



**AGENDA
CITY OF LAUREL
CITY/COUNTY PLANNING BOARD
WEDNESDAY, DECEMBER 21, 2022
5:30 PM
CITY COUNCIL CHAMBERS**

Public Input: *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

General Items

1. Approve Minutes from Oct. 19th, 2022

New Business

2. Holycross Subdivision Preliminary Plat
3. Approve sign permit for Bearthooth Pediatric Dental
4. Approve sign permit Albertsons

Old Business

5. Planner Vacancy

Other Items

Announcements

6. Next Meeting to be held on January 18th, 2023

The City makes reasonable accommodations for any known disability that may interfere with a person's ability to participate in this meeting. Persons needing accommodation must notify the City Clerk's Office to make needed arrangements. To make your request known, please call 406-628-7431, Ext. 2, or write to City Clerk, PO Box 10, Laurel, MT 59044, or present your request at City Hall, 115 West First Street, Laurel, Montana.

DATES TO REMEMBER

File Attachments for Item:

2. Holycross Subdivision Preliminary Plat

HOLYCROSS SUBDIVISION
WAIVER OF RIGHTS TO PROTEST

FOR VALUABLE CONSIDERATION, the undersigned, the Owners of the hereinafter described real property, do hereby waive the right to protest the formation of one or more Rural Special Improvement District(s) (RSID), or Special Improvement District(s) (SID) for the construction and or maintenance of streets, curbs and gutters, sidewalks, driveways, survey monuments, street name signs, street lights, street light energy and maintenance, traffic control devices on site and off site as determined by an overall traffic accessibility study, sanitary sewer lines, water lines, valley gutters, culverts, storm sewer lines either within or without the area to provide drainage for runoff water from the real property hereinafter described, park improvements and park maintenance district, and other incidental improvements which the County of Yellowstone may require.

The waiver and agreement shall run with the land and shall be binding upon the undersigned, their successors and assigns, and shall be recorded in the office of the County Clerk and Recorder of Yellowstone County, Montana.

The above referenced real property is more particularly described as follows, to-wit:

HOLYCROSS SUBDIVISION, a subdivision of Tract 2 of Certificate of Survey no. 2750, recorded under Document No.1676687, according to the record subdivision plat thereof on file and of record in the office of the Clerk and Recorder of Yellowstone County, Montana.

WAIVER signed and dated this _____ day of _____, 20____.

"SUBDIVIDERS":

David Holycross

Florence Holycross

STATE OF MONTANA)

ss

County of Yellowstone)

On this _____ day of _____, 20____, before me, a Notary Public for the State of Montana, personally appeared David Holycross and Florence Holycross, known to me to be the persons who signed the foregoing instrument, and acknowledged to me that they executed the same. IN WITNESS THEREOF, I set my hand and seal the day and year herein above written.

Notary Public for the State of Montana
Residing At _____
My Commission expires _____

Holycross Subdivision, Waiver of Right to Protest, page 2

“COUNTY”

BOARD OF COUNTY COMMISSIONERS OF YELLOWSTONE COUNTY, MONTANA

Chairman

Commissioner

Commissioner

Attest: County Clerk and Recorder

STATE OF MONTANA)

County of Yellowstone)

On this _____ day of _____, 2000, before me, a Notary Public

for the State of Montana, personally appeared _____,

_____, and _____, known to me to be the Board of County Commissioners and the County Clerk and Recorder all of Yellowstone County, Montana, the persons who signed the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS THEREOF, I set my hand and seal the day and year herein above written.

Notary Public for the State of Montana

Residing at _____

My Commission expires _____

After Recording Return To:
David Holycross and Florence Holycross
801 East 4th Street
Laurel, MT 59044

First Montana Title Co.
B2122136

WARRANTY DEED

FOR VALUABLE CONSIDERATION, the receipt of which is hereby acknowledged, the undersigned

Robert C. Ulrich and Christine A. Ulrich, Grantor,

does hereby grant, convey, transfer, sell, and warrant unto

David Holycross and Florence Holycross, as joint tenants with right of survivorship whose current mailing address is 801 East 4th Street, Laurel, MT 59044, Grantee,

and to his/her successors and assigns forever, that certain real property situated in Yellowstone County, State of Montana, which is more particularly described as follows:

That part of Government Lot 2, Section 22, Township 2 South, Range 24 East, of the Principal Montana Meridian, in Yellowstone County, Montana, described as Tract 2, Certificate of Survey No. 2750, on file in the office of the Clerk and Recorder of said County, under Document No. 1676686.

TOGETHER WITH all buildings, improvements, tenements, hereditaments, and appurtenances currently existing thereon, SUBJECT, however, to the following:

- (a) All reservations and exceptions in patents or deeds from the United States or the State of Montana;
- (b) All applicable building, zoning, use, health, sanitation, environmental, and other similar laws, restrictions, ordinances, rules, and regulations, including but not limited to all covenants, restrictions, reservations, and exceptions of record;
- (c) All general and special taxes and assessments for the year 2021 and subsequent years;
- (d) All existing easements and rights-of-way;
- (e) All apparent interests and rights;
- (f) All discrepancies, conflicts in boundary lines, shortage in area and encroachments;
- (g) All water rights, claims or title to water;
- (h) All prior conveyances, leases, or transfers of any interest in minerals, including oil, gas, and other hydrocarbons;

McGEE AND COMPANY, Inc.

1925 Pinyon Drive, Laurel, Montana 59044 Phone: 406/628/8101 Fax: 406/628-1217
email: senatormcgee@gmail.com

TRANSMITTAL

DATE: 7 November 2022
TO: Laurel Planning Department ATTEN: Curt Markegard & Forrest Sanderson
RE: HOLYCROSS SUBDIVISION – Preliminary Plat Submittal

Dear Curt & Forrest:

The purpose of the above referenced subdivision is to change the status of an existing parcel of land which was filed as Tract 2 of COS 2750 in 1993. Tract 2 has an agricultural covenant on it. Mr. and Mrs. Holycross wish to build their residence on the parcel and must, therefore, 'lift' the Agricultural Covenant previously approved.

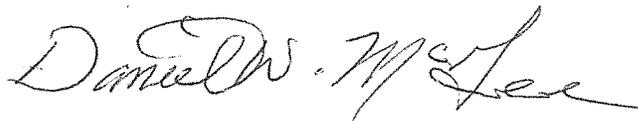
Per our conversation with Forrest Sanderson on September 21, 2022, attached to this transmittal are four copies of the required documents required for Preliminary Plat Review. Also attached is a flash drive containing the same said documents.

1. an 11 x 17 copy of the preliminary plat with vicinity map;
2. and aerial image of said Tract 2;
3. Preliminary Plat Application form with checklist of P. Plat requirements;
4. a copy of COS 2750 showing said Tract 2;
5. a copy of the Pre-Application Meeting Form logged 14 Sept 2021;
6. copy of Yellowstone Co. Structure Address Assignment;
7. copy of Yellowstone Co. Permit Tracking Sheet;
8. copy of Title Report (7 pages);
9. copy of Warranty Deed 3969356 showing David and Florence Holycross as the owners;
10. copy of proposed Subdivision Improvements Agreement & Waiver of Right to Protest;
11. Mutual Agreement Lifting Agricultural Covenant to be signed by Owners & Commissioners;
12. DEQ approval for Tract 2;
13. Yellowstone County Property Tax Information documents
14. a 24" x 36" paper copy of the Preliminary Plat.

I believe this should be all required documents for Preliminary Plat review and approval; if not, please advise me. Thank you .

Sincerely Yours,

Daniel W. McGee, PLS



PRELIMINARY PLAT OF
HOLYCROSS SUBDIVISION

A SUBDIVISION OF TRACT 2 OF CERTIFICATE OF SURVEY NO. 2750, DOC. NO. 1676687, LOCATED IN GOVERNMENT LOT 2 (SW1/4 NW1/4) OF SECTION 22, T.2S., R.24E., PMM, YELLOWSTONE COUNTY, MONTANA

PREPARED FOR: David and Florence Holycross, Owners

PREPARED BY: McGee and Company, Inc, Laurel, MT



0' 30' 60' 120'

SCALE: 1 INCH = 60 FEET

SURVEYED: DECEMBER 2021

● FOUND MCGEE REBAR & CAP MONUMENT

⊙ FOUND PIPE MONUMENT AS NOTED

⊘ POWER POLE

BASIS OF BEARINGS: CERTIFICATE OF SURVEY NO. 2750

Centerline Irrigation Ditch

Station	Line	Bearing	Distance	Angle
1+11	N	28°42'	71.0	0.0
1+14.63	N	37°26'	40.0	0.0
1+14.63	N	54°10'	40.0	0.0
1+18.14	N	37°32'	146.0	0.0
1+18.14	N	46°21'	21.7	0.0

Owners: Jussie Darrick & Kristie Fox
1648 Wilkins Road
Laurel, MT 59044-9569
Assessment Code: D028680
No Zoning

Point of Beginning

NW Corner, Tract 2, COS 2750 - Found 15" corner post
Pipe at fence

S.89°44'01"E 686.55'

LOT 1
4.4272 Acres gross & net

(formerly Tract 2 COS 2750, Doc. no. 1676687)
Owners: David & Florence Holycross, 801 E. 4th St.
Laurel, MT 59044-2801 Assessment Code: D02862A
No Zoning

(Tract 1 COS 2750)
Owners: Val & Amy Letcher
713 Roundhouse Drive,
Laurel, MT 59044-2455
Assessment Code: D028620
No Zoning

(Part of Danford Irrigation District facilities. District established by District Court Order, 1930, Doc. No. 159408)

45' WIDE PRIVATE ACCESS & UTILITY EASEMENT RESERVED PER THIS SURVEY ACROSS LOT 1 OF THIS SURVEY, THE DOMINANT ESTATE FOR THE BENEFIT OF GOVERNMENT LOT 4, T.2S., R.24E., THE SUBSERVIENT ESTATE.
< Location of 12' right-of-way easement, Doc. No. 3969412 > 704.7'

N.89°44'05"W. 864.96'

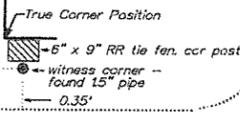
Owners: Michael Larinam & Ronald Yest
1818 Wilkins Road, Laurel, MT 59044-9571
Assessment Code: D028690
No Zoning

Centerline Irrigation Drainage Canal

(apparently part of Danford Irrigation District Facilities)
[1930] District Court Order, Document No. 159408

Station	Line	Bearing	Distance	Angle
1	N	48°51'	49.4	0.0
2	N	64°37'	24.6	0.0
3	N	64°08'	20.7	0.0
4	N	82°43'	74.7	0.0
5	N	87°54'	75.1	0.0
6	N	72°27'	104.5	0.0
7	N	86°21'	31.4	0.0
8	N	79°04'	68.6	0.0
9	N	73°19'	180.9	0.0

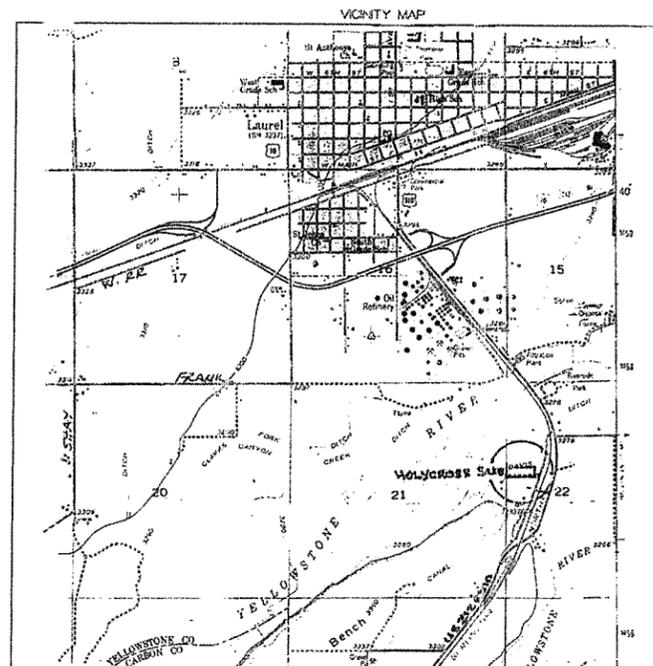
Detail



Government Lot 4 of Section 21, T.2S., R.24E.

Owners: Robert C. & Christine Ulrich & Jason Holycross
601 Wilkins Road, Laurel, MT 59044-2801
Assessment Code: D028650
No Zoning

Sec. 21 X Sec. 22



SITE DATA

Number of Lots = 1
Maximum Lot Area = 4.4272 Acres
Minimum Lot Area = 4.4272 Acres
Parkland = None
Linear Feet of Streets = Not Applicable
Net Area and Gross Area of Subdivision = 4.4272 Acres
Existing Zoning = None
Proposed Zoning = None
Existing Land Use = Open Pasture
Proposed Land Use = single family residence
Location of 100 year flood bndy per DEQ Application prepared by Engineering West, December 2021
Ownership, addresses, Assessment Codes, Zoning status obtained per Montana Cadastral Information.

1/4 SEC	SECTION	TOWNSHIP	RANGE	MCGEE & COMPANY	
GLot 2	22	2 S	24 E	LAUREL, MONTANA 59044	
DRAWN: gwm				SCALE: 1 IN = 60 FT	
CHECKED:				CLIENT: D. HOLYCROSS	
PLAT NO. YELLOWSTONE COUNTY, PM, MONTANA				DATE: 10/6/2022	
C/S NO. 2750				PROJECT NO. 21-3303	
SHEET 1 OF 1				REVISION: 10/28/2022	
				FILE: \3303PP.gcd	

YELLOWSTONE COUNTY CLERK & RECORDER FILING DATA

SUBDIVISION IMPROVEMENTS AGREEMENT
FOR
HOLYCROSS SUBDIVISION

THE PURPOSE OF THIS SUBDIVISION is to change the status of the lands included in Tract 2 of Certificate of Survey No. 2750 from the current status of an “Agricultural Exempted” tract to a residential Lot. Therefore, the said lands must go through a subdivision process with Yellowstone County through the Laurel City-County Planning Department as well as with the Montana Department of Environmental Quality.

THIS AGREEMENT, made and entered into this _____ day of _____, 20__ by and between David and Florence Holycross, owners and developers of the herein described lands, hereinafter referred to as “Subdivider”, and the COUNTY OF YELLOWSTONE, MONTANA, hereinafter referred to as “County”.

WITNESSETH:

THAT WHEREAS, at a meeting held by the Laurel City-County Board of Planning on _____-, the Board approved, subject to certain recommendations, an area known as **HOLYCROSS SUBDIVISION**, located in Yellowstone County, Montana, and recommended its approval to the County Commissioners,

WHEREAS, a Subdivision Improvements Agreement is required between the County and Subdivider prior to the approval of the final plat by the County Commissioners,

NOW, THEREFORE, the parties to this Agreement, for and in consideration of mutual promises herein contained and for other good and valuable consideration, do hereby agree as follows:

I. GENERAL

1. The subdivision proposes one single-family residential home.

II. ACCESS

1. Access to the subdivision is via an existing approach off of Wilkins Road, formerly US Highway 212 & 310.
2. An additional 45 foot wide private access and utility easement along the south boundary of the proposed subdivision will provide access to adjacent lands to the West as provided per an existing easement granted to Jason D. Holycross, recorded April 26, 2021 under Document NO. 3969412.
3. Maintenance of the access and utility easement within the subdivision shall be the responsibility of the owner/subdivider and the owner of the lands to the west.

III. IMPROVEMENTS

1. Lot owners within the subdivision will be individually responsible for the costs and installation of the following improvements prior to occupation of the dwelling:
 - Individual water supply systems, including any domestic water well, piping, etc., and all according to the approved plans and specifications by the Department of Environmental Quality.
 - Individual sewage disposal systems, including any septic tanks, distribution boxes, leach lines, etc., and all according to the approved plans and specifications by the Department of Environmental Quality.

Holycross Subdivision, Subdivision Improvements Agreement, page 2

IV. WEED MANAGEMENT

- 1. All Noxious Weeds on the latest Yellowstone County Noxious Weed List, must be controlled on all properties in the subdivision. All cost of Noxious Weed Control is the responsibility of the developer.

V. ENFORCEMENT AND AMENDMENT

- 2. In the event it becomes necessary for either party to this Agreement to retain an attorney to enforce any of the terms or conditions of this Agreement or to give any notice required herein, the prevailing party or the party giving notice shall be entitled to reasonable attorney's fees and costs.
- 3. The covenants, agreements and statements in this Agreement apply to and shall be binding on the heirs, personal representatives, successors and assigns of the respective parties.
- 4. Any amendments or modifications of this Agreement or any provision herein shall be made in writing and executed in the same manner as this original document, and shall, after execution, become part of the Agreement.
- 5. The owners of the properties involved in this proposed subdivision by signature subscribed herein below agree, consent and shall be bound by the provisions of this Agreement.
- 6. It is further agreed that this Subdivision Improvements Agreement is hereby accompanied by a Waiver of Protest for the intent and purpose that change, modifications, or additions to said improvements that may be deemed necessary at some future date may be accomplished, and this property be included in future Special Improvement and/or Rural Special Improvement Districts (SIDs/RSIDs) which reference, expressly incorporated herein and made a part hereof.

IN WITNESS WHEREOF, the parties hereunto have set their hands and official seals on the date first above written.

"SUBDIVIDER".

David Holycross, Owner

Florence Holycross, Owner

STATE OF MONTANA)
County of Yellowstone)ss

On this _____ day of _____, 20___, before me, a Notary Public for the State of Montana, personally appeared David Holycross and Florence Holycross, known to me to be the persons who signed the foregoing instrument, and acknowledged to me that they executed the same. IN WITNESS THEREOF, I set my hand and seal the day and year herein above written.

Notary Public for the State of Montana
Residing at _____
My Commission expires _____

Holycross Subdivision, Subdivision Improvements Agreement, page 3

“COUNTY”

BOARD OF COUNTY COMMISSIONERS OF YELLOWSTONE COUNTY, MONTANA

Chairman

Commissioner

Commissioner

Attest: County Clerk and Recorder

STATE OF MONTANA)

County of Yellowstone)

On this _____ day of _____, 2000, before me, a Notary Public
for the State of Montana, personally appeared _____,

_____, and _____, known to me to be the
Board of County Commissioners and the County Clerk and Recorder all of Yellowstone County, Montana, the persons who
signed the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS THEREOF, I set my hand and seal the day and year herein above written.

Notary Public for the State of Montana
Residing at _____
My Commission expires _____

HOLYCROSS SUBDIVISION
WAIVER OF RIGHTS TO PROTEST

FOR VALUABLE CONSIDERATION, the undersigned, the Owners of the hereinafter described real property, do hereby waive the right to protest the formation of one or more Rural Special Improvement District(s) (RSID), or Special Improvement District(s) (SID) for the construction and or maintenance of streets, curbs and gutters, sidewalks, driveways, survey monuments, street name signs, street lights, street light energy and maintenance, traffic control devices on site and off site as determined by an overall traffic accessibility study, sanitary sewer lines, water lines, valley gutters, culverts, storm sewer lines either within or without the area to provide drainage for runoff water from the real property hereinafter described, park improvements and park maintenance district, and other incidental improvements which the County of Yellowstone may require.

The waiver and agreement shall run with the land and shall be binding upon the undersigned, their successors and assigns, and shall be recorded in the office of the County Clerk and Recorder of Yellowstone County, Montana.

The above referenced real property is more particularly described as follows, to-wit:

HOLYCROSS SUBDIVISION, a subdivision of Tract 2 of Certificate of Survey no. 2750, recorded under Document No.1676687, according to the record subdivision plat thereof on file and of record in the office of the Clerk and Recorder of Yellowstone County, Montana.

WAIVER signed and dated this _____ day of _____, 20__.

"SUBDIVIDERS":

David Holycross

Florence Holycross

STATE OF MONTANA)

ss

County of Yellowstone)

On this _____ day of _____, 20____, before me, a Notary Public for the State of Montana, personally appeared David Holycross and Florence Holycross, known to me to be the persons who signed the foregoing instrument, and acknowledged to me that they executed the same. IN WITNESS THEREOF, I set my hand and seal the day and year herein above written.

Notary Public for the State of Montana
Residing At _____
My Commission expires _____

Holycross Subdivision, Waiver of Right to Protest, page 2

“COUNTY”

BOARD OF COUNTY COMMISSIONERS OF YELLOWSTONE COUNTY, MONTANA

Chairman

Commissioner

Commissioner

Attest: County Clerk and Recorder

STATE OF MONTANA)

County of Yellowstone)

On this _____ day of _____, 2000, before me, a Notary Public

for the State of Montana, personally appeared _____,

_____, and _____, known to me to be the Board of County Commissioners and the County Clerk and Recorder all of Yellowstone County, Montana, the persons who signed the foregoing instrument, and acknowledged to me that they executed the same.

IN WITNESS THEREOF, I set my hand and seal the day and year herein above written.

Notary Public for the State of Montana
Residing at _____
My Commission expires _____



July 21, 2022

Jeremy Eaton, PE
Engineering West
PO Box 194
Columbus, MT 59019

RE: Tr 2 COS 2750
Yellowstone County
EQ# 22-1730

Dear Jeremy:

The plans and supplemental information relating to the water supply, sewage, solid waste disposal, and storm drainage (if any) for the above referenced division of land have been reviewed as required by ARM Title 17 Chapter 36(101-805) and have been found to be in compliance with those rules.

Two copies of the Certificate of Subdivision Plat Approval are enclosed. The original is to be filed at the office of the county clerk and recorder. The duplicate is for your personal records.

Development of the approved subdivision may require coverage under the Department's General Permit for Storm Water Discharges Associated with Construction Activity, if your development has construction-related disturbance of one or more acre. If so, please contact the Storm Water Program at (406) 444-3080 for more information or visit the Department's storm water construction website at <https://deq.mt.gov/water/assistance>. Failure to obtain this permit (if required) prior to development can result in significant penalties.

In addition, your project may be subject to Federal regulations relating to Class V injection wells. Please contact the United States Environmental Protection Agency regarding specific rules that may apply.

Your copy is to inform you of the conditions of the approval. Please note that you have specific responsibilities according to the plat approval statement primarily with regard to informing any new owner as to any conditions that have been imposed.

If you have any questions, please contact this office.

Sincerely,

Margarite Juarez Thomas, Section Supervisor
Public Water and Subdivision Review Section

cc: County Sanitarian
County Planning Board (e-mail)
Owner

STATE OF MONTANA
DEPARTMENT OF ENVIRONMENTAL QUALITY
CERTIFICATE OF SUBDIVISION PLAT APPROVAL
(Section 76-4-101 et seq.)

TO: County Clerk and Recorder
Yellowstone County
Billings, Montana

E.Q.#22-1730

THIS IS TO CERTIFY THAT the plans and supplemental information relating to the subdivision known as **Tract 2 COS 2750**

Located in SW1/4, NW1/4 Section 22, T2S, R24E, P.M.M., Yellowstone County,
Montana containing 4.4272 acres

Consisting of one (1) lot has been reviewed by personnel of the Permitting and Compliance Division, and,

THAT the documents and data required by ARM Chapter 17 Section 36 have been submitted and found to be in compliance therewith, and,

THAT the approval of the Certificate of Survey (COS) is made with the understanding that the following conditions shall be met:

THAT the lot size as indicated on the COS to be filed with the county clerk and recorder will not be further altered without approval, and,

THAT the lot shall be used for one (1) 3-bedroom living unit and one (1) shop with 2-bedroom apartment as shown on the approved plans, and,

THAT the individual water system will consist of a well drilled to a minimum depth of 25 feet constructed in accordance with the criteria established in Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM and the most current standards of the Department of Environmental Quality, and,

THAT the shared wastewater treatment system will consist of a septic tank, effluent filter and a dose tank followed by a pressure-dosed system of such size and descriptions as will comply with Title 17, Chapter 36, Sub-Chapters 1, 3 & 6 ARM and the most current standards of the Department of Environmental Quality, and shall be constructed in accordance with the approved plans and specifications provided by Engineering West dated December 7, 2021, and,

THAT the bottom of the drainfield shall be at least four feet above the water table, and,

THAT no sewage treatment system shall be constructed within 100 feet of the maximum highwater level of a 100-year flood of any stream, lake, watercourse, or irrigation ditch, nor within 100 feet of any domestic water supply source, and,

THAT the storm drainage approval requires seven (7) retention ponds to be constructed and installed according to the approved plans provided by Engineering West dated December 7, 2021, and,

THAT the operation and maintenance of the water supply, sewage treatment system, and stormwater facilities shall be the responsibility of the lot owner, and,

THAT water supply systems, sewage treatment systems and storm drainage systems will be located as shown on the approved plans, and,

THAT the developer and/or owner of record shall provide the purchaser of property with a copy of the COS, approved location of water supply, sewage treatment system, and storm drainage facilities as shown on the attached lot layout, and copy of this document. and,

THAT instruments of transfer for this property shall contain reference to these conditions, and,

THAT plans and specifications for any proposed building along with improvements will be reviewed and approved by the county health department and will comply with local regulations and ARM, Title 17, Chapter 36, Subchapters 3 and 9, before construction is started.

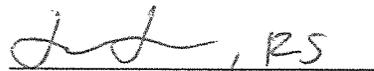
THAT departure from any criteria set forth in the approved plans and specifications and Title 17, Chapter 36, Sub-Chapters 1, 3, and 6 ARM when erecting a structure and appurtenant facilities in said subdivision without Department approval, is grounds for injunction by the Department of Environmental Quality.

Pursuant to Section 76-4-122 (2)(a), MCA, a person must obtain the approval of both the State under Title 76, Chapter 4, MCA, and local board of health under section 50-2-116(1)(i), before filing a subdivision plat with the county clerk and recorder.

YOU ARE REQUESTED to record this certificate by attaching it to the COS filed in your office as required by law.

DATED this 21st day of July, 2022.

Christopher Dorrington, Director



gov

Margarite Juarez Thomas
Public Water & Subdivision Section
Engineering Bureau
Water Quality Division
Department of Environmental Quality

Owner's Name: David & Florence Holycross

Guarantee

9/28/22



SG-08015517

File Number: B2226400T

SUBJECT TO THE EXCLUSIONS FROM COVERAGE, THE LIMITS OF LIABILITY AND OTHER PROVISIONS OF THE CONDITIONS AND STIPULATIONS HERETO ANNEXED AND MADE A PART OF THIS GUARANTEE, AND SUBJECT TO THE FURTHER EXCLUSION AND LIMITATION THAT NO GUARANTEE IS GIVEN NOR LIABILITY ASSUMED WITH RESPECT TO THE IDENTITY OF ANY PARTY NAMED OR REFERRED TO IN SCHEDULE A OR WITH RESPECT TO THE VALIDITY, LEGAL EFFECT OR PRIORITY OF ANY MATTER SHOWN THEREIN.

Old Republic National Title Insurance Company, a Florida corporation, herein called the Company,
GUARANTEES

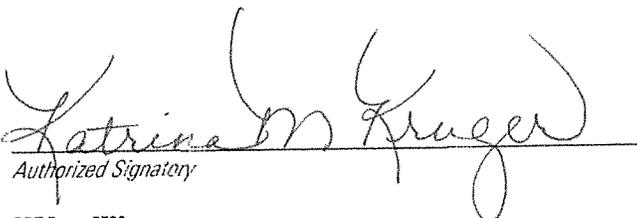
the Assured named in Schedule A, against actual monetary loss or damage not exceeding the liability amount of stated in Schedule A which the Assured shall sustain by reason of any incorrectness in the assurances set forth in Schedule A.

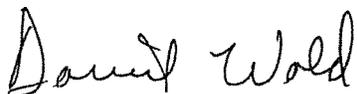
IN WITNESS WHEREOF, OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY has caused its corporate name and seal to be hereunto affixed by its duly authorized officers, the Guarantee to become valid when countersigned on Schedule A by an authorized officer or agent of the Company.

Policy Issuer:
FMT OF BILLINGS, LLC FIRST MONTANA TITLE OF BILLING
2737 MONTANA AVENUE
BILLINGS, MT 59101-1924
PHONE: (406) 248-3000

Issued by:

OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
A Stock Company
400 Second Avenue South, Minneapolis, Minnesota 55401
(612) 371-1111


Katrina M Kruger
Authorized Signatory

By  *C. Monroe* President
Attest  *David Wald* Secretary

GUARANTEE CONDITIONS AND STIPULATIONS

1. Definition of Terms.

The following terms when used in the Guarantee mean:

- a. the "Assured": the party or parties named as the Assured in this Guarantee, or on a supplemental writing executed by the Company.
- b. "land": the land described or referred to in Schedule (A)(C) or in Part 2, and improvements affixed thereto which by law constitute real property. The term "land" does not include any property beyond the lines of the area described or referred to in Schedule (A)(C) or in Part 2, nor any right, title, interest, estate or easement in abutting streets, roads, avenues, alleys, lanes, ways or waterways.
- c. "mortgage": mortgage, deed of trust, trust deed, or other security instrument.
- d. "public records": records established under state statutes at Date of Guarantee for the purpose of imparting constructive notice of matters relating to real property to purchasers for value and without knowledge.
- e. "date": the effective date.

2. Exclusions from Coverage of this Guarantee.

The Company assumes no liability for loss or damage by reason of the following:

- (a) Taxes or assessments which are not shown as existing liens by the records of any taxing authority that levies taxes or assessments on real property or by the public records.
- (b) (1) Unpatented mining claims; (2) reservations or exceptions in patents or in Acts authorizing the issuance thereof; (3) water rights, claims or title to water: whether or not the matters excluded by (1), (2) or (3) are shown by the public records.
- (c) Assurances to title to any property beyond the lines of the land expressly described in the description set forth in Schedule (A)(C) or in Part 2 of this Guarantee, or title to streets, roads, avenues, alleys, lanes, ways or waterways in which such land abuts, or the right to maintain therein vaults, tunnels, ramps or any other structure or improvement; or any rights or easements therein unless such property, rights or easements are expressly and specifically set forth in said description.
- (d) (1) Defects, liens, encumbrances, or adverse claims against the title, if assurances are provided as to such title, and as limited by such assurances.
(2) Defects, liens, encumbrances, adverse claims or other matters (a) whether or not shown by the public records, and which are created, suffered, assumed or agreed to by one or more of the Assureds; (b) which result in no loss to the Assured; or (c) which do not result in the invalidity or potential invalidity of any judicial or non-judicial proceeding which is within the scope and purpose of assurances provided.

3. Notice of Claim to be Given by Assured Claimant.

An Assured shall notify the Company promptly in writing in case any knowledge shall come to an Assured hereunder of any claim of title or interest which is adverse to the title to the estate or interest, as stated herein, and which might cause loss or damage for which the Company may be liable by virtue of this Guarantee. If prompt notice shall not be given to the Company, then all liability of the Company shall terminate with regard to the matter or matters for which such prompt notice is required; provided, however, that failure to notify the Company shall in no case prejudice the rights of any Assured under this Guarantee unless the Company shall be prejudiced by such failure and then only to the extent of the prejudice.

4. No Duty to Defend or Prosecute.

The Company shall have no duty to defend or prosecute any action or proceeding to which the Assured is a party, notwithstanding the nature of any allegation in such action or proceeding.

5. Company's Option to Defend or Prosecute Actions; Duty of Assured Claimant to Cooperate.

Even though the Company has no duty to defend or prosecute as set forth in Paragraph 4 above:

- (a) The Company shall have the right, at its sole option and cost, to institute and prosecute any action or proceeding, interpose a defense, as limited in (b), or to do any other act which in its opinion may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured, or to prevent or reduce loss or damage to the Assured. The Company may take any appropriate action under the terms of this Guarantee, whether or not it shall be liable hereunder, and shall not thereby concede liability or waive any provision of this Guarantee. If the Company shall exercise its rights under this paragraph, it shall do so diligently.
- (b) If the Company elects to exercise its options as stated in Paragraph 5(a) the Company shall have the rights to select counsel of its choice (subject to the right of such Assured to object for reasonable cause) to represent the Assured and shall not be liable for and will not pay the fees of any other counsel, nor will the Company pay any fees, costs or expenses incurred by an Assured in the defense of those causes of action which allege matters not covered by this Guarantee.
- (c) Whenever the Company shall have brought an action or interposed a defense as permitted by the provisions of this Guarantee, the Company may pursue any litigation to final determination by a court of competent jurisdiction and expressly reserves the right, in its sole discretion, to appeal from an adverse judgment or order.

- (d) In all cases where this Guarantee permits the Company to prosecute or provide for the defense of any action or proceeding, the Assured hereunder shall secure to the Company the right to prosecute or provide defense of any action or proceeding, and all appeals therein, and permit the Company to use, at its option, the name of such Assured for this purpose. Whenever requested by the Company, an Assured, at the Company's expense, shall give the Company all reasonable aid in any action or proceeding, securing evidence, obtaining witnesses, prosecuting or defending the action or lawful act which in the opinion of the Company may be necessary or desirable to establish the title to the estate or interest as stated herein, or to establish the lien rights of the Assured. If the Company is prejudiced by the failure of the Assured to furnish the required cooperation, the Company's obligations to the Assured under the Guarantee shall terminate.

6. Proof of Loss or Damage.

In addition to and after the notices required under Section 3 of these Conditions and Stipulations have been provided to the Company, a proof of loss or damage signed and sworn to by the Assured shall be furnished to the Company within 90 days after the Assured shall ascertain the facts giving rise to the loss or damage. The proof of loss or damage shall describe the matters covered by this Guarantee which constitute the basis of loss or damage and shall state, to the extent possible, the basis of calculating the amount of the loss or damage. If the Company is prejudiced by the failure of the Assured to provide the required proof of loss or damage, the Company's obligation to such assured under the Guarantee shall terminate. In addition, the Assured may reasonably be required to submit to examination under oath by any authorized representative of the Company and shall produce for examination, inspection and copying, at such reasonable times and places as may be designated by any authorized representative of the company, all records, books, ledgers, checks, correspondence and memoranda, whether bearing a date before or after Date of Guarantee, which reasonably pertain to the loss or damage. Further, if requested by any authorized representative of the Company, the Assured shall grant its permission, in writing, for any authorized representative of the Company to examine, inspect and copy all records, books, ledgers, checks, correspondence and memoranda in the custody or control of a third party, which reasonably pertain to the loss or damage. All information designated as confidential by the Assured provided to the Company pursuant to this Section shall not be disclosed to others unless, in the reasonable judgment of the Company, it is necessary in the administration of the claim. Failure of the Assured to submit for examination under oath, produce other reasonably requested information or grant permission to secure reasonably necessary information from third parties as required in the above paragraph, unless prohibited by law or governmental regulation, shall terminate any liability of the Company under this Guarantee to the Assured for that claim.

7. Options to Pay or Otherwise Settle Claims: Termination of Liability.

In case of a claim under this Guarantee, the Company shall have the following additional options:

- (a) To Pay or Tender Payment of the Amount of Liability or to Purchase the Indebtedness.
The Company shall have the option to pay or settle or compromise for or in the name of the Assured any claim which could result in loss to the Assured within the coverage of this Guarantee, or to pay the full amount of this Guarantee or, if this Guarantee is issued for the benefit of a holder of a mortgage or a lienholder, the Company shall have the option to purchase the indebtedness secured by said mortgage or said lien for the amount owing thereon, together with any costs, reasonable attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of purchase.
Such purchase, payment or tender of payment of the full amount of the Guarantee shall terminate all liability of the Company hereunder. In the event after notice of claim has been given to the Company by the Assured the Company offers to purchase the indebtedness, the owner of such indebtedness shall transfer and assign said indebtedness, together with any collateral security, to the Company upon payment of the purchase price.
Upon the exercise by the Company of the option provided for in Paragraph (a) the Company's obligation to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 5, and the Guarantee shall be surrendered to the Company for cancellation.
- (b) To Pay or Otherwise Settle With Parties Other Than the Assured or With the Assured Claimant.
To pay or otherwise settle with other parties for or in the name of an Assured claimant any claim assured against under this Guarantee, together with any costs, attorneys' fees and expenses incurred by the Assured claimant which were authorized by the Company up to the time of payment and which the Company is obligated to pay.
Upon the exercise by the Company of the option provided for in Paragraph (b) the Company's obligations to the Assured under this Guarantee for the claimed loss or damage, other than to make the payment required in that paragraph, shall terminate, including any obligation to continue the defense or prosecution of any litigation for which the Company has exercised its options under Paragraph 5.

8. Determination and Extent of Liability.

This Guarantee is a contract of indemnity against actual monetary loss or damage sustained or incurred by the Assured claimant who has suffered loss or damage by reason of reliance upon the assurances set forth in this Guarantee and only to the extent herein described, and subject to the exclusions stated in Paragraph 2.

The liability of the Company under this Guarantee to the Assured shall not exceed the least of:

- (a) the amount of liability stated in Schedule A;
- (b) the amount of the unpaid principal indebtedness secured by the mortgage of an Assured mortgagee, as limited or provided under Section 7 of these Conditions and Stipulations or as reduced under Section 10 of these Conditions and Stipulations, at the time the loss or damage assured against by this Guarantee occurs, together with interest thereon; or

- (c) the difference between the value of the estate or interest covered hereby as stated herein and the value of the estate or interest subject to the defect, lien or encumbrance assured against by this Guarantee.

9. Limitation of Liability.

- (a) If the Company establishes the title, or removes the alleged defect, lien or encumbrance, or cures the any other matter assured against by this Guarantee in a reasonably diligent manner by any method, including litigation and the completion of any appeals therefrom, it shall have fully performed its obligations with respect to that matter and shall not be liable for any loss or damage caused thereby.
- (b) In the event of any litigation by the Company or with the Company's consent, the Company shall have no liability for loss or damage until there has been a final determination by a court of competent jurisdiction, and disposition of all appeals therefrom, adverse to the title, as stated herein.
- (c) The Company shall not be liable for loss or damage to any Assured for liability voluntarily assumed by the Assured in settling any claim or suit without the prior written consent of the Company.

10. Reduction of Liability or Termination of Liability.

All payments under this Guarantee, except payments made for costs, attorneys' fees and expenses pursuant to Paragraph 5 shall reduce the amount of liability pro tanto.

11. Payment of Loss.

- (a) No payment shall be made without producing this Guarantee for endorsement of the payment unless the Guarantee has been lost or destroyed, in which case proof of loss or destruction shall be furnished to the satisfaction of the Company.
- (b) When liability and the extent of loss or damage has been definitely fixed in accordance with these Conditions and Stipulations, the loss or damage shall be payable within 30 days thereafter.

13. Subrogation Upon Payment or Settlement.

Whenever the Company shall have settled and paid a claim under this Guarantee, all right of subrogation shall vest in the Company unaffected by any act of the Assured claimant.

The Company shall be subrogated to and be entitled to all rights and remedies which the Assured would have had against any person or property in respect to the claim had this Guarantee not been issued. If requested by the Company, the insured claimant shall transfer to the Company all rights and remedies against any person or property necessary in order to perfect this right of subrogation. The Assured shall permit the Company to sue, compromise or settle in the name of the Assured and to use the name of the Assured in any transaction or litigation involving these rights or remedies.

If a payment on account of a claim does not fully cover the loss of the Assured the Company shall be subrogated to all rights and remedies of the Assured after the Assured shall have recovered its principal, interest, and costs of collection.

13. Arbitration.

Unless prohibited by applicable law, either the Company or the Assured may demand arbitration pursuant to the Title Insurance Arbitration Rules of the American Arbitration Association. Arbitrable matters may include, but are not limited to, any controversy or claim between the Company and the Assured arising out of or relating to this Guarantee, any service of the Company in connection with its issuance or the breach of a Guarantee provision or other obligation. All arbitrable matters when the Amount of Liability is \$1,000,000 or less shall be arbitrated at the option of either the Company or the Assured. All arbitrable matters when the Amount of Liability is in excess of \$1,000,000 shall be arbitrated only when agreed to by both the Company and the Assured. The Rules in effect at Date of Guarantee shall be binding upon the parties. The award may include attorneys' fees only if the laws of the state in which the land is located permits a court to award attorneys' fees to a prevailing party. Judgment upon the award rendered by the Arbitrator(s) may be entered in any court having jurisdiction thereof.

The law of the situs of the land shall apply to an arbitration under the Title Insurance Arbitration Rules.

A copy of the Rules may be obtained from the Company upon request.

14. Liability Limited to this Guarantee; Guarantee Entire Contract.

- (a) This Guarantee together with all endorsements, if any, attached hereto by the Company is the entire Guarantee and contract between the Assured and the Company. In interpreting any provision of this Guarantee, this Guarantee shall be construed as a whole.
- (b) Any claim of loss or damage, whether or not based on negligence, or any action asserting such claim, shall be restricted to this Guarantee.
- (c) No amendment of or endorsement to this Guarantee can be made except by a writing endorsed hereon or attached hereto signed by either the President, a Vice President, the Secretary, an Assistant Secretary, or validating officer or authorized signatory of the Company.

15. Notices, Where Sent.

All notices required to be given the Company and any statement in writing required to be furnished the Company shall include the number of this Guarantee and shall be addressed to: Old Republic National Title Insurance Company, 400 Second Avenue South, Minneapolis, Minnesota 55401, (612) 371-1111.

Subdivision Guarantee

Issued by

Old Republic Title Insurance Company

Liability: \$1,000.00

Premium: \$200.00

Effective Date: September 28, 2022, at 05:00 PM

Guarantee No: SG-08015517

1. Assured: **David Holycross**

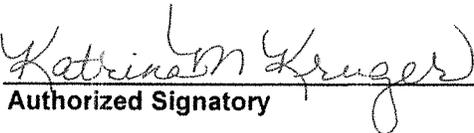
2. The estate or interest in the land described or referred to in this Commitment is **Fee Simple**

3. Title to the **Fee Simple** estate or interest in the land is at the Effective Date vested in:
David A. Holycross and Florence Holycross, as joint tenants with right of survivorship

4. The land referred to in this Commitment is described as follows:

That part of Government Lot 2, Section 22, Township 2 South, Range 24 East, of the Principal Montana Meridian, in Yellowstone County, Montana, described as Tract 2, Certificate of Survey No. 2750, on file in the office of the Clerk and Recorder of said County, under Document No. 1676686.

Countersigned
FMT of Billings LLC

By 
Authorized Signatory

SCHEDULE B - PART 1

Defects, liens encumbrances or other matters affecting title:

1. **General and special taxes, and assessments for the year 2022, which are a lien, but not yet computed or payable. Tax Code No. D02862A.**

Including any future or pending SID assessments that may be assessed by the city or county tax authorities.

NOTE: General and special taxes and assessments for the year 2021 which are paid in full in the amount of \$524.19.

2. **All easements for utilities, services, ditches, roads or trails, or any limitation to access, across the subject property, depicted and referenced in plats or surveys of said property, or apparent from physical examination and inspection of the premises.**
3. **Notice of underground natural gas pipeline facilities, executed by Williston Basin Interstate Pipeline Company, and filed January 20, 1987, under Document No. 1426410.**
4. **Easement for pipe lines and matters incidental thereto, dated October 20, 1921, granted to John McFadyen, recorded March 16, 1922, in Book 80, Page 600, under Document No. 157752.**

Various instruments appear of record affecting the interests of the parties to said easement, but neither this Commitment nor the forthcoming Policy covers an examination of or insurance as to the effect thereof, or the present ownership, encumbrances on, or condition of said easement.

5. **Terms, conditions, provisions, obligations and easements associated with the Danford Irrigation District, notice of which is contained in Decree, recorded October 02, 1920, in Book 3, of Orders and Decrees, Page 526, under Document No. 159408**
6. **Easement for an electric transmission and distribution line or system and matters incidental thereto, dated May 4, 1938, granted to Yellowstone Valley Electrification Association, recorded March 11, 1939, in Book 210, Page 225, under Document No. 336263.**

and re-recorded recorded March 17, 1939, in Book 210, Page 469, under Document No. 338339.

7. **Easement granted to Interstate Oil Pipe Line Company, recorded March 17, 1949, in Book 340, Page 5, under Document No. 448239.**

Various instruments appear of record affecting the interests of the parties to said easement, but neither this Commitment nor the forthcoming Policy covers an examination of or insurance as to the effect thereof, or the present ownership, encumbrances on, or condition of said easement.

8. **Effect of Declaration of Agricultural Covenant contained upon the face of Certificate of Survey No. 2750, filed March 29, 1993, under Document No. 1676686.**
9. **Terms, conditions and provisions contained in State of Montana Department of Health and Environmental Sciences Certificate of Plat Approval, recorded March 29, 1993, under Document No. 1676687**
10. **Effect of Resolution Designation of Controlled Access Highway and Facility, dated November 17, 2011, executed by the Montana Transportation Commission to the Public, recorded December 06, 2011, under Document No. 3607485.**
11. **Notice of Federal Tax Lien for the amount herein stated and any other amounts due.**
Against: David A & Florence Holycross
Amount: \$11,926.24
Filed: January 15, 2020
Document No.: 3908482
12. **Easement for a permanent right of way easement of 12 feet wide on the south side of burdened property, dated April 23, 2021, granted to Jason D. Holycross, recorded April 26, 2021, under Document No. 3969412.**

End of Schedule B

MUTUAL AGREEMENT LIFTING AGRICULTURAL COVENANT

Dated _____

This agreement is made between the County of YELLOWSTONE, by the Board of County Commissioners, and DAVID A. HOLYCROSS AND FLOREENCE HOLYCROSS, owners of the following described lands, to wit:

LEGAL DESCRIPTION: Tract 2 of Certificate of Survey No. 2750, under Document no. 1676687.

The above described lands were previously surveyed and platted with said Tract 2 of COS no. 2750 created using the exemption allowed under § 76-3-207 (1) (c), MCA for “divisions made outside of platted subdivisions by gift, sale, or agreement in which the parties to the transaction enter a covenant running with the land and revocable only by mutual consent of the governing body and the property owner that the divided land will be used exclusively for agricultural purposes”. A declaration of Agricultural Covenant was contained on the face of the said Certificate of Survey no. 2750.

The landowners hereby request, and the governing body hereby agree, that the agricultural exemption on the above-described tract of land is hereby removed with the filing of the Lot 1 of Holycross Subdivision, as document number _____, which complies with the Montana Subdivision and Platting Act and the Montana Sanitation in Subdivisions Act and regulations in removing the agricultural covenant.

Owner: David A Holycross

Owner: Florence Holycross

State of Montana)
County of Yellowstone) ss

On this ___ day of _____, 20___ before me _____, a Notary Public for the State of Montana, personally appeared David A. Holycross and Florence Holycross, who executed the within instrument.

MUTUAL AGREEMENT LIFTING AGRICULTURAL COVENANT

Dated _____

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Owner: David A Holycross

Owner: Florence Holycross

State of Montana)
County of Yellowstone) ss

On this ___ day of _____, 20____ before me _____, a Notary Public for the State of Montana, personally appeared David A. Holycross and Florence Holycross, who executed the within instrument.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my official seal the day and year first above written.

(seal)

Print name: _____
Notary Public for the State of Montana
Residing at: _____
My Commission Expires: _____

Approved by the Board of County Commissioners of Yellowstone County:

Chairman Don Jones

Commissioner John Ostlund

Commissioner Denis Pitman

ATTEST:

Clerk & Recorder: Jeff Martin

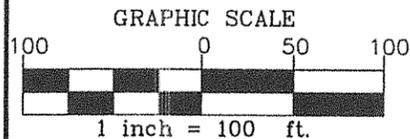
STATE OF MONTANA)
 ss
County of Yellowstone)

On this ____ day of _____, 20____, before me, _____,
a Notary Public for the State of Montana, personally appeared, Don Jones, as Chairman,
John Ostlund, and Denis Pitman, members of the Board of County Commissioners, and
Jeff Martin, County Clerk and Recorder, known to me to be the persons whose names are
subscribed to the within instrument and acknowledged to me that they executed the same.

IN WITNESS WHEREOF, I have hereunto set my hand and affixed my notary seal the day and year first above written.

(seal)

Print Name: _____
Notary Public for the State of Montana
Residing at Billings, Montana.
My commission expires _____

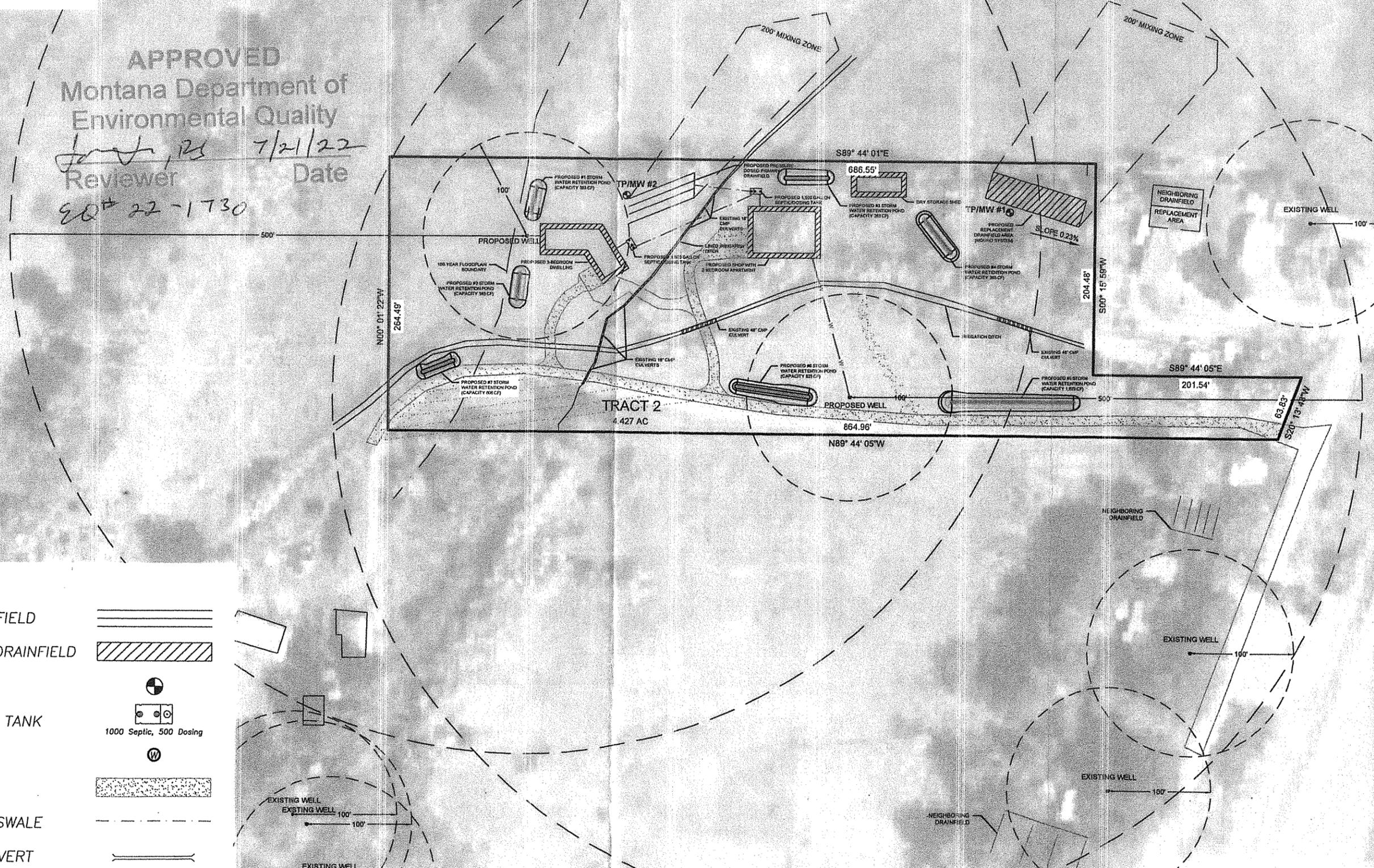


APPROVED
Montana Department of
Environmental Quality

John, RS 7/21/22
Reviewer Date
EQ# 22-1730

NOTES:

- 1) ELEVATIONS SHOWN ARE NOT IN RESPECT TO A PARTICULAR DATUM.
- 2) THE WELL SHALL BE DRILLED USING THE WATER WELL DRILLER'S STANDARDS AS SET FORTH IN ARM 36.21, SUBCHAPTER 6.
- 3) ALL NEIGHBORING WATER AND SEWER FACILITIES WITHIN 100 LINEAR FEET OF PARCEL ARE SHOWN.
- 4) DESIGNATED FLOODPLAIN IN AREA OF PARCEL IS SHOWN.
- 5) THE PROPERTY OWNER SHALL INSTALL A MINIMUM OF 30,000 SQUARE FEET OF LAWN TO MITIGATE THE STORM WATER GENERATED FROM THE PROPOSED HARD SURFACES.



LEGEND:

- PRIMARY DRAINFIELD
- REPLACEMENT DRAINFIELD
- SOIL TEST PIT
- SEPTIC/DOSING TANK
- WELL
- GRAVEL DRIVE
- STORM WATER SWALE
- PROPOSED CULVERT

P.O. BOX 194
COLUMBUS, MT 59019
PHONE 322-1116
WWW.ENGINEERING-WEST.COM



DRAWN BY: CW	CHECKED BY: JE	SCALE: 1" = 100'
DATE: 12/07/2021	REV. DATE: --/--	REVISION: --
YELLOWSTONE COUNTY		
TOWNSHIP: 2S	RANGE: 24E	SECTION: 22

TRACT 2 OF CERTIFICATE OF SURVEY 2750

LOT LAYOUT

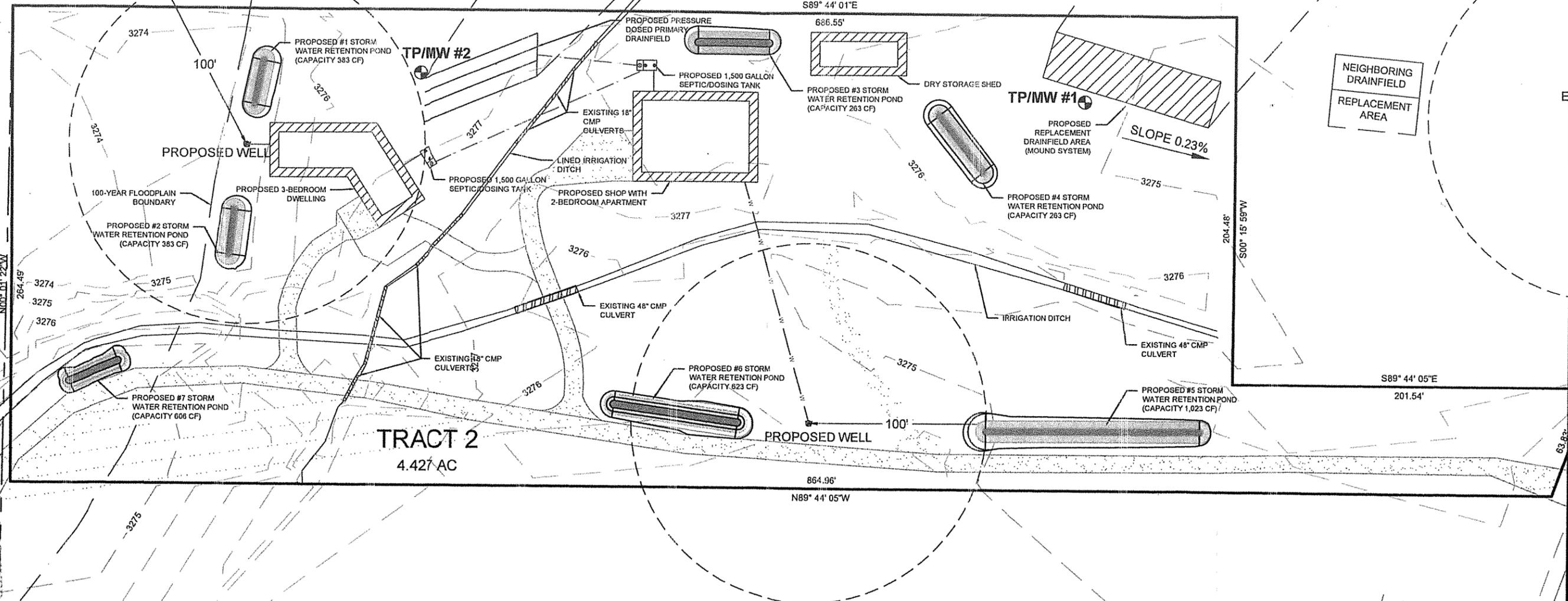
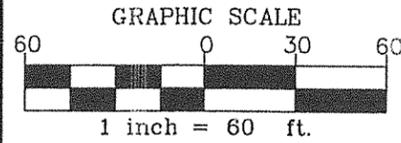
SHEET

1 27

MT DEQ PUBLIC WATER & SEWER DIVISION

DEC 20 2021

RECEIVED



LEGEND:

- PRIMARY DRAINFIELD
- REPLACEMENT DRAINFIELD
- SOIL TEST PIT
- SEPTIC/DOSING TANK
- WELL
- GRAVEL DRIVE

NOTES:

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APPROVED
 Montana Department of
 Environmental Quality
[Signature] 7/21/22
 Reviewer Date
 20#22-1730

P.O. BOX 194
 COLUMBUS, MT 59019
 PHONE 322-1116
 WWW.ENGINEERING-WEST.COM



DRAWN BY: CW	CHECKED BY: JE	SCALE: 1" = 60'
DATE: 12/07/2021	REV. DATE: --	REVISION: --
TOWNSHIP: 25		RANGE: 24E
SECTION: 22		YELLOWSTONE COUNTY

TRACT 2 OF CERTIFICATE OF SURVEY 2750
 LOT LAYOUT

MT DEPARTMENT OF ENVIRONMENTAL QUALITY
 RECEIVED
 DEC 20 2021

PRELIMINARY PLAT APPLICATION

Subdivision Name: Holy Cross Subdivision

Date of Preapplication Meeting: 9/14/2021

Type: Major _____ First Minor Subsequent Minor _____

Tax Code: DO2862A

Location: ± 1 mile South of CHS Refinery along Hwy 310/212

Legal Description: TRACT 2 OF COS 2750 (Doc. # 1676687)

Gov't Lot 2, 1/4 Section: SW⁴ NW⁴ Township: 2S. Range: 24E.

General Location: _____

Subdivider Information:

Name (Include a list of officers, if corporation): SAME AS OWNER

Address: _____

Telephone: _____ Email: _____

Owner Information:

Name DAVID & FLORENCE HOLYCROSS

Address 801 E. 4th Street, LAUREL 59044-2801

Telephone: 406-855-2178 Email: dholycross77@hotmail.com

Plat Data:

Gross Area: 4.4272 AC Net Area: 4.4272 AC

Number of Lots: 1

Maximum Lot Size: 4.4272 AC Minimum Lot Size: 4.4272 AC

Existing Zoning: NONE

Surrounding Zoning:

North: NONE

South: "

East: "

West: "

Existing Land Use: OPEN PASTURE

Proposed Land Use: SINGLE FAMILY RESIDENCE

Parkland Requirement: NONE

Land: _____ Acres: _____

Cash: _____ Cash: \$ _____

Attachment C
PRELIMINARY PLAT REQUIREMENTS

The following information is required for all preliminary plat submittals

Submittal Copies

- _____ 24"x36" plat and supplements (number of copies specified by staff)
- _____ 11"x17" plat and supplements (number of copies specified by staff)
- 1 Electronic copy of plat (in AutoCad ® or ArcInfo ® format) and supplements (a high quality scanned copy in .jpg or .pdf may suffice if other formats are unavailable)
- 1 Electronic copy of plat (in .jpg or .pdf format)

Plat Contents:

- ✓ 1. Subdivision name that does not duplicate an existing subdivision name
- ✓ 2. Legal description including quarter section, Township and Range
- ✓ 3. Owner, subdivider (if different from owner), engineer and surveyor ✓
- ✓ 4. Date plat was prepared
- ✓ 5. North arrow and scale bar
- ⊗ 6. Vicinity map of sufficient detail to locate the subdivision
- ✓ 7. Names and addresses of adjoining property owners
- ✓ 8. Names of adjoining subdivisions and certificates of survey
- ✓ 9. Location of all existing physical features on land adjacent to and within subdivision, including but not limited to:
 - NA • Structures
 - ✓ • Utilities
 - ✓ • Irrigation facilities
 - NA • Rock outcrops
 - NA • Areas of 25% slope or greater
- ✓ 10. Locations and dimensions of:
 - NA • Proposed streets and street names that do not duplicate existing street names
 - NA • Sidewalks and/or pathways, trails
 - ✓ • Alleys, internal private streets, driveways
 - ✓ • Easements
 - NA • Parkland
 - NA • Street centerline curve radii

11. Proposed layout of:

(SEE DEQ SUBMITTAL APP)

- NA • Water distribution system
- NA • Sanitary sewer system
- NA • Storm drainage facilities
- NA • Location of nearest available utilities

12. Lot lines, lot numbers, lot areas and block numbers

13. Site data including:

- Number of lots
- Maximum lot area
- Minimum lot area
- Area of parkland
- Linear feet of streets
- Net and gross acreage of land to be subdivided
- ✓ Existing and proposed zoning NA
- Existing and proposed land use

NA 14. Tentative finished grades of each street indicated by spot elevations

15. Location of streams, lakes, wetlands, floodplain boundaries, and land subject to flooding

NA 16. In case of a subsequent subdivision, the subdivision superimposed on a copy of the existing plat

✓ 17. All plats shall be neatly drawn in a professional manner

NA 18. All plats to be filed as an addition to the City shall be noted in title

SEE DEQ APP 19. Contour lines of not more than five (5) foot intervals; where lots are proposed on slopes 10% or less, contours must be shown at 2 foot intervals

✓ 20. Approximate location of all sections lines and corners pertinent to the proposed subdivision.

HOLYCROSS SUBDIVISION

Untitled Map

Write a description for your map.



APPENDIX C: Pre-Application Meeting Form

Pre-Application Meeting Form*

Application Date: 09/14/2021

Name of Owner: David Holycross & Florence Holycross Phone: 406-628-8345

Address: 801 East 4th Street Laurel Mt. 59044

Name of subdivision (if known): _____

Surveyor/Engineer: _____ Phone: _____

Address: _____

Parcel Description

Legal Description: S22, T02 S, R24 E, C.O.S. 2750, PARCEL 2

General Location: 1740 Wilkins Road Laurel Mt. 59044

Parcel Size: 4.4272

Number of Lots: 1

Existing Zoning: Agriculture

Proposed Zoning: Residential

Existing and Proposed Use: Vacant Land – Rural and Improved Property – Rural

* This application shall be accompanied by 6 conceptual drawings at least one (1) week in advance of the pre-application meeting.

City of Laurel Received stamp:

PO Box 10 (City)

Laurel, Mt. 59044

406-628-4796

(Ord. 07-01 (part), 2007)



STRUCTURE ADDRESS ASSIGNMENT

YELLOWSTONE COUNTY GIS

217 N. 27th St., Room 305, Billings, MT 59101
P.O. Box 35043, Billings, MT 59107
Phone 406 256-2812 / Fax 406 256-2736

Request Number: 20582

Note: The Legal owner displayed reflects the current tax years billing records.

SITE INFORMATION:

coming off Wilkins Rd on an existing approach

Township: 2S Range: 24E Section: 22 Zoning:

CoS: CS 2750 Tract: TR 2

Subdivision: Block: Lot:

Property Owner Name: HOLYCROSS, DAVID & FLORENCE

TaxID: D02862A Applicant Name: David Holycross
(if different from Owner)

YOUR LEGAL PHYSICAL ADDRESS IS: **1740 WILKINS RD**

* * * * *

IMPORTANT NOTES

If you establish an address without valid address documentaion from the GIS Department, or your structure is mapped and found to be different than where reported, it may be necessary to re-issue the address for the structure.

It is the duty of each property owner to post new property numbers in a viewable location within 30 days following the assignment of an address from the GIS Department. Having your address numbers clearly visible from the street is one of the most important things you can do to ensure swift response by emergency personnel in the event of an emergency. Per your request, a metal plate and adhesive numbers can be obtained from the GIS Department for installation at your property.

Once the GIS Department hass assigned an address, they will notify other departments such as the Department of Revenue, Elections, Post Offices, utility companies and the 9-1-1 agencies. However, the resident must contact the appropriate Post Office to set up mail delivery and determine the correct community and zip code portions of their address. Regardless of where your mail is delivered, you need an accurate physical address to receive timely emergency service.

This is your only authorized proof of address - be sure to use the exact address as noted on this form. You may be required to present this form to various agencies as proof of your legally-authorized address. (e.g., Post Office, Northwestern Energy, Bresnan Communications, Qwest, etc.)

Back



PERMIT TRACKING SHEET

YELLOWSTONE COUNTY, MONTANA

Request Number: 20582

Today's Date: 9/8/2021

Create Date: 9/8/2021

Disclaimer: The Legal owner displayed reflects the current tax years billing records.

GIS (Address Assignment) 217 North 27th Street, Room 305 (406)256-2812

Applicant Name: David Holycross
 Mailing Address: 801 E 4th ST, Laurel, MT 59044-
 Telephone: 406-855-2178
 Legal Owner: HOLYCROSS, DAVID & FLORENCE

Property or Site Description: coming off Wilkins Rd on an existing approach

Geocode: 03082122202050000 TaxID: D02862A Zoning Code:
 Township: 2S Range: 24E Section: 22
 CoS: CS 2750 Tract: TR 2
 Subdivision:
 Block: Lot:

Public Works (Approach Permit) 316 North 26th, Room 3201 (406)256-2735

Permit No. 20582 Road Status: County
 Inspection Completed (date) Problem OK X

Comments: Existing approach -

Review Completed By: rtallerico Date 9/8/2021

Floodplain Admin. (Floodplain Review) 316 North 26th, Room 3201 (406)256-2735

Permit No.

OK (Not in Floodplain)
 Problem: Property is in the floodplain of
 Apply for Permit (or reference Permit Number above)

Comments: Property has flood fringe and and 500 year. Applicant was told to stay away from those areas when building

Review Completed By: rtallerico Date: 9/8/2021

Riverstone Health (Septic System Permit) (406)256-2770

123 S. 27th Street, Lil Anderson Center, 4th Floor

Permit No.
 Inspection Completed (date) Problem OK

Comments:

Review Completed By: Date:

File Attachments for Item:

3. Approve sign permit for Bearhooth Pediatric Dental



SIGN PERMIT REQUEST

Date of application: 10-25-22

Business name: Beartooth Pediatric Dentistry

Location street address: 714 1st Ave., Suite 2, Laurel

Contractor name: Sign Products, Inc.

1425 Monad Rd.

Billings, MT 59101

406-252-6348

tgross@signproductsinc.com

Sign description:

A-install one single face wall sign

Site plan: see attached

Sign detail: see attached

Method of attachment: see attached

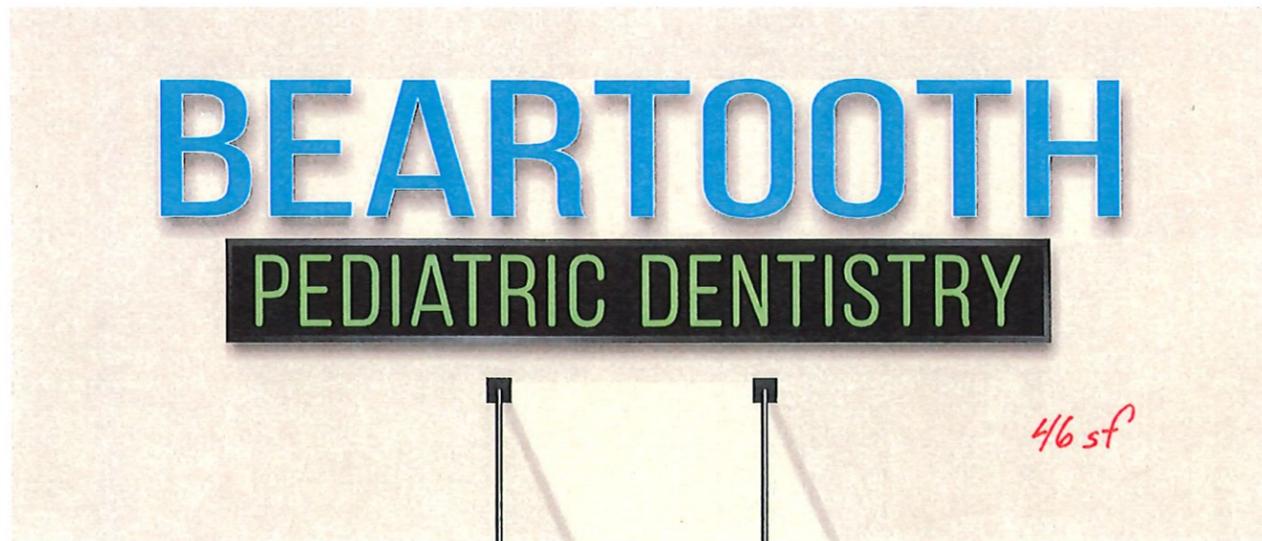
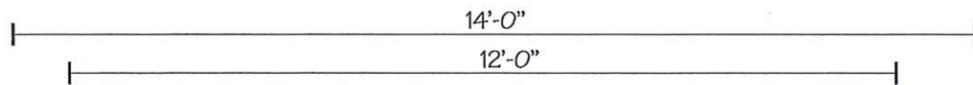
Submitted by:  _____

Tom Gross

1425 Monad Road, Billings, MT 59101
P.O. Box 20955, Billings, MT 59104
(P): 406-252-6348 (F): 406-252-6654
www.signproductsinc.com



PHOTO RENDERING NO SCALE



SINGLE FACED BUILDING SIGN WITH INDIVIDUAL LETTERS SCALE 3/8"=1'-0"

A MANUFACTURE AND INSTALL ONE S/F BUILDING SIGN. LETTERS ARE FABRICATED 5" DEEP ALUMINUM PAN CHANNELS WITH WHITE PRE-FINISHED RETURNS AND STAPLED ALUMINUM BACKS. #7328 WHITE ACRYLIC FACES WITH 1" WHITE TRIM CAP RETAINERS. APPLIED 3630-22 BLACK AND 3630-337 PROCESS BLUE VINYL. LOWER CABINET & LOGO CABINET ARE 5" DEEP TYPE IV EXTRUDED ALUMINUM WITH 1" RETAINERS. ENAMEL PAINT FINISH SATIN BLACK, WHITE POLYCARBONATE FACE WITH APPLIED 3630-22 BLACK AND 3630-138 LIME GREEN VINYL FILMS. ILLUMINATE ALL WITH SLOAN WHITE LEDS. MOUNT ALL FLUSH TO BUILDING CENTERED IN AREA SHOWN IN PHOTO RENDERING. REMOTE POWER SUPPLIES.

DESIGN As Designed
 Approval for Production With Changes

X
 Client Signature _____

Sales _____

DATE ____/____/____

This design is the property of Sign Products Inc. and all rights to its use or reproduction are reserved

DESIGNER TP
 SHEET # 1 OF 1

DESIGN # 19952-22
 SALES MIKE N.

DATE 10-05-22
 SCALE SHOWN

CLIENT BEARTOOTH PEDIATRIC DENTISTRY
 LAUREL, MT

SIGN PRODUCTS, INC.
 1425 MONAD, BILLINGS, MT 59104
 Phone: (406) 252-6348 Fax: (406) 252-6654

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>714 1st AVE, LAUREL (SUITE 2)</u>	
Owner <u>FIRST AVENUE CENTER LLC</u>	Telephone <u>406-248-3303</u>
Contractor <u>SIGN PRODUCTS, INC</u>	Subdivision <u>Ricci Minor Sub</u>
Address <u>1425 Monard Rd, Billings, MT 59101</u>	Lot <u>2</u> Block _____ Tract _____ Zoning <u>CC</u>
Telephone <u>406-252-6348</u>	Type: Addition _____ Fence _____ MH Install <u>ENTRYWAY OVERLAY</u>
City License <u>370</u>	New Structure _____ Remodel _____
Special Conditions _____	Valuation of Project \$ <u>8,644</u>
_____	Description of Work: <u>INSTALL ONE WALL SIGN</u>
Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____	

BUILDING Approved To Issue By _____ Date _____

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, it's officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

FEES AND CHARGES	
1000-323011 building	\$ _____
1000-323013 plumbing	\$ _____
1000-323014 plan review	\$ _____
1000-323055 fence	\$ _____
1000-323011 roof	\$ _____
1000-323018 investigation	\$ _____
1000-323053 sign	\$ _____
5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
1000-323011 mh install	\$ _____
1000-323011 re-inspection	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant [Signature] Date 10-26-22

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>714 1st Ave, Laurel (Suite 2)</u>	
Owner <u>FIRST AVENUE CENTER LLC</u>	Telephone <u>406-248-3303</u>
Contractor <u>SIGN Products Inc</u>	Subdivision <u>Ricci Minor Sub</u>
Address <u>1425 Monad Rd, Billings, MT 59101</u>	Lot <u>2</u> Block _____ Tract _____ Zoning <u>CC</u>
Telephone <u>406-252-6348</u>	Valuation of Project \$ <u>8,644</u> <small>ENTRY WAY OVERLAY</small>
City License <u>370</u>	Description of Work: <u>Install one Wall Sign</u>
Special Conditions _____	_____
_____	_____
Occupancy _____	Type of Construction _____
Number of Units _____	Total Square Feet _____
Rated Walls _____	

BUILDING Approved To Issue By _____	Date _____
--	------------

THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:

Footings	_____	Inspector	_____	Date Approved	_____
Foundation	_____	Inspector	_____	Date Approved	_____
Damp-proofing	_____	Inspector	_____	Date Approved	_____
Ground Inspection	_____	Inspector	_____	Date Approved	_____
Framing	_____	Inspector	_____	Date Approved	_____
Roofing	_____	Inspector	_____	Date Approved	_____
Insulation	_____	Inspector	_____	Date Approved	_____
Gypsum/Drywall	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____

FINAL INSPECTIONS

Fire	_____	Inspector	_____	Date Approved	_____
Building	_____	Inspector	_____	Date Approved	_____
Site Improvements	_____	Inspector	_____	Date Approved	_____

Call 628-4796 - 24 hours in advance to schedule inspections.

Do not cover or conceal any work before the required inspection has been approved.

This card and one set of approved plans must be available to the inspector at the job site during all inspections.

← 118' →

TENANT SPACE

← 42' →

SIGN

↑ 15' ↓

↑ 17' ↓

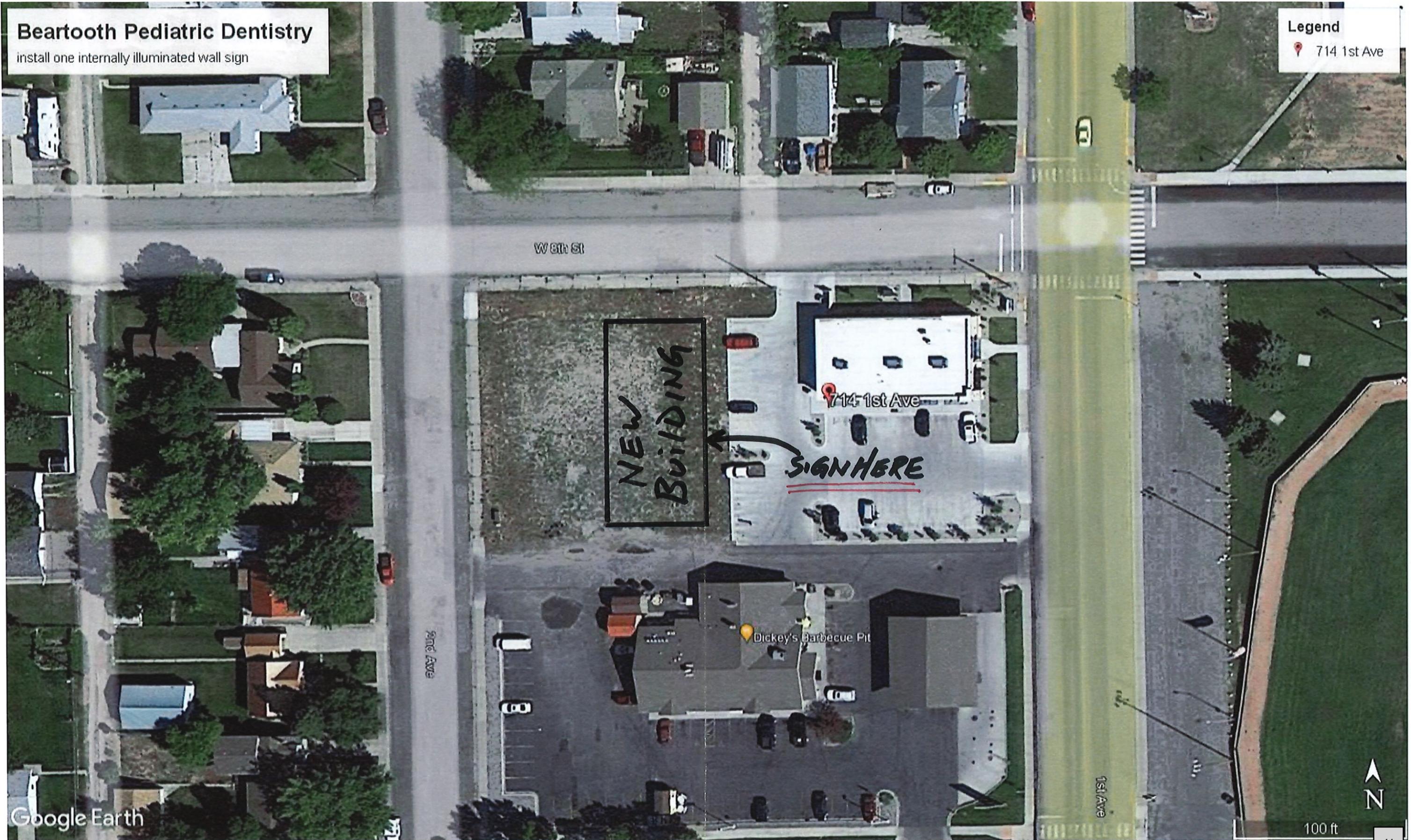
Wall Area:
 $15' \times 42' = 630 \text{ sf}$
 $\frac{630 \text{ sf}}{5} = 126 \text{ sf}$
New Sign is 46 sf

Beartooth Pediatric Dentistry

install one internally illuminated wall sign

Legend

📍 714 1st Ave



W 6th St

714 1st Ave

SIGN HERE

Dickey's Barbecue Pit

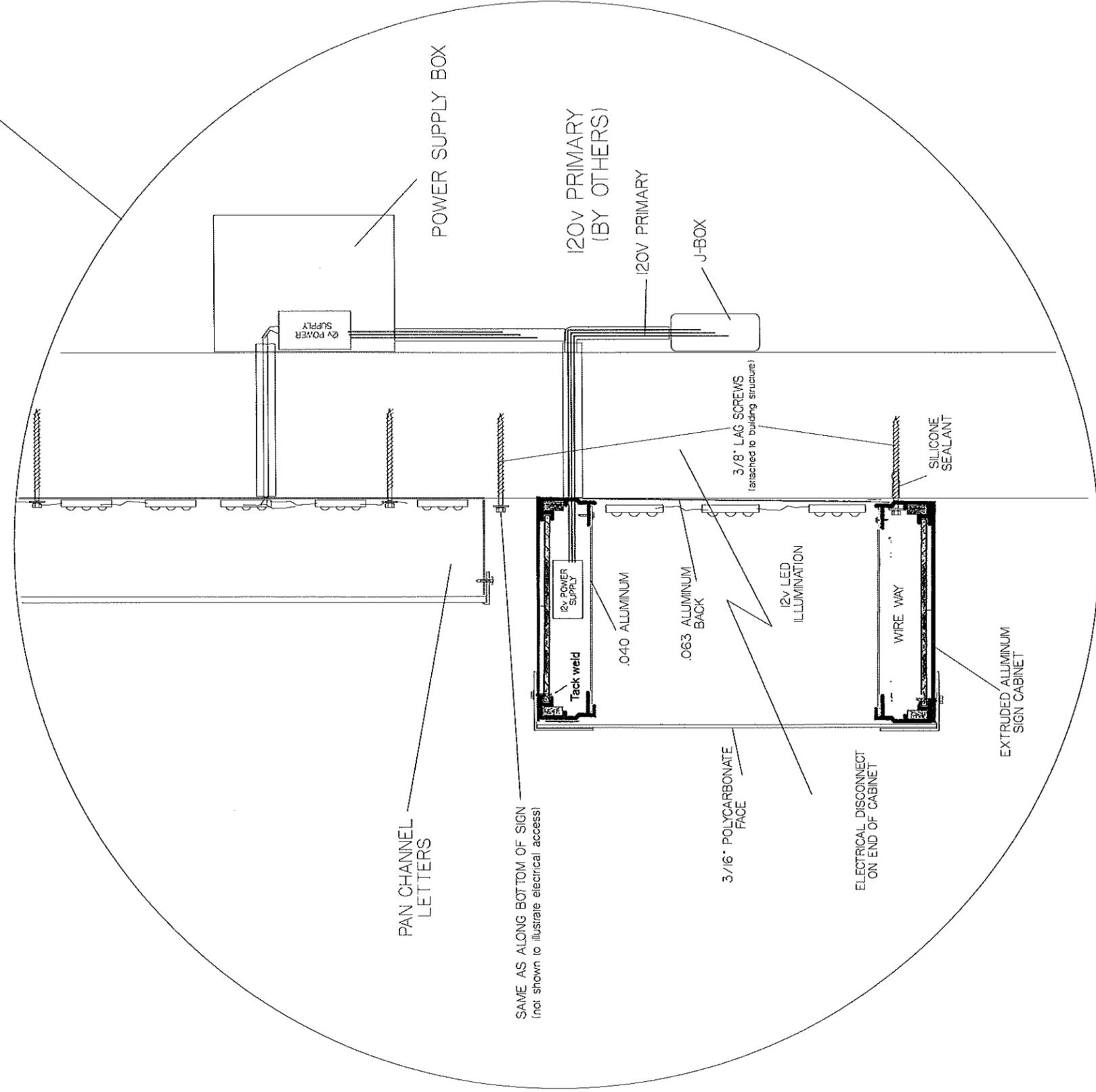
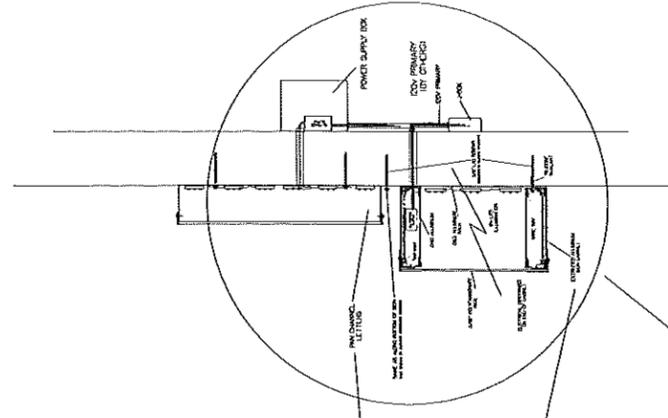
2nd Ave

1st Ave



100 ft

BEAR TOOTH PEDIATRIC DENTISTRY



File Attachments for Item:

4. Approve sign permit Albertsons



SIGN PERMIT REQUEST

Date of application: 11-7-22

Business name: Albertson's

Location street address: 205 S. 1st Ave., Laurel

Contractor name: Sign Products, Inc.

1425 Monad Rd.

Billings, MT 59101

406-252-6348

tgross@signproductsinc.com

Sign descriptions:

1-install one illuminated wall sign (logo)

2-install one set illuminated pan channel letters (Albertson's)

3-install one illuminated round wall sign (Starbucks)

4-install one illuminated logo with non-illuminated flat cut out letters (Drive Up & Go)

5-install one set illuminated pan channel letter (Pharmacy)

6-install one sign cabinet and pole cover on **existing** steel support pipes

Site plan: see attached

Sign detail: see attached

Method of attachment: see attached

** Note: All existing signs to be removed, Building is being remodelled*

Submitted by:  _____

Tom Gross

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>205 S. 1st Ave., Laurel</u>	
Owner <u>ALBERTSON'S</u>	Telephone <u>406-628-2315</u>
Contractor <u>SIGN PRODUCTS, Inc.</u>	Subdivision <u>HAGEMAN</u>
Address <u>1425 Monard Rd, Billings, MT 59101</u>	Lot <u>1,2,4</u> Block <u>1</u> Tract _____ Zoning <u>HC Entryway</u>
Telephone <u>406-252-6348</u>	Type: Addition _____ Fence _____ MH Install <u>over 14'</u>
City License <u>370</u>	New Structure _____ Remodel <input checked="" type="checkbox"/>
Special Conditions _____	Valuation of Project \$ _____
	Description of Work: <u>Replace all Signage</u>
Occupancy _____ Type of Construction _____	Number of Units _____ Total Square Feet _____ Rated Walls _____

BUILDING Approved To Issue By _____ Date _____

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, it's officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

FEES AND CHARGES	
1000-323011 building	\$ _____
1000-323013 plumbing	\$ _____
1000-323014 plan review	\$ _____
1000-323055 fence	\$ _____
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1000-323053 sign	\$ _____
5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
1000-323011 mh install	\$ _____
1000-323011 re-inspection	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant [Signature] - Tom Gross Date 11-7-22

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>205 S. 1ST AVE., LAUREL</u>	
Owner <u>ALBERTSON'S</u>	Telephone <u>406-628-2315</u>
Contractor <u>SIGN PRODUCTS, Inc.</u>	Subdivision <u>HAGEMAN</u>
Address <u>1425 Monard Rd, Billings, MT 59101</u>	Lot <u>1,2,4</u> Block <u>1</u> Tract _____ Zoning <u>HC</u>
Telephone <u>406-252-6348</u>	Valuation of Project \$ <u>19,500</u>
City License <u>370</u>	Description of Work: <u>Replace all Signage</u>
Special Conditions _____	_____
_____	_____
Occupancy _____	Type of Construction _____
Number of Units _____	Total Square Feet _____
Rated Walls _____	_____

BUILDING Approved To Issue By _____	Date _____
--	------------

THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:

Footings	_____	Inspector	_____	Date Approved	_____
Foundation	_____	Inspector	_____	Date Approved	_____
Damp-proofing	_____	Inspector	_____	Date Approved	_____
Ground Inspection	_____	Inspector	_____	Date Approved	_____
Framing	_____	Inspector	_____	Date Approved	_____
Roofing	_____	Inspector	_____	Date Approved	_____
Insulation	_____	Inspector	_____	Date Approved	_____
Gypsum/Drywall	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____

FINAL INSPECTIONS

Fire	_____	Inspector	_____	Date Approved	_____
Building	_____	Inspector	_____	Date Approved	_____
Site Improvements	_____	Inspector	_____	Date Approved	_____

Call 628-4796 - 24 hours in advance to schedule inspections.

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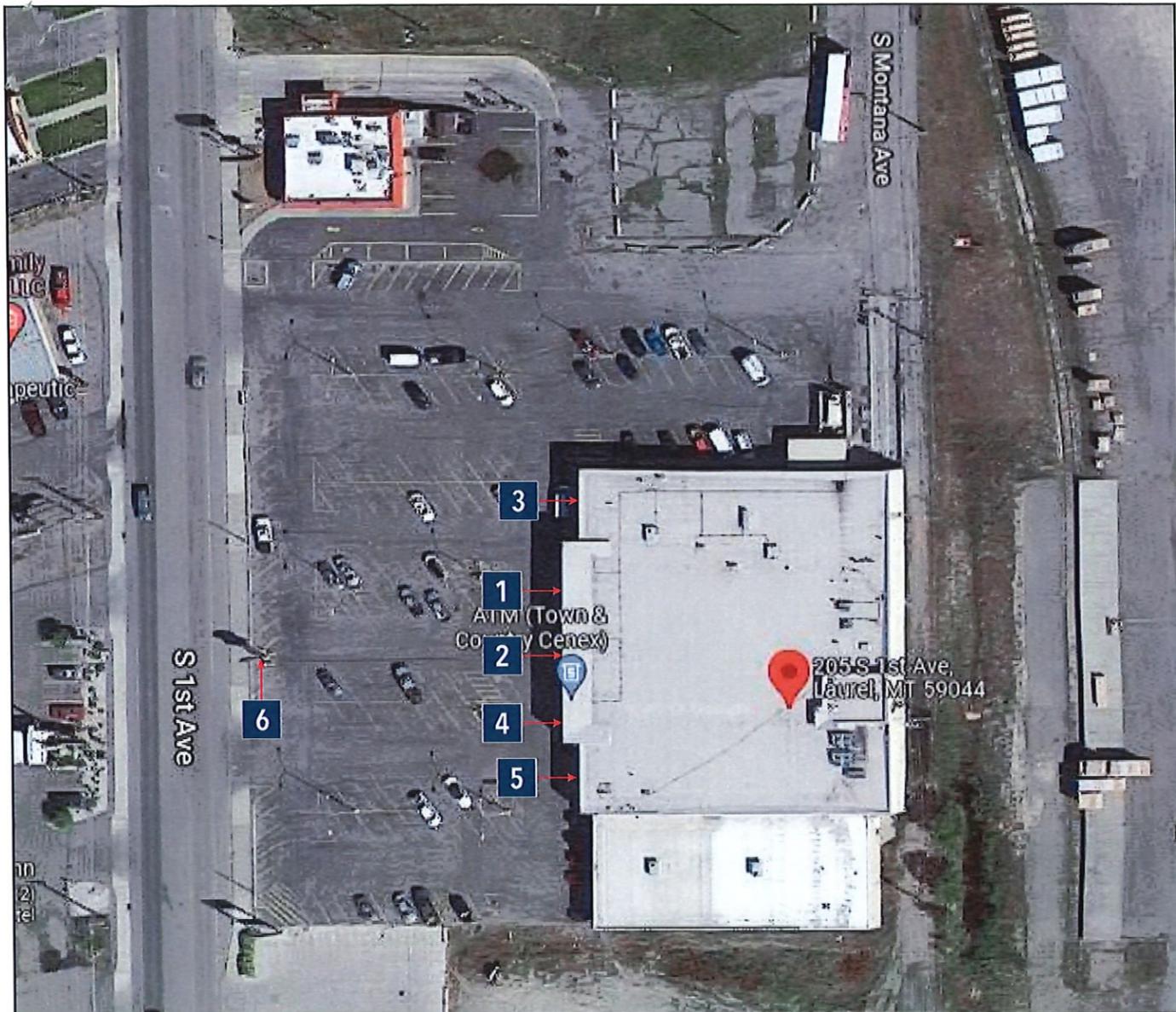
PREPARED ESPECIALLY FOR



Site #3447
205 S. 1st Ave.
Laurel, MT 59044

YOUR PARTNER IN BUILDING AN **OUTSTANDING** IMAGE





SITE MAP/AERIAL VIEW

SCALE: N.T.S.

DESIGN SIGN STATUS - MAIN ID WALL SIGNS			
SIGN #	LOCATION	SIGN TYPE	TECHNICALLY VERIFIED
1	WEST ELEVATION	LOGO - ILLUMINATED	X
2	WEST ELEVATION	CHANNEL LETTERS - ILLUMINATED	X

DESIGN SIGN STATUS - SECONDARY WALL SIGNS / DIRECTIONALS / PANELS			
3	WEST ELEVATION	CABINET- ILLUMINATED (STARBUCKS)	X
4	WEST ELEVATION	ILLUMINATED CAB W/NON ILLUMINATED FCO (DUG)	X
5	WEST ELEVATION	CHANNEL LETTERS - ILLUMINATED (PHARMACY)	X

DESIGN SIGN STATUS - FREESTANDING SIGNS			
6	1ST STREET	D/F PYLON SIGN - ILLUMINATED	X

DRAWING TYPE

CONCEPTUAL

TECHNICAL

REVISIONS

- 1) Update per proof (version 1).
- 2) Add second option for the pylon.
- 3) Update per proof (version 2).
- 4) Remove option 1 from the DUG sign. Mark all tech verified.
- 5) _____
- 6) _____

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

<p>...bringing your image to light!</p> <p>16265 Star Rd., Nampa, ID 83687 - toll free: 800.592.8058 - tele: 208.345.4020 imagenational.com</p>	<p>NAMPA PLANT - UL #433195-001</p> <p><small>U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.</small></p>	<p>Client: Albertsons</p>	<p>Date: 10/20/22</p>	<p>File Location: ALB-3447-Laurel, MT-102022-R4</p>	<p>Page No.</p>
		<p>Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044</p>	<p>Designer: Dave J</p> <p>Account Manager: Rory K. Paulson</p>		<p>2 of 14</p>



WEST ELEVATION

SCALE: 1/16" = 1'-0"

EXISTING SQ. FT.: N/A
 ALLOWED SQ. FT.: 1623
 PROPOSED SQ. FT.: 356.0 TOTAL OF ALL

GENERAL NOTES

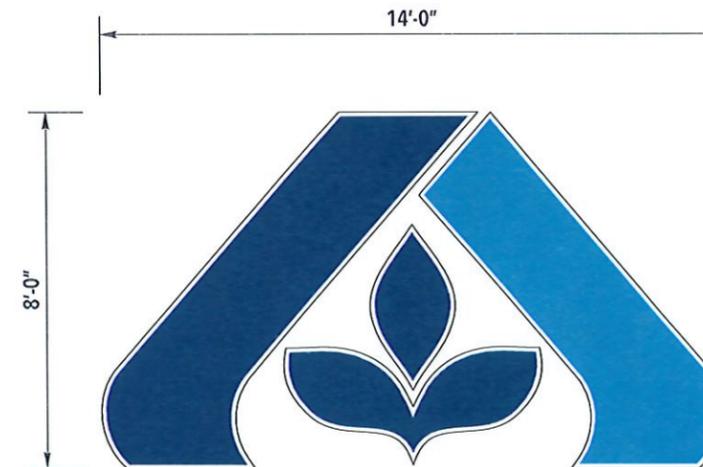
CITY CODE & ALLOWANCES

30% OF AREA OF ANY BUILDING FACADE.
 180'-4" x 30'-0" x .30=1623



SIMULATED NIGHT VIEW

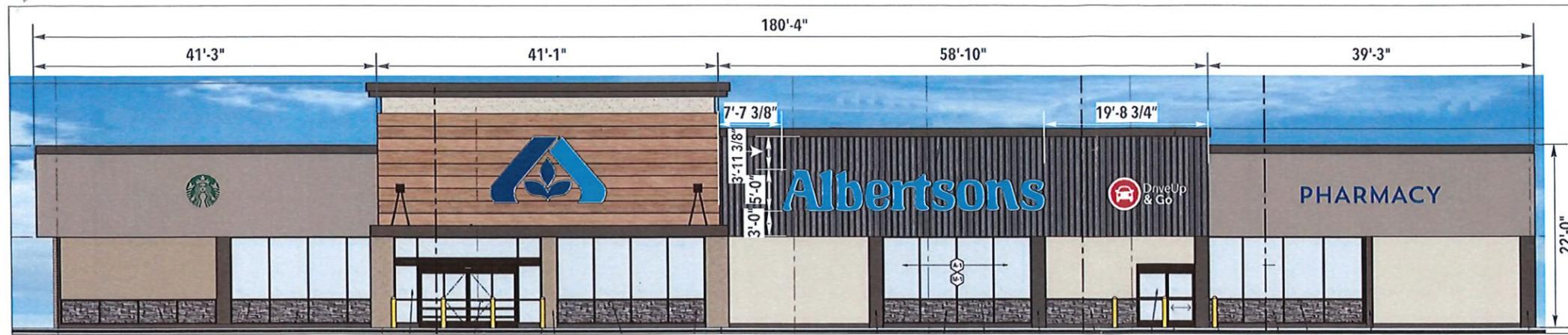
SCALE: N.T.S.



1 CUSTOM ILLUMINATED LOGO - REMOTE 112.0 SQ. FT.
 SCALE: 1/4" = 1'-0"

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

 ...bringing your image to light! 16265 Star Rd., Nampa, ID 83687 - toll free: 800.592.8058 - tele: 208.345.4020 imagenational.com	 UNDERWRITERS LABORATORIES ELECTRIC SIGN NAMPA PLANT - UL #433195-001 <small>U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.</small>	Client: Albertsons	Date: 10/20/22	File Location: ALB-3447-Laurel, MT-102022-R4	Page No.
		Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J Account Manager: Rory K. Paulson		3 of 14



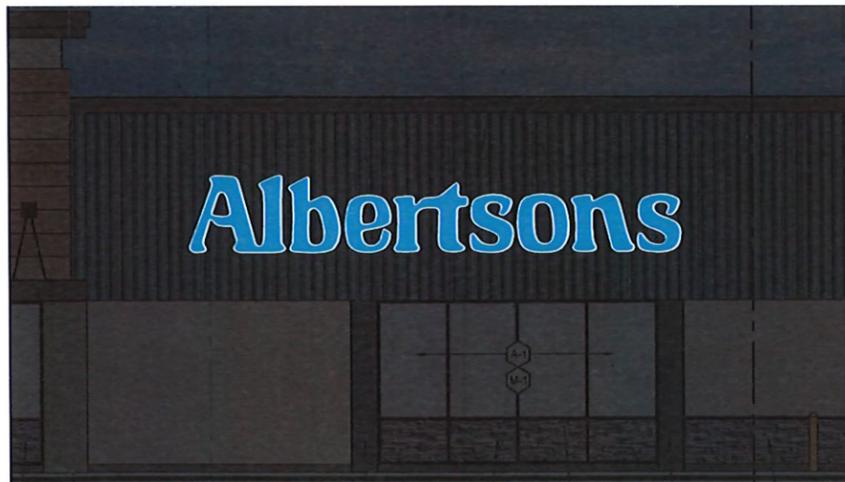
WEST ELEVATION

SCALE: 1/16" = 1'-0"

GENERAL NOTES

CITY CODE & ALLOWANCES

30% OF AREA OF ANY BUILDING FACADE.
180'-4" x 30'-0" x .30=1623



SIMULATED NIGHT VIEW

SCALE: N.T.S.



2 CUSTOM ILLUMINATED CHANNEL LETTERS - REMOTE
SCALE: 1/4" = 1'-0"

157.6 SQ. FT.

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

 ...bringing your image to light! 16265 Star Rd., Nampa, ID 83687 - toll free: 800.592.8058 - tele: 208.345.4020 imagenational.com	 UNDERWRITERS LABORATORIES ELECTRIC SIGN NAMPA PLANT - UL #433195-001 <small>U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.</small>	Client: Albertsons	Date: 10/20/22	File Location: ALB-3447-Laurel, MT-102022-R4	Page No.
		Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J Account Manager: Rory K. Paulson		4 of 14



WEST ELEVATION

SCALE: 1/16" = 1'-0"

GENERAL NOTES

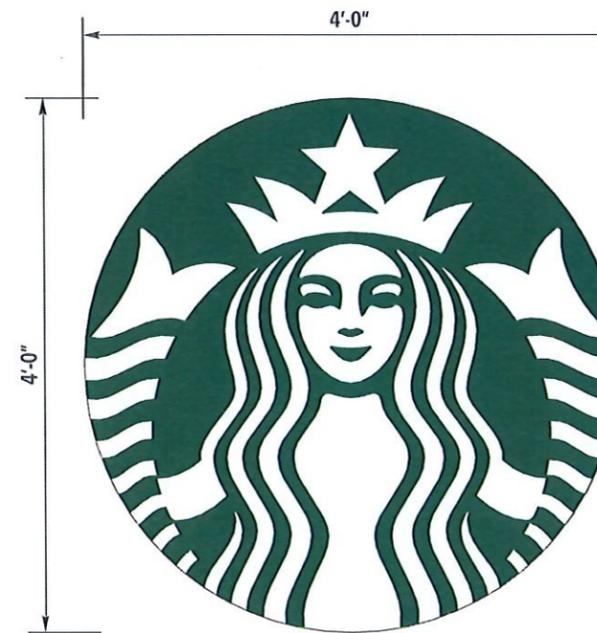
CITY CODE & ALLOWANCES

30% OF AREA OF ANY BUILDING FACADE.
180'-4" x 30'-0" x .30=1623



SIMULATED NIGHT VIEW

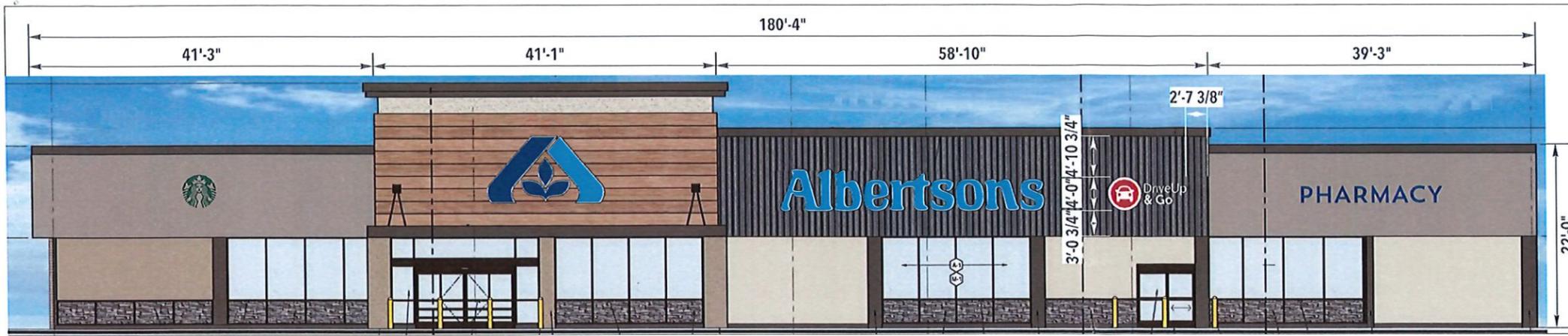
SCALE: N.T.S.



3 S/F ILLUMINATED CABINET - SELF CONTAINED 16.0 SQ. FT.
SCALE: 3/4" = 1'-0"

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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		Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J		5 of 14
		Account Manager: Rory K. Paulson			



WEST ELEVATION

SCALE: 1/16" = 1'-0"

GENERAL NOTES

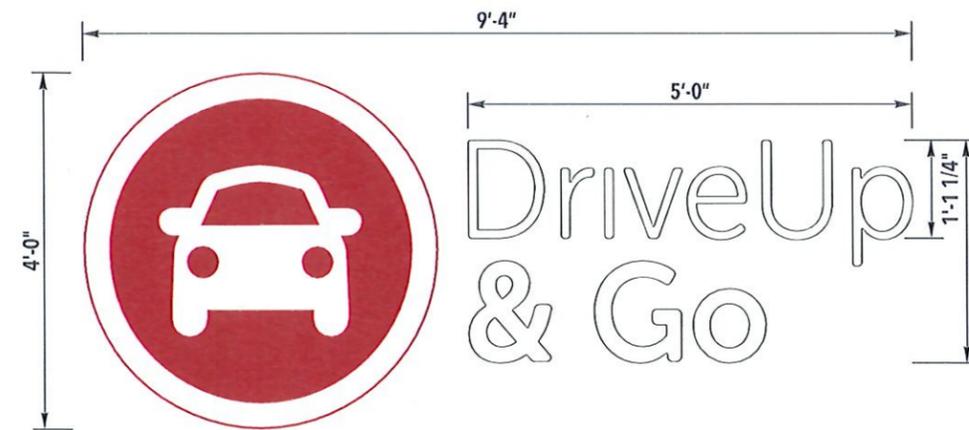
CITY CODE & ALLOWANCES

30% OF AREA OF ANY BUILDING FACADE.
180'-4" x 30'-0" x .30 = 1623



SIMULATED NIGHT VIEW

SCALE: N.T.S.



4 ILLUMINATED CABINET / NON-ILLUMINATED FCO (SELF CONTAINED)
SCALE: 1/2" = 1'-0"

37.3 SQ. FT.

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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		Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J Account Manager: Rory K. Paulson		6 of 14



WEST ELEVATION

SCALE: 1/16" = 1'-0"

GENERAL NOTES

CITY CODE & ALLOWANCES

30% OF AREA OF ANY BUILDING FACADE.
180'-4" x 30'-0" x .30=1623



SIMULATED NIGHT VIEW

SCALE: N.T.S.



5 ILLUMINATED CHANNEL LETTERS - REMOTE
SCALE: 3/8" = 1'-0"

34.0 SQ. FT.

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		Account Manager: Rory K. Paulson			

EXISTING CONDITIONS



1RST STREET

SCALE: 1/4" = 1'-0"

PROPOSED CONDITIONS

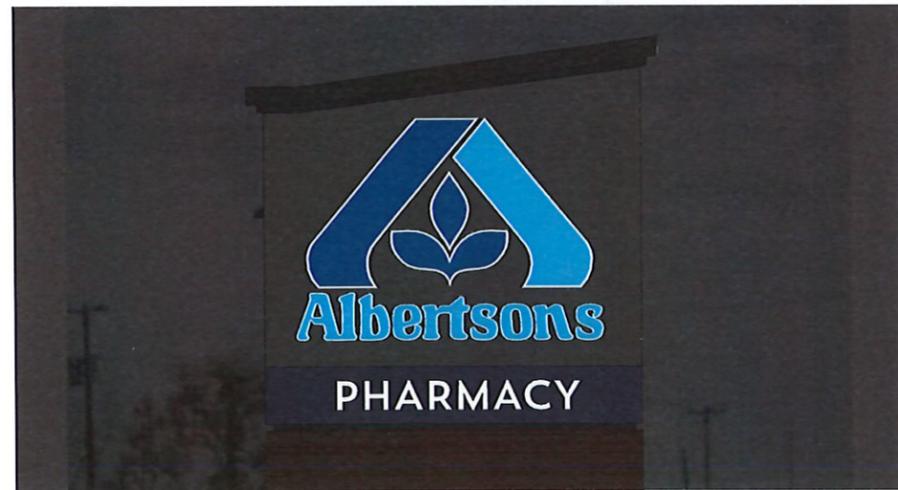


GENERAL NOTES

REMOVE RECYCLE/DISPOSE OF EXISTING CABINET AND EMC.
INSTALL NEW CABINET OVER EXISTING POLES.
SURVEY REQUIRED PRIOR TO MANUFACTURE.

CITY CODE & ALLOWANCES

SIGN LIMITED TO 160SF IN COPY AREA. NTE 40' OAH. IF THE PURPOSE OF SIGN IS TO ADDRESS INTERSTATE TRAFFIC, IT MAY BE A MAXIMUM OF 350 SF.



SIMULATED NIGHT VIEW

SCALE: N.T.S.



6 D/F PYLON CABINET ILLUMINATED
SCALE: 1/4" = 1'-0"

68 SF

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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NAMPA PLANT -
UL #433195-001

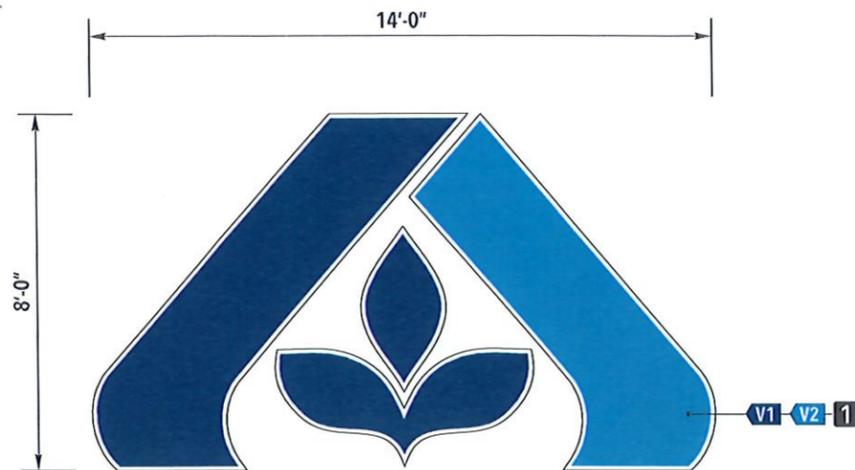
U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.

Client: Albertsons	Date: 10/20/22
Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J
	Account Manager: Rory K. Paulson

File Location: ALB-3447-Laurel, MT-102022-R4	Page No.
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1 CUSTOM ILLUMINATED LOGO - REMOTE
SCALE: 1/4" = 1'-0"

FABRICATION SPECIFICATIONS

1	CHANNEL LTR	LIGHTING	GE LED 7100K WHITE
	LOGO	FACE COLOR	.150 WHITE POLYCARBONATE
		VINYL COLOR	PER COLOR KEY (V1)(V2)
		TRIM CAP COLOR	WHITE
		TRIM CAP SIZE	2"
		RETURN COLOR	PRE-PAINTED WHITE
		RETURN DEPTH	5"
		COIL THICKNESS	.050
		BACKS	.063 ALUMINUM WHITE
		ELECTRICAL	20 AMPS @ 120V

GENERAL NOTES

**NOTE: THERE ARE NO SEAMS IN FACES.
MANUFACTURING, PLEASE DO NOT HAVE ANY SEAMS IN THE VINYL.**

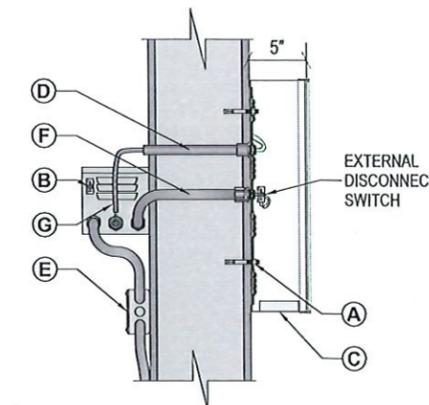
'CUSTOM' DESCRIPTION

CUSTOM LOGO NO LETTERS

COLOR KEY

V1	VINYL	3M 3630-137 EUROPEAN BLUE
V2	VINYL	3M 3630-167 BRIGHT BLUE

NOTE: THE COLORS DEPICTED ON THIS RENDERING REPRESENT COLOR INTENT ONLY AND MAY NOT MATCH ACTUAL COLORS ON FINISHED PRODUCT. PLEASE REFER TO COLOR CALL-OUTS AND SPECIFIED VENDOR SAMPLES FOR APPROVED COLOR SPECIFICATIONS.



TYPICAL SECTION DETAIL
SCALE: 3/4" = 1'-0"

INSTALL

- A. Non-Corrosive Securement Using Appropriate Mounting Hardware Painted to Match Background.
- B. Disconnect Switch at Transformer Can.
- C. 1/4" Ø Drain Holes Required in Letter Returns & Retainers w/ Baffles as required.
- D. 1/2" (MFG) Plastic Pass-Through.
- E. 20 amp 120 V. Circuits Required (Brought to within 6' of sign BY OTHERS).
- F. 6'-0" x 1/2" Flexible Conduit for External Switch.
- G. Grounded/Bonded Wire Connection from Letter to T-Can.

APPROVED FASTENER SCHEDULE

	3/8" - 1/2" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1 1/2" MIN PENETRATION (EXCLUDING TIP)
	1/4" - 3/8" THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HILTI HIT ROD WITH HY150 MAX ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HCL SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. LAG WITH 3/8" SHIELD & WASHER	FOR USE WITH CONCRETE, MASONRY AND BRICK - EMBED A MIN. OF 2"
	#10 (3") HEX SCREW W/ FENDER WASHER INTO PLASTIC WALL ANCHOR	USE WITH CONCRETE, MASONRY & BRICK. FOR USE WITH SMALL/LIGHTWEIGHT LETTERS & CABINETS

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

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		Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J	Account Manager: Rory K. Paulson	



2 CUSTOM ILLUMINATED CHANNEL LETTERS - REMOTE
SCALE: 1/4" = 1'-0"

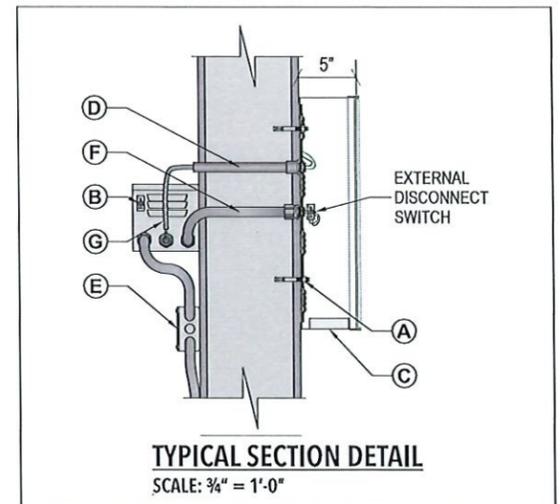
FABRICATION SPECIFICATIONS		
1 CHANNEL LTR	LIGHTING	GE LED 7100K WHITE
	FACE COLOR	.150 WHITE POLYCARBONATE
	VINYL COLOR	PER COLOR KEY (V1)
	TRIM CAP COLOR	WHITE
	TRIM CAP SIZE	1"
	RETURN COLOR	PRE-PAINTED WHITE
	RETURN DEPTH	5"
	COIL THICKNESS	.050
	BACKS	.063 ALUMINUM WHITE
	ELECTRICAL	20 AMPS @ 120V

GENERAL NOTES

'CUSTOM' DESCRIPTION
CUSTOM SIZE LETTERSET WITH NO LOGO.

COLOR KEY	
V1 VINYL	3M 3630-167 BRIGHT BLUE

NOTE: THE COLORS DEPICTED ON THIS RENDERING REPRESENT COLOR INTENT ONLY AND MAY NOT MATCH ACTUAL COLORS ON FINISHED PRODUCT. PLEASE REFER TO COLOR CALL-OUTS AND SPECIFIED VENDOR SAMPLES FOR APPROVED COLOR SPECIFICATIONS.

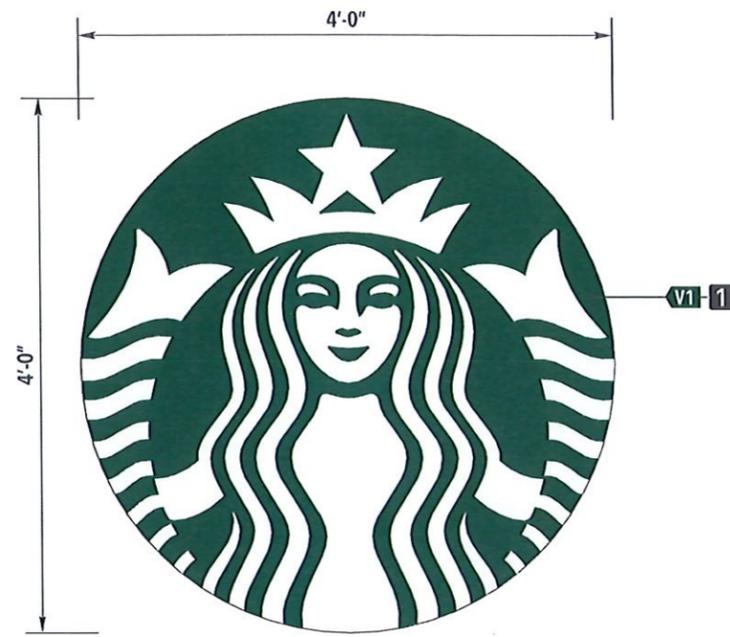


- INSTALL**
- Non-Corrosive Securement Using Appropriate Mounting Hardware Painted to Match Background.
 - Disconnect Switch at Transformer Can.
 - 1/4" Ø Drain Holes Required in Letter Returns & Retainers w/ Baffles as required.
 - 1/2" (MFG) Plastic Pass-Through.
 - 20 amp 120 V. Circuits Required (Brought to within 6' of sign BY OTHERS).
 - 6'-0" x 1/2" Flexible Conduit for External Switch.
 - Grounded/Bonded Wire Connection from Letter to T-Can.

APPROVED FASTENER SCHEDULE		
	3/8" - 1/2" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1 1/2" MIN PENETRATION (EXCLUDING TYP)
	1/4" - 3/8" THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HILTI HIT ROD WITH HY150 MAX ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HCL SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. LAG WITH 3/8" SHIELD & WASHER	FOR USE WITH CONCRETE, MASONRY AND BRICK - EMBED A MIN. OF 2"
	#10 (3") HEX SCREW W/ FENDER WASHER INTO PLASTIC WALL ANCHOR	USE WITH CONCRETE, MASONRY & BRICK. FOR USE WITH SMALL/LIGHTWEIGHT LETTERS & CABINETS

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		<p>Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044</p>	<p>Designer: Dave J</p>		<p>10 of 14</p>



3 S/F ILLUMINATED CABINET - SELF CONTAINED
SCALE: 3/4" = 1'-0"

FABRICATION SPECIFICATIONS

1	CHANNEL WRAP	LED	6500K WHITE LED
		FACE COLOR	3/16" 7328 WHITE ACRYLIC
		VINYL COLOR	PER COLOR KEY (V1)
		TRIM CAP	1"
		TRIM CAP COLOR	BLACK
		RETURN COLOR	PRE-PAINTED BLACK
		RETURN DEPTH	5" (SLIT DOWN TO 3.3")
		COIL THICKNESS	.050
		BACKS	3M ACM PANEL OR EQUIVALENT
		ELECTRICAL	.08 AMPS @ 120V
2	FCO	MATERIAL	1/2 WHITE ACRYLIC

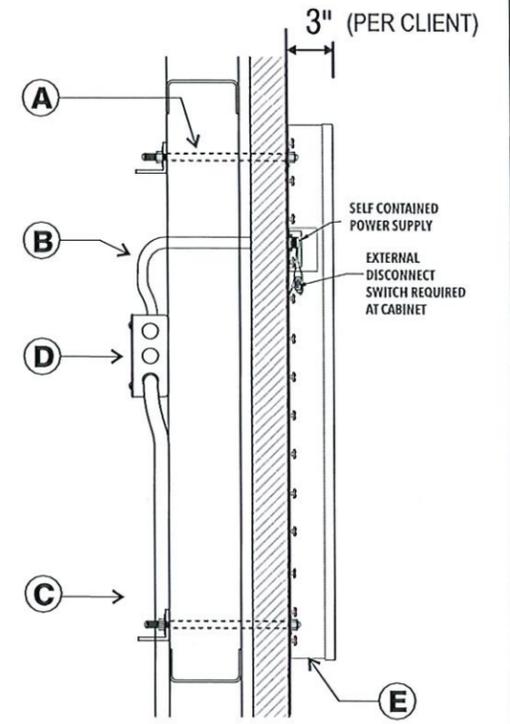
GENERAL NOTES

COLOR KEY

V1	VINYL	3M 3630-76 HOLLY GREEN
NOTE: THE COLORS DEPICTED ON THIS RENDERING REPRESENT COLOR INTENT ONLY AND MAY NOT MATCH ACTUAL COLORS ON FINISHED PRODUCT. PLEASE REFER TO COLOR CALL-OUTS AND SPECIFIED VENDOR SAMPLES FOR APPROVED COLOR SPECIFICATIONS.		

APPROVED FASTENER SCHEDULE

Fastener Type	Fastener Size	Application
	3/8" - 1/2" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1 1/2" MIN PENETRATION (EXCLUDING TIP)
	1/4" - 3/8" THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HILTI HIT ROD WITH HY150 MAX ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HCL SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. LAG WITH 3/8" SHIELD & WASHER	FOR USE WITH CONCRETE, MASONRY AND BRICK - EMBED A MIN. OF 2"
	#10 (3") HEX SCREW W/ FENDER WASHER INTO PLASTIC WALL ANCHOR	USE WITH CONCRETE, MASONRY & BRICK. FOR USE WITH SMALL/LIGHTWEIGHT LETTERS & CABINETS



Section Detail
Scale: N.T.S.

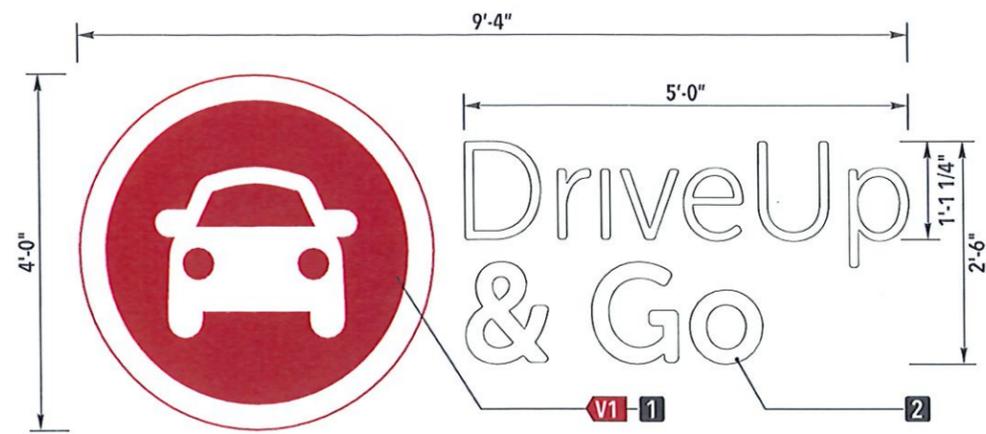
TYPICAL SECTION DETAIL
NOT TO SCALE

INSTALL

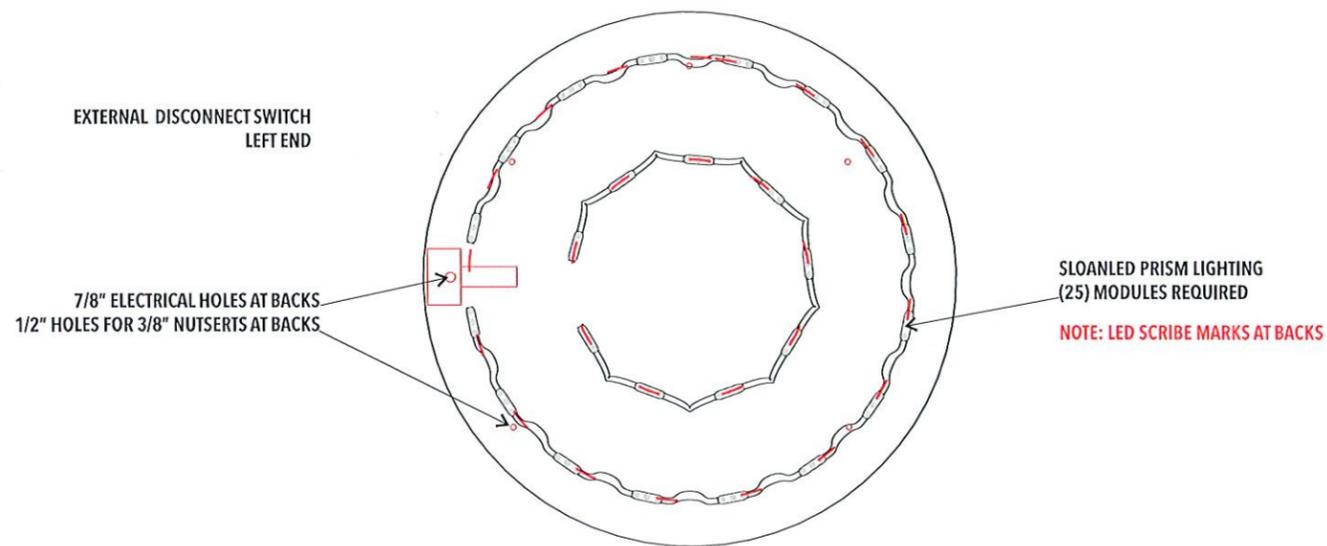
- A. 3/8" Non-Corrosive Three-Bolt Attachment.
- B. 1/2" Flexible Conduit Whip to 120v Power.
- C. Blocking as Required per Location.
- D. 20 amp 120 V. Circuits Required. (Brought to within 6' of sign BY OTHERS).
- E. 1/4" Weep Holes as Required.

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		<p>Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044</p>	<p>Designer: Dave J</p>		<p>11 of 14</p>



4 ILLUMINATED CABINET / NON-ILLUMINATED FCO (SELF CONTAINED)
SCALE: 1/2" = 1'-0"



LED LAYOUT
SCALE: 3/4" = 1'-0"

FABRICATION SPECIFICATIONS

1	CHANNEL WRAP	LED	6500K WHITE LED
		FACE COLOR	.150 WHITE POLYCARBONATE
		VINYL COLOR	PER COLOR KEY (V1)
		TRIM CAP COLOR	RED
		TRIM CAP SIZE	1"
		RETURN COLOR	PRE-PAINTED WHITE
		RETURN DEPTH	5"
		COIL THICKNESS	.050
		BACKS	3M ACM PANEL OR EQUIVALENT
		ELECTRICAL	0.8 AMPS @ 120V
2	FCO	MATERIAL	1/2 WHITE ACRYLIC

GENERAL NOTES

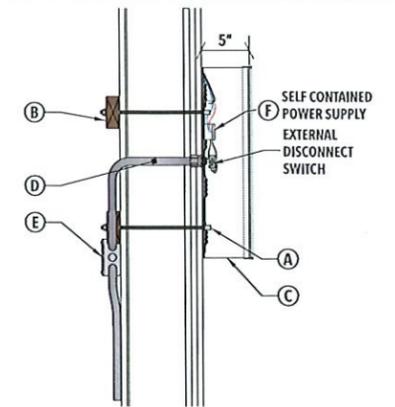
COLOR KEY

V1	VINYL	3M 3630-53 CARDINAL RED
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NOTE: THE COLORS DEPICTED ON THIS RENDERING REPRESENT COLOR INTENT ONLY AND MAY NOT MATCH ACTUAL COLORS ON FINISHED PRODUCT. PLEASE REFER TO COLOR CALL-OUTS AND SPECIFIED VENDOR SAMPLES FOR APPROVED COLOR SPECIFICATIONS.

APPROVED FASTENER SCHEDULE

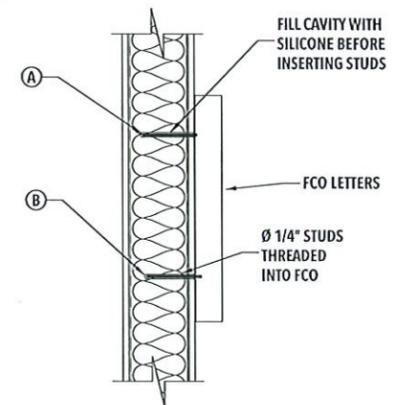
	3/8" - 1/2" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1 1/2" MIN PENETRATION (EXCLUDING TIP)
	1/4" - 3/8" THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HILTI HIT ROD WITH HY150 MAX ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HCL SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. LAG WITH 3/8" SHIELD & WASHER	FOR USE WITH CONCRETE, MASONRY AND BRICK - EMBED A MIN. OF 2"
	#10 (3") HEX SCREW W/ FENDER WASHER INTO PLASTIC WALL ANCHOR	USE WITH CONCRETE, MASONRY & BRICK. FOR USE WITH SMALL/LIGHTWEIGHT LETTERS & CABINETS



TYPICAL SECTION DETAIL
NOT TO SCALE

INSTALL

- A. 3/8" Rivet Nuts in Back of Cabinet for Non-Corrosive Securement Using Appropriate Mounting Hardware.
- B. Blocking as Required per Location.
- C. 1/4" Ø Drain Holes Required in Cabinet Returns & Retainers.
- D. 6'-0" x 1/2" Flexible Conduit for External Switch.
- E. 20 amp 120 V. Circuits Required (Brought to within 6' of sign BY OTHERS).
- F. Self Contained Power Supply.



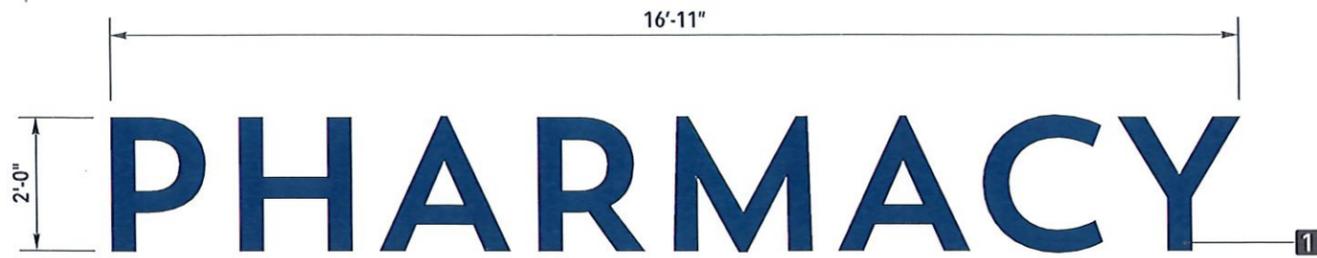
TYPICAL SECTION DETAIL
NOT TO SCALE

INSTALL

- A. 1/4" X 6" Non-Corrosive Studs in Back of Letter
- B. Drill Holes in Masonry and Secure to Wall Using Silicone

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		Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044	Designer: Dave J	Account Manager: Rory K. Paulson	



5 ILLUMINATED CHANNEL LETTERS - REMOTE
SCALE: 3/8" = 1'-0"

P.S. #1
(37 MODS)

8 mods 9.0 w 5.7 mod/ft 1.414 sq ft 8.764 perim ft	10 mods 11.3 w 6.3 mod/ft 1.582 sq ft 10.577 perim ft	9 mods 10.2 w 6.8 mod/ft 1.319 sq ft 9.080 perim ft	10 mods 11.3 w 6.0 mod/ft 1.661 sq ft 10.505 perim ft

P.S. #2
(35 MODS)

13 mods 14.7 w 6.6 mod/ft 1.975 sq ft 13.330 perim ft	9 mods 10.2 w 6.8 mod/ft 1.319 sq ft 9.080 perim ft	7 mods 7.9 w 5.3 mod/ft 1.325 sq ft 8.736 perim ft	6 mods 6.8 w 5.7 mod/ft 1.054 sq ft

LED LAYOUT

SCALE: 3/8" = 1'-0"

FABRICATION SPECIFICATIONS

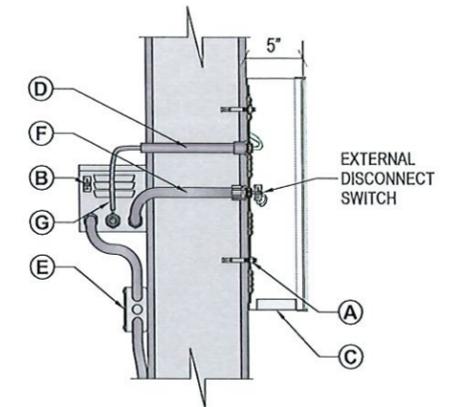
1	PAN CHANNEL	LED	GE LED 7100K WHITE
		FACE COLOR	.150 WHITE POLYCARBONATE
		VINYL COLOR	PER COLOR KEY (V1)
		TRIM CAP COLOR	WHITE
		TRIM CAP SIZE	1"
		RETURN COLOR	PRE-PAINTED WHITE
		RETURN DEPTH	5"
		COIL THICKNESS	.040
		BACKS	.063 WHITE ALUMINUM
		ELECTRICAL	TBD AMPS @ 120V

GENERAL NOTES

COLOR KEY

V1	VINYL	3M WHITE PERFORATED PRINTED TO MATCH REFLEX BLUE C
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NOTE: THE COLORS DEPICTED ON THIS RENDERING REPRESENT COLOR INTENT ONLY AND MAY NOT MATCH ACTUAL COLORS ON FINISHED PRODUCT. PLEASE REFER TO COLOR CALL-OUTS AND SPECIFIED VENDOR SAMPLES FOR APPROVED COLOR SPECIFICATIONS.



TYPICAL SECTION DETAIL
SCALE: 3/4" = 1'-0"

INSTALL

- A. Non-Corrosive Securement Using Appropriate Mounting Hardware.
- B. Disconnect Switch at Power Supply
- C. 1/4"Ø Drain Holes Required in Letter Returns & Retainers w/ Baffles as required.
- D. 1/2" (MFG) Plastic Pass-Through.
- E. 20 amp 120 V. Circuits Required (Brought to within 6' of sign BY OTHERS).
- F. 6'-0" x 1/2" Flexible Conduit for External Switch.
- G. Grounded/Bonded Wire Connection from Letter to T-Can.

APPROVED FASTENER SCHEDULE

	3/8" - 1/2" LAG SCREW	FOR USE WITH WOOD OR EIFS WALL SYSTEMS. 1 1/2" MIN PENETRATION (EXCLUDING TIP)
	1/4" - 3/8" THREADED ROD	FOR USE WITH WOOD, CONCRETE BLOCK OR EIFS WALL SYSTEMS
	3/8" RED HEAD L.D.T. (LARGE DIAMETER TAPCON)	FOR USE WITH CONCRETE BLOCK, BRICK OR CONCRETE. EMBED A MIN. OF 2 1/2".
	3/8" DIA. HILTI HIT ROD WITH HY150 MAX ADHESIVE	FOR USE WITH CONCRETE. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH MASONRY AND BRICK. EMBED A MIN. OF 3 3/8"
	3/8" DIA. HILTI HIT ROD WITH HY20 ADHESIVE	FOR USE WITH CONCRETE BLOCK. EMBED A MIN. OF 2"
	3/8" DIA. HILTI HCL SLEEVE ANCHOR	FOR USE WITH CONCRETE, MASONRY AND BRICK. EMBED A MIN. OF 3 3/8".
	3/8" DIA. LAG WITH 3/8" SHIELD & WASHER	FOR USE WITH CONCRETE, MASONRY AND BRICK - EMBED A MIN. OF 2"
	#10 (3") HEX SCREW W/ FENDER WASHER INTO PLASTIC WALL ANCHOR	USE WITH CONCRETE, MASONRY & BRICK. FOR USE WITH SMALL/LIGHTWEIGHT LETTERS & CABINETS

It is the intent and purpose of this color rendering to provide a basic color representation of your sign finish and color. However, digital media and printed colors will vary from actual paint finish and color. Existing painted surfaces will have a perceptible difference in shade and sheen from your sign finish. Providing a sample of the paint you wish to match or a Matthews paint color formula will minimize the differences.

<p>...bringing your image to light!</p> <p>16265 Star Rd., Nampa, ID 83687 - toll free: 800.592.8058 - tele: 208.345.4020 imagenational.com</p>	<p>NAMPA PLANT - UL #433195-001</p> <p>U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.</p>	<p>Client: Albertsons</p>	<p>Date: 10/20/22</p>	<p>File Location: ALB-3447-Laurel, MT-102022-R4</p>	<p>Page No.</p>
		<p>Site: SITE #3447 205 S. 1st Ave. Laurel, MT 59044</p>	<p>Designer: Dave J</p>		<p>13 of 14</p>



6 D/F PYLON CABINET ILLUMINATED
SCALE: 1/4" = 1'-0"

FABRICATION SPECIFICATIONS

1	CAP	MATERIAL	FABRICATED ALUMINUM
		PAINT COLOR	PER COLOR KEY (P1)
		MATERIAL	FABRICATED ALUMINUM
2	FILLER	PAINT COLOR	PER COLOR KEY (P2)
		TYPE	BACK-LIT ROUTE OUT & BACKED
3	CABINET	TYPE	D/F
		FACE	.125 ALUMINUM
		PAINT COLOR	PER COLOR KEY (P3)(P4)
		FINISH/TEXTURE	MEDIUM STUCCO
		VINYL COLOR	PER COLOR KEY (V1)(V2)
		REAR DIFFUSER	.150" WHITE POLYCARBONATE
		BACK LIGHTING	WHITE LED
		TYPE	D/F
4	REVEAL	MATERIAL	FABRICATED ALUMINUM
		PAINT COLOR	PER COLOR KEY (P2)
5	POLE COVER	CONSTRUCTION	FABRICATED ALUMINUM
		WOOD SIDING	NICHIHA WALL SYSTEM
		COLOR	PER COLOR KEY (1)

NOTES

- N** • (1) 20 AMP CIRCUIT REQUIRED TO SIGN BY OTHERS
- DISCONNECT SWITCH ON NON-STREET SIDE
- DO NOT REMOVE POLES. INSTALL NEW CABINET OVER EXISTING POLES SURVEY REQUIRED PRIOR TO MANUFACTURE.**

COLOR KEY

P1	PAINT	SW 7047 PORPOISE
P2	PAINT	SW 7674 PEPPERCORN
P3	PAINT	SW 6148 WOOL SKEIN
P4	PAINT	PANTONE REFLEX BLUE C
1	WOOD	NICHIHA WALL SYSTEM-VANTAGE WOOD (CEDAR)
V1	VINYL	3M 3630-137 EUROPEAN BLUE
V2	VINYL	3M 3630-167 BRIGHT BLUE

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			Account Manager: Rory K. Paulson		