



**AGENDA
CITY OF LAUREL
CITY/COUNTY PLANNING BOARD
THURSDAY, JULY 28, 2022
5:30 PM
COUNCIL CHAMBERS**

Public Input: *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

General Items

1. Approve Minutes from June 15, 2022.

New Business

2. City Brew Sign Permit
3. T-Mobile Sign Permit
4. SCL Health Sign
5. Walmart Sign Permit
6. Your Pie Sign and Development

Old Business

Other Items

Announcements

7. Next meeting August 17, 2022.

The City makes reasonable accommodations for any known disability that may interfere with a person's ability to participate in this meeting. Persons needing accommodation must notify the City Clerk's Office to make needed arrangements. To make your request known, please call 406-628-7431, Ext. 2, or write to City Clerk, PO Box 10, Laurel, MT 59044, or present your request at City Hall, 115 West First Street, Laurel, Montana.

DATES TO REMEMBER

File Attachments for Item:

1. Approve Minutes from June 15, 2022.



**MINUTES
CITY OF LAUREL
CITY/COUNTY PLANNING BOARD
WEDNESDAY, JUNE 15, 2022
5:35 PM
CITY COUNCIL CHAMBERS**

Public Input: *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

1. Roll Call

The Chair called the meeting to order at: 5:50pm

Present:

Jon Klasna
Roger Giese
Evan Bruce
Dan Koch
Judy Goldsby
Kurt Markegard, Forrest Sanderson (City of Laurel)

Absent:

Gavin Williams
Ron Benner

Others

Scott Hooper
Gage Hull

General Items

2. Meeting Minutes: May 18th, 2022

Dan moved to accept the minutes of the May 18th, 2022, planning board meeting and John seconded the motion. All members voted aye.

New Business

3. Sign Permit Review; On Target Outdoors

Judy presented the application for sign permit and stated that all appeared to conform to the regulations. Evan questioned if there was signs on the building for the front and back. Judy answered that there were signs on both sides of the building. John asked if there was going to be exterior lighting on the signs and the applicant answered that there would be exterior lights on the building illuminating the signs. Evan moved to approve the On Target sign application and John seconded the motion. All members voted to approve the sign permit.

4. Beehive Minor Subdivision- lift agriculture restrictions

Judy introduced the subdivision application to the planning board and the lifting of the agriculture restrictions. Forrest informed the board that they should approve the subdivision with the five conditions as noted in the staff report. Forrest gave the background information on the property and the building of the storage units. Forrest told the board that the preliminary plat approve does not need a public hearing as it is the first minor subdivision of land. Forrest stated that as a first minor subdivision, park land dedication is also not required. Forrest asked for questions of the board. John asked Forrest how the storage units got built being on agricultural restrictions land. Forrest gave the board an explanation of how the property was identified as being in violation of the agriculture restrictions. A certificate of survey was submitted for an exempt boundary location and Forrest and Kurt identified the property as being agriculture restricted and the property was in violation of the agriculture restrictions. The applicant's agent Performance Engineering was informed, and they property owner is now going through the legal process to fix the issue. Forrest asked the board not to hold the violation against the property owner and to proceed with subdivision process.

Dan asked about fire protection and Forrest asked Taylor from Performance to answer that question.

Evan asked about affordable housing needs. Forrest indicated that the building of storage units is in alignment with affordable housing and the need to have storage units is needed to help affordable housing have locations to store items that will not fit at affordable housing locations.

Evan asked if it is in the flood plain and Forrest said it is not. Evan asked if the geotechnical plan been done. Forrest did not know if a geotechnical report had been completed before they built the storage units.

Taylor with Performance Engineering that lives at 608 North 29th Street in Billings Mt. Taylor gave a description of the property and their efforts to correct the violation. They DEQ has been contacted and they have gotten approval to move forward. The fire tank is not need as they are less than a three-lot subdivision and that is not needed for this subdivision.

Evan asked about the life span of the buildings. Taylor said 40 to 50 years if not longer.

Roger asked about the marijuana facility and Taylor said that the business is not on the subject property. In the future if they move the common boundary line that business's current lease would expire.

Judy asked if there was any further discussion and if not, she would accept a motion for approval. Roger moved to accept the preliminary plat of Beehive Subdivision and John seconded it. All board member voted to approve the motion.

5. Public Hearing for Lance Hull annexation and zoning of Laurel Residential Multiple Family (RMF).

Judy read the introduction of the application for annexation. Forrest gave the board the background information on the land and read the staff report and the annexation process. The annexation must be in the best interests of the city and must meet the standards for public infrastructure. The findings of facts meet or exceeds the standards of annexation. An annexation agreement needs to be drafted. The subject property is vacant, and the zoning needs to be R7500 or greater. The property is identified in the Laurel growth policy as a area of growth. The annexation must meet the twelve points test for initial zoning. The recommendation from staff does meet the twelve-point test and staff recommends the initial zoning of RMF. The annexation agreement must be approved by the city council at a future meeting.

Forrest asked that the only objection to the annexation be read into the record. Judy read into the record the email that Kurt received from Monna Rae Adickes, 102 8th Ave Unit B, Laurel MT 59044. That email is attached to these minutes.

Forrest answered some of the concerns of the letter from Ms Adickes. The property will be RMF and anything available in that zoning would be allowed. The property use is not what is to be discussed this evening and anything is possible in the RMF regulations.

Forrest also addressed the floodplain issue and the property itself is not in the floodplain.

John asked Forrest for clarification on the property location. Forrest indicated the location and Kurt pulled it up on the tv screens to help identify the location.

Evan asked about the area around the property and the street locations. Kurt informed the board that the utilities have been stubbed to the west of 8th avenue.

Gage Hull spoke for his father and informed the board of his knowledge of the plans for the project and annexation.

Judy opened the public hearing and asked for proponents three times. Judy asked for opponents three times. Seeing no further discussion, Judy closed the public hearing.

Judy asked for a motion to send the annexation and initial zoning of RMF to the Laurel City Council. Evan made the motion and John seconded it. All board members voted to send it to the City Council as a recommendation for approval.

Old business

There was none.

Announcements

Kurt informed the board about vacancies on the board.

Kurt gave an update on the planner vacancy.

Kurt also gave an update on the building official vacancy.

Kurt and Forrest also gave the board the attempt to change state law to allow more living units on residential property that are meant for single family homes.

6. Next Meeting: July 20th, 2022

7. Motion to Adjourn

Dan made a motion to adjourn the meeting and John seconded it. The vote to adjourn was unanimously approved. The meeting was adjourned at 7:00 pm.

From: monna.rae.adickes@gmail.com
To: [Kurt Markegard](#)
Subject: Lance Hull Annexation
Date: Sunday, June 12, 2022 2:53:15 PM

To Mr. Kurt Markegard, Director of Public Works and the Laurel Planning Board and Zoning Commission,

I am against the Annexation of this parcel of land to the City of Laurel.

I am in favor of the City of Laurel growing in manner in which serves the good of all Laurel residents.

For:

Laurel is growing and there is demand for affordable housing.

There is a high demand for entry level townhouses designated for the Senior population.

Against:

Developing land in a designated FEMA Flood Plain.

High-Density Housing: potential high crime and no place for the children to play.

Currently there are too many road approaches in such a short distance on 8th Ave, especially taking into consideration the traffic off of Old Highway 10

Questions that I have:

- Will 1st Street be the only access point to this project?
- Will there be a connection from 2nd Street also?
- Who will be responsible for the cost to extend 1st Street and all the infrastructure?
- **This area is in a FEMA Flood Zone.**
- What drainage has been considered for this parcel?
- What is the City's solution or proposal to eliminate the FEMA Flood Zone Classification from this area?
- How many units will be built on this 1-acre parcel?
- What type of housing will it be? Townhouses, condos, or mobile homes?
- Will the units be rentals, or will they be sold to individuals?
- If approved what will the zoning be?
- How will High Density zoning effect the value of neighboring properties?

Please place my name of record as being **AGAINST** the annexation of this parcel.

Monna Rae Adickes
102 8th Ave Unit B
Laurel MT 59044
406-860-4284

STAFF REPORT
LANCE HULL
Annexation and Initial Zoning

Applicant:

Lance Hull
1009 Davis Circle
Laurel MT 59044

The Mr. Hull represents 100% of the land ownership. Annexation pursuant to §7-2-4601 et. seq. MCA. (Annexation by Petition).

Request:

Mr. Hull, representing 100% of the ownership of lands involved, has Petitioned the City of Laurel for Annexation of approximately 1.0 acres of property adjacent to the City of Laurel with an initial Zoning Designation of Laurel Multi-Family (RMF) for concurrent review.

The subject property is generally described as that portion of Section 8, Township 2 South, Range 24 East, P.M.M., Yellowstone County, Montana, on Certificate of Survey No. 1642 amended Parcel A1, Less Herman Addition. An annexation Exhibit, which is incorporated into this report by reference, has been submitted in support of the Petition and Requested Initial Zoning.

Process:

The annexation petition and requested initial zoning has been scheduled for consideration and a public hearing by the Laurel – Yellowstone City County Planning Board and Zoning Commission for 5:35 p.m. on Wednesday, June 15, 2022. Though not yet scheduled the matter could be considered by the Laurel City Council at a Work Session on July 5 and taken up as an action item on July 12, 2022.

Analysis of the Request

- The Mr. Hull represents 100% of the land ownership involved in the petition.
- The Laurel Growth Policy designates the property as a ‘growth area’ of the city.
- The current use of the property is vacant.
- The requested zone City Laurel Multi-Family (RMF) provides for a variety of uses and is consistent with the requirements of R-08-22 that lands embraced by the city be assigned R-7500 or greater.
- The subject property currently is presumed to be zoned County Residential Tracts or is un-zoned Yellowstone County.
- Part 46 annexation requires that the land use designation be ‘consistent with the prevailing use of the property, consistent with the prevailing County Zoning Assignment, and/or consistent with the current growth policy’.

- In addition to the extension of urban scale services the City Zoning provides options for development that are not available to rural properties. These options include but are not limited to Planned Unit Developments
- The initial zoning must be considered under City Resolution R-08-22 (Annexation), the Laurel Municipal Code Title 17 (Zoning).
- The question of annexation and initial zoning must be heard by the Laurel – Yellowstone City County Planning Board and Zoning Commission.
- Is the requested annexation and initial zoning in the best interest of the City and Citizens of the City of Laurel.
- The property is situated such that street rights-of-way will need to be dedicated to the City on the northern and southern property lines. The dedication of the northern segment will need to be coordinated with the developer of that tract.

Findings:

- ✓ The subject property is adjacent to the City of Laurel.
- ✓ The City Council is not required to submit the question of annexation to the qualified electors of the area to be annexed as the petition is signed by 100% of the owners.
- ✓ The city may annex the property as 100% of the ownership of same has petitioned the city for annexation.
- ✓ The driver for the annexation request is the desire of Mr. Hull to construct a Residential a Multi-Family complex on the property. The only way the development plan works is to extend the City water and sewer systems to the proposed development.
- ✓ The subject property was included as ‘future growth area’ in the Growth Policy adopted by the City of Laurel. Additionally, the property has been identified on the Laurel Future Land Use Map portion of the Growth Policy as Multi-Family. As such, the requested zoning is consistent with the Laurel Growth Policy.
- ✓ The proposed assignment of RMF meets all the statutory requirements of Part 46 annexation and zoning assignment.
- ✓ The Laurel RMF Zone is listed along with other Residential land use assignments and is therefore determined to be a “greater than” R-7500 classification.
- ✓ The extension of city services will be at the owner’s expense (R-08-22) and in accordance with the Annexation Agreement as approved by the City Council. .
- ✓ The City Zoning provides options for development that are not available to rural properties. These options include but are not limited to Planned Unit Developments. These options and the exactions of infrastructure are most beneficial to the Owner, the City of Laurel, and all surrounding properties in conjunction with the proposed development of the property in the future.
- ✓ The city has the ability to provide services to the property both existing and proposed.

12 Point Test for Zoning:

- I. Is the zoning in accordance with the growth policy;
- The proposed zoning is consistent with the prevailing County zoning on the property.
 - The Growth Policy identifies all of the property proposed for annexation as Multi-Family.
 - Resolution R-08-22 requires zoning assignment at annexation at R-7500 or greater.
 - The Residential Multi-Family Zone meets the definition as 'greater than' R-7500.

Finding:

The requested zoning is in accordance with the Growth Policy.

- II. Is the zoning designed to lessen congestion in the streets;
- The proposed zoning is consistent with the prevailing County zoning on the property.
 - The proposed zoning along with the annexation agreement will allow development of the property consistent with surrounding uses of property.
 - Proposed development that would potentially impact roads and streets would require a traffic impact analysis and associated improvements.

Finding:

The requested zoning will not have a material impact on congestion in the streets.

- III. Is the zoning designed to secure safety from fire, panic, and other dangers;
- The proposed zoning is consistent with the prevailing County zoning on the property.
 - The Growth Policy identifies the property as Multi-Family.
 - Multi-Family development must be constructed in accordance with the prevailing International Code Council standards.
 - Adequate public infrastructure exists or can be readily extended/expanded to serve the development at RMF densities.

Finding:

The requested zoning will not have an adverse impact on safety from fire, panic, or other dangers.

- IV. Is the zoning designed to promote health and the general welfare;
- The proposed zoning is consistent with the prevailing County zoning on the property.
 - The Growth Policy identifies the property as Multi-Family as a future land use.
 - The connection of the facilities and properties at the time of development to the Laurel municipal water and wastewater systems will have positive impacts to public health and general welfare.

Finding:

The requested zoning will promote the public health and the general welfare.

- V. Is the zoning designed to provide adequate light and air;
- The existing zoning imposes building setbacks, height limits, limits on the number of buildings on a single parcel, and reasonable area limits on new development.
 - The proposed RMF, provides restrictions on structure height, setbacks, lot coverage. These standards exist to provide open spaces and adequate light and air.
 - The existing development has more than adequate separation from surrounding uses.

Finding:

The requested zoning will provide adequate light and air.

- VI. Is the zoning designed to prevent the overcrowding of land;
- The existing zoning imposes building setbacks, height limits, limits on the number of buildings on a single parcel, and reasonable area limits on new development.
 - The RMF proposal, has density and development controls that are designed to prevent the overcrowding of land.

Finding:

The proposed zoning will prevent the overcrowding of land.

- VII. Is the zoning designed to avoid undue concentration of population;
- The existing zoning imposes building setbacks, height limits, limits on the number of buildings on a single parcel, and reasonable area limits on new development.
 - The RMF proposal, has density and development controls that are designed to prevent the overcrowding of land.
 - The subject property is large enough to provide adequate separation from surrounding uses.

Finding:

The proposed zoning will prevent the undue concentration of population.

- VIII. Is the zoning designed to facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements;
- The requested zoning, without some overlay or modification, will not necessitate the installation of new or additional infrastructure.
 - It is anticipated that a significant portion of the property being annexed will be further developed. It is at that point the additional infrastructure as well as capacities will be evaluated.
 - Some of the public duties, such as police, will shift from Yellowstone County to the City of Laurel but the net effect is minimal.

Finding:

The requested zoning will facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements. Additionally, as the uses of the property change and the intensity of development changes, the city will be able to plan for and be prepared for the anticipated increased demands on their public systems.

- IX. Does the zoning give reasonable consideration to the character of the district and its peculiar suitability for particular uses;
- The requested zoning is consistent with the Growth Policy.
 - The property is compatible with surrounding development which is, for the most part, multi-family or commercial.
 - The water and sewer infrastructure proposed with the annexation is adequate for the intended use of the property.

Finding:

The requested zoning is consistent with surrounding uses, the Growth Policy and provides for opportunities for additional development with suitable uses.

- X. Does the zoning give reasonable consideration to the peculiar suitability of the property for its particular uses;
- The requested zoning is consistent with the Growth Policy.
 - The property is compatible with surrounding development which is, for the most part, multi-family or commercial.

- The water and sewer infrastructure proposed with the annexation is adequate for development of the property that is consistent with the requested RMF zoning.

Finding:

The requested zoning is in keeping with the character of the development in the area. It also provides for opportunities for additional development with suitable uses.

XI. Will the zoning conserve the value of buildings;

- The extension and availability of public water and sewer resultant from annexation and initial zoning will add value to buildings as the proposed use is substantially similar to or complementary to surrounding buildings and uses.
- The requested zoning is consistent with the Growth Policy.
- The proposed zoning is a logical transition/replacement of County for City, it is not anticipated that there would be any adverse effect on the value of surrounding buildings or lands.

Finding:

The value of existing buildings both on and adjacent to the requested zone will either be enhanced or not effected by the proposed zoning.

XII. Will the zoning encourage the most appropriate use of land throughout the municipality?

- The requested zoning is consistent with the Growth Policy.
- The requested zoning is consistent with the prevailing land uses and zoning surrounding the property.
- A healthy mix of land uses encourages growth and development in the community as a whole. The addition of RMF at this location will benefit not only the housing in Laurel but the need for support and other essential services.

Finding:

The requested zoning provides for the most appropriate use of land in the municipality. It also provides for a significant amount of flexibility for a mixture of uses as contemplated by the District Regulations.

Conclusion:

The petition for annexation into the City of Laurel with the initial zoning assignment of Laurel Multi-Family (RMF) appears to be consistent with the requirements of Part 46 Annexation and City Council Resolution R-08-22. Additionally, the annexation, extension of services, and initial zoning assignment in the best interest of both the City of Laurel and the Mr. Hull.

PUBLIC HEARING NOTICE

Lance Hull Annexation:

The Laurel City Council will conduct a public hearing at 5:35 p.m., or as soon as practicable thereafter, on Tuesday, August 9, 2022, in the City Council Chambers of Laurel City Hall (115 West 1st Street, Laurel Montana) on a request submitted by Lance Hull. Mr. Hull, representing 100% of the ownership of lands involved, has Petitioned the City of Laurel for Annexation of approximately 1.0 acre of property adjacent to the City of Laurel with an initial Zoning Designation of Laurel Residential Multi-Family (RMF) for concurrent review.

The subject property is generally described as that portion of Section 8, Township 2 South, Range 24 East, P.M.M., Yellowstone County, Montana, on Certificate of Survey No. 1642 amended Parcel A1 Less Herman Addition. An annexation Exhibit has been submitted in support of the Petition and Requested Initial Zoning. All documents related to this petition/request are available for inspection in the Office of the Laurel Planner, 115 West 1st Street, during regular business hours.

The City Council will consider the recommendation of the Planning Board and Zoning Commission in addition to requirements of City Resolution R-08-22 (City Annexation Policy), the processes and considerations afforded under 7-2-4601 et. seq. MCA (Annexation by Petition) and 76-2-301 et. seq. MCA (Municipal Zoning), the benefits to the City of Laurel, and the appropriateness of the requested initial Zoning Designation. In particular the City Council must consider the current Laurel Growth Policy, the prevailing use of the subject property, and existing County Zoning, if any. Following the Public Hearing, the City Council may make a decision regarding the Petition for Annexation as well as the Requested Initial Zoning Designation.

Questions concerning this request should be directed to Kurt Markegard, Director of Public Works by phone (406) 628-4796 or electronically at kmarkegard@laurel.mt.gov. Written/e-mailed comments will be accepted until 5:00 p.m. MST on Tuesday, August 2, 2022 and can be submitted in person, by mail or electronically to the following addresses:

Laurel Public Works Department
Attn. Kurt Markegard (Lance Hull Annexation)
115 West 1st Street
Laurel MT 59044

E-mail:
kmarkegard@laurel.mt.gov Be sure to include "Lance Hull Annexation" in the Subject Line!

The City of Laurel is committed to open and transparent government and associated public decision-making processes. Public comment is encouraged.

Publish July 22, 2022 and July 29, 2022.

File Attachments for Item:

2. City Brew Sign Permit

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>415 1ST AVE</u>	
Owner <u>CITY BREW COFFEE</u>	Telephone <u>406-294-4620</u>
Contractor <u>EPSON SIGN</u>	Subdivision _____
Address <u>1131 MONTANA</u>	Lot _____ Block _____ Tract _____ Zoning _____
Telephone <u>406-248-7401</u>	Valuation of Project \$ <u>25,000</u>
City License _____	Description of Work: <u>NEW BUILDING</u>
Special Conditions _____	<u>SIGNAGE</u>
Occupancy _____	Type of Construction _____
Number of Units _____	Total Square Feet <u>94</u> Rated Walls _____

BUILDING Approved To Issue By _____ Date _____

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, it's officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

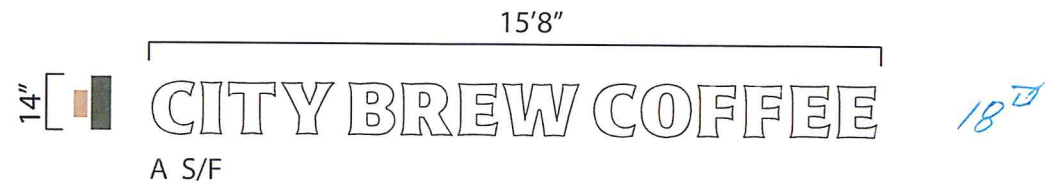
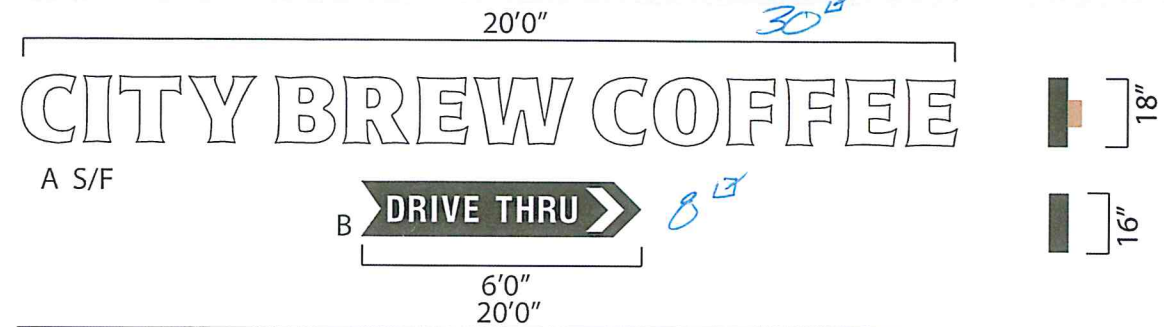
All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

FEES AND CHARGES	
1000-323011 building	\$ _____
1000-323014 plan review	\$ _____
1000-323011 fence	\$ _____
1000-323011 roof	\$ _____
1000-323053 sign	\$ _____
1000-323011 mh install	\$ _____
1000-323011 investigation	\$ _____
1000-323011 re-inspection	\$ _____
1000-322022 utility hook up	\$ _____
5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant [Signature] Date 6/16/22

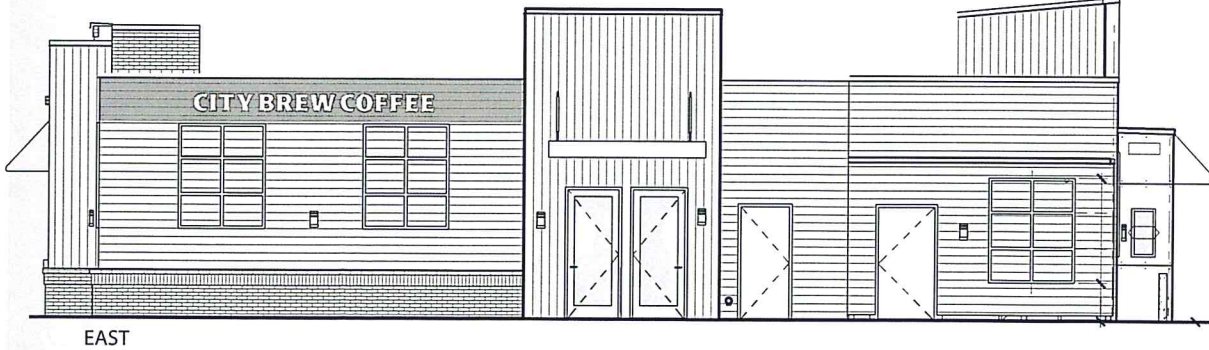
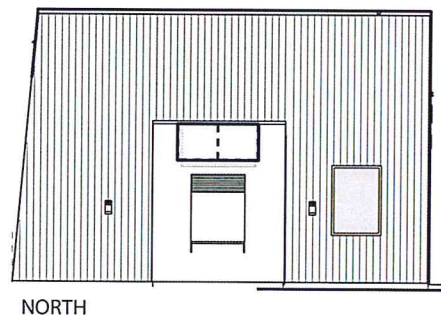


A FABRICATED ALUMINUM LETTERS.5" FACTORY RETURNS.1"TRIM CAP WITH FILMED PLEXIGLASS FACES.3M 3600 SERIES TRANSLUCENT FILM. ILLUMINATION WHITE LEDS. PAINTED EXTRUDED ALUMINUM RACEWAY.

B FABRICATED ALUMINUM CABINETS.5" FACTORY RETURNS.1"TRIM CAP WITH FILMED PLEXIGLASS FACES.3M 3600 SERIES TRANSLUCENT FILM. ILLUMINATION WHITE LEDS.

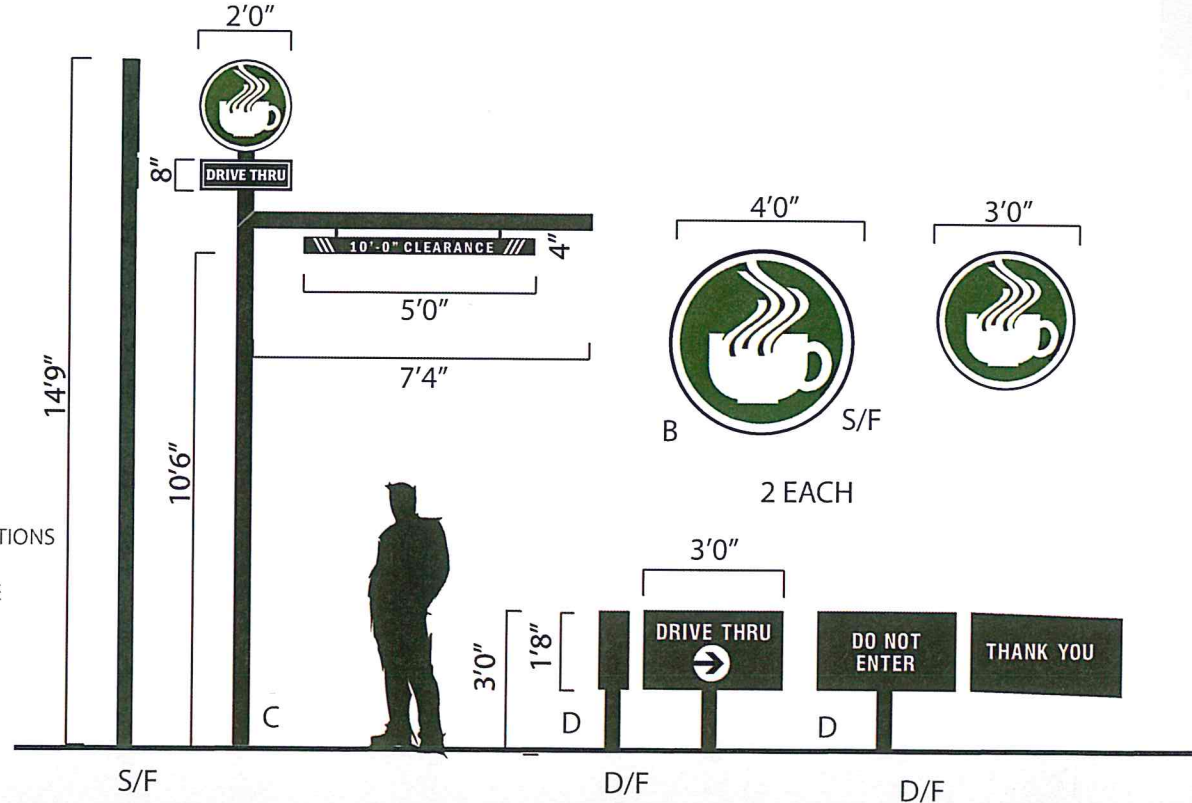
C 4"STEEL SQ.TUBE.PRIME AND PAINT SMOOTH.CIRCULAR PVC PAINT AND FILM COPY 3M VINYL.SMOOTH DIBOND LOGO AND DRIVE THRU DISPLAYS,FILM 3M VINYL.

D FABRICATED GALVANEAL CABINET AND RETAINERS,PRIME AND PAINT SMOOTH. FILM COPY AND BACKGROUND ON SMOOTH TUFFAK FACES.3M 3600 SERIES TRANSLUCENT FILM. FABRICATED GALVANEAL BASE.PRIME AND PAINT SMOOTH. FILM LOGO 3M VINYL.



- FINISH COLORS
 1 WHITE
 2 BLACK
 3 GREEN
 4 BROWN
 5 VARIOUS

- SPECIFICATIONS
 BASE
 FLAT/BASE
 3M 76
 MT.BLDG
 PRINT.



SIGN LOCATIONS N.T.S.

SINGLE FACE PYLON DISPLAY SINGLE FACE BUILDING DISPLAY

DESIGNER: DK
 SALESPERSON: TYLER
 REVISED:

CLIENT: CITY BREW
 LOCATION: LAUREL MT.

DESIGN NO: 195.21-BG
 SCALE: 1/4"=1'-0"
 DATE: 7.12.21

1131 MONROE RD
 BILLING, MT 17104
 406-248-7401
 406-332-7168
 406-248-1815
 epconsign@epcon.com

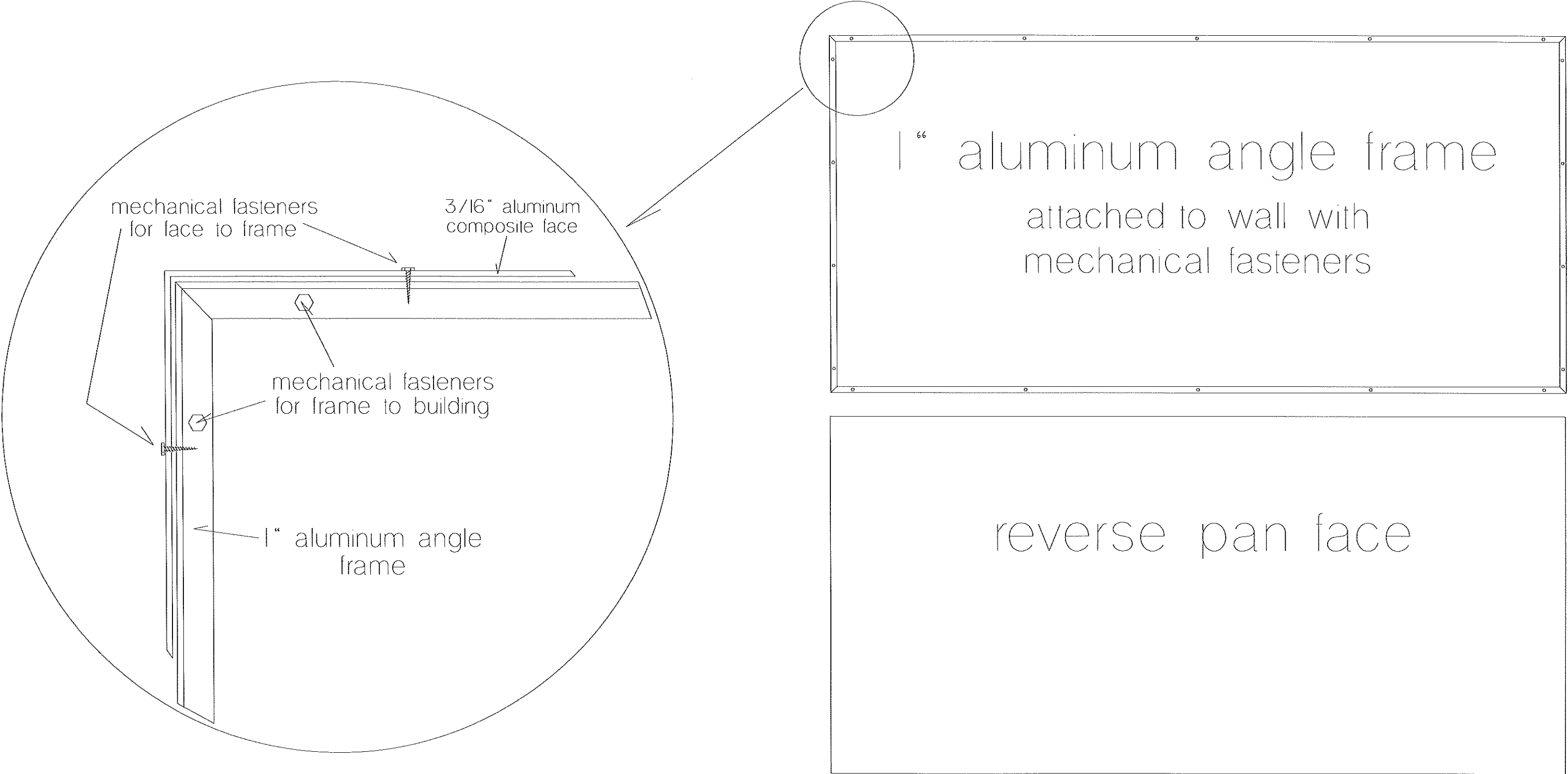
THIS DESIGN IS THE EXCLUSIVE PROPERTY OF EPICON SIGN COMPANY AND CANNOT BE REPRODUCED EITHER IN WHOLE OR IN PART WITHOUT THEIR CONSENT. EPICON SIGN COMPANY WILL ENDORSE TO CLOSELY MATCH COLOR, INCLUDING PMS COLOR WHEN SPECIFIED. WE CANNOT GUARANTEE EXACT MATCHES DUE TO VARYING COMPARABILITY OF SUPPLIER MATERIALS AND PAINTS USED.



File Attachments for Item:

3. T-Mobile Sign Permit

TYPICAL NON-ILLUMINATED REVERSE PAN SIGN METHOD OF ATTACHMENT





SIGN PERMIT REQUEST

Date of application: 6-27-22

Business name: T Mobile

Location street address: 331 S Washington Ave., Suites H & I, Laurel

Contractor name: Sign Products, Inc.

1425 Monad Rd.

Billings, MT 59101

406-252-6348

tgross@signproductsinc.com

Sign description:

A-install two 4'x15.25' illuminated wall signs

Site plan: see attached

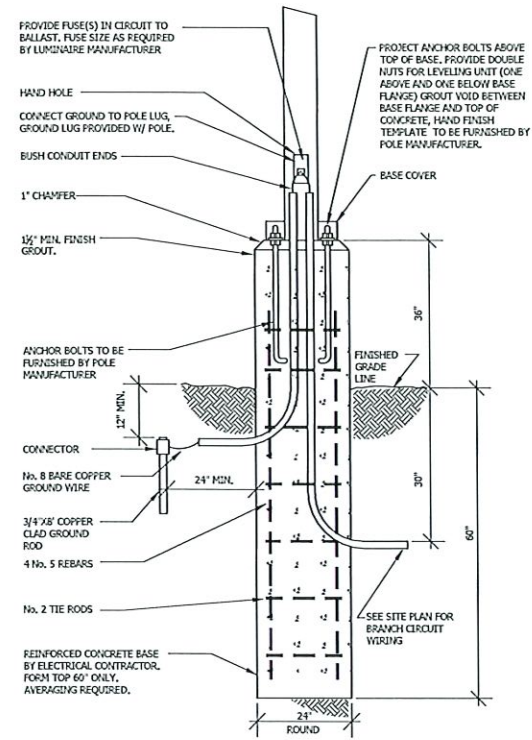
Sign detail: see attached

Sign method of attachment: see attached

Submitted by:  _____

Tom Gross

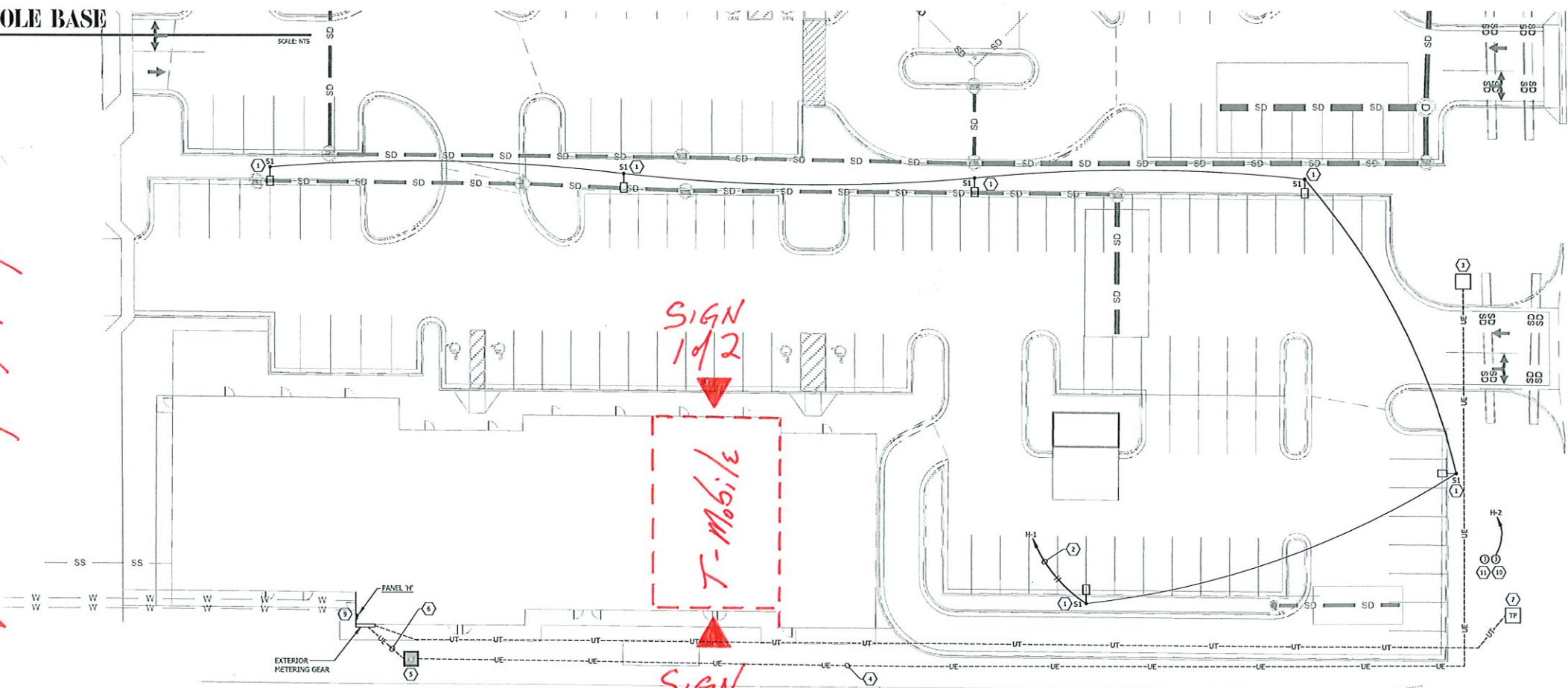
1425 Monad Road, Billings, MT 59101
P.O. Box 20955, Billings, MT 59104
(P): 406-252-6348 (F): 406-252-6654
www.signproductsinc.com



- SITE PLAN WORK NOTES**
1. PROVIDE A CONCRETE POLE BASE. REFER TO THE CONCRETE POLE BASE DETAIL, THIS SHEET.
 2. EXTERIOR LIGHTING CIRCUIT SHALL BE CONTROLLED DUSK TO DAWN VIA NA INTERNAL PHOTOCELL.
 3. EXISTING NWE T-TAP, EC TO COORDINATE THE NEW PRIMARY OVERCURRENT PROTECTION WITH NWE PRIOR TO COMMENCING WORK.
 4. UNDERGROUND ELECTRICAL PRIMARY SERVICE.
 5. UTILITY TRANSFORMER BY NWE, EC TO PROVIDE CONCRETE PAD AND VAULT PER NWE SPECIFICATIONS.
 6. UNDERGROUND SECONDARY ELECTRICAL SERVICE.
 7. TELEPHONE FEDESTAL/DEMARK.
 8. UNDERGROUND TELEPHONE SERVICE.
 9. SERVICE ENTRANCE.
 10. ROUTE 3/4\"/>
- GENERAL NOTES:**
1. REFER TO THE CIVIL ENGINEER DRAWINGS FOR LOCATIONS OF ALL UTILITIES.
 2. REFER TO THE POWER ONE-LINE DIAGRAM FOR ADDITIONAL INFORMATION.
 3. IT IS THE RESPONSIBILITY OF THE EC TO INCREASE THE WIRE SIZE FOR ALL 120V AND 200V CIRCUITS, WITH A LENGTH GREATER THAN 75'. WIRE SIZES SHALL BE INCREASE TO ALLOW NO MORE THAN 3% VOLTAGE DROP.
 4. THE EC SHALL COORDINATE THE TELEPHONE SERVICE ENTRANCE REQUIREMENTS WITH THE GC/OWNER PRIOR TO COMMENCING WORK.
 5. COORDINATE THE LOCATION OF THE STUB UPS FOR POWER AND DATA TO THE MONUMENT SIGN WITH THE GC/SIGN VENDOR PRIOR TO INSTALLATION.

2 CONCRETE POLE BASE

South Washington Ave

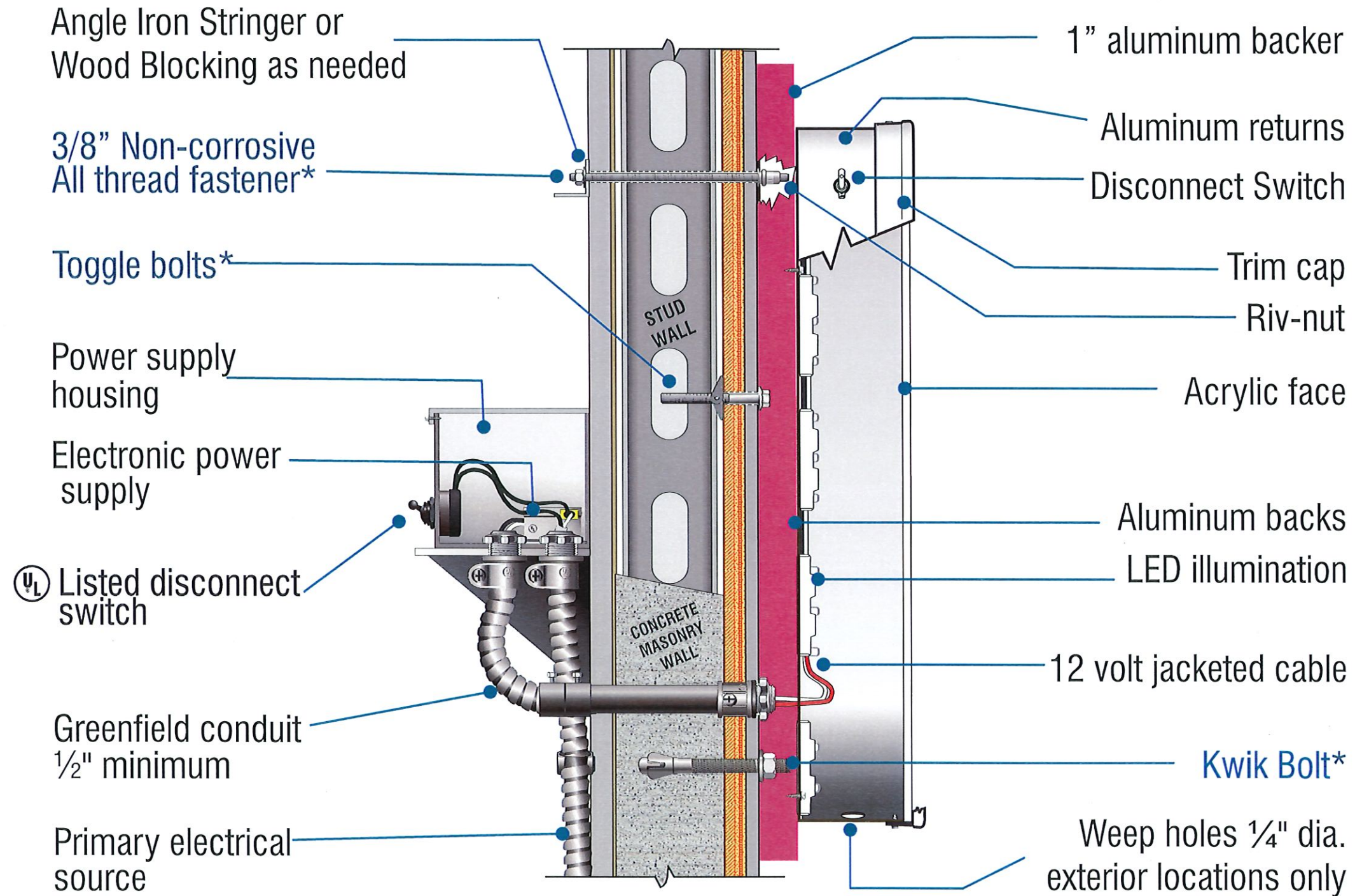


PROJECT: SOLER2 BUILDING
 DRAWING: SITE PLAN - MECH/ELEC
 PROJECT NUMBER: 1929
 DATE: 2008.06.29

ME1.1



LED CHANNEL on 1" BACKER - FLUSH MOUNTED



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)

Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
 Toggle bolts w/ hollow core- plywood backing
 Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

**SIGN TO BE U.L. LISTED
 AND SHALL MEET N.E.C. STANDARDS**



PRIMARIES AND FINAL CONNECTION TO SIGN BY:
 CERTIFIED ELECTRICIAN

ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED,
 APPROVED AND MARKED PER N.E.C. 600-4.
 ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250.
 ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1
 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.

SIGN TO MEET N.E.C. AND U. L. 48
 STANDARDS FOR ELECTRICAL SIGNS.
 GROUNDING & BONDING
 AS PER N.E.C. 250-90 & NEC 600-7

REVISED 6-29-22

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>331 S Washington Ave, Suites B-C, Laurel</u>	
Owner <u>SOLBERG ENTERPRISES, LLC</u>	Telephone <u>406-794-8677 (SCL Health Contract)</u>
Contractor <u>SIGN PRODUCTS, INC.</u>	Subdivision <u>LAUREL INDUSTRIAL PARK</u>
Address <u>1425 Monard Rd, Billings, MT 59101</u>	Lot <u>5A1</u> Block <u>2</u> Tract _____ Zoning <u>HC</u>
Telephone <u>406-252-6348</u>	Valuation of Project \$ 8,091 <u>10,551</u> - x <u>19.5'</u>
City License <u>#370</u>	Description of Work: <u>Install two 4.5' x 14.5'</u> <u>Non-illuminated Wall Signs</u>
Special Conditions _____	_____
Occupancy _____	Type of Construction <u>Signs</u> Number of Units <u>2</u> Total Square Feet <u>130</u> Rated Walls <u>175.53 ft</u>

BUILDING Approved To Issue By _____ Date _____

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, its officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

FEES AND CHARGES

1000-323011 building	\$ _____
1000-323014 plan review	\$ _____
1000-323011 fence	\$ _____
1000-323011 roof	\$ _____
1000-323053 sign	\$ _____
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1000-323011 re-inspection	\$ _____
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5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant 
Tom Gross

Date ~~6-23-22~~
6-29-22

REVISED 6-29-22

CONSTRUCTION PERMIT AND APPLICATION

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Special Conditions _____	_____
Occupancy _____	Type of Construction <u>Signs</u> Number of Units ^{SIGNS} <u>2</u> Total Square Feet 130 <u>175.5 sq ft</u> Rated Walls _____

BUILDING Approved To Issue By _____ Date _____

THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:

Footings	_____	Inspector	_____	Date Approved	_____
Foundation	_____	Inspector	_____	Date Approved	_____
Damp-proofing	_____	Inspector	_____	Date Approved	_____
Ground Inspection	_____	Inspector	_____	Date Approved	_____
Framing	_____	Inspector	_____	Date Approved	_____
Roofing	_____	Inspector	_____	Date Approved	_____
Insulation	_____	Inspector	_____	Date Approved	_____
Gypsum/Drywall	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____

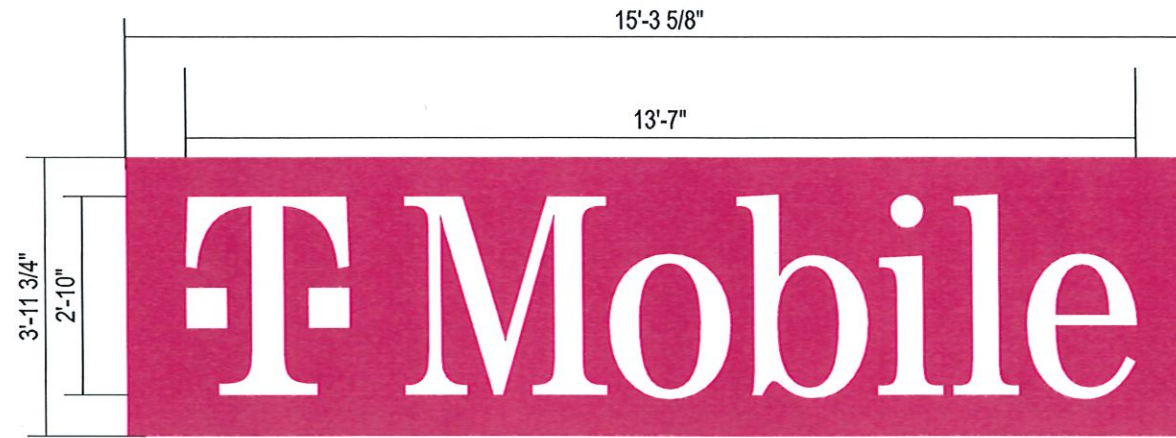
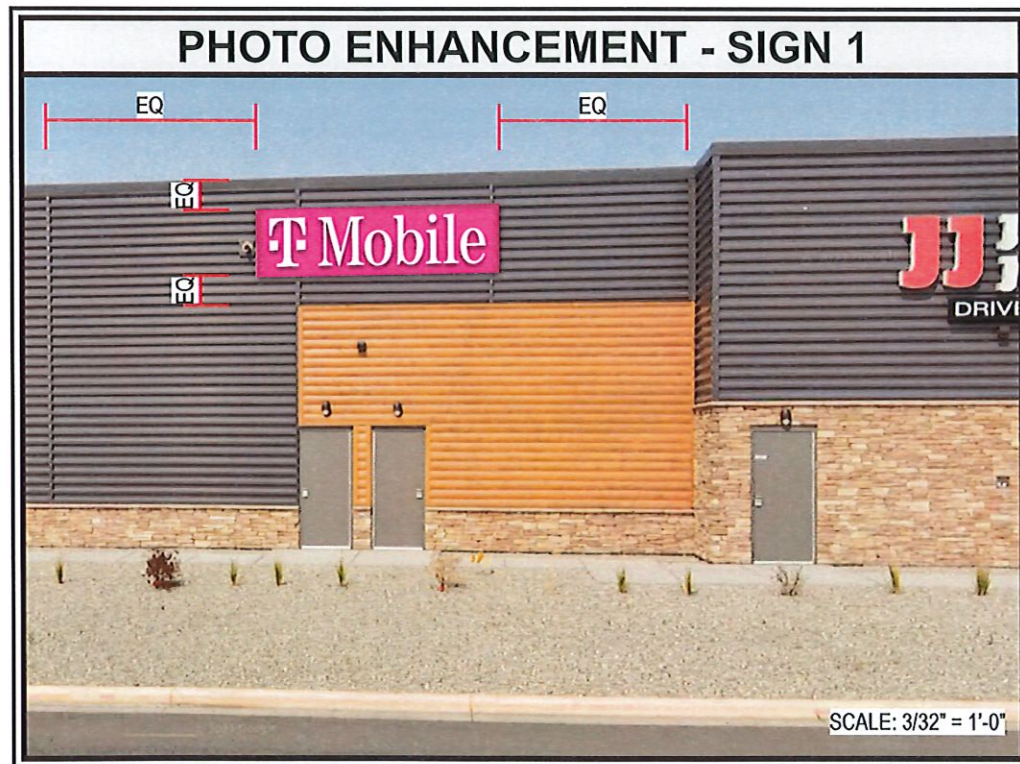
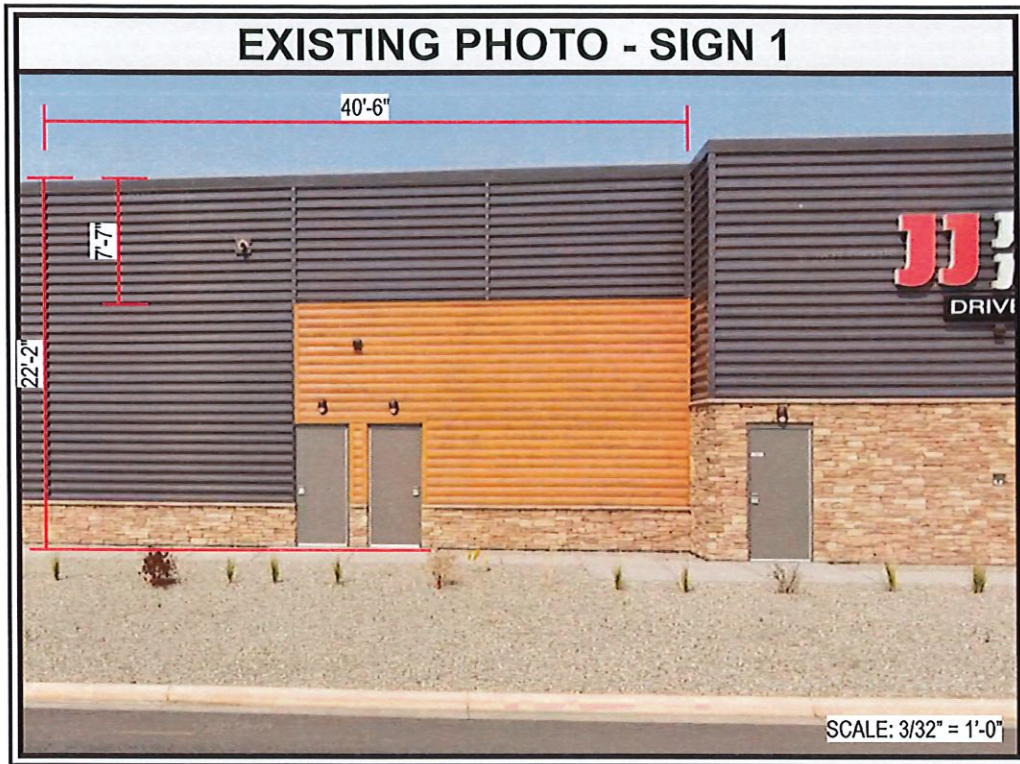
FINAL INSPECTIONS

Fire	_____	Inspector	_____	Date Approved	_____
Building	_____	Inspector	_____	Date Approved	_____
Site Improvements	_____	Inspector	_____	Date Approved	_____

Call 628-4796 - 24 hours in advance to schedule inspections.

Do not cover or conceal any work before the required inspection has been approved.

This card and one set of approved plans must be available to the inspector at the job site during all inspections.



2 34" ILLUM CHANNEL LETTERS ON 1" BACKER

scale: 3/8"=1'
60.9 sf (including backer)



FACES: 3/16" thick #2447 White autoglas or equal

RETAINERS: 1" White jewelite trimcap

RETURNS: .040 alum. 3" deep pre-finished White

BACKS: .063 alum. - pre-finished alum White

LED: Principal 6500K White LED's; *Remote power supplies*

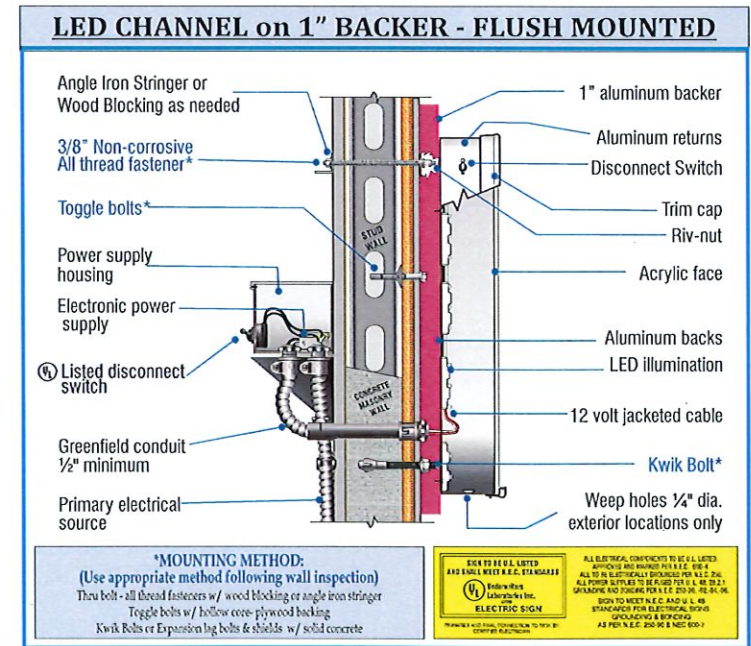
BACKER PANEL: 1" deep fabricated alum. backer cabinet w/ internal angle stringers; 3mm ACM skin painted TMO Magenta and White base coat specified (per color palette)

INSTALL: Backer thru bolted flush to wall using min. 3/8" all thread fasteners with wood blocking as required

JOB NOTE: UL label location - one to be visible from ground, others to be placed on top of letters and one on power supply

COLOR PALETTE

- Matthews Magenta
MP86055 R155445
N Semi-glo V1.0
over MP55898 White Basecoat
- #2447 White Autoglas or Equal
- SW 7075



NAMPA PLANT -
UL #433195-001

U.S. & P.R. - All signs conform to UL-48/2161 (labeled accordingly) & must comply with UL-41.1 install procedures. Canada - all signs must be CAS compliant. This sign(s) is intended to be installed in accordance with requirements of article 600 of the National Electrical Code and/or applicable local codes. This includes proper grounding and bonding of the sign.

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T Mobile™

ADDRESS 331 S. WASHINGTON AVE
LAUREL, MT 59044

PAGE # 4

CLIENT SIGNATURE	DATE	REVISIONS	
	04/08/22	DATE:	DESCRIPTION:
	SITE ID #:	03/31/22	R1 - Added Channel Letters to Rear Elev. (facing SE 4th St)
	51327	04/05/22	R2 - Centered Sign 1 over both spaces (117 & 118)
	DESIGN	04/07/22	R3 - Increased both signs to 34" Letter Ht
	SPH	04/08/22	R4 - Centered Sign 2 (rear) in overall lease space
	FILE NAME		
	331_S_Washington_Ave_Laurel_MT-R4		

File Attachments for Item:

4. SCL Health Sign



SIGN PERMIT REQUEST

Date of application: 6-23-22

Business name: SCL Health

Location street address: 331 S Washington Ave., Suites B & C, Laurel

Contractor name: Sign Products, Inc.

1425 Monad Rd.

Billings, MT 59101

406-252-6348

tgross@signproductsinc.com

Sign description:

A-install two 4.5'x14.5' non-illuminated wall signs

Site plan: see attached

Sign detail: see attached

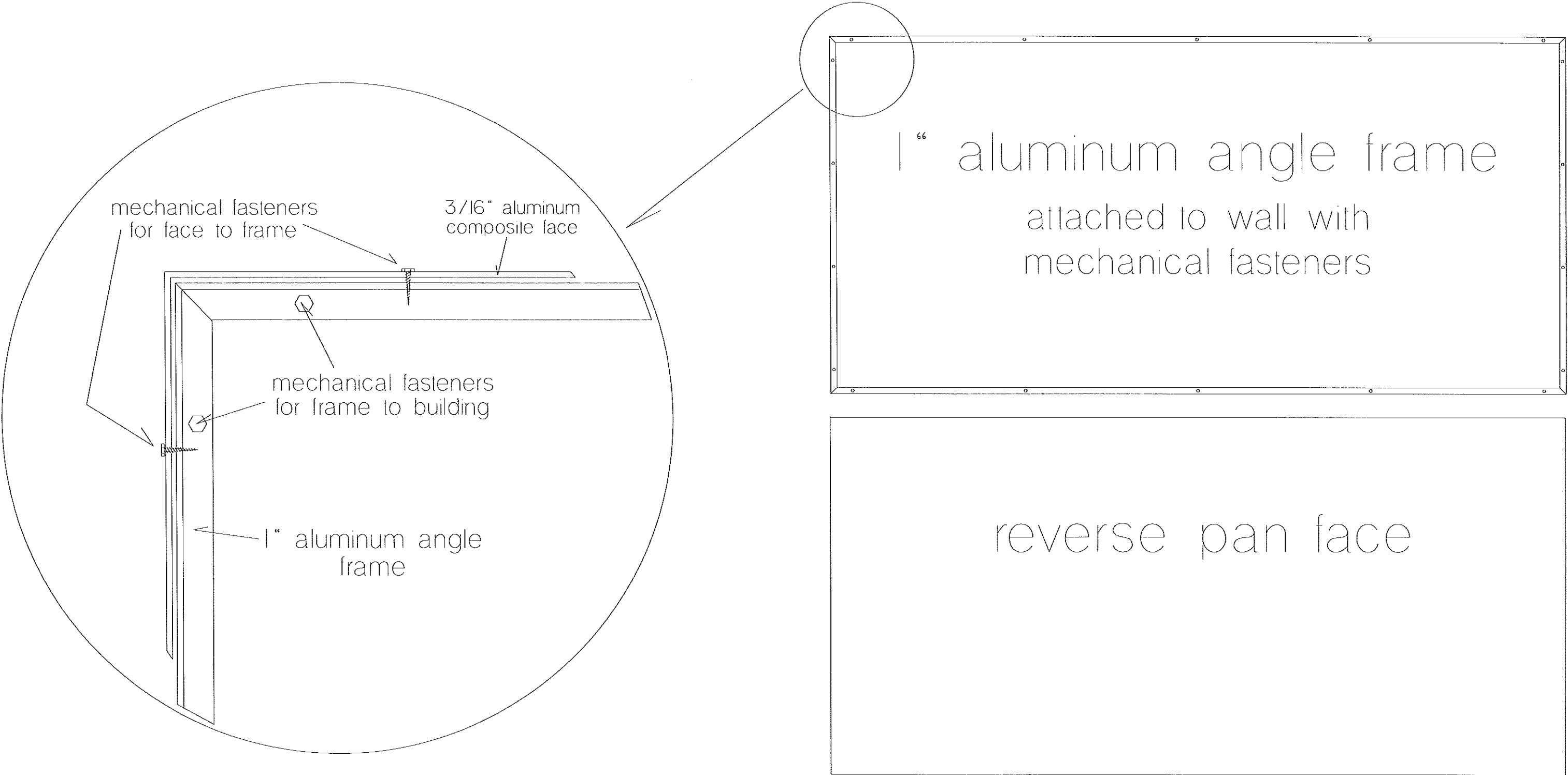
Sign method of attachment: see attached

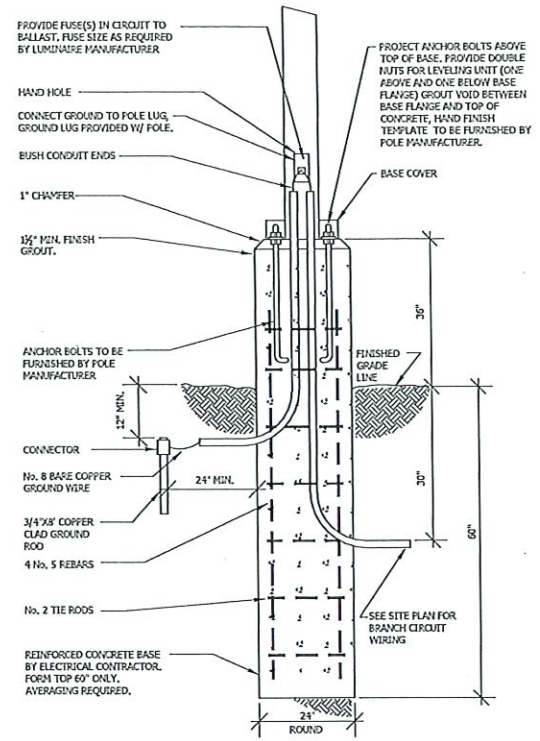
Submitted by:  _____

Tom Gross

1425 Monad Road, Billings, MT 59101
P.O. Box 20955, Billings, MT 59104
(P): 406-252-6348 (F): 406-252-6654
www.signproductsinc.com

TYPICAL NON-ILLUMINATED REVERSE PAN SIGN METHOD OF ATTACHMENT

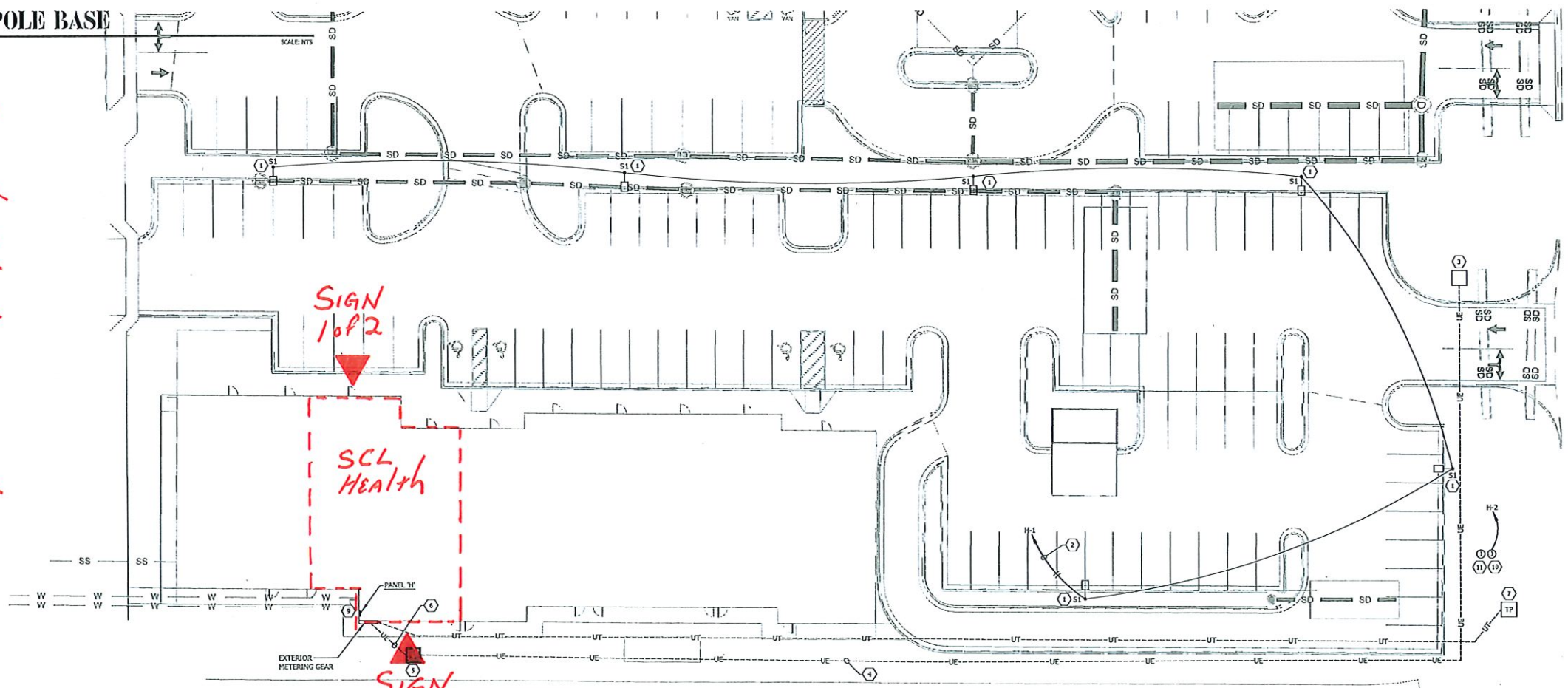




- SITE PLAN WORK NOTES**
- PROVIDE A CONCRETE POLE BASE. REFER TO THE CONCRETE POLE BASE DETAIL THIS SHEET.
 - EXTERIOR LIGHTING CIRCUIT SHALL BE CONTROLLED DUSK TO DAWN VIA AN INTERNAL PHOTOCELL.
 - EXISTING NWE T-TAP, EC TO COORDINATE THE NEW PRIMARY OVERCURRENT PROTECTION WITH NWE PRIOR TO COMMENCING WORK.
 - UNDERGROUND ELECTRICAL PRIMARY SERVICE.
 - UTILITY TRANSFORMER BY NWE, EC TO PROVIDE CONCRETE PAD AND VAULT PER NWE SPECIFICATIONS.
 - UNDERGROUND SECONDARY ELECTRICAL SERVICE.
 - TELEPHONE PEDESTAL/DEMARK.
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2 CONCRETE POLE BASE

South Washington Ave.



SE 4th St



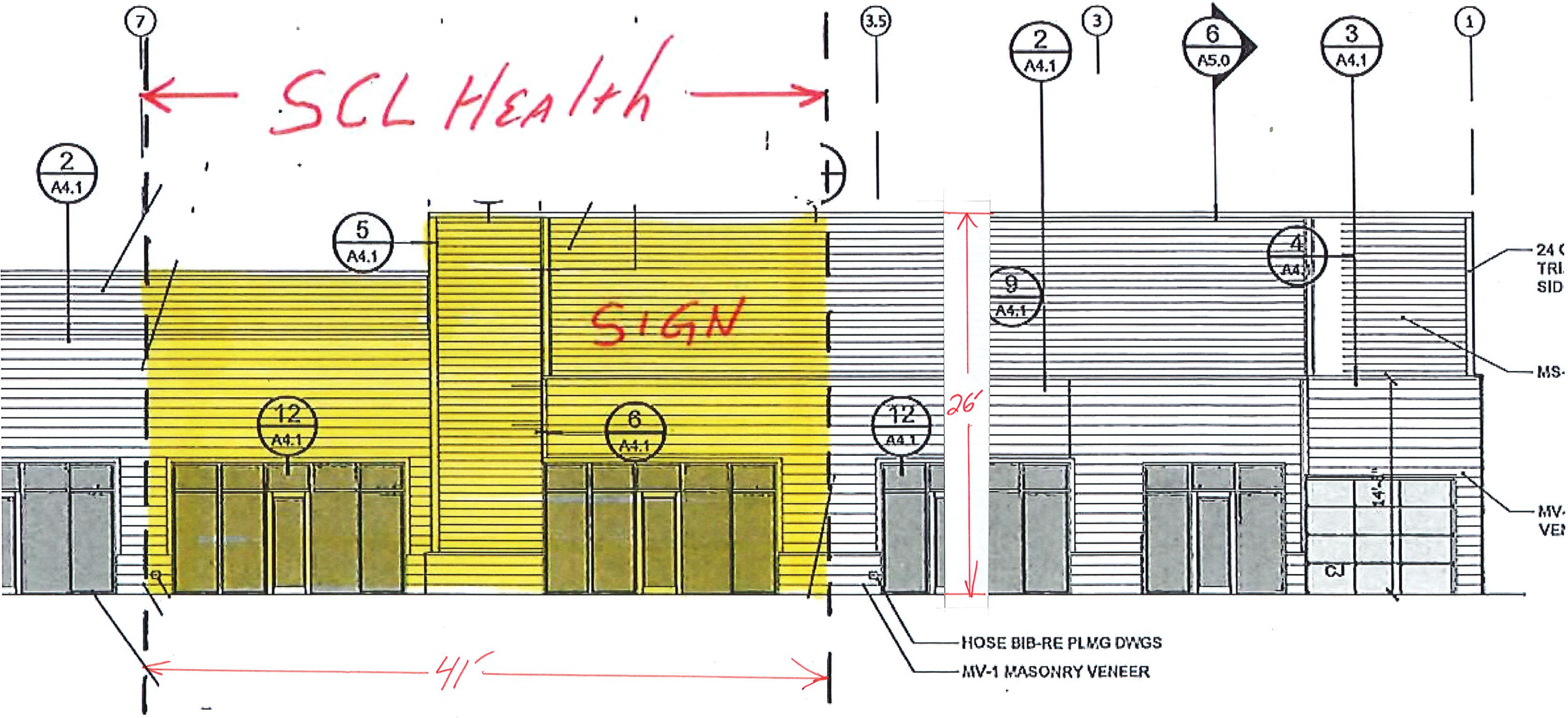
ERIC M. SIMONSEN AIA
 PO BOX 2132
 BILLINGS, MT 59103-2132
 408.258.9080
 408.698.5182
 WWW.SIMONSENARCHITECT.COM

PROJECT: SOLBEAS BUILDING
 DRAWING: SITE PLAN - MECH/ELEC
 PROJECT NUMBER: 1979
 DATE: 2022.05.29

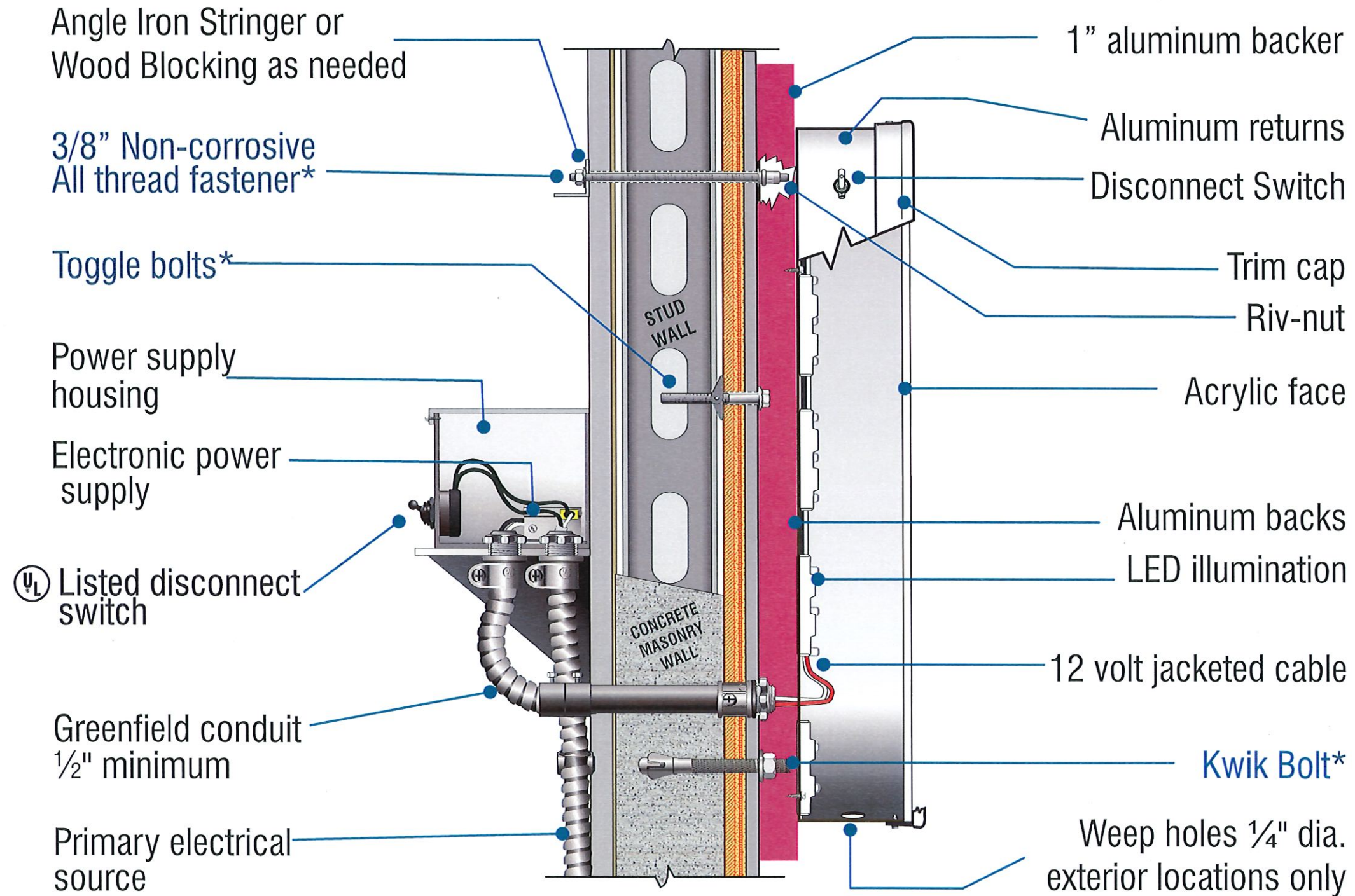
ME1.1

Wall Area Calculations: $26' \times 41' = 1066 \text{ sq ft}$
 $\times 20\%$
213.2 sq ft allowable

New Signs are 87.75 sq ft each



LED CHANNEL on 1" BACKER - FLUSH MOUNTED



***MOUNTING METHOD:**
(Use appropriate method following wall inspection)

Thru bolt - all thread fasteners w/ wood blocking or angle iron stringer
 Toggle bolts w/ hollow core- plywood backing
 Kwik Bolts or Expansion lag bolts & shields w/ solid concrete

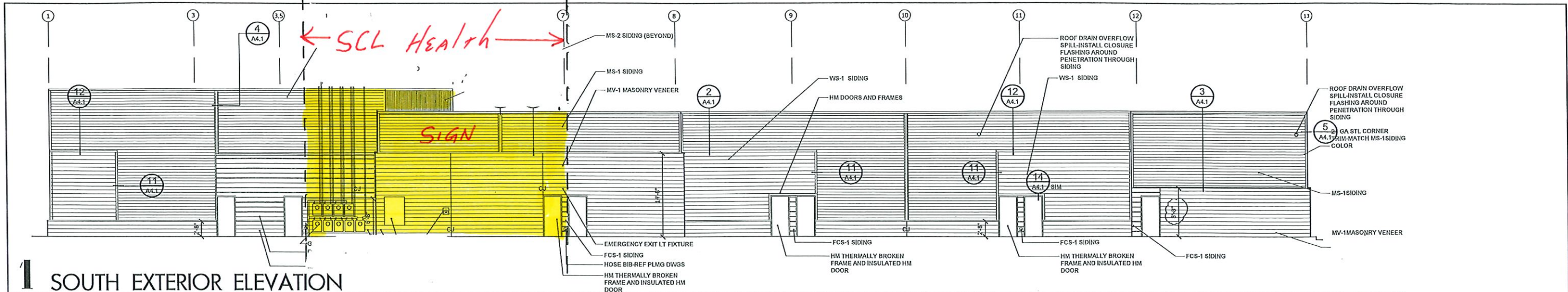
**SIGN TO BE U.L. LISTED
 AND SHALL MEET N.E.C. STANDARDS**



PRIMARIES AND FINAL CONNECTION TO SIGN BY:
 CERTIFIED ELECTRICIAN

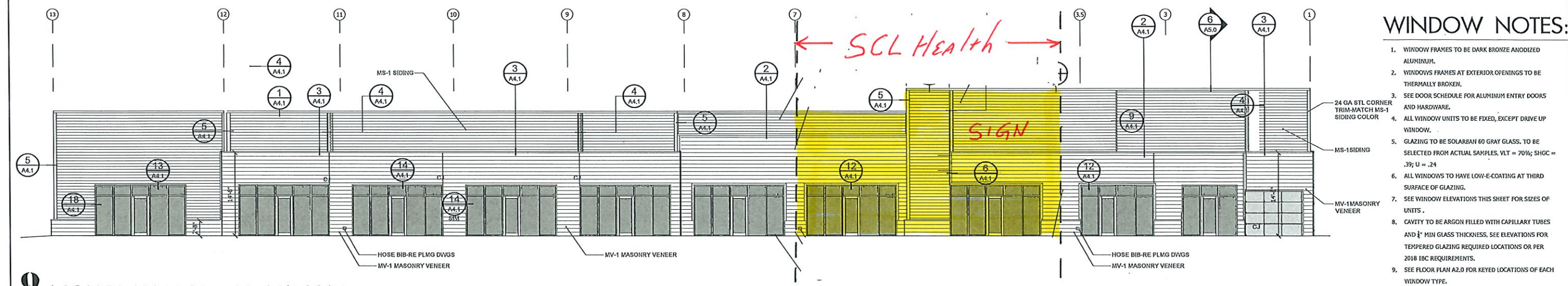
ALL ELECTRICAL COMPONENTS TO BE U.L. LISTED,
 APPROVED AND MARKED PER N.E.C. 600-4.
 ALL TO BE ELECTRICALLY GROUNDED PER N.E.C. 250.
 ALL POWER SUPPLIES TO BE FUSED PER U. L. 48, 28.2.1
 GROUNDING AND BONDING PER N.E.C. 250-90, -92, -94, -96.

SIGN TO MEET N.E.C. AND U. L. 48
 STANDARDS FOR ELECTRICAL SIGNS.
 GROUNDING & BONDING
 AS PER N.E.C. 250-90 & NEC 600-7



1 SOUTH EXTERIOR ELEVATION

SCALE: 1/8" = 1'-0"

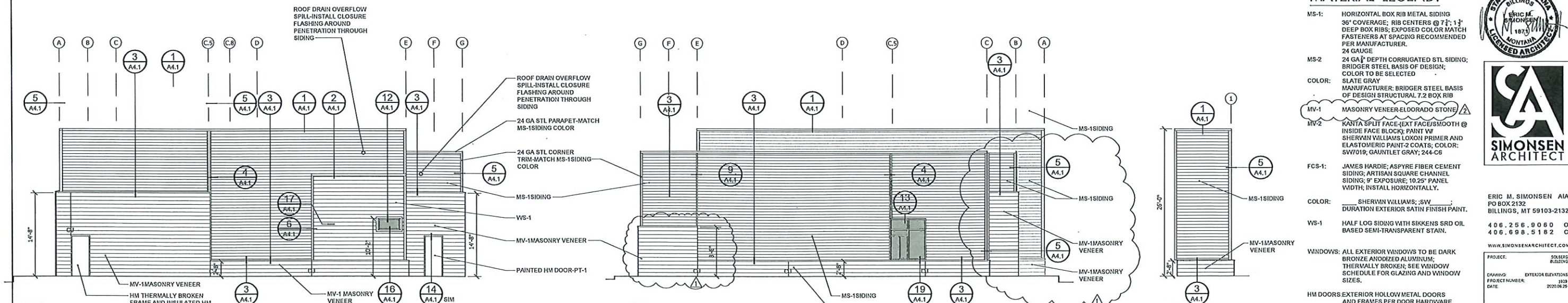


2 NORTH EXTERIOR ELEVATION

WINDOW NOTES:

1. WINDOW FRAMES TO BE DARK BRONZE ANODIZED ALUMINUM.
2. WINDOWS FRAMES AT EXTERIOR OPENINGS TO BE THERMALLY BROKEN.
3. SEE DOOR SCHEDULE FOR ALUMINUM ENTRY DOORS AND HARDWARE.
4. ALL WINDOW UNITS TO BE FIXED, EXCEPT DRIVE UP WINDOW.
5. GLAZING TO BE SOLARBAN 60 GRAY GLASS, TO BE SELECTED FROM ACTUAL SAMPLES. VLT = 70%; SHGC = .39; U = .24
6. ALL WINDOWS TO HAVE LOW-E COATING AT THIRD SURFACE OF GLAZING.
7. SEE WINDOW ELEVATIONS THIS SHEET FOR SIZES OF UNITS.
8. CAVITY TO BE ARGON FILLED WITH CAPILLARY TUBES AND 1/2" MIN GLASS THICKNESS. SEE ELEVATIONS FOR TEMPERED GLAZING REQUIRED LOCATIONS OR PER 2018 IBC REQUIREMENTS.
9. SEE FLOOR PLAN A2.0 FOR KEYS LOCATIONS OF EACH WINDOW TYPE.

SCALE: 1/8" = 1'-0"



3 WEST EXTERIOR ELEVATION

4 EAST EXTERIOR ELEVATION

5 PART EAST ELEV

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

SCALE: 1/8" = 1'-0"

EXTERIOR ELEVATIONS MATERIAL LEGEND:

- MS-1: HORIZONTAL BOX RIB METAL SIDING 36" COVERAGE; RIB CENTERS @ 7 1/2"; 1 1/2" DEEP BOX RIBS; EXPOSED COLOR MATCH FASTENERS AT SPACING RECOMMENDED PER MANUFACTURER. 24 GAUGE
- MS-2: 24 GA 1/2" DEPTH CORRUGATED STL SIDING; BRIDGER STEEL BASIS OF DESIGN; COLOR TO BE SELECTED
- COLOR: SLATE GRAY MANUFACTURER: BRIDGER STEEL BASIS OF DESIGN STRUCTURAL 7.2 BOX RIB
- MV-1: MASONRY VENEER-ELDORADO STONE
- MV-2: KANTA SPLIT FACE-EXT FACE SMOOTH @ INSIDE FACE BLOCK; PAINT W/ SHERWIN WILLIAMS LOXON PRIMER AND ELASTOMERIC PAINT-2 COATS; COLOR: SW7019; GAUNTLET GRAY; 244-C6
- FCS-1: JAMES HARDIE; ASPYRE FIBER CEMENT SIDING; ARTISAN SQUARE CHANNEL SIDING; 9" EXPOSURE; 10.25" PANEL WIDTH; INSTALL HORIZONTALLY.
- COLOR: SHERWIN WILLIAMS; SW DURATION EXTERIOR SATIN FINISH PAINT.
- WS-1: HALF LOG SIDING WITH SIKKENS SRD OIL BASED SEMI-TRANSPARENT STAIN.
- WINDOWS: ALL EXTERIOR WINDOWS TO BE DARK BRONZE ANODIZED ALUMINUM; THERMALLY BROKEN; SEE WINDOW SCHEDULE FOR GLAZING AND WINDOW SIZES.
- HM DOORS EXTERIOR HOLLOW METAL DOORS AND FRAMES PER DOOR HARDWARE SCHEDULE AND LEGEND; COLOR: PT-1

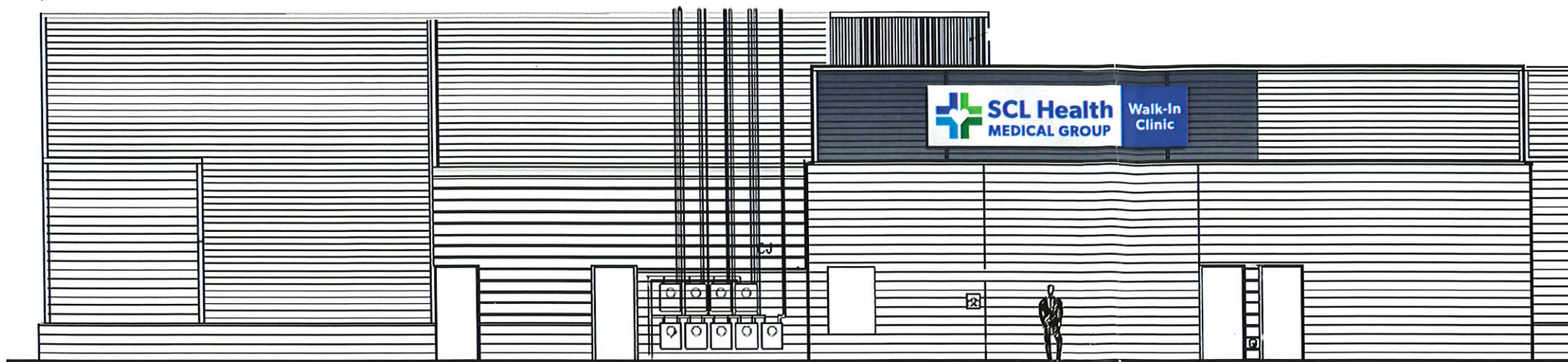
CJ= CONTROL JOINT AT MASONRY VENEER. SEE DETAIL 10/A4.1



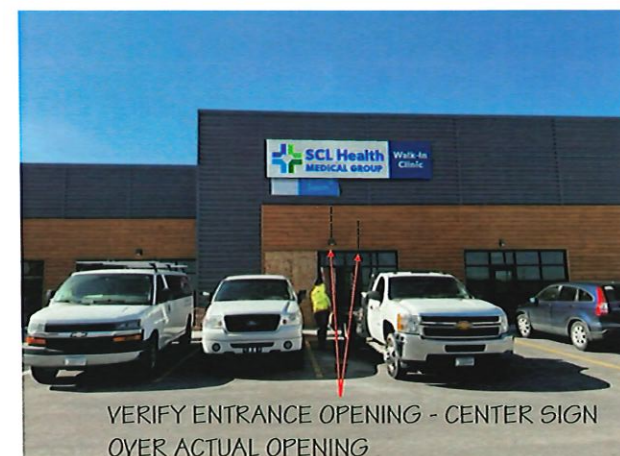
ERIC M. SIMONSEN AIA
 PO BOX 2132
 BILLINGS, MT 59103-2132
 406.256.9060
 406.698.5182
 WWW.SIMONSENARCHITECT.COM

PROJECT: SOLARIS BILLINGS
 DRAWING: EXTERIOR ELEVATIONS
 PROJECT NUMBER: 1923
 DATE: 2020.06.25

A4.0



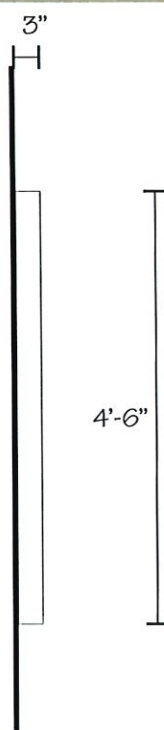
PARTIAL SOUTH ELEVATION SCALE 3/32" = 1'-0"



VERIFY ENTRANCE OPENING - CENTER SIGN OVER ACTUAL OPENING

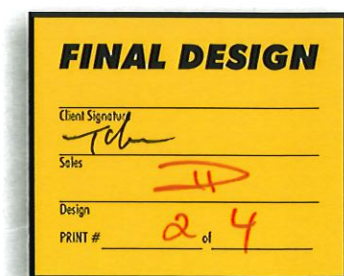


PARTIAL NORTH ELEVATION SCALE 3/32" = 1'-0"



SINGLE FACED NON-ILLUMINATED BUILDING SIGNS SCALE 1/2" = 1'-0"

A MANUFACTURE AND INSTALL TWO(2) SINGLE FACED NON-ILLUMINATED TEMPORARY BUILDING SIGNS, Y-GROOVED WHITE DIBOND PANEL TO FORM 3" DEEP REVERSE PAN PANELS. APPLIED OPAQUE VINYL GRAPHICS. 7725-37 SAPPHIRE BLUE, 7725-57 OLYMPIC BLUE, 7725-186 BRIGHT GREEN AND 7725-196 APPLE GREEN VINYLs. MOUNT SIGNS TO ANGLE IRON BRACKETS FLUSH TO BUILDING WALL IN LOCATIONS SHOWN IN ELEVATIONS ABOVE.



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DESIGNER	TP
DESIGN #	SR
SALES	TONY D.
DATE	05-09-22
SCALE	SHOWN
SHEET #	1 OF 1
CLIENT	SCL HEALTH LAUREL, MT
CLIENT	SIGN PRODUCTS, INC. 1425 MONAD, BILLINGS, MT 59104 Phone: (406) 252-6348 Fax: (406) 252-6654
SIGN PRODUCTS	
33	

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

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Owner <u>Solberg Enterprises, LLC</u>	Telephone <u>406-252-6348</u> <small>Tom Gross (Install Contact)</small>
Contractor <u>Sign Products, Inc.</u>	Subdivision <u>LAUREL INDUSTRIAL PARK</u>
Address <u>1425 Monad Rd Billings, MT 59101</u>	Lot <u>5A1</u> Block <u>2</u> Tract _____ Zoning <u>HC</u>
Telephone <u>406-252-6348</u>	Valuation of Project \$ <u>8,960</u>
City License <u>#370</u>	Description of Work: <u>Install (2) 4'x15.25' illuminated wall signs.</u> <u>- PRIMARY ELECTRIC IS EXISTING OR BY OTHERS</u>
Special Conditions _____	
Occupancy _____	Type of Construction <u>Signs</u> Number of Units <u>2</u> Total Square Feet <u>122</u> Rated Walls _____

BUILDING Approved To Issue By _____ Date _____

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1000-323011 re-inspection	\$ _____
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5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant  Date 6-27-22
Tom Gross

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>331 S Washington Ave, Suites Hi-I, Laurel</u>		Owner <u>Solberg Enterprises, LLC</u>		Telephone <u>406-252-6348</u> <small>(Tom Gross Install Contact)</small>	
Contractor _____		Subdivision <u>Laurel Industrial Park</u>		Lot <u>5A1</u> Block <u>2</u> Tract _____ Zoning <u>HC</u>	
Address _____		Valuation of Project \$ <u>8,960</u>		Description of Work: <u>Install two 4'x15.25' illuminated wall signs</u>	
Telephone _____		City License _____		<u>- PRIMARY ELECTRIC IS EXISTING OR BY OTHERS</u>	
Special Conditions _____		Occupancy _____		Type of Construction <u>Sign</u> Number of Units <u>2</u> Total Square Feet <u>122</u> Rated Walls _____	

BUILDING Approved To Issue By _____ Date _____

THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:

Footings	_____	Inspector	_____	Date Approved	_____
Foundation	_____	Inspector	_____	Date Approved	_____
Damp-proofing	_____	Inspector	_____	Date Approved	_____
Ground Inspection	_____	Inspector	_____	Date Approved	_____
Framing	_____	Inspector	_____	Date Approved	_____
Roofing	_____	Inspector	_____	Date Approved	_____
Insulation	_____	Inspector	_____	Date Approved	_____
Gypsum/Drywall	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____

FINAL INSPECTIONS

Fire	_____	Inspector	_____	Date Approved	_____
Building	_____	Inspector	_____	Date Approved	_____
Site Improvements	_____	Inspector	_____	Date Approved	_____

Call 628-4796 - 24 hours in advance to schedule inspections.

Do not cover or conceal any work before the required inspection has been approved.

This card and one set of approved plans must be available to the inspector at the job site during all inspections.

File Attachments for Item:

5. Walmart Sign Permit

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address <u>Walmart - 101 Bernhardt Road, Laurel, MT</u>	
Owner <u>Walmart Stores Inc.</u>	Telephone <u>479.877.6920</u>
Contractor <u>t.b.d</u>	Subdivision _____
Address _____	Lot _____ Block _____ Tract _____ Zoning _____
Telephone _____	Valuation of Project \$ <u>20,000</u>
City License _____	Description of Work: <u>Replacing all existing Walmart signs with new signs, includes face changes to existing site signs.</u>
Special Conditions _____	_____
Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____	

BUILDING Approved To Issue By _____	Date _____
--	-------------------

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, it's officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

FEES AND CHARGES	
1000-323011 building	\$ _____
1000-323014 plan review	\$ _____
1000-323011 fence	\$ _____
1000-323011 roof	\$ _____
1000-323053 sign	\$ _____
1000-323011 mh install	\$ _____
1000-323011 investigation	\$ _____
1000-323011 re-inspection	\$ _____
1000-322022 utility hook up	\$ _____
5210-343033 SDF water	\$ _____
5310-343033 SDF sewer	\$ _____
other	\$ _____
Total Amount due	\$ _____
Amount Paid	\$ _____

Signature of Applicant Jennifer Paquin On behalf of Walmart Date 7.15.22

jennifer.paquin@pb2ae.com ; 479.877.6920 pb2 architecture + engineering

CONSTRUCTION PERMIT AND APPLICATION

CITY OF LAUREL, MONTANA

PERMIT No. _____

Job Address _____	
Owner _____	Telephone _____
Contractor _____	Subdivision _____
Address _____	Lot _____ Block _____ Tract _____ Zoning _____
Telephone _____	Valuation of Project \$ _____
City License _____	
Special Conditions _____	Description of Work: _____
Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____	

BUILDING Approved To Issue By _____	Date _____
--	------------

THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:

Footings	_____	Inspector	_____	Date Approved	_____
Foundation	_____	Inspector	_____	Date Approved	_____
Damp-proofing	_____	Inspector	_____	Date Approved	_____
Ground Inspection	_____	Inspector	_____	Date Approved	_____
Framing	_____	Inspector	_____	Date Approved	_____
Roofing	_____	Inspector	_____	Date Approved	_____
Insulation	_____	Inspector	_____	Date Approved	_____
Gypsum/Drywall	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____
Other	_____	Inspector	_____	Date Approved	_____

FINAL INSPECTIONS

Fire	_____	Inspector	_____	Date Approved	_____
Building	_____	Inspector	_____	Date Approved	_____
Site Improvements	_____	Inspector	_____	Date Approved	_____

Call 628-4796 - 24 hours in advance to schedule inspections.

Do not cover or conceal any work before the required inspection has been approved.

This card and one set of approved plans must be available to the inspector at the job site during all inspections.

File Attachments for Item:

6. Your Pie Sign and Development



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101 SOUTH 1ST AVENUE LAUREL, MT 59044

PROJECT:

DRAWING SYMBOLS:

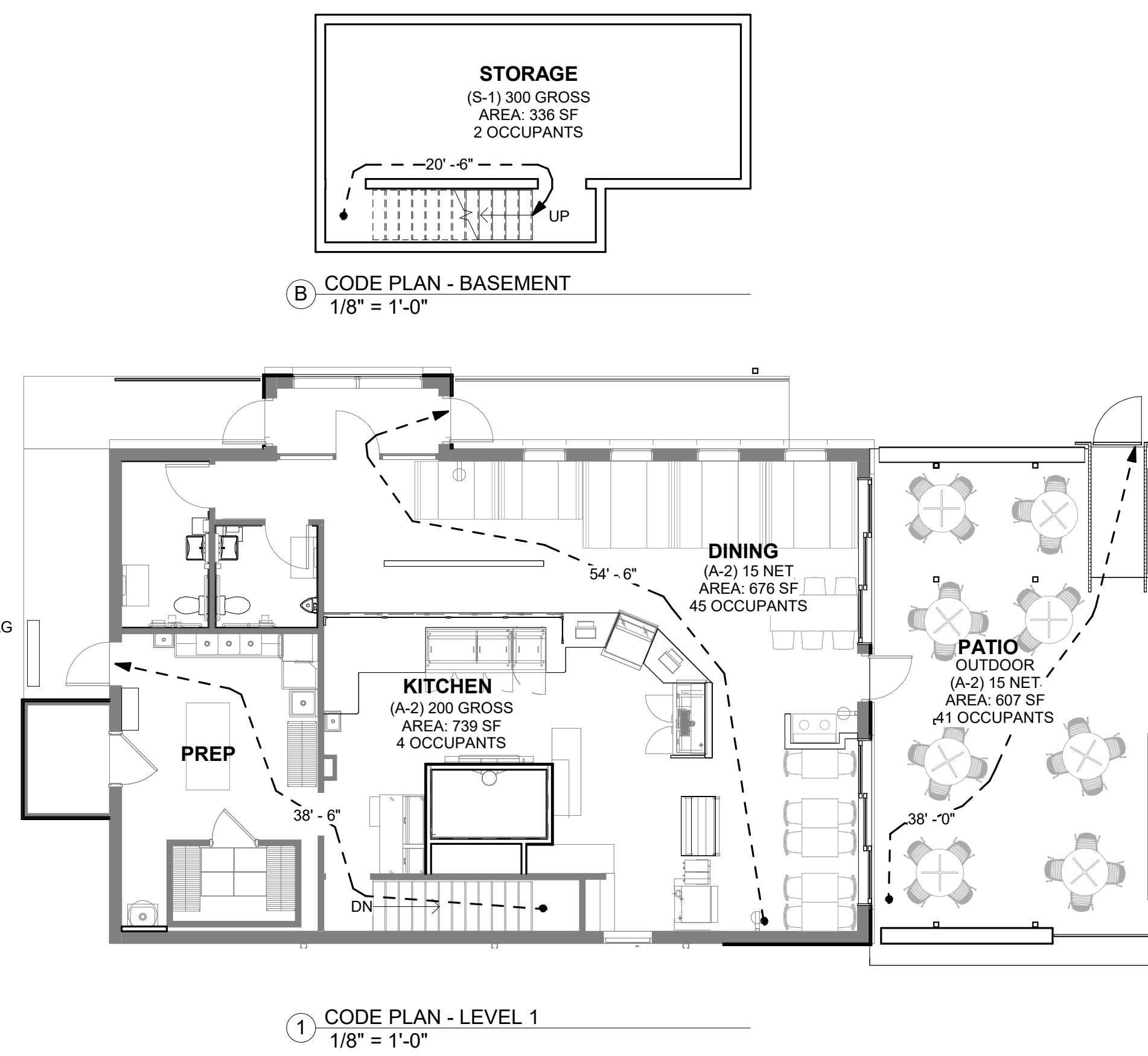
CODE PLANS:

PROJECT DATA:

DRAWING INDEX:

DRAWING SYMBOLS:

- BUILDING SECTION REFERENCE
- WALL SECTION REFERENCE
- DETAIL SECTION REFERENCE
- INTERIOR ELEVATION REFERENCE
- EXTERIOR ELEVATION REFERENCE
- VIEW NUMBER
VIEW NAME
VIEW SCALE
- WINDOW TAG
- CEILING HEIGHT TAG
- DOOR TAG
- INTERIOR PARTITION TYPE
- ASSEMBLY TYPE REFERENCE
- KEYNOTE REFERENCE
- FLOOR FINISH TAG
- WALL FINISH TAG
- DETAIL CALLOUT
- GRID LINE / MAP LINE
- VERTICAL ELEVATION REFERENCE
- DIMENSION LINE
- NORTH ARROW
- REVISION CLOUD AND TAG
- PLUMBING FIXTURE TAG
- SPECIALTY EQUIPMENT TAG
- CASEWORK TAG
- NOTE AND LEADER
- CENTERLINE
- SMOKE AND CO2 DETECTOR
- 20R @ 7 1/2" STAIR RISER TAG
- LIGHTING FIXTURE TAG



ADDRESS: 101 SOUTH 1ST AVENUE
LAUREL, MONTANA 59044

BUILDING CODES: THIS PROJECT SHALL COMPLY WITH THE CURRENT ADOPTED CODES INCLUDING 2018 IBC AND ADMINISTRATIVE RULES OF MONTANA

CONSTRUCTION TYPE: VB

SCOPE OF WORK:
THIS PROJECT PROPOSES TO RENOVATE AN EXISTING A-2 OCCUPANCY (RESTAURANT) TO A NEW A-2 RESTAURANT OCCUPANCY. THERE ARE PROPOSED EXTERIOR IMPROVEMENTS INCLUDING AN OUTDOOR PATIO (LESS THAN 50 OCCUPANTS) WITH A CANOPY.

SPACE	SF	USE
DINING	676 SF	A-2
KITCHEN	509 SF	A-2
PREP	230 SF	A-2
STORAGE	336 SF	S-1
PATIO	607 SF	A-2
RESTROOMS	118 SF	

- DRAWING INDEX:**
- T1 TITLE SHEET
 - A1.0 SITE PLAN
 - A1.1 FLOOR PLAN
 - A1.2 RCP AND ROOF PLAN
 - A2.1 ELEVATIONS
 - A3.1 INTERIOR ELEVATIONS
 - S1.0 FRAMING
 - S2.0 SECTIONS
 - S3.0 NOTES
 - K1 FOOD SERVICE DESIGN EQUIPMENT PLAN

ARCHITECT:
STUDIO4 ARCHITECTS
27 SHILOH ROAD, SUITE 8
BILLINGS, MT 59106
406.656.1714

STRUCTURAL ENGINEER:
KRIVONEN AND ASSOCIATES
725 GRAND AVE.
BILLINGS, MT 59101
406.259.1184

MECHANICAL/PLUMBING ENGINEER:
SIMPLICITY ENGINEERING, LLC
BILLINGS, MT 59105
406.254.7157

CHAPTER 3
OCCUPANCY CLASSIFICATION: A-2

CHAPTER 6
FIRE RESISTANCE RATING FOR BUILDING ELEMENTS (2018 IBC T601):
STRUCTURAL FRAME, BEARING WALLS, NON BEARING WALLS, FLOOR AND ROOF:
0 HOURS FOR TYPE VB

FIRE RATING FOR EXTERIOR WALLS BASED ON FIRE SEPARATION DISTANCES (T602):
LESS THAN 5 FEET = 1 HR
5 FEET OR LESS THAN 10 FEET = 1 HR
10 FEET OR LESS THAN 30 FEET = 0 HR
GREATER THAN 30 FEET = 0 HR

CHAPTER 8
INTERIOR FINISHES (TABLE 803.13)
-FOR A-2 OCCUPANCIES IN A BUILDING WITHOUT FIRE SPRINKLERS:
1) CLASS B PERMITTED IN INTERIOR EXITS, FOOT NOTE B.
2) CLASS A PERMITTED IN CORRIDORS
3) CLASS C PERMITTED IN ROOMS AND ENCLOSED SPACES WITH AN OCCUPANT LOAD OF 300 PERSONS OR LESS PER FOOTNOTE E.

CHAPTER 9
FIRE SPRINKLERS NOT REQUIRED PER 2018 IBC 903.2

CHAPTER 10
MEANS OF EGRESS
(SEE CODE PLANS ON SHEET INDICATING OCCUPANT LOAD FACTOR FOR FUNCTION OF SPACE PER 2018 TABLE 1004.5)

ARM RULE 24.301.351
TOTAL OCCUPANCY: 92 / 2 = 46 OCCUPANTS PER SEX.
WATER CLOSETS PROVIDED (1 PER 75) = 1 WC PER SEX
(1) URINAL PROVIDED PER FOOTNOTE G

ANSI 117.1-2017
CLEAR TURNING SPACE OF 67" DIAMETER WITH A 10" KNEE AND TOE CLEARANCE (304.3.1)

SET:

PROJECT NO. 2224
DRAWN BY: BW
CHECKED BY: FHN

DATES:

1 City Comments 1 6/29/2022

SHEET:
T1

TITLE SHEET



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PROJECT:

YOUR PIE - LAUREL
101 S 1ST AVENUE
LAUREL, MT 59044

SET:

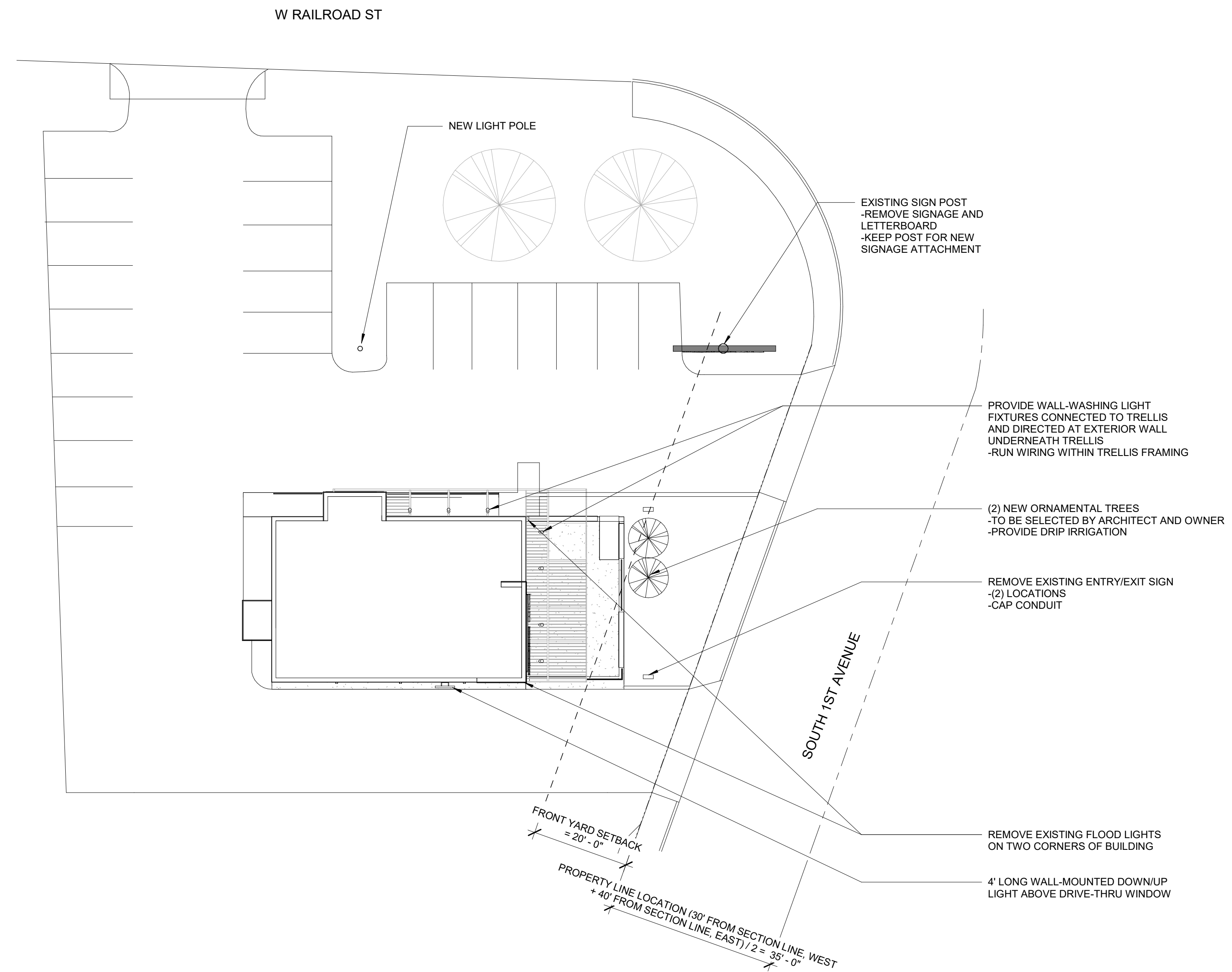
PROJECT NO. 2224
DRAWN BY: Author
CHECKED BY: Checker

DATES:

1 City Comments 1 6/29/2022

SHEET:
A1.0

SITE PLAN



① OVERALL SITE PLAN
1/16" = 1'-0"

GENERAL NOTES:

- A. THE CONTRACTOR SHALL TAKE ALL NECESSARY PRECAUTIONARY MEASURES TO PROTECT THE PUBLIC AND ADJACENT PROPERTIES FROM DAMAGE THROUGHOUT CONSTRUCTION.
- B. THESE DRAWINGS ARE DIAGRAMMATIC AND SHALL NOT BE SCALED. ADDITIONAL DATA SHALL BE FROM THE ARCHITECT THROUGH WRITTEN CLARIFICATION ONLY. VERIFY ALL EXISTING CONDITIONS, ELEVATIONS, AND DIMENSIONS BEFORE PROCEEDING WITH ANY PORTION OF ANY WORK.
- C. NO CHANGES, MODIFICATIONS OR DEVIATIONS SHALL BE MADE FROM THE DRAWINGS OR SPECIFICATIONS WITHOUT FIRST SECURING WRITTEN PERMISSION FROM THE ARCHITECT.
- D. WHERE LACK OF INFORMATION, OR ANY DISCREPANCY SHOULD APPEAR IN THE DRAWINGS OR SPECIFICATIONS, REQUEST WRITTEN INTERPRETATION FROM THE ARCHITECT BEFORE PROCEEDING WITH THAT PORTION OF THE WORK.
- E. ALL WORK AS OUTLINED IN THESE DOCUMENTS, SHALL STRICTLY CONFORM TO ALL APPLICABLE CODES AND ORDINANCES. IN THE EVENT OF A CONFLICT, THE MORE STRINGENT REQUIREMENT SHALL GOVERN AND BE MET.
- F. THE CONTRACTOR SHALL OBTAIN ALL PERMITS, LICENSES, ETC. NECESSARY FOR A PROPER COMPLETION OF THE WORK. THE CONTRACTOR SHALL GUARANTEE ALL WORKMANSHIP AND MATERIALS FOR A PERIOD OF ONE (1) YEAR FROM THE DATE OF SUBSTANTIAL COMPLETION OR AS OTHERWISE REQUIRED IN THE SPECIFICATIONS.
- G. WHEN A SYSTEM OR ASSEMBLY IS CALLED OUT FOR, ALL NECESSARY PARTS AND MATERIALS REQUIRED FOR A COMPLETE INSTALLATION / SYSTEM SHALL BE PROVIDED AND INSTALLED ACCORDING TO THE MANUFACTURERS INSTRUCTIONS.
- H. UNLESS OTHERWISE NOTED, ELECTRICAL CONDUITS, PLUMBING LINES, ETC. SHALL BE RUN CONCEALED AND FRAMING SHALL BE ADEQUATE SIZE TO ACCOMPLISH THE RESULT WITHOUT CAUSING ANY CHANGES IN THE WALL PLANE.

- I. DIMENSIONS ARE SHOWN FROM FACE OF STUD TO FACE OF STUD AND EDGE OF ROUGH OPENING UNLESS OTHERWISE NOTED.
- J. IF THE CONTRACTOR OR SUBCONTRACTOR SHOULD FIND ANY DISCREPANCY IN AND / OR OMISSIONS FROM THESE DRAWINGS OR IF THE CONTRACTOR SHOULD BE IN QUESTION AS TO THEIR MEANING OR INTENT, THE CONTRACTOR SHOULD CONTACT THE ARCHITECT AT ONCE FOR INTERPRETATION OR CLARIFICATION.
- K. TEMPERED SAFETY GLAZING IS REQUIRED IN THE FOLLOWING LOCATIONS:
 - IN SWINGING, HINGED, OR BIFOLD DOORS.
 - GLASS IN RAILING SYSTEMS
 - WINDOWS WITHIN 24" OF A DOOR AND WITHIN 60" OF THE FLOOR
 - OR - ALL OF THE FOLLOWING:
 - WINDOWS WITH AN INDIVIDUAL PANE SIZE GREATER THAN 9 SF
 - GLASS WITHIN 18" OF THE FLOOR
 - EXPOSED TOP EDGE GREATER THAN 36" ABOVE THE FLOOR.
 - ONE OR MORE WALKING SURFACES WITHIN 36" HORIZONTALLY
- L. CONTRACTOR AND WINDOW MANUFACTURER ARE EXPRESSLY RESPONSIBLE FOR WINDOWS MEETING ALL CODES, INCLUDING EGRESS REQUIREMENTS.

GENERAL INTERIOR FINISH NOTES:

- NO SUBSTITUTIONS OF MATERIALS OR FINISHES WILL BE ALLOWED UNLESS NOTED ON CONSTRUCTION DOCUMENTS AND APPROVED BY ARCHITECT AND OWNER/TENANT PRIOR TO FABRICATION OR INSTALLATION. ANY DISCREPANCY BETWEEN THE FINISH SPECIFICATIONS AND FLOOR/WALL FINISH PLAN SHOULD BE BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO ORDERING OR INSTALLATION BY ANY SUBCONTRACTOR. ALL MILLWORK SHOP DRAWINGS TO BE APPROVED BY TENANT PRIOR TO FABRICATION.
- 1. PAINTED SURFACES TO BE EGGSHELL FINISH UNLESS NOTED OTHERWISE. APPLY ALL PAINT (LOW VOC) PER MANUFACTURER'S SPECIFICATION.
- 2. PROVIDE LEVEL 4 FINISH ON ALL DRYWALL WALLS WITH (1) COAT PRIMER, (2) COATS OF PAINT, PROVIDE FLAT (LEVEL 5) FINISH AT ALL GYPSUM BOARD SOFFITS, CEILINGS AND WALLS TO RECEIVE WALL COVERINGS.
- 3. PAINT ALL SUPPLY, RETURNS, VENTS AND ACCESS WALL PANELS THE ADJACENT WALL OR CEILING COLOR THROUGHOUT ENTIRE SPACE.
- 4. SEE OWNER FOR COLOR OF ANY NEW SWITCH, OUTLET, AND DATA LINE FACE PLATES.
- 5. GENERAL CONTRACTOR TO PROVIDE SHOP DRAWINGS FOR ALL MILLWORK, FINISHES, AND FIXTURES FOR ARCHITECT AND OWNER REVIEW AND APPROVAL PRIOR TO ORDERING AND INSTALLATION. ALL MILLWORK TO BE CONSTRUCTED PER AWI STANDARDS WITH THE USE OF PREMIUM GRADE MATERIALS.
- 6. PROVIDE PROPER TRANSITION SEAM BETWEEN DIFFERING FLOOR FINISHES.
- 7. GENERAL CONTRACTOR AND SUBCONTRACTORS ARE TO INSTALL ALL FINISHES, MATERIALS AND EQUIPMENT PER MANUFACTURER'S SPECIFICATIONS.



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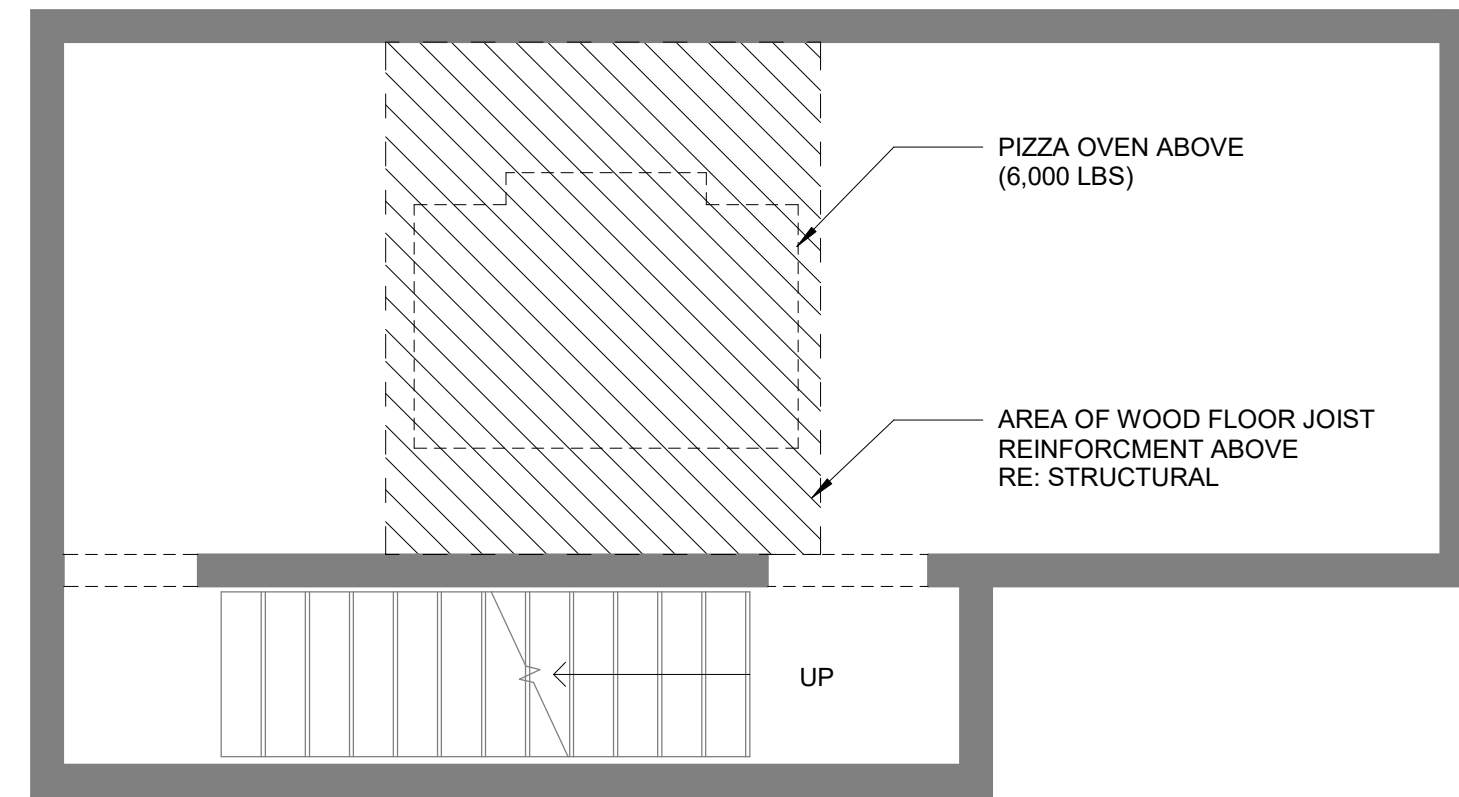
INTERIOR PARTITION TYPES LEGEND

INTERIOR PARTITION NAMING CONVENTION

STRUCTURE	FIRE RESISTANCE RATING	SUB-TYPE
A	7/8"	HAT CHANNEL
B	1 5/8"	STEEL STUD
C	2 1/2"	STEEL STUD
D	3 5/8"	STEEL STUD
F	6"	STEEL STUD
G	2 1/2"	DOUBLE STEEL STUD
H	3 5/8"	DOUBLE STEEL STUD
J	2 1/2"	C-H STEEL STUD
K	4"	C-H STEEL STUD
L	6"	C-H STEEL STUD
M	2x4	WOOD STUD
N	2x6	WOOD STUD
P	2x8	WOOD STUD
Q	2x4	DOUBLE WOOD STUD
R	8"	CMU
S	12"	CMU
Z	1 1/2"	2" FURRING CHANNEL

EXAMPLE

D1s



B EXISTING PARTIAL BASEMENT
1/4" = 1'-0"

REMOVE EXISTING RAILING AND REPLACE WITH BAR STOCK FABRICATED RAILINGS WITH WOOD CAP

FINISH SCHEDULE

FINISH ABBREV	DESCRIPTION
FLOOR FINISHES	
T1	FLOOR TILE - CORPORATE FRANCHISE STANDARD TILE
T2	FLOOR TILE - CORPORATE FRANCHISE STANDARD QUARRY TILE
BASE FINISHES	
WB	6" WOOD BASE (CORPORATE STANDARD)
RB	6" RUBBER COVE BASE
WALL FINISHES	
P1	PAINT (COLOR TBD)
T3	GLAZED CERAMIC WALL TILE - CORPORATE FRANCHISE STANDARD WALL TILE
T4	GLAZED CERAMIC WALL TILE - (RED) CORPORATE FRANCHISE STANDARD WALL TILE
CEILING FINISHES	
ACT1	ACOUSTICAL LAY-IN CEILING TILE
ACT2	WASHABLE ACOUSTICAL LAY-IN CEILING TILE
P3	ACCENT PAINT - COLOR BY CORPORATE STANDARD
MISC. FINISHES	
TT	SCHLUTER SYSTEMS TILE COVE TRIM - DILEX - BLACK

ROOM FINISH SCHEDULE

ROOM	N WALL	E WALL	S WALL	W WALL	WAINSCOT	FLOOR	BASE	CEILING
DINING	P1	P1	P1	P1	-	T1	WB	ACT1
KITCHEN	-	-	P1	P1	-	T2	RB	ACT2
PREP	FRP	FRP	FRP	FRP	-	T2	RB	P1
MEN	P1/T3	P1/T3	P1/T3	P1/T3	T3	T1	TT	P1
WOMEN	P1/T3	P1/T3	P1/T3	P1/T3	T3	T1	TT	P1

PROJECT:

YOUR PIE - LAUREL
101 S 1ST AVENUE
LAUREL, MT 59044

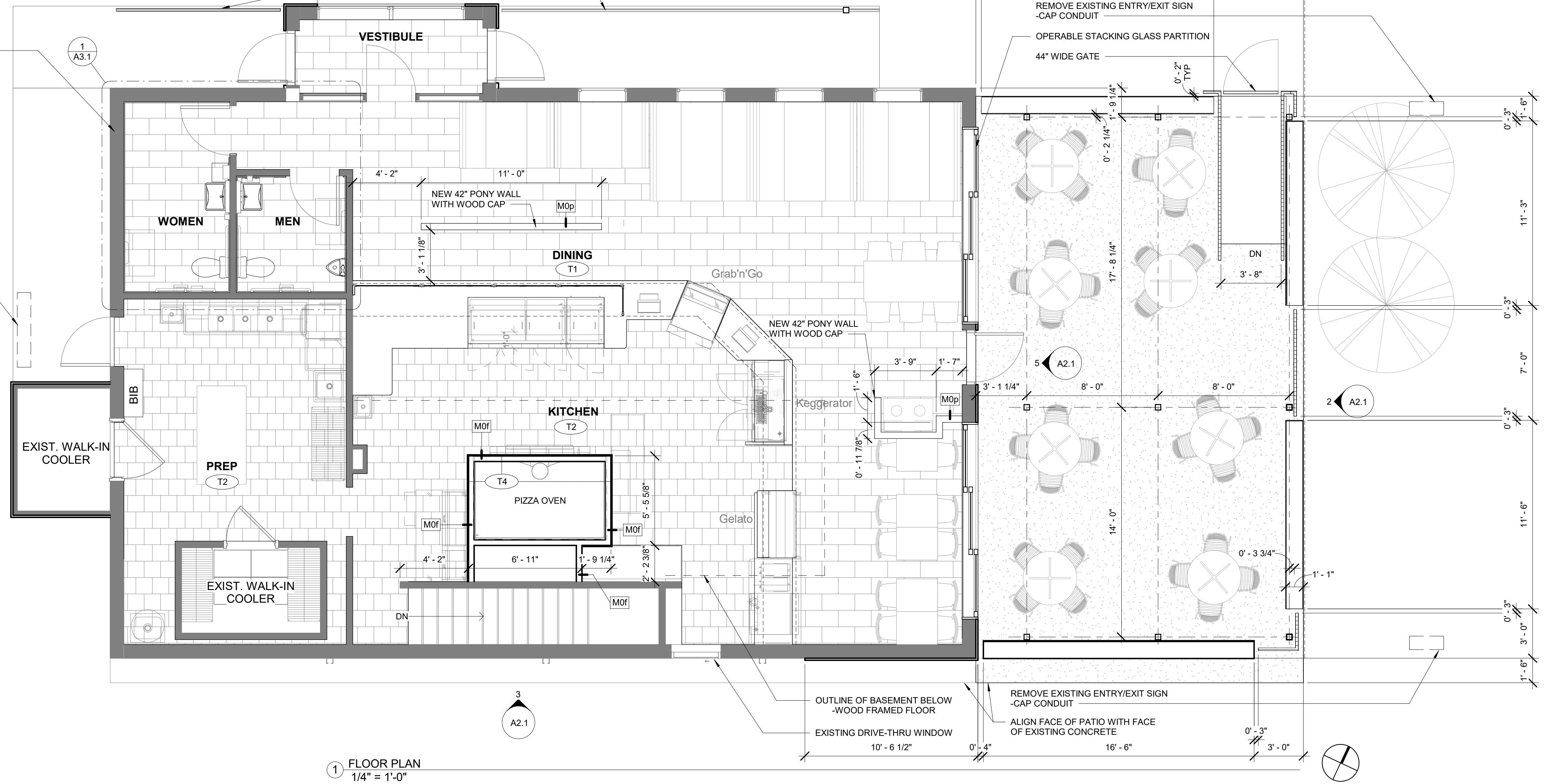
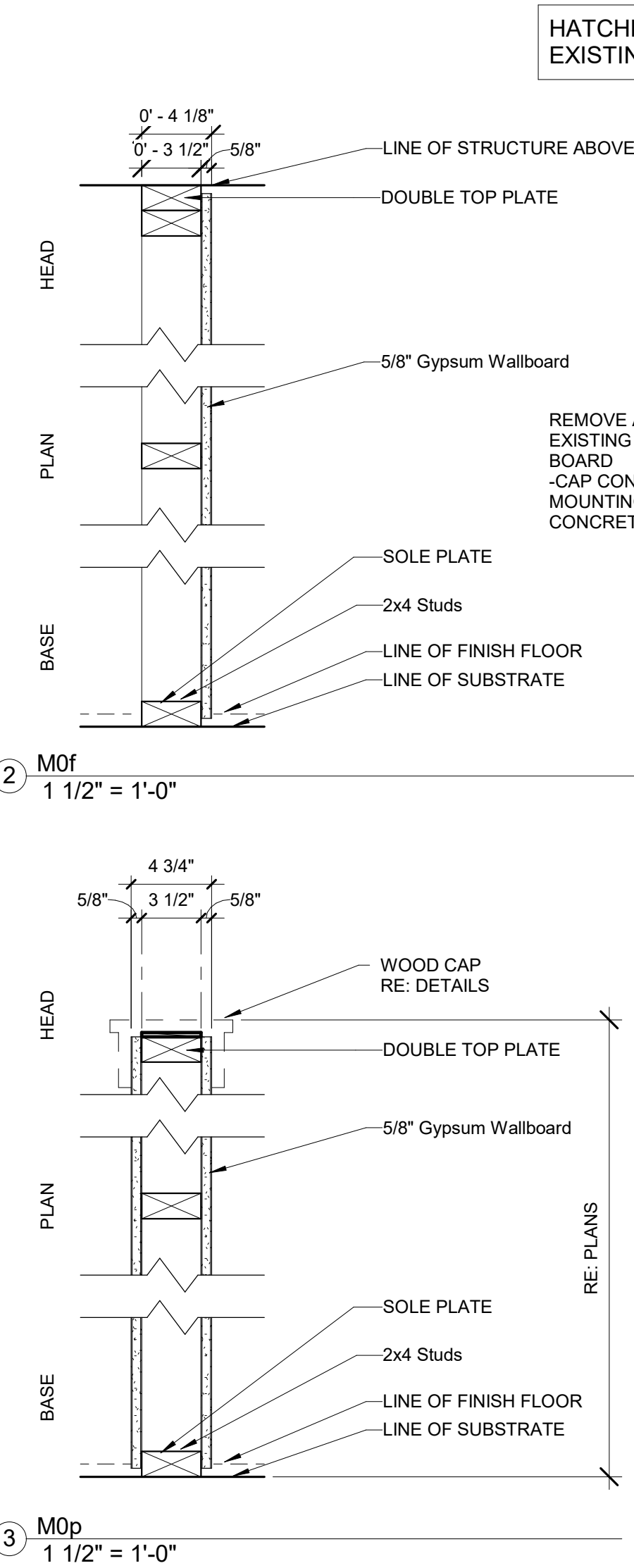
SET:

PROJECT NO. 2224
DRAWN BY: BW
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SHEET:
A1.1

FLOOR PLAN



1 FLOOR PLAN
1/4" = 1'-0"



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PROJECT:

**YOUR PIE - LAUREL
101 S 1ST AVENUE
LAUREL, MT 59044**

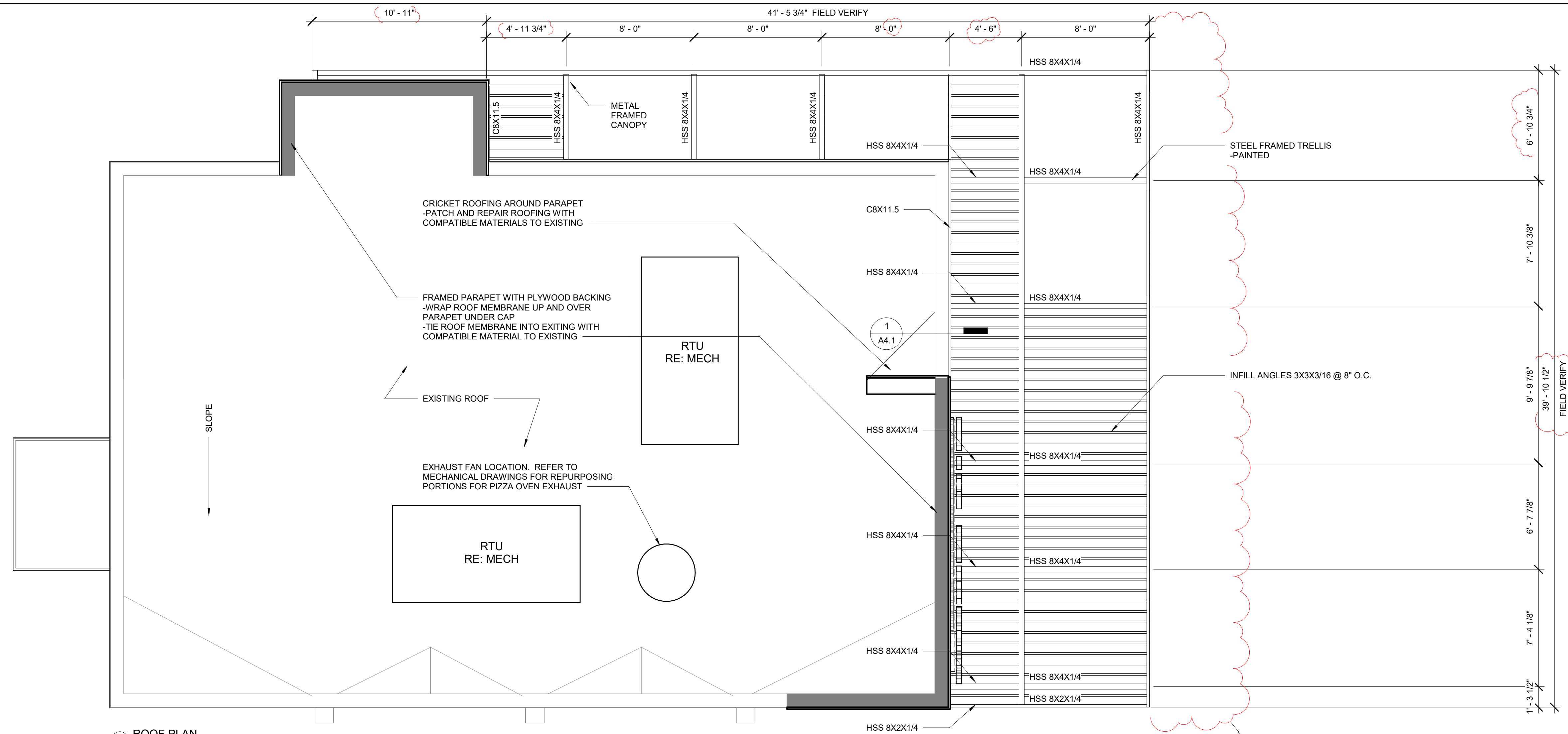
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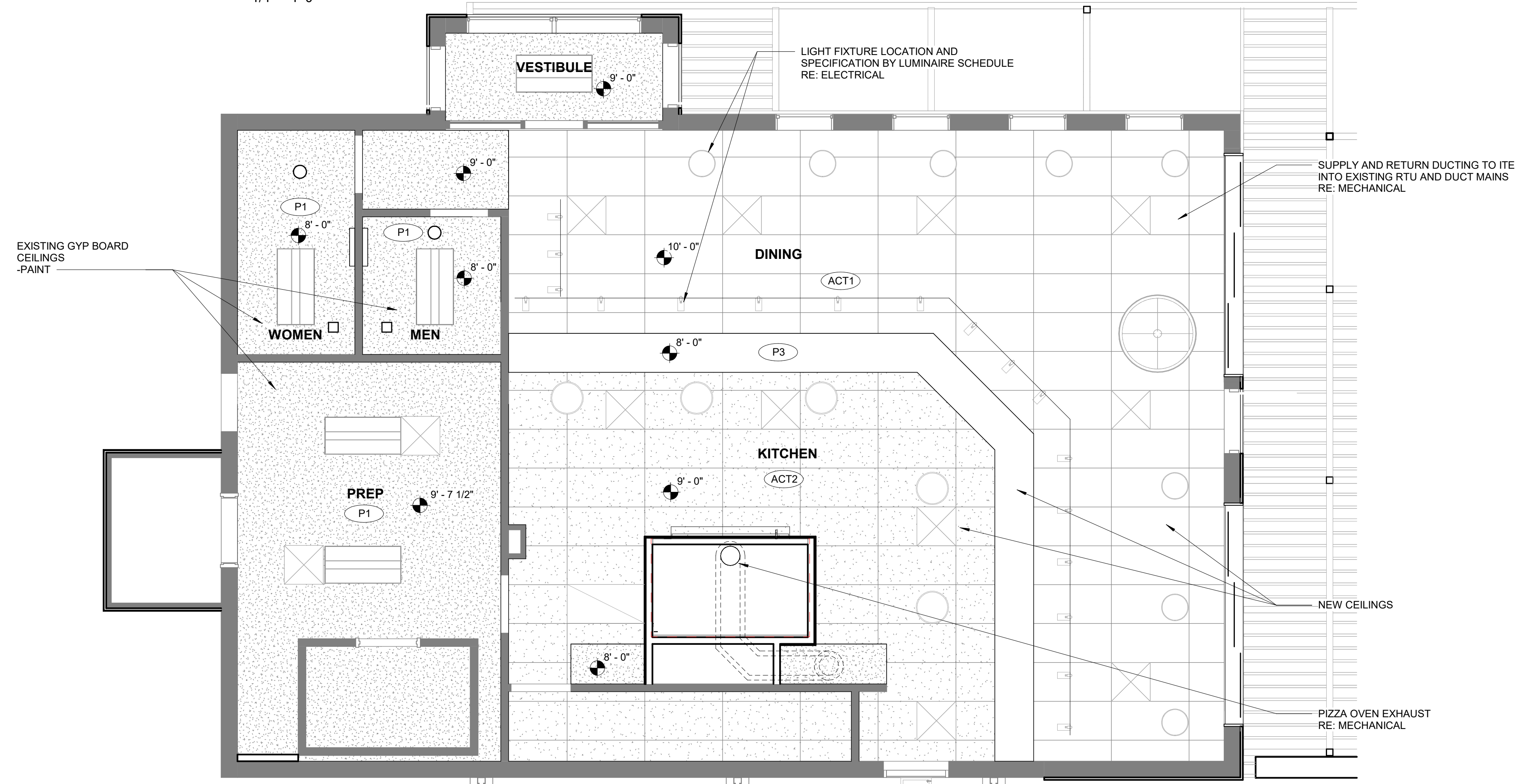
DATES:

1 City Comments 1 6/29/2022

**SHEET:
A1.2**
RCP AND
ROOF PLAN



2 ROOF PLAN
1/4" = 1'-0"



1 REFLECTED CEILING PLAN
1/4" = 1'-0"



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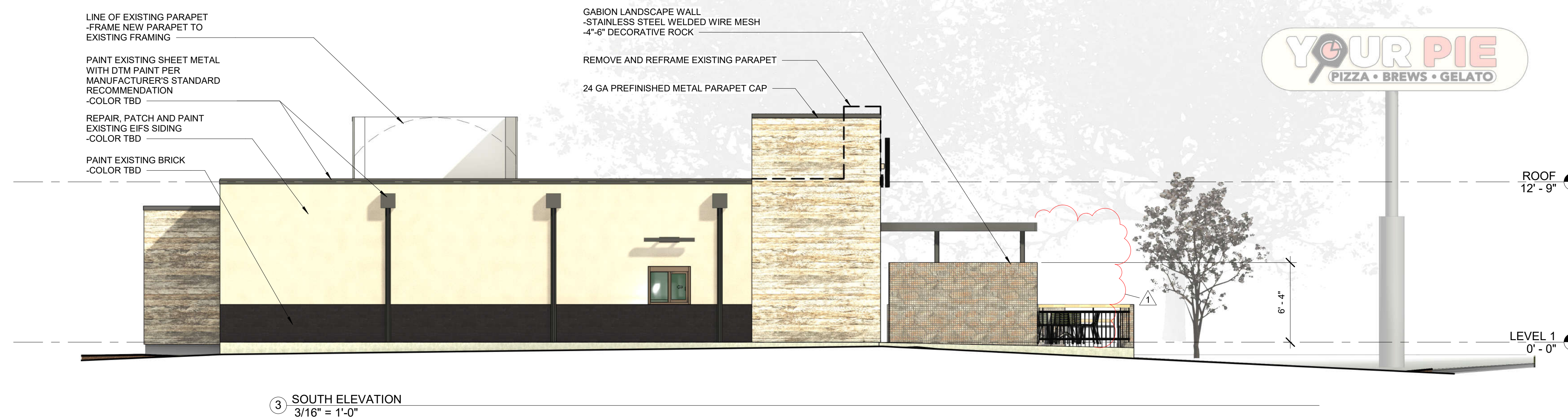
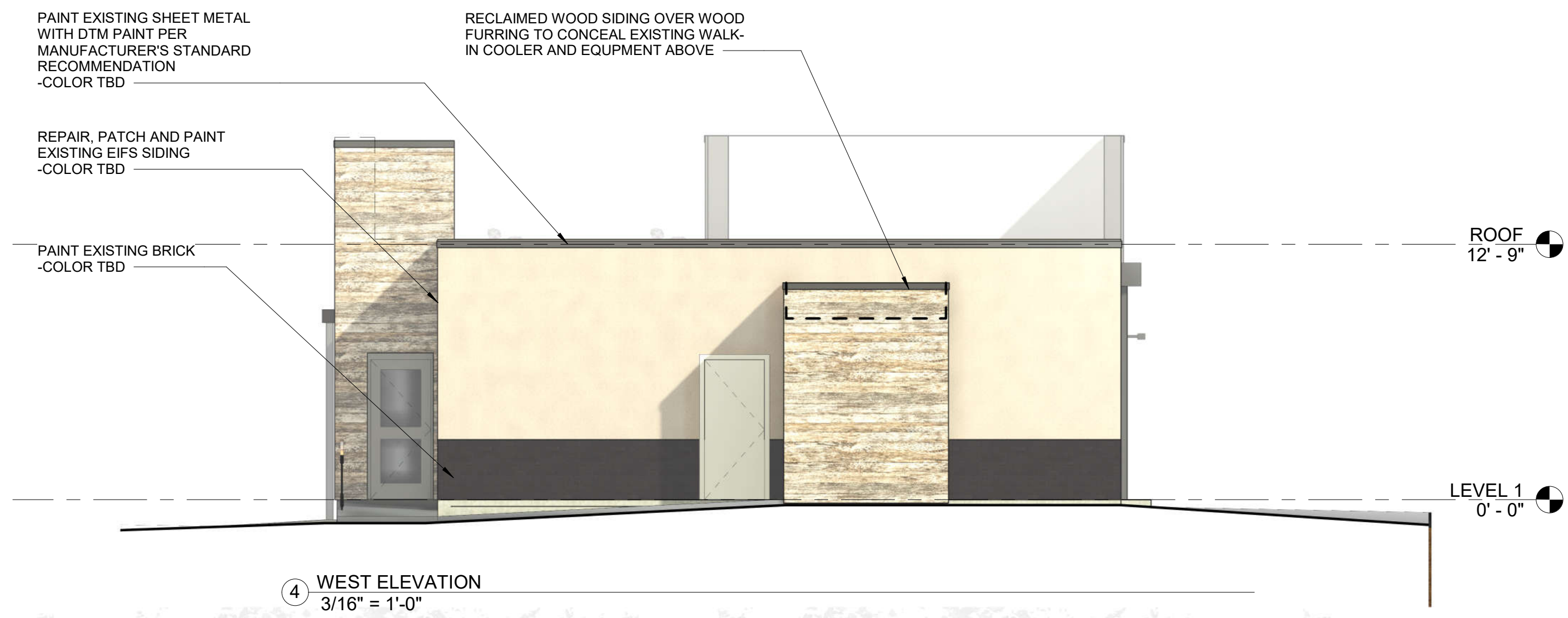
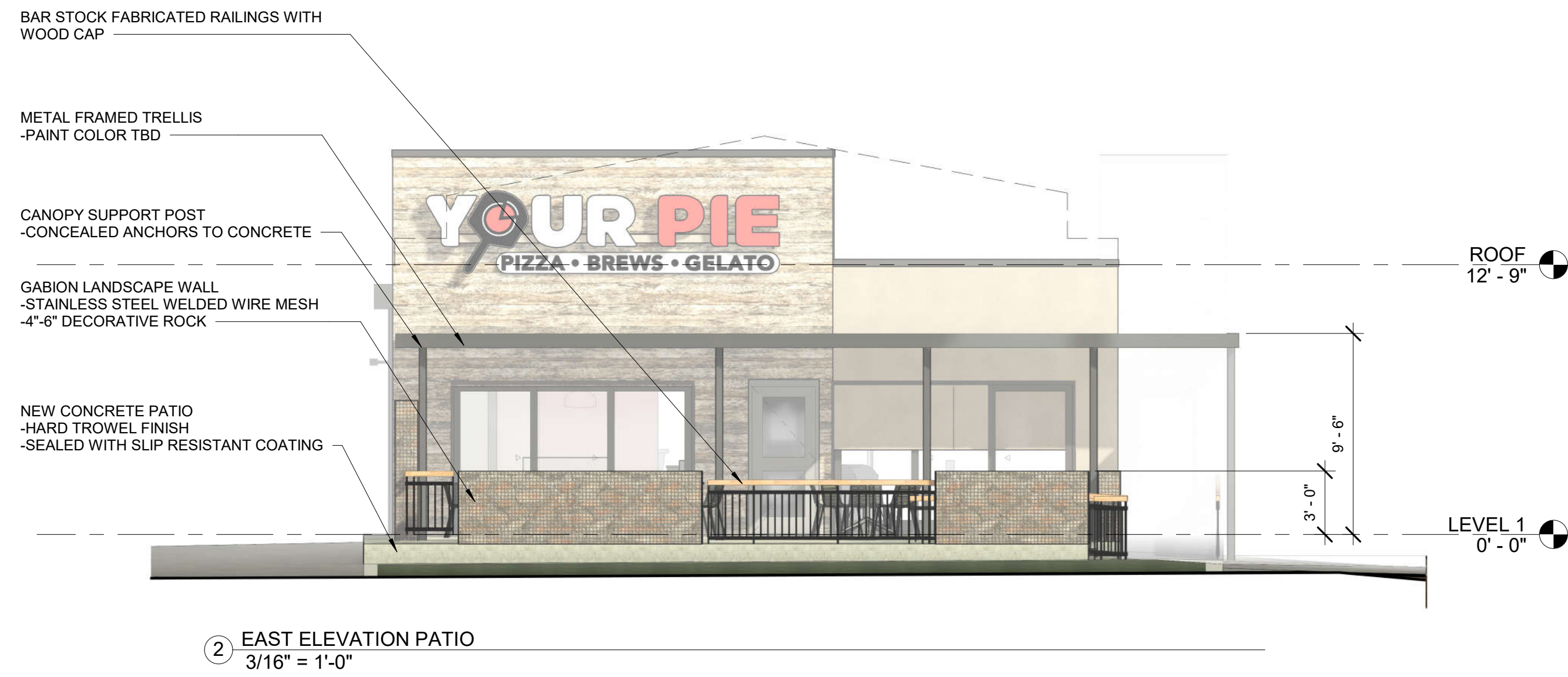
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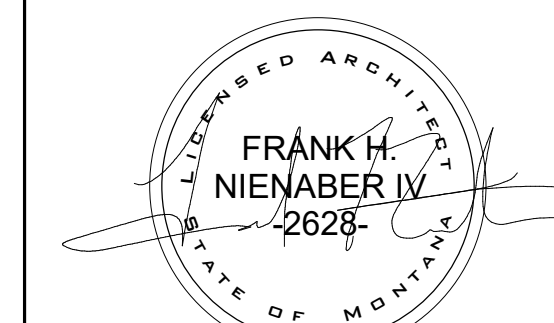
DATES:

1 City Comments 1 6/29/2022

SHEET:
A2.1

ELEVATIONS



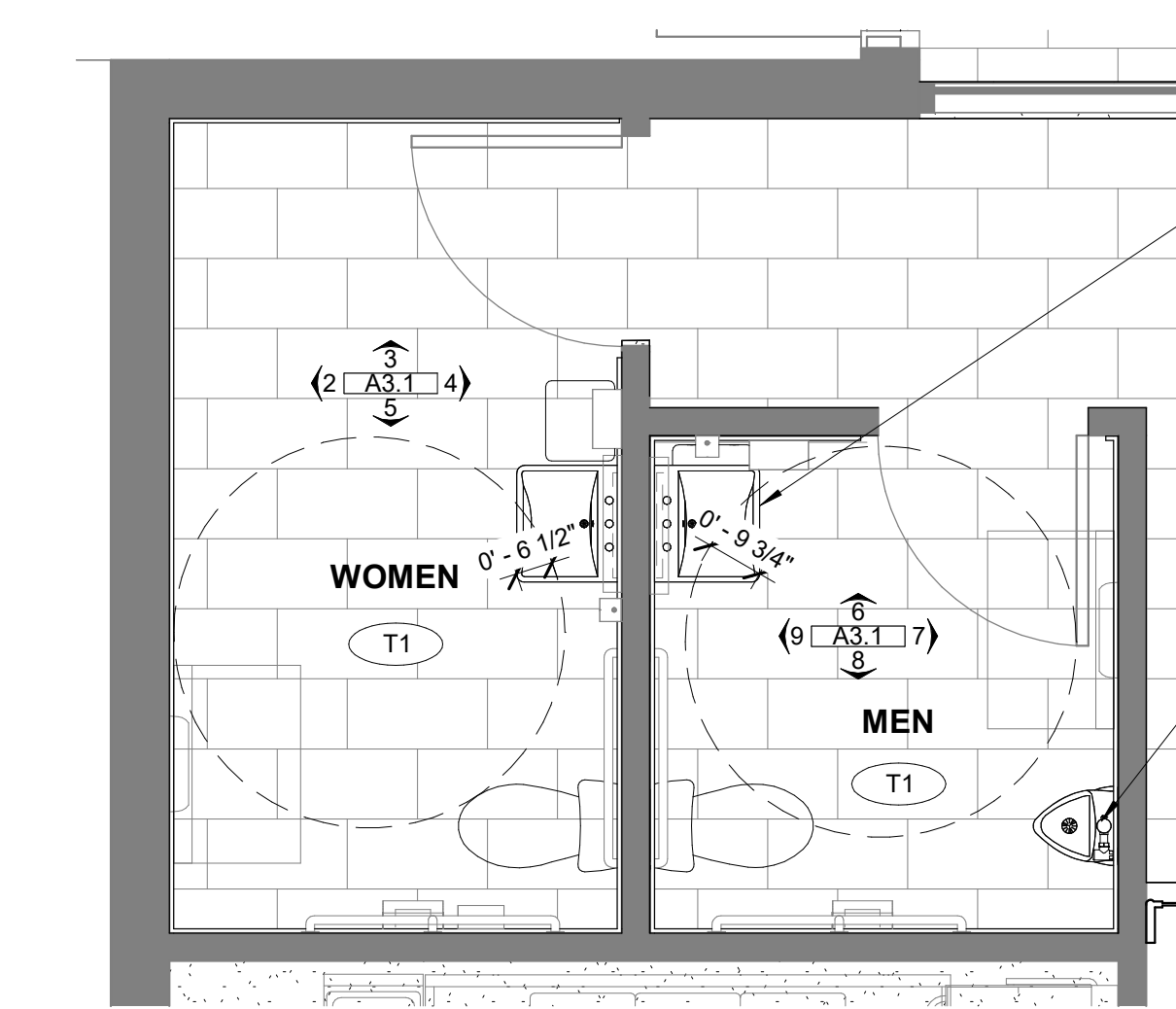


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RESTROOM SPECIALTY EQUIPMENT

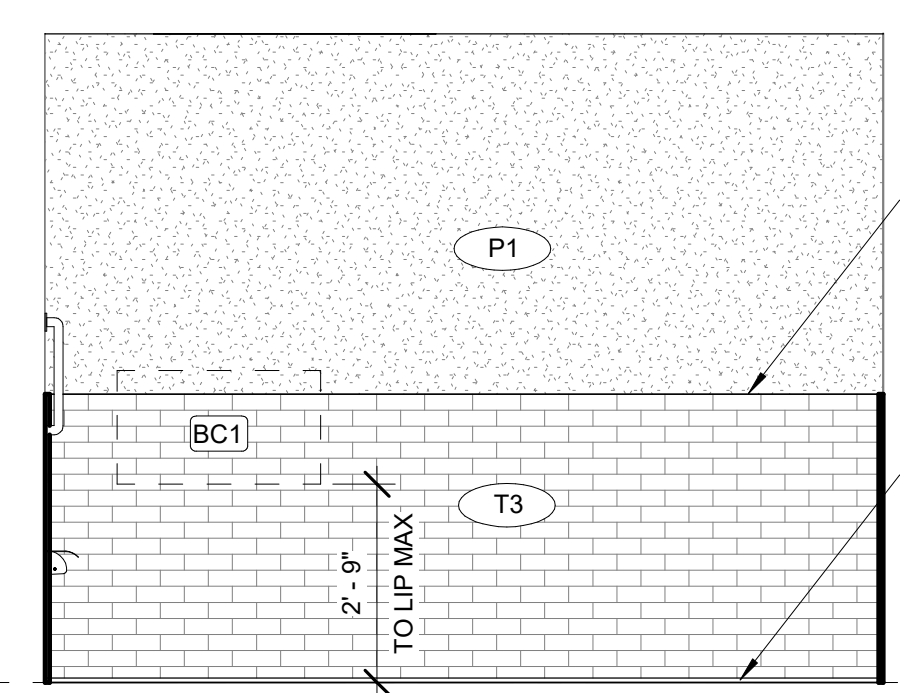
TAG	SPECIALTY ITEM	SPECIALTY DESCRIPTION
BC1	BABY CHANGING STATION	KOALA CARE KB200-01
TP1	TOILET PAPER DISPENSER	BOBRICK OR EQUAL, B-9890.MBLK
PT1	PAPER TOWEL DISPENSER	BOBRICK OR EQUAL, B-9262.MBLK
GB1	GRAB BARS	BOBRICK OR EQUAL, BRUSHED STAINLESS
MIR	MIRROR	STAINLESS STEEL EDGED MIRROR WITH STANDOFF FOR MOUNTING PROUD OF WAINSCOT
TR1	TRASH RECEPTACLE	BOBRICK OR EQUAL, B-9279.MBLK
SAN	SANITARY NAPKIN DISPOSAL	BOBRICK OR EQUAL, B-35139.MBLK
SOP	SOAP DISPENSER	BOBRICK OR EQUAL, B-2013
WC1	WATER CLOSET	KOHLER K-26077 KINGSTON COMFORT HEIGHT
SNK	WALL MOUNTED SINK	KOHLER K-2084-N SOHO
UR1	WALL MOUNTED URINAL	KOHLER K-5452-ET DEXTER

NOTE:
ALL FIXTURES AND FINISH SELECTIONS
ARE TO BE FINALIZED BY OWNERS



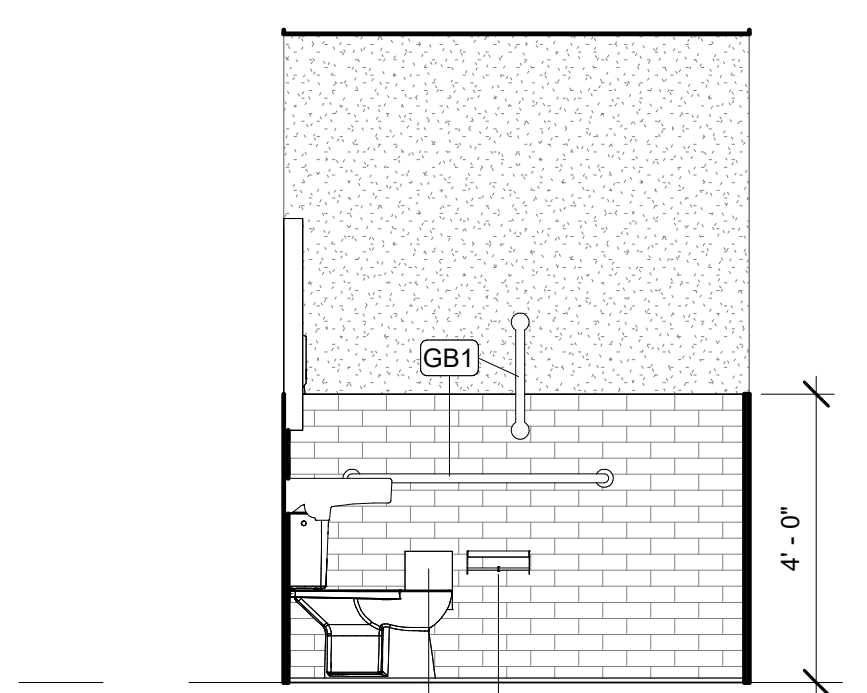
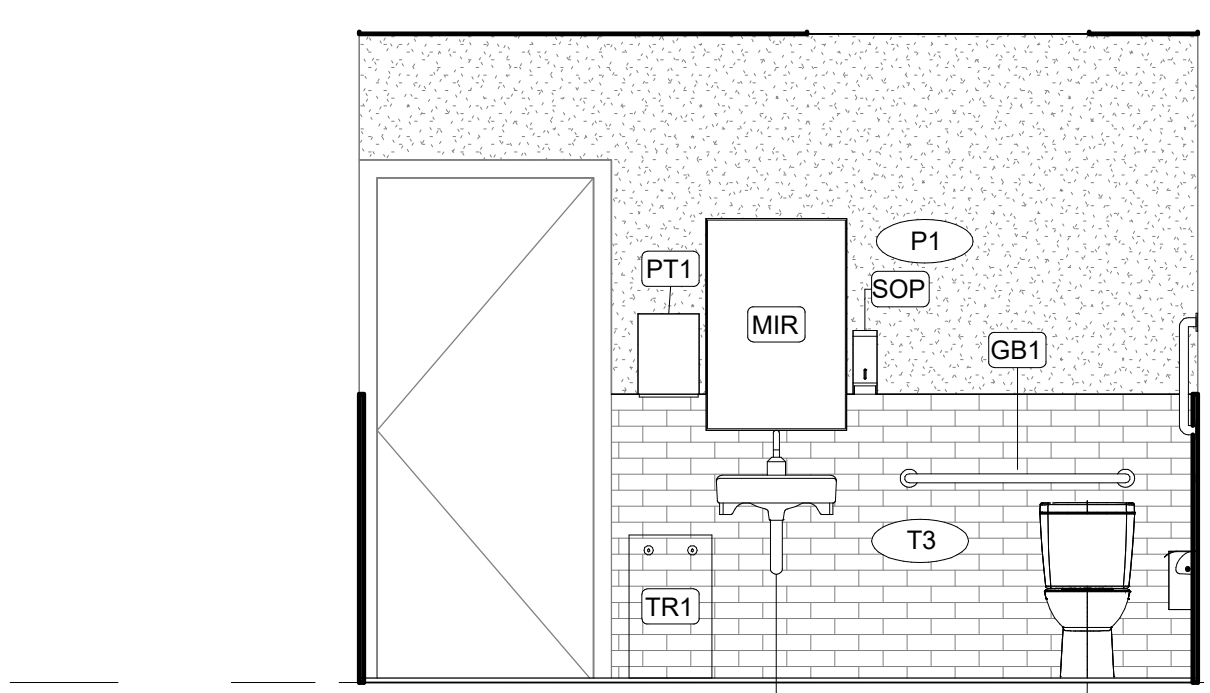
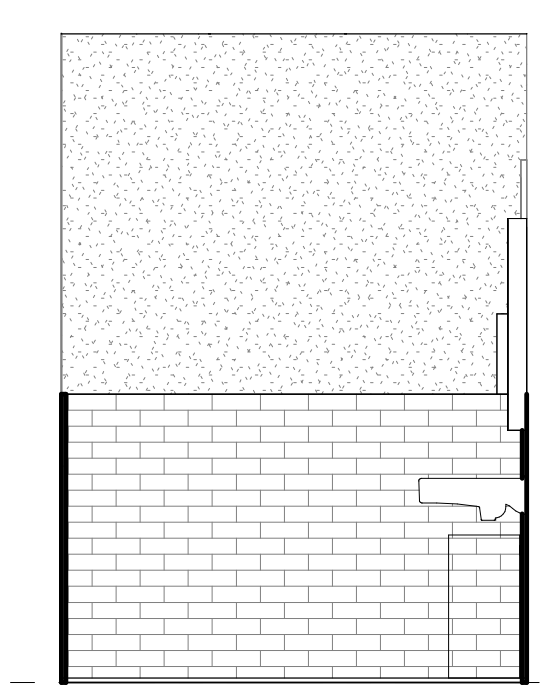
NEW PLUMBING FIXTURES TO TIE INTO EXISTING IN-WALL PLUMBING RE: PLUMBING

NEW URINAL -TIE INTO EXISTING SANITARY PIPING UNDER SLAB



SCHLUTER SCHIENE TILE EDGE TRIM AT ALL EXPOSED EDGES OF TILE, TYP. -BLACK

SCHLUTER DILEX COVE TRIM AT ALL TILE WALL TO TILE FLOOR LOCATIONS, TYP. -BLACK



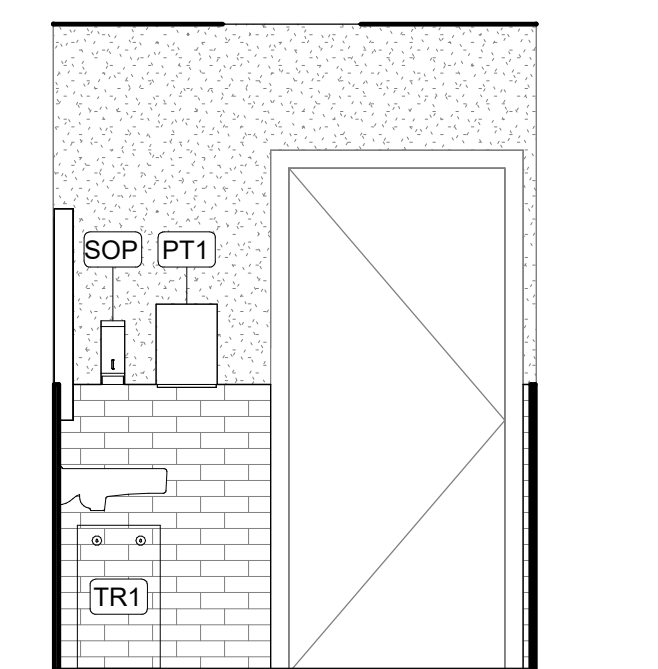
1 ENLARGED PLAN - RESTROOMS
3/8" = 1'-0"

2 WOMEN - WEST ELEVATION
3/8" = 1'-0"

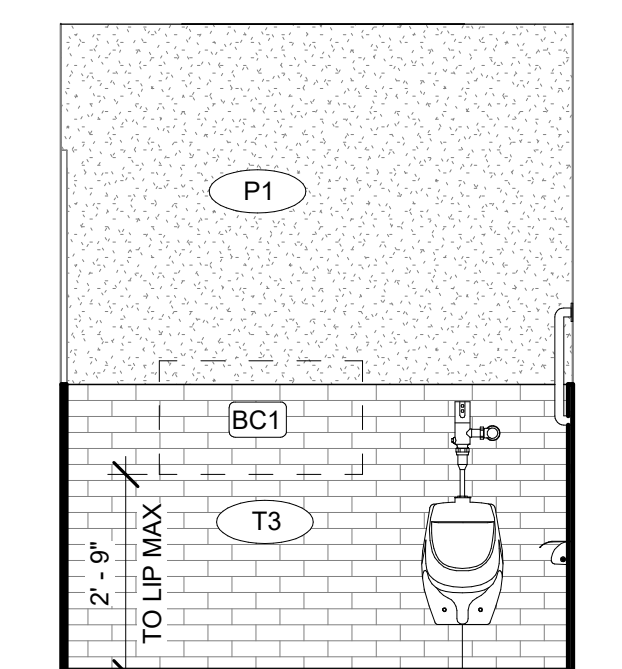
3 WOMEN - NORTH ELEVATION
3/8" = 1'-0"

4 WOMEN - EAST ELEVATION
3/8" = 1'-0"

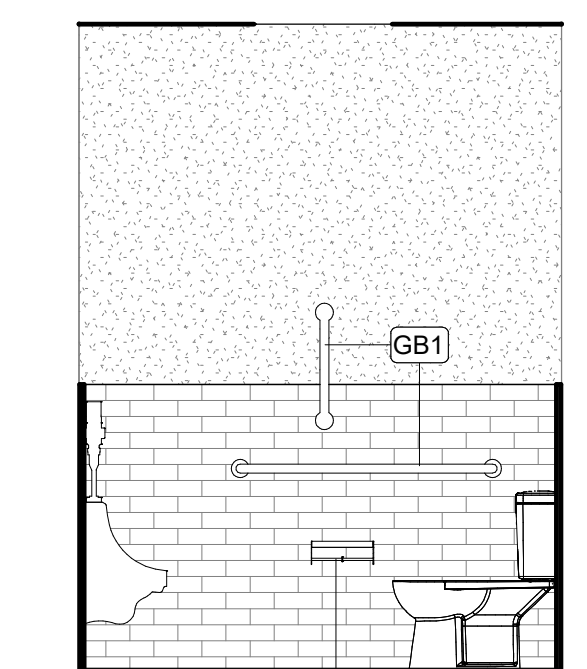
5 WOMEN - SOUTH ELEVATION
3/8" = 1'-0"



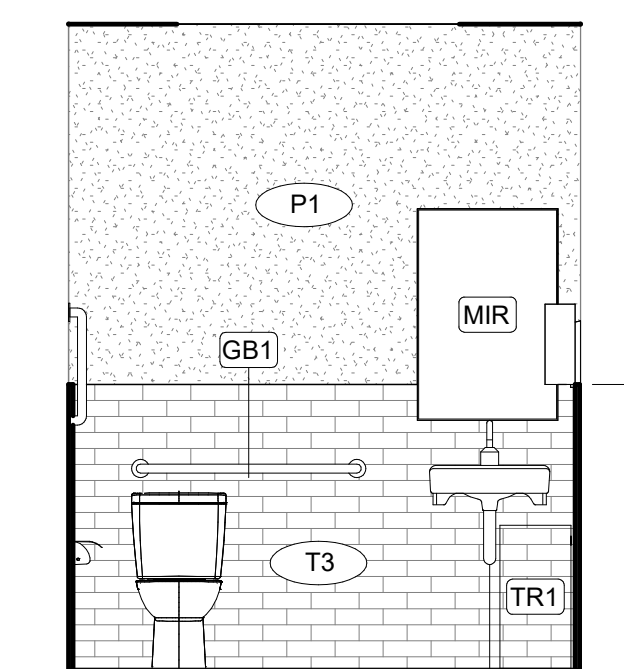
6 MEN - NORTH ELEVATION
3/8" = 1'-0"



7 MEN - EAST ELEVATION
3/8" = 1'-0"



8 MEN - SOUTH ELEVATION
3/8" = 1'-0"



9 MEN - WEST ELEVATION
3/8" = 1'-0"

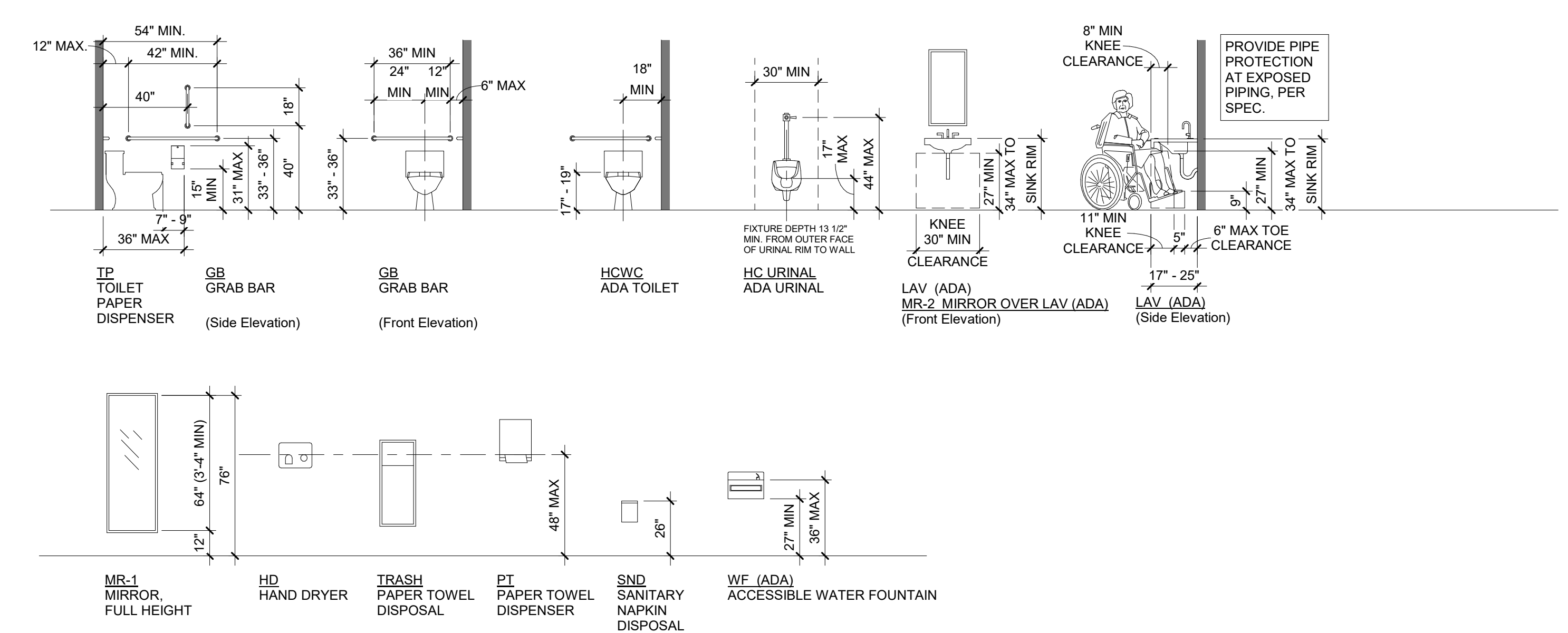
PROJECT:

YOUR PIE - LAUREL
101 S 1ST AVENUE
LAUREL, MT 59044

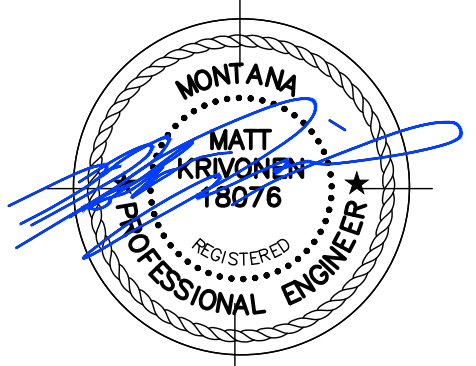
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CHECKED BY: FHN

DATES:



TYPICAL MOUNTING HEIGHTS
1/4" = 1'-0"



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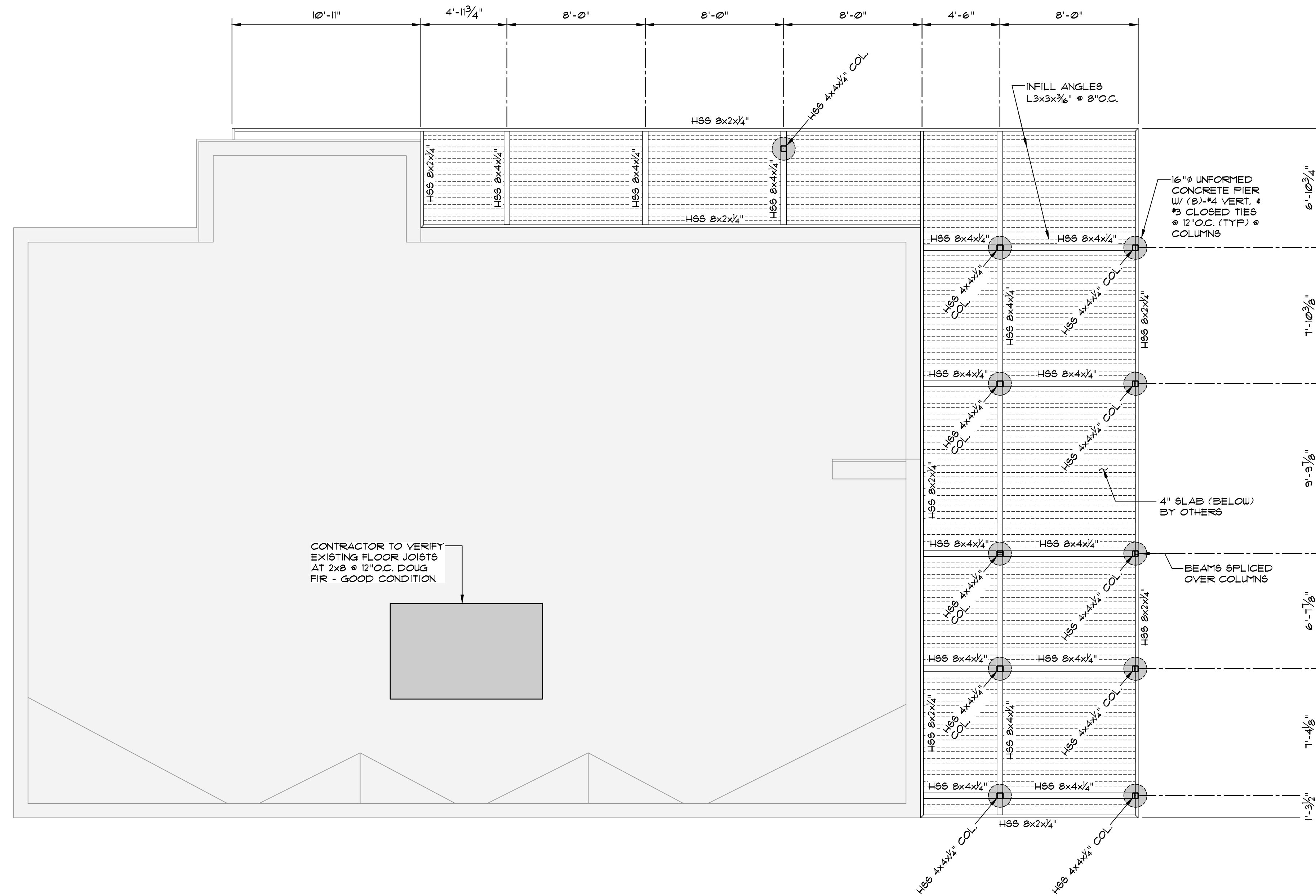
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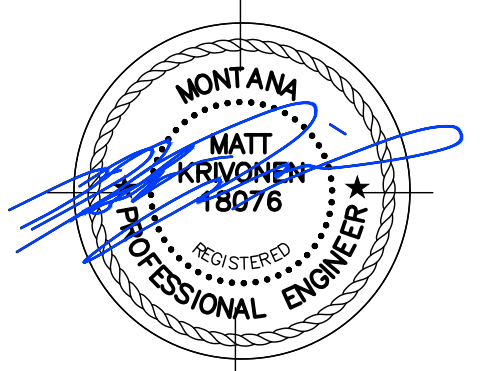
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PRE: _____
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CDS: _____
REV: _____
REV: _____

SHEET:



FRAMING PLAN
1/4" = 1'-0"



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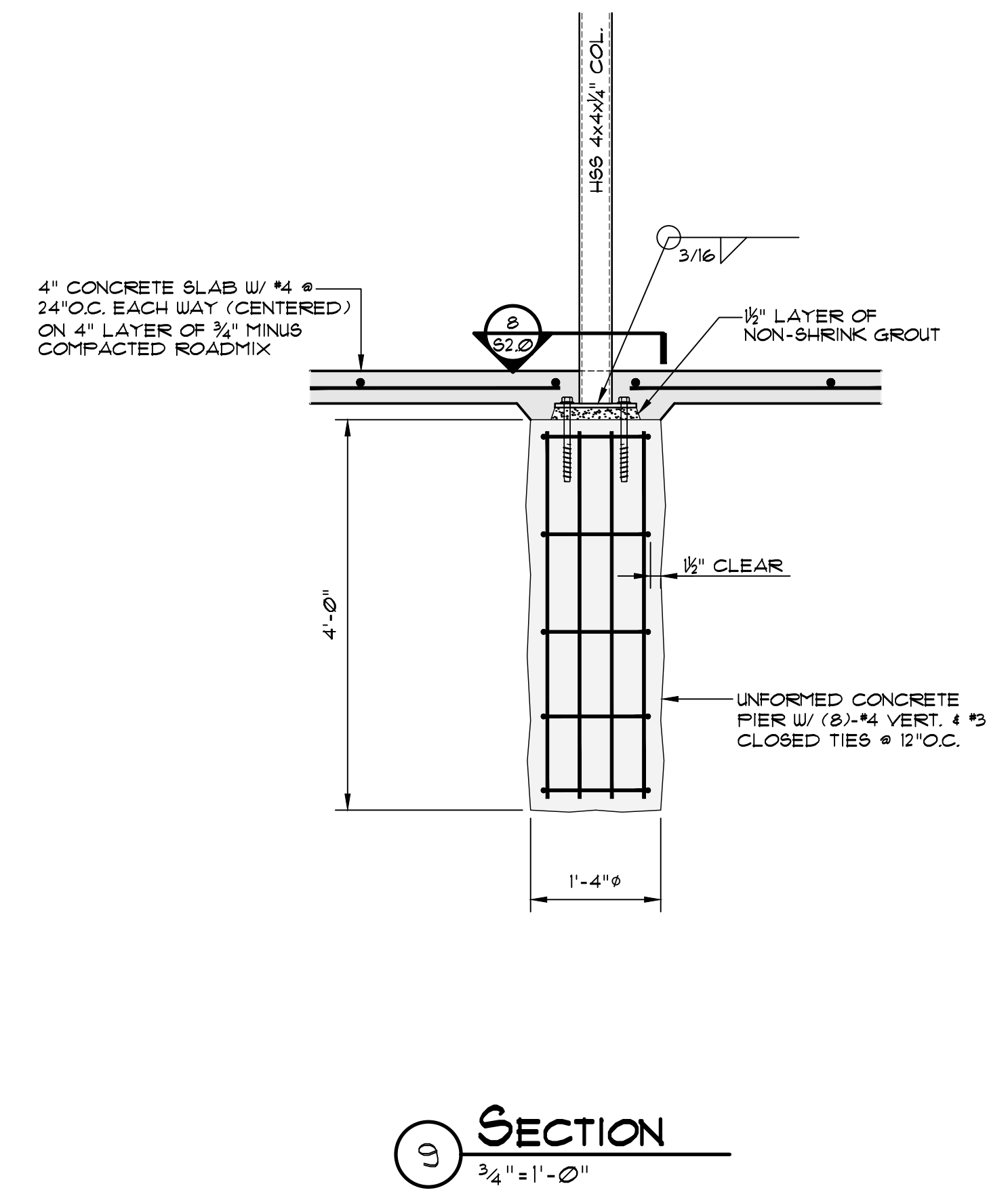
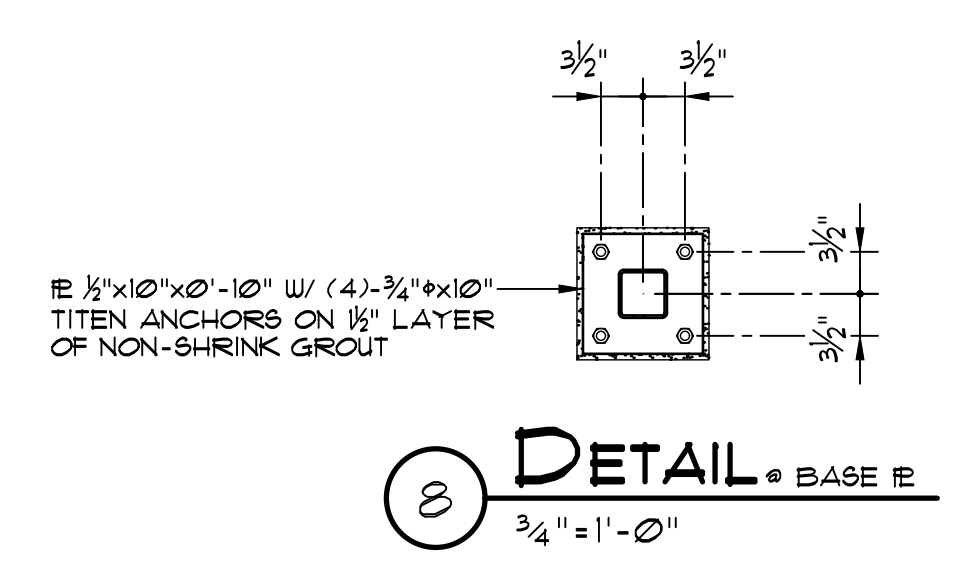
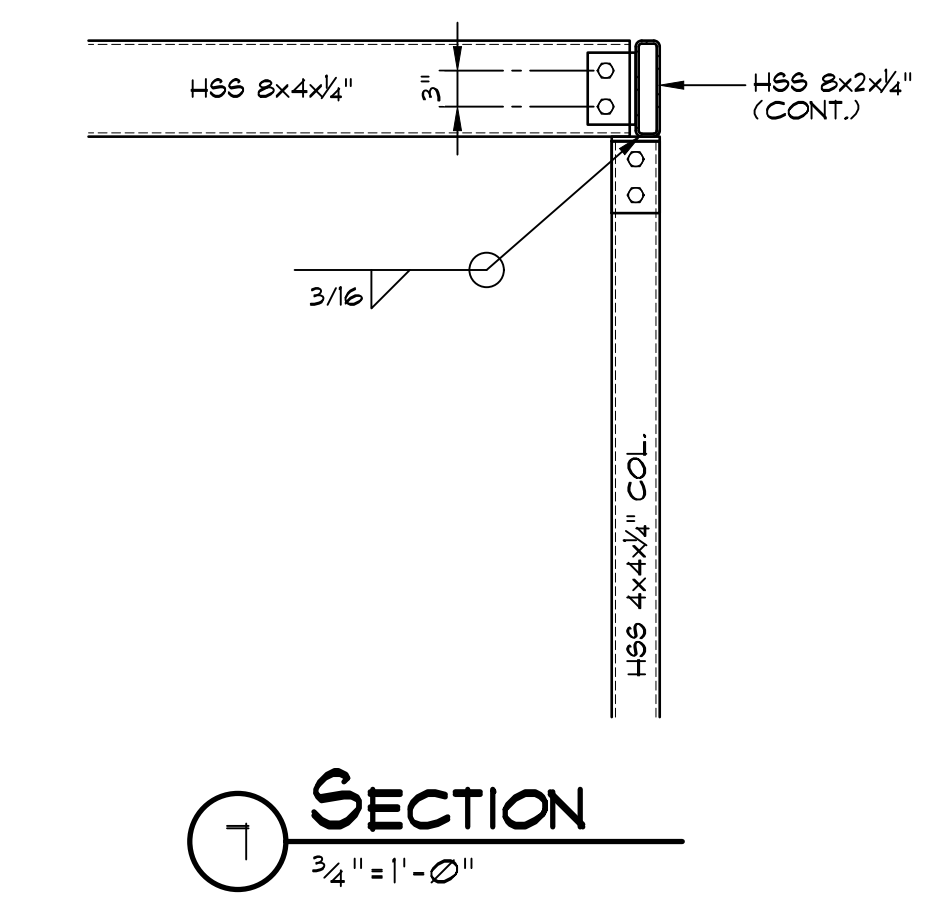
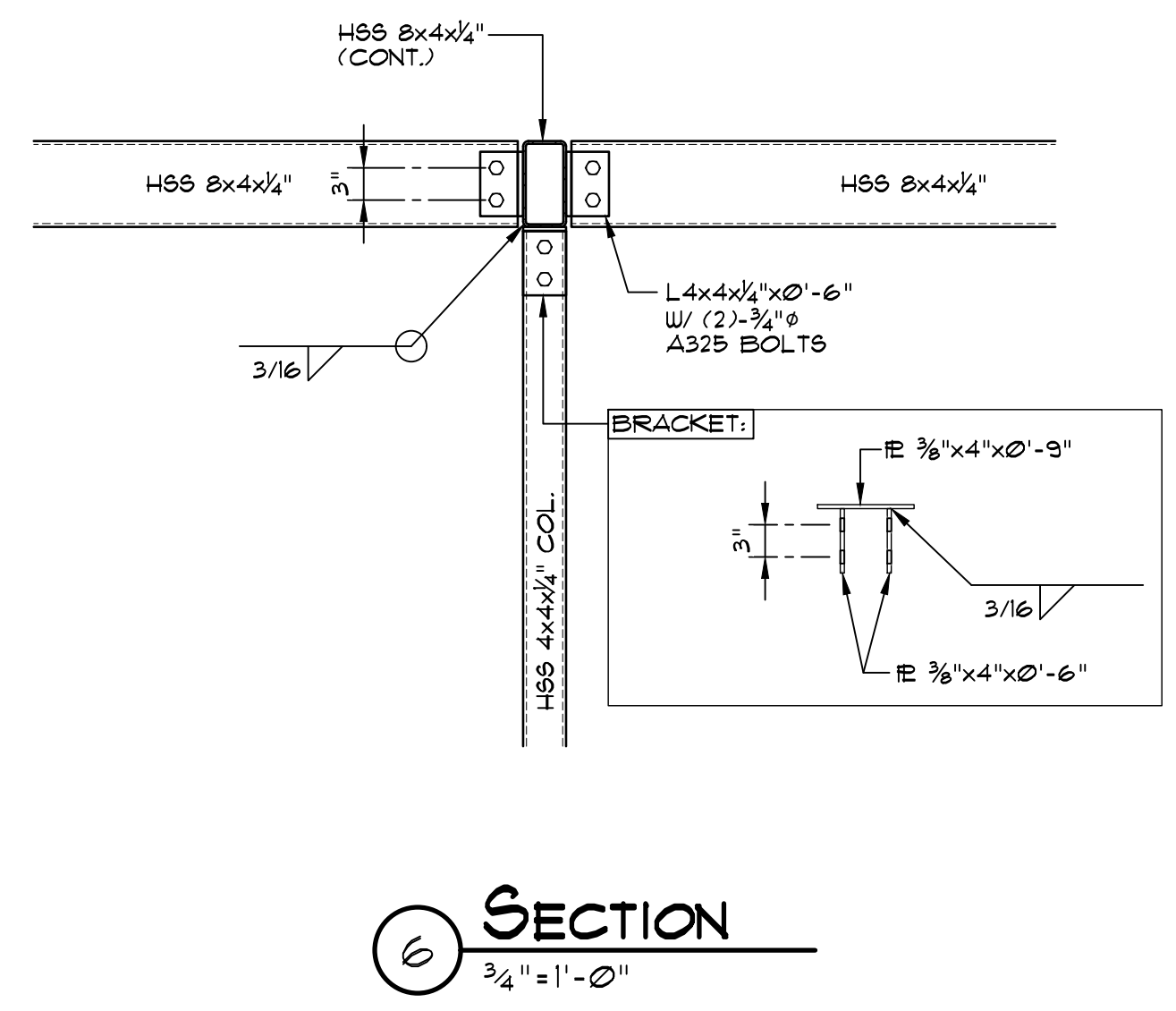
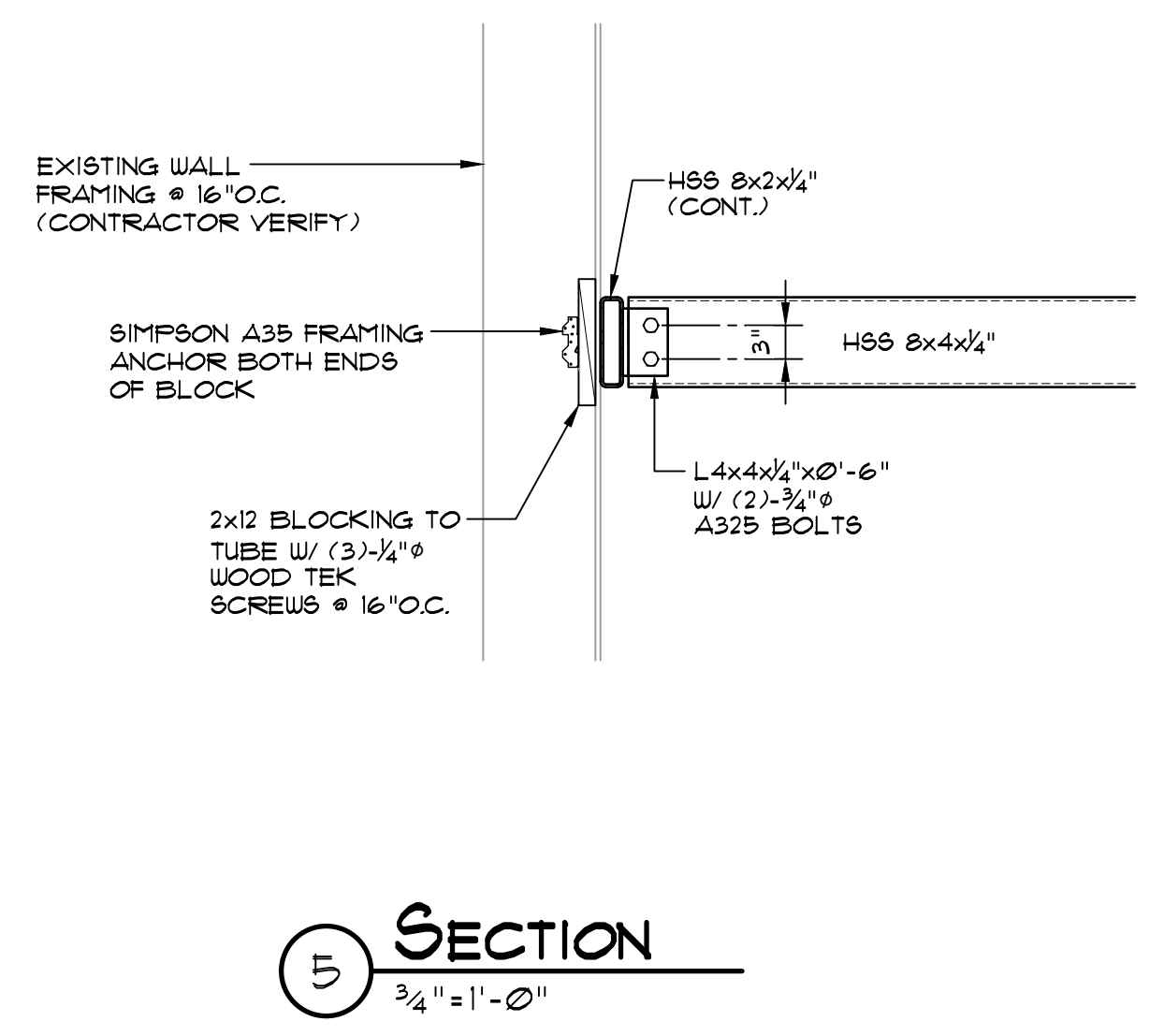
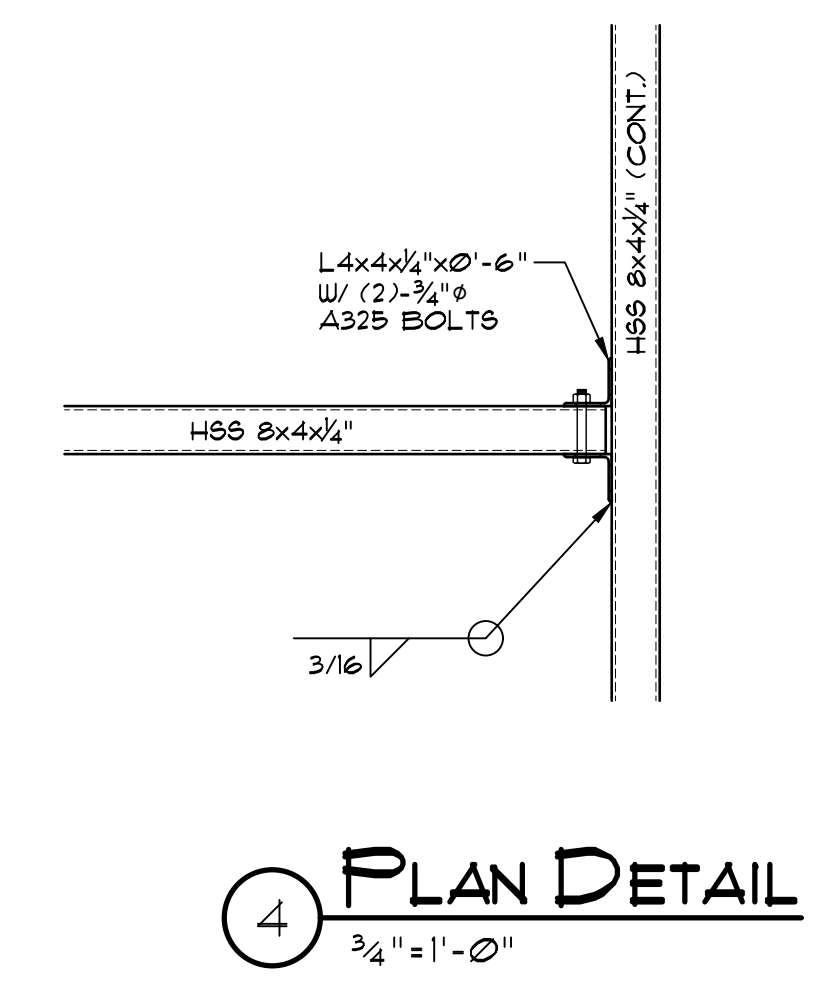
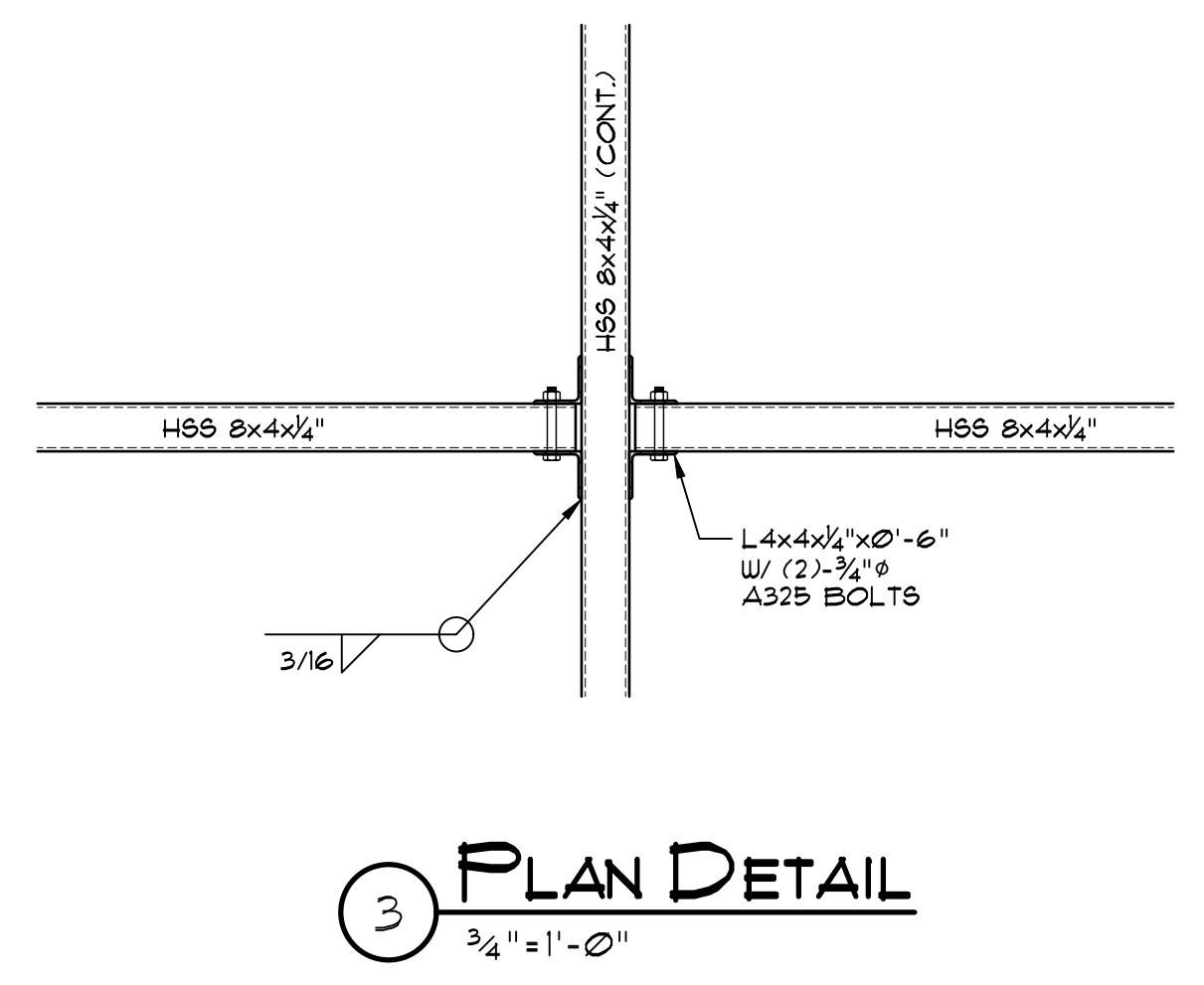
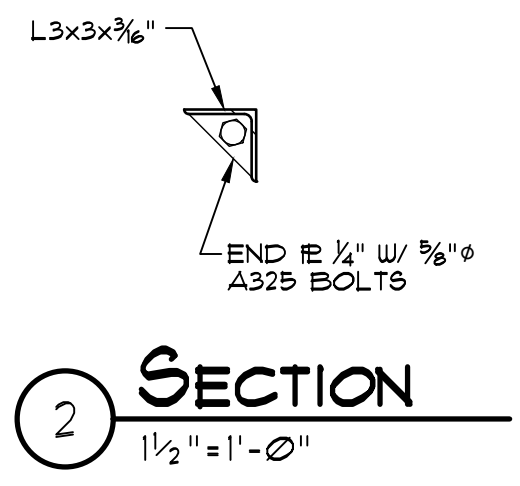
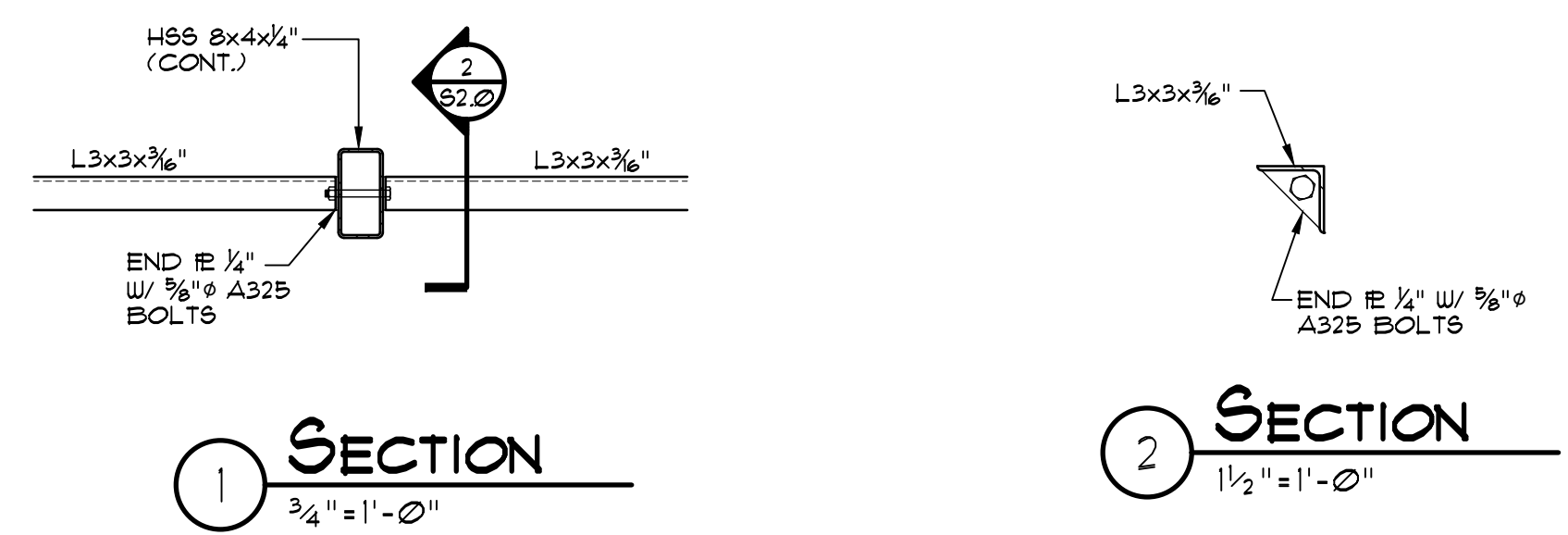


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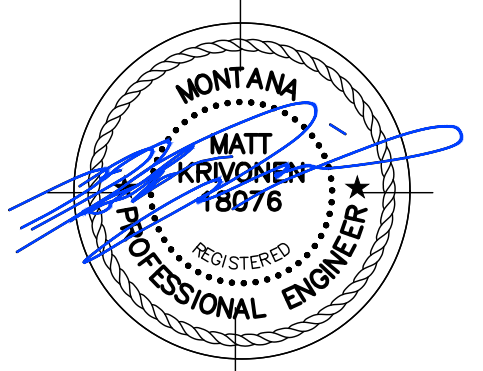
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NOTES

STRUCTURAL NOTES

GOVERNING CODES

INTERNATIONAL BUILDING CODE, 2018 EDITION
AMERICAN INSTITUTE OF STEEL CONSTRUCTION, 9TH EDITION
AMERICAN CONCRETE INSTITUTE, 318-14
AMERICAN SOCIETY OF CIVIL ENGINEERS, 7-16
AMERICAN WELDING SOCIETY D1.1 (U.O.N.)

DESIGN CRITERIA

SNOW LOAD: $P_f=30$ PSF + DRIFTING, $P_g=30$ PSF $C_e=1.0$, $I=1.0$, $C_s=1.0$
WIND LOAD: $V_{ur}=115$ MPH, $V_{ed}=90$ MPH, $C_{sc}=19$ PSF, RISK CATEGORY = 2, NET UPLIFT=10 PSF
SEISMIC:
DESIGN CATEGORY "A": $I_e=1.0$, $S_{ds}=0.12$, $S_{d1}=0.052$
RESISTIVE SYSTEM=WOOD SHEATHING
SEISMIC DESIGN FACTORS: $S_{MS}=0.09$, $S_{M1}=0.12$, $S_{Dg}=0.13$, $S_{D1}=0.083$, $R=6$, $C_s=0.022$
SIMPLIFIED BASE SHEAR METHOD: LIVE LOAD FACTOR = 1
FLOOR LOAD: 100 PSF (LIVE), DECKS=60 PSF (LIVE)

SPECIAL INSPECTION

STATEMENT OF SPECIAL INSPECTIONS:
- SPECIAL INSPECTIONS AND STRUCTURAL TESTING SHALL BE PROVIDED BY AN INDEPENDENT AGENCY EMPLOYED BY THE OWNER FOR THE ITEMS IDENTIFIED IN THIS SECTION AND IN OTHER AREAS OF THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS, UNLESS WAIVED BY THE BUILDING OFFICIAL (SEE IBC CHAPTER 17)
- THE NAMES AND CREDENTIALS OF THE SPECIAL INSPECTORS TO BE USED SHALL BE SUBMITTED TO THE BUILDING OFFICE FOR APPROVAL. SPECIAL INSPECTORS FOR THIS PROJECT INCLUDE:

SPECIAL INSPECTION OF BOLTED CONNECTIONS & CONCRETE FOUNDATION WILL BE REQUIRED PER 2018 IBC REQUIREMENTS.
BOLTED CONNECTIONS: BOLTED CONNECTIONS INSPECTION BY K4 INSPECTION SERVICE. PER IBC 2018 INSPECTION REQUIREMENTS.

FIELD WELDS: DECK & FILLET WELD INSPECTION BY K4 INSPECTION SERVICE. PER IBC 2018 INSPECTION REQUIREMENTS.
SOIL INSPECTIONS: PERIODIC SOIL AND COMPACTION TESTING TO BE PERFORMED BY "RIMROCK ENGINEERING" PER IBC 2018 REQUIREMENTS.
POST-INSTALLED ANCHORS: POST-INSTALLED ANCHOR INSTALLATION TO BE PERFORMED BY "TERRACON ENGINEERING" PER IBC 2018 REQUIREMENTS.

CONCRETE REINFORCING: VERIFICATION OF CONCRETE REINFORCING SIZE, MATERIAL, AND LOCATION TO BE CONDUCTED BY "RIMROCK ENGINEERING" PER IBC 2018 REQUIREMENTS.

DUTIES OF THE SPECIAL INSPECTOR:
--THE SPECIAL INSPECTOR SHALL REVIEW ALL WORK LISTED BELOW FOR CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AND THE 2018 IBC.
--THE SPECIAL INSPECTOR SHALL FURNISH SPECIAL INSPECTION REPORTS TO THE EOR, CONTRACTOR, OWNER AND BUILDING OFFICIAL ON A WEEKLY BASIS, OR MORE FREQUENTLY AS REQUIRED BY THE BUILDING OFFICIAL. ALL ITEMS NOT IN COMPLIANCE SHALL BE BROUGHT TO THE IMMEDIATE ATTENTION OF THE CONTRACTOR FOR CORRECTION, AND IF UNCORRECTED, TO THE EOR AND THE BUILDING OFFICIAL.
--ONCE CORRECTIONS HAVE BEEN MADE BY THE CONTRACTOR, THE SPECIAL INSPECTOR SHALL SUBMIT A FINAL SIGNED REPORT TO THE BUILDING OFFICIAL STATING THAT THE WORK REQUIRING SPECIAL INSPECTION WAS, TO THE BEST OF THE SPECIAL INSPECTOR'S KNOWLEDGE, IN CONFORMANCE WITH THE APPROVED CONSTRUCTION PLANS AND SPECIFICATIONS AS WELL AS THE APPLICABLE WORKMANSHIP PROVISIONS OF THE 2018 IBC.
DUTIES AND RESPONSIBILITIES OF THE CONTRACTOR:
--THE CONTRACTOR SHALL SUBMIT A WRITTEN STATEMENT OF RESPONSIBILITY TO THE OWNER AND THE BUILDING OFFICIAL PRIOR TO THE COMMENCEMENT OF WORK. IN ACCORDANCE WITH IBC 1704.4, THE STATEMENT OF RESPONSIBILITY SHALL CONTAIN ACKNOWLEDGEMENT OF THE SPECIAL INSPECTION REQUIREMENTS CONTAINED WITHIN THIS "STATEMENT OF SPECIAL INSPECTIONS."
--THE CONTRACTOR SHALL NOTIFY THE RESPONSIBLE SPECIAL INSPECTOR THAT WORK IS READY FOR INSPECTION AT LEAST ONE WORKING DAY (24 HOURS MINIMUM) BEFORE SUCH INSPECTION IS REQUIRED.
--ALL WORK REQUIRING SPECIAL INSPECTION SHALL REMAIN ACCESSIBLE AND EXPOSED UNTIL IT HAS BEEN OBSERVED BY THE SPECIAL INSPECTOR.
--PLEASE SEE THE "SPECIAL INSPECTION SCHEDULE" FOR THE TYPES, EXTENTS AND FREQUENCY OF SPECIFIC ITEMS REQUIRING SPECIAL INSPECTIONS AND STRUCTURAL TESTS AS PART OF THIS PROJECT.

SPECIAL INSPECTION SCHEDULE

AREAS REQUIRING SPECIAL INSPECTION	FREQUENCY		COMMENTS
	CONTINUOUS	PERIODIC	
FABRICATORS (IBC 1704.2.5)			
CONCRETE CONSTRUCTION (IBC 1705.3)			IF FABRICATOR IS APPROVED, ON-SITE INSPECTION IS NOT REQUIRED BUT A CERTIFICATE OF COMPLETION MUST BE PROVIDED TO THE E.O. (IBC 1704.2.5.2)
REINFORCING STEEL PLACEMENT			VERIFY SIZE, CLEARANCES, SPLICES AND PROPER TIES.
EMBEDDED BOLTS OR PLATES			VERIFY MIX DESIGN MEETS STRENGTH & EXPOSURE REQUIREMENTS LISTED ON APPROVED PLANS.
VERIFY REQUIRED DESIGN MIX			INCLUDES SAMPLING FOR AIR, SLUMP, STRENGTH & TEMPERATURE TECHNIQUES.
CONCRETE PLACEMENT/SAMPLING			VERIFY SHAPE, LOCATION & MEMBER DIMENSIONS.
INSPECT FORMWORK			IN ACCORDANCE WITH APPROVED ICCS REPORT. PERIODIC INSPECTIONS ALLOWED IF STATED IN ES REPORT.
POST-INSTALLED ANCHORS			
OTHER THAN STRUCTURAL STEEL (IBC 1705.2.2)			
STEEL ROOF & FLOOR DECK			
MATERIAL VERIFICATION OF STEEL DECK			IDENTIFICATION MARKINGS PER APPLICABLE ASTM STANDARD
ROOF AND DECK WELDS			VERIFY THAT WELDS CONFORM TO AWS D1.3.
WELDING OF REINFORCING STEEL			
VERIFICATION OF WELDABILITY (EXCEPT A706 BAR)			VERIFY MATERIAL IS ABLE TO CONFORM TO AWS D1.4.
STRUCTURAL STEEL CONSTRUCTION (IBC 1705.2, 1705.11, 1705.12)			
PRIOR TO WELDING (TABLE NS-4, AISC 360-10)			
VERIFY WELDING PROCEDURES			
MATERIAL IDENTIFICATION			VERIFY TYPE & GRADE OF MATERIAL.
WELDER IDENTIFICATION			VERIFY THERE IS A SYSTEM IN PLACE TO IDENTIFY THE WELDER WHO HAS WELDED A JOINT OR MEMBER.
FIT-UP GROOVE WELDS			VERIFY JOINT PREPARATION, DIMENSIONS, CLEANLINESS, TACKING & BACKING.
ACCESS HOLES			VERIFY CONFIGURATION & FINISH.
FIT-UP FILLET WELDS			VERIFY ALIGNMENT, GAPS AT ROOT, CLEANLINESS OF STEEL SURFACES, TACK WELD QUALITY & LOCATION.
DURING WELDING (TABLE NS-4.2, AISC 360-10)			
USE OF QUALIFIED INSPECTORS			VERIFY THAT WELDERS ARE APPROPRIATELY QUALIFIED.
CONTROL & HANDLING OF WELDING CONSUMABLES			VERIFY PACKAGING & EXPOSURE CONTROL.
CRACKED TACK WELDS			VERIFY WELDING IS NOT OVER A CRACKED TACK WELD.
ENVIRONMENTAL CONDITIONS			VERIFY WIND SPEED IS WITHIN LIMITS AS WELL AS PRECIPITATION & TEMPERATURE.
WPS FOLLOWED			VERIFY ITEMS SUCH AS WELDING EQUIPMENT SETTINGS, TRAVEL SPEED, WELDING MATERIALS, SHIELDING GAS FLOW RATE, PREHEAT APPLIED, INTERPASS TEMPERATURE MAINTAINED, & PROPER POSITION.
WELDING TECHNIQUES			VERIFY INTERPASS & FINAL CLEANING, EACH PASS IS WITHIN PROFILE LIMITATIONS, & QUALITY OF EACH PASS.
AFTER WELDING (TABLE NS-4.3, AISC 360-10)			
WELDS CLEANED			VERIFY THAT WELDS HAVE BEEN PROPERLY CLEANED.
SIZE, LENGTH & LOCATION OF WELDS			
WELDS MEET VISUAL ACCEPTANCE CRITERIA			
ARC STRIKES			
K-AREA			
BACKING & WELDING TABS REMOVED			
REPAIR ACTIVITIES			
DOCUMENT ACCEPTANCE/REJECTION OF WELD			
NONDESTRUCTIVE TESTING (TABLE NS.5, AISC 360-10)			
CIP WELDS (RISK CAT. II)			ULTRASONIC TESTING SHALL BE PERFORMED ON 10% OF CIP GROOVE WELDS IN BUTT, T AND CORNER JOINTS SUBJECT TO TRANSVERSELY APPLIED TENSION LOADS IN MATERIALS 1/2" THICK OR GREATER. TESTING RATE MUST BE INCREASED IF > 5% OF WELDS HAVE UNACCEPTABLE DEFECTS.
ACCESS HOLES (FLANGE > 2")			
WELDED JOINTS SUBJECT TO FATIGUE			
OTHER STEEL INSPECTIONS (TABLE NS.7, AISC 360-10; TABLES 3B-1 AND 310-1, AISC 341-10)			
STRUCTURAL STEEL DETAILS			ALL FABRICATED STEEL & THEIR CONNECTIONS SHALL BE INSPECTED TO VERIFY COMPLIANCE WITH THE DETAILS SHOWN IN APPROVED PLANS.
ANCHOR RODS/EMBEDS SUPPORTING STRUCTURAL STEEL			SHALL BE ON THE PREMISES DURING THE PLACEMENT OF ANCHOR RODS/EMBEDMENTS. VERIFY DIAMETER, GRADE, TYPE & LENGTH OF ELEMENT & THE EXTENT OR DEPTH OF EMBEDMENT PRIOR TO PLACEMENT OF CONCRETE.
REDUCED BEAM SECTIONS (RBS)			VERIFY CONTOUR & FINISH AS WELL AS DIMENSIONAL TOLERANCES (SEE TABLE 3B-1 OF AISC 341).
PROTECTED ZONES			VERIFY VERIFY THAT NO HOLES OR UNAPPROVED ATTACHMENTS ARE MADE WITHIN THE PROTECTED ZONE (SEE TABLE 3B-1 OF AISC 341).

GENERAL NOTES

- CONTRACTOR SHALL COORDINATE OPENINGS & IMBEDDED ITEMS NOTED ON CONSTRUCTION DOCUMENTS WITH APPROPRIATE TRADE.
- ALL SHOP DRAWINGS OF ALL STRUCTURAL COMPONENTS SHALL BE REVIEWED BY ARCHITECT / ENGINEER PRIOR TO FABRICATION.
- STRUCTURAL COMPONENTS SHALL BE TEMPORARILY BRACED IN A MANNER TO RESIST EARTHQUAKE, WIND, SNOW, & LATERAL EARTH LOADS OR COMBINATION THEREOF UNTIL PLYWOOD ROOF DIAPHRAGM, PLYWOOD SHEATHED SHEAR WALLS, OR FLOOR FRAMING ARE IN PLACE & SECURED PROPERLY.
- ANY PROFESSIONAL THIRD PARTY REVIEW TO BE APPROVED BY "KRIVONEN STRUCTURAL ENGINEERS" PRIOR TO REVIEW.
- THE STRUCTURAL DRAWINGS ARE TO BE USED IN CONJUNCTION WITH DRAWINGS AND SPECIFICATIONS FROM ALL OTHER DISCIPLINES. THE CONTRACTOR SHALL VERIFY THE REQUIREMENTS OF OTHER TRADES AS TO SLEEVES, CHASES, HANGERS, INSERTS, ANCHORS, HOLES, AND OTHER ITEMS TO BE PLACED OR SET IN THE STRUCTURAL WORK.
- THE STRUCTURAL DRAWINGS HERE-IN REPRESENT THE FINISHED STRUCTURE. THE CONTRACTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING REQUIRED TO ERECT AND HOLD THE STRUCTURE IN PROPER ALIGNMENT UNTIL ALL STRUCTURAL WORK & CONNECTIONS HAVE BEEN COMPLETED. THE INVESTIGATION, DESIGN, SAFETY, ADEQUACY, & INSPECTION OF ERECTION BRACING, SHORING, TEMPORARY SUPPORTS, ETC. IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE ENGINEER SHALL NOT BE RESPONSIBLE FOR THE METHODS, TECHNIQUES, AND SEQUENCE OF PROCEDURES TO PERFORM THE WORK. THE SUPERVISION OF THE WORK IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- THE DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO APPROVAL BY THE ENGINEER.
- LOADING APPLIED TO THE STRUCTURE DURING THE PROCESS OF CONSTRUCTION SHALL NOT EXCEED THE SAFE LOAD-CARRYING CAPACITY OF THE STRUCTURAL MEMBERS. THESE LOADS ARE SPECIFIED IN THE "DESIGN CRITERIA" PORTION OF THESE NOTES. DO NOT APPLY ANY CONSTRUCTION LOADS UNTIL STRUCTURAL FRAMING IS PROPERLY CONNECTED TOGETHER AND UNTIL ALL TEMPORARY BRACING IS IN PLACE.
- SHOP DRAWINGS AND OTHER ITEMS SHALL BE SUBMITTED TO THE ENGINEER FOR REVIEW PRIOR TO FABRICATION. ALL SHOP DRAWINGS SHALL BE REVIEWED BY THE GENERAL CONTRACTOR PRIOR TO SUBMITTAL. THE ENGINEER'S REVIEW IS TO BE FOR CONFORMANCE WITH THE DESIGN CODES AND GENERAL COMPLIANCE WITH THE RELEVANT CONTRACT DOCUMENTS. THE ENGINEER'S REVIEW DOES NOT RELIEVE THE CONTRACTOR OF THE SOLE RESPONSIBILITY TO REVIEW, CHECK, AND COORDINATE THE SHOP DRAWINGS PRIOR TO SUBMISSION. THE CONTRACTOR REMAINS SOLELY RESPONSIBLE FOR THE ERRORS & OMISSIONS ASSOCIATED WITH THE PREPARATION OF THE SHOP DRAWINGS AS THEY PERTAIN TO MEMBER SIZES, DETAILS, DIMENSIONS, ETC.

CONCRETE

- ALL CONCRETE SHALL BE READY MIXED AND SUPPLIED IN ACCORDANCE WITH SPECIFICATION REQUIREMENTS.
NO WATER SHALL BE ADDED TO MIX AT JOB SITE.
- MINIMUM COVER REQUIREMENTS:
CAST AGAINST EARTH = 3"
FORMED WALLS = 1 1/2"
TOP OF SLAB = 1"
- CHAMFER ALL EXPOSED CORNERS 3/4" UNLESS NOTED
- OPENINGS IN CONCRETE WALLS OF 2'-0" OR GREATER IN EITHER DIRECTION SHALL HAVE 2 - #4 BARS ALL SIDES & SHALL EXTEND 24" BEYOND OPENING.
- COLD WEATHER CONCRETING GUIDELINES TO BE FOLLOWED IN COLD TEMPERATURES.
- FLYASH TYPE "F" OR TYPE "C" MAY BE USED TO REPLACE NO MORE THAN 10% OF THE CEMENT CONTENT.
- 4" SLUMP MAX. 5-7% AIR ENTRAINED FOR ALL FOUNDATIONS & EXTERIOR SLABS.
- MAXIMUM AGGREGATE SIZE OF 3/4" UNLESS NOTED OTHERWISE.
MATERIALS:
ANCHOR BOLTS: ASTM F1554 BOLTS
CONCRETE SLABS (INTERIOR): 3500 PSI AT 28 DAYS
CONCRETE SLABS (EXTERIOR): 4000 PSI AT 28 DAYS
ELSEWHERE: 3000 PSI AT 28 DAYS
CAST IN-PLACE CONCRETE:
- CONCRETE MIXES SHALL BE DESIGNED PER ACI 301
- CONCRETE SHALL CONFORM TO THE FOLLOWING PROPERTIES:

CONCRETE LOCATION	MIN. Fc (28 DAYS)	SLUMP	W/C RATIO
ELEVATED SLABS	3500 PSI	2" - 4"	0.46
FOUNDATIONS	3500 PSI	2" - 4"	0.5
INTERIOR SLAB ON GRADE	4000 PSI	2" - 4"	0.5

AT CONTRACTOR'S OPTION, AN APPROVED ADMIXTURE MAY BE USED TO PRODUCE FLOWABLE CONCRETE. MAXIMUM SLUMP SHALL NOT EXCEED 10 INCHES. THE CONTRACTOR SHALL SUBMIT TEST RESULTS OF THE PROPOSED CONCRETE MIXES ALONG WITH THE MANUFACTURER'S TECHNICAL DATA FOR APPROVAL PRIOR TO POURING CONCRETE.
ALL CONCRETE WORK SHALL CONFORM TO THE REQUIREMENTS OF ACI 301.
HOT WEATHER CONCRETING PER ACI 305.
COLD WEATHER CONCRETING PER ACI 306.

ALL REINFORCING STEEL SHALL BE SET AND TIED IN PLACE PRIOR TO POURING OF CONCRETE. EXCEPT THE VERTICAL DOWELS FOR MASONRY WALL REINFORCING MAY BE "FLOATED" IN PLACE. DO NOT FIELD BEND BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE UNLESS SPECIFICALLY INDICATED OR APPROVED BY THE ENGINEER.
REINFORCING STEEL SHALL BE DETAILED IN ACCORDANCE WITH ACI 315.
BAR SUPPORTS AND HOLDING BARS SHALL BE PROVIDED FOR ALL REINFORCING STEEL TO INSURE MINIMUM CONCRETE COVER. BAR SUPPORTS SHALL BE PLASTIC TIPPED OR STAINLESS STEEL.
FORMWORK SHALL REMAIN IN PLACE UNTIL CONCRETE HAS OBTAINED AT LEAST 90% OF ITS 28 DAY COMPRESSIVE STRENGTH. THE CONTRACTOR SHALL PROVIDE ALL SHORING AND RE-SHORING.
REINFORCING STEEL:
- LAP REQUIREMENTS: 30 BAR DIAMETERS (CONCRETE) 40 BAR DIAMETERS (MASONRY)
- CORNER BARS REQUIRED AT FOUNDATION WALL LOCATIONS OF SIZE & NUMBER OF HORIZONTAL WALL STEEL AT ALL CORNERS & INTERSECTIONS.
- REBAR NOT TO BE WELDED UNLESS ASTM A706 GRADE REBAR IS PROVIDED
- REBAR SHALL BE SECURELY TIED IN-PLACE WITH #16 ANNEALED IRON WIRE.
- CHAIRS SHALL BE USED IN SLABS FOR PROPER PLACEMENT.
- ALL WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A185-97, CENTERED IN SLAB.
- REINFORCING STEEL BARS:
#4 THRU #10 BARS: ASTM A615 - GRADE 60
#2 & #3 BARS: ASTM A615 - GRADE 40
- WELDED WIRE FABRIC (W.W.F.): ASTM A185

FOUNDATION BEARING NOTES:
- FOUNDATION PREP SHALL BE IN ACCORDANCE WITH GEOTECHNICAL REPORT. GEOTECHNICAL RECOMMENDATIONS SUPERCEDE ALL GENERIC RECOMMENDATIONS BELOW. THE FOLLOWING GUIDELINES ARE ONLY TO BE UTILIZED IF A GEOTECHNICAL REPORT IS NOT PROVIDED.
- PROVIDE BASE BENEATH SLAB PER GEOTECHNICAL REPORT. IF NO GEOTECHNICAL REPORT IS SUBMITTED, "KRIVONEN STRUCTURAL ENGINEERS" WILL NOT BE LIABLE FOR DAMAGES RELATED TO FOUNDATION SETTLEMENT OR HEAVE.
- PROVIDE 4" LAYER OF 3/4" MINUS ROAD MIX BELOW SLABS ON GRADE. COMPACTION OF FILL BENEATH SLABS ON GRADE SHALL SATISFY 95% MAXIMUM DRY DENSITY PER ASTM D698.
- SOILS BENEATH FOUNDATIONS SHALL BE PROTECTED FROM FREEZING DURING CONSTRUCTION.
- POSITIVE DRAINAGE AND/OR THE EXCAVATION SHALL BE PUMPED TO PREVENT SURFACE WATER BUILD-UP DURING ALL PHASES OF CONSTRUCTION.
- PRIOR TO FILL PLACEMENT, REMOVE ALL TOPSOILS, ORGANICS, DEBRIS, OLD CONCRETE & MASONRY. EXISTING SLABS IN EXCESS OF 48" BELOW BOTTOM OF EXISTING FOOTINGS MAY REMAIN.
- ANY STRUCTURAL FILL REQUIRED BELOW FOOTINGS AND/OR SLABS SHOULD BE TO THE SPECIFICATION OF THE GEOTECHNICAL REPORT FOR THE PROJECT. IF NO GEOTECHNICAL REPORT IS PROVIDED, OUR OFFICE SHOULD BE CONTACTED DURING EXCAVATION TO VERIFY BEARING CONDITIONS.
- POTENTIAL STRUCTURAL SETTLEMENT GIVEN IN GEOTECHNICAL REPORT IS ASSUMED TO BE ACCEPTABLE TO OWNER. THE STRUCTURE HAS NOT BEEN DESIGNED TO MITIGATE THIS MAGNITUDE OF MOVEMENT.

CONCRETE SLAB NOTES:
- MAXIMUM CONCRETE SLUMP FOR ALL SLABS SHALL BE 4"
- ALL WELDED WIRE FABRIC SHALL BE IN ACCORDANCE WITH ASTM A-185. LAP ADJOINING PIECES AT LEAST ONE FULL MESH.
- SLAB JOINTS SHALL BE FILLED WITH APPROVED MATERIAL. THIS SHOULD HAPPEN AS LATE AS POSSIBLE. PREFERABLY 4-6 WEEKS AFTER THE SLAB HAS BEEN CAST. PRIOR TO FILLING, REMOVE ALL DEBRIS FROM SLAB JOINT, THEN FILL IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS AS FOLLOWS:
6" OR THICKER SLABS FILL JOINTS WITH EPOXY RESIN
4" - 5" SLAB CONTROL JOINTS FILL WITH FELD MOLDED OR ELASTOMERIC SEALANT.
- EXTERIOR SLABS MAY NOT BE SHOWN ON THE STRUCTURAL DRAWING. SEE CIVIL AND ARCHITECTURAL DRAWINGS FOR EXTERIOR SLAB LOCATIONS, THICKNESS AND REINFORCING.
- THE USE OF POLYPROPYLENE FIBERS IN LIEU OF REBAR OR WELDED WIRE FABRIC IS PROHIBITED.
- SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATION OF CONCRETE DRAINS. SLOPE SLAB ACCORDINGLY TO DRAINS.

FOUNDATION NOTES:
- ALL REINFORCING MARKED CONTINUOUS (CONT.) ON THE DRAWINGS SHALL BE LAPPED 36 BAR DIAMETERS AT SPLICES.
- NO UNBALANCED BACKFILL SHALL BE DONE UNLESS WALLS ARE SECURELY BRACED AGAINST OVERTURNING EITHER BY TEMPORARY BRACING OR BY PERMANENT CONSTRUCTION.
- ALL RETAINING WALLS SHALL HAVE AT LEAST 12" OF FREE-DRAINING GRANULAR BACKFILL, FULL HEIGHT OF WALL. PROVIDE VERTICAL CONTROL JOINTS IN RETAINING WALLS AT APPROXIMATELY EQUAL INTERVALS NOT TO EXCEED 25'-0" OR 3 TIMES THE WALL HEIGHT.

STRUCTURAL STEEL

- ALL STEEL DESIGN AND FABRICATION IN ACCORDANCE WITH THE 14TH EDITION OF THE AMERICAN INSTITUTE FOR STEEL CONSTRUCTION (A.I.S.C.) CODE:
- WHERE "CONTINUOUS CHORD" ANGLES ARE INDICATED, PROVIDE A CONTINUOUS BUTT WELD OR FULL PENETRATION WELD AT THE SPlice POINTS.
- HOLES IN THE STEEL SHALL BE DRILLED OR PUNCHED WITH SMOOTH EDGES. BURNING OR TORCH CUTTING OF HOLES AT SITE IS NOT PERMITTED.
- THE STRUCTURAL STEEL ERECTOR SHALL PROVIDE ALL TEMPORARY GUYING AND BRACING.
- COLUMNS, ANCHOR BOLTS, AND BASE PLATES, ETC. HAVE BEEN DESIGNED FOR THE FINAL COMPLETED CONDITION AND HAVE NOT BEEN ANALYZED FOR POTENTIAL LOADINGS ENCOUNTERED DURING STEEL ERECTION AND CONSTRUCTION. ANY ANALYSIS OF THESE COMPONENTS FOR ADEQUACY DURING ERECTION AND CONSTRUCTION IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR.
- UNLESS OTHERWISE NOTED, ALL STRUCTURAL STEEL PERMANENTLY EXPOSED TO THE WEATHER SHALL BE HOT-DIPPED GALVANIZED.
- PROTECTIVE COATINGS DAMAGED DURING TRANSPORTING, ERECTING, AND FIELD WELDING PROCESSES SHALL BE REPAIRED IN THE FILED TO MATCH THE SHOP APPLIED COATING.

MATERIALS:

TUBES: ASTM A500 GRADE B, Fy = 46 KSI
WELDED CONNECTIONS: E70XX ELECTRODES
BOLTED CONNECTIONS: ASTM A325 BOLTS WITH "SNUG TIGHT" FIT UNLESS NOTED OTHERWISE NOTED

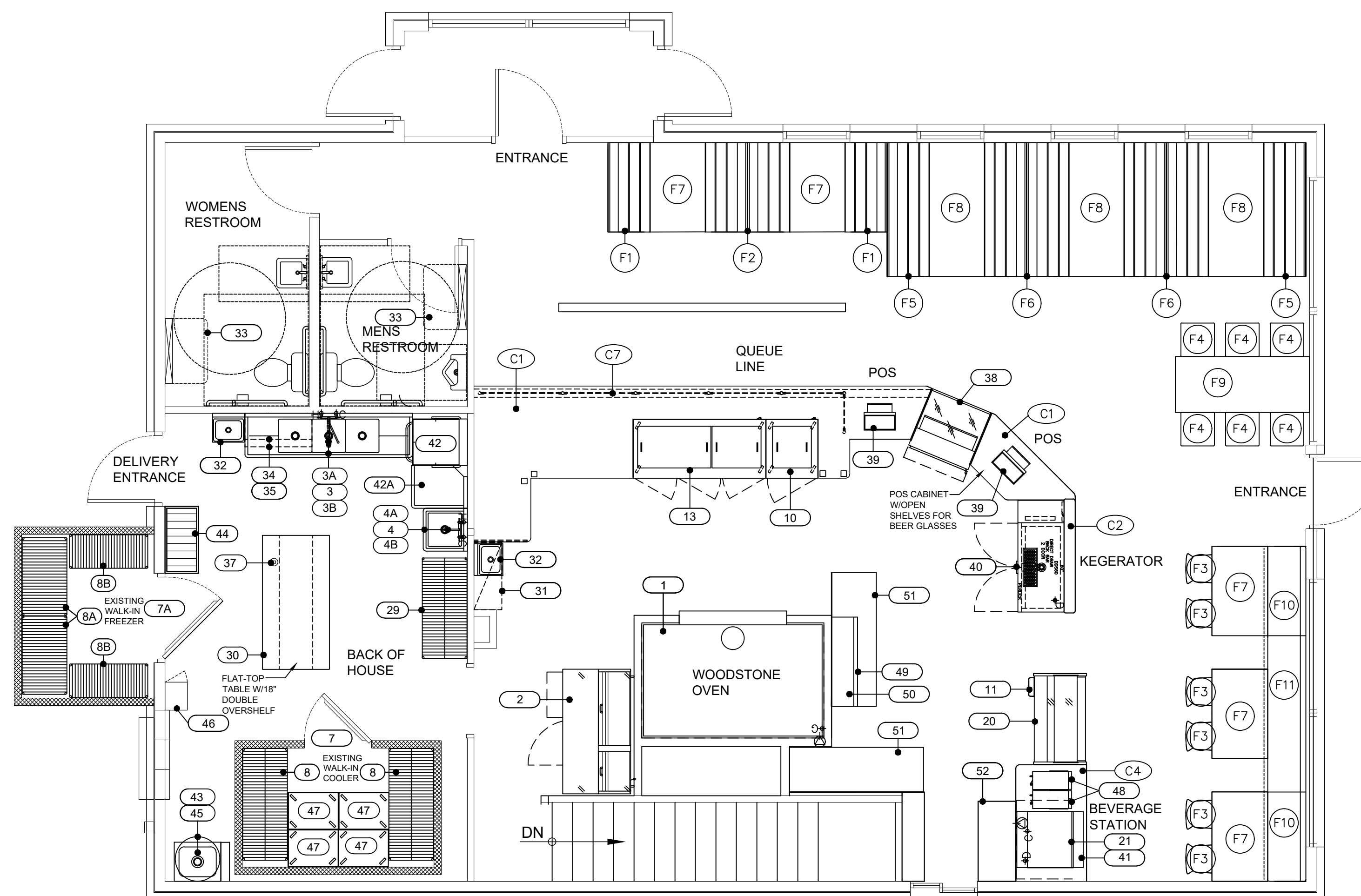
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EQUIPMENT SCHEDULE

NO.	Qty	ITEM	MANUFACTURER	MODEL NUMBER	FURN. BY	INST. BY
1	1	PIZZA OVEN	WOODSTONE	FA-96GO-00-N-010	KE5	GC
2	1	PIZZA PREP REFRIGERATED COUNTER	BEVERAGE AIR	DPD67-2	KE5	KE5
3	1	3 COMPARTMENT SINK	ADVANCE TABCO	FE-3-1.812-1.8RL-X	KE5	KE5
3A	1	PRE-RINSE UNIT WITH FAUCET, 1 2" NOZZLE	T45	B-0133/ADF12-B	KE5	KE5
3B	3	LEVER WASTE	T45	B-3972	KE5	KE5
4	1	1-COMPARTMENT SINK	ADVANCE TABCO	FE-1-1.812-X	KE5	KE5
4A	1	FAUCET WITH 8" NOZZLE	T45	B-2414	KE5	KE5
4B	1	LEVER WASTE	T45	B-3972	KE5	KE5
5	0	34"H SHELVING UNIT, 1.8X24, 2 SHELVES HIGH	CENTAUR	C1.824K	-	-
6	0	1-DOOR REACH-IN FREEZER	HOSHIZAKI	F1A-F5L	-	-
6A	0	2-DOOR REACH-IN FREEZER	HOSHIZAKI	F2A-F5	-	-
7	1	WALK-IN COOLER (EXISTING)	AMERIKOOLER	CUSTOM	-	-
7A	1	WALK-IN FREEZER (EXISTING)	AMERIKOOLER	CUSTOM	-	-
8	2	24X60 SHELVING UNIT, 7 SHELVES HIGH, 86"H	CENTAUR	C2460K	KE5	KE5
8A	2	24X42 SHELVING UNIT, 7 SHELVES HIGH, 86"H	CENTAUR	C2442K	KE5	KE5
8B	2	1.8X42 SHELVING UNIT, 7 SHELVES HIGH, 86"H	CENTAUR	C1.842K	KE5	KE5
8C	-	SFARE	-	-	-	-
8D	-	SFARE	-	-	-	-
9	0	KEG STORAGE RACK 60"	CHANNEL	KARGO	-	-
10	1	MEGA TOP, 1-SECTION, REFRIG PREP TABLE	EVEREST	EOTP1	KE5	KE5
11	1	DIFFERWELL	FMP	117-1339	KE5	KE5
12	-	SFARE	-	-	-	-
13	1	MEGA TOP, 3-SECTION, REFRIG PREP TABLE	EVEREST	EOTP3	KE5	KE5
17	-	SFARE	-	-	-	-
20	1	GELATO CASE	SEVEL	SIM-6	KE5	KE5
21	1	ICE MAKER (venfy beverage machine)	HOSHIZAKI	KMD-860MAJ	KE5	GC
21A	1	WATER FILTER ASSEMBLY	BY GC	GC	GC	GC
22	0	BAR SINK	ADVANCE TABCO	SL-HS-1.5-X	-	-
24	0	BOTTLE COOLER	TRUE	T-24-GC-HC	-	-
25	0	GLASS RINSER	GLASTENDER	UMRF	-	-
26	0	PASS-THRU REFRIGERATOR, DBL DOOR	UTILITY REFRIGERATOR	PT-R-50-95-25LG-25LG-D	-	-
29	1	24X54 SHELVING UNIT, 4 SHELVES HIGH, 86"H	CENTAUR	C2454K	KE5	KE5
29A	1	SFARE	-	-	-	-
29B	1	SFARE	-	-	-	-
30	1	WORK TABLE, 36X72, FLAT-TOP, DBL 1.8" OVERSHELF	ADVANCE TABCO	MSLAG-366	KE5	KE5
31	1	SOLID SHELF 14X36	SUNLOW	5FW5-1436	KE5	KE5
32	2	HAND SINK & FAUCET	ADVANCE	7-PS-EC-5P-1X, K-59	KE5	KE5
33	2	CHANGING TABLE	KOALA KARE	KB200-01	OTHERS	OTHERS
34	1	1.4X36 WALL SHELVING, W/BACKET	CENTAUR	C1.436K	KE5	KE5
35	1	1.8X36 WALL SHELVING, W/BACKET	CENTAUR	C1.836K	KE5	KE5
36	-	SFARE	-	-	-	-
37	1	HAND MIXER	WARING	W5B40	KE5	KE5
38	1	GRAB N GO	FEDERAL	ELPRS-3	KE5	KE5
39	2	POS	BY OTHERS	OTHERS	OTHERS	OTHERS
40	1	KEGERATOR, 4-TAPS, W/GLASS RINSER	PERLICK	DD560-CUSTOM	KE5	KE5
41	1	COKE MACHINE, COUNTERTOP MODEL	BY OTHERS	OTHERS	OTHERS	OTHERS
42	1	DISH MACHINE	BY OTHERS	OTHERS	OTHERS	OTHERS
42A	1	CLEAN DISH TABLE	ADVANCE TABCO	DTC-570-24R	KE5	KE5
43	1	MOP BASIN	BY GC	BY GC	BY GC	BY GC
44	1	BAG IN A BOX RACK	BY OTHERS	BY OTHERS	OTHERS	OTHERS
45	1	HOT WATER HEATER	BY GC	BY GC	OTHERS	OTHERS
46	1	EMPLOYEE LOCKERS	SPG	4K0091	KE5	KE5
47	4	DOUGH DOLLY	WIN-HOLT	D-2027	KE5	KE5
48	2	ICE TEA DISPENSER / BREWER	BY OTHERS	BY OTHERS	OTHERS	OTHERS
49	1	SOLID SHELF 14X48	SUNFAB	5FW5-1448	KE5	KE5
50	1	PIZZA BOX WALL STORAGE, 48" LONG	CSF	CUSTOM	KE5	KE5
51	2	WORK TABLE, 24X72, W/BACKSPLASH	ADVANCE TABCO	SFLAG-246	KE5	KE5
52	1	HEATED HOLDING SHELVES, 4-TIER	FWE	HHS-413-2039-15	KE5	KE5

CASEWORK AND FURNITURE SCHEDULE

NO.	Qty	ITEM	MANUFACTURER	MODEL NUMBER
C1	2	SERVING LINE & POS CABINERY; STONE TOP	OTHERS	OTHERS
C2	1	LEDGE AT KEGERATOR; STONE TOP	OTHERS	OTHERS
C3	0	OFFICE WALL CABINET	-	-
C4	1	BEVERAGE AND CONDIMENT CABINERY; STONE TOP	OTHERS	OTHERS
C5	0	LAMINATE OFFICE DESK TOP	-	-
C6	0	TRASH RECEPTACLE; STONE TOP	-	-
C6A	0	DOUBLE RECYCLING CENTER	-	-
C7	1	SNEEZE GUARD	VAR-TECH	CUSTOM
F1	2	48"W SINGLE BOOTH	OTHERS	OTHERS
F2	1	48"W DOUBLE BOOTH	OTHERS	OTHERS
F3	6	DINING CHAIR	OTHERS	CUSTOM
F4	6	BARSTOOL (NO BACKS)	OTHERS	CUSTOM
F5	2	72"W SINGLE BOOTH	OTHERS	CUSTOM
F6	2	72"W DOUBLE BOOTH	OTHERS	CUSTOM
F7	5	30X48 TABLE, DINING HT	OTHERS	OTHERS
F8	3	30X72 TABLE, DINING HT	OTHERS	OTHERS
F9	1	30X72 TABLE, BAR HT	OTHERS	OTHERS
F10	2	48" WALL BENCH	OTHERS	OTHERS
F11	1	84" WALL BENCH	OTHERS	OTHERS



YOUR PIE - LAUREL, MT

REVISIONS:	BY

TriMark Strategic
 Foodservice Design, Equipment and Supplies
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YOUR PIE - LAUREL
 LAUREL, MT
 FOOD SERVICE DESIGN
 EQUIPMENT PLAN

DRAWN BY: CK
 DATE: 05/13/22
 SCALE: 1/4" = 1'-0"

K1
 1 OF 1 SHEETS