



# LAWRENCEVILLE

## GEORGIA

### PLANNING COMMISSION AGENDA

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Monday, July 01, 2024  
6:00 PM

Council Chambers  
70 S. Clayton St, GA 30046

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#### **Call to Order**

#### **Approval of Agenda**

#### **Approval of Prior Meeting Minutes**

- [1.](#) May 2024 Planning Commission Minutes
- [2.](#) June 2024 Planning Commission Minutes

#### **New Business**

- [3.](#) RZC2024-00058; City of Lawrenceville; Reynolds Road
- [4.](#) RZM2024-00016; Bill Diehl; 0 Hillcrest Green Drive
- [5.](#) RZR2024-00022 & SUP2024-00090; Ansley Johnston; 448 Grayson Highway
- [6.](#) RZR2024-00023; Florentina Fisteag; 0 Curtis Road
- [7.](#) SUP2024-00091; Mushtaq Pasha; 860 Collins Hill Road
- [8.](#) An Ordinance to Amend the Zoning Ordinance, ARTICLE 1 Districts
- [9.](#) An Ordinance to Amend the Zoning Ordinance, ARTICLE 6; Architectural and Design Standards
- [10.](#) An Ordinance to Amend the Zoning Ordinance, ARTICLE 10; Definitions
- [11.](#) An Ordinance to Amend Article 11, Inactive Zoning Districts, of the Zoning Ordinance

#### **Public Comment**

To participate in the Public Comment part of the Agenda, you must register prior to noon in the Planning and Zoning Office on Friday before the meeting. Presentations will be limited to two minutes.

#### **Final Adjournment**



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: APPROVAL OF PRIOR MEETING MINUTES

**Item:** May 2024 Planning Commission Minutes  
**Department:** Planning and Development  
**Date of Meeting:** Monday, July 1, 2024  
**Applicant Request:** **Approval**  
**Presented By:** Todd Hargrave, Director of Planning and Development  
**Department Recommendation:** **Approval**

**Summary:** Minutes to be approved from the June 2024 Public Hearing

**Attachments/Exhibits:**

- June Public Hearing Minutes



# LAWRENCEVILLE

GEORGIA

## **PLANNING COMMISSION**

### **MEETING MINUTES**

Monday, May 6, 2024

Council Assembly Room

6:00 p.m.

70 South Clayton Street, Lawrenceville, Ga 30046

**CALL TO ORDER: 6:15 p.m.**

**PRESENT**

Chairperson Bruce Hardy

Vice-Chairperson James Nash

Commission Member Stephanie Henriksen

Commission Member Sheila Huff

Commission Member Darion Ward

**APPROVAL OF AGENDA: 6:16 p.m.**

Motion made to **AMEND** the Agenda as presented by Vice-Chairperson Nash and Seconded by Commission Member Henriksen

- Table Item No. 4. - SUP2024-00086 - Applicant: Juanita Wade; Property Owner: 4seas Investments Group LLC; An application to renew the Special Use Permit for a Banquet Hall In Suite 1200; The property is located at 3130 Sugarloaf Parkway; Parcel Identification Number R5085 695; Approximately 3.4 Acres to the Monday, June 3, 2024, Planning Commission Public Hearing
- Table Item No. 6 - An Ordinance to Amend the Zoning Ordinance, Article 1 Districts to the Monday, June 3, 2024, Planning Commission Public Hearing
- Table Item No. 8 - An Ordinance to Amend the Zoning Ordinance, Article 10 Definitions to the Monday, June 3, 2024, Planning Commission Public Hearing

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

**APPROVAL OF AGENDA: 6:17 p.m.**

Motion made to **APPROVE** the Agenda as amended by Commission Member Ward and Seconded by Commission Member Huff

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

**APPROVAL OF PRIOR MEETING MINUTES: 6:18 p.m.**

Motion made to **APPROVE** the Planning Commission Monday, April 1, 2024, Public Hearing Meeting Minutes as presented by Vice-Chairperson Nash and Seconded by Commission Member Huff

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward

**NEW BUSINESS:**

- 3. **RZC2024-00053** (6:19 p.m.) – Applicant and Property Owner: Cam-Thuy Truong; An application to rezone the subject property from RS-180 (Single-Family Residential District) to OI (Office Institutional District); The property is located at 513 Scenic Highway; Parcel Identification Number 5116 107; Approximately 0.74 Acres.

Motion made to recommend **APPROVAL** of **RZC2024-00053** by Commission Member Henriksen and Seconded by Vice-Chairperson Nash

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

Proponent: Cam-Thuy Truong (Applicant); Hip Sung Li (Applicant)

Opposition: None

- 5. **SUP2024-00088** (6:29 p.m.) – Applicant and Property Owner: Jason Mundy; An application for a Special Use Permit to allow the Storage of Vehicles Outdoors; The property is located at 562 John Connor Court; Parcel Identification Number 5177 063; Approximately 1.74 Acres.

Motion made to recommend **APPROVAL** of **SUP2024-00088** with the Applicant’s recommended conditions by Commission Member Henriksen and Seconded by Vice-Chairperson Nash

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

Proponent: William J. Diehl (Attorney – Smith Gambrell & Russell, LLP; Jason Mundy (Applicant & Property Owner)

Opposition: None

Attachments: SUP2024-00088\_APPL PC PWR PT\_05062024; SUP2024-00088\_APPL REC COND\_05062024

- 7. An ordinance to amend the Zoning Ordinance, Article 8 General Regulations - Map and Districts Established. (6:50 p.m.)

Motion made to recommend **APPROVAL** of an amendment to the Zoning Ordinance (adopted May 2020, as amended) which will result in changes to Article 8 related to General Regulations; Map and Districts Established by Vice-Chairperson Nash and Seconded by Commission Member Ward

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

Proponent:

None

Opposition:

None

**PUBLIC COMMENT**

No Public Comment

**FINAL ADJOURNMENT: 7:00 p.m.**

Motion made **to ADJOURN** by Vice-Chairperson Nash and Seconded by Commission Member Ward.

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward

# Mundy's Collision

## —*SUP for Vehicle Storage*—

William J. Diehl

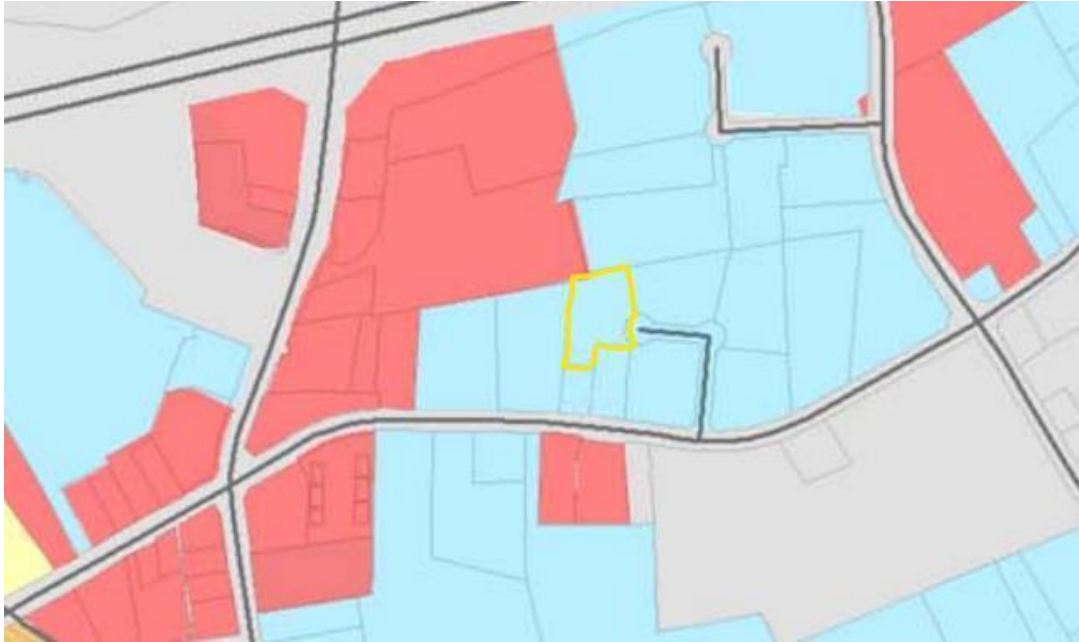
Smith, Gambrell & Russell, LLP

1105 W. Peachtree Street, Suite 1000

Atlanta, Georgia 30309



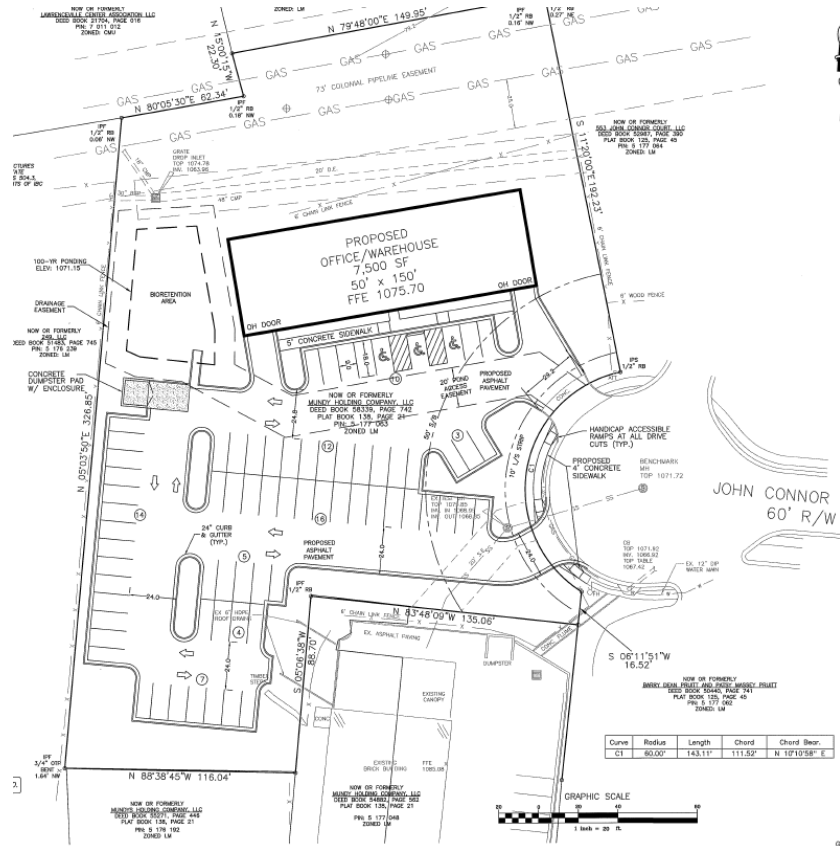




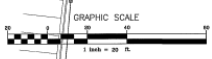








Curve	Radius	Length	Chord	Chord Bear.
C1	60.00'	143.11'	111.52'	N 10°10'56\"





- I. ~~The Special Use Permit shall be limited to a period of two years, at which time the use shall cease, or an application made for renewal.~~ The Special Use Permit shall be valid only during the Applicant or the Property Owner ownership of the property and, in the event of a transfer, the Special Use Permit shall expire unless renewed within ninety (90) days of the transfer.

R. Outdoor parking/storage of passenger vehicles shall be solely within the screened parking area. Any one vehicle shall not be parked in the same location for more than thirty (30) consecutive days.

- J. In the event that the owner is convicted of three (3) violations of these conditions or the zoning ordinance with respect to the use of the Property in one 365 day period, the SUP shall be revoked.

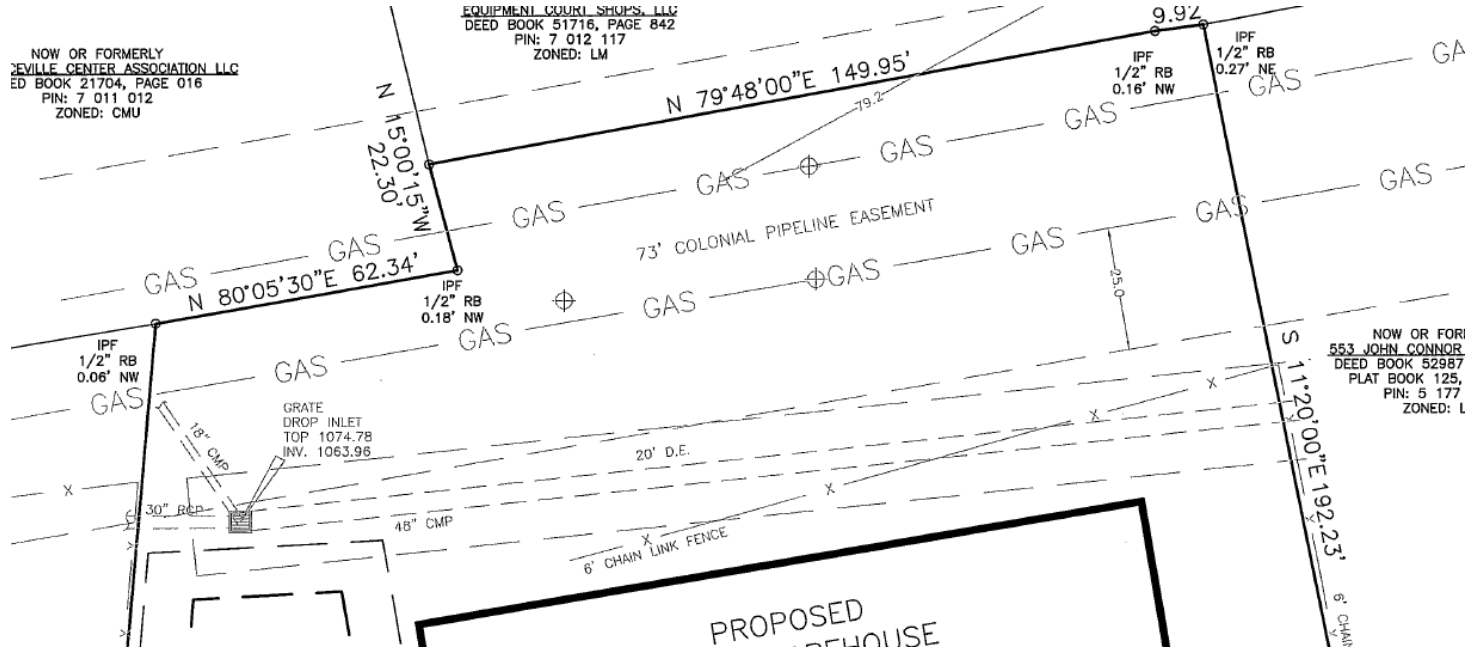
- F. Provide a ~~twenty-five-foot-wide (25 ft.)~~ minimum ten-foot-wide (10 ft.) landscape strip ~~and earthen berm~~ and six-foot double shadow box fence along the right-of-way of John Connor Court. The ~~earthen berm~~ fence and landscaping shall provide an opaque year-round visual screening at minimum height of six feet. The final design shall be subject to the review and approval of the Director of Planning and Development.
- G. Provide a fifty-foot wide (50ft) Landscape Strip along the northern property line, where not impeded by the Colonial Gas Pipeline easement or the drainage easements. The final design shall be subject to the review and approval of the Director of Planning and Development.
- H. Provide a fifteen-foot wide (15 ft.) ~~Landscape Strip~~ replanted buffer along the southern and western property lines. The replanted buffer shall contain a mixture of at least two native evergreen species as provided in Section 402 of the Zoning Ordinance, one of which shall be planted every twenty feet (20 ft). ~~The final design shall be subject to the review and approval of the Director of Planning and Development.~~



NOW OR FORMERLY  
DEVILLE CENTER ASSOCIATION LLC  
DEED BOOK 21704, PAGE 016  
PIN: 7 011 012  
ZONED: CMU

EQUIPMENT COOKI SHOPS, LLC  
DEED BOOK 51716, PAGE 842  
PIN: 7 012 117  
ZONED: LM

NOW OR FOR  
553 JOHN CONNOR  
DEED BOOK 52987  
PLAT BOOK 125,  
PIN: 5 177  
ZONED: L









- I. Provide a solid wood fence or slatted fence at least 6-feet in height along the inside edge of the 25-foot wide landscape strip required along the eastern property line for the entire property, except for approved access on John Connor Court. The location of a solid wood fence or slatted fence shall be subject to review and approval by the Director of Planning and Development.
  
- Q. The required fencing shall not contain any signate and shall be maintained in good repair at all times. All fencing and screening shall be subject to review and approval by the Director of Planning and Development.

# Visibility from Hurricane Shoals



- F. Provide a ~~twenty-five foot wide (25 ft.)~~ minimum ten-foot-wide (10 ft.) landscape strip ~~and earthen berm~~ and six-foot double shadow box fence along the right-of-way of John Connor Court. The ~~earthen berm fence~~ and landscaping shall provide an opaque year-round visual screening at minimum height of six feet. The final design shall be subject to the review and approval of the Director of Planning and Development.
- G. Provide a fifty-foot wide (50ft) Landscape Strip along the northern property line, where not impeded by the Colonial Gas Pipeline easement or the drainage easements. The final design shall be subject to the review and approval of the Director of Planning and Development.
- H. Provide a fifteen-foot wide (15 ft.) ~~Landscape Strip~~ replanted buffer along the southern and western property lines. The replanted buffer shall contain a mixture of at least two native evergreen species as provided in Section 402 of the Zoning Ordinance, one of which shall be planted every twenty feet (20 ft). ~~The final design shall be subject to the review and approval of the Director of Planning and Development.~~
- I. Provide a solid wood fence or slatted fence at least 6-feet in height along the inside edge of the ~~25-foot wide landscape strip~~ required along the ~~eastern~~ property line for the entire property, except for approved access on John Connor Court. The location of a solid wood fence or slatted fence shall be subject to review and approval by the Director of Planning and Development.
- J. ~~Provide a solid wood fence, masonry wall or slated fence at least 6 feet in height along the side or rear of the property lines.~~
- K. Landscape Strips shall be planted with one (1) Overstory Tree, one (1) Understory Tree, eighteen (18) Evergreen Shrubs, eighteen (18) Ornamental Grasses and eighteen (18) Ground Coverings per one hundred (100 ft.) of road frontage along Curtis Road. Driveway widths and other ingress and egress areas may be subtracted from the landscape strip lineal feet calculation. Landscape Plans shall be subject to review and approval of the Director of Planning and Development.
- L. Planted Conifer and Evergreen trees shall be at least six feet in height at the time of planting.
- M. Planted deciduous trees shall be at least three inches caliper at time of planting.
- N. Ornamental Grasses and Ground Covering shall be a minimum size of one-gallon container at time of planting with a minimum height of one foot.
- O. Preserved Trees may be counted toward fulfilling the tree requirements within the twenty-five-foot (25 ft.) Landscape Strip. Bradford pear, Gingko (Female), Loblolly, Longleaf, Shortleaf, Slash Pine(s) shall be considered unacceptable trees.
- P. Earthen berms, fencing, landscaping and outdoor storage parking shall not be located within a drainage easement, pipeline easement or sanitary sewer easement.
- Q. The required fencing shall not contain any signate and shall be maintained in good repair at all times. All fencing and screening shall be subject to review and approval by the Director of Planning and Development.
- R. Outdoor parking/storage of passenger vehicles shall be solely within the screened parking area. Any one vehicle shall not be parked in the same location for more than thirty (30) consecutive days.
- S. During construction, a five-foot (5 ft.) Construction Tree and landscape Setback shall be maintained, as measured horizontally, from the outer most perimeter of areas delineated as Floodplain, Landscape Strips, Stream Buffers, or Undisturbed Wetlands.

P2024-00088\_APPL REC COND\_05062024

- T. A five-foot (5 ft.) Construction Setback shall terminate with the issuance of a Certificate of Completion, Development Conformance, and/or Occupancy.
- U. Exit/entrance design and location shall be subject to review and approval of the City Engineer.
- V. Ground signage shall be limited to monument-type signs(s), and shall be subject to review and approval by the Director of Planning & Development. The sign shall include a minimum two-foot-high brick base, complementing the building's architectural treatment. The brick base shall extend at least the full width of the sign cabinet, and the sign cabinet shall be fully recessed and surrounded by the same materials. Ground signs(s) shall not exceed 6 feet in height.
- W. Lighting shall be contained in cut-off type luminaries and shall be directed toward the property so as not to shine directly into adjacent properties or public right-of-way.
- X. Dumpsters shall be screened by solid masonry walls matching the building, with an opaque metal gate enclosure.



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: APPROVAL OF PRIOR MEETING MINUTES

**Item:** June 2024 Planning Commission Minutes  
**Department:** Planning and Development  
**Date of Meeting:** Monday, July 1, 2024  
**Applicant Request:** **Approval**  
**Presented By:** Todd Hargrave, Director of Planning and Development  
**Department Recommendation:** **Approval**

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**Summary:** Minutes to be approved from the June 2024 Public Hearing

- Attachments/Exhibits:**
- June Public Hearing Minutes



# LAWRENCEVILLE

GEORGIA

## **PLANNING COMMISSION**

### **MEETING MINUTES**

Monday, June 3, 2024

Council Assembly Room

6:00 p.m.

70 South Clayton Street, Lawrenceville, Ga 30046

#### **CALL TO ORDER: 6:00 p.m.**

#### **PRESENT**

Chairperson Bruce Hardy

Vice-Chairperson James Nash

Commission Member Stephanie Henriksen

Commission Member Sheila Huff

Commission Member Darion Ward

#### **APPROVAL OF AGENDA: 6:01 p.m.**

Motion made to **AMEND** the Agenda as presented by Vice-Chairperson Nash and Seconded by Commission Member Huff

- Table Item No. 4 - An Ordinance to Amend the Zoning Ordinance, Article 1 Districts to the Monday, July 1, 2024, Planning Commission Public Hearing
- Table Item No. 5 - An Ordinance to Amend the Zoning Ordinance, Article 6 Architectural and Design Standards to the Monday, July 1, 2024, Planning Commission Public Hearing
- Table Item No. 6 - An Ordinance to Amend the Zoning Ordinance, Article 10 Definitions to the Monday, July 1, 2024, Planning Commission Public Hearing
- Table Item No. 7 - An Ordinance to Amend the Zoning Ordinance, Article 11 Inactive Zoning Districts to the Monday, July 1, 2024, Planning Commission Public Hearing

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

**APPROVAL OF AGENDA: 6:03 p.m.**

Motion made to **APPROVE** the Agenda as amended by Vice-Chairperson Nash and Seconded by Commission Member Henriksen

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

**APPROVAL OF PRIOR MEETING MINUTES: 6:04 p.m.**

Motion made to **APPROVE** the Planning Commission Monday, May 6, 2024, Public Hearing Meeting Minutes as presented by Commission Member Henriksen and Seconded by Commission Member Huff

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward

**NEW BUSINESS:**

- 1. **RZC2024-00054 6:05 p.m.** – Applicant And Property Owner: Stacey Patterson; an application to rezone the subject property from split BG (General Business District) & RM-12 (Multifamily Residential District) to BG (General Business District); The property is located at 194 Gwinnett Drive; Parcel Identification Number 5142 110; Approximately 1.19 acres.

Motion made to recommend **APPROVAL** of **RZC2024-00054** with Staff recommended conditions by Commission Member Henriksen and Seconded by Vice-Chairperson Nash

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

Proponent: Stacey Patterson (Applicant)

Opposition: None

**2. SUP2024-00086 6:15 p.m.** - Applicant: Juanita Wade; Property Owner: 4SEAS Investments Group LLC; An application to renew the Special Use Permit for a Banquet Hall in Suite 1200; The property is located at 3130 Sugarloaf Parkway; Parcel Identification Number 5085 695; Approximately 3.4 acres.

Motion made to recommend **APPROVAL** of **SUP2024-00086** with the Staff recommended conditions by Vice-Chairperson Nash and Seconded by Commission Member Ward

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

Proponent: Applicant was not present

Opposition: None

**3. SUP2024-00089 6:20 p.m.** - Applicant: W. Charles Ross, Esq.; Property Owner: Allen Whitely; An application for a Special Use Permit to allow Outdoor Storage and Display of Trailers; The property is located at 381 Industrial Park Drive; Parcel Identification Number 5177 027F; Approximately 2.22 acres.

Motion made to recommend **WITHDRAWAL WITHOUT PREJUDICE** of **SUP2024-00089** with by Vice-Chairperson Nash and Seconded by Commission Member Huff

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward.

**PUBLIC COMMENT**

No Public Comment

**FINAL ADJOURNMENT: 6:25 p.m.**

Motion made **to ADJOURN** by Commission Member Henriksen and Seconded by Commission Member Ward.

Voting Yea: Chairperson Hardy, Vice-Chairperson Nash, Commission Member Henriksen, Commission Member Huff, Commission Member Ward

**PLANNING COMMISSION RECOMMENDED CONDITIONS**

**RZC2024-00054\_06032024**

Approval of BG (General Business District) for a wide range of retail and service establishments, subject to the following enumerated conditions:

- 1. To restrict the use of the property as follows:**
  - A.** No tents, canopies, temporary banners, streamers, or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-twirlers, or sign walkers shall be prohibited.
  - B.** Peddlers and/or any parking lot sales unrelated to the rezoning shall be prohibited.
  - C.** Outdoor storage shall be prohibited.
  - D.** The owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
  
- 2. To satisfy the following site development considerations:**
  - A.** The development shall be constructed in conformity with the City of Lawrenceville Zoning Ordinance and Development Regulations. The final design shall be subject to the review and approval of the Director of Planning and Development.
  - B.** Electrical, Mechanical, Plumbing or Structural modifications shall be subject to the rules and regulations of the International Building Code (IBC). Plans shall be subject to the review and approval of the Director of Planning and Development.
  - C.** Landscape shall be designed and installed to meet the conditions of zoning, requirements of the Zoning Ordinance and Development Regulations. The final design shall be subject to the review and approval of the Director of Planning and Development.
  - D.** Provide a minimum of one (1) parking space per 400 square feet gross retail floor area, all parking must be on an approved surface and striped.
  - E.** Provide a ten (10) foot landscape strip adjacent to all public right-of-ways.

C2024-00054\_PC RECO CNDS\_06032024

- F.** Provide a five (5) foot concrete sidewalk adjacent to all public right-of-ways.
- G.** Lighting shall be contained in cut-off type luminaries and shall be directed toward the property so as not to shine directly into adjacent properties or rights-of-way.
- H.** Dumpsters shall be screened by solid masonry walls matching the building, with an opaque metal gate enclosure.

**PLANNING COMMISSION RECOMMENDED CONDITIONS**

**SUP2024-00086\_06032024**

Approval of Special Use Permit for a Special Event Facility/Banquet Hall, subject to the following conditions:

1. General Business uses, which may include a Special Event Facility/Banquet Hall as a special use allowing conferences, galas, weddings, and other similar events.
2. No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-twirlers or sign walkers shall be prohibited.
3. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.
4. Peddlers and/or any parking lot sales unrelated to the Special Use shall be prohibited.
5. Outdoor storage shall be prohibited.
6. Dumpsters shall be screened by solid masonry walls matching the building, with an opaque metal gate enclosure.
7. The owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
8. Alcohol may only be served at an indoor special events facility by a licensed caterer under the provisions set forth in the Code of the City of Lawrenceville, Georgia Chapter 4 Alcoholic Beverages or by the owner of the indoor special events facility in compliance with all applicable sections of the Code of the City of Lawrenceville, Georgia Chapter 4 Alcoholic Beverages.
9. Requires proper licenses for food service; must comply with all local, county, and state laws and regulations.

**10.** Business must acquire a new Certificate of Occupancy within 90 days of approval from City Council or this Special Use Permit is void. The name of the business/tenant name shall be consistent across the Gwinnett Fire Marshall Certificate of Occupancy, City of Lawrenceville Certificate of Occupancy, and the City of Lawrenceville Occupation Tax Certificate.

~~**11.** The Special Use Permit shall be limited to a period of two years, at which time the use shall cease, or an application made for renewal.~~

**PLANNING COMMISSION RECOMMENDED CONDITIONS**

**SUP2024-00089\_ WITHDRAWAL WITHOUT PREJUDICE**

~~Approval of a Special Use Permit for Outdoor Storage and Outdoor Display of Trailers, subject to the following enumerated conditions:~~

~~1. To restrict the use of the property as follows:~~

- ~~A. Outdoor Storage and Outdoor Display shall be prohibited within the designated Front Yard Area. All inventory for sale or displayed shall be within the area secured by a perimeter fence.~~
- ~~B. No tents, canopies, temporary banners, streamers, or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot air balloons shall be displayed on the site. Yard and/or bandit signs, sign twirlers, or sign walkers shall be prohibited.~~
- ~~C. Peddlers and/or any parking lot sales unrelated to the rezoning shall be prohibited.~~
- ~~D. The owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.~~

~~2. To satisfy the following site development considerations:~~

- ~~A. All fences shall be covered with an opaque material to screen all outdoor storage from the right of way.~~
- ~~B. The development shall be constructed in conformity with the City of Lawrenceville Zoning Ordinance and Development Regulations. The final design shall be subject to the review and approval of the Director of Planning and Development.~~
- ~~C. Electrical, Mechanical, Plumbing or Structural modifications shall be subject to the rules and regulations of the International Building Code (IBC). Plans shall be subject to the review and approval of the Director of Planning and Development.~~
- ~~D. Landscape shall be designed and installed to meet the conditions of zoning, requirements of the Zoning Ordinance and Development Regulations. The final design shall be subject to the review and approval of the Director of Planning and Development.~~

P2024-00089\_PC RECO CNDS\_06032024

- ~~**E.** Provide a minimum of one (1) parking space per 300 square feet gross retail floor area and two (2) spaces per automotive service bay with an additional one (1) space per GSF of service area. All parking must be on an approved surface and striped.~~
- ~~**F.** Provide a ten (10) foot landscape strip adjacent to all public right-of ways.~~
- ~~**G.** Provide a five (5) foot concrete sidewalk adjacent to all public right-of ways.~~
- ~~**H.** Lighting shall be contained in cut-off type luminaries and shall be directed toward the property so as not to shine directly into adjacent properties or rights-of way.~~
- ~~**I.A.** Dumpsters shall be screened by solid masonry walls matching the building, with an opaque metal gate enclosure.~~

**Paul Lorenc**

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**From:** Chuck Ross <cross@powelledwards.com>  
**Sent:** Tuesday, May 21, 2024 16:39  
**To:** Todd Hargrave; Paul Lorenc  
**Subject:** RE: Notification Letters for Lawrenceville

**CAUTION:** This email originated from outside of City of Lawrenceville networks. Maintain caution when opening attachments or clicking on links. If you suspect this email is phishing, or you aren't sure, please click the **Phish Alert Button** in the menu ribbon to report it to the HelpDesk or contact the HelpDesk directly for assistance.

Regretfully, our client has opted to terminate the contract to purchase the property and wishes to withdraw its application for Special Use Permits. We apologize for any inconvenience. Please let me know if there is anything else you need me to provide to effectuate the withdrawal.

Chuck

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**From:** Chuck Ross  
**Sent:** Monday, April 29, 2024 12:12 PM  
**To:** Todd Hargrave <Todd.Hargrave@lawrencevillega.org>; 'Paul Lorenc' <paul.lorenc@lawrencevillega.org>  
**Subject:** Notification Letters for Lawrenceville

Attached, please find the notification packet and proof of mailing which were sent today.

Chuck

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**W. Charles “Chuck” Ross, Partner**  
Phone: (770) 962-0100 | Fax: (770) 963-3424  
Post Office Box 1390, Lawrenceville, GA 30046  
[www.PowellEdwards.com](http://www.PowellEdwards.com)



*Voted Best of Gwinnett, 2016, 2017, 2018, 2019, 2020, 2021, 2022, 2023*

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P2024-00089\_WD LTR\_05212024



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

**Item:** RZC2024-00058; City of Lawrenceville; Reynolds Road  
**Department:** Planning and Development  
**Date of Meeting:** Monday, July 1, 2024  
**Applicant Request:** Rezone subject property from BG (General Business District) to LM (Light Manufacturing District)  
**Presented By:** Todd Hargrave, Director of Planning and Development  
**Department Recommendation:** **Approval with Conditions**

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**Summary:** The city requests a rezoning for various properties along Reynolds Road (PINs: R7012 021, R7012 022A, R7012 026A, R7012 035, R7012 039, R7012 049, R7012 061, and R7012 062) from BG (General Business District) to LM (Light Manufacturing District).

**Attachments/Exhibits:**

- RZC2024-00058\_Report
- RZC2024-00058\_P&D Recommended Conditions
- RZC2024-00058\_Application
- RZC2024-00058\_Letter of Intent
- RZC2024-00058\_Legal Descriptions
- RZC2024-00058\_Conceptual Site Plan
- RZC2024-00058\_Conceptual Elevations
- RZC2024-00058\_Aerial Map – Zoomed In (1:2,750)
- RZC2024-00058\_Aerial Map – Zoomed Out (1:5,500)
- RZC2024-00058\_Zoning Map – Zoomed In (1:2,750)
- RZC2024-00058\_Zoning Map – Zoomed Out (1:5,500)
- RZC2024-00058\_Character Areas Map – Zoomed In (1:2,750)
- RZC2024-00058\_Character Areas Map – Zoomed Out (1:5,500)



# LAWRENCEVILLE

*Planning & Development*

## REZONING

**CASE NUMBER:** RZC2024-00058

**APPLICANT:** CITY OF LAWRENCEVILLE, C/O TODD HARGRAVE

**OWNER(S):** LOUISE ILER, JOHN RUSSELL, DALONE  
CHOUMMANIVONG, KIM CHA, AND YAKOV KIZNER

**LOCATION(S):** REYNOLDS ROAD, VARIOUS PROPERTIES

**PARCEL ID(S):** R7012 021, R7012 022A, R7012 026A, R7012 035,  
R7012 039, R7012 049, R7012 061, & R7012 062

**APPROXIMATE ACREAGE:** 7.22 ACRES

**ZONING PROPOSAL:** BG (GENERAL BUSINESS DISTRICT) TO LM (LIGHT  
MANUFACTURING DISTRICT)

**PROPOSED DEVELOPMENT:** LANDSCAPE SUPPLY COMPANY W/ RETAIL

**DEPARTMENT RECOMMENDATION:** **APPROVAL WITH CONDITIONS**

**VICINITY MAP**





# LAWRENCEVILLE

## Planning & Development

### ZONING HISTORY

The subject property has been zoned BG (General Business District) since circa 2002, which is the earliest zoning record on file for the parcel. There are no rezoning cases on record for the subject property.

### PROJECT SUMMARY

The applicant requests a rezoning for various properties along Reynolds Road (PINs: R7012 021, R7012 022A, R7012 026A, R7012 035, R7012 039, R7012 049, R7012 061, and R7012 062) from BG (General Business District) to LM (Light Manufacturing District) to allow for the development of a landscape supply business with a retail component and outdoor storage at the location. The subject property consists of eight parcels with an overall area of approximately 7.22 acres (including 0.41 acres of abandoned right-of-way) located at the northern right-of-way of Reynolds Road, directly north of GA 316. The subject property is currently vacant and undeveloped.

### CONCEPT PLAN

**"NOT FOR FINAL RECORDING"**  
**TOTAL AREA = 7.22 ± ACRES**

PARCEL: 055 036 ZONED: B-C

REZONE REQUEST: CURRENTLY ZONED B-C  
REQUESTING LM ZONING TO ALLOW FOR THE LUXURY LANDSCAPE SUPPLY DEVELOPMENT.  
TOTAL SITE AREA = 7.22 ± ACRES

PROPOSED USE = LANDSCAPE SUPPLY RETAILER

**NOTES:**

- BOUNDARY SURVEY INFORMATION TAKEN FROM A SURVEY BY 00000X, DATED 04/04/2024
- THERE ARE NO 100 YEAR WETLANDS ON THE SITE.
- UN-NAMED TRIBUTARY OF CEDAR CREEK IS LOCATED ALONG THE SOUTH SIDE OF THE SITE.
- NO PORTION OF THE PROPERTY IS IN A DESIGNATED FLOOD HAZARD AREA FOR FIRM PANEL 131000040H DATED SEP. 28, 2006.
- THERE ARE NO TYPED WATERS ON SITE.
- THE PROJECT WILL BE SERVED BY DUNNETT COUNTY WATER.
- THE PROJECT WILL BE SERVED BY DUNNETT COUNTY SEWER.

**SITE ANALYSIS**

BUILDING OFFICE	5,400 S.F.
ZONED	LM
TOTAL AREA	7.22 AC.
<b>PARKING CALCULATION</b>	
1 SP./300 S.F. MIN.	18 SPACES
TOTAL REQUIRED MIN.	18 SPACES
TOTAL PROVIDED	59 SPACES
<b>H.C. SPACES REQ.</b>	
1 H.C. SP. / 25 SP.	3 SPACES
H.C. SPACES REQUIRED	3 SPACES
H.C. SPACES PROVIDED	4 SPACES

TOTAL SITE AREA	= 7.22 ACRES
TOTAL DISTURBED AREA	= 6.81 ACRES
THERE ARE NO 100 YEAR WETLANDS ON THE SITE.	
THERE ARE NO 100 YEAR FLOOD HAZARD AREAS ON THE SITE.	
THERE ARE NO TYPED WATERS ON THE SITE.	
THERE ARE NO TYPED SEWERS ON THE SITE.	

BY: THE COUNTY OF LAWRENCEVILLE, GA  
DATE: FEBRUARY, 2024 AT 10:00 AM

VICINITY MAP  
N.T.S.

**REZONE PLAN**

**PROPOSED LUXURY LANDSCAPE SUPPLY**

7012 062 7012 039  
7012 061 7012 049  
7012 022A 7012 026A  
7012 021 7012 035

PARCEL: 055 036  
LAND LOT: 12  
DISTRICT: 791  
REYNOLDS ROAD  
CITY OF LAWRENCEVILLE, GA

DATE: 4/30/2024  
SCALE: 1"=50'

DEVELOPER  
LUXURY LANDSCAPE SUPPLY  
166 PARK ACCESS DR.  
LAWRENCEVILLE, GA 30046  
ALEX RICHARDSON  
PHONE: 770-515-7333  
www.luxurylandscape.com

24-HOUR - EMERGENCY CONTACT  
ALEX RICHARDSON  
PHONE: 770-515-7333  
www.luxurylandscape.com

REVISIONS

NO.	DATE	DESCRIPTION

JOB No. # 24-020  
RZ

**GEORGIA811**  
www.Georgia811.com

RZC2024-00058  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT



# LAWRENCEVILLE

## Planning & Development

### ZONING AND DEVELOPMENT STANDARDS

The applicant requests to rezone the property to LM (Light Manufacturing District) in order to develop a landscaping supply business with outdoor storage and a retail component at the subject property. Based on the letter of intent and the conceptual site plan provided by the applicant, the development will include an approximately 13,000 square foot building consisting of 5,400 square feet of office and 7,600 square feet of covered retail display area space. The frontage along Reynolds Road will include a twenty (20) foot landscape buffer, beyond which will be stacked pallets storage and seven truck parking spaces. Further, a bulk storage area is located in the northeastern corner of the property. The proposed development consists of the following:

**Article 1 Districts, Section 102.14 LM Light Manufacturing District, Table B. Lot Development Standards**

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
Minimum Lot Area	25,000 sq. ft.	315,000 sq. ft.	N/A
Minimum Lot Width	50 feet	1,050 feet	N/A
Minimum Front Yard Setback	50 feet	50 feet	N/A
Minimum Side Yard Setback	0 feet	0 feet	N/A
Minimum Rear Yard Setback	0 feet	0 feet	N/A
Impervious Surface Coverage	85%	85%	N/A
Maximum Building Height	50 feet	50 feet	N/A

**Article 4 Buffers, 403 Buffers Table (LM)**

<b>Adjacent Development</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
All Exterior Street Frontages	20 feet	20 feet	N/A
BG	50 feet	20 feet	<b><u>REDUCTION</u></b>



# LAWRENCEVILLE

## Planning & Development

### Article 5 Parking, Table 5-3: Number of Off-Street Parking Spaces Required

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
Retail Sales and Service (less than 10,000 GSF) & Office	1 space per 300 GFA (43 spaces)	1.37 spaces per 300 GSF (59 spaces)	N/A

At a minimum, the development as proposed requires a buffer reduction from fifty (50) feet to twenty (20) feet in the rear of the property, where it borders a property that is zoned BG (General Business District).

#### **SURROUNDING ZONING AND USE**

The area around the subject property consists almost entirely of commercial and institutional uses and zoning districts. The lone exception to this is a property zoned BG (General Business District) located at 427 Reynolds Road, which is used as a residential dwelling. This parcel borders the subject property almost directly to the east, separated from it by a thirty-five (35) foot-wide parcel used as an access easement for a billboard along Reynolds Road. Otherwise, the other surrounding uses include the Gwinnett County Jail further to the east, zoned OI (Office-Institutional District). To the north is an office and warehouse space for Jackson EMC, which is also zoned BG. To the west, across the right-of-way of Reynolds Road, are a trio of parcels zoned HSB (Highway Service Business District), which are otherwise vacant apart from a single billboard. Finally, across GA 316 to the south are industrial properties zoned LM (Light Manufacturing District), including the office and warehouse space for United Rentals.

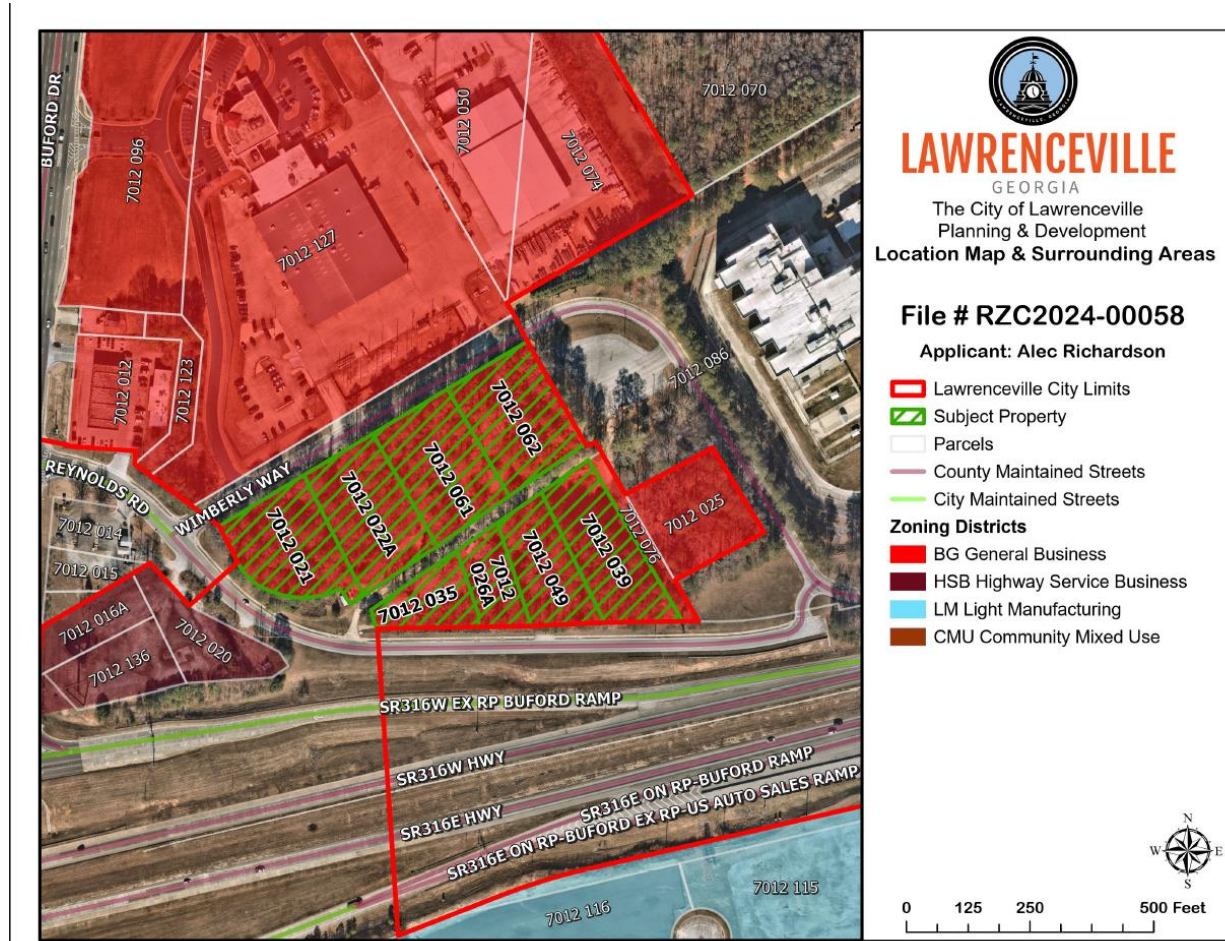
While the proposed request to rezone the property to LM is not necessarily consistent with the existing zoning patterns in the area immediately surrounding the subject property (i.e., it would be a spot zoning), the proposed development would not be out of place when considering the type and intensity of established uses. However, special considerations need to be made to accommodate the existing residential use that borders the subject property to the east.



# LAWRENCEVILLE

## Planning & Development

### CITY OF LAWRENCEVILLE OFFICIAL ZONING MAP



### 2045 COMPREHENSIVE PLAN

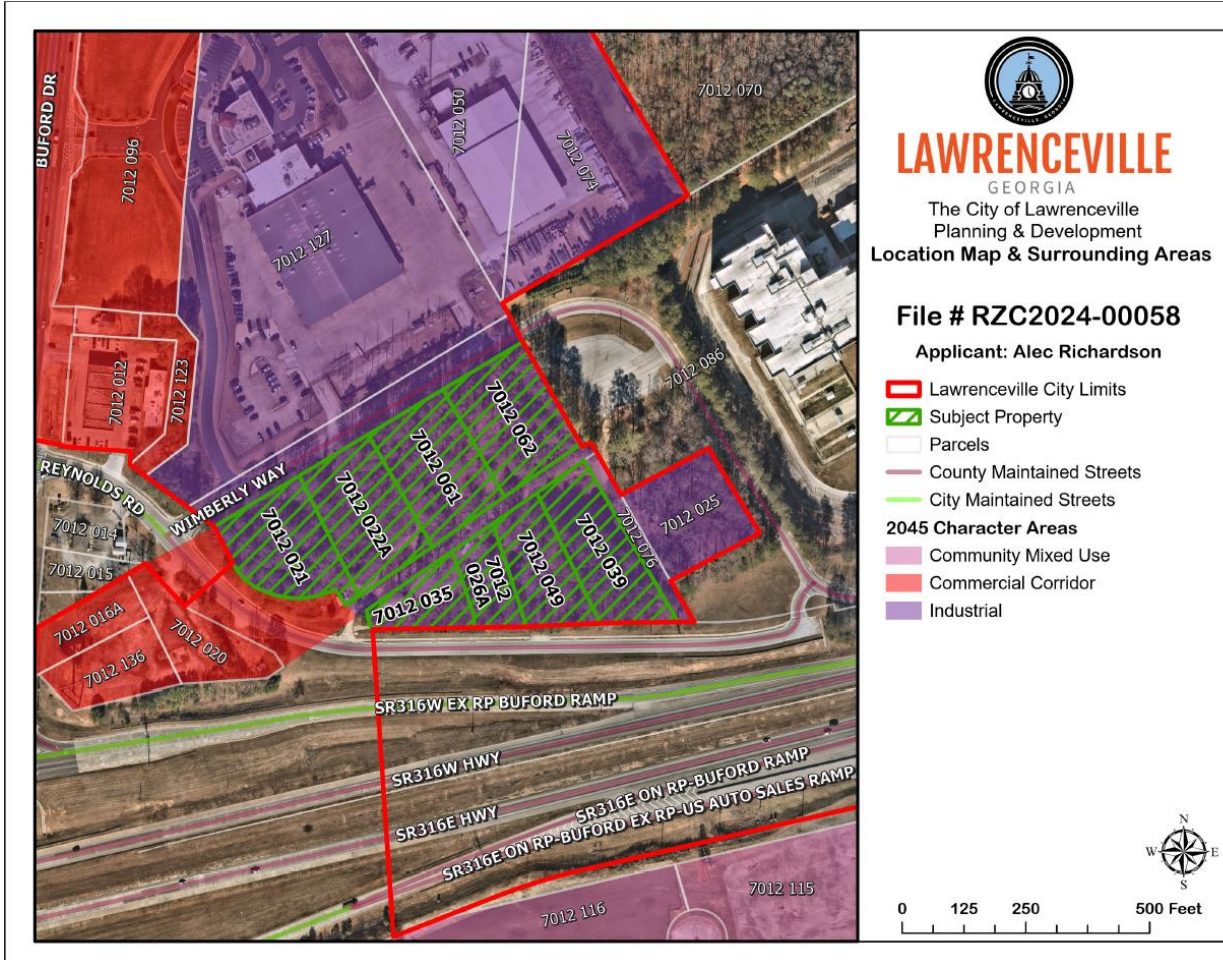
The City of Lawrenceville 2045 Comprehensive Plan and Future Development Map indicate the subject property is located within the Industrial character area. The industrial character area leverages both its location along SR 316 and the growing distribution and technology industries. This area supports a variety of job/work types with a focus on skilled jobs and attracting high-tech businesses in Class A office space and modern light industrial facilities. As proposed, this development would meet the standards for the Industrial character area as established in the 2045 Comprehensive Plan.



# LAWRENCEVILLE

## Planning & Development

### LAWRENCEVILLE 2045 COMPREHENSIVE PLAN - FUTURE LAND USE PLAN MAP



#### STAFF RECOMMENDATION

In conclusion, while the proposal is consistent with the existing uses of the area as well with the long-term vision for the city as established by the 2045 Comprehensive Plan, such a rezoning action would be a spot-zoning in the sense that there are no properties zoned LM (Light Manufacturing) in the general vicinity of the subject property. In this case however, a greater weight should be provided to both the existing and future uses in the area, which would favor such a rezoning. Given the aforementioned factors, the Planning and Development Department recommends **APPROVAL WITH CONDITIONS** for the proposed rezoning.



# LAWRENCEVILLE

## *Planning & Development*

### **CITY OF LAWRENCEVILLE DEPARTMENT COMMENTS:**

#### **ENGINEERING DEPARTMENT**

No comment

#### **PUBLIC WORKS**

No comment

#### **ELECTRIC DEPARTMENT**

No comment

#### **GAS DEPARTMENT**

No comment

#### **DAMAGE PREVENTION DEPARTMENT**

No comment

#### **CODE ENFORCEMENT**

No comment

#### **STREET AND SANITATION DEPARTMENT**

No comment



# LAWRENCEVILLE

## Planning & Development

### STATE CODE 36-67-3 (FMR.) REVIEW STANDARDS:

- 1. Whether a zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;**

*Yes. The surrounding area contains a wide range of commercial, institutional, and light industrial uses. However, special considerations may need to be afforded to a residential property to the east of the subject property.*

- 2. Whether a zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;**

*As previously discussed, some type of access agreement may need to be established with the residential property to the east of the subject property.*

- 3. Whether the property to be affected by a zoning proposal has a reasonable economic use as currently zoned;**

*Yes; the current General Business zoning district affords a wide range of commercial uses.*

- 4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;**

*The project will induce demand on public facilities in the form of traffic, utilities, and stormwater runoff. However, the effects of this demand can be mitigated through zoning condition and active planning efforts moving forward.*

- 5. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan;**

*Yes; the proposed development is consistent with the policy and intent for the Industrial character area in the 2045 Comprehensive Plan.*



# LAWRENCEVILLE

## *Planning & Development*

- 6. Whether there are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval or disapproval of the zoning proposal;**

N/A

**P&D RECOMMENDED CONDITIONS**

**LUXURY LANDSCAPE\_05182024**

**RZC2024-00058**

Approval of an LM (Light Manufacturing District), subject to the following enumerated conditions:

- 1. To restrict the use of the property as follows:**
  - 1.** A Contractors Office, Landscape.
  - 2.** The development shall be designed in general accordance with the site plan titled “Rezone Plan, Proposed Luxury Landscape Supply” dated April 30, 2024, with changes necessary to meet conditions of zoning, requirements of the Zoning Ordinance and/or Development Regulations, and other minor adjustments subject to final approval by the Director of Planning and Development.
  - 3.** Prior to the issuance of a Certificate of Occupancy the development of the subject property shall be in compliance with the rules and regulations of applicable governing agencies.
  - 4.** The design of the façades shall meet minimum architectural standards and shall be in accordance with the proposed renderings presented at the July 22 Council meeting. Final designs shall be subject to the review and approval of the Director of the Planning and Development Department. A temporary building shall be allowed for 8 months to allow for a new facility to be constructed on site.
  - 5.** No tents, canopies, temporary banners, streamers, or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative balloons or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-twirlers, or sign walkers shall be prohibited.
  - 6.** Peddlers and/or any parking lot sales unrelated to the rezoning shall be prohibited.
  - 7.** The owner shall repaint or repair any graffiti or vandalism that occurs on the property within seventy-two (72) hours.
  - 8.** Outdoor Storage is be allowed in the front yard if a 6’ opaque fence or a 4’ berm with landscaping along Reynolds Road is provided.

**9.**

**10.** Stacking of pallets of material of 3 units is allowed on the interior of the site. Stacking of pallets of material higher than 3 units is prohibited.

**11.** Gravel is allowed in storage areas and drives only. All drives that tie into a public Right of Way shall be paved within 100' of the property line and all pedestrian vehicle parking areas and drives shall be paved.

The area indicated as truck parking is only allowed for trucks, vehicles and equipment that is a part of the operation of Luxury Landscape. Storage of truck, vehicle or equipment that is not part of the operation of Luxury Landscape is prohibited.

**2. To satisfy the following site development considerations:**

**A.** The development shall be constructed in conformity with the City of Lawrenceville Zoning Ordinance and Development Regulations. The final design shall be subject to the review and approval of the Director of Planning and Development.

**B.** The area between the truck parking and Reynolds Road shall maintain a 50' undisturbed buffer from the ROW of Reynolds Road to shield the truck parking from Reynolds Road.

**C.** Underground utilities shall be provided throughout the development.

**D.** Natural vegetation shall remain on the property until the issuance of a development permit.

**E.** All disturbed areas not paved shall be sodded and/or landscaped.

**F.** Dust from operations at the site shall be controlled at all times.

**G.** Provide a twenty-foot-wide (20 ft.) Landscape Strip along the northern right-of-way of Reynolds Road and southern right-of-way of Wimberly Way. The final design shall be subject to the review and approval of the Director of Planning and Development.

**H.** Provide a 20-foot wide (20 ft.) Buffer along the eastern property line. The final design shall be subject to the review and approval of the Director of Planning and Development.

**I.** Landscape Strips and Buffer shall be planted with one (1) Overstory Tree, one (1) Understory Tree, eighteen (18) Evergreen Shrubs, eighteen (18) Ornamental Grasses and eighteen (18) Ground Coverings per one hundred

(100 ft.) of road frontage along Reynolds Road and Wimberly Way. Driveway widths and other ingress and egress areas may be subtracted from the landscape strip lineal feet calculation. Landscape Plans shall be subject to the review and approval of the Director of Planning and Development.

- J.** Planted Conifer and Evergreen trees shall be at least six feet in height at time of planting.
  - K.** Planted Deciduous trees shall be at least three inches caliper at time of planting.
  - L.** Ornamental Grasses and Ground Covering shall be a minimum size of one-gallon container at time of planting with a minimum height of one foot.
  - M.** Preserved Trees may be counted toward fulfilling the tree requirement within the twenty-foot (20 ft.) Landscape Strip and Buffer. Bradford Pear, Gingko (Female), Loblolly, Longleaf, Shortleaf, Slash Pine(s) shall be considered unacceptable trees.
  - N.** During construction, a five-foot (5 ft.) Construction Tree and Landscape Setback shall be maintained, as measured horizontally, from the outer most perimeter of areas delineated as Floodplain, Landscape Strips, Stream Buffers, Undisturbed Wetlands or Zoning Buffer.
  - O.** A five-foot (5 ft.) Construction Setback shall terminate with the issuance of a Certificate of Completion, Development Conformance, and/or Occupancy.
  
  - P.** Ground Signage shall be limited to a maximum height of twelve-feet (12 ft.) and shall be setback from the right-of-way a minimum of twelve feet (12 ft.) from the property line. The maximum sign display area shall be limited to seventy-five (75 sq. ft.) Wall signage shall be limited to 36 square feet per elevation, with a total wall sign area limited to seventy-two (72 sq. ft.).
  - Q.** Lighting shall be contained in cut-off type luminaries and shall be directed toward the property so as not to shine directly into adjacent properties or public right-of-way.
  - R.** Dumpsters shall be screened by solid masonry walls matching the building, with an opaque metal gate enclosure.
- 3. The following variances are requested:**
- A.** A variance from the Zoning Ordinance, Article 4 Buffers, Section 403 Buffers

Table, Minimum Buffer Requirements allows for the reduction of the minimum buffer between LM (Light Manufacturing District) and OI (Office Institutional District) parcel(s) located in unincorporated Gwinnett County (PIN 7012 076) from fifty feet (50 ft.) to twenty feet (20 ft.).

A variance from the Zoning Ordinance, Article 4 Buffers, Section 403 Buffers Table, Minimum Buffer Requirements allows for the reduction of the minimum buffer between LM (Light Manufacturing District) and BG (General Business District) parcel(s) located within the municipal boundaries of the City of Lawrenceville (PIN 7012 076) from fifty feet (50 ft.) to twenty feet (20 ft.).

C. A variance from the Zoning Ordinance, Article 4 Buffers, Section 403 Buffers Table, Minimum Buffer Requirements allows for the reduction of the minimum buffer between LM (Light Manufacturing District) and BG (General Business District) zones from fifty feet (50 ft.) to forty feet (40 ft.).

D. A variance from the Zoning Ordinance, Article 5 Parking, Table 5-3: Number of Off-Street Parking Spaces Required allows a reduction in the number of required Off-Street Parking Spaces from one-hundred sixty-two (162) to one hundred thirty-two (132).

BK 49802 PG 0160

EXHIBIT "A"

ALL THAT TRACT or parcel of land lying and being in Land Lot 12 of the 7<sup>th</sup> District of Gwinnett County, Georgia, in the City of Lawrenceville, containing 1.08 Acres, more or less, according to plat of survey for West End Enterprises, Inc. prepared by Georgia Land Surveying Co., Inc. (Josh L. Lewis, III, Georgia Registered Land Surveyor No. 1751), dated November 12, 2004, and more particularly described as follows:

BEGINNING at a 1/2-inch rebar set at the point of intersection of the northeasterly side of Reynolds Road with the southeasterly side of Wimberly Way, and run thence along the southeasterly side of Wimberly Way North 61 degrees 02 minutes 26 seconds East a distance of 196.29 feet to a 1/2-inch rebar set at the northwest corner of property now or formerly owned by McGee; run thence South 25 degrees 30 minutes 14 seconds East along said McGee property a distance of 274.67 feet to a 1/4-inch rod located on the northwesterly side of Reynolds Road; run thence South 55 degrees 53 minutes 36 seconds West along the northwesterly side of Reynolds Road a distance of 98.41 feet to a nail set on the northeasterly side of Reynolds Road; run thence North 32 degrees 57 minutes 20 seconds West along the northeasterly side of Reynolds Road a distance of 44.42 feet to a 1/2-inch rebar set on the northerly side of Reynolds Road; run thence northwesterly along the northeasterly side of Reynolds Road an arc distance of 147.96 feet to a 1/2-inch rebar set, said arc having a radius of 139.20 feet and a chord bearing and distance of North 64 degrees 34 minutes 15 seconds West 141.09 feet; run thence North 40 degrees 17 minutes 21 seconds West and continuing along the northeasterly side of Reynolds Road a distance of 28.63 feet to a 1/4-inch rebar set; run thence North 24 degrees 27 minutes 26 seconds West and continuing along the northeasterly side of Reynolds Road a distance of 96.29 feet to the 1/2-inch rebar set at the point of beginning.

LESS AND EXCEPT any portion of the above described property lying within the existing easements or rights-of-way of Reynolds Road and Wimberly Way.

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

378 Reynolds Rd.

DEED B: 58291 P: 00620  
01/20/2021 11:16 AM Pgs: 2 Fees: \$25.00  
TTax: \$7.80  
Tiana P Garner, Clerk of Superior Court  
Gwinnett County, GA  
PT-61 #: 0672021001662

Robert McGee  
378 Reynolds Road 336 Camp Perrin Rd  
Lawrenceville, Georgia 30043 Lawrenceville GA 30043

STATE OF GEORGIA ss  
COUNTY OF GWINNETT ss

This Quit Claim Deed, executed between, REGGIE EUGENE MCGEE, whose address is 2 Park Street, Fayetteville, Georgia 37334, party of the first part, hereinafter referred to as "GRANTOR", and ROBERT MCGEE, party of the second part, hereinafter referred to as "GRANTEE", the words "GRANTOR" and "GRANTEE" to include the neuter, masculine and feminine genders, the singular and the plural;

WITNESSETH, that the GRANTOR, with love and affection, and in consideration of the sum of one dollar and other good and valuable consideration, cash in hand paid at or before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, has bargained and sold and by these presents does grant, bargain, sell, convey, remise, release and forever QUIT CLAIM unto the said GRANTEE, all the rights, title, interest, claim or demand which the GRANTOR may have had in and to the following described property:

An interest of the Grantor herein in and to the following described property, to-wit:

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 12 of the 7<sup>th</sup> Land District, Gwinnett County, Georgia, containing 1.04 acres according to a plat of survey for Mrs. M. O. McGee prepared by S. R. Fields, Registered Land Surveyor No. 739, dated November 11, 1981, revised March 30, 1982, and revised August 12, 1982, said plat being recorded in Plat Book 19, Page 88, Gwinnett County, Georgia Records and incorporated herein by referenced as a part of this description.

The above property is the same tract described in a Warrant Deed from Mrs. M. O. McGee et al to Paul McGee dated September 20, 1982, recorded in Deed Book 2448, Page 469, Gwinnett County Records, and includes a parcel previously conveyed from M. O. McGee to Paul S. McGee by Warranty Deed dated August 5, 1961, recorded in Deed Book 170, Page 354, Gwinnett County Records.

TO HAVE AND TO HOLD the said tract of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging or in any wise appertaining, to the only proper use, benefit and behalf of the said GRANTEE so that neither GRANTOR nor any other person claiming under this claim shall, at any time, claim or demand any right, title or interest to the said tract of land, or its appurtenances.

*RM*

*REM*

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

8K49109PG0908

PLAT # 047-2008-024483  
GWINNETT CO. GEORGIA  
REAL ESTATE TRANSFER TAX  
\$ -0-  
TOM LAWLER CLERK OF  
SUPERIOR COURT

FILED & RECORDED  
CLERK SUPERIOR COURT  
GWINNETT COUNTY, GA.  
2008 OCT -8 AM 10:40  
TOM LAWLER, CLERK

311373

27155

Brown & Katz, P.C.  
4320 Suwanee Dam Rd#1500  
Suwanee, GA 30024

JOINT TENANCY WITH SURVIVORSHIP  
WARRANTY DEED

STATE OF GEORGIA,  
COUNTY OF GWINNETT

This Indenture made this 6th day of October, in the year Two Thousand Eight, between DALONE CHOUMMANIVONG and ARIDA SYLAPHETH, of the County of Gwinnett, State of Georgia, as party or parties of the first part, hereinafter called Grantor, and DALONE CHOUMMANIVONG and ARIDA SYLAPHETH and KHONG SAVANH SILAPHETH, as joint tenants with survivorship and not as tenants in common as parties of the second part, hereinafter called Grantees (the words "Grantor" and "Grantees" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor, for and in consideration of the sum of TEN AND 00/100'S (\$10.00) Dollars and other good and valuable considerations in hand paid at and before the sealing and delivery of these presents, the receipts whereof is hereby acknowledged, has granted, bargained, sold, aliened, conveyed and confirmed, and by these presents does grant, bargain, sell, alien, convey and confirm unto the said Grantees, as joint tenants and not as tenants in common, for and during their joint lives, and upon the death of either of them, then to the survivor of them, in fee simple, together with every contingent remainder and right of reversion, and to the heirs and assigns of said survivor, the following described property:

ALL THAT TRACT OR PARCEL OF LAND LYING AND BEING IN LAND LOT 12 OF THE 77E DISTRICT OF GWINNETT COUNTY, GEORGIA, CONTAINING 1.03 ACRES ACCORDING TO A PLAT OF SURVEY PREPARED FOR MRS. M.O. MCCREY BY S.R. FIELDS, REGISTERED LAND SURVEYOR, NO. 739, DATED NOVEMBER 11, 1981, REVISED MARCH 30, 1982, AND REVISED AUGUST 12, 1982, SAID PLAT BEING RECORDED AT PLAT BOOK 19, PAGE 88, GWINNETT COUNTY, GEORGIA RECORDS AND INCORPORATED HEREIN BY REFERENCE AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY OF REYNOLDS ROAD 207 FEET SOUTHWESTERLY ALONG THE NORTHWESTERLY RIGHT-OF-WAY OF REYNOLDS ROAD FROM THE INTERSECTION OF THE NORTHWESTERLY RIGHT-OF-WAY OF REYNOLDS ROAD WITH THE NORTHEASTERLY RIGHT-OF-WAY OF A PRIVATE DRIVE; THENCE SOUTH 58 DEGREES 15 MINUTES 25 SECONDS WEST, 179.17 FEET ALONG THE NORTHWESTERLY RIGHT-OF-WAY OF REYNOLDS ROAD TO A POINT; THENCE NORTH 26 DEGREES 37 MINUTES 26 SECONDS WEST, 261.5 FEET TO A POINT; THENCE NORTH 62 DEGREES 22 MINUTES 35 SECONDS EAST, 175.0 FEET TO A POINT; THENCE SOUTH 27 DEGREES 25 MINUTES 40 SECONDS EAST, 248.14 FEET TO A POINT AND THE TRUE POINT OF BEGINNING.

THIS CONVEYANCE is made subject to all zoning ordinances, easements and restrictions of record affecting said bargained premises.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantees, as joint tenants and not as tenants in common, for and during their joint lives, and upon the death of either of them, then to the survivor of them in FEE SIMPLE, together with every contingent remainder and right of reversion, and to the heirs and assigns of said survivor.

THIS CONVEYANCE is made pursuant to Official Code of Georgia Section 44-6-190, and it is the intention of the parties hereto to hereby create in Grantees a joint tenancy estate with right of survivorship and not as tenants in common.

AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantees against the claims of all persons whomsoever.

IN WITNESS WHEREOF, the Grantor has hereunto set grantor's hand and seal this day and year first above written.

Signed, sealed and delivered in the presence of:

*David Leonard*  
Witness

*Sharon A. [Signature]*  
Notary Public  
My commission expires:



*[Signature]* (Seal)  
DALONE CHOUMMANIVONG

*[Signature]* (Seal)  
ARIDA SYLAPHETH

0100482 (Seal)

10

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

408 Reynolds Rd.

John E. Russell  
File No. L-3790

BK11013 PG0092

**EXHIBIT "A"**

**WARRANTY DEED**

All that tract or parcel of land lying and being in Land Lot 12 of the 7th District, Gwinnett County, Georgia, containing 1.0398 acres according to a plat of survey prepared by M. V. Ingram Enterprises, Inc., Registered Surveyors, dated August 30, 1994, and being more particularly described as follows:

BEGINNING at an iron pin found on the northwesterly right of way of Reynolds Road, said point being 20.10 feet South 63 degrees 35 minutes 48 seconds West, as measured from from the intersection of the northwesterly right of way of said Reynolds Road and an iron pin found on the northwesterly margin of a private road; thence South 56 degrees 08 minutes 49 seconds West, 187.00 feet along the northwesterly right of way of Reynolds Road to an iron pin found; thence North 29 degrees 31 minutes 44 seconds West, 248.67 feet to an iron pin found; thence North 60 degrees 16 minutes 30 seconds East, 188.00 feet along the right of way, or margin, of a private road, to an iron pin found; thence South 29 degrees 09 minutes 21 seconds East, 235.22 feet to an iron pin found and the point of beginning.

*J.B.M.*

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

365 Reynolds Rd.

DEED B: 60445 P: 00087  
02/21/2023 09:37 AM Pgs: 1 Fees: \$25.00  
TTax: \$0.00  
Tiana P Garner, Clerk of Superior Court  
Gwinnett County, GA  
PT-61 #: 0872023003330  
ERECORDED  
eFile Participant IDs: 1885620565,

Return to:  
Hurley Elder Care Law  
2727 Paces Ferry Road SE  
Building I Suite 100  
Atlanta, GA 30339

Deed Preparation Only

QUITCLAIM DEED

STATE OF GEORGIA  
COUNTY OF FULTON

THIS INDENTURE, made as of the 20th day of February, 2023, between

**BILLY RAY ILER A/K/A/ BILLY ILER,**

of the County of Gwinnett and the State of GEORGIA, as party of the first part, hereinafter called Grantor, and

**LOUISE ILER,**

of the County of Gwinnett and the State of GEORGIA, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

**WITNESSETH** that: Grantor for and in consideration of the sum of one dollar (\$1.00) and other valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, by these presents does hereby remise, convey and forever **QUITCLAIM** unto the said Grantee,

TRACT VI

All that tract or parcel of land lying and being in Land Lot No. 12 of the 7th Land District of Gwinnett County, Georgia, and containing 0.90 acres as per plat made by Higginbotham and James, Surveyors on November 17, 1963 and said land is described as follows:

BEGINNING at a point in the center line of Reynolds Road and said point of beginning being 962.4 feet northeast from the center line of Ga. Highway No. 20 and 124; thence North 54 degrees 05 minutes 200 feet to a point; thence South 23 degrees 05 minutes East 200 feet to a corner; thence South 54 degrees 05 minutes West 200 feet to an iron pin corner; thence North 23 degrees 05 minutes West 200 feet to the point of beginning.

Less and except the property awarded to the Department of Transportation per Declaration of Taking recorded in Deed Book 52742, Page 469, Gwinnett County, Georgia records.

Address: 365 Reynolds Road  
Reynolds, GA 31076

Tax Parcel Number: R7012-035

**TO HAVE AND TO HOLD** the said described premises to Grantee, so that neither Grantor nor any person or persons claiming under grantor shall at any time, by any means or ways, have, claim or demand any right to title to said premises or appurtenances, or any rights thereof.

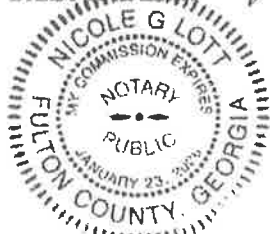
**IN WITNESS WHEREOF**, the Grantor has signed and sealed this deed, the day and year first above written.

Signed, sealed and delivered  
in the presence of:

*Mary Ann Smith* (Unofficial Witness)  
*Billy Ray Iler* (Grantor)  
*Terra ...* (Witness)

*Nicole G. Lott*  
Nicole G. Lott (Notary Public)

My commission expires: January 23, 2026



RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

7012 026A Deed.

DEED B: 60445 P: 00088  
02/21/2023 09:37 AM Pgs: 2 Fees: \$25.00  
TTax: \$0.00  
Tiana P Garner, Clerk of Superior Court  
Gwinnett County, GA  
PT-61 #: 0672023003331  
ERECORDED  
eFile Participant IDs: 1866620566,

Return to:  
Hurley Elder Care Law  
2727 Paces Ferry Road SE  
Building I Suite 100  
Atlanta, GA 30339  
Deed Preparation Only

QUITCLAIM DEED

STATE OF GEORGIA  
COUNTY OF FULTON

THIS INDENTURE, made as of the 20th day of February, 2023, between

**BILLY RAY ILER A/K/A/ BILLY ILER,**

of the County of Gwinnett and the State of GEORGIA, as party of the first part, hereinafter called Grantor, and

**LOUISE ILER,**

of the County of Gwinnett and the State of GEORGIA, as party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires or permits).

WITNESSETH that: Grantor for and in consideration of the sum of one dollar (\$1.00) and other valuable consideration in hand paid at and before the sealing and delivery of these presents, the receipt of which is hereby acknowledged, by these presents does hereby remise, convey and forever QUITCLAIM unto the said Grantee,

TRACT II

All that tract or parcel of land lying and being in Land Lot No. 12 of the 7th Land District of Gwinnett County, Georgia and containing 0.336 acres as per plat made by Higginbotham and James, Surveyors on December 10, 1962 and said land is described as follows:

BEGINNING at a point in the center of Reynolds Road and said point of beginning being 1162.1 feet Northeast from the center line of Georgia Highway No. 20 and 124; thence North 54 degrees 05 minutes East 100 feet to a point; thence South 23 degrees 05 minutes East 100 feet to a point; thence South 23 degrees 05 minutes East to an iron pin corner; thence South 54 degrees 05 minutes West 100 feet to an iron pin corner; thence North 23 degrees 05 minutes 150 feet to the point of beginning.

TRACT IV

All that tract or parcel of land lying and being in Land Lot 12 of the 7th Land District of Gwinnett County, Georgia and being shown on a plat for O. W. Reynolds Estate prepared on June 19, 1972 by S. R. Fields, Registered Land Surveyor, said plat being incorporated herein by reference and said property being more particularly described as follows:

TO ESTABLISH THE BEGINNING POINT: From the intersection formed by the center line of Ga. Hwy. 20 and the center line of Reynolds Road proceed North 53 degrees 56 minutes East a distance of 1,057.4 feet along the center line of Reynolds Road to a point between properties of Leon Sailors and Randall and Mary Alice Sailors; thence South 23 degrees 14 minutes East a distance of 150 feet between property of Leon Sailors and Randall Sailors and Mary Alice Sailors, this being the point of beginning; thence South 23 degrees 14 minutes East 50.0 feet to the right of way of Ga. Highway 316; thence in a southeasterly direction 110 feet, more or less, along the right of way of Ga. Hwy. 316 to the West property line of O. W. Reynolds Estate; thence North 23 degrees 14 minutes West 100.0 feet more or less; thence South 53 degrees 56 minutes West 100 feet to the point of beginning.

Less and except the property awarded to the Department of Transportation per Declaration of Taking recorded in Deed Book 52742, Page 469. Gwinnett County, Georgia records.

Address: Reynolds Road  
Reynolds, GA 31076

Tax Parcel Number: R7012-026A

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

441 Reynolds Rd.

DEED B: 60144 P: 00260  
08/16/2022 09:11 AM Pgs: 2 Fees: \$25.00  
TTax: \$0.00  
Tiana P Gamer, Clerk of Superior Court  
Gwinnett County, GA  
PT-81 #: 0672022026022  
ERECORDED  
eFile Participant IDs: 1865820585,

After Recording Return To:  
Hurley Elder Care Law  
100 Galleria Parkway, Suite 650  
Atlanta, Georgia 30339

Deed Preparation Only

**LIMITED WARRANTY DEED**

STATE OF GEORGIA  
COUNTY OF FULTON

THIS INDENTURE, made this 10<sup>th</sup> day of August, 2022, between

**BILLY RAY ILER A/K/A BILLY ILER A/K/A BILLY ILLER,**

of the County of Gwinnett, and State of Georgia, as Party of the first part, hereinafter called Grantor, and

**LOUISE ILER,**

of the County of Gwinnett, and State of Georgia as Party of the second part, hereinafter called Grantee (the words "Grantor" and "Grantee" to include their respective heirs, successors and assigns where the context requires of permits).

**WITNESSETH that:** Grantor, for and in consideration of the sum of TEN AND 00/100 DOLLARS (\$10.00) and other good and valuable considerations, in hand paid at and before the sealing and delivery of these presents, the receipt whereof is hereby acknowledged, have granted, bargained, sold, alienated, conveyed, and confirmed, and by these presents does grant bargain, sell, convey and confirm unto the said Grantee,

All that tract or parcel of land lying and being in Land Lot 12 of the 7th Land District of Gwinnett County, Georgia, and being shown on a survey for the O. W. Reynolds Estate as a tract containing 0.39 acres, said plat being prepared on June 19, 1972, and revised on July 19, 1974, by S. R. Fields, Registered Land Surveyor of Gwinnett County, Georgia, and said plat being incorporated herein by reference and said property being more particularly described as follows:

TO FIND THE TRUE POINT OF BEGINNING, begin at the intersection formed by the center line of Reynolds Road, with the center line of Highway 20; thence Northeasterly along the center line of the said Reynolds Road, 569.6 feet to a point; thence North 53 degrees 56 minutes East along the center line of the said Reynolds Road 692.8 feet to a point and the TRUE POINT OF BEGINNING; thence South 23 degrees 41 minutes East along the line of property now or formerly owned by Sailors, 150.0 feet to a point; thence North 52 degrees 55 minutes East along the line of property now or formerly owned by O. W. Reynolds Estate, 127.0 feet to a point; thence North 31 degrees 18 minutes West along the line of property now or formerly owned by Harry Braselton, 144.5 feet to a point in the center line of the said Reynolds Road; thence South 53 degrees 56 minutes West along the center line of the said Reynolds Road, 105.9 feet to the TRUE POINT OF BEGINNING.

TOGETHER WITH:

All that tract or parcel of land lying and being situate in Land Lot 12 of the 7th Land District of Gwinnett County, Georgia and being shown as 1.0 acre owned by O. W. Reynolds Estate as shown on a plat for O. W. Reynolds Estate prepared on June 19, 1972 by S. R. Fields, Registered Land Surveyor of Gwinnett County, Georgia, said plat being incorporated herein by reference and said property being more particularly described as follows:

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

BEGINNING at a point in the center of Reynolds Road, 1,262.4 feet North 53 degrees 56 minutes East from the intersection formed by the center of said Reynolds Road with the center of Highway #20 as measured along the center line of said Reynolds Road, thence South 23 degrees 14 minutes East 150 feet to the true point of beginning; thence continuing South 23 degrees 14 minutes East 192 feet to a point; thence North 56 degrees 41 minutes East 153.6 feet to a point; thence North 31 degrees 18 minutes West 197.5 feet to a point; thence South 52 degrees 55 minutes West 127 feet to the true point of beginning.

LESS AND EXCEPT all that tract or parcel of land conveyed by Deed Book 52742, Page 485 and part of Docket No. 10A-10329, Gwinnett County, Georgia records.

Property address: 441 Reynolds Road  
Lawrenceville, Georgia 30043

Parcel ID: R7012-049

This property is conveyed subject to all restrictions and easements of record, if any.

TO HAVE AND TO HOLD the said tract or parcel of land, with all and singular the rights, members and appurtenances thereof, to the same being, belonging, or in anywise appertaining, to the only proper use, benefit and behoof of the said Grantee forever in FEE SIMPLE.

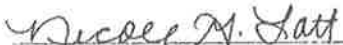
AND THE SAID Grantor will warrant and forever defend the right and title to the above described property unto the said Grantee against the claims of all persons owning, holding or claiming by, through or under said Grantor.

IN WITNESS WHEREOF, the Grantor has signed and sealed this deed, the day and year above written.

Signed, sealed and delivered in the presence of:

\_\_\_\_\_  
Unofficial Witness

  
\_\_\_\_\_  
BILLY RAY HER (SEAL)

  
\_\_\_\_\_  
Nicole G. Lott, Notary Public  
My Commission expires January 23, 2026  
[Notary Seal]



RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 12 of the 7th District, Gwinnett County, Georgia, being more particularly described as follows:

TO LOCATE THE TRUE POINT OF BEGINNING, commence at the intersection of the centerline of Georgia Highway No. 20, with the centerline of Georgia Highway No. 316, proceed thence North 76 degrees 54 minutes 11 seconds East a distance of 1,351.26 feet to a point; proceed thence North 27 degrees 04 minutes 36 seconds West a distance of 218.10 feet to a point on the northerly Right-Of-Way line of Georgia Highway No. 316, which represents the TRUE POINT OF BEGINNING.

FROM THE TRUE POINT OF BEGINNING AS THUS ESTABLISHED, proceed thence North 27 degrees 04 minutes 36 seconds West a distance of 319.60 feet to a point on the southerly Right-Of-Way line of Reynolds Road (30-foot Right-Of-Way); proceed thence along the southerly Right-Of-Way line of Reynolds Road, North 55 degrees 50 minutes 49 seconds East a distance of 115.60 feet to a point; leaving said Right-Of-Way line, proceed thence South 32 degrees 16 minutes 56 seconds East a distance of 390.84 feet to a point on the northerly Right-Of-Way line of Georgia Highway No. 316; thence along said Right-Of-Way line of Georgia Highway No. 316, proceed South 80 degrees 05 minutes 01 seconds West a distance of 29.92 feet to a point; continuing along said Right-Of-Way line, proceed thence in a generally southwesterly direction an arc distance of 130.23 feet to a point; said arc having a radius of 1293.44 feet and being subtended by a chord length of 130.17 feet bearing South 83 degrees 42 minutes 06 seconds West, said point representing the TRUE POINT OF BEGINNING.

Said tract shown as containing 1.075 acres on a plat of survey dated October 31, 1985, prepared by S. R. Fields & Son, which plat is incorporated herein by reference as a part of this description.

EXHIBIT "A"

RZC2024-00055  
RECEIVED: MAY 3 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

*"NOT FOR FINAL RECORDING"*  
**TOTAL AREA = 7.22 ± ACRES**

PARCEL: 055 038 ZONED: B-G

REZONE REQUEST: CURRENTLY ZONED B-G  
 REQUESTING L-M ZONING TO ALLOW FOR THE  
 LUXURY LANDSCAPE SUPPLY DEVELOPMENT.  
 TOTAL SITE AREA = 7.22 ± ACRES

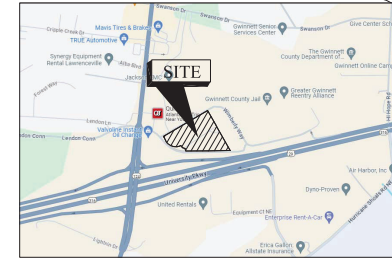
PROPOSED USE = LANDSCAPE SUPPLY RETAILER

- NOTES:**
- BOUNDARY SURVEY INFORMATION TAKEN FROM A SURVEY BY XXXXXX, DATED XX/XX/2024
  - THERE ARE NO NNI WETLAND ON THE SITE.
  - UN-NAMED TRIBUTARY OF CEDAR CREEK IS LOCATED ALONG THE SOUTH SIDE OF THE SITE.
  - NO PORTION OF THIS PROPERTY IS IN A DESIGNATED FLOOD HAZARD AREA PER F.I.R.M. PANEL 13135C0074F DATED SEP. 29, 2006.
  - THERE ARE NO STATE WATER ON SITE.
  - THE PROJECT WILL BE SERVED BY GWINNETT COUNTY WATER.
  - THE PROJECT WILL BE SERVED BY GWINNETT COUNTY SEWER.

**SITE ANALYSIS**

BUILDING OFFICE	5,400 S.F.
ZONED	LM
TOTAL AREA	7.22 AC.
<b>PARKING CALCULATION</b>	
1 SP. / 300 S.F. MIN.	18 SPACES
TOTAL REQUIRED MIN.	18 SPACES
TOTAL PROVIDED	59 SPACES
<b>H.C. SPACES REQ.</b>	
1 H.C. SP. / 25 SP.	3 SPACES
H.C. SPACES REQUIRED	4 SPACES
H.C. SPACES PROVIDED	4 SPACES

TOTAL SITE AREA = 7.22 ACRES
TOTAL DISTURBED AREA = XX ACRES
THERE ARE NO STATE WATERS ON THE SITE
THERE ARE NO NNI WETLAND ON SITE. UPON A SITE VISIT, THERE WERE NO VEGETATION WHICH INDICATES WETLANDS ON SITE.
<b>NOTES: NO PORTION OF THIS PROPERTY IS IN A DESIGNATED FLOOD HAZARD AREA PER F.I.R.M. PANEL 13135C0074F DATED SEP. 29, 2006.</b>



VICINITY MAP  
N.T.S.

**A.C.E.E.**  
 ALCOY CONSULTING ENGINEERING AND ASSOCIATES, L.L.C.  
 P.O. C. 110 HUNTSVILLE, TN 37402  
 485 Edwards Rd.  
 Oxford, Georgia 30054  
 Phone: 770-486-4002  
 lpsaco@attmail.com

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**REZONE PLAN**

**LUXURY LANDSCAPE SUPPLY**

7012 062 7012 039  
 7012 081 7012 049  
 7012 022A 7012 026A  
 PARCEL: 7012 021 7012 035

LAND LOT: 12  
 DISTRICT: 7th  
 REYNOLDS ROAD  
 CITY OF LAWRENCEVILLE, GA

DATE: 4/30/2024  
 SCALE: 1"=50'

**DEVELOPER**

LUXURY LANDSCAPE SUPPLY  
 185 PARK ACCESS DR.  
 LAWRENCEVILLE, GA 30046  
 ALEC RICHARDSON  
 PHONE: 770-513-7333  
 alec@luxurylandscape.com

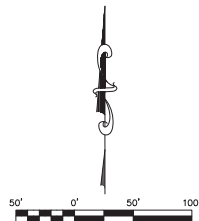
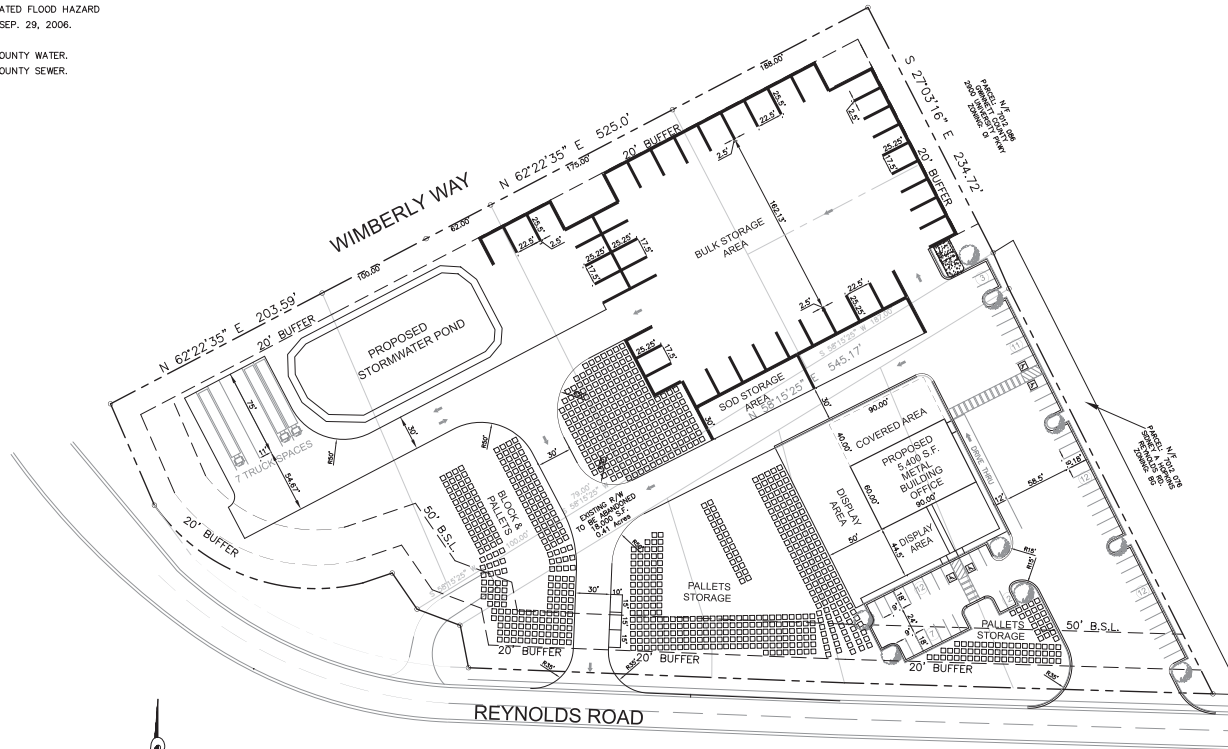
24 HOUR - EMERGENCY CONTACT  
 ALEC RICHARDSON  
 PHONE: 770-513-7333  
 alec@luxurylandscape.com

**REVISIONS**

NO.	DATE	DESCRIPTION

JOB No. # 24-020  
**RZ**

RZC2024-00058  
 RECEIVED: MAY 3, 2024  
 PLANNING AND DEVELOPMENT DEPARTMENT



**GEORGIA811**  
 www.Georgia811.com




# LAWRENCEVILLE

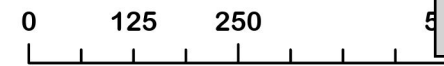
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZC2024-00058**

**Applicant: Alec Richardson**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
-  Downtown Development Authority Boundary










# LAWRENCEVILLE

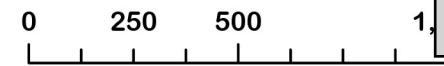
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZC2024-00058**

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# LAWRENCEVILLE

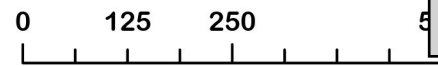
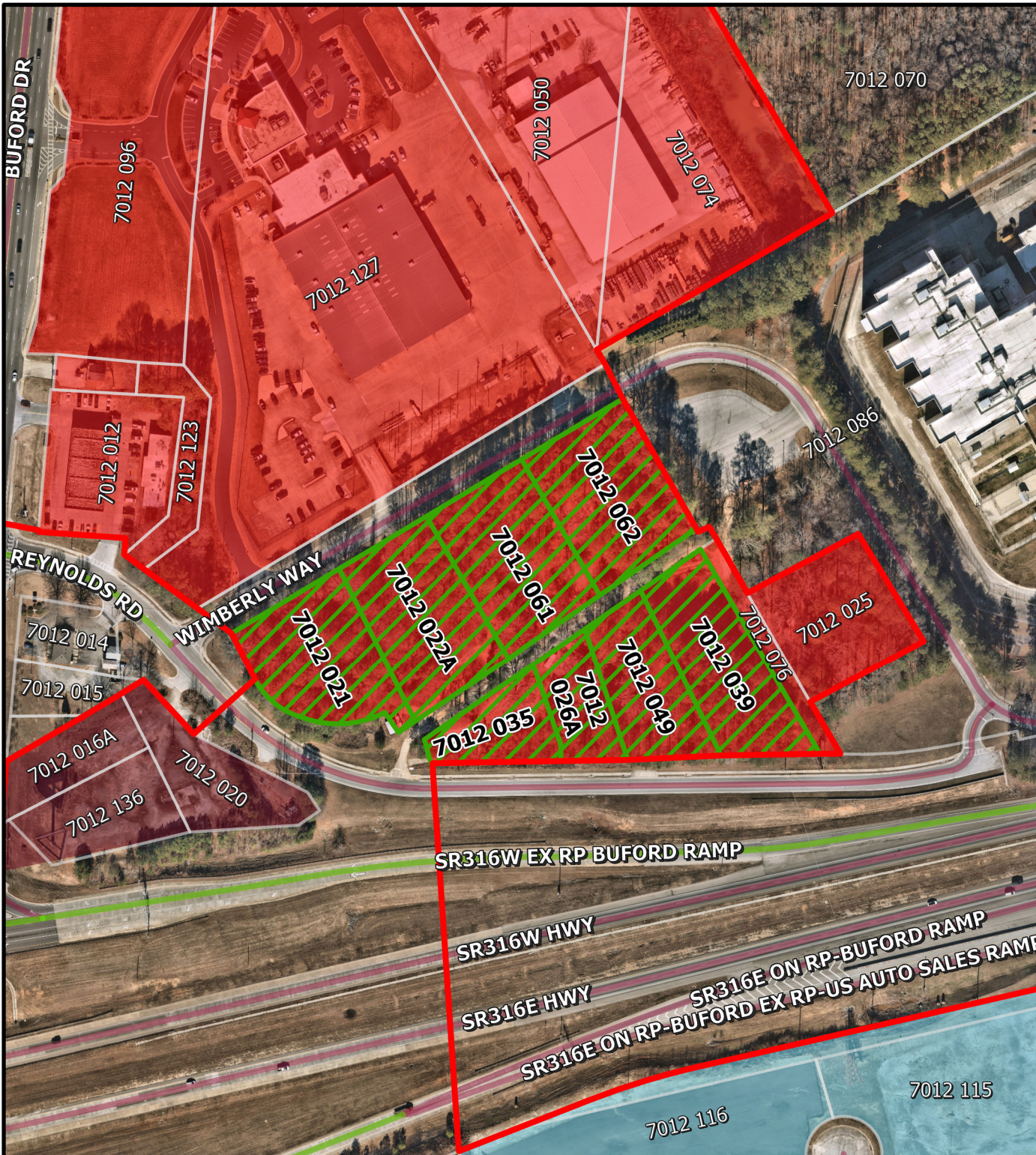
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZC2024-00058**

**Applicant: Alec Richardson**

-  Lawrenceville City Limits
  -  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  HSB Highway Service Business
  -  LM Light Manufacturing
  -  CMU Community Mixed Use





# LAWRENCEVILLE

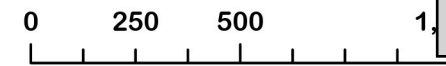
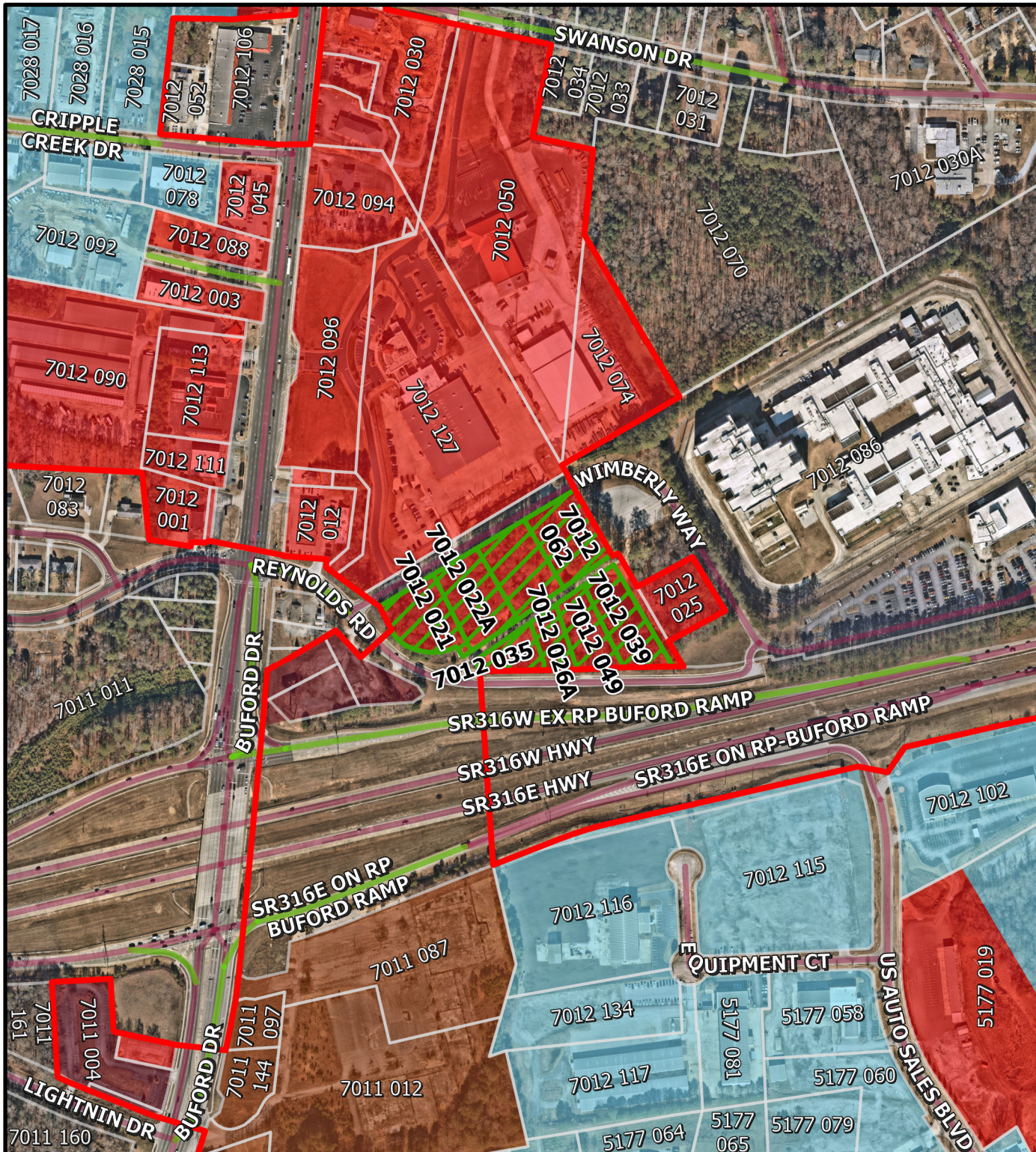
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZC2024-00058**

**Applicant: Alec Richardson**

-  Lawrenceville City Limits
  -  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  HSB Highway Service Business
  -  LM Light Manufacturing
  -  CMU Community Mixed Use













# LAWRENCEVILLE

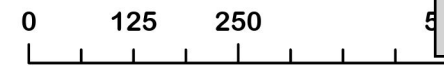
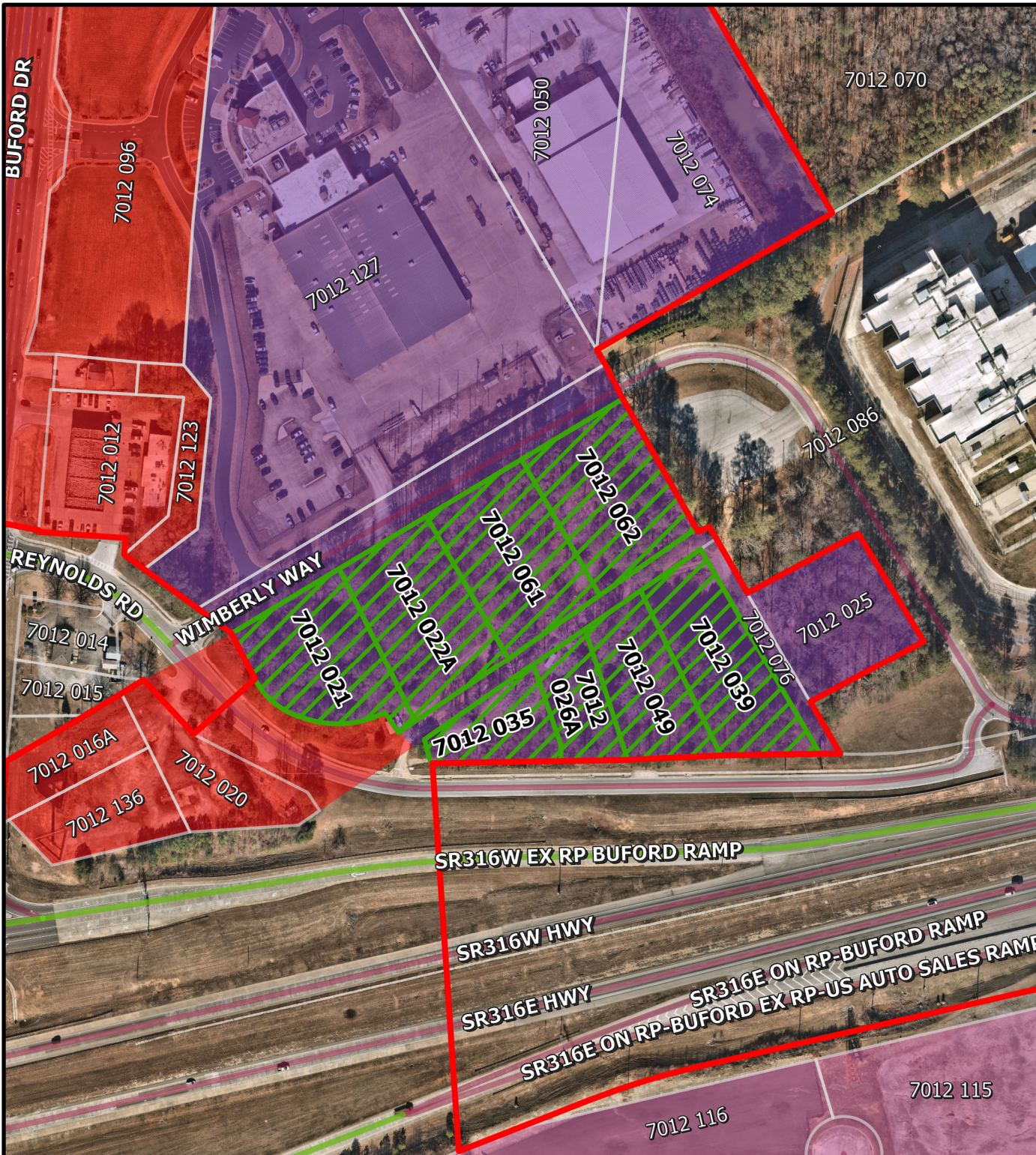
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZC2024-00058**

**Applicant: Alec Richardson**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Community Mixed Use
-  Commercial Corridor
-  Industrial













# LAWRENCEVILLE

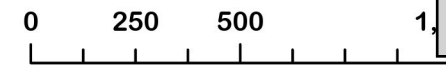
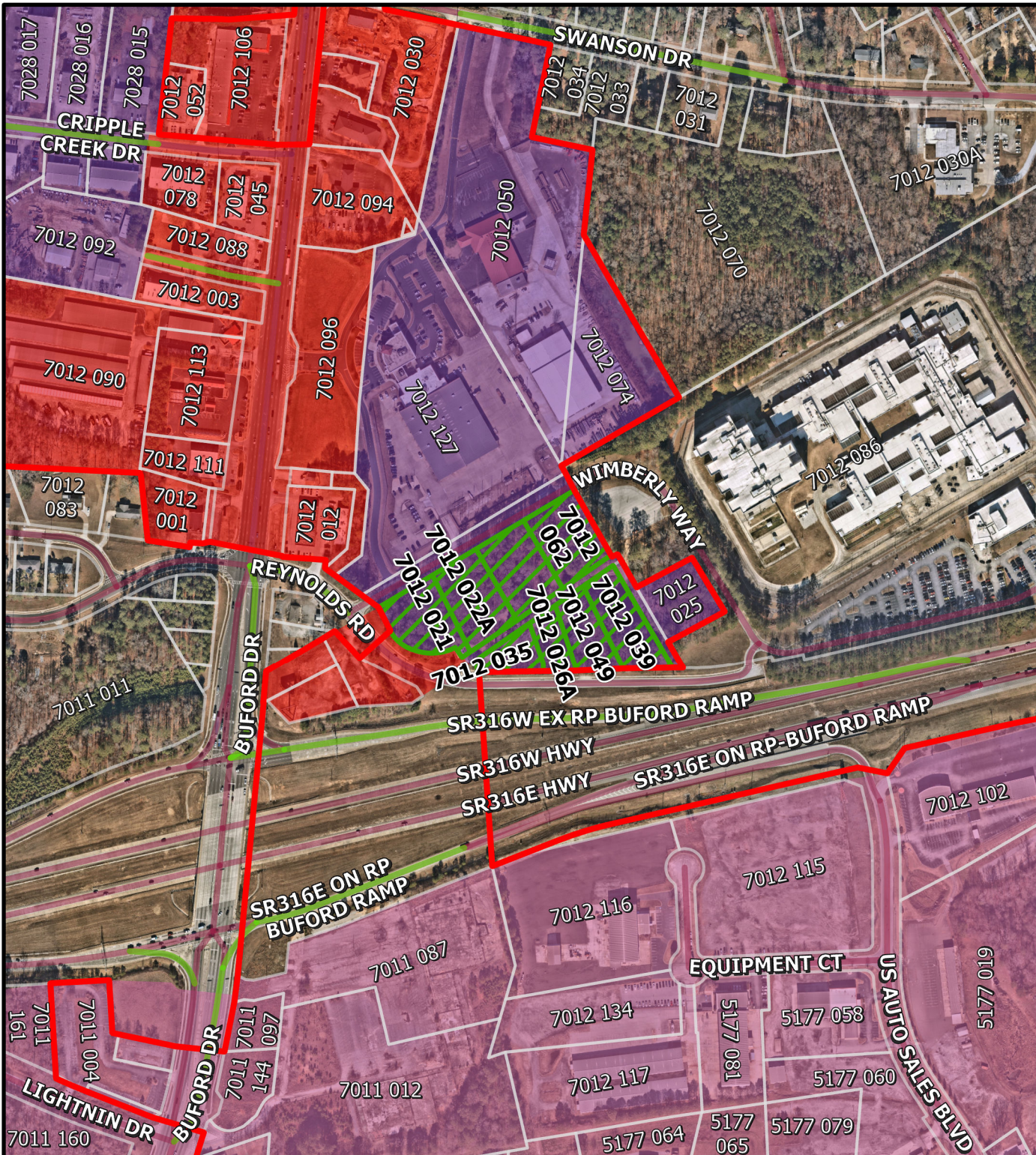
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZC2024-00058**

**Applicant: Alec Richardson**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Community Mixed Use
-  Commercial Corridor
-  Industrial





# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

**Item:** RZM2024-00016; Bill Diehl; 0 Hillcrest Green Drive  
**Department:** Planning and Development  
**Date of Meeting:** Monday, July 1, 2024  
**Applicant Request:** Rezone subject property from RS-150 (Single-Family Residential District) to RM-24 (Multifamily Residential District)  
**Presented By:** Todd Hargrave, Director of Planning and Development  
**Department Recommendation:** **Approval with Conditions**

---

**Summary:** The applicant requests a rezoning for 0 Hillside Green Drive and 298 Dogwood Lane from RS-150 (Single-Family Residential District) to RM-24 (Multifamily Residential District) to allow for the development of 227 multifamily dwelling units consisting of 194 apartment units and 33 front-entry, for-rent townhouse units with a gross density of 13 units per acre (UPA). The subject property consists of two parcels with an area of approximately 17.47 acres located at the northernmost extent of Hillcrest Green Drive and Dogwood Lane, just southeast of GA 316. The majority of the subject property (16.43 acres) is currently vacant and undeveloped, though a single-family home stands on the 0.88-acre parcel at 298 Dogwood Lane (PIN: R7010A018), part of the Northern Heights subdivision.

**Attachments/Exhibits:**

- RZM2024-00016\_Report
- RZM2024-00016\_P&D Recommended Conditions
- RZM2024-00016\_Application
- RZM2024-00016\_Letter of Intent
- RZM2024-00016\_Legal Description
- RZM2024-00016\_Existing Conditions Survey

- RZM2024-00016\_Schematic Site Plan
- RZM2024-00016\_Conceptual Site Plan
- RZM2024-00016\_Architectural Elevations
- RZM2024-00016\_Aerial Map – Zoomed In (1:2,750)
- RZM2024-00016\_Aerial Map – Zoomed Out (1:5,500)
- RZM2024-00016\_Zoning Map – Zoomed In (1:2,750)
- RZM2024-00016\_Zoning Map – Zoomed Out (1:5,500)
- RZM2024-00016\_Character Areas Map – Zoomed In (1:2,750)
- RZM2024-00016\_Character Areas Map – Zoomed Out (1:5,500)



# LAWRENCEVILLE

*Planning & Development*

## REZONING

**CASE NUMBER:** RZM2024-00016

**APPLICANT:** BILL DIEHL

**OWNER(S):** TRINA HURT, DONALD LOGGINS, AND JOHN TAYLOR

**LOCATION(S):** 0 HILLCREST GREEN DRIVE & 298 DOGWOOD LANE

**PARCEL ID(S):** R7010 009 & R7010A018

**APPROXIMATE ACREAGE:** 17.47 ACRES

**ZONING PROPOSAL:** RS-150 (SINGLE-FAMILY RESIDENTIAL DISTRICT)  
TO RM-24 (MULTIFAMILY RESIDENTIAL DISTRICT)

**PROPOSED DEVELOPMENT:** 194 APARTMENTS AND 33 TOWNHOMES

**DEPARTMENT RECOMMENDATION:** **APPROVAL AS CMU (COMMUNITY MIXED-USE DISTRICT) WITH CONDITIONS**

### VICINITY MAP





# LAWRENCEVILLE

## Planning & Development

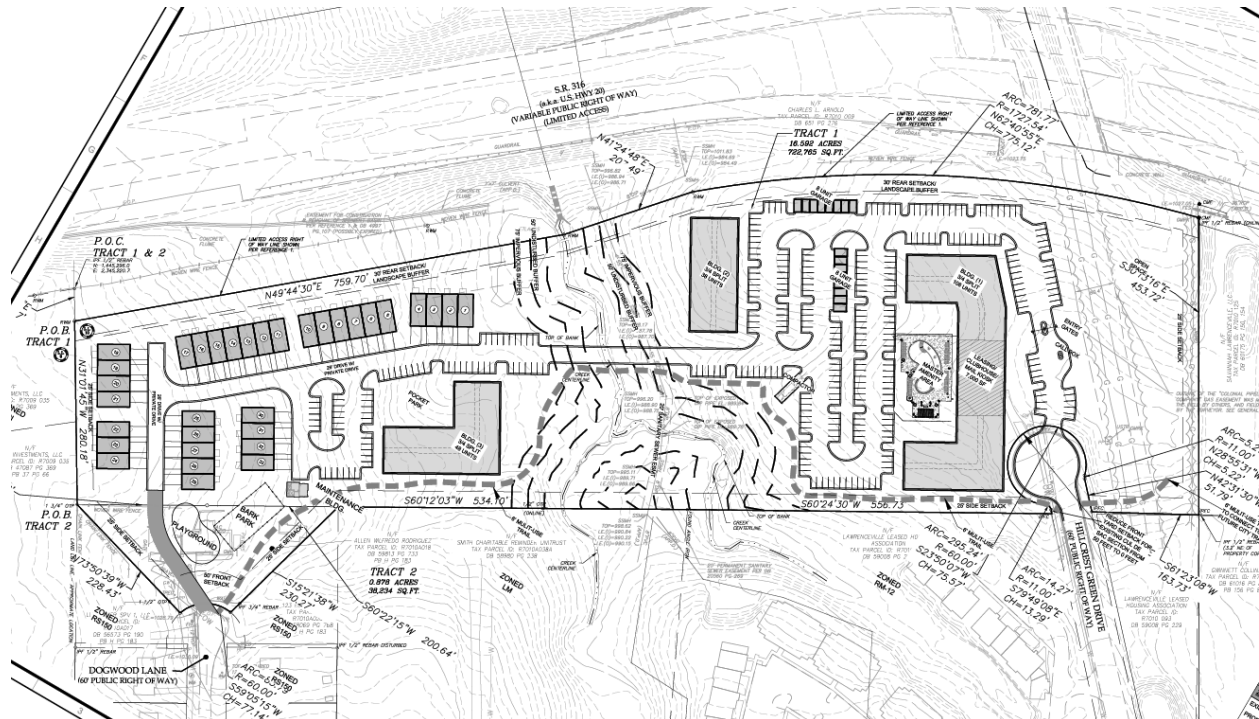
### ZONING HISTORY

The subject property has been zoned RS-120 / RS-150 (Single-Family Residential District) since 1986, which is the earliest zoning record on file for the parcel. There are no rezoning cases on record for the subject property.

### PROJECT SUMMARY

The applicant requests a rezoning for 0 Hillside Green Drive and 298 Dogwood Lane from RS-150 (Single-Family Residential District) to RM-24 (Multifamily Residential District) to allow for the development of 227 multifamily dwelling units consisting of 194 apartment units and 33 front-entry, for-rent townhouse units with a gross density of 13 units per acre (UPA). The subject property consists of two parcels with an area of approximately 17.47 acres located at the northernmost extent of Hillcrest Green Drive and Dogwood Lane, just southeast of GA 316. The majority of the subject property (16.43 acres) is currently vacant and undeveloped, though a single-family home stands on the 0.88-acre parcel at 298 Dogwood Lane (PIN: R7010A018), part of the Northern Heights subdivision.

### CONCEPT PLAN





# LAWRENCEVILLE

## Planning & Development

### ZONING AND DEVELOPMENT STANDARDS

The applicant requests to rezone the property to RM-24 (Multifamily Residential District) in order to develop a 227-unit, mixed housing-style community featuring 194 apartment units and 33 for-rent, front-entry townhomes at a gross density of 13 units per acre (UPA).

According to the letter of intent provided by the applicant, the development will be designed according to a new urbanist, walkable layout that employs modern farmhouse architecture, prioritizes luxury units intended for a professional market. The development will include modern amenities such as a clubhouse, resort-style pool, playground, multiuse trail (which will connect to the future city trail along the Colonial Pipeline easement), and a dog park.

If approved, the proposed development will require variances from the minimum Land Use Mix as follows:

### **Article 1 Districts, Section 102.9 CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1. and 2.**

1. The intent of allowing these nonresidential uses is to create a small node of retail and commercial services primarily for the convenience and amenity of residents of the CMU District. Nonresidential development must be compatible with the residential component of the development, and in general with the Architectural Design Standards specified in this section and [Article 6. Architectural Standards and Design Guidelines](#).

Land Use	Percentage of Gross Land Area	
	Minimum	Maximum
Residential Uses	30%	75%
Civic/Institutional Uses	15%	50%
Commercial/Retail, Light Industrial or Office Uses	15%	50%

2. This district provides for a diversity of housing types. Each CMU development shall include at least one housing option, including apartments, single-family residences, or townhomes.

a. Single-family detached dwellings on large lots (at least 9,500 sq. feet)
b. Single-family detached dwellings on mid-size lots (7500-9499 sq. feet)
c. Single-family detached dwellings on small lots (4500-7499 sq. feet)
d. Townhouses (see RM-8 standards above)
e. Multifamily (see RM-12 and RM-24 standards above)



# LAWRENCEVILLE

## Planning & Development

### C. Lot Development Standards

Project Area Standard			Off Internal Streets or Private Driveways		
Minimum	Road Frontage	Max. Height	Min. Front Setback	Min. Side Setback	Min. Rear Setback
5 acres	40 ft./lot	45 ft.	5-15 ft.	10-20 ft.	25-40 ft.

- This Minimum Lot Area shall not be reduced by a Variance. If property was zoned (RM-12) General Residence, 3,600 Sq. Ft. District at the time of adoption of the City of Lawrenceville Zoning Ordinance 2020 (ZON-ORD 2020-9), on May 20, 2020, and property does not meet the Minimum Lot Area then the property owner may apply for a Variance.
- Duplexes shall be prohibited.

The requested variances are as follows:

- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow an increase of the maximum percentage of Residential Uses from seventy-five percent (75 %) to one hundred percent (100 %).
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow the elimination of the minimum percentage of Civic/Institutional Uses from fifteen percent (15 %) to zero.
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow the elimination of the minimum percentage of Commercial/Retail, Light Industrial or Office Uses from fifteen percent (15%) to zero.
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow the elimination of the minimum percentage of



# LAWRENCEVILLE

## *Planning & Development*

Commercial/Retail, Light Industrial or Office Uses from fifteen percent (15%) to zero.

- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 2., Housing Options to allow the elimination of a. Single-family detached dwellings on large lots (at least 9,500 sq. feet).
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 2., Housing Options to allow the elimination of a. Single-family detached dwellings on mid-size lots (7,500-9,499 sq. feet).
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 2., Housing Options to allow the elimination of a. Single-family detached dwellings on large lots (4,500-7,499 sq. feet).
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection C. Lot Development Standards, Table 1., Project Area Standards – Minimum Front Setback to allow the elimination of minimum front yard setback (adjacent to Hillcrest Green Drive from five to fifteen feet (5-15 ft.) to zero.
- A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection C. Lot Development Standards, Table 1., Project Area Standards – Minimum Front Setback to allow the elimination of minimum front yard setback (adjacent to S.R. 316, U.S. Hwy 20) from five to fifteen feet (5-15 ft.) to thirty feet (30 ft.).



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## Planning & Development

### Article 4 Buffers, 403 Buffers Table (CMU)

403 Buffers Table

New Development	MINIMUM BUFFER REQUIREMENTS																			
	Existing Adjacent Development																			
	AR	CMU	RS-180	RS-150	RS-60	RM-12	RM-8	RM-6	RM-4-C	M	MH	ON	OI	BN	BG	BGC	HSB	LM	HM	
AR																				
CMU	75		50	50	25				25	25	25									
RS-180																				
RS-150																				
RS-60																				
RM-24	50		50	50	25															
RM-12	50		50	50	25															
RM-8	50		50	50	25															
MH	75	75	75	75	75	75	75	75	75											
OI	50		50	50	25	25	25	25	25	25	25									
BN	50		50	50	50	35	35	35	35	35	35									
BG	75		75	75	50	50	50	50	50	50	50									
BGC	65		50	50	50	50	50	50	50	50	50									
HSB	85		85	85	85	70	70	70	70	70	70									
LM	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50	50		
HM	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100	100		

- A variance from the Zoning Ordinance, Article 4 – Buffers, Section 403 – Buffers Table – to allow a fifty percent (50%) reduction of minimum buffer requirements between dissimilar zoning classifications (CMU and RS-150) (adjacent to Dogwood Lane) from fifty feet (50 ft.) to twenty-five feet (25 ft.).

### Article 5 Parking, Table 5-3: Number of Off-Street Parking Spaces Required

Standard	Requirement	Proposal	Recommendation
Townhome	2 spaces per dwelling unit (66 spaces)	4 spaces per dwelling unit (132 spaces)	N/A
Multifamily	1.5 spaces per dwelling unit (291 spaces)	1.62 spaces per dwelling unit (317 spaces)	N/A

The proposal meets or exceeds the minimum standard.



# LAWRENCEVILLE

## *Planning & Development*

### **SURROUNDING ZONING AND USE**

The area around the subject property consists of a wide variety of use and zoning categories. Immediately to the east of the property exists the Lawrenceville Gateway mixed use development zoned CMU (Community Mixed Use District), which is currently under construction. To the southeast are the Greens at Hillcrest garden apartments, which are zoned RM-12 (Multifamily Residential District). The properties along Belmont Drive to the south are zoned LM (Light Manufacturing District), though they are mostly undeveloped. The Northern Heights residential subdivision is to the southwest of the subject property, containing single-family homes zoned RS-150 (Single-Family Residential District). Finally, to the west of the subject property is an office subdivision called Springfield Park zoned OI (Office Institutional District), though it too is currently undeveloped.

The proposed request to rezone the property to RM-24 is consistent with the existing zoning patterns and uses in the general area, including an established development in the Greens at Hillcrest garden apartments as well as under development Lawrenceville Gateway project. Furthermore, the conceptual plan invokes a transect model of development, in which the highest intensity elements (apartment buildings) are anchored to the east of the property – adjacent to existing high-density housing – whereas the lower intensity elements in townhomes are located on the western side of the property, where it borders a single-family neighborhood.

### **CITY OF LAWRENCEVILLE OFFICIAL ZONING MAP**



# LAWRENCEVILLE

## Planning & Development




**LAWRENCEVILLE**  
GEORGIA  
The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZM2024-00016**  
Applicant: Bill Diehl

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets

**Zoning Districts**

-  HSB Highway Service Business
-  LM Light Manufacturing
-  OI Office/Institutional
-  CMU Community Mixed Use
-  RM-12 Multifamily Residential
-  RS-150 Single-Family Residential





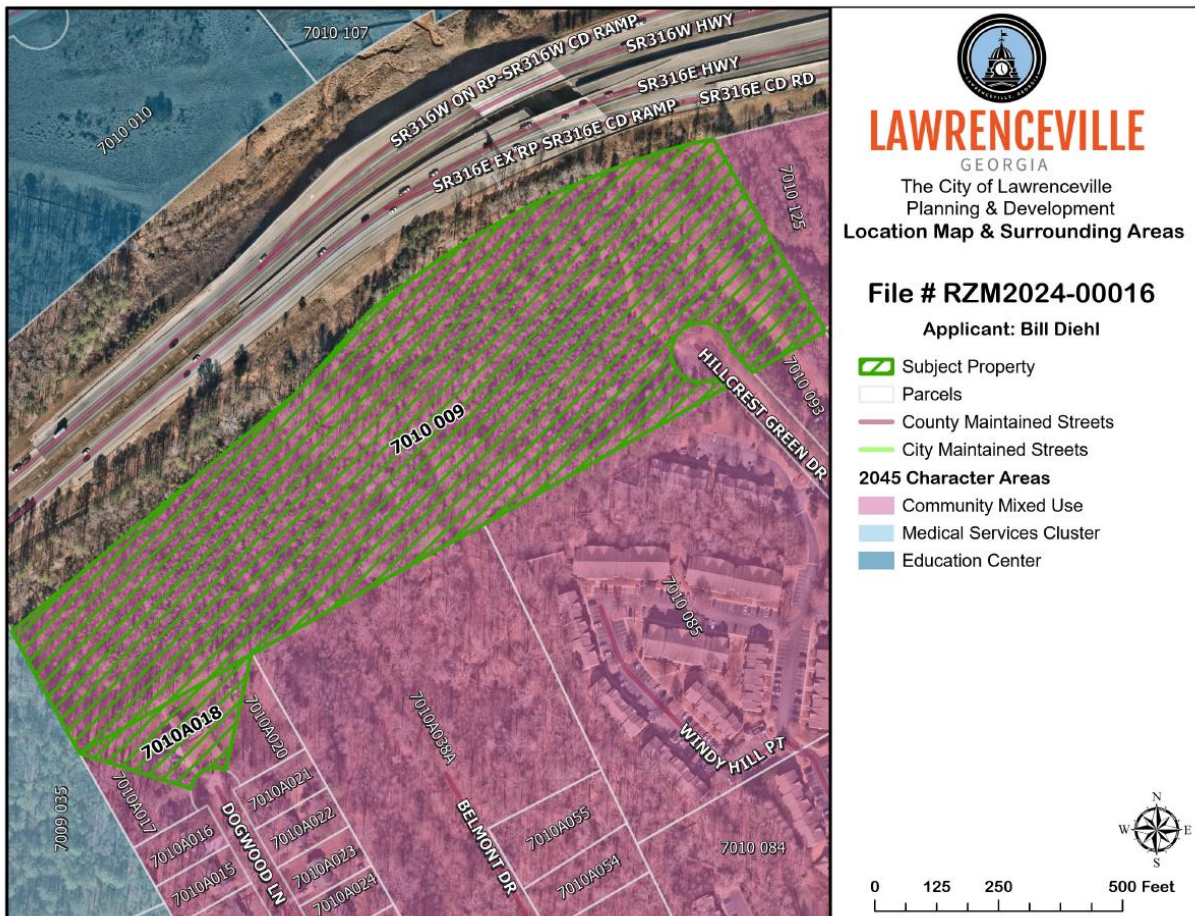

# LAWRENCEVILLE

## Planning & Development

### 2045 COMPREHENSIVE PLAN

The City of Lawrenceville 2045 Comprehensive Plan and Future Development Map indicate the subject property is located within the Community Mixed Use character area. The Community Mixed Use character area capitalizes on Lawrenceville’s economic strengths and diverse population by fostering vibrant and walkable neighborhoods. This integration of residential, commercial, and recreational spaces caters to the needs and preferences of a dynamic and growing community. Such a development meets the standards of development as established by the 2045 Comprehensive Plan.

### LAWRENCEVILLE 2045 COMPREHENSIVE PLAN – FUTURE LAND USE PLAN MAP





# LAWRENCEVILLE

## *Planning & Development*

### **STAFF RECOMMENDATION**

In conclusion, the proposal is consistent with both the existing uses and zoning patterns of the area as well with the long-term vision for the city as established by the 2045 Comprehensive Plan; policies relating to long range planning suggest the city embrace the principles of new urbanism by creating a housing stock that is well maintained and includes homes with a variety of forms and price points. The intent of the Comprehensive Plan is to encourage positive redevelopment of benefiting from the “halo effect” of high-quality development already happening nearby.

This proposal would continue with the precedent set by RZM2021-00009, when City Council approved a request to rezone the properties to the east to CMU (Community Mixed Use District) to allow for the construction of a mixed-use development containing approximately 500 multifamily units at Lawrenceville Gateway.

Given the aforementioned factors, the Planning and Development Department recommends **APPROVAL AS CMU COMMUNITY MIXED-USE WITH CONDITIONS** for the proposed rezoning.



# LAWRENCEVILLE

## *Planning & Development*

### **CITY OF LAWRENCEVILLE DEPARTMENT COMMENTS:**

#### **ENGINEERING DEPARTMENT**

No comment

#### **PUBLIC WORKS**

No comment

#### **ELECTRIC DEPARTMENT**

No comment

#### **GAS DEPARTMENT**

No comment

#### **DAMAGE PREVENTION DEPARTMENT**

No comment

#### **CODE ENFORCEMENT**

No comment

#### **STREET AND SANITATION DEPARTMENT**

No comment



# LAWRENCEVILLE

## Planning & Development

### STATE CODE 36-67-3 (FMR.) REVIEW STANDARDS:

- 1. Whether a zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;**

*Yes. The surrounding area contains a wide range of uses at various densities, including both single-family homes as well as apartment buildings.*

- 2. Whether a zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;**

*No. As discussed, the area is already predominantly mixed use in nature.*

- 3. Whether the property to be affected by a zoning proposal has a reasonable economic use as currently zoned;**

*Yes; the property could be developed a single-family subdivision similar to the Northern Heights subdivision to the south / southwest.*

- 4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;**

*The project will induce demand on public facilities in the form of traffic, utilities, stormwater runoff, and schools. However, the effects of this demand can be mitigated through zoning condition and active planning efforts moving forward.*

- 5. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan;**

*Policies of the City are intended to benefit or enhance the quality of life for existing and potential members of the public choosing to reside within the city limits. The Community Mixed Use character area is intended as a mixed-use district that includes both apartments as well as townhomes, so this rezoning conforms with the long-range plan.*



# LAWRENCEVILLE

## *Planning & Development*

- 6. Whether there are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval or disapproval of the zoning proposal;**

*The proposal would continue with the precedent set by the Lawrenceville Gateway rezoning to the east in March 2022 (RZM2021-00009).*

**PLANNING COMMISSION**

**RECOMMENDED CONDITIONS\_06202024**

**RZM2024-00016**

Approval of a CMU (Community Mixed-Use District), subject to the following enumerated conditions:

1. To restrict the use of the property as follows:
  - A. Multifamily and townhouse residential dwellings, dwelling units, and accessory structures. Multifamily dwelling units shall be limited to a maximum of one hundred ninety-four (194) dwelling units. Townhouse dwelling units shall be limited to a maximum of thirty-three (33) dwelling units.
  - B. The development shall be in general accordance with the submitted site plans and architectural renderings provided by the applicant, with changes necessary to meet zoning and development regulations. Any changes shall be subject to review and approval by the Director of Planning and Development.
  - C. Final site plans, landscape plans and building elevations shall be subject to review and approval of the Director of Planning and Development prior to the issuance of development or building permits.
  - D. The standard multifamily residential section of the development shall be a gated community, with automated card access gates at all entrances/exits. The access gate system is required to always be maintained and functional, with any required repairs to be made within one week.
  - E. Garages shall be provided for a minimum of 15% of the standard multifamily units (29 garage units). Garage units shall be limited to the interior of the development.
  - F. In the event of residential tenant eviction, any belongings of the tenant shall be placed on a portion of the subject property that is not visible from a public right-of-way unless otherwise required by Law.

2. To satisfy the following site development considerations:

- A. Provide a 30-foot-wide building setback adjacent to all right-of-way, including SR 316.
- B. Natural vegetation shall remain on the property until the issuance of a development permit.
- C. New billboards or oversized signs shall be prohibited.
- D. Outdoor storage shall be prohibited.
- E. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.
- F. Compactor/dumpsters shall be screened by a 100% opaque brick or stacked stone wall with an opaque metal gate enclosure. Compactor/dumpster enclosure shall be a minimum of 10 feet in width and 30 feet in length Hours of dumpster pick-up shall be limited to between 7:00 a.m. and 7:00 p.m.
- G. No tents, canopies, temporary banners, streamers, or roping decorated with flags, tinsel, or other similar material shall be displayed, hung or strung on the site. Yard signs or bandit signs, sign-walkers or sign-twirlers shall be prohibited.
- H. Peddlers and/or parking lot sales shall be prohibited.
- I. The owner shall repaint or repair any graffiti or vandalism within 72 hours of notice from the City.
- J. Maximum multifamily building height shall be 70 feet.
- K. The required parking ratio for the multifamily section of development shall be 1.62 spaces per unit.
- L. The required parking ratio for the townhouse section of development shall be 4 spaces per unit.
- M. Building setbacks off internal streets or driveways shall be in general accordance with the submitted site plans and architectural renderings, and otherwise subject to review and approval of the Director of Planning and Development.

3. To abide by the following requirements, dedications and improvements:

- A. The developer shall dedicate at no cost to the City a twenty-foot (20 ft.) wide multiuse trail easement adjacent to the existing gas pipeline easement as shown on the submitted “Zoning Site Plan,” titled “Hurricane Shoals Rd @ Belmont Dr. A Master Planned Residential Development” prepared for “McKinely Homes,” prepared by “Planners & Engineers Collaborative + (PEC),” dated March 27, 2024. The dedicated 20-foot multiuse trail easement shall consist of a pedestrian path measuring a minimum ten-foot (10 ft.) to twelve-foot (12 ft.) in width.
- B. The 20-foot easement and pedestrian path shall be permitted and constructed prior to the issuance of a Certificate of Occupancy related to the construction of any multifamily and townhouse-family dwellings or dwelling units, subject to the stipulation that the CO shall not be withheld based on the City’s inability to deliver necessary right-of-way or easements for trail construction or for delays in permitting from GDOT.
- C. Developer shall be responsible for obtaining permission from the Gas provider for construction. All design and construction shall be approved by the City Engineer.

4. The following variances are requested:

- A. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow an increase of the maximum percentage of Residential Uses from seventy-five percent (75 %) to one hundred percent (100 %).
- B. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow the elimination of the minimum percentage of Civic/Institutional Uses from fifteen percent (15 %) to zero.
- C. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow the elimination of the minimum percentage of Commercial/Retail, Light Industrial or Office Uses from fifteen percent (15%) to zero.

- D. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 1., Residential Uses – Maximum Percentage of Gross Land Area – Residential Uses to allow the elimination of the minimum percentage of Commercial/Retail, Light Industrial or Office Uses from fifteen percent (15%) to zero.
- E. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 2., Housing Options to allow the elimination of a. Single-family detached dwellings on large lots (at least 9,500 sq. feet).
- F. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 2., Housing Options to allow the elimination of a. Single-family detached dwellings on mid-size lots (7,500-9,499 sq. feet).
- G. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection B. Land Use Mix, Table 2., Housing Options to allow the elimination of a. Single-family detached dwellings on large lots (4,500-7,499 sq. feet).
- H. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection C. Lot Development Standards, Table 1., Project Area Standards – Minimum Front Setback to allow the elimination of minimum front yard setback (adjacent to Hillcrest Green Drive from five to fifteen feet (5-15 ft.) to zero.
- I. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.9 – CMU Community Mixed-Use District, Subsection C. Lot Development Standards, Table 1., Project Area Standards – Minimum Front Setback to allow the elimination of minimum front yard setback (adjacent to S.R. 316, U.S. Hwy 20) from five to fifteen feet (5-15 ft.) to thirty feet (30 ft.).
- J. A variance from the Zoning Ordinance, Article 4 – Buffers, Section 403 – Buffers Table – to allow a fifty percent (50%) reduction of minimum buffer requirements between dissimilar zoning classifications (CMU and RS-150) (adjacent to Dogwood Lane) from fifty feet (50 ft.) to twenty-five feet (25 ft.).



# LAWRENCEVILLE

GEORGIA

## REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>McKinley Homes, LLC</u> c/o Smith, Gambrell & Russell, LLP	NAME: <u>(See Attached Pages)</u>
ADDRESS: <u>1105 West Peachtree Street, Suite 1000</u>	ADDRESS: _____
CITY: <u>Atlanta</u>	CITY: _____
STATE: <u>GA</u> ZIP: <u>30309</u>	STATE: _____ ZIP: _____
CONTACT PERSON: <u>Dennis Webb</u> PHONE: <u>404-815-3620</u>	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
PRESENT ZONING DISTRICT(S): <u>RS-150</u> REQUESTED ZONING DISTRICT: <u>RM-24</u>	
PARCEL NUMBER(S): <u>R7010-009</u> ACREAGE: <u>16.43</u>	
ADDRESS OF PROPERTY: <u>0 Hillcrest Green Drive, Lawrenceville, Georgia 30046</u>	

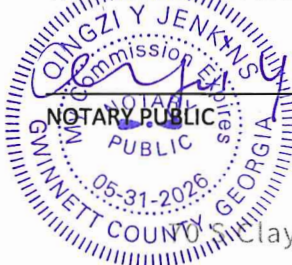
RZM2024-00016  
RECEIVED: JUNE 17, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

AW. Webb 5-2-2024  
SIGNATURE OF APPLICANT DATE

\_\_\_\_\_  
SIGNATURE OF OWNER DATE

Henry W. Massie  
TYPED OR PRINTED NAME

\_\_\_\_\_  
TYPED OR PRINTED NAME



[Signature]  
DATE 05-02-2024

\_\_\_\_\_  
NOTARY PUBLIC DATE

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770.963.2414 • www.lawrencevillega.org



# LAWRENCEVILLE GEORGIA

## REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
<b>NAME:</b> <u>McKinley Homes, LLC</u> <u>c/o Smith, Gambrell &amp; Russell, LLP</u>  <b>ADDRESS:</b> <u>1105 West Peachtree Street, Suite 1000</u>  <b>CITY:</b> <u>Atlanta</u>  <b>STATE:</b> <u>GA</u> <b>ZIP:</b> <u>30309</u>	<b>NAME:</b> <u>Donald G. Loggins</u>  <b>ADDRESS:</b> <u>3770 Bold Springs Road</u>  <b>CITY:</b> <u>Monroe</u>  <b>STATE:</b> <u>GA</u> <b>ZIP:</b> <u>30656</u>
<b>CONTACT PERSON:</b> <u>Dennis Webb</u> <b>PHONE:</b> <u>404-815-3620</u>	
<p>* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.</p>	
<b>PRESENT ZONING DISTRICT(S):</b> <u>RS-150</u> <b>REQUESTED ZONING DISTRICT:</b> <u>RM-24</u>	
<b>PARCEL NUMBER(S):</b> <u>R7010-009</u> <b>ACREAGE:</b> <u>16.43</u>	
<b>ADDRESS OF PROPERTY:</b> <u>0 Hillcrest Green Drive, Lawrenceville, Georgia 30046</u>	

RZM2024-00016  
RECEIVED: JUNE 17, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

\_\_\_\_\_  
SIGNATURE OF APPLICANT                      DATE

Donald G. Loggins                      4/19/2024  
SIGNATURE OF OWNER                      DATE

\_\_\_\_\_  
TYPED OR PRINTED NAME

Donald G. Loggins  
TYPED OR PRINTED NAME

\_\_\_\_\_  
NOTARY PUBLIC                      DATE

Judith S. Hallum                      4/19/2024  
NOTARY PUBLIC                      DATE



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# LAWRENCEVILLE

## GEORGIA

### REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>McKinley Homes, LLC</u> c/o Smith, Gambrell & Russell, LLP	NAME: <u>Estate of Charles L. Arnold</u>
ADDRESS: <u>1105 West Peachtree Street, Suite 1000</u>	ADDRESS: <u>1645 Ivy Lea Court</u>
CITY: <u>Atlanta</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30309</u>	STATE: <u>GA</u> ZIP: <u>30045</u>
CONTACT PERSON: <u>Dennis Webb</u> PHONE: <u>404-815-3620</u>	
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PRESENT ZONING DISTRICT(S): <u>RS-150</u> REQUESTED ZONING DISTRICT: <u>RM-24</u>	
PARCEL NUMBER(S): <u>R7010-009</u> ACREAGE: <u>16.43</u>	
ADDRESS OF PROPERTY: <u>0 Hillcrest Green Drive, Lawrenceville, Georgia 30046</u>	

RZM2024-00016  
RECEIVED: JUNE 17, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

\_\_\_\_\_  
SIGNATURE OF APPLICANT                      DATE

\_\_\_\_\_  
TYPED OR PRINTED NAME

\_\_\_\_\_  
NOTARY PUBLIC                                      DATE

Trina A. Hurt 04/26/2024

SIGNATURE OF OWNER                      DATE  
Trina A. Hurt as Administrator of the

Estate of Charles L. Arnold, Sr.

\_\_\_\_\_  
TYPED OR PRINTED NAME

Williams 04/26/2024

\_\_\_\_\_  
NOTARY PUBLIC                                      DATE



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# LAWRENCEVILLE

## GEORGIA

### REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>McKinley Homes, LLC</u> c/o Smith, Gambrell & Russell, LLP	NAME: <u>Estate of Salena O. Arnold</u>
ADDRESS: <u>1105 West Peachtree Street, Suite 1000</u>	ADDRESS: <u>1376 Joe Cooper Road</u>
CITY: <u>Atlanta</u>	CITY: <u>Danielsville</u>
STATE: <u>GA</u> ZIP: <u>30309</u>	STATE: <u>GA</u> ZIP: <u>30633</u>
CONTACT PERSON: <u>Dennis Webb</u> PHONE: <u>404-815-3620</u>	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
PRESENT ZONING DISTRICT(S): <u>RS-150</u> REQUESTED ZONING DISTRICT: _____	
PARCEL NUMBER(S): <u>R7010-009</u> ACREAGE: <u>16.43</u>	
ADDRESS OF PROPERTY: <u>0 Hillcrest Green Drive, Lawrenceville, Georgia 30046</u>	

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\_\_\_\_\_  
SIGNATURE OF APPLICANT      DATE

\_\_\_\_\_  
TYPED OR PRINTED NAME

\_\_\_\_\_  
NOTARY PUBLIC      DATE

*[Signature]*      4-23-24  
SIGNATURE OF OWNER      DATE

John N. Taylor, executor  
TYPED OR PRINTED NAME

*[Signature]*      4-23-24

TYLER HALL	DATE
NOTARY PUBLIC	
Madison County	
State of Georgia	
My Comm. Expires January 10, 2028	



# LAWRENCEVILLE

GEORGIA

### REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>McKinley Homes, LLC</u> c/o Smith, Gambrell & Russell, LLP	NAME: <u>Allen Wilfredo &amp; Juana Ardon Rodriguez</u>
ADDRESS: <u>1105 West Peachtree Street, Suite 1000</u>	ADDRESS: <u>298 Dogwood Lane</u>
CITY: <u>Atlanta</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30309</u>	STATE: <u>GA</u> ZIP: <u>30046</u>
CONTACT PERSON: <u>Dennis J. Webb Jr.</u> PHONE: <u>404-815-3620</u>	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
PRESENT ZONING DISTRICT(S): <u>RS-150</u> REQUESTED ZONING DISTRICT: <u>RM-24</u>	
PARCEL NUMBER(S): <u>R7010-A018</u> ACREAGE: <u>1.170</u>	
ADDRESS OF PROPERTY: <u>298 Dogwood Lane, Lawrenceville GA (made in connection with 0 Hillcrest Drive)</u>	

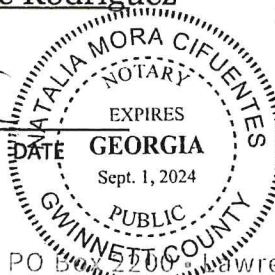
Juana Ardon Chavez De Rodriguez 05/20/2024  
SIGNATURE OF APPLICANT DATE

Allen Wilfredo Rodriguez 05/20/2024  
SIGNATURE OF OWNER DATE

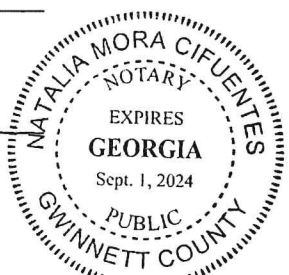
Juana Ardon Chavez De Rodriguez  
TYPED OR PRINTED NAME

Allen Wilfredo Rodriguez  
TYPED OR PRINTED NAME

Natalia Mora Cifuentes  
NOTARY PUBLIC 5/20/24 DATE



Natalia Mora Cifuentes  
NOTARY PUBLIC 5/20/24 DATE



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770.963.2414 • www.lawrencevillega.org

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# LAWRENCEVILLE

## GEORGIA

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? N Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)

Have you, within the two years immediately preceding the filing of this application, made gifts having in the aggregate a value of \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? N Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)

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Attach additional sheets if necessary to disclose or describe all contributions/gifts.



# LAWRENCEVILLE

GEORGIA

### VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF LAWRENCEVILLE PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.

PARCEL I.D. NUMBER:     R7     -     010     -     A018      
(Map Reference Number)                      District                      Land Lot                      Parcel

\_\_\_\_\_  
Signature of Applicant

\_\_\_\_\_  
Date

\_\_\_\_\_  
Type or Print Name and Title

\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONER’S OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\*

---

### TAX COMMISSIONER’S USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
Jacqueleen Garcia

NAME

\_\_\_\_\_  
05/15/2024

DATE

\_\_\_\_\_  
Tax Associate II

TITLE

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**Diehl, William**

**From:** Tax <Tax@gwinnettcounty.com>  
**Sent:** Wednesday, May 15, 2024 5:17 PM  
**To:** Diehl, William  
**Subject:** R7010A018 R7010 009 RE: Property Tax Verification  
**Attachments:** Verification R7010 009 SIGNED.pdf; Verification R7010 A018 SIGNED.pdf

**CAUTION:** This email originated from outside of the organization. Do not click links or open attachments unless you recognize the sender and know the content is safe.

Good afternoon,

Thank you for emailing the Tax Commissioner’s office.

Please see attached signed tax form for R7010A018, R7010 009, 2023 and prior years are paid in full.

The 2024 taxes will be mailed out in the month of August. They have yet to be determined at this time.

Thanks,



**Jacquleen Garcia**

Tax Associate II | Call Center |Gwinnett County Tax Commissioner’s Office  
Denise R. Mitchell, MPA, Tax Commissioner  
770-822-8800 | [www.GwinnettTaxCommissioner.com](http://www.GwinnettTaxCommissioner.com)

**‘Distinction in government and exemplary service.’**

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**From:** Diehl, William <wdiehl@sgrlaw.com>  
**Sent:** Tuesday, May 14, 2024 9:32 AM  
**To:** Tax <Tax@gwinnettcounty.com>  
**Subject:** Property Tax Verification

**CAUTION:** This email originated from outside of Gwinnett County Government. Maintain caution when opening links, attachments, or responding. When in doubt, contact [phishing@gwinnettcounty.com](mailto:phishing@gwinnettcounty.com).

Good Morning,

The City of Lawrenceville requires tax verifications for rezoning applications. Could your office verify property taxes are paid on the two parcels referenced in the attached verifications?

Thank you for your help and please let me know if any further information is needed.

Thanks,

**William (Bill) Diehl**  
*Associate*

---

**p** | 404-815-3627  
**f** | 404-685-6927  
**e** | [wdiehl@sgrlaw.com](mailto:wdiehl@sgrlaw.com)  
1105 W. Peachtree St. NE | Suite 1000 | Atlanta, GA 30309  
[www.sgrlaw.com](http://www.sgrlaw.com) | [My Bio](#)



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**FIRST AMENDED**  
**LETTER OF INTENT**  
**and**  
**IMPACT ANALYSIS**

and

Other Material Required by  
City of Lawrenceville Zoning Ordinance  
for the  
Rezoning and Concurrent Variance Application

of

**MCKINLEY HOMES, LLC**

for

± 17.47 Acres of Land  
located at 0 Hillcrest Green Drive  
PIN: R7010 009 & R7010 A018 Gwinnett County, Georgia

**From RS-150 to RM-24 and  
Associated Concurrent Variances**

Submitted for Applicant by:

Dennis J. Webb, Jr.  
William J. Diehl  
Smith, Gambrell & Russell, LLP  
1105 W. Peachtree Street, NE  
Suite 1000  
Atlanta, Georgia 30309  
404-815-3500

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**I. INTRODUCTION**

This project proposes the development of Class A luxury rental units with mixed densities and housing-products on an undeveloped lot currently zoned RS-150. The property is a 17.47 acre assemblage (Property Identification Numbers: R7010 009 & R7010 A018) adjoining Highway 316 to the north and the Groves of Lawrenceville apartment community and Dogwood Lane neighborhood to the south (the “Subject Property”). This proposal seeks rezoning to the RM-24 zoning district and concurrent variances to the setbacks from Highway 316 and from the right of way from the cul-de-sac at the termination of Hillcrest Green Drive, as required by the City of Lawrenceville Zoning Ordinance (the “Zoning Ordinance”). The development envisions the construction of a 227-unit, mixed housing-style community featuring 194 apartment units and 33 townhomes developed in a new urbanist, walkable layout and employing modern farmhouse architecture. The Development results in a density of 12.99 units per acre and will prioritize luxury units intended for a professional market. In keeping with this upscale concept, the Development will include modern amenities such as a clubhouse, resort style-pool, playground, multiuse trail and dog park, among other amenities.

The site is in close proximity to expanding employment centers in the City, such as Northside Hospital Gwinnett and Georgia Gwinnett College (“GGC”), positioning the development to support anticipated (and significant) increases in employment opportunities and population growth within the City. The development expands Lawrenceville’s limited Class A rental inventory, while embracing the high standard for development set by the Lawrenceville Lawn and other similar developments. The resulting product is a community that is connected, vibrant, and intentionally developed to highlight Lawrenceville’s amenities and to provide an attractive and modern gateway into the City from Highway 316.

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Access to Lawrenceville’s trail system is particularly important to this Development and its goals for providing walkability, active amenities and convenience. A portion of land in the northeast corner of the Property will be dedicated to the City, providing the City’s trail system with critical connectivity under Highway 316 and dedicated pedestrian access between GGC and downtown Lawrenceville. This civic space amenity is intentionally highlighted by the development plans, with buildings and landscaping oriented to address and facilitate connectivity with the Development. Further, the primary multi-family building is oriented to face the multi-use trail, providing an inviting and attractive architectural façade from the path. An internal multi-use trail will connect all the units in the community and the Dogwood Lane community to the Lawrenceville trail system via a dedicated pedestrian path. The improvements will help foster a walkable and new-urbanist feel to the development, as opposed to the vehicle-centric, garden style multifamily development of decades past.

Residents entering and exiting the development by vehicle will utilize Hillcrest Green Drive which has direct connectivity to Hurricane Shoals Road at a signalized intersection with designated lefthand turning lanes. The site also benefits from easy connectivity to major transportation thoroughfares, such as Highway 316, Duluth Highway and Collins Hill Road. Residents utilizing the adjoining trail system to access retail facilities (many of which are slated for considerable improvements in connection with an adjoining development) or GGC have less than a half mile walk to GGC or to the retail/grocery amenities on Collins Hill Road. The development will be parked above standards, with parking spaces dispersed throughout the community to ensure accessible parking facilities and reduce concentrations of impervious surfaces. Some of the parking facilities will be improved with unit garages available for residents. The garages will be constructed with masonry materials and will be fully enclosed. An additional

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emergency access point will be developed from Dogwood Lane. To preserve the established residential neighborhood on this street, this access point will be gated with a knox-box and will be used as an emergency-only entrance. Additionally, recreational amenities will be developed on portions to enhance the amenity offerings for residents. The property will preserve tree cover and landscaping will be supplemented where necessary to enhance screening.

The rezoning is supported by the Comprehensive Plan, which places the Property in the Community Mixed Use area. The Character Area envisions higher-density residential communities that “promot[e] walkability and enhance[e] the overall accessibility and convenience of the neighborhood.” (Comp. Plan, pg. 53). As discussed in greater detail below, the development provides additional and newer multifamily inventory, a priority identified in the Comprehensive Plan and the City’s recently adopted Housing Study. That study specifically identified the need for diversifying and re-energizing the City’s aging multifamily housing inventory (See Housing Strategy, p. 8). Expanding rental inventories and products for younger or recently relocated professionals is central to the City’s goals of fostering and retaining an engaged population with the means and desire to make long-term investments within the City.

Lawrenceville’s need for multifamily housing may be more acute than those of other communities within Gwinnett County, particularly given the expansion of Northside Hospital and growth of GGC. Lawrenceville’s projected demographics when compared to other communities, lean more heavily toward younger professionals (employed at Northside Hospital, Gwinnett County or the City of Lawrenceville) and students attending GGC and nearby Philadelphia College of Osteopathic Medicine (“PCOM”) (See Comp. Plan pp. 33 & 40 (recognizing changing demographics and shifts those changes may have on housing preferences)). These individuals often have the incomes to support higher-quality housing but are not interested in longer-term housing

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ownership, either enjoying Lawrenceville’s amenities during their limited tenures at local colleges, or during their transitions to homeownership. Additionally, this demographic is more likely to utilize public amenities (such as trails) and is more likely to patronize local restaurant and retail establishments.

The development team sees this community not only as a landing spot for these young and new residents of the City but also as a launching-off point, helping to foster subsequent investment in for-sale housing products in the area as residents’ careers and families expand. This development introduces Lawrenceville to new residents in a centrally located and amenitized community that is connected to and a part of Lawrenceville’s expanding employment and commercial centers. The Development incorporates two distinct housing products within the centrally managed property, including 33 two-car garage townhomes and 194 multi-family homes divided among three buildings. This configuration allows for variations in unit sizes, which broaden offerings and extend the appeal to residents, particularly younger professionals with varying needs for square footages. The community will be maintained and operated by an established and committed management team, which will ensure that residents receive the Class-A apartment product they desire, with exquisite amenities and essentially no-maintenance obligations on residents.

In addition to this rezoning request, the Applicant also seeks variances from the setback requirements of the Zoning Ordinance. A reduction in the setback from Highway 316 is requested, reducing the buffer from 50 feet to 30 feet. This design is necessitated by the shape of the lot and the perennial stream that splits the lot widthwise and, accordingly, reduces access points. Even with this reduction, the size of the existing right-of-way from Highway 316 will significantly set

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the development back from the highway. Further, the Property’s topography and the existing buffer will reduce direct sightlines between the development and the highway.

A variance in the setback from Hillcrest Green Drive is also sought, requesting a reduction from 50 feet to 0 feet from the right-of-way. Hillcrest Green Drive is a public road that terminates in a currently developed cul-de-sac with a right-of-way dedication on the Property of over 100 feet in diameter. Extending an additional 50-foot setback from this cul-de-sac would eliminate large portions of developable land on the Property. Further, the Development’s desire to emphasize a new urbanist style with connectivity to the multi-use trail requires that setbacks from parking and transportation rights-of-way be minimized. Doing so allows the development to better emphasize and address public amenities such as the trail. It also provides a better transition between the uses of land. A strict application of the Zoning Ordinance and these setbacks would result in a hardship upon the Property’s reasonable development given the unique geographic and topological features of this Property. Additionally, the variances allow for higher quality architectural and site design features of this community.

**II. IMPACT ANALYSIS FOR REZONING**

***1. Whether a zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property***

The Development’s proposed multifamily residential use is compatible with surrounding development and uses of land. To the southeast of the Property is the Groves of Lawrenceville, a multifamily rental development currently zoned RM-12. The rental-community development was constructed in 2002 and features older, townhome-style, two-story apartments with no covered parking. To the Southeast of the Property is a large commercial shopping center anchored by Kohl’s and Walmart. The Northern boundary of the Property abuts Highway 316.

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Other multifamily communities exist within close proximity to the Property. In Lawrenceville’s municipal limits, the SYNC at Ten Oaks apartment community is similarly located between a commercial center (now the Northside Resource Center and Primary Care facilities) and Highway 316. Other apartment communities along the same road (Walther Road) but located in unincorporated Gwinnett County are the Sugar Mill and Parc @ 980 communities. Both developments are within approximately half a mile of the Property and each were developed in 1997. Along Collins Hill Road is an approved multi-family and mixed used community, with approximately 300-units being constructed, additional commercial and retail space, and slated improvements to the facades of existing buildings.

Development patterns and uses, thus, are of relatively high intensities and are compatible with the denser multifamily community envisioned here. The surrounding uses show a clear precedent for multifamily development along this corridor. Many of the surrounding multifamily developments, like the community envisioned here, adjoin the Highway 316 and are accessed by minor collector streets. Moreover, the development reduces its density as it transitions toward the more established residential communities on Dogwood Lane, reducing the impact of the development on this established community. Additional housing units will not interfere with the surrounding uses.

**2. *Whether a zoning proposal will adversely affect the existing use or usability of adjacent or nearby property.***

As previously described, the surrounding uses are of similar densities and intensity of uses. Other multifamily developments exist within the area and are similarly situated on parcels that adjoin Highway 316. Although this precedent exists, this development will not create an oversupply of multifamily units. The City has an identified need to expand multifamily housing units, particularly with newer units developed for young professionals in the healthcare and public

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administration industries. The demand arises not only from demand for new rental housing<sup>1</sup> but also an by housing turnover, increase in housing demand arising from the desired replacement of depreciated multifamily units with newer, modern facilities as renters look to upgrade their rental housing. In all, the Comprehensive plan identifies the need for more than 1,000 total rental units in the City over the next twenty years (Comp. Plan p. 122).

The proposed multifamily use will be complementary to the surrounding commercial and institutional uses. New residents will provide an active consumer base for surrounding commercial and retail properties. The development of the multi-use trail on the northeastern section of the Property will provide residents with safe and pedestrian-specific walking access to commercial businesses, many of which are located less than half a mile from the Property. The trail also permits residents to access GGC and downtown Lawrenceville, helping to foster meaningful pedestrian activity across important economic and institutional sectors of the City. The Development’s proximity to the college and the commercial/retail amenities is approximately the same distance from Lawrenceville City Hall to the Historic Courthouse, making walking or biking a feasible and attractive option for many residents. Further, the site plan will emphasize this connectivity and encourage use by providing landscaping, signage, and hardscaping to direct residents to the trail.

The development also addresses important housing shortcomings recognized in the Comprehensive Plan and the 2022 Housing Study. The study recognizes that well over 12,000 people are employed in Lawrenceville’s the Public Administration and Health Care industries. (See Housing Study Presentation, p. 7). Despite large numbers of employees engaged in relatively high paying jobs, few of those employees live in Lawrenceville. The gap, according to the Housing

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<sup>1</sup> The Comprehensive Plan identifies the need for 350 additional new rental housing units in the City within the next twenty years. (Comp. Plan p. 122).

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Study, leaves more than 10,000 employees exiting the City at the end of the workday and heading outside of the City to live, shop, and engage (Housing Study Presentation, p. 17).

In large part, this gap is a consequence of the lack of housing supply to address unique demands associated with this particular demographic. This Development provides a mix of housing types and styles, offering professionals looking for rental housing in Lawrenceville with the ability to rent Class A apartment flats or exquisitely maintained and attractive townhomes. Every unit is offered with access to resort style amenities and with no-maintenance obligations. Lawrenceville generally lacks this quality of rental-housing inventory. As currently situated, potential residents must either look toward the relatively few Class A rental apartments units available in the City or look to rent older, more traditional single family homes and assume the obligations for lawn and home maintenance generally associated with these types of rental-housing products. For many, neither is attractive and, when faced with these obstacles, many professionals choose to find other housing options outside of the City and commute into Lawrenceville, as opposed to living in the community.

The development proposed here provides Class A rental units for the growing healthcare and other professional employees working in Lawrenceville and provides housing that attracts employees currently unable to purchase for-sale housing products in close proximity to their work and within the City limits. That is, the development’s intended market are younger professionals where residents will first be introduced to the breadth of services, facilities, and lifestyle Lawrenceville offers.

**3. *Whether the property to be affected by a zoning proposal has a reasonable economic use as currently zoned.***

The Property’s current zoning is RS-150, a large lot single family zoning district. Given the Property’s proximity to Highway 316, topography and the surrounding intensity of uses, a low-

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density single-family development is not feasible on nor reasonable for the Property. Intervening zoning districts, likewise, are not feasible for development of the Property. The Property is situated such that only the requested zoning district provides any reasonably economic use.

**4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools.**

The development will not result in an excessive burden to existing infrastructure, utilities, or schools. As will be demonstrated in a traffic study that will be provided in connection with this application, the projected development is not anticipated to create traffic issues. Residents will primarily use Hurricane Shoals to enter and exit the Property, driving east to access Collins Hill Road and west to access Duluth Highway. Hurricane Shoals and Collins Hill Roads are classified as major collector streets. Duluth Highway is classified as a minor Arterial Road. As reflected in the traffic study which will be supplemented with the application, the development is not expected to impact the levels of service for any of these throughfares.

The development is unlikely to have a material impact on schools. The absence of three-bedroom apartments limits the extent to which families with children will likely be residents of the community. Two-bedroom apartments are offered in a roommate layout with separate ensuite bathrooms. The townhome products similarly are not of the style or size that would be attractive to most families. The development is more likely to attract younger professionals and empty nesters than established families with school-aged children. Nevertheless, there appears to be sufficient capacity at Central Gwinnett High School and Lawrenceville Elementary School to accommodate any increase in students.

**5. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan.**

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The Comprehensive Plan, as previously noted, identifies the need for newer rental communities in Lawrenceville (Comp. Plan p. 116). The need arises from projected population growth, fueled largely by the expansion of Northside Hospital and the existing public administration operations within the City (Comp. Plan pg. 106). These expanding industries often employ younger individuals just beginning professional careers, who often lack the immediate desire or ability to purchase for-sale homes (Comp. Plan. pg. 40). Millennial and Generation Z professionals are typically in the market for newer and larger Class A apartment communities with amenities, connectivity, and luxury units. This is a target market for the Development envisioned here and the site plan address these unique demands, providing luxury style apartments, “lock-and-leave” townhome rentals, modern amenities, and connectivity by way of the multiuse trail.

The Comprehensive Plan identifies the lack of higher-end apartment developments in the City. As noted, much of the City’s apartment inventory is more than twenty years old and only 430 new rental units have been constructed since 2010 (Comp. Plan p. 118). This aged inventory, as the Comprehensive Plan identifies, should be “phased out” and replaced by newer developments with modern design and amenity features like those proposed here (Comp. Plan p. 131). The proposed development provides new higher-end multifamily units in-line with the quality of development set by the Lawrenceville Lawn development and other developments which have leveraged their location and outdoor spaces to create more connected communities. This development style is encouraged in the Comprehensive Plan, which calls for “[e]mbracing innovative housing models that align with changing lifestyles and preferences” (Comp. Plan, pg. 125).

This high standard of development is also consistent with the spirit of the Community Mixed Use character area in which the Property is located. The character area envisions “vibrant

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and walkable neighborhoods” that “promot[e] walkability and enhance[e] the overall accessibility and convenience of the neighborhood” (Comp. Plan p. 53). This development meets these standards by utilizing a property that otherwise would be undevelopable for traditional single-family residential or commercial development. Indeed, the site presents development challenges that preclude any development that could meet the quality and standard the City should expect on one of its primary gateways. This development creates a diversity of luxury-style housing options and types. Further, the development provides a community that is connected to GGC and downtown Lawrenceville. While there are no commercial uses within the development, the site plan is specifically engineered to engage the surrounding commercial and retail facilities and encourages residents to utilize the multiuse trail to access those businesses.

**6. *Whether there are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval or disapproval of the zoning proposal.***

Existing and changing conditions support the zoning proposal. Lawrenceville continues to be a target for the expansion of medical and other institutional facilities in the Northeast Georgia area. Northside Hospital Gwinnett will become the hospital’s largest facility in the state, even surpassing its traditional Atlanta campus. These expansions have increased projections for growth within the City, even from the relatively recently adopted Housing Study and the Comprehensive Plan. Accordingly, some of the modeling from each plan may have understated housing demand calculations. Even with the prior calculations, however, the development addresses an undersupply of multifamily housing inventory and recent expansions only further reiterate the unfulfilled demand in the area.

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III. **NOTICE OF CONSTITUTIONAL CHALLENGE TO UNDERLYING ZONING AND PRESERVATION OF CONSTITUTIONAL RIGHTS**

The Applicant respectfully submits that the current zoning classification of the Property and any proposed intervening district is unconstitutional and that rules relative to the Property owner’s right to use the Property established in the Lawrenceville Zoning Ordinance, to the extent they prohibit this use, constitute an arbitrary, irrational abuse of discretion and unreasonable use of the zoning power because they bear no substantial relationship to the public health, safety, morality or general welfare of the public and substantially harm the Applicant in violation of the due process and equal protection rights guaranteed by the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia. Further, the failure to allow this use would constitute a taking of private property without just compensation and without due process in violation of the Fifth Amendment and Fourteenth Amendment of the Constitution of the United States, and Article I, Section I, Paragraph I and Article I, Section III, Paragraph I of the Constitution of the State of Georgia, and would be in violation of the Commerce Clause, Article I, Section 8, Clause 3 of the Constitution of the United States.

The Applicant respectfully submits that the City Council’s failure to approve the requested rezoning would be unconstitutional and would discriminate in an arbitrary, capricious and unreasonable manner between the Subject Property’s owner and owners of similarly situated property in violation of Article I, Section III, Paragraph I of the Constitution of the State of Georgia and the Equal Protection Clause of the Fourteenth Amendment of the Constitution of the United States.

A refusal to allow the development in question would be invalid inasmuch as it would be denied pursuant to an ordinance which is not in compliance with the Zoning Procedures Law,

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PLANNING AND DEVELOPMENT DEPARTMENT

O.C.G.A. § 36-66-1 *et seq.*, due to the manner in which the Ordinance as a whole and its map(s) have been adopted.

Opponents to this request, if any, lack standing; have failed to exhaust administrative remedies; and have waived their rights to appeal by failing to assert legal and constitutional objections.

IV. **CONCLUSION**

For the foregoing reasons, the Applicant respectfully requests that the proposed rezoning be approved. The Applicant also invites and welcomes any comments from Staff or other officials of the City so that such recommendations or input might be incorporated as conditions of approval of this Application.

This 14<sup>th</sup> day of June, 2024.

Respectfully submitted,

/s/ Dennis J. Webb, Jr.  
Dennis J. Webb, Jr.  
William J. Diehl  
Attorneys for Applicant

Smith, Gambrell & Russell, LLP  
1105 W. Peachtree Street, NE  
Atlanta, Georgia 30309  
404-815-3500

RZM2024-00016  
RECEIVED: JUNE 17, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

LEGAL DESCRIPTION  
OVERALL TRACT

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 10, of the 7th District, City of Lawrenceville, Gwinnet County, Georgia and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING COMMENCE at a found 1/2 inch rebar, said rebar having coordinates of North 1,445,296.0 and East: 2,345,220.7, coordinates based on NAD83 State Plane Coordinate system, Georgia West zone, said rebar located at the intersection of the southeasterly right of way line of S.R. 316 (a.k.a. U.S. Hwy 20 ) (variable public right of way) (limited access) and common land lot line between Land Lots 9 and 10; thence along said southeasterly right of way line of S.R. 316 and common land lot line between Land Lots 9 and 10 South 30 degrees 49 minutes 14 seconds East a distance of 49.37 feet to a found right of way monument, said monument being the TRUE POINT OF BEGINNING;

With the TRUE POINT OF BEGINNING thus established thence leaving said common land lot line and proceed along said southeasterly right of way of S.R. 316 the following courses and distances: North 49 degrees 44 minutes 30 seconds East a distance of 759.70 feet to a found right of way monument; North 41 degrees 24 minutes 48 seconds East a distance of 207.49 feet to a found right of way monument; along a curve turning to the right with an arc length of 781.77 feet, having a radius of 1727.54 feet, being subtended by a chord bearing of North 62 degrees 40 minutes 55 seconds East, and a chord length of 775.12 feet to a found concrete monument; thence leaving said southeasterly right of way and proceed South 30 degrees 13 minutes 16 seconds East a distance of 453.72 feet to a found iron pin with cap; thence South 61 degrees 23 minutes 08 seconds West a distance of 163.73 feet to a found iron pin with cap on the northeasterly right of way of Hillcrest Green Drive (60 foot public right o way); thence along said northeasterly right of way the following courses and distances: North 42 degrees 31 minutes 30 seconds West a distance of 51.79 feet to a point; along a curve turning to the right with an arc length of 5.27 feet, having a radius of 11.00 feet, being subtended by a chord bearing of North 28 degrees 55 minutes 31 seconds West, and a chord length of 5.22 feet to a point; along a reverse curve turning to the left with an arc length of 295.24 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 23 degrees 50 minutes 07 seconds West, and a chord length of 75.57 feet to a point located on the southwesterly right of way of said Hillcrest Green Drive; thence along said southwesterly right of way the following courses and distances: with a reverse curve turning to the right with an arc length of 14.27 feet, having a radius of 11.00 feet, being subtended by a chord bearing of South 79 degrees 49 minutes 08 seconds East, and a chord length of 13.29 feet to a point; South 34 degrees 51 minutes 44 seconds East a distance of 5.72 feet to a found iron pin with cap; thence leaving said southwesterly right of way and proceed South 60 degrees 24 minutes 30 seconds West a distance of 556.73 feet to a found angle iron; thence South 60 degrees 12 minutes 03 seconds West a distance of 534.10 feet to a found 1 1/2 inch open top pipe; thence South 15 degrees 21 minutes 38 seconds West a distance of 230.27 feet to a point on the northerly right of way of Dogwood Lane (60 foot public right of way); thence along said right of way along a curve turning to the left with an arc length of 83.79 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 59 degrees 05 minutes 15 seconds West, and a chord length of 77.14 feet to a point; thence leaving said right of way North 73 degrees 50 minutes 39 seconds West a distance of 228.43 feet to a found 1 3/4 inch open top pipe located on said common land lot line between Land Lots 9 and 10; thence along said common land lot line North 31 degrees 01 minutes 45 seconds West a distance of 280.18 feet to a found right of way monument, said monument being the TRUE POINT OF BEGINNING.

Tract or parcel contains 760,998 square feet or 17.470 acres.

### STRUCTURE LEGEND

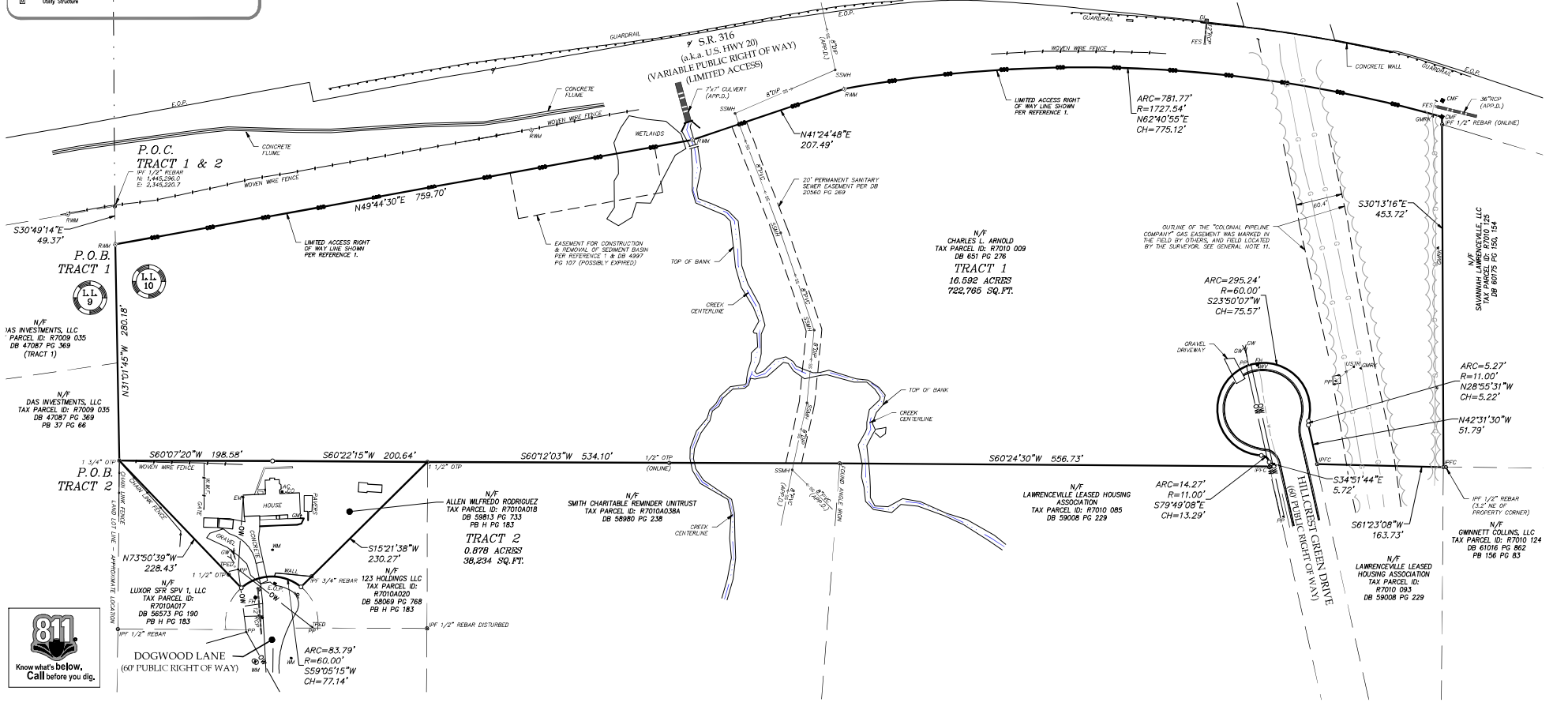
- ELECTRIC/POWER**
  - > Guy Wire
  - > Electric Meter
  - > Power Pole/Utility Pole
  - > Street Light/Utility Pole
- GAS**
  - > Gas Meter
  - > Gas Valve
  - > Gas Vent Pipe
  - > Gas Marker
- SEWER**
  - > Sanitary Sewer Manhole
  - > Cleanout
  - > Sanitary Sewer Vent Pipe
- PROPERTY MONUMENTS**
  - > Right-of-Way Monument Found
  - > Concrete Monument Found
  - > Iron Pin Set
  - > Iron Pin Found (Below Surface)
  - > Post
- MISCELLANEOUS UTILITIES**
  - > Utility Structure

### ABBREVIATIONS

- |            |                          |        |                          |
|------------|--------------------------|--------|--------------------------|
| APPROX. #4 | Aggregate                | PS     | Iron Pin Set             |
| S&C        | Grill and Gutter         | LP     | Light Pole               |
| C.F.P.     | Chain Link Fence         | MM     | Mailing Mail             |
| C.M.P.     | Corrugated Metal Pipe    | N/C/F  | New or Formerly          |
| CO         | Clean Out                | QCS    | Quiet Control Structure  |
| C.P.P.     | Corrugated Plastic Pipe  | Q.T.P. | Open Top Pipe            |
| C.T.P.     | Circling Top Pipe        | RB     | Ridg Block               |
| DB         | Dead End                 | PC     | Pipe                     |
| DI         | Drop Inlet               | PKF    | PK Nail Found            |
| DE         | Drainage Easement        | PI     | Pin Nail Set             |
| EDP        | Edge of Pavement         | POB    | Point of Beginning       |
| EP         | Electric Pole            | POC    | Point of Commencement    |
| ESMT       | Electric Meter           | PPC    | Polyvinyl Chloride Pipe  |
| ES         | Easement                 | PS     | Radius                   |
| ESSE       | Extended End Section     | PCP    | Individual Concrete Pipe |
| FF         | Flag Pole                | NM     | Right of Way Monument    |
| F.F.D.     | Flag Pole Foundation     | SS     | Sanitary Sewer Easement  |
| FMBK       | Flag Pole Marker         | SSM    | Sanitary Sewer Manhole   |
| GA         | Gas Meter                | TR     | Transformer              |
| GM         | Gas Meter                | TSB    | Telephone Terminal Box   |
| HR         | Hard Road                | TSF    | Traffic Signal Pole      |
| H.R.       | Head Rail                | USP    | Utility Structure        |
| HW         | Headwall                 | USP    | Utility Structure        |
| ICV        | Irrigation Control Valve | W.C.P. | Wood Fence               |
| IL         | Invert Elevation         | WM     | Water Meter              |
| IPF        | Iron Pin Found           | W.M.F. | Wood Fence               |
|            |                          | XP     | Crosswalk Signal Pole    |

### LINETYPES

- |                                    |                   |   |                     |
|------------------------------------|-------------------|---|---------------------|
| <b>PROPERTY</b>                    | Adjacent Property | — | Overhead Wire       |
|                                    | Property Line     | — | Underground         |
|                                    | Center of Creek   | — |                     |
| <b>FENCE LINES</b>                 |                   |   |                     |
| —                                  | Chain Link Fence  | — | Cable               |
| —                                  | Wood Fence        | — | Electric            |
| —                                  | Woven Wire Fence  | — | Fluoroptic          |
| —                                  |                   | — | Light               |
| —                                  |                   | — | Telecommunications  |
| —                                  |                   | — | Water               |
| —                                  |                   | — | Telephone           |
| <b>SITE / TOPOGRAPHIC FEATURES</b> |                   |   |                     |
| —                                  | Guardrail         | — | Storm Drainage Line |
|                                    |                   | — | Sanitary Sewer      |



**PEC-60**  
Planners & Engineers Collaborative  
LAND PLANNING + LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING  
ARBORETS + SURVEYING + CONSTRUCTION + WATER RESOURCES  
350 RESEARCH COURT PEACHTREE CORNERS, GEORGIA 30092  
(770) 451-4741 WWW.PEC60.COM  
P.O. BOX 3000004

REVISIONS			
REV	DATE	DESCRIPTION	BY
5			
4			
3			
2			
1			

LAND LOT(S)	10
DISTRICT	7TH

ALTA/NSPS LAND TITLE SURVEY  
FOR  
MCKINLEY HOMES  
AND  
FIRST AMERICAN TITLE INSURANCE COMPANY  
CITY OF LAWRENCEVILLE

GWINNETT COUNTY  
GEORGIA

SHEET 1 OF 2  
DRAWN BY: MS  
CHECKED BY: JWH  
FILE NO.: 21256.01  
DATE: 6/9/2024  
SCALE: 1" = 60'  
DATE OF FIELD WORK: 5/31/24

NOTES

1. THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM FIELD SURVEY INFORMATION AND EXISTING DRAWINGS. THIS SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHENSIVELY ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT LOCATION INDICATED ALTHOUGH HE DOES CERTIFY THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM INFORMATION SUPPLIED AND TO THE SURVEYOR'S BEST KNOWLEDGE AND APPROXIMATELY AS SHOWN. THE SURVEYOR HAS NOT PHYSICALLY LOCATED THE UNDERGROUND UTILITIES. ALL UTILITIES SERVING THE PROPERTY ENTER THROUGH ADJOINING PUBLIC STREETS AND/OR EASEMENTS OF RECORD.
2. I HAVE EXAMINED THE FEDERAL EMERGENCY MANAGEMENT AGENCY FLOOD INSURANCE RATE MAP FOR GWINNETT COUNTY, GEORGIA AND INCORPORATED AREAS. COMMUNITY PANEL NUMBER 13155000236, PANEL 73 OF 155, EFFECTIVE DATE SEPTEMBER 29, 2006 AND FOUND NO PORTION OF THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "A" (AREAS OF 100 YEAR FLOOD). THE PROPERTY SHOWN HEREON TO FALL WITHIN A DESIGNATED FLOOD ZONE "X" (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOOD).
3. THE ORTHOMETRIC HEIGHTS (ELEVATIONS AND CONTOURS) SHOWN WERE DETERMINED BY GPS OBSERVATIONS AND WERE ADJUSTED BY PLANNERS AND ENGINEERS COLLABORATIVE IN MAY 2024. NORTH AMERICAN DATUM OF 1983 (NAD83), NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD83), GEORGIA WEST ZONE STATE PLANE COORDINATES.
4. THE TERM "CERTIFICATION" RELATING TO PROFESSIONAL ENGINEERING AND LAND SURVEYING SERVICES SHALL MEAN A SIGNED STATEMENT BASED UPON FACTS AND KNOWLEDGE KNOWN TO THE REGISTRANT AND IS NOT A GUARANTEE OR WARRANTY, EITHER EXPRESSED OR IMPLIED.
5. THE PROPERTY DESCRIBED HEREON (THE "PROPERTY") IS THE SAME AS THE PROPERTY DESCRIBED IN COMMENT NUMBER 24-0072A WITH AN EFFECTIVE DATE OF 04/16/2024 OR SAID OPINION AND THAT ALL EASEMENTS, COVENANTS AND RESTRICTIONS REFERENCED IN SAID TITLE COMMITMENT OR APPARENT FROM A PHYSICAL INSPECTION OF THE PROPERTY OR OTHERWISE KNOWN TO ME HAVE BEEN PLOTTED HEREON OR OTHERWISE NOTED AS TO THEIR EFFECT ON THE PROPERTY.
6. NO ZONING INFORMATION PROVIDED FOR BUILDING SETBACKS.
7. THIS SURVEY WAS MADE IN ACCORDANCE WITH LAWS AND/OR MINIMUM STANDARDS OF THE STATE OF GEORGIA.
8. THE PROPERTY HAS DIRECT ACCESS TO HILLCREST GREEN DRIVE, A DEDICATED PUBLIC STREET OR HIGHWAY.
9. THERE IS NO OBSERVED EVIDENCE OF USE OF THE PROPERTY AS A SOLID WASTE DUMP, SUMP OR SANITARY LANDFILL.
10. THIS DATA SET WAS TESTED TO MEET ASPRS POSITIONAL ACCURACY STANDARDS FOR DIGITAL GEOSPATIAL DATA (2014) FOR A          (CM) RMSEZ VERTICAL ACCURACY CLASS. ACTUAL NVA ACCURACY WAS FOUND TO BE RMSEZ =          CM, EQUATING TO +/-          CM AT 95% CONFIDENCE LEVEL. ACTUAL IVA ACCURACY WAS FOUND TO BE +/-          CM AT THE 95TH PERCENTILE.
11. SURVEYOR SUGGESTS FOR CLIENT TO CONTACT COLONIAL PIPELINE COMPANY TO VERIFY EXACT LIMITS OF GAS LINE EASEMENT.

REFERENCES

1. DEPARTMENT OF TRANSPORTATION, STATE OF GEORGIA, RIGHT OF WAY OF PROPOSED SR 20 INTERCHANGE, (LSJN-004-00708), GWINNETT COUNTY, FEDERAL AID PROJECT, PLANS PREPARED BY FBS&A, PLANS COMPLETED DATE 10/11/07, LAST REVISED 01/19/11.

LEGAL DESCRIPTION - TITLE (TRACT 2)

All that tract or parcel of land lying and being in Land Lot 10 of the 7th District, City of Lawrenceville, Gwinnett County, Georgia, being Lots 10 and 11, Block B of Herndon Heights Subdivision as shown on plat of Northern Heights Subdivision as same is recorded in Plat Book 14, page 163, Gwinnett County, Georgia Records. The description of said property as contained on said plat is hereby incorporated herein and made an essential part of hereof by reference. Said property having the address of 209 Dogwood Lane according to the present system of numbering houses in the City of Lawrenceville, Gwinnett County, Georgia.

ALTA/NSPS LAND TITLE SURVEY - TABLE "A" ITEMS

1. MONUMENTS PLACED OR FOUND AT ALL MAJOR CORNERS OF THE BOUNDARY OF THE SURVEYED PROPERTY, AND SHOWN HEREON.
2. ADDRESS(ES) OF THE SURVEYED PROPERTY: HILLCREST GREEN DRIVE, LAWRENCEVILLE, GA 30092
3. FLOOD ZONE INFORMATION IS INCLUDED IN GENERAL NOTES, NOTE 2.
4. GROSS LAND AREA OF SUBJECT PROPERTY IS 17,470 ACRES.
- 6(A). IF THE CURRENT ZONING CLASSIFICATION, SETBACK REQUIREMENTS, THE HEIGHT AND FLOOR SPACE AREA RESTRICTIONS, AND PARKING REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY ARE SET FORTH IN A ZONING REPORT, OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE, LIST THE ABOVE ITEMS ON THE PLAT OR MAP AND IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER.
- 6(B). IF THE ZONING SETBACK REQUIREMENTS SPECIFIC TO THE SURVEYED PROPERTY ARE SET FORTH IN A ZONING REPORT, OR LETTER PROVIDED TO THE SURVEYOR BY THE CLIENT OR THE CLIENT'S DESIGNATED REPRESENTATIVE, AND IF THESE REQUIREMENTS DO NOT REQUIRE AN INTERPRETATION BY THE SURVEYOR, GRAPHICALLY DEPICT THOSE REQUIREMENTS ON THE PLAT OR MAP AND IDENTIFY THE DATE AND SOURCE OF THE REPORT OR LETTER.
8. SUBSTANTIAL FEATURES OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK ARE SHOWN HEREON.
10. THERE ARE NO ENCROACHMENTS ONTO ADJOINING PREMISES, STREETS OR ALLEYS BY ANY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS LOCATED ON THE PROPERTY, AND NO ENCROACHMENTS ONTO THE PROPERTY BY BUILDINGS, STRUCTURES OR OTHER IMPROVEMENTS SITUATED ON ADJOINING PREMISES, EXCEPT AS FOLLOWS:
11. OBSERVED EVIDENCE OF UNDERGROUND UTILITIES EXISTING ON OR SERVING THE SURVEYED PROPERTY LOCATED AND SHOWN HEREON. NO ADDITIONAL LOCATE OR INVESTIGATION OF UTILITIES REQUESTED BY THE CLIENT.
13. ADJACENT OWNER INFORMATION IS SHOWN HEREON AS REQUIRED BY GEORGIA STANDARDS.
14. DISTANCE FROM PROPERTY TO INTERSECTION OF THE (NEAREST STREET) IS SHOWN HEREON.
16. NO EVIDENCE OF RECENT EARTH MOVING WORK, BUILDING CONSTRUCTION, OR BUILDING ADDITIONS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.
17. NO PROPOSED CHANGES IN STREET RIGHT OF WAY LINES IF SUCH INFORMATION IS MADE AVAILABLE TO THE SURVEYOR. IF ANY CHANGES ARE OBSERVED, EVIDENCE OF RECENT STREET OR SIDEWALK CONSTRUCTION OR REPAIRS OBSERVED IN THE PROCESS OF CONDUCTING THE FIELDWORK.

LEGAL DESCRIPTION - OVERALL TRACT (SURVEY)

All that TRACT OR PARCEL OF LAND lying and being in Land Lot 10, of the 7th District, City of Lawrenceville, Gwinnett County, Georgia and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING COMMENCE at a found 1/2 inch rebar, said rebar having coordinates of North 1,445,296.0 and East: 2,345,220.7, coordinates based on NAD83 State Plane Coordinate system, Georgia West zone, said rebar located at the intersection of the southeasterly right of way line of S.R. 316 (a.k.a. U.S. Hwy 20 ) (variable public right of way (limited access) and common land lot line between Land Lots 9 and 10; thence along said southeasterly right of way line of S.R. 316 and common land lot line between Land Lots 9 and 10 South 30 degrees 49 minutes 14 seconds East a distance of 49.37 feet to a found right of way monument, said monument being the TRUE POINT OF BEGINNING;

With the TRUE POINT OF BEGINNING thus established thence leaving said common land lot line and proceed along said southeasterly right of way of S.R. 316 the following courses and distances: North 49 degrees 44 minutes 30 seconds East a distance of 759.70 feet to a found right of way monument; North 41 degrees 24 minutes 48 seconds East a distance of 207.49 feet to a found right of way monument; along a curve turning to the right with an arc length of 781.77 feet, having a radius of 1272.54 feet, being subtended by a chord bearing of North 62 degrees 40 minutes 58 seconds East and a chord length of 775.12 feet to a found concrete monument; thence leaving said southeasterly right of way and proceed South 30 degrees 12 minutes 16 seconds East a distance of 453.72 feet to a found iron pin with cap; thence South 61 degrees 23 minutes 08 seconds West a distance of 163.73 feet to a found iron pin with cap on the northeasterly right of way of Hillcrest Green Drive (60 foot public right of way); thence along said northeasterly right of way the following courses and distances: North 42 degrees 31 minutes 30 seconds West a distance of 51.79 feet to a point; along a curve turning to the right with an arc length of 5.27 feet, having a radius of 110.0 feet, being subtended by a chord bearing of North 28 degrees 55 minutes 31 seconds West, and a chord length of 5.22 feet to a point; along a reverse curve turning to the left with an arc length of 295.24 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 23 degrees 50 minutes 07 seconds West, and a chord length of 75.07 feet to a point located on the southeasterly right of way of said Hillcrest Green Drive; thence along said southeasterly right of way the following courses and distances: with a reverse curve turning to the right with an arc length of 14.27 feet, having a radius of 11.00 feet, being subtended by a chord bearing of South 79 degrees 49 minutes 08 seconds East, and a chord length of 13.29 feet to a point; South 34 degrees 01 minutes 44 seconds East a distance of 5.72 feet to a found iron pin with cap; thence leaving said southeasterly right of way and proceed South 60 degrees 24 minutes 30 seconds West a distance of 556.13 feet to a found angle iron; thence South 60 degrees 12 minutes 03 seconds West a distance of 534.10 feet to a found 1 1/2 inch open top pipe; thence South 15 degrees 21 minutes 18 seconds West a distance of 230.27 feet to a point on the northerly right of way of Dogwood Lane (60 foot public right of way); thence along said right of way along a curve turning to the left with an arc length of 83.79 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 59 degrees 05 minutes 15 seconds West, and a chord length of 77.14 feet to a point; thence leaving said right of way North 73 degrees 50 minutes 39 seconds West a distance of 228.43 feet to a found 1 3/4 inch open top pipe, said pipe being the TRUE POINT OF BEGINNING.

Tract or parcel contains 760,998 square feet or 17,470 acres.

TITLE EXCEPTIONS - TRACT 2

First American Title Insurance Company Commitment number 24-0072A with an effective date of 04/16/2024 at 5:00 PM was used in the preparation of this survey and the listed exceptions are as follows:

8. All matters as shown on that certain ALTA/NSPS Survey for McKinley Homes U.S. LLC and First American Title Insurance Company prepared by Georgia RLS #          dated
9. All matters shown on recorded plat filed in Plat Book H, page 183, Gwinnett County, Georgia records. Comment: Affects subject property, as shown on survey.

LEGAL DESCRIPTION - TRACT 1 (SURVEY)

All that TRACT OR PARCEL OF LAND lying and being in Land Lot 10, of the 7th District, City of Lawrenceville, Gwinnett County, Georgia and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING COMMENCE at a found 1/2 inch rebar, said rebar having coordinates of North 1,445,296.0 and East: 2,345,220.7, coordinates based on NAD83 State Plane Coordinate system, Georgia West zone, said rebar located at the intersection of the southeasterly right of way line of S.R. 316 (a.k.a. U.S. Hwy 20 ) (variable public right of way (limited access) and common land lot line between Land Lots 9 and 10; thence along said southeasterly right of way line of S.R. 316 and common land lot line between Land Lots 9 and 10 South 30 degrees 49 minutes 14 seconds East a distance of 49.37 feet to a found right of way monument, said monument being the TRUE POINT OF BEGINNING;

With the TRUE POINT OF BEGINNING thus established thence leaving said common land lot line and proceed along said southeasterly right of way of S.R. 316 the following courses and distances: North 49 degrees 44 minutes 30 seconds East a distance of 759.70 feet to a found right of way monument; North 41 degrees 24 minutes 48 seconds East a distance of 207.49 feet to a found right of way monument; along a curve turning to the right with an arc length of 781.77 feet, having a radius of 1272.54 feet, being subtended by a chord bearing of North 62 degrees 40 minutes 58 seconds East and a chord length of 775.12 feet to a found concrete monument; thence leaving said southeasterly right of way and proceed South 30 degrees 12 minutes 16 seconds East a distance of 453.72 feet to a found iron pin with cap; thence South 61 degrees 23 minutes 08 seconds West a distance of 163.73 feet to a found iron pin with cap on the northeasterly right of way of Hillcrest Green Drive (60 foot public right of way); thence along said northeasterly right of way the following courses and distances: North 42 degrees 31 minutes 30 seconds West a distance of 51.79 feet to a point; along a curve turning to the right with an arc length of 5.27 feet, having a radius of 110.0 feet, being subtended by a chord bearing of North 28 degrees 55 minutes 31 seconds West, and a chord length of 5.22 feet to a point; along a reverse curve turning to the left with an arc length of 295.24 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 23 degrees 50 minutes 07 seconds West, and a chord length of 75.07 feet to a point located on the southeasterly right of way of said Hillcrest Green Drive; thence along said southeasterly right of way the following courses and distances: with a reverse curve turning to the right with an arc length of 14.27 feet, having a radius of 11.00 feet, being subtended by a chord bearing of South 79 degrees 49 minutes 08 seconds East, and a chord length of 13.29 feet to a point; South 34 degrees 01 minutes 44 seconds East a distance of 5.72 feet to a found iron pin with cap; thence leaving said southeasterly right of way and proceed South 60 degrees 24 minutes 30 seconds West a distance of 556.13 feet to a found angle iron; thence South 60 degrees 12 minutes 03 seconds West a distance of 534.10 feet to a found 1 1/2 inch open top pipe; thence South 15 degrees 21 minutes 18 seconds West a distance of 230.27 feet to a point on the northerly right of way of Dogwood Lane (60 foot public right of way); thence along said right of way along a curve turning to the left with an arc length of 83.79 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 59 degrees 05 minutes 15 seconds West, and a chord length of 77.14 feet to a point; thence leaving said right of way North 73 degrees 50 minutes 39 seconds West a distance of 228.43 feet to a found 1 3/4 inch open top pipe, said pipe being the TRUE POINT OF BEGINNING.

Tract or parcel contains 722,765 square feet or 16,592 acres.

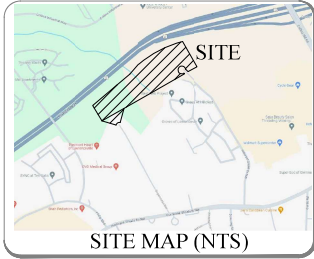
LEGAL DESCRIPTION - TRACT 2 (SURVEY)

All that TRACT OR PARCEL OF LAND lying and being in Land Lot 10, of the 7th District, City of Lawrenceville, Gwinnett County, Georgia and being more particularly described as follows:

To find the TRUE POINT OF BEGINNING COMMENCE at a found 1/2 inch rebar, said rebar having coordinates of North 1,445,296.0 and East: 2,345,220.7, coordinates based on NAD83 State Plane Coordinate system, Georgia West zone, said rebar located at the intersection of the southeasterly right of way line of S.R. 316 (a.k.a. U.S. Hwy 20 ) (variable public right of way (limited access) and common land lot line between Land Lots 9 and 10; thence along said southeasterly right of way line of S.R. 316 and common land lot line between Land Lots 9 and 10 South 30 degrees 49 minutes 14 seconds East a distance of 49.37 feet to a found right of way monument; thence leaving said southeasterly right of way of S.R. 316 said continue along said common land lot line South 31 degrees 01 minutes 45 seconds East a distance of 280.18 feet to a found 1 3/4 inch open top pipe, said pipe being the TRUE POINT OF BEGINNING.

With the TRUE POINT OF BEGINNING thus established thence leaving said common land lot line and proceed North 60 degrees 07 minutes 20 seconds East a distance of 198.58 feet to a point; thence North 60 degrees 22 minutes 15 seconds East a distance of 200.64 feet to a found 1 1/2 inch open top pipe; thence South 15 degrees 21 minutes 38 seconds West a distance of 230.27 feet to a point on the northerly right of way of Dogwood Lane (60 foot public right of way); thence along said right of way along a curve turning to the left with an arc length of 83.79 feet, having a radius of 60.00 feet, being subtended by a chord bearing of South 59 degrees 05 minutes 15 seconds West, and a chord length of 77.14 feet to a point; thence leaving said right of way North 73 degrees 50 minutes 39 seconds West a distance of 228.43 feet to a found 1 3/4 inch open top pipe, said pipe being the TRUE POINT OF BEGINNING.

Tract or parcel contains 38,234 square feet or 0.878 acres.



**PEC 60**  
Planners & Engineers Collaborative  
LAND PLANNING + LANDSCAPE ARCHITECTURE + CIVIL ENGINEERING  
ARBORISTS + SURVEYING + CONSTRUCTION + WATER RESOURCES  
350 RESEARCH COURT FORTNIGHT CORNERS, GEORGIA 30092  
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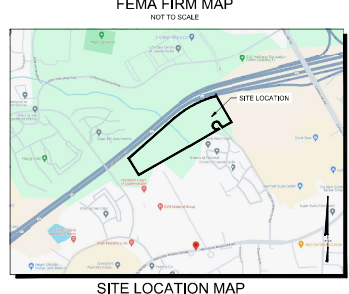
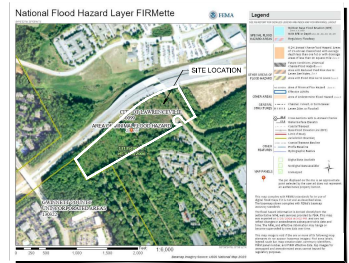
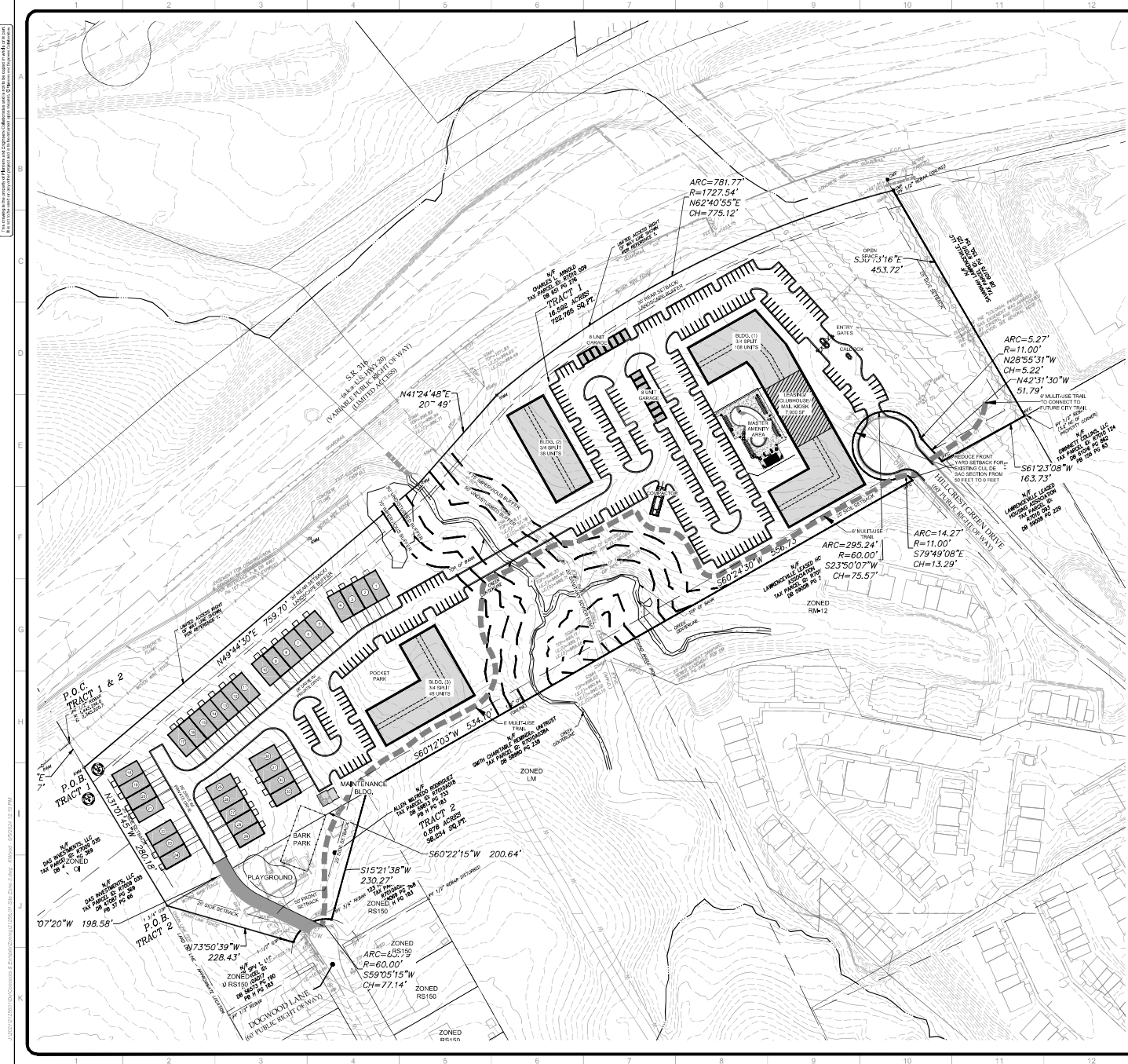
LAND LOT(S) 10  
DISTRICT 7TH

ALTA/NSPS LAND TITLE SURVEY  
FOR  
MCKINLEY HOMES  
AND  
FIRST AMERICAN TITLE INSURANCE COMPANY  
CITY OF LAWRENCEVILLE

To McKinley Homes and First American Title Insurance Company:  
This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, as they established and adopted by ALTA and NSPS, and includes Items 1-4, 8, 9, 10, 13, and 16 of Table A thereof. The field work was completed on: 5/31/2024.  
Date of Map or Plat: 6/5/2024  
Surveyor's Signature  
Printed name

THE FIELD DATA UPON WHICH THIS PLAT IS BASED WAS COLLECTED USING A TOPCON TOTAL STATION "ES103", "ES103", "ES103" GEOMAX 2020 ROBUST STATION, A GEOMAX ZENITHROB SERIES DATA COLLECTOR, GPS2 201L GNSS RECEIVER WITH A SITE-LOCALIZED RTK NETWORK, AND HAS A RELATIVE POSITIONAL ACCURACY OF 0.1 FEET.  
THIS PLAT HAS BEEN CALCULATED FOR CLOSURE AND WAS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 594,403 FEET.

SHEET 2 OF 2  
DRAWN BY: MS  
CHECKED BY: AH  
FILE NO.: 21256.01  
DATE: 6/9/2024  
SCALE: 1" = 60'  
DATE OF FIELD WORK: 5/31/24  
0 30 60 120



SITE DATA	
TOTAL SITE AREA	17.47 ACRES
TRACT 1 SITE AREA	16.862 ACRES
TRACT 2 SITE AREA	0.616 ACRES
ZONING	
EXISTING ZONING	RS-150, B0 & LM
PROPOSED ZONING	R048R (MULTIFAMILY RESIDENTIAL)
ZONING JURISDICTION	CITY OF LAWRENCEVILLE
SETBACKS/REQUIREMENTS	
FRONT SETBACK	50 FEET
SIDE SETBACK	25 FEET
REAR SETBACK	40 FEET
REQUIRED BUFFERS	50 FEET AGAINST ALL OBSTACLES
PERMITTED STANDARDS	
MIN LOT AREA	15 ACRES
MIN LOT WIDTH	100 FEET
MAX LOT COVERAGE	60%
MAX BUILDING HEIGHT	70 FEET
LANDSCAPED SETBACK	50 FEET ALONG EXTERIOR STREET FRONTAGE
MULTIFAMILY UNITS PROVIDED	194 UNITS
22 FRONT LOADED TOWNHOMES PROVIDED	33 UNITS
TOTAL RESIDENTIAL UNITS PROVIDED	227 UNITS
TOTAL SITE DENSITY PROVIDED	12.99 DUA
OPEN SPACE CALCULATIONS	
OPEN SPACES REQUIRED	2.63 ACRES (15% OF NET SITE AREA)
OPEN SPACE PROVIDED	4.38 ACRES (27.2% OF NET SITE AREA)
PARKING REQUIREMENTS	
MULTIFAMILY PARKING REQUIRED	291 SPACES (1.5 SPACE/SI DWELLING UNIT)
MULTIFAMILY PARKING PROVIDED	317 SPACES (1.62 SPACES/DWELLING UNIT)
TOWNHOME PARKING REQUIRED	66 SPACES (2 SP/ DWELLING UNIT)
TOWNHOME PARKING PROVIDED	132 SPACES (4.0 SP/ DWELLING UNIT)

**VARIANCE REQUEST:**

- VARIANCE REQUEST FOR THE LANDSCAPE BUFFER ALONG HIGHWAY 316 FROM 50 FEET DOWN TO 0 FEET.
- VARIANCE REQUEST FOR THE FRONT SETBACK AT HILL CREST COURT DRIVE AT THE CURB OF SAC THAT ENTERS THE PROPERTY BE REDUCED FROM 50 FEET TO 0 FEET.

24 HOUR CONTACT:  
HENRY MASSIE

P: (770) 451-2741 F: (770) 451-3915  
www.pec-plus.com

Planners & Engineers Collaborative+

LAND PLANNING • LANDSCAPE ARCHITECTURE • CIVIL ENGINEERING  
SURVEYING & CONSTRUCTION • WATER RESOURCES

350 RESEARCH COURT, STE 200  
PEACHTREE CORNERS, GA 30092

**HURRICANE SHOALS  
RD @ BELMONT DR.**

A MASTER PLANNED RESIDENTIAL DEVELOPMENT

AT  
492 HURRICANE SHOALS RD.,  
115 BELMONT DR.  
LAWRENCEVILLE GA, 30056

CITY OF LAWRENCEVILLE  
JURISDICTION

FOR  
**McKINLEY HOMES**

MUNICIPALITY PROJECT #

**REVISIONS**

NO.	DATE	BY	DESCRIPTION
1	06-25-2024	kw	Lower Density Site

THIS SEAL IS ONLY VALID IF COUNTER SIGNED AND DATED WITH AN ORIGINAL SIGNATURE.

GSWCC LEVEL II DESIGN PROFESSIONAL CERTIFICATION # 000059388 EXP. 10/28/2024

**ZONING SITE PLAN**

SCALE: 1" = 80'

DATE: 03/27/2024

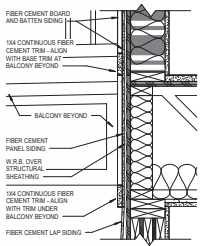
PROJECT: 21256.01



GENERAL NOTE:  
AT INSIDE CORNERS, LOCATE DOWNPOUTS  
TO THE BUILDING CORNER. AT FIELD  
LOCATIONS, CENTER DOWNPOUTS BETWEEN  
WINDOWS.

EXTERIOR MATERIAL LEGEND

- FIBER CEMENT BOARD AND BATTEN SIDING EQUAL TO JAMES HARDIE. PAINT COLOR TO BE SELECTED BY ARCHITECT. FOR HORIZONTAL, BATTEN HEIGHTS, SEE 2 / APT A2.2
- FIBER CEMENT LAP SIDING EQUAL TO JAMES HARDIE. SMOOTH TEXTURE. PAINT COLOR TO BE SELECTED BY ARCHITECT
- FIBER CEMENT PANEL EQUAL TO JAMES HARDIE. SMOOTH TEXTURE. PAINT COLOR TO BE SELECTED BY ARCHITECT
- STAINED WOOD FRAMING / TRIM COMPONENTS
- EXHIBIT VENT CAPS. SEE MECHANICAL FOR SIZES. PAINT TO MATCH ADJACENT SIDING. PROVIDE SINGLE 1x FIBER CEMENT TRIM BACKER BLOCK CENTERED ON VENT CAP. SEE ADJACENT DIAGRAM
- 1x TRIM BLOCK
- VENT CAP



2 SIDING TRANSITION AT 3RD FLOOR  
APT A2.1 1/12" = 1'-0"



A LONG ELEVATION - BUILDING A  
APT A2.1 1/8" = 1'-0"



B LONG ELEVATION - BUILDING B  
APT A2.1 1/8" = 1'-0"



C BUILDING C - EXTERIOR ELEVATION - SOUTH  
APT A2.1 1/8" = 1'-0"



1 LONG ELEVATION - BUILDING C JULIET BALCONY FACE  
APT A2.1 1/8" = 1'-0"

RZM2024-00016  
RECEIVED: JUNE 24, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

PROJECT NO:	PPA #01523
DRAWN:	Author
CHECKED:	Checker
ISSUE:	80% Design
DATE:	8/25/2024

REVISIONS

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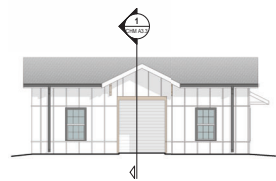


GENERAL NOTE:  
AT ROOF CORNERS, LOCATE DOWNPPOINTS  
TIGHT TO BUILDING CORNER AT FIELD  
LOCATIONS, CENTER DOWNPOINTS BETWEEN  
WINDOWS.

EXTERIOR MATERIAL LEGEND

- FIBER CEMENT BOARD AND BATTEN SIDING EQUAL TO JAMES HARDIE PAINT COLOR TO BE SELECTED BY ARCHITECT. FOR HORIZONTAL BATTEN HEIGHTS, SEE 2 / APT A2.2
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- FIBER CEMENT PANEL EQUAL TO JAMES HARDIE SMOOTH TEXTURE PAINT COLOR TO BE SELECTED BY ARCHITECT.
- STAINED WOOD FRAMING / TRIM COMPONENTS
- EXHAUST VENT CAPS - SEE MECHANICAL FOR SIZES. PAINT TO MATCH ADJACENT SIDING. PROVIDE SINGLE 1X FIBER CEMENT TRIM BACKER BLOCK CENTERED ON VENT CAP. SEE ADJACENT DRAWING.
- 1X TRIM BLOCK
- VENT CAP

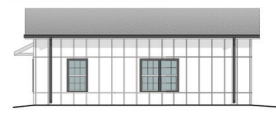
7 MAINTENANCE EAST  
CHM A2.1 18' x 11'



6 MAINTENANCE NORTH  
CHM A2.1 18' x 11'



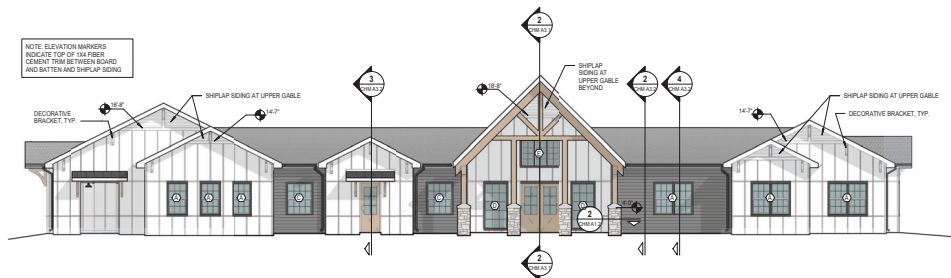
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CHM A2.1 18' x 11'



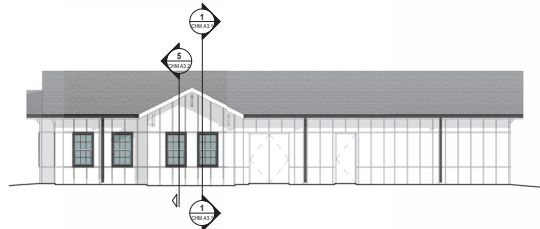
4 MAINTENANCE SOUTH  
CHM A2.1 18' x 11'



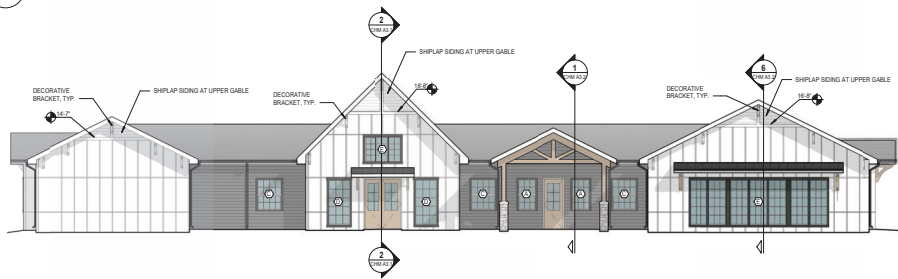
8 CLUBHOUSE SOUTH  
CHM A2.1 18' x 11'



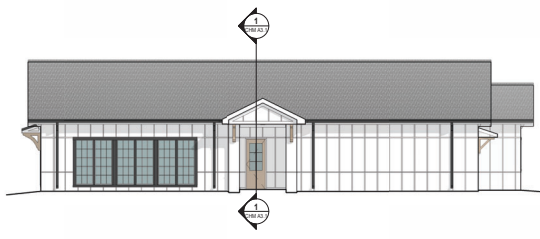
3 CLUBHOUSE EAST  
CHM A2.1 18' x 11'



2 CLUBHOUSE NORTH  
CHM A2.1 18' x 11'



1 CLUBHOUSE WEST  
CHM A2.1 18' x 11'



RZM2024-00016  
RECEIVED: JUNE 24, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

8/25/2024 1:54:38 PM











# LAWRENCEVILLE

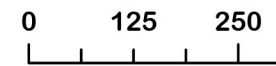
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZM2024-00016**

**Applicant: Bill Diehl**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
-  Downtown Development Authority Boundary






# LAWRENCEVILLE

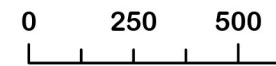
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








# LAWRENCEVILLE

GEORGIA

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**Applicant: Bill Diehl**

-  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  HSB Highway Service Business
  -  LM Light Manufacturing
  -  OI Office/Institutional
  -  CMU Community Mixed Use
  -  RM-12 Multifamily Residential
  -  RS-150 Single-Family Residential



0 125 250
















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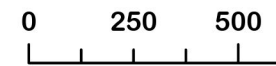
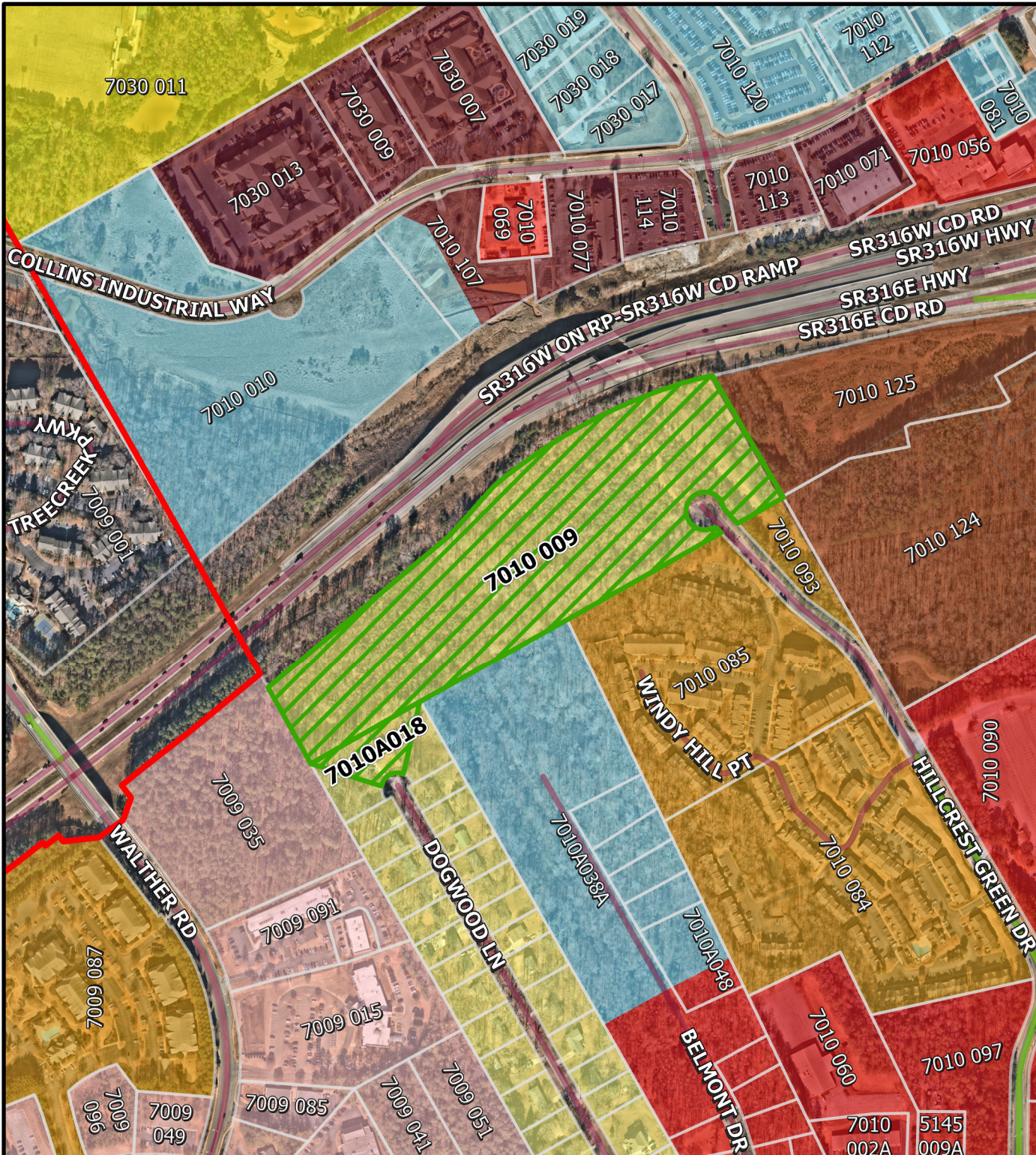
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File # RZM2024-00016

Applicant: Bill Diehl

-  Lawrenceville City Limits
  -  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  HSB Highway Service Business
  -  LM Light Manufacturing
  -  OI Office/Institutional
  -  CMU Community Mixed Use
  -  RM-12 Multifamily Residential
  -  RS-150 Single-Family Residential
  -  RS-180 Single-Family Residential












# LAWRENCEVILLE

GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZM2024-00016**

**Applicant: Bill Diehl**

-  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- 2045 Character Areas**
-  Community Mixed Use
  -  Medical Services Cluster
  -  Education Center



0 125 250











# LAWRENCEVILLE

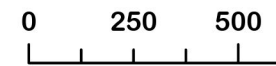
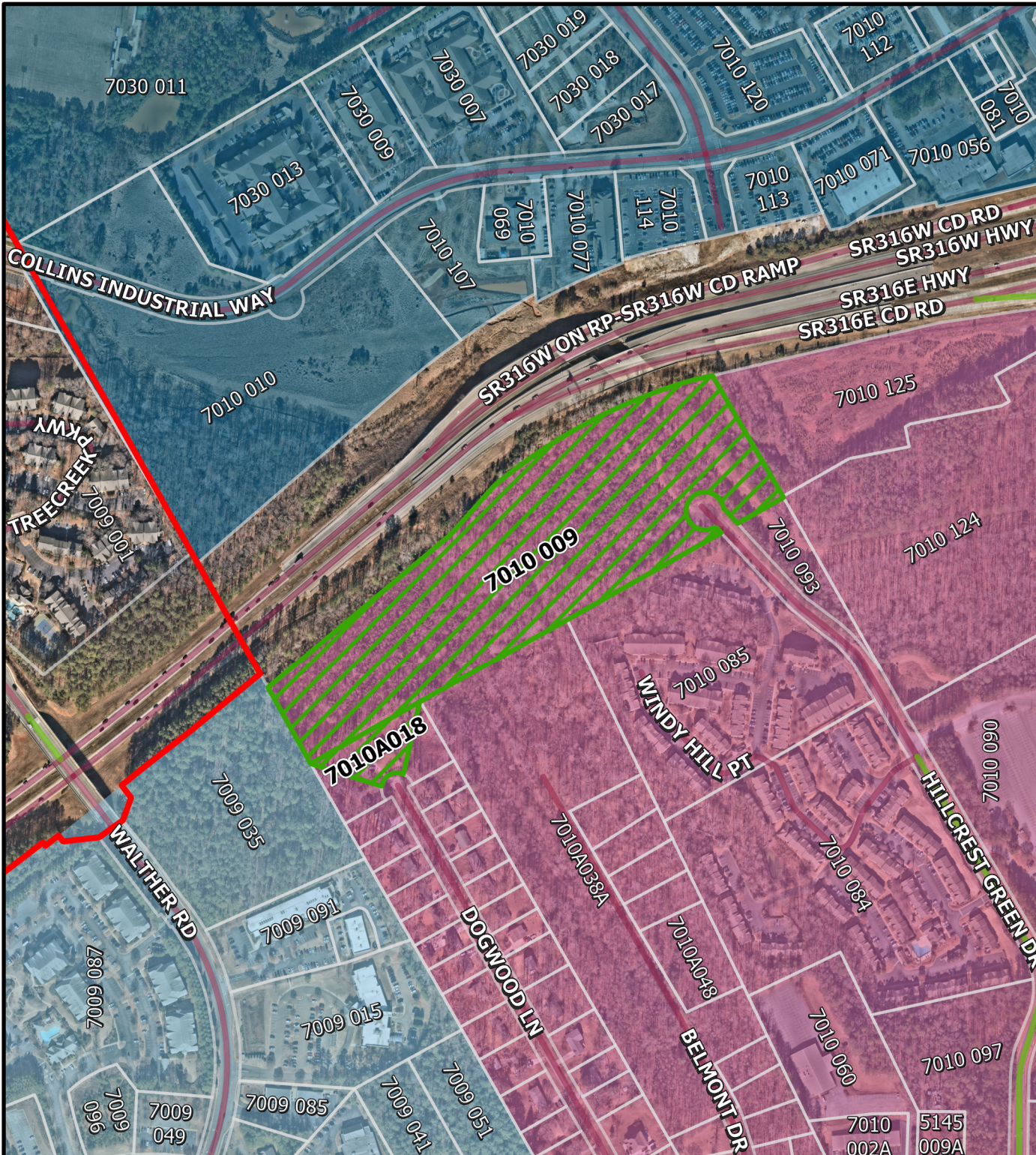
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

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Applicant: Bill Diehl

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Community Mixed Use
-  Medical Services Cluster
-  Education Center





# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

**Item:** RZR2024-00022 & SUP2024-00090; Ansley Johnston; 448 Grayson Highway

**Department:** Planning and Development

**Date of Meeting:** Monday, July 1, 2024

**Applicant Request:** Rezone subject property from RS-150 (Single-Family Residential District) to RM-8 (Townhouse Residential District)

**Presented By:** Todd Hargrave, Director of Planning and Development

**Department Recommendation:** **Approval with Conditions**

**Summary:** The applicant requests a rezoning for 448 Grayson Highway from RS-150 (Single-Family Residential District) to RM-8 (Townhouse Residential District) to allow for the development of 56 townhouse dwelling units with a Special Use Permit to allow for 22 front-entry units with a gross density of 3.5 units per acre (UPA). The subject property is approximately 14 acres in area and is located on the northeastern right-of-way of Grayson Highway, just northwest of the Wynfield Park subdivision along Kubol Drive. The property is currently vacant and undeveloped aside from a large (approximately 1.74 acre) stormwater pond that serves the general area.

**Attachments/Exhibits:**

- RZR2024-00022 & SUP2024-00090\_Report
- RZR2024-00022 & SUP2024-00090\_P&D Recommended Conditions
- RZR2024-00022 & SUP2024-00090\_Application
- RZR2024-00022 & SUP2024-00090\_Letter of Intent
- RZR2024-00022 & SUP2024-00090\_Legal Description
- RZR2024-00022 & SUP2024-00090\_Existing Conditions Survey
- RZR2024-00022 & SUP2024-00090\_Conceptual Site Plan

- RZR2024-00022 & SUP2024-00090\_Architectural Elevations
- RZR2024-00022 & SUP2024-00090\_Aerial Map – Zoomed In (1:2,750)
- RZR2024-00022 & SUP2024-00090\_Aerial Map – Zoomed Out (1:5,500)
- RZR2024-00022 & SUP2024-00090\_Zoning Map – Zoomed In (1:2,750)
- RZR2024-00022 & SUP2024-00090\_Zoning Map – Zoomed Out (1:5,500)
- RZR2024-00022 & SUP2024-00090\_Character Areas Map – Zoomed In (1:2,750)
- RZR2024-00022 & SUP2024-00090\_Character Areas Map – Zoomed Out (1:5,500)



# LAWRENCEVILLE

*Planning & Development*

## REZONING & SPECIAL USE

**CASE NUMBER:** RZR2024-00022 & SUP2024-00090

**APPLICANT:** ANSLEY JOHNSTON, LAND DESIGN SOLUTIONS

**OWNER(S):** LORENCE T BOWEN TRUSTEE CREDIT SHELTER TRUST

**LOCATION(S):** 446 GRAYSON HIGHWAY

**PARCEL ID(S):** R5148 014

**APPROXIMATE ACREAGE:** 12.97 ACRES

**ZONING PROPOSAL:** RS-150 (SINGLE-FAMILY RESIDENTIAL DISTRICT)  
TO RM-12 (TOWNHOUSE RESIDENTIAL DISTRICT)

**PROPOSED DEVELOPMENT:** 34 REAR-ENTRY & 22 FRONT-ENTRY TOWNHOMES

**DEPARTMENT RECOMMENDATION:** **APPROVAL WITH CONDITIONS**

### VICINITY MAP





# LAWRENCEVILLE

## Planning & Development

### ZONING HISTORY

The subject property has been zoned RS-150 (Single-Family Residential District) since it was annexed into the city circa April 2004, which is the earliest zoning record on file for the parcel. There are no rezoning cases on record for the subject property.

### PROJECT SUMMARY

The applicant requests a rezoning for 448 Grayson Highway from RS-150 (Single-Family Residential District) to RM-8 (Townhouse Residential District) to allow for the development of 56 townhouse dwelling units with a Special Use Permit to allow for 22 front-entry units with a gross density of 3.5 units per acre (UPA). The subject property is approximately 14 acres in area and is located on the northeastern right-of-way of Grayson Highway, just northwest of the Wynfield Park subdivision along Kubal Drive. The property is currently vacant and undeveloped aside from a large (approximately 1.74 acre) stormwater pond that serves the general area.

### CONCEPT PLAN



ADDRESS:	448 GRAYSON HIGHWAY LAWRENCEVILLE GWINNETT COUNTY
PARCEL INFO:	5148 014
SITE AREA:	14.0 ACRES
LAKE & BUFFERS:	4.05 ACRES
WETLANDS AREA:	0.35 ACRES
CURRENT ZONING:	RS-150
PROPOSED ZONING:	RM-8
PROPOSED DWELLINGS:	56 SINGLE FAMILY ATTACHED DWELLINGS 34 REAR-ENTRY GARAGE UNITS (20' WIDE) 22 FRONT-ENTRY GARAGE UNITS (24' WIDE)
(SPECIAL USE PERMIT REQUESTED FOR FRONT-ENTRY GARAGE UNITS)	
MIN. LOT AREA (DEVELOPMENT)	5.0 AC
MIN. LOT AREA - DWELLING	NONE
MIN. SF AREA - DWELLING HEATED FLOOR AREA	1,200 SF
2 BED	1,400 SF
3 BED	1,400 SF
MIN. UNIT WIDTH	20-FT (2-CAR GARAGE REQUIRED)
MAX. BLDG HEIGHT	35-FT
SITE CONFIGURATION:	
EXTERNAL FRONT SETBACK	25-FT (FROM GRAYSON HWY)
EXTERNAL SIDE SETBACK	20-FT
EXTERNAL REAR SETBACK	20-FT
MAX. IMPERVIOUS AREA	40% (OF TOTAL DEVELOPMENT LOT)
MINIMUM COMMON AREA	15%
PROVIDED COMMON AREA	28% (3.98 AC OF 14.0 AC)
INCLUDES:	
PUBLIC GREEN 1	14,828.7 SF (> MIN. RCD 3,000 SF)
PUBLIC GREEN 2	11,862.8 SF (> MIN. RCD 3,000 SF)
POCKET PARK 1	11,481.7 SF (> MIN. RCD 3,000 SF)
POCKET PARK 2	7,335.8 SF (> MIN. RCD 3,000 SF)
COMMON AREA DOES NOT INCLUDE:	
LAKE & 25-FT BUFFER	
ZONING BUFFERS	
INDIVIDUAL DWELLING LOTS	
PROPOSED EASEMENT	
SIDEWALK REQUIRED:	5-FT WIDTH, 2-FT OFF BACK OF CURB (B.O.C.)
PARKING:	2-CAR/DWELLING (ALL DWELLINGS) ON-STREET PARKING, GUEST SPACES DRIVEWAY SPACES 20'DWELLING
REQUESTED VARIANCES (INCLUDE, BUT NOT LIMITED TO):	
LAKE BUFFERS:	WAVE 50-FT UNDISTURBED BUFFER WAVE 75-FT IMPERVIOUS BUFFER
REQUESTED SPECIAL USE PERMIT:	TO ALLOW FOR FRONT-ENTRY GARAGE UNITS 22 OF 56 UNITS ARE PROPOSED AS FRONT-ENTRY GARAGE UNITS



LAND DESIGN SOLUTIONS LLC  
2010 WOODBRIDGE LANE, SUITE 100  
DUBLIN, GA 31009  
770-476-8839

---

448 GRAYSON HWY  
LAWRENCEVILLE  
GWINNETT COUNTY, GA  
GEORGIA  
PARCEL ID 5148 014

---

PROJ. # 220004

---

NOT FOR  
CONSTRUCTION

---

06-25-2024

SCALE  
1" = 40'

ZR2024-00022 & SUP2024-00090



# LAWRENCEVILLE

## Planning & Development

### ZONING AND DEVELOPMENT STANDARDS

The applicant requests to rezone the subject property from RS-150 (Single-Family Residential District) to RM-8 (Townhouse Residential District) to allow for the development of 56 townhouse dwelling (single-family attached) units with a gross density of 3.5 units per acre (UPA). Of these 56 units, 34 (61%) will be front-entry and 22 (39%) will be rear-entry; they are concurrently requesting a Special Use Permit to allow for the front-entry units.

Based on the conceptual site plan provided by the applicant, the development will be designed around maximizing access to public green space, with most of the rear-entry units clustered around a centralized public green. The existing 1.74-acre lake on site presents topographical hardships to the layout of the development (see below for the stream buffer reduction variances requested), but the proposal seeks to maximize its potential as a common space for prospective residents. Due to site-specific considerations, a portion of the proposed townhouse units (22) must be front-entry, but these units are set back and should be largely screened from both the public right-of-way as well as the main east-west private drive.

The development meets the following lot development standards, buffer requirements, and parking requirements as established in the Zoning Ordinance:

### **Article 1 Districts, Section 102.5 RM-8 Townhouse Residential District, Table B. Lot Development Standards**

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
Minimum Lot Area	5 acres	12.97 acres	N/A
Minimum Unit Width	20 feet	20 feet	N/A
External Minimum Front Setback	25 feet	25 feet	N/A
External Minimum Side Setback	20 feet	20 feet	N/A
External Minimum Rear Setback	20 feet	20 feet	N/A



# LAWRENCEVILLE

## Planning & Development

Minimum Heated Floor Area	See Table Below	See Table Below	N/A
Impervious Surface Coverage	40%	40%	N/A
Maximum Building Height	35 feet	35 feet	N/A
Green / Common Space %	2.1 acres (15% of gross acreage)	4.88 acres (28% of gross acreage)	N/A
Minimum Public Green Space	3,000 SF	38,173.2 SF	N/A
Adjacency to Public Green Space	28 Rear-Entry Units (50%)	32 Rear-Entry Units (57%)	N/A

### Minimum Heated Floor Area

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
1-bedroom	1,000 sq. ft	None	N/A
2-bedroom	1,200 sq. ft	1,200 sq. ft	N/A
3-bedroom	1,400 sq. ft (40%)	1,400 sq. ft (40%)	N/A
4-bedroom	1,600 sq. ft (10%)	None	N/A

### Article 4 Buffers, 403 Buffers Table (RM-8)

<b>Adjacent Development</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
RS-60	25 feet	25 feet	N/A
RS-150	50 feet	50 feet	N/A
BG	0 feet	0 feet	N/A



# LAWRENCEVILLE

## Planning & Development

**Article 5 Parking, Table 5-3: Number of Off-Street Parking Spaces Required**

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
Townhome (Garaged)	2 spaces per dwelling unit (132 spaces)	2 spaces per dwelling unit (132 spaces)	N/A
Townhome (Driveway)	2 spaces per dwelling unit (132 spaces)	2 spaces per dwelling unit (132 spaces)	N/A
Guest Spaces (On-Street)	N/A	21 spaces	N/A

The requested variances are as follows:

1. A variance from the **Zoning Ordinance, Article 1 Districts, Section 102.7 RM-24 Multifamily Residential District, Subsection B., Lot Development Standards**. Allows for the reduction of the fifty (50) feet undisturbed stream buffer.
2. A variance from the **Zoning Ordinance, Article 1 Districts, Section 102.7 RM-24 Multifamily Residential District, Subsection B., Lot Development Standards**. Allows for the reduction of the seventy-five (75) foot impervious stream buffer.

### **SURROUNDING ZONING AND USE**

The area surrounding the subject property consists of both commercial and residential uses and zoning categories. The property immediately to the north/northwest is a self-storage facility zoned BG (General Business District), as are the commercial/retail businesses located across Grayson Highway (including Kroger). The Wynfield Park residential subdivision is located to the south/southeast of the subject property and is zoned RS-60 (Single-Family Residential District). Finally, the Acadia Woods residential subdivision abuts the property on its eastern edge, composed of single-family dwelling units zoned RS-150 (Single-Family Residential District).

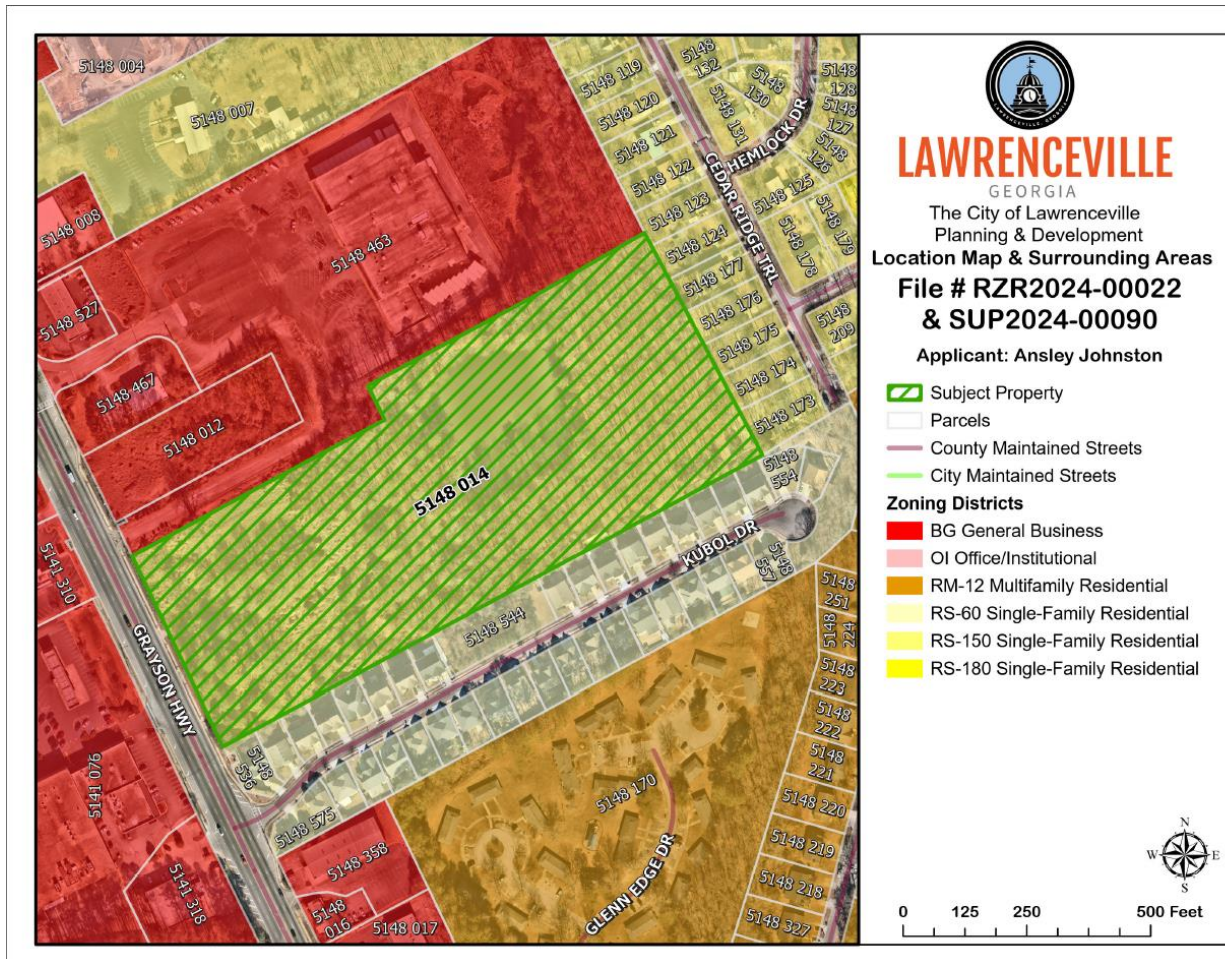


# LAWRENCEVILLE

## Planning & Development

The proposed request to rezone the property to RM-8 is consistent with the existing zoning patterns and uses in the general area. Indeed, there is recent precedent for such rezoning actions in the general vicinity; both the Towns at Enclave and the Alexander Towns townhouse developments along Gwinnett Drive were rezoned to RM-8 within the last few years – see approvals for RZM2020-00004 and RZM2021-00032, respectively. Furthermore, the proposal invokes a transect model of development, in which the established single-family neighborhoods to the east and south of the subject property would be buffered from more intensive commercial uses to the north and west by higher density single-family use in townhomes.

### CITY OF LAWRENCEVILLE OFFICIAL ZONING MAP





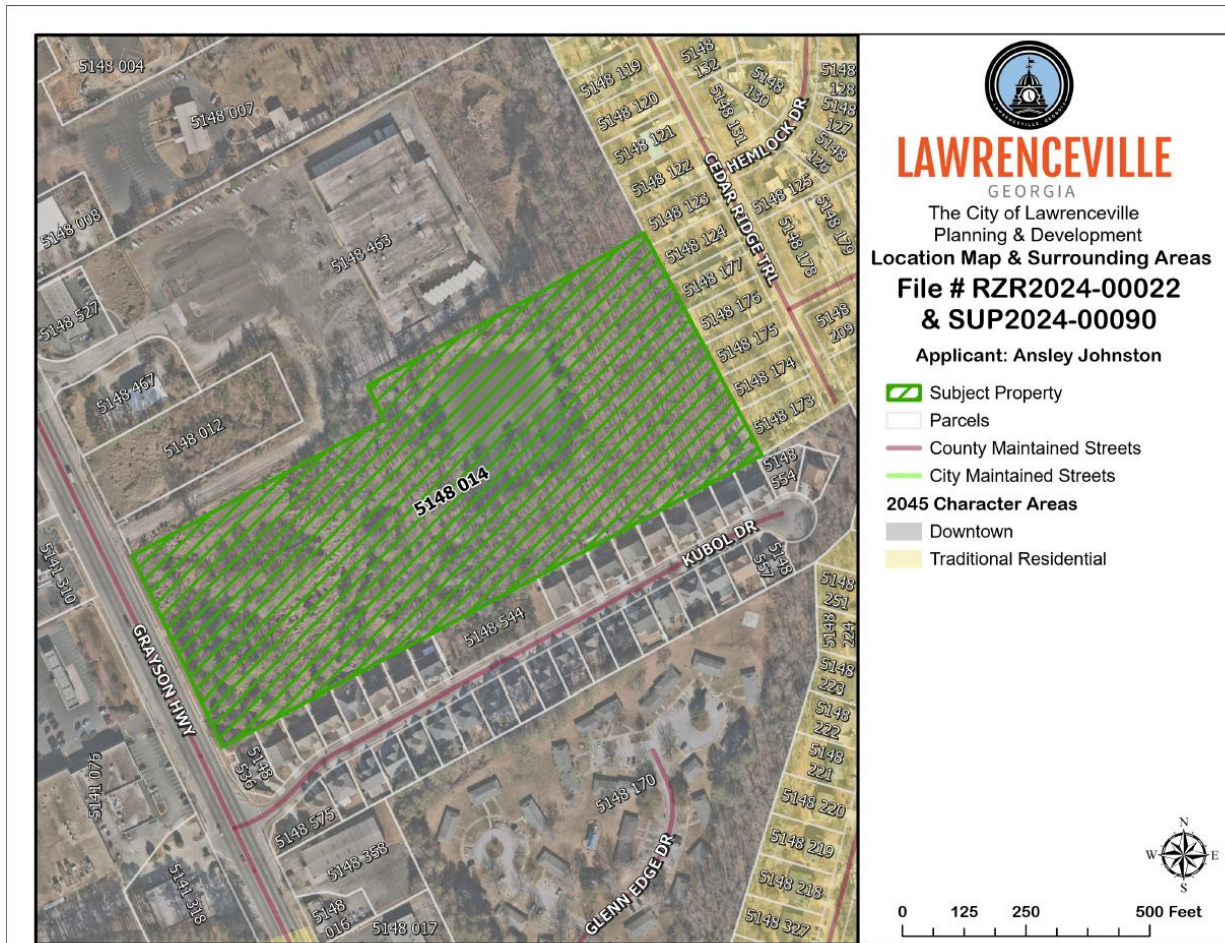
# LAWRENCEVILLE

## Planning & Development

### 2045 COMPREHENSIVE PLAN

The 2045 Comprehensive Plan and Future Development Map indicate the property lies within the Downtown character area. Lawrenceville’s Downtown character area serves as the historical and cultural heart of the city, preserving its unique charm while nurturing economic vitality. With a robust economy and a focus on community life, Downtown is a hub of cultural activities and commerce. The requested zoning change is compatible with the goals of the 2045 Comprehensive Plan for the Downtown character area, which accommodates a wide variety of uses at a range of densities and levels of intensities, townhomes included.

### LAWRENCEVILLE 2045 COMPREHENSIVE PLAN – FUTURE LAND USE PLAN MAP





# LAWRENCEVILLE

## *Planning & Development*

### **STAFF RECOMMENDATION**

In conclusion, the proposal is consistent with both the existing uses and zoning patterns of the area as well with the long-term vision for the city as established by the 2045 Comprehensive Plan; policies relating to long range planning suggest the city embrace the principles of new urbanism by creating a housing stock that is well maintained and includes homes with a variety of forms and price points. The intent of the Comprehensive Plan is to encourage positive redevelopment of benefiting from the “halo effect” of high-quality development already happening nearby.

This proposal would continue with the precedent set by RZM2020-00004 and then reinforced by RZM2021-00032, when City Council approved requests to rezone properties along Gwinnett Drive to the west to RM-8 to allow for the construction of similar townhouse developments. Given the aforementioned factors, the Planning and Development Department recommends **APPROVAL WITH CONDITIONS** for the proposed rezoning.



# LAWRENCEVILLE

## *Planning & Development*

### **CITY OF LAWRENCEVILLE DEPARTMENT COMMENTS:**

#### **ENGINEERING DEPARTMENT**

No comment

#### **PUBLIC WORKS**

No comment

#### **ELECTRIC DEPARTMENT**

No comment

#### **GAS DEPARTMENT**

No comment

#### **DAMAGE PREVENTION DEPARTMENT**

No comment

#### **CODE ENFORCEMENT**

No comment

#### **STREET AND SANITATION DEPARTMENT**

No comment



# LAWRENCEVILLE

## Planning & Development

### STATE CODE 36-67-3 (FMR.) REVIEW STANDARDS:

- 1. Whether a zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;**

*Yes. The surrounding area contains a wide range of uses at various densities, including commercial/retail uses, single-family detached dwellings, and townhomes.*

- 2. Whether a zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;**

*No. As discussed, the area is already predominantly mixed use in nature.*

- 3. Whether the property to be affected by a zoning proposal has a reasonable economic use as currently zoned;**

*Yes; while the property could be developed as a single-family neighborhood similar to the Wynfield Park subdivision to the south/southeast (zoned RS-60), its location along a major thoroughfare in Grayson Highway may impede such a development.*

- 4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;**

*The project will induce demand on public facilities in the form of traffic, utilities, stormwater runoff, and schools. However, the effects of this demand can be mitigated through zoning conditions and active planning efforts moving forward.*

- 5. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan;**

*Policies of the City are intended to benefit or enhance the quality of life for existing and potential members of the public choosing to reside within the city limits. The Downtown character area is intended as a mixed-use district that includes townhomes, so this rezoning conforms with the long-range plan.*



# LAWRENCEVILLE

## *Planning & Development*

- 6. Whether there are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval or disapproval of the zoning proposal;**

*The proposal would continue with the precedent set by similar recent zoning actions along Gwinnett Drive: 1) RZM2020-00004, approved on September 28, 2020 for the Towns at Enclave townhouse development, and 2) RZM2021-00032, approved on March 28, 2022 for the Alexander Towns townhouse development.*

**PLANNING COMMISSION**

**RECOMMENDED CONDITIONS\_06262024**

**RZR2024-00022 & SUP2024-00090**

Approval as RM-8 (Townhome Residential District) for a townhouse development, subject to the following enumerated conditions:

- 1. To restrict the use of the property as follows:
  - A. Residential townhouse units at a maximum of 56 units on approximately 14 acres at a gross density of 3.5 Units Per Acre (UPA).
  - B. The maximum number of Front Entry Units shall be limited to twenty-two (22). Front Entry Units shall be prohibited along Grayson Highway.
  - C. The development shall be in general accordance with the submitted site plans and architectural renderings provided by the applicant, with changes necessary to meet zoning and development regulations. Any changes shall be subject to review and approval by the Director of Planning and Development.
  - D. Final site plans, landscape plans and building elevations shall be subject to review and approval of the Director of Planning and Development prior to the issuance of development or building permits.
  - E. The townhouse units shall be designed in general accordance with the elevations being predominantly 3-side masonry, which could be brick, stone or a combination of brick and stone (with accents of fiber cement siding), covered front porches with metal roofs and corner end units having expanded porches for rear entry townhomes. Front entry townhomes shall have a covered rear porch. Final design shall be subject to the review and approval of the Director of the Planning and Development Department.
  - F. All dwellings shall have a double car garage with carriage-style garage doors. Final design shall be subject to the review and approval of the Director of the Planning and Development Department.
  - G. All Rear Entry Units shall be a minimum of three (3) stories or thirty-five (35) feet in height, as measured from the lowest elevation of the rear-entry-garage-floor. Final design shall be subject to the review and approval of the Director of the Planning and Development Department.

- H. All townhouse units shall consist of two (2) car garages, with a driveway measuring eighteen (18) feet in width and twenty-six (26) feet in depth, providing sufficient space for two (2) passenger vehicles. Final design shall be subject to the review and approval of the Director of the Planning and Development Department.
- I. Development shall be designed and consist of twenty-one (21) on-street parking spaces or one additional space per townhouse unit within the project for guest and overflow parking. Final design shall be subject to the review and approval of the Director of the Planning and Development Department.
- J. In the event of residential tenant eviction, any belongings of the tenant will be placed on a portion of the subject property that is not visible from a public right-of-way unless otherwise required by law.

**2. To satisfy the following site development considerations:**

- A. The development shall abide by all applicable standards of the Development Regulations, unless otherwise specified in these conditions, or through approval of a variance administratively, or by the Zoning Board of Appeals, as appropriate.
- B. All grassed areas on dwelling lots shall be sodded.
- C. All underground utilities shall be provided throughout the development.
- D. The property shall be gated with interior private streets permitted.
- E. The developer shall upgrade off site sewer at no cost to the City of Lawrenceville or Gwinnett County including design, acquisition of easements, and construction in accordance with direction and approval from Gwinnett County.
- F. Building setbacks off internal streets or driveways shall be in general accordance with the submitted site plans and architectural renderings, and otherwise subject to review and approval of the Director of Planning and Development.
- G. Natural vegetation shall remain on the property until the issuance of a development permit.
- H. Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.

- I. Compactor/dumpsters shall be screened by a 100% opaque brick or stacked stone wall with an opaque metal gate enclosure. Compactor/dumpster enclosure shall be a minimum of 10 feet in width and 30 feet in length. Hours of dumpster pick-up shall be limited to between 7:00 a.m. and 7:00 p.m.
- J. No tents, canopies, temporary banners, streamers, or roping decorated with flags, tinsel, or other similar material shall be displayed, hung or strung on the site. Yard signs or bandit signs, sign-walkers or sign-twirlers shall be prohibited.
- K. Peddlers and/or parking lot sales shall be prohibited.
- L. Owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours of notice from City.
- M. New billboards or oversized signs shall be prohibited.
- N. Outdoor storage shall be prohibited.

**3. The following variances are requested:**

- A. A variance from the **Zoning Ordinance, Article 1 Districts, Section 102.7 RM-24 Multifamily Residential District, Subsection B., Lot Development Standards**. Allows for the reduction of the fifty (50) feet undisturbed stream buffer.
- B. A variance from the **Zoning Ordinance, Article 1 Districts, Section 102.7 RM-24 Multifamily Residential District, Subsection B., Lot Development Standards**. Allows for the reduction of the seventy-five (75) foot impervious stream buffer.



# LAWRENCEVILLE

## GEORGIA

### REZONING APPLICATION

The application and all required documents must be complete and fees must be paid or the application will not be accepted.

Documents, exhibits and fees required at the time of application submittal:

1. Application Form (signed and notarized)
2. Disclosure of Campaign Contributions Form
3. Letter of Intent describing the proposed zoning change and development
4. Typed, metes and bounds Legal Description
5. Boundary survey (sealed by a Registered Land Surveyor)
6. Property tax verification
7. Site Plan/Rezoning Exhibit: :
  - a. Prepared by a Registered Land Surveyor, Professional Engineer or Landscape Architect
  - b. One full size paper copy drawn to scale of 1"= 50' or greater
  - c. Electronic File (external hard drive)
  - d. Show property line data (metes and bounds) as well as existing infrastructure and existing site conditions, including:
    - i. Existing structures
    - ii. Full width of existing streets and intersecting streets
    - iii. Streams, stream buffers and impervious setbacks
    - iv. Flood hazard zones (reference source of data)
    - v. A vicinity map
  - e. Show proposed improvements, including:
    - i. Proposed buildings, setbacks, buffers and required screening
    - ii. Proposed streets, ingress/egress, driveways, sidewalks and parking
8. Application Fee
  - a. Payment may be made in cash, check or credit card (Visa, MasterCard). Please make checks payable to the City of Lawrenceville. One check is preferred.



# LAWRENCEVILLE

## GEORGIA

### NOTIFICATION REQUIREMENTS

#### Written Notification

The applicant is required to notify all adjoining property owners (including those across any streets) of their intention to rezone the property. The notification shall be sent by Certified Mail and be postmarked no later than the published deadline contained in the Rezoning Schedule. A sample notification letter is provided at the end of this packet.

The written notice shall include:

1. Rezoning case number
2. Dates, times and place of public hearings
3. Copy of the application
4. Applicant contact information
5. Letter of Intent
6. Site plan
7. Vicinity map

Proof that the notifications were mailed as required must be delivered to the Planning Department as soon as is feasible, but no later than 12:00 p.m. (noon) on the Wednesday prior to the Planning Commission meeting. Failure to submit the required proof of mailing will result in the application being tabled to the next month's meeting.

#### Notification Sign

The applicant is required to post a notification sign (provided by the Planning Department) in a clearly visible location on the property, at or near the public street, no later than the published deadline contained in the Rezoning Schedule. It is the responsibility of the applicant to insure that the notification sign remain on the property throughout the rezoning proceedings. (COPY TO BE GIVEN TO APPLICANT)

\_\_\_\_\_   
CASE NUMBER

\_\_\_\_\_   
DATE

\_\_\_\_\_   
ACKNOWLEDGED BY (PRINT NAME)

\_\_\_\_\_   
SIGNATURE

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770.963.2414 • www.lawrencevillega.org



# LAWRENCEVILLE

## GEORGIA

### PUBLIC HEARING PROCESS

The Applicant is required to appear at the Planning Commission Meeting, the City Council Work Session, and the City Council Public Hearing. Failure to attend a meeting may result in tabling of the application until the next meeting of that group. However, the Planning Commission and the City Council may act on the application should they so choose. Meeting dates, times and place are as published in the Rezoning Schedule.

1. Approximately one week prior to the scheduled Planning Commission Meeting, the Planning Staff Report and Recommendation will be available at the Planning and Development office.
2. The applicant shall appear before the City of Lawrenceville Planning Commission to present their case in support of the rezoning application. Any opposition to the rezoning request will be given equal time to present its case. The Planning Commission may ask questions of the applicant and the opposition. The Planning Commission is a recommending body. Their recommendation will be forwarded to the City Council.
3. The applicant shall be present at the City Council Work Session. The applicant may be asked to present their case, or to answer questions, at the desire of the City Council.
4. The applicant shall appear before the City Council for the Public Hearing. The applicant and any opposition will be given equal time to present their cases. The City Council may ask questions of the applicant and opposition prior to making their final decision regarding the application.
5. If the rezoning application is denied by the Mayor and City Council, any new application for the same zoning classification on subject property may not be submitted for at least twelve (12) months from the date of denial. Application for a different zoning classification may be submitted after six (6) months from the date of the denial.



# LAWRENCEVILLE

## GEORGIA

### REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Embry Development Company LLC</u>  ADDRESS: <u>667 Main St</u>  CITY: <u>Suwanee</u>  STATE: <u>GA</u> ZIP: <u>30024</u>	NAME: <u>Lorene T Bowen Trustee Credit Shelter Trust</u>  ADDRESS: <u>130 Greenfield Way</u>  CITY: <u>Covington</u>  STATE: <u>GA</u> ZIP: <u>30016</u>
CONTACT PERSON: <u>Mike Embry</u> PHONE: <u>404-569-9756</u>	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
PRESENT ZONING DISTRICT(S): <u>Residential Vacant</u> - REQUESTED ZONING DISTRICT: <u>RM-8</u>  PARCEL NUMBER(S): <u>R5148-014</u> ACREAGE: <u>14</u>  ADDRESS OF PROPERTY: <u>448 Grayson Highway</u>	

\_\_\_\_\_  
SIGNATURE OF APPLICANT                      DATE

\_\_\_\_\_  
TYPED OR PRINTED NAME

\_\_\_\_\_  
NOTARY PUBLIC                                      DATE

\_\_\_\_\_  
SIGNATURE OF OWNER                                      DATE

\_\_\_\_\_  
TYPED OR PRINTED NAME

\_\_\_\_\_  
NOTARY PUBLIC                                      DATE



# LAWRENCEVILLE GEORGIA

## REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: _____	NAME: _____
ADDRESS: _____	ADDRESS: _____
CITY: _____	CITY: _____
STATE: _____ ZIP: _____	STATE: _____ ZIP: _____
CONTACT PERSON: _____ PHONE: _____	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
PRESENT ZONING DISTRICT(S): _____ REQUESTED ZONING DISTRICT: _____	
PARCEL NUMBER(S): _____ ACREAGE: _____	
ADDRESS OF PROPERTY: _____	

*Mike Embrey* 4-9-24  
 SIGNATURE OF APPLICANT      DATE

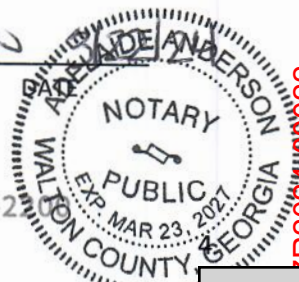
*Brenda Williams*  
 SIGNATURE OF OWNER      DATE

*Mike Embrey*  
 TYPED OR PRINTED NAME

*Brenda Williamson*  
 TYPED OR PRINTED NAME

*Terrill L. Daniel*  
 NOTARY PUBLIC

*Ardehide Anderson*  
 NOTARY PUBLIC



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 PLANNING AND DEVELOPMENT DEPARTMENT



# LAWRENCEVILLE

## GEORGIA

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? \_\_\_\_\_ Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)

Have you, within the two years immediately preceding the filing of this application, made gifts having in the aggregate a value of \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? \_\_\_\_\_ Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions/gifts.

IR2024-00022  
RECEIVED: MAY 2, 2024  
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# LAWRENCEVILLE

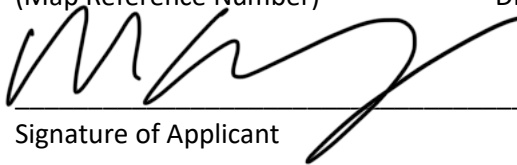
## GEORGIA

### VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF LAWRENCEVILLE PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.

PARCEL I.D. NUMBER:           R5           -           148           -           014            
(Map Reference Number)                      District                      Land Lot                      Parcel



Signature of Applicant

4/9/2024

Date

Mike Embry

Type or Print Name and Title

\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONER’S OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\*

### TAX COMMISSIONER’S USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME

\_\_\_\_\_  
TITLE

\_\_\_\_\_  
DATE



# LAWRENCEVILLE

## GEORGIA

### FEE SCHEDULE

Rezoning, Change-in-Conditions and Special Use Permit Fees-

(Note: a Special Use Permit related to a companion rezoning case shall not incur an additional fee)

For **Single-Family Residential Districts.**

Fee:

- < 5 Acres = \$500
- 5 – 10 Acres = \$750
- 10 – 20 Acres= \$1,000
- 20 Acres or more = \$1,500

For the following: **Multifamily (attached housing); Mixed-Use Districts.**

Fee:

- < 5 Acres = \$500 + \$10 per unit
- 5 – 10 Acres = \$750 + \$10 per unit
- 10 – 20 Acres= \$1,000 + \$10 per unit
- 20 Acres or more = \$1,500 + \$10 per unit

For **Commercial, Office and Industrial Districts.**

Fee:

- < 5 Acres = \$500
- 5 – 10 Acres = \$750
- 10 – 20 Acres= \$1,000
- 20 Acres or more = \$1,500

**LETTER OF INTENT FOR REZONING**

Embry Development Company, LLC (“The Applicant”) submits this Letter of Intent and attached rezoning application (“The Application”) in order to permit the development residential townhome community on approximately 14 acres of land located on the easterly side of Grayson Highway (State Route 20).

The Property is surrounded by a mix of land uses and zoning classifications. To the east of the property is a row of single-family houses zoned for Single Family Residential SFR. North of The Property is a mini warehouse. West of The Property is a Community Shopping Mall. South of The Property is another row of single-family houses zoned Residential SFR. The Property’s current zoning is Residential Vacant, and the proposed zoning is Townhome Residential District (RM-8.)

The proposed community will consist of fifty-six (56) townhomes. The square footage will have a minimum of 1,600 Sq Ft and 2 car garages. The community is proposing 3.2 UPA. The community will provide 15% of open space/common area.

Variances requested 1. To waive 50 ft undisturbed buffer (maintain 25ft state buffer) 2. To waive 75ft impervious buffer

**Warranty Deed — Page 3**

**Exhibit "A"**

A one-half (1/2) undivided interest in and to the following real property of the Grantor:

All that tract or parcel of land lying and being in the Fifth Land District of Gwinnett County, Georgia, part of Land Lot Number 148, and being tracts Numbers thirty-one (31), thirty-two (32), thirty-three (33), thirty-four (34), thirty-five (35), and seventy-two (72) of the subdivision of the lands of R. H. Cooper, as shown on survey and plat of S. C. Moon, made in September 1946, a blue print of which is recorded in plat Book "D," Page 180, Gwinnett County Records, reference to which is hereby made for the correct shape, metes, courses and distances of each of said tracts of land, and which are more particularly described as follows: Tracts numbers thirty-one, thirty-two, thirty-three, thirty-four, and thirty-five join and are bounded together as one tract on the north by the lands of S.C. Moon; on the east by tract number seventy-two, purchased by P.C. Roberts; on the south by the lands of E.F. Hannah; on the west by the right-of-way of the Lawrenceville and Loganville highway. Each of these tracts front fifty (50) feet on the highway and run back even width two hundred and fifty (250) feet. Tract number seventy-two contains five and 74/100 (5.74) acres, and is bounded on the north by the lands of S.C. Moon; on the east by the lands of B.B. Crane and Allen Puckett; on the south by the lands of Leonard Jackson; on the west by the lands of P.C. Roberts.

Being the same as that property conveyed to Grantor by Warranty Deed dated October 16, 1946, and recorded in Deed Book 81, Folio 459, Gwinnett County, Georgia Records.

**Together with** a one-half (1/2) undivided interest in and to the following real property of the Grantor:

All that tract or parcel of land lying and being in the Fifth Land District of Gwinnett County, Georgia, part of Land Lot Number 148, and being tracts Numbers thirty-six (36), thirty-seven (37), thirty-eight (38), thirty-nine (39), forty (40), and seventy-one (71) of the subdivision of the lands of R.H. Cooper, as shown on survey and plat of S.C. Moon, made in September 1946, a blue

RZR2024-00022 & SUP2024-00090  
RECEIVED: MAY 2, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

Warranty Deed — Page 4

print of which is recorded in plat Book "D," Page 180, Gwinnett County Records, reference to which is hereby made for the correct shape, metes, courses and distances of each of said tracts of land, and which are more particularly described as follows: Tracts numbers thirty-six, thirty-seven, thirty-eight, thirty-nine and forty join and are bounded together, on the north by the lands of P.C. Roberts; on the east by tract number seventy-one, purchased by J.H. Carter; on the south by the lands of E.F. Hannah; on the west by the right-of-way of the Lawrenceville and Loganville Highway. Each of these tracts fronts on said highway fifty (50) feet and extends back even width two hundred and fifty (250) feet. Tract number seventy-one contains five and 74/100 (5.74) acres according to said plat, and is bounded on the north by the lands of formerly P.C. Roberts, now Mrs. Lorene T. Bowen; on the east by the lands of H.J. Hinton; on the south by the lands of formerly E.F. Hannah; on the west by the lands of J.H. Carter.

Being the same as that property conveyed to Grantor by Warranty Deed dated June 19, 1948, and recorded in Deed Book 88, Folio 56, Gwinnett County, Georgia Records.

Less approximately one (1) acre which the Grantor has previously conveyed to her brother; being a total of approximately fourteen (14) acres.

RZR2024-00022 & SUP2024-00090  
RECEIVED: MAY 2, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT



MAGNETIC NORTH  
SCALE: 1" = 60'

DATE

REVISION

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

DATE

NO.

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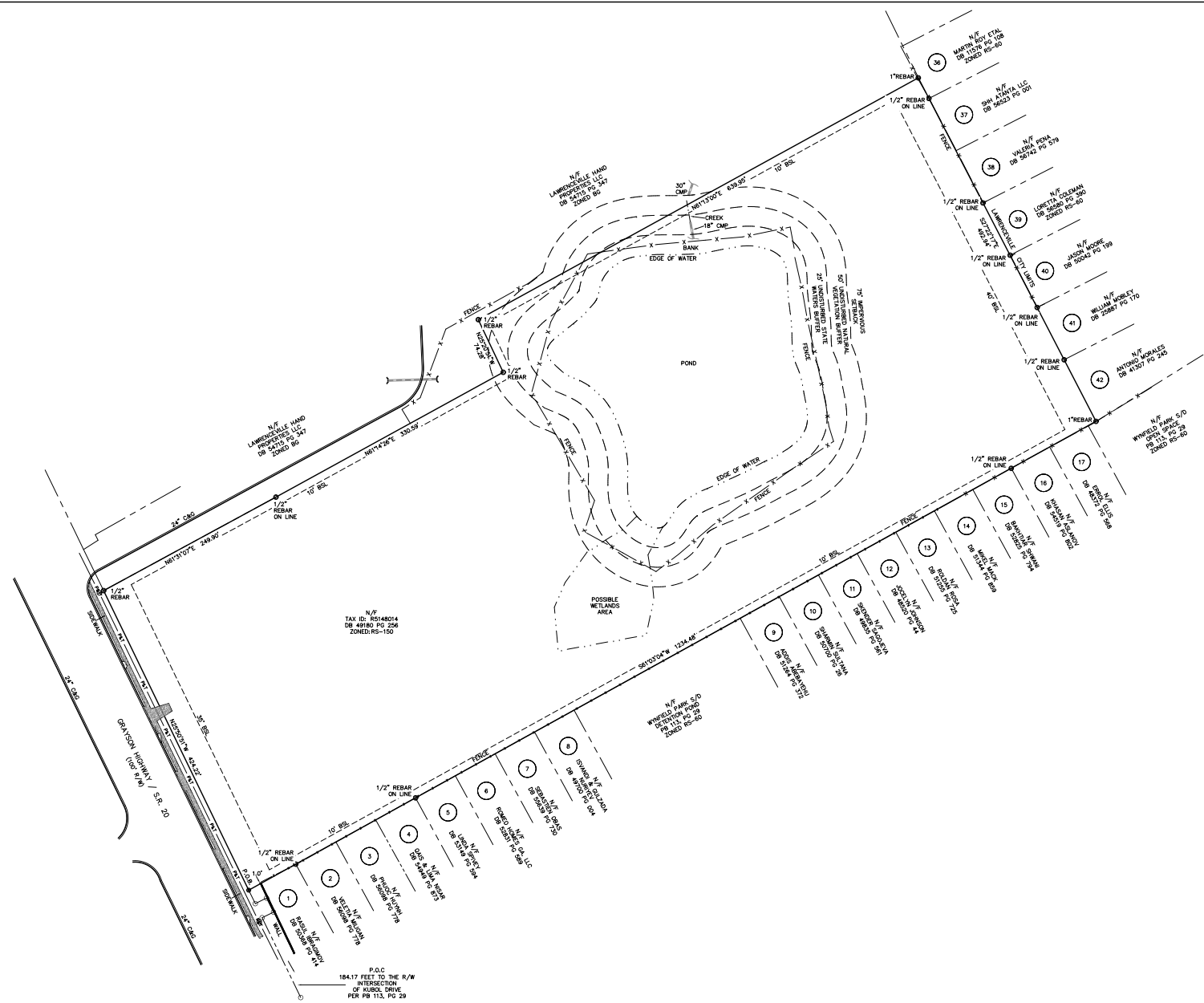
DATE

THIS PLAT IS A RETRACEMENT OF AN EXISTING PARCEL OR PARCELS OF LAND AND DOES NOT SUPERVISE OR CREATE A NEW PARCEL. THE RECORDING INFORMATION OF THE DOCUMENTS, MAPS, PLANS, OR OTHER INSTRUMENTS WHICH CREATED THE PARCEL OR PARCELS ARE STATED HEREON. RECORDATION OF THIS PLAT DOES NOT IMPLY APPROVAL OF ANY LOCAL JURISDICTION, AVAILABILITY OF PERMITS, COMPLIANCE WITH LOCAL REGULATIONS OR REQUIREMENTS, NOR SUITABILITY FOR ANY USE OR PURPOSE OF THE LAND. FURTHERMORE, THE UNDERSIGNED LAND SURVEYOR CERTIFIES THAT THIS PLAT COMPLETES WITH THE MINIMUM TECHNICAL STANDARDS FOR PROPERTY SURVEYS IN GEORGIA AS SET FORTH IN THE RULES AND REGULATIONS OF THE GEORGIA BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS AND AS SET FORTH IN O.C.G. SECTION 13-6-2.



FOR THE FIRM  
BOUNDARY ZONE, INC.  
L.S.E. #229  
NOT VALID WITHOUT  
PROFESSIONAL SEAL

*Michael S. Reynolds*  
MICHAEL S. REYNOLDS #2313 DATE 08/28/2019



ZONING SUMMARY: RS-150  
SINGLE FAMILY DETACHED  
FRONT SETBACK 35  
SIDE SETBACK 10  
REAR SETBACK 40

INFORMATION OBTAINED FROM  
CITY OF LAWRENCEVILLE ZONING  
THE SURVEYOR IN NO WAY INTENDS TO  
INTERPRET OR MAKE CONCLUSION REGARDING  
THE ZONING AND SETBACK DESIGNATION SHOWN  
HEREON.

TOTAL AREA: 12.95+/- ACRES / 564,362 SQUARE FEET  
BOUNDARY REFERENCE: DEED BOOK #108, PAGE 256, PLAT BOOK "D", PAGE 189  
FIELDWORK PERFORMED ON 08/16/2019  
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE  
ACCURATE WITHIN ONE FOOT IN 571,628 FEET.  
THIS PLAT HAS BEEN PREPARED USING A TRIMBLE S603 ROBOTIC TOTAL STATION.  
THE FIELD DATA UPON WHICH THIS PLAT IS BASED HAS A RELATIVE POSITIONAL  
ACCURACY OF 0.02 FEET.

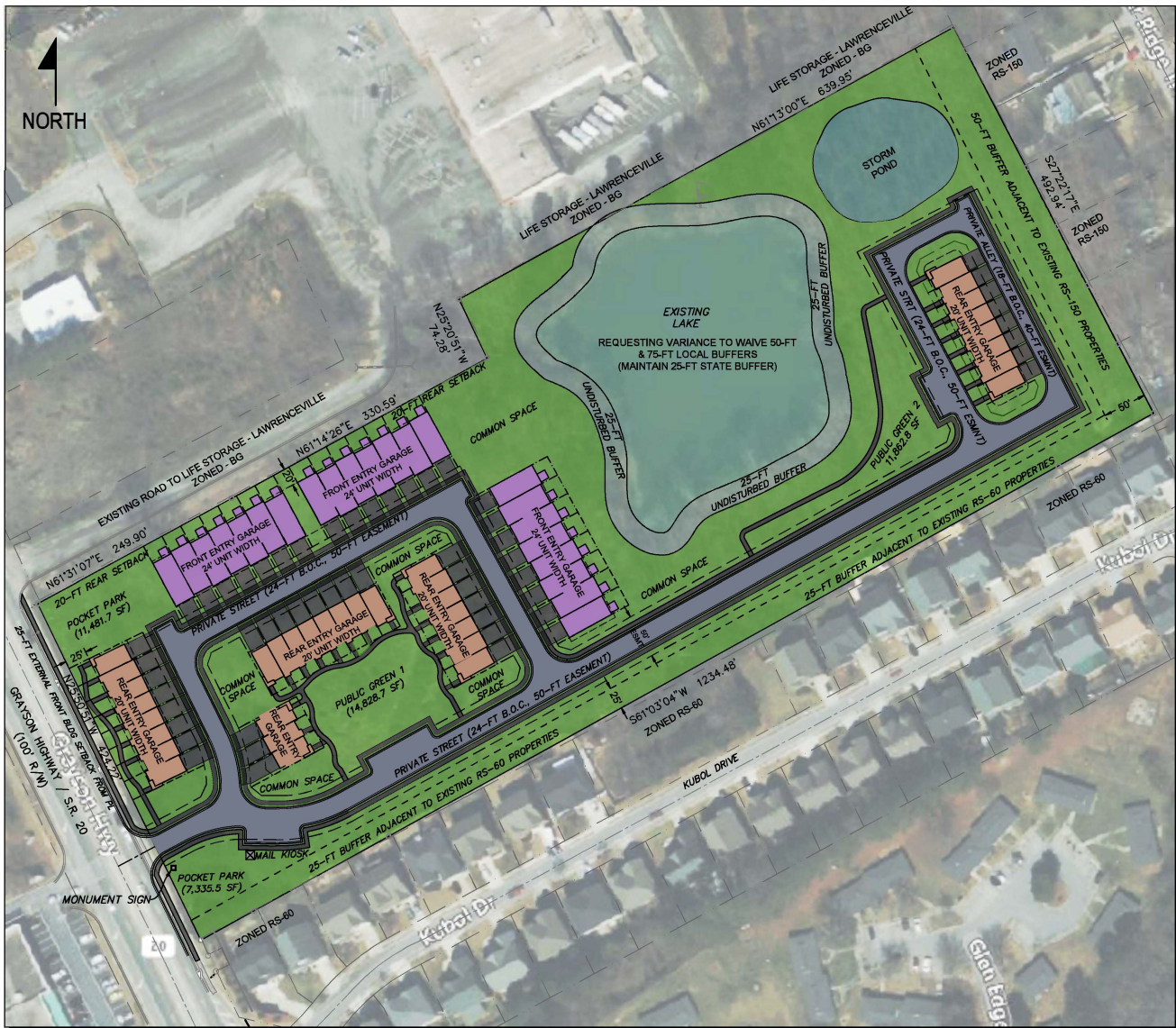
LEGEND table with symbols for PROPERTY CORNER, POWER/LIGHT POLE, GAS METER, TELEPHONE LINE, etc.



BOUNDARY zone, inc. LAND SURVEYING SERVICES & LAND PLANNING SERVICES  
WWW.BOUNDARYZONE.COM (770) 271-5772

BOUNDARY SURVEY  
PREPARED FOR: PARK TERRACE DEVELOPMENT  
LAND LOT 148, 5TH DISTRICT,  
GWINNETT COUNTY, GEORGIA - 08/28/2019

PROJECT 2107101  
SHEET 1 OF 1  
DWG-881



**ADDRESS:** 448 GRAYSON HIGHWAY  
LAWRENCEVILLE  
GWINNETT COUNTY

**PARCEL INFO:** 5148 014

**SITE AREA:** 14.0ACRES  
**LAKE & BUFFERS:** 4.05 ACRES  
**WETLANDS AREA:** 0.35 ACRES

**CURRENT ZONING:** RS-150  
**PROPOSED ZONING:** RM-8

**PROPOSED DWELLINGS:** 56 SINGLE FAMILY ATTACHED DWELLINGS  
34 REAR-ENTRY GARAGE UNITS (20' WIDE)  
22 FRONT-ENTRY GARAGE UNITS (24' WIDE)  
*(SPECIAL USE PERMIT REQUESTED FOR FRONT-ENTRY GARAGE UNITS)*

**MIN. LOT AREA (DEVELOPMENT)** 5.0 AC  
**MIN. LOT AREA - DWELLING** NONE  
**MIN. SF AREA - DWELLING HEATED FLOOR AREA**  
2 BED 1,200 SF  
3 BED 1,400 SF

**MIN. UNIT WIDTH** 20-FT (2-CAR GARAGE REQUIRED)  
**MAX. BLDG HEIGHT** 35-FT

**SITE CONFIGURATION:**  
**EXTERNAL FRONT SETBACK** 25-FT (FROM GRAYSON HWY)  
**EXTERNAL SIDE SETBACK** 20-FT  
**EXTERNAL REAR SETBACK** 20-FT

**MAX. IMPERVIOUS AREA** 40% (OF TOTAL DEVELOPMENT LOT)  
**MINIMUM COMMON AREA** 15%  
**PROVIDED COMMON AREA** 28% (3.98 AC OF 14.0 AC)  
**INCLUDES:**  
PUBLIC GREEN 1 14,828.7 SF (> MIN. RQD 3,000 SF)  
PUBLIC GREEN 2 11,862.8 SF (> MIN. RQD 3,000 SF)  
POCKET PARK 1 11,481.7 SF (> MIN. RQD 3,000 SF)  
POCKET PARK 2 7,335.5 SF (> MIN. RQD 3,000 SF)

**COMMON AREA DOES NOT INCLUDE:**  
LAKE & 25-FT BUFFER  
ZONING BUFFERS  
INDIVIDUAL DWELLING LOTS  
PROPOSED EASEMENT

**SIDEWALK REQUIRED:** 5-FT WIDTH  
2-FT OFF BACK OF CURB (B.O.C.)

**PARKING:**  
GARAGE 2-CAR/DWELLING (ALL DWELLINGS)  
ON-STREET PARKING 21 ON-STREET, GUEST SPACES  
DRIVEWAY SPACES 2/DWELLING

**REQUESTED VARIANCES (INCLUDE, BUT NOT LIMITED TO):**  
**LAKE BUFFERS:**  
WAIVE 50-FT UNDISTURBED BUFFER  
WAIVE 75-FT IMPERVIOUS BUFFER  
**REQUESTED SPECIAL USE PERMIT:**  
TO ALLOW FOR FRONT-ENTRY GARAGE UNITS  
22 OF 56 UNITS ARE PROPOSED AS FRONT-ENTRY GARAGE UNITS



SITE LOCATION MAP (NOT TO SCALE)



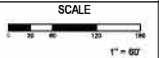
Email: LandDesignSolutions@gmail.com  
Phone: 404-841-0644

448 GRAYSON HWY  
LAWRENCEVILLE  
GWINNETT COUNTY, GA  
GEORGIA  
PARCEL ID: 5148 014

PROJ. # 22004

NOT FOR CONSTRUCTION

06-25-2024



SHEET TITLE  
CONCEPT SITE PLAN

SHEET NUMBER  
1.A

**EXAMPLE ARCHITECTURAL ELEVATIONS  
FOR PROPOSED RM-8 DEVELOPMENT AT  
448 GRAYSON HWY, LAWRENCEVILLE, GA**

**(PROPOSED RE-ZONING WITH SPECIAL USE PERMIT TO ALLOW FOR MIX OF REAR-ENTRY GARAGE & FRONT-ENTRY GARAGE STYLE TOWNHOMES)**



**TOWNHOME ELEVATIONS  
COMMUNITY WITH BOTH FRONT & REAR ENTRY GARAGE DWELLING STYLES**



TOWNHOMES  
FRONT ELEVATION OF A REAR ENTRY GARAGE STYLE DWELLING



**TOWNHOME  
FRONT ELEVATION- VIEW 'A'  
FRONT ENTRY GARAGE STYLE DWELLING**



**TOWNHOME  
FRONT ELEVATION- VIEW 'B'  
FRONT ENTRY GARAGE STYLE DWELLING**



# LAWRENCEVILLE





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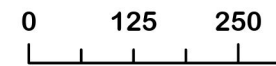
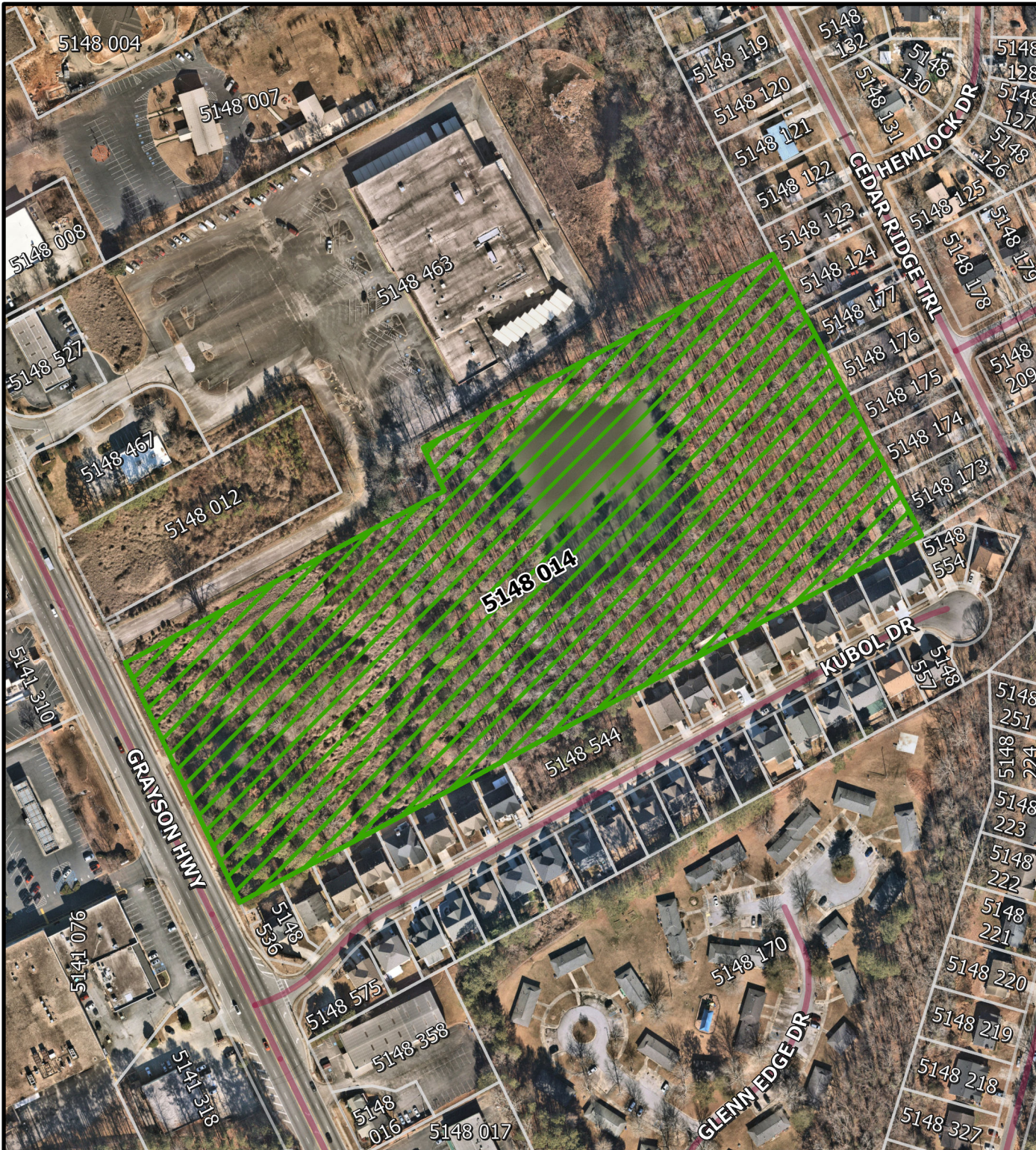
The City of Lawrenceville  
Planning & Development

Location Map & Surrounding Areas

**File # RZR2024-00022  
& SUP2024-00090**

**Applicant: Ansley Johnston**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets









# LAWRENCEVILLE

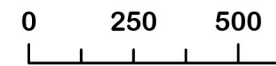
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZR2024-00022  
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**Applicant: Ansley Johnston**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets





# LAWRENCEVILLE











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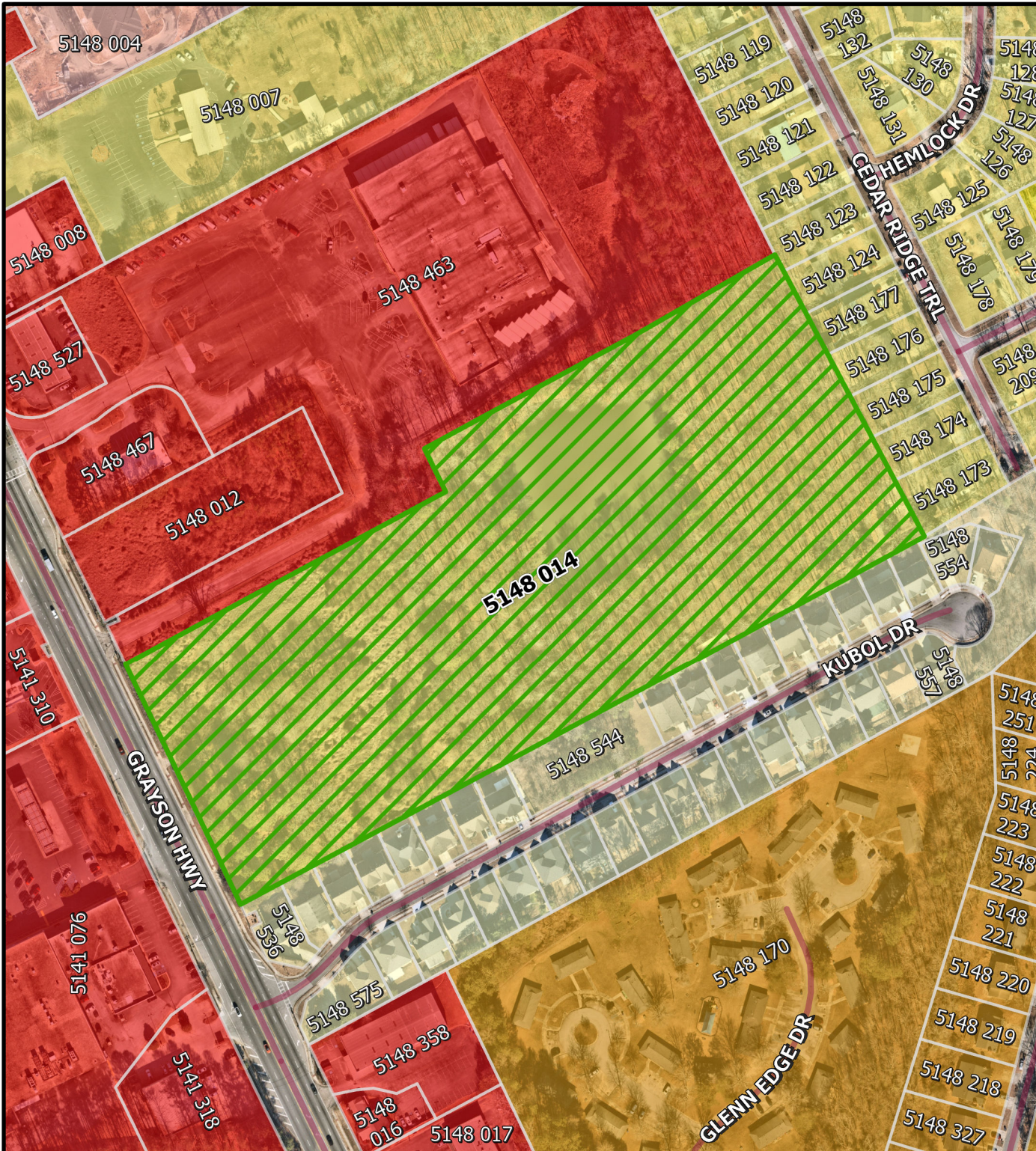
The City of Lawrenceville  
Planning & Development

Location Map & Surrounding Areas

**File # RZR2024-00022  
& SUP2024-00090**

**Applicant: Ansley Johnston**

-  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  OI Office/Institutional
  -  RM-12 Multifamily Residential
  -  RS-60 Single-Family Residential
  -  RS-150 Single-Family Residential
  -  RS-180 Single-Family Residential



0 125 250



# LAWRENCEVILLE












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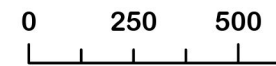
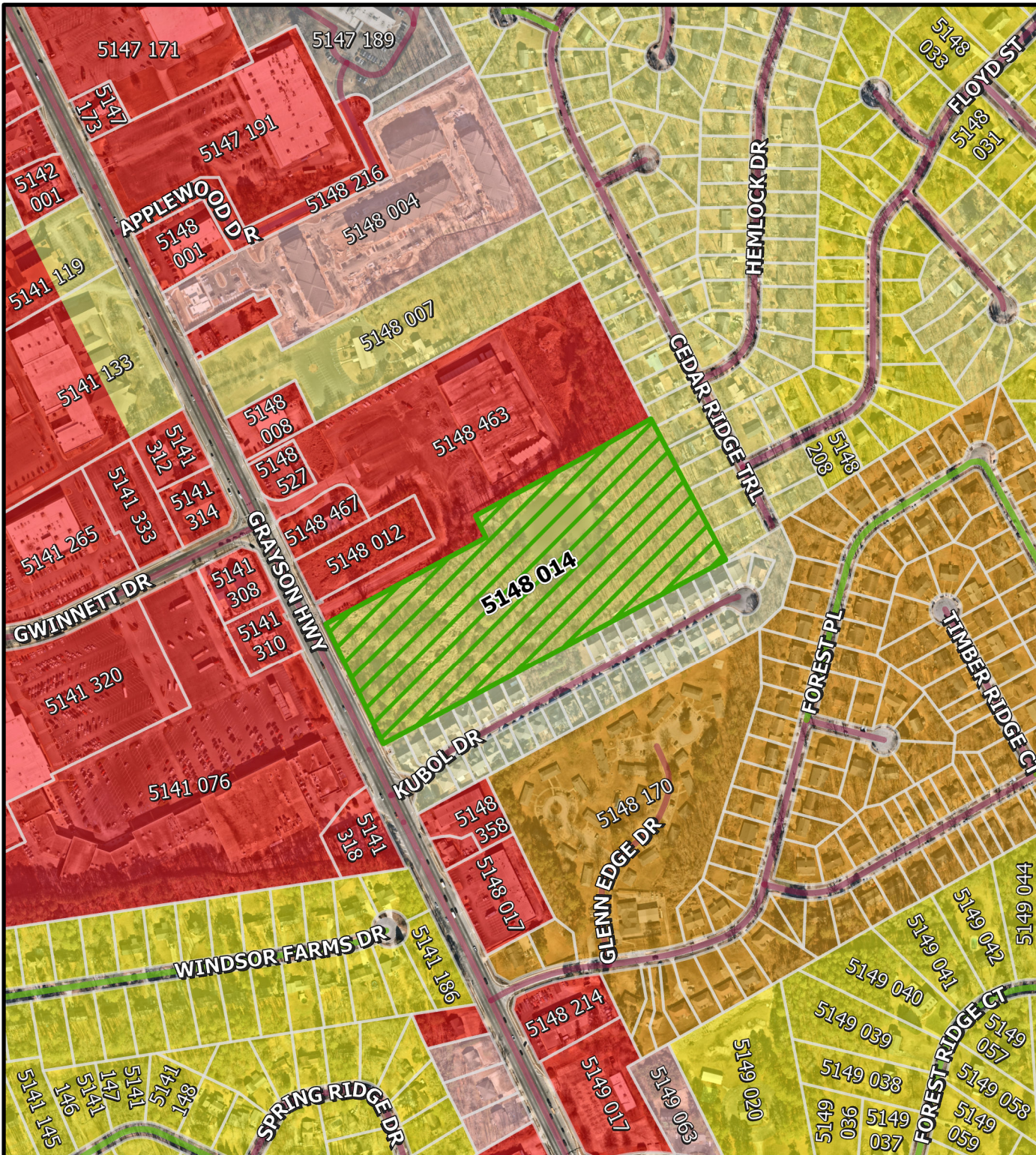
The City of Lawrenceville  
Planning & Development

Location Map & Surrounding Areas

## File # RZR2024-00022 & SUP2024-00090

Applicant: Ansley Johnston

-  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  OI Office/Institutional
  -  RM-12 Multifamily Residential
  -  RMHR Multifamily Residence District - High-Rise
  -  RS-60 Single-Family Residential
  -  RS-150 Single-Family Residential
  -  RS-180 Single-Family Residential





# LAWRENCEVILLE

GEORGIA

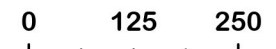
The City of Lawrenceville  
Planning & Development

Location Map & Surrounding Areas

**File # RZR2024-00022  
& SUP2024-00090**

**Applicant: Ansley Johnston**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Downtown
-  Traditional Residential





# LAWRENCEVILLE








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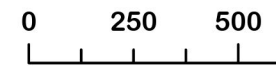
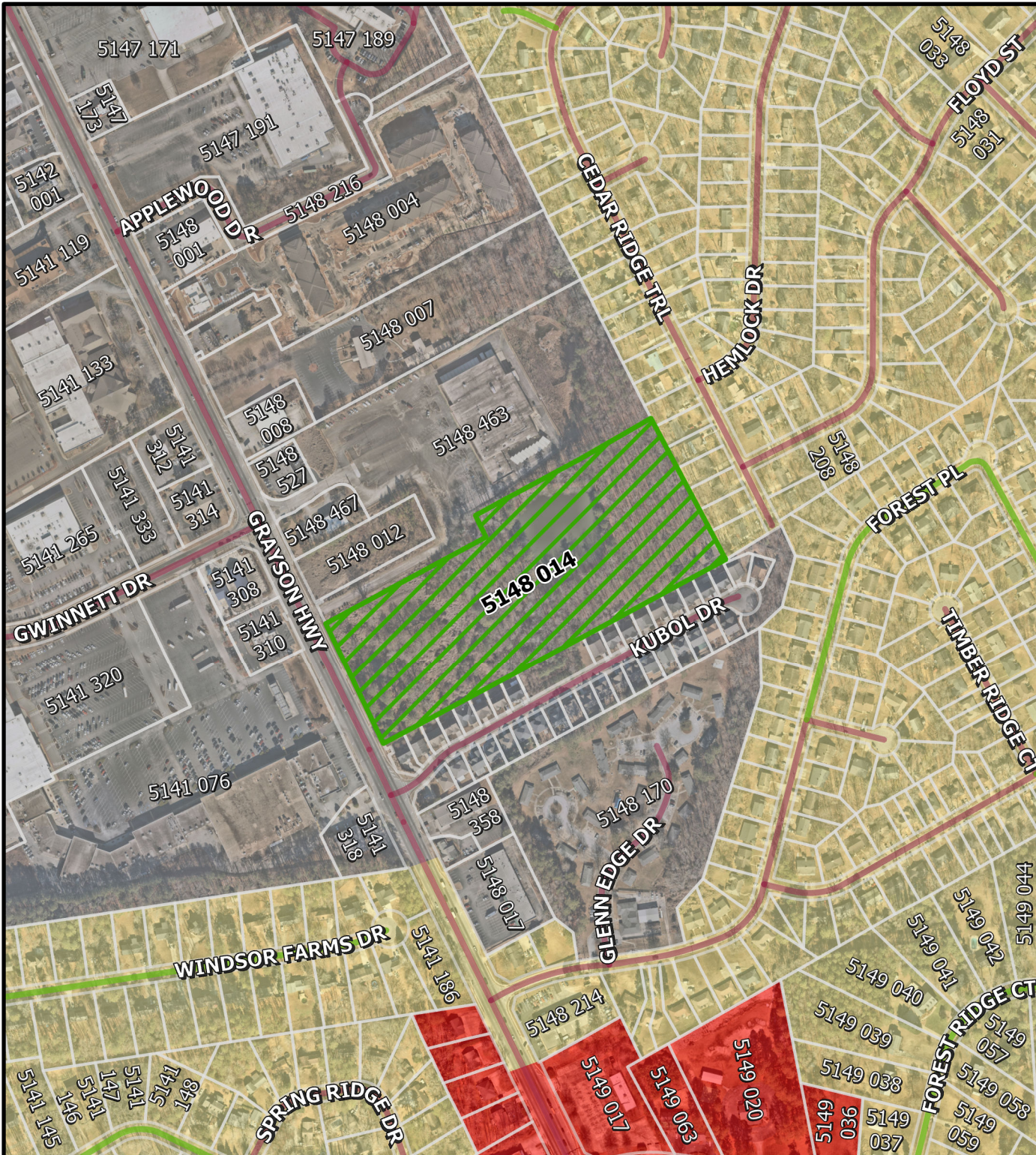
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Location Map & Surrounding Areas

**File # RZR2024-00022  
& SUP2024-00090**

**Applicant: Ansley Johnston**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Downtown
-  Traditional Residential
-  Commercial Corridor





# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

**Item:** RZR2024-00023; Florentina Fisteag; 0 Curtis Road

**Department:** Planning and Development

**Date of Meeting:** Monday, July 1, 2024

**Applicant Request:** Rezone subject property from RM-12 (Multifamily Residential District) to RS-60 (Single-Family Residential District)

**Presented By:** Todd Hargrave, Director of Planning and Development

**Department Recommendation:** **Approval with Conditions**

---

**Summary:** The applicant requests the rezoning of an approximately 0.43-acre parcel on the eastern right-of-way of Curtis Road, across from its intersection with Downing Street. The proposed rezoning is from RM-12 (Multifamily Residential District) to RS-60 (Single-Family Residential District) to develop two single-family residential dwelling units on the site. The property is currently vacant and undeveloped.

**Attachments/Exhibits:**

- RZR2024-00023\_Report
- RZR2024-00023\_P&D Recommended Conditions
- RZR2024-00023\_Application
- RZR2024-00023\_Letter of Intent
- RZR2024-00023\_Legal Description
- RZR2024-00023\_Existing Conditions Survey
- RZR2024-00023\_Proposed Site Plan
- RZR2024-00023\_Proposed Elevation
- RZR2024-00023\_Aerial Map – Zoomed In (1:2,750)
- RZR2024-00023\_Aerial Map – Zoomed Out (1:5,500)
- RZR2024-00023\_Zoning Map – Zoomed In (1:2,750)

- RZR2024-00023\_ Zoning Map – Zoomed Out (1:5,500)
- RZR2024-00023\_ Character Areas Map – Zoomed In (1:2,750)
- RZR2024-00023\_ Character Areas Map – Zoomed Out (1:5,500)



# LAWRENCEVILLE

Planning & Development

## REZONING

**CASE NUMBER:** RZR2024-00023

**OWNER / APPLICANT:** FLORENTINA FISTEAG

**LOCATION(S):** 0 CURTIS ROAD

**PARCEL ID(S):** R5145 013C

**APPROXIMATE ACREAGE:** 0.43 ACRES

**ZONING PROPOSAL:** RM-12 (MULTIFAMILY RESIDENTIAL DISTRICT) TO RS-60 (SINGLE-FAMILY RESIDENTIAL DISTRICT)

**PROPOSED DEVELOPMENT:** TWO SINGLE-FAMILY RESIDENTIAL DWELLINGS

**DEPARTMENT RECOMMENDATION:** APPROVAL WITH CONDITIONS

### VICINITY MAP





# LAWRENCEVILLE

## Planning & Development

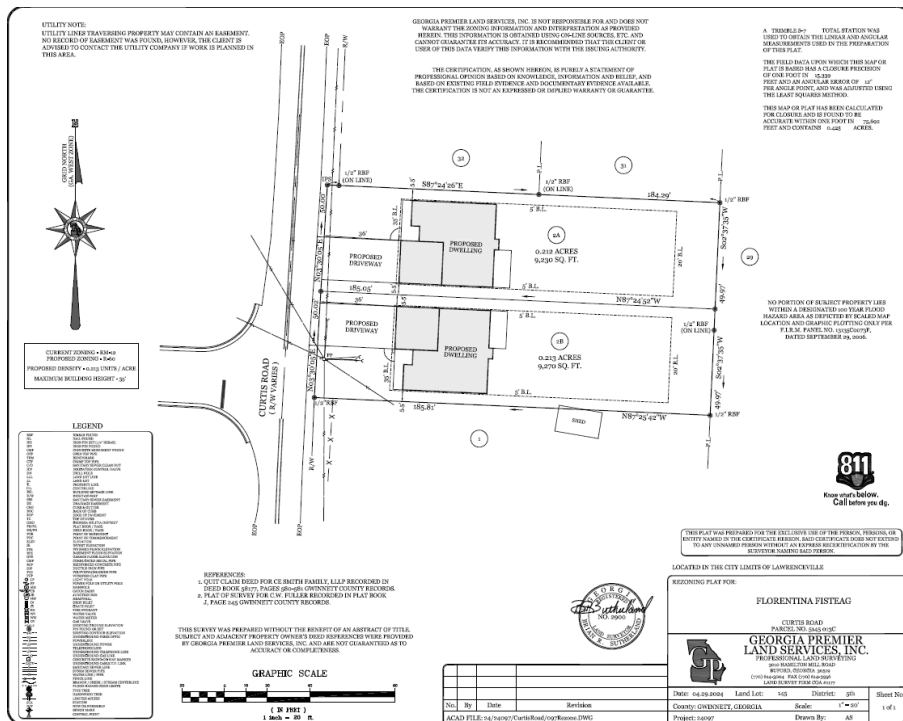
### ZONING HISTORY

The subject property has been zoned RM / RM-12 (Multifamily Residential District) since 1960, which is the earliest zoning record on file for the parcel. There are no rezoning cases on record for the subject property.

### PROJECT SUMMARY

The applicant requests the rezoning of an approximately 0.43-acre parcel on the eastern right-of-way of Curtis Road, across from its intersection with Downing Street. The proposed rezoning is from RM-12 (Multifamily Residential District) to RS-60 (Single-Family Residential District) to develop two single-family residential dwellings and dwelling units on the site. The property is currently vacant and undeveloped.

### CONCEPT PLAN





# LAWRENCEVILLE

## Planning & Development

### ZONING AND DEVELOPMENT STANDARDS

The applicant requests to rezone the property in order to subdivide the property into two lots and develop two single-family residential dwellings. The exterior of the homes will match the character of the structures surrounding the subject property. The materials will consist of four sides brick with accents of cement / hardie plank siding, in general accordance with the submitted elevations. The proposed dwellings will be connected to the sewer system, as operated by Gwinnett County. If approved, the proposed development will require two variances, see lot development standards:

#### **Article 1 Districts, Section 102.4 RS-60 Single-Family Residential District, Table B. Lot Development Standards**

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
Development Size	10 acres	0.425 acres	<b><u>VARIANCE</u></b>
Minimum Lot Area	7,500 sq. ft.	9,230 sq. ft.	N/A
Minimum Lot Width	60 feet	50 feet	<b><u>VARIANCE</u></b>
Minimum Front Yard Setback	35 feet	35 feet	N/A
Minimum Side Yard Setback	5 feet	5 feet	N/A
Minimum Rear Yard Setback	20 feet	20 feet	N/A
Minimum Heated Floor Area	1,800 sq. ft. (1 story) 2,000 sq. ft. (2 story)	1,800 sq. ft. (1 story) 2,000 sq. ft. (2 story)	N/A
Max. Lot Coverage	75%	17.5%	N/A
Maximum	35 feet	16 feet	N/A



# LAWRENCEVILLE

## Planning & Development

Building Height			
-----------------	--	--	--

The requested variances are as follows:

1. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.4 – RS-60 Single-Family Residential District, Table B., Lot Development Standards – Minimum Development Size. Allows the reduction of the minimum development size from ten (10) acres to 0.43 acres.
2. A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.4 – RS-60 Single-Family Residential District, Table B., Lot Development Standards – Minimum Lot Width. Allows the reduction of the minimum lot width from sixty (60) feet to fifty (50) feet.

### **SURROUNDING ZONING AND USE**

The surrounding area consists primarily of two-family homes, all of which are currently zoned RM-12 (Multifamily Residential District). There are two residential subdivisions adjacent to the subject property: Southgate (Unit 1) to the east and north along Southern Way, and Knightsbridge Square (Unit 2), which is across the right-of-way of Curtis Road, along Downing Street. Both subdivisions are zoned entirely RM-12. In addition to these uses, there are commercial uses zoned BG (General Business District) in the general vicinity, to the north along Hurricane Shoals Road. Finally, there are properties used for industrial uses along Maltbie Street to the south zoned HM (Heavy Manufacturing District). Overall, the general character of the surrounding area is primarily residential.

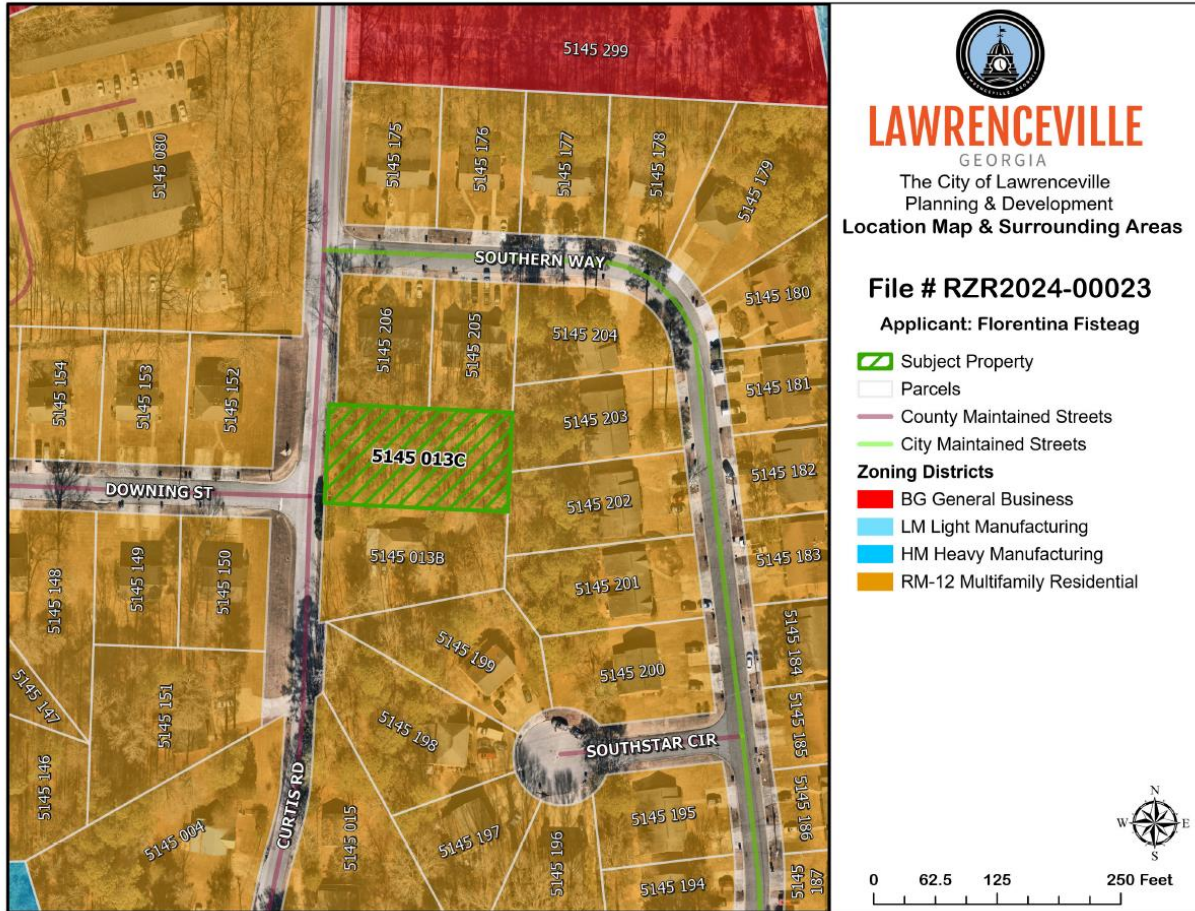
Though the proposed request to rezone the properties to RS-60 may not necessarily be consistent with the established zoning pattern of the area as-is, it would be consistent with recent developments in the area, which include some new single-family residential dwelling units. Such a rezoning has recent precedent in the general vicinity; in February 2023, City Council approved the rezoning of several properties along Northdale Road to the east from RM-12 to RS-150 (Single-Family Residential District).



# LAWRENCEVILLE

## Planning & Development

### CITY OF LAWRENCEVILLE OFFICIAL ZONING MAP



### 2045 COMPREHENSIVE PLAN

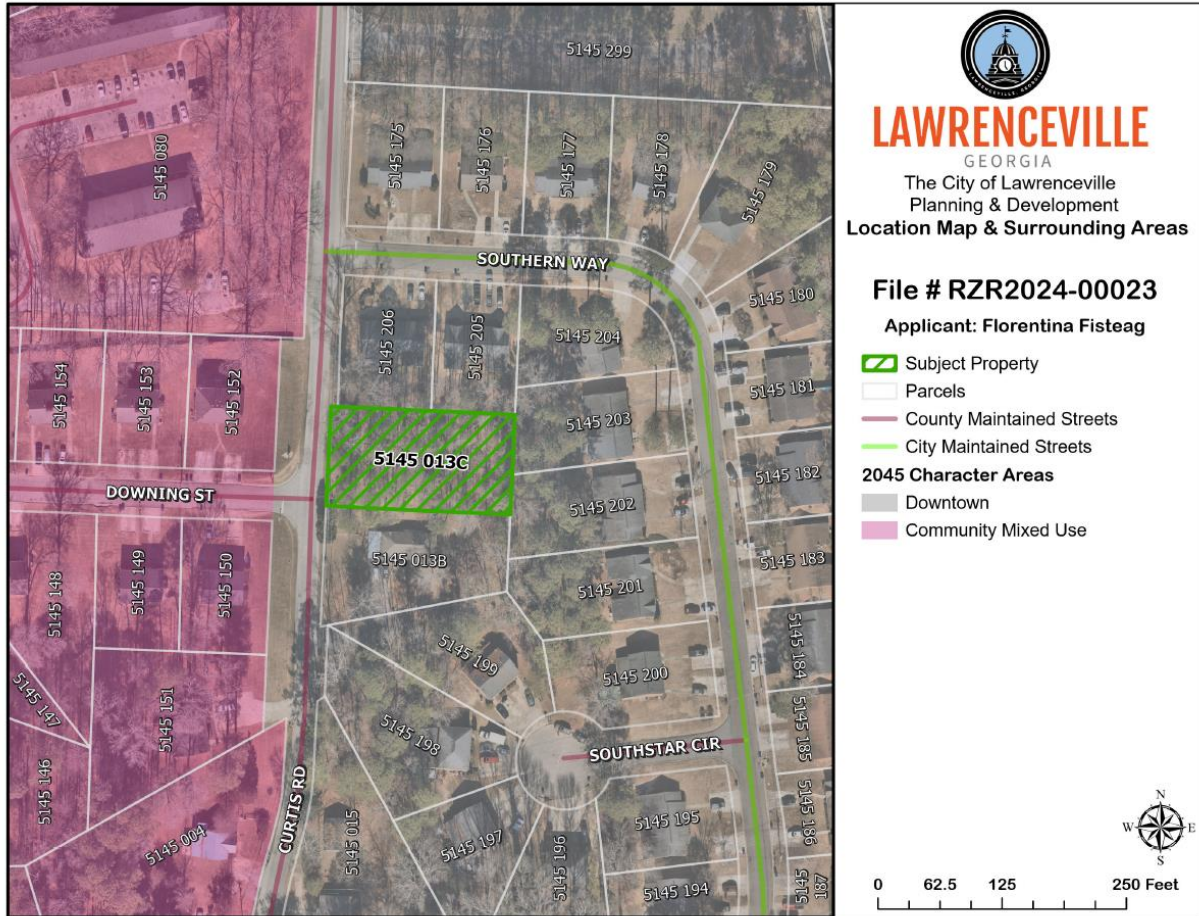
The City of Lawrenceville 2045 Comprehensive Plan and Future Development Map indicate the subject property is located within the Downtown character area. Lawrenceville’s Downtown character area serves as the historical and cultural heart of the city, preserving its unique charm while nurturing economic vitality. With a robust economy and a focus on community life, Downtown is a hub of cultural activities and commerce. The requested zoning change is compatible with the goals of the 2045 Comprehensive Plan for the Downtown character area, which supports a variety of uses at a wide range of density levels.



# LAWRENCEVILLE

## Planning & Development

### LAWRENCEVILLE 2045 COMPREHENSIVE PLAN - FUTURE LAND USE PLAN MAP



#### STAFF RECOMMENDATION

In conclusion, the proposal may not be consistent with the established zoning pattern in the immediate area, however, policies relating to long range planning suggest the city embrace the principles of new urbanism by creating a housing stock that is well maintained and includes homes with a variety of forms and price points. The intent of the Comprehensive Plan is to encourage positive redevelopment of benefiting from the “halo effect” of high-quality development already happening nearby. This proposal would continue with the precedent set by RZR2022-00015 and RZR2022-00016, when City Council approved city-initiated



# LAWRENCEVILLE

## *Planning & Development*

requests to rezone various properties in the general vicinity from RM-12 to RS-150 to allow for the construction of single-family homes along Northdale Road.

Although the approval of this proposal would be a spot-zoning, in that all the surrounding properties will continue to be zoned RM-12, the approval of such a proposal would lead to a positive development for the area. Given the aforementioned factors, the Planning and Development Department recommends **APPROVAL WITH CONDITIONS** for the proposed rezoning.



# LAWRENCEVILLE

## *Planning & Development*

### **CITY OF LAWRENCEVILLE DEPARTMENT COMMENTS:**

#### **ENGINEERING DEPARTMENT**

No comment

#### **PUBLIC WORKS**

No comment

#### **ELECTRIC DEPARTMENT**

No comment

#### **GAS DEPARTMENT**

No comment

#### **DAMAGE PREVENTION DEPARTMENT**

No comment

#### **CODE ENFORCEMENT**

No comment

#### **STREET AND SANITATION DEPARTMENT**

No comment



# LAWRENCEVILLE

## Planning & Development

### STATE CODE 36-67-3 (FMR.) REVIEW STANDARDS:

- 1. Whether a zoning proposal will permit a use that is suitable in view of the use and development of adjacent and nearby property;**

*Yes. The surrounding area is already residential in nature, though it is of a higher density than the proposed development.*

- 2. Whether a zoning proposal will adversely affect the existing use or usability of adjacent or nearby property;**

*No. As discussed, the area is already residential in nature.*

- 3. Whether the property to be affected by a zoning proposal has a reasonable economic use as currently zoned;**

*Development of such a property as it is currently zoned (RM-12) is complicated due to the fact that multifamily residential developments have a minimum ten (10) acre development area, which cannot be reduced by a variance. With a lot area of approximately 0.43, the property cannot be developed as-is.*

- 4. Whether the zoning proposal will result in a use which will or could cause an excessive or burdensome use of existing streets, transportation facilities, utilities, or schools;**

*Transitioning from a higher intensity use (multifamily residential) to a lower intensity one (single-family residential) would reduce the potential demand on public facilities in the form of traffic, utilities, stormwater runoff, and schools.*

- 5. Whether the zoning proposal is in conformity with the policy and intent of the Comprehensive Plan;**

*Policies of the City are intended to benefit or enhance the quality of life for existing and potential members of the public choosing to reside within the city limits. Downtown is intended as a mixed-use district that includes single-family residential housing, so this rezoning conforms with the long-range plan.*



# LAWRENCEVILLE

6.

## *Planning & Development*

- 6. Whether there are other existing or changing conditions affecting the use and development of the property, which give supporting grounds for either approval or disapproval of the zoning proposal;**

*The proposal would continue with the precedent set by city-initiated rezonings on Northdale Road in February 2023, with RZR2022-00015 and RZR2022-00016.*

**PLANNING COMMISSION**

**RECOMMENDED CONDITIONS\_06172024**

**RZR2024-00023**

Approval of a rezoning to RS-60 (Single-Family Residential District), subject to the following enumerated conditions:

- 1. To restrict the use of the property as follows:**
  - A.** New Construction of Single-family detached dwellings and dwelling units, accessory uses, and structures at maximum of two (2) dwelling units on approximately zero & forty three hundredths (0.43) acres at a density of four and six tenths (4.6) Units Per Acre (UPA).
  - B.** The development shall be in general accordance with the concept plan titled “Rezoning Plat for Florentina Fisteag,” prepared by Georgia Premier Land Services, Inc. on April 29, 2024. Final approval shall be subject to the review and approval of the Director of the Planning and Development Department.
  - C.** The façade, rear and side elevations of the single-family detached residential dwellings and dwelling units shall be designed and constructed consisting of four (4) sides of masonry, which could be brick, stone, or a combination of brick and stone (with accents of fiber cement siding). The final design shall be in general accordance with the provided elevations and shall be subject to final review and approval of the Director of the Planning and Development Department.
  - D.** The minimum heated floor area per dwelling unit shall be 1,800 square feet for one-story homes and 2,000 square feet for two-story homes.
  - E.** The single-family detached dwelling unit shall have a double-car garage with carriage-style garage doors. The final design shall be subject to the review and approval of the Director of the Planning and Development Department.
  - F.** The single-family detached dwelling units shall include a two (2) car garage, with a driveway measuring twenty (20) feet in width and thirty-six (36) feet in depth, providing sufficient space for two (2) passenger vehicles. The final design shall be subject to the review and approval of the Director of the Planning and Development Department.

- G.** The single-family detached dwelling unit shall be a maximum height of thirty-five (35) feet in height, as measured from the lowest elevation of the finished floor. The final design shall be subject to the review and approval of the Director of the Planning and Development Department.
- H.** The Front Yard Area shall be adjacent to Curtis Road. The Front Yard Area shall have a Building Setback of thirty-five (35) feet.
- I.** The Rear Yard Area shall have a Building Setback of twenty (20) feet.
- J.** The Side Yard Area shall have a Building Setback of five (5) feet.
- K.** Vehicular access to the subject property shall be provided by a pair of new curb cuts along Curtis Road.

**2. To satisfy the following site development considerations:**

- A.** Detached Single-Family dwellings shall be designed and constructed in conformity with Zoning Ordinance, Article 6 Architectural and Design Standards, Section 601 Residential Minimum Architectural and Design Standards, and International Residential Code (IRC). Final building elevations shall be subject to the review and approval of the Director of the Planning and Development Department.
- B.** Maintain or provide a five (5) foot concrete sidewalk adjacent to the Curtis Road right-of-way.
- C.** Natural vegetation shall remain on the property until the issuance of a development permit.
- D.** Any utility relocations shall be the responsibility of the developer.
- E.** Property shall be subdivided before any development activity commences.

**3. The following variances are requested:**

- A.** A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.4 – RS-60 Single-Family Residential District, Table B., Lot Development Standards – Minimum Development Size. Allows the reduction of the minimum development size from ten (10) acres to 0.43 acres.
- B.** A variance from the Zoning Ordinance, Article 1 – Districts, Section 102.4 – RS-60 Single-Family Residential District, Table B., Lot Development Standards – Minimum Lot Width. Allows the reduction of the minimum lot

width from sixty (60) feet to fifty (50) feet.



# LAWRENCEVILLE

## GEORGIA

### REZONING APPLICATION

The application and all required documents must be complete and fees must be paid or the application will not be accepted.

Documents, exhibits and fees required at the time of application submittal:

1. Application Form (signed and notarized)
2. Disclosure of Campaign Contributions Form
3. Letter of Intent describing the proposed zoning change and development
4. Typed, metes and bounds Legal Description
5. Boundary survey (sealed by a Registered Land Surveyor)
6. Property tax verification
7. Site Plan/Rezoning Exhibit: :
  - a. Prepared by a Registered Land Surveyor, Professional Engineer or Landscape Architect
  - b. One full size paper copy drawn to scale of 1"= 50' or greater
  - c. Electronic File (external hard drive)
  - d. Show property line data (metes and bounds) as well as existing infrastructure and existing site conditions, including:
    - i. Existing structures
    - ii. Full width of existing streets and intersecting streets
    - iii. Streams, stream buffers and impervious setbacks
    - iv. Flood hazard zones (reference source of data)
    - v. A vicinity map
  - e. Show proposed improvements, including:
    - i. Proposed buildings, setbacks, buffers and required screening
    - ii. Proposed streets, ingress/egress, driveways, sidewalks and parking
8. Application Fee
  - a. Payment may be made in cash, check or credit card (Visa, MasterCard). Please make checks payable to the City of Lawrenceville. One check is preferred.



# LAWRENCEVILLE

## GEORGIA

### NOTIFICATION REQUIREMENTS

#### Written Notification

The applicant is required to notify all adjoining property owners (including those across any streets) of their intention to rezone the property. The notification shall be sent by Certified Mail and be postmarked no later than the published deadline contained in the Rezoning Schedule. A sample notification letter is provided at the end of this packet.

The written notice shall include:

1. Rezoning case number
2. Dates, times and place of public hearings
3. Copy of the application
4. Applicant contact information
5. Letter of Intent
6. Site plan
7. Vicinity map

Proof that the notifications were mailed as required must be delivered to the Planning Department as soon as is feasible, but no later than 12:00 p.m. (noon) on the Wednesday prior to the Planning Commission meeting. Failure to submit the required proof of mailing will result in the application being tabled to the next month's meeting.

#### Notification Sign

The applicant is required to post a notification sign (provided by the Planning Department) in a clearly visible location on the property, at or near the public street, no later than the published deadline contained in the Rezoning Schedule. It is the responsibility of the applicant to insure that the notification sign remain on the property throughout the rezoning proceedings. (COPY TO BE GIVEN TO APPLICANT)

\_\_\_\_\_

CASE NUMBER

\_\_\_\_\_

DATE

\_\_\_\_\_

ACKNOWLEDGED BY (PRINT NAME)

\_\_\_\_\_

SIGNATURE

70 S Clayton St • PO Box 2200 • Lawrenceville, Georgia 30046-2200  
770.963.2414 • www.lawrencevillega.org



# LAWRENCEVILLE

## GEORGIA

### PUBLIC HEARING PROCESS

The Applicant is required to appear at the Planning Commission Meeting, the City Council Work Session, and the City Council Public Hearing. Failure to attend a meeting may result in tabling of the application until the next meeting of that group. However, the Planning Commission and the City Council may act on the application should they so choose. Meeting dates, times and place are as published in the Rezoning Schedule.

1. Approximately one week prior to the scheduled Planning Commission Meeting, the Planning Staff Report and Recommendation will be available at the Planning and Development office.
2. The applicant shall appear before the City of Lawrenceville Planning Commission to present their case in support of the rezoning application. Any opposition to the rezoning request will be given equal time to present its case. The Planning Commission may ask questions of the applicant and the opposition. The Planning Commission is a recommending body. Their recommendation will be forwarded to the City Council.
3. The applicant shall be present at the City Council Work Session. The applicant may be asked to present their case, or to answer questions, at the desire of the City Council.
4. The applicant shall appear before the City Council for the Public Hearing. The applicant and any opposition will be given equal time to present their cases. The City Council may ask questions of the applicant and opposition prior to making their final decision regarding the application.
5. If the rezoning application is denied by the Mayor and City Council, any new application for the same zoning classification on subject property may not be submitted for at least twelve (12) months from the date of denial. Application for a different zoning classification may be submitted after six (6) months from the date of the denial.



# LAWRENCEVILLE

## GEORGIA

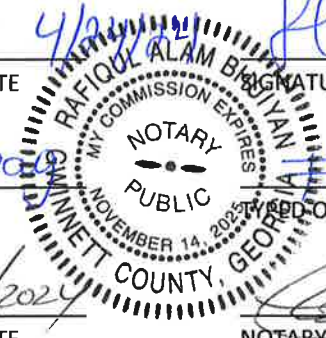
### REZONING APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>Florentina Fisteag</u>	NAME: <u>Florentina Fisteag</u>
ADDRESS: <u>1264 Lob lolly way</u>	ADDRESS: <u>1264 Lob lolly way</u>
CITY: <u>Lawrenceville</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30043</u>	STATE: <u>GA</u> ZIP: <u>30043</u>
CONTACT PERSON: <u>Florentina Fisteag</u> PHONE: <u>678-668-4731</u>	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
PRESENT ZONING DISTRICT(S): <u>RM-12</u> REQUESTED ZONING DISTRICT: <u>R-60</u>	
PARCEL NUMBER(S): <u>5145 013C</u> ACREAGE: <u>0.4</u>	
ADDRESS OF PROPERTY: <u>Curtis Rd. Lawrenceville GA 30046</u>	

Florentina Fisteag 4/24/2024      Florentina Fisteag 4/24/2024  
 SIGNATURE OF APPLICANT      DATE      SIGNATURE OF OWNER      DATE

Florentina Fisteag      Florentina Fisteag  
 TYPED OR PRINTED NAME      TYPED OR PRINTED NAME

[Signature] 4/24/2024      [Signature] 4/24/2024  
 NOTARY PUBLIC      DATE      NOTARY PUBLIC      DATE





# LAWRENCEVILLE

## GEORGIA

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? no Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)
NA		

Have you, within the two years immediately preceding the filing of this application, made gifts having in the aggregate a value of \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? \_\_\_\_\_ Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)
NA		

Attach additional sheets if necessary to disclose or describe all contributions/gifts.



# LAWRENCEVILLE GEORGIA

### VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF LAWRENCEVILLE PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE TAX COMMISSIONER OF GWINNETT COUNTY, GEORGIA. IN NO CASE SHALL AN APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.

PARCEL I.D. NUMBER: 5 - 145 - 013C  
 (Map Reference Number)      District      Land Lot      Parcel

Florentina      9.      4-24-2024  
 Signature of Applicant      Date

Florentina Fistcay      OWNER  
 Type or Print Name and Title

\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONER'S OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\*

### TAX COMMISSIONER'S USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

Kathy Lyles      TSA  
 NAME      TITLE

4/24/24  
 DATE



# LAWRENCEVILLE

## GEORGIA

### FEE SCHEDULE

Rezoning, Change-in-Conditions and Special Use Permit Fees-

(Note: a Special Use Permit related to a companion rezoning case shall not incur an additional fee)

**For Single-Family Residential Districts.**

<p><u>Fee:</u></p> <p>&lt; 5 Acres = \$500          5 – 10 Acres = \$750          10 – 20 Acres= \$1,000          20 Acres or more = \$1,500</p>
--

**For the following: Multifamily (attached housing); Mixed-Use Districts.**

<p><u>Fee:</u></p> <p>&lt; 5 Acres = \$500 + \$10 per unit          5 – 10 Acres = \$750 + \$10 per unit          10 – 20 Acres= \$1,000 + \$10 per unit          20 Acres or more = \$1,500 + \$10 per unit</p>
--

**For Commercial, Office and Industrial Districts.**

<p><u>Fee:</u></p> <p>&lt; 5 Acres = \$500          5 – 10 Acres = \$750          10 – 20 Acres= \$1,000          20 Acres or more = \$1,500</p>
--

# SAMPLE LETTER

(TO BE SENT TO NEIGHBORING PROPERTY OWNERS)

Addressee Info

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Dear Sir/Madam:

Please be advised that **(APPLICANT NAME)** has applied for a rezoning of property located at **(PROPERTY ADDRESS)** from **(PRESENT ZONING)** to **(PROPOSED ZONING)** to allow **(PROPOSED USE OR DEVELOPMENT)**.

The Lawrenceville Planning Commission will hold a public hearing on **(PLANNING COMMISSION DATE)** in order to make a recommendation to the Mayor and City Council on the rezoning request. This meeting will be at 7:00 P.M. in the Council Assembly Room, 4<sup>th</sup> Floor of City Hall, which is located at 70 South Clayton Street, Lawrenceville, Georgia. The Mayor and City Council will hold a public hearing on the rezoning request on **(CITY COUNCIL PUBLIC HEARING DATE)**. This meeting will also be held at 7:00 P.M. in the Council Assembly Room of City Hall.

If you would like to comment on the rezoning request, please plan to attend these meetings. The public is allowed to speak during both the Planning Commission meeting and City Council public hearing.

If you plan to speak in opposition to this request, please be advised that in accordance with Chapter 36-67A-3(c) of the Code of Georgia, if you have made, within the two years immediately preceding the filing of this zoning action, campaign contributions aggregating \$250.00 or more to a local government official who will consider this application, you must contact this Department to obtain the appropriate Campaign Contributions Disclosure Form. This disclosure requirement must be filed at least five calendar days prior to the first public hearing by the Planning Commission.

Sincerely,

\_\_\_\_\_  
Applicant Name

Enclosures:

- Applicant and contact information
- Copy of rezoning application
- Copy of letter of intent
- Site plan
- Vicinity map

REZONING APPLICAN'S LETTER OF INTENT

The Applicant and Owner , Florentina Fisteag requests a rezoning for the property located at Curtis Rd Lawrenceville, GA 30046

The property is currently zoned RM- 12 and the request is to rezone the property to R-60 to allow the development of 2 single family homes.

The character of these homes is in compliance with single family houses surrounding the property.

The homes will be a minimum square feet of 1,800 for a one story home. The exterior of the homes will be in general accordance with the summited elevation, homes will be 4 sides with brick with accents of cement siding /hardiplanc . Homes will be connected to Sewer System. Separate permits will be obtain from Gwinnett County.

Variances to allow the two single family residential structures subject to the following:

- 1. Variance from the Zoning Ordinance ,Article 1 section 102.4 Subsection B. Lot Development Standards. minimum development size requirements, allows the percent reduction of the minimum development size requirement from ten acres to 0.45 acres.
- 2. Variance from the Zoning Ordinance ,Article 1 section 102.4 Subsection B. Lot Development Standards. Lot width, allows the reduction the minimum lot width from sixty feet to fifty feet.

This will increase the value of the area and by allowing others to see new infrastructure being build and it will be a great represent for the neighborhood around and for the City of Lawrenceville.

I, the applicant , respectfully request your approval of this application.  
Thank you !

Respectfully submitted,

*Florentina F.*  
5/1/2024  
Florentina Fisteag

**Curtis Road Rezoning**

**Tax Parcel No. 5145 013C**

All that tract of parcel of land lying and being in Land Lot 145 of the 5<sup>th</sup> Land District, Gwinnett County, Georgia, and being more particularly described as follows;

To find the point of beginning, commence at the centerline intersection of Curtis Road and Downing Street; THENCE traveling South 64 Degrees 16 Minutes 52 Seconds East for a distance of 16.66 feet to a point on the easterly right of way of Curtis Road (right of way varies), said point marked by a 1/2 inch rebar pin found, said point being THE TRUE POINT OF BEGINNING.

THENCE from said point as thus established, traveling on said easterly right of way North 03 Degrees 30 Minutes 05 Seconds East for a distance of 100.02 feet to a point, said point marked by a 1/2 inch rebar pin set; THENCE leaving said right of way South 87 Degrees 24 Minutes 26 Seconds East for a distance of 184.29 feet to a point, said point marked by a 1/2 inch rebar pin found; THENCE South 02 Degrees 37 Minutes 35 Seconds West for a distance of 99.94 feet to a point, said point marked by a 1/2 inch rebar pin found; THENCE North 87 Degrees 25 Minutes 42 Seconds West for a distance of 185.81 feet to a point on the easterly right of way of Curtis Road (right of way varies), said point marked by a 1/2 inch rebar pin found, said point being THE TRUE POINT OF BEGINNING.

Said property contains 0.425 Acres.

RZR2024-00023  
RECEIVED: MAY 2, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

**UTILITY NOTE:**  
 UTILITY LINES TRAVERSING PROPERTY MAY CONTAIN AN EASEMENT. NO RECORD OF EASEMENT WAS FOUND, HOWEVER, THE CLIENT IS ADVISED TO CONTACT THE UTILITY COMPANY IF WORK IS PLANNED IN THIS AREA.

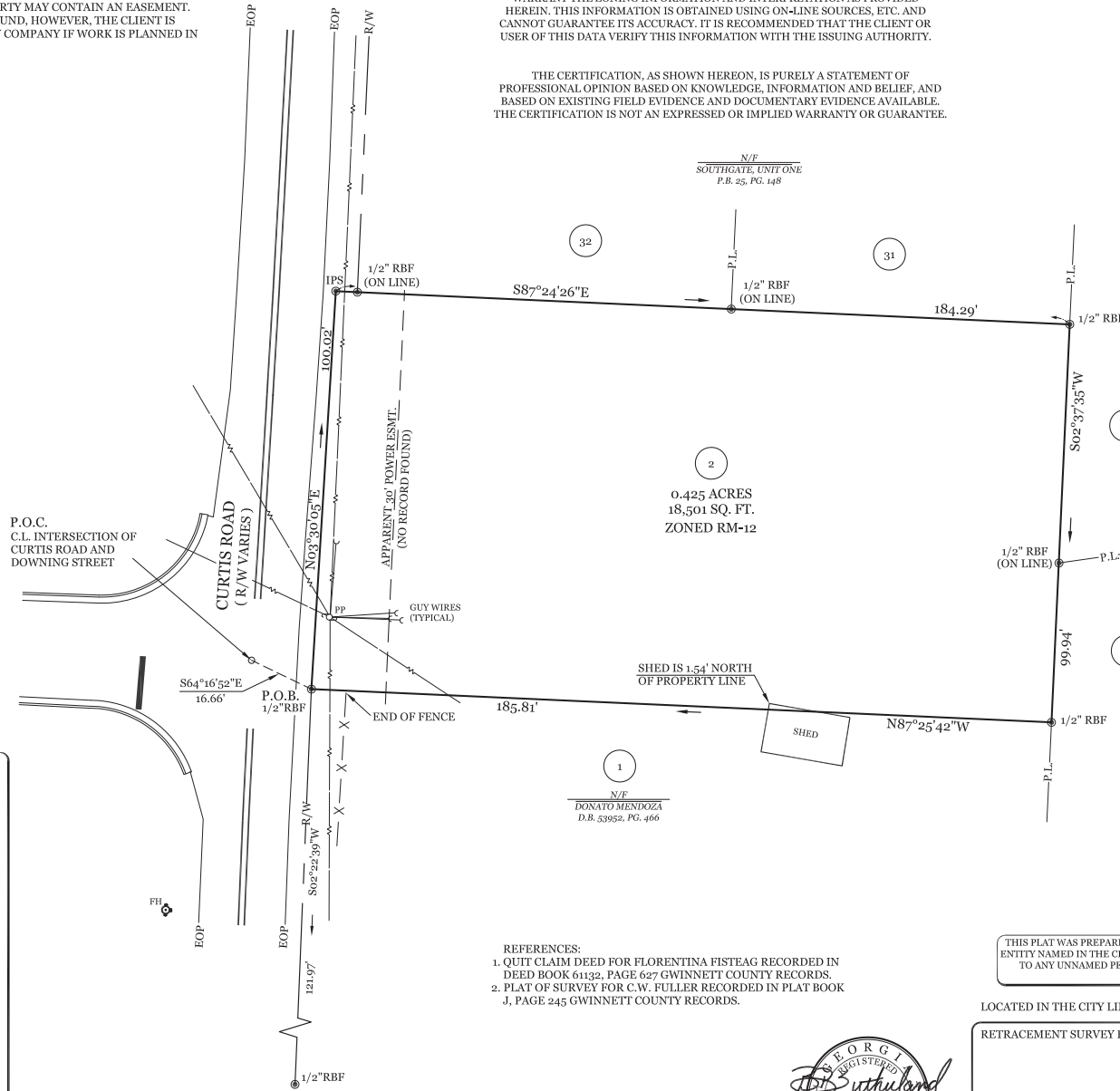
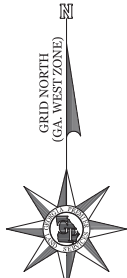
GEORGIA PREMIER LAND SERVICES, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

THE CERTIFICATION, AS SHOWN HEREON, IS PURELY A STATEMENT OF PROFESSIONAL OPINION BASED ON KNOWLEDGE, INFORMATION AND BELIEF, AND BASED ON EXISTING FIELD EVIDENCE AND DOCUMENTARY EVIDENCE AVAILABLE. THE CERTIFICATION IS NOT AN EXPRESSED OR IMPLIED WARRANTY OR GUARANTEE.

A TRIMBLE S-7 TOTAL STATION WAS USED TO OBTAIN THE LINEAR AND ANGULAR MEASUREMENTS USED IN THE PREPARATION OF THIS PLAT.

THE FIELD DATA UPON WHICH THIS MAP OR PLAT IS BASED HAS A CLOSURE PRECISION OF ONE FOOT IN 15,339 FEET AND AN ANGULAR ERROR OF 12" PER ANGLE POINT, AND WAS ADJUSTED USING THE LEAST SQUARES METHOD.

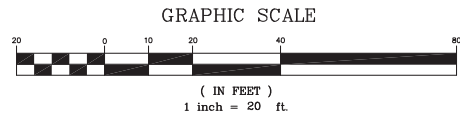
THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 75,692 FEET AND CONTAINS 0.425 ACRES.



**LEGEND**

RBF	REBAR FOUND
NI	NAIL FOUND
IPS	IRON PINS SET (1/2" REBAR)
CMF	CONCRETE FOUND
OTF	OPEN TOP PIPE
TM	TRIM MARK
CTP	CRACK TOP PIPE
C/O	COURT ORDER CLEAN OUT
ICV	IRIGATION CONTROL VALVE
DI	DRILL HOLE
LL	LAND LOT
PL	PROPERTY LINE
CL	CONCRETE LINE
BN	BELLING SURFACE LINE
R/W	RIGHT-OF-WAY
SB	SEWER BOWER EASEMENT
DE	DRAINAGE EASEMENT
CE	CURB EJECTER
BC	BACK OF CURB
EP	EDGE OF PAVEMENT
TC	TOP OF CURB
GA	GEORGIA METERS DISTRICT
PR/P	PLAY BOOK / PAGE
DR	DEED BOOK / PAGE
PVC	POINT OF BEGINNING
ELEV	ELEVATION
IE	INVERT ELEVATION
FPE	FINISHED FLOOR ELEVATION
BFE	BASEMENT FLOOR ELEVATION
GFE	GARAGE FLOOR ELEVATION
CRP	CONCRETE REBAR PIPE
BCP	REINFORCED CONCRETE PIPE
ICP	IRIGATION CONCRETE PIPE
PVC	POLYETHYLENE GLYCOLIDE PIPE
VCP	VERTICAL CLAY PIPE
LP	LIGHT POLE
UP	UTILITY POLE OR UTILITY POLE
MH	MANHOLE
CB	CATCH BASIN
JB	JUNCTION BOX
RI	RIGIDWELL
DI	DROP INLET
GI	GRATE INLET
WI	WATER INLET
WM	WATER METER
CV	CURB VALVE
EG	EXISTING GROUND ELEVATION
PS	POSTHOLE SET
CE	EXISTING CENTER ELEVATION
TE	UNDERGROUND TELEPHONE
PO	POWERLINE
TE	UNDERGROUND TELEPHONE LINE
TL	TELEPHONE LINE
UG	UNDERGROUND GAS LINE
UG	UNDERGROUND GAS LINE
UG	UNDERGROUND CABLE TV LINE
SM	SANITARY SEWER LINE
SW	STORM SEWER PIPE
WL	WATER LINE / PIPE
FL	FENCE LINE
BL	BRANCH / CREEK / STREAM CENTERLINE
FZ	FLOOD HAZARD ZONE LIMITS
PT	POST TREE
HT	HARDWOOD TREE
LA	LANDMARK
ST	STATION
FM	FORMERLY
BM	BENCH MARK
CP	CONTROL POINT

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE. SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES WERE PROVIDED BY GEORGIA PREMIER LAND SERVICES, INC. AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.



- REFERENCES:**
- QUIT CLAIM DEED FOR FLORENTINA FISTEAG RECORDED IN DEED BOOK 61132, PAGE 627 GWINNETT COUNTY RECORDS.
  - PLAT OF SURVEY FOR C.W. FULLER RECORDED IN PLAT BOOK J, PAGE 245 GWINNETT COUNTY RECORDS.



THIS PLAT WAS PREPARED FOR THE EXCLUSIVE USE OF THE PERSON, PERSONS, OR ENTITY NAMED IN THE CERTIFICATE HEREON. SAID CERTIFICATE DOES NOT EXTEND TO ANY UNNAMED PERSON WITHOUT AN EXPRESS RECERTIFICATION BY THE SURVEYOR NAMING SAID PERSON.

LOCATED IN THE CITY LIMITS OF LAWRENCEVILLE

RETRACEMENT SURVEY FOR:

FLORENTINA FISTEAG

CURTIS ROAD  
 PARCEL NO. 5145 013C

**GEORGIA PREMIER**  
**LAND SERVICES, INC.**  
 PROFESSIONAL LAND SURVEYING

3010 HAMILTON MILL ROAD  
 BUFORD, GEORGIA 30519  
 (770) 614-5004 FAX (770) 614-5956  
 LAND SURVEY FIRM COA #117

Date: 04.29.2024	Land Lot: 145	District: 5th
County: GWINNETT, GEORGIA	Scale: 1" = 20'	
Project: 24097	Drawn By: AS	

2024-00023 RECEIVED: MAY 2, 2024 PLANNING AND DEVELOPMENT DEPARTMENT

UTILITY NOTE:

UTILITY LINES TRaversing PROPERTY MAY CONTAIN AN EASEMENT. NO RECORD OF EASEMENT WAS FOUND, HOWEVER, THE CLIENT IS ADVISED TO CONTACT THE UTILITY COMPANY IF WORK IS PLANNED IN THIS AREA.

GEORGIA PREMIER LAND SERVICES, INC. IS NOT RESPONSIBLE FOR AND DOES NOT WARRANT THE ZONING INFORMATION AND INTERPRETATION AS PROVIDED HEREIN. THIS INFORMATION IS OBTAINED USING ON-LINE SOURCES, ETC. AND CANNOT GUARANTEE ITS ACCURACY. IT IS RECOMMENDED THAT THE CLIENT OR USER OF THIS DATA VERIFY THIS INFORMATION WITH THE ISSUING AUTHORITY.

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THIS MAP OR PLAT HAS BEEN CALCULATED FOR CLOSURE AND IS FOUND TO BE ACCURATE WITHIN ONE FOOT IN 75,692 FEET AND CONTAINS 0.425 ACRES.

NO PORTION OF SUBJECT PROPERTY LIES WITHIN A DESIGNATED 100 YEAR FLOOD HAZARD AREA AS DEPICTED BY SCALED MAP LOCATION AND GRAPHIC PLOTTING ONLY MAP F.I.R.M. PANEL NO. 13135C0073F, DATED SEPTEMBER 29, 2006.



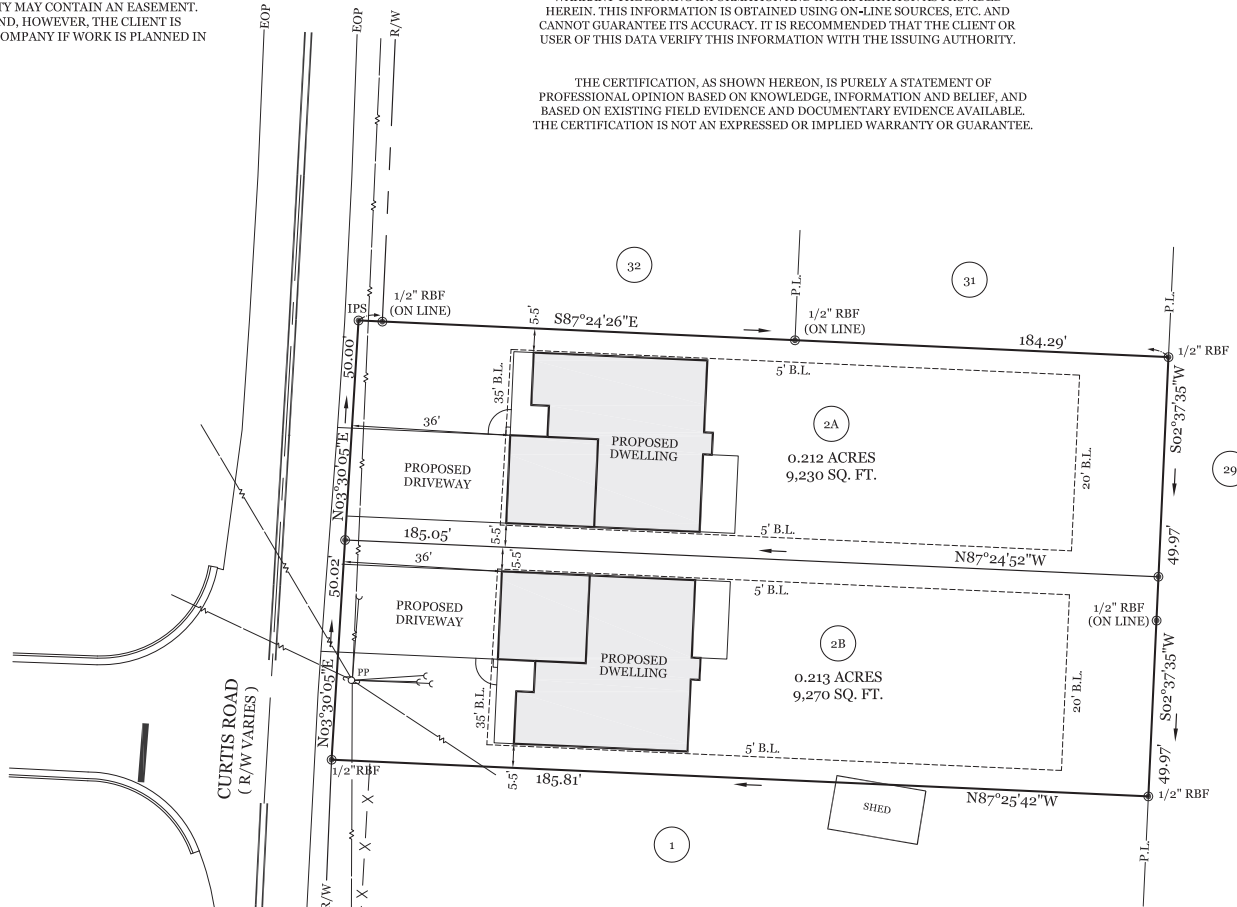
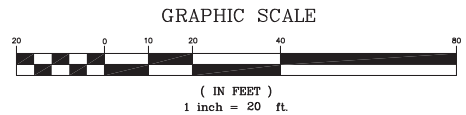
CURRENT ZONING - RM-12  
PROPOSED ZONING - R-60  
PROPOSED DENSITY - 0.213 UNITS / ACRE  
MAXIMUM BUILDING HEIGHT - 35'

LEGEND

Table with 2 columns: Symbol and Description. Includes symbols for RBF, NL, IPS, PP, CMF, etc., and their corresponding descriptions like REBAR FOUND, NAIL FOUND, IRON PIPE SET, etc.

- REFERENCES:
1. QUIT CLAIM DEED FOR CE SMITH FAMILY, LLLP RECORDED IN DEED BOOK 58177, PAGES 580-581 GWINNETT COUNTY RECORDS.
2. PLAT OF SURVEY FOR C.W. FULLER RECORDED IN PLAT BOOK J, PAGE 245 GWINNETT COUNTY RECORDS.

THIS SURVEY WAS PREPARED WITHOUT THE BENEFIT OF AN ABSTRACT OF TITLE, SUBJECT AND ADJACENT PROPERTY OWNER'S DEED REFERENCES WERE PROVIDED BY GEORGIA PREMIER LAND SERVICES, INC. AND ARE NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS.



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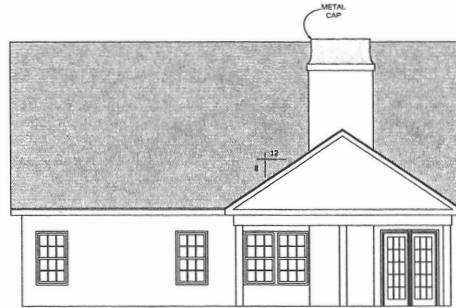
LOCATED IN THE CITY LIMITS OF LAWRENCEVILLE

REZONING PLAT FOR:
FLORENTINA FISTEAG
CURTIS ROAD
PARCEL NO. 5145 013C
GEORGIA PREMIER LAND SERVICES, INC.
PROFESSIONAL LAND SURVEYING
3010 HAMILTON MILL ROAD
BUFORD, GEORGIA 30519
(770) 614-2004 FAX (770) 614-3955
LAND SURVEY FIRM CO# 21177

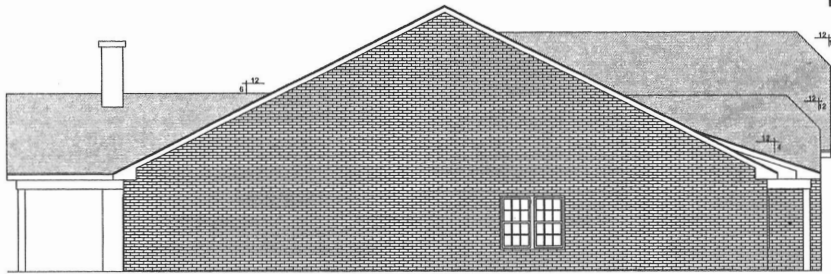


Table with 4 columns: No., By, Date, Revision. Includes project details: ACAD FILE: 24/24097/CurtisRoad/097Rezone.DWG, Date: 04.29.2024, Land Lot: 145, District: 5th, County: GWINNETT, GEORGIA, Project: 24097, Scale: 1\"/>

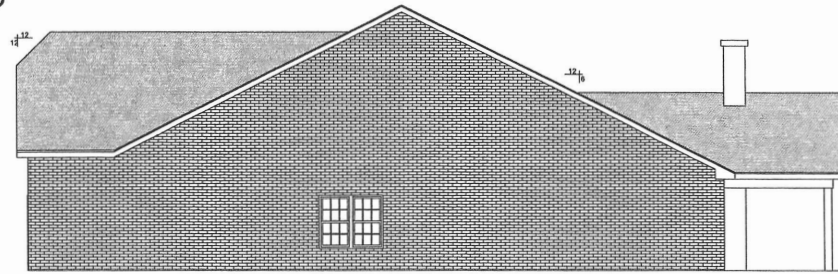
2024-00023 RECEIVED: MAY 2, 2024 PLANNING AND DEVELOPMENT DEPARTMENT



**REAR ELEVATION**  
1/8"---1'-0"



**LEFT ELEVATION**  
1/8"---1'-0"



**RIGHT ELEVATION**  
1/8"---1'-0"



**FRONT ELEVATION**  
1/4"---1'-0"

REV.

DATE

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HOMES, LLC.**  
TEL: 770.616.0141  
WWW.WEPLANHOMES.COM

**THE CRAPE MYRTLE  
ELEVATIONS-B**

DWG. BY:  
PWL/SAM

DATE:  
4-29-24

SHEET:

1

RZR2024-00023  
RECEIVED: MAY 6, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT








# LAWRENCEVILLE

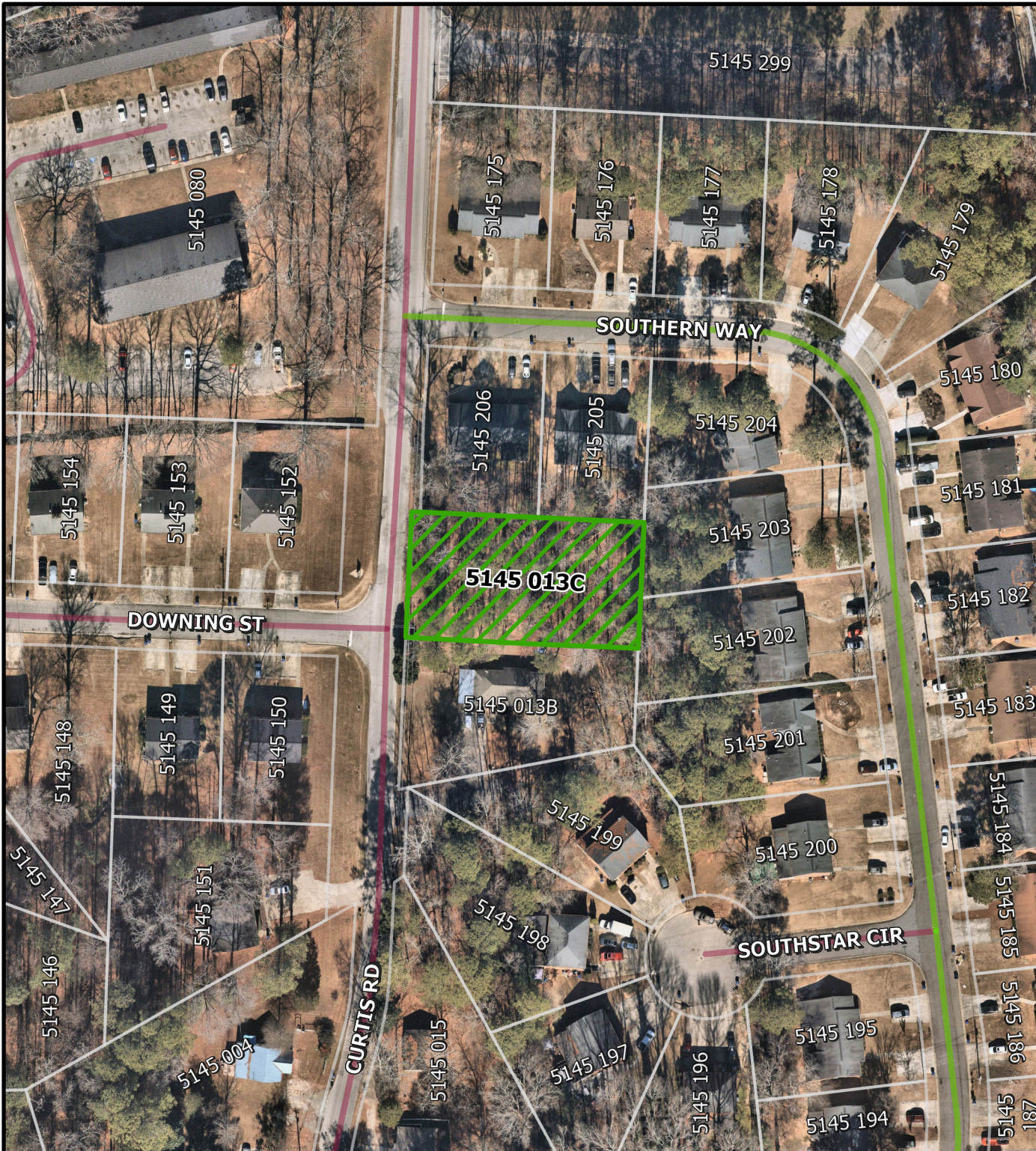
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZR2024-00023**

**Applicant: Florentina Fisteag**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets



0 62.5 125








# LAWRENCEVILLE

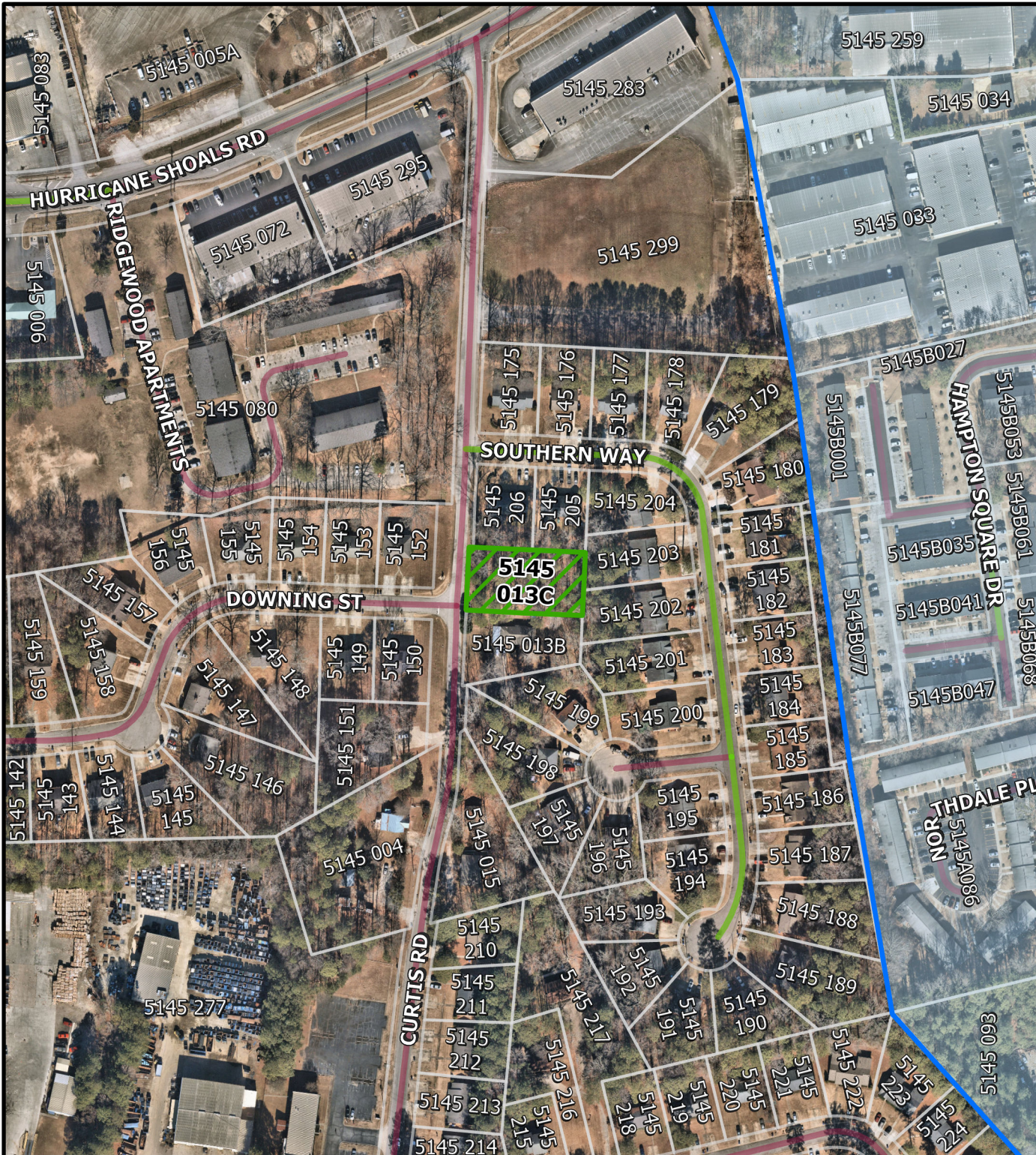
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZR2024-00023**

**Applicant: Florentina Fisteag**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
-  Downtown Development Authority Boundary



0 125 250




# LAWRENCEVILLE

GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZR2024-00023**

**Applicant: Florentina Fisteag**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- Zoning Districts**
-  BG General Business
-  LM Light Manufacturing
-  HM Heavy Manufacturing
-  RM-12 Multifamily Residential



0 62.5 125



# LAWRENCEVILLE

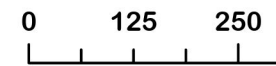
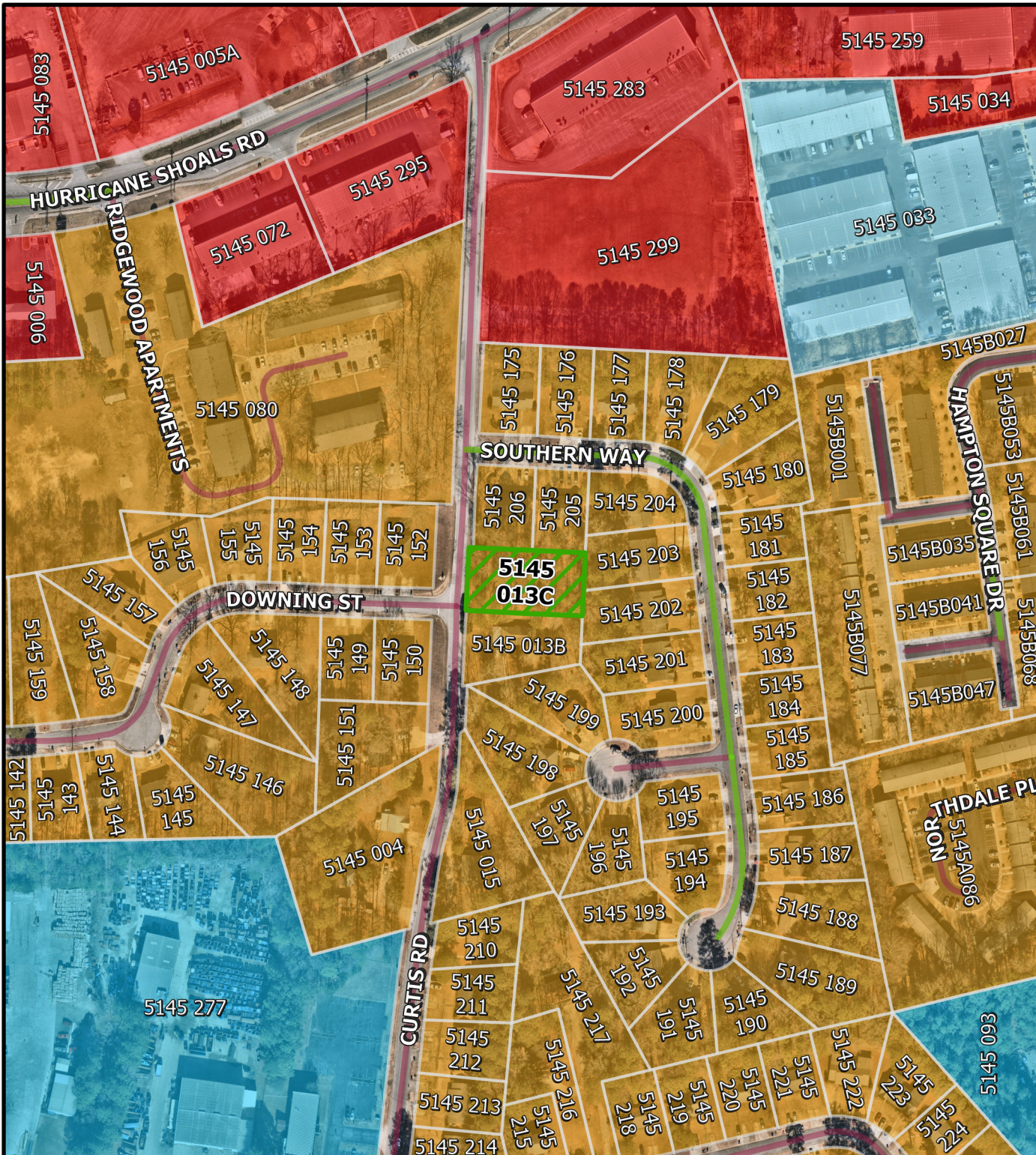
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZR2024-00023**

**Applicant: Florentina Fisteag**

-  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
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# LAWRENCEVILLE

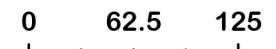
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # RZR2024-00023**

**Applicant: Florentina Fisteag**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Downtown
-  Community Mixed Use





# LAWRENCEVILLE

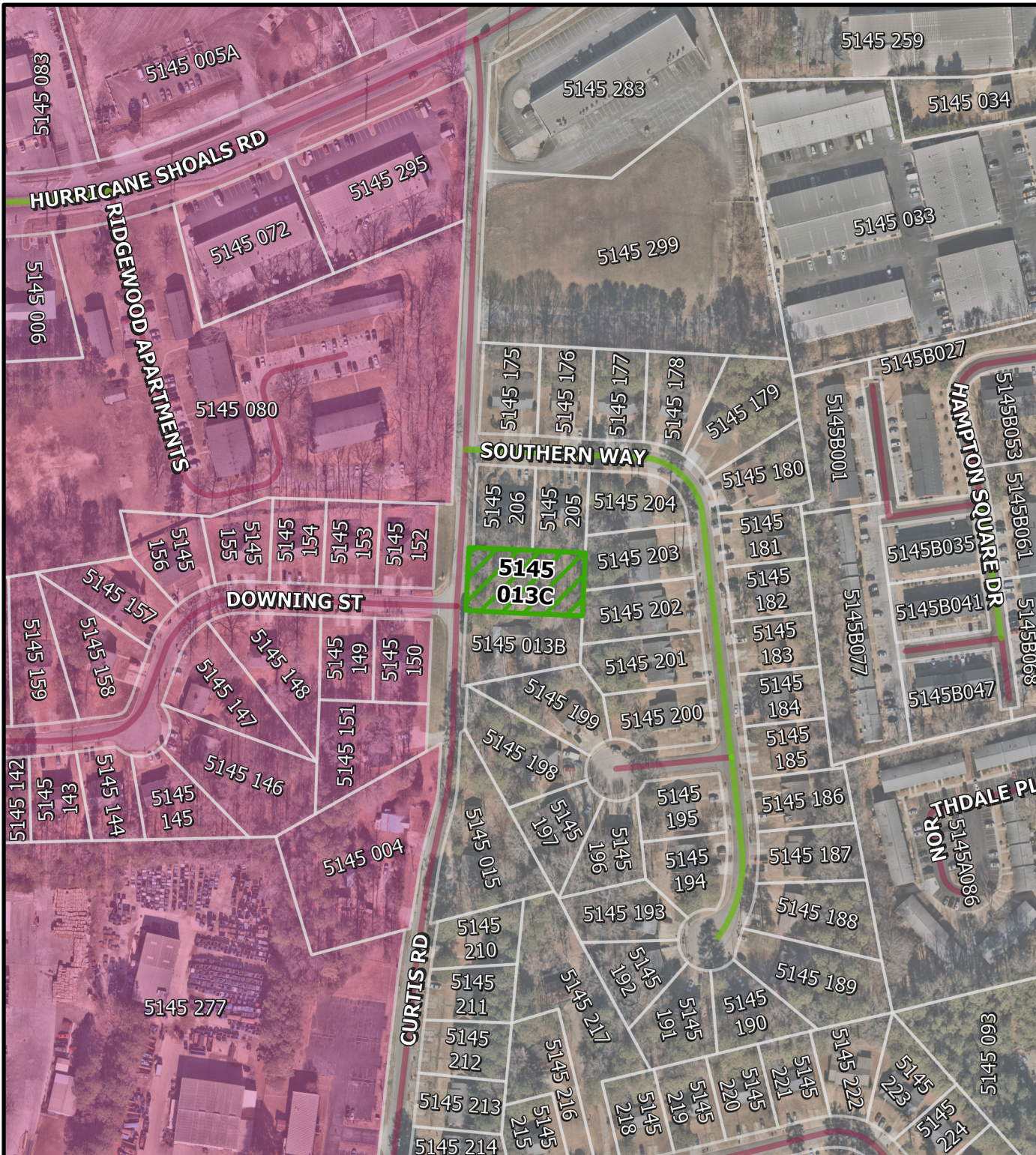
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

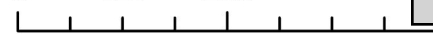
**File # RZR2024-00023**

**Applicant: Florentina Fisteag**

-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Downtown
-  Community Mixed Use



0 125 250





# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

**Item:** SUP2024-00091; Mushtaq Pasha; 860 Collins Hill Road  
**Department:** Planning and Development  
**Date of Meeting:** Monday, July 1, 2024  
**Applicant Request:** Allow a Place of Worship in a property zoned LM (Light Manufacturing District)  
**Presented By:** Todd Hargrave, Director of Planning and Development  
**Department Recommendation:** **Approval with Conditions**

---

**Summary:** The applicant requests a Special Use Permit to allow a Place of Worship in a property zoned LM (Light Manufacturing District) at 860 Collins Hill Road. The subject property is approximately 0.63 acres, located on the southeastern right-of-way of Collins Hill Road south of its intersection with Collins Industrial Way. According to the Gwinnett County tax assessor, the property is currently being used as a Medical Office.

**Attachments/Exhibits:**

- SUP2024-00091\_Report
- SUP2024-00091\_P&D Recommended Conditions
- SUP2024-00091\_Application
- SUP2024-00091\_Letter of Intent
- SUP2024-00091\_Legal Description
- SUP2024-00091\_As-Built Survey
- SUP2024-00091\_Existing Floor Plan
- SUP2024-00091\_Aerial Map – Zoomed In (1:2,750)
- SUP2024-00091\_Aerial Map – Zoomed Out (1:5,500)
- SUP2024-00091\_Zoning Map – Zoomed In (1:2,750)

- SUP2024-00091\_ Zoning Map – Zoomed Out (1:5,500)
- SUP2024-00091\_ Character Areas Map – Zoomed In (1:2,750)
- SUP2024-00091\_ Character Areas Map – Zoomed Out (1:5,500)



# LAWRENCEVILLE

*Planning & Development*

## SPECIAL USE PERMIT

**CASE NUMBER:** SUP2024-00091

**APPLICANT / CONTACT:** MUSHTAQ PASHA

**OWNER:** GKA PROPERTIES LLC

**LOCATION(S):** 860 COLLINS HILL ROAD

**PARCEL ID(S):** R7010 063

**APPROXIMATE ACREAGE:** 0.63 ACRES

**CURRENT ZONING:** LM (LIGHT MANUFACTURING DISTRICT)

**ZONING PROPOSAL:** TO ALLOW A PLACE OF WORSHIP

**PROPOSED DEVELOPMENT:** PLACE OF WORSHIP

**DEPARTMENT RECOMMENDATION:** APPROVAL WITH CONDITIONS

**VICINITY MAP**







# LAWRENCEVILLE

## Planning & Development

### ZONING AND DEVELOPMENT STANDARDS

The existing structure on the site was built in 1990, consisting of 6,000 square feet of office space with its associated landscaping, parking, and driveways.

#### Article 1 Districts, Section 103.2 Use Table

<b>Standard</b>	<b>Requirement</b>	<b>Proposal</b>	<b>Recommendation</b>
<b>Place of Worship</b>	<i>Special Use Permit</i>	<i>Special Use Permit</i>	<i>Approval w/ Conditions</i>

The landscaping is existing nonconforming and should therefore be brought into compliance with the 2020 Zoning Ordinance. Additionally, the parking lot is in need of repaving to bring it up to the city’s property maintenance standards, as described in Chapter 10 of the Code of Ordinances and well as Article 5 of the Zoning Ordinance. The property’s forty-six (46) existing parking spaces is sufficient to accommodate up to 184 seats, according to the minimum parking and loading requirements of Article 5 – Parking, which one parking space per four seats in a Place of Religious Worship.

As a condition for approval, the Planning & Development department recommends that the existing parking lot shall be repaired and properly maintained, and the landscaping shall be brought up to the standards of the 2020 Zoning Ordinance.

### SURROUNDING ZONING AND USE

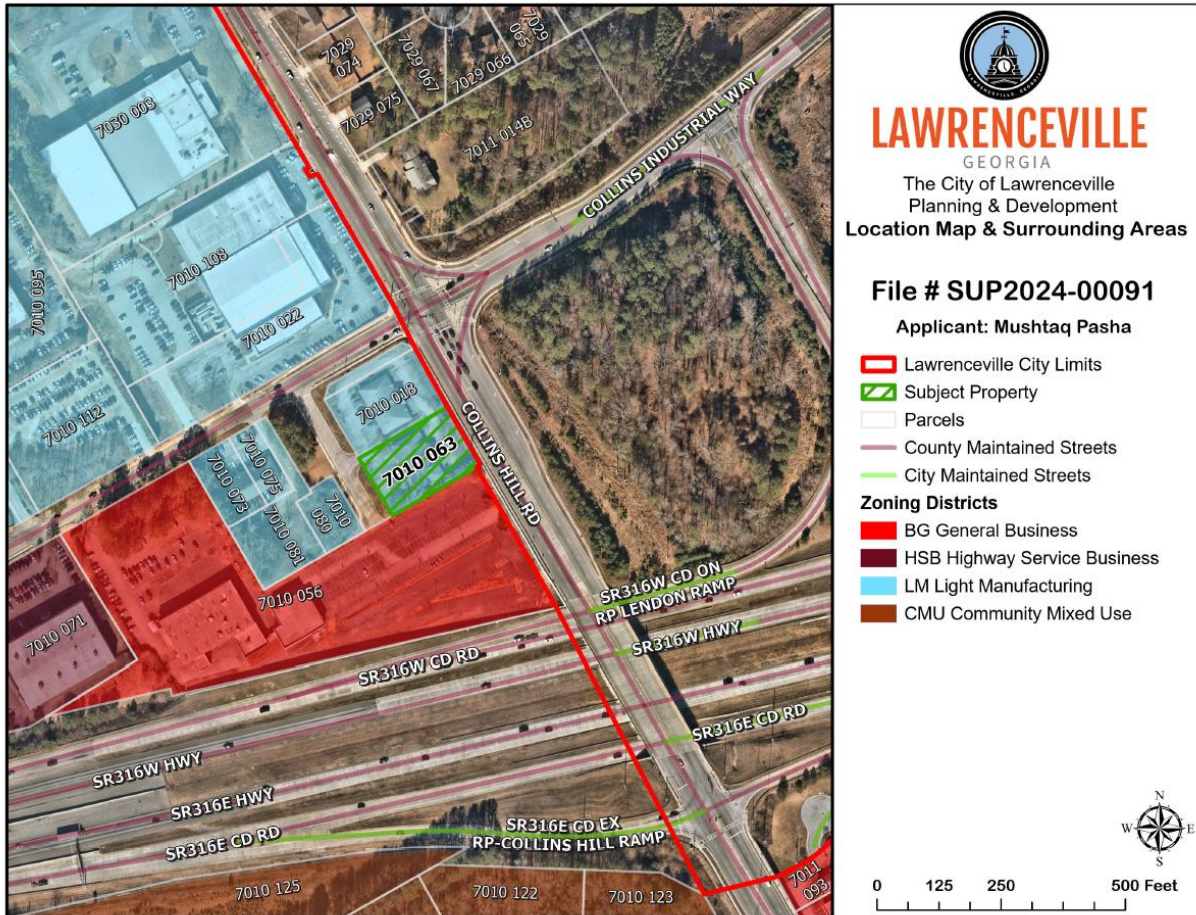
The surrounding area consists primarily of office and commercial uses and zoning districts. The parcels immediately surrounding the subject property to the north and west are all used as offices and are zoned LM, the same zoning district as the subject property. The property located immediately to the south of the subject property is zoned BG (General Business District) and is used as an auto dealer. The properties across the right-of-way of Collins Industrial Way are also zoned LM and are used for classroom/office space for Georgia Gwinnett College. Overall, the proposed request to use the property for a Place of Worship is consistent with the uses surrounding the subject property, which are primarily institutional in nature.



# LAWRENCEVILLE

## Planning & Development

### CITY OF LAWRENCEVILLE OFFICIAL ZONING MAP



### 2045 COMPREHENSIVE PLAN

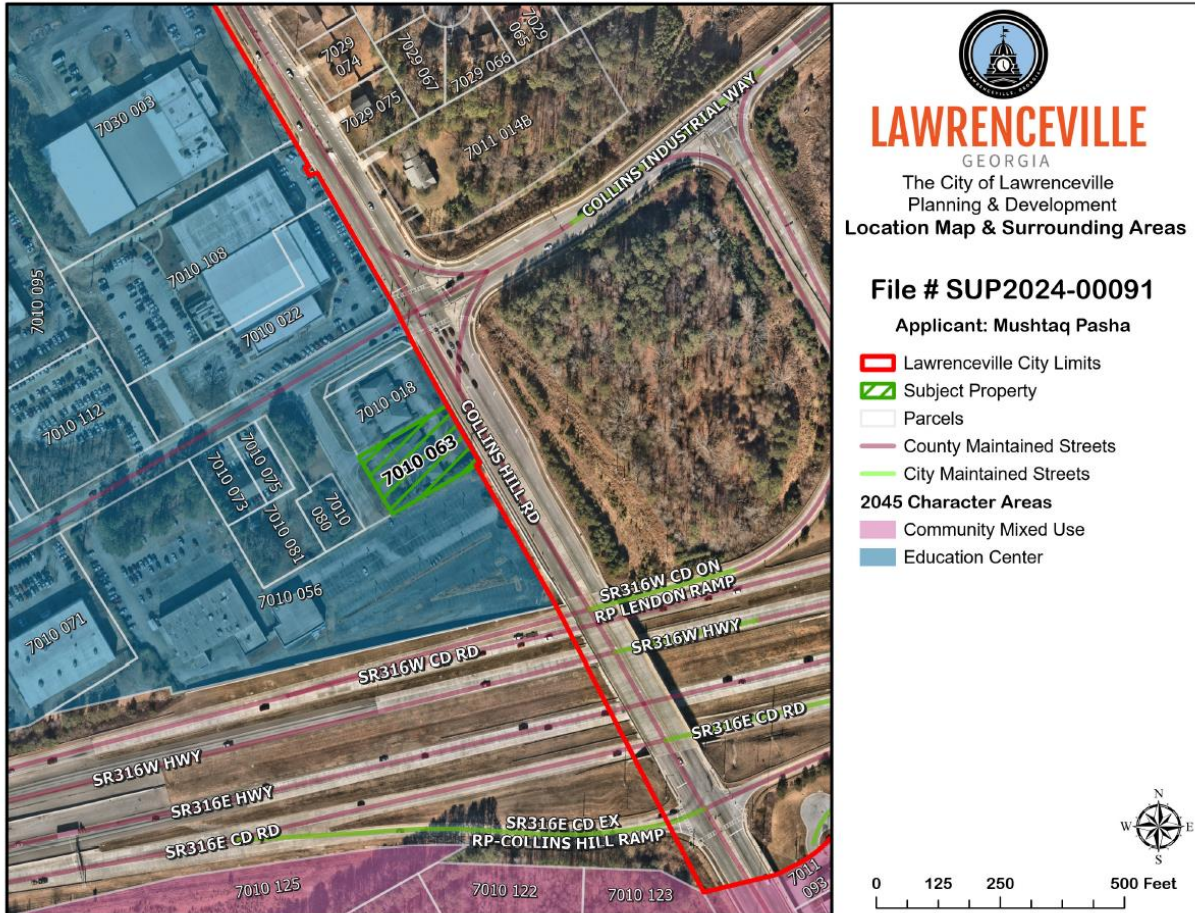
The City of Lawrenceville 2045 Comprehensive Plan and Future Development Map indicate the subject property is located within the Education Center character area. The Education Corridor character area leverages Lawrenceville’s educational assets to create a vibrant, knowledge-driven district. With a strong educational and medical infrastructure, this area integrates housing, retail, office spaces, and green areas to support academic and community growth. The proposed use for the property as a Place of Worship would not be inconsistent with the goals of the 2045 Comprehensive Plan.



# LAWRENCEVILLE

## Planning & Development

### LAWRENCEVILLE 2045 COMPREHENSIVE PLAN - FUTURE LAND USE PLAN MAP



### STAFF RECOMMENDATION

In conclusion, the proposed use for the site as a Place of Worship is consistent with the existing uses and zoning districts in the immediate area. Furthermore, the proposal aligns with the city’s long term vision for the area as described in its 2045 Comprehensive Plan. As such, the Planning and Development Department recommends **APPROVAL WITH CONDITIONS** for the proposed rezoning.



# LAWRENCEVILLE

## *Planning & Development*

### **CITY OF LAWRENCEVILLE DEPARTMENT COMMENTS:**

#### **ENGINEERING DEPARTMENT**

No comment

#### **PUBLIC WORKS**

No comment

#### **ELECTRIC DEPARTMENT**

No comment

#### **GAS DEPARTMENT**

No comment

#### **DAMAGE PREVENTION DEPARTMENT**

No comment

#### **CODE ENFORCEMENT**

No comment

#### **STREET AND SANITATION DEPARTMENT**

No comment



# LAWRENCEVILLE

## Planning & Development

### STATE CODE 36-67-3 (FMR.) REVIEW STANDARDS:

- 1. Access into and out of the property with regard to traffic and pedestrian safety, volume of traffic flow, and emergency vehicles, as well as the type of street providing access;**

*Yes; the existing structure was built to commercial standards, with sufficient parking and access provided.*

- 2. The extent to which refuse areas, loading and service areas, off street parking, and buffers and screening are provided on the property;**

*Yes; on-site facilities are generally sufficient. However, additional maintenance may be necessary for the parking lot and the landscaping.*

- 3. Ensuring that the special use will not be injurious to the use and enjoyment of the environment or of other property in the immediate vicinity or diminish and impair property values within the surrounding neighborhood;**

*No; Places of Worship are not a noxious use and they do not produce any more of a nuisance to the surrounding area than other office-based uses.*

- 4. Ensuring that the special use will not impede the normal and orderly development of surrounding property for uses predominant in the area;**

*No; the proposed use for the property as a Place of Worship is consistent with the uses surrounding the property, which are predominantly commercial and institutional in nature.*

- 5. Ensuring that the location and character of the special use is considered to be consistent with a desirable pattern of development for the city, in general;**

*Based on the City's 2045 Comprehensive Plan, the subject property is within the Education Center character area. The Education Center character area consists of many institutional uses, of which a Place of Worship falls within.*



# LAWRENCEVILLE

## *Planning & Development*

- 6. Ensuring that the special use is appropriately separated from similar uses and conflicting uses, such as residences, government buildings, parks, churches, or schools;**

*As established, a Place of Worship is not a noxious use and does not require separation from existing uses such as residences, government buildings, parks, churches, or schools.*

**PLANNING COMMISSION**

**RECOMMENDED CONDITIONS\_06182024**

**SUP2024-00091**

Approval of a Special Use Permit for a Place of Worship in an LM (Light Manufacturing) zoning district, subject to the following enumerated conditions:

- 1. To restrict the use of the property as follows:**
  - A.** Light Industrial uses, which may include a Place of Worship as a special use.
  - B.** No tents, canopies, temporary banners, streamers or roping decorated with flags, tinsel, or other similar material shall be displayed, hung, or strung on the site. No decorative or hot-air balloons shall be displayed on the site. Yard and/or bandit signs, sign-twirlers or sign walkers shall be prohibited.
  - C.** Lighting shall be contained in cut-off type luminaries and shall be directed in toward the property so as not to shine directly into adjacent properties or rights-of-way.
  - D.** Peddlers and/or any parking lot sales unrelated to the Special Use shall be prohibited.
  - E.** Outdoor storage shall be prohibited.
  
- 2. To satisfy the following site development considerations:**
  - A.** Dumpsters shall be screened by solid masonry walls matching the building, with an opaque metal gate enclosure.
  - B.** The owner shall repaint or repair any graffiti or vandalism that occurs on the property within 72 hours.
  - C.** The property’s parking lot shall be brought into a state of good repair and maintenance. This includes cleaning out runoff that has built up, repairing cracks that have formed, and restriping the parking bays.
  - D.** The property’s landscaping shall be replanted and consistently maintained so that patches of bare dirt and soil are minimized.
  - E.** Business must acquire a new Certificate of Occupancy within 90 days of approval from City Council or this Special Use Permit is void. The name of the business/tenant name shall be consistent across the Gwinnett Fire Marshall Certificate of Occupancy, City of Lawrenceville Certificate of Occupancy, and the City of Lawrenceville Occupational Tax Certificate.



# LAWRENCEVILLE GEORGIA

## SPECIAL USE PERMIT APPLICATION

APPLICANT INFORMATION	PROPERTY OWNER INFORMATION*
NAME: <u>MUHTAR PASHA</u>	NAME: <u>GKA Properties LLC</u>
ADDRESS: <u>2756 Old Peachtree Road</u>	ADDRESS: <u>PO Box 490550</u>
CITY: <u>Dacula GA</u>	CITY: <u>Lawrenceville</u>
STATE: <u>GA</u> ZIP: <u>30019</u>	STATE: <u>GA</u> ZIP: <u>30049</u>
PHONE: <u>706-461-2946</u>	PHONE: <u>770-962-5905</u>
CONTACT PERSON: <u>MUHTAR PASHA</u> PHONE: <u>706-461-2946</u>	
CONTACT'S E-MAIL: <u>MUHTARPASHA@HOTMAIL.COM</u>	
* If multiple property owners, each owner must file an application form or attach a list, however only one fee. Multiple projects with one owner, must file separate applications, with separate fees.	
ZONING DISTRICT(S): <u>7th</u>	ACREAGE: <u>0.6764</u>
PARCEL NUMBER(S): <u>R 7010063</u>	
ADDRESS OF PROPERTY: <u>860 Gollins Hill Road, Lawrenceville, GA 30043</u>	
PROPOSED SPECIAL USE: <u>Place of worship</u>	

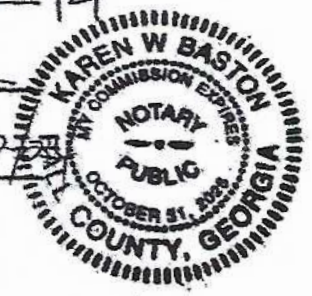
[Signature] 5/13/24  
 SIGNATURE OF APPLICANT DATE

[Signature] 5/2/24  
 SIGNATURE OF OWNER DATE



MUHTAR PASHA  
 TYPED OR PRINTED NAME  
5/13/24  
 DATE

Kathy Baston  
 TYPED OR PRINTED NAME  
5/02/24  
 DATE



25 Clayton St • PO Box 2200 • Lawrenceville, Georgia 30046-2200  
 770.963.2414 • www.lawrencevillega.org



SUP2024-00091  
 RECEIVED: MAY 3, 2024  
 PLANNING AND DEVELOPMENT DEPARTMENT



# LAWRENCEVILLE

## GEORGIA

### DISCLOSURE OF CAMPAIGN CONTRIBUTIONS

Have you, within the two years immediately preceding the filing of this application, made campaign contributions aggregating \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? N

Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)

Have you, within the two years immediately preceding the filing of this application, made gifts having in the aggregate a value of \$250.00 or more to the Mayor of the City of Lawrenceville, a member of the City Council, or to a member of the Planning Commission of the City of Lawrenceville? N

Y/N

If the answer is yes, please complete the following section:

NAME OF GOVERNMENT OFFICIAL	CONTRIBUTIONS (List all which aggregate to \$250 or more)	DATE CONTRIBUTION WAS MADE (Within last two years)

Attach additional sheets if necessary to disclose or describe all contributions/gifts.

SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT



# LAWRENCEVILLE

## GEORGIA

### VERIFICATION OF CURRENT PAID PROPERTY TAXES FOR SPECIAL USE PERMIT

THE UNDERSIGNED BELOW IS AUTHORIZED TO MAKE THIS APPLICATION. THE UNDERSIGNED CERTIFIES THAT ALL CITY OF LAWRENCEVILLE PROPERTY TAXES BILLED TO DATE FOR THE PARCEL LISTED BELOW HAVE BEEN PAID IN FULL TO THE CITY OF LAWRENCEVILLE, GEORGIA. IN NO CASE SHALL AN APPLICATION BE PROCESSED WITHOUT SUCH PROPERTY VERIFICATION.

\*Note: A SEPARATE VERIFICATION FORM MUST BE COMPLETED FOR EACH TAX PARCEL INCLUDED IN THE SPECIAL USE PERMIT REQUEST.

PARCEL I.D. NUMBER:  
(Map Reference Number)

7<sup>th</sup> - 10 - R 7010063  
District Land Lot Parcel

[Signature]  
Signature of Applicant

5/2/2024  
Date

MUSHOAR PASHA / purchaser  
Type or Print Name and Title

\*\*\*PLEASE TAKE THIS FORM TO THE TAX COMMISSIONER'S OFFICE AT THE GWINNETT JUSTICE AND ADMINISTRATION CENTER, 75 LANGLEY DRIVE, FOR THEIR APPROVAL BELOW.\*\*\*

### REVENUE TECHNICIAN'S USE ONLY

(PAYMENT OF ALL PROPERTY TAXES BILLED TO DATE FOR THE ABOVE REFERENCED PARCEL HAVE BEEN VERIFIED AS PAID CURRENT AND CONFIRMED BY THE SIGNATURE BELOW)

\_\_\_\_\_  
NAME TITLE  
\_\_\_\_\_  
DATE

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SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

Date: May 2nd, 2024

City of Lawrenceville,  
Gwinnett County

Re: Special Use Permit for the Property located at 860 COLLINS HILL ROAD  
Lawrenceville, GA 30043 ("Property")

TO WHOM IT MAY CONCERN:

Dear Commissioner:

This letter shall serve as a LETTER OF INTENT evidencing the desire of Mushtaq Pasha ("Buyer") to purchase the above referenced property and convert into a place of worship, the ("Property") from GKA PROPERTIES LLC ("Seller").

This is intended as a Letter of Intent to change the current zoning from OI to Place of worship. The Seller has granted permission to apply for the Special Use Permit "SUP" on the application form.

Sincerely,



Buyer: Mushtaq Pasha

SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

**EXHIBIT "A"**  
**LEGAL DESCRIPTION**

TRACT ONE:

ALL THAT TRACT OR PARCEL OF LAND lying and being in Land Lot 10 of the 7<sup>th</sup> District of Gwinnett County, City of Lawrenceville, Georgia, and being designated as Tract 2 containing 0.43 acres according to a survey for Collins Hill Professional Center, City of Lawrenceville, dated April 18, 1999 and prepared by Ringo Abernathy & Associates, more particularly described as follows:

To find the TRUE POINT OF BEGINNING, commence at an iron pin found located at the intersection of the southwesterly right-of-way line of Collins Hill Road (80 foot right-of-way) and the southeasterly right-of-way line of Collins Industrial Way (60 foot right-of-way); run thence along the southeasterly right-of-way line of Collins Industrial Way South 58 degrees 41 minutes 59 seconds West a distance of 218.40 feet to a point marked by an iron pin set; leaving said right-of-way line run thence South 31 degrees 18 minutes 00 seconds East a distance of 167.0 feet to a point marked by an iron pin set, said point being the TRUE POINT OF BEGINNING; run thence South 31 degrees 18 minutes 00 seconds East a distance of 132.09 feet to a point marked by an iron pin set; run thence South 58 degrees 55 minutes 00 seconds West a distance of 145.78 feet to a point marked by an iron pin set; run thence North 31 degrees 40 minutes 22 seconds West a distance of 120.54 feet to a point marked by an iron pin set; run thence North 58 degrees 42 minutes 00 seconds East a distance of 35.0 feet to a point marked by an iron pin set; run thence North 31 degrees 18 minutes 00 seconds West a distance of 11.0 feet to a point marked by an iron pin set; run thence North 58 degrees 42 minutes 00 seconds East a distance of 111.57 feet to a point marked by an iron pin set, said point being the TRUE POINT OF BEGINNING.

**TOGETHER WITH**

TRACT TWO:

All that tract or parcel of land lying and being in Land Lot 10 of the 7<sup>th</sup> District of Gwinnett County, Georgia, and lying within the city limited of Lawrenceville, Georgia, more particularly described as follows:

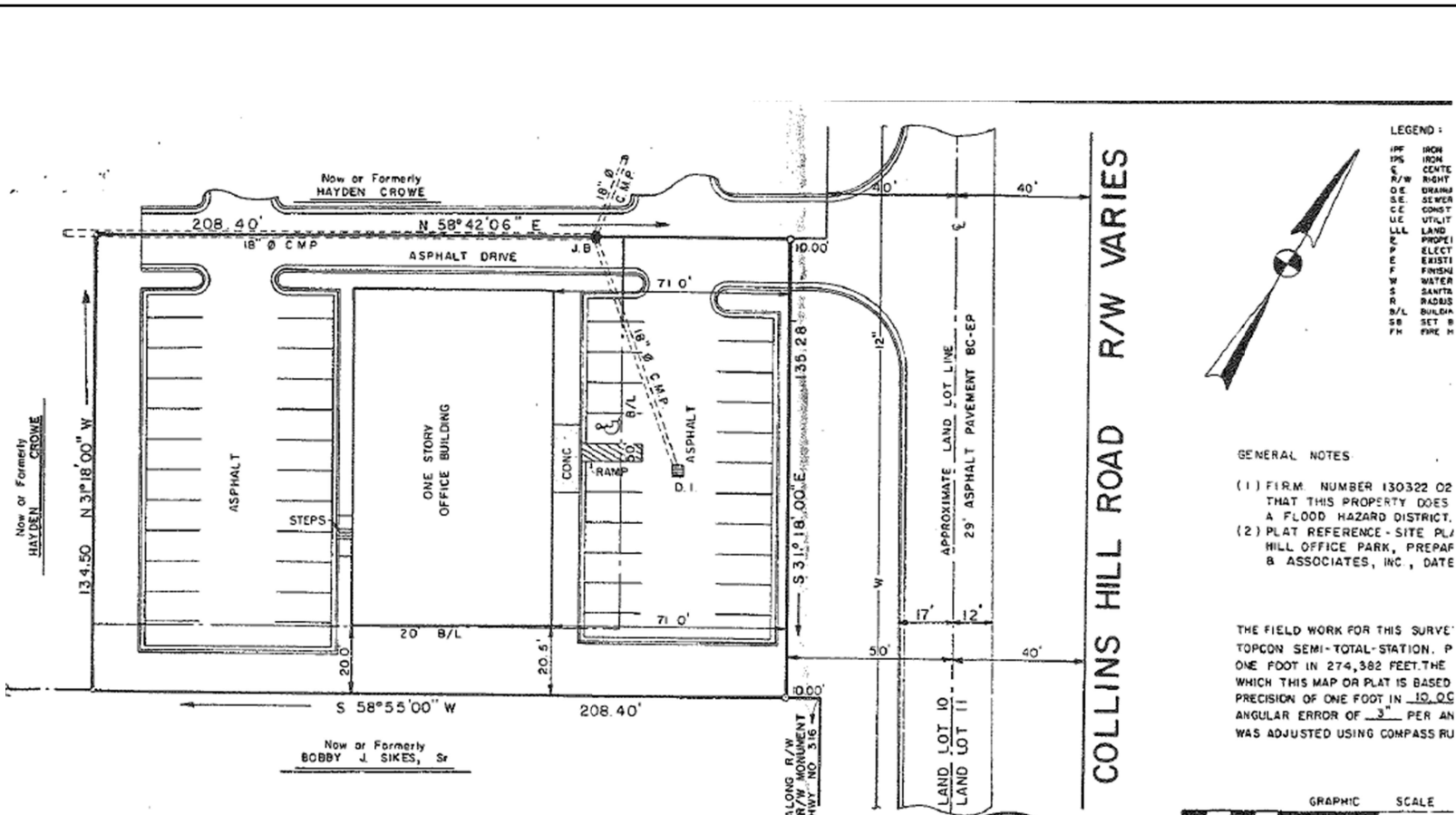
BEGINNING at the intersection formed by the southerly 80 foot right of way of Collins Hill Road and the northwesterly right of way of Georgia Highway 316; thence proceeding northwesterly along said right of way of Collins Hill Road 333.60 feet to a point which point represents the TRUE POINT OF BEGINNING; thence proceeding south 58 degrees 55 minutes 00 seconds west 218.40 feet to a point; thence proceeding north 31 degrees 18 minutes 00 seconds west 134.50 feet to a point; thence proceeding north 58 degrees 42 minutes 05 east 218.40 feet to a point on the southerly 80 foot right of way of Collins Hill Road; thence proceeding south 31 degrees 18 minutes 00 seconds east along said right of way 135.32 feet to a point which represents the TRUE POINT OF BEGINNING.

The hereinabove described tract encloses 0.6764 acres and is shown as Tract 1, Building 1 on a plat prepared by Horlbeck & Associates, Inc. for Macor Properties, Inc. dated March 8, 1990.

Less and except any of the above property conveyed pursuant to those certain Final Order and Judgments recorded in Deed Book 51560, Page 393, Gwinnett County, Georgia records, and recorded in Deed Book 51562, Page 836, Gwinnett County, Georgia records.

SUP2024-00091  
RECEIVED: MAY 6, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

J. LAWSON & ASSOCIATES, LLC



TOTAL AREA = 0.6453 ACRES or 28,111 SQUARE FEET

HORLBECK & ASSOCIATES, INC.  
 777 WEST PEACHTREE ST. NORCROSS, GEORGIA 30071  
 Phone (404) 448-1848

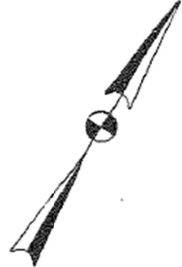
ENGINEERS — PHOTOGRAMMETRISTS — LAND SURVEYORS

IN MY OPINION, THIS PLAT IS A CORRECT REPRESENTATION OF THE LAND SURVEYED AND HAS BEEN PREPARED IN CONFORMITY WITH THE MINIMUM STANDARDS OF LAW

*[Signature]*



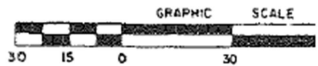
- LEGEND:
- HP IRON
  - IS IRON
  - CC CENTER
  - R/W RIGHT
  - OE DRAINAGE
  - SE SEWER
  - CC CONCRETE
  - UC UTILITY
  - LLL LAND
  - PROPEI PROPOSED
  - ELECT ELECT
  - EXISTI EXISTING
  - F FINISH
  - W WATER
  - S SANITARY
  - RADIUS
  - R/L BUILDING
  - SS SET
  - B FIRE
  - FM H



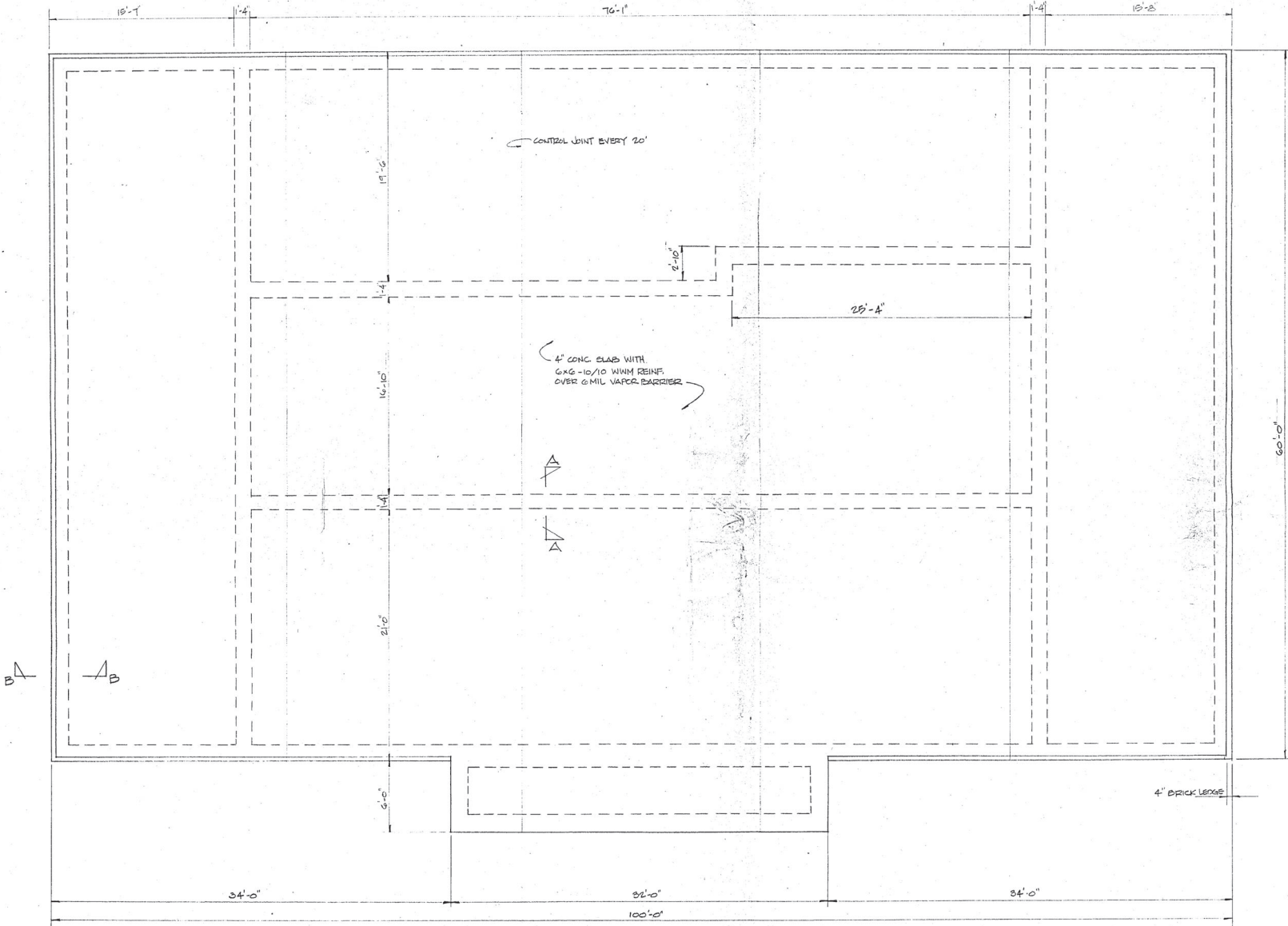
GENERAL NOTES

- (1) FIRM NUMBER 130322 02 THAT THIS PROPERTY DOES A FLOOD HAZARD DISTRICT.
- (2) PLAT REFERENCE - SITE PL/ HILL OFFICE PARK, PREPARED BY B ASSOCIATES, INC., DATE

THE FIELD WORK FOR THIS SURVEY TOPCON SEMI-TOTAL-STATION. P ONE FOOT IN 274,382 FEET. THE WHICH THIS MAP OR PLAT IS BASED PRECISION OF ONE FOOT IN 10,000 ANGULAR ERROR OF 3" PER AN WAS ADJUSTED USING COMPASS RULE

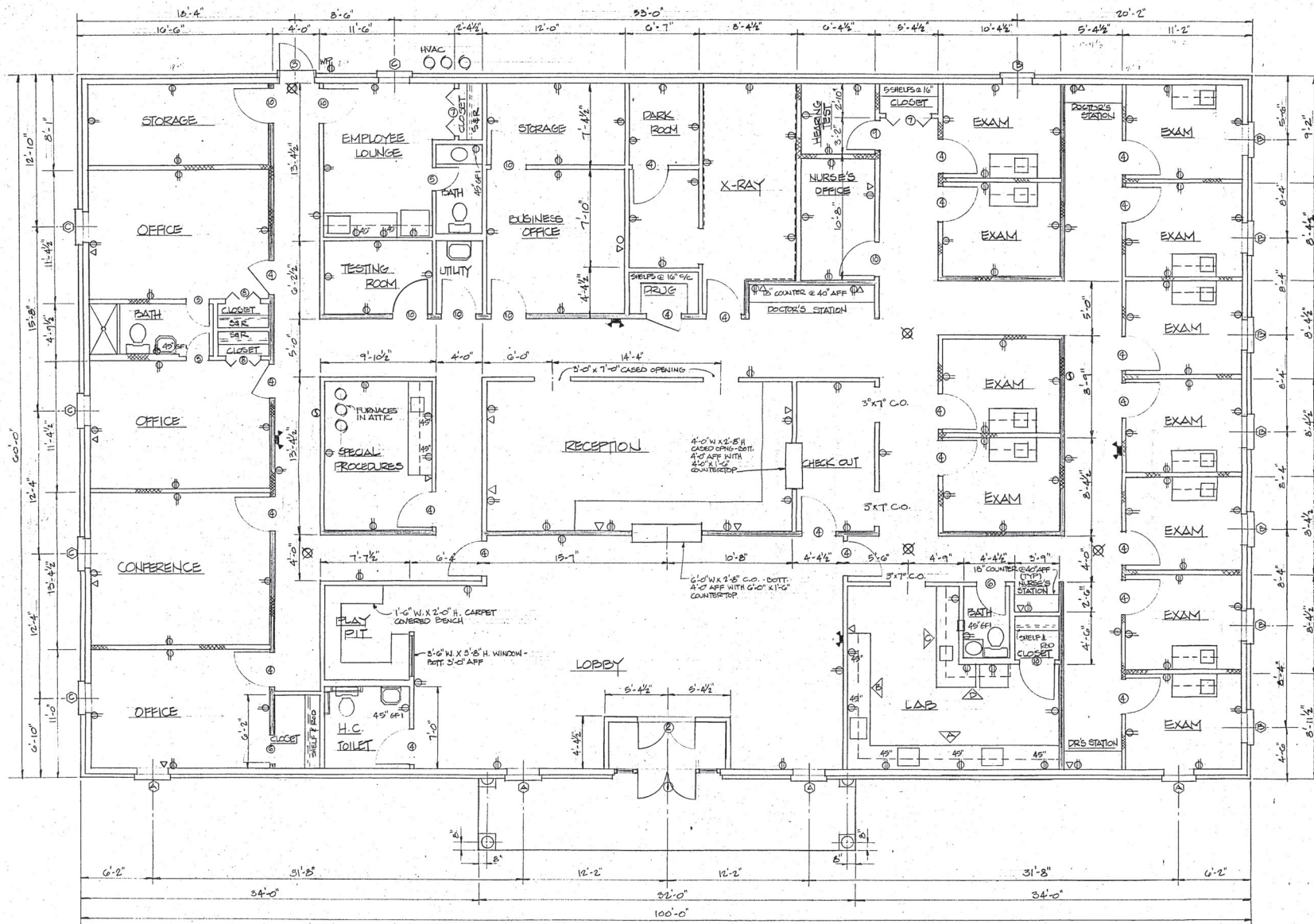


CITY OF LAWRENCEVILLE		
AS-BUILT SURVEY FOR:		
DR. WILLIAM BOSTOCK		
DWG BY MP	CKD BY RH	LAND LOT
SCALE 1" = 30'		LAND DIST
DATE 3-8-90		SKINNETT,
REV DATE 3/27/90, 6/29/90		FILE NO



SUP2024-00091  
 RECEIVED: MAY 3, 2024  
 PLANNING AND DEVELOPMENT DEPARTMENT

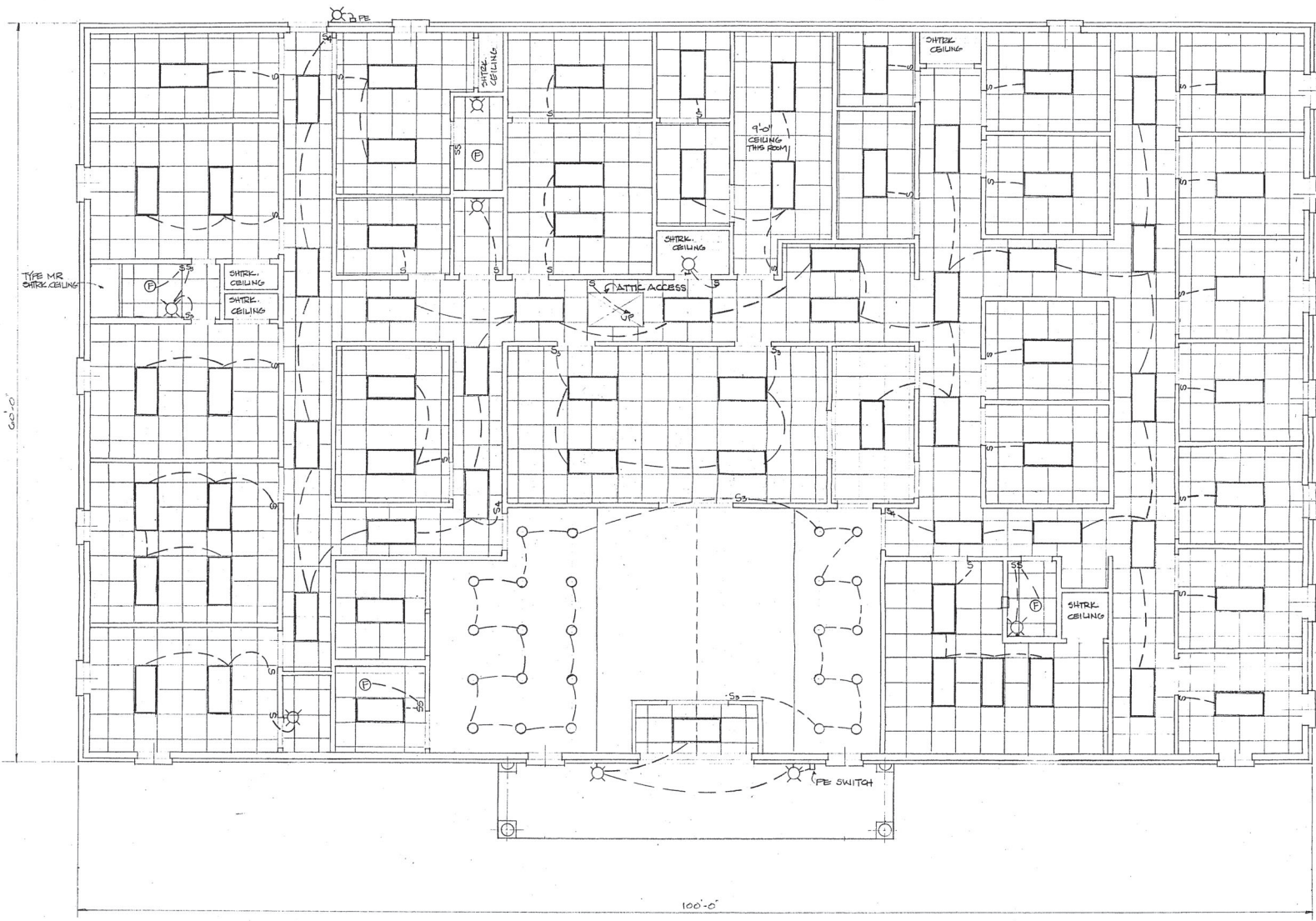
OFFICE FOR	FILE NUMBER	9011	DEVELOPER / BUILDER	MULTI - CONSTRUCTION SERVICES, INC.	DRAWING NUMBER	AI
	CONTACT	JIM WALKER / PRES.		2235 WALKER DRIVE LAWRENCEVILLE, GEORGIA 30243		SHEET 1 OF 10
	DATE	MARCH 11, 2010		OFFICE: (404) 962-2800		
	SCALE:	1/8" = 1'-0"		DIGITAL PLOTTER: 988-9076		



PARTITION AND ELECTRICAL PLAN  
 SCALE: 1/4" = 1'-0"

SUP2024-00091  
 RECEIVED: MAY 3, 2024  
 PLANNING AND DEVELOPMENT DEPARTMENT

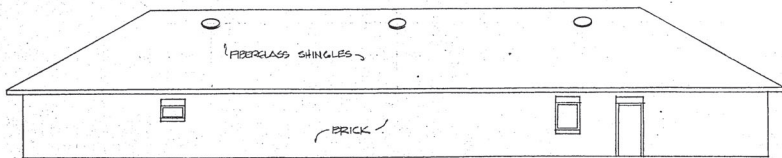
OFFICE FOR	FILE NUMBER 9111	DEVELOPER / BUILDER MULTI-CONSTRUCTION SERVICES, INC.	DRAWING NUMBER A2
	CONTRACTOR JIM WALKER FIRM DATE: MARCH 7, 1970 SCALE: 1/4" = 1'-0"	22295 NALLER DRIVE LAWRENCEVILLE, GEORGIA OFFICE (404) 962-2800 DIGITAL PAGER: 353-7078	SHEET 2 OF 10



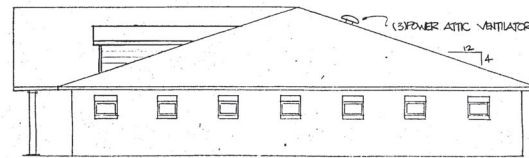
SUSPENDED CEILING AND LIGHTING PLAN  
SCALE: 1/4" = 1'-0"

SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

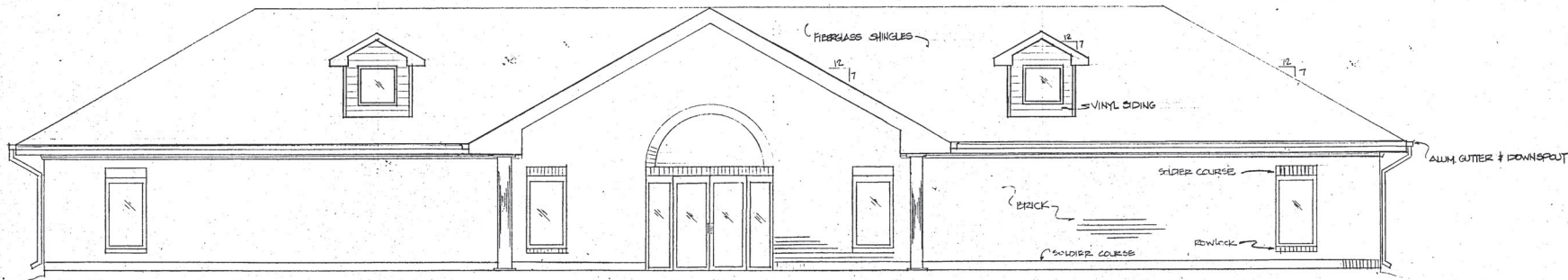
FILE NUMBER 19011	DEVELOPER / BUILDER MULTI-CONSTRUCTION SERVICES, INC. 2238 WALKER DRIVE LAWRENCEVILLE, GEORGIA 30243 OFFICE: (404) 962-2800 DIGITAL PAGES: 383-9018	DRAWING NUMBER A3
CONTRACT JIM WALKER, PRES.		SHEET 3 OF 10
DATE MAY 01, 1990		
SCALE 1/4" = 1'-0"		



REAR ELEVATION  
SCALE: 1/8"=1'-0"



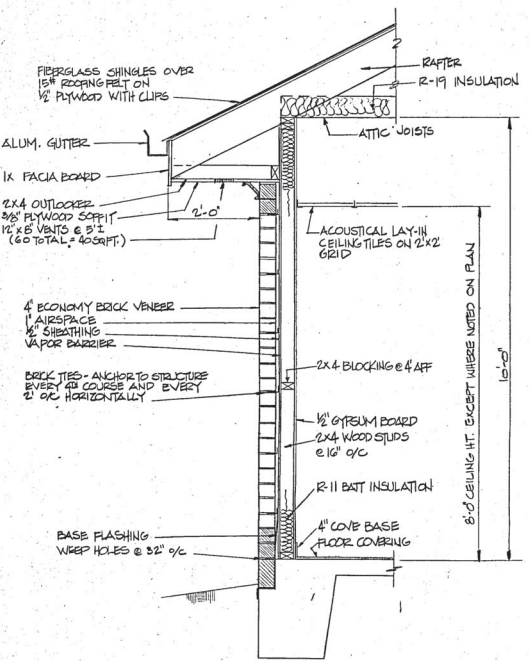
RIGHT SIDE ELEVATION  
SCALE: 1/8"=1'-0"



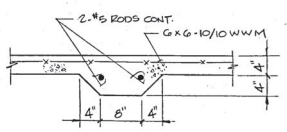
FRONT ELEVATION  
SCALE: 1/4"=1'-0"

SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

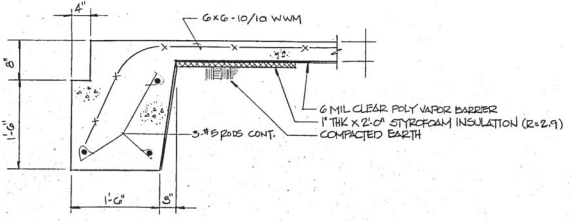
OFFICE FOR	FILE NUMBER 1011	DEVELOPER / BUILDER MULTI-CONSTRUCTION SERVICES, INC. 2238 WALKER DRIVE LAWRENCEVILLE, GEORGIA 30243	FRAMING NUMBER A4
	CONTRACT JIM WALKER, PRES. DATE MARCH 7, 1990 SCALE NOTED.	OFFICE: (404) 7161-2200 DIGITAL PAPER: 283-9015	SHEET 4 OF 10



TYPICAL WALL SECTION  
SCALE: 3/4" = 1'-0"



SECTION A-A  
SCALE: 1" = 1'-0"



SECTION B-B  
SCALE: 1" = 1'-0"

DOOR SCHEDULE						
MARK	SIZE	TYPE	FRAME	HEADER & LINTEL	THRESHOLD	REMARKS
1	2'x6'x1 1/2"	OPPOSITE	ALUM.	1 1/2" x 3" x 2" W/ 2" BOLT TO OBL. 2x4 W/ 1/2" PLYWOOD SPACER	ALUM.	W/ SWEETER OVERALL W/ 1/2" PFC
2	2'x6'x1 1/2"	"	"	"	NONE	"
3	3'x6'x1 1/2"	RUSH METAL	METAL	1 1/2" x 3" x 2" W/ 2" BOLT TO OBL. 2x4 W/ 1/2" PLYWOOD SPACER	ALUM.	"
4	3'x6'x1 1/2"	S.C. WOOD	WOOD	1 1/2" x 3" x 2" W/ 2" BOLT TO OBL. 2x4 W/ 1/2" PLYWOOD SPACER	NONE	PREHUNG W/ TRIM
5	2'x6'x1 1/2"	H.C. WOOD	"	"	"	"
6	2'x6'x1 1/2"	"	"	"	"	"
7	4'x6'	4 PNL. BRD	"	"	"	"
8	3'x6'	"	"	"	"	"
9	2'x6'x1 1/2"	S.C. WOOD	"	"	"	PREHUNG W/ TRIM
10	3'x6'x1 1/2"	H.C. WOOD	"	"	"	"

WINDOW SCHEDULE				
MARK	SIZE	TYPE	FRAME	HEADER & LINTEL
A	2'-0" X 5'-0" H	FIXED GLASS	ALUM.	1 1/2" x 3" x 2" W/ 2" BOLT TO OBL. 2x4 W/ 1/2" PLYWOOD SPACER
B	2'-0" X 1'-4" H	"	"	"
C	2'-0" X 3'-4" H	"	"	"
	2'-0" X 2'-8" H	"	"	OBL. 2x4 W/ 1/2" PLYWOOD SPACER

**DESIGN LOADS**  
 ROOF LOAD : 20 PSF W.L., 20 PSF W.U., 10 PSF D.L.  
 ATTIC LOAD : 20 PSF L.L., 10 PSF D.L.

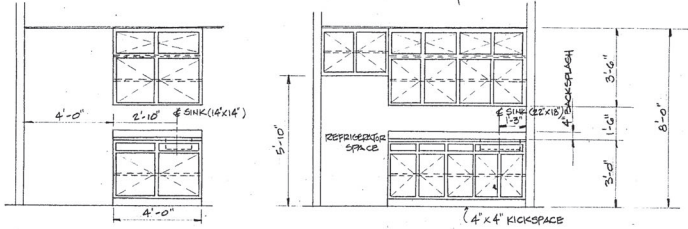
**UNIT STRESSES**  
 DESIGN SOIL BEARING PRESSURE - 2500 PSF.  
 CONCRETE ULTIMATE COMPRESSIVE STRENGTH @ 28 DAYS - 3000 PSI  
 REINFORCING BARS - ASTM A615 GRADE 60  
 WOOD - SOUTHERN PINE #2 MIN F<sub>b</sub> = 1200 PSI

- LEGEND**
- 2'x4' 4-TUBE FLOURESCENT LIGHT FIXTURE (CEILING RECESSED)
  - ⊗ CEILING MOUNTED 25 W EXIT LIGHT WITH BATTERY BACKUP
  - ⊕ DUPLEX RECEPTACLE, 12' AFF UNLESS NOTED
  - ⊕ DUPLEX RECEPTACLE, GND. FAULT INTERRUPTABLE
  - ⊕ DUPLEX RECEPTACLE, WEATHERPROOF
  - ⊕ TELEPHONE RECEPTACLE, 12' AFF
  - ⊕ EMERGENCY LIGHTING, 2 BULB, BATTERY OPERATED AUTOMATIC CUT-OFF WHEN POWER FAILS. SEPARATE INTEGRATED CIRCUIT W/ LOCK ON BAR.
  - ⊕ SMOKE DETECTOR
  - ⊕ TOLLIT EXHAUST FAN
  - ▬ PARTITION W/ LEAD LINED SHEETROCK
  - ▬ PARTITION W/ ACOUSTICAL INSULATION (CONO-BATTS)
  - ▬ LOAD BEARING PARTITION
  - ⊗ WALL MOUNTED INCANDESCENT LIGHT FIXTURE
  - RECESSED INCANDESCENT T5W. SPOT

- NOTES:**
- OCCUPANCY CLASSIFICATION: BUSINESS, ONE TENANT
  - TYPE OF CONSTRUCTION: CLASS G, NON PROTECTED, NON SPRINKLERED, GROSS AREA = 6000 SQ. FT.
  - EXIT DOORS SHALL NOT BE SUBJECT TO THE USE OF A KEY FOR OPERATION FROM INSIDE THE BUILDING.
  - ALL DOORS SHALL BE EQUIPPED WITH HANDICAP (LEVELLED) HARDWARE.
  - CONCRETE TEST REPORTS SHALL BE AVAILABLE AT JOB SITE.
  - PROVIDE ONE CLASS A, B, C, OR 10 LB FIRE EXTINGUISHER.
  - H.C. TOILET TO BE EQUIPPED WITH HANDICAPPED ACCESSIBLE LAVATORY AND WATER CLOSET. SAFETY GRAB BARS TO BE INSTALLED BEHIND AND ON WALL ADJACENT TO W.C. SS, 36" AFF AND SHALL SUPPORT A 250# LOAD.
  - CEILINGS TO BE SUSPENDED 2'x2' GRID WITH REGULAR EDGED (OR EQUAL APPROVED) TILES (EXCEPT IN AREAS SHOWN ON PLANS).
  - INTERIOR LOAD BEARING PARTITIONS TO BE WOOD 2'x4' @ 16" O.C. W/ 1/2" GYPSUM BOARD BOTH SIDES AND 2'x4' BLOCKING AT 4' AFF. NON-LOAD BEARING PARTITIONS MAY BE EITHER WOOD OR METAL STUD FRAMING.
  - INTERIOR PAINT, WALLCOVERINGS, CARPET, FLOOR TILE, ETC. TO BE SPECIFIED BY OWNER.

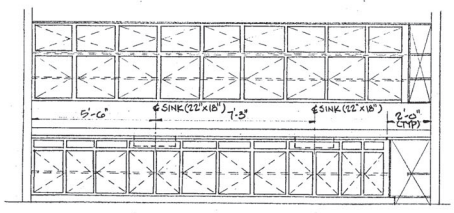
SUP2024-00091  
 RECEIVED: MAY 3, 2024  
 PLANNING AND DEVELOPMENT DEPARTMENT

DRAWING NUMBER	A5
	SHEET 5 OF 10
DEVELOPER / BUILDER	MULTI-CONSTRUCTION SERVICES, INC. 225B WALDELL DRIVE LAWRENCEVILLE, GEORGIA 30043
DATE	MARCH 7, 1990
SCALE	AS NOTED
OFFICE FOR	[Redacted]
FILE NUMBER	9-011
CONTRACT	JIM WALKER, PRES.
DATE	MARCH 7, 1990
SCALE	AS NOTED
DEVELOPER / BUILDER	MULTI-CONSTRUCTION SERVICES, INC. 225B WALDELL DRIVE LAWRENCEVILLE, GEORGIA 30043 OFFICE: (404) 962-2800    DIAL PAD: 353-1018

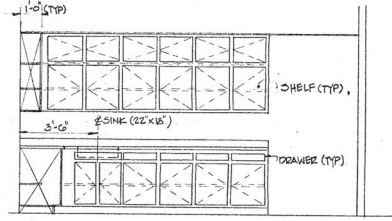


EXAM ROOM  
GLASS SHOWN  
ON OFF. HAND

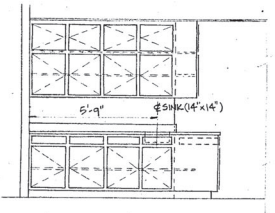
EMPLOYEE LOUNGE



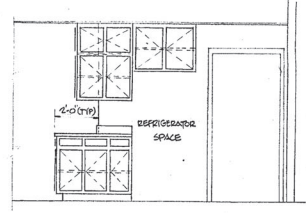
ELEVATION 'A'



ELEVATION 'B'

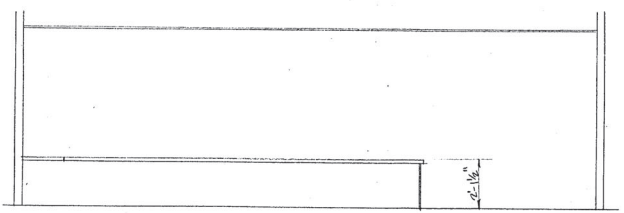
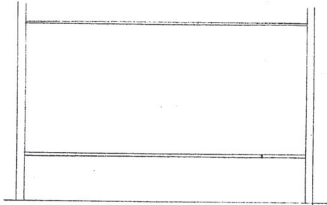


ELEVATION 'C'



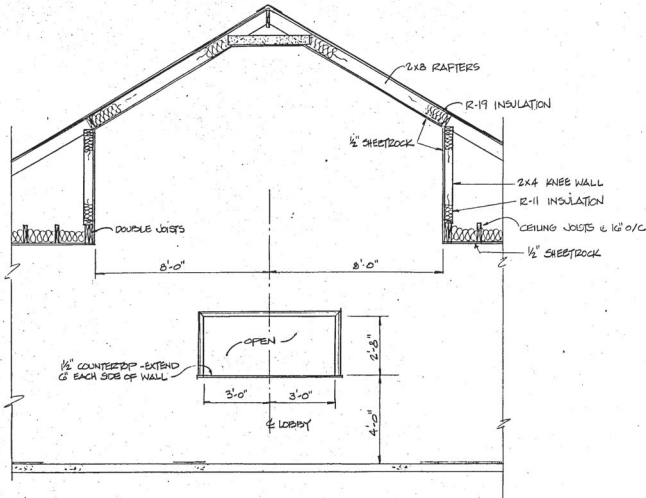
ELEVATION 'D'

LAB ELEVATIONS

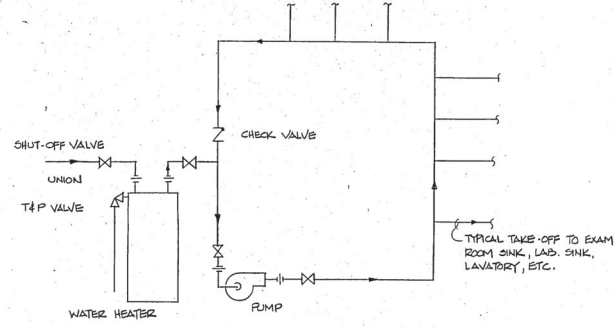


FILE NUMBER 1011	DEVELOPER / BUILDER MULTI-CONSTRUCTION SERVICES, INC.
CONTRACT NUMBER 1011	2225 WALKER DRIVE LAWRENCEVILLE, GEORGIA 30043
DATE MARCH 7, 1970	OFFICE: (404) 762-2800 DIGITAL PAPER 2003-90 TB
SCALE 1/8" = 1'-0"	DRAWING NUMBER A6
	SHEET 6 OF 10

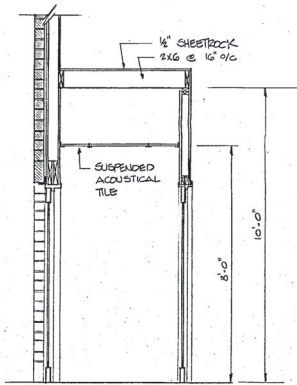
SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT



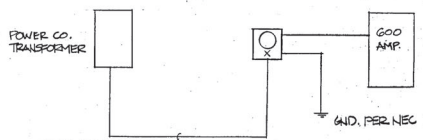
SECTION THRU LOBBY  
SCALE: 3/8" = 1'-0"



HOT WATER RECIRCULATING SCHEMATIC  
NO SCALE



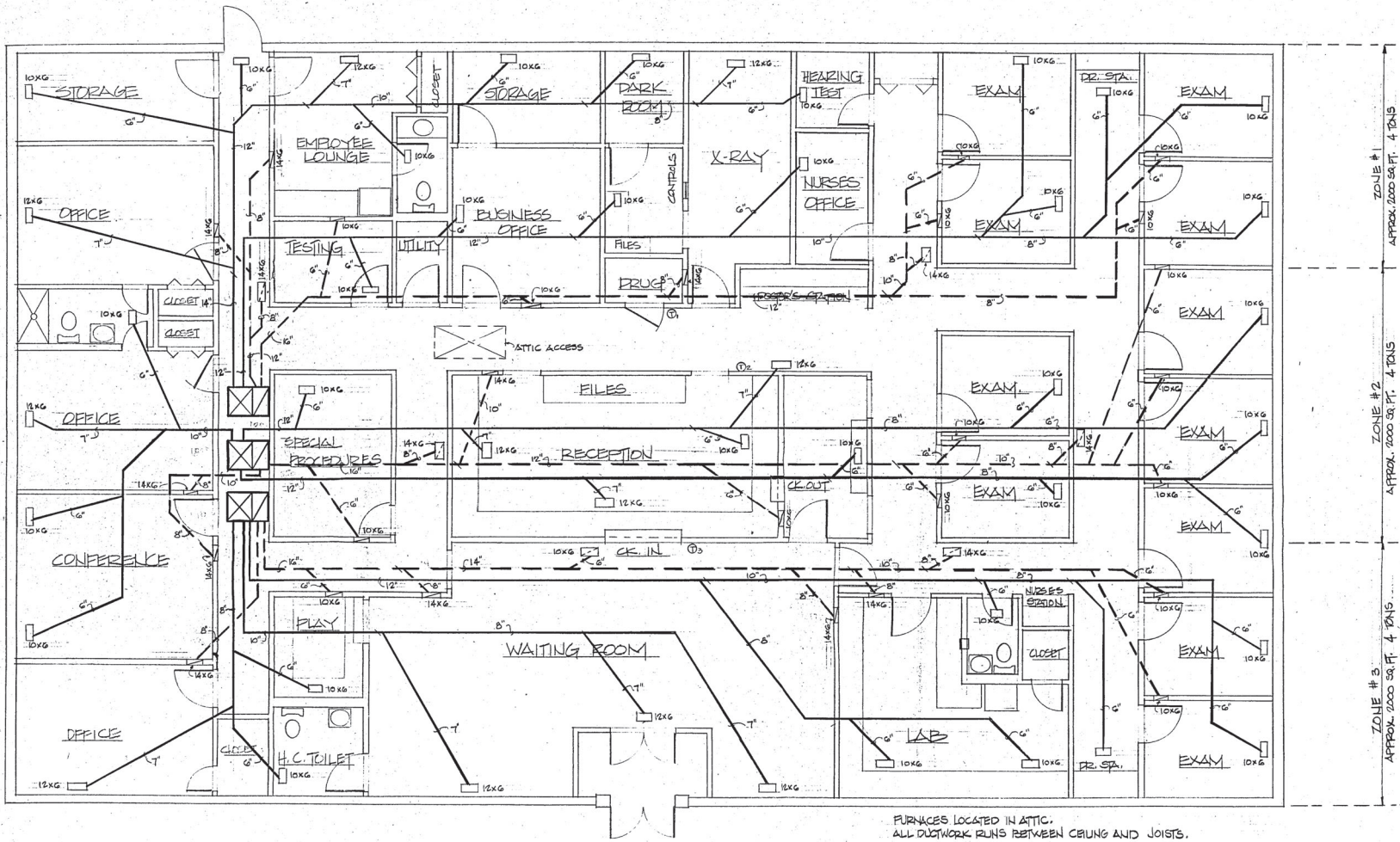
SECTION THRU ENTRANCE  
SCALE: 1/2" = 1'-0"



ELECTRICAL RISER DIAGRAM  
NTS

SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

OFFICE FOR	FILE NUMBER 9/11	DEVELOPER / BUILDER MULTI-CONSTRUCTION SERVICES, INC.	DRAWING NUMBER A7
	CONTRACT JIM WALKER, PRES.	2238 WALKER DRIVE LAWRENCEVILLE, GEORGIA 30243	SHEET 7 OF 10
	DATE MAY 08, 1990	OFFICE: (404) 762-2800	DIGITAL PAGER: 333-9178
	SCALE NOTED		



HVAC PLAN  
SCALE: 1/8" = 1'-0"

FURNACES LOCATED IN ATTIC.  
ALL DUCTWORK RUNS BETWEEN CEILING AND JOISTS.

- LEGEND**
- LOW SIDE WALL RETURN REGISTER
  - CEILING SUPPLY REGISTER
  - CEILING RETURN REGISTER
  - SUPPLY DUCTWORK
  - RETURN DUCTWORK

EQUIPMENT SCHEDULE				
EQUIPMENT	MANUFACTURER	MODEL N°.	EFF.	N° REQ'D.
FURNACE	CARRIER	2855 095	82%	3
COIL	CARRIER	28CO 46	10 SEER	3
	ER	38TKO 46	10 SEER	3

SUP 2024-00094  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

OFFICE FOR

DEVELOPER / BUILDER  
MULTI-CONSTRUCTION SERVICES, INC.  
8255 WALKER DRIVE  
LAWRENCEVILLE, GEORGIA 30243  
OFFICE: (404) 962-2800 DIGITAL PAPER: 303-90718

FILE NUMBER  
9011

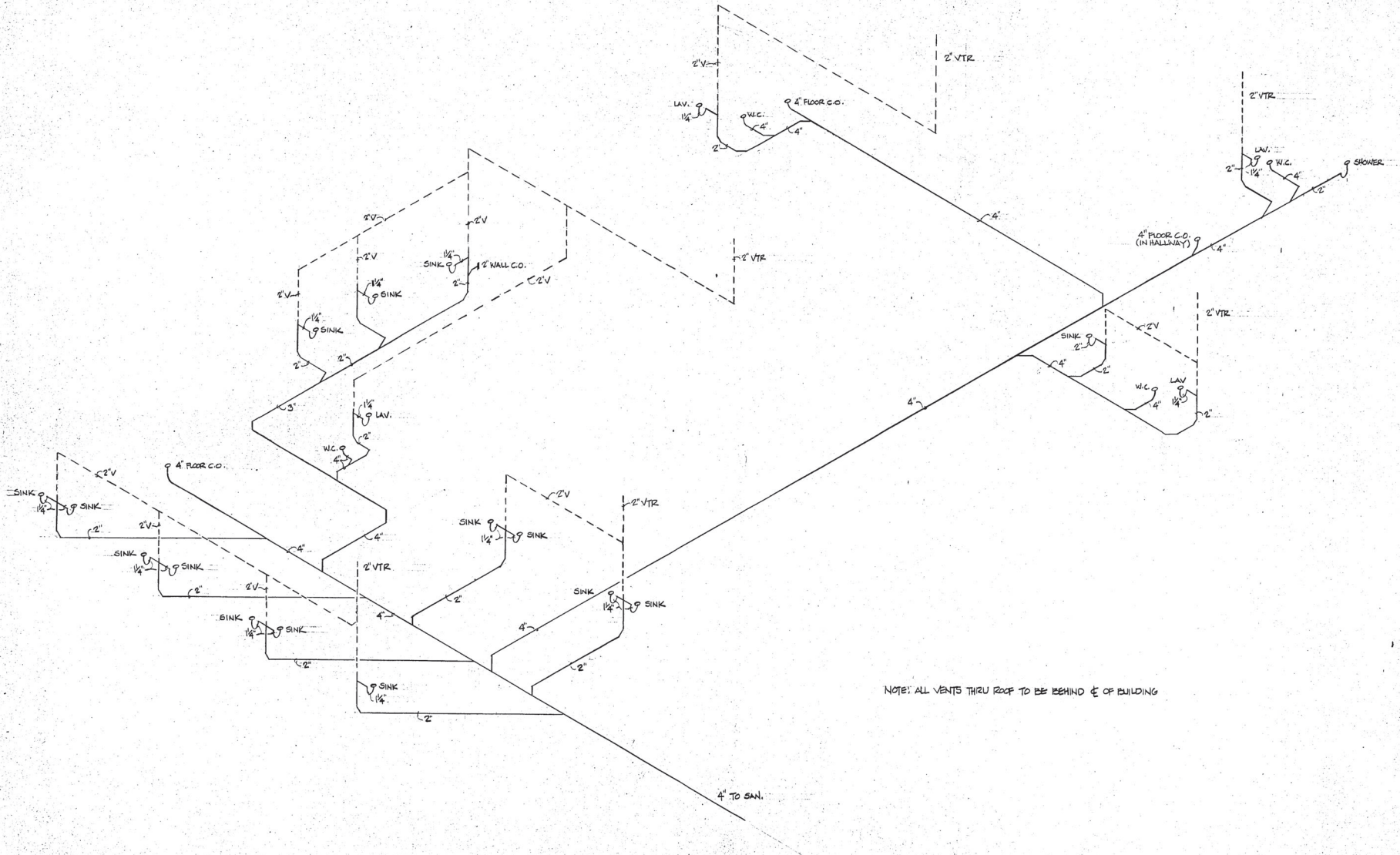
CONTRACT  
JIM WALKER, PRES.

DATE  
MARCH 1, 1990

SCALE  
1/8" = 1'-0"

DRAWING NUMBER  
A8

SHEET 3 OF 10



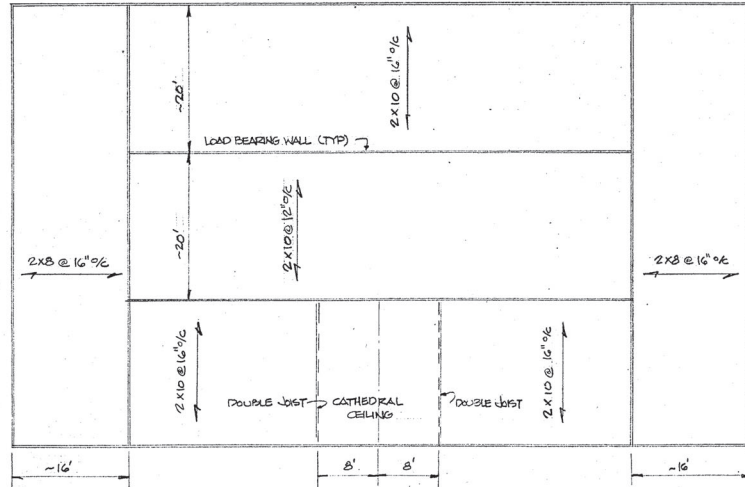
NOTE: ALL VENTS THRU ROOF TO BE BEHIND E OF BUILDING

PLUMBING RISER DIAGRAM  
N.T.S.

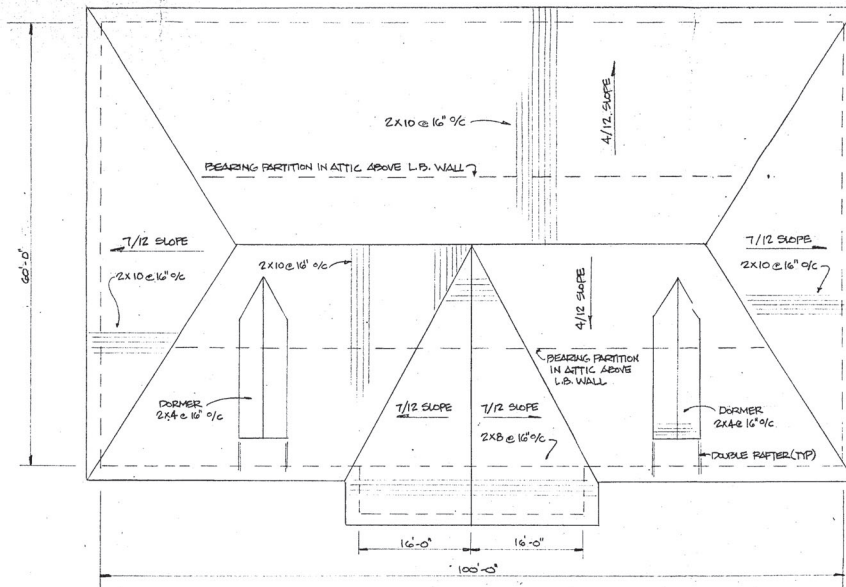
SUP2024-00091  
RECEIVED: MAY 3, 2024  
PLANNING AND DEVELOPMENT DEPARTMENT

FILE NUMBER 01111	DEVELOPER/BUILDER	DRAWING NUMBER
	MULTI-CONSTRUCTION SERVICES, INC.	AG
CONTRACT JIM WALKER, PRES.	2233 WALKER DRIVE LAWRENCEVILLE, GEORGIA 30043	SHEET 9 OF 10
DATE MARCH 15, 2024	OFFICE: (604) 762-2800	DIGITAL PAGER: 555-1078
SCALE NONE		

OFFICE FOR



ATTIC JOIST PLAN



ROOF FRAMING PLAN

SUP2024-00091  
 RECEIVED: MAY 3, 2024  
 PLANNING AND DEVELOPMENT DEPARTMENT

OFFICE FOR	FILE NUMBER 4011	DEVELOPER / BUILDER MULTI-CONSTRUCTION SERVICES, INC.	DRAWING NUMBER A10
	CONTRACT 22225 WALKER DRIVE MARCH 7, 1990	LAWRENCEVILLE, GEORGIA 30243 OFFICE: (404) 916-2200 DIGITAL PAGER: 388-7075	SHEET 10 OF 10








# LAWRENCEVILLE

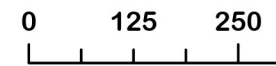
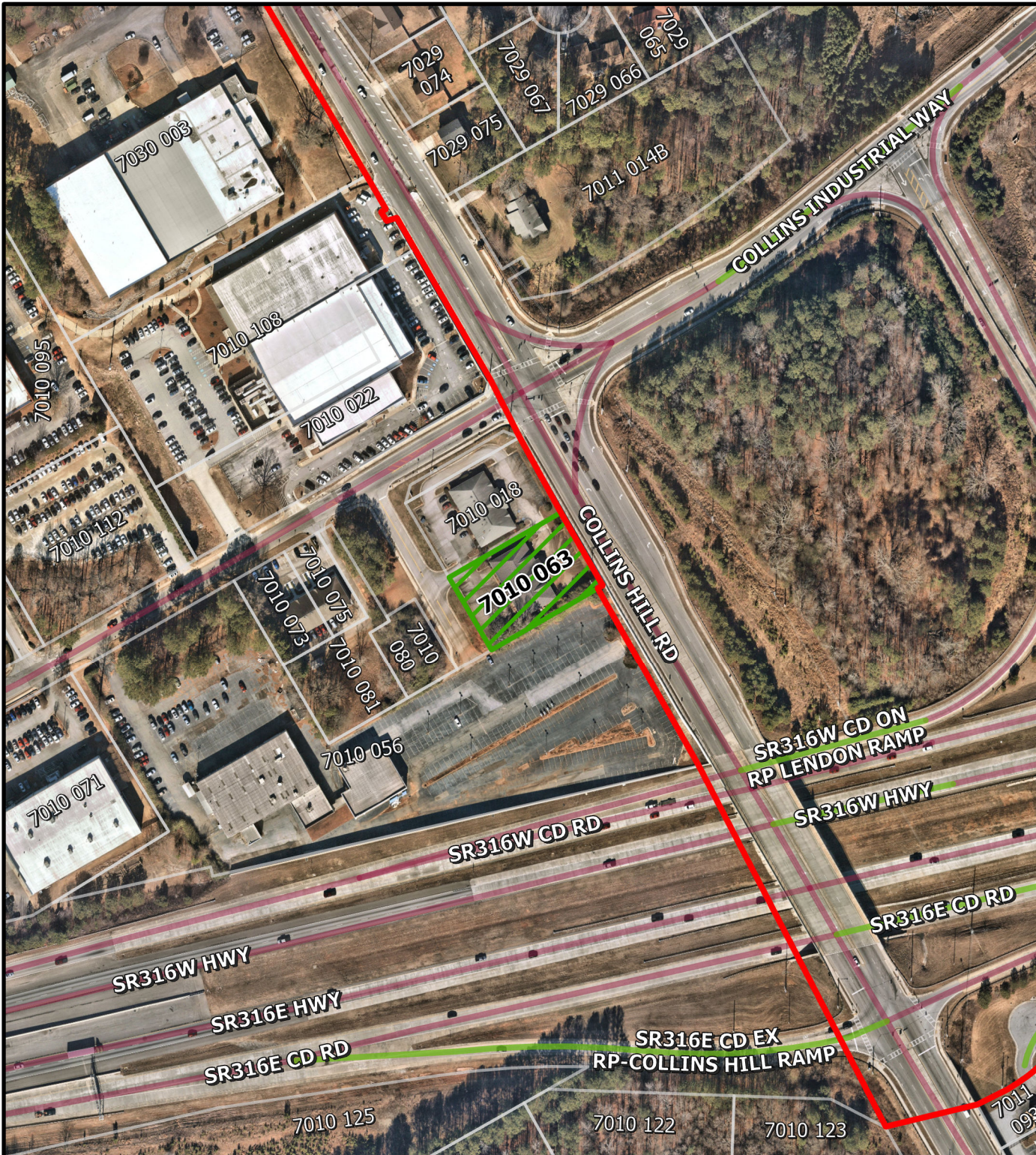
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # SUP2024-00091**

**Applicant: Mushtaq Pasha**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets










# LAWRENCEVILLE

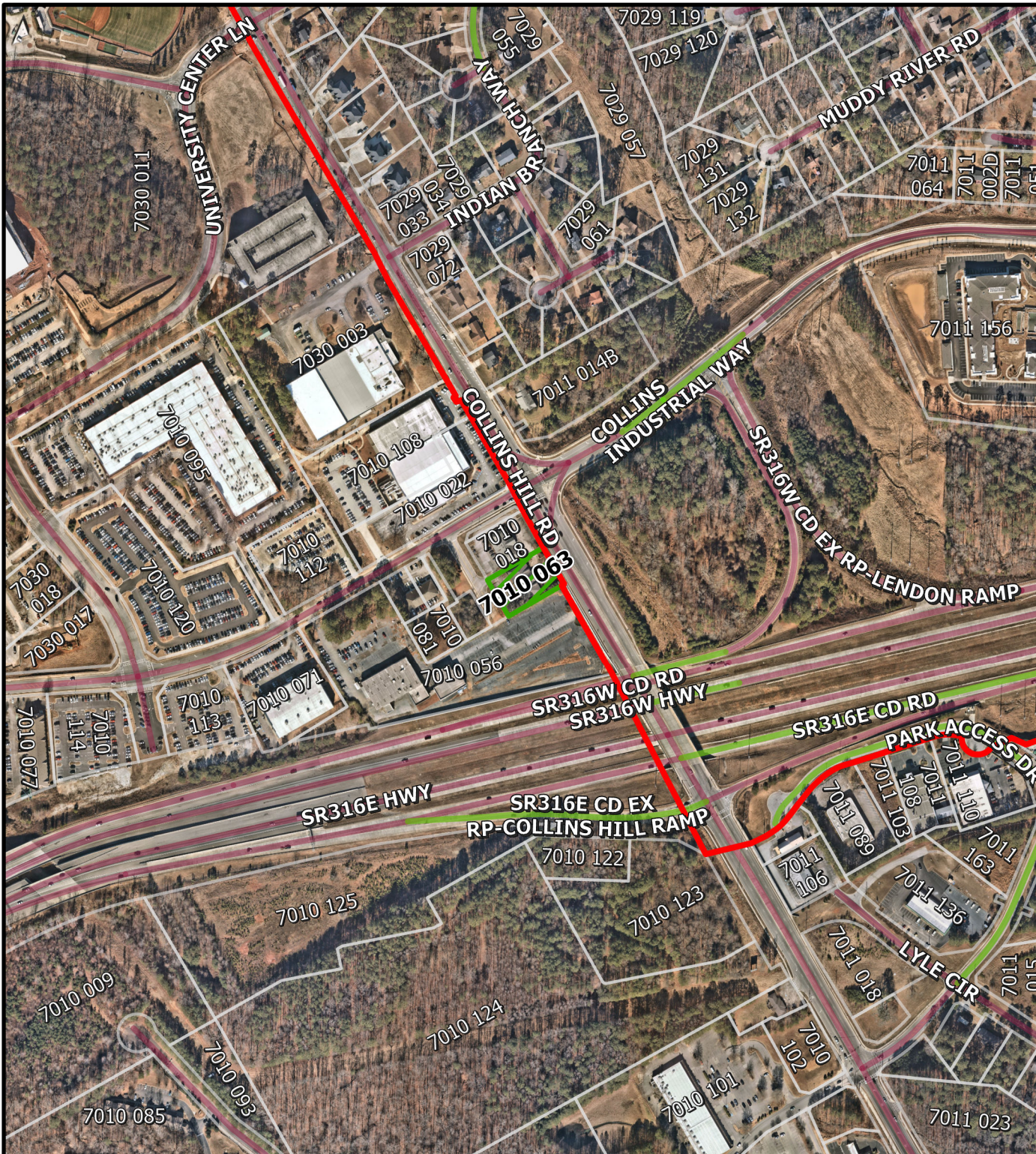
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # SUP2024-00091**

**Applicant: Mushtaq Pasha**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets



0 250 500



# LAWRENCEVILLE

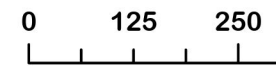
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # SUP2024-00091**

**Applicant: Mushtaq Pasha**

-  Lawrenceville City Limits
  -  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  HSB Highway Service Business
  -  LM Light Manufacturing
  -  CMU Community Mixed Use





# LAWRENCEVILLE

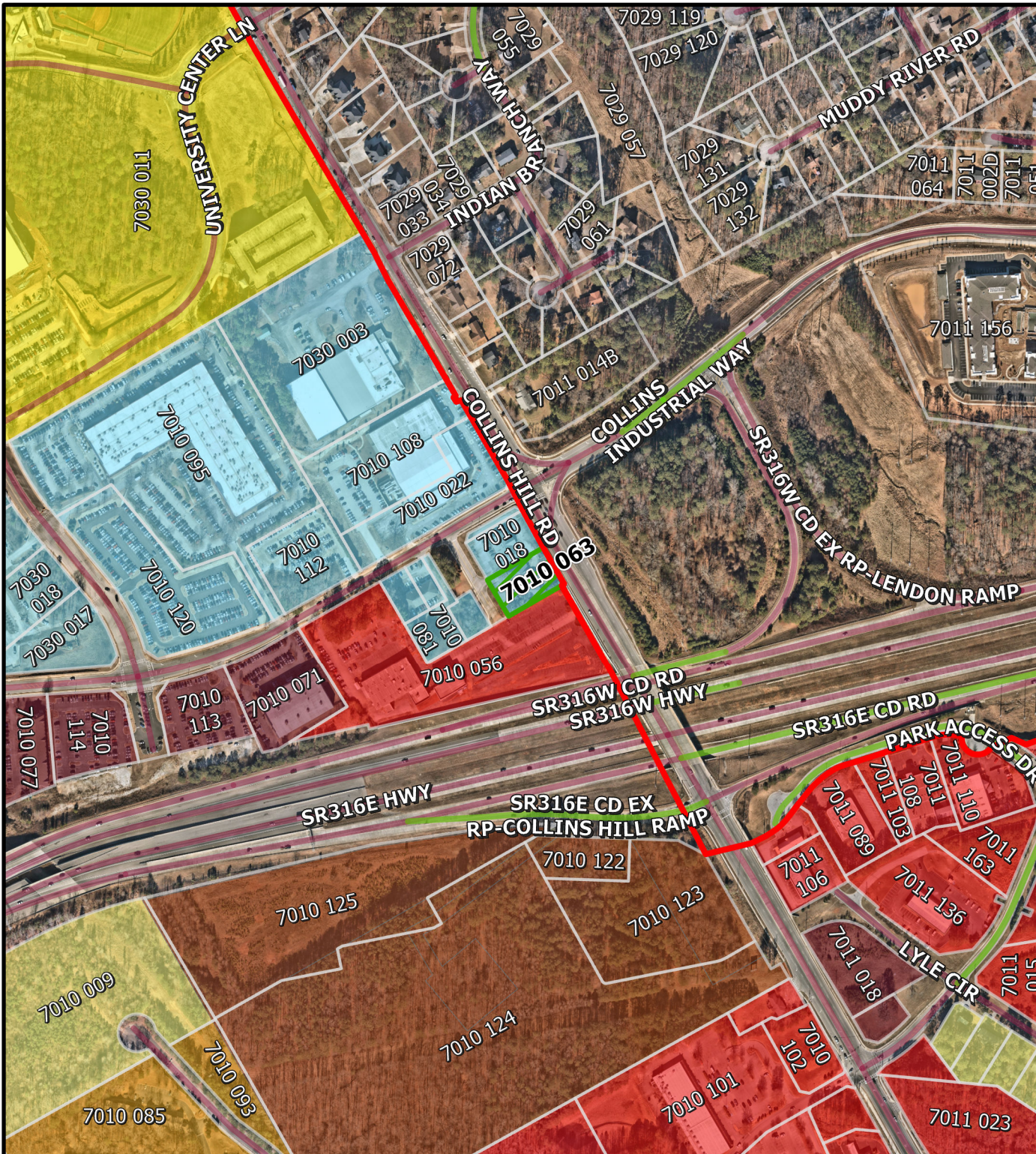
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # SUP2024-00091**

**Applicant: Mushtaq Pasha**

-  Lawrenceville City Limits
  -  Subject Property
  -  Parcels
  -  County Maintained Streets
  -  City Maintained Streets
- Zoning Districts**
-  BG General Business
  -  HSB Highway Service Business
  -  LM Light Manufacturing
  -  CMU Community Mixed Use
  -  RM-12 Multifamily Residential
  -  RS-150 Single-Family Residential
  -  RS-180 Single-Family Residential



0 250 500










# LAWRENCEVILLE

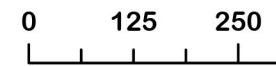
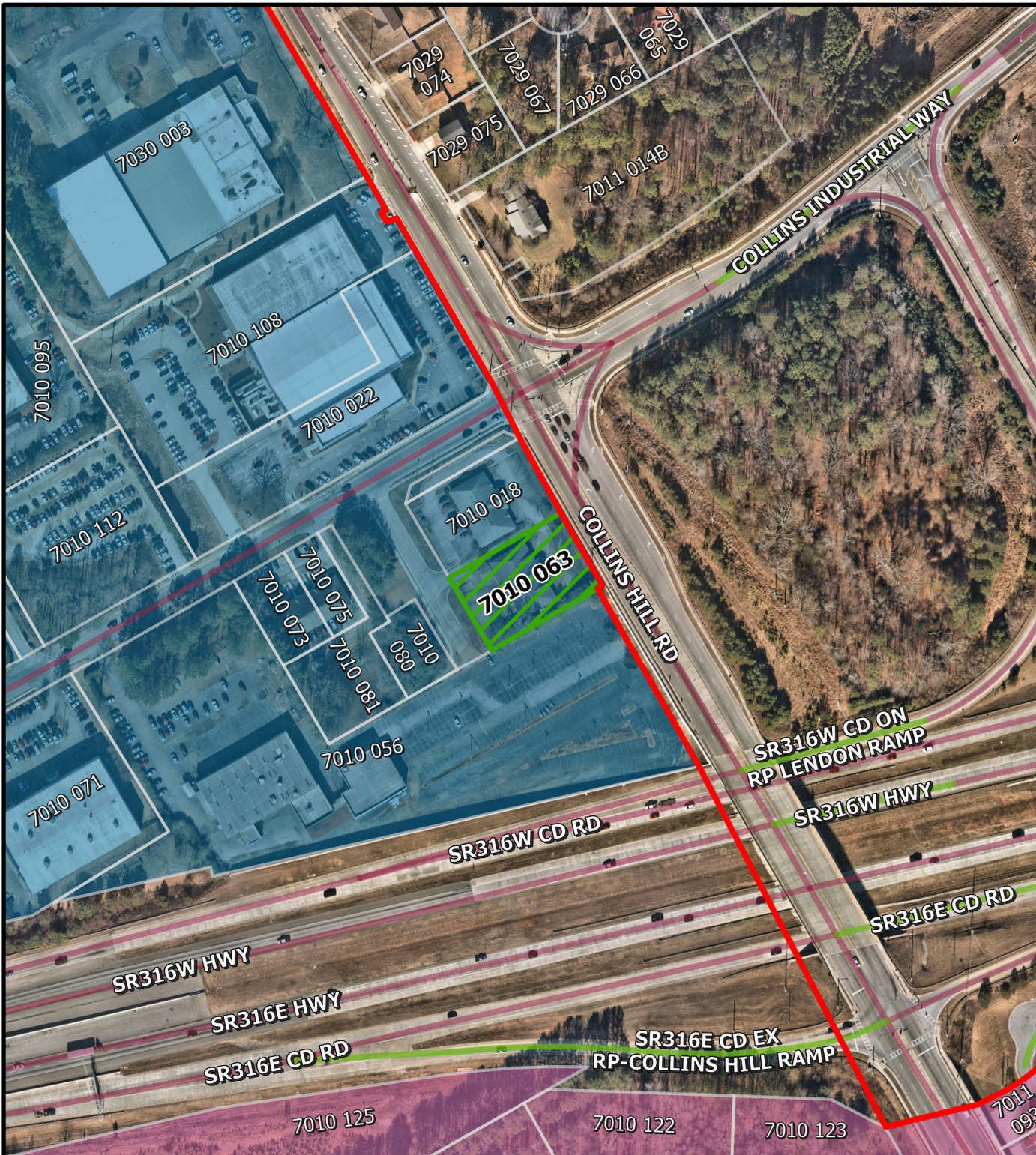
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

**File # SUP2024-00091**

**Applicant: Mushtaq Pasha**

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Community Mixed Use
-  Education Center












# LAWRENCEVILLE

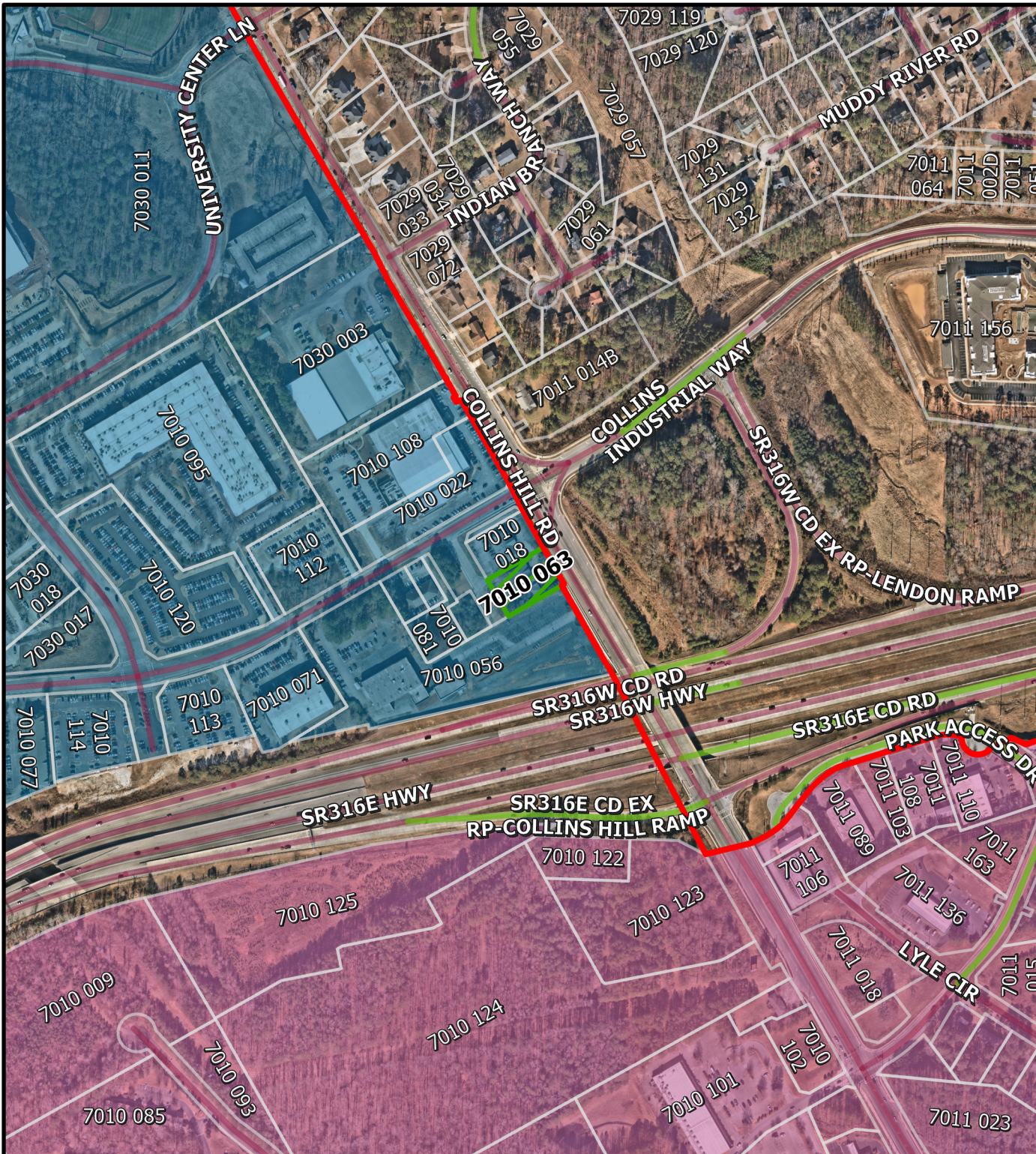
GEORGIA

The City of Lawrenceville  
Planning & Development  
Location Map & Surrounding Areas

## File # SUP2024-00091

Applicant: Mushtaq Pasha

-  Lawrenceville City Limits
-  Subject Property
-  Parcels
-  County Maintained Streets
-  City Maintained Streets
- 2045 Character Areas**
-  Community Mixed Use
-  Education Center



0 250 500



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

- Item:** An Ordinance to Amend the Zoning Ordinance, ARTICLE 1 Districts
- Department:** Planning and Development
- Date of Meeting:** Monday, July 1, 2024
- Applicant Request:** Approval of Amendments
- Presented By:** Todd Hargrave, Director of Planning and Development
- Department Recommendation:** **Table to August 2024**
- Planning Commission Recommendation:** **To be Determined**

**Summary:** Request to table the decision to the Amendment to ARTICLE 1 Districts, to include two new zoning districts to address infill development.

**Attachments/Exhibits:**

- No attachment



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

- Item:** An Ordinance to Amend the Zoning Ordinance, ARTICLE 6; Architectural and Design Standards
- Department:** Planning and Development
- Date of Meeting:** Monday, July 1, 2024
- Applicant Request:** Approval of Amendment
- Presented By:** Todd Hargrave, Director of Planning and Development
- Department Recommendation:** **Tabled to August 2024**
- Planning Commission Recommendation:** **To be Determined**

**Summary:** ARTICLE 6 needs to be updated to be consistent with the vision from the 2040 Comprehensive Plan and the 2021 LCI for City of Lawrenceville.

- Attachments/Exhibits:**
- No attachments



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

- Item:** An Ordinance to Amend the Zoning Ordinance, ARTICLE 10; Definitions
- Department:** Planning and Development
- Date of Meeting:** Monday, July 1, 2024
- Applicant Request:** Approval of Amendments
- Presented By:** Todd Hargrave, Director of Planning and Development
- Department Recommendation:** **Table to August 2024**
- Planning Commission Recommendation:** **To be Determined**

**Summary:** Request to table indefinitely the Amendment to ARTICLE 10 Definitions is necessary to clarify language that is consistent with Georgia State Law.

- Attachments/Exhibits:**
- No attachments



# LAWRENCEVILLE

## GEORGIA

AGENDA REPORT  
MEETING: PLANNING COMMISSION  
AGENDA CATEGORY: PUBLIC HEARING NEW BUSINESS

- Item:** An Ordinance to Amend Article 11, Inactive Zoning Districts, of the Zoning Ordinance
- Department:** Planning and Development
- Date of Meeting:** Monday, July 1, 2024
- Presented By:** Todd Hargrave, Planning and Development Director
- Action Requested:** Adoption of Amendment
- Planning Department Recommendation:** **Tabled to August 2024**
- Planning Commission Recommendation:** **To be Determined**

**Summary:** Adding the 2005 Zoning Ordinance as reference, as retired as of May 20, 2020. Retiring Zoning Districts RS-180 (Single-Family Residential District) and RS-150 (Single-Family Residential District).

- Attachments/Exhibits:**
- **No attachment**