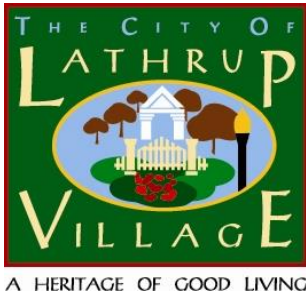




Planning Commission Agenda

Tuesday, February 20, 2024 at 7:00 PM
27400 Southfield Road, Lathrup Village, Michigan 48076

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Approval of Meeting Minutes**
 - [A.](#) PC Minutes 2023 12 18
5. **Public Comment**
6. **Old Business and Tabled Items**
 - [A.](#) Site Plan Approval - 27300 Southfield Road (Abro Management)
7. **New Business**
 - [A.](#) Planned Unit Development (PUD) Amendment - 27777 Southfield Road (Panera Bread)
 - [B.](#) Public Hearing Proposed Special Land Use - 27411 Southfield Road (Jay Birds Bar & Grill)
 - [C.](#) Special Land Use Approval - 27411 Southfield Road (Jay Bird's Bar & Grill)
 - D. Election of Officers
 - [E.](#) 2024 PC Calendar of Meeting Dates
8. **Other Matters for Discussion**
 - [A.](#) 2023 PC Annual Report
 - [B.](#) Development Project Updates
9. **General Communication**
10. **Adjourn**



Planning Commission

Draft Meeting Minutes

Tuesday, December 19, 2023, at 7:00 PM
27400 Southfield Road, Lathrup Village, Michigan 48076

1. **Call to Order by Commissioner Stansbery at 7:03**
2. **Pledge of Allegiance**
3. **Roll Call**

Present: Commissioner Stansbery, Commissioner Fobbs, Commissioner Dizik, Commissioner Hammond, Commissioner McClure, Commissioner Tamarelli

Also Present: Community & Economic Development Director Susan Stec, Attorney Baker, Clerk London, and Eric Pietsch of Giffels Webster

4. **Approval of Agenda**

Motion by Commissioner Hammond to approve the agenda as presented. Commissioner Fobbs seconded the motion. Motion carried.

5. **Approval of Meeting Minutes**

- A. PC Minutes 2023 11 21

Motion by Commissioner Hammond to approve the meeting minutes of November 21, 2023. Commissioner Dizik seconded the motion. Motion carried.

6. **Public Comment**

Bruce Kantor thanked the Commission for all the hard work.

Rick Wisz – Pledge of Allegiance protocol

7. **Old Business and Tabled Items**

- A. Parking Standards discussion

The Commission assigned staff to find examples of communities that no longer have parking standards.

Eric Pietsch of Giffels Webster explained the unique circumstances of Lathrup Village because Southfield Road is more of a thoroughfare. Because of these circumstances, Lathrup Village

may want to consider a parking reduction rather than a full removal of parking minimums. Eric focused on the Village Center District and keeping with the Master Plan, suggesting allowing on-street parking for streets that led into the Village Center.

The Commission discussed that it may be time to revisit the master plan.

8. New Business

None

9. Other Matters for Discussion

A. Development Project Updates

Susan Stec went over the spreadsheet and answered questions. Also, informing the Commission of the grand opening of Panera Bread and 44 Burrito.

10. General Communication

The Commission discussed proposed dates for study sessions.

11. Adjourn

Motion by Commissioner Hammond to adjourn the meeting, motion seconded by Commissioner Dizik.

The meeting adjourned at 8:17 pm.

February 13, 2024

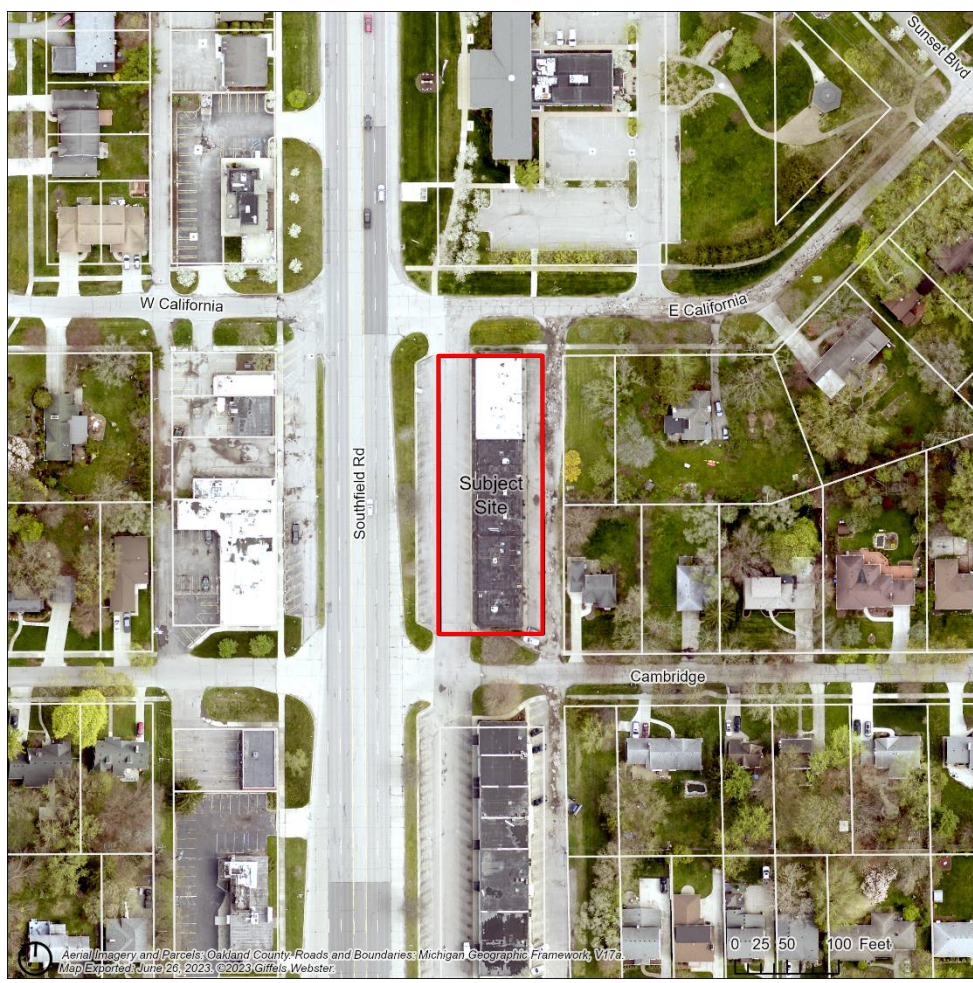
Planning Commission
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076

Site Plan Review

Site: 27300 Southfield Road
Applicant: Abro Property Group
Plan Date: January 23, 2024
Zoning: MX Mixed Use District
Parcel ID: 24-13-353-001
Proposal: Interior / Exterior Commercial Building Renovation

Dear Planning Commissioners,

We have reviewed the site plan application, and a summary of our findings is below. Items in **bold** require specific action by the applicant.



REVIEW SUMMARY

1. The proposed reconfiguration of the existing alley from two-way traffic to one-way with angled parking will require an encroachment license from the City as well as approval from the City Council.
2. 18 newly striped, angled parking spaces are shown to be located behind the building and accessed by the existing public alley in a one-way configuration. Four additional spaces are proposed to be built within the Cambridge Boulevard right-of-way as allowed by the ordinance. These spaces require approval from the City as they are accessed from, and fully within the City's right-of-way.
 - a. The proposed parking layout, as shown on the current site plan, appears to comply with the dimensional standards set forth in the ordinance under Section 5.13.9.
3. The 10' x 40' loading/unloading area obstructs 3 of the 18 rear alley parking spaces resulting in only 15 angled spaces along the alley.
4. Review of the off-street parking analysis finds the site provides the minimum number of parking spaces required by the ordinance, pending the approval of four additional on-street parking spaces. 22 additional parking spaces exist adjacent to the site within the Southfield Road right-of-way but are not allocated to the proposed development to satisfy the minimum parking requirements.
5. The applicant shall coordinate with the City and adjacent property owners upon installation of the proposed masonry barrier wall location as shown on the plans.

DETAILED REVIEW

Project Summary

The approximate half acre site is zoned MX – Mixed Use District and is located along the east side of Southfield Road, between Cambridge Boulevard to the south and California Drive SE to the north. The existing building consists of one floor and contains seven (7) tenant lease spaces with a total area of 11,528 square feet. The proposed site plan layout divides the entire building into eight (8) lease spaces, all of which are vacant. The front of the site is accessible from California Drive SE only, via a one-way drive aisle, south to Cambridge Boulevard. There is no direct access to and from Southfield Road and none is planned. The rear of the site, facing east, abuts a public alleyway and provides parking spaces to the back of the tenant spaces. The properties to the south and west of the site are zoned MX – Mixed Use and the lots to the east of the alley exist as single-family residential. Areas north of California Drive SE are zoned VC – Village Center.

The previous tenant spaces within the site appear to be a mix of uses and therefore, permitting any of the future uses of the vacant tenant spaces may be subject to site plan review with approval by the Planning Commission. The laundromat component is a change of use for the site, requiring site plan review and consideration by the Planning Commission.

On July 18th, 2023, the Planning Commission discussed and formulated preliminary standards for self-service laundromat uses and established a public hearing at the August 15th meeting. At that time, the Planning Commission recommended a zoning amendment to permit self-service laundromats in the Mixed-Use Zoning District; however, that amendment was not approved by City Council. On December 18, the City Council reconsidered the proposed ordinance amendment to allow self-service laundromats as a permitted use within the Mixed Use: MX zoning district. The site plan review of the overall building renovation continues as outlined in the remainder of this letter.

Proposed

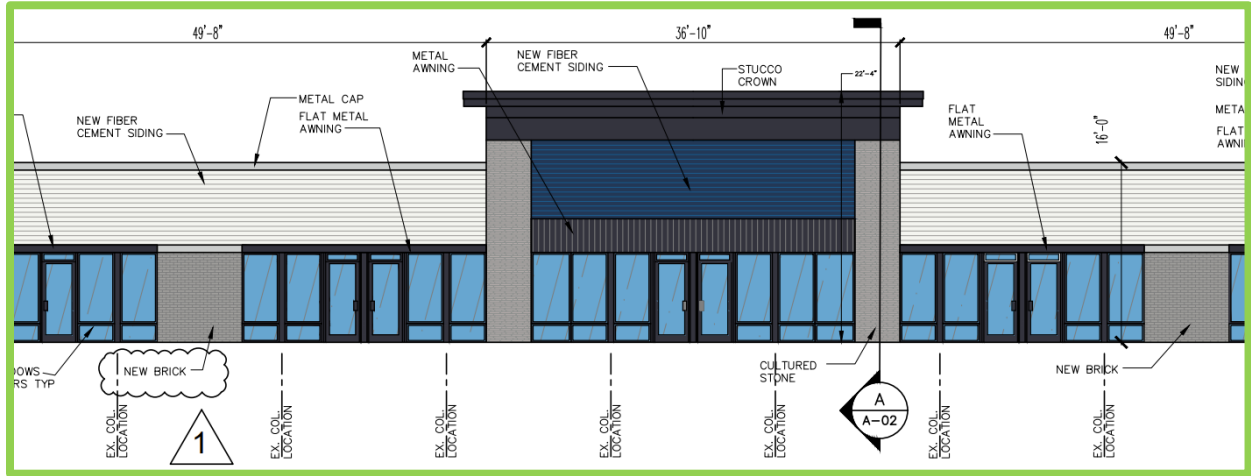
1. **Use (Section 3.1.9.B & C).** The applicant intends to renovate both the exterior and interior of the existing commercial building, permitting activity that requires site plan review and Planning Commission approval. The applicant is proposing a mix of personal service and retail uses, as well as a laundromat facility. See item 7 below for comments pertaining to the parking analysis. The remaining items are to be applied to the general renovation of the existing building, based on the plans as submitted.

2. **Mixed Use Buildings (Section 4.13).** No commercial uses shall be located on a floor above any residential uses in any mixed-use building. *The existing building is one story, and no additional story is proposed above.*
3. **Waste and Rubbish (Section 5.3.1).** No garbage, sewage, filth, refuse, waste, trash, debris, or rubbish, including cans, bottles, wastepaper, cartons, boxes, crates, inoperable machinery, discarded building materials, discarded household goods, or any offensive or obnoxious matter, shall be kept in open containers or piled, placed, or stored on the open ground. The owners and occupants of every building shall provide proper, covered receptacles for said waste and keep receptacles clean and in an inconspicuous location, out of public view, on the grounds outside of a building. Rubbish may, however, be placed at roadside for pickup on designated days in conformity with the city's ordinances regulating rubbish collections.

*The site plan shows the location of 10 waste receptacles for the proposed 8 tenant spaces along the back alley and abutting the building. **The waste receptacles shall have adequate space for storage and maneuverability on the 4'-6" walkway, adjacent to the angled parking spaces, along the rear of the building.** No commercial dumpster is proposed at this time.*

4. **Building Materials (Section 5.4).** Except as otherwise provided in this ordinance, on all permanent buildings, exterior wall construction and exposed, exterior chimneys shall be either brick, natural stone, masonry materials other than brick, or a combination thereof, provided all such materials comply with the specifications outlined in this section.

*Fiber cement siding is used among much of the façade that is not accented by brick or cultured stone. Fiber cement is a masonry product designed to replace traditional wood and vinyl elements, but due to the higher sustainability, it is often used in combination with or in place of traditional brick and stone. **The applicant may consider providing samples of the proposed materials for the Planning Commission to discuss with the applicant.***

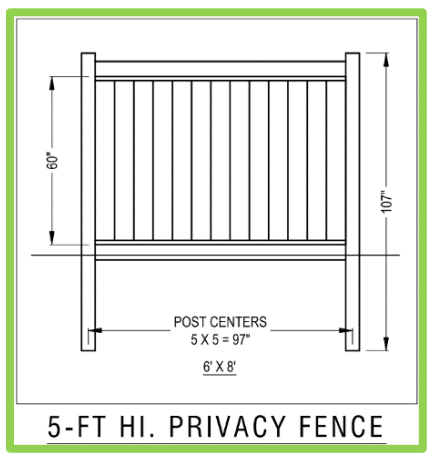


5. Architectural trim material may be wood, aluminum, or other material of equal strength and durability if the building walls proper are of fire-resistant material. Such trim material shall not cover more than ten percent of the exterior wall construction (Section 5.4.3).

The Planning Commission may wish to discuss the appropriateness of the trim materials, particularly the stucco crowns in some areas.

TOTAL FRONT ELEVATION	4105.8 SQ. FT. = 100%
CULTURED STONE	367.76 SQ. FT. = 8%
GLASS	1490.37 SQ. FT. = 36.2%
FIBER CEMENT SIDING	1509.03 SQ. FT. = 36.7%
METAL CAP	203.54 SQ.FT. = 4%
STUCCO CROWN	317.8 SQ. FT. = 7%
BRICK	217.3 SQ. FT. = 5%

- 6. **Protective or Barrier Walls Required (Section 5.5).** Proposed developments in the Mixed-Use district shall provide and thereafter maintain in good condition, a protective or barrier wall between an R1 district and such lot in conformity with the following requirements:
 - a. It shall be a continuous and **solid face brick, masonry, or stone wall** at least 5 feet high (but not more than 6 feet high) as measured from the side of the wall farthest from the R1 district as finally and properly graded. **The fence diagram provided does not comply with the barrier type (wall structure) nor the material standards. The applicant shall update the barrier wall diagram to demonstrate full compliance with this section.**
 - b. It shall be at least 8 inches thick and reinforced with steel, pilasters, or the equivalent and shall provide for proper drainage to flow through or around the wall in accordance with sound engineering practice. **The plans shall demonstrate compliance.**
 - c. It shall extend the full length of the property being put to use by the provider of the wall; provided, however, it shall not be extended to within the front 20 feet of an abutting R1 lot and may be reduced to 3 feet high in the end 20 feet. **The site plan shows the 20-foot setback from each right-of-way; however, the wall structure shall be reduced to 3 feet in height and extend the remaining 20 feet to the street right-of-way line(s).**
 - d. It shall be placed adjacent to and along the property line which abuts the R1 district where the two districts abut each other. It shall be placed on the R1 side of any alley, in the alley, when there is an alley which runs between the two districts. *This standard appears to be met.*
 - e. The building official, in the exercise of his sound discretion, may provide for minor deviations from the foregoing specifications as provided in Section 6.1.B.



- 7. Architectural trim material may be wood, aluminum, or other material of equal strength and durability if the building walls proper are of fire-resistant material. Such trim material shall not cover more than ten percent of the exterior wall construction (Section 5.4.3).

The Planning Commission may wish to discuss the appropriateness of the trim materials, particularly the stucco crowns in some areas.

- 8. **Outside Illumination (Section 5.8).** All lighting apparatus used for outside illumination shall direct all light downward and shall be so constructed as to prevent the directed light from extending beyond the lot being illuminated. Except as otherwise provided in this ordinance, no lighting apparatus shall be placed more than 18 feet above grade as measured to the point on the ground nearest the light. No light source shall cause or permit direct, indirect, or reflected light to extend beyond the lot upon which it is placed so as to be annoying to any occupant of a neighboring lot who is of ordinary sensibilities. *The site plan indicates wall-mounted exterior lighting will be located along the front and back of the building. The site plan notes exterior lighting will demonstrate compliance with ordinance standards.*

9. **Off-Street Parking (Section 5.13.3)** Increase of floor area or change in use. Whenever a use requiring off-street parking is increased in floor area and such uses are located in a building existing on or before the effective date of this article, and whenever a use of existing premises is changed to one requiring greater off-street parking, parking facilities for the total floor area and use shall first be provided and thereafter maintained in the amounts specified in this article.

The site plan provides an off-street parking analysis which indicates the proposed laundromat is 20% of the overall commercial building. The remaining 80% is planned to be used as personal service and retail establishments. Assuming this mix of tenant spaces, review of the updated site plan finds:

- a) *The laundromat tenant space will require 7 parking spaces.
1 parking space is required for every 4 laundry machines. 28 laundry machines will be provided.*
- b) *The applicant states the usable floor area of the remaining 9,236 sq. ft. of retail space is 80% (7,389 sq. ft. UFA).
1 parking space for every 200 sq. ft. UFA x 7,389 sq. ft. = 36.94 or 37 spaces.*
- c) *The total amount of parking required for the entire site is 44 spaces (7 + 37).*
- d) *With 44 parking spaces required and 40 on-site spaces provided (22 in the front and 18 in the rear), **the site is short 4 parking spaces, or 9%.***
- e) *The site plan proposes four additional parking spaces to be built in the Cambridge Boulevard right-of-way, subject to approval by the City (5.13.10.B). **In order to preserve the existing mature maple tree in the Cambridge Boulevard right-of-way, the applicant is encouraged to relocate the 4 on-street parking spaces from Cambridge Boulevard to California Avenue SE at the north side of the site.***

Additionally, the 18 parking spaces accessed by the public alley adjacent to the rear (east) property line must maintain an agreement with the City to access all 18 on-site parking spaces from the alley in a one-way configuration.

- f) *We note the existing front parking area includes an additional 22 parking spaces; however, these spaces are located entirely within the Southfield Road right-of-way and may not be counted towards the provided parking for the proposed development.*
- g) **Delivery vehicle space. (Section 5.13.12).** On the premises of every building or use involving the frequent receipt or shipment of goods by motor, there shall be provided in addition to the otherwise required parking spaces and access drives, an area reserved for standing, loading, and unloading sufficient to avoid undue interference with public use of streets, alleys, driveways, aisles, and other parking spaces.

*A 10' x 40' loading zone is located along the northeast corner of the site and obstructs 3 of the 18 angled parking spaces along the alley. As a result, 41 of the 44 parking spaces would be provided when the loading zone is occupied, and **the site would temporarily be short 3 spaces, or 7%. The applicant shall demonstrate how deliveries will be accommodated on the site.***

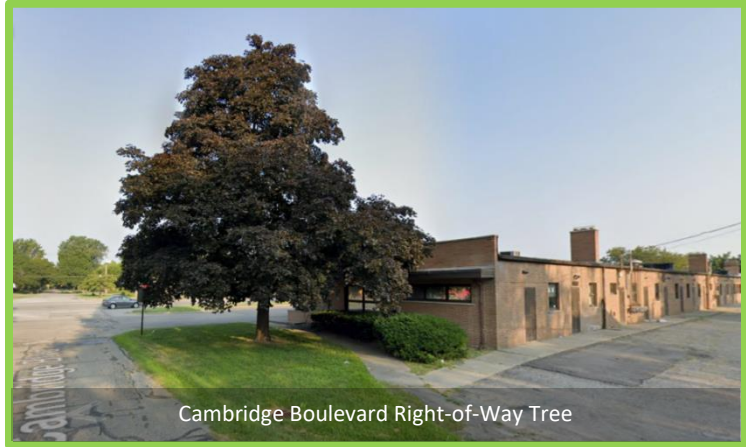
10. **Off-street parking layout standards (Section 5.13.9).** In order for existing parking spaces to be considered in the number of spaces provided by the facility, the site plan shall include the requirements and dimensional standards of this section.

The 18 parking spaces along the east alley and 22 parking spaces along the front of the building are shown to be in compliance with the standards of this section.

11. **Screening Standards for Site Plan Approval (Section 6.1.5.O).** Off-street parking, loading, and unloading areas, outside refuse storage areas, and other storage areas that are visible from adjacent homes or from public roads, shall be screened by walls or landscaping of adequate height. **See comment 5 above.**

- 12. **Landscaping (Section 5.15.15).** Landscaping around the building is located in the public rights-of-way. The proposed building renovation and change of uses do not include landscaping.

The site plan shall show the existing landscaping, and unless parking lot or building square footage is added, additional landscaping is not required. We note, the construction of the 4 on-street parking spaces within the Cambridge Boulevard right-of-way results in the removal of a mature maple tree. A scaled analysis of the California Drive SE indicates that there is adequate space to construct the four additional parking spaces on the north side of the building.



We will look forward to discussing the site plan application with the Planning Commission at the February 20, 2024 meeting.

Regards,

Giffels Webster



Jill Bahm, AICP
Partner



Eric Pietsch
Senior Planner



City of Lathrup Village
 27400 Southfield Road
 Lathrup Village, MI 48076
 Phone: (248) 557-2600
www.lathrupvillage.org

A HERITAGE OF GOOD LIVING

Office Use Only	
Date Submitted:	_____
Administrative Review Date:	_____
Site Plan Review Date:	_____

Application for Site Plan Review

Pursuant to Sec. 6.1 site plan review requirements are intended to provide a consistent and uniform method of review of proposed development plans, to ensure full compliance with the regulations of this article and other applicable ordinances and state and federal laws, to achieve efficient use of land, to protect natural resources, and to prevent adverse impact on adjoining or nearby properties. It is the intent of these provisions to encourage cooperation and consultation between the city and the applicant to facilitate development in accordance with the city's land use objectives.

Project Location

Subject Property Address:	27300 Southfield Rd, Lathur Village, MI		
Subject Property Parcel Number:			
Project Name:			

Applicant Information

Name:	Sadier Abro				
Address:	3807 Beechcrest Rd, Rochester Hills,	State:	MI	Zip Code:	48309
Phone Number:	248-722-4444	Cell:			
Email Address:	management@abroproperty.com				
Interest in Property:	Owner				

Property Owner Information

Name:	Sadier Abro				
Address:	3807 Beechcrest Rd, Rochester Hills	State:	MI	Zip Code:	48309
Phone Number:	248-722-4444	Cell:			
Email Address:	management@abroproperty.com				

Proposed Building/Alteration Information

Proposed Use:	this is for the facade of the property, there will be a face lift and a refacing.				
Existing Zoning:					
Square Footage of New/Altered Building:	Entire front of building				
Number of existing jobs:		New jobs created:		FT	PT

Project Architect				
Name:	Ghassan Khalef			
Address:	5644 Middlebelt Rd, Garden City	State:	MI	Zip Code: 48135
Phone Number:	313-377-9449	Cell:		
Email Address:	gkci@outlook.com			

Project Engineer				
Name:	Ghassan Khalef			
Address:	5644 Middlebelt Rd, Garden City	State:	MI	Zip Code: 48135
Phone Number:	313-377-9449	Cell:		
Email Address:	gkci@outlook.com			

Project Attorney				
Name:				
Address:		State:		Zip Code:
Phone Number:		Cell:		
Email Address:				

Required Submittal Information

Pursuant to Sec. 6.1.4 (C) Submission of site plan for final review: the applicant is required to submit the following materials to the City Hall 21 days prior to the targeted date of the formal Site Plan review. Failure to supply all required information will result in the rejection of the application by the Administration or the Planning Commission. Incomplete applications will not be accepted.

- One (1) completed and signed copy of the application for site plan review
- Initial Submission - seven (7) signed, sealed, & folded copies of the site plan, and an electronic file
Final submission- fourteen (14) signed, sealed, & folded copies of the site plan, and an updated electronic file
- Proof that the plan has been submitted for review to governmental agencies that have jurisdiction over any aspect of the project, including, but not limited to; the county road commission, county drain commission, county health division, Michigan Department of Transportation, Michigan Department of Environmental Quality, and other agencies deemed appropriate by the planning commission or city

Signatures

Application MUST be signed by both the applicant and legal property owner. The undersigned deposes that the foregoing and any attached information is true & correct.

Applicant's Signature:	<i>Sadier abro</i>
Applicant's Printed Name:	Sadier Abro
Date:	06/16/2023
Owner's Signature:	<i>Sadier abro</i>
Owner's Printed Name:	Sadier Abro
Date:	06/16/2023

Site Plan Review Checklist

Pursuant Lathrup Village Zoning Ordinance Sec. 6.1.4 Required information on all site plans, the following items are required to complete an application for Site Plan Review. It is the responsibility of the applicant to ensure that the application is complete, factual and complies with the city's ordinances.

Site plans shall consist of an overall plan for the entire development, drawn to a scale of not less than one inch = 20 feet for property less than one acre, one inch = 30 feet for property larger than one acre but less than three acres, and one inch = 50 feet for property larger than three acres. Sheet size shall be at least 24 inches by 36 inches.

Sec. 6.1.4 (B) Descriptive and Identification Data

Y	N	N/A	
✓			Applicant's name and address, and telephone number.
✓			Title block indicating the name of the development.
✓			Scale.
✓			Northpoint.
✓			Dates of submission and revisions (month, day, and year).
✓			Location map drawn to scale without northpoint.
✓			Legal and common description of property.
✓			The dimensions of all lots and property lines, showing the relationship of the site to abutting properties. If the site is a part of a larger parcel, the plan should indicate the boundaries of total land holding.
			A schedule of completing the project, including the phasing or timing of all proposed developments.
✓			Identification and seal of architect, engineer, land surveyor, or landscape architect who prepared plan.
		✓	Written description of proposed land use.
✓			Zoning classification of applicant's parcel and all abutting parcels.
		✓	Proximity to driveways serving adjacent parcels.
		✓	Proximity to section corner and major thoroughfares.
		✓	Notation of any variances which have or must be secured.
		✓	Net acreage (minus right-of-way) and total acreage, to the nearest one-tenth acre.

Sec. 6.1.4 (C) Site Data

Y	N	N/A	
✓			Existing lot lines, building lines, structures, parking areas, and other improvements on the site and within 100 feet of the site.
✓			Front, side, and rear setback dimensions.
✓			Topography on the site and within 100 feet of the site at two-foot contour intervals, referenced to a U.S.G.S. benchmark.
✓			Proposed site plan features, including buildings, roadway widths and names, and parking areas.
		✓	Dimensions and centerlines of existing and proposed roads and road rights-of-way.
		✓	Acceleration, deceleration, and passing lanes, where required.
		✓	Proposed location of driveway entrances and on-site driveways.
		✓	Typical cross-section of proposed roads and driveways.
		✓	Location of existing drainage courses, floodplains, lakes and streams, with elevations.
		✓	Location and dimensions of wetland areas. If deemed necessary because of site or soil conditions or because of the scope of the project, a detailed hydrology study may be required.
		✓	Location of sidewalks within the site and within the right-of-way.
		✓	Exterior lighting locations and method of shielding lights from shining off the site.
		✓	Trash receptacle locations and method of screening, if applicable.
		✓	Transformer pad location and method of screening, if applicable.

Y N N/A

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking spaces, typical dimensions of spaces, indication of total number of spaces, drives, and method of surfacing.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Parking Calculations in accordance with Zoning Ordinance Standards
<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	The location of lawns and landscaped areas, including required landscaped greenbelts.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Landscape plan, including location, size, type and quantity of proposed shrubs, trees and other live plant material.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, sizes, and types of existing trees five inches or greater in diameter, measured at one foot off the ground, before and after proposed development.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Cross-section of proposed berms.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and description of all easements for public right-of-way, utilities, access, shared access, and drainage.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Designation of fire lanes.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Loading/unloading area.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The location of any outdoor storage of materials and the manner by which it will be screened.

Sec. 6.1.4 (D) Building and Structure Details.

Y N N/A

<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Location, height, and outside dimensions of all proposed buildings or structures.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Indication of the number of stores and number of commercial or office units contained in the building.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building floor plans.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Total floor area.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location, size, height, and lighting of all proposed signs.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed fences and walls, including typical cross-section and height above the ground on both sides.
<input checked="" type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>	Building facade elevations, drawn to a scale of one inch equals = four feet, or another scale approved by the building official and adequate to determine compliance with the requirements of this article. Elevations of proposed buildings shall indicate type of building materials, roof design, projections, canopies, awnings and overhangs, screen walls and accessory building, and any outdoor or roof-located mechanical equipment, such as air conditioning units, heating units, and transformers, including the method of screening such equipment. Such equipment shall be screened from view of adjacent properties and public rights-of-way. Such screening shall be designed to be perceived as an integral part of the building design.

Sec. 6.1.4 (E) Information Concerning Utilities, Drainage, and Related Issues

Y N N/A

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Schematic layout of existing and proposed sanitary sewers and septic systems; water mains, well sites, and water service leads; hydrants that would be used by public safety personnel to service the site; and, the location of gas, electric, and telephone lines.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location of exterior drains, dry wells, catch basins, retention/detention areas, sumps and other facilities designed to collect, store, or transport stormwater or wastewater. The point of discharge for all drains and pipes should be specified on the site plan.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indication of site grading and drainage patterns.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Types of soils and location of floodplains and wetlands, if applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Soil erosion and sedimentation control measures.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Proposed finish grades on the site, including the finish grades of all buildings, driveways, walkways, and parking lots.

Y N N/A

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Listing of types and quantities of hazardous substances and polluting materials which will be used or stored on-site at the facility in quantities greater than 25 gallons per month.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Areas to be used for the storage, use, loading/unloading, recycling, or disposal of hazardous substances and polluting materials, including interior and exterior areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Underground storage tanks locations.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Delineation of areas on the site which are known or suspected to be contaminated, together with a report on the status of site cleanup.

Sec. 6.1.4 (F) Information Concerning Residential Development.

Y N N/A

<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	The number, type and location of each type of residential unit (one-bedroom units, two-bedroom units, etc.).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Density calculations by type of residential unit (dwelling units per acre).
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Lot coverage calculations.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Floor plans of typical buildings with square feet or floor area.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Garage and carport locations and details, if proposed.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Pedestrian circulation system.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and names of roads and internal drives with an indication of how the proposed circulation system will connect with the existing adjacent roads. The plan should indicate whether proposed roads are intended to be private or dedicated to the public.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Community building location, dimensions, floor plans, and facade elevations, if applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Swimming pool fencing detail, including height and type of fence, if applicable.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Location and size of recreation open areas.
<input type="checkbox"/>	<input type="checkbox"/>	<input checked="" type="checkbox"/>	Indication of type of recreation facilities proposed for recreation area.

Please Note:

Other data which may be required. Other data may be required if deemed necessary by the city administrative officials, planning commission, or city council to determine compliance with the provisions in this article. Such information may include traffic studies, market analysis, environmental assessment and evaluation of the demand on public facilities and services.

PROPOSED EXTERIOR AND INTERIOR RENOVATIONS
27300 SOUTHFIELD ROAD, LATHRUP VILLAGE, MI 48706
SITE AREA: 26,800 SQ. FT. (100' x 268') OR .615 AC

PARKING CALCULATIONS:

EXISTING BUILDING AREA: 11528 S.F.

- LAUNDROMAT UNIT AREA: 2,292 S.F.T. (14 WASHERS + 14 DRYERS)
 REQUIRED: 1 SPACE / 4 MACHINES = 7 SPACES
- AREA FOR PERSONAL SERVICES AND RETAIL USE: 9,236 S.F.
 UFA = 80% OF THE TOTAL AREA = 80% (9236 S.F.) = 7390 S.F.
 ONE SPACE PER 200 S.F. OF UFA = 7390 S.F. / 200 = 37 SPACES

TOTAL REQUIRED PARKING SPACES: 44 SPACES

PROVIDED SPACES:

- FRONT YARD: AT 54° ANGLE
 20 PLUS 2 B.F. SPACES
- REAR YARD: AT 39° ANGLE
 18 SPACES
- WITHIN CAMBRIDGE BLVD R.O.W.
 4 SPACES

TOTAL PROVIDED SPACES: 44 SPACES

Off-Street Parking Layout Standards			
Angle of Parking Space (degrees)	Maneuvering Lane (feet)	Total Module Width of 1 Tier of Spaces Plus Maneuvering Lane (feet)	Total Module Width of 2 Tiers of Spaces Plus Maneuvering Lane (feet)
90	22	42	62
80-89	21	42	62
75-79	19	41	62
70-74	18	40	62
65-69	17	40	62
60-64	16	37	58
55-59	15	36	56
50-54	14	34	53
45-49	13	32	50
40-44	12	30	47
35-39	11	28	44
30-34	11	27	42
1-29	10	24	38

FRONT PARKING

REAR PARKING

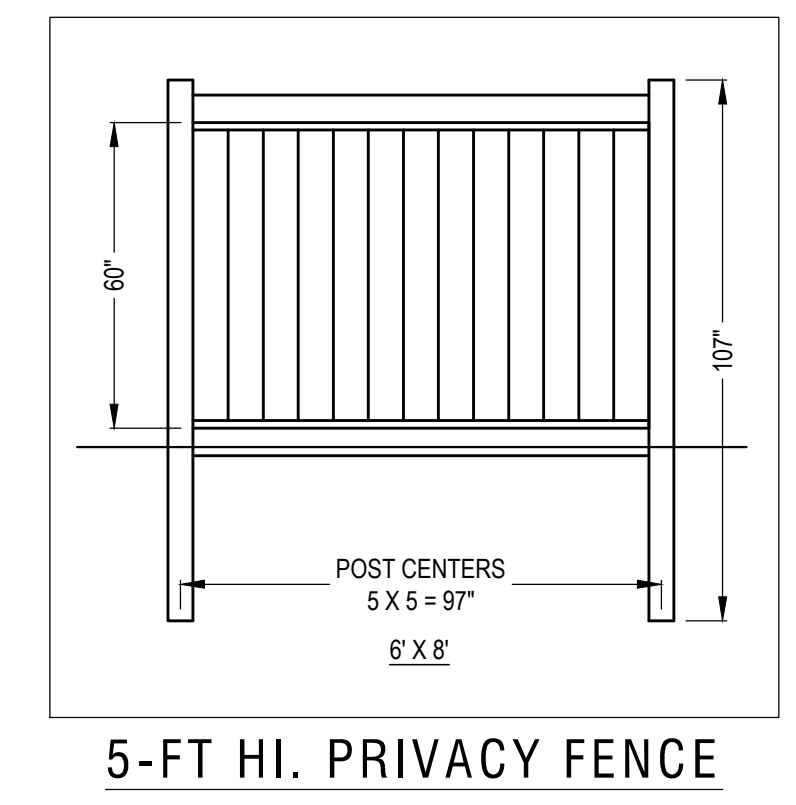
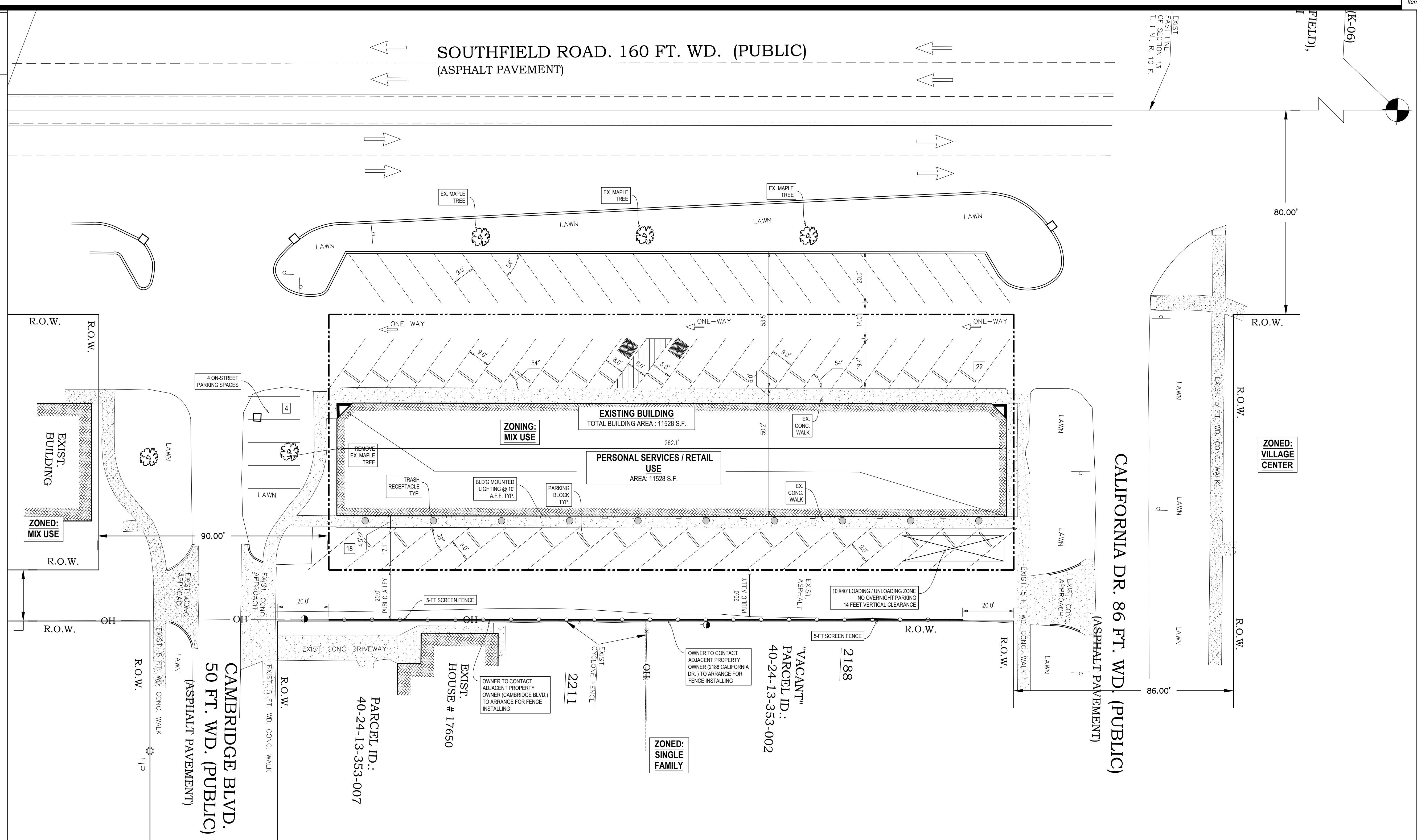
NOTES:

EACH LEASED SPACED WILL HAVE A TRASH RECEPTACLES FOR CURBSIDE PICKUP

ALL LEASE SPACE ARE VACANT

5.8 OUTSIDE ILLUMINATION

All lighting apparatus used for outside illumination shall direct all light downward and shall be so constructed as to prevent the directed light from extending beyond the lot being illuminated. Except as otherwise provided in this ordinance, no lighting apparatus shall be placed more than 18 feet above grade as measured to the point on the ground nearest the light. No light source shall cause or permit direct, indirect, or reflected light to extend beyond the lot upon which it is placed so as to be annoying to any occupant of a neighboring lot who is of ordinary sensibilities.

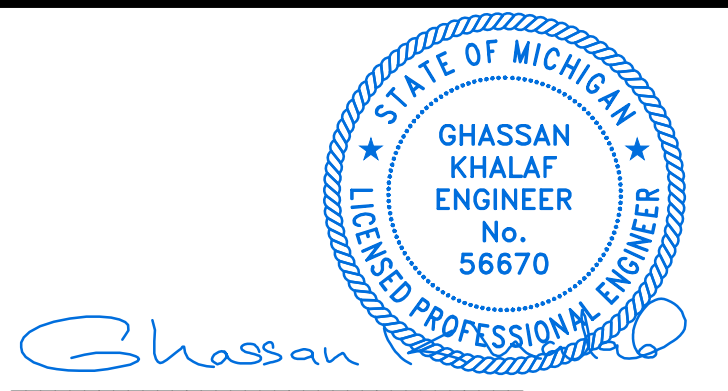


SHEET INDEX

CS-01	ARCHITECTURAL SITE PLAN
A-01	PROPOSED FLOOR PLAN AND DEMISING WALL DETAIL
A-02	ELEVATIONS AND SECTION



GK CONSULTING INC.
 BUILDING AND CIVIL ENGINEERING SERVICES
 GHASSAN KHALAF, P.E.
 TEL: 313-377-9449, E-MAIL: GKCI@OUTLOOK.COM
 ADDRESS: 5644 MIDDLEBELT RD, GARDEN CITY, MI 48135

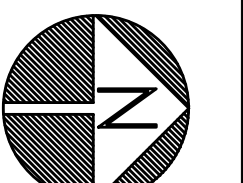


**27300 SOUTHFIELD,
 LATHRUP VL'G, MICHIGAN**

No.	AMENDMENT DESCRIPTION	DATE
9-18-23	REV PER PLANNING MEETING	
1-11-24	ADDING LAUNDROMAT	
2-4-24	28 MACHINES	

ARCHITECTURAL SITE PLAN

SCALE: 1" = 20'-0"
 DRAWN: [Name]
 DATE: 09-04-23
 DRAWING No. **CS-01**



January 31, 2024

Planning Commission
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076

PUD Amendment – Monument Sign Application

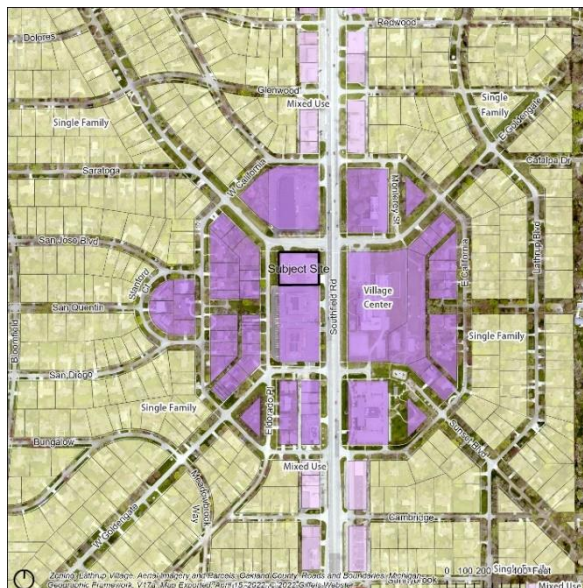
Site: 27777 Southfield Road
Applicant: Allen Industries
Plan Date: January 9, 2024
Zoning: PUD – Village Center District
Parcel ID: 24-14-432-006
Proposal: Restaurant Monument Sign

Dear Planning Commissioners,

We have completed a review of the Sign Ordinance for a monument sign at the new Panera restaurant under development at the southwest corner of Southfield Road and Sunset Boulevard. A summary of our findings is provided below. Comments are provided in **bold**.

PROJECT SUMMARY

The Panera restaurant with drive-through development received approval as a PUD by City Council on June 1, 2022. On July 26, 2022, the Planning Commission approved the final site plan which included a full review of the proposed signs on the site. The approved agreement between the City and Panera included approval of the site signage and was conditioned on the existing monument sign remaining as-is if the new Panera facility were to make use of the sign structure. The sign structure was removed during construction and therefore approval of a new monument sign is required. No other sign(s) is seeking approval with this application and amendment to the approved PUD.



SUMMARY OF THE PROPOSED MONUMENT SIGN REVIEW

Monument signs are not permitted in the Village Center (VC) zoning district; however, as part of the overall PUD consideration, the preexisting monument sign structure was approved by the Planning Commission and City Council if it were to remain and be reused by the new drive-through restaurant facility. While the preexisting sign structure was determined to be located within the 10’ minimum setback along Southfield Road, the applicant did not provide the dimensions of the structure itself. An image of the former sign structure is shown below for reference.

DETAILED REVIEW

1. Sign types permitted.

The sign standards as to type, location, area, height, and number for each district are found in Section 52-24. Since monument signs are not permitted in the Village Center district, the standards in the table below represent monument signs in general.

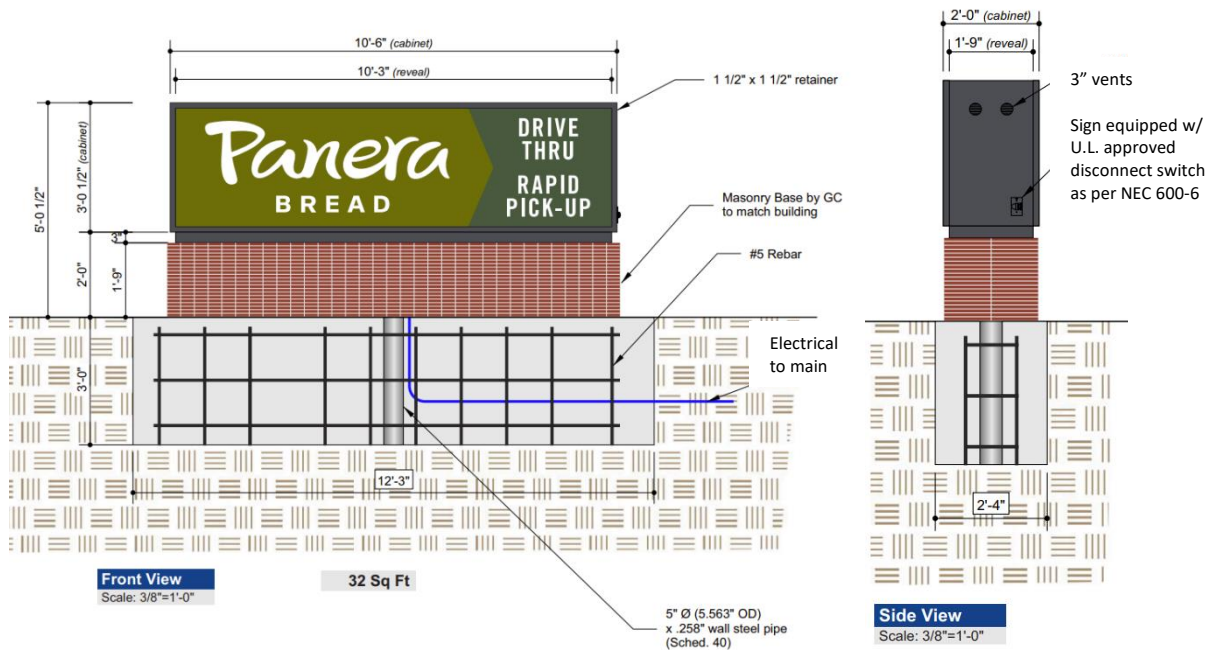
Ordinance Sign Standards – VC District				
Sign Type & Standard	Zoning Ord. Section	Required	Provided	Comments
MONUMENT SIGN (GROUND) - Not Permitted in the VC District				
Location				
(Pre) Existing	52-24.D.	10’ min. front & side yard setbacks	< 10’ min. along Southfield Rd. & Sunset Blvd.	Existing non-conforming. Masonry structure was to remain.
Proposed	52-24.D.	10’ min. front & side yard setbacks	10’ min. along property lines	Compliant
	52-23.B.	Not in the clear vision zone.	Within the clear vision zone.	Not Compliant₁
Size				
Max Area	52-24.D.	20 sf. per side	30.75 sf. per side	Not compliant
Max Height		5’ from ground level to top of sign	5’-0 ½”	Exceeds by ½”
Number		1 per parcel	1 sign	Not permitted in the VC District
Max. Total Area	52-25.A.1.	No more than 3x the surface display area (60 sf.)	92.25 sf.	Not Compliant₂
Min. Base Size & Material	52-25.A.2.	12 in. high min. Masonry	1 ft. 9 in. high Masonry	Compliant ₃
Street Number	52-25.A.3.	On sign face or supporting structure	No street numbers shown on sign or base.	Not Compliant
Min. Height of all Letters/Numbers	52-25.A.4.	6 in. (≥ 45 mph.)	Dimensions not provided.	Appears Compliant

NOTES:

- 1) Section 52-29(b) If the property upon which the sign is located is vacant and the previous use is abandoned, the entire sign (including above-ground base, height, poles, size, wires, panels, and any other element) shall be removed within 30 days of the property becoming abandoned.
- 2) The above-ground base structure did not contain a sign, as shown below, at right.
- 3) *Monument sign* means a sign extending upward from grade which is attached to a permanent foundation for a distance of not less than 50% of its length, and which may be attached or dependent for support from any pole, posts, or similar uprights provided such supports are concealed within the sign structure.



1. **The sign structure encroaches the clear vision zone and exceeds the 30" height limit allowed within the zone. See the diagram at the end of this review letter.**
2. Section 52-24.D. allows for a maximum sign area of 20 square feet per side. Therefore, the total area, including the sign and all supporting structure components for the monument sign shall be limited to no more than 60 square feet (three times the size of the sign surface display area of the sign). **The sign area for each side is 30.75 square feet. When multiplied by 3, the total sign and supporting structure amounts to 92.25 square feet for each side, which exceeds the 60 square foot limit by 32.25 square feet.**
- 3.



Illumination. Sec. 52-23(K).

1. Illuminating devices for signs shall comply with the City of Lathrup Village Electrical Code.
2. The light for any illuminated sign shall be so shaded, shielded or directed that the light intensity or brightness meet the requirements of [section 5.8](#) of the zoning ordinance.
3. The source of illumination may be internal or external but shall not be both internal and external. The source of the light shall not be exposed.

The plans indicate the illumination of the sign will be internal.

4. Glare control for sign lighting shall be achieved through the use of full cutoff fixtures, shields, and baffles, and appropriate application of fixture mounting height, lumens, aiming angle, and fixture placement.
5. Backlit signs shall use only white light for illumination. Such signs shall spread their illumination a maximum of four inches beyond the sign elements.

As stated in number 3 above, the plans indicate the illumination of the sign will be internal and not back lit or externally lit.

Sec. 52-23(L) Signs shall not have scrolling, blinking, flashing, animated or fluttering lights or other illuminating devices which have a changing light intensity, brightness, or color.

There is no indication that the proposed sign will contain any of the above characteristics; however, the applicant shall verify.

Additional Signs. No additional signs are included in the scope of work.

Regards,
Giffels Webster

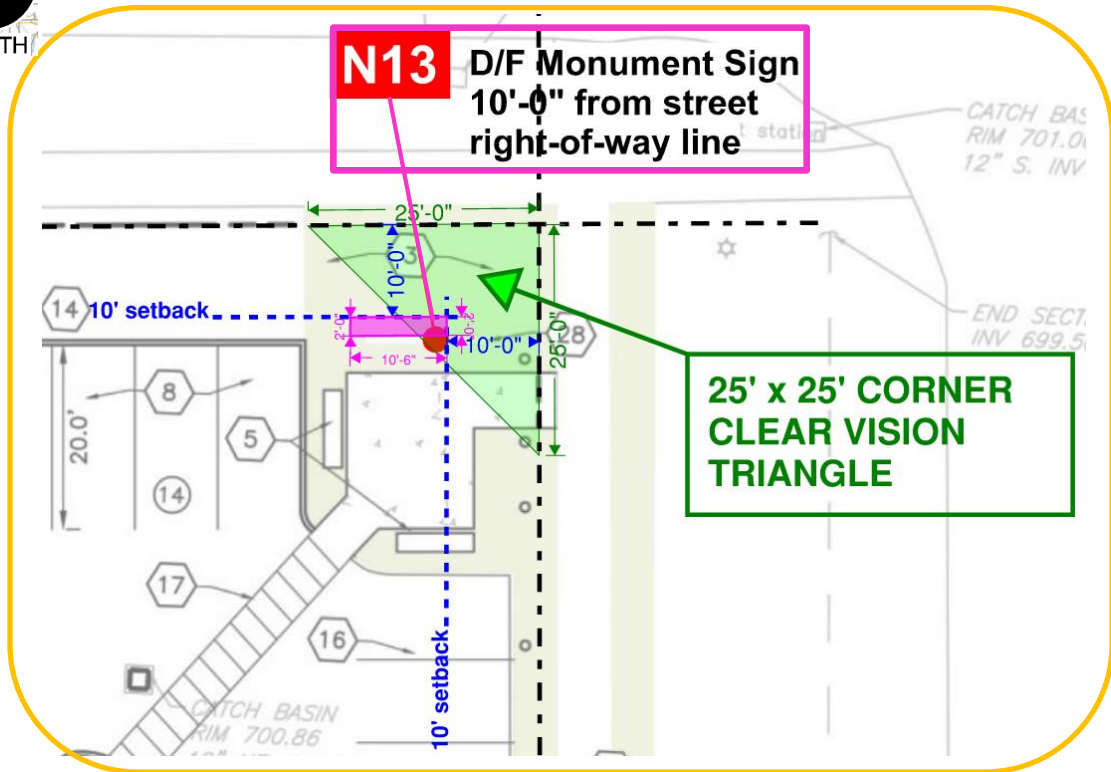
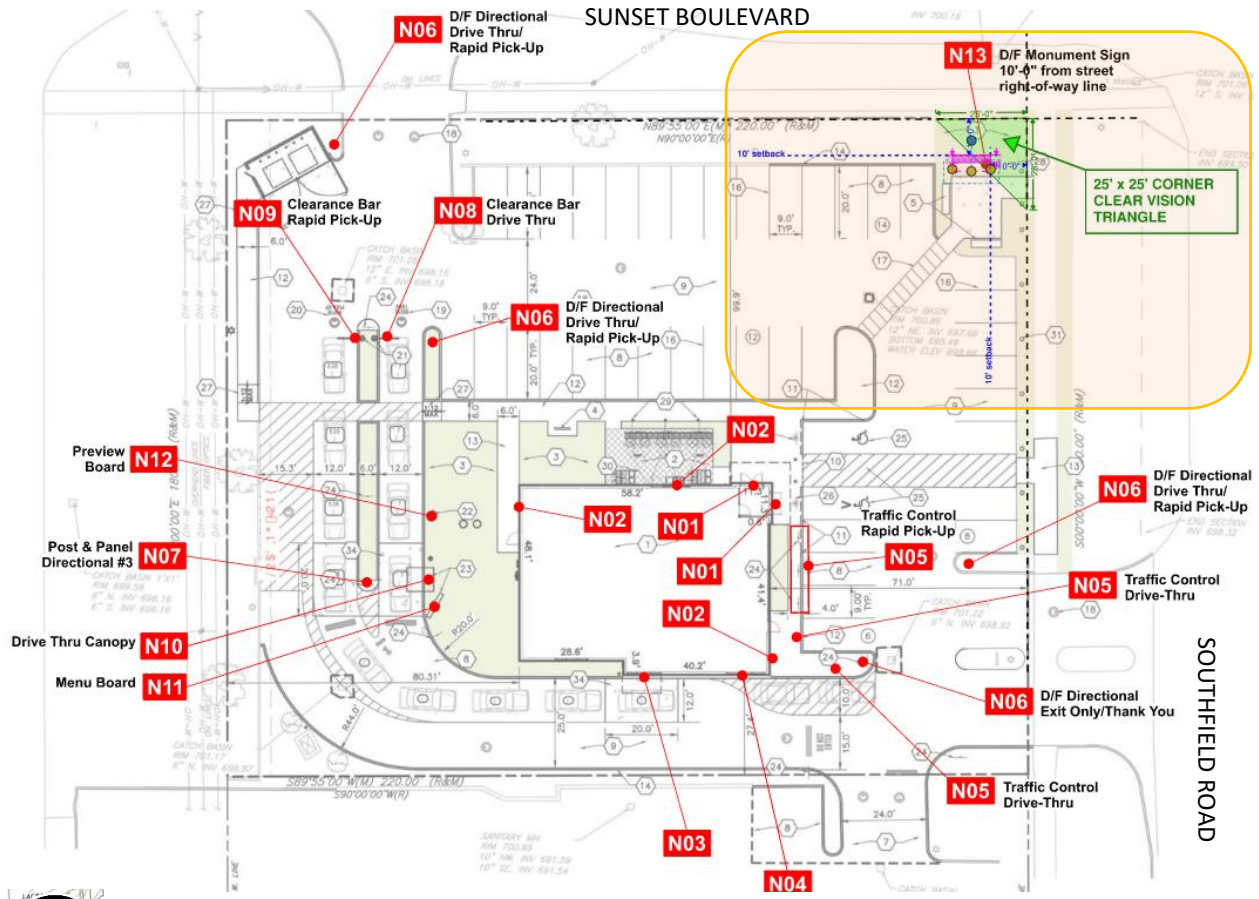


Jill Bahm, AICP
Partner



Eric Pietsch
Senior Planner

Site Plan Graphic





Panera Bread
Café #0662 - PNBD-J0007413
Lathrup Village, MI
December 19, 2023



YOUR BRAND AT ITS BEST™

1-800-967-2553
www.allenindustries.com

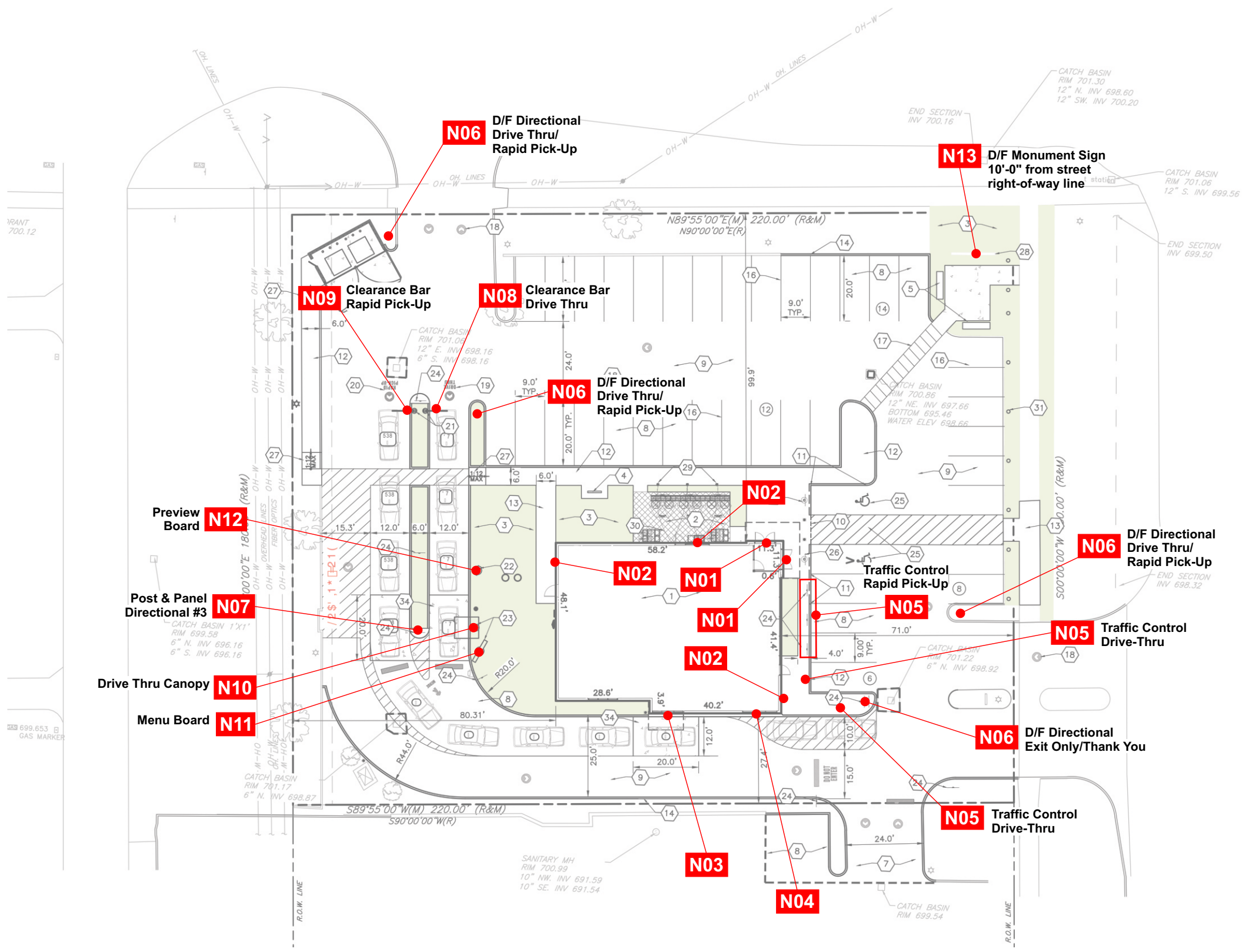
Customer Approval / Signature	
Signature: _____	Date: _____

DESIGN INTENT ONLY
Engineering Required to
Determine Actual Production
& Installation Requirements

Sign Legend

- N01** 24" Stacked Channel Letters/ 33" Logo
- N02** Drive Thru Rapid Pick Up Wall Signs
- N03** 60" Mother Bread Logo
- N04** 28" Stacked Channel Letters
- N05** Traffic Control Signs
- N06** Directional Signs
- N07** Post & Panel Directional Sign
- N08** Clearance Bar - Drive Thru
- N09** Clearance Bar - Rapid Pick-Up
- N10** Drive Thru Canopy w/ Speaker
- N11** Menu Board
- N12** Menu Preview Board Sign
- N13** D/F Monument Sign

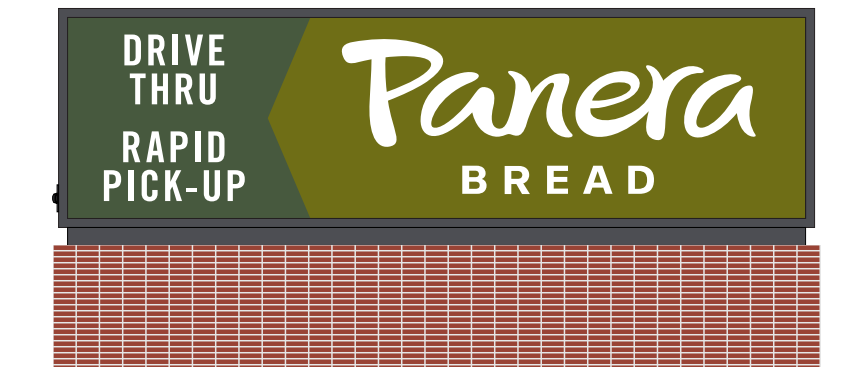
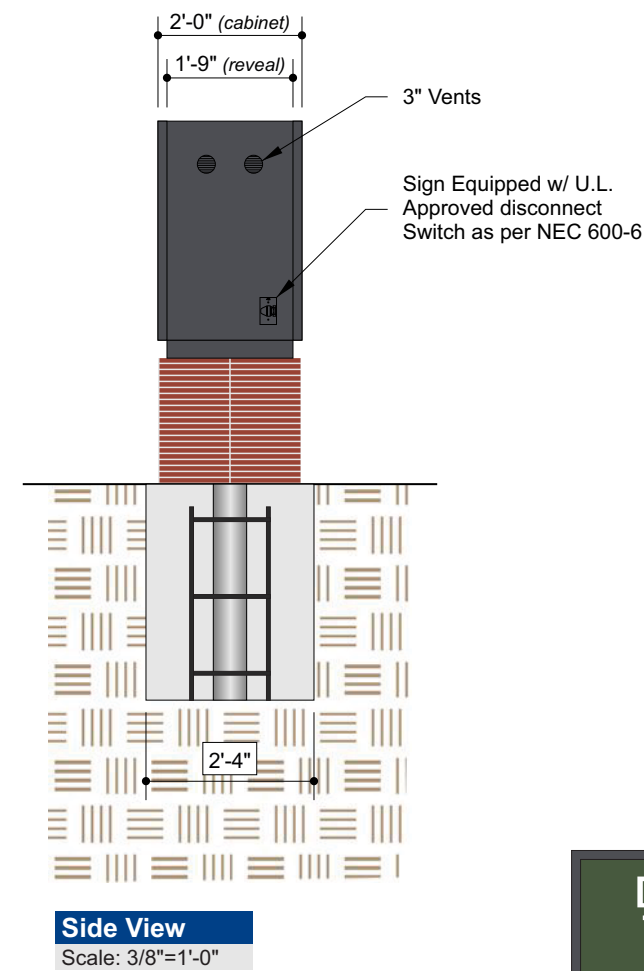
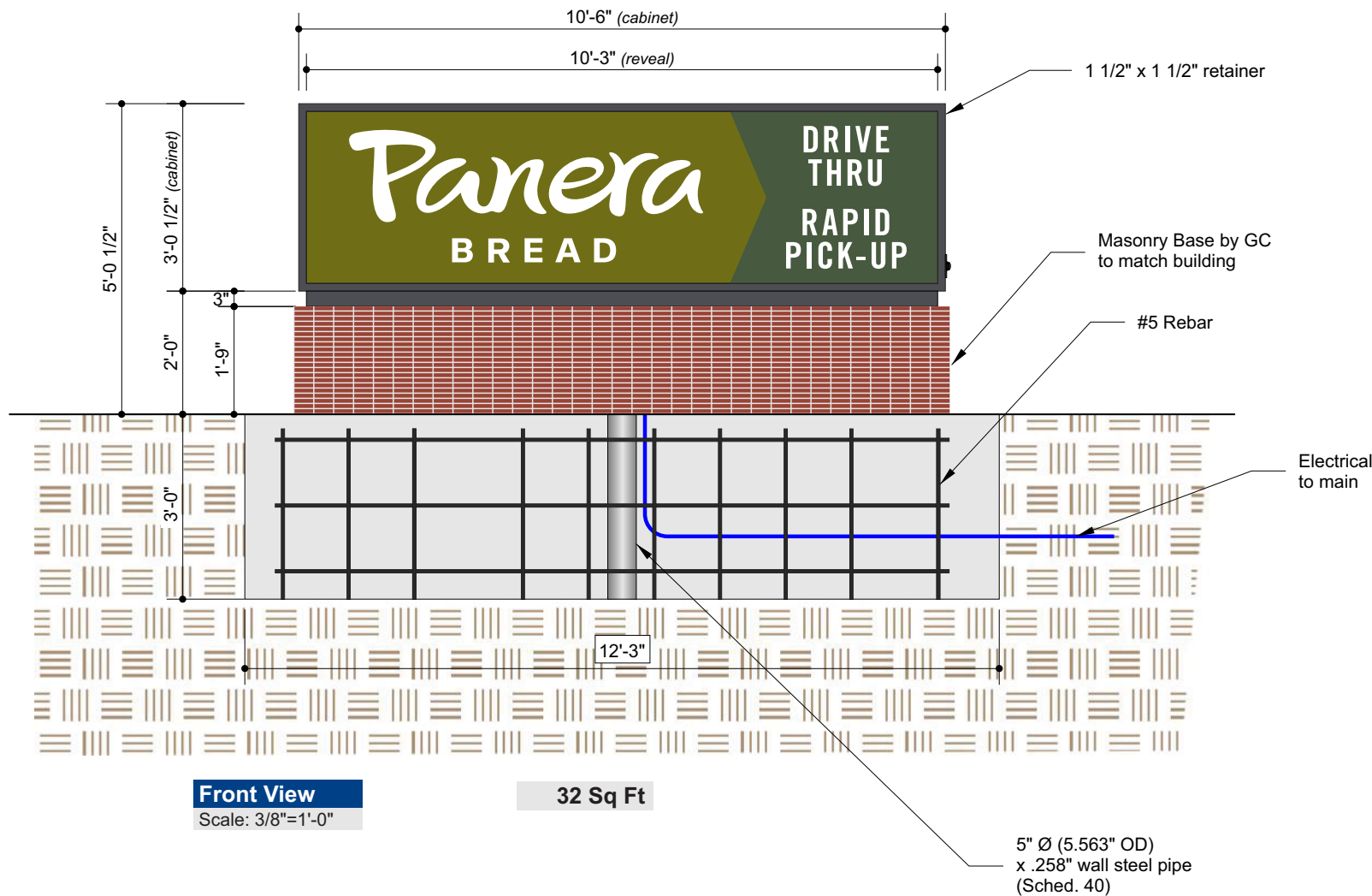
Note:
ALL Canopies to be the
responsibility of the landlord.



#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

Client Review Status	
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.	
Client Signature:	Approval Date:

DESIGN INTENT ONLY
Engineering Required to
Determine Actual Production
& Installation Requirements



Color Specifications

- PMS 2410 C
- Panera Green (PMS 2307 C)

Paint Specifications

- Panera Slate
Akzo Nobel to match PMS 7540 C
- White

Material Specifications

- .177" White Polycarbonate

Vinyl Specifications

- 3M Translucent Printing Vinyl

All paint finishes to be Satin unless otherwise specified



Electric Sign Complies with UL48

THIS SIGN IS INTENDED TO BE INSTALLED IN ACCORDANCE WITH THE REQUIREMENTS OF ARTICLE 600 OF THE NATIONAL ELECTRICAL CODE AND/OR OTHER APPLICABLE LOCAL CODES. THIS INCLUDES PROPER GROUNDING AND BONDING OF THE SIGN.



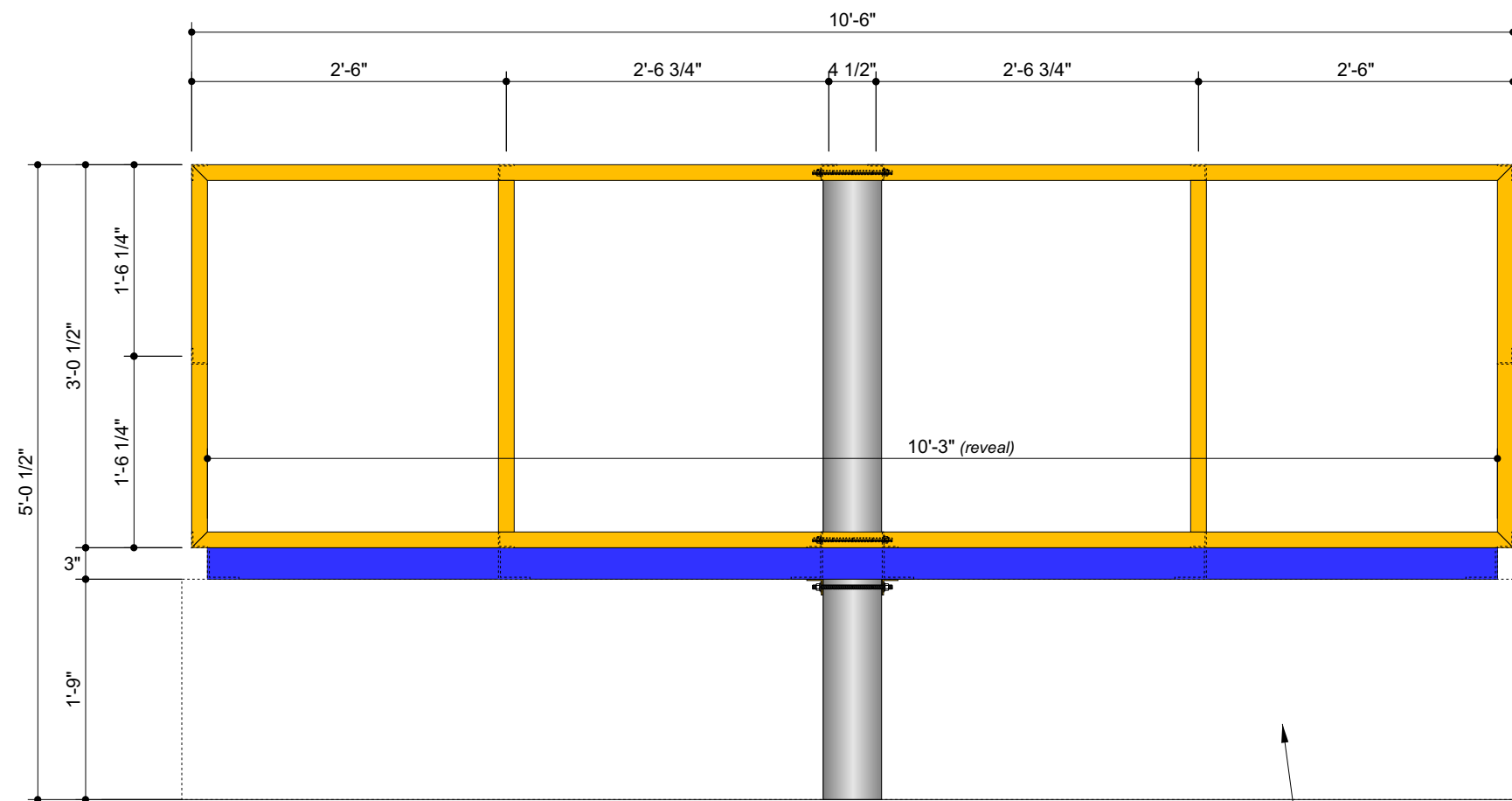
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Client Review Status

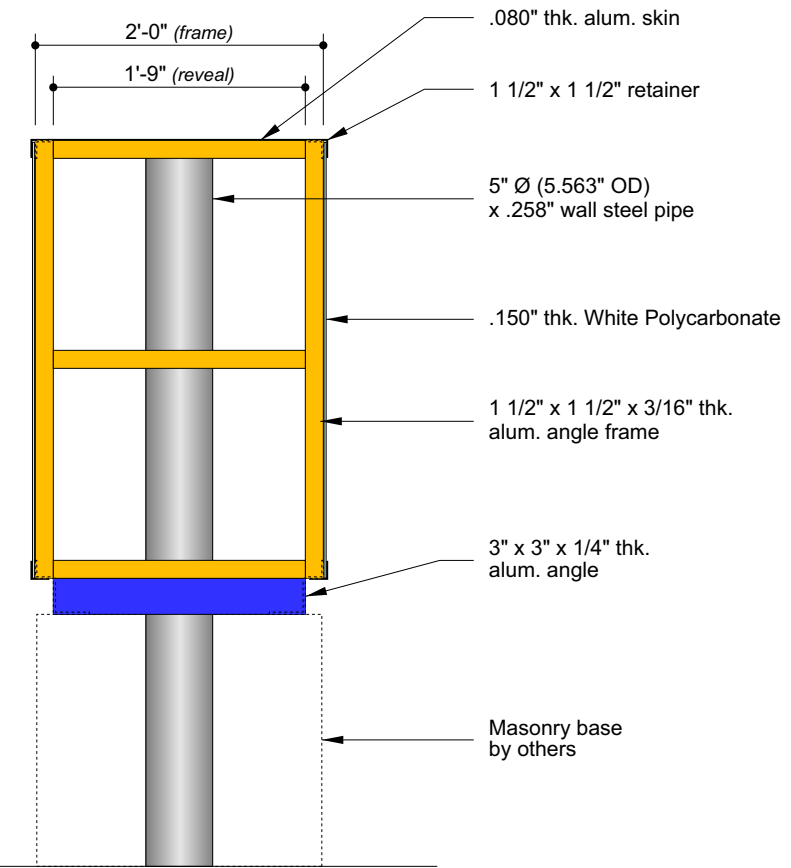
Allen Industries, Inc. requires that an approved drawing be obtained from the client prior to any production release or production release revision.

Client Signature:	Approval Date:
-------------------	----------------

DESIGN INTENT ONLY
Engineering Required to
Determine Actual Production
& Installation Requirements



Front View
Scale: 3/4"=1'-0"



Side View
Scale: 3/4"=1'-0"

Masonry base by others

#	Date	Description	Initial
1	-	-	-
2	-	-	-
3	-	-	-
4	-	-	-
5	-	-	-
6	-	-	-

**CITY OF LATHRUP VILLAGE
NOTICE OF PUBLIC HEARING
FOR SPECIAL LAND USE**

Please take notice that a Public Hearing for Special Land Use will be held before the City of Lathrup Village Planning Commission on Tuesday, February 20, 2024 at 7:00 p.m. in the Council Room of the City of Lathrup Village Municipal Building, 27400 Southfield Road, Lathrup Village, Michigan, to consider a request for Special Land Use Permit for the property located at 27411 Southfield Road, Lathrup Village, Michigan 48076. The applicant, Jay Birds Bar and Grill, is requesting a Special Use Permit to allow for the sale of alcoholic beverages at the aforementioned address. This use is allowed within the VC- Village Center Zoning District subject to Special Land use approval.

A hearing on the above matter will be granted to any person interested at the time and place specified. Written comments are encouraged to be submitted in advance to the office of the City Clerk prior to 4:30 p.m. on the date of the hearing for inclusion in the hearing record. Following the hearing, the City of Lathrup Village Planning Commission may make a recommendation to City Council to grant the requested Special Land Use Permit.

Kelda London
City Clerk
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076
(248) 557-2600

February 7, 2024

Planning Commission
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076

Site Plan Review and Special Land Use

Site: 27411 Southfield Road
Applicant: Jay Brown
Plan Date: January 26, 2024
Zoning: VC Village Center District
Parcel ID: 24-14-481-034
Proposal: Restaurant with alcohol sales: Special Land Use Class C Quota License

Dear Planning Commissioners,

We have reviewed the site plan and special land use application for the re-occupancy of this site as a restaurant, and a summary of our findings is below. Items in **bold** require specific action by the applicant.



REVIEW SUMMARY

Current minimum parking standards require more off-street parking spaces than the site provides. Therefore, unless the site proposes a change of use, the continued use as a bar and restaurant would be legally nonconforming pertaining to the off-street parking requirements of the zoning ordinance.

DETAILED REVIEW

Project Summary

The 0.38-acre site is located at the northwest corner of Southfield Road and California Drive SW and is zoned VC, Village Center. Properties to the north, east and west are zoned VC (Village Center). South of the site, the property is zoned MX (Mixed Use). The subject site is currently vacant and was previously used as a barbecue restaurant. The site plan for this property was approved in May 2010, and while ownership has changed a few times since then, the uses have remained the same.

The existing building consists of one floor and a total of 1,948 square feet gross floor area. An outdoor patio seating area abuts the building on its southeast side and is an additional 890 square feet. Combined, the restaurant, bar, and patio amount to 2,838 square feet. The surface parking lot consists of 24 parking spaces, two of which are designated handicap, and is accessible from both Southfield Road and California Drive SW. A 20' alley abuts the west property line but no access to the alley currently exists nor is alley accessed proposed. No additional building square footage or alterations to the existing parking lot are proposed with this special land use request.

Proposed

1. **Use.** The applicant will occupy the existing site and continue its use as a bar and restaurant, which are principal permitted uses within the Village Center District; the proposed sale of alcoholic beverages is a use that requires special land use approval from the Planning Commission and City Council.
2. **Off-Street Parking (Section 5.13).** The original site plan was approved under different parking standards. The current parking standard requires 1 parking space for every 70 square feet of gross floor area (an additional 17 parking spaces would be required under current provisions). While the site is legally nonconforming with respect to the number of parking spaces, **the applicant may wish to consider future options for additional parking in the event the need exceeds the supply.** We note the proximity of existing parking lots where a shared parking agreement may be pursued or the possible implementation of on-street parking, with City approval, may be constructed.

Standards for Special Land Use Approval (Section 6.2.10)

1. Reasonable Use. The proposed use is considered "reasonable" when it would be harmonious, compatible, and appropriate for the use along with not impinging unreasonably on the value or use of nearby properties.
The proposed use as a sit-down bar and restaurant are principally permitted uses within the Village Center District. The site had been used as such since 2010.
2. Conformity with other regulations of the City.
The site is existing and proposes no physical changes to the property. This standard appears to be met.
3. Location, intensity, and periods of operation. The location, intensity, and periods of operation of the use must be such as to eliminate any reasonable likelihood that it will be, cause, or create a public or private nuisance in fact.

The proposed use is reasonable within the context of location, intensity, and periods of operation of the City of Lathrup Village. The applicant states the hours of operation will be as follows:

Monday: 11:00 am – 11:00 pm.

Tuesday: Closed.

Wednesday through Friday: 11:00 am – 12:00 am.

Saturday: 11:00 am – 1:00 am.

Sunday: 11:00 am – 11:00 pm.

Peak hours weekdays: 6:00 pm – 10:00 pm. (approximately 50 persons)

Peak hours weekends: 6:00 pm – 11:00 pm (approximately 50 persons)

- 4. The use, as and where proposed, must not be inconsistent with the spirit and purpose of this ordinance nor contrary to the principles of sound community planning.

The proposed reuse as a restaurant and bar space in the VC – Village Center District is consistent with the spirit of the ordinance and is in line with sound community planning.

- 5. The character of the use must not have adverse effects on neighbors or the community. *The proposed use is the same as all previous uses over the past 13-14 years. As noted above, the number of parking spaces on the site is a legally nonconforming condition, but because this is a special land use, the Planning Commission may wish to discuss with the applicant how they will address overflow parking and whether any conditions related to parking may be appropriate. **One condition the Planning Commission could consider is that if significant parking overflow occurs beyond the boundaries of the Village Center district on a regular basis, that the applicant pursue a shared parking agreement with adjacent businesses.***

- 6. The use must not diminish the fair market value of neighboring lands or buildings to any substantial or significant degree.

The bar and restaurant use will remain the same without any significant modification nor expansion. This standard is likely met.

- 7. *Site Design.* The site and manner of operation provide for the maximum reasonable and feasible enhancement of the environment of the surrounding area.

The exterior of the existing facilities is proposed to remain unchanged. If any exterior improvements are pursued, additional enhancements may be required.

- 8. *Demonstrated Need.* Establishments involving the sale of alcoholic beverages must demonstrate a quantifiable need for the proposed use within either the City or surrounding area.

The applicant states the restaurant building had Class C licenses previously for many years without incident. It is designed as a restaurant and alcohol sales will be incidental. All managers and servers will be trained concerning alcohol sales and service management.

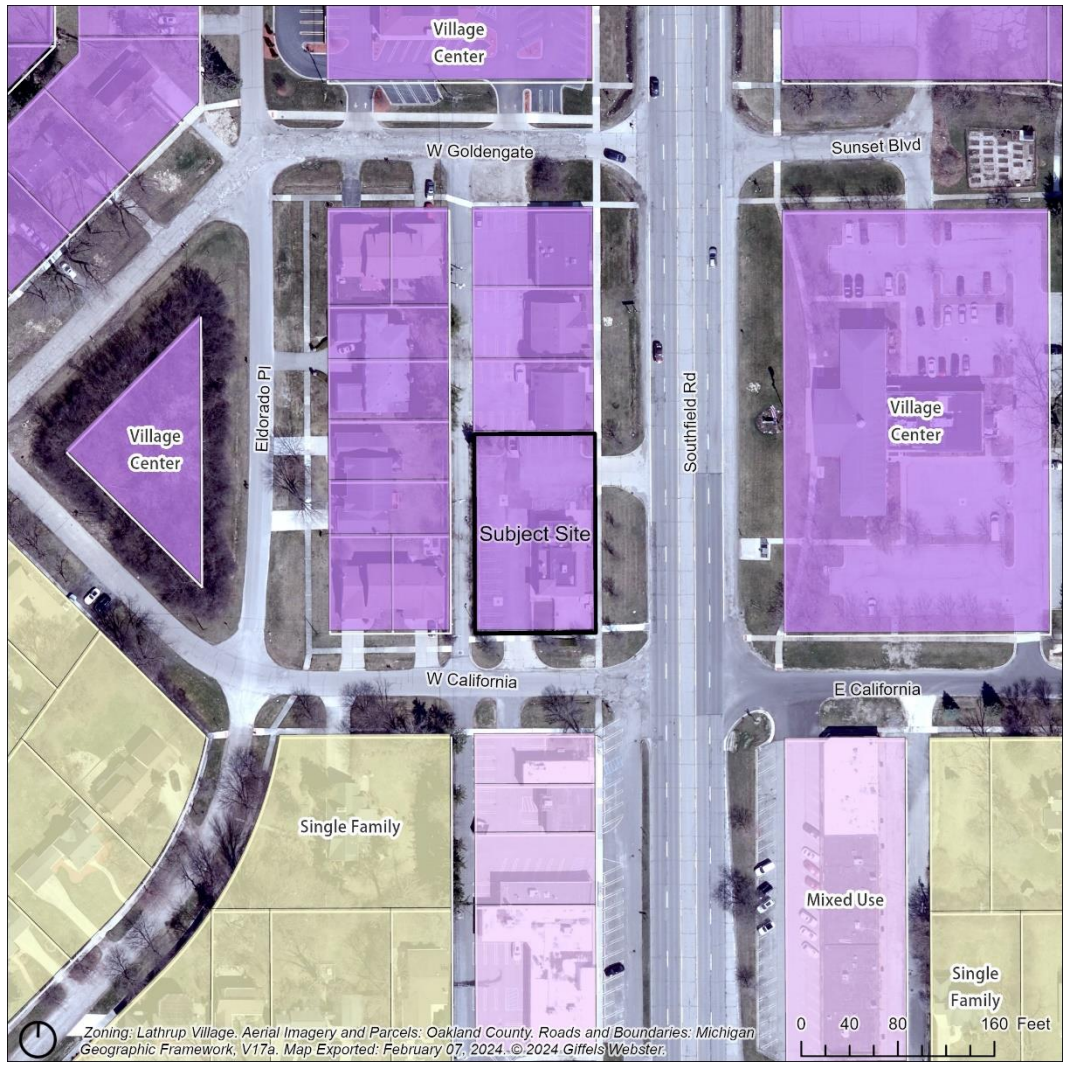
We will look forward to discussing the site plan and special land use application with the Planning Commission on February 20, 2024.

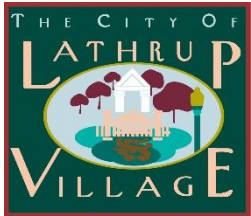
Regards,
Giffels Webster

Jill Bahm, AICP
Partner

Eric Pietsch
Senior Planner

Zoning.





A HERITAGE OF GOOD LIVING

City of Lathrup Village

27400 Southfield Road
Lathrup Village, Michigan 48076
248.557.2600
www.lathrupvillage.org

February 1, 2024

Jay Brown
Jay Birds Bar & Grill
28436 Tapert Drive
Southfield, MI 48076

RE: Administrative Site Plan Review – 27411 Southfield Rd. (Jay Birds Bar & Grill)

Dear Mr. Brown:

Thank you for your Administrative Site Plan Review submission on January 29, 2024 for the Jay Birds Bar & Grill project. Upon review, per the standards outlined in Section 6.1.B Administrative Site Plan Review, your application is approved with conditions. A summary of findings is below.

Existing Conditions

1. **Summary.** The subject site is located on the west side of Southfield Road between California SW and Goldengate Drive W. and is zoned Village Center (VC) District. The subject site is currently developed with an approximately 1,938-square foot single-use building and adjacent 890-square foot patio. The building had been formerly occupied by different sit-down restaurant uses and has been vacant for more than 6 months. The new lessee is proposing to operate a sit-down restaurant which is principally permitted use. There is an approved site plan on file thereby making this property eligible for Administrative Review.
2. **Adjacent land uses.** Properties to the north are zoned Village Center (VC) District, as are properties across Southfield Road to the east. Properties to the south (across California SW) are zoned MX- Mixed Use District, and properties to the west are Single-Family Residential.
3. **Site configuration and access.** The property is currently accessed by a curb cut from Southfield Road on the north side, and a curb cut on the south-side from California SW. The property does not have direct access to the public alley which runs along the west property line. The off-street parking lot is configured with twenty-six (26) total spaces including two (2) ADA compliant spaces.

Proposed

- 1. **Use.** The previous use of the tenant space was a sit-down restaurant. The proposed use is a sit-down restaurant with a Class C Liquor License. *There is no change of use.* The applicant will be seeking Special Land Use approval to serve alcohol.
- 2. **Required parking.** The site was originally approved in 2010 and has not changed in use or size since that time. It is non-conforming with respect to parking. However, we note that there appear to be opportunities for additional parking near the site, should the need arise in the future. We advise the applicant to consider future needs and explore shared parking with neighboring offices.
- 3. **Traffic and Circulation.** The applicant is not proposing any changes to the exterior of the off-street parking facility. *This standard is met.*
- 4. **Waste & Rubbish.** An existing dumpster enclosure is on the north property line. *This standard is met.*
- 5. **Landscaping & Screening.** There are no changes proposed to the existing landscaping.
- 6. **Screen Wall.** Section 5.5 of the zoning ordinance outlines barrier wall requirements for VC lots that abut residential (R-1 or R-2) lots. The site plan indicates existing and mature landscaping between the commercial property and adjacent alleyway. The residential properties abutting the alleyway have wooden privacy fences.
- 7. **Outdoor Lighting.** There is no change proposed to outdoor lighting.

Conclusion. Reuse of vacant commercial property may be approved administratively per Section 6.1.B.vii. The application for Administrative Site Plan is approved.

Please contact me at sstec@lathrupvillage.org or at 248.557.2600 ext. 223 with any questions.

Sincerely,

Susie Stec
Director – Community & Economic Development

cc: Jay Brown, Restaurant Owner
Lathrup Village Planning Commission
Karson Claussen, Building Official



City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076
Phone: (248) 557-2600

Office Use Only	
Date Submitted:	_____
SLU Review Date:	_____
Public Hearing Date:	_____

Application for Special Land Use

Please note that information requested and the procedure followed is pursuant to Sec. 6.2 Special Land Use and Standards. As stated above, the Special Land Use will be necessary to allow for special uses not automatically allowed in the zoning district. The Special Land Use application requires a Public Hearing in front of the Planning Commission. Applicant is encouraged to be present to answer questions and speak to the business development.

Property Information

Project Name:	Jay Birds Bar & Grill Request Class C Quota License			
Subject Property Address:	27411 Southfield Rd, Lathrup Village, MI 48076			
Subject Property Parcel Number:	24-14-481-034			
Legal Description:	Lots 133 thru 140, both inclusive, Louise Lathrup's Claifornia Bungalow Subdivision, according to the plat**			
Acreeage:	Frontage (in feet):	165	Dimensions:	165x100
Proposed Use:	Restaurant with a Class C license			
Current Zoning:	B-1			

Applicant Information

Name:	Jay Birds Bar & Grill				
Address:	27411 Southfield Lathrup Village	State:	MI	Zip Code:	48076
Phone Number:	313-410-5571	Fax:			
Email Address:	jaybirdsg grill@gmail.com				
Interest in Property:	Lease holder				
*If the applicant is a corporate or a partnership, please attach certificate from the state in which it is organized.					

Property Owner Information

Name:	SKZ Property Holdings, LLC				
Address:	4850 McEwen Drive	State:	MI	Zip Code:	48302
Phone Number:	248-421-4929	Fax:			
Email Address:	kzebari@hotmail.com				
Description of Proof of Ownership Provided:					

Land Use Questions

Please describe the type and nature of the business being proposed for the property you are seeking special land use approval for. In addition please list the appropriate Class Use that the proposed business falls under:

This will be a full service restaurant that serves American grill food. This business would be better-served and be full service with a Class C license.

Please list the following information about your hours of operation.

Weekdays	Monday 11a-11p Tuesday -Closed Wednesday - Friday 11a-12a
Weekends	Saturday 11a-1am Sunday 11a-11p

Please list the peak hours of operation, and the maximum number of persons who will be occupying the business during the listed peak hours (space is provided for multiple peak hours.)

Peak Hours Weekdays:	6p-10p approximately 50 ppl
Peak Hours Weekends:	6p-11p approximately 50 ppl

Maximum number of vehicles which will be attracted to the property for which you are seeking special land use approval: 24 spaces

Describe what additional requests or demands for City services there may be. Examples may be traffic regulation, ordinance enforcement, public safety, and water and sewer services.

We do not expect any additional demands on the city as a result of this restaurant having a class C license. The previous restaurants held Class C licenses.

Describe how the proposed use qualifies as a "reasonable use". Section 2.2 of the Zoning Ordinance defines it as: *A proposed use is "reasonable" when it would be harmonious, compatible, appropriate, would not impinge unreasonably on the value or use of nearby properties, and would not impair sound communal development as and where proposed to be established. An existing use is "reasonable" when it is harmonious, compatible, and appropriate as and where established, does not impinge unreasonably on the value or use of nearby properties, and does impair sound communal development. Uses which are not "reasonable" are "unreasonable." No use shall be deemed "reasonable" if its establishment or actual conduct is unlawful under the statutory or common law of this state.*

This restaurant building had a Class C licenses previously for many year without any incident. It is designed as a restaurant and alcohol sales will be incidental. All managers and servers will be trained concerning alcohol sales and service management.

If the special use is granted, will the use then conform to all of the other regulations of the Zoning Ordinance and other ordinances of the City without a need for any variances? Yes No

Describe what, if any, activities may reasonably be anticipated to occur on the premises and in the neighborhood as a result of the occupancy which reasonable persons or ordinary sensibilities may possibly find seriously annoying – in particular what changes, if any, will be observed in the following items:

	More	Less	Same
Noise			<input checked="" type="checkbox"/>
Dust or dirt			<input checked="" type="checkbox"/>
Lights, glare			<input checked="" type="checkbox"/>
Odors/Fumes			<input checked="" type="checkbox"/>
Pedestrian/Vehicle Traffic			<input checked="" type="checkbox"/>
Litter/Waste/Trash			<input checked="" type="checkbox"/>

If you checked any item as more, please describe what, if any, impact you believe will result on adjacent properties.

Will the location, intensity and periods of operation proposed will cause or create a public or private nuisance. Typical nuisance complaints associated with our business community include, but are not limited to, those listed above as well as parking problems, lights falling onto adjacent properties, and property appearance and maintenance.

Yes No

Please describe how you will provide for the maximum reasonable and feasible enhancement of the environment of the surrounding area. This may include, but not be limited to, buffering, landscaping, signage, façade, or other site amenities pursuant to the City's Zoning Ordinance and Design Guidelines.

The owners of Jay Birds will maintain the landscaping, new signage and appropriate lighting. Jay Birds has extensive experience in the restaurant and alcohol sales. This will be a great addition to the community. With the addition of responsible alcohol sales will ensure financial success and longevity. Which will allow reinvestment back into the Lathrup Community.

Site Plan Information

Is there an existing site plan on file: Yes No Applying concurrently

If yes, when was site plan approval obtained?

Prepared By:

Street Address: State: Zip Code:

Phone Number: Cell: Fax:

Email Address:

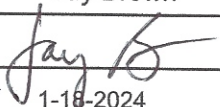
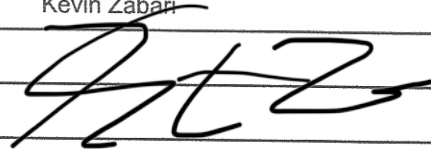
Application Checklist

The applicant is required to submit the following materials to the City Hall **30 days** prior to the regularly scheduled date of the Public Hearing. Failure to supply all required information will result in the rejection of the application by the

- One (1) completed and signed copy of the Special Land Use application
- One (1) full-sized (24x36) set of the proposed or existing Site Plan
- PDF of complete special land use application materials
- Review Fee: \$1,750

Applicant's Declaration

I declare that the foregoing answers honestly and fairly describe the nature of the proposed use to the best of my information, knowledge, and belief. I understand that City Officials and the City Council will rely upon my representations in processing this application and agree that any resulting decisions or approvals may be conditioned upon the use being conducted as represented and may be voided or modified in the event any such representation may later be determined to have been materially faults or misleading.

Applicant's Printed Name	Jay Brown
Applicant's Signature	
Date:	1-18-2024
Property Owner's Printed Name	Kevin Zabari
Property Owner's Signature	
Date:	

SALVATORE SCALLOPINI

27411 SOUTHFIELD ROAD
LATHRUP VILLAGE, MI 48076



SHEET INDEX:

SHEET	TITLE	ISSUE DATE
G-1	GENERAL INFORMATION & SITE PLAN	2-26-10
A-1	FLOOR PLAN & REFLECTED CEILING PLAN	2-26-10
A-2	EXTERIOR ELEVATIONS	2-26-10
A-3	EXTERIOR ELEVATIONS	2-26-10

CODE DATA:

ZONING: B-1 (BUSINESS)

CONSTRUCTION TYPE: V-B UNPROTECTED

EXISTING USE GROUP: M (MERCANTILE)

PROPOSED USE GROUP: A-2 (ASSEMBLY)

EXIST. OCC. LOAD: 63 PERSONS
PROPOSED OCC. LOAD: 105 PERSONS (SEE CALCS. ON A-1)

EXIST. BUILDING AREA: 1,438 S.F. (GROSS)

EXIST. PATIO AREA: 840 S.F. (GROSS)

EXIST. PARKING: 24 STANDARD + 2 H.C. = 26 TOTAL SPACES

PARKING REQUIREMENTS FOR PROPOSED USE:
= 1 PER 50 S.F. FLOOR AREA + 1 PER 2 EMPLOYEES
= [(450 S.F. INTERIOR + 500 S.F. PATIO) / 50] + (6 / 2)
= 14 + 4 = 23 REQUIRED > 26 PROVIDED

CURRENT CODES:

- 2006 Michigan Building Code
- 2003 ICC/ANSI A IITJ Michigan Barrier Free Design Law
- 2006 Michigan Plumbing Code
- 2006 Michigan Mechanical Code
- 2008 Michigan Electrical Code
- Michigan Energy Code, ANSI/ASHRAE/IESNA standard 90.1-1999
- International Fire code 2006

These construction documents were prepared for compliance with the Michigan construction Code in effect at time of permit submittal. All engineers, contractors, and suppliers involved with the project shall comply with the same codes, issued and approved code modifications, and/or Novi Construction Board of Appeals Rulings and whenever required shall provide shop drawings and submittals clearly describing compliance to the registered design professional in responsible charge for review and approval.

Design Professional in responsible charge -
Roman Bonsilawski, R.A. License #: 37347

SCOPE OF WORK:

EXTERIOR

1. REWORK EXISTING ALUMINUM & GLASS STOREFRONT DOOR & WINDOW AT SOUTH ELEVATION INTO NEW ALUMINUM & GLASS STOREFRONT WINDOW WITH BRICK BELOW TO MATCH EXISTING FACADE DETAIL
2. REWORK EXISTING ALUMINUM & GLASS STOREFRONT WINDOW INTO NEW ALUMINUM & GLASS DOOR (3'-0"X7'-0"X1 3/4") & WINDOW
3. ADD NEW PORTE COCHERE AT ENTRANCE AT THE NORTHEAST CORNER OF THE BUILDING
4. ADD NEW AWNINGS ABOVE WINDOWS ON EAST ELEVATION
5. UPDATE EXISTING OUTDOOR LIGHTING ON BUILDING & AT PATIO AREA
6. UPDATE EXISTING LANDSCAPING WITH NEW TREES & HEDGES ALONG EAST ELEVATION
7. UPDATE EXISTING PATIO AREA & TOPS OF PATIO COLUMNS WITH NEW POTS WITH TOPIARY PLANTINGS
8. NEW OUTDOOR FURNITURE AT PATIO

INTERIOR

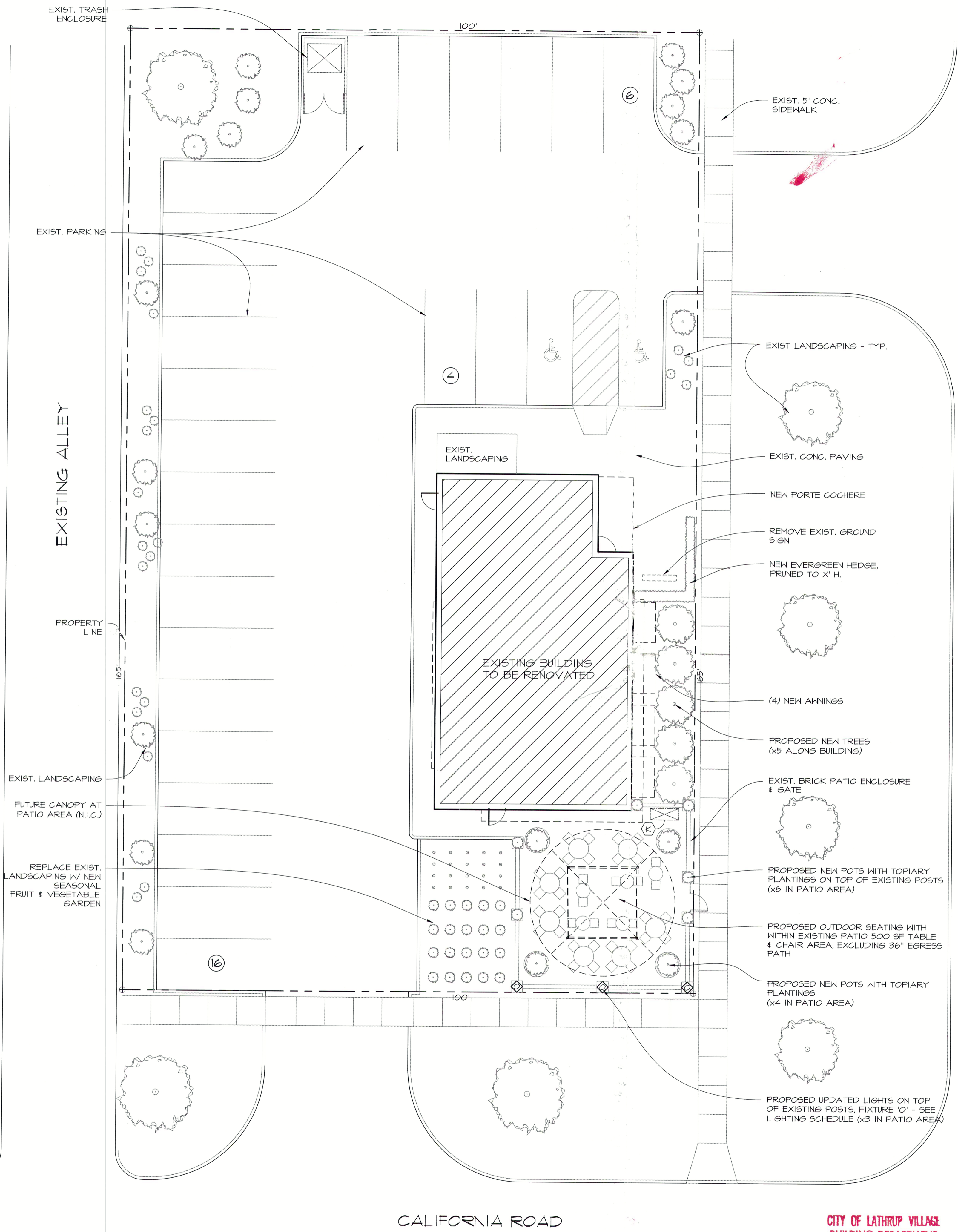
1. UPDATE FORMER VESTIBULE INTO NEW OFFICE
2. ADD NEW ENTRY AREA WHERE DOOR IS ADDED AT EAST ELEVATION
3. UPDATE DINING AREA WITH NEW HOST AREA, BENCH AREA, TABLES, CHAIRS & SEATINGS, AND NEW DRAPERY
4. REWORK EXISTING SERVICE AREA TO ADD COUNTERTOP FOR BAR STOOL SEATING & PICK-UP AREA
5. REWORK BAR AREA PER PLAN
6. REWORK SERVICE AREA PER PLAN

GENERAL NOTES:

1. Construction described in these documents includes work which affects the building's existing structure. Should any unforeseen structural condition be encountered, the General Contractor (G.C.) shall stop all work in that area and immediately notify the architect of the condition prior to proceeding.
2. G.C. shall examine site, field verify all dimensions and field conditions. G.C. is to become familiar with conditions affecting construction prior to submitting a bid.
3. This project involves construction on an existing structure. As such, the existing building and its present condition stand as construction documents of equal importance to the plans and specifications. By submitting a bid, contractors are assumed to be completely familiar with the existing condition of the building as it influences the work. No claims for extra cost will be considered for existing conditions visible or reasonably inferable from a careful examination of the existing building and grounds.
4. This project is to include appropriate temporary barriers and devices as may be required to protect the health, safety and welfare of the general public and employees.
5. G.C. shall supervise and direct all work using his best skill and attention. G.C. shall be solely responsible for all construction means, methods, techniques and sequences of procedures for coordinating all portions of the work under the contract, and insuring that all manufacturer requirements for each portion of work be followed.
6. Dimensions:
All dimensions shall be measured from finish face of proposed construction. G.C. is responsible for backing off thicknesses of materials as required to dimension rough construction.
A. G.C. shall notify architect of any discrepancies prior to the continuation of the work.
B. G.C. shall coordinate all final dimensions with all trades in accordance with construction documents.
C. G.C. shall coordinate the dimensions of rough-ins as described in food service documents by others.
7. G.C. shall provide all necessary permits and fees.
8. All contractors shall meet all local governing code requirements.
9. G.C. to guarantee labor and materials for 12 months.
10. Contractors shall submit shop drawings for approval prior to fabrication and/or installation. Commencement of fabrication/installation prior to approval shall be done at contractor's risk.
11. In case of conflict in drawings, the G.C. shall not proceed with that part of the work until the architect has clarified the discrepancy.
12. G.C. shall notify architect of any conditions where in his judgment it would be desirable to modify the requirements to produce the best results.
13. G.C. to coordinate and provide wood blocking and steel framing in existing framed walls as may be required to secure structure, fixtures and equipment to walls. All wood blocking, framing and/or fire stopping used within partitions, platforms, etc., shall be of fire retardant treated lumber as required by code. Provide fire retardant wood blocking at all rough openings in gypsum board partitions as required by code.
14. The G.C. is responsible for any patching, filling, staining and finishing required after transportation, assembly and installation of materials to ensure the highest quality final appearance.
15. Work in place that is subject to injury because of operations being carried on there shall be covered, boarded up, or substantially enclosed with adequate protection. All forms of protection shall be constructed in a manner such that upon completion the entire work will be delivered to the owner in prior, whole and unblemished condition. Work damaged by failure to provide protection shall be replaced with new work, at the expense of the G.C.
16. G.C. is responsible to patch and repair existing walls, ceilings and floor as required so as to provide a smooth surface, free from defects, ready for finishing. This includes all damage caused by existing finish removal, previous damage, equipment removal and damage by other trades.
17. The application of any finish material shall indicate subcontractor's acceptance of the subsurface conditions and sub will be held responsible for any defects after material application.
A. scuff, grind or etch subsurface to remove irregularities due to previous finish application.
B. Subcontractor shall notify the G.C. in writing, with copy issued to architect, if any conditions exist that will be detrimental to proper finish material installation.
18. The G.C. is responsible for final cleanup of all areas affected by construction. This includes before finishes (painters, carpet, etc.) and after finishes. All waste materials to be disposed of in proper receptacles removed from site and legally disposed of.

DEMOLITION NOTES:

1. The General Contractor shall be responsible for verifying all existing field conditions so as to familiarize himself with demolition and removal work which may be required to produce the end results intended by this drawing.
2. It is the intent that each portion of the demolition work be done by the specialty trade involved in the original installation, thereby assuring existing systems or portions of original construction to remain will not be adversely affected. Therefore, all subcontractors shall thoroughly examine the proposed work and make allowance in their proposals to include all required demolition and removal.
3. Contractor shall be registered with Lathrup Village as required, licensed and bondable.
4. If required, contractors shall provide certificates of insurance before starting any work. Verify types and amounts of coverage with owner.
5. Inspect existing building construction as required and provide all necessary protection measures to ensure the health and safety of all workmen and the general public prior to the start of demolition work.
6. The owner shall provide and pay for all temporary power and water.
7. Abandoned mechanical and electrical lines are to be removed to a point behind or within the finished floor, wall or ceiling. Abandoned electrical wiring is to be removed to point of origin. All other lines shall be grounded and capped, and generally made safe.
8. Coordinate trash removal requirements with Lathrup Village. General Contractor is to provide approved trash containers as may be required, and legally dispose of all trash.
9. Under no circumstances shall existing structural members and systems be altered or removed unless documented or directed by architect.
10. Existing areas to remain that are damaged during demolition work shall be patched, repaired and finished as required to match existing surrounds at no additional charge to the owner.
11. All existing items within the building are to be reviewed by the owner and are considered the property of the owner unless otherwise specified.
12. Leave entire construction area broom cleaned on completion of demolition work daily.



SCALE: 1" = 10'-0"



CITY OF LATHRUP VILLAGE
BUILDING DEPARTMENT
APPROVED

Item 7C:

RonandRoman
designer / architect / LLC
111 Williams Street, Petoskey, MI 49770 231-481-0810

Project: Salvatore Scallopini
Renovation of an Existing Restaurant
27411 Southfield Road Lathrup Village, MI 48076

Seal: *R. Bonsilawski*

Issue Date: FOR PERMIT 2/26/10

Sheet Title: General Notes & Site Plan

Sheet Number: G-1

OCCUPANT LOAD CALCULATIONS:

OCCUPANT LOAD CALCULATIONS					PLUMBING REQUIREMENTS				
OCC	ACTUAL OCC		OCC PER TABLE 1004.1.1	OCC	Wet Wall Closets		Lavs		
	30	277.5 SF	@ 15 SF NET EA = 18.5	30					
A	DINING - TABLES & CHAIRS	6	12 LF @ 2 LF EA = 6.0	6					
	DINING - BOOTH	10	28 LF @ 1.5 LF EA = 18.7	19					
	BAR SEATING	4	17 SF @ 7 SF NET EA = 2.4	4					
	PATIO - TABLES & CHAIRS	38	500 SF @ 15 SF NET EA = 33.3	38	48.50	48.50	48.50	48.50	
					75	75	75	75	
					0.65	0.65	0.65	0.65	
S-1	STORAGE/MECH.	1	87 SF @ 300 SF GROSS EA = 0.3	1	0.50	0.50	0.50	0.50	
					100	100	100	100	
					0.005	0.005	0.005	0.005	
B	KITCHEN / SERVICE	6	564 SF @ 200 SF GROSS EA = 2.8	6	3.00	3.00	3.00	3.00	
					25	25	25	25	
					0.12	0.12	0.12	0.12	
M	OFFICE	1	38 SF @ 100 SF GROSS EA = 0.4	1	5.00	5.00	7.50	7.50	
					1	0.001	0.001	0.001	
TOTAL OCCUPANT LOAD					105	8.8	8.8	8.8	8.8
TOTAL FIXTURES REQUIRED						1.0	1.0	1.0	1.0
TOTAL FIXTURES PROVIDED						1.0	1.0	1.0	1.0

FIXTURE SCHEDULE:

- A HOST STAND
- B BAR TOP & DIE
- C PICK UP COUNTER & DIE
- D DIVIDER AT NEW ENTRY W/ CAFE CURTAIN & LONG SETTEE
- E U-SHAPED DIVIDER W/ CAFE CURTAIN & (2) SETTEES
- F CURVED BOOTH W/ CAFE CURTAIN - BAR HEIGHT SEATING
- G BAR BOOTH W/ CAFE CURTAIN - BAR HEIGHT SEATING
- H CAFE CURTAIN IN EXTERIOR WINDOWS
- I NEW BACK BAR LIQUOR DISPLAY
- J NEW DISPLAY SHELVING AT NEW NICHE
- K NEW OUTDOOR SERVICE STATION - SEE SITE PLAN

TABLE SCHEDULE:

- T-1 30"x42" - DINING HT.
 - T-2 30"x48" - DINING HT.
 - T-3 36" SQ. - DINING HT.
 - T-4 24"x30" - DINING HT.
 - T-5 24"x30" - BAR HT.
 - T-6 CUSTOM SHAPE - BAR HT.
- ALL PATIO TABLES PROVIDED BY OWNER
ALL CHAIRS PROVIDED BY OWNER

NEW PORTE COCHERE - FLAME RESISTANT CANVAS ON PAINTED METAL FRAME - ENGINEERED BY AWNING CONTRACTOR

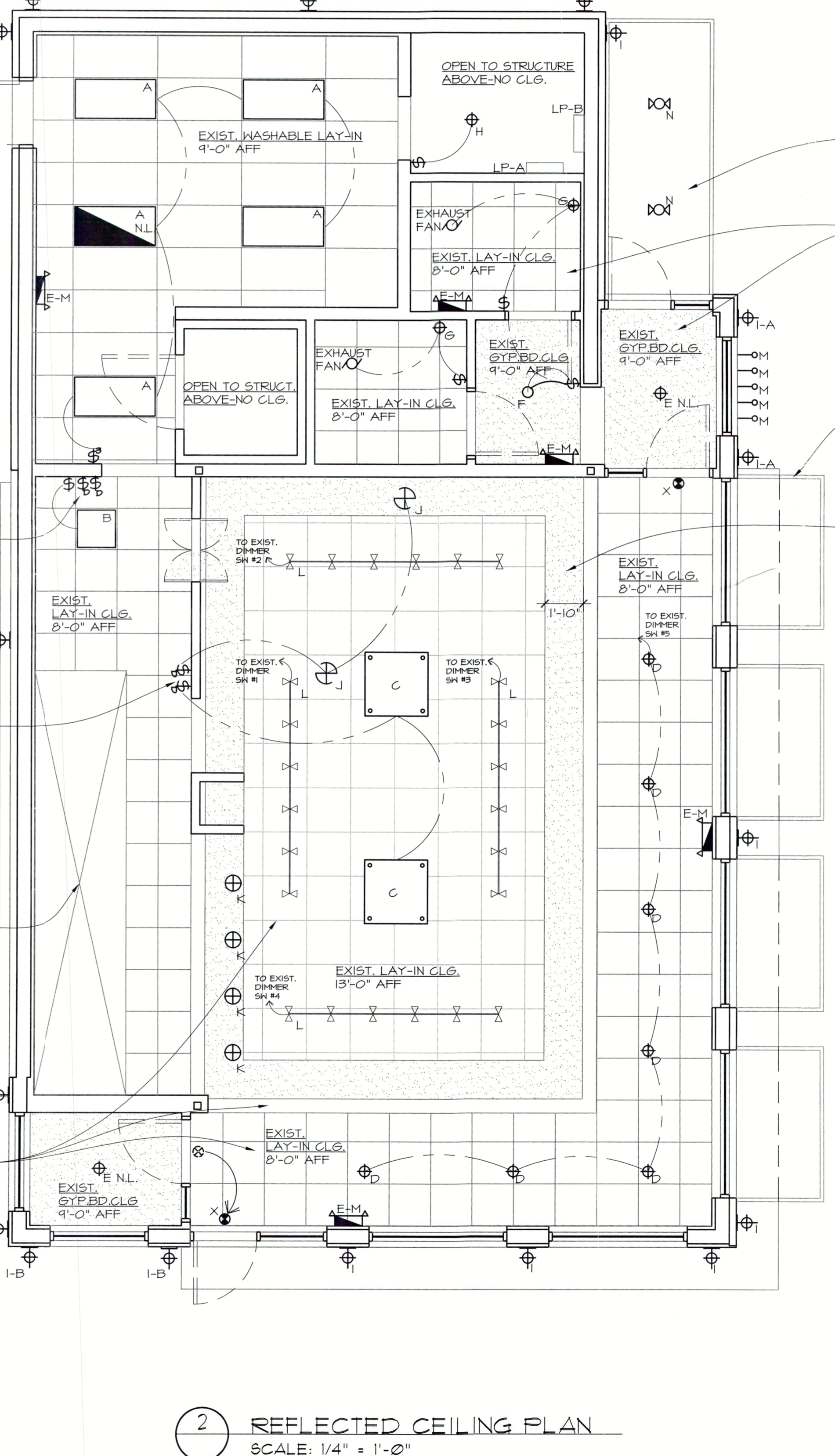
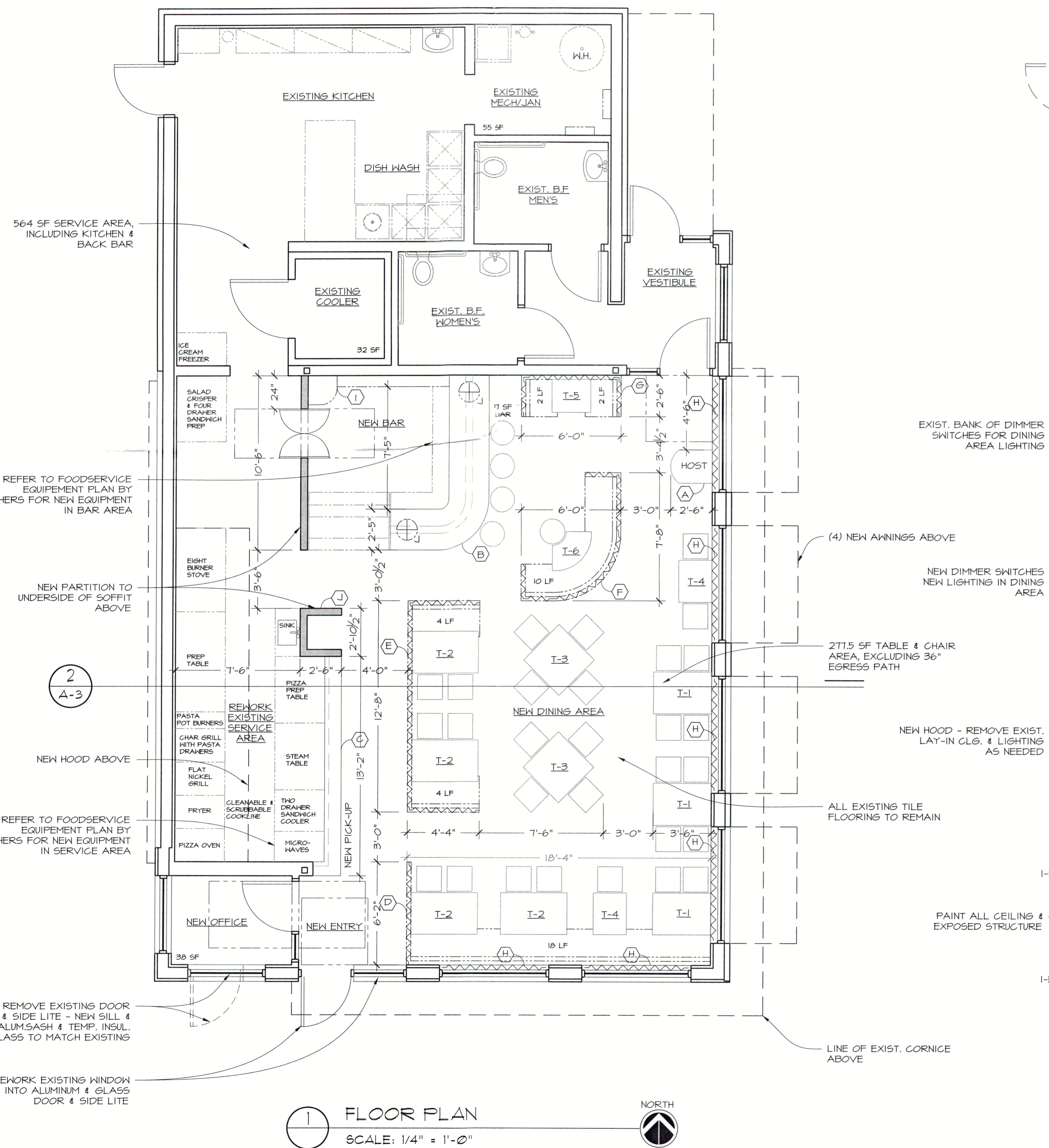
PAINT EXIST. LAY-IN CEILINGS IN BATHROOMS & EXIST. GYP.BD. CEILINGS AT ENTRY

(4) NEW AWNINGS ABOVE EXIST. WINDOWS - FLAME RESISTANT CANVAS ON PAINTED METAL FRAME - ENGINEERED BY AWNING CONTRACTOR

NEW CONTINUOUS DISPLAY LEDGE, 1"-10" D., PAINTED GYP.BD. @ HEIGHT OF EXISTING SOFFIT

LIGHTING SCHEDULE:

- TYPE 'A': EXISTING 2'x4' LAY IN FLOURESCENT 1/8" THICK ACRYLIC PRISMATIC LENS 4-34W R5GW LAMPS, 120 V HFF FUSED ENERGY SAVING TYPE BALLASTS
 - TYPE 'B': EXISTING 2'x2' LAY IN FLOURESCENT
 - TYPE 'C': NEW CUSTOM CHANDELIER WITH EXTENDED STEMS TO HANG AT 9'-0" AFF - PROVIDED BY OWNER, INSTALLED BY G.C.
 - TYPE 'D': EXISTING PENDANT LIGHT FIXTURE TO REMAIN
 - TYPE 'E': EXISTING LIGHT FIXTURE TO BE REVIEWED AND REPLACED BY OWNER AS NEEDED
 - TYPE 'F': EXISTING RECESSED INCANDESCENT DOWN LIGHT WITH CLEAR ALZAK REFLECTOR WHITE TRIM RING, T5W PAR 38
 - TYPE 'G': EXISTING WALL MOUNT INCANDESCENT FIXTURE 60W
 - TYPE 'H': EXISTING SURFACE MOUNT INCANDESCENT FIXTURE 60W
 - TYPE 'I': EXISTING OUTDOOR WALL SCENCE - TO BE PAINTED
 - TYPE 'I-A': NEW OUTDOOR WALL SCENCE ON EXISTING JUNCTION BOX - PROVIDED BY OWNER, INSTALLED BY G.C.
 - TYPE 'I-B': NEW OUTDOOR WALL SCENCE ON NEW JUNCTION BOX - PROVIDED BY OWNER, INSTALLED BY G.C.
 - TYPE 'J': NEW BAR TOP LAMPS - PROVIDED BY OWNER, INSTALLED BY G.C.
 - TYPE 'K': NEW PENDANT HEAT LAMPS - LOCATION & QUANTITY TO BE DETERMINED BY OWNER
 - TYPE 'L': REPLACE EXISTING TRACK LIGHTING WITH NEW PAR 36 GIMBAL RING HEADS ON TRACK - ON EXIST. DIMMER SWITCHES
 - TYPE 'M': NEW B-K SIGN LIGHTS
 - TYPE 'N': NEW SURFACE MOUNT EXTERIOR SOCKET DOUBLE HEAD ADJUSTABLE ON PORTE COCHERE FRAME
 - TYPE 'O': REPLACE EXISTING OUTDOOR FIXTURES ON PIERS WITH NEW FIXTURE - SUPPLIED BY OWNER, INSTALLED BY G.C.
 - TYPE 'EM': EXISTING BATTERY OPERATED EMERGENCY LIGHTING 2-12W TUNGSTON LAMPS
 - TYPE 'X': EXISTING EXIT SIGN, SELF CONTAINED FOR EMERGENCY LIGHTING, 2-5W F5TT FLUORESCENT LAMPS RED LETTERS
- *ALL LIGHTING IN DINING AREA ON DIMMERS



Project:

Scale:

Issue Date:

FOR PERMIT

Sheet Title

Floor Plan
Reflected Ceiling

Sheet Number

A-

Project:

Salvatore Scallopini
Renovation of an Existing Restaurant
27411 Southfield Road Lathrup Village, MI 48076

Seal:

R. Baylous, L.C.

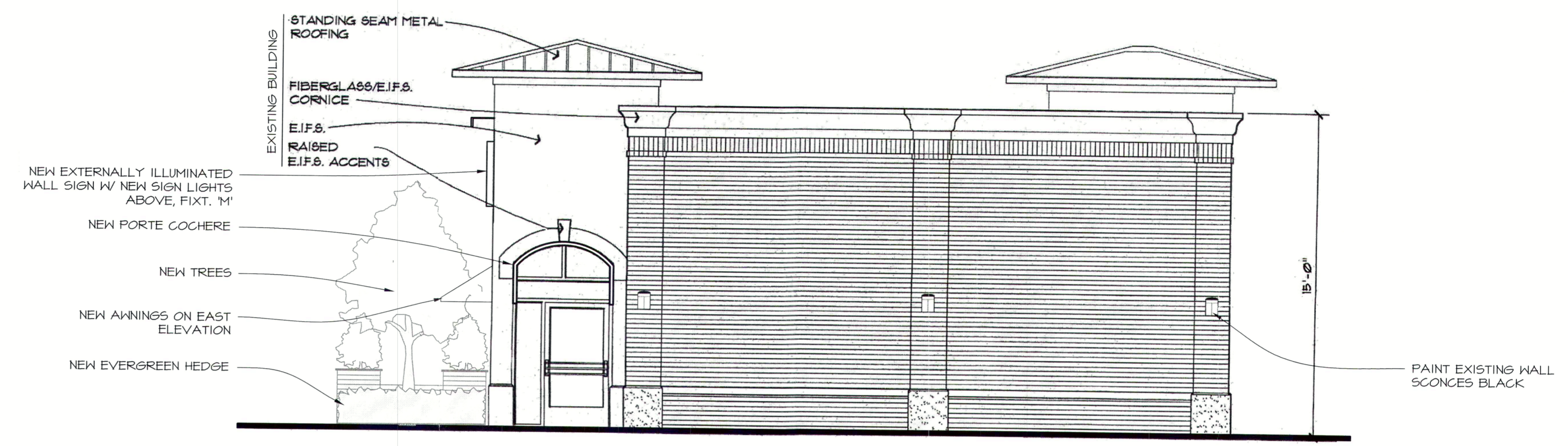
Issue Date:
FOR PERMIT 2/26/10

Sheet Title:

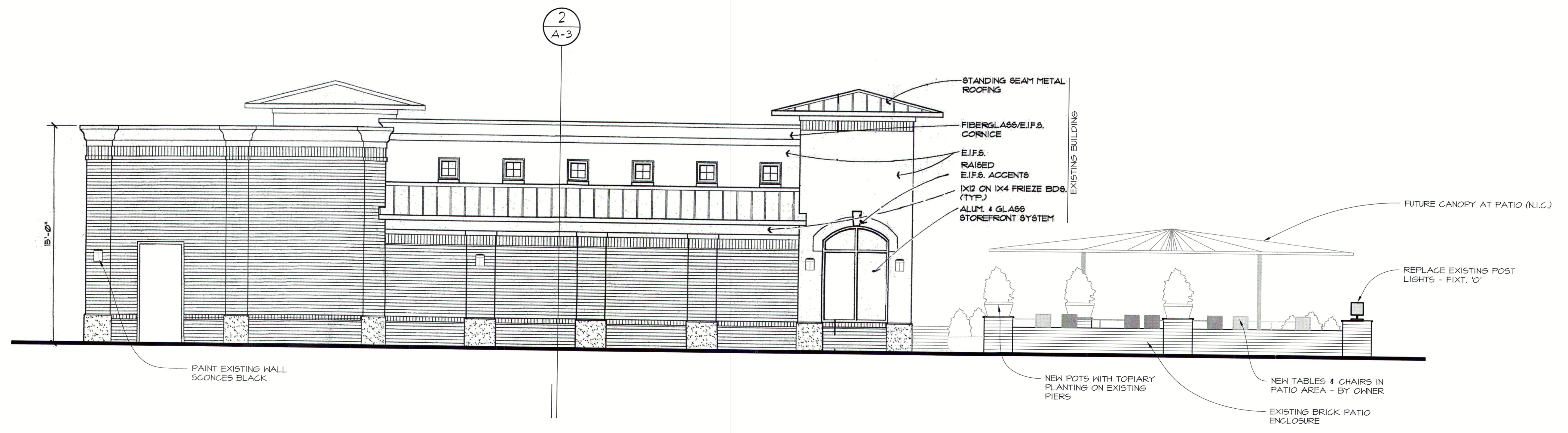
Elevations

Sheet Number:

A-2



1 NORTH ELEVATION
SCALE: 1/4" = 1'-0"



2 WEST ELEVATION
SCALE: 1/4" = 1'-0"

Project:

Salvatore Scallopini
Renovation of an Existing Restaurant
27411 Southfield Road Lathrup Village, MI 48076

Seal:

Issue Date:
FOR PERMIT 2/26/10

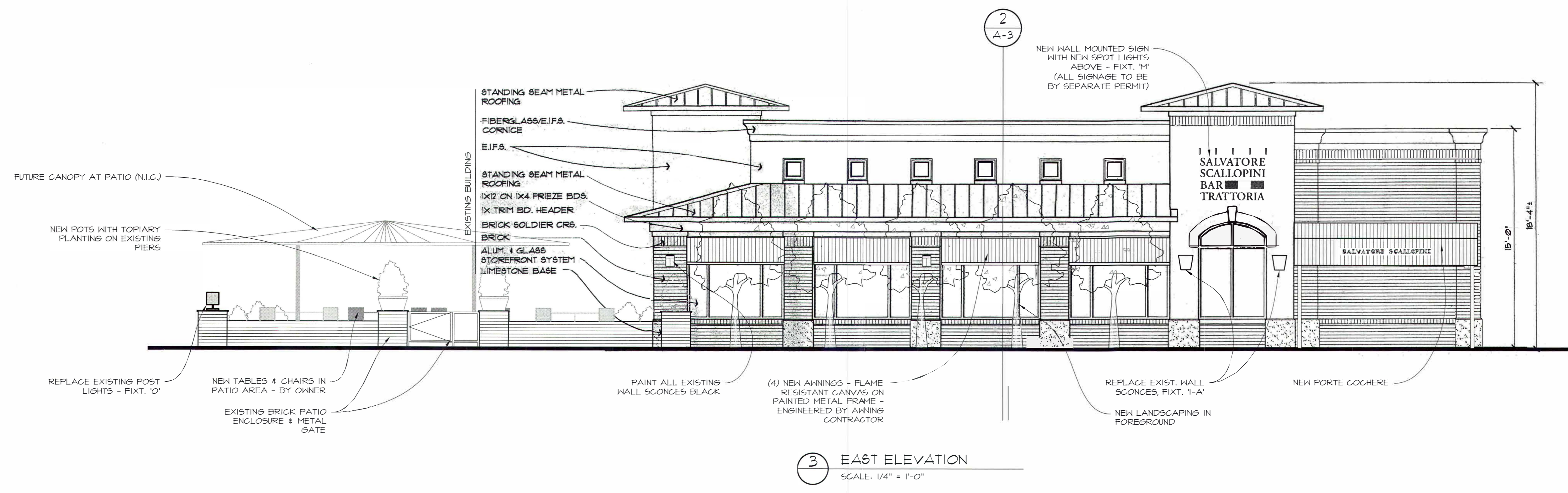
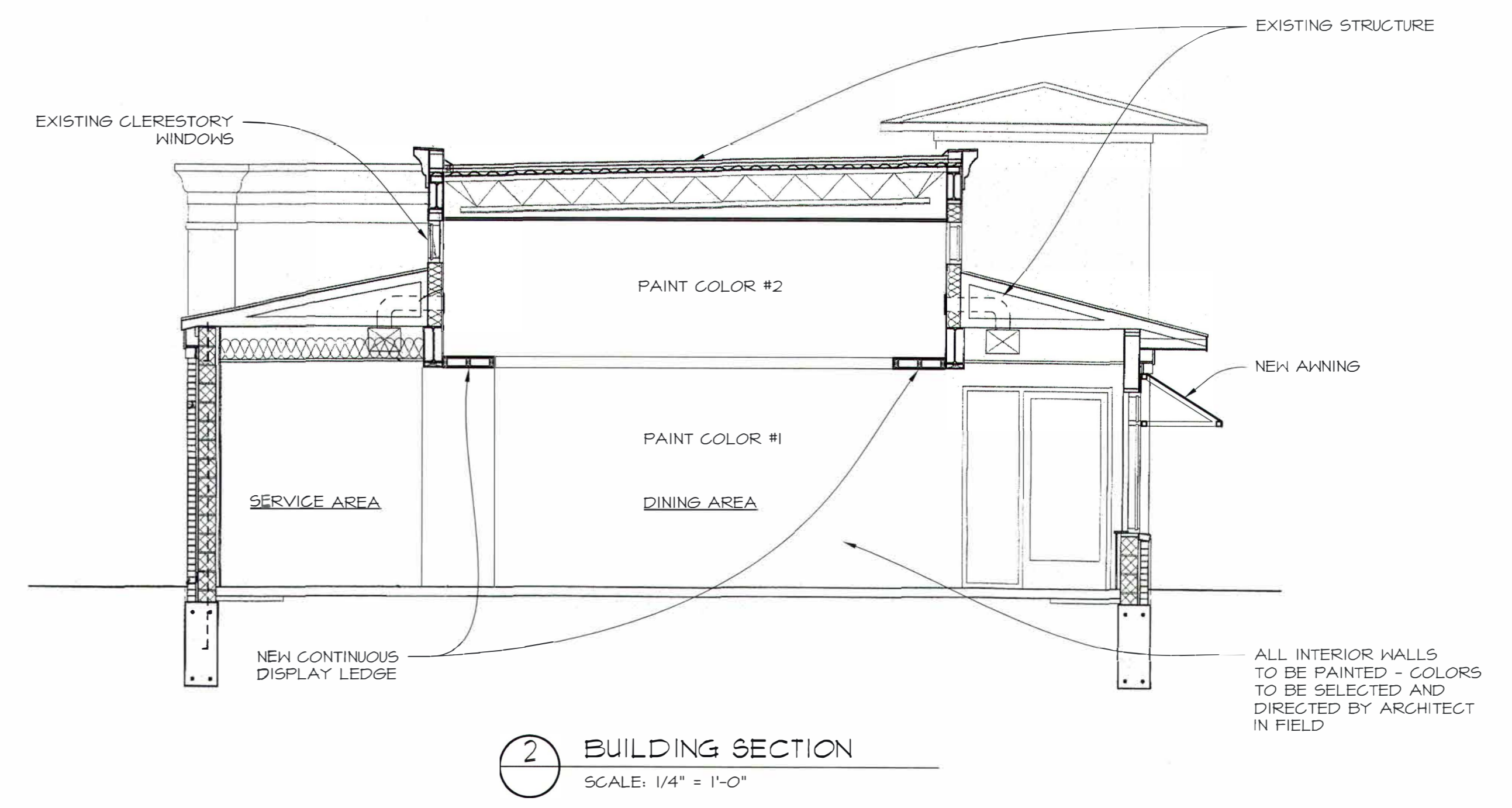
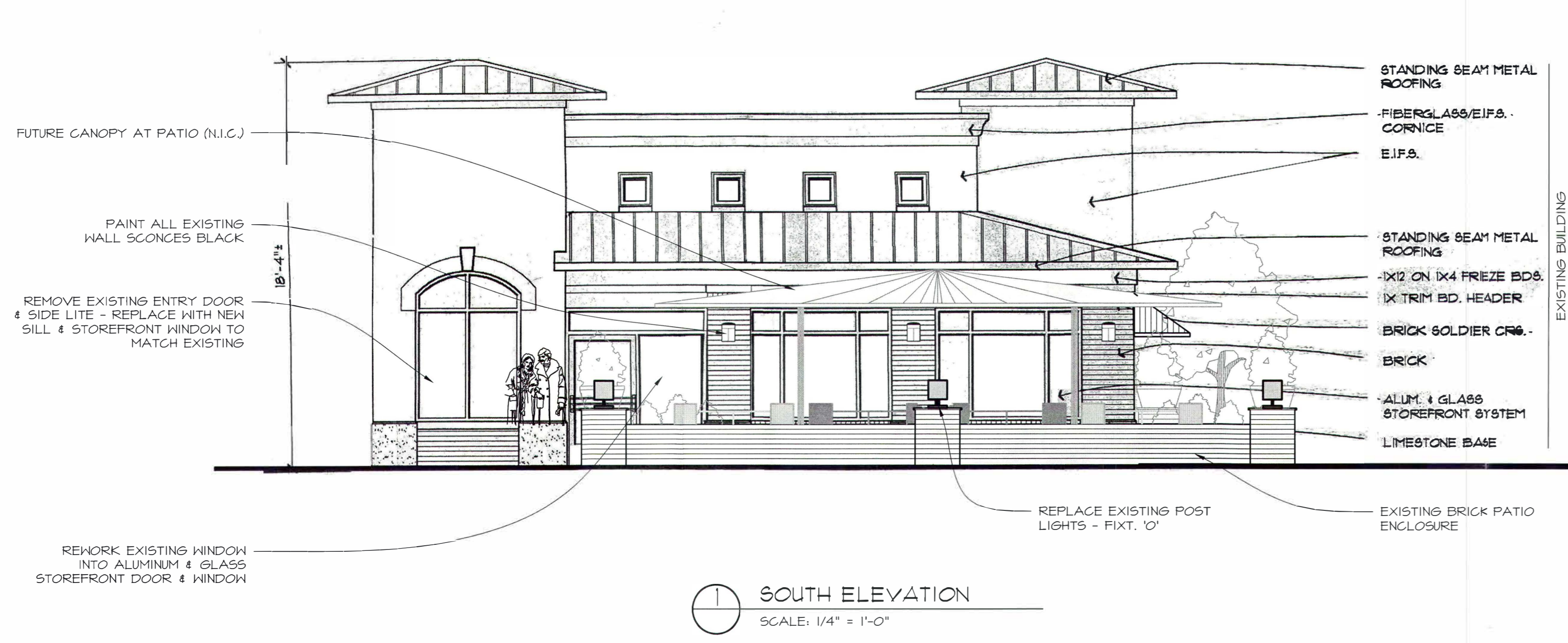
Sheet Title:

Elevations
& Building
Section

Sheet Number:

A-3

R. RonandRoman



At 7:20 p.m. the Regular meeting was called to order by Chair Piotrowski on Tuesday, February 28, 2017 in the City Council Chambers of the Municipal Building, 27400 Southfield Road, Lathrup Village, Michigan.

- Commissioners Present: Mark Piotrowski, Vice Chair
Karen Miller, Vice Chair
Bruce Copus, Resident
- Excused: Maria Mannarino Thompson, City Council Liaison
- Absent: Keith Brown, Secretary
- Staff Present: Sean Kammer, Assistant City Administrator, Yvette Talley, City Clerk
- Also Present: Mayor Frank Brock, City Attorney Scott Baker, Jason Bibby, Giffels Webster, Inc.

All present joined in the Pledge of Allegiance.

PC-10-17 ROLL CALL

City Clerk called roll but there was not a quorum.

PC-11-17 RECESS

Motion by Commissioner Copus, seconded by Commissioner Piotrowski to recess until such time there is a quorum.

Motion carried.

PC-12-17 RECONVENE FROM RECESS

Motion by Commissioner Copus, seconded by Commissioner Miller to reconvene from recess.

Motion carried.

PC-13-17 EXCUSE COMMISSIONER MANNARINO THOMPSON

Motion by Commissioner Copus, seconded by Commissioner Miller to excuse Commissioner Mannarino Thompson from this meeting.

Motion carried.

PC-14-17 APPROVAL OF AGENDA

Motion by Commissioner Copus, seconded by Commissioner Miller to approve the agenda with correction.

Motion carried.

PC-15-17 MINUTES OF REGULAR MEETING ON JANUARY 24, 2017

Motion by Commissioner Miller, seconded by Commissioner Copus to approve the minutes of the Regular Meeting of January 24, 2017 with corrections.

Motion carried.

PC-16-17 MINUTES OF STUDY SESSION ON JANUARY 24, 2017

Motion by Commissioner Miller, seconded by Commissioner Copus to approve the minutes of the Study Session Meeting minutes of January 24, 2017.

Motion carried.

PC-17-17 MINUTES OF CAPITAL IMPROVEMENTS MEETING FEBRUARY 9, 2017

Motion by Commissioner Copus, seconded by Commissioner Miller to approve the minutes of the Capital Improvements meeting minutes of February 9, 2017 with corrections.

Motion carried.

PC-18-17 AUDIENCE PARTICIPATION

There was no audience participation.

PC-19-17 PUBLIC HEARING

- a. Sky Grill Special Land Use for Liquor License Public Hearing

Motion by Commissioner Miller, seconded by Commissioner Copus to open the public hearing.

Motion carried.

Ryan Husaynu, representing Sky Grill gave an overview.

Mayor Frank Brock, said do they verification from the State of Michigan that there is a Quota License available.

Mr. Husaynu stated that per the State of Michigan's website there is a Quota License available for the City of Lathrup Village.

Public Hearing closed by Chair Piotrowski.

PC-20-17 **ACTION ITEMS**

a. Sky Grill Special Land Use approval

Commissioner Copus asked, will the City be liable if there is no Quota License available and it's approved. Scott Baker said the recommendation to the City Council, should the City Council approve the Special Land Use, the burden is on the applicant to then either acquire a Quota License from another Community, acquire one from an allotment that the City of Lathrup Village may have or to pursue an avenue to obtain a Bistro license.

Jason Bibby gave an overview and answered specific questions from the Planning Commission. The building official approved the site plans in 2010 because the existing site plan has not been proposed with any changes, specific to the Special Land Use request, feels the standard has been met.

Motion by Commissioner Copus, seconded by Commissioner Miller that to recommend City Council approval of special land use request on the grounds that reasonable use has been established, that they conform to all other regulations, location intensity and periods of operation of use are in compliance with the spirit and purpose of this ordinance. The use must be of such character so arranged on the site as not to cause or create adverse effects, the use does not diminish the fair market value of neighboring lands. The site design and proposed manner of operation of the use must provide for the maximum reasonable and feasible enhancement of the environment of the surrounding area. Need has been established and the hours of operations on the weekend be allowed to continue until midnight.

Motion carried.

b. Resolution to renew site plan approval for FFJ Development (townhomes at Lathrup and 11 Mile)

Scott Baker gave an overview and answered specific questions.

Jeff Julius, FFJ gave an update stating that the delay is due to power lines that sit on top of the sewer main. Applied for a permit from the MDEQ, had to redesign the plans. Working with DTE to have power lines moved and the poles have been dropped off with scheduled completion April 2017. Once that is done, the rest of the site work will be done. First set of buildings should be completed by Fall 2017. The telephone poles will be installed in the rear of the property near Sunnybrook Street so that the power lines won't run through the middle of the development.

- Phase 1: Parking Lot
- Phase 2: Rear Condominiums
- Phase 3: Front Condominiums

Motion by Commissioner Copus, seconded by Commissioner Miller to recommend to City Council to grant an extension of the Site Plan approval for FFJ Development for the project at 11 Mile and Lathrup Blvd for one year.

PC-21-17 Old Business and Tabled Items

None

PC-22-17 New Business

None

PC-23-17 Other Matters for Discussion

None

PC-24-17 General Communication & Correspondence

- a. DDA Update – Sean Kammer stated there will be a proposed public private partnership with the Surnow Co. to remove the fence around the tennis court on the south side of the Annie Lathrup School building. In exchange to the DDA contributing funds for the removal of the fence, the DDA will be granted use of that site for City events including the Farmer’s Market. Generate a sensible plan for the Village Center Area that may include the addition of some street lights and some enhancements to walkability.

- b. Planner’s Update – Would like to have a training program. Will provide topics for discussion. Public has been notified of the March 8, 2017 Oakland County Road Commission. It will be an open house style meeting held 4:30 p.m. – 7:30 p.m. in the Community Room.

- c. Legal Update – City Council approved the First Reading of the Animal Ordinance. Welcomed Bruce Copus to the Planning Commission.

PC-25-17 Adjournment

Motion by Commissioner Copus, seconded by Commissioner Miller to adjourn this meeting.

Motion carried.

The meeting adjourned at 8:20 p.m.

Submitted by Yvette Talley

Recording Secretary

CITY OF LATHRUP VILLAGE CITY COUNCIL MEETING MINUTES MARCH 20, 2017

MINUTES OF THE REGULAR MEETING OF THE CITY COUNCIL OF THE CITY OF LATHRUP VILLAGE HELD ON MONDAY, MARCH 20, 2017 IN THE CITY COUNCIL CHAMBERS IN THE MUNICIPAL BUILDING 27400 SOUTHFIELD ROAD, LATHRUP VILLAGE, MICHIGAN.

The meeting was called to order at 7:10 p.m. by Mayor Brock and Roll Call was taken.

- Present: Mayor Frank Brock and Mayor Pro-Tem MyKale Garrett
- Members Present: Council members Ian Ferguson, Donna Stallings
- Excused: Council member Mannarino Thompson
- Also Present: City Administrator Andrew Potter, City Attorney Scott Baker, Interim Police Chief Scott McKee, Sean Kammer, DDA Director, Recreation Coordinator, Trina VanderArk and City Clerk Yvette Talley

MAYOR INVITED ALL PRESENT TO JOIN IN THE PLEDGE OF ALLEGIANCE

CO-17-29 CALL TO ORER AND ROLL CALL

Roll call was taken. Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to excuse Council member Mannarino Thompson from this meeting.

CONSENT AGENDA

CO-17-30 APPROVAL OF AGENDA/CONSENT AGENDA

Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to approve the Agenda with changes.

- Yes: Brock, Ferguson, Garrett, Stallings
- No: None
- Motion carried.

CO-17-31 Minutes of Study Session on February 27, 2017

Motion by Council member Stallings, seconded by Mayor Pro Tem Garrett to approve the minutes of the Study Session of February 27, 2017 with changes.

- Yes: Brock, Ferguson, Garrett, Stallings
- No: None
- Motion carried.

CO-17-32 Minutes of Regular Meeting on February 27, 2017

Council member Stallings said she has concerns regarding the lights that are displayed on buildings. Scott Baker gave an update stating that a draft of the Ordinance was given to the City Administrator. The Ordinance will be regulated by City Council to be placed on a future City Council agenda. City

CITY OF LATHRUP VILLAGE CITY COUNCIL MEETING MINUTES MARCH 20, 2017

Administrator Potter said he will add to the next Study Session agenda and add the list of Contracts that the City has.

Council member Stallings asked for an update on the condominiums that are being built on Lathrup Blvd. Sean Kammer gave an update; there will be three buildings and the rear building will be completed by August 2017. The other two buildings slated to be constructed the following year.

Motion by Council member Stallings, seconded by Mayor Pro Tem Garrett to approve the minutes of the Regular Meeting minutes of February 27, 2017.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-33 Minutes of Study Session on March 6, 2016

Motion by Council member Stallings, seconded by Council member Ferguson to approve the minutes of the Study Session of March 6, 2017.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-34 Parks and Recreation Liquor License for Summer in The Village

Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to approve the Parks and Recreation Liquor License for the event Summer in The Village.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-35 Oakland County Police Mutual Aid Agreement

Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to approve the Oakland County Police Mutual Aid Agreement.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

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CO-17-36 Oakland County IT Services Contract

Motion by Council member Ferguson, seconded by Mayor ProTem Garrett to approve the Oakland County IT Services Contract.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-37 The month of April is Child Abuse Prevention & Awareness Month

Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to declare the month of April as Child Abuse Prevention & Awareness Month.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-38 Metro Act Right-of-Way Telecommunications Permit

Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to approve the Metro Act Right-of-Way Telecommunications Permit.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-39 DEPARTMENTAL REPORTS

Council member Stallings asked for an update on the store front vacancies.

Sean Kammer said he has been reaching out to companies and national chains asking about interest in relocating.

Motion by Mayor Pro Tem Garrett, seconded by Council member Ferguson to approve the Departmental Report.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CITY OF LATHRUP VILLAGE CITY COUNCIL MEETING MINUTES MARCH 20, 2017

CO-17-40 APPROVAL OF DISBURSEMENTS REPORT

Andrew Potter answered specific questions from Mayor Pro Tem Garrett.

Motion by Council member Stallings, seconded by Council member Ferguson to approve the Disbursement Report of February 1, 2017 through February 15, 2017 totaling \$49,393.76 and the Disbursement Report of February 16, 2017 through February 28, 2017 totaling \$350,761.28.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-41 PETITIONS

None

CO-17-42 ACTION REQUESTS

- a. Consideration to approve the Second Reading of the amended City of Lathrup Village Code of Ordinances, Chapter 10 – Animals

Scott Baker, gave an overview and answered specific questions from City Council.

Motion by Council member Stallings, seconded by Council member Ferguson to table this item to April 17, 2017.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

- b. Consideration to approve Sky Grill Liquor License located at 27411 Southfield Rd.

Scott Baker gave an overview and answered specific questions from City Council. Planning Commission did make a positive recommendation subject to a couple of conditions which are:

The hours be modified at the request of the applicant Monday through Thursday open 11:00 a.m.-11:00 p.m., Friday through Sunday 11:00 a.m. – 12 midnight.

Applicant does receive required approval from the State Liquor Control Commission for Class C license. They've applied and there is one license available under the quota liquor license category. We are requesting the Applicant submit a letter to the City indicating that should they receive the final quota license, they will not remove the license from the City for the first five years of business after being issued.

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Ryan Husaynu 401 S. Old Woodward, Ste. 440, Birmingham, MI representing Sky Grill gave an overview.

Motion by Council member Stallings, seconded by Council member Ferguson to approve Sky Grill Liquor License located at 27411 Southfield Rd.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

c. Consideration of the Site Plan approval for 45710 11 Mile Road Multi-Family Development

Motion by Mayor Pro Tem Garrett, seconded by Council member Stallings to renew the Site Plan Extension as recommended by the Lathrup Village Planning Commission so progress may resume at the 45710 Eleven Mile Road Construction Site.

Yes: Brock, Ferguson, Garrett, Stallings

No: None

Motion carried.

CO-17-43 REPORT OF CITY ADMINISTRATOR

Andrew Potter gave an overview of the budget line item regarding to Eagle Landscape. Will work to find the right clients for store front vacant properties. Hart Tree Trimming Co. will be picking up branches left at the curb throughout the City starting April 7th.

Mr. Kammer said he will include quarterly a vacancy report for City Council.

CO-17-44 REPORT OF CITY ATTORNEY

Scott Baker, City Attorney stated City Council members can speak on ballot issues but must remain neutral.

CO-17-45 UNFINISHED/NEW BUSINESS

Council member Ferguson will address abandoned car issues with Interim Chief Scott McKee.

Council member Stallings will have a coffee hour - Ask the Chiefs and State Representative Jeremy Moss at City Hall in the community room on April 4, 2017 6:00 p.m. – 7:30 p.m.

Mayor Pro Tem Garrett said the State of the City address was held today. Mentoring group – My Brother’s Keeper launching a drive called - Tie with a Message. Looking for new/practically new neck/bow ties from March 20 – April 20, 2017. You can take them to Human Services Department 9:00

CITY OF LATHRUP VILLAGE CITY COUNCIL MEETING MINUTES MARCH 20, 2017

a.m. -4:30 pm. on first floor Southfield City Hall 26000 Evergreen Rd. or Lathrup Village City Hall 27400 Southfield Rd. There will be a career job fair on April 27, 2017 8:00 a.m. – 3:00 p.m. at Southfield Arts & Technology High School for 11th and 12th graders.

CO-17-46 CORRESPONDENCE

None

CO-17-47 ADJOURNMENT

Motion by Council member Ferguson, seconded by Mayor Pro Tem Garrett to adjourn this meeting.

Yes: Brock, Ferguson, Garrett, Mannarino Thompson, Stallings

No: None

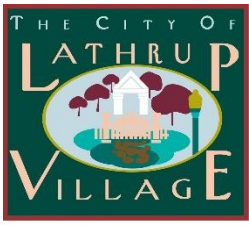
Motion carried.

This meeting was adjourned at 8:16 pm.

Transcribed by Yvette Talley

Frank Brock, Mayor

Transcribed by Yvette Talley
City Clerk



A HERITAGE OF GOOD LIVING

City of Lathrup Village

27400 Southfield Road
Lathrup Village, Michigan 48076
248.557.2600

www.lathrupvillage.org

MEMORANDUM

To: Lathrup Village Planning Commission

From: Susie Stec, Director – Community & Economic Development

Date: February 8, 2024

Re: Proposed 2024 Planning Commission Meeting Dates

The following are the proposed dates for the 2024 regular meetings of the Planning Commission. All dates are on the *3rd Tuesday of each month at 7:00pm.*

January 16 th	July 16 th
February 20 th	August 20 th
March 19 th	September 17 th
April 16 th	October 15 th
May 21 st	November 19 th
June 18 th	December 17 th

Suggested Motion: Adopted the 2024 Planning Commission Calendar of Meetings.



2023 Planning Commission Annual Report
February 2024

Prepared with Assistance by:



2023 Planning Commission Annual Report

Introduction

The Michigan Planning Enabling Act (P.A. 33 of 2008, as amended) requires the Planning Commission to prepare, file and present an annual written report to the City Council. This document is intended to meet the state requirement as well as provide an overview of 2023 accomplishments.

The Planning Commission in Lathrup Village is comprised of seven members. These members come from a variety of professional backgrounds in architecture, business, finance, city planning, and education. The various perspectives and knowledge brought by these members creates a well-rounded Commission that maintains fair and thoughtful deliberations.

2023 Planning Commission Roster - as of December 31, 2023

The Planning Commission experienced some turnover in late 2023, largely as the result of city elections. Mr. Hammond was elected to City Council, which compelled his resignation. He was then appointed to serve as the City Council Liaison, replacing Mayor Pro Tem Kantor. The resulting vacancy was not filled before the end of the calendar year.

Name	Term Ending
Jason Hammond, City Council Liaison	
Les Stansbery (Vice Chair)	2025
Wilbert Fobbs III (Secretary)	2026
Mark Dizik	2025
Robert "Bo" Tamarelli	2024
Krista McClure	2025
(vacant)	

Community & Economic Development Department Staff

Susan Stec, Community & Economic Development Director.

Giffels Webster assists the city with planning and zoning services. The GW team assists city staff with technical planning and zoning related calls, emails, and visits to the city. They also prepare reviews, memoranda, and reports for the Planning Commission, ZBA, and City Council, as needed. They attend all Planning Commission meetings as well as City Council meetings as requested. The GW team is directed by Jill Bahm, AICP, partner at GW, and supported by Eric Pietsch, senior planner, as well as our GIS team.

2023 Department Activities

Development Reviews

In 2023, the Planning Commission reviewed five (5) site plan review and one (1) special land use applications; Zoning Board of Appeals considered two applications; and there were three (3) administrative site plan reviews by staff.

Site Plan Reviews. Site plan review takes place when an application is submitted for new construction, additions, and/or changes in use to ensure that development plans meet the standards of the Zoning Ordinance. These standards are primarily non-discretionary standards – these are objective standards such as setback, landscaping, lighting, and parking requirements.

Five site plans were reviewed by the Planning Commission in 2023. Two site plans represented applications to amend previously approved site plans, one accompanied a special land use request, one application is for a complete exterior renovation, and the final one represents a change of use and is still under review by the Planning Commission. Site plan approvals are valid for twelve months, with a one-year extension permitted by the Planning Commission. These site plans included:

- 26727 Southfield Road – BP Gas Station (Modification for screen wall)
- 27701 Southfield Road – The Event House (change of use & special land use)
- 26780 Southfield Road – 44 Burrito (patio)
- 27601 Southfield Road – Oakland Development, LLC (façade renovation)
- 27300 Southfield Road – Abro Management/Skylar Laundromat (pending review, façade renovations & change of use)

Special Land Uses. Special land uses are uses that may be permitted in certain locations within the city, provided that certain standards are met. The Zoning Ordinance provides general standards for special land uses, and some uses have their own additional standards. Generally, most standards are non-discretionary, but there are some discretionary standards that the Planning Commission considers during the review process. A site plan is required with special land use request, with the Planning Commission acting on the site plan and making a recommendation to City Council on the special land use request. There was one special land use request submitted to the city in 2023 – for The Event House on Southfield Road.

Public Input/Public Hearings. The Planning Commission meetings are open to the public, and “public comment” is an agenda item at every meeting. Public hearings are required for PUD, special land use, and rezoning applications. Throughout 2023, there was one development review item that required public hearing (The Event House). Additionally, three public hearings were held

for the zoning ordinance amendments discussed below, and one for the 2023-2028 Capital Improvements Plan.

Zoning Updates

The Planning Commission worked on several amendments to the Zoning Ordinance this year:

- **Dumpster/Rubbish.** During a development plan review, the Planning Commission identified a conflict between the Zoning Ordinance and General Code of Ordinances. Amendments were drafted to bring the conflicting standards into alignment. A public hearing was held in early 2023.
- **Laundromats.** Staff received an application to establish a laundromat, for which no standards existed in the Zoning Ordinance. The Planning Commission was first tasked with determining whether laundromats are a permitted use; it was found to be aligned with the definitions of personal service. The Planning Commission then discussed and established parking standard criteria.
- **Mobile Food Vending.** Staff was receiving regular requests for mobile food vendors to operate in zoning districts other than Village Center. These requests were from established businesses looking to host food trucks as part of a larger events for customers, similar to a caterer, and from food trucks looking to operate in the city. The Planning Commission considered permitting mobile food vending in the Mixed Use (MX) district.
- **Future amendments:** In mid-2023, the Planning Commission identified several areas of the Zoning Ordinance that could benefit from amendments including definitions, permitted uses, and inclusion of solar energy standards. The Planning Commission also began discussing parking regulations. It is expected those discussions will continue through the early half of 2024 with amendments prepared in the second portion of the year.

Other Highlights

- The Community & Economic Development Department continues to have discussions about long-range improvements to Southfield Road with the Road Commission for Oakland County (RCOC).
 - The city’s Downtown Development Authority (DDA) has built upon these conversations and received permission from RCOC to install a HAWK signal near the intersection of Margate Avenue and Southfield Road. The DDA was successfully awarded a State Highway Safety Improvement Program to implement this project. Installation is expected in early 2025; delay is due to material shortages.

- A grant writer has been secured through SEMCOG to draft an application for Rebuilding American Infrastructure with Sustainability and Equity (RAISE) Grant funding. If successful, this grant will allow the city/DDA and RCOC to implement the first phase of the long-awaited Southfield Road Reconstruction (Meadowood Avenue to Cambridge Boulevard).
- The Community & Economic Development Department continues to work with Main Street Oakland County on redevelopment strategies and organizational support.

Meetings

Body	Number of Meetings
Planning Commission	11
Zoning Board of Appeals	2
Joint City Council, Downtown Development Authority & Planning Commission	0

The Year Ahead

Zoning Amendments. The Comprehensive Plan includes zoning action strategies that recommend specific changes needed to the Zoning Ordinance. Zoning-related work has been initiated with the research on amendments that promote sustainability noted above. The Planning Commission initiated discussion related to reevaluating parking regulations in the commercial districts of the city. The Planning Commission has expressed a desire to work more closely with the DDA to better support new and existing business/property owners seeking to redevelop commercial sites in the city.

Development Project Update

PZE Process #	Address	Applicant Name	PZE Process Type	Started	Date Completed PZE Process	Completed Construction (Yes/No)	Notes
Pze23-003	28077 SUNSET W BLVD	MANN, MARK	ZBA	1/20/2023		No	Applicant is seeking a variance on the approved fence material, as he installed a chainlink fence without a permit. During the initial review of the application, staff identified an issue in the placement of the fence with it potentially being on the neighboring property. Staff discussed this with the applicant and indicated that he will need to provide proof that the fence is on his property. Applicant spoke with City Administrator; no forward progress made by applicant. A ticket was issued 11/16/23
Pze23-010	27300 SOUTHFIELD RD	Sadier Abro	Site Plan Review	6/15/2023		No	PC provided zoning interpretation on laundromat use. Building plans have been reviewed & approved. Permits on hold. Seeking site plan approval 2/20/24
Pze23-012	17390 W 11 MILE RD BLDG 1	Pat & Sons	Administrative Review	8/11/2023	8/30/2023	No	Reinstate Site Plans/No changes to plans or zoning
Pze23-013	27601 SOUTHFIELD RD	Oakland Development, LLC	Site Plan Review	8/30/2023	11/21/2023	No	Façade Renovation & Parking Reconfiguration
	28901 SOUTHFIELD RD	Papa's Pizza & BBQ	N/A			Yes	Interior build-out of take out restaurant.
	28831 SOUTHFIELD RD	Sam's Shoe Outlet	N/A			Yes	Interior conversion of retail space
Pze24-001	28001 SOUTHFIELD RD	MedSpa	Administrative Review	1/12/2024	1/24/2024	No	Interior conversion of retail space
Pze24-002	27411 SOUTHFIELD RD	Jay Birds Bar & Grille	Administrative Review	1/30/2024	2/7/2024	No	Seeking to transfer in Class C Liquor License. Interior renovations to existing, vacant resto space.
Pze24-003	27411 SOUTHFIELD RD	Jay Birds Bar & Grille	Special Land Use	1/24/2024		No	Interior renovations to existing, vacant resto space
Pze24-004	28901 SOUTHFIELD RD	Papa's Pizza & BBQ	ZBA	1/26/2024		No	Seeking a variance for window signage coverage
Pze24-005	27777 SOUTHFIELD RD	Panera Bread	PUD	1/8/2024		No	Seeking to amend PUD Agreement to install monument sign that was contemplated previously. Existing non-conforming monument sign base was removed during construction.