



**AGENDA  
CITY OF LAUREL  
CITY/COUNTY PLANNING BOARD  
WEDNESDAY, OCTOBER 20, 2021  
5:35 PM  
CITY COUNCIL CHAMBERS**

**Public Input:** *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

1. Roll Call

**General Items**

2. Approve Meeting Minutes: August 18, 2021
3. Approve Meeting Minutes: September 15, 2021

**New Business**

4. Building Plan Review: City Brew/Chen's Express

**Old Business**

**Other Items**

5. Project Updates
6. Adjourn

**Announcements**

7. Next Meeting: November 17, 2021

The City makes reasonable accommodations for any known disability that may interfere with a person's ability to participate in this meeting. Persons needing accommodation must notify the City Clerk's Office to make needed arrangements. To make your request known, please call 406-628-7431, Ext. 2, or write to City Clerk, PO Box 10, Laurel, MT 59044, or present your request at City Hall, 115 West First Street, Laurel, Montana.

**DATES TO REMEMBER**



**File Attachments for Item:**

2. Approve Meeting Minutes: August 18, 2021





**MINUTES  
CITY OF LAUREL  
CITY/COUNTY PLANNING BOARD  
WEDNESDAY, AUGUST 18, 2021  
5:35 PM  
CITY COUNCIL CHAMBERS**

**Public Input:** *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

**1. Roll Call**

The chair called the meeting to order at 5:35pm.

Jon Klasna  
Gavin Williams  
Roger Giese  
Dan Koch  
Judy Goldsby  
Nick Altonaga (City of Laurel)

**General Items**

**2. Approve Meeting Minutes: May 19, 2021**

The Chair presented the meeting minutes from the May meeting.

Dan motioned to approve the minutes from the meeting from May 19, 2021.

Roger Seconded.

Motion Carried.

**3. Approve Meeting Minutes: June 16, 2021**

The Chair presented the meeting minutes from the June meeting.

Dan Motioned to approve the minutes from the June 16, 2021, meeting.

Jon Seconded.

Motion Carried.

**4. Public Hearing: Bitterroot Grove Townhomes Planned Unit Development**

The Planning Director presented the staff report and conditions of approval.

The Chair Called for Proponents.

Forrest Mandeville, Columbus, MT, consulting planner working with the developer Darrell Dyer.

Forrest and the developer approved of the stated conditions of approval. Looks forward to getting the ground broken and getting the project built.



The Chair Called for Proponents.  
The Chair Called for Proponents.

The Chair Called for Opponents.  
The Chair Called for Opponents.  
The Chair Called for Opponents.

The Chair called for any questions or comments from the board.

Planning Director reported the Absent Member Ron Benner's comments on the Application via email. The Planning Director responded to those concerns and clarified the processes for annexation and PUD approval.

Gavin Motioned to approve the Annexation of NUTTING BROS SUBD, S10, T02 S, R24 E, BLOCK 6, Lots 1 - 12, and NUTTING BROS SUBD, S10, T02 S, R24 E, BLOCK 7, Lots 1 – 12 with the stated staff conditions.  
Dan Seconded.  
Motion Carried.

Gavin Motioned to approve the Bitterroot Grove Townhomes Planned Unit Development with the stated staff conditions.  
Dan Seconded.  
Motion Carried.

#### 5. Public Hearing: Chevrolet Sign Variance

The Planning Director presented his staff report on the variance applications and stated staff conditions.

The Chair Called for Proponents.

Ken Fichtner, Laurel Resident, previous owner of the Laurel Chevrolet: Would like to not remove it, would like to have groups come and use it. He would be happy to display local messages. It is a community asset and not just advertising for the business.

The Chair Called for Proponents.  
The Chair Called for Proponents.

The Chair Called for Opponents.  
The Chair Called for Opponents.  
The Chair Called for Opponents.

The Chair called for discussion from the board.

Jon wanted to clarify the location of the sign.

Gavin noted that the time limit for messages should be 30-seconds to be better suited to highway traffic.

Gavin motioned to approve the Chevrolet Sign Variances with the discussed amended condition of approval.



The Chair provided background as to the motion or quick-moving images of the original

Gavin restated that there were no issues.

Gavin Motioned to approve the Laurel Chevrolet Sign Variances with the amended conditions of approval, limit the changing messages to 30-second limit for messages.

Jon Seconded.

Motion Carried.

#### 6. Public Hearing: Preliminary Plat for Cherry Hills Subdivision, 3rd Filing

The Planning Director presented his staff report on the Annexation and Preliminary Plat of Cherry Hills Subdivision, 3<sup>rd</sup> Filing.

The Chair Called for Proponents.

Marty Gagnon, Engineer at Morrison-Maierle.

Appreciate the Board taking the project into consideration. Would like to review the stated conditions of approval.

The Chair Called for Proponents.

Gerry Neuman, Current owner of the property.

He stated that he bought the property 20 years ago with the goal of development. Was platted and de-platted prior to him buying it. Had development in mind. Larry, the original engineer, reviewed the original plan and calculations.

Was unable to develop the property due to other projects and other things going on. There were some concerns about water pressure with the Elena Subdivision being developed. The City installed a Pump Station after discussions with the Elena developer and himself. Land was given to the City for the Station with future development in mind.

15 years ago he started the platting process, was at DEQ when the market changed (2008 crisis). Gerry would rather go fishing and play golf than tackle this project. Has decided to develop it and sell it.

Relocating the station had been discussed with the City and contracted engineers. Bottom Line: would like to develop it and sell it off so I can go fishing.

It is a great candidate for development. Willing to take any questions.

The Chair Called for Proponents.

Marty Gagnon had questions about #7, #13, #14.

Planning Director provided a reasoning behind the inclusion of the conditions. These can be updated prior to final adoption by City Council.



The Chair Called for Opponents.  
The Chair Called for Opponents.  
The Chair Called for Opponents.

The Chair Called for Planning Board member questions. There being none, the chair called for a vote.

Gavin Motioned to Approve the Annexation of the Cherry Hills Subdivision, 3<sup>rd</sup> Filing, with the stated conditions of approval.

Jon Seconded.  
Motion Carried.

Gavin Motioned to the Approve the Preliminary Plat of Cherry Hills Subdivison, 3<sup>rd</sup> Filing with the stated staff conditions.

Dan asked if West Maryland would be continued.

Marty provided additional information. Originally submitted the delineation report to the ACOE. Decided to pull back the scope of the project to this filing, but plan to expand it across the whole property, including a roadway.

Gavin Motioned to the Approve the preliminary plat of Cherry Hills Subdivision 3<sup>rd</sup> Filing with the stated staff conditions.

Dan Seconded.  
Motion Carried.

### **New Business**

#### **7. Special Review: Nemont Telephone Utility in Residential District**

The Planning Director presented the staff report and conditions of approval.

Jim Tuell was present at the meeting. He specified that it will be 10x12x10(h) shed. It is a regen site for the fiberoptic line. Project Telephone is bringing a transport line through Columbus, Park City, Laurel, to Billings.

What is the Route?

- Golf Course Road, Cherry Hills property, West Maryland Lane, East along W 12<sup>th</sup> Street and across to

Can use sight obscuring slats for the fence.

Will have a generator mounted on a pad for the site, as well as Natural Gas connection.

Everything will be flush with the ground besides the utility shed.

Gavin motioned to approve the Special Review for the Project Telephone utility building with the stated staff conditions.

Evan Seconded.  
Motion Carried.



## 8. Sign Review: Yellowstone Bank Sign Upgrade

Nick presented the Yellowstone Bank sign upgrade designs. These are replacing old signs and installation of new faces.

Gavin Motioned to approve the Yellowstone County sign designs.

Evan Seconded.

Motion Carried.

## 9. Sign Review: Soda Station

Nick presented details on the soda station property signs.

Gerry Neumann, part owner was present for the discussion.

The Site is temporary. He is in negotiations now to build a second building, permanent. To be bigger than the Dominos pizza.

Want the Soda Station to become part of that structure if they are successful.

The Planning Director noted some of his concerns for the site including signage and weeds.

Gerry would like it to be successful and clean the site up and do a big improvement on it.

Gavin Motioned to approve the Signs for Soda Station.

Roger Seconded.

Motion Carried.

## Old Business

### Other Items

## 10. Upcoming Projects

### Announcements

## 11. Adjourn

Dan Motioned to Adjourn the meeting.

Roger Seconded.

Motion Carried.

Meeting Adjourned at 7:10pm.

## 12. Next Meeting: September 22, 2021

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## **DATES TO REMEMBER**



**File Attachments for Item:**

3. Approve Meeting Minutes: September 15, 2021





**AGENDA  
CITY OF LAUREL  
CITY/COUNTY PLANNING BOARD  
WEDNESDAY, SEPTEMBER 15, 2021  
5:35 PM  
CITY COUNCIL CHAMBERS**

**Public Input:** *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

1. Roll Call

The Chair called the meeting to order at 5:35pm.

Jon Klasna  
Ron Benner  
Gavin Williams  
Evan Bruce  
Roger Giese  
Dan Koch  
Judy Goldsby  
Nick Altonaga (City of Laurel)

**General Items**

2. Approve Meeting Minutes: August 18, 2021

Minutes to be pushed to the October Meeting.

3. Public Hearing: NorthWestern Energy Zone Change

The Planning Director summarized the Zone Change request and presented his staff report and suggested conditions of approval.

The Chair called for Opponents.  
The Chair called for Opponents.  
The Chair called for Opponents.

The Chair called for Proponents.  
The Chair called for Proponents.  
The Chair Called for Proponents.

Roy Ishkanian, Manager of Lands and Permitting, NW Energy.  
3524 Glenfinnan Rd, Billings, MT

We are going through this process. The ultimate approval will be at the MT Public Service Commission. We feel good about this project. The Gas Line is just about wrapped up for this site. Purchased the line from Phillips and rehabbed it to serve the station.



See this as important to keep the price of energy level, instead of having extreme variable prices like we've seen across the country.

Ron Benner: What will the noise level be?

Roy: The noise level will actually be low. The noise will be aimed towards the other industrial uses (CHS and Utility Plants) and not the river or other areas. At approximately 400ft it will be 63 decibels.

Question on staffing levels.

- 15-20 full time.

Ron: accesses to the site?

- Roy: Lindy Lane, Strow Rd, and Sewer Plant Rd. Utilize Lindy as the current primary access for the station that is there right now.

Power generation, supply, and location are all important for this facility.

Judy: Where does Lindy Lane come out to?

- Roy: It comes up to the Frontage Rd.

Nick: Any consideration of annexation?

- Roy: Still being discussed by Project Mangers, but you will be the first call.

Roger: Timeline of development?

- Roy: Expect a 3 year timeline, to be done in 2025.

Ron: One concern seeing this was the access to the site through Sewer Plant Rd. and what the costs might be to improve the roadway?

- Roy: Not planned to improve the roadway at this time. Primary access will be through Lindy Lane.

Judy: If someone were to stand on Sewer Plant road looking towards the site, what would we see?

- Main hall building, stacks, Small administrative building (low rise single story like city hall), as well as parking area.

Ron: Height of the smokestacks?

- Roy: I don't actually know the answer but can get back to Nick with that answer.
- (Roy provided the information via email on 9/16/2021 – smokestacks will be 77ft tall).

Gavin Motioned to approve the zone change application for Parcel 1, COS 139 and Parcel 2, COS 1677 with the stated staff conditions

Evan Seconded.

Motion Carried.

#### 4. Public Hearing: 810 W. 7th Street Annexation and Zone Change

Nick presented the findings contained in the Staff report including the stated conditions of approval.

The Chair called for Opponents.



The Chair called for Opponents.  
The Chair called for Opponents.

The Chair called for Proponents.

Scott Slothower, 314 1<sup>st</sup> St. Park City, MT: Nick laid out the situation pretty well. The leech field is extremely small, with the house set back. Not sure how it was initially approved. Worked with Cotter's Sewer to fix it but it was found that the roots from the surrounding trees were choking the leech field making it unusable.

The Chair called for Proponents.  
The Chair called for Proponents.

Ron: clarification on addresses?

- We were preparing to sell it last year when the issues with the septic system were found. We ran out of funds last year to continue the process last year. And we are in a better position this year to finalize it.
- The building will go to the Slothowers.

Ron: On the receipt from Cotter's, what if the cost exceeds the \$\$ amount? Will the city have to make up the difference?

- Scott: the not to exceed amount is the Cotter's sewer guarantee that it will NOT exceed that amount.
- From my experience in Steel business, we sometimes give not to exceed amounts as contractors. IF it exceeds that amount, the contractor will eat the amount, That is the assumed intent. This is a BID not to exceed that stated amount.

Ron: Hate to bash the city but the maps are not accurate. The maps on some projects have been COMPLETELY WRONG.

- Scott: Cotter's has located at least part of the water main system.

Members discussed the implications or reasoning behind Not asking adjacent properties to the west to annex as well?

- Nick provided info on his decision not to reach out to adjacent property owners: the adjacent right of way is not punched through fully, it would not be sensible to do a large scale annexation of those houses at this time.

The Chair closed the public hearing.

Ron Motioned to approve the annexation and zoning request for 810 W 7<sup>th</sup> Street with the conditions stated in the staff report.

Evan Seconded.

Motion Carried.

## **New Business**

### **5. Sign Review: On the Run (Conomart)**

Nick presented the Façade and signage changes for the Conoco, (Now, On The Run).



Gain Motioned to approve the proposed changes to the signage and façade of the On The Run building.  
Evan Seconded.  
Motion Carried.

## **Old Business**

### **Other Items**

#### 6. Project Update

- Cherry Hills 3<sup>rd</sup> Filing Approved last night
- Bitterroot Grove Approved. Will be brought to council and Planning Board again
- Golf Course Annexation
- Lucky Louie's Relocation
- Regal Community Park? – Fencing along the property? Enforcement concerns.
- Soda Station site concerns
- Zoning and Nuisance Code violations.
- Nuisance properties within the city limits.

### **Announcements**

#### 7. Adjourn

Meeting Adjourned at 6:54pm.

#### 8. Next Meeting: October 20, 2021

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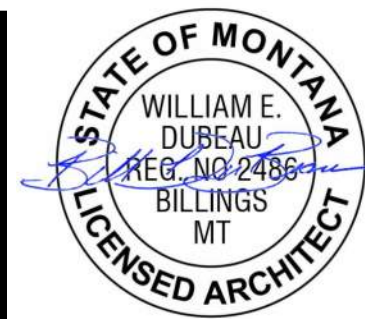
### **DATES TO REMEMBER**



**File Attachments for Item:**

4. Building Plan Review: City Brew/Chen's Express





# LAUREL CITY BREW-CHEN'S EXPRESS

SUITE A - CHEN'S EXPRESS  
SUITE B - CITY BREW

415 S. 1ST AVENUE  
LAUREL, MT 59044

ISSUE DATE: 7.2.2021

A&E PROJECT NUMBER: 21017



6 FRONT ENTRANCE  
12" = 1'-0"



16 BACK ENTRANCE  
12" = 1'-0"

COVER SHEET  
LAUREL CITY BREW-CHEN'S EXPRESS  
STEVE ZABAWA  
owner

project # 21017  
revision date

phase  
PRICING AND PERMITS



issue date  
7.2.2021

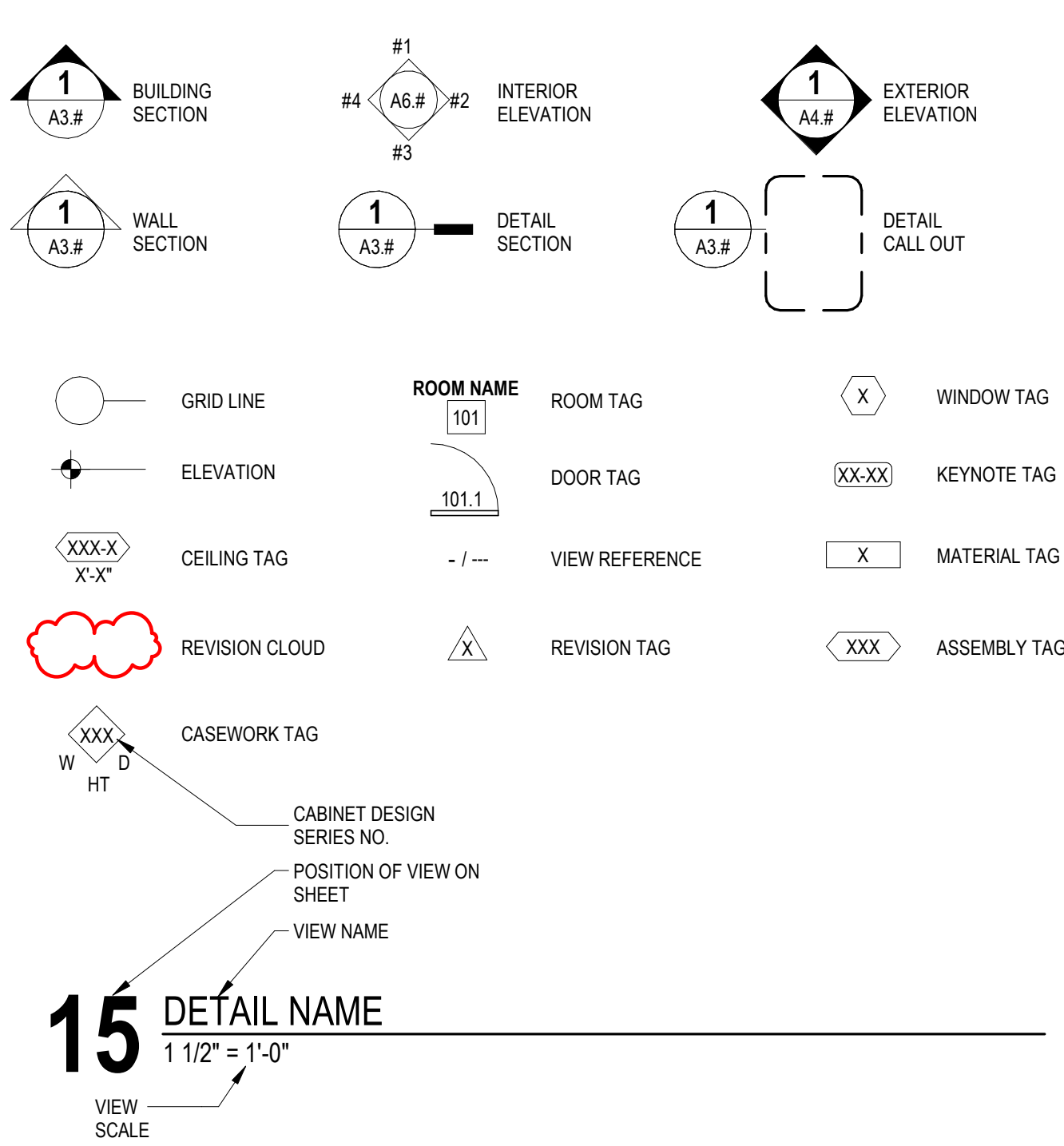
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ARCHITECTURAL ABBREVIATIONS

AB	ANCHOR BOLT	GA	GAUGE	R	RADIUS
ABV	ABOVE	GLV	GALVANIZED	RA	RETURN AIR
A/C	AIR CONDITIONING	GB	GYP SUM BOARD	RB	RUBBER BASE
ACT	ACOUSTICAL CEILING TILE	GC	GENERAL CONTRACTOR	RD	ROOF DRAIN
ADDL	ADDITIONAL	GL	GLASS, GLAZING	RECY	RECYCLED
ADJ	ADJUSTABLE	GW	GYP SUM WALL BOARD	REF	REFERENCE
AFF	ABOVE FINISH FLOOR	GYP	GYP SUM	REFRG	REFRIGERATION OR REFRIG
ALT	ALTERNATE	HC	HANDICAP	REINF	REINFORCE
ALUM	ALUMINUM	HDR	HEADER	REOD	REQUIRED
ARCH	ARCHITECT(URAL)	HDW	HARDWARE	RDM	ROOM
AWN	AWNINGS	HM	HOLLOW METAL	RO	ROUGH OPENING
B/	BOTTOM OF	HR	HORIZONTAL	ROW	RIGHT OF WAY
BD	BOARD	HT	HEIGHT	S	SOUTH
BLDG	BUILDING	HTD	HEATED	SC	SOLID CORE
BLKG	BLOCKING	HVAC	HEATING/VENTILATION & AIR CONDITIONING	SCH	SCHEDULE
BM	BEAM OR BENCHMARK	ID	INSIDE DIAMETER	SECT	SECTION
BRG	BEARING	INFO	INFORMATION	SF	SQUARE FEET
BTWN	BETWEEN	INSUL	INSULATE / INSULATED / INSULATION	SFRM	SPRAY APPLIED FIRE RESISTIVE
BUR	BUILT-UP ROOF	INT	INTERIOR	SHT	SHEET
		INV	INVERT	SHG	SHEATHING
CAB	CABINET	JT	JOINT	SIM	SIMILAR
CJ	CONTROL JOINT	J-BOX	JUNCTION BOX	SPEC	SPECIFICATIONS
CL	CENTERLINE	KIT	KITCHEN	SOD	SLAB ON DECK
CLG	CEILING	CONC	CONCRETE	SOG	SLAB ON GRADE
CMU	CONCRETE MASONRY UNIT	CONT	CONTINUOUS	SSH	SAME OPPOSITE HAND
CO	CLEAN OUT	CG	CORNER GUARD	SS	STAINLESS STEEL
COL	COLUMN	CPT	CARPET	ST	STONE TILE
CONC	CONCRETE	CSMT	CASEMENT	STD	STANDARD
CONC	CONCRETE	CT	CERAMIC TILE	STND	STANDARD
		LT	LIGHT	STL	STEEL
D	DEEP			STRUCT	STRUCTURAL
DF	DRINKING FOUNTAIN	MAS	MASONRY	TEMP	TEMPERED
DH	DOUBLE HUNG	MATL	MATERIAL	THK	THICK
DM(S)	DIMENSIONS	MAX	MAXIMUM	THRESH	THRESHOLD
DISP	DISPENSER	MECH	MECHANICAL	T.O.	TOP OF
DN	DOWN	MEZZ	MEZZANINE	TOBM	TOP OF BEAM
DR	DOOR	MFR	MANUFACTURER	T.O.BM	TOP OF BEAM
DS	DOWNSPOUT	MH	MANHOLE	T.O.P.	TOP OF PLATE
DTL	DETAIL	MN	MINIMUM	T.O.S.	TOP OF STEEL
DWG	DRAWING	MISC	MISCELLANEOUS	T/	TOP OF
		MO	MASONRY OPENING	T&G	TONGUE AND GROOVE
E	EAST	MTL	METAL	TEL	TELEPHONE
EA	EACH			THK	THICK
EC	EXISTING COLUMN	N	NORTH	TRANS	TRANSOM
EJ	EXPANSION JOINT	NC	NOT IN CONTRACT	TV	TELEVISION
ELEC	ELECTRICAL	NOM	NOMINAL	TYP	TYPICAL
EL	ELEVATION	NTS	NOT TO SCALE		
ELEV	ELEVATOR			UL	UNDERWRITERS LABORATORY
EQ	EQUAL	OC	ON CENTER	UNO	UNLESS NOTED OTHERWISE
EQUIP	EQUIPMENT	OD	OUTSIDE DIAMETER OR OVERFLOW		
EW	ELECTRIC WATER COOLER			VB	VINYL BASE
EXH	EXHAUST	OPNG	OPENING	VCT	VINYL COMPOSITION TILE
EXIST	EXISTING	OPP	OPPOSITE	VERT	VERTICAL
EXP	EXPANSION OR EXPOSED	OSB	ORIENTED STRAND BOARD	VEST	VESTIBULE
EXT	EXTERIOR	OVHD	OVERHEAD	VF	VEHICLE IN FIELD
				VP	VENEER PLASTER
FACP	FIRE ALARM CONTROL PANEL	PL	PLATE	VR	VAPOR RETARDER
FD	FLOOR DRAIN	PLAM	PLASTIC LAMINATE	VTL	VINYL TILE
FE	FIRE EXTINGUISHER	PLUMB	PLUMBING	VWC	VINYL WALL COVERING
FEC	FIRE EXTINGUISHER CABINET	PLYWD	PLYWOOD		
F.F.	FINISH FLOOR	PNL	PANEL	W	WIDE OR WEST
FIN	FINISH	PNT	PAINT	W/	WITH
FIXT	FIXTURE	POLY	POLYESTER OR POLYOLEFIN	WC	WATER CLOSET
FLR	FLOOR	PSF	POUNDS PER SQUARE FOOT	WD	WOOD
FND	FOUNDATION	PSI	POUNDS PER SQUARE INCH	WDO	WINDOW
FP	FIRE PROTECTION	PT	PRESSURE TREATED OR POINT	WG	WALL GUARD
FR	FRAME	PVMT	PAVEMENT	WH	WATER HEATER
FRMG	FRAMING			WIN	WITHIN
FT	FEET/FOOT OR FIRE TREATED	QT	QUARRY TILE	W/O	WITHOUT
FTG	FOOTING	QTR	QUARTER	WP	WATERPROOF
FTNG	FOOTING	QTY	QUANTITY	WR	WATER RESISTANT
FRP	FIBERGLASS REINFORCED PANEL			WT	WEIGHT
FRT	FIRE RETARDANT TREATED			WWF	WELDED WIRE FABRIC
		#	NUMBER OR POUND		
		@	AT		

EXPLANATION OF SYMBOLS



TYPICAL SHEET VIEW NUMBERING LAYOUTS

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

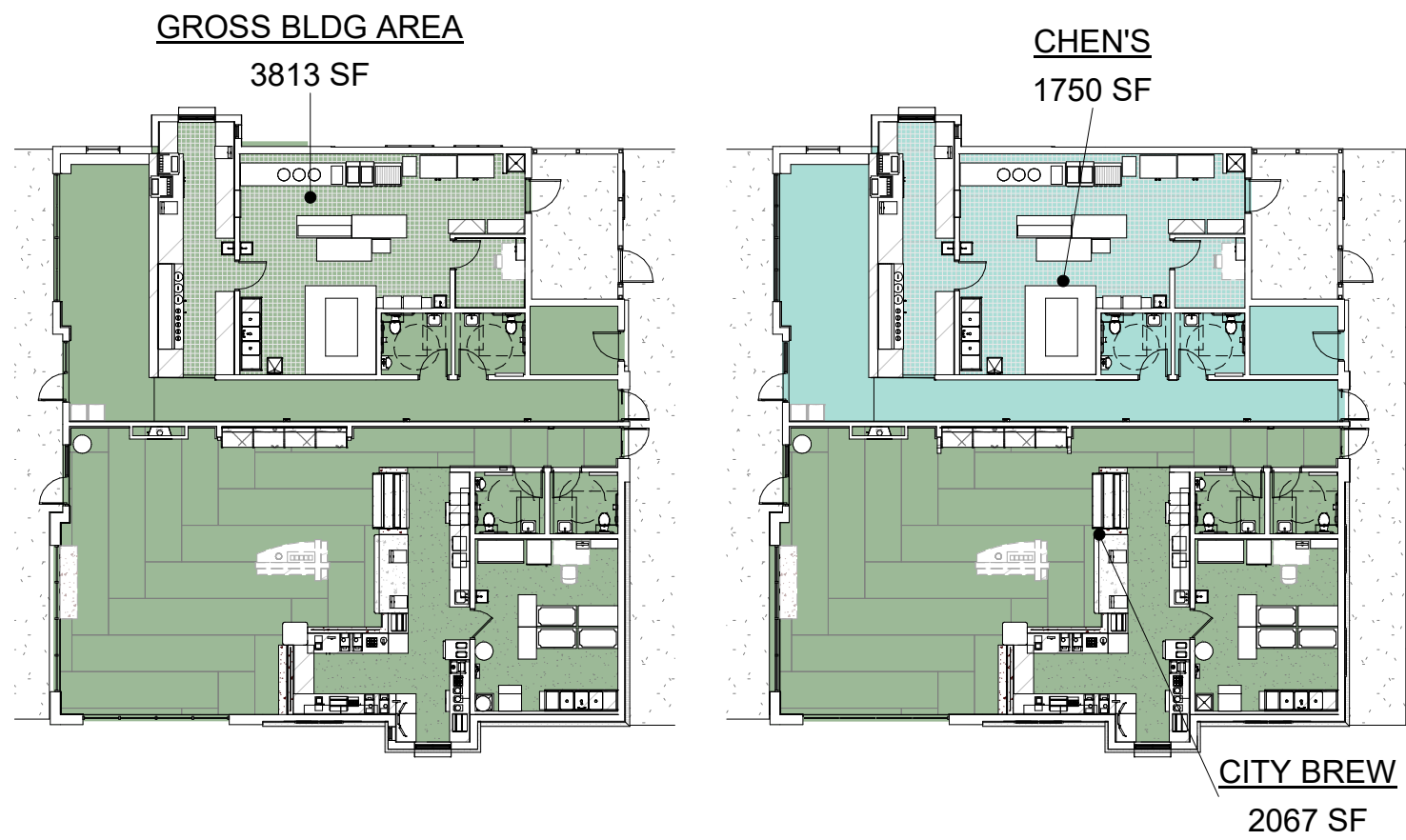
ARCH D (24"x36")

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

ARCH E1 (30"x42")

PROJECT TEAM

<b>OWNER</b> STEVE ZABAWA ZDEALER@CLOUD.COM	<b>CIVIL ENGINEER, PROJECT LEAD</b> SANDERSON STEWART 1300 N. TRANSTECH WAY BILLINGS, MT 59102 406.255.8521 CONTACT: BRYAN ALEXANDER
<b>ARCHITECT</b> A&E ARCHITECTS 124 NORTH 29th STREET BILLINGS, MT 59101 406.248.2633	<b>MEP ENGINEER</b> SIMPLICITY CONSULTING ENGINEERS & DESIGN, LLC P.O. BOX 81222 BILLINGS, MT 59108-1222 406.861.1255 CONTACT: CORY HASIAK, P.E.
<b>CONTRACTOR</b> WELLS BUILT 2530 SHILOH RD. BILLINGS, MT 59106 406.794.6465 CONTACT: STEVE WELLS	



1 GROSS AREA 1" = 20'-0"  
2 RENTABLE AREA 1" = 20'-0"

SUSTAINABILITY NOTES

- REPETITIVE AND/OR INTERMITTENT HIGH-LEVEL NOISE PERMITTED ONLY DURING DAYTIME. AT 50'-0" FROM THE PROJECT BOUNDARY DO NOT EXCEED 70 DB(A) FOR MORE THAN 12 MINUTES IN ANY HOUR.
- MAXIMUM AMBIENT NOISE LEVELS (DB) FOR NOISE AREA AT PROJECT BOUNDARY: DAYLIGHT HOURS 65 DB, NON-DAYLIGHT HOURS 45 DB.
- DEVELOP A WASTE MANAGEMENT PLAN ACCORDING TO ASTM E 1609. PLAN SHALL CONSIST OF WASTE IDENTIFICATION, WASTE REDUCTION WORK PLAN, AND COST/REVENUE ANALYSIS. DISTINGUISH BETWEEN CONSTRUCTION WASTES. INDICATE QUANTITIES BY WEIGHT OR VOLUME, BUT USE SAME UNITS OF MEASURE THROUGHOUT WASTE MANAGEMENT PLAN.
- DEVELOP A WASTE REDUCTION WORK PLAN. IDENTIFY NON-HAZARDOUS DEMOLITION AND CONSTRUCTION WASTES GENERATED BY THE PROJECT AND WHETHER IT WILL BE SALVAGED, RECYCLED, OR DISPOSED OF IN LANDFILL. INCLUDE QUANTITY OF EACH TYPE OF WASTE, QUANTITY FOR EACH MEANS OF RECOVERY, AND HANDLING AND TRANSPORTATION PROCEDURES.
- RECYCLED MATERIALS: DIVERT, AT A MINIMUM, 50% OF RESULTING WASTE FROM A LANDFILL THROUGH SALVAGE AND RECYCLING. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH, AND DEBRIS.
- DEVELOP A CONSTRUCTION IAQ MANAGEMENT PLAN. AT A MINIMUM, SCHEDULE OF INSTALLATION OF INTERIOR FINISHES, IDENTIFY SOURCES OF ODOR AND DUST, NOTE CONSTRUCTION VENTILATION PROVIDED INCLUDING USE OF PERMANENT HVAC SYSTEMS, TYPES OF FILTRATION AND SCHEDULE FOR REPLACEMENT OF FILTERS, CLEANING AND DUST CONTROL PROCEDURES, PRODUCTS REQUIRING MOISTURE PROTECTION, AND SCHEDULE FOR INSPECTION OF STORED MATERIALS.
- DEVELOP A TEMPORARY SEDIMENTATION CONTROL PLAN. INDICATE DEVICES, MEASURES, AND LOCATIONS FOR SEDIMENT CONTROL DEVICES. DESCRIBE CONSTRUCTION ACTIVITIES EFFECTING EROSION, DESCRIBE MONITORING AND MEASURES FOR SEDIMENT CONTROL, DESCRIBE MITIGATION AND RESPONSE TO FAILED EROSION CONTROL MEASURES.
- LOW EMITTING MATERIALS: PAINTS, COATINGS, ADHESIVES AND SEALANTS FOR FIELD APPLICATIONS INSIDE THE WEATHER PROOFING SYSTEM SHALL COMPLY WITH VOC CONTENT LIMITS OF AUTHORITIES HAVING JURISDICTIONS OR SCAQMD RULE 1168, WHICHEVER IS STRICTER.
- NO SMOKING. SMOKING, VAPING, AND SMOKELESS TOBACCO USE IS NOT PERMITTED WITHIN THE BUILDING, OR WITHIN 25'-0" OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR AIR INTAKES.
- CAST-IN-PLACE CONCRETE: PROVIDE STEEL REINFORCING MATERIALS WITH MINIMUM 25% RECYCLED CONTENT. PROVIDE AGGREGATE AND CEMENT EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- UNIT MASONRY: PROVIDE BRICK, BLOCK, AGGREGATE, CEMENT, MORTAR, AND LIME EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- STRUCTURAL STEEL, STEEL DECKING, FORMED METAL FRAMING, METAL TOILET COMPARTMENTS, AND FORMED METAL WALL AND ROOF PANELS. PROVIDE MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 25%.
- ALL COMPOSITE WOOD PRODUCTS SHALL BE MANUFACTURED WITHOUT ADDED UREA FORMALDEHYDE.
- ALUMINUM ENTRANCE AND WINDOW SYSTEMS. PROVIDE ALUMINUM MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 50%.
- PROVIDE GYPSUM BOARD WALL PANELS MANUFACTURED WITHIN 500 MILES OF THE PROJECT SITE.
- RESILIENT HARD SURFACE FLOORING MATERIALS AND THEIR ADHESIVES SHALL BE FLOORSOURCE CERTIFIED.
- PLUMBING FIXTURES SHALL BE WATERSENSE CERTIFIED.

ARCHITECTURAL DRAWINGS

GENERAL INFO	SHEET NAME
G0.0	COVER SHEET
G0.1	GENERAL INFORMATION
CIVIL	SHEET NAME
C1.0	EXISTING SITE PLAN
C2.0	SITE UTILITY PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	DETAILS
LANDSCAPE	SHEET NAME
L1.1	LANDSCAPE PLAN
L2.1	PLANTING DETAILS
ARCHITECTURAL	SHEET NAME
A0.1	ASSEMBLY TYPES
A1.1	SITE PLAN
A2.1	FLOOR PLAN
A2.2	ROOF PLAN
A3.1	ENLARGED CHEN'S EXPRESS PLAN
A3.2	ENLARGED CITY BREW PLAN
A3.10	PLAN DETAILS
A4.1	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A5.5	WALL SECTIONS
A5.6	WALL SECTIONS
A5.7	WALL SECTIONS
A5.9	HARD REVEAL SECTION DETAILS
A5.10	SECTION DETAILS
A6.1	INTERIOR ELEVATIONS
A6.2	INTERIOR ELEVATIONS
A6.3	INTERIOR ELEVATIONS
A6.4	INTERIOR ELEVATIONS
A6.5	INTERIOR DESIGN DETAILS
A6.8	CASEWORK DETAILS
A7.1	REFLECTED CEILING PLAN
A7.2	REFLECTED CEILING PLAN DETAILS
A9.1	SCHEDULES
STRUCTURAL	SHEET NAME
S1.1	FOUNDATION PLAN
S1.2	ROOF FRAMING PLAN
S2.0	MECHANICAL COORDINATION PLAN
S2.1	SECTIONS AND DETAILS
S2.1	SECTIONS AND DETAILS
MECHANICAL AND PLUMBING	SHEET NAME
M0.1	MECHANICAL LEGEND & SCHEDULES
M0.2	MECHANICAL DETAILS
M0.3	MECHANICAL SPECIFICATIONS
M1.1	BELOW SLAB PLUMBING PLAN
M1.2	PLUMBING ROOF PLAN
M2.1	ENLARGED CHEN'S PLUMBING PLAN
M2.2	ENLARGED CITY BREW PLUMBING PLAN
M3.1	ENLARGED CHEN'S EXPRESS MECHANICAL PLAN
M3.2	ENLARGED CITY BREW MECHANICAL PLAN
M3.3	MECHANICAL ROOF PLAN
ELECTRICAL	SHEET NAME
E0.1	ELECTRICAL COVER SHEET
E0.2	ELECTRICAL SITE PLAN
E1.1	LIGHTING PLAN
E2.0	POWER AND SPECIAL SYSTEMS PLAN
E2.1	ROOF ELECTRICAL PLAN
E3.0	ELECTRICAL SCHEDULES AND DETAILS

ALTERNATE PRICING NOTES

- FIRE SPRINKLER SYSTEM
- CONTRACTOR TO PROVIDE PRICING FOR FULL SPRINKLER SYSTEM
  - CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ONLY SLEEVING FIRE SPRINKLER LINE INTO FIRE ROOM. NO LINE TO STREET, FIRE ALARM OR INTERIOR SPRINKLER SYSTEM WILL BE INCLUDED IN THIS ALTERNATE.

CODE ANALYSIS

- CHAPTER 3:
- A-2 RESTAURANT AND COFFEE SHOPS
- CHAPTER 5:
- ALLOWABLE BUILDING HT = 60 FOR SPRINKLERED BUILDING OCCUPANCY A
  - A-2 OCCUPANCY: SINGLE STORY SPRINKLERED BUILDING, TYPE VB CONSTRUCTION = 24,000 SF
- CHAPTER 9:
- A-2 SPRINKLERS REQUIRED FOR FIRE AREA OCCUPANT LOAD GREATER THAN 100. ACTUAL OCCUPANT LOAD IS 99. NO SPRINKLER SYSTEM REQUIRED.
- PARKING
- SEE C2.0 FOR PARKING CALCULATIONS

BUILDING ENVELOPE USES PRESCRIPTIVE COMPLIANCE METHOD TO MEET THE REQUIREMENT OF THE IECC. SEE SHEET G0.2 FOR ASSEMBLY R-VALUES.

SEE ATTACHED COMCHECK FOR COMPLIANCE WITH DOE STANDARDS FOR MECHANICAL, PLUMBING AND LIGHTING.



GENERAL INFORMATION  
sheet  
project  
owner  
LAUREL CITY BREW-CHEN'S EXPRESS  
STEVE ZABAWA

project # 21017  
revision date

phase  
PRICING AND PERMITS



issue date  
7.2.2021

G0.1



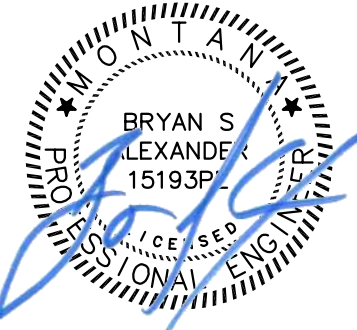
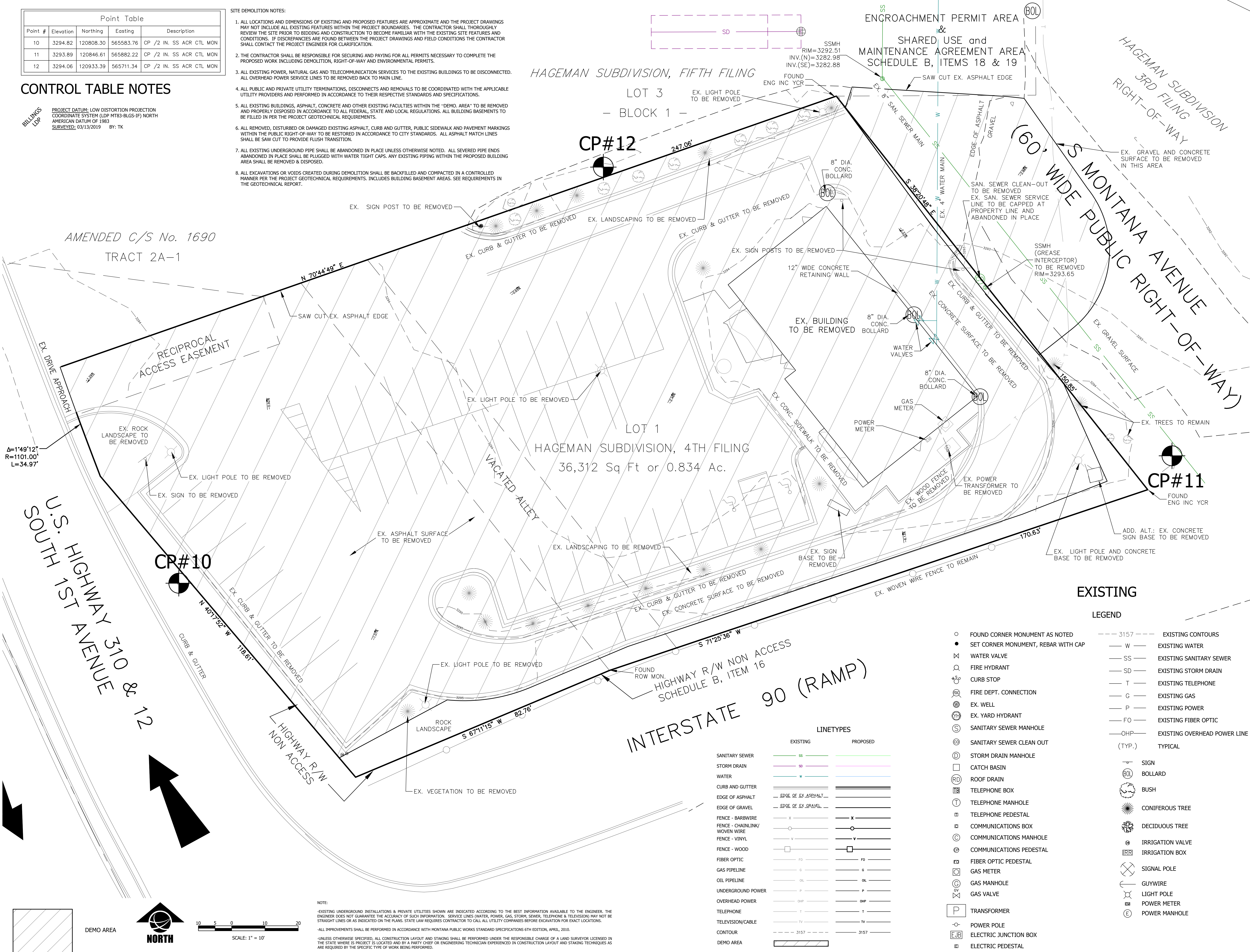
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Point #	Elevation	Northing	Easting	Description
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11	3293.89	120846.61	565882.22	CP /2 IN. SS ACR CTL MON
12	3294.06	120933.39	565711.34	CP /2 IN. SS ACR CTL MON

CONTROL TABLE NOTES

PROJECT DATUM: LOW DISTORTION PROJECTION  
COORDINATE SYSTEM (LDP MT83-BLGS-IF) NORTH  
AMERICAN DATUM OF 1983  
SURVEYED: 03/13/2019 BY: TK

SITE DEMOLITION NOTES:

1. ALL LOCATIONS AND DIMENSIONS OF EXISTING AND PROPOSED FEATURES ARE APPROXIMATE AND THE PROJECT DRAWINGS MAY NOT INCLUDE ALL EXISTING FEATURES WITHIN THE PROJECT BOUNDARIES. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE SITE PRIOR TO BIDDING AND CONSTRUCTION TO BECOME FAMILIAR WITH THE EXISTING SITE FEATURES AND CONDITIONS. IF DISCREPANCIES ARE FOUND BETWEEN THE PROJECT DRAWINGS AND FIELD CONDITIONS THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS NECESSARY TO COMPLETE THE PROPOSED WORK INCLUDING DEMOLITION, RIGHT-OF-WAY AND ENVIRONMENTAL PERMITS.
3. ALL EXISTING POWER, NATURAL GAS AND TELECOMMUNICATION SERVICES TO THE EXISTING BUILDINGS TO BE DISCONNECTED. ALL OVERHEAD POWER SERVICE LINES TO BE REMOVED BACK TO MAIN LINE.
4. ALL PUBLIC AND PRIVATE UTILITY TERMINATIONS, DISCONNECTS AND REMOVALS TO BE COORDINATED WITH THE APPLICABLE UTILITY PROVIDERS AND PERFORMED IN ACCORDANCE TO THEIR RESPECTIVE STANDARDS AND SPECIFICATIONS.
5. ALL EXISTING BUILDINGS, ASPHALT, CONCRETE AND OTHER EXISTING FACILITIES WITHIN THE "DEMO. AREA" TO BE REMOVED AND PROPERLY DISPOSED IN ACCORDANCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. ALL BUILDING BASEMENTS TO BE FILLED IN PER THE PROJECT GEOTECHNICAL REQUIREMENTS.
6. ALL REMOVED, DISTURBED OR DAMAGED EXISTING ASPHALT, CURB AND GUTTER, PUBLIC SIDEWALK AND PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY TO BE RESTORED IN ACCORDANCE TO CITY STANDARDS. ALL ASPHALT MATCH LINES SHALL BE SAW CUT TO PROVIDE FLUSH TRANSITION.
7. ALL EXISTING UNDERGROUND PIPE SHALL BE ABANDONED IN PLACE UNLESS OTHERWISE NOTED. ALL SEVERED PIPE ENDS ABANDONED IN PLACE SHALL BE PLUGGED WITH WATER TIGHT CAPS. ANY EXISTING PIPING WITHIN THE PROPOSED BUILDING AREA SHALL BE REMOVED & DISPOSED.
8. ALL EXCAVATIONS OR VOIDS CREATED DURING DEMOLITION SHALL BE BACKFILLED AND COMPACTED IN A CONTROLLED MANNER PER THE PROJECT GEOTECHNICAL REQUIREMENTS. INCLUDES BUILDING BASEMENT AREAS. SEE REQUIREMENTS IN THE GEOTECHNICAL REPORT.



**SANDERSON STEWART**  
Enduring Community Design

EXISTING SITE AND DEMOLITION PLAN  
project # **21017**  
revision \_\_\_\_\_ date \_\_\_\_\_  
phase **PERMITS AND CONSTRUCTION**  
owner **LAUREL CITY BREW-CHEN'S EXPRESS**  
owner **STEVE ZABAWA**



issue date  
**8.13.2021**

**C1.0**



②

- #### 4 PARKING COUNT

LEGAL DESCRIPTION: LOT 1, HAGEMAN SUBDIVISION 4TH FILING  
ZONING: HIGHWAY COMMERCIAL - COMMUNITY ENTRYWAY  
LOT AREA: 0.834 ACRES

PARKING CALC.:

REQUIRED:

1 SPACE PER 100 SQ. FT OF PATRON USE FLOOR AREA  
1658 SQ. FT. /100 = 17 SPACES

PROPOSED:

18 STANDARD + 2 ADA ACCESSIBLE = 20 SPACES

PARKING CALC:

REQUIRED:

1 SPACE PER 100 SQ. FT OF PATRON USE FLOOR AREA

1658 SQ. FT. /100 = 17 SPACES

PROPOSED:

18 STANDARD + 2 ADA ACCESSIBLE = 20 SPACES

COORDINATE SIGNAGE LOCATIONS, GROUND LOOPS,  
AND OTHER SITE INFORMATION WITH SHEET A1.1

REFERENCE ELECTRICAL DRAWINGS FOR SITE  
LIGHTING DETAILS AND LOCATIONS



SCALE: 1" = 10'

NOTE:

-EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, STORM, SEWER, TELEPHONE & TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.

-ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010.

-UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED FOR THE SPECIFIC TYPE OF WORK BEING PERFORMED.



## Enduring Community Design

Sheet **SITE AND UTILITY PLAN**

**LAUREL CITY BREW-CHEN'S EXPRESS**

owner  
**STEVE ZABAWA**

project # 21017

revision	date
----------	------

## phase

### PERMITS AND CONSTRUCTION



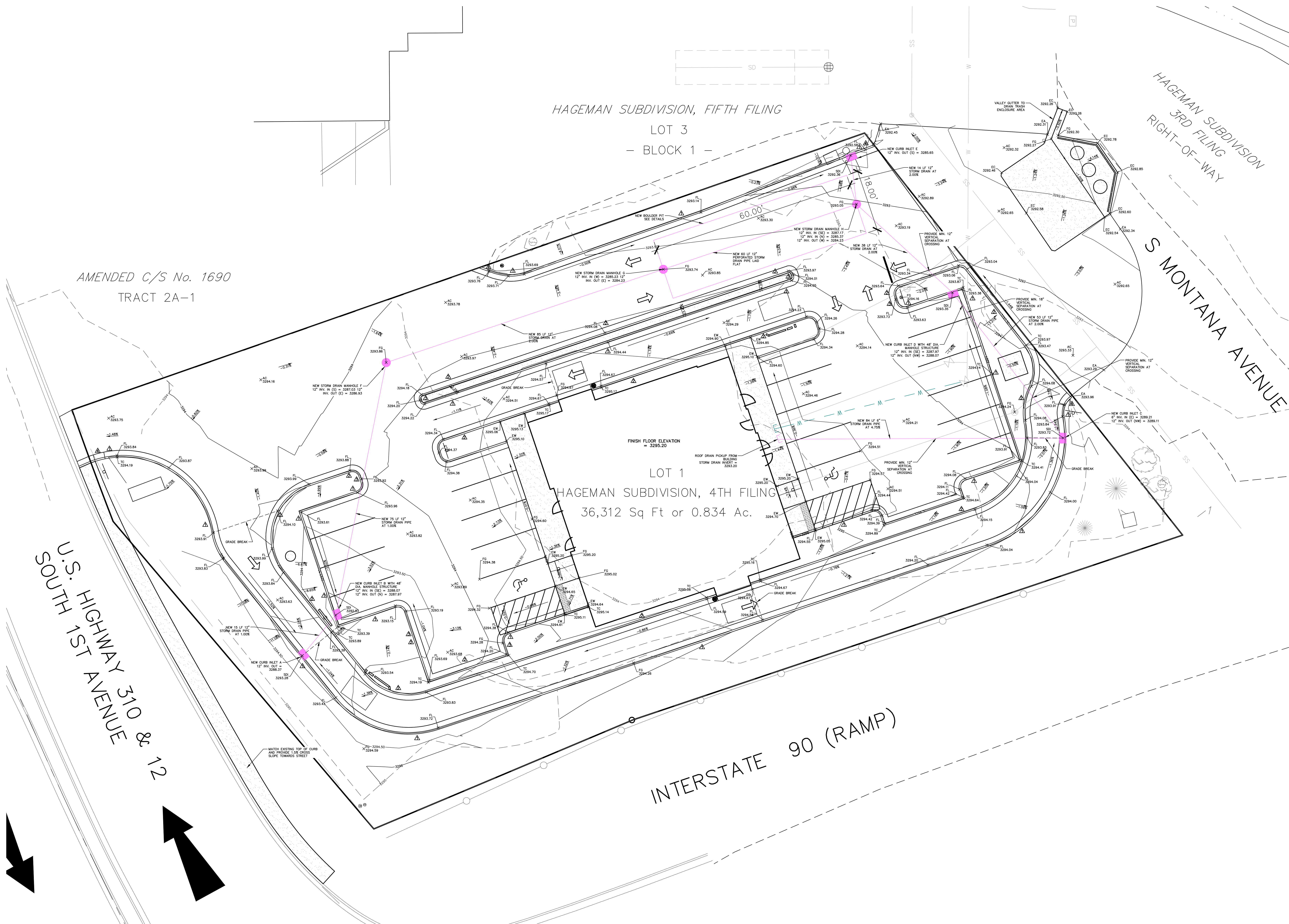
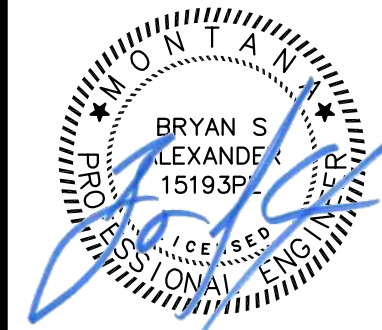
10.8.2021

1000

## C2.0

17





**LEGEND:**  
△ CATCH CURB  
△ SPILL CURB  
△ TRANSITION FROM CATCH TO SPILL CURB  
△ TAPER CURB HEAD 3'  
TOP OF CURB - 0.38' = LIP  
TOP OF CURB - 0.50' = FLOWLINE  
TOP OF CURB - 0.58' = LIP  
TOP OF CURB - 0.50' = FLOWLINE  
EW = FINISHED GRADE AT EDGE OF WALK  
TC = FINISHED GRADE AT TOP BACK OF CURB  
TW = FINISHED GRADE AT TOP OF WALL  
AC = FINISHED GRADE AT ASPHALT  
EC = FINISHED GRADE AT EDGE OF CONCRETE  
SDI = STORM DRAIN INLET  
SDMH = STORM DRAIN MANHOLE  
FL = FINISHED GRADE AT FLOWLINE  
GR = FINISHED GRADE AT GROUND  
EX = APPROXIMATE EXISTING ELEVATION



SCALE: 1" = 10'

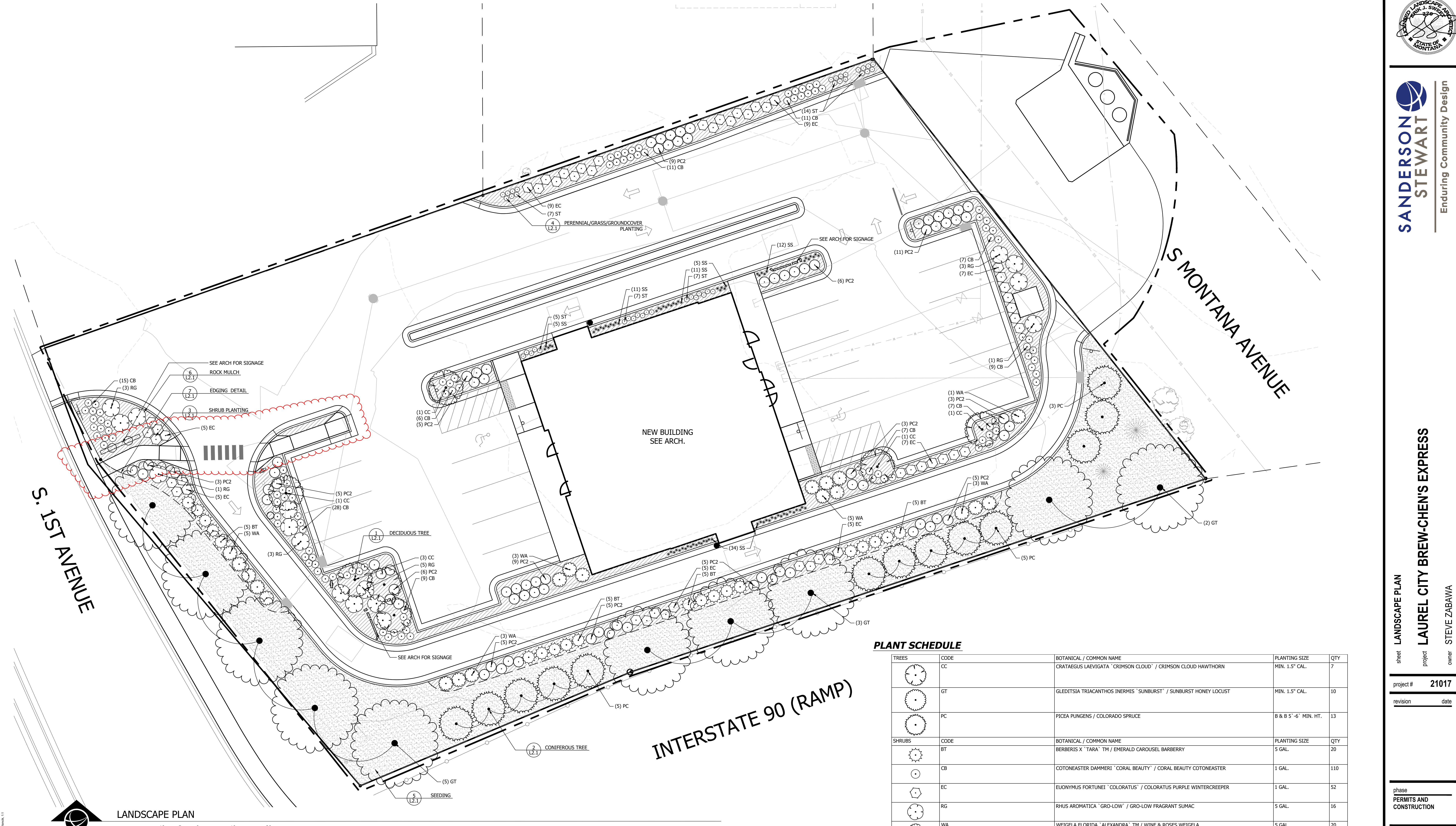
NOTE:  
-EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, STORM, SEWER, TELEPHONE & TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.  
-ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010.  
-UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE IS PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.







P:\PROJECTS\_24\Engineering\_Subs\08\_11\_City\_BrewChen\CD\PRODUCTION\_DRAWINGS\LANDSCAPE\_10072021.dwg, 10/8/2021 4:28:53 PM, mstewart, 1:1



#### LEGEND

- LIMIT OF WORK
- LANDSCAPE EDGING
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE

#### GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, APPLICABLE LICENSES, STANDARDS, PERMITS, ETC. WHICH ARE NECESSARY TO PERFORM THE WORK.
2. THE CONTRACTOR SHALL LOCATE, CLEARLY MARK AND MAINTAIN EXISTING UTILITIES ON THE SITE PRIOR TO WORK START UP. CALL FOR UTILITY LOCATES PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND REPAIR OF UTILITIES IF DAMAGED. REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
5. LIMIT OF WORK IS AS INDICATED ON THE PLANS.
6. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.

#### PLANTING NOTES

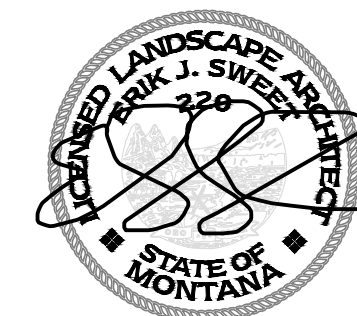
1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
2. ALL EXISTING GRASS STAND AREAS DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE SOIL PREPARED AND SEEDED BY THE CONTRACTOR.
3. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES.
4. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES AND AMERICAN NURSERY STANDARDS IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH.
5. REPAIR DISTURBED AREAS BENEATH SHRUBS BY HAND.
6. REPAIR AND RESEED STAGING AREA.
7. CONTRACTOR SHALL COORDINATE IRRIGATION AND PLANTING WORK SUCH THAT INSTALLED IRRIGATION EQUIPMENT SHALL NOT CAUSE ADJUSTMENT OF PLANTING LOCATIONS CONTRARY TO THE PLANS. IF IRRIGATION EQUIPMENT IS INSTALLED IN LOCATIONS OBSTRUCTING THE INTENDED LOCATIONS OF THE PLANTINGS, NOTIFY THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
8. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
9. PLANTING BEDS TO BE AMENDED WITH A MIN. 12" DEPTH TOP QUALITY TOPSOIL PRIOR TO PLANTING.
10. AREAS TO BE SEEDED OR SODDED TO BE AMENDED WITH A MIN. 4" DEPTH TOP QUALITY TOPSOIL PRIOR TO SEEDED OR SODDING.

#### PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	PLANTING SIZE	QTY
	CC	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' / CRIMSON CLOUD HAWTHORN	MIN. 1.5" CAL.	7
	GT	GLEDTISIA TRIACANTHOS INERMIS 'SUNBURST' / SUNBURST HONEY LOCUST	MIN. 1.5" CAL.	10
	PC	PICEA PUNGENS / COLORADO SPRUCE	8 & B 5'-6" MIN. HT.	13
SHRUBS	CODE	BOTANICAL / COMMON NAME	PLANTING SIZE	QTY
	BT	BERBERIS X 'TARA' TM / EMERALD CAROUSEL BARBERRY	5 GAL.	20
	CB	COTONEASTER DAMMERI 'CORAL BEAUTY' / CORAL BEAUTY COTONEASTER	1 GAL.	110
	EC	EUONYMUS FORTUNEI 'COLORATUS' / COLORATUS PURPLE WINTERCREEPER	1 GAL.	52
	RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.	16
	WA	WEIGELA FLORIDA 'ALEXANDRA' TM / WINE & ROSES WEIGELA	5 GAL.	20
GRASSES	CODE	BOTANICAL / COMMON NAME	PLANTING SIZE	QTY
	PC2	PANICUM VIRGATUM 'CHEYENNE SKY' / SWITCH GRASS	1 GAL.	80
	SS	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVATION LITTLE BLUESTEM	1 GAL.	78
	ST	SPOROBOLUS HETEROLEPIS 'TARA' / TARA PRAIRIE DROPSEED	1 GAL.	40
GROUND COVERS	BOTANICAL / COMMON NAME	QTY		
	SEEDING / MOWED LAWN MIX	5,025 SF		
SITE	BOTANICAL / COMMON NAME	QTY		
	ROCK MULCH CRUSHED ROCK 1" DIA OR SMALLER. 2" DEPTH.	2,227 SF		



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**SANDERSON  
STEWART**  
Enduring Community Design

sheet LANDSCAPE PLAN  
project LAUREL CITY BREW-CHEN'S EXPRESS  
owner STEVE ZABAWA

project # 21017  
revision date

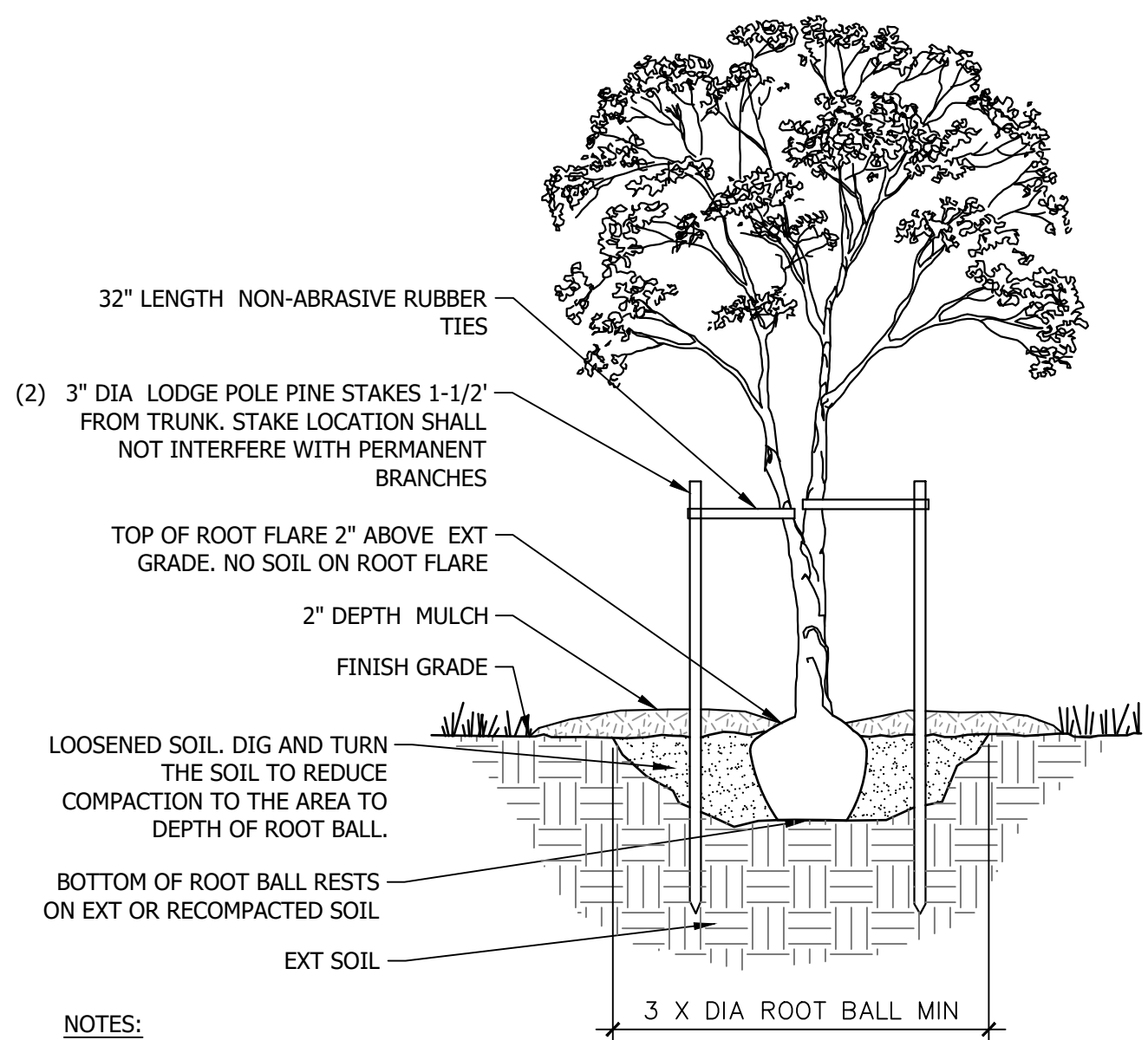
phase  
PERMITS AND  
CONSTRUCTION



issue date  
10.8.2021

L1.1

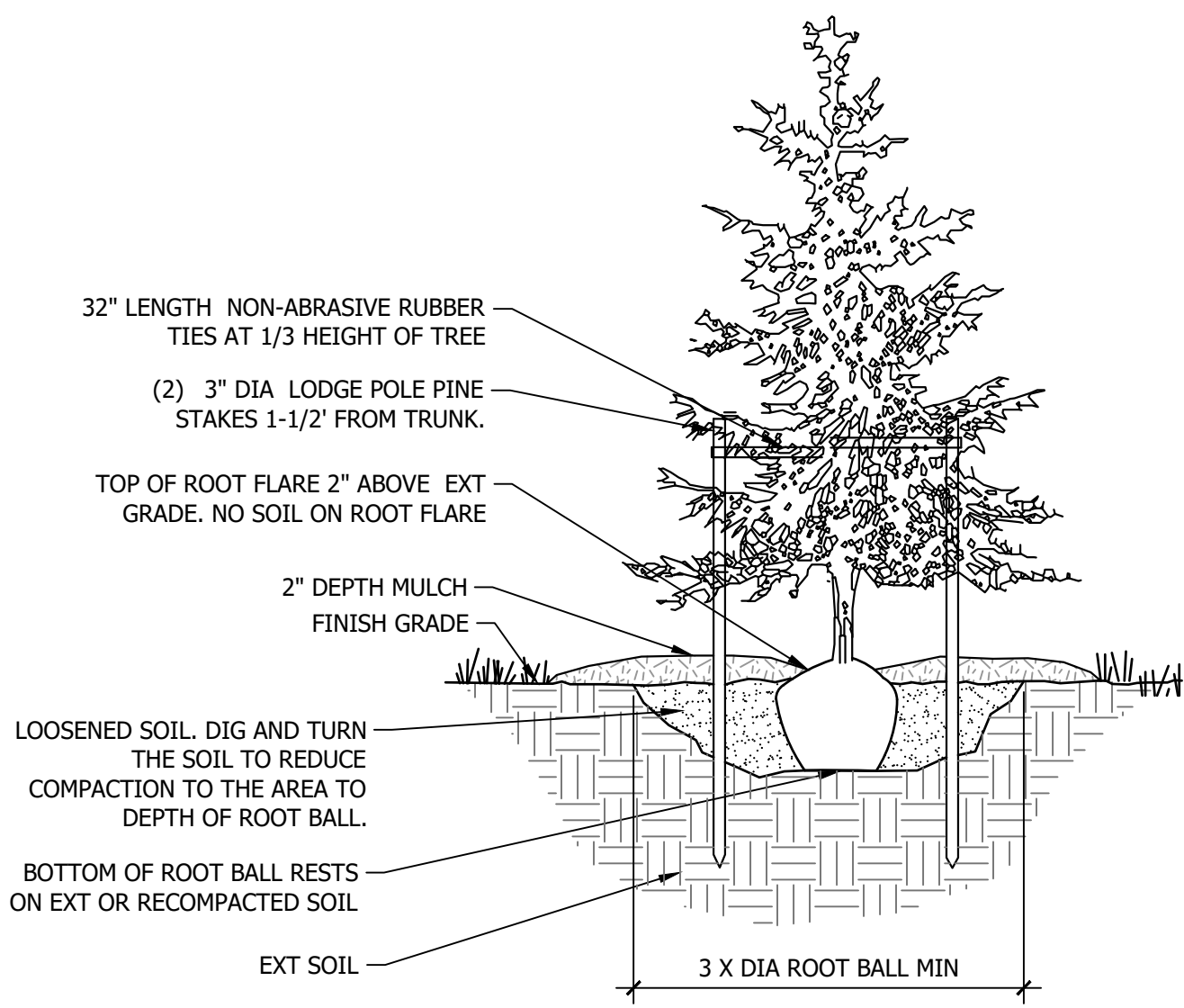




- NOTES:
1. REMOVE NURSERY STAKES.
  2. PRUNE DEAD OR DAMAGED LIMBS IMMEDIATELY AFTER PLANTING.
  3. REMOVE WIRE TIES AND BURLAP FROM ROOT BALL.
  4. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING PIT HAS BEEN BACKFILLED, POUR WATER AROUND ROOT BALL TO SETTLE THE SOIL.
  5. BACKFILL WITH AMENDED SOIL.
  6. REMOVE STAKES FOLLOWING FIRST GROWING SEASON.
  7. SCARIFY SUBGRADE 12", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.
  8. PROVIDE SUPPLEMENTAL WATER FOR THE FIRST YEAR FOLLOWING INSTALLATION.

## 1 DECIDUOUS TREE

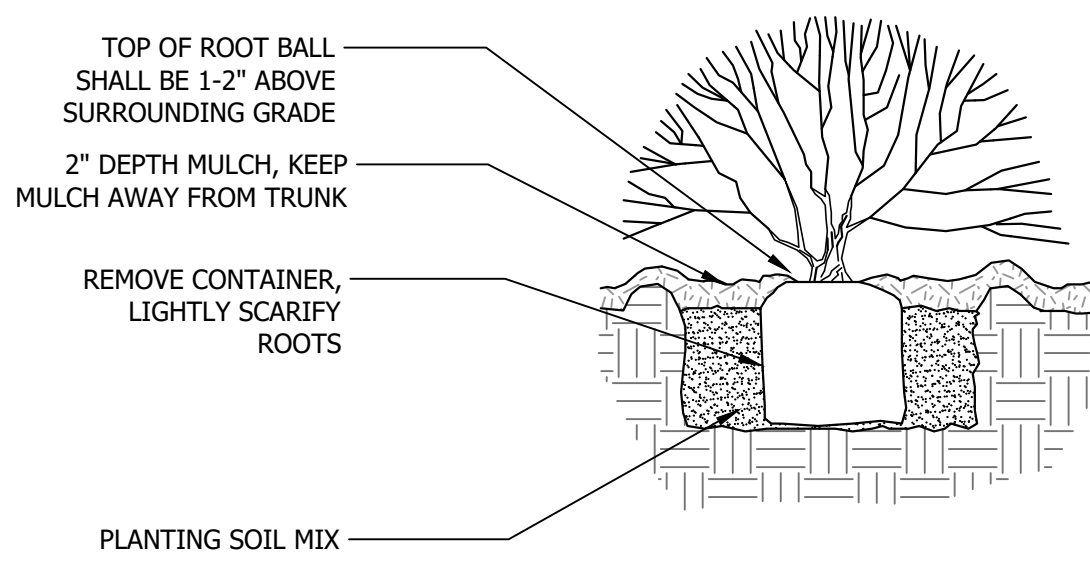
N.T.S.



- NOTES:
1. REMOVE NURSERY STAKES.
  2. PRUNE DEAD OR DAMAGED LIMBS IMMEDIATELY AFTER PLANTING.
  3. REMOVE WIRE TIES AND BURLAP FROM TOP 1/2 OF ROOT BALL.
  4. REMOVE ALL BASKETS.
  5. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING PIT HAS BEEN BACKFILLED, POUR WATER AROUND ROOT BALL TO SETTLE THE SOIL.
  6. BACKFILL WITH AMENDED SOIL.
  7. REMOVE STAKES FOLLOWING FIRST GROWING SEASON.
  8. PROVIDE SUPPLEMENTAL WATER FOR THE FIRST YEAR FOLLOWING INSTALLATION.

## 2 CONIFEROUS TREE

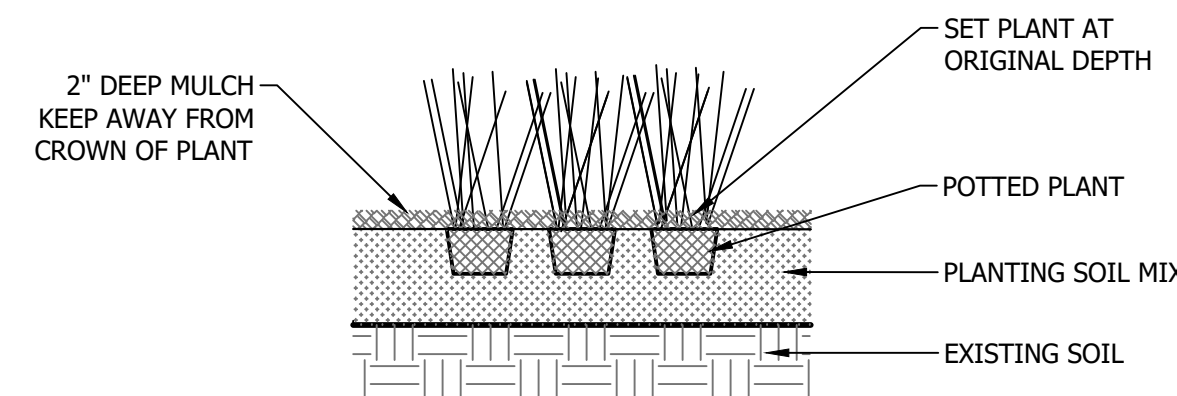
N.T.S.



- NOTES:
1. SHRUBS WITH BROKEN OR CRUMBLING ROOT BALLS WILL BE REJECTED. CONTAINER REMOVAL WILL NOT BE AN EXCUSE FOR DAMAGED ROOT BALLS.
  2. TOP OF MULCH TO BE 1" BELOW ADD WALKWAY, CURB, EDGING, OR OTHER SURFACE.
  3. PRUNE OUT ALL DAMAGED OR DEAD WOOD.
  4. ALL PLANT MATERIAL TO BE INSPECTED UPON DELIVERY. REJECTED MATERIALS TO BE IMMEDIATELY RETURNED TO SOURCE.
  5. SCARIFY SUBGRADE 12", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.

## 3 SHRUB PLANTING

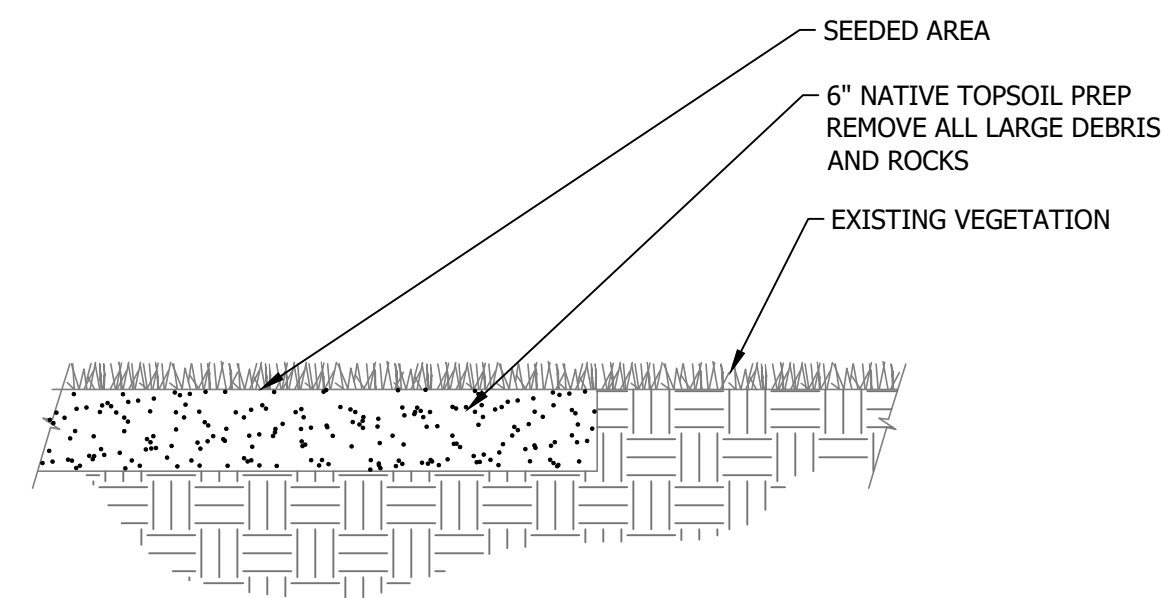
N.T.S.



- NOTES:
1. REMOVE SPENT FLOWERS PRIOR TO PLANTING.
  2. LOOSEN ROOT MASS AT BOTTOM OF ROOTBALL.
  3. STRIP TOP OF ROOTBALL 3/4" OF SURFACE GROWING MEDIA AND COVER WITH 3/4" PLANTING MIX PLUS SURFACE MULCH.
  4. QUANTITY AND SPACING AS NOTED IN PLANT SCHEDULE.

## 4 PERENNIAL/GRASS/GROUNDCOVER PLANTING

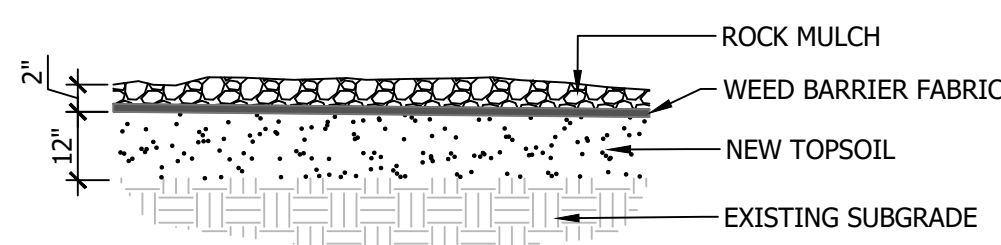
N.T.S.



- NOTE:
1. SCARIFY SUBGRADE 6", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.
  2. TOP SOIL SHALL BE 6" AND AMENDED WITH ORGANIC COMPOST.

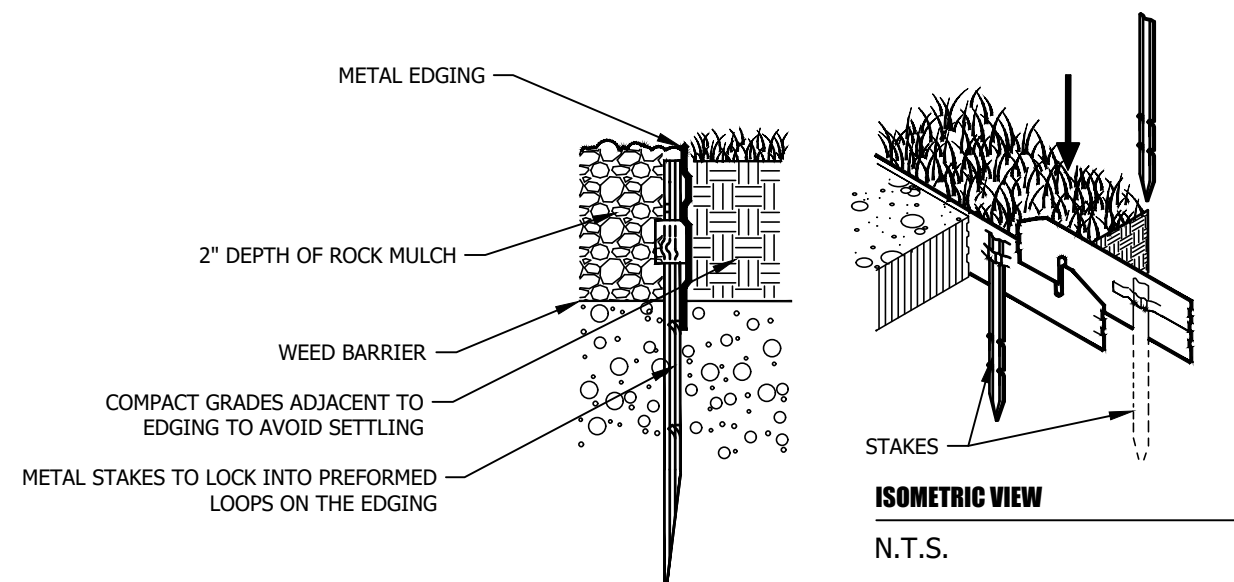
## 5 SEEDING

N.T.S.



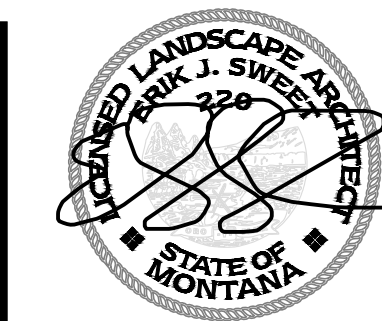
## 6 ROCK MULCH

N.T.S.

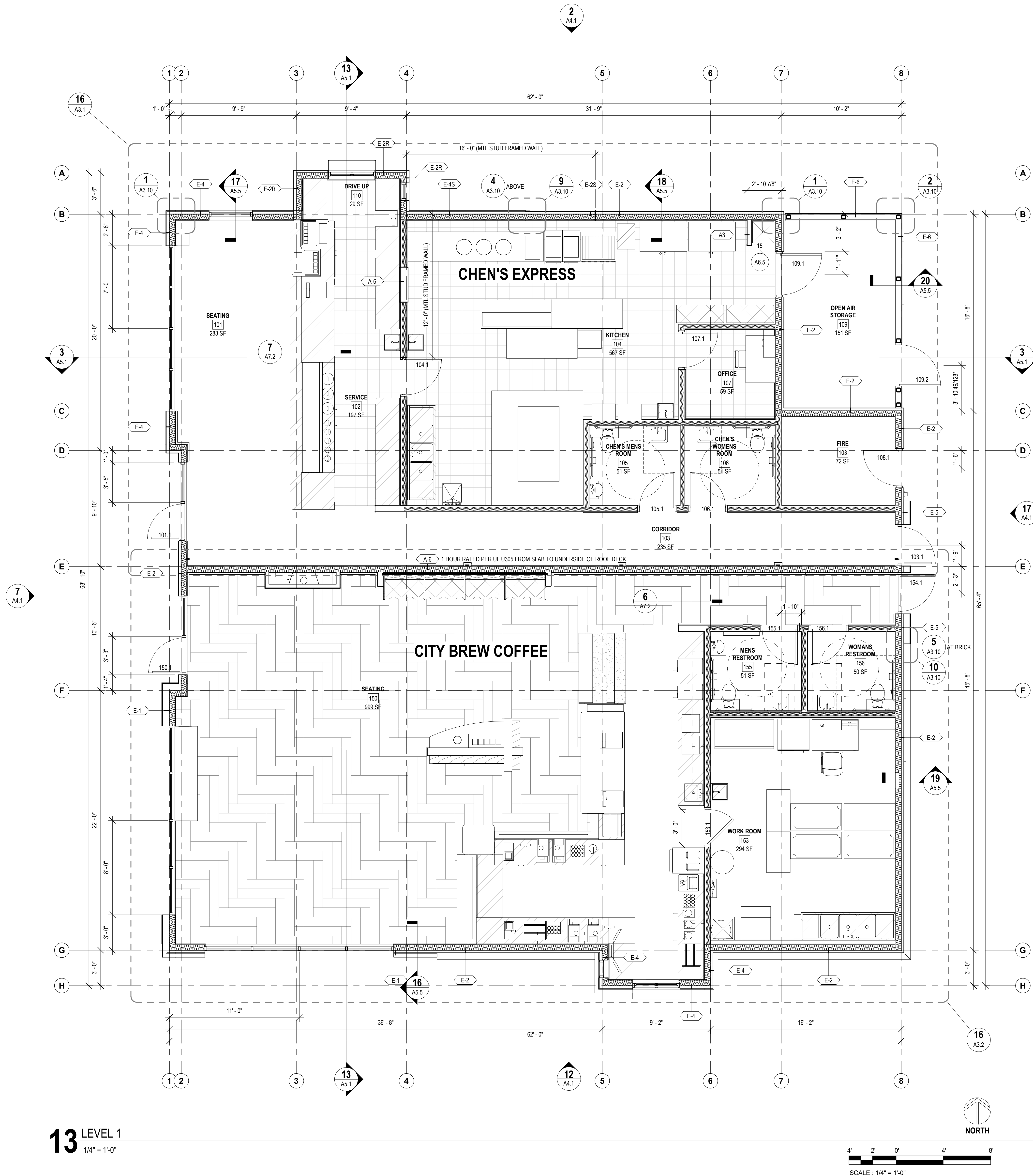


## 7 EDGING DETAIL

N.T.S.







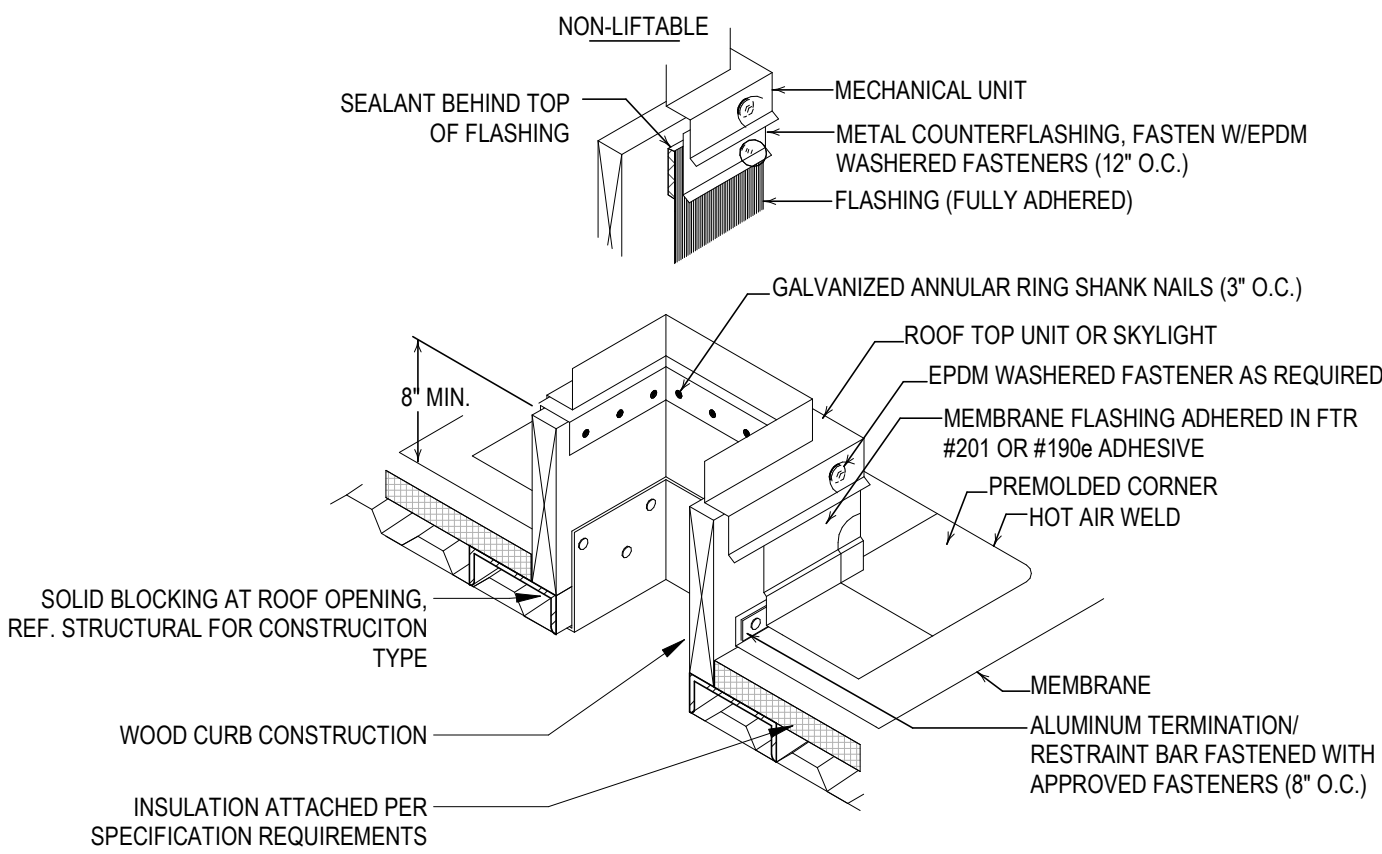
13 LEVEL 1  
1/4" = 1'-0"



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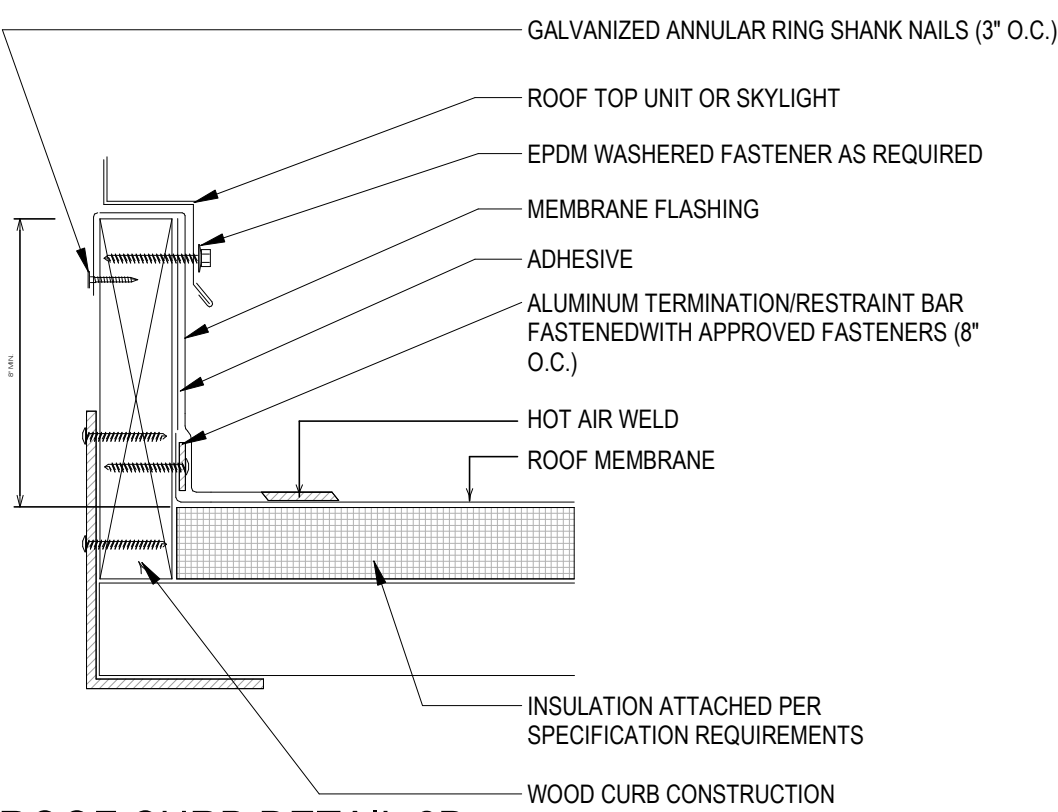
## 16 ROOF CURB DETAIL

6" = 1'-0"



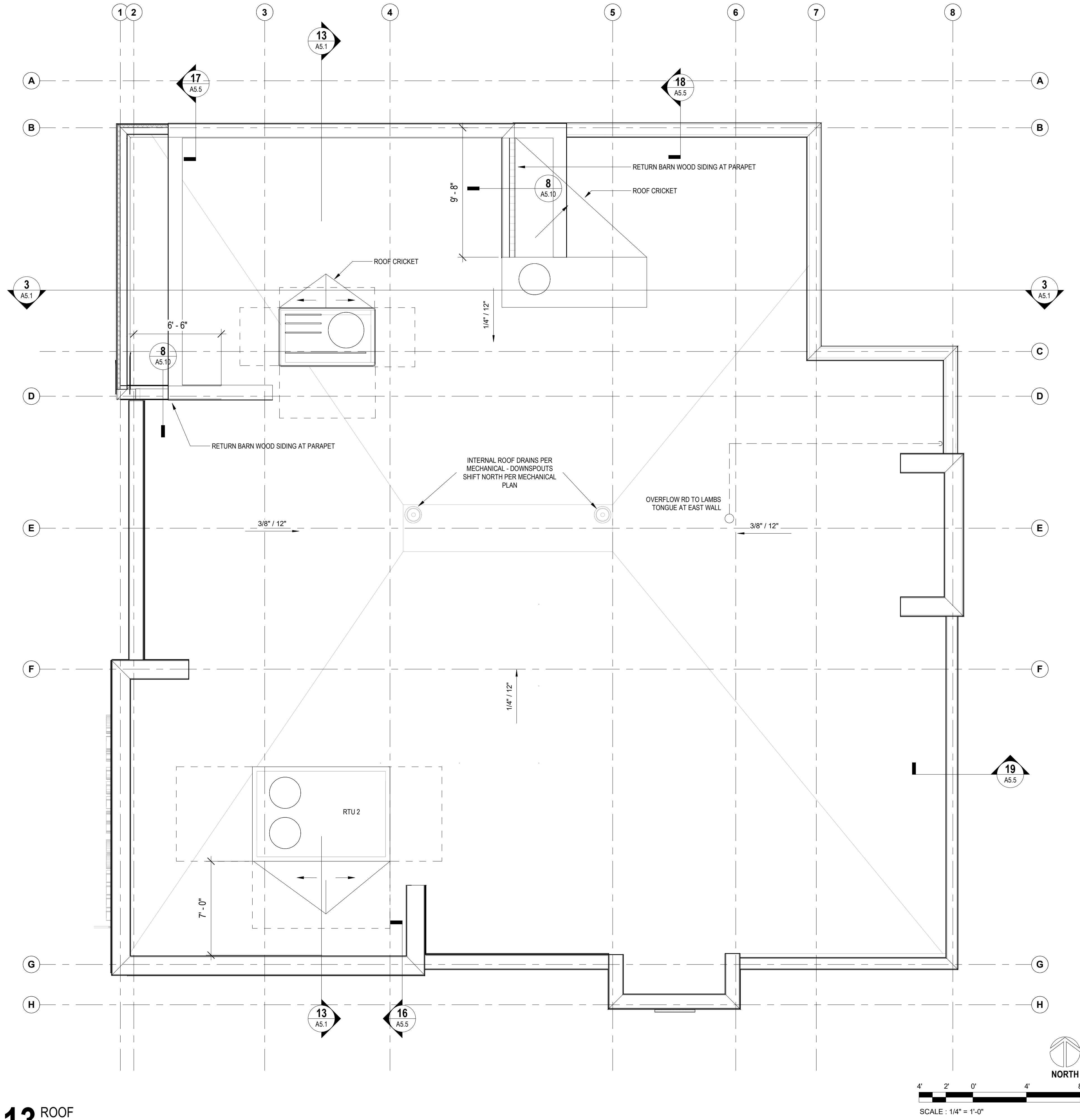
## 17 ROOF CURB DETAIL 2D

6" = 1'-0"



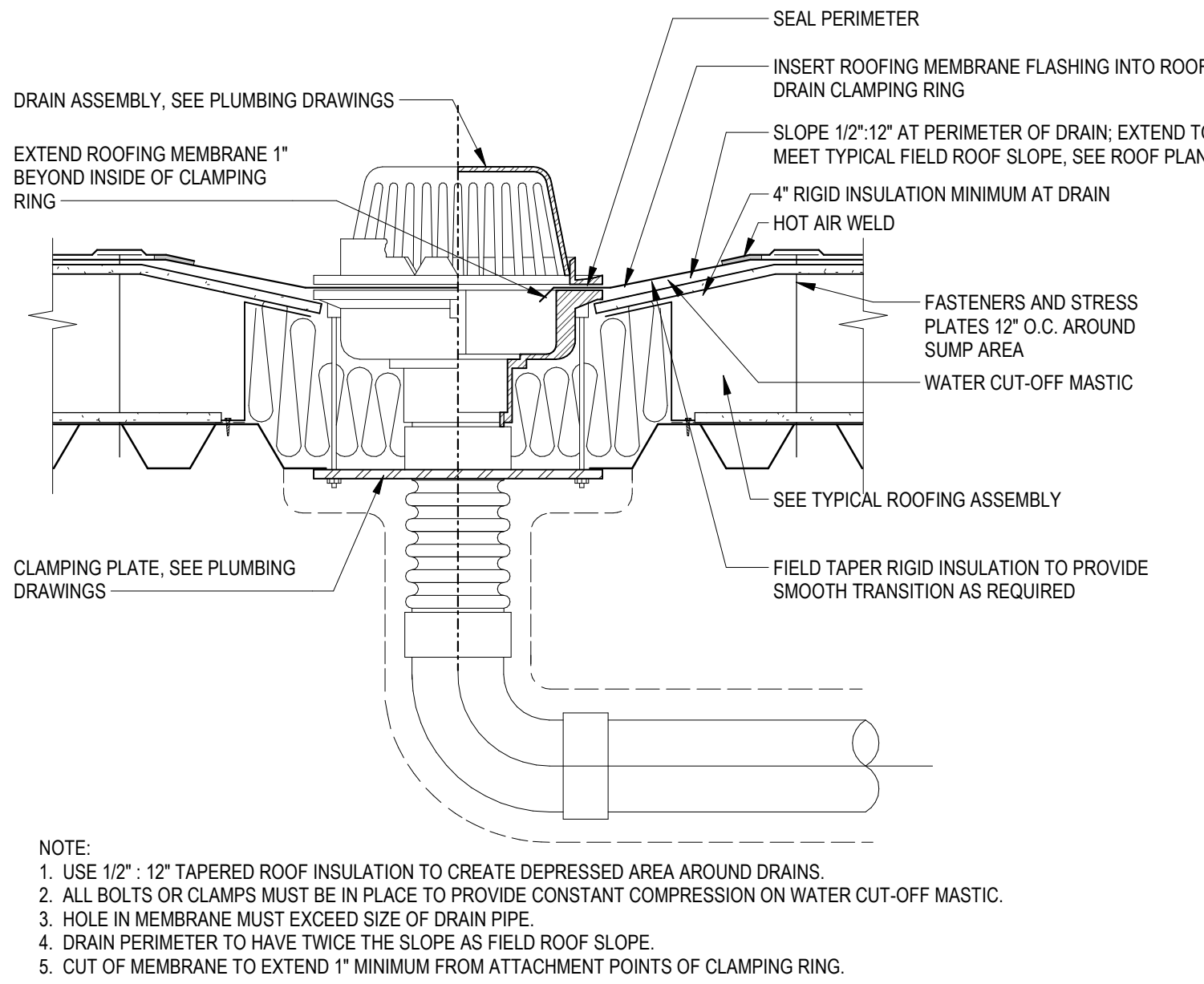
## 13 ROOF

1/4" = 1'-0"



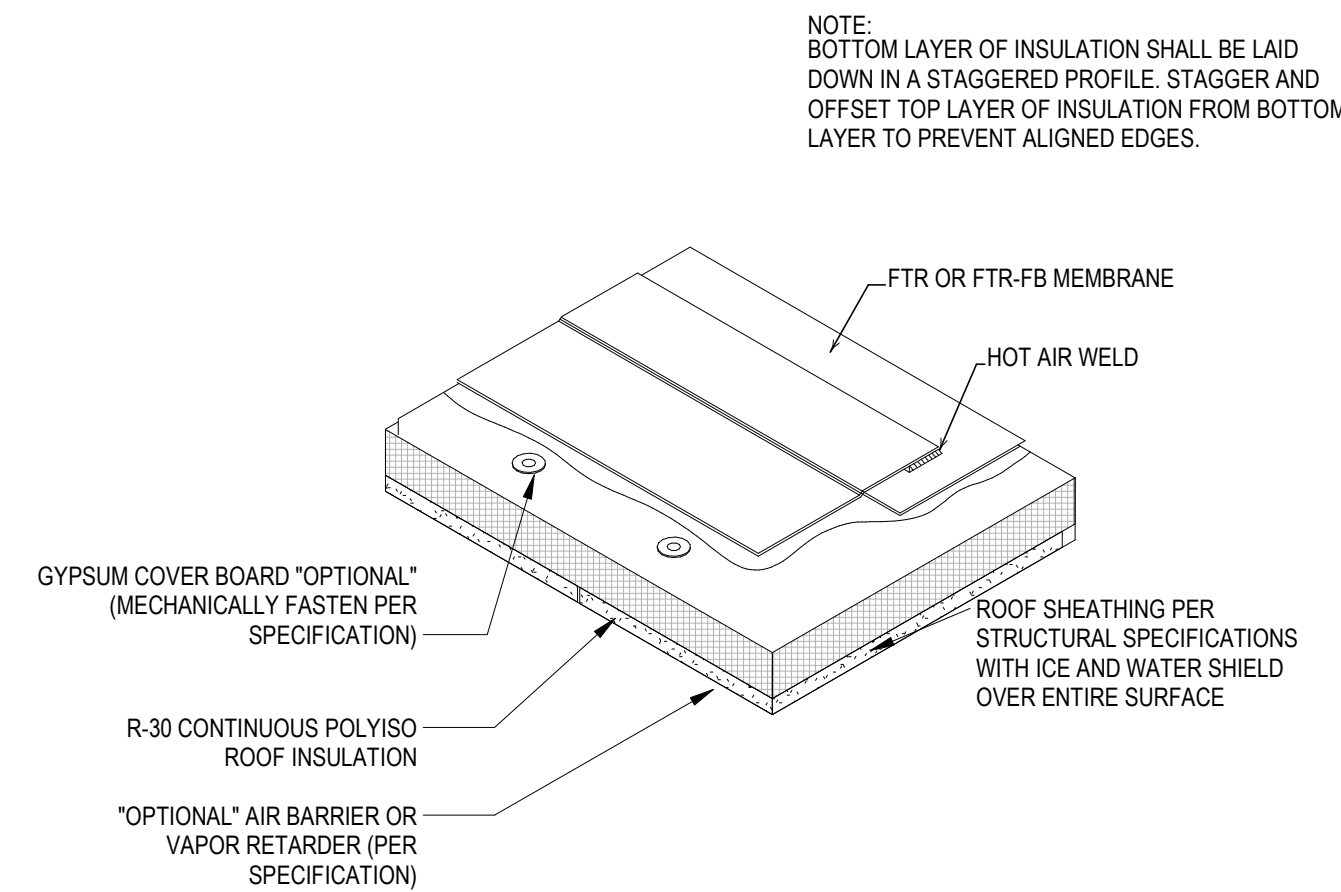
## 18 ROOF DRAIN ASSEMBLY DETAIL

1/8" = 1'-0"



## 19 ROOF MEMBRANE AXON DETAIL

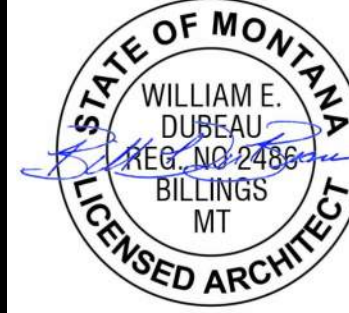
6" = 1'-0"



## KEYNOTES

## ROOF PLAN NOTES

1. PROVIDE ROOF CRICKETS AT ALL UPSLOPE AREAS OF MECHANICAL EQUIPMENT, CURBS AND ROOF HATCHES.
2. CRICKETS TO SLOPE POSITIVELY 1/4" MINIMUM PER FOOT FROM HORIZONTAL PLANE.
3. MAINTAIN 1/8" PER FOOT MINIMUM FOR ALL CRICKET VALLEYS.
4. CRICKETS SHOWN ARE FOR REFERENCE ONLY; CONTRACTOR TO PROVIDE DETAILED LAYOUT PLAN FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.
5. ROOF PENETRATIONS OF ANY KIND SHALL NOT BE LOCATED IN CRICKET VALLEYS.
6. IN ADDITION TO OPENING AND EQUIPMENT SHOWN ON THIS DRAWING, MECHANICAL AND ELECTRICAL DRAWINGS
7. INDICATE ADDITIONAL ITEMS PENETRATING THE ROOF ASSEMBLY; PROVIDE APPROPRIATE FLASHING.
8. REFERENCE MECH DRAWINGS FOR VENT LOCATIONS, EQUIPMENT LOCATIONS, AND ADDITIONAL INFORMATION, TYP.



sheet ROOF PLAN  
project LAUREL CITY BREW-CHEN'S EXPRESS  
owner STEVE ZABAWA

project # 21017  
revision date

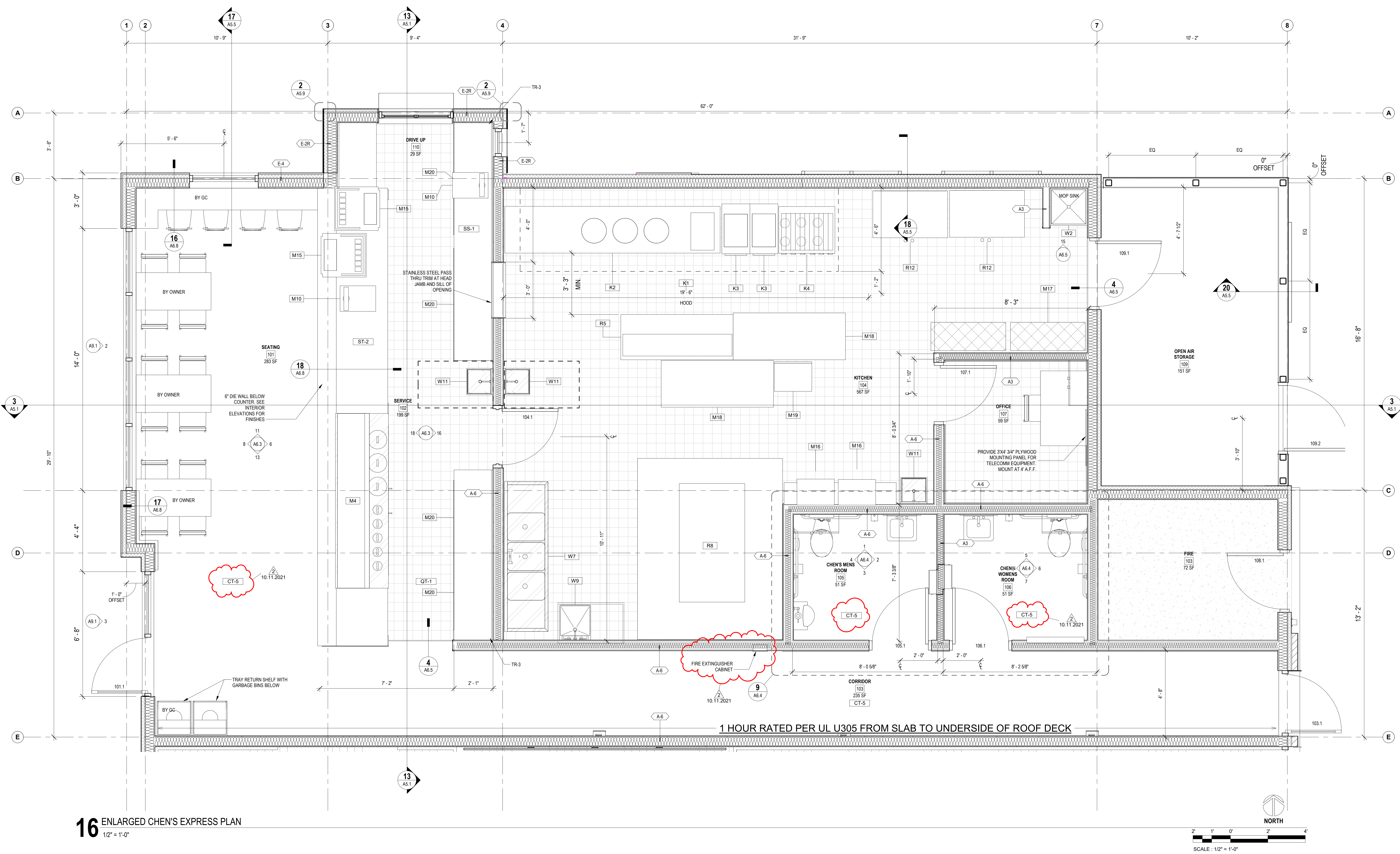
phase  
PRICING AND PERMITS



issue date  
7.2.2021

A2.2





SPECIALTY EQUIPMENT SCHEDULE CHEN'S EXPRESS

Type Mark	Count	DESCRIPTION	MANUFACTURER AND MODEL	REMARKS	Comm ents	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
F-1	1		ACTIVAR	STEEL MH1016				
K1	1	COMMERCIAL KITCHEN HOOD SYSTEM	HALIFAX		S	GC	GC	GC
K2	1	WORK	TOWN N-3-SS		S	T	GC	GC
K3	2	FRYER	AVANTCO FF300		S	T	GC	GC
K4	1	3' GRILL	COOKING PERFORMANCE GROUP S36-N		S	T	GC	GC
M4	1	STEAM TABLE	CUSTOM		S	GC	GC	GC
M10	2	POINT OF SALE (POS)	RADIANT SYSTEMS		S	T	T	GC
M15	2	SODA AND ICE BIN			S	T	GC	GC
M16	2	MICROWAVE	SOLWAVE MW1000D		S	T	T	GC
M17	2	ADJUSTABLE WIRE SHELVING UNITS			S	T	T	N/A
M18	2	STAINLESS STEEL WORK TABLE	REGENCY		S	T	T	N/A

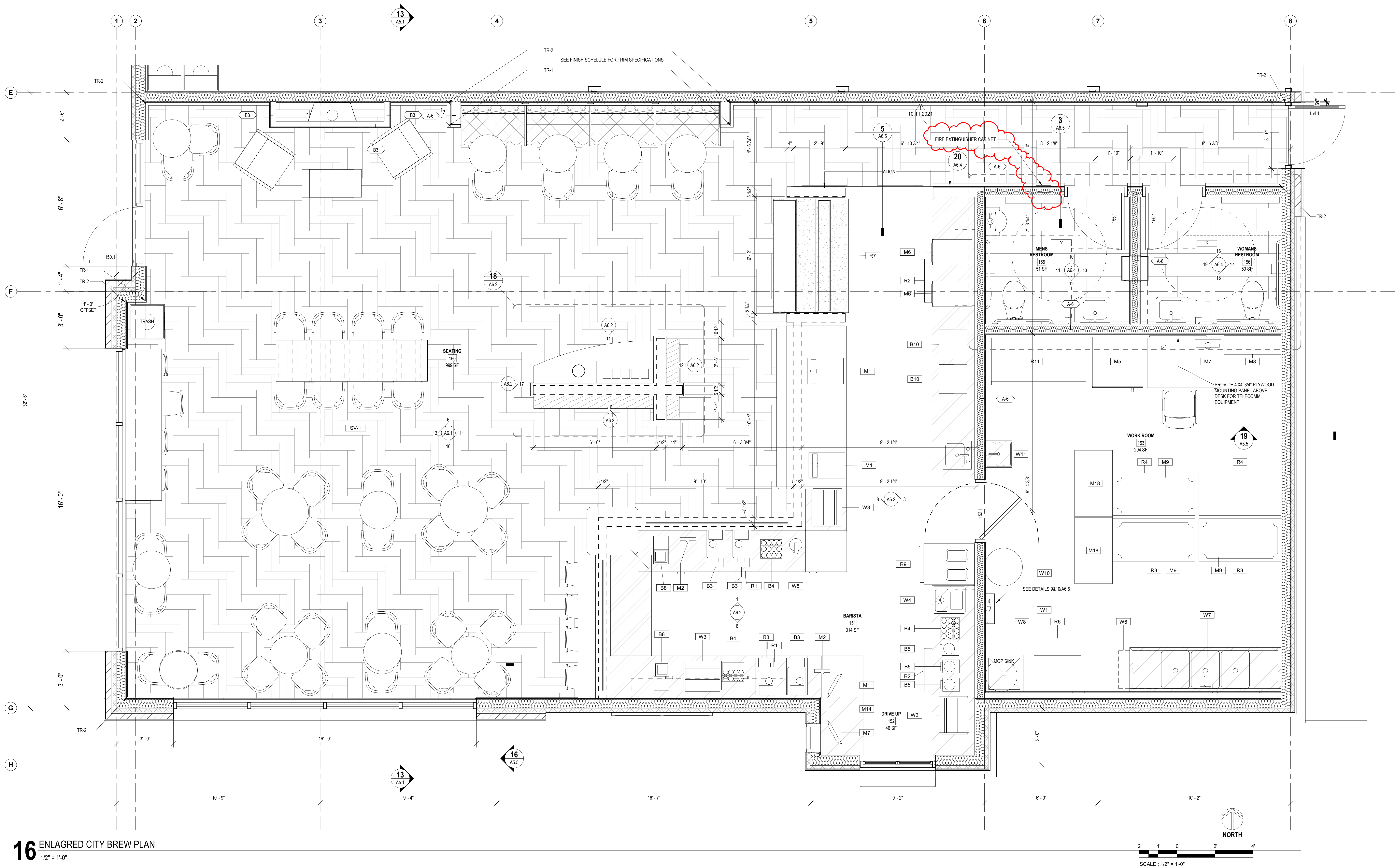
SPECIALTY EQUIPMENT SCHEDULE CHEN'S EXPRESS

Type Mark	Count	DESCRIPTION	MANUFACTURER AND MODEL	REMARKS	Comm ents	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
M19	1	2' WORK TABLE PREP	REGENCY		S	T	T	N/A
M20	4	STAINLESS STEEL SLIDING DOOR CABINET	REGENCY		S	T	GC	N/A
R5	1	3 DOOR STAINLESS STEEL REFRIGERATED TABLE	AVANTCO		S	GC	GC	GC
R8	1	INDOOR WALK IN COOLER	KOLPAK QST-0810-CT		S	GC	GC	GC
R10	1	ICE MACHINE AND BIN			S	T	GC	GC
R12	2	A 35F SOLID REACH IN FREEZER	AVANTCO		S	GC	GC	GC
W7	1	3 COMPARTMENT STAINLESS STEEL SINK	CUSTOM WITH TWO TABCO K-53 12" SWING		S	T	GC	GC
W9	1	FOOD SINK			S	T	GC	GC
W11	3	HAND WASHING SINK			S	T	GC	GC

CHEN'S ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	WALLS BASE	CEILING FINISH
101	SEATING	PT-2	P-5	P-5	N/A	P-5	RUBBER	P-8 *
102	SERVICE	QT-1	N/A	N/A	CT-4	N/A	QT COVE BASE	ACT-1
103	CORRIDOR	PT-2	P-5	P-5	P-5	N/A		P-8 *
104	FIRE	CONC-1	INTP-1	INTP-1	INTP-1	INTP-1	N/A	SFRM-1
105	KITCHEN	QT-1	WRGB/FRP	WRGB/FRP	WRGB/FRP	WRGB/FRP	QT COVE BASE	ACT-2
106	CHEN'S MENS ROOM	PT-2	CT-SIP-7	CT-SIP-7	CT-SIP-7	CT-SIP-7	RUBBER	
107	CHEN'S WOMENS ROOM	PT-2	CT-SIP-7	CT-SIP-7	CT-SIP-7	CT-SIP-7	RUBBER	
108	OFFICE	QT-1	P-6	P-6	P-6	P-6	RUBBER	
109	OPEN AIR STORAGE	CONC-2	CMU-1	GWB	GWB	CMU-1		N/A
110	DRIVE UP	QT-1	P-6	N/A	P-6	P-6		





16 ENLARGED CITY BREW PLAN  
1/2" = 1'-0"

### SPECIALTY EQUIPMENT SCHEDULE CITY BREW

Type Mark	Count	DESCRIPTION	MANUFACTURER	REMARKS	Comments	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
B3	4	ESPRESSO MACHINE	FRANKE S700			B	T	GC
B4	3	TIERED SYRUP BOTTLE RACK	CUSTOM	CUSTOM FABRICATION BY TENANTS CABINET SHOP	B	T	T	-
B5	3	ON-COUNTER BLENDER	VITAMIX QUIET ONE 36019		B	T	T	GC
B8	2	SINGLE BREWER WITH SERVER STAND	BUNN 27850.0006/27825.0000		B	T	T	GC
B10	2	DOUBLE BREWER WITH SERVER STAND	BUNN 33500.0006/27872.0000		B	T	T	GC
F-1	1		ACTIVAR	STEEL MH1016		B	T	GC
M1	3	POINT OF SALE (POS)	TOAST		B	T	T	T
M2	2	KITCHEN DISPLAY	TOAST		B	T	T	T
M5	1	ELECTRIC OVEN ON STAND	VULCAN ECO20D		B	T	T	GC
M6	2	TURBOCHEF MICROWAVE OVEN	THE SOTA DOC-1204		B	T	T	GC
M7	2	DIGITAL WIRELESS COMMUNICATION SYSTEM	3M		B	T	T	T
M8	1	METAL LOCKERS	CUSTOM		B	T	T	-
M9	4	WIRE SHELVING ABOVE REFRIGERATION UNITS	CUSTOM		B	T	T	-
M13	1	RECESSED FIRE EXTINGUISHER	AMBASSADOR		B	GC	GC	GC
M14	1	MONITOR	TOAST		B	T	T	T
M18	2	STAINLESS STEEL WORK TABLE	REGENCY		B	T	T	N/A

### SPECIALTY EQUIPMENT SCHEDULE CITY BREW

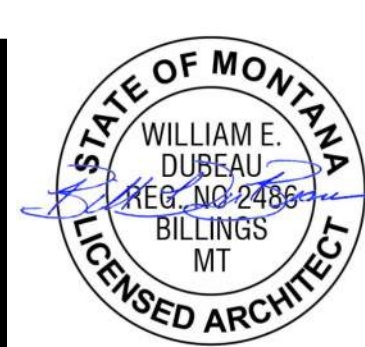
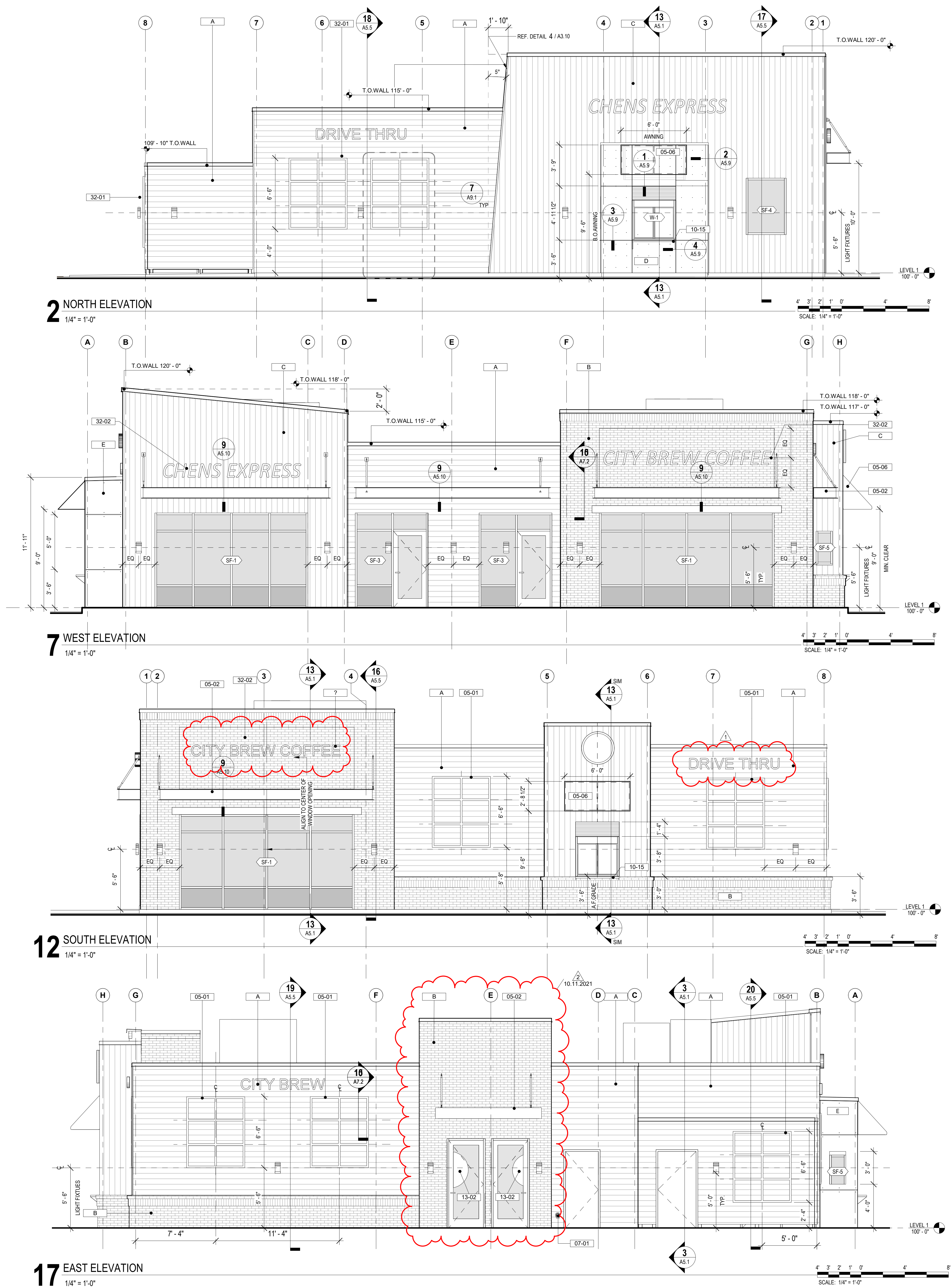
Type Mark	Count	DESCRIPTION	MANUFACTURER	REMARKS	Comments	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
R1	2	LOW PROFILE UNDER COUNTER REFRIGERATOR 48"	TRUE TUC-48F-LP	2 DOOR	B	T	T	GC
R2	2	LOW PROFILE UNDER COUNTER REFRIGERATOR 27"	TRUE TUC-27-LP	2 DOOR	B	T	T	GC
R3	2	G-SERIES REACH-IN FREEZER	TRAILSEN G22010		B	T	T	GC
R4	2	G-SERIES REACH-IN REFRIGERATOR	TRAILSEN G20010		B	T	T	GC
R6	1	AIR COOLER ICE MAKER ON STORAGE BIN	MANTOWOC 71-0504A		B	T	T	GC
R7	1	REFRIGERATED DISPLAY	REVEAL NR231RRSSV		B	T	T	GC
R9	1	FROZEN UNCARBONATED BEVERAGE FREEZER	TAYLOR 342		B	T	T	GC
R11	1	REFRIGERATOR	TRUE TWT-60		B	T	T	GC
W1	1	ROS REVERSE OSMOSIS SYSTEM	3M TFS450		B	T	T	GC
W3	3	DROP IN ICE CHEST	PERLICK 7600A36	CUSTOM INSULATED ICE BIN INTEGRAL WITH SS, TOP BY NSF SHOP	B	T	T	-
W4	1	RINSE O' MATIC AND SINK	VITAMIX		B	T	T	GC
W5	1	H2O FILLER	T&S BRASS	PIPE OUTLETS TO FLOOR SINK	B	T	T	GC
W6	1	DISHWASHER	CMA DISHWASHERS 180UC		B	T	T	GC
W7	1	3 COMPARTMENT STAINLESS STEEL SINK	CUSTOM WITH TWO TABCO K-53 12" SWING		B	T	T	GC
W8	1	MOP SINK WITH HANGER AND WATER HEATER SHELF	FIAT PRODUCTS		B	GC	GC	GC
W10	1	REVERSE OSMOSIS TANK	3M 55984-09	TANK PROVIDED BY TENANT & INSTALLED BY GC STRAP TANK TO WALL TO MEET SEISMIC REQUIREMENTS	B	T	T	GC
W11	1	HAND WASHING SINK			B	T	T	GC

### CITY BREW ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	WALLS BASE	CEILING FINISH
150	SEATING	SV-1	P-1	P-1	P-1	N/A	RUBBER	P-6"
151	BARISTA	RTF-1	N/A	N/A	CT-1	N/A	RUBBER	ACT-1
152	DRIVE UP	RTF-1	N/A	CT-1	CT-1	CT-1	RUBBER	ACT-1
153	WORK ROOM	RTF-1	P-4	P-4	P-4	P-4	RUBBER	ACT-1
154	CORRIDOR	SV-1	P-1	P-1	P-1	N/A	RUBBER	P-6"
155	MENS RESTROOM	PT-1	CT-2P-3	CT-2P-3	CT-2P-3	CT-2P-3	RUBBER	APC-1
156	WOMANS RESTROOM	PT-1	CT-2P-3	CT-2P-3	CT-2P-3	CT-2P-3	RUBBER	APC-1



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sheet  
project  
owner

EXTERIOR ELEVATIONS

LAUREL CITY BREW-CHEN'S EXPRESS

STEVE ZABAWA

project # 21017

revision 2 date 10.11.2021

phase  
PRICING AND PERMITS



issue date  
7.2.2021

A4.1

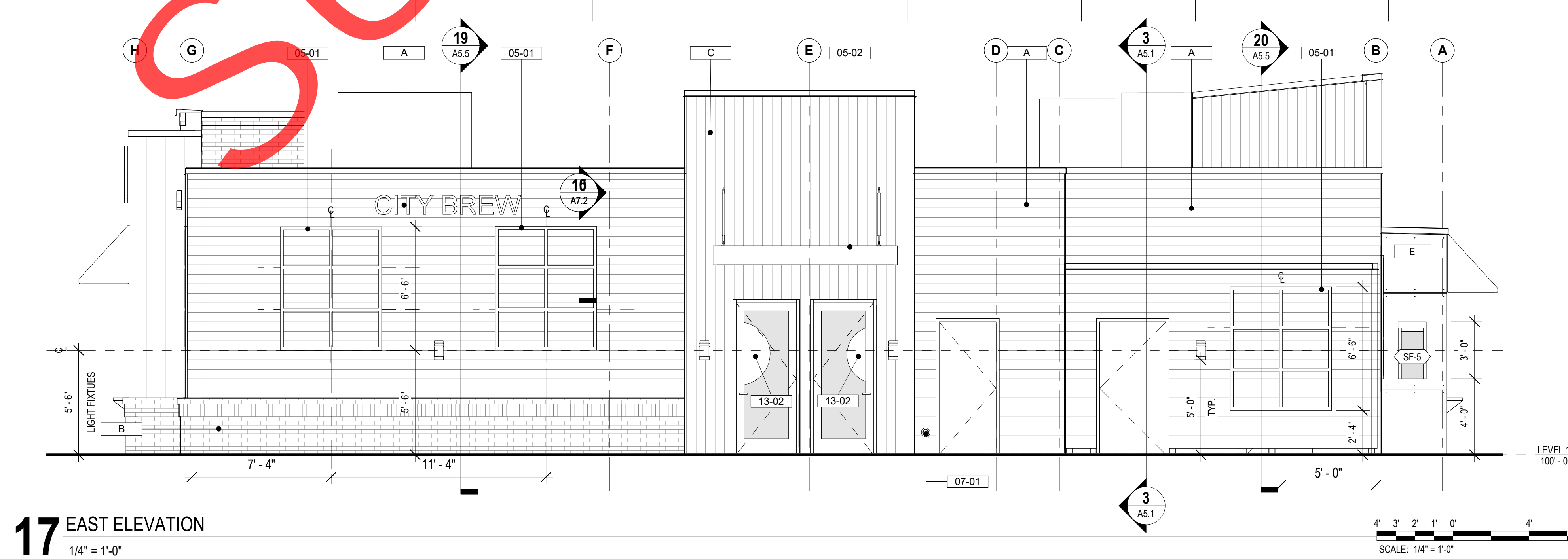
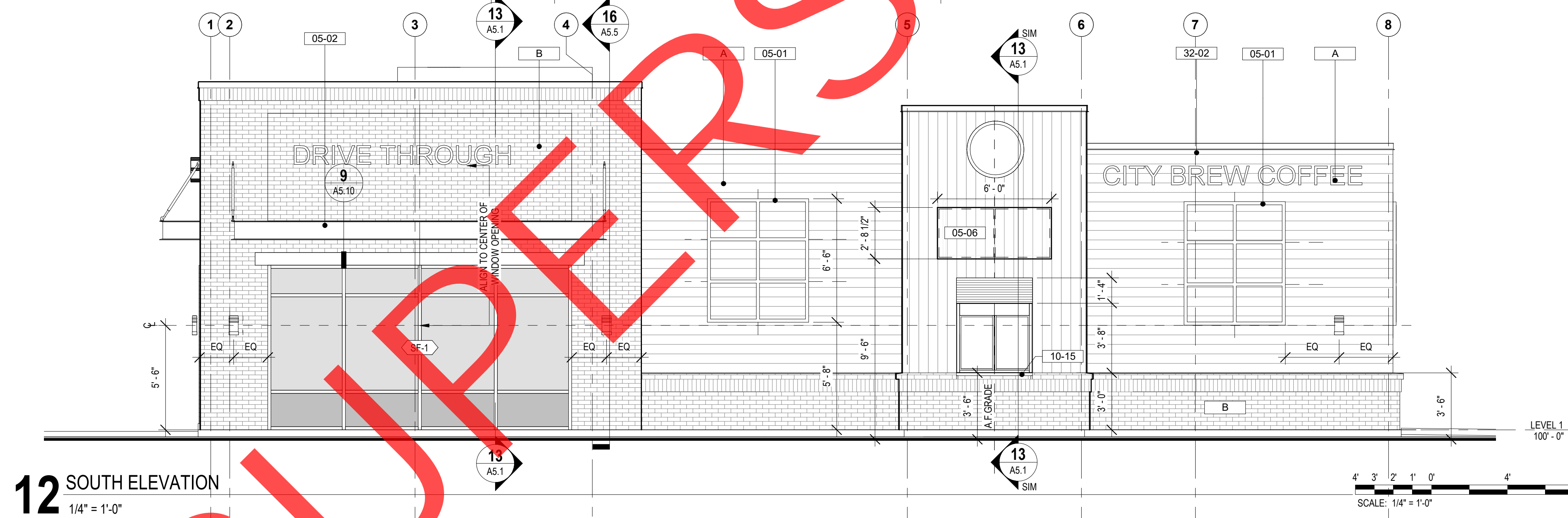
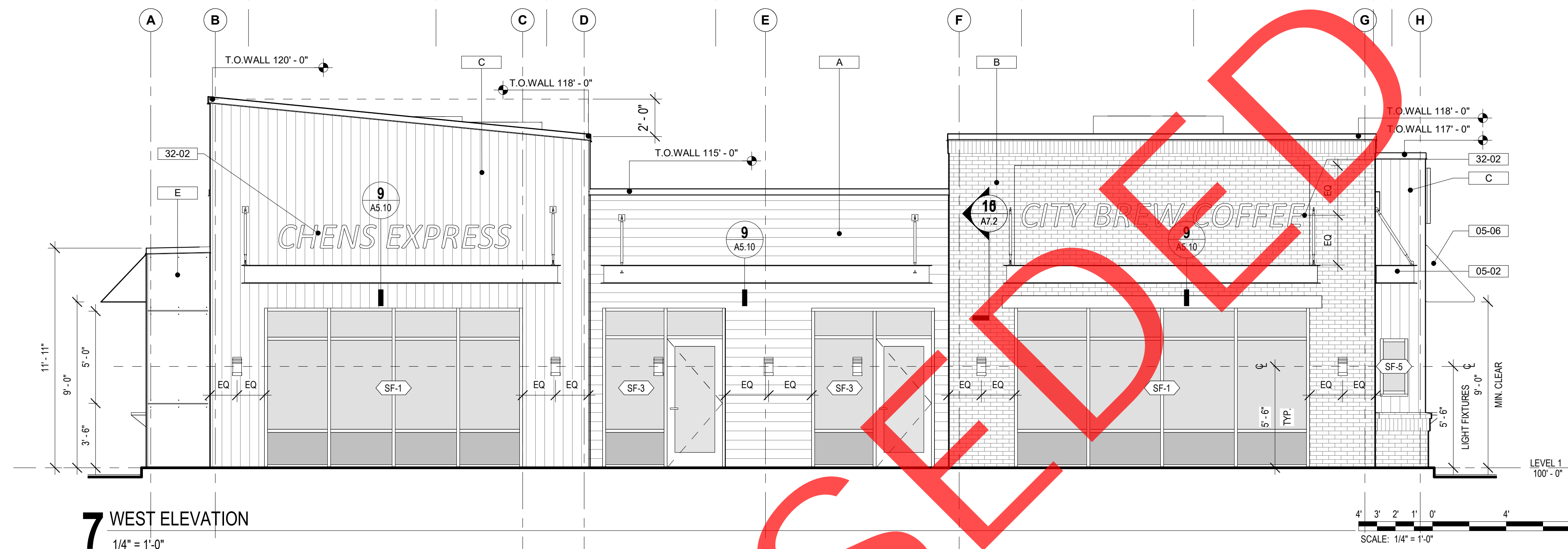
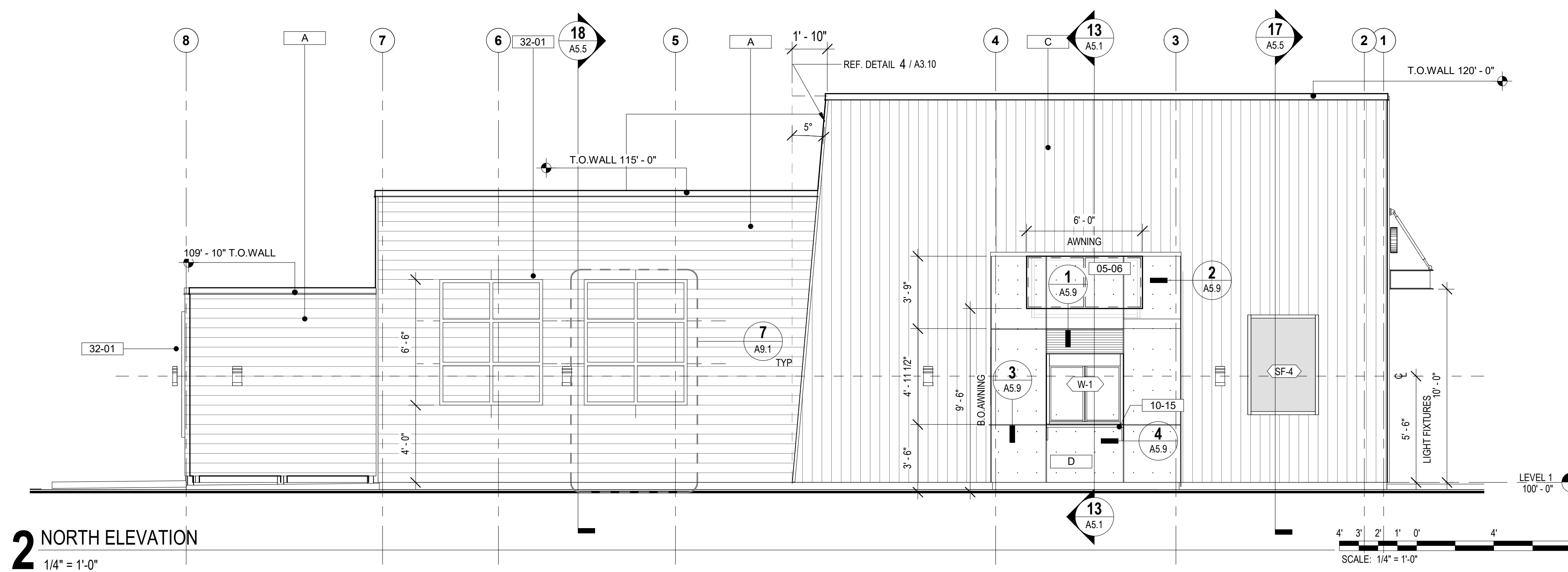


## MATERIAL LEGEND

- WOODSIDING HORIZONTAL DARK GREY  
HARDIEPLANK LAP SIDING
- BRICK GENERAL SHALE, MODULAR BRICK  
MESQUITE, RUNNING BOND W/SOLDIER COURSE  
AT PARAPETS & WINDOW HEADS
- WOODSIDING VERTICAL WOOD SLATES  
RECLAIMED BARN WOOD SIDING
- SMOOTH HARDIPANEL WITH EXPOSED PAINTED FASTENERS.  
SEE ELEVATIONS FOR HARDI REVEAL SYSTEM PATTERN.  
COLOR 1 (B.O.D. RED) TBD BY ARCHITECT
- SMOOTH HARDIPANEL WITH EXPOSED PAINTED  
FASTENERS. SEE ELEVATIONS FOR HARDI REVEAL SYSTEM  
PATTERN. COLOR 2 (B.O.D. BLACK) TBD BY ARCHITECT

## KEYNOTES

- 05-01 TUBE STEEL FRAME SURFACE APPLIED TO EXTERIOR WALL POWDER COAT FINISH  
05-02 STEEL CANOPY WITH TIE ROD SUPPORTS, REF STRUCTURAL  
05-06 STEEL FRAMED WALL MOUNTED AWNING WITH CANVAS COVERING  
07-01 LAMBS TONGUE OVERFLOW DRAIN THRU WALL SCUPPER  
10-15 READY ACCESS STAINLESS STEEL SHELF MODEL 275  
13-02 OWNER PROVIDED VINYL GRAPHIC  
32-01 FAUX WINDOWS  
32-02 TENANT PROVIDED EXTERIOR SIGNAGE. COORDINATE BLOCKING AND POWER WITH GC & ELECTRICAL CONTRACTOR



EXTERIOR ELEVATIONS

LAUREL CITY BREW-CHEN'S EXPRESS

project owner  
STEVE ZABAWA

project # 21017

revision date

phase  
PRICING AND PERMITS



issue date  
7.2.2021

A4.1



**STORM DRAINAGE PLAN  
FOR  
HAGEMAN SUBDIVISION, FOURTH FILING, LOT 1  
CITY BREW & CHEN'S EXPRESS SITE IMPROVEMENTS  
LAUREL, MONTANA**

---

**OVERVIEW NARRATIVE**

The purpose of this drainage plan is to quantify storm drainage improvements required for the site improvements on Lot 1 of Hageman Subdivision, Fourth Filing in Laurel, Montana. The project consists of demolition of the existing site and providing new site grading, one new building, asphalt paving, and storm drainage infrastructure to improve existing gravel parking areas. The project also includes asphalt paving of a 30-foot wide lane of South Montana Avenue. The proposed drainage plan consists of surface draining on-site runoff to new curb inlets that divert stormwater to one new boulder pit within the private property. Runoff from the paved South Montana Avenue lane will be directed east by surface flow to the Italian Drain in accordance with existing drainage patterns. The Italian Drain flows southeast and transitions from piped so surface flow just north of the site. This report presents a summary of calculations performed to quantify the storm water runoff for the proposed site. All design criteria and calculations are in accordance with the City of Laurel Design Requirements.

The site is located adjacent to a mapped floodplain area for the Italian Drain. No portion of the improvements is located in Flood Zone AE, the 1% chance flood zone. A small portion of the site is located within Zone X, the 0.2% chance flood zone. No floodplain permitting or mitigation is required for this project.

Specific site information and criteria are described below:

**I. Project Information**

- A. Address:** The site is located on South First Avenue immediately north of the westbound I-90 offramp in Laurel, Montana 59044.
- B. Legal Description:** The site is located on Lot 1 of Hageman Subdivision, Fourth Filing.



- C. Total Area:** The area of the site is approximately 0.834 acres.
- D. Existing Impervious Area:** The current site includes an existing building and paved parking lot. No storm drainage infrastructure currently exists on site. The site will be considered undeveloped with no impervious area for the purposes of calculating stormwater storage requirements.

Pervious Area – 0 SF  
Impervious Area – 35,856 SF

- E. Post-Development Impervious Area:** As a result of the project improvements the impervious area within the site will be 24,979 SF.

Pervious Area – 10,877 SF  
Impervious Area – 24,979 SF

## II. General Design

The storm water analysis used the Modified Rational method to determine the water storage volumes. A summary of the contributing area is included with the attached calculations.

The City of Laurel Design Requirements call for complete retention of the 10-year, 24-hour, 2.4-inch storm without discharge. The geotechnical report prepared for the site by Rimrock Engineering dated February 18, 2021 shows an average infiltration rate of 25 in/hr measured for the site. A factor of safety of two was applied to that infiltration rate resulting in 12.5 in/hr, which was used in the volume calculations. As shown in the attached calculations and spreadsheet output, the required storage volumes for the design storm is approximately 1,487 cubic feet. The storm water runoff will be stored below ground in one boulder pit with an approximate storage volume of 1,824 cubic feet using a 38-percent porosity.

### Boulder Pit

Watershed Area: 0.83 Acres  
Storage Volume Required: 1,487 CF  
Storage Volume Provided:  $60'L \times 20'W \times 4'D \times 0.38 = 1,824 \text{ CF}$

The boulder pits are designed to key directly into the native gravels. No public storm drainage infrastructure currently exists close to the site. During storms larger than the design storm, overflow from the boulder pit will be directed via surface grading eastward over South Montana Ave and into the Italian Drain.

## III. Conclusions

The calculations included below show that the storm water drainage system for the Hageman Subdivision Parking Lot Improvements will meet the requirements of the City of Laurel criteria. If all recommendations are implemented as mentioned in this report, storm water impacts will be mitigated.



## RUNOFF CALCULATIONS FOR COMMERCIAL SITE DEVELOPMENT UNDER 5 ACRES

Input parameters in light blue

Total Required Storage: 10 year design storm

Surface Type	Area (ft <sup>2</sup> )	Area (Acres)	Runoff Coefficient (C)*	Frequency Factor (C <sub>f</sub> )	C x C <sub>f</sub>	Calculation Value (C') = (C x C <sub>f</sub> ) < or = 1	C' x A (Acres)
Building/Roof	4,030	0.09	0.95	1.00	0.95	0.95	0.08789
Asphalt/Concrete	20,949	0.48	0.95	1.00	0.95	0.95	0.456877
Landscape	10,877	0.25	0.10	1.00	0.10	0.10	0.02497
Totals	35,856	0.82					0.57

\*Input values for Runoff Coefficients (C) from 'Runoff Coefficients' tab

### Percolation Discharge Rate:

Infiltration Area		Rate	Discharge
Length (ft)	Width (ft)	(in/hr)	(cfs)
60	20	12.5	<b>0.347</b>

Measured Perc. Rate		Allowable*
min/inch	in/hr	in/hr
2.400	25	12.5

\*Equals 50% of measured

Rainfall Duration, t (min)	Rainfall Intensity, i (in/hr)	Runoff Volume = C <sub>wd</sub> x S A <sub>i</sub> x i x t (ft <sup>3</sup> )	Discharge Volume = d x t (ft <sup>3</sup> )	Site Detention = Runoff Volume - Discharge Volume (ft <sup>3</sup> )	Peak Flow = C' x A (ft <sup>3</sup> /sec)
0	0.00	0.00	0.00	0.00	0.00
5	6.18	1056.29	104.17	952.13	3.52
10	4.19	1432.32	208.33	1223.99	2.39
15	3.31	1697.25	312.50	1384.75	1.89
20	2.73	1866.46	416.67	1449.79	1.56
25	2.35	2008.32	520.83	1487.49	1.34
30	2.05	2102.33	625.00	1477.33	1.17
35	1.85	2213.43	729.17	1484.26	1.05
40	1.68	2297.18	833.33	1463.85	0.96
45	1.54	2368.97	937.50	1431.47	0.88
50	1.43	2444.17	1041.67	1402.51	0.81
55	1.33	2500.58	1145.83	1354.74	0.76
60	1.26	2584.33	1250.00	1334.33	0.72
120	0.67	2748.41	2500.00	248.41	0.38
180	0.47	2891.99	3750.00	-----	0.27
360	0.27	3322.71	7500.00	-----	0.15
720	0.16	3938.02	15000.00	-----	0.09
1440	0.10	4922.53	30000.00	-----	0.06

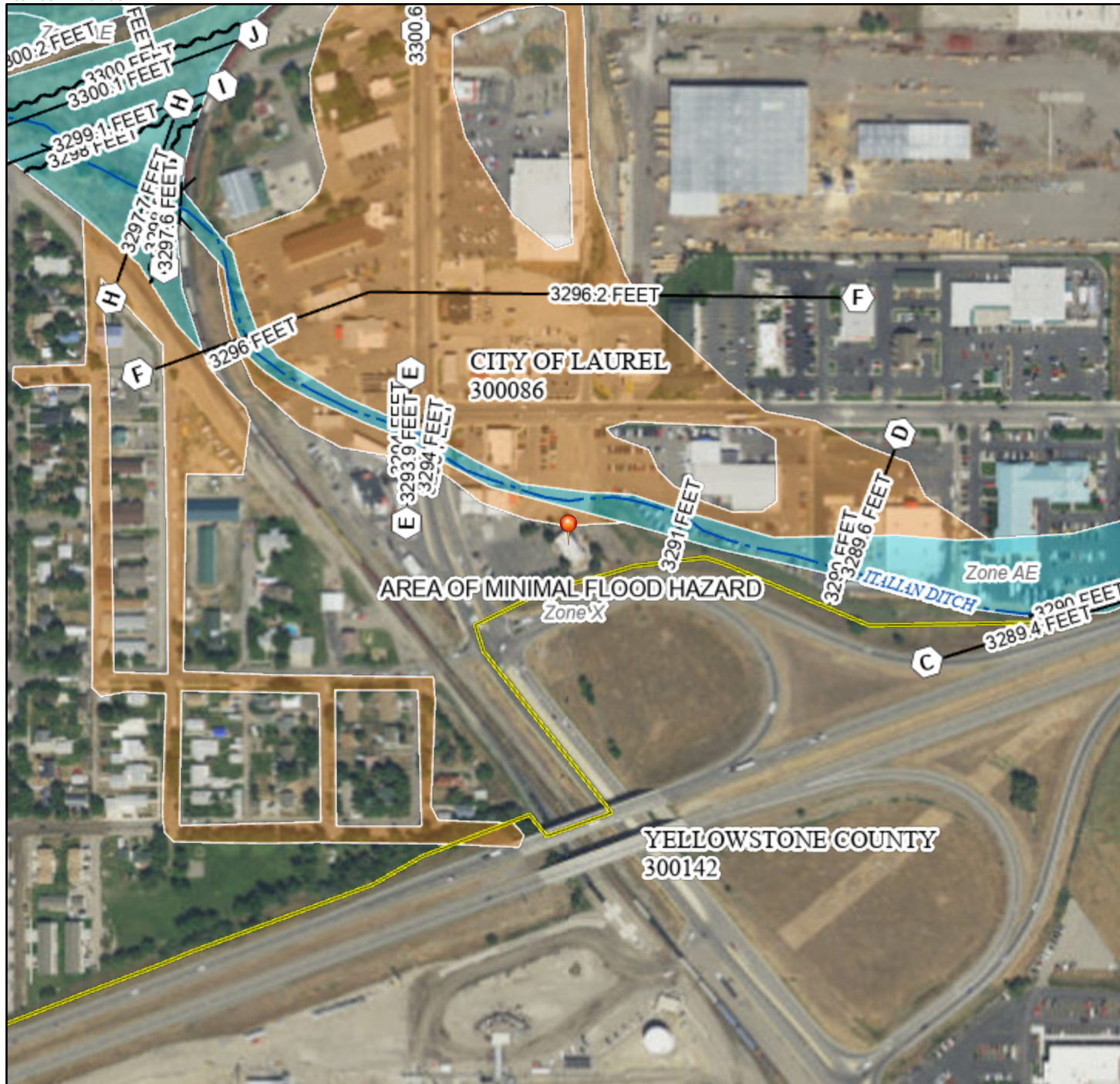
Water Quantity Storage: 1,487 ft<sup>3</sup>



# National Flood Hazard Layer FIRMette



108°46'31"W 45°40'5"N



0 250 500 1,000 1,500 2,000 Feet

1:6,000

108°45'54"W 45°39'39"N

Basemap: USGS National Map: Orthoimagery: Data refreshed October, 2020

## Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS		Without Base Flood Elevation (BFE) Zone A, V, A99
		With BFE or Depth Zone AE, AO, AH, VE, AR
		Regulatory Floodway
OTHER AREAS OF FLOOD HAZARD		0.2% Annual Chance Flood Hazard, Areas of 1% annual chance flood with average depth less than one foot or with drainage areas of less than one square mile Zone X
		Future Conditions 1% Annual Chance Flood Hazard Zone X
		Area with Reduced Flood Risk due to Levee. See Notes. Zone X
		Area with Flood Risk due to Levee Zone D
OTHER AREAS		NO SCREEN Area of Minimal Flood Hazard Zone X
		Effective LOMRs
GENERAL STRUCTURES		Area of Undetermined Flood Hazard Zone D
		Channel, Culvert, or Storm Sewer
		Levee, Dike, or Floodwall
OTHER FEATURES		20.2 Cross Sections with 1% Annual Chance Water Surface Elevation
		17.5 Cross Sections with 1% Annual Chance Water Surface Elevation
		Coastal Transect
		Base Flood Elevation Line (BFE)
		Limit of Study
		Jurisdiction Boundary
MAP PANELS		Coastal Transect Baseline
		Profile Baseline
		Hydrographic Feature
		Digital Data Available
		No Digital Data Available
		Unmapped



The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 3/8/2021 at 5:08 PM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

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