



**AGENDA
CITY OF LAUREL
CITY/COUNTY PLANNING BOARD
WEDNESDAY, NOVEMBER 17, 2021
5:35 PM
CITY COUNCIL CHAMBERS**

Public Input: *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

1. Roll Call

General Items

2. Approve Meeting Minutes: September 15, 2021
3. Approve Meeting Minutes: October 20, 2021

New Business

4. Public Hearing: Annexation Request for 306 W. 12th St (Reschedule)
5. Sign Review: Canyon Creek Brewing

Old Business

6. Project Review: City Brew / Chen's Express

Other Items

7. Adjourn

Announcements

8. Next Meeting: December 15, 2021

The City makes reasonable accommodations for any known disability that may interfere with a person's ability to participate in this meeting. Persons needing accommodation must notify the City Clerk's Office to make needed arrangements. To make your request known, please call 406-628-7431, Ext. 2, or write to City Clerk, PO Box 10, Laurel, MT 59044, or present your request at City Hall, 115 West First Street, Laurel, Montana.

DATES TO REMEMBER

File Attachments for Item:

2. Approve Meeting Minutes: September 15, 2021



**AGENDA
CITY OF LAUREL
CITY/COUNTY PLANNING BOARD
WEDNESDAY, SEPTEMBER 15, 2021
5:35 PM
CITY COUNCIL CHAMBERS**

Public Input: *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

1. Roll Call

The Chair called the meeting to order at 5:35pm.

Jon Klasna
Ron Benner
Gavin Williams
Evan Bruce
Roger Giese
Dan Koch
Judy Goldsby
Nick Altonaga (City of Laurel)

General Items

2. Approve Meeting Minutes: August 18, 2021

Minutes to be pushed to the October Meeting.

3. Public Hearing: NorthWestern Energy Zone Change

The Planning Director summarized the Zone Change request and presented his staff report and suggested conditions of approval.

The Chair called for Opponents.
The Chair called for Opponents.
The Chair called for Opponents.

The Chair called for Proponents.
The Chair called for Proponents.
The Chair Called for Proponents.

Roy Ishkanian, Manager of Lands and Permitting, NW Energy.
3524 Glenfinnan Rd, Billings, MT

We are going through this process. The ultimate approval will be at the MT Public Service Commission. We feel good about this project. The Gas Line is just about wrapped up for this site. Purchased the line from Phillips and rehabbed it to serve the station.

See this as important to keep the price of energy level, instead of having extreme variable prices like we've seen across the country.

Ron Benner: What will the noise level be?

Roy: The noise level will actually be low. The noise will be aimed towards the other industrial uses (CHS and Utility Plants) and not the river or other areas. At approximately 400ft it will be 63 decibels.

Question on staffing levels.

- 15-20 full time.

Ron: accesses to the site?

- Roy: Lindy Lane, Strow Rd, and Sewer Plant Rd. Utilize Lindy as the current primary access for the station that is there right now.

Power generation, supply, and location are all important for this facility.

Judy: Where does Lindy Lane come out to?

- Roy: It comes up to the Frontage Rd.

Nick: Any consideration of annexation?

- Roy: Still being discussed by Project Mangers, but you will be the first call.

Roger: Timeline of development?

- Roy: Expect a 3 year timeline, to be done in 2025.

Ron: One concern seeing this was the access to the site through Sewer Plant Rd. and what the costs might be to improve the roadway?

- Roy: Not planned to improve the roadway at this time. Primary access will be through Lindy Lane.

Judy: If someone were to stand on Sewer Plant road looking towards the site, what would we see?

- Main hall building, stacks, Small administrative building (low rise single story like city hall), as well as parking area.

Ron: Height of the smokestacks?

- Roy: I don't actually know the answer but can get back to Nick with that answer.
- (Roy provided the information via email on 9/16/2021 – smokestacks will be 77ft tall).

Gavin Motioned to approve the zone change application for Parcel 1, COS 139 and Parcel 2, COS 1677 with the stated staff conditions

Evan Seconded.

Motion Carried.

4. Public Hearing: 810 W. 7th Street Annexation and Zone Change

Nick presented the findings contained in the Staff report including the stated conditions of approval.

The Chair called for Opponents.

The Chair called for Opponents.
The Chair called for Opponents.

The Chair called for Proponents.

Scott Slothower, 314 1st St. Park City, MT: Nick laid out the situation pretty well. The leech field is extremely small, with the house set back. Not sure how it was initially approved. Worked with Cotter's Sewer to fix it but it was found that the roots from the surrounding trees were choking the leech field making it unusable.

The Chair called for Proponents.
The Chair called for Proponents.

Ron: clarification on addresses?

- We were preparing to sell it last year when the issues with the septic system were found. We ran out of funds last year to continue the process last year. And we are in a better position this year to finalize it.
- The building will go to the Slothowers.

Ron: On the receipt from Cotter's, what if the cost exceeds the \$\$ amount? Will the city have to make up the difference?

- Scott: the not to exceed amount is the Cotter's sewer guarantee that it will NOT exceed that amount.
- From my experience in Steel business, we sometimes give not to exceed amounts as contractors. IF it exceeds that amount, the contractor will eat the amount, That is the assumed intent. This is a BID not to exceed that stated amount.

Ron: Hate to bash the city but the maps are not accurate. The maps on some projects have been COMPLETELY WRONG.

- Scott: Cotter's has located at least part of the water main system.

Members discussed the implications or reasoning behind Not asking adjacent properties to the west to annex as well?

- Nick provided info on his decision not to reach out to adjacent property owners: the adjacent right of way is not punched through fully, it would not be sensible to do a large scale annexation of those houses at this time.

The Chair closed the public hearing.

Ron Motioned to approve the annexation and zoning request for 810 W 7th Street with the conditions stated in the staff report.

Evan Seconded.
Motion Carried.

New Business

5. Sign Review: On the Run (Conomart)

Nick presented the Façade and signage changes for the Conoco, (Now, On The Run).

Gain Motioned to approve the proposed changes to the signage and façade of the On The Run building.
Evan Seconded.
Motion Carried.

Old Business

Other Items

6. Project Update

- Cherry Hills 3rd Filing Approved last night
- Bitterroot Grove Approved. Will be brought to council and Planning Board again
- Golf Course Annexation
- Lucky Louie's Relocation
- Regal Community Park? – Fencing along the property? Enforcement concerns.
- Soda Station site concerns
- Zoning and Nuisance Code violations.
- Nuisance properties within the city limits.

Announcements

7. Adjourn

Meeting Adjourned at 6:54pm.

8. Next Meeting: October 20, 2021

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DATES TO REMEMBER

File Attachments for Item:

3. Approve Meeting Minutes: October 20, 2021



**MINUTES
CITY OF LAUREL
CITY/COUNTY PLANNING BOARD
WEDNESDAY, OCTOBER 20, 2021
5:35 PM
CITY COUNCIL CHAMBERS**

Public Input: *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

1. Roll Call

No Quorum. No Meeting was held.

General Items

2. Approve Meeting Minutes: August 18, 2021
3. Approve Meeting Minutes: September 15, 2021

New Business

4. Building Plan Review: City Brew/Chen's Express

Old Business

Other Items

5. Project Updates
6. Adjourn

Announcements

7. Next Meeting: November 17, 2021

The City makes reasonable accommodations for any known disability that may interfere with a person's ability to participate in this meeting. Persons needing accommodation must notify the City Clerk's Office to make needed arrangements. To make your request known, please call 406-628-7431, Ext. 2, or write to City Clerk, PO Box 10, Laurel, MT 59044, or present your request at City Hall, 115 West First Street, Laurel, Montana.

[DATES TO REMEMBER](#)

File Attachments for Item:

5. Sign Review: Canyon Creek Brewing

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. 494

Job Address <u>331 S. Washington</u>	
Owner <u>Canyon Creek Studios / Steve Solberg</u> Telephone: <u>860-4004</u>	
Contractor <u>EPCON Sign Group</u>	Subdivision _____
Address <u>1131 Monad Rd Bldg 59101</u>	Lot _____ Block _____ Tract _____ Zoning _____
Telephone <u>406-248-7401</u>	Valuation of Project \$ <u>5000.00</u>
City License <u>126</u>	Description of Work: <u>INSTALL A SINGLE FACED SIGN IDENTIFYING BUILDING ON WEST SIDE NON-ILLUMINATED</u>
Special Conditions _____	
Occupancy _____	Type of Construction _____
Number of Units _____	Total Square Feet _____
	Rated Walls _____

BUILDING Approved To Issue By _____ **Date** _____

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, it's officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

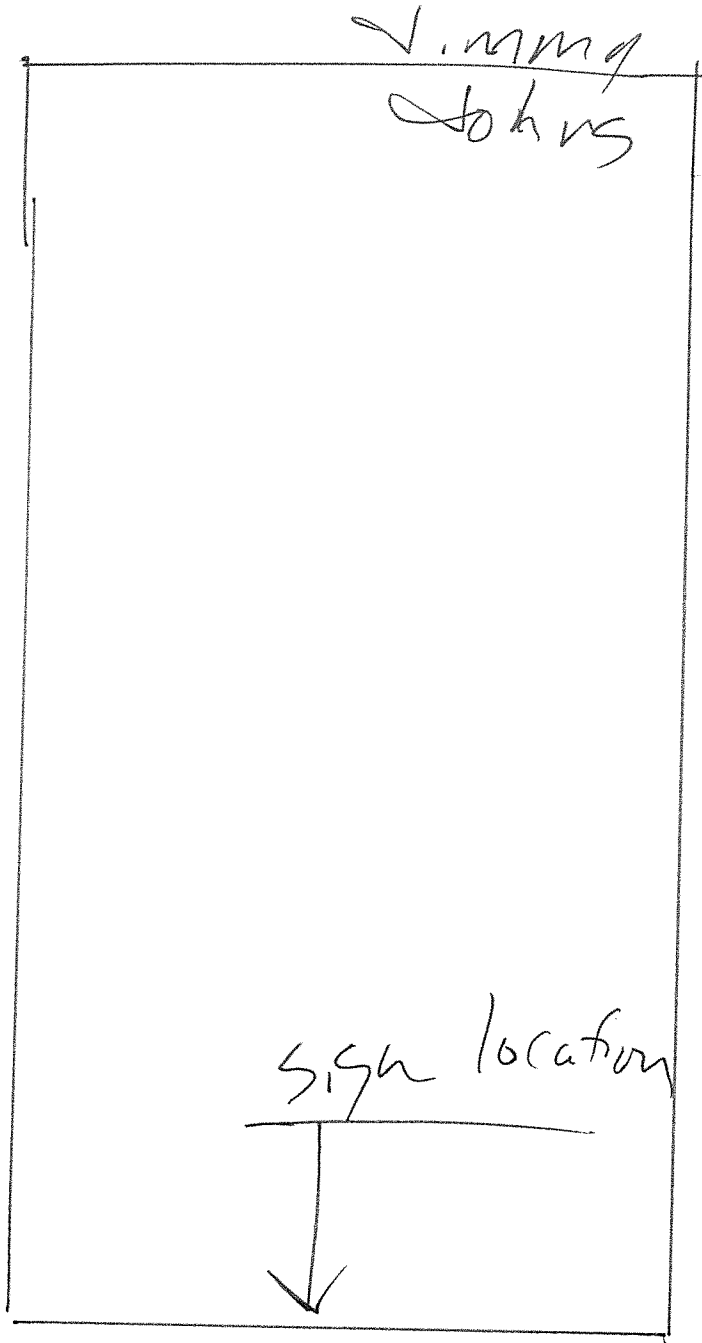
The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

FEES AND CHARGES	
1000-323011 building	\$ _____
1000-323014 plan review	\$ _____
1000-323011 fence	\$ _____
1000-323011 roof	\$ _____
1000-323053 sign	\$ _____
1000-323011 mh install	\$ _____
1000-323011 investigation	\$ _____
1000-323011 re-inspection	\$ _____
1000-322022 utility hook up	\$ _____
5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant _____

Date 11/8/2



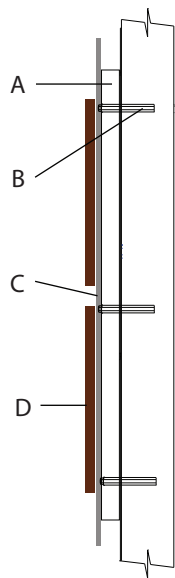
06 II

S. Washington

SE 4th St



FILMED FACTORY WHITE ALUPANEL.3M VINYL.COMPUTER ROUTED 1" LETTERS AND LOGO.PRIME AND PAINT SMOOTH.MOUNT FLUSH.



- A 2"ALUMINUM SQ.TUBE WELDED FRAME
- B 3/8" LAGS AND SHIELDS
- C 3MM FACTORY ALUPANEL
- D 1" HDU COPY AND TRAIN

N.T.S. SINGLE FACE WALL DISPLAY

- FINISH COLORS**
- 1 WHITE
 - 2 DARK BROWN
 - 3 BLACK
 - 4 YELLOW ORANGE

- SPECIFICATIONS**
- BASE
 - 3M 59
 - 3M 22
 - BLEND



SINGLE FACE BUILDING DISPLAY



1131 MONAD RD
P.O. BOX 21239
BILLINGS, MT 59104
406-248-7401
800-332-7168
406-248-1815
epconsignco@yahoo.com

DESIGN NO: 206.21.BG
SCALE: 3/8"=1'-0"
DATE: 7.26.21

CLIENT: CANYON CREEK STATION
LOCATION: LAUREL MT.

DESIGNER: DK
SALESPERSON: TONY
REVISED:

THIS DESIGN IS THE EXCLUSIVE PROPERTY OF EPCON SIGN COMPANY AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT THEIR CONSENT. EPCON SIGN COMPANY WILL ENDEAVOR TO CLOSELY MATCH COLORS, INCLUDING PMS COLORS WHERE SPECIFIED. WE CANNOT GUARANTEE EXACT MATCHES DUE TO VARYING COMPATIBILITY OF SURFACE MATERIALS AND PAINTS USED.

Chapter 17.26 - COMMUNITY ENTRYWAY ZONING DISTRICT

Sections:

17.26.010 - Intent.

The purpose of the Laurel Entryway Zoning District is to regulate outdoor advertising, outdoor advertising signs, and outdoor signs of all types, to provide fair and comprehensive regulations that will foster a good visual environment for Laurel, enhancing the area in which we live, and creating an aesthetic and enjoyable appearance for our visitors and our residents.

The natural landscape in the Yellowstone Valley is a major influence on the form and character of Laurel. Residents appreciate being able to see the Beartooth Range, the river's corridor of trees, and the large expanse of sky. The intent of the Community Entryway Zoning District (EZD) is to promote attractive, high quality development and to provide an appealing image of the city of Laurel to the traveling public and the people of the community and region. Further, it is the intent of this district to maintain a sensitivity toward existing development while preserving scenic vistas and the pastoral ambience and protecting environmentally sensitive areas. Creativity in meeting these requirements is encouraged with the overall intent of all development representing the image and economy of the Laurel area—and not just a reflection of the same commercial buildings, signage, and parking lots that are seen alongside the interstate across the nation.

Projects in the vicinity of large natural areas/corridors shall be designed to compliment the visual context of the natural area. Techniques include architectural design, site design, use of native landscaping, and choices of colors and building materials shall be utilized in such manner that scenic views across or through the site are protected and man-made facilities are screened from off-site observers and blend with the natural visual character of the area.

This overlay district provides requirements that are in addition to the existing, underlying zoning districts in the jurisdictional area of the city of Laurel and are in addition to the signage standards of the city of Laurel Municipal Sign Code. Except for signage applications, residential uses in the Entryway Zoning District are exempt from the provisions herein.

The intent of this section is to:

- A. Promote a physical landscape that will assist in making Laurel an attractive place to live and work and be inviting to new industries;
- B. Encourage creativity in design and quality in site planning and development;
- C. Reduce the level of adverse impacts from the transportation system on adjoining lands;
- D. Promote development patterns in harmony with the goals and objectives of Laurel's Growth Management Plan;
- H. Promote compatible land use transitions with a sensitivity toward existing residential uses.

Non-commercial/industrial uses falling within the EZD are exempt from the requirements of the EZD except as such requirements pertain to signage.

(Ord. 02-31, 2002)

17.26.030 - Location of district.

The Community Entryway Zoning District (EZD) shall extend three hundred feet on either side of Interstate 90 right-of way as it extends through the Laurel Zoning Jurisdiction Area, an area that extends outside the city municipal limits one mile. Specifically, along the interstate the EZD shall extend as described from the east limit of the extra-territorial zoning boundary west to the limit of the west extra-territorial boundary. The district shall also include that area three hundred feet on either side of the north extra-territorial boundary on Buffalo Trail Road south through Laurel on First Avenue to where First Avenue turns into US Highway 212-310

(Ord. 02-31, 2002)

(Ord. No. O15-03, 5-5-2015)

17.26.040 - Application and approval process.

- A. All plans and applications for development shall be submitted to the city-county planning board. All applications involving signs shall be submitted to the public works department which shall provide a copy thereof to the planning board. All applications must be submitted and signed by the property owner, lessee, the contract purchaser, or the authorized agent of the property owner. Approval is required prior to any construction activity.
- B. Each application shall include, but not be limited to, the following information:
 - 1. The name and address of the property owner;
 - 2. The name and address of the applicant;
 - 3. The legal description of the parcel;
 - 4. A map drawn to scale showing the dimensions, acreage, location of the parcel, north arrow, streets and adjacent land uses;
 - 5. A complete site plan drawn to a scale of no less than 1" = 40' showing the dimensions and locations of all structures, streets, paving, parking, landscaping, signage, waterways or other significant features of the development;
 - 6. Complete elevation drawings drawn to scale including the dimensions and height of the structure;
 - 7. Signage Plan specifications, location, and ground lighting pattern (applications for signs only—see Section 17.26.050); and
 - 8. Application review fee.
- C. Within fifteen working days following the submittal of a complete application, the planning director, other city designee, or the public works department (in the case of signs) shall issue approval for development or sign or a denial of the application, unless the applicant consents in writing to an extension of the review period. Should the application be denied, the applicant shall be notified in writing specifying the reasons for the denial.

(Ord. 02-31, 2002)

17.26.050 - Definitions.

All terms shall have the same meanings as defined elsewhere in the city zoning ordinance or city signage regulations. The standard dictionary meaning shall be applied to terms not otherwise defined.

(Ord. 02-31, 2002)

17.26.052 - Development standards.

A. Signage.

1. Review Consideration. Signage in the EZD needs to recognize the relationship between adjacent land uses and the natural features of the location such as existing views and proximity to residences. Although signs perform a function in providing information concerning services, products, and business, a profusion of signs produces a cumulative effect that cancels out individual effectiveness and detracts from the appearance of the community as a whole. All signage shall be reviewed with the following considerations and criteria:
 - a. Use of subdued, low-key colors;
 - b. Location, size, and height that do not obstruct views of the community, the river corridor, traditional open spaces, or the mountains;
 - c. Sign is built of permanent, durable materials;
 - d. Size and location avoids or minimizes the sense of clutter with nearby signs;
 - e. The sign is professionally prepared and finished on both sides;
 - f. The location and placement of the sign will not endanger motorists or pedestrians and does not interfere with the clear vision triangle at street, railroad, or street driveway intersections;
 - g. The sign will not cover or blanket any prominent view of a structure or façade of historical or architectural significance;
 - h. The sign will not obstruct views of users of adjacent buildings to side yards, yards or to nearby open space;
 - i. The sign will not negatively impact the visual quality of a public open space such as a recreation facilities, square, plaza, court yard and the like;
 - j. The sign cannot be seen from the Yellowstone River or any city, county or state park or—if it can be seen—it must be located one thousand feet from the boundaries of such spaces.
2. Only one sign is allowed per parcel of record and there shall be at least one thousand feet between signs.
3. A construction permit is required whenever the sign copy is changed and any alterations to the sign are made.
4. Signs shall be limited to one hundred sixty square feet in copy area.
5. Non-conforming signs are required to be brought into compliance with this section within six years from the date of adoption of this ordinance or upon the earliest occurrence of the following events.
 - a. The sign is relocated or replaced;

- b. The structure or size of the sign is altered in any way;
 - c. The sign suffers more than fifty percent appraised damage or deterioration or the sign is taken out of service for any reason, such as being knocked down by weather or other means;
 - d. If any non-conforming sign is abandoned or voluntarily discontinued for a period of one hundred eighty days, any subsequent use must be in conformity with this ordinance. An abandoned sign is a sign which no longer identifies or advertises a bona fide business, lessor, service, owner, product, or activity, and/or for which no legal owner can be found. An abandoned sign is to be removed by the owner within fifteen days of notice from the public works department.
6. No portable signs as described in the city signage ordinance are allowed in the EZD.
7. Transit Bus Benches. Transit bus benches, with or without advertising, may be placed within the city right-of-way upon application and approval of the ADA coordinator, the transit administrator and in consultation with the public work director. All benches must comply with any applicable city, state, and or/federal standards or regulations. The city may approve a bench provider, with or without advertising, pursuant to its procurement policy, as amended.
8. Lighting. All sign lighting must incorporate cut-off shields to direct light downward. Luminaries shall not be visible from adjacent streets or properties. A sign's lighting will not cause hazardous or unsafe driving conditions for motorists and will not glare, reflect, or spill onto adjacent business or residential areas.
- B. Building Design Standards.
- 1. All buildings shall be completed on all sides with one of the following finishing material: brick, fluted block, colored textured block, glass, stucco, architectural concealed fastener metal panels, exterior insulation and finishing systems (i.e., Dryvit, etc.), stone or wood. Exposed seam metal buildings shall be prohibited unless covered with an acceptable finishing material.
 - 2. Roofs shall be finished with a material that is architecturally compatible in color and design with the construction of the building. Metal roofs, fascia, and mansards shall be limited to the following: standing seam, metal shakes or shingles and architectural metal treatments. All mechanical equipment placed on top of any roof shall be screened by a parapet or other similar architectural apparatus being at least the height of the mechanical equipment. Pitched roofs are encouraged whenever possible.
 - 3. Long, flat facades that front on the interstate highway, First Avenue North or First Avenue South having more than one hundred lineal feet are prohibited. Buildings over one hundred feet in length shall incorporate one of the following: recesses, off-sets, angular forms, landscaping features or other architectural features such as bell towers, clock towers, to provide a visually interesting shape. The break in the facade shall be minimum of eight feet in length. A single uninterrupted length of a facade shall not exceed one hundred lineal feet. It is encouraged that each offset area contains landscaping or other similar amenities which will complement the offset area.
- C. Additional Provisions for Commercial Uses.
- 1. Storage of Merchandise. Any permitted storage of merchandise outside an approved building shall be within an area enclosed with a sight obscuring fence at least six feet in height that is architecturally compatible in color and design with the building. However, promotional

displays, vehicle sales lots and plant materials may be displayed outside of an approved building or enclosed area so long as they are placed appurtenant to a building wherein the business displays the bulk of its goods for sale. In addition, retail nurseries shall be exempt from the enclosure of plant materials, and displayed merchandise shall not include any used equipment. Bufferyards or required landscaping shall not be used for the displaying of merchandise.

2. Site Lighting. All outdoor lighting shall be designed, located and mounted at heights no greater than eighteen feet above grade for non-cutoff lights and thirty-five feet above grade for cutoff lights. All outdoor lighting shall be designed and located such that the maximum illumination measured in foot-candles at the property line shall not exceed three-tenths foot-candle for non-cutoff lights and three foot-candles for cutoff lights.
3. Storage of Junk. No person shall store junk, partially or completely dismantled vehicles, or salvaged materials in any commercial zone outside a building. In the case of automobile repair shops, such materials must be enclosed within a building or an area having a sight-obscuring fence at least six feet in height.
4. Solid Waste Area. All solid waste storage facilities shall be located within an area enclosed with a sight-obscuring fence or wall that is architecturally compatible in color and design with the building.

D. Cell Towers.

No wireless communication facilities are allowed in the entryway zone.

(Ord. 02-31, 2002)

(Ord. No. O11-07, 6-7-2011; Ord. No. O16-02, 2-2-2016)

17.26.054 - Landscaping standards.

Landscaping in the form of trees, shrubs, and groundcover serve several purposes: The softening of harsh building forms and paved areas, the absorption of ground water, the reflection of seasonal color change, the provision of sound barriers (such as around utility substations or industrial yards), and urban wildlife habitat.

A. Landscaping Definitions.

Canopy Tree. A species of tree which normally bears crown foliage no lower than six feet above ground level upon maturity. Minimum size of canopy trees shall be two and one half inches in caliper.

Evergreen Tree or Shrub. A tree or shrub of a species which normally retains leaves / needles throughout the year. Minimum size of evergreen trees shall be five feet in height.

B. Landscaping.

1. Bufferyard Requirements. All commercial/Industrial land uses are required to place a bufferyard (landscaping strip) adjacent to and along the length of I-90, First Avenue North, or First Avenue South on which the use fronts. Such landscaping buffer shall extend from the edge of the public right-of-way. Placement and landscaping design shall be at the discretion of the developer, and the required trees and shrubs may be clustered to enhance the view of the

property from the public right-of-way as long as such uses conform with Section 17.26.052(C) of this code. A local design professional or local nursery must be consulted for assistance with the development of the landscape design. The use of native, drought-tolerant plant material is strongly encouraged. Evergreen trees are encouraged for bufferyards, and canopy trees are encouraged for parking areas. The planting of trees should be done in such a manner as to provide maximum solar efficiency throughout the site.

a. The developer shall have the option of one of the following three bufferyards. Bufferyard depth is measured from the property line adjacent to the public right-of-way inward. Any buffer area which overlaps another buffer area shall be subtracted from the total to avoid double counting. The number of trees and shrubs required is per one hundred feet of frontage:

- (1) Twenty-five foot wide bufferyard: five Canopy or evergreen trees, ten Shrubs
- (2) Twenty foot wide bufferyard: ten Canopy or evergreen trees, fifteen Shrubs
- (3) Fifteen foot wide bufferyard: fifteen Canopy or evergreen trees, twenty Shrubs

b. The following criteria shall also apply to the bufferyards.

- i. The landscape strip may be contoured. Berming shall be one foot of rise to four feet of run with a minimum of three feet in height. Depressions shall be no lower than the existing grade of the site.
- ii. All landscaped areas shall contain ground cover such as sod, shrubs, flowerbeds, or organic materials. No more than ten percent of the landscaped area shall contain rock, bark chips, stepping stones, or similar material.
- iii. All landscaped areas shall be sub-irrigated, maintained, and kept free of weeds, debris, and litter. Failure to do so constitutes a zoning violation. Existing mature trees and shrubs should be preserved and will be credited toward landscaping requirements.
- iv. Depth of bufferyard shall depend on density of vegetation.
- v. All new utility lines shall be placed underground.
- vi. New tree plantings shall not be constructed so as to grow into existing overhead utility lines.

C. Off-Street Parking Lot Landscaping.

Landscaping shall be provided within all parking areas as follows:

Parking lots containing more than ten spaces shall contain internal areas of landscaping totaling at least ten percent of the parking area. Each planting area shall contain at least three hundred square feet and at least one major tree and groundcover with irrigation. There must be a clearly designated pedestrian route from the parking lot to the street or main entrance.

1. A minimum of twenty square feet of landscaped area shall be provided for each parking space on parking lots containing more than ten spaces.
2. Two canopy and/or evergreen trees and five shrubs shall be required for every ten parking spaces or component thereof over ten parking spaces.

3. All landscaped areas shall contain ground cover such as sod, shrubs, flowerbeds or organic materials. No more than twenty-five percent of the landscaped area shall contain rock, bark chips, stepping stones or similar material.
4. The minimum width and/or length of any parking lot landscaped area shall be five feet.
5. Internal parking lot landscaping provided shall be proportionately dispersed, at the developer's discretion, in order to define aisles and limit unbroken rows of parking. The maximum horizontal or vertical unbroken length shall be limited to one hundred feet. Landscaped areas provided shall be in a scale proportionate to parking lot.
6. Any development that has parking abutting a required bufferyard, may extend the width of parking landscaping plant material. The minimum bufferyard width and that bufferyard a minimum of five feet and include the additional required landscaping material is required in addition to the parking landscaping.
7. Protection of Landscaped Areas. Landscaped areas within parking lots or the along perimeter of the property must be protected from vehicular traffic through the use of continuous concrete curbs, extruded asphalt or other approved permanent barriers.
8. All new utility lines shall be placed underground.

D. Commercial Uses Abutting Residential Uses.

All commercial uses abutting residential uses shall install a bufferyard. The bufferyard shall be ten feet wide and shall contain ten evergreen and/or canopy trees and ten shrubs per one hundred lineal feet. A solid fence or wall that is architecturally compatible in color and design with the building shall be required on the property line. The fence height shall be a minimum of six feet. Chain link or other wire fencing material is prohibited.

E. Fractions in the Calculation of Number of Trees and Shrubs.

In the calculation of trees and shrubs for bufferyards or parking landscaping, all fractions shall be rounded to the nearest, highest whole number.

(Ord. 02-31, 2002)

File Attachments for Item:

6. Project Review: City Brew / Chen's Express

LAUREL CITY BREW-CHEN'S EXPRESS

SUITE A - CHEN'S EXPRESS
SUITE B - CITY BREW

415 S. 1ST AVENUE
LAUREL, MT 59044

ISSUE DATE: 7.2.2021

A&E PROJECT NUMBER: 21017



6 FRONT ENTRANCE
12" = 1'-0"



16 BACK ENTRANCE
12" = 1'-0"

sheet COVER SHEET
project LAUREL CITY BREW-CHEN'S EXPRESS
owner STEVE ZABAWA

project # 21017

revision date

phase
PRICING AND PERMITS



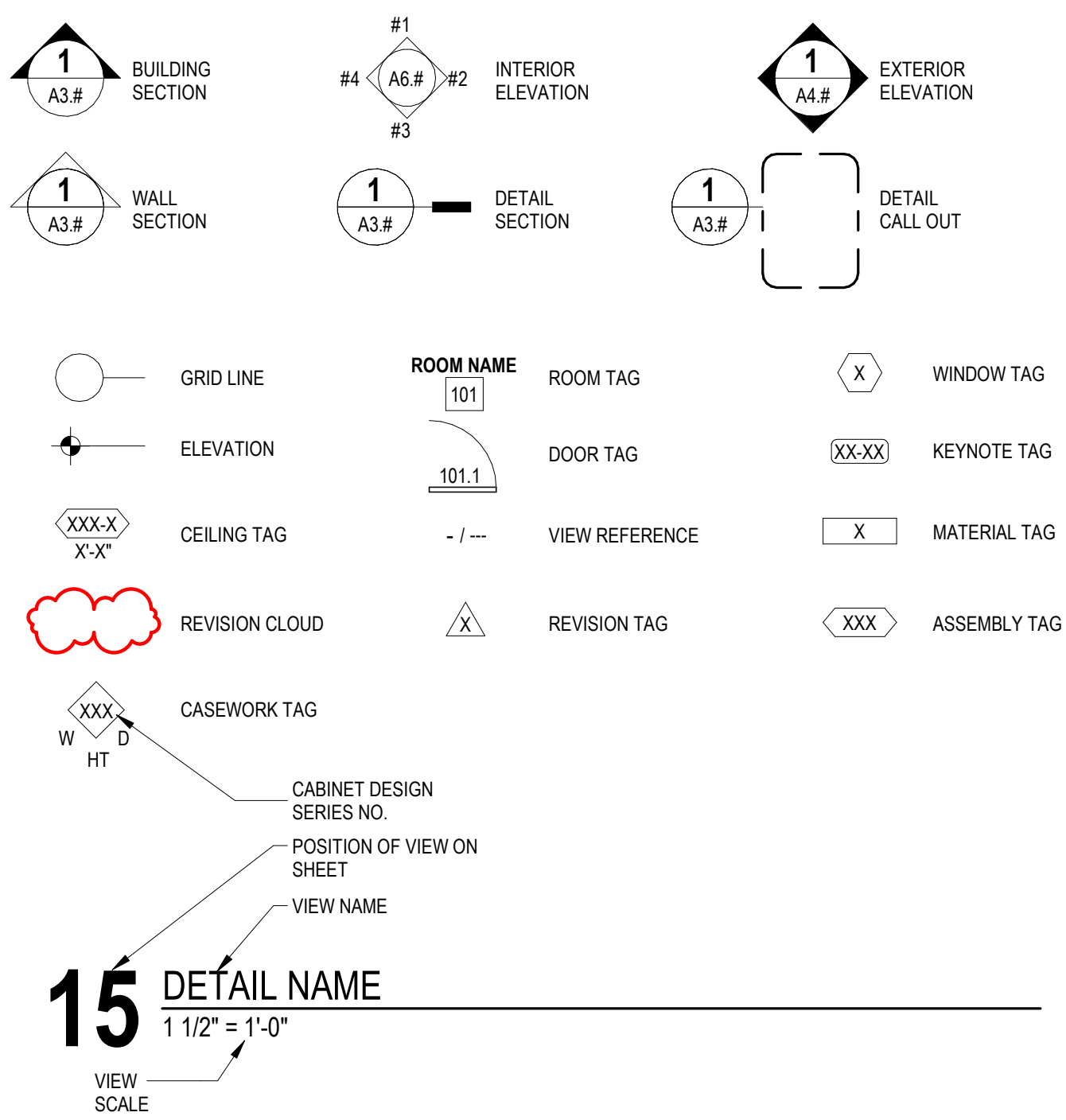
issue date
7.2.2021

G0.0

ARCHITECTURAL ABBREVIATIONS

AB ANCHOR BOLT	GA GAUGE	R RADIUS
ABV ABOVE	GAU GALVANIZED	RA RETURN AIR
A/C AIR CONDITIONING	GB GYPSUM BOARD	RB RUBBER BASE
ACT ACOUSTICAL CEILING TILE	GC GENERAL CONTRACTOR	RD ROOF DRAIN
ADCL ADDITIONAL	GL GLASS GLAZING	REY RECYCLED
ADJ ADJUSTABLE	GW GYPSUM WALL BOARD	REF REFERENCE
AFF ABOVE FINISH FLOOR	GYP GYPSUM	REFR REFRIGERATOR OR REFRIGERATION
ALT ALTERNATE	HC HANDICAP	REINF REINFORCE
ALUM ALUMINUM	HDR HEADER	RECO REQUIRED
ARCH ARCHITECTURAL	HDW HARDWARE	SCH SCHEDULE
AWN AWNING	HM HOLLOW METAL	ROO ROOM
	HORIZ HORIZONTAL	ROU ROUGH OPENING
	HR HOUR	ROW RIGHT OF WAY
BTW BETWEEN	HT HEIGHT	S SOUTH
BUR BUILT-UP ROOF	HTD HEATED	SC SOLID CORE
	HTV HEATING/VENTILATION & AIR CONDITIONING	SCH SCHEDULE
		SCHD SCHEDULED
		SECT SECTION
		SF SQUARE FEET
		SFRM SPRAY APPLIED FIRE RESISTIVE MATERIAL
		SHT SHEATHING
		SIM SIMILAR
		SPECS SPECIFICATIONS
		SOD SLAB ON DECK
		SOG SLAB ON GRADE
		SOS SAME OPPOSITE HAND
		SS STAINLESS STEEL
		ST STONE TILE
		STD STANDARD
		STND STANDARD
		STL STEEL
		STRUC STRUCTURAL
		TEMP TEMPERED
		THK THICK
		THRESH THRESHOLD
		T.O. TOP OF
		TOBM TOP OF BEAM
		T.O.BM TOP OF BEAM
		T.O.P. TOP OF PLATE
		T.O.S. TOP OF STEEL
		T/ TOP OF
		T&G TONGUE AND GROOVE
		TEL TELEPHONE
		THK THICK
		TRANS TRANSCOM
		TV TELEVISION
		TYP TYPICAL
		UL UNDERWRITERS LABORATORY UNLESS NOTED OTHERWISE
		UNO UNLESS NOTED OTHERWISE
		VB VINYL BASE
		VCT VINYL COMPOSITION TILE
		VERT VERTICAL
		VEST VESTIBULE
		VFB VERRY FIELD
		VP VENEER PLASTER
		VR VAPOR RETARDER
		VT VINYL TILE
		VWC VINYL WALL COVERING
		W WIDE OR WEST
		WI WITH
		WC WATER CLOSET
		WD WOOD
		WDW WINDOW
		WG WALL GUARD
		WH WATER HEATER
		WIN WITHIN
		W/O WITHOUT
		WP WATERPROOF
		WR WATER RESISTANT
		WT WEIGHT
		WWF WELDED WIRE FABRIC
		# NUMBER OR POUND
		@ AT

EXPLANATION OF SYMBOLS



TYPICAL SHEET VIEW NUMBERING LAYOUTS

1	2	3	4
5	6	7	8
9	10	11	12
13	14	15	16

ARCH D (24"x36")

1	2	3	4	5
6	7	8	9	10
11	12	13	14	15
16	17	18	19	20

ARCH E1 (30"x42")

PROJECT TEAM

OWNER

STEVE ZABANIA
ZDEALER@CLOUD.COM

ARCHITECT

A&E ARCHITECTS
124 NORTH 29th STREET
BILLINGS, MT 59101
406.248.2633

CONTRACTOR

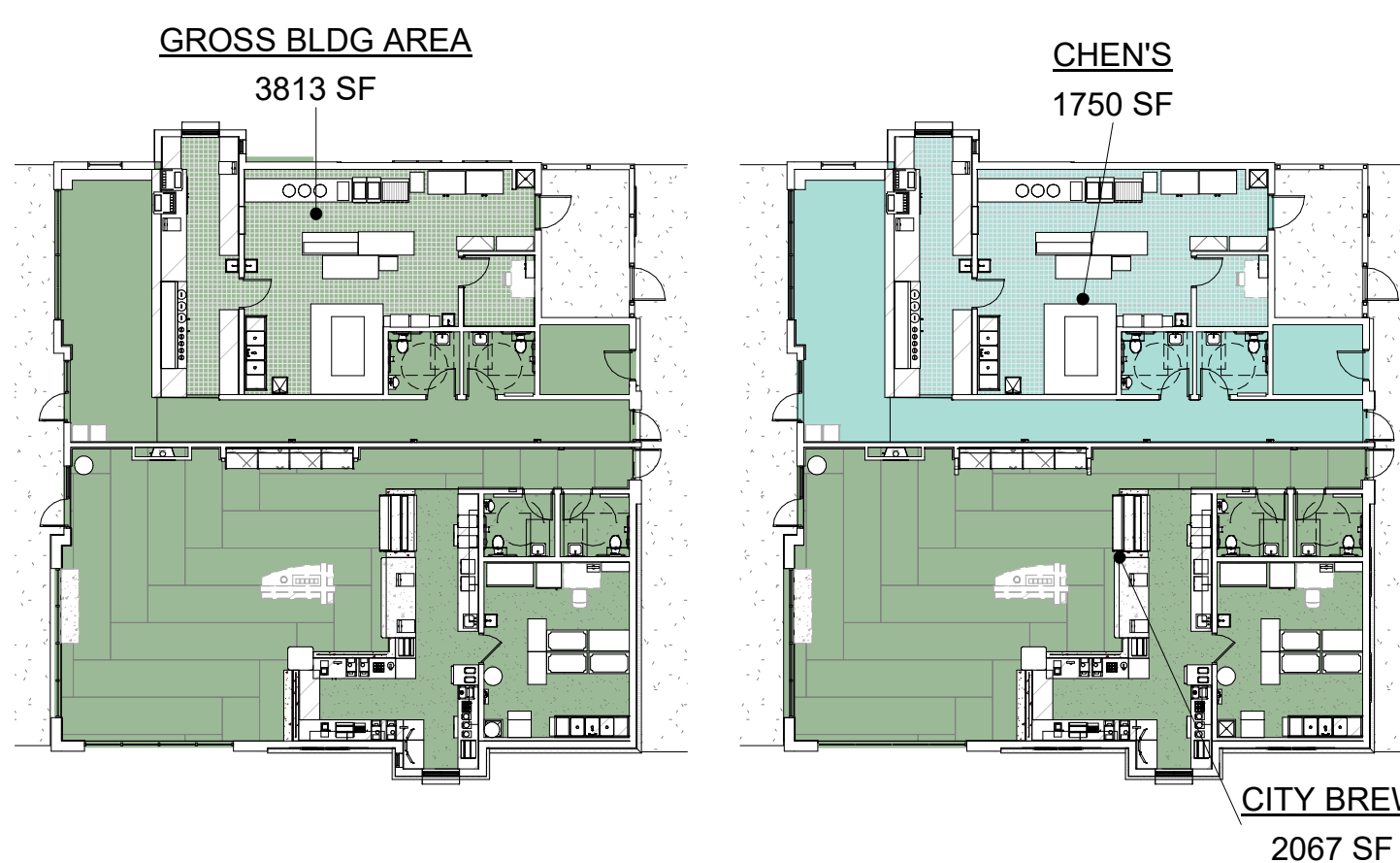
WELLS BUILT
2530 SHILOH RD.
BILLINGS, MT 59106
406.794.6465
CONTACT: STEVE WELLS

CIVIL ENGINEER, PROJECT LEAD

SANDERSON STEWART
1300 N. TRANSTECH WAY
BILLINGS, MT 59102
406.555.8521
CONTACT: BRYAN ALEXANDER

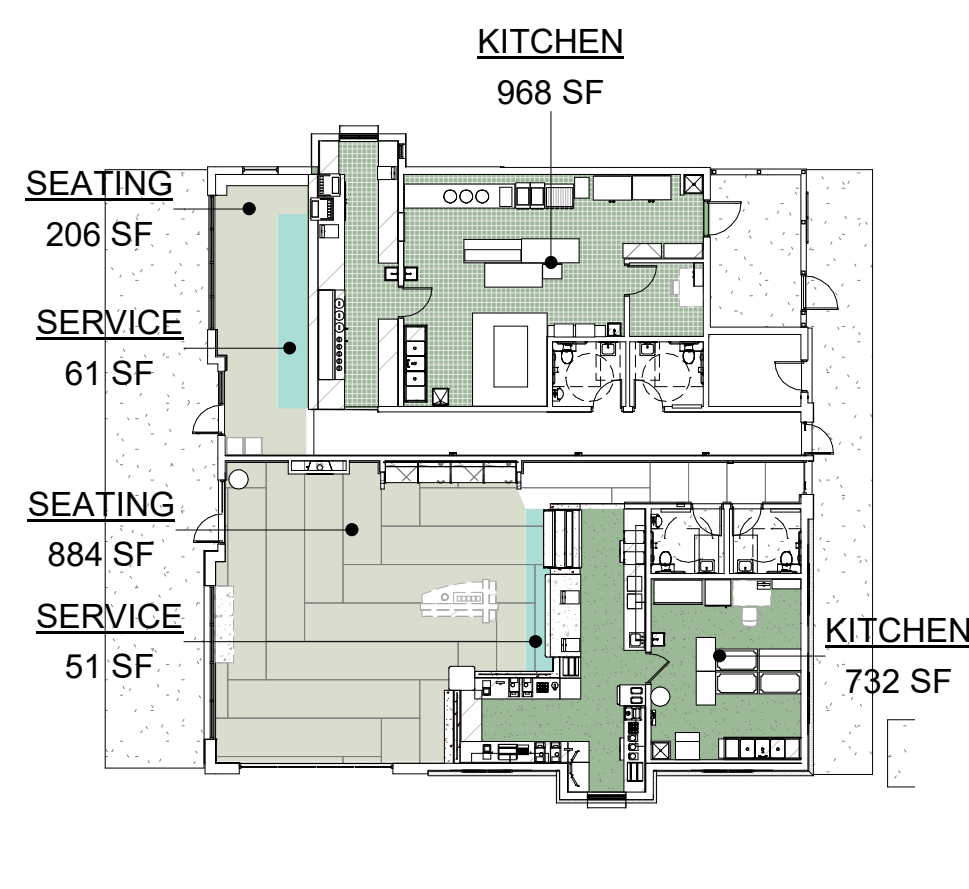
MEP ENGINEER

SIMPLICITY CONSULTING ENGINEERS & DESIGN, LLC
P.O. BOX 81222
BILLINGS, MT 59108-1222
406.861.1265
CONTACT: CORY HASIAK, P.E.



1 GROSS AREA
1" = 20'-0"

2 RENTABLE AREA
1" = 20'-0"



3 LEVEL 1
1" = 20'-0"

OCCUPANT LOAD CALCULATION				
SPACE	USE	AREA	OLF	TOTAL OCC LOAD
CITY BREW	SERVICE	51 SF	7 SF	8
CITY BREW	KITCHEN	732 SF	200 SF	4
CITY BREW	SEATING	884 SF	15 SF	59
CITY BREW	3	1667 SF		71
SHANGHAI	SERVICE	61 SF	7 SF	9
SHANGHAI	SEATING	206 SF	15 SF	14
SHANGHAI	KITCHEN	968 SF	200 SF	5
SHANGHAI	3	1235 SF		28
Grand total:		2902 SF		99

SUSTAINABILITY NOTES

- REPETITIVE AND/OR INTERMITTENT HIGH-LEVEL NOISE PERMITTED ONLY DURING DAYTIME. AT 50'-0" FROM THE PROJECT BOUNDARY DO NOT EXCEED 70 DB(A) FOR MORE THAN 12 MINUTES IN ANY HOUR.
- MAXIMUM AMBIENT NOISE LEVELS (DB) FOR NOISE AREA AT PROJECT BOUNDARY: DAYLIGHT HOURS 65 DB, NON-DAYLIGHT HOURS 45 DB.
- DEVELOP A WASTE MANAGEMENT PLAN ACCORDING TO ASTM E 1609. PLAN SHALL CONSIST OF WASTE IDENTIFICATION, WASTE REDUCTION WORK PLAN, AND COST REVENUE ANALYSIS. DISTINGUISH BETWEEN CONSTRUCTION WASTES. INDICATE QUANTITIES BY WEIGHT OR VOLUME, BUT USE SAME UNITS OF MEASURE THROUGHOUT WASTE MANAGEMENT PLAN.
- DEVELOP A WASTE REDUCTION WORK PLAN. IDENTIFY NON-HAZARDOUS DEMOLITION AND CONSTRUCTION WASTE GENERATED BY THE PROJECT AND WHETHER IT WILL BE SALVAGED, RECYCLED, OR DISPOSED OF IN LANDFILL. INCLUDE QUANTITY OF EACH TYPE OF WASTE, QUANTITY FOR EACH MEANS OF RECOVERY, AND HANDLING AND TRANSPORTATION PROCEDURES.
- RECYCLED MATERIALS: DIVERT, AT A MINIMUM, 50% OF RESULTING WASTE FROM A LANDFILL THROUGH SALVAGE AND RECYCLING. SEPARATE RECYCLABLE WASTE FROM OTHER WASTE MATERIALS, TRASH, AND DEBRIS.
- DEVELOP A CONSTRUCTION IAQ MANAGEMENT PLAN. AT A MINIMUM, SCHEDULE OF INSTALLATION OF INTERIOR FINISHES, IDENTIFY SOURCES OF ODOR AND DUST. NOTE CONSTRUCTION VENTILATION PROVIDED INCLUDING USE OF PERMANENT HVAC SYSTEMS, TYPES OF FILTRATION AND SCHEDULE FOR REPLACEMENT OF FILTERS, CLEANING AND DUST CONTROL PROCEDURES, PRODUCTS REQUIRING MOISTURE PROTECTION, AND SCHEDULE FOR INSPECTION OF STORED MATERIALS.
- DEVELOP A TEMPORARY SEDIMENTATION CONTROL PLAN. INDICATE DEVICES, MEASURES, AND LOCATIONS FOR SEDIMENT CONTROL DEVICES. DESCRIBE CONSTRUCTION ACTIVITIES EFFECTING EROSION, DESCRIBE MONITORING AND MEASURES FOR SEDIMENT CONTROL. DESCRIBE MITIGATION AND RESPONSE TO FAILED EROSION CONTROL MEASURES.
- LOW EMITTING MATERIALS: PAINTS, COATINGS, ADHESIVES AND SEALANTS FOR FIELD APPLICATIONS INSIDE THE WEATHER PROOFING SYSTEM SHALL COMPLY WITH VOC CONTENT LIMITS OF AUTHORITIES HAVING JURISDICTIONS OR SCAMQD RULE 1168, WHICHEVER IS STRICTER.
- NO SMOKING, SMOKING, VAPING, AND SMOKELESS TOBACCO USE IS NOT PERMITTED WITHIN THE BUILDING OR WITHIN 25'-0" OF ENTRANCES, OPERABLE WINDOWS, OR OUTDOOR AIR INTAKES.
- CAST-IN-PLACE CONCRETE: PROVIDE STEEL REINFORCING MATERIALS WITH MINIMUM 25% RECYCLED CONTENT. PROVIDE AGGREGATE AND CEMENT EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- UNIT MASONRY: PROVIDE BRICK, BLOCK, AGGREGATE, CEMENT, MORTAR, AND LIME EXTRACTED AND/OR MANUFACTURED WITHIN 500 MILES OF PROJECT SITE.
- STRUCTURAL STEEL, STEEL DECKING, FORMED METAL FRAMING, METAL TOILET COMPARTMENTS, AND FORMED METAL WALL AND ROOF PANELS: PROVIDE MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 25%.
- ALL COMPOSITE WOOD PRODUCTS SHALL BE MANUFACTURED WITHOUT ADDED UREA FORMALDEHYDE.
- ALUMINUM ENTRANCE AND WINDOW SYSTEMS: PROVIDE ALUMINUM MATERIALS WITH POST-CONSUMER RECYCLED CONTENT PLUS ONE-HALF OF PRE-CONSUMER RECYCLED CONTENT NOT LESS THAN 50%.
- PROVIDE GYPSUM BOARD WALL PANELS MANUFACTURED WITHIN 500 MILES OF THE PROJECT SITE.
- RESILIENT HARD SURFACE FLOORING MATERIALS AND THEIR ADHESIVES SHALL BE FLOORSOURCE CERTIFIED.
- PLUMBING FIXTURES SHALL BE WATERSENSE CERTIFIED.

ARCHITECTURAL DRAWINGS

GENERAL INFO	SHEET NAME
G0.0	COVER SHEET
G0.1	GENERAL INFORMATION
CIVIL	SHEET NAME
C1.0	EXISTING SITE PLAN
C2.0	SITE UTILITY PLAN
C3.0	GRADING AND DRAINAGE PLAN
C4.0	DETAILS
LANDSCAPE	SHEET NAME
L1.1	LANDSCAPE PLAN
L2.1	PLANTING DETAILS
ARCHITECTURAL	SHEET NAME
A0.1	ASSEMBLY TYPES
A1.1	SITE PLAN
A2.1	LEVEL 1 FLOOR PLAN
A2.2	ROOF PLAN
A3.1	ENLARGED CHEN'S EXPRESS PLAN
A3.2	ENLARGED CITY BREW PLAN
A3.10	PLAN DETAILS
A4.1	EXTERIOR ELEVATIONS
A5.1	BUILDING SECTIONS
A5.5	WALL SECTIONS
A5.6	WALL SECTIONS
A5.7	WALL SECTIONS
A5.9	HARDI REVEAL SECTION DETAILS
A5.10	SECTION DETAILS
A6.1	INTERIOR ELEVATIONS
A6.2	INTERIOR ELEVATIONS
A6.3	INTERIOR ELEVATIONS
A6.4	INTERIOR ELEVATIONS
A6.5	INTERIOR DESIGN DETAILS
A6.8	CASEWORK DETAILS
A7.1	REFLECTED CEILING PLAN
A7.2	REFLECTED CEILING PLAN DETAILS
A9.1	SCHEDULES
STRUCTURAL	SHEET NAME
S1.0	FOUNDATION PLAN
S1.1	ROOF FRAMING PLAN
S1.2	MECHANICAL COORDINATION PLAN
S2.0	SECTIONS AND DETAILS
S2.1	SECTIONS AND DETAILS
MECHANICAL AND PLUMBING	SHEET NAME
M0.1	MECHANICAL LEGEND & SCHEDULES
M0.2	MECHANICAL DETAILS
M0.3	MECHANICAL SPECIFICATIONS
M1.1	BELOW SLAB PLUMBING PLAN
M1.2	PLUMBING ROOF PLAN
M2.1	ENLARGED CHEN'S PLUMBING PLAN
M2.2	ENLARGED CITY BREW PLUMBING PLAN
M3.1	ENLARGED CHEN'S EXPRESS MECHANICAL PLAN
M3.2	ENLARGED CITY BREW MECHANICAL PLAN
M3.3	MECHANICAL ROOF PLAN
ELECTRICAL	SHEET NAME
E0.1	ELECTRICAL COVER SHEET
E0.2	ELECTRICAL SITE PLAN
E1.1	LIGHTING PLAN
E2.0	POWER AND SPECIAL SYSTEMS PLAN
E2.1	ROOF ELECTRICAL PLAN
E3.0	ELECTRICAL SCHEDULES AND DETAILS

ALTERNATE PRICING NOTES

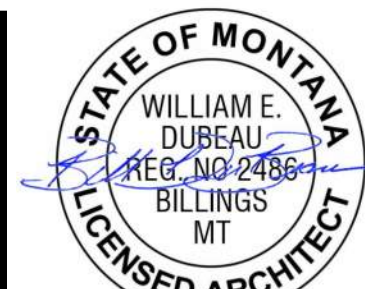
- FIRE SPRINKLER SYSTEM
- CONTRACTOR TO PROVIDE PRICING FOR FULL SPRINKLER SYSTEM
- CONTRACTOR TO PROVIDE ALTERNATE PRICING FOR ONLY SLEEPING FIRE SPRINKLER LINE INTO FIRE ROOM. NO LINE TO STREET, FIRE ALARM OR INTERIOR SPRINKLER SYSTEM WILL BE INCLUDED IN THIS ALTERNATE.

CODE ANALYSIS

- CHAPTER 3:
- A-2 RESTAURANT AND COFFEE SHOPS
- CHAPTER 5:
- ALLOWABLE BUILDING HT = 60 FOR SPRINKLERED BUILDING OCCUPANCY A
 - A-2 OCCUPANCY, SINGLE STORY SPRINKLERED BUILDING, TYPE VB CONSTRUCTION = 24,000 SF
- CHAPTER 9:
- A-2 SPRINKLERS REQUIRED FOR FIRE AREA OCCUPANT LOAD GREATER THAN 100. ACTUAL OCCUPANT LOAD IS 99. NO SPRINKLER SYSTEM REQUIRED.
- PARKING
- SEE C2.0 FOR PARKING CALCULATIONS

BUILDING ENVELOPE USES PRESCRIPTIVE COMPLIANCE METHOD TO MEET THE REQUIREMENT OF THE IECC. SEE SHEET G0.2 FOR ASSEMBLY R-VALUES.

SEE ATTACHED COMCHECK FOR COMPLIANCE WITH DOE STANDARDS FOR MECHANICAL, PLUMBING AND LIGHTING.



sheet
 project
LAUREL CITY BREW-CHEN'S EXPRESS
 owner
 STEVE ZABANIA

project # **21017**
revision _____ date _____

phase
PRICING AND PERMITS



issue date
7.2.2021

G0.1

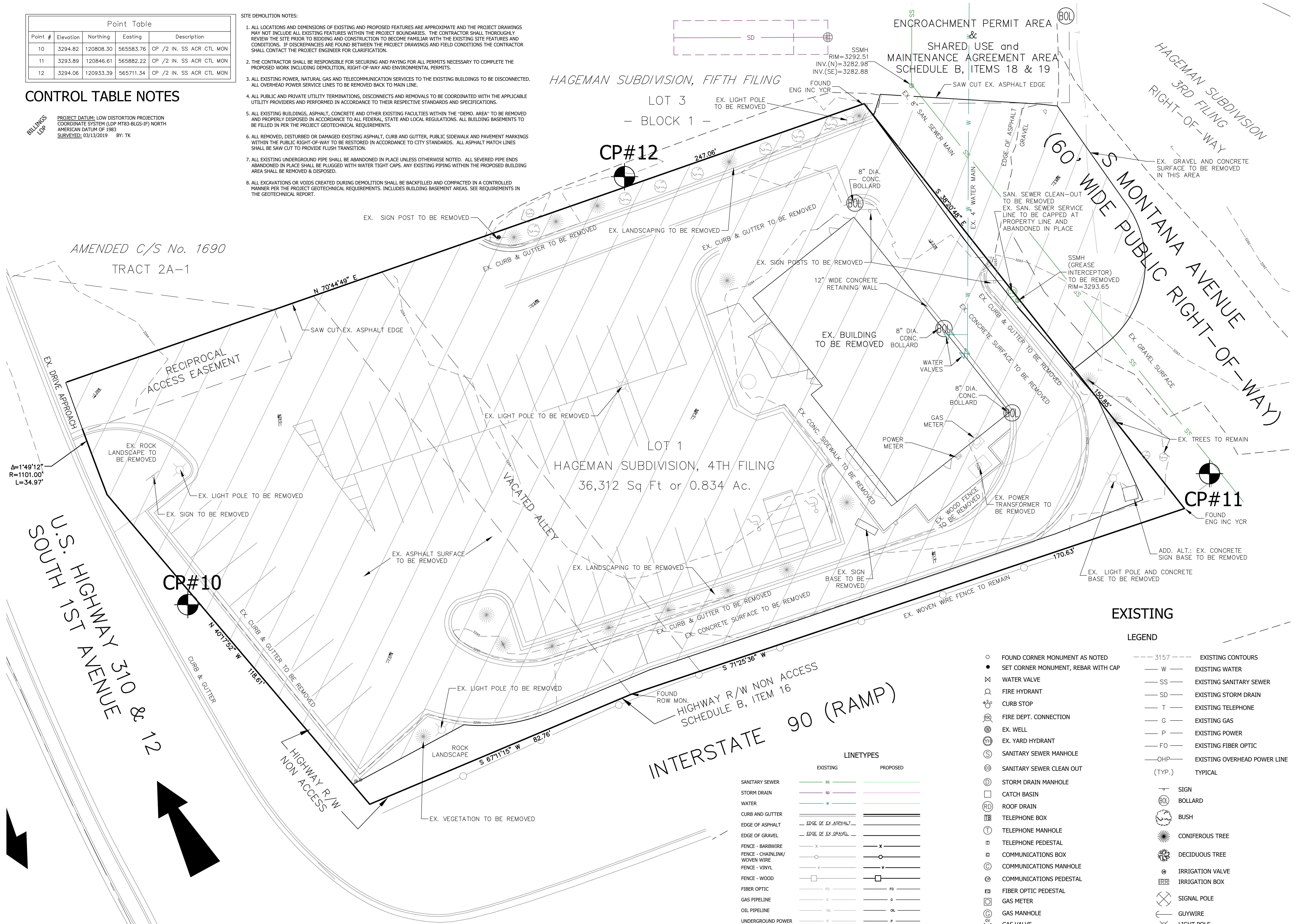
Point Table				
Point #	Elevation	Northing	Easting	Description
10	3294.82	120808.30	565583.76	CP /2 IN. SS ACR CTL MON
11	3293.89	120846.61	565882.22	CP /2 IN. SS ACR CTL MON
12	3294.06	120933.39	565711.34	CP /2 IN. SS ACR CTL MON

CONTROL TABLE NOTES

BILLINGS
 PROJECT DATUM: LOW DISTORTION PROJECTION
 COORDINATE SYSTEM (LDP MT83-BLGS-IF) NORTH
 AMERICAN DATUM OF 1983
 SURVEYED: 03/13/2019 BY: TK

SITE DEMOLITION NOTES:

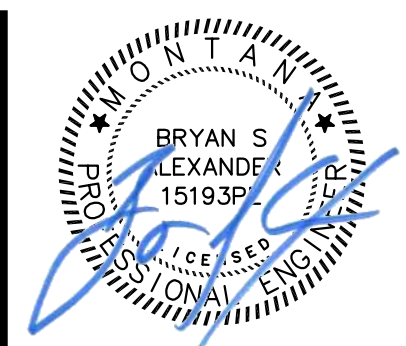
1. ALL LOCATIONS AND DIMENSIONS OF EXISTING AND PROPOSED FEATURES ARE APPROXIMATE AND THE PROJECT DRAWINGS MAY NOT INCLUDE ALL EXISTING FEATURES WITHIN THE PROJECT BOUNDARIES. THE CONTRACTOR SHALL THOROUGHLY REVIEW THE SITE PRIOR TO BIDDING AND CONSTRUCTION TO BECOME FAMILIAR WITH THE EXISTING SITE FEATURES AND CONDITIONS. IF DISCREPANCIES ARE FOUND BETWEEN THE PROJECT DRAWINGS AND FIELD CONDITIONS THE CONTRACTOR SHALL CONTACT THE PROJECT ENGINEER FOR CLARIFICATION.
2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR SECURING AND PAYING FOR ALL PERMITS NECESSARY TO COMPLETE THE PROPOSED WORK INCLUDING DEMOLITION, RIGHT-OF-WAY AND ENVIRONMENTAL PERMITS.
3. ALL EXISTING POWER, NATURAL GAS AND TELECOMMUNICATION SERVICES TO THE EXISTING BUILDINGS TO BE DISCONNECTED. ALL OVERHEAD POWER SERVICE LINES TO BE REMOVED BACK TO MAIN LINE.
4. ALL PUBLIC AND PRIVATE UTILITY TERMINATIONS, DISCONNECTS AND REMOVALS TO BE COORDINATED WITH THE APPLICABLE UTILITY PROVIDERS AND PERFORMED IN ACCORDANCE TO THEIR RESPECTIVE STANDARDS AND SPECIFICATIONS.
5. ALL EXISTING BUILDINGS, ASPHALT, CONCRETE AND OTHER EXISTING FACILITIES WITHIN THE "DEMO. AREA" TO BE REMOVED AND PROPERLY DISPOSED IN ACCORDANCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS. ALL BUILDING BASEMENTS TO BE FILLED IN PER THE PROJECT GEOTECHNICAL REQUIREMENTS.
6. ALL REMOVED, DISTURBED OR DAMAGED EXISTING ASPHALT, CURB AND GUTTER, PUBLIC SIDEWALK AND PAVEMENT MARKINGS WITHIN THE PUBLIC RIGHT-OF-WAY TO BE RESTORED IN ACCORDANCE TO CITY STANDARDS. ALL ASPHALT MATCH LINES SHALL BE SAW CUT TO PROVIDE FLUSH TRANSITION.
7. ALL EXISTING UNDERGROUND PIPE SHALL BE ABANDONED IN PLACE UNLESS OTHERWISE NOTED. ALL SEVERED PIPE ENDS ABANDONED IN PLACE SHALL BE PLUGGED WITH WATER TIGHT CAPS. ANY EXISTING PIPING WITHIN THE PROPOSED BUILDING AREA SHALL BE REMOVED & DISPOSED.
8. ALL EXCAVATIONS OR VOIDS CREATED DURING DEMOLITION SHALL BE BACKFILLED AND COMPACTED IN A CONTROLLED MANNER PER THE PROJECT GEOTECHNICAL REQUIREMENTS. INCLUDES BUILDING BASEMENT AREAS. SEE REQUIREMENTS IN THE GEOTECHNICAL REPORT.



	LINETYPES	
	EXISTING	PROPOSED
SANITARY SEWER	SS	SS
STORM DRAIN	SD	SD
WATER	W	W
CURB AND GUTTER	—	—
EDGE OF ASPHALT	—	—
EDGE OF GRAVEL	—	—
FENCE - BARB WIRE	X	X
FENCE - CHAINLINK/WOVEN WIRE	○	○
FENCE - VINYL	□	□
FENCE - WOOD	—	—
FIBER OPTIC	FO	FO
GAS PIPELINE	G	G
OIL PIPELINE	OL	OL
UNDERGROUND POWER	P	P
OVERHEAD POWER	OHP	OHP
TELEPHONE	T	T
TELEVISION/CABLE	TV	TV
CONTOUR	3157	3157
DEMO AREA	—	—

LEGEND	
○	FOUND CORNER MONUMENT AS NOTED
●	SET CORNER MONUMENT, REBAR WITH CAP
⊗	WATER VALVE
⊕	FIRE HYDRANT
⊕	CURB STOP
⊕	FIRE DEPT. CONNECTION
⊕	EX. WELL
⊕	EX. YARD HYDRANT
⊕	SANITARY SEWER MANHOLE
⊕	SANITARY SEWER CLEAN OUT
⊕	STORM DRAIN MANHOLE
⊕	CATCH BASIN
⊕	ROOF DRAIN
⊕	TELEPHONE BOX
⊕	TELEPHONE MANHOLE
⊕	TELEPHONE PEDESTAL
⊕	COMMUNICATIONS BOX
⊕	COMMUNICATIONS MANHOLE
⊕	COMMUNICATIONS PEDESTAL
⊕	FIBER OPTIC PEDESTAL
⊕	GAS METER
⊕	GAS MANHOLE
⊕	GAS VALVE
⊕	TRANSFORMER
⊕	POWER POLE
⊕	ELECTRIC JUNCTION BOX
⊕	ELECTRIC PEDESTAL
---	3157 EXISTING CONTOURS
— W —	EXISTING WATER
— SS —	EXISTING SANITARY SEWER
— SD —	EXISTING STORM DRAIN
— T —	EXISTING TELEPHONE
— G —	EXISTING GAS
— P —	EXISTING POWER
— FO —	EXISTING FIBER OPTIC
— OHP —	EXISTING OVERHEAD POWER LINE
(TYP.)	TYPICAL
⊕	SIGN
⊕	BOLLARD
⊕	BUSH
⊕	CONIFEROUS TREE
⊕	DECIDUOUS TREE
⊕	IRRIGATION VALVE
⊕	IRRIGATION BOX
⊕	SIGNAL POLE
⊕	GUYWIRE
⊕	LIGHT POLE
⊕	POWER METER
⊕	POWER MANHOLE

NOTE:
 -EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, STORM, SEWER, TELEPHONE & TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.
 -UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE IS PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.
 -ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010.



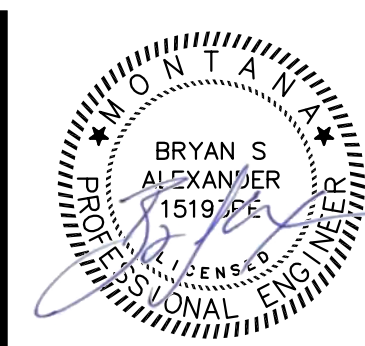
SANDERSON STEWART
 Enduring Community Design

sheet **EXISTING SITE AND DEMOLITION PLAN**
 project **LAUREL CITY BREW-CHEN'S EXPRESS**
 owner **STEVE ZABAWA**

project # **21017**
 revision _____ date _____
 phase **PERMITS AND CONSTRUCTION**



issue date **8.13.2021**
C1.0



PLAN NOTES

- 1 NEW CURB & GUTTER
- 2 NEW ASPHALT PAVING ON SITE
- 3 NEW THICKENED EDGE CONCRETE SIDEWALK
- 4 NEW DRIVABLE CONCRETE - SEE DETAILS
- 5 NEW ACCESSIBILITY RAMP
- 6 NEW 4" PAINTED YELLOW STRIPE AT 3' O.C.
- 7 NEW PAINTED INTERNATIONAL DISABLED SYMBOL
- 8 NEW 4" PAINTED YELLOW PARKING STRIPE
- 9 NEW PAINTED TRAFFIC ARROW
- 10 NEW ADA SIGNAGE - SEE DETAILS (SIGN 1)
- 11 NEW DRIVE THROUGH MENU BOARD SIGNAGE - SEE SHEET E0.2
- 12 NEW GARBAGE CANS
- 13 NEW ASPHALT PAVING ON S. MONTANA AVE. RIGHT OF WAY
- 14 NEW SIGN 2 PER DETAIL
- 15 NEW SIGN 3 PER DETAIL
- 16 NEW SIGN 4 PER DETAIL
- 17 NEW GROUND LOOPS - SEE ELECTRICAL PLANS

4 PARKING COUNT

SITE DATA

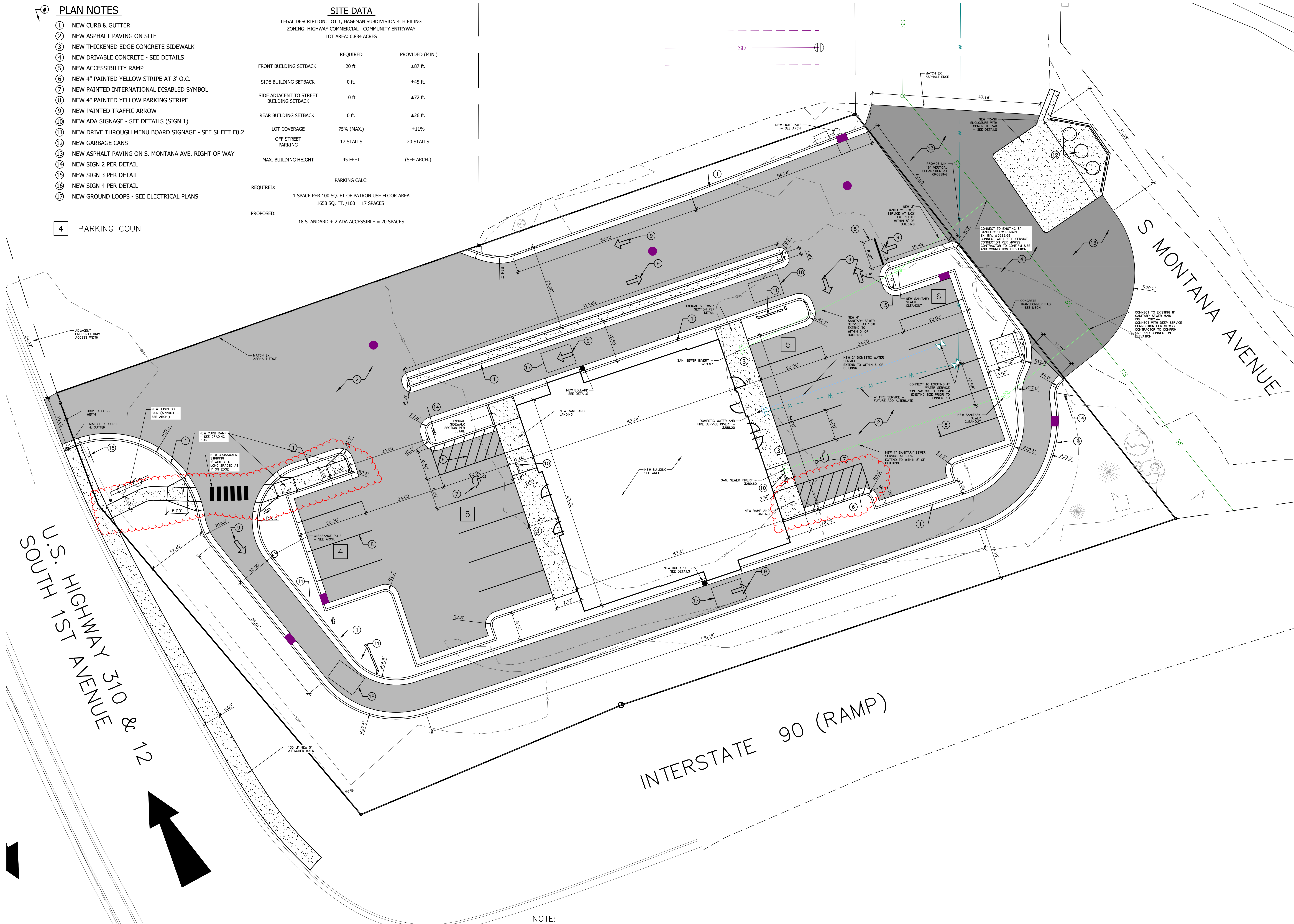
LEGAL DESCRIPTION: LOT 1, HAGEMAN SUBDIVISION 4TH FILING
ZONING: HIGHWAY COMMERCIAL - COMMUNITY ENTRYWAY
LOT AREA: 0.834 ACRES

	REQUIRED	PROVIDED (MIN.)
FRONT BUILDING SETBACK	20 ft.	±87 ft.
SIDE BUILDING SETBACK	0 ft.	±45 ft.
SIDE ADJACENT TO STREET BUILDING SETBACK	10 ft.	±72 ft.
REAR BUILDING SETBACK	0 ft.	±26 ft.
LOT COVERAGE	75% (MAX.)	±11%
OFF STREET PARKING	17 STALLS	20 STALLS
MAX. BUILDING HEIGHT	45 FEET	(SEE ARCH.)

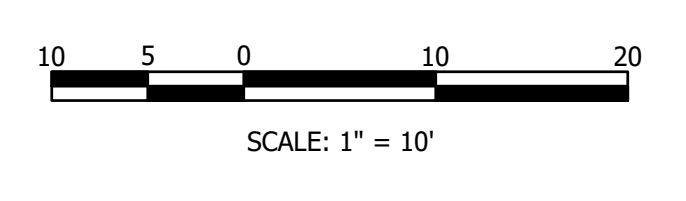
PARKING CALC:

REQUIRED: 1 SPACE PER 100 SQ. FT. OF PATRON USE FLOOR AREA
1658 SQ. FT. / 100 = 17 SPACES

PROPOSED: 18 STANDARD + 2 ADA ACCESSIBLE = 20 SPACES

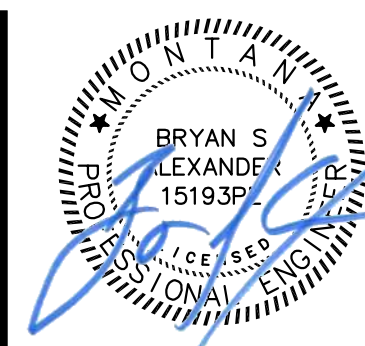


NOTE:
COORDINATE SIGNAGE LOCATIONS, GROUND LOOPS, AND OTHER SITE INFORMATION WITH SHEET A1.1
REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING DETAILS AND LOCATIONS



NOTE:
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-ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010.
-UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE IS PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.

PHOTOS: 24_Highway_310_Ave_01_U.S. Highway 310 & 12, 25_U.S. Highway 310 & 12, 26_U.S. Highway 310 & 12, 27_U.S. Highway 310 & 12, 28_U.S. Highway 310 & 12, 29_U.S. Highway 310 & 12, 30_U.S. Highway 310 & 12, 31_U.S. Highway 310 & 12, 32_U.S. Highway 310 & 12, 33_U.S. Highway 310 & 12, 34_U.S. Highway 310 & 12, 35_U.S. Highway 310 & 12, 36_U.S. Highway 310 & 12, 37_U.S. Highway 310 & 12, 38_U.S. Highway 310 & 12, 39_U.S. Highway 310 & 12, 40_U.S. Highway 310 & 12, 41_U.S. Highway 310 & 12, 42_U.S. Highway 310 & 12, 43_U.S. Highway 310 & 12, 44_U.S. Highway 310 & 12, 45_U.S. Highway 310 & 12, 46_U.S. Highway 310 & 12, 47_U.S. Highway 310 & 12, 48_U.S. Highway 310 & 12, 49_U.S. Highway 310 & 12, 50_U.S. Highway 310 & 12, 51_U.S. Highway 310 & 12, 52_U.S. Highway 310 & 12, 53_U.S. Highway 310 & 12, 54_U.S. Highway 310 & 12, 55_U.S. Highway 310 & 12, 56_U.S. Highway 310 & 12, 57_U.S. Highway 310 & 12, 58_U.S. Highway 310 & 12, 59_U.S. Highway 310 & 12, 60_U.S. Highway 310 & 12, 61_U.S. Highway 310 & 12, 62_U.S. Highway 310 & 12, 63_U.S. Highway 310 & 12, 64_U.S. Highway 310 & 12, 65_U.S. Highway 310 & 12, 66_U.S. Highway 310 & 12, 67_U.S. Highway 310 & 12, 68_U.S. Highway 310 & 12, 69_U.S. Highway 310 & 12, 70_U.S. Highway 310 & 12, 71_U.S. Highway 310 & 12, 72_U.S. Highway 310 & 12, 73_U.S. Highway 310 & 12, 74_U.S. Highway 310 & 12, 75_U.S. Highway 310 & 12, 76_U.S. Highway 310 & 12, 77_U.S. Highway 310 & 12, 78_U.S. Highway 310 & 12, 79_U.S. Highway 310 & 12, 80_U.S. Highway 310 & 12, 81_U.S. Highway 310 & 12, 82_U.S. Highway 310 & 12, 83_U.S. Highway 310 & 12, 84_U.S. Highway 310 & 12, 85_U.S. Highway 310 & 12, 86_U.S. Highway 310 & 12, 87_U.S. Highway 310 & 12, 88_U.S. Highway 310 & 12, 89_U.S. Highway 310 & 12, 90_U.S. Highway 310 & 12, 91_U.S. Highway 310 & 12, 92_U.S. Highway 310 & 12, 93_U.S. Highway 310 & 12, 94_U.S. Highway 310 & 12, 95_U.S. Highway 310 & 12, 96_U.S. Highway 310 & 12, 97_U.S. Highway 310 & 12, 98_U.S. Highway 310 & 12, 99_U.S. Highway 310 & 12, 100_U.S. Highway 310 & 12



HAGEMAN SUBDIVISION, FIFTH FILING

LOT 3
- BLOCK 1 -

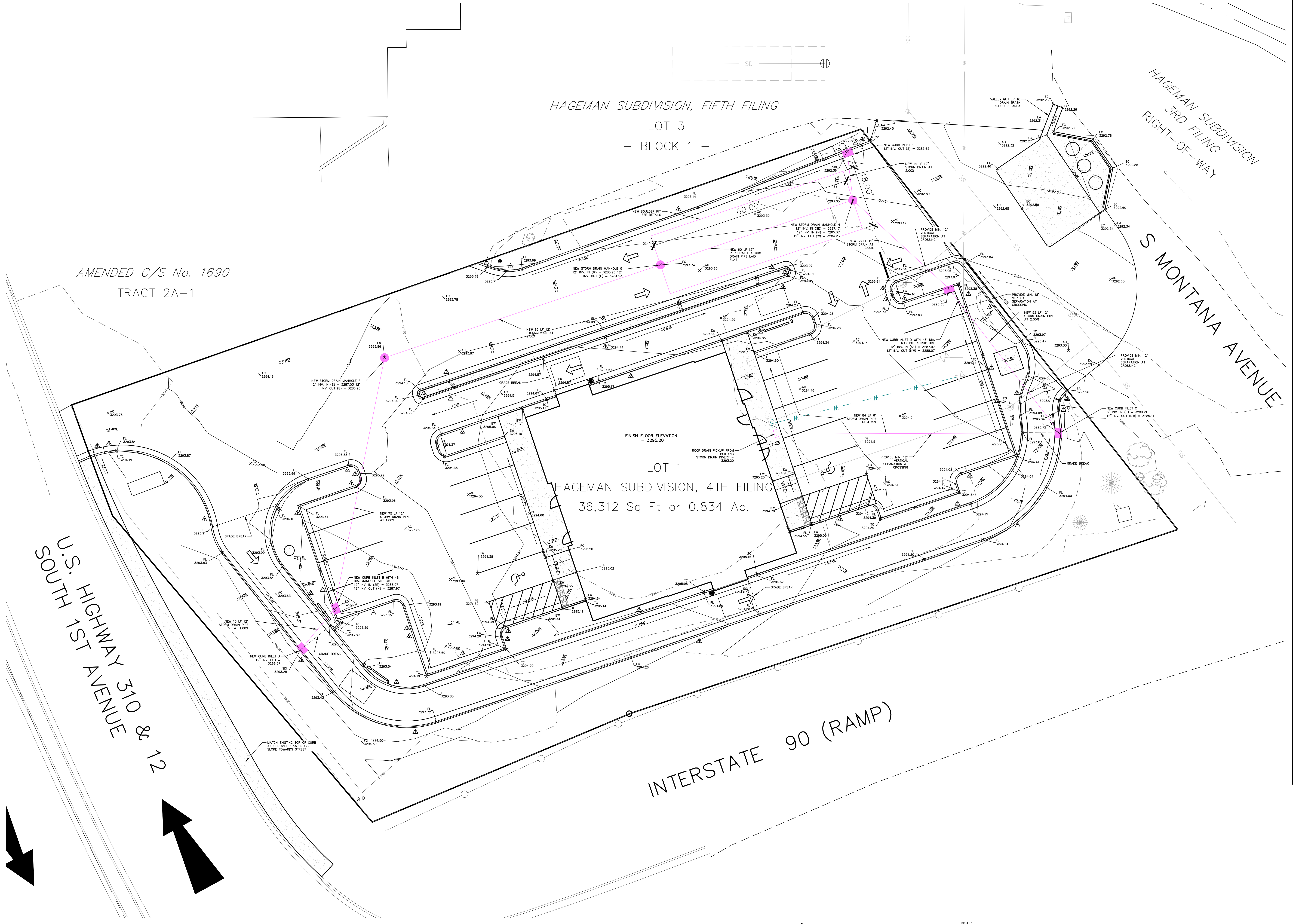
LOT 1
HAGEMAN SUBDIVISION, 4TH FILING
36,312 Sq Ft or 0.834 Ac.

AMENDED C/S No. 1690
TRACT 2A-1

U.S. HIGHWAY 310 & 12
SOUTH HIGHWAY 310 & 12

INTERSTATE 90 (RAMP)

HAGEMAN SUBDIVISION
3RD FILING
RIGHT-OF-WAY
S MONTANA AVENUE

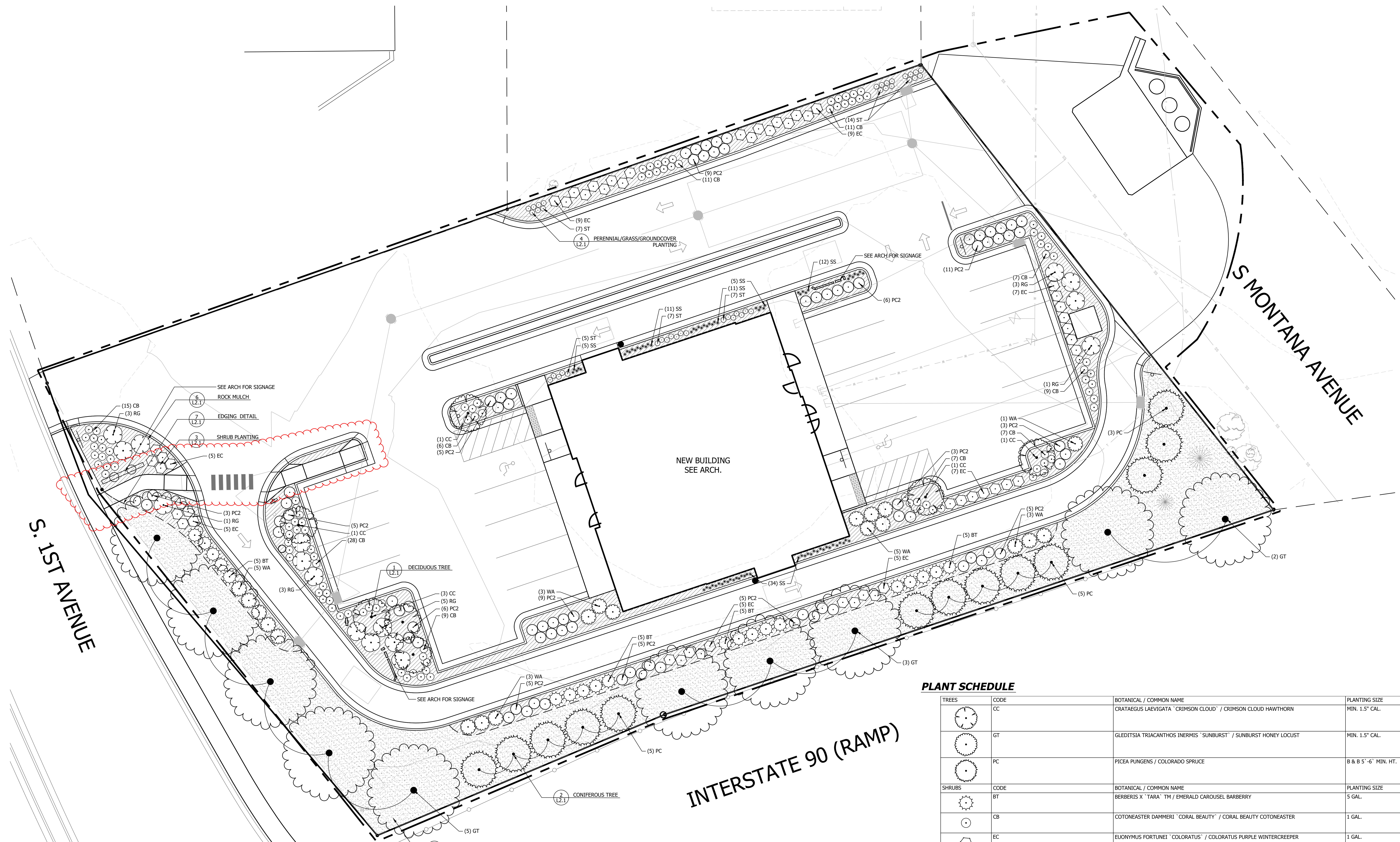


- LEGEND:**
- ▲ CATCH CURB
 - ▲ SPILL CURB
 - ▲ TRANSITION FROM CATCH TO SPILL CURB
 - ▲ TAPER CURB HEAD 3'
 - TOP OF CURB - 0.38' = LIP
 - TOP OF CURB - 0.50' = FLOWLINE
 - TOP OF CURB - 0.58' = LIP
 - TOP OF CURB - 0.50' = FLOWLINE
- EW = FINISHED GRADE AT EDGE OF WALK
TC = FINISHED GRADE AT TOP BACK OF CURB
TW = FINISHED GRADE AT TOP OF WALL
AC = FINISHED GRADE AT ASPHALT
EA = FINISHED GRADE AT EDGE OF ASPHALT
IC = FINISHED GRADE AT EDGE OF CONCRETE
SDI = STORM DRAIN INLET
SDMH = STORM DRAIN MANHOLE
FL = FINISHED GRADE AT FLOWLINE
GR = FINISHED GRADE AT GROUND
EX = APPROXIMATE EXISTING ELEVATION



NOTE:
-EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (WATER, POWER, GAS, STORM, SEWER, TELEPHONE & TELEVISION) MAY NOT BE STRAIGHT LINES OR AS INDICATED ON THE PLANS. STATE LAW REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.
-ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MONTANA PUBLIC WORKS STANDARD SPECIFICATIONS 6TH EDITION, APRIL, 2010.
-UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE IS PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.

PHOTO: 24_Hageman_Subdiv_01_U.S. Highway 310 & 12 - U.S. City - BROWARD COUNTY PRODUCTION - 2019/08/05 - 24_GROWING_FUTURE - 018 - 8/13/2021 10:59:09 AM - 09/11



LANDSCAPE PLAN

LEGEND

- LIMIT OF WORK
- LANDSCAPE EDGING
- EXISTING DECIDUOUS TREE
- EXISTING CONIFEROUS TREE

GENERAL NOTES

1. THE CONTRACTOR SHALL OBTAIN, AT THEIR OWN EXPENSE, APPLICABLE LICENSES, STANDARDS, PERMITS, ETC. WHICH ARE NECESSARY TO PERFORM THE WORK.
2. THE CONTRACTOR SHALL LOCATE, CLEARLY MARK AND MAINTAIN EXISTING UTILITIES ON THE SITE PRIOR TO WORK START UP. CALL FOR UTILITY LOCATES PRIOR TO COMMENCING WORK.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL UTILITIES AND REPAIR OF UTILITIES IF DAMAGED. REPAIR SHALL BE DONE AT NO ADDITIONAL COST TO THE OWNER.
4. ALL DIMENSIONS SHALL BE FIELD VERIFIED BY CONTRACTOR PRIOR TO CONSTRUCTION. ANY DEVIATION FROM THESE PLANS MUST BE APPROVED BY OWNER OR LANDSCAPE ARCHITECT PRIOR TO CONSTRUCTION.
5. LIMIT OF WORK IS AS INDICATED ON THE PLANS.
6. COORDINATE SITE ACCESS, STAGING, STORAGE AND CLEANOUT AREAS WITH OWNER'S REPRESENTATIVE.

PLANTING NOTES

1. THE CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL PLANT QUANTITIES. GRAPHIC QUANTITIES TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
2. ALL EXISTING GRASS STAND AREAS DISTURBED BY CONSTRUCTION OPERATIONS SHALL BE SOIL PREPARED AND SEEDED BY THE CONTRACTOR.
3. EXISTING TURF AREAS THAT ARE DISTURBED DURING CONSTRUCTION, ESTABLISHMENT AND THE MAINTENANCE PERIOD SHALL BE RESTORED WITH NEW SOD TO MATCH EXISTING TURF SPECIES.
4. ALL LANDSCAPE MATERIALS SHALL BE INSTALLED ACCORDING TO SOUND HORTICULTURAL PRACTICES AND AMERICAN NURSERY STANDARDS IN A MANNER DESIGNED TO ENCOURAGE QUICK ESTABLISHMENT AND HEALTHY GROWTH.
5. REPAIR DISTURBED AREAS BENEATH SHRUBS BY HAND.
6. REPAIR AND RESEED STAGING AREA.
7. CONTRACTOR SHALL COORDINATE IRRIGATION AND PLANTING WORK SUCH THAT INSTALLED IRRIGATION EQUIPMENT SHALL NOT CAUSE ADJUSTMENT OF PLANTING LOCATIONS CONTRARY TO THE PLANS. IF IRRIGATION EQUIPMENT IS INSTALLED IN LOCATIONS OBSTRUCTING THE INTENDED LOCATIONS OF THE PLANTINGS, NOTIFY THE LANDSCAPE ARCHITECT FOR CLARIFICATION.
8. THE CONTRACTOR SHALL WARRANTY ALL CONTRACTED WORK AND MATERIALS FOR A PERIOD OF ONE YEAR AFTER SUBSTANTIAL COMPLETION HAS BEEN ISSUED BY THE OWNER'S REPRESENTATIVE FOR THE ENTIRE PROJECT UNLESS OTHERWISE SPECIFIED IN THE CONTRACT DOCUMENTS OR SPECIFICATIONS.
9. PLANTING BEDS TO BE AMENDED WITH A MIN. 12" DEPTH TOP QUALITY TOPSOIL PRIOR TO PLANTING.
10. AREAS TO BE SEEDED OR SODDED TO BE AMENDED WITH A MIN. 4" DEPTH TOP QUALITY TOPSOIL PRIOR TO SEEDING OR SODDING.

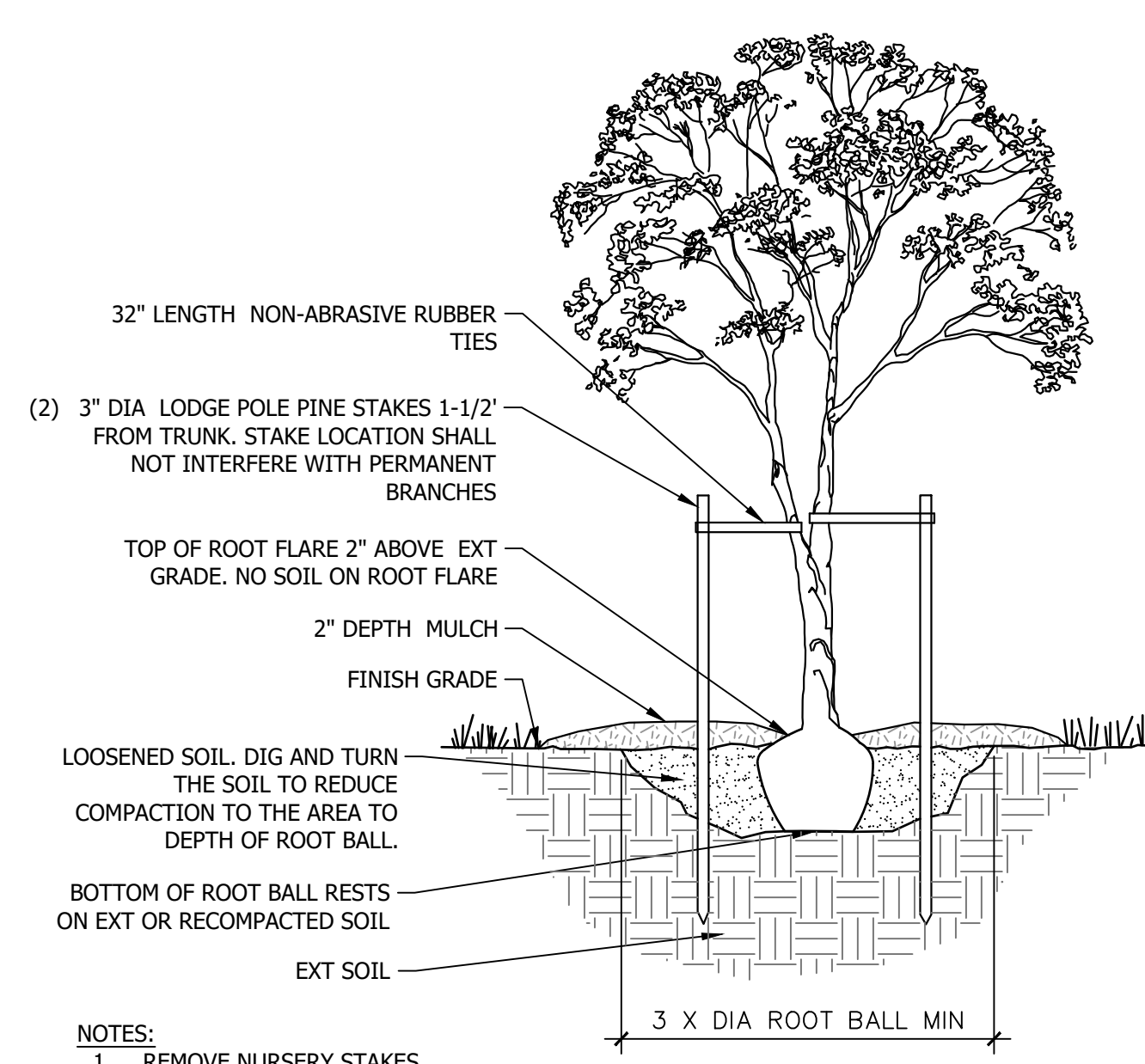
PLANT SCHEDULE

TREES	CODE	BOTANICAL / COMMON NAME	PLANTING SIZE	QTY
	CC	CRATAEGUS LAEVIGATA 'CRIMSON CLOUD' / CRIMSON CLOUD HAWTHORN	MIN. 1.5" CAL.	7
	GT	GLEDITSIA TRIACANTHOS 'INERMIS' 'SUNBURST' / SUNBURST HONEY LOCUST	MIN. 1.5" CAL.	10
	PC	PICEA PUNGENS / COLORADO SPRUCE	8 & B 5'-6" MIN. HT.	13
SHRUBS	CODE	BOTANICAL / COMMON NAME	PLANTING SIZE	QTY
	BT	BERBERIS X 'TARA' TM / EMERALD CAROUSEL BARBERRY	5 GAL.	20
	CB	COTONEASTER DAMMERI 'CORAL BEAUTY' / CORAL BEAUTY COTONEASTER	1 GAL.	110
	EC	EUONYMUS FORTUNEI 'COLORATUS' / COLORATUS PURPLE WINTERCREEPER	1 GAL.	52
	RG	RHUS AROMATICA 'GRO-LOW' / GRO-LOW FRAGRANT SUMAC	5 GAL.	16
	WA	WEIGELA FLORIDA 'ALEXANDRA' TM / WINE & ROSES WEIGELA	5 GAL.	20
GRASSES	CODE	BOTANICAL / COMMON NAME	PLANTING SIZE	QTY
	PC2	PANICUM VIRGATUM 'CHEYENNE SKY' / SWITCH GRASS	1 GAL.	80
	SS	SCHIZACHYRIUM SCOPARIUM 'STANDING OVATION' / STANDING OVATION LITTLE BLUESTEM	1 GAL.	78
	ST	SPOROBOLUS HETEROLEPIS 'TARA' / TARA PRAIRIE DROPSEED	1 GAL.	40
GROUND COVERS	BOTANICAL / COMMON NAME	QTY		
	SEEDING / MOWED LAWN MIX	5,025 SF		
SITE	BOTANICAL / COMMON NAME	QTY		
	ROCK MULCH CRUSHED ROCK 1" DIA OR SMALLER. 2" DEPTH.	2,227 SF		



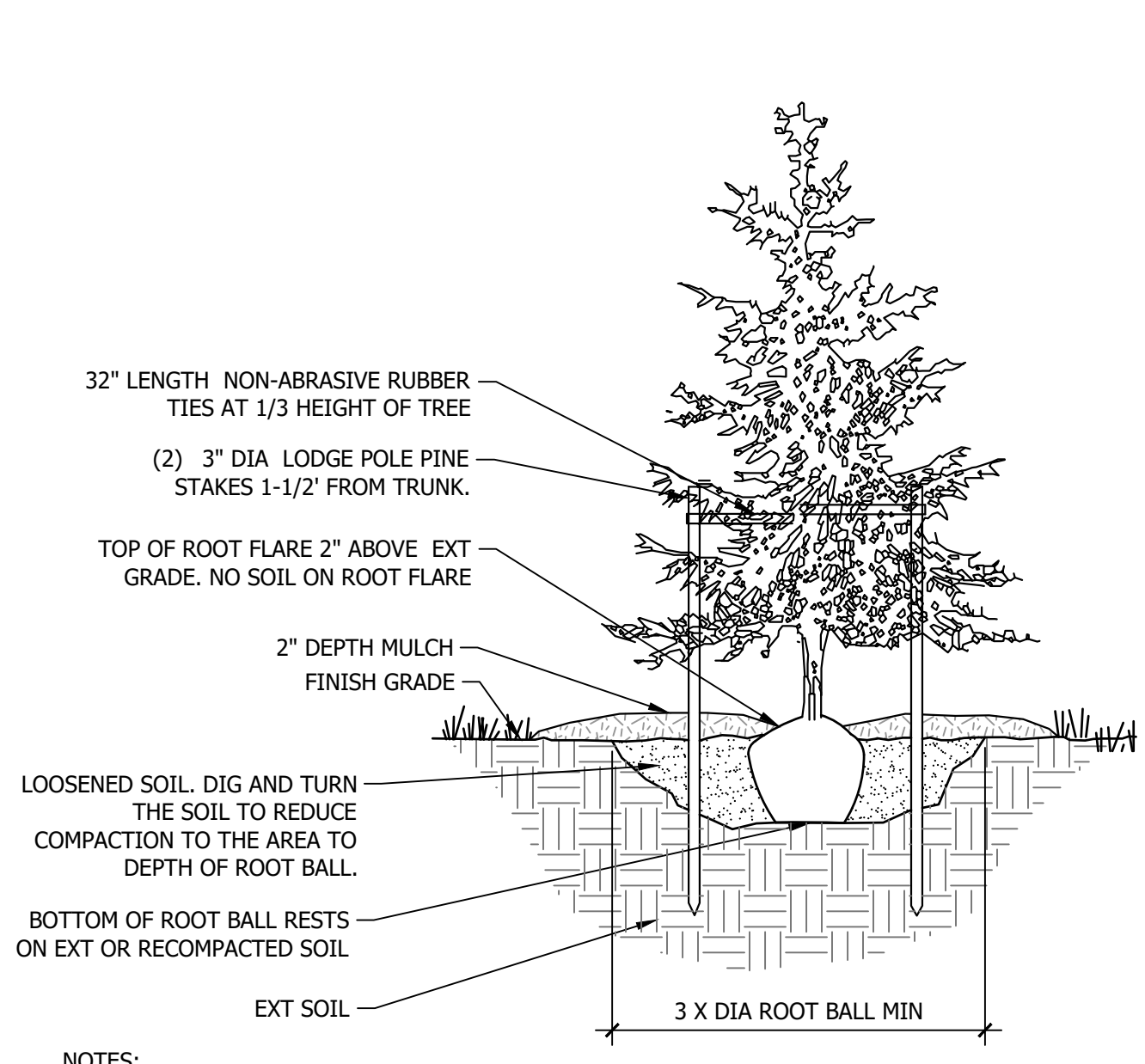
UULC
UTILITIES UNDERGROUND LOCATION CENTER
MONTANA ONE CALL
CALL BEFORE YOU DIG!
1-800-424-5555
www.Callbeforeyoudig.org

PHOTOS: 24_Highman_S&A; 28_U.S. City_BrewChen; CONSTRUCTION: 010514022; 24_U.S. City_BrewChen; LANDSCAPE: 10/2021 4:58:31 PM; 10/20/21 11:11



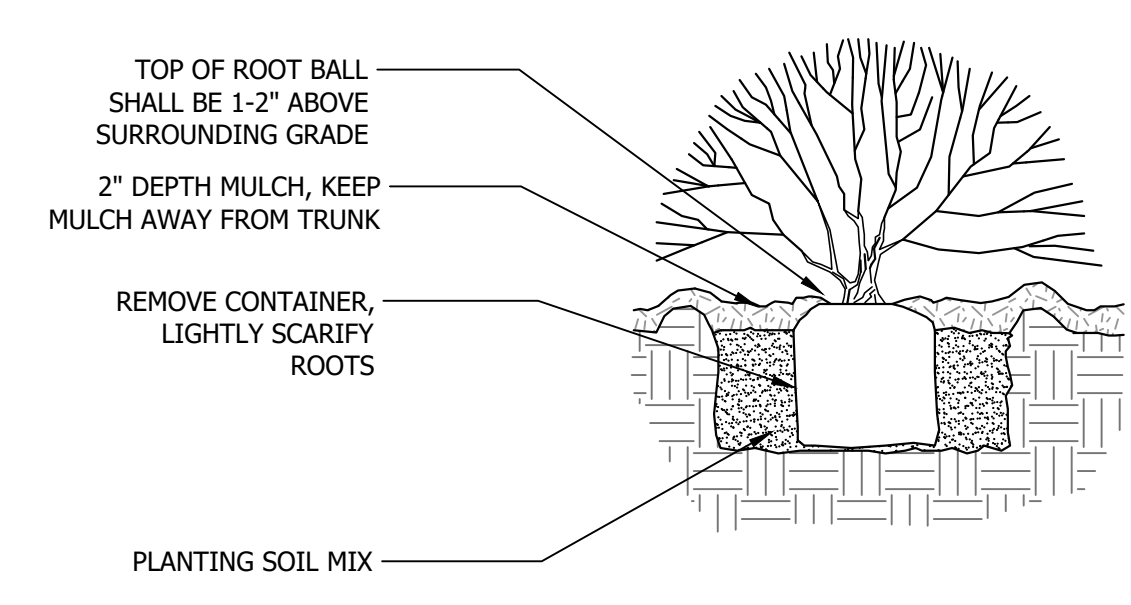
- NOTES:**
1. REMOVE NURSERY STAKES.
 2. PRUNE DEAD OR DAMAGED LIMBS IMMEDIATELY AFTER PLANTING.
 3. REMOVE WIRE TIES AND BURLAP FROM ROOT BALL.
 4. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING PIT HAS BEEN BACKFILLED, POUR WATER AROUND ROOT BALL TO SETTLE THE SOIL.
 5. BACKFILL WITH AMENDED SOIL.
 6. REMOVE STAKES FOLLOWING FIRST GROWING SEASON.
 7. SCARIFY SUBGRADE 12", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.
 8. PROVIDE SUPPLEMENTAL WATER FOR THE FIRST YEAR FOLLOWING INSTALLATION.

1 DECIDUOUS TREE
N.T.S.



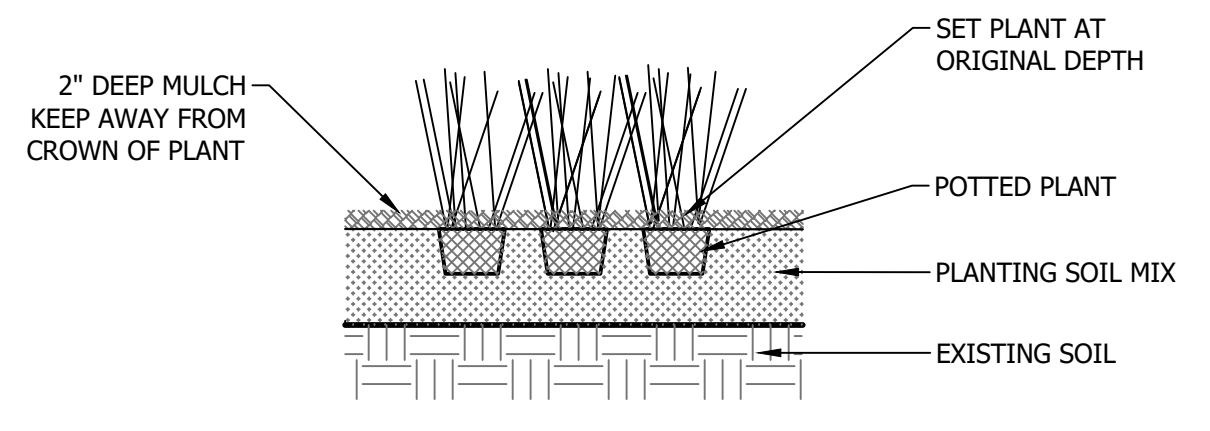
- NOTES:**
1. REMOVE NURSERY STAKES.
 2. PRUNE DEAD OR DAMAGED LIMBS IMMEDIATELY AFTER PLANTING.
 3. REMOVE WIRE TIES AND BURLAP FROM TOP 1/2 OF ROOT BALL.
 4. REMOVE ALL BASKETS.
 5. PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN PLANTING PIT HAS BEEN BACKFILLED, POUR WATER AROUND ROOT BALL TO SETTLE THE SOIL.
 6. BACKFILL WITH AMENDED SOIL.
 7. REMOVE STAKES FOLLOWING FIRST GROWING SEASON.
 8. PROVIDE SUPPLEMENTAL WATER FOR THE FIRST YEAR FOLLOWING INSTALLATION.

2 CONIFEROUS TREE
N.T.S.



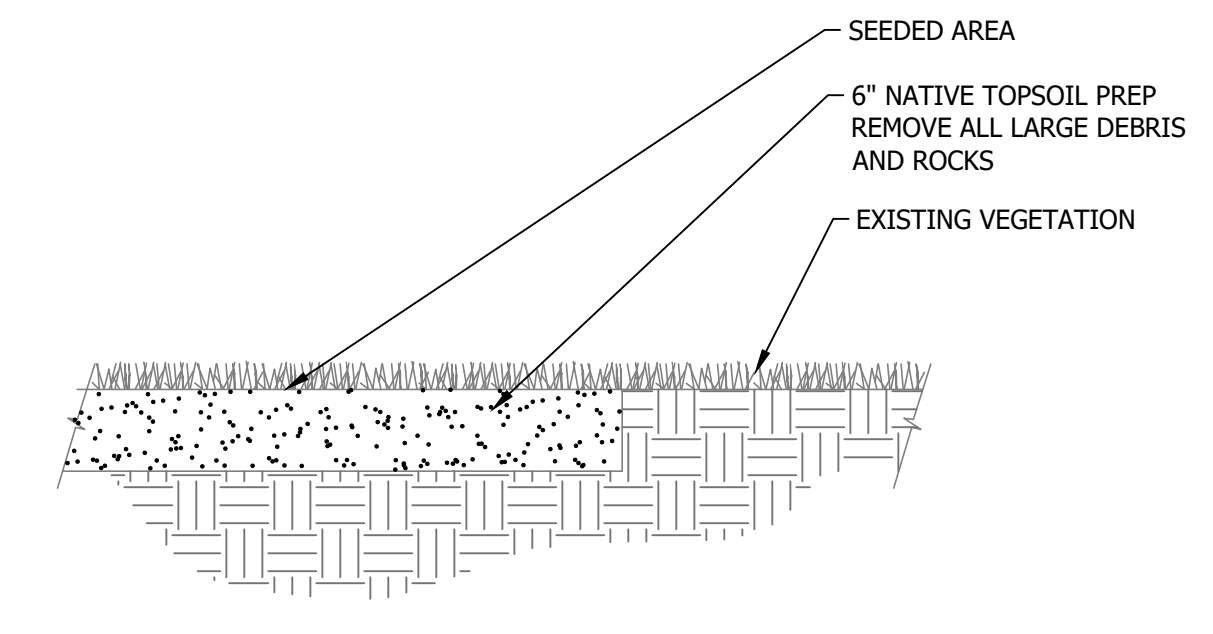
- NOTES:**
1. SHRUBS WITH BROKEN OR CRUMBLING ROOT BALLS WILL BE REJECTED. CONTAINER REMOVAL WILL NOT BE AN EXCUSE FOR DAMAGED ROOT BALLS.
 2. TOP OF MULCH TO BE 1" BELOW ADJ WALKWAY, CURB, EDGING, OR OTHER SURFACE.
 3. PRUNE OUT ALL DAMAGED OR DEAD WOOD.
 4. ALL PLANT MATERIAL TO BE INSPECTED UPON DELIVERY. REJECTED MATERIALS TO BE IMMEDIATELY RETURNED TO SOURCE.
 5. SCARIFY SUBGRADE 12", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.

3 SHRUB PLANTING
N.T.S.



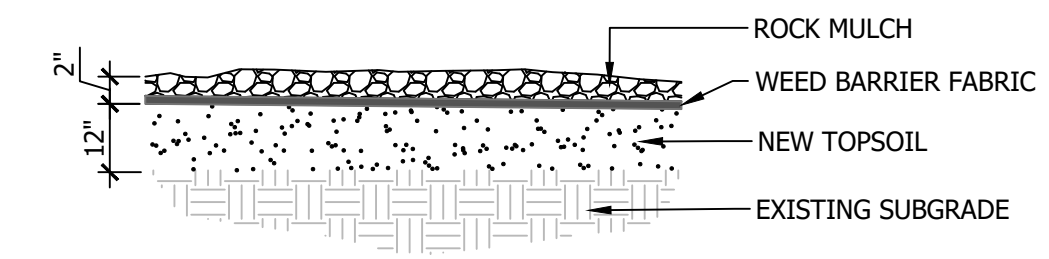
- NOTES:**
1. REMOVE SPENT FLOWERS PRIOR TO PLANTING.
 2. LOOSEN ROOT MASS AT BOTTOM OF ROOTBALL.
 3. STRIP TOP OF ROOTBALL 1/4" OF SURFACE GROWING MEDIA AND COVER WITH 1/4" PLANTING MIX PLUS SURFACE MULCH.
 4. QUANTITY AND SPACING AS NOTED IN PLANT SCHEDULE.

4 PERENNIAL/GRASS/GROUNDCOVER PLANTING
N.T.S.

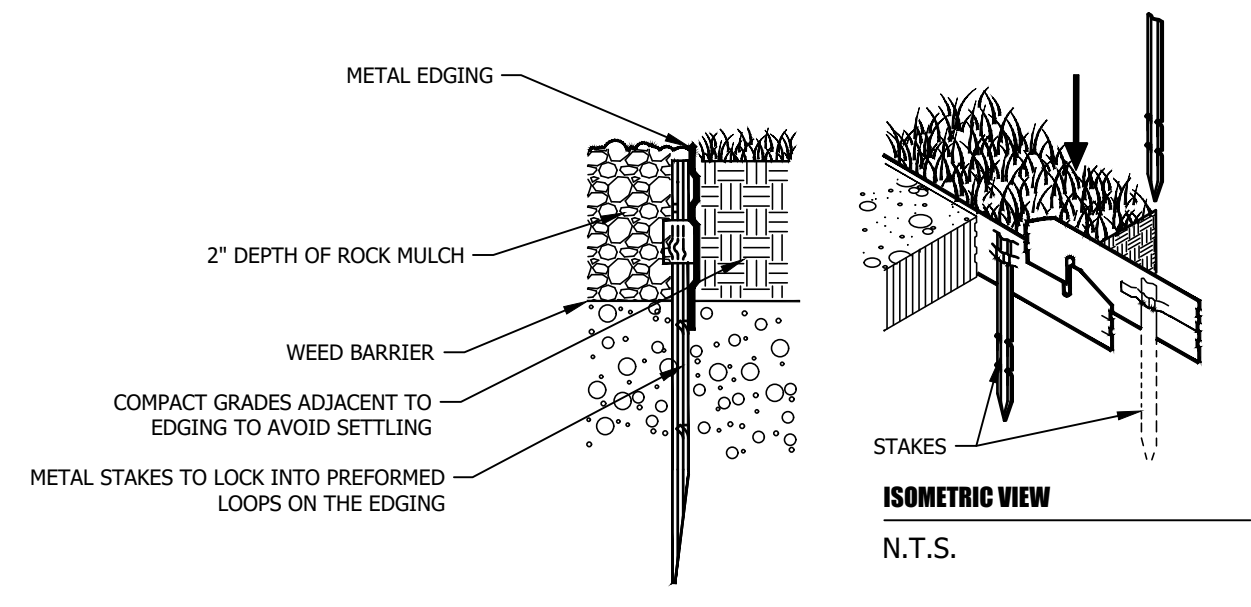


- NOTE:**
1. SCARIFY SUBGRADE 6", RAKE SUBGRADE AND REMOVE ALL DEBRIS GREATER THAN 1/2" IN DIA. INCLUDING ROCKS, CONCRETE, ORGANIC DEBRIS, AND OR CONSTRUCTION DEBRIS.
 2. TOP SOIL SHALL BE 6" AND AMENDED WITH ORGANIC COMPOST.

5 SEEDING
N.T.S.



6 ROCK MULCH
N.T.S.



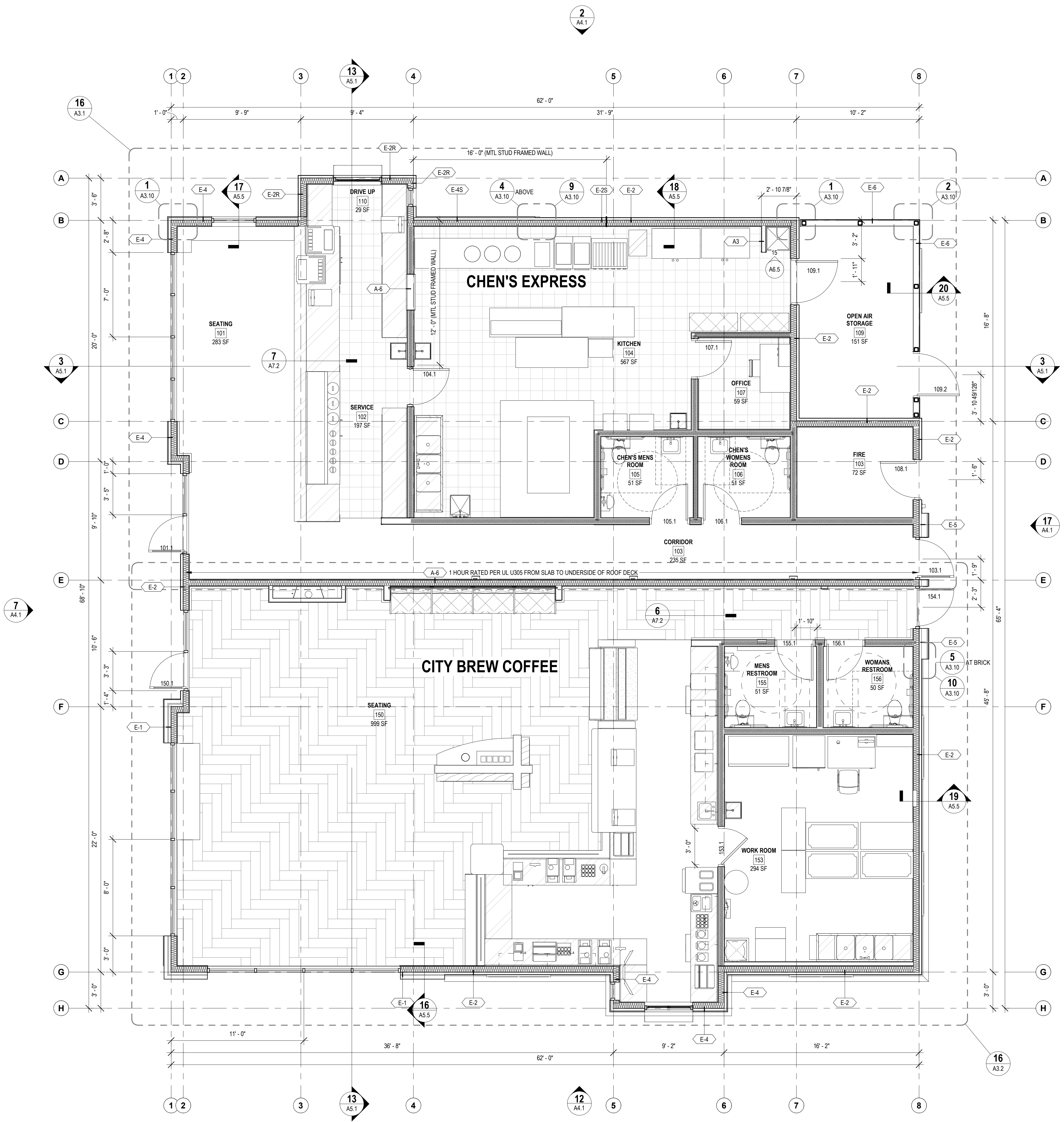
7 EDGING DETAIL
N.T.S.

project #	21017
revision	date

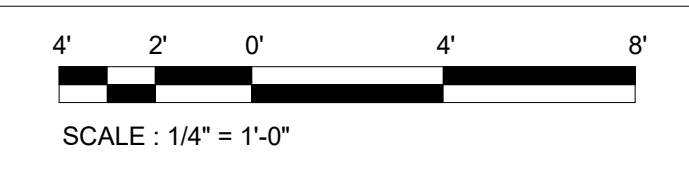
phase PERMITS AND CONSTRUCTION



P:\2020_24_Highway_Site_Plan_Landscaping\CONSTRUCTION_2020\2020_24_Landscaping\1102019_191919.dwg, 11/11/2019 9:59:59 AM, 11/11/2019 9:59:59 AM



13 LEVEL 1
 1/4" = 1'-0"



sheet LEVEL 1 FLOOR PLAN
 project LAUREL CITY BREW-CHEN'S EXPRESS
 owner STEVE ZABAWA

project # 21017
 revision date

phase PRICING AND PERMITS



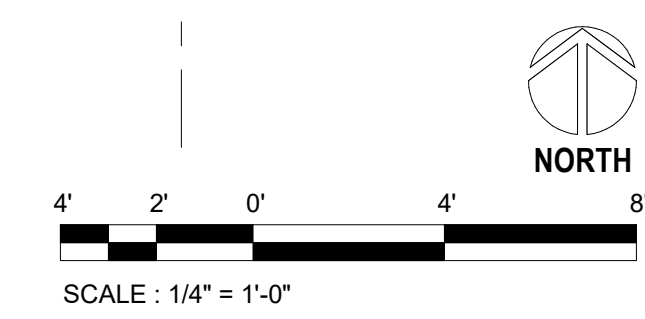
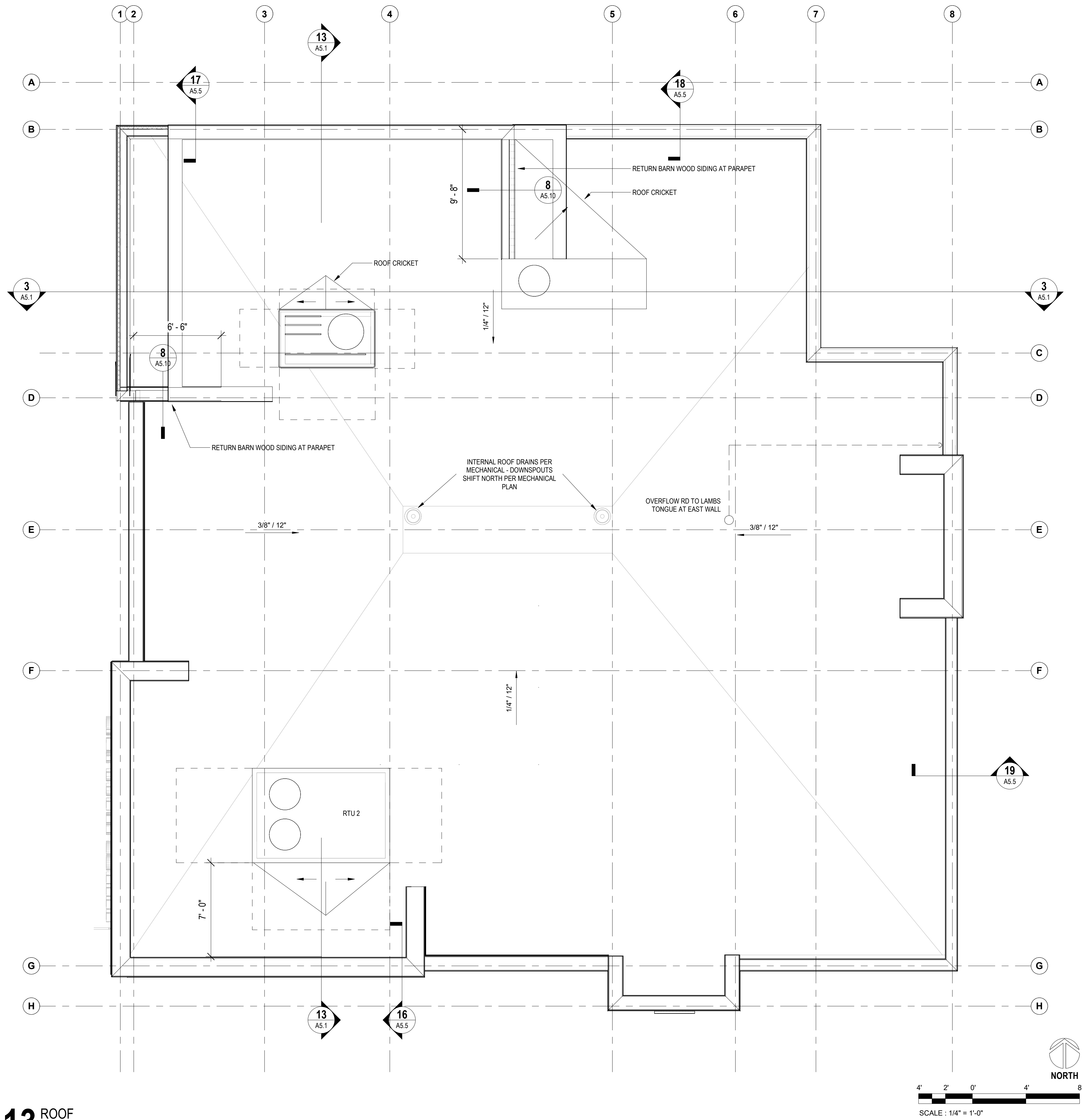
issue date 7.2.2021

A2.1

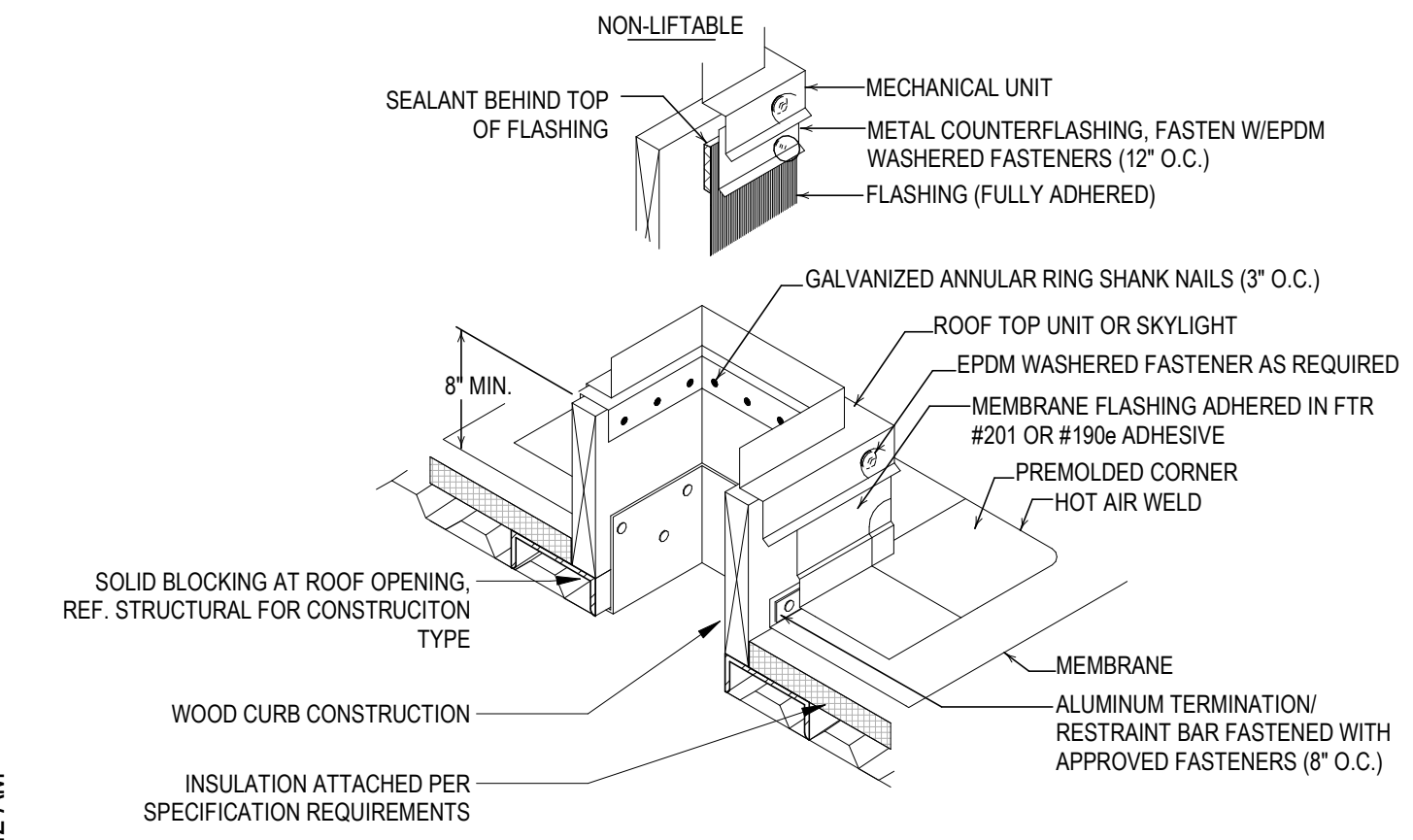
KEYNOTES

ROOF PLAN NOTES

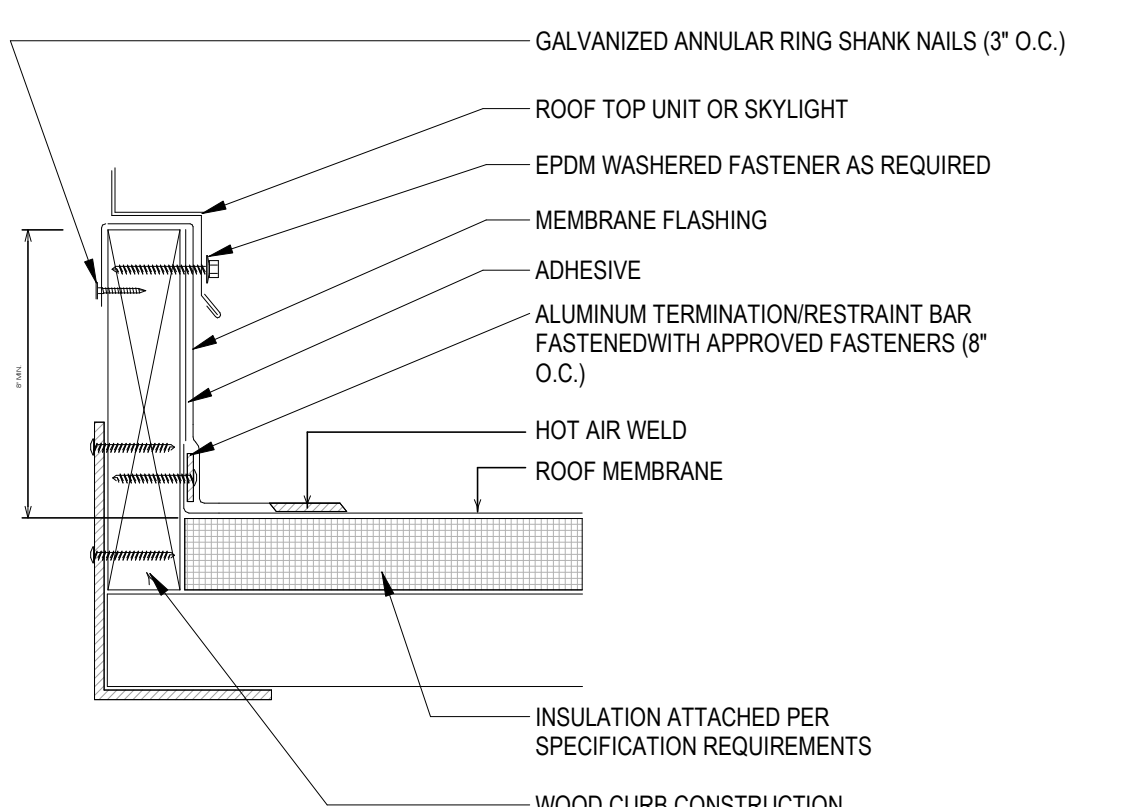
1. PROVIDE ROOF CRICKETS AT ALL UPSLOPE AREAS OF MECHANICAL EQUIPMENT, CURBS AND ROOF HATCHES.
2. CRICKETS TO SLOPE POSITIVELY 1/4" MINIMUM PER FOOT FROM HORIZONTAL PLANE.
3. MAINTAIN 1/8" PER FOOT MINIMUM FOR ALL CRICKET VALLEYS.
4. CRICKETS SHOWN ARE FOR REFERENCE ONLY; CONTRACTOR TO PROVIDE DETAILED LAYOUT PLAN FOR ARCHITECT'S REVIEW PRIOR TO INSTALLATION.
5. ROOF PENETRATIONS OF ANY KIND SHALL NOT BE LOCATED IN CRICKET VALLEYS.
6. IN ADDITION TO OPENING AND EQUIPMENT SHOWN ON THIS DRAWING, MECHANICAL AND ELECTRICAL DRAWINGS.
7. INDICATE ADDITIONAL ITEMS PENETRATING THE ROOF ASSEMBLY; PROVIDE APPROPRIATE FLASHING.
8. REFERENCE MECH DRAWINGS FOR VENT LOCATIONS, EQUIPMENT LOCATIONS, AND ADDITIONAL INFORMATION, TYP.



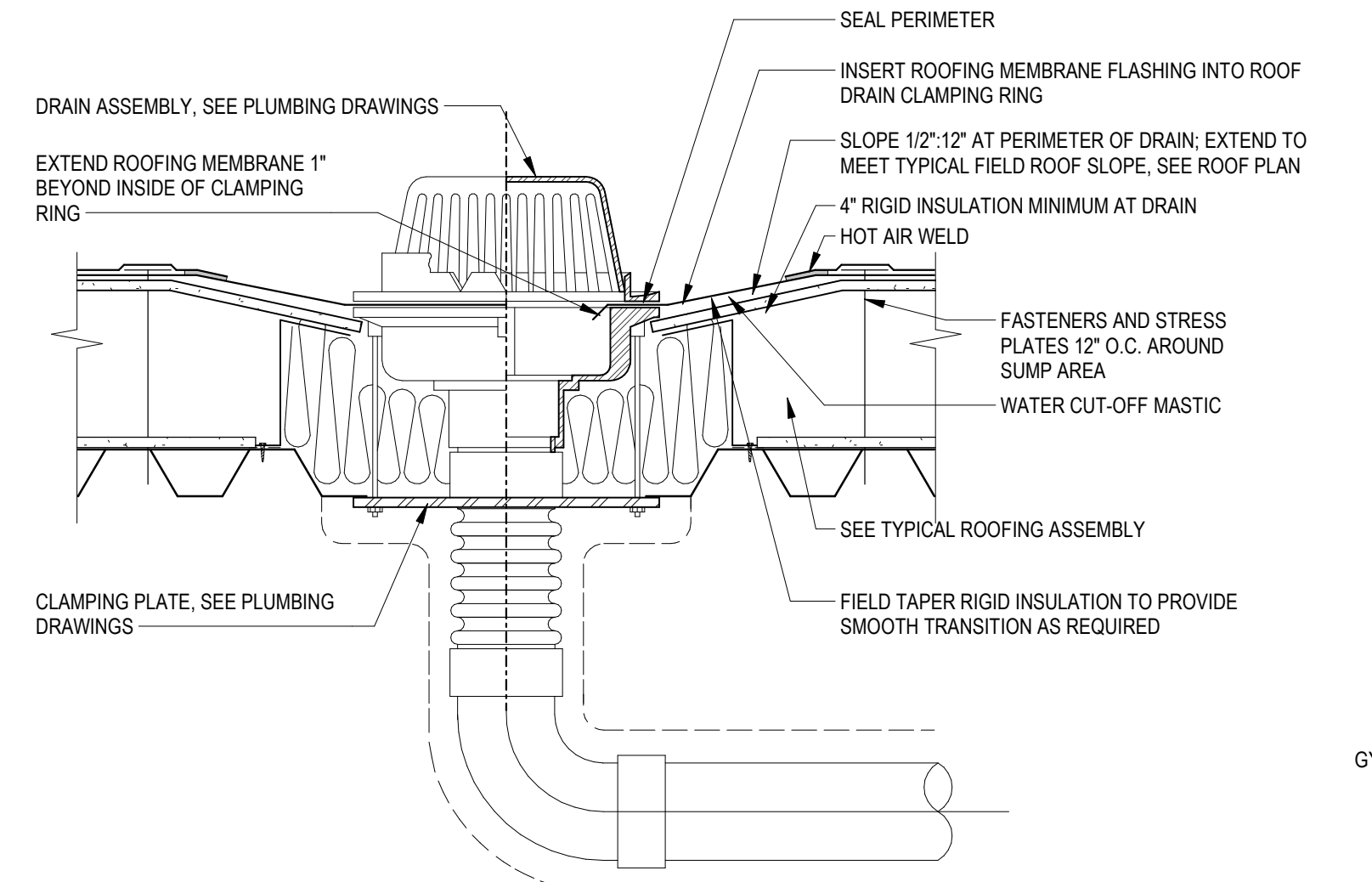
13 ROOF
1/4" = 1'-0"



16 ROOF CURB DETAIL
6" = 1'-0"

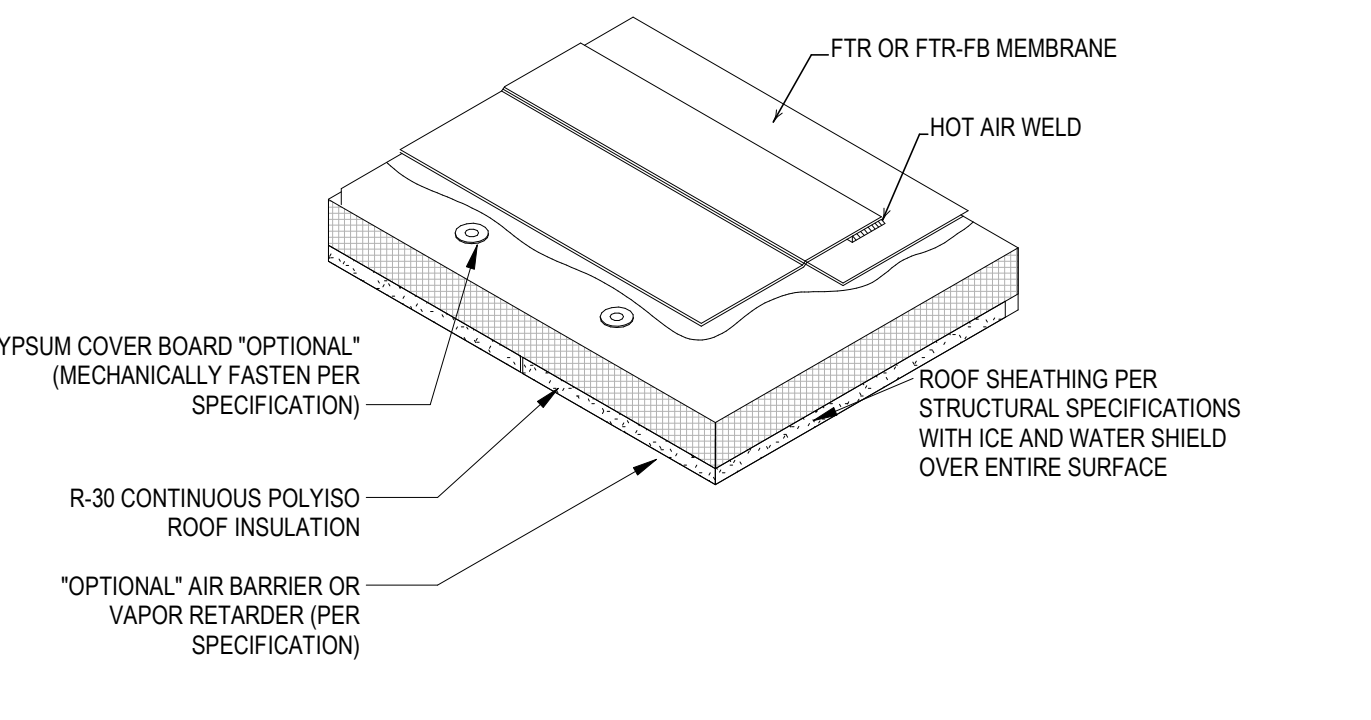


17 ROOF CURB DETAIL 2D
6" = 1'-0"



- NOTE:
1. USE 1/2" : 12" TAPERED ROOF INSULATION TO CREATE DEPRESSED AREA AROUND DRAINS.
 2. ALL BOLTS OR CLAMPS MUST BE IN PLACE TO PROVIDE CONSTANT COMPRESSION ON WATER CUT-OFF MASTIC.
 3. HOLE IN MEMBRANE MUST EXCEED SIZE OF DRAIN PIPE.
 4. DRAIN PERIMETER TO HAVE TWICE THE SLOPE AS FIELD ROOF SLOPE.
 5. CUT OF MEMBRANE TO EXTEND 1" MINIMUM FROM ATTACHMENT POINTS OF CLAMPING RING.

18 ROOF DRAIN ASSEMBLY DETAIL
1/8" = 1'-0"



19 ROOF MEMBRANE AXON DETAIL
6" = 1'-0"

sheet **ROOF PLAN**
project **LAUREL CITY BREW-CHEN'S EXPRESS**
owner **STEVE ZABAWA**

project # **21017**
revision _____ date _____

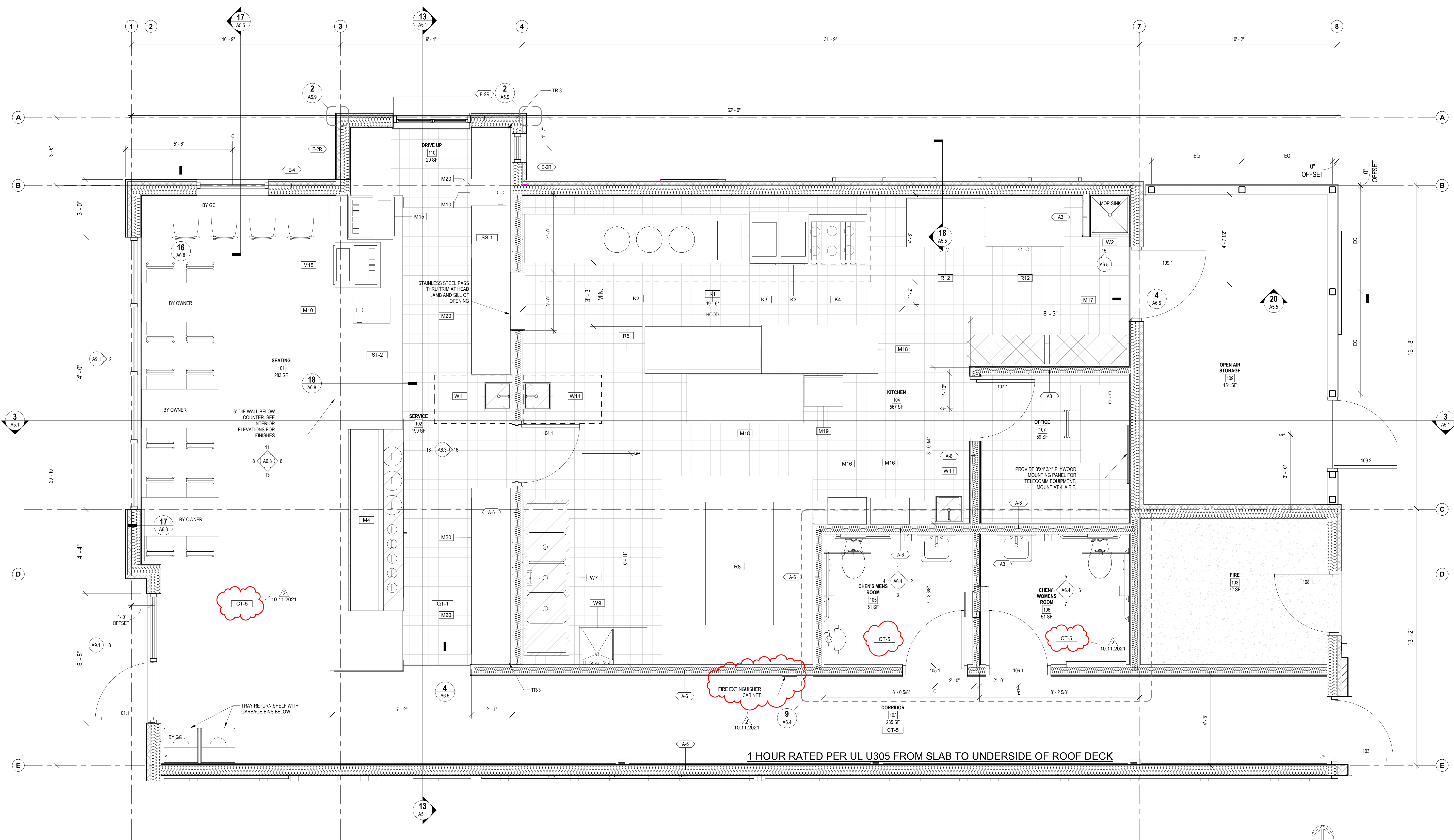
phase _____
PRICING AND PERMITS



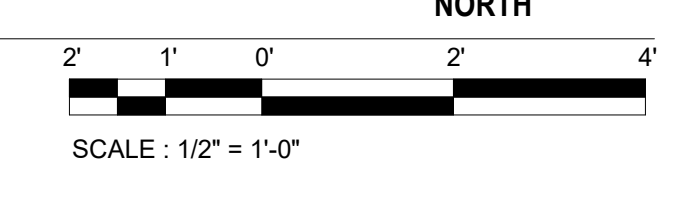
issue date **7.2.2021**

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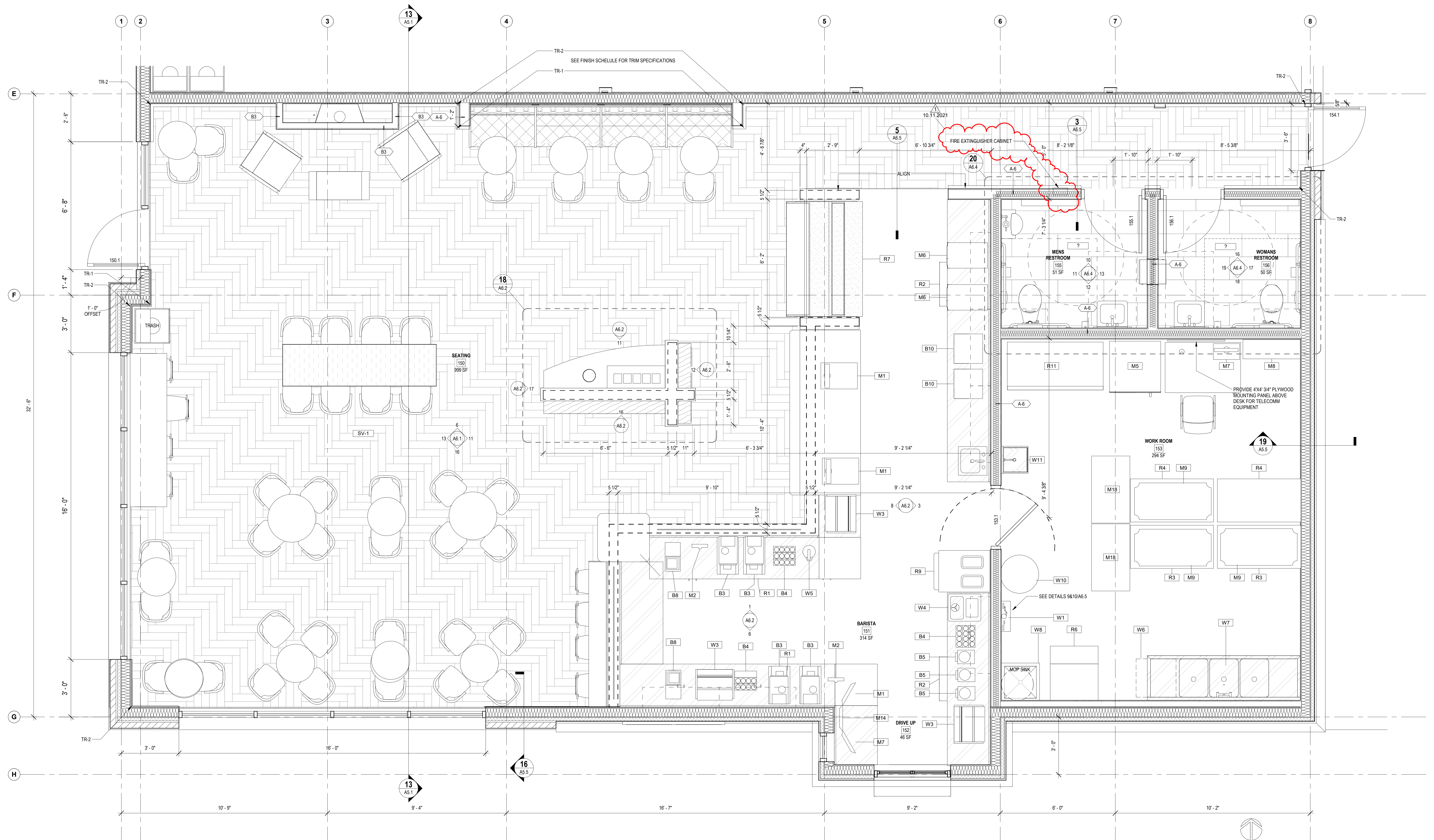
16 ENLARGED CHEN'S EXPRESS PLAN
1/2" = 1'-0"



SPECIALTY EQUIPMENT SCHEDULE CHEN'S EXPRESS								
Type Mark	Count	DESCRIPTION	MANUFACTURER AND MODEL	REMARKS	Comm ents	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
F-1	1		ACTVAR	STEEL MH1016				
K1	1	COMMERCIAL KITCHEN HOOD SYSTEM	HALIFAX		S	GC	GC	GC
K2	1	WORK	TOWN N-3-SS		S	T	GC	GC
K3	2	FRYER	AVANTCO FF300		S	T	GC	GC
K4	1	3 GRILL	COOKING PERFORMANCE GROUP S36-N		S	T	GC	GC
M4	1	STEAM TABLE	CUSTOM		S	GC	GC	GC
M10	2	POINT OF SALE (POS)	RADIENT SYSTEMS		S	T	T	GC
M15	2	SODA AND ICE BIN			S	T	GC	GC
M16	2	MICROWAVE	SOLWAVE MW1000D		S	T	T	GC
M17	2	ADJUSTABLE WIRE SHELVING UNITS			S	T	T	N/A
M18	2	STAINLESS STEEL WORK TABLE	REGENCY		S	T	T	N/A

SPECIALTY EQUIPMENT SCHEDULE CHEN'S EXPRESS								
Type Mark	Count	DESCRIPTION	MANUFACTURER AND MODEL	REMARKS	Comm ents	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
M19	1	2' WORK TABLE PREP	REGENCY		S	T	T	N/A
M20	4	STAINLESS STEEL SLIDING DOOR CABINET	REGENCY		S	T	GC	N/A
R5	1	3 DOOR STAINLESS STEEL REFRIGERATED TABLE	AVANTCO		S	GC	GC	GC
R8	1	INDOOR WALK IN COOLER	KOLPAK QST-0810-CT		S	GC	GC	GC
R10	1	ICE MACHINE AND BIN			S	T	GC	GC
R12	2	A 35F SOLID REACH IN FREEZER	AVANTCO		S	GC	GC	GC
W7	1	3 COMPARTMENT STAINLESS STEEL SINK	CUSTOM WITH TWO TABCO K-53 12" SWING		S	T	GC	GC
W9	1	FOOD SINK			S	T	GC	GC
W11	3	HAND WASHING SINK			S	T	GC	GC

CHEN'S ROOM FINISH SCHEDULE								
ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST	WALLS BASE	CEILING FINISH
101	SEATING	PT-2	P-5	P-5	CT-4	P-5	RUBBER	P-8*
102	SERVICE	QT-1	N/A	N/A	CT-4	N/A	QT COVE BASE	ACT-1
103	CORRIDOR	PT-2	P-5	P-5	N/A	N/A	N/A	P-8*
103	FIRE	CONC-1	INTP-1	INTP-1	INTP-1	INTP-1	N/A	SFRM-1
104	KITCHEN	QT-1	WRGB/FRP	WRGB/FRP	WRGB/FRP	WRGB/FRP	QT COVE BASE	ACT-2
105	CHEN'S MENS ROOM	PT-2	CT-SIP-7	CT-SIP-7	CT-SIP-7	CT-SIP-7	RUBBER	
106	CHEN'S WOMENS ROOM	PT-2	CT-SIP-7	CT-SIP-7	CT-SIP-7	CT-SIP-7	RUBBER	
107	OFFICE	QT-1	P-6	P-6	P-6	P-6	RUBBER	
109	OPEN AIR STORAGE	CONC-2	GWB	GWB	GWB	CMU-1	N/A	
110	DRIVE UP	QT-1	P-5	N/A	P-5	P-5		



16 ENLARGED CITY BREW PLAN
1/2" = 1'-0"

sheet ENLARGED CITY BREW PLAN
project **LAUREL CITY BREW-CHEN'S EXPRESS**
owner STEVE ZABAVIA

project # **21017**
revision date
1 10.11.2021

phase
PRICING AND PERMITS

SPECIALTY EQUIPMENT SCHEDULE CITY BREW

Type Mark	Count	DESCRIPTION	MANUFACTURER	REMARKS	Comments	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
B3	4	ESPRESSO MACHINE	FRANKE S700		B	T	T	GC
B4	3	TIERED SYRUP BOTTLE RACK	CUSTOM	CUSTOM FABRICATION BY TENANTS CABINET SHOP	B	T	T	-
B5	3	ON-COUNTER BLENDER	VITAMIX QUIET ONE 36019		B	T	T	GC
B6	2	SINGLE BREWER WITH SERVER STAND	BUNN 27950.0006/27925.0000		B	T	T	GC
B10	2	DOUBLE BREWER WITH SERVER STAND	BUNN 33650.0006/27872.0000		B	T	T	GC
F-1	1		ACTIVAR	STEEL MH1016				
M1	3	POINT OF SALE (POS)	TOAST		B	T	T	T
M2	2	KITCHEN DISPLAY	TOAST		B	T	T	T
M5	1	ELECTRIC OVEN ON STAND	VULCAN ECO2D		B	T	T	GC
M6	2	TURBOCHEF MICROWAVE OVEN	THE SOTA DOC-1204		B	T	T	GC
M7	2	DIGITAL WIRELESS COMMUNICATION SYSTEM	3M		B	T	T	T
M8	1	METAL LOCKERS	CUSTOM		B	T	T	-
M9	4	WIRE SHELVING ABOVE REFRIGERATION UNITS	CUSTOM		B	T	T	-
M13	1	RECESSED FIRE EXTINGUISHER	AMBASSADOR		B	GC	GC	GC
M14	1	MONITOR	TOAST		B	T	T	T
M18	2	STAINLESS STEEL WORK TABLE	REGENCY		B	T	T	N/A

SPECIALTY EQUIPMENT SCHEDULE CITY BREW

Type Mark	Count	DESCRIPTION	MANUFACTURER	REMARKS	Comments	PROVIDED BY	INSTALLED BY	ELECTRICAL / PLUMBING HOOK UP BY
R1	2	LOW PROFILE UNDER COUNTER REFRIGERATOR 48"	TRUE TUC-48-LP	2 DOOR	B	T	T	GC
R2	2	LOW PROFILE UNDER COUNTER REFRIGERATOR 27"	TRUE TUC-27-LP	2 DOOR	B	T	T	GC
R3	2	G-SERIES REACH-IN FREEZER	TRULSEN G22010		B	T	T	GC
R4	2	G-SERIES REACH-IN REFRIGERATOR	TRULSEN G20010		B	T	T	GC
R6	1	AIR COOLER ICE MAKER ON STORAGE BIN	MANITOWOC 71-05044		B	T	T	GC
R7	1	REFRIGERATED DISPLAY	REVAL NR231R8SSV		B	T	T	GC
R9	1	FROZEN UNCARBONATED BEVERAGE FREEZER	TAYLOR 342		B	T	T	GC
R11	1	REFRIGERATOR	TRUE TWT-60		B	T	T	GC
W1	1	ROS REVERSE OSMOSIS SYSTEM	3M TRF950		B	T	T	GC
W3	3	DROP IN ICE CHEST	PERLICK 7600A36	CUSTOM INSULATED ICE BIN INTEGRAL WITH SS, TOP BY NSF SHOP	B	T	T	-
W4	1	RINSE & MATIC AND SINK	VITAMIX		B	T	GC	GC
W5	1	H2O FILLER	T&S BRASS	PIPE OUTLETS TO FLOOR SINK	B	T	GC	GC
W6	1	DISHWASHER	CMA DISHWASHERS 180UC		B	T	GC	GC
W7	1	3 COMPARTMENT STAINLESS STEEL SINK	CUSTOM WITH TWO TABCO K-53 12" SWING		B	T	GC	GC
W8	1	MOP SINK WITH HANGER AND WATER HEATER SHELF	FIAT PRODUCTS		B	GC	GC	GC
W10	1	REVERSE OSMOSIS TANK	3M 55984-09	TANK PROVIDED BY TENANT & INSTALLED BY GC STRAP TANK TO WALL TO MEET SEISMIC REQUIREMENTS	B	T	T	GC
W11	1	HAND WASHING SINK			B	T	GC	GC

CITY BREW ROOM FINISH SCHEDULE

ROOM NUMBER	ROOM NAME	FLOOR FINISH	WALLS				WALLS BASE	CEILING FINISH
			WALL NORTH	WALL SOUTH	WALL EAST	WALL WEST		
150	SEATING	SV-1	P-1	P-1	P-1	N/A	P-6	
151	BARISTA	RTF-1	N/A	N/A	CT-1	N/A	ACT-1	
152	DRIVE UP	RTF-1	N/A	CT-1	CT-1	CT-1	RUBBER APC-1	
153	WORK ROOM	RTF-1	P-4	P-4	P-4	P-4	RUBBER ACT-1	
154	CORRIDOR	SV-1	P-1	P-1	P-1	P-1	N/A P-4	
155	MENS RESTROOM	PT-1	CT-2P-3	CT-2P-3	CT-2P-3	CT-2P-3	RUBBER APC-1	
156	WOMANS RESTROOM	PT-1	CT-2P-3	CT-2P-3	CT-2P-3	CT-2P-3	RUBBER APC-1	

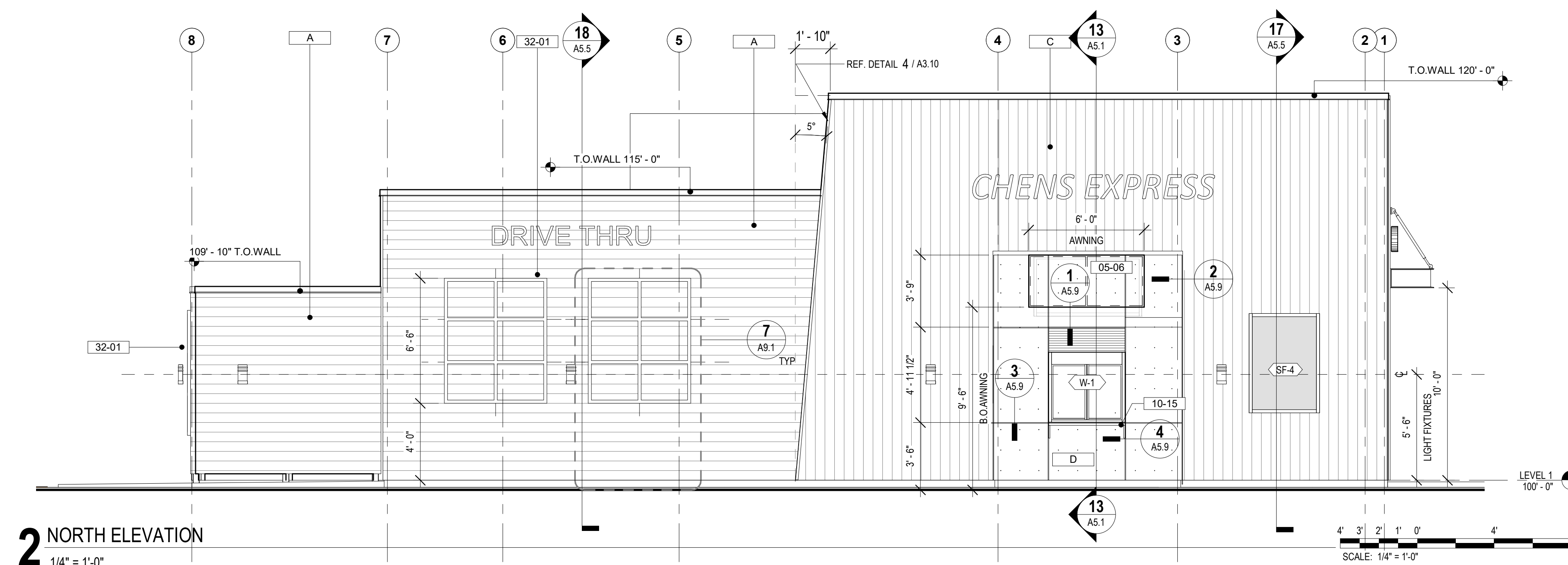


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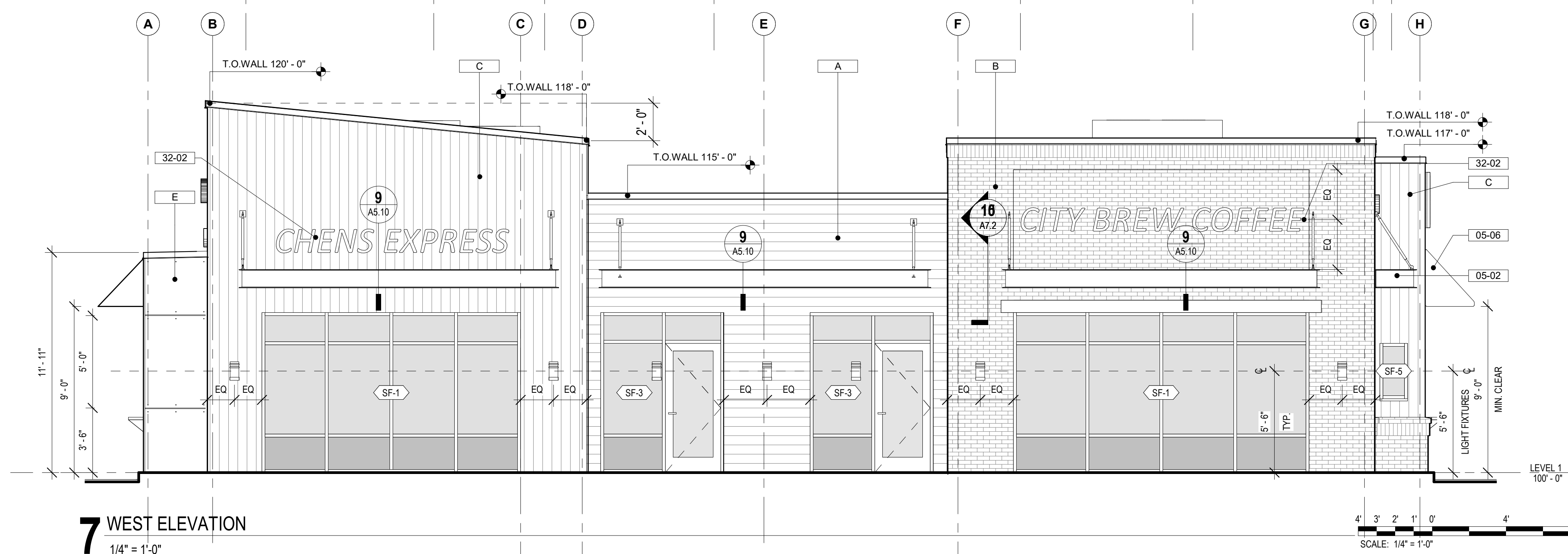
- A WOODSIDING HORIZONTAL DARK GREY HARDIEPLANK LAP SIDING
- B BRICK GENERAL SHALE, MODULAR BRICK MESQUITE, RUNNING BOND W/SOLDIER COURSE AT PARAPETS & WINDOW HEADS
- C VERTICAL CEDAR T&G SIDING WITH V-GROOVE
- D SMOOTH HARDIPANEL WITH EXPOSED PAINTED FASTENERS. SEE ELEVATIONS FOR HARDI REVEAL SYSTEM PATTERN. COLOR 1 (B.O.D. RED) TBD BY ARCHITECT
- E SMOOTH HARDIPANEL WITH EXPOSED PAINTED FASTENERS. SEE ELEVATIONS FOR HARDI REVEAL SYSTEM PATTERN. COLOR 2 (B.O.D. BLACK) TBD BY ARCHITECT

KEYNOTES

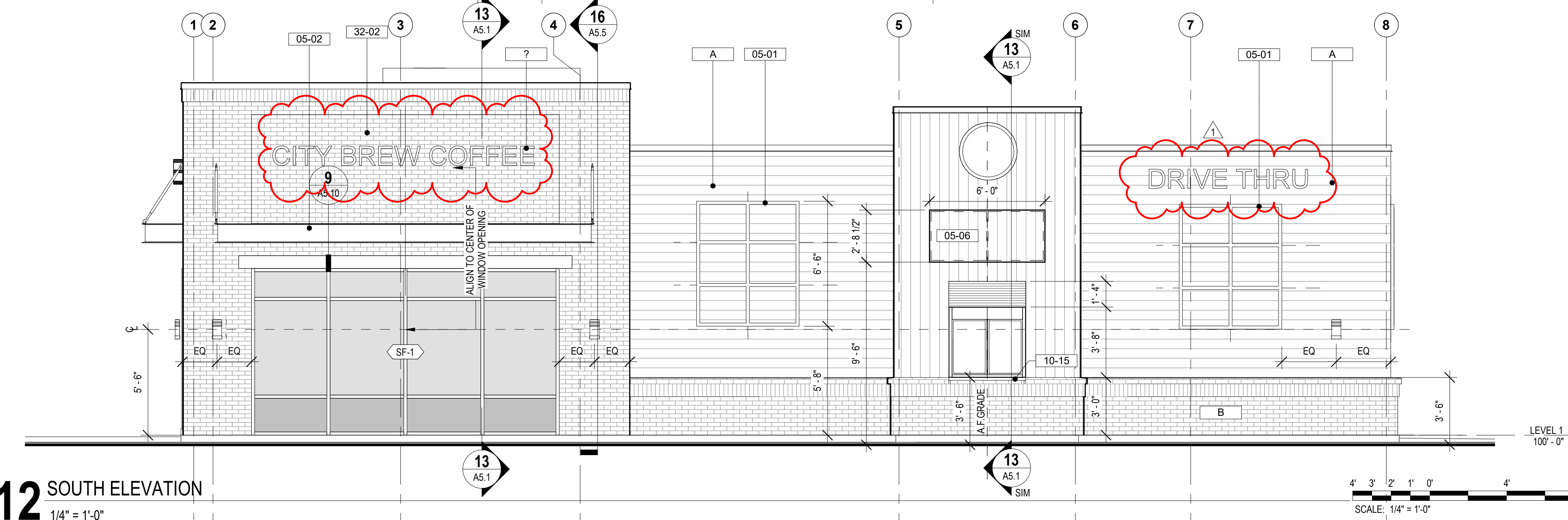
- 05-01 TUBE STEEL FRAME SURFACE APPLIED TO EXTERIOR WALL POWDER COAT FINISH
- 05-02 STEEL CANOPY WITH THE ROD SUPPORTS, REF STRUCTURAL
- 05-06 STEEL FRAMED WALL MOUNTED AWNING WITH CANVAS COVERING
- 07-01 LAMBS TONGUE OVERFLOW DRAIN THRU WALL SCUPPER
- 10-15 READY ACCESS STAINLESS STEEL SHELF MODEL 275
- 13-02 OWNER PROVIDED VINYL GRAPHIC
- 32-01 FAUX WINDOWS
- 32-02 TENANT PROVIDED EXTERIOR SIGNAGE. COORDINATE BLOCKING AND POWER WITH GC & ELECTRICAL CONTRACTOR



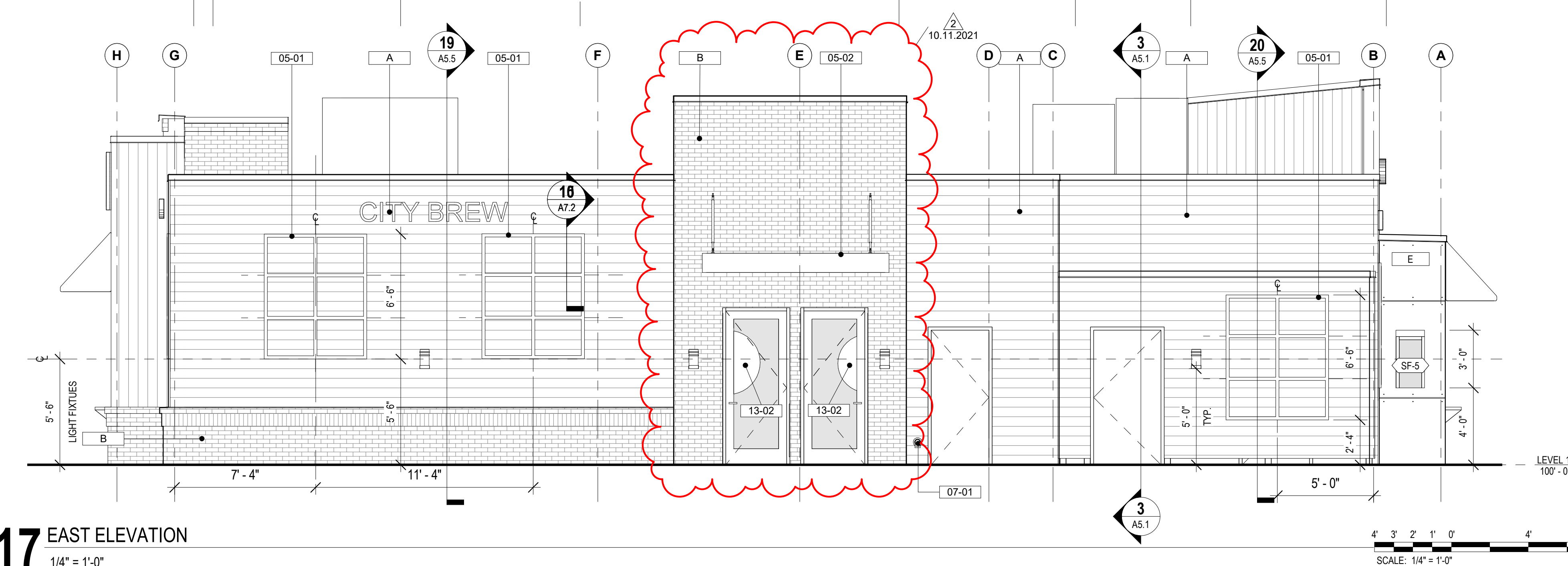
2 NORTH ELEVATION
1/4" = 1'-0"



7 WEST ELEVATION
1/4" = 1'-0"



12 SOUTH ELEVATION
1/4" = 1'-0"



17 EAST ELEVATION
1/4" = 1'-0"

sheet EXTERIOR ELEVATIONS
 project LAUREL CITY BREW-CHEN'S EXPRESS
 owner STEVE ZABAWA

project # 21017
 revision date
 2 10.11.2021

phase PRICING AND PERMITS



issue date
 7.2.2021

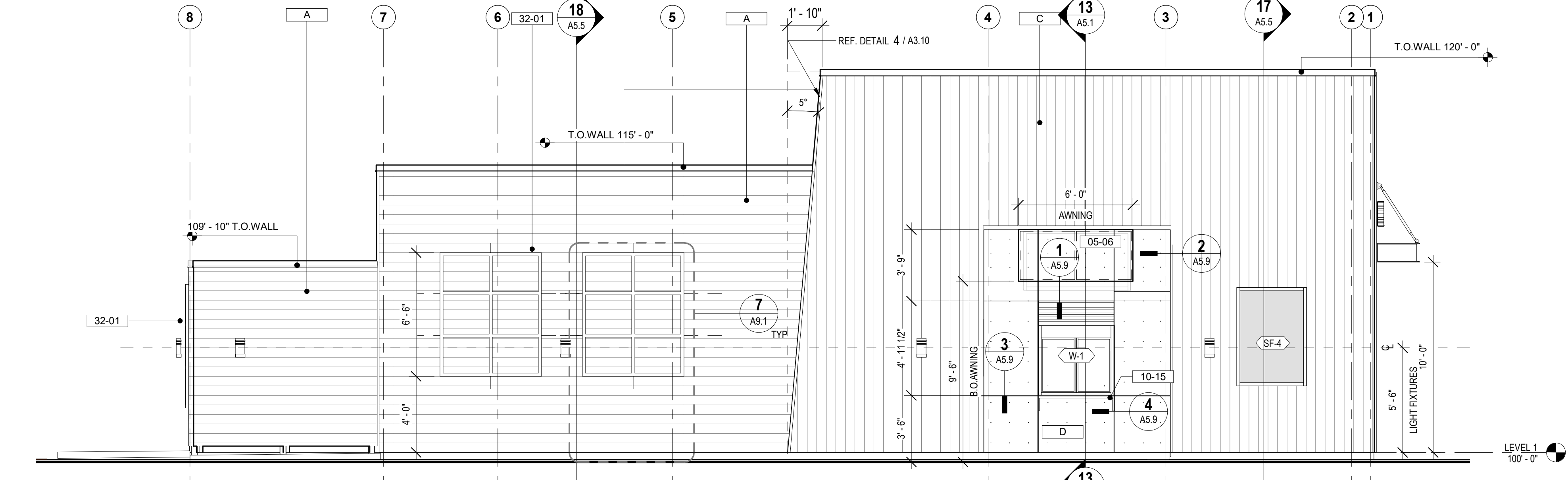
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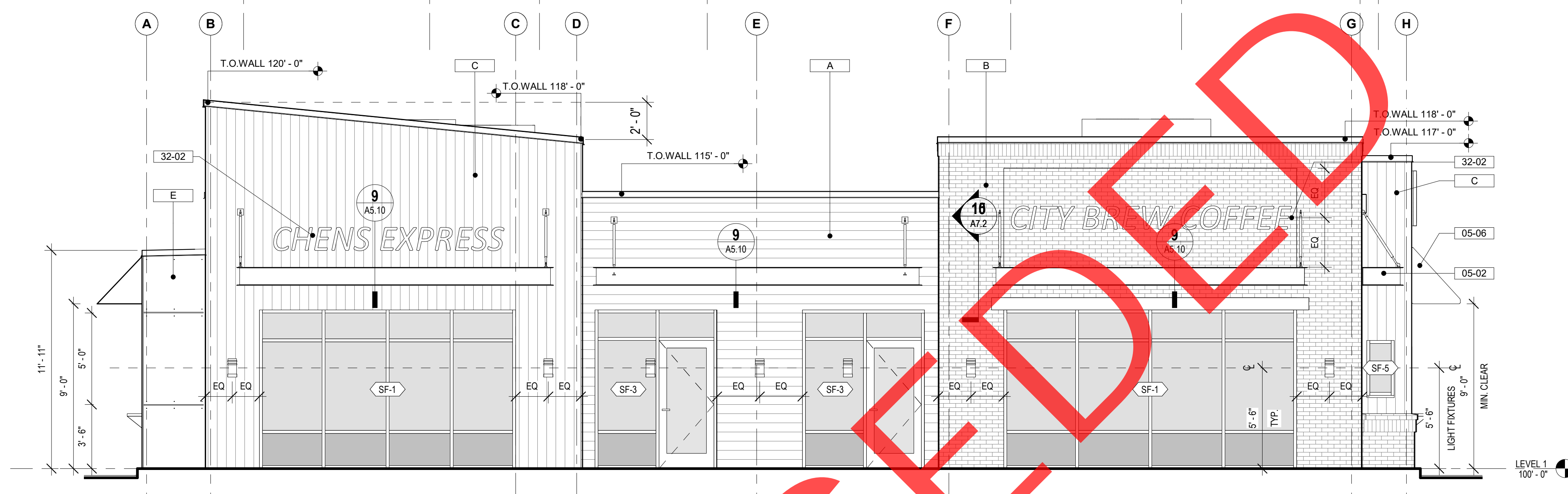
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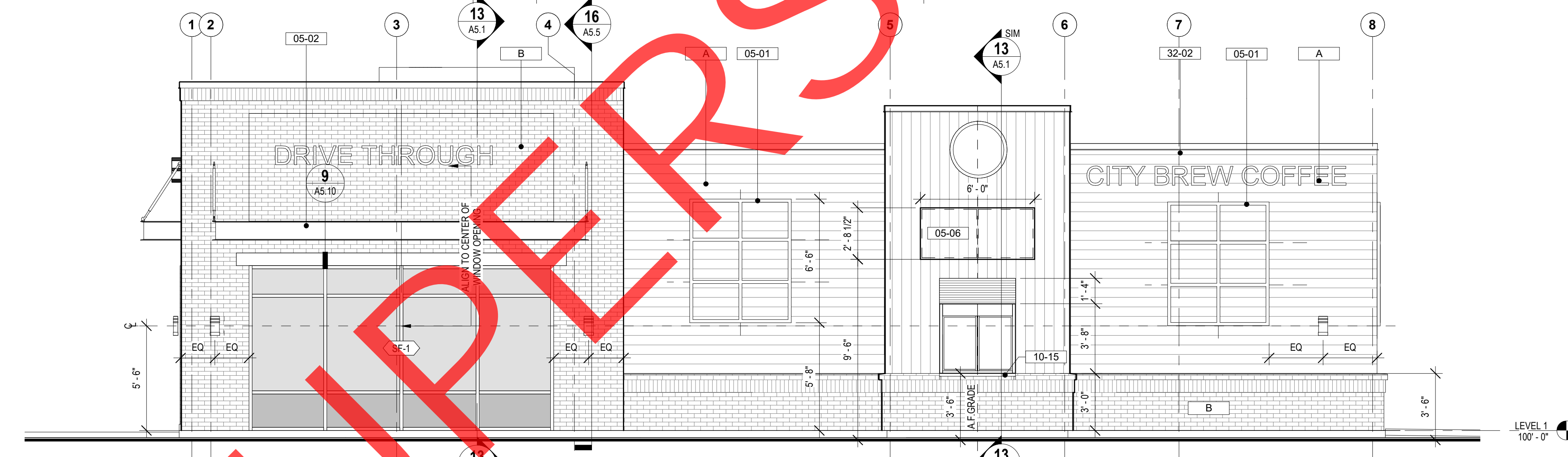
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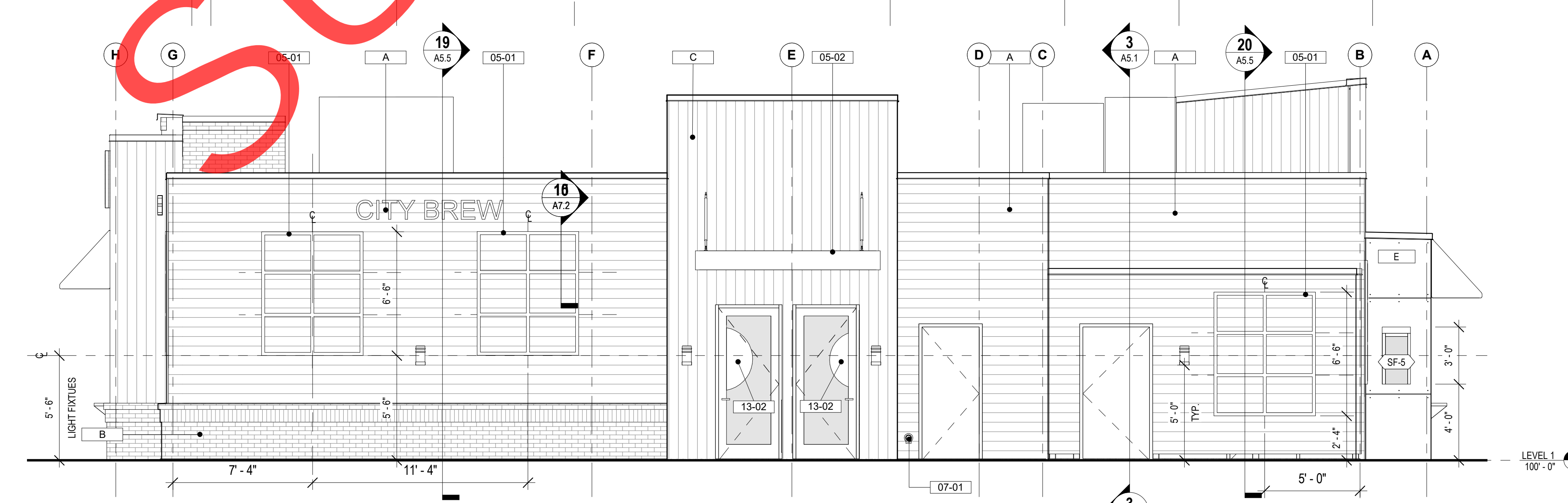
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