

Mitzi R. Betman, Chairwoman
John R. Kish, Vice Chairman
Council President James Kole, Ex Officio Member
Bill Wellford
The Honorable G. Rick Wilson
Dennis Grant
Stanley Spalding, Alternate



Robert Love, Director
Department of Economic and Community Development

CITY OF LAUREL PLANNING COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • 301-725-5300 • Fax: 410-792-2108

Commission Usually Meets Second Tuesday of Each Month

SIX HUNDRED-SIXTH MEETING - REGULAR TUESDAY– FEBRUARY 20, 2024– 6:00 P.M. AGENDA

This meeting will be conducted virtually via Zoom

1. **Roll Call**
2. **Approval of Minutes from the January 9, 2024 meeting**
3. **Amended Site and Landscape Plan Application and Resolution No. 24-02-PC, 6500 Clubhouse Drive filed by CS Patuxent Greens, LLC.**

Public Hearing on Application

Final Action by Planning Commission

4. **Adjourn**

SIX HUNDRED-FIFTH MEETING – REGULAR
CITY OF LAUREL PLANNING COMMISSION
TUESDAY, JANUARY 9, 2024 – 6:00 P.M.

The meeting convened on a virtual platform via Zoom at 6:00 P.M., with Chairwoman Mitzi Betman presiding. The roll was called with the Vice chair Mr. John R. Kish, the Honorable Mr. Rick Wilson, Mr. William Wellford, Mr. Dennis Grant, Mr. Stanley Spalding, Alternate member and Council President James Kole. Also present from the Department of Economic & Community Development were Mr. Robert Love, Director, Ms. Brooke Quillen, Secretary to the Commission and Taylor Harvey, Planner I. There were approximately eight (8) members of the public in attendance.

Chairwoman Betman welcomed the new alternate member, Mr. Stanley Spalding to the Planning Commission who was in attendance for his first meeting.

The minutes from the December 12, 2023 meeting were approved as written, on motion by Mr. Wellford seconded by Mr. Wilson and carried on a roll call vote of all members present. Mr. Wilson thanked the Secretary for continuing to do an excellent job at the minutes.

The next agenda item was for Amended MXT Final Site Plan Application for 14930 Silver Trail Lane Laurel, Maryland 20707, filed by Westside Land Holdings LLC., 9102 Owens Drive Manassas Park, Virginia 20111. Mr. Love stated that the applicant (Westside Holdings LLC) is seeking an Amended Final M-X-T Site Plan approval to alter the previously approved commercial building on Lot 3 to construct drive-thru. The site is part of the larger development known as Westside. The current zoning of the property is Mixed Use Transportation Oriented (M-X-T), which was annexed into the City in July of 2012. The original building was approved on May 12, 2020 with Detailed M-X-T Site Plan Application No. 903 which included a 10,000 sq ft. retail building. The original building will increase to 10,231 sq. ft. with the addition of the drive-thru. The drive-thru lane will be 12' wide and will start at the right side of the building with the drive-thru window being located on the left side of the building.

Representing the applicant and the property owner, Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, spoke on the history of the project which started back in 2012 with an Annexation of the property followed with the Concept Site Plan, Preliminary and Final Site Plan approval in 2013. Then the Final Site & Landscape and Final Subdivision Plat was approved in 2015. Next was the Preliminary Subdivision Plan that was approved in 2019 followed by the Detailed Site Plans in 2020. Finally, the Special Exceptions for Starbucks and Wawa were approved in 2022. Initially the development was to have 200,000 sq. ft of commercial space. The multifamily was the first to be built and then began the townhomes. After countless efforts to win a grocery store, they realized it wasn't feasible therefore, revisions to the Concept Site Plan were filed and approved to

reduce the commercial component to 40,000 sq. ft and since the residential homes were on higher demand they increased. He noted there are two (2) access points into the development of residential and commercial sites. He reminded the Planning Commission that the purpose of an MXT zone is to mix both residential and commercial components together. Mr. Gibbs added the rest of the project team was also present, Mr. Blake Esherick, a Principal at Strittmatter/BCE Real Estate LLC, Mr. Kevin Calliouet, Project Manager with Atwell LLC, Mr. Michael Lenhart, Traffic Engineer with Lenhard Traffic and Mr. Mark Ferguson, Senior Land Planner with RDA/Site Design Inc. The very first detailed site plan that was approved was for Lot 3. There are 4 lots in total in the project. In 2022 the Starbucks site plan was approved with the drive through lane behind the building. The only thing that brings them here tonight is Chipotle, who now has a new pickup option. It's not technically a drive thru, it is essentially a pickup window however the drive thru lane is exactly the same as the Starbucks that was approved in 2022. Adding the drive-through with a pickup window increased the sq. ft. of the building, which also had to be shifted, and the parking spaces in front of the building were lost, therefore, the site plan must be revised. The required parking is still met. He believes the revisions are minimal. He explained this request meets all code requirements in the Unified Land Development Code for the City of Laurel.

Mr. Wilson commended Strittmatter and Mr. Gibbs as this project has been a 15-year process. It explains the undertaking of an MXT zone and constant changes in the marketplace.

Chairwoman Betman opened the public hearing at 6:29 p.m. for both applications since they are for the same project.

Mr. Derrick Grady, 14819 Willow Run Lane Laurel, Maryland 20707, on behalf of himself, his family and some members of the community, the primary concern is the space which there is not much of already. He claimed the commercial aspect of the development was not disclosed to him when he purchased his home and he only found out about this application when Mr. Edward Gibbs contacted him about the parking spaces being removed and the shifting traffic aspect. He has asked for some resolutions to the matter such as the options of adding speed bumps or blocking off access points, which would be more extreme. Mr. Grady requests some concern for the community as they value their safety. He noted that there is already too much litter and traffic in the area.

Ms. Ana Theisen, 14846 Willow Run Lane Laurel, Maryland 20707, stated she is concerned about parking and traffic as well. She does not like how the residential is connected to the commercial aspect of the development because it's a shared road. She added parking is already tight. She wants to protect the current parking and close the access point to the public so there is some separation between the retail and residential areas.

Chairwoman Betman closed the public hearing at 6:35 p.m.

After the public testimony, the Commission discussed with Mr. Gibbs and staff some possible resolutions to their concerns about traffic and safety issues. Staff stated if there are any minor changes to the plans such as adding speed bumps or adding a no turn sign, no official Commission Planning approval would be required, however, if there are any major changes such as closing off an access point would require the Planning Commission to re-review and approve site plans again. There is concern that patrons will not listen to the no turn sign as seen in the past at other locations, perhaps the curb could be extended to prevent them from an illegal turn.

Representing the applicant and the property owner, Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, noted an initial meeting regarding this request was set up through the community management, with the 81 townhomes and 56 townhouse lot communities as well as the multifamily residents, which was followed up with a couple extra meetings and initially there were no concerns regarding traffic. The 81 townhome residents did have concerns, however he reminded everyone that is the nature of a MXT zone, and everything is within City code. The overall development design was already approved in 2019. Mr. Gibbs added a no right turn out of Chipotle and addition of speed bumps on the shared road is their proposal. Lastly, he mentioned the townhouses have 185 extra parking spaces already, which is a huge overpark which was also reminded to everyone at the community meetings. They are proposing to add a no turn sign as you exit Chipotle, so patrons are not driving through the residential section. The drive-through at the Chipotle will reduce the amount of parking needs at the restaurant and he respects all the community concerns.

Mr. Derrick Grady, 14819 Willow Run Lane Laurel, Maryland 20707, stated he is comfortable with closing an access point and there is minimum parking during parties already even though they have access parking. There are no places to play for children and there is still an issue, he asked the Commission to try to be concerned about the traffic and trash they are already dealing with. He noted that the access parking is far away for some residents. If another retail business comes in, they could potentially take up those extra spaces. Mr. Grady stated there are a lot of considerations to put into place.

Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, explained that 185 surplus parking is almost never heard of. Actual studies have shown with drive through windows reduces parking needs because patrons are coming and going, not physically going inside the building. He added they want to address concerns with what they have offered.

The Commission and staff had a conversation that if it is found to be a major problem in the future, could this be revisited with other ideas. Again, minor adjustments wouldn't need approval, however channeling off parking space and access roads would need to come back for approval.

Mr. Grant commended the applicant for an honest open communication with the community and requests from residents. He explained these are the types of developments the City encourages as it increases the value of properties. He also thanked the residents for speaking up about their concerns. Mr. Wilson suggested adding something in the approval that will give the community some relief.

Council President Kole stated he appreciates the applicant's explanation on the history of the project and asked staff about the resident's streets, they are mostly city streets with some private roads. He clarified with staff they would not need City approval to add speed bumps. He suggested the access point be blocked off with flexible posts so that emergency vehicles could still pass through.

Mr. Edward Gibbs, Esquire, Gibbs and Haller, 1300 Caraway Court Suite 102 Largo Maryland 20772, stated he agrees with adding the speed bumps and extending the curb for a no turn; however, he would object to closing off the access point. He requested if there are problems in the future they can come back and re-review more options on plans.

The Commission, on motion by Mr. Wilson, seconded by Mr. Grant and carried on a roll call vote of all members present, voted to **approve** the Amended MXT Final Site Plan Application as presented in the Technical Staff Report and with the condition they revisit concerns or issues with the Community regarding any changes regarding the safety issues brought forth.

The next agenda item was Special Exception Application No. 955 for 14930 Silver Trail Lane Laurel, Maryland 20707, filed by Westside Land Holdings LLC., 9102 Owens Drive Manassas Park, Virginia 20111. Mr. Love stated the applicant is seeking Special Exception approval to construct and operate a drive-thru for the Chipotle Restaurant. The site is part of the larger development known as Westside. The current zoning of the property is Mixed Use Transportation Oriented (M-X-T), which was annexed into the City in July of 2012. The original building was approved on May 12, 2020 with Detailed M-X-T Site Plan Application No. 903 which included a 10,000 sq ft. retail building. The original building will increase to 10,231 sq. ft. with the addition of the drive-thru. The drive-thru lane will be 12' wide and will start at the right side of the building with the drive-thru window being located on the left side of the building.

The Commission, on motion by Mr. Wilson, seconded by Mr. Kish, and carried on a roll call vote of all members present, voted to **recommend approval** of Special Exception No. 955 for 14930 Silver Trail Lane Laurel, Maryland 20707, to the Board of Appeals, as presented in the Technical Staff Report.

The election of the Chair was the next item on the agenda. Mr. Wilson made a motion to re-elect Mitzi Betman to continue as Chairwoman to the Planning Commission. Mr. Kish seconded the motion and roll call continued with all members present voting "Yes."

The election of the Vice-chair was the next item on the agenda. Mr. Wilson made a motion to re-elect John R. Kish to continue as Vice-Chair to the Planning Commission. Mr. Wellford seconded the motion and roll call continued with all members present voting "Yes."

Mr. Love introduced to the Planning Commission that the Department of Economic and Community Development has a new Planner I, Ms. Taylor Harvey, who has been on the call tonight. The Commission welcomed her and stated they look forward to working with her in the future.

Chairwoman Betman wished everyone a Happy New Year.

There being no further business, the meeting was adjourned at 7:04 p.m.

Approved:

Date:



MAYOR AND CITY COUNCIL OF LAUREL

DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

8103 Sandy Spring Road • Laurel, Maryland 20707 (301) 725-5300 extension 2303

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January 29, 2024

AGENDA ITEM NO. 3

TECHNICAL STAFF REPORT

TO: City of Laurel Planning Commission

FROM: Robert Love, Director

CASE: **Amended Site and Landscape Plan**
6500 Clubhouse Drive
Laurel, MD 20708

GENERAL INFORMATION

APPLICANT: CS Patuxent Greens, LLC
Attn: Alan Cohen
121 Congressional Lane
Rockville, MD 20852

OWNER: CS Patuxent Greens, LLC
Attn: Alan Cohen
121 Congressional Lane
Rockville, MD 20852

LOCATION: 14415 Greenview Drive
Laurel, MD 20708

ZONE: PUD-E (Planned Unit Development Existing)

REQUESTED ACTION: The Applicant is seeking Amended Site and Landscape Plan approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities.

PREVIOUS ACTION:

- First Annexation 1981
- PUD Amendment September 12, 1983 (Resolution No. 16-83)
- PUD Amendment September 10, 1984 (Resolution No. 12-84)
- Map Amendment (No. 330) October 22, 1984 (Resolution No. 14-84)
- Map Amendment (No. 502) June 4, 1990 (Ordinance No. 934)
- Departure of Approved PUD Plan, December 11, 2017 (17-17-PC)
- Map Amendment No. 880 (17-16-PC), Ordinance No. 1924, January 22, 2018
- Preliminary Subdivision Plan (18-05-PC), October 23, 2018

- Forest Conservation Approval (18-04-PC), October 23, 2018
- Final Site & Landscape Plan Approval (18-06-PC), October 23, 2018
- Final Record Plat Approval (18-11-PC), December 11, 2018
- Departure of Approved Final Plan (21-10-PC), July 13, 2021
- Map Amendment No. 925 (Ordinance No 1996), April 25, 2022
- Amended Site and Landscape Plan Approval (22-11-PC), July 12, 2022

BACKGROUND INFORMATION:

The Applicant is seeking Amended Site and Landscape Plan approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities. The property was part of the First 1981 Annexation for the City of Laurel that was enacted on February 2, 1982. Approximately 267 acres of land was annexed and placed into the PUD zone. The golf course known as Laurel Pines Country Club at the time is 191.71 acres and is located at 14415 Greenview Drive in Laurel, Maryland, on the eastern corner of Greenview Drive and Clubhouse Boulevard. The property is approximately one-tenth of a mile southeast from the intersection of Laurel Bowie Road (Maryland Route 197) and Clubhouse Boulevard.

At the time of annexation an approved preliminary plan to have dwelling units, office, retail and a recreational facility was approved. The approved plan was later amended twice to change the development mix; and once to change the name of the development. The community's name was amended to Greens of Patuxent in 1984. The amended final site and landscape plan approval for 450 dwelling units was approved in 2022 which is currently under construction.

The surrounding area within one-half mile of the property is comprised of mostly single-family detached and multifamily residential dwelling units with some office, religious, educational, and community uses. The Patuxent River is to the east of the property. Along the western boundary, the property abuts approximately two (2) acres of the City recreational facility that includes, Greenview Drive Pool Complex, Cabana and park. Single-family detached and multifamily residential developments abut forest/parkland along the northern, eastern, and southern boundaries. Across from the Greenview Drive entrance is an office complex known as Lakeview at the Greens. The five (5) story, two-building site, consists of 150,000 SF of Class A office space with on-site surface parking. The two buildings were constructed in the late 1980's. The two residential communities abutting the proposed project are:

- Patuxent Glen – 132 dwelling units built in the mid-late 1980's
- Greens of Patuxent- 156 condominiums, distributed as three-story four-plex units built in the mid to late 1980's

DEPARTMENT/AGENCY RESPONSES:

The following Departments and Agencies were notified of the application and comments were requested. Any responses received are written in the chart below:

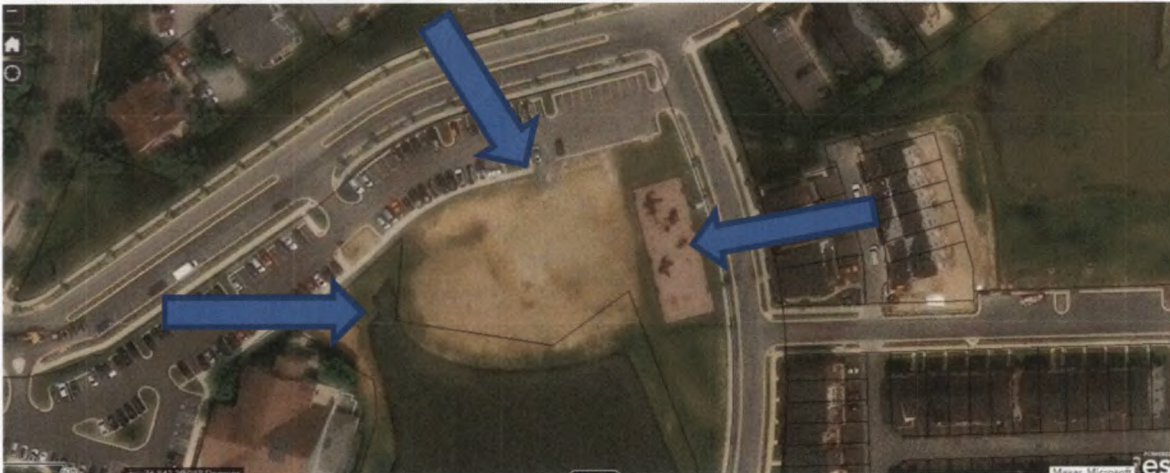
Department or Agency	Comments Received
City of Laurel Department of Public Works	<i>No issues with the project. (2/9/2024)</i>
City of Laurel Police Chief	<i>No issues with the project. (2/9/2024)</i>
City of Laurel Department of Parks and Recreation.	<i>No issues with the project. (2/12/2024)</i>
City of Laurel Department of the Fire Marshal and Permit Services	<i>No issues with the project. (2/12/2024)</i>
Washington Suburban Sanitary Commission (WSSC)	<i>No issues with the project. (1/22/2024)</i>
Prince George's County Health Department	<i>No comments received.</i>
Maryland State Highway Administration (SHA)	<i>No issues with the project. (2/7/2024)</i>
Maryland-National Capital Park and Planning Commission (M-NCPPC)	<i>No comments received.</i>
Prince George's County Department of Permitting, Inspections & Enforcement	<i>No comments received.</i>
Prince George's County Public Schools Department of Capital Programs	<i>No comments received.</i>
Baltimore Gas and Electric (BGE)	<i>No comments received.</i>
Verizon	<i>No comments received.</i>

ANALYSIS:

The Applicant is proposing to reduce the clubhouse building size from 6,765 sq. ft. to 4,030 sq. ft. and expand the outdoor amenities. The Applicant is proposing that the design provides a more efficient design emphasizing the recreational components of the facility while maintaining the function as a gathering place for the community. Reductions in square footage mainly relate to reducing the size of the meeting room space to a more efficient size that will be cheaper to run and maintain for the community and which will still meet the needs of the neighborhood. The parking will not change with 135 parking spots available, 65 of which will be available for all clubhouse operating hours and 70 that will be available after 6 pm Monday through Friday and all weekend days. The indoor and outdoor amenities in the newly designed clubhouse will include:

Indoor Amenities	Outdoor Amenities
Great Room	Pool
Fitness Room	Deck
Storage Areas	Multi-age Play Area
Men's Restroom	Quiet Pocket Sitting Area
Women's Room	Turf Area
Office	Outdoor Fireplace Area
Lobby	Picnic Zone Area
Pool Equipment	Outdoor Lounge Area
Lifeguard Station	Game Zone
Utility Rooms	
Conference Room	
Multi-Purpose Room	

Below is an overhead of the site area for the proposed change



RECOMMENDATION:


Staff recommends that the City of Laurel Planning Commission **APPROVE** Amended Site and Landscape Plan for the Patuxent Greens Clubhouse project with the following conditions:

- 1) The Applicant shall obtain all required City of Laurel permits for the project.
- 2) The Applicant shall comply with all applicable local, state and federal laws and regulations in the development of the property.

ATTACHMENTS:

1. Statement of Justification
2. Amended Site Plan
3. Original Site Plan
4. Clubhouse Specifications

REVIEWED BY:

A handwritten signature in black ink, appearing to read 'R Love', is written over a horizontal line.

Robert Love, Director

Amended

IN RE:

PATUXENT GREENS
REVISED FINAL SITE AND LANDSCAPE
PLAN - CLUBHOUSE REVISION

APPLICANT:

CS PATUXENT GREENS, LLC

AGENT/ CORRESPONDENT:

William Shipp, Esquire
O'Malley, Miles, Nylen & Gilmore, P.A.
7850 Walker Drive, Suite 310
Greenbelt, MD 20770

STATEMENT OF JUSTIFICATION

I. INTRODUCTION

The Applicant hereby requests approval of an Amended Final Site and Landscape Plan to provide for an updated design for the community clubhouse facility to be located at the Patuxent Greens community. The property is within the PUD-E Zone and is part of the Patuxent Greens development. The Clubhouse site is located at 6500 Clubhouse Dr., in Laurel, Maryland ("Subject Property" or "Property").

The entire Patuxent Greens Community consists of approximately 191 acres and is part of a larger assemblage of approximately 267 acre planned united development. In January 2018, the Mayor and City Council of Laurel through Ordinance No. 1924 approved Map Amendment No. 880 ("Map Amendment 880") for the construction of up to 450 dwelling units. When preliminary plans of subdivision and final site and landscape plans applications were submitted to the Planning Commission later that year, the total number of dwelling units proposed for development was a total of 389 units—consisting of 167 single-family detached and 222 single-family attached dwelling units. The Planning Commission approved Resolution No. 18-05-PC for the Preliminary Plan of Subdivision ("Original PPS") and Resolution No. 18-06-PC for the Final Site and Landscape Plan ("Original Site Plan") on October 28, 2018.

In response to builder assessment of market demand, the Applicant requested and received approval of Amendment No. 925 (mentioned above) to increase the number of dwelling units approved for construction from 389 to 450 as initially approved through Map Amendment 880.

II. PROJECT NARRATIVE.

The following description of the proposed Clubhouse and facilities was given to the Patuxent Greens community:

Patuxent Greens Clubhouse: Community Core

Welcome to your new *Community Core* at the Patuxent Greens Clubhouse! Here you will find a communal gathering place for sustainability of mind, physical wellness, and social engagement.

Outdoor Living

As you arrive at the Patuxent Green Community Core, you will first experience the outdoor living amenity spaces surrounding the Patuxent Greens Clubhouse. A large central open lawn, which can be used for countless activities, is ringed by a variety of active and passive recreation features. Closest to the front of the clubhouse, you will find a collection of picnic tables and grill stations for quiet family get togethers or hosting larger events. Nearby, a quiet pocket has been created amongst plants and flowers to sit around an outdoor fireplace any time of the day. With a shared edge along the pool patio, a lawn area is arranged with built-in cornhole boards for a relaxing game with friends and family. Another seating area and fireplace attraction is located closer to the lake, nestled under shading trees, and an area of colorful chaise lounge chairs completes the circle of inviting outdoor rooms. You will also have direct access to and from this gracious outdoor living space by way of the network of trails throughout the growing community of Patuxent Greens.

Community Clubhouse

The community center's clubhouse will be a thriving hub of Patuxent Greens for residents of all ages to enjoy. The clubhouse building is a welcoming venue for HOA meetings, scouts, bridge, and a multitude of other gathering opportunities. After being greeted at the clubhouse entrance, make your way through the many spaces provided for active and passive recreation, exercise, and enrichment. Meeting and multipurpose rooms can host a wide range of scheduled gatherings and functions. The central Great Room provides a large open space for meetings, banquets, social functions, group exercises, and quiet reflection, all while overlooking the pool patio and beautiful views beyond. A small kitchen area nearby provides hospitality support for your special events and daily needs. The clubhouse will also be a hub of physical health pursuits featuring a fitness facility, health clinics, open space for independent and group yoga, healthy living classes, and the outdoor amenities of a pool and trails. Restroom facilities are provided to accommodate pool activities, with showers and locker facilities to meet your personal needs.

Pool Patio

As a main feature of the outdoor experience, the community pool is a great attraction for family swim time, casual lap swimmers, aqua aerobics, and pool parties. Surrounded by colorful umbrellas and an arbor for shade, the pool deck also features chairs for sitting and lounging. Within the pool, a built-in shelf allows you to recline on a lounge chair just above the water on a sun shelf. From the pool patio, experience peaceful views across the pond and towards the lushly planted outdoor living room lawn.

All-Ages Playground

The outdoor amenities surrounding the clubhouse include an extensive playground for children of all ages in the community, providing a safe and secure play area for them to enjoy the important

business of play. Seating and shade for caregivers has been carefully planned, to provide rest for all between periods of active pursuits.

Programming

This high-quality community center will feel and function as an extension of your home. In addition to all of the clubhouse building and outdoor living amenities, programming of events for these spaces will expand and evolve over time as the community grows. Seasonal scheduled events can be hosted in and around the Community Core, creating shared experiences for all of the people living here, and establishing the unique character of a new community.

Patuxent Greens Community Core - Welcome here, welcome home!

III. JUSTIFICATION AND SUPPORT FOR AMENDED FINAL SITE AND LANDSCAPE PLANS

1. Revision to Clubhouse Provides More Efficient and Functional Community Space. Communities

The revised Clubhouse design represents a refinement of the concept originally proposed with the development plans. This design provides a more efficient design emphasizing the recreational components of the facility while maintaining the function as a gathering place for the community. Reductions in square footage mainly relate to reducing the size of the meeting room space to a more efficient size that will be cheaper to run and maintain for the community and which will still meet the needs of the neighborhood. The Clubhouse remains a high quality recreational focal point for the community.

2. Updated Design

Elevations and renderings for the Clubhouse and facilities are provided with the application.

3. Schedule for Construction.

Construction is slated to begin in the first quarter of 2024, provided permits are issued, with a desired completion date by the end of 2024.

4. Community Outreach.

The management company for the community is in regular communication with the residents of Patuxent Greens. This past summer of 2023, a community meeting was held to expressly brief the residents on the proposed Clubhouse. Attached is a copy of the minutes of that meeting. Additional updates will be held as the plan review progresses.

SUPPLEMENTAL STATEMENT OF JUSTIFICATION PATUXENT GREENS CLUBHOUSE

The purpose of this Supplemental Statement of Justification is to provide additional information about the revised floor plan and operational function of the clubhouse and facilities as well as a comparison of the plan originally included in the Site and Landscape Plan for Patuxent Greens.

Patuxent Greens was originally approved in 2018 and at that time a concept for the Clubhouse and community recreation facility was included in the proposal. In broad terms, the proposal included a community Clubhouse facility with various spaces dedicated to support uses by the community, locker rooms, guard facilities, a swimming pool and deck, and a playground. That concept has not changed. As the project has moved to the permit phase, several revisions have been made to refine the plan. These changes have been discussed with the community and we continue to keep them apprised of progress through the HOA management team. While the interior space has decreased slightly, the functionality and quality has not diminished. In fact, the Clubhouse has been made more operationally efficient for the long-term management by the HOA and the outdoor activity space has increased. One lesson learned from the pandemic is that there is less need for large community meeting spaces as meetings are now held largely virtually. This allows for greater participation and dictates less need for large meeting areas. This is the primary factor resulting in a reduced footprint of the Clubhouse. Additionally, dedicated spaces such as yoga room are replaced with a multipurpose large room that can accommodate a variety of classes and meetings. A comparison of the floor plan of the Clubhouse is attached.

It should be noted that although the footprint of the Clubhouse has been revised, the square footage of usable outdoor recreation space has been increased. The pool deck area remains as approved at 6,000 square feet. Additionally, the pool has remained the same at 3,000 square feet and the same playground area and equipment as originally approved has been installed. The major addition to outdoor recreation area is the open space green area which features a quiet pocket sitting area; a game zone; an outdoor fireplace area; an outdoor lounge area; and a picnic zone area.

We believe the revised plan maintains the quality and recreational features originally proposed, enhance the outdoor usable space and provides a more efficient and cost-effective facility for the community. We are eager to proceed to permit and construction with this important component of the Patuxent Greens community.

Patuxent Greens Community Clubhouse Area Comparison

EXISTING CLUBHOUSE DESIGN AREAS

Party Room	1330 s.f.
Kitchen	223 s.f.
Great Room	821 s.f.
Men's Restroom	447 s.f.
Women's Restroom	465 s.f.
Storage Areas	416 s.f.
Fitness Room	542 s.f.
Yoga Room	338 s.f.
Office	121 s.f.
Lobby	245 s.f.
Pool Equipment	130 s.f.
Life Guard Station	98 s.f.
Utility Rooms	107 s.f.

NEW CLUBHOUSE DESIGN AREAS

Party Room	0 s.f.
Kitchen	0 s.f.
Great Room	812 s.f.
Men's Restroom	435 s.f.
Women's Room	435 s.f.
Storage Areas	166 s.f.
Fitness Room	530 s.f.
Yoga Room	0 s.f.
Office	131 s.f.
Lobby	132 s.f.
Pool Equipment	132 s.f.
Life Guard Station	85 s.f.
Utility Rooms	159 s.f.
Conference Room	150 s.f.
Multi-Purpose Room	190 s.f.

Original Approved Interior Design Area = 6,765 s.f.

Revised Interior Design Area = 4,030 s.f.

Outdoor Recreational Facilities Area

Pool 3000 s.f.(unchanged)
Deck 6000 s.f.(unchanged)
Multiage Play area (installed as approved)

Additional Outdoor Recreational Features:

- Quiet Pocket Sitting area
- Turf area
- Outdoor Fireplace area
- Outdoor Lounge area
- Picnic Zone area
- Game Zone

IV. CONCLUSION

For all of the above reasons, the Applicant respectfully requests approval of the Amended Final Site and Landscape Plans for the revised Clubhouse and related facilities at Patuxent Greens.

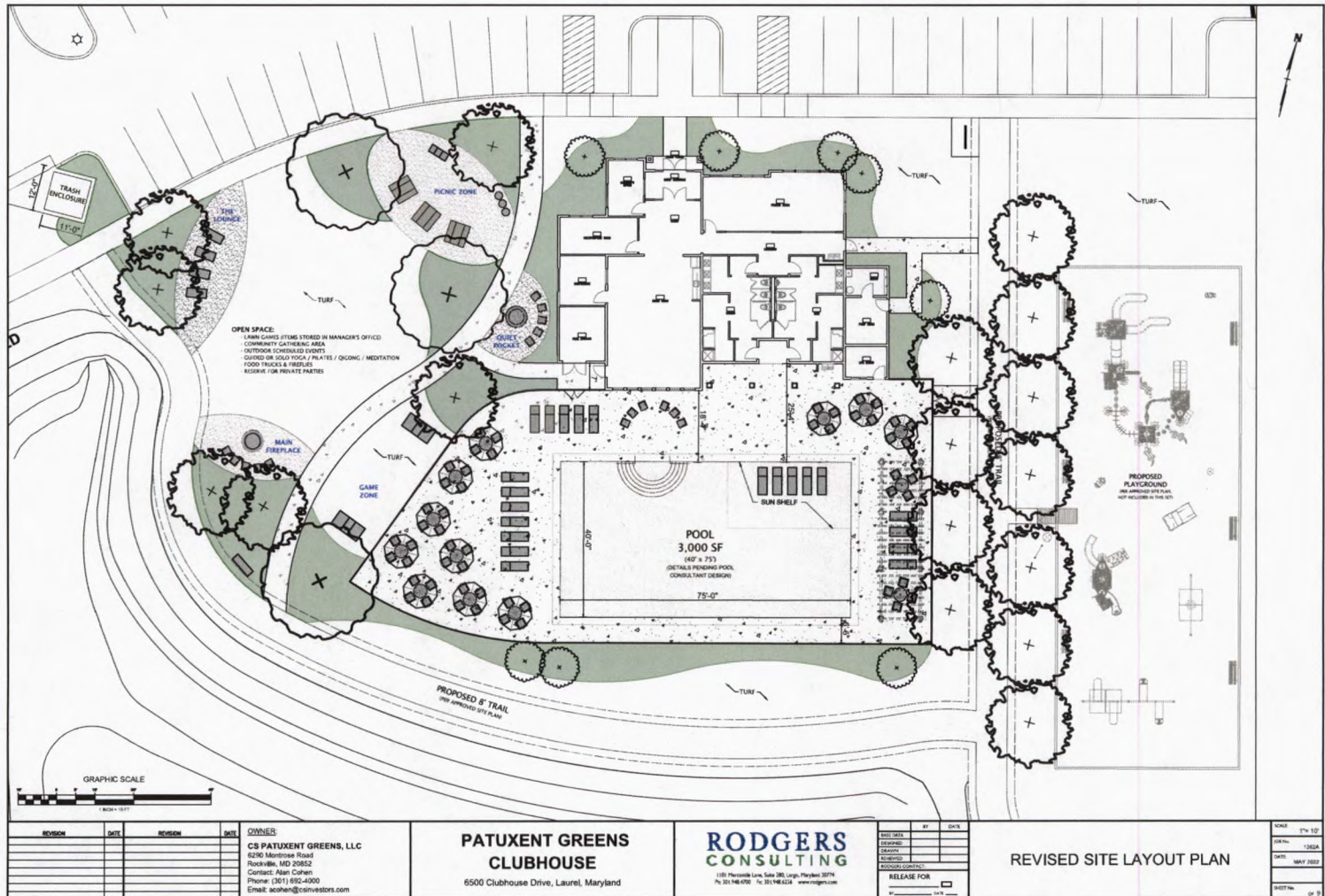
Respectfully submitted,

O'MALLEY, MILES, NYLEN & GILMORE, P.A.

By:



William M. Shipp, Esquire
7850 Walker Drive, Suite 310
Greenbelt, MD 20770
Attorney for Applicant





Landscape Forms - Chill Chaise Lounge



Decomposed Granite Surface



Fire Pit and Adirondack Chairs



Landscape Forms - Lounge Chairs



Multi-Station Grill

Receptacles - Trash, Recycling, & Ash



Landscape Forms - Harvest Picnic Table



Catenary Style Patio Lights



Outdoor Concrete Games - Cornhole System

REVISION	DATE	REVISION	DATE	OWNER
				CS PATUXENT GREENS, LLC
				6290 Montrose Road
				Rockville, MD 20852
				Contact: Alan Cohen
				Phone: (301) 592-4000
				Email: acohen@csinvestors.com

**PATUXENT GREENS
CLUBHOUSE**
6500 Clubhouse Drive, Laurel, Maryland

**RODGERS
CONSULTING**
1101 Pennsylvania Lane, Suite 200, Largo, Maryland 20774
Tel: 301-748-0780 Tel: 301-748-0228 www.rodgers.com

NO.	DATE	BY	DATE
1			
2			
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SITE FURNISHINGS

NO.	DATE
1	12/08/14
2	12/08/14
3	12/08/14
4	12/08/14
5	12/08/14
6	12/08/14
7	12/08/14
8	12/08/14
9	12/08/14
10	12/08/14

14415 Greenview Drive

Laurel, Maryland 20708

TII COVER SHEET

TU	COVER SHEET	M-1	NEW HVAC FLOOR PLAN
A1	FLOOR PLAN	M-2	NEW PLUMBING FLOOR PLAN
A2	CILING PLAN	M-3	MECHANICAL SCHEDULES
A3	FURNITURE PLAN	M-4	MECHANICAL DETAILS
A4	ROOF PLAN	M-5	MECHANICAL SPECIFICATIONS
A5	RESTROOM		
A2.1	EXTERIOR ELEVATIONS	E-1	ELECTRICAL
A3.1	INTERIOR ELEVATIONS	E-2	FLOOR PLAN - LIGHTING
A3.2	EXTERIOR ELEVATIONS	E-3	FLOOR PLAN - POWER
A3.3	BUILDING SECTIONS	E-4	RISER DIAGRAM AND PANEL SCHEDULES
A3.4	BUILDING SECTIONS	E-5	ELECTRICAL SPECIFICATIONS
A3.5	BUILDING SECTIONS		
A3.6	BUILDING SECTIONS		
A4.1	SECTION DETAILS		
A5.1	INTERIOR ELEVATIONS		
S1	FOUNDATION PLAN		
S2	BRACING PLAN		
S3	ROOF TRAVELING PLAN		
S4	SECTIONS		
S5	TYPICAL DETAILS		
S6	GENERAL NOTES		

[illegible]

IT IS THE INTENT OF THE DRAWINGS AND THE SPECIFICATIONS ON THE DRAWINGS TO BE COMPLETE. IT IS THE RESPONSIBILITY OF THE BIDDING CONTRACTOR TO NOTIFY THE OWNER OF ANY INCONSISTENCIES, OMISSIONS OR ERRORS PRIOR TO THE BID SUBMITTAL.

SCOPE OF WORK: CONSTRUCT NEW COMMUNITY BUILDING WITH POOL.

A. ALL EGRESS DOORS SHALL BE REMOTELY OPERABLE FROM THE SIDE FROM WHICH EGRESS IS TO BE MADE WITHOUT THE USE OF A KEY OR SPECIAL KNOWLEDGE OR EFFORT.

2018 IRC SECTION 402 AND 2018 MPFA XI CHAPTER 10
CEILING FINISHES SHALL BE CLASS A IN ACCORDANCE WITH TABLE B05
OF THE 2018 IRC SECTION 402 AND 2018 MPFA XI SECTION 10.2
WALL FINISHES SHALL BE CLASS A IN ACCORDANCE WITH TABLE B05B
OF THE 2018 IRC SECTION 402 AND 2018 MPFA XI SECTION 10.2
FLOOR FINISHES SHALL BE CLASS 1 IN ACCORDANCE WITH SECTION B04
OF THE 2018 IRC AND 2018 MPFA XI SECTION 10.2.1

0096-1 (2000 edition)
 0096-2 (2000 edition)
 3200 International Brown Construction Code
 3200 International Building Code
 3200 International Mechanical Code
 3200 International Plumbing Code
 3200 International Fuel and gas code
 3200 International Energy Conservation Code
 3200 International Electrical Building Code
 3200 State of Maryland Fire Prevention Code
 3200 ASHRAE Handbook for Sustainable Design

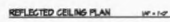
CDS
ARCHITECTURAL
DESIGN
design • planning • consulting
CONSULTING DESIGN SERVICES, INC.
10700 WALKER DRIVE
Kirkland, Washington 98033
Tel: 206.424.5400

Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708

[illegible]

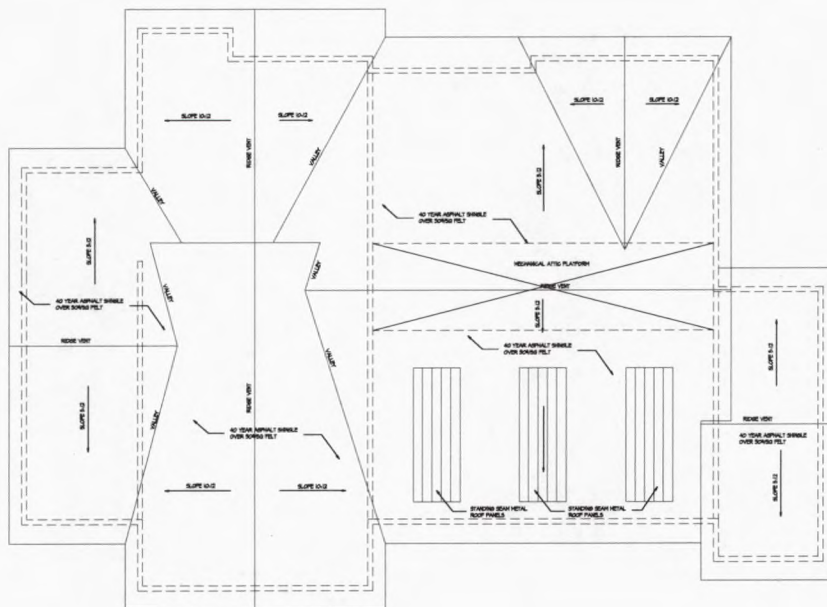
T1.1

¹I recall that these documents were prepared or approved by us and that I am a duly licensed architect under the laws of the State of Maryland, license number 647, expiration date 10/31/97.



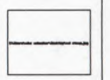
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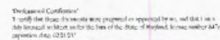


ROOF PLAN 1/8" = 1'-0"

NO.	REVISION	DATE
1	ISSUED FOR PERMIT	07/15/08
2	ISSUED FOR CONSTRUCTION	07/15/08
3	ISSUED FOR CONSTRUCTION	07/15/08
4	ISSUED FOR CONSTRUCTION	07/15/08
5	ISSUED FOR CONSTRUCTION	07/15/08
6	ISSUED FOR CONSTRUCTION	07/15/08
7	ISSUED FOR CONSTRUCTION	07/15/08
8	ISSUED FOR CONSTRUCTION	07/15/08
9	ISSUED FOR CONSTRUCTION	07/15/08
10	ISSUED FOR CONSTRUCTION	07/15/08



DESIGNER	CD&S
DATE	07/15/08
PROJECT	ROOF PLAN



Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708

[illegible]

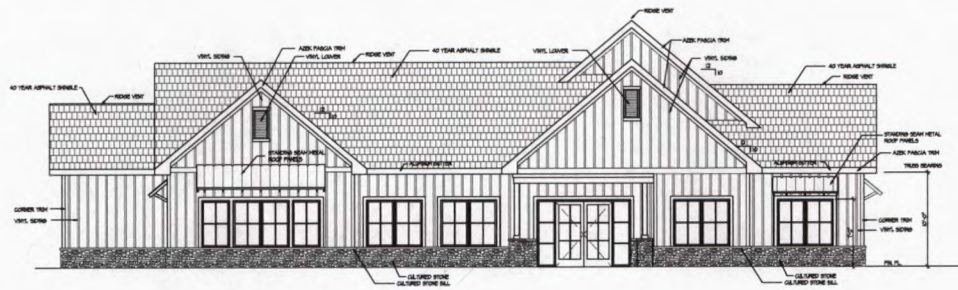
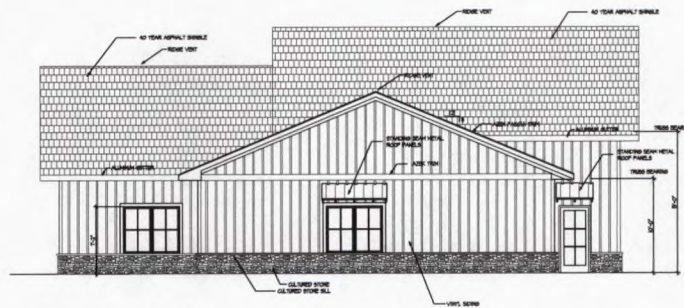
JOB No. 02159

FBI

DATE 01.19.2022

POSTERIOR ELEVATIONS

A2.1

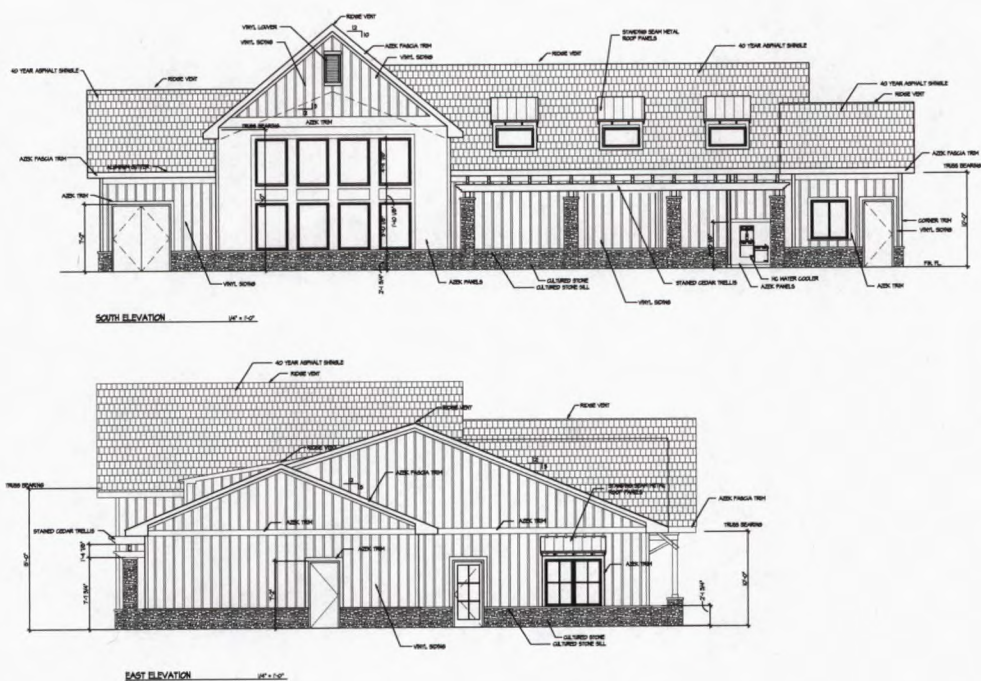
NORTH ELEVATION 1/4" = 1'-0"

NEST ELEVATION _____ HP = 1-49

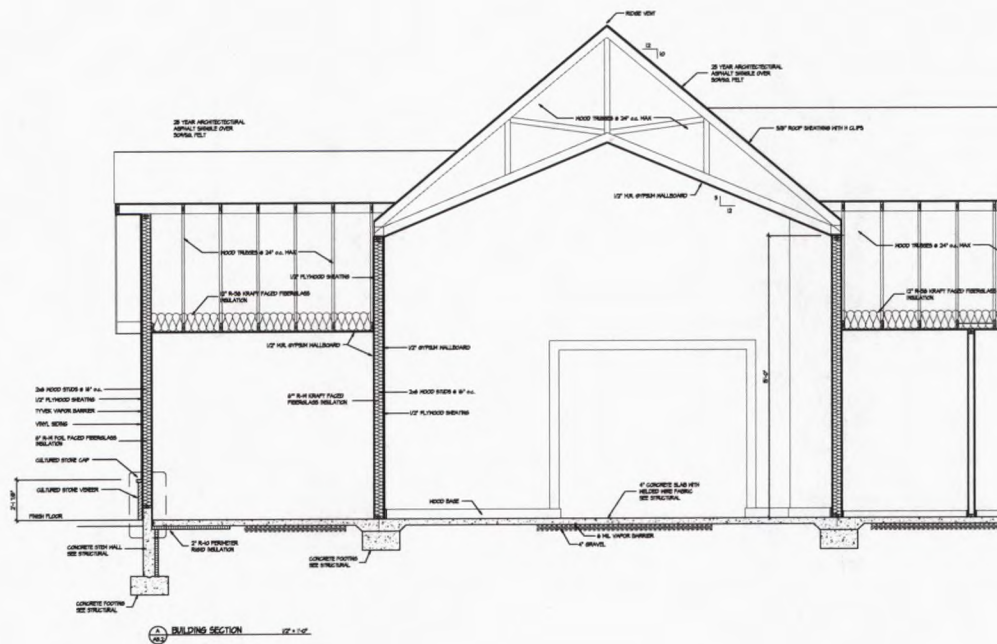
"Dedicated Confession"
 "I certify that those statements were prepared or approved by me, and that I am a duly licensed lobbyist on file for the State of Maryland license number 8476, registration date 02/21/07."

[illegible]

A2.2

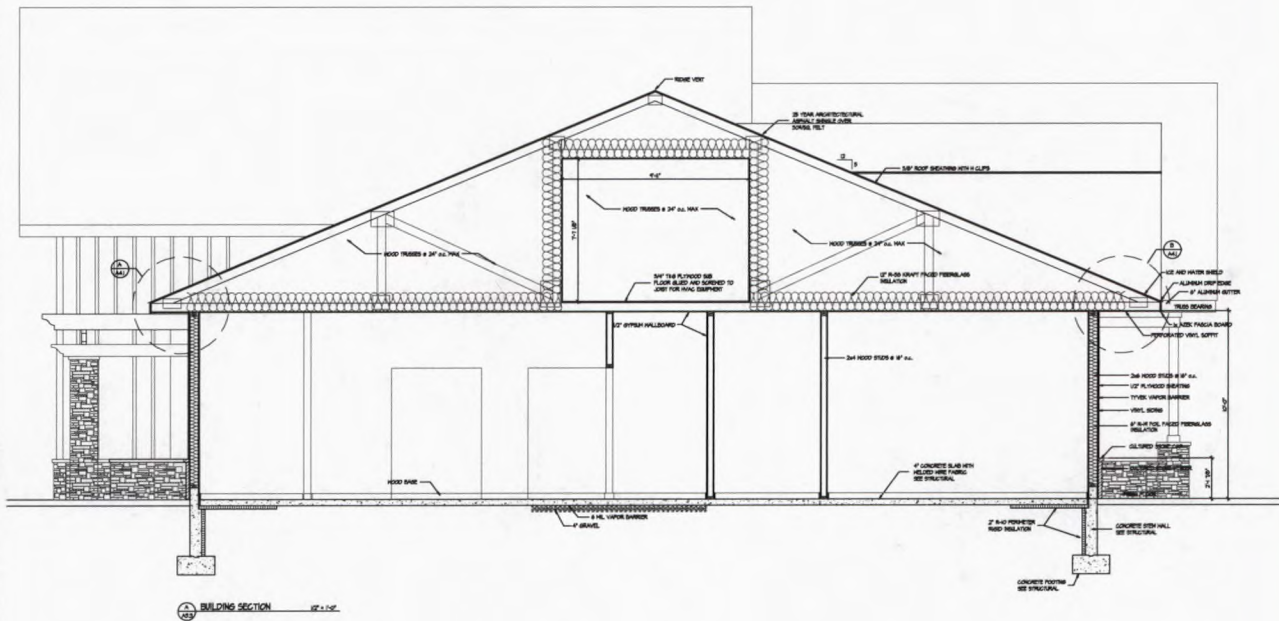


Declarational Certificates*
I testify that these documents were prepared or approved by us, and that I so do
fully command, without fail, for the king of the State of Maryland, license number M1
expirations date: 03/31/2007



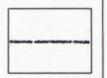
'Deceased Certificate'
 I certify that these documents were prepared or approved by me, and that I am a duly licensed architect under the laws of the State of Maryland, license number 8472, expires 4-30-2013.

Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708



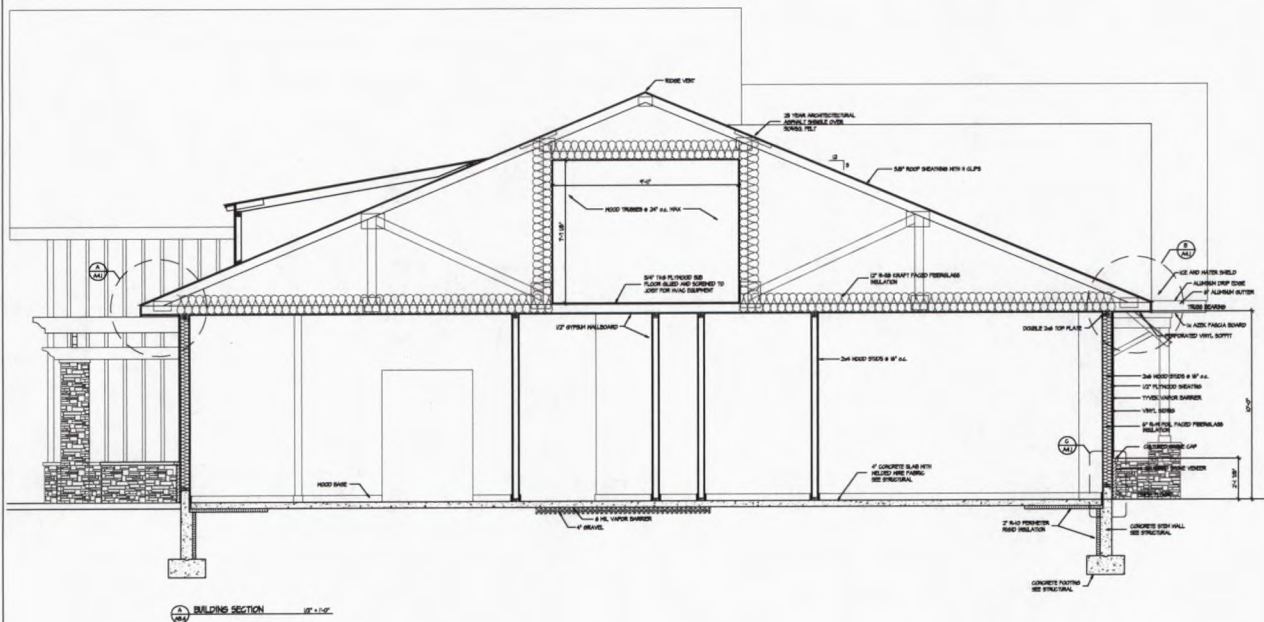
BUILDING SECTION 1/2\"/>

REVISION	DATE	REVISION COMMENTS
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2	01/10/00	REVISED
3	01/10/00	REVISED
4	01/10/00	REVISED
5	01/10/00	REVISED
6	01/10/00	REVISED
7	01/10/00	REVISED
8	01/10/00	REVISED
9	01/10/00	REVISED
10	01/10/00	REVISED



JOB No. 001-01
REV
DATE 01/10/00

EXTERIOR ELEVATIONS

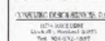


"Delessential Confession"
 "I testify that those provisions were proposed or approved by us, and that I am a duly licensed architect under the laws of the State of Maryland, license number 447, expires date 02/28/2017."

Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708

[illegible]

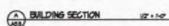
JOB No. 02151
FILE
DATE 01/18/2002
EXTerior ELEVATIONS
A3.4



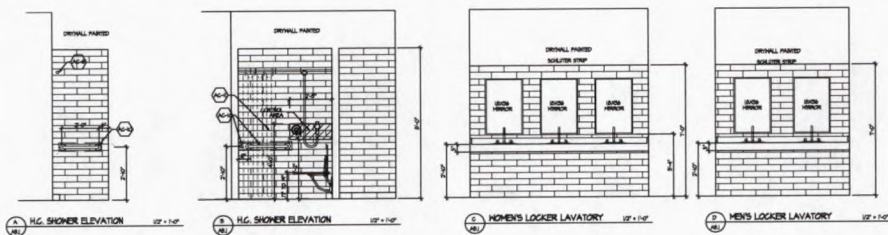
SUGGESTIONS	
DT 28.02	REVIEW COMMENTS
2023-03-01	2023-03-01

DATE 01.18.2024

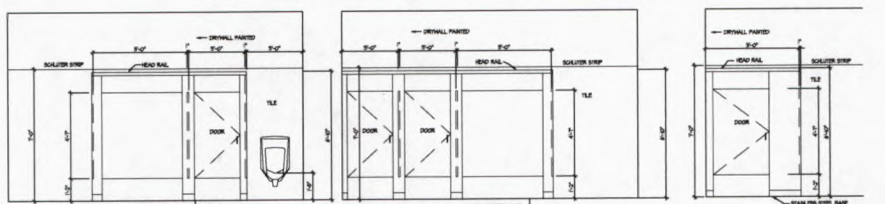
A3.5



Verbalized Confidences
I testify that those incriminatory items prepared or approved by us, and that I on a duly licensed physician for the State of Maryland, license number 3476, previously file G22128.



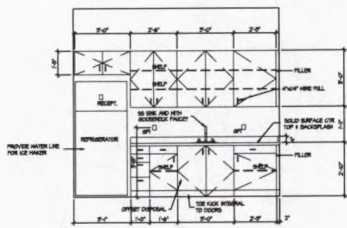
1 H.C. SHOWER ELEVATION 12' x 10'
2 H.C. SHOWER ELEVATION 12' x 10'
3 H.C. SHOWER ELEVATION 12' x 10'
4 H.C. SHOWER ELEVATION 12' x 10'



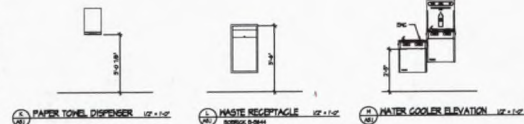
5 H.C. PARTITION ELEVATION 12' x 10'
6 H.C. WATER CLOSET ELEVATION 12' x 10'

TOILET ACCESSORIES

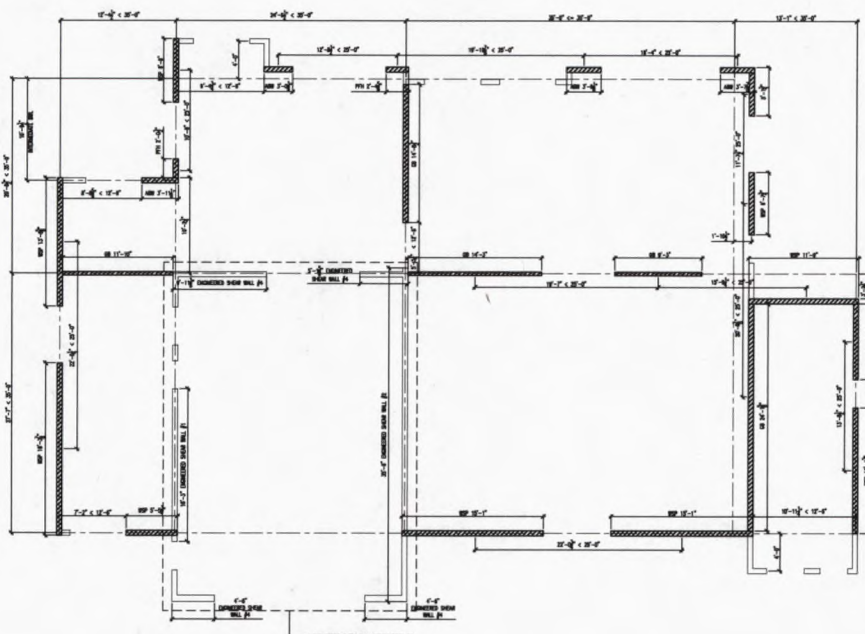
- 1. SINK - 18" JAWB SINK - 8-8/16 SINK
- 2. SINK - 18" JAWB SINK - 8-8/16 SINK
- 3. SINK - 18" JAWB SINK - 8-8/16 SINK
- 4. SINK - 18" JAWB SINK - 8-8/16 SINK
- 5. SINK - 18" JAWB SINK - 8-8/16 SINK
- 6. SINK - 18" JAWB SINK - 8-8/16 SINK
- 7. SINK - 18" JAWB SINK - 8-8/16 SINK
- 8. SINK - 18" JAWB SINK - 8-8/16 SINK
- 9. SINK - 18" JAWB SINK - 8-8/16 SINK
- 10. SINK - 18" JAWB SINK - 8-8/16 SINK
- 11. SINK - 18" JAWB SINK - 8-8/16 SINK
- 12. SINK - 18" JAWB SINK - 8-8/16 SINK
- 13. SINK - 18" JAWB SINK - 8-8/16 SINK
- 14. SINK - 18" JAWB SINK - 8-8/16 SINK
- 15. SINK - 18" JAWB SINK - 8-8/16 SINK
- 16. SINK - 18" JAWB SINK - 8-8/16 SINK
- 17. SINK - 18" JAWB SINK - 8-8/16 SINK
- 18. SINK - 18" JAWB SINK - 8-8/16 SINK
- 19. SINK - 18" JAWB SINK - 8-8/16 SINK
- 20. SINK - 18" JAWB SINK - 8-8/16 SINK



1 GREAT ROOM MILLWORK 12' x 10'



2 PAPER TOWEL DISPENSER 12' x 10'
3 WASTE RECEPTACLE 12' x 10'
4 WATER COOLER ELEVATION 12' x 10'



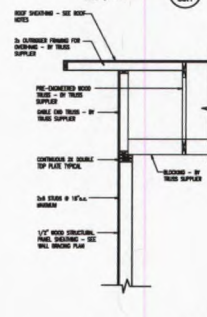
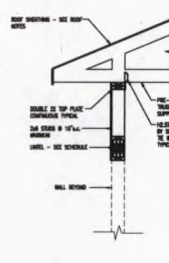
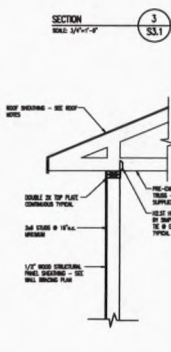
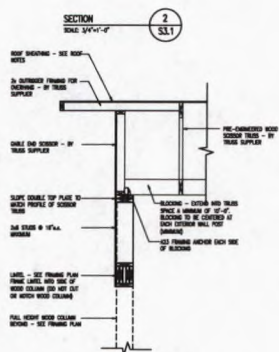
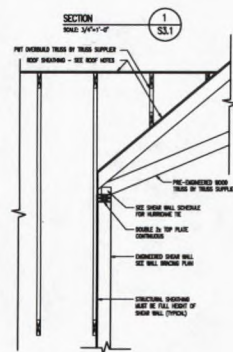
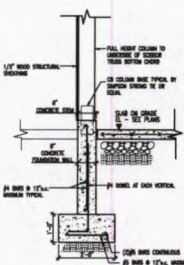
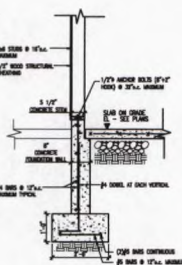
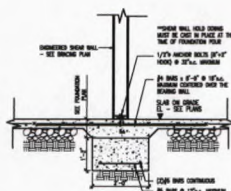
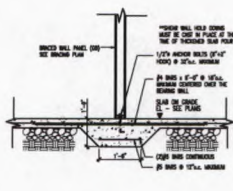
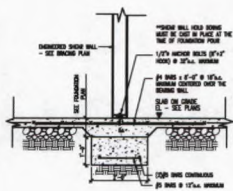
WALL BRACING PLAN 1/4" = 1'-0"

- LEGEND
- BRACED SHEAR WALL LINE
 - BRACED SHEAR WALL PANEL
 - BRACED SHEAR WALL THRU THE CENTER OF SHEAR WALL
- TYPICAL BRACED WALL NOTES
- ALL BRACED SHEAR WALLS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.
 - ALL BRACED SHEAR WALLS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.
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ENGINEERED SHEAR WALL SCHEDULE				
NO.	DESCRIPTION	WALL	BRACING & CONNECTION	WALL TYPE & BRACING
1	WALL TO RT OF EACH COLUMN	WALL 1	1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.	WALL 1, 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.
2	WALL TO LT OF EACH COLUMN	WALL 2	1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.	WALL 2, 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.
3	WALL TO RT OF EACH COLUMN	WALL 3	1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.	WALL 3, 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.
4	WALL TO LT OF EACH COLUMN	WALL 4	1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.	WALL 4, 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE. BRACED WALLS SHALL BE 1/2" MINIMUM THICKNESS AND 12" MIN. CLEARANCE FROM OTHER WALLS OR STRUCTURAL MEMBERS.

- ENGINEERED SHEAR WALL NOTES
- ALL SHEAR WALL PANELS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE.
 - ALL SHEAR WALLS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE.
 - ALL SHEAR WALLS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE.
 - ALL SHEAR WALLS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE.
 - ALL SHEAR WALLS SHALL BE 1/2" MINIMUM THICKNESS, UNLESS NOTED OTHERWISE.





NO.	DATE	REVISION
1	07/20/07	REVISION
2	07/20/07	REVISION
3	07/20/07	REVISION
4	07/20/07	REVISION
5	07/20/07	REVISION
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96	07/20/07	REVISION
97	07/20/07	REVISION
98	07/20/07	REVISION
99	07/20/07	REVISION
100	07/20/07	REVISION

* Architectural Checkmark
* unless the Owner/Architect is not prepared or approved for use and the use is
* not intended for structural purposes only (see note 1 of the list of Notes)
* Section 1000, Appendix A, 10/1/07

INTERNATIONAL MECHANICAL VENTILATION CODE											
SPACE NAME	AREA (SQ. FT.)	AREA (SQ. M.)	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY	OCCUPANT CATEGORY
FITNESS ROOM	500	46.5	3	0	0	0	0	0	0	0	0
CORRIDOR	255	23.6	0	0	0	0	0	0	0	0	0
LOBBY	275	25.5	0	0	0	0	0	0	0	0	0
REH	474	43.9	3	0	0	0	0	0	0	0	0
HOPIEN	485	45.0	3	0	0	0	0	0	0	0	0
VESTIBULE	104	9.6	0	0	0	0	0	0	0	0	0
MANAGER OFFICE	51	4.7	0	0	0	0	0	0	0	0	0
PLAT-PUMP	891	82.5	3	0	0	0	0	0	0	0	0
GREAT ROOM	867	80.0	3	0	0	0	0	0	0	0	0
TOTALS	3,240	300	0	0	0	0	0	0	0	0	0

NOTE:
ALL TO BE PROVIDED WITH 80 CFM D.A.
ALL TO BE PROVIDED WITH 400 CFM D.A.

SEQUENCE OF OPERATIONS

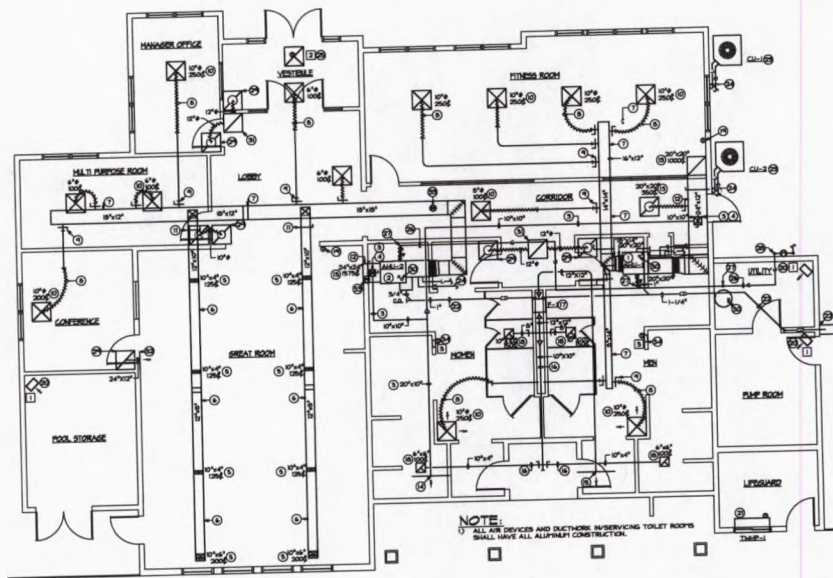
1. DURING OCCUPIED PERIOD AS PROGRAMMED ON ASSOCIATED AIR THERMOSTAT, FLOOR FAN SHALL RUN CONTINUOUSLY AND OUTSIDE AIR SHALL BE SUPPLIED.
2. ON A CALL FOR HEATING, ELECTRIC HEATING ELEMENT SHALL BE ENERGIZED AND SHALL RUN UNTIL SETPOINT IS SATISFIED.
3. ON A CALL FOR COOLING, THE UNIT FAN CONTROLS SHALL ENERGIZE OUTDOOR COMPRESSOR (MECHANICAL COOLING) SHALL BE ENERGIZED. THE UNIT COOLING CYCLE SHALL RUN UNTIL SETPOINT IS SATISFIED.
4. DURING NIGHT RETRACTION PERIOD AS PROGRAMMED ON ASSOCIATED AIR UNIT THERMOSTAT, FLOOR FAN SHALL BE OFF AND OUTDOOR AIR SHALL BE OFF. ON A CALL FOR HEATING OR COOLING, THE OUTDOOR AIR DAMPERS SHALL BE OPENED AND THE FAN ON ASSOCIATED ELECTRIC HEATING ELEMENT OR COMPRESSOR SHALL BE ENERGIZED. THE UNIT COOLING CYCLE SHALL RUN UNTIL SETPOINT IS SATISFIED.
5. UNIT SHALL BE DE-ENERGIZED IF SMOKE DETECTOR SENSES SMOKE OR AIR SAFETY/CONTROL EXCEEDS ITS LIMITS.

Valve = 750
SYSTEM VENTILATION EFFICIENCY (%)
Based on 100% (100%)

DRAWING NOTES

1. 4.0 TON GAS FIRED AIR HANDLING UNIT MOUNTED FROM STRUCTURE ABOVE. ALL REFRIGERANT PIPING SHALL BE SIZED AND TRAPPED PER MANUFACTURER RECOMMENDATIONS. REFER TO DETAIL AND SCHEDULE FOR MORE INFORMATION. (CONDENSATE DRAINAGE SHALL BE GRAVITY FED. IF GRAVITY IS NOT POSSIBLE, PROVIDE CONDENSATE DRAINAGE PUMP. PUMP SHALL BE LITTLE GUNT MODEL VCH-3000, AS SHOWN AT 8" OF HEAD AND 120 VOLT / 1 PHASE. PUMP SHALL ALSO BE PROVIDED WITH A HANDSOME CONNECTION.)
2. 5.0 TON GAS FIRED AIR HANDLING UNIT MOUNTED FROM STRUCTURE ABOVE. ALL REFRIGERANT PIPING SHALL BE SIZED AND TRAPPED PER MANUFACTURER RECOMMENDATIONS. REFER TO DETAIL AND SCHEDULE FOR MORE INFORMATION. (CONDENSATE DRAINAGE SHALL BE GRAVITY FED. IF GRAVITY IS NOT POSSIBLE, PROVIDE CONDENSATE DRAINAGE PUMP. PUMP SHALL BE LITTLE GUNT MODEL VCH-3000, AS SHOWN AT 8" OF HEAD AND 120 VOLT / 1 PHASE. PUMP SHALL ALSO BE PROVIDED WITH A HANDSOME CONNECTION.)
3. OUTSIDE AIR DUCTWORK MOUNTED FROM STRUCTURE ABOVE UP THROUGH ROOF.
4. OUTSIDE AIR DUCTWORK CONNECTED TO RETURN AIR DUCTWORK. PROVIDE BALANCING DAMPER AND MOTOR OPERATED DAMPER INTERLOCKED WITH AIR HANDLING UNIT.
5. CEILING MOUNTED SUPPLY AIR REGISTER, (TYP.)
6. SUPPLY AIR DUCT MOUNTED THROUGH SCISSOR TRUSS. COORDINATE EXACT ROUTING WITH TRUSS SHOP DRAWINGS.
7. SUPPLY AIR DUCTWORK MOUNTED FROM AND THROUGH STRUCTURE.
8. FLOOR AIR DUCTWORK, MAXIMUM 8" RUN OUT. (TYPICAL)
9. AIR TIE FITTING WITH BALANCING DAMPER, (TYPICAL)
10. OUTSIDE AIR DUCTWORK CONNECTED TO ARCHITECTURAL STORY PROOF LOWER MOUNTED IN PLACE OF FAUX WINDOW.
11. BALANCING DAMPER, (TYP.)
12. RETURN AIR DUCTWORK MOUNTED FROM AND THROUGH STRUCTURE.
13. 30"X30" FILTER RETURN AIR GRILLE, (TYPICAL)
14. OUTSIDE AIR DUCTWORK CONNECTED TO ARCHITECTURAL STORY PROOF LOWER MOUNTED IN PLACE OF FAUX WINDOW.
15. EXHAUST AIR DUCTWORK CONNECTED TO ARCHITECTURAL STORY PROOF LOWER MOUNTED IN PLACE OF FAUX WINDOW.

16. EXHAUST AIR (ALUMINUM) DUCTWORK MOUNTED FROM AND THROUGH STRUCTURE.
17. STRUCTURE HEATED HEAT EXCHANGER AIR FAN. REFER TO SCHEDULE/ DETAIL FOR MORE INFORMATION. DUCT SHALL BE ALUMINUM CONSTRUCTION.
18. CEILING MOUNTED ALL ALUMINUM EXHAUST AIR REGISTER, (TYPICAL)
19. STRUCTURE HEATED HEAT EXCHANGER UNIT HEATER.
20. HVAC UNIT MOUNTED IN HALL BELOW HINDON. REFER TO SCHEDULE.
21. CONDENSATE DRAIN LINE. EXTENDED THROUGH ATTIC WITH 1/2" SLOPE. EXTEND DOWN ON HART SIDE OF BUILDING INSULATION TO 3/4"X3/4" PLUMB BLOCK AT GRADE.
22. GRADE MOUNTED CONDENSING UNIT. ALL REFRIGERANT PIPING SHALL BE SIZED AND TRAPPED PER MANUFACTURER RECOMMENDATIONS. REFER TO DETAIL AND SCHEDULE FOR MORE INFORMATION.
23. REFRIGERANT PIPING OUT THROUGH HALL TO CONDENSING UNIT. SIZE AND TRAP PER MANUFACTURER RECOMMENDATIONS.
24. REVERSED ELECTRIC CEILING HEATER WITH INTEGRAL THERMOSTAT. REFER TO SCHEDULE FOR MORE INFORMATION.
25. 2 PSI NATURAL GAS PIPING MOUNTED FROM THROUGH STRUCTURE.
26. 2 PSI NATURAL GAS PIPE CONNECTED TO DIST/DRIP LEG GAS FIRED EQUIPMENT WITH GAS COCK, PRESSURE REDUCING VALVE, AND UNION.
27. 2 PSI NATURAL GAS PIPE DOWN IN HALL TO GAS FITTER. COORDINATE NEW SERVICE, LOCATION, PRESSURE WITH LOCAL UTILITY COMPANY.
28. 3/4"X3/4" RETURN AIR TRANSFER GRILLE, (TYP.)
29. 3/4"X3/4" EXHAUST FLUE UP THROUGH ROOF TO CONCENTRIC. FITTING SUPPLIED WITH GAS FIRED EQUIPMENT.
30. 3/4"X3/4" AIR TRANSFER AIR GRILLE WITH 8" TALL PLUMB BLOCK.
31. 3/4"X3/4" INVERTED TRANSFER GRILLE IN HALL 20"X20".
32. DUCT MOUNTED SMOKE DETECTOR WITH 1/2"X1/2" ACCESS DOOR IN TUBE FOR INSPECTION.
33. REVERSED HALL HEATER WITH INTEGRAL THERMOSTAT MOUNTED 18" AFF. REFER TO SCHEDULE FOR MORE INFORMATION.



NEW HVAC FLOOR PLAN
SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

Mechanical Compliance Certificate

Project Information: 2008-2009, Patuxent Greens Clubhouse, 14415 Greenview Drive, Laurel, MD 20708.

Additional Information: Mechanical Compliance Certificate, 1/1/2009.

MECHANICAL COMPLIANCE STATEMENT: The undersigned hereby certifies that the mechanical systems described in the attached drawings and specifications have been reviewed and found to be in compliance with the applicable codes and standards.

MECHANICAL COMPLIANCE STATEMENT: The undersigned hereby certifies that the mechanical systems described in the attached drawings and specifications have been reviewed and found to be in compliance with the applicable codes and standards.

MECHANICAL COMCHECK

CDS ARCHITECTURAL DESIGN

14415 Greenview Drive
Laurel, Maryland 20708
Tel: 410-271-0000
Fax: 410-271-0001

MECHANICAL ELECTRICAL
14415 Greenview Drive
Laurel, Maryland 20708
Tel: 410-271-0000
Fax: 410-271-0001

Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708

DATE: 04/18/2009

FILE

DATE: 04/18/2009

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ITEM	DESCRIPTION	C.R.	FIN.	SIZE	VENT	TRAP	TYPE	REMARKS
P-1	WATERCLOSET (FLUSH VALVE)	1"	-	4"	1"	INTERIAL	-	-
P-2A	WATERCLOSET (FLUSH VALVE)	1"	-	4"	1"	INTERIAL	HANDICAPPED	-
P-3	URINAL (FLUSH VALVE)	3/4"	-	2"	1"	INTERIAL	-	-
P-3	COUNTERTOP LAVATORY	1/2"	1/2"	2"	1"	1/4"	HANDICAPPED	-
P-4	KITCHEN SINK	1/2"	1/2"	2"	1"	1/4"	HANDICAPPED	-
P-5	ELECTRIC WATER COOLER	1/2"	-	2"	1"	1/4"	HANDICAPPED	-
P-5A	ELECTRIC WATER COOLER	1/2"	-	2"	1"	1/4"	OUTDOOR	-
P-6	JANITORS SINK	1/2"	1/2"	2"	1"	1/4"	FLOOR MOUNTED	-
P-7	PRIVATE SINK	1/2"	1/2"	2"	1"	1/4"	-	-
P-7A	PRIVATE SINK	1/2"	1/2"	2"	1"	1/4"	HANDICAPPED	-
P-7B	PRIVATE SINK	1/2"	1/2"	2"	1"	1/4"	OUTDOOR	-

NOTES:
 1) PROVIDED WITH ASSE STD TRAP VALVE ON ALL P-3 FIXTURES.
 2) PROVIDE TRAP PREVENTER P-3A FLUSH VALVE FOR (4) FLOOR DRAINS.

GAS FIRED WATER HEATER SCHEDULE												
ITEM #	AREA SERVED	NOMINAL TANK SIZE (GAL.)	DIAMETER (IN.)	HEIGHT (IN.)	RECOVERY RATE GPM @ 100°	PIPE CONNECTIONS INLET OUTLET	FLUE GAS (IN.)	STAIN INPUT	ELECTRICAL DATA	OPERATING PRESS. (PSI)	MODEL #	MANUFACTURER
GH-1	PATIENT GREEN	40	27-30"	30"	180	1-1/2" 1-1/2"	2"	185,000	200V/3P	150	3000-3000	STATE
NOTE:												

NOTES:

PIPING LEGEND

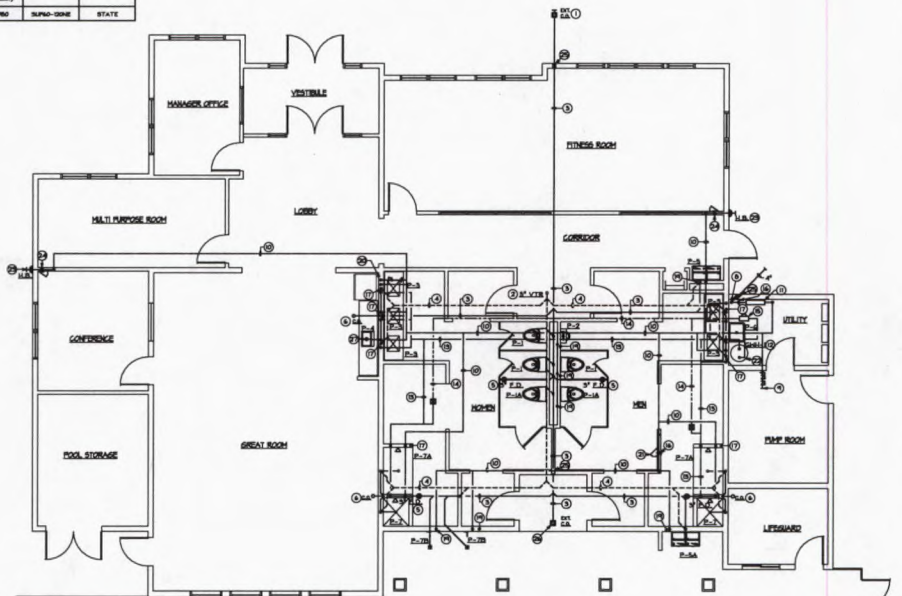
- SANITARY PIPE
- VENT PIPE
- COLD WATER PIPE
- HOT WATER PIPE
- HOT WATER RECIRC. PIPE
- CONDENSATE DRAIN PIPE
- NATURAL GAS PIPE
- REFRIGERANT SUCTON
- REFRIGERANT LIQUID
- LIQUOR
- PRESSURE REDUCING VALVE
- BUTTERFLY VALVE
- GAS COCK
- BALL VALVE
- THREE WAY CONTROL VALVE
- CHECK VALVE
- PIPE DOWN
- PIPE UP
- CLEANSOUT (FLOOR & HALL)
- ANGLE STOP VALVE
- HOSE BIBB
- FLOOR DRAIN

MECHANICAL LEGEND

- VOLUME DAMPER
- FLEXIBLE CONNECTION
- DUCTWORK TRANSITIONS
- ROUND TO RECTANGULAR TRANSITION
- DUCTWORK TRANSITION
- TURNING VANES
- SUPPLY DUCT UP
- RETURN DUCT UP
- EXHAUST DUCT UP
- AIR DUCT FITTING WITH INTEGRAL FLEXIBLE DUCT
- FLEXIBLE DUCT
- SUPPLY AIR DIFFUSER
- RETURN AIR GRILLE (REGISTER)
- EXHAUST AIR GRILLE (REGISTER)
- DIRECTION OF AIR FLOW
- CONNECT TO EXISTING SYMBOL
- THERMOSTAT
- SMOKE DETECTOR
- CUBIC FEET PER MINUTE (CFM)
- DIAPHRAGM
- DRAWING NOTE
- UNIT HEATER
- EQUIPMENT IDENTIFIER
- EQUIPMENT IDENTIFIER

DRAWING NOTES

- 1) SCOPING SANITARY SERVICE MAIN, EXTENDED 5'-0" FROM BUILDING. REFER TO CIVIL DRAWINGS FOR CONTINUATION.
- 2) SANITARY VENT PIPE UP THROUGH ROOF.
- 3) SANITARY PIPE POINTED BELOW SLAB. PIPE SHALL HAVE A MINIMUM 1/4" SLAN OUT PER 1'-0".
- 4) SANITARY VENT PIPE POINTED FROM STRUCTURE ABOVE (TYPICAL).
- 5) 1" FLOOR DRAIN WITH TRAP PRIOR TO FLUSH VALVE (TYP).
- 6) INTERIOR CLEAN OUT WITH ADJUSTABLE TOP (TYPICAL). REFER TO DETAIL FOR MORE INFORMATION.
- 7) SCOPING WATER SERVICE. REFER TO CIVIL PLANS FOR CONTINUATION.
- 8) DOMESTIC WATER SERVICE LINE UP THROUGH FLOOR SLAB IN PIPE SLEEVE. REFER TO DETAIL FOR MORE INFORMATION.
- 9) IF DOMESTIC WATER STOP WITH BACKFLOW PREVENTER FOR FUTURE USE IN POOL, PUMP ROOM.
- 10) DOMESTIC COLD WATER PIPE POINTED FROM STRUCTURE ABOVE. POINT ON HARB SIDE OF INSULATION (TYPICAL).
- 11) DOMESTIC WATER SERVICE BACKFLOW PREVENTER/ PRESSURE REDUCING VALVE ASSEMBLY (PER COUNTY CODE). SEE DETAIL FOR MORE INFORMATION.
- 12) FLOOR POINTED GAS FIRED WATER HEATER. DISCHARGE DRAIN TO POP RISE AND PROVIDE 7" AIR GAP. REFER TO DETAIL AND SCHEDULE FOR MORE INFORMATION.
- 13) DOMESTIC HOT WATER PIPE POINTED FROM STRUCTURE ABOVE. POINTED ON HARB SIDE OF BUILDING INSULATION.
- 14) DOMESTIC HOT WATER RECIRCULATION PIPE POINTED FROM STRUCTURE ABOVE. POINTED ON HARB SIDE OF BUILDING INSULATION.
- 15) HOT WATER RECIRCULATION PUMP. PUMP SHALL BE TACO/SMART PLUS MODEL 100, 300P AT 9' OF HEAD AND 300V/1P.
- 16) BALL VALVE (TYPICAL).
- 17) BALANCING VALVE (TYP).
- 18) DOMESTIC HOT AND COLD WATER PIPES DOWN TO PLUMBING FUTURE.
- 19) DOMESTIC COLD WATER PIPE DOWN TO PLUMBING FUTURE.
- 20) DOMESTIC COLD WATER PIPE DOWN TO RECESSED HALL BOX FOR ICE MAKER. PROVIDE CHECK VALVE AND SHUT-OFF VALVE. POINT 40" AFF.
- 21) SHUT LOCKABLE ACCESS DOOR PROVIDED FOR ACCESS TO BALL VALVE AND BURN DOWN FOR OUTDOOR SHOWER HEATER/HEATER.
- 22) GAS FIRED WATER HEATER INTAKE/EXHAUST FLUE UP THROUGH ROOF TO CONCENTRIC FITTING.
- 23) FREEZE PROOF HOSE BIBB WITH VACUUM BREAK AND KEY ACCESS. POINT 30" ABOVE GRADE.
- 24) BALL VALVE IN HALL WITH ACCESS DOOR.
- 25) PIPE SLEEVE (TYP).
- 26) EXTERIOR CLEANOUT. SEE DETAIL.
- 27) SINK POINTED 5/4" UP GARBAGE DISPOSAL. 300V/1P.



NEW PLUMBING FLOOR PLAN
 SCALE: 1/4"=1'-0"

SCALE: 1/4"=1'-0"

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 ARCHITECTURAL
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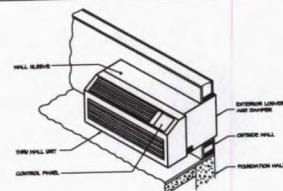
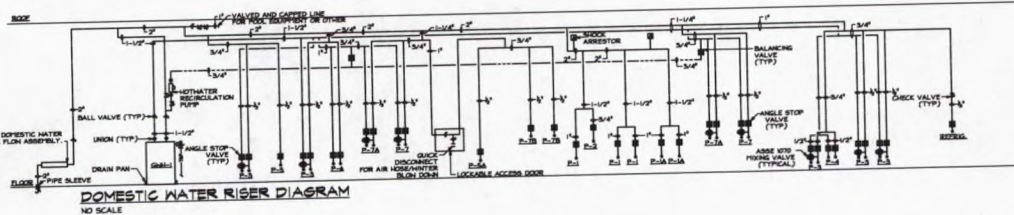
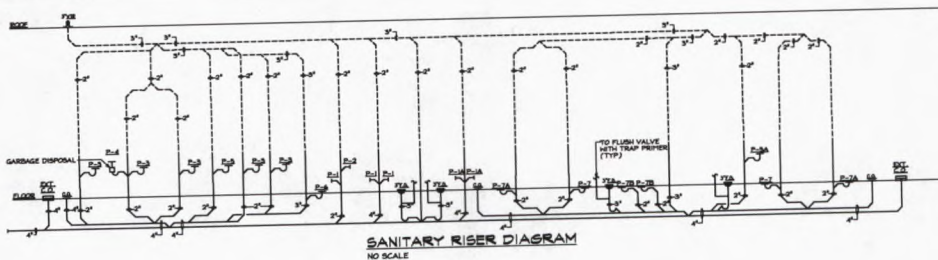
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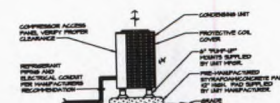
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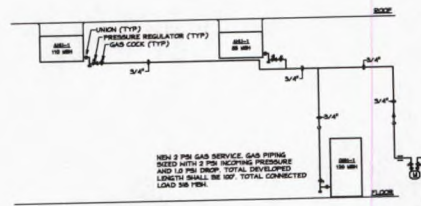
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PACKAGED THRU WALL UNIT DETAIL
NO SCALE
NOTE: PROVIDE UNIT WITH INTERNAL CONCRETE DRAIN KIT AND EXTEND TO GRADE.



GRADE MOUNTED CONDENSING UNIT DETAIL
NO SCALE
NOTE: IF ALL OUTSIDE PIPING INSULATION HAST BE 6" PROTECTED INSULATION.



FAN SCHEDULE										
ITEM	AREA SERVED	C.F.M.	SONES	H.P. / UNITS	FAN TYPE	E.S.P.	DRIVE TYPE	S.P./L	ELECTRICAL DATA	CONTROL
F-1	RESTROOMS	500	1.0	3/4 HP	ULINE	0.5"	DIRECT	107A	300V/1W	TIMELOCK

NOTE:
1) TIMELOCK BY ELECTRICAL.

ELECTRIC UNIT HEATER/FAN FORCED HEATER SCHEDULE										
ITEM	AREA SERVED	STATUS	C.F.M.	H.P.	S.P./L	K.W.	POLYMER HEAT	ELECTRICAL DATA	HEIGHT (F.T.)	MODEL #
1	POOL STORAGE/OUTLET/PAVING/DOOR		300	1/2	1/2	1/2	1/2	300V/1W	20	HANNAH
2	VEHICLE		5,500	300	-	1/2	3	CEILING	300V/1W	27
3	TOILET ROOM		5,500	300	-	1/2	3	WALL	300V/1W	12

ELECTRIC THRU WALL HEAT PUMP UNIT SCHEDULE										
ITEM	AREA SERVED	FAN DATA				COOLING DATA				HEATING DATA
		C.F.M.	E.S.P.	H.P.	C.F.M.	TOTAL STATUS	SEASONAL STATUS	SEER	TYPE	STATUS
THP-1	LIFE GUARD	200	0.5"	1/2	75	20	1,000	1,000	10.0	N/A

NOTE:
1) PROVIDE HEAT PUMP UNITS WITH ALL STANDARD FEATURES: FAN CYCLE CONTROL, EVAP HEAT MONITORING, ROOM FREEZE PROTECTION, ELECTRONIC DEFROST CYCLE, COIL PROTECT, REMOTE, FULLED FRESH AIR INTAKE, ETC. UNIT SHALL BE PLUMB TYPE.

GAS FIRED SPLIT SYSTEM AIR HANDLING UNIT SCHEDULE										
ITEM	AREA SERVED	FAN DATA				COOLING DATA				HEATING DATA
		C.F.M.	E.S.P.	H.P.	C.F.M.	TOTAL STATUS	SEASONAL STATUS	SEER	TYPE	STATUS
AND-100-1	RESTROOM/VEHICLE	1,000	0.5"	1/2	100	100	1,000	10.0	N/A	N/A
AND-100-2	CLUBHOUSE	2,000	0.5"	1/2	200	200	2,000	10.0	N/A	N/A

NOTE:
1) GAS HEATER FLUES SHALL TERMINATE THRU A CONCENTRIC EXHAUST/INTAKE CAP SUPPLIED WITH EACH FURNACE BY THE MANUFACTURER.
2) GAS HEATER CONDENSING UNIT SHALL HAVE (1) STEP OF CONTROL.
3) UNITS PROVIDED WITH (2) SPEED HEATING AND COOLING.
4) UNITS PROVIDED WITH LOW AMBIENT COOLING OPERATION.

CD&S
ARCHITECTURAL
DESIGN

CREATING ARCHITECTURAL
DRAWINGS

MECHANICAL & ELECTRICAL
DESIGN

Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20705

SUBMITTAL	DATE
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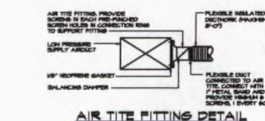
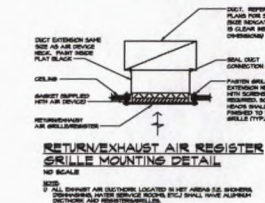
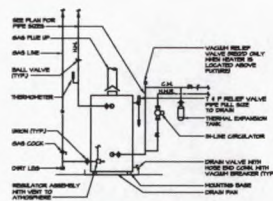
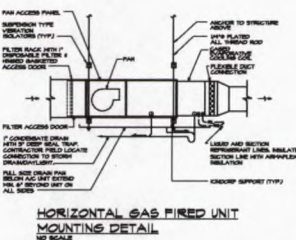
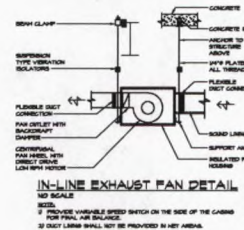
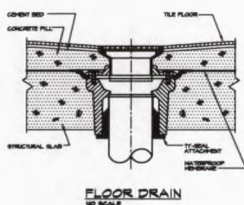
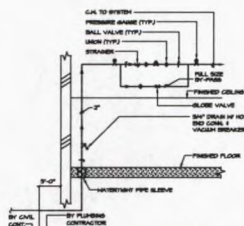
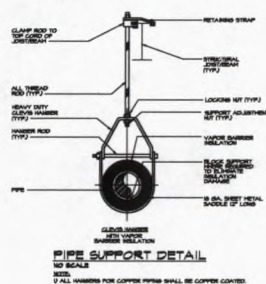
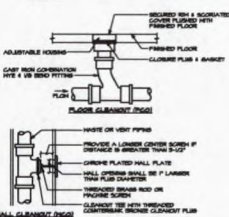
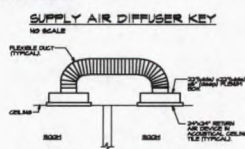
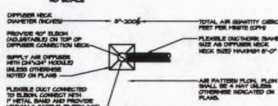
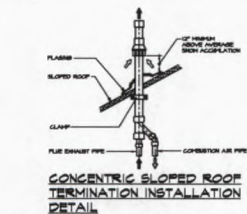
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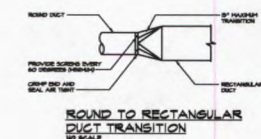
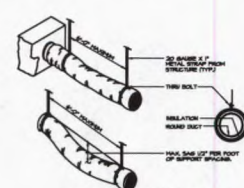
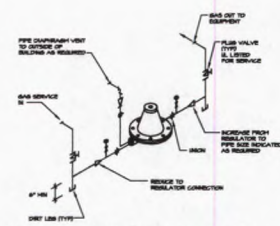
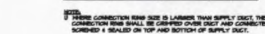
DATE: 04/18/2002 PROJECT NO:

MECHANICAL SCHEDULES

M-3



DUCT SIZE	CONNECTION RINGS	DUCT SIZE	CONNECTION RINGS
3"	3"	4"	4"
6"	4"	10"	10"
7"	10"	8"	10"
8"	11"	12"	12"



[illegible]

NOTE: ALL MOUNTING HEIGHTS ARE TO CENTER LINE OF THE OUTLET BOX UNLESS OTHERWISE INDICATED.

SYMBOL	DESCRIPTION
2	24 VOL. 400 LIGHTING PICTURE LETTER ADJACENT TO PICTURE
3	30 VOL. 1000 PICTURE LETTER TO LIGHTING
4	INDICATES PICTURE ON EMERGENCY OR BRACK LIGHT CIRCUIT
5	INDICATES PICTURE - DONGRAHT, HALL MOUNT, WALLMOUNT, LETTER
6	INDICATES PICTURE - TRACK INDICATES PICTURE LETTER TO LIGHTING
7	INDICATES PICTURE - TRACK REARATED
8	BUT LIGHT - CELLING, HALL, WITH DIRECTIONAL ARROWS
9	CONVENTION BUT LIGHT/STAIRWAY UNIT - HALL REARATED
10	EMERGENCY BATTERY UNIT, REPOSTED NEW
11	SWITCH - LAM VOLTAGE/STAIRWAY UNIT - HALL REARATED
12	SWITCH - LAM VOLTAGE HALL VACUUMY NUMBER TYPE
13	SWITCH - LAM VOLTAGE HALL VACUUMY NUMBER TYPE WITH DRIVER
14	SWITCH - DRIVER WITH SINGLE FORWARD PICTURE
15	SWITCH - SINGLE PLOT, THREE WAY, FORWARD
16	SWITCH - DRIVER WITH FORWARD COUPLER
17	SWITCH - MOTOR RATED WITH THERMAL DERIVEL
18	CELLING VACUUMY LIGHTING CONTROL BOARD
19	LIGHTING CONTACTOR
20	PHYSIOLOGICAL, VEREABLE
21	RECEPTACLE - 30A, 100 VOLTS - DUPLEX, DOUBLE DUPLEX
22	RECEPTACLE - 30A, 100 VOLTS - DUPLEX - COUNTER HINGED AT 45° AP
23	RECEPTACLE - 30A, 100 VOLTS - DUPLEX PLUG IN CELLING
24	RECEPTACLE - 30A, 100 VOLTS - DUPLEX PLUG IN CELLING
25	FLUORU PLUM FLOW - CONVENTION POWER AND TELEPHONE, POWER ONLY
26	CONVENTION OUTLET - TELEPHONE/40A - PLUG, F-5F
27	TELEPHONE TELEPHONE BACKBOARD
28	PAVEBOARD - PLUG, 4-4" TO TOP - SURFACE POINT, PLUG POINT
29	PETER
30	JUNCTION BOX
31	DISCONNECT SWITCH - UNARMED, PLUG - 1/4" 5-4" TO TOP
32	POTIOR - KERSHOREN ARM NOTED
33	HEATING ELEMENT - CAPACITY AS NOTED
34	GROUND CONNECTION
35	BRANDED CIRCUIT - IS CELLING OR WALLS, 2 OR 3 KG GROUND IN VOF
36	BRANDED CIRCUIT - BRANDED GROUNDING, 2 OR 3 KG GROUND IN VOF
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96	BRANDED CIRCUIT - BRANDED GROUNDING, 2 OR 3 KG GROUND IN VOF
97	BRANDED CIRCUIT - BRANDED GROUNDING, 2 OR 3 KG GROUND IN VOF

A	- APPS, APPRE	FLD	FLAN LUGS ONLY
APF	- ABOVE FINISHED FLOOR	FMF	- FAN COIL BREAKER
APV	- ABOVE FINISHED GRADE	FTD	- FINISHING HEIGHT
COT	- CONDUIT	HTD	- HEATED
CL	- COUNTER HEIGHT	NEC	- NATIONAL ELECTRIC CODE
CD	- DIRECT CURRENT	NFB	- NON FUSED SAFETY SWITCH
DWD	- DRAWING	NC	- NOT IN CONTRACT
DB	- DOWST FAN	NL	- NIGHT LIGHT
FLA	- FULL LOAD APPS	PC	- PHOTOCELL
PSS	- FUSED SAFETY SWITCH	SE	- SERVICE ENTRANCE
GE	- GROUNDING ELECTRODE CONDUCTOR	TC	- TYPIC CLONE
GND	- GROUND	U.O.A.	- UNLESS OTHERWISE NOTED
GF	- GROUND FAULT INTERRUPTER	V	- VOLTS
HP	- HEATERPROOF	W	- WATERPROOF

PRIOR TO BID SUBMISSION PROCESS, ALL CONTRACTORS SHALL VISIT PROPOSED WORK SITE AND FIELD VERIFY ALL EXISTING CONDITIONS. ANY CONDITIONS THAT DIFFER FROM THAT SHOWN ON THESE PLANS SHALL BE REPORTED TO ARCHITECT/ENGINEER SO THAT NEW AND REVISED DRAWINGS OR INFORMATION MAY BE ISSUED. ANY CHANGES OR MODIFICATIONS TO SCOPE OF WORK WHICH RESULT FROM CONTRACTORS NEGLECT TO VISIT THE SITE PRIOR TO SUBMITTING BID, SHALL BE THE CONTRACTORS SOLE

[illegible]

JCR No. 22-054

FILE

ELECTRICAL

E-1

GENERAL NOTES

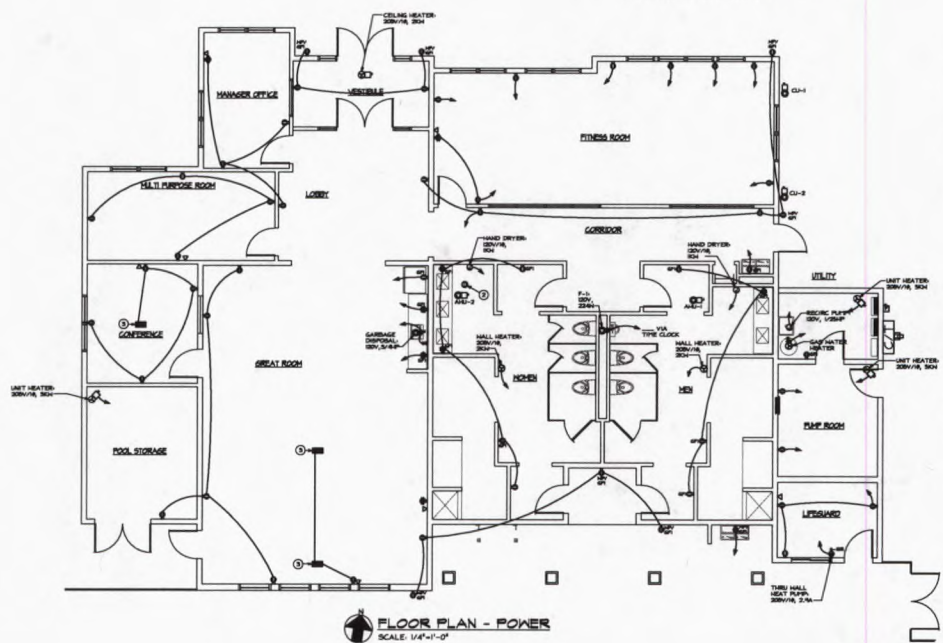
1. CORRECT MOTOR OPERATED DRUPPER DOORS TO _____ REFER TO MECHANICAL PLANS FOR LOCATIONS/NOTES.

DRAWING NOTES

1. WEATHERPROOF, GFI RECEPTACLE ON ROOF.
2. DUCT SMOKE DETECTOR IN SUPPLY & RETURN.
3. FURNACE FLOORED FLOOR BOX, 4 IN. RISER, 4 IN. CONDUIT, 1" CONDUIT WITH WALL STRENGTH FOR DATA, RUN CONDUIT UNDER FLOOR & UP HALL TO ABOVE CEILING.

MECHANICAL UNIT SCHEDULE						
UNIT NUMBER	UNIT TYPE	UNIT SIZE	VOLTS/PH	CONDUIT SIZE	NOTES	
CD-1	CD-1	30	208V/3P	1"	A	
CD-2	CD-2	30	208V/3P	1"	A	
CD-3	CD-3	30	208V/3P	1"	A	
CD-4	CD-4	30	208V/3P	1"	A	

NOTES:
A. SEE PANEL SCHEDULE FOR CONDUCTOR SIZES



CD&S
ARCHITECTURAL
DESIGN

14415 GREENVIEW DRIVE
LAUREL, MARYLAND 20708
TEL: 301.272.1447

MECHANICAL & ELECTRICAL
DESIGN CONSULTANTS, INC.
14415 GREENVIEW DRIVE
LAUREL, MARYLAND 20708
TEL: 301.272.1447

Pattuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708

SUMMIT	DATE
1	01/10/04
2	02/10/04
3	03/10/04
4	04/10/04
5	05/10/04
6	06/10/04
7	07/10/04
8	08/10/04
9	09/10/04
10	10/10/04
11	11/10/04
12	12/10/04

JOB No. 23-024
FILE
DATE 04/10/04 PROJECT SET
FLOOR PLAN - POWER

E-3



1. CONCRETE ENCASED ELECTRODE (SEE DETAIL).

1. CONCRETE ENCASED ELECTRODE (SEE DETAIL).
3. IF CONTINUOUS METALLIC WATER PIPE OR BUILDING STEEL IS NOT AVAILABLE THEN GROUND ROD ELECTRODE SHALL BE FULL SIZE.
5. ADDITIONAL RODS SHALL BE ADDED AS NEEDED FOR TOTAL RESISTANCE OF 25 OHMS OR LESS.

A cross-sectional diagram of a bolted-type connection device for a rebar. The diagram shows a rebar (labeled '4 ANG OR LARGER BARS') passing through a concrete slab. The rebar is secured by a 'BOLTED-TYPE CONNECTION DEVICE OR EXOTHERMIC WELD'. A 'NONMETALLIC PROTECTIVE SLEEVE' is shown around the rebar. The concrete slab is labeled 'CONCRETE FOUNDATION IN DIRECT CONTACT WITH EARTH'. A 'GRAVING ELECTRODE' is shown on the left side of the slab. A 'PRIMED FLOOR' is shown below the slab. A '3" MINIMUM (ALL SIDES)' dimension is indicated for the concrete slab. A '3" MINIMUM' dimension is indicated for the concrete slab.

CONCRETE ENCASED ELECTRODE

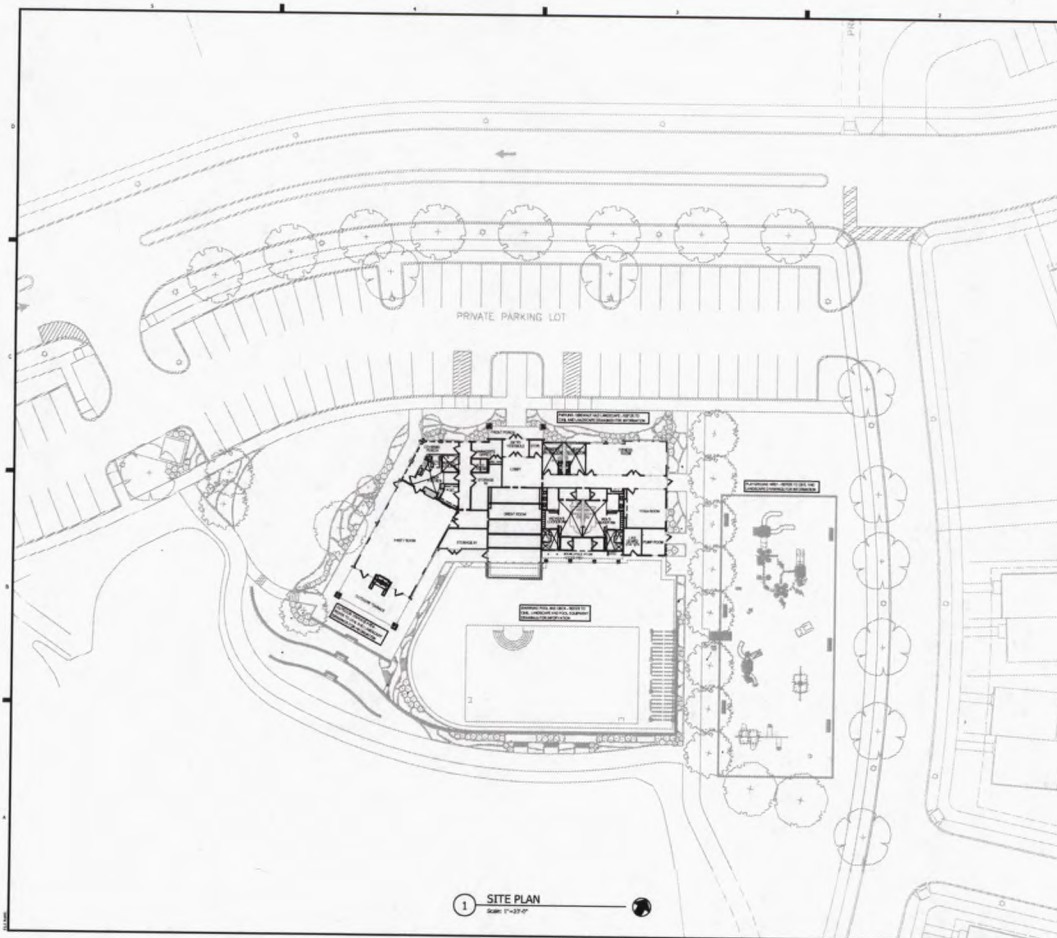
- ELECTRODE NOTES:**
1. CONCRETE ENCASED ELECTRODE SHALL BE IN ACCORDANCE WITH NATIONAL ELECTRIC CODE ARTICLE 350-80(3)(C).

2007/08

Patuxent Greens Clubhouse
14415 Greenview Drive
Laurel, Maryland 20708

[illegible]

JOB No. 22-054
FILE
DATE 04.18.2022 PROGRESS SET
<p>RISE R DIAGRAM & PANEL SCHEDULES</p>



GENERAL NOTES

1) REFER TO CIVIL AND LANDSCAPE DRAWINGS FOR ALL INFORMATION OUTSIDE OF BUILDING PERIMETER
2) INTENT OF THIS DRAWING IS FOR ILLUSTRATIVE ARCHITECTURAL CONTEXT ONLY

GTM ARCHITECTS

7701 OLD GEORGETOWN ROAD
SUITE 200
BETHESDA, MD 20814
(202) 333-2000
(202) 333-2961 FAX
WWW.STANARCHITECTS.COM



Consultant

Patuxent Greens CLUBHOUSE

ADC Builders

Developer

ISSUE FOR PERMIT	05-15-2001
Issue Description	Date

GTM Project No.	17 0294A
Checked By	SAM/ R/J
Drawn By	R/J/ CDM
Scale	AS NOTED

Sheet Title

**ARCHITECTURAL SITE
LAYOUT PLAN**

Sheet No. **A010**

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**RESOLUTION NO. 24-02-PC GRANTING
AMENDED SITE AND LANDSCAPE PLAN APPROVAL**

WHEREAS, on December 28, 2023 the Applicant, Patuxent Greens LLC submitted a Amended Site and Landscape Plan Application seeking approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities at 6500 Clubhouse Drive, Laurel, Maryland; and

WHEREAS, certain real property located at 6500 Clubhouse Drive, which is in close proximity to Route 197; and

WHEREAS, the Property was part of the First 1981 Annexation for the City of Laurel; which included an approved plan to have along with the golf course, dwelling units, office, retail and a recreational facility and the 267 acres of land was placed into the Planned Unit Development (PUD) zone; and

WHEREAS, a letter advising of the application and requesting comments was sent to the Maryland-National Capital Park & Planning Commission, the Prince George's County Public Schools Department of Capital Programs, the Maryland State Highway Administration, the Washington Suburban Sanitary Commission, the Prince George's County Health Department, the Prince George's County Department of Permitting, Inspections, and Enforcement, Baltimore Gas and Electric Company, and Verizon, comments from the agencies will be incorporated into and with the technical staff report; and

WHEREAS, letters advising of the public hearing before the City of Laurel Planning Commission were sent to all contiguous property owners by mail; and

WHEREAS, signs were posted on the Subject Property, advising the public of the public hearings of the City of Laurel Planning Commission; and

WHEREAS, on February 20, 2024, the Planning Commission meeting in regular session heard the Amended Site and Landscape Plan application for the proposed development and approved the application; and

WHEREAS, in consideration of evidence presented at a public hearing on February 20, 2024, regarding an Amended Site and Landscape Plan application for the proposed clubhouse development, the Planning Commission finds:

FINDINGS FACT AND ANALYSIS

The Applicant is seeking Amended Site and Landscape Plan approval for the Patuxent Greens Development to reduce the original clubhouse building size in order to increase the number of outdoor amenities. The Applicant is proposing to the reduce the clubhouse building size from 6,765 sq. ft. to 4,030 sq. ft. and expand the outdoor amenities. The Applicant is proposing that the design provides a more efficient design emphasizing the recreational components of the facility while maintaining the function as a gathering place for the community. Reductions in

square footage mainly relate to reducing the size of the meeting room space to a more efficient size that will be cheaper to run and maintain for the community and which will still meet the needs of the neighborhood. The parking will not change with 135 parking spots available, 65 of which will be available for all clubhouse operating hours and 70 that will be available after 6 pm Monday thru Friday and all weekend days. The indoor and outdoor amenities in the newly designed clubhouse will include:

Indoor Amenities	Outdoor Amenities
Great Room	Pool
Fitness Room	Deck
Storage Areas	Multi-age Play Area
Men's Restroom	Quiet Pocket Sitting Area
Women's Room	Turf Area
Office	Outdoor Fireplace Area
Lobby	Picnic Zone Area
Pool Equipment	Outdoor Lounge Area
Lifeguard Station	Game Zone
Utility Rooms	
Conference Room	
Multi-Purpose Room	

NOW THEREFORE, BE IT RESOLVED, the City of Laurel Planning Commission adopted the findings contained herein and **Approved** the Amended Site and Landscape Plan application with the following conditions:

- 1) The Applicant shall obtain all required City of Laurel permits for the project.
- 2) The Applicant shall comply with all applicable local, state and federal laws and regulations in the development of the property.

AND BE IT FURTHER RESOLVED, that this Resolution shall take effect from the date of its passage.

PASSED this 20th day of February 2024.

ATTEST:

Brooke Quillen
Secretary

Mitzi Betman
Chairwoman

City of Laurel Planning Commission

City of Laurel Planning Commission