

Margie McCeney, Chair
Brensis Smith, Council President
Marlene Frazier, Vice Chair
Mary Eileen-Leszcz
Nancy Steinecke
Oscar De La Puente
Lakisha Muhammad

Stephanie Anderson
City Solicitor



CITY OF LAUREL HISTORIC DISTRICT COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • 301-725-5300 • Fax: 410-792-2108

Commission usually Meets on the Third Tuesday of Each Month

EIGHT HUNDRED NINETY SECOND MEETING TUESDAY – JUNE 16, 2026– 6:00 P.M. - REGULAR AGENDA

This meeting will be held in person

To sign up to speak, please preregister here: <https://cityoflaurel.org/register-to-speak>. Applicants do not need to sign up to speak. There will be a three (3) minute limit for each guest speaker. If you cannot attend but wish to submit comments for the record, please email them to ecd@laurel.md.us

1. Roll Call.
2. Approval of the Minutes for the Regular HDC meeting **held on May 19, 2026.**
3. **HDC-R20260085 for 409 Prince George Street** submitted by **William Rice**. Applicant is seeking to remove the holly tree. The tree removal is a requirement of the electrician and BGE. The tree is in the way of the new line and work to be done on the electrical upgrade. The tree is not dead, the tree is still alive, an arborist is not needed. The tree dead or alive needs to be removed to install a new electrical line and box to the house.
4. **HDC- R20260105 for 412 Montgomery Street** submitted by **Elizabeth Welsh**. Applicant seeking to construct an addition to rear of house. Will match existing house. White vinyl siding plus gray, 3-tab roof shingles. 6 over 1 window also burgundy trim.
5. **HDC-R20260101 for 515 Montgomery Street** submitted by **Kevin Stroud**. Applicant is seeking to replace roof due to damage. Intent is to replace roof with same color shingles, but upgrade to a higher quality architectural shingle like other surrounding properties to increase expected life.
6. **HDC-R20260100 for 607 Montgomery Street** submitted by **Kevin Stroud**. Applicant is seeking to replace roof due to damage. Intent is to replace roof with same color shingles, but upgrade to a higher quality architectural shingle like other surrounding properties to increase expected life.

7. **HDC-2026-0018** for **352 Main Street** submitted by **Adebayo Bello**. Applicant is seeking retroactive approval to install rear wooden steps painted black and white for upstairs egress, install a black wooden fence to enclose trash bin.

Tax Credits:

HDC-2026-0030 and **HDC-2026-0041** for **407 Montgomery Street**, submitted by **Gabrielle A. Whitefield** for replacement of 25 windows. The material cost was \$67,910.00; proof of payment \$67,910.00 and tax credit amount is \$6,791.00

Staff Approvals:

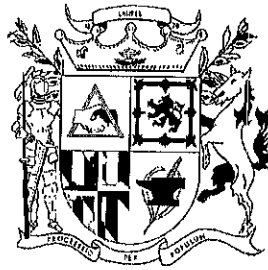
HDC- R20260079 for **933 Montgomery Street** submitted by **Cory McAndrews**. Request to repair exterior siding damaged by vehicle impact. Remove existing asbestos siding and replace in-kind with new, code-compliant siding materials to match existing appearance. Includes minor exterior repairs as needed.

HDC-R20260090 for **109 Brashears Street** submitted by **James and Monica Hyde**. Request to replace/repair broken wall, fence slats, front step concrete, all in kind.

HDC-R20260092 for **613 Prince George Street**, submitted by **Janine Shaffer**. Request to repaint trim on house in kind colors.

8. Adjourn

Margie McCeney, Chair
Marlene Fraizer, Vice-Chair
Brencis Smith, Council President
Mary-Eileen Leszcz
Nancy Steinecke
Oscar De La Puente
Lakisha Muhammad



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EIGHT HUNDRED NINETY FIRST MEETING TUESDAY – MAY 19, 2026– 6:00 P.M. MINUTES

This meeting was conducted virtually via Zoom

Convened: 6:00 P.M. **Adjourned** 6:28 P.M.

Commissioners Present:

Council President Smith
Margie McCeney, Chair
Marlene Frazier, Vice-Chair
Mary Eileen Leszcz
Oscar De La Puente
Lakisha Muhammad

Staff Present:

Jay Meashey, Director, ECD
Raven Nee, Deputy Director, ECD
Brooke Herring, Comm. Dev. Coord, ECD
Alexis Williams, Planner I, ECD
Adua Ansa, Administrative Assistant, ECD

Commissioners Absent: Zero (0)

Citizens Present: Four (4)

Chairwoman, McCeney called the meeting to order at 6:00 p.m. and read the opening statement.

Chairwoman McCeney asked for a roll call. Six (6) Commissioners answered present, constituting a quorum.

Chairwoman McCeney asked if there were any questions or corrections to the minutes from the regular HDC meeting held on March 17, 2026. There were none.

Ms. Leszcz moved to approve of the minutes as presented, with Ms. Frazier seconding the motion. With that Chairwoman McCeney asked for a roll call vote. Motion was approved unanimously. Motion carried.

Chairwoman McCeney proceeded to ask if there were any questions or corrections to the minutes from the regular HDC meeting held on April 21, 2026.

Ms. Frazier initially moved to approve of the minutes as presented, with Mr. Smith seconding the motion. Chairwoman, McCeney requested a roll call vote. The majority present voted 'Yes'; however, Chairwoman McCeney abstained due to her absence from the April 21, 2026, regular HDC meeting. Motion carried.

HDC-R2026-0081 for 322 Main Street, submitted by **Mr. Donald Thompson** seeking approval to update the existing awning signage with new wording.

Ms. Williams, Planner I, ECD stated the existing signage reads 'Driscoll Law Group Workers Compensation Disability Law 322 Maine and Downs Law Firm PC, Estate Planning and Administration'. The proposed wording will read K&T Security Services 322 Maine and Downs Law Firm PC. The existing sign frame will remain unchanged at approx. 60ft wide by 52 inches tall with a 24-inch projection and 18inch awning vinyl. The sign will remain black with white lettering. Staff recommended the HDC to approve certificate number.

Chairwoman, McCeney asked if there were any questions or comments. There was no major discussion.

On a motion by Mr. De La Puente seconded by Council President Smith, the application for 322 Main Street was approved on (6) six affirmative votes.

HDC-R2026-0089 for 114 St. Mary's Place, submitted by **Mr. Michael Lafleur** was present and seeking approval to replace existing three-tab shingle roofing.

Ms. Williams, Planner I, ECD stated the applicant was seeking approval to install roofs on four buildings located on property, to replace the existing three-tab shingle roofing located on the church rectory connector hallway and shed. The current shingles are in the color dark charcoal and oyster gray. The proposed replacement shingles will be a 30-year gaff architectural, considering colors charcoal slate, pewter gray or oyster gray. The final color selection will be determined based on feedback from the parishioners, the ADW and the HDC. Staff recommends the HDC approve certificate number. Chairwoman McCeney asked if there were any questions or comments. Applicant then commented that they are leaning towards charcoal as the final color because it matches the current roof, which would help the historic value of the property. Mr. De La Puente commented that the applicant would have to notify HDC about the color to get approved. Chairwoman, McCeney followed up by asking if it would be okay to approve all three colors and just let the parishioners decide which color out of the three, they would like, Mr. De La Puente agreed with her comment.

On a motion by Ms. Leszcz seconded by Mr. De La Puente, the application for 114 St. Mary's Place was approved on (6) six affirmative votes.

HDC-R2026-0091 for 613 Prince George Street, submitted by **Ms. Janine Shaffer** was present and seeking approval to replace the existing wood porch floorboards.

Ms. Williams, Planner I, ECD stated the applicant was seeking approval to replace the existing wood porch floorboards with Trex composite decking in the color Rocky Harbor. The existing wooden railings will be replaced with Trex composite railings in white. The new railings will be attached to the existing wood post and painted to match the existing color Parisian painter by Sherwin Williams. Staff recommends the HDC approve certificate number.

Chairwoman McCeney asked if the applicant was present. The applicant, Ms. Shaffer, added that in her application she also requested that the trim around the front windows of the house be replaced and repainted the same color, staff confirmed that it was submitted as a staff approval since it wasn't considered a change, applicant should be receiving certificate of approval. Chairwoman McCeney asked if there were any questions or comments. Mr. De La Puente commented that based on the picture the applicant submitted, the railing system would still retain its modern look.

On a motion by Ms. Leszcz seconded by Ms. Frazier, the application for 613 Prince George Street was approved on (6) six affirmative votes.

HDC-R2026-0090 for 109 Brashears Street. The applicants, **James and Monica Hyde**, were present and seeking approval for drainage, landscaping and lighting.

Ms. Williams, Planner I stated the applicant was seeking to install a rain garden, solar caps on fits and replace shrubs, drainage landscaping, straining and lighting modification to improve storm water management and safety at the property. The proposed work includes installation of a rain garden system along the rear property line of a 1-ft high rock wall garden designed to intercept and redirect rainwater runoff from the uphill neighboring property, it will direct storm water northward and away from the home's foundation into a gravel drainage area, allowing water to infiltrate into the soil. Drainage improvements include installation of a drywall located at the lowest point of the rear corner of the property approx. 4ft from the foundation. The drywall will consist of 2ft-by-2ft gravel field drainage intended to filter overflow water and allow for gradual infiltration into the ground. During storms, overflow will be captured by a drainage pipe connected underground to the rain garden system down slope. Minor grading is proposed along the front and north side of the property to improve drainage away from the foundation and reduce areas of standing water. Native plants will be reseeded following completion of work. Proposed the relocation of trash, recycling and compost bins. A white movable privacy fence will be installed to stream the bins from public view and minimize permanent visual impacts to the site. Landscape modifications include removal and replacement of four non-native small shrubs. The replacement species summer sweet. The applicant also proposed installation of non-solar power fence cap lights to help pedestrian and vehicular visibility and safety. No changes to the height or footprint of existing fence. Staff recommend the HDC approve certificate number.

Chairwoman McCeney welcomed applicants, James and Monica Hyde. Mr. Hyde also briefly explained the project and confirmed that the proposed installations and modifications will still retain the historic aesthetic of the property. Chairwoman McCeney asked if there were any questions or comments.

On a motion by Mr. De La Puente seconded by Ms. Frazier, the application for 109 Brashears Street was approved on (6) six affirmative votes.

Chairwoman McCeney commented that a tax credit was approved and there were some staff approvals, she also stated that Ms. Steinecke resigned and thanked her for her service to HDC. Staff introduced the new ECD Administrative Assistant, Ms. Adura Ansa, who will be taking over the support role for the Commission. Chairwoman McCeney then thanked everyone present at the meeting. There was no further discussion.



MAYOR AND CITY COUNCIL OF LAUREL
DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

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AGENDA ITEM NO. 1

TECHNICAL STAFF REPORT

DATE: June 3, 2026
TO: City of Laurel Historic District Commission
FROM: Alexis Williams, Planner I
CASE: Certificate of Approval No. HDC R20260088

GENERAL INFORMATION

APPLICANT: William Rice
318 Prince George Street
Laurel, MD 20707
OWNER: Same as applicant
LOCATION: 409 Prince George St.
Laurel, MD 20707
PURPOSE: Requesting retroactive approval to remove tree.
REQUESTED ACTION: Approval of Certificate No. HDC R20260088
ZONE: R-55 (One Family Detached)
CONTRIBUTING: Yes

ZONING ANALYSIS:

The applicant is seeking Historic District Commission (HDC) approval for the removal of an existing Holly tree located on the property to facilitate a required electrical service upgrade to the home. The project includes installation of a new electrical service line extending from the existing utility pole to the residence, as well as the installation of a new electric meter on the exterior of the home.

The existing Holly tree is located directly within the path of the proposed overhead electrical service line and must be removed to allow for safe installation of the new service. The removal has been identified as necessary by both the licensed electrician performing the work and BGE.

To mitigate the loss of the existing tree, the applicant proposes to plant a new Burberry Holly tree on the property following the completion of the electrical work. The replacement tree will maintain the property's landscape character while allowing the required utility improvements to proceed.

DESIGN GUIDELINES EXCERPT:

Sec. 20-26.19. - Landscaping.

The Historic District Commission requires the submission of a detailed scaled landscape plan prior to final approval of the plans for new construction, including additions.

(b) Commission approval is required for major landscaping design, or reconfiguration on sites that have been declared historic by inclusion as a historic site on the national or state register, declared individually a historic site by action the Mayor and City Council, or tree removals that do not meet the criteria of subsection (c). Any tree removed shall be replaced on the same lot. The HDC encourages the replacement to be a native tree.

(c) Minor landscaping for small shrubs or flowers and routine landscaping maintenance such as mulching or pruning of trees (up to thirty-three (33) percent of the tree mass) does not require Commission approval. Removal of any dangerous or diseased landscaping or trees does not require Commission approval so long as the request is accompanied with a letter from a certified arborist or Maryland Licensed Tree Expert certifying that the tree to be removed is, in fact, sufficiently diseased and/or dangerous to justify removal of the tree. The staff and the City will review these materials to ensure, in their sole judgment, that they meet the above criteria. A tree that is removed shall be replaced by another tree on the same lot, unless the balance of landscaping on said lot is found by the Historic District Commission to be adequate without a new tree. The HDC encourages the replacement to be a native tree. The Director of Economic and Community Development shall approve any requests for removal of trees or shrubs that meet the criteria of subsection (c), in its sole judgment. The removal of diseased and dead trees is encouraged by the HDC.

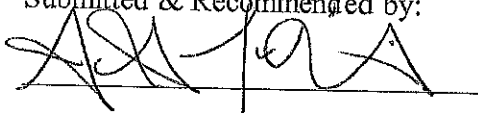
ATTACHMENTS:

1. Photo of property with current Holly tree outlined
2. Aerial view of property.

RECOMMENDATION:

The proposed actions requested by the applicant appear to meet the requirements established in the City of Laurel's *Unified Land Development Code*, including the design criteria listed in the *Design Guidelines of the City of Laurel Historic District Commission*. Staff recommends the Historic District Commission **APPROVE** Certificate No. HDC R20260088.

Submitted & Recommended by:

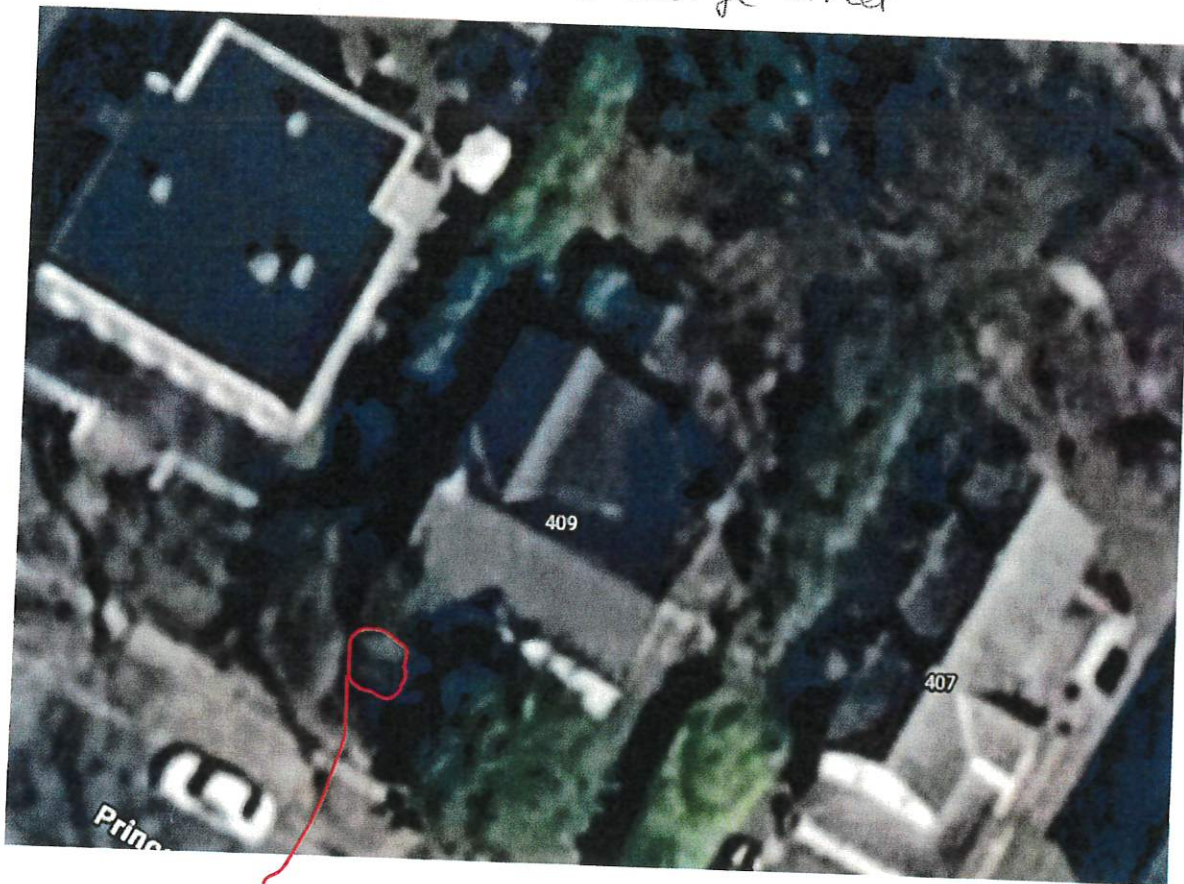
A handwritten signature in black ink, appearing to read 'Alexis Williams', written over a horizontal line.

Alexis Williams, Planner I

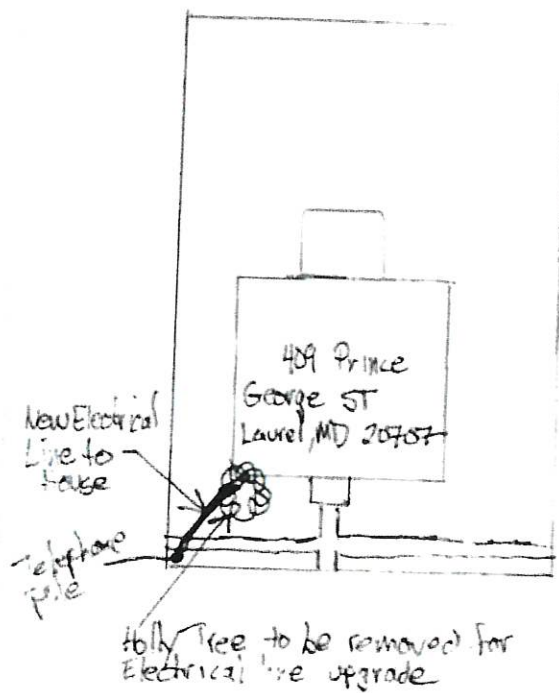
409 Prince George Street



409 Prince George Street



Holly Tree to be removed





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This authorization does not by its issuance preclude or replace permits required by other departments or agencies. Please familiarize yourself with the Historic District Guidelines provided at <https://www.cityoflaurel.org/boards/commissions/historic-district-commission>

HDC CERTIFICATE OF APPROVAL APPLICATION

STEP 1: FOR APPLICANT TO COMPLETE

DATE OF APPLICATION: 04/29/26

ADDRESS OF PROPERTY: 409 Prince George ST., Laurel, MD 20707

OWNER'S NAME, ADDRESS, PHONE & EMAIL:

William Rice
318 Prince George ST Laurel, MD 20707
(301) 520-7425
86brooke0405@gmail.com

WORK DESCRIPTION, BE SPECIFIC: Attach extra paper if space is inadequate.
Photos and supporting documents must accompany this application.

CIRCLE ONE: Replace or New

DESCRIBE CURRENT CONDITION (color, material & style):

Tree is currently blocking view of left side of house, also blocking windows. Tree has grown up against the house. Electrical wires run from telephone pole to house where the lines now run through the branches and along the line to the meter.

DESCRIBE PROPOSED WORK (color, material & style):

Proposed plan is to trim around wires, then have the tree removed. This will allow electrician and BGE to work unhindered by the tree blocking safe access to the tree in the way. This will also allow the beautiful house behind the tree to be seen. Electricians and power supply workers will be able to work safely. Holly Tree will be replaced by a burberry holly tree and will be trimmed regularly so as to not block the view of the house.

CONTRACTOR'S NAME, ADDRESS, PHONE AND EMAIL:

Tristar Electric
2979 Jessup Rd., Jedssup, MD 20794
(410)799-5791
service@tristareletric

APPLICANT'S NAME, ADDRESS, PHONE AND EMAIL:

William Rice
318 Prince George ST Laurel, MD20707
(301) 520-7425
86brooke0405@gmail.com

TYPE OF REQUEST (Check all that apply):

Sign _____ Tree Removal ☒ Shutters _____
Shed _____ Roof _____ Windows _____ Paving _____
Fence _____ Garage _____ Porch _____ Paint _____
Addition _____ Demolition _____ Other _____

FOR SIGNS OR AWNING REQUESTS, FILL THIS SECTION TOO

FLATWALL _____ PROJECTING _____

SIGNBAND _____ FREESTANDING _____

(Details) SIZE: _____

MATERIAL: _____

MESSAGE: _____

COLORS: _____

LIGHTED SIGN YES OR NO _____

IF YES, TYPE HOW: _____

X

William B Rice

SIGNATURE OF APPLICANT

04/29/2026

DATE

*Please be advised Commissioners or city staff may visit the subject property prior to the scheduled meeting to familiarize themselves with the project.
*Approvals are only valid for (1) one year. *The applicant or an authorized representative should plan to attend the Historic District Commission meeting to address any questions or concerns regarding the project. Approvals should be posted in a window until all the work is completed.

STEP 2: FOR CITY STAFF TO COMPLETE

CONDITIONS/COMMENTS _____

Meeting Date: _____

☐ Yes ☐ No Staff Approval

☐ Yes ☐ No Work started *without* Approval?

☐ Yes ☐ No Qualifies for Tax Credit?

☐ Yes ☐ No Building Permit Required?

☐ Yes ☐ No Public Notice Sign Required?

TAX ID (ACCOUNT) #: _____

PERMIT NUMBER: _____



MAYOR AND CITY COUNCIL OF LAUREL
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AGENDA ITEM NO. 2

TECHNICAL STAFF REPORT

DATE: June 5, 2026
TO: City of Laurel Historic District Commission
FROM: Alexis Williams, Planner I
CASE: Certificate of Approval No. HDC R20260105

GENERAL INFORMATION

APPLICANT: Elizabeth Welsh
412 Montgomery Street
Laurel, MD 20707

OWNER: Same as applicant

LOCATION: 412 Montgomery Street
Laurel, MD 20707

PURPOSE: Requesting approval to construct a second-story addition on property.

REQUESTED ACTION: Approval of Certificate No. HDC R20260105

ZONE: R-55 (One Family Detached)

CONTRIBUTING: Yes

ZONING ANALYSIS:

The applicant is seeking Historic District Commission (HDC) approval for a rear addition to the existing property. The proposed work consists of constructing a second-story addition above the existing one-story kitchen area at the rear of the home to create an additional bedroom on the second floor and provide additional attic space within the third-floor level. The addition is located over an existing portion of the structure and has been designed to integrate seamlessly with the exiting dwelling.

The addition has been carefully designed to match the existing residence and maintain architectural consistency throughout the structure. Exterior materials and finishes will be identical or closely compatible with the existing home, including Glacier White Vinyl siding, GAF Timberline HDZ roof shingles in Williamsburg Slate, 6-inch seamless white aluminum gutters, and 6-over-1 double-hung windows in Country Redwood. These materials have been selected to ensure that the addition appears as a natural extension of the existing home and preserves the architectural integrity of the property.

DESIGN GUIDELINES EXCERPT:

Sec. 20-26.21. - New construction.

(a) Generally. The unique character of the City of Laurel Historic District has evolved over one hundred-years. By introducing new elements to the streetscapes, new construction has the potential to make immediate and lasting changes to the character of the Historic District. New construction should express its contemporary nature, while relating visually to the historic resources which surround it. Structures in the Historic District represent many architectural styles. Designs should be compatible with the existing structures.

The design of a new building in the Historic District must be sensitive to its environment, and should capitalize on those features which create the historic character of the district. The densely developed nature of the Historic District requires that the visual effect of new construction must be considered not only in relationship to the immediately adjacent structures, but also with regard to the broader context of the streetscape and block. Issues to be addressed in design development include rhythm, site features and landscaping, setback, spacing, height, scale, massing, facade and openings (proportion, size, detailing), materials, texture, and roof forms.

(b) Streetscapes. Streetscapes have characteristic patterns, which are created by the site, spacing, and proportions of buildings, the organization of facades and architectural details. In planning for new construction, these patterns, or rhythms, should be analyzed and incorporated into the design.

(1) Additions to structures. Contemporary additions to historic buildings require special care and sensitivity in design. The addition should respect the existing building and materials, and generally should remain distinct from the original structure and have its own design integrity.

(2) New additions should be planned and executed in a manner that preserves integrity of the existing building and its environment. Significant historic architectural fabric or detailing should not be removed, destroyed, or obscured by new additions.

(3) The size, scale and massing of the addition should be compatible with the original building and surrounding structures. Additions should be subordinate to the original building in height, scale, massing, and detail.

(4) Additions should be fully integrated with the existing construction, but should remain clearly distinguishable from the original building. A slight offset between the old section and the new, a subtle change in materials, or a vertical joint or trim element can accomplish this.

(c) Site features and landscaping. Other site features should be compatible to the surrounding streetscape in materials and design. New parking areas and garages should be located on the site in a manner that is sensitive to the surrounding properties and the general streetscape, including the possible use of landscaping or other screening features. Paving materials and design should be appropriate to the historic context.

(d) Setback. New construction should provide a setback that is sensitive setback of adjacent structures, and structures in the neighborhood.

(e) *Spacing.* The spatial relationships among existing buildings on a block and neighborhood suggest an appropriate width and spacing for new construction in the Historic District.

(f) *Height.* The eave or cornice lines of existing buildings on a particular street define a range of heights. New construction should remain within this range of heights in order to achieve the goal of compatibility with surrounding structures.

(g) *Scale.* The size and proportion of doors, windows, details, etc., are related to each other and to the spaces between them. New construction should be consistent in scale with surrounding buildings and their elements.

(h) *Massing.* New construction should continue the pattern of massing, if any, of adjacent and neighboring structures.

(i) *Facade and openings (proportion, size, detailing).* New facades should be compatible with historic buildings in proportion and relationships to wall area and openings. Windows and door openings should correspond to the rhythm and proportion that exist on neighboring structures. Generally, doors and windows are proportioned vertically. The total area of windows on a residential facade should be in a range of twenty-five (25) percent to forty (40) percent of the total surface area. In buildings with commercial uses on the first floor, the area of ground floor openings should be in the range of sixty-five (65) percent to seventy-five (75) percent, to correspond with traditional storefront organization.

Further detailed information regarding doors and entrances, and windows can be found in Section 20-26.14, Doors and entrances, and Section 20-26.24, Windows, respectively of these guidelines.

(j) *Materials.* Materials for new construction should be selected from among those that are typical of surrounding buildings, and should be compatible with existing materials in color and texture. Brick masonry and wood frame are the predominant construction methods in the Historic District.

Brick color, texture, and bonding pattern should be compatible with those seen in surrounding buildings. Brick veneer may provide a less expensive alternative to masonry construction.

(k) *Siding and trim.* New construction may employ a variety of wood or composite material with a wood style design for trim and siding profiles. Siding should have a smooth finish profile that is compatible with existing buildings in the neighborhood.

The use of synthetic siding materials, such as aluminum or vinyl, is discouraged on the primary facade of a new building. Synthetic siding is acceptable on secondary elevations (side or rear) where the synthetic material will not be readily visible from a public way. In this application, siding must have a profile that is compatible with existing buildings in the neighborhood.

New construction should avoid the use of the following as wall materials or finishes: asbestos, reflective glass, unparged or unpainted concrete block, split-faced concrete masonry units, porcelain coated metal panels, permastone, formstone, and fiberglass.

(l) *Roof form and materials.* The profile of roofs against the sky is an important aspect of the character of streetscapes in the Historic District. A variety of roof styles contribute to this effect, including gable, shed, hip and flat forms. The roof on a new building should conform with the predominant form, orientation, and height of roofs on the street. The preservation and in kind replacement of metal roofs is strongly encouraged.

Many buildings in the Historic District have complex roofs made up of the primary form of the main roof and the secondary forms of roofs on additions, porches, entries, etc. This variety is an important, traditional characteristic which may be incorporated into the design of new buildings. Some of the gable-roofed buildings in the Historic District have dormer windows. This traditional architectural element may be incorporated into a contemporary design. Dormers should remain a minor design feature and should not dominate the roof slope and elevation where they appear; they should be aligned with the facade windows or located between the openings below. The pitch of dormers should repeat that of the main roof. Shed dormers should only be used on roof slopes not visible from the street.

Skylights may be incorporated into new construction, but must be designed with special care as these elements can disrupt the continuity of the roofscape along the street. They should be located on secondary elevations not readily visible from the public way, and should be carefully integrated into the overall roof form.

For more information on roof form and materials, refer to Section 20-26.28, Roofs and roofing, of these guidelines.

(m) Mechanical equipment. The type and location of new heating and cooling equipment and other mechanical devices should be carefully planned in new construction, as these elements can detract from both the building and its surroundings. Rooftop mechanical unit's television and radio antenna and satellite dishes should not be visible from the public way unless permitted under current FCC Regulations. If it is not possible, they should be screened and/or painted to blend with the building.

If required by Zoning Regulations electrical, telephone and cable service is required to be placed underground. Permanent mechanical equipment, including but not limited to air conditioner units, fuel tanks, gauges and meters, and through-the-wall systems are discouraged on the front facade. Portable equipment, such as window units are permitted.

Mechanical systems should be placed on the side or rear of the structure. Screening features such as fencing and landscaping should be incorporated into the installation.

ATTACHMENTS:

1. Photo of front of property
2. Drawings of addition

RECOMMENDATION:

The proposed actions requested by the applicant appear to meet the requirements established in the City of Laurel's *Unified Land Development Code*, including the design criteria listed in the *Design Guidelines of the City of Laurel Historic District Commission*. Staff recommends the Historic District Commission **APPROVE** Certificate No. HDC R20260105 with the following conditions:

1. The Applicant must obtain all applicable City of Laurel Building Permits.

Submitted & Recommended by:

A handwritten signature in black ink, appearing to read 'Alexis Williams', is written over a horizontal line.

Alexis Williams, Planner I

412 Montgomery Street

Laurel, Maryland
Google Street View
Sep 2022 See more dates



Google Maps

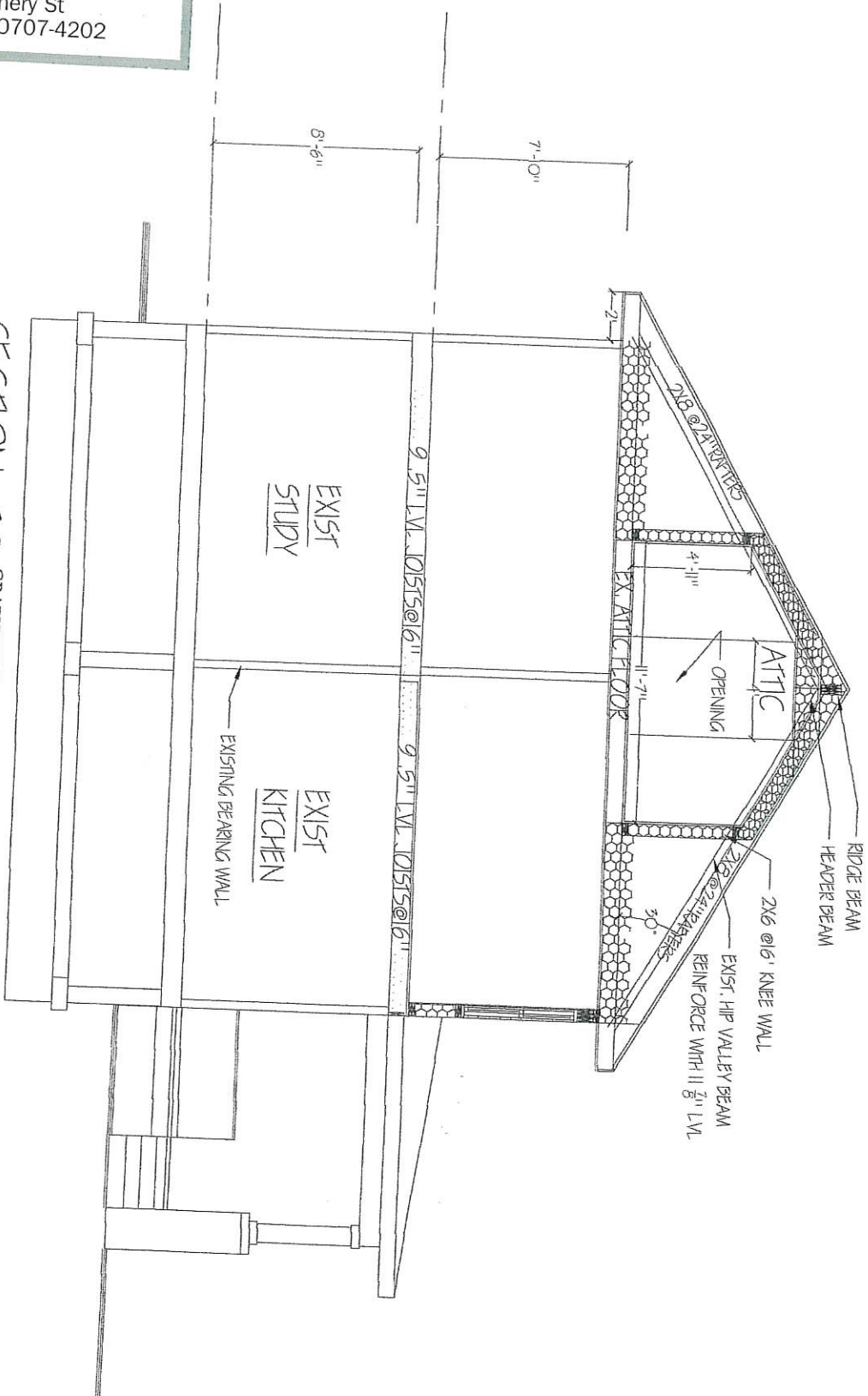
Image capture: Sep 2022 © 2026 Google





Elizabeth Welsh
412 Montgomery St
Laurel, MD 20707-4202

SECTION CC
GRAPHIC SCALE
0 1' 5'



Sheet Number
A9

Revisions	No.	Date	Revisions

ADDITION AND INTERIOR ALTERATIONS TO AN EXISTING SINGLE FAMILY RESIDENCE
412 MONTGOMERY ST.
LAUREL, MARYLAND 20707

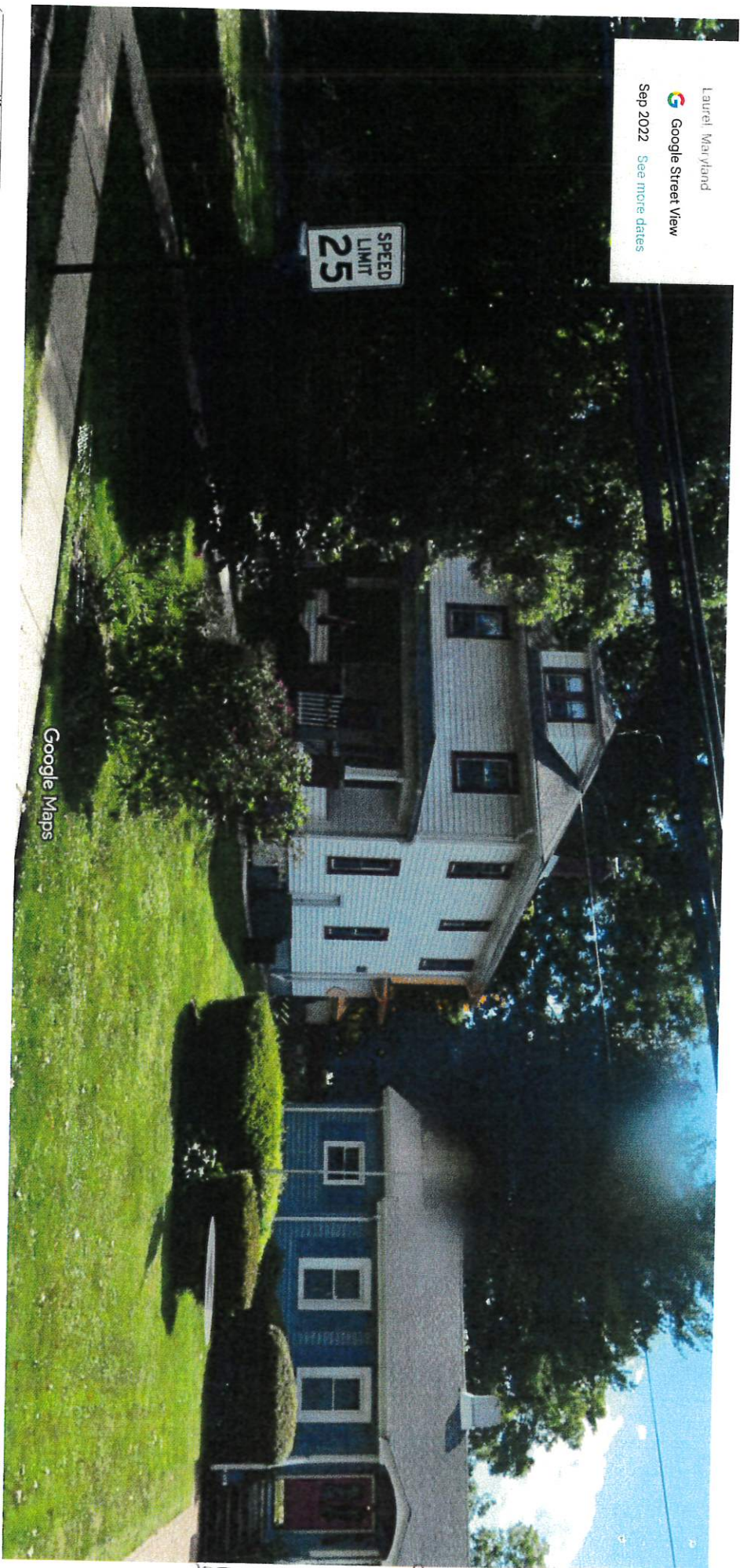


DANIELS & ASSOCIATES
ARCHITECTS, LTD.



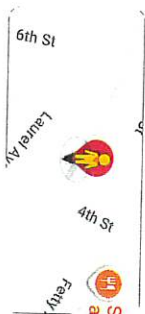
1113 Ivy Hill Road
Brent Valley, MD 21020
Suite #100
(410) 860-3598

Laurel, Maryland
Google Street View
Sep 2022 [See more dates](#)



Google Maps

Image capture: Sep 2022 © 2026 Google

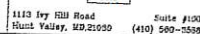


Bottom highlight is
garage in back of
house.

412 Montgomery Street



LATE, AFTER 45 80702



A1

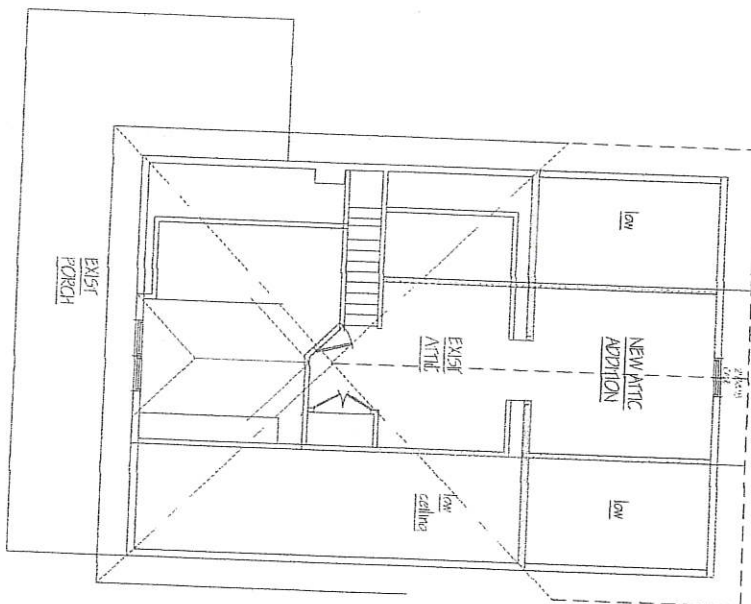
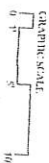
7



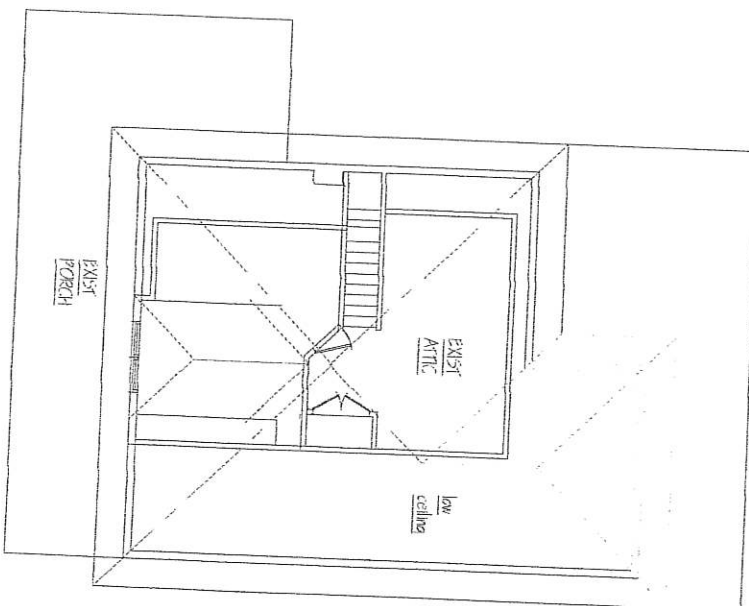
Elizabeth Welsh
412 Montgomery St
Laurel, MD 20707-4202

7

PROPOSED
ATTIC / ROOF FLOOR PLAN



EXISTING
ATTIC / ROOF FLOOR PLAN



A6

Sheet Number	A6
Scale	1/4" = 1'-0"
Attic Plans	
Attic	
Roof	
Stairs	
Other	
Revised	
By	
Date	
Reference	

412 MONTGOMERY ST.



DANIELS & ASSOCIATES
ARCHITECTS, LTD.

1115 Ivy Hill Road
Brent Valley, MD 21030
Suite #100
(410) 560-2558

9



Elizabeth Welsh
412 Montgomery St
Laurel, MD 20707-4202

9



ADDITION AND INTERIOR REVISIONS TO AN EXISTING SINGLE FAMILY RESIDENCE 412 MONTGOMERY ST. SCALE: GRAPHIC SCALE			DANIELS & ASSOCIATES ARCHITECTS, LTD. 1113 Ivy Hill Road Brent Valley, MD 21030 (410) 659-3558
DATE: 12-22-18 REVISION: NO. DATE REVISION	DRAWING TITLE: SECTION AA SCALE: 1/2"=1'-0" DRAWING NUMBER: A7		



Elizabeth Welsh
412 Montgomery St
Laurel, MD 20707-4202



OnTarget Remodeling

2410 Mill Branch Rd. • Bowie, MD 20716 • Phone: (301) 356-3297

Betsy Welsh

Cell: +13472370990

Job Address:

412 Montgomery St.

Laurel, MD 20707

Print Date: 4-25-2026

Proposal for Welsh Bedroom Addition (1)

We propose to furnish and install the following:

See Breakdown Below...

On Target Remodeling will provide all labor and materials unless otherwise noted in breakdown below.

-Customer to provide all permits and architectural drawings.

-Customer to provide payment for any architectural or engineering consultation during work if required.

On Target Remodeling will clean and haul all debris and maintain a clean worksite on an ongoing basis.

All work to follow attached/approved architectural drawings.

Approximate date when work will begin is **ASAP** and approximate date when work will be substantially completed is **15 weeks**.

Payment Schedule: (ACH or Check Payment required)

30% Deposit upon signing and permit submittal.

30% upon completion of framing & roofing.

25% upon drywall & MEP rough-in.

10% upon substantial completion.

Bedroom Addition

Scope Summary

2nd Floor Addition: New 392 SF bedroom + full bathroom (including new attic space above).

Porch Roof Replacement: 62 SF new roof structure and finishes on back porch

Structural Upgrades: New LVL joists, roof trusses, beams, posts, and temporary shoring as required by stamped engineering (S1-S2).

Exterior & Interior Finishes: Full match to existing home (roofing, trim, windows, gutters). 6" Alsided Prodigy Clapboard insulated siding.

Total New/Modified Area: Approximately 532 SF.

Compliance: All work per 2021 IECC (Climate Zone 4A), 2021 IRC, Maryland Residential Code, local Laurel/Prince George's County requirements, and the customer provided plans & engineering.

The project transforms the existing 2-story single-family home with a seamless, code-compliant second-floor addition while preserving the original character.

Detailed Scope of Work

1. Demolition & Site Protection (1 week)

Selective removal of existing roof sections, rafters, metal posts, and roof structure over the addition footprint (see A5, A6, A7, S1).

Removal of existing porch roof (62 SF).

Removal of any interior walls/framing noted as "REMOVE EXIST" on plans.

Protection of existing home, landscaping, and neighboring properties with tarps, plywood, and fencing.

Legal disposal of all debris at approved facility.

Temporary shoring and bracing per engineer's requirements.

2. Structural & Framing (2-3 weeks)

Install new 9½" LVL joists @ 16" OC for the bed addition floor (S1).

New 2×6 @ 16" OC walls for the new attic/bedroom addition (R-20 batt insulation, Tyvek, ½" sheathing).

New roof trusses @ 16" OC, ridge beam, header beam, 2×6 outriggers, and knee walls per S1 & A7-A9.

New 6×6 posts (Azek-wrapped), 4×4/4×6 posts to basement, and 8×8 brick pier for porch support (A7).

New 2×8 box beam and 2×6 gable wall where shown.

All connections, bracing, and sheathing per Plowden Engineering drawings S1-S2 and wood truss notes.

Lateral bracing and hold-down anchors as detailed.



Wels...

:

Bedroom Addition Continued

5. Mechanical, Electrical & Plumbing (MEP – integrated throughout)

Plumbing: New supply, waste, and vent lines for bathroom fixtures; tie into existing system.

Electrical: New circuits from existing panel, high-efficacy LED lighting, GFCI outlets, smoke/CO detectors, and switches per 2021 code (A1).

HVAC: Install 1 new 2 zone Mitsubishi out door unit. Install 1 ductless indoor Mitsubishi unit in kitchen. Install ducted indoor Mitsubishi unit and ductwork to addition (bedroom, bathroom, small room by attic stairs, new attic space)

Install all refrigeration tubing line sets needed to install all equipment. Install thermostat control wiring and thermostats for installed equipment. Pull all required mechanical permits.

6. Final Finishes, Cleanup

Interior and exterior paint touch-up to blend seamlessly.

Thorough cleaning and debris removal.

Final punch-list walkthrough with homeowner.

Materials & Quality Standards

(Provided by On Target Remodeling)

All lumber, LVL, trusses, and connectors per S1-S2 notes and IRC 2021.

Insulation, vapor retarder, and air barrier per A1 code compliance section.

Siding 6" Aside Prodigy Insulated Clapboard Siding, roofing, windows, and trim: exact match to existing (field-verified).

Exterior Double Hung Vinyl Windows by ProVia or equal.

Fixtures & finishes: (Provided by On Target Remodelling) Budget Indicated below:

Bedroom and Attic Flooring: 2-1/4" Hardwood stained and finished to match existing as closely as possible.

Bathroom Tile: Customer selected tile \$5.00 SF

Bathroom Vanity: Customer selected Double Vanity \$1800

Shower Faucet: Customer selected \$350

Shower Glass \$2000

Toilet \$350

Bath Fixtures, i.e. roll hoder, towel bars, mirrors and lighting \$950

Interior Doors - 5 panel solid stain grade (stain to match existing).

Interior Trim - Stain grade to match existing.

Recessed LED lighting in bedroom, attic and bathroom.

Panasonic Bath Exhaust fan ducted to exterior with heat/vent/light/nightlight.

unusually bad weather. On Target Remodeling guarantees that all materials furnished by it will be of standard quality, and will be installed or applied in a workmanlike manner and in accordance with standard practice. Any change orders or modifications will be initiated only with a signed change order showing adjustment in the price.

NOTICE – All home improvement contractors must be licensed by the Home Improvement Commission. Inquiries about a contractor should be transmitted to the Home Improvement Commission. (410) 333-6309.

BUYERS RIGHT TO CANCEL

"You, the buyer, may cancel this transaction at any time prior to midnight of the fifth business day or seventh business day if the buyer is at least 65 years old, after the date of this transaction. See notice of cancellation [CLICK HERE](#) for an explanation of this right."

"Digital Signature of Document indicates buyer acknowledges right to cancel as described above."

Owner:

Michael Locher

(301) 356-3297

Mike@OnTargetRemodeling.com

License Numbers: MHIC 135929 DC 420219000123

I confirm that my action here represents my electronic signature and is binding.

Signature:

Date:

Print Name:

412 Montgomery Street

On Tuesday, May 5, 2026, 3:02 PM, Michael Locher <Mike@ontargetremodeling.com> wrote:

Here is the list of materials for the exterior: All materials to match existing on home.

Siding: Alside Prodigy Double 6" Clapboard insulated siding in Glacier White

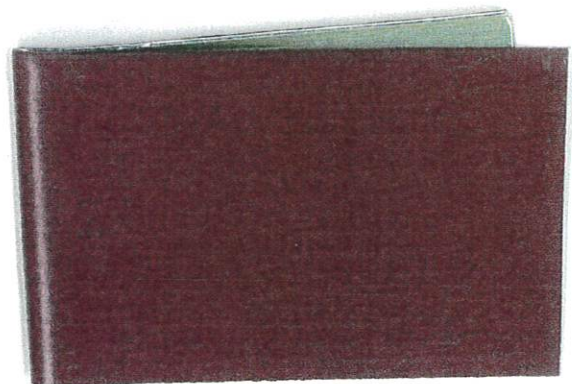
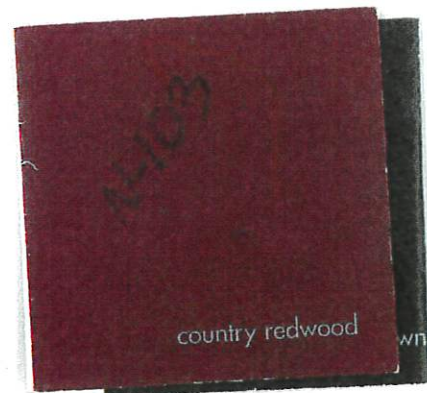
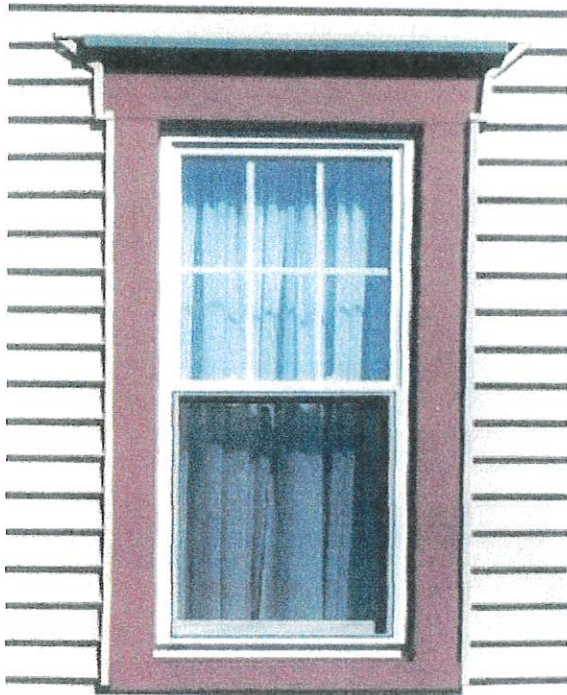
Soffits: Alside Charter Oak Triple 3" hidden vent in Glacier White

Trim Coil on Windows: Alside G8 Performance .019 trim coil in English Red.

Shingles: GAF HDZ Timberline in Williamsburg Slate

Gutters: 6" Seamless aluminum in white

Windows: Pro Via Aspect Vinyl Double Hung (Sample of window ONLY)





CITY OF LAUREL HISTORIC DISTRICT COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • (301) 725-5300 • Fax (301) 490-5068 ecd@laurel.md.us

This authorization does not by its issuance preclude or replace permits required by other departments or agencies

HDC CERTIFICATE OF APPROVAL APPLICATION HDC-R20260105

STEP 1: FOR APPLICANT TO COMPLETE

DATE OF APPLICATION: 11 May 2026

RECEIVED
CITY OF LAUREL, MARYLAND

TYPE OF REQUEST (Check all that apply):

ADDRESS OF PROPERTY:

412 Montgomery ST

Laurel Md 20707

MAY 12 2026

DEPARTMENT OF ECONOMIC &
COMMUNITY DEVELOPMENT

Sign ☐ Tree Removal ☐ Shutters ☐ Shed ☐
Roof ☐ Windows ☐ Paving ☐ Fence ☐
Garage ☐ Porch ☐ Paint ☐ Addition ☒
Demolition ☐ Other: ☐

WORK DESCRIPTION:

OWNER'S NAME, ADDRESS, PHONE & EMAIL:

Elizabeth Welsh

412 Montgomery ST Laurel, Md 20707

347-237-0990

betsywelsh08@gmail.com

CONTRACTOR'S NAME, ADDRESS, PHONE AND EMAIL:

Michael Locher

2410 Mill Branch Rd Bowie, Md

301-356-3297

20716

Mike@ontargetremodeling.com

APPLICANT'S NAME, ADDRESS, PHONE AND EMAIL:

Same as owner

Please see next page.

construct an addition to rear of house. will match existing house. white vinyl siding + gray 3 tab roof shingles

*COMPLETE FOR SIGNAGE or AWNING REQUESTS ONLY:

(Check one)

FLATWALL ☐

PROJECTING ☐

SIGNBAND ☐

FREESTANDING ☐

(Details)

SIZE: _____

MATERIAL: _____

MESSAGE: _____

COLORS: _____

LIGHTED SIGN: _____

IF YES, TYPE: _____

6 over 2 windows also burgandy trim.

X Elizabeth K Welsh
SIGNATURE OF APPLICANT

11 May 2026
DATE

STEP 2: FOR CITY STAFF TO COMPLETE

☐ Yes ☒ No Staff Approval?

☐ Yes ☒ No Work started *without* Approval?

☐ Yes ☒ No Qualifies for Tax Credit?

☒ Yes ☐ No Building Permit Required?

☒ Yes ☐ No Public Notice Sign Required?

MEETING DATE: 6/16/26

TAX ID (ACCOUNT) #: _____

PERMIT NUMBER: _____

STEP 3: STAFF APPROVAL SIGNATURES

APPROVAL DATE: _____

CONDITIONS AND/OR COMMENTS: _____

HISTORIC DISTRICT COMMISSION _____

PLANNING AND ZONING _____



City of Laurel Historic District Commission

8103 Sandy Spring Road Laurel, MD 20707

phone (301) 725-5300 • fax (301) 725-5068

www.CityofLaurel.org • ECD@Laurel.MD.US

_____ THIS CHECKLIST MUST ACCOMPANY YOUR HDC APPLICATION

Please check the following fields in the checklist that are applicable to the Historic District Commission Application.

If you have multiple items on your application, you must provide the below documents for each item.

- | | |
|--|-------------------------------------|
| 1) Current Photo of the Property | ☒ |
| 2) Property Owner Permission Letter | ☐ |
| 3) Architectural Drawings | ☒ |
| 4) Structural Drawings or Designs | ☒ |
| 5) Mockup Designs | ☐ |
| 6) Brochures | ☐ |
| 7) Material Samples | ☐ |
| ~ A) Siding | ☐ |
| B) Paint Samples | ☐ |
| ~ C) Shingle Samples | ☐ |
| D) Color Palette | ☐ |
| E) Wood Samples | ☐ |
| F) Other | ☐ |

A) + C) match existing and previously approved b HDC

Please Read and Sign

If you or your representative (i.e. Contractor, Spouse, etc.) are unable to attend the Commission Meeting when your application is reviewed, approval may be delayed. The items on the checklist must be available to the Commission, or your Application could be delayed in being reviewed. The items on the Checklist must be provided 5 business days prior to your scheduled Commission Meeting.

YOUR SCHEDULED MEETING DATE IS: June 16, 2026

I UNDERSTAND THAT I HAVE THE RESPONSIBILITY TO COMPLETE THE SUBMITTED APPLICATION AS APPROVED BY THE HDC, AND THAT DEVIATION AND/OR NON-COMPLIANCE WILL RESULT IN ENFORCEMENT ACTION. I ALSO ACKNOWLEDGE THAT I HAVE RECEIVED A COPY OF THE CITY OF LAUREL HISTORIC DISTRICT COMMISSION GUIDELINES.

DEPENDING ON THE TYPE OF WORK THAT IS DONE, I MAY BE ELIGIBLE FOR A TAX CREDIT.

I HAVE READ AND UNDERSTAND THE ABOVE, AND HAVE A COPY FOR MY RETENTION.

Elizabeth K Gresh

Signature of Applicant or Representative

12 May 2026

Date

MAY 12 2026

DEPARTMENT OF ECONOMIC &
COMMUNITY DEVELOPMENT

Addition to back of 412 Montgomery St

We propose to expand the back bedroom on the second floor to include space over the existing first floor kitchen.

No part of the exterior on the south side of 412 will be visible from the Montgomery Street. 412 Montgomery St sits facing a private alley. The roof line will change. Only small portions on the east & west corners will be slightly visible from 407 or 413 Montgomery St. Those areas are highlighted in the photos.

As stated in our contractor's plan, all materials will match the existing home. The contractor's Scope & Summary on page 3 of his proposal includes this information.

Please see the following three pages for photos and details of materials.

Elizabeth K Welsh

12 May 2026



MAYOR AND CITY COUNCIL OF LAUREL
DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

8103 Sandy Spring Road • Laurel, Maryland 20707 (301) 725-5300 extension 2303

<http://www.cityoflaurel.org> • email – ecd@laurel.md.us Fax (301) 490-5068

AGENDA ITEM NO. 3

TECHNICAL STAFF REPORT

DATE: June 3, 2026
TO: City of Laurel Historic District Commission
FROM: Alexis Williams, Planner I
CASE: Certificate of Approval No. HDC R20260101

GENERAL INFORMATION

APPLICANT: Kevin Stroud
16919 Melbourne Drive
Laurel, Maryland 20707

OWNER: Same as Applicant

LOCATION: 515 Montgomery Street
Laurel, Maryland 20707

PURPOSE: Requesting approval to replace damaged roof.

REQUESTED ACTION: Approval of Certificate No. HDC R20260101

ZONE: R-55 (One Family Detached)

CONTRIBUTING: Yes

ZONING ANALYSIS:

The applicant is seeking Historic District Commission (HDC) approval to replace an existing roof that has sustained damage. The proposed work includes replacement of the existing shingles with new architectural shingles in the same Birchwood color as the existing roof. The proposed upgrade from standard asphalt shingles to a higher-quality architectural shingle will increase the roof's expected life cycle.

In addition to the roof replacement, the applicant proposes repair and replacement of existing metal flashing, trim, and gutters as necessary. All such components will be repaired in-kind.

DESIGN GUIDELINES EXCERPT:

Sec. 20-26.28. - Roofs and roofing.

(a) For repairs and replacements of existing structures, or roofing of new construction, the Historic District Commission considers the following:

- (1) Style (e.g., gambrel, gable, hip, shed, flat, authentic mansard);*
- (2) Material (e.g., standing seam metal, slate, wood shingles, asphalt or fiberglass shingles, rolled roofing, slag, hot mopped asphalt, tile);*
- (3) Details (dormers, gables, chimneys);*
- (4) Gutters and downspouts; and*
- (5) Color.*

(b) For existing structures, the Commission recommends replacement in-kind. The color of the material should be complementary/compatible to the other colors on the structure.

(c) Roofs on porches, accessory structures, and building additions should match those on the main or existing structure where possible.

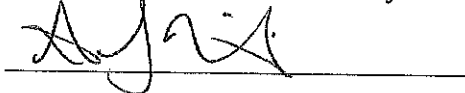
ATTACHMENTS:

1. Photo of front of property
2. Photo of proposed shingle style and color

RECOMMENDATION:

The proposed actions requested by the applicant appear to meet the requirements established in the City of Laurel's *Unified Land Development Code*, including the design criteria listed in the *Design Guidelines of the City of Laurel Historic District Commission*. Staff recommends the Historic District Commission **APPROVE** Certificate No. HDC R20260101.

Submitted & Recommended by:



Alexis Williams, Planner I

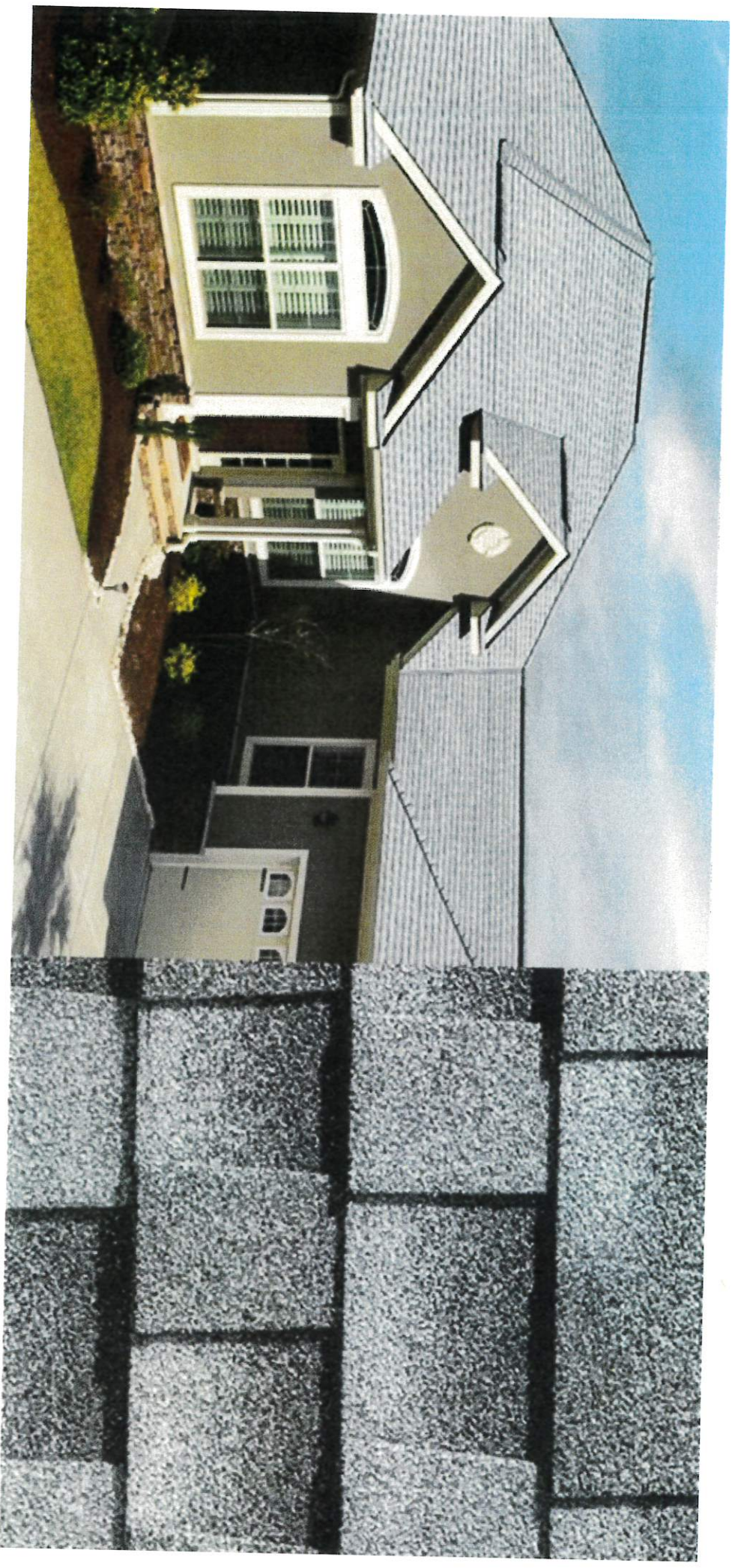


515 Montgomery Street

berline HDZ[®]

olors for any home. Backed by industry-first technologies and powerful warranties.

4.8 (19255) [WRITE A REVIEW](#)



Alacrity Solutions
A USAA Service Provider
PO BOX 33490
San Antonio, TX 78265
800-531-8722
6/21/2025

Insured: Lieutenant Commander Kevin Stroud
Home: 515 Montgomery St
Laurel, MD 20707-4264
Property: 515 Montgomery St
Laurel, MD 20707-4264

Cell: (301) 332-9713
E-mail: kjstroud@gmail.com

Claim Rep.: Jose Mauricio Gonzalez Russo
Business: 9725 Windermere Blvd
Fishers, IN 46037

Business: (571) 251-3338
Loss Email Address: 3j7v5lvddmb45@claims.usaa.com

Estimator: Jose Mauricio Gonzalez Russo
Business: 9725 Windermere Blvd
Fishers, IN 46037

Business: (571) 251-3338
Loss Email Address: 3j7v5lvddmb45@claims.usaa.com

Member Number: 005005576

Policy Number: 005005576-80A

L/R Number: 805

Type of Loss: Hail

Cause of Loss: Other

Insurance Company: UNITED SERVICES AUTOMOBILE ASSOCIATION

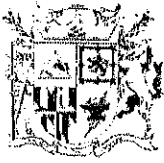
Coverage	Deductible	Policy Limit
Dwelling	\$500.00	\$711,000.00
Dwelling - Code Upgrade	\$0.00	\$0.00

Date Contacted: 6/19/2025 6:57 PM
Date of Loss: 6/18/2025 12:00 AM
Date Inspected: 6/20/2025 2:00 PM
Date Est. Completed: 6/21/2025 12:44 AM
Date Received: 6/19/2025 3:36 PM
Date Entered: 6/19/2025 6:41 PM

Price List: MDRO8X_JUN25
Restoration/Service/Remodel

Summary for Dwelling

Line Item Total	15,712.90
Material Sales Tax	197.58
Replacement Cost Value	
Less Depreciation	\$15,910.48
	(7,069.18)
Actual Cash Value	
Less Deductible	\$8,841.30
	(500.00)
Net Claim	\$8,341.30
Total Recoverable Depreciation	7,069.18



CITY OF LAUREL HISTORIC DISTRICT COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • (301) 725-5300 • Fax (301) 490-5068 ecd@laurel.md.us

This authorization does not by its issuance preclude or replace permits required by other departments or agencies. Please familiarize yourself with the Historic District Guidelines provided at <https://www.cityoflaurel.org/boards/commissions/historic-district-commission>

HDC CERTIFICATE OF APPROVAL APPLICATION

STEP 1: FOR APPLICANT TO COMPLETE

DATE OF APPLICATION: 5/13/2026

ADDRESS OF PROPERTY:

515 Montgomery Street

Laurel, Maryland 20707

TYPE OF REQUEST (Check all that apply):

Sign X Tree Removal _____ Shutters _____ Shed _____
Roof _____ Windows _____ Paving _____ Fence _____
Garage _____ Porch _____ Paint _____ Addition _____
Demolition _____ Other: _____

OWNER'S NAME, ADDRESS, PHONE & EMAIL:

Kevin Stroud
16919 Melbourne Drive
Laurel MD 20707
301-332-9713
kjstroud@gmail.com

WORK DESCRIPTION (Please be as detailed as possible):

Example: Request to repaint dark blue porch white. New color will be Pure White Sherman Williams #3245, see current photos & paint sample
Remove damaged roof and replace with Timberline HDZ® Shingles of color equivalent to those removed: "Birchwood" is closest. Also includes some repair/replacement of existing metal flashing, trim, and gutters with in-kind replacements. <https://www.gaf.com/en-us/roofing-materials/residential-roofing-materials/shingles/timberline-hdz>

CONTRACTOR'S NAME, ADDRESS, PHONE AND EMAIL:

The Roof Docs
8100 Boone Blvd Suite 400
Vienna VA 22182
703-239-3738
info@theroofdocs.com

***COMPLETE FOR SIGNAGE or AWNING REQUESTS ONLY:**

(Check one)

FLATWALL _____

PROJECTING _____

SIGNBAND _____

FREESTANDING _____

(Details)

SIZE: _____

MATERIAL: _____

MESSAGE: _____

COLORS: _____

LIGHTED SIGN: _____

IF YES, TYPE: _____

APPLICANT'S NAME, ADDRESS, PHONE AND EMAIL:

Kevin Stroud
16919 Melbourne Drive
Laurel MD 20707
301-332-9713
kjstroud@gmail.com

X

SIGNATURE OF APPLICANT

5/13/2026

DATE

STEP 2: FOR CITY STAFF TO COMPLETE

☐ Yes ☐ No Staff Approval?

☐ Yes ☐ No Work started *without* Approval?

☐ Yes ☐ No Qualifies for Tax Credit?

☐ Yes ☐ No Building Permit Required?

☐ Yes ☐ No Public Notice Sign Required?

MEETING DATE: _____

TAX ID (ACCOUNT) #: _____

PERMIT NUMBER: _____

STEP 3: STAFF APPROVAL SIGNATURES

APPROVAL DATE: _____

CONDITIONS AND/OR COMMENTS: _____

HISTORIC DISTRICT COMMISSION _____

PLANNING AND ZONING _____



MAYOR AND CITY COUNCIL OF LAUREL
DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

8103 Sandy Spring Road • Laurel, Maryland 20707 (301) 725-5300 extension 2303

<http://www.cityoflaurel.org> • email – ecd@laurel.md.us Fax (301) 490-5068

AGENDA ITEM NO. 4

TECHNICAL STAFF REPORT

DATE: June 3, 2026
TO: City of Laurel Historic District Commission
FROM: Alexis Williams, Planner I
CASE: Certificate of Approval No. HDC R20260100

GENERAL INFORMATION

APPLICANT: Kevin Stroud
16919 Melbourne Drive
Laurel, Maryland 20707

OWNER: Same as Applicant

LOCATION: 607 Montgomery Street
Laurel, Maryland 20707

PURPOSE: **Requesting approval to replace damaged roof.**

REQUESTED ACTION: Approval of Certificate No. HDC R20260100

ZONE: R-18 (Medium Density Multi-Family)

CONTRIBUTING: Yes

ZONING ANALYSIS:

The applicant is seeking Historic District Commission (HDC) approval to replace an existing roof that has sustained damage. The proposed work includes replacement of the existing shingles with new architectural shingles in the same Mission Brown color as the existing roof. The proposed upgrade from standard asphalt shingles to a higher-quality architectural shingle will increase the roof's expected life cycle.

In addition to the roof replacement, the applicant proposes repair and replacement of existing metal flashing, trim, and gutters as necessary. All such components will be repaired in-kind.

DESIGN GUIDELINES EXCERPT:

Sec. 20-26.28. - Roofs and roofing.

(a) For repairs and replacements of existing structures, or roofing of new construction, the Historic District Commission considers the following:

- (1) Style (e.g., gambrel, gable, hip, shed, flat, authentic mansard);*
- (2) Material (e.g., standing seam metal, slate, wood shingles, asphalt or fiberglass shingles, rolled roofing, slag, hot mopped asphalt, tile);*
- (3) Details (dormers, gables, chimneys);*
- (4) Gutters and downspouts; and*
- (5) Color.*

(b) For existing structures, the Commission recommends replacement in-kind. The color of the material should be complementary/compatible to the other colors on the structure.

(c) Roofs on porches, accessory structures, and building additions should match those on the main or existing structure where possible.

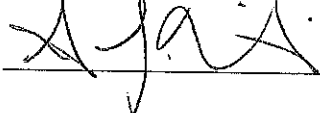
ATTACHMENTS:

1. Photo of front of property
2. Photo of proposed shingle style and color

RECOMMENDATION:

The proposed actions requested by the applicant appear to meet the requirements established in the City of Laurel's *Unified Land Development Code*, including the design criteria listed in the *Design Guidelines of the City of Laurel Historic District Commission*. Staff recommends the Historic District Commission **APPROVE** Certificate No. HDC R20260100.

Submitted & Recommended by:



Alexis Williams, Planner I

607 Montgomery Street



601 Montgomery Street

berline HDZ®

...ors for any home. Backed by industry-first technologies and powerful warranties.

4.8 (19255) [WRITE A REVIEW](#)



**Millers Mutual**

777 East Park Dr, Suite 420
Harrisburg, PA 17111

Insured: Kevin & Diana Stroud
Property: 607-609 Montgomery St
Laurel, MD 20707
Home: 16919 Melbourne Dr
Laurel, MD 20707

Cellular: (301) 332-9713

Claim Rep.: Alex Hart
Position: Property Claims Adjuster
Company: Millers Mutual
Business: 777 East Park Dr, Suite 420
Harrisburg, PA 17111

Business: (717) 963-8560
E-mail: ahart@millersinsurance.com

Estimator: Alex Hart
Position: Property Claims Adjuster
Company: Millers Mutual
Business: 777 East Park Dr, Suite 420
Harrisburg, PA 17111

Business: (717) 963-8560
E-mail: ahart@millersinsurance.com

Claim Number: 2013390

Policy Number: BOP 7127954

Type of Loss: Wind

Date of Loss: 6/18/2025 12:00 AM
Date Inspected:

Date Received: 6/19/2025 11:08 AM
Date Entered: 7/10/2025 11:14 PM

Price List: MDRO8X_JUL25
Restoration/Service/Remodel
Estimate: KEVIN_&_DIANA_
STROUD



CITY OF LAUREL HISTORIC DISTRICT COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • (301) 725-5300 • Fax (301) 490-5068 ecd@laurel.md.us

This authorization does not by its issuance preclude or replace permits required by other departments or agencies. Please familiarize yourself with the Historic District Guidelines provided at <https://www.cityoflaurel.org/boards/commissions/historic-district-commission>

HDC CERTIFICATE OF APPROVAL APPLICATION

STEP 1: FOR APPLICANT TO COMPLETE

DATE OF APPLICATION: 5/13/2026

ADDRESS OF PROPERTY:

607 Montgomery Street
Laurel, Maryland 20707

TYPE OF REQUEST (Check all that apply):

Sign X Tree Removal Shutters Shed
Roof Windows Paving Fence
Garage Porch Paint Addition
Demolition Other:

OWNER'S NAME, ADDRESS, PHONE & EMAIL:

Kevin Stroud
16919 Melbourne Drive
Laurel MD 20707
301-332-9713
kjstroud@gmail.com

WORK DESCRIPTION (Please be as detailed as possible):

Example: Request to repaint dark blue porch white. New color will be Pure White Sherman Williams #3245, see current photos & paint sample
Remove damaged roof and replace with Timberline HDZ® Shingles of color equivalent to those removed: "Mission Brown" is closest. Also includes some repair/replacement of existing metal flashing, trim, and gutters with in-kind replacements. <https://www.gaf.com/en-us/roofing-materials/residential-roofing-materials/shingles/timberline-hdz>

CONTRACTOR'S NAME, ADDRESS, PHONE AND EMAIL:

The Roof Docs
8100 Boone Blvd Suite 400
Vienna VA 22182
703--239-3738
info@theroofdocs.com

***COMPLETE FOR SIGNAGE or AWNING REQUESTS ONLY:**

(Check one)

FLATWALL PROJECTING

SIGNBAND FREESTANDING

(Details)

SIZE:

MATERIAL:

MESSAGE:

COLORS:

LIGHTED SIGN:

IF YES, TYPE:

APPLICANT'S NAME, ADDRESS, PHONE AND EMAIL:

Kevin Stroud
16919 Melbourne Drive
Laurel MD 20707
301-332-9713
kjstroud@gmail.com

X Kevin J. Stroud

5/13/2026

SIGNATURE OF APPLICANT

DATE

STEP 2: FOR CITY STAFF TO COMPLETE

- ☐ Yes ☐ No Staff Approval?
☐ Yes ☐ No Work started *without* Approval?
☐ Yes ☐ No Qualifies for Tax Credit?
☐ Yes ☐ No Building Permit Required?
☐ Yes ☐ No Public Notice Sign Required?

MEETING DATE:

TAX ID (ACCOUNT) #:

PERMIT NUMBER:

STEP 3: STAFF APPROVAL SIGNATURES

APPROVAL DATE:

CONDITIONS AND/OR COMMENTS:

HISTORIC DISTRICT COMMISSION

PLANNING AND ZONING



MAYOR AND CITY COUNCIL OF LAUREL
DEPARTMENT OF ECONOMIC AND COMMUNITY DEVELOPMENT

8103 Sandy Spring Road • Laurel, Maryland 20707 (301) 725-5300 extension 2303
<http://www.cityoflaurel.org> • email – ecd@laurel.md.us Fax (301) 490-5068

AGENDA ITEM NO. 5

TECHNICAL STAFF REPORT

DATE: June 1, 2026
TO: City of Laurel Historic District Commission
FROM: Alexis Williams, Planner I
CASE: Certificate of Approval No. HDC C20260018

GENERAL INFORMATION

APPLICANT: Adeobayo Bello
352 Main Street
Laurel, MD 20707

OWNER: Same as applicant

LOCATION: 352 Main Street
Laurel, MD 20707

PURPOSE: Requesting retroactive approval of installation of black wooden fence, deck and egress stairs, and the removal of concrete slab.

REQUESTED ACTION: Approval of Certificate No. HDC C20260018

ZONE: C-V (Commerical Village)

CONTRIBUTING: Yes

ZONING ANALYSIS:

The applicant is seeking Historic District Commission (HDC) retroactive approval of installation of wooden black fence to replace the approved white vinyl fence in rear of building, installation of deck and egress stairs, and the removal of concrete slab.

DESIGN GUIDELINES EXCERPT:

Sec. 20-26.16. – Fences

The construction of fences separating yards is common throughout the Historic Districts. Fence heights are limited by the Zoning Regulations and, while the Historic District Commission may authorize a fence lower than the maximum (e.g., for consistency with the fence on a neighboring property), it cannot approve fencing higher than the Zoning Regulations allows. In all cases any decision made by the Planning Commission overrides the decisions of the City of Laurel Historic District Commission. The finished side of the fence should always face outward, away from the lot, area, or structure, which it surrounds. Fences in the front yard shall be at the property, or at the building line of the front facade.

The use of traditional painted picket fencing in front yards is acceptable. Solid flat-board fencing of any height is not permitted in the front yard. The use of chain-link fencing is discouraged as being least compatible with the historic environment and allowed only in exceptional circumstances.

The installation of a fence beside an existing fence is viewed by the Commission as not in keeping with the character of the neighborhood, as well as a potential maintenance problem. The Commission will not approve such installation.

The Historic District Commission permits specific fence types on a case-by-case basis, the specific fencing permitted depending on surrounding properties and the architectural character of the neighborhood.

Sec. 20-26.26. - Porches.

Porches shall be retained and their repair or restoration should duplicate as near as possible the original construction. New porch flooring, railings, columns, stairs, skirting, or other details should appear as near as possible the same as the original work. The use of non-traditional materials, when not intrusive (clearly visible from the public right-of-way), may be permitted. The enclosing of open porches on historic structures, especially on front and wrap-around porches shall not be permitted.

Finishes, such as the painting or staining of new materials, should match the original appearance. The use of modern pressure-treated decking to replace original tongue-and-groove flooring has been discouraged since this material does not match tongue-and-groove, even if painted.

Steps leading up to porches may be of wood, brick, stone, or concrete, as appropriate to the material and architecture of the main structure. The Historic District Commission recommends the replacement of existing steps in-kind.

Railings on porch stairs should have handrails and pickets to match the railing of the porch.
([Ord. No. 2018](#), 10-23-2023)

Sec. 20-26.23. - Patios and walkways.

Construction, renovation, and replacement of walkways and patios shall be reviewed by the Commission. Materials such as brick, stone, macadam, bituminous paving (blacktop), and concrete, exposed aggregate concrete and interlocking pavers are acceptable. The use of pervious material is encouraged.
([Ord. No. 2018](#), 10-23-2023)

Sec. 20-26.12. - Colors.

The commission does not dictate what colors an applicant may use, but is concerned that the colors selected be appropriate for the structure and its neighborhood.

The only guideline for the application of color in either residential or commercial districts is that the colors should be historically appropriate house colors. This refers to the colors that date to an appropriate period and that go together in a compatible fashion. Samples of such color chips are on file in the Department of Economic and Community Development at the Laurel Municipal Center, 8103 Sandy Spring Road, Laurel, MD, 20707.

In commercial districts, the building and the block should be considered to achieve a compatible application of colors.

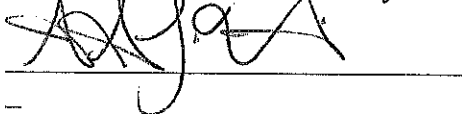
ATTACHMENTS:

1. Photo of black wooden fence
2. Photo of deck and egress stairs
3. Photo of concrete slab before removal.
4. Deck plan.

RECOMMENDATION:

The proposed actions requested by the applicant appear to meet the requirements established in the City of Laurel's *Unified Land Development Code*, including the design criteria listed in the *Design Guidelines of the City of Laurel Historic District Commission*. Staff recommends the Historic District Commission **APPROVE** Certificate No. HDC C20260018.

Submitted & Recommended by:



Alexis Williams, Planner I



352 Main Street

352 Main Street









Any electrical or mechanical work requires separate permits from THE CITY OF LAUREL

Prince George's County Health Department approval is required prior to final Use and Occupancy

SKYVIBE LOUNGE & BAR

352 & 354 MAIN ST, LAUREL, MD 20707

All work must conform to The Maryland Accessibility Code COMAR 05.02.02

PROJECT GENERAL NOTES

BUILDING USE: RESTAURANT/BAR
BUILDING FOOTAGE: 3,808 SF
OCCUPANCY GROUP: A-2 RESTAURANT
BUILDING CONSTRUCTION TYPE: TYPE III-A

THE EXISTING BUILDING IS NON SPRINKLERED
NEW - SPRINKLER SYSTEM TO BE PROVIDED

MAIN FLOOR 3,808 SF
SECOND FLOOR 1,470 SF
TOTAL 5,278 SF

SCOPE OF WORK:
• INTERIOR ALTERATION
• REAR DECK TERRACE

1 HOUR RATED BUILDING STRUCTURE PER CONSTRUCTION TYPE III-A 2018 IBC TABLE 601

- BEARING WALLS - 1 HOUR RATED
- ROOF AND ASSOCIATED SECONDARY MEMBERS - 1 HOUR RATED

SECTION 202 PRIMARY STRUCTURAL FRAME

- COLUMNS - 1 HOUR RATED
- BEAMS - 1 HOUR RATED
- JOISTS - 1 HOUR RATED

STRUCTURE IS UNRESTRAINED

1 HOUR BUILDING STRUCTURE DESIGN REQUIREMENTS

- STEEL ROOF DECK, BEAMS AND JOISTS - 1 HOUR RATED DESIGN UL DESIGN NO. P701
- STEEL STRUCTURE ABOVE THE ROOF - 1 HOUR RATED DESIGN UL DESIGN NO. X795
- LOAD BEARING CMU WALLS - 1 HOUR RATED DESIGN
- UL DESIGN NO. U806
- STEEL COLUMNS - 1 HOUR RATED DESIGN
- UL DESIGN NO. J529

PROJECT GENERAL NOTES

- THE INTERIOR MIDDLE FRAMING W/ STEEL BEAMS IN THE 2ND FLOOR LOUNGE AREA ARE STRUCTURALLY ADEQUATE, BUT EXISTING 2X10 JOIST MUST BE SISTERED WITH SIMILAR SIZE OF 2X10 NAILED TO EXISTING ONE TO ADEQUATELY SUPPORT THE ADDITIONAL LOAD OF THE PROPOSED RESTAURANT SEATING.
- THE PROPOSED ROOF TERRACE SEATING FRAMING OBSERVED; CONSISTS OF 2X10@16"O.C. SPANNING 22FT. AND 17FT.; THE CURRENT TERRACE FRAMING JOISTS MUST BE SISTERED WITH 12"LV. TO PROVIDE ADEQUATE STRUCTURAL INTEGRITY OF THE ROOF TERRACE FRAMING. THE NEW LV. JOIST WILL BE BEARING AT ONE END ON THE BRICK LEDGE, AND ON THE OTHER END SEATED ON BEARING 2-2X8 P.T.
- THE PROPOSED BEARING LEDGER MUST BE ANCHORED TO EXISTING BRICK WALL USING 5/8" BOLTS IN HY70 EPOXY MINIMUM 6" EMBEDMENT. NEW REAR DECK TO BE FRAME WITH STEEL DECK FRAMING MATERIAL.

Submit Fire Alarm Shop Drawings for Review

Air Balance report due at FINAL INSPECTION

Must submit sprinkler shop drawings

Please refer to CCRR-0313 Code Compliance Report for deck design requirements

Plumbing work requires a separate WSSC permit

DRAWING LIST	
SHEET #	SHEET NAME
GENERAL	
A-000	COVER SHEET
A-001	SYMBOLS, LEGENDS & GENERAL NOTES
A-003	SITE PLAN SURVEY
A-004	LIFE SAFETY PLAN
DEMOLITION	
D-100	DEMOLITION FLOOR PLAN
D-200	DEMOLITION ROOF PLAN
ARCHITECTURAL	
A-100	SITE PLAN - DIMENSIONS & NOTES
A-101	FLOOR PLAN - DIMENSIONS & NOTES
A-102	FLOOR PLAN - DIMENSIONS & NOTES
A-103	FLOOR PLAN - DIMENSIONS & NOTES
A-201	FURNITURE & FIXTURE PLAN
A-202	FURNITURE & FIXTURE PLAN
A-203	FURNITURE & FIXTURE PLAN
A-204	FURNITURE & FIXTURE PLAN
A-301	BUILDING ELEVATIONS
A-302	BUILDING ELEVATIONS
A-401	INTERIOR ELEVATION
A-402	TYPICAL DETAILS
A-403	INTERIOR ELEVATION & SECTION
A-501	SECTION
A-502	TYPICAL DETAILS
A-503	TYPICAL DETAILS
A-601	DOOR & WINDOW SCHEDULES
A-602	TYPICAL WALL ASSEMBLIES
STRUCTURAL	
S-100	FOUNDATION PLAN & WALL DETAILS
S-100-AB	STRUCTURAL REAR DECK
S-101	FIRST FLOOR STRUCTURAL
S-102	SECOND FLOOR STRUCTURAL
S-200	FLOOR FRAMING PLAN
ELECTRICAL	
E-100	ELEC. GEN. NOTES, SYMBOLS, ABBREVS & SPECS
E-200	ELEC. LIGHTING NEW WORK PLAN - GROUND FLR
E-300	ELEC. POWER NEW WORK PLAN - GROUND FLR & SUB FLR
E-400	ELEC. POWER NEW WORK PLAN - GROUND FLR & SUB FLR
MECHANICAL	
M-100	HVAC - GEN. NOTES, SYMBOLS, ABBREVS & SPECS
M-200	HVAC - NEW WORK PLAN - GROUND FLR
M-300	HVAC - NEW WORK PLAN - SUB FLR
M-400	HVAC - NEW WORK PLAN - ROOF
M-500	HVAC - SCHEDULES AND DETAILS
M-600	HVAC - HOOD AND FAN SPECS
PLUMBING	
P-100	PLUMBING - GEN. NOTES, SYMBOLS, ABBREVS & SPECS
P-200	PLUMBING - NEW WORK PLAN
P-300	PLUMBING - REAR DECK
P-400	PLUMBING - DETAILS

GEN. SYMBOLS SYMBOLS TO BE PLACED

Ansul System permit required per NFPA 96

TDS
Architectural Design

SKYVIBE LOUNGE & BAR
352 & 354 MAIN ST.
LAUREL, MD 20707

Mark D. Selby, P.E.

Professional Engineer



COVER SHEET

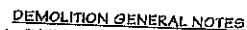
A-000

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- **BUILDING STRUCTURAL CODES:**
 - 2010 INTERNATIONAL RESIDENTIAL CODE
 - 2010 INTERNATIONAL BUILDING CODE: IBC AND THE CITY OF LAUREL BUILDING CODE
 - 2010 INTERNATIONAL EXISTING BUILDING CODE: IBC
 - 2010 AMERICAN DOWELING ART: ADA (MARKING AND ACCESSIBILITY CODE)
 - 2010 NFPA 10 LIFE SAFETY CODE
 - CITY OF LAUREL CHAPTER 19: BUILDING & BUILDING REGULATIONS
 - 2010 NFPA 10 LIFE SAFETY CODE
 - 2010 PROPERTY MAINTENANCE CODE: IPC
- **MECHANICAL/ELECTRICITY:**
 - 2010 INTERNATIONAL MECHANICAL CODE: IMC
 - 2010 INTERNATIONAL ENERGY CONSERVATION CODE: IECC
- **ELECTRICAL CODES:**
 - 2010 NFPA 70 NATIONAL ELECTRICAL CODE AND SUBTITLE THE CITY OF LAUREL ELECTRICAL CODE
 - 2010 NFPA 70-E ELECTRICAL SAFETY IN THE HOME-USE
- **SPRINKLER SYSTEMS**
 - 2010 NFPA 13 INSTALLATION OF SPRINKLER SYSTEMS
 - 2010 NFPA 221 INSTALLATION AND COMMERCIAL BUILDINGS CONSTRUCTED WITHIN THE CITY OF LAUREL ARE REQUIRED TO BE FULLY SPRINKLERED.
- **FIRE ALARMS**
 - 2010 NFPA 1
 - 2010 NFPA 10
 - 2010 NFPA 72
 - 2010 NFPA 72A
 - 2010 NFPA 72B
 - 2010 NFPA 72C
 - 2010 NFPA 72D
 - 2010 NFPA 72E
 - 2010 NFPA 72F
 - 2010 NFPA 72G
 - 2010 NFPA 72H
 - 2010 NFPA 72I
 - 2010 NFPA 72J
 - 2010 NFPA 72K
 - 2010 NFPA 72L
 - 2010 NFPA 72M
 - 2010 NFPA 72N
 - 2010 NFPA 72O
 - 2010 NFPA 72P
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 - 2010 NFPA 72R
 - 2010 NFPA 72S
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 - 2010 NFPA



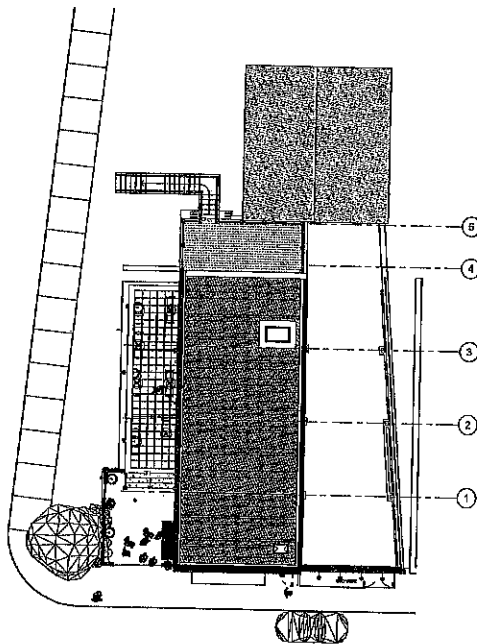
- DEMOLITION LEGEND

DEMOLITION PLAN NOTES

- D-100

① SITE PLAN
1/8" = 1'-0"

MAIN ST, LAURAL



TDS
TERRACE DESIGN SERVICES

3000 Northpark Drive
Suite 200
Atlanta, GA 30328

SKYRIBE LOUNGE & BAR

352 & 354 MAIN ST,
LAUREL, MD 20707

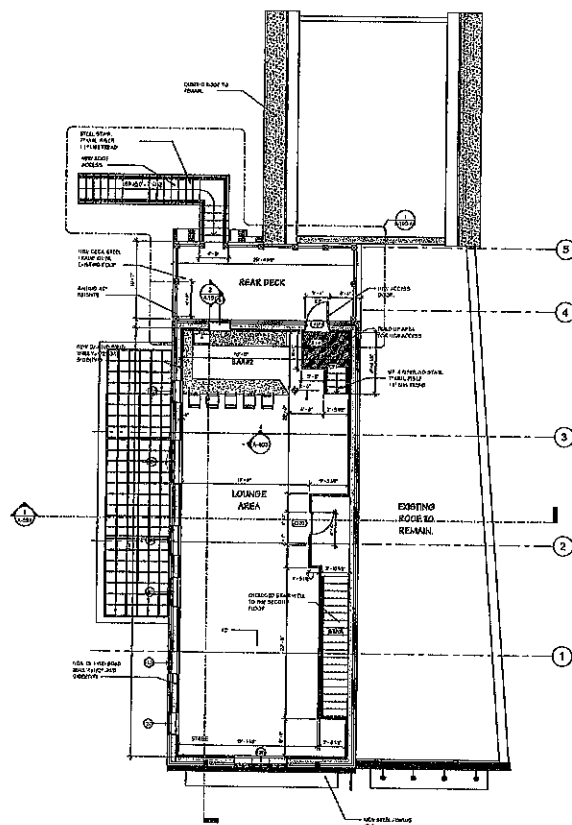
Plan (Site) of the Project

NO.	DESCRIPTION	DATE	BY	CHECKED
1	PREPARED BY TDS			
2	REVIEWED BY TDS			
3	APPROVED BY TDS			
4	APPROVED BY CLIENT			
5	APPROVED BY CITY			
6	APPROVED BY STATE			
7	APPROVED BY COUNTY			
8	APPROVED BY NEIGHBORHOOD			
9	APPROVED BY ENVIRONMENTAL			
10	APPROVED BY HISTORIC			



SITE PLAN

A-100



SYMBOL	DESCRIPTION
[Symbol]	EXISTING WALL TO REMAIN
[Symbol]	NEW WALL - SEE WALL TYPE
[Symbol]	NEW CEILING MOUNTED 12\"/>

① SECOND FLOOR - DIMENSIONS & NOTES PLAN
3/16" = 1'-0"

TDS
Architect & Engineer

352 & 354 MAIN ST.
LAUREL, MD 20707

SKYVIBE LOUNGE & BAR

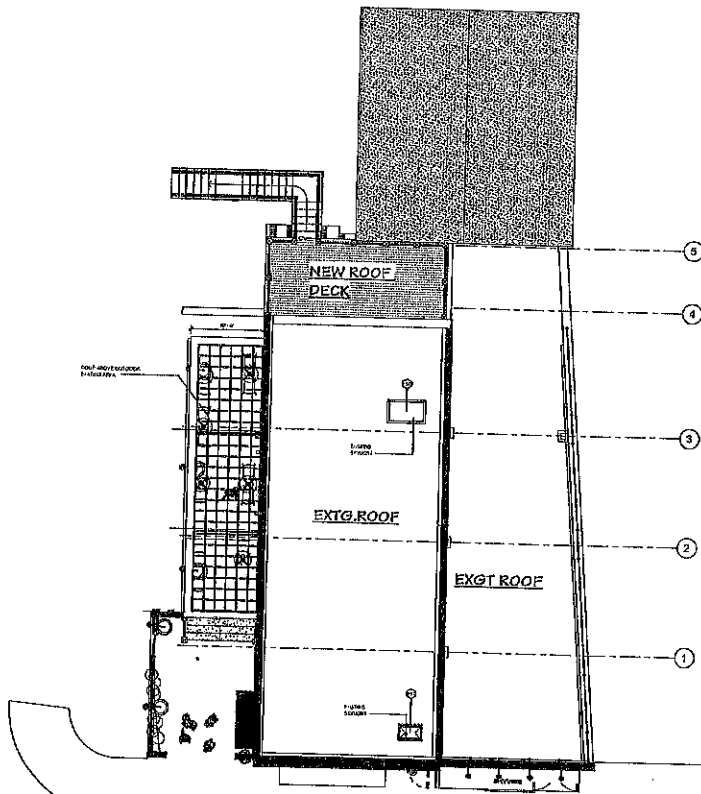
DATE: 10/1/18

PROJECT: SKYVIBE



FLOOR PLAN
DIMENSIONS
& NOTES

A-102



① ROOF - DIMENSIONS & NOTES PLAN
 3/16" = 1'-0"

TDS
 T.D. Smith & Sons, Inc.
 10000 Rte. 100
 Laurel, MD 20787

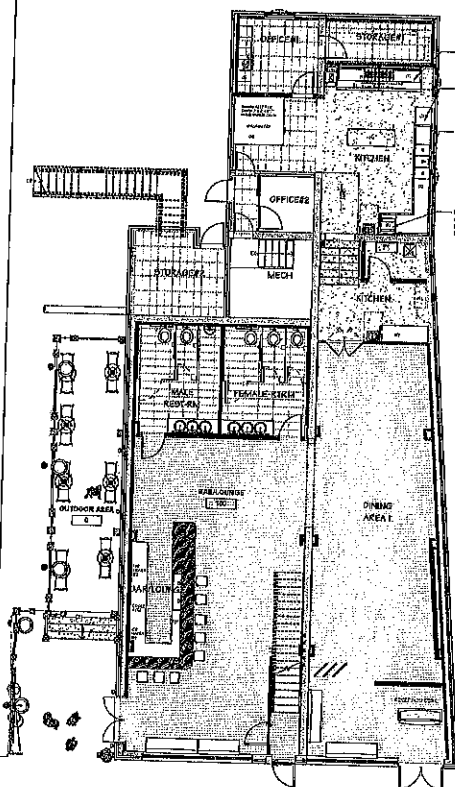
SKYVIBE LOUNGE & BAR
 352 & 354 MAIN ST.
 LAUREL, MD 20707

NO.	DATE	DESCRIPTION
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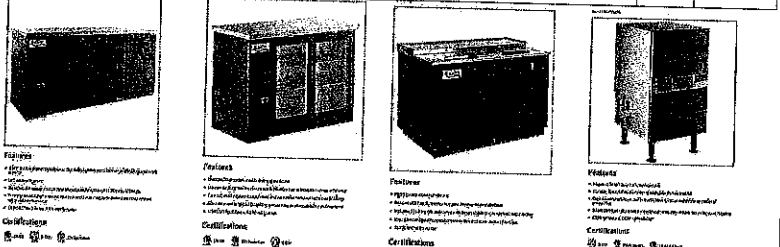
FLOOR PLAN
 DIMENSIONS
 & NOTES

A-103

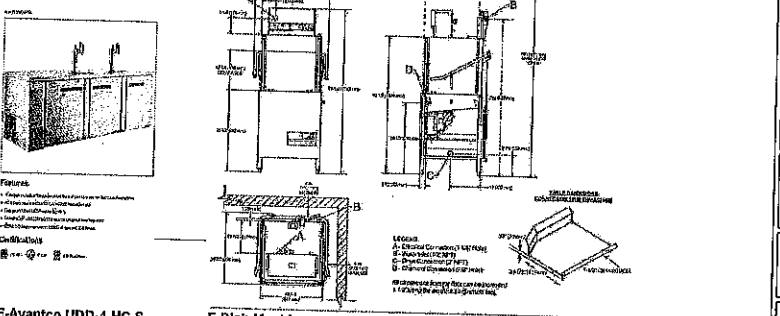


FIRST FLOOR - FURNITURE & FIXTURE PLAN
3/16" = 1'-0"

ITEM	TYPE	QUANTITY	DESCRIPTION	PRICE	MODEL #
A	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
B	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48
C	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-50-HC 50
D	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UC-F-120-A 19
E	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
F	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48
G	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-50-HC 50
H	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UC-F-120-A 19
I	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
J	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48
K	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-50-HC 50
L	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UC-F-120-A 19
M	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
N	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48
O	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-50-HC 50
P	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UC-F-120-A 19
Q	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
R	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48
S	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-50-HC 50
T	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UC-F-120-A 19
U	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
V	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48
W	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-50-HC 50
X	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UC-F-120-A 19
Y	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-72-HC 73
Z	Refrigerator	1	Black Stainless Steel Top Freezer Refrigerator with 100 lbs. Capacity	1,200.00	UBB-48S-HC 48



A-Avantco UBB-72-HC 73 B-Avantco UBB-48S-HC 48 C-Avantco HBB-50-HC 50 D-Avantco Ice UC-F-120-A 19



E-Avantco UDD-4-HC-S F-Dish Machine

Architectural Design

SKYLINE LOUNGE & BAR

352 & 354 MAIN ST.
LAUREL, MD 20707

FURNITURE & FIXTURE PLAN

A-201



Certifications

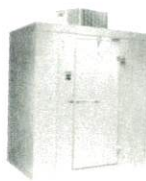
(G)-SINK



(I) 6 Tier Locker

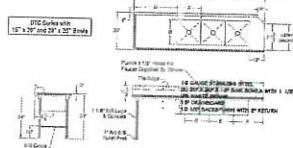


(H)-WORK TABLE



(K)- REFRIGERATOR

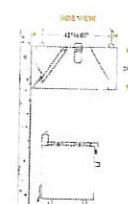
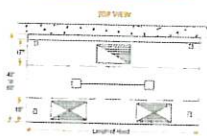
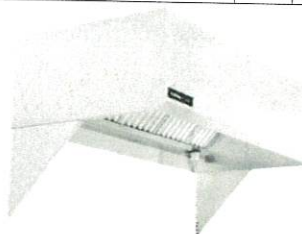
		Equipment SCHEDULE			
AREA	TYPE	BRAND	DESC.	FINISH	MODEL #
A	Refrigerator	Arctic	Black Counter Height Narrow Solid Door Back Bar Refrigerator with LED Lighting	Black	UBS72HC17
B	Refrigerator	Arctic	Black Counter Height Narrow Sliding Glass Door Back Bar Refrigerator with LED Lighting	Black	UBS45GHC18
C	Cooler	Arctic	Black Horizontal Bottle Cooler	Black	HBK15HC18
D	Ice Machine	Arctic	For Corded Undercounter Full Cube Ice Machine	Black	ICC120A19
E	Hot Taps	Arctic	3" Dispenser Tap	Stainless Steel	2000-4HC-5
F	Dish Machine	Windsor	Triple		
G	SRUC	Briggen/Tyler & Sons	Single Workstation 14" Single Rack Low Temperature Door-Type Dish Machine - 115V	Stainless Steel	4950/90PFEK
H	Hot Tap	Briggen/Tyler & Sons	Regency 15" x 18" 3/4" Hot Mounting Sink with Dispenser, Fanne and Side Splash	Stainless Steel	6004HS17F
I	COFFEE/COOLDERS	Briggen/Tyler & Sons	Regency 15" x 18" 3/4" 1/2" 1/4" 3/8" 1/2" 3/4" 1" 1 1/2" 2" 2 1/2" 3" 3 1/2" 4" 4 1/2" 5" 5 1/2" 6" 6 1/2" 7" 7 1/2" 8" 8 1/2" 9" 9 1/2" 10" 10 1/2" 11" 11 1/2" 12" 12 1/2" 13" 13 1/2" 14" 14 1/2" 15" 15 1/2" 16" 16 1/2" 17" 17 1/2" 18" 18 1/2" 19" 19 1/2" 20" 20 1/2" 21" 21 1/2" 22" 22 1/2" 23" 23 1/2" 24" 24 1/2" 25" 25 1/2" 26" 26 1/2" 27" 27 1/2" 28" 28 1/2" 29" 29 1/2" 30" 30 1/2" 31" 31 1/2" 32" 32 1/2" 33" 33 1/2" 34" 34 1/2" 35" 35 1/2" 36" 36 1/2" 37" 37 1/2" 38" 38 1/2" 39" 39 1/2" 40" 40 1/2" 41" 41 1/2" 42" 42 1/2" 43" 43 1/2" 44" 44 1/2" 45" 45 1/2" 46" 46 1/2" 47" 47 1/2" 48" 48 1/2" 49" 49 1/2" 50" 50 1/2" 51" 51 1/2" 52" 52 1/2" 53" 53 1/2" 54" 54 1/2" 55" 55 1/2" 56" 56 1/2" 57" 57 1/2" 58" 58 1/2" 59" 59 1/2" 60" 60 1/2" 61" 61 1/2" 62" 62 1/2" 63" 63 1/2" 64" 64 1/2" 65" 65 1/2" 66" 66 1/2" 67" 67 1/2" 68" 68 1/2" 69" 69 1/2" 70" 70 1/2" 71" 71 1/2" 72" 72 1/2" 73" 73 1/2" 74" 74 1/2" 75" 75 1/2" 76" 76 1/2" 77" 77 1/2" 78" 78 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(J)-Dishtable with 3-Compartment Sink



(N)-COOKER



(L)- KITCHEN HOOD



352 & 354 MAIN ST,
LAUREL, MD 20707

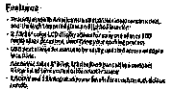
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PROFESSIONAL CERTIFICATION
I CERTIFY THAT THESE DOCUMENTS
WERE PREPARED OR APPROVED BY
ME AND THAT I AM A FULLY
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PROFESSIONAL ARCHITECT
UNDER THE LAWS OF THE STATE OF
MASSACHUSETTS. LICENSE NUMBER:
EXPIRATION DATE: 06/30/2014



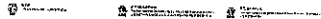
**FURNITURE &
FIXTURE**

A-202

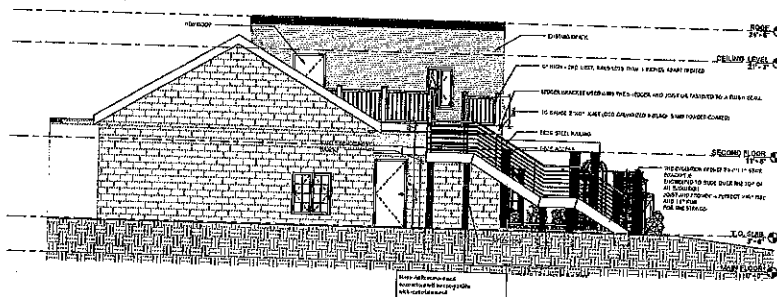
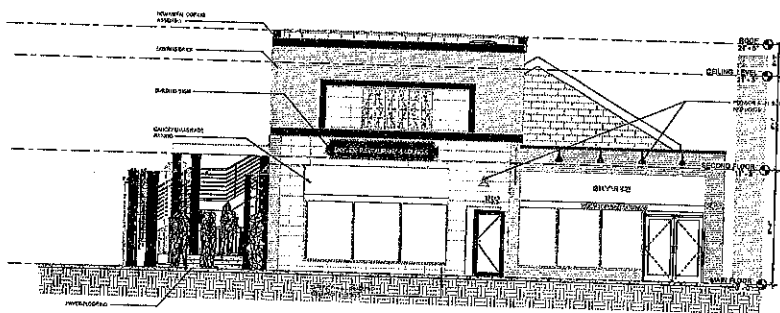


Technical drawings of a wooden table showing front, side, and top views with dimensions:

- FRONT:** Shows a table with a top width of 48" and a height of 30". The legs are 18" apart.
- SIDE:** Shows a table with a top depth of 18" and a height of 30". The legs are 18" apart.
- TOP:** Shows a rectangular top with a width of 48" and a depth of 18". It features a central panel with a decorative X-pattern and two circular cutouts.



{S}-DEEP FRYER

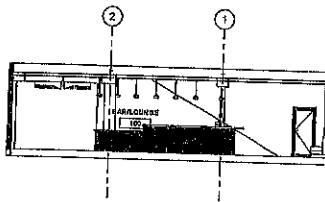


TDS
Technical Design Systems

352 & 354 MAIN ST,
LAUREL, MD 20707

BUILDING ELEVATIONS

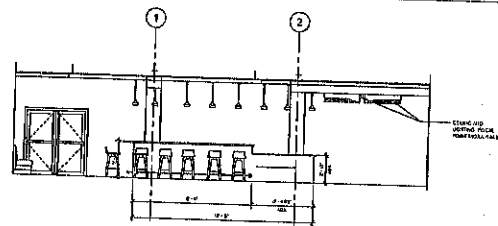
A-301



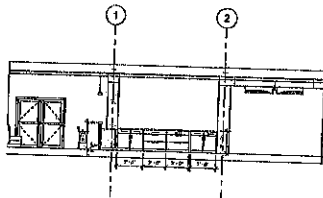
① BAR INTERIOR ELEVATION.
3/16" = 1-0"



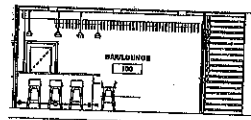
④ BAR#2 ELEVATION
1/4" = 1'-0"



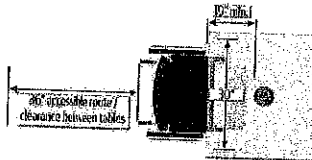
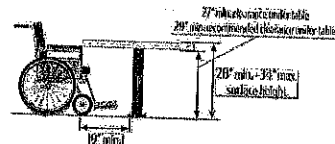
⑤ BAR AREA ELEVATION
1/4" = 1'-0"



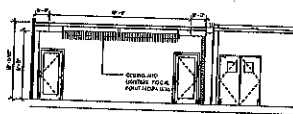
② BAR AREA INTERIOR ELEVATION
3/16" = 1'-0"



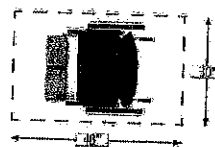
③ **BAR ELEVATION**
1/4" = 1'-0"



⑦ BAR SECTION (ADA)
1/2" = 1'-0"



③ MORA CEILING LIGHTING COCAL POINT
3'16" = 1'0"



⑥ ADA SEATING DETAIL

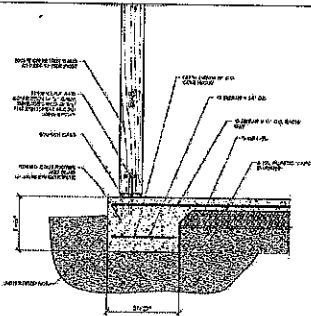
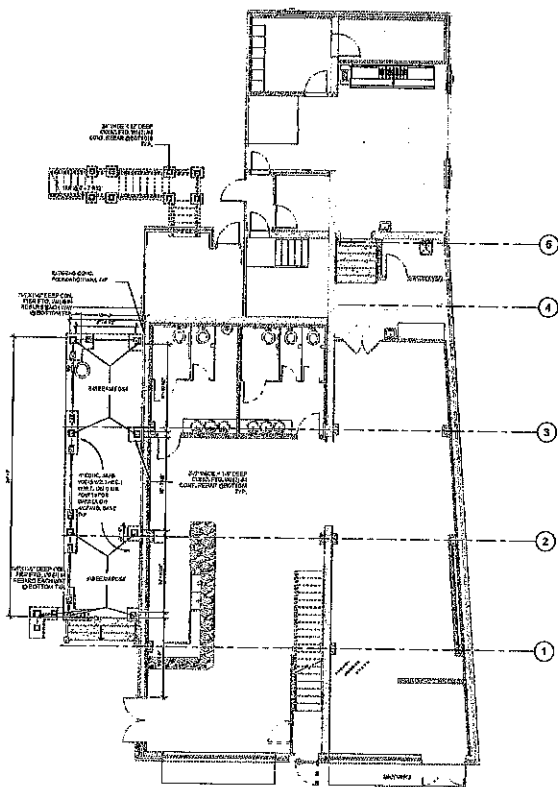


SKYVIBE LOUNGE & BAR

352 & 354 MAIN ST,
LAUREL, MD 20707

INTERIOR ELEVATIONS & SECTION

A-403



MASONRY/TIMBER CONNECTION DETAIL

GENERAL STRUCTURAL NOTES

1. ALL CONCRETE FOUNDATIONS, WALLS, AND INTERIOR SLABS SHALL HAVE A MINIMUM COVER OF 4" FOR ALL REINFORCING BARS.
2. ALL REINFORCING BARS SHALL BE EPOXY COATED UNLESS OTHERWISE NOTED.
3. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SEISMIC FORCES AS SPECIFIED IN THE SEISMIC HAZARD ANALYSIS REPORT.
4. ALL STRUCTURES SHALL BE DESIGNED TO RESIST WIND LOADS AS SPECIFIED IN THE WIND LOAD ANALYSIS REPORT.
5. ALL STRUCTURES SHALL BE DESIGNED TO RESIST LIVE LOADS AS SPECIFIED IN THE LIVE LOAD ANALYSIS REPORT.
6. ALL STRUCTURES SHALL BE DESIGNED TO RESIST DEAD LOADS AS SPECIFIED IN THE DEAD LOAD ANALYSIS REPORT.
7. ALL STRUCTURES SHALL BE DESIGNED TO RESIST COMBINED LOADS AS SPECIFIED IN THE COMBINED LOAD ANALYSIS REPORT.
8. ALL STRUCTURES SHALL BE DESIGNED TO RESIST OVERSTRESS AS SPECIFIED IN THE OVERSTRESS ANALYSIS REPORT.
9. ALL STRUCTURES SHALL BE DESIGNED TO RESIST COLLAPSE AS SPECIFIED IN THE COLLAPSE ANALYSIS REPORT.
10. ALL STRUCTURES SHALL BE DESIGNED TO RESIST FATIGUE AS SPECIFIED IN THE FATIGUE ANALYSIS REPORT.
11. ALL STRUCTURES SHALL BE DESIGNED TO RESIST CORROSION AS SPECIFIED IN THE CORROSION ANALYSIS REPORT.
12. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SETTLEMENT AS SPECIFIED IN THE SETTLEMENT ANALYSIS REPORT.
13. ALL STRUCTURES SHALL BE DESIGNED TO RESIST THERMAL MOVEMENT AS SPECIFIED IN THE THERMAL MOVEMENT ANALYSIS REPORT.
14. ALL STRUCTURES SHALL BE DESIGNED TO RESIST VIBRATION AS SPECIFIED IN THE VIBRATION ANALYSIS REPORT.
15. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ACIDITY AS SPECIFIED IN THE ACIDITY ANALYSIS REPORT.
16. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ALKALITY AS SPECIFIED IN THE ALKALITY ANALYSIS REPORT.
17. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SULFATE AS SPECIFIED IN THE SULFATE ANALYSIS REPORT.
18. ALL STRUCTURES SHALL BE DESIGNED TO RESIST CHLORIDE AS SPECIFIED IN THE CHLORIDE ANALYSIS REPORT.
19. ALL STRUCTURES SHALL BE DESIGNED TO RESIST CARBON DIOXIDE AS SPECIFIED IN THE CARBON DIOXIDE ANALYSIS REPORT.
20. ALL STRUCTURES SHALL BE DESIGNED TO RESIST OXYGEN AS SPECIFIED IN THE OXYGEN ANALYSIS REPORT.
21. ALL STRUCTURES SHALL BE DESIGNED TO RESIST HYDROGEN AS SPECIFIED IN THE HYDROGEN ANALYSIS REPORT.
22. ALL STRUCTURES SHALL BE DESIGNED TO RESIST NITROGEN AS SPECIFIED IN THE NITROGEN ANALYSIS REPORT.
23. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ARGON AS SPECIFIED IN THE ARGON ANALYSIS REPORT.
24. ALL STRUCTURES SHALL BE DESIGNED TO RESIST KRYPTON AS SPECIFIED IN THE KRYPTON ANALYSIS REPORT.
25. ALL STRUCTURES SHALL BE DESIGNED TO RESIST XENON AS SPECIFIED IN THE XENON ANALYSIS REPORT.
26. ALL STRUCTURES SHALL BE DESIGNED TO RESIST RADIATION AS SPECIFIED IN THE RADIATION ANALYSIS REPORT.
27. ALL STRUCTURES SHALL BE DESIGNED TO RESIST NEUTRONS AS SPECIFIED IN THE NEUTRONS ANALYSIS REPORT.
28. ALL STRUCTURES SHALL BE DESIGNED TO RESIST PROTONS AS SPECIFIED IN THE PROTONS ANALYSIS REPORT.
29. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ALPHA PARTICLES AS SPECIFIED IN THE ALPHA PARTICLES ANALYSIS REPORT.
30. ALL STRUCTURES SHALL BE DESIGNED TO RESIST BETA PARTICLES AS SPECIFIED IN THE BETA PARTICLES ANALYSIS REPORT.
31. ALL STRUCTURES SHALL BE DESIGNED TO RESIST GAMMA RAYS AS SPECIFIED IN THE GAMMA RAYS ANALYSIS REPORT.
32. ALL STRUCTURES SHALL BE DESIGNED TO RESIST X-RAYS AS SPECIFIED IN THE X-RAYS ANALYSIS REPORT.
33. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ULTRAVIOLET RAYS AS SPECIFIED IN THE ULTRAVIOLET RAYS ANALYSIS REPORT.
34. ALL STRUCTURES SHALL BE DESIGNED TO RESIST INFRARED RAYS AS SPECIFIED IN THE INFRARED RAYS ANALYSIS REPORT.
35. ALL STRUCTURES SHALL BE DESIGNED TO RESIST MICROWAVE RAYS AS SPECIFIED IN THE MICROWAVE RAYS ANALYSIS REPORT.
36. ALL STRUCTURES SHALL BE DESIGNED TO RESIST RADIO WAVE RAYS AS SPECIFIED IN THE RADIO WAVE RAYS ANALYSIS REPORT.
37. ALL STRUCTURES SHALL BE DESIGNED TO RESIST TELEVISION RAYS AS SPECIFIED IN THE TELEVISION RAYS ANALYSIS REPORT.
38. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SOUND WAVES AS SPECIFIED IN THE SOUND WAVES ANALYSIS REPORT.
39. ALL STRUCTURES SHALL BE DESIGNED TO RESIST VIBRATIONS AS SPECIFIED IN THE VIBRATIONS ANALYSIS REPORT.
40. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SHOCK WAVES AS SPECIFIED IN THE SHOCK WAVES ANALYSIS REPORT.
41. ALL STRUCTURES SHALL BE DESIGNED TO RESIST COLLISIONS AS SPECIFIED IN THE COLLISIONS ANALYSIS REPORT.
42. ALL STRUCTURES SHALL BE DESIGNED TO RESIST IMPACTS AS SPECIFIED IN THE IMPACTS ANALYSIS REPORT.
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47. ALL STRUCTURES SHALL BE DESIGNED TO RESIST EROSION AS SPECIFIED IN THE EROSION ANALYSIS REPORT.
48. ALL STRUCTURES SHALL BE DESIGNED TO RESIST DEGRADATION AS SPECIFIED IN THE DEGRADATION ANALYSIS REPORT.
49. ALL STRUCTURES SHALL BE DESIGNED TO RESIST AGING AS SPECIFIED IN THE AGING ANALYSIS REPORT.
50. ALL STRUCTURES SHALL BE DESIGNED TO RESIST FATIGUE AS SPECIFIED IN THE FATIGUE ANALYSIS REPORT.
51. ALL STRUCTURES SHALL BE DESIGNED TO RESIST CRACKING AS SPECIFIED IN THE CRACKING ANALYSIS REPORT.
52. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SPALLING AS SPECIFIED IN THE SPALLING ANALYSIS REPORT.
53. ALL STRUCTURES SHALL BE DESIGNED TO RESIST DISINTEGRATION AS SPECIFIED IN THE DISINTEGRATION ANALYSIS REPORT.
54. ALL STRUCTURES SHALL BE DESIGNED TO RESIST WEATHERING AS SPECIFIED IN THE WEATHERING ANALYSIS REPORT.
55. ALL STRUCTURES SHALL BE DESIGNED TO RESIST CLIMATE AS SPECIFIED IN THE CLIMATE ANALYSIS REPORT.
56. ALL STRUCTURES SHALL BE DESIGNED TO RESIST TEMPERATURE AS SPECIFIED IN THE TEMPERATURE ANALYSIS REPORT.
57. ALL STRUCTURES SHALL BE DESIGNED TO RESIST HUMIDITY AS SPECIFIED IN THE HUMIDITY ANALYSIS REPORT.
58. ALL STRUCTURES SHALL BE DESIGNED TO RESIST WIND AS SPECIFIED IN THE WIND ANALYSIS REPORT.
59. ALL STRUCTURES SHALL BE DESIGNED TO RESIST RAIN AS SPECIFIED IN THE RAIN ANALYSIS REPORT.
60. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SNOW AS SPECIFIED IN THE SNOW ANALYSIS REPORT.
61. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ICE AS SPECIFIED IN THE ICE ANALYSIS REPORT.
62. ALL STRUCTURES SHALL BE DESIGNED TO RESIST FOG AS SPECIFIED IN THE FOG ANALYSIS REPORT.
63. ALL STRUCTURES SHALL BE DESIGNED TO RESIST MIST AS SPECIFIED IN THE MIST ANALYSIS REPORT.
64. ALL STRUCTURES SHALL BE DESIGNED TO RESIST DUST AS SPECIFIED IN THE DUST ANALYSIS REPORT.
65. ALL STRUCTURES SHALL BE DESIGNED TO RESIST POLLUTION AS SPECIFIED IN THE POLLUTION ANALYSIS REPORT.
66. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ACID RAIN AS SPECIFIED IN THE ACID RAIN ANALYSIS REPORT.
67. ALL STRUCTURES SHALL BE DESIGNED TO RESIST ALKALINE RAIN AS SPECIFIED IN THE ALKALINE RAIN ANALYSIS REPORT.
68. ALL STRUCTURES SHALL BE DESIGNED TO RESIST SULFUR DIOXIDE AS SPECIFIED IN THE SULFUR DIOXIDE ANALYSIS REPORT.
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100. ALL STRUCTURES SHALL BE DESIGNED TO RESIST AGING AS SPECIFIED IN THE AGING ANALYSIS REPORT.

FOUNDATION PLAN
3/16" = 1'-0"



352 & 354 MAIN ST.,
LAUREL, MD 20707

SKYRIBE LOUNGE & BAR

FOUNDATION PLAN & WALL DETAILS

S-100

ase see the attached photos,
ne rear stairs material is made of steel frame and wooden rails
ne wooden fence is 6ft in height and 12ft in length. Painted Tricorn Black
/6258.

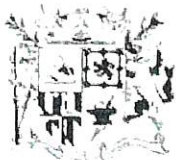
ank you

Mon, Aug 25, 2025 at 9:22 AM Sydney Woodland <Swoodland@laurel.md.us> wrote:

Good morning,

We have received your online HDC submission for 352 Main Street. However, you are missing the following documents:

1. Current photo of where the rear stairs will be going
2. Proposed rear stairs/material
3. Current photo of white vinyl fence
4. Photo of proposed wooden fence and paint sample
5. Proposed fence height and length
6. Current photo of where the concrete pad will be located



CITY OF LAUREL HISTORIC DISTRICT COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • (301) 725-5300 • Fax (301) 490-5068 ecd@laurel.md.us

This authorization does not by its issuance preclude or replace permits required by other departments or agencies

HDC CERTIFICATE OF APPROVAL APPLICATION

STEP 1: FOR APPLICANT TO COMPLETE

DATE OF APPLICATION: 8/17/25

ADDRESS OF PROPERTY: 352 Main St
Laurel, Maryland 20707

TYPE OF REQUEST (Check all that apply):

Sign ☐ Tree Removal ☐ Shutters ☐ Shed ☐
Roof ☐ Windows ☐ Paving ☐ Fence ☐
Garage ☐ Porch ☐ Paint ☐ Addition ☒
Demolition ☐ Other: ☐

OWNER'S NAME, ADDRESS, PHONE & EMAIL:

Bellz and Bellz c/o Adebayo Bello
349 Main Street
Laurel MD 20707
410 410 1983
abello@bbenvir.com

WORK DESCRIPTION:

Rear Stairs for Upstairs
Egress.

CONTRACTOR'S NAME, ADDRESS, PHONE AND EMAIL:

*COMPLETE FOR SIGNAGE or AWNING REQUESTS ONLY:

(Check one)

FLATWALL ☐

PROJECTING ☐

SIGNBAND ☐

FREESTANDING ☐

(Details)

SIZE:

MATERIAL:

MESSAGE:

COLORS:

LIGHTED SIGN:

IF YES, TYPE:

APPLICANT'S NAME, ADDRESS, PHONE AND EMAIL:

Bellz and Bellz c/o Adebayo Bello
349 Main Street
Laurel MD 20707
410 410 1983 / abello@bbenvir.com

x Bello
SIGNATURE OF APPLICANT

8/19/25
DATE

STEP 2: FOR CITY STAFF TO COMPLETE

☐ Yes ☐ No Staff Approval?

☐ Yes ☐ No Work started without Approval?

☐ Yes ☐ No Qualifies for Tax Credit?

☐ Yes ☐ No Building Permit Required?

☐ Yes ☐ No Public Notice Sign Required?

MEETING DATE:

TAX ID (ACCOUNT) #:

PERMIT NUMBER:

STEP 3: STAFF APPROVAL SIGNATURES

APPROVAL DATE:

CONDITIONS AND/OR COMMENTS:

HISTORIC DISTRICT COMMISSION

PLANNING AND ZONING



CITY OF LAUREL HISTORIC DISTRICT COMMISSION

8103 Sandy Spring Road • Laurel, MD 20707 • (301) 725-5300 • Fax (301) 490-5068 ecd@laurel.md.us

This authorization does not by its issuance preclude or replace permits required by other departments or agencies

HDC CERTIFICATE OF APPROVAL APPLICATION

STEP 1: FOR APPLICANT TO COMPLETE

DATE OF APPLICATION: 8/19/25

ADDRESS OF PROPERTY: 352 Main Street
Laurel MD 20707

OWNER'S NAME, ADDRESS, PHONE & EMAIL:

Bellz and Bellz c/o Adebayo Bello
349 Main Street
Laurel MD 20707
410-410-1983
abello@bbenvir.com

CONTRACTOR'S NAME, ADDRESS, PHONE AND EMAIL:

TYPE OF REQUEST (Check all that apply):

Sign _____ Tree Removal _____ Shutters _____ Shed _____
Roof _____ Windows _____ Paving _____ Fence ☒
Garage _____ Porch _____ Paint _____ Addition _____
Demolition _____ Other: _____

WORK DESCRIPTION:

Install black wooden fence to
replace the approved vinyl white
fence.

*COMPLETE FOR SIGNAGE or AWNING REQUESTS ONLY:

(Check one)

FLATWALL _____

PROJECTING _____

SIGNBAND _____

FREESTANDING _____

(Details)

SIZE: _____

MATERIAL: _____

MESSAGE: _____

COLORS: _____

LIGHTED SIGN: _____

IF YES, TYPE: _____

APPLICANT'S NAME, ADDRESS, PHONE AND EMAIL:

Bellz & Bellz c/o Adebayo Bello
349 Main St, Laurel MD 20707
410 410 1983
abello@bbenvir.com

x Bello
SIGNATURE OF APPLICANT

8/19/25
DATE

STEP 2: FOR CITY STAFF TO COMPLETE

- ☐ Yes ☐ No Staff Approval?
☐ Yes ☐ No Work started without Approval?
☐ Yes ☐ No Qualifies for Tax Credit?
☐ Yes ☐ No Building Permit Required?
☐ Yes ☐ No Public Notice Sign Required?

MEETING DATE: _____

TAX ID (ACCOUNT) #: _____

PERMIT NUMBER: _____

STEP 3: STAFF APPROVAL SIGNATURES

APPROVAL DATE: _____
CONDITIONS AND/OR COMMENTS: _____

HISTORIC DISTRICT COMMISSION _____

PLANNING AND ZONING _____

CITY OF LAUREL
HISTORIC DISTRICT COMMISSION

8103 SANDY SPRING ROAD, LAUREL, MD 20707
301-725-5300

CERTIFICATE OF APPROVAL NO. HDC 2026-0018

Date of Application: 8/17/25		Work Type: Stairs, Fence, Paving	HDC Sign Required? Yes: No: ☒			
Submit Information By: 9/19/25 N/A		For Meeting On: 10/14/25 June 16 2026				
ADDRESS OF PROPERTY: 352 Main Street Laurel, MD 20707		WORK DESCRIPTION (Please be specific on colors, style and material): Retroactive approval to install rear wooden steps painted black and white for upstairs egress, install a black wooden fence to enclose trash bin, and install a 10ft x 10ft concrete pad for access to trash bin. applicant removed				
OWNER'S Name, address, number, email: Bellz and Bellz c/o Adebayo Bello 349 Main Street Laurel, MD 20707 410-410-1983 – abello@bbenvir.com						
CONTRACTOR'S Name, address, phone number, email:		*Section below for Signs: (drawing must accompany application)				
		<table border="1" style="width: 100%; border-collapse: collapse;"><tr><td rowspan="2">TYPE:</td><td>Flatwall</td><td>Projecting</td></tr><tr><td>Signband</td><td>Frestanding</td></tr></table>		TYPE:	Flatwall	Projecting
TYPE:	Flatwall	Projecting				
	Signband	Frestanding				
APPLICANT'S Name, address, phone number, email: Same as owner		MESSAGE:				
		COLORS:				
		Illumination:	Type:			
*CONDITIONS: (1) Applicant must comply with Section 20-90, 20-91, 20-98 of the Historic District Guidelines. (2) If work has not commenced within (12) twelve months of the date of approval, the Certificate is void, unless a renewal is requested from the Historic District Commission before it expires. (3) IF THIS IS STAFF APPROVAL: All work must be "in-kind"; using same color (or color from the Historic District Approved Color List), same style and same material. Failure to comply can result in code enforcement fines and/or denial of tax credit requests. NO EXCEPTIONS. (4) IF THIS IS A TREE REMOVAL: It is recommended a new tree be planted on the property for each tree removed, using the Approved Tree List created by the City of Laurel Tree Board (5) PLEASE POST THIS CERTIFICATE IN A WINDOW UNTIL WORK IS COMPLETED						
FEE: \$50		*Starting July 1, 2024 there will be a fee of \$25 or \$50 for this				
HISTORIC DISTRICT COMMISSION:		DATE:				
PLANNING AND ZONING:						
*This authorization does not by its issuance preclude or replace permits required by other departments or agencies.						
ON FILE (SEE APPLICATION)		410-410-1983				
Signature of Applicant		Daytime Phone number				
Qualifies For Tax Credit: Yes: No: ☒		*Applicant still has to apply to receive approval.				
Permit Required: Yes: ☒ No:		Permit No.				