



# Livingston City Commission Agenda

August 01, 2017

6:30 PM

City – County Complex, Community Room

1. Call to Order

2. Roll Call

3. Moment of Silence

4. Pledge of Allegiance

5. Consent Items

- A. CONSENT - Approve minutes from City Commission regular meeting 7.18.17 Page 4
- B. CONSENT - Approve minutes from City Commission special meeting 7.25.17 Page 9
- C. CONSENT - Approve Bills & Claims for 2nd half of July Page 11

6. Proclamations

7. Scheduled Public Comment

- A. Scheduled Public Comment - Skate Park status update with Derek Smith and Lincoln Jamrog

8. Public Hearings

9. Ordinances

10. Resolutions

- A. RESOLUTION NO. 4748 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, OF ITS INTENT TO ADOPT THE CITY OF LIVINGSTON GROWTH POLICY. Page 32
- B. RESOLUTION NO. 4749 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, ACCEPTING THE SEWER AND WATER EXTENSIONS FOR BROOKSTONE SUBDIVISION. Page 67

11. Action Items

- A. DISCUSS/APPROVE/DENY - URA grant approval of Joel Reinholz, Managing Partner of Todd & Ed's LLC grant request for solar project for 205 1/2 South Main Street Page 78
- B. DISCUSS/APPROVE/DENY - Authorizing City Manager to sign a letter of acceptance with Northwestern Energy Page 91
- C. DISCUSS/APPROVE/DENY - Brookstone Major Subdivision Final Approval Page 93

12. City Manager Comment

13. City Commission Comments

14. Public Comments

*Individuals are reminded that public comments should be limited to items over which the City Commission has supervision, control, jurisdiction, or advisory power (MCA 2-3-202).*

15. Adjournment

**Calendar of Events**

August 1, 2017 - 6:30 p.m. - City Commission regular meeting, Community Room, City/County Complex

August 2, 2017 - 7:00 p.m. - Skate Park Committee regular meeting, Livingston Food Pantry, 202 South 2nd Street

August 3, 2017 - 4:00 p.m. - 10:00 p.m. - The HOOT, Main Street Livingston

August 8, 2017 - 3:30 p.m. - Historic Preservation Committee regular meeting, East Room, City/County Complex

August 15, 2017 - 6:30 p.m. - City Commission regular meeting, Community Room, City/County Complex

August 16, 2017 - 8:30 a.m. - Urban Renewal Agency regular meeting, East Room, City County Complex

August 16, 2017 - 4:00 p.m. - Library Board regular meeting, Park County Library, 228 West Callender Street

August 16, 2017 - 5:30 p.m. - Planning Board regular meeting, Community Room, City/County Complex

August 21, 2017 - 4:30 p.m. - City County Compact regular meeting, MSU Extension Office, 119 South 3rd Street

**Supplemental Material**

Notice

- Public Comment: The public can speak about an item on the agenda during discussion of that item by coming up to the table or podium, signing-in, and then waiting to be recognized by the Chairman. Individuals are reminded that public comments should be limited to items over which the City Commission has supervision, control, jurisdiction, or advisory power (MCA 2-3-202).

- Meeting Recording: An audio and/or video recording of the meeting, or any portion thereof, may be purchased by contacting the City Administration. The City does not warrant the audio and/or video recording as to content, quality, or clarity.
- Special Accommodation: If you need special accommodations to attend or participate in our meeting, please contact the Fire Department at least 24 hours in advance of the specific meeting you are planning on attending.

**Backup material for agenda item:**

- A. CONSENT - Approve minutes from City Commission regular meeting 7.18.17

Livingston City Commission Meeting  
July 18, 2017  
6:30 PM  
City-County Complex

**1. Call to Order**

**2. Roll Call**

- Bennett, Hoglund, Friedman, Schwarz and Sandberg were present.

**3. Moment of Silence**

**4. Pledge of Allegiance**

**5. Consent Items (00:02:20)**

**A. CONSENT - Approve minutes from regular 6.20.17 commission meeting**

**B. CONSENT - Ratify Claims**

**C. CONSENT - Approve Bills & Claims**

- Sandberg requested Consent Item D be removed from Consent Items.
- Friedman made a motion to approve Consent Items A – C. Hoglund seconded.
  - All in favor, motion passed 5-0.

**D. CONSENT - Approve request of Park County Historic and Park County Genealogy Societies request for fee waiver (00:02:56)**

- Friedman made a motion to approve Consent Item D. Schwarz seconded.
  - All in favor, motion passed 5-0.

**6. Proclamations**

**7. Scheduled Public Comment**

**8. Public Hearings**

**A. RESOLUTION NO. 4741 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, INCREASING THE WATER RATE IN THE AMOUNT OF 2% TO BECOME EFFECTIVE FOR JULY 2017 WATER USAGE, BILLED IN AUGUST. (00:04:10)**

- Dixie Lee Bullock made comments (00:05:25)
- Goeffrey Chase made comments (00:15:20)
  
- Friedman made a motion to pass Resolution No. 4741. Schwarz seconded.
  - Motion passed 4-1. (Sandberg opposed.)

**B. RESOLUTION NO. 4742 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, INCREASING THE SEWER RATE IN THE AMOUNT OF 2% TO BECOME EFFECTIVE FOR JULY 2017 SEWER USAGE, BILLED IN AUGUST. (00:21:21)**

- Goeffrey Chase made comments (00:24:26)
  
- Friedman made a motion to pass Resolution No. 4742. Schwarz seconded.
  - Motion passed 4-1. (Sandberg opposed.)

**C. RESOLUTION NO. 4743 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA ESTIMATING THE COST OF MAINTAINNG AND IMPROVING STREETS AND ALLEYS IN FURTHERANCE OF THE FIVE-YEAR CAPITAL IMPROVEMENT PLAN FOR STREET MAINTENANCE DISTRICT NO. 1 FOR FISCAL YEAR 2017-2018 IN THE ESTIMATED AMOUNT OF \$978,230, WHICH IS A 1% INCREASE FROM THE PRIOR FISCAL YEAR AND LEVYING AND ASSESSING 100% THE ESTIMATED COSTS AGAINST EVERY PARCEL OF PROPERTY WITHIN SAID DISTRICT FOR THAT PART OF THE COST WHICH ITS ASSESSABLE AREA BEARS TO THE ASSESSABLE AREA OF THE DISTRICT. (00:32:32)**

- Bill Watkins made comments (00:34:00)
- Patricia Grabow made comments (00:34:56)
  
- Friedman made a motion to pass Resolution No. 4743. Hoglund seconded.
  - All in favor, motion passed 5-0.

**D. RESOLUTION NO. 4744 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, ESTIMATING THE COST OF MAINTAINING LIGHTS AND SUPPLYING ELECTRICAL CURRENT TO SPECIAL IMPROVEMENT LIGHTING DISTRICT NO. 20 IN THE AMOUNT OF \$44,800 FOR FISCAL YEAR 2017-2018 AND LEVYING AND**

**ASSESSING 100% OF THE ESTIMATED COSTS AGAINST EVERY PARCEL OF PROPERTY WITHIN SAID DISTRICT FOR THAT PART OF THE COST WHICH ITS ASSESSABLE AREA BEARS TO THE ASSESSABLE AREA OF THE DISTRICT. (00:46:46)**

- Schwarz made a motion to pass Resolution 4744. Friedman seconded.
  - All in favor, motion passed 5-0.

**E. RESOLUTION NO. 4745 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, MODIFYING SPECIAL IMPROVEMENT LIGHTING DISTRICT NO. 20 BY REPLACING STREET LIGHTS AND OTHER APPURTENANCES THEREIN AND TO LEVY AND ASSESS 100% OF THE ESTIMATED COSTS OF \$91,120 FOR FISCAL YEAR 2017-2018 AGAINST EVERY PARCEL OF PROPERTY WITHIN SAID DISTRICT FOR THAT PART OF THE COST WHICH ITS ASSESSABLE AREA BEARS TO THE ASSESSABLE AREA OF THE DISTRICT. (00:49:04)**

- Patricia Grabow made comments (00:50:20)

- Schwarz made a motion to pass Resolution No. 4745. Hoglund seconded.
  - All in favor, motion passed 5-0.

**F. RESOLUTION NO. 4740 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, APPROVING AND ADOPTING THE FINAL BUDGET IN THE AMOUNT OF \$17,535,328 FOR THE FISCAL YEAR BEGINNING ON JULY 1, 2017, AND ENDING JUNE 30, 2018, (FY 2017-2018), AND MAKING APPROPRIATIONS AND ESTABLISHING SPENDING LIMITS AND ESTABLISHING SPENDING LIMITS AND AUTHORIZING TRANSFER OF APPROPRIATIONS WITHIN THE SAME FUND. (00:52:05)**

- Mary Beebe made comments (00:53:13)
- Bill Watkins made comments (01:01:51)

- Friedman made a motion to amend Resolution No. 4740 to include \$5,000.00 for the Livingston Spay/ Neuter Project. Hoglund seconded.
  - Motion passed 4-1. (Sandberg opposed.)

- Friedman made a motion to pass Resolution No. 4740 as amended. Schwarz seconded.
  - Motion passed 4-1. (Sandberg opposed.)

## 9. Ordinances

## 10. Resolutions

### A. RESOLUTION NO. 4746 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, AUTHORIZING THE CITY MANAGER TO SIGN A GENERAL SERVICES AGREEMENT WITH ABSAROKA ABATEMENT, LLC, FOR NECESSARY ASBESTOS ABATEMENT IN THE DOWNTOWN VAULT SPACES. (01:17:40)

- Schwarz made a motion to pass Resolution No. 4746. Hoglund seconded.
  - All in favor, motion passed 5-0.

## 11. Action Items

### A. DISCUSS/APPROVE/DENY - The Hoot organizers request for open container waiver for the Hoot on August 3, 2017 (01:20:28)

- Bill Watkins made comments (01:22:02)
- John Lowell made comments (01:23:10)
- Hoglund made a motion to approve the request for open container on Main Street from Park Street to Lewis Street from 4:00 pm to 10:00 pm on August 3, 2017. Friedman seconded.
  - All in favor, motion passed 5-0.

## 12. City Manager Comment (01:27:12)

## 13. City Commission Comments

- Sandberg made comments. (01:29:29)
- Hoglund made comments. (01:33:33)
- Bennett made comments. (01:35:10)

## 14. Public Comments

*Individuals are reminded that public comments should be limited to items over which the City Commission has supervision, control, jurisdiction, or advisory power (MCA 2-3-202).*

- Mary Beebe made comments. (01:36:13)
- Patricia Grabow made comments. (01:38:18)
- Dixie Lee Bullock made comments. (01:46:00)
- Bill Watkins made comments. (01:47:21)

## 15. Adjournment (8:21 PM) (01:48:48)



**Backup material for agenda item:**

- B. CONSENT - Approve minutes from City Commission special meeting 7.25.17

Livingston City Commission Special Meeting  
July 25, 2017  
5:30 PM  
City-County Complex

**1. Call to Order**

**2. Roll Call**

- Bennett, Hoglund, Friedman and Sandberg were present.

**3. Resolutions**

**A. RESOLUTION NO. 4747 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, AUTHORIZING THE CITY MANAGER TO SIGN THE NOTICE OF AWARD AND AGREEMENT WITH DICK ANDERSON CONSTRUCTION, INC. FOR THE LIVINGSTON WATER RECLAMATION FACILITY UPGRADE. (00:00:30)**

- Hoglund made a motion to pass Resolution No. 4747. Friedman seconded.
  - Motion passed 3-1. (Sandberg opposed.)

**4. City Manager Comment**

**5. City Commission Comments**

**6. Public Comments**

*Individuals are reminded that public comments should be limited to items over which the City Commission has supervision, control, jurisdiction, or advisory power (MCA 2-3-202).*

**7. Adjournment ( 6:32 PM)**

**Backup material for agenda item:**

- C. CONSENT - Approve Bills & Claims for 2nd half of July

07/26/17  
09:49:27

CITY OF LIVINGSTON  
Claim Approval List  
For the Accounting Period: 6/17

Page: 1 of 1  
Report ID: AP100

Operating Cash  
\* ... Over spent expenditure

Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
32527		999999 ELLIOTT, SHELLIE		13.04					
	11014-13	07/10/17 Over Payment on Acct.		4.35			5210 343021		101000
	11014-13	07/10/17 Over Payment on Acct.		4.35			5310 343031		101000
	11014-13	07/10/17 Over Payment on Acct.		4.34			5410 343041		101000
32587		2919 FOUR CORNERS RECYCLING, LLC		1,131.65					
	1052	07/14/17 Plastic Baling		229.90			5410 504 430840	388	101000
	1052	07/14/17 Pull fees		3,135.00			5410 504 430840	388	101000
	1052	07/14/17 Box rental		200.00			5410 504 430840	388	101000
	1052	07/14/17 Decommission fees		425.00			5410 504 430840	388	101000
	1052CM	06/27/17 Credit		-2,858.25			5410 504 430840	388	101000
32588		1390 KEN'S EQUIPMENT REPAIR, INC		261.10					
	48960	06/06/17 JD 410		91.00*			5410 504 430830	362	101000
	49047	06/20/17 Cardboard compactor		90.00*			5410 504 430830	362	101000
	48999	06/13/17 Backhoe		80.10			5310 503 430625	361	101000
32589		3271 MAYO, JIM		60.00					
		06/13/17 MT boiler operator prog. licen		60.00			1000 155 430950	930	101000
32590		3390 TD&H ENGINEERING, INC		201.75					
	8745	02/14/17 CIP		45.39*			2500 151 430240	960	101000
	8745	02/14/17 CIP		110.96			5210 502 430520	960	101000
	8745	02/14/17 CIP		45.40			5310 503 430630	960	101000
32591		3472 UTILITIES UNDERGROUND LOCATION		178.98					
	7065084	06/30/17 Utility Locate Notifications		89.49			5210 502 430515	317	101000
	7065084	06/30/17 Utility Locate Notifications		89.49			5310 503 430625	317	101000
32595		3387 J & H, Inc.		150.79					
	507669	07/10/17 Copier Monthly Maint. Water		30.15*			5210 502 430515	368	101000
	507669	07/10/17 Copier Monthly Maint. Sewer		30.16*			5310 503 430625	368	101000
	507669	07/10/17 Copier Monthly Maint. Solid Wa		30.16			5410 504 430830	368	101000
	507669	07/10/17 Copier Monthly Maint. Streets		30.16*			2500 151 430240	368	101000
	507669	07/10/17 Copier Monthly Maint. bldg&Pl.		30.16*			1000 106 411030	368	101000
32606		295 BLACK MOUNTAIN SOFTWARE, INC.		3,452.50					
	22275	06/01/17 Annual Maintenance -UB		1,150.83*			5210 502 430570	357	101000
	22275	06/01/17 Annual Maintenance -UB		1,150.83*			5310 503 430670	357	101000
	22275	06/01/17 Annual Maintenance -UB		1,150.84*			5410 504 430870	357	101000

07/26/17  
09:49:27

CITY OF LIVINGSTON  
Claim Approval List  
For the Accounting Period: 6/17

Page: 2 of 2  
Report ID: AP100

Operating Cash  
\* ... Over spent expenditure

Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
32608		3272 MINE SAFETY APPLIANCES CO. 99073761 06/12/17 Cal. gas for atmosphere moni		846.48 846.48			5310 503 430640	222	101000
32614		3633 BILLING DOCUMENT SPECIALISTS Online Monthly Maintenance		70.00					
	42381	06/30/17 Online Monthly Maintenance		23.33*			5210 502 430570	213	101000
	42381	06/30/17 Online Monthly Maintenance		23.33*			5310 503 430670	213	101000
	42381	06/30/17 Online Monthly Maintenance		23.34*			5410 504 430870	213	101000
32615		3156 G.W., INC. Police Dept Purchase of S/Wesson Firearm		424.95					
	914297	06/30/17 Police Dept Purchase of S/Wess		424.95			1000 131 420100	228	101000
32616		2608 STATE OF MONTANA - ITSD 20170630 06/30/17 33% Video conferencing		109.29 109.29			1000 102 410360	380	101000
32617		3020 SECURITY SOLUTIONS, INC. 6727 06/30/17 Access Control-Maintenance-Kel		338.55 338.55*			1000 121 411230	365	101000
32618		102 INDUSTRIAL TOWEL 22708 06/30/17 Rug maintenance		32.00 32.00			1000 121 411230	360	101000
32622		3708 Montana Phone PO#059230 328 06/30/17 Install Phones Dispatch		530.00 530.00*			2300 132 420160	940	101000
32623		2501 D.W. BURNS PLUMBING & HEATING 13848 10/12/16 Park County Complex Repair 14349 04/11/17 Park County Complex Repair 14363 04/18/17 Park County Complex Repair 14400 04/24/17 Park County Complex Repair 14429 05/09/17 Park County Complex Repair 14451 05/09/17 Park County Complex Repair 14480 05/18/17 Park County Complex Repair 14564 06/09/17 Park County Complex Repair		707.26 71.00* 179.93* 65.58* 88.80* 196.50* 35.15* 35.15* 35.15*			1000 121 411230 1000 121 411230 1000 121 411230 1000 121 411230 1000 121 411230 1000 121 411230 1000 121 411230 1000 121 411230 1000 121 411230	365 365 365 365 365 365 365 365 365	101000 101000 101000 101000 101000 101000 101000 101000 101000
32629		3536 MONTANA DEPARTMENT OF Construction Engineering had additional costs to the project. CI # 7236 11524 06/27/17 Additional costs for Construct		143.45 143.45			2399 151 430240	960	101000

07/26/17  
09:49:27

CITY OF LIVINGSTON  
Claim Approval List  
For the Accounting Period: 6/17

Page: 3 of 3  
Report ID: AP100

Operating Cash  
\* ... Over spent expenditure

Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
32630	52513	06/28/17	22 ALL SERVICE TIRE & ALIGNMENT, Tires	700.00 700.00*			1000 155 430950	362	101000
32631	0080635	07/12/17	630 ANDERSON PRECAST & SUPPLY Structure kit	2,665.00 1,332.50			2500 151 430240	940	101000
	0080635	07/12/17	Structure kit	1,332.50			5310 503 430630	940	101000
32632	00060136	07/11/17	2711 BARCO PRODUCTS COMPANY Bike rack, trash can, grill	4,758.73 4,758.73			1000 155 430950	940	101000
32633	3790	07/12/17	3671 CHADZ WRAPZ Basball fields halogen lamps	540.00 540.00*			1000 155 460430	361	101000
32634	11693	06/12/17	2112 CHURCHILL EQUIPMENT CO., INC. Fuel filter	81.84 81.84			1000 155 430930	361	101000
32635	74129102	07/06/17	3380 EMERALD SERVICES INC. Oil recycling	863.70 738.70			5410 504 430840	388	101000
	74129102	07/06/17	Oil recycling	125.00*			2500 151 430240	232	101000
32636	213375	06/16/17	26 LIVINGSTON ACE HARDWARE - Supplies	20.75 20.75			5210 502 430515	231	101000
32637	10095	06/30/17	3390 TD&H ENGINEERING, INC 027 Storm water study	9,744.84 3,673.50*			2399 430240	960	101000
	10095	06/30/17	025 Brookstone	186.32			5310 503 430610	352	101000
	10095	06/30/17	025 Brookstone	186.33			5210 502 430515	350	101000
	10095	06/30/17	031 9th and 10th Sewer	3,635.69			5310 503 430630	960	101000
	10095	06/30/17	028 Transportation master plan	1,794.00*			2399 430240	960	101000
	10095	06/30/17	Weekly meeting	134.50			5310 503 430610	352	101000
	10095	06/30/17	Weekly mtng	134.50			5210 502 430515	350	101000
32638	53913	06/30/17	3605 ADVANCED ENGINEERING & WWTF operational assistance	5,996.25 5,996.25*			5310 503 430640	350	101000
32639	14486	05/18/17	2501 D.W. BURNS PLUMBING & HEATING Legion field	601.05 601.05*			1000 155 460430	361	101000
32640	6641	05/19/17	3020 SECURITY SOLUTIONS, INC. Interior Access Control Doors	1,663.00 750.00*			2300 132 420160	940	101000
	6638	05/18/17	1 Interior Access Control Door	913.00*			2300 132 420160	940	101000

07/26/17  
09:49:27

CITY OF LIVINGSTON  
Claim Approval List  
For the Accounting Period: 6/17

Page: 4 of 15  
Report ID: AP100

Operating Cash  
\* ... Over spent expenditure

Claim	Vendor #/Name/	Document \$/	Disc \$	PO #	Fund Org Acct	Object Proj	Cash
Check	Invoice #/Inv Date/Description	Line \$					Account
32641	3605 ADVANCED ENGINEERING &	22,830.31					
53914	06/30/17 WRF Upgrade design	10,671.31*			5310 503 430640	940	101000
53914	06/30/17 WRF Construction services	12,159.00*			5310 503 430640	940	101000
33064	2945 MONTES AUTO REPAIR, LLC	200.00					
	Livingston Police General Auto Repairs						
14129	07/05/17 General Auto-Battery	164.00*			1000 131 420100	231	101000
14129	07/05/17 Check, load, tested battery	36.00			1000 131 420100	360	101000
33065	2945 MONTES AUTO REPAIR, LLC	254.00					
	Police General Auto Repair						
14136	07/06/17 Reservoir	142.50*			1000 131 420100	231	101000
14136	07/06/17 Antifreeze Dex cool	21.50*			1000 131 420100	231	101000
14136	07/06/17 Pressure Tested Coolant System	90.00			1000 131 420100	360	101000
33066	2695 MISSOULA POLICE OFFICERS	350.00					
43866	07/11/17 Patrick Sullivan-Basic FTO	350.00			1000 131 420100	380	101000
33067	54 GATEWAY OFFICE SUPPLY	520.94					
37062	07/12/17 Office Supplies-Finance Office	476.93			1000 123 411700	211	101000
37066	07/12/17 Return 1 Calculator	-55.99			1000 123 411700	211	101000
37067	07/12/17 Office Supplies-Finance Office	100.00			1000 123 411700	211	101000
33068	1747 CANON FINANCIAL SERVICES, INC	76.10					
17518063	07/13/17 Canon Lease	76.10*			1000 109 460442	320	101000
33069	3058 MUNICIPAL CODE CORPORATION	1,470.65					
00292633	07/14/17 Code Supplement Pages	1,470.65*			1000 101 410130	337	101000
33070	2338 DEPARTMENT OF LABOR & INDUSTRY	643.76					
06/30/17	Building code edu fund assessm	643.76			1000 143 420403	590	101000
33092	2809 LIVINGSTON YOUTH SOCCER	650.00					
	Reimburse for goals damaged by plow						
2017100	04/30/17 reimburse for damaged goals	650.00*			1000 155 460430	361	101000
	# of Claims	37	Total:	63,282.71			

Operating Cash  
\* ... Over spent expenditure

Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
*** Claim from another period ( 6/17) ****									
32527		999999 ELLIOTT, SHELLIE		13.04					
	11014-13	07/10/17 Over Payment on Acct.		4.35			5210 343021		101000
	11014-13	07/10/17 Over Payment on Acct.		4.35			5310 343031		101000
	11014-13	07/10/17 Over Payment on Acct.		4.34			5410 343041		101000
*** Claim from another period ( 6/17) ****									
32587		2919 FOUR CORNERS RECYCLING, LLC		1,131.65					
	1052	07/14/17 Plastic Baling		229.90			5410 504 430840	388	101000
	1052	07/14/17 Pull fees		3,135.00			5410 504 430840	388	101000
	1052	07/14/17 Box rental		200.00			5410 504 430840	388	101000
	1052	07/14/17 Decommission fees		425.00			5410 504 430840	388	101000
	1052CM	06/27/17 Credit		-2,858.25			5410 504 430840	388	101000
*** Claim from another period ( 6/17) ****									
32588		1390 KEN'S EQUIPMENT REPAIR, INC		261.10					
	48960	06/06/17 JD 410		91.00			5410 504 430830	362	101000
	49047	06/20/17 Cardboard compactor		90.00			5410 504 430830	362	101000
	48999	06/13/17 Backhoe		80.10			5310 503 430625	361	101000
*** Claim from another period ( 6/17) ****									
32589		3271 MAYO, JIM		60.00					
		06/13/17 MT boiler operator prog. licen		60.00			1000 155 430950	930	101000
*** Claim from another period ( 6/17) ****									
32590		3390 TD&H ENGINEERING, INC		201.75					
	8745	02/14/17 CIP		45.39			2500 151 430240	960	101000
	8745	02/14/17 CIP		110.96			5210 502 430520	960	101000
	8745	02/14/17 CIP		45.40			5310 503 430630	960	101000
*** Claim from another period ( 6/17) ****									
32591		3472 UTILITIES UNDERGROUND LOCATION		178.98					
	7065084	06/30/17 Utility Locate Notifications		89.49			5210 502 430515	317	101000
	7065084	06/30/17 Utility Locate Notifications		89.49			5310 503 430625	317	101000
*** Claim from another period ( 6/17) ****									
32595		3387 J & H, Inc.		150.79					
	507669	07/10/17 Copier Monthly Maint. Water		30.15			5210 502 430515	368	101000
	507669	07/10/17 Copier Monthly Maint. Sewer		30.16			5310 503 430625	368	101000
	507669	07/10/17 Copier Monthly Maint. Solid Wa		30.16			5410 504 430830	368	101000
	507669	07/10/17 Copier Monthly Maint. Streets		30.16			2500 151 430240	368	101000
	507669	07/10/17 Copier Monthly Maint. bldg&PI.		30.16			1000 106 411030	368	101000
32601		295 BLACK MOUNTAIN SOFTWARE, INC.		3,452.50					
	22275	06/01/17 Annual Maintenance -UB		1,150.83*			5210 502 430570	357	101000
	22275	06/01/17 Annual Maintenance -UB		1,150.83*			5310 503 430670	357	101000
	22275	06/01/17 Annual Maintenance -UB		1,150.84*			5410 504 430870	357	101000



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Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
*** Claim from another period ( 6/17) ****									
32606		295 BLACK MOUNTAIN SOFTWARE, INC.		3,452.50					
	22275	06/01/17 Annual Maintenance -UB		1,150.83*			5210 502 430570	357	101000
	22275	06/01/17 Annual Maintenance -UB		1,150.83*			5310 503 430670	357	101000
	22275	06/01/17 Annual Maintenance -UB		1,150.84*			5410 504 430870	357	101000
*** Claim from another period ( 6/17) ****									
32608		3272 MINE SAFETY APPLIANCES CO.		846.48					
	99073761	06/12/17 Cal. gas for atmosphere moni		846.48			5310 503 430640	222	101000
*** Claim from another period ( 6/17) ****									
32614		3633 BILLING DOCUMENT SPECIALISTS		70.00					
Online Monthly Maintenance									
	42381	06/30/17 Online Monthly Maintenance		23.33			5210 502 430570	213	101000
	42381	06/30/17 Online Monthly Maintenance		23.33			5310 503 430670	213	101000
	42381	06/30/17 Online Monthly Maintenance		23.34			5410 504 430870	213	101000
*** Claim from another period ( 6/17) ****									
32615		3156 G.W., INC.		424.95					
Police Dept Purchase of S/Wesson Firearm									
	914297	06/30/17 Police Dept Purchase of S/Wess		424.95			1000 131 420100	228	101000
*** Claim from another period ( 6/17) ****									
32616		2608 STATE OF MONTANA - ITSD		109.29					
	20170630	06/30/17 33% Video conferencing		109.29			1000 102 410360	380	101000
*** Claim from another period ( 6/17) ****									
32617		3020 SECURITY SOLUTIONS, INC.		338.55					
	6727	06/30/17 Access Control -Maintenance-Kel		338.55			1000 121 411230	365	101000
*** Claim from another period ( 6/17) ****									
32618		102 INDUSTRIAL TOWEL		32.00					
	22708	06/30/17 Rug maintenance		32.00			1000 121 411230	360	101000
*** Claim from another period ( 6/17) ****									
32622		3708 Montana Phone		530.00					
PO#059230									
	328	06/30/17 Install Phones Dispatch		530.00			2300 132 420160	940	101000
*** Claim from another period ( 6/17) ****									
32623		2501 D.W. BURNS PLUMBING & HEATING		707.26					
	13848	10/12/16 Park County Complex Repair		71.00			1000 121 411230	365	101000
	14349	04/11/17 Park County Complex Repair		179.93			1000 121 411230	365	101000
	14363	04/18/17 Park County Complex Repair		65.58			1000 121 411230	365	101000
	14400	04/24/17 Park County Complex Repair		88.80			1000 121 411230	365	101000
	14429	05/09/17 Park County Complex Repair		196.50			1000 121 411230	365	101000
	14451	05/09/17 Park County Complex Repair		35.15			1000 121 411230	365	101000
	14480	05/18/17 Park County Complex Repair		35.15			1000 121 411230	365	101000
	14564	06/09/17 Park County Complex Repair		35.15			1000 121 411230	365	101000

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*** Claim from another period ( 6/17) ****									
32629		3536 MONTANA DEPARTMENT OF		143.45					
Construction Engineering had additional costs to the project. CI # 7236									
	11524	06/27/17 Additional costs for Construct		143.45			2399 151 430240	960	101000
*** Claim from another period ( 6/17) ****									
32630		22 ALL SERVICE TIRE & ALIGNMENT,		700.00					
	52513	06/28/17 Tires		700.00			1000 155 430950	362	101000
*** Claim from another period ( 6/17) ****									
32631		630 ANDERSON PRECAST & SUPPLY		2,665.00					
	0080635	07/12/17 Structure kit		1,332.50			2500 151 430240	940	101000
	0080635	07/12/17 Structure kit		1,332.50			5310 503 430630	940	101000
*** Claim from another period ( 6/17) ****									
32632		2711 BARCO PRODUCTS COMPANY		4,758.73					
	00060136	07/11/17 Bike rack, trash can, grill		4,758.73			1000 155 430950	940	101000
*** Claim from another period ( 6/17) ****									
32633		3671 CHADZ WRAPZ		540.00					
	3790	07/12/17 Basball fields halogen lamps		540.00			1000 155 460430	361	101000
*** Claim from another period ( 6/17) ****									
32634		2112 CHURCHILL EQUIPMENT CO., INC.		81.84					
	11693	06/12/17 Fuel filter		81.84			1000 155 430930	361	101000
*** Claim from another period ( 6/17) ****									
32635		3380 EMERALD SERVICES INC.		863.70					
	74129102	07/06/17 Oil recycling		738.70			5410 504 430840	388	101000
	74129102	07/06/17 Oil recycling		125.00			2500 151 430240	232	101000
*** Claim from another period ( 6/17) ****									
32636		26 LIVINGSTON ACE HARDWARE -		20.75					
	213375	06/16/17 Supplies		20.75			5210 502 430515	231	101000
*** Claim from another period ( 6/17) ****									
32637		3390 TD&H ENGINEERING, INC		9,744.84					
	10095	06/30/17 027 Storm water study		3,673.50			2399 430240	960	101000
	10095	06/30/17 025 Brookstone		186.32			5310 503 430610	352	101000
	10095	06/30/17 025 Brookstone		186.33			5210 502 430515	350	101000
	10095	06/30/17 031 9th and 10th Sewer		3,635.69			5310 503 430630	960	101000
	10095	06/30/17 028 Transportation master plan		1,794.00			2399 430240	960	101000
	10095	06/30/17 Weekly meeting		134.50			5310 503 430610	352	101000
	10095	06/30/17 Weekly mtng		134.50			5210 502 430515	350	101000
*** Claim from another period ( 6/17) ****									
32638		3605 ADVANCED ENGINEERING &		5,996.25					
	53913	06/30/17 WWTF operational assistance		5,996.25			5310 503 430640	350	101000
*** Claim from another period ( 6/17) ****									
32639		2501 D. W. BURNS PLUMBING & HEATING		601.05					
	14486	05/18/17 Legion field		601.05			1000 155 460430	361	101000

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Claim	Vendor #/Name/	Document \$/	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
Check	Invoice #/Inv Date/Description	Line \$					
*** Claim from another period ( 6/17) ****							
32640	3020 SECURITY SOLUTIONS, INC.	1,663.00					
	6641 05/19/17 Interior Access Control Doors	750.00			2300 132 420160	940	101000
	6638 05/18/17 1 Interior Access Control Door	913.00			2300 132 420160	940	101000
*** Claim from another period ( 6/17) ****							
32641	3605 ADVANCED ENGINEERING &	22,830.31					
	53914 06/30/17 WRF Upgrade design	10,671.31			5310 503 430640	940	101000
	53914 06/30/17 WRF Construction services	12,159.00			5310 503 430640	940	101000
33048	424 ENERGY LABORATORIES, INC.	102.00					
	90027 07/12/17 Labs	102.00			5310 503 430640	355	101000
33049	2919 FOUR CORNERS RECYCLING, LLC	4,500.00					
	1070 07/05/17 Sale of 1 roll off box	4,500.00			5410 504 430835	940	101000
33050	102 INDUSTRIAL TOWEL	66.67					
	24109 07/14/17 Mat cleaning	8.56			5210 502 430510	224	101000
	24109 07/14/17 Mat cleaning	8.55			5310 503 430610	224	101000
	24109 07/14/17 Mat cleaning	8.55			2500 151 430220	224	101000
	24109 07/14/17 Mat cleaning	8.55			5410 504 430820	220	101000
	24109 07/14/17 Mat cleaning	8.56			1000 106 411030	200	101000
	24109 07/14/17 Slate - WWTP	23.90			5310 503 430610	224	101000
33051	3688 MURDOCH'S RANCH & HOME SUPPLY	109.97					
	109.97 07/14/17 Hammer and digging bar	109.97			5410 504 430830	231	101000
33052	26 LIVINGSTON ACE HARDWARE -	17.93					
	214742 07/10/17 Key	17.93			5310 503 430625	231	101000
33053	1814 SPECIAL LUBE	49.95					
	52136 07/13/17 Ford maint.	49.95			5210 502 430515	232	101000
33054	2999 TEAR IT UP L. L. C.	47.20					
	35005 07/12/17 Shredding	9.44*			1000 155 430950	361	101000
	35005 07/12/17 Shredding	9.44			2500 151 430240	361	101000
	35005 07/12/17 Shredding	9.44			5210 502 430515	361	101000
	35005 07/12/17 Shredding	9.44			5310 503 430640	361	101000
	35005 07/12/17 Shredding	9.44			5410 504 430820	361	101000
33055	682 CENTRON SERVICES	242.55					
COLLECTIONS FOR UTILITIES AND PARKING							
	2164 06/27/17 UTILITY DEPT COLLECTIONS	65.28			5210 342055		101000
	2164 06/27/17 UTILITY DEPT COLLECTIONS	65.29			5310 342055		101000
	2164 06/27/17 UTILITY DEPT COLLECTIONS	65.29			5410 342055		101000
	3069 06/27/17 PARKING TICKET COLLECTIONS	46.69			1000 351033		101000

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Claim	Vendor #/Name/	Document \$/	Disc \$						Cash
Check	Invoice #/Inv Date/Description	Line \$		PO #	Fund Org Acct	Object	Proj	Account	
33056	22 ALL SERVICE TIRE & ALIGNMENT, 52612 07/11/17 Flat	15.00 15.00			5210 502 430515	232		101000	
33057	3293 BLACKFOOT COMMUNICATIONS	151.48							
	166824 07/01/17 Internet	50.49			2500 151 430220	346		101000	
	166824 07/01/17 Internet	50.49			5410 504 430820	346		101000	
	166824 07/01/17 Internet	50.50			5310 503 430610	346		101000	
33058	948 BRIDGER ELECTRIC, INC.	480.00							
	889 07/18/17 Cooling system	480.00			5210 502 430515	355		101000	
33059	776 KENYON NOBLE	55.10							
	6079033 07/14/17 Wood	12.16			5210 502 430515	231		101000	
	6086496 07/18/17 Wood	3.04			5210 502 430515	231		101000	
	6079682 07/14/17 Supplies	39.90			5210 502 430515	231		101000	
33060	2863 KIMBALL MIDWEST	100.64							
	5713231 07/05/17 Med supplies	50.32			5210 502 430515	231		101000	
	5713231 07/05/17 Med supplies	50.32			5310 503 430625	231		101000	
33061	112 MONTANA RAIL LINK	200.00							
	801908 07/03/17 600286 441512 Sewer Pipe	100.00			5210 502 430510	535		101000	
	801908 07/03/17 88742 441321 Sewer pipe	100.00			5210 502 430510	535		101000	
33062	1814 SPECIAL LUBE	45.95							
	52093 07/13/17 49-746	45.95			5210 502 430515	232		101000	
33063	3275 MSU EXTENSION SERVICE	8,159.00							
	07/01/17 July MSU Economic Dev Agent	4,079.50			1000 103 410400	824		101000	
	08/01/17 Aug MSU Economic Dev Agent	4,079.50			1000 103 410400	824		101000	
	*** Claim from another period ( 6/17) ****								
33064	2945 MONTES AUTO REPAIR, LLC	200.00							
	Livingston Police General Auto Repairs								
	14129 07/05/17 General Auto-Battery	164.00			1000 131 420100	231		101000	
	14129 07/05/17 Check, load, tested battery	36.00			1000 131 420100	360		101000	
	*** Claim from another period ( 6/17) ****								
33065	2945 MONTES AUTO REPAIR, LLC	254.00							
	Police General Auto Repair								
	14136 07/06/17 Reservoir	142.50			1000 131 420100	231		101000	
	14136 07/06/17 Antifreeze Dex cool	21.50			1000 131 420100	231		101000	
	14136 07/06/17 Pressure Tested Coolant System	90.00			1000 131 420100	360		101000	

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Claim	Vendor #/Name/	Document \$/	Disc \$	PO #	Fund Org Acct	Object Proj	Cash
Check	Invoice #/Inv Date/Description	Line \$					Account
	*** Claim from another period ( 6/17) ****						
33066	2695 MISSOULA POLICE OFFICERS	350.00					
43866	07/11/17 Patrick Sullivan-Basic FTO	350.00			1000 131 420100	380	101000
	*** Claim from another period ( 6/17) ****						
33067	54 GATEWAY OFFICE SUPPLY	520.94					
37062	07/12/17 Office Supplies-Finance Office	476.93			1000 123 411700	211	101000
37066	07/12/17 Return 1 Calculator	-55.99			1000 123 411700	211	101000
37067	07/12/17 Office Supplies-Finance Office	100.00			1000 123 411700	211	101000
	*** Claim from another period ( 6/17) ****						
33068	1747 CANON FINANCIAL SERVICES, INC	76.10					
17518063	07/13/17 Canon Lease	76.10			1000 109 460442	320	101000
	*** Claim from another period ( 6/17) ****						
33069	3058 MUNICIPAL CODE CORPORATION	1,470.65					
00292633	07/14/17 Code Supplement Pages	1,470.65			1000 101 410130	337	101000
	*** Claim from another period ( 6/17) ****						
33070	2338 DEPARTMENT OF LABOR & INDUSTRY	643.76					
06/30/17	Building code edu fund assessm	643.76			1000 143 420403	590	101000
33073	2613 US BANK	70,959.35					
17-18	08/15/17 Water Intercap Loan	7,647.00			5210 502 490500	610	101000
17-18	08/15/17 Water Intercap Loan	568.82			5210 502 490500	620	101000
17-18	08/15/17 SMD intercap Loan	19,815.69			2500 151 490500	610	101000
17-18	08/15/17 SMD intercap Loan	3,045.40			2500 151 490500	620	101000
17-18	08/15/17 City/County Building Repair Lo	19,115.85			1000 121 490500	610	101000
17-18	08/15/17 City/County Building Repair Lo	236.98			1000 121 490500	620	101000
17-18	08/15/17 Railroad ROW Purchase	14,772.80			4099 490500	610	101000
17-18	08/15/17 Railroad ROW Purchase	1,495.28			4099 490500	620	101000
17-18	08/15/17 Dispatch remodel intercap loan	3,624.54*			2300 132 490500	610	101000
17-18	08/15/17 Dispatch remodel intercap loan	636.99*			2300 132 490500	620	101000
33074	603 MONTANA LEAGUE OF CITIES & TOWNS	2,324.52					
LIVI201706	06/06/17 17-18 Membershi p dues	2,324.52			1000 101 410130	332	101000
33075	278 MMIA	45,475.00					
07/01/17	17-18 Vehicle Assessment	15,917.00			2190 160 510330	513	101000
07/01/17	17-18 Contractor Equip	1,186.00			2190 160 510330	513	101000
07/01/17	17-18 Real & Pers property	27,524.00*			2190 160 510330	512	101000
07/01/17	17-18 Crime & Fidelity	848.00			2190 160 510330	520	101000
33076	2727 MMIA - LIABILI TY PROGRAM	188,923.00					
07/01/17	17-18 Liabi lity Assessment Pay	188,923.00*			2190 160 510330	510	101000

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33077			272 PARK COUNTY	33,791.73					
	486	02/01/17	Stucco/Caulk Project	11,647.23			1000 121 411230	924	101000
	495	02/01/17	Backup generator switch replac	22,144.50			1000 121 411230	924	101000
33078			3529 KASTING, KAUFFMAN & MERSEN PC	430.38					
	200678	07/10/17	Legal Services - Gerri Lutes	430.38			1000 107 411100	350	101000
33079			3361 SPARK LASER CREATIONS	50.00					
			Firefighter accountability tags engraved on two sides with rings and clips. Firefighter name plates.						
		1117	07/10/17	Firefighter accountability tag	50.00		1000 141 420400	220	101000
33080			292 UPS STORE #2420, THE	16.00					
	071317	07/13/17	Mailing from the Police Depart	16.00			1000 123 411700	310	101000
33081			3455 INDUSTRIAL COMM & ELEC OF Livingston Fire & Rescue - Mike Chambers	47.75					
	30577	07/13/17	Replaced Whip Antenna	47.75			5510 142 420730	360	101000
33082			2662 BOUND TREE MEDICAL, LLC LIVINGSTON FIRE/RESCUE	161.44					
	82559953	07/14/17	SUPPLIES FOR THE FIRE DEPT	161.44			5510 142 420730	235	101000
33083			55 LIVINGSTON HEALTH CARE-MEMORIAL	26.97					
	3550726	07/17/17	EPI NEPHRINE	26.97			5510 142 420730	235	101000
33084			54 GATEWAY OFFICE SUPPLY	3.98					
	37121	07/18/17	SUPPLIES FOR TRANSFER STATION	3.98			5410 504 430810	210	101000
33085			2595 TOWN & COUNTRY FOODS -	6.99					
	071717	07/17/17	PAPER TOWELS	6.99			1000 141 420400	220	101000
33086			23 CARQUEST AUTO PARTS	14.99					
	1912-38429	07/17/17	15W40 OIL	14.99			1000 141 420400	230	101000
33087			22 ALL SERVICE TIRE & ALIGNMENT,	460.00					
	52673	07/17/17	2 TIRES FOR THE FIRE DEPT	450.00*			5510 142 420730	232	101000
	52673	07/17/17	DISPOSAL OF OLD TIRES	10.00*			5510 142 420730	232	101000
33088			55 LIVINGSTON HEALTH CARE-MEMORIAL LIVINGSTON FIRE & RESCUE	208.53					
	0017123	07/17/17	EXT SETS #3446600	180.79			5510 142 420730	235	101000
	0017123	07/17/17	NS 500 ML	27.74			5510 142 420730	235	101000

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Check	Invoice #/Inv Date/Description	Line \$					
33089	231 AFLAC	30.74					
KATHY EDMISTON REIMBURSEMENTS FROM AFLAC							
071817	07/18/17 PRESCRIPTION REIMBURSEMENT	30.74			7910 212970		101000
33091	1441 MIKE ADKINS CONSTRUCTION	4,950.00					
1103 E Gallatin St							
Removal & disposal of junk vehicles, mobile home, & debris							
07/13/17	Removal & disposal of various	4,950.00*			1000 106 411030	351	101000
	*** Claim from another period ( 6/17) ****						
33092	2809 LIVINGSTON YOUTH SOCCER	650.00					
Reimburse for goals damaged by plow							
2017100	04/30/17 reimburse for damaged goals	650.00			1000 155 460430	361	101000
33094	162 CENTURYLINK	700.93					
3850	07/04/17 Sewer Plant	176.94			5310 503 430640	343	101000
5570	07/04/17 Utility Billing 1/3	61.04			5210 502 430520	343	101000
5570	07/04/17 Utility Billing 1/3	61.04			5310 503 430620	343	101000
5570	07/04/17 Utility Billing 1/3	61.05			5410 504 430820	343	101000
5240	07/04/17 Scale House	99.00*			5410 504 430870	343	101000
4903	07/04/17 Planning Dept	82.00			1000 106 411030	343	101000
6436	07/04/17 Park Dept.	103.31*			1000 153 460430	343	101000
5606	07/04/17 Utility Shop	18.85			5210 502 430520	343	101000
5606	07/04/17 Utility Shop	18.85			5310 503 430620	343	101000
5606	07/04/17 Utility Shop	18.85			5410 504 430820	343	101000
33096	1783 J & H OFFICE EQUIPMENT	360.40					
PEGGY GLASS-POLICE DEPARMENT							
20945814	07/07/17 Canon Copier lease	360.40			1000 123 411700	368	101000
33097	102 INDUSTRIAL TOWEL	37.70					
24564	07/20/17 Rug Maintenance	37.70			1000 121 411230	360	101000
33098	999999 MI SKA, DIANE	20.00					
CR16-001	07/20/17 Restitution Dawin Munro	20.00			1000 351030		101000
33099	999999 MI SKA, DIANE	20.00					
CR16-002	07/20/17 Restitution Joann Munro	20.00			1000 351030		101000
33100	63 HOUSE OF CLEAN	44.72					
189058	07/03/17 Rolls - Brown paper towels	44.72			1000 141 420400	220	101000

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33102	82562785	07/18/17	2662 BOUND TREE MEDICAL, LLC Patient supplies	13.59 13.59			5510 142 420730	235	101000
33106	82564524	07/19/17	2662 BOUND TREE MEDICAL, LLC Patient supplies	389.45 389.45			5510 142 420730	235	101000
33107	49212	07/18/17	1390 KEN'S EQUIPMENT REPAIR, INC Lube Medic 4	187.68 187.68*			5510 142 420730	232	101000
33108	14275	07/11/17	3237 WHISTLER TOWING, LLC Tow 93 Isuzu amg	75.00 75.00			1000 131 420100	350	101000
33109	21673	07/14/17	2419 ROCKY MOUNTAIN INFORMATION RMIN Membership	50.00 50.00			1000 131 420100	334	101000
33110	501003	07/19/17	999999 SLETTEN CONSTRUCTION Overpayment on water acct	322.50 322.50			5210 343021		101000
33111	16048-03	07/20/17	999999 LICHTWARDT, RONALD Overpayment on Final bill	46.07 10.61			5210 343021		101000
	16048-03	07/20/17	Overpayment on Final bill	22.94			5310 343031		101000
	16048-03	07/20/17	Overpayment on Final bill	12.52			5410 343041		101000
33112	17-18	08/02/17	958 HARRINGTON, KEVIN Flex account	95.00 95.00			7910 212970		101000
33113	17-18	08/02/17	1901 HARRIS, JOSEPH E. Flex account	150.00 150.00			7910 212970		101000
33114	709868	07/27/17	151 NORTHWESTERN ENERGY 37% Facility	2,379.45 8.51			1000 121 411230	341	101000
	709935	07/27/17	37% Facility	146.64			1000 121 411230	341	101000
	3120133	07/27/17	110 S. B St.	133.06			1000 121 411230	341	101000
	3120134	07/27/17	112 S. B St.	91.24			1000 121 411230	341	101000
33115	215090	07/17/17	26 LIVINGSTON ACE HARDWARE - Supplies	26.32 19.68			5210 502 430515	231	101000
	215174	07/18/17	Couple	1.98			5210 502 430515	231	101000
	215179	07/18/17	Supplies	4.66			5310 503 430625	231	101000



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Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
33118		26 LIVINGSTON ACE HARDWARE - 215009 07/14/17 Kitchen sink strainers		5.98 5.98			1000 109 460449	220	101000
33119		999999 HAYS, JESSICA 2017 07/21/17 Balloon twister -Summerfest		260.00 260.00			2212 153 460420	350	101000
33120		776 KENYON NOBLE 6072844 07/21/17 Lumber Summerfest Ticket Boot 6072831 07/21/17 Lumber Summerfest Ticket Boot		104.76 72.77 31.99			2212 153 460420 2212 153 460420	350 350	101000 101000
33121		999999 KOZERA, ERIC 07/24/17 Climbing Instructor		48.00 48.00			1000 109 460449	316	101000
33122		111 MONTANA PIONEER 07/03/17 Summerfest Ads		380.00 380.00			2212 153 460420	350	101000
33123		3710 MONTANA PREMIERE ENTERTAINMENT 82 07/21/17 Bounce house/games/Face Paint		893.20 893.20			2212 153 460420	350	101000
33125		14 SHOPKO STORES, LLC 031770010 07/14/17 Storage containers Civic Ce		119.84 119.84			1000 109 460449	220	101000
33126		3711 SIMMONS, GWEN 2017 07/24/17 Albertson's Office water reimb		16.58 16.58			1000 109 460449	220	101000
33128		3412 SKAGGS, MIKE 07/24/17 18 hours @ \$15.00		270.00 270.00			1000 109 460449	316	101000
33130		999999 SNYDER, ASHTON 07/24/17 Yoga instructor		100.00 100.00			1000 109 460449	316	101000
33131		131 CITY OF LIVINGSTON 111 07/19/17 Disposal of Summerfest Mat'l		8.17 8.17			2212 153 460420	350	101000
33138		2 A-1 MUFFLER, INC. 62553 07/18/17 New oil sender		157.00 157.00			5410 504 430830	362	101000
33139		23 CARQUEST AUTO PARTS 1912383676 07/11/17 V-belt		129.12 129.12			5310 503 430640	231	101000

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Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
33140	92028	07/20/17	424 ENERGY LABORATORIES, INC. Effluent comp	1,344.00 1,344.00			5310 503 430640	355	101000
33141	6087966	07/19/17	776 KENYON NOBLE Wood	6.08 6.08			5210 502 430515	231	101000
33142	215288	07/20/17	26 LIVINGSTON ACE HARDWARE - Supplies	24.98 24.98			5210 502 430515	231	101000
33143	125825	07/12/17	3210 LIVINGSTON LOCKS & CLOCKS Duplicate keys	62.25 62.25			5310 503 430640	231	101000
33144	5-774066	07/10/17	3040 MIDWAY RENTAL, INC. Mower	642.60 642.60			5410 504 430830	531	101000
33145	8076353001	07/14/17	781 2M COMPANY, INC. Lagoon irrigation project	1,387.88 142.51			1000 155 430950	935	101000
	8076303000	07/14/17	Cemetery irrigation	189.00*			1000 155 430950	401	101000
	8076706000	07/18/17	Lagoon irrigation project	337.39			1000 155 430950	935	101000
	8076635000	07/18/17	Sac. park water fountain	250.00			1000 155 460430	361	101000
	8076388000	07/11/17	Lagoon irrigation project	160.93			1000 155 430950	935	101000
	8076353000	07/11/17	Lagoon irrigation project	308.05			1000 155 430950	935	101000
33146	62565	07/20/17	2 A-1 MUFFLER, INC. Truck repair	1,110.00 1,110.00			1000 155 430950	362	101000
33147	14004	07/12/17	3357 ADVANCED TECHNOLOGY PRODUCTS, Pool chemicals	5,116.00 4,586.00			1000 155 460445	222	101000
	14105	07/19/17	Pool chemicals	530.00			1000 155 460445	222	101000
33148	1912384057	07/14/17	23 CARQUEST AUTO PARTS Cemetery mower	109.49 109.49			1000 155 430930	361	101000
33149	15497	07/10/17	294 CHAPPELL'S BODY SHOP, INC. Truck repair	233.45 233.45*			1000 155 430950	361	101000
33150	463399	07/14/17	15 JOHN DEERE FINANCIAL Parts for weed sprayer	3.42 3.42			1000 155 460430	393	101000
33151	6064564	07/06/17	776 KENYON NOBLE Lagoon irrigation	27.99 27.99			1000 155 460430	401	101000

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Claim	Vendor #/Name/	Document \$/	Disc \$						Cash
Check	Invoice #/Inv Date/Description	Line \$		PO #	Fund Org Acct	Object	Proj	Account	
33152	26 LIVINGSTON ACE HARDWARE -	492.07							
214516	07/05/17 River side park	25.85			1000 155 460430	401		101000	
215369	07/21/17 River side park irrigation	6.99			1000 155 460430	401		101000	
215336	07/21/17 Irrigation	59.96			1000 155 460430	401		101000	
214773	07/11/17 Irrigation repair	7.37			1000 155 460430	401		101000	
215309	07/20/17 Irrigation repair	6.99			1000 155 460430	401		101000	
215292	07/20/17 Irrigation repair	41.96			1000 155 460430	401		101000	
215182	07/18/17 Irrigation repair	14.99			1000 155 460430	401		101000	
214866	07/12/17 Marking paint	80.91			1000 155 460430	231		101000	
214979	07/14/17 Toilets	8.98			1000 155 460430	231		101000	
215129	07/17/17 Repairs	22.57			1000 155 460430	231		101000	
215384	07/21/17 Pool cleaning vandalism	137.85			1000 155 460445	231		101000	
214550	07/06/17 Water fountain	2.79			1000 155 460430	231		101000	
214811	07/11/17 Water fountain	13.98			1000 155 460430	361		101000	
214721	07/10/17 Water fountain	28.55			1000 155 460430	361		101000	
214961	07/14/17 Switch for sprayer	12.99			1000 155 460430	393		101000	
214492	07/05/17 Cemetery irrigation	19.34			1000 155 430930	401		101000	
33153	3688 MURDOCH'S RANCH & HOME SUPPLY	99.99							
00247-37	07/18/17 Sawzall	99.99			1000 155 430930	361		101000	
33154	2212 NATIVE LANDSCAPES & RECLAMATION	410.00							
2848	07/12/17 Katie Bonnell Park	410.00			1000 155 460430	402		101000	
33155	2437 O'REILLY AUTOMOTIVE, INC	117.54							
1558499765	07/24/17 Truck	135.54			1000 155 430950	362		101000	
1558499774	07/24/17 Truck	-18.00			1000 155 430950	362		101000	
33156	3023 RICK'S REFRIGERATION, INC.	3.00							
11397	07/10/17 Water fountain	3.00			1000 155 460430	231		101000	
33157	1920 HORIZON AUTO PARTS	115.92							
798775	07/21/17 Pool vandalism cleanup	115.92			1000 155 460445	231		101000	
33158	3046 SPURLINE, INC.	30.00							
174563	07/06/17 Irrigation	30.00			1000 155 460430	401		101000	
33159	3630 VORTEX USA INC.	420.00							
29986	07/14/17 Splash Park	420.00			1000 155 460445	231		101000	

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Claim	Vendor #/Name/	Document \$/	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
Check	Invoice #/Inv Date/Description	Line \$					
33162	55 LIVINGSTON HEALTH CARE-MEMORIAL	14.31					
17125	07/24/17 Patient supplies	14.31			5510 142 420730	235	101000
33163	2662 BOUND TREE MEDICAL, LLC	49.45					
82570180	07/25/17 Patient supplies	49.45			5510 142 420730	235	101000
33164	3450 ARROW INTERNATIONAL, INC	1,838.06					
95008462	07/18/17 Patient supplies	1,838.06			5510 142 420730	235	101000
33167	151 NORTHWESTERN ENERGY	6,115.70					
0709793-4	07/14/17 City shop 50% 406 bennett	149.18			2500 151 430220	341	101000
0709793-4	07/14/17 City shop 50% 406 bennett	149.19			5410 504 430820	341	101000
2171060-3	07/14/17 Scale house 408 bennett	33.90			5410 504 430820	341	101000
1728687-3	07/10/17 Transfer station 408 Bennet	326.51			5410 504 430820	341	101000
3267010-1	07/10/17 330 Bennett compator	112.74			5410 504 430820	341	101000
0709794-2	07/10/17 WWTP 316 Bennett	4,804.95			5310 503 430640	341	101000
0720048-8	07/11/17 330 Bennett 1/4	124.42			5210 502 430520	341	101000
0720048-8	07/11/17 330 Bennett 1/4	124.43			5310 503 430620	341	101000
0720048-8	07/11/17 330 Bennett 1/4	124.43			5410 504 430820	341	101000
0720048-8	07/11/17 330 Bennett 1/4	124.43			1000 106 411030	341	101000
3015965-1	07/14/17 330 Bennett Fire training c	41.52			1000 141 420400	341	101000
33168	151 NORTHWESTERN ENERGY	1,316.04					
0709871-8	07/14/17 Star Addition	301.04			2400 420100	340	101000
3287727-6	07/14/17 320 Alpenglow	41.42			2400 420100	340	101000
3386783-9	07/14/17 Btwn G and H on Clark	43.49			2400 420100	340	101000
3386845-6	07/14/17 Btwn I and K on Callender	41.69			2400 420100	340	101000
3386846-4	07/14/17 Btwn 7th and 8th on Summit	22.52			2400 420100	340	101000
1498936-2	07/14/17 I 90 and 89S	6.21			2400 420100	340	101000
0709796-7	07/14/17 97 View Vista dr.	7.07			2400 420100	340	101000
1893530-4	07/14/17 600 W park	52.38			2400 420100	340	101000
1493850-0	07/14/17 412 W Callender	60.21			2400 420100	340	101000
3141997-1	07/14/17 C and D on Callender	17.79			2400 420100	340	101000
2023484-5	07/14/17 110 W Geyser	5.85			2400 420100	340	101000
2023479-5	07/14/17 900 W Geyser	5.85			2400 420100	340	101000
2114861-4	07/14/17 132 South B	122.47			2400 420100	340	101000
1893536-1	07/14/17 E street and Alley	40.59			2400 420100	340	101000
1893541-1	07/14/17 18 W Park	83.33			2400 420100	340	101000
1747572-4	07/14/17 F and G on Callender	23.87			2400 420100	340	101000
1747570-8	07/14/17 D and E on Callender	45.74			2400 420100	340	101000
1613803-4	07/14/17 M and N on Callender	54.28			2400 420100	340	101000
1290352-2	07/14/17 School Flasher park and 13t	8.35			2400 420100	340	101000
1134879-4	07/14/17 N 7th and Montana and Chino	34.83			2400 420100	340	101000
1134866-1	07/14/17 N 2nd and Montana and Chino	64.57			2400 420100	340	101000
0709869-2	07/14/17 Carol lane	120.04			2400 420100	340	101000

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Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
	3093027-5	07/14/17	105 West Park	39.90			2400 420100	340	101000
	3093023-4	07/14/17	320 North Main	14.43			2400 420100	340	101000
	3093003-6	07/14/17	114 West Summit	42.14			2400 420100	340	101000
	3184602-5	07/14/17	202 South 2nd	15.98			2400 420100	340	101000
33169			151 NORTHWESTERN ENERGY	1,734.77					
	0709891-6	07/14/17	Cemetery Rd. shop	17.92			1000 155 430950	341	101000
	0709870-0	07/14/17	422 South G Park	95.03			1000 155 430950	341	101000
	0709878-3	07/11/17	227 River Dr. Conc. Stand &	132.72			1000 155 430950	341	101000
	0709884-1	07/11/17	616 River dr. pmp	274.62			1000 155 430950	341	101000
	0709879-1	07/11/17	227 River Dr. softball field	613.17			1000 155 430950	341	101000
	1906055-7	07/14/17	815 North 13th Soccer field	2.19			1000 155 430950	341	101000
	0720176-7	07/14/17	Weimer park	62.09			1000 155 430950	341	101000
	1155965-5	07/14/17	229 River dr.	11.83			1000 155 430950	341	101000
	2138754-3	07/14/17	G street park	518.87			1000 155 430950	341	101000
	3210240-2	07/14/17	616 River dr.	6.33			1000 155 430950	341	101000
33170			3680 FETTERHOFF, PAIGE	136.43					
	07/11/17		Mileage reimbursement	136.43			1000 104 410540	370	101000
33172			151 NORTHWESTERN ENERGY	7,951.82					
	0709873-4	07/14/17	800 W Cambridge pmp	55.09			5310 503 430625	344	101000
	0719058-0	07/10/17	3 Rogers lane lift station	30.25			5310 503 430625	344	101000
	0709914-6	07/10/17	1011 River Dr. Edge water p	12.19			5310 503 430625	344	101000
	1452951-5	07/10/17	Monroe L.S	128.99			5310 503 430625	344	101000
	1594141-2	07/10/17	9th and 10th L.S	26.43			5310 503 430625	344	101000
	3258086-2	07/14/17	2800 East park L.S	97.60			5310 503 430625	344	101000
	3258262-9	07/10/17	320 Alpenglow L.S	164.59			5310 503 430625	344	101000
	0709892-4	07/14/17	40 Water Tower ave.	50.13			5210 502 430515	341	101000
	0709876-7	07/11/17	132 South B - Well	1,916.01			5210 502 430515	341	101000
	0709886-6	07/14/17	200 E reservoir	30.99			5210 502 430515	341	101000
	0709894-0	07/10/17	56 Water tower	271.64			5210 502 430515	341	101000
	1441030-2	07/11/17	D and Geyser well house	1,949.10			5210 502 430515	341	101000
	0709874-2	07/10/17	Werner Addition Pmp	864.20			5210 502 430515	341	101000
	0709875-9	07/10/17	900 River dr. pmp	2,354.61			5210 502 430515	341	101000
33173			3390 TD&H ENGINEERING, INC	1,549.00					
	10096	07/17/17	Vault infill	1,549.00*			2310 470300	350	101000
33175			999999 BOONE, JESSICA	15.00					
	2017	07/25/17	Refund Cancelled Swin Classes	15.00			1000 346030		101000

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33176		999999 CARLIN, BETHANY 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33177		999999 DEYERLE, ROSE 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33178		999999 EARL, DEBRA 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		30.00 30.00			1000 346030		101000
33179		999999 ENSING, RUBY 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33180		999999 EUBANK MEGAN 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		30.00 30.00			1000 346030		101000
33181		999999 FEUSNER, ANNA 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		30.00 30.00			1000 346030		101000
33182		999999 LEWIS, JACQUELINE 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33183		999999 PRICE, TIMOTHY 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33184		999999 RATE, ALEX 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33185		999999 SALLOUX, KIM 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33186		999999 SHANNON-LIER, ALISON 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33187		999999 TRUJILLO, CHANTEL 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33188		999999 WAREEN, JESSICA 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000
33189		999999 WEGNER, LESLIE 2017 07/25/17 Refund Cancel I ed Swi n Cl asses		15.00 15.00			1000 346030		101000

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Claim	Check	Invoice #/Inv Date/Description	Vendor #/Name/	Document \$/ Line \$	Disc \$	PO #	Fund Org Acct	Object Proj	Cash Account
33190		2017 07/25/17 Refund Cancel led Swin Classes	999999 WYMAN, BECKY	15.00 15.00			1000 346030		101000
33191		17-18 08/02/17 Flex Account	153 POWERS, DIANE	99.00 99.00			7910 212970		101000
			# of Claims	148	Total:	469,217.72			

**Backup material for agenda item:**

- A. RESOLUTION NO. 4748 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, OF ITS INTENT TO ADOPT THE CITY OF LIVINGSTON GROWTH POLICY.



**RESOLUTION NO. 4748**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON,  
MONTANA, OF ITS INTENT TO ADOPT THE CITY OF LIVINGSTON GROWTH  
POLICY.**

---

**WHEREAS**, the State of Montana has mandated that local government adopt growth policy which complies with the requirements of 76-1-601 Montana Code Annotated (MCA); and

**WHEREAS**, the City of Livingston Planning Board has conducted public hearings on the proposed growth policy for the City of Livingston which is attached hereto as Exhibit A and incorporated by this reference as though fully set forth herein; and

**WHEREAS**, the Planning Board has recommended that the proposed growth policy be adopted by the Livingston City Commission; and

**WHEREAS**, 76-1-604 MCA requires the City Commission to pass a resolution of intent to either adopt, adopt with revisions or reject the proposed growth policy.

**NOW, THEREFORE, BE IT RESOLVED**, by the City Commission of the City of Livingston, Montana, as follows:

That the City Commission of the City of Livingston, Montana, intends to adopt the growth policy attached hereto as Exhibit A.

**BE IT FURTHER RESOLVED** that a public hearing on the intent to adopt the City of Livingston Growth Policy be held at 6:30 p.m. on August 15, 2017, in the Community Room of the city – County Complex, 414 East Callender Street, Livingston, Montana.

**BE IT FURTHER RESOLVED** that the notice of the public hearing attached hereto as Exhibit B be published in accordance with law.

**PASSED AND ADOPTED** by the City Commission of the City of Livingston, this \_\_\_\_\_ day of August, 2017.

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**JAMES BENNETT - Chairman**

**ATTEST:**

**APPROVED AS TO FORM:**

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**LISA HARRELD**  
**Recording Secretary**

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**JAY PORTEEN**  
**City Attorney**

## NOTICE

A public hearing will be held by the City Commission of Livingston, Montana, on August 15, 2017, at 6:30 p.m. in the Community Room of the City County Complex, 414 East Callender Street, Livingston, Montana, on Resolution No. 4748 entitled A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, OF ITS INTENT TO ADOPT THE CITY OF LIVINGSTON GROWTH POLICY. All interested persons are invited to attend and give their comments. For additional information contact Michael Kardoes, City Manager, 414 East Callender Street, Livingston, Montana, 59047 or by phone at 823-6000.

Publish August 4 and August 14, 2017

Lisa Harreld  
823-6009

## INTRODUCTION

The previous Growth Policy for the City of Livingston was adopted in 2004. While it has been amended several times since, this update is undertaken to provide more current and relevant data as well as new goals and objective to replace many of the already-realized ones from the prior document.

The primary purpose of this update is to create a document that will be a useful tool that the City can rely upon as it reviews land use and development decisions. This update attempts to deal realistically with current issues and provide guidance for the development of the City. It is, however, recognized that this document should be replaced with a more comprehensive and modern document as soon as it becomes financially feasible.

The planning area consists of the City of Livingston proper and is approximately 5.3 square miles in size.

The following list of goals and objectives have been identified to guide local officials and community members in making decisions that will affect the future of our community.

### **Goal 1: Strengthen Livingston's economy by supporting industries and initiatives that increase employment opportunities and personal income.**

#### **Objectives:**

1. Support existing local businesses and enhance the economic opportunity for new businesses by establishing policy to:
  - a. Support continuing education, to develop a more skilled workforce.
  - b. Continue efforts to increase safe access and accommodate growth to the north side of the railroad corridor.
  - c. Reassess needs of anchor businesses to accommodate their long-term needs and retention.
  - d. Increase efforts to partner with Montana Rail Link to rehabilitate railroad property and integrate it into the community.
  - e. Explore options to enhance the downtown district and support downtown businesses.
  - f. Support initiatives that help local producers and manufacturers connect with and engage in markets beyond Montana.
2. Develop tools to attract and retain economic development prospects.
3. Address affordable housing needs.

**Goal 2: Preserve Livingston’s quality of life and community character.**

**Objectives:**

- 1. Review and update Livingston’s roadway entrancements to maintain a vibrant community appearance.
- 2. Review, update, and enforce the policies, procedures, and building design guidelines in Livingston’s gateways.
- 3. Develop and enforce policies and procedures to preserve Livingston’s historic quality.

**Goal 3: Develop infrastructure to enhance community services and improve public safety for Livingston residents.**

**Objectives:**

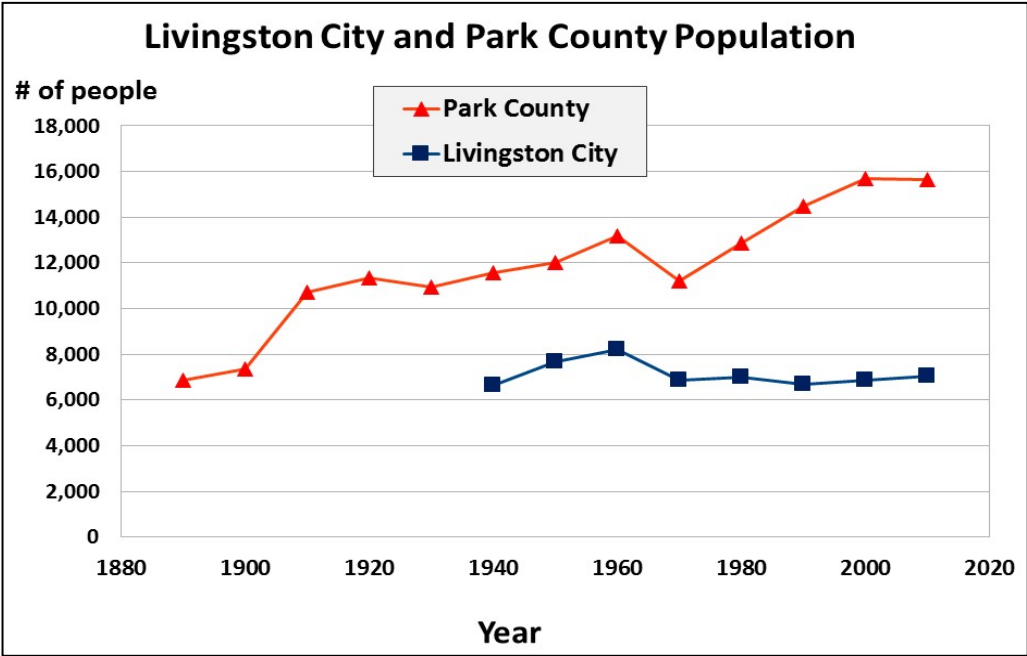
- 1. With the involvement of County Planning representatives, determine an envelope for logical growth of the City of Livingston and the areas most likely to be annexed by the City.
- 2. Continue maintaining and updating critical infrastructure including fiber optic connectivity.
- 3. Improve access to the north side to promote safety and accommodate growth.
- 4. Update and follow the annexation policy to maintain public safety, and ensure efficient use of public infrastructure.
- 5. Update and review land use regulations to fulfill the needs and desires of the community.
- 6. Review existing recycling programs and develop recommendations for enhancement.

# CHAPTER 1 POPULATION & HOUSING

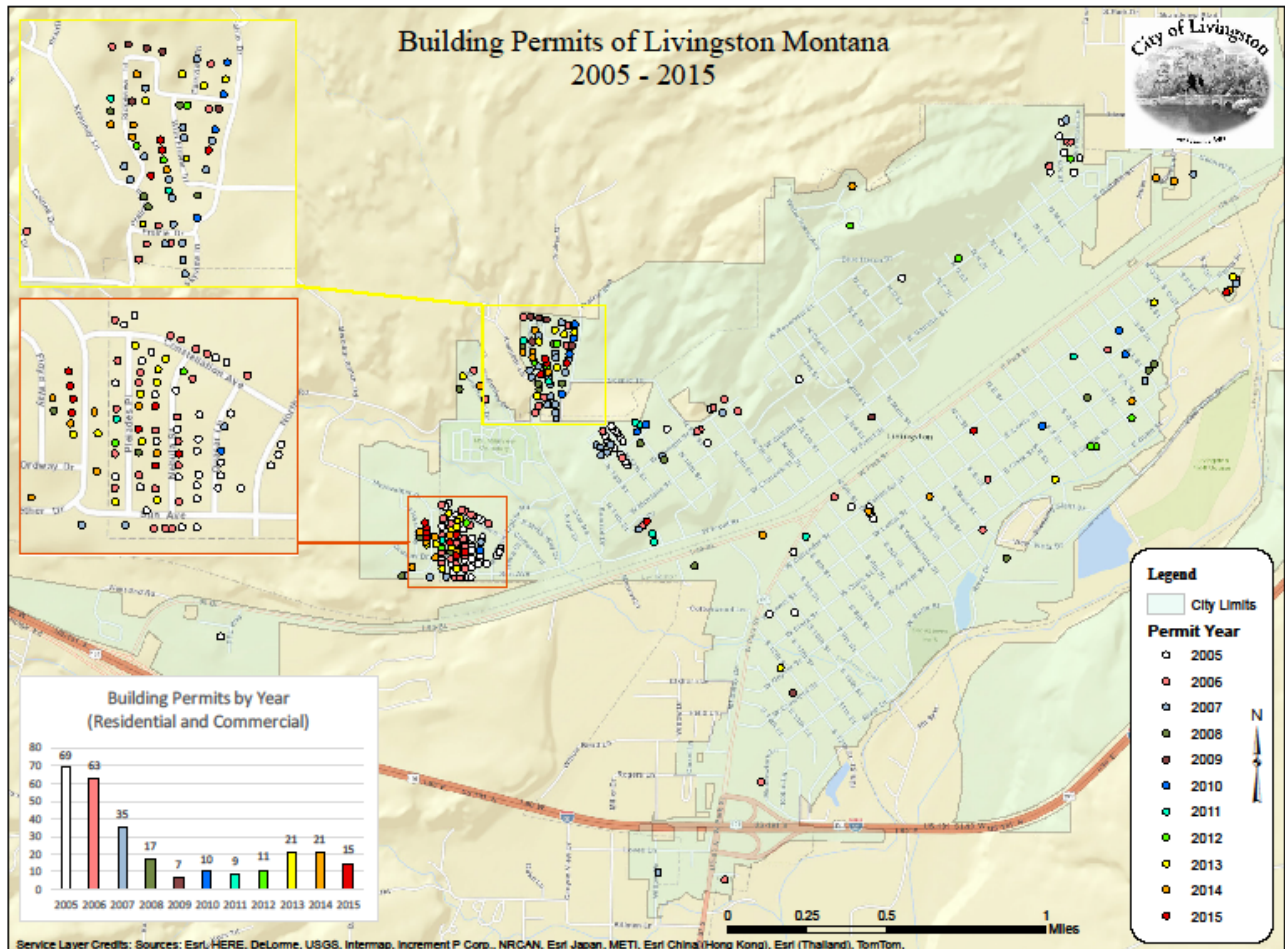
The population of the City of Livingston has been quite stable over the last 40 years. The 1970 population was 6,883 and the 2011 number issued by the Census Bureau was 6,969. Between 1980 and 1990 there was an approximate 300-person drop in population, which appears to be a result of the closure of the Burlington Northern shop facility in the mid-1980s.

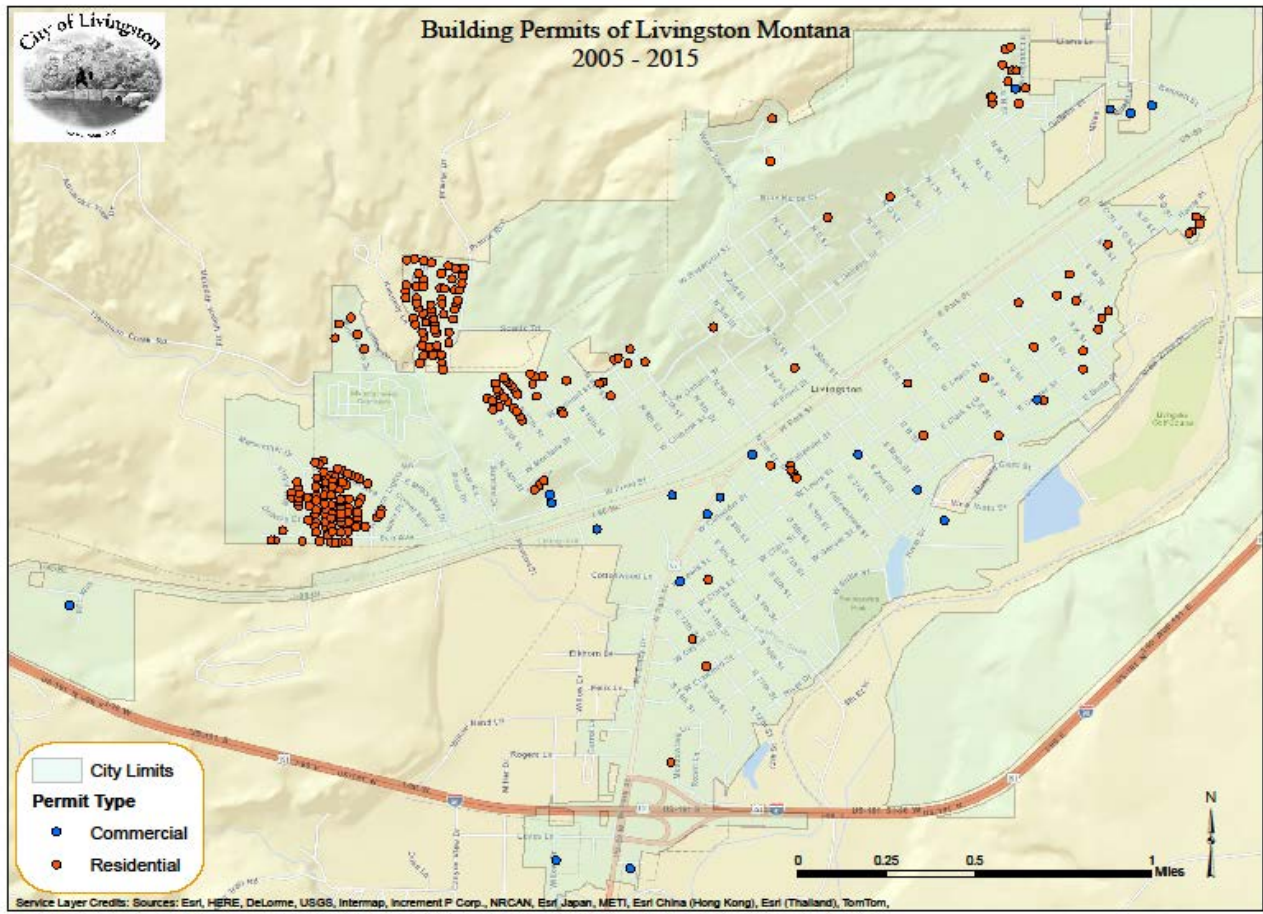
The age composition of Livingston’s population shows the median age to be 41.1 years. This is up slightly from 40.3 years in 2000.

Given the relatively stable population the overall housing stock seems to be adequate. Some 276 housing units, or 8.2% of the housing stock, were vacant in 2000.



Population history of Livingston City and Park County.  
source: 1930 – 2010: US Census, 1890 – 1920: Wikipedia







**CHAPTER 2  
ECONOMY**

**Introduction**

The economy of Livingston and the surrounding area has historically depended upon timber, agriculture and the railroad. All three of these components are still important to the area’s economy; however, the number of jobs supplied by these industries continues to decline as it has over the last 25 years. As local jobs decrease within these industries, they are generally being replaced by service-oriented positions.

The geographic setting of our area (near Yellowstone Park, abundant wilderness, National Forests and the Yellowstone River) has created a thriving tourism and recreation industry. This industry has continued to grow and is continually providing new employment opportunities in the area. As Livingston’s economy moves away from its historical base, we are also seeing a shift toward the self-employed, often home-based, professional. This is possible through the use of the Internet and other global communication and high speed data transmission technologies.

Local government can encourage economic growth by recognizing what sectors are strong and directing economic development efforts toward weaker or non-existent sectors. Strategies that could be pursued include increasing the area zoned for light industrial use, modifying business regulations to encourage small professional businesses, and maintaining the needed infrastructure to encourage economic activity. The City should also seek to provide higher education, possibly in the form of vocational and/or community colleges and use the tools at our disposal to attract and retain businesses.

**Current Trends and Data**

The document attached to this Growth Policy as Appendix 1, entitled 2015 Economic Profile of Gallatin and Park Counties, Montana, represents a good picture of the current sector breakdown and demographic changes that are occurring in Park County and the City of Livingston.

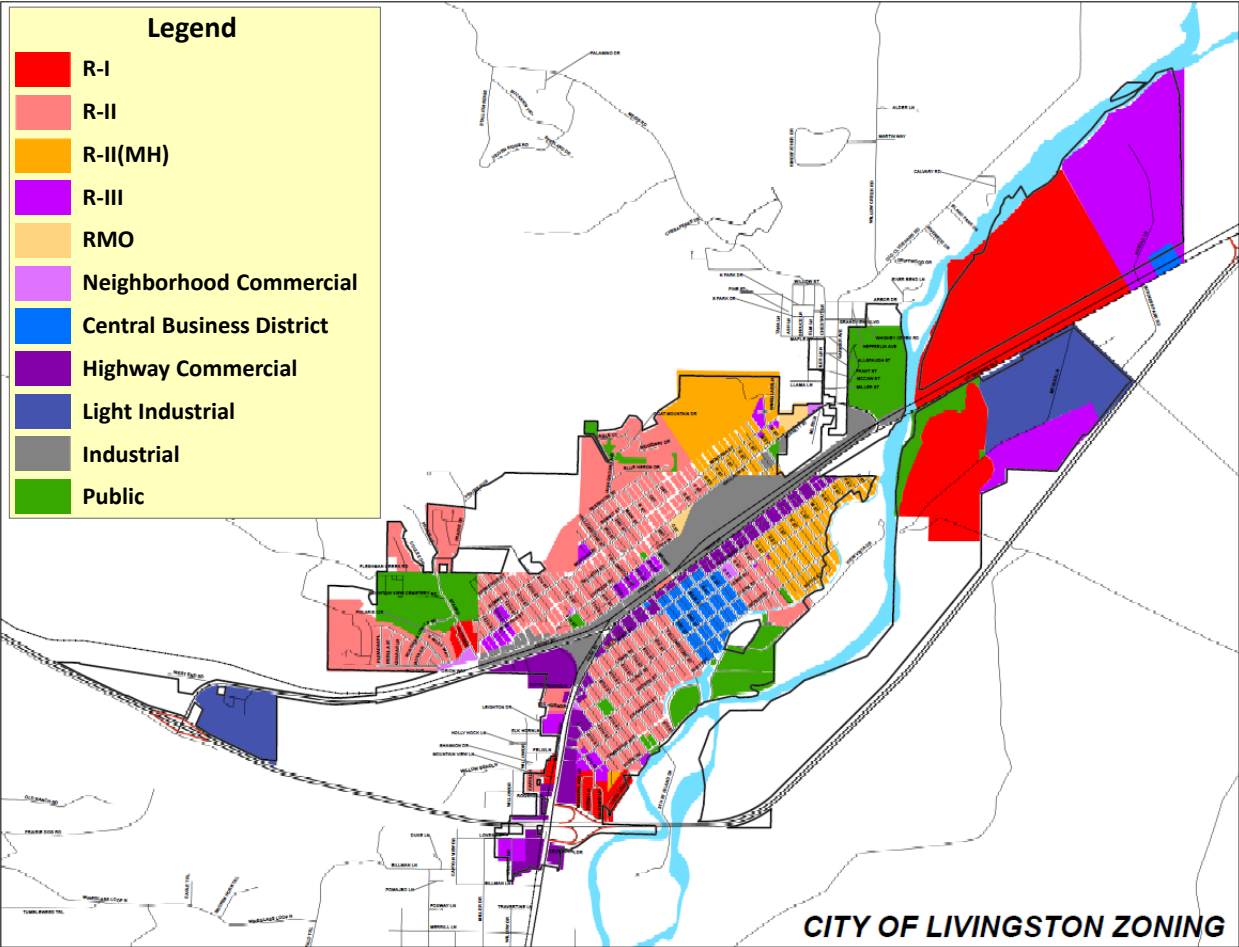
Since the last Growth Policy update, overall economic trends have taken a downward swing away from the boom of 2004 – 2006. While the data now shows that activity has decreased in many sectors as, nationally, we have seen a general economic slow-down, we are seeing some indications of a slow recovery.

In fiscal year 2005-2006 the City issued 75 permits for new residential construction. In contrast, by the end of the 2014-2015 fiscal year only 18 new residential permits were issued. This disparity provides a stark example of just how different the economic climate is since we last revised the Growth Policy. In 2004 our primary concern was centered on how to manage rapid growth and development. Today, we find ourselves in the opposite position – one in which land development has slowed significantly.

Moving forward, the City of Livingston will need to determine how it wishes to react to these conditions to help promote positive change in the region’s economic situation.

### CHAPTER 3 LAND-USE

The City of Livingston has the following twelve (12) categories of land-use defined by zoning districts: Low Density Residential (R-I), Medium Density Residential (R-II), Medium Density Residential: Mobile Home (R-II [MH]), High Density Residential (R-III), Mobile Home Residential (RMO), Public (P), Industrial (I), Light Industrial (LI), Highway Commercial (H.C.), Neighborhood Commercial (N.C.), Central Business District (C.B.D.), and Preservation Zoning District (PZD).



## Current Land-Use

**Low Density Residential (R-I):** A single-family residential district that requires a large plat area (at least 9,600 square feet). The east side of the Star Addition, the Glenn Division, and the Werner Addition are all R-I.

**Medium Density Residential (R-II):** This is primarily a single-family residential district requiring plats larger than 3,500 square feet. However, duplexes and two-family dwellings may be accommodated on lots of 7,000 square feet or larger. R-II is the dominant land-use in Livingston and is found north and south of Park St.

**Medium Density Residential, Mobile Home (R-II [MH]):** This district has the same requirements as R-II, and is still used primarily for single and two-family dwellings. Unlike R-II, however, this district allows for the placement of mobile homes. R-II (MH) is found primarily in the Minnesota Addition on the north end of town, and in the Riverside Addition in the east part of town.

**High Density Residential (R-III):** R-III zones provide for multi-family developments such as apartment buildings and condominiums. There are R-III areas scattered throughout Livingston, but the majority are found in the northwest and southern parts of town.

**Mobile Home Residential (RMO):** This is a district that allows only mobile homes and accessory buildings. At this time, there are three mobile home courts that are zoned RMO.

**Public (P):** This is land reserved exclusively for public and semi-public uses. Public zones are set aside to provide for a variety of community facilities that serve the public health, safety, and general welfare. Places in Livingston used as (P) include the several parks, the cemetery, the City-County Complex, and the schools.

**Industrial (I):** A district intended to accommodate a variety of businesses, warehousing, transportation terminals, and light and heavy industries. (I) areas in Livingston are concentrated around the Montana Rail Link Railroad and the Livingston Rebuild Center.

**Light Industrial (LI):** Intended to accommodate a variety of light industry, including those defined as light manufacturing as well as business and professional offices.

**Highway Commercial (H.C.):** Highway Commercial zones provide for commercial and service enterprises, which serve the needs of the tourist, traveler, recreationist, or the general traveling public. H.C. areas are usually located near Interstate interchanges, intersections of limited access highways, or adjacent to primary and secondary highways. In Livingston, this is along the southern end of Park Street, along Highways 10 and 89, and near the I-90 interchange.

**Neighborhood Commercial (N.C.):** Neighborhood Commercial zones provide for community retail service, office facilities, or convenience retail development. Most places zoned N.C. are individual businesses in residential areas.

**Central Business District (C.B.D.):** The C.B.D. accommodates stores, hotels, government and cultural centers, professional offices, service establishments, and high-rise apartments. The emphasis in the C.B.D. is on large scale, dense buildings.

**Preservation Zoning District (PZD):** The Preservation Zoning District is designed to supplement land uses and development standards by recognizing the unique characteristics of existing structures which may be important to the community to preserve from either an historical or architectural design perspective or by recognizing the unique characteristics of a specific piece of property due to natural features, including topographic features, watercourses, woodlands and wildlife habitats. It is the intent of this zone that allowed uses act as an inducement to preservation of the historic or architectural design of the buildings and/or natural features. Allowed uses shall not be construed as creating a benefit for the owner of the property to the detriment of other property owners surrounding the PZD, i.e., this is not to be construed as creating special legislation for the benefit of the Preservation Zoning District property owner(s), but rather a method for the preservation of historic or architectural designs and/or natural features important to the community.

#### Future Land-use

In the past six to eight years, the City has annexed a significant amount of land (see map below). These areas include the Yellowstone Preserve property and the Watson Ranch both east of the river, the Discovery Vista subdivision to the northwest, the Jesson property at the west interchange, and the JAT property on Highway 89 South near Billman Lane. Combined, these areas nearly double the area of the incorporated City limits. Thus, it seems that there is more than adequate growth area for Livingston over the next few decades. It seems unlikely that growth pressures will fuel the need for further annexations in the near term, although safety and efficiency considerations can motivate annexation decisions as well.

#### Future Residential Land-use

As reflected on the Future Growth Map, the primary residential growth areas are seen as that north and west of the Palace Addition and northeast of town to include the Green Acres subdivision and the infill area between Green Acres and the current City Limits. These areas have been identified as prime residential areas due to both the adjacent, exiting residential uses as well as the relative ease with which the City can serve these locations with water and sewer. It is also reasonable to expect some residential growth to occur in the “Five-Acre Tract” area.

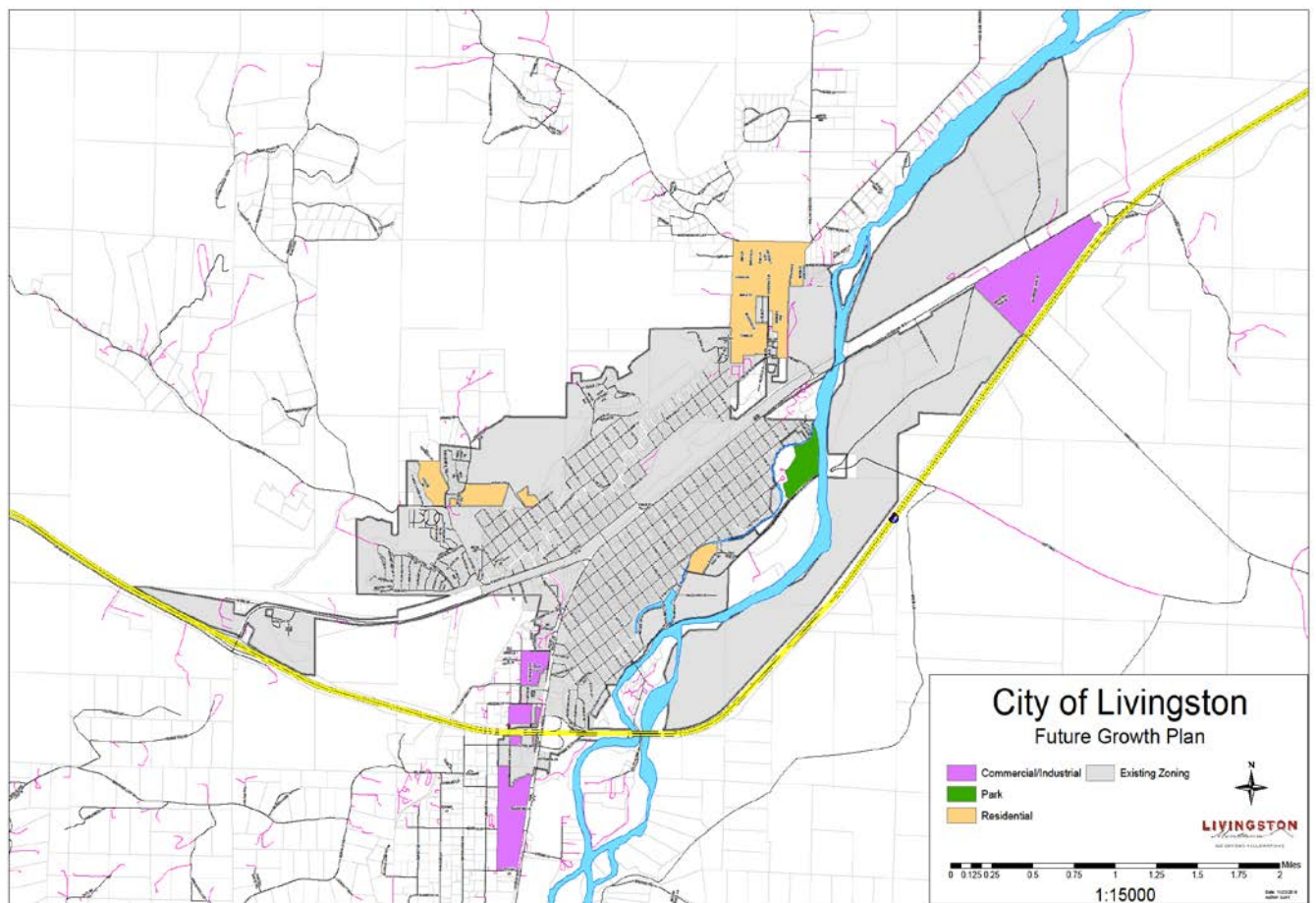
It is important to note that the primary residential growth areas are on the north side of the railroad corridor. This fact makes it essential that the City continue to pursue an additional off-grade rail crossing in order to facilitate future growth. It cannot be overemphasized that if we wish to pursue economic growth, we must provide for the physical growth of the City. Enhanced access to the north side of the railroad is a requirement for this to occur.

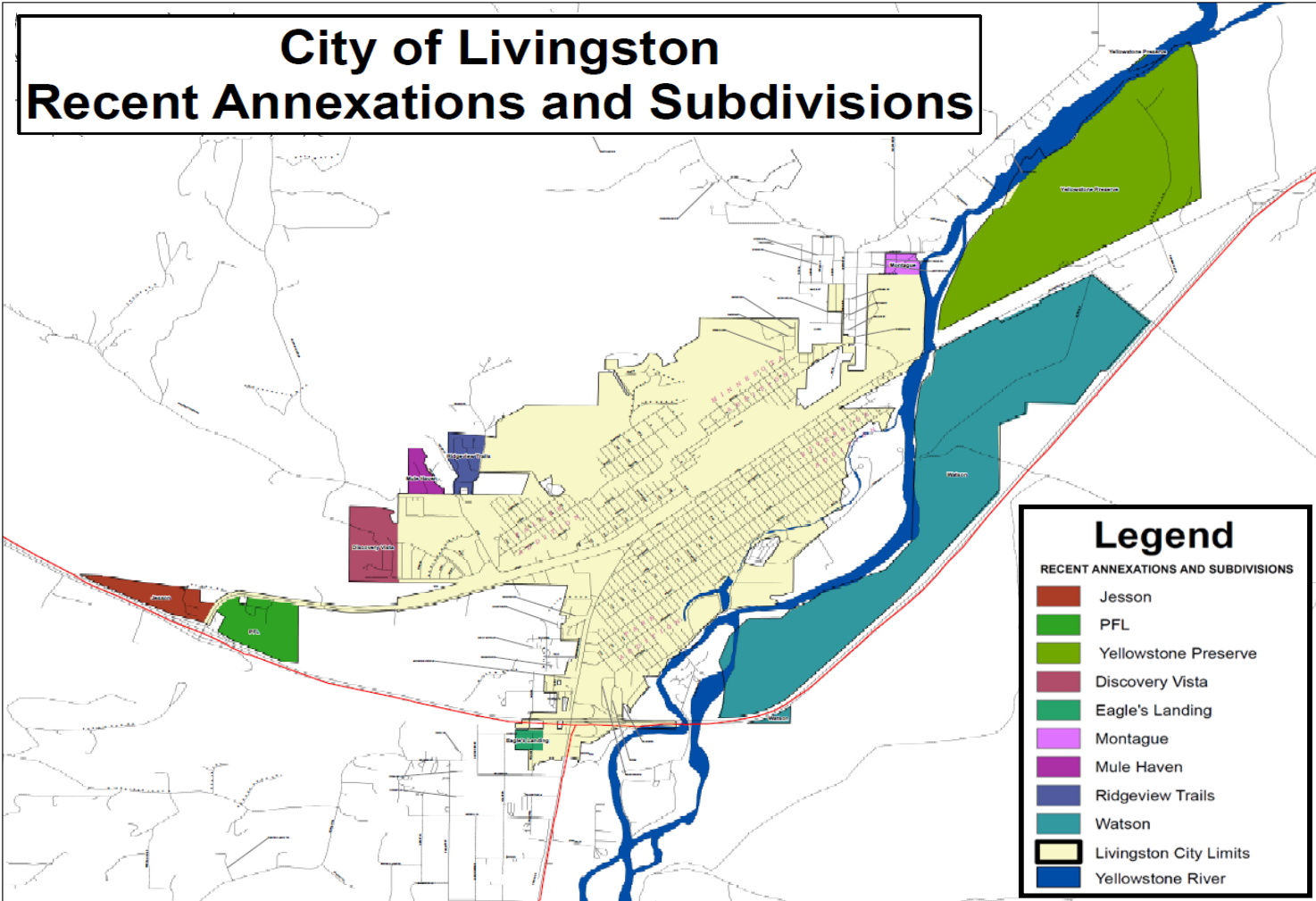
### Future Commercial and Industrial Land-use

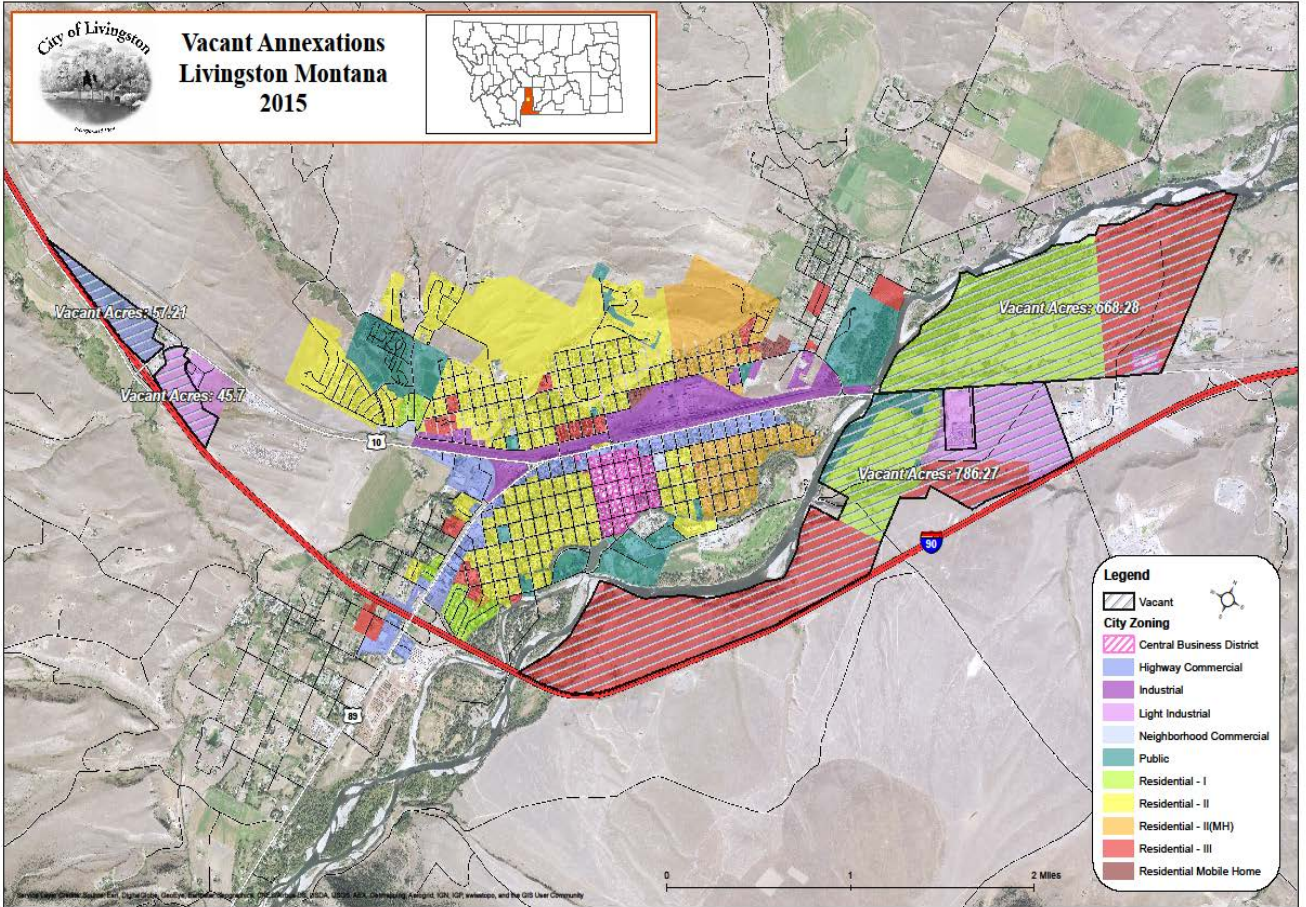
In the past, relatively few options have existed for the location of commercial land uses. Recent annexation of the Watson Property east of the river, the Jesson Property near the west interchange, and the JAT Property on Hwy 89 South, has added greatly to the stock of undeveloped commercial and light industrial land.

Other potential commercial areas include the railroad property between Gallatin Street and the tracks and the west side of Hwy 89 South as far as Guthrie Lane. These areas are, again, identified due to the relative ease of providing both utilities and general City services to these locations.

The re-use or redevelopment of the railroad shop area is seen as a key element in Livingston's continued economic growth. Its central location and potential for the use of its existing facilities is seen as a great opportunity to provide for additional commercial or industrial activity without requiring the geographical expansion of the City.

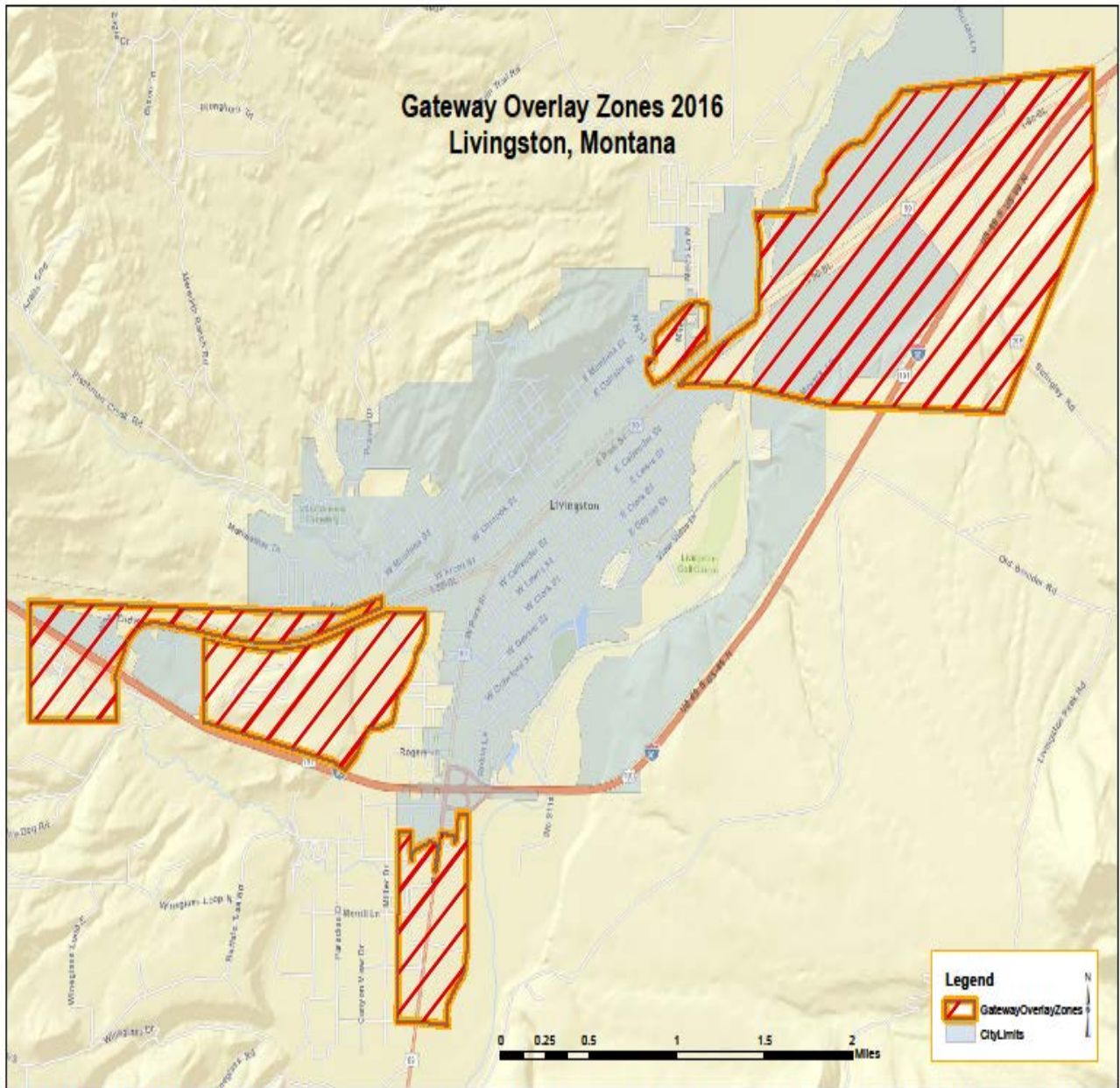






As part of its future land-use planning the City has identified key gateway areas to the City. The City created a Design Review Overlay Zone that applies to these particular areas if and when they are annexed into the City’s jurisdiction. This overlay zoning will provide for some addition regulation over non-residential buildings in order to maintain aesthetically pleasing entrances into our community.





This map is for informational purposes only and not for legal, engineering or surveying purposes. Park County assumes no legal responsibility for this information and shall not be held for any claims or damages arising out of the use of this information.

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## City use of Subdivision Review Criteria

The following explains how the city will define and apply the subdivision review criteria, which are outlined in state law:

### **Definitions:**

- Agriculture – The production of food, feed, and fiber commodities, livestock and poultry, bees, fruits and vegetables, and sod, ornamental, nursery, and horticultural crops that are raised, grown, or produced for commercial purposes.
- Ag water user facilities – Any part of an irrigation system used to produce an agricultural product on property used for agricultural purposes.
- Local Services – All services provided by any local government unit having jurisdiction over the subdivision as well as those commonly provided by private entities to similar properties in the vicinity.
- Natural Environment – The physical conditions that exist within a given area.
- Wildlife and wildlife habitat – Living things that are neither human nor domesticated and the physical surroundings required for their existence.
- Public health and safety – A condition of well-being wherein risk of injury to the community at large is minimized.

The City of Livingston will apply these primary review criteria by answering the following, categorized questions:

- Effect on Agriculture –
  - 1) Would the subdivision remove agricultural or timberlands with significant existing or potential production capacity?
  - 2) Would the subdivision remove from production agricultural lands that are critical to the areas agricultural operations?
  - 3) Would the subdivision create significant conflict with nearby agricultural operations (e.g. creating problems for moving livestock, operating farm machinery, maintaining water supplies, controlling weeds, applying pesticides or would the subdivision generate nuisance complaints due to nearby agricultural operations)?
  - 4) How would the subdivision affect the value of nearby agricultural lands?

- Effect on Agricultural Water User Facilities –
  - 1) Would the subdivision create a significant conflict with agricultural water user facilities (e.g. creating problems for operating and maintaining irrigation systems or creating nuisance complaints due to safety concerns, noise, etc.)?
  
- Effect on Local Services –
  - 1) What additional or expanded public services and facilities would be demanded to serve this subdivision?
    - a) What additional costs would result for services such as streets, law enforcement, parks and recreation, fire protection, water, sewer and solid waste, schools and busing (including additional personnel, equipment, construction and maintenance costs)?
    - b) Who would bear these costs?
    - c) Can the service providers meet the additional costs given legal and other constraints?
  - 2) Would the subdivision allow existing services, through expanded use, to operate more efficiently or make the installation or improvement of services feasible?
  - 3) What are the present tax revenues received from the unsubdivided land by the County, City and Schools?
  - 4) What would be the approximate revenues received by each above taxing authority when the subdivision is improved and built upon?
  - 5) Would new taxes generated from the subdivision cover additional public costs?
  - 6) Would any special improvement districts be created which would obligate the City fiscally or administratively?
  
- Effect on the Natural Environment –
  - 1) How would the subdivision affect surface and groundwater, soils, slopes, vegetation, historical or archaeological features, and visual features within the subdivision or on adjacent lands?
    - a) Would any stream banks be altered, streams rechanneled or any surface water contaminated from run-off carrying sedimentation or other pollutants?
    - b) Would groundwater supplies likely be contaminated or depleted as a result of the subdivision?
    - c) Would construction of streets or building sites result in excessive cuts and fills on steep slopes or cause erosion on unstable soils?
    - d) Would significant vegetation be removed causing soil erosion or bank instability?

- e) Would significant historical or archaeological features be damaged or destroyed by the subdivision?
  - f) Would the subdivision be subject to natural hazards such as flooding, rock, snow or land slides, high winds, severe wildfires or difficulties such as shallow bedrock, high water table, unstable or expansive soils, or excessive slopes?
- Effect on Wildlife and Wildlife Habitat –
    - 1) How would the subdivision affect critical wildlife areas such as big game wintering range, migration routes, nesting areas, wetlands or other important habitat?
    - 2) How would pets or human activity affect wildlife?
  - Effect on Public Health and Safety –
    - 1) Would the subdivision be subject to hazardous conditions due to high voltage lines, airports, highways, railroads, high-pressure gas lines, or adjacent industrial uses?
    - 2) What existing uses may be subject to complaints from residents of the subdivision?
    - 3) What public health or safety hazards, such as dangerous traffic or fire conditions, would be created by the subdivision?

### Public Hearing Process for Subdivision Review

The Livingston City Planning Board shall conduct all required public hearings associated with the review of subdivisions within the City's jurisdiction. The hearings will be under the direction of the Chair of the Board or Acting Chair in the absence of the Chair. The Chair will announce the issue under consideration and public comment will be opened with the proponents of the subdivision being asked to speak first. Once the Chair has determined that no further proponents wish to speak, those opposed to the subdivision will be asked to speak. After those opposed to the subdivision have spoken, and after calling three (3) times for further comment on the issue, the Chair will close the public hearing and the Board will begin its deliberation. At the outset of the hearing, the Chair may set a uniform time limit on all speakers in order to ensure that the meeting is concluded at a reasonable hour. Such time limit shall not be less than three (3) minutes. If, in the interest of the public's right to participate, it is determined by the Chair that a public hearing has extended too late into the evening, the Chair may suspend the hearing and, with the consent of a majority of the Board, order the hearing to be continued at the time and place so stated.

**CHAPTER 4  
PUBLIC FACILITIES & LOCAL SERVICES**

Local Government

The City of Livingston has a Commission-manager form of government. Five Commission-members are elected to four-year, staggered terms, and they in turn appoint a manager who becomes the chief administrative officer for the city. The manager is then responsible for the administration of all local government affairs placed in his charge (i.e., enforcement of laws and ordinances, direct and supervise all departments, etc.).

Solid Waste Management

Currently solid waste disposal for the city consists of the Livingston Transfer Station. The City of Livingston collects solid waste from approximately 3,600 homes and businesses using automated garbage trucks. Park County also delivers garbage from their green box sites to the City transfer station. All garbage delivered to the transfer station is ultimately hauled by truck to a landfill in Great Falls.

Current Operations

The Solid Waste Fund for Livingston is an enterprise fund with two major revenue sources: residential charges, and user fees for commercial stops. Residential garbage fees are set amounts paid each month. Commercial garbage fees are assessed by weight per stop, and also must be paid monthly.

Solid waste is collected weekly for residential users, and at least once a week for commercial users, with options for more pickups. The city collects garbage with two automated collection trucks (one commercial and one primarily residential with some commercial stops) and one backup truck. All trucks are equipped with on-board scales. Both trucks each have a one man crew. These trucks operated five days a week.

In 1993, the city purchased a wood chipper and started a compost pile. The compost pile consists of grass clippings, leaves, and some wood chips. Wood chips are used at the Waste Water Treatment Plant to create compost.

### Future Operations

The City of Livingston will continue the compost pile, and continue to operate the transfer station to serve both City and County residents. All options are still being looked at for handling County-wide solid waste which includes reduction of waste, recycling, and transfer station.

### Utilities

The City of Livingston provides water and sewer services inside and outside the city limits. Prior to receiving city water or sewer, owners must sign a waiver of annexation as the only requirement. It must be noted, however, that most of the water in the county area comes from private wells, and sewage is almost all septic.

### Water System

**Supply.** The present water supply for Livingston consists of six wells located throughout the city. These wells have an output ranging from 480 gpm, to 1,100 gpm.

**Distribution.** The city has had substantial work done to the larger distribution lines in the last five years. These lines can withstand significant population increases before they will need to be replaced. There are approximately 25 miles of smaller lines in Livingston (4-8 inches), 40 percent of which were installed around 1915. These smaller lines need to be replaced at an estimated cost of \$25 million.

Three reservoirs store all of the city's water. Total capacity of these reservoirs is 3,090,000 gallons. With the planned addition of a Pressure Relief Valve connecting the 1 million and 2 million gallon reservoirs, our current storage capacity should be adequate for several more years.

**Future Needs.** The City of Livingston has adequate water supplies for current projected needs however, it is important to note that the recently constructed water extension that serves the

hospital needs to be looped or a supply well needs to be added to the system on the south/east side of the river. Currently this extension is a dead-end and no redundant water source exists.

Sewer System

Existing Facilities. The Livingston sanitary sewer system consists of pipes of various sizes and materials that terminate at the Waste Water Treatment Plant, on the northeast side of Livingston.

The Waste Water Treatment Plant has reached the end of its designed lifespan. A new plant is being designed and on schedule to be built in 2017. This new treatment facility will be constructed to meet new DEQ regulations pertaining to discharge and the protection of the Yellowstone River.

Storm Water System

Existing Facilities. The storm water system in Livingston consists of four different areas:

1. The southeast side of town.
2. The southwest side of town.
3. The underpass.
4. The northeast side of town.

Future Needs. The Livingston storm water system will need the following improvements:

1. Replacing the storm water system on the southeast end of town.
2. The extension of a storm drain line at Yellowstone and Park Streets to extend under the tracks will help take some of the water from the underpass and bring it to a different location and will help some of the underpass storm water problems.

Fire Protection and Ambulance Services

Livingston Fire and Rescue (LFR) is a combination Fire and EMS transport agency that is led by the Fire Chief with 14 career Firefighter/Paramedics and 11 Reserve firefighters and EMT's. There are two members that work directly for the Fire Chief who perform predominately administrative duties and make up the command staff. They are the EMS Director and the Fire Inspector/Training Officer who each have a multitude of internal and external responsibilities. The EMS Director's primary responsibility is the management of all things EMS including training, billing, reporting, EMS supply requisitioning, budgetary concerns and acting as a liaison between Livingston Healthcare and the organization. The Fire Inspector/Training

Officer is responsible for fire training, fire reporting, fire/injury prevention to include code enforcement, and the management of the Reserve firefighter program.

There are four duty shifts labeled A, B, C and D comprised of a Captain and two firefighters who are responsible for day-to-day fire and emergency medical response, daily continuing education and company fire inspections. They work a rotating shift schedule of 24 hours on duty and 72 hours off and can choose to be available for emergency and non-emergency callback to the fire station on their off days. A portion of Livingston Fire and Rescue's call volume is derived from inter-facility transfers that are staffed voluntarily by both the career and reserve staff. The ability to recall members to the fire station to staff transfers and any additional emergency calls is integral to the success of the organization and service to the community. This illustrates the importance of a strong and well trained reserve corps to assist in the staffing of any additional calls for service.

Livingston Fire and Rescue has 4 ALS transport ambulances, a 75-foot quint aerial, a Type 1 engine, a DNRC type 5 brush truck and a Chevy suburban used as a technical rescue chase vehicle. The Fire Chief and each member of the command staff is also assigned a vehicle to be used for their daily duties and incident command responses. The City of Livingston currently has an Insurance Service Office (ISO) rating of 3 which has just been improved (2015) from a 4. The scale runs from 1 to 10 with a rating of a 1 being the best. Our community will be assessed every 3 to 5 years to assess any changes and re-evaluate the many areas assessed which include city wide water supply, dispatch capabilities and many areas of Livingston Fire and Rescue efficiency like staffing numbers, training, pumping capacity and the overall maintenance of the organization.

Fire and EMS responses outside of Livingston are dictated by mutual and automatic aid agreements with the outlying rural fire districts. There is an automatic aid agreement with Park County Rural Fire District #1 for fire responses where LFR responds to a pre-defined 5-mile "donut" surrounding the city. LFR is the primary transport agency to Park County North of Yankee Jim canyon on Highway 89 South stretching to both county lines to the East, West and to Meagher County in the North. The ambulance service functions as a fee-for-service operation generating revenue that directly pays the salaries of 6½ staff members and assists with capital purchases.

### Law Enforcement

Law Enforcement in the City of Livingston and surrounding area is enforced by three agencies: the Livingston Police Department (LPD), the Park County Sheriff's Office (PCSO) and the Montana Highway Patrol (MHP).

Law enforcement, including routine patrolling and responding to calls, within the City of Livingston boundaries is the responsibility of the Livingston Police Department. The LPD has



14 full-time sworn law enforcement personnel, which includes the Chief of Police, the Assistant Chief of Police and 12 Officers.

The Park County Sheriff's Office is primarily responsible for the law enforcement, routine patrolling and responding to calls outside of the City of Livingston but with Park County. The PCSO has jurisdiction within all of Park County, including the City of Livingston. The PCSO consists of 16 full-time sworn law enforcement personnel, including the Sheriff, Under-Sheriff and 14 Deputies

The Montana Highway Patrol has jurisdiction in the entire State of Montana, including both Park County and the City of Livingston. The primary responsibility of the MHP is the highway system throughout Park County. The MHP has 4 troopers located within Park County.

Both the LPD and PCSO are located and work out the City-County Complex in Livingston. Park County is required to provide all correctional detentions (i.e. jail/ detention facilities). The City of Livingston provides all the dispatchers, but the county reimburses a percentage of the operating costs for the 911 Communications Department.

### Medical

Our primary hospital is Livingston Healthcare Hospital. This is a new facility located within the City limits and incorporates the Livingston Clinic and provides a 24/7 staffed emergency department. Livingston Healthcare provides surgical services and is a critical access trauma center. Patients requiring advanced care not available at LHC are transferred to larger facilities by ground or air ambulance.

### Road Network

Interstate 90 provides a major east-west transportation route in the city-county area. U.S. Highway 89 intersects I-90 in Livingston, and provides a quality transportation route from north to south.

The City of Livingston is split by the railroad with only three crossings located within the city limits. Another rail crossing is needed and is being pursued. The City is pursuing a Federal TIGER Grant to for an underpass which would tie West Front Street to Highway 10 at Star Road.

### Recreation

The City's Recreation Department provides area residents the opportunity to participate in a variety of educational and recreational activities. Available activities have included organized sports such as Youth Basketball, Adult Basketball, Adult Volleyball, Youth Soccer, Pickleball, Floor Hockey and various martial arts. Also provided are seasonal activities such as fly fishing camp, open gym, skate night, summer enrichment programs, garden club, art in the park and various flea markets. The Recreation Department has also provided enrichment arts activities such as beginner painting, drawing, holiday gift making and other arts and crafts. The Recreation facility is also a venue for parties, weddings and other large community events and provides a large, safe indoor space for walking and parent and tot play time. This department also organizes and oversees community events such as Summerfest and provides support for the weekly Farmers Market during the summer. The department has completed and implemented an interactive plan to provide consistent year round programming for all members of the community.

## **CHAPTER 5 NATURAL RESOURCES**

### Soils

The soils within the Livingston vicinity range from thin, high mountain soils, to deep alluvial soils along the Yellowstone River. Bordering the river valley are gently sloping high stream terraces and alluvial fans.

A soil survey of the area was published in 1975. Fifteen soils series and 31 mapping units were identified in the immediate area. The soils are rated for suitability for farming, irrigation, roads, streets, septic systems, and dwellings.

Several types of soils may exist within a mapping area. Therefore, site specific uses such as subdivisions, dwellings, septic systems, etc., may require on-site inspection to determine the

capability class of a particular soil. Detailed Soils information is available at the local Soil Conservation Service Office, U.S. Highway 89 South, Livingston, MT 59047.

### Climate

The City has a cool semi-arid climate. The mean annual temperature is 45.8 degrees Fahrenheit with a mean January temperature of 25.7 degrees Fahrenheit, and a mean July temperature of 66.3 degrees Fahrenheit. The area receives about 14 inches of precipitation annually with May and June averaging 2.5 inches. The region experiences high winds, especially in the winter months, and has a high evapo-transpiration rate. The growing season ranges from 90 to 110 days.

### Groundwater

The city is situated in the Yellowstone River valley, and is underlain by unconsolidated alluvial silt, clay, sand, and gravel deposited by the river. The alluvial material is between 25 and 65 feet thick, and represents the most economical and readily available source of groundwater for the area's water supply. All existing, and probably all future, municipal and private wells in the planning area will tap this shallow alluvial aquifer.

Groundwater flow direction is generally toward the east through the central part of the town. The flow direction shifts slightly to the southeast in the western part of the planning area.

The alluvial aquifer has the potential to yield large quantities of groundwater (it is estimated that each 1,000 lineal feet of valley contains approximately 300 million gallons of water); many of its characteristics make it susceptible to ground water contamination. The aquifer is shallow – between two (2) and twenty-five (25) feet – and relatively thin. Contaminants released on the ground surface are likely to reach the water table and affect a large percentage of the aquifer. It has been estimated that the groundwater flow under the planning area moves as much as twelve feet a day.

North of Livingston, the groundwater is limited and insufficient for irrigation purposes. There is, however, sufficient groundwater for private wells.

Groundwater underlying part of the southeast side of Livingston is contaminated with low concentrations of chlorinated ethane compounds. The contamination is the result of past industrial operations at the Burlington-Northern rail yard facility. Improper disposal practices and leakage from old wastewater drainage lines have allowed solvents to leach through soils at the rail yard and into the groundwater. The eastward flow of groundwater resulted in the migration of a plume of contaminated water extending to the Yellowstone River. Water samples from the river have shown no detectable concentrations of these contaminants.

Another major contaminate is an area of subsurface soils residually saturated with diesel fuel. An estimated 300,000 to 500,000 gallons of diesel fuel was spilled at the site and is now floating

on top of the water table beneath the railroad shops area. The plume is relatively stagnant, but is a contributor to solvents in the groundwater.

### Surface Water/Drainage

The Livingston area is dominated by the Yellowstone River. The Yellowstone River originates in Wyoming, where it flows north through Yellowstone National Park and the Paradise Valley until reaching Livingston, where it makes a sharp turn to the east. Streams and groundwater in the area generally flow from the northwest to the southeast toward the river.

Billman Creek and Fleshman Creek are the only two major tributaries to the Yellowstone in the planning area. Water quality is generally excellent, although increased development along stream banks could have a long-term negative effect on water quality.

The Yellowstone is one of the premier blue ribbon trout streams in the United States. Protection of this resource has been a top concern throughout the area.

### Floodplain/Floodway

The floodplain can be defined as the areas adjoining a stream that would be covered by floodwater. A floodway can be defined as the channel of a stream and the adjacent over bank areas that must be reserved in order to discharge a base flood without cumulatively increasing the water surface elevation more than one-half (1/2) foot.

The limits of the 100-year floodplain within the city-county planning area are shown on the FEMA Flood Insurance Rate Map (FIRM) Map developed to determine flood elevations within the city limits. Local government monitors floodplain development pursuant to regulations adopted from Title 76, Chapter 5 MCA.

In 2011 new FIRM maps for the City were issued by FEMA. These new maps show that much of the southeast part of the City, which was formerly considered to be within the 100-year floodplain, is in fact not in that regulated zone. This has, in effect, lessened the burden on owners of existing homes and rendered some vacant properties buildable.

### Air Quality

Air quality within the planning area is generally excellent. Livingston and the surrounding area experience strong prevailing winds, which in turn help protect air quality.

### Wildlife

Despite the development, the fringes of the city are still home to the plentiful wildlife for which southwest Montana is renowned. Game animals are surprisingly abundant around Livingston.

White-tailed deer are common along river and creek bottoms, and Mule deer are easily found in the fields and slopes. Even elk and antelope can be found occasionally in areas adjacent to the city. Pheasant and various species of waterfowl are always a possibility in the wetlands.

Non-game animals are even more plentiful than game animals. Fox, raccoon, badgers, coyotes, rabbits, and many other species may be seen throughout the area. Numerous species of birds also call the area home at least part of the year, including raptors such as Bald Eagles, hawks, and owls.

Finally, the pools and riffles of the Yellowstone River are home to a large population of native Cutthroat trout. These fish are a species of special concern in Montana, and are especially important to this area. The Yellowstone also contains populations of Rainbow trout, Brown trout, and Mountain Whitefish, making it one of the premier blue-ribbon trout streams in the nation.

**CHAPTER 6  
IMPLEMENTATION**

The Growth Policy is an advisory document designed to assist the city commission in making land use decisions in the area. Local Government will continue to use the three primary methods to implement this plan: zoning ordinances, capital improvement plans, and subdivision regulations. It is important to realize however, that other policy decisions will also effect how the City develops over time.

The previous chapters of this document seem to indicate that the City of Livingston is beginning to emerge from the economic slowdown that accompanied the last nationwide housing crisis. This should lead to increased development activity and a more robust economic environment. As this trend continues it is important that the City put itself in a position to both accommodate new growth and insure that it is carried out in a way that is compatible with our existing

community. To this end, the City has updated and improved its primary land-use regulations, its zoning and subdivision regulations, as well as its annexation policy. The City has also implemented development impact fees as a means to help fund the City’s expanding infrastructure. The City should seek to keep all of these regulations and tools up to date and relevant moving forward.

Zoning Recommendations

The City should pursue the idea of providing more area for high density residential zoning. This might include re-zoning, by private application or by the City’s own initiative, vacant property already in the City.

The City should continue to promote the utilization of available, underdeveloped lots in, or bordering the city, to increase density and reduce infrastructure and public facilities costs.

Subdivision Recommendations

The City should amend its subdivision regulations to ensure that all future park land dedications are of a size and quality that makes them truly valuable and useful as public space. These changes should emphasize desired grade of the land, public accessibility and location as well as how cash-in-lieu value is determined.

Capital Improvement Recommendations

The City should strive to maintain its current infrastructure replacement plan. Keys to this include continued use of street and light maintenance districts and the continued use of development impact fees.

The City should continue to take advantage of opportunities to expand its service capability, especially where private funding is used to extend the City’s utility systems.

The City should evaluate its annexation opportunities in relation to existing neighborhoods that are just beyond the City’s boarder yet receive significant benefit from the City.

Growth Policy Revision and Review

The Growth Policy for the City of Livingston is to be reviewed at least every five (5) years. However, should the economic conditions change substantially, or the growth trends reverse, the growth policy should be amended immediately to reflect these new conditions.

### Intergovernmental Cooperation

The City of Livingston intends to maintain a high level of cooperation with Park County. The City will be open and forthcoming as to its goals and vision of the future as well as how it intends to reach those goals. It is the intention of the City of Livingston to abide by a commonly established Interlocal Agreement for the benefit of all Park County residents.

This Interlocal Agreement will address the fringe areas outside of the City limits where the City and County Growth Policies may potentially overlap.

In particular, the Interlocal Agreement specifically requires Park County to submit to the City, for review and comment, all development proposals located within a two-mile radius of the City Limits. The Agreement also requires Park County to recognize the City's infrastructure and annexation plans by requiring City standards to be met by any subdivision or development located in our designated annexation areas. For the City's part, the City consents, under this Agreement, to pursue timely annexation of all eligible parcels and to keep the County informed as to any changes in annexation areas or infrastructure plans. Following is the text of the approved Intergovernmental Agreement:

## **INTER-GOVERNMENTAL AGREEMENT**

### Section 1: Policy Statements.

1.0 Both Park County and the City of Livingston recognize that it is in the public interest, generally, for urban development to occur in or near existing urban service areas.

1.01 Both the City of Livingston and Park County will continue to abide by the policy direction found in the Livingston Area Comprehensive Plan, in those geographical areas over which that plan originally had jurisdiction, until such time as each respective entity has adopted a compliant Growth Policy.

1.02 Current legislation requires that local Growth Policies address intergovernmental cooperation. Both the City of Livingston and Park County recognize the intent of this legislation and enter into this agreement in furtherance of intergovernmental cooperation in land use planning. This Interlocal Agreement will be referenced in both the City and County Growth Policies.

- 1.1 Both Park County and the City of Livingston realize that the existence of a current Growth Policy, which complies with the most recent Montana Statutes, is essential in carrying out any level of land use planning. It is therefore the policy of both the City and the County that the adoption of a compliant Growth Policy for their respective jurisdictions has, and will maintain, the highest priority.

**Section 2: Agreement**

- 2.0 Park County agrees as follows:

- A. The County will reflect the City’s infrastructure and annexation plans in the Park County Growth Policy.
  
- B. The County will submit to the City, for review and comment, all development proposals within two (2) miles of the City limits at least twenty (20) days prior to formal review by the County. For the purposes of this agreement, development refers to any subdivision or site development with the exception of single-family homes on existing lots, accessory buildings on existing lots or agricultural buildings on existing lots.
  
- C. In the mapped areas identified by the City as potential annexation areas (attached), the County will require developments to be master planned for future incorporation into the City. Street rights-of-way, utility easements, SID waivers and other requirement will comply with the City standards found in the City Subdivision Regulations. In addition, lot and block layout will take into consideration the potential for future re-subdivision in order that densities can be increased upon annexation. Also, a mechanism will be initiated by which the County will require private roadways to be dedicated to the public upon annexation. It is understood that the City will update these annexation maps, periodically, as property is incorporated into the City.

- 2.1 The City of Livingston agrees as follows:

- A. The City will actively pursue annexation of all eligible properties that can be provided with City services.
- B. The City will annex, prior to development, any properties located within five-hundred (500) feet of the City’s water or sewer systems.
- C. The City will continually update the County with regard to any changes in annexation areas or infrastructure planning.



The City plans to work with Park County to update this agreement in the near future. It is hoped that the City and County Planning Boards will meet and review the agreement and propose any necessary modifications. Any changes that result will be amended to this document.

**CHAPTER 7  
GROWTH POLICY AMENDMENT PROCEDURES**

The Livingston Growth Policy may be amended whenever public interest and/or general welfare requires such amendment. The amendment process will proceed according to one, or both of the following:

- 1. Upon the petition of one or more landowners of property affected by the proposed amendment, which petition shall be signed by same landowners(s) and filed with the City Planning Office and accompanied by a fee of \$500.00 payable to the City, no part of which shall be returnable to the petitioner and is in addition to any other administrative fees required by city zoning or subdivision regulations or,
- 2. Upon resolution initiated by the Livingston City Planning Board.

Notice of Public Hearing: When a plan amendment is filed, a public hearing thereon shall be held within sixty (60) calendar days after the filing of the application. At least fifteen (15) days before the hearing, the Planning Office shall publish a Notice of Public Hearing in the newspaper of general circulation in the City of Livingston.

Decision: After completion of the public hearing, the City Commission shall make its decision in writing, including findings of fact.

## APPENDIX 1.

**Backup material for agenda item:**

- B. RESOLUTION NO. 4749 - A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, ACCEPTING THE SEWER AND WATER EXTENSIONS FOR BROOKSTONE SUBDIVISION.

**RESOLUTION NO. 4749**

**A RESOLUTION OF THE CITY COMMISSION OF THE CITY OF LIVINGSTON, MONTANA, ACCEPTING THE SEWER AND WATER EXTENSIONS FOR BROOKSTONE SUBDIVISION.**

**WHEREAS**, in connection with development and construction of homes in the Brookstone Subdivision in Livingston, Montana, located in the NW ¼ of section 7, T2S, R10E, located to the west of the intersection of Miles Avenue and Maple Street;

**WHEREAS**, the new water and sewer utility lines are connected to the City of Livingston’s existing water and sewer systems and are waiting for the City’s acceptance;

**WHEREAS**, the Code of Ordinances, City of Livingston, Montana provides that the City of Livingston’s water and sewer systems can be extended;

**WHEREAS**, the City of Livingston and property owners identified as Brookstone Developing, LLC, entered into an agreement whereby the property owner paid for the engineering and construction of the water and sewer extensions from the end of the city mains to the individual properties located in the Brookstone Subdivision; and

**WHEREAS**, the property owners and their engineer, and Public Works Director Shannon Holmes, on behalf of the City of Livingston, have both requested that the City of Livingston accept the aforementioned water and sewer into the City’s system;

**NOW, THEREFORE, BE IT RESOLVED**, by the City Commission of the City of Livingston, Montana, as follows:

That the water and sewer main extensions in the Brookstone Subdivision, are hereby accepted into the City of Livingston’s water and sewer utility system.

**PASSED AND ADOPTED** by the City Commission of the City of Livingston, this \_\_\_\_\_ day of August, 2017.

\_\_\_\_\_  
**JAMES BENNETT - Chairman**

**ATTEST:**

**APPROVED AS TO FORM:**

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**LISA HARRELD**  
Recording Secretary

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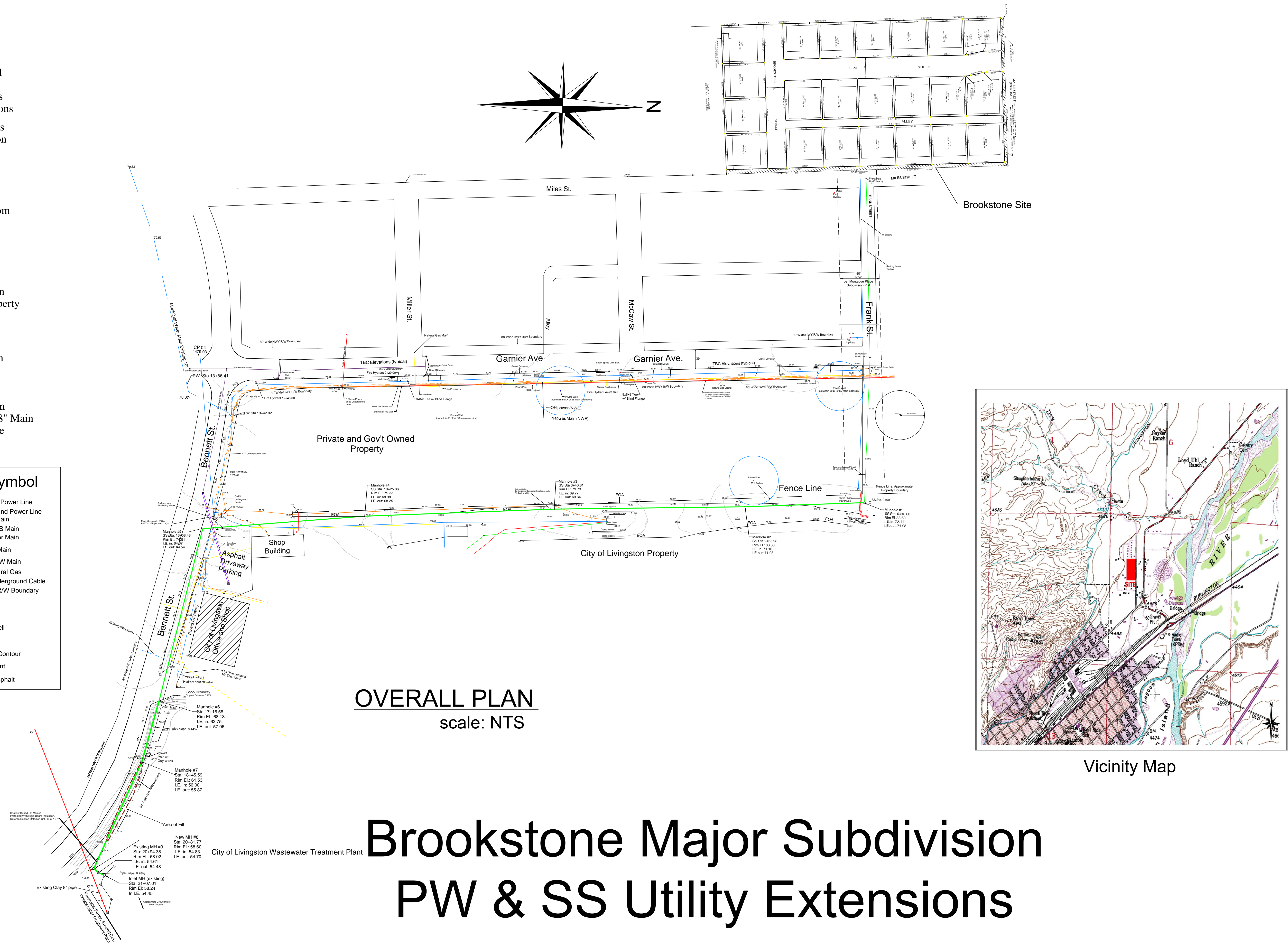
**JAY PORTEEN**  
City Attorney

Sheet Index  
Sheet # Sheet Title

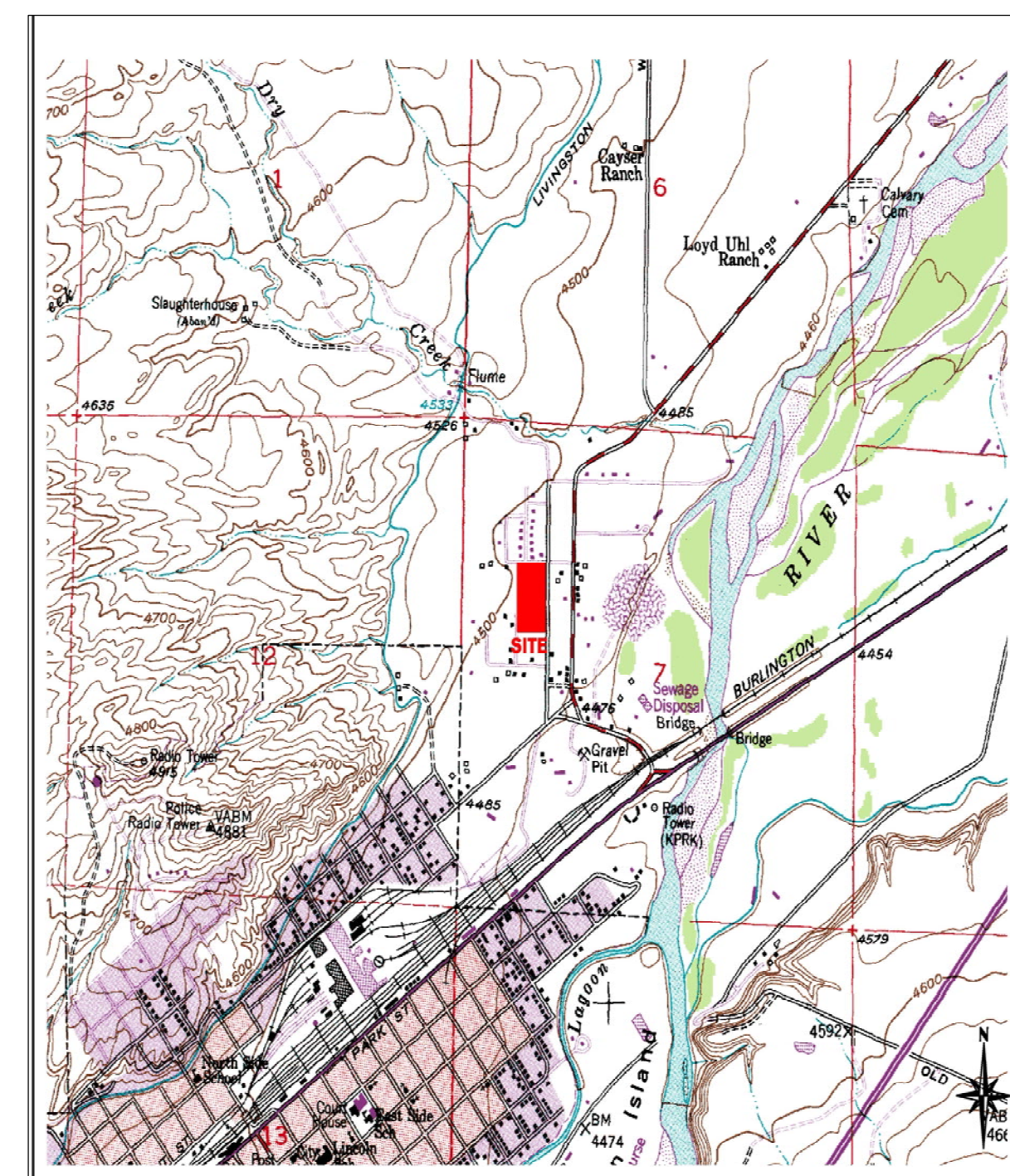
- 1 Overall Plan
- 2 Specifications and Project Notes
- 3 Installation Details  
PW Main Extensions
- 4 Installation Details  
SS Main Extension
- 5 PW & SS Mains  
Existing on  
Frank Street
- 6 PW Extension  
Down Garnier From  
Frank Street
- 7 PW Extension  
Garnier Ave.  
to Bennett St.
- 8 SS Main Extension  
Through City Property  
from Frank St. to  
Bennett St.
- 9 SS Main Extension  
Bennett St.
- 10 SS Main Extension  
Replace Existing 8" Main  
Into WWTP Intake

Legend/Symbol

- Overhead Power Line
- Underground Power Line
- New SS Main
- Existing SS Main
- Stormwater Main
- New PW Main
- Existing PW Main
- NWE Natural Gas
- CATV Underground Cable
- Highway R/W Boundary
- Manhole
- PW Valve
- Private Well
- Fence
- Elevation Contour
- Fire Hydrant
- EOA Edge of Asphalt



**OVERALL PLAN**  
scale: NTS



Vicinity Map

# Brookstone Major Subdivision PW & SS Utility Extensions

## OCTAGON

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**Project:**  
Brookstone Major  
Subdivision Municipal  
Extension PW Main &  
SS Main Within the  
City of Livingston, MT

**Project Owner:**  
Brookstone Developing  
LLC

**Drawn by:**  
CAS

**Drawing Status:**  
Certified As-Built  
7/22/17

**Design Engineer:**  
William E. Smith, P.E.

**Certification:**

**Sheet Title:**  
Overall Plan

**Sheet Number:**  
1/10

continues on Sheet 6/10 →

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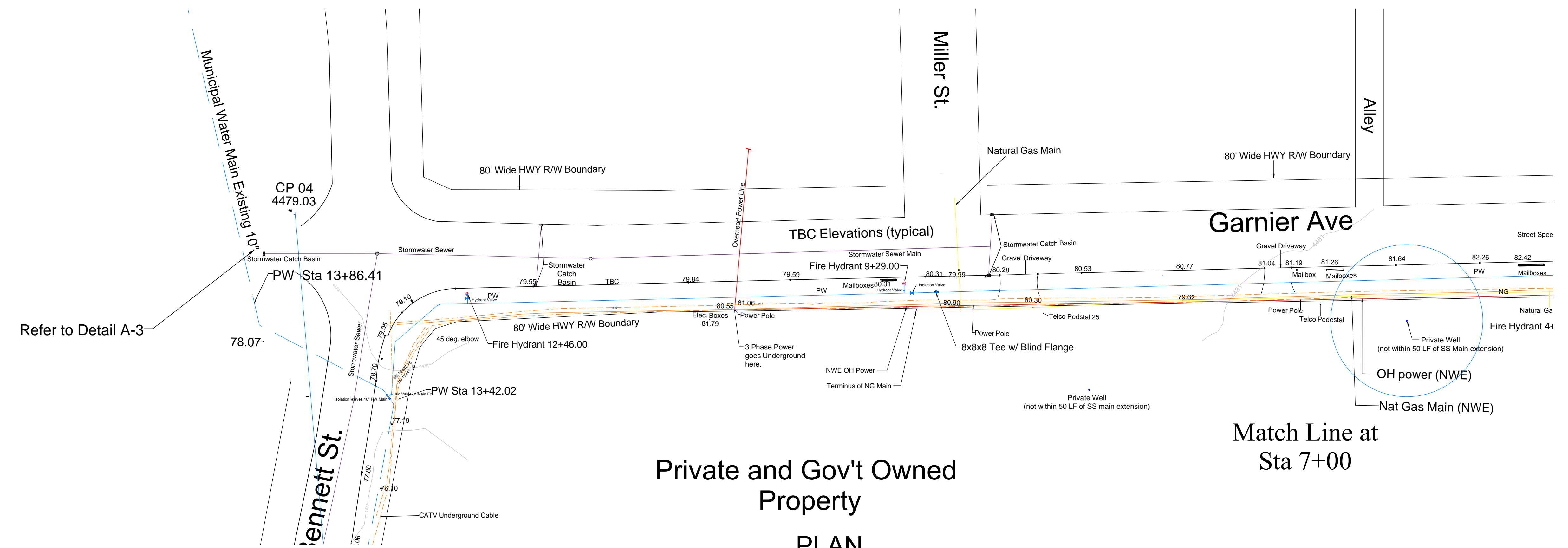
Drawing Status:  
 Certified As-Built  
 7/22/17

Design Engineer:  
 William E. Smith, P.E.

Certification:

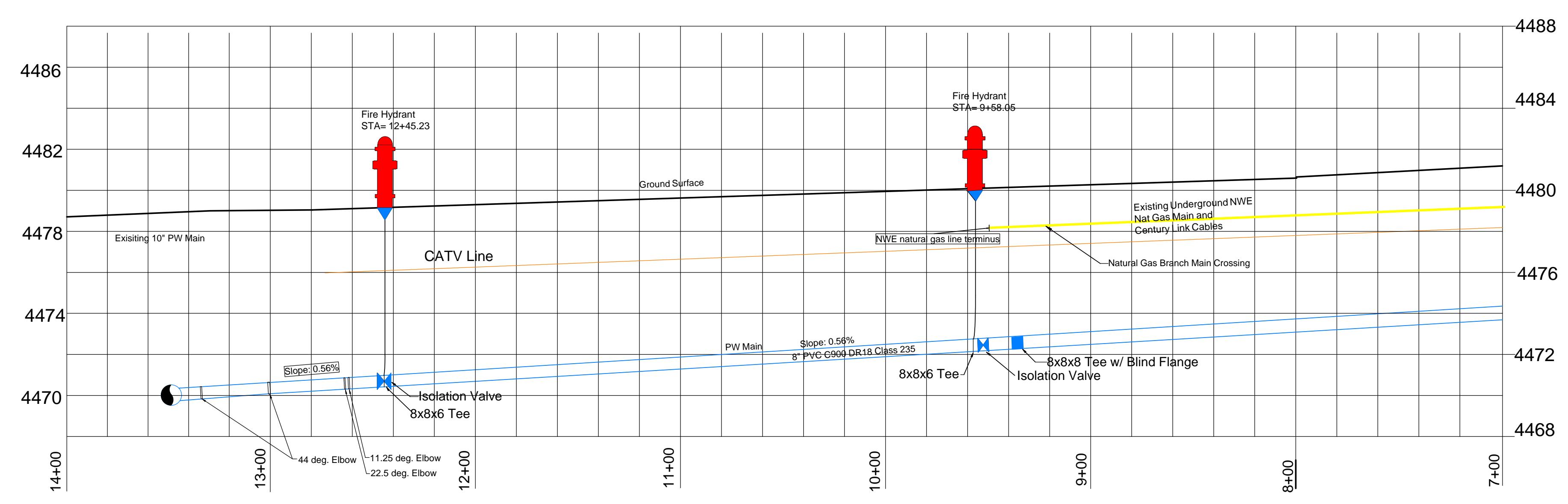
Sheet Title:  
 PW Main Extension  
 Down Garnier Ave  
 to Existing PW  
 Connection Plan  
 and Profile

Sheet Number:  
 7/10



**Private and Gov't Owned  
 Property**  
**PLAN**  
 scale: 1"=40'

Note: Portions of gravel driveways and established lawn disturbed and removed in the installation of PW main extension were replaced and repaired to original condition.



**PROFILE**  
 Scale: V: 1"=4'  
 H: 1"=40'

**Brookstone Major Subdivision  
Extension of Potable Water and Sanitary Sewer Mains  
to Connect into Existing  
City of Livingston Municipal Infrastructure  
Specification Notes**

Design and construction of this project shall be performed in accordance with all applicable requirements set forth in the following documents:

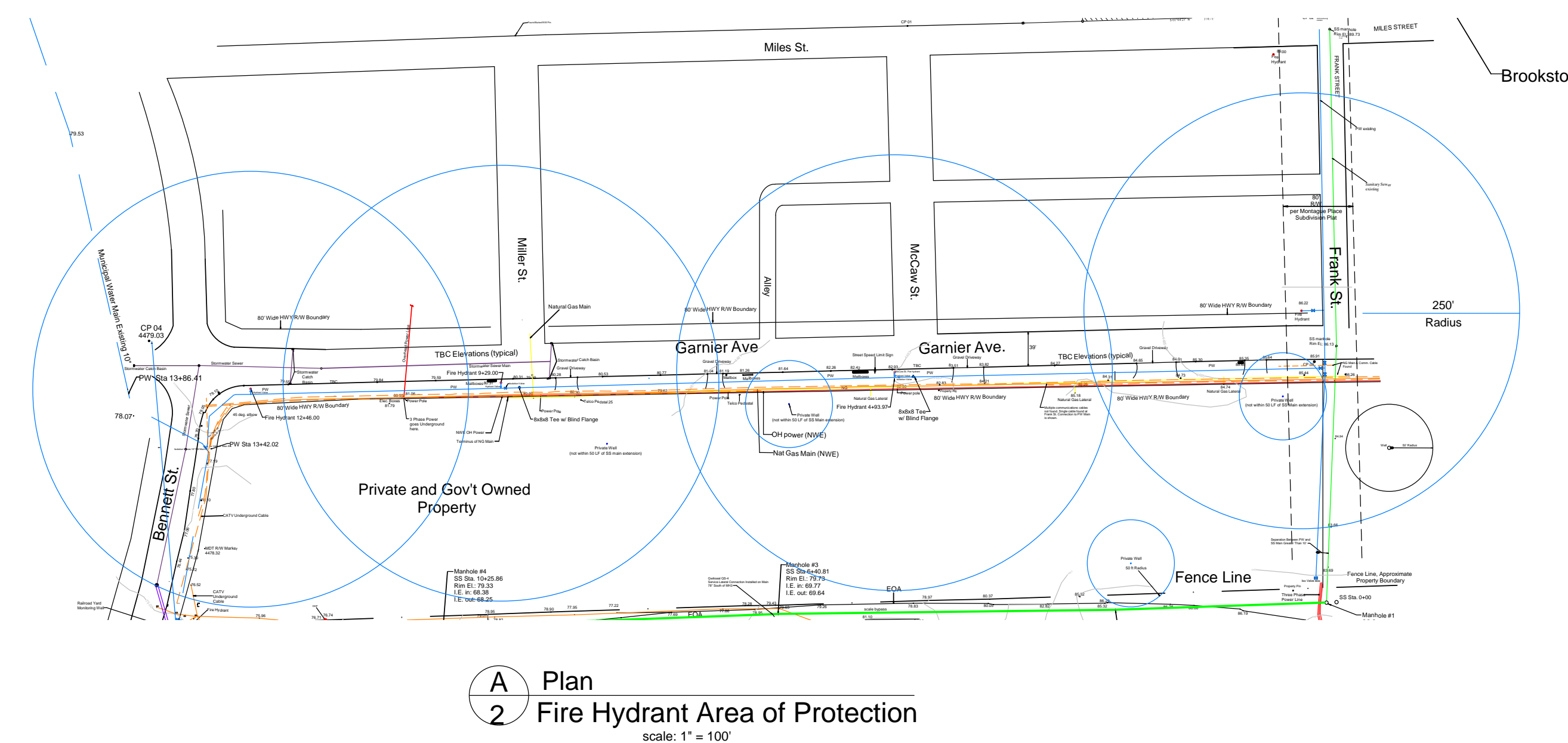
- ◆ Montana Public Works Standard Specifications, Sixth Edition 2010 (MPWSS);
- ◆ The City of Livingston Modifications to the MPWSS, first edition approved May 2014, including sections and standard drawings which amend, delete, replace and add selected sections of the MPWSS (Col. Modifications);
- ◆ Circular DEQ 1, Standards for Water Works, August 8, 2014; and
- ◆ Circular DEQ 2, Design Standards for Public Sewage Systems, Final June 2016.

In addition, construction of the utility main extensions shall be in accordance with these drawings and project specific specifications.

**Specification Notes:**

1. Properties occupied by the PW and SS utility main extensions are beyond the 100 flood plain of the Yellowstone River, as shown on the map entitled "City of Livingston, FIRM July 27, 2011, FEMA Approved".
2. Survey vertical datum for this project is the GPS ellipsoid geodetic vertical 1984 datum used in the original design and construction of the Brookstone subdivision site.
3. The Montague Place subdivision plat of record and on file with the Park County Clerk and Recorder shows the Frank Street R/W as 80 ft wide. The center of the R/W is established by iron pipes set on the west edge of the Miles St R/W and in the center of the Garnier Ave and Frank St intersection. The iron pipe on the west boundary of Miles St, which is the east boundary of the Brookstone Subdivision, was located in our survey as CP 2. CP 1 is the iron pipe found 464.5 ft to the south in the center of the McCaw St R/W on the west boundary of Miles St R/W. CP 2 was used to plot the boundaries of the Frank St R/W.
4. The locations of underground utilities within the R/W along the east side of Garnier Ave and the north side of Bennett Street between Frank Street and the west driveway into City property as identified in the survey and shown in these drawings were marked and flagged on the ground pursuant to the One Call Locate Service ticket # 16025604.  
The locations of underground utilities within the designated corridor on City of Livingston property in Section 7, Township 2 south, Range 10 east being approximately 60 ft wide along the property's west boundary between the Frank Street R/W on the north and Bennett Street R/W on the south as identified in the survey and shown in these drawings were marked and flagged on the ground pursuant to the One Call Locate Service ticket # 16068267.  
The City's municipal PW main and supply lateral to the fire hydrant set inside

13. Use care in excavating pipe trench towards each fire hydrant install point to minimize undermining of existing curb and gutter. Curb / gutter and asphalt damaged as a result of the work must be repaired or replaced at the Contractor's expense.
14. Testing Sanitary Sewer Mains:  
TV inspection of installed SS mains is required in accordance with Col. Modifications to MPWSS Section 02730, 3.4, G.1.  
Water (Hydrostatic) test shall be performed on all installed SS main and manholes. The presence and depth to shallow groundwater levels present in the area at the time of testing must be verified in accordance with Col. Modifications to MPWSS, Section 02730, 3.4, D.1. Leakage exfiltration or infiltration shall not exceed 200 gallons per inch of pipe diameter per mile per day for any section of the system in accordance with Circular DEQ 2, Section 33.92.  
Air test method may be used in accordance with MPWSS and Col. Modifications.
15. Testing of Water Mains:  
Hydrostatic and leakage testing, disinfecting and bacteriological tests shall be performed in accordance with MPWSS Section 02660, 3.4, A, B, C and D and Col. Modifications to this section.
16. All surfaces disturbed by the execution of this work shall be returned to ground contours existing before the work commenced, except for a distance along Bennett St adjacent to the City's wastewater treatment plant (WWTP) where soil fill must be added to meet minimum cover requirement of Circular DEQ 2.
17. Use trench backfill materials and compaction requirements defined in MPWSS Section 02221 Part 3.6, C. Use Type A trench backfill in Frank Street, in the corridor through City of Livingston property, and in all driveways along Garnier Ave. Restore Frank Street with crushed gravel road mix surface and City property with asphalt to match surrounding pavement. Use Type B trench backfill within the Garnier Ave R/W except under driveways, as specified above. Stable ground surface should be restored to finish grade.
18. The provisions of manufacturer's recommended installation procedures should be followed during execution of the work on these utility main extensions.
19. Curbs must be painted red for a distance of 15 ft each side of fire hydrants to restrict parking in the marked area.
20. The perimeter fence around the City's wastewater treatment plant (WWTP) must remain intact and secured at all times when work on the SS main along Bennett St is not in progress. The Contractor may remove portions of the fence which obstruct construction activity or may be subject to damage provided the fence is adequately secured at the end of each work day to restrict unauthorized access onto the WWTP property. Any damage to the fence must be repaired to as good or better than condition in which it was found prior to the City's acceptance of the project.
21. Ground surface disturbed by this project in areas where grass was found or would be expected to grow shall be reseeded.



- the fence east of the shop building north of Bennett Street were located by survey.  
The alignment and slope of the existing 8-inch SS main approaching the WWTP from the southwest was determined by survey.
5. The locations of underground utility installations that reasonably may be expected to be encountered during excavation work, shall be identified by the Contractor prior to the start of work.
  6. The contractor is responsible to conduct exploratory excavations to expose existing underground utilities where these utilities must be crossed or may be at risk in accordance with MPWSS Section 02221 Part 3.1, E.
  7. Contractor is responsible for creating and implementing a traffic control plan for this project. Plan must be approved by the City of Livingston Public Works Department prior to implementation.
  8. The Contractor must, during the execution of this work, use extreme caution to avoid conflict or contact with, or damage to overhead power lines in accordance with MPWSS Section 02221, Part 3.1, D.1.
  9. The public R/W boundary along the east side of Garnier Avenue is marked by property survey pins found east of the line of NWE overhead power poles which lies parallel to the R/W. The route of the NWE natural gas main lies on the west side of these poles. Century Link communications cables also run to the west side of the overhead poles. The setback distance from the back of concrete curb remains approximately 19.0 ft over a distance of 800 ft to the south where the natural gas main crosses behind the line of power poles. NWE requires a minimum setback distance of 6 ft between the excavated trench and their installed utilities.  
Therefore, the construction corridor between Frank Street and Bennett Street is defined by the back of the concrete curb / gutter along the west edge (east side of the highway) and the existing NWE underground natural gas main, buried Century Link communication cables or overhead power poles along the east edge. Refer to Detail A/6 "Section Through Garnier Construction Corridor" on drawing sheet 6 of 10.
  10. Conduct excavation and backfilling of trenches and bedding of utility mains in accordance with MPWSS Section 2221, MPWSS Standard Drawings No. 02221-1 and 02221-2, and City of Livingston Approved Modifications to these section and standard drawings. In the area of the Wastewater Treatment Plant, known to be subject to seasonal high groundwater, place Type 1 pipe bedding which is free-draining and non-plastic.
  11. The Wastewater Treatment Plant is within the groundwater remediation area created by the BNSF Railroad plume of toxic chemicals. The presence of contaminated soil above the groundwater level due to this plume is not anticipated. In the event that soil is encountered during excavation which is suspicious in quality, appearance, odor, etc., immediately alert the Project Engineer. He will determine the correct response and contact the proper authorities.
  12. Use approved trench box or shoring to conform to OSHA Regulations and Construction Standards for Excavations.

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**Project:**  
Brookstone Major  
Subdivision Municipal  
Extension PW Main &  
SS Main Within the  
City of Livingston, MT

**Project Owner:**  
Brookstone Developing,  
LLC

**Drawn by:**  
CAS

**Drawing Status:**  
Certified As-Built  
7/22/17

**Design Engineer:**  
William E. Smith, P.E.

**Certification:**

**Sheet Title:**  
Notes  
and  
Specifications

**Sheet Number:**  
2/10



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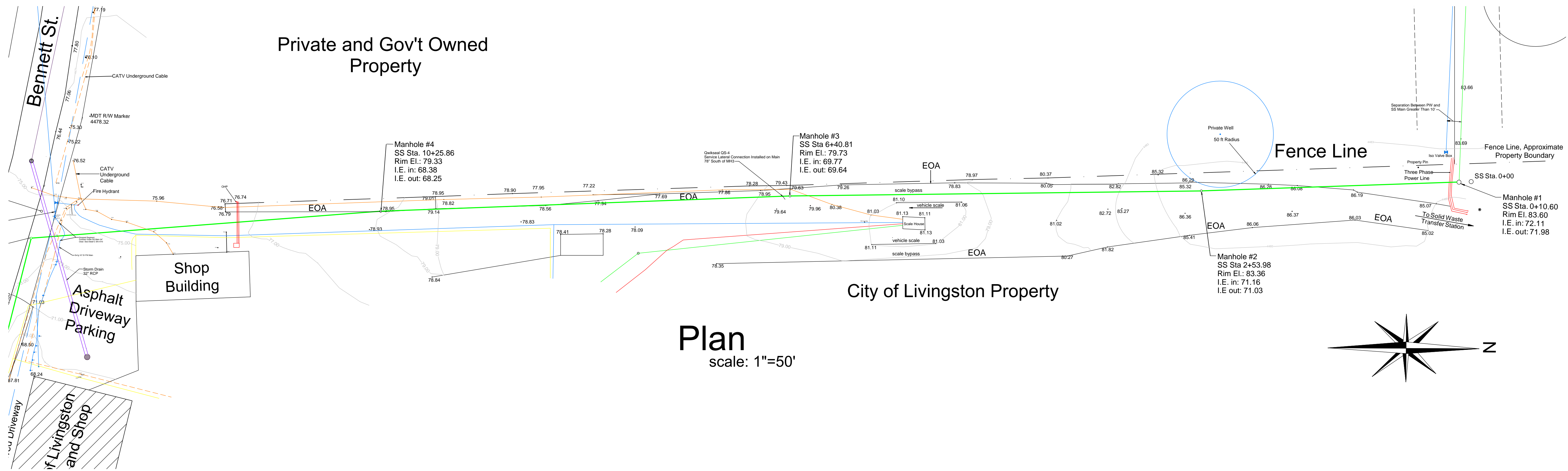
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**Design Engineer:**  
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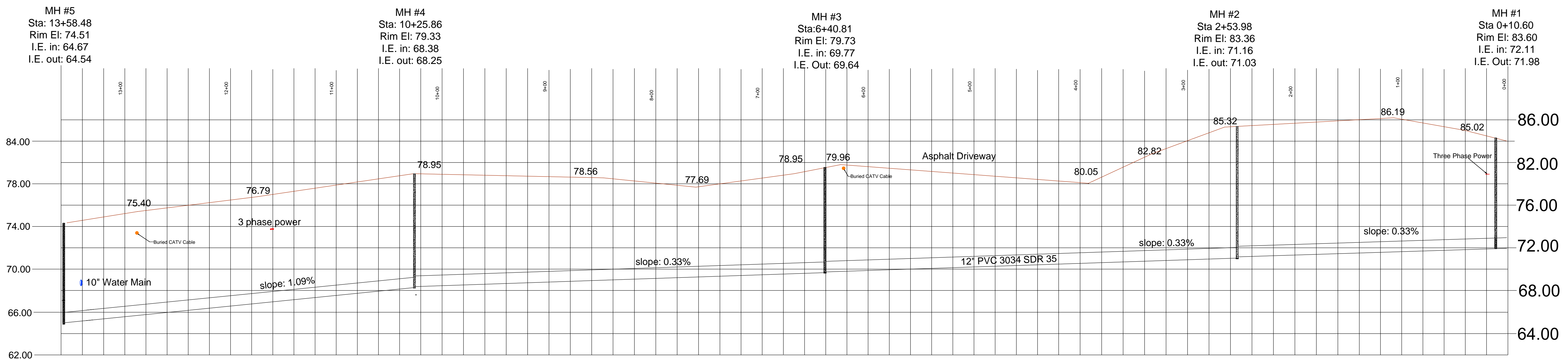
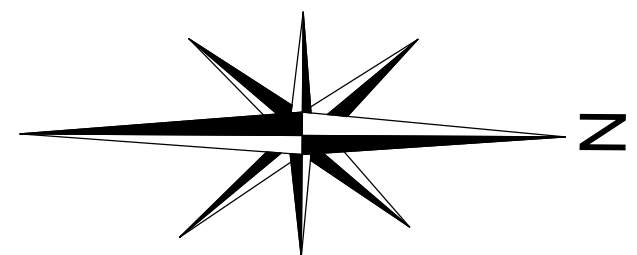
**Certification:**

**Sheet Title:**  
SS Main Extension  
through City Property  
from Frank Street  
to Bennett Street  
Plan and Profile

**Sheet Number:**  
8/10



**Plan**  
scale: 1"=50'



**Profile**  
scale: V: 1"=5'  
H: 1"=50'

Note: Verify existing elevation of 10" main  
prior to construction.

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Certification:

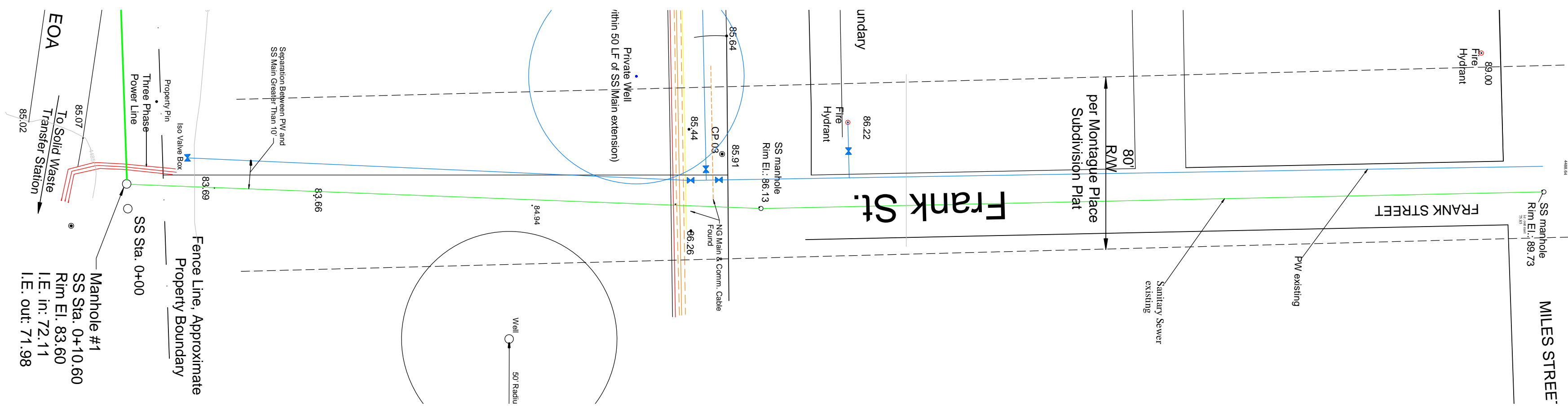
Sheet Title:

PW and SS Mains  
 Existing on  
 Frank Street

Sheet Number:  
 5/10

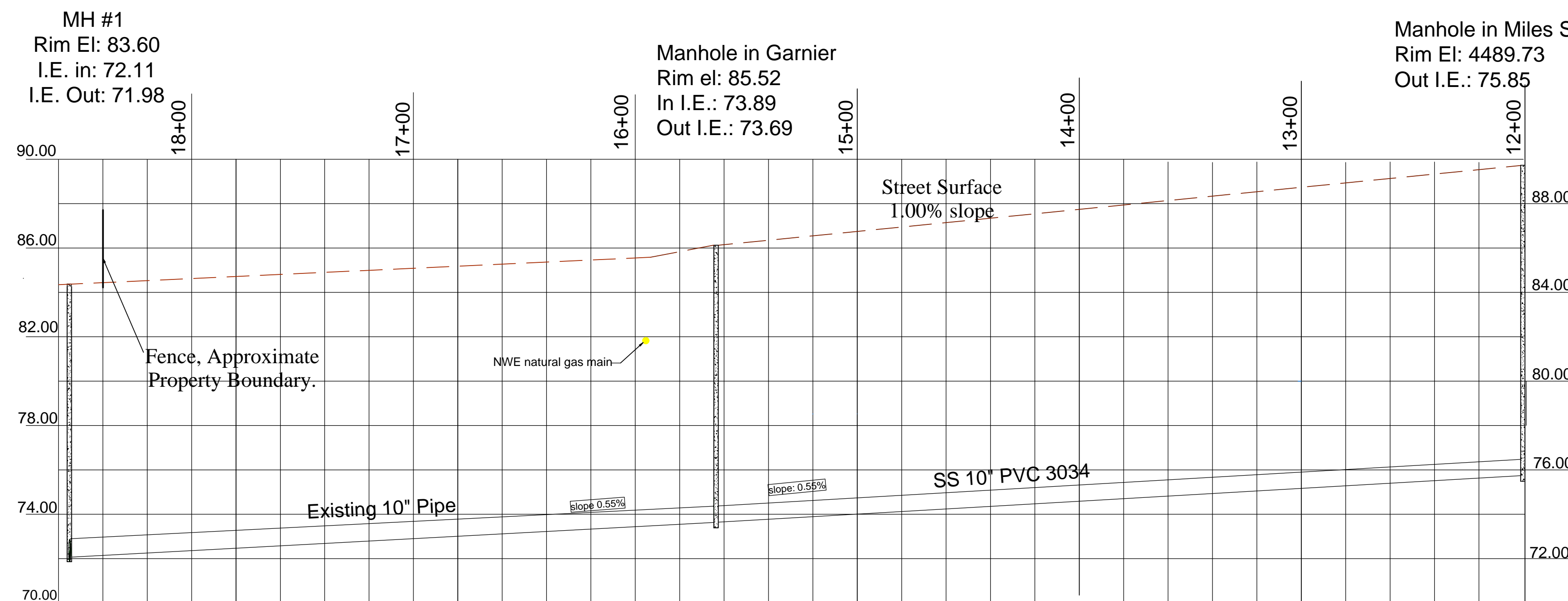
## Plan View

Scale:  
 1"=40'



## SS Main Profile (existing)

Scale:  
 V: 1"=4'  
 H: 1"=40'



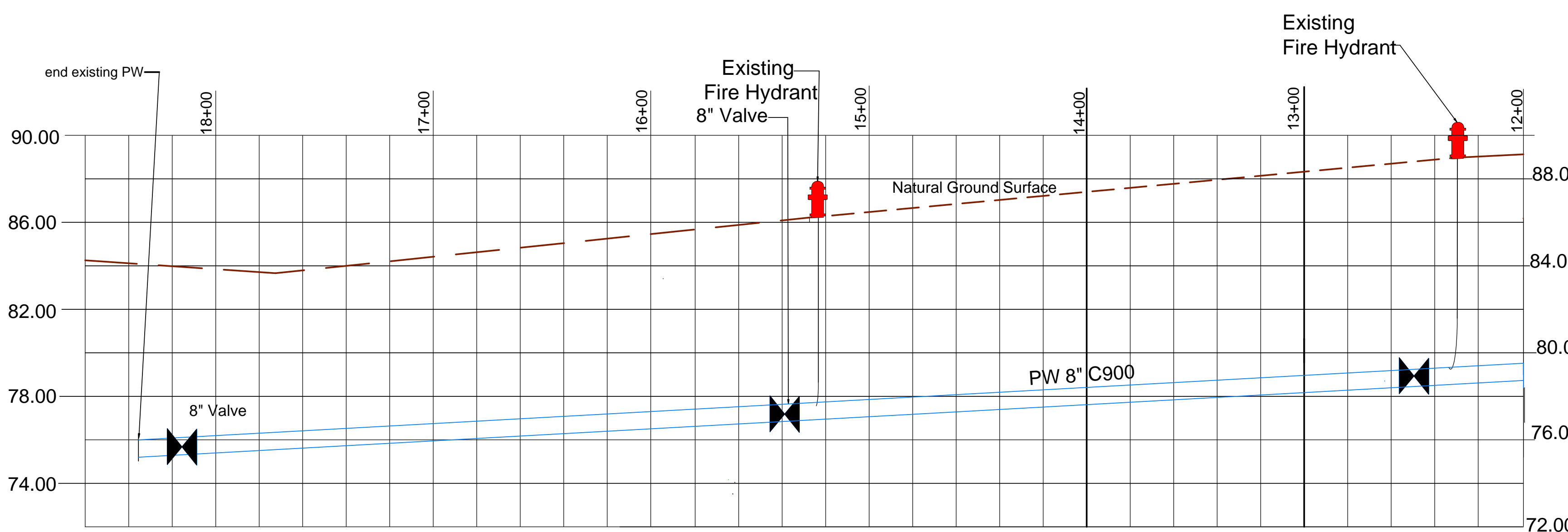
Note: Invert Elevation of Existing 10" SS Main must be verified prior to construction

Refer to Detail D-3 on Sheet 3: Section of Garnier Construction Corridor for location of PW main extension.

Information (including stationing) taken from:  
 Absaroka Consultants Inc.  
 Brookstone Water Extension Sheet 3/3  
 and BrookstoneSewer Extension Sheet 3/3

## PW Main Profile (existing)

Scale:  
 V: 1"=4'  
 H: 1"=40'



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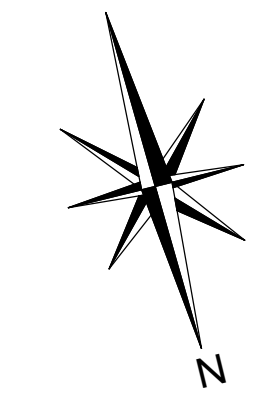
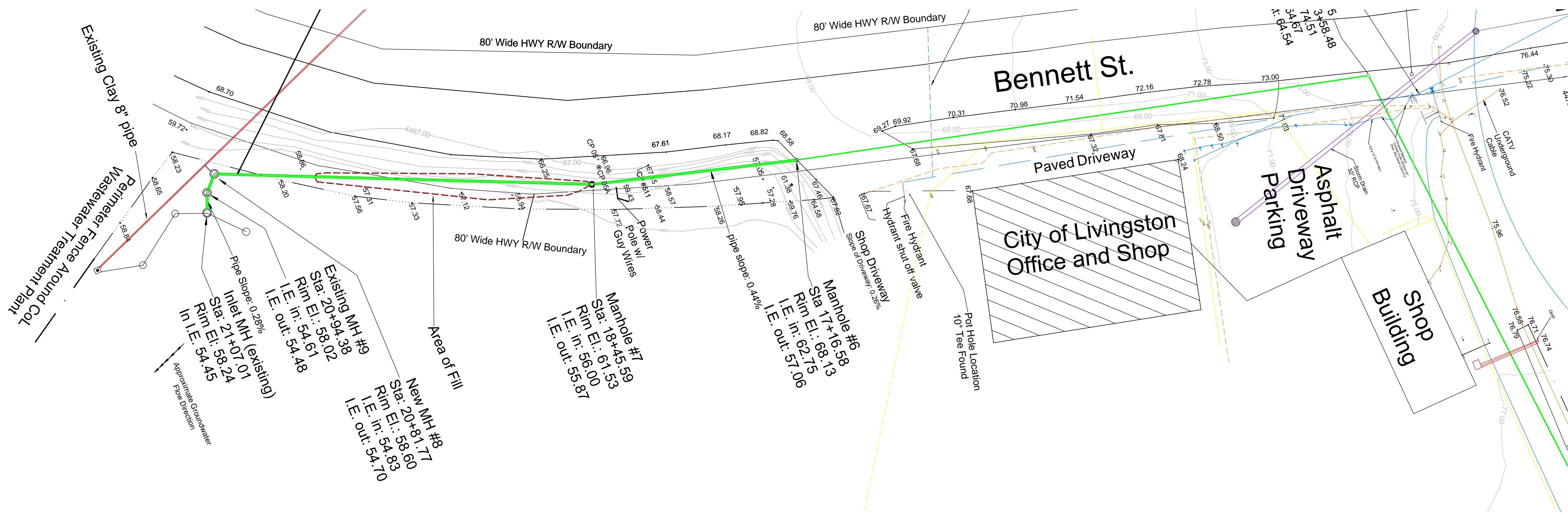
Drawing Status:  
Certified As-Built  
7/22/17

Design Engineer:  
William E. Smith, P.E.

Certification:

Sheet Title:  
Bennett Street  
from City Property Driveway  
SS Main Extension  
Plan and Profile

Sheet Number:  
9/10



Note: Contractor shall coordinate with NWE construction office to install adequate bracing on existing power pole to prevent loss of service during construction.

**PLAN**  
Scale: 1"=40'

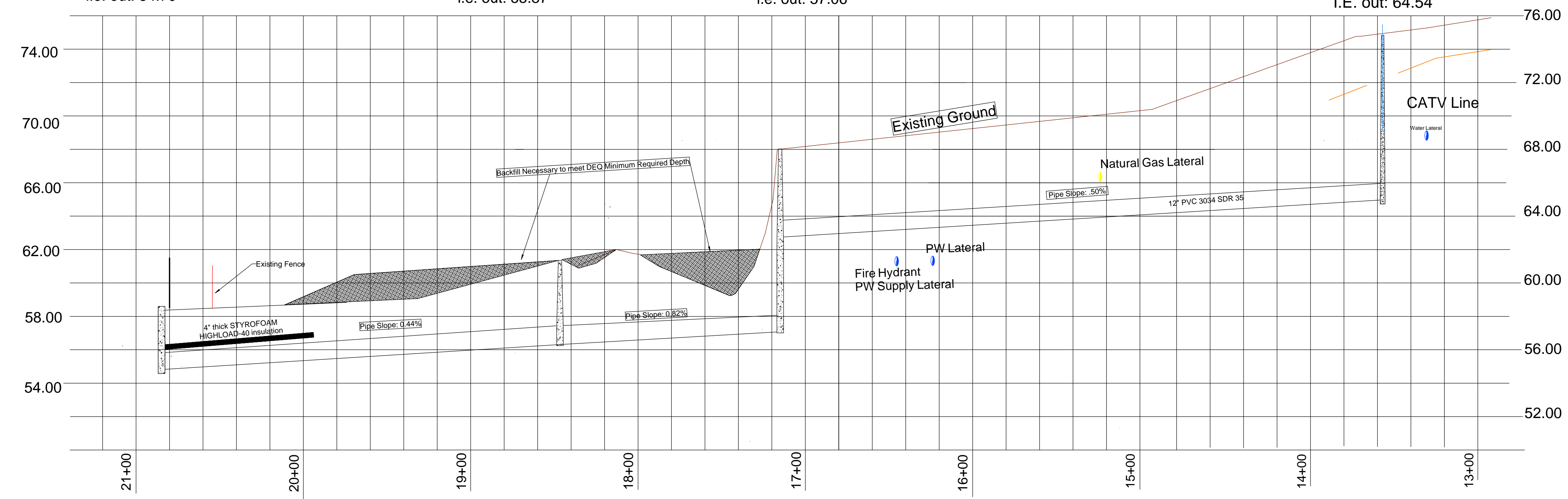
Manhole #8  
Sta: 20+81.77  
Rim El: 58.60  
i.e. in: 54.83  
i.e. out: 54.70

MH #7  
Sta: 18+45.59  
Rim El: 61.53  
i.e. in: 56.00  
i.e. out: 55.87

MH #6  
(drop manhole)  
Sta: 17+16.58  
Rim El: 68.13  
i.e. in: 62.66 (as-blt)  
i.e. out: 57.06

MH #5  
Sta: 13+58.48  
Rim El: 74.51  
I.E. in: 64.67  
I.E. out: 64.54

Note: 4" Thick Rigid Board insulation to be used all places where natural soil cover is under 4' see "Section Detail: SS Pipe Insulation" on Sheet 10



Specification Note:  
When the Sewer Main crosses a Potable Water Main or Lateral at approximately a 90 degree angle in respect to the Water Pipe, Install Sewer in accordance with Circular DEQ 1 Section 8.8.3.

**PROFILE**  
Scale: V: 1"=4'  
H: 1"=40'

**OCTAGON**  
 Consulting Engineers, LLC  
 Bioenergy, Civil, Mechanical  
 (406) 333-9040  
 (406) 223-9040  
 P.O. Box 78,  
 Emigrant, MT 59027  
 octagon@wispwest.net

Project:  
 Brookstone Major  
 Subdivision Municipal  
 Extension PW Main &  
 SS Main Within the  
 City of Livingston, MT

Project Owner:  
 Brookstone Developing,  
 LLC

Drawn by:  
 CAS

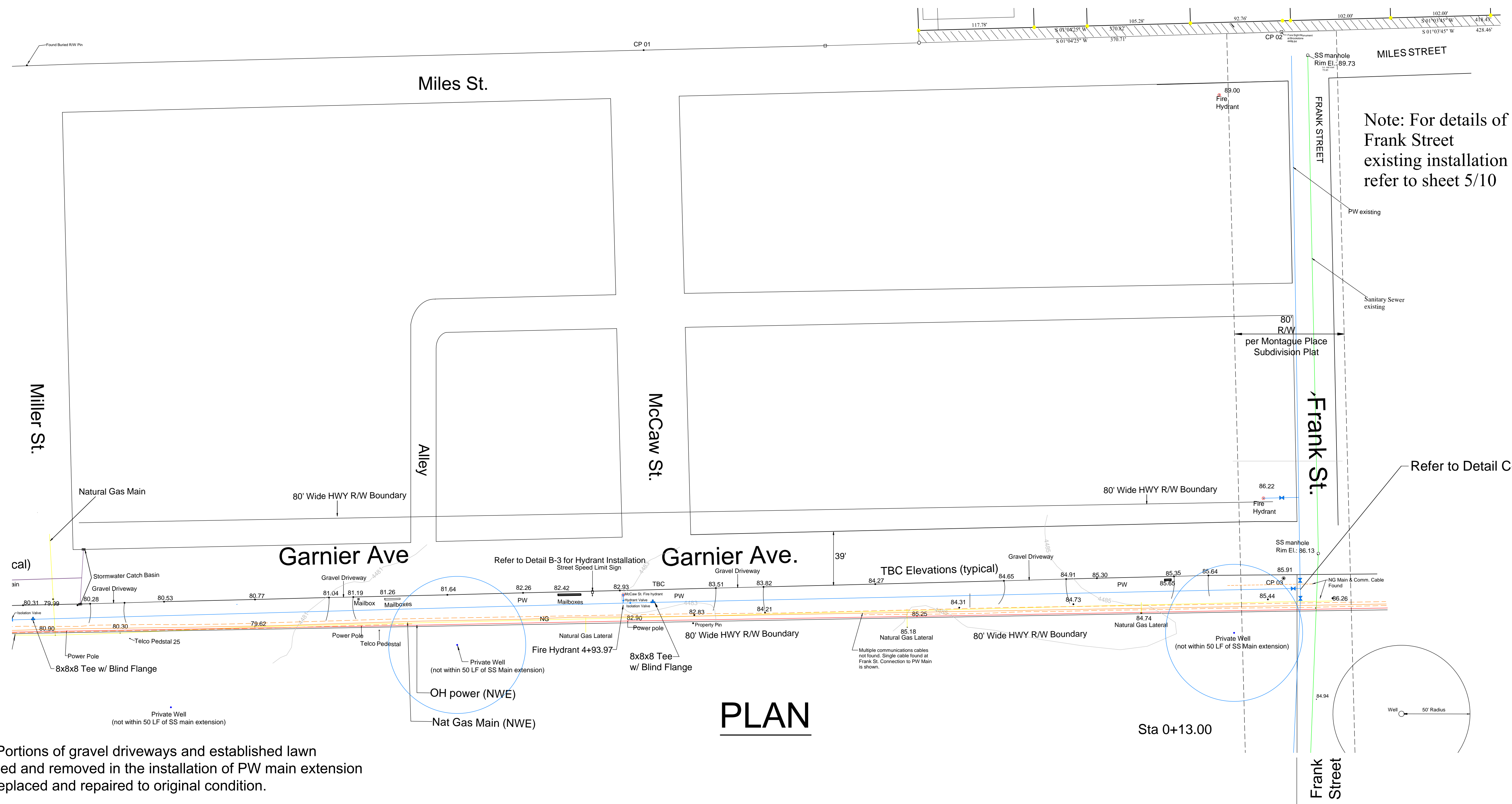
Drawing Status:  
 Certified As-Built  
 7/22/17

Design Engineer:  
 William E. Smith, P.E.

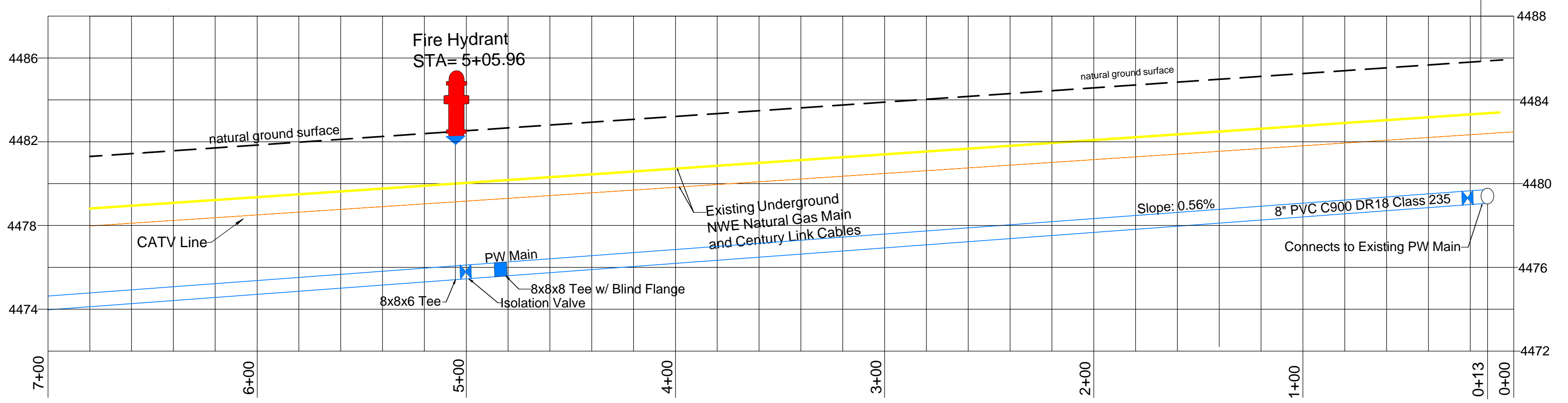
Certification:

Sheet Title:  
 PW Main Extension  
 Down Garnier Ave.  
 from Frank Street  
 Plan and Profile

Sheet Number:  
 6/10



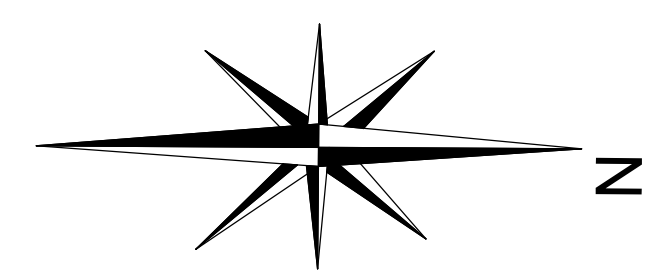
**PLAN**



**PROFILE**

Scale: V: 1"=4'  
 H: 1"=40'

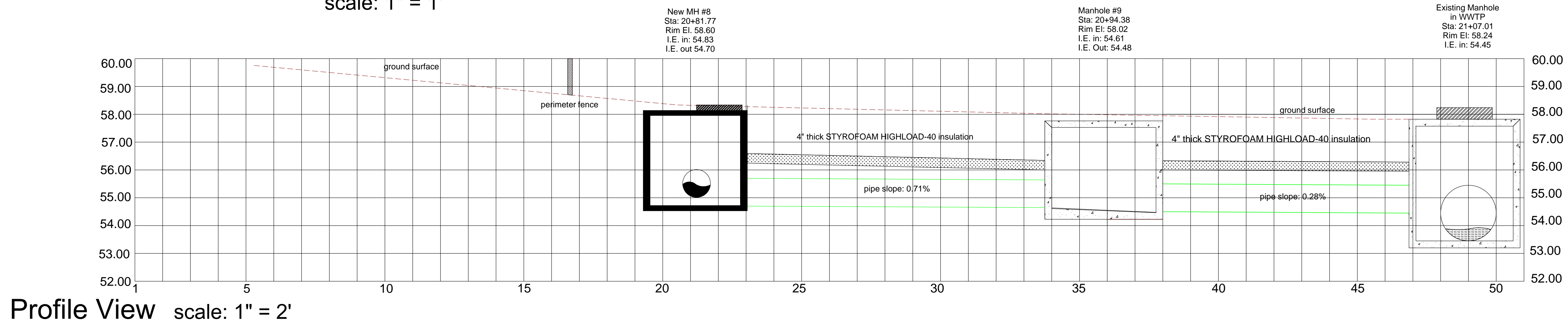
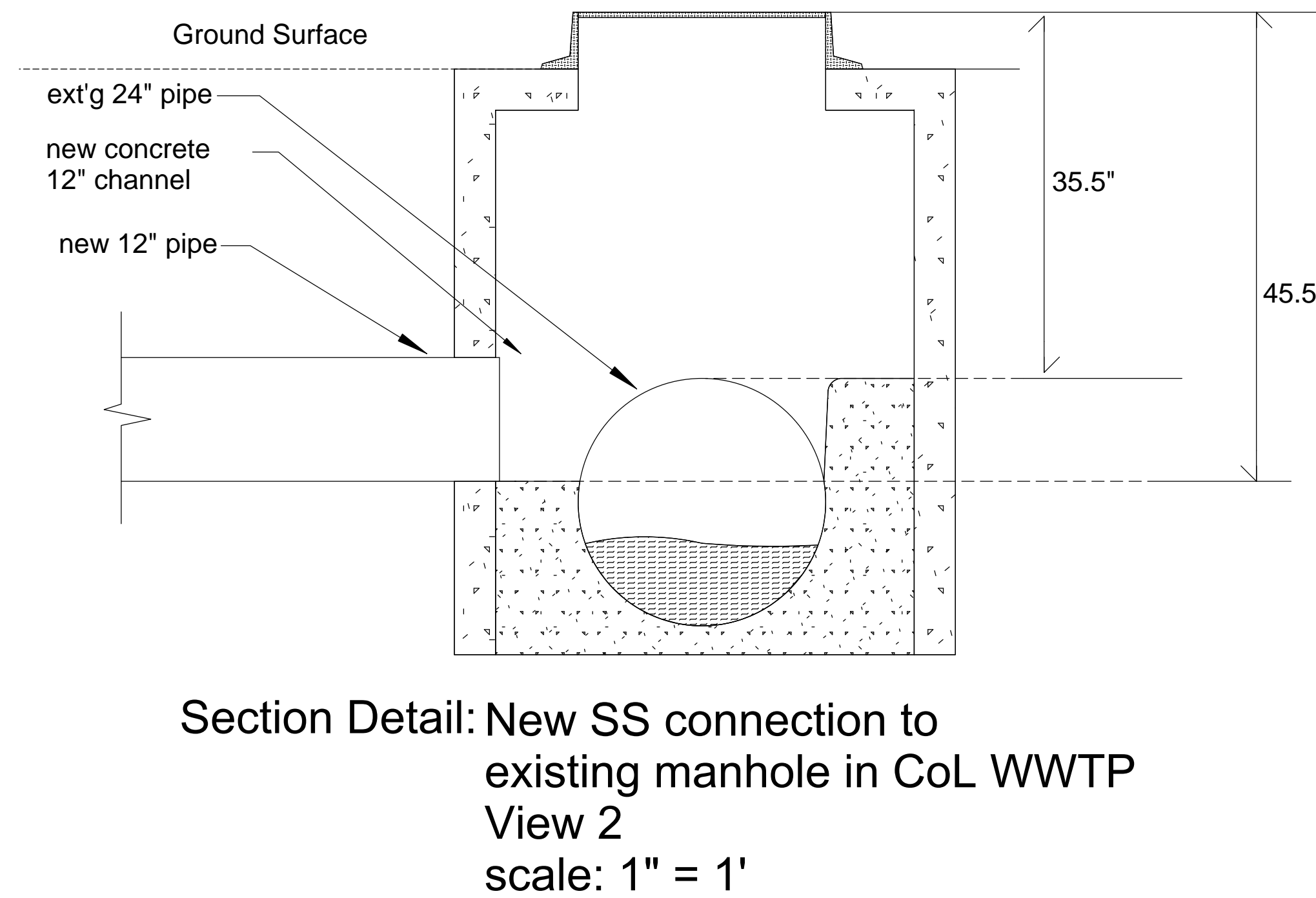
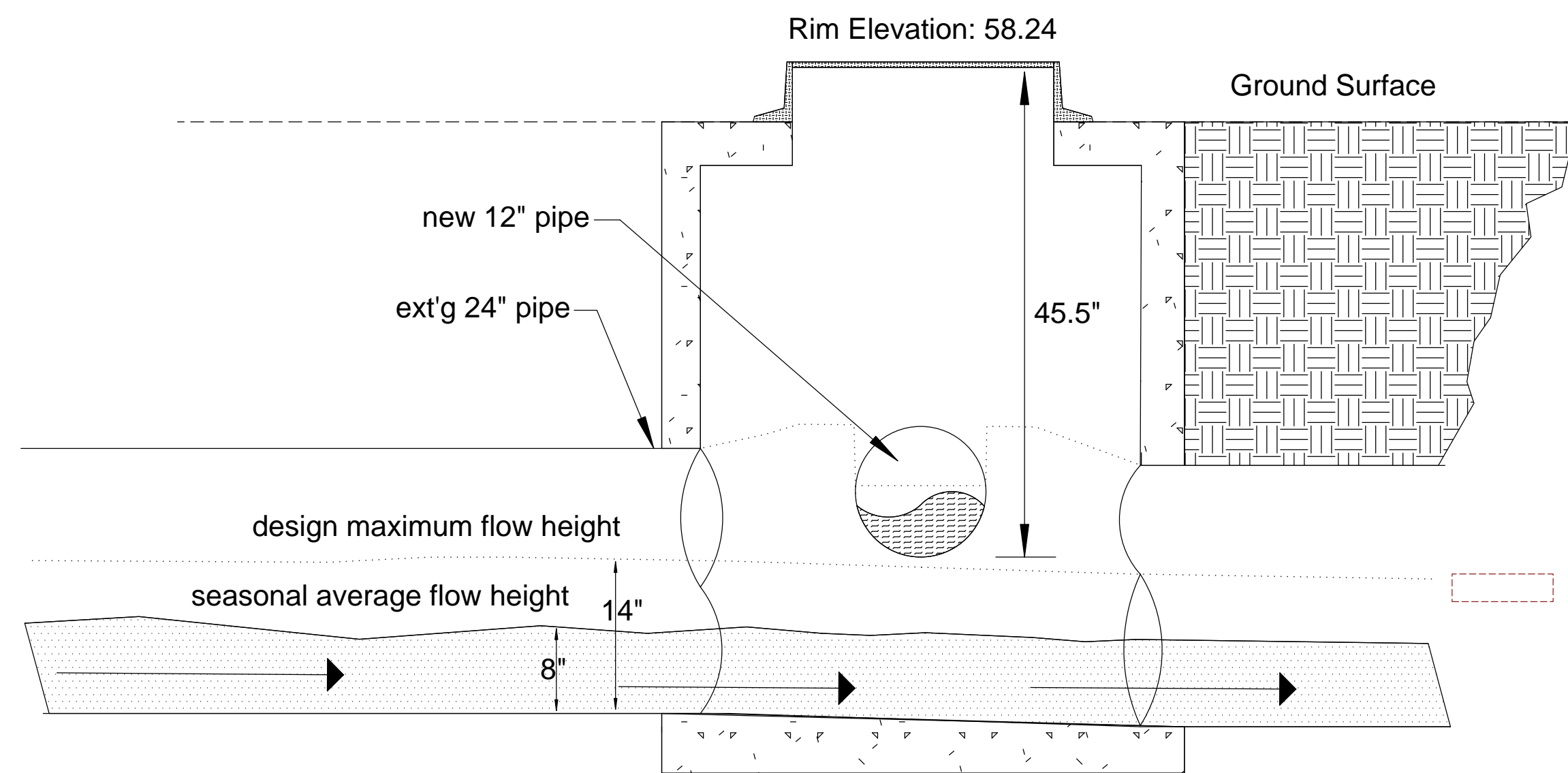
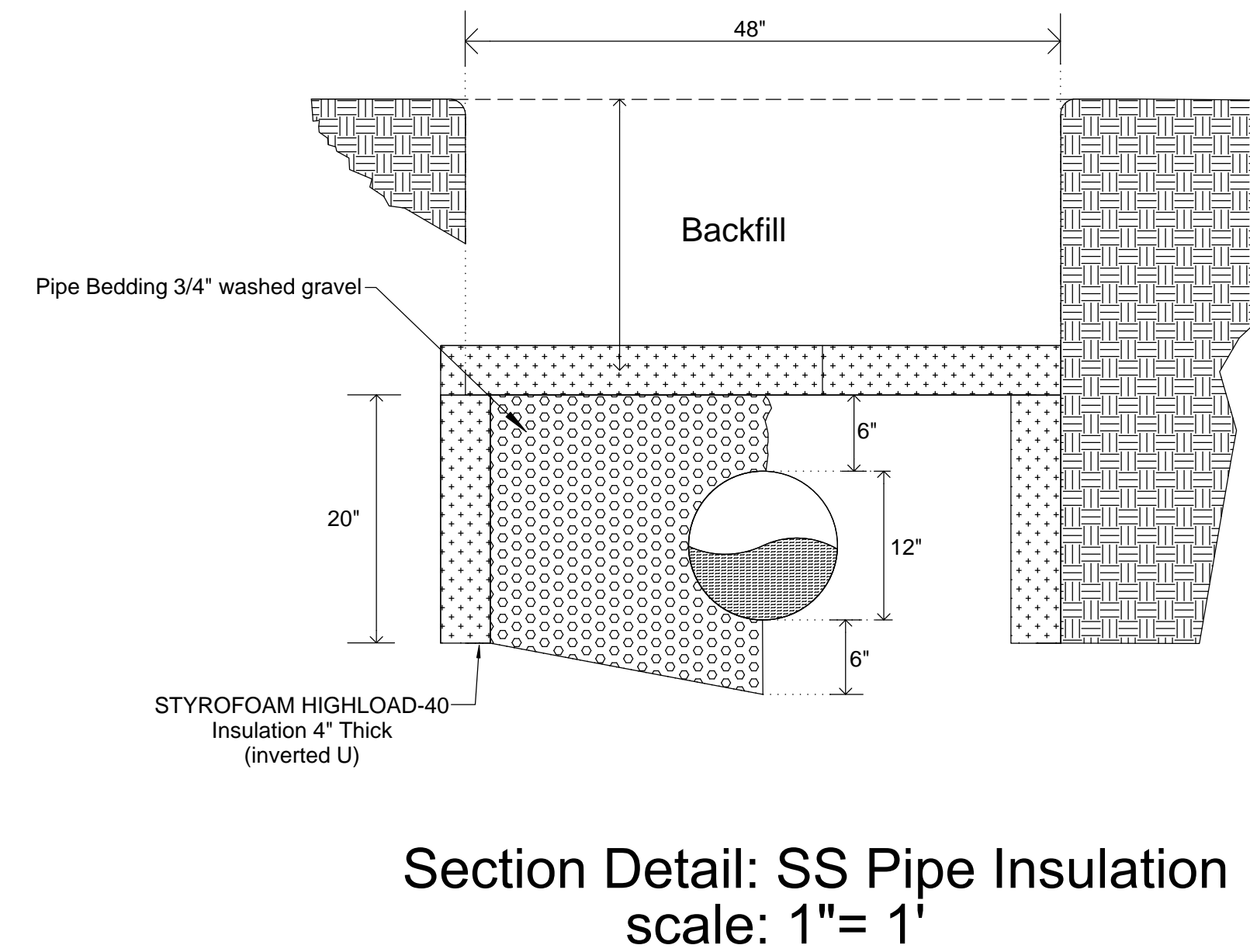
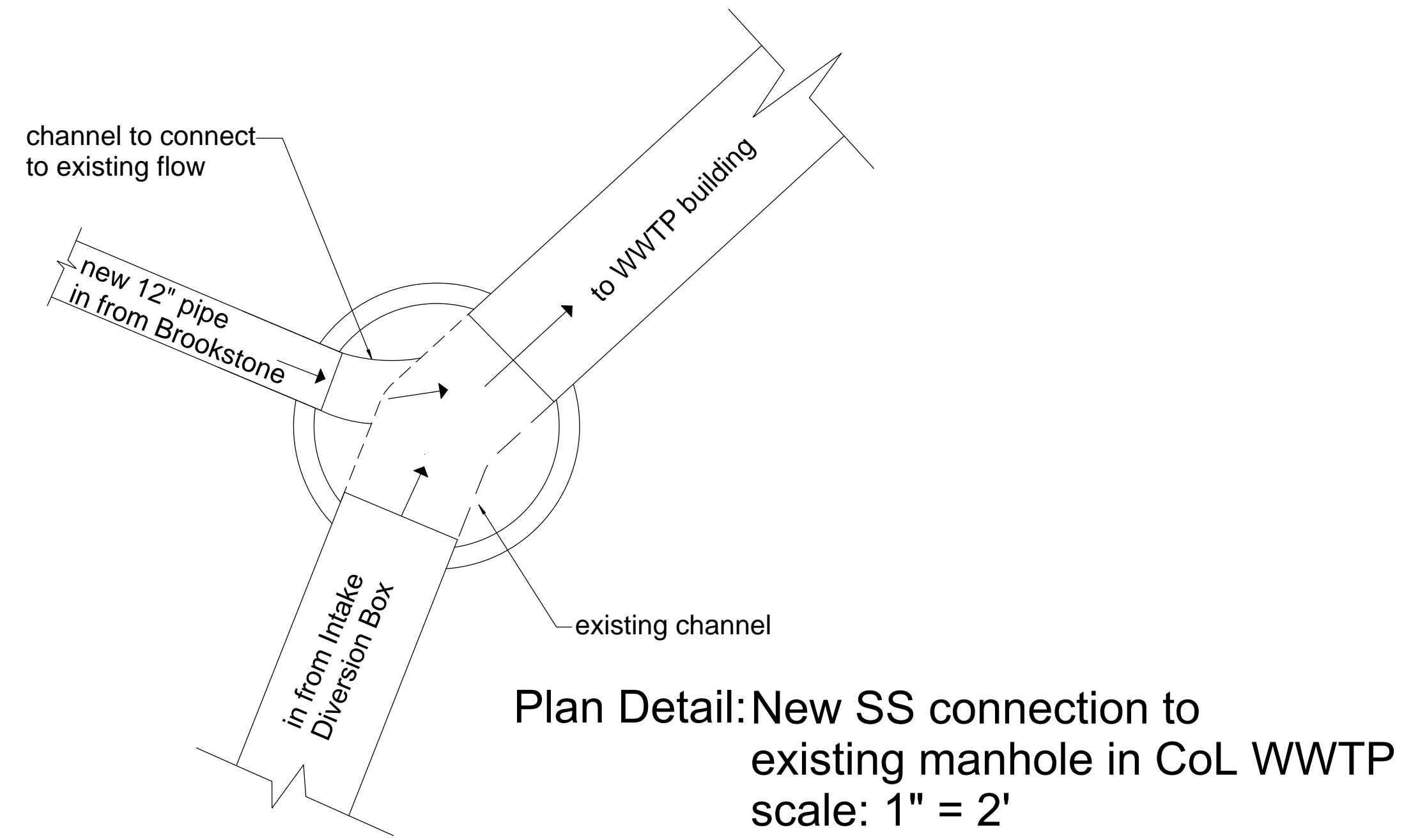
Location of Existing Sewer Main  
 established by Survey as Sta 0+00



Match Line at  
 Sta 7+00

Note: For details of  
 Frank Street  
 existing installation  
 refer to sheet 5/10

Refer to Detail C-3



**OCTAGON**  
Consulting Engineers, LLC  
Bioenergy, Civil, Mechanical  
(406) 333-9040  
(406) 223-9040  
P.O. Box 78,  
Emigrant, MT 59027  
octagon@wispwest.net

Project:  
Brookstone Major  
Subdivision Municipal  
Extension PW Main &  
SS Main Within the  
City of Livingston, MT

Project Owner:  
Brookstone Developing,  
LLC

Drawn by:  
CAS

Drawing Status:  
Certified As-Built  
7/22/17

Design Engineer:  
William E. Smith, P.E.

Certification:

Sheet Title:  
SS Main Extension  
Connection into  
Existing WWTP  
Manhole

Sheet Number:  
10/10

**Backup material for agenda item:**

- A. DISCUSS/APPROVE/DENY - URA grant approval of Joel Reinholz, Managing Partner of Todd & Ed's LLC grant request for solar project for 205 1/2 South Main Street

## Livingston Urban Renewal Agency Grant Application

[http://www.livingstonmontana.org/working/docs/URA\\_Grant\\_App\\_revised\\_2\\_16.pdf](http://www.livingstonmontana.org/working/docs/URA_Grant_App_revised_2_16.pdf)

*Due 10 days before the URA meeting at which the application will be discussed.*

*Cover Sheet Information to include:*

### **Applicant**

**Organization:**  
**Organization Tax**  
**Status: Project**  
**Title: Montana**  
**Block Roof Solar**  
**Project**

### **Key Contact**

**Joel Reinholz, Managing Member, Todd & Ed's LLC**  
**205 ½ South Main Street, Livingston MT 59047**  
[joel@montanablock.com](mailto:joel@montanablock.com)  
**Phone 406-220-5635**

**Project Start Date: September 2017**

**Project End Date:**

**December 30 2017**

**Amount \$166,844**

**Requested: \$83,422**

**Breakdown of what the total will be used for:**

**Moving of plumbing vents in roof to accommodate solar panel layout. (approximately \$2,000) will be done time and material**

### **EPDM Roof insulation and Recover**

- Remove parapet wall material, prepare deck surface. Option: Demo protrusions as needed & patch w/ metal & modified torch-applied bitumen...\$200/pipe & \$395/unit or chimney.
- Mechanically fasten **1" ISO insulation**.
- Fully adhere EPDM to ISO, up walls 1' min and up & over S wall upper section.
- Reuse existing lower parapet cap.
- Install new parapet cap on upper S wall and front only.
- Remove job related debris.
- 5 year limited workmanship warranty. 25 year System warranty available from manufacturer at additional cost to match solar warranty.
- **Cost of above work \$59,400.00**

### **Solar Panel Installation**

Provide and install a grid-tied solar PV system with the following characteristics:

- DC Nameplate Rating: 42,560 Watts
- Location: Sub-array 1 (upper roof, covers 108, 112, 201, 203, 106, 110, and 114); Sub-array 2 (lower roof, covers 205 and 205 ½)

- Mounting Type: Unirac, roof-mount, tilted 10°
- ▣ Module Make and Model: Sub-array 1- (101) Canadian Solar 320 Watt; Sub-array 2- (32) 320 Watt
- Inverter Make and Model: (2) Fronius PRIMO 11.4, (1) Fronius PRIMO 10.0, (1) Fronius PRIMO 12.5
- Fronius SolarWeb Data Monitoring

The cost of the work listed above, including all equipment, materials and labor necessary to complete the installation of a roof-mounted, grid-tied 42.56KW solar PV system is:

**System Cost: \$105,444.00**

### **Grant Eligibility**

The URA will review each application on its merits. By law, priority will be given to programs that:

Rehabilitate or redevelop blighted areas

Provide public improvements

Repair or rehabilitate deteriorated or deteriorating structures

Improve infrastructure, facilities, and equipment leading to an increase in the health and safety of the downtown district

For further details on urban renewal, see Title 7, Chapter 15, Parts 42 and 43 of the Montana Code Annotated.



Revised February, 2016

## APPLICATION:

*Responses should be brief but complete information is encouraged. Include substantiating documents, bids, etc. E-mail completed form and any budget and work-plan attachments to:*

Karla Pettit, Chairperson [pblivingston@wispwest.net](mailto:pblivingston@wispwest.net)

Bob Ebinger [buffalojumppictures@gmail.com](mailto:buffalojumppictures@gmail.com)

Kyra Ames [kyra@amesphotography.com](mailto:kyra@amesphotography.com)

Bill Spanring (406)220-3198

*Send questions to the Secretary, Lisa Harreld, Legal Analyst, City of Livingston*

*lharreld@livingstonmontana.org or phone (406)823-6009. Please use the following sections to complete your application, just replace the instructions under the heading with your text. The URA may request further information when considering this application.*

### **Applicant Organization Name: Project Title: Montana Block Roof Solar Project**

**Project Summary:** Include a concise project description—including project goals and expected outcomes. Please also describe how it eliminates blight and/or increases the health and safety of the neighborhood.

Moving of plumbing vents in roof to accommodate solar panel layout. will be done time and material By Wagman Plumbing

To remove insulate and apply new roofing to last the life of the solar panel system To Install a solar system to replace the power currently used by the retail spaces in the building.

Roof by Everson Architectural Sheet metal and Design

- Remove parapet wall material, prepare deck surface. Option: Demo protrusions as needed & patch w/ metal & modified torch-applied bitumen...\$200/pipe & \$395/unit or chimney.
- Mechanically fasten 1" ISO insulation.
- Fully adhere EPDM to ISO, up walls 1' min and up & over S wall upper section.
- Reuse existing lower parapet cap.
- Install new parapet cap on upper S wall and front only.
- Remove job related debris.
- 5-year limited workmanship warranty. 25 year System warranty available from manufacturer at additional cost.

### **Solar**

The project is located at the Montana Block Building, 205 Lewis, Livingston, MT. The renewable energy system to be installed is a solar photovoltaic electrical generating system. The solar PV array will be roof-mounted on top of the Montana Block Building. The system will be comprised of (133) Canadian Solar 320 watt PV modules. The modules are clamped to Unirac RoofMount racking. heavy duty aluminum rails. The electrical configuration of the array will be as follows: Fronius PRIMO inverters variably sized to match the module series string sizing required for each commercial unit. The AC output conductors of each inverter will be routed to the AC Distribution Panels located in each of nine commercial rental units. The Grid-Tie will occur at these AC distribution panels.

Bozeman Green Build will

Provide and install a grid-tied solar PV system with the following characteristics:

- DC Nameplate Rating: 42,560 Watts

- Location: Sub-array 1 (upper roof, covers 108, 112, 201, 203, 106, 110, and 114); Sub-array 2 (lower roof, covers 205 and 205 ½)
- Mounting Type: Unirac, roof-mount, tilted 10°
- Module Make and Model: Sub-array 1- (101) Canadian Solar 320 Watt; Sub-array 2- (32) 320 Watt
- Inverter Make and Model: (2) Fronius PRIMO 11.4, (1) Fronius PRIMO 10.0, (1) Fronius PRIMO 12.5
- Fronius SolarWeb Data Monitoring

This project will add insulation in the roof reducing heating and cooling bills for the residential tenants residing on the second floor. Several of my tenants are low income living on different forms of assistance including help paying their energy bills. The reduction in cost will benefit both them and the government agencies helping them stay warm.

The Solar part of the project will supply the current electrical use of the commercial spaces on the main floor, lighting, Air conditioning, and some heat. It will have a pay back of 10 years. With an average savings of \$7030 per year and a 30year life, my tenants will save \$210,915 in operating costs. This will make it easier for them to be a more competitive and do business in Livingston.

Both will reduce our dependency on coal-generated power which in turn conserves the land by reducing strip mining. Reduce the amount of air pollution both thru transportation of coal and burning to create electricity. This will also reduce our dam-generated power consumption which will in turn lead to healthier fish habitats.

This project has been presented to the State Historic Preservation Office and has been approved.

#### **Statement of Condition/Need:**

Describe why this program or project is needed and include the following in your description: Describe the nature of the condition/need that this project will address, including its impact on people and the local business environment.

Describe the extent of the need this project will address. Please cite sources of any data used in this section.

By adding insulation and using alternative Solar electricity we will reduce our dependency on coal-generated power which in turn conserves the land by reducing strip mining. Reduce the amount of air pollution both thru transportation of coal and burning to create electricity. This will also reduce our dam-generated power consumption which will in turn lead to healthier fish habitats.

The project will help the business in the building reduce their overhead allowing them to be more competitive, reducing costs to them and their customers in the community.

#### **Project Work Plan:**

Describe the basic stages of your project development, implementation, and evaluation. Include who (title and role) will be involved in carrying out the plans outlined in this request. Dates do not have to be specific, but include an estimate of number of days, weeks, or months of duration. Applicants may submit an attachment instead of responding to this section in the application

September 4 2017

Wagman Plumbing will combine and move plumbing vents in roof to not interfere with solar panel layout.

September 11, 2017

Roof by Everson Architectural Sheet metal and Design

- Remove parapet wall material, prepare deck surface. Option: Demo protrusions as needed & patch w/ metal & modified torch-applied bitumen...\$200/pipe & \$395/unit or chimney.
- Mechanically fasten 1" ISO insulation.
- Fully adhere EPDM to ISO, up walls 1' min and up & over S wall upper section.
- Reuse existing lower parapet cap.
- Install new parapet cap on upper S wall and front only.
- Remove job related debris.

November 1, 2017

Bozeman Green Build will provide and install

Provide and install a grid-tied solar PV system with the following characteristics:

- DC Nameplate Rating: 42,560 Watts
- Location: Sub-array 1 (upper roof, covers 108, 112, 201, 203, 106, 110, and 114); Sub-array 2 (lower roof, covers 205 and 205 ½)
- Mounting Type: Unirac, roof-mount, tilted 10°
- Module Make and Model: Sub-array 1- (101) Canadian Solar 320 Watt; Sub-array 2- (32) 320 Watt
- Inverter Make and Model: (2) Fronius PRIMO 11.4, (1) Fronius PRIMO 10.0, (1) Fronius PRIMO 12.5
- Fronius SolarWeb Data Monitoring

**Project Budget/Financial Information:**

Provide a budget for this program or project and include:

All expenses associated with the project.

All revenue sources, including the status of any proposals submitted to other funders.

Matching funds

In-kind and donated items and services.

Solicited bids and quotes for work to be completed.

The URA encourages applicants to include a "budget note" discussing any budget components that need further explanation. Organizations may also want to describe program alternatives if all revenue expectations are not met.

Plumbing approximately \$2,000 to be billed at time and material. no Bid

Roof insulation and replacement. Attached bid by Everson architectural \$59,400.00

Solar Panels and installation. Attached Bid by Bozeman Green Build \$105,444

Owners will be using personal funds in bank and if additional needed see Pre approval letter Sky Fed CU

There are no in kind donated items or services

See attached Bids

**Proposal**

Date: 4/20/16 Sheet No. 85 1

**Everson Architectural Sheet Metal and Design**

122 South Yellowstone Street  
Livingston, Montana 59047  
406-223-0742 fax: 406-222-0182

**Proposal Submitted To-**

Customer: **Joel Reinholz**  
Address: **Montana Block Building**  
City, State: **Livingston, MT 59047**  
Phone: **220-5635**  
Fax:

**Work To Be Performed At-**

**Same**  
Address:  
City, State:  
Job Site Phone:  
Contact:

**EPDM Recover Option.....Upper Only \$38,800.00 Lower Only \$21,800.00 Both \$59,400.00**

- Remove parapet wall material, prepare deck surface. Option: Demo protrusions as needed & patch w/ metal & modified torch-applied bitumen...\$200/pipe & \$395/unit or chimney.
- Mechanically fasten 1" ISO insulation.
- Fully adhere EPDM to ISO, up walls 1' min and up & over S wall upper section.
- Reuse existing lower parapet cap.
- Install new parapet cap on upper S wall and front only.
- Remove job related debris.
- 5 year limited workmanship warranty. 25 year System warranty available from manufacturer at additional cost.

All material is guaranteed to be as specified, and the above work to be performed in accordance with the drawings and specifications submitted for the above work and completed in a substantial workmanlike manner for the sum of:

Dollars (Please see above)

With payments to be made as follows: **50% Down Upon Acceptance; Balance Due Upon Completion**

Any alterations or deviations from the above specifications involving extra costs will be executed only upon written orders, and will become an extra charge over and above the estimate. All agreements are contingent upon strikes, accidents or delays beyond our control. Owner to carry fire, tornado and other necessary insurance upon above work.

**Worker's Compensation and Liability Insurance on above work to be taken out by CONTRACTOR.**

Respectfully Submitted By: Everson Architectural Sheet Metal and Design

Per:

**Acceptance of Proposal**

The above prices, specifications and conditions are satisfactory and are hereby accepted. You are authorized to do the work as specified.

By: \_\_\_\_\_ Date:

By: \_\_\_\_\_ Date:

Note: This proposal may be withdrawn by us if not accepted within 30 days.





**NABCEP Certified Solar PV Installer**  
**350 Heidner Lane, Bozeman, Montana 59718**  
**P: 406.580.6068 F: 406.388.8828**  
**e-mail: info@bozemangreenbuild.com**

April 18, 2016

Joel Reinholz  
 205-1/2 Main Street  
 Livingston, MT 59047

### **Quotation**

## **42.56 KW Roof-Mounted Solar Photovoltaic Electrical Generating System**

### Description

Provide and install a grid-tied solar PV system with the following characteristics:

- DC Nameplate Rating: 42,560 Watts
- Location: Sub-array 1 (upper roof, covers 108, 112, 201, 203, 106, 110, and 114); Sub-array 2 (lower roof, covers 205 and 205 ½)
- Mounting Type: Unirac, roof-mount, tilted 10°
- Module Make and Model: Sub-array 1- (101) Canadian Solar 320 Watt; Sub-array 2- (32) 320 Watt
- Inverter Make and Model: (2) Fronius PRIMO 11.4, (1) Fronius PRIMO 10.0, (1) Fronius PRIMO 12.5
- Fronius SolarWeb Data Monitoring

Note: Data monitoring tie-in is contingent upon the presence of a functioning internet-connected modem/router with an available Ethernet port. Modem/Router must be multi-cast capable.

**NABCEP Certified Solar PV Installer**  
**350 Heidner Lane, Bozeman, Montana 59718 P: 406.580.6068 F: 406.388.8828**  
**e-mail: info@bozemangreenbuild.com**





Services provided to complete this installation will include:

- System design including site plan schematic and one-line diagram
- Provision of all primary equipment and materials for completion of the electrical generating system including the solar PV equipment listed above
- Provision of all Balance of System equipment and materials for completion of the system
- Provision of all electrical labor including installation and wiring of solar PV modules, inverters, AC disconnect and utility intertie

**NOTE: The cost of additional work required to re-configure electrical services will be paid by Owner.**

- Provision of City of Livingston electrical permit

**NOTE: Excludes the flashing and sealing of Bozeman Green Build's racking penetrations. These flashings will be completed by Owner's roofing contractor.**

Cost of Work

The cost of the work listed above, including all equipment, materials and labor necessary to complete the installation of a roof-mounted, grid-tied 42.56KW solar PV system is:

**System Cost: \$105,444.00**

**Warranty**

Bozeman Green Build will provide the following warranty for this PV System Installation:

- 15 year warranty against defects in installation workmanship including assumption of 100% of the repair and replacement costs of any system components that fail to perform due to faulty installation
- Solar PV equipment warranties will be carried by equipment manufacturers.

**Proposal Submitted By:**

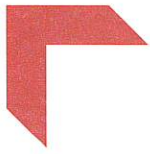
***John Palm 4-18-2016***

**John Palm, President  
Bozeman Green Build**



**Backup material for agenda item:**

- B. DISCUSS/APPROVE/DENY - Authorizing City Manager to sign a letter of acceptance with Northwestern Energy



June 5, 2017

Michael Kardoes  
City Manager  
414 E. Callender St.  
Livingston, MT 59047

Re: Natural Gas Franchise

Dear Mr. Kardoes:

It has come to the attention of NorthWestern Energy that pursuant to the terms of the ordinance passed by the City of Livingston on May 7, 2013, NorthWestern did not file the required written acceptance with the City Clerk within the required thirty days. This was an unintentional oversight by NorthWestern Energy.

Nevertheless, please be advised that NorthWestern Energy does accept the terms of Ordinance No. 2044 and provides this written acceptance to the City in order to notify it of such acceptance.

The Ordinance at page 2 provides that it is void if the written acceptance is not filed within the thirty-day period. In order to correct this issue, NorthWestern Energy proposes that the appropriate personnel at the City sign this letter, returning a copy to NorthWestern Energy, if the City accepts this late-filed acceptance. By agreeing to accept NorthWestern Energy's late-filed acceptance, the City agrees to waive the term of the Ordinance providing that it is void if such written acceptance is not filed within thirty days. The remaining terms and conditions found in Ordinance No. 2044 shall remain in full force and effect.

Thank you for your attention to this matter. Please let us know if there is another alternative the City would like to pursue in order to correct this matter. In that case, please contact Heather Bellamy at (406) 570-2092. We apologize for any inconvenience this may cause.

Sincerely,

Patrick Corcoran  
Vice President  
Government & Regulatory Affairs

Acknowledged and Accepted by:  
City of Livingston

---

Name:  
Title:

**Backup material for agenda item:**

C. DISCUSS/APPROVE/DENY - Brookstone Major Subdivision Final Approval

**City Manager**  
Michael Kardoes

414 East Callender Street  
Livingston, Montana 59047  
(406) 222-2005 phone  
(406) 222-6823 fax  
citymanager@livingstonmontana.org  
www.livingstonmontana.org



**Chairman**  
James Bennett

**Vice Chairman**  
Dorel Hoglund

**City Commissioners**  
Mel Friedman  
Quentin Schwarz  
Sarah Sandberg

July 25, 2017

**MEMORANDUM**

**TO:** City Manager

**FROM:** Director of Building/Planning *JW*

**SUBJECT:** Brookstone Subdivision

Mr. Kardoes,

Mr. Mantzey is requesting final plat approval for this subdivision.

The attached list of conditions was placed upon the preliminary approval. All of these conditions have been met.

I recommend that the City approve this request for Final Plat Approval.



July 25th, 2017

City of Livingston  
Attn: Jim Woodhull, Director of Building/Planning  
330 N. Bennett Street  
Livingston, MT 59047

**RE: Brookstone Subdivision Final Plat**

Dear Jim,

Enclosed please find the Final Plat documents, as listed in the Table of Contents, for the Brookstone Subdivision.

Additionally, per the City of Livingston's letter dated July 21, 2016, granting conditional preliminary plat approval for the Brookstone Subdivision, please see the following responses to the conditions.

1. A waiver of SID protest must be signed by the subdivider that guarantees the participation of all lots in the subdivision in a future improvement district for public improvements.  
*Response: A Special Improvement District Waiver has been added to the Final Plat and can be found under Tab 4 in the Final Plat submittal binder.*
2. All sewer and water main extension will be a minimum of eight (8) inch.  
*Response: All water and sewer main extensions are a minimum of 8 inches. Please see the final as built construction drawings for both Phase 1 and Phase 2 construction located under Tab 6 in the Final Plat submittal binder.*
3. A Montana licensed engineer, or his supervised representative, will be required on site during utility construction.  
*Response: Construction administration services were provided by Octagon Engineering. The final as-builts have been completed by Octagon Engineering and are included under Tab 6 in the Final Plat submittal binder.*
4. A utility reimbursement plan must be submitted to, and approved by, the City prior to the beginning of construction.  
*Response: A Payback Reimbursement Agreement is currently being finalized for the development and will be submitted under separate cover.*
5. The subdivider will be responsible for all required street signing to include traffic control signs as well as street name signs. All signs will be built and installed according to City specifications. Painting of curbs at fire hydrants will also be required.

*Response: At an on-site meeting on July 11<sup>th</sup>, 2017 between the City of Livingston Planning and Public Works Department, CTA, and the Developer, the City identified the locations for two stop signs and two 15 mph speed limit signs. The signs have been purchased and will be installed accordingly. The curbs at the fire hydrants have been painted red, 10' on either side of the hydrant.*

6. Any improvement agreement(s) for deferred infrastructure construction needs to be reviewed and approved by the City prior to the beginning of construction.

*Response: There is no deferred infrastructure construction agreement necessary as all infrastructure has been completed within the subdivision.*

7. The subdivider will, in consultation with the County Extension Office, prepare a noxious weed plan to mitigate the spread of weeds to adjacent properties. Proof of compliance with this plan will be required in order to gain final approval.

*Response: A noxious weed plan has been prepared for the Brookstone Subdivision and is included under Tab 11 in the Final Plat submittal binder.*

8. The subdivider will be required to provide fencing on the west boundary of this development to prevent livestock from entering the property.

*Response: There is currently fencing installed along the west boundary of the development. At the on-site meeting on July 11<sup>th</sup> with the City of Livingston Planning and Public Works Departments, CTA, and the Developer, the existing fencing was determined to be adequate.*

9. All outdoor lighting in this development will be required to be night sky friendly. One street light will be required at the intersection of Brookstone Street and Miles Avenue. (This is allowed under Section VI-A-8-b-vi of the Livingston Subdivision Regulations).

*Response: A street light, meeting the City of Livingston public works standards, has been purchased and will be installed accordingly.*

10. Prior to final approval, the subdivider will provide the City documentation verifying the preservation of all water rights associated with the irrigation ditch located on this property.

*Response: A Water Rights Purchase Agreement signed by the Developer and the Livingston Ditch Association is included under Tab 8. The water rights will remain with the Brookstone Subdivision.*

11. The subdivider will work with the City and the County to create a controlled intersection at Elm & Maple.

*Response: The Developer has coordinated with the City and the County public works department, and it was determined that the placement of a stop sign at the intersection of Elm & Maple is preferred. The Developer has purchased the stop sign and it will be installed according to County specifications at this intersection.*

12. Any traffic control measures deemed necessary by City Departments, such as pavement markings or speed signs, will be installed by the developer. The Planning Board suggests that 15 mph signs may be appropriate on the interior of this subdivision.

*Response: Pavement markings for crosswalks, stop bars, and fire hydrants have been completed. The two 15 mph signs have been paid for and installed.*



13. The City Public Works and Police Department will determine the best method of controlling on street parking in the interior of the subdivision. The developer will be responsible for implementing these measures.

*Response: Yellow striping has been completed at the intersections of Elm and Brookstone, and Miles and Brookstone, to deter parking near the intersections.*

14. The developer will establish a Homeowner's Association to ensure general maintenance and upkeep of the individual properties within this development as well as the common elements such as the drainage detention pond and associated structures.

*Response: The Developer has established a Homeowner's Association with Conditions, Covenants and Restrictions, addressing the general maintenance requirements of the subdivision including common areas such as storm water facilities and structures. The HOA can be fund under Tab 7 in the Final Plat submittal binder.*

15. The subdivider will provide a current (2016), un-subdivided, unimproved land value for this subdivision, to use in calculating the cash-in-lieu of parkland payment.

*Response: The Developer has provided an unimproved land value and calculation for the cash in lieu of parkland requirement. This analysis is included under Tab 9 in the Final Plat submittal binder. The cash in lieu of fee is included under Tab 10 in the Final Plat submittal binder.*

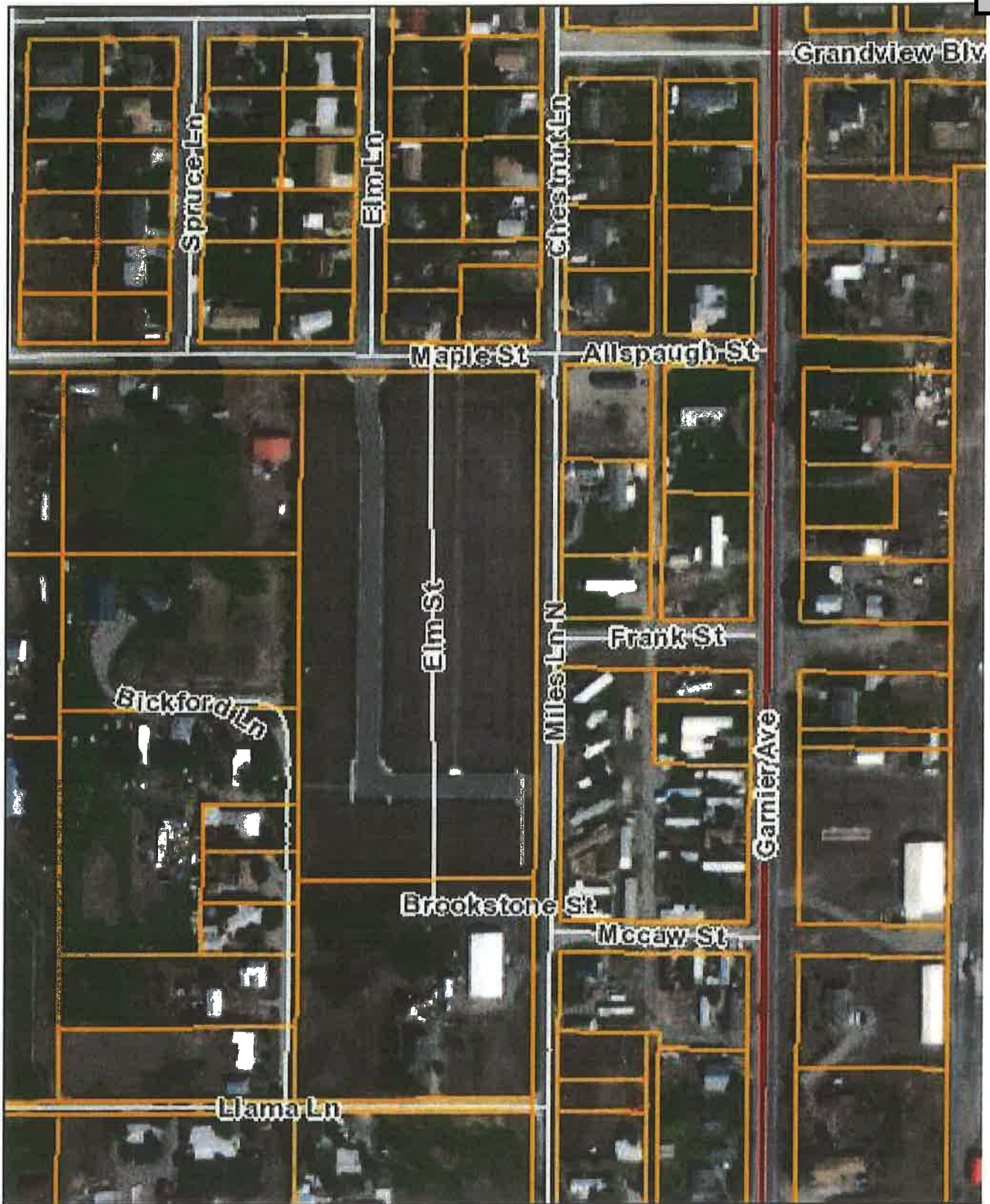
Thank you for the City's assistance during this final platting process. We feel all preliminary conditions for the Brookstone Subdivision have been met and we are requesting approval of the Final Plat.

Sincerely,  
CTA ARCHITECTS ENGINEERS



Stephanie Ray, Project Coordinator/Planner

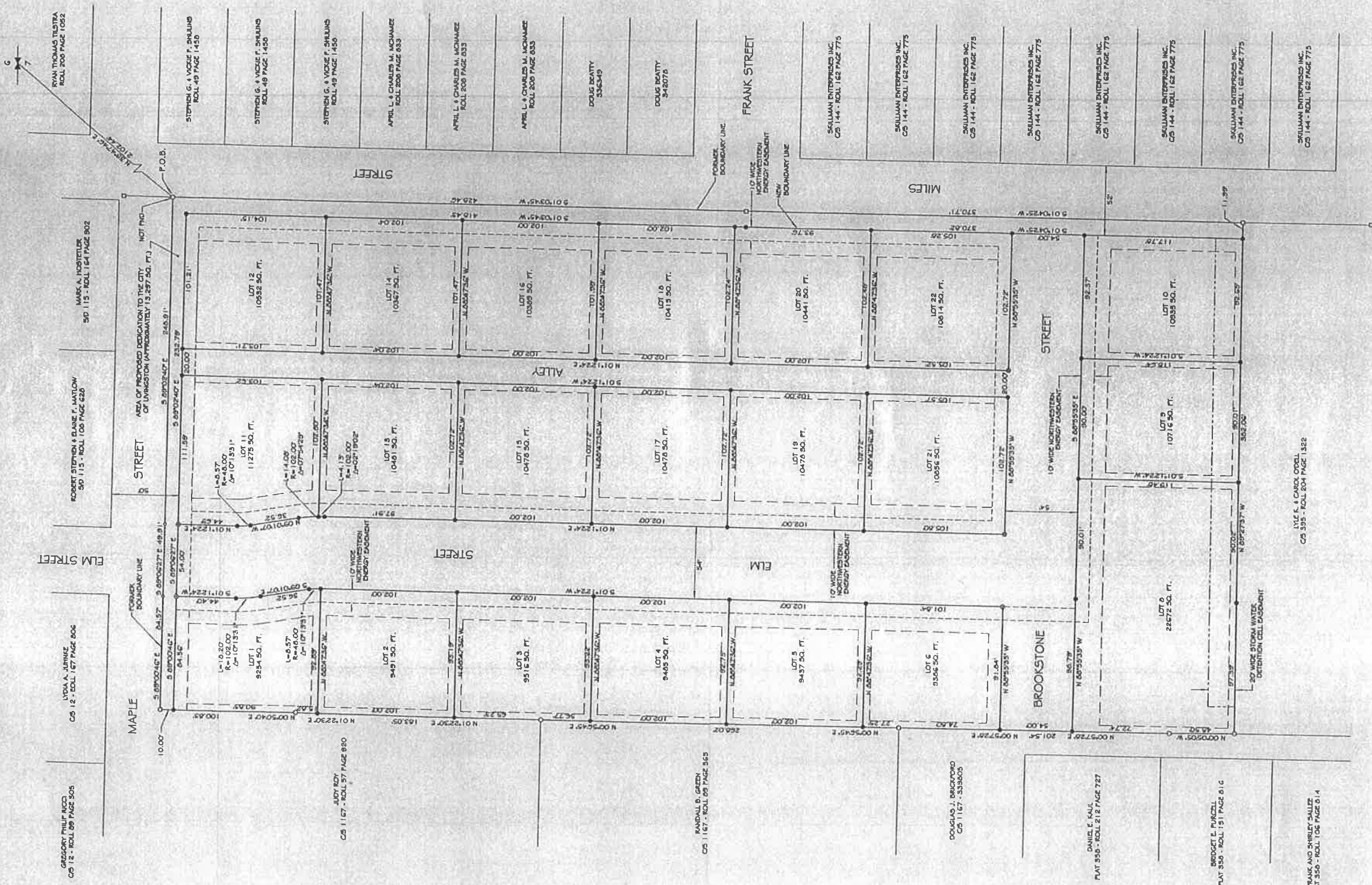
cc: CTA File -



# BROOKSTONE MAJOR SUBDIVISION - FINAL PLAT

BEING A SUBDIVISION OF LOT 12 OF CERTIFICATE OF SURVEY No. 395 AND LOCATED IN THE NW 1/4 OF SECTION 7, TOWNSHIP 2 SOUTH, RANGE 10 EAST, PRINCIPAL MERIDIAN MONTANA, CITY OF LIVINGSTON, PARK COUNTY, STATE OF MONTANA

PREPARED FOR: BROOKSTONE DEVELOPING, LLC, TO CREATE TWENTY-ONE LOTS



- LEGEND**
- FOUND — 3/4" REBAR W/ YELLOW PLASTIC CAP 4523 ES
  - SET — 3/4" REBAR W/ Z-ALUM, CAP 10010 S
  - SET PK. MAIL IN — CONCRETE WALK
  - FOUND — 2 1/2" PVC PER MONTAGLE SUBDIVISION
  - UNMOUNTED POINT
  - NORTHWESTERN ENERGY EASEMENT
  - CITY OF LIVINGSTON ZONING SET BACK
  - P.O.B. POINT OF BEGINNING
  - LEGAL DESCRIPTION

