Mitzi R. Betman, Chairwoman John R. Kish, Vice Chairman Council President James Kole, Ex Officio Member Bill Wellford The Honorable G. Rick Wilson Dennis Grant Stanley Spalding, Alternate



Robert Love, Director Department of Economic and Community Development

CITY OF LAUREL PLANNING COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • 301-725-5300 • Fax: 410-792-2108

Commission Usually Meets Second Tuesday of Each Month

SIX HUNDRED-SIXTH MEETING - REGULAR TUESDAY– FEBRUARY 20, 2024– 6:00 P.M. AGENDA

This meeting will be conducted virtually via Zoom

- 1. Roll Call
- 2. Approval of Minutes from the January 9, 2024 meeting
- 3. Amended Site and Landscape Plan Application and Resolution No. 24-02-PC, 6500 Clubhouse Drive filed by CS Patuxent Greens, LLC.

Public Hearing on Application

Final Action by Planning Commission

4. Adjourn

SIX HUNDRED-FIFTH MEETING – REGULAR CITY OF LAUREL PLANNING COMMISSION TUESDAY, JANUARY 9, 2024 – 6:00 P.M.

The meeting convened on a virtual platform via Zoom at 6:00 P.M., with Chairwoman Mitzi Betman presiding. The roll was called with the Vice chair Mr. John R. Kish, the Honorable Mr. Rick Wilson, Mr. William Wellford, Mr. Dennis Grant, Mr. Stanley Spalding, Alternate member and Council President James Kole. Also present from the Department of Economic & Community Development were Mr. Robert Love, Director, Ms. Brooke Quillen, Secretary to the Commission and Taylor Harvey, Planner I. There were approximately eight (8) members of the public in attendance.

Chairwoman Betman welcomed the new alternate member, Mr. Stanley Spalding to the Planning Commission who was in attendance for his first meeting.

The minutes from the December 12, 2023 meeting were approved as written, on motion by Mr. Wellford seconded by Mr. Wilson and carried on a roll call vote of all members present. Mr. Wilson thanked the Secretary for continuing to do an excellent job at the minutes.

The next agenda item was for Amended MXT Final Site Plan Application for 14930 Silver Trail Lane Laurel, Maryland 20707, filed by Westside Land Holdings LLC., 9102 Owens Drive Manassas Park, Virginia 20111. Mr. Love stated that the applicant (Westside Holdings LLC) is seeking an Amended Final M-X-T Site Plan approval to alter the previously approved commercial building on Lot 3 to construct drive-thru. The site is part of the larger development known as Westside. The current zoning of the property is Mixed Use Transportation Oriented (M-X-T), which was annexed into the City in July of 2012. The original building was approved on May 12, 2020 with Detailed M-X-T Site Plan Application No. 903 which included a 10,000 sq ft. retail building. The original building will increase to 10,231 sq. ft. with the addition of the drive-thru. The drive-thru window being located on the left side of the building.

Representing the applicant and the property owner, Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, spoke on the history of the project which started back in 2012 with an Annexation of the property followed with the Concept Site Plan, Preliminary and Final Site Plan approval in 2013. Then the Final Site & Landscape and Final Subdivision Plat was approved in 2015. Next was the Preliminary Subdivision Plan that was approved in 2019 followed by the Detailed Site Plans in 2020. Finally, the Special Exceptions for Starbucks and Wawa were approved in 2022. Initially the development was to have 200,000 sq. ft of commercial space. The multifamily was the first to be built and then began the townhomes. After countless efforts to win a grocery store, they realized it wasn't feasible therefore, revisions to the Concept Site Plan were filed and approved to

reduce the commercial component to 40,000 sq. ft and since the residential homes were on higher demand they increased. He noted there are two (2) access points into the development of residential and commercial sites. He reminded the Planning Commission that the purpose of an MXT zone is to mix both residential and commercial components together. Mr. Gibbs added the rest of the project team was also present, Mr. Blake Esherick, a Principal at Strittmatter/BCE Real Estate LLC, Mr. Kevin Calliouet, Project Manager with Atwell LLC, Mr. Michael Lenhart, Traffic Engineer with Lenhard Traffic and Mr. Mark Ferguson, Senior Land Planner with RDA/Site Design Inc. The very first detailed site plan that was approved was for Lot 3. There are 4 lots in total in the project. In 2022 the Starbucks site plan was approved with the drive through lane behind the building. The only thing that brings them here tonight is Chipotle, who now has a new pickup option. It's not technically a drive thru, it is essentially a pickup window however the drive thru lane is exactly the same as the Starbucks that was approved in 2022. Adding the drive-through with a pickup window increased the sq. ft. of the building, which also had to be shifted, and the parking spaces in front of the building were lost, therefore, the site plan must be revised. The required parking is still met. He believes the revisions are minimal. He explained this request meets all code requirements in the Unified Land Development Code for the City of Laurel.

Mr. Wilson commended Strittmatter and Mr. Gibbs as this project has been a 15year process. It explains the undertaking of an MXT zone and constant changes in the marketplace.

Chairwoman Betman opened the public hearing at 6:29 p.m. for both applications since they are for the same project.

Mr. Derrick Grady, 14819 Willow Run Lane Laurel, Maryland 20707, on behalf of himself, his family and some members of the community, the primary concern is the space which there is not much of already. He claimed the commercial aspect of the development was not disclosed to him when he purchased his home and he only found out about this application when Mr. Edward Gibbs contacted him about the parking spaces being removed and the shifting traffic aspect. He has asked for some resolutions to the matter such as the options of adding speed bumps or blocking off access points, which would be more extreme. Mr. Grady requests some concern for the community as they value their safety. He noted that there is already too much litter and traffic in the area.

Ms. Ana Theisen, 14846 Willow Run Lane Laurel, Maryland 20707, stated she is concerned about parking and traffic as well. She does not like how the residential is connected to the commercial aspect of the development because it's a shared road. She added parking is already tight. She wants to protect the current parking and close the access point to the public so there is some separation between the retail and residential areas.

Chairwoman Betman closed the public hearing at 6:35 p.m.

After the public testimony, the Commission discussed with Mr. Gibbs and staff some possible resolutions to their concerns about traffic and safety issues. Staff stated if there are any minor changes to the plans such as adding speed bumps or adding a no turn sign, no official Commission Planning approval would be required, however, if there are any major changes such as closing off an access point would require the Planning Commission to re-review and approve site plans again. There is concern that patrons will not listen to the no turn sign as seen in the past at other locations, perhaps the curb could be extended to prevent them from an illegal turn.

Representing the applicant and the property owner, Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, noted an initial meeting regarding this request was set up through the community management, with the 81 townhomes and 56 townhouse lot communities as well as the multifamily residents, which was followed up with a couple extra meetings and initially there were no concerns regarding traffic. The 81 townhome residents did have concerns, however he reminded everyone that is the nature of a MXT zone, and everything is within City code. The overall development design was already approved in 2019. Mr. Gibbs added a no right turn out of Chipotle and addition of speed bumps on the shared road is their proposal. Lastly, he mentioned the townhouses have 185 extra parking spaces already, which is a huge overpark which was also reminded to everyone at the community meetings. They are proposing to add a no turn sign as you exit Chipotle, so patrons are not driving through the residential section. The drive-through at the Chipotle will reduce the amount of parking needs at the restaurant and he respects all the community concerns.

Mr. Derrick Grady, 14819 Willow Run Lane Laurel, Maryland 20707, stated he is comfortable with closing an access point and there is minimum parking during parties already even though they have access parking. There are no places to play for children and there is still an issue, he asked the Commission to try to be concerned about the traffic and trash they are already dealing with. He noted that the access parking is far away for some residents. If another retail business comes in, they could potentially take up those extra spaces. Mr. Grady stated there are a lot of considerations to put into place.

Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, explained that 185 surplus parking is almost never heard of. Actual studies have shown with drive through windows reduces parking needs because patrons are coming and going, not physically going inside the building. He added they want to address concerns with what they have offered.

The Commission and staff had a conversation that if it is found to be a major problem in the future, could this be revisited with other ideas. Again, minor adjustments wouldn't need approval, however channeling off parking space and access roads would need to come back for approval. Mr. Grant commended the applicant for an honest open communication with the community and requests from residents. He explained these are the types of developments the City encourages as it increases the value of properties. He also thanked the residents for speaking up about their concerns. Mr. Wilson suggested adding something in the approval that will give the community some relief.

Council President Kole stated he appreciates the applicant's explanation on the history of the project and asked staff about the resident's streets, they are mostly city streets with some private roads. He clarified with staff they would not need City approval to add speed bumps. He suggested the access point be blocked off with flexible posts so that emergency vehicles could still pass through.

Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, stated he agrees with adding the speed bumps and extending the curb for a no turn; however, he would object to closing off the access point. He requested if there are problems in the future they can come back and re-review more options on plans.

The Commission, on motion by Mr. Wilson, seconded by Mr. Grant and carried on a roll call vote of all members present, voted to **approve** the Amended MXT Final Site Plan Application as presented in the Technical Staff Report and with the condition they revisit concerns or issues with the Community regarding any changes regarding the safety issues brought forth.

The next agenda item was Special Exception Application No. 955 for 14930 Silver Trail Lane Laurel, Maryland 20707, filed by Westside Land Holdings LLC., 9102 Owens Drive Manassas Park, Virginia 20111. Mr. Love stated the applicant is seeking Special Exception approval to construct and operate a drive-thru for the Chipotle Restaurant. The site is part of the larger development known as Westside. The current zoning of the property is Mixed Use Transportation Oriented (M-X-T), which was annexed into the City in July of 2012. The original building was approved on May 12, 2020 with Detailed M-X-T Site Plan Application No. 903 which included a 10,000 sq ft. retail building. The original building will increase to 10,231 sq. ft. with the addition of the drive-thru. The drive-thru lane will be 12' wide and will start at the right side of the building with the drive-thru window being located on the left side of the building.

The Commission, on motion by Mr. Wilson, seconded by Mr. Kish, and carried on a roll call vote of all members present, voted to **recommend approval** of Special Exception No. 955 for 14930 Silver Trail Lane Laurel, Maryland 20707, to the Board of Appeals, as presented in the Technical Staff Report.

The election of the Chair was the next item on the agenda. Mr. Wilson made a motion to re-elect Mitzi Betman to continue as Chairwoman to the Planning Commission. Mr. Kish seconded the motion and roll call continued with all members present voting "Yes."

The election of the Vice-chair was the next item on the agenda. Mr. Wilson made a motion to re-elect John R. Kish to continue as Vice-Chair to the Planning Commission. Mr. Wellford seconded the motion and roll call continued with all members present voting "Yes."

Mr. Love introduced to the Planning Commission that the Department of Economic and Community Development has a new Planner I, Ms. Taylor Harvey, who has been on the call tonight. The Commission welcomed her and stated they look forward to working with her in the future.

Chairwoman Betman wished everyone a Happy New Year.

There being no further business, the meeting was adjourned at 7:04 p.m.

Approved:

Date:



MAYOR AND CITY COUNCIL OF LAUREL

DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

8103 Sandy Spring Road • Laurel, Maryland 20707 (301) 725-5300 extension 2303 http://www.cityoflaurel.org • email – ecd@laurel.md.us Fax (301) 490-5068

January 29, 2024

AGENDA ITEM NO. 3

TECHNICAL STAFF REPORT

- TO: City of Laurel Planning Commission
- FROM: Robert Love, Director
- CASE: Amended Site and Landscape Plan 6500 Clubhouse Drive Laurel, MD 20708

GENERAL INFORMATION

APPLICANT:	CS Patuxent Greens, LLC Attn: Alan Cohen 121 Congressional Lane Rockville, MD 20852
OWNER:	CS Patuxent Greens, LLC Attn: Alan Cohen 121 Congressional Lane Rockville, MD 20852
LOCATION:	14415 Greenview Drive Laurel, MD 20708

ZONE:

REQUESTED ACTION:

The Applicant is seeking Amended Site and Landscape Plan approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities.

PREVIOUS ACTION:

-First Annexation 1981
-PUD Amendment September 12, 1983 (Resolution No. 16-83)
-PUD Amendment September 10, 1984 (Resolution No. 12-84)
-Map Amendment (No. 330) October 22, 1984 (Resolution No. 14-84)
-Map Amendment (No. 502) June 4, 1990 (Ordinance No. 934)
-Departure of Approved PUD Plan, December 11, 2017 (17-17-PC)
-Map Amendment No. 880 (17-16-PC), Ordinance No. 1924, January 22, 2018
-Preliminary Subdivision Plan (18-05-PC), October 23, 2018

PUD-E (Planned Unit Development Existing)

-Forest Conservation Approval (18-04-PC), October 23, 2018 -Final Site & Landscape Plan Approval (18-06-PC), October 23, 2018 -Final Record Plat Approval (18-11-PC), December 11, 2018 -Departure of Approved Final Plan (21-10-PC), July 13, 2021 -Map Amendment No. 925 (Ordinance No 1996), April 25, 2022 -Amended Site and Landscape Plan Approval (22-11-PC), July 12, 2022

BACKGROUND INFORMATION:

The Applicant is seeking Amended Site and Landscape Plan approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities. The property was part of the First 1981 Annexation for the City of Laurel that was enacted on February 2, 1982. Approximately 267 acres of land was annexed and placed into the PUD zone. The golf course known as Laurel Pines Country Club at the time is 191.71 acres and is located at 14415 Greenview Drive in Laurel, Maryland, on the eastern corner of Greenview Drive and Clubhouse Boulevard. The property is approximately one-tenth of a mile southeast from the intersection of Laurel Bowie Road (Maryland Route 197) and Clubhouse Boulevard.

At the time of annexation an approved preliminary plan to have dwelling units, office, retail and a recreational facility was approved. The approved plan was later amended twice to change the development mix; and once to change the name of the development. The community's name was amended to Greens of Patuxent in 1984. The amended final site and landscape plan approval for 450 dwelling units was approved in 2022 which is currently under construction.

The surrounding area within one-half mile of the property is comprised of mostly singlefamily detached and multifamily residential dwelling units with some office, religious, educational, and community uses. The Patuxent River is to the east of the property. Along the western boundary, the property abuts approximately two (2) acres of the City recreational facility that includes, Greenview Drive Pool Complex, Cabana and park. Single-family detached and multifamily residential developments abut forest/parkland along the northern, eastern, and southern boundaries. Across from the Greenview Drive entrance is an office complex known as Lakeview at the Greens. The five (5) story, two-building site, consists of 150,000 SF of Class A office space with on-site surface parking. The two buildings were constructed in the late 1980's. The two residential communities abutting the proposed project are:

- Patuxent Glen 132 dwelling units built in the mid-late 1980's
- Greens of Patuxent- 156 condominiums, distributed as three-story four-plex units built in the mid to late 1980's

DEPARTMENT/AGENCY RESPONSES:

The following Departments and Agencies were notified of the application and comments were requested. Any responses received are written in the chart below:

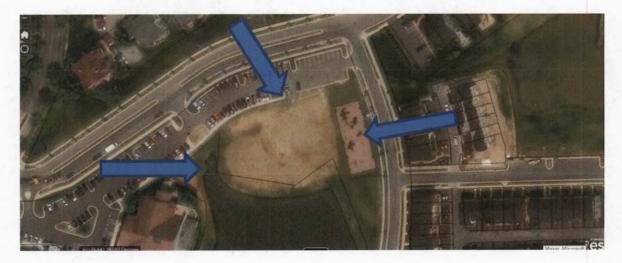
Department or Agency	Comments Received
City of Laurel Department of Public Works	No issues with the project. (2/9/2024)
City of Laurel Police Chief	No issues with the project. (2/9/2024)
City of Laurel Department of Parks and Recreation.	No issues with the project. (2/12/2024)
City of Laurel Department of the Fire Marshal and Permit Services	No issues with the project. (2/12/2024)
Washington Suburban Sanitary Commission (WSSC)	No issues with the project. (1/22/2024)
Prince George's County Health Department	No comments received.
Maryland State Highway Administration (SHA)	No issues with the project. (2/7/2024)
Maryland-National Capital Park and Planning Commission (M-NCPPC)	No comments received.
Prince George's County Department of Permitting, Inspections & Enforcement	No comments received.
Prince George's County Public Schools Department of Capital Programs	No comments received.
Baltimore Gas and Electric (BGE)	No comments received.
Verizon	No comments received.

ANALYSIS:

The Applicant is proposing to the reduce the clubhouse building size from 6,765 sq. ft. to 4,030 sq. ft. and expand the outdoor amenities. The Applicant is proposing that the design provides a more efficient design emphasizing the recreational components of the facility while maintaining the function as a gathering place for the community. Reductions in square footage mainly relate to reducing the size of the meeting room space to a more efficient size that will be cheaper to run and maintain for the community and which will still meet the needs of the neighborhood. The parking will not change with 135 parking spots available, 65 of which will be available for all clubhouse operating hours and 70 that will be available after 6 pm Monday through Friday and all weekend days. The indoor and outdoor amenities in the newly designed clubhouse will include:

Indoor Amenities	Outdoor Amenities
Great Room	Pool
Fitness Room	Deck
Storage Areas	Multi-age Play Area
Men's Restroom	Quiet Pocket Sitting Area
Women's Room	Turf Area
Office	Outdoor Fireplace Area
Lobby	Picnic Zone Area
Pool Equipment	Outdoor Lounge Area
Lifeguard Station	Game Zone
Utility Rooms	
Conference Room	
Multi-Purpose Room	

Below is an overhead of the site area for the proposed change



RECOMMENDATION:

Staff recommends that the City of Laurel Planning Commission <u>APPROVE</u> Amended Site and Landscape Plan for the Patuxent Greens Clubhouse project with the following conditions:

- 1) The Applicant shall obtain all required City of Laurel permits for the project.
- 2) The Applicant shall comply with all applicable local, state and federal laws and regulations in the development of the property.

ATTACHMENTS:

- 1. Statement of Justification
- 2. Amended Site Plan
- 3. Original Site Plan
- 4. Clubhouse Specifications

REVIEWED BY:

Robert Love, Director

Amended

IN RE:

PATUXENT GREENS REVISED FINAL SITE AND LANDSCAPE PLAN - CLUBHOUSE REVISION

APPLICANT:

CS PATUXENT GREENS, LLC

AGENT/ CORRESPONDENT:

William Shipp, Esquire O'Malley, Miles, Nylen & Gilmore, P.A. 7850 Walker Drive, Suite 310 Greenbelt, MD 20770

STATEMENT OF JUSTIFICATION

I. INTRODUCTION

The Applicant hereby requests approval of an Amended Final Site and Landscape Plan to provide for an updated design for the community clubhouse facility to be located at the Patuxent Greens community. The property is within the PUD-E Zone and is part of the Patuxent Greens development. The Clubhouse site is located at 6500 Clubhouse Dr., in Laurel, Maryland ("Subject Property" or "Property").

The entire Patuxent Greens Community consists of approximately 191 acres and is part of a larger assemblage of approximately 267 acre planned united development. In January 2018, the Mayor and City Council of Laurel through Ordinance No. 1924 approved Map Amendment No. 880 ("Map Amendment 880") for the construction of up to 450 dwelling units. When preliminary plans of subdivision and final site and landscape plans applications were submitted to the Planning Commission later that year, the total number of dwelling units proposed for development was a total of 389 units—consisting of 167 single-family detached and 222 single-family attached dwelling units. The Planning Commission approved Resolution No. 18-05-PC for the Preliminary Plan of Subdivision ("Original PPS") and Resolution No. 18-06-PC for the Final Site and Landscape Plan ("Original Site Plan") on October 28, 2018.

In response to builder assessment of market demand, the Applicant requested and received approval of Amendment No. 925 (mentioned above) to increase the number of dwelling units approved for construction from 389 to 450 as initially approved through Map Amendment 880.

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II. PROJECT NARRATIVE.

The following description of the proposed Clubhouse and facilities was given to the Patuxent Greens community:

Patuxent Greens Clubhouse: Community Core

Welcome to your new *Community Core* at the Patuxent Greens Clubhouse! Here you will find a communal gathering place for sustainability of mind, physical wellness, and social engagement.

Outdoor Living

As you arrive at the Patuxent Green Community Core, you will first experience the outdoor living amenity spaces surrounding the Patuxent Greens Clubhouse. A large central open lawn, which can be used for countless activities, is ringed by a variety of active and passive recreation features. Closest to the front of the clubhouse, you will find a collection of picnic tables and grill stations for quiet family get togethers or hosting larger events. Nearby, a quiet pocket has been created amongst plants and flowers to sit around an outdoor fireplace any time of the day. With a shared edge along the pool patio, a lawn area is arranged with built-in cornhole boards for a relaxing game with friends and family. Another seating area and fireplace attraction is located closer to the lake, nestled under shading trees, and an area of colorful chaise lounge chairs completes the circle of inviting outdoor rooms. You will also have direct access to and from this gracious outdoor living space by way of the network of trails throughout the growing community of Patuxent Greens.

Community Clubhouse

The community center's clubhouse will be a thriving hub of Patuxent Greens for residents of all ages to enjoy. The clubhouse building is a welcoming venue for HOA meetings, scouts, bridge, and a multitude of other gathering opportunities. After being greeted at the clubhouse entrance, make your way through the many spaces provided for active and passive recreation, exercise, and enrichment. Meeting and multipurpose rooms can host a wide range of scheduled gatherings and functions. The central Great Room provides a large open space for meetings, banquets, social functions, group exercises, and quiet reflection, all while overlooking the pool patio and beautiful views beyond. A small kitchen area nearby provides hospitality support for your special events and daily needs. The clubhouse will also be a hub of physical health pursuits featuring a fitness facility, health clinics, open space for independent and group yoga, healthy living classes, and the outdoor amenities of a pool and trails. Restroom facilities are provided to accommodate pool activities, with showers and locker facilities to meet your personal needs.

Pool Patio

As a main feature of the outdoor experience, the community pool is a great attraction for family swim time, casual lap swimmers, aqua aerobics, and pool parties. Surrounded by colorful umbrellas and an arbor for shade, the pool deck also features chairs for sitting and lounging. Within the pool, a built-in shelf allows you to recline on a lounge chair just above the water on a sun shelf. From the pool patio, experience peaceful views across the pond and towards the lushly planted outdoor living room lawn.

All-Ages Playground

The outdoor amenities surrounding the clubhouse include an extensive playground for children of all ages in the community, providing a safe and secure play area for them to enjoy the important

business of play. Seating and shade for caregivers has been carefully planned, to provide rest for all between periods of active pursuits.

Programming

This high-quality community center will feel and function as an extension of your home. In addition to all of the clubhouse building and outdoor living amenities, programming of events for these spaces will expand and evolve over time as the community grows. Seasonal scheduled events can be hosted in and around the Community Core, creating shared experiences for all of the people living here, and establishing the unique character of a new community.

Patuxent Greens Community Core - Welcome here, welcome home!

III. JUSTIFICATION AND SUPPORT FOR AMENDED FINAL SITE AND LANDSCAPE PLANS

1. <u>Revision to Clubhouse Provides More Efficient and Functional Community Space.</u> Communities

The revised Clubhouse design represents a refinement of the concept originally proposed with the development plans. This design provides a more efficient design emphasizing the recreational components of the facility while maintaining the function as a gathering place for the community. Reductions in square footage mainly relate to reducing the size of the meeting room space to a more efficient size that will be cheaper to run and maintain for the community and which will still meet the needs of the neighborhood. The Clubhouse remains a high quality recreational focal point for the community.

2. Updated Design

Elevations and renderings for the Clubhouse and facilities are provided with the application.

3. Schedule for Construction.

Construction is slated to begin in the first quarter of 2024, provided permits are issued, with a desired completion date by the end of 2024.

4. Community Outreach.

The management company for the community is in regular communication with the residents of Patuxent Greens. This past summer of 2023, a community meeting was held to expressly brief the residents on the proposed Clubhouse. Attached is a copy of the minutes of that meeting. Additional updates will be held as the plan review progresses.

SUPPLEMENTAL STATEMENT OF JUSTIFICATION PATUXENT GREENS CLUBHOUSE

The purpose of this Supplemental Statement of Justification is to provide additional information about the revised floor plan and operational function of the clubhouse and facilities as well as a comparison of the plan originally included in the Site and Landscape Plan for Patuxent Greens.

Patuxent Greens was originally approved in 2018 and at that time a concept for the Clubhouse and community recreation facility was included in the proposal. In broad terms, the proposal included a community Clubhouse facility with various spaces dedicated to support uses by the community, locker rooms, guard facilities, a swimming pool and deck, and a playground. That concept has not changed. As the project has moved to the permit phase, several revisions have been made to refine the plan. These changes have been discussed with the community and we continue to keep them apprised of progress through the HOA management team. While the interior space has decreased slightly, the functionality and quality has not diminished. In fact, the Clubhouse has been made more operationally efficient for the long-term management by the HOA and the outdoor activity space has increased. One lesson learned from the pandemic is that there is less need for large community meeting spaces as meetings are now held largely virtually. This allows for greater participation and dictates less need for large meting areas. This is the primary factor resulting in a reduced footprint of the Clubhouse. Additionally, dedicated spaces such as yoga room are replaced with a multipurpose large room that can accommodate a variety of classes and meetings. A comparison of the floor plan of the Clubhouse is attached.

It should be noted that although the footprint of the Clubhouse has been revised, the square footage of usable outdoor recreation space has been increased. The pool deck area remains as approved at 6,000square feet. Additionally, the pool has remained the same at 3,000 square feet and the same playground area and equipment as originally approved has been installed. The major addition to outdoor recreation area is the open space green area which features s quiet pocket sitting area; a game zone; an outdoor fireplace area; an outdoor lounge area; and a picnic zone area.

We believe the revised plan maintains the quality and recreational features originally proposed, enhance the outdoor usable space and provides a more efficient and cost-effective facility for the community. We are eager to proceed to permit and construction with this important component of the Patuxent Greens community.

Patuxent Greens Community Clubhouse Area Comparison

EXISTING CLUBHOUSE DESIGN AREAS

Party Room	1330 s.f.
Kitchen	223 s.f.
Great Room	821 s.f.
Men's Restroom	447 s.f.
Women's Restroom	465 s.f.
Storage Areas	416 s.f.
Fitness Room	542 s.f.
Yoga Room	338 s.f.
Office	121 s.f.
Lobby	245 s. f
Pool Equipment	130 s.f.
Life Guard Station	98 s.f.
Utility Rooms	107 s.f.

NEW CLUBHOUSE DESIGN AREAS

Party Room	0 s.f.
Kitchen	0 s.f.
Great Room	812 s.f.
Men's Restroom	435 s.f.
Women's Room	435 s.f.
Storage Areas	166 s.f.
Fitness Room	530 s.f.
Yoga Room	0 s.f.
Office	131 s.f.
Lobby	132 s.f.
Pool Equipment	132 s.f.
Life Guard Station	85 s.f.
Utility Rooms	159 s.f.
Conference Room	150 s.f.
Multi-Purpose Room	190 s.f.

Original Approved Interior Design Area = 6,765 s.f.

Revised Interior Design Area = 4,030 s.f.

Outdoor Recreational Facilities Area

Pool	3000 s.f.(unchanged)
Deck	6000 s.f.(unchanged)
Multiage Play area	(installed as approved)

Additional Outdoor Recreational Features:

- Quiet Pocket Sitting area
- Turf area
- Outdoor Fireplace area
- Outdoor Lounge area
- Picnic Zone area
- Game Zone

IV. CONCLUSION

For all of the above reasons, the Applicant respectfully requests approval of the Amended Final Site and Landscape Plans for the revised Clubhouse and related facilities at Patuxent Greens.

Respectfully submitted,

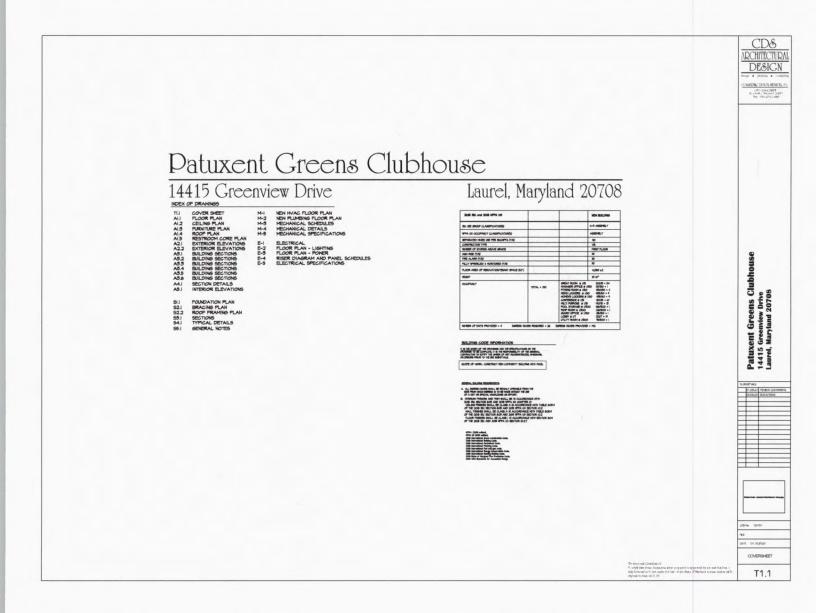
O'MALLEY, MILES, NYLEN & GILMORE, P.A.

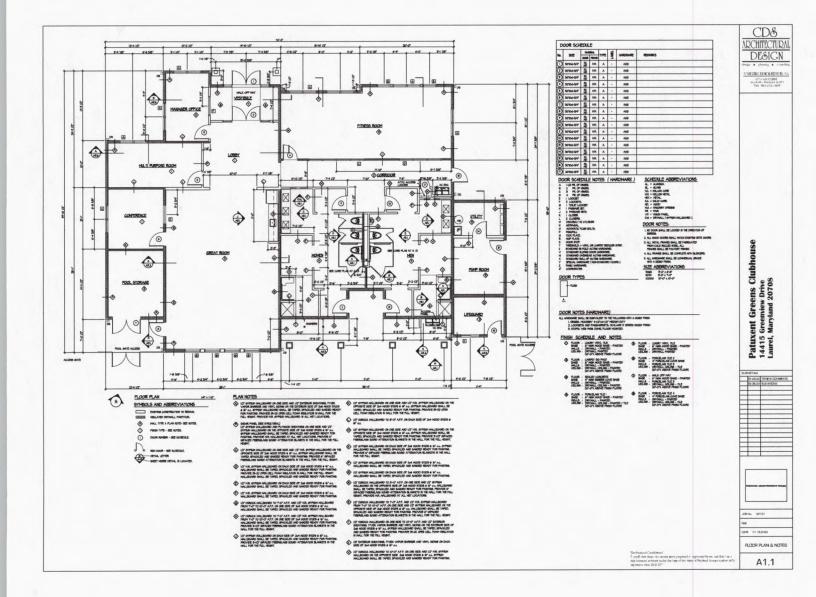
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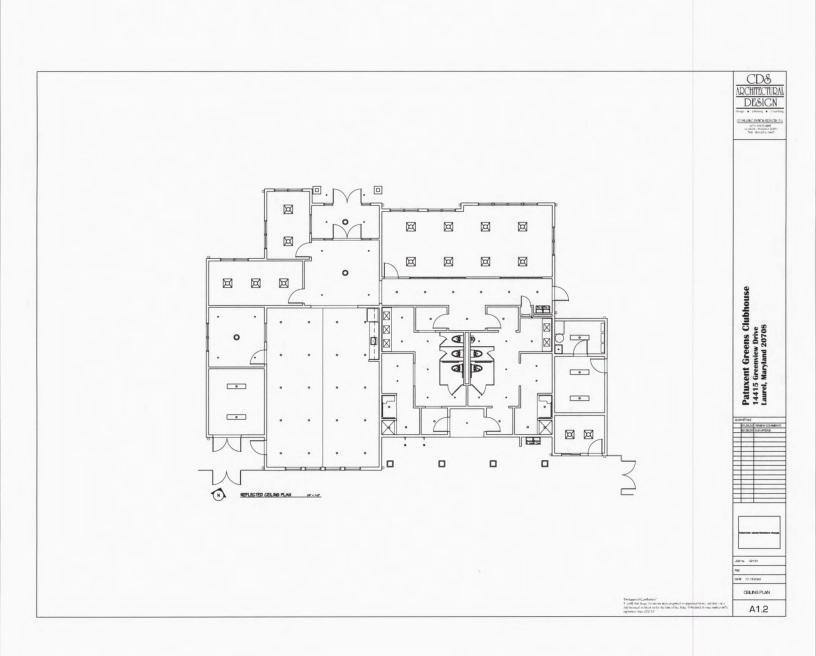
William M. Shipp, Esquire 7850 Walker Drive, Suite 310 Greenbelt, MD 20770 *Attorney for Applicant*

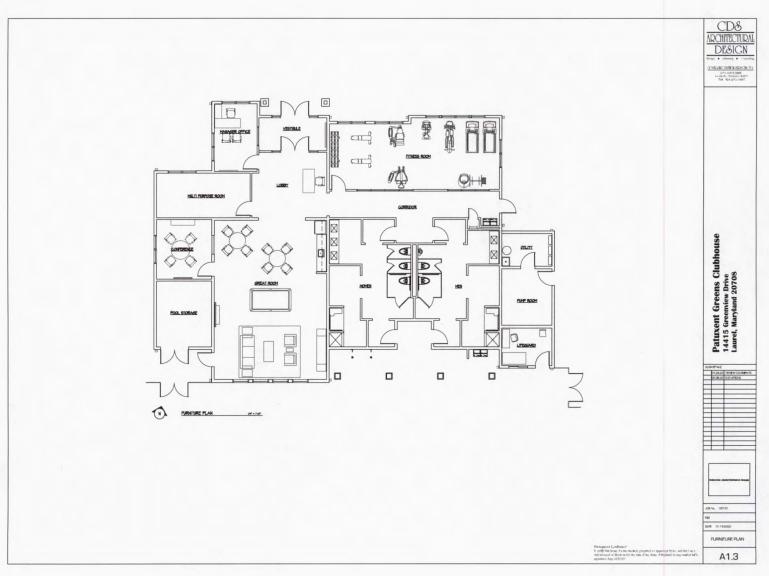


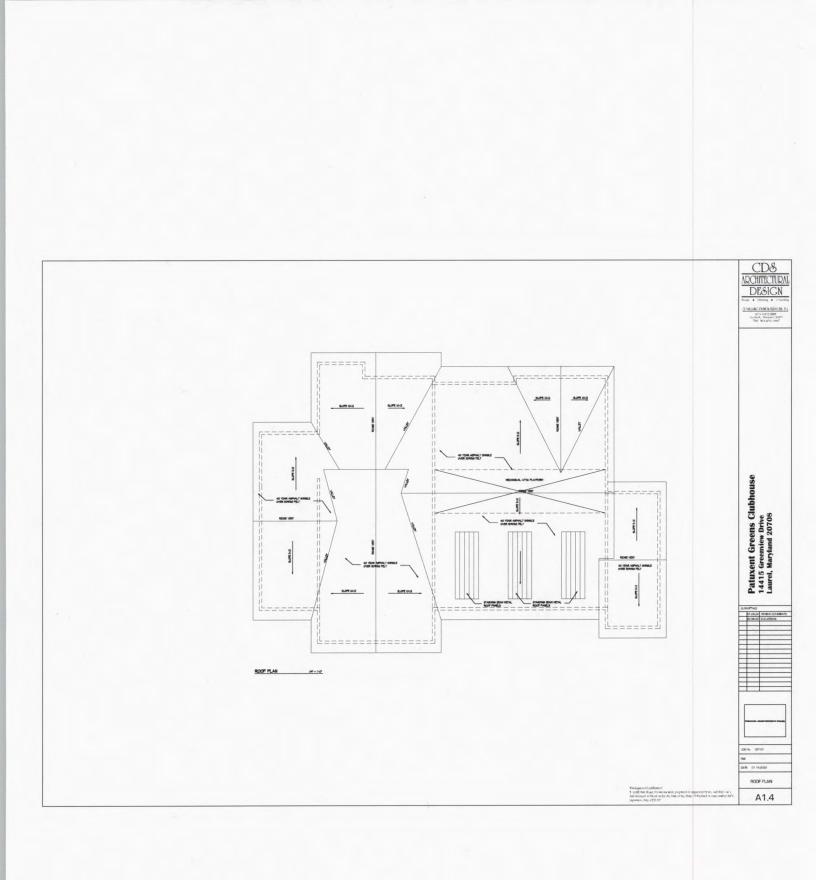


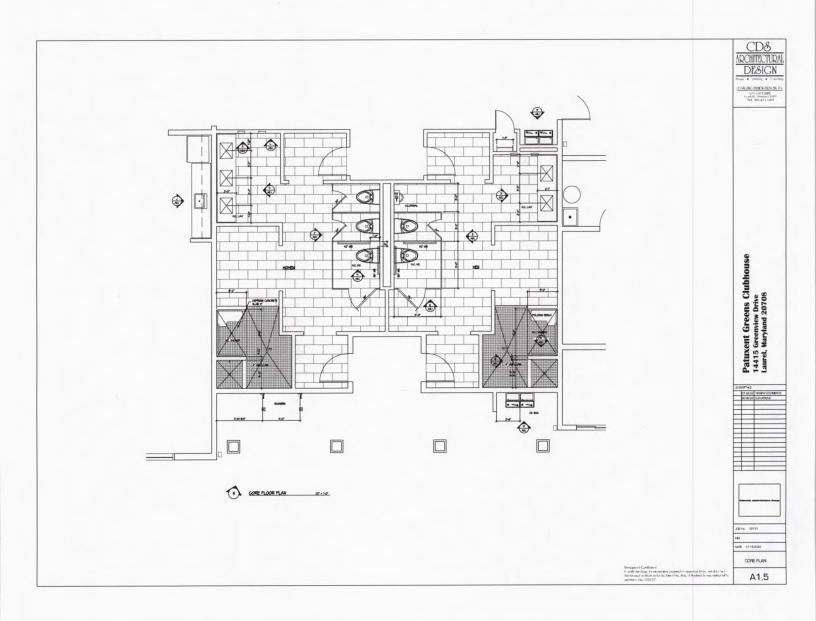






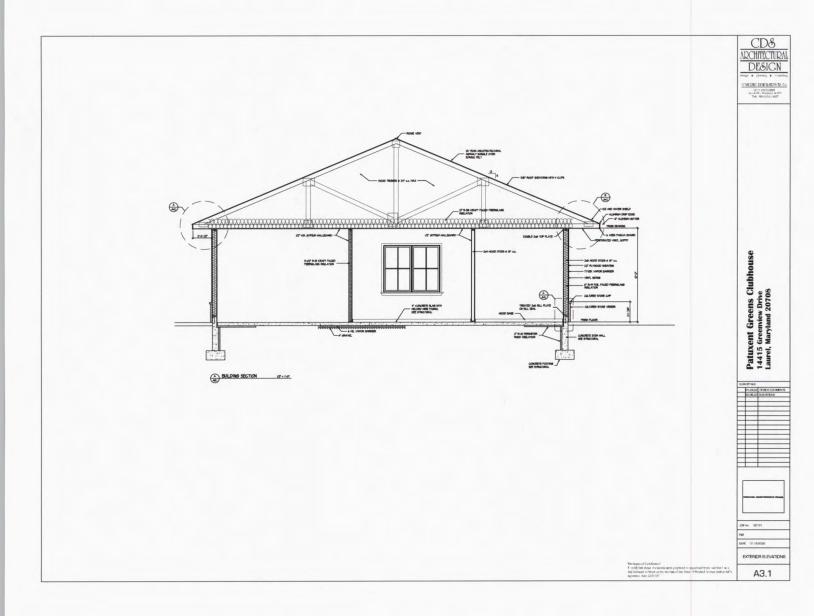


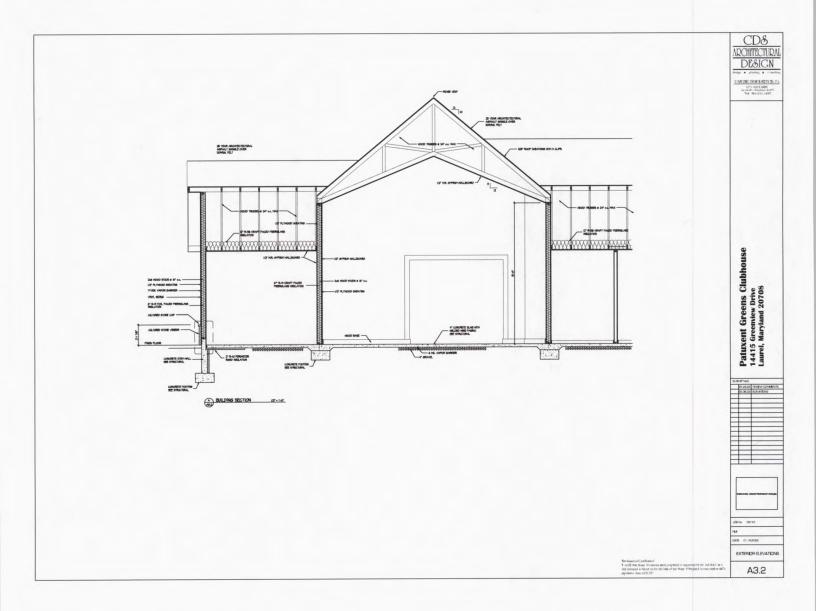


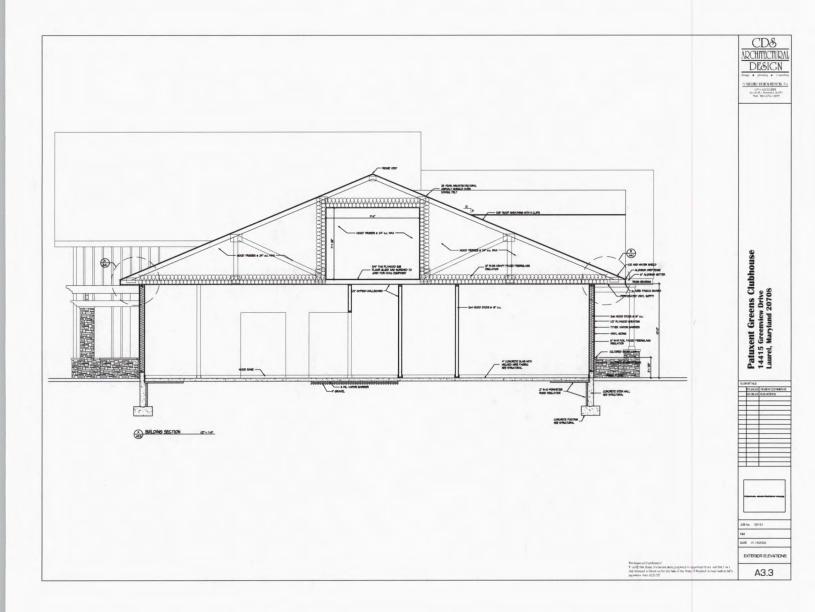


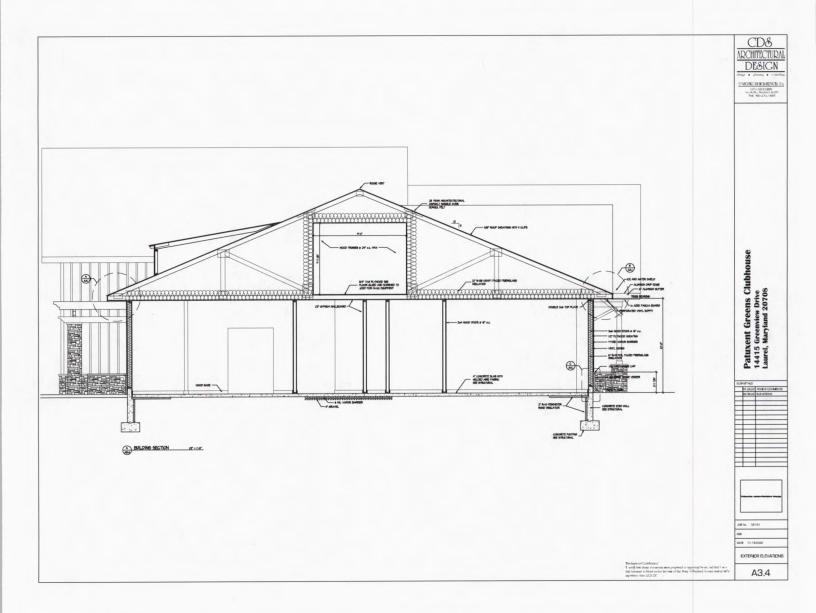




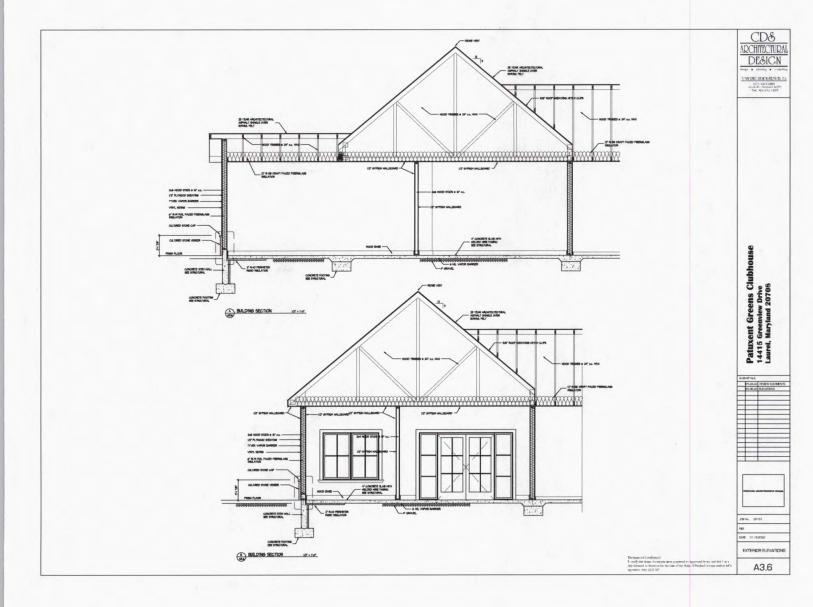


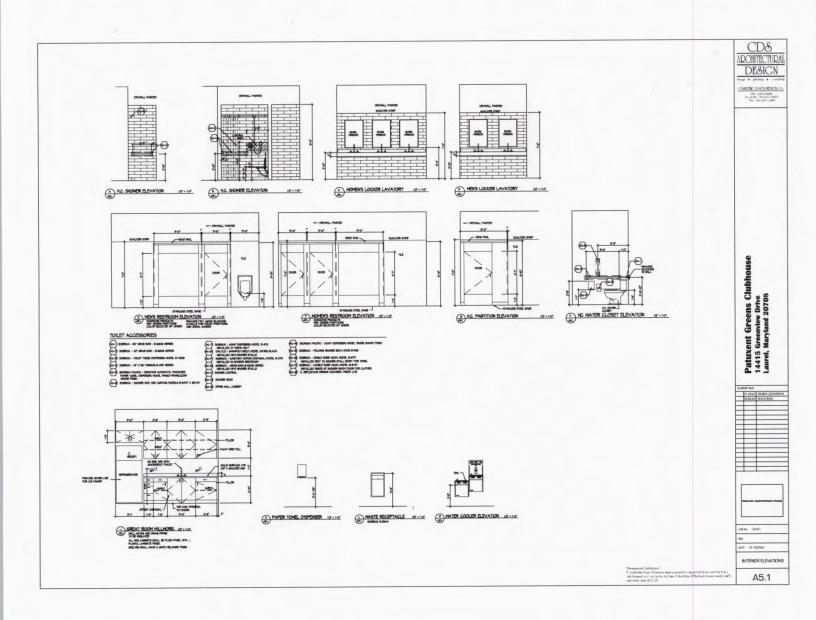


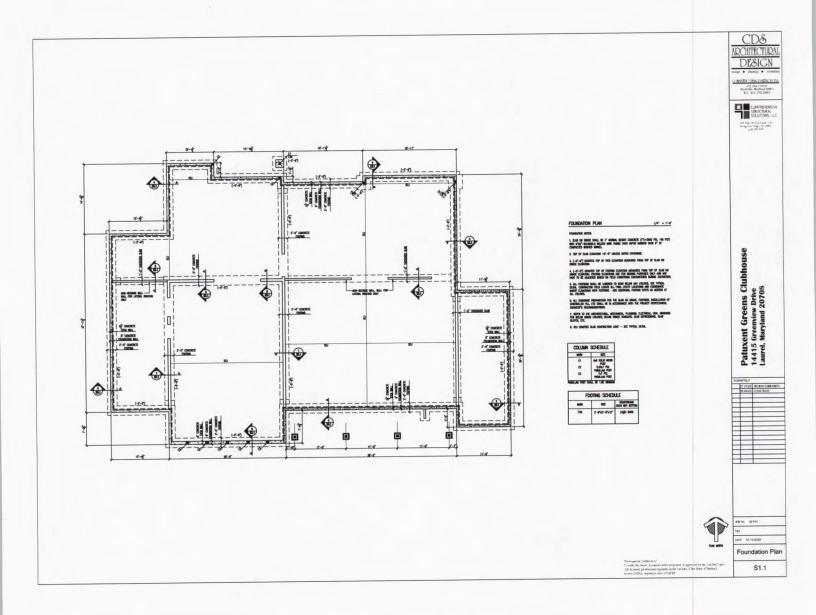


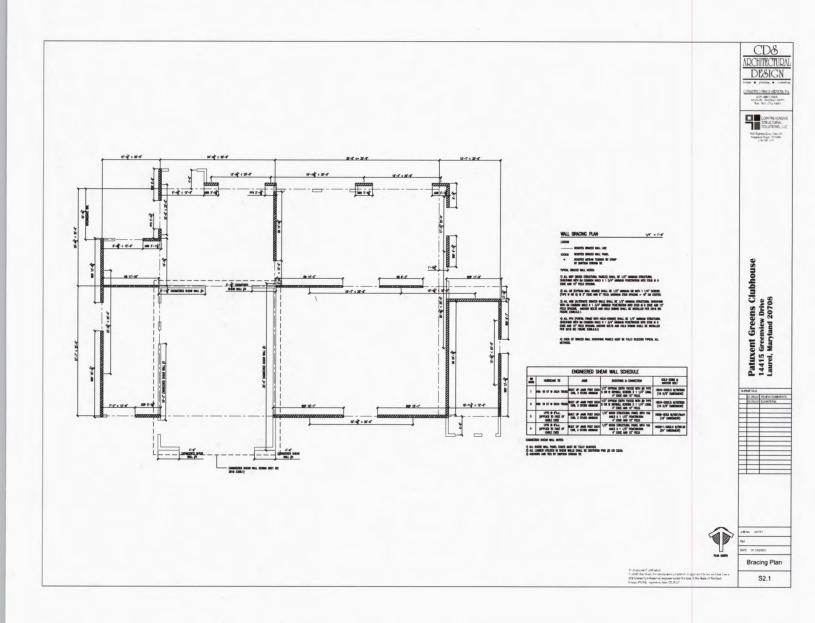


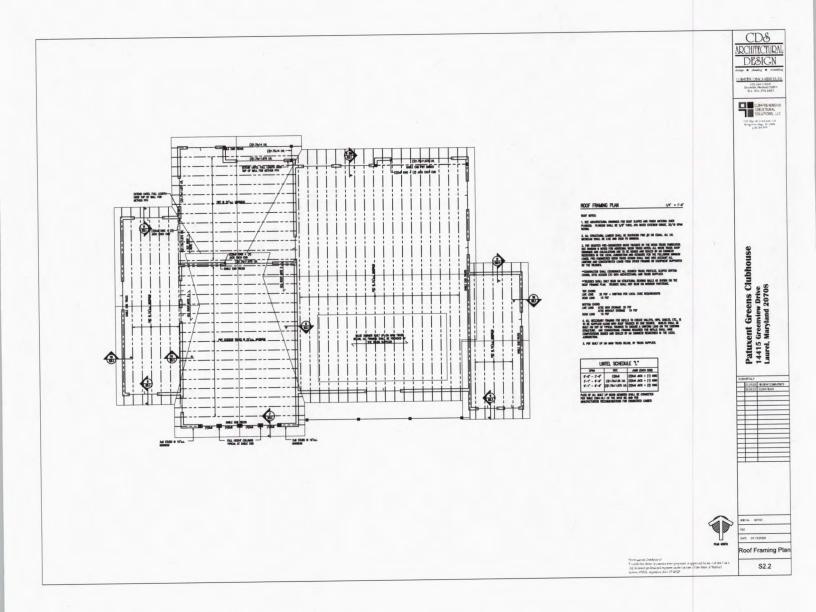


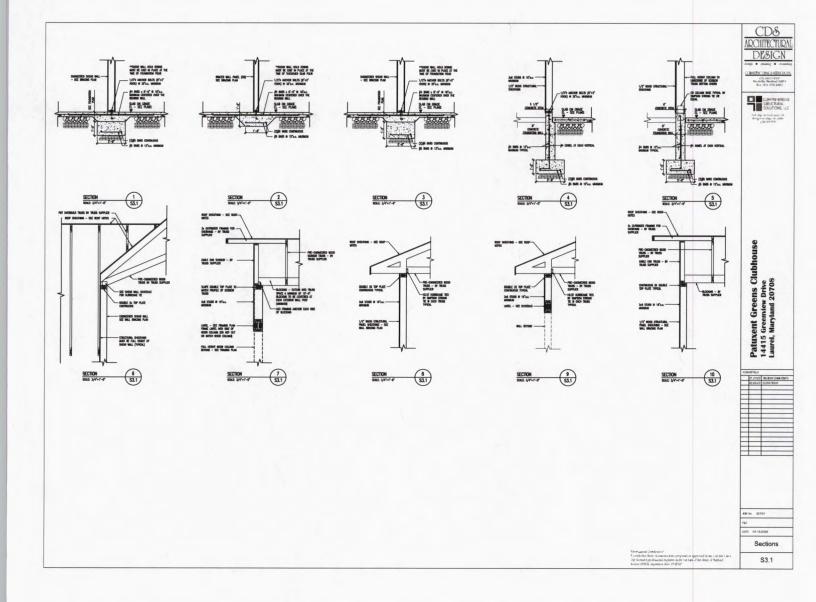


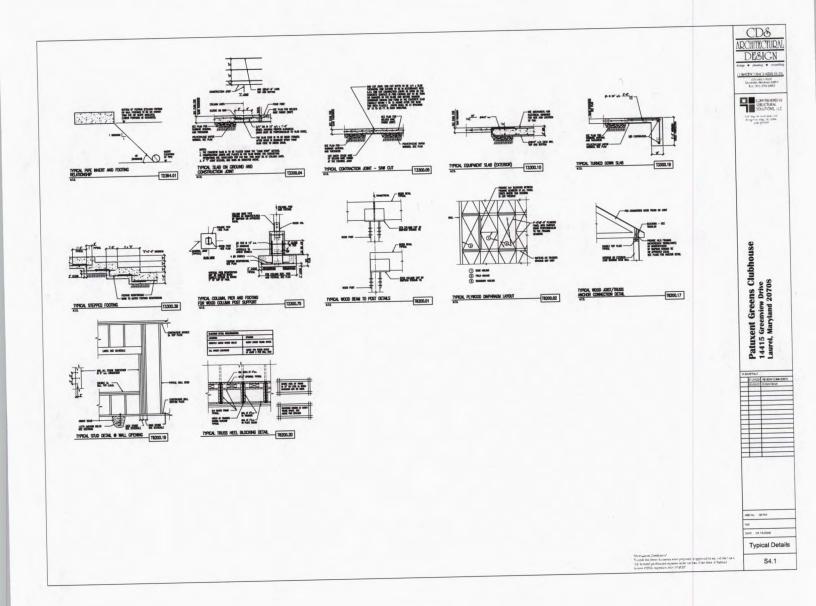










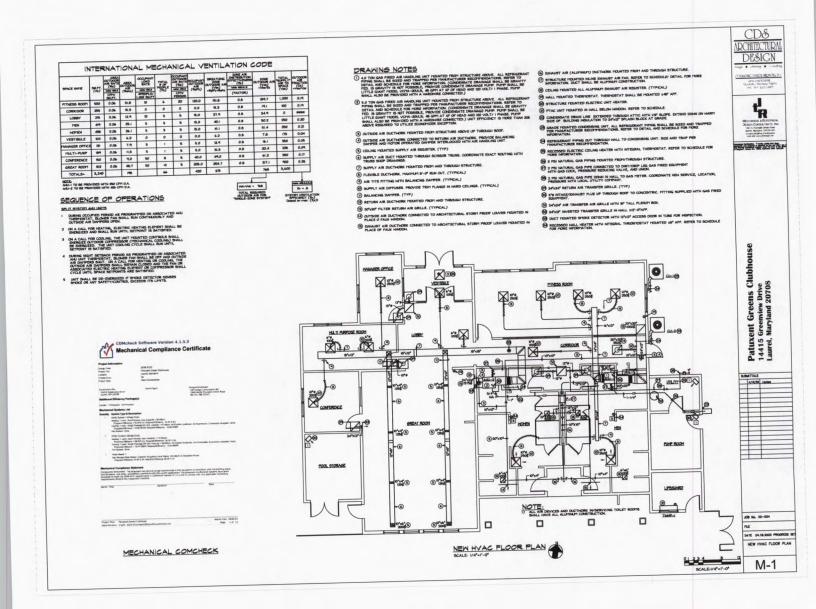


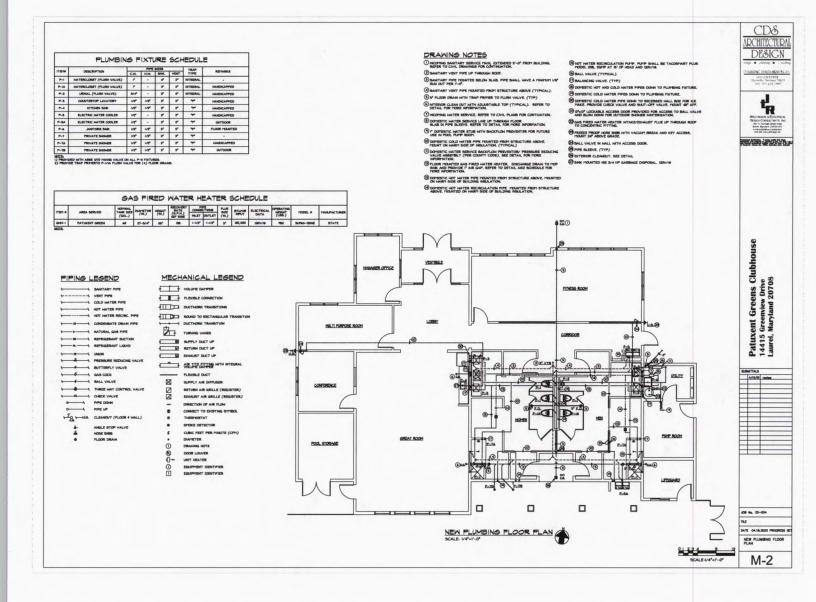
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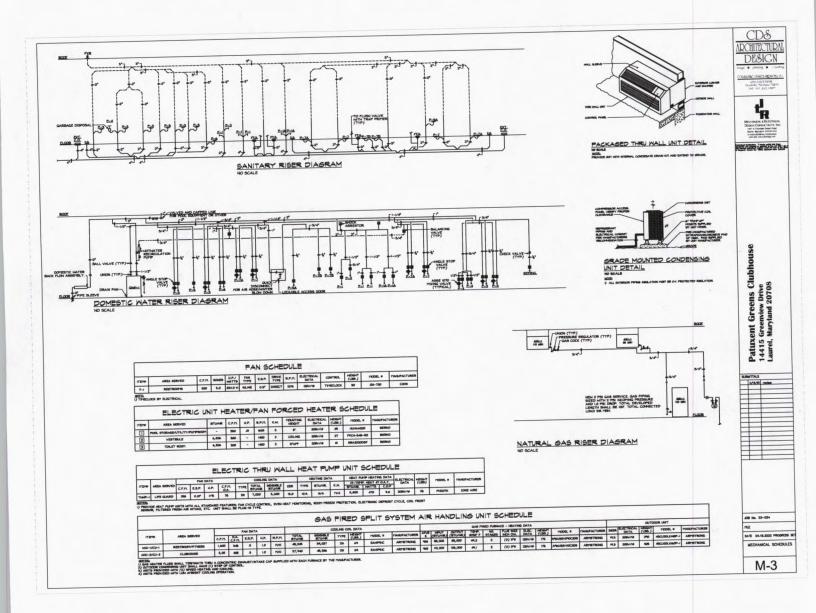
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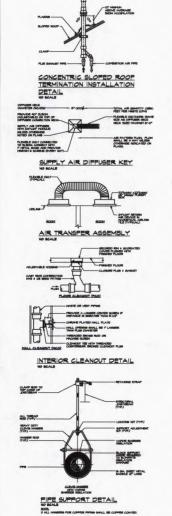
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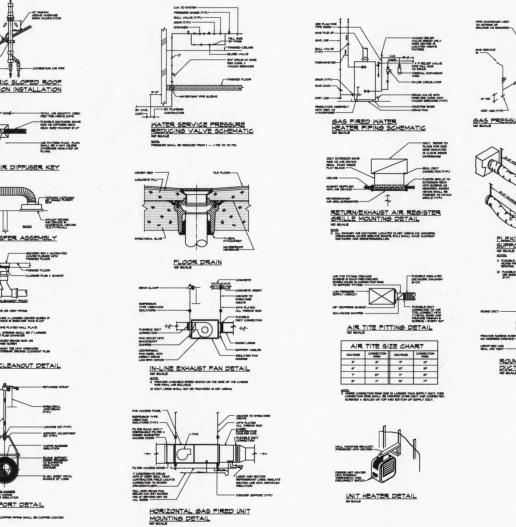
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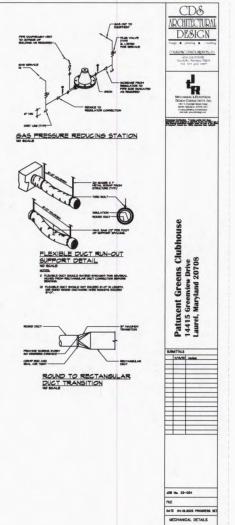












M-4

- A. The serie of each of the machanical sections includes furnishing and instanting the material, explorment and systems completes as specified and/or indicated on the drawings. The machanical installations, when finished, shall be complete and coordinated, ready for soliofoctory section.
- All user's under this contract shall be dere is strict accordance with all applicable maniclast, state, Prince Georges Cautio, MPPA, International and local codes that amount soch auticious trade. The contractor shall make applications and pay all charges for all recessory permits, licenses and inspections as regimed under the above codes. Upon completion of the work, the customery contrifications of approval shall be furnished.
- No materiate or equipment shall be used in the user's ort3 approval. Defore submission of the often drawings, and net mere than their (20) days effect assent of the contract, the submission is a first state of the submission of the submission of the ten family, giving manufacture and cateling numbers. A complete list of prepared in-contractors will due to invertiliat.
- The contractor shall examine all drawings and specifications and shall inspect the existing conditions of the site. Failure to comply with this regularment will not relieve the contractor of responsibility for construction with the table of the contractor of responsibility for
- The drawings indicate the general envergenent of the machanical installation. Details of propasal departance due to actual field conditions or other causes shall be adhential for a opproved prior to installation. Beaucriting of comparisated items due to improve field conditional shall be of the contraction assesse. Provide sufficient access and clearance for all flams of appipriari requiring servicing and maintenance, such as volves, dampers, carbonis, drives, drains, vents, starters, suffiches, filters, traps and
- The contractor shall perform all recessory cutting and petching as required to complete the installation of the machined surfix. Petching of units, floors, califying, mer, etc. shall match the adjacent surfaces.
- The contractor shall proport lives (3) copies of a record and information basklet. The basklet shall be based in a three ring boson-bask binder. Provide the following data in the basklet.
- Colleting data on each place of approved. Furtheraul Colleting data on each place of approved. Furtheraul Collectory, association and bit-further harmonical on anoth place of approved. Furtheraul Collectory is and cafforder to dispersive Collectory is and cafforder to dispersive Architectory programs of the ancient Collectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory perspective of the ancient Collectory and anotheraulter to dispersive Architectory and anotheraulter to dispersive to dispersive Architectory and anotheraulter to dispersive Architectory and anotheraulter to dispersive Architectory and anotheraulter to dispersive Architectory anotheraulter to dispersive Architectory and anotheraulter to dispersive Architectory another
- 1. The artis's new plantistic system shall be tested hydrastatically before insistion covering is applied and proved tight under the following gauge preserves.
- Berlany Hang Denverte ander plang Natural des being Natural des be
- All sell, usade and wet piperg shall be tested by the contractor. The entry is a dramage potent and verting graders shall have all recommany gentry program and fills table usade to the based of test have been been all been appreciated and the share of the share of the reliability contact for thirty (300) minutes without about a dram grader tion for (40 horber.
- Notes If any code or activity regime testing which is different then the test listed above, the more stringert test shall be
- performant. All perts at the heading, wetability, de conditioning and exhaust systeme abuil to adjusted, checkel, belance and lasted by an information A.A.S.C. certified testing and belance; condi-stanting and the system of the conditional and the system approach by the same. The condition which all an the devices is written and the system of the system of the central. Salenti, costes of the bisancing regards as heading devices the central. Salenti, costes of the bisancing regards as heading devices the central.
- Upon completion of the mechanical installations, the contractor shall provide a complete set of price of the mechanical contract drawings which shall be legitly marked in real particul to show of change and department of the installation as compared with the original design. They shall be unlikely for use in presentation of means drawates. All piping and value systems shall be identified with tabets and lags.
- All near machined installations, including all materials and later lie generated for a period of any (1) year from date of curver acceptors. The above shall not in any usay valid or altergate explorment manufacturer's generates or summary. Cartificates of acceptors with the datasets to the summ.
- Contractor shall also provide any (2) year free service to keep the approved in operating condition. This service shall be provided per the following schedule and nendered year request when notified of an approved mediatution.
- To addite to the first year upstrate particle, the contraction and () in the first year upstrate particle, the contraction of () introduced to the set of the set of
- The service work and inspections shall include, but not be levited to the following:
- Replace all disposible de fillers: Lukricate all mater and fan bearings as respirals Clean drain para and drain lines; Cleak and tighten all electrical convections; Impact all belfs for adjustment and camiltain and replace as Hitsess on the respiration of the second state of the second state

Usen completion of each scheduled respection, the contractor shall definer to the bridding surrar/surver's representative uithin (48) have of completion, two (2) copies of the completial respection report for record programme.

The machenical or service contractor shall, at the origin ranks, advise the score of the termination data of the skore service. This contractor shall date provide the score with a defaulted preparat, reflecting annual distributions. Contractors of the service and sequelizes

- Provide all later and materials recessary to furnish and install all piping systems on this project, lockaling interior sortery, sortery wert, denestic under, condensate drainage, return gas piping systems.

- as 2⁴ or arreliar- 50 pai, tao piaca bady, full part, bisanet-proof starr, civarna piatad ball, brown bady and starr, rebrierand TPE and ring. Nikes 5-565-70.

- The state shall be a state of the state of t
- Planges- Class 50 untiding neck, Nitics convoluted Plange #271 or opproved aget.
- Bell Valves: U2" or 3/4"- forged brass alloy, aluminum las handle, threaded ande, Nikos 6350 roted at U2 mil for index contents convection.
- pil for linder applicatio connections. 7) Batchigenzal, stalings. Parties Types I hand copper retrigenet: biles, dehydrated and i Philipige. Henophic copper solder type with either. 6. Copper pile abult ite network, and come types %3 and %4" hand discut, with approval side in Kiloge.
- Steel piping shall be similar and aged to historial Tube Company, Republic or Baltistern black or six-contail (geborized) steel on hereinbefore specified. The shall be free from all directs arises may offect the dankeliky of the intended use. Each langth of pipe shall be stamped with the manufacturer's name.
- All hangers for cause plaing shell be causer cloid, split ring subset type, having rade with machine threads and threaded causer cloid calling fittings. Cast iron and steel plains paysorts shell be similar without cauper cloid and prive parts firsh. Hadmun distance between player brangers shell be an follow.
- Provide distactivic couplings share non-ferrous metal piping is joined to ferrous metal piping. The gasket material shall be capable of withdrafting the temperatures and preserves within the piping system in which installed. Selemit detectric coupling and gasket metamial for marrows.
- SECTION INSIG PEOLANICAL INSULATION All supply, return, actainte air dictauris and all demastic under, refrigerent and condensate philip sections alvel its insulated with Reargins insulation.
- Default with party speed with control of 27 to be given from therein matching with Default conductivity W values of 2.57 at 170 areas 1.470 arrays and the speed of the speed of the speed 1.470 arrays and the speed of the speed of the speed of the fibrardises layer 150 with half load years burrier. Franklin share has blick declared to be arrays and the speed of the
- Parts invitation shall be prevented that the state of the
 - D. All refrigerent piping shall be unopped with 1-1/2⁴ ermellies in E. Interior doct living shall be as epecified under section 5550.

- MECHANICAL SPECIFICATIONS A SECTION ISADD - PLUMBING
- The same assumed by this section of the specifications consists of formabile all labor, supported and materials in correction with the contracts drawing to another the contained of the other and the contract, drawings to determine the starts of the raws and remediatin partners; such as the start of the raws and remediatin partners; such as the start of the raws and remediatin partners; such as the start of the raws and remediatin partners; such as the start of the raws and remediation partners; such as the start of the start of the raws and remediation partners; such as the start of the raws and remediation partners; such as the start of t
 - All planning flatures shall be complete in every detail with all trimmings and connections. All flatures shall be designed to prevent the backfrees of patients success and white the south response events futures shall be an interact below or opproved equal-
 - 2.1 Jakar Canad, American Statu or approximati aguit 2.1 Jakar Canad, American Statu or Carol Hu, "Al-uni", and mantada, and actus, atragated rim ham, U GPT with viet from before carefunction, 3-rold transmit, and P Hab, Decretan Instrute trim before carefunction, 3-rold transmit, pp. Provide Across Market and all child metric and shall have P. Provide Across Statuto and all child metric and shall have p. Provide Across Statuto battery), ADA complete, 3 accord date, flash schearrise flash carlinet, edg. Jakatis same range.

 - The second secon

 - P-5 Particle bittler Center (handlospeel), Helesy Taylor WITH8-HU CG881.55-HP air cooled, well-hung, berrier-free whericher level with bettle filling statise. Unit shell be carefracted of heavy gauge statutes stast, with chrome plata yeah box, one place bables and shaped boult. Link shall deliver a miximum of 8.0 gain of 3 degree f, dividing under with 90 degree F, under hink of near temperature. Compressor shall be 360 waits, (30x/10, who B
 - P-54 Destric Mater Center (adder), Many Taylor MiTMSHVR ME-19 at colled, anti-hurg, barler-free schedulet land

 - 7.3 Shows that (in Charlessend), length of MOS Michael Schlassend), Michael Schlassend, Michael Schlassend, Michael Schlassend, Michael Schlassend, Michael Schlassen, Michael Schlas

 - Sentary verta litro real shall be one-place PVC/rubber best case

Fleer drains and hub drains shall be halts or approved equal, Drain shall he madel FD-100, cast iron with entrier fungs, reversible champing color, primary-incontency useshales and adjustable round nickel-herms strater. Drain to be primad from nearest flush volve where indicated on drawing.

- Demostic under dickle chek whe essentialy (Rechtleur preventer.) she be hato anties 7H or opproval appl. Value shell be ADDODS lottad and AbBAD 2D compliant. Construction whell be forward bady and obser and a machiner surviva prevente of 175 psl. Verify opproval units hand shrender transport. Undersité lummostatic métris suite shall le Misco II-72014-TG ar opermed ages und ASSE/307 Disting. Vale abit host has fras hume hay construction suité adjacement cap, héarné chast steles, lamperature ages, au d'ornética suité 3-50° compression, atleus, and les Ritige, Temperature acting range shall be 807-007 with a fissu range of 32-32 gem.
- Dust check valve back/fau preventer shall be Hatta series 7 or approval aget with ASSED34 facing and CSA certified. Valve shall have cast inners construction.
- The second property is sufficiently a second property of the second
- Petable under systems shall be disinfected prior to use. The method to be followed shall be that prescribed by the health adherity and code regimerants.
- registrements. SECTION INSIGN INFATTING, VENTTLATING & AIR CONDITIONING (MAAC) The work to be performed shift include all later, materials and explorent nearably for finish and industing and/or homothytic matching and/or homothytic in the second interrupt and/or homothytic exploring. It is the Facet that the systems is to validated complete with all have nearabless of performance of the systems is to validated complete with all have nearabless of performance of the systems is to validated complete with all have nearabless of performance of the systems is to validated complete with all have nearabless of the systems is to validate of the systems is the system of the systems is to validate of the systems is the system of the systems is the system of the system of the system of the system of the systems is the system of the syst All heating, vertilating and dr canditioning applyment which contains compressors shall be previded with extended serverties covering the compressors for a minimum of face (44) wars.
- Philippine Gas Fired Furnace shall be a high-afficiency fernace with 4-using multipole design and can be installed in upflex, dearflaw or
- Unit shall write het surface typiten (105) uhich spiten the lowers dericty. 105 allwinntes gan andet that forsical antiheses pild design can bring, leis serifica gritten shall provide relation to the normal in Lowert gritten shall provide relation to the in herdes in Lowert gritten shall have. The saids herdes on the cortext shall signal shall be a fault have scores and tentify where the protect shall signal shall be a fault have scores and tentify where the protect shall signal shall be a fault have scores and tentify where the protect shall signal shall be a fault have scores and tentify where the protect shall be a fault have scores and tentify where
- The unit shall have privan privan-territorial heat exchanger. The excendery heat exchanger ensures that all excludes heat is properly transferred to the derivance. Liking the exclusion flow through design. Use excendery heat exchanger shall reduce the pressure drop in the hormon.
- Unit cosing shall be one piece, seemises unap-around construction of heavy, galvanised start resists correston. Insidelad bissuer compariment shall have the accession insidelion nedexes of and mater noise to promote accession accession.
- promote split spendim. The work shell be AGA, design cardifield for use with related and progene game. The efficiency is GATA efficiency reting cardinates with head Stretchild split afficiency of the head accompany. For the maintenant of the stretchild split shell are used as a stretchild maintenant and carves and a period shear mater.
- The combustion-air and vent pipes shall terminate through a side well or through the roof when used with a factory activated vent termination kit. Blauer access panel suffich shell shet all all IB-v pacer Urregh Arrace companies characer blauer access panel is opened. Sinu opening radundent gas valve shall altet off gas to berners if one of the valves fails to close completely for any reason. The slow spening feature raduces start-up raise from rapid ignition.
- Unit shell have micropresenter carbrels sequencing and furnace equivalant. Epigeael with a comparent test feature and etatus indicater light to exect in traditisticating. Theraperater blower cardinal times blower start after main larmers ignits to eliminate cold do blow for the execution.
- Direct work sealed combestion system shall use 1008 oxideor dr, which results in associatly give sporation. Direct writing also minimises the passibility of chiardia conformation which an result in halt exchange corrector. Also reduces of infiltration into the
- unit, shall have filler rack with disposible filler and veril lervice kit. Unit shall be Annebrang, Carrier, Trane or approval equal. Air Cacled Condensing Units
- c. comit inframeration official with a set of the se
- Livit shall be rated in accordance with the lotest edition of ARI standard 210 and 270 and shall be cartified for capacity, efficiency and saved. Livit shall also be listed in the lotest ARI directory. Livit contribution shall compty with latest attition of ANSI/ASRAE and with NEC. The livit and is combrocked in occasions with any statest of the statest of the statest of the statest with a combro discloying discount test historia forced hist. He(method 6064) 900-hear all serve task. At costat condenses online with the total at \$000 mig out present tasked at \$000
- Unit shall be factory assembled, single place, of costad of conditioner unit, contained within the unit encience is all factory wiring, siping, control compressor, refrigerent charge (R-40A) and special features reasonal origins to field attrium.
- regime prof to test soft-op. Whit clocket also constructed of galaxies data, brokensed and contail with a possible cost parts. Containers from shall be direct drive presenter type, discharging der yaugund. Condense from rootens aboil to statuty and contained by the software of the software of the software. Software direct and the containers matter. A first basis shall be relation and generically balanced. Condense for sparsing shall be relation and something the software shall be relationed and the containers and the software shall be relationed and the software shall be and the software shall be and the software the software for the software shall be and the software shall be relationed and the software shall be related and the Unit Compressor shall be hermetik
- The condenser cell shall be air cauled. Cell shall be constructed of aluminum fine mechanically landed to capper takes which are then cleaned, dehydroted and excited.
- Refrigeration circuit components shall include liquid line shut- off where with suest connections, suction shut-off volves with suest connections, system charge of refrigerant R-40A and compressor all. Nominal unit electrical characteristics shall be as indicated on the dimultips. Unit electrical power shall be single point connection, Control circuit will be 24c.

Unit accessories shall include histor master haad pressure control which shall permit unit to equartize down the -20 degrees if and maintain normal system pressure apendian. Low addator amblerd temperatures, service servicy shall lock du compressor include addaty suitch trip and light a 24 volt signal light. Compressor shall have a 5 years username.

CDS

ARCHITECTURA DESIGN

COLOURS DISICILATION D

1434 USATERS USATERS (Marthau) 1080 1040 USATERS (Marthau)

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MEDHANICAL & ELECTION DESIGN CONSULTANTS I 1011 A. Francisk Grain Hase Mich. Mayland 2015-1011 Francisko.2019/10 (1045)401

Patuxent Greens Clubhouse 14415 Greenview Drive Laurel, Maryland 20708

SUBNITTALS

.08 No. 22-054

DATE 04.18.2022 PR

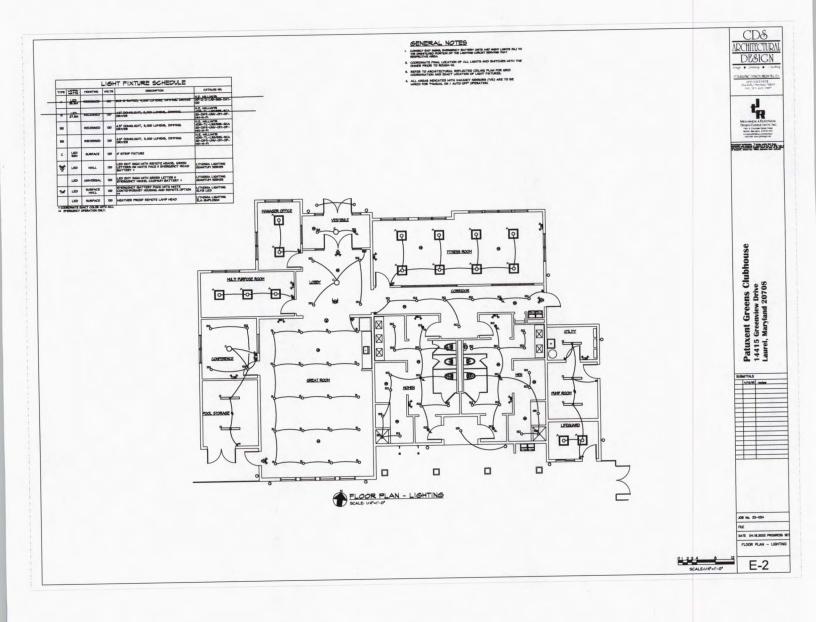
NECHANICAL SPECIFICATIONS M-5

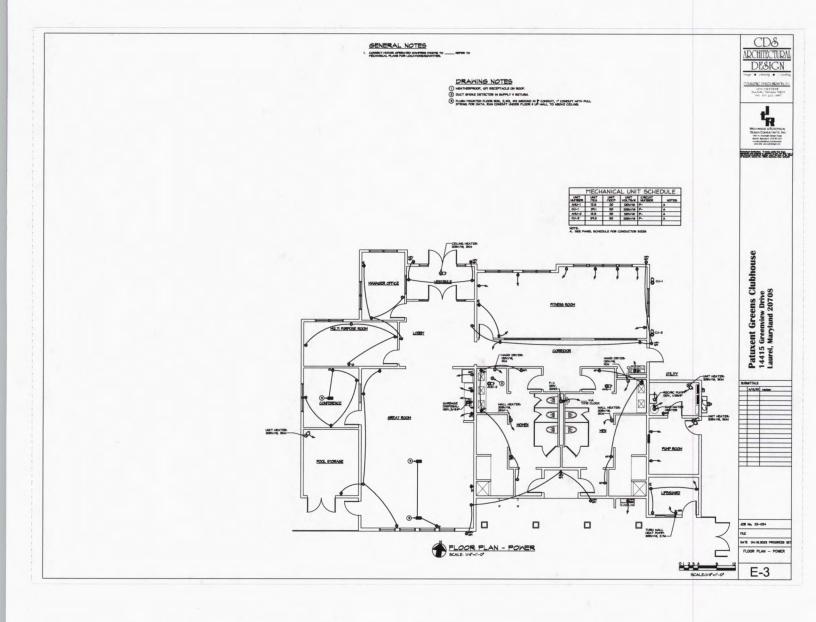
- New 4 3 year servery. Well while the Twen, Carrier, Tark or operand equal. Cased Exercise Dir Carlies Call. Card Science Dir Carlies Call. Card Science and the Article of the optimation with herberds or addition of the optimation instantiation. In the optimation of the Dir Carlies of the optimation of the optimation with the provide optimation of the optimation of the optimation with an exciton optimation from the optimation. The optimation of the optimation of the optimation of the formation of the optimation of the optimation. Call design shift have advanced manufacturing methods is give a better level of Line Tris and Lake. Containvants shall not be strategied histo advanced for all contains and the translated histo advanced for all contains and the application. Call matering allowed for all contains methods application contains and in contains and the contains and the approximation and in contains methods application. Call matering allowed and included on Accordant methods when the approximation and in contains and contains and call.
- Call condensate pan shall be exploped with a correction-maintant, condensate drain pan with two Sriftech terrate threaded pipe corrections. The can shall be alread to eath-drain.
- Call refrigerant connections shall be sweet-type connections furnished for installation of the refrigerant tables. Call casing shall be fully installed to minimize beams.
- extended local_models and set of the http:// dist and the Amazing Genrier, York, Tree, Aam or apprending and district all Amazing this before that an employee the http:// district all Amazing the http:// district all Amazing and the http:// district and the http://
- In U.L. Letter. Backits aship heaters. Unit heater shall be an innervictured by Barke or approved equal. Initiatins shall be complete subh URN B0/20 Mitcat-Drominen demanta, heave skill exceede such S0/20 Mitcat-Drominen demanta, heave skill exceede and shall be U.L. Letter.
- MICTION ISNO AND DISTRI Farrish all labor and matarials necessary to complete the sheet metal uses associated with the heating, vertilating, air conditioning and asheet systems, and other miscalinance fame sheets and regired.
- All supply, return, and exhaust declusaris shall be constructed and installed in economics with the shart metal and air conditioning contractors retioned essection (STMCM), standards and ASI/RML standards.
- All scheset discussify from tallet norms shall be constructed of minimum 0.71 linch dismisure, constructed in accordance with the SFANCA duct monod, Seal of Joints and search scalar tight and pitch tacord head in accordance with
 - Placible declararis shall be ATCO 9 (25) or approved equal. Placible duct shall camply with NPPA bulletin 4CA and shall be U.L. Listed as class I of duct and connector, standard ISL Ductasoris shall be invested with R=0-D invested.or
 - 5 Segarat horizontal ducts with hangers searced not more than site (6), fast earnt. Use strandburgers for ducts as to thirty (30) inclus ada, angle hangers or mals for ducts own thirty (50) horizon ada. Strandburgers to be one (1) horizontal ada. Strandburgers to be one (1) horizontal and a more.
- Note and boltom or account on the main article. Data shall be added and exception the sense with joints methy finished. Data shall be assanted from the contentiation and shall be free from direction. Content classes shall be an a cartier ratios are content and the main direction content and the shall again the main fills and its main direct time shall be done and the main fills and its main direct time shall be done and arms the add its main direct time shall be done before.
- All joints in the heating, ventilating, and air conditioning and exhaust system declarerk shall be assist. Sectors shall be an manufactured by Hard Cast. Inc. or approved equal and shall consist of a minural momentum count from tons and on advantamental manual Sastard, shell be SHACHA and U.L. opproved, with a flame spread of 10 and a simple developed of 0, non-tack and non-flammable. Sastard shell be approved for spansing temperatures from 0 degrees 1. to 200 degrees f.
- Selient system shell be installed in sinict econdence with the menufacturaria recommendations and when opplied shell provide a permanent and without any determinant.
- Supply of diffuences shell have all stant construction with lowered face and finished with 626 off-white anomal. Thus madel THS, Hatal-Aire, Crueger or opproval equal. All of devices shell have involuted bloriest. All of devices in facility room to be all standarm. Supply of diffusors shall have all start construction with lawared face and freished with R26 off-white exampl. Titue model 300FL, Hetal-Aire, Groups are approved aged.
- Return of grilles shall have all start construction with $1/2^4$ spaced levers, 30 degree deflection and finished with F28 off-white ensmal. This model 258, Printl-Aire, Kneeper or sparsed equil.
- Exhaust dir registers shall here dil duminum canstruction alth V2⁴ spaced lavers, 35 degres deflector, oppsed blade damper and freished with K36 off-shife anemal. Tika madel 350R, Hetal-Aire, Grugger ar manmed and In-the large shall be an manufactured by Galls. Now shall have associately insided having not shall have a materian and have rated as a start, the destination of the antibilities on the desting and a di-tant, and destination of the antibilities on the desting and the desting of the desting of the desting and the material sector. The desting any start is faither desting and the material sector. The desting any sector desting and and any start and the material sector. The desting any sector desting any sector desting any sector desting any sector and any sector desting and the desting any sector desting and desting any sector desting any sector desting any sector desting and desting any sector desting any sector desting any sector desting and desting any sector desting any sector desting any sector desting and desting any sector destin

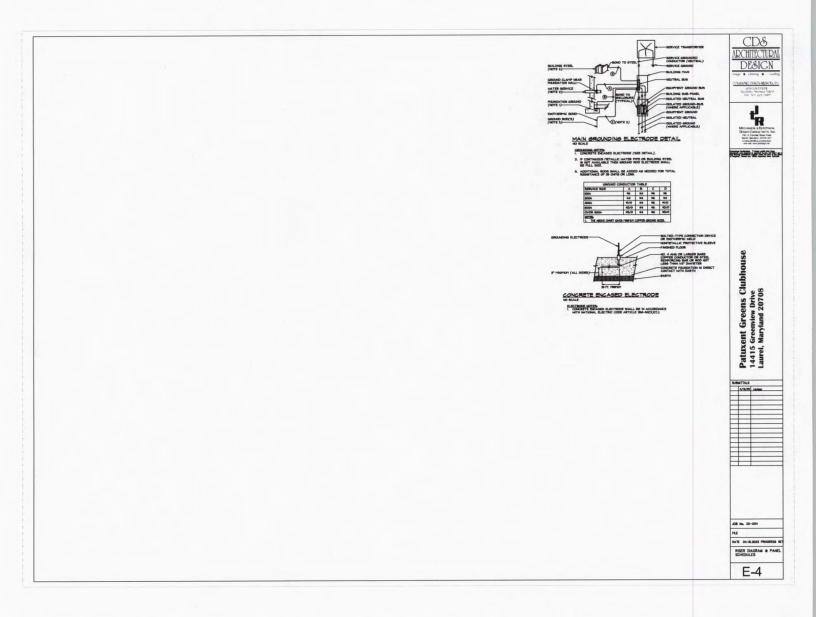
grite. Grite shell he of samsdynamic design of uhits models plattic aggress dates and provide adjety-the (16) paramit free spen max, turnical based to be sense. Set to be setting units rating free, and models to and/or models and ubited districts for however, plattice specific should read model ubited districts for however, plattice specific should read model and on their - however, distribution solution, model and monetal on other-however, distributions.

- The service services or other handles and horsels are fractional services, meaning, the services as particular, and a destruct to service service, meetings of the services, and the services and the destructure. The services and the services are also as the services of all majorees in a described in the majorized and the performed to the controls controls of an adverted and the performant to the controls controls and an adverted and the performant to the controls controls and an adverted and the performant to the controls controls and the adverted and the performant to the controls controls and the adverted and the methyse.
- Each Air handling unit shell be centratied by a unit meaning itemposal make T-7880 had inpresenting thermestet with a (7) dev(74) hearingram clack candide of (2) according to the temposal presents, with (2) heating(2) control periods, remote temposal

	ELECTRICAL SYMBOLS
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	STITES. DESCRIPTION
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APECADATE. TO BE AND TO BE ANY	LO CALLER FRIDE OF DEALERT WILL BRACKT, MILLINGER, LETTER
ORDATATION SO SUMPLOTO MASKETS, LENDES, VIDELE LATTRI, ETC. ARE ALL FRAME THE SAME DIRECTOR.	
 RETER TO AGCITETIONAL OR PUBLICAS DRAINED AND AVELING PROJECT PHASE. PLAN NO CONDITIONET THE HEAR AS RESIDENT. All her Publicash are to be provided with accurate directories. 	B BIT LIGHT - CELLING, HALL, NTH DIRECTIONAL ARROND
4. ALL NEW PARELBOARDS ARE TO BE PROVIDED WITH ACCURATE UNKEL UNKEL UNKEL 8. ALL NEW PARELBOARDS WITH WACKNEY SUBBORD (VS) ARE TO BE HERDS FOR TWARK ON A ALTO ON "OPERATION.	COMPANYION DOT LIGHT/BATTERY UNIT - HALL HOLNITED
GI / AUTO OFF OFERATION. 4. ALL AVARIBONIES ANT DE REVINOED WITH LATINATED BLACK FLASTIC DESTIFICATION FARTES THAT ROCATE HOBELT THE FINEL & DIRECTLY FED FROM	BHERGELY BATTERY MAT, REPOTE HEAD
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4. ALL CELLER FORMED DEVICES, SHALL WE CAN UND AN OWNER OF PROMPTO CELLING OF 204 TUES, AS APPLICABLE.	# SHITCH - HOTOR RATED HITH THERMAL ELEPTERT
OF 381 TELD, IS JAPPED, SALES, BARTEN, MARKEN,	CELLING VACANCY LIGHTING CONTROL INDIGIN IS LIGHTING CONTACTOR
ADVI, DELET FOR ALL SHALL BE PRETITED HARE INSTALLED ABOVE FRISHED CEILINGS OR CONCELLED IN PARTITION HALLS.	O B PHOTOCOL, THEOLOCK
COLLINES OR COMMENDER NATION HALLS. N. LL CALLINE OF HOMORY: SHORE FROM THE STRUCTURE ABOVE DO HOT ANYONG CARLOCOMMENT FROM OTHER GALECTS IN THE COLLINE SPACE, INCLUSIVE OF COLLINE TAL MANDERS.	BECEPTACLE - 304, US VOLTS - DUPLEX - COUNTER HEIGHT AT 44 APP
2. REVENTS TO ARCHITECTURAL DRAWING FOR CRUME TYPES, FINGHER, ETC. COORDMATE ALL LIGHT FRUTHER FLANKE, FANNE TITS, ETC. AS REDURED.	RECEIVACLE - SIA, ES VOLTS - DURLEY RUBH IN CELINE SHOLLN, ERCEIVACLE AS NOTED
B. TEP-WARANLY REVOLVE DISTING LAY-NITLES AND / OR COLLEG GRED STRETON, AS REDARED TO FRENCHET IN GARK OF THE GARK OF THE STRETAL, ALL CONTRACT, BOTTOM AND THE STRETAL DISTING LAY AND	SPECIAL RECEPTION FOR AND TELEPHONE CATA, SPECIAL RECEPTION FOR AND TELEPHONE CATA, SPECIAL RECEPTION FOR THE TELEPHONE CATA SPECIAL RECEPTION FOR THE TELEPHONE CATA SPECIAL RECEPTION F
AT COMPLETION OF MORE AND REPLACE ANY DAMAGED COMPONENTS. 4. HARRE THE HORE OF THIS CONTRACT, INCLUDING THAT OF OTHER DISCULATES.	4 COMMARCATION OUTLET - TELEMONEDATA - H.H. F-M
AT COMPLICITIE OF ADMILLAGE REPARAZING THE DAMAGED COMPOSITIE A Martine Tang Sang Angina Pana Companya, Canada Companya, Canada Canada Canada A Martine Tang Sang Angina Canada Canada Canada Canada Canada A Martine Canada Canada Canada Canada Canada Canada Canada Canada A Martine Canada Canada Canada Canada Canada Canada Canada Canada Martine Canada Canada Canada Canada Canada Canada Canada Canada Canada Canada Martine Canada Canada Martine Canada Canada Martine Canada Canada Martine Canada Can	TELEVISIE TERMINAL BACKBORD
SLOY DEVICE, SALLEDHAR REBATALLTCH HTO NEH CELING. 5. ALL LON VOLTAGE ORDAN RETALLTCH ABOVE CELINGS AND NOT IN RACEMUT SHALL BE PLANEN HATED.	E PETR
A REALEMENT BATTER. M ALL BEARING CROTTE SHALL UTLICE REDVICUL HEUTRAL CORDUCTORS SHARED SHOTELS AND PAILT-SHEE CORDITE ARE SHT PREVITED LIALERS SHEEDCALLY MOVIDD ATT I BRACERSHARES IT RES.	O JUNCTION BOX D BP DISCONNECT SWITCH - WARVEED, PUSED - FUK, 5'-5' TO TOP
PROVIDED WITH BREAKER/WHOLE THES.	POTOR - HOMEPOHIR AS HOTED
17. ALL BRAVEC GRUTTS AND STROBERS BULL INCLUDE AN INSUPERT GRADUATE CORPUCTS CALIFY IN SUFFERENTIA OF TESSES INFORMATION B. MARE VOCUMENTA AND PORTE CALIFY APPEAR ON IN, MAR SPACE TO BACK, AVTLET SHALL BE FORGED TO THE VOCUMENT INFORMATIONAL.	
 A desire function are strategistication for basics and trademission theories induces A state productor and basics clastice provides strate and constraints for the LPF A state productor and basics clastice provides strate and constraints for the LPF A state productor analysis clastics provides of the Production of the State and Constraints 	BRANCH CRECHT - IN CELLING OR HALLS, 3 HE # 1 HE GREARD IN V2* CONDUCT UNLESS NOTED OTHERHOR
SAFTY DYDRODY BRANCH CREATS AND OF ANY SHITCHING, MALESS NDKATED OTHERWINE.	BRANCH CIRCUT - BRUCH GAUDO/SUBMAB. 3 HE 4 I HO GROND IN V2* CORDUT INLESS NOTED OTHERHOR
30. PROVIDE ACCESS PARELS FOR ALL DUCT SPECIE OFFICIORS, JARCTON BORTS AND OTHER SQUPERT REQUERRE ACCESS OR ALLISTICAT, AND LOCATED NI HARD CELLISTS OF MORE MULT HARTINGS, NI UNASS, T. T.C.	wetter a garent - carcert water the setter and
CELLING OR BORNO MALL NATITION, BLOWIN, MALL MARCENA, PAULAR TO R. MARKEN STOT CHARANCE, BARY CALART CALART ALL MARCENA, PAULAR TO R. BARY S-REAL - REAL - REAL R. BARY S-REAL - REAL - REAL R. BARY S-REAL - REAL -	
4 (207), 5-420- Hanke 4 (207), 1-427 - Hanke 4 (207), 1-427 - Hanke	(B) (B) DELANDS KOTTS, SMEDUL RELATION TALEBOA
22. FOR LIGHT PROTIESS, MERKE SHALL NOT PAGE THEOLOGI ANY LIPSAHEE INTERNAL	 First ALMAN - SUCH FRANTISE HOUSE OFFICIENT IN APPLY AND RETURN. One of the second secon
28. REFERENCENTOR RECEPTACLES SHALL BE INDUMTED AT 42" AND 6" FROM ADJACENT COMPERENCESSION	
COANTRE, SHITCHES IN THE SHITE LOCATION SHALL USE A SHELE PLITH-GANG DEVICE BOX NO COORDENTS.	
25. ANY EXISTING OUTLET COVERYATES REPAINED AFTER DEPOLITION ARE TO BE REPLACED HITH NEW TO PARTICI THE ADJUCCHT NEW HORE.	
NEYDELDA WIT MEN ALACITECTUAL STRUCTUS CELLIG FLAG INFO SALET. LICATOR IF SA BYRE TO ALACITECTUAL STRUCTUS CELLIG FLAG INFO LIGHTA FOTAMENTALES AND INFT DESINFLOT IS AVAILABLE BETRE CEDERING LIGHTAR FOTAMENTALES.	
Lightne Pritores. 27. Very All Locations, Ampress and Voltages of Processical Bourrent NTH Hecharch Contractor Price 10 Bough-6.	
HECHNICAL CONTRACTOR FROM TO ROUGH- N. 28. SEAL ALL CONDUCT POSITINATIONS THROUGH FREE ANTED HALLS AND COLLINGS TO 29. SEAL ALL CONDUCT POSITINATIONS THROUGH FREE ANTED HALLS AND COLLINGS TO	
IS AGAI, ALL CADUT PARTINITION TREASULT PER ANTO HALLA MO CAME TO NATION AT ANTONITION THE AND TRANSMITTER ANTONIANAS YOR THE ANTO HALLA AND DIRVALL CARLAS, SKA, ALL PRETINITIONS IN SAFACE POATED AND RECENCE LIGHT FINTING TO ANTAIN ATTRACTION.	88
24. GROWDED CONDUCTORS SHALL BE PRE-TALED IN GUTLET BORES OR HELTI-GUTLET ASSETSLY FOR RECEPTACLES SO THE REPORT OF SUCH DEVICES CORS NOT	E
30 ALL CORE DBLL LOCATIONS THROUGHOUT THE AREA OF HORE TO BE COORDHATED HOT DRE TRANSFORMENTAR VERDOL	
IN LARE, DOWN RECEIPTACLE IN LIGHTLE PORTWART INVECTION THE BACK OF THE CONSERVATE AS TO HAVE THE RECEIPTACLE IS SERVED FIRST, IDDITIFY ANY DETACHTOR CONST'R AS SAUL.	
DEDICATED CIRCUITS AS SUCI. 31. USE CONDUCT SALINE FITTINGS INTH APPROVED SELLING COMPOUND ON ALL.	
St. use concert source in transmission and transmission concertainty of the intervent of	ABBREVIATIONS
ARE TO BE SALED IN COMMANDANE WITH THE PARLY ACTIVED IN RECOVERENCE IN A RECOVERENCE IN THE AND A RECOVERENCE AND A RECO	A - AVEN, AVERS TLD - TWAILUGE ORLY AVE - ARXIV TREMED FLOOR TOD - TWAILUGE ORLY
35. ALL DOY, 54. AND 204 SHELE PHASE RECEPTACLES IN KITCHEDIS SHALL BE GPCI PROTECTED.	ARG - ABOVE PHENED GRADE PH - POLINTING HEIGHT
54. SUPPORT RECEISED LIGHT FRITINES FROM BUILDING STRUCTURE.	COT - CHONT HTD - HOATED CH - CONTER HEAT HE - NUTONI, DUITEC CODE
	DC - DIRECT CURRENT NESS - NON FUSED SAFETY SHITCH
	D46 - 094486 NC - NDT N CONTACT 87 - 0544.05 FAN NL - NBAT LIGHT
	PLA - PULL LOAD ATPS PC - PHOTOCELL
	P55 - FURED SAVETY SATICH 56 - SURVICE DITRANCE GEC - SECURIDAE ELECTRODE CONDUCTOR 70 - THE CLOCK
	940 - 640340 U.S.H UKLESS OTHERSHIEL NOTED
	671 - 680340 FALT INTRALIFTER V - 103.15 HP - HORSETCHER HP - HEATHERPROOF
	NOTICE TO CONTRACTORS DA
	The second secon







THE NORK OF EACH OF THE ELECTRICAL SECTIONS INCLUDES PURSESHIES AND INSTALLING THE PATERIAL EDUPTHTY AND SYSTEMS COMPLETE AS SPECIFICS NARVOR INSCALTED ON THE DRAMMER THE BECKTRICAL INSTALLATIONS, NARD FRIEND, SHALL BE COMPLETE AND COMPONITY BRAINT OR SALTIMENTER MEMORY

- THE HORK UNDER THIS CONTRACT SHALL BE DONE IN STRUCT ACCORDANCE NITH ALL APPLICABLE PARICIPAL, STATE, AND OTHER LOCAL CODES, THE 20T EDITION OF THE NATIONAL ELECTRICAL CODE
- HALE APPLICATION AND PAY FOR ALL PERFITS, LICENSES AND INSPECTIONS AS REQUIRED LINERS THE ABOVE CODES.
- THE GENERAL AREAGENET OF CONDUCT, HERES AND EQUIPTENT SHALL BE AN IDENTIFIED ON THE CONTRACT DRAWNESS. THE CONTRACTOR SHALL CAREFULLY INVESTIGATE THE STREET SHALL AREANES SACH ADDR CONTIDUE APPETTING HIS HORE AND SHALL AREANES SACH ADDR REDURED TO HERE NAME COMPATING. MAD ACCESSORIES AS INTO RE-DIRECT AND INTERVIEWS COMPATING.
- PROVIDE ALL LABOR, PATERIALS, DOLS, EDUPTIONT AND SERVICES NECESSARY FOR AND RESOLUTION TO THE CONFLICT INSTALLATION OF THE ELECTRICAL HORE AND RELATED SYSTEMS AS NOTIFIED OF THE ELECTRICAL HORE AND RELATED SYSTEMS AS OCCUPIED TO THE DEVICE A
- PROVIDE ALL NECESSARY TEMPORARY MIRING, LIGHTING AND CONSTRUCTION POWER FOR ALL TRADES AS REQUIRED TO COMPLETE THE PROJECT.

ALL PATERALS AND SOURCEST SHALL BE INSTALLED AND CONFELTED IN A REST CLASS HOROTALEE PHONES, ALL PATERALS SHALL BE NOT AND THE DEST OF THESE RESPECTIVE RAND. ALL BASENDER THAN STITTE'S SHALL BE APPEARED BY ILL OR SHALLAN INTERALLY ACCEPTED THESE ACADEMY NALL AS F. THETRAL LANDAUTORING SARINT OFTAILED DIVERSIGNED SHOP DRAINING, TOGETHER WITH HIRING DAGRAPS, SPECIFICATORIS, OPERATING DATA NOVOR CATALOG CITIS NOR ALL BOUPTION.

- CUTS FOR ALL BEOPPIERT. A THORSEN THE SHALL BE HADD FROM TO DHERE THE SYSTEM TO DEDUSTRATE THAT THE SYSTEM IS DURINGLY FREE FROM GRAND TO THE SHORT CRUTTER, AND SHORT CRUTTER THAT THE RESONANCE OF THE STATE THAT THE SYSTEM IS THE SHORT CRUTTER THAT COMMENTIAL CRUTTER, COM AND LESS STANDARDORFECTIVEDENETORS ANTONIN, RELEVENCE, COM AND LESS STANDARDORFECTIVEDENETORS ANTONIN, SECTION OF DURING STANDARDORFECTIVEDENETORS ANTONIN, RELEVENCE, COM AND LESS STANDARDORFECTIVEDENETORS ANTONIN, RELEVENCE AND AND ANTON ANTONIONES ANTONIONES ANTONIN ANTONIONES ANT
- PROVIDE IDENTIFICATION PLATER FOR ALL POTOR STARTERS, DISCOMENT SWITCHES, CONTROLS, PANELEXARDS, SWITCHES, STORES, TERTINAL BAURGS, CONTROL, PANEL DE LAND FREE SUCH BAUMTROT. IDENTIFICATION PLATES SHULL BE LATINATED BLACK PLASTIC NITH SIG WEI NATE BERAAVED LETTERS.
- THE HATERAL AND HORKINGHEP OF ALL PARTS OF THE ELECTRICAL INCOMPANY OF ALL PARTS OF THE ELECTRICAL INCOMPANY FOR A PRINCIP OF ONE (2) YEAR PROOF DATE OF
- ACCEPTANCE. UPON COPYLATION OF THE ELECTRICAL METALLATION, DELIVITE TO THE OWNER ONE (1) SET OF WENTS OF ELECTRICAL CONTINUET DANNESS HERCI SHALL SE LEGELT TWOLED IN RED PORCE. TO SHOR ALL ADDITIONS, CLANEER AND DOMATINESS OF THE INSTALLATION AS COPYMEDIATION THE ORIGINAL DESIGN. THE SHALL DE SUTTAILE FOR
- PREPARE THREE (3) COPIES OF A RECORD AND INFORMATION MANUAL. THE MANUAL SHALL BE BOARD IN A THREE-RING LODGE-LOAF BINDER. PROVIDE THE FOLLOWING DATA IN THE BOOKLET. HL. GUTS OF ALL BOUTTON HITH TECHCLL STORMATIONS. 12. OFEN-TON AND HANTSWICE PROCESSIES. 14. COPIES OF HARBANES. 14. COPIES OF HARBANES. 15. LIST OF LIVER SCHOOL GUNTITT, TYPE, HATTAGE, MURARCIDES, CATALOS MARENS, ETC., FOR EACH THINK TYPE. 17. COPIES OF THIS REPORTS.
- EVACT LOCATIONS OF OUTLETS SHALL BE COORDINATED INTH DOOR SHINGS AND VARIOUS PROTEVISIONS, NOUNTING HEALTS OF THE VARIOUS ELECTRICAL DOOVERS SHALL BE AS THE LOCA
- VIEWED BALL REAL DIVECTS SHALL BE AN FOLLOWS U... SetTOSE F.A.L. DATAGES A WAY TO CANTER OF BOX. N.S. REEPTACLES 20 WHY TO CANTER OF BOX. N.C. COPENCICUTION AUTOT S A WAY TO CANTER OF BOX. N.C. COPENCICUTION AUTOT S ANY TO CANTE OF BOX. TO 1-0* ABOVE DOORS, MERKAGE OF CENER HOATED AS BOOK OF M.S. PRES. SetTORES 15 WHY TO CANTER OF SHOLL. N.S. PRES. AUTOT SELLS/CORECT/LOSIEL LIGHTS SMAPT TO TO OF CANTER. BOX. COMMENT OF OF THICK, MERCENTER S LIGHTS.
- 0. PROVIDE A DISCOMBET FOR EACH POTOR AS SHOWN ON THE DRAWINGS SCED AS REQUIRED TO PRET THE MEC AND PROVIDE ALL MENUS CONNECTIONS FROM SQUEEL PROVIDE REQUIRED VOLTAGE.
- P. SEAL ALL CONDUCT PENETRATIONS THEY RATED HALLS AND FLOORS TO MAINTAIN FIRE INTEGRITY. REFER TO ARCHITECTURAL DRAINED FOR FIRE MALL LOCATORS
- 0. VERIFY ALL LOCATIONS, VOLTAGES AND APPERES OF PEOLANICAL EQUIPTIENT WITH PEOLANICAL CONTRACTOR PRIOR TO ROUGH-IN.

B. NOTALL CONDUCTS PARALLEL AND PERFORMULAR TO HALLS AND INTERIOR SURPACES. CLEAN AND PLUS AND PROVIDE A PALL LINE IN EACH CONSULT TO BE LIDT DIFFT. USE INVALVACTURED SURGES AND SCREM JOINT CONSULT FOTTINGS. USE CAPTED BUSINESS OF THOSE PROVIDE TO LIDGE AND SCREM.

F. SELLIGA SOLD. - MORE THE TELEVAL TRATEGUAS AND TETRICOS A. NOTALL ALL HIGHS IN CORDUIT DICEPT AS OTHERWISE NOICATED BELON, THEME CORDUIT SEE SHALL BE MP. ALL CORDUIT BY REDOED IN CONCERTE SHALL BE IT FRIMTURE NOTALL ALL CORDUIT ONCEALED UNLESS ON IMPROVED WALLS, ON LINKTREED COLLINGS OR TEDRINGAL DOWNERST SPACES. TRAVING INSTALLESS OF LINKE OR TEDRINGAL DOWNERST SPACES. TRAVING INSTALL SEE STATUS OF LINKS OR TEDRINGAL DOWNERST SPACES. TRAVING INSTALL SEE STATUS OF LINKS OR TEDRINGAL DOWNERST SPACES.

- ALL OUTLET, SWITCH AND LARTICH BORTS SHALL BE SWEARDARD OR GALVANEED STAFTED STEEL BY STEEL CITY, RACO, AFFLETON, VALUE, OR ERVALUE, COLTEX BORDS IN CONCERNE CONSTRUCTOR SHALL BE CONSTRUCTOR NO "THEO-HALL" BORDS BHALL BE USED IN PARTITIONS, ALL BOXES SHALL BE TRANSHED HITL AFFRENTIATE COVERS.
- ANTIGET AND TALL BORS SAVE BE TALLED AND NOT AND AN ADDRESS OF A DESCRIPTION AND TALLED AN ADDRESS OF A DESCRIPTION OF A DESC

- TRAFFLUTI MEE SUZ SUAL DE MAFRIER THELVE (2) ANG, NO SPLUES SUALL DE TRADE EXCETT NITHIG CULTET OR JANETON BOXES, MEED MARDER BOAT (5) ANG AND LARGER SUALL DE STRANDED, MEES AND CARLES SHALL DE SA MARDACTURED BY FREILL, BOYAL, TRANSES OR SOLWALDET.
- 4. THE COLOR CODING SYSTEM LISTED BELON SHALL BE USED TO
- STSTER BUSE A PLASE & PLASE & PLASE C METTER CREATE
- H. THE HIRE SIZE INDICATED IN THE HOMERAN SHALL BE USED THE NOT THE
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- MOVIDE THERMAL HALLAL HOTOR STARTAS SATURES TOR FRACTIONAL HORSPORES, SALLE PLACE POTORS, THE STARTERS SHALL BE SOLARE D COMPANY, CARS SHO ALLED BRACLET BALLETH 600 OR APPROVED EDUAL FOR SALLES SPEED HOTORS, DOLDARDS SHALL BE NOTA IN FOR INTERDO LOLAR AND SHALL B FOR DEVICED DOLDARDS SHALL BE NOTA IN FOR INTERDO LOLAR AND
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- LT. DEVICE PLATES- LEVITOR CONVERCIAL GRADE MYLON, HAITE HALLPLATES. HEART HEATHERMOOF DEVICES IN CAST HETAL BOKES HITH GASKETED, SPRING HARED LID-TITE LOCKING COVERS HAVING CORRONON RESISTANT FINISH.
- THE DITINE ELECTRICAL SYSTEM SHALL BE SOLDLY GROUNDED INCLIONS HAN SERVICE EQUIPTION, DISCOMPCT INTO ISS. MEMOS TROUGH AND FULL BOXES, CORAUT SYSTEM, CUTLET BOXES, VOTERS, BLECTER (HATING BOXIMPENT, LIGHTAGE FRITURES, TRANSFORMERS, DISRIGHT SYSTEMS, AND SYSTEMS, AND THE ALARY SYSTEMS.
- THE HAN SERVICE GROUNDING STATET SHALL CONSIST OF THREE BRANCHES FOR HEL ARTICLE 280. THE GROUND STATET RESISTANCE SHALL NOT DICEED S 2. PROVIDE BOLIPHINT GROADING CONDUCTORS IN ALL BRANCH CIRCUITS AND PEEDERS SEED IN ACCORDANCE WITH THE NEC.
- R. ALL BRANCH CIRCUITS SHALL BE BLIN CONCEALED IN DRISTING AND NEW HALLS. CUT AND PAYTCH DRISTING HALLS AND SURFACES AS REDURED.
- COT AND TRUCT DESIGNEE AND, SAN SUBJECT, AND SUBJECT, AND

- SECTION MAD. SERVICE AND DISTREMENTION
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 - B. AR DUCT SPOKE DETECTORS SHALL BE FURNISHED, ASTALLED AND HIRED BY ELECTRICAL CONTRACTOR, ELECTRICAL CONTRACTOR SHALL FURNISH AND NOTALL HIRE FROM DETECTOR TO TEST/WHATKATTOR STATION TO ACTIVATE A SUPERVISORY TROUBLE SHALL ONLY.
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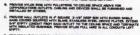
CDS

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DESIGN

CONSUME DISCUSENCES

Dackell, Northead "0613 Tel. Vol. 2021 (1997)



D. CIRCUT NUMBERS ARE FOR GUIDNEE OR T. BALAKE LOADS AS GLOBELY AS POSSBLE MENVIOR THREE (3) 344 INCH SPARE CORDUTS FROM EACH RECEISED PANES TO THE CENES SPACE.

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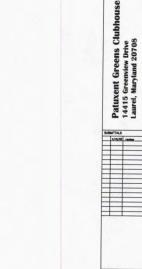
R. CONNECT BUT LIGHTS, BYERGENEY BATTERY LIGHTS AND NEGHT LIGHTS (NL) TO THE LIGHTTCHED PORTION OF THE LIGHTING CIRCLIT SERVING THE RESPECTIVE AREA.

A TELEPHONE SERVICE SHALL BE DITIONED TO THE BALDING BY THE TELEPHONE COPPANY, PROVIDE CORDUITS, BACEGOARD, BLEMES, AND OTHER BAUMHENT SHON ON THE DRAWNERS FOR USE OF THE TELEPHONE COPPANY.

K. YOR ALL RECEIVED LIGHTING FIXTURES, PROVIDE A PRIMEWIN OF TWO (2) SALVANEED STEEL HE GALGE HANGER WEED TO BUILDING STRUCTURE (AL YOUNT'S COMMEND.)

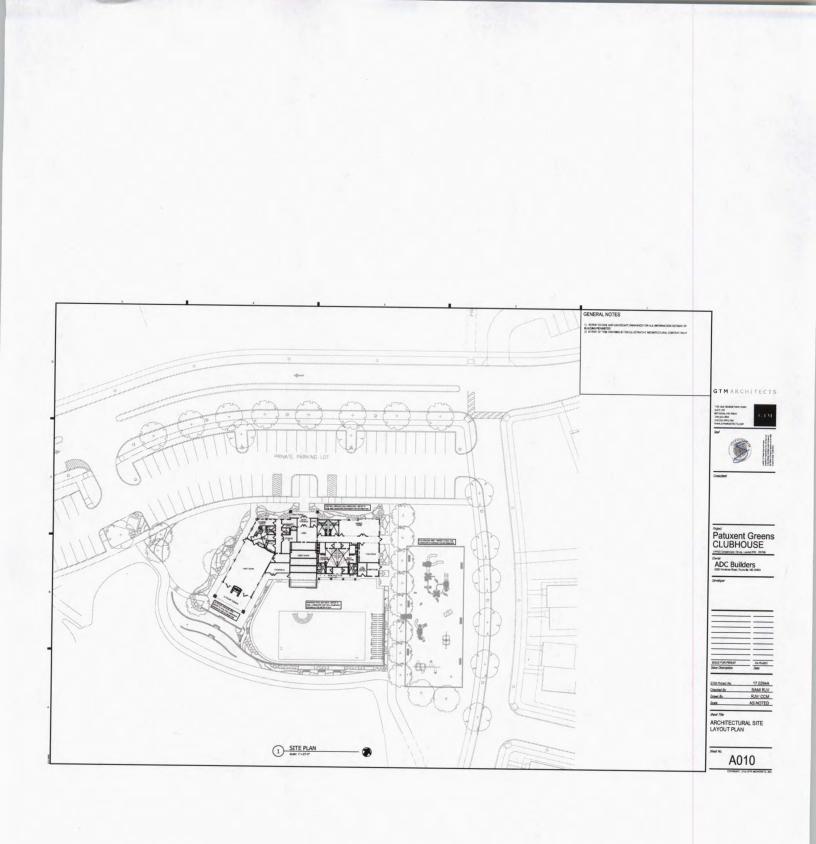
OVIDE TYPED DIRECTORY FOR EACH PANELBOARD PER NEC ARTICLE 400.4

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RESOLUTION NO. 24-02-PC GRANTING AMENDED SITE AND LANDSCAPE PLAN APPROVAL

WHEREAS, on December 28, 2023 the Applicant, Patuxent Greens LLC submitted a Amended Site and Landscape Plan Application seeking approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities at 6500 Clubhouse Drive, Laurel, Maryland; and

WHEREAS, certain real property located at 6500 Clubhouse Drive, which is in close proximity to Route 197; and

WHEREAS, the Property was part of the First 1981 Annexation for the City of Laurel; which included an approved plan to have along with the golf course, dwelling units, office, retail and a recreational facility and the 267 acres of land was placed into the Planned Unit Development (PUD) zone; and

WHEREAS, a letter advising of the application and requesting comments was sent to the Maryland-National Capital Park & Planning Commission, the Prince George's County Public Schools Department of Capital Programs, the Maryland State Highway Administration, the Washington Suburban Sanitary Commission, the Prince George's County Health Department, the Prince George's County Department of Permitting, Inspections, and Enforcement, Baltimore Gas and Electric Company, and Verizon, comments from the agencies will be incorporated into and with the technical staff report; and

WHEREAS, letters advising of the public hearing before the City of Laurel Planning Commission were sent to all contiguous property owners by mail; and

WHEREAS, signs were posted on the Subject Property, advising the public of the public hearings of the City of Laurel Planning Commission; and

WHEREAS, on February 20, 2024, the Planning Commission meeting in regular session heard the Amended Site and Landscape Plan application for the proposed development and approved the application; and

WHEREAS, in consideration of evidence presented at a public hearing on February 20, 2024, regarding an Amended Site and Landscape Plan application for the proposed clubhouse development, the Planning Commission finds:

FINDINGS FACT AND ANALYSIS

The Applicant is seeking Amended Site and Landscape Plan approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities. The Applicant is proposing to the reduce the clubhouse building size from 6,765 sq. ft. to 4,030 sq. ft. and expand the outdoor amenities. The Applicant is proposing that the design provides a more efficient design emphasizing the recreational components of the facility while maintaining the function as a gathering place for the community. Reductions in square footage mainly relate to reducing the size of the meeting room space to a more efficient size that will be cheaper to run and maintain for the community and which will still meet the needs of the neighborhood. The parking will not change with 135 parking spots available, 65 of which will be available for all clubhouse operating hours and 70 that will be available after 6 pm Monday thru Friday and all weekend days. The indoor and outdoor amenities in the newly designed clubhouse will include:

Indoor Amenities	Outdoor Amenities
Great Room	Pool
Fitness Room	Deck
Storage Areas	Multi-age Play Area
Men's Restroom	Quiet Pocket Sitting Area
Women's Room	Turf Area
Office	Outdoor Fireplace Area
Lobby	Picnic Zone Area
Pool Equipment	Outdoor Lounge Area
Lifeguard Station	Game Zone
Utility Rooms	
Conference Room	
Multi-Purpose Room	

NOW THEREFORE, BE IT RESOLVED, the City of Laurel Planning Commission adopted the findings contained herein and <u>Approved</u> the Amended Site and Landscape Plan application with the following conditions:

- 1) The Applicant shall obtain all required City of Laurel permits for the project.
- 2) The Applicant shall comply with all applicable local, state and federal laws and regulations in the development of the property.

AND BE IT FURTHER RESOLVED, that this Resolution shall take effect from the date of its passage.

PASSED this 20th day of February 2024.

ATTEST:

Brooke Quillen Secretary

Mitzi Betman Chairwoman City of Laurel Planning Commission

City of Laurel Planning Commission