



**AGENDA  
CITY OF LAUREL  
CITY/COUNTY PLANNING BOARD  
WEDNESDAY, OCTOBER 19, 2022  
5:30 PM  
COUNCIL CHAMBERS**

**Public Input:** *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

**General Items**

1. Approve Minutes of September 21, 2022

**New Business**

2. Public Hearing: Zoning Commission Special Review for Alcohol Sales at 701 E. Main Street- Pelican Cafe
3. Special Review for Pelican Cafe allowing Alcohol Sales at 701 E. Main Street
4. Approval for a Pole sign permit for Chen's Express and City Brew

**Old Business**

**Other Items**

**Announcements**

The City makes reasonable accommodations for any known disability that may interfere with a person's ability to participate in this meeting. Persons needing accommodation must notify the City Clerk's Office to make needed arrangements. To make your request known, please call 406-628-7431, Ext. 2, or write to City Clerk, PO Box 10, Laurel, MT 59044, or present your request at City Hall, 115 West First Street, Laurel, Montana.

**DATES TO REMEMBER**

**File Attachments for Item:**

1. Approve Minutes of September 21, 2022



**MINUTES  
CITY OF LAUREL  
CITY/COUNTY PLANNING BOARD  
WEDNESDAY, SEPTEMBER 21, 2022  
5:35 PM  
CITY COUNCIL CHAMBERS**

**Public Input:** *Citizens may address the committee regarding any item of business that is not on the agenda. The duration for an individual speaking under Public Input is limited to three minutes. While all comments are welcome, the committee will not take action on any item not on the agenda.*

**1. Roll Call**

The Chair called the meeting to order at: 5:35pm

Present:

Jon Klasna

Roger Giese

Richard Herr

Dan Koch

Judy Goldsby

Kurt Markegard, (City of Laurel)

Absent:

Ron Benner-present for opening of meeting and then left with no objections to the requests.

Gavin Williams

Others

Richard Klose

**General Items**

**1. Meeting Minutes: June 15, 2022**

Roger moved to accept the minutes of the July 28<sup>th</sup>, 2022, planning board meeting and Jon seconded the motion. All members voted aye.

**New Business**

**2. Carlton sign permit**

Kurt gave a brief description of the Carlton sign permit application and told the board that the sign was designed to the entry way zoning requirements. Roger moved to approve the sign and Richard seconded it. Judy asked for a vote on the motions, and all were in favor 5-0.

**3. On the Run sign permit**

Kurt explained that On the Run was going to be the new name of the Conoco C-Store on S1st Avenue across from the Town Pump Store. The sign is in conformance to a wall sign as per the regulations. Roger asked what the colors would be, and Judy explained that it was on the attachment that was presented. Jon asked about the lights for the sign and that was explained by Richard. Judy also explained that it was going to be illuminated over the door. Richard moved to approve the sign permit and Dan seconded the motion. Judy asked for a vote on the motions, and all were in favor 5-0.

4. Albertson's sign permit and plans.

Kurt asked the committee to go over the plans that were submitted to building department for a review of the remodel of the former IGA store. The planning board discussed the plan at length and Dan asked about the old drug store next door and if that was also part of the plans for the remodel. Kurt explained that was not going to be included and they would keep the remodel within the existing store. Richard moved to approve the sign and plans and Roger seconded the motion. Judy asked for a vote on the motions, and all were in favor 5-0.

### **Old business**

There was none.

### **Other Items**

5. Resignation of Dan Koch

Kurt announced that Dan had resigned effective at the end of September and Kurt wanted to thank Dan for the years of service he has given to the Planning Board. Dan indicated that he has been a part of the board for 18 years.

### **Announcements**

Judy announced the next meeting will be on October 19<sup>th</sup>, 2022. Kurt asked how members could be contacted for reminders for future meetings. Kurt asked for all cell phone numbers again. The member stated that phone calls or text messages would work.

6. Motion to Adjourn

Judy entertained a motion to adjourn the meeting and Richard moved with Roger seconded the motion, and all were in favor 5-0. The meeting was adjourned at 6:15 pm.

Submitted by Kurt Markegard



**File Attachments for Item:**

3. Special Review for Pelican Cafe allowing Alcohol Sales at 701 E. Main Street

**CITY HALL**  
115 W. 1<sup>ST</sup> ST.  
PLANNING: 628-4796  
WATER OFC.: 628-7431  
COURT: 628-1964  
FAX 628-2241

# City of Laurel

P.O. Box 10  
Laurel, Montana 59044



Office of the City Planner

## Instructions for Special Review Applications

Special Review applications are reviewed by the Laurel City-County Planning Board, which acts as the City Zoning Commission for Special Reviews. The Zoning Commission shall make a recommendation to the Laurel City Council for final approval, approval with conditions, or denial of the application. The City Council has the final authority to grant or deny application requests.

1. Applications must be received on or before the 1<sup>st</sup> of the month to be considered at the following month's meeting.
2. Application forms and supporting documents must be completely filled out, printed legibly or typed, with sufficient detail for the Zoning Commission and City Council to make a decision on the matter.
3. If new construction or a change in the use of the property is contemplated, building and/or development plans shall be submitted with the application.
4. Applications must be submitted to the Planning Department with the applicable fee as noted in the most recent Schedule of Fees.
5. A public hearing is required to be held for all Special Review applications.
6. The City will notify all property owners listed within the 300-foot radius and a legal ad will be published at least 15 days prior to the public hearing.
7. The Laurel Zoning Commission meets the 3<sup>rd</sup> Wednesday of the month at 5:35PM at the Laurel City Council Chambers. The applicant or a representative of the applicant must be present at the public hearing.
8. Recommendations of the Laurel City-County Planning Board shall be provided to the Laurel City Council for their review and final Approval, Conditional Approval, or Denial of the application.

CITY HALL  
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Office of the City Planner

## Application for Special Review

The undersigned as owner or agent of the following described property requests a Special Review as outlined in Chapter 17 of the Laurel Municipal Code.

Applicant: Chad Page  
Legal Description: Allard Subdivision Block 27 Lot 9, S 09, T2S, R24E  
General Address: 701 East Main Street  
Owner of Tract: Chad Page  
Mailing Address: 1960 Coyote Ridge Road North, Laurel, MT 59044-9489  
Phone Number: 406-628-6683 (Pelican Cafe); 406-861-9987 (Mobile)  
Email Address: jamiegrey@yahoo.com

General Description of the requested Special Review:  
Onsite sale and consumption of alcohol

Timing for development:  
**By or before November 19, 2022**

### Attachments:

- ☒ Site Map (printed on at least 11"x17" in paper size showing dimensions, acreage and location of tracts in question)  
☒ Site Plan (printed on at least 11"x17" paper size including: property boundaries and lot line dimensions, the location of proposed/existing structures, off-street parking, site elevations, service and refuse areas, means of ingress and egress, landscaping, screening, signs and open space areas, and latitude and longitude of the site.  
☒ Justification letter describing the special review requested and reasoning  
☒ Map of all properties within 300 feet of the property  
☒ List of the names and addresses of the property owners and/or agents for all parcels within 300 feet of the parcel under Special Review. (City staff can assist with this process)  
☒ Special Review fee as per Laurel Schedule of Fees.

Applicant Signature: 

Date: September 26, 2020

September 26, 2022

To Whom it May Concern:

In compliance with Laurel Municipal Code Chapter 17.68, this letter and attendant materials comprise a request for a Special Review to approve the Montana Department of Revenue's transfer of the Sonny O'Day's, Inc., All-Beverage Liquor License to The Pelican Cafe, LLC, for the service of alcohol.

Between Sonny O'Day's and The Pelican Cafe, and the Pelican's predecessors, nearly a century of service has been provided to the residents of the greater-Laurel community and its visitors. By joining together these two long-established businesses, The Pelican Cafe would offer a home-style, full-service restaurant, welcoming a family-friendly option for Laurel residents, in addition to providing an attraction for visitors, making The Pelican Cafe a vital, active, and even more integral part of the greater-Laurel community.

Sonny O'Day's All-Beverage license is the longest singly-owned liquor license in the State of Montana, and has been a 75-year tradition in Laurel since 1947. The loss of this historic liquor license to Laurel would be immeasurable.

Because heritage and long-standing traditions are important in Laurel, we seek timely approval of this Special Request, to ensure that Sonny O'Day's historic liquor license remains in Laurel, where Sonny and his wife, Carra, a much-beloved grade-school teacher, raised their family and lived for over seven decades. Without timely approval, Laurel no longer may be home for the Sonny O'Day liquor license, and our community will have lost a valued piece of its heritage, as well as the Sonny O'Day legacy.

The Montana Department of Revenue has placed a deadline of November 19, 2022, for the Sonny O'Day All-Beverage Liquor License either to be transferred to The Pelican Cafe; or, if the Special Request to The Pelican Cafe is denied, to be sold through a competitive bidding process to another Montana city; or, to be forfeited.

Sonny O'Day's All-Beverage license has received Special Review approval in the past, and we ask that this same approval be granted once more, so that Sonny's legacy may remain in Laurel: his and his family's treasured home.

Thank you in advance for your consideration of this Special Request. We look forward to long and valued service in the Laurel community.

Best regards,



Chad Page  
Owner, The Pelican Cafe, LLC



Shelley Van Atta  
Owner, Sonny O'Day, Inc.





# Property Owners within 300 ft. of The Pelican Cafe



## Property Owners within 300 ft. of The Pelican Cafe

| Owner name                            | Tax Code | Legal Description Address         |
|---------------------------------------|----------|-----------------------------------|
| MONTANA RAIL LINK                     | D13144   | S09, T02 S, R24 I                 |
| BEQUETTE PROPERTIES LLC               | B01035   | LAUREL REALTY : 601 E MAIN ST     |
| LAMBRECHT, JACOB C & TERRIE L         | B01034   | LAUREL REALTY : 613 E MAIN ST     |
| GOLDSBY, JUDITH ANN                   | B01033   | LAUREL REALTY : 619 E MAIN ST     |
| O'LOUGHLIN, JAMES T & KAREN L         | B01040   | LAUREL REALTY : 12 IDAHO AVE      |
| HICKS, SCOTT                          | B01039A  | LAUREL REALTY : 16 IDAHO AVE      |
| LINSE, JUSTIN &                       | B01039   | LAUREL REALTY : 20 IDAHO AVE      |
| CHAPMAN, RAMONA J                     | B01038   | LAUREL REALTY : 17 WASHINGTON AVE |
| BOBO, GARY & SHARON K                 | B01037   | LAUREL REALTY : 15 WASHINGTON AVE |
| STEFFANICH, LEE & BETSY               | B01036   | LAUREL REALTY : 13 WASHINGTON AVE |
| PAGE, CHAD E                          | B00492   | ALLARD SUBD (L 701 E MAIN ST      |
| SUAZO FAMILY TRUST                    | B00491   | ALLARD SUBD (L 709 E MAIN ST      |
| ARROYO SECO GROUP INC                 | B00489   | ALLARD SUBD (L 711 E MAIN ST      |
| DEMARAY, ROGER D & KRISTINA R         | B00497   | ALLARD SUBD (L 16 OHIO AVE        |
| SMITH, LANCE E & AMBER                | B00496   | ALLARD SUBD (L 20 OHIO AVE        |
| FJELSTAD, NATHAN LANE & KATHERINE LEE | B00495   | ALLARD SUBD (L 19 IDAHO AVE       |
| SCHRAUDNER, JORDAN & MICHELLE         | B00494   | ALLARD SUBD (L 15 IDAHO AVE       |
| VALLECIO JR, ALEX YAMANI              | B00493   | ALLARD SUBD (L 11 IDAHO AVE       |
| RODABOUGH, WENDY S                    | B01044   | LAUREL REALTY : 605 E 4TH ST      |
| DAVIS, TERENCE A                      | B01043   | LAUREL REALTY : 609 E 4TH ST      |
| LEKSEN, ALAN & SUSAN C                | B01042   | LAUREL REALTY : 613 E 4TH ST      |
| HARMON, PATRICK D & MATTHEW J         | B01041   | LAUREL REALTY : 619 E 4TH ST      |



# Yellowstone County, Montana

[Commissioners](#) [Departments](#) [Contacts](#) [Site Map](#) [Home](#)

**Disclaimer:** Not all fields are currently maintained. The [accuracy of the data is not guaranteed](#). Please notify the Appraisal/Assessment Office of any inaccuracies.

[Back to Search Form](#)

[Full Orion Detail](#)

## Owner Information

**\*Please Note:** Owner information is supplied by the Montana Department of Revenue. To request updates to addresses or other ownership information, please **contact the DOR office at 896-4000**. Records for the current year will **not** be updated after tax bills have been sent out, so changes requested after you receive your bill will appear only on next year's records.

Tax Code: B00492

### Primary Party

Primary Owner Name: PAGE, CHAD E [Ownership History](#)

2022 Mailing Address: PAGE, CHAD E  
1960 COYOTE RIDGE RD N  
LAUREL, MT 59044-9489

Property Address: 701 E MAIN ST

Township: 02 S Range: 24 E Section: 09

Subdivision: ALLARD SUBD (LAUREL) Block: 27 Lot: 9

Full Legal: ALLARD SUBD (LAUREL), S09, T02 S, R24 E, BLOCK 27, Lot 9 - 10,  
AMND

GeoCode: 03-0821-09-4-11-01-0000

[Show on Map](#) (May not work for some newer properties.)

## Property Assessment Information

Levy District: 7 TI LAUREL URBAN RENEWA TAX I (618.13 Mills)

### 2021 Assessed Value Summary

Assessed Land Value = \$ 43,068.00

Assessed Building(s) Value = \$ 59,832.00

Total Assessed Value = \$ 102,900.00

### Assessed Value Detail Tax Year: 2021

| Class Code                                                             | Amount        |
|------------------------------------------------------------------------|---------------|
| 2207 - Commercial City or Town Lots (1.89% Tax Rate) =                 | \$ 43,068.00  |
| 3507 - Improvements on Commercial City or Town Lots (1.89% Tax Rate) = | \$ 59,832.00  |
| Total =                                                                | \$ 102,900.00 |

The values shown for the given tax year are for taxation purposes only. They are supplied by the Department of Revenue. For questions about these values, please contact the Montana Department of Revenue, Appraisal/Assessment Office at [406-896-4000](#).

## Rural SID Payoff Information

NONE

## Property Tax Billing History

| Year                 | 1st Half | 2nd Half | Total    |
|----------------------|----------|----------|----------|
| <a href="#">2000</a> | 467.00 P | 467.00 P | 934.00   |
| <a href="#">2001</a> | 514.04 P | 514.04 P | 1,028.08 |
| <a href="#">2002</a> | 563.46 P | 563.45 P | 1,126.91 |



|                      |          |          |          |
|----------------------|----------|----------|----------|
| <a href="#">2003</a> | 626.03 P | 626.03 P | 1,252.06 |
| <a href="#">2004</a> | 718.17 P | 718.17 P | 1,436.34 |
| <a href="#">2005</a> | 774.83 P | 774.82 P | 1,549.65 |
| <a href="#">2006</a> | 791.37 P | 791.35 P | 1,582.72 |
| <a href="#">2007</a> | 789.24 P | 789.22 P | 1,578.46 |
| <a href="#">2008</a> | 781.64 P | 781.60 P | 1,563.24 |
| <a href="#">2009</a> | 752.17 P | 752.14 P | 1,504.31 |
| <a href="#">2010</a> | 774.84 P | 774.83 P | 1,549.67 |
| <a href="#">2011</a> | 736.62 P | 736.62 P | 1,473.24 |
| <a href="#">2012</a> | 721.85 P | 721.84 P | 1,443.69 |
| <a href="#">2013</a> | 50.00 P  | 0.00     | 50.00    |
| <a href="#">2013</a> | 679.67 P | 679.65 P | 1,359.32 |
| <a href="#">2014</a> | 790.26 P | 790.25 P | 1,580.51 |
| <a href="#">2015</a> | 732.84 P | 732.82 P | 1,465.66 |
| <a href="#">2016</a> | 740.49 P | 740.49 P | 1,480.98 |
| <a href="#">2017</a> | 774.70 P | 774.69 P | 1,549.39 |
| <a href="#">2018</a> | 820.34 P | 820.32 P | 1,640.66 |
| <a href="#">2019</a> | 767.69 P | 767.66 P | 1,535.35 |
| <a href="#">2020</a> | 711.01 P | 710.99 P | 1,422.00 |
| <a href="#">2021</a> | 809.41 P | 809.40 P | 1,618.81 |

(P) indicates paid taxes.

Click on year for detail. [Pay Taxes Online](#)

### Jurisdictional Information

**Commissioner Dist:** 1 - [John Ostlund \(R\)](#)

**Senate:** 28 - [Brad Molnar \(R\)](#)

**House:** 55 - Vince Ricci (R)

**Ward:** 1 (LAUREL)

[Emelie Kay Eaton](#)

[Heidi Sparks](#)

**Precinct:** 55.4

**Zoning:** CBD-Central Business District

[Click Here to view Billings](#)

[Regulations](#)

[Click Here to view Laurel](#)

[Regulations](#)

[Click Here to view Broadview](#)

[Regulations](#)

[Click Here to view Yellowstone](#)

[County Regulations](#)

**School Attendance Areas**

**High:** LAUREL

**Middle:** LAUREL

**Elem:** LAUREL

[School District Trustee Links](#)

Any comments or questions regarding the web site may be directed to the [Web Developer](#).

CITY HALL  
115 W. 1<sup>ST</sup> ST.  
PUB. WORKS: 628-4796  
WATER OFC.: 628-7431  
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# City Of Laurel

P.O. Box 10  
Laurel, Montana 59044



Office of the Director of Public  
Works

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## **INTRODUCTION**

On Wednesday, September 28, 2022, Chad Page submitted a **Special Review Application for onsite sales and consumption of alcohol within the Laurel Central Business Zoning District (CBZD)**. The property involved in the request is the Pelican Cafe, 701 East Main Street, and is described as Allard Subdivision (Laurel) Lots 9 and 10, Block 27, Section 9, T. 2 S., R. 24 E., P.M.M., City of Laurel, Yellowstone County, Montana.

The project will be presented to the Laurel – Yellowstone City County Planning Board on **October 19, 2022**, with a recommendation to the Laurel City Council for final decision in November.

## **PLANNER RESPONSIBILITY**

- A. Consult with other departments of the City or County to evaluate the impact of the special review upon public facilities and services; ACCOMPLISHED
- B. Study each application with reference to its appropriateness and effect on existing and proposed land use, and reference to the comprehensive plan; ACCOMPLISHED
- C. Advertise twice in a newspaper of general circulation in the jurisdictional area of the Laurel – Yellowstone City County Planning Board; ACCOMPLISHED
- D. Notify by mail, the applicant or his agent at least five days prior to the date of the public hearing of the date, time and place of such hearing; ACCOMPLISHED
- E. Notify, by mail, all property owners within 300 feet of the exterior boundaries of the property subject to the special review of the date, time and location of the public hearing; ACCOMPLISHED
- F. **After the public hearing and as part of the public record, report findings and conclusions and recommendations to the Zoning Commission.**

## **STANDARD OF REVIEW Zoning Commission/City Council**

- The request complies with the requirements of §17.68.040 of the City of Laurel Zoning;
- The request is consistent with the objectives and purpose of Title 17 of the Laurel Municipal Code;
- The proposed use is compatible with surrounding land use or is otherwise screened and separated from adjacent land in such a way as to minimize adverse effects;
- The zoning commission shall consider and may impose modification or conditions concerning, but not limited to:
  - Street and road capacity,

- Ingress and egress to adjoining streets,
- Off-street parking,
- Fencing, screening and landscaping.
- Building bulk and location,
- Usable open space,
- Signs and lighting,
- Noise, vibration, air pollution and similar environmental influences.

**VARIANCES REQUESTED**

N/A. None Requested.

## PUBLIC HEARING NOTICE

The Laurel Zoning Commission will conduct a public hearing on a Special Review for The Pelican Café on property located at 701 E. Main Street, Laurel, Montana. The hearing is scheduled for **5:35 p.m., or as soon as practicable thereafter, in the City Council Chambers (115 W. Main Street, Laurel, Montana), on Wednesday, October 19, 2022.**

The specific property subject to the Special Review is described as:

- Allard Subdivision Block 27 Lot 9, S 09, T2S, R24E

The use triggering the Special Review is a request for **onsite sale and consumption of alcohol** within the Laurel Central Business District (CBD)

In addition to the above items, the Zoning Commission/City Council will consider the following items in the Special Review Process:

- The request complies with the requirements of §17.68.040 of the City of Laurel Zoning;
- The request is consistent with the objectives and purpose of Title 17 of the Laurel Municipal Code;
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  - Building bulk and location,
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  - Signs and lighting,
  - Noise, vibration, air pollution and similar environmental influences.

A copy of the Special Review application and supporting materials is available for public review at Laurel City Hall during regular business hours. Questions may be directed to Kurt Markegard, Planning Director at (406) 628-4796 ext. 5305 or [kmarkegard@laurel.mt.gov](mailto:kmarkegard@laurel.mt.gov). Public comment is encouraged.

The City of Laurel is committed to open and transparent government and associated public decision-making processes. Public comment is encouraged.

Publish September 30 and October 7, 2022.



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## SIGN PERMIT REQUEST

Date of application: 9-29-22

Business name: Chen's Express/City Brew

Location street address: 417 1<sup>st</sup> Ave., Laurel

Contractor name: Sign Products, Inc.

1425 Monad Rd.

Billings, MT 59101

406-252-6348

tgross@signproductsinc.com

Sign description:

A-install one double face 40' pole sign

Site plan: see attached

Sign detail: see attached

Engineered sign footing: see attached

Submitted by: 

Tom Gross

1425 Monad Road, Billings, MT 59101  
P.O. Box 20955, Billings, MT 59104  
(P): 406-252-6348 (F): 406-252-6654  
www.signproductsinc.com



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CITY OF LAUREL  
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**DATES TO REMEMBER**



FINAL DESIGN

Client Signature

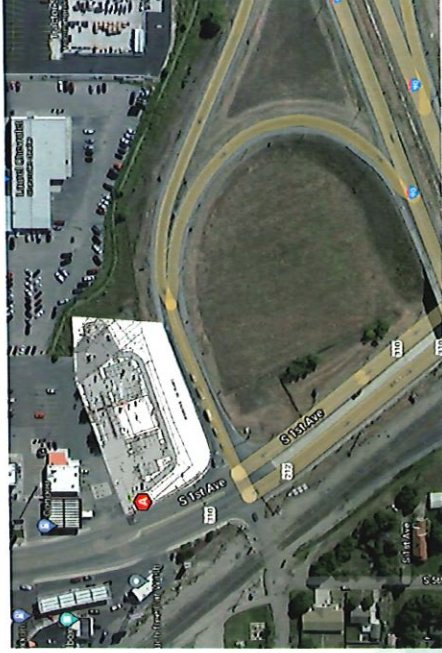
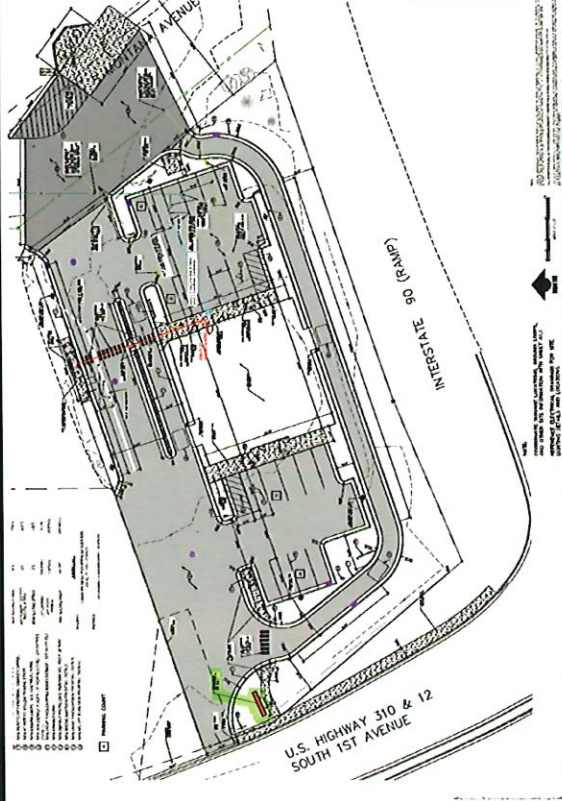
Sales

Design

PRINT #

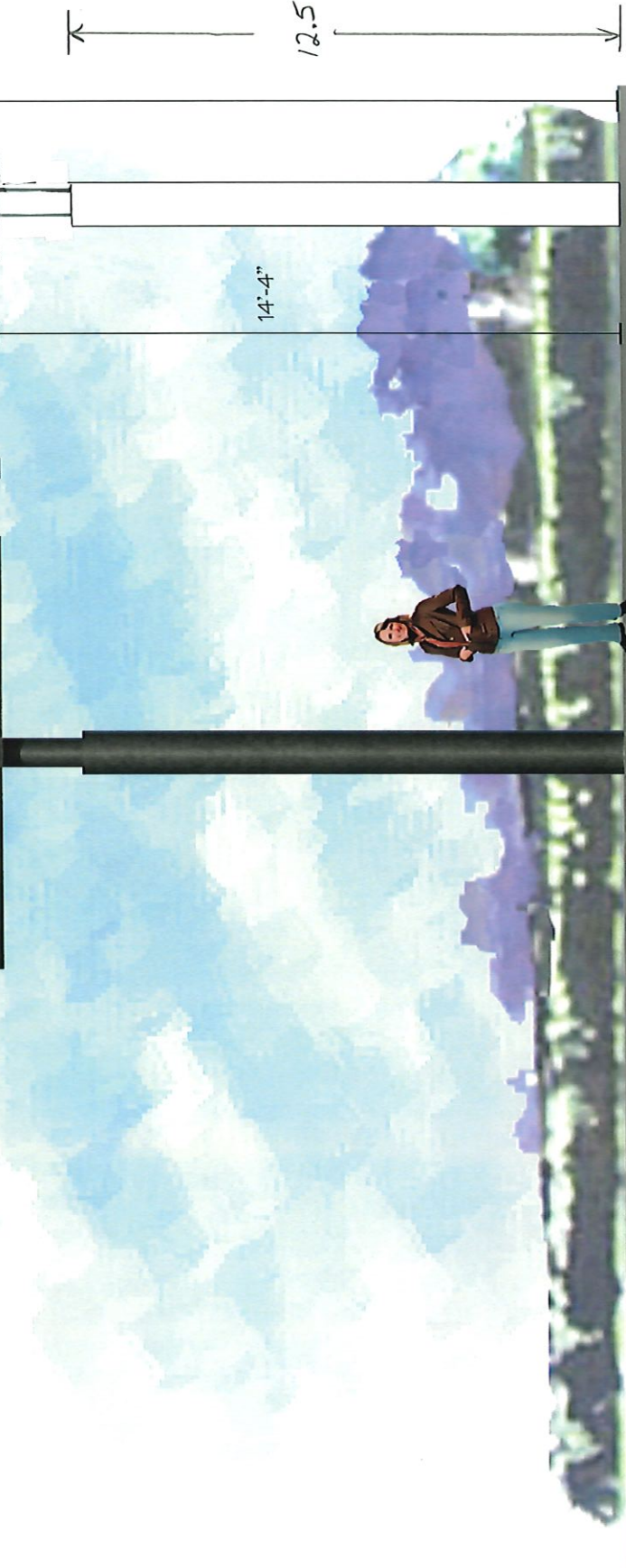
347

3 of 6



8/1/23

24 TO 30"  
VERIFY



DOUBLE FACED HI-RISE POLE SIGN SCALE 1/4" = 1'-0"

**A** MANUFACTURE AND INSTALL ONE D/F MULTI TENANT POLE SIGN. UPPER CIRCLE CABINET IS BLEED FRAME WIDE BODY EXTRUDED ALUMINUM. LOWER CABINETS ARE WIDE BODY EXTRUDED ALUMINUM WITH FLAT RETAINERS. ENAMEL PAINT FINISH ALL CABINETS BLACK. 3M PANAGRAPHS FLEXIBLE FACES IN UPPER AND LOWER CABINET WITH PRINTED AND UV LAMINATED GRAPHICS. WHITE POLYCARBONATE FACES IN DRIVE THRU CABINET WITH APPLIED 3630-22 BLACK VINYL. ILLUMINATE FROM INTERIOR OF CABINETS WITH SLOAN WHITE LED LIGHTS. MOUNT CABINETS TO TELESCOPING STEEL ROUND PIPE SUPPORT SET INTO A CONCRETE FOOTING - STEEL SIZE TBD. MOUNT SIGN IN APPROXIMATE LOCATION SHOWN IN SITE PLAN MEETING ALL CODE SET BACK REQUIREMENTS.



# CONSTRUCTION PERMIT AND APPLICATION

## CITY OF LAUREL, MONTANA

PERMIT No. \_\_\_\_\_

|                                                                                                            |  |                                                                     |  |
|------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------------------------|--|
| Job Address <u>417 1st Ave, Laurel</u>                                                                     |  | DEREME Budge                                                        |  |
| Owner <u>LAUREL 1 LLC</u>                                                                                  |  | Telephone <u>406-656-1301</u> General Contractor                    |  |
| Contractor <u>SIGN PRODUCTS, INC.</u>                                                                      |  | Subdivision <u>HAGEMAN Sub</u>                                      |  |
| Address <u>1425 Monad Rd, Billings, MT 59101</u>                                                           |  | Lot <u>1</u> Block _____ Tract _____ Zoning <u>HC-ENTRY OVERTAY</u> |  |
| Telephone <u>406-252-6348</u>                                                                              |  | Type: Addition <u>SIGN</u> Fence _____ MH Install _____             |  |
| City License <u>370</u>                                                                                    |  | New Structure <input checked="" type="checkbox"/> Remodel _____     |  |
| Special Conditions _____                                                                                   |  | Valuation of Project \$ <u>66,000</u>                               |  |
| _____                                                                                                      |  | Description of Work: <u>Install 40' Pole Sign</u>                   |  |
| Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____ |  |                                                                     |  |

BUILDING Approved To Issue By \_\_\_\_\_ Date \_\_\_\_\_

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, its officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

### FEES AND CHARGES

|                           |          |
|---------------------------|----------|
| 1000-323011 building      | \$ _____ |
| 1000-323013 plumbing      | \$ _____ |
| 1000-323014 plan review   | \$ _____ |
| 1000-323055 fence         | \$ _____ |
| 1000-323011 roof          | \$ _____ |
| 1000-323018 investigation | \$ _____ |
| 1000-323053 sign          | \$ _____ |
| 5210-343033 SDF water     | \$ _____ |
| 5310-343033 SDF sewer     | \$ _____ |
| 1000-323011 mh install    | \$ _____ |
| 1000-323011 re-inspection | \$ _____ |
| other                     | \$ _____ |
| Total Amount due          | \$ _____ |
| Amount Paid               | \$ _____ |

Signature of Applicant [Signature] Date 9-29-22



# CONSTRUCTION PERMIT AND APPLICATION

## CITY OF LAUREL, MONTANA

PERMIT No. \_\_\_\_\_

|                                                                                                            |  |                                                   |  |
|------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------|--|
| Job Address <u>417 1st Ave, Laurel</u>                                                                     |  | DEREME Budge                                      |  |
| Owner <u>LAUREL 1 LLC</u>                                                                                  |  | Telephone <u>406-656-1301</u> General Contractor  |  |
| Contractor <u>SIGN PRODUCTS, Inc</u>                                                                       |  | Subdivision <u>Hageman Sub</u>                    |  |
| Address <u>1425 Monad Rd., Billings, MT 59101</u>                                                          |  | Lot <u>1</u> Block _____ Tract _____ Zoning _____ |  |
| Telephone <u>406-252-6348</u>                                                                              |  | Valuation of Project \$ <u>66,000</u>             |  |
| City License <u>307</u>                                                                                    |  | Description of Work: <u>Install 40' pole sign</u> |  |
| Special Conditions _____                                                                                   |  | _____                                             |  |
| _____                                                                                                      |  | _____                                             |  |
| Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____ |  |                                                   |  |

**BUILDING** Approved To Issue By \_\_\_\_\_ Date \_\_\_\_\_

### THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:

|                   |       |           |       |               |       |
|-------------------|-------|-----------|-------|---------------|-------|
| Footings          | _____ | Inspector | _____ | Date Approved | _____ |
| Foundation        | _____ | Inspector | _____ | Date Approved | _____ |
| Damp-proofing     | _____ | Inspector | _____ | Date Approved | _____ |
| Ground Inspection | _____ | Inspector | _____ | Date Approved | _____ |
| Framing           | _____ | Inspector | _____ | Date Approved | _____ |
| Roofing           | _____ | Inspector | _____ | Date Approved | _____ |
| Insulation        | _____ | Inspector | _____ | Date Approved | _____ |
| Gypsum/Drywall    | _____ | Inspector | _____ | Date Approved | _____ |
| Other             | _____ | Inspector | _____ | Date Approved | _____ |
| Other             | _____ | Inspector | _____ | Date Approved | _____ |

### FINAL INSPECTIONS

|                   |       |           |       |               |       |
|-------------------|-------|-----------|-------|---------------|-------|
| Fire              | _____ | Inspector | _____ | Date Approved | _____ |
| Building          | _____ | Inspector | _____ | Date Approved | _____ |
| Site Improvements | _____ | Inspector | _____ | Date Approved | _____ |

**Call 628-4796 - 24 hours in advance to schedule inspections.**

**Do not cover or conceal any work before the required inspection has been approved.**

**This card and one set of approved plans must be available to the inspector at the job site during all inspections.**



# PLAN NOTES

- 1 NEW CURB & GUTTER
- 2 NEW ASPHALT PAVING ON SITE
- 3 NEW THICKENED EDGE CONCRETE SIDEWALK
- 4 NEW DRIVEABLE CONCRETE - SEE DETAILS
- 5 NEW ACCESSIBILITY RAMP
- 6 NEW 4" PAINTED YELLOW STRIPE AT 3' O.C.
- 7 NEW PAINTED INTERNATIONAL DISABLED SYMBOL
- 8 NEW 4" PAINTED YELLOW PARKING STRIPE
- 9 NEW GROUND LOOPS - SEE ELECTRICAL PLANS
- 10 NEW ADA SIGNAGE PLACED 1.0' FROM BUILDING - SEE DETAILS (SIGN 1)
- 11 NEW DRIVE THROUGH MENU BOARD SIGNAGE - SEE SHEET E0.2
- 12 NEW GARBAGE CANS
- 13 NEW ASPHALT PAVING ON S. MONTANA AVE. RIGHT OF WAY
- 14 NEW WRONG WAY SIGN PER DETAIL (SIGN 2)
- 15 NEW DRIVE THROUGH SIGN PER DETAIL (SIGN 3)

PER DETAIL (SIGN 4)

## SITE DATA

LEGAL DESCRIPTION: LOT 1, HAGEN SUBDIVISION 4TH FILING  
ZONING: HIGHWAY COMMERCIAL - COMMUNITY ENTRYWAY  
LOT AREA: 0.834 ACRES

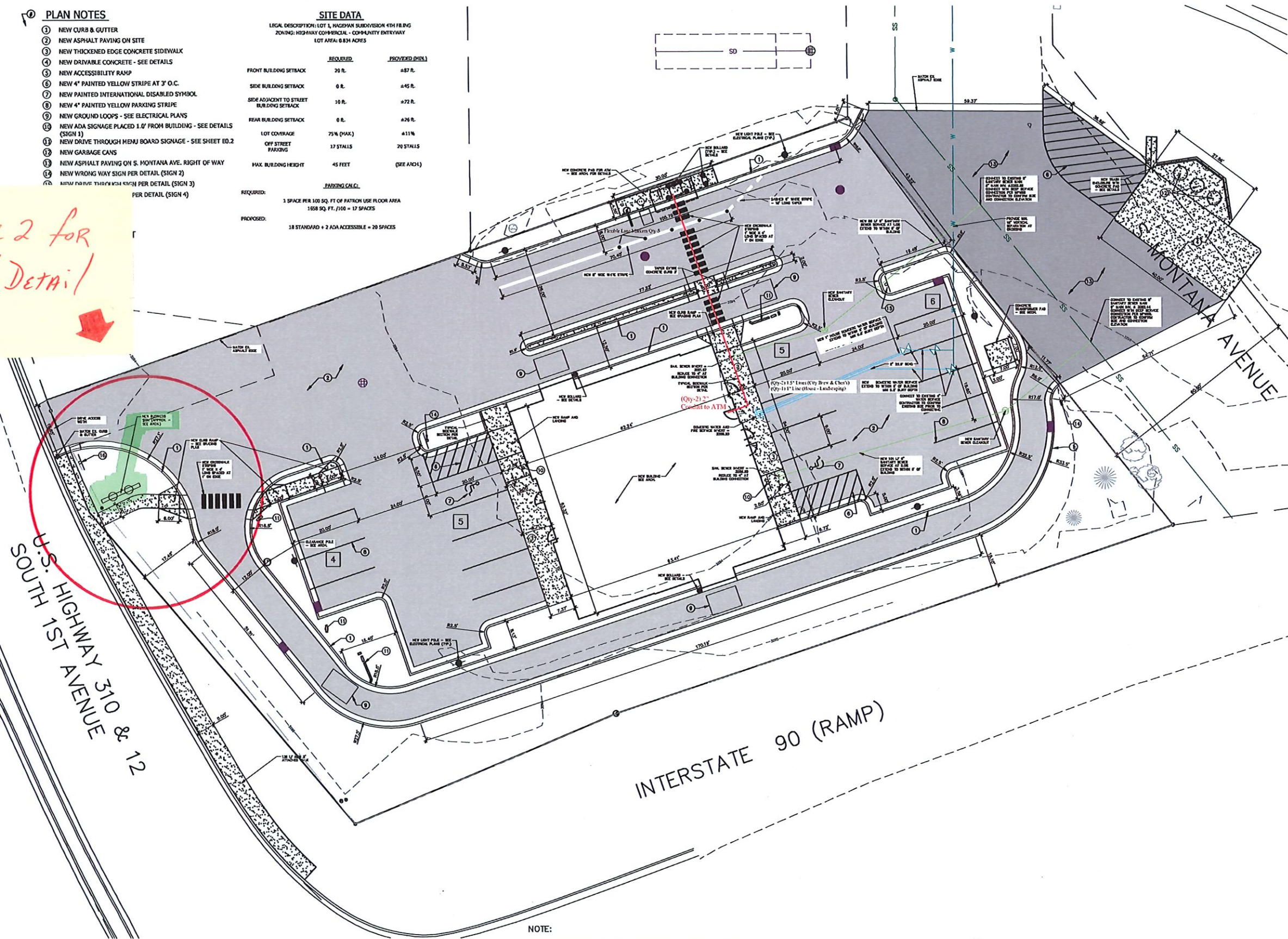
|                                          | REQUIRED  | PROPOSED (MIN) |
|------------------------------------------|-----------|----------------|
| FRONT BUILDING SETBACK                   | 20 R.     | ±87 R.         |
| SIDE BUILDING SETBACK                    | 0 R.      | ±45 R.         |
| SIDE ADJACENT TO STREET BUILDING SETBACK | 10 R.     | ±72 R.         |
| REAR BUILDING SETBACK                    | 0 R.      | ±26 R.         |
| LOT COVERAGE                             | 75% (MAX) | ±11%           |
| OFF STREET PARKING                       | 17 STALLS | 20 STALLS      |
| MAX. BUILDING HEIGHT                     | 45 FEET   | (SEE ARCH)     |

### PARKING CALC.

REQUIRED:  
1 SPACE PER 100 SQ. FT. OF PATRON USE FLOOR AREA  
1558 SQ. FT. / 100 = 15.58 SPACES

PROPOSED:  
18 STANDARD + 2 ADA ACCESSIBLE = 20 SPACES

\* SEE page 2 for  
Set back Detail



### NOTE:

COORDINATE SIGNAGE LOCATIONS, GROUND LOOPS, AND OTHER SITE INFORMATION WITH SHEET A1.1

REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING DETAILS AND LOCATIONS



SCALE: 1" = 30'

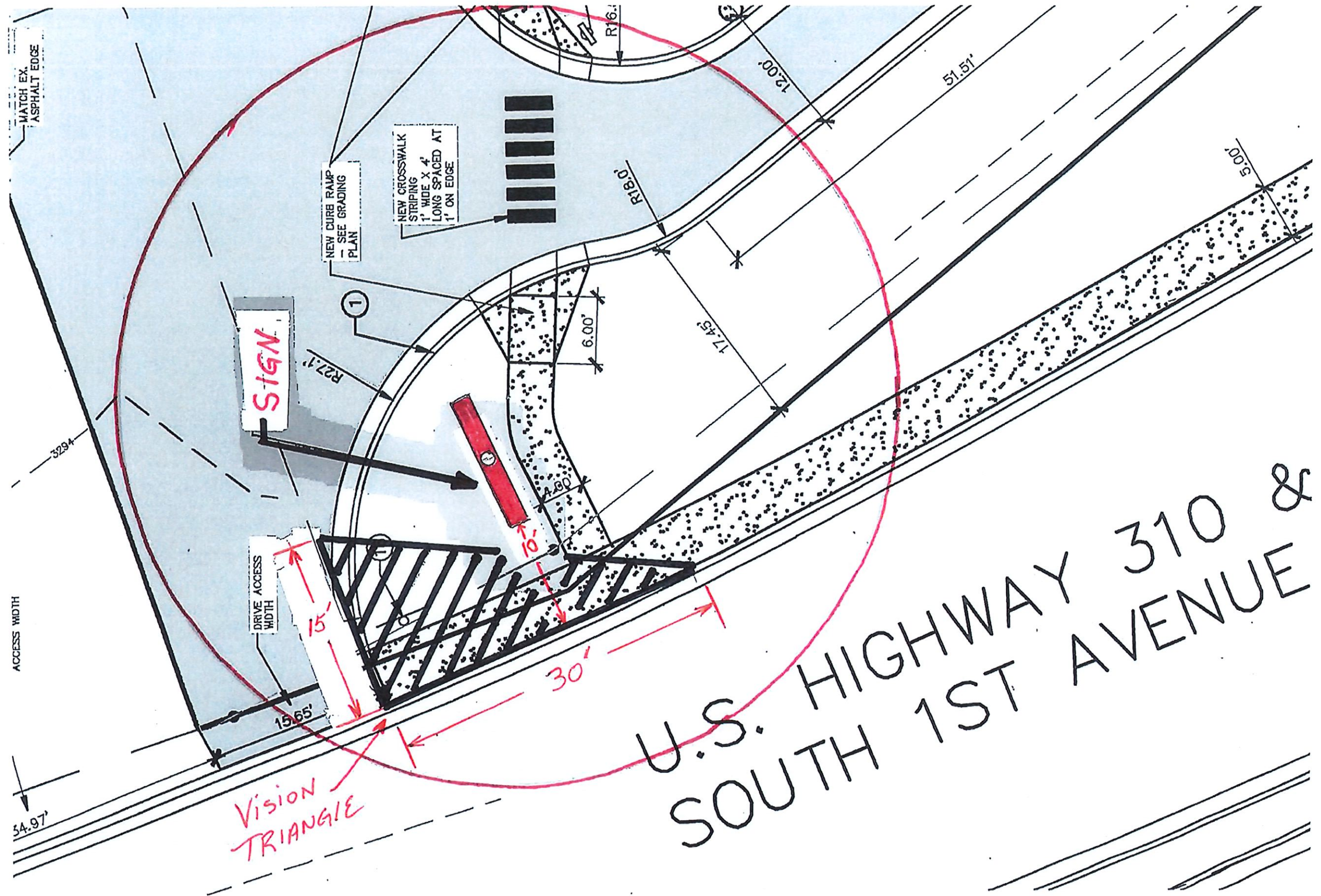
### NOTE:

EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (GAS, WATER, SANITARY, TELEPHONE & TELEVISION) MAY NOT BE SHOWN ON THE PLANS. THE CLIENT IS RESPONSIBLE FOR OBTAINING ALL NECESSARY INFORMATION FOR EXISTING UTILITIES.

ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MINNESOTA PUBLIC WORKS STANDARD SPECIFICATIONS 7TH EDITION, APRIL 2011.

UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE THE PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.







FINAL DESIGN

Client Signature

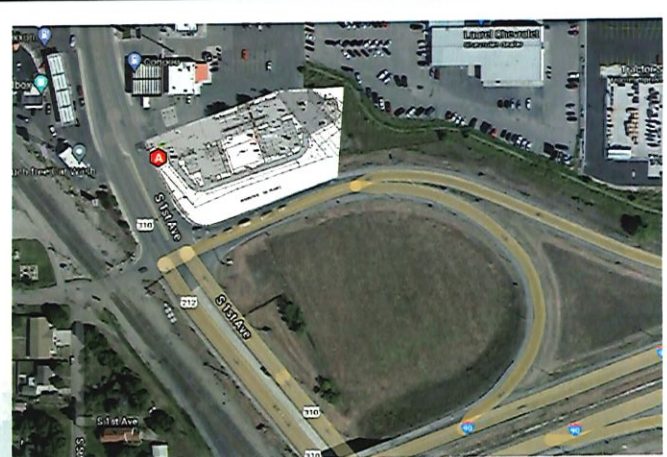
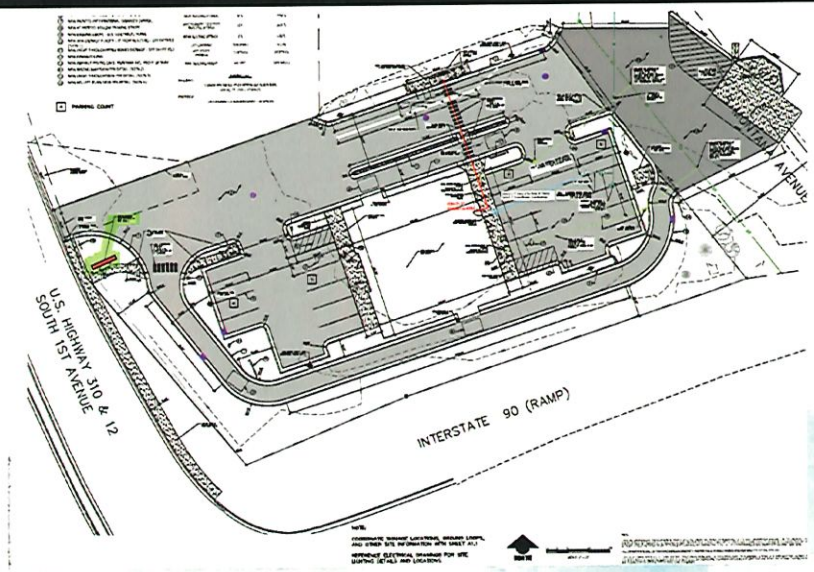
Sales

Design

PRINT #

36

of 6



| DESIGN SPECIFICATIONS |                                                       |
|-----------------------|-------------------------------------------------------|
| IBC 2015              | with Laurel MT amendments                             |
| ASCE 7-10             | Minimum Design Loads for Buildings & Other Structures |
| ACI 318-14            | Building Code Requirements for Structural Concrete    |
| ANSI/AISC 360-10      | Specification for Structural Steel Buildings          |
| DESIGN LOADS          |                                                       |
| Wind                  | Vult = 115 mph                                        |
| Exposure              | C                                                     |
| Risk Cat.             | II                                                    |
| Grnd. Snow            | Pg = 20 psf                                           |

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2399 A-2 NJ-34

MANASQUAN, NJ 08736

(973) 670-8215

Jere Murdoch

9/28/2022

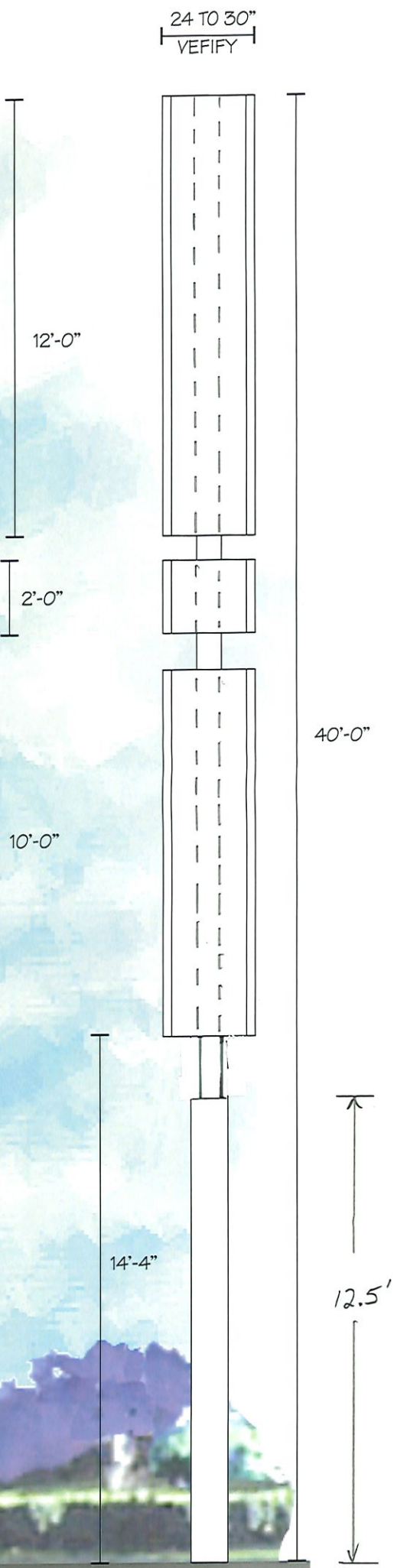
Jere Murdoch, PE

Professional Engineer

MT PE Lic. #PEL-PE-LIC-49009



ENGINEER'S NOTE:  
SEE S.1 & S.2 FOR STRUCTURE AND FOOTING DETAILS



DOUBLE FACED HI-RISE POLE SIGN SCALE 1/4"= 1'-0"

**A** MANUFACTURE AND INSTALL ONE D/F MULTI TENANT POLE SIGN. UPPER CIRCLE CABINET IS BLEED FRAME WIDE BODY EXTRUDED ALUMINUM. LOWER CABINETS ARE WIDE BODY EXTRUDED ALUMINUM WITH FLAT RETAINERS. ENAMEL PAINT FINISH ALL CABINETS BLACK. 3M PANAGRAPHS FLEXIBLE FACES IN UPPER AND LOWER CABINET WITH PRINTED AND UV LAMINATED GRAPHICS. WHITE POLYCARBONATE FACES IN DRIVE THRU CABINET WITH APPLIED 3630-22 BLACK VINYL. ILLUMINATE FROM INTERIOR OF CABINETS WITH SLOAN WHITE LED LIGHTS. MOUNT CABINETS TO TELESCOPING STEEL ROUND PIPE SUPPORT SET INTO A CONCRETE FOOTING - STEEL SIZE TBD. MOUNT SIGN IN APPROXIMATE LOCATION SHOWN IN SITE PLAN MEETING ALL CODE SET BACK REQUIREMENTS.



**SIGN PRODUCTS, INC.**  
1425 MONAD, BILLINGS, MT 59104  
Phone: (406) 252-6348 Fax: (406) 252-6654

CLIENT  
CITY BREW - CHENS EXPRESS  
WELLS BUILT  
LAUREL, MT

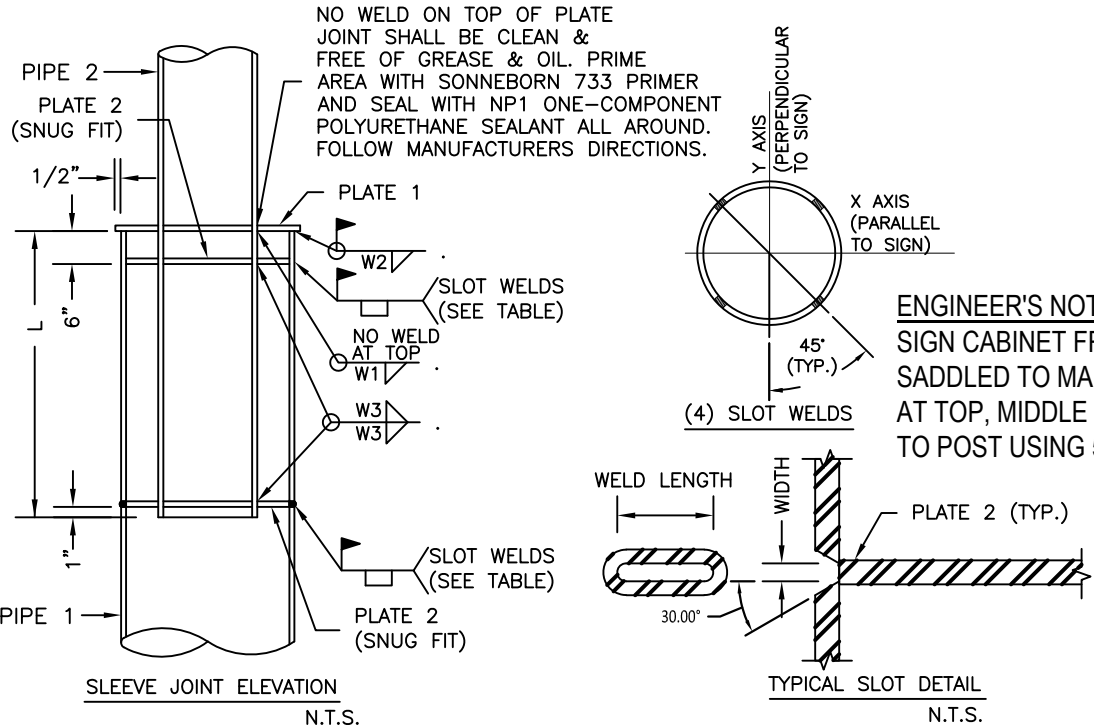
DATE 08-24-22  
SCALE 1/4" = 1'-0"

DESIGN # 19912-22  
SALES MIKE N.

DESIGNER TP  
SHEET # 1 OF 1

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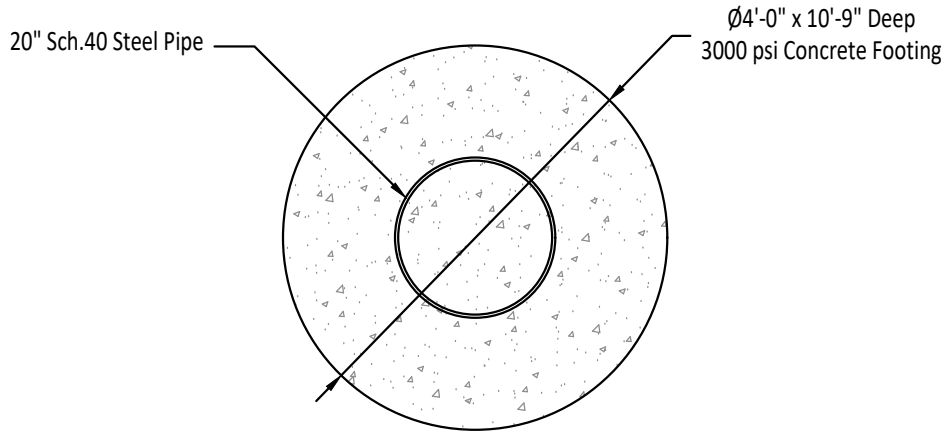




| PIPE 1       | PIPE 2       | "L"   | PLATE 1 | PLATE 2 | W1   | W2   | W3   | SLOT WELD     |
|--------------|--------------|-------|---------|---------|------|------|------|---------------|
| 14.00"x.375" | 8.63"x.322"  | 2'-0" | 3/4"    | 3/4"    | 1/4  | 5/16 | 1/4  | 4 @ 11/16"x2" |
| 20.00"x.375" | 14.00"x.375" | 2'-0" | 3/4"    | 1"      | 5/16 | 5/16 | 5/16 | 4 @ 11/16"x2" |

### Splice Details [TYP.]

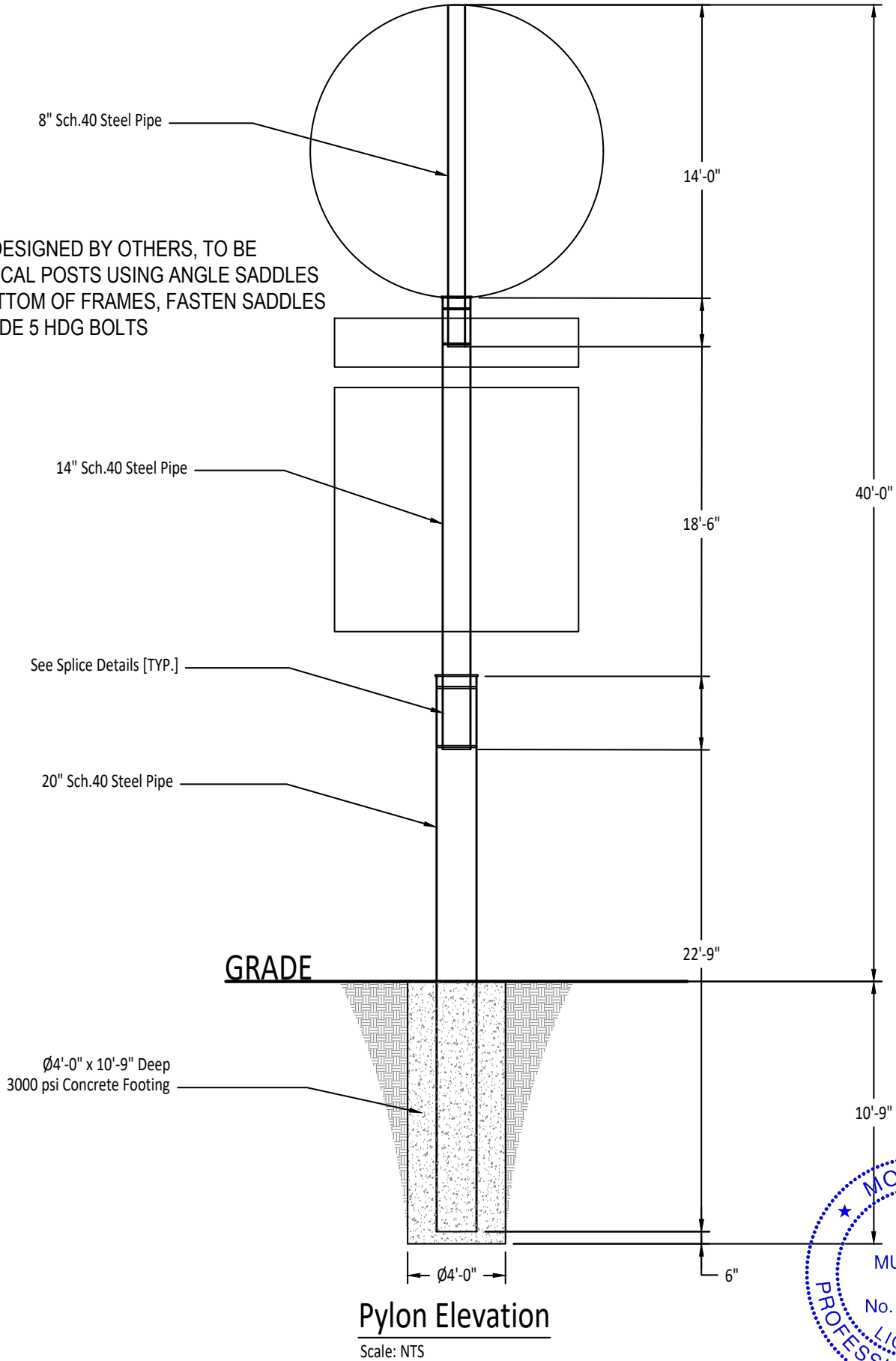
Scale: NTS



### Footing Plan View

Scale: 1/2" = 1'-0"

**ENGINEER'S NOTE:**  
SIGN CABINET FRAMES DESIGNED BY OTHERS, TO BE  
SADDLED TO MAIN VERTICAL POSTS USING ANGLE SADDLES  
AT TOP, MIDDLE AND BOTTOM OF FRAMES, FASTEN SADDLES  
TO POST USING 5/8" GRADE 5 HDG BOLTS



**MURDOCH  
ENGINEERING**  
SIGN STRUCTURE PROFESSIONALS

[murdochengineering.com](http://murdochengineering.com)  
(973) 570-8215  
2399 NJ-34 A-2  
Manasquan, NJ 08736

PREPARED FOR:

### SIGN PRODUCTS

**CITY BREW SIGNAGE**

**PROJECT ADDRESS:**  
417 1st Ave, Laurel, MT 59044

**PROJECT TITLE:**

#### DESIGN SPECIFICATIONS

IBC 2015 with Laurel MT amendments  
ASCE 7-10 Minimum Design Loads for Buildings & Other Structures  
ACI 318-14 Building Code Requirements for Structural Concrete  
ANSI/AISC 360-10 Specification for Structural Steel Buildings

#### DESIGN LOADS

Wind Vult = 115 mph  
Exposure C  
Risk Cat. II  
Grnd. Snow Pg = 20 psf

**MURDOCH  
ENGINEERING**  
SIGN STRUCTURE PROFESSIONALS

2399 A-2 NJ-34  
MANASQUAN, NJ 08736  
(973) 570-8215

**Jere Murdoch, PE**  
Professional Engineer  
MT PE Lic. #PEL-PE-LIC-49009

9/28/2022

DWG TITLE:

### GENERAL NOTES

SHEET:

**S.1**

SHEET:

**B**

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GENERAL:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL .
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

- IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
- MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
- INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
- INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
- ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

STEEL

1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

|                  |                 |                |
|------------------|-----------------|----------------|
| ROUND HSS        | ASTM A500, GR B | Fy=42 KSI MIN. |
| SQUARE/RECT HSS  | ASTM A500, GR B | Fy=46 KSI MIN. |
| THREADED ROD     | F1554 GR 55     | Fy=55 KSI MIN. |
| STEEL PLATE STD. | ASTM A36 ASTM   | Fy=36 KSI MIN. |
| PIPE             | A53, GR B       | Fy=35 KSI MIN. |

- BOLTS SHALL CONFORM TO ASTM A325 UNO.
- BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
- NUTS SHALL CONFORM TO ASTM A563.
- WASHERS SHALL CONFORM TO ASTM F844.
- STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
- WELDING:
  - WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
  - ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
  - UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
  - BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

ALUMINUM:

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
- PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ft<sub>u</sub>=38 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ft<sub>u</sub>=38 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ft<sub>u</sub>=42 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ft<sub>u</sub>=38 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
- FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
- ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
- WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
- ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
- PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
- ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
- FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

CONCRETE & REINFORCEMENT

- MINIMUM 28-DAY COMPRESSIVE STRENGTH (f<sub>c</sub>') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
- REINFORCEMENT TO BE ASTM A615 GR 60, F<sub>y</sub>=60 KSI UNO
- CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
- VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-14
- PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

FOUNDATIONS

- CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
- FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, 3/4" BLUESTONE OR CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
- COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR.
- REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
- FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. UNLESS OTHERWISE NOTED.
- FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. Unless otherwise noted.
- ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
- FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH, CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 150 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE BASED ON SOIL DATA OBTAINED FROM THE USGS SOIL SURVEY.
- IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT MURDOCH ENGINEERING FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.
- PORTION OF STEEL SUPPORT EMBEDDED INTO CONCRETE SHALL NOT BE PAINTED. IT SHALL BE CLEAN BARE METAL FOR PROPER ADHESION TO CONCRETE

SCOPE OF WORK:

- LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE.



[murdochengineering.com](http://murdochengineering.com)  
(973) 570-8215  
2399 NJ-34 A-2  
Manasquan, NJ 08736

PREPARED FOR:

SIGN PRODUCTS

CITY BREW SIGNAGE

417 1st Ave, Laurel, MT 59044

PROJECT TITLE:

PROJECT ADDRESS:

| DESIGN SPECIFICATIONS |        |                                                       |                      |
|-----------------------|--------|-------------------------------------------------------|----------------------|
| IBC                   | 2015   | with                                                  | Laurel MT amendments |
| ASCE                  | 7-10   | Minimum Design Loads for Buildings & Other Structures |                      |
| ACI                   | 318-14 | Building Code Requirements for Structural Concrete    |                      |
| ANSI/AISC             | 360-10 | Specification for Structural Steel Buildings          |                      |
| DESIGN LOADS          |        |                                                       |                      |
| Wind                  | Vult = | 115                                                   | mph                  |
| Exposure              | C      |                                                       |                      |
| Risk Cat.             | II     |                                                       |                      |
| Grnd. Snow            | Pg =   | 20                                                    | psf                  |



2399 A-2 NJ-34  
MANASQUAN, NJ 08736  
(973) 570-8215

**Jere Murdoch, PE**  
Professional Engineer  
MT PE Lic. #PEL-PE-LIC-49009

DWG TITLE:  
GENERAL NOTES

SHEET:

S.2

SIZE:

B

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**File Attachments for Item:**

4. Approval for a Pole sign permit for Chen's Express and City Brew



---

## SIGN PERMIT REQUEST

Date of application: 9-29-22

Business name: Chen's Express/City Brew

Location street address: 417 1<sup>st</sup> Ave., Laurel

Contractor name: Sign Products, Inc.

1425 Monad Rd.

Billings, MT 59101

406-252-6348

tgross@signproductsinc.com

Sign description:

A-install one double face 40' pole sign

Site plan: see attached

Sign detail: see attached

Engineered sign footing: see attached

Submitted by: 

Tom Gross

1425 Monad Road, Billings, MT 59101  
P.O. Box 20955, Billings, MT 59104  
(P): 406-252-6348 (F): 406-252-6654  
www.signproductsinc.com



# PLAN NOTES

- 1 NEW CURB & GUTTER
- 2 NEW ASPHALT PAVING ON SITE
- 3 NEW THICKENED EDGE CONCRETE SIDEWALK
- 4 NEW DRIVEABLE CONCRETE - SEE DETAILS
- 5 NEW ACCESSIBILITY RAMP
- 6 NEW 4" PAINTED YELLOW STRIPE AT 3' O.C.
- 7 NEW PAINTED INTERNATIONAL DISABLED SYMBOL
- 8 NEW 4" PAINTED YELLOW PARKING STRIPE
- 9 NEW GROUND LOOPS - SEE ELECTRICAL PLANS
- 10 NEW ADA SIGNAGE PLACED 1.0' FROM BUILDING - SEE DETAILS (SIGN 1)
- 11 NEW DRIVE THROUGH MENU BOARD SIGNAGE - SEE SHEET E0.2
- 12 NEW GARBAGE CANS
- 13 NEW ASPHALT PAVING ON S. MONTANA AVE. RIGHT OF WAY
- 14 NEW WRONG WAY SIGN PER DETAIL (SIGN 2)
- 15 NEW DRIVE THROUGH SIGN PER DETAIL (SIGN 3)

PER DETAIL (SIGN 4)

## SITE DATA

LEGAL DESCRIPTION: LOT 1, HAGEN SUBDIVISION 4TH FILING  
ZONING: HIGHWAY COMMERCIAL - COMMUNITY ENTRYWAY  
LOT AREA: 0.834 ACRES

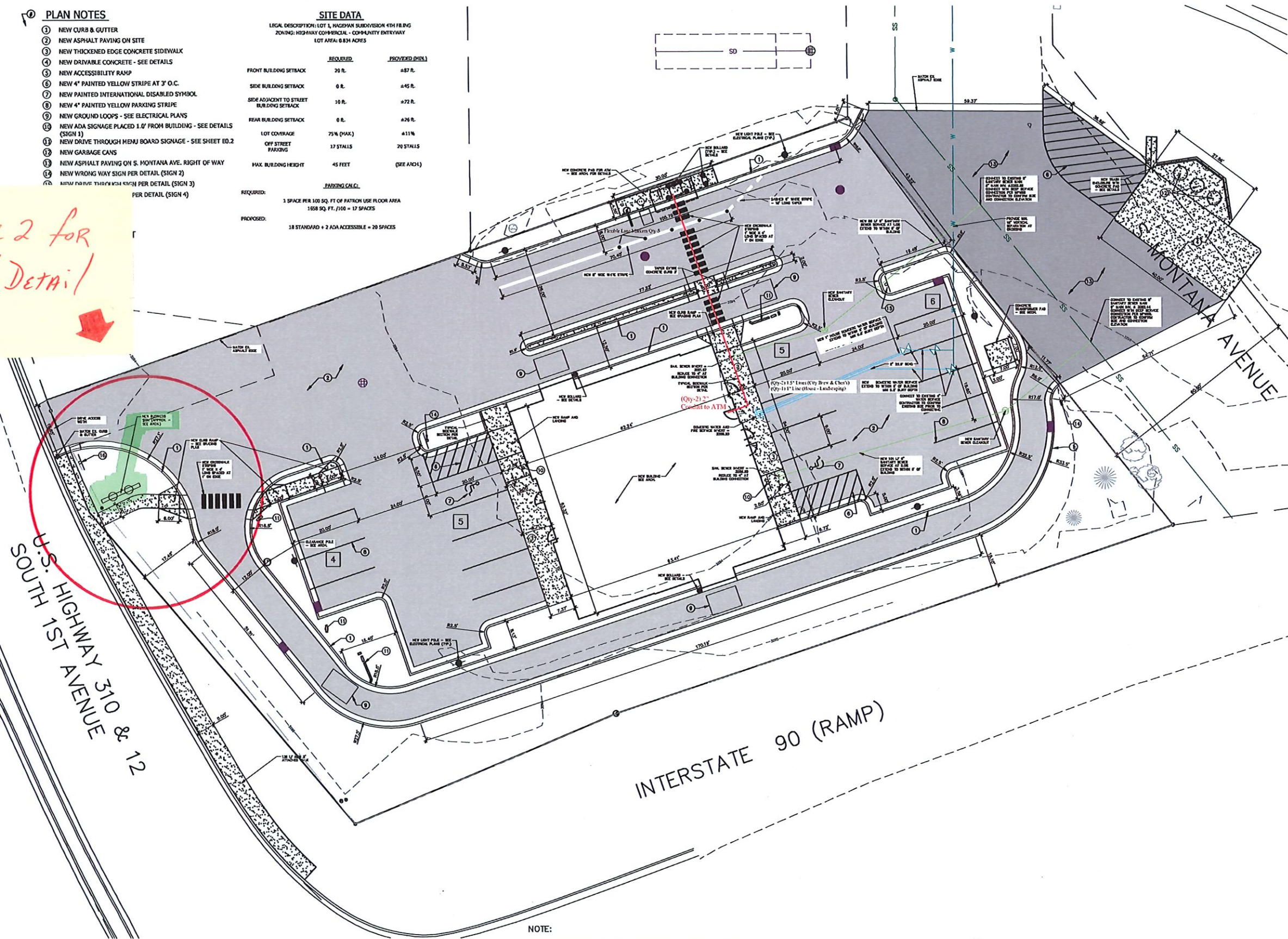
|                                          | REQUIRED   | PROPOSED (MIN) |
|------------------------------------------|------------|----------------|
| FRONT BUILDING SETBACK                   | 20 R.      | ±87 R.         |
| SIDE BUILDING SETBACK                    | 0 R.       | ±45 R.         |
| SIDE ADJACENT TO STREET BUILDING SETBACK | 10 R.      | ±72 R.         |
| REAR BUILDING SETBACK                    | 0 R.       | ±26 R.         |
| LOT COVERAGE                             | 75% (MAX.) | ±11%           |
| OFF STREET PARKING                       | 17 STALLS  | 20 STALLS      |
| MAX. BUILDING HEIGHT                     | 45 FEET    | (SEE ARCH)     |

### PARKING CALC.

REQUIRED:  
1 SPACE PER 100 SQ. FT. OF PATRON USE FLOOR AREA  
1658 SQ. FT. / 100 = 17 SPACES

PROPOSED:  
18 STANDARD + 2 ADA ACCESSIBLE = 20 SPACES

\* SEE PAGE 2 FOR  
SET BACK DETAIL



### NOTE:

COORDINATE SIGNAGE LOCATIONS, GROUND LOOPS, AND OTHER SITE INFORMATION WITH SHEET A1.1

REFERENCE ELECTRICAL DRAWINGS FOR SITE LIGHTING DETAILS AND LOCATIONS



SCALE: 1" = 30'

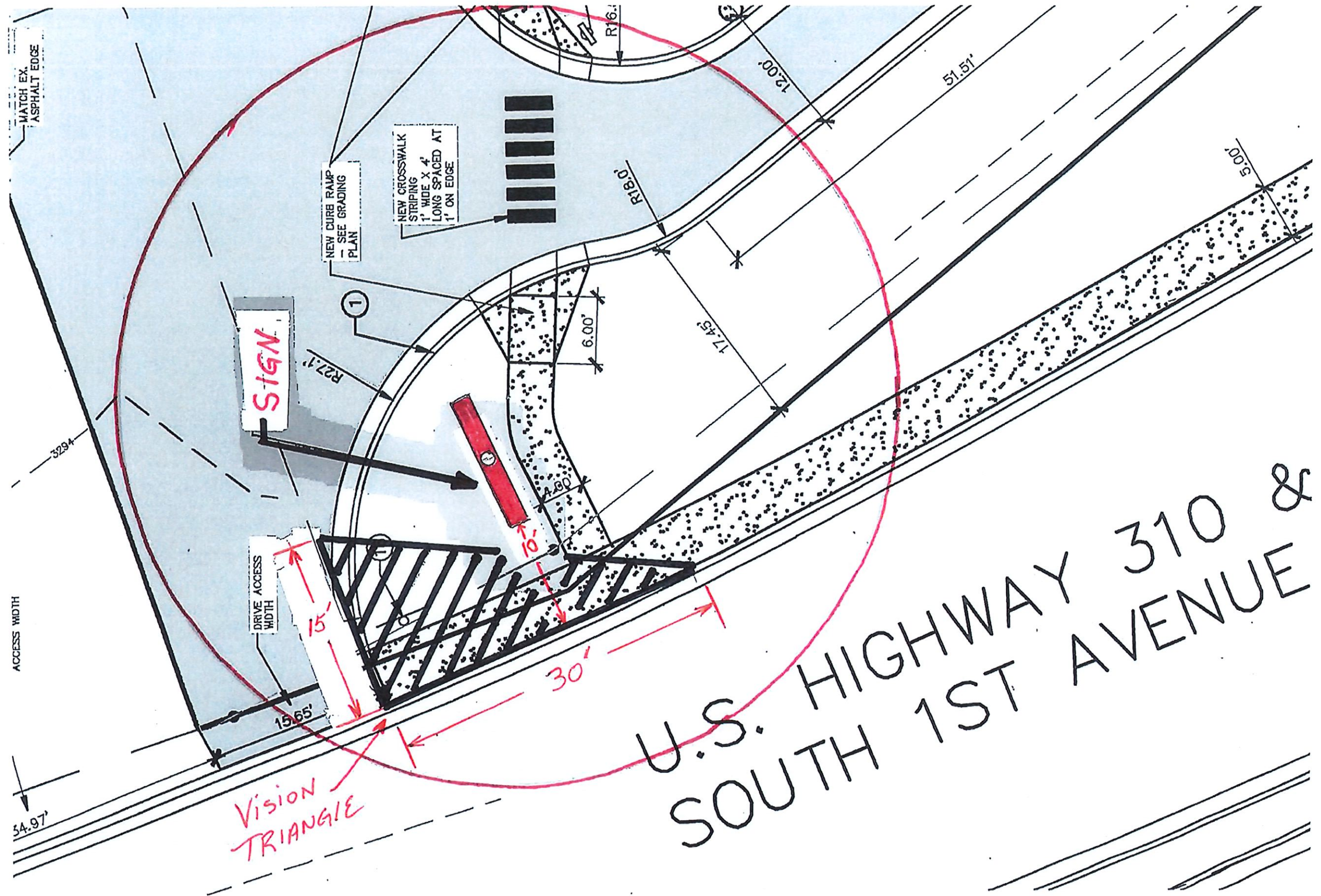
### NOTE:

EXISTING UNDERGROUND INSTALLATIONS & PRIVATE UTILITIES SHOWN ARE INDICATED ACCORDING TO THE BEST INFORMATION AVAILABLE TO THE ENGINEER. THE ENGINEER DOES NOT GUARANTEE THE ACCURACY OF SUCH INFORMATION. SERVICE LINES (GAS, WATER, SEWER, TELEPHONE & TELEVISION) MAY NOT BE SHOWN ON THE PLANS. THE ENGINEER REQUIRES CONTRACTOR TO CALL ALL UTILITY COMPANIES BEFORE EXCAVATION FOR EXACT LOCATIONS.

ALL IMPROVEMENTS SHALL BE PERFORMED IN ACCORDANCE WITH MINNESOTA PUBLIC WORKS STANDARD SPECIFICATIONS 7TH EDITION, APRIL 2011.

UNLESS OTHERWISE SPECIFIED, ALL CONSTRUCTION LAYOUT AND STAKING SHALL BE PERFORMED UNDER THE RESPONSIBLE CHARGE OF A LAND SURVEYOR LICENSED IN THE STATE WHERE PROJECT IS LOCATED AND BY A PARTY CHIEF OR ENGINEERING TECHNICIAN EXPERIENCED IN CONSTRUCTION LAYOUT AND STAKING TECHNIQUES AS ARE REQUIRED BY THE SPECIFIC TYPE OF WORK BEING PERFORMED.





U.S. HIGHWAY 310 &  
SOUTH 1ST AVENUE



FINAL DESIGN

Client Signature

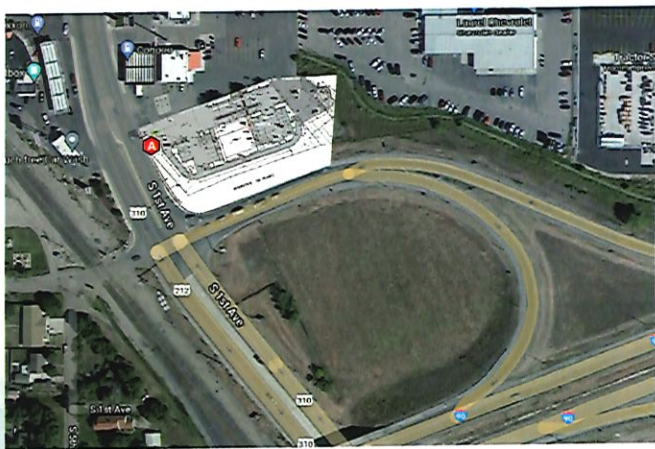
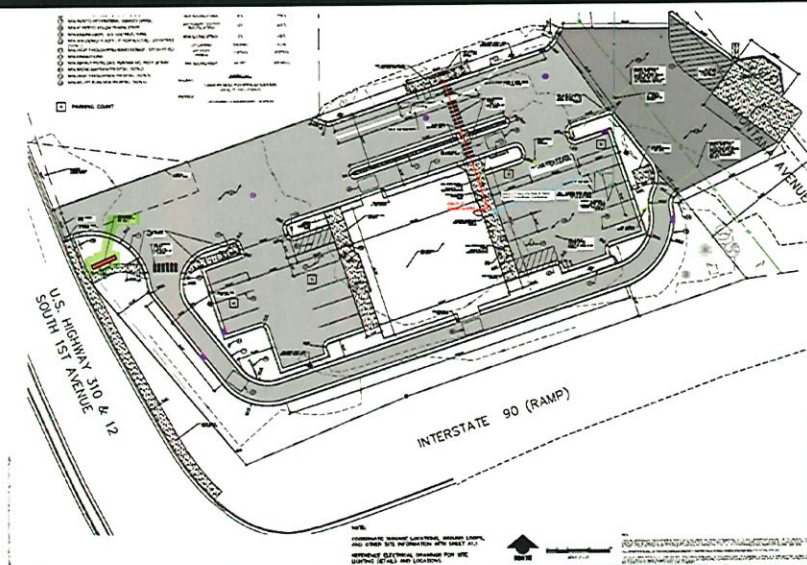
Sales

Design

PRINT #

36

of 6



| DESIGN SPECIFICATIONS |                                                       |
|-----------------------|-------------------------------------------------------|
| IBC 2015              | with Laurel MT amendments                             |
| ASCE 7-10             | Minimum Design Loads for Buildings & Other Structures |
| ACI 318-14            | Building Code Requirements for Structural Concrete    |
| ANSI/AISC 360-10      | Specification for Structural Steel Buildings          |
| DESIGN LOADS          |                                                       |
| Wind                  | Vult = 115 mph                                        |
| Exposure              | C                                                     |
| Risk Cat.             | II                                                    |
| Grnd. Snow            | Pg = 20 psf                                           |

MURDOCH ENGINEERING

SIGN STRUCTURE PROFESSIONALS

2399 A-2 NJ-34

MANASQUAN, NJ 08736

(973) 670-8215

Jere Murdoch

Jere Murdoch, PE

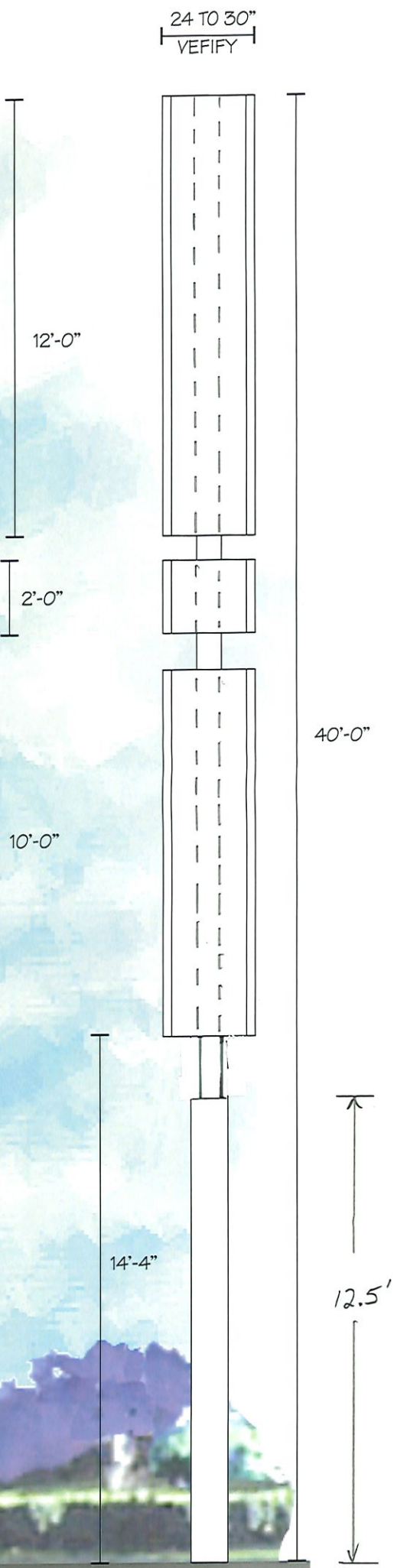
Professional Engineer

MT PE Lic. #PEL-PE-LIC-49009

9/28/2022



ENGINEER'S NOTE:  
SEE S.1 & S.2 FOR STRUCTURE AND FOOTING DETAILS



DOUBLE FACED HI-RISE POLE SIGN SCALE 1/4"= 1'-0"

**A** MANUFACTURE AND INSTALL ONE D/F MULTI TENANT POLE SIGN. UPPER CIRCLE CABINET IS BLEED FRAME WIDE BODY EXTRUDED ALUMINUM. LOWER CABINETS ARE WIDE BODY EXTRUDED ALUMINUM WITH FLAT RETAINERS. ENAMEL PAINT FINISH ALL CABINETS BLACK. 3M PANAGRAPHS FLEXIBLE FACES IN UPPER AND LOWER CABINET WITH PRINTED AND UV LAMINATED GRAPHICS. WHITE POLYCARBONATE FACES IN DRIVE THRU CABINET WITH APPLIED 3630-22 BLACK VINYL. ILLUMINATE FROM INTERIOR OF CABINETS WITH SLOAN WHITE LED LIGHTS. MOUNT CABINETS TO TELESCOPING STEEL ROUND PIPE SUPPORT SET INTO A CONCRETE FOOTING - STEEL SIZE TBD. MOUNT SIGN IN APPROXIMATE LOCATION SHOWN IN SITE PLAN MEETING ALL CODE SET BACK REQUIREMENTS.



**SIGN PRODUCTS, INC.**  
1425 MONAD, BILLINGS, MT 59104  
Phone:(406) 252-6348 Fax:(406) 252-6654

CLIENT  
CITY BREW - CHENS EXPRESS  
WELLS BUILT  
LAUREL, MT

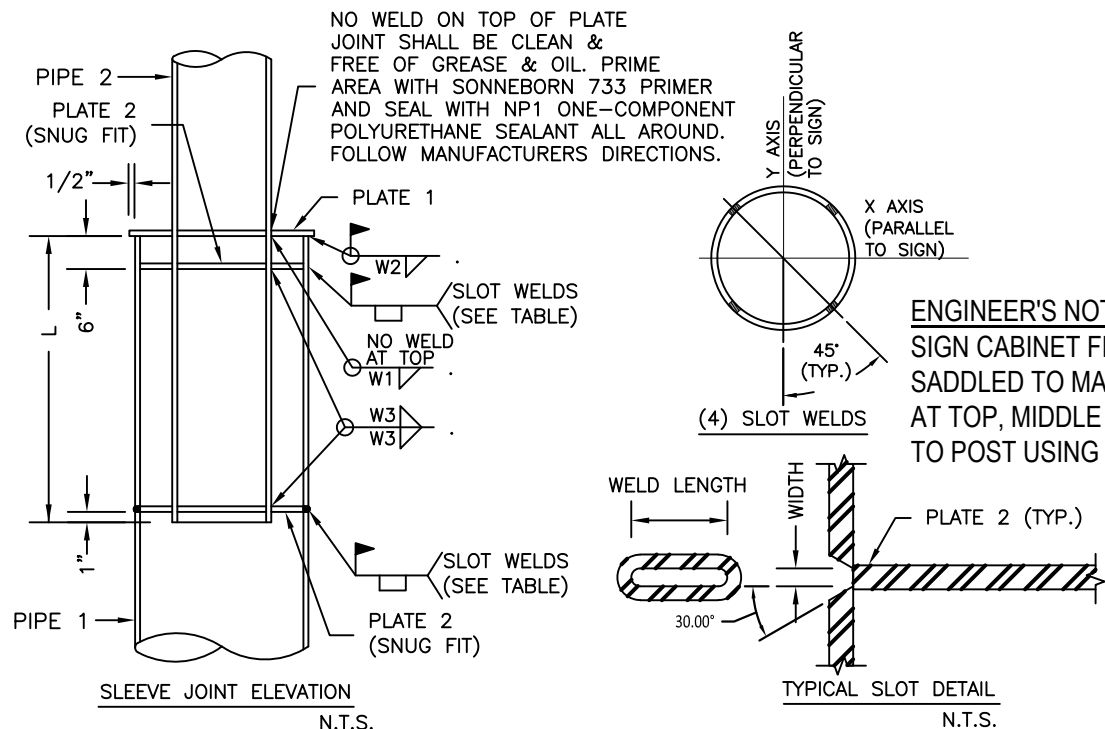
DATE 08-24-22  
SCALE 1/4"= 1'-0"

DESIGN # 19912-22  
SALES MIKE N.

DESIGNER TP  
SHEET # 1 OF 1

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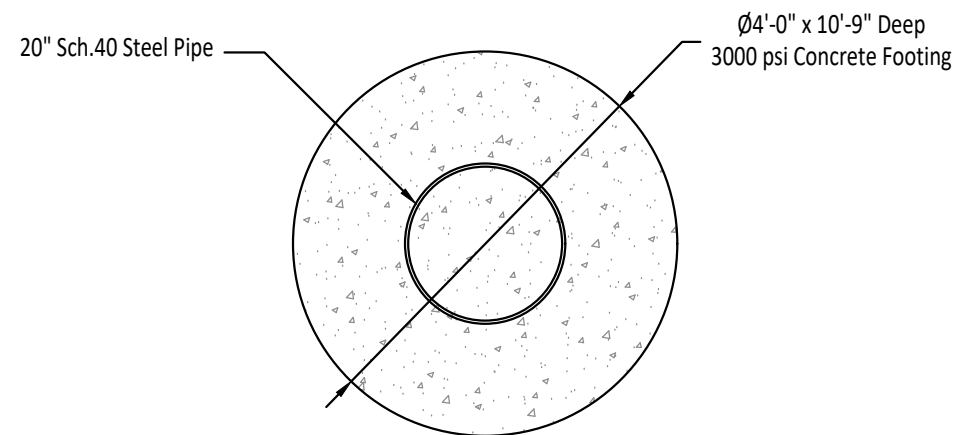




| PIPE 1       | PIPE 2       | "L"   | PLATE 1 | PLATE 2 | W1   | W2   | W3   | SLOT WELD     |
|--------------|--------------|-------|---------|---------|------|------|------|---------------|
| 14.00"x.375" | 8.63"x.322"  | 2'-0" | 3/4"    | 3/4"    | 1/4  | 5/16 | 1/4  | 4 @ 11/16"x2" |
| 20.00"x.375" | 14.00"x.375" | 2'-0" | 3/4"    | 1"      | 5/16 | 5/16 | 5/16 | 4 @ 11/16"x2" |

## Splice Details [TYP.]

Scale: NTS



## Footing Plan View

Scale:  $\frac{1}{2}" = 1'-0"$

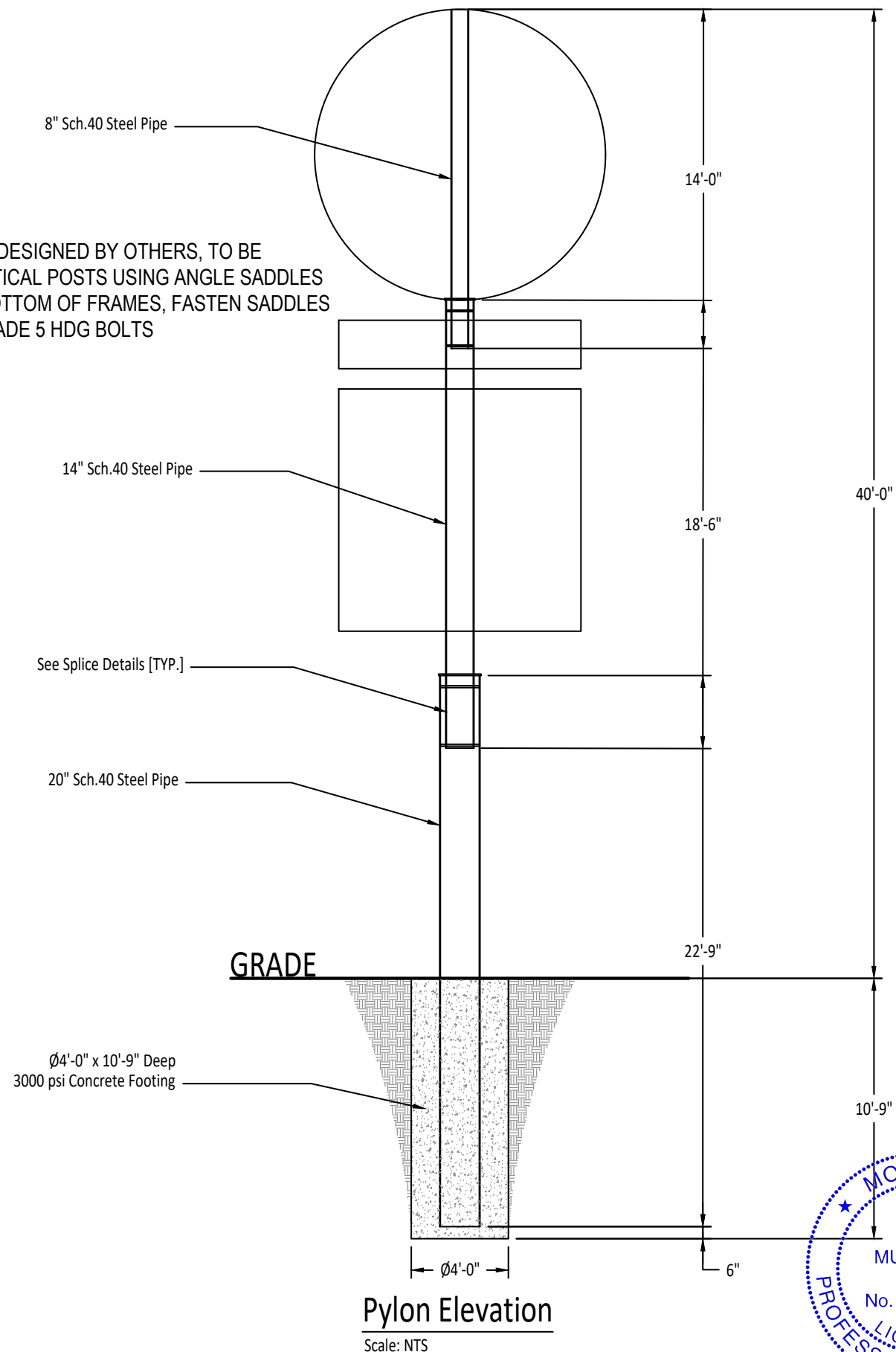
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## ENGINEER'S NOTE:

SIGN CABINET FRAMES DESIGNED BY OTHERS, TO BE SADDLED TO MAIN VERTICAL POSTS USING ANGLE SADDLES AT TOP, MIDDLE AND BOTTOM OF FRAMES, FASTEN SADDLES TO POST USING 5/8" GRADE 5 HDG BOLTS



**MURDOCH ENGINEERING**  
SIGN STRUCTURE PROFESSIONALS

murdochengineering.com  
(973) 570-8215  
2399 NJ-34 A-2  
Manasquan, NJ 08736

PREPARED FOR:

## SIGN PRODUCTS

PROJECT TITLE:

CITY BREW SIGNAGE

PROJECT ADDRESS:

417 1st Ave, Laurel, MT 59044

## DESIGN SPECIFICATIONS

IBC 2015 with Laurel MT amendments  
ASCE 7-10 Minimum Design Loads for Buildings & Other Structures  
ACI 318-14 Building Code Requirements for Structural Concrete  
ANSI/AISC 360-10 Specification for Structural Steel Buildings

## DESIGN LOADS

Wind Vult = 115 mph  
Exposure C  
Risk Cat. II  
Grnd. Snow Pg = 20 psf

**MURDOCH ENGINEERING**  
SIGN STRUCTURE PROFESSIONALS

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MANASQUAN, NJ 08736  
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**Jere Murdoch, PE**  
Professional Engineer  
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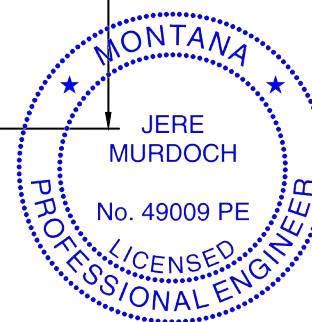
## GENERAL NOTES

SHEET:

**S.1**

SHEET:

**B**



GENERAL:

- ALL MATERIALS AND WORK SHALL CONFORM TO THE REQUIREMENTS OF THE APPLICABLE INTERNATIONAL BUILDING CODE (IBC).
- CONSTRUCTION METHODS AND PROJECT SAFETY: DRAWINGS AND SPECIFICATIONS REPRESENT THE FINISHED STRUCTURE AND DO NOT INDICATE METHODS, PROCEDURES, OR SEQUENCE OF CONSTRUCTION. TAKE NECESSARY PRECAUTIONS TO MAINTAIN AND ENSURE THE INTEGRITY OF THE STRUCTURE DURING CONSTRUCTION. THE EOR WILL NOT ENFORCE SAFETY MEASURES OR REGULATIONS. THE CONTRACTOR SHALL DESIGN, CONSTRUCT, AND MAINTAIN ALL SAFETY DEVICES AND SHALL BE SOLELY RESPONSIBLE FOR CONFORMING TO ALL LOCAL, STATE, AND FEDERAL SAFETY AND HEALTH STANDARDS, LAWS, AND REGULATIONS.
- THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS, ELEVATIONS AND SITE CONDITIONS PRIOR TO THE START OF CONSTRUCTION AND NOTIFY THE ENGINEER IMMEDIATELY OF ANY DISCREPANCIES OR INCONSISTENCIES THAT ARE FOUND. NOTED DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS. DO NOT SCALE DRAWINGS.
- ALL OMISSIONS AND/OR CONFLICTS BETWEEN THE VARIOUS ELEMENTS OF THE WORKING DRAWINGS AND SPECIFICATIONS SHALL BE BROUGHT TO THE ATTENTION OF THE ENGINEER AND FIELD INSPECTOR. THE ENGINEER SHALL PROVIDE A SOLUTION PRIOR TO PROCEEDING WITH ANY WORK AFFECTED BY THE CONFLICT OR OMISSION.
- WHERE NO CONSTRUCTION DETAILS ARE SHOWN OR NOTED FOR ANY PART OF THE WORK, CONSTRUCT IN ACCORDANCE WITH THE STEEL CONSTRUCTION MANUAL, 14TH EDITION OR 2010 ALUMINUM DESIGN MANUAL .
- WHEN A DETAIL IS IDENTIFIED AS TYPICAL, THE CONTRACTOR IS TO APPLY THIS DETAIL IN ESTIMATING AND CONSTRUCTION TO EVERY LIKE CONDITION WHETHER OR NOT THE REFERENCE IS REPEATED IN EVERY INSTANCE.
- ANY CHANGE TO THE DESIGN AS SHOWN ON THE DRAWINGS REQUIRES PRIOR WRITTEN APPROVAL FROM DESIGN ENGINEER OF RECORD BEFORE CONSTRUCTION.
- WORK PERFORMED IN CONFLICT WITH THE STRUCTURAL DRAWINGS OR APPLICABLE BUILDING CODE REQUIREMENTS SHALL BE CORRECTED AT THE EXPENSE OF THE CONTRACTOR.
- VERIFICATION: VERIFY ALL DIMENSIONS, ELEVATIONS, AND SITE CONDITIONS BEFORE STARTING WORK. NOTIFY THE EOR IMMEDIATELY OF ANY DISCREPANCIES.

EXISTING CONDITIONS:

- IF EXISTING CONDITIONS ARE NOT AS DETAILED IN THIS DESIGN, THE INSTALLER SHALL CEASE WORK AND NOTIFY MURDOCH ENGINEERING IMMEDIATELY.
- MURDOCH ENGINEERING WILL NOT BE PERFORMING ON-SITE INSPECTIONS OR VERIFICATIONS. IT IS THE RESPONSIBILITY OF THE INSTALLER, STRUCTURE OWNER, AND PROPERTY OWNER TO IDENTIFY EXISTING CONDITIONS AND CONTACT MURDOCH ENGINEERING WITH ANY DISCREPANCIES OR CONCERNS.
- INSTALLER SHALL CONFIRM THE DIAMETER AND THICKNESS OF EXISTING MEMBERS AND NOTIFY MURDOCH ENGINEERING OF ANY DISCREPANCIES.
- INSTALLER SHALL INSPECT AND CONFIRM THE QUALITY OF EXISTING STRUCTURE AS "IN GOOD REPAIR". IF THERE ARE ANY INDICATIONS THAT THIS IS NOT THE CASE, INSTALLER SHALL CEASE WORK IMMEDIATELY AND NOTIFY MURDOCH ENGINEERING.
- ANY EXISTING INFORMATION SHOWN HAS BEEN FURNISHED BY THE PERSON(S) OR COMPANY THIS DOCUMENT WAS PREPARED FOR (SEE TITLE BLOCK). MURDOCH ENGINEERING IN NO WAY CERTIFIES THIS INFORMATION AS "AS-BUILT". IF THERE IS ANY REASON TO BELIEVE THE EXISTING CONDITIONS DETAILED HEREIN ARE NOT ACCURATE, MURDOCH ENGINEERING SHALL BE NOTIFIED IMMEDIATELY.

STEEL

1. STEEL SHAPES SHALL CONFORM TO THE FOLLOWING:

|                  |                 |                |
|------------------|-----------------|----------------|
| ROUND HSS        | ASTM A500, GR B | Fy=42 KSI MIN. |
| SQUARE/RECT HSS  | ASTM A500, GR B | Fy=46 KSI MIN. |
| THREADED ROD     | F1554 GR 55     | Fy=55 KSI MIN. |
| STEEL PLATE STD. | ASTM A36 ASTM   | Fy=36 KSI MIN. |
| PIPE             | A53, GR B       | Fy=35 KSI MIN. |

- BOLTS SHALL CONFORM TO ASTM A325 UNO.
- BOLTS AND THREADED ROD SHALL BE HOT-DIP GALVANIZED PER ASTM F2329 UNO.
- ANCHOR BOLTS SHALL CONFORM TO ASTM F1554 UNO.
- NUTS SHALL CONFORM TO ASTM A563.
- WASHERS SHALL CONFORM TO ASTM F844.
- STEEL HARDWARE SHALL BE HOT-DIP GALVANIZED PER ASTM A153 UNO
- WELDING:
  - WELD STRUCTURAL STEEL IN COMPLIANCE WITH ANSI/AWS D1.1 AND AISC SPECIFICATION, CHAPTER J. WELDERS SHALL BE CERTIFIED AS REQUIRED BY GOVERNING CODE AUTHORITY. WELDING SHALL BE DONE BY ELECTRIC ARC PROCESS USING LOW-HYDROGEN ELECTRODES WITH SPECIFIED TENSILE STRENGTH NOT LESS THAN 70 KSI UNLESS NOTED OTHERWISE.
  - ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH ACTIVE STATUS AT TIME OF WELDING
  - UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELDS PER AISC SPECIFICATION, SECTION J2, TABLE J2.4
  - BASE PLATES SHALL BE WELDED ON TOP AND BOTTOM WITH CONTINUOUS WELDS OF AT LEAST 1/4" (IF PLATE IS CUT TO FIT TUBE INTO PLATE)

ALUMINUM:

- FABRICATE AND ERECT ALUMINUM IN COMPLIANCE WITH THE ALUMINUM ASSOCIATION (AA) 2010 ALUMINUM DESIGN MANUAL (ADM) 1, THE SPECIFICATIONS FOR ALUMINUM SHEET METAL WORK (ASM35), AND IBC CHAPTER 20.
- PIPE AND TUBE SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ft<sub>u</sub>=38 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- STD STRUCTURAL PROFILES SHALL BE 6061-T6 PER B308 WITH Ft<sub>u</sub>=38 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- SHEET AND PLATE SHALL BE 6061-T6 PER ASTM B209 WITH Ft<sub>u</sub>=42 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- EXTRUSIONS SHALL BE 6061-T6 PER ASTM B241 OR B429 WITH Ft<sub>u</sub>=38 KSI MIN, F<sub>ty</sub>=35 KSI MIN, Ft<sub>w</sub>=24 KSI MIN, F<sub>tyw</sub>=15 KSI MIN.
- ALL SHOP AND FIELD WELDS SHALL BE PERFORMED BY AN AWS OR ICC CERTIFIED WELDER WITH CURRENT STATUS AT TIME OF WELDING
- UNLESS A LARGER WELD SIZE IS INDICATED, PROVIDE MINIMUM SIZE WELD PER ADM. ALL ALUMINUM WELDED JOINTS SHALL HAVE WELD SIZES OF AT LEAST 1/4 INCH
- FILLET WELDS SHALL NOT EXCEED THINNEST MEMBER WALL THICKNESS JOINED.
- ALUMINUM WELD FILLER SHALL BE 5356 ALLOY
- WELDING PROCESS GMAW OR GTAW SHALL BE IN ACCORDANCE WITH AWS D1.2
- ALUMINUM CHANNEL LETTERS SHALL BE CONSTRUCTED OF 0.090" RETURNS AND 0.125" BACKS MINIMUM, UNLESS A LARGER SIZE IS INDICATED ON DRAWINGS. THIS NOTE SHALL SUPERCEDE DRAWING DETAILS.
- PROVIDE NEOPRENE GASKET BETWEEN DISSIMILAR METALS TO PREVENT GALVANIC CORROSION
- ALUMINUM DIRECTLY EMBEDDED INTO CONCRETE SHALL BE CAPPED AT BOTTOM AND COATED WITH BITUMINOUS COATING OR POLYURETHANE WHERE IN CONTACT WITH CONCRETE.
- FASTENERS BETWEEN DISSIMILAR METALS SHALL BE STAINLESS STEEL 316.

CONCRETE & REINFORCEMENT

- MINIMUM 28-DAY COMPRESSIVE STRENGTH (f<sub>c</sub>') SHALL BE 3,000 PSI. THE MAXIMUM WATER TO CEMENT RATIO SHALL BE 0.45 BY WEIGHT. A MINIMUM OF 5-3/4 BAGS OF CEMENT SHALL BE USED PER CUBIC YARD WITH A SLUMP OF 4" +/- 1.
- REINFORCEMENT TO BE ASTM A615 GR 60, F<sub>y</sub>=60 KSI UNO
- CALCIUM CHLORIDE OR ADDED CHLORIDE IS NOT PERMITTED
- VIBRATION: ALL REINFORCED CONCRETE SHALL BE CONSOLIDATED WITH MECHANICAL VIBRATORS
- CONCRETE CONSTRUCTION SHALL BE IN ACCORDANCE WITH ACI 318-14
- PROVIDE A MINIMUM OF 2-1/2" COVER OF ALL EMBEDDED STEEL REBAR AND A MINIMUM OF 6 INCHES OF COVER FOR DIRECT BURIED PIPE OR TUBE MEMBERS.

FOUNDATIONS

- CONCRETE POURED INTO CONSTRAINED EARTH EXCAVATIONS MUST CURE UNDER PROPER CONDITIONS FOR A MINIMUM OF 7 DAYS PRIOR TO SIGN BOX INSTALLATION. (EXCEPTION: IF THE OVERALL HEIGHT OF THE SIGN IS LESS THAN 20 FEET AND THE SIGN IS ADEQUATELY BRACED AGAINST WIND LOADS FOR A MINIMUM OF 4 DAYS, THE BOX MAY BE INSTALLED THE SAME DAY AS THE FOOTING IS POURED)
- FOOTINGS MUST BE POURED AGAINST UNDISTURBED EARTH. SOIL BACKFILL IS UNACCEPTABLE. WHEN A SONOTUBE IS USED AS THE FORM, 3/4" BLUESTONE OR CONCRETE SHALL BE USED TO BACKFILL THE SPACE BETWEEN THE SONOTUBE AND UNDISTURBED EARTH.
- COLD WEATHER PLACEMENT: PROTECT CONCRETE WORK FROM PHYSICAL DAMAGE OR REDUCED STRENGTH THAT COULD BE CAUSED BY FROST, FREEZING ACTIONS OR LOW TEMPERATURES. DO NOT POUR CONCRETE DURING OR WHEN FREEZING TEMPERATURES ARE ANTICIPATED WITHIN 3 DAYS OF POUR.
- REINFORCEMENT IS NOT REQUIRED FOR DIRECT BURIAL TYPE SIGN FOOTINGS FOR SIGNS OF 25 FEET OVERALL HEIGHT OR LESS, DIRECT BURIED STEEL SHALL EXTEND TO 6 INCHES FROM BOTTOM OF FOOTING.
- FOR ANCHOR BOLT/ BASE PLATE - SQUARE FOOTINGS, PROVIDE A MINIMUM OF #5 VERTICAL REBAR @ 12" O.C., 4" OFFSET FROM PERIMETER, TOP AND BOTTOM OF FOOTING. PROVIDE #3 HORIZONTAL TIES @ 12" O.C. UNLESS OTHERWISE NOTED.
- FOR ANCHOR BOLT/ BASE PLATE - ROUND FOOTINGS, PROVIDE A MINIMUM OF SIX (6) VERTICAL #5 REBARS, EVENLY SPACED, 4" OFFSET FROM FOOTING PERIMETER & #3 HORIZONTAL TIES, 12" O.C. Unless otherwise noted.
- ANCHOR BOLTS SHALL BE TIED TO REBAR CAGE AT A MINIMUM OF TWO LOCATIONS PER ANCHOR BOLT
- FOOTING DESIGN ASSUMES FOOTING SHALL BE EXCAVATED AND POURED IN UNDISTURBED NATURAL EARTH, CAPABLE OF WITHSTANDING A MINIMUM 1,500 PSF VERTICAL DESIGN BEARING PRESSURE AND 150 PSF/FT OF DEPTH OF LATERAL BEARING PRESSURE BASED ON SOIL DATA OBTAINED FROM THE USGS SOIL SURVEY.
- IF CLAY, SILTY - CLAY, ORGANIC OR FILL SOIL IS ENCOUNTERED UPON EXCAVATION, CONTACT MURDOCH ENGINEERING FOR FOOTING DESIGN MODIFICATION PRIOR TO CONSTRUCTION.
- PORTION OF STEEL SUPPORT EMBEDDED INTO CONCRETE SHALL NOT BE PAINTED. IT SHALL BE CLEAN BARE METAL FOR PROPER ADHESION TO CONCRETE

SCOPE OF WORK:

- LIMITS OF LIABILITY TO EXTEND ONLY TO THE QUANTITY INDICATED. ATTEMPTS IN PART OR IN WHOLE TO INSTALL GREATER QUANTITIES THAN THOSE SPECIFIED WITHOUT CONSULTING MURDOCH ENGINEERING SHALL VOID ALL PROFESSIONAL LIABILITY AND COVERAGE.



murdochengineering.com  
(973) 570-8215  
2399 NJ-34 A-2  
Manasquan, NJ 08736

PREPARED FOR:

SIGN PRODUCTS

CITY BREW SIGNAGE

417 1st Ave, Laurel, MT 59044

PROJECT TITLE:

PROJECT ADDRESS:

| DESIGN SPECIFICATIONS |        |                                                       |                      |
|-----------------------|--------|-------------------------------------------------------|----------------------|
| IBC                   | 2015   | with                                                  | Laurel MT amendments |
| ASCE                  | 7-10   | Minimum Design Loads for Buildings & Other Structures |                      |
| ACI                   | 318-14 | Building Code Requirements for Structural Concrete    |                      |
| ANSI/AISC             | 360-10 | Specification for Structural Steel Buildings          |                      |
| DESIGN LOADS          |        |                                                       |                      |
| Wind                  | Vult = | 115                                                   | mph                  |
| Exposure              | C      |                                                       |                      |
| Risk Cat.             | II     |                                                       |                      |
| Grnd. Snow            | Pg =   | 20                                                    | psf                  |



2399 A-2 NJ-34  
MANASQUAN, NJ 08736  
(973) 570-8215

*Jerre Murdoch*  
9/28/2022  
**Jerre Murdoch, PE**  
Professional Engineer  
MT PE Lic. #PEL-PE-LIC-49009

DWG TITLE:  
GENERAL NOTES

SHEET:

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FINAL DESIGN

Client Signature

*Mal*

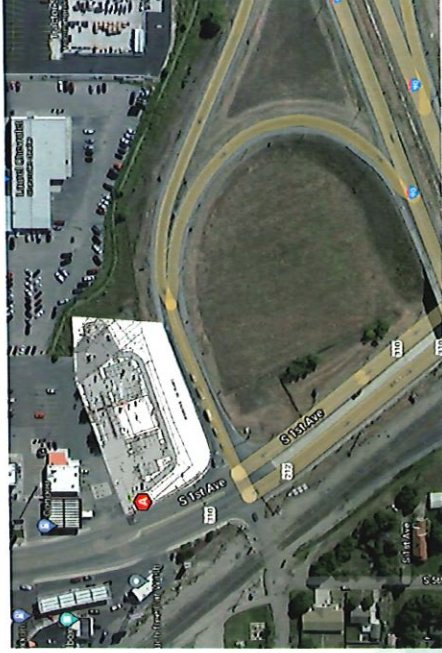
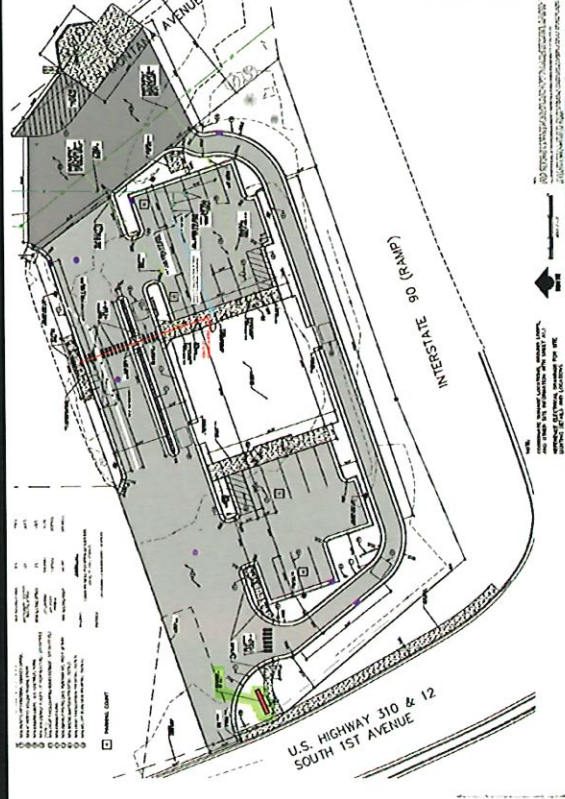
Sales

*36*

Design

*36*

PRINT #



8/1/23

24 TO 30"  
VERIFY



DOUBLE FACED HI-RISE POLE SIGN SCALE 1/4" = 1'-0"

**A** MANUFACTURE AND INSTALL ONE D/F MULTI TENANT POLE SIGN. UPPER CIRCLE CABINET IS BLEED FRAME WIDE BODY EXTRUDED ALUMINUM. LOWER CABINETS ARE WIDE BODY EXTRUDED ALUMINUM WITH FLAT RETAINERS. ENAMEL PAINT FINISH ALL CABINETS BLACK. 3M PANAGRAPHS FLEXIBLE FACES IN UPPER AND LOWER CABINET WITH PRINTED AND UV LAMINATED GRAPHICS. WHITE POLYCARBONATE FACES IN DRIVE THRU CABINET WITH APPLIED 3630-22 BLACK VINYL. ILLUMINATE FROM INTERIOR OF CABINETS WITH SLOAN WHITE LED LIGHTS. MOUNT CABINETS TO TELESCOPING STEEL ROUND PIPE SUPPORT SET INTO A CONCRETE FOOTING - STEEL SIZE TBD. MOUNT SIGN IN APPROXIMATE LOCATION SHOWN IN SITE PLAN MEETING ALL CODE SET BACK REQUIREMENTS.



# CONSTRUCTION PERMIT AND APPLICATION

## CITY OF LAUREL, MONTANA

PERMIT No. \_\_\_\_\_

|                                                                                                            |  |                                                                     |  |
|------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------------------------|--|
| Job Address <u>417 1st Ave, Laurel</u>                                                                     |  | DEREME Budge                                                        |  |
| Owner <u>LAUREL 1 LLC</u>                                                                                  |  | Telephone <u>406-656-1301</u> General Contractor                    |  |
| Contractor <u>SIGN PRODUCTS, INC.</u>                                                                      |  | Subdivision <u>HAGEMAN Sub</u>                                      |  |
| Address <u>1425 Monad Rd, Billings, MT 59101</u>                                                           |  | Lot <u>1</u> Block _____ Tract _____ Zoning <u>HC-ENTRY OVERTAY</u> |  |
| Telephone <u>406-252-6348</u>                                                                              |  | Type: Addition <u>SIGN</u> Fence _____ MH Install _____             |  |
| City License <u>370</u>                                                                                    |  | New Structure <input checked="" type="checkbox"/> Remodel _____     |  |
| Special Conditions _____                                                                                   |  | Valuation of Project \$ <u>66,000</u>                               |  |
| _____                                                                                                      |  | Description of Work: <u>Install 40' Pole Sign</u>                   |  |
| Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____ |  |                                                                     |  |

BUILDING Approved To Issue By \_\_\_\_\_ Date \_\_\_\_\_

Application is hereby made to the City of Laurel Building Code Official for a permit subject to the conditions and restrictions set forth. All provisions of laws and ordinances governing this work will be complied with whether specified herein or not. Each person upon whose behalf this application pertains, at whose request and for whose benefit work is performed under or pursuant to any permit issued as a result of this application agrees to, and shall indemnify and hold harmless the City of Laurel, it's officers, agents and employees.

The granting of this permit does not give authority to cancel or violate the provisions of any state or local law regulating construction or the performance of construction.

"Compliance with the requirements of the state building code for physical accessibility to persons with disabilities does not necessarily guarantee compliance with Americans With Disabilities Act of 1990, the Rehabilitation Act of 1978, the Fair Housing Amendments Act of 1988, Title 49, chapter 2, commonly known as the Montana Human Rights Act, or other similar federal, state, or local laws that mandate accessibility to commercial construction or multifamily housing."

Any permit issued as a result of this application becomes null and void if work is not commenced within 180 days of issuance of such permit, unless a written request to extend this time is submitted to the City of Laurel Building Department and approved.

The applicant is responsible for calling to obtain underground line locations 1-800-424-5555 two days before digging.

All general contractors shall have a current City of Laurel business license.

The permit holder is responsible for giving 24 hour notice for required inspections.

I hereby certify I have read this application and the information provided is true and correct to the best of my knowledge.

### FEES AND CHARGES

|                           |          |
|---------------------------|----------|
| 1000-323011 building      | \$ _____ |
| 1000-323013 plumbing      | \$ _____ |
| 1000-323014 plan review   | \$ _____ |
| 1000-323055 fence         | \$ _____ |
| 1000-323011 roof          | \$ _____ |
| 1000-323018 investigation | \$ _____ |
| 1000-323053 sign          | \$ _____ |
| 5210-343033 SDF water     | \$ _____ |
| 5310-343033 SDF sewer     | \$ _____ |
| 1000-323011 mh install    | \$ _____ |
| 1000-323011 re-inspection | \$ _____ |
| other                     | \$ _____ |
| Total Amount due          | \$ _____ |
| Amount Paid               | \$ _____ |

Signature of Applicant [Signature] Date 9-29-22

# CONSTRUCTION PERMIT AND APPLICATION

## CITY OF LAUREL, MONTANA

PERMIT No. \_\_\_\_\_

|                                                                                                            |  |                                                   |  |
|------------------------------------------------------------------------------------------------------------|--|---------------------------------------------------|--|
| Job Address <u>417 1st Ave, Laurel</u>                                                                     |  | DEREME Budge                                      |  |
| Owner <u>LAUREL 1 LLC</u>                                                                                  |  | Telephone <u>406-656-1301</u> General Contractor  |  |
| Contractor <u>SIGN PRODUCTS, Inc</u>                                                                       |  | Subdivision <u>Hageman Sub</u>                    |  |
| Address <u>1425 Monad Rd., Billings, MT 59101</u>                                                          |  | Lot <u>1</u> Block _____ Tract _____ Zoning _____ |  |
| Telephone <u>406-252-6348</u>                                                                              |  | Valuation of Project \$ <u>66,000</u>             |  |
| City License <u>307</u>                                                                                    |  | Description of Work: <u>Install 40' pole sign</u> |  |
| Special Conditions _____                                                                                   |  | _____                                             |  |
| _____                                                                                                      |  | _____                                             |  |
| Occupancy _____ Type of Construction _____ Number of Units _____ Total Square Feet _____ Rated Walls _____ |  |                                                   |  |

BUILDING Approved To Issue By \_\_\_\_\_ Date \_\_\_\_\_

**THE FOLLOWING INSPECTIONS ARE REQUIRED AND MUST BE RECORDED ON THIS CARD:**

|                   |       |           |       |               |       |
|-------------------|-------|-----------|-------|---------------|-------|
| Footings          | _____ | Inspector | _____ | Date Approved | _____ |
| Foundation        | _____ | Inspector | _____ | Date Approved | _____ |
| Damp-proofing     | _____ | Inspector | _____ | Date Approved | _____ |
| Ground Inspection | _____ | Inspector | _____ | Date Approved | _____ |
| Framing           | _____ | Inspector | _____ | Date Approved | _____ |
| Roofing           | _____ | Inspector | _____ | Date Approved | _____ |
| Insulation        | _____ | Inspector | _____ | Date Approved | _____ |
| Gypsum/Drywall    | _____ | Inspector | _____ | Date Approved | _____ |
| Other             | _____ | Inspector | _____ | Date Approved | _____ |
| Other             | _____ | Inspector | _____ | Date Approved | _____ |

**FINAL INSPECTIONS**

|                   |       |           |       |               |       |
|-------------------|-------|-----------|-------|---------------|-------|
| Fire              | _____ | Inspector | _____ | Date Approved | _____ |
| Building          | _____ | Inspector | _____ | Date Approved | _____ |
| Site Improvements | _____ | Inspector | _____ | Date Approved | _____ |

**Call 628-4796 - 24 hours in advance to schedule inspections.**

**Do not cover or conceal any work before the required inspection has been approved.**

**This card and one set of approved plans must be available to the inspector at the job site during all inspections.**