



## PLANNING COMMISSION MEETING AGENDA

Thursday, April 24, 2025 at 6:30 PM

Municipal Council Chambers, 4303 Lawrenceville Road

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**1. CALL MEETING TO ORDER**

**2. INVOCATION**

**3. PLEDGE OF ALLEGIANCE**

**4. APPROVAL OF MINUTES**

A. Approval of Minutes from 3.27.25

**5. NEW BUSINESS**

**A. Case #R24-003** – The Revive Land Group, LLC c/o Mahaffey Pickens Tucker, LLP filed an application requesting to rezone approximately 27.85+/- acres located at Twin Lakes Road Loganville, GA 30052, Map/Parcel #LG140020, Walton County, GA. The property owner is Twin Lakes Road LLC. The current zoning is CH and the requested zoning is RM-6 with the proposed development of 149 residential units.

**B. Case #R25-004** – Chris Barber, filed an application to rezone 1.07+/- acres located at 220 CS Floyd Road, Loganville, GA 30052. Map/Parcel #LG050094, Walton County, GA. The property owner is Chris Barber. The current zoning is O&I. The requested zoning is R-44 with no proposed development.

**C. Case #A25-005**– Diane Atha Clay c/o Prater Consulting LLC, requests annexation of property located at 4159 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220011A00, Walton County, GA. 2.00+/- acres.

**D. Case #R25-006** – Diane Atha Clay c/o Prater Consulting LLC, filed an application to rezone 2.00+/- acres located at 4159 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220011A00, Walton County, GA. The property owner is Diane Atha Clay. The current zoning is A-1. The requested zoning is R-44 with no proposed development.

**E. Case #A25-007** – Eddie H Atha and Diane Atha Clay c/o Prater Consulting LLC, requests annexation of property located at 4139 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220011, Walton County, GA. 2.00+/- acres.

**F. Case #R25-008** – Eddie H Atha and Diane Atha Clay c/o Prater Consulting LLC, filed an application to rezone 2.00+/- acres located at 4139 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220011, Walton County, GA. The property owner is Eddie H Atha and Diane Atha Clay. The current zoning is A-1. The requested zoning is R-44 with no proposed development.

**G. Case #A25-009** – Eddie H Atha and Diane Atha Clay c/o Prater Consulting LLC, requests annexation of property located at 0 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220011B00, Walton County, GA. 17.57+/- acres.

**H. Case #R25-010** – Eddie H Atha and Diane Atha Clay c/o Prater Consulting LLC, filed an application to rezone 17.57+/- acres located at 0 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220011B00, Walton County, GA. The property owner is Eddie H Atha and Diane Atha Clay. The current zoning is R-16 / A-1. The requested zoning is RM-4 for a multi-family development.

**I. Case #A25-011** – Eddie H Atha and Regina M. Atha c/o Prater Consulting LLC, requests annexation of property located at 4109 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220010, Walton County, GA. 4.103+/- acres.

- J. **Case #R25-012** – Eddie H Atha and Regina M. Atha c/o Prater Consulting LLC, filed an application to rezone 4.103+/- acres located at 4109 Chandler Haulk Rd, Loganville, GA 30052. Map/Parcel #C0220010, Walton County, GA. The property owner is Eddie H Atha and Regina M. Atha. The current zoning is A-1. The requested zoning is R-44 with no proposed development.
- K. **Case #A25-016** – The Revive Land Group LLC c/o Mahaffey Pickens Tucker, LLP, requests annexation of property located at 3215 & 0 Tig Knight Road, Loganville, GA 30052. Map/Parcel #C0470003 & Map/Parcel #C0470003A00, Walton County, GA. 26.883+/- acres.
- L. **Case #R25-015** - The Revive Land Group LLC c/o Mahaffey Pickens Tucker LLP, filed an application to rezone 26.883+/- acres located at 3215 & 0 Tig Knight Road, Loganville, GA 30052. Map/Parcel #C0470003 & Map/Parcel #C0470003A00, Walton County, GA. The property owner is CTX Funding SPE, LLC. The current zoning is A-1. The requested zoning is RM-4 with a proposed development of single-family detached residential neighborhood.
- M. **Case #V25-013** – The Revive Land Group LLC c/o Mahaffey Pickens Tucker, LLP requested a Major Variance for the property located 3215 & 0 Tig Knight Road, Loganville, GA 30052. Map/Parcel #C0470003 & Map/Parcel #C0470003A00, Walton County, GA. Present zoning is A-1. Ordinance and Section from which relief is sought is Zoning Ordinance 119-221(b)(2). Request for variance to allow single-family detached units in RM-4 zoning on parcels more than 2,640 feet from the center line of Main Street and Covington Street.
- N. **Case #V25-014** – The Revive Land Group LLC c/o Mahaffey Pickens Tucker, LLP requested a Major Variance for the property located 3215 & 0 Tig Knight Road, Loganville, GA 30052. Map/Parcel #C0470003 & Map/Parcel #C0470003A00, Walton County, GA. Present zoning is A-1. Ordinance and Section from which relief is sought is Zoning Ordinance 119-221(b)(2)(e). Request for variance to allow front entry garages in RM-4.
- O. **Case #V25-017** – Kevin Hornbuckle, requested a Major Variance for the property Fuller Station located Tommy Lee Fuller Drive, Loganville, GA 30052. Map/Parcel #LG060129B00, Walton County, GA. Present zoning is R3-8. Ordinance and Section from which relief is sought is Roadway Design and Construction Stand Specifications 15.2.1 (ii)(a) Roadway Construction Criteria Setback. Request for variance to remove the requirement for a beauty strip on the interior roads within the Fuller Station community. The beauty stirp will not be removed from the entrance road frontage along Tommy Lee Fuller Dr

## 6. ADJOURN

Public is welcomed to attend.



Date: 2-6-25

Application # R 25-003

**REQUEST FOR ZONING MAP AMENDMENT**

A PETITION TO AMMEND THE OFFICIAL ZONING MAP OF THE CITY OF LOGANVILLE, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
<b>NAME:</b> <u>The Revive Land Group, LLC c/o Mahaffey Pickens Tucker, LLP</u> <b>ADDRESS:</b> <u>1550 North Brown Road, Suite 125</u> <b>CITY:</b> <u>Lawrenceville</u> <b>STATE:</b> <u>Georgia</u> <b>Zip:</b> <u>30043</u> <b>PHONE:</b> <u>770 232 0000</u>	<b>NAME:</b> <u>Twin Lakes Road LLC</u> <b>ADDRESS:</b> <u>1785 Oak Road</u> <b>CITY:</b> <u>Snellville</u> <b>STATE:</b> <u>Georgia</u> <b>Zip:</b> <u>30078</u> <b>PHONE:</b> <u>770 232 0000</u> (*attach additional pages if necessary to list all owners)

Applicant is:  Property Owner  Contract Purchaser  Agent  Attorney

CONTACT PERSON: Shane Lanham PHONE: 770 232 0000  
 EMAIL: slanham@mptlawfirm.com FAX: 678 518 6880  
gschaller@mptlawfirm.com

**PROPERTY INFORMATION**

MAP & PARCEL # LG140020 PRESENT ZONING: CH REQUESTED ZONING: RM-6  
 ADDRESS: Twin Lakes Road COUNTY: Walton ACREAGE: +/- 27.85  
 PROPOSED DEVELOPMENT: 149 Residential Units

You must attach:  Application Fee  Legal Description  Plat of Property  Campaign Contribution Disclosure  
 Letter of Intent  Site Plan  Names/Addresses of Abutting Property Owners  Impact Analysis

Pre-Application Conference Date: 1-16-25

Accepted by Planning & Development: [Signature] DATE: 2-6-25 FEE PAID: \$500.00

PAID ONLINE CHECK # \_\_\_\_\_ RECEIPT # \_\_\_\_\_ TAKEN BY: NGC7JAWADM DATE OF LEGAL NOTICE: 3/2/25 NEWSPAPER: THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION:  Approve  Approve w/conditions  Deny  No Recommendation (tabled)

Commission Chairman: [Signature] DATE: 3/27/25

CITY COUNCIL ACTION:  Approved  Approved w/conditions  Denied  Tabled to \_\_\_\_\_  
 Referred Back to Planning Commission  Withdrawn

\_\_\_\_\_  
 Mayor City Clerk Date

Application # R 25-003

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

\_\_\_\_\_  
Applicant's Signature Date

\_\_\_\_\_  
Print Name and Title

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

(Seal) \_\_\_\_\_  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a) \_\_\_\_\_ the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

A.S. Briscoe \_\_\_\_\_ 1/23/25  
Owner's Signature Date

A. Scott Briscoe, President of Twin Lakes Road, LLC  
Print Name and Title

Sworn to and subscribed before me this 23rd day of January, 2025.



Kelley Pollard  
Signature of Notary Public

Application # R 25-003

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Signature] Applicant's Signature 2-3-25 Date

Neville Allison, Managing Partner  
Print Name and Title

Sworn to and subscribed before me this 3rd day of February, 2025.



[Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a) \_\_\_\_\_ the owner of record of property contained in this application, and/or
- b) \_\_\_\_\_ the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

\_\_\_\_\_  
Owner's Signature Date

\_\_\_\_\_  
Print Name and Title

Sworn to and subscribed before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_\_.

(Seal) \_\_\_\_\_  
Signature of Notary Public

Application # R 25-003

DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

Applicant's Signature

Date

Print Name

Gabrielle Schaller

12/26/24

Gabrielle Schaller

Signature of Applicant's Attorney or Agent

Date

Print Name

Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?

YES NO

If YES, complete the following:

NAME OF INDIVIDUAL MAKING CONTRIBUTION

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL

CONTRIBUTIONS (List all aggregating to \$250 or more)

DATE OF CONTRIBUTION

Table with 3 columns: NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL, CONTRIBUTIONS (List all aggregating to \$250 or more), DATE OF CONTRIBUTION. Contains four empty rows for data entry.

Attach additional sheets as necessary to disclose and describe all contributions.

**APPLICANT'S RESPONSES TO EVALUATION CRITERIA**

In the space provided or in a separate attachment, provide responses to the following questions:

1. **How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?**  
Please see attached
  
2. **How does the proposed use impact thoroughfare congestion and traffic safety?**  
Please see attached
  
3. **How does the proposed use impact population density and the potential for overcrowding and urban sprawl?**  
Please see attached
  
4. **How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;**  
Please see attached
  
5. **How does the proposed zoning provide protection of property against blight and depreciation?**  
Please see attached
  
6. **How is the proposed use and zoning consistent with the adopted Comprehensive Plan?**  
Please see attached
  
7. **In what way does the proposed zoning affect adjacent property owners if the request is approved?**  
Please see attached
  
8. **What is the impact upon adjacent property owners if the request zoning is not approved?**  
Please see attached
  
9. **Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.**  
Please see attached

**APPLICANT'S RESPONSE TO EVALUATION CRITERIA**

1. **How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?** The proposed development would improve the overall appearance of the City and aesthetics conditions of adjacent parcels, because the Applicant is proposing to construct a new residential community on the site that would utilize attractive architectural design and building materials. The site is currently underdeveloped.
2. **How does the proposed use impact thoroughfare congestion and traffic safety?** The proposed use would not cause a significant detriment to thoroughfare congestion and traffic safety. The Property has convenient access to Highway 78 and Twin Lakes Road.
3. **How does the proposed use impact population density and the potential for overcrowding and urban sprawl?** The proposed use would attract newcomers to the city and contribute to the city's goal of a live, work, play environment.
4. **How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services?** The proposed use would not overburden the existing utilities.
5. **How does the proposed zoning provide protection of property against blight and depreciation?** The proposed development would enhance the aesthetics of the property. The property is currently underdeveloped. The proposed development will bring activity to an otherwise underutilized property.
6. **How is the proposed use and zoning consistent with the adopted Comprehensive Plan?** The Property is located along Highway 78 and the proposed use is compatible with surrounding uses and existing development patterns. The proposed development also responds to the Comprehensive Plan's goal to provide attractive high-quality housing for newcomers.
7. **In what way does the proposed zoning affect adjacent property owners if the request is approved?** The proposed zoning would not likely affect adjacent property owners if the request is approved. The proposed use is relatively low intensity compared to the neighboring commercial uses.
8. **What is the impact upon adjacent property owners if the request zoning is not approved?** The Property will likely not be developed or will be placed on the market.
9. **Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.** The Applicant respectfully submits that the proposed use of the Property is compatible with the land use policies of the City of Loganville and is more compatible with the adjacent West Walton Park than the current CH zoning district.



## Legal Description

All that tract or parcel of land lying and being in Land Lot 151, 4<sup>th</sup> District of Walton County, Georgia, being more particularly described as follows:

Beginning at the centerline intersection of Georgia Highway number 81 (100' r/w) and Twin Lakes Road (40' r/w), Thence South 76 degrees 44 minutes 17 seconds West for a distance of 904.86 feet to a point on the Northwesternly right-of-way of Twins Lake Road (40' r/w); said point being THE TRUE POINT OF BEGINNING.

THENCE North 25 degrees 46 minutes 49 seconds West for a distance of 536.15 feet to a one inch open top pipe leaving the aforesaid right-of-way;

THENCE North 25 degrees 30 minutes 14 seconds East for a distance of 1023.10 feet to a one-half inch open top pipe;

THENCE North 13 degrees 10 minutes 46 seconds East for a distance of 374.40 feet to a one-half inch rebar on the Southerly right-of-way of U.S Highway 78/Georgia State Route number 10;

THENCE along the aforesaid right-of-way South 77 degrees 56 minutes 38 seconds East for a distance of 456.06 feet to a point;

THENCE South 00 degrees 36 minutes 01 seconds East for a distance of 357.00 feet to a point, leaving the aforesaid right-of-way;

THENCE South 31 degrees 07 minutes 20 seconds East for a distance of 333.64 feet to a point;

THENCE South 07 degrees 29 minutes 54 seconds West for a distance of 112.23 feet to a point;

THENCE South 84 degrees 17 minutes 17 seconds West for a distance of 127.03 feet to a 3/4 inch open top pipe;

THENCE South 04 degrees 35 minutes 54 seconds West for a distance of 64.06 feet to a one-half inch open top pipe;

THENCE South 29 degrees 29 minutes 54 seconds East for a distance of 361.20 feet to a point on the Northwesternly right-of-way of Twin Lakes Road (40' r/w);

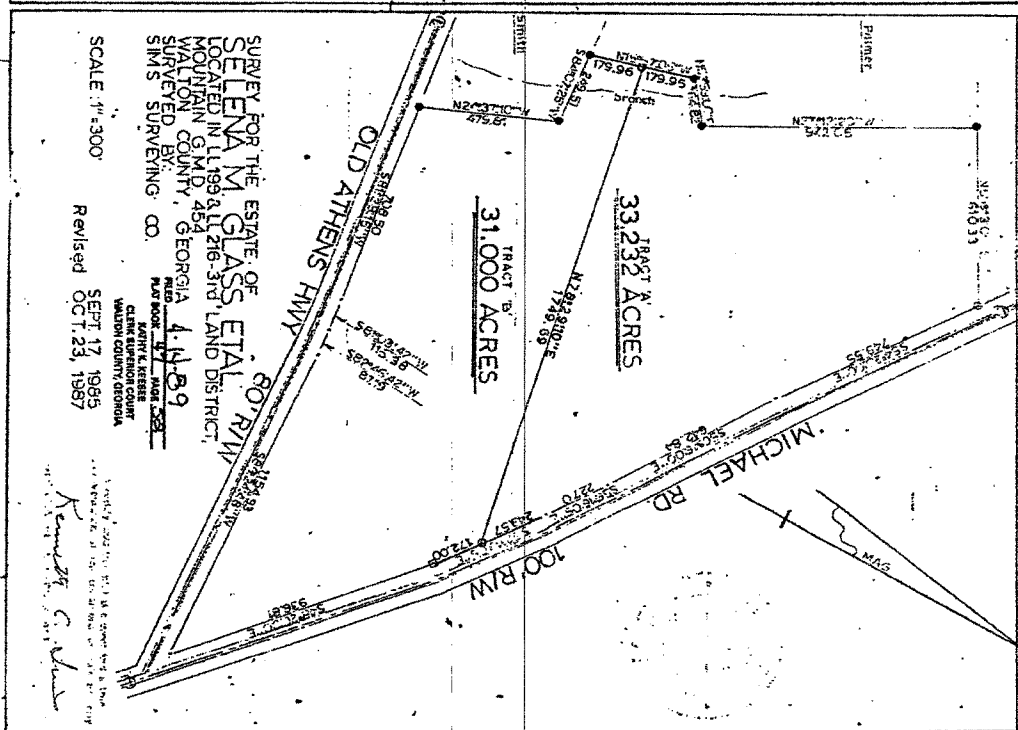
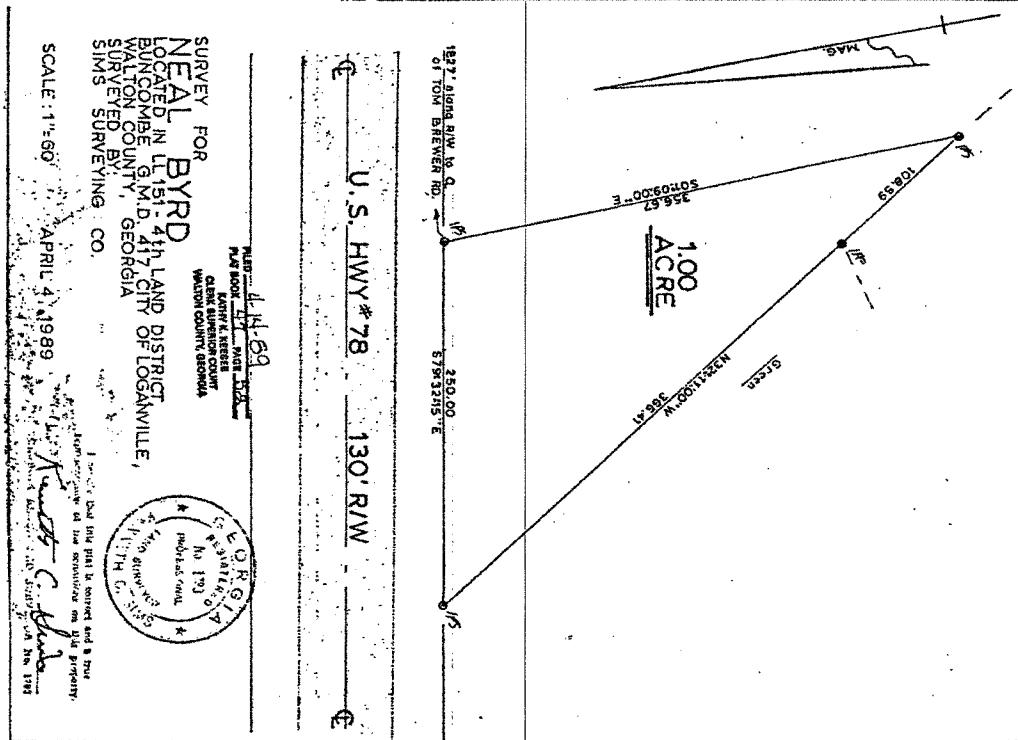
THENCE along the aforesaid right-of-way the following two courses and distances;

THENCE South 59 degrees 57 minutes 00 seconds West for a distance of 583.56 feet to a point;

THENCE South 61 degrees 37 minutes 00 seconds West for a distance of 501.76 feet to a point;

Said point being THE TRUE POINT OF BEGINNING.

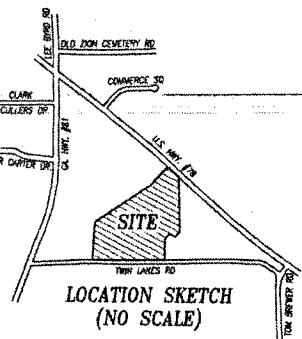
Said property having an area of 27.850 acres.



- LEGEND:
- INT - INTERSECTION
  - RR - REAR
  - COND - CONDUIT
  - HW - HEAD WALL
  - C.B. - CATCH BASIN
  - R/W - RIGHT OF WAY
  - D.E. - DRAINAGE EASEMENT
  - B.L. - BUILDING LINE
  - R - RADIOS
  - R.C.P. - REINFORCED CONCRETE PIPE
  - C.M.P. - CORRUGATED METAL PIPE
  - LL - LAND LOT
  - L.L.L. - LAND LOT LINE
  - C.L. - CENTER LINE
  - S.E. - SLOPE EASEMENT
  - W - FIRE WEIR
  - M - WATER MAIN
  - B.M.P. - EROSION CONTROL DEVICE
  - LL 151 - SOL. TYPE
  - C - COMPUTED POINT

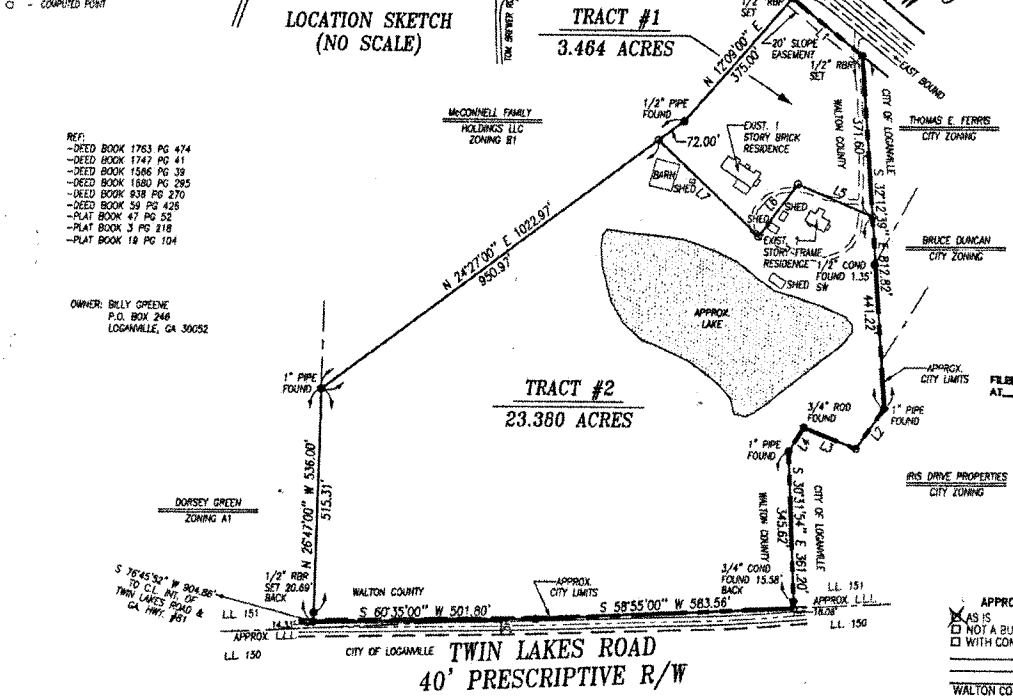
I HAVE CONSULTED THE FLOOD INSURANCE RATE MAPS AND DETERMINED THAT, IN MY OPINION, THE AREA AS SHOWN ON THIS SURVEY DOES NOT LAY WITHIN A DESIGNATED FLOOD HAZARD AREA. COMMUNITY PANEL NO. 1320700000 EFFECTIVE DATE: 2/16/1990 & COMMUNITY PANEL NO. 1320700000 EFFECTIVE DATE: 2/16/1990

NUMBER	DIRECTION	DISTANCE
L1	S 78°47'32" E	206.11'
L2	S 06°27'42" W	112.23'
L3	S 83°31'14" W	127.00'
L4	S 03°37'14" W	84.94'
L5	S 85°18'18" W	184.46'
L6	S 08°04'07" W	150.00'
L7	N 74°13'07" W	316.90'



- REF:
- DEED BOOK 1763 PG 474
  - DEED BOOK 1747 PG 41
  - DEED BOOK 1566 PG 39
  - DEED BOOK 1660 PG 295
  - DEED BOOK 838 PG 270
  - DEED BOOK 59 PG 428
  - PLAT BOOK 47 PG 52
  - PLAT BOOK 3 PG 218
  - PLAT BOOK 19 PG 104

OWNER: BILLY GREENE  
P.O. BOX 246  
LOGANVILLE, GA 30052



FILED AND RECORDED 2/12/08  
AT 2:24 P.M. (E.A.)  
PLAT BOOK 203 PAGE 133  
KATHY K. TROST  
CLERK SUPERIOR COURT  
WALTON COUNTY, GEORGIA

- APPROVED FOR RECORDING
- AS IS
  - NOT A BUILDABLE RESIDENTIAL LOT
  - WITH COMMENTS NOTED BELOW

WALTON COUNTY CODE ENFORCEMENT  
2-11-08 P.M. *P.M. M... S.D. Castle*  
DATE NAME

EXCEPT AS SPECIFICALLY SHOWN OR STATED THIS SURVEY DOES NOT PURPORT TO REFLECT ANY FACTS THAT AN ACCURATE AND CURRENT TITLE SEARCH MAY DISCLOSE. THIS PLAT SUBJECT TO ALL RIGHT-OF-WAYS, EASEMENTS AND BUFFERS SHOWN OR NOT SHOWN ON THIS SURVEY. NO EXISTING NATIONAL GEODETIC SURVEY MONUMENT WAS FOUND TO BE WITHIN 500' OF SUBJECT PROPERTY.

CERTIFICATE OF APPROVAL FOR RECORDING  
I HEREBY CERTIFY THAT THE SUBDIVISION PLAT SHOWN HEREIN HAS BEEN FOUND TO COMPLY WITH THE LAND DEVELOPMENT ORDINANCE OF WALTON COUNTY, GEORGIA, AND THAT IT IS HEREBY APPROVED FOR RECORDING IN THE OFFICE OF THE CLERK OF SUPERIOR COURT OF WALTON COUNTY, GEORGIA.  
*P.M. M... S.D. Castle 2-11-08*  
DIRECTOR OF WALTON COUNTY PLANNING DEPARTMENT DATE

TOTAL AREA = 26.844 ACRES  
Scale 1" = 200'

BEING A DIVISION OF CO#43 PAR#31, ZONING TC

- SURVEYOR'S CERTIFICATE
1. THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A CLOSEST PROXIMITY OF ONE FOOT IN 25,000 FEET AND AN ANGULAR ERROR OF 2 SECONDS PER ANGLE POINT.
  2. THE DATA SHOWN HEREIN HAS BEEN CALCULATED FOR CLOSURE AND HAS BEEN FOUND TO BE ACCURATE TO WITHIN ONE FOOT IN 535,627 FEET AND WAS ADJUSTED BY USING THE COMPASS RULE.
  3. ANGULAR AND LINEAR MEASUREMENTS OBTAINED BY USING A TOPCON OPT 3005.



SURVEY FOR  
**LAKEVIEW VILLAGE, LLC**

STATE OF GEORGIA  
WALTON COUNTY  
LAND LOT 151  
4TH DISTRICT  
DATE 2/3/2008  
SCALE 1"=200'  
JOB #08015  
REVISIONS



**JOHN BREWER & ASSOCIATES**  
DEVELOPMENT CONSULTATION  
LAND SURVEYING  
ENGINEERING  
207 MLEDGE AVE.  
MONROE, GEORGIA 30685  
TEL-(770)267-3337  
FAX-(770)266-7980  
www.gasurveying.com

**CONFLICT OF INTEREST CERTIFICATIONS  
FOR REZONING APPLICATION**

The undersigned below, making application for Rezoning, has complied with the Official Code of Georgia Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information on forms provided.

Check here if there are additional applicants and attach additional "Conflict of Interest Certification" sheets.

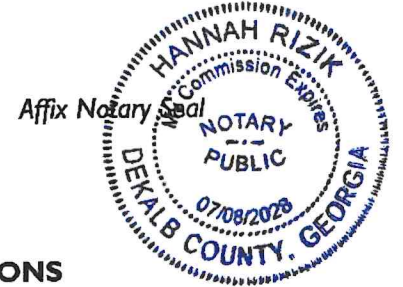
 2-3-25  
Signature of Applicant Date

Neville Allison, Managing Partner  
Type or Print Name and Title

\_\_\_\_\_  
Signature of Applicant's Attorney or Representative Date

\_\_\_\_\_  
Type or Print Name and Title

Hannah Rizik 2/3/2025  
Signature of Notary Public Date



**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

Have you, within the last two (2) years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more or made gifts having in the aggregate a value of \$250.00 or more to any member of the Mayor and City Council or any member of the Snellville Planning Commission?

YES  NO YOUR NAME: Neville Allison, The Revive Land Group, LLC

If the answer above is YES, please complete the following section:

NAME AND OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (list all which aggregate to \$250 or More)	DATE CONTRIBUTION WAS MADE (Within the last two years)

Check here and attach additional sheets if necessary to disclose or describe all contributions or gifts.

David Belle Isle  
Matthew P. Benson  
Catherine W. Davidson  
Gerald Davidson, Jr.\*  
Brian T. Easley  
Rebecca B. Gober  
John D. Hipes\*  
Christopher D. Holbrook  
Jessica R. Kelly  
Shane M. Lanham  
Julia A. Maxwell

Jeffrey R. Mahaffey  
John N. Mahaffey  
Steven A. Pickens  
Jack M. Ryan  
Gabrielle H. Schaller  
S. Tess Shaheen  
Andrew D. Stancil  
Michael A. Tralongo  
R. Lee Tucker, Jr.

\*Of Counsel

**LETTER OF INTENT FOR REZONING APPLICATION OF  
THE REVIVE LAND GROUP, LLC**

Mahaffey Pickens Tucker, LLP submits this Letter of Intent and the attached rezoning application (the “Application”) on behalf of The Revive Land Group, LLC (the “Applicant”) relative to an approximately 27.846-acre tract of land located along Atlanta Highway (U.S. Route 78) with additional road frontage on Twin Lakes Road (the “Property”). The Property is currently unoccupied and includes two residential dwellings with additional outbuildings. The Property is currently zoned CH (Commercial Highway District) in the City of Loganville (Walton County). The Applicant requests the city rezone the Property to the RM-6 zoning district.

The Applicant is requesting the approval of the Application to permit the redevelopment of the Property into a master planned residential community with a total of 149 units. The community would offer both townhomes and single-family detached options to potential residents. Access to the community would be provided off both Atlanta Highway (Hwy 78) and Twin Lakes Road. The Property’s location on Highway 78 would provide easy, convenient access for residents to major transportation corridors. The proposed development would also provide areas of common space for the use and enjoyment of residents, including pocket parks, active amenity areas, and space for residents to enjoy the natural beauty of the Property including the large lake at the center of the Property and mulched walking trails. The residents would also have convenient access to West Walton Park, which is located just across Twin Lakes Road from the Property. The homes would be constructed with attractive architectural design and building materials. The proposed development will include 471 parking spaces and an additional 40 guest spaces.

Sugarloaf Office || 1550 North Brown Road, Suite 125, Lawrenceville, Georgia 30043

Alpharetta Office || 178 South Main Street, Suite 250, Alpharetta, Georgia 30009

TELEPHONE 770 232 0000

FACSIMILE 678 518 6880

www.mptlawfirm.com

The proposed development is compatible with surrounding uses including West Walton Park, Loganville High School, and the new apartment development known as The Cottages at Loganville; and will contribute to the mix of uses in the surrounding area as it will draw new residents and contribute to increased walkability from the proposed development to the park.

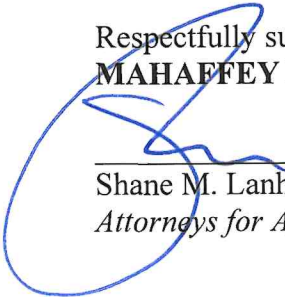
The proposed development is also compatible with the spirit and intent of the City of Loganville Comprehensive Plan (the “Comp Plan”), which encourages high quality housing; increased safe spaces for walking, biking and greenspace; and providing a live/work/play environment. The Applicant’s proposal will provide high quality housing constructed with an attractive mix of building materials such as brick, stone, and/or cementitious siding, shake, and/or board and batten. Additionally, the proposed development preserves a large area greenspace and places critical mass in an area with a mix of uses to promote a live/work/play environment, which will encourage healthy living and provide safe spaces for walking, biking and greenspace for residents to commune with neighbors. The proposed development includes mulched walking trails throughout the community; sidewalk; a community gathering area with a fire pit and pavilion; a dog park; a cabana and pool; and several linear and pocket parks. These active spaces will encourage a healthy and active lifestyle for the residents.

As stated in the Comp Plan, the city needs quality housing to provide for its growing population. There is a stronger demand for housing in Loganville than in other parts of the state as a result of the growing population. The proposed development will meet this need by providing high quality housing options, including townhomes, which tend to attract younger residents. Additionally, the Comp Plan encourages expanding the housing options in the city to provide a broader range of housing types, especially “missing middle” housing. The townhome units included in the proposed development meet this need. The Comp Plan also encourages building walkable neighborhoods where people can travel without a personal car, and providing attractive places for people to gather. The proposed development is located in close proximity to a school, employment centers, and a public park, providing residents with the option to walk instead of drive to nearby destinations. The close proximity to the park and large greenspace areas on the subject property will encourage the residents to gather with neighbors and the larger Loganville community.

The Applicant and its representatives welcome the opportunity to meet with staff of the City of Loganville Department of Planning & Development to answer any questions or to address any concerns relating to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

This 6<sup>th</sup> day of February, 2025.

Respectfully submitted,  
**MAHAFFEY PICKENS TUCKER, LLP**



---

Shane M. Lanham  
*Attorneys for Applicant*





**ABUTTING PROPERTY OWNERS**

<b>Name/Address</b>	<b>Parcel</b>
MCCONNELL FAMILY HOLDINGS LLC 161 HARRINGTON LN SAINT SIMONS ISLAND, GA 31522	C0430032
GREEN DORSEY MRS & JONES JANICE G, BENNETT GLORIA G 3709 GEORGIA HIGHWAY 81 LOGANVILLE, GA 30052	C0210008
IRIS DRIVE PROPERTIES INC C/O FELLERS SCHEWE SCOTT P O BOX 450233 ATLANTA, GA 31145	LG140012
HOLT FOOD SYSTEMS INC 13 ROBERTA DRIVE GREENVILLE, SC 29615	LG140013

PORTERFIELD HOLDINGS LLC  
1960 PLEASANT VALLEY RD NE  
MONROE, GA 30655

BOBBIE MAC INVESTMENTS LLC  
3025 WOOD VALLEY CT  
LOGANVILLE, GA 30052

WALTON COUNTY GEORGIA  
303 S HAMMOND DRIVE  
SUITE 330  
MONROE, GA 30655

**JUSTIFICATION FOR REZONING OF PROPERTY AT TWIN LAKES ROAD**

The portions of the Zoning Ordinance of Loganville, Georgia (the “Ordinance”) which classify or may classify the property which is the subject of this Application (the “Property”) into any less intensive zoning classification other than as requested by the Applicant, are or would be unconstitutional in that they would destroy the Applicant's/Owner’s property rights without first paying fair, adequate and just compensation for such rights, in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

The application of the Ordinance as applied to the subject Property, which restricts its use to the present zoning classification and/or Land Use Map designation is unconstitutional, illegal, null and void, constituting a taking of the Applicant's and the Owner’s property in violation of the Just Compensation Clause of the Fifth Amendment and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States, Article I, Section I, Paragraph I, and Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States denying the Applicant an economically viable use of its land while not substantially advancing legitimate state interests.

The Property is presently suitable for development and use under the RM-6 classification as requested by the Applicant, and is not economically suitable for development under the present CH zoning classification of the City of Loganville. A denial of this Application would constitute an arbitrary and capricious act by the Mayor and Council without any rational basis therefore, constituting an abuse of discretion in violation of Article I, Section I, Paragraph I and Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983, and the Due Process Clause of the Fourteenth Amendment to the Constitution of the United States.

A refusal by the City to rezone the Property to the RM-6 classification with such conditions as agreed to by the Applicant, so as to permit Applicant's feasible economic use of the Property, would be unconstitutional and discriminate in an arbitrary, capricious and unreasonable manner between the Applicant and owners of similarly situated property in violation of Article I, Section I, Paragraph II of the Constitution of the State of Georgia of 1983 and the Equal Protection Clause of the Fourteenth Amendment to the Constitution of the United States. Any rezoning of the subject Property to the RM-6 classification, subject to conditions which are different from the conditions by which the Applicant may amend its application, to the extent such different conditions would have the effect of further restricting the Applicant's and the Owner's utilization of the subject Property, would also constitute an arbitrary, capricious and discriminatory act in zoning the Property to an unconstitutional classification and would likewise violate each of the provisions of the State and Federal Constitutions set forth hereinabove.

Accordingly, the Applicant respectfully requests that the Application submitted by the Applicant relative to the Property be approved and the Property rezoned as shown on the application.

Respectfully submitted,

MAHAFFEY PICKENS TUCKER, LLP



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Gabrielle H. Schaller  
*Attorneys for Applicant*



## STAFF APPLICATION ANALYSIS REPORT

**ZONING CASE #:** R25-003

**LANDOWNERS:** Twin Lakes Road LLC

**APPLICANT:** The Revive Land Group LLC c/o Mahaffey Pickens Tucker LLP

**PROPERTY ADDRESS:** 3520 Atlanta Highway

**MAP/PARCEL #:** LG140020

**PARCEL DESCRIPTION:** Former residential

**AREA:** 27.85 acres

**EXISTING ZONING:** Commercial Highway

**PROPOSED ZONING:** RM-6

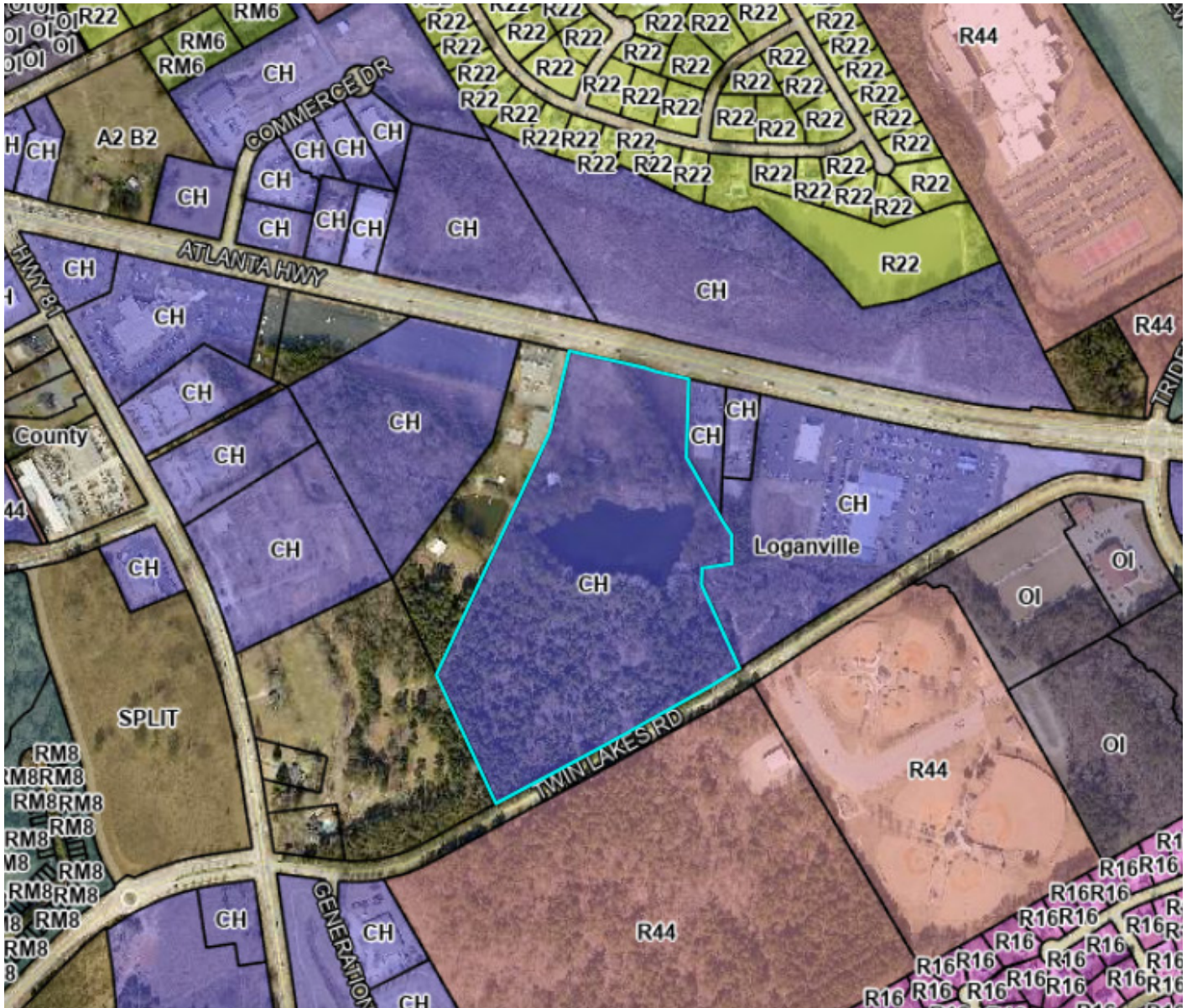
**FUTURE LAND USE MAP:** Commercial

**REASON FOR REQUEST:** The applicant wants to build a master planned residential community with a combination of townhomes and single-family homes totaling 149 residences.

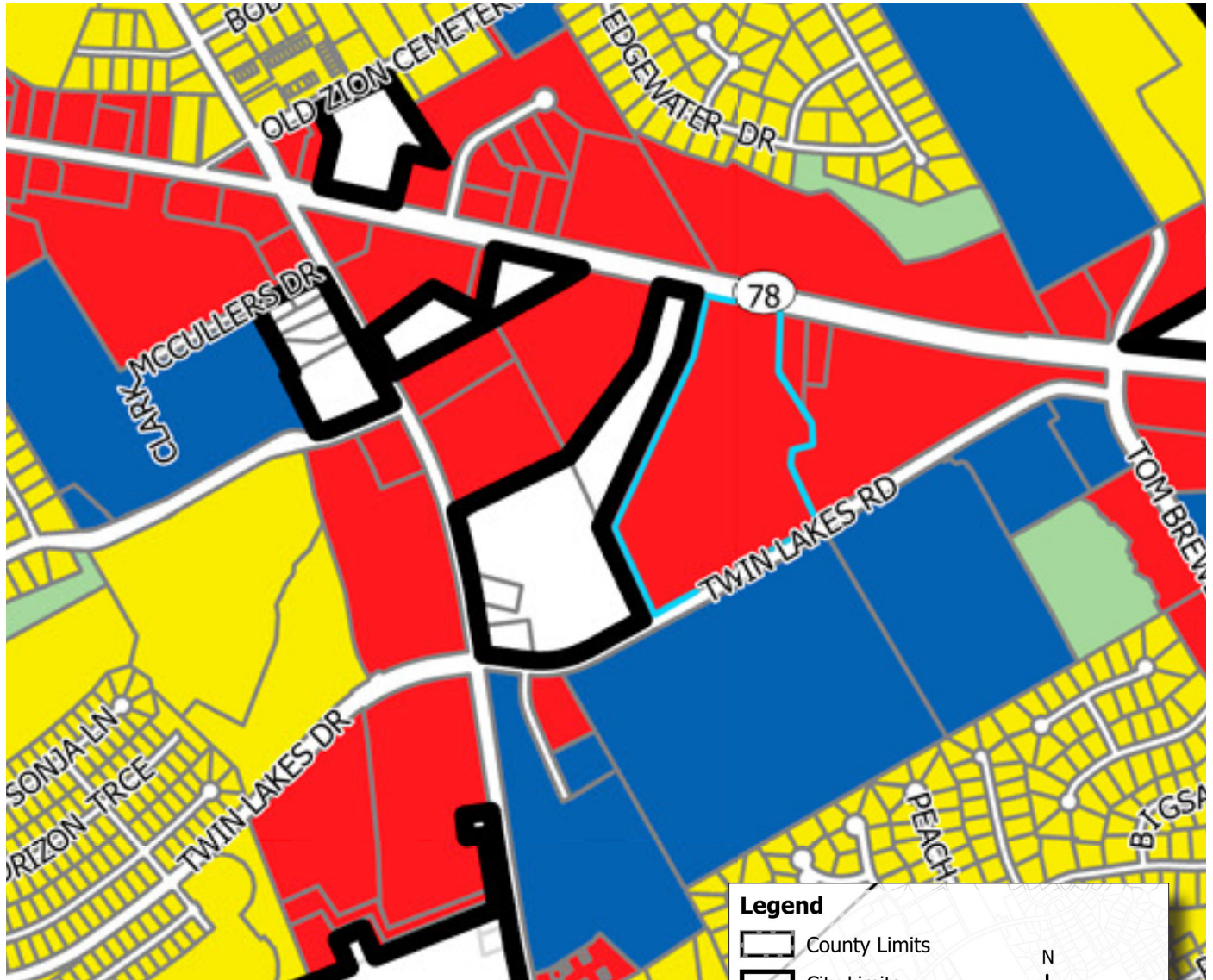
**PLANNING COMMISSION HEARING:** March 27, 2025

**CITY COUNCIL HEARING:** April 7 & 10, 2025

## ZONING MAP



## FUTURE LAND USE MAP



**Legend**

- County Limits
- City Limits
- Parcels

Future Land Use

- Residential
- Commercial
- Industrial
- Public/Institutional
- Transportation/Communication/Utilities
- Park/Recreation/Conservation
- Agriculture/Forestry

N

W      E

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## Applicant's Request

The applicant wants to build a master planned residential community with a combination of townhomes and single-family homes totaling 149 residences.

## Existing Conditions

Two homes as well as a barn and two utility buildings were originally built on this property in 1960. It is difficult to pinpoint the last date it served a residential purpose, but the houses have been vacant for a few years now. There is a lake encompassing approximately 3.8 acres of the site.

An application was filed in 2008 seeking to annex an adjacent 26.844 acres to be combined with the 1 acre already inside City limits seeking a PUV designation for the property for the purpose of mixed use development that included 69 flats or lofts above ground floor office or retail. The Planning Commission recommended approval with the conditions that the project be tied to a site plan submitted on March 28, 2005, the total gross floor area will not exceed 300,000 square feet without a Development of Regional Impact study, and the applicant must complete a traffic study prior to construction. The City Council approved the re-zone with conditions on Aug. 14, 2008.

Another application was filed in 2023 seeking to change the parcel from its PUV designation to the Commercial Highway zoning for a contractor's office with outdoor storage of equipment and materials. The Planning Commission approved the application Aug. 24, 2023, with the conditions that no vehicles over six wheels would be allowed on Twin Lakes Road without prior approval from the City's Streets and Highway Department. The City Council approved the application with the conditions that:

- Prior to the issuance of a certificate of occupancy, the Applicant will coordinate with the City of Loganville to perform a full depth reclamation repair on the portion of Twin Lakes Road located between the intersection of Tom Brewer Road and Twin Lakes Road, and the entrance of the Applicant's proposed development on Twin Lakes Road. The full depth reclamation repair will generally consist of 8 inches of reclaimed subgrade, 2 inches of asphalt binder, and 2 inches of asphalt topping. The City of Loganville will pay for the materials needed to perform the full depth reclamation repair in an amount not to exceed \$100,000.00, and the Applicant will donate the labor to perform the full depth reclamation repair in the approximate amount of \$135,000.00.
- Additionally, the Applicant and the City of Loganville shall endeavor to enter into a separate parking agreement ("Parking Agreement") to allow the City of Loganville to use an approximately 22,500 square foot area as a gravel parking area for patrons of West Walton Park ("Parking Area") in the approximate area shown on the Applicant's revised site plan. Nothing contained in this condition shall create or be deemed to create any easements or use rights in the general public or constitute a public dedication for any public use whatsoever. If the Applicant and the City of Loganville do not enter into a parking agreement, then Applicant's trucks with more than six (6) wheels shall not be permitted to use Twin Lakes Road (except in the case of emergency use) between the hours of 3:00 p.m. through 9:00 p.m. Mondays through Fridays, and the hours of 9:00 a.m. to 9:00 p.m. Saturdays and Sundays.



## Impact Analysis / Recommendation

**What is the impact upon the overall appearance of the City and impacts upon aesthetic conditions of adjacent parcels?** The property is predominantly surrounded by Commercial Highway zonings along the Highway 78 corridor but does have county parcels adjacent to it with B1 and A1 zoning. The property as it stands now is an outlier in that it is one of the few areas along Highway 78 inside City limits that has not been developed for commercial purposes. Development of an RM-6 would look somewhat similar to nearby multi-family housing, though none of those have residential buildings along the highway.

**What is the impact upon thoroughfare congestion and traffic safety?** Traffic counts along Highway 78 near this site have steadily been increasing from 27,300 in 2021 to 27,900 in 2022 and 39,600 in 2023, according to GDOT traffic counts. About 6 percent of this traffic is considered to be large trucks. It is unlikely that the project would have a significant impact on the highway, though it is unknown what the impact of this project would be on Twin Lakes Drive.

**What is the impact upon population density and the potential for overcrowding and urban sprawl?** Going from a commercial to residential zoning to add 149 townhomes will have a direct impact on population density. The inclusion of multi-family housing in an area that is otherwise commercial or single-family does have the potential to impact overcrowding.

The applicant should also be aware of the fact that the RM-6 zoning does not allow for detached townhomes and would require the applicant to seek a variance or be granted a conditional use by the Council.

**What is the impact upon the provision of water, sewerage, transportation and other urban infrastructure services?** While there is water readily available to the site, tying on to the City's sewer system will be a much more complicated matter. The nearest tie-in point into the City's system will be along Twin Lakes Road, but goes into a pump station that is at or near capacity. The applicant will need to work with City officials to determine what upgrades would be required for this project. Traffic improvements may be required along Twin Lakes Road for the project as well.

**How does the proposed use provide protection of property against blight and depreciation?** Vacant lots have a greater tendency to fall subject to blight and result in depreciation along a roadway like Highway 78, so development would potentially help.

**Is the proposed use consistent with the adopted Comprehensive Plan?** This parcel maintains its CH designation in the City's Future Land Use Map.

**What is the impact upon adjacent property owners if the request is approved?** The addition of residents could benefit the nearby business owners and increase usage of the nearby County park.

**What is the impact upon adjacent property owners if the request is not approved?** As this is the second project proposed for this parcel in 18+ months, the land would likely remain vacant until the next developer comes along with a different idea for this parcel.

## Impact Analysis / Recommendation *(continued)*

**Are there any other factors effecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville? No.**

**Recommended action:** The City’s comprehensive plan calls for “missing middle” housing, but the plan also calls for growing the job base of Loganville. It is a delicate balancing act as both residents and businesses are necessary for the City to thrive. In the City’s code, it states that the purpose of the Commerical Highway district is to “promote suitable areas for those business and commerical uses which primarily serve the traveling public and benefit from direct access to major streets.” Staff opinion is to keep this parcel as CH. Staff recommendation is to deny the rezone.

## Planning Commission Recommended Conditions

## City Council Conditions

## DATA APPENDIX

### *WATER*

**Is a water line adjacent to the property? If not, how far is the closest water line?** Yes

**Size of the water line?** 10 inches

**Capacity of the water line?** Unknown

**Approximate water usage by proposed use?** Unknown

### *SEWER*

**Is a sewer line adjacent to the property? If not, how far is the closest sewer line?** No - about 800 feet

**Size of the sewer line?** 8 inches

**Capacity of the sewer line?** Logan Point pump station will need to be evaluated.

**Estimated waste generated by proposed development?** Unknown

### *DRAINAGE AND ENVIRONMENTAL CONCERNS*

**Does flood plain exist on the property? What percentage of the property is in a floodplain?** Unknown

**What is the drainage basin for the property?** Little Haynes Creek

**Is there potential for the presence of wetlands as determined by the U.S. EPA? If so, is the use compatible with the possible presence of wetlands?** Unknown

**Do stream bank buffers exist on the parcel?** Yes

**Are there other topographical concerns on the parcel?** Unknown

**Are the storm water issues related to the application?** No

## DATA APPENDIX

### TRANSPORTATION

**What is the road affected by the proposed change? What is the classification of the road?** Highway 78 (major collector), Twin Lakes Road (minor collector)

**What is the traffic count for the road?** 37,400 on Highway 78 near proposed entry, unknown for Twin Lakes Road

**Estimated number of cars generated by the proposed development?** Unknown

**Estimated number of trips generated by the proposed development?** Unknown

**Do sidewalks exist in the area?** No

**Transportation improvements in the area? If yes, what are they?** No

### EMERGENCY SERVICES

**Nearest city fire station from the development?** Station 16 @ 605 Tom Brewer Road

**Distance of the nearest station?** 0.3 miles

**Most likely station for 1st response?** Station 16

**Service burdens at the nearest city fire station (under, at, or above capacity)** At capacity

2-3  
KB

Recorded 11/16/2017 04:09PM Deed  
KATHY K. TROST Doc: WD  
WALTON COUNTY CLERK OF COURT  
Georgia Transfer Tax Paid : \$217.50  
Bk 04154 Pg 0394-0395

Record and Return to:  
Lueder, Larkin & Hunter, LLC  
\* 143 Lee Byrd Road  
Loganville, GA 30052  
File No.: GA-LG-17-0775-PUR

**LIMITED WARRANTY DEED**

STATE OF GEORGIA  
COUNTY OF WALTON

THIS INDENTURE, made this 13th day of November, 2017, between

GLENN HUSTON AND SANDRA G. HUSTON

as party or parties of the first part, hereinafter called Grantor, and

M & C INVESTMENTS, LLC

as party or parties of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH: That Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantee, the following described property, to wit:

All that tract or parcel of land lying and being in Land Lot 186 of the 4th District, City of Loganville, Buncombe G.M.D. 417, Walton County, Georgia, being more particularly described as follows: Beginning at an iron pin found on the northwesterly side of the right of way of C.S. Floyd Street, AKA C.S. Floyd Road, (50-foot right of way) 215.00 feet northeasterly as measured along the northwesterly side of the right of way of C.S. Floyd Street from the intersection of the northwesterly side of the right of way of C.S. Floyd Street and the centerline of Covington Street, if the northwesterly side of the right of way of C.S. Floyd Street was extended in a southwesterly direction to intersect with the centerline of Covington Street; leaving the northwesterly side of the right of way of C.S. Floyd Street and running thence north 35 degrees 10 minutes 05 seconds west 207.34 feet to an iron pin found; running thence south 50 degrees 29 minutes 55 seconds west 84.18 feet to an iron pin found; thence north 31 degrees 19 minutes 30 seconds west, 312.18 feet to a point; running thence north 50 degrees 17 minutes 12 seconds east 129.73 feet to an iron pin found on the southwesterly side of a 10-foot alley; running thence along the southwesterly side of a 10-foot alley south 30 degrees 20 minutes 00 seconds east 313.49 feet to an iron pin found; running thence south 32 degrees 25 minutes 18 seconds east 208.00 feet to an iron pin found on the northwesterly side of the right of way of C.S. Floyd Street; running thence along said right of way south 49

degrees 50 minutes 00 seconds west 30.0 feet to the iron pin found at the point of beginning, said property contain 1.068 acres as shown on individual survey prepared for Jonathan W. Scott and Teresa Scott by Kenneth C. Seams, Georgia RLS No. 1783, dated June 8, 1992, which reference is made for the purpose of incorporating the same a part hereof for a more complete description of said property.

Subject to all easements and restrictions of record.

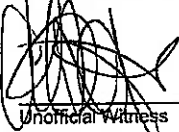
TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee, forever in FEE SIMPLE.


AND THE SAID GRANTOR will warrant and forever defend the right and title to the above described property against the claims of all persons owning, holding, or claiming by, through and under the said Grantor.

IN WITNESS WHEREOF, Grantor has hereunto set Grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:

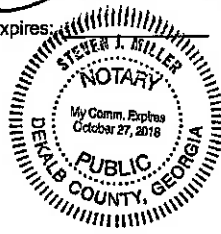
GRANTOR:

  
[Official Witness]

 (SEAL)  
Glenn Huston

  
Notary Public  
My Commission Expires:  
[Notary Seal]

 (SEAL)  
Sandra G. Huston



**M&C Investment Group LLC**

Chris Barber  
220 C S Floyd Rd.  
Loganville, GA 30052  
March 5, 2025

**City of Loganville**

Department of Planning and Development  
Loganville/Walton County  
PO Box 39  
Loganville, GA 30052

Subject: Letter of Intent to Request Zoning Change

I am writing to formally request a zoning change for the commercial property located at 220 C S Floyd Rd. This request is made in consideration of the temporary residence of a family member at the property, with the intention of changing the zoning to R44.

Currently, the property is zoned for commercial use, but the tenant, who is a family member, is temporarily residing in the space until they are able to purchase a home. This arrangement has been made without the exchange of rent or any other form of compensation. The residence is only temporary, and we intend to comply with all applicable zoning laws moving forward.

The need for this change arises from the fact that the family member is in a transitional living situation, and the commercial zoning does not reflect the current use of the property. The request for this zoning change is intended to ensure that the property is in compliance with local regulations while it is being used for residential purposes.

We fully understand that the zoning change will need to meet the required criteria and undergo the necessary review process. We are prepared to provide any additional information or documentation required to facilitate this request.

Thank you for your time and consideration. Should you have any questions or need further clarification, please do not hesitate to contact me at 803-360-4278.

Sincerely,  
Chris Barber  
Owner/Manager  
M&C Investment Group, LLC



CITY OF LOGANVILLE
Department of Planning & Development
P.O. Box 39 • 4303 Lawrenceville Road
Loganville, GA 30052
770.466.2633 • 770.466.3240 • Fax 770.554.5556

Date: 2/19/2025

Application # R 25-004

REQUEST FOR ZONING MAP AMENDMENT

A PETITION TO AMMEND THE OFFICIAL ZONING MAP OF THE CITY OF LOGANVILLE, GEORGIA

Table with 2 columns: APPLICANT INFORMATION and PROPERTY OWNER INFORMATION\*. Includes fields for Name, Address, City, State, Zip, and Phone.

Applicant is: [x] Property Owner [ ] Contract Purchaser [ ] Agent [ ] Attorney

CONTACT PERSON: Justin Wright PHONE: 803 360-4278
EMAIL: Justin@brysonutility.com FAX:

PROPERTY INFORMATION

MAP & PARCEL # LG050094 PRESENT ZONING: OI REQUESTED ZONING: R44
ADDRESS: 220 C.S. Floyd Road COUNTY: Walton ACREAGE: 1.07
PROPOSED DEVELOPMENT: Single-family dwelling

You must attach: [x] Application Fee [ ] Legal Description [x] Plat of Property [x] Campaign Contribution Disclosure
[ ] Letter of Intent [ ] Site Plan [x] Names/Addresses of Abutting Property Owners [x] Impact Analysis

Pre-Application Conference Date: N/A
Accepted by Planning & Development: [Signature] DATE: 2-26-2025 FEE PAID: \$500.00
CHECK # 300225 RECEIPT # R0023388 TAKEN BY: SB DATE OF LEGAL NOTICE: 4/2/25 NEWSPAPER: THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION: [ ] Approve [ ] Approve w/conditions [ ] Deny [ ] No Recommendation

Commission Chairman: DATE:

CITY COUNCIL ACTION: [ ] Approved [ ] Approved w/conditions [ ] Denied [ ] Tabled to
[ ] Referred Back to Planning Commission [ ] Withdrawn

Mayor City Clerk Date



Application # R 25-007


**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

Christopher A. Barbe  
Applicant's Signature 2-19-2025  
Date

Christopher A. Barbe CEO  
Print Name and Title

Sworn to and subscribed before me this 25<sup>th</sup> day of Feb, 20 25.

(Seal)  Donna McClean  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)


- a) \_\_\_\_\_ the owner of record of property contained in this application, and/or
- b) \_\_\_\_\_ the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

Christopher A. Barbe  
Owner's Signature 2-19-2025  
Date

Christopher A. Barbe  
Print Name and Title

Sworn to and subscribed before me this 19 day of February, 20 25.

(Seal)  Donna McClean  
Signature of Notary Public



**APPLICANT'S RESPONSES TO EVALUATION CRITERIA**

In the space provided or in a separate attachment, provide responses to the following questions:

- 1. How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?

It will be the same

- 2. How does the proposed use impact thoroughfare congestion and traffic safety?

No impact of congestion or traffic.

- 3. How does the proposed use impact population density and the potential for overcrowding and urban sprawl?

No impact on population density small family of 4.

- 4. How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;

Low impact less than commercial use.

- 5. How does the proposed zoning provide protection of property against blight and depreciation?

We have continued to update and maintain the property nicely

- 6. How is the proposed use and zoning consistent with the adopted Comprehensive Plan?

It will be the same.

- 7. In what way does the proposed zoning affect adjacent property owners if the request is approved?

They will not be impacted.

- 8. What is the impact upon adjacent property owners if the request zoning is not approved?

They will not be impacted

- 9. Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.

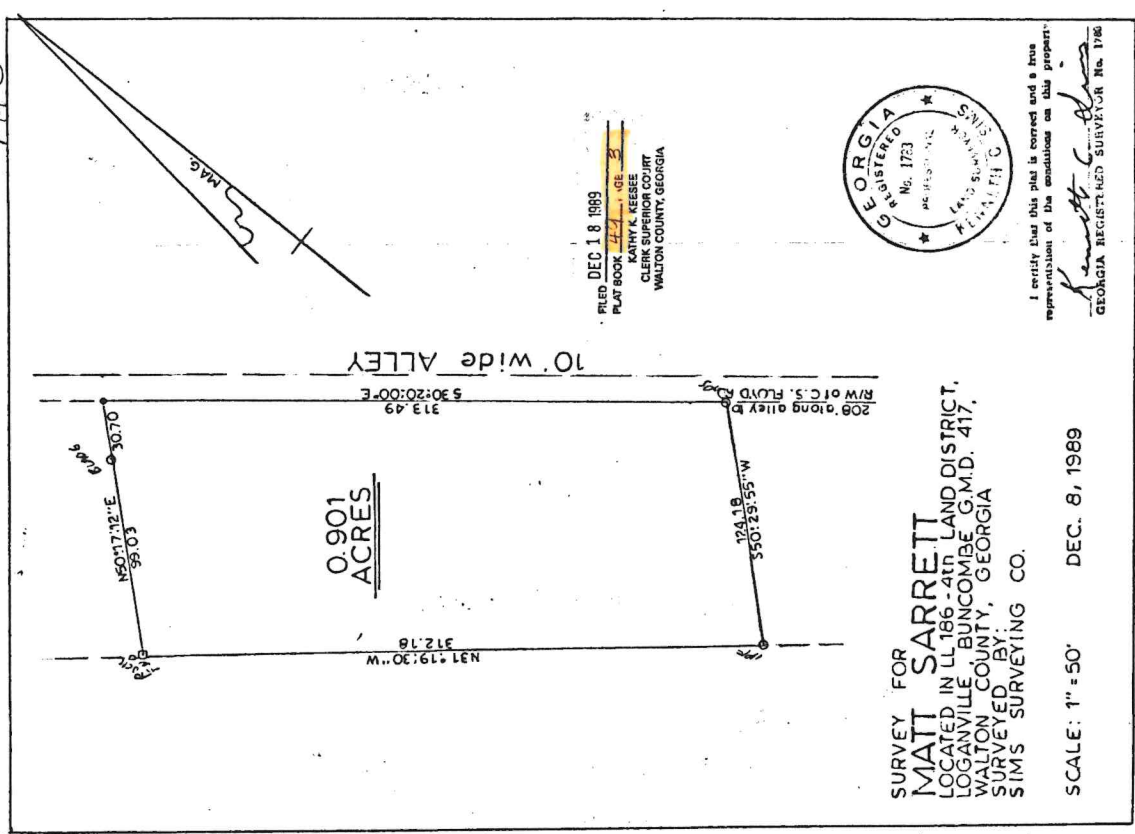
It will better fit the need for the owner of the property.

**220 C S Floyd Rd. Adjoining Landowners**

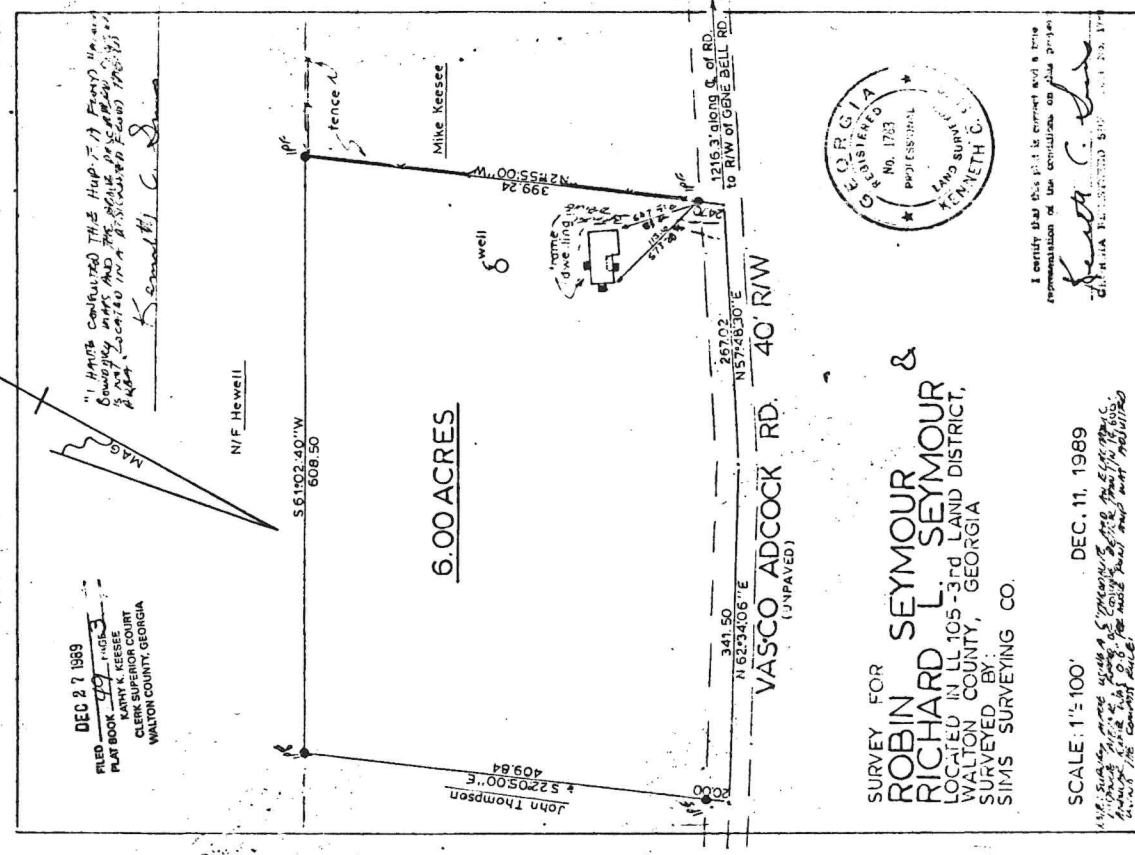
<b>1</b>	<b>Parcel ID</b>	LG050082A00	<b>Owner</b>	LYNCH MICHAEL P & LYNCH MICHELLE L
	<b>Class Code</b>	Residential		
	<b>Taxing District</b>	Loganville		3424 TAURUS SKY
	<b>Acres</b>	0.34		CONVERSE, TX 78109
			<b>Physical Address</b>	226 C S FLOYD RD
<b>2</b>	<b>Parcel ID</b>	LG050081	<b>Owner</b>	PAPE MIKE
	<b>Class Code</b>	Residential		3785 CREEKWOOD COURT
	<b>Taxing District</b>	Loganville		LOGANVILLE, GA 30052
	<b>Acres</b>	0.35	<b>Physical Address</b>	204 FAIR ST
<b>3</b>	<b>Parcel ID</b>	LG050080	<b>Owner</b>	CLACK DONNA T
	<b>Class Code</b>	Residential		PO BOX 293
	<b>Taxing District</b>	Loganville		CONYERS, GA 30012
	<b>Acres</b>	0.4	<b>Physical Address</b>	208 FAIR ST
<b>4</b>	<b>Parcel ID</b>	LG040026	<b>Owner</b>	104 ARLIE LLC
	<b>Class Code</b>	Residential		225 MARKET PLACE
	<b>Taxing District</b>	Loganville		CONNECTOR #1047
	<b>Acres</b>	0.57	<b>Physical Address</b>	PEACHTREE CITY, GA 30269 220 FAIR ST
<b>5</b>	<b>Parcel ID</b>	LG040025	<b>Owner</b>	ELLISON KAREN HENDERSON & HENDERSON WILLIAM RICHARD
	<b>Class Code</b>	Residential		
	<b>Taxing District</b>	Loganville		505 WOODBROOK WAY
	<b>Acres</b>	1.19	<b>Physical Address</b>	LAWRENCEVILLE, GA 30043 238 FAIR ST
<b>6</b>	<b>Parcel ID</b>	LG040014A00	<b>Owner</b>	WOMBLE MARIE & GARRETT DAVID & MILLER DEEANN
	<b>Class Code</b>	Residential		
	<b>Taxing District</b>	Loganville		4280 PECAN ST
	<b>Acres</b>	9.87	<b>Physical Address</b>	LOGANVILLE, GA 30052 PECAN ST
<b>7</b>	<b>Parcel ID</b>	LG050096A00	<b>Owner</b>	KING LARRY D
	<b>Class Code</b>	Residential		1112 LORIMER ROAD
	<b>Taxing District</b>	Loganville		RALEIGH, NC 27606
	<b>Acres</b>	1.79	<b>Physical Address</b>	C S FLOYD RD

Loganville First United Methodist Church  
221 Main Street Loganville, GA 30052

Christopher A & Amanda Kay Barber  
214 CS Floyd Rd  
Loganville, GA 30052



RECORDED: JAN 4 1990, 19  
KATHY K. KEESEE, CLERK



RECORDED: JAN 4 1990, 19  
KATHY K. KEESEE, CLERK



Planning and Development  
 Robbie  
 770-466-0911

Loganville P Section 5, Item B.  
 Code Enforcement  
 605 Tom Brewer Road  
 Loganville, GA 30052  
 770-466-8087

**OFFICIAL NOTICE OF VIOLATION**

Name: M and C Investments LLC Date: 02-13-2025 @ 1051  
 Community Name: \_\_\_\_\_ Case: 2502195  
 Address: 220 CS Floyd Rd  
 Contact Person: Mindy Barber Phone: 678-758-2926  
 NOV:  New  2<sup>nd</sup> Notice

A City of Loganville Code Enforcement Officer inspected this property and found violations of City Government ordinances and/or Georgia State laws as indicated below:

- |                                       |  |                                    |   |
|---------------------------------------|--|------------------------------------|---|
| <b>Property Maintenance Ordinance</b> |  | <b>Litter Ordinance (State)</b>    |   |
| <input type="checkbox"/>              | Fence maintenance (103-52)                         | <input type="checkbox"/>           | Littering (26-25)                             |
| <input type="checkbox"/>              | Tall grass/weeds (103-53)                          | <input type="checkbox"/>           | Signs in the right of way (32-5)              |
| <input type="checkbox"/>              | Junk vehicle (103-54)                              | <input type="checkbox"/>           | Outdoor storage (103-55)                      |
| <input type="checkbox"/>              | Pool maintenance (103-58)                          | <b>Zoning Ordinance</b>            |   |
| <input type="checkbox"/>              | Exterior maintenance - Paint (103-90)              | <input type="checkbox"/>           | Accessory structure (119-291)                 |
| <input type="checkbox"/>              | Exterior maintenance - Walls (103-91)              | <input type="checkbox"/>           | Sale of vehicles (119-299)                    |
| <input type="checkbox"/>              | Exterior maintenance - Roofs (103-92)              | <input type="checkbox"/>           | Commercial vehicle parking (119-297)          |
| <input type="checkbox"/>              | Exterior maintenance - Decks (103-93)              | <input type="checkbox"/>           | Recreation equipment parking (119-296)        |
| <input type="checkbox"/>              | Exterior maintenance - Windows (103-94)            | <input type="checkbox"/>           | No building permit (111-30)                   |
| <input type="checkbox"/>              | Exterior maintenance - Doors (103-95)              | <b>Sign Ordinance</b>              |   |
| <input type="checkbox"/>              | Exterior maintenance - Decorative (103-96)         | <input type="checkbox"/>           | No sign permit (wall/ground) (111-37)         |
| <input type="checkbox"/>              | Overcrowding (103-125)                             | <input type="checkbox"/>           | Prohibited signs (111-7)                      |
| <input type="checkbox"/>              | Accumulation of refuse (103-55)                    | <b>Other Ordinances/State Laws</b> |   |
| <input type="checkbox"/>              | Mailbox/building numbers (I.B.C. 501.2)            | <input type="checkbox"/>           | No occupation tax license (10-40-C)           |
| <input type="checkbox"/>              | Closing of vacant structure (20-25-5)              | <input type="checkbox"/>           | Parking on grass (32-47-C-2-F)                |
| <input checked="" type="checkbox"/>   | <u>Establishment of District</u> <u>119-141(C)</u> | <input type="checkbox"/>           | Vehicle repair (32-47-B-1)                    |
| <input type="checkbox"/>              | _____  | <input type="checkbox"/>           | Outdoor water restrictions (E.P.D.391-330-05) |
| <input type="checkbox"/>              | _____  | <input type="checkbox"/>           | Solid waste (26-57-C)                         |

**Details of Violation:** Resident is living on a property zoned for commercial use only.  
Due to health reasons, The City of Loganville will allow the individual to continue residing at  
the property, but the property must be rezoned for single family use.  
Resident has 14 business days to contact The City of Loganville Planning and Development  
Department to rezone the property, to prevent a citation from Code Enforcement.

Please bring this property into lawful compliance by: 03 / 05 / 2025

Failure to comply may result in a citation being issued and your appearance being required in the Municipal Court of the City of Loganville.

Extensions (if applicable): \_\_\_\_\_  
 Citation No.: \_\_\_\_\_ Charge: \_\_\_\_\_ Date: \_\_\_\_\_  
 Citation No.: \_\_\_\_\_ Charge: \_\_\_\_\_ Date: \_\_\_\_\_

Coile \_\_\_\_\_ 691 \_\_\_\_\_  
 Code Enforcement Officer Badge Number

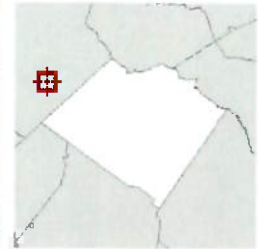
*Change From ONI*

To find out more about City of Loganville ordinances, visit [www.loganville-ga.gov](http://www.loganville-ga.gov) or call: Loganville Code Enforcement Office at (770) 466-8087

# Site Plan



Overview



Legend

- Parcels
- Roads

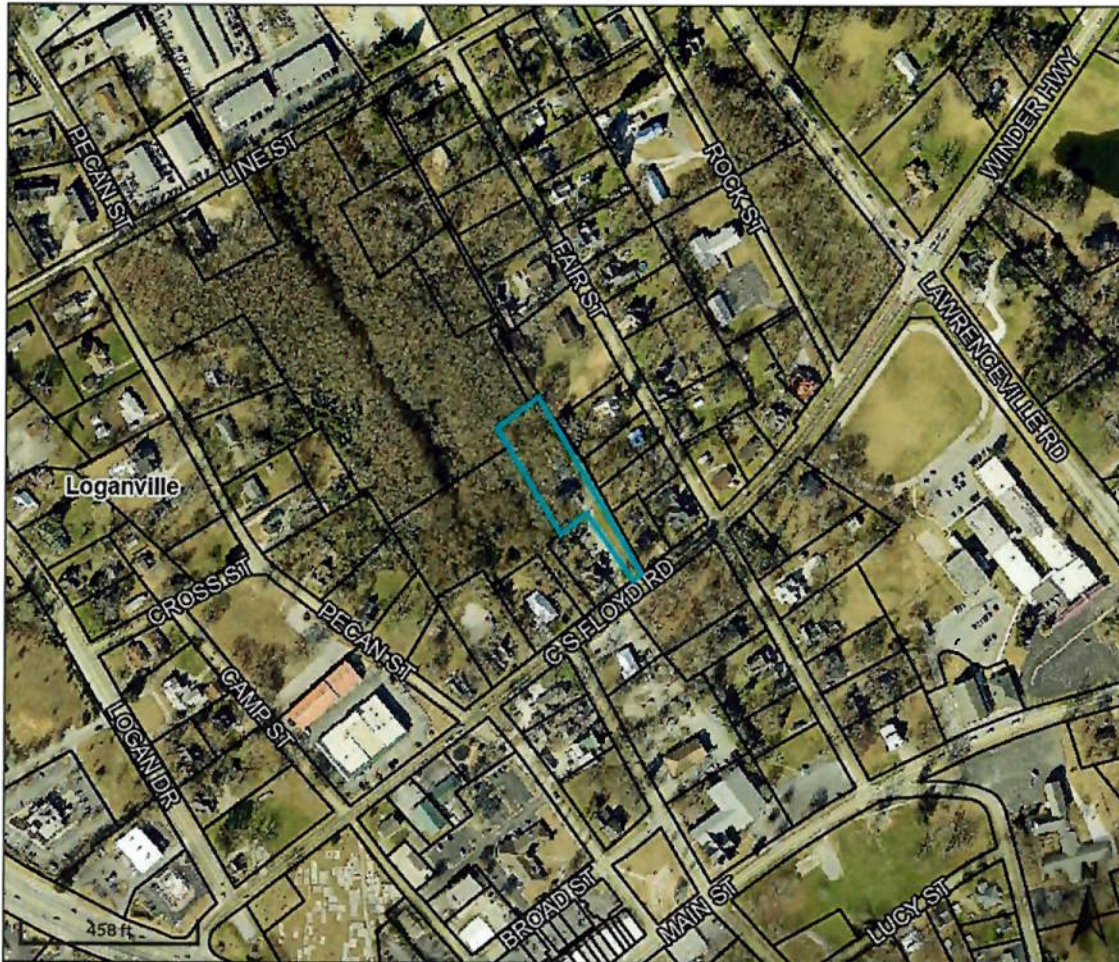
<b>Parcel ID</b>	LG050094	<b>Owner</b>	M & C INVESTMENTS LLC	<b>Last 2 Sales</b>			
<b>Class Code</b>	Commercial		PO BOX 3375	<b>Date</b>	<b>Price</b>	<b>Reason</b>	<b>Qual</b>
<b>Taxing District</b>	Loganville	<b>Physical Address</b>	LOGANVILLE, GA 30052	11/13/2017	\$217500	AO	U
<b>Acres</b>	1.07	<b>Appraised Value</b>	220 C S FLOYD RD	9/21/2004	\$170000	FM	Q
			Value \$298100				

(Note: Not to be used on legal documents)

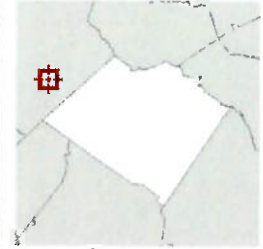
Date created: 3/5/2025  
 Last Data Uploaded: 3/5/2025 8:20:27 AM

Developed by **SCHNEIDER**  
 GEOSPATIAL

*Horse Show on map. No changes will be made.*



Overview



Legend

- Parcels
- Roads

<b>Parcel ID</b>	LG050094	<b>Owner</b>	M & C INVESTMENTS LLC	<b>Last 2 Sales</b>			
<b>Class Code</b>	Commercial		P O BOX 3375	<b>Date</b>	<b>Price</b>	<b>Reason</b>	<b>Qual</b>
<b>Taxing District</b>	Loganville		LOGANVILLE, GA 30052	11/13/2017	\$217500	AO	U
<b>Acres</b>	1.07	<b>Physical Address</b>	220 C S FLOYD RD	9/21/2004	\$170000	FM	Q
		<b>Appraised Value</b>	Value \$298100				

(Note: Not to be used on legal documents)

Date created: 3/5/2025  
 Last Data Uploaded: 3/5/2025 8:20:27 AM

Developed by **SCHNEIDER**  
 GEOSPATIAL





Date: 3-5-25

Application # A 25-005

**REQUEST FOR ANNEXATION**

A PETITION TO ANNEX PROPERTY INTO THE CITY OF LOGANVILLE, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
<b>NAME:</b> <u>Diane Atha Clay c/o Prater Consulting LLC</u> <b>ADDRESS:</b> <u>P.O. Box 6</u> <b>CITY:</b> <u>Auburn</u> <b>STATE:</b> <u>GA</u> <b>Zip:</b> <u>30011</u> <b>PHONE:</b> <u>(404) 757-0889</u>	<b>NAME:</b> <u>Diane Atha Clay</u> <b>ADDRESS:</b> <u>4159 Chandler Haulk Rd</u> <b>CITY:</b> <u>Loganville</u> <b>STATE:</b> <u>GA</u> <b>Zip:</b> <u>30052</u> <b>PHONE:</b> <u>(404) 317-8871</u> (*attach additional pages if necessary to list all owners)
<b>Applicant is:</b> <input type="checkbox"/> Property Owner <input type="checkbox"/> Contract Purchaser <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Attorney	
<b>CONTACT PERSON:</b> <u>Tim Prater</u> <b>PHONE:</b> <u>(404) 757-0889</u> <b>EMAIL:</b> <u>tprater@praterconsultingllc.com</u> <b>FAX:</b> <u>N/A</u>	
PROPERTY INFORMATION	
<b>MAP &amp; PARCEL #</b> <u>CO220011A00</u> <b>PRESENT ZONING:</b> <u>A-1</u> (Separate rezoning request required) <b>ADDRESS:</b> <u>4159 Chandler Haulk Rd.</u> <b>COUNTY:</b> <u>Walton</u> <b>ACREAGE:</b> <u>2.00</u>	
<b>PROPOSED DEVELOPMENT:</b> <u>No development proposed</u>	
<b>WATER PROVIDER:</b> <u>City of Loganville</u> <b>SEWER PROVIDER:</b> <u>Septic System</u>	

You must attach:  Application Fee     Legal Description     Plat of Property     Letter of Intent  
 Names/Addresses of Abutting Property Owners     Shape file of property (GIS File)

Pre-Application Conference Date: 2-18-2025

Accepted by Planning & Development: [Signature] **DATE:** 3-5-25 **FEE PAID:** \$300.00

CHECK # 1943 RECEIPT # 200232878 TAKEN BY: SD **DATE OF LEGAL NOTICE:** \_\_\_\_\_ **NEWSPAPER:** THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION:  Approve     Approve w/conditions     Deny     No Recommendation

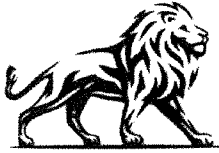
Commission Chairman: \_\_\_\_\_ **DATE:** \_\_\_\_\_

CITY COUNCIL ACTION:  Approved     Approved w/conditions     Denied     Tabled to \_\_\_\_\_  
 Referred Back to Planning Commission     Withdrawn

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Date



# PRATER CONSULTING LLC

Building a Better Tomorrow One Zone at a Time

## LETTER OF INTENT FOR ANNEXATION AND REZONE APPLICATION FOR DIANE ATHA CLAY

Tim Prater submits this Letter of Intent and the attached annexation and rezone application (the “Application”) on behalf of Diane Atha Clay (the “Property Owner and Applicant”), relative to an existing single-family dwelling on approximately 2.0 +or- acres of land (the “Property”) located at 4159 Chandler Haulk Rd. The property is currently zoned A-1. The Applicant requests that the City annex and rezone the Property to the (R-44) single-family residential classification. The Property’s location on Chandler Haulk provides easy access to Highway 20 as well as to the Highway 78 corridor. The Applicant is proposing no changes to the current structure on the Property for use as a single family dwelling. The structure will remain as a residential dwelling.

The proposed annexation and rezone is compatible with the surrounding uses and land use on Chandler Haulk Rd. The property is surrounded by property zoned Single family as well as multi family within the City of Loganville. The property is surrounded by property within the City of Loganville. Abutting property to the east of the Applicants property is zoned R-16 as well as abutting property to the north. Abutting properties to the south are zoned R-44. The abutting property to the west is zoned R-22, however and except for the property approximately 1000 ft. to the west zoned RM-8.

Although the Property is not within the city limits it is designated on the Future Land Use Map as resident, as it is currently part of the County, the property is surrounded by property within the city limits and are zoned as residential on the Future Land Use Map. The proposed Annexation and rezone are in line with the growth of the city limits and would eliminate currently zoned islands inside the city limits.

The state zoning procedure law specifically encourages the reduction of islands when possible. Due to the designation on the Future Land Use Map for the Property and the dominance of the surrounding Property within the city limits, the applicant submits that the proposed annexation is in line with the spirit and intent of the Comprehensive Plan, Future Land Use Map and qualifies for annexation under the city’s zoning ordinance and state zoning procedure law.

The proposed annexation and rezone are compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan, and is an appropriate land use due to the Property’s close proximity to the City limits.

The Applicant and myself welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March, 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant

Application # A

**Applicant's Certification**

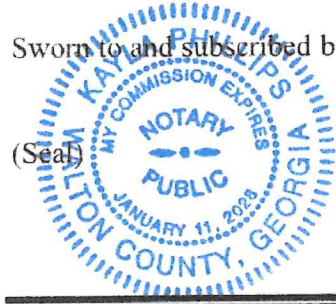
The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Handwritten Signature]  
Applicant's Signature

3-3-25  
Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)  
Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

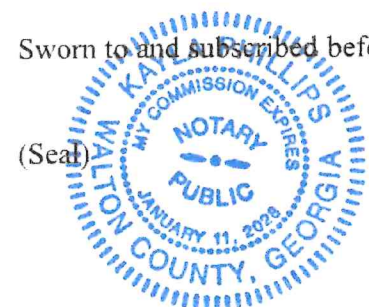
that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

3/3/25  
Date

[Handwritten Signature]  
Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

**ABUTTING PROPERTY OWNERS FOR 4159 CHANDLER HAULK RD.**

**KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**

**HAGGERTY EDWIN G &  
HAGGERTY DEBORAH B  
2307 MILLER BOTTOM RD  
LOGANVILLE, GA 30052**

**PELLETIER JAMES L &  
PELLETIER CHERYL A  
291 N SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**

**PITTMAN CAROLYN REBECCA  
295 N SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**



Surveyed legal description for Diane Atha Clay tract: Parcel C0220011A00

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 2.004 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence South 48 degrees 49 minutes 03 seconds East with a distance of 158.17 feet to a 1/2" conduit found on the easterly right-of-way Chandler Haulk Road, which is THE TRUE POINT OF BEGINNING;

Thence leaving said right-of-way and following a course North 61 Degrees 15 Minutes 36 Seconds East a distance of 286.84 feet to a 1" open top pipe found; thence North 28 Degrees 38 Minutes 47 Seconds West a distance of 146.71 feet to A 1/2" open top pipe found; thence North 61 Degrees 13 Minutes 57 Seconds East a distance of 96.45 feet to a 1/2" rod found; thence South 29 Degrees 04 Minutes 38 Seconds East a distance of 344.44 feet to a 1/2" rebar set; thence South 61 Degrees 19 Minutes 22 Seconds West a distance of 354.87 feet to point on the easterly right-of-way of Chandler Haulk Road (80' R/W); thence following along said right-of-way North 38 Degrees 14 Minutes 34 Seconds West a distance of 21.67 feet to point; thence North 37 Degrees 47 Minutes 41 Seconds West a distance of 50.65 feet to a 1/2" rebar found; thence North 37 Degrees 44 Minutes 02 Seconds West a distance of 65.79 feet to a 1/2" rebar found; thence North 37 Degrees 00 Minutes 29 Seconds West a distance of 61.55 feet to a point; which is the TRUE POINT OF BEGINNING.





The proposed annexation and rezone are compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan, and is an appropriate land use due to the Property's close proximity to the City limits.

The Applicant and myself welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March, 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant

Application # R

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

*[Handwritten Signature]*

3-3-25

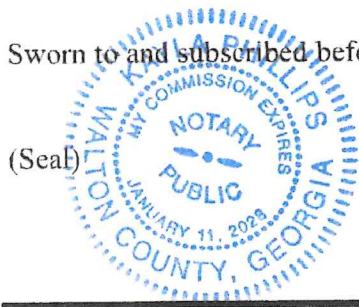
Applicant's Signature

Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)

Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



*[Handwritten Signature]*  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

*[Handwritten Signature]*

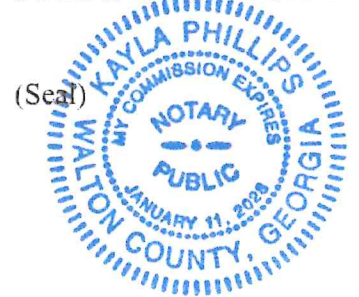
3/3/25

Owner's Signature

Date

*[Handwritten Signature]* property owner  
Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



*[Handwritten Signature]*  
Signature of Notary Public

Application # **R** \_\_\_\_\_

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

*Diene Atha Clay*      3/3/25  
Applicant's Signature      Date

Diene Atha Clay  
Print Name

*Timothy Prater*      3-3-25  
Signature of Applicant's Attorney or Agent      Date

Timothy Prater  
Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ YES        X   NO

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**

## APPLICANT'S RESPONSES TO EVALUATION CRITERIA

In the space provided or in a separate attachment, provide responses to the following questions:

1. **How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?**  
There would be no impact to the overall appearance of the city or adjacent property. This is a single family dwelling and would remain as such.
  
2. **How does the proposed use impact thoroughfare congestion and traffic safety?**  
There would be no increased impact to congestion or traffic safety.
  
3. **How does the proposed use impact population density and the potential for overcrowding and urban sprawl?**  
There would be no impact to density, overcrowding or urban sprawl.
  
4. **How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;** The proposed use will remain as a single family dwelling  
The dwelling is currently on city water with septic. The dwelling maybe added to city sewer if available. There would be no increase in traffic and no impact to other city services with the dwelling being surrounded by the city limits
  
5. **How does the proposed zoning provide protection of property against blight and depreciation?**  
The property is currently being utilized as a single family dwelling and the use will remain as such.
  
6. **How is the proposed use and zoning consistent with the adopted Comprehensive Plan?**  
The Comprehensive plan shows the area as residential, and the use will remain residential
  
7. **In what way does the proposed zoning affect adjacent property owners if the request is approved?**  
The proposed rezone will not affect adjacent property owners as the use will remain residential
  
8. **What is the impact upon adjacent property owners if the request zoning is not approved?**  
There would be no impact
  
9. **Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.**  
The property is currently within the county surrounded by the city limits, this would bring the property inside the city limits and reducing a island inside the city limits making a more cohesive city boundary

**ABUTTING PROPERTY OWNERS FOR 4159 CHANDLER HAULK RD.**

**KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
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**HAGGERTY EDWIN G &  
HAGGERTY DEBORAH B  
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**PELLETIER JAMES L &  
PELLETIER CHERYL A  
291 N SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**

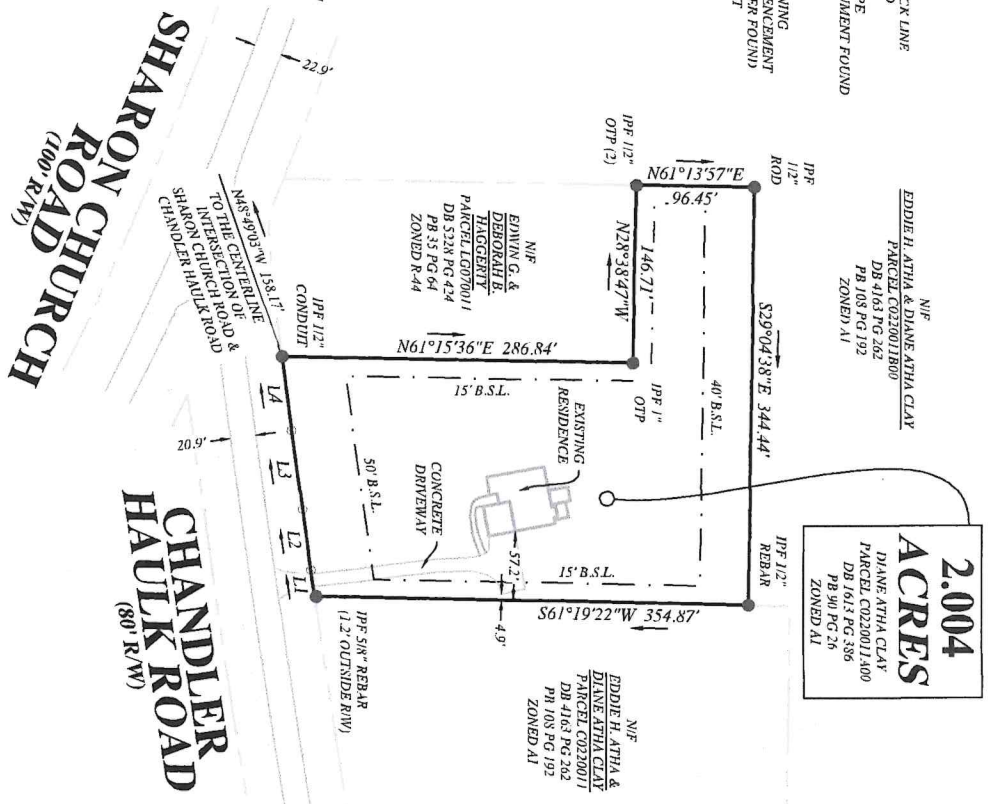
**PITTMAN CAROLYN REBECCA  
295 N SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**

**SURVEY LEGEND**

IPF	IRON PIN FOUND
R/S	IRON PIN SET
REBAR	REBAR
CONCRETE	CONCRETE
OPEN TOP PIPE	OPEN TOP PIPE
CONCRETE MOUNTMENT FOUND	CONCRETE MOUNTMENT FOUND
PLAT BOOK	PLAT BOOK
DEED BOOK	DEED BOOK
RIGHT-OF-WAY	RIGHT-OF-WAY
POINT OF BEGINNING	POINT OF BEGINNING
PROPERTY CORNER FOUND	PROPERTY CORNER FOUND
COMPLETED POINT	COMPLETED POINT

**UTILITY NOTE**  
UTILITIES SHOWN ON THIS SURVEY ARE BASED ON OBSERVED EVIDENCE OF UTILITIES AT THE TIME OF SURVEY. NO UNDERGROUND UTILITIES ARE SHOWN AND THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES ON SITE. UTILITIES SHOWN ARE DEPICTED AS APPROXIMATE, AND SHOULD BE USED AS REFERENCE NOT FOR DESIGN.

**GENERAL NOTES**  
1. FIELD SURVEY WAS COMPLETED ON 02/25/2025.  
2. OWNER OF RECORD FOR THE SUBJECT PROPERTY IS: DIANE ATHA CLAY  
3. TITLE REFERENCES REGARDING ADJOINERS ARE SUBJECT TO INFORMATION PROVIDED BY LOCAL GOVERNMENT.  
4. SUBJECT PROPERTY IS LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "ZONE X", DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN IN THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 139709000 WITH AN EFFECTIVE DATE OF 12/08/2016 FOR COMMUNITY NUMBER 130133, WALTON COUNTY, GEORGIA.  
5. THIS PROJECT IS SUBJECT TO ANY AND ALL EASEMENTS (S) OR RIGHTS (S) OF WAY, WHETHER WRITTEN OR UNWRITTEN, RECORDED OR UNRECORDED.  
6. THIS SITE IS ZONED "A1" (AGRICULTURAL).  
PER WALTON COUNTY ZONING MAPS, ACCESSED 02/25/2025.  
MINIMUM BUILDING SETBACKS:  
FRONT: 50' / SIDE: 15' / REAR: 40'  
7. NO VISIBLE EVIDENCE OF BURIAL GROUNDS WERE OBSERVED WITHIN THIS SITE (NOR WERE ANY REPORTED) TO THIS FIRM.  
8. THIS PROPERTY MAY OR MAY NOT CONTAIN WETLANDS, AND WETLANDS WERE INVESTIGATED, IDENTIFIED, DELINEATED, LOCATED OR CONFIRMED FOR PURPOSES OF THIS SURVEY.  
9. SUBJECT TO DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS BOTH RECORDED AND UNRECORDED.  
10. DISTANCES SHOWN HEREON ARE HORIZONTAL GROUND DISTANCES BASED ON THE U.S. SURVEY FOOT.  
11. THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE).



**2.004 ACRES**

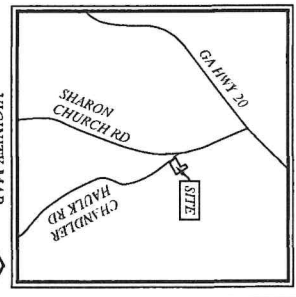
DIANE ATHA CLAY  
PARCEL CO220011400  
DB 1613 PG 386  
PB 90 PG 26  
ZONED A1

Line Table

Line #	Direction	Length
L1	N38°44'54"W	21.67'
L2	N37°47'41"W	50.65'
L3	N37°44'02"W	65.79'
L4	N37°00'29"W	61.55'



**REFERENCES**  
DB 1613 PG 386  
PB 90 PG 26



**SURVEY NOTES**

- THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 94,661 FEET, AND WAS UNADJUSTED.
- THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS MAP OR PLAT WERE OBTAINED BY USING A ZOOM 95 SERIES TOTAL STATION.
- THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 213,229 FEET.

**SURVEYOR'S CERTIFICATE**

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND, AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. REGULATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O. C. G. A. SECTION 15-6-67.

JOHN F. BREWER, III RLS#2905

*JFB*

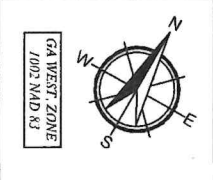
03/04/2025

DATE

**W&A ENGINEERING**

CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE  
LAND SURVEYING, TRAFFIC ENGINEERING  
ECONOMIC DEVELOPMENT

355 Orelia Street, Ste. 0100  
Athens, GA 30601  
P: (706) 310-0400  
www.wandaeengineering.com | info@wandaeengineering.com



RETRACEMENT SURVEY FOR:

**DIANE ATHA CLAY**

4159 CHANDLER HAULK ROAD  
LOGANVILLE, GEORGIA 30052  
WALTON COUNTY  
LAND LOT 188 4TH DISTRICT - G.M.D. 417

DATE	PROJECT #
03/04/2025	25-00098
REVISIONS	DRAFTED BY:
	AC
	REVIEWED BY:
	JFB

REGISTERED PROFESSIONAL LAND SURVEYOR  
NO. 2905  
JOHN F. BREWER, III

Surveyed legal description for Diane Atha Clay tract: Parcel C0220011A00

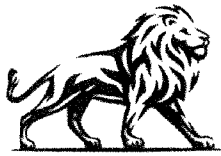
All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 2.004 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence South 48 degrees 49 minutes 03 seconds East with a distance of 158.17 feet to a 1/2" conduit found on the easterly right-of-way Chandler Haulk Road, which is THE TRUE POINT OF BEGINNING;

Thence leaving said right-of-way and following a course North 61 Degrees 15 Minutes 36 Seconds East a distance of 286.84 feet to a 1" open top pipe found; thence North 28 Degrees 38 Minutes 47 Seconds West a distance of 146.71 feet to A 1/2" open top pipe found; thence North 61 Degrees 13 Minutes 57 Seconds East a distance of 96.45 feet to a 1/2" rod found; thence South 29 Degrees 04 Minutes 38 Seconds East a distance of 344.44 feet to a 1/2" rebar set; thence South 61 Degrees 19 Minutes 22 Seconds West a distance of 354.87 feet to point on the easterly right-of-way of Chandler Haulk Road (80' R/W); thence following along said right-of-way North 38 Degrees 14 Minutes 34 Seconds West a distance of 21.67 feet to point; thence North 37 Degrees 47 Minutes 41 Seconds West a distance of 50.65 feet to a 1/2" rebar found; thence North 37 Degrees 44 Minutes 02 Seconds West a distance of 65.79 feet to a 1/2" rebar found; thence North 37 Degrees 00 Minutes 29 Seconds West a distance of 61.55 feet to a point; which is the TRUE POINT OF BEGINNING.







# PRATER CONSULTING LLC

Building a Better Tomorrow One Zone at a Time

## LETTER OF INTENT FOR ANNEXATION AND REZONE APPLICATION FOR EDDIE ATHA AND DIANA CLAY

Tim Prater submits this Letter of Intent and the attached annexation application (the “Application”) on behalf of Eddie H. Atha and Diana Clay (the “Property Owner and Applicant”), relative to an existing single-family dwelling on approximately 2.0 +/- acres of land (the “Property”) located at 4139 Chandler Haulk Rd. The property is currently zoned A-1. The Applicant requests that the City annex and rezone the Property to the (R-44) single-family residential classification. The Property’s location on Chandler Haulk provides easy access to Highway 20 as well as to the Highway 78 corridor. The Applicant is proposing no changes to the current structure on the Property for use as a single family dwelling. The structure will remain as a residential dwelling.

The proposed annexation is compatible with the surrounding uses and land use on Chandler Haulk Rd. The property is surrounded by property zoned Single family as well as multi family within the City of Loganville. The property is surrounded by property within the City of Loganville. Abutting property to the east of the Applicants property is zoned R-16 as well as abutting property to the north. Abutting properties to the south are zoned R-44. The abutting property to the west is zoned R-22, however and except for the property approximately 1000 ft. to the west zoned RM-8.

Although the Property is not within the city limits it is designated on the Future Land Use Map as resident, as it is currently part of the County, the property is surrounded by property within the city limits and are zoned as residential on the Future Land Use Map. The proposed Annexation and rezone are in line with the growth of the city limits and would eliminate currently zoned islands inside the city limits.

The state zoning procedure law specifically encourages the reduction of islands when possible. Due to the designation on the Future Land Use Map for the Property and the dominance of the surrounding Property within the city limits, the applicant submits that the proposed annexation is in line with the spirit and intent of the Comprehensive Plan, Future Land Use Map and qualifies for annexation under the city’s zoning ordinance and state zoning procedure law.

The proposed annexation and rezone are compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan, and is an appropriate land use due to the Property’s close proximity to the City limits.

The Applicant and myself welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March, 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant

**ABUTTING PROPERTY OWNERS FOR 4139 CHANDLER HAULK RD.**

**KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**

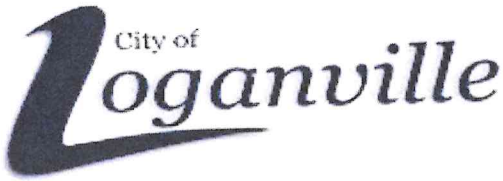


## Legal Description for Tract 2: Eddie H. Atha and Diane Atha Clay: Parcel C0220011

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 2.000 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence South 42 degrees 32 minutes 45 seconds East with a distance of 356.13 feet to a point on the Easterly right-of-way Chandler Haulk Road, which is THE TRUE POINT OF BEGINNING;

Thence leaving said right-of-way on a course North 61 Degrees 19 Minutes 22 Seconds East a distance of 354.87 feet to a 1/2" rebar found; thence North 61 Degrees 19 Minutes 22 Seconds East a distance of 33.93 feet to a 1/2" rebar found; thence South 29 Degrees 04 Minutes 38 Seconds East a distance of 216.50 feet to a 1/2" rebar found; thence South 54 Degrees 55 Minutes 36 Seconds West a distance of 348.53 feet to a 1/2" rebar found on the Easterly right-of-way Chandler Haulk Road; thence following along said right-of-way North 38 Degrees 03 Minutes 25 Seconds West a distance of 26.37 feet to a point; thence North 38 Degrees 02 Minutes 14 Seconds West a distance of 40.96 feet to a point; thence North 38 Degrees 46 Minutes 16 Seconds West a distance of 37.49 feet to a point; thence North 38 Degrees 52 Minutes 34 Seconds West a distance of 36.93 feet to a point; thence North 38 Degrees 46 Minutes 21 Seconds West a distance of 37.79 feet to a point; thence North 38 Degrees 36 Minutes 29 Seconds West a distance of 29.93 feet to a point; thence North 38 Degrees 00 Minutes 18 Seconds West a distance of 35.31 feet to a point; thence North 38 Degrees 14 Minutes 34 Seconds West a distance of 14.30 feet to a point; which is THE TRUE POINT OF BEGINNING.



CITY OF LOGANVILLE  
 Department of Planning & Development  
 P.O. Box 39 • 4303 Lawrenceville Road  
 Loganville, GA 30052  
 770.466.2633 • 770.466.3240 • Fax 770.554.5556

Section 5, Item F.

Date: 3-5-25

Application # R 25-008

**REQUEST FOR ZONING MAP AMENDMENT**  
 A PETITION TO AMMEND THE OFFICIAL ZONING MAP OF THE CITY OF LOGANVILLE, GEORGIA

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Eddie H. Atha and Diane Atha Clay c/o PRATER CONSULTING LLC</u> ADDRESS: <u>P.O. Box 6</u> CITY: <u>AUBURN</u> STATE: <u>GA</u> Zip: <u>30011</u> PHONE: <u>(404) 757-0889</u>	NAME: <u>* Eddie H. Atha and Diane Atha Clay</u> ADDRESS: <u>4139 Chandler Haulk Rd</u> CITY: <u>Loganville</u> STATE: <u>GA</u> Zip: <u>30052</u> PHONE: <u>(678) 232-1269</u> (*attach additional pages if necessary to list all owners)
Applicant is: <input type="checkbox"/> Property Owner <input type="checkbox"/> Contract Purchaser <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Attorney	
CONTACT PERSON: <u>TIM PRATER</u> PHONE: <u>(404) 757-0889</u> EMAIL: <u>tprater@praterconsultingllc.com</u> FAX: <u>N/A</u>	
PROPERTY INFORMATION	
MAP & PARCEL # <u>C0220011</u> PRESENT ZONING: <u>A-1</u> REQUESTED ZONING: <u>R-44</u> ADDRESS: <u>4139 Chandler Haulk Rd.</u> COUNTY: <u>WALTON</u> ACREAGE: <u>2.00 +or-</u> PROPOSED DEVELOPMENT: <u>No development proposed</u>	

You must attach:  Application Fee  Legal Description  Plat of Property  Campaign Contribution Disclosure  
 Letter of Intent  Site Plan  Names/Addresses of Abutting Property Owners  Impact Analysis

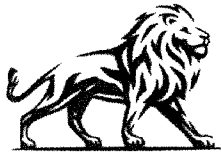
Pre-Application Conference Date: 2/18/2025  
 Accepted by Planning & Development: [Signature] DATE: 3-5-25 FEE PAID: \$500.00

CHECK # 1943 RECEIPT # 100232878 TAKEN BY: SB DATE OF LEGAL NOTICE: \_\_\_\_\_ NEWSPAPER: THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION:  Approve  Approve w/conditions  Deny  No Recommendation  
 Commission Chairman: \_\_\_\_\_ DATE: \_\_\_\_\_

CITY COUNCIL ACTION:  Approved  Approved w/conditions  Denied  Tabled to \_\_\_\_\_  
 Referred Back to Planning Commission  Withdrawn

\_\_\_\_\_  
 Mayor City Clerk Date



# PRATER CONSULTING LLC

Building a Better Tomorrow One Zone at a Time

## LETTER OF INTENT FOR ANNEXATION AND REZONE APPLICATION FOR EDDIE ATHA AND DIANA CLAY

Tim Prater submits this Letter of Intent and the attached annexation application (the “Application”) on behalf of Eddie H. Atha and Diana Clay (the “Property Owner and Applicant”), relative to an existing single-family dwelling on approximately 2.0 +/- acres of land (the “Property”) located at 4139 Chandler Haulk Rd. The property is currently zoned A-1. The Applicant requests that the City annex and rezone the Property to the (R-44) single-family residential classification. The Property’s location on Chandler Haulk provides easy access to Highway 20 as well as to the Highway 78 corridor. The Applicant is proposing no changes to the current structure on the Property for use as a single family dwelling. The structure will remain as a residential dwelling.

The proposed annexation is compatible with the surrounding uses and land use on Chandler Haulk Rd. The property is surrounded by property zoned Single family as well as multi family within the City of Loganville. The property is surrounded by property within the City of Loganville. Abutting property to the east of the Applicants property is zoned R-16 as well as abutting property to the north. Abutting properties to the south are zoned R-44. The abutting property to the west is zoned R-22, however and except for the property approximately 1000 ft. to the west zoned RM-8.

Although the Property is not within the city limits it is designated on the Future Land Use Map as resident, as it is currently part of the County, the property is surrounded by property within the city limits and are zoned as residential on the Future Land Use Map. The proposed Annexation and rezone are in line with the growth of the city limits and would eliminate currently zoned islands inside the city limits.

The state zoning procedure law specifically encourages the reduction of islands when possible. Due to the designation on the Future Land Use Map for the Property and the dominance of the surrounding Property within the city limits, the applicant submits that the proposed annexation is in line with the spirit and intent of the Comprehensive Plan, Future Land Use Map and qualifies for annexation under the city’s zoning ordinance and state zoning procedure law.

The proposed annexation and rezone are compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan, and is an appropriate land use due to the Property’s close proximity to the City limits.

The Applicant and myself welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March, 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant



Application # R

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Handwritten Signature]

3.3.25

Applicant's Signature

Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)

Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



(Seal)

Kayla Phillips  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a) X the owner of record of property contained in this application, and/or
- b) \_\_\_\_\_ the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

Eddie H. Atha

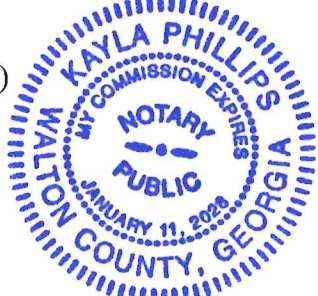
Owner's Signature

Date

Eddie H. Atha Property owner

Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



(Seal)

Kayla Phillips  
Signature of Notary Public

Application # R

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

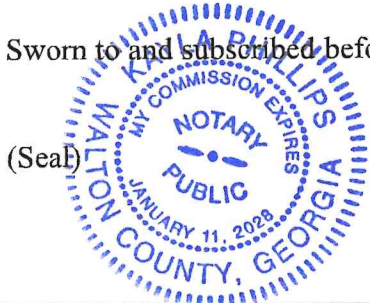
[Handwritten Signature]  
Applicant's Signature

3-3-25  
Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)

Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



[Handwritten Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

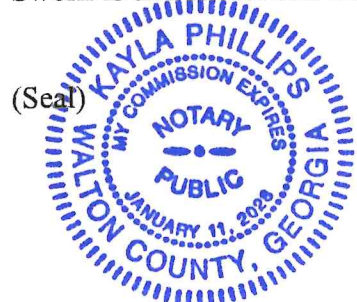
that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

3/3/25  
Date

Drane Atha Clay property owner  
Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



[Handwritten Signature]  
Signature of Notary Public

Application # **R** \_\_\_\_\_

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

Eddie H. Arth                      3-3-25  
Applicant's Signature                      Date

Eddie H. Arth  
Print Name

Timothy R. Porter                      3-3-25  
Signature of Applicant's Attorney or Agent                      Date

Timothy R. Porter  
Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ **YES**                        ✓   **NO**

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**

Application # **R** \_\_\_\_\_

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

Diane Atta Clay      3/3/25  
Applicant's Signature      Date

Diane Atta Clay  
Print Name

[Signature]      3-3-25  
Signature of Applicant's Attorney or Agent      Date

Timothy Prater  
Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ **YES**        X   **NO**

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**

Application # **R** \_\_\_\_\_**APPLICANT'S RESPONSES TO EVALUATION CRITERIA**

In the space provided or in a separate attachment, provide responses to the following questions:

1. **How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?**  
There would be no impact to the overall appearance of the city or adjacent property. This is a single family dwelling and would remain as such.
  
2. **How does the proposed use impact thoroughfare congestion and traffic safety?**  
There would be no increased impact to congestion or traffic safety.
  
3. **How does the proposed use impact population density and the potential for overcrowding and urban sprawl?**  
There would be no impact to density, overcrowding or urban sprawl.
  
4. **How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;** The proposed use will remain as a single family dwelling  
The dwelling is currently on city water with septic. The dwelling maybe added to city sewer if available. There would be no increase in traffic and no impact to other city services with the dwelling being surrounded by the city limits
  
5. **How does the proposed zoning provide protection of property against blight and depreciation?**  
The property is currently being utilized as a single family dwelling and the use will remain as such.
  
6. **How is the proposed use and zoning consistent with the adopted Comprehensive Plan?**  
The Comprehensive plan shows the area as residential, and the use will remain residential
  
7. **In what way does the proposed zoning affect adjacent property owners if the request is approved?**  
The proposed rezone will not affect adjacent property owners as the use will remain residential
  
8. **What is the impact upon adjacent property owners if the request zoning is not approved?**  
There would be no impact
  
9. **Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.**  
The property is currently within the county surrounded by the city limits, this would bring the property inside the city limits and reducing a island inside the city limits making a more cohesive city boundary

**ABUTTING PROPERTY OWNERS FOR 4139 CHANDLER HAULK RD.**

**KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**



## Legal Description for Tract 2: Eddie H. Atha and Diane Atha Clay: Parcel C0220011

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 2.000 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence South 42 degrees 32 minutes 45 seconds East with a distance of 356.13 feet to a point on the Easterly right-of-way Chandler Haulk Road, which is THE TRUE POINT OF BEGINNING;

Thence leaving said right-of-way on a course North 61 Degrees 19 Minutes 22 Seconds East a distance of 354.87 feet to a 1/2" rebar found; thence North 61 Degrees 19 Minutes 22 Seconds East a distance of 33.93 feet to a 1/2" rebar found; thence South 29 Degrees 04 Minutes 38 Seconds East a distance of 216.50 feet to a 1/2" rebar found; thence South 54 Degrees 55 Minutes 36 Seconds West a distance of 348.53 feet to a 1/2" rebar found on the Easterly right-of-way Chandler Haulk Road; thence following along said right-of-way North 38 Degrees 03 Minutes 25 Seconds West a distance of 26.37 feet to a point; thence North 38 Degrees 02 Minutes 14 Seconds West a distance of 40.96 feet to a point; thence North 38 Degrees 46 Minutes 16 Seconds West a distance of 37.49 feet to a point; thence North 38 Degrees 52 Minutes 34 Seconds West a distance of 36.93 feet to a point; thence North 38 Degrees 46 Minutes 21 Seconds West a distance of 37.79 feet to a point; thence North 38 Degrees 36 Minutes 29 Seconds West a distance of 29.93 feet to a point; thence North 38 Degrees 00 Minutes 18 Seconds West a distance of 35.31 feet to a point; thence North 38 Degrees 14 Minutes 34 Seconds West a distance of 14.30 feet to a point; which is THE TRUE POINT OF BEGINNING.





Section 5, Item G.

**C02200110DP**

ATHA EDDIE H &  
 CLAY DIANE ATHA  
 CHANDLER HAULK RD  
 Acres: 1.42  
 Value: \$18,000

[View: Report](#) | [Field Definitions](#) | [Google Maps](#)

County

660 ft



CITY OF LOGANVILLE Section 5, Item G.  
 Department of Planning & Development  
 P.O. Box 39  
 4303 Lawrenceville Road  
 Loganville, GA 30052  
 770.466.2633

Date: 3-5-25

Application # A 25-009

**REQUEST FOR ANNEXATION**

A PETITION TO ANNEX PROPERTY INTO THE CITY OF LOGANVILLE, GEORGIA

<i>APPLICANT INFORMATION</i>	<i>PROPERTY OWNER INFORMATION*</i>
<b>NAME:</b> <u>Eddie H. Atha and Diane Atha Clay c/o Prater Consulting LLC</u> <b>ADDRESS:</b> <u>P.O. Box 6</u> <b>CITY:</b> <u>Auburn</u> <b>STATE:</b> <u>GA</u> <b>Zip:</b> <u>30011</u> <b>PHONE:</b> <u>(404) 757-0889</u>	<b>NAME:</b> <u>* Eddie H. Atha and Diane Atha Clay</u> <b>ADDRESS:</b> <u>4139 Chandler Haulk Rd</u> <b>CITY:</b> <u>Loganville</u> <b>STATE:</b> <u>GA</u> <b>Zip:</b> <u>30052</u> <b>PHONE:</b> <u>(678) 232-1269</u> (*attach additional pages if necessary to list all owners)
<b>Applicant is:</b> <input type="checkbox"/> Property Owner <input type="checkbox"/> Contract Purchaser <input checked="" type="checkbox"/> Agent <input type="checkbox"/> Attorney	
<b>CONTACT PERSON:</b> <u>Tim Prater</u> <b>PHONE:</b> <u>(404) 757-0889</u> <b>EMAIL:</b> <u>tprater@praterconsultingllc.com</u> <b>FAX:</b> <u>N/A</u>	
<i>PROPERTY INFORMATION</i>	
<b>MAP &amp; PARCEL #</b> _____ <b>PRESENT ZONING:</b> <u>A-1</u> (Separate rezoning request required) <u>CO220011B00</u>	
<b>ADDRESS:</b> <u>0 Chandler Haulk Rd.</u> <b>COUNTY:</b> <u>Walton</u> <b>ACREAGE:</b> <u>17.57 + or -</u>	
<b>PROPOSED DEVELOPMENT:</b> <u>Market for development</u>	
<b>WATER PROVIDER:</b> <u>City of Loganville</u> <b>SEWER PROVIDER:</b> <u>Septic System</u>	

You must attach:  Application Fee     Legal Description     Plat of Property     Letter of Intent  
 Names/Addresses of Abutting Property Owners     Shape file of property (GIS File)

Pre-Application Conference Date: 2-18-2025

Accepted by Planning & Development: [Signature] **DATE:** 3-5-25 **FEE PAID:** \$300.00

CHECK # 164 RECEIPT # 200232882 TAKEN BY: [Signature] DATE OF LEGAL NOTICE: \_\_\_\_\_ **NEWSPAPER:** THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION:  Approve     Approve w/conditions     Deny     No Recommendation

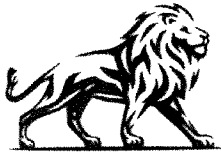
Commission Chairman: \_\_\_\_\_ **DATE:** \_\_\_\_\_

CITY COUNCIL ACTION:  Approved     Approved w/conditions     Denied     Tabled to \_\_\_\_\_  
 Referred Back to Planning Commission     Withdrawn

\_\_\_\_\_  
Mayor

\_\_\_\_\_  
City Clerk

\_\_\_\_\_  
Date



# PRATER CONSULTING LLC

Building a Better Tomorrow One Zone at a Time

## LETTER OF INTENT FOR ANNEXATION APPLICATION FOR EDDIE ATHA AND DIANA CLAY

Tim Prater submits this Letter of Intent and the attached annexation application (the “Application”) on behalf of Eddie Atha and Diana Clay (the “Property Owners”) and (“Applicant”), relative to a proposed RM-4 zoning on approximately 17.57 +or- acres of land (the “Property”) located at 4139 Chandler Haulk Rd. The property is currently zoned A-1. The Applicant requests that the City annexation the Property to the (RM-4) multi-family classification.

The Property’s location on Chandler Haulk Rd. would provide easy access for residents to the Highway 20 corridor as well as Highway 78 to the north. The Applicants are proposing to annexation the Property for sale and market it as a multi-family development.

The proposed annexation is compatible with the surrounding uses and development on Sharon Church Rd., which contains a mix of single-family and multi-family uses. The property is surrounded by property zoned within the City of Loganville. Abutting property to the east of the Applicants property is zoned R-16 as well as abutting property to the north. Abutting properties to the south are zoned R-44. The abutting property to the west is zoned R-22, however and except for the property approximately 1000 ft. to the west zoned RM-8.

Although the Property is not within the city limits it is designated on the Future Land Use Map as resident, as it is currently part of the County, all four sides surrounding the property that are within the City are zoned as residential on the Future Land Use Map. The proposed RM-4 zoning is in line with that growth. The Comprehensive Plan specifically encourages multi-family use in areas designated as on the outskirts of major corridors on the Future Land Use Map. Due to the designation on the Future Land Use Map for the Property and the dominance of the single family and multifamily designation surrounding the Property, the applicant submits that the proposed zoning is in line with the spirit and intent of the Comprehensive Plan and the Future Land Use Map.

Application # A

**Applicant's Certification**

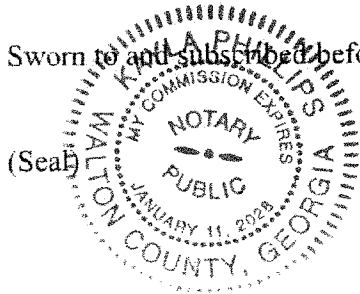
The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Handwritten Signature]  
Applicant's Signature

3.3.25  
Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)  
Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

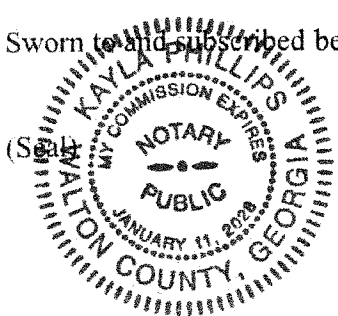
[Handwritten Signature]

3/3/25  
Date

[Handwritten Name]  
Print Name and Title

[Handwritten Name]

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

Application # A

**Applicant's Certification**

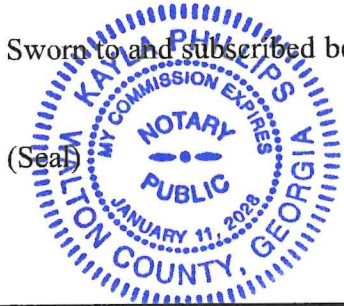
The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Handwritten Signature]  
Applicant's Signature

3-3-25  
Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)  
Print Name and Title

Sworn to and subscribed before me this 3<sup>rd</sup> day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

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(complete a separate form for each owner)

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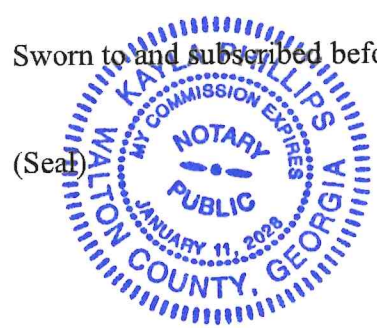
that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

3/3/25  
Date

Diarré Atha Clay  
Print Name and Title

Sworn to and subscribed before me this 3<sup>rd</sup> day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

ABUTTING PROPERTY OWNERS FOR 4139 CHANDLER HAULK RD.

VILLAS AT LOGANVILLE  
HOMEOWNERS ASSOCIATION  
212 CHAD LANE  
LOGANVILLE, GA 30052

PHILAVANH HATSADY  
240 N SHARON CHURCH RD  
LOGANVILLE, GA 30052

EDSALL SHANNON &  
BARKLEY ROY M IV  
1047 ECHO VALLEY CT  
LOGANVILLE, GA 30052

ELLISON KAREN H  
505 WOODBROOK WAY  
LAWRENCEVILLE, GA 30043

RUKEBA PATERNE &  
BUHENDWA CIZA (DECEASED)  
385 BIG GAME WAY  
LOGANVILLE, GA 30052

TAYLOR ALEXANDER  
390 BIG GAME WAY  
LOGANVILLE, GA 30052-2698

BAHAM WILTON &  
BAHAM YOLLETTE P  
485 YEARLING DR  
LOGANVILLE, GA 30052

UMANZOR AGUSTIN &  
REYES GILMA CRISTINA  
480 YEARLING DR  
LOGANVILLE, GA 30052

(Rezone Only)  
BARBOUR JOSHUA P &  
BARBOUR JENNIFER T  
760 RIDGE TERRACE  
LOGANVILLE, GA 30052

(Rezone Only)  
H R HOMEOWNERS ASSOCIATION INC  
P O BOX 1027  
LOGANVILLE, GA 30052

BILLINGHURST ROBERT  
234 IVY CREEK DR  
LOGANVILLE, GA 30052

WHITE LINDA RUTH  
235 IVY CREEK DR  
LOGANVILLE, GA 30052

CASH TERESA Y  
233 IVY CREEK DRIVE  
LOGANVILLE, GA 30052

ATHA EDDIE HERBERT  
4109 CHANDLER HAULK RD  
LOGANVILLE, GA 30052

KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
LOGANVILLE, GA 30052

CLAY DIANE ATHA  
4159 CHANDLER HAULK ROAD  
LOGANVILLE, GA 30052

HAGGERTY EDWIN G &  
HAGGERTY DEBORAH B  
2307 MILLER BOTTOM RD  
LOGANVILLE, GA 30052

PELLETIER JAMES L &  
PELLETIER CHERYL A  
291 N SHARON CHURCH ROAD  
LOGANVILLE, GA 30052



Legal Description for Tract 1: Eddie H. Atha and Diane Atha Clay, Parcel #C0220011B00

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 17.570 acres of land, more or less, and being more particularly as:

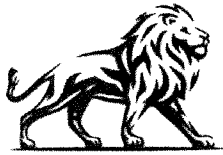
Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence North 63 degrees 25 minutes 18 seconds West with a distance of 52.65 feet to a point on the Easterly right-of-way Sharon Church Road (100' R/W), which is THE TRUE POINT OF BEGINNING;

Thence following said right-of-way on a course North 08 Degrees 41 Minutes 22 Seconds West a distance of 47.53 feet to a point; thence North 09 Degrees 03 Minutes 39 Seconds West a distance of 47.32 feet to a point; thence North 10 Degrees 01 Minutes 23 Seconds West a distance of 47.86 feet to a point; thence North 11 Degrees 09 Minutes 22 Seconds West a distance of 34.00 feet to a point; thence North 12 Degrees 10 Minutes 26 Seconds West a distance of 50.67 feet to a point; thence North 12 Degrees 32 Minutes 38 Seconds West a distance of 37.42 feet to a point; thence North 13 Degrees 26 Minutes 23 Seconds West a distance of 8.57 feet to a point; thence leaving said right-of-way and proceeding North 61 Degrees 14 Minutes 48 Seconds East a distance of 942.62' to a point in the centerline of Little Haynes Creek (with an offset pin 25 feet on-line in the top of bank); thence following said centerline of creek South 54 Degrees 47 Minutes 57 Seconds East a distance of 17.77 feet to a point; thence South 62 Degrees 14 Minutes 27 Seconds East a distance of 48.95 feet to a point; thence South 30 Degrees 38 Minutes 11 Seconds East a distance of 52.07 feet to a point; thence South 47 Degrees 41 Minutes 00 Seconds East a distance of 26.55 feet to a point; thence South 25 Degrees 30 Minutes 00 Seconds East a distance of 68.86 feet to a point; thence South 01 Degrees 21 Minutes 51 Seconds East a distance of 67.52 feet to a point; thence South 25 Degrees 37 Minutes 57 Seconds West a distance of 38.71 feet to a point; thence South 53 Degrees 03 Minutes 31 Seconds East a distance of 40.98 feet to a point; thence South 63 Degrees 03 Minutes 24 Seconds East a distance of 46.26 feet to a point; thence South 42 Degrees 45 Minutes 10 Seconds East a distance of 17.75 feet to a point; thence South 44 Degrees 20 Minutes 53 Seconds East a distance of 82.90 feet to a point; thence South 30 Degrees 40 Minutes 23 Seconds East a distance of 50.20 feet to a point; thence South 60 Degrees 09 Minutes 40 Seconds East a distance of 56.55 feet to a point; thence South 35 Degrees 28 Minutes 43 Seconds East a distance of 46.57 feet to a point; thence South 67 Degrees 17 Minutes 25 Seconds East a distance of 60.65 feet to a point; thence South 02 Degrees 11 Minutes 51 Seconds East a distance of 61.82 feet to a point; thence South 33 Degrees 25 Minutes 54 Seconds East a distance of 58.95' to a point; thence South 69 Degrees 01 Minutes 07 Seconds East a distance of 67.37' to a point; thence South 08 Degrees 15 Minutes 22 Seconds East a distance of 46.95' to a point; thence South 71 Degrees 22 Minutes 09 Seconds East a distance of 40.28' to a point; thence South 06 Degrees 36 Minutes 07 Seconds East a distance of 32.35' to a point; thence South 11 Degrees 58 Minutes 54 Seconds West a distance of 41.03' to a point; thence South 35 Degrees 48 Minutes 59 Seconds East a distance of 42.69' to a point; thence South 76 Degrees 25 Minutes 44 Seconds East a distance of 28.13' to a point; thence South 39 Degrees 14 Minutes 12 Seconds East a distance of 23.90' to a point; thence South 33 Degrees 20 Minutes 49 Seconds East a distance of 5.22' to a point in the



centerline of Little Haynes Creek; thence leaving said centerline of creek (with an offset pin 25 feet on-line in the top of bank) South 55 Degrees 02 Minutes 28 Seconds West a distance of 477.34' to a 1/2" rod found; thence North 33 Degrees 53 Minutes 36 Seconds West a distance of 300.00' to 1/2" rebar found; thence South 54 Degrees 55 Minutes 36 Seconds West a distance of 251.47' to 1/2" rebar found; thence North 29 Degrees 04 Minutes 38 Seconds West a distance of 216.50' to a 1/2" rebar found; thence South 61 Degrees 19 Minutes 22 Seconds West a distance of 33.93' to a 1/2" rebar found; thence North 29 Degrees 04 Minutes 38 Seconds West a distance of 344.44' to a 1/2" rod found; thence South 61 Degrees 13 Minutes 57 Seconds West a distance of 385.22' to a point on the Easterly right-of-way, which is the TRUE POINT OF BEGINNING,





# PRATER CONSULTING LLC

Building a Better Tomorrow One Zone at a Time

## LETTER OF INTENT FOR REZONE APPLICATION FOR EDDIE ATHA AND DIANA CLAY

Tim Prater submits this Letter of Intent and the attached rezone application (the “Application”) on behalf of Eddie Atha and Diana Clay (the “Property Owners”) and (“Applicant”), relative to a proposed RM-4 zoning on approximately 18.99 +/- acres of land (the “Property”) located at 4139 Chandler Haulk Rd. The property is currently zoned A-1. The Applicant requests that the City rezone the Property to the (RM-4) multi-family classification.

The Property’s location on Chandler Haulk Rd. would provide easy access for residents to the Highway 20 corridor as well as Highway 78 to the north. The Applicants are proposing to rezone the Property for sale and market it as a multi-family development.

The proposed rezone is compatible with the surrounding uses and development on Sharon Church Rd., which contains a mix of single-family and multi-family uses. The property is surrounded by property zoned within the City of Loganville. Abutting property to the east of the Applicants property is zoned R-16 as well as abutting property to the north. Abutting properties to the south are zoned R-44. The abutting property to the west is zoned R-22, however and except for the property approximately 1000 ft. to the west zoned RM-8.

Although the Property is not within the city limits it is designated on the Future Land Use Map as residential, as it is currently part of the County, all four sides surrounding the property that are within the City are zoned as residential on the Future Land Use Map. The proposed RM-4 zoning is in line with that growth. The Comprehensive Plan specifically encourages multi-family use in areas designated as on the outskirts of major corridors on the Future Land Use Map. Due to the designation on the Future Land Use Map for the Property and the dominance of the single family and multifamily designation surrounding the Property, the applicant submits that the proposed zoning is in line with the spirit and intent of the Comprehensive Plan and the Future Land Use Map.

The proposed zoning is compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan and is an appropriate land use due to the Property's proximity to two (2) major transportation corridors. The Applicant and I welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant

Application # R

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

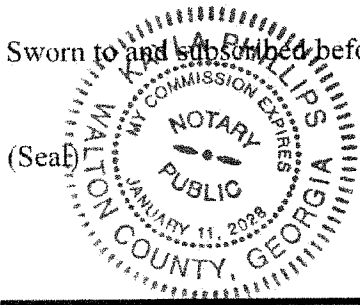
[Handwritten Signature]  
Applicant's Signature

3-3-25  
Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)

Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

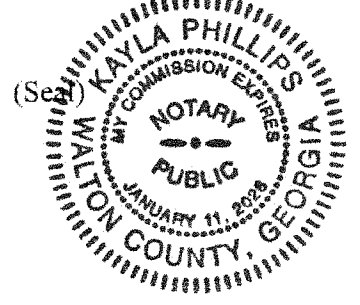
that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

3/3/25  
Date

Diane Atha Clay property owner  
Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

Application # R

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

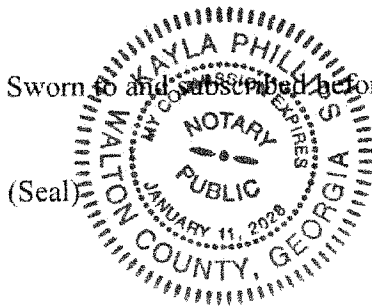
[Handwritten Signature]  
Applicant's Signature

3.3.25  
Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)

Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b) \_\_\_\_\_ the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

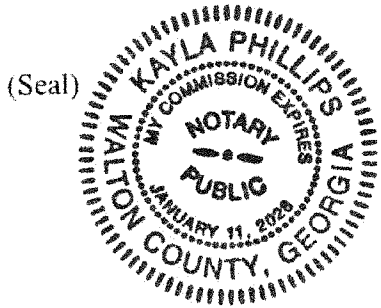
that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

Date

Eddie H. Atha Property Owner  
Print Name and Title

Sworn to and subscribed before me this 3rd day of March, 2025.



[Handwritten Signature]  
Signature of Notary Public

Application # **R** \_\_\_\_\_

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

Eddie H. Arbo 3-3-25  
Applicant's Signature Date

Eddie H. Arbo  
Print Name

Timothy Pater 3-3-25  
Signature of Applicant's Attorney or Agent Date

Timothy Pater  
Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ YES        ✓   NO

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION  
OF GOVERNMENT OFFICIAL

CONTRIBUTIONS (List all  
aggregating to \$250 or more)

DATE OF  
CONTRIBUTION

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

**Attach additional sheets as necessary to disclose and describe all contributions.**

Application # **R** \_\_\_\_\_

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

*Diane Atha Clay*      3/3/25  
 Applicant's Signature      Date

*[Signature]*      3-3-25  
 Signature of Applicant's Attorney or Agent      Date

Diane Atha Clay  
 Print Name

Timothy Prater  
 Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ **YES**        X   **NO**

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**



## APPLICANT'S RESPONSES TO EVALUATION CRITERIA

In the space provided or in a separate attachment, provide responses to the following questions:

1. **How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?**  
The proposed use is compatible with the overall appearance of the City and aesthetic conditions of adjacent and surrounding properties. Adjacent and surrounding land use include residential, multi-family and commercial
2. **How does the proposed use impact thoroughfare congestion and traffic safety?**  
The proposed development is located on at the entrance to Chandler Haulk Rd at the intersection of Sharon Church which is a secondary route connecting to the major transportation corridor and State Highway 20. Additionally, GDOT will be aligning Sharon Church Rd with Tuck Rd. and constructing a new roundabout which will enhance connectivity and traffic flow in the area.
3. **How does the proposed use impact population density and the potential for overcrowding and urban sprawl?**  
The proposed development would not contribute to overcrowding or urban sprawl as the proposed land uses and densities are compatible with surrounding development. The subject property is located less than 1,100 feet from a property zoned RM-8 which is Loganville most dense zoning. The development is not an out-of-place development with the proximity to other multi-family as well as proximity to a major corridor.
4. **How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;**  
The proposed development would utilize public water, sewer and other utilities, proving upgrades where necessary.
5. **How does the proposed zoning provide protection of property against blight and depreciation?**  
The proposed development would provide necessary residential housing to support existing commercial uses in the surrounding area and the City.
6. **How is the proposed use and zoning consistent with the adopted Comprehensive Plan?**  
The City's Comprehensive Plan shows the property as residential. The proposed zoning would be consistent with the plan and would not change the classification
7. **In what way does the proposed zoning affect adjacent property owners if the request is approved?**  
There would be no adverse affect to the adjacent property owners
8. **What is the impact upon adjacent property owners if the request zoning is not approved?**  
The property would remain a large, underutilized tract and would not meaningfully contribute to the tax base or provide much needed residential housing to the area.
9. **Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.**  
The subject property is within close proximity to State Highway 20 and within convenient access to downtown Loganville. The proposed realignment of Sharon Church and Tuck Rd with the construction of the roundabout enhances the subject property's vehicular access and will improve existing traffic flows.

ABUTTING PROPERTY OWNERS FOR 4139 CHANDLER HAULK RD.

VILLAS AT LOGANVILLE  
HOMEOWNERS ASSOCIATION  
212 CHAD LANE  
LOGANVILLE, GA 30052

PHILAVANH HATSADY  
240 N SHARON CHURCH RD  
LOGANVILLE, GA 30052

EDSALL SHANNON &  
BARKLEY ROY M IV  
1047 ECHO VALLEY CT  
LOGANVILLE, GA 30052

ELLISON KAREN H  
505 WOODBROOK WAY  
LAWRENCEVILLE, GA 30043

RUKEBA PATERNE &  
BUHENDWA CIZA (DECEASED)  
385 BIG GAME WAY  
LOGANVILLE, GA 30052

TAYLOR ALEXANDER  
390 BIG GAME WAY  
LOGANVILLE, GA 30052-2698

BAHAM WILTON &  
BAHAM YOLLETTE P  
485 YEARLING DR  
LOGANVILLE, GA 30052

UMANZOR AGUSTIN &  
REYES GILMA CRISTINA  
480 YEARLING DR  
LOGANVILLE, GA 30052

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BARBOUR JENNIFER T  
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PELLETIER JAMES L &  
PELLETIER CHERYL A  
291 N SHARON CHURCH ROAD  
LOGANVILLE, GA 30052

Section 5, Item H.

1: 128 PG. 114-114  
 Filed and Recorded  
 3-04-2025 10:30 AM  
 DOC# P2025-000042

KAREN P. DAVID  
 OF SUPERIOR COURT  
 NATIONAL COURT

SPACE RESERVED FOR CLERK OF SUPERIOR COURT  
 THIS PLAT SUPERSEDES  
 PLAT BOOK 128 PAGE 113

Lot Table

Lot #	Direction	Length
L1	N89°12'30"W	42.31'
L2	N89°12'30"W	42.32'
L3	N89°12'30"W	42.33'
L4	N17°02'30"W	43.86'
L5	N17°02'30"W	43.87'
L6	N17°02'30"W	43.88'
L7	N17°02'30"W	43.89'
L8	N17°02'30"W	43.90'
L9	N17°02'30"W	43.91'
L10	N17°02'30"W	43.92'
L11	N17°02'30"W	43.93'
L12	N17°02'30"W	43.94'
L13	N17°02'30"W	43.95'
L14	N17°02'30"W	43.96'
L15	N17°02'30"W	43.97'
L16	N17°02'30"W	43.98'
L17	N17°02'30"W	43.99'
L18	N17°02'30"W	44.00'
L19	N17°02'30"W	44.01'
L20	N17°02'30"W	44.02'
L21	N17°02'30"W	44.03'
L22	N17°02'30"W	44.04'
L23	N17°02'30"W	44.05'
L24	N17°02'30"W	44.06'
L25	N17°02'30"W	44.07'
L26	N17°02'30"W	44.08'
L27	N17°02'30"W	44.09'
L28	N17°02'30"W	44.10'
L29	N17°02'30"W	44.11'
L30	N17°02'30"W	44.12'
L31	N17°02'30"W	44.13'
L32	N17°02'30"W	44.14'
L33	N17°02'30"W	44.15'
L34	N17°02'30"W	44.16'
L35	N17°02'30"W	44.17'
L36	N17°02'30"W	44.18'
L37	N17°02'30"W	44.19'
L38	N17°02'30"W	44.20'
L39	N17°02'30"W	44.21'
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L328	N17°02'30"W	47.10'
L329	N17°02'30"W	47.11'
L330	N17°02'30"W	47.12'
L33		

Legal Description for Tract 1: Eddie H. Atha and Diane Atha Clay, Parcel #C0220011B00

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 17.570 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence North 63 degrees 25 minutes 18 seconds West with a distance of 52.65 feet to a point on the Easterly right-of-way Sharon Church Road (100' R/W), which is THE TRUE POINT OF BEGINNING;

Thence following said right-of-way on a course North 08 Degrees 41 Minutes 22 Seconds West a distance of 47.53 feet to a point; thence North 09 Degrees 03 Minutes 39 Seconds West a distance of 47.32 feet to a point; thence North 10 Degrees 01 Minutes 23 Seconds West a distance of 47.86 feet to a point; thence North 11 Degrees 09 Minutes 22 Seconds West a distance of 34.00 feet to a point; thence North 12 Degrees 10 Minutes 26 Seconds West a distance of 50.67 feet to a point; thence North 12 Degrees 32 Minutes 38 Seconds West a distance of 37.42 feet to a point; thence North 13 Degrees 26 Minutes 23 Seconds West a distance of 8.57 feet to a point; thence leaving said right-of-way and proceeding North 61 Degrees 14 Minutes 48 Seconds East a distance of 942.62' to a point in the centerline of Little Haynes Creek (with an offset pin 25 feet on-line in the top of bank); thence following said centerline of creek South 54 Degrees 47 Minutes 57 Seconds East a distance of 17.77 feet to a point; thence South 62 Degrees 14 Minutes 27 Seconds East a distance of 48.95 feet to a point; thence South 30 Degrees 38 Minutes 11 Seconds East a distance of 52.07 feet to a point; thence South 47 Degrees 41 Minutes 00 Seconds East a distance of 26.55 feet to a point; thence South 25 Degrees 30 Minutes 00 Seconds East a distance of 68.86 feet to a point; thence South 01 Degrees 21 Minutes 51 Seconds East a distance of 67.52 feet to a point; thence South 25 Degrees 37 Minutes 57 Seconds West a distance of 38.71 feet to a point; thence South 53 Degrees 03 Minutes 31 Seconds East a distance of 40.98 feet to a point; thence South 63 Degrees 03 Minutes 24 Seconds East a distance of 46.26 feet to a point; thence South 42 Degrees 45 Minutes 10 Seconds East a distance of 17.75 feet to a point; thence South 44 Degrees 20 Minutes 53 Seconds East a distance of 82.90 feet to a point; thence South 30 Degrees 40 Minutes 23 Seconds East a distance of 50.20 feet to a point; thence South 60 Degrees 09 Minutes 40 Seconds East a distance of 56.55 feet to a point; thence South 35 Degrees 28 Minutes 43 Seconds East a distance of 46.57 feet to a point; thence South 67 Degrees 17 Minutes 25 Seconds East a distance of 60.65 feet to a point; thence South 02 Degrees 11 Minutes 51 Seconds East a distance of 61.82 feet to a point; thence South 33 Degrees 25 Minutes 54 Seconds East a distance of 58.95' to a point; thence South 69 Degrees 01 Minutes 07 Seconds East a distance of 67.37' to a point; thence South 08 Degrees 15 Minutes 22 Seconds East a distance of 46.95' to a point; thence South 71 Degrees 22 Minutes 09 Seconds East a distance of 40.28' to a point; thence South 06 Degrees 36 Minutes 07 Seconds East a distance of 32.35' to a point; thence South 11 Degrees 58 Minutes 54 Seconds West a distance of 41.03' to a point; thence South 35 Degrees 48 Minutes 59 Seconds East a distance of 42.69' to a point; thence South 76 Degrees 25 Minutes 44 Seconds East a distance of 28.13' to a point; thence South 39 Degrees 14 Minutes 12 Seconds East a distance of 23.90' to a point; thence South 33 Degrees 20 Minutes 49 Seconds East a distance of 5.22' to a point in the

centerline of Little Haynes Creek; thence leaving said centerline of creek (with an offset pin 25 feet on-line in the top of bank) South 55 Degrees 02 Minutes 28 Seconds West a distance of 477.34' to a 1/2" rod found; thence North 33 Degrees 53 Minutes 36 Seconds West a distance of 300.00' to 1/2" rebar found; thence South 54 Degrees 55 Minutes 36 Seconds West a distance of 251.47' to 1/2" rebar found; thence North 29 Degrees 04 Minutes 38 Seconds West a distance of 216.50' to a 1/2" rebar found; thence South 61 Degrees 19 Minutes 22 Seconds West a distance of 33.93' to a 1/2" rebar found; thence North 29 Degrees 04 Minutes 38 Seconds West a distance of 344.44' to a 1/2" rod found; thence South 61 Degrees 13 Minutes 57 Seconds West a distance of 385.22' to a point on the Easterly right-of-way, which is the TRUE POINT OF BEGINNING,



Section 5, Item H.

**C02200110DP**

ATHA EDDIE H &  
CLAY DIANE ATHA  
CHANDLER HAULK RD  
Acres: 1.42  
Value: \$18,000

[View: Report](#) | [Field Definitions](#) | [Google Maps](#)

County

660 ft





# PRATER CONSULTING LLC

Building a Better Tomorrow One Zone at a Time

## LETTER OF INTENT FOR ANNEXATION AND REZONE APPLICATION FOR EDDIE H. ATHA

Tim Prater submits this Letter of Intent and the attached annexation application (the “Application”) on behalf of Eddie H. Atha (the “Property Owner and Applicant”), relative to an existing single-family dwelling on approximately 4.103 +/- acres of land (the “Property”) located at 4109 Chandler Haulk Rd. The property is currently zoned A-1. The Applicant requests that the City annex and rezone the Property to the (R-44) single-family residential classification. The Property’s location on Chandler Haulk provides easy access to Highway 20 as well as to the Highway 78 corridor. The Applicant is proposing no changes to the current structure on the Property for use as a single family dwelling. The structure will remain as a residential dwelling.

The proposed annexation is compatible with the surrounding uses and land use on Chandler Haulk Rd. The property is surrounded by property zoned Single family as well as multi family within the City of Loganville. The property is surrounded by property within the City of Loganville. Abutting property to the east of the Applicants property is zoned R-16 as well as abutting property to the north. Abutting properties to the south are zoned R-44. The abutting property to the west is zoned R-22, however and except for the property approximately 1000 ft. to the west zoned RM-8.

Although the Property is not within the city limits it is designated on the Future Land Use Map as resident, as it is currently part of the County, the property is surrounded by property within the city limits and are zoned as residential on the Future Land Use Map. The proposed Annexation and rezone are in line with the growth of the city limits and would eliminate currently zoned islands inside the city limits.

The state zoning procedure law specifically encourages the reduction of islands when possible. Due to the designation on the Future Land Use Map for the Property and the dominance of the surrounding Property within the city limits, the applicant submits that the proposed annexation is in line with the spirit and intent of the Comprehensive Plan, Future Land Use Map and qualifies for annexation under the city’s zoning ordinance and state zoning procedure law.



The proposed annexation and rezone are compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan, and is an appropriate land use due to the Property's close proximity to the City limits.

The Applicant and myself welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March, 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant

Application # A

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Handwritten Signature]

3.3.25

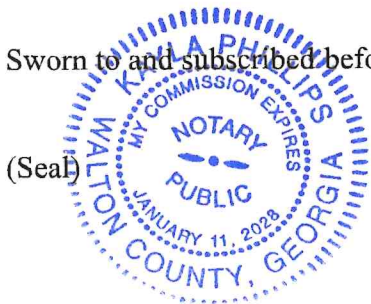
Applicant's Signature

Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)

Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



[Handwritten Signature]  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

[Handwritten Signature]  
Owner's Signature

[Handwritten Signature]

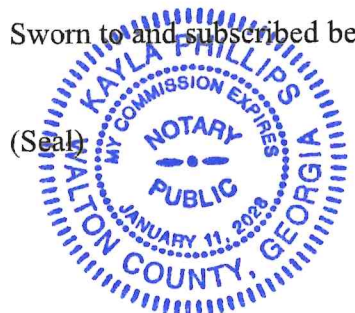
3/3/25

Date

[Handwritten Signature]  
Print Name and Title

[Handwritten Signature]

Sworn to and subscribed before me this 3rd day of march, 2025.



[Handwritten Signature]  
Signature of Notary Public

**ABUTTING PROPERTY OWNERS FOR 4109 CHANDLER HAULK RD.**

**KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
LOGANVILLE, GA 30052**

**MCADAMS BOBIE EILENE &  
MCADAMS JACOB  
955 CHANDLER HAULK RD  
LOGANVILLE, GA 30052**

**ZIEROLD MARTIN K &  
ZIEROLD SHERRY D  
311 IVY COURT  
LOGANVILLE, GA 30052**

**ERK JOHN P  
313 IVY COURT  
LOGANVILLE, GA 30052**

**KINDLE KATRINA R  
314 IVY CT  
LOGANVILLE, GA 30052**

**CASH TERESA Y  
233 IVY CREEK DRIVE  
LOGANVILLE, GA 30052**

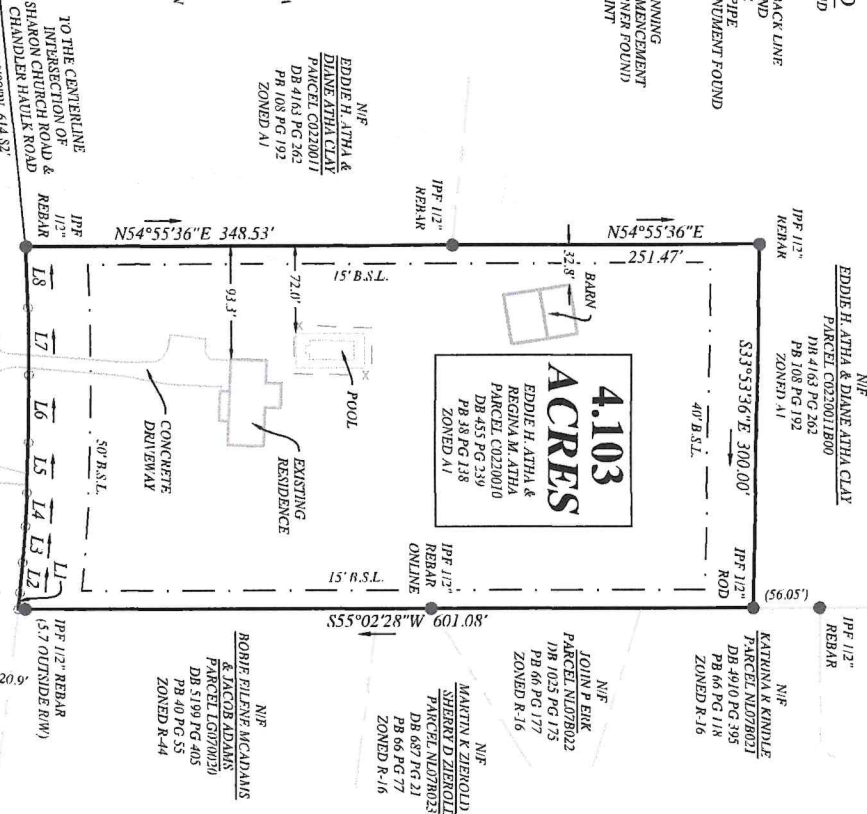
- SURVEY LEGEND**
- IPF IRON PIN FOUND
  - REBAR IRON PIN SET
  - R.S.L. RULING SETBACK LINE
  - MNF MAG NAIL FOUND
  - OTF OPEN TOP PIPE
  - CPT CRIMPED TOP PIPE
  - CMF CONCRET MONUMENT FOUND
  - DR DEED BOOK
  - R/W RIGHT-OF-WAY
  - THOB POINT OF BEGINNING PROPERTY CORNER FOUND
  - POC POINT OF BEGINNING PROPERTY CORNER FOUND
  - COMPTED POINT

SPACE RESERVED FOR CLERK OF SUPERIOR COURT

**UTILITY NOTE**  
 UTILITIES SHOWN ON THIS SURVEY ARE BASED ON OBSERVED EVIDENCE OF UTILITIES AT THE TIME OF SURVEY. NO UNDERGROUND UTILITIES ARE SHOWN AND THE SURVEYOR MAKES NO GUARANTEE THAT THE UTILITIES SHOWN COMPRISE ALL OF THE UTILITIES ON SITE. UTILITIES SHOWN ARE DEPICTED AS APPROXIMATE AND SHOULD BE USED AS REFERENCE NOT FOR DESIGN.

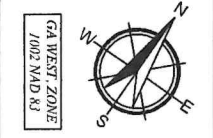
**GENERAL NOTES**

1. FIELD SURVEY WAS COMPLETED ON 02/25/2025.
2. OWNER OF RECORD FOR THE SUBJECT PROPERTY IS: EDDIE H. ATHA & REGINA M. ATHA.
3. TITLE REFERENCES REGARDING ADJOINERS ARE SUBJECT TO INFORMATION PROVIDED BY LOCAL GOVERNMENT.
4. SUBJECT PROPERTY IS LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "ZONE X" - DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT ON FLOOD INSURANCE RATE MAP NO. 13297C0005E WITH AN EFFECTIVE DATE OF 12/08/2016 FOR COMMUNITY NUMBER 130155. WALTON COUNTY, GEORGIA.
5. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OR RIGHTS OF WAY, WHETHER WRITTEN OR UNWRITTEN, RECORDED OR UNRECORDED.
6. THIS SITE IS ZONED "A1" (AGRICULTURAL). PER WALTON COUNTY ZONING MAPS, ACCESSED 02/25/2025; MINIMUM BUILDING SETBACKS:  
 FRONT: 50', SIDE: 15', REAR: 40'
7. NO VISIBLE EVIDENCE OF ADJACENT GROUNDS WERE OBSERVED WITHIN THIS SITE NOR WERE ANY REPORTED TO THIS FIRM.
8. THIS PROPERTY MAY OR MAY NOT CONTAIN WETLANDS. NO WETLANDS WERE INVESTIGATED, IDENTIFIED, DELINEATED, LOCATED OR CONFIRMED FOR PURPOSES OF THIS SURVEY.
9. SUBJECT TO DECLARATION OF COVENANTS, CONDITIONS, AND RESTRICTIONS BOTH RECORDED AND UNRECORDED.
10. DISTANCES SHOWN HEREON ARE HORIZONTAL (GROUND) DISTANCES BASED ON THE U.S. SURVEY FOOT.
11. THE BEARINGS SHOWN ON THIS SURVEY ARE COMPUTED ANGLES BASED ON A GRID BEARING BASE (GA WEST ZONE).



**CHANDLER HAULK ROAD (80' R/W)**

RETRACEMENT SURVEY FOR:  
**EDDIE H. ATHA & REGINA M. ATHA**  
 4109 CHANDLER HAULK ROAD  
 LOGANVILLE, GEORGIA 30052  
 WALTON COUNTY  
 LAND LOT 188 4TH DISTRICT - G.M.D. 417

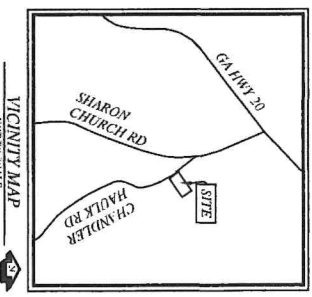


**W&A ENGINEERING**  
 CIVIL ENGINEERING, LANDSCAPE ARCHITECTURE  
 LAND SURVEYING, TRAFFIC ENGINEERING  
 ECONOMIC DEVELOPMENT

355 Onea Street, Ste. D100  
 Athens, GA 30601  
 P: (706) 310-0400  
 www.wandaengineering.com | info@wandaengineering.com

Line Table

Line #	Direction	Length
L1	N29°04'06"W	13.47'
L2	N29°50'00"W	25.80'
L3	N30°53'25"W	29.80'
L4	N31°56'05"W	27.56'
L5	N33°03'56"W	41.60'
L6	N34°49'19"W	55.55'
L7	N35°33'23"W	55.48'
L8	N36°39'32"W	50.33'



**REFERENCES**  
 DB 455 PG 239  
 PB 38 PG 138

**SURVEY NOTES**

1. THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 84,641 FEET, AND WAS UNADJUSTED.
2. THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS MAP OR PLAT WERE OBTAINED BY USING A ZOOM 95 SERIES TOTAL STATION.
3. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 368,683 FEET.

**SURVEYOR'S CERTIFICATE**

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECULATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUFFICIENCY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

*John F. Brewer III*  
 JOHN F. BREWER III RLS#2905  
 03/03/2025  
 DATE

DATE	PROJECT #
03/03/2025	25-00098
	DRAFTED BY: AC
	REVIEWED BY: JB



Legal Description for Eddie H. Atha & Regina M. Atha Tract: Parcel C0220010

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 4.103 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence South 40 degrees 49 minutes 09 seconds East with a distance of 614.82 feet to a 1/2" rebar found at on the Easterly right-of-way Chandler Haulk Road, which is THE TRUE POINT OF BEGINNING;

Thence leaving said right-of-way on a course North 54 Degrees 55 Minutes 36 Seconds East a distance of 348.53 feet to a 1/2" rebar found; thence North 54 Degrees 55 Minutes 36 Seconds East a distance of 251.47 feet to a 1/2" rebar found; thence South 33 Degrees 53 Minutes 36 Seconds East a distance of 300.00 feet to 1/2" rod found; thence South 55 Degrees 02 Minutes 28 Seconds West a distance of 601.08 feet to a point on the easterly right-of-way of Chandler Haulk Road; thence following said right-of-way North 29 Degrees 04 Minutes 06 Seconds West a distance of 13.47 feet to a point; thence North 29 Degrees 50 Minutes 00 Seconds West a distance of 25.30 feet to a point; thence North 30 Degrees 53 Minutes 35 Seconds West a distance of 29.80 feet to a point; thence North 31 Degrees 56 Minutes 05 Seconds West a distance of 27.56 feet to a point; thence North 33 Degrees 03 Minutes 56 Seconds West a distance of 41.60 feet to a point; thence North 34 Degrees 48 Minutes 19 Seconds West a distance of 55.55 feet to a point; thence North 35 Degrees 33 Minutes 23 Seconds West a distance of 55.48 feet to a point; thence North 36 Degrees 39 Minutes 32 Seconds West a distance of 50.33 feet to 1/2" rebar found; which is the TRUE POINT OF BEGINNING,



The proposed annexation and rezone are compatible with existing land use and zoning classifications of the surrounding area, is in line with the spirit and intent of the Comprehensive Plan, and is an appropriate land use due to the Property's close proximity to the City limits.

The Applicant and myself welcome the opportunity to meet with staff of the City of Loganville Department of Planning and Development to answer any questions or to address any concerns related to the matters set forth in this letter or in the Application filed herewith. The Applicant respectfully requests your approval of the Application.

Respectfully submitted the \_\_\_\_\_ day of March, 2025

**TIM PRATER**

\_\_\_\_\_  
Representative of Applicant

Application # R

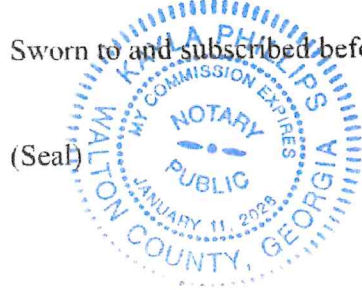
**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

[Signature] 3.3.25  
Applicant's Signature Date

Timothy Prater CEO Prater Consulting LLC (Agent for Owners)  
Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



Kayla Phillips  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

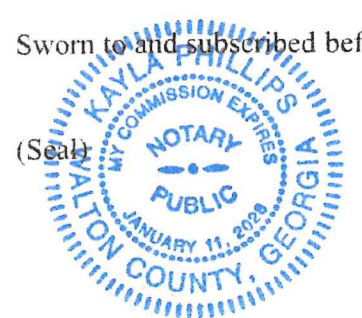
- a)  the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

[Signature] Regina M. Atha 3/3/25  
Owner's Signature Date

Edith H. Atha Regina M. Atha  
Print Name and Title

Sworn to and subscribed before me this 3rd day of march, 2025.



Kayla Phillips  
Signature of Notary Public



Application # **R** \_\_\_\_\_

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

Eddie H. Atke 3-3-25  
Applicant's Signature Date

Eddie H. Atke  
Print Name

Timothy Prater 3-3-25  
Signature of Applicant's Attorney or Agent Date

Timothy Prater  
Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ YES        ✓   NO

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**

Application # **R** \_\_\_\_\_

**DISCLOSURE OF CAMPAIGN CONTRIBUTIONS**

The undersigned, making application for rezoning with the City of Loganville, Georgia, have complied with the Official Code of Georgia, Section 36-67A-1, et. seq., Conflict of Interest in Zoning Actions, and has submitted or attached the required information as requested below.

Regina M. Atha 3-3-25  
Applicant's Signature Date

Regina M. Atha  
Print Name

[Signature] 3-3-25  
Signature of Applicant's Attorney or Agent Date

Timothy Prater  
Print Name

**Has the Applicant, attorney for applicant, or other agent, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor, Member of the City Council or member of the Planning Commission of the City of Loganville, Georgia?**

\_\_\_\_\_ **YES**        X   **NO**

**If YES, complete the following:**

NAME OF INDIVIDUAL MAKING CONTRIBUTION \_\_\_\_\_

NAME & OFFICIAL POSITION OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all aggregating to \$250 or more)	DATE OF CONTRIBUTION
_____	_____	_____
_____	_____	_____
_____	_____	_____
_____	_____	_____

**Attach additional sheets as necessary to disclose and describe all contributions.**

**APPLICANT’S RESPONSES TO EVALUATION CRITERIA**

In the space provided or in a separate attachment, provide responses to the following questions:

1. **How does the proposed use impact the overall appearance of the City and aesthetic conditions of adjacent parcels?**  
There would be no change to the overall impact appearance of the City or aesthetic conditions to adjacent parcels.

2. **How does the proposed use impact thoroughfare congestion and traffic safety?**  
There would be no impact to thoroughfare congestion or traffic safety

3. **How does the proposed use impact population density and the potential for overcrowding and urban sprawl?**  
There would be no impact to population density, overcrowding or urban sprawl.

4. **How does the proposed use impact the provision of water, sewerage, transportation and other urban infrastructure services;**  
The property is currently on City water and septic. there would be no impact to other infrastructure services.

5. **How does the proposed zoning provide protection of property against blight and depreciation?**  
This is a well-maintained single-family structure. There would be no adverse impact on blight or depreciation.

6. **How is the proposed use and zoning consistent with the adopted Comprehensive Plan?**  
The City's Comprehensive Plans shows the property as residential. No change would occur to the classification of the property on the future land use map of the City.

7. **In what way does the proposed zoning affect adjacent property owners if the request is approved?**  
The proposed zoning of this property would not affect the adjacent property.

8. **What is the impact upon adjacent property owners if the request zoning is not approved?**  
There would be no impact to adjacent property owner if the zoning request was not approved.

9. **Describe any other factors affecting the health, safety, morals, aesthetics, convenience, order, prosperity, or the general welfare of the present and future inhabitants of the City of Loganville.**  
This property is an established single-family dwelling there would be no adverse effects on the inhabitants of the citizens of Loganville.

ABUTTING PROPERTY OWNERS FOR 4109 CHANDLER HAULK RD.

KING PAMELA LINDSEY FKA  
BAKER PAMELA LINDSEY  
300 SHARON CHURCH ROAD  
LOGANVILLE, GA 30052

MCADAMS BOBIE EILENE &  
MCADAMS JACOB  
955 CHANDLER HAULK RD  
LOGANVILLE, GA 30052

ZIEROLD MARTIN K &  
ZIEROLD SHERRY D  
311 IVY COURT  
LOGANVILLE, GA 30052

ERK JOHN P  
313 IVY COURT  
LOGANVILLE, GA 30052

KINDLE KATRINA R  
314 IVY CT  
LOGANVILLE, GA 30052

CASH TERESA Y  
233 IVY CREEK DRIVE  
LOGANVILLE, GA 30052

**SURVEY LEGEND**

IPF	IRON PIN FOUND
IRF	IRON ROD FOUND
REBAR	REBAR
R.S.L.	ROLLING STRUCK LINE
MNF	MAG NAIL FOUND
OTF	OPEN TOP FILE
CTF	CORNER OF TIE
CP	CORNER POINT FOUND
DB	DEED BOOK
DR	DEED BOOK
R/W	RIGHT-OF-WAY
TP08	POINT OF BEGINNING
POC	POINT OF COMMENCEMENT
○	PROPERTY CORNER FOUND
○	COMPLETED POINT

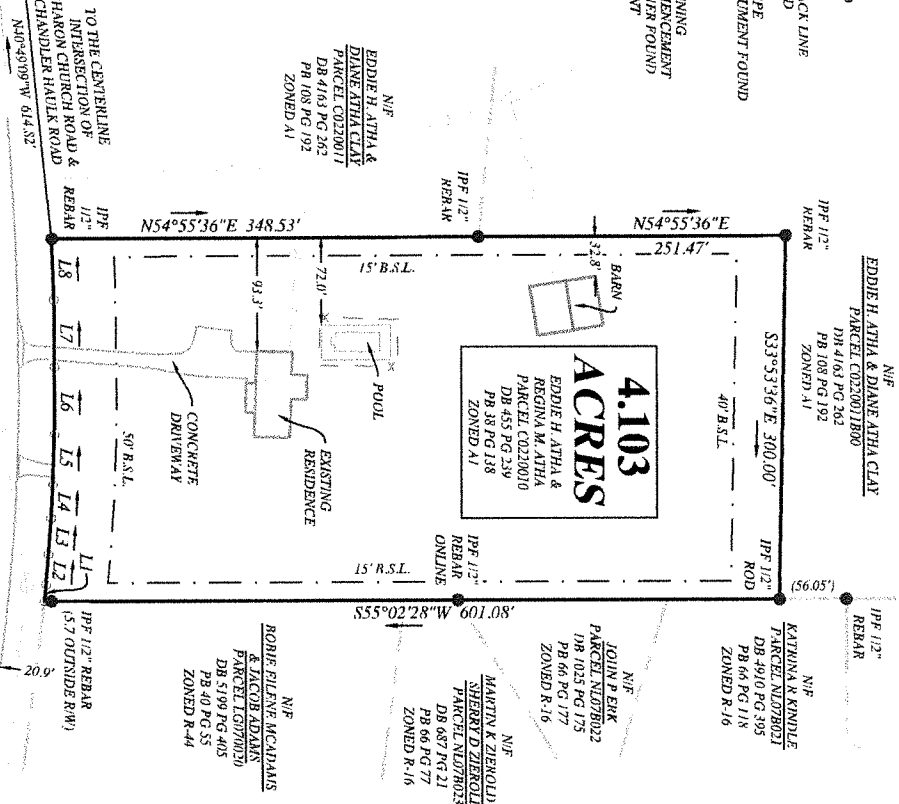
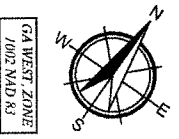
SPACE RESERVED FOR CLERK OF SUPERIOR COURT

**UTILITY NOTE**  
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**GENERAL NOTES**

1. FIELD SURVEY WAS COMPLETED ON 02/25/2025.
2. OWNER OF RECORD FOR THE SUBJECT PROPERTY IS EDDIE H. ATHA & REGINA M. ATHA.
3. TITLE REFERENCES, REGARDING ADJOINERS, ARE SUBJECT TO INFORMATION PROVIDED BY LOCAL GOVERNMENT.
4. SUBJECT PROPERTY IS LOCATED WITHIN AREAS HAVING ZONE DESIGNATIONS OF "ZONE X", DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN BY THE SECRETARY OF HOUSING AND URBAN DEVELOPMENT, ON FLOOD INSURANCE RATE MAP NO. 13297C005E WITH AN EFFECTIVE DATE OF 12/08/2016 FOR COMMUNITY NUMBER 13103. WALTON COUNTY, GEORGIA.
5. THIS PROPERTY IS SUBJECT TO ANY AND ALL EASEMENTS OR RIGHTS OF WAY, WHETHER WRITTEN OR UNWRITTEN, RECORDED OR UNRECORDED.
6. THIS SITE IS ZONED "A1" (AGRICULTURAL).
7. PER WALTON COUNTY ZONING MAPS, ACCESSED 02/25/2025, MINIMUM BUILDING SETBACKS:  
FRONT: 50' SIDE: 15' REAR: 40'
8. NO VISIBLE EVIDENCE OF BURIAL GROUNDS WERE OBSERVED WITHIN THIS SITE NOR WERE ANY REPORTED TO THIS FIRM.
9. THIS PROPERTY MAY OR MAY NOT CONTAIN WETLANDS. NO WETLANDS WERE INVESTIGATED, IDENTIFIED, DELINEATED, LOCATED OR CONTINUED FOR PURPOSES OF THIS SURVEY.
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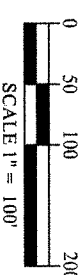
**W&A ENGINEERING**  
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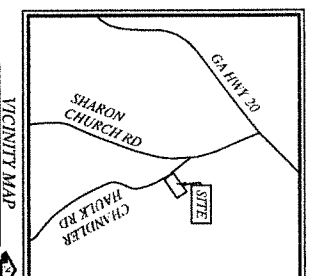
**RETRACEMENT SURVEY FOR:  
EDDIE H. ATHA &  
REGINA M. ATHA**  
4109 CHANDLER HAULK ROAD  
LOGANVILLE, GEORGIA 30052  
WALTON COUNTY  
LAND LOT 188 4TH DISTRICT - G.M.D. 417

Line Table

Line #	Direction	Length
L1	N29°04'06\"	13.47'
L2	N29°50'00\"	25.50'
L3	N30°53'35\"	20.80'
L4	N31°56'05\"	27.56'
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L6	N34°48'19\"	51.55'
L7	N35°33'23\"	55.48'
L8	N36°59'12\"	50.33'



**REFERENCES**  
DB 455 PG 239  
PB 28 PG 128



**SURVEY NOTES**

1. THE FIELD DATA ON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSE PRECISION OF ONE FOOT IN 54,441 FEET, AND WAS UNADJUSTED.
2. THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS MAP OR PLAT WERE OBTAINED BY USING A 2000 95 SERIES TOTAL STATION.
3. THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSEURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 168,682 FEET.

**SURVEYOR'S CERTIFICATE**

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUBDIVIDE OR CREATE A NEW PARCEL OR MAKE ANY CHANGES TO ANY REAL PROPERTY BOUNDARIES. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLATS, OR OTHER INSTRUMENTS WHICH RELATED TO THE PARCEL OR PARCELS ARE STATED HEREON. RECOMENDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLIES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROFESSIONAL SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G.A. SECTION 15-6-67.

JOHN F. BREWER, III RLS2945  
*[Signature]*  
DATE 03/03/2025

DATE	PROJECT #
03/03/2025	25-00098
	DRAFTED BY: AC
	REVIEWED BY: JB



Legal Description for Eddie H. Atha & Regina M. Atha Tract: Parcel C0220010

All that tract or parcel of land, together with improvements thereon, lying and being in Land Lot 188, 4<sup>th</sup> district, Walton County, Georgia; G.M.D. 417, containing 4.103 acres of land, more or less, and being more particularly as:

Commencing at the centerline intersection of Sharon Church Road (100' R/W) and Chandler Haulk Road (80' R/W); thence South 40 degrees 49 minutes 09 seconds East with a distance of 614.82 feet to a 1/2" rebar found at on the Easterly right-of-way Chandler Haulk Road, which is THE TRUE POINT OF BEGINNING;

Thence leaving said right-of-way on a course North 54 Degrees 55 Minutes 36 Seconds East a distance of 348.53 feet to a 1/2" rebar found; thence North 54 Degrees 55 Minutes 36 Seconds East a distance of 251.47 feet to a 1/2" rebar found; thence South 33 Degrees 53 Minutes 36 Seconds East a distance of 300.00 feet to 1/2" rod found; thence South 55 Degrees 02 Minutes 28 Seconds West a distance of 601.08 feet to a point on the easterly right-of-way of Chandler Haulk Road; thence following said right-of-way North 29 Degrees 04 Minutes 06 Seconds West a distance of 13.47 feet to a point; thence North 29 Degrees 50 Minutes 00 Seconds West a distance of 25.30 feet to a point; thence North 30 Degrees 53 Minutes 35 Seconds West a distance of 29.80 feet to a point; thence North 31 Degrees 56 Minutes 05 Seconds West a distance of 27.56 feet to a point; thence North 33 Degrees 03 Minutes 56 Seconds West a distance of 41.60 feet to a point; thence North 34 Degrees 48 Minutes 19 Seconds West a distance of 55.55 feet to a point; thence North 35 Degrees 33 Minutes 23 Seconds West a distance of 55.48 feet to a point; thence North 36 Degrees 39 Minutes 32 Seconds West a distance of 50.33 feet to 1/2" rebar found; which is the TRUE POINT OF BEGINNING,

David Belle Isle  
Matthew P. Benson  
Catherine W. Davidson  
Gerald Davidson, Jr.\*  
Brian T. Easley  
Rebecca B. Gober  
John D. Hipes\*  
Christopher D. Holbroc  
Jessica R. Kelly  
Shane M. Lanham  
Julia A. Maxwell

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John N. Mahaffey  
Steven A. Pickens  
Jack M. Ryan  
Gabrielle H. Schaller  
S. Tess Shaheen  
Andrew D. Stancil  
Michael A. Tralongo  
R. Lee Tucker, Jr.

\*Of Counsel

Writer's e-mail: slanham@mptlawfirm.com

April 9, 2025

**VIA EMAIL TO:**

Robbie Schwartz, Director  
Planning and Development Department  
City of Loganville  
P.O. Box 39  
Loganville, Georgia 30052

Re: Tig Knight Road Applications: A25-016, R25-015, V25-013, & V25-014

Dear Mr. Schwartz:

As you know, the above-referenced applications are scheduled for public hearings before the Planning Commission on April 24 and the City Council on May 5. In pursuit of the proposed development, the Applicant is currently conducting due diligence and other inspections of the subject property as we progress towards those public hearings. Due to the nature of these activities, it's possible that the site plan may be revised. In order to minimize the number of submitted site plans and prevent confusion surrounding the project, the Applicant respectfully requests that the City table the public hearings for this matter to the May Planning Commission and June City Council meetings.

Sincerely yours,

MAHAFFEY PICKENS TUCKER, LLP

*Shane Lanham*

Shane M. Lanham

David Belle Isle  
Matthew P. Benson  
Catherine W. Davidson  
Gerald Davidson, Jr.\*  
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Andrew D. Stancil  
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R. Lee Tucker, Jr.

\*Of Counsel

Writer's e-mail: slanham@mptlawfirm.com

April 9, 2025

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Robbie Schwartz, Director  
Planning and Development Department  
City of Loganville  
P.O. Box 39  
Loganville, Georgia 30052

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Sincerely yours,

MAHAFFEY PICKENS TUCKER, LLP

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Writer's e-mail: slanham@mptlawfirm.com

April 9, 2025

**VIA EMAIL TO:**

Robbie Schwartz, Director  
Planning and Development Department  
City of Loganville  
P.O. Box 39  
Loganville, Georgia 30052

Re: Tig Knight Road Applications: A25-016, R25-015, V25-013, & V25-014

Dear Mr. Schwartz:

As you know, the above-referenced applications are scheduled for public hearings before the Planning Commission on April 24 and the City Council on May 5. In pursuit of the proposed development, the Applicant is currently conducting due diligence and other inspections of the subject property as we progress towards those public hearings. Due to the nature of these activities, it's possible that the site plan may be revised. In order to minimize the number of submitted site plans and prevent confusion surrounding the project, the Applicant respectfully requests that the City table the public hearings for this matter to the May Planning Commission and June City Council meetings.

Sincerely yours,

MAHAFFEY PICKENS TUCKER, LLP

*Shane Lanham*

Shane M. Lanham

David Belle Isle  
Matthew P. Benson  
Catherine W. Davidson  
Gerald Davidson, Jr.\*  
Brian T. Easley  
Rebecca B. Gober  
John D. Hipes\*  
Christopher D. Holbroc  
Jessica R. Kelly  
Shane M. Lanham  
Julia A. Maxwell

Jeffrey R. Mahaffey  
John N. Mahaffey  
Steven A. Pickens  
Jack M. Ryan  
Gabrielle H. Schaller  
S. Tess Shaheen  
Andrew D. Stancil  
Michael A. Tralongo  
R. Lee Tucker, Jr.

\*Of Counsel

Writer's e-mail: slanham@mptlawfirm.com

April 9, 2025

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Robbie Schwartz, Director  
Planning and Development Department  
City of Loganville  
P.O. Box 39  
Loganville, Georgia 30052

Re: Tig Knight Road Applications: A25-016, R25-015, V25-013, & V25-014

Dear Mr. Schwartz:

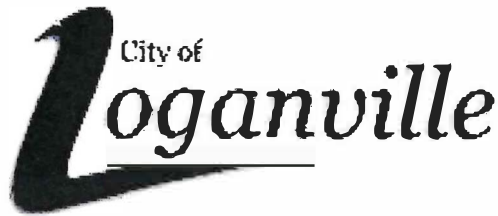
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Sincerely yours,

MAHAFFEY PICKENS TUCKER, LLP

*Shane Lanham*

Shane M. Lanham



CITY OF LOGANVILLE
Department of Planning & Development
P.O. Box 39 • 4303 Lawrenceville Road
Loganville, GA 30052
770.466.2633 • 770.466.3240 • Fax 770.554.5556

Date: 3/14/2025

Application # V25-017

APPLICATION FOR MAJOR VARIANCE

Form with sections: APPLICANT INFORMATION, PROPERTY OWNER INFORMATION, CONTACT PERSON, PROPERTY INFORMATION, and Description of Request.

You must attach: Application Fee, Legal Description, Plat of Property, Letter of Intent, Site Plan, Names/Addresses of Abutting Property Owners, Justification Analysis

Pre-Application Conference Date: 3-13-25
Accepted by Planning & Development: [Signature] DATE: 3/14/25 FEE PAID: \$500.00

CHECK # RECEIPT # TAKEN BY: DATE OF LEGAL NOTICE: NEWSPAPER: THE WALTON TRIBUNE

PLANNING COMMISSION RECOMMENDATION: Approve Approve w/conditions Deny No Recommendation
Commission Chairman: DATE:

CITY COUNCIL ACTION: Approved Approved w/conditions Denied Tabled to
Referred Back to Planning Commission Withdrawn

Mayor City Clerk Date

Application # V 25-017

**Applicant's Certification**

The undersigned hereby certifies that they are authorized by the property owner(s) to make this application and that all information contained herein is complete and accurate, to the best of their knowledge.

\_\_\_\_\_  
Applicant's Signature *Kevin B. Hornbuckle* 3.14.25  
Date

Kevin Hornbuckle, Director of Land Development

Print Name and Title

Sworn to and subscribed before me this 14 day of March, 2025.

(Seal) ) **JIM F WITHER**  
**NOTARY PUBLIC**  
Cherokee County, GEORGIA  
My Commission Expires 09/05/2025

\_\_\_\_\_  
*Jim F. Wither*  
Signature of Notary Public

**Property Owner's Certification**  
(complete a separate form for each owner)

The undersigned hereby certifies that they are: (check all that apply)

- a) \_\_\_\_\_ the owner of record of property contained in this application, and/or
- b)  the Chief Executive of a corporation or other business entity with ownership interest in the property and is duly authorized to make this application, and

that all information contained in this application is complete and accurate to the best of their knowledge.

\_\_\_\_\_  
Owner's Signature *Kevin B. Hornbuckle* 3.14.25  
Date

Kevin Hornbuckle, Director of Land Development

Print Name and Title

Sworn to and subscribed before me this 14 day of March, 2025.

(Seal) ) **JIM F WITHER**  
**NOTARY PUBLIC**  
Cherokee County, GEORGIA  
My Commission Expires 09/05/2025

\_\_\_\_\_  
*Jim F. Wither*  
Signature of Notary Public

Application # V25-017

**APPLICANT'S RESPONSES TO EVALUATION CRITERIA (Zoning Variance)**

**In the space provided or in a separate attachment, provide responses to the following questions:**

- 1. What extraordinary or exceptional conditions due to size, shape or topography are present on the property in question that support the request for relief?**

The short lot depth of the lots gives minimum space to install utilities and stormwater features.

- 2. What other conditions are unique to the property and adversely affect its reasonable use or usability as currently zoned?**

N/A

- 3. How does the application of the requirements of the applicable ordinance to the property in question create an unnecessary hardship?**

Including a beauty strip between the curb and the sidewalk will require having power and cable utilities under the sidewalk. This will also render the sidewalk unusable in many areas due to the shortness of the driveways.

- 4. Would the requested relief, if granted cause substantial detriment to the public good or impair the purpose and intent of the applicable ordinance?**

No. The requested relief will improve the purpose of the sidewalk within this community.

- 5. Does the relief requested grant a use of land or building or structure that is otherwise prohibited by the applicable ordinance?**

No.

March 14, 2025

Kevin Hornbuckle  
Smith Douglas Homes  
khornbuckle@smithdouglas.com  
770-715-7373

Planning and Zoning Board  
City of Loganville

Subject: Letter of Intent for Variance to Remove Beauty Strip for Sidewalk Installation

Dear Planning and Zoning Board Members,

I am writing to formally request a variance to remove the 2' beauty strip between the curb and the sidewalk at Fuller Station for the purpose of installing a sidewalk. Due to shallow lot depths, the presence of the beauty strip presents significant challenges that make it difficult to provide accessible utility installations and a useable sidewalk.

The proposed sidewalk installation aligns with community development goals by improving pedestrian accessibility, ensuring public safety, and enhancing walkability in the area. Retaining the beauty strip would interfere with existing structures, future utility and stormwater installations, and maintenance. Removing it would allow for a more efficient and practical sidewalk design while maintaining the aesthetic and functional integrity of the neighborhood.

I understand the importance of maintaining city planning standards and will work with the appropriate departments to ensure compliance with any required conditions or modifications. I appreciate your time and consideration of this request and look forward to your guidance on the next steps.

Please let me know if any additional information or documentation is required to facilitate the review of this variance request. I am happy to discuss this matter further at your earliest convenience.

Sincerely,

Kevin Hornbuckle  
Director of Land Development  
Smith Douglas Homes

All that tract or parcel of land lying and being in Land Lot 185 of the 4th Land District of Walton County, Georgia and being more particularly described as follows:

Commencing at a  $\frac{1}{8}$ " rebar found at the intersection of the northwesterly 100' right of way of Tommy Lee Fuller Drive and the northerly 80' right of way of Baker Carter Drive and running thence along the northwesterly 100' right of way of Tommy Lee Fuller Drive for 1,869.59' to a  $\frac{1}{8}$ " iron rebar set, Said  $\frac{1}{8}$ " iron rebar set being the Point of Beginning, thence continuing along the aforesaid right of way N 30°01'50" W a distance of 52.53' to a point; thence N 30°25'27" W a distance of 395.63' to a point at the intersection of the aforesaid right of way and a creek; thence along said creek N 09°24'57" E a distance of 14.08'; thence N 23°57'05" E a distance of 19.96'; thence N 83°09'32" E a distance of 12.84'; thence N 79°56'23" E a distance of 6.18'; thence N 55°57'28" E a distance of 14.32'; thence N 51°11'35" E a distance of 14.36'; thence N 46°46'04" E a distance of 14.38'; thence N 42°36'56" E a distance of 14.35'; thence N 39°04'22" E a distance of 17.58'; thence N 34°40'26" E a distance of 14.48'; thence N 26°41'07" E a distance of 14.25'; thence N 16°34'46" E a distance of 9.95'; thence N 20°21'29" W a distance of 12.13'; thence N 00°02'09" E a distance of 13.29'; thence N 01°44'36" E a distance of 4.83'; thence N 01°20'48" E a distance of 13.30'; thence N 07°31'13" E a distance of 9.36'; thence N 26°50'30" E a distance of 12.77'; thence N 60°31'40" E a distance of 12.92'; thence N 43°57'37" E a distance of 13.37'; thence N 43°06'10" E a distance of 11.49'; thence N 59°10'27" E a distance of 13.90'; thence N 64°48'49" E a distance of 14.05'; thence N 56°20'15" E a distance of 10.39'; thence N 20°15'42" E a distance of 13.35'; thence N 27°05'07" E a distance of 8.26'; thence N 66°16'50" E a distance of 13.64'; thence N 71°07'52" E a distance of 13.84'; thence N 42°28'35" E a distance of 16.63'; thence N 18°35'59" E a distance of 6.45'; thence N 15°12'35" W a distance of 12.97'; thence N 08°38'26" W a distance of 5.52'; thence N 09°16'53" E a distance of 14.13'; thence N 17°12'53" E a distance of 14.13'; thence N 28°17'05" E a distance of 11.86'; thence N 54°54'54" E a distance of 12.64'; thence N 59°37'06" E a distance of 3.78'; thence leaving said creek N 30°06'23" W a distance of 108.75' to a  $\frac{1}{8}$ " rebar found; thence N 59°43'48" E a distance of 494.00' to a  $\frac{1}{8}$ " rebar found; thence N 88°36'36" E a distance of 529.73' to a  $\frac{1}{8}$ " rebar found; thence S 81°22'38" E a distance of 363.22' to a  $\frac{1}{8}$ " rebar found; thence S 28°25'58" E a distance of 63.19' to a  $\frac{1}{8}$ " rebar found; thence S 53°56'20" W a distance of 710.31'  $\frac{1}{8}$ " rebar found; thence S 60°39'29" W a distance of 540.19' to a  $\frac{1}{8}$ " rebar found; thence S 29°23'24" E a distance of 122.85' to a point; thence S 59°49'34" W a distance of 363.32' to a rebar set on the northwesterly 100' right of way of Tommy Lee Fuller Drive and the Point of Beginning.

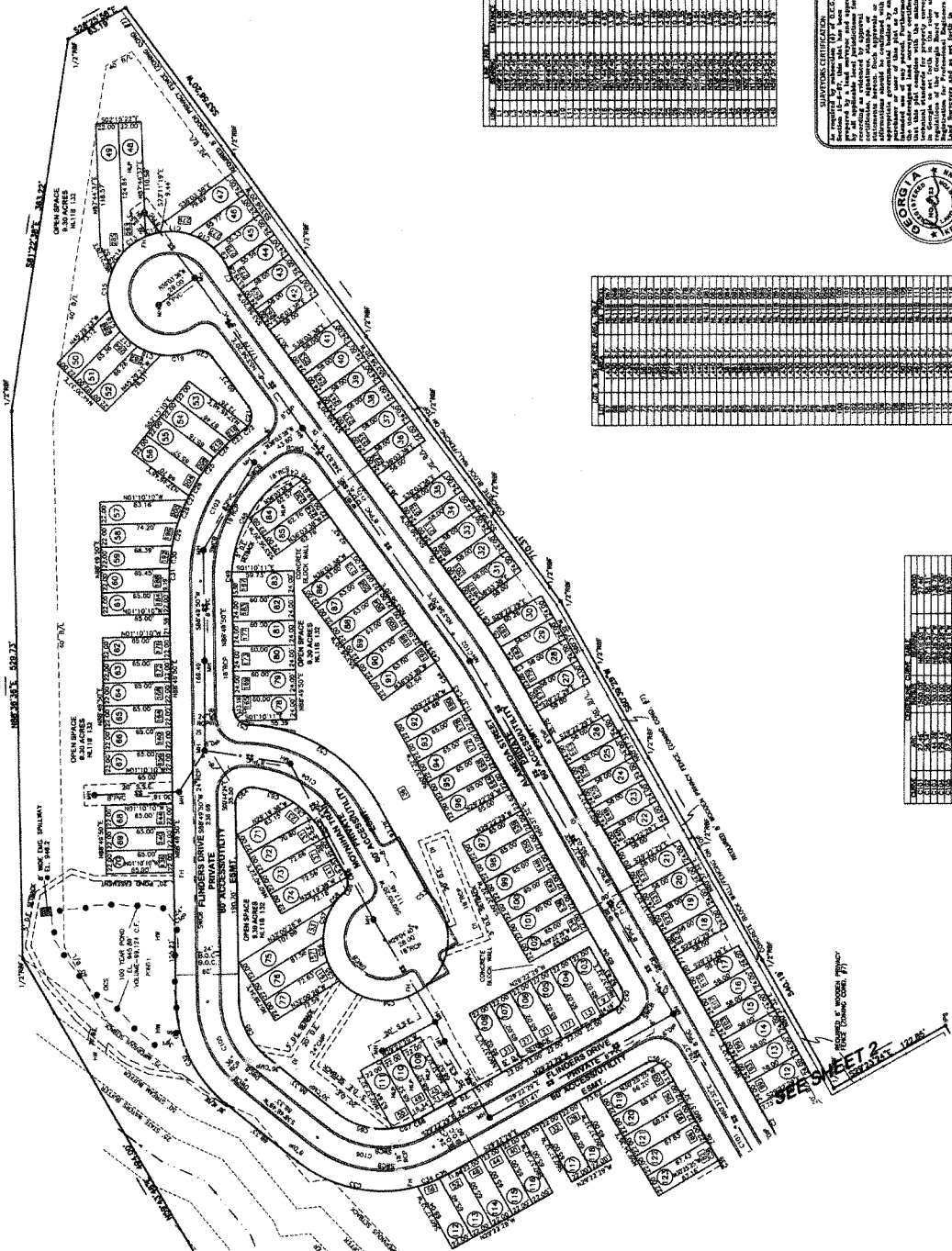
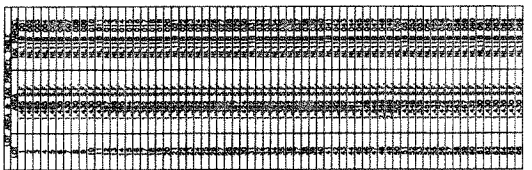
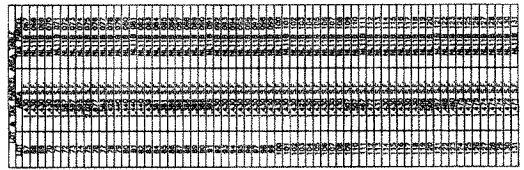
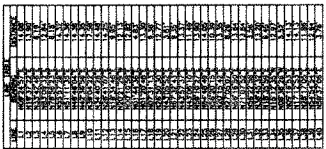
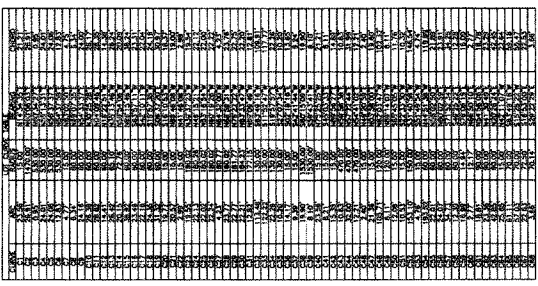






**LEGEND**

1	EXISTING LOT LINES
2	EXISTING BUILDING FOOTPRINTS
3	EXISTING DRIVEWAYS
4	EXISTING SIDEWALKS
5	EXISTING CURBS
6	EXISTING UTILITIES
7	EXISTING EASEMENTS
8	EXISTING ENCROACHMENTS
9	EXISTING SETBACKS
10	EXISTING ZONING
11	EXISTING ADJACENT PROPERTIES
12	EXISTING PUBLIC ROADS
13	EXISTING WATERWAYS
14	EXISTING TREES
15	EXISTING LANDSCAPING
16	EXISTING SIGNAGE
17	EXISTING FENCES
18	EXISTING WALLS
19	EXISTING POLES
20	EXISTING LIGHTS
21	EXISTING MAILBOXES
22	EXISTING DRIVEWAY MARKINGS
23	EXISTING SIDEWALK MARKINGS
24	EXISTING CURB MARKINGS
25	EXISTING UTILITY MARKINGS
26	EXISTING EASEMENT MARKINGS
27	EXISTING ENCROACHMENT MARKINGS
28	EXISTING SETBACK MARKINGS
29	EXISTING ZONING MARKINGS
30	EXISTING ADJACENT PROPERTY MARKINGS
31	EXISTING PUBLIC ROAD MARKINGS
32	EXISTING WATERWAY MARKINGS
33	EXISTING TREE MARKINGS
34	EXISTING LANDSCAPING MARKINGS
35	EXISTING SIGNAGE MARKINGS
36	EXISTING FENCE MARKINGS
37	EXISTING WALL MARKINGS
38	EXISTING POLE MARKINGS
39	EXISTING LIGHT MARKINGS
40	EXISTING MAILBOX MARKINGS
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42	EXISTING SIDEWALK MARKING MARKINGS
43	EXISTING CURB MARKING MARKINGS
44	EXISTING UTILITY MARKING MARKINGS
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97	EXISTING MAILBOX MARKING MARKINGS
98	EXISTING DRIVEWAY MARKING MARKINGS
99	EXISTING SIDEWALK MARKING MARKINGS
100	EXISTING CURB MARKING MARKINGS



THIS BLOCK RESERVED FOR THE CLERK OF THE SUPERIOR COURT

**FULLER STATION TOWNHOMES**

**NORTHEAST LAND SURVEYING, LLC**  
A Georgia Land Surveying Firm #184  
Buckhead, Georgia 30307  
Phone: (404) 776-7684

**NORTHEAST LAND SURVEYING**  
Project Name: Fuller Station Townhomes  
Project Address: 1000 Peachtree Street, N.E.  
City: Atlanta, GA 30309  
Date: 11/11/11  
Drawing No.: 22-08

DATE: 11/11/11  
SCALE: 1"=50'  
SHEET NO.: 3 OF 3

**UNLAWFUL CLERK**

THIS PLAN IS UNLAWFUL CLERK AS IT DOES NOT COMPLY WITH THE REQUIREMENTS OF THE GEORGIA SURVEYING ACT AND THE RULES OF THE BOARD OF SURVEYING AND MAPPING. THE CLERK OF THE SUPERIOR COURT HAS RECORDED THIS PLAN WITHOUT REVIEWING IT FOR COMPLIANCE WITH THE ACT AND RULES. THE CLERK OF THE SUPERIOR COURT IS NOT A SURVEYOR AND DOES NOT GUARANTEE THE ACCURACY OF THIS PLAN. THE CLERK OF THE SUPERIOR COURT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN. THE CLERK OF THE SUPERIOR COURT IS NOT A SURVEYOR AND DOES NOT GUARANTEE THE ACCURACY OF THIS PLAN. THE CLERK OF THE SUPERIOR COURT IS NOT RESPONSIBLE FOR ANY ERRORS OR OMISSIONS IN THIS PLAN.



1	DATE	11/11/11
2	SCALE	1"=50'
3	SHEET NO.	3 OF 3
4	PROJECT NAME	Fuller Station Townhomes
5	PROJECT ADDRESS	1000 Peachtree Street, N.E.
6	CITY	Atlanta, GA 30309
7	DATE	11/11/11
8	DRAWING NO.	22-08



All requirements of the City of Loganville Development Regulations relative to the preparation and submission of a development permit application having been fulfilled, and said application and all supporting plans and data having been reviewed and approved by all affected City Departments as required under their respective and applicable regulations, approval is hereby granted of this Site Plan and all other development plans associated with this project subject to all further provisions of said Development and other City Regulations.

Director, \_\_\_\_\_ Date \_\_\_\_\_

Department of Planning and Development

THIS CERTIFICATE EXPIRES TWELVE MONTHS FROM THE DATE OF APPROVAL UNLESS A DEVELOPMENT PERMIT IS ISSUED

NOTE: NO PORTION OF THIS PROPERTY IS IN A DESIGNATED FLOOD HAZARD AREA PER F.I.R.M. PANEL 13297C0085E DATED 12/08/2016.

REQUEST REPORT FOR AJ TALLMAN

ALL EXISTING PAVING, PAVING BASE, CURB AND GUTTER, STORM DRAINAGE FACILITIES, WATER SYSTEM FACILITIES, AND SANITARY SEWER FACILITIES INTENDING TO BE REUSED MUST PROVIDE ALL QUALITY CONTROL, TESTING, AND INSPECTIONS REQUIRED BY THE CITY TO VERIFY SUCH EXISTING FACILITIES MEET THE CURRENT REQUIREMENTS OF THE CITY. THOSE FACILITIES THAT DO NOT MEET THE CURRENT REQUIREMENTS MUST BE REPLACED SO THAT IT MEETS THE CURRENT REQUIREMENTS OF THE CITY.

UTILITY SUPPLIERS

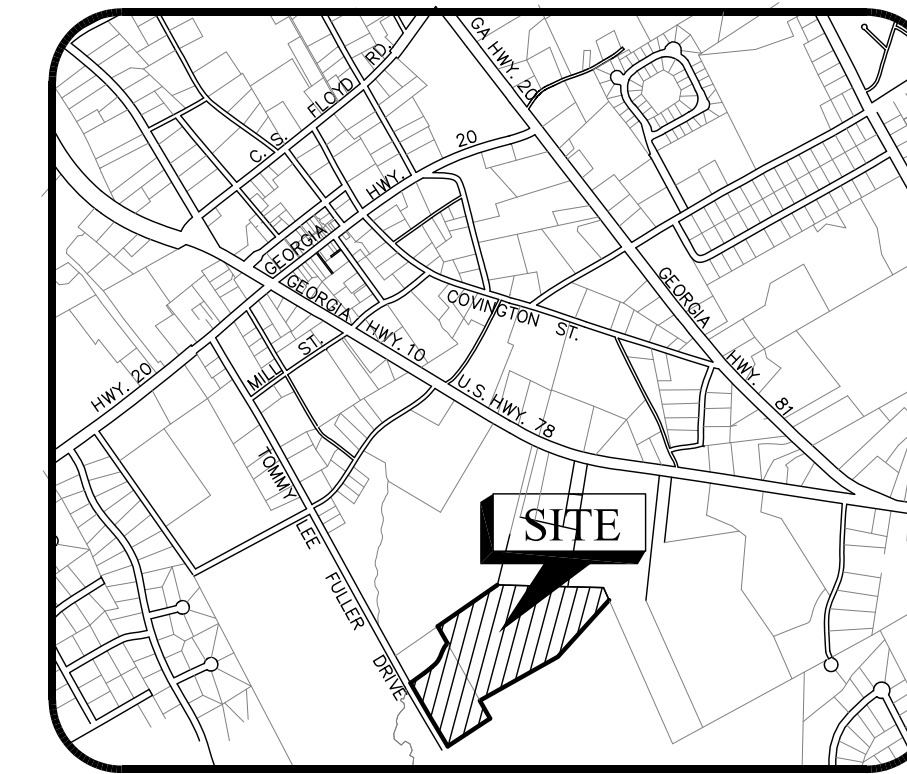
WATER: City of Loganville  
Contact: Gary Mann  
770-466-0911

PHONE: Bellsouth  
Contact: Teresa Conley  
770-391-2810

SEWER: City of Loganville  
Contact: Chris Yancey  
770-466-1306

GAS: Lawrenceville Gas  
770-963-2414

ELECTRIC: Walton EMC  
770-267-2505



VICINITY MAP  
N.T.S.

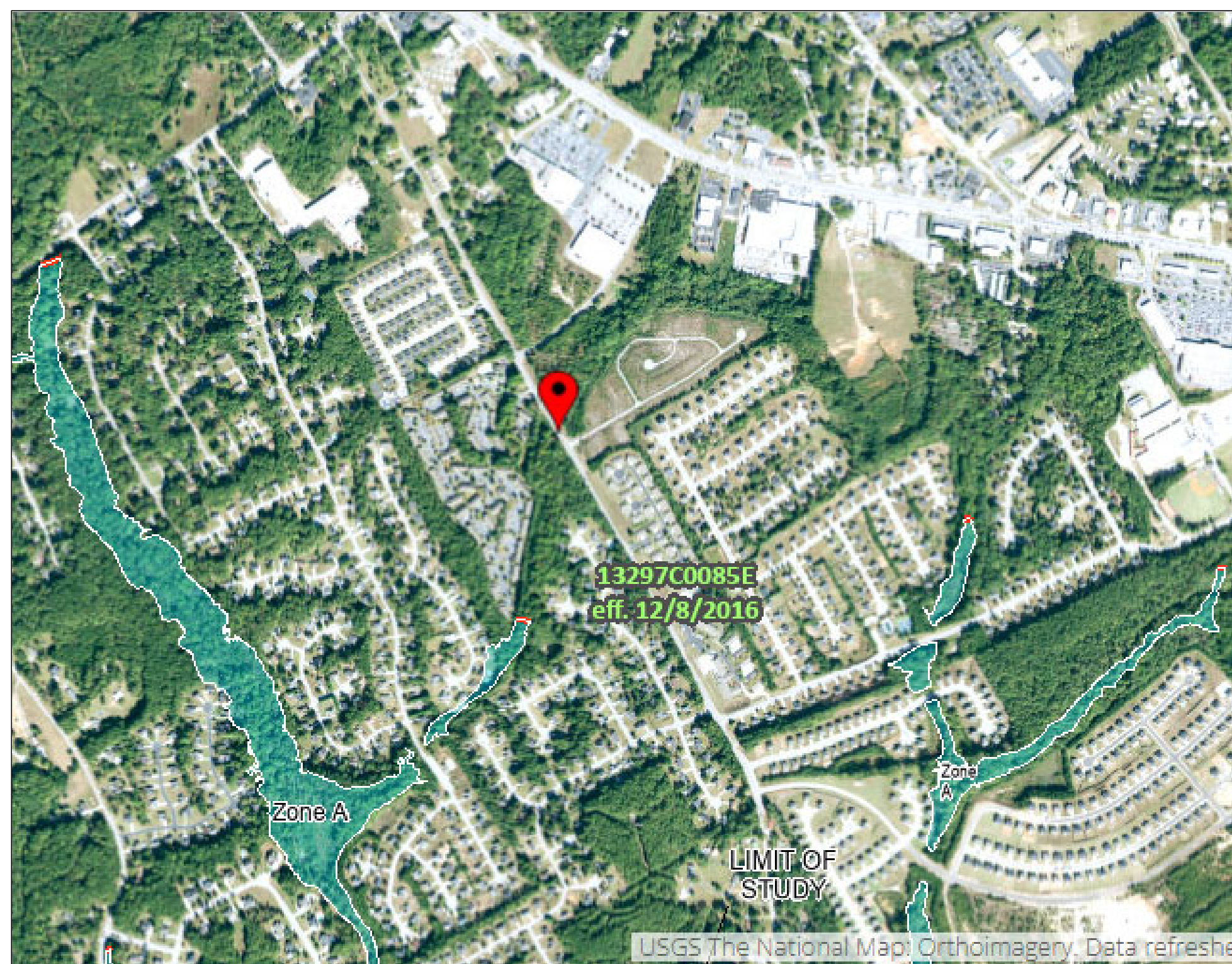
# CONSTRUCTION PLANS FOR LOGAN MIAMI TOWNHOUSES

TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GEORGIA  
GPS LOCATION: LAT: 33.8296 LON:-83.8985  
ZONED: RM-8

Conditions

- The property shall be built in accordance with the concept plan dated June 18, 2020. This condition shall not prevent changes to the concept plan and issuance of permits so long as the concept plan is in accordance with the City Code and these conditions.
- The maximum number of townhome units shall be 131.
- The minimum square footage of each townhome unit shall be 1,600'.
- Each townhome unit shall have 2 or 3 bedrooms.
- The property shall be governed by a homeowner's association created in accordance with the Georgia Property Owner's Association Act. The declaration shall include covenants providing the following:
  - The percentage of townhome units rented at any given time shall not exceed 20%; and
  - The number of townhome units that the declarant (including any successor-in-interest) may sell to the same person or entity for the first occupancy of the townhome unit shall not exceed three.
- Applicant (including any successor-in-interest) shall fund an upgrade to the public sewer system serving the property in an amount not to exceed \$50,000.00. Such upgrade shall be funded no later than the issuance of the first building permit.
- Applicant (including any successor-in-interest) shall install an eight-foot tall wooden privacy fence within the side yard setback as shown on the concept plan along the entire southern property line for the benefit of the neighbors living in the Park Place subdivision.

DRAWING INDEX		
SHEET		DESCRIPTION
1	C-0	COVER SHEET
2	C-1.1A	EXISTING CONDITION/DEMOLITION
3	C-1.1B	EXISTING CONDITION/DEMOLITION
4	C-1.1C	EXISTING BOUNDARY SURVEY
5	C-1.2A	SITE PLAN
6	C-1.2B	SITE PLAN
7	C-1.3A	LANDSCAPE / TREE PROTECTION PLAN
8	C-1.3B	LANDSCAPE / TREE PROTECTION PLAN
9	C-2.1A	GRADING PLAN
10	C-2.1B	GRADING PLAN
11	C-2.2	STORM PROFILES
12	C-2.3	STORM PROFILES
13	C-2.4	ROAD PROFILES
14	C-2.5	ROAD PROFILES
15	C-3.1A	UTILITY PLAN
16	C-3.1B	UTILITY PLAN
17	C-3.2	SEWER PROFILES
18	C-3.3	SEWER PROFILES
19	C-4.1A	INITIAL EROSION & SEDIMENT CONTROL PLAN
20	C-4.1B	INITIAL EROSION & SEDIMENT CONTROL PLAN
21	C-4.2A	INTER. EROSION & SEDIMENT CONTROL PLAN
22	C-4.2B	INTER. EROSION & SEDIMENT CONTROL PLAN
23	C-4.3A	FINAL EROSION & SEDIMENT CONTROL PLAN
24	C-4.3B	FINAL EROSION & SEDIMENT CONTROL PLAN
25	C-4.4	COMPREHENSIVE MONITORING PLAN
26	C-4.5	EROSION NOTES
27	C-5.1	CONSTRUCTION DETAILS
28	C-5.2	CONSTRUCTION DETAILS
29	C-5.3	CONSTRUCTION DETAILS
30	C-5.4	CONSTRUCTION DETAILS
31	C-5.5	CONSTRUCTION DETAILS



STORMWATER MANAGEMENT FOR THE PROJECT IS PROVIDED ON SITE BY TWO EXISTING STORMWATER PONDS DESIGNED AND INSTALLED PER HYDROLOGY REPORT BY VON ITTER AND MCGEE, INC. FOR GARDEN AT SOUTHERN PLANTATION DATED 10/20/04.

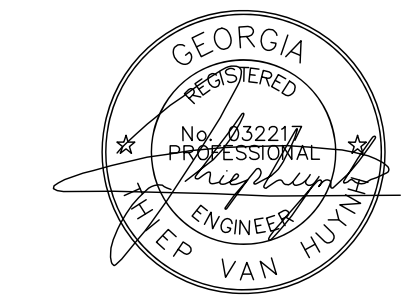
TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.83 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22



IF ANY CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE DISCOVERED, EITHER ON THE CONSTRUCTION DOCUMENTS OR THE FIELD CONDITIONS, THE CONTRACTOR MUST NOTIFY THE ENGINEER IMMEDIATELY, AND SHALL NOT COMMENCE OPERATION UNTIL THE CONFLICTS, DISCREPANCIES, OR OTHER UNSATISFACTORY CONDITIONS ARE RESOLVED.

**A.C.E.**  
ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, LLC.  
P.O.C. TIP HUYNH, P.E.  
485 Edwards Rd.  
Oxford, Georgia 30054  
Phone: 770-466-4002  
tipacell@gmail.com

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COVER SHEET

LOGAN MIAMI TOWNHOUSES

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
SCALE: 1"=40'

OWNER/PERMITTEE  
LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com  
24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

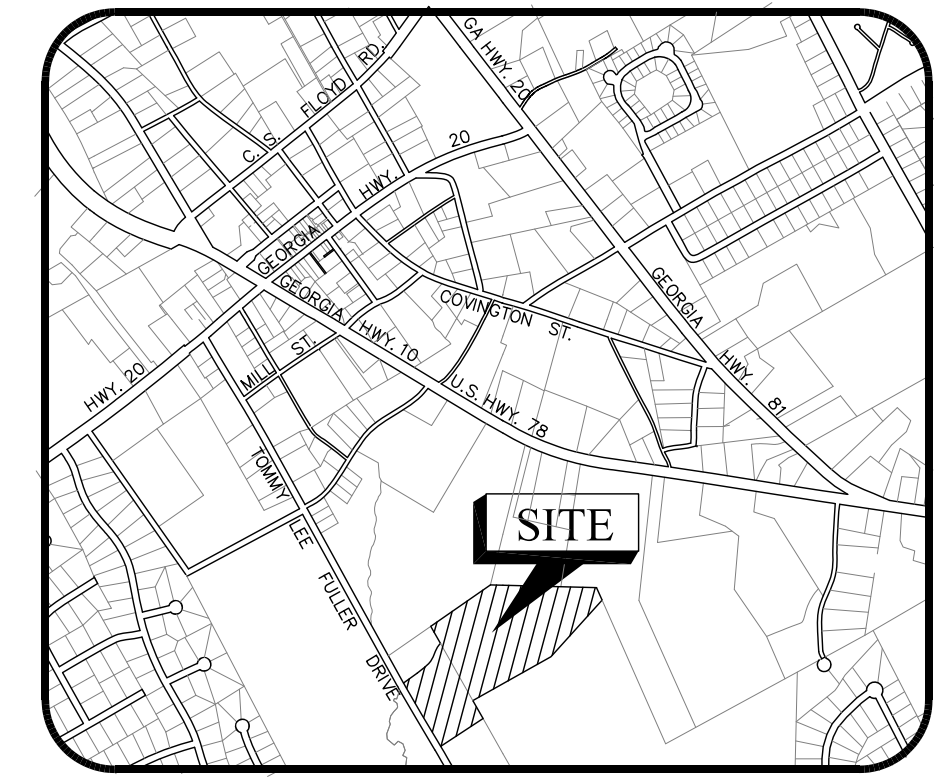
REVISIONS		
NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
C-0

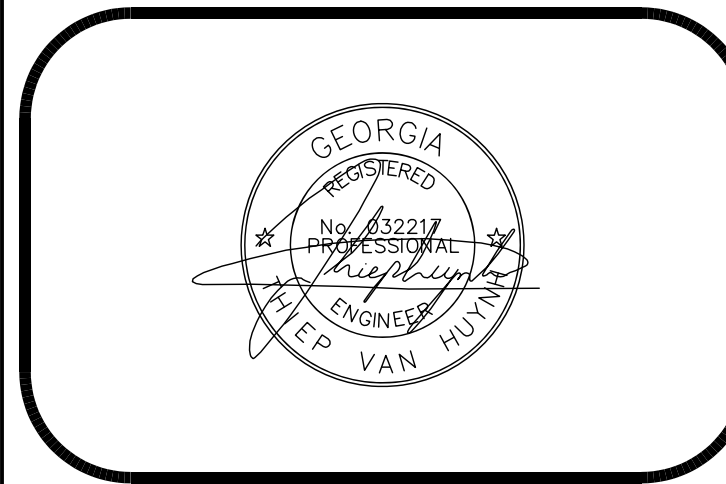
**A.C.E.**  
 ALCOVY CONSULTING ENGINEERING  
 AND ASSOCIATES, L.L.C.  
 P.O.C. TIP HUYNH, P.E.  
 485 Edwards Rd.  
 Oxford, Georgia 30054  
 Phone: 770-466-4002  
 tipacell@gmail.com

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VICINITY MAP  
 N.T.S.



**EXISTING  
 CONDITION**

**LOGAN  
 MIAMI  
 TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021

SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014

C-1.1A

TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.82 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

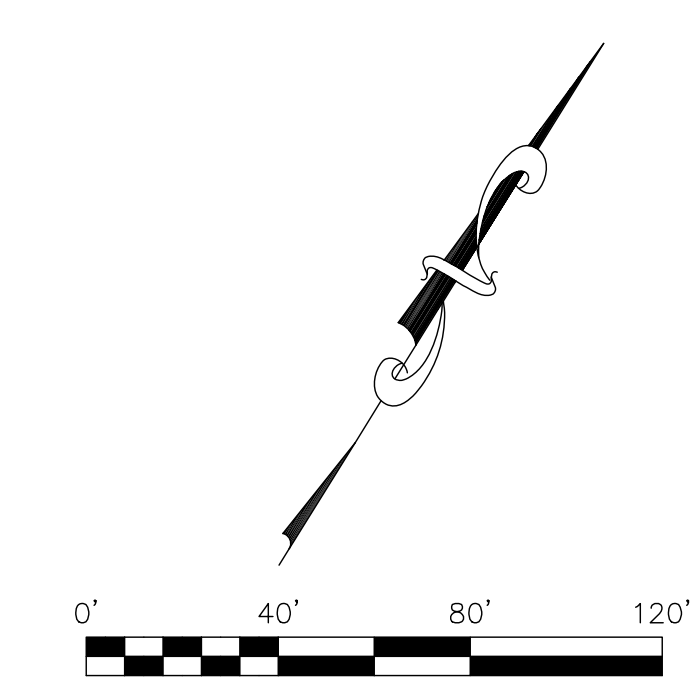
**DEMOLITION NOTES**

- (A) EXISTING 8" PVC SEWER LINE TO BE REMOVED. GROUT PLUGS: CEMENT-BASED DRY-PACK GROUT CONFORMING TO ASTM C1107, GRADE B OR C TO MANHOLE.
- (B) EXISTING 6.0 LF CURB TO BE REMOVED AND REPLACED.
- (C) EXISTING MANHOLE TO BE REMOVED.
- (D) EXISTING WATER METER TO BE RELOCATED.
- (E) EXISTING 6" SEWER SERVICE AND CLEAN OUT TO BE REMOVED.
- (F) EXISTING ACMP TO BE REMOVED AND REPLACED WITH RCP.
- (G) EXISTING WATER LINE SERVICE TO BE REMOVED.

CREEK CALLS FROM POINT "A" TO POINT "B"

Course	Bearing	Distance
L1	N 09°24'57" E	14.08'
L2	N 23°57'05" E	19.96'
L3	N 83°09'32" E	12.84'
L4	N 79°56'23" E	6.18'
L5	N 55°57'28" E	14.32'
L6	N 51°11'35" E	14.36'
L7	N 46°46'04" E	14.38'
L8	N 42°36'56" E	14.35'
L9	N 39°04'22" E	17.58'
L10	N 34°40'26" E	14.48'
L11	N 26°41'07" E	14.25'
L12	N 16°34'46" E	9.95'
L13	N 20°21'29" W	12.13'
L14	N 00°02'09" W	13.29'
L15	N 01°44'36" E	4.83'
L16	N 01°20'48" E	13.30'
L17	N 07°31'13" E	9.38'
L18	N 20°50'30" E	12.77'
L19	N 60°31'40" E	12.92'
L20	N 43°57'37" E	13.37'
L21	N 43°06'10" E	11.49'
L22	N 59°10'27" E	13.90'
L23	N 64°48'49" E	14.05'
L24	N 56°20'15" E	10.39'
L25	N 20°15'42" E	13.35'
L26	N 27°05'07" E	8.26'
L27	N 60°16'50" E	13.64'
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L29	N 42°28'35" E	16.63'
L30	N 18°35'59" E	6.45'
L31	N 15°12'55" W	12.97'
L32	N 08°58'26" W	5.52'
L33	N 09°16'53" E	14.13'
L34	N 17°12'53" E	14.13'
L35	N 28°17'05" E	11.86'
L36	N 54°54'54" E	12.84'
L37	N 59°37'06" E	3.78'

- LEGEND**
- R.B.F. = REBAR FOUND
  - I.F.S. = IRON PIN SET WITH CAP STAMPED "ALCOVY"
  - C.M.F. = CONCRETE FOUND
  - O.T.P. = OPEN TOP PIPE
  - C.T.P. = COVERED TOP PIPE
  - R/W = RIGHT OF WAY
  - P/W = PROPERTY LINE
  - C.L. = CENTER LINE
  - B.S.L. = BUILDING SETBACK LINE
  - L.L. = LAND LOT
  - L.L.D. = LAND LOT LINE
  - C.M.D. = GEORGIA MULTI-DISTRICT
  - T.B.M. = TEMPORARY BENCH MARK
  - R. = RADIOS
  - CH. = CHORD
  - TAN. = TANGENT
  - N/F = NOW OR FORMERLY
  - D.B. = DEED BOOK
  - P.B. = PLAT BOOK
  - P.G. = PAGE
  - P.E. = PLANNING EASEMENT
  - S.S.E. = SANITARY SEWER EASEMENT
  - F.F.E. = FINISHED FLOOR ELEVATION
  - M. = MANHOLE
  - D.I. = DRAIN INLET
  - F.H. = FIRE HYDRANT
  - L.P. = LIGHT POLE
  - P.P. = POWER POLE
  - P.L. = POWER LINE
  - F.L. = FENCE LINE
  - W.L. = WATER LINE
  - G.L. = GAS LINE
  - V. = VALVE
  - W. = WELL
  - (DISTANCE) = DEED OR PLAT CALL
  - P.O.C. = POINT OF COMMENCEMENT
  - P.O.B. = POINT OF BEGINNING



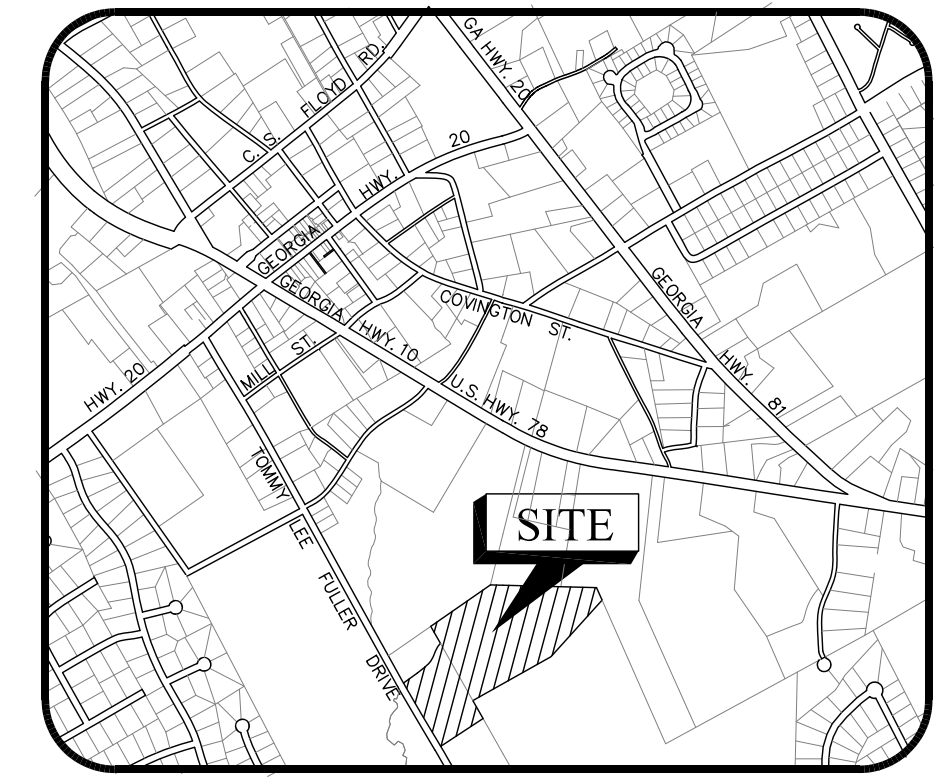
**GEORGIA811**  
 www.Georgia811.com

WO PSL LOGANVILLE PROPCO, LLC  
 580 TOMMY LEE FULLER DRIVE  
 TAX PARCEL LG120001  
 DB. 4425, PG. 329  
 PB. 87, PG. 68  
 ZONED "OI"

**A.C.E.**  
 ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, L.L.C.  
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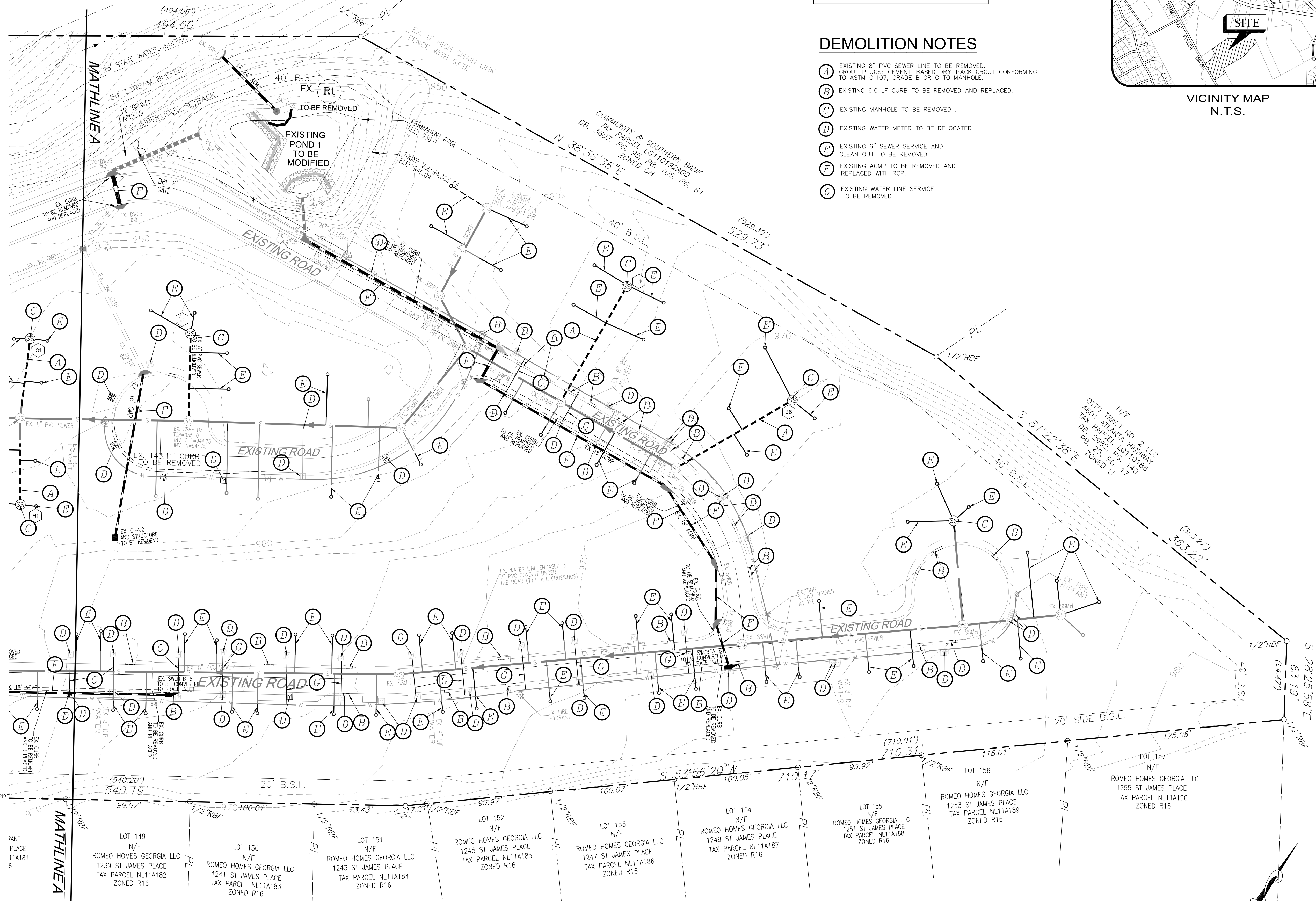


VICINITY MAP  
 N.T.S.

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TOTAL DISTURBED AREA = 12.82 ACRES
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**LEGEND**

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F.F.E.	= FINISHED FLOOR ELEVATION
⊙	= MANHOLE
⊙	= DRAIN INLET
⊙	= FIRE HYDRANT
⊙	= LIGHT POLE
⊙	= POWER POLE
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**GEORGIA811**  
 www.Georgia811.com



**EXISTING CONDITION**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

**OWNER/PERMITTEE**

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 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

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**REVISIONS**

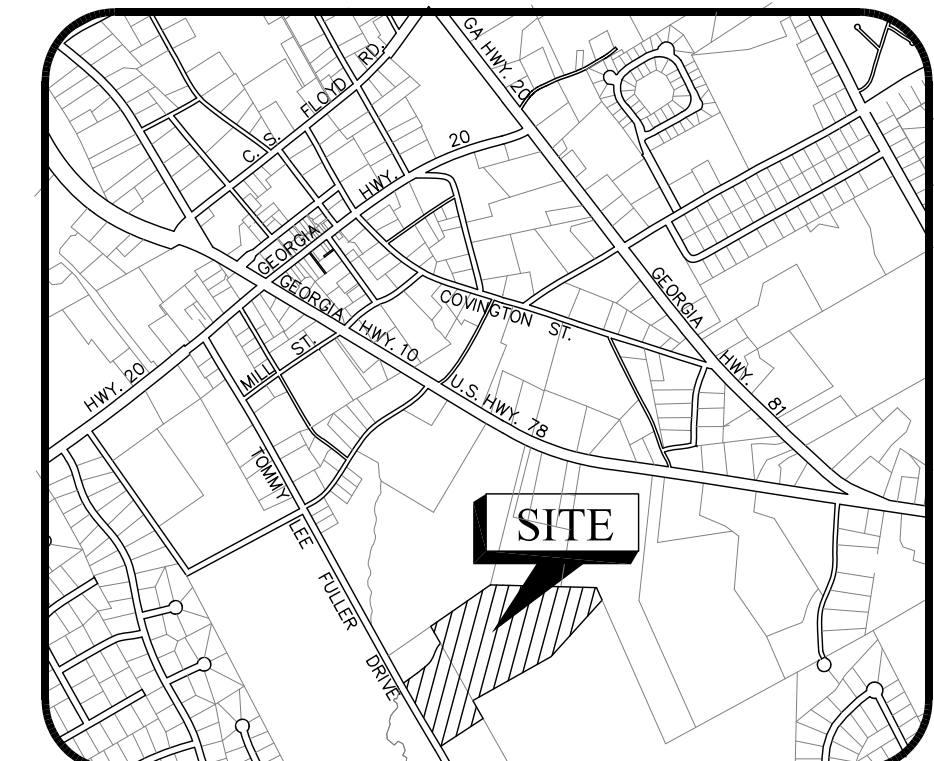
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Job No. 21-014  
 C-1.1B

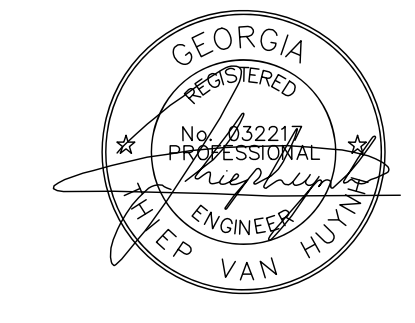
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VICINITY MAP  
 N.T.S.



**EX. BOUNDARY SURVEY**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

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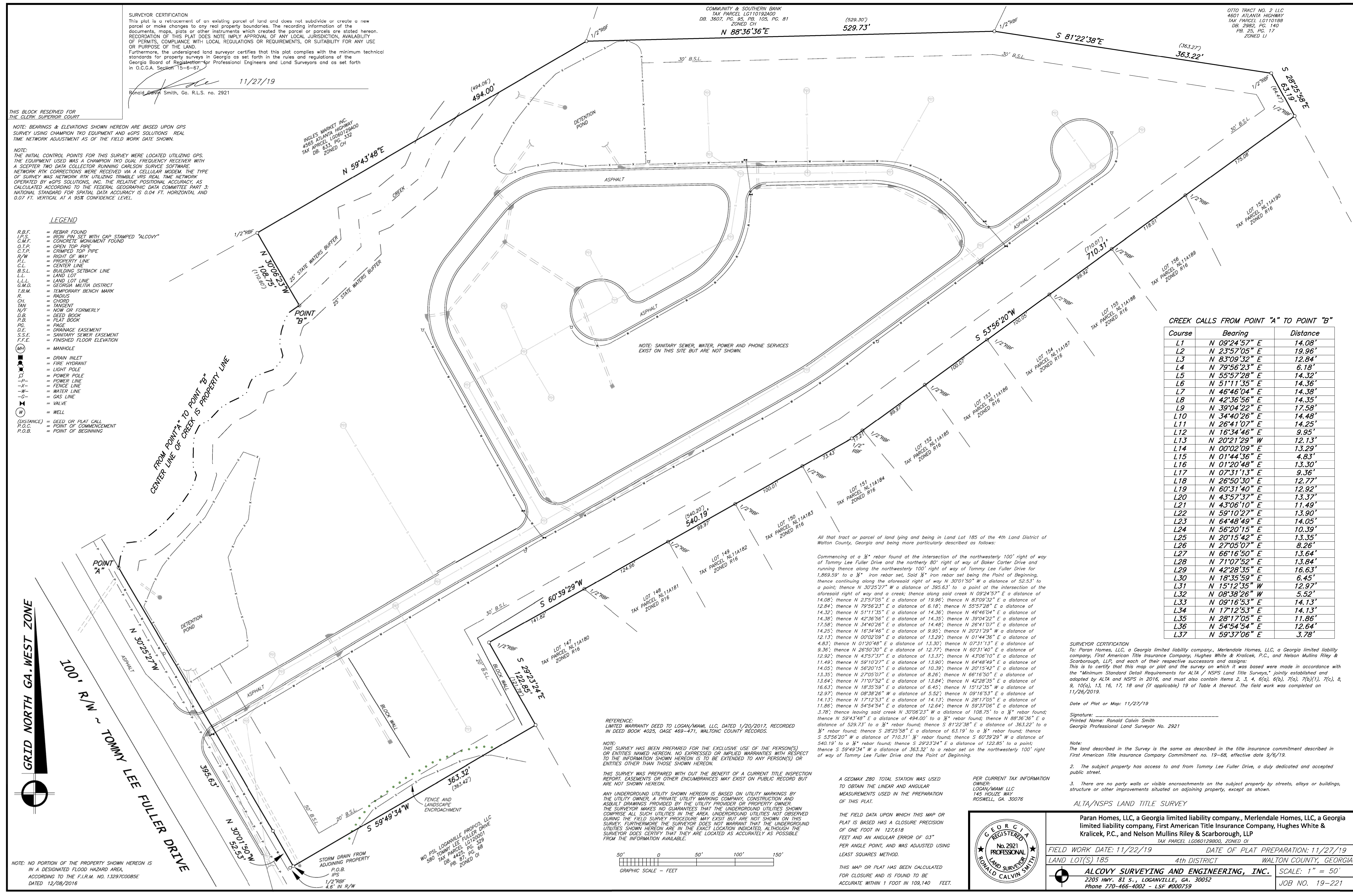
**24 HOUR - EMERGENCY CONTACT**  
 STEVE ALLEN  
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**REVISIONS**

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Job No. 21-014  
**C-1.1C**

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Course	Bearing	Distance
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L36	N 54°54'54" E	12.64'
L37	N 59°37'06" E	3.78'

**SURVEYOR CERTIFICATION**  
 This plat is a representation of an existing parcel of land and does not subdivide or create a new parcel or make changes to any real property boundaries. The recording information of the documents, maps, plans or other instruments which created the parcel or parcels are stated herein. RECORDED INFORMATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF RECORDS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, OR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND.  
 Furthermore, the undersigned land surveyor certifies that this plat complies with the minimum technical standards for property surveys in Georgia as set forth in the rules and regulations of the Georgia Board of Registration of Professional Engineers and Land Surveyors and as set forth in O.C.G.A. Section 15-6-67.  
 11/27/19  
 Ronald Calvin Smith, Ge. R.L.S. No. 2921

**NOTE:**  
 THE INITIAL CONTROL POINTS FOR THIS SURVEY WERE LOCATED UTILIZING GPS. THE EQUIPMENT USED WAS A CHAMBERLAIN TWO EQUIPMENT AND HORS SOLUTIONS REAL TIME NETWORK ADJUSTMENT AS OF THE FIELD WORK DATE SHOWN.  
 NETWORK RTK CORRECTIONS WERE RECEIVED VIA A CELLULAR MODEM. THE TYPE OF SURVEY WAS NETWORK RTK UTILIZING TRIMBLE VRS REAL TIME NETWORK OPERATED BY HORS SOLUTIONS, INC. THE RELATIVE POSITIONAL ACCURACY, AS CALCULATED ACCORDING TO THE FEDERAL GEOGRAPHIC DATA COMMITTEE PART 3 NATIONAL STANDARD FOR SPATIAL DATA ACCURACY IS 0.04 FT. HORIZONTAL AND 0.07 FT. VERTICAL AT A 95% CONFIDENCE LEVEL.

- LEGEND**
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  - C.M.F. = CONCRETE MOUND FOUND
  - O.T.P. = OPEN TOP PIPE
  - C.T.P. = COVERED TOP PIPE
  - R/W = RIGHT OF WAY
  - A.L. = ASPHALT
  - C.L. = CENTER LINE
  - B.S.L. = BUILDING SETBACK LINE
  - L.L. = LAND LOT
  - G.M.D. = GEORGIA METRA DISTRICT
  - T.E.M. = TEMPORARY EASEMENT MARK
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  - P.O.B. = POINT OF BEGINNING

**GRID NORTH GA. WEST ZONE**  
 100' R/W - TOMMY LEE FULLER DRIVE

**NOTE:** NO PORTION OF THE PROPERTY SHOWN HEREON IS IN A DESIGNATED FLOOD HAZARD AREA, ACCORDING TO THE F.I.R.M. NO. 132970008E DATED 12/08/2016

**REFERENCE:**  
 LIMITED WARRANTY DEED TO LOGAN/MIAMI, LLC, DATED 1/20/2017, RECORDED IN DEED BOOK 4025, PAGE 499-471, WALTON COUNTY RECORDS.

**NOTE:**  
 THIS SURVEY HAS BEEN PREPARED FOR THE EXCLUSIVE USE OF THE PERSON(S) OR ENTITIES NAMED HEREON. NO EXPRESSED OR IMPLIED WARRANTIES WITH RESPECT TO THE INFORMATION SHOWN HEREON IS TO BE EXTENDED TO ANY PERSON(S) OR ENTITIES OTHER THAN THOSE SHOWN HEREON.

THIS SURVEY WAS PREPARED WITH OUT THE BENEFIT OF A CURRENT TITLE INSPECTION REPORT, EASEMENTS OR OTHER ENCUMBRANCES MAY EXIST ON PUBLIC RECORD BUT ARE NOT SHOWN HEREON.

ANY UNDERGROUND UTILITY SHOWN HEREON IS BASED ON UTILITY MARKINGS BY THE UTILITY OWNER, A PRIVATE UTILITY MARKING COMPANY, CONSTRUCTION AND ASBESTOS SURVEY CONDUCTED BY THE UTILITY PROVIDER OR PROPERTY OWNER. THE SURVEYOR MAKES NO GUARANTEES THAT THE UNDERGROUND UTILITIES SHOWN COMPLETE ALL SUCH UTILITIES IN THE AREA. UNDERGROUND UTILITIES NOT DISCOVERED DURING THE FIELD SURVEY PROCEDURE MAY EXIST BUT ARE NOT SHOWN ON THIS SURVEY. FURTHERMORE, THE SURVEYOR DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN HEREON ARE IN THE EXACT LOCATION INDICATED, ALTHOUGH THE SURVEYOR DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION AVAILABLE.

A DEGMAX 280 TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

PER CURRENT TAX INFORMATION OBTAINED FROM WALTON COUNTY RECORDS, LOGAN/MIAMI, LLC IS THE TAXPAYER FOR PARCEL LG060129B00, ZONED R16, ROSWELL, GA 30076.

THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN 1 FOOT IN 100,140 FEET.



**ALCOVY SURVEYING AND ENGINEERING, INC.**  
 2205 HWY. 81 S., LOGANVILLE, GA 30052  
 Phone 770-466-4002 - LSF #000739

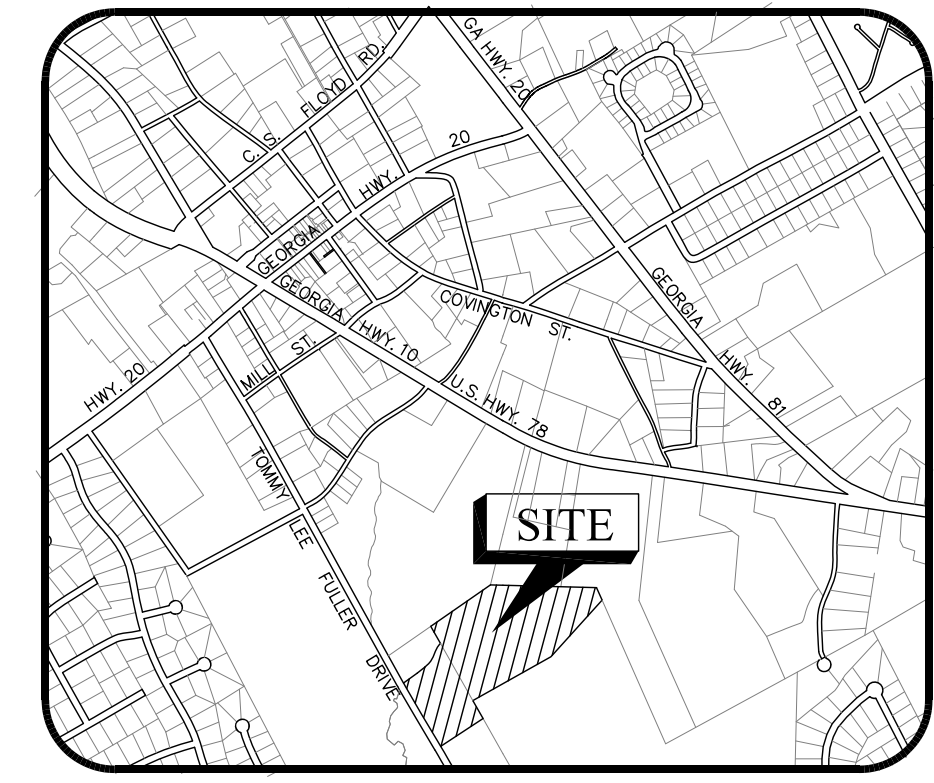
Paran Homes, LLC, a Georgia limited liability company, Merlendale Homes, LLC, a Georgia limited liability company, First American Title Insurance Company, Hughes White & Krallcock, P.C., and Nelson Mullins Riley & Scarborough, LLP

FIELD WORK DATE: 11/22/19 DATE OF PLAT PREPARATION: 11/27/19  
 LAND LOT(S) 185 4th DISTRICT WALTON COUNTY, GEORGIA  
 JOB NO. 19-221

- SITE PLAN NOTES**
1. ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF LOGANVILLE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  2. CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SIDEWALKS, PRECISE BUILDING DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  3. ALL DISTURBED AREAS ARE TO RECEIVE SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  4. THERE ARE EXISTING STRUCTURES TO BE REMOVED. CONTACT ENGINEER IF ANY STRUCTURES ARE FOUND NOT SHOWN ON THESE PLANS.
  5. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COSTS SHALL BE INCLUDED IN BASE BID.
  6. SITE IS CURRENTLY ZONED RM4S.
  7. SITE HAS NO EXISTING OR PREVIOUSLY EXISTING LANDFILLS AND NO PROPOSED ON-SITE BURIAL PITS.
  8. THERE ARE NO CEMETERIES LOCATED ON THE SITE.
  9. BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM GROUND RUN TOPO BY VON ITTER AND MCGEE, INC.
  10. WATER & SEWER SERVICES PROVIDED BY CITY OF LOGANVILLE.
  11. HANDICAP RAMPS REQUIRED AT ALL SIDEWALK CROSSINGS.
  12. THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF STORM WATER MANAGEMENT SYSTEM OUTSIDE OF THE RIGHT-OF-WAY INCLUDING DETENTION AND WATER QUALITY FACILITIES, LAKES, STORM DRAINS, AND/OR WATER COURSES.
  13. NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE WIDENING OF AND CONSTRUCTION ON ROADS IN CITY OF LOGANVILLE.
  14. APPROVAL OF THESE PLANS BY CITY OF LOGANVILLE DOES NOT CONSTITUTE APPROVAL OF ANY WORK OR DRIVEWAY LOCATION IN STATE RIGHTS-OF-WAY WITHOUT APPROVAL OF GEORGIA DOT.
  15. WATER METER(S) MUST BE LOCATED WITHIN THE RIGHT-OF-WAY. A BACKFLOW PREVENTER DEVICE IS REQUIRED TO BE INSTALLED (IF NOT CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION.
  16. NO PRESSURE REDUCING VALVES ARE TO BE INSTALLED ON FIRELINES. ALL FIRELINES ARE TO BE INSPECTED PRIOR TO CONSTRUCTION.
  17. FIRE LANES TO BE MARKED WITH "NO PARKING - FIRE LANE" PAINTED ON THE CURB IN 10' WHITE LETTERS AND THE CURB PAINTED RED.

TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.63 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

INGLES MARKET, INC.  
4565 ATLANTA HIGHWAY  
TAX APRCEL LG060129A00  
DB. 633, PG. 332  
ZONED CH

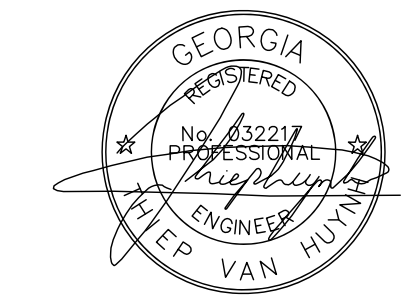


VICINITY MAP  
N.T.S.

**A.C.E.**  
ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, L.L.C.  
P.O.C. TIP HUYNH, P.E.  
485 Edwards Rd.  
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**SITE PLAN**

**LOGAN MIAMI TOWNHOUSES**

- NOTES:**
1. BOUNDARY AND TOPOGRAPHIC INFORMATION FROM A SURVEY BY VON ITTER & MCGEE, INC.
  2. THERE ARE NO NWI WETLAND WITHIN THE PROJECT WORK AREA.
  3. NO PORTION OF THIS PROPERTY IS IN A DESIGNATED FLOOD HAZARD AREA PER F.I.R.M. PANEL 13297C0085E DATED DEC. 8, 2016. LIMIT SHOWN
  4. THE PROJECT WILL BE SERVED BY CITY OF LOGANVILLE WATER.
  5. THE PROJECT WILL BE SERVED BY CITY OF LOGANVILLE SEWER SYSTEM.
  6. POND, DAM, ALL OPEN SPACE AND RECREATION AREA TO BE MAINTAINED BY A QUALIFIED HOMEOWNERS ASSOCIATION. HOMEOWNERS COVENANT ARE TO BE ESTABLISHED AND RECORDED WITH COUNTY CLERK OFFICE AND REFERENCE ON FINAL PLAT AND PRIOR TO THE CERTIFICATE OF OCCUPANCY IS ISSUED.
  7. TOTAL SITE AREA = 17.82 ± ACRES  
IMPERVIOUS IN 131 TOWNHOUSE UNITS = 7.04 ACRES  
IMPERVIOUS IN OPEN SPACE = 0.12ACRES  
TOTAL IMPERVIOUS = 7.16 ACRES  
TOTAL OPEN SPACE = 10.78ACRES
  8. GROSS DENSITY 7.35 UNITS PER ACRE.
  9. DEVELOPMENT STANDARD:  
FRONT SET BACK: 50'  
SIDE SETBACK: 20'  
REAR SETBACK: 30'  
THE MINIMUM HEATED FLOOR SPACE (IN SQUARE FEET) SHALL BE AS FOLLOWS:  
ONE BEDROOM: 800  
TWO BEDROOMS: 1,000  
THREE BEDROOMS: 1,200
  10. LIGHTING TO BE DESIGNED AND INSTALLED BY POWER PROVIDER.

- HC : HANDICAP FRAME
- 5'SW : 5' SIDEWALK

**SITE ANALYSIS**

PROPOSED	131 TOWNHOUSE UNITS
TOTAL AREA	17.82 AC.
ZONED	RM-8

**REQUIRED**

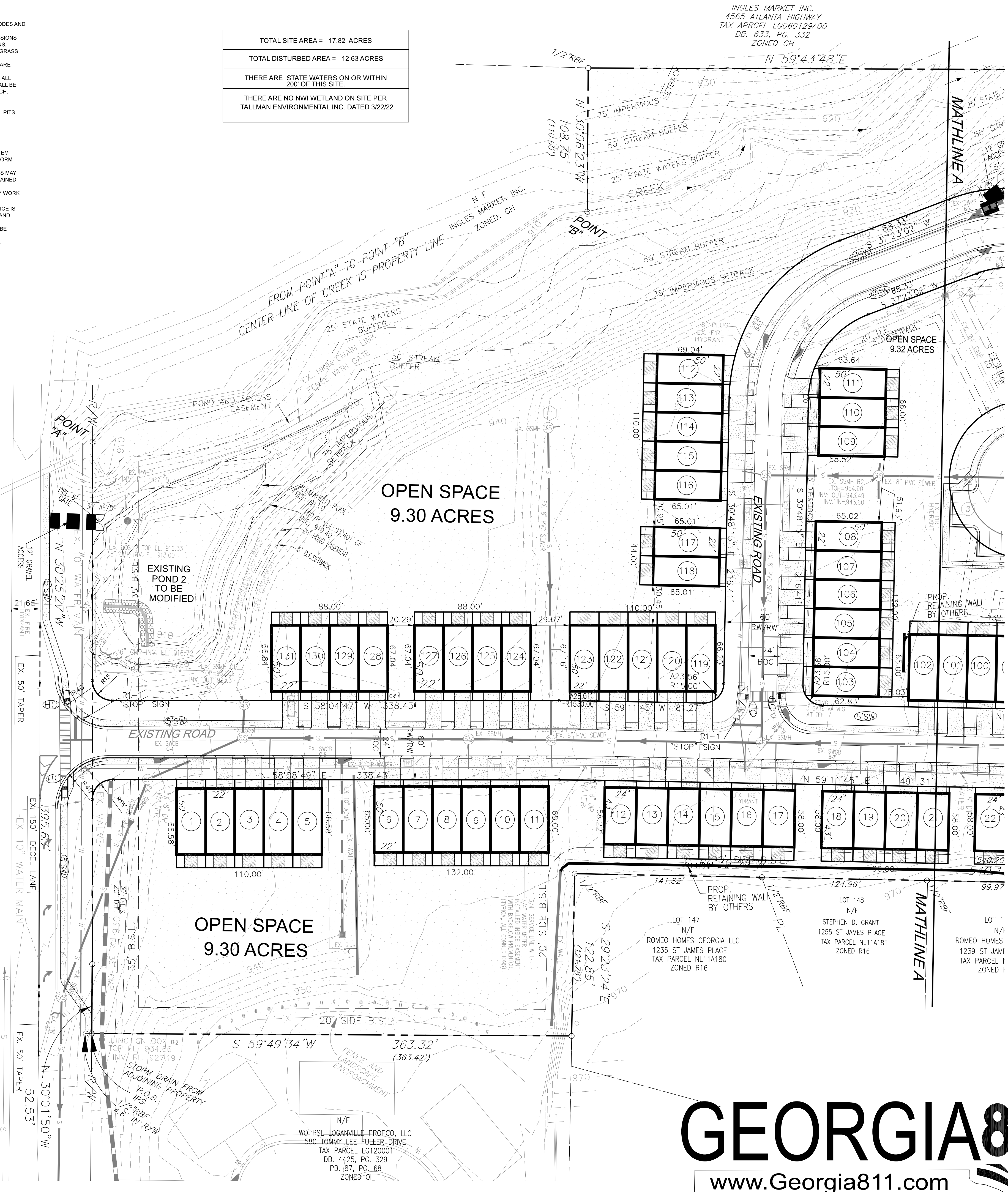
1 SP. / PER BEDROOM	262 SPACES
ASSUMED 2 BEDROOMS/UNIT	131 SPACES
1 SP. IN GARAGE	131 SPACES
1 SPACE IN DRIVEWAY	15 SPACES
OVERFLOW AT AMENITY AREA	277 SPACES
TOTAL PROVIDED	

**CREEK CALLS FROM POINT "A" TO POINT "B"**

Course	Bearing	Distance
L1	N 09°24'52" E	14.08'
L2	N 23°57'05" E	19.96'
L3	N 83°09'32" E	12.84'
L4	N 79°56'23" E	6.18'
L5	N 55°57'28" E	14.32'
L6	N 51°11'35" E	14.36'
L7	N 46°46'04" E	14.30'
L8	N 42°36'56" E	14.35'
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L10	N 34°40'26" E	14.48'
L11	N 26°41'07" E	14.25'
L12	N 16°34'48" E	9.95'
L13	N 20°21'29" W	12.13'
L14	N 00°02'09" E	13.29'
L15	N 01°44'36" E	4.83'
L16	N 01°20'49" E	13.30'
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L18	N 26°50'30" E	12.77'
L19	N 60°31'40" E	12.92'
L20	N 43°57'37" E	13.37'
L21	N 43°06'10" E	11.45'
L22	N 59°10'22" E	13.90'
L23	N 64°48'49" E	14.05'
L24	N 56°20'15" E	10.39'
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L35	N 28°17'05" E	11.86'
L36	N 54°54'54" E	12.64'
L37	N 59°37'06" E	3.78'

- LEGEND**
- R.B.F. = REBAR FOUND
  - I.P.S. = IRON PIN SET WITH CAP STAMPED "ALCOVY"
  - C.M.F. = CONCRETE FOUND
  - O.P.P. = OPEN TOP PIPE
  - C.P.P. = CHIMNEY TOP PIPE
  - R/W = RIGHT OF WAY
  - P.L. = PROPERTY LINE
  - C.L. = CENTER LINE
  - B.S.L. = BUILDING SETBACK LINE
  - L.L. = LAND LOT
  - L.L.L. = LAND LOT LINE
  - G.M.D. = GEORGIA METRO DISTRICT
  - T.B.M. = TEMPORARY BENCH MARK
  - R. = RADIUS
  - CH. = CHORD
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  - N/O = NOW OR FORMERLY
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  - F.F.E. = FINISHED FLOOR ELEVATION
  - M. = MANHOLE
  - D.I. = DRAIN INLET
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  - L.P. = LIGHT POLE
  - P.P. = POWER POLE
  - P.L. = POWER LINE
  - W.L. = WATER LINE
  - G.L. = GAS LINE
  - V. = VALVE
  - W. = WELL

TOMMY LEE FULLER DRIVE ~ 100' R/W



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www.Georgia811.com



**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

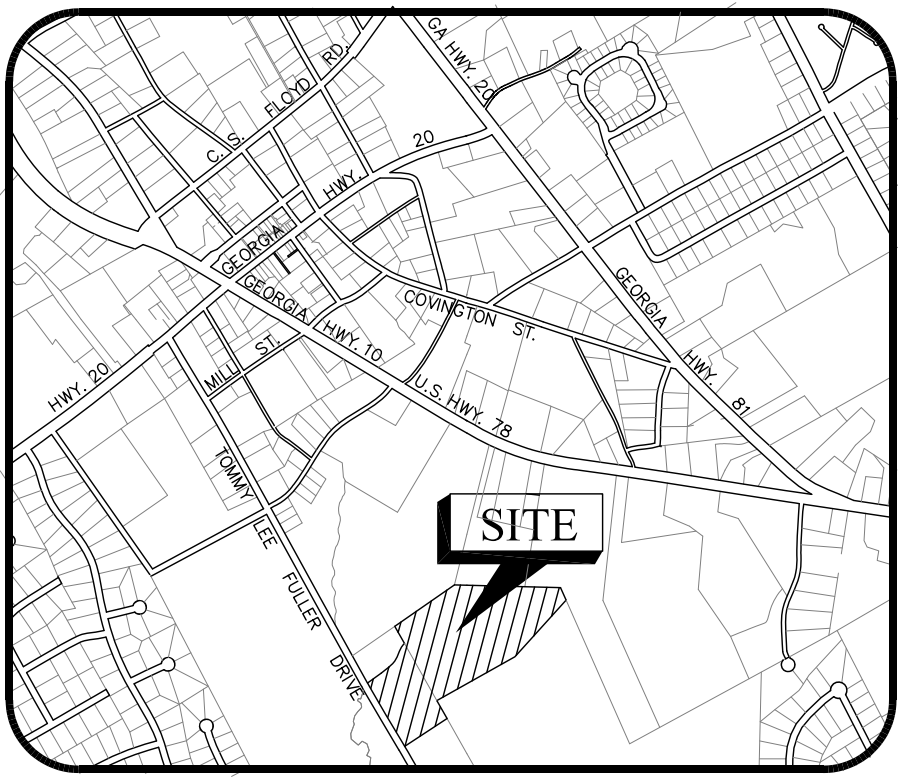
Job No. 21-014

C-1.2A

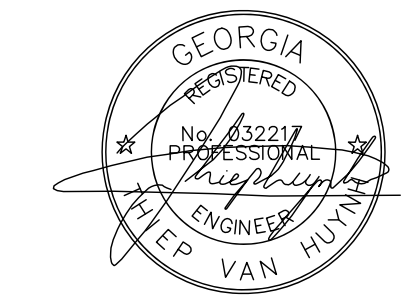
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VICINITY MAP  
 N.T.S.



**SITE PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

**OWNER/PERMITTEE**  
 LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
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**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-1.2B**

TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.63 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

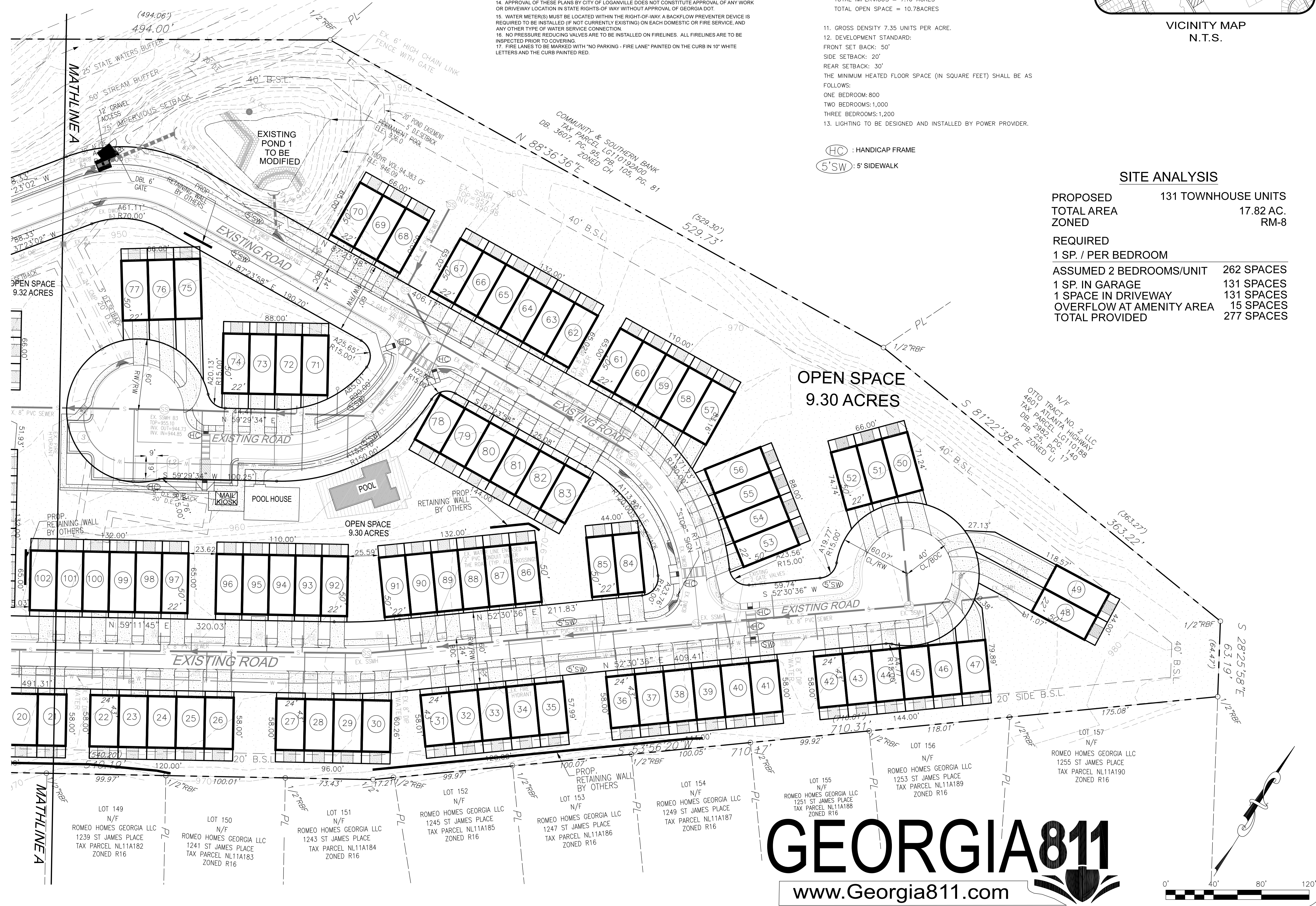
- SITE PLAN NOTES**
- ALL WORK AND MATERIALS SHALL COMPLY WITH ALL CITY OF LOGANVILLE REGULATIONS AND CODES AND O.S.H.A. STANDARDS.
  - CONTRACTOR SHALL REFER TO THE ARCHITECTURAL PLANS FOR EXACT LOCATIONS AND DIMENSIONS OF SIDEWALKS, PRECISE DIMENSIONS AND EXACT BUILDING UTILITY ENTRANCE LOCATIONS.
  - ALL DISTURBED AREAS ARE TO RECEIVE SEED, MULCH AND WATER UNTIL A HEALTHY STAND OF GRASS IS ESTABLISHED.
  - THERE ARE EXISTING STRUCTURES TO BE REMOVED. CONTACT ENGINEER IF ANY STRUCTURES ARE FOUND NOT SHOWN ON THESE PLANS.
  - CONTRACTOR SHALL BE RESPONSIBLE FOR ALL RELOCATIONS, INCLUDING BUT NOT LIMITED TO, ALL UTILITIES, STORM DRAINAGE, SIGNS, TRAFFIC SIGNALS & POLES, ETC. AS REQUIRED. ALL WORK SHALL BE IN ACCORDANCE WITH GOVERNING AUTHORITIES SPECIFICATIONS AND SHALL BE APPROVED BY SUCH. ALL COST SHALL BE INCLUDED IN BASE BID.
  - SITE IS CURRENTLY ZONED RM-8.
  - SITE HAS NO EXISTING OR PREVIOUSLY EXISTING LANDFILLS AND NO PROPOSED ON-SITE BURIAL PITS.
  - THERE ARE NO CEMETERIES LOCATED ON THE SITE.
  - BOUNDARY AND TOPOGRAPHIC INFORMATION TAKEN FROM GROUND RUN TOPO BY VON IFFER AND MCGEE, INC.
  - WATER & SEWER SERVICES PROVIDED BY CITY OF LOGANVILLE.
  - HANDICAP RAMPS REQUIRED AT ALL SIDEWALK CROSSINGS.
  - THE OWNER SHALL BE RESPONSIBLE FOR MAINTENANCE OF STORM WATER MANAGEMENT SYSTEM OUTSIDE OF THE RIGHT-OF-WAY INCLUDING DETENTION AND WATER QUALITY FACILITIES, LAKES, STORM DRAINS, AND/OR WATER COURSES.
  - NECESSARY BARRICADES, SUFFICIENT LIGHTS, SIGNS AND OTHER TRAFFIC CONTROL METHODS AS MAY BE NECESSARY FOR THE PROTECTION AND SAFETY OF THE PUBLIC SHALL BE PROVIDED AND MAINTAINED THROUGHOUT THE WIDENING OF AND CONSTRUCTION ON ROADS IN CITY OF LOGANVILLE.
  - APPROVAL OF THESE PLANS BY CITY OF LOGANVILLE DOES NOT CONSTITUTE APPROVAL OF ANY WORK OR DRIVEWAY LOCATION IN STATE RIGHTS-OF-WAY WITHOUT APPROVAL OF GEORGIA DOT.
  - WATER METER(S) MUST BE LOCATED WITHIN THE RIGHT-OF-WAY. A BACKFLOW PREVENTER DEVICE IS REQUIRED TO BE INSTALLED (IF NOT CURRENTLY EXISTING) ON EACH DOMESTIC OR FIRE SERVICE, AND ANY OTHER TYPE OF WATER SERVICE CONNECTION.
  - NO PRESSURE REDUCING VALVES ARE TO BE INSTALLED ON FIRELINES. ALL FIRELINES ARE TO BE INSPECTED PRIOR TO COVERING.
  - FIRE LANES TO BE MARKED WITH "NO PARKING - FIRE LANE" PAINTED ON THE CURB IN 10' WHITE LETTERS AND THE CURB PAINTED RED.

- NOTES:**
- BOUNDARY AND TOPOGRAPHIC INFORMATION FROM A SURVEY BY VON IFFER & MCGEE, INC.
  - THERE ARE NO NWI WETLAND WITHIN THE PROJECT WORK AREA.
  - NO PORTION OF THIS PROPERTY IS IN A DESIGNATED FLOOD HAZARD AREA PER F.I.R.M. PANEL 132970085E DATED DEC. 8, 2016. LIMIT SHOWN.
  - THE PROJECT WILL BE SERVED BY CITY OF LOGANVILLE WATER.
  - THE PROJECT WILL BE SERVED BY CITY OF LOGANVILLE SEWER SYSTEM.
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  - TOTAL SITE AREA = 17.82 ± ACRES  
 IMPERVIOUS IN 131 TOWNHOUSE UNITS = 7.04 ACRES  
 IMPERVIOUS IN OPEN SPACE = 0.12 ACRES  
 TOTAL IMPERVIOUS = 7.16 ACRES  
 TOTAL OPEN SPACE = 10.78 ACRES
  - GROSS DENSITY 7.35 UNITS PER ACRE.
  - DEVELOPMENT STANDARD:  
 FRONT SETBACK: 50'  
 SIDE SETBACK: 20'  
 REAR SETBACK: 30'  
 THE MINIMUM HEATED FLOOR SPACE (IN SQUARE FEET) SHALL BE AS FOLLOWS:  
 ONE BEDROOM: 800  
 TWO BEDROOMS: 1,000  
 THREE BEDROOMS: 1,200
  - LIGHTING TO BE DESIGNED AND INSTALLED BY POWER PROVIDER.

(HC) : HANDICAP FRAME  
 (S'SW) : 5' SIDEWALK

**SITE ANALYSIS**

PROPOSED	131 TOWNHOUSE UNITS
TOTAL AREA	17.82 AC.
ZONED	RM-8
<b>REQUIRED</b>	
1 SP. / PER BEDROOM	
ASSUMED 2 BEDROOMS/UNIT	262 SPACES
1 SP. IN GARAGE	131 SPACES
1 SPACE IN DRIVEWAY	15 SPACES
OVERFLOW AT AMENITY AREA	15 SPACES
TOTAL PROVIDED	277 SPACES



- LEGEND**
- R.B.F. = REBAR FOUND
  - I.P.S. = IRON PIN SET WITH CAP
  - C.M.F. = CONCRETE MONUMENT FOUND
  - O.T.P. = OPEN TOP PIPE
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  - B.S.L. = BUILDING SETBACK LINE
  - L.L. = LAND LOT LINE
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  - T.S.M. = TEMPORARY BENCH MARK
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  - TAN. = TANGENT
  - N.O.F. = NOW OR FORMERLY
  - N.B. = NEEDED BOOK
  - P.B. = PLAT BOOK
  - R.S. = RANGE
  - D.E. = DRAINAGE EASEMENT
  - S.S.E. = SANITARY SEWER EASEMENT
  - F.F.E. = FINISHED FLOOR ELEVATION
  - MANHOLE
  - DRAIN INLET
  - FIRE HYDRANT
  - LIGHT POLE
  - POWER POLE
  - FENCE LINE
  - WATER LINE
  - GAS LINE
  - VALVE
  - WELL
- (DISTANCE) = DEED OR PLAT CALL  
 P.O.C. = POINT OF COMMENCEMENT  
 P.O.B. = POINT OF BEGINNING

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**REQUIRED OPEN SPACE**

FRONTAGE:  
 10' LANDSCAPE STRIP REQUIRED ALONG 3,366.16' OF FRONTAGE.  
 LESS 38.00' FOR ACCESS DRIVEWAY.  
 = 409.47 X 10' = 4,094.7 SF  
 PERIMETER:  
 5' LANDSCAPE STRIP REQUIRED ALONG 1,6487.87' OF SIDE PROP. LINE.  
 AND NONE PUBLIC R/W.  
 = 3,746.17' \* 5' = 18,730.85 SF

TOTAL OPEN SPACE REQUIRED = 22,825.55 SF

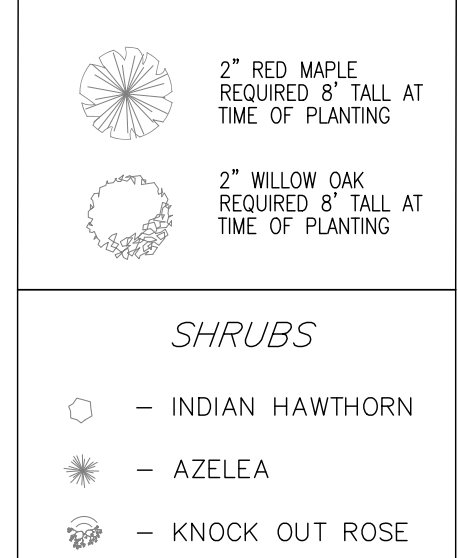
TOTAL TREES REQUIRED = 22,825.55 SF / 500 TREE/SF= 46 TREES

PROPOSED = 6 RED MAPLE  
 PROPOSED = 40 WILLOW OAK  
 TOTAL TREES PROVIDED = 46 TREES

**PLANT LIST**

QTY.	COMMON NAME	SIZE	SPACING
40	WILLOW OAK	8' TALL AT TIME OF PLANTING	AS SHOWN
6	RED MAPLE	8' TALL AT TIME OF PLANTING	AS SHOWN

**TREE LEGEND**



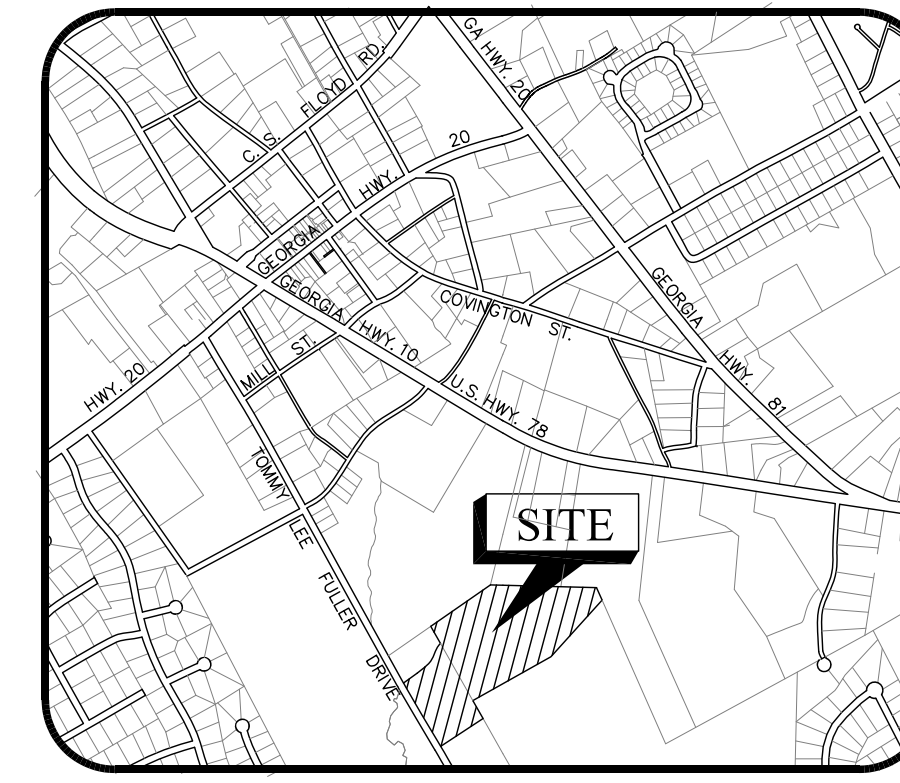
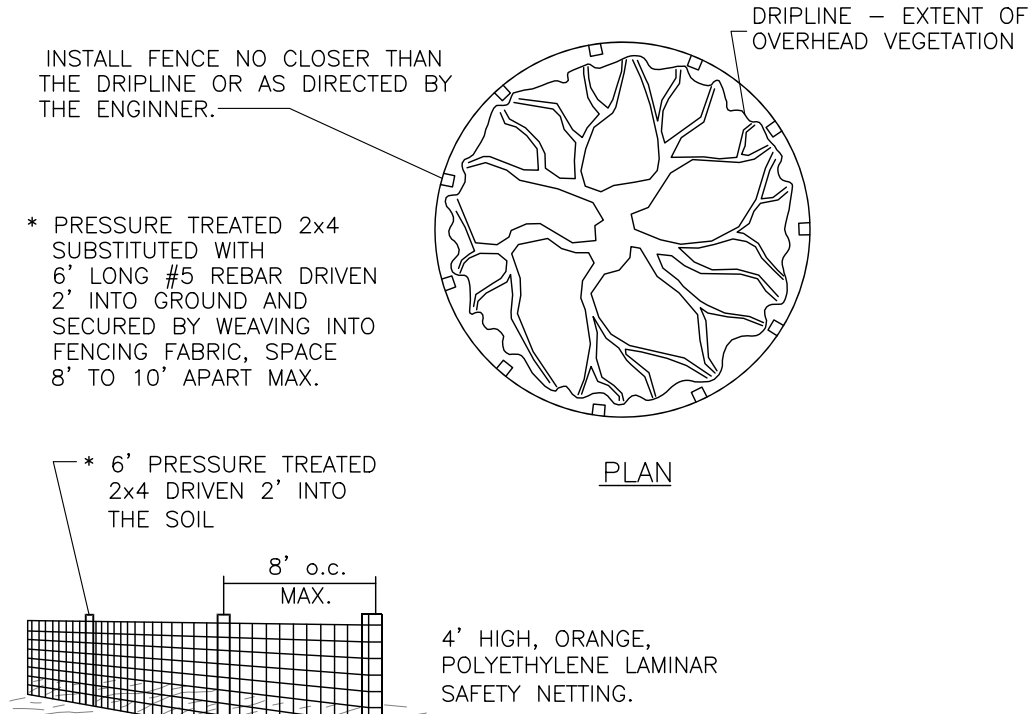
PROPOSED TREES ARE NOT TO SCALE

- NOTE:  
 1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.  
 2. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.  
 3. ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.  
 4. NO PARKING, STORAGE, OR OTHER CONSTRUCTION SITE ACTIVITIES ARE TO OCCUR WITHIN TREE PROTECTION AREAS.  
 5. ALL REQUIRED VEGETATION MUST BE MAINTAINED FOR ONE YEAR AFTER THE DATE OF ISSUANCE OF THE CERTIFICATE OF OCCUPANCY.

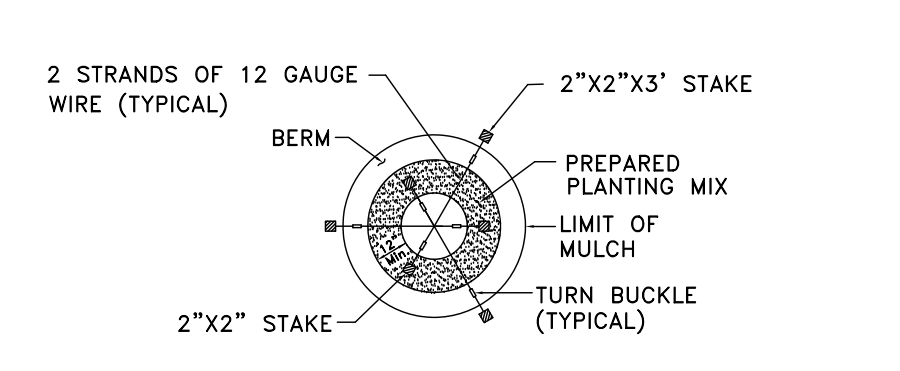
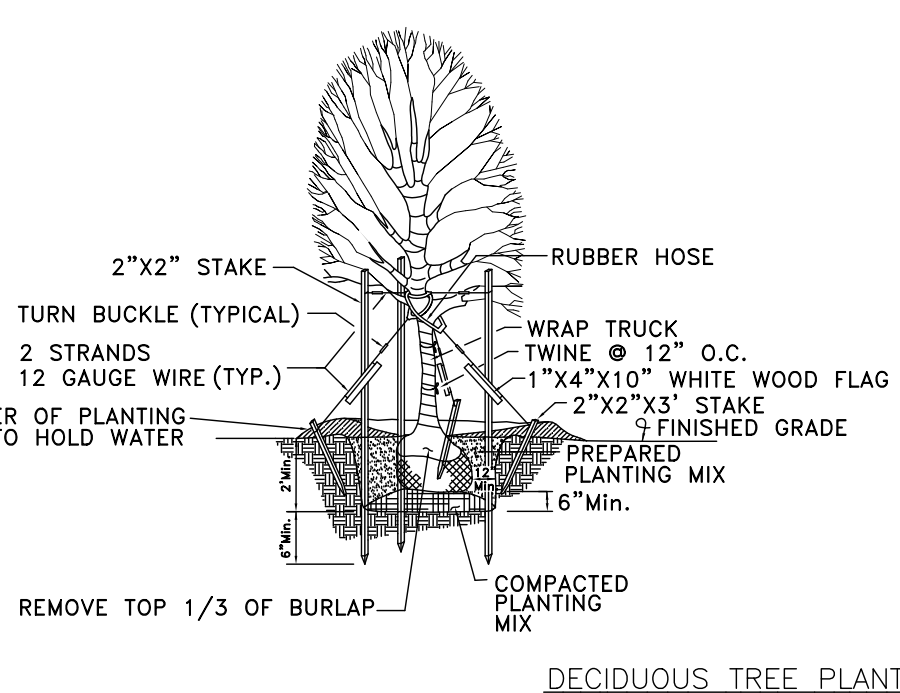
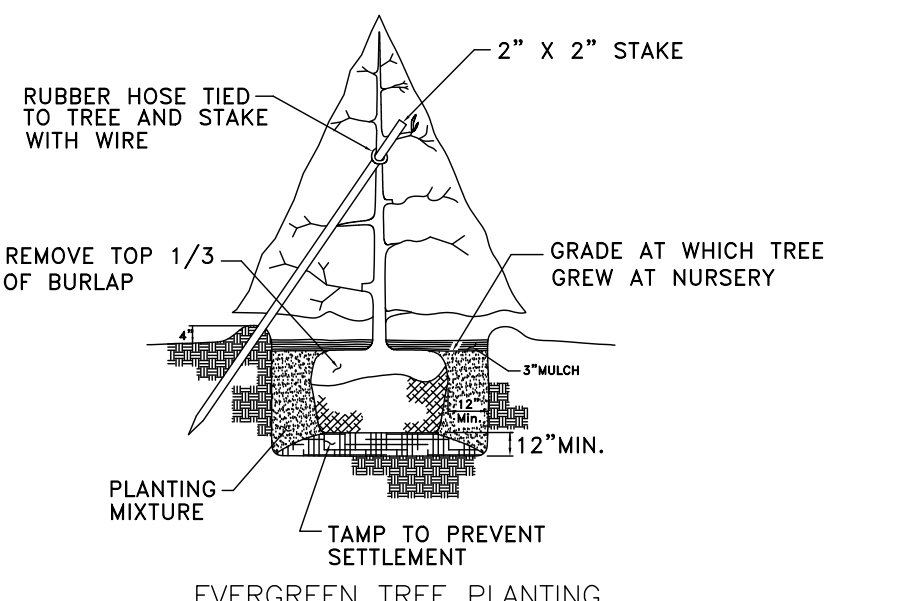
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L37	N 59°37'06" E	3.78'

TOMMY LEE FULLER DRIVE ~ 100' R/W



VICINITY MAP N.T.S.



- NOTES  
 1. MULCH WITH 3" OF CLEAN PINE STRAW.  
 2. TREES EIGHT FEET HIGH (8') OR LESS SHALL BE STAKED.  
 3. TREES TALLER THAN EIGHT FEET (8') SHALL BE GUYED.

**A.C.E.**  
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**LANDSCAPE/ TREE PROTECTION PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
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**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-1.3A**

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NOTE:  
 1. ALL TREE PROTECTION AREAS TO BE PROTECTED FROM SEDIMENTATION.  
 2. ALL TREE PROTECTION FENCING TO BE INSPECTED DAILY AND REPLACED OR REPAIRED AS NEEDED.  
 3. ALL TREE PROTECTION DEVICES ARE TO BE INSTALLED PRIOR TO THE START OF LAND DISTURBANCE AND MAINTAINED UNTIL FINAL LANDSCAPING IS INSTALLED.  
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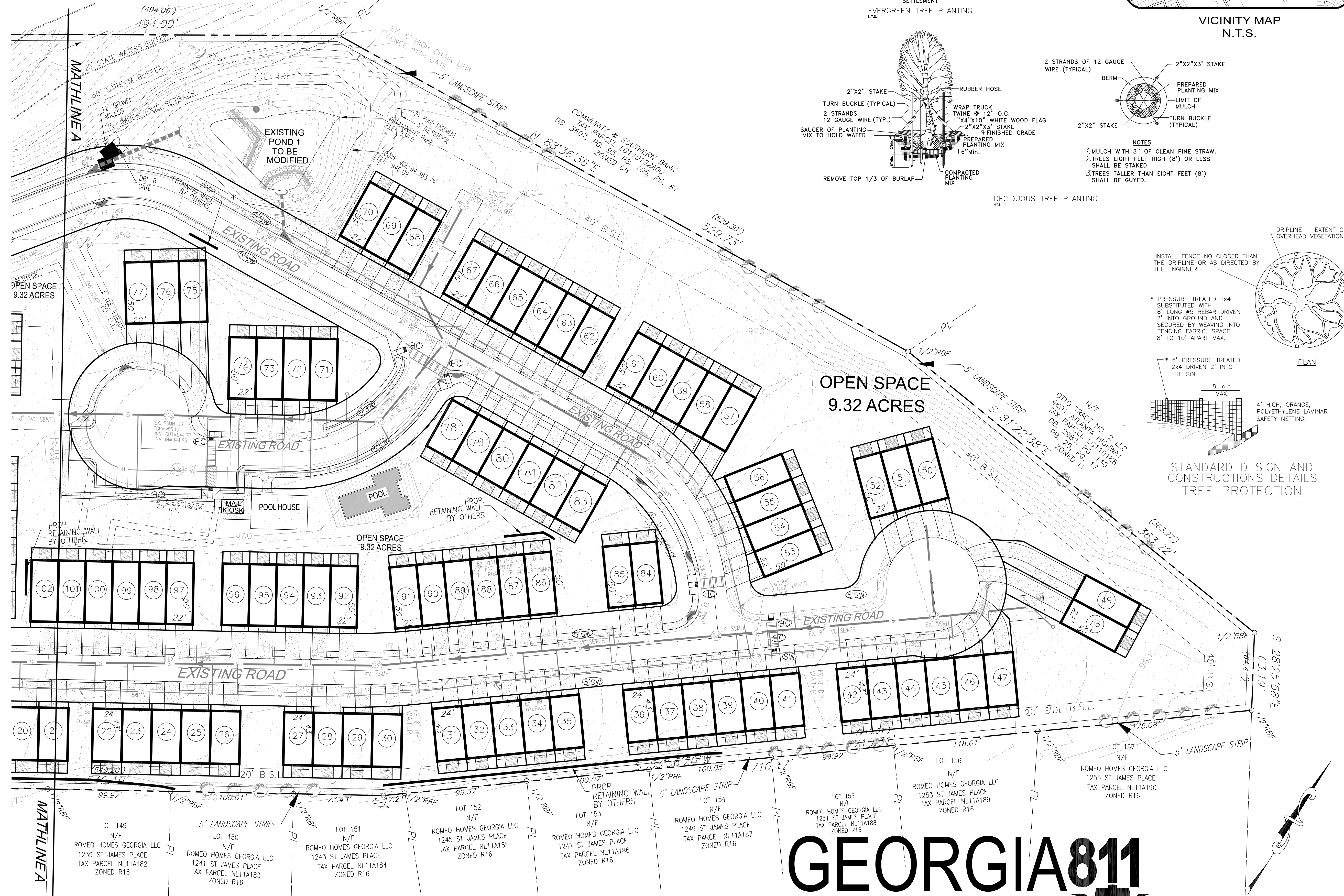
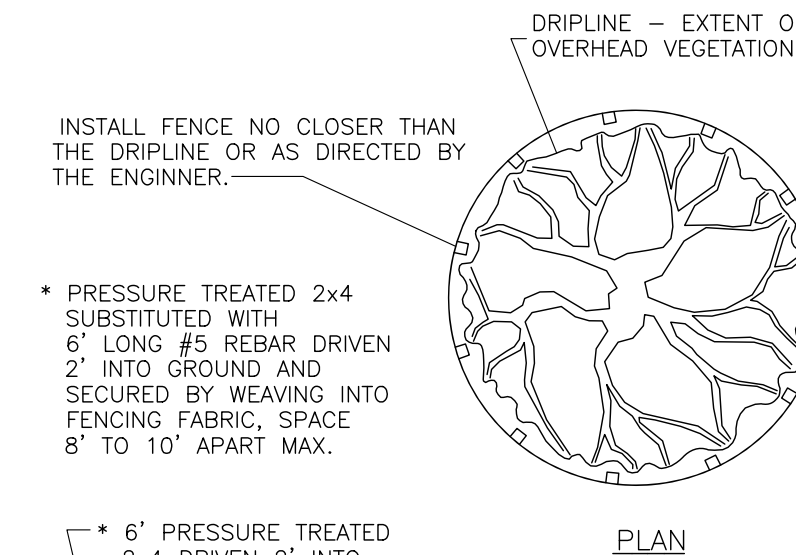
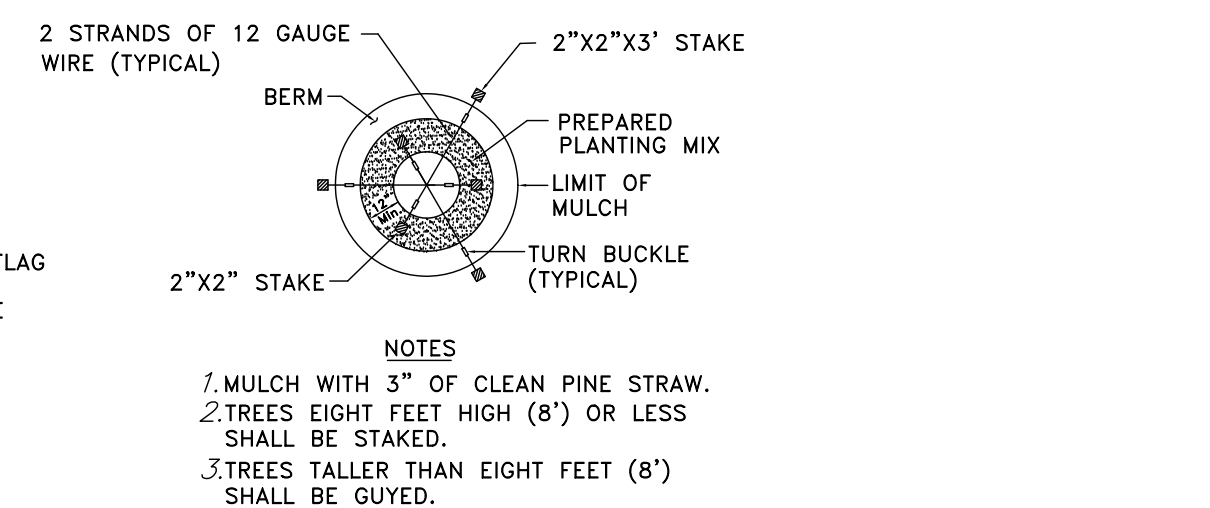
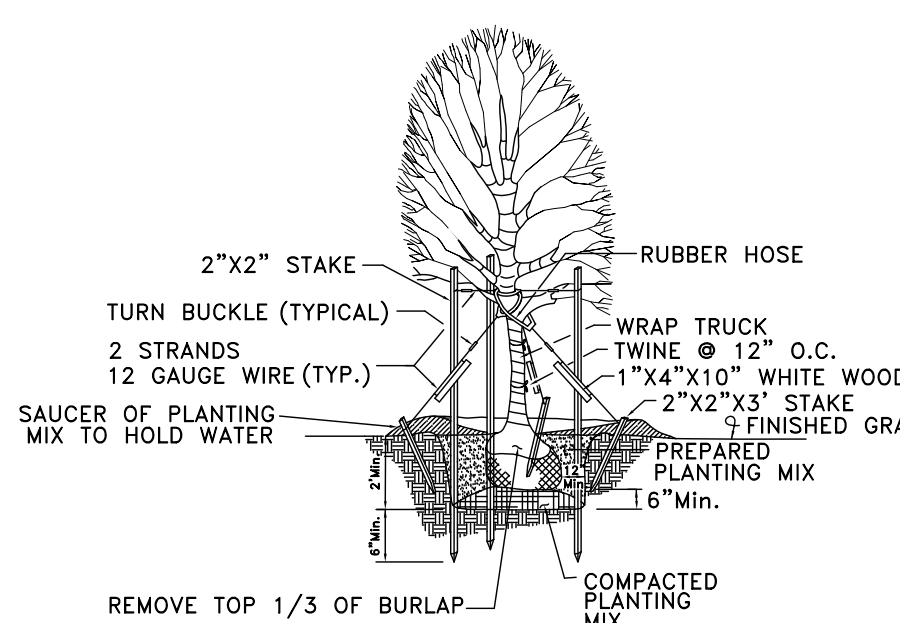
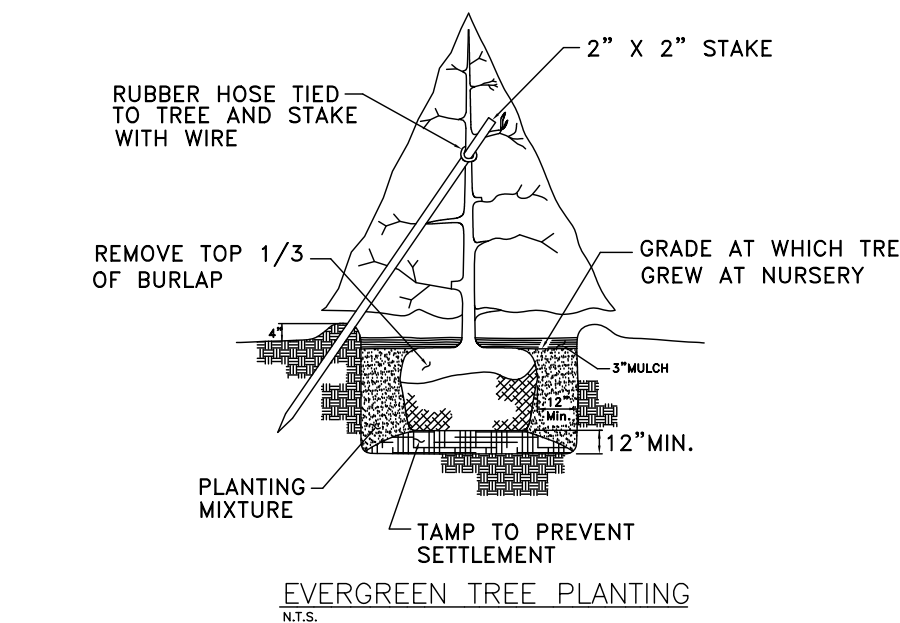
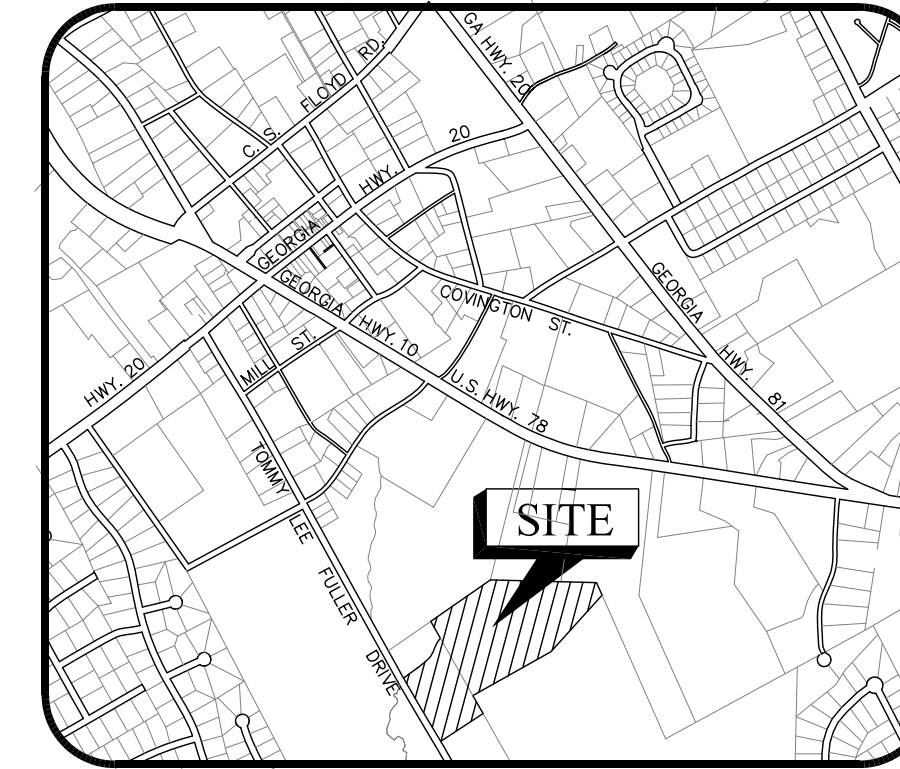
PLANT LIST

QTY.	COMMON NAME	SIZE	SPACING
6	WILLOW OAK	8' TALL AT TIME OF PLANTING	AS SHOWN
40	RED MAPLE	8' TALL AT TIME OF PLANTING	AS SHOWN



**REQUIRED OPEN SPACE**

FRONTAGE:  
 10' LANDSCAPE STRIP REQUIRED ALONG 3,366.16' OF FRONTAGE.  
 LESS 38.00' FOR ACCESS DRIVEWAY.  
 = 409.47 X 10' = 4,094.7 SF  
 PERIMETER:  
 5' LANDSCAPE STRIP REQUIRED ALONG 1,648.87' OF SIDE PROP. LINE.  
 AND NONE PUBLIC R/W.  
 = 3,746.17' \* 5' = 18,730.85 SF  
 TOTAL OPEN SPACE REQUIRED = 22,825.55 SF  
 TOTAL TREES REQUIRED = 22,825.55 SF / 500 TREE/SF = 46 TREES  
 PROPOSED = 6 RED MAPLE  
 PROPOSED = 40 WILLOW OAK  
 TOTAL TREES PROVIDED = 46 TREES



**A.C.E.**  
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**LANDSCAPE/ TREE PROTECTION PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

OWNER/PERMITTEE  
 LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
 STEVE ALLEN  
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REVISIONS

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
 C-1.3B

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GENERAL EARTHWORK AND DRAINAGE NOTES:

- CONTOUR INTERVALS ARE 2 FOOT.
- ALL EARTHWORK OPERATIONS SHALL COMPLY WITH REQUIREMENTS OF OSHA CONSTRUCTION STANDARDS, PART 1926, SUBPART P, EXCAVATIONS, TRENCHING, AND SHORING, AND SUBPART O, MOTOR VEHICLES, MECHANIZED EQUIPMENT, AND MARINE OPERATIONS, AND SHALL BE CONDUCTED IN A MANNER ACCEPTABLE TO ENGINEER.
- FILL MATERIALS SHALL CONSIST OF CLEAN SOIL, FREE OF ORGANIC OR DELETERIOUS MATERIALS, ROCKS, OR BROKEN PIECES OF CONCRETE LARGER THAN THREE INCHES IN SIZE, OR OF ANY OTHER FOREIGN OBJECTS THAT COULD IMPEDE COMPACTION RESULTS.
- FILL MATERIALS SHALL BE SPREAD EVENLY IN HORIZONTAL LAYERS OF NOT MORE THAN 8 INCHES IN LOOSE LIFTS OVER THE FULL WIDTH OF FILL AND COMPACTED TO AT LEAST 95% MAXIMUM DRY DENSITY BY STANDARD PROCTOR COMPACTION TEST ASTM D698 UNLESS OTHERWISE NOTED.
- MAXIMUM CUT OR FILL SLOPES ARE 2:1H:1V.
- GRADE ALL HANDICAP RAMPS 1:21 SLOPE TO TOP OF CURB
- GRADE TO PROVIDE POSITIVE DRAINAGE AWAY FROM BUILDINGS INTO STORM INLETS. CITY OF LOGANVILLE ASSUMES NO RESPONSIBILITY FOR OVERFLOW OR EROSION OF NATURAL OR ARTIFICIAL DRAINS BEYOND THE EXTENT OF THE STREET RIGHT-OF-WAY, OR FOR THE EXTENSION OF CULVERTS BEYOND THE POINT SHOWN ON THE APPROVED AND RECORDED PLAN. CITY OF LOGANVILLE DOES NOT ASSUME THE RESPONSIBILITY FOR THE MAINTENANCE OF PIPES IN DRAINAGE EASEMENTS BEYOND THE ROAD RIGHT-OF-WAY.
- 24-HOUR NOTICE ON ALL INSPECTION.
- ALL STORM SEWER MANHOLES WILL HAVE JOINTS AND INVERTS GROUTED.
- ALL EXISTING STORM SEWER LINES PRIOR TO CONSTRUCTION AND LAND DISTURBANCE IS TO BE LOCATED AND IDENTIFIED.
- AT COMPLETION OF DEVELOPMENT AND STABILIZATION, SILT FENCING WILL NEED TO BE REMOVED BY CONTRACTOR.
- LETTER SUBMITTED TO THE CITY OF LOGANVILLE PLANNING AND DEVELOPMENT OFFICE AND SCHEDULE AN INITIAL PERIMETER BMP INSPECTION BEFORE ANY EARTH MOVING OR CLEARING IS TO BE DONE.
- A 24 HOUR NOTICE SCHEDULED THROUGH THE PLANNING AND DEVELOPMENT OFFICE FOR ALL INSPECTION.

NOTE:

- THE ESCAPE OF SEDIMENT FROM THE SITE SHALL BE PREVENTED BY THE INSTALLATION OF EROSION AND SEDIMENT CONTROL MEASURES AND PRACTICES PRIOR TO, OR CONCURRENT WITH, LAND DISTURBING ACTIVITIES.
- EROSION CONTROL MEASURES WILL BE MAINTAINED AT ALL TIMES. IF FULL IMPLEMENTATION OF THE APPROVED PLAN DOES NOT PROVIDE FOR EFFECTIVE EROSION CONTROL, ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES SHALL BE IMPLEMENTED TO CONTROL OR TREAT THE SEDIMENT SOURCE.

NOTE:

RUNOFF REDUCTION APPROVAL OR WAIVER APPROVAL OBTAIN BEFORE FINAL PLAT.

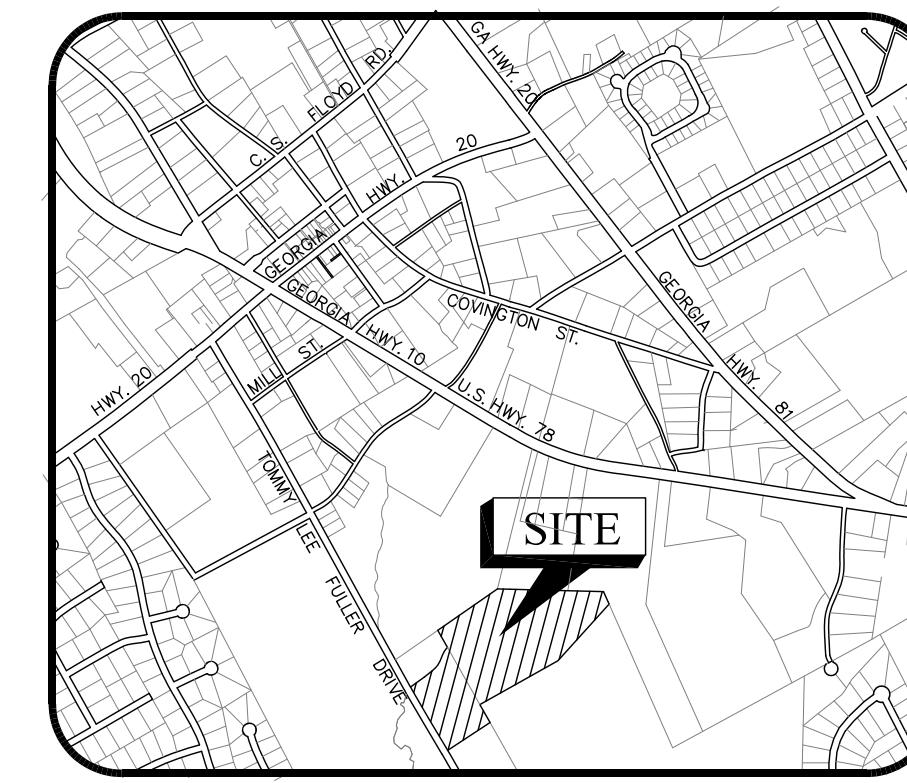
TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.82 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

CREEK CALLS FROM POINT "A" TO POINT "B"

Course	Bearing	Distance
L1	N 09°24'52" E	14.08'
L2	N 23°57'05" E	19.96'
L3	N 83°09'32" E	12.84'
L4	N 79°56'23" E	6.18'
L5	N 55°57'28" E	14.32'
L6	N 51°11'35" E	14.36'
L7	N 46°46'04" E	14.38'
L8	N 42°36'56" E	14.35'
L9	N 39°04'22" E	17.58'
L10	N 34°40'26" E	14.48'
L11	N 26°41'07" E	14.25'
L12	N 16°34'46" E	9.95'
L13	N 20°21'29" W	12.13'
L14	N 00°02'09" E	13.29'
L15	N 01°44'36" E	4.83'
L16	N 01°20'48" E	13.30'
L17	N 02°31'13" E	8.36'
L18	N 26°50'30" E	12.77'
L19	N 60°31'40" E	12.92'
L20	N 43°57'37" E	13.37'
L21	N 43°06'10" E	11.49'
L22	N 59°10'22" E	13.90'
L23	N 64°48'49" E	14.05'
L24	N 56°20'15" E	10.39'
L25	N 20°15'42" E	13.35'
L26	N 2°05'07" E	8.26'
L27	N 66°16'50" E	13.64'
L28	N 71°07'52" E	13.84'
L29	N 42°28'35" E	16.63'
L30	N 18°35'59" E	6.45'
L31	N 15°12'35" W	12.97'
L32	N 08°38'26" W	5.52'
L33	N 09°16'53" E	14.13'
L34	N 17°12'53" E	14.13'
L35	N 28°17'05" E	11.86'
L36	N 54°54'54" E	12.64'
L37	N 59°37'06" E	3.78'

LEGEND

- STORM PIPE
- STRUCTURE NUMBER
- JUNCTION BOX
- HEADWALL
- OUTLET CONTROL STRUCTURE
- DOUBLE WING CATCH BASIN
- SINGLE WING CATCH BASIN
- PROPOSED ELEVATION ON PAVEMENT



VICINITY MAP N.T.S.

GRADING PLAN KEYED NOTES

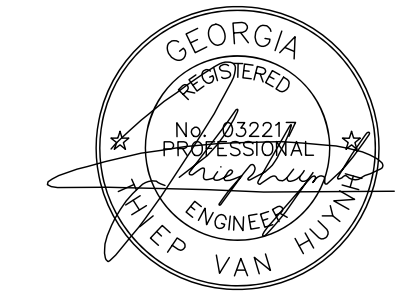
- EXISTING PAVEMENT TO BE CUT AND PATCHED.

A.C.E. ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, LLC.

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GRADING PLAN

LOGAN MIAMI TOWNHOUSES

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021

SCALE: 1"=40'

OWNER/PERMITTEE

LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

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REVISIONS

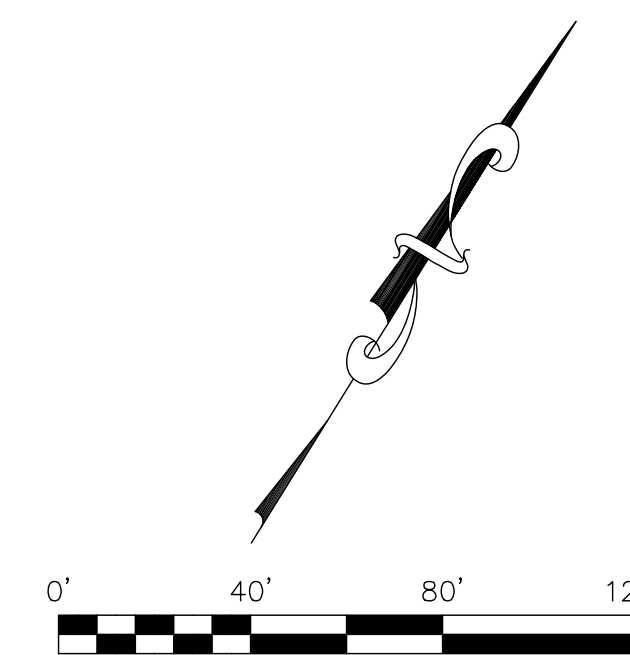
NO.	DATE	DESCRIPTION
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6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014

C-2.1A

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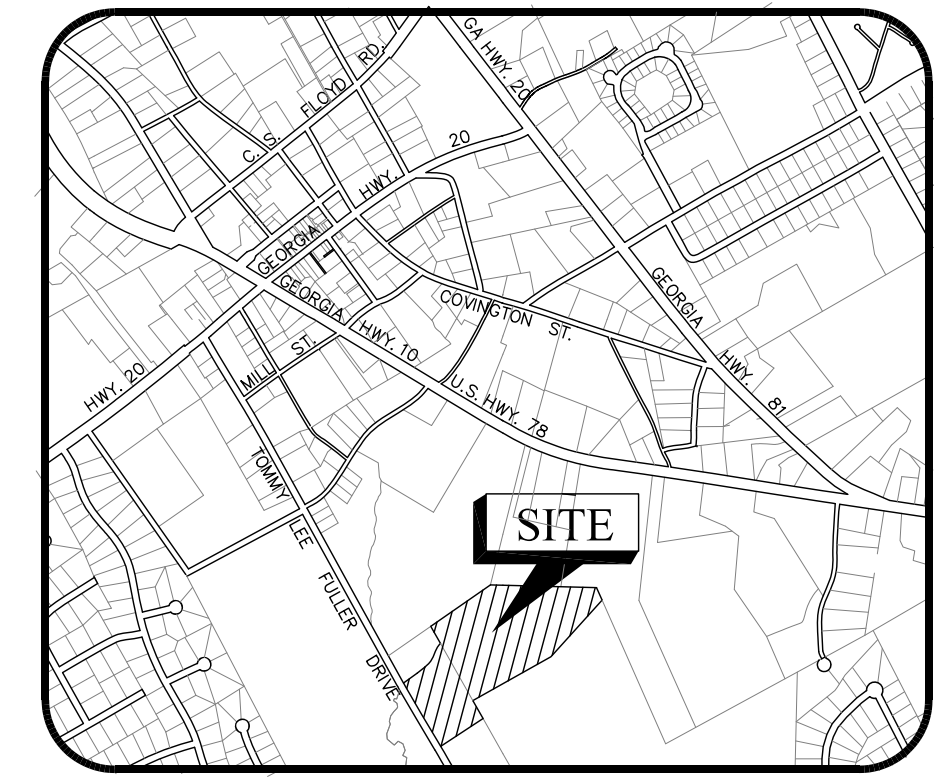


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THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

**NOTE:**  
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GENERAL EARTHWORK AND DRAINAGE NOTES:

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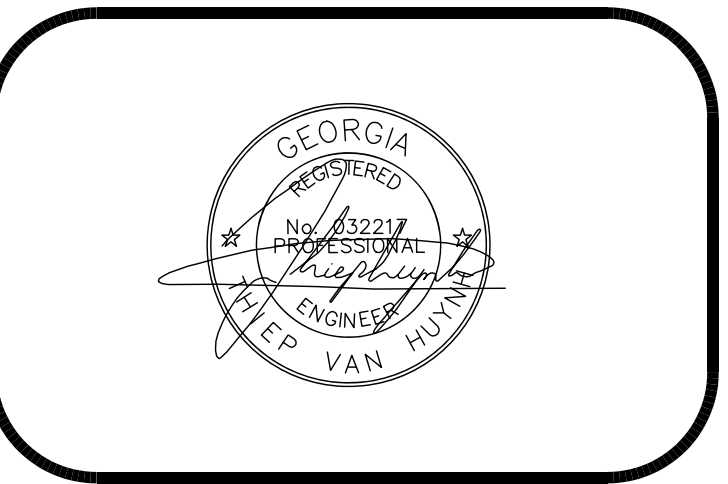


VICINITY MAP N.T.S.

**A.C.E.**  
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GRADING PLAN

LOGAN MIAMI TOWNHOUSES

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

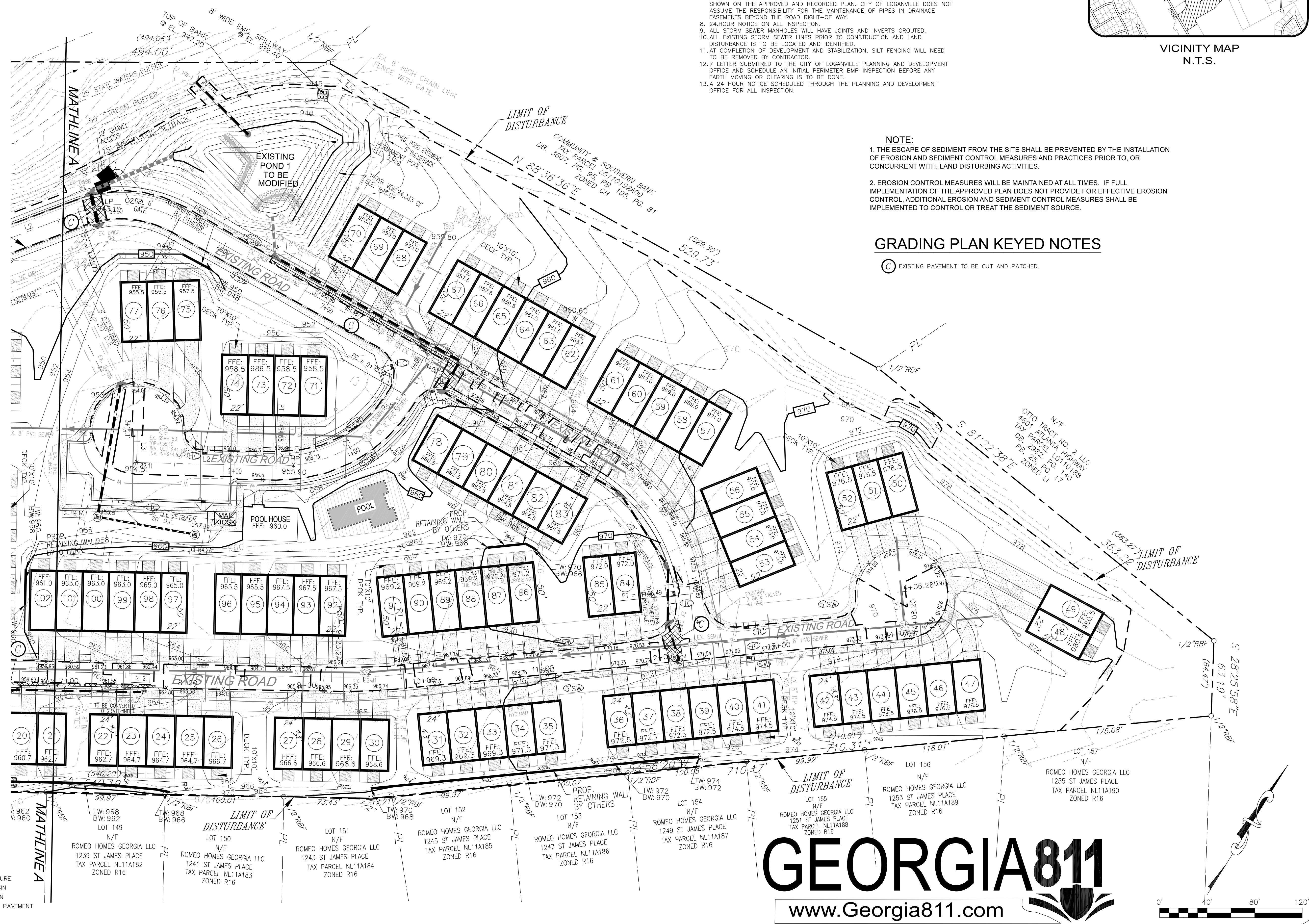
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 LOGAN MIAMI, LLC.  
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 steveallenco@gmail.com

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REVISIONS

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
 C-2.1B



**NOTE:**  
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GRADING PLAN KEYED NOTES

(C) EXISTING PAVEMENT TO BE CUT AND PATCHED.

**LEGEND**

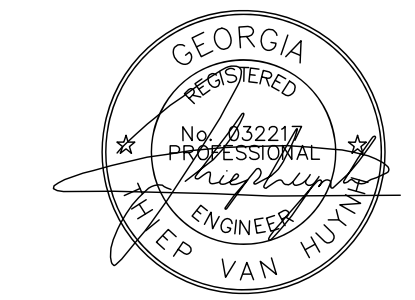
	STORM PIPE
	STRUCTURE NUMBER
	JUNCTION BOX
	HEADWALL
	OUTLET CONTROL STRUCTURE
	DOUBLE WING CATCH BASIN
	SINGLE WING CATCH BASIN
	PROPOSED ELEVATION ON PAVEMENT

**GEORGIA811**  
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**STORM PROFILES**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=50' HORZ.  
 1"=5' VERT.

**OWNER/PERMITTEE**

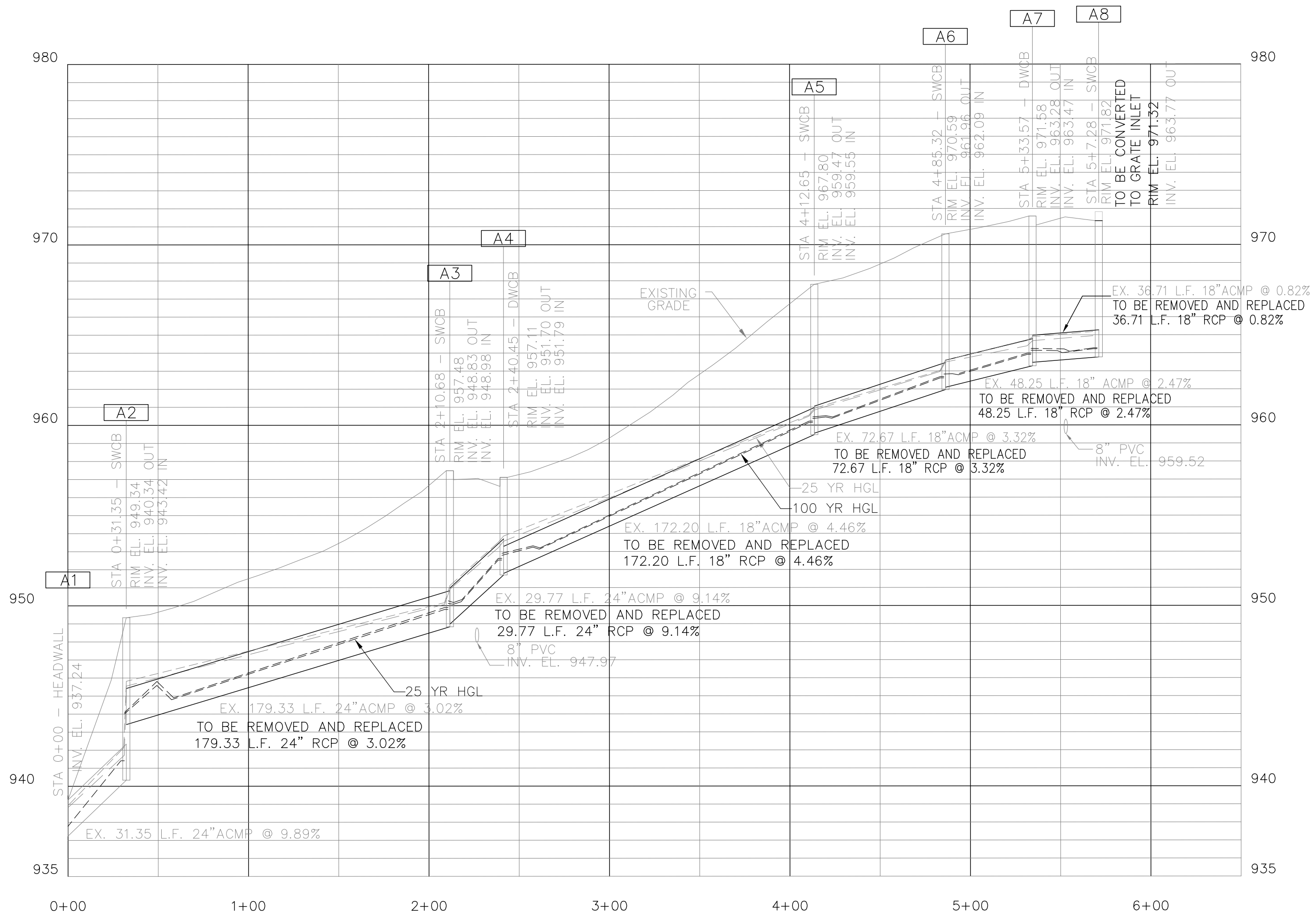
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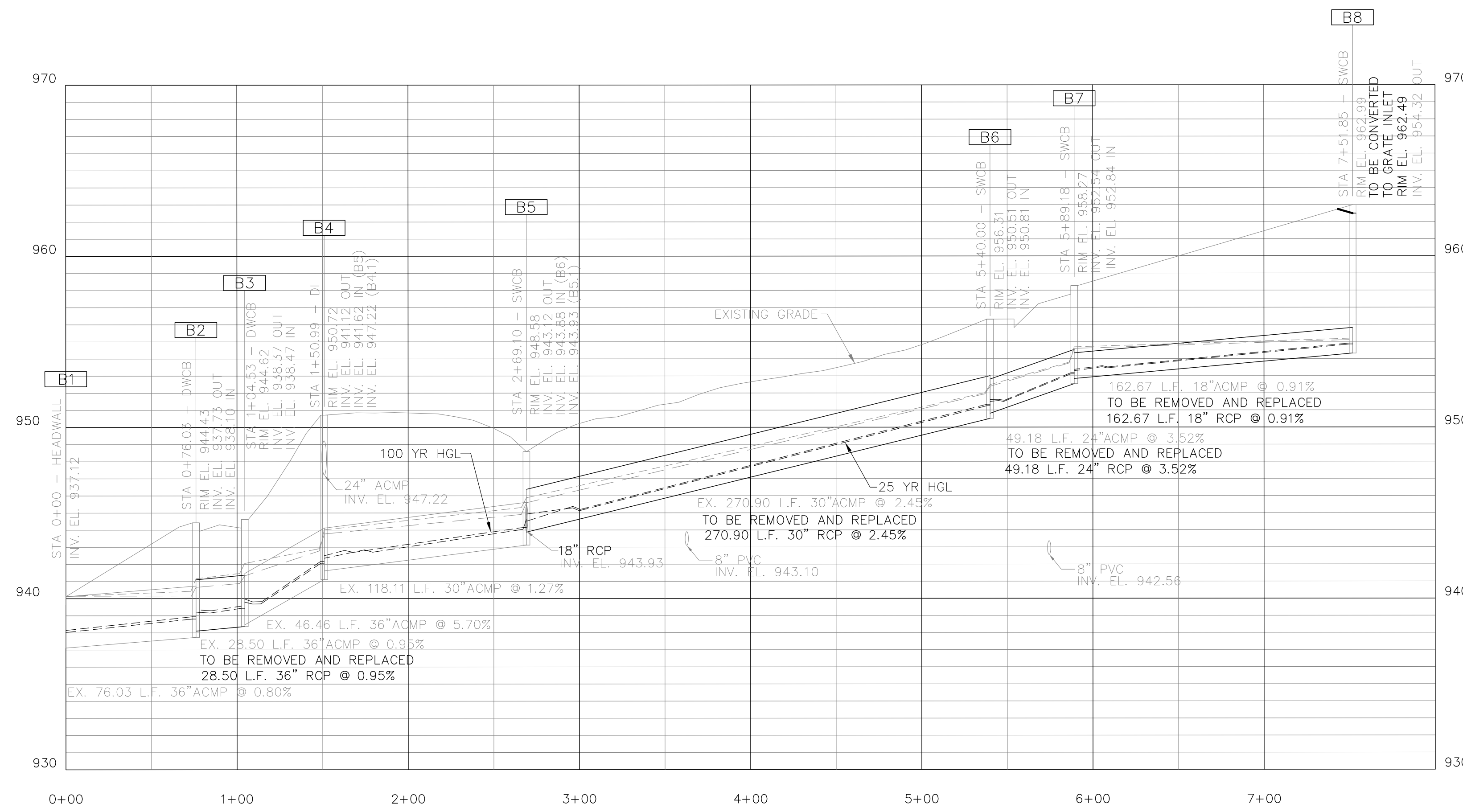
**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
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7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-2.2**



**EXISTING STORMLINE A1-A8**

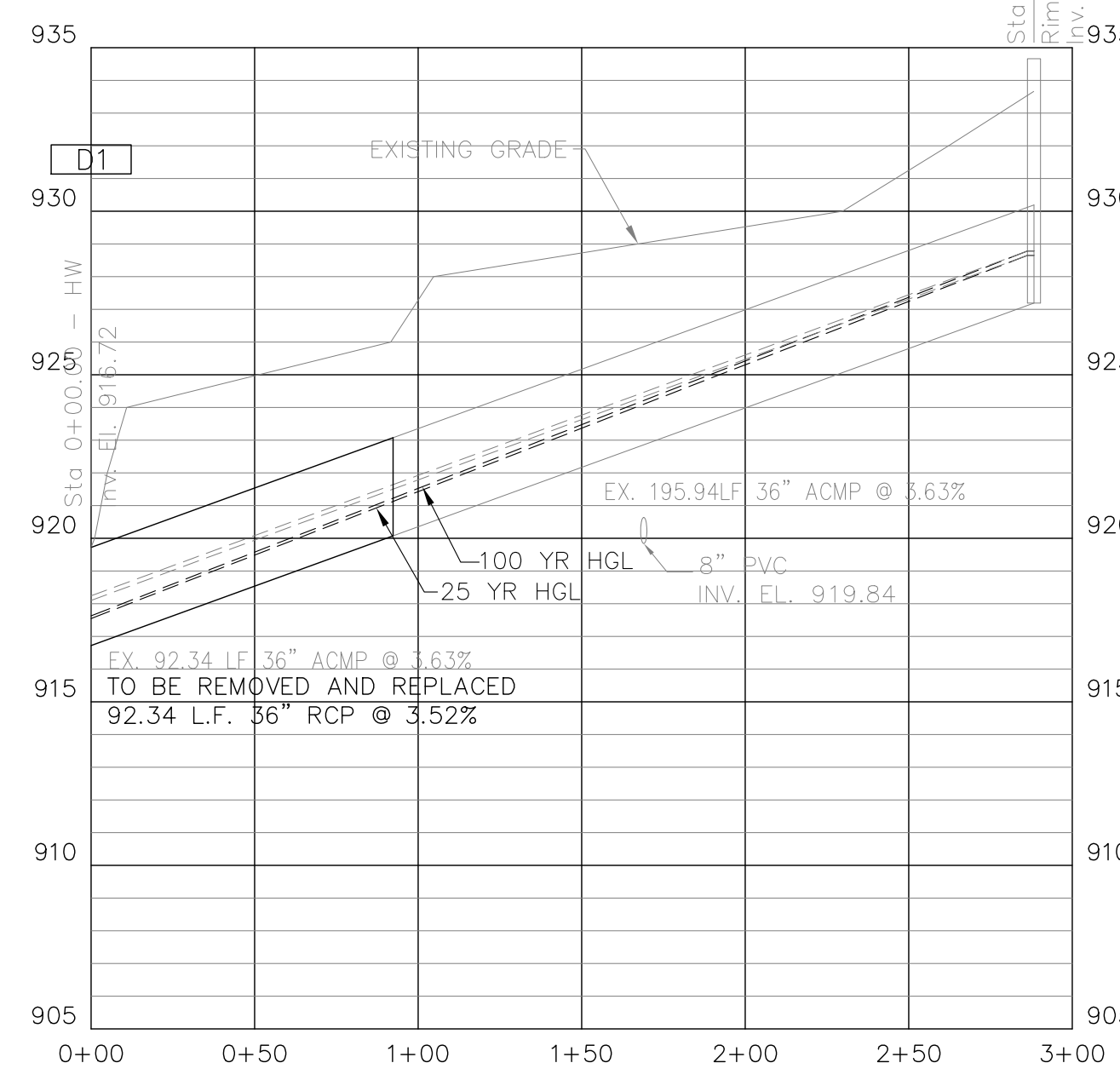


**EXISTING STORMLINE B1-B8**

**PIPE CHART**

STRUCTURE	Length	Size	Slope	InvertDn	InvertUp	RimElev Dn	RimElev Up	HGLDn <sub>2%</sub>	HGLUp <sub>2%</sub>	VelDn	Tc	R.Coeff	D.Area	TotalRunoff	G.Spread 10 <sub>min</sub>	Material
LOWER-UPPER	(ft)	(in)	(%)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft)	(ft/s)	(min)	(C)	(sq)	(cfs)	(ft)	
A1-A2	31.35	24	9.89	937.24	940.34	939.00	949.34	937.78	941.42	13.50	21.80	0.7	0.58	9.29	4.33	ACMP
A2-A3	179.33	24	3.02	943.42	948.83	949.34	957.48	944.02	949.80	9.55	20.60	0.7	0.54	7.50	4.00	RCP
A3-A4	29.77	24	9.14	948.98	951.70	957.48	957.11	950.13	952.54	3.01	20.30	0.7	0.69	5.65	5.51	RCP
A4-A5	172.20	18	4.46	951.79	959.47	957.11	967.80	952.80	960.17	2.63	18.80	1.0	0.04	3.33	1.20	RCP
A5-A6	72.67	18	3.32	959.55	961.96	967.80	970.59	960.38	962.64	3.14	18.10	1.0	0.04	3.17	1.20	RCP
A6-A7	48.25	18	2.47	962.09	963.28	970.59	971.58	962.85	963.94	3.30	17.70	0.7	0.37	2.98	3.63	RCP
A7-A8	36.71	18	0.82	963.47	963.77	971.58	971.82	964.17	964.26	2.00	17.00	0.7	0.43	1.63	1.58	RCP
B1-B2	76.03	36	0.80	937.12	937.73	939.00	944.43	938.03	938.82	6.42	24.00	0.7	0.12	11.59	2.82	ACMP
B2-B3	28.50	36	0.95	938.10	938.37	944.43	944.62	939.17	939.44	4.99	23.70	0.7	0.73	11.26	5.67	RCP
B3-B4	46.46	36	5.70	938.47	941.12	944.62	950.72	939.80	942.07	2.96	23.20	0.7	0.40	8.97	7.54	ACMP
B4-B5	118.11	30	1.27	941.62	943.12	950.72	948.58	942.37	944.05	6.33	22.00	0.7	0.35	7.82	3.33	ACMP
B5-B6	270.90	30	2.45	943.88	950.51	948.58	956.31	944.95	951.28	2.64	18.00	0.7	0.66	5.29	6.00	RCP
B6-B7	49.18	24	3.52	950.81	952.54	956.31	958.27	951.53	953.14	2.85	17.10	0.7	0.21	2.91	1.90	RCP
B7-B8	162.67	18	0.91	952.84	954.32	958.27	962.99	953.32	954.89	4.51	15.00	0.7	0.56	2.23	2.03	RCP
B5-B5.1	28.58	18	1.92	943.93	944.48	948.58	948.48	944.93	945.13	2.30	5.00	0.7	0.53	2.86	4.33	RCP
C1-C2	51.46	24	0.70	913.73	914.09	916.00	923.04	914.88	915.24	5.65	24.50	0.7	0.22	10.62	2.56	RCP
C2-C3	34.27	24	8.23	914.17	916.99	923.04	923.35	915.59	918.11	4.18	24.30	0.5	0.71	9.94	4.11	RCP
C3-C4	58.50	24	6.03	917.15	920.68	923.35	927.71	918.53	921.53	2.51	23.80	0.7	0.44	5.79	3.33	RCP
C4-C5	139.60	24	4.76	920.88	927.53	927.71	936.12	921.82	928.28	3.09	22.20	0.7	0.47	4.49	3.33	RCP
C5-C6	134.18	18	6.38	927.64	936.17	936.12	940.17	928.53	936.88	1.64	20.00	0.7	0.51	1.80	6.57	ACMP
C3-C3.1	191.96	18	2.18	917.80	921.95	923.35	927.00	918.51	922.88	4.43	8.00	0.5	0.98	3.67	....	RCP
C5-C5.1	28.39	24	1.09	930.27	930.58	936.12	935.98	930.86	931.07	4.44	5.00	0.7	0.35	1.89	1.80	RCP
POND 1	62.19	24	1.01	935.54	936.17	937.50	947.17	937.54	938.64	9.59	5.00	0.00	0.00	0.00	....	RCP
POND 2	31.00	18	18.87	907.15	913.00	908.65	920.75	907.96	914.47	20.04	0.00	0.00	0.00	0.00	....	RCP
D1-DWCB B4.1	109.03	24	1.40	947.22	948.75	950.72	954.07	948.36	949.88	4.84	8.20	0.75	0.59	8.94	7.77	ACMP
DWCB B4.1-GI B4.1A	113.94	18	2.62	949.20	952.18	954.07	955.20	950.44	953.10	3.68	7.70	0.75	0.64	5.75	5.59	RCP
GI B4.1A-GI B4.2	22.06	18	2.63	952.18	952.76	955.20	957.46	953.45	953.45	0.84	5.00	0.80	0.20	1.33	....	ACMP
GI B4.1A-GI B4.2A	90.44	18.00	1.46	952.38	953.70	955.20	957.70	953.49	954.08	0.71	5.00	0.80	0.15	1.00	1.68	ACMP
D1-D2	288.28	36	3.63	916.72	927.19	920.50	934.66	918.10	928.65	6.60	5.00	0.80	3.15	20.94	....	RCP

"RCP" REINFORCED CONCRETE PIPE.  
 "ACMP" ALUMINIZED TYPE 2 STEEL PIPE.  
 PIPE TO BE 14 GAGE, 2-2/3" X 1/2" CORRUGATION.  
 SPECIFICATIONS: ASTM A760, A929; AASHTO M36, M274.

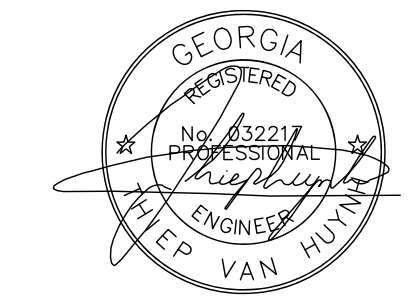


**EXISTING STORM LINE D1-D2**

**A.C.E.**  
 ALCOVY CONSULTING ENGINEERING  
 AND ASSOCIATES, L.L.C.  
 P.O.C. TIP HUYNH, P.E.  
 485 Edwards Rd.  
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**STORM PROFILES**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=50' HORZ.  
 1"=5' VERT.

**OWNER/PERMITTEE**  
 LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

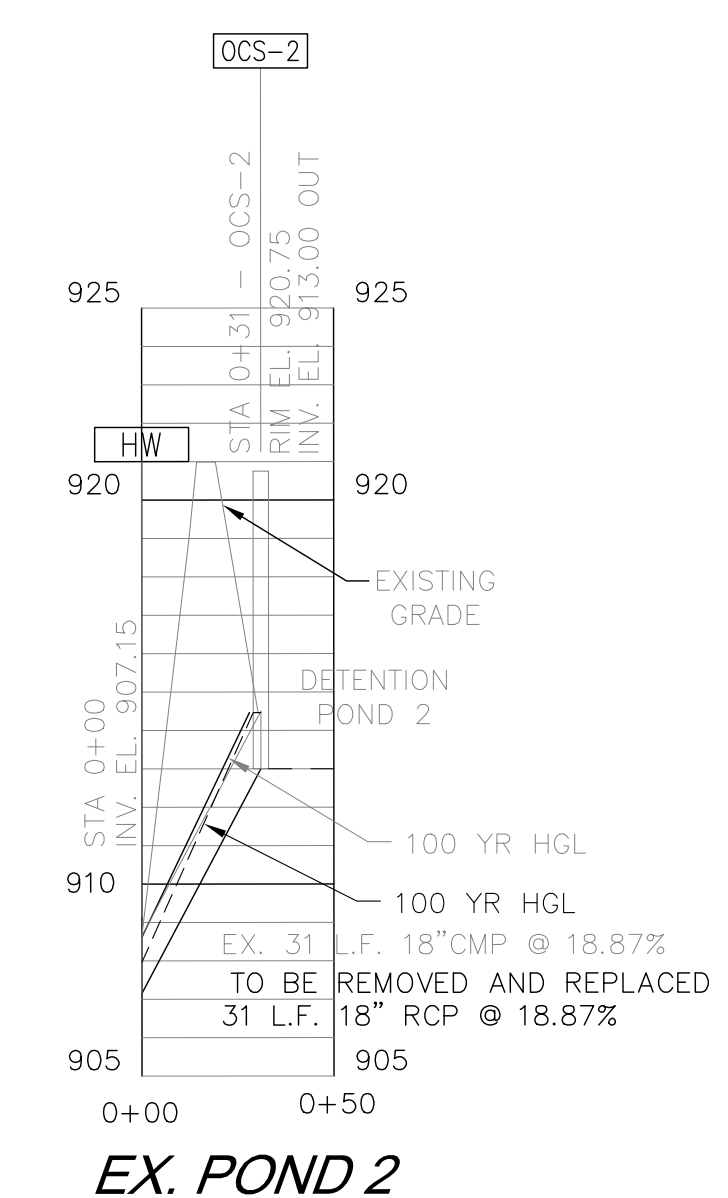
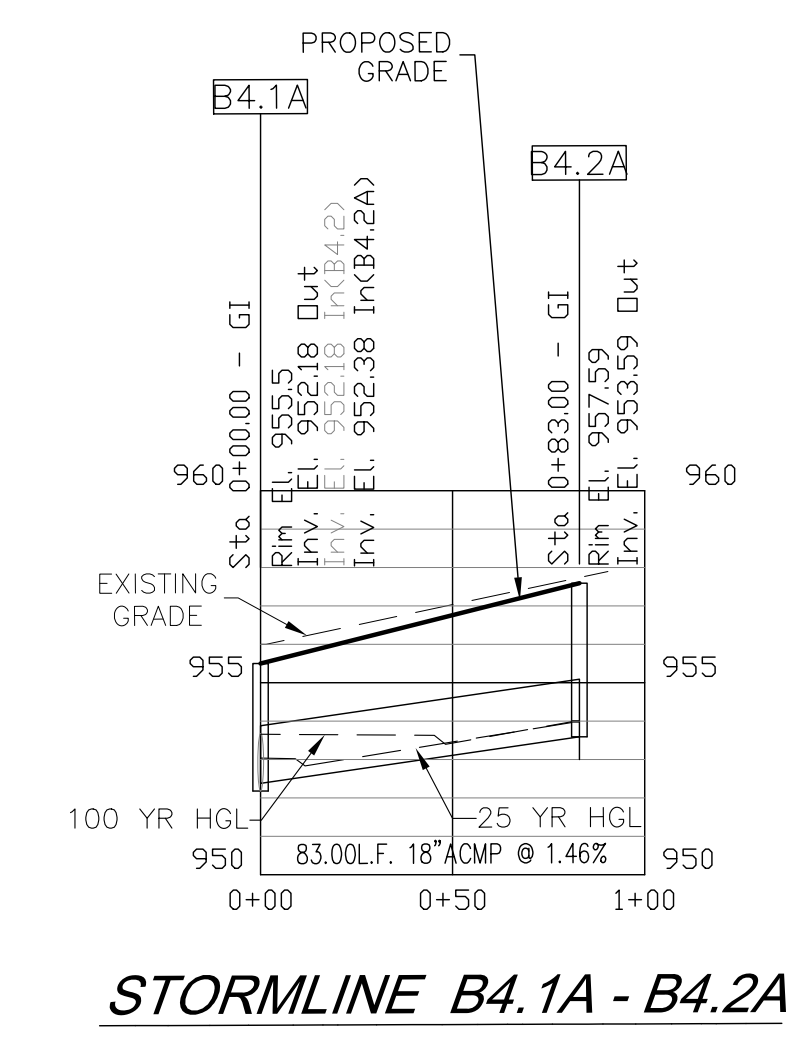
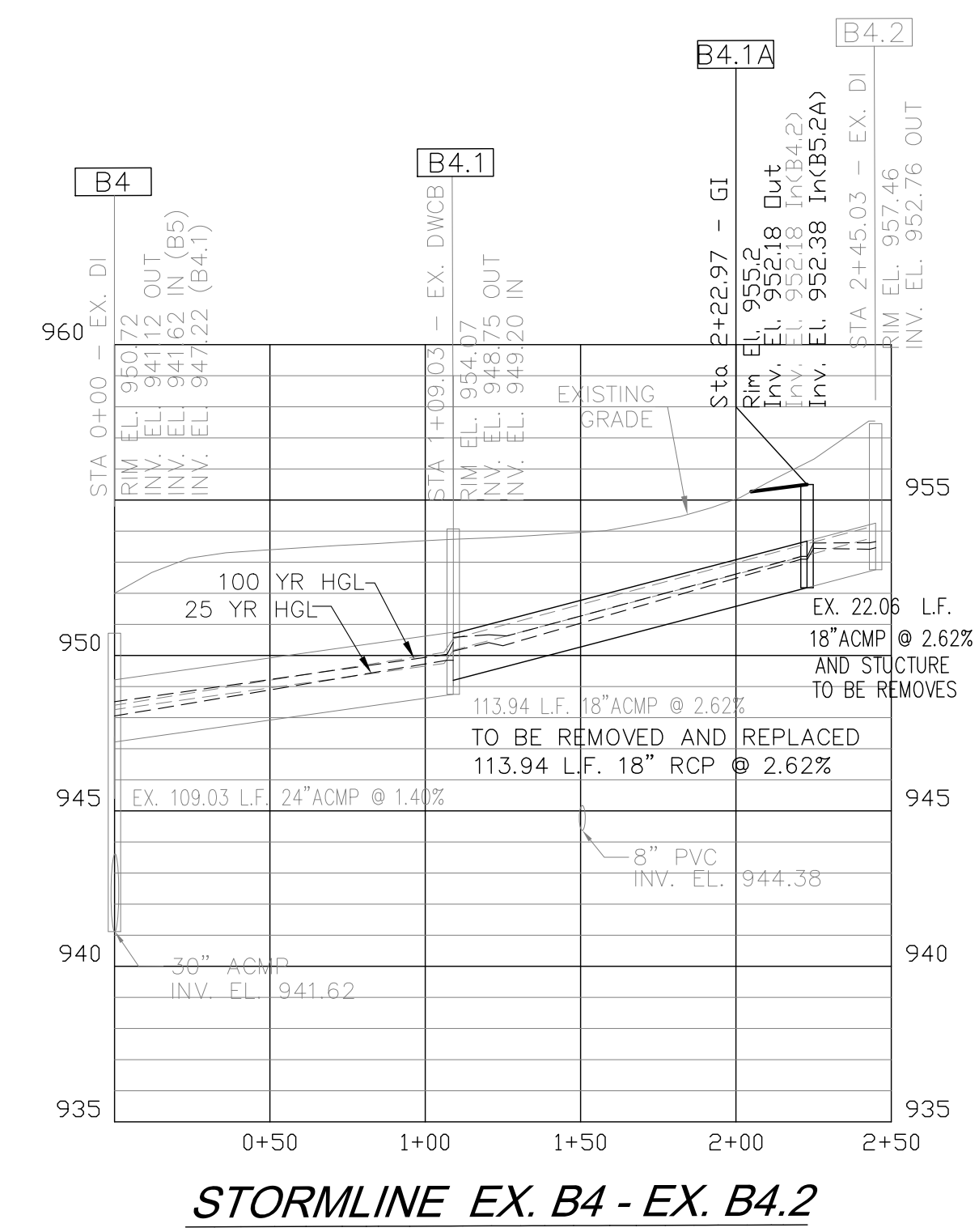
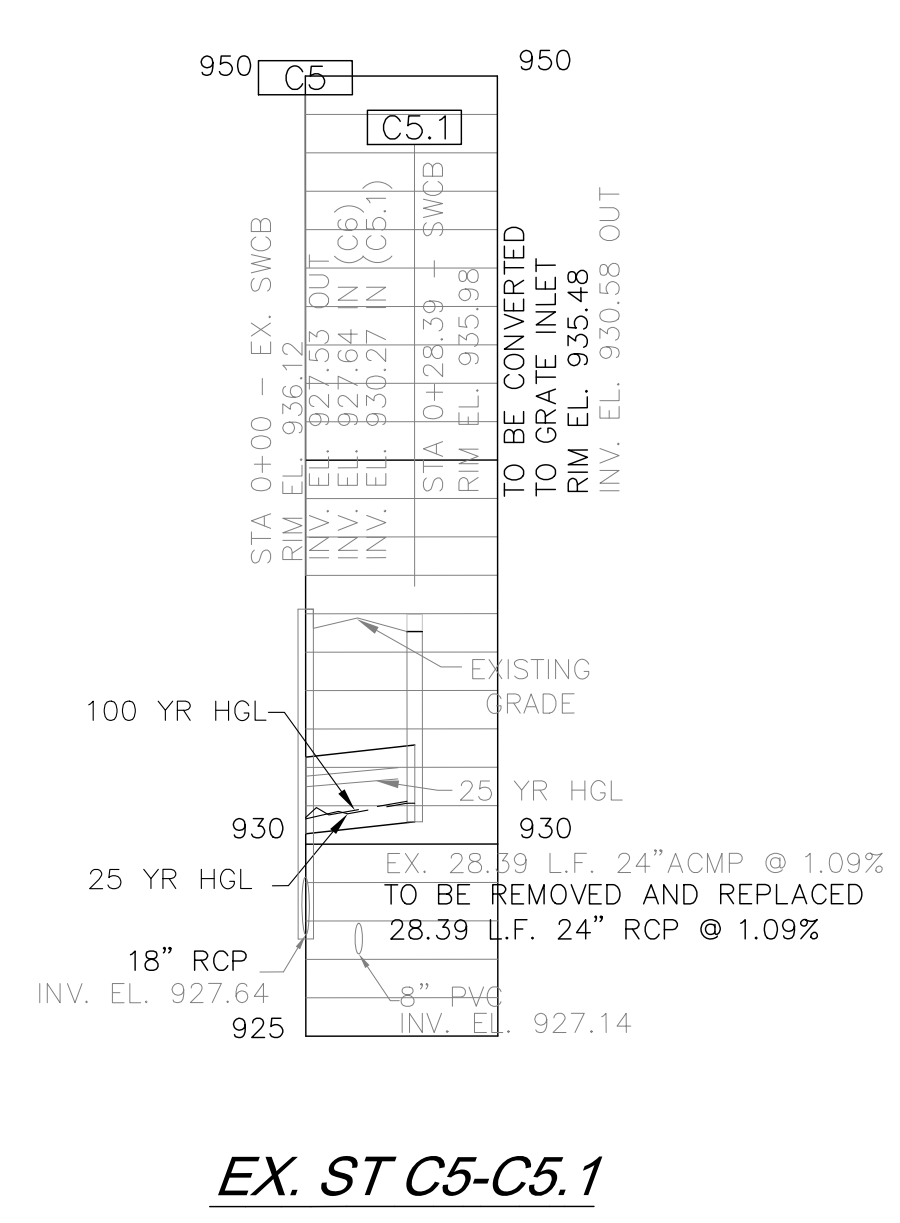
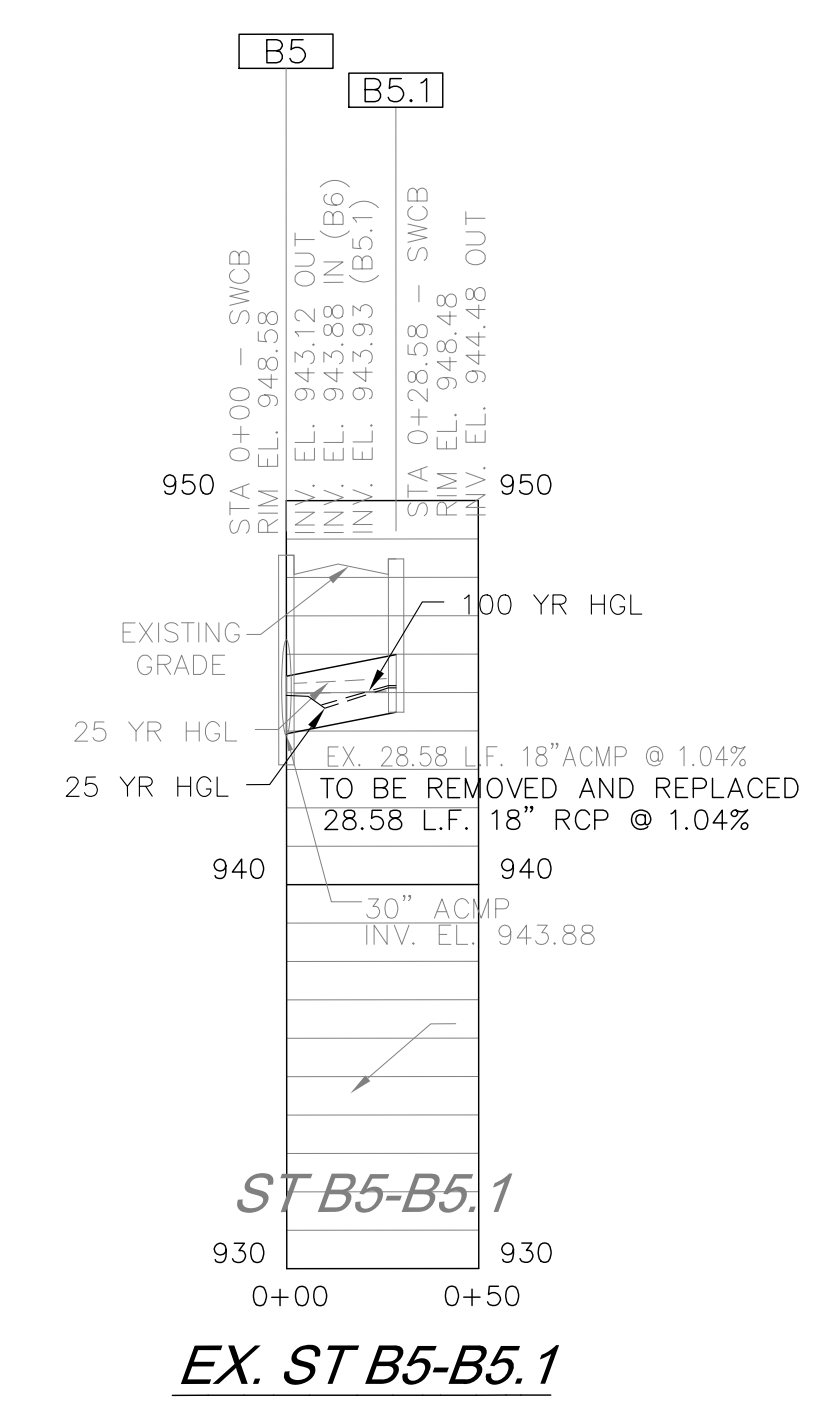
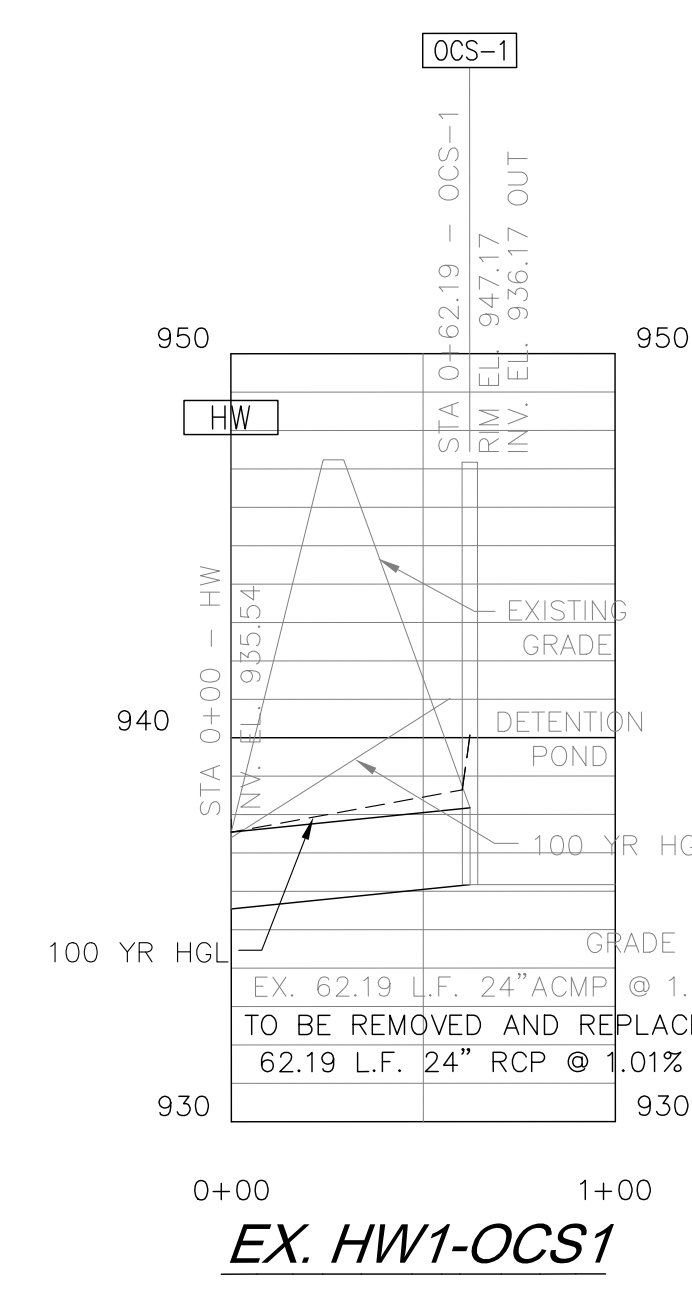
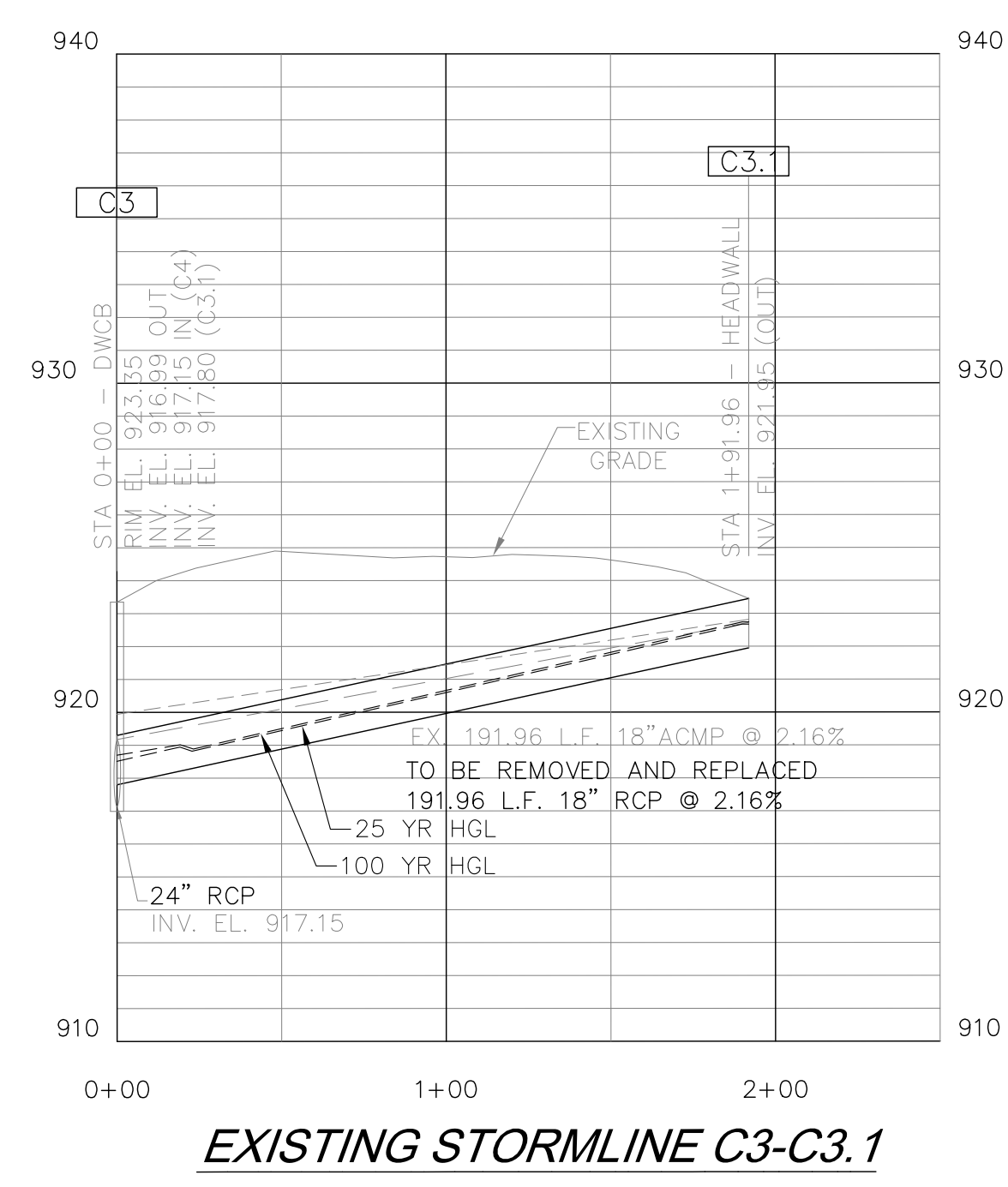
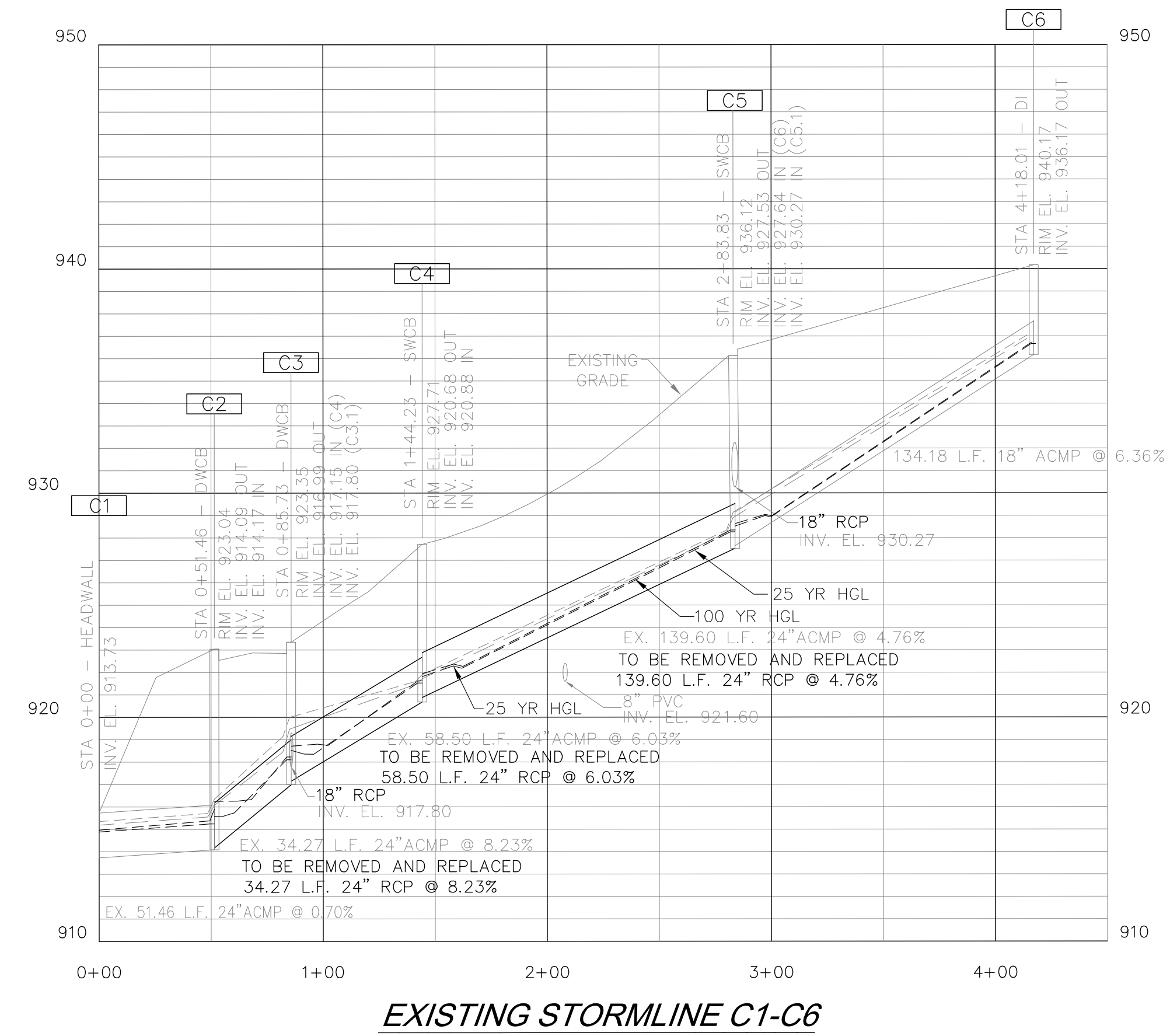
24 HOUR - EMERGENCY CONTACT  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014

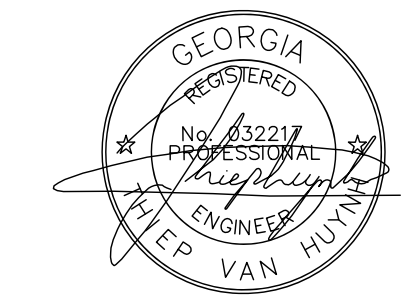
**C-2.3**



"RCP" REINFORCED CONCRETE PIPE.  
 "ACMP" ALUMINIZED TYPE 2 STEEL PIPE.  
 PIPE TO BE 14 GAGE, 2-2/3" X 1/2" CORRUGATION  
 SPECIFICATIONS: ASTM A760, A929; AASHTO M36, M274.

**A.C.E.**  
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**ROAD PROFILES**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

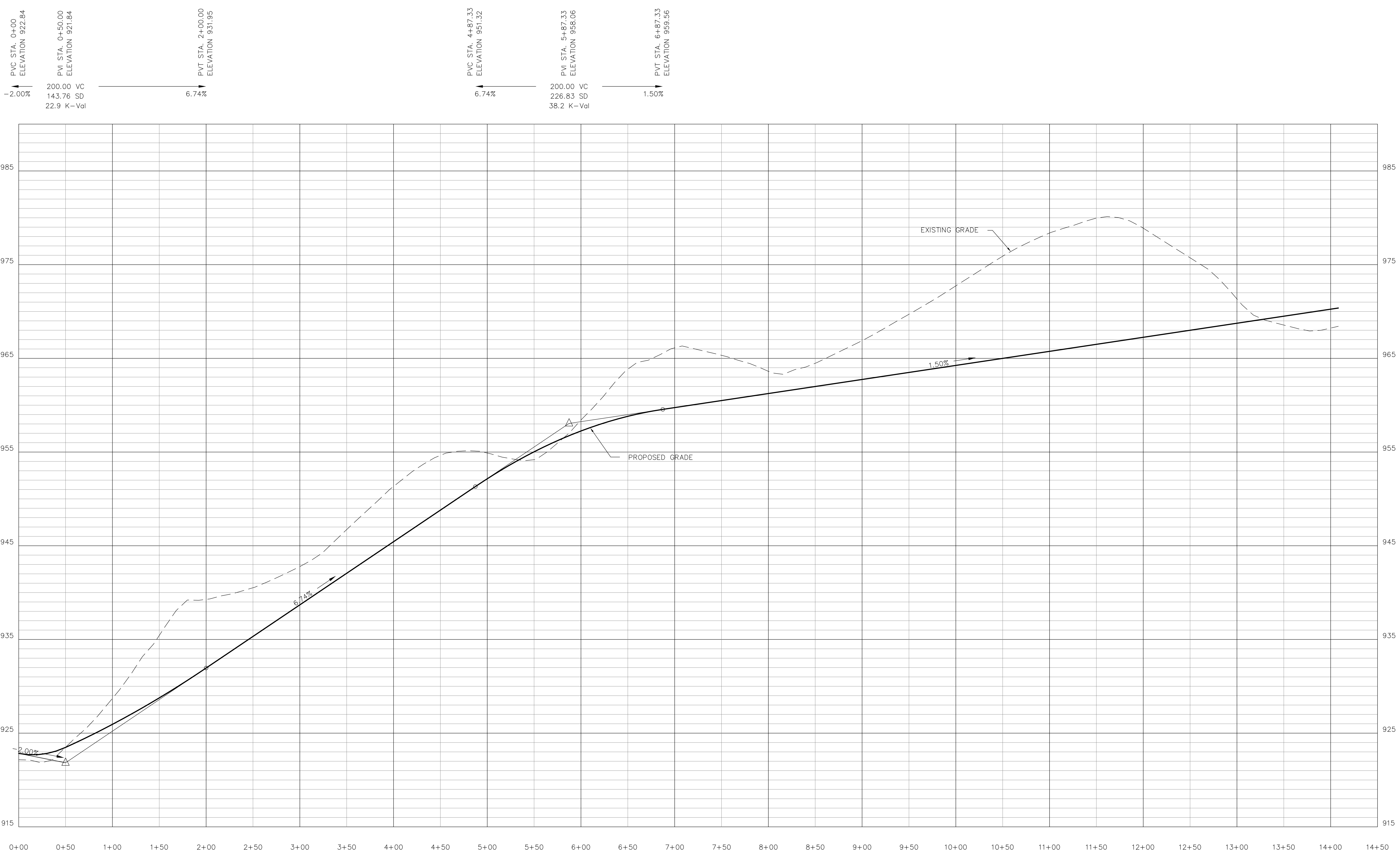
DATE: 02/22/2021  
 SCALE: 1"=50' HORZ.  
 1"=5' VERT.

**OWNER/PERMITTEE**  
 LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com  
 24 HOUR - EMERGENCY CONTACT  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-2.4**



**ROAD #1**





- FIRE DEPARTMENT NOTES**
1. PLACEMENT OF FIRE HYDRANTS SHALL BE A MAXIMUM OF 3 FT. FROM BACK OF CURB OR EDGE OF ROAD WITH THE LARGE FIRE DEPARTMENT CONNECTION THE NEAREST FIRE DEPARTMENT ACCESS POINT AND SET A MINIMUM OF 18" AND A MAXIMUM OF 36" ABOVE FINISHED GRADE TO THE CENTER OF THE LARGE FIRE DEPARTMENT CONNECTION (NFPA 1141 3-4.5, 3-6.6 1990 EDITION, PARAPHRASED).
  2. FIRE HYDRANT(S) AND MAIN(S) SHALL BE INSTALLED, FLUSHED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED (SFPC 602.6.1 1994 EDITION, PARAPHRASED).
  3. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FT. WIDE AND ADEQUATELY DESIGNED TO SUPPORT A VEHICLE 70,000 POUNDS GROSS VEHICLE WEIGHT (SFPC 602.6.1 1994 EDITION, PARAPHRASED).
  4. DURING CONSTRUCTION, ACCESS ROADWAYS SHALL BE CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 80,000 POUNDS PER STANDARD FIRE PREVENTION CODE 1994 EDITION SECTION 602.6.1.
  5. DURING CONSTRUCTION, WIDTH OF ACCESS ROADWAYS SHALL BE A MINIMUM 20' WIDE PER STANDARD FIRE PROTECTION CODE 1994 EDITION SECTION 602.6.1.

- COL WATER NOTES:**
1. Water mains must maintain 4" bury depth and must have an 18" vertical separation and 10" horizontal separation from sewer.
  2. Backflow preventers are installed by contractor and must be a commercial/testable backflow.
  3. Vault must have a bypass located on the outside of it in case backflow ever fails and needs to be taken out and replaced.
  4. Water System will be put in according to COL specifications.
  5. 24 hour notice before inspections.
  6. The COL requires all water mains to be 8" or larger and class 350 DII.
  7. No cross connection tees, tap lines, service lines, or valves will be allowed under concrete or asphalt.
  8. All fire hydrants must be attached using an anchor coupling valve and bedded in stone to weep hole.
  9. Must maintain water and sewer utility's easement at a minimum of 10' between utilities.
  10. Any modifications must be approved by the inspector prior to being done in the field.
  11. Valves must be no further than 1000' apart.
  12. Hydrants at every 400' max.
  13. Developer/Contractor will be responsible for correctly locating and sizing of COL utilities for connection tie ins.
  14. Tapping sleeves must be stainless steel.
  15. All elbows should have blocking poured on them.
  16. Ensure all valve pad and markers are in place.
  17. All taps must be 1" muniplex and use double strap saddles with curb stop with tracer wire.
  18. All water pipe bells and taps must be left open for visual inspection by COL inspector.
  19. COL inspector to be present for all taps.
  20. Water mains to be set 7" behind curb or 1' behind sidewalk.
  21. All water mains and service lines must have tracer wire tied to hydrant and run to the foundation of each unit.
  22. All water service lines shall be 1" muniplex and will be indicated in the street curb by an imprinted "W" in gutter.
  23. All long side services to be encased in 2" PVC casing outside sidewalk.
  24. All meter boxes will be provided by the developer and have a 1-3/4 drilled hole to allow antenna connection.
  25. Meter boxes shall be placed 11' from the back side of the curb and on the property line opposite of sewer connection.
  26. Meter boxes need to be set on finished grade of development and have silt fence around them to prevent future disturbances or damage.
  27. Curb stops shall be installed inside all meter boxes on the curb side.
  28. "V" saw cut for valves in gutter with fiberglass valve marker and valve.
  29. Hydrants secured with anchor coupling valve pad and bedded in stone to weep hole.
  30. Hydrants must be American Darlene 5-4 3 way.

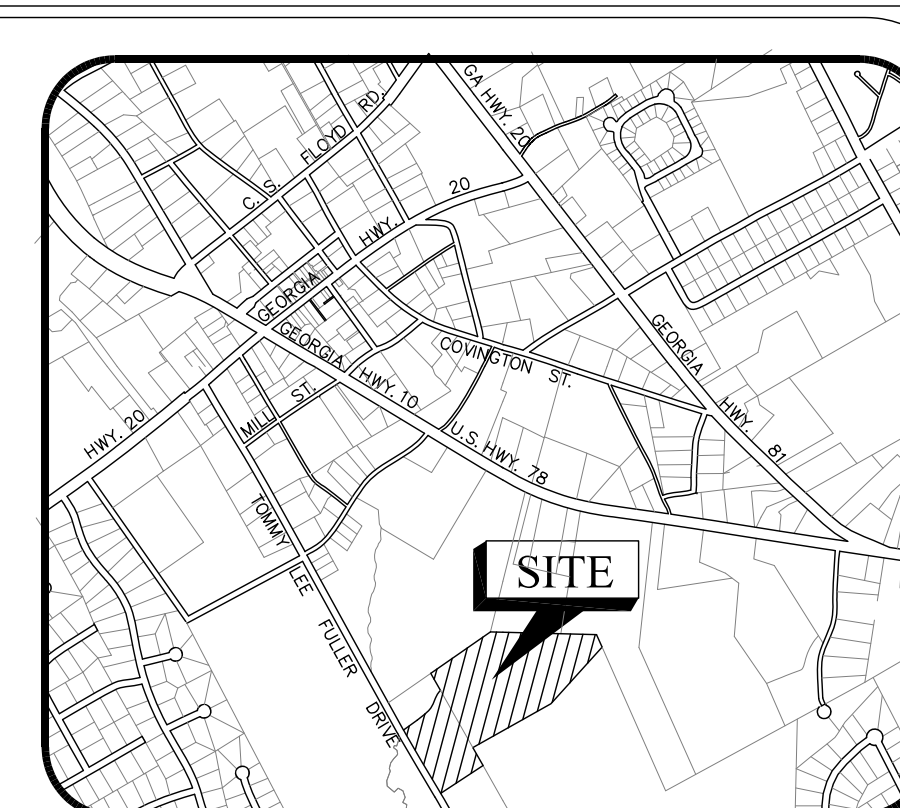
**CREEK CALLS FROM POINT "A" TO POINT "B"**

Course	Bearing	Distance
L1	N 09°24'52" E	14.08'
L2	N 23°57'05" E	19.96'
L3	N 83°09'32" E	12.84'
L4	N 79°56'23" E	6.18'
L5	N 55°57'28" E	14.32'
L6	N 51°11'35" E	14.36'
L7	N 46°46'04" E	14.38'
L8	N 42°36'56" E	14.35'
L9	N 39°04'22" E	17.58'
L10	N 34°40'26" E	14.48'
L11	N 26°41'07" E	14.25'
L12	N 16°34'46" E	9.95'
L13	N 20°21'29" W	12.13'
L14	N 00°02'09" E	13.29'
L15	N 01°44'36" E	4.83'
L16	N 01°20'48" E	13.30'
L17	N 02°31'13" E	9.36'
L18	N 26°50'30" E	12.77'
L19	N 60°31'40" E	12.92'
L20	N 43°57'37" E	13.37'
L21	N 43°06'10" E	11.49'
L22	N 59°10'22" E	13.90'
L23	N 64°48'49" E	14.05'
L24	N 56°20'15" E	10.39'
L25	N 29°15'42" E	13.35'
L26	N 2°05'07" E	8.26'
L27	N 66°16'50" E	13.64'
L28	N 71°07'52" E	13.84'
L29	N 42°28'35" E	16.63'
L30	N 18°33'59" E	6.45'
L31	N 15°12'35" W	12.92'
L32	N 08°38'26" W	5.52'
L33	N 09°16'53" E	14.13'
L34	N 17°12'53" E	14.13'
L35	N 28°17'05" E	11.86'
L36	N 54°54'54" E	12.64'
L37	N 59°37'06" E	3.78'

ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF LOGANVILLE REGULATIONS.

**UTILITY PLAN KEYED NOTES**

- (A) EXISTING WATER METER TO BE RELOCATED.
- (B) EXISTING 6.0 LF CURB TO BE REMOVED AND REPLACED.
- (C) EXISTING PAVEMENT TO BE CUT AND PATCHED.
- (D) EXISTING WATER METER TO BE REMOVED.
- (E) NEW SEWER SERVICE.
- (F) TIE INTO EX. 8" DIP WATER LINE.



**VICINITY MAP N.T.S.**

**S. M. BEALE & ASSOCIATES**  
**FIRE PROTECTION SPECIALISTS**  
 3741 MIDVALE ROAD, TUCKER, GEORGIA 30084  
 TEL (770) 491-0610 MOBILE (770) 338-7922 EMAIL sbeale@smbeale.com

Mr. Thiep Huynh  
 Alcovy Consulting Engineering and Associates, LLC  
 485 Edwards Road  
 Oxford, GA 30054

Subject: Tommy Lee Fuller Drive Hydrant Flow Test & Recording

Mr. Huynh,  
 On July 5, 2022, at about 11:30 EDT, I conducted a hydrant flow test on the water main in Tommy Lee Fuller Drive in Loganville, GA. The main is reported to be 8" in size and to be a part of the City of Loganville Water system.

The static and residual pressures were taken at the hydrant about 1,500' south of the site, and the flow was taken at the test hydrant north on the main. The test location is at the same elevation as your site, and the main continues from the test location northward past your site.

The test data are summarized below; the first line is the data observed during the test, and the second line is corrected data to correspond with the lowest recorded static pressure sustained for 30 minutes or longer. The residual pressure is assumed to be reduced by the same amount as the static pressure, at the same flow.

TEST	RES.	FLOW	CHG.	RES.	CHG.	RES.	CHG.
105 PSI	84 PSI	42 PSI	0.960	1.007 GPM	2.50"	1.324 GPM	101 PSI
CALC. 101 PSI	80 PSI	1.007 GPM		1.007 GPM		2.209 GPM	

No attempt was made to determine the elevation difference, or the exact distance, between the point of the test and the site of intended water usage. This test indicated flow and pressure less than the test in the same location on February 28 of last year.

A static pressure recording was taken prior to the test for a period of approximately 24 hours, and the pressure was constant between 101 psi and 105 psi during the recording period.

It must be understood by all parties concerned that predicting the performance of a water system based on prior tests is at best an inexact science. This is because a water system is a dynamic entity, with constant changes in flow demand, tank elevations, various pumps on and off the line, etc. The foregoing calculations are warranted to be correct, based on the equations given in the codes and standards and the test information obtained, but no warranty is given that any future tests will produce the exact results calculated.

Thank you for the opportunity to be of service, and please call if there are any questions.

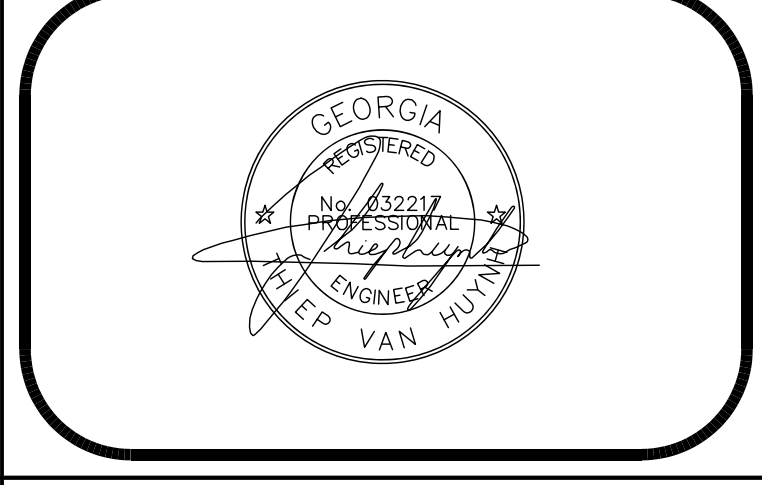
Samuel M. Beale, III, Retired Fire Protection Engineer

- COL SEWER NOTES:**
1. Sanitary sewers will be installed in accordance to City specifications.
  2. All sanitary sewers must have minimum 20 ft. easements.
  3. A backflow device must be installed a minimum of 3ft from foundation before the first clean out.
  4. All sewer laterals must have two clean outs, one clean out must be located within 10 ft. from house, second clean out will be placed at the tie in of the lateral to the city sewer system 11 ft from curb at the edge of Row, or 10 ft from the sewer main if located on an easement at the edge of the easement.
  5. All sewer main shall be flushed and cleaned, TV inspected, Deflection tested, Air tested and visual inspections performed. City inspector must be on site when Air test is performed and TV inspection recording and mandrel results are to be turned over to the Department of Utilities.
  6. All sewer mains and laterals must have tracer wire to the foundation of each unit.
  7. All sewer pipe joints and taps must be left open in order for visual inspections by the sewer department.
  8. Planning and Department must be notified 24 hours in advance for inspections.
  9. Any field changes must be approved by inspector.
  10. Each lateral is required to be 6 inch.
  11. When coring into existing manhole, a rubber boot must be used.
  12. For sewer mains (8" or greater), DIP is required at all crossings above water mains or drainage pipes and for all crossings below water mains or drainage pipes unless sewer main is more than 4 feet below other pipe. DIP is not required when crossing water mains less than 2 inches in diameter.
  13. Sewer services will be indicated in the street curb by an imprinted "S".
  14. THE SEWER LATERAL LINE LOCATED ON PRIVATE PROPERTY SHALL REMAIN IN PRIVATE OWNERSHIP. ITS MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
  15. Stub end and cleanout location shall be clearly marked at grade using a shroud enclosure, locatable cap and pivoting marker pole by Utility defender or equal installed at grade surface.
  16. NEWLY EXECUTED EASEMENTS ARE REQUIRED TO BE RECORDED AT THE COURTHOUSE AND WILL NEED TO BE PROVIDED PRIOR TO ISSUING OF CERTIFICATE OF OCCUPANCY
  17. Existing sewer stubs shown on plans to be removed must be capped at sewer main.
  18. Sewer line location must maintain 10 foot separation from parallel water mains, and 18 inch vertical separation from any perpendicular of water main.
  19. City inspector must be onsite when manhole vacuum testing is performed.
  20. An additional 5 feet building setback is required on all sides of the permanent sanitary sewer, if two or more utility lines are located in the sewer easement and additional 10 feet is required.
  21. All existing Manholes and inverts are required to be rehabilitated.
  22. Sewer stubs shall have straight alignment, the main shall extend near perpendicular to the last property served such that the service stub is no 30 degrees from perpendicular to either the main or the edge of the right of way.
  23. Install mechanical plug in first manhole to isolate from the rest of the system, tied to manhole step to prevent tampering. The first manhole shall be used to flush and pump out the sanitary sewer during construction. City Loganville is required to be on site and instruct contractor to remove temporary plug.
  24. A current sewer capacity approval letter is required prior to beginning any type of construction. An upgrade to the existing pump station is required and all upgrade and associated cost will be the responsibility of the developer.
  25. Private sewer lines located on private property will remain in private ownership. Its maintenance shall be the responsibility of the owner.

**A.C.E.**  
 ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, LLC.  
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**UTILITY PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
 STEVE ALLEN  
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**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
 C-3.1A

- LEGEND**
- S- SAN. SEWER MAIN LINE
  - S- SAN. SEWER LATERAL LINE
  - W- WATER LINE
  - (1) STRUCTURE NUMBER
  - (SM) SAN. SEWER MANHOLE
  - (M) WATER METER
  - (V) GATE VALVE
  - (H) FIRE HYDRANT
  - (C) CLEANOUT
  - (T) TAPPING SLEEVE & VALVE

**GEORGIA811**  
 www.Georgia811.com



FIRE DEPARTMENT NOTES

1. PLACEMENT OF FIRE HYDRANTS SHALL BE A MAXIMUM OF 3 FT. FROM BACK OF CURB OR EDGE OF ROAD WITH THE LARGE FIRE DEPARTMENT CONNECTION THE NEAREST FIRE DEPARTMENT ACCESS POINT AND SET A MINIMUM OF 18" AND A MAXIMUM OF 36" ABOVE FINISHED GRADE TO THE CENTER OF THE LARGE FIRE DEPARTMENT CONNECTION (NFPA 1141 3-6.5, 3-6.6 1990 EDITION PARAPHRASED).
2. FIRE HYDRANT(S) AND MAIN(S) SHALL BE INSTALLED, FLUSHED AND UNDER PRESSURE BEFORE ANY COMBUSTIBLE CONSTRUCTION IS STARTED (SFPC 602.6.1 1994 EDITION PARAPHRASED).
3. ACCESS FOR EMERGENCY VEHICLES SHALL BE MAINTAINED AROUND AND TO ALL BUILDINGS UNDER CONSTRUCTION. THE ACCESS ROAD SHALL BE A MINIMUM OF 20 FT. WIDE AND ADEQUATELY DESIGNED TO SUPPORT A VEHICLE 70,000 POUNDS GROSS VEHICLE WEIGHT (SFPC 602.6.1 1994 EDITION PARAPHRASED).
4. DURING CONSTRUCTION, ACCESS ROADWAYS SHALL BE CONSTRUCTED OF AN ALL WEATHER SURFACE CAPABLE OF SUPPORTING 80,000 POUNDS GROSS WEIGHT PER STANDARD FIRE PREVENTION CODE 1994 EDITION SECTION 602.6.1.
5. DURING CONSTRUCTION, WIDTH OF ACCESS ROADWAYS SHALL BE A MINIMUM 20' WIDE PER STANDARD FIRE PROTECTION CODE 1994 EDITION SECTION 602.6.1.

ALL WORK AND MATERIALS SHALL COMPLY WITH CITY OF LOGANVILLE REGULATIONS.

UTILITY PLAN KEYED NOTES

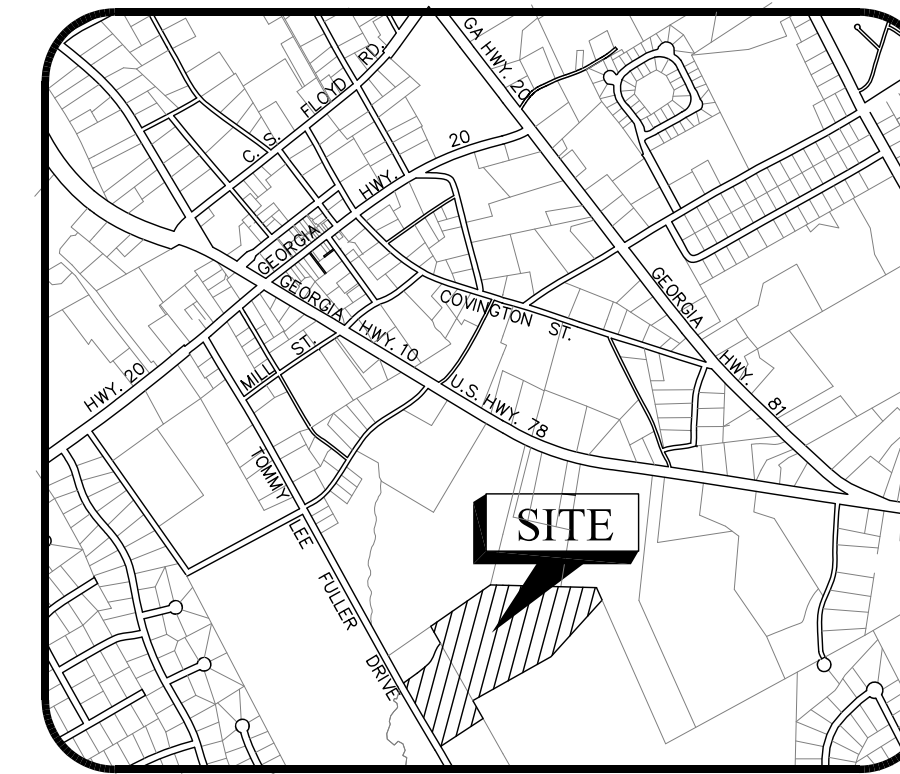
- (A) EXISTING WATER METER TO BE REMOVED AND RELOCATED.
- (B) EXISTING 6.0 LF CURB TO BE REMOVED AND REPLACED.
- (C) EXISTING PAVEMENT TO BE CUT AND PATCHED.
- (D) EXISTING WATER METER TO BE REMOVED.
- (E) NEW SEWER SERVICE.
- (F) TIE INTO EX. 8" DIP WATER LINE.

COL WATER NOTES:

1. Water mains must maintain 4" bury depth and must have an 18" vertical separation and 10" horizontal separation from sewer.
2. Backflow preventers are installed by contractor and must be a commercial testable backflow.
3. Vault must have a bypass located on the outside of it in case backflow ever fails and needs to be taken out and replaced.
4. Water System will be put in according to COL specifications.
5. 24 hour notice before inspections.
6. The COL requires all water mains to be 8" or larger and class 350 DIP.
7. No cross connection tees, tap lines, service lines, or valves will be allowed under concrete or asphalt.
8. All fire hydrants must be attached using an anchor coupling valve and bedded in stone to weep hole. Must maintain water and sewer utility's easement at a minimum of 10' between utilities.
9. Any modifications must be approved by the inspector prior to being done in the field.
10. Valves must be no further than 1000' apart.
11. Hydrants at every 400' max.
12. Developer/Contractor will be responsible for correctly locating and sizing of COL utilities for connection tie ins.
14. Tapping sleeves must be stainless steel.
15. All elbows should have blocking poured on them.
16. Ensure all valve pad and markers are in place.
17. All taps must be 1" municipex and use double strap saddles with curb stop with tracer wire.
18. All water pipe bells and taps must be left open for visual inspection by COL inspector.
19. COL inspector to be present for all taps.
20. Water mains to be set 7" behind curb or 1" behind sidewalk.
21. All water mains and service lines must have tracer wire tied to hydrant and ran to the foundation of each unit.
22. All water service lines shall be 1" municipex and will be indicated in the street curb by an imprinted "W" in gutter.
23. All long side services to be encased in 2" PVC casing outside sidewalk.
24. All meter boxes will be provided by the developer and have a 1-3/4 drilled hole to allow antenna connection.
25. Meter boxes shall be placed 11' from the back side of the curb and on the property line opposite of sewer connection.
26. Meter boxes need to be set on finished grade of development and have silt fence around them to prevent future disturbances or damage.
27. Curb stops shall be installed inside all meter boxes on the curb side.
28. "V" saw cut for valves in gutter with fiberglass valve marker and valve.
29. Hydrants secured with anchor coupling valve pad and bedded in stone to weep hole.
30. Hydrants must be American Darlene 5 1/2 3 way.

COL SEWER NOTES:

1. Sanitary sewers will be installed in according to City specifications.
2. All sanitary sewers must have minimum 20 ft. easements.
3. A backflow device must be installed a minimum of 3ft from foundation before the first clean out.
4. All sewer laterals must have two clean outs, one clean out must be located within 10 ft. from house, second clean out will be placed at the tie in of the lateral to the city sewer system 11 ft. from curb at the edge of Row, or 10 ft. from the sewer main if located on an easement at the edge of the easement.
5. All sewer main shall be flushed and cleaned, TV inspected, Deflection tested, Air tested and visual inspections performed. City inspector must be on site when Air test is performed and TV inspection recording and manrel results are to be turned over to the Department of Utilities.
6. All sewer mains and laterals must have tracer wire to the foundation of each unit.
7. All sewer pipe joints and taps must be left open in order for visual inspections by the sewer department.
8. Planning and Department must be notified 24 hours in advance for inspections.
9. Any field changes must be approved by inspector.
10. Each lateral is required to be 6" in.
11. When coring into existing manhole, a rubber boot must be used.
12. For sewer mains (8" or greater), DIP is required at all crossings above water mains or drainage pipes and for all crossings below water mains or drainage pipes unless sewer main is more than 4 feet below other pipe. DIP is not required when crossing water mains less than 2 inches in diameter.
13. Sewer services will be indicated in the street curb by an imprinted "S".
14. THE SEWER LATERAL LINE LOCATED ON PRIVATE PROPERTY SHALL REMAIN IN PRIVATE OWNERSHIP. ITS MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER.
15. Stub end and cleanout location shall be clearly marked at grade using a shroud enclosure, locatable cap and pivoting marker pole by Utility defender or equal installed at grade surface.
16. NEWLY EXECUTED EASEMENTS ARE REQUIRED TO BE RECORDED AT THE COURTHOUSE AND WILL NEED TO BE PROVIDED PRIOR TO ISSUING OF CERTIFICATE OF OCCUPANCY.
17. Existing service stubs shown on plans to be removed must be capped at sewer main.
18. Sewer line location must maintain 10 foot separation from parallel water mains, and 18 inch vertical separation from any perpendicular water main.
19. City inspector must be onsite when manhole vacuum testing is performed.
20. An additional 5 feet building setback is required on all sides of the permanent sanitary sewer, if two or more utility lines are located in the sewer easement and additional 10 feet is required.
21. All existing Manholes and inverts are required to be rehabilitated.
22. Sewer stubs shall have straight alignment, the main shall extend near enough to the last property served such that the service stub is no 30 degrees from perpendicular to either the main or the edge of the right of way.
23. Install mechanical plug in first manhole to isolate from the rest of the system, tied to manhole step to prevent tampering. The first manhole shall be used to flush and pump out the sanitary sewer during construction. City Loganville is required to be on site and instruct contractor to remove temporary plug.
24. A current sewer capacity approval letter is required prior to beginning any type of construction. An upgrade to the existing pump station is required and all upgrade and associated cost will be the responsibility of the developer.
25. Private sewer lines located on private property will remain in private ownership. Its maintenance shall be the responsibility of the owner.



VICINITY MAP N.T.S.

S. M. BEALE & ASSOCIATES FIRE PROTECTION SPECIALISTS

3741 MIDVALE ROAD TUCKER, GEORGIA 30084 TEL (770) 491-0610 MOBILE (770) 330-7922 EMAIL sbeale@smbafp.com July 27, 2022

Mr. Thiep Huynh Alcovy Consulting Engineering and Associates, LLC 485 Edwards Road Oxford, GA 30056 Subject: Tommy Lee Fuller Drive Hydrant Flow Test & Recording

Mr. Huynh,

On July 5, 2022, at about 11:30 EDT, I conducted a hydrant flow test on the water main in Tommy Lee Fuller Drive in Loganville, GA. The main is reported to be 10" in size and to be a part of the City of Loganville Water system.

The static and residual pressures were taken at the hydrant about 1,500' south of the site, and the flow was taken at the next hydrant north on the main. The test location is at the same elevation as your site, and the main continues from the test location northward past your site.

The test data are summarized below: the first line is the data observed during the test, and the second line is corrected data to correspond with the lowest recorded static pressure, at 30 minutes or longer. The residual pressure is assumed to be reduced by the same amount as the static pressure, at the same flow.

TEST	STATIC	RESIDUAL	FLOW	DATE	TIME	DEPTH
101 PSI	104 PSI	43 PSI	2,500 GPM	7/5/22	1:34 PM	101 PSI
101 PSI	104 PSI	43 PSI	2,500 GPM	7/5/22	1:34 PM	101 PSI

No attempt was made to determine the elevation difference, or the exact distance, between the point of the test and the site of intended water usage. This test indicated flows and pressures less than the test in the same location on February 28 of last year.

A static pressure recording was taken prior to the test for a period of approximately 24 hours, and the pressure was constant between 101 psi and 105 psi during the recording period.

It must be understood by all parties concerned that predicting future performance of a water system based on prior tests is at best an inexact science. This is because a water system is a dynamic entity, with constant changes in flow demand, tank elevations, various pumps on and off line, etc. The foregoing calculations are warranted to be correct, based on the equations given in the codes and standards and the test information obtained, but no warranty is given that any future tests will produce the exact results calculated.

Thank you for the opportunity to be of service, and please call if there are any questions.

Samuel M. Beale, III, Retired Fire Protection Engineer



LEGEND

- SAN. SEWER MAIN LINE
- SAN. SEWER LATERAL LINE
- WATER LINE
- STRUCTURE NUMBER
- SAN. SEWER MANHOLE
- WATER METER
- GATE VALVE
- FIRE HYDRANT
- CLEANOUT
- TAPPING SLEEVE & VALVE

**GEORGIA811**  
www.Georgia811.com



**A.C.E.**  
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Phone: 770-466-4002  
tipacell@gmail.com  
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GEORGIA REGISTERED PROFESSIONAL ENGINEER  
No. 832218  
TIP HUYNH, P.E.  
VAN HUYNH

**UTILITY PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

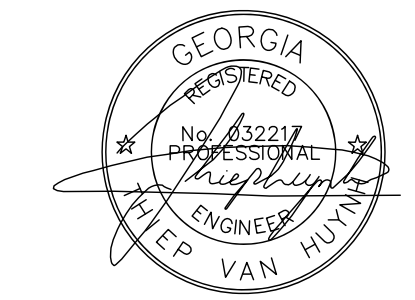
**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-3.1B**

**A.C.E.**  
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 tipacell@gmail.com

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**SEWER PROFILES**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

OWNER/PERMITTEE  
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 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

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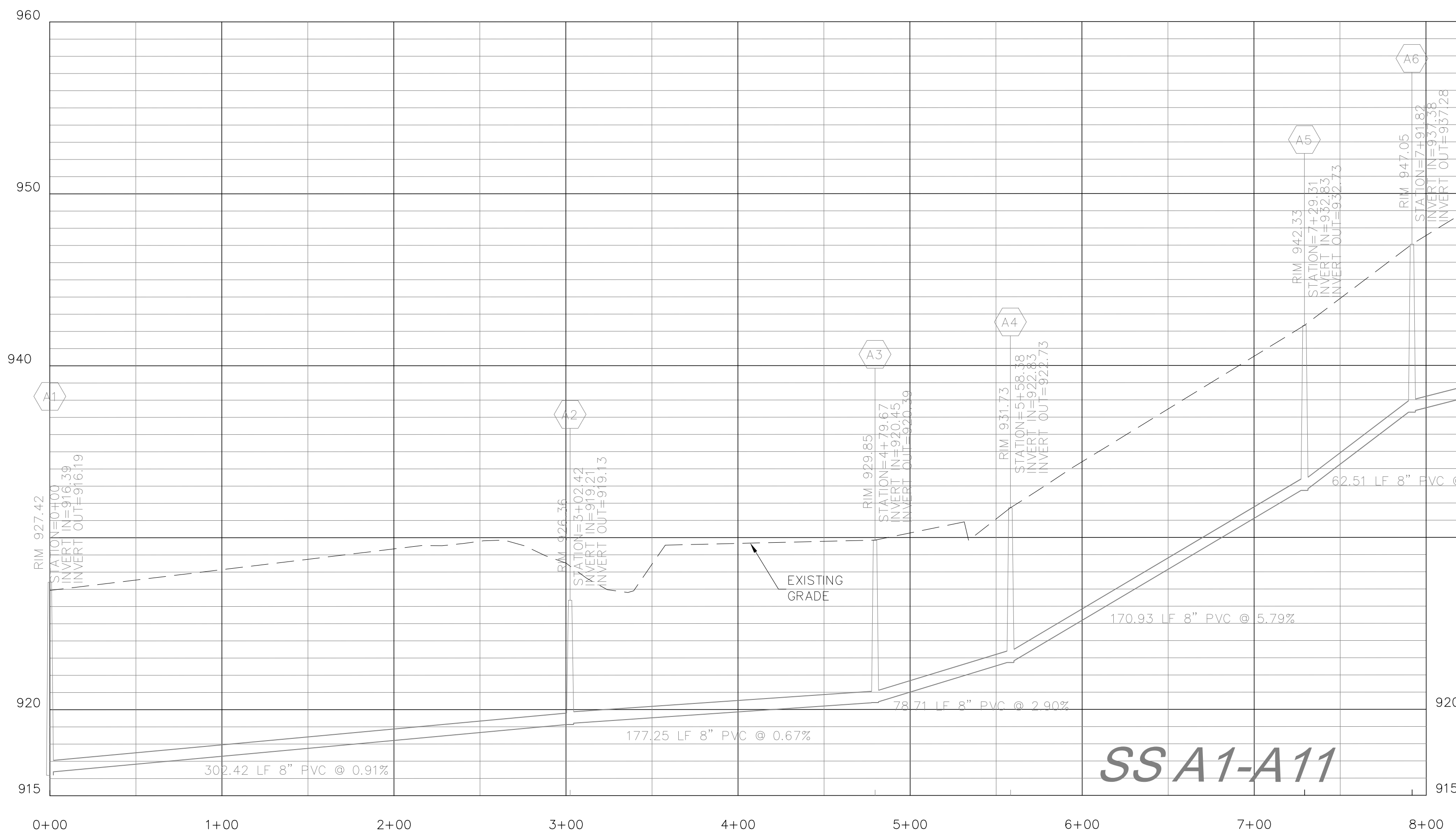
**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

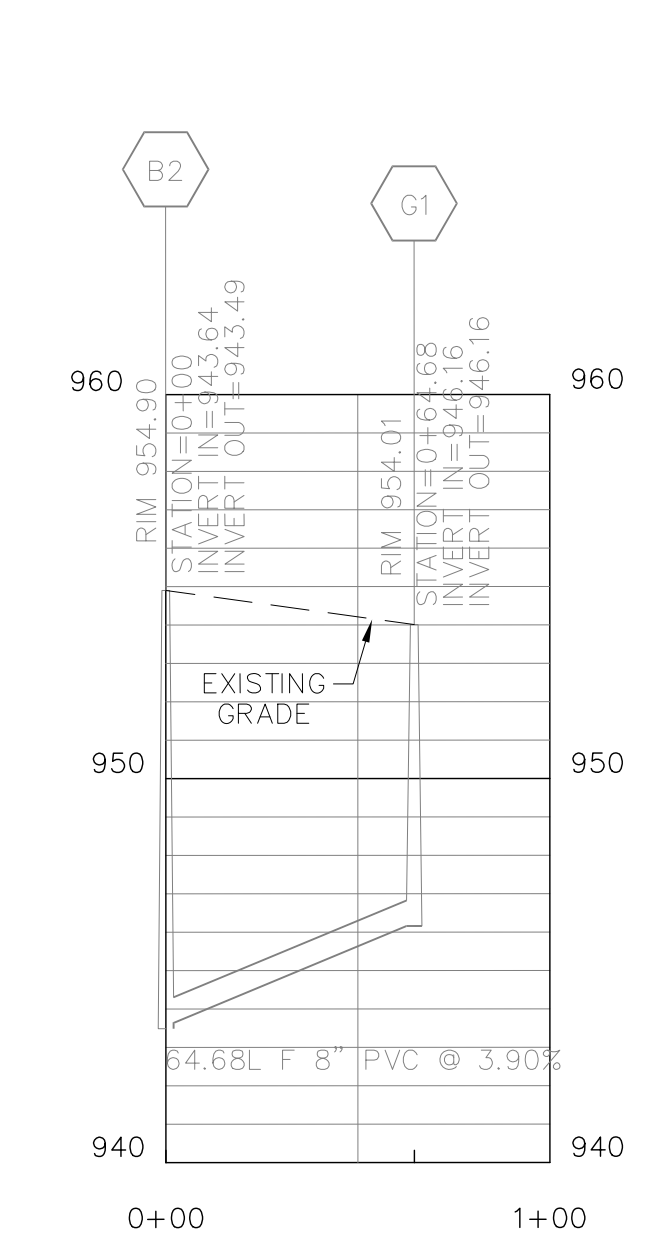
Job No. 21-014  
**C-3.2**

**NOTE:**

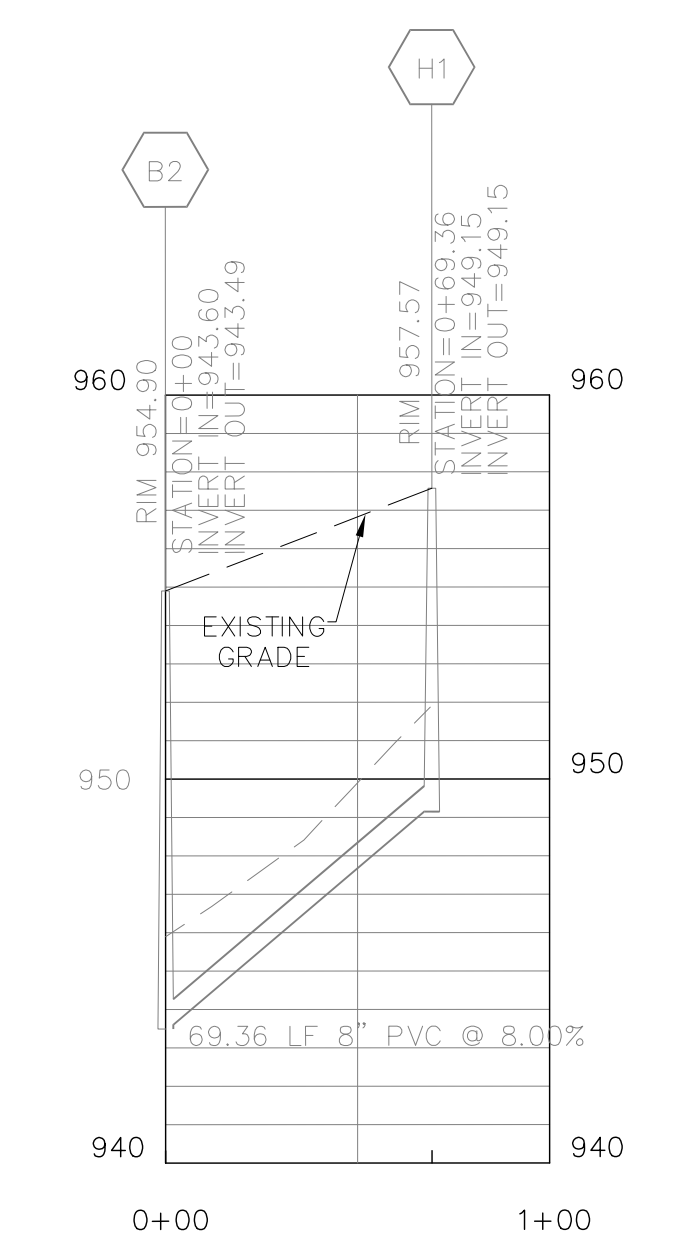
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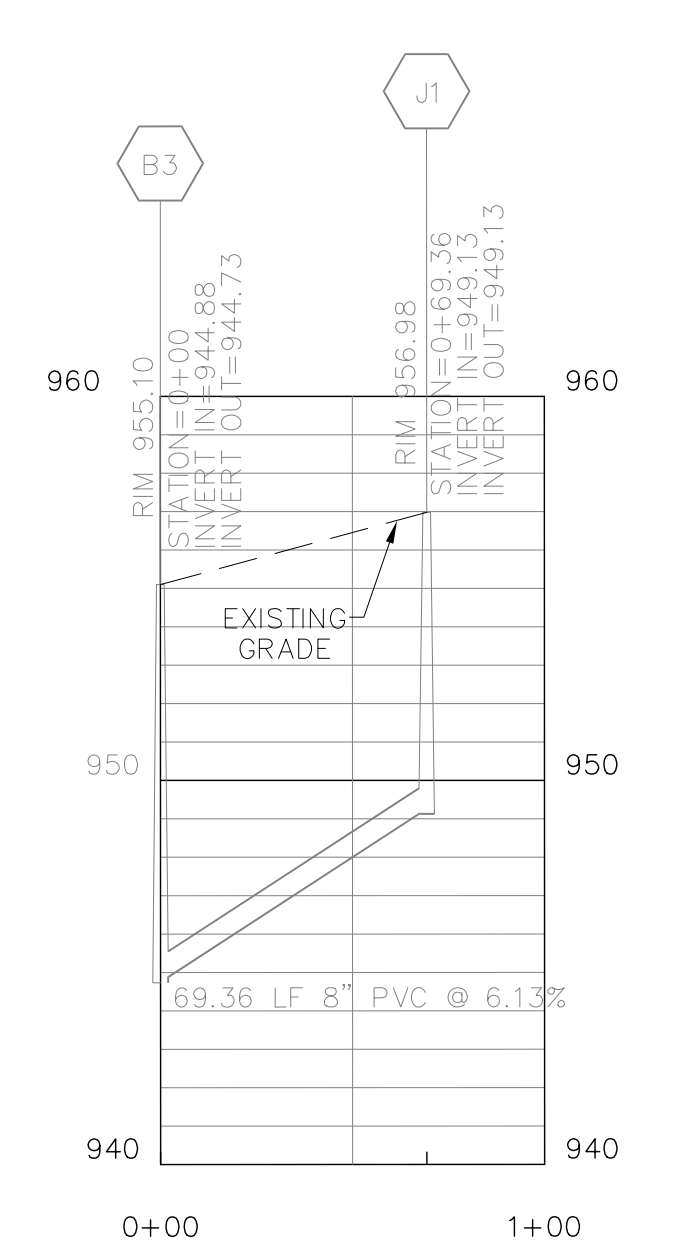
**EXISTING SEWER LINES A1-A11**



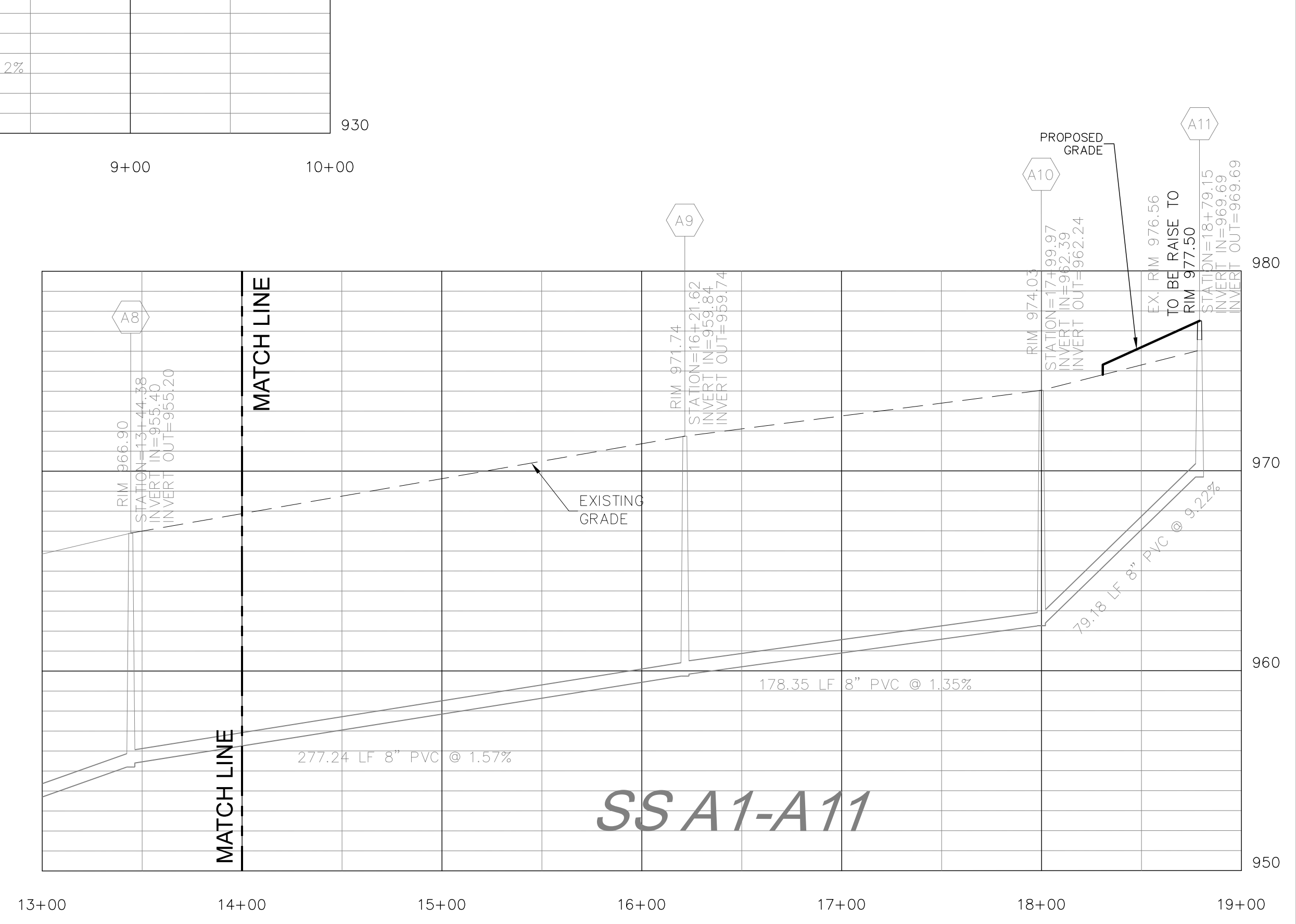
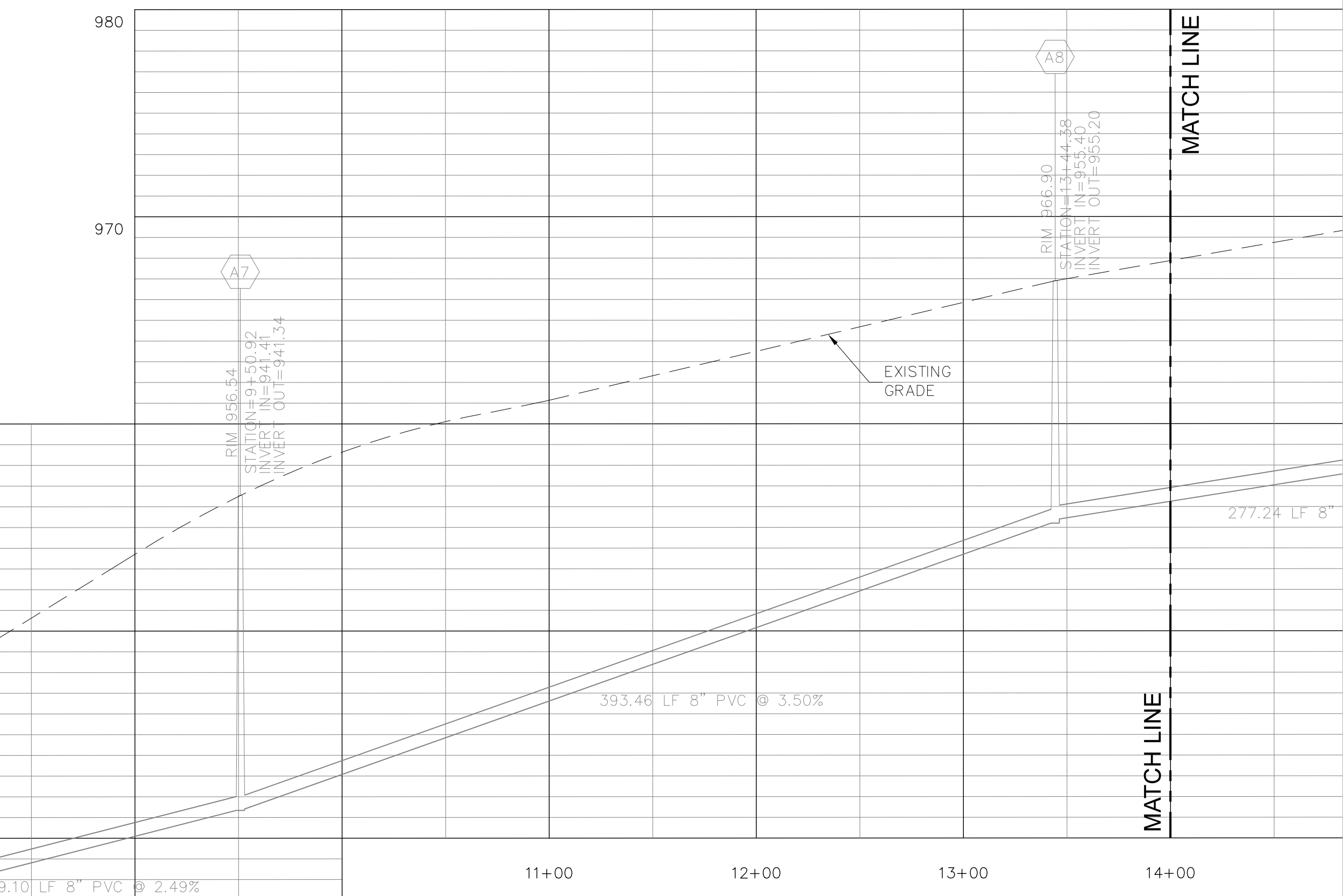
**EX. SS B2-G1**



**EX. SS B2-H1**



**EX. SS B3-J1**

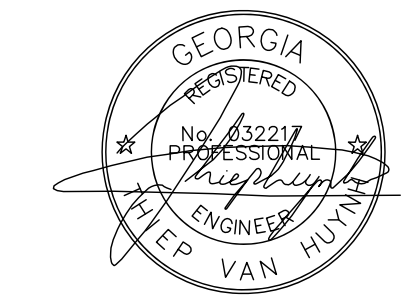


**EXISTING SEWER LINES A1-A11**

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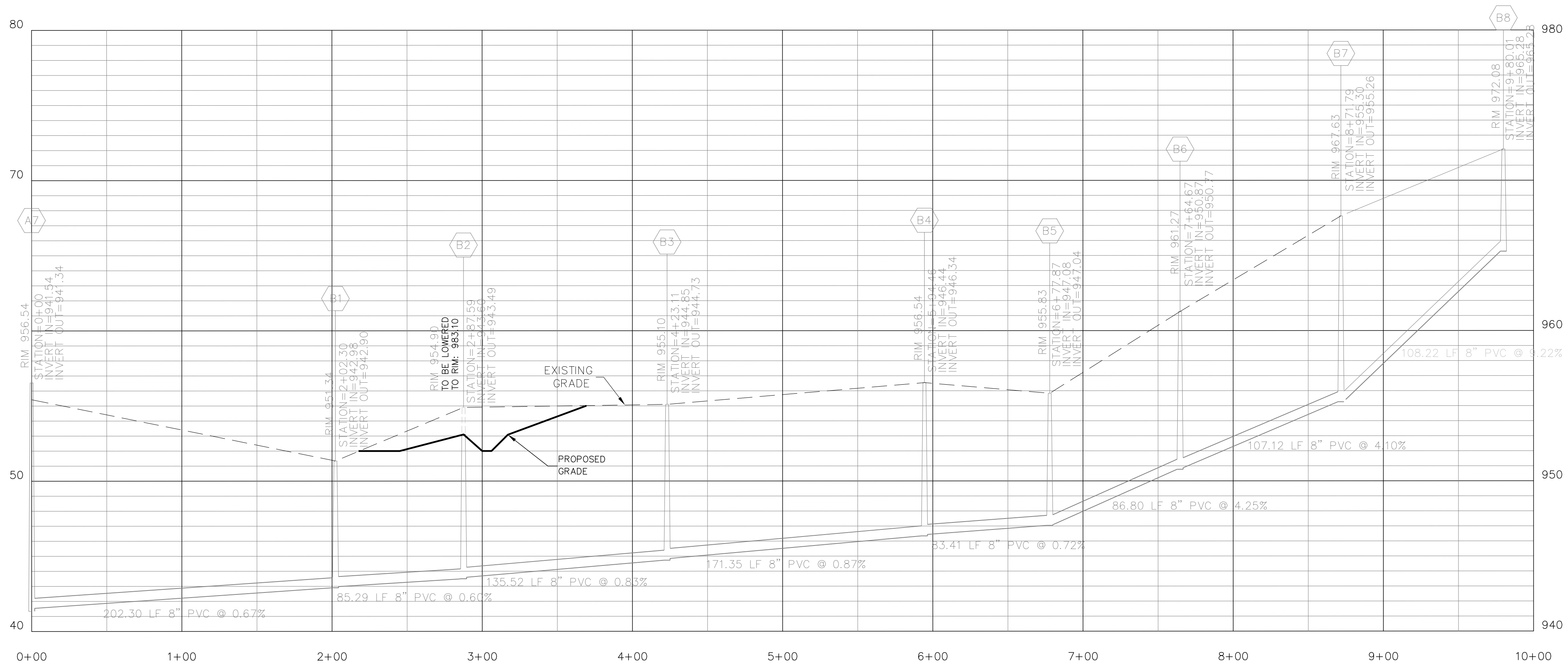
24 HOUR - EMERGENCY CONTACT  
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**REVISIONS**

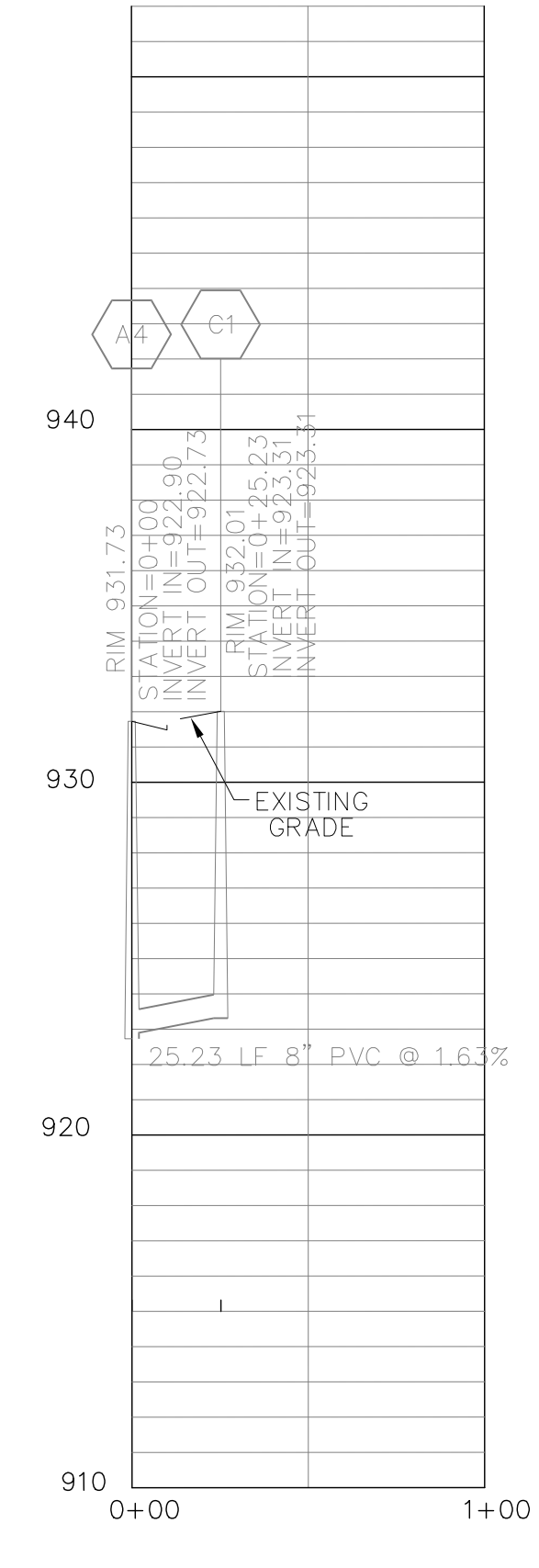
NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
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Job No. 21-014

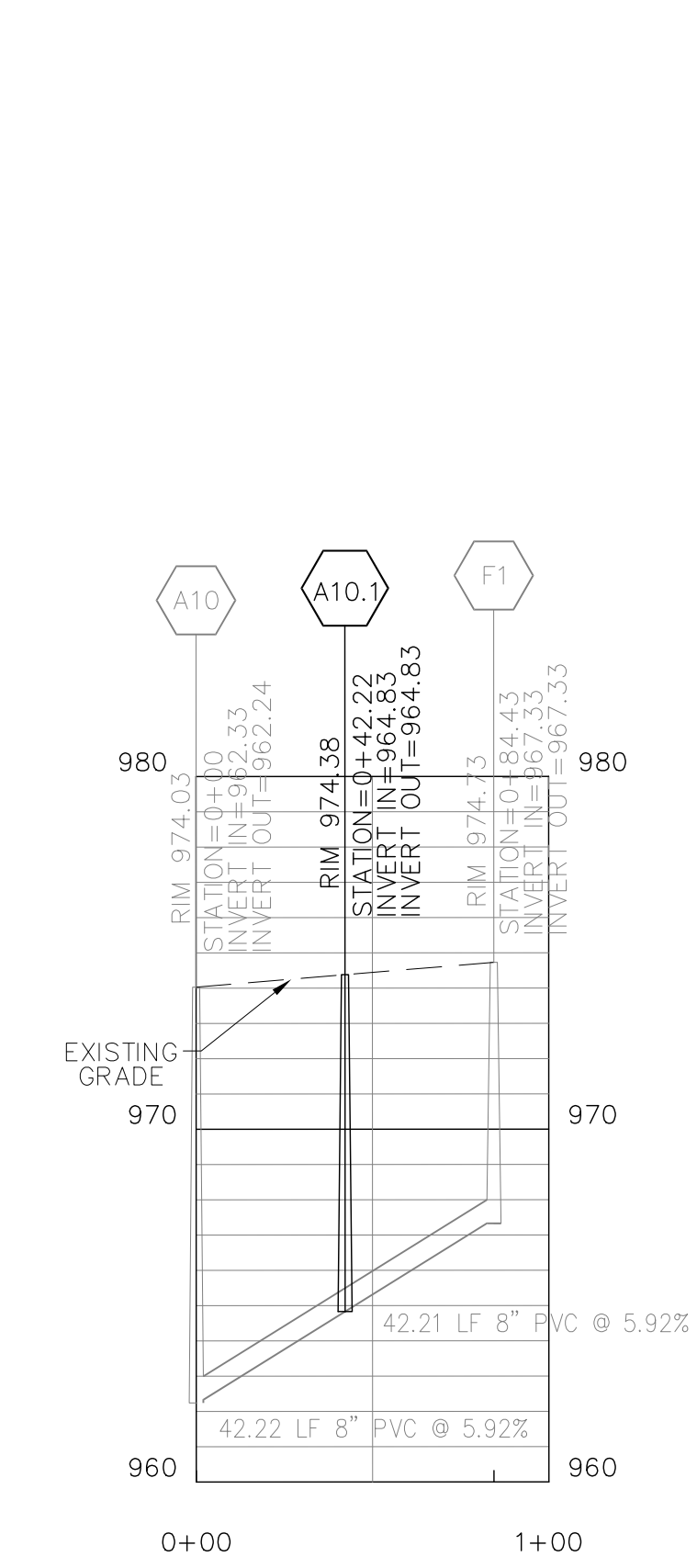
C-3.3



**EXISTING SEWER LINES A7-B8**



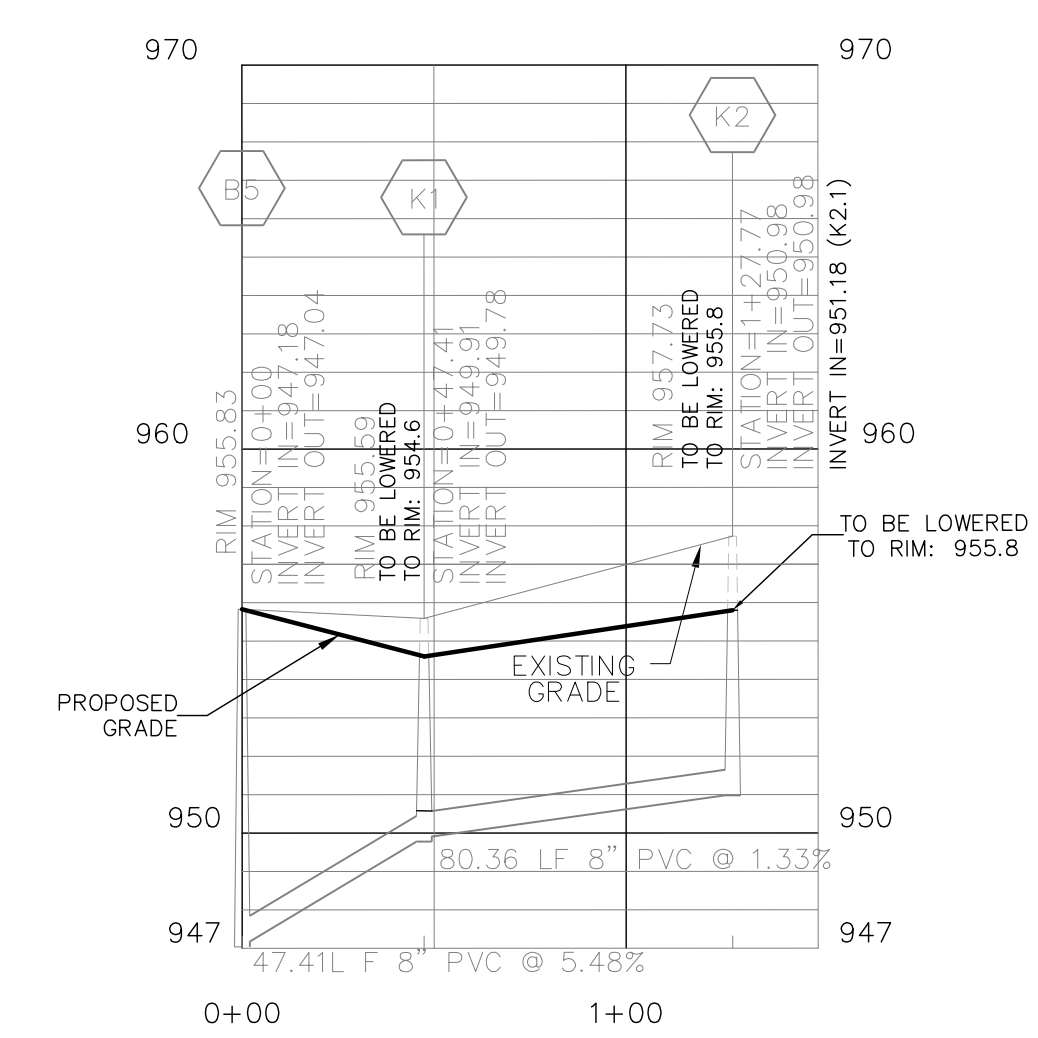
**EX. SS A4-C1**



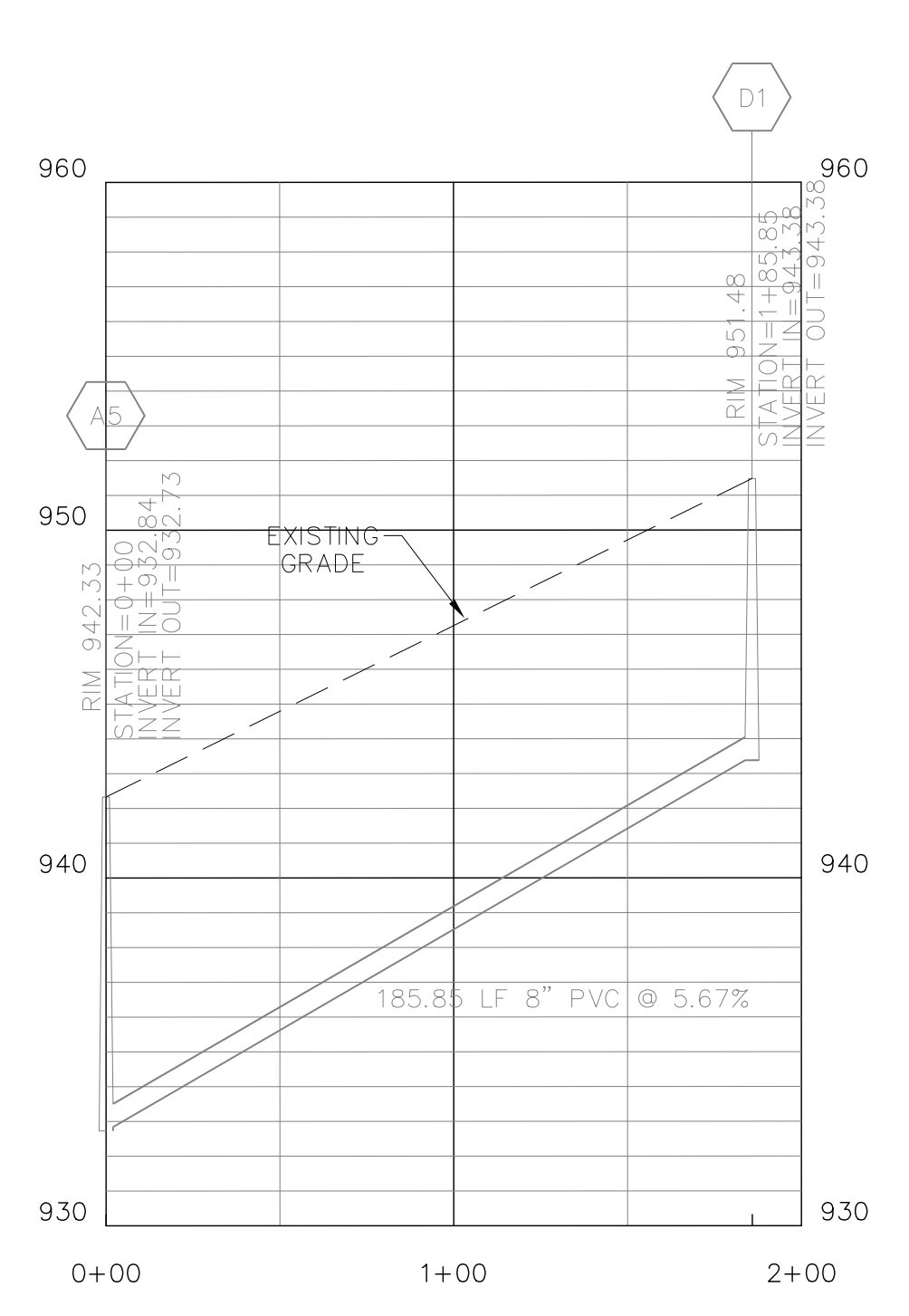
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**NOTE:**

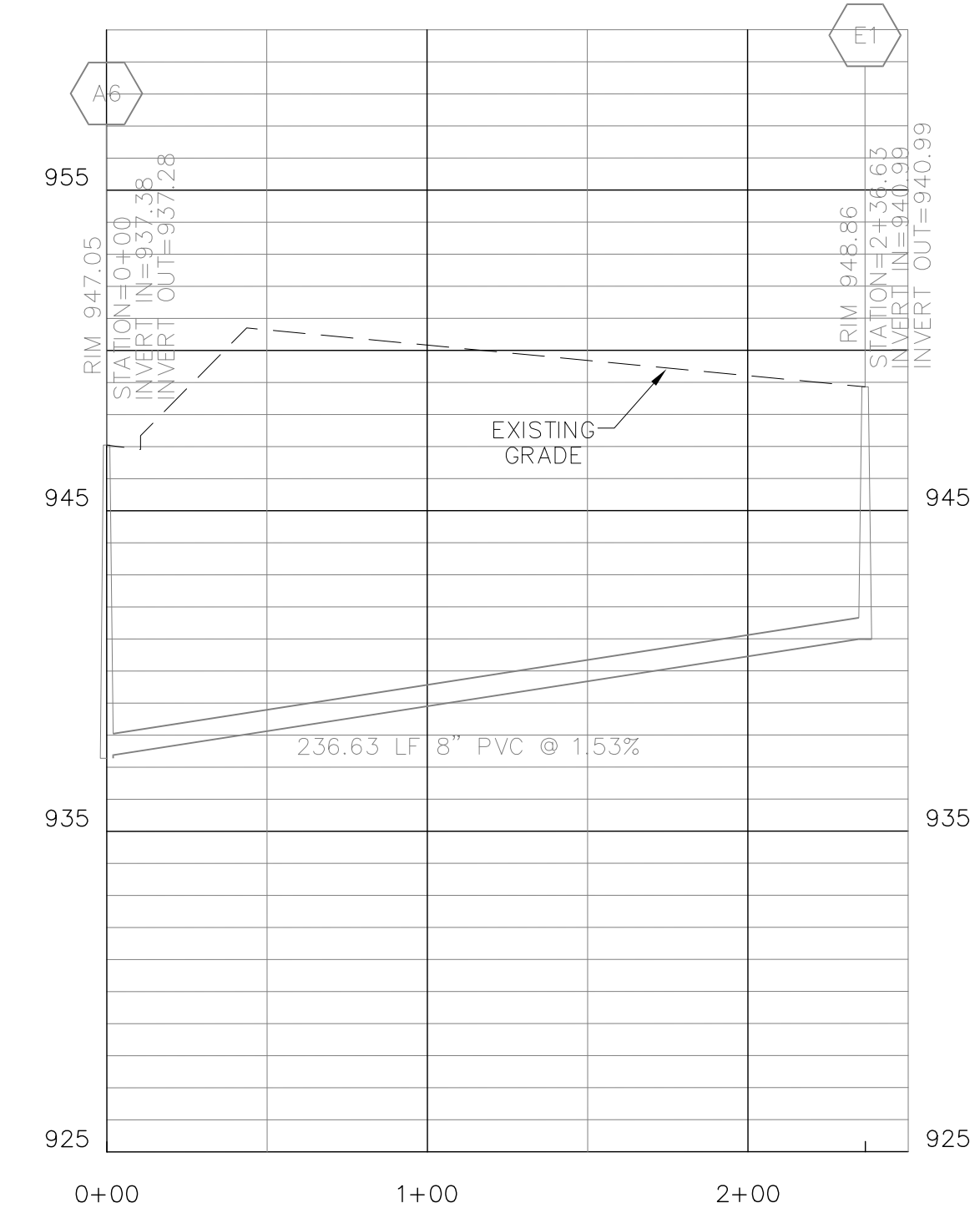
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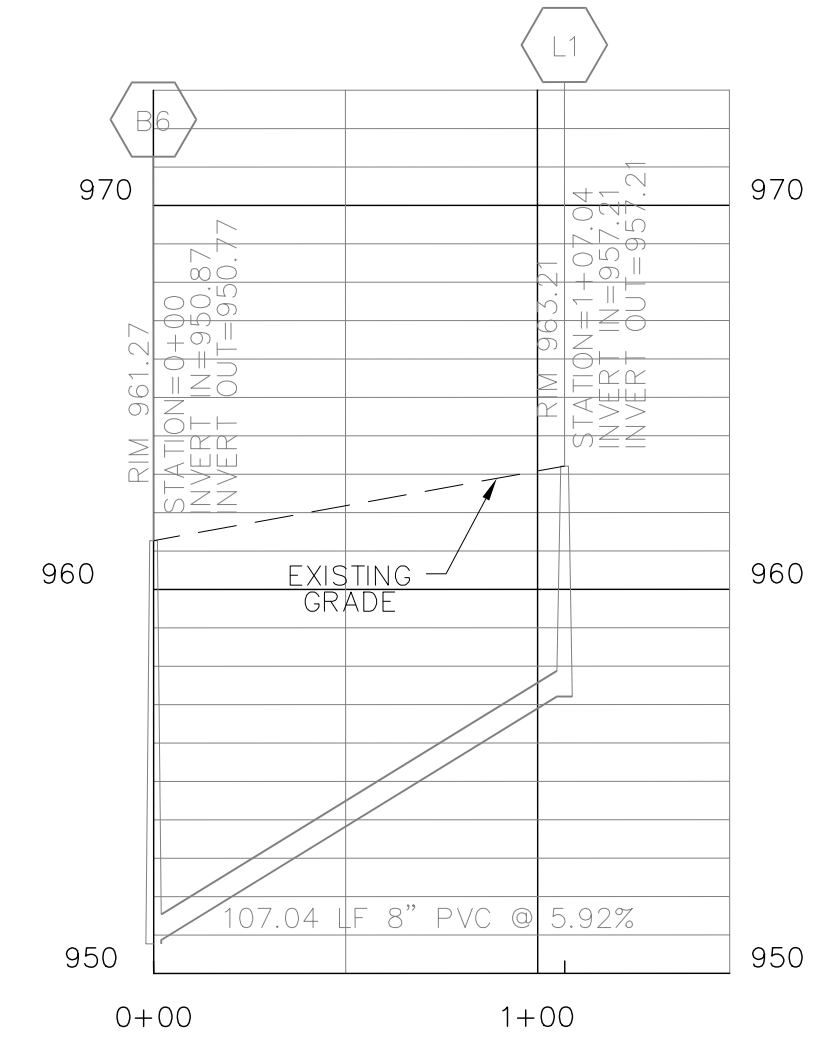
**EX. SS B5-K2**



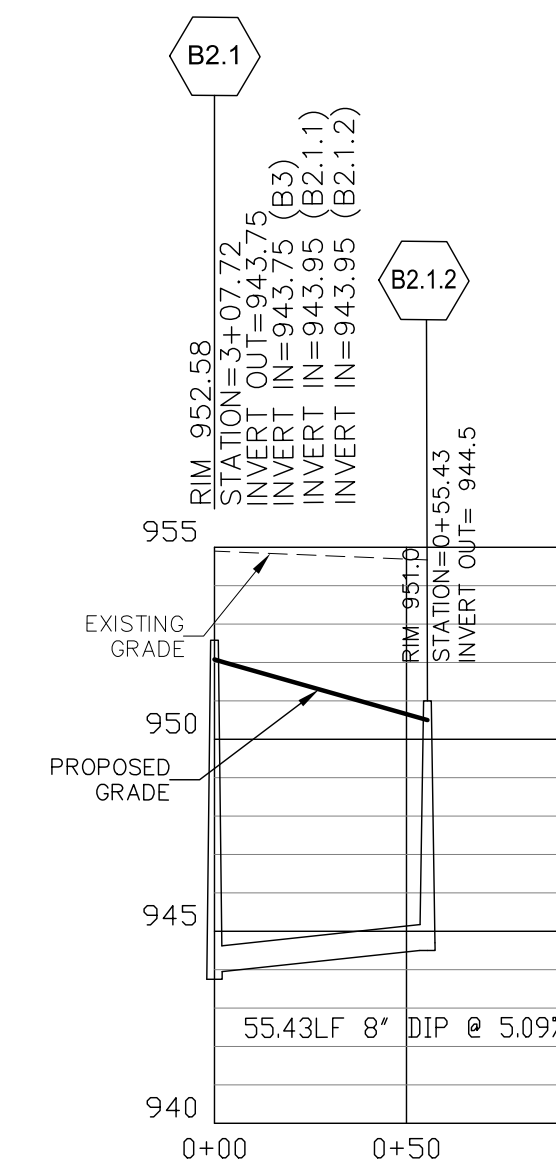
**EX. SS A5-D1**



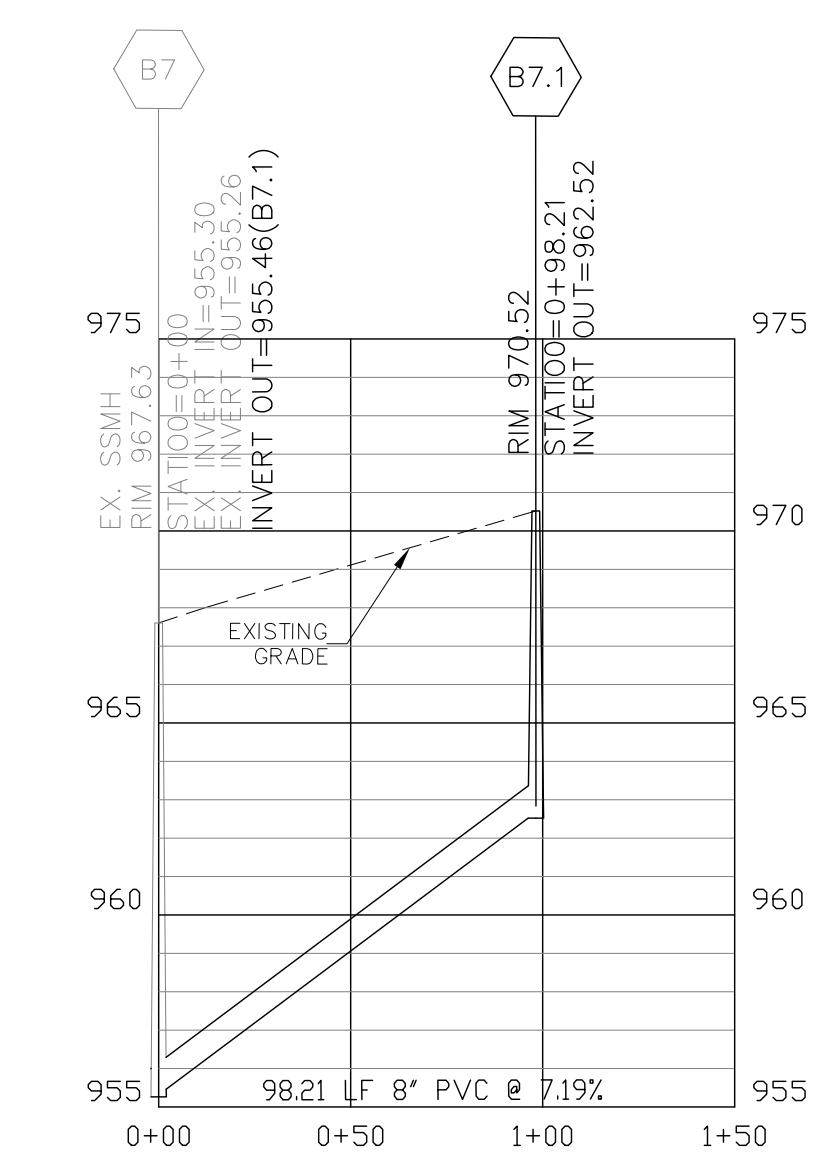
**EX. SS A6-E1**



**EX. SS B6-L1**



**SEWERLINE MH B2.1 - MH B2.1.2**



**SEWERLINE EX. MH B7 - MH B7.1**

E&S CERTIFICATIONS

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

12 I CERTIFY THAT I, AS THE PROFESSIONAL WHO PREPARED THE E&S&P PLAN, WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

ENG. SIGNATURE DATE

13 I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA..."

THIEP V. HUYNH LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NO.: 0000011377 ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

48 RIPRAP APRON SUMMARY - PERMANENT

Table with 10 columns: HEADWALL ID, PIPE DIA. (Do), Q (cfs) 25 YEAR, V (fps) 25 YEAR, RIPRAP SIZE (d50), APRON LENGTH (Lo), WIDTH AT HW (W1), WIDTH AT END (W2), DEPTH (D). Rows include HW OCS 18" and HW OCS 24".

LENGTH OF RIP-RAP AREA SHALL BE A MINIMUM OF SIX TIMES THE DIAMETER OF STORM DRAIN WITH GEO-TEXTILE BENEATH.

9 EROSION & SEDIMENTATION CONTROL NARRATIVE

Project Description - The nature and purpose of this land disturbing activity is to construct 131 unit townhouse development on 17.82 acres in a previously developed site in the City of Loganville, Georgia.

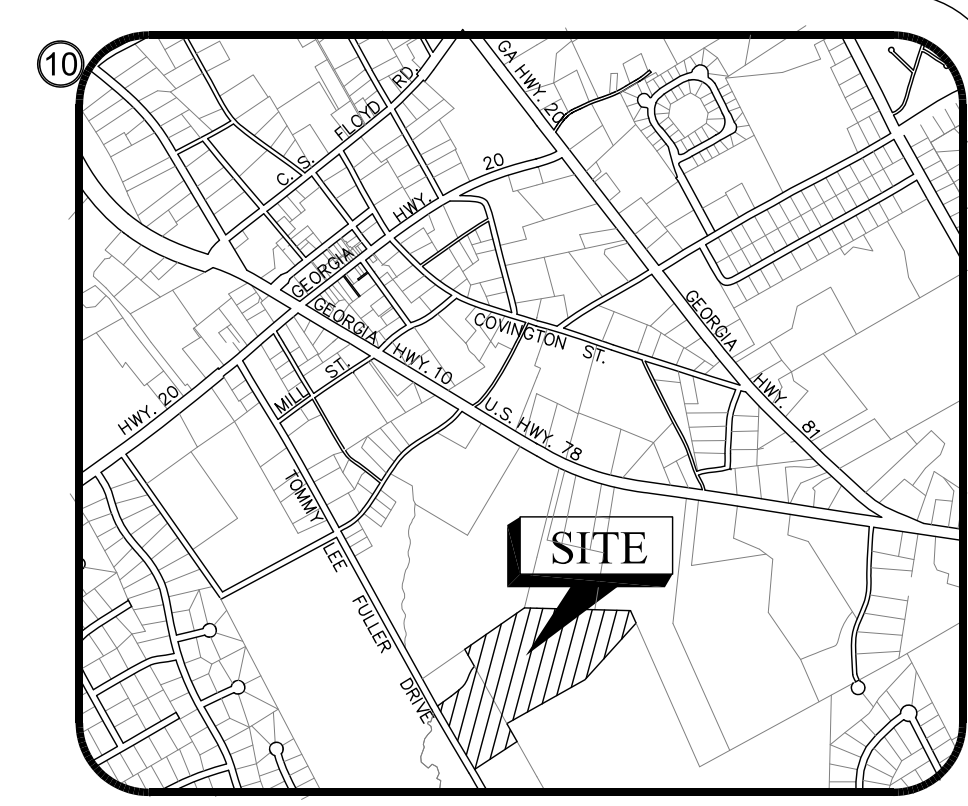
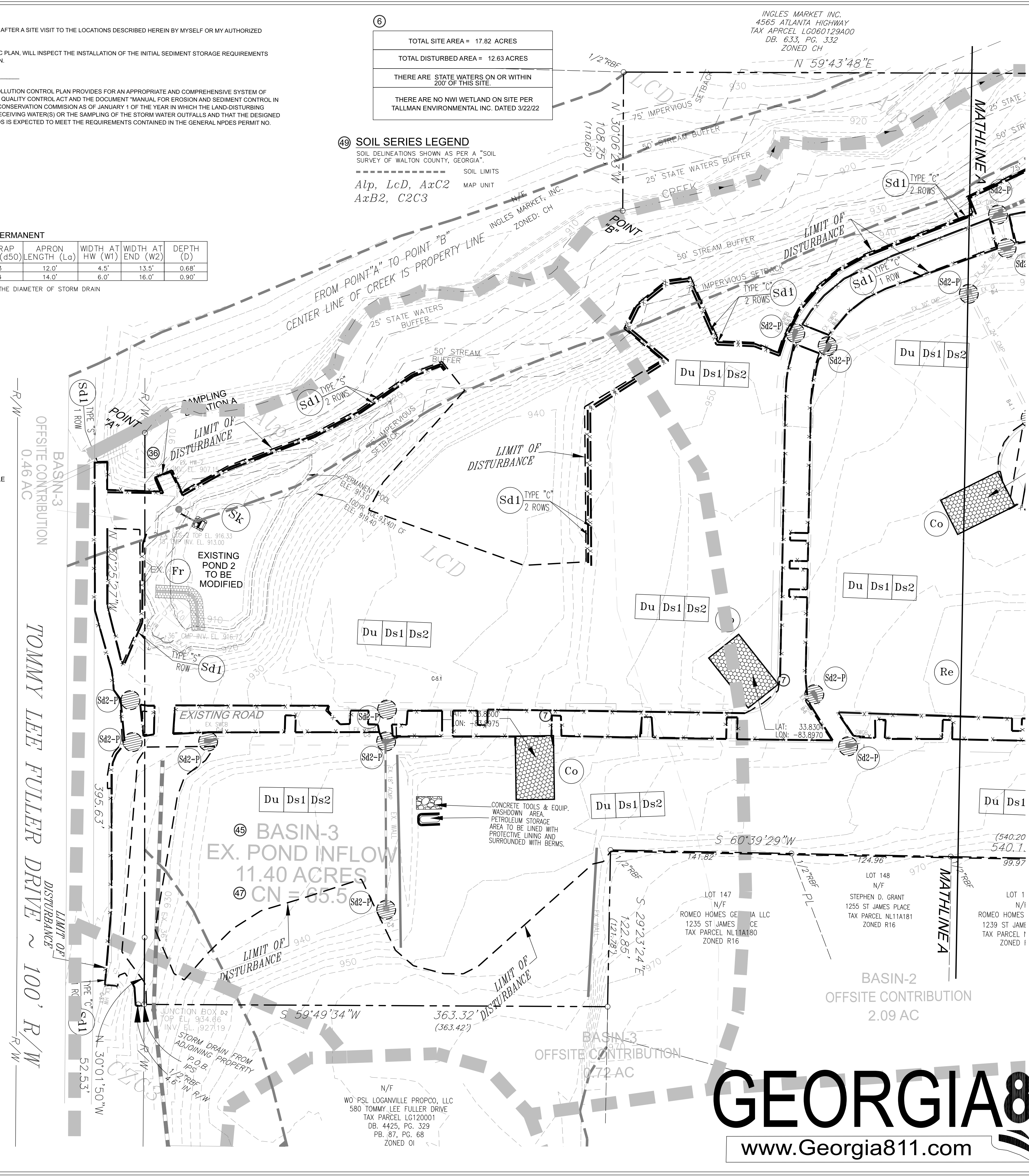
NOTE: 7 DAY LETTER MUST BE SUBMITTED TO THE CITY OF LOGANVILLE PLANNING AND DEVELOPMENT OFFICE AND SCHEDULE AN INITIAL PERIMETER BMP INSPECTION BEFORE ANY EARTH MOVING OR CLEARING IS TO BE DONE.

Summary table: TOTAL SITE AREA = 17.82 ACRES, TOTAL DISTURBED AREA = 12.63 ACRES, THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE, THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

49 SOIL SERIES LEGEND

SOIL DELINEATIONS SHOWN AS PER A "SOIL SURVEY OF WALTON COUNTY, GEORGIA". Alp, LcD, ArC2, ArB2, C2C3

CREEK CALLS FROM POINT "A" TO POINT "B" table with columns: Course, Bearing, Distance. Lists 37 courses from L1 to L37.



VICINITY MAP N.T.S.

EROSION CONTROL LEGEND STRUCTURAL PRACTICES

Table with 5 columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION. Lists practices like Co (Construction Exit), Sd1 (Sediment Barrier), Sd2 (Sediment Trap), St (Storm Drain Outlet Protection), Sk (Flattening Surface Skimmer), and Re (Retaining Wall).

EROSION CONTROL LEGEND VEGETATIVE PRACTICES

Table with 5 columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION. Lists practices like Ds1 (Disturbed Area Stabilization), Ds2 (Disturbed Area Stabilization/Temporary Seeding), Ds3 (Disturbed Area Stabilization/Permanent Seeding), Du (Dust Control), Ss (Slope Stabilization), and Fl-Co (Floodculants/Coagulants).

30 CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE

Activity schedule table with columns: TASK, MONTH, WEEK. Lists tasks like 'INSTALLATION OF CO AND TRUCK WASH AREA' and 'GRADING' over a 5-week period.

ANTICIPATED START DATE SEP 1, 2022 ANTICIPATED COMPLETION DATE JAN. 31, 2023

A.C.E. ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, LLC. P.O.C. TIP HUYNH, P.E. 485 Edwards Rd. Oxford, Georgia 30054 Phone: 770-466-4002 tipacelc@gmail.com

Professional Engineer Seal for Thiép V. Huynh, No. 83227, State of Georgia.

INITIAL EROSION AND SEDIMENT CONTROL PLAN LOGAN MIAMI TOWNHOUSES PARCEL: LG060129B00 LAND LOT: 185 DISTRICT: 4TH TOMMY LEE FULLER DRIVE CITY OF LOGANVILLE, GA

DATE: 02/22/2021 SCALE: 1"=40'

OWNER/PERMITTEE LOGAN MIAMI, LLC. 145 HOUSE WAY ROSWELL, GA 30076 STEVE ALLEN 678-575-7041 steveallenco@gmail.com

REVISIONS table with columns: NO., DATE, DESCRIPTION. Lists 8 revisions from 08/15/22 to 03/19/25.

Job No. 21-014 C-4.1A

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**E&S&C CERTIFICATIONS**

- 1 I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
- 2 I CERTIFY THAT I, AS THE PROFESSIONAL WHO PREPARED THE E&S&C PLAN, WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
- 3 I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

THIEP V. HUYNH  
LEVEL II CERTIFIED DESIGN PROFESSIONAL  
CERTIFICATION NO.: 0000011377  
ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

9 EROSION & SEDIMENTATION CONTROL NARRATIVE  
Project Description - The nature and purpose of this land disturbing activity is to construct 131 unit townhouse development on 17.82 acres in a previously developed site in the City of Loganville, Georgia. Zoning jurisdiction is through City of Loganville as RM-8. The flow from the project is collected in previously designed stormwater system and taken to the two existing stormwater ponds designed and built for the project and discharges to a creek flowing south along the west portion of the property, which ultimately discharges into the Little Hoynes Creek, which are warm water fisheries streams. Area of grading land disturbance by construction is approximately 12.63 acres and 5,000 CY of dirt displaced. Existing Site Conditions - Existing conditions consist of previously graded area with some existing infrastructures to be demolished.

TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.63 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

48 RIPRAP APRON SUMMARY - PERMANENT

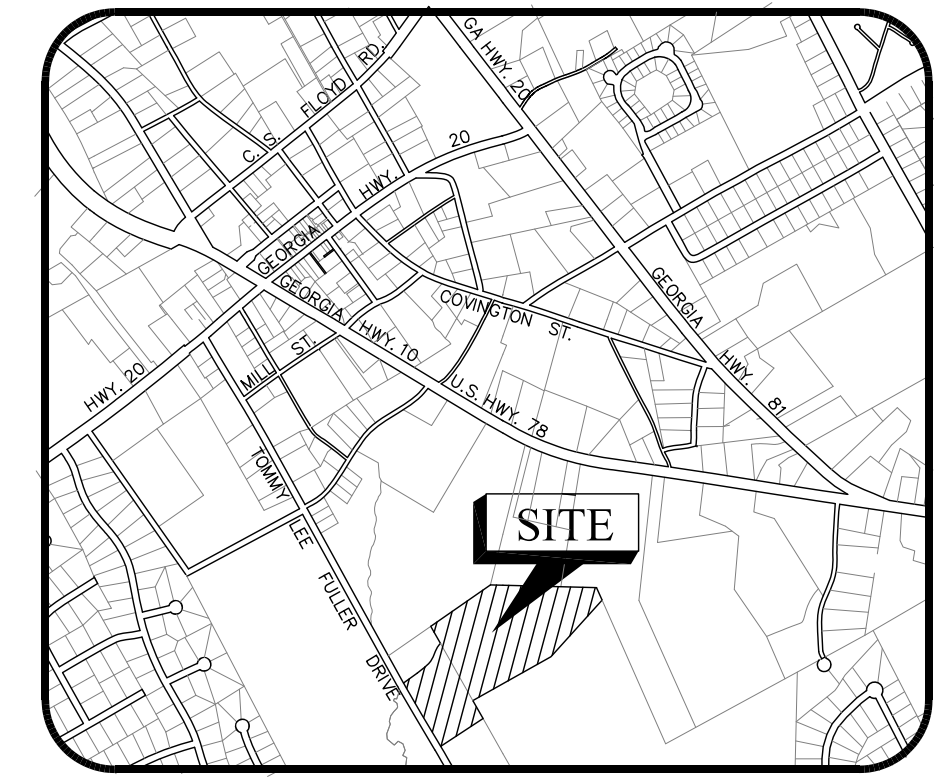
HEADWALL ID	PIPE DIA. (Do)	Q (cfs) 25 YEAR	V (fps) 25 YEAR	RIPRAP SIZE (d50)	APRON LENGTH (Lo)	WIDTH AT HW (W1)	WIDTH AT END (W2)	DEPTH (D)
HW OCS	18"	19.46 cfs	11.10 fps	0.3	12.0'	4.5'	13.5'	0.68'
HW OCS	24"	30.11 cfs	9.59 fps	0.4	14.0'	6.0'	16.0'	0.90'

LENGTH OF RIP-RAP AREA SHALL BE A MINIMUM OF SIX TIMES THE DIAMETER OF STORM DRAIN WITH GEO-TEXTILE BENEATH.

30 CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE

TASK	MONTH				
	1	2	3	4	5
INSTALLATION OF CO AND TRUCK WASH AREA					
INSTALLATION OF PETROLEUM STORAGE AREA					
INSTALLATION OF SEE SLOPE PERIMETER TO PROJECT AND SEDIMENT FACILITY					
CLEAR & GRUB					
GRADING					
TEMP & FINAL GRASS & MULCHING					
UTILITY INSTALLATION					
CURB AND PAVING INSTALLATION					
MAINTAIN EROSION CONTROL					
FINAL LANDSCAPING, GRASSING, CLEANING OF STORM DRAIN, ETC.					

ANTICIPATED START DATE APR. 1, 2021  
ANTICIPATED COMPLETION DATE SEP. 30, 2021



10 VICINITY MAP N.T.S.

39 SOIL SERIES LEGEND

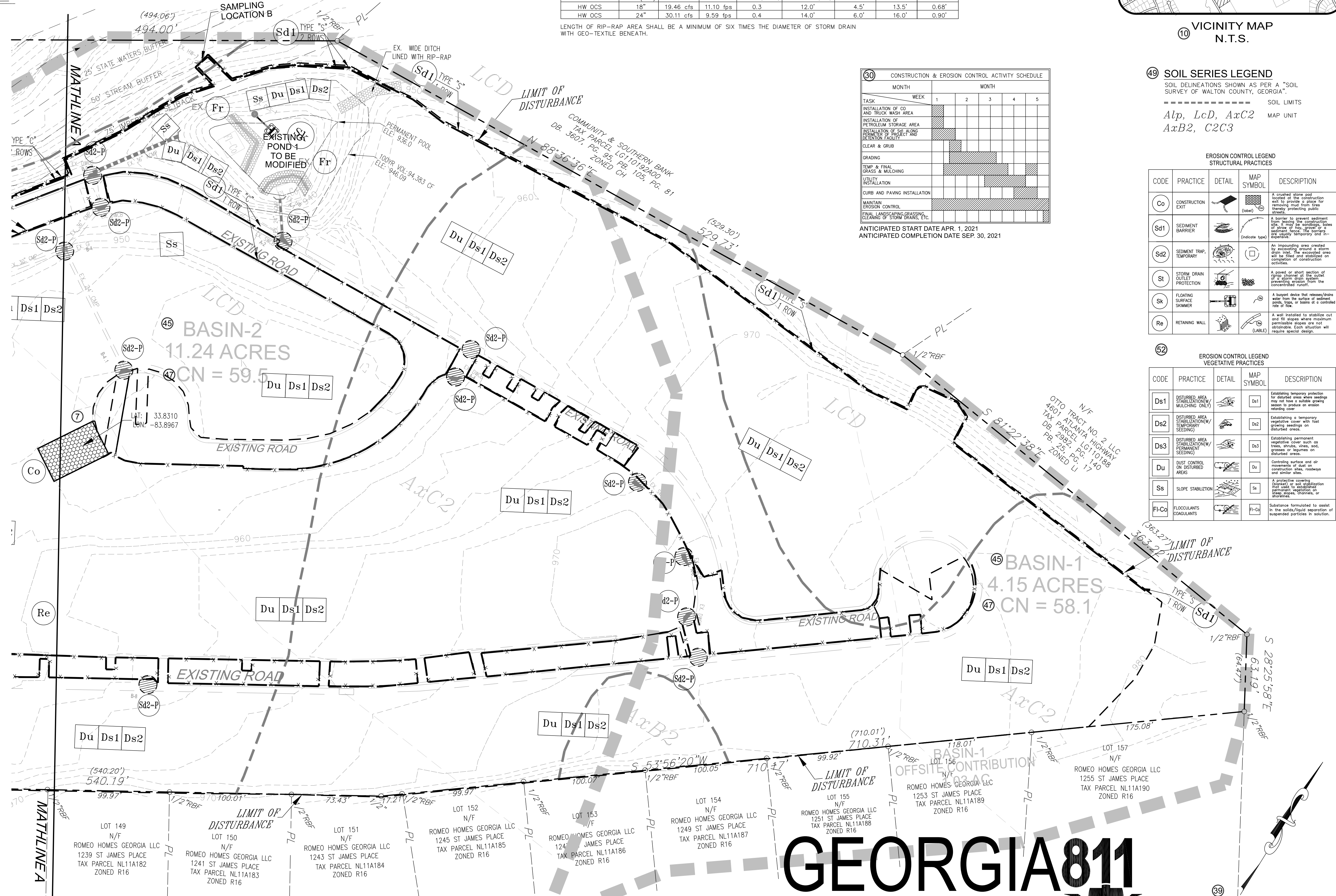
SOIL DELINEATIONS SHOWN AS PER A "SOIL SURVEY OF WALTON COUNTY, GEORGIA".  
----- SOIL LIMITS  
--- MAP UNIT  
Alp, LcD, AxC2  
AzB2, C2C3

EROSION CONTROL LEGEND STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A crushed stone pad located at the construction exit to provide a stable surface thereby protecting public streets.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. The structure is made of fabric or geotextile fabric and is usually temporary and is-removable.
Sd2	SEDIMENT TRAP, TEMPORARY			An impounding area created by excavating around a storm drain inlet. The excavated area will be filled and stabilized on completion of construction activities.
St	STORM DRAIN SLOTTED PROTECTION			A board or short section of pipe placed at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Sk	FLOATING SURFACE SUMMER			A device that releases/drops water from the surface of sediment traps, sumps or basins at a controlled rate or flow.
Re	RETAINING WALL			A wall structure to stabilize cut and fill slopes where maximum permissible slope are not obtainable. Each situation will require special design.

EROSION CONTROL LEGEND VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION (MULCHING ONLY)			Establishing temporary protection for disturbed areas where mulching may not be a suitable growing medium to produce an erosion-retarding cover.
Ds2	DISTURBED AREA STABILIZATION (SEEDING)			Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION (PERMANENT SEEDING)			Establishing permanent vegetative cover such as trees, shrubs, vines, and grasses or squares on disturbed areas.
Du	DUST CONTROL ON DISTURBED AREAS			Containing surface and soil movements of dust on construction sites, roadways and similar sites.
Ss	SLOPE STABILIZATION			A protective covering (Geotextile) or soil stabilization and seeding to stabilize the exposed soil, erosion, or windblown.
Fl-Co	FLOCCULANTS/COAGULANTS			Substance formulated to assist in the solid/liquid separation of suspended particles in solution.



**A.C.E.**  
ALCOVY CONSULTING ENGINEERING AND ASSOCIATES, LLC.  
P.O.C. TIP HUYNH, P.E.  
485 Edwards Rd.  
Oxford, Georgia 30054  
Phone: 770-466-4002  
tipacell@gmail.com  
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**INITIAL EROSION AND SEDIMENT CONTROL PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-4.1B**

**GEORGIA811**  
www.Georgia811.com



E&S CERTIFICATIONS

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

12 I CERTIFY THAT I, AS THE PROFESSIONAL WHO PREPARED THE E&S&P PLAN, WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

ENG. SIGNATURE DATE

13 I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA..."

THIEP V. HUYNH LEVEL II CERTIFIED DESIGN PROFESSIONAL CERTIFICATION NO.: 0000011377 ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

48 RIPRAP APRON SUMMARY - PERMANENT

Table with 10 columns: HEADWALL ID, PIPE DIA. (Do), Q (cfs) 25 YEAR, V (fps) 25 YEAR, RIPRAP SIZE (d50), APRON LENGTH (Lo), WIDTH AT HW (W1), WIDTH AT END (W2), DEPTH (D). Rows include HW OCS 18" and HW OCS 24".

LENGTH OF RIP-RAP AREA SHALL BE A MINIMUM OF SIX TIMES THE DIAMETER OF STORM DRAIN WITH GEO-TEXTILE BENEATH.

9 EROSION & SEDIMENTATION CONTROL NARRATIVE

Project Description - The nature and purpose of this land disturbing activity is to construct 131 unit townhouse development on 17.82 acres in a previously developed site in the City of Loganville, Georgia.

NOTE: 7 DAY LETTER MUST BE SUBMITTED TO THE CITY OF LOGANVILLE PLANNING AND DEVELOPMENT OFFICE AND SCHEDULE AN INITIAL PERIMETER BMP INSPECTION BEFORE ANY EARTH MOVING OR CLEARING IS TO BE DONE.

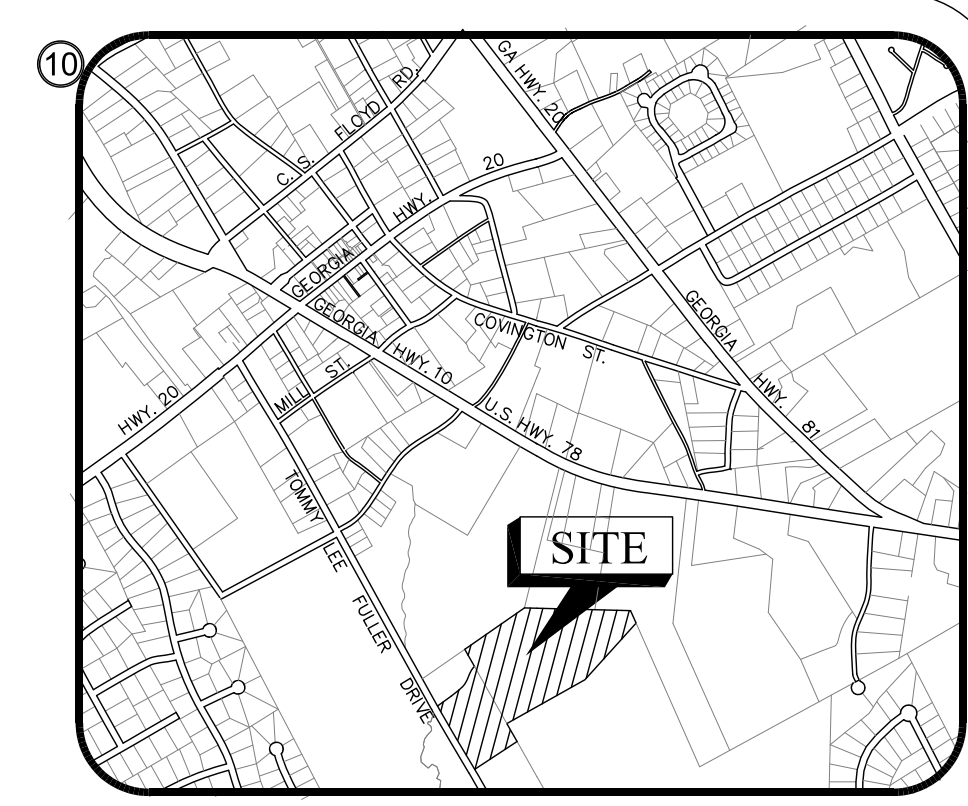
Site statistics table: TOTAL SITE AREA = 17.82 ACRES, TOTAL DISTURBED AREA = 12.63 ACRES, THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE, THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

49 SOIL SERIES LEGEND

SOIL DELINEATIONS SHOWN AS PER A "SOIL SURVEY OF WALTON COUNTY, GEORGIA". Alp, LcD, ArC2, ArB2, C2C3

CREEK CALLS FROM POINT "A" TO POINT "B" table with columns: Course, Bearing, Distance. Lists 17 courses from L1 to L17.

TOMMY LEE FULLER DRIVE ~ 100' R/W



VICINITY MAP N.T.S.

EROSION CONTROL LEGEND STRUCTURAL PRACTICES table with columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION. Includes Co, Sd1, Sd2, St, Sk, Re.

EROSION CONTROL LEGEND VEGETATIVE PRACTICES table with columns: CODE, PRACTICE, DETAIL, MAP SYMBOL, DESCRIPTION. Includes Ds1, Ds2, Ds3, Du, Ss, Fl-Co.

CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE table with columns: TASK, MONTH, WEEK. Lists tasks like 'INSTALLATION OF CO AND TRUCK WASH AREA' and 'FINAL LANDSCAPING'.

GEORGIA811 logo and website address www.Georgia811.com



A.C.E. ALCOY CONSULTING ENGINEERING AND ASSOCIATES, LLC. P.O.C. TIP HUYNH, P.E. 485 Edwards Rd. Oxford, Georgia 30054

Professional Engineer Seal for Thiép V. Huynh, No. 83221, State of Georgia.

INTERMEDIATE EROSION AND SEDIMENT CONTROL PLAN

LOGAN MIAMI TOWNHOUSES

PARCEL: LG060129B00 LAND LOT: 185 DISTRICT: 4TH TOMMY LEE FULLER DRIVE CITY OF LOGANVILLE, GA

DATE: 02/22/2021 SCALE: 1"=40'

OWNER/PERMITTEE LOGAN MIAMI, LLC. 145 HOUSE WAY ROSWELL, GA 30076 STEVE ALLEN 678-575-7041 steveallenco@gmail.com

REVISIONS table with columns: NO., DATE, DESCRIPTION. Lists 8 revisions from 08/15/22 to 03/19/25.

Job No. 21-014 C-4.2A

**E&S CERTIFICATIONS**

I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.

12 I CERTIFY THAT I, AS THE PROFESSIONAL WHO PREPARED THE ES&PC PLAN, WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.

ENG. SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

13 I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

THIEP V. HUYNH  
LEVEL II CERTIFIED DESIGN PROFESSIONAL  
CERTIFICATION NO.: 0000011377  
ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

9 EROSION & SEDIMENTATION CONTROL NARRATIVE  
Project Description - The nature and purpose of this land disturbing activity is to construct 131 unit townhouse development on 17.82 acres in a previously developed site in the City of Loganville, Georgia. Zoning jurisdiction is through City of Loganville as RM-8. The flow from the project is collected in previously designed stormwater system and taken to the two existing stormwater ponds designed and built for the project and discharges to a creek flowing south along the west portion of the property, which ultimately discharges into the Little Hoynes Creek, which are warm water fisheries streams. Area of grading land disturbance by construction is approximately 12.63 acres and 5,000 CY of dirt displaced.  
Existing Site Conditions - Existing conditions consist of previously graded area with some existing infrastructures to be demolished.

TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.63 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

48 RIPRAP APRON SUMMARY - PERMANENT

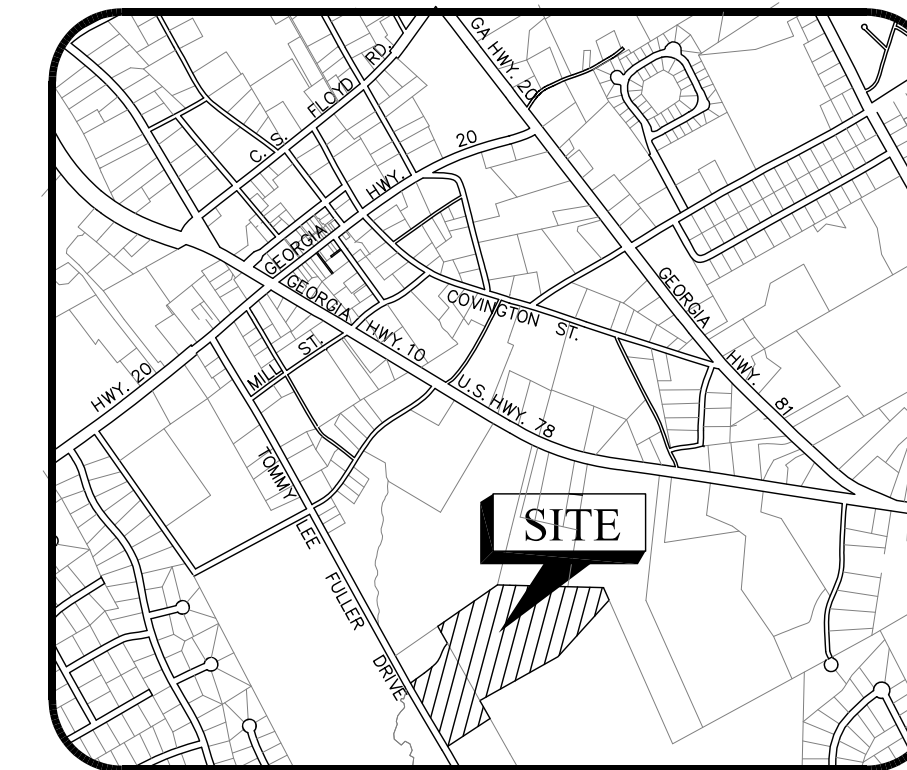
HEADWALL ID	PIPE DIA. (Do)	Q (cfs) 25 YEAR	V (fps) 25 YEAR	RIPRAP SIZE (d50)	APRON LENGTH (Lo)	WIDTH AT HW (W1)	WIDTH AT END (W2)	DEPTH (D)
HW OCS	18"	19.46 cfs	11.10 fps	0.3	12.0'	4.5'	13.5'	0.68'
HW OCS	24"	30.11 cfs	9.59 fps	0.4	14.0'	6.0'	16.0'	0.90'

LENGTH OF RIP-RAP AREA SHALL BE A MINIMUM OF SIX TIMES THE DIAMETER OF STORM DRAIN WITH GEO-TEXTILE BENEATH.

30 CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE

TASK	MONTH				
	1	2	3	4	5
INSTALLATION OF CO AND TRUCK WASH AREA					
INSTALLATION OF PETROLEUM STORAGE AREA					
REVISION OF SITE WORK PERMITTER BY PROJECT AND RESIDENTIAL					
CLEAR & GRUB					
GRADING					
TEMP & FINAL GRASS & MULCHING					
UTILITY INSTALLATION					
CURB AND PAVING INSTALLATION					
MAINTAIN EROSION CONTROL					
FINAL LANDSCAPING, GRASSING, CLEANING OF STORM DRAIN, ETC.					

ANTICIPATED START DATE APR. 1, 2021  
ANTICIPATED COMPLETION DATE SEP. 30, 2021



10 VICINITY MAP N.T.S.

39 SOIL SERIES LEGEND

SOIL DELINEATIONS SHOWN AS PER A "SOIL SURVEY OF WALTON COUNTY, GEORGIA".

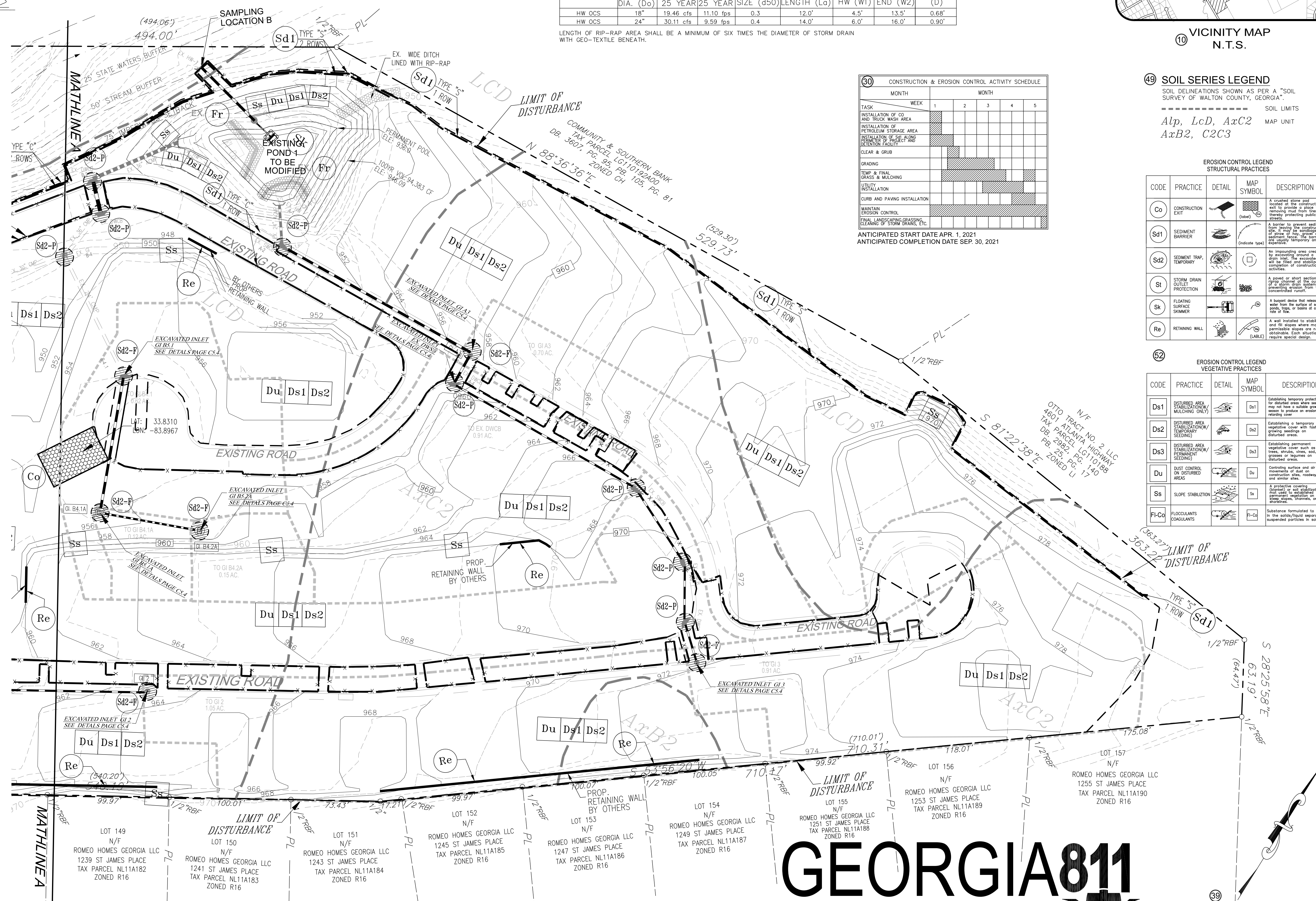
Alp, LcD, Ax2  
AzB2, C2C3

EROSION CONTROL LEGEND STRUCTURAL PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT			A roughed stone pad located at the construction exit to provide a stable surface to prevent erosion and sediment from leaving the site.
Sd1	SEDIMENT BARRIER			A barrier to prevent sediment from leaving the construction site. The structure is made of stone or concrete and is usually temporary and is-removable.
Sd2	SEDIMENT TRAP, TEMPORARY			An impounding area created by excavating around a storm drain inlet. The excavated area will be filled and stabilized on completion of construction activities.
St	STORM DRAIN OUTLET PROTECTION			A covered or short section of pipe placed at the outlet of a storm drain system preventing erosion from the concentrated runoff.
Sk	FLOATING SURFACE SUMMER			A device that releases/drops water from the surface of sediment ponds, traps, or basins at a controlled rate or time.
Re	RETAINING WALL			A wall structure to stabilize cut and fill slopes where maximum permissible slopes are not obtainable. Each situation will require special design.

EROSION CONTROL LEGEND VEGETATIVE PRACTICES

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION/ MULCHING ONLY			Establishing temporary protection for exposed soil areas which may not have a suitable growing season to produce an erosion-retarding cover.
Ds2	DISTURBED AREA STABILIZATION/ TEMPORARY SEEDING			Establishing a temporary vegetation cover such as grass, clover, or legumes on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION/ PERMANENT SEEDING			Establishing permanent vegetation cover such as trees, shrubs, vines, and grasses or legumes on disturbed areas.
Du	DUST CONTROL ON DISTURBED AREAS			Containing surface and soil movements of dust on construction sites, roadways and similar sites.
Ss	SLOPE STABILIZATION			A protective covering (concrete) or soil stabilization and erosion control techniques (Erosion control blankets, straw, or mulch) to stabilize slopes.
Fl-Co	FLOCCULANTS/ COAGULANTS			Substance formulated to assist in the solid/liquid separation of suspended particles in solution.



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INTERMEDIATE EROSION AND SEDIMENT CONTROL PLAN

**LOGAN MIAMI TOWNHOUSES**

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LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
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OWNER/PERMITTEE

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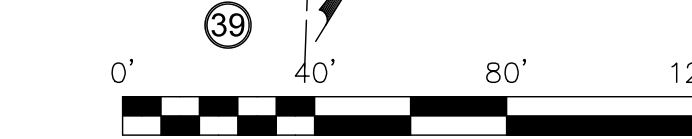
24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
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REVISIONS

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
C-4.2B

**GEORGIA811**  
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**E&S CERTIFICATIONS**

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THIEP V. HUYNH  
LEVEL II CERTIFIED DESIGN PROFESSIONAL  
CERTIFICATION NO.: 000001377  
ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

**48 RIPRAP APRON SUMMARY - PERMANENT**

HEADWALL ID	PIPE DIA. (Do)	Q (cfs) 25 YEAR	V (fps) 25 YEAR	RIPRAP SIZE (d50)	APRON LENGTH (Lo)	WIDTH AT HW (W1)	WIDTH AT END (W2)	DEPTH (D)
HW OCS	18"	19.46 cfs	11.10 fps	0.3	12.0'	4.5'	13.5'	0.68'
HW OCS	24"	30.11 cfs	9.59 fps	0.4	14.0'	6.0'	16.0'	0.90'

LENGTH OF RIP-RAP AREA SHALL BE A MINIMUM OF SIX TIMES THE DIAMETER OF STORM DRAIN WITH GEO-TEXTILE BENEATH.

**9 EROSION & SEDIMENTATION CONTROL NARRATIVE:**

Project Description - The nature and purpose of this land disturbing activity is to construct 131 unit townhouse development on 17.82 acres in a previously developed site in the City of Loganville, Georgia. Zoning jurisdiction is through City of Loganville as RM-5. The flow from the project is collected in previously designed stormwater system and taken to the two existing stormwater ponds designed and built for the project and discharges to a creek flowing south along the west portion of the property, which ultimately discharges into the Little Haynes Creek, which are warm water fisheries streams. Area of grading land disturbance by construction is approximately 12.54 acres and 5,000 CY of dirt displaced.

Existing Site Conditions - Existing conditions consist of previously graded area with some existing infrastructures to be demolished.

NOTE:  
7 DAY LETTER MUST BE SUBMITTED TO THE CITY OF LOGANVILLE PLANNING AND DEVELOPMENT OFFICE AND SCHEDULE AN INITIAL PERIMETER BMP INSPECTION BEFORE ANY EARTH MOVING OR CLEARING IS TO BE DONE.

6	TOTAL SITE AREA = 17.82 ACRES
	TOTAL DISTURBED AREA = 12.63 ACRES
	THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
	THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22

**49 SOIL SERIES LEGEND**

SOIL DELINEATIONS SHOWN AS PER A "SOIL SURVEY OF WALTON COUNTY, GEORGIA".

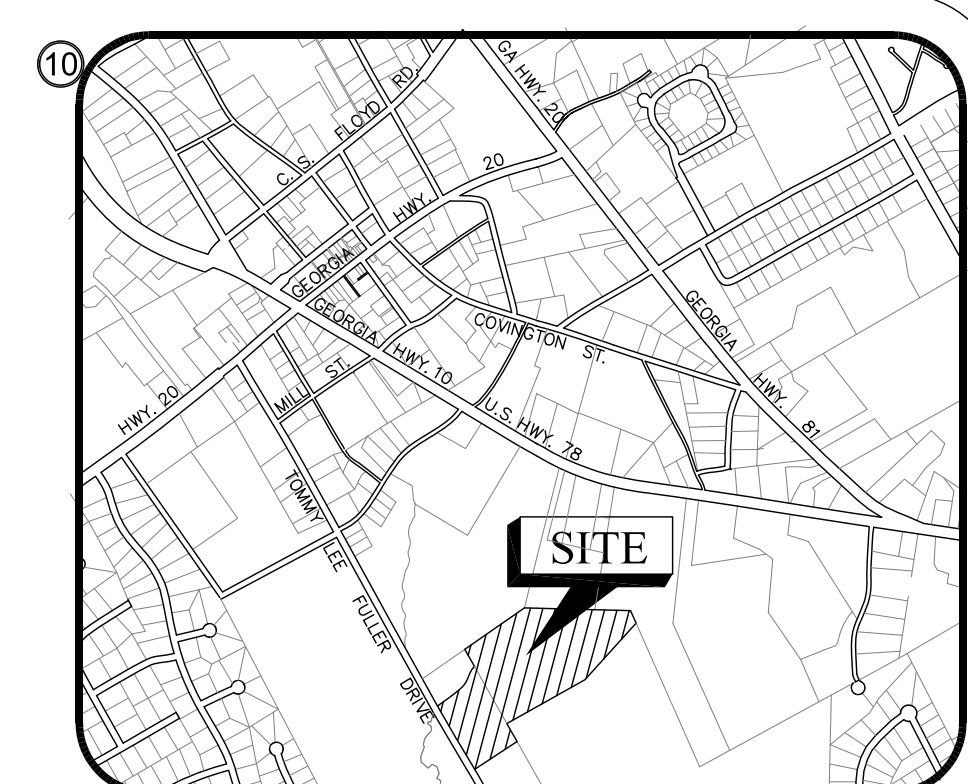
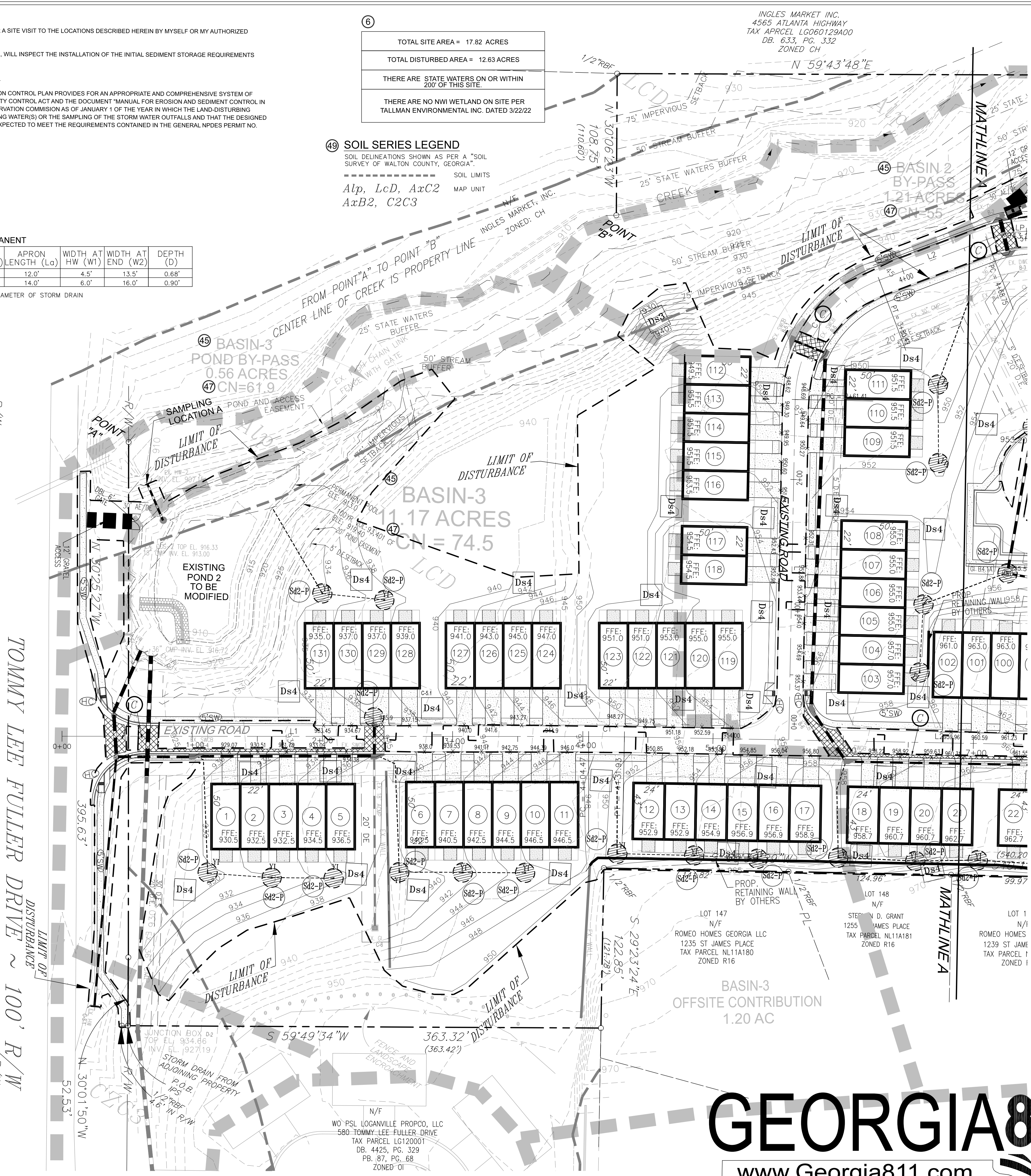
----- SOIL LIMITS  
----- MAP UNIT

Alp, LcD, ArC2  
ArB2, C2C3

**CREEK CALLS FROM POINT "A" TO POINT "B"**

Course	Bearing	Distance
L1	N 09°24'57" E	14.08'
L2	N 23°57'05" E	19.96'
L3	N 83°09'32" E	12.84'
L4	N 79°56'23" E	6.18'
L5	N 55°57'28" E	14.32'
L6	N 51°11'35" E	14.36'
L7	N 46°46'04" E	14.30'
L8	N 42°36'56" E	14.35'
L9	N 39°04'22" E	17.58'
L10	N 34°40'26" E	14.48'
L11	N 26°41'07" E	14.25'
L12	N 16°34'46" E	9.95'
L13	N 20°21'29" W	12.13'
L14	N 00°02'09" E	13.29'
L15	N 01°44'36" E	4.83'
L16	N 01°20'48" E	13.30'
L17	N 02°31'13" E	9.36'
L18	N 26°50'30" E	12.77'
L19	N 60°31'40" E	12.92'
L20	N 43°57'37" E	13.37'
L21	N 43°06'10" E	11.49'
L22	N 59°10'22" E	13.90'
L23	N 64°48'49" E	14.05'
L24	N 56°20'15" E	10.39'
L25	N 20°15'42" E	13.35'
L26	N 2°05'07" E	8.26'
L27	N 66°16'50" E	13.64'
L28	N 71°07'52" E	13.84'
L29	N 42°28'35" E	16.63'
L30	N 18°35'59" E	6.45'
L31	N 15°12'35" W	12.92'
L32	N 08°38'26" W	5.52'
L33	N 09°16'53" E	14.13'
L34	N 17°12'53" E	14.13'
L35	N 28°17'05" E	11.86'
L36	N 54°54'54" E	12.64'
L37	N 59°37'06" E	3.78'

TOMMY LEE FULLER DRIVE ~ 100' R/W



VICINITY MAP  
N.T.S.

**EROSION CONTROL LEGEND STRUCTURAL PRACTICES**

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT	(Refer to Detail)	(Refer to Detail)	A crushed stone pad located on the exterior removing mud from tires thereby preventing public streets.
Sd1	SEDIMENT BARRIER	(Indicate type)	(Indicate type)	A barrier to prevent sediment from entering the construction site during the construction of the project. The barrier shall be installed prior to completion of construction activities.
Sd2	SEDIMENT TRAP, TEMPORARY	(Refer to Detail)	(Refer to Detail)	An impounding area created by enclosing around a storm drain inlet. The structure will collect sediment and debris from the concentrated runoff.
St	STORM DRAIN OUTLET PROTECTION	(Refer to Detail)	(Refer to Detail)	A paved or short section of concrete or metal grate placed over the storm drain inlet to prevent debris from entering the storm drain.
Sk	FLOATING SURFACE SWIMMER	(Refer to Detail)	(Refer to Detail)	A buoyant device that releases/drains water from the surface of sediment, logs, or debris at a controlled rate or flow.
Re	RETAINING WALL	(Refer to Detail)	(Refer to Detail)	A wall installed to stabilize soil and fill slopes above maximum permissible slopes or not obtainable. Each situation will require special design.

**EROSION CONTROL LEGEND VEGETATIVE PRACTICES**

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION/ MULCHING ONLY	(Refer to Detail)	Ds1	Establishing temporary protection for disturbed areas during construction. Mulch may not have a suitable growing medium to produce an erosion retaining cover.
Ds2	DISTURBED AREA STABILIZATION/ TEMPORARY SEEDING	(Refer to Detail)	Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION/ PERMANENT SEEDING	(Refer to Detail)	Ds3	Establishing permanent vegetative cover with trees, shrubs, vines, sod, grasses or legumes on disturbed areas.
Du	DUST CONTROL ON DISTURBED AREAS	(Refer to Detail)	Du	Containing surface dust or dirt on disturbed areas, roadways and similar sites.
Ss	SLOPE STABILIZATION	(Refer to Detail)	Ss	A protective covering of soil stabilization products to stabilize soil on slopes, embankments, ditches, or other areas.
Fl-Co	FLOCCULANTS/ COAGULANTS	(Refer to Detail)	Fl-Co	Substance formulated to assist in the solid/liquid separation of suspended particles in solution.

**30 CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE**

TASK	MONTH				
	WEEK 1	2	3	4	5
INSTALLATION OF CO AND TRUCK WASH AREA	█				
INSTALLATION OF PETROLEUM STORAGE AREA	█				
INSTALLATION OF SEDIMENT TRAP ALONG RETENTION FACILITY	█				
CLEAR & GRUB	█	█	█	█	█
GRADING	█	█	█	█	█
TEMP & FINAL GRASS & MULCHING	█	█	█	█	█
UTILITY INSTALLATION	█	█	█	█	█
CURE AND PAVING INSTALLATION	█	█	█	█	█
MAINTAIN EROSION CONTROL	█	█	█	█	█
FINAL LANDSCAPING GRASS/SEEDING OF STORM DRAINS, ETC.	█	█	█	█	█

ANTICIPATED START DATE SEP 1, 2022  
ANTICIPATED COMPLETION DATE JAN. 31, 2023

**GEORGIA811**  
www.Georgia811.com



**A.C.E.**  
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**FINAL EROSION AND SEDIMENT CONTROL PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
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steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
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**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-4.3A**

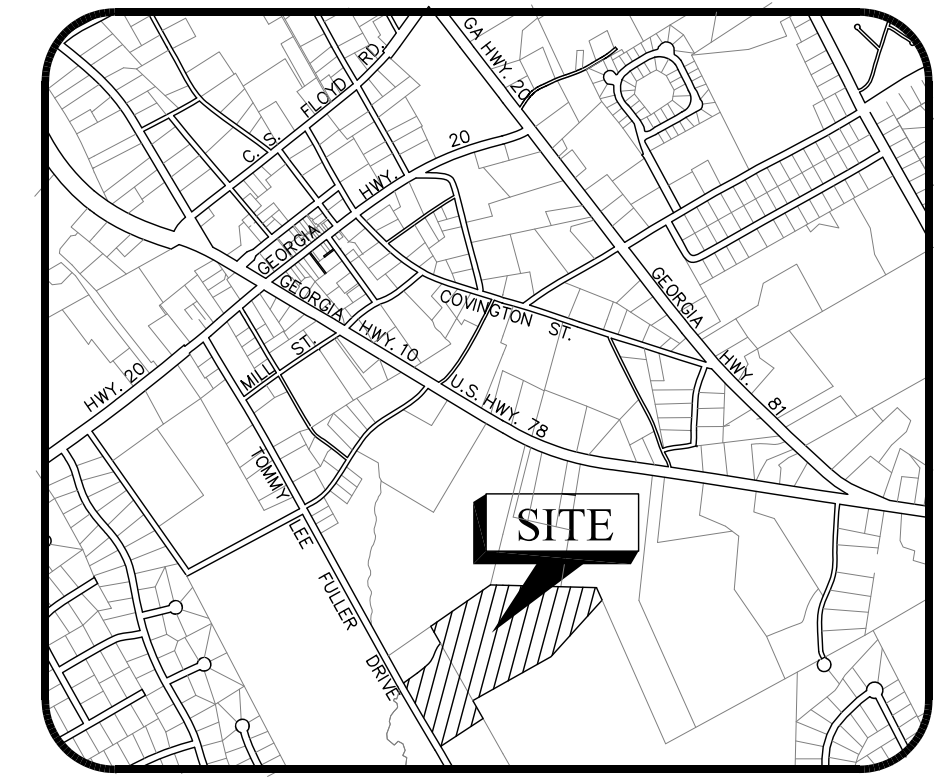
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- I CERTIFY UNDER PENALTY OF LAW THAT THIS PLAN WAS PREPARED AFTER A SITE VISIT TO THE LOCATIONS DESCRIBED HEREIN BY MYSELF OR MY AUTHORIZED AGENT, UNDER MY DIRECT SUPERVISION.
- 12 I CERTIFY THAT I, AS THE PROFESSIONAL WHO PREPARED THE E&S PLAN, WILL INSPECT THE INSTALLATION OF THE INITIAL SEDIMENT STORAGE REQUIREMENTS AND PERIMETER CONTROL BMPs WITHIN 7 DAYS AFTER INSTALLATION.
- ENG. SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_
- 13 I CERTIFY THAT THE PERMITTEE'S EROSION, SEDIMENTATION AND POLLUTION CONTROL PLAN PROVIDES FOR AN APPROPRIATE AND COMPREHENSIVE SYSTEM OF BEST MANAGEMENT PRACTICES REQUIRED BY THE GEORGIA WATER QUALITY CONTROL ACT AND THE DOCUMENT "MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA" (MANUAL) PUBLISHED BY THE GEORGIA SOIL AND WATER CONSERVATION COMMISSION AS OF JANUARY 1 OF THE YEAR IN WHICH THE LAND-DISTURBING ACTIVITY WAS PERMITTED. PROVIDES FOR THE SAMPLING OF THE RECEIVING WATER(S) OR THE SAMPLING OF THE STORM WATER OUTFALLS AND THAT THE DESIGNED SYSTEM OF BEST MANAGEMENT PRACTICES AND SAMPLING METHODS IS EXPECTED TO MEET THE REQUIREMENTS CONTAINED IN THE GENERAL NPDES PERMIT NO. GAR 100003.

THIEP V. HUYNH  
LEVEL II CERTIFIED DESIGN PROFESSIONAL  
CERTIFICATION NO.: 0000011377  
ISSUED: MAY 25, 18 EXPIRES: MAY 25, 21

9 EROSION & SEDIMENTATION CONTROL NARRATIVE  
Project Description - The nature and purpose of this land disturbing activity is to construct 131 unit townhouse development on 17.82 acres in a previously developed site in the City of Loganville, Georgia. Zoning jurisdiction is through City of Loganville as RM-8. The flow from the project is collected in previously designed stormwater system and taken to the two existing stormwater ponds designed and built for the project and discharges to a creek flowing south along the west portion of the property, which ultimately discharges into the Little Hoynes Creek, which are warm water fisheries streams. Area of grading land disturbance by construction is approximately 12.63 acres and 5,000 CY of dirt displaced.  
Existing Site Conditions - Existing conditions consist of previously graded area with some existing infrastructures to be demolished.

TOTAL SITE AREA = 17.82 ACRES
TOTAL DISTURBED AREA = 12.63 ACRES
THERE ARE STATE WATERS ON OR WITHIN 200' OF THIS SITE.
THERE ARE NO NWI WETLAND ON SITE PER TALLMAN ENVIRONMENTAL INC. DATED 3/22/22



10 VICINITY MAP N.T.S.

48 RIPRAP APRON SUMMARY - PERMANENT

HEADWALL ID	PIPE DIA. (Do)	Q (cfs) 25 YEAR	V (fps) 25 YEAR	RIPRAP SIZE (d50)	APRON LENGTH (Lo)	WIDTH AT HW (W1)	WIDTH AT END (W2)	DEPTH (D)
HW OCS	18"	19.46 cfs	11.10 fps	0.3	12.0'	4.5'	13.5'	0.68'
HW OCS	24"	30.11 cfs	9.59 fps	0.4	14.0'	6.0'	16.0'	0.90'

LENGTH OF RIP-RAP AREA SHALL BE A MINIMUM OF SIX TIMES THE DIAMETER OF STORM DRAIN WITH GEO-TEXTILE BENEATH.

30 CONSTRUCTION & EROSION CONTROL ACTIVITY SCHEDULE

TASK	MONTH					
	WEEK	1	2	3	4	5
INSTALLATION OF CO AND TRUCK WASH AREA						
INSTALLATION OF PETROLEUM STORAGE AREA						
REVISION OF SITE SLOPE PERMITTER'S PROJECT AND RESUBMIT EROSION CONTROL PLAN						
CLEAR & GRUB						
GRADING						
TEMP & FINAL GRASS & MULCHING						
UTILIZATION						
CURB AND PAVING INSTALLATION						
MAINTAIN EROSION CONTROL						
FINAL LANDSCAPING, GRASSING, CLEANING OF STORM DRAIN, ETC.						

ANTICIPATED START DATE APR. 1, 2021  
ANTICIPATED COMPLETION DATE SEP. 30, 2021

30 SOIL SERIES LEGEND

SOIL DELINEATIONS SHOWN AS PER A "SOIL SURVEY OF WALTON COUNTY, GEORGIA".

--- SOIL LIMITS  
MAP UNIT  
Alp, LcD, AxC2  
AzB2, C2C3

EROSION CONTROL LEGEND

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Co	CONSTRUCTION EXIT		(see table)	A crushed stone pad located at the construction exit to provide a firm, level surface to prevent sediment from being tracked onto the roadway.
Sd1	SEDIMENT BARRIER		(indicate type)	A barrier to prevent sediment from leaving the construction site. Sediment barriers are usually temporary and are installed on the up-drain side of the disturbed area.
Sd2	SEDIMENT TRAP, TEMPORARY			An impounding area created by excavating around a storm drain inlet. The excavated area will be filled and stabilized on completion of construction activities.
St	STORM DRAIN OUTLET PROTECTION			A covered or short section of pipe from storm drain preventing erosion from the concentrated runoff.
Sk	FLOATING SURFACE SUMMER			A device that releases/drops water from the surface of sediment ponds, traps or basins at a controlled rate or rate.
Re	RETAINING WALL		(LABEL)	A wall structure to stabilize cut and fill slopes where maximum permissible slope are not obtainable. Each situation will require special design.

EROSION CONTROL LEGEND

CODE	PRACTICE	DETAIL	MAP SYMBOL	DESCRIPTION
Ds1	DISTURBED AREA STABILIZATION/ MULCHING ONLY		Ds1	Establishing temporary protection for erodible areas where erosion may not be a suitable growing season to protect an erosion retaining cover.
Ds2	DISTURBED AREA STABILIZATION/ TEMPORARY SEEDING		Ds2	Establishing a temporary vegetative cover with fast growing seedlings on disturbed areas.
Ds3	DISTURBED AREA STABILIZATION/ PERMANENT SEEDING		Ds3	Establishing permanent vegetative cover such as trees, shrubs, vines, and grasses or legumes on disturbed areas.
Du	DUST CONTROL ON DISTURBED AREAS		Du	Controlling surface and air-borne dust on construction sites, roadways and similar areas.
Ss	SLOPE STABILIZATION		Ss	A protective cover (Geotextile) or soil stabilization method to stabilize erosion-prone slopes, ditches, or embankments.
Fl-Co	FLOCCULANTS/ COAGULANTS		Fl-Co	Substance formulated to assist in the solid/liquid separation of suspended particles in solution.



**A.C.E.**  
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**FINAL EROSION AND SEDIMENT CONTROL PLAN**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
C-4.3B

# EROSION AND SEDIMENTATION CONTROL PLAN PROCEDURE

For

## "LOGAN MIAMI TOWNHOUSES"

CITY OF LOGANVILLE, Georgia

E&S CERTIFICATIONS  
TRIEP V. HUYNH  
LEVEL II CERTIFIED DESIGN PROFESSIONAL  
CERTIFICATION NO.: 0000011377  
ISSUED: MAY 25, 19 EXPIRES: MAY 25, 21



### Introduction

This is a Comprehensive Monitoring Program (CMP) for "LOGAN MIAMI TOWNHOUSE", located on Tommy Lee Fuller Drive in The City of Loganville, Georgia. This CMP covers the construction of the entire "Logan Miami Townhouse" development.

The permittee will install, inspect, maintain, and document the erosion and sedimentation control Best Management Practices (BMPs), as shown on the erosion control plan. This monitoring program will document that the sediment control measures are working and provide compliance with the samples, analysis and reporting provisions of the Georgia Environmental Protection Division (EPD), General Permit for Storm Water Activities (GAR1000003).

### Narrative of Sampling Locations

Existing conditions consist of previously developed area with flows captured and treated by two existing stormwater ponds located at the southwest and northeast corner of the property which drains toward an un-named creek running Southwest and ultimately discharges into an un-named tributary of Little Haynes Creek. There does not appear to be any detrimental impact to the up stream and down stream of the environment that will result from this construction project.

The sampling locations for this site will be located at the upstream and downstream of the project as indicated at Sampling Location A and B for most of the project.

### Rainfall Data

Measurements of rainfall will be recorded daily (once each twenty-four hour period) at the site. The site superintendent will be responsible for ensuring appropriate measurements are performed in accordance with this CMP during each phase of construction.

### Water Sampling of Storm Water Discharge

All sampling pursuant to the permit will be done in such a way (including generally accepted sampling methods, locations, timing, and frequency) as to accurately reflect whether storm water runoff from the facility/site is in compliance with the standards set forth in Part IVD.5 of the Permit No. GAR 1000003.

All samples will be collected by "grab samples" and the analysis of these samples will be conducted in accordance with the methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved), the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001" and guidance documents that may be prepared by the Georgia EPD.

### Appendix "B" Rationale

- Warm Water Fisheries
- Site size = 17.82-50 acres
- Drainage Basin size (0.4-9.9 Sq Miles)
- NTU Value = 50 ntu or less

35. EMERGENCY PROCEDURES FOR SPILL OR REPORTABLE QUANTITY OF PETROLEUM PRODUCTS  
ALL PETROLEUM PRODUCTS SHALL BE STORED AND USED IN AN AREA THAT PROVIDES A SECONDARY CONTAINMENT FEATURE. TYPICALLY THIS WILL CONSIST OF AN EARTHEN BERM CONSTRUCTED AROUND 3 SIDES OF STORAGE AREA. EMERGENCY PROCEDURES FOR SPILLS SHALL BE KEPT IN THE CONSTRUCTION TRAILER INCLUDING EMERGENCY CONTACT NUMBERS. THE CONTRACTOR SHALL LOCATE STORAGE FACILITIES IN AREAS WITH THE LEAST FORSEEABLE IMPACT IF A CATASTROPHIC EVENT SHOULD OCCUR.

### 34. Sampling Requirements

This permit requires the monitoring of nephelometric turbidity in receiving water(s) or outfalls in accordance with this permit. This paragraph shall not apply to any land disturbance associated with the construction of single-family homes which are not part of a subdivision or planned common development unless five (5) acres or more will be disturbed. The following procedures constitute EPD's guidelines for sampling turbidity.

a. Sampling Requirements shall include the following:

1. A USGS topographic map, a topographic map or a drawing (referred to as a topographic map) that is a scale equal to or more detailed than a 1:24000 map showing the location of the site or the stand alone construction; (a) the location of all perennial and intermittent streams and other water bodies as shown on a USGS topographic map, and all other perennial and intermittent streams and other water bodies located during mandatory field verification, into which the storm water is discharged and (b) the receiving water and/or outfall sampling locations. When the permittee has chosen to use a USGS topographic map and the receiving water(s) is not shown on the USGS topographic map, the location of the receiving water(s) enters the receiving water(s) to the point where the receiving water(s) combines with the first blue line stream shown on the USGS topographic map;
2. A written narrative of site specific analytical methods used to collect, handle and analyze the samples including quality control/quality assurance procedures. This narrative must include precise sampling methodology for each sampling location;
3. When the permittee has determined that some or all outfalls will be sampled, a rationale must be included on the Plan for the NTU limit(s) selected from Appendix B. This rationale must include the size of the construction site, the calculation of the size of the surface water drainage area, and the type of receiving water(s) (i.e., trout stream or supporting warm water fisheries); and
4. Any additional information EPD determines necessary to be part of the Plan. EPD will provide written notice to the permittee of the information necessary and the time line for submittal.

b. Sample Type. All sampling shall be collected by "grab samples" and the analysis of these samples must be conducted in accordance with methodology and test procedures established by 40 CFR Part 136 (unless other test procedures have been approved); the guidance document titled "NPDES Storm Water Sampling Guidance Document, EPA 833-B-92-001" and guidance documents that may be prepared by the EPD.

1. Sample containers should be labeled prior to collecting the samples.
2. Samples should be well mixed before transferring to a secondary container.
3. Large mouth, well cleaned and rinsed glass or plastic jars should be used for collecting samples. The jars should be cleaned thoroughly to avoid contamination.
4. Manual, automatic or rising stage sampling may be utilized. Samples required by this permit should be analyzed immediately, but in no case later than 48 hours after collection. However, samples from automatic samplers must be collected no later than the next business day after their accumulation, unless flow through automated analysis is utilized. If automatic sampling is utilized and the automatic sampler is not activated during the qualifying event, the permittee must utilize manual sampling or rising stage sampling during the next qualifying event. Dilution of samples is not required. Samples may be analyzed directly with a properly calibrated turbidimeter. Samples are not required to be cooled.
5. Sampling and analysis of the receiving water(s) or outfalls beyond the minimum frequency stated in this permit must be reported to EPD as specified in Part IVE.

### 33. Inspections

a. Primary Permittee.

(1). Each day when any type of construction activity has taken place at a primary permittee's site, certified personnel provided by the primary permittee shall inspect: (a) all areas at the primary permittee's site where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment and (b) all locations at the primary permittee's site where vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted.

(2). Measure and record rainfall within disturbed areas of the site that have not met final stabilization once every 24 hours except any non-working Saturday, non-working Sunday and non-working Federal holiday. The data collected for the purpose of compliance with this permit shall be representative of the monitored activity. Measurement of rainfall may be suspended if all areas of the site have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region.

(3). Certified personnel (provided by the primary permittee) shall inspect the following at least once every seven (7) calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the primary permittee's construction site; (b) areas used by the primary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the primary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IVD.4.a.(4). These inspections must be conducted until a Notice of Termination is submitted.

(4). Certified personnel (provided by the primary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of the site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IVD.4.b.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(5). Based on the results of each inspection, the site description and the pollution prevention and control measures identified in the Erosion, Sedimentation and Pollution Control Plan, the Plan shall be revised as appropriate not later than seven (7) calendar days following each inspection. Implementation of such changes shall be made as soon as practical but in no case later than seven (7) calendar days following each inspection. The primary permittee must amend the Plan in accordance with Part IVD.4.b.(5). When a secondary permittee notifies the primary permittee of any Plan deficiencies, (6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IVD.4.a.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction site that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a statement that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IVD.4.b.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a statement that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit.

(7). Daily rainfall information collected in accordance with Part IVD.4.a.(2). of this permit, (g). Daily rainfall information collected in accordance with Part IVD.4.a.(2). of this permit, (h). Results which exceed 1,000 NTU shall be reported as "exceeds 1,000 NTU," and i. Certification statement that sampling was conducted as per the Plan.

### Reporting

1. The applicable permittees are required to submit the sampling results to the EPD at the address shown in Part 11.C. by the fifteenth day of the month following the reporting period. Reporting periods are months during which samples are taken in accordance with this permit. Sampling results shall be in a clearly legible format. Upon written notification, EPD may require the applicable permittee to submit the sampling results on a more frequent basis. Sampling and analysis of any storm water discharge(s) or the receiving water(s) beyond the minimum frequency stated in this permit must be reported in a similar manner to the EPD. The sampling reports must be signed in accordance with Part V.G.2. Sampling reports must be submitted to EPD using the electronic submittal service provided by EPD. Sampling reports must be submitted to EPD until such time as a NOT is submitted in accordance with Part VI.

2. All sampling reports shall include the following information:  
a. The rainfall amount, date, exact place, and time of sampling or measurements;  
b. The name(s) of the certified personnel who performed the sampling and measurements;  
c. The date(s) analyses were performed;  
d. The time(s) analyses were initiated;  
e. The name(s) of the certified personnel who performed the analyses;  
f. References and written procedures, when available, for the analytical techniques or methods used;  
g. The results of such analyses, including the bench sheets, instrument readouts, computer disks or tapes, etc., used to determine these results;  
h. Results which exceed 1,000 NTU shall be reported as "exceeds 1,000 NTU," and  
i. Certification statement that sampling was conducted as per the Plan.

3. All written correspondence required by this permit shall be submitted by return receipt certified mail (or similar service) to the appropriate District Office of the EPD according to the schedule in Appendix A of this permit. The applicable permittees shall retain a copy of the proof of submittal at the construction site or the proof of submittal shall be readily available at a designated location from commencement of construction until such time as a NOT is submitted in accordance with Part VI.

b. Secondary Permittee.

(1). Each day when any type of construction activity has taken place at a secondary permittee's site, certified personnel provided by the secondary permittee shall inspect: (a) all areas used by the secondary permittee where petroleum products are stored, used, or handled for spills and leaks from vehicles and equipment; and (b) all locations at the secondary permittee site where that permittee's vehicles enter or exit the site for evidence of off-site sediment tracking. These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(2). Certified personnel (provided by the utility companies and utility contractors if they are secondary permittees) shall inspect the following each day any type of construction activity has taken place at the construction site: (a) areas of the construction site disturbed by the utility companies and utility contractors that have not undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region; (b) areas used by the utility companies and utility contractors for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the utility companies and utility contractors' construction activities shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IVD.4.b.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(3). Certified personnel (provided by the secondary permittee) shall inspect the following at least once every seven calendar days and within 24 hours of the end of a storm that is 0.5 inches rainfall or greater (unless such storm ends after 5:00 PM on any Friday or on any non-working Saturday, non-working Sunday or any non-working Federal holiday in which case the inspection shall be completed by the end of the next business day and/or working day, whichever occurs first): (a) disturbed areas of the secondary permittee's construction site; (b) areas used by the secondary permittee for storage of materials that are exposed to precipitation; and (c) structural control measures. Erosion and sediment control measures identified in the Plan applicable to the secondary permittee's site shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IVD.4.b.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(4). Certified personnel (provided by the secondary permittee) shall inspect at least once per month during the term of this permit (i.e., until a Notice of Termination is submitted to EPD) the areas of the sites that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region. These areas shall be inspected for evidence of, or the potential for, pollutants entering the drainage system and the receiving water(s). Erosion and sediment control measures identified in the Plan shall be observed to ensure that they are operating correctly. Where discharge locations or points are accessible, they shall be inspected to ascertain whether erosion control measures are effective in preventing significant impacts to receiving water(s). For areas of a site that have undergone final stabilization or established a crop of annual vegetation and a seeding of target perennials appropriate for the region, the permittee must comply with Part IVD.4.c.(4). These inspections must be conducted until a Notice of Termination is submitted. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees.

(5). Based on the results of each inspection, the secondary permittee must notify the primary permittee within 24-hours of any suspected BMP design deficiencies. The primary permittee must evaluate whether these deficiencies exist within 48-hours of such notice, and if these deficiencies are found to exist must amend the Plan in accordance with Part IVC. of this permit to address those deficient BMPs within seven (7) days of being notified by the secondary permittee. When the Plan is amended, the primary permittee must notify and provide a copy of the amendment to all affected secondary permittee(s) within seven (7) day period. The secondary permittees must implement any new Plan requirements affecting their site(s) within 48-hours of notification by the primary permittee.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IVD.4.c.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site or that portion of a construction site that has been phased has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors if they are secondary permittees performing only service line installations or when conducting repairs on existing line installations.

(7). Daily rainfall information collected in accordance with Part IVD.4.a.(2). of this permit, (g). Daily rainfall information collected in accordance with Part IVD.4.a.(2). of this permit, (h). Results which exceed 1,000 NTU shall be reported as "exceeds 1,000 NTU," and i. Certification statement that sampling was conducted as per the Plan.

### Retention of Records

(1). The primary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:  
(a). A copy of all Notices of Intent submitted to EPD;  
(b). A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;  
(c). The design professional's report of the results of the inspection conducted in accordance with Part IVA.5. of this permit;  
(d). A copy of all sampling information, results, and reports required by this permit;  
(e). A copy of all inspection reports generated in accordance with Part IVD.4.a. of this permit;  
(f). A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and  
(g). Daily rainfall information collected in accordance with Part IVD.4.a.(2). of this permit.

(2). Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:  
(a). A copy of all Notices of Intent submitted to EPD;  
(b). A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;  
(c). A copy of all inspection reports generated in accordance with Part IVD.4.b. of this permit; and  
(d). A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

(3). Each tertiary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:  
(a). A copy of all Notices of Intent submitted to EPD;  
(b). A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit;

(c). The design professional's report of the results of the inspection conducted in accordance with Part IVA.5. of this permit;  
(d). A copy of all sampling information, results, and reports required by this permit;  
(e). A copy of all inspection reports generated in accordance with Part IVD.4.c. of this permit;  
(f). A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit; and  
(g). Daily rainfall information collected in accordance with Part IVD.4.c.(2). of this permit.  
(4). Copies of all Notices of Intent, Notices of Termination, inspection reports, sampling reports (including all calibration and maintenance records and all original strip chart recordings for continuous monitoring instrumentation) or other reports requested by the EPD, Erosion, Sedimentation and Pollution Control Plans, records of all data used to complete the Notice of Intent to be covered by this permit and all other records required by this permit shall be retained by the permittee who either produced or used it for a period of at least three years from the date that the NOT is submitted in accordance with Part VI of this permit. These records must be maintained at the permittee's primary place of business once the construction activity has ceased at the permitted site. This period may be extended by request of the EPD at any time upon written notification to the permittee.

(5). Each secondary permittee shall retain the following records at the construction site or the records shall be readily available at a designated alternate location from commencement of construction until such time as a NOT is submitted in accordance with Part VI:  
(a). A copy of all Notices of Intent submitted to EPD;  
(b). A copy of the Erosion, Sedimentation and Pollution Control Plan required by this permit or the applicable portion of the Erosion, Sedimentation and Pollution Control Plan for their activities at the construction site required by this permit;  
(c). A copy of all inspection reports generated in accordance with Part IVD.4.b. of this permit; and  
(d). A copy of all violation summaries and violation summary reports generated in accordance with Part III.D.2. of this permit.

(6). A report of each inspection that includes the name(s) of certified personnel making each inspection, the date(s) of each inspection, construction phase (i.e., initial, intermediate or final), major observations relating to the implementation of the Erosion, Sedimentation and Pollution Control Plan, and actions taken in accordance with Part IVD.4.c.(5). of the permit shall be made and retained at the site or be readily available at a designated alternate location until the entire site has undergone final stabilization and a Notice of Termination is submitted to EPD. Such reports shall be readily available by the end of the second business day and/or working day and shall identify all incidents of best management practices that have not been properly installed and/or maintained as described in the Plan. Where the report does not identify any incidents, the inspection report shall contain a certification that the best management practices are in compliance with the Erosion, Sedimentation and Pollution Control Plan. The report shall be signed in accordance with Part V.G.2. of this permit. This paragraph is not applicable to utility companies and utility contractors performing only service line installations or when conducting repairs on existing line installations.

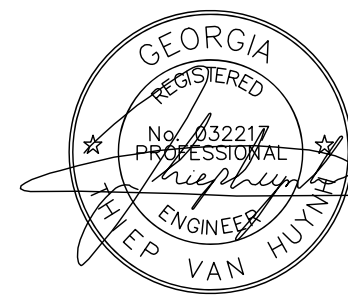
**A.C.E.**  
ALCOVY CONSULTING ENGINEERING  
AND ASSOCIATES, L.L.C.

P.O.C. TIP HUYNH, P.E.  
485 Edwards Rd.  
Oxford, Georgia 30054  
Phone: 770-466-4002  
tipacell@gmail.com

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EROSION & SED.  
CONTRL. PLAN PRO.

LOGAN  
MIAMI  
TOWNHOUSES

PARCEL: LG060129B00

LAND LOT: 185

DISTRICT: 4TH

TOMMY LEE FULLER DRIVE

CITY OF LOGANVILLE, GA

DATE: 02/22/2021

SCALE: 1"=40'

OWNER/PERMITTEE

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

REVISIONS

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014

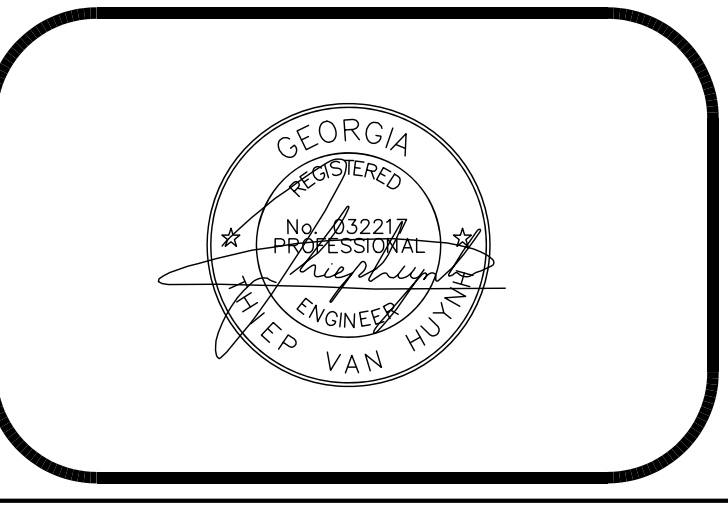
C-4.4



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**CONSTRUCTION DETAILS**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
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Job No. 21-014  
C-5.1

**Ds4 SODDING**

LAY SOD IN A STAGGERED PATTERN, BUT THE STRIPS TIGHTLY AGAINST EACH OTHER. DO NOT LEAVE SPACES AND DO NOT OVERLAP. A SHARPENED MASON'S TROWEL IS A HANDY TOOL FOR TUCKING DOWN THE ENDS AND TRIMMING PIECES.

**INCORRECT** (diagram showing gaps)  
**CORRECT** (diagram showing tight fit)

**BUTTING** - ANGLED ENDS CAUSED BY THE AUTOMATIC SOD CUTTER MUST BE MATCHED CORRECTLY.

MOW WHEN THE SOD IS ESTABLISHED - IN 5-3 WEEKS. SET THE MOWER HIGH (2"-3").

WATER TO A DEPTH OF 4" AS NEEDED. WATER WELL AS SOON AS THE SOD IS LAID.

ROLL SOD IMMEDIATELY TO ACHIEVE FIRM CONTACT WITH THE SOIL.

**APPEARANCE OF GOOD SOD**

SHOOTS OR GRASS BLADES SHOULD BE GREEN AND HEALTHY MOWED AT A 2"-3" CUTTING HEIGHT.

THATCH - GRASS CUPPINGS AND DEAD LEAVES, UP TO 1/2" THICK.

ROOT ZONE - SOIL AND ROOTS. SHOULD BE 1/2" - 3/4" THICK, WITH DENSE ROOT MAT FOR STRENGTH.

**RIPRAP OUTLET PROTECTION**

**PIPE OUTLET TO FLAT AREA - NO WELL DEFINED CHANNEL**

**PIPE OUTLET TO WELL DEFINED CHANNEL**

Figure 6-34.3 - Riprap Outlet Protection (Modified From Va SWCC)

GSWCC 2016 Edition 6-212

**CRUSHED STONE CONSTRUCTION EXIT**

Figure 6-14.1

GSWCC 2016 Edition 6-90

**SILT FENCE - TYPE C**

**Sd1-C**

Figure 6-27.2

GSWCC 2016 Edition 6-142

**UPSTREAM TERMINAL**    **TRANSVERSE CHECK SLOT**    **DOWN STREAM TERMINAL**

STEP 1: CUT TERMINAL SLOT  
STEP 2: SMUG MAT INTO SLOT  
STEP 3: A. STAKE MAT INTO SLOT  
STEP 4: A. REVERSE MAT ROLL DIRECTION TO OVERLAY CHECK SLOT

STEP 1: CUT CHECK SLOT  
STEP 2: WORK UPSTREAM ACROSS CHECK SLOT  
STEP 3: TUCK MAT LAP INTO SLOT & STAKE  
STEP 4: B. STAKE MAT DOWN TO ANCHOR TERMINAL

STEP 1: CUT TERMINAL SLOT  
STEP 2: STAKE MAT INTO SLOT  
STEP 3: BACKFILL TERMINAL SLOT  
STEP 4: A. ROLL MAT UPSTREAM OVER REFILLED TERMINAL  
STEP 4: C. PROGRESS UPSTREAM WITH ROLL

1. START AT DOWNSTREAM TERMINAL AND PROGRESS UPSTREAM  
2. FIRST ROLL IS CENTERED LONGITUDINALLY IN MID CHANNEL AND PINNED WITH TEMPORARY STAKES TO MAINTAIN ALIGNMENT  
3. SUBSEQUENT ROLLS FOLLOW IN STAGGERED SEQUENCE BEHIND FIRST ROLL.  
4. USE CENTER ROLL FOR ALIGNMENT TO CHANNEL CENTER  
5. WORK OUTWARDS FROM CHANNEL CENTER TO EDGE  
6. USE 3" OVERLAP AND STAKE AT 5' INTERVAL ALONG SEAMS  
7. USE 3" OVERLAPS AND SHINGLE DOWNSTREAM TO CONNECT LINING AT ROLL ENDS

**PICTORIAL VIEW OF TRANSVERSE SLOT**

**TYPICAL INSTALLATION GUIDELINES FOR SLOPE STABILIZATION**

**Ss**

**E&S CERTIFICATIONS**

THIEP V. HUYNH  
LEVEL III CERTIFIED DESIGN PROFESSIONAL  
CERTIFICATION NO.: 000011377  
ISSUED: MAY 25, 2018    EXPIRES: MAY 25, 2021

**Table 6-5.2**  
MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, TABLE 6-5.2

**Table 6-4.1**  
MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, TABLE 6-4.1

**Table 6-6.1**  
Fertilizer Requirements for

Fertilizer Type	Fertilizer Rate (lbs./acre)	Fertilizer Rate (lbs./cu ft)	Season
10-10-10	1000	0.025	Fall

**Table 6-6.2**  
Sod Planting Requirements

Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tifdawn	M-L,P,C P,C P,C	warm weather
Bahiagrass	Pensacola	P,C	warm weather
Centipede	-	P,C	warm weather
St. Augustine	Bitterblue Emerald	C	warm weather
Zoysia	Myer	P,C	warm weather
Tall Fescue	Kentucky	M-L,P	cool weather

**Table 6-6.3**  
Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (lb./acre)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
cool season grasses	first season maintenance	6-12-12 6-12-12	1500 1000	50-100 1000
warm season grasses	first season maintenance	6-12-12 10-10-10	1500 400	50-100 30

**Table 6-5.1**  
FERTILIZER REQUIREMENTS

TYPE OF SPECIES	YEAR	MAINTENANCE OR EQUIVALENT N-R-K	RATE	N TOP DRESSING RATE
1. Cool season Grasses	First Season Maintenance	6-12-12 6-12-12	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30
2. Cool season Grasses and Legumes	First Season Maintenance	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30
3. Warm season Grasses and Legumes	First Season Maintenance	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30
4. Fine Seedlings	First	20-10-5	1100 lb./ac.	---
5. Shrub Landscapes	First Maintenance	0-10-10	700 lb./ac. 400 lb./ac.	---
6. Temporary cover crops	First	10-10-10	500 lb./ac.	300lb/acs/
7. Warm season Grasses and Legumes	First Season Maintenance	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30
8. Warm season Grasses and Legumes	First Season Maintenance	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30

**Table 6-5.3**  
PERMANENT GRASSING (SEE ADJACENT CHART FOR COMPLETE LIST)

**Table 6-5.4**  
TEMPORARY GRASSING (SEE ADJACENT CHART FOR COMPLETE LIST)

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MULCHING

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DUST CONTROL ON DISTURBED AREA

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**Table 6-5.2**  
MANUAL FOR EROSION AND SEDIMENT CONTROL IN GEORGIA, TABLE 6-5.2

Species	Broadcast Rate (lb./1000 sq. ft.)	Planting Dates	Remarks
BHRA PENSACOLA (Paspalum notatum) alone or with temporary cover with other perennials	60 lb. 4 lb.	J F M A M J J A S O N D	160,000 seed per pound. Low growing. Sod forming. Slow to establish. Plant with companion crop. Will spread into bermuda patches and other areas. Mix with Sericea repens or weeping lovegrass.
BHRA WASHINGTON (Paspalum notatum) alone or with temporary cover with other perennials	60 lb. 4 lb.	J F M A M J J A S O N D	Same as above.
SEMIOLA CHAMBERLAIN (Sporobolus doctsonii) seeded alone	10 lb. 0.2 lb.	J F M A M J J A S O N D	1,500,000 seed per pound. Quick cover. Low growing and sod forming. Full sun. Good for athletic fields.
SEMIOLA CHAMBERLAIN (Sporobolus doctsonii) seeded alone	10 lb. 0.2 lb.	J F M A M J J A S O N D	Plant with winter annuals.
SEMIOLA CHAMBERLAIN (Sporobolus doctsonii) seeded alone	6 lb. 0.1 lb.	J F M A M J J A S O N D	Plant with Tall Fescue.
SEMIOLA CHAMBERLAIN (Sporobolus doctsonii) seeded alone	40 cu. ft. 0.9 cu. ft.	J F M A M J J A S O N D	A cubic foot contains approximately 650 sprigs. A bushel contains 125 cubic feet or approximately 800 sprigs.
SEMIOLA CHAMBERLAIN (Sporobolus doctsonii) seeded alone	Block soil only	J F M A M J J A S O N D	Drought tolerant. Full sun or partial shade. Effective against concrete & in concentrated flow areas. Vegetation is needed until fully established. Do not plant near parking lots. Minimum as for Sericea repens & Atlanta.
SEMIOLA CHAMBERLAIN (Sporobolus doctsonii) seeded alone	15 lb. 0.3 lb.	J F M A M J J A S O N D	100,000 seed per pound. Dense growth. Drought tolerant and fire resistant. Attractive rose, pink, or white flowers spring to fall. Use with 30 points of contact or points of contact with M. Inoculant. Use from North Atlanta and elsewhere.
FESCUE, TALL (Festuca arundinacea) alone with other perennials	50 lb. 1.1 lb.	J F M A M J J A S O N D	227,000 seed per pound. Use alone only in better sites. Not for drought sites. Mix with perennial ryegrass or creeping bentgrass. Apply topdressing in spring following fall planting.
RAPOD (Panicum thumbergii) plants or crowns	3" - 7" spot	J F M A M J J A S O N D	Rapid and vigorous growth. Excellent in gully erosion control. Mix with Sericea repens or weeping lovegrass.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	60 lb. 1.4 lb.	J F M A M J J A S O N D	500,000 seed per pound. Widely adapted. Low maintenance. Mix with weeping lovegrass, common bermuda, bahia, or tall fescue. Takes 1 to 3 years to become fully established. Excellent on roadbanks. Inoculate seed with EL inoculant.
unscarified seed bearing hay	75 lb. 1.7 lb.	J F M A M J J A S O N D	Mix with Tall Fescue or winter annuals.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	3 tons 128 lb.	J F M A M J J A S O N D	Use when seed is mature, but before it shatters. Add Tall Fescue or winter annuals.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	60 lb. 1.4 lb.	J F M A M J J A S O N D	100,000 seed per pound. Height of growth is 24 inches. Adaptability to other areas. Spreading type grass. New growth has bronze coloration. Mix with weeping lovegrass, common bermuda, bahia, tall fescue or winter annuals. Do not mix with Sericea repens. Use for heavy soil areas. Inoculate seed with EL inoculant.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	3" x 3"	J F M A M J J A S O N D	Provide wildlife food and cover.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	2' x 3' spacing	J F M A M J J A S O N D	For wet wet sites. May dry channels. Dig 20-24 inches. Adaptability to other areas. Spreading type grass. New growth has bronze coloration. Mix with weeping lovegrass, common bermuda, bahia, tall fescue, or winter annuals. Do not mix with Sericea repens. Use for heavy soil areas. Inoculate seed with EL inoculant.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	50 lb. 1.1 lb.	J F M A M J J A S O N D	Grass similar to Tall Fescue.
ESPERAZA SERICEA (Lepidosaphale ovata) scattered	30 lb. 0.7 lb.	J F M A M J J A S O N D	227,000 seed per pound. Mix with Weeping Lovegrass or other low-growing grasses or legumes.

**Table 6-5.3**  
PERMANENT GRASSING (SEE ADJACENT CHART FOR COMPLETE LIST)

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**Table 6-5.64**  
DUST CONTROL ON OTHER SITE

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DUST CONTROL ON OTHER SITE

**Table 6-5.66**  
DUST CONTROL ON OTHER SITE

**Table 6-5.67**  
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**Table 6-5.69**  
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**Table 6-5.70**  
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**Table 6-5.71**  
DUST CONTROL ON OTHER SITE

**Table 6-5.72**  
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**Table 6-5.73**  
DUST CONTROL ON OTHER SITE

**Table 6-5.74**  
DUST CONTROL ON OTHER SITE

**Table 6-5.75**  
DUST CONTROL ON OTHER SITE

**Table 6-5.76**  
DUST CONTROL ON OTHER SITE

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**Table 6-5.78**  
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**Table 6-5.79**  
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**Table 6-5.80**  
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**Table 6-5.81**  
DUST CONTROL ON OTHER SITE

**Table 6-5.82**  
DUST CONTROL ON OTHER SITE

**Table 6-5.83**  
DUST CONTROL ON OTHER SITE

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**Table 6-5.89**  
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**Table 6-5.90**  
DUST CONTROL ON OTHER SITE

**Table 6-5.91**  
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**Table 6-5.92**  
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**Table 6-5.93**  
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**Table 6-5.97**  
DUST CONTROL ON OTHER SITE

**Table 6-5.98**  
DUST CONTROL ON OTHER SITE

**Table 6-5.99**  
DUST CONTROL ON OTHER SITE

**Table 6-5.100**  
DUST CONTROL ON OTHER SITE

**Table 6-6.1**  
Fertilizer Requirements for

Fertilizer Type	Fertilizer Rate (lbs./acre)	Fertilizer Rate (lbs./cu ft)	Season
10-10-10	1000	0.025	Fall

**Table 6-6.2**  
Sod Planting Requirements

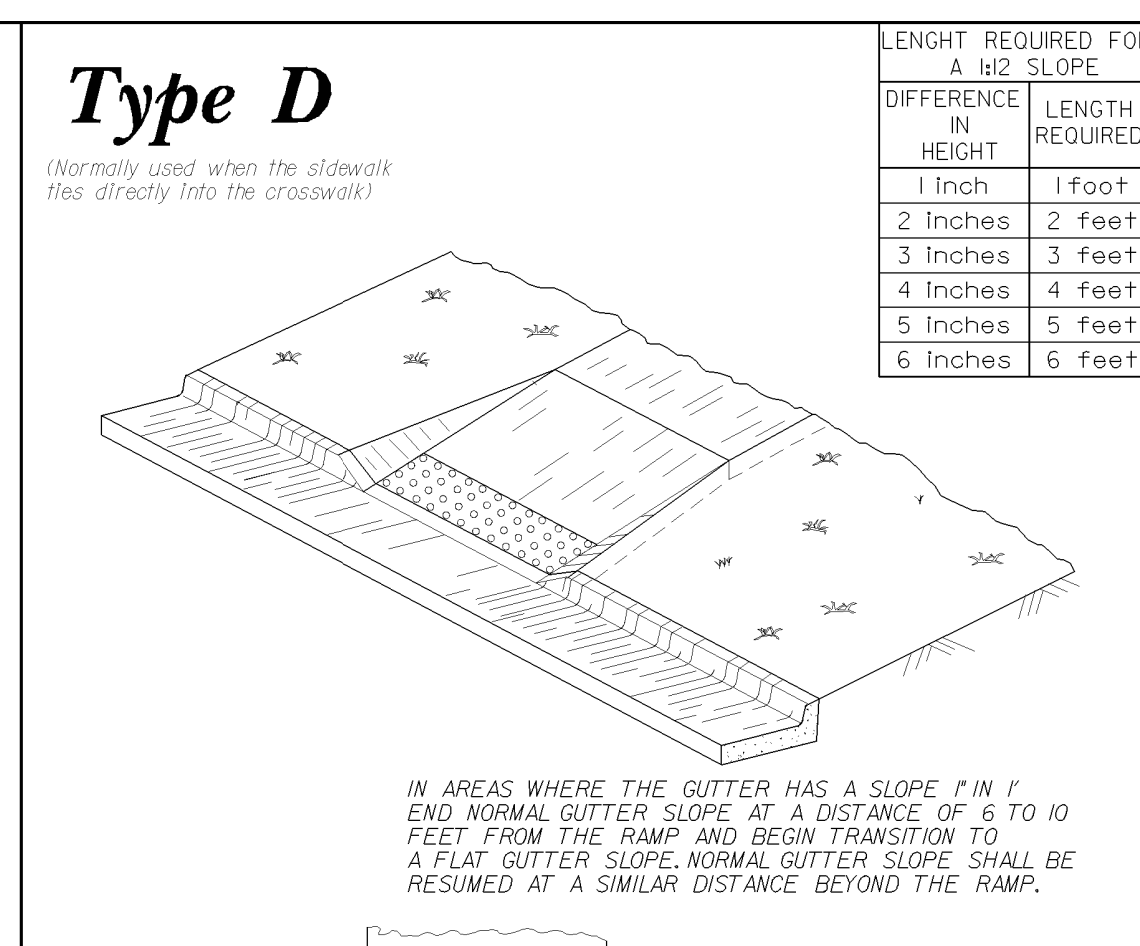
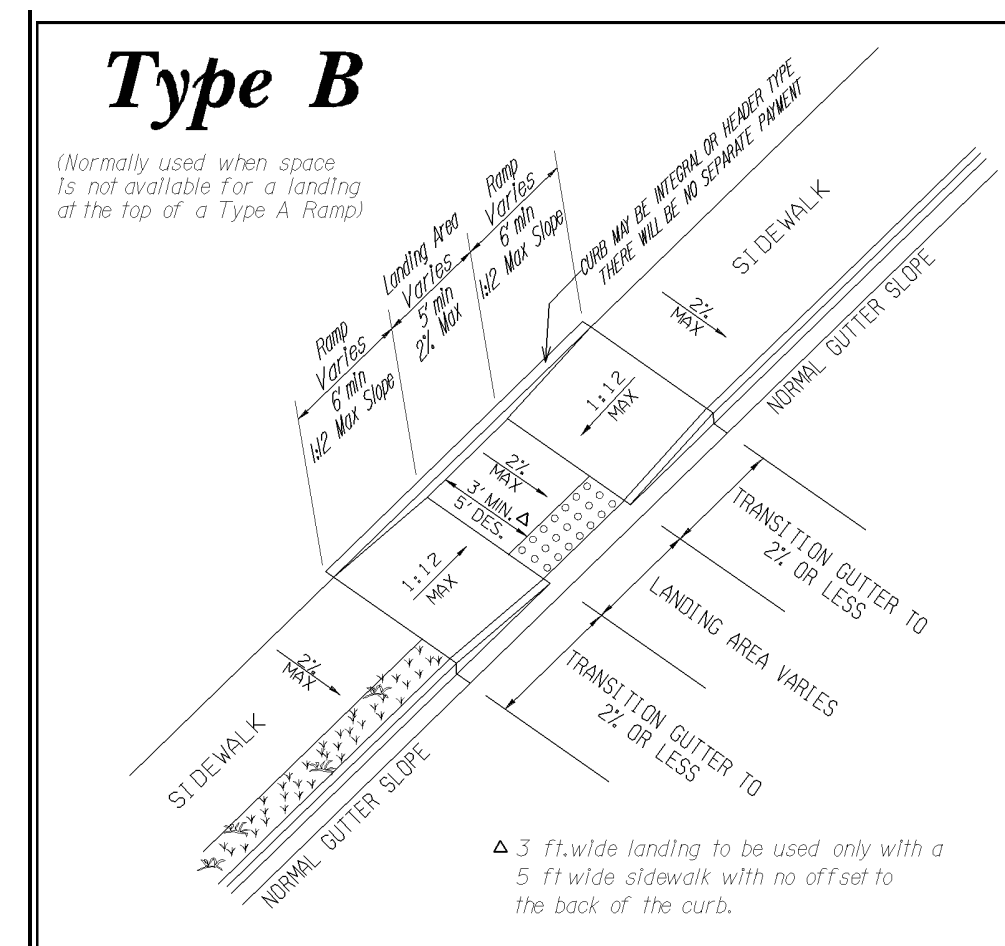
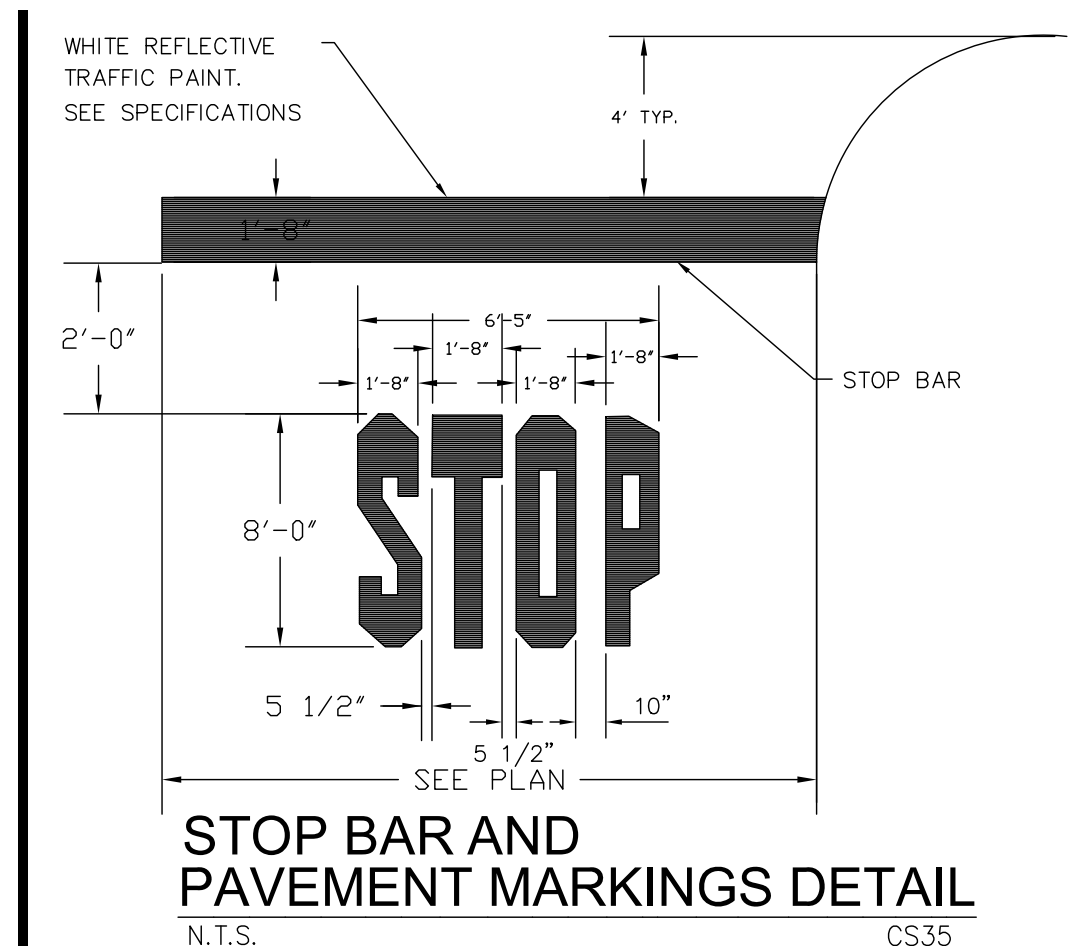
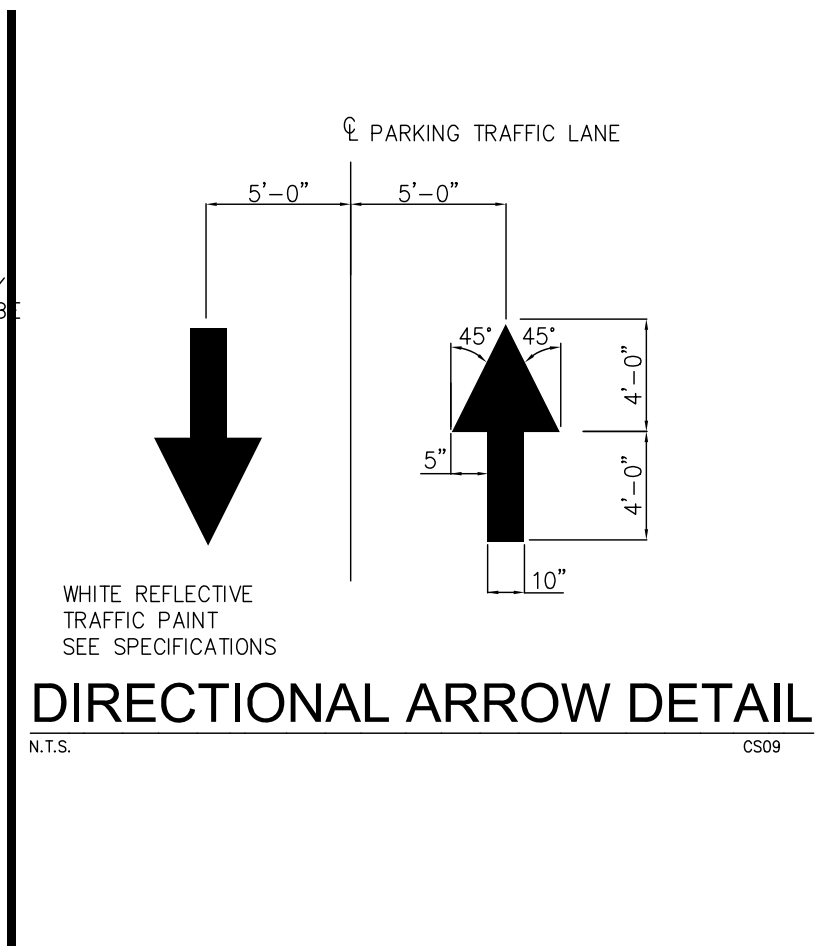
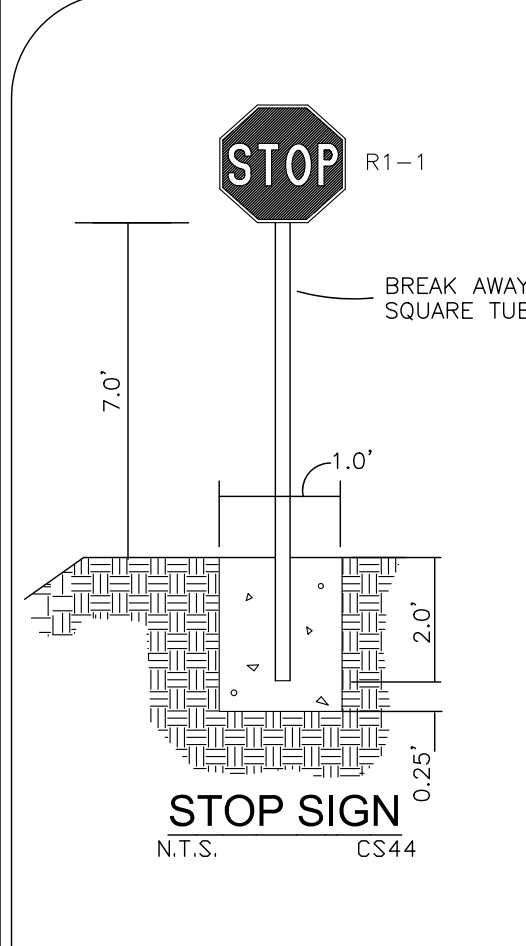
Grass	Varieties	Resource Area	Growing Season
Bermudagrass	Common Tifway Tifgreen Tifdawn	M-L,P,C P,C P,C	warm weather
Bahiagrass	Pensacola	P,C	warm weather
Centipede	-	P,C	warm weather
St. Augustine	Bitterblue Emerald	C	warm weather
Zoysia	Myer	P,C	warm weather
Tall Fescue	Kentucky	M-L,P	cool weather

**Table 6-6.3**  
Fertilizer Requirements for Sod

Types of Species	Planting Year	Fertilizer (lb./acre)	Rate (lbs./acre)	Nitrogen Top Dressing Rate (lbs./acre)
cool season grasses	first season maintenance	6-12-12 6-12-12	1500 1000	50-100 1000
warm season grasses	first season maintenance	6-12-12 10-10-10	1500 400	50-100 30

**Table 6-5.1**  
FERTILIZER REQUIREMENTS

TYPE OF SPECIES	YEAR	MAINTENANCE OR EQUIVALENT N-R-K	RATE	N TOP DRESSING RATE
1. Cool season Grasses	First Season Maintenance	6-12-12 6-12-12	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30
2. Cool season Grasses and Legumes	First Season Maintenance	6-12-12 10-10-10	1500 lb./ac. 1000 lb./ac. 400 lb./ac. 30	50-100 lb./ac. 1/2 1000 lb./ac. 30
3. Warm season				



LENGTH REQUIRED FOR A 1/2 SLOPE

DIFFERENCE IN HEIGHT	LENGTH REQUIRED
1 Inch	1 foot
2 Inches	2 feet
3 Inches	3 feet
4 Inches	4 feet
5 Inches	5 feet
6 Inches	6 feet

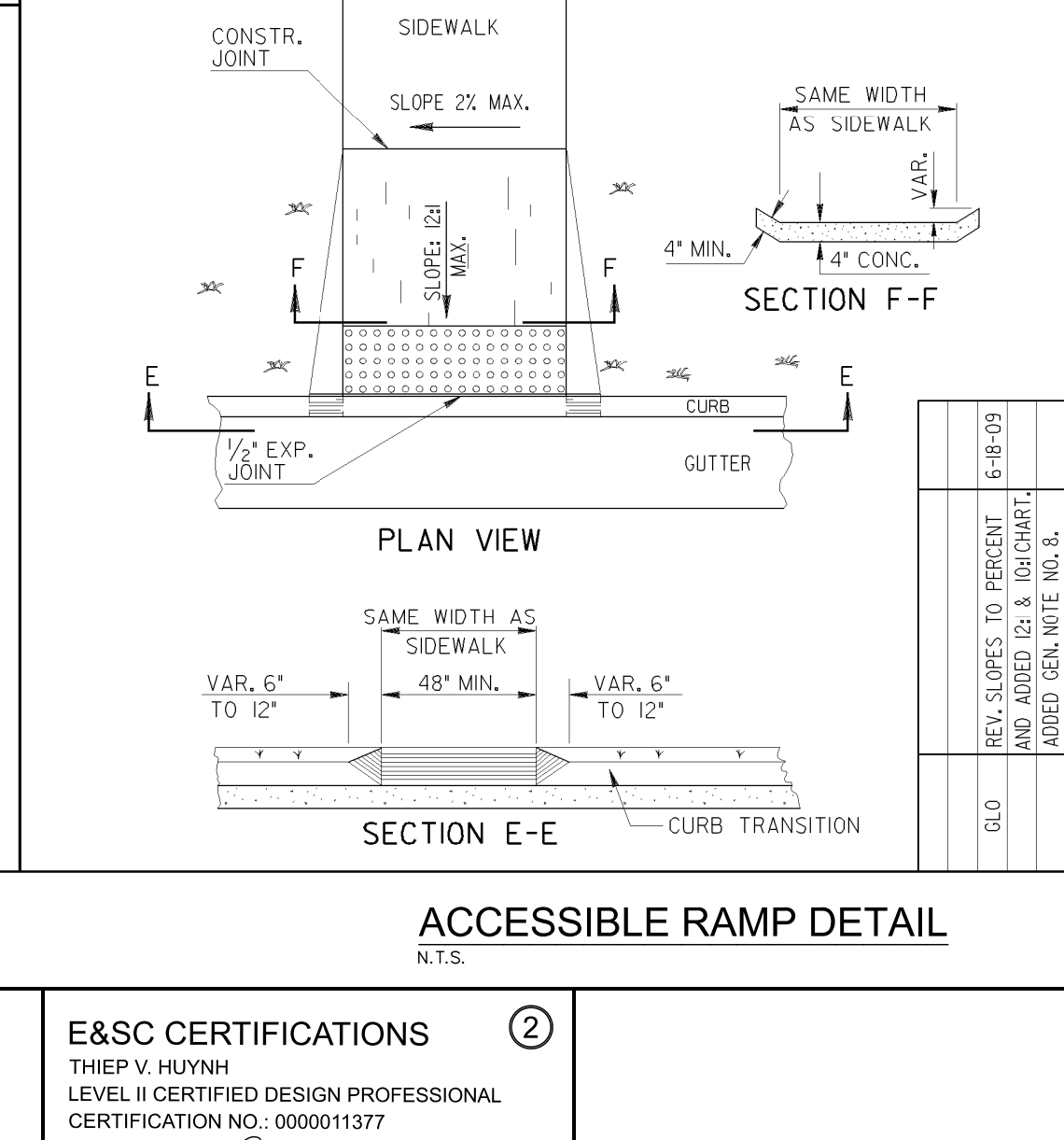
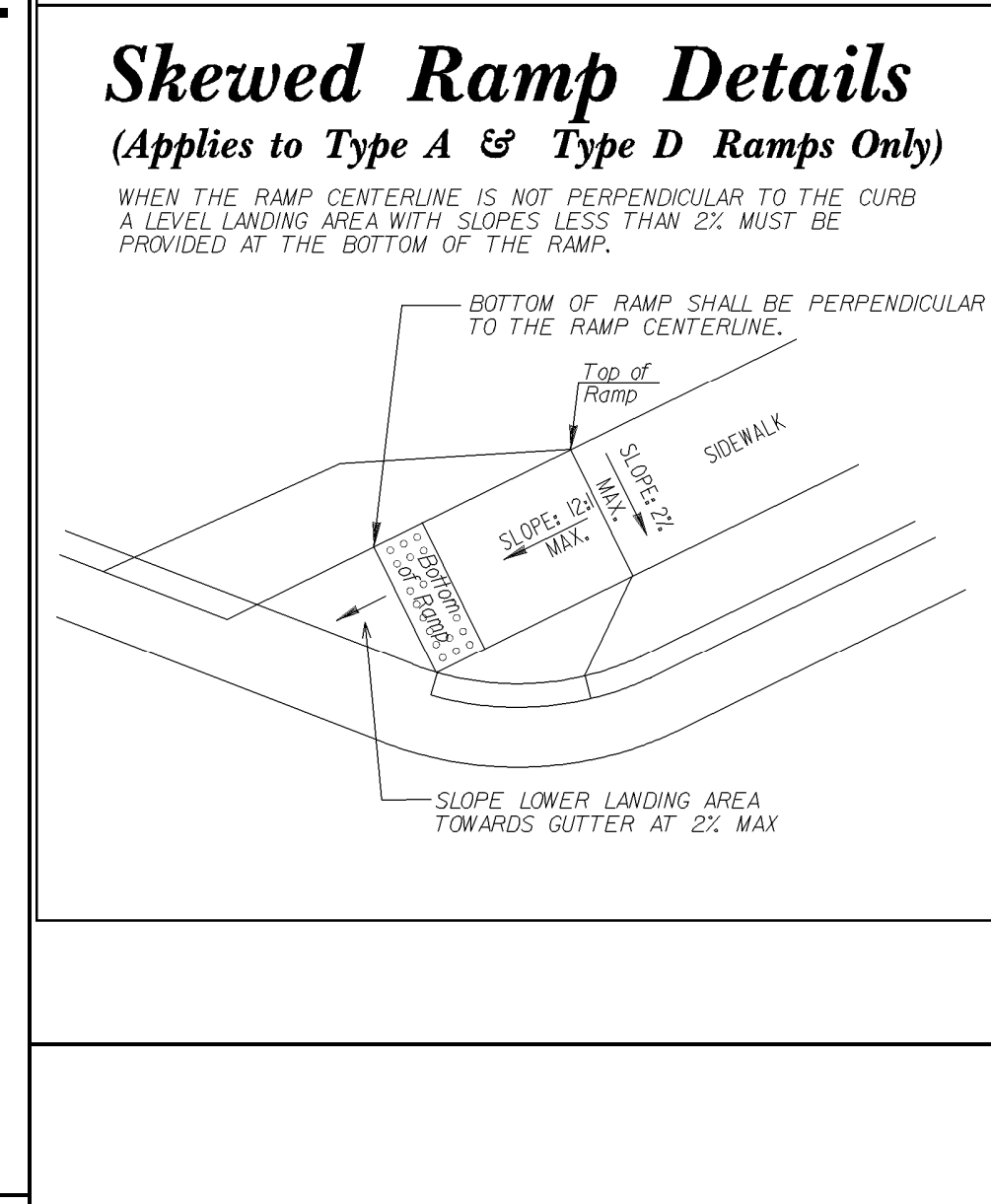
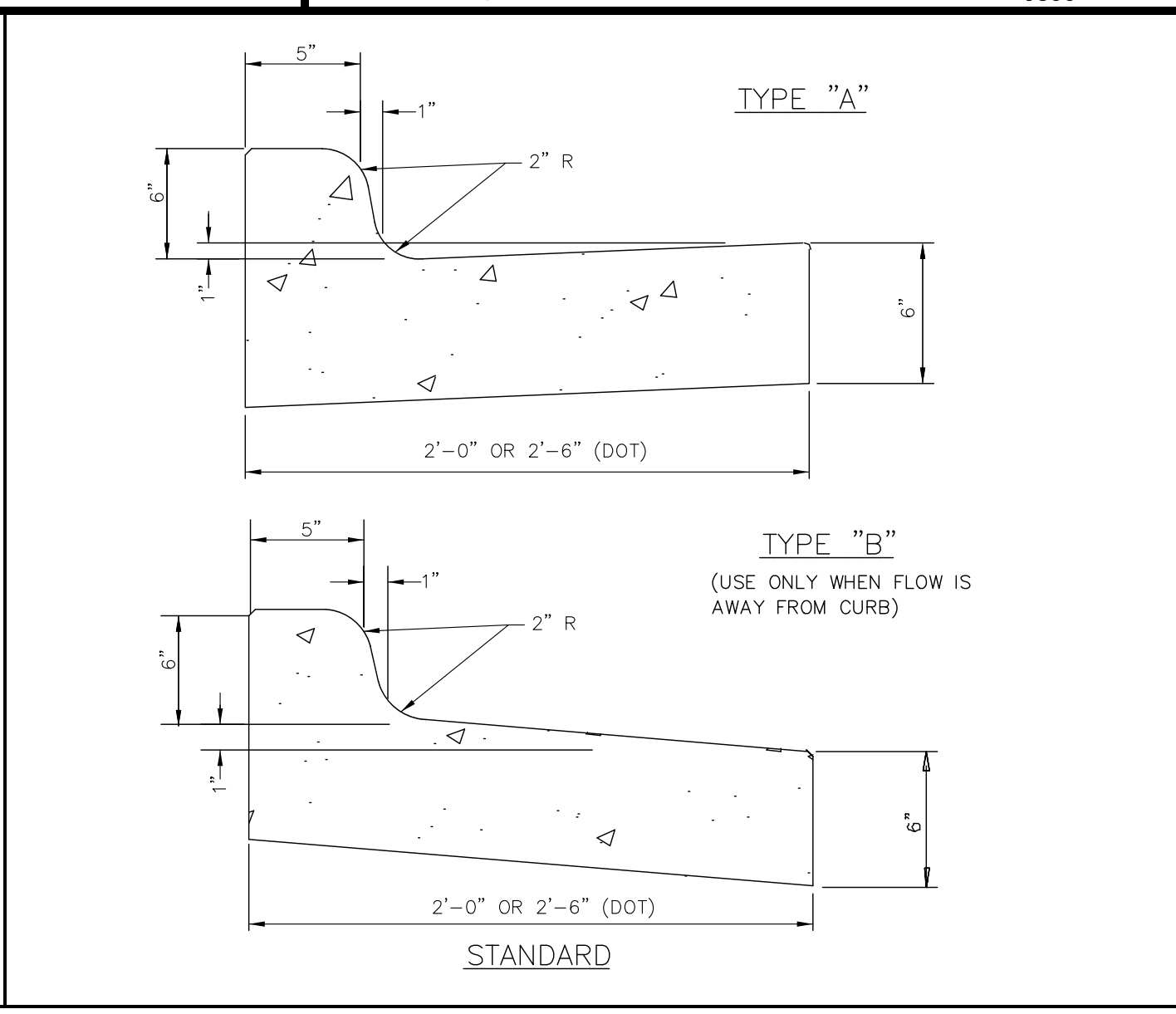
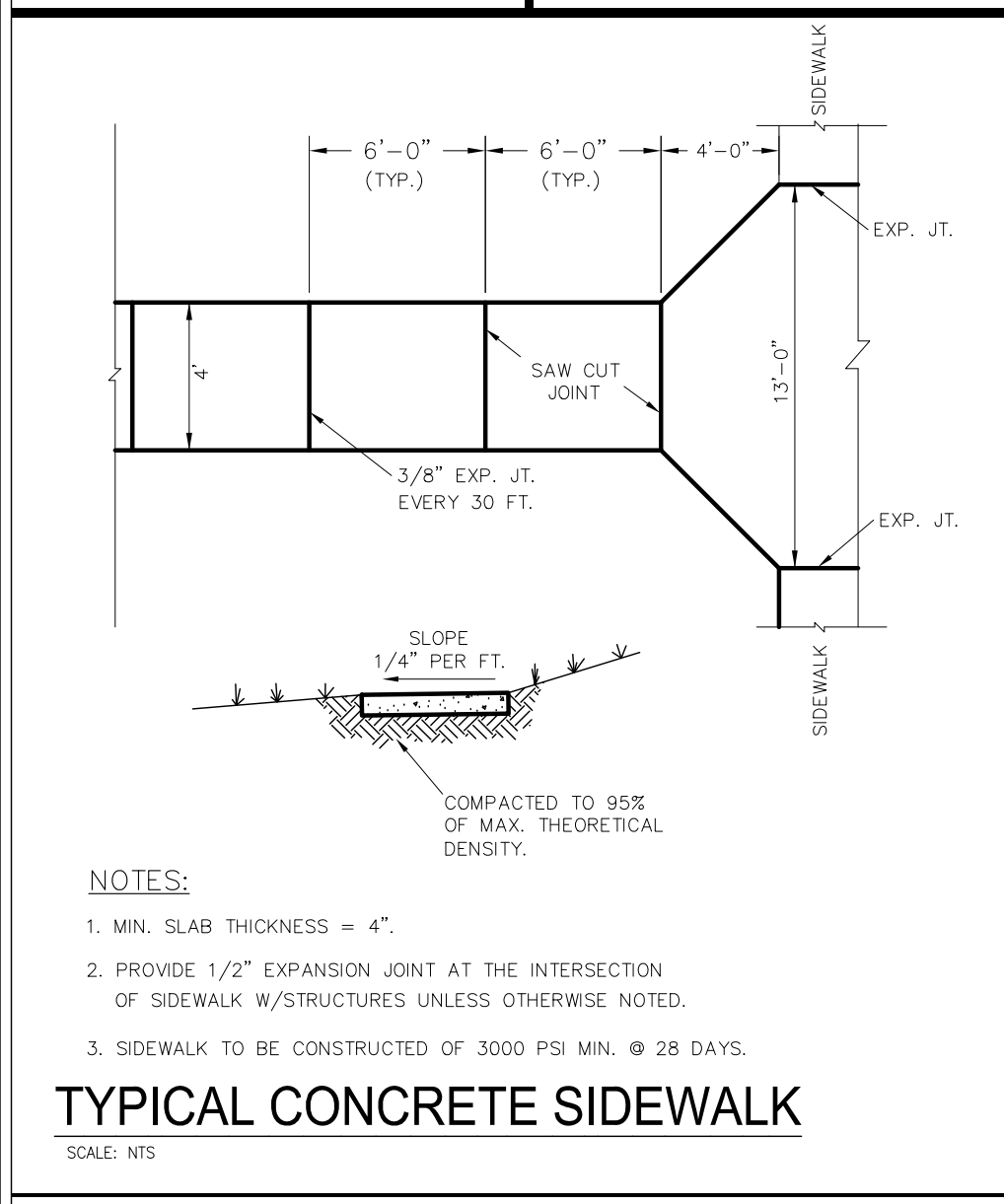
STRUCTURE OR TERMINATE AT CURB, RAMPS OR DRIVEWAYS AND AT 60' INTERVALS.

NOTES FOR CURB CUT RAMPS:

- CURB CUT RAMPS WILL BE LOCATED AS FOLLOWS UNLESS PLANS OR CONTRACT SPECIFY OTHERWISE.
  - AT ALL PEDESTRIAN CROSSWALKS WHERE CURB IS CONSTRUCTED OR REPLACED.
  - WHERE THE SIDEWALK, CONCRETE OR UNPAVED, IS INTERRUPTED BY THE CURB AT TURNOUTS OR AT INTERSECTIONS.
  - AT OTHER LOCATIONS SUCH AS HOSPITALS, NURSING HOMES, REST AREAS, ETC., WHERE THE CURB WOULD OTHERWISE BE AN OBSTRUCTION TO THE PHYSICALLY DISABLED.
- RAMPS WILL BE CONSTRUCTED FROM CONCRETE. SPECIFICATIONS FOR RAMPS WILL BE THE SAME AS FOR CONCRETE SIDEWALK. RAMPS SHALL HAVE EITHER A ROUGH OR A TEXTURED FINISH.
- DROP INLETS ARE NOT TO BE LOCATED DIRECTLY IN FRONT OF RAMPS. CATCH BASINS SHOULD BE LOCATED AT LEAST 10 FT. FROM RAMPS WHEN FEASIBLE.
- WHERE RAMPS ARE LOCATED IN RADI, THE DIMENSIONS SHOWN FOR RAMP WIDTHS AND TAPERS ARE MEASURED PERPENDICULAR TO THE RAMP AND NOT ALONG THE CURVE.
- WHERE UTILITY STRUCTURES CONFLICT, WHERE SIDEWALK GEOMETRY VARIES, AT SKEWED INTERSECTIONS, OR IN OTHER SPECIAL CASES, THE RAMP DESIGN MAY BE MODIFIED BY THE DESIGNER OR ENGINEER, PROVIDED THAT THE WIDTH REMAINS A MINIMUM OF 48 INCHES, AND NO SLOPE ON THE ACCESSIBLE PART OF THE RAMP IS STEEPER THAN 12:1.
- WHEN A CURB RAMP IS PLACED ON EXISTING PAVEMENT, THE PAVEMENT SHALL BE REMOVED TO PROVIDE A MINIMUM THICKNESS OF 3 INCHES OF CONCRETE AT ALL LOCATIONS. NO SEPARATE PAYMENT WILL BE MADE FOR REMOVAL OF THE PAVEMENT.
- DETECTABLE WARNING SURFACES ARE REQUIRED ON ALL INTERSECTIONS WITH PUBLIC STREETS, SIGNALIZED COMMERCIAL DRIVEWAYS, AND COMMERCIAL DRIVEWAYS WITH AN AADT OF 25 VPD.

**This Detail Replaces Ga Standard 9031W**  
Guidelines For Usage On Metric Projects

When these details are incorporated into plans and or projects that are being prepared or constructed in metric units, exact or precise conversion to metric units is not required. The dimensions shown that are in feet and inches may be converted to corresponding metric units using the following "Rounded-Off" conversion factors: 1"=25mm, 4"=100mm, and 12"=300mm. All measurement notes that refer to linear feet and square yards shall be interpreted to mean linear meters and square meters.

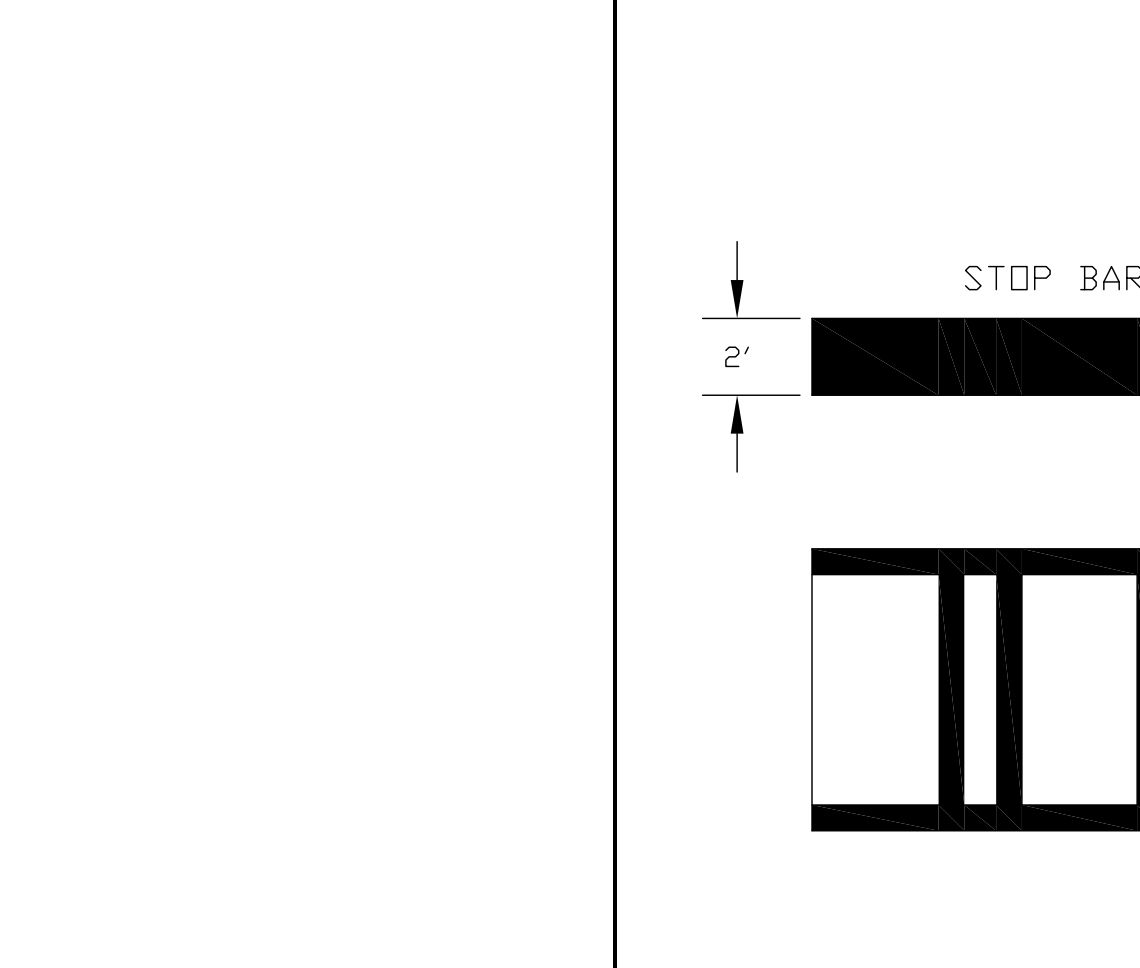
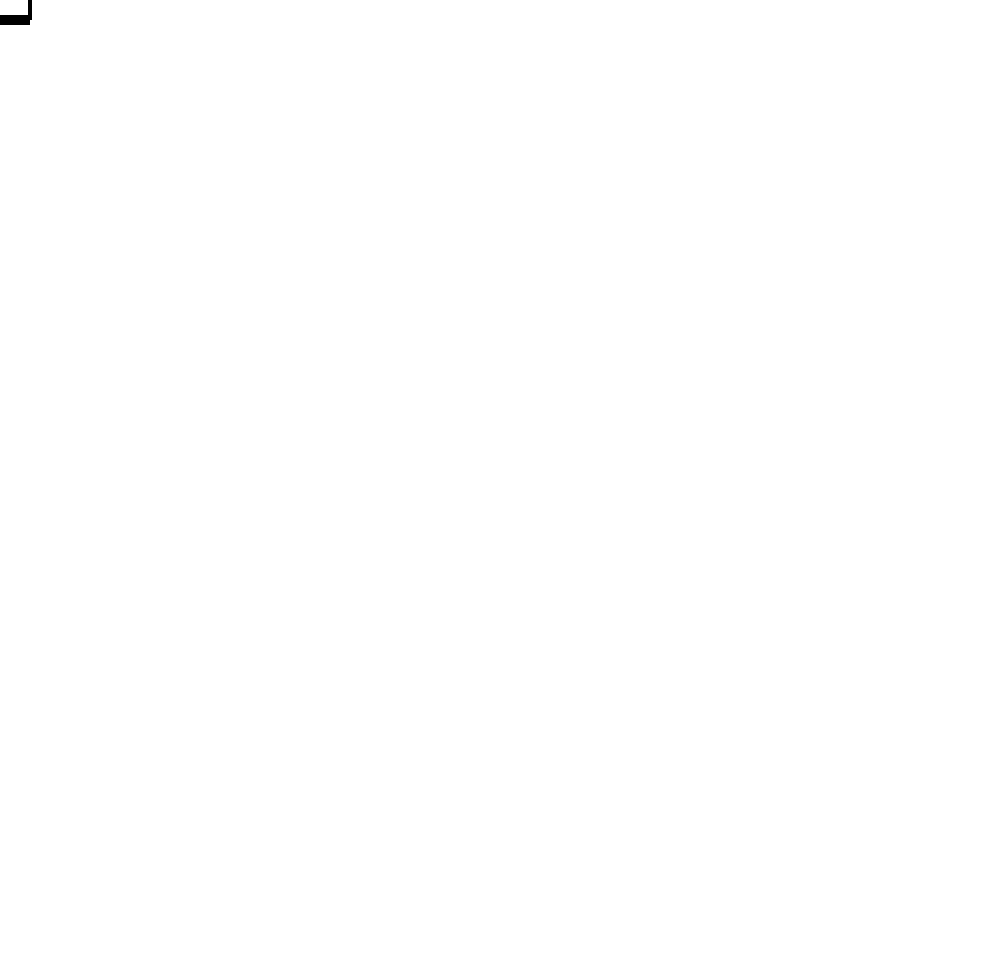
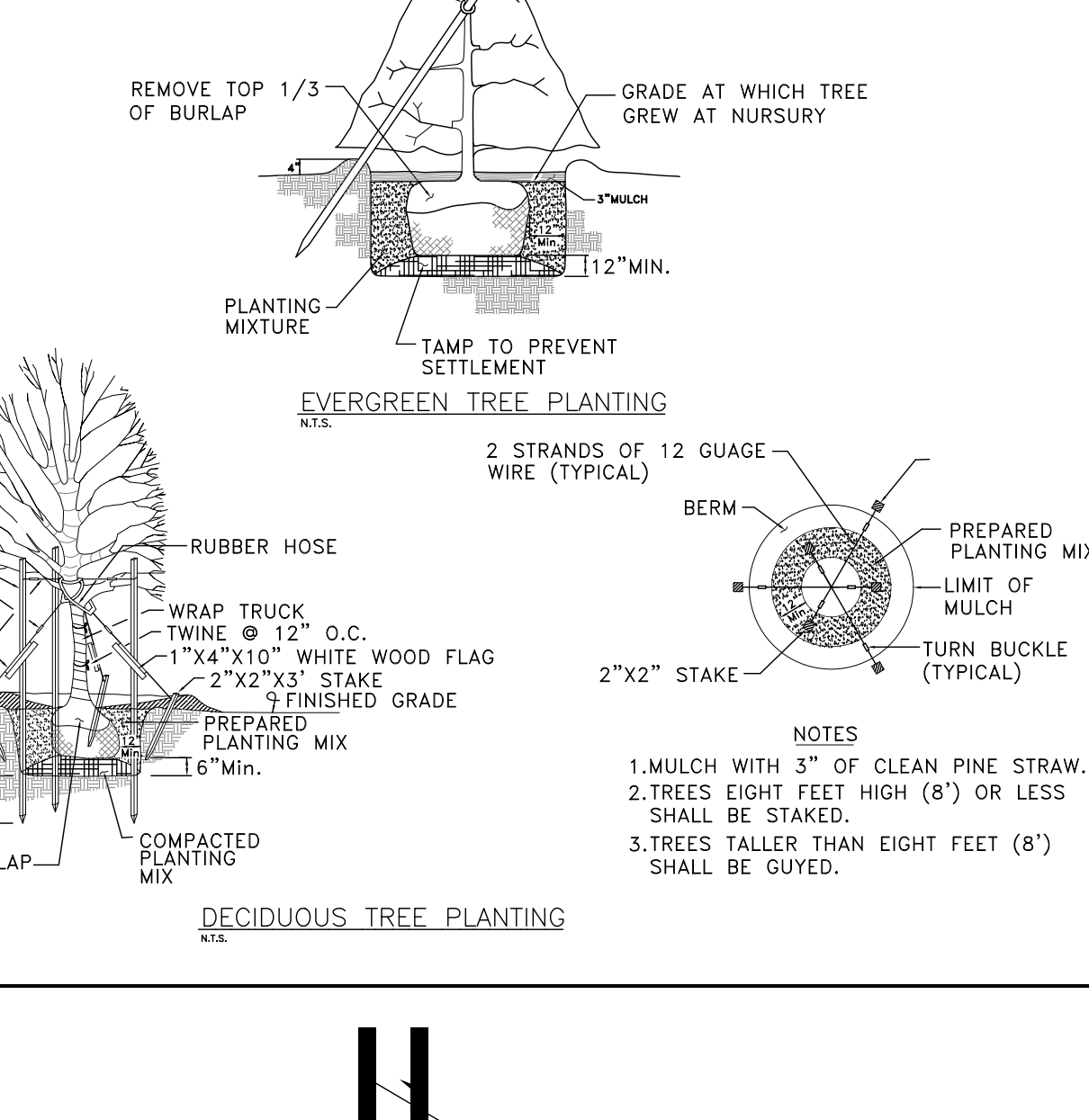
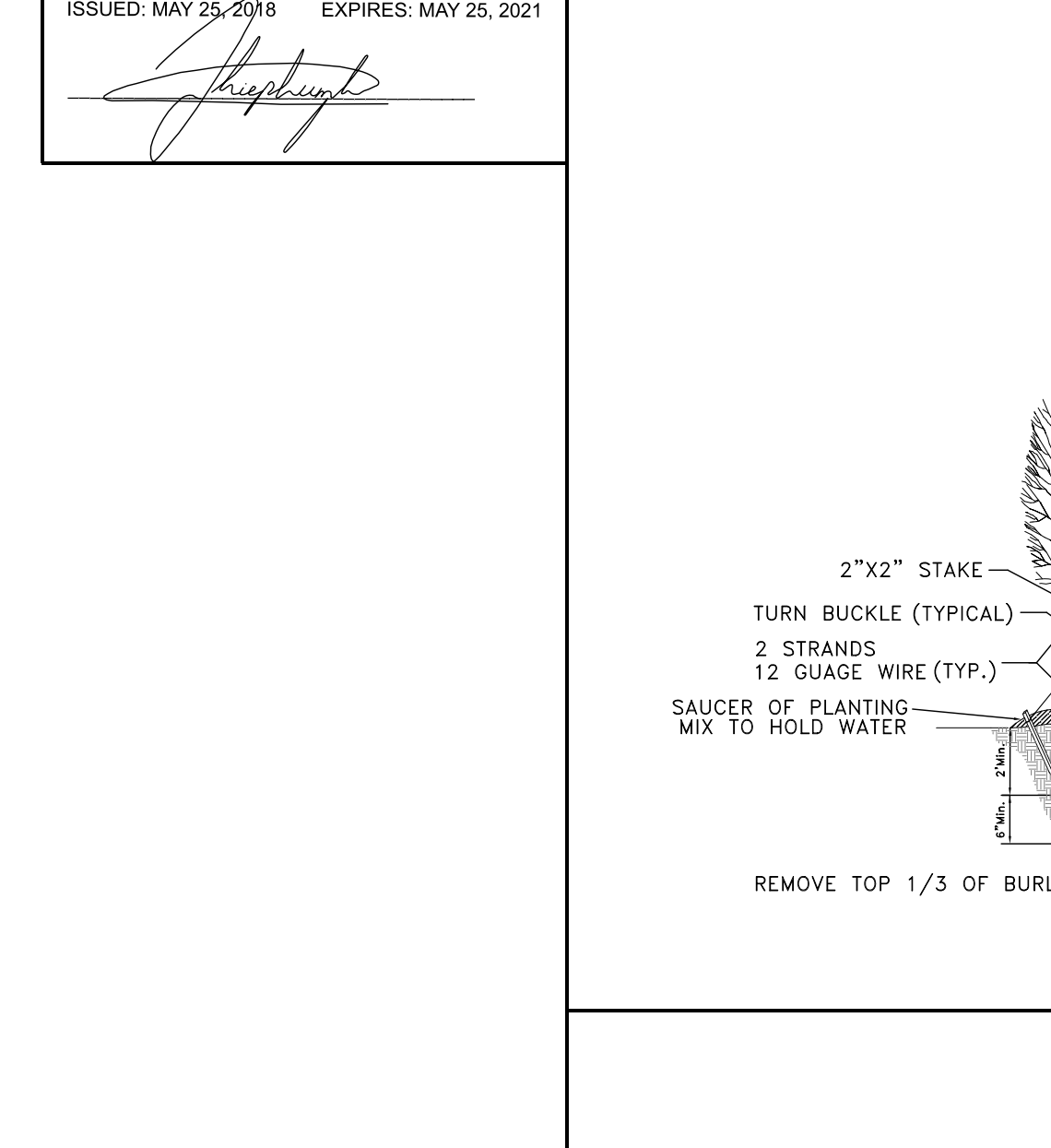
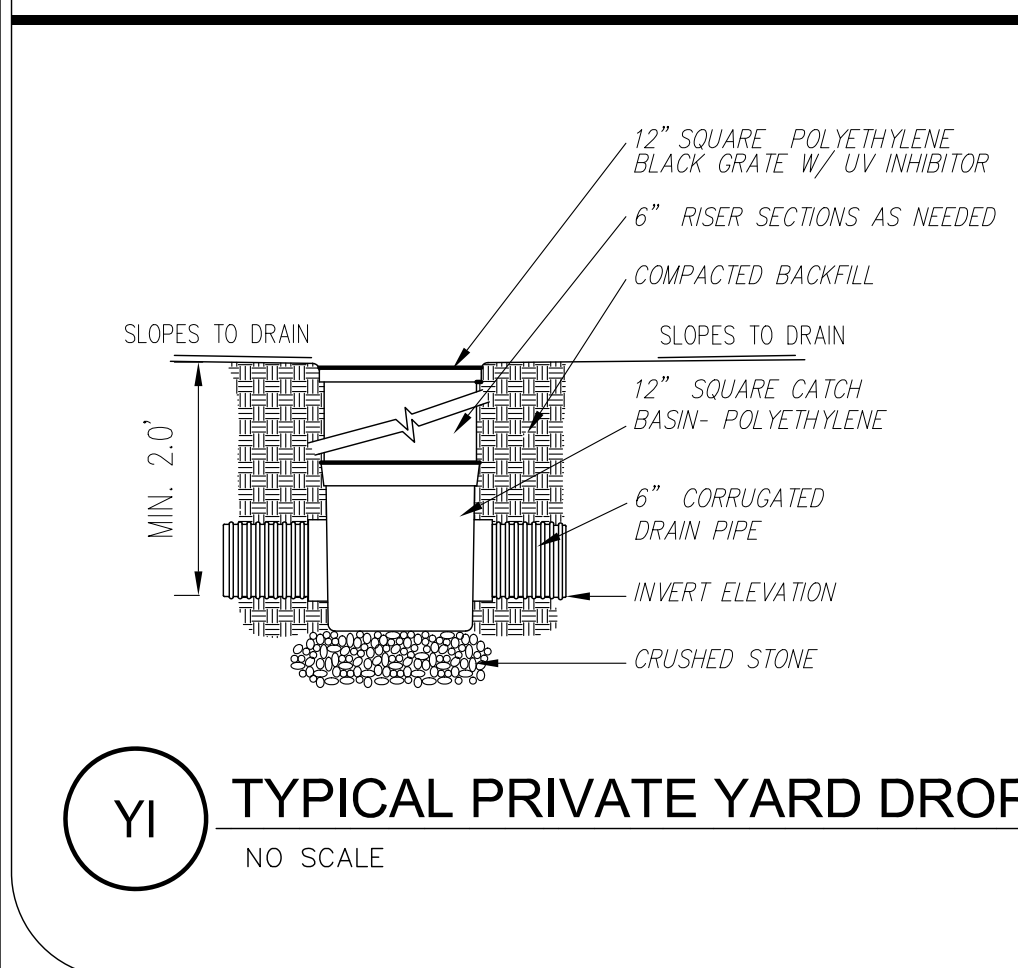
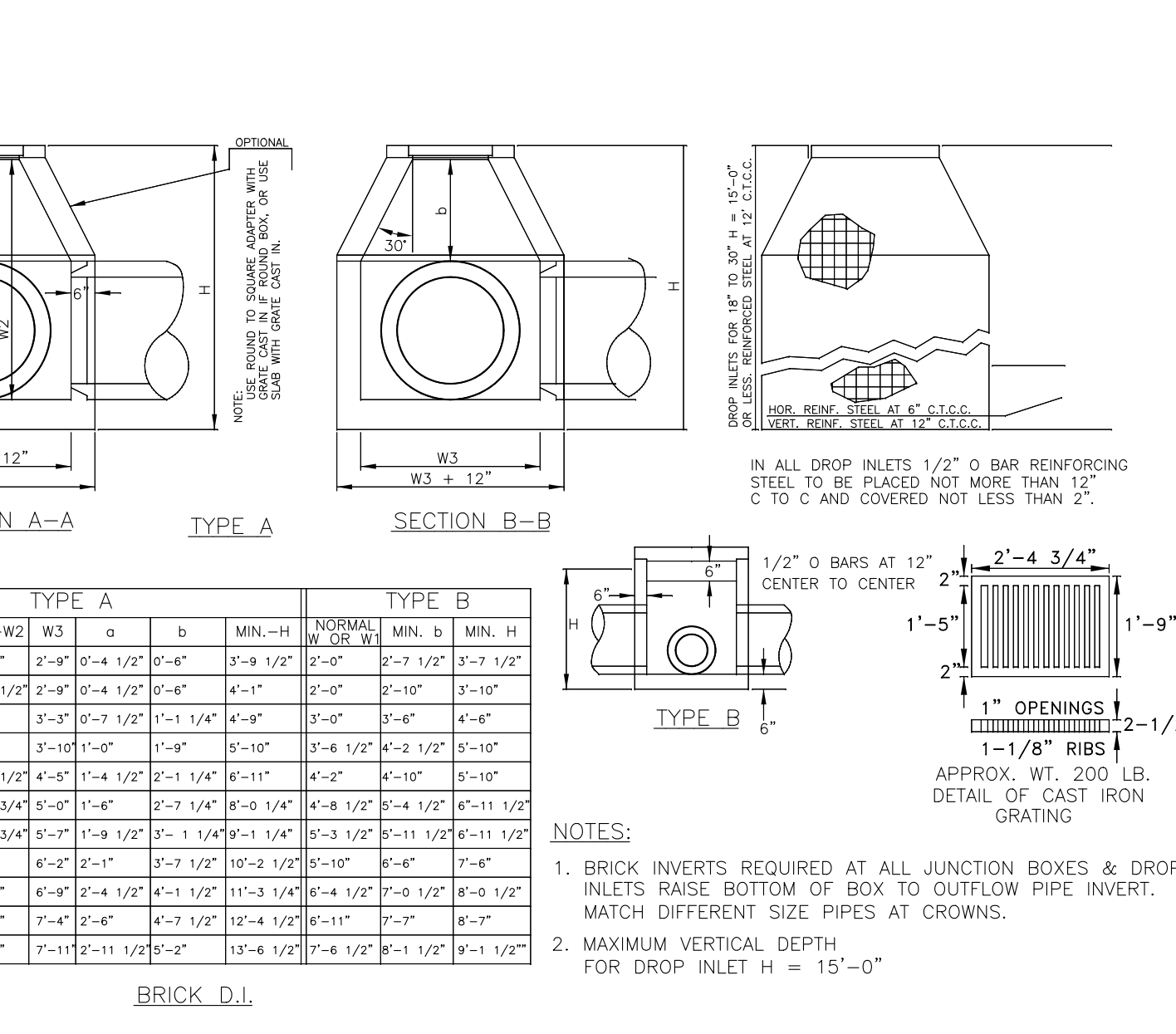
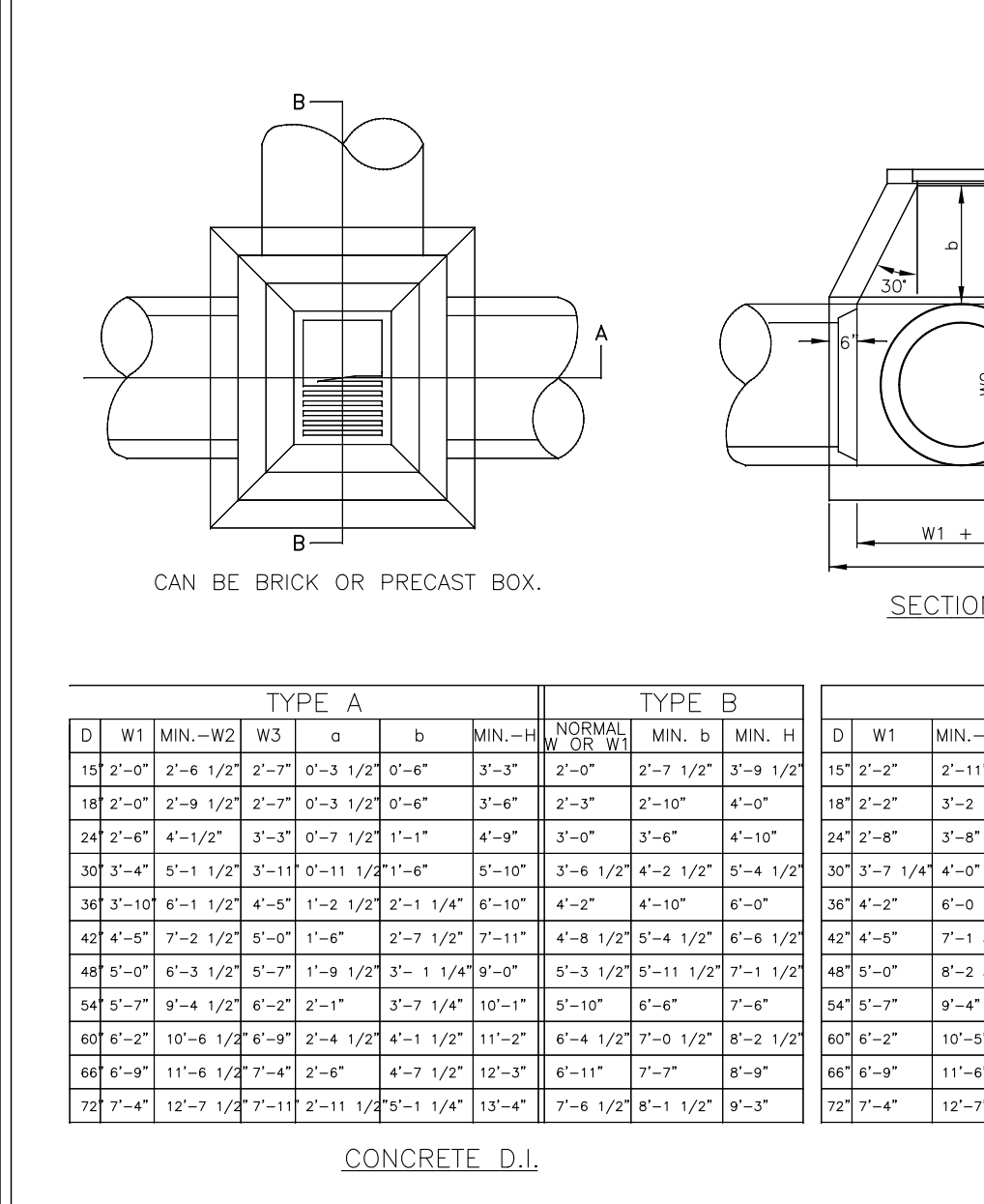


DEPARTMENT OF TRANSPORTATION  
STATE OF GEORGIA

SPECIAL DETAIL  
CONCRETE SIDEWALK DETAILS  
CURB CUT (WHEELCHAIR) RAMPS

NO SCALE MARCH 12, 2002 NUMBER A3

NO.	DATE	DESCRIPTION
1	6-18-03	REV. SLOPES TO PERMIT AND ADDED GEN. NOTE NO. 8.
2	2-10-03	REVISED
3	2-29-02	REVISED
4	5-23-02	REVISED
5	5-13-02	REVISED
6	4-29-02	REVISED
7	4-11-02	REVISED
8	4-3-02	REVISED
9	2-28-02	REVISED



**A.C.E.**  
ALCOY CONSULTING ENGINEERING AND ASSOCIATES, LLC.  
P.O.C. TIP HUYNH, P.E.  
485 Edwards Rd.  
Oxford, Georgia 30054  
Phone: 770-466-4002  
tipacell@gmail.com

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GEORGIA REGISTERED PROFESSIONAL ENGINEER  
No. 83221P  
TIP HUYNH  
P.E.

**CONSTRUCTION DETAILS**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
LAND LOT: 185  
DISTRICT: 4TH  
TOMMY LEE FULLER DRIVE  
CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
SCALE: 1"=40'

**OWNER/PERMITTEE**

LOGAN MIAMI, LLC.  
145 HOUSE WAY  
ROSWELL, GA 30076  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
STEVE ALLEN  
678-575-7041  
steveallenco@gmail.com

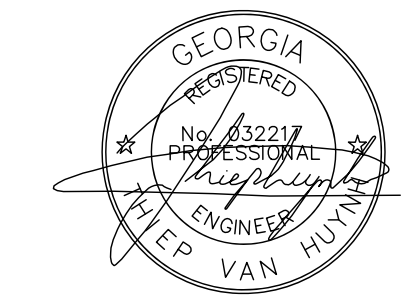
**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-5.2**

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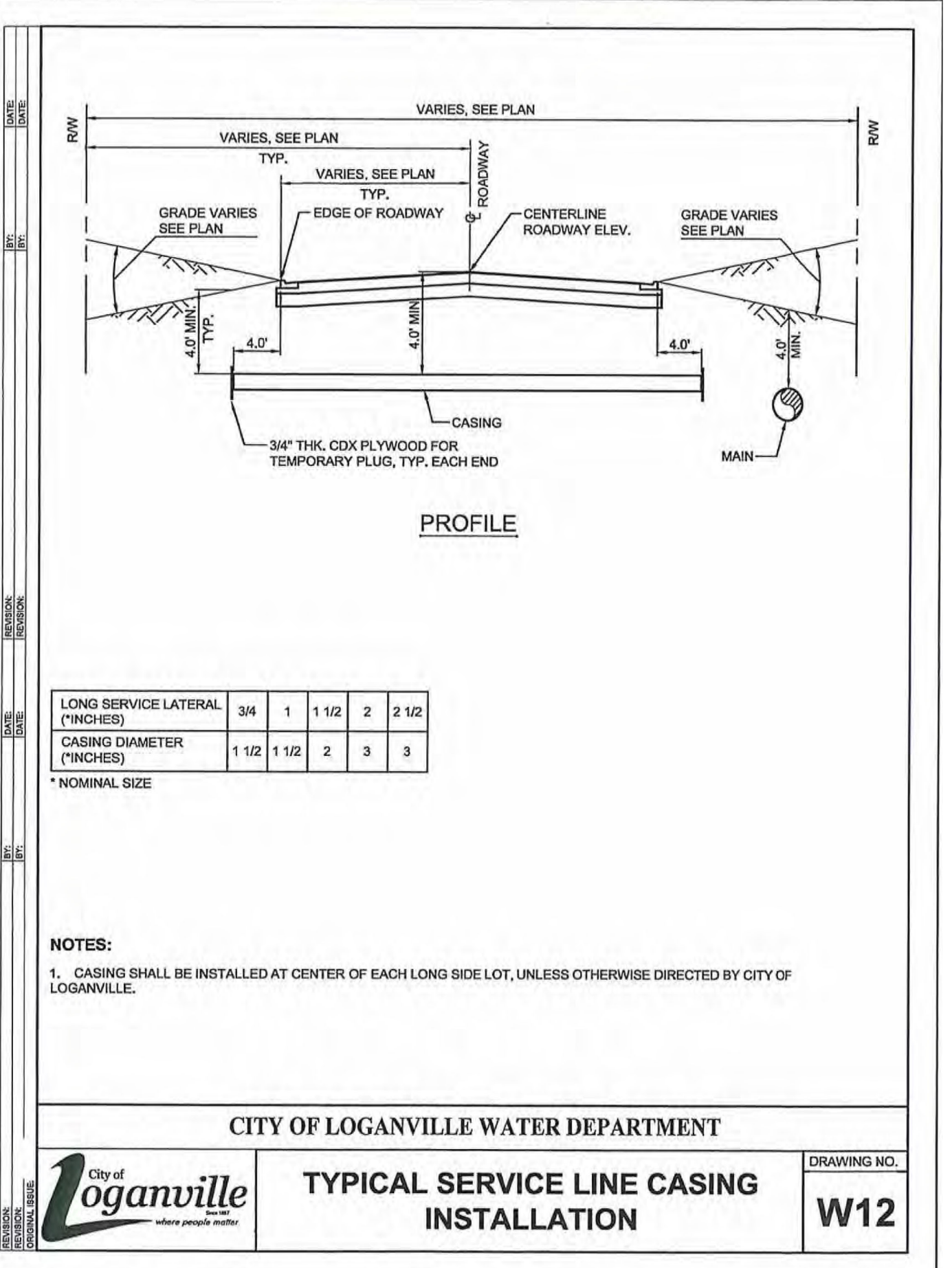
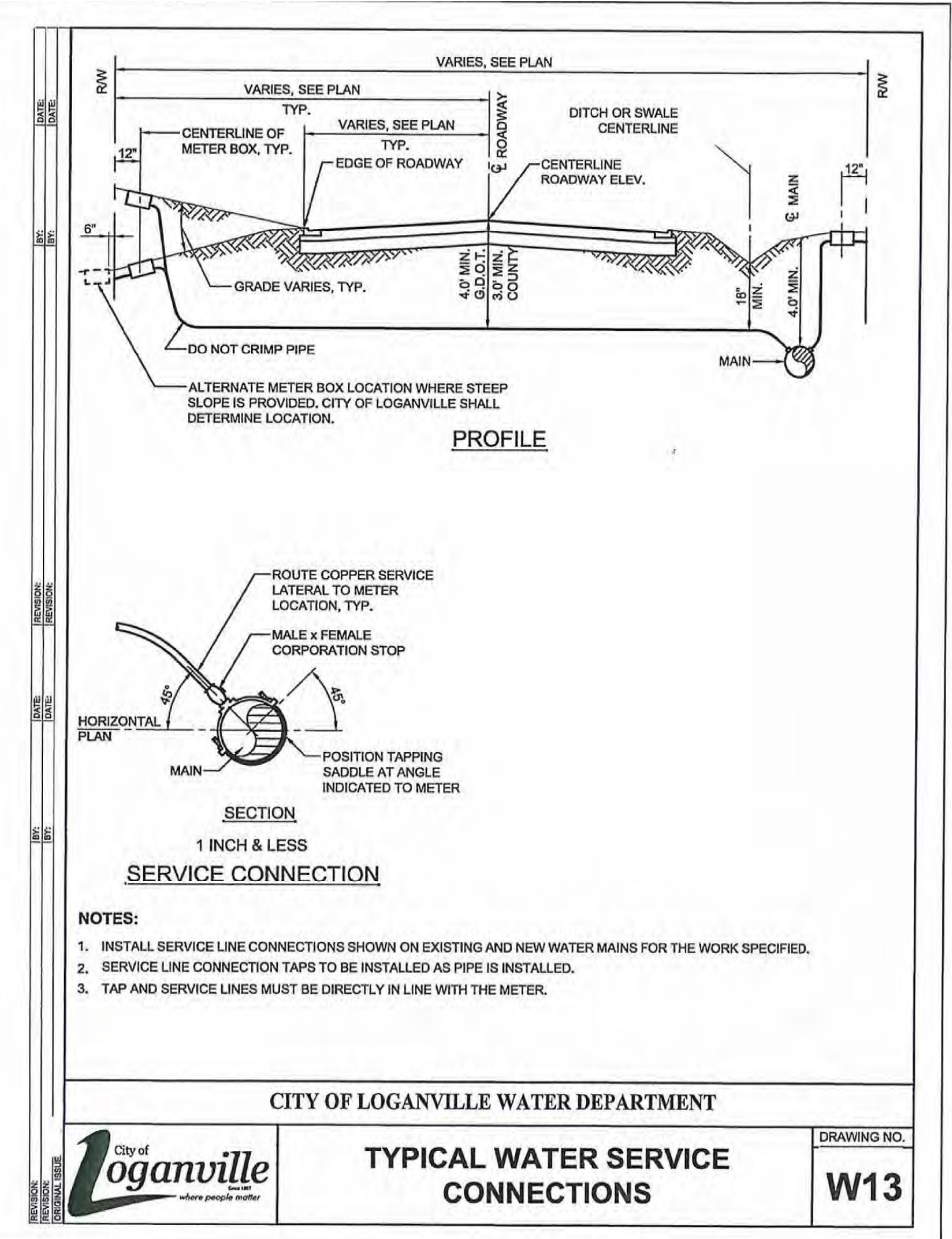
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**REVISIONS**

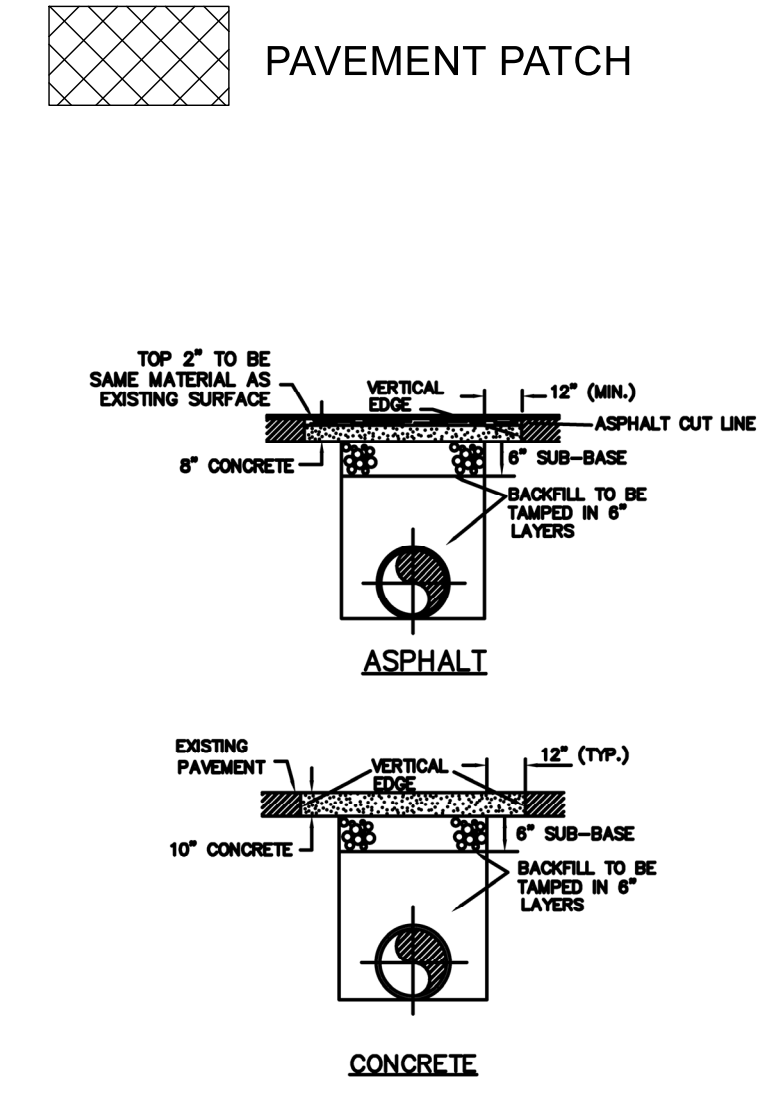
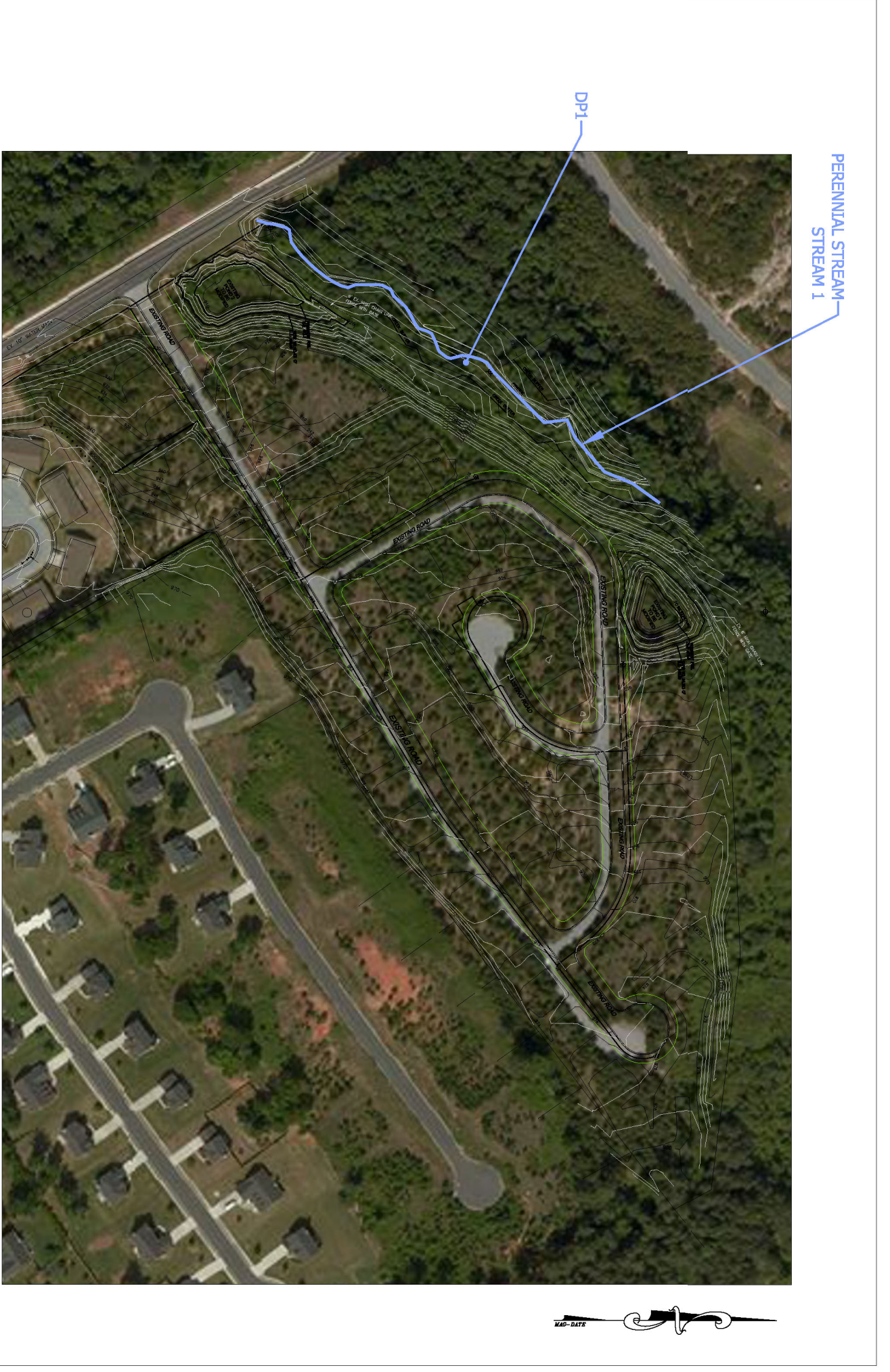
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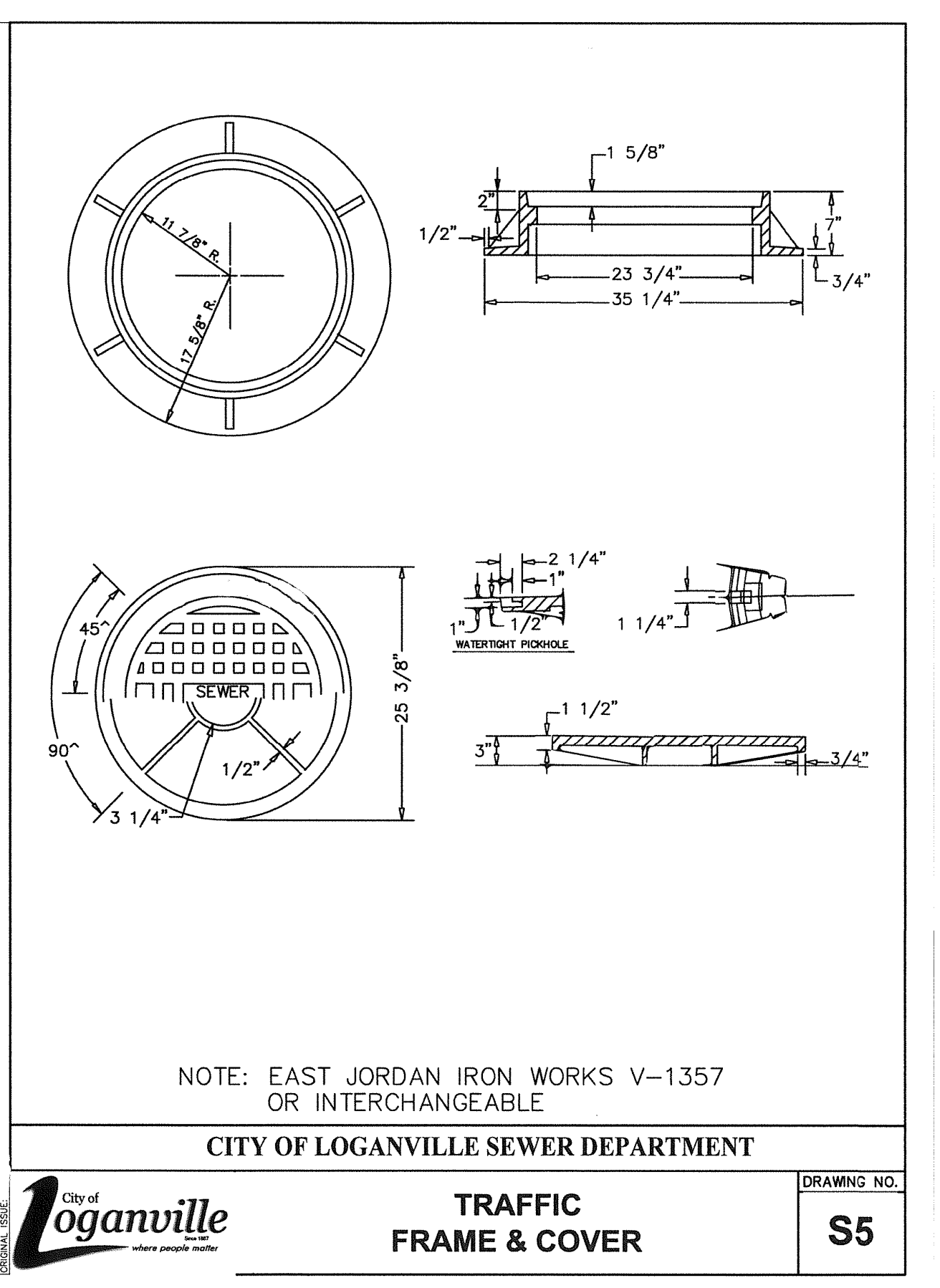
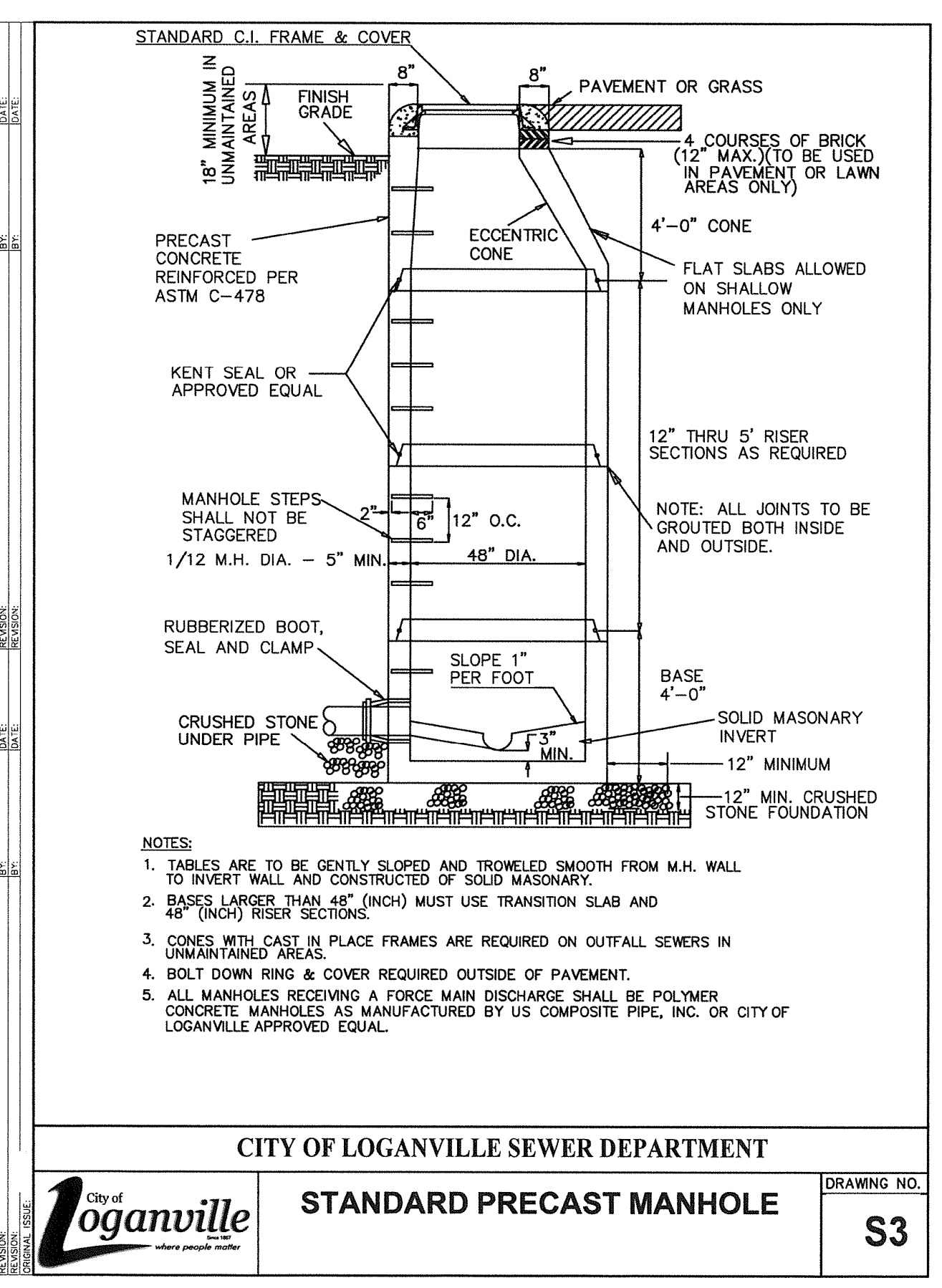
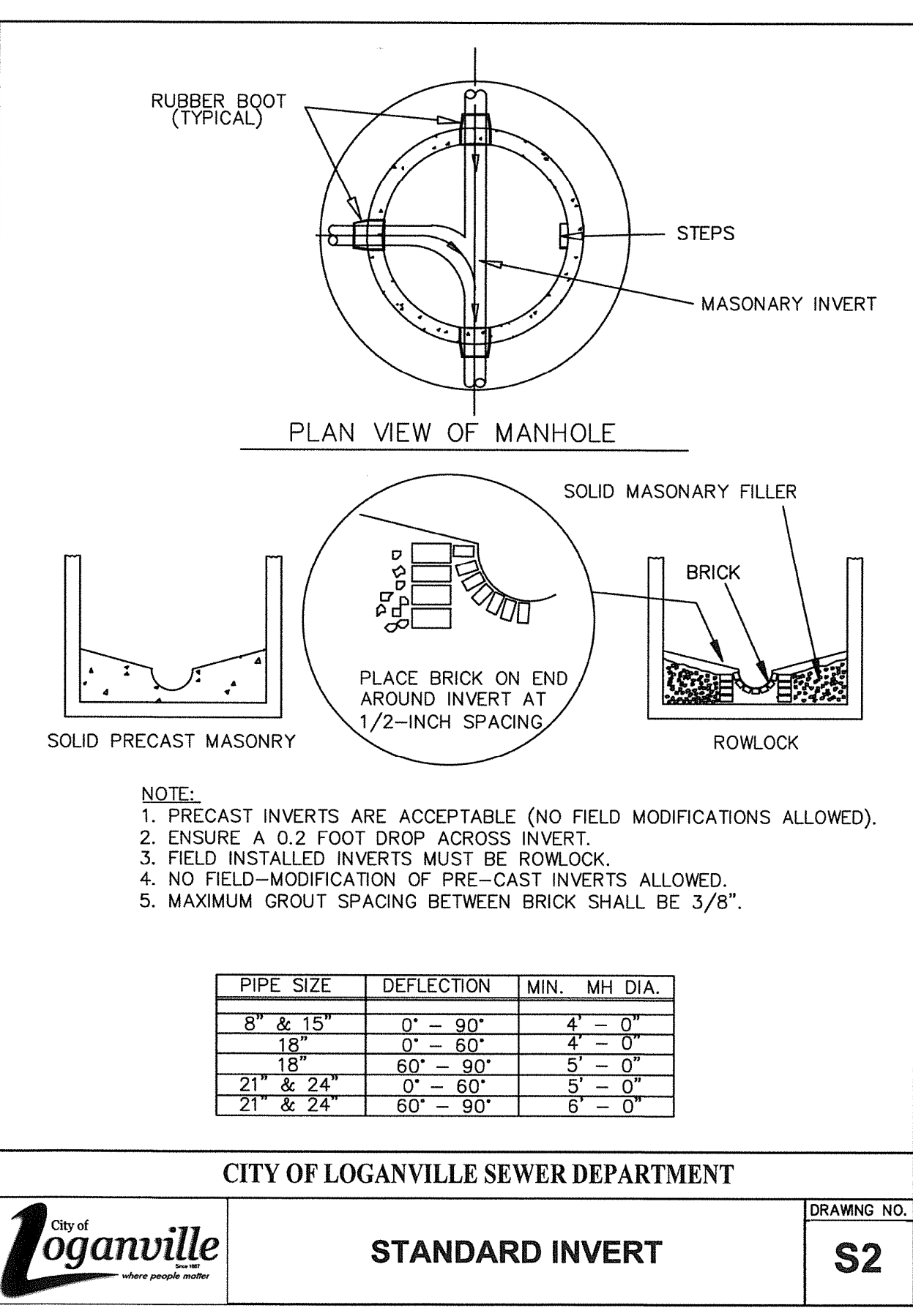
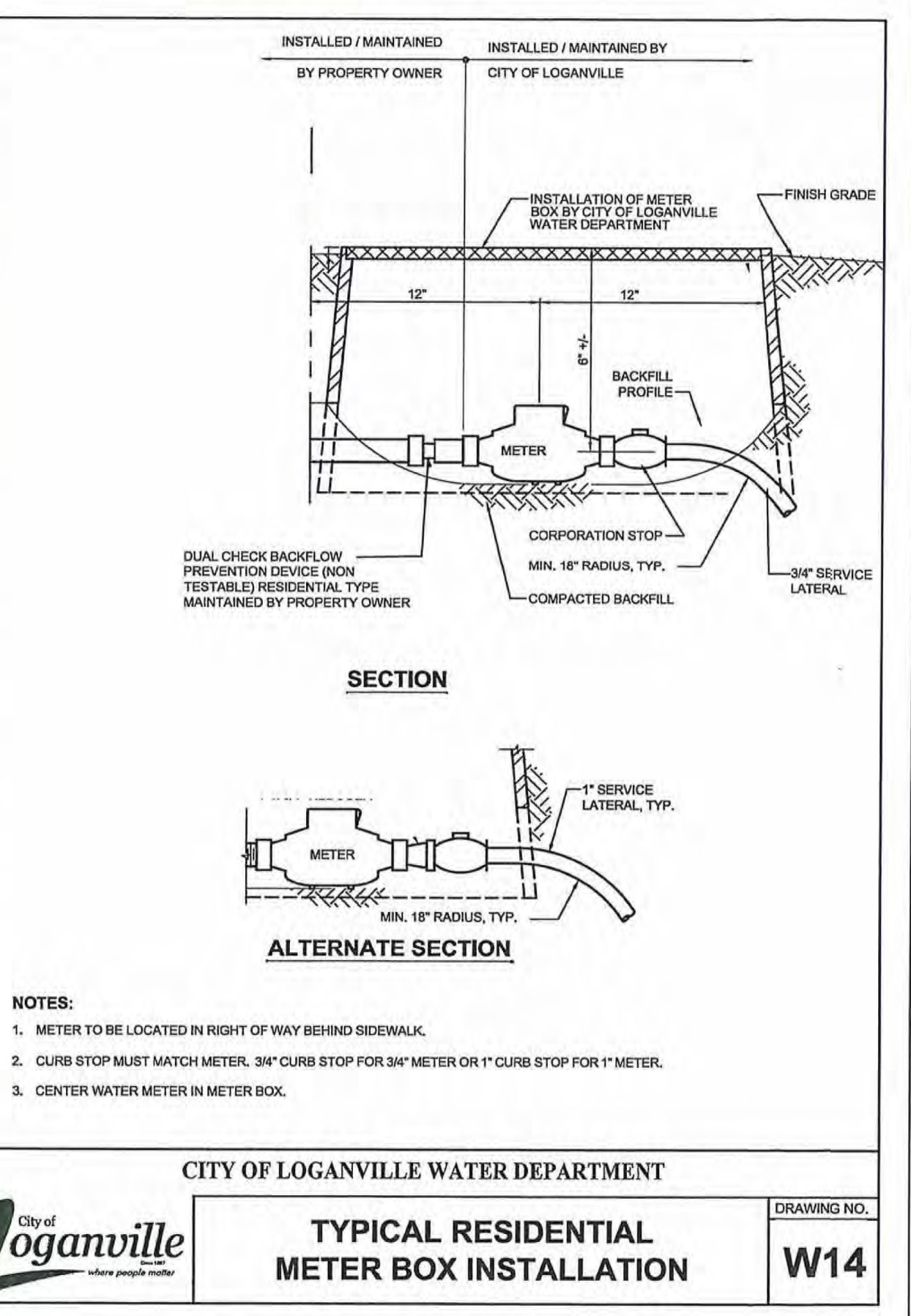
C-5.3



**E&S CERTIFICATIONS** ②  
 THIEP V. HUYNH  
 LEVEL II CERTIFIED DESIGN PROFESSIONAL  
 CERTIFICATION NO.: 0000911377  
 ISSUED: MAY 25, 2018 EXPIRES: MAY 25, 2021



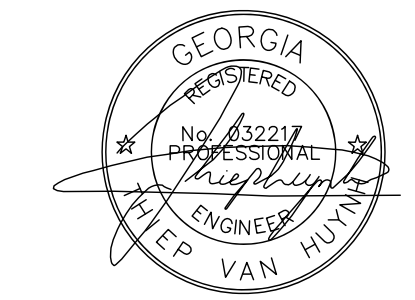
Tommy Lee Fuller Tract  
 Tallman Environmental, Inc.



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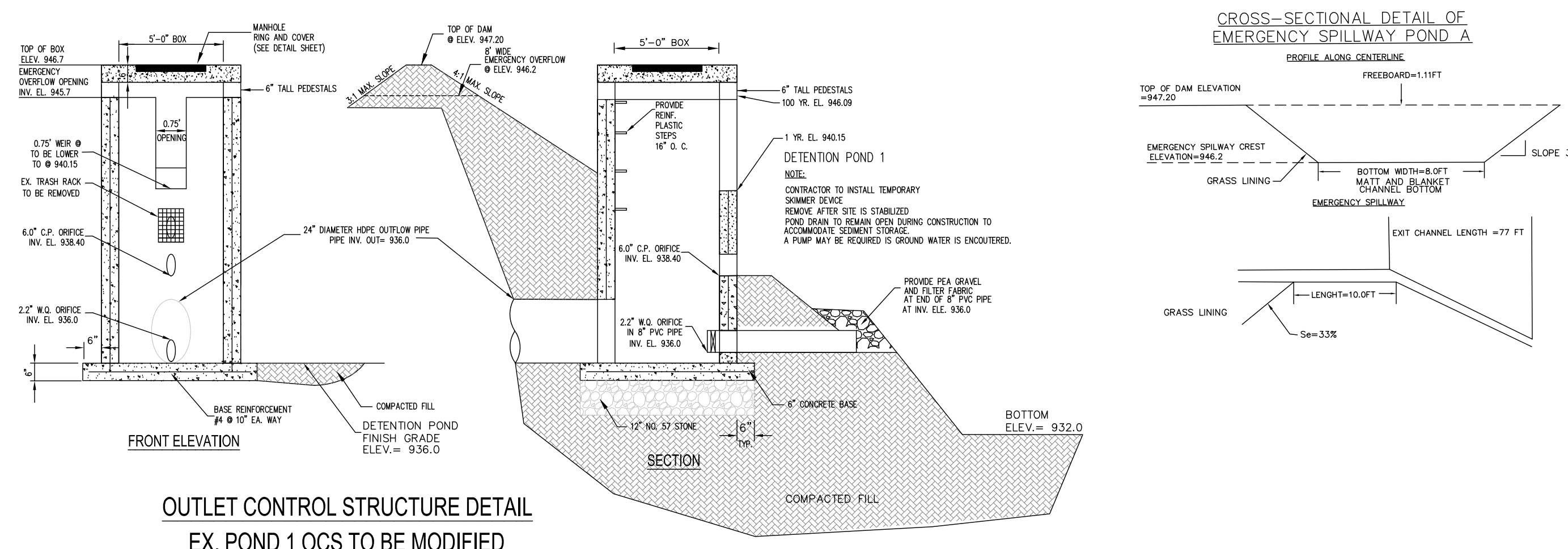
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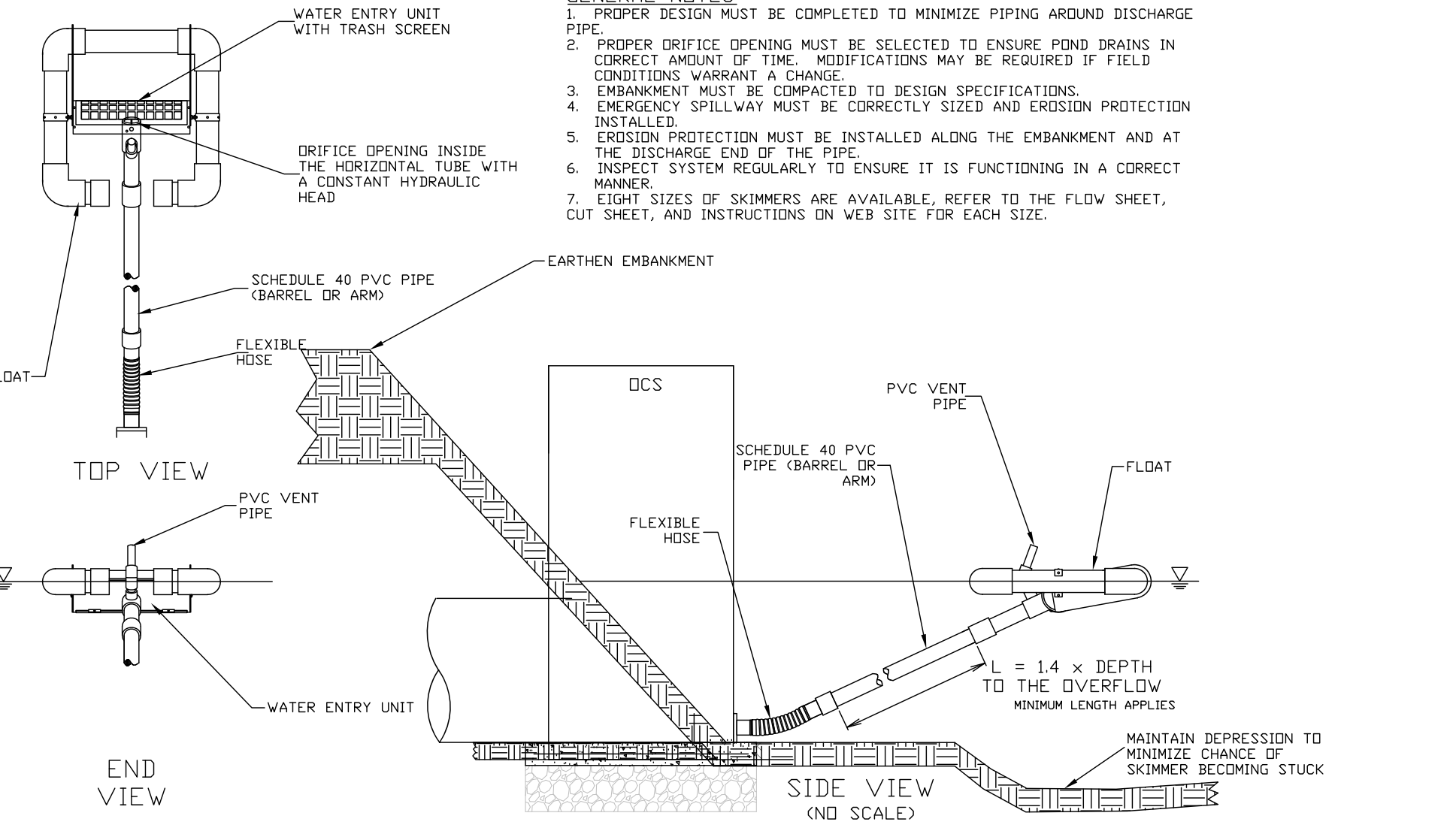
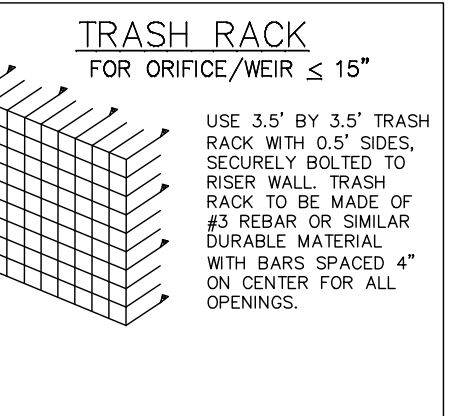
C-5.4



**OUTLET CONTROL STRUCTURE DETAIL**  
**EX. POND 1 OCS TO BE MODIFIED**

Skimmer Sizing Data Pond 1	
Basin Volume:	102,693 CF
Day to Drain:	3 Day
Skimmer Size:	6 Inches
Orifice Diameter:	4.9 Inches
Manufacturer:	Faircloth or Approved Equal

**SEDIMENT STORAGE CALCULATIONS FOR AREA FLOWING TO POND 1**  
 1. DISTURBED AREA = 11.97 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DISTURBED AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 11.97 AC  
 REQUIRED WATER STORAGE = 802 CY  
 REQUIRED 25YR STORMWATER STORAGE = 2,703 CY  
 TOTAL REQUIRED = 802 + 2,703 = 3,505 CY  
 3. PROVIDED VOLUME OF 3,803 CY.



**51 EXCAVATED INLET GI 1**  
 1. DRAINAGE AREA = 0.44 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DRAINAGE AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 0.44 AC  
 REQUIRED SEDIMENT STORAGE = 29.48 CY = 795.96 CF  
 3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) = 1.5 FT  
 4. ASSUME SLOPE OF SIDES (SHALL NOT BE STEEPER THAN 2:1) = 2:1  
 5. DETERMINE REQUIRED SURFACE AREA  
 SA(MIN) = REQUIRED SEDIMENT STORAGE / EXCAVATION DEPTH  
 SA(MIN) = 795.96 CF / 1.5 FT  
 SA(MIN) = 530.64 SF  
 6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS.  
 (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATION IS RECOMMENDED.)  
 SHAPE: 2:1  
 DIMENSIONS: L = 32.6 FT W = 16.29 FT DIAMETER (IF APPLICABLE) = 25.99 FT.

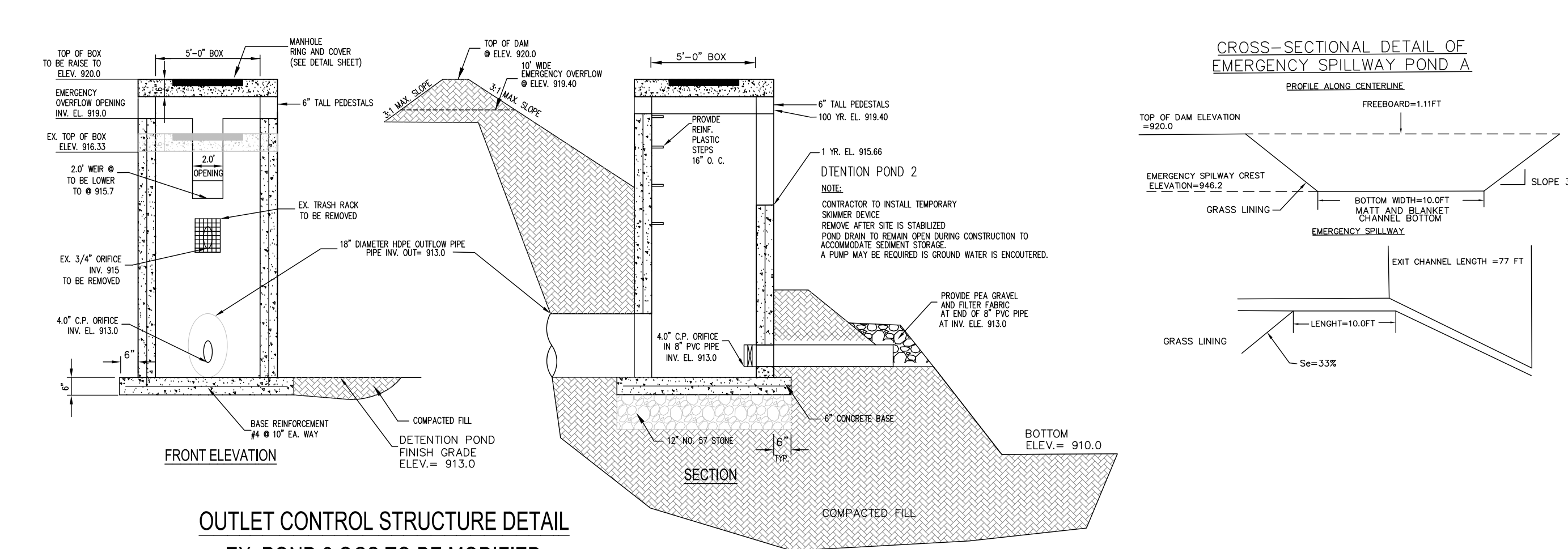
**51 EXCAVATED INLET GI 2**  
 1. DRAINAGE AREA = 1.05 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DRAINAGE AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 1.05 AC  
 REQUIRED SEDIMENT STORAGE = 70.35 CY = 1,899.45 CF  
 3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) = 1.5 FT  
 4. ASSUME SLOPE OF SIDES (SHALL NOT BE STEEPER THAN 2:1) = 2:1  
 5. DETERMINE REQUIRED SURFACE AREA  
 SA(MIN) = REQUIRED SEDIMENT STORAGE / EXCAVATION DEPTH  
 SA(MIN) = 1,899.45 CF / 1.5 FT  
 SA(MIN) = 1,266.30 SF  
 6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS.  
 (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATION IS RECOMMENDED.)  
 SHAPE: 2:1  
 DIMENSIONS: L = 50.30 FT W = 25.16 FT DIAMETER (IF APPLICABLE) = 40.50 FT.

**51 EXCAVATED INLET GI 3**  
 1. DRAINAGE AREA = 0.91 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DRAINAGE AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 0.91 AC  
 REQUIRED SEDIMENT STORAGE = 60.97 CY = 1,648.49 CF  
 3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) = 1.5 FT  
 4. ASSUME SLOPE OF SIDES (SHALL NOT BE STEEPER THAN 2:1) = 2:1  
 5. DETERMINE REQUIRED SURFACE AREA  
 SA(MIN) = REQUIRED SEDIMENT STORAGE / EXCAVATION DEPTH  
 SA(MIN) = 1,648.49 CF / 1.5 FT  
 SA(MIN) = 1,097.46 SF  
 6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS.  
 (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATION IS RECOMMENDED.)  
 SHAPE: 2:1  
 DIMENSIONS: L = 46.8 FT W = 23.42 FT DIAMETER (IF APPLICABLE) = 37.38 FT.

**51 EXCAVATED INLET GI A3**  
 1. DRAINAGE AREA = 0.70 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DRAINAGE AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 0.70 AC  
 REQUIRED SEDIMENT STORAGE = 46.90 CY = 1,266.30 CF  
 3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) = 1.5 FT  
 4. ASSUME SLOPE OF SIDES (SHALL NOT BE STEEPER THAN 2:1) = 2:1  
 5. DETERMINE REQUIRED SURFACE AREA  
 SA(MIN) = REQUIRED SEDIMENT STORAGE / EXCAVATION DEPTH  
 SA(MIN) = 1,266.30 CF / 1.5 FT  
 SA(MIN) = 844.2 SF  
 6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS.  
 (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATION IS RECOMMENDED.)  
 SHAPE: 2:1  
 DIMENSIONS: L = 41.1 FT W = 20.55 FT DIAMETER (IF APPLICABLE) = 32.70 FT.

**51 EXCAVATED INLET EX DWCB**  
 1. DRAINAGE AREA = 0.45 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DRAINAGE AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 0.45 AC  
 REQUIRED SEDIMENT STORAGE = 30.15 CY = 814.05 CF  
 3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) = 1.5 FT  
 4. ASSUME SLOPE OF SIDES (SHALL NOT BE STEEPER THAN 2:1) = 2:1  
 5. DETERMINE REQUIRED SURFACE AREA  
 SA(MIN) = REQUIRED SEDIMENT STORAGE / EXCAVATION DEPTH  
 SA(MIN) = 814.05 CF / 1.5 FT  
 SA(MIN) = 542.70 SF  
 6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS.  
 (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATION IS RECOMMENDED.)  
 SHAPE: 2:1  
 DIMENSIONS: L = 32.9 FT W = 16.47 FT DIAMETER (IF APPLICABLE) = 26.29 FT.

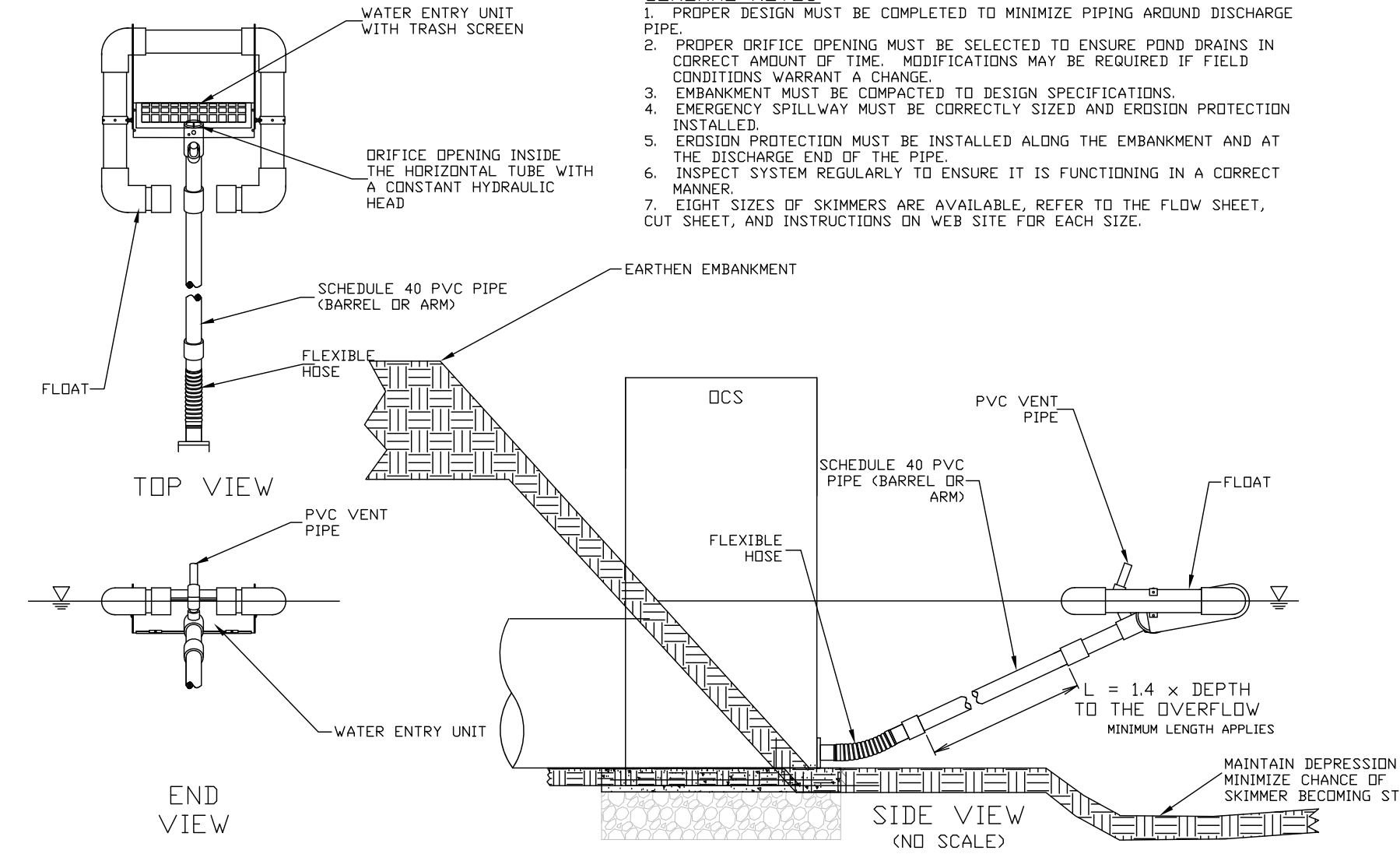
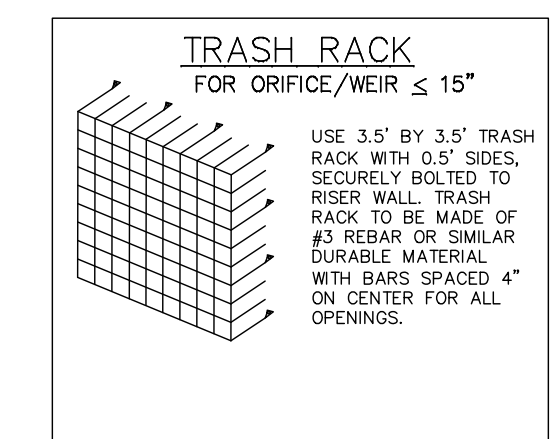
**51 EXCAVATED INLET GI BS.1**  
 1. DRAINAGE AREA = 0.63 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DRAINAGE AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 0.63 AC  
 REQUIRED SEDIMENT STORAGE = 42.21 CY = 1,139.67 CF  
 3. ASSUME EXCAVATION DEPTH (MINIMUM OF 1.5 FT) = 1.5 FT  
 4. ASSUME SLOPE OF SIDES (SHALL NOT BE STEEPER THAN 2:1) = 2:1  
 5. DETERMINE REQUIRED SURFACE AREA  
 SA(MIN) = REQUIRED SEDIMENT STORAGE / EXCAVATION DEPTH  
 SA(MIN) = 1,139.67 CF / 1.5 FT  
 SA(MIN) = 759.78 SF  
 6. ASSUME SHAPE OF EXCAVATION AND DETERMINE DIMENSIONS.  
 (A RECTANGULAR SHAPE WITH 2:1 LENGTH TO WIDTH RATION IS RECOMMENDED.)  
 SHAPE: 2:1  
 DIMENSIONS: L = 39.0 FT W = 19.49 FT DIAMETER (IF APPLICABLE) = 31.10 FT.



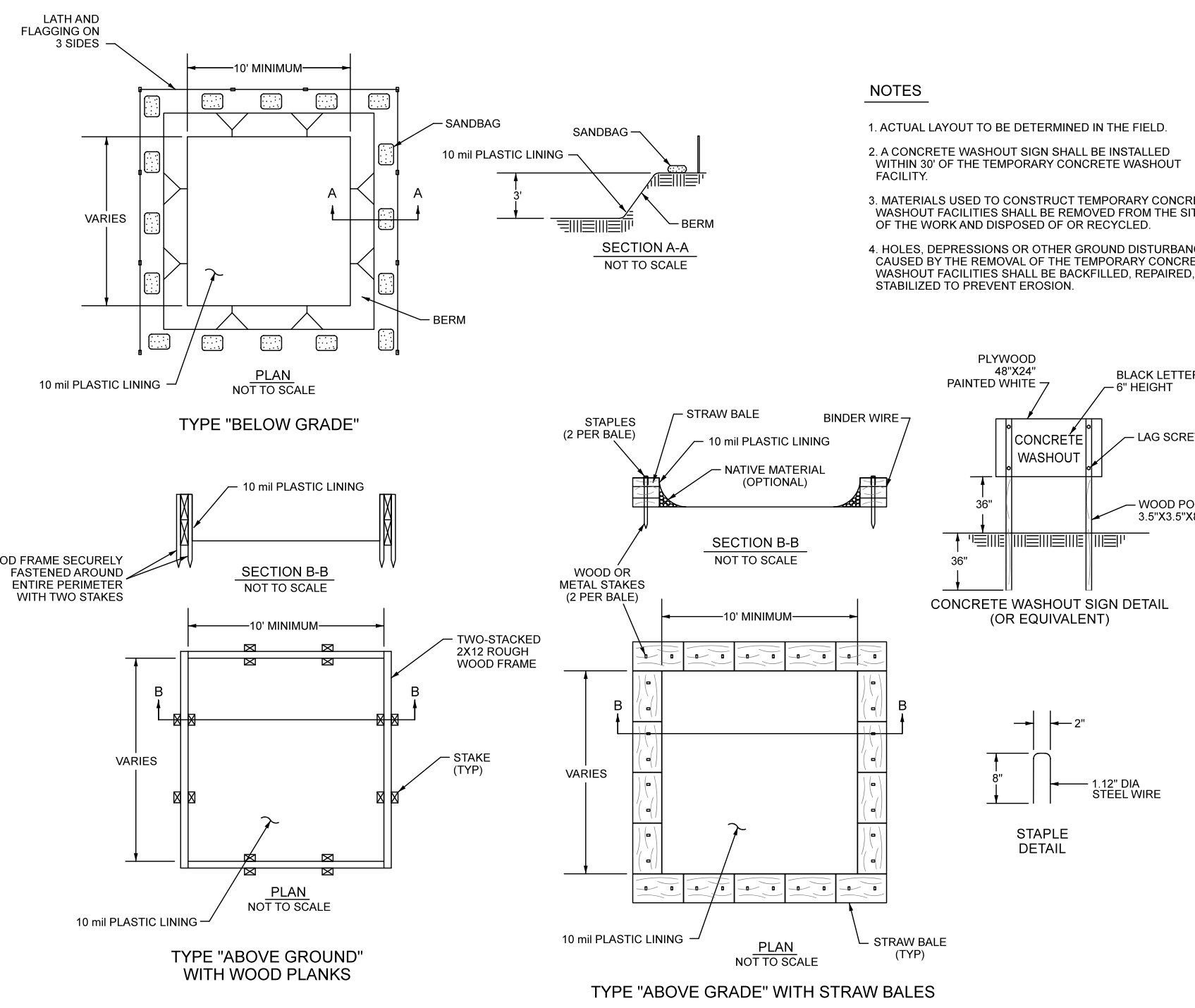
**OUTLET CONTROL STRUCTURE DETAIL**  
**EX. POND 2 OCS TO BE MODIFIED**

Skimmer Sizing Data Pond 2	
Basin Volume:	102,583 CF
Day to Drain:	3 Day
Skimmer Size:	6 Inches
Orifice Diameter:	4.9 Inches
Manufacturer:	Faircloth or Approved Equal

**SEDIMENT STORAGE CALCULATIONS FOR AREA FLOWING TO POND 2**  
 1. DISTURBED AREA = 11.17 AC  
 2. REQUIRED SEDIMENT STORAGE = 67 CY/AC \* DISTURBED AREA  
 REQUIRED SEDIMENT STORAGE = 67 CY/AC \* 11.17 AC  
 REQUIRED SEDIMENT STORAGE = 748 CY  
 REQUIRED 25YR STORMWATER STORAGE = 2,651 CY  
 TOTAL REQUIRED = 748 + 2,651 = 3,399 CY  
 3. PROVIDED VOLUME OF 3,799 CY.



**E&S&C CERTIFICATIONS**  
 THIEP V. HUYNH  
 LEVEL II CERTIFIED DESIGN PROFESSIONAL  
 CERTIFICATION NO. 0000011377  
 ISSUED: MAY 25, 2018 EXPIRES: MAY 25, 2021



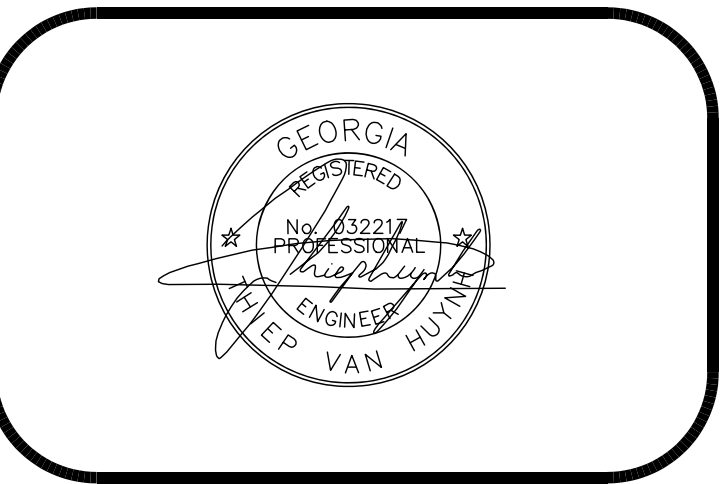
**CONCRETE WASHOUT**



**A.C.E.**  
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**CONSTRUCTION DETAILS**

**LOGAN MIAMI TOWNHOUSES**

PARCEL: LG060129B00  
 LAND LOT: 185  
 DISTRICT: 4TH  
 TOMMY LEE FULLER DRIVE  
 CITY OF LOGANVILLE, GA

DATE: 02/22/2021  
 SCALE: 1"=40'

**OWNER/PERMITTEE**  
 LOGAN MIAMI, LLC.  
 145 HOUSE WAY  
 ROSWELL, GA 30076  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

24 HOUR - EMERGENCY CONTACT  
 STEVE ALLEN  
 678-575-7041  
 steveallenco@gmail.com

**REVISIONS**

NO.	DATE	DESCRIPTION
5	08/15/22	CITY COMMENTS
6	08/22/22	CITY COMMENTS
7	08/25/22	STORM COMMENTS
8	03/19/25	REMOVED 2 FT STRIP FROM SIDEWALK

Job No. 21-014  
**C-5.5**

**FABRIC AND SUPPORTING FRAME FOR INLET PROTECTION**

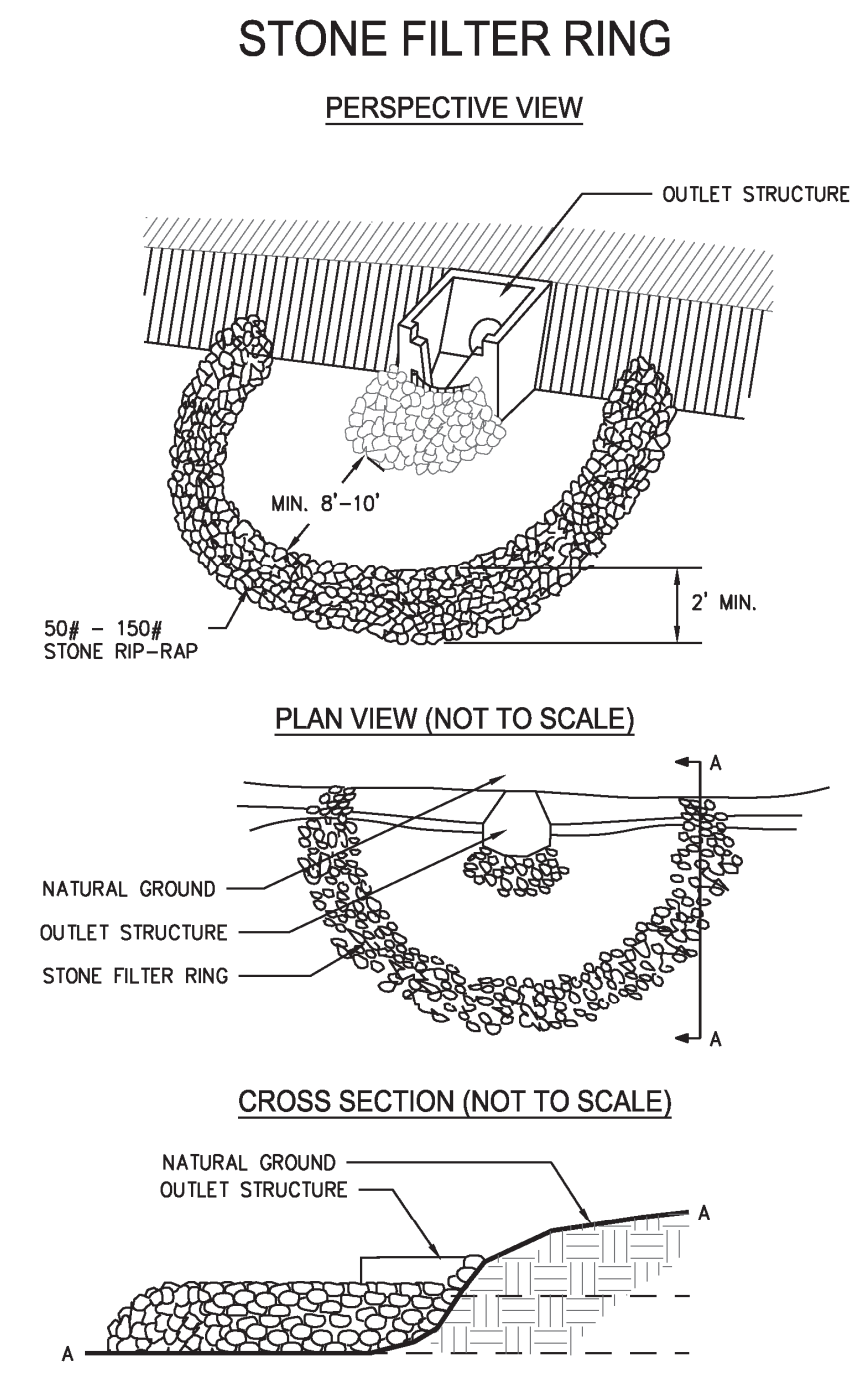


Figure 6-20.1

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Fr

**STEEL FRAME AND SILT FENCE INSTALLATION**

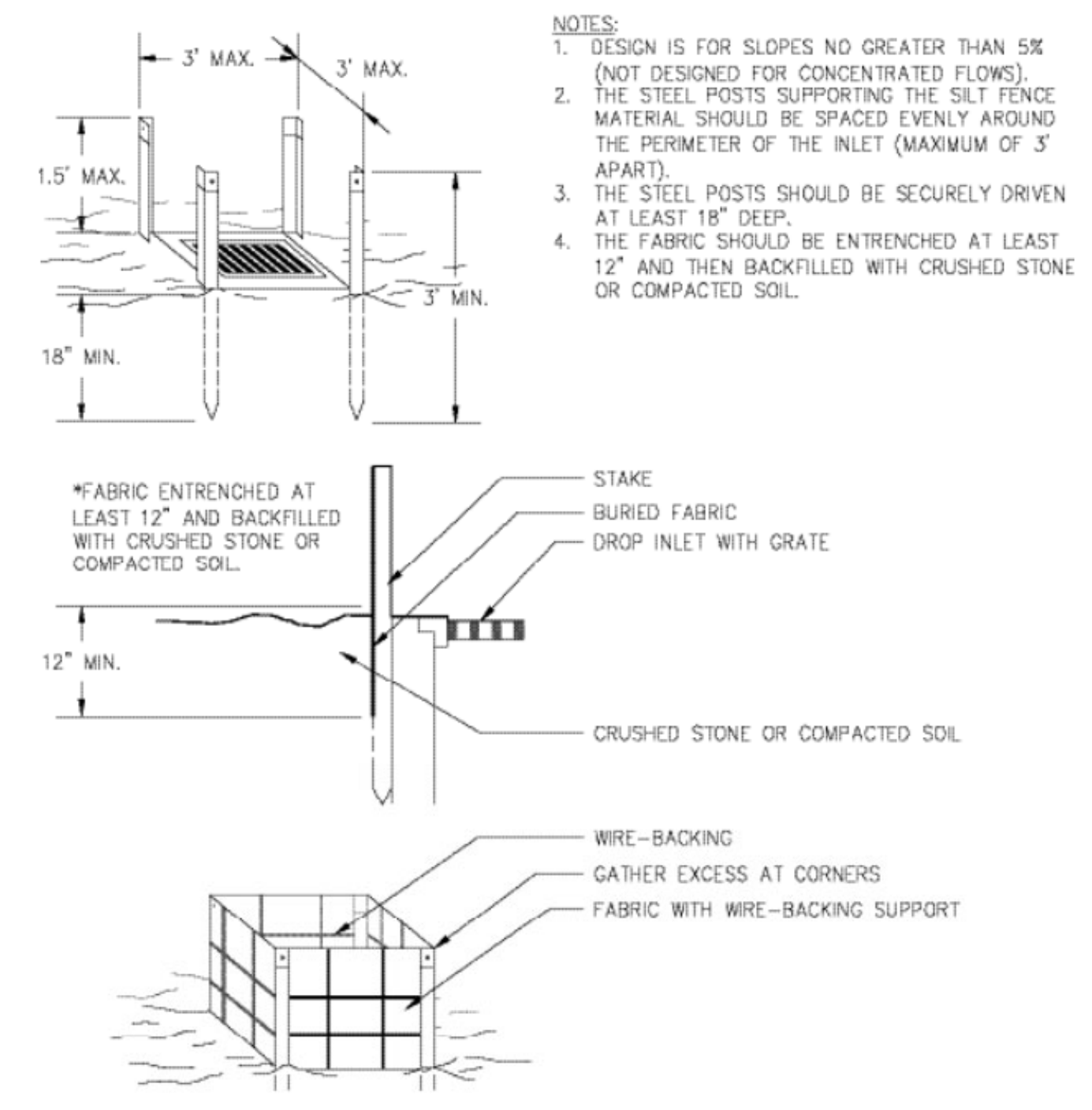


Figure 6-28.1 - Fabric and Supporting Frame For Inlet Projection

6-110

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Sd2-F

**CURB INLET FILTER "PIGS IN BLANKET"**

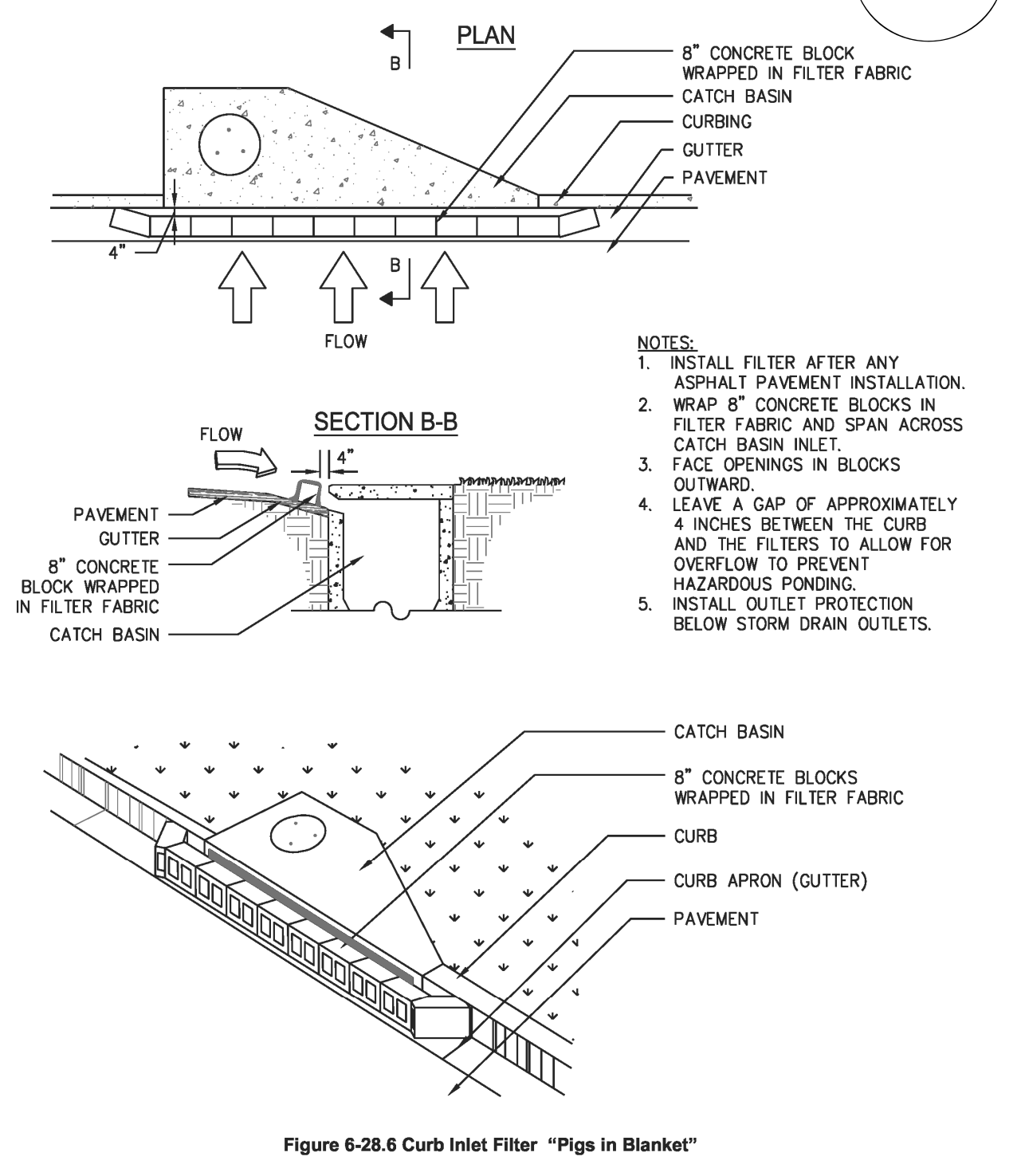


Figure 6-28.6 Curb Inlet Filter "Pigs in Blanket"

6-154

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**Retaining Wall**



**DEFINITION**  
 A wall constructed of one or more of the following: concrete masonry, reinforced concrete cribbing, treated timbers, steel piling, gabions, stone drywall, rock riprap, etc.

**PURPOSE**  
 To assist in the stabilization of cut or fill slopes where stable slopes are not attainable without the use of the wall.

**CONDITIONS**  
 Use in conjunction with cut or fill slopes that, because of space limitations or unstable material, do not allow the stable slope criteria listed above, e.g. cuts into steep hillsides on small lots or cuts into hillsides behind shopping centers to provide loading space.

**DESIGN CRITERIA**  
**General**  
 The design of a retaining wall is a complicated process. Many factors must be taken into account such as: stresses and forces outside and within the wall, allowable height and minimum thickness. Other considerations are: foundation design with respect to loadings, bearing values of soils and footing dimensions. Additional design factors are safety hazards, subsurface and surface drainage and appearance.

Each situation requires a *specific design* that is within the capabilities of the design professional.  
 Consideration should be given to all of the alternative methods with regard to construction of the

- Some methods are:
1. Concrete masonry
  2. Concrete cribbing
  3. Gabions
  4. Steel piling
  5. Stone drywall
  6. Rock riprap, etc.
  7. Treated timbers
  8. Geotextile wrapped-face wall
  9. Geotextile reinforced steep slopes

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6-127

**EXISTING WATERSHED**



**PROPOSED WATERSHED**

