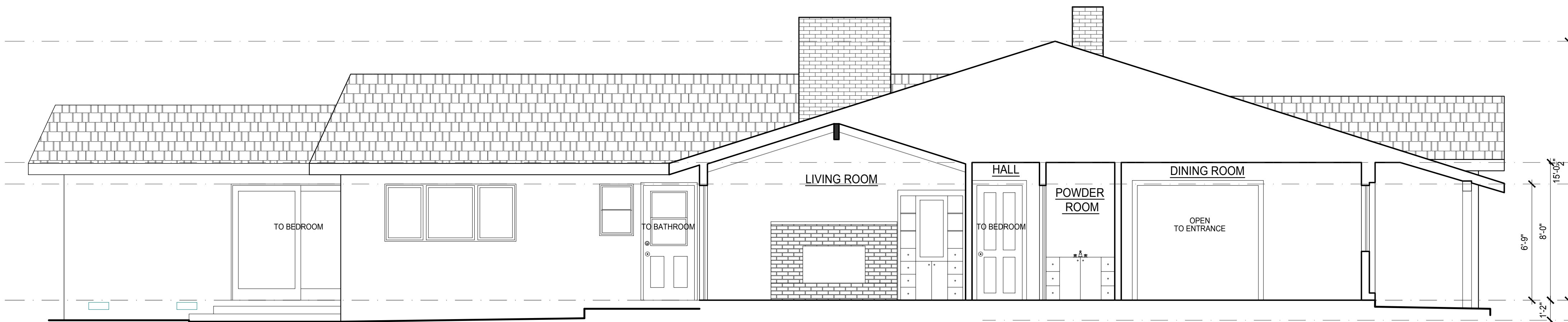
Single-Story Remodel / Addition



(E) EAST ELEVATION

SCALE: 1/4" = 1'-0"

4



(E) SECTION

SCALE: 1/4" = 1'-0"

A

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03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project	MONSALVE RESIDENCE
Date	12.MAY.2022
Scale	1/4" = 1'-0"
Sheet	Existing Exterior Elevation & Section

A1.4

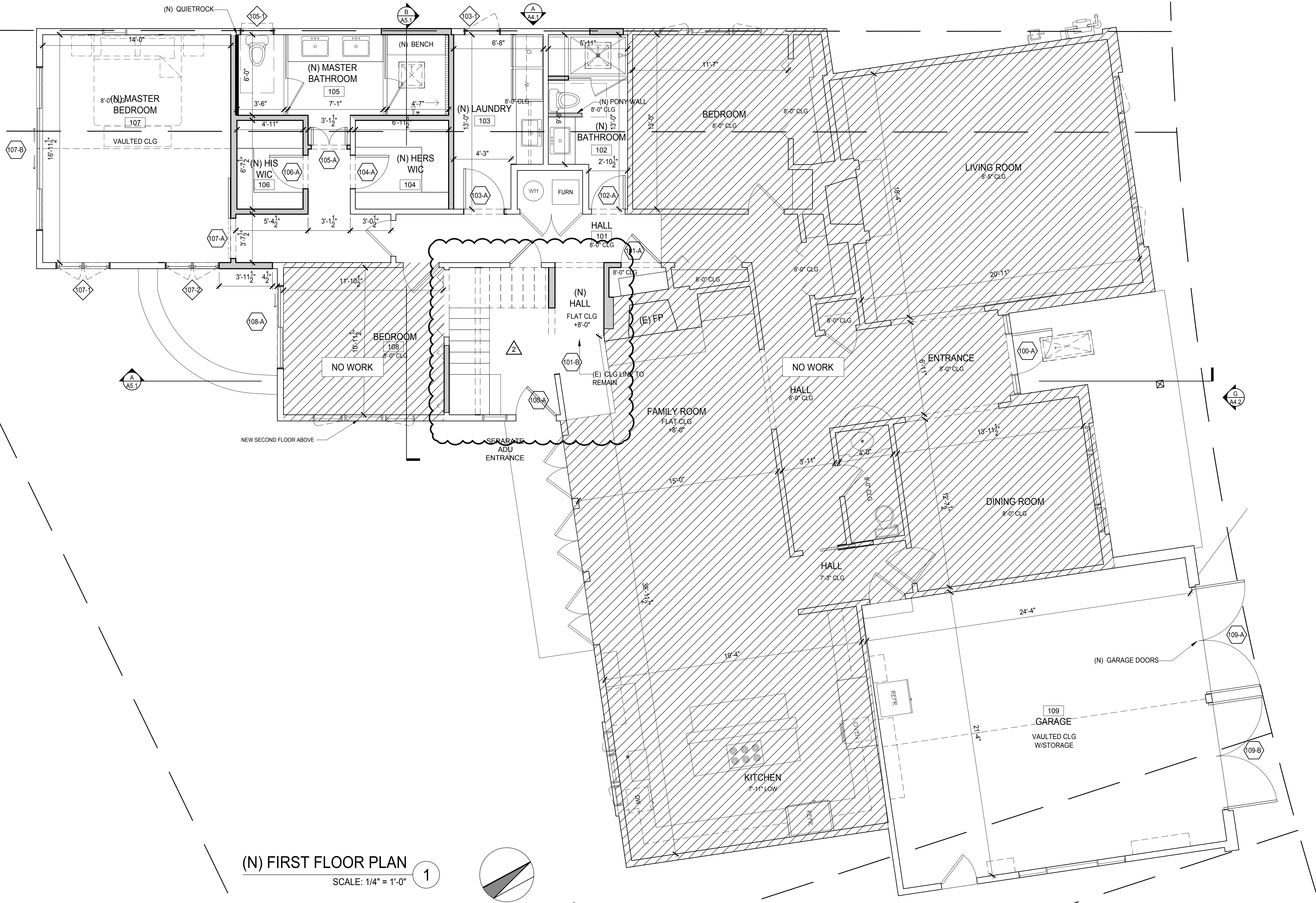
Monsalve RESIDENCE

466 Raquel St.
 Los Altos, CA 94024

Single-Story Remodel / Addition

FIRST FLOOR
 SIDE SETBACK

SECOND FLOOR
 SIDE SETBACK



(N) FIRST FLOOR PLAN
 SCALE: 1/4" = 1'-0" 1

SECOND FLOOR
 SIDE SETBACK

FIRST FLOOR
 SIDE SETBACK

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No.	Date	Issues and Revisions
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	03/12/22	Planning Resubmittal 1
2	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"
 0 1' 2' 4' 8'

Sheet Floor Plan

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

FIRST FLOOR
SIDE SETBACK

SECOND FLOOR
SIDE SETBACK

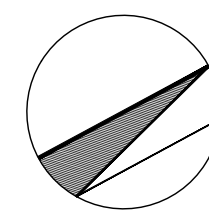
831.8 SF

(N) SECOND FLOOR PLAN

- NEW ADU

SCALE: 1/4" = 1'-0"

1



SECOND FLOOR
SIDE SETBACK

FIRST FLOOR
SIDE SETBACK

This space reserved for City Stamps / Approval

No.	Date	Issues and Revisions
	10/15/21	Planning Submittal
1	03/12/22	Planning Resubmittal 1
2	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE

Date 12.MAY.2022

Scale 1/4" = 1'-0"

Sheet ADU Plan

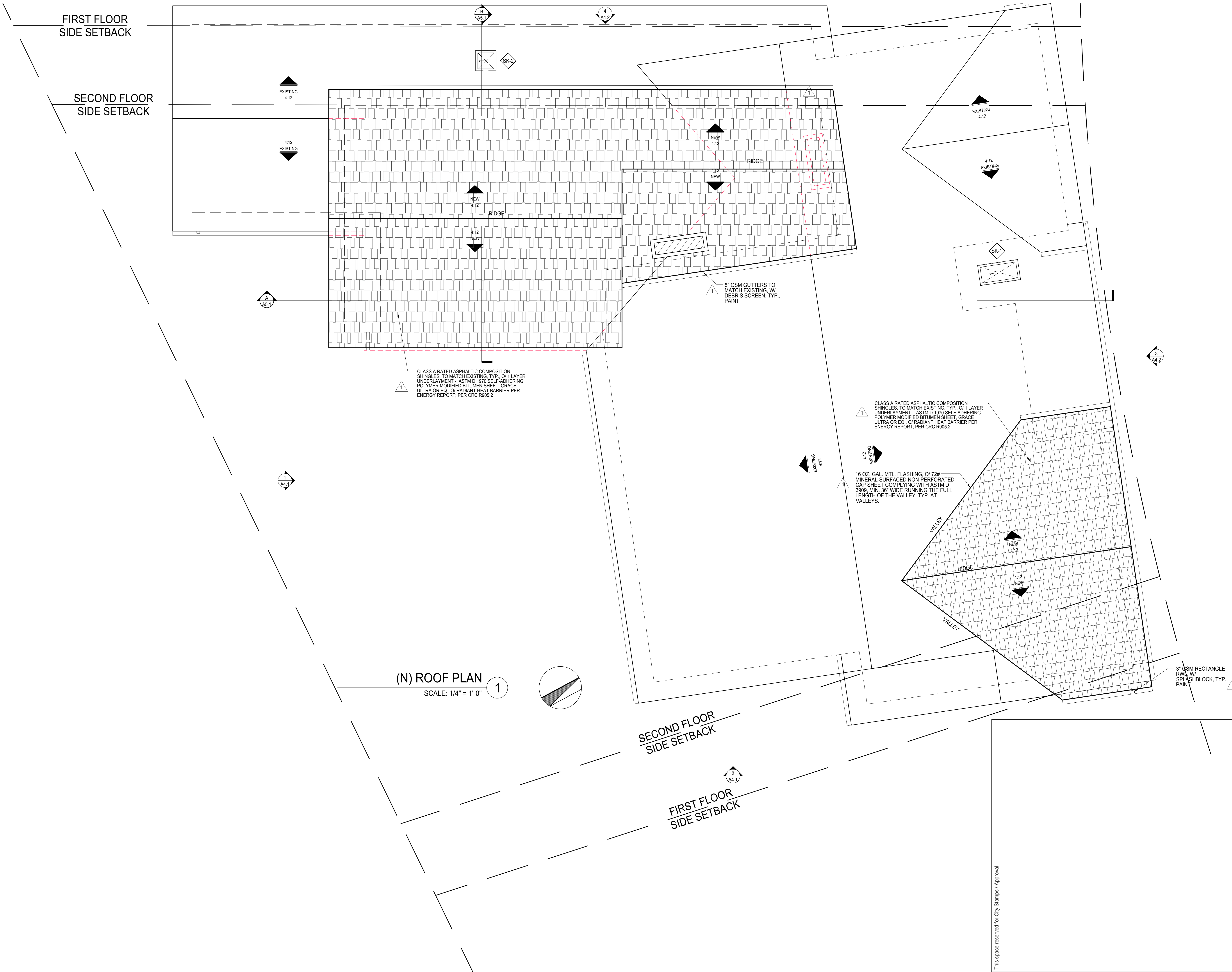
A2.2

Monsalve RESIDENCE

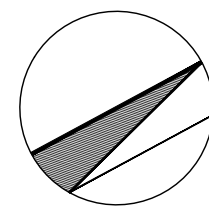
466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

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(N) ROOF PLAN
SCALE: 1/4" = 1'-0" 1



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	10/15/21	Planning Submittal
1	03/12/22	Planning Resubmittal 1
	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"

Sheet Roof Plan

A2.3

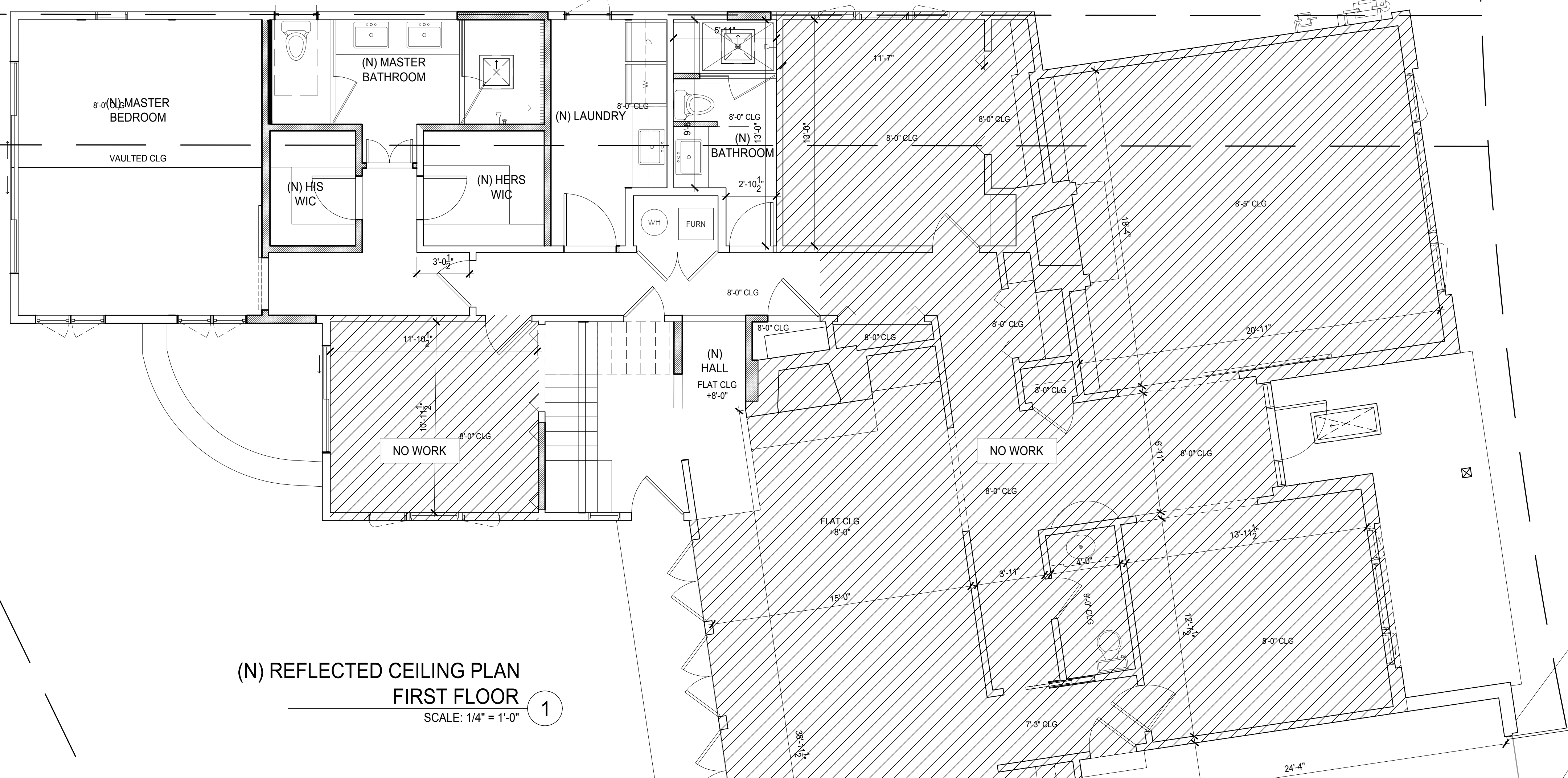
Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

FIRST FLOOR
SIDE SETBACK

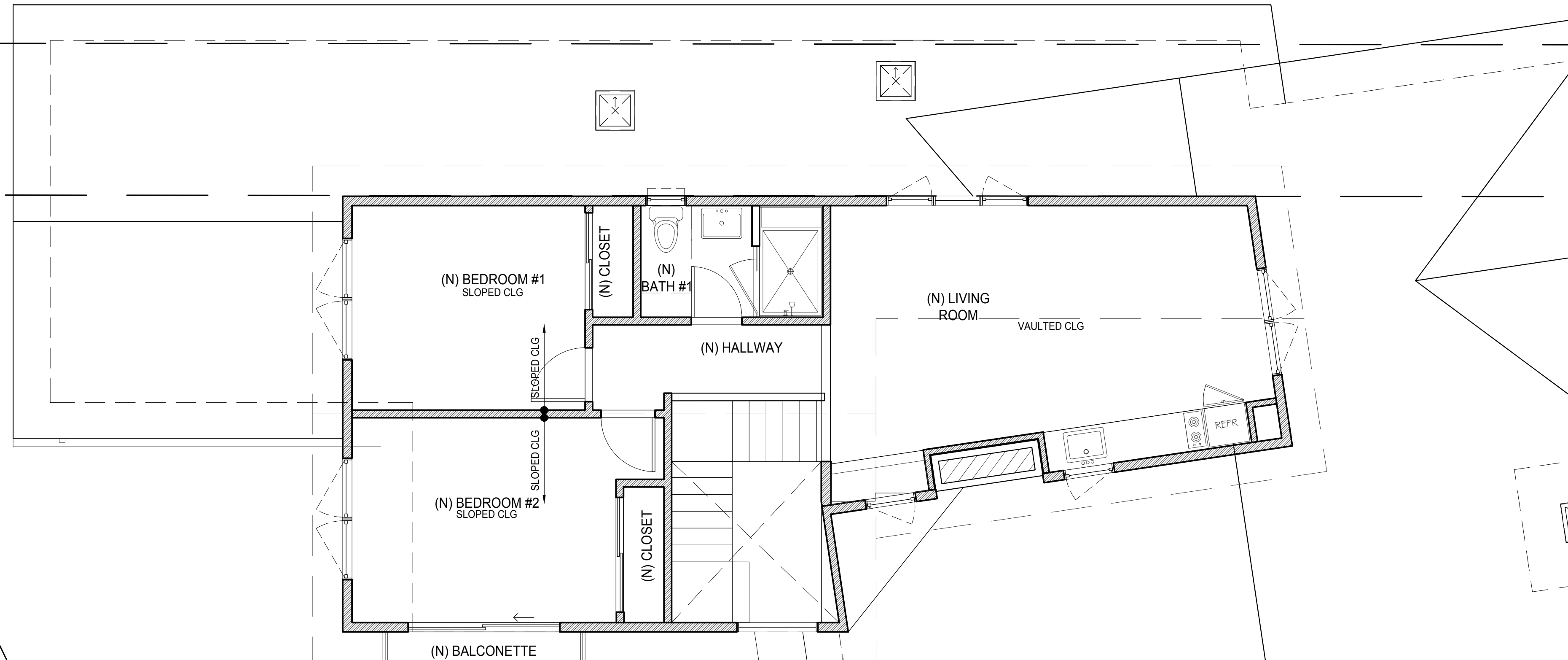
SECOND FLOOR
SIDE SETBACK



(N) REFLECTED CEILING PLAN
FIRST FLOOR
SCALE: 1/4" = 1'-0" ①

FIRST FLOOR
SIDE SETBACK

SECOND FLOOR
SIDE SETBACK



(N) REFLECTED CEILING PLAN
UPPER FLOOR
SCALE: 1/4" = 1'-0" ②

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No.	Date	Issues and Revisions
10/15/21		Planning Submittal
03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"

Sheet Roof Plan

A3.1

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KNR

DESIGN STUDIO

Kendra Rosenberg 650-308-8745
kendra@knrds.com knrds.com
681 DRISCOLL CT. PALO ALTO, CA 94306

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition



(E) PHOTO ①



(N) RENDERING ②



WINDOWS & DOORS
Marvin Modern
Ext: Fiberglass, white
Int: Fiberglass, white



GUTTERS / RWLs
Extruded Aluminum gutters
Rectangular Rain Water Leaders
Color: White / to match paint



ROOFING
Asphaltic comp shingle
Color: Charcoal



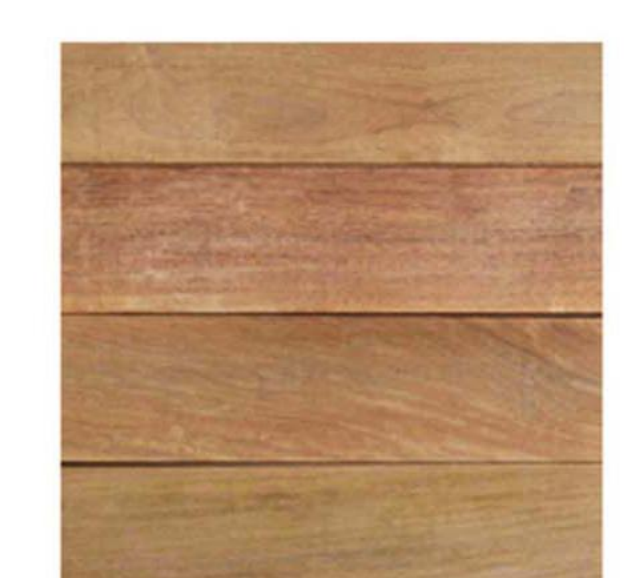
SIDING
Hardie Board V-Groove Siding
Painted: White



STUCCO
3-Layer stucco siding
Smooth finish
Painted: White



UNDERSIDE OF EAVES
Tongue & Groove at under side of all eaves
Painted: White



ACCENT WOOD
Tongue & Groove wood accents
Stained: Clear

(N) EXTERIOR MATERIALS ③

This space reserved for City Stamps / Approval

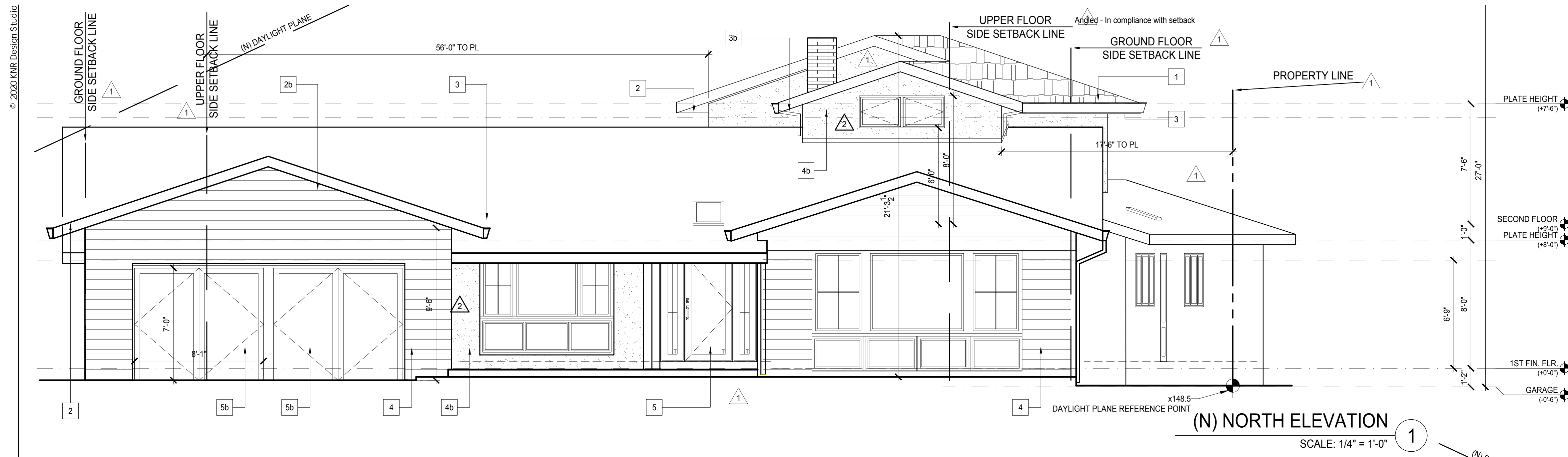
No.	Date	Issues and Revisions
1	03/12/22	Planning Resubmittal 1
Project: MONSALVE RESIDENCE		
Date: 12.MAY.2022		
Scale: 1/4" = 1'-0"		
Sheet: Materials Board & Rendering		

A4.0

Monsalve RESIDENCE

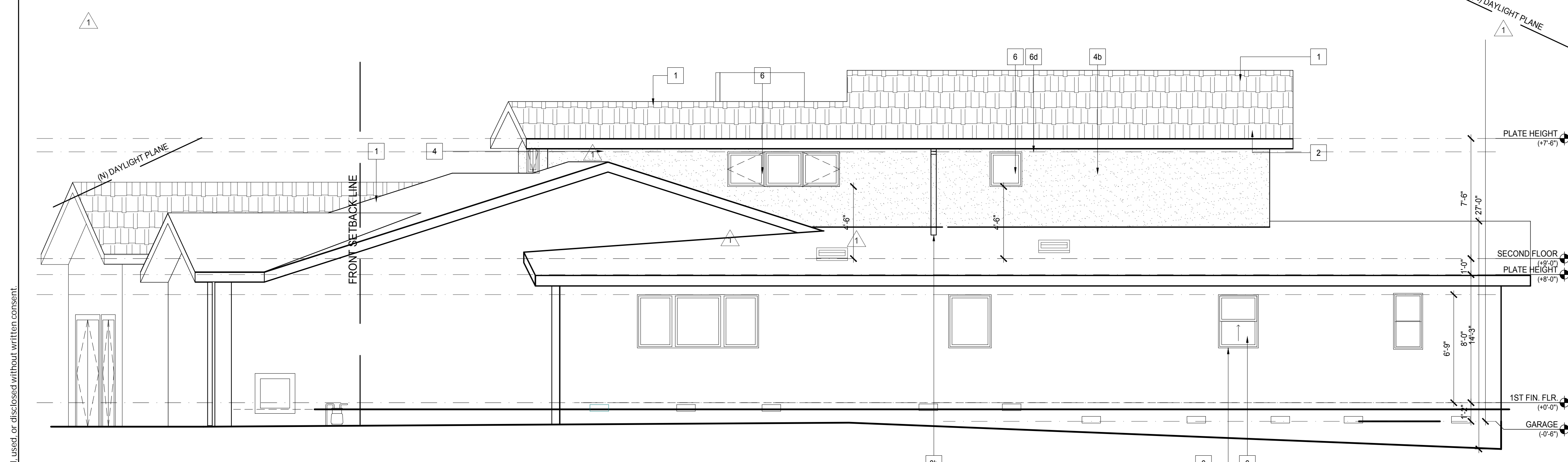
466 Raquel St.
 Los Altos, CA 94024

Single-Story Remodel / Addition

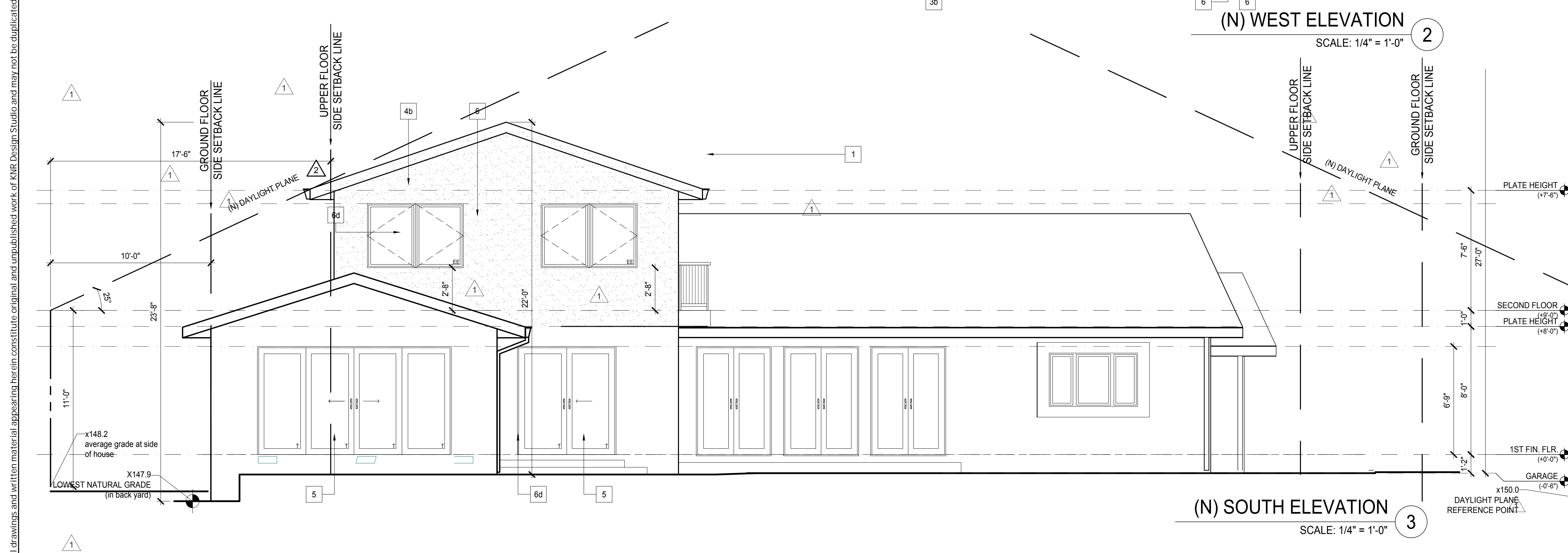


(N) NORTH ELEVATION
 SCALE: 1/4" = 1'-0"

- 1 ASPHALTIC COMPOSITE SHINGLES TO MATCH EXISTING; COLOR: CHARCOAL
- 2 UNDERSIDE OF EAVES AND PORCHES: CEDAR T&G; CLEAN STAIN; WRAP UP INTO LIGHTWELLS
- 2b WOOD HORIZONTAL LOVERS; PAINTED: WHITE
- 3 5" OGEE GUTTER W/ DEBRIS SCREEN; PAINTED: WHITE
- 3b 3" RECTANGULAR RAIN WATER LEADER; PAINTED: T.B.D.
- 4 HARDIE BOARD SHINGLE SIDING; PAINTED: GRAY
- 4b STUCCO SIDING; PAINTED: GRAY
- 5 MARVIN DOORS; COLOR: BLACK
- 5b GARAGE DOORS; COLOR: BLACK
- 6 MARVIN WINDOWS; COLOR: WHITE
- 6c DOOR/WINDOW TRIM: FLAT 1x4 W/ APRON; PAINTED: WHITE
- 6d BOX WINDOW TRIM; PAINTED: WHITE



(N) WEST ELEVATION
 SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION
 SCALE: 1/4" = 1'-0"

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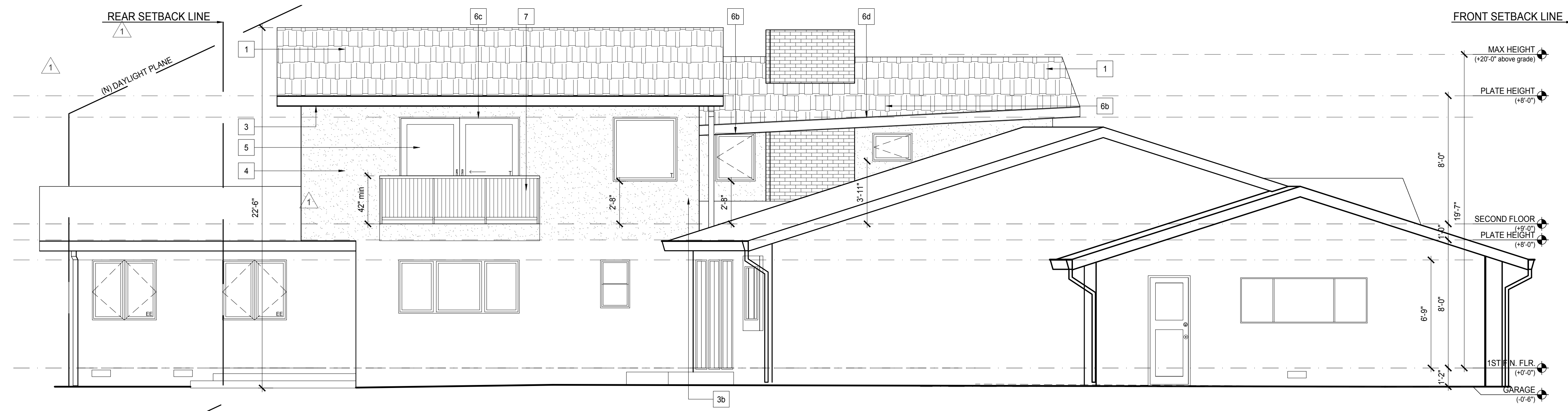
No.	Date	Issues and Revisions
	10/15/21	Planning Submittal
1	03/12/22	Planning Resubmittal 1
2	05/18/22	Public Hearing Set

Project MONSALVE RESIDENCE
 Date 12.MAY.2022
 Scale 1/4" = 1'-0"
 Sheet Exterior Elevations

Monsalve RESIDENCE

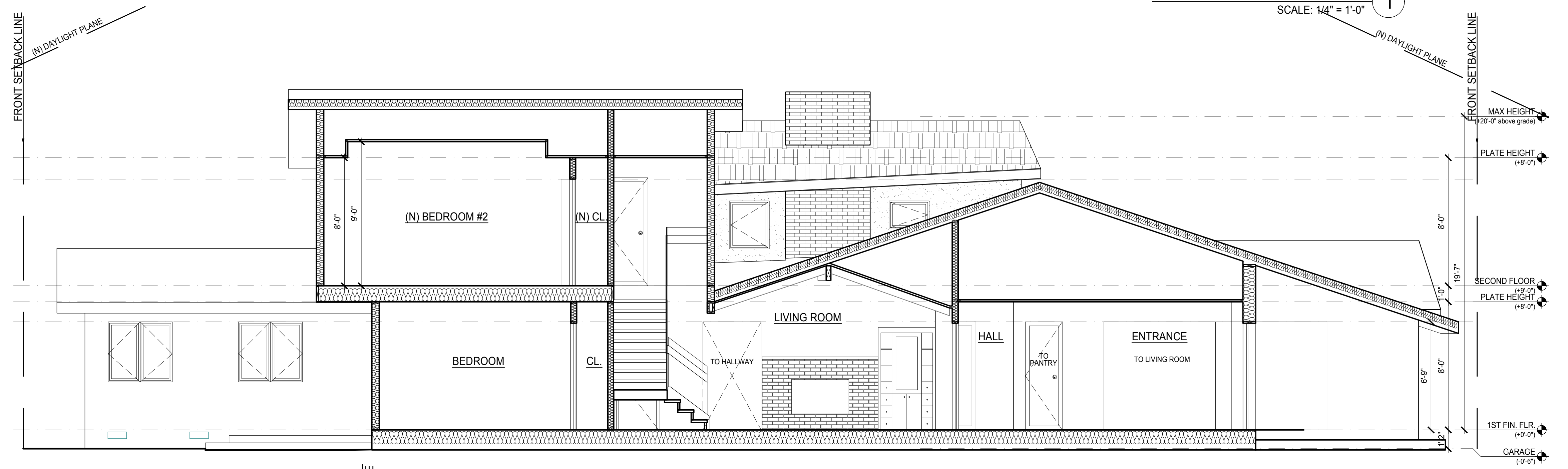
466 Raquel St.
 Los Altos, CA 94024

Single-Story Remodel / Addition

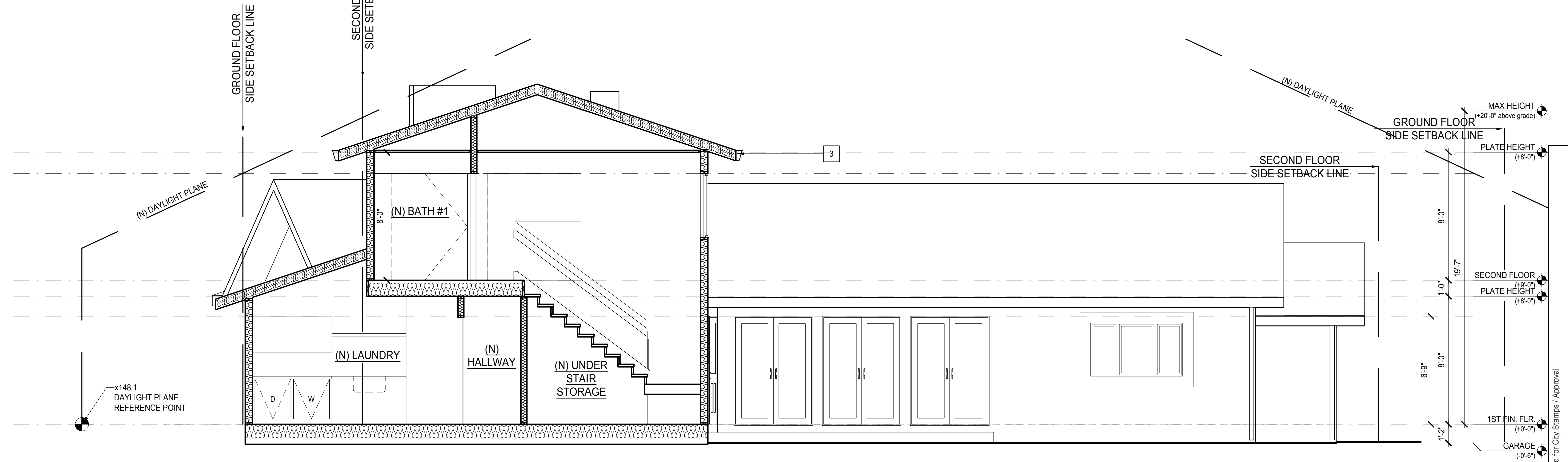


- 1 ASPHALTIC COMPOSITE SHINGLES TO MATCH EXISTING; COLOR: CHARCOAL
- 2 UNDERSIDE OF EAVES AND PORCHES: CEDAR T&G; CLEAN STAIN; WRAP UP INTO LIGHTWELLS
- 2b WOOD HORIZONTAL LOVERS. PAINTED: WHITE
- 3 5" OGEE GUTTER W/ DEBRIS SCREEN; PAINTED: WHITE
- 3b 3" RECTANGULAR RAIN WATER LEADER; PAINTED: T.B.D.
- 4 CEDAR SHINGLE SIDING; GRAY STAIN
- 5 MARVIN DOORS; COLOR: BLACK
- 5b GARAGE DOORS; COLOR: BLACK
- 6 MARVIN WINDOWS; COLOR: WHITE
- 6c DOOR/WINDOW TRIM: FLAT 1x4 W/ APRON; PAINTED: WHITE
- 6d BOX WINDOW TRIM; PAINTED: WHITE
- 7 METAL BALCONY RAILING; PAINTED: BLACK

(N) EAST ELEVATION 1
 SCALE: 1/4" = 1'-0"



(N) SECTION A
 SCALE: 1/4" = 1'-0"



(N) SOUTH ELEVATION B
 SCALE: 1/4" = 1'-0"

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No.	Date	Issues and Revisions
10/15/21		Planning Submittal
03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project MONSALVE RESIDENCE
Date 12.MAY.2022
Scale 1/4" = 1'-0"

Sheet Sections

Monsalve RESIDENCE

466 Raquel St.
Los Altos, CA 94024

Single-Story Remodel / Addition

Monsalve Residence															
12.MAR.2022															
Doors - Exterior															
EXTERIOR															
Tag	Room	Rough Opening	Panels	Op.	Style	Grilles*	Temp. Glazing	Weath. Strip.	Manufacturer	Model	Material: outside	Material: inside	Color: outside	Color: inside	Comments
FIRST FLOOR															
100-A	Entrance	6'-0" x 6'-8"	1'-6" x 6'-8" 3'-0" x 6'-8" 1'-6" x 6'-8"	F OS F		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	Sun Mountain		WD, walnut select	WD, walnut select			Custom Door w/ sidelights; design with client
107-B	Master Bedroom	12'-0" x 6'-9"	(4) 3'-0" x 6'-9"	MS		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	MARVIN						
108-A	Bedroom	5'-4" x 6'-9"	(2) 2'-8" x 6'-9"	SL		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>							
109-A	Garage	8'-0" x 7'-0"	(2) 4'-0" x 7'-0"	OS		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	TruStile				White		Custom carriage style garage doors
109-B	Garage	8'-0" x 7'-0"	(2) 4'-0" x 7'-0"	OS		<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>							
SECOND FLOOR															
202-C	Bedroom #2	7'-6" x 6'-8"	(2) 3'-9" x 6'-8"	SL		<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	MARVIN						

*NOTE: special attention shall be paid to grilles to keep ratio of lites similar. Window sizes can be slightly adjusted to accommodate.

Monsalve Residence															
12.MAR.2022															
Windows															
Tag	Room	Rough Opening	Nominal Opening	Op.	Grilles*	Emerg. Egress	Temp. Glazing	Obsc. Glazing	Manufacturer	Model	Material: outside	Material: inside	Color: outside	Color: inside	Comments
FIRST FLOOR															
105-1	Master Bathroom	2'-8" x 3'-4"		DH	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
107-1	Master Bedroom	4'-0" x 3'-9"	(2) 2'-0" x 3'-9"	C	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
107-2	Master Bedroom	4'-0" x 3'-9"	(2) 2'-0" x 3'-9"	C	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
SECOND FLOOR															
201-1	Hall	4'-0" x 4'-0"		F	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
202-1	Bedroom #2	6'-0" x 4'-0"	(2) 3'-0" x 4'-0"	C	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
203-1	Bedroom #1	6'-0" x 4'-0"	(2) 3'-0" x 4'-0"	C	<input type="checkbox"/>	<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
204-1	Bathroom #1	2'-2" x 2'-4"		DH	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
201-1	Hall	2'-2" x 2'-4"		C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
205-1	Hangout Room	2'-2" x 2'-4"		F	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
205-1	Hangout Room	2'-2" x 2'-4"		C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
205-2	Hangout Room	5'-4" x 2'-8"	2'-8" x 2'-8"	C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
205-3	Hangout Room	2'-6" x 1'-9"	2'-8" x 2'-8"	C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
205-4	Hangout Room	2'-6" x 3'-0"		C	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Marvin	Modern	FG	WD	White, clad	BL, PTD	
SKYLIGHT															
SK-1	Entry	1'-9" x 3'-9 3/4"		F	deck	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Velux	C06					
SK-2	Master Bath	1'-10 1/2" x 1'-10 15/16"		F	deck	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Velux	D26					

*NOTE: special attention shall be paid to grilles to keep ratio of lites similar. Window sizes can be slightly adjusted to accommodate.

Monsalve Residence													
12.MAR.2022													
Doors - Interior													
EXTERIOR													
Tag	Room	Rough Opening	Panels	Op.	Style	Temp. Glazing	Fire Rated	Manufacturer	Model	Material	Color	Finish	Comments
FIRST FLOOR													
101-A	Hall	3'-0" x 6'-8"		OS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
101-B	Hall	2'-8" x 6'-8"		OS		<input type="checkbox"/>	<input checked="" type="checkbox"/>			WD			
102-A	Bathroom	2'-6" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
103-A	Laundry	3'-0" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
104-A	Her's WIC	2'-6" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
105-A	Master Bathroom	2'-8" x 6'-8"	(2) 1'-4" x 6'-8"	IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
106-A	His WIC	2'-6" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
107-A	Master Bedroom	3'-0" x 6'-8"		B		<input type="checkbox"/>	<input type="checkbox"/>			WD			Barn door
SECOND FLOOR													
202-A	Bedroom #2	2'-8" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
202-B	Bedroom #2	5'-8" x 6'-8"	(2) 2'-10" x 6'-8"	SL		<input type="checkbox"/>	<input type="checkbox"/>			WD			
203-A	Bedroom #1	3'-0" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
203-B	Bedroom #1	5'-4" x 6'-8"	(2) 2'-8" x 6'-8"	SL		<input type="checkbox"/>	<input type="checkbox"/>			WD			
204-A	Bath #1	2'-6" x 6'-8"		IS		<input type="checkbox"/>	<input type="checkbox"/>			WD			
205-A	Hangout Room	6'-0" x 6'-8"	(2) 3'-0" x 7'-0"	B		<input type="checkbox"/>	<input type="checkbox"/>			WD			Barn door
205-B	Hangout Room	2'-0" x 6'-8"		OS		<input type="checkbox"/>	<input type="checkbox"/>			WD			

Monsalve Residence	
12.MAR.2022	
KEY	
Abb.	Full
A	Awning
ACWD	Aluminum Clad Wood
B	Barn door
BF	Bi-folding
C	Casement
CAR	Carriage (garage door)
DH	Double Hung
DFR	Double French
DSC	Double swinging Closet
F	Fixed
FG	Fiberglass
FR	French (swinging)
FRSL	French sliding
HL	Half-lite
IS	In-swinging
L&S	Lift-and-Slide
MS	Multi-slide
OHRU	Overhead Roll-Up
OS	Out-swinging
PK	Pocket
PTD	Painted
PV	Pivot
S	Swinging
SCW	Solid core wood
SL	Sliding
T	Terrace
VIF	Verify in field
WD	Wood

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No.	Date	Issues and Revisions
10/15/21		Planning Submittal
03/12/22		Planning Resubmittal 1
05/18/22		Public Hearing Set

Project	MONSALVE RESIDENCE
Date	12.MAY.2022
Scale	1/4" = 1'-0"
Sheet	Door/Window Schedule

A6.1



Date: June 1, 2022

Agenda Item #4

DESIGN REVIEW COMMISSION AGENDA REPORT

Meeting Date: June 1, 2022

Subject: Feedback Requested by Council on the Adopted SB 9 Objective Standards

Prepared by: Steve Golden, Interim Planning Services Manager and Jia Liu, Associate Planner

Reviewed by: Nick Zornes, Development Services Director

Attachments:

A. April 6, 2022 Joint DRC and PC Study Session Staff Report with Attachments

B. City of Los Altos Residential Design Guidelines:

https://www.losaltosca.gov/sites/default/files/fileattachments/community_development/page/41321/single-family_residential_design_guidelines.pdf

Recommendation:

Review the adopted Senate Bill (SB) 9 objective standards, receive public comments, and provide feedback to staff on the SB 9 objective standards and any recommended amendments in response to the Council's request for feedback in the implementation of SB 9 regulations.

Environmental Review:

The discussion item is not a "project" within the meaning of Section 15378 of the CEQA Guidelines in that the purpose of this discussion item is merely to provide feedback for recommended amendments to the adopted Resolution No. 2021-57 to regulate the objective standards for single-family residential development that is subject to SB 9 regulations.

Background:

SB 9, signed into law by Governor Newsom on September 16, 2021, is considered by the state as a new tool to address California's housing crisis. The legislation mandates local municipalities ministerially approve urban lot splits to create two parcels and the construction of up to two primary units on any parcel located within a single-family residential zone. It also requires cities to modify or eliminate standards that would otherwise prevent the construction of up to two primary units at least 800 square feet in size, but also allows cities to establish objective subdivision standards for urban lot splits and objective design standards for housing developments as long as they do not physically preclude the urban lot splits and development of up to two primary units that would otherwise be allowed through the provisions under SB 9.

On December 14, 2021, the City Council adopted Resolution No. 2021-57 in response to the state's allowance of authorized objective standards for the development of single-family residences per SB 9. As directed by the City Council in their approval resolution, staff was to hold study session



Subject: Feedback Requested by Council on the Adopted SB 9 Objective Standards

meetings with Design Review Commission (DRC) and Planning Commission (PC) to obtain feedback to provide feedback back to the Council on the objective standards and in the implementation of SB 9. Based on the Council's directive, on April 6, 2022, staff held a joint meeting with the commissions and recommended a joint commission subcommittee. Both of the commissions approved of this approach, but in subsequent individual commission meetings¹, both commissions reconsidered the formulation of a joint commission subcommittee favoring to meet as individual commissions to discuss and prepare feedback to the council. The April 6, 2022 DRC and PC Joint Study Session agenda report is attached as Attachment A.

Discussion

In order to respond to the council's request for a staff report on the implementation on SB 9 and any amendments to the objective design review standards and/or objective subdivision standards, the Design Review Commission should consider any input from the public and use this opportunity to provide either general or specific feedback to staff at this meeting. Staff will then combine and evaluate the feedback and recommendations by the Design Review Commission as well as the Planning Commission for consideration in further amendments to the SB 9 objective standards. Staff will also determine after feedback is provided by the commissions, if there is further opportunity for the commissions to meet collectively to work collaboratively in providing feedback to council as staff understands the council intended. Based on previous feedback from both the Design Review Commission and Planning Commission thus far, staff recommends that the Design Review Commission discussion focus on how any changes to objective design standards and objective subdivision standards under SB 9 will further the city's long-term goals and strategies in providing a diversity of housing in the city while preserving the existing characteristics and design considerations of the single-family residential zoned neighborhoods that is subject to SB 9 provisions.

The following reference documents are attached for the Commission to consider.

- Attachment A – April 6, 2022 Joint Meeting Agenda Report
 - Contains a list of potential items to consider for further review
 - Attachment A of the report contains Resolution 2021-57 which includes the adopted objective standards
 - Attachment B – Public Comments Received
 - Attachment C – HCD SB 9 Fact Sheet
- Attachment B – Single-Family Residential Review Design Guidelines. The guidelines which are implemented through discretionary design review was the foundation for many of the objective design standards.

¹ The Design Review Commission meeting discussion was on May 4, 2022.



STUDY SESSION

Agenda Item #1

JOINT PLANNING COMMISSION AND DESIGN REVIEW COMMISSION AGENDA REPORT

Meeting Date: April 6, 2022

Subject: Review the City's SB9 Objective Standards, conduct Study Session to consider any appropriate modifications to the standards, provide direction to staff and/or recommendations to City Council, consider possible formation of one or more ad hoc subcommittees to study the issue further, and find that the commissions' action in considering proposed changes to the City's objective standards is exempt from review under the California Environmental Quality Act ("CEQA") pursuant to CEQA Guidelines Sections 15378 and 15306.

Prepared by: Jia Liu, Associate Planner

Reviewed by: Steve Golden, Interim Planning Services Manager

Attachments:

- A. Resolution No. 2021-57 Objective Standards for Single Family Residences
- B. Public Comments Received for SB 9 Objective Standards
- C. SB 9 Fact Sheet from HCD (March 2022)

Recommendation:

Review adopted SB 9 Objective Standards and further input provided by Council members, Design Review Commission Subcommittee members, city staff and the community to improve and enhance the SB 9 objective design standards as directed by City Council. The Commissions may wish to consider organizing a subcommittee (or subcommittees) to complete this work. Subcommittee formation could include one or two subcommittees from each commission or a combined subcommittee with members from each commission. Recommended updates and revisions by the subcommittee(s) would first be reviewed by the full commission(s) who in turn would make final recommendations to the City Council.

Environmental Review:

The study session is not a "project" within the meaning of Section 15378 of the CEQA Guidelines in that the purpose of the study session is merely to provide feedback to staff before staff initiates the recommended amendments to the adopted Resolution No. 2021-57 to regulate the objective standards for single-family residence that is subject to SB 9 process. Additionally, a study session comes within the exception to review under the California Environmental Quality (CEQA) Guidelines per Section 15306 (Information Collection) since the purpose of the study session is to obtain public input and to provide feedback.



Subject: SB9 Objective Standards Updates Study Session

Background:

State Senate Bill (SB) 9

On September 16, 2021, Governor Newsom signed Senate Bill 9, which became effective on January 1, 2022. SB 9 mandates any local municipality must ministerially allow an urban lot split and a proposed housing development containing no more than two residential units on a single-family residential zoned parcel if such housing development meets certain requirements. SB 9 authorizes a local agency to impose objective development standards that shall not preclude the construction of two single-family units with four-foot rear and side yard setbacks and 800 square feet each in floor area.

Adoption of Objective Design Standards – Phase I

On December 14, 2021, the City Council adopted Resolution No. 2021-57 in response to the State's allowance of authorized objective standards for the development of single-family residences per SB 9. Below is a summary of discussions and meetings that lead to the adoption of the SB 9 objective design standards:

- On October 26, 2021, the City Attorney's Office gave an SB 8 and SB 9 presentation to the City Council. City staff were directed to work with a subcommittee of the Design Review Commission (DRC) as a resource to create single family objective zoning standards and to provide the City Council a project update on November 9th.
- On November 3rd, the City Attorney's Office gave an SB 8 and SB 9 presentation to the Design Review Commission (DRC). At this meeting city staff asked that a DRC Ad Hoc Subcommittee composed of two members be formed so input could be provided on the SB 9 objective design standards.
- On November 9th, City staff met with the DRC Ad Hoc Subcommittee to discuss the draft single-family objective standards. Additionally, at the November 9, 2021 Council meeting, staff provided updates on SB 9 single-family residential objective standards progress to the Council.
- On November 30, 2021, staff presented the recommended objective design standards in a draft resolution to the City Council. The Council continued the item to the December 14, 2021 Council meeting with specific direction for revisions to the resolution.
- On December 14, 2021, Resolution No. 2021-57 was adopted by the Council with the Council's direction to revisit the SB 9 single-family residential objective standards in 2022. Item #3 in the resolution directed staff to hold study sessions with the Planning Commission and Design Review Commission to obtain feedback from the commissions and the public to inform the Council on feedback to the objective design standards. Council also identified specific items needing further examination that are included in the list below.

SB 9 Applications Received

As of the publication of this staff report, the city has received three separate SB 9 applications. Each application was for a new single-family residence on an existing parcel which are authorized under SB



Subject: SB9 Objective Standards Updates Study Session

9 regulations that allow for the development of no more than two residential units on one parcel. No approvals have been granted to any of the applications.

SB 9 HCD Fact Sheet

On March 25, 2022, the California Department of Housing and Community Development released the “SB 9 Fact Sheet” (Attachment C) which provides further clarifying information regarding SB 9.

Discussion/Analysis:

In the Council’s adoption of the SB 9 Objective Design Standards, staff was directed to hold one or more study sessions with the Planning Commission and Design Review Commission to obtain feedback from the Commissions and the public for any amendments to the design standards. This study session provides the commissions an opportunity to any feedback or determine whether further are necessary for the SB 9 Objective Design Standards and how to best organize themselves and make efficient use of the commissions’ time. If there is interest by one or both of the commissions to further study and additional feedback to the standards, a subcommittee or subcommittees be formed to work more efficiently to develop recommendations for the commissions. Two independent subcommittees could be formed by each commission, or a joint commission subcommittee with members from both commissions could be formed.¹ While residential design issues related to single-family residential development are delegated to the Design Review Commission, there are land use related issues as it relates to intensity of development (e.g. floor area and lot coverage maximums, land division, and overall residential land use issues) that may interest the Planning Commission. In the case of any subcommittee(s) that is formed, the subcommittee’s recommendations would be brought to their respective commission, which in turn would make a recommendation to the Council.

Potential Discussion Items for Further Examination – Phase II

Staff has summarized below potential design related issues and specific objective design standards recommended for further examination by the direction from the City Council, comments received from the DRC Subcommittee during Phase I, implementation of adopted design standards on SB 9 projects submitted, and other comments provided by the public:

Items Directed by the Council at the December 14, 2021 Council Meeting:

- Whether building colors should be regulated;
- A better definition or requirement regarding the maturity of screening vegetation;
- Definition and requirements for floor area ratio, which would need to be addressed by ordinance;
- Consideration of allowing taller plate heights if larger setbacks are designed;

¹ In either case, the subcommittee cannot constitute a quorum of any one commission. A joint subcommittee would be subject to the Brown Act.



Subject: SB9 Objective Standards Updates Study Session

- Whether affordable housing requirements can be incorporated; and
- Further research and consideration for street access and safety.

Unresolved Items from the Phase I DRC Subcommittee:

- Definition of site coverage – consideration shall be provided toward a paving per open space standard in the rear yard and how it will impact the drainage, stormwater, etc.;
- Definition of floor area – consideration to include tall ceilings (i.e., two-story ceiling heights to be double counted for floor area); and
- Garage door design and materials.

Recommended Items from Staff:

- Revise APPDENDIX 1, 2.D through G excluding E., to include appropriate setbacks for all residential zoning districts (the setbacks for R1-10 is the only one provided);
- Second story step-back requirements;
- Consideration of minimum tree replacement requirements when protected trees will be removed (i.e. A minimum of one, Category II size tree with a minimum size of 15 gallons or 24-inch box shall be planted for each protected tree up to four trees);
- Add an exception note to Objective Design Standard 2.E.a. - Additional tree planting is not required when existing trees meet or exceed the required planting standards.
- Objective Design Standard 3.D, add language to establish that screening is required for two-story residences only.
- Address height/bulk/scale for non-traditional construction methods that do not have a “plate” structure member;
- Establishment of SB 9 review fees on SB 9 housing and urban lot splits;
- Review and/or simplify daylight plane requirements (i.e. including SB9, each structure type has a different daylight plane in the zoning code); and
- Consideration of restricting the percentage of the ceiling height for each story that exceeds the wall plate height limits.

Comments Provided by the Public (Attachment B):

- Concern regarding urban lot splits on double frontage streets;
- Concern regarding urban lot splits on lots taking access from substandard streets; and
- Privacy concern and lighting impacts for development placed on sloping different lots.

RESOLUTION NO. 2021-57

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF LOS ALTOS ESTABLISHING OBJECTIVE STANDARDS FOR SINGLE FAMILY RESIDENCES TO IMPLEMENT SENATE BILL 9

WHEREAS, on September 16, 2021, the Governor signed Senate Bill 9 (Stats. 2021, Ch. 162) (“SB 9”); and

WHEREAS, SB 9 allows for streamlined ministerial approval for certain residential dwelling units in single-family residential zones; and

WHEREAS, SB 9 requires the City to apply objective design standards to residential dwelling units approved pursuant to the legislation and prohibits discretionary design review for such units; and

WHEREAS, the City of Los Altos has adopted Single-Family Residential Design Guidelines (the “SFRDG”) pursuant to Section 14.76.020 of the Los Altos Municipal Code; and

WHEREAS, to implement SB 9, it is necessary or convenient that the City Council amend the SFRDG to specify objective design criteria applicable to new single-family homes; and

WHEREAS, SB 9 allows cities to impose certain standards for projects approved under that legislation, which the City Council desires to adopt; and

WHEREAS, certain ambiguities in SB 9 require resolution pending guidance from the judiciary and the Department of Housing and Community Development.

NOW THEREFORE, BE IT RESOLVED, by the City Council of the City of Los Altos, as follows:

1. Effective January 1, 2022, the SFRDG are hereby amended to include as APPENDIX D-1 thereof the objective single-family design guidelines (the “Objective Standards”) attached to this Resolution as **Appendix 1**. After January 1, 2022, applications to remodel existing single-family residences and applications to construct new single-family residences not subject to approval under SB 9 shall continue to be subject to the SFRDG. Applications to construct new dwelling units subject to approval under SB 9 shall comply with the Objective Standards. Applicants for projects subject to approval under SB 9 are strongly encouraged to comply with all provisions of the SFRDG to ensure high quality design and neighborhood compatibility.
2. Nothing in this Resolution or its appendices is intended to preclude the application to SB 9 projects of: building codes, state and local rules with respect to accessory

dwelling units and junior accessory dwelling units, or other laws generally applicable to housing development projects of one to four units.

3. As soon as practicable, Staff is directed to hold one or more study sessions with the Planning Commission and with the Design Review Commission to obtain feedback concerning the Objective Standards from both commissions and from the public. Relying on such feedback and the experience of Staff in implementing SB 9, Staff is hereby directed to return to the City Council no later than May 2022 to report on the implementation of SB 9 and to recommend any amendments to the Objective Standards.
4. SB 9 authorizes local agencies to impose certain standards and requirements outlined in **Appendix 2** to this Resolution. Those standards and requirements are hereby adopted, and the SFRDG is hereby amended to incorporate the standards as APPENDIX D-2 thereof.
5. SB 9 contains certain ambiguities that require interpretation. Pending further guidance from the Department of Housing and Community Development and the judiciary, Staff are hereby directed to follow the guidance included in the interpretive guidance document attached as **Appendix 3** to this Resolution. If guidance from HCD or the judiciary conflicts with anything in **Appendix 3**, then that guidance shall control.
6. The City Council hereby finds that the adoption of this Resolution is exempt from review under the California Environmental Quality Act (“CEQA”) pursuant to CEQA Guidelines Sections 15061(b)(3) (Common Sense Exemption) and 15308 (Actions by Regulatory Agencies for the Protection of the Environment), in that the regulations hereby imposed are intended to preserve scenic quality for the City of Los Altos by establishing design guidelines to protect the existing community character, and because it can be seen with certainty that the adoption of the regulations hereby imposed will not have a significant effect on the environment (or that any such effect is wholly speculative), and none of the circumstances in CEQA Guidelines Section 15300.2 applies.
7. In adopting this Resolution, the City Council intends that it be construed to be consistent with the state and federal constitutions and with applicable state housing laws, including SB 9. If any section, sentence, clause, or phrase of this Resolution (including its appendices), is, for any reason, held to be invalid or unconstitutional, such decision shall not affect the validity of the remaining portions hereof.
8. Any person wishing to challenge the validity of any provision of this Resolution (including its appendices), whether facially or as applied, shall, if aggrieved by such provision, appeal to the City Council pursuant to Chapter 1.12 of the Los Altos Municipal Code. As used herein, a person is “aggrieved” if, (a) a provision of this Resolution would prevent the individual from seeking approval of a housing development project for which the individual would like to apply, and (b) in the opinion of the individual, the challenged provision is invalid or unconstitutional. If the City

Council grants an appeal a facial challenge, then it shall direct staff to propose appropriate amendments to this Resolution, consistent with the City Council’s decision on the appeal. If the City Council grants an as-applied challenge, then it may allow an exception to standards to the limited extent necessary to avoid the invalidity or unconstitutionality.

I HEREBY CERTIFY that the foregoing is a true and correct copy of a Resolution passed and adopted by the City Council of the City of Los Altos at a meeting thereof on the 14th day of December, 2021 by the following vote:

- AYES: Council Members Fligor, Lee Eng, Weinberg, Vice Mayor Meadows and Mayor Enander
- NOES: None
- ABSENT: None
- ABSTAIN: None



Anita Enander, MAYOR

Attest:



Andrea Chelemengos, MMC, CITY CLERK

APPENDIX 1
OBJECTIVE STANDARDS ADOPTED AS
APPENDIX D-1 TO THE SFRDG

Objective Standards for Single-Family Residential Zone

It is intent that the following standards shall not be applied to preclude a housing development project allowed under SB 9. As used here, a residential dwelling unit includes living space only and not parking or accessory structures.

1. Definition – any term not defined in this section has the meaning given in the City Municipal Code unless otherwise specified.

“Secondary front lot line” means a lot line abutting a street which is not a front lot line.

“Plate height” means the vertical distance measured from the top of the finished floor to the top of the plates.

“Exterior finish” refers to the exterior façade of a house, excluding the roofs, trim, windows, doors, and shutters.

“Exterior trim” refers to the finish materials on the exterior of a building, such as moldings applied around openings (window trim, door trim), siding, windows, exterior doors, attic vents, and crawl space vents.

“Lines of sight” means with a 60-degree angle beginning at the starting point, 30 degrees to the left and 30 degrees to the right in horizontal perspective.

“High-quality transit corridor” means corridor with fixed route bus service with service intervals no longer than fifteen minutes during the morning and afternoon peak commute hours.

“Major transit stop” means a site containing an existing rail transit station, a ferry terminal served by either a bus or rail transit service, or the intersection of two or more major bus routes with a frequency of service interval of 15 minutes or less during the morning and afternoon peak commute periods.

2. SB 9 – Development Standards

A. Lot Split and Minimum Site Area.

An existing parcel shall not be subdivided into more than two parcels. The smallest subdivided parcel shall not be less than forty percent (40%) of the original parcel, and both newly subdivided parcels each shall be no smaller than one thousand two hundred (1,200) square feet.

B. All development standards under Government Code Section 66411.7 are hereby adopted.

C. Site Frontage and Site Width.

- a. The minimum width of the access corridor for each flag lot shall be twenty (20) feet, and shall provide direct access to a public or private street.
- b. Easements for the provision of public services and facilities and egress and ingress are required.

D. Coverage. The following coverage standards apply unless two single-family units with four-foot rear and side-yard setbacks and 800 square feet each in floor area are precluded.

- a. The maximum coverage for all structures in excess of six feet in height shall be thirty-five (35) percent of the total area of the site where the height of one-story development does not exceed twenty (20) feet.
- b. A minimum of fifty (50) percent of the required front yard area shall be a combination of pervious landscape material and landscaping.
- c. On sites where the lot coverage exceeds thirty (30) percent, two-story structures shall not be allowed.

E. Floor Area Ratio. The following coverage standards apply unless two single-family units with four-foot rear and side-yard setbacks and 800 square feet each in floor area are precluded.

- a. For lots with a net site area not exceeding eleven thousand (11,000) square feet, the maximum floor area shall be thirty-five (35) percent of the net site area.
- b. For lots with a net site area exceeding eleven thousand (11,000) square feet, the maximum floor area shall be three thousand eight hundred fifty (3,850) square feet plus ten (10) percent times the net site area minus eleven thousand (11,000) square feet.

F. Setbacks.

- a. Except as noted below, the minimum setbacks shall be as follows:

Front*	
First Story	25 feet
Second Story	30 feet
Secondary Front*	
First Story	10 feet
Second Story	13 feet

Side	
First Story	No less than 4 feet. However, to reduce the privacy impacts to abutting property owners, applicants are encouraged to voluntarily increase the setbacks to be at least 10 feet from the side property lines.
Second Story*	No less than 11.5 feet. However, to reduce the privacy impacts to abutting property owners, applicants are encouraged to voluntarily increase the second story setback to be at least 17.5 feet from the side property lines.
Rear	No less than 4 feet. However, to reduce the privacy impacts to abutting property owners, applicants are encouraged to voluntarily increase the rear setback to be at least 10 feet from the rear property line.

- b. No architectural features (i.e. cantilevers, bay windows, and/or any other architectural projections) shall be allowed within the side and rear required setback areas except for 12-inch maximum eaves with four-inch maximum gutters.
- c. Notwithstanding these rules, the applicant shall be allowed to construct within the dimensions of an existing legal building.

*Unless two single-family units with four-foot rear- and side-yard setbacks and 800 square are precluded.

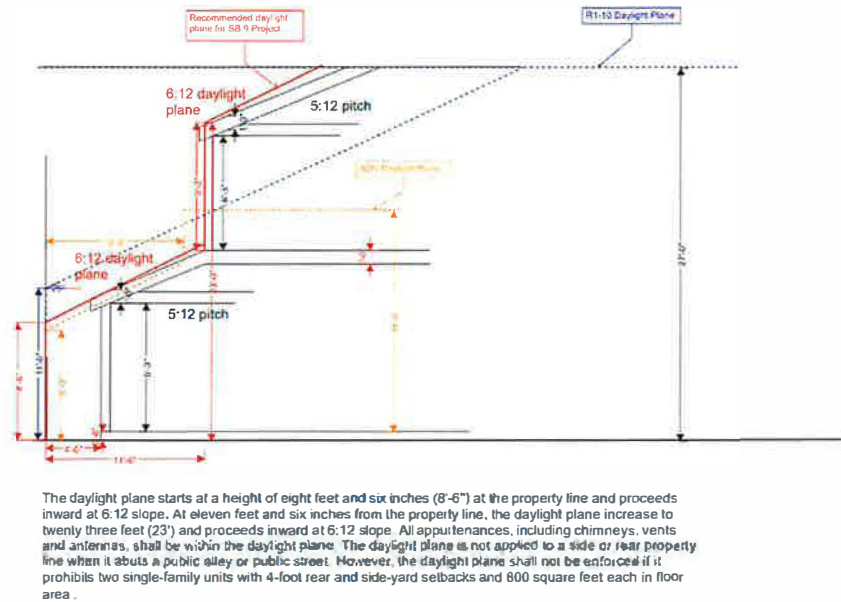
G. Height of Structures.

No structure shall exceed two stories or twenty-seven (27) feet in height from the natural grade. On flag lots the height of structures shall be limited to one story and twenty (20) feet in height. Basements shall not be considered a story. When the lot coverage exceeds or is proposed to exceed thirty (30) percent, the maximum height of structures shall be twenty (20) feet.

H. Daylight Plane.

- a. No portion of any residential units shall extend above or beyond a daylight plane unless two single-family units with four-foot rear- and side-yard setbacks and 800 square feet each in floor area are precluded.

- b. The daylight plane starts at a height of eight feet and six inches (8'-6") at the property line and proceeds inward at 6:12 slope. At eleven feet and six inches from the property line, the daylight plane increases to twenty-three feet (23') and proceeds inward at 6:12 slope. All appurtenances, including chimneys, vents and antennas, shall be within the daylight plane. The daylight plane is not applied to a side or rear property line when it abuts a public alley or public street. However, the daylight plane shall not be enforced if it prohibits two single-family units with 4-foot rear and side-yard setbacks and 800 square feet each in floor area. Notwithstanding this requirement, the maximum required rear and side yard setback shall be no less than four feet.



I. Basements.

Basements shall be regulated as follows:

- a. Basements shall not extend beyond the floor area of the first floor of the main or accessory structure above;
- b. Light wells, ingress and egress wells, patio wells, and other similar elements shall not be permitted within a required setback yards.
- c. Light wells, ingress and egress wells, patio wells, and other similar elements shall utilize vertical retaining walls. Contour graded slopes, which expose the basement as a story, are prohibited.
- d. Light wells, ingress and egress wells, patio wells, and other similar elements shall be at least seventy-five (75) percent open in area to light and air above.

J. Outdoor Kitchen, Barbeques, Fireplaces, and Swimming Pools.

Outdoor kitchen barbeques, fireplaces, and swimming pools shall be subject to zoning standards of the underlying zoning district.

K. Parking.

- a. One covered parking space for each unit with minimum dimensions of nine (9) feet in width and eighteen (18) feet in depth is required. Uncovered parking shall be allowed only to the extent necessary to facilitate the construction of two units that each is 800 square feet in size.
- b. No parking is required in either of the following instances:
 - 1) The subject parcel is located within one-half mile walking distance of either a high-quality transit corridor or a major transit stop.
 - 2) A car share vehicle program is located within one block of the parcel.

L. Signs.

Signs shall be subject to zoning standards of the underlying zoning district.

M. Fences.

Fences shall be subject to zoning standards of the underlying zoning district.

N. Nonconforming Use Regulations.

Corrections on nonconforming zoning conditions shall not be required for the ministerial approval of a parcel map application for the creation of a lot split pursuant to SB 9.

O. Accessory Structures.

Accessory structures shall be subject to zoning standards of the underlying zoning district.

3. SB 9 – Objective Design Standards

A. Plate Heights.

- a. Plate height is limited to 9’-3” for the first floor except that an entry porch may have a maximum plate height of 12’ and a garage may have a maximum plate height of 10’.
- b. Plate height is limited to 8’-3” for the second floor.

B. Second Floor Windows.

Second floor windows shall be regulated as follows:

- a. On elevations that are facing interior side property lines, a minimum sill height of 4’-6” is required for all second-floor windows.

- b. On elevations that are facing rear property lines adjacent to a neighboring property, a minimum sill height of the California Building Code (CBC) minimum required sill height for egress or light and ventilation shall be provided.
- c. For any windows within ten feet of rear or interior side property lines adjacent to a neighboring property, the maximum second story window size shall be no larger than the CBC minimum required size.

C. Balcony and Rooftop Deck.

Balconies and rooftop decks shall be regulated as follows:

- a. Balconies and/or roof decks are prohibited when facing interior side yards and rear yard adjacent to a neighboring property.
- b. A balcony or a roof deck is allowed only on front elevations facing public and private streets; and a minimum of twenty-five (25) feet side setback shall be provided from the side property lines to the edge of the balcony or roof deck.
- c. The maximum depth for any balconies and rooftop decks shall be four (4) feet.
- d. The maximum size for any balconies and rooftop decks shall be 25 square feet.
- e. Screening devices shall include solid railing walls instead of open railings, and latticework above the required railing height to obscure sight lines from a balcony or a roof deck.

D. Screening Vegetation.

Screening vegetation shall be regulated as follows:

- a. Screening vegetation is required in either of the following situations:
 - 1) Within lines of sight for any proposed balcony and roof deck projected to any side property line, screening vegetation shall be planted.
 - 2) Within lines of sight from each jamb of any windows with a sill height of less than 4'-6" at second floor, screening vegetations shall be planted.
- b. Any required screening vegetation shall be evergreen species reaching to at least fifteen feet through twenty feet in height at their mature age with permanent irrigation and shall be maintained for the life of the project.
- c. At least twenty-four-inch (24-inch) box screening vegetation shall be planted prior to occupancy of the residence.

E. Landscaping.

Onsite landscaping shall be regulated as follows:

- a. Trees selected from the [Street Tree Planting List](#) are required to be planted on site following the standards below:
 - 1) For lots five thousand (5,000) square feet in size or greater, at least two, Category II trees shall be planted with at least one, Category II tree planted in the front yard. For each additional five thousand (5,000) square-foot lot size, one more Category II tree shall be planted onsite.
 - 2) For lots with less than five thousand (5,000) square feet in size, at least one, Category II tree or two Category III trees shall be planted onsite.
 - 3) If there are existing trees onsite, an arborist report, prepared by an ISA certified arborist, may be required to determine the equivalent value of existing trees compared to the Street Tree Planting List.
- b. Water Efficiency Landscape Ordinance (WELO) and its submittal requirements apply to the following projects:
 - 1) New construction projects with new or rebuilt landscape areas that exceed five hundred (500) square feet.
 - 2) Remodels and/or additions to existing single-family houses with new or rebuilt landscape areas that exceed two thousand five hundred (2,500) square feet.

F. Construction Materials and Colors.

All construction materials shall be long-term (30 years) durability and appearance, as per manufacture's specifications. Specifically, the construction materials shall be subject to the following:

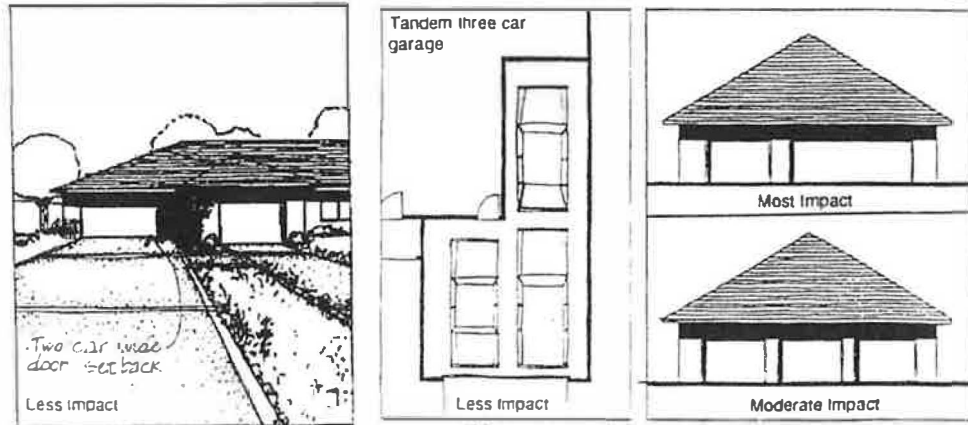
- a. Foam trim with a painted stucco finish is prohibited throughout the structure(s).
- b. Mixing roof materials and colors are not allowed except for curved dormers and shed roof structures.
- c. Exterior finish including wainscoting used for one structure shall be no greater than three different materials. Each material may be a different color, but every part of exterior finish comprised of a single material shall be a single color.
- d. Window and door trims shall be limited to one material and one color. The material and color shall be the same for both windows and door trims.

- e. Architectural detailing shall be incorporated such as window and door trim, belly bands, cornices, shutters, column accents to the entry porch, and railings in an integrated composition.

G. Site and Building Design.

The site and building design shall be subject to the following standards to create visual variety and avoid a large-scale appearance:

- a. Driveway shall be designed per the following standards:
 - 1) Each property is prohibited from more than one curb cut or driveway accessing a street unless the subject site is fronting a City's Arterial or Collector road.
 - 2) A curb cut or driveway width connecting to a public or private street shall be no greater than twenty-two (22) feet.
 - 3) For corner lots, driveway connections shall be at least thirty (30) feet from the intersecting corner property lines at the street intersection.
 - 4) If the project impacts a street shoulder, then it shall be improved accordingly per City's Street Shoulder Improvement Policy.
- b. Façade articulation shall be provided with at least six corners on the first floor.
- c. Building entrances shall have a roofed projection (such as a porch) or recess with a minimum depth of at least five feet and a minimum horizontal area of thirty (30) square feet. Any corners within the building entrances shall not count as part of the corners as required above.
- d. Downspout shall be painted to match or accent the exterior finish color.
- e. Attached garage shall be subject to the following standards:
 - 1) Attached garage shall be recessed at least one foot from the front elevation wall plane of the residence.
 - 2) When a three-car attached garage is proposed, visual impact shall be reduced by, (i) using a tandem parking layout inside a two-car-wide garage; (ii) using three single-car-wide garage doors instead of a double and a single garage door; or (iii) setting back one of the doors from the others.



- f. Windows and doors shall either be trimmed or recessed.
 - 1) When trimmed, the trim material shall not be less than 3.5" in width by 3/4" in depth when protruding from the wall.
 - 2) When recessed, the building primary siding material shall cover the recessed edge faces and wrap toward the interior face of the window glazing or door face by not less than 2 inches in depth.
- g. The design of roof shall be regulated as follows:
 - 1) No more than two types of roof forms shall be used.
 - 2) No more than two roof pitches shall be used.
- h. First floor finished elevation shall be no more than twenty-two (22) inches above existing natural grade on a non-hillside lot. In a flood zone or flood way, the first-floor level may be set at the minimum allowed above grade to meet code requirements.
- i. For a hillside property, a stepped foundation is required where the average slope beneath the proposed structure is 10% or greater.
- j. No permanent noise generating mechanical equipment shall be located in any required side and rear yards. The placement and operation of any such equipment must be consistent with the City's Noise Ordinance.
- k. No exterior staircases above grade shall be allowed.
- l. Except for pathway lighting, outdoor lighting fixtures shall be downward facing and fully shielded or recessed.
- m. All new utility services and relocated existing utility services are placed underground pursuant to Chapter 12.68 of Municipal Code.

APPENDIX 2
STANDARDS ADOPTED PURSUANT TO SB 9 AS
APPENDIX D-2 TO THE SFRDG

1) **Objective Zoning/Subdivision/Design Standards.** SB 9 authorizes the City to impose objective zoning standards, objective subdivision standards, and objective design review standards applicable to structures and parcels created by an urban lot split that do not conflict with SB 9 or preclude the construction of two 800 square foot minimum primary dwelling units. Accordingly, all such existing objective City standards shall apply to SB 9 projects, in addition to any additional objective standards that the City may adopt.

2) **Maximum Units and Lots.** The City shall not approve more residential dwelling units or lots for any SB 9 project than required under state law, as set forth in Appendix 3 of City Council Resolution No. 2021-57.

3) **Parking.** SB 9 allows the City to choose to require parking consistent with the terms thereof. Accordingly, the City shall require off-street parking of one space per unit, unless the lot is located within one-half mile walking distance of either a high-quality transit corridor, as defined in subdivision (b) of Section 21155 of the Public Resources Code, or a major transit stop, as defined in Section 21064.3 of the Public Resources Code, or unless there is a car share vehicle located within one block of the parcel.

4) **Setbacks.** SB 9 allows the City to choose to require setbacks consistent with the terms thereof. Accordingly, the City shall require setbacks of not less than four feet from the side and rear lot lines in all SB 9 projects, except as otherwise specified in SB 9.

5) **Applicant Residency; Short-Term Rental.** SB 9 requires every applicant for a ministerial lot split to provide an affidavit confirming that the applicant intends to reside in one of the SB 9 units for three years. The City shall enforce this requirement. All units created under SB 9 shall be subject to the City's short-term rental ordinance, codified at Chapter 14.30 of the Los Altos Municipal Code.

6) **Impact/Development Fees.** Applicants for SB 9 projects shall pay all applicable development impact fees imposed by the City.

7) **Historic Properties.** An SB 9 project may not be located at a property included on the State Historic Resources Inventory, as defined in Section 5020.1 of the Public Resources Code, or at a site that is designated by the City as a historic landmark or listed in the City's historic resource inventory, pursuant to Los Altos Municipal Code Chapter 12.44.

8) **Unavoidable Adverse Impacts.** SB 9 authorizes the Building Official to deny a project upon written findings, based on a preponderance of evidence, that the project will have a specific, adverse impact upon public health and safety or the physical environment for which there is no

feasible method to mitigate or avoid. The Building Official shall assess every SB 9 application for such unavoidable adverse impacts and shall, in consultation with the City Attorney, deny a project if an unavoidable adverse impact is identified. The Building Official's determination shall be final. For greater clarity, a project would have a specific, adverse impact on the physical environment if it would have an unavoidable impact on historic resources, as defined in CEQA Guidelines Section 15064.5.

APPENDIX 3 INTERPRETIVE GUIDANCE DOCUMENT

SB 9 applies in “single-family residential zones.” The term “single-family residential zone” as used in Government Code Sections 65852.21(a) and 66411.7(a)(3)(A) is not defined. Within the City of Los Altos, the term “single-family residential zone” shall be construed to mean an R1 zoning designation.

The City’s application checklist for single-family homes would require applicants to indicate in writing whether the application is being brought pursuant to SB 9.

SB 9 allows for ministerial approval of certain “new” residential dwelling units. The term “new unit” as used in Government Code Section 65852.21(i)(1) is not defined, but provisions of SB 9 appear to assume that a new residential dwelling unit could include a reconstructed residential dwelling unit. Therefore, the term “new unit,” as used in SB 9, shall be construed to mean any of the following:

- (1) A new residential dwelling unit (other than an accessory dwelling unit)¹ proposed to be constructed on previously vacant ground;
- (2) A new residential dwelling unit (other than an accessory dwelling unit) constructed in place of a demolished residential dwelling unit;²
- (3) A residential dwelling unit (other than an accessory dwelling unit) reconstructed to the substantial equivalence of new.

As used above, a residential dwelling unit is reconstructed to the “substantial equivalence of new” if any of the following three sets of criteria apply:

- (1) The residential dwelling unit is stripped to the studs and/or foundation and reconstructed;
- (2) A substantial remodel is proposed in connection with a substantial addition so that the home will have the appearance of a new home and a remaining physical and economic life comparable to that of a new home. These criteria shall be deemed to be met if all the following apply:
 - a. An addition is proposed to an existing residential dwelling unit equal to or greater in size than 50% of the floor area of the existing residential dwelling unit (excluding

¹ Reference to accessory dwelling units here is not meant to exclude construction of such units as allowed under Government Code Sections 65852.2 and 65852.22. Rather, the intent here is merely to define the term “new unit” for purposes of Section 65852.21(i)(1).

² Nothing herein is intended to exempt an applicant from the requirements of Government Code Section 65852.21(a)(3)-(5).

- garages, accessory dwelling units, other accessory structures, crawl spaces, unfinished attics, and basement floor areas);
 - b. At least 25% (or more, if necessary to bring the structure into compliance with applicable building codes) of the existing roof will be demolished, repaired, or replaced, and the entire roof covering will be replaced;
 - c. At least 25% (or more, if necessary to bring the structure into compliance with applicable building codes) of the existing façade will be demolished, repaired, or replaced, the entire façade will be repainted or otherwise resurfaced, and the entire façade for the residential dwelling unit in its completed condition is designed to match;
 - d. All existing floor coverings and plumbing fixtures will be removed and, as applicable, replaced;
 - e. Sprinklers will be installed if not already provided;
 - f. At least 25% (or more, if necessary to bring the structure into compliance with applicable building codes) of existing drywall or other wall coverings will be demolished, repaired, or replaced, and all retained wall covering will be repainted or otherwise resurfaced; and
 - g. All exterior doors and windows will be replaced.
- (3) All the major systems of the home are repaired or replaced so that the home will have the appearance of a new home and a remaining physical and economic life comparable to that of a new home. These criteria shall be deemed to be met if all the following apply:
- a. All existing plumbing, electrical, and HVAC systems will be replaced or rehabilitated consistent with modern building standards to ensure an estimated remaining physical life of at least 50 years for plumbing and electrical systems and 20 years for HVAC systems; and
 - b. The circumstances described in Item Nos. 2(b) to 2(g) apply.

For greater clarity, a lot developed under SB 9 may contain no more than four total residential dwelling units. These shall be limited to the following:

- (1) On a lot that is not split pursuant to Government Code Section 66411.7 and for which an existing primary residential dwelling unit is retained: one existing primary residential dwelling unit, one new primary residential dwelling unit, one accessory dwelling unit, and one junior accessory dwelling unit, for four units in total.
- (2) On a lot that is not split pursuant to Government Code Section 66411.7 and for which an existing primary dwelling unit does not exist or is demolished or reconstructed: two new primary residential dwelling units, one accessory dwelling unit, and one junior accessory dwelling unit, for four units in total.
- (3) On a lot that is split pursuant to Government Code section 66411.7: not more than two existing primary and/or accessory residential dwelling units (including junior accessory

dwelling units) per newly created lot and not more than two new primary residential dwelling units per newly created lot, for an ultimate total of not more than two residential dwelling units per newly created lot and four residential dwelling units total. In lieu of two new primary residential dwelling units on each newly created lot, an applicant may propose one new primary residential dwelling unit together with either a new accessory dwelling unit or a new junior accessory dwelling unit, provided that the applicant submits a written statement with the application for the housing development project indicating the applicant's understanding that providing the accessory dwelling unit or junior accessory dwelling unit will prevent the applicant from constructing a second primary residential dwelling unit. It is the intent of this provision that not more than four units may be constructed per original lot.

March 22, 2022

City Council, Planning Commission, Community Development

RE: City response and plan to address SB9

We understand that the City is amending its “Objective Standards for Single Family Residences” to accommodate the mandate of SB9 from Sacramento.

We have lived in Los Altos for over 40 years, and the last 20 years on a single lane privately owned street that used to be the driveway for the historical house located at the end and which now serves a total of eight houses.

Our experience with dealing with the City Planning Department over the last few years has not endeared them to us. Staff appear to accommodate developers at the expense of residents, using the “standards” to allow development by people who do not become residents of the community.

One fact that has become evident and must be considered when looking at revising the standards for SB9: Not all Los Altos streets are standard size. Although you may allow subdivision of a lot or building ADUs with minimal setback, the streets bear the brunt of the increased housing density.

In our case, the size of our street (15 feet wide) should have been used to modify plans, but it was not. When the neighbors of our street and adjacent streets appeared in unison at a meeting regarding a proposed second story/three level project, (6500 square feet of living space), the meeting was abruptly terminated without allowing comment by our group in order to allow the architect “more time”. Ultimately the project was approved, and although the Design Review Commission advised conditions be placed on the project due to street size, none were, because it was reviewed by a different process when submitted as a one story with ADU thus by-passing the Design Review Commission with no public discussion.

Our point is that the nature of the street/neighborhood is an important consideration in design and function. There are many “unusual” streets such as our own, (including non-standard size, privately owned, and flag lots), where the nature of the street must be considered with respect to the impact of development along these streets. Our neighborhood feels disenfranchised by the City Planning staff based on their response to us.

We request that you specify that non-standard street size, character, and ownership be considered as factors that would trigger open public discussion between the neighborhood and the developer, that limitations are allowed and that such streets are exempted from the SB9 mandate.

Sincerely

Kathy Beck

Bruce Beck

420 Yerba Santa Ave

Jia Liu

Subject: FW: Invitation to see why we are making our request was Re: Request for an addition to the Objective Standards for Single-Family Residences

From: Monica Waldman <contact.mlw@gmail.com>

Sent: Friday, March 25, 2022 4:32 PM

To: Los Altos Planning Commission <PlanningCommission@losaltosca.gov>

Cc: Peter Mills <petermills@me.com>

Subject: Invitation to see why we are making our request was Re: Request for an addition to the Objective Standards for Single-Family Residences

Dear Members of the Los Altos Planning Commission,

Peter and I hope some if not all members of the planning Commission could visit our street to understand our concerns and give us guidance towards making our case in the revised Objective Standards for Single-Family Residences. As a Commissioner myself I know all the Commissioners could not visit at the same time, but we would appreciate a few of you visiting and providing feedback. Please let us know if you have any availability over the next week or two.

Thank you,
Monica

On Tuesday, February 1, 2022, Monica Waldman <contact.mlw@gmail.com> wrote:

Dear Members of the Los Altos Planning Commission,

I am a resident of the cul-de-sac portion of Solana Drive in Los Altos. I read Bruce Barton's "Prefab home draws neighbors' outcry over design" article in the January 25th, 2022 Los Altos Town Crier and am concerned because the situation described in the piece is similar to a situation on my street. I hope that the City will find a way to alleviate similar situations going forward.

My section of Solana Drive has homes on one side of the street with the backyards of homes on neighboring N. Avalon Drive facing Solana Drive. There is a sloped strip of public land between N. Avalon Drive's backyards and Solana Drive's road surface. This makes N. Avalon Drive's backyards higher than street level on the Solana Drive side, creating a similar situation to the homes mentioned in the Town Crier article.

Recently an ADU was added to 127 N. Avalon Drive that is 10 feet from the back fence. While the addition of an ADU and the distance from the back fence are legal, the ADU looms over Solana Drive due to the difference in street height. 65 N. Avalon Drive was rebuilt with numerous lights on the back of the house that, because of the grade difference of the two streets, illuminates not only their backyard but shines onto Solana Drive. I believe the work was done to code, but no consideration was given to the grade difference between the streets and the effect of one house's lighting on its neighboring street.

With the potential of additional ADUs and SB9-related lot subdivisions on N. Avalon Drive, I would like to request that the City include screening landscaping requirements in the next revision of the Objective Standards for Single-Family Residences for ADUs and SB9-related subdivisions built within 10 feet of a property line when the lot is on an incline to ensure the privacy of neighboring homes.

I am including a link to the Los Altos Town Crier article for those who have not read it:

https://www.losaltosonline.com/news/prefab-home-draws-neighbors-outcry-over-design/article_0b97328e-7e17-11ec-b28f-6baed26d214f.html

Thank you,

California Department of Housing and Community Development

SB 9 Fact Sheet

On the Implementation of Senate Bill 9 (Chapter 162, Statutes of 2021)



Housing Policy Development Division
March 2022

This Fact Sheet is for informational purposes only and is not intended to implement or interpret SB 9. HCD does not have authority to enforce SB 9, although violations of SB 9 may concurrently violate other housing laws where HCD does have enforcement authority, including but not limited to the laws addressed in this document. As local jurisdictions implement SB 9, including adopting local ordinances, it is important to keep these and other housing laws in mind. The Attorney General may also take independent action to enforce SB 9. For a full list of statutes over which HCD has enforcement authority, visit HCD's [Accountability and Enforcement webpage](#).

Executive Summary of SB 9

Senate Bill (SB) 9 (Chapter 162, Statutes of 2021) requires ministerial approval of a housing development with no more than two primary units in a single-family zone, the subdivision of a parcel in a single-family zone into two parcels, or both. SB 9 facilitates the creation of up to four housing units in the lot area typically used for one single-family home. SB 9 contains eligibility criteria addressing environmental site constraints (e.g., wetlands, wildfire risk, etc.), anti-displacement measures for renters and low-income households, and the protection of historic structures and districts. Key provisions of the law require a local agency to modify or eliminate objective development standards on a project-by-project basis if they would prevent an otherwise eligible lot from being split or prevent the construction of up to two units at least 800 square feet in size. For the purposes of this document, the terms “unit,” “housing unit,” “residential unit,” and “housing development” mean primary unit(s) unless specifically identified as an accessory dwelling unit (ADU) or junior ADU or otherwise defined.

Single-Family Residential Zones Only

(Reference: Gov. Code, §§ 65852.21, subd. (a); 66411.7 subd. (a)(3)(A))

The parcel that will contain the proposed housing development or that will be subject to the lot split must be located in a single-family residential zone. Parcels located in multi-family residential, commercial, agricultural, mixed-use zones, etc., are not subject to SB 9 mandates even if they allow single-family residential uses as a permitted use. While some zones are readily identifiable as single-family residential zones (e.g., R-1 “Single-Family Residential”), others may not be so obvious. Some local agencies have multiple single-family zones with subtle distinctions between them relating to minimum lot sizes or allowable uses. In communities where there may be more than one single-family residential zone, the local agency should carefully review the zone district descriptions in the zoning code and the land use designation descriptions in the Land Use Element of the General Plan. This review will enable the local agency to identify zones whose primary purpose is single-family residential uses and which are therefore subject to SB 9. Considerations such as minimum lot sizes, natural features such as hillsides, or the permissibility of keeping horses should not factor into the determination.

Residential Uses Only

(Reference: Gov. Code, §§ 65852.21, subd. (a))

SB 9 concerns only proposed housing developments containing no more than two residential units (i.e., one or two). The law does not otherwise change the allowable land uses in the local agency's single-family residential zone(s). For example, if the local agency's single-family zone(s) does not currently allow commercial uses such as hotels or restaurants, SB 9 would not allow such uses.

Ministerial Review

(Reference: Gov. Code, §§ 65852.21, subd. (a); 66411.7, subds. (a), (b)(1))

An application made under SB 9 must be considered ministerially, without discretionary review or a hearing. Ministerial review means a process for development approval involving no personal judgment by the public official as to the wisdom of carrying out the project. The public official merely ensures that the proposed development meets all the applicable objective standards for the proposed action but uses no special discretion or judgment in reaching a decision. A ministerial review is nearly always a "staff-level review." This means that a staff person at the local agency reviews the application, often using a checklist, and compares the application materials (e.g., site plan, project description, etc.) with the objective development standards, objective subdivision standards, and objective design standards.

Objective Standards

(Reference: Gov. Code, §§ 65852.21, subd. (b); 66411.7, subd. (c))

The local agency may apply objective development standards (e.g., front setbacks and heights), objective subdivision standards (e.g., minimum lot depths), and objective design standards (e.g., roof pitch, eave projections, façade materials, etc.) as long as they would not physically preclude either of the following:

Up to Two Primary Units. The local agency must allow up to two primary units (i.e., one or two) on the subject parcel or, in the case of a lot split, up to two primary units on each of the resulting parcels.

Units at least 800 square feet in size. The local agency must allow each primary unit to be at least 800 square feet in size.

The terms "objective zoning standards," "objective subdivision standards," and "objective design review standards" mean standards that involve no personal or subjective judgment by a public official and are uniformly verifiable by reference to an external and uniform benchmark or criterion available and knowable by both the development applicant or proponent and the public official prior to submittal. Any objective standard that would physically preclude either or both of the two objectives noted above must be modified or

waived by the local agency in order to facilitate the development of the project, with the following two exceptions:

Setbacks for Existing Structures. The local agency may not require a setback for an existing structure or for a structure constructed in the same location and to the same dimensions as an existing structure (i.e., a building reconstructed on the same footprint).

Four-Foot Side and Rear Setbacks. SB 9 establishes an across-the-board maximum four-foot side and rear setbacks. The local agency may choose to apply a lesser setback (e.g., 0-4 feet), but it cannot apply a setback greater than four feet. The local agency cannot apply existing side and rear setbacks applicable in the single-family residential zone(s). Additionally, the four-foot side and rear setback standards are not subject to modification. (Gov. Code, §§ 65852.21, subd. (b)(2)(B); 66411.7, subdivision (c)(3).)

One-Unit Development

(Reference: Gov. Code, §§ 65852.21, subd. (a); 65852.21, subd. (b)(2)(A))

SB 9 requires the ministerial approval of either one or two residential units. Government Code section 65852.21 indicates that the development of just one single-family home was indeed contemplated and expected. For example, the terms “no more than two residential units” and “up to two units” appear in the first line of the housing development-related portion of SB 9 (Gov. Code, § 65852.21, subd. (a)) and in the line obligating local agencies to modify development standards to facilitate a housing development. (Gov. Code, § 65852.21, subd. (b)(2)(A).)

Findings of Denial

(Reference: Gov. Code, §§ 65852.21, subd. (d); 66411.7, subd. (d))

SB 9 establishes a high threshold for the denial of a proposed housing development or lot split. Specifically, a local agency’s building official must make a written finding, based upon a preponderance of the evidence, that the proposed housing development would have a specific, adverse impact, as defined in Government Code section 65589.5, subdivision (d)(2), upon public health and safety or the physical environment and for which there is no feasible method to satisfactorily mitigate or avoid the specific, adverse impact. “Specific, adverse impact” means a significant, quantifiable, direct, and unavoidable impact, based on objective, identified written public health or safety standards, policies, or conditions as they existed on the date the application was deemed complete. (Gov. Code, § 65589.5, subd. (d)(2).)

Environmental Site Constraints

(Reference: Gov. Code, §§ 65852.21, subd. (a)(2) and (a)(6); 66411.7, subd. (a)(3)(C) and (a)(3)(E))

A proposed housing development or lot split is not eligible under SB 9 if the parcel contains any of the site conditions listed in Government Code section 65913.4, subdivision (a)(6)(B-K). Examples of conditions that may disqualify a project from using SB 9 include the presence of farmland, wetlands, fire hazard areas, earthquake hazard areas, flood risk areas, conservation areas, wildlife habitat areas, or conservation easements. SB 9 incorporates by reference these environmental site constraint categories that were established with the passing of the Streamlined Ministerial Approval Process (SB 35, Chapter 366, Statutes of 2017). Local agencies may consult HCD's [Streamlined Ministerial Approval Process Guidelines](#) for additional detail on how to interpret these environmental site constraints.

Additionally, a project is not eligible under SB 9 if it is located in a historic district or property included on the State Historic Resources Inventory or within a site that is designated or listed as a city or county landmark or as a historic property or district pursuant to a city or county ordinance.

California Environmental Quality Act (CEQA)

Reference: Gov. Code, §§ 65852.21, subd. (j); 66411.7, subd. (n))

Because the approval of a qualifying project under SB 9 is deemed a ministerial action, CEQA does not apply to the decision to grant an application for a housing development or a lot split, or both. (Pub. Resources Code, § 21080, subd. (b)(1) [CEQA does not apply to ministerial actions]; CEQA Guidelines, § 15268.) For this reason, a local agency must not require an applicant to perform environmental impact analysis under CEQA for applications made under SB 9. Additionally, if a local agency chooses to adopt a local ordinance to implement SB 9 (instead of implementing the law directly from statute), the preparation and adoption of the ordinance is not considered a project under CEQA. In other words, the preparation and adoption of the ordinance is statutorily exempt from CEQA.

Anti-Displacement Measures

(Reference: Gov. Code, §§ 65852.21, subd. (a)(3); 66411.7, subd. (a)(3)(D))

A site is not eligible for a proposed housing development or lot split if the project would require demolition or alteration of any of the following types of housing: (1) housing that is subject to a recorded covenant, ordinance, or law that restricts rents to levels affordable to persons and families of moderate, low, or very low income; (2) housing that is subject to any form of rent or price control through a public entity's valid exercise of its police power; or (3) housing that has been occupied by a tenant in the last three years.

Lot Split Requirements

(Reference: Gov. Code, § 66411.7)

SB 9 does not require a local agency to approve a parcel map that would result in the creation of more than two lots and more than two units on a lot resulting from a lot split under Government Code section 66411.7. A local agency may choose to allow more than two units, but it is not required to under the law. A parcel may only be subdivided once under Government Code section 66411.7. This provision prevents an applicant from pursuing multiple lot splits over time for the purpose of creating more than two lots. SB 9 also does not require a local agency to approve a lot split if an adjacent lot has been subject to a lot split in the past by the same property owner or a person working in concert with that same property owner.

Accessory Dwelling Units

(Reference: Gov. Code, §§ 65852.21, subd. (j); 66411.7, subd. (f))

SB 9 and ADU Law (Gov. Code, §§ 65852.2 and 65858.22) are complementary. The requirements of each can be implemented in ways that result in developments with both “SB 9 Units” and ADUs. However, specific provisions of SB 9 typically overlap with State ADU Law only to a limited extent on a relatively small number of topics. Treating the provisions of these two laws as identical or substantially similar may lead a local agency to implement the laws in an overly restrictive or otherwise inaccurate way.

“Units” Defined. The three types of housing units that are described in SB 9 and related ADU Law are presented below to clarify which development scenarios are (and are not) made possible by SB 9. The definitions provided are intended to be read within the context of this document and for the narrow purpose of implementing SB 9.

Primary Unit. A primary unit (also called a residential dwelling unit or residential unit) is typically a single-family residence or a residential unit within a multi-family residential development. A primary unit is distinct from an ADU or a Junior ADU. Examples of primary units include a single-family residence (i.e., one primary unit), a duplex (i.e., two primary units), a four-plex (i.e., four primary units), etc.

Accessory Dwelling Unit. An ADU is an attached or a detached residential dwelling unit that provides complete independent living facilities for one or more persons and is located on a lot with a proposed or existing primary residence. It includes permanent provisions for living, sleeping, eating, cooking, and sanitation on the same parcel on which the single-family or multifamily dwelling is or will be situated.

Junior Accessory Dwelling Unit. A Junior ADU is a unit that is no more than 500 square feet in size and contained entirely within a single-family residence. A Junior ADU may include separate sanitation facilities or may share sanitation facilities with the existing structure.

The terms “unit,” “housing unit,” “residential unit,” and “housing development” mean primary unit(s) unless specifically identified as an ADU or Junior ADU or otherwise defined. This distinction is critical to successfully implementing SB 9 because state law applies different requirements (and provides certain benefits) to ADUs and Junior ADUs that do not apply to primary units.

Number of ADUs Allowed. ADUs can be combined with primary units in a variety of ways to achieve the maximum unit counts provided for under SB 9. SB 9 allows for up to four units to be built in the same lot area typically used for a single-family home. The calculation varies slightly depending on whether a lot split is involved, but the outcomes regarding total maximum unit counts are identical.

Lot Split. When a lot split occurs, the local agency must allow up to two units on each lot resulting from the lot split. In this situation, all three unit types (i.e., primary unit, ADU, and Junior ADU) count toward this two-unit limit. For example, the limit could be reached on each lot by creating two primary units, or a primary unit and an ADU, or a primary unit and a Junior ADU. By building two units on each lot, the overall maximum of four units required under SB 9 is achieved. (Gov. Code, § 66411.7, subd. (j).) Note that the local agency may choose to allow more than two units per lot if desired.

No Lot Split. When a lot split has not occurred, the lot is eligible to receive ADUs and/or Junior ADUs as it ordinarily would under ADU law. Unlike when a project is proposed following a lot split, the local agency must allow, in addition to one or two primary units under SB 9, ADUs and/or JADUs under ADU Law. It is beyond the scope of this document to identify every combination of primary units, ADUs, and Junior ADUs possible under SB 9 and ADU Law. However, in no case does SB 9 require a local agency to allow more than four units on a single lot, in any combination of primary units, ADUs, and Junior ADUs.

See HCD’s [ADU and JADU webpage](#) for more information and resources.

Relationship to Other State Housing Laws

SB 9 is one housing law among many that have been adopted to encourage the production of homes across California. The following represent some, but not necessarily all, of the housing laws that intersect with SB 9 and that may be impacted as SB 9 is implemented locally.

Housing Element Law. To utilize projections based on SB 9 toward a jurisdiction’s regional housing need allocation, the housing element must: 1) include a site-specific inventory of sites where SB 9 projections are being applied, 2) include a nonvacant sites analysis demonstrating the likelihood of redevelopment and that the existing use will not constitute an impediment for additional residential use, 3) identify any governmental constraints to the use of SB 9 in the creation of units (including land use controls, fees,

California Department of Housing and Community Development – SB 9 Fact Sheet

and other exactions, as well as locally adopted ordinances that impact the cost and supply of residential development), and 4) include programs and policies that establish zoning and development standards early in the planning period and implement incentives to encourage and facilitate development. The element should support this analysis with local information such as local developer or owner interest to utilize zoning and incentives established through SB 9. Learn more on HCD's [Housing Elements webpage](#).

Housing Crisis Act of 2019. An affected city or county is limited in its ability to amend its general plan, specific plans, or zoning code in a way that would improperly reduce the intensity of residential uses. (Gov. Code, § 66300, subd. (b)(1)(A).) This limitation applies to residential uses in all zones, including single-family residential zones. “Reducing the intensity of land use” includes, but is not limited to, reductions to height, density, or floor area ratio, new or increased open space or lot size requirements, new or increased setback requirements, minimum frontage requirements, or maximum lot coverage limitations, or any other action that would individually or cumulatively reduce the site’s residential development capacity. (Gov. Code, § 66300, subd. (b)(1)(A).)

A local agency should proceed with caution when adopting a local ordinance that would impose unique development standards on units proposed under SB 9 (but that would not apply to other developments). Any proposed modification to an existing development standard applicable in the single-family residential zone must demonstrate that it would not result in a reduction in the intensity of the use. HCD recommends that local agencies rely on the existing objective development, subdivision, and design standards of its single-family residential zone(s) to the extent possible. Learn more about [Designated Jurisdictions Prohibited from Certain Zoning-Related Actions](#) on HCD’s website.

Housing Accountability Act. Protections contained in the Housing Accountability Act (HAA) and the Permit Streaming Act (PSA) apply to housing developments pursued under SB 9. (Gov. Code, §§ 65589.5; 65905.5; 65913.10; 65940 et seq.) The definition of “housing development project” includes projects that involve no discretionary approvals and projects that include a proposal to construct a single dwelling unit. (Gov. Code, § 65905.5, subd. (b)(3).) For additional information about the HAA and PSA, see HCD’s [Housing Accountability Act Technical Assistance Advisory](#).

Rental Inclusionary Housing. Government Code section 65850, subdivision (g), authorizes local agencies to adopt an inclusionary housing ordinance that includes residential rental units affordable to lower- and moderate-income households. In certain circumstances, HCD may request the submittal of an economic feasibility study to ensure the ordinance does not unduly constrain housing production. For additional information, see HCD’s [Rental Inclusionary Housing Memorandum](#).