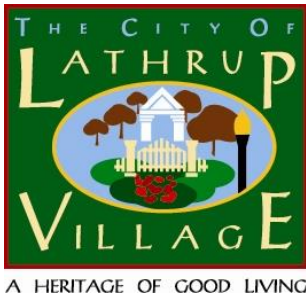




Planning Commission Agenda

Tuesday, December 17, 2024 at 7:00 PM
27400 Southfield Road, Lathrup Village, Michigan 48076

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Approval of Meeting Minutes**
 - [A.](#) November 2024 - Planning Commission Meeting Minutes
5. **Public Comment**
6. **Old Business and Tabled Items**
 - [A.](#) 28317 Southfield Road – Parking Waiver
7. **New Business**
 - [A.](#) 2025 Meeting Dates
 - [B.](#) 26600 Southfield Road – Site Plan
 - [C.](#) 27700 Southfield Road – Site Plan
 - [D.](#) Proposed Ordinance Change - First Floor Residential Village Center (VC)
8. **Other Matters for Discussion**
 - [A.](#) Development Projects Update
9. **General Communication**
10. **Adjourn**



Planning Commission Agenda

Tuesday, November 19, 2024 at 7:00 PM
27400 Southfield Road, Lathrup Village, Michigan 48076

MINUTES

1. Call to Order at 7:17pm

2. Roll Call

Present: Chair Stansbery, Commissioner Scussel, Commissioner Hillman, Commissioner Nordmoe

Others Present: DDA Director Austin Colson, Community and Economic Development Intern Thomas Kennedy, Planning Consultant Eric Pietsch, Giffels Webster

Absent: Vice Chair Fobbs, Commissioner Hammond, Commissioner Dizik

Motion by Commissioner Scussel, Seconded by Commissioner Hillman, to excuse the commissioners that were not present. Motion carried.

3. Approval of Agenda

Motion by Commissioner Scussel, Seconded by Nordmoe, to approve the agenda. Motion carried.

4. Approval of Meeting Minutes

A. August 2024 - Planning Commission Minutes

Motioned by Commissioner Hillman, Seconded by Commissioner Nordmoe, Motion carried.

5. Public Comment

Diane Anderson, friends of Annie Lathrup School, said that her family built the first house in Lathrup Village after the war in 1951, and is working on the history of Lathrup Village, and she is appalled at what is going on in Lathrup Village. She explained that Lathrup Village, was no longer considered a bedroom community, which is defined as a small community that has no major industries, and is lived in by people who go to another town or city to work, and when Lathrup Village was founded it was always supposed to be a bedroom community where quiet enjoyment, was what you had, and businesses closed down at night. She mentioned trashing one of the heritage buildings, having businesses that were appropriate to a neighborhood like this one, and referenced a restaurant where a murder happened at night. Ms. Anderson said she believes there is a two tier system, in Lathrup Village, where the inner streets: Saratoga, San Jose, San Quentin, San Diego, Bungalow, and Cambridge, enjoy quiet amenity, but if you live along Southfield Road,

and in the outer edges, you are treated like a second class citizens, because there are inappropriate businesses creating noise, congestion, and bringing in outside elements, and that even drug businesses have been attempted in Lathrup Village. Ms. Anderson, said that The Historical Society, has failed to live up to its guidelines of getting the school back, preserving historic buildings, making sure the architecture reflected architecture of the neighborhoods, and that the businesses were neighborhood appropriate. She said that she believes that property values have gone down in Lathrup Village, and that the business district looks like a working class strip mall, and the value of the properties near the businesses are in a downward spiral, and that it is disgusting that we have a Council that believes in two tiered citizenry, where property values go down and you don't have the same quiet and peace unless you live tucked inside of the City. She believes that mixed use zoning on twelve mile, will deflate the value of the homes on Roseland, and that there is no excuse for this type of malfeasance, and poor planning.

6. **Old Business and Tabled Items** None

7. **New Business**

A. 28317 Southfield Road - Site Plan Review

Planning Consultant Eric Pietsch of Giffels Webster, explained proposed reuse of an existing tenant space, the proposed plan is a golf simulator business, which when reviewed against the ordinances is a permitted use by right, that has a slightly higher impact for parking and would require two additional parking places, than the use that was there before, the Planning Commission, has ability to consider a reduction of parking, up to 25% of the required parking, (between 5 – 9 parking spaces), and he said the applicant turned in a letter with reasons and a comparison chart, as to why they felt the reduction in parking is appropriate.

Commissioners asked about

Commissioner Nordmoe, asked, if they compared when the neighboring businesses were open and closed, and if the use is harmonized with the neighboring businesses. Consultant Pietsch, said the analysis did take this into consideration, and because this business would be by appointment only, this could restrict the amount of parking spaces in demand for the proposed use, overlapping other businesses.

Commissioner Hillman, likes the idea, and business that are quiet, that don't stink, and that don't have drunk people coming out of them, his primary concern, is the parking consideration. He asked how they came up with the analysis of the Bartending school and the Insurance company to determine their peak hours.

Lantei Takona, owner of Mara Greens, LLC., a golf simulator business, and his Brother and business partner, Sala Takona, explained that they conducted a standard engineering time study, by going there everyday over the past two and a half months, and meeting with the business owners, of the three adjacent businesses. Mr. Takona, said insurance company doesn't utilize a lot of spaces, the medical supply closed on weekends, and the bartending school, has approximately seven students at a time, who come 4:00pm, and they have consulted with the Property owner, who let them know that he is on board with the parking reduction.

Commissioner Nordmoe, referenced a dumpster in the alley, that the Planning Consultant, said was not in compliance because it is in the alley, which is not free and clear of the right of way. Chair Stansbery, said it was put there a long time ago, and if they were following the same guidelines, they would have had to say, where they agreed to place it, and there may already be an agreement with the City regarding the dumpster.

Chair Stansbery, recommended the proposed business owner, talk with the business owner next door, about possibly using their parking lot, since there is only one person who works there and one vehicle parked, that they may consider a shared parking agreement.

Commissioner Hillman, asked about their operating hours ending at 10:30pm, and DDA Director Colson, said it is okay to be open until 11pm. Commissioner Hillman, asked the business owners, to review our sign ordinances, when considering submitting their plans for a sign.

Chair Stansbery, inquired of the business format, and the Mr. Takona said it is a digital format, but you bring your golf clubs.

Commissioner Nordmoe, wanted to know how we were going to wrap up the non-compliant dumpster, and DDA Director Colson, said he would follow up.

Chair Stansbery, asked if it was like the golf simulator, in Beverly Hills, and the business owner said the difference is that the one in Lathrup Village, will be by appointment only.

Chair Stansbery, gave the options that the Planning Commission has, of approving the request, or coming up with something else as a requirement.

Commissioner Hillman, said the letter from the business owner's requesting the variance, is available on the City's website and it is thoughtful and detailed, but he is concerned and wants more formal testimony that the property owner, and neighboring businesses are okay with reducing the number of parking spaces.

Chair Stansbery, said they could approve the rezoning, with a caveat showing support from other businesses, but that gives the business owners, the ability to do what they need to get done, knowing that they would have to resolve the parking issue.

Commissioner Nordmoe, wanted to know the timeline, of the project, and Mr. Takona, said February.

Commissioner Scussel, addressing inconsistencies, in Planning Commission meetings, said if we ask them to bring things back, that we should have all of our scheduled meetings and not make them wait. Chair Stansbery, confirmed that we will have meetings in December and January. Attorney Kimberlin, said they should formally hold off on approval, until the requested, written information is brought back to the Commission.

Moved by Commissioner Nordmoe, seconded by Commissioner Scussel, to table this site plan review item until the applicant brings back the requested written documents to the December 17, 2024 meeting. Motion carried.

B. Rezoning of Twelve Mile Road

DDA Director Austin Colson, explained the two zones, commercial vehicular district, and office district, on Twelve Mile road, and on the Southfield side, there are mixed use properties. He said the demand for office space is not as high as it was, and he is coming before the Planning Commission to ask for a hearing for mixed use zoning, which would bring in a larger pool of developers and investors, because of the additional uses by right, and he wants a public hearing next month. DDA Director Colson, pointed out that Lathrup Village already has mixed use zoning on Southfield Road.

Chair Stansbery, asked about specific parcels on twelve mile, that the mixed use classification would be given to, and if any projects have been presented to the DDA that would require the mixed use classification. DDA Director Colson, said there is no project with submitted site plans, but there have been questions from property owners related to mixed use.

Chair Stansbery, did not think the proposed area on Twelve Mile had enough space to be mixed use. Commissioner Nordmoe, is familiar with the demand for housing above store fronts, but wanted to know if fast food and liquor stores would be acceptable in this revised plan?

DDA Director Colson, said classifications would be reviewed and special uses would require coming before the Planning Commission.

Commissioner Nordmoe, thought that a row of town houses, middle level of housings, could be very appropriate to the business strip, but that the public wants to know we are not bringing in more fast food restaurants.

Commissioner Scussel, wanted to make sure it was written, specifically for Twelve Mile only, but he is open to seeing plans.

DDA Director Colson, said he wants to know what residents would like and what to stay away from, when it comes to approving a property for mixed use.

Commissioner Hillman, pointed out the variance between the Southfield and Lathrup Village sides of Twelve Mile, and that there is a longer stretch on Lathrup Village, and it is a quiet, dark, and calm place, and he would imagine many residents, would having strong feelings against this idea. He said a row of beautiful condos sound great, but a row of fast food restaurants, does not, so we need to be careful how we construct what the mixed use zone will allow.

DDA Director Colson, said there would be no drive throughs permitted, and there would have to be harmony with the use the mixed used zoning and no use that would disrupt residents sleep.

DDA Director Colson, said the next step is getting feedback from residents and property owners as well.

Commissioner Hillman, said the demand for office space has decreased, and he doesn't want a row of empty office buildings, but doesn't want a row of restaurants, the City should take a careful approach to this first step, and that the City has an obligation to directly engage residents, who are directly impacted by this, to be engaged in this hearing process.

DDA Director Colson, said part of the hearing process, residents are notified in advance.

Commissioner Nordmoe, thought the housing could be used for seniors, and young couples, with quality housing that is affordable, to attract the residents, and to reinforce the social fabric of our community.

DDA Director Colson agreed, that the quality "Middle Housing" is missing in the whole state, and is in demand, and it would be a good use of the mixed use zoning properties.

Chair Stansbery, who lives on Roseland, knows that we can work with property and business owners, or they can leave their properties vacant, and thinks a visual aid, would help residents understand, the conceptual idea of the mixed use zoning, and asked DDA Director Colson, to request the visuals from the interested property owners.

DDA Colson, said he will reach out to the property owners, and appreciated the feedback, this is what he was looking for, from the Commission.

Commissioner Hillman, agreed with Chair Stansbery that visuals, will help residents understand the proposed ideas.

Attorney Kimberlin, asked about work live accommodations, storefronts underneath, and Chair Stansbery, thinks the office space beneath, doesn't get leased and has seen this in Royal Oak.

Commissioner Hillman, had lived in a unit in Ferndale, where the store below, did not work out, and it became part of his living unit.

Chair Stansbery, said to let the property owners, show us what they want to do.

Attorney Kimberlin, said the requirement for zoning changes, are to notify by mail all residences within 300 feet of the proposed property, not just having a hearing notice published.

8. Other Matters for Discussion

A. Development Project Update

DDA Director Colson, gave updates on the status of the five projects, that are currently in the PZE process.

DDA Director Colson, introduced Thomas Kennedy, Community Development and Downtown Development Authority intern.

Mr. Kennedy, passed out thumb drives, containing the best practices of serving on a Planning Commission, and Director Colson, asked the members to review the materials, and this information is part of getting Lathrup Village, back in good standing with the Redevelopment Ready Community Certification.

10. Adjourn

Motion to adjourn the meeting by Commissioner Nordmoe, seconded by Commissioner Scussel.
Meeting adjourned at 8:36pm



Mara Greens
Indoor Golf Club

Planning Commission
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076

Subject: Approval of Shared Parking Usage for Mara Greens Golf Simulator

Dear Members of the Planning Commission,

I, Adnan Mouhajer, the owner of Mouhajer Development Inc. and the premises (plaza) referenced herein, hereby acknowledge and approve the shared parking arrangement for the 29 parking spaces located at 28317 Southfield Road, Lathrup Village, MI 48152, as outlined in the letters provided by Lantei Takona, owner of Mara Greens Golf Simulator.

By signing below, I confirm that I have reviewed and accepted the shared-use parking agreement for the benefit of all businesses within the plaza.

Thank you for your cooperation in facilitating this arrangement.

Sincerely,

Adnan Mouhajer
Owner, Mouhajer Development Inc.
17190 Autumn Ridge Drive
Northville, MI 48167

Date: 11-26-24

Signature: *Adnan Mouhajer*



Mara Greens

Indoor Golf Club

Global Care Medical Supply
28309 Southfield Road
Lathrup Village, MI 48076

Subject: [Site Plan Review] 28317 Southfield Rd. - Tenant Confirmation of Shared Parking Usage

Dear Owner,

I hope this message finds you well. My name is Lantei Takona, owner of Mara Greens, an exclusive indoor golf simulator business soon to open at 28317 Southfield Road, Lathrup Village, MI 48076. As part of our site plan review process, the City of Lathrup Village has requested that we seek confirmation and agreement from the adjacent businesses regarding the shared use of the 29 parking spaces available at the plaza.

This step, in compliance with Section 5.13.13 of the city ordinance, is intended to ensure efficient parking usage and foster a harmonious atmosphere among all tenants as Mara Greens Golf Simulator joins the plaza. **I kindly ask for your confirmation of this shared-use arrangement, as it is necessary to complete our review by Friday, December 13, 2024.**

Business Model & Capacity

Mara Greens operates on a reservation-only model, allowing members to book specific tee time slots throughout the day. This approach ensures precise control over guest numbers, helps manage daily capacity, and limits availability as needed to maintain an optimal experience for patrons.

The facility will feature three golf simulator bays, each accommodating up to four golfers, for a total capacity of 12 patrons. With 1-2 on-site employees managing operations and assisting guests, Mara Greens can host up to 14 individuals at maximum occupancy.

Operating Hours & Peak Times

Operating hours are scheduled daily from **9:30 AM to 10:30 PM**, with peak periods anticipated as follows:

- **Weekdays (Evening):** 4:00 PM – 10:30 PM
- **Weekends (Sat-Sun):** 9:30 AM – 10:30 PM

Our scheduling has been carefully designed to minimize potential impacts on parking availability during peak times. For your convenience, we have included a table outlining the operating hours and peak times for Mara Greens and the other plaza businesses, providing a comprehensive view of parking demand.

If you are in agreement, I kindly ask for your signature below to confirm this shared-use arrangement. The city requires this acknowledgment by **Friday, December 13, 2024**.

We appreciate your cooperation in assisting us to complete the site plan review process. If you have any questions or need additional details, please don't hesitate to contact me at (410) 504-3344 or lantei.takona@gmail.com.

Thank you for your time, consideration, and collaboration in this matter.

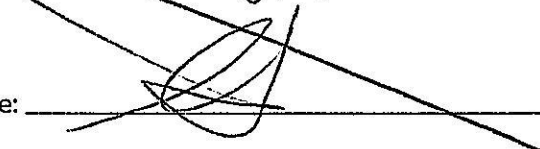
Sincerely,

Lantei Takona
Owner, Mara Greens Golf Simulator
28317 Southfield Road,
Lathrup Village, MI 48076

Acknowledgment of Shared Parking Usage

I confirm and agree to the shared use of the 29 parking spaces at 28317 Southfield Road. I also acknowledge that this shared parking arrangement is designed to effectively meet parking needs while fostering a harmonious environment for all neighboring businesses.

Print Name: HERSH BROWN

Signature: 

Date: 12-23-2024
HTB

Table 1: Summary of Parking Standards

The table below is a summary of parking standards, based on the current minimum parking spaces required per Section 5.13.13.D of the city ordinance.

Ordinance Standard	Required (per sqft.)	Comments
Health & Fitness	9 Parking Spaces	Mara Greens - Use is Proposed
Bartending School	9 Parking Spaces	Use is existing
Medical Supply	9 Parking Spaces	Use is existing
Insurance Office	7 Parking Spaces	Use is existing

Table 2: Operating Hours & Peak Overlap

The table below outlines the operating hours of Mara Greens in relation to the adjacent businesses, with a focus on peak periods when parking demand may increase.

Store Operating Hours				Peak Hours of Overlap		
Business (# spaces)	Operating Hours	Saturday Status	Sunday Status	Overlap on Weekdays (After 4 PM)	Overlap on Saturdays	Overlap on Sundays
Mara Greens (9sp)	Mon-Sun: 9:30 AM - 10:30 PM	Open	Open	Peak hours 4 PM - 10:30 PM	Peak hours: 9:30 AM - 10:30 PM	Peak hours: 9:30 AM - 10:30 PM
Bartending School (9sp)	Mon-Sun: 8:00 AM - 10:00 PM	Open	Open	6 hours 4 PM - 10 PM	12.5 hours 9:30 AM - 10 PM	12.5 hours 9:30 AM - 10 PM
Medical Supply (9sp)	Mon-Fri: 10:00 AM - 4:00 PM	Closed	Closed	0 hours	0 hours	0 hours
Insurance Office (7sp)	Mon-Sat: 10:00 AM - 5:00 PM	Closed at 5 PM	Closed	1 hour 4 PM - 5 PM	7 hours 10 AM - 5 PM	0 hours



Mara Greens

Indoor Golf Club

Bassett Insurance
28305 Southfield Road
Lathrup Village, MI 48076

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We appreciate your cooperation in assisting us to complete the site plan review process. If you have any questions or need additional details, please don't hesitate to contact me at (410) 504-3344 or lantei.takona@gmail.com.

Thank you for your time, consideration, and collaboration in this matter.

Sincerely,

Lantei Takona
Owner, Mara Greens Golf Simulator
28317 Southfield Road,
Lathrup Village, MI 48076

Acknowledgment of Shared Parking Usage

I confirm and agree to the shared use of the 29 parking spaces at 28317 Southfield Road. I also acknowledge that this shared parking arrangement is designed to effectively meet parking needs while fostering a harmonious environment for all neighboring businesses.

Print Name: Julius Bassett +

Signature: Julius Bassett

Date: 11-21-24

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The table below is a summary of parking standards, based on the current minimum parking spaces required per Section 5.13.13.D of the city ordinance.

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Insurance Office (7sp)	Mon-Sat: 10:00 AM - 5:00 PM	Closed at 5 PM	Closed	1 hour 4 PM - 5 PM	7 hours 10 AM - 5 PM	0 hours



27400 Southfield Rd
Lathrup Village, MI 48076
(248) 557 - 2600
www.lathrupvillage.org

To Whom It May Concern:

This letter is drafted for the tenants at 28317 Southfield Road on behalf of Lathrup Village's Community and Economic Development Department.

As part of the City Planning Commission's site review process for the applicant, Mara Greens at 28317 Southfield Rd., we are reaching out to ensure transparency and collaboration among all tenants in the shared parking arrangement at this plaza.

During the City's Planning Commission meeting on November 19, 2024, a site plan was presented by Lantei Takona to occupy a vacancy at the subject address. Commissioners asked Mr. Takona to receive acknowledgement from fellow tenants of Mara Greens' usage of parking spaces within the shared lot. Since not every occupant has the same hours of operation, shared parking lots are a sustainable and efficient use of land

This acknowledgment serves as confirmation that you are aware of the proposed tenant's operations and their potential impact on the shared parking facility.

Please note, this acknowledgment does not imply any formal agreement or consent but simply confirms your awareness of their occupancy and use of the shared lot. If you have specific questions or concerns about the shared parking arrangement or the proposed business, we encourage you to communicate them directly with the City and applicant.

Sincerely,

Austin Colson

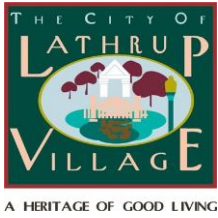
Austin Colson
Community and Economic Development/DDA Director
(248) 639-8530

Shared Parking Acknowledgement for 28317 Southfield Road

Name: *Daryle L. Castello*

Street Address: *28313 Southfield Rd*
Lathrup Village
48076

Signature: *Daryle L. Castello*



27400 Southfield Rd.
Lathrup Village, MI 48076
(248) 557-2600
www.lathrupvillage.org

To: Planning Commission
From: Austin Colson – Community & Economic Development Director
Date: December 17, 2024
RE: Planning Commission Meeting Schedule - 2025

The following outlines the confirmed meeting dates for the Planning Commission for 2025. Consistent with past practice, meetings will be held on the third Tuesday of each month at 7:00pm.

2025 Meeting Dates

- January 21, 2025
- February 18, 2025
- March 18, 2025
- April 15, 2025
- May 20, 2025
- June 17, 2025
- July 15, 2025
- August 19, 2025
- September 16, 2025
- October 21, 2025
- November 18, 2025
- December 16, 2025

Meeting Details

- **Time:** 7:00pm
- **Location:** 27400 Southfield Road, Lathrup Village, MI – City Hall

Suggested Motion: Approve the 2025 Planning Commission meeting schedule as presented, with meetings to be held on the third Tuesday of each month at 7:00pm.

December 13, 2024

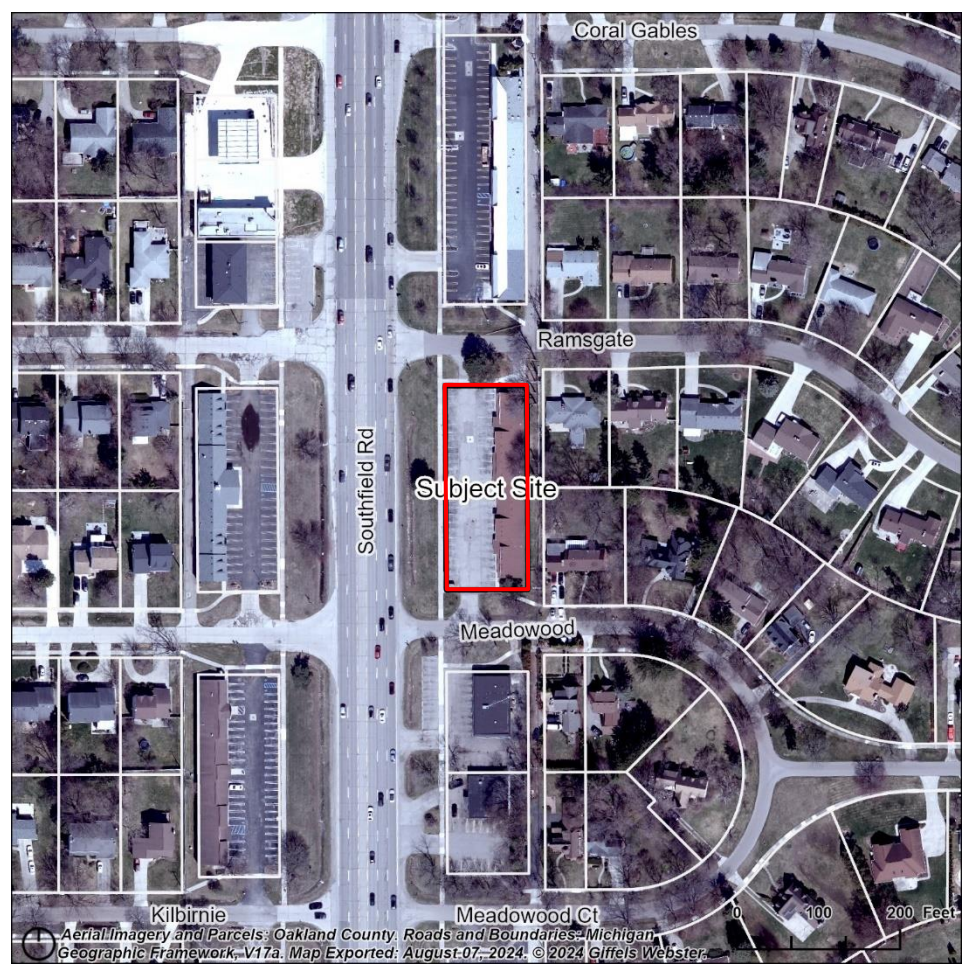
Planning Commission
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076

Site Plan Review

Site: 26600 Southfield Road
Applicant: BD & E Group, LLC
Plan Date: November 20, 2024
Zoning: MX Mixed Use District
Parcel ID: 24-24-104-033
Proposal: Interior / Exterior Commercial Building Renovation

Dear Planning Commissioners,

We have reviewed the site plan application, and a summary of our findings is below. Items in **bold** require specific action by the applicant.



REVIEW SUMMARY

1. The proposed, single-tenant auto parts retail use will occupy space previously used as multi-tenant retail. A full parking analysis is not required when a project does not propose a change of use. The site plan confirms a total of 48 spaces are provided to meet the requirement of 38 off-street parking spaces.
2. The floor plans and elevations show a delivery door on the north side of the building, accessed by a 15' accessway from Ramsgate Drive. The 10' x 40' loading area standard is met on the outside of the building as the existing loading door to the inside of the building is dimensioned as 8' in width.
3. A site plan notation states the site does not generate much trash and all items delivered in boxes are either shipped or sold in the same package. The business will utilize the approved curbside waste service per the City of Lathrup Village standards.
4. The proposed building materials, shown and labeled on the elevation plans, do not align with the standards set by the ordinance. The applicant is considering alternative materials in place of the amount of metal siding and will be prepared to discuss the remodeled building's appearance and materials used with the Planning Commission.

DETAILED REVIEW

Project Summary

The approximate half acre site is zoned MX – Mixed Use District and is located along the east side of Southfield Road, between Meadowood Court to the south and Ramsgate Drive to the north. The existing, 1-story, 7,595 square foot building is vacant and was most recently used as retail. The floor plan layout of the proposed retail facility divides the entire space into 3 sections: a main customer service entry and counter in the middle, an area for auto parts storage on the north side, and an area for shipping and receiving on the south side. The site does not have direct access to and from Southfield Road, rather, vehicular driveways from Meadowood Court and Ramsgate Drive provide access to an existing surface parking lot in front of the building. The rear of the site, facing east, appears to abut an unimproved public alleyway, consisting of overhead utilities which separates the site from single-family lots. The properties to the south and west of the site are zoned MX – Mixed Use. Areas north of California Drive SE are zoned CV – Commercial Vehicular.

The proposed retail use of the site will maintain a principally permitted use. The proposed renovation of the exterior of the building requires consideration and approval of a site plan review by the Planning Commission, as specified in the ordinance (*Sections 6.1.1.A & 6.1.1.B.ii*). **Required information for all site plans can be found beginning in Section 6.1.4.** The review of the overall building renovation continues as outlined in the remainder of this letter.

Proposed

1. **Use (Section 3.1.9.B & C).** The applicant intends to renovate the exterior and reuse the interior of the existing building as retail for the sale of auto parts. There will be no change in use, however, the extent of the exterior modification activity requires site plan review and Planning Commission approval. The remaining items are to be applied to the general renovation of the existing building, based on the plans as submitted.
2. **Mixed Use Buildings (Section 4.13).** No commercial uses shall be located on a floor above any residential uses in any mixed-use building. *The existing building is one story, and no additional story is proposed above.*
3. **Waste and Rubbish (Section 5.3.1).** No garbage, sewage, filth, refuse, waste, trash, debris, or rubbish, including cans, bottles, wastepaper, cartons, boxes, crates, inoperable machinery, discarded building materials, discarded household goods, or any offensive or obnoxious matter, shall be kept in open containers or piled, placed, or stored on the open ground. The owners and occupants of every building shall provide proper, covered receptacles for said waste and keep receptacles clean and in an

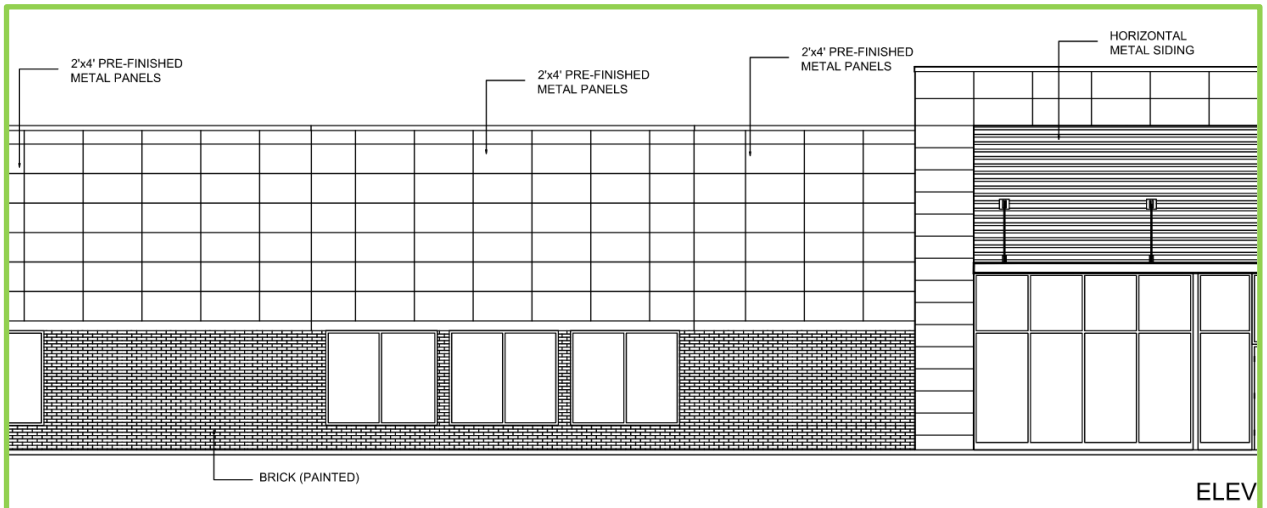
inconspicuous location, out of public view, on the grounds outside of a building. Rubbish may, however, be placed at the roadside for pickup on designated days in conformity with the city's ordinances regulating rubbish collections.

- 4. A site plan notation states the site does not generate much trash and all items delivered in boxes are either shipped or sold in the same package. The business will utilize the approved curbside waste service per the City of Lathrup Village standards. The site plan does not indicate the location of the waste receptacles; however, the image at right indicates a line of bins where the delivery door will be located, could be relocated to the south side of the building in a similar manner. This standard appears to comply (5.3.1.).



Building Materials (Section 5.4).

Except as otherwise provided in this ordinance, on all permanent buildings, exterior wall construction and exposed, exterior chimneys shall be either brick, natural stone, masonry materials other than brick, or a combination thereof, provided all such materials comply with the specifications outlined in this section.



The lower 8 feet of the front façade will maintain the existing brick which will be primed and painted. New windows with aluminum framing will be installed around the main building entrance, providing a transparent element to the design. **The applicant has been notified that the amount of pre-finished metal panels, shown in the front elevation above, does not align with the stone and masonry material standards set forth in Section 5.4 of the zoning ordinance. The applicant will be submitting an update to the proposed materials as well as updated elevations prior to meeting with the Planning Commission. The applicant may also consider providing samples of the proposed materials for the Planning Commission to discuss with the applicant.**

- 5. Architectural trim material may be wood, aluminum, or other material of equal strength and durability if the building walls proper are of fire-resistant material. Such trim material shall not cover more than ten percent of the exterior wall construction (Section 5.4.3).

This standard appears to be met.

- 6. **Protective or Barrier Walls Required (Section 5.5).** Proposed developments in the Mixed-Use district shall provide and thereafter maintain in good condition, a protective or barrier wall between an R1 district and such lot in conformity with the requirements of this section.

An existing wall separates the commercial site from the adjacent single-family residential property to the east, as shown in the image at right. No change is proposed to this protective barrier wall; therefore, this standard is met.



Existing wall as seen from Meadowood Ct. (Aug. 2018)

- 7. **Outside Illumination (Section 5.8).** All lighting apparatus used for outside illumination shall direct all light downward and shall be so constructed as to prevent the directed light from extending beyond the lot being illuminated. Except as otherwise provided in this ordinance, no lighting apparatus shall be placed more than 18 feet above grade as measured to the point on the ground nearest the light. No light source shall cause or permit direct, indirect, or reflected light to extend beyond the lot upon which it is placed so as to be annoying to any occupant of a neighboring lot who is of ordinary sensibilities.

The plans do not indicate any changes to the exterior lighting at the site.

- 8. **Off-Street Parking (Section 5.13)** Off-street parking facilities shall be adequate when the users and their invitees are able to park their motor vehicles in spaces provided while visiting the establishment without resort to the public right-of-way areas or the parking facilities of others except on rare and infrequent occasions or when otherwise permitted in this ordinance. Parking spaces shall comply with the minimum standards of this article.

The proposed retail use is not a change of use, and therefore does not require a full parking analysis and review. Modifications to the parking lot are minimal and the site plan shows 48 off-street parking spaces will satisfy the 38-space parking requirement for the proposed retail use.

- 9. **Delivery vehicle space. (Section 5.13.12).** On the premises of every building or use involving the frequent receipt or shipment of goods by motor, there shall be provided in addition to the otherwise required parking spaces and access drives, an area reserved for standing, loading, and unloading sufficient to avoid undue interference with public use of streets, alleys, driveways, aisles, and other parking spaces.

The north side of the building proposes a 8' wide by 8' high delivery door with an independent, 15' wide access drive from Ramsgate Drive. The 10' x 40' loading area standard is met with dimensions verified on the outside of the building at the loading door.

- 10. **Off-street parking layout standards (Section 5.13.9).** In order for existing parking spaces to be considered in the number of spaces provided by the facility, the site plan shall include the requirements and dimensional standards of this section.

The site plan provides the layout of the parking spaces within the footprint of the existing parking lot. This standard is met.

- 11. **Screening Standards for Site Plan Approval (Section 6.1.5.O).** Off-street parking, loading, and unloading areas, outside refuse storage areas, and other storage areas that are visible from adjacent homes or from public roads, shall be screened by walls or landscaping of adequate height.

The site plan identifies an existing concrete wall, offset from the east property line by approximately 4'-2". This buffer wall is seen in the image above. This existing condition meets the ordinance standard.

12. **Landscaping (Section 5.15.15).** No site plan shall be approved unless the plan affirmatively shows that reasonable care and diligence has been exercised to preserve existing healthy trees and shrubs and other valuable mature plant materials on the site.

The plans for this site are to reuse an existing, vacant, commercial retail building as retail for a single tenant. Additionally, no expansion of the existing parking lot is proposed, and therefore, no additional landscaping is required. A site plan notation states that new landscaping will be limited to flowers and mulch around the existing monument sign.

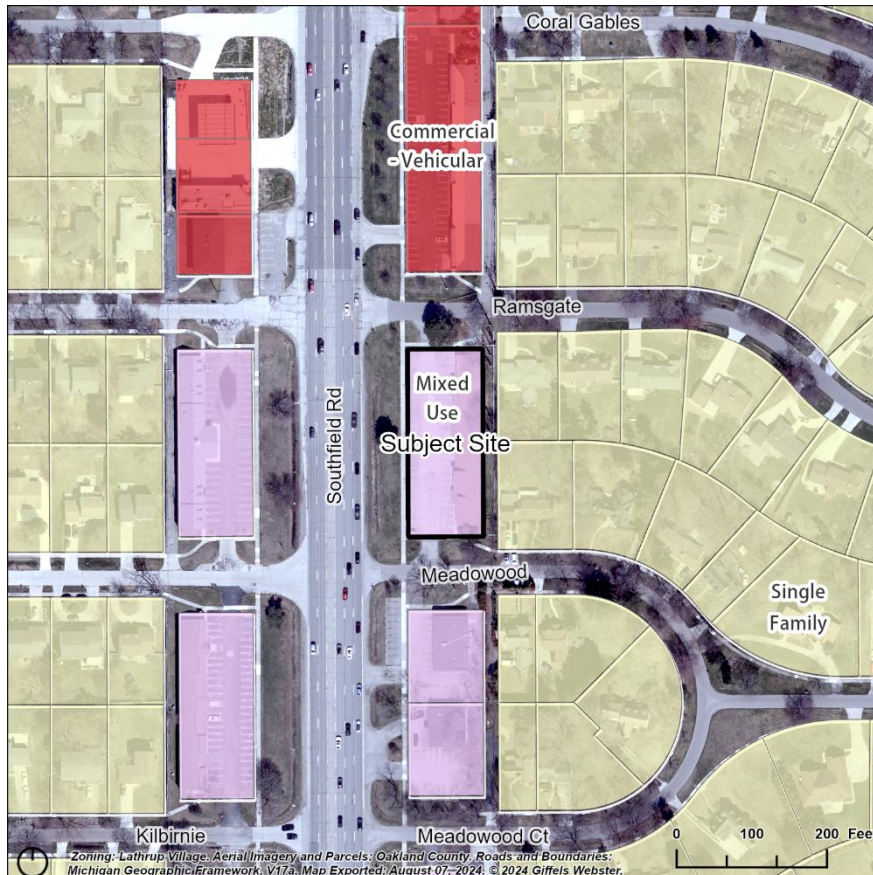
We will look forward to discussing the site plan application with the Planning Commission at the December 17, 2024 meeting.

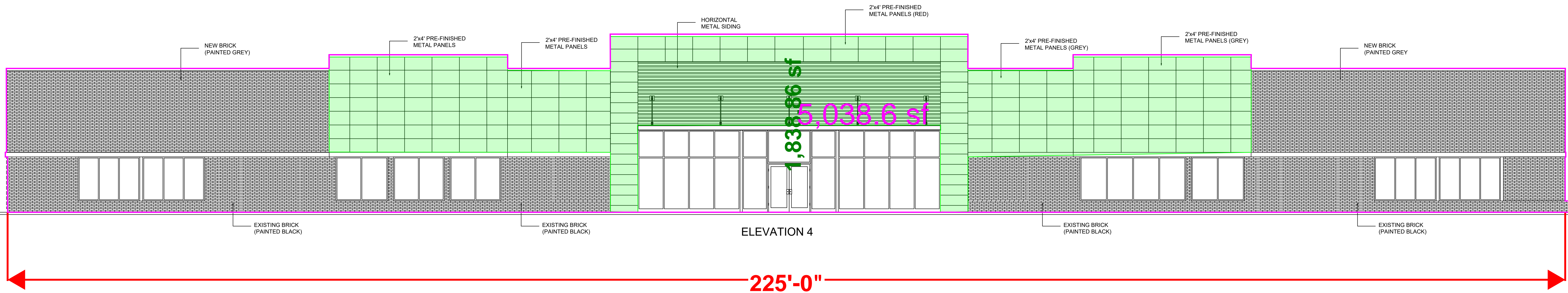
Regards,

Giffels Webster

Jill Bahm, AICP
Partner

Eric Pietsch
Senior Planner





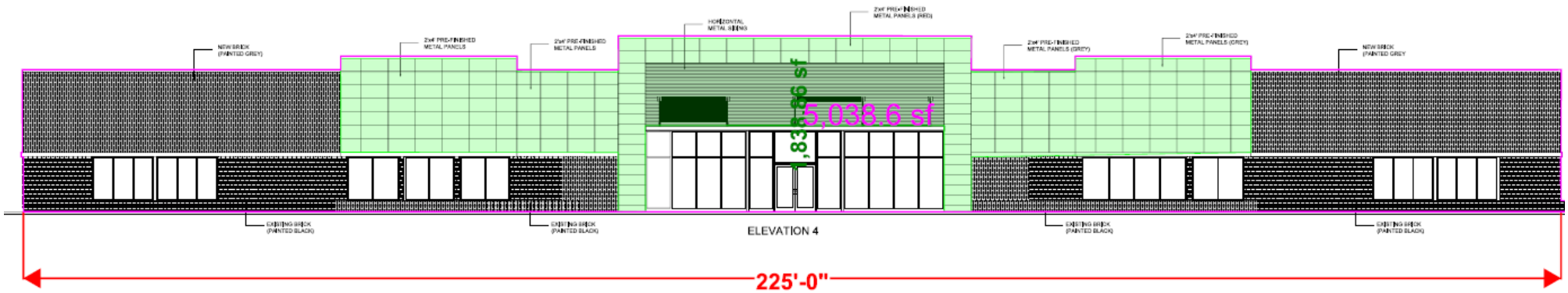
FRONT BUILDING FACE

5,038 sf = 100%

10% of 5,038 = 503.8 sf. (metal material allowed as trim)

1,839 sf. / 5,038 sf. = 37%

(over by 1,335.2 or 27%) -& metal material is limited to trim per the ordinance.



FRONT BUILDING FACE

5,038 sf = 100%
10% of 5,038 = 503.8 sf. (metal material allowed as trim)

1,839 sf. / 5,038 sf. = 37%
(over by 1,335.2 or 27%) -& metal material is limited to trim per the ordinance.

Owner / Developer
THE SURNOW COMPANY

Tel. (248) 865-3000 x 102

CONTACT: Sam Surnow

Architect
BIDDISON ARCHITECTURE

320 Martin Street
Suite 10
Birmingham, MI 48009
Tel. (248) 554-9500

CONTACT: Kevin Biddison, AIA

Civil Engineer
NOWAK & FRAUS ENGINEERS

46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

CONTACT: Brad W. Brickel, P.E.

Landscape Architect
NOWAK & FRAUS ENGINEERS

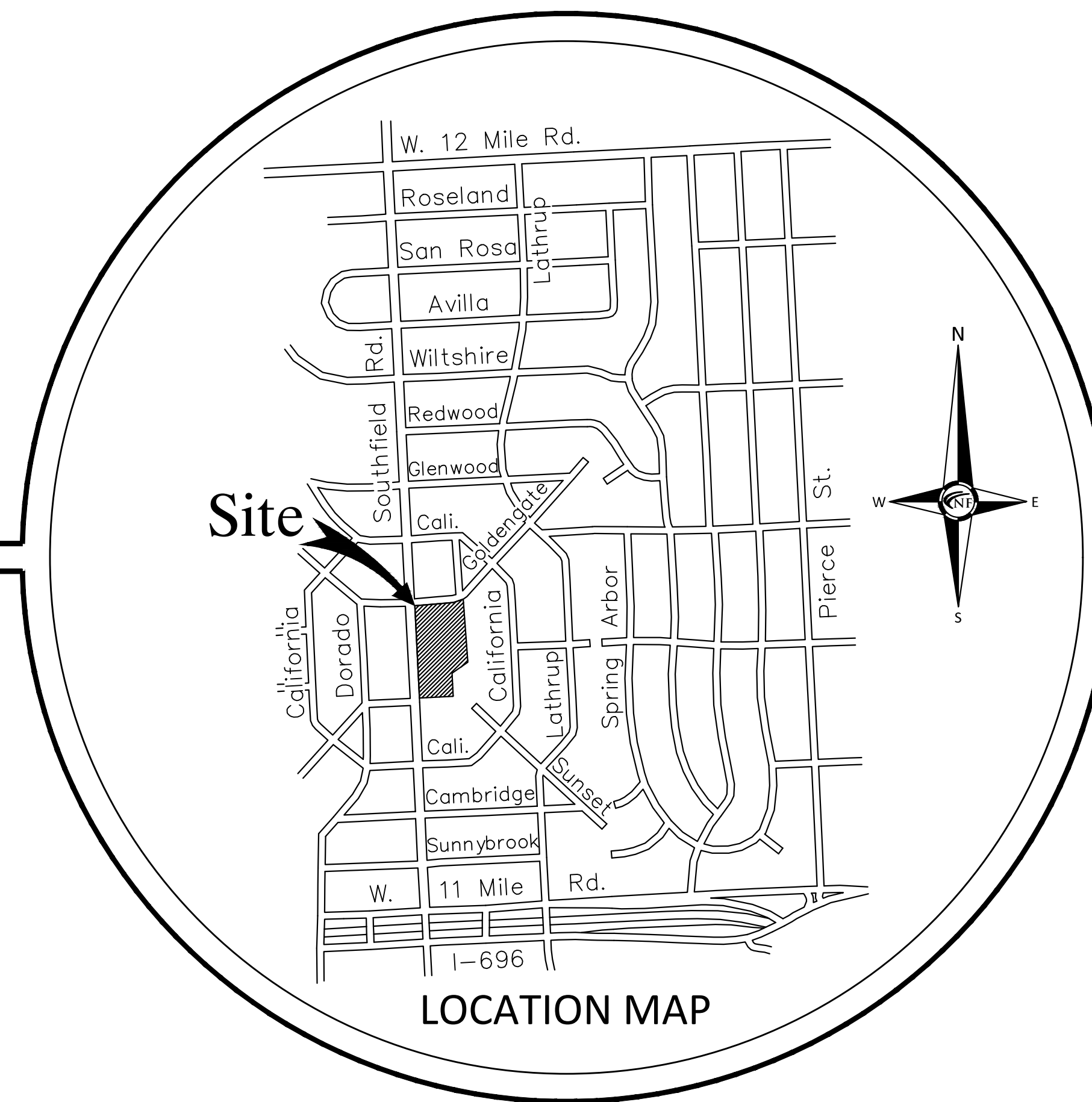
46777 Woodward Ave.
Pontiac, MI 48342-5032
Tel. (248) 332-7931
Fax. (248) 332-8257

CONTACT: George Ostrowski, LLS, LEED AP

City of Lathrup, Oakland County, Michigan SITE PLAN DOCUMENTS Prepared For The Surnow Company

SHEET INDEX

SP00	Cover Sheet
SP01	ALTA/NSPS Land Title/ Topographic/ Tree Survey
SP02	Demolition Plan
SP03	Site Plan
SP04	Fire Truck Turning Plan
SP05	Paving and Grading Plan
SP05.1	Paving and Grading Plan
SP06	Notes and Details
SP07	Utility Plan
SP08	Soil Erosion Plan
L1	Tree Preservation Plan
L2	Landscaping Plan
T.101	Title Sheet
A.101	First and Second Floor Plans
A.102	Third and Fourth Floor Plans
A.201	Exterior Elevations
A.202	Exterior Elevations
A.203	Exterior Elevations
A.301	Exterior Rendering
A.302	Exterior Rendering
A.303	Exterior Rendering
A.304	Interior Rendering
A.305	Interior Rendering
L.201	Site Photometric Study



LEGAL DESCRIPTION - PER TITLE COMMITMENT

LAND SITUATED IN THE CITY OF LATHRUP VILLAGE, COUNTY OF OAKLAND, STATE OF MICHIGAN, DESCRIBED AS FOLLOWS:

LOT 1677 AND VACATED SOUTHFIELD SQUARE, FORMERLY KNOWN AS MONTEREY STREET LYING EASTERLY OF LOT 1677 AND WESTERLY OF LOTS 1665 TO 1689, EXCEPT THAT PART OF VACATED SOUTHFIELD SQUARE LYING SOUTH OF A LINE DRAWN BETWEEN THE NORTHWEST CORNER OF LOT 1680 AND A POINT 150 FEET FROM THE SOUTHEAST CORNER OF LOT 1677, ALONG THE EASTERLY BOUNDARY OF SAID LOT 1677, LOUISE LATHRUP'S CALIFORNIA BUNGALOW SUBDIVISION NO. 3, AS RECORDED IN LIBER 32 OF PLATS, PAGE 26, OAKLAND COUNTY RECORDS.

TAX ID NUMBER: 24-13-303-021

ADDRESS: 27700 SOUTHFIELD ROAD, LATHRUP VILLAGE, MI 48076

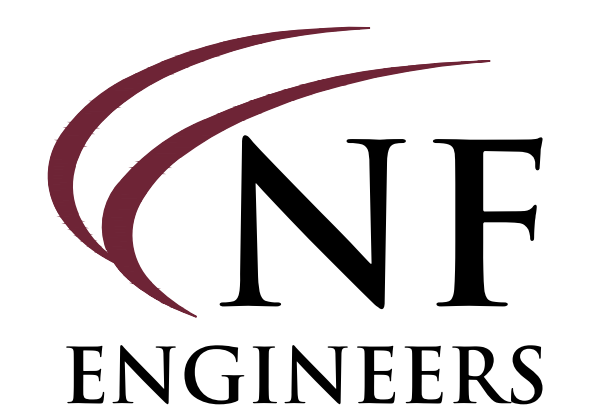
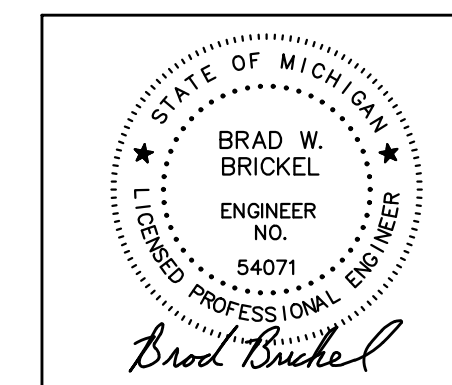
REVISIONS:
10-17-24 ISSUED FOR SITE PLAN REVIEW

Project Name

27700 Southfield Road



N & F JOB #0129



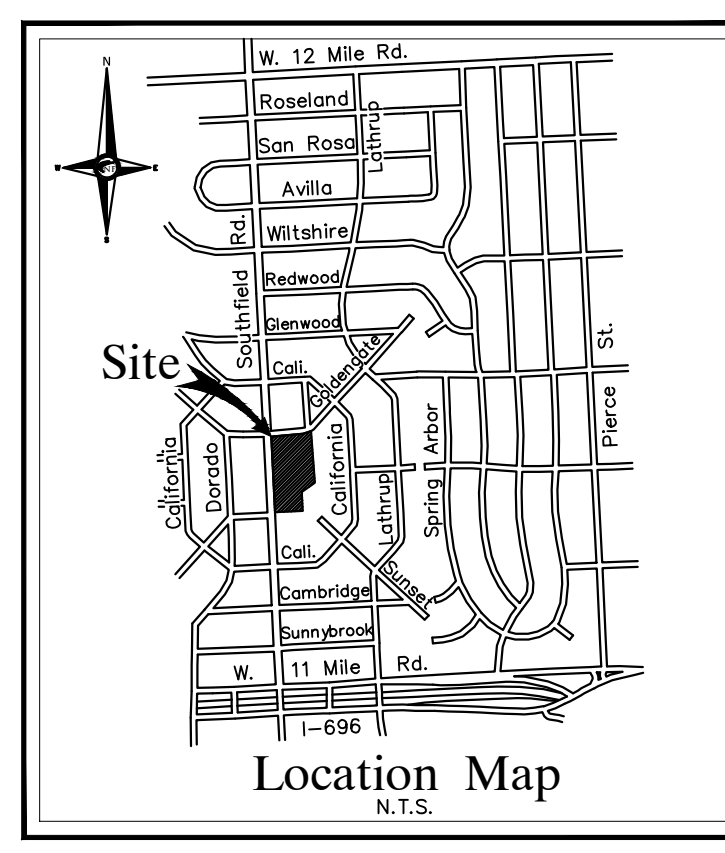
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
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DEMOLITION NOTES

DEMOLITION OF SITE IMPROVEMENTS SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE PUBLIC AGENCY HAVING JURISDICTION OVER SAID DEMOLITION.

FOR ANY DEMOLITION WITHIN PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR, AND SECURE, ALL NECESSARY PERMITS AND LICENSES FOR ALL SITE INSPECTIONS.

SITE DEMOLITION INCLUDES THE COMPLETE REMOVAL OF SITE IMPROVEMENTS AND OFF-SITE DISPOSAL. DEBRIS SHALL BE TRANSPORTED TO AN APPROPRIATE DISPOSAL FACILITY THAT IS LICENSED FOR THAT TYPE OF DEBRIS.

THE CONTRACTOR SHALL COORDINATE TRUCK ROUTES WITH THE MUNICIPALITY PRIOR TO COMMENCEMENT OF SITE DEMOLITION. ALL TRUCKS SHALL BE TARPED OR PROPERLY SECURED TO CONTAIN DEMOLITION DEBRIS PRIOR TO LEAVING SITE.

EXISTING ON-SITE UNDERGROUND UTILITIES AND BUILDING SERVICES HAVE BEEN INDICATED BASED UPON THE BEST AVAILABLE UTILITY RECORDS AND/OR ON-SITE INSPECTION. NO GUARANTEE IS MADE BY THE DESIGN ENGINEER AS TO THE COMPLETENESS OR ACCURACY OF UTILITY DATA. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FIELD VERIFICATION OF UTILITY INFORMATION (THE DESIGN ENGINEER MAKES NO GUARANTEE NOR ASSUMES ANY LIABILITY AS TO THE COMPLETENESS AND/OR ACCURACY OF UTILITY DATA).

PRIOR TO THE REMOVAL OR ABANDONMENT OF ANY EXISTING UNDERGROUND UTILITY OR BUILDING SERVICE LINES CALLED FOR IN THE PLANS OR DISCOVERED DURING EXCAVATION, THE CONTRACTOR MUST DETERMINE IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE. IF THE UTILITY LINE OR BUILDING SERVICE IS STILL IN USE, THE CONTRACTOR MUST TAKE ALL THE NECESSARY STEPS TO GUARANTEE THAT THE UTILITY LINE OR BUILDING SERVICE IS RECONNECTED WITHOUT AN INTERRUPTION IN SERVICE. THE RECONNECTION OF THE UTILITY LINE OR BUILDING SERVICE MUST BE IN ACCORDANCE WITH THE STANDARDS AND REQUIREMENTS OF THE APPROPRIATE GOVERNMENTAL AGENCY OR PRIVATE UTILITY COMPANY.

SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE INSTALLED BY THE CONTRACTOR PRIOR TO SITE DEMOLITION.

* THE CONTRACTOR SHALL NOTIFY MISS DIG (1-800-482-7171) A MINIMUM OF THREE (3) WORKING DAYS PRIOR TO THE START OF THE SITE DEMOLITION.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANY'S ELECTRICAL SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE UTILITY COMPANY. REMOVAL OF THE UTILITY COMPANY'S COMMUNICATION SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE UTILITY COMPANY.

THE CONTRACTOR SHALL COORDINATE THE REMOVAL AND/OR RELOCATION OF EXISTING UTILITY POLES AND BUILDING SERVICES WITH THE APPROPRIATE CABLE MEDIA COMPANY. REMOVAL OF CABLE SERVICES SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND REQUIREMENTS OF THE CABLE COMPANY.

THE CONTRACTOR SHALL BE RESPONSIBLE FOR NOTIFICATION OF PRIVATE UTILITY COMPANIES AND COORDINATE UTILITY SERVICE SHUT OFF/DISCONNECT, PRIOR TO DEMOLITION OF EXISTING STRUCTURES OR PROPERTIES.

ALL UTILITY METERS SHALL BE REMOVED BY THE APPROPRIATE UTILITY COMPANY.

ANY ON-SITE STORM SEWER FACILITIES LOCATED DURING DEMOLITION SHALL BE REMOVED AND BULK HEADED AT THE PROPERTY LINE IF INDICATED FOR REMOVAL ON THE PLANS.

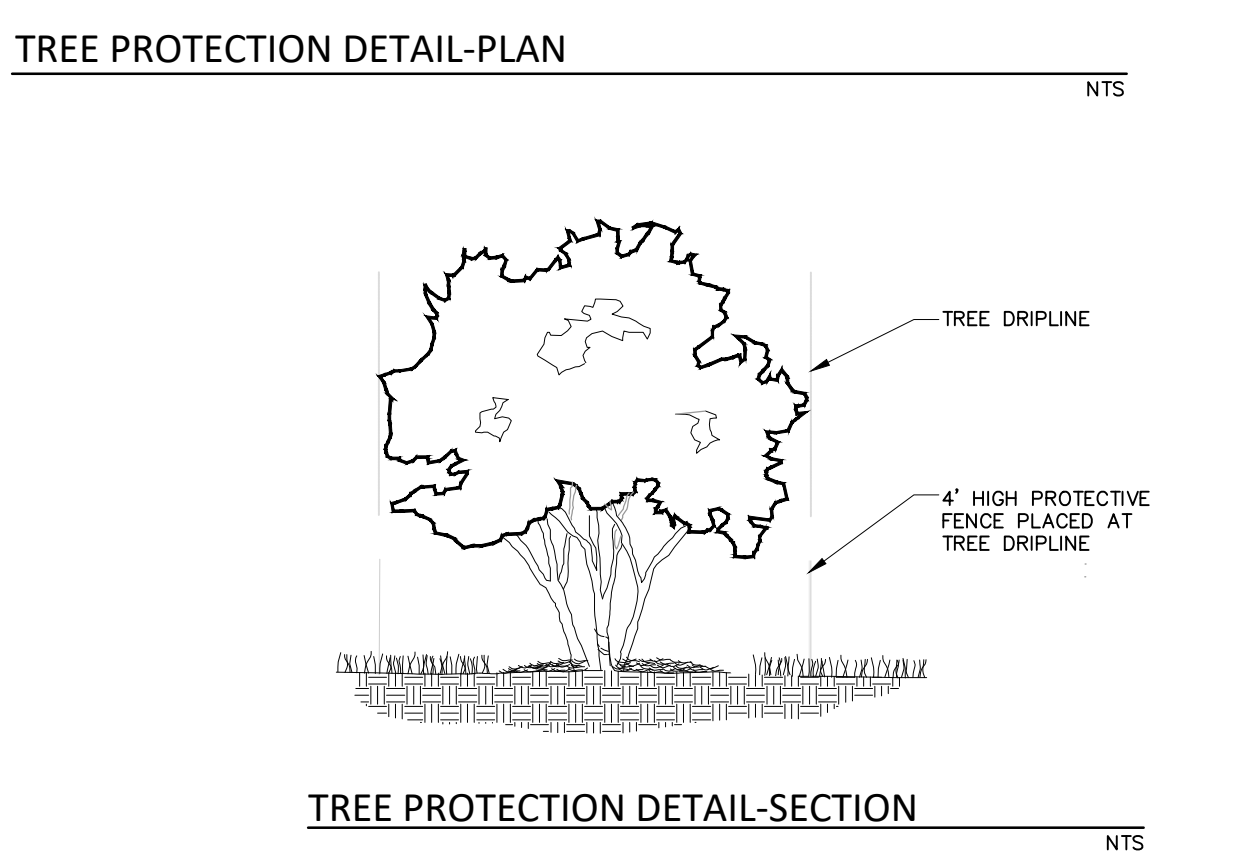
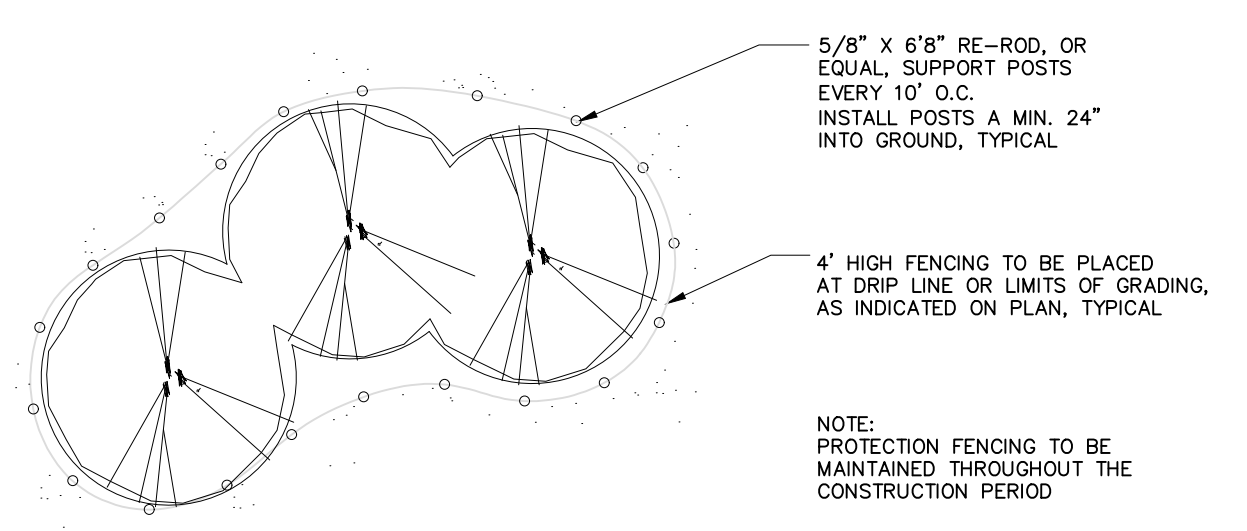
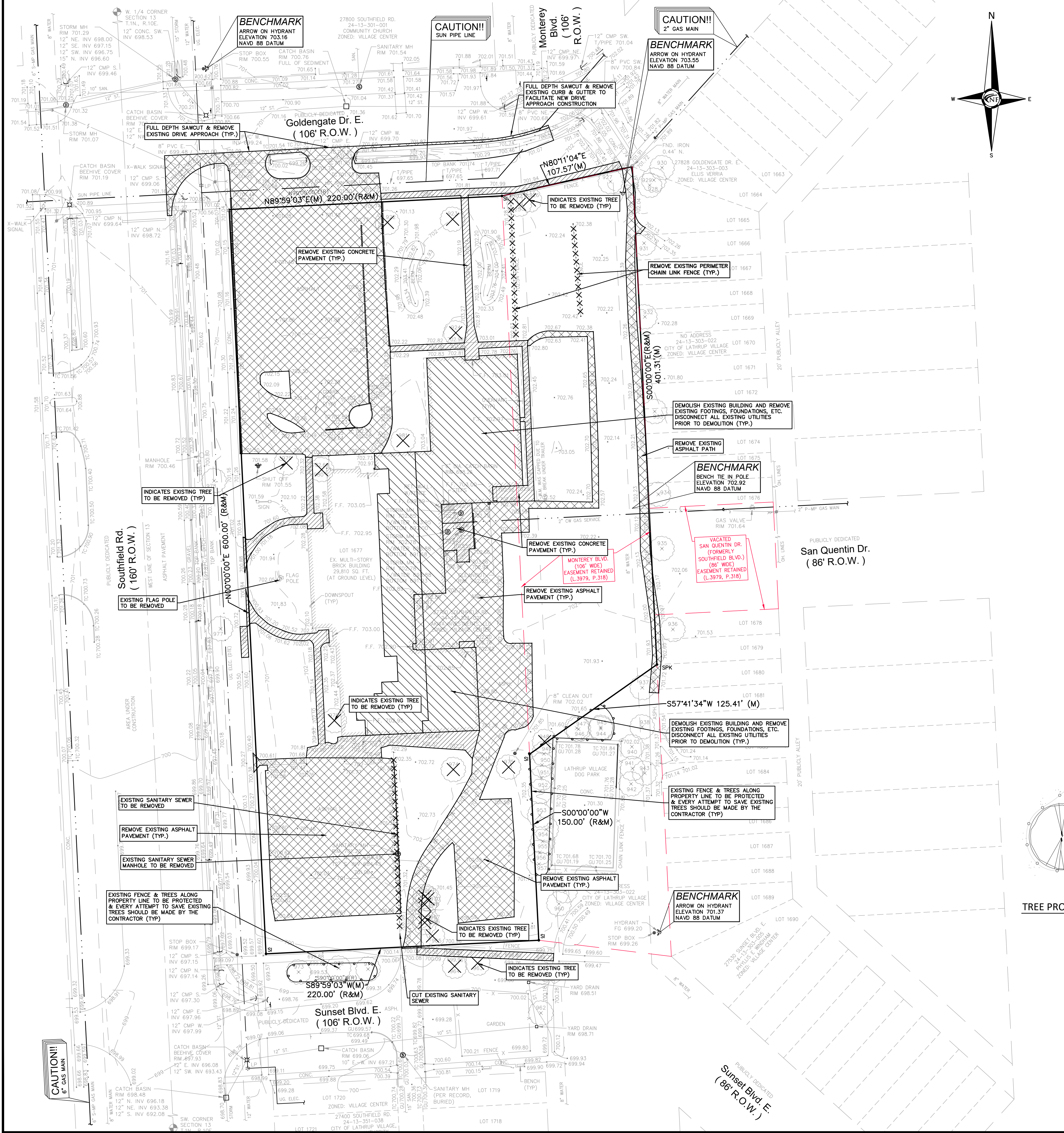
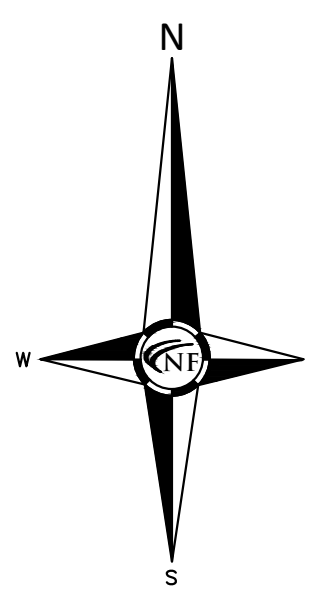
PRIOR TO BUILDING DEMOLITION, ALL HAZARDOUS MATERIAL SHALL BE REMOVED BY OTHERS. THE DEMOLITION CONTRACTOR SHALL IMMEDIATELY NOTIFY THE OWNER SHOULD ANY SUSPICIOUS MATERIAL BE FOUND.

WATER SERVICES AND/OR STOP-BOX SHALL BE PRESERVED AND BULK HEADED AT THE PROPERTY LINE OR AS DIRECTED BY THE OWNER'S REPRESENTATION.

WHERE EXISTING BUILDINGS PLANNED FOR DEMOLITION FALL WITHIN PROPOSED BUILDING FOOT PRINTS, BASEMENT FLOOR SLABS, FOUNDATION WALLS AND FOOTINGS SHALL BE COMPLETELY REMOVED AND BACK FILLED WITH MDOT CLASS II GRANULAR MATERIAL AND BE MACHINE COMPACTED TO A MINIMUM OF 98% OF MATERIALS MAXIMUM DENSITY.

GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE. WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE, SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MINIMALLY WITH A HYDRO.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL, BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.



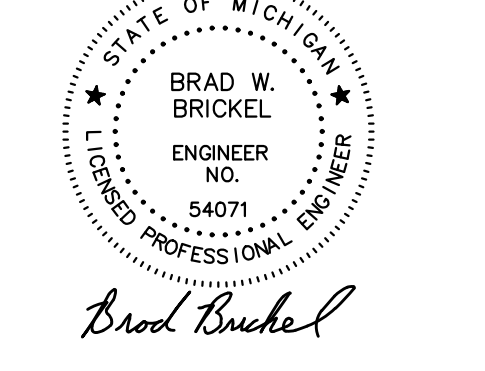
REMOVAL LEGEND

	INDICATES EXISTING BUILDING TO BE DEMOLISHED
	INDICATES AREAS OF ASPHALT PAVEMENT TO BE REMOVED
	INDICATES AREAS OF CONCRETE PAVEMENT/ SIDEWALK TO BE REMOVED

LEGEND

	MANHOLE		EXISTING SANITARY SEWER
	HYDRANT		EXISTING SAN. CLEAN OUT
	MANHOLE CATCH BASIN		EXISTING WATER MAIN
	UTILITY POLE		EXISTING STORM SEWER
	GUY POLE		EX. R. Y. CATCH BASIN
	GUY WIRE		EXISTING BURIED CABLES
			OVERHEAD LINES
			LIGHT POLE
			SIGN
			EXISTING GAS MAIN
			EXISTING UTILITY TO BE REMOVED
			EXISTING UTILITY TO BE ABANDONED
			CONSTRUCTION/TREE PROTECTION FENCING
			INDICATES EXISTING TREE TO BE REMOVED

SEAL



PROJECT
27700 Southfield Road
Lathrup Village, MI 48076

CLIENT
The Surnow Company

Contact: Sam Surnow
Phone: 248.865.3000 x 102
Email: sam@surnow.com

PROJECT LOCATION
Part of the SW 1/4
of Section 13
T.1N., R.10E.,
City of Lathrup Village,
Oakland County, Michigan

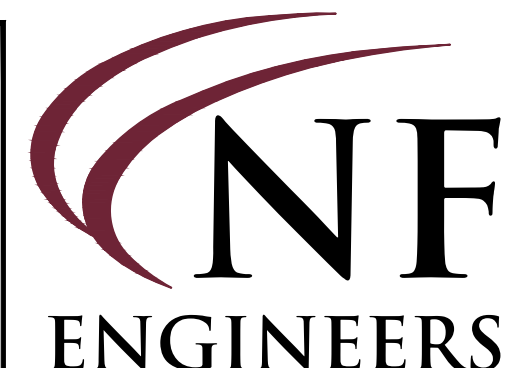
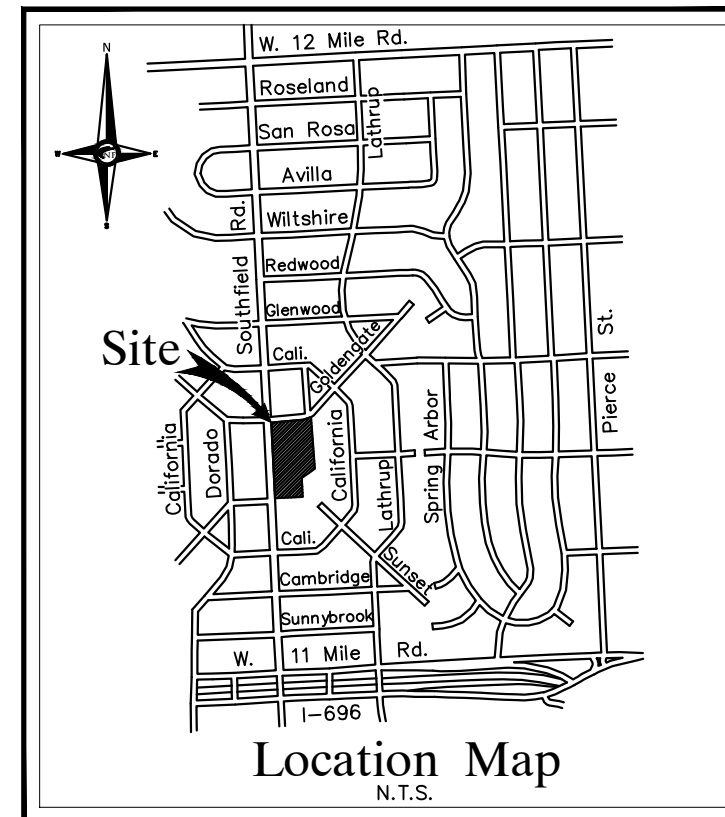
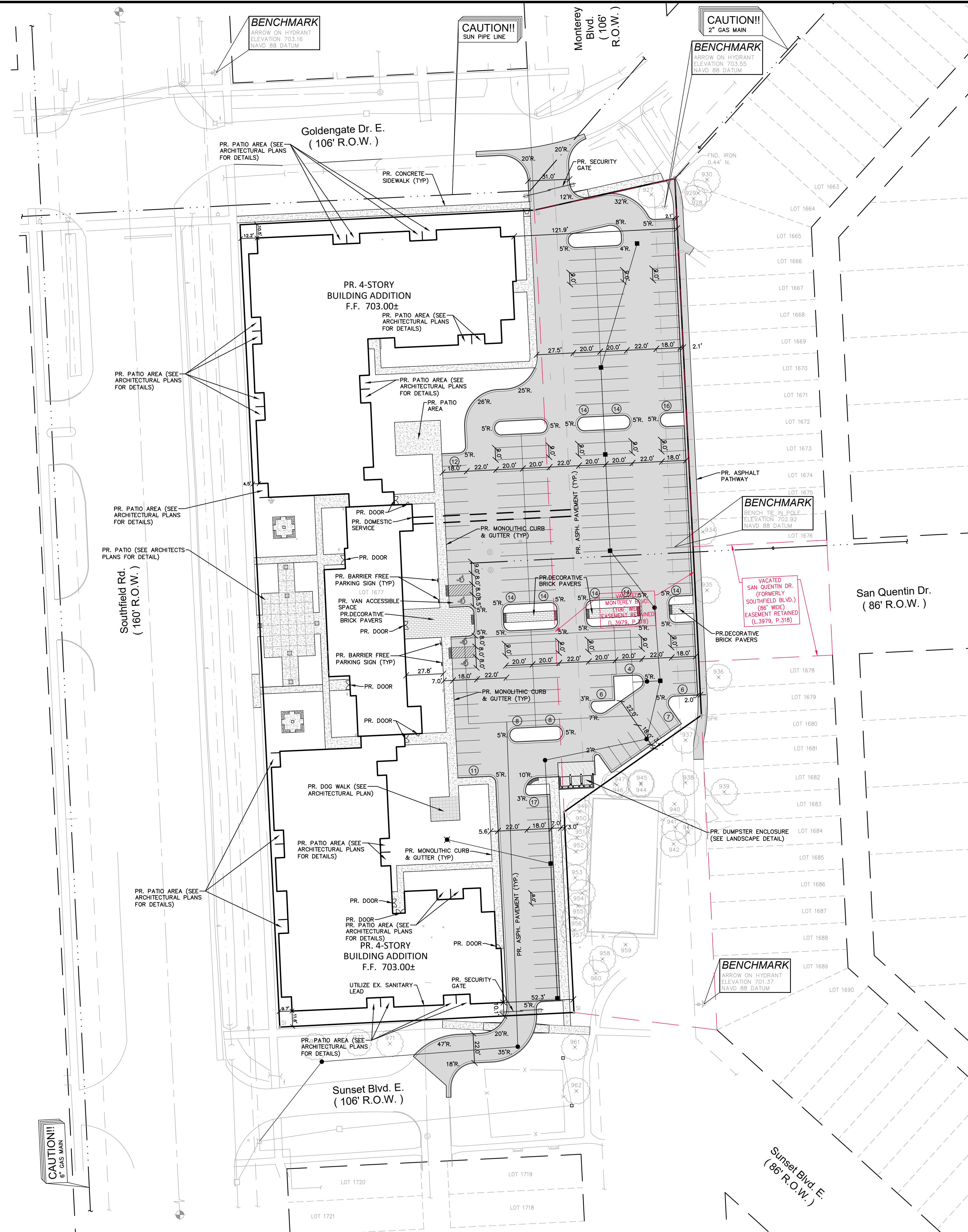
SHEET
Demolition Plan



DATE ISSUED/REVISED
10-17-24 ISSUED FOR SITE PLAN REVIEW

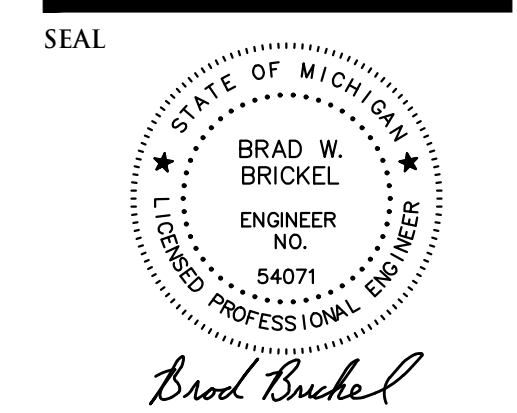
DRAWN BY:
J. Lawrey
DESIGNED BY:
A. Eizember
APPROVED BY:
B. Brickel
DATE:
October 17, 2024

SCALE: 1" = 30'
30 15 0 15 30 45
NFE JOB NO. SHEET NO.
O129 SP02



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

NOWAK & FRAUS ENGINEERS
46777 WOODWARD AVE.
PONTIAC, MI 48342-5032
TEL. (248) 332-7931
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WWW.NOWAKFRAUS.COM



PROJECT
27700 Southfield Road
Lathrup Village, MI 48076

CLIENT
The Surnow Company

Contact: Sam Surnow
Phone: 248.865.3000 x 102
Email: sam@surnow.com

NOTES
REFER TO SHEETS SP05-SP05.1 FOR PAVING & GRADING PLANS
REFER TO SHEETS SP07 FOR PRELIMINARY UTILITY PLANS
REFER TO SHEETS SP08 FOR ADDITIONAL PROJECT NOTES AND DETAILS (TYP.)

NOTE
AN EGE PERMIT IS REQUIRED FOR WETLAND & FLOOD PLAIN IMPACTS.

UTILITY NOTE
CONTRACTOR TO EXPOSE FIBER/ ELECTRIC/ TELEPHONE CONDUIT PRIOR TO COMMENCING CONSTRUCTION. UTILITY OWNER TO BE PRESENT. CONTRACTOR SHALL NOTIFY CIVIL ENGINEER OR RECORD FOLLOWING EXPOSURE TO COORDINATE.

DETENTION NOTE
ON-SITE STORMWATER MANAGEMENT WILL BE PROVIDED TO MEET THE REQUIREMENT OF THE CITY OF LATHRUP VILLAGE ENGINEERING STANDARDS AND OAKLAND COUNTY WATER RESOURCES COMMISSIONER.

PROJECT LOCATION
Part of the SW 1/4
of Section 13
T.1N., R.10E.,
City of Lathrup Village,
Oakland County, Michigan

SHEET
Site Plan



DATE ISSUED/REVISED
10-17-24 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
J. Lawrey

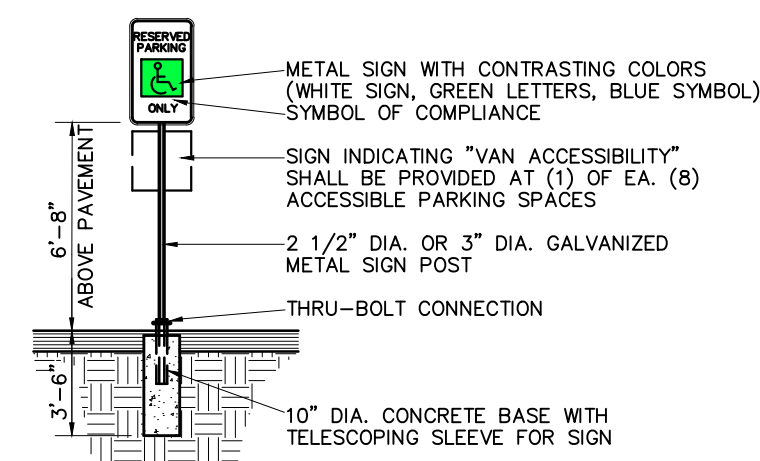
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A. Eizember

APPROVED BY:
B. Brickel

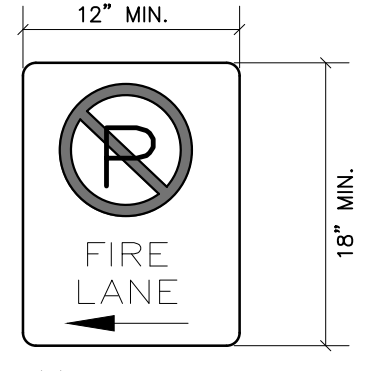
DATE:
October 17, 2024

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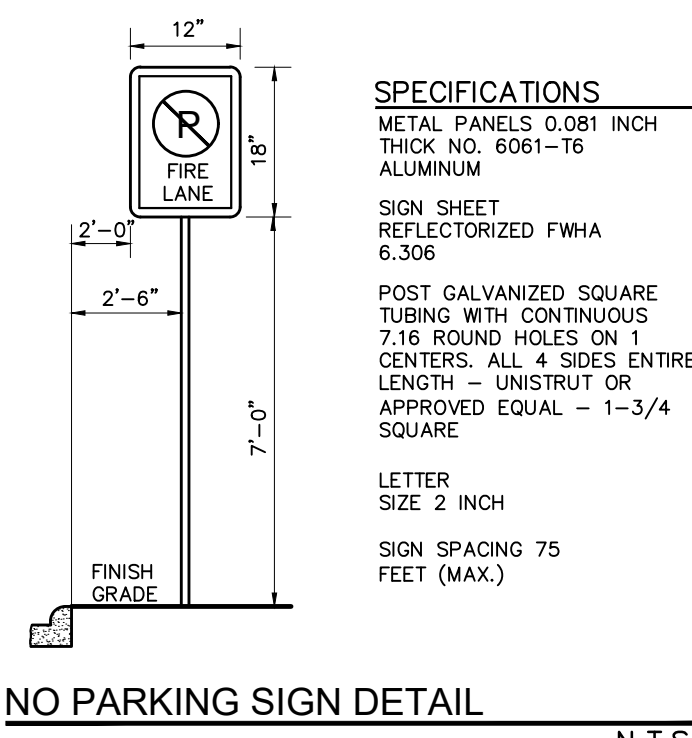
NFE JOB NO. SHEET NO.
O129 SP03



BARRIER FREE PARKING SIGN DETAIL
N.T.S.
Provide (1) for each accessible parking space



FIRE LANE SIGN DETAIL
N.T.S.



NO PARKING SIGN DETAIL
N.T.S.

SITE DATA

SITE AREA	
GROSS/NET:	177,119 SFT. OR 4.066 ACRES
ZONING	
EXISTING:	VILLAGE CENTER DISTRICT
PARKING	
REQUIRED:	1 SPACE/ UNIT 128 x 1.5 =
PROVIDED:	1.5 SPACES/ 128 UNIT 193 SPACES
SITE AREA	
BUILDING FOOTPRINT	177,119.00 SFT. 100.0%
PARKING & DRIVES	56,074.26 SFT. 31.7%
OPEN SPACE	81,025.53 SFT. 45.7%
SETBACK REQUIREMENTS	
FRONT:	0'(WEST) 4.5'(EAST)
REAR:	0'(NORTH) 10.1'(SOUTH) 52.3'(EAST)

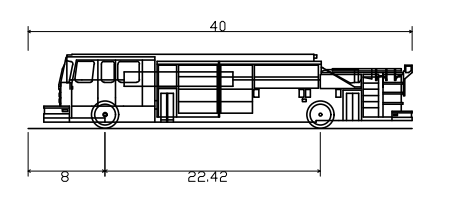
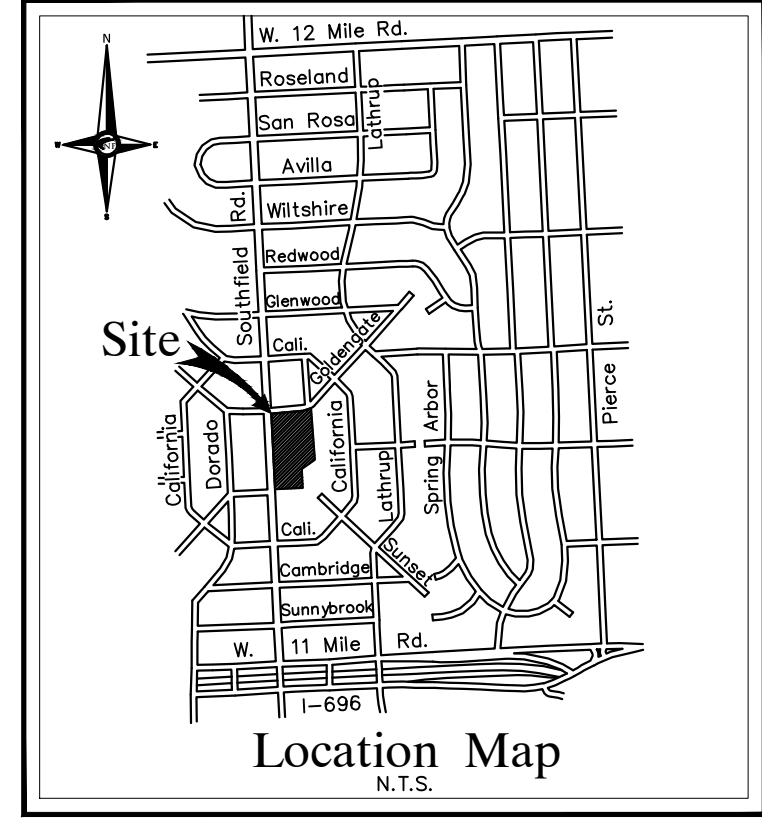
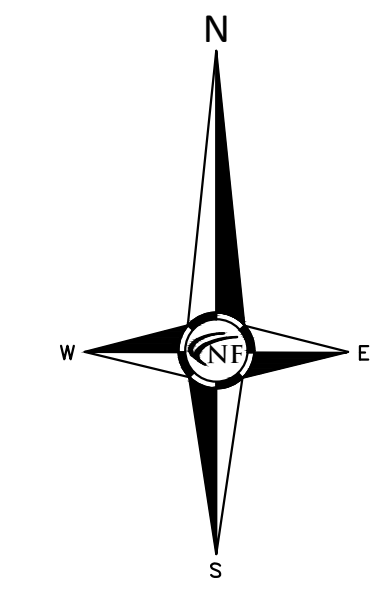
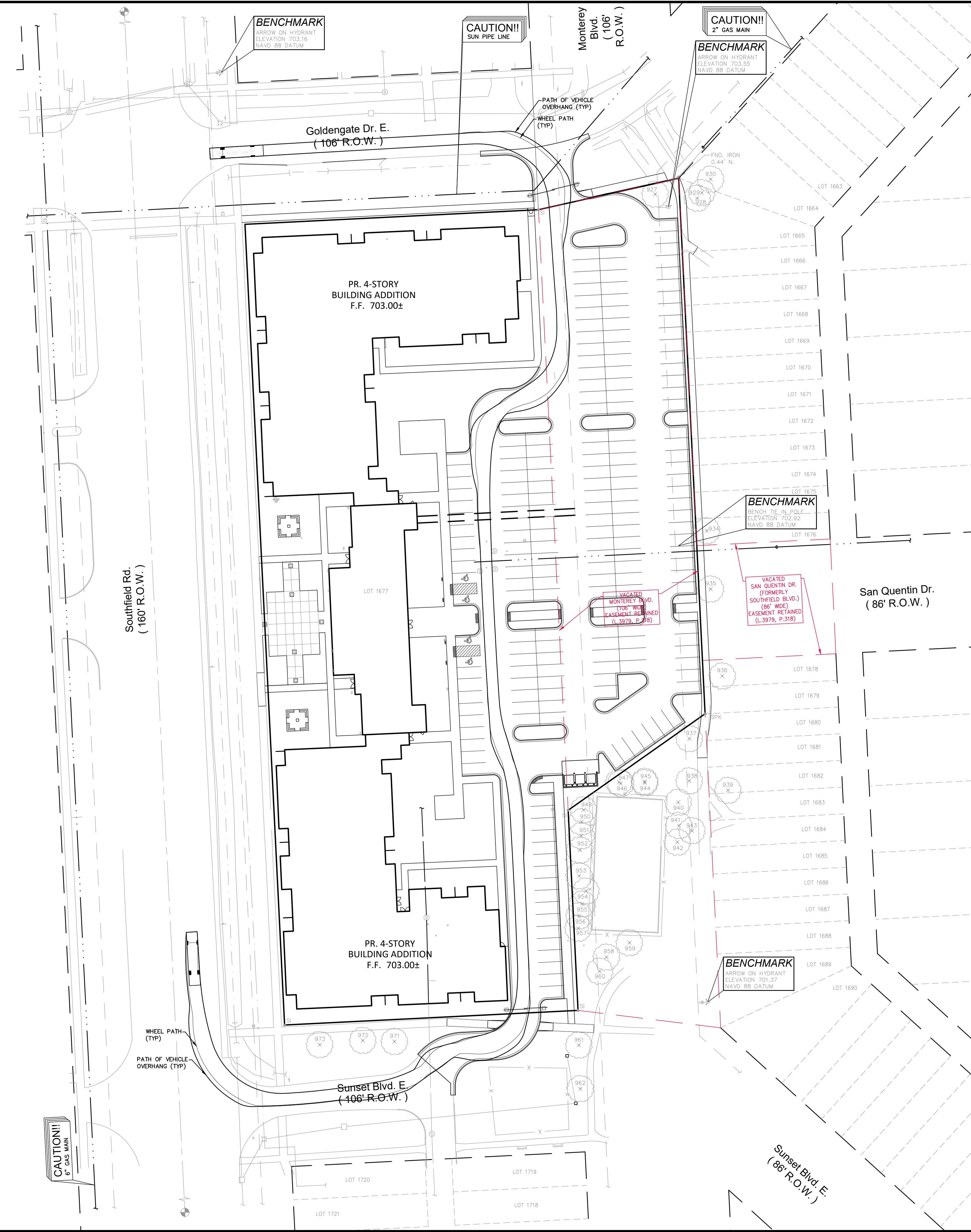
PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	EXISTING SANITARY SEWER		EXISTING SANITARY SEWER
	SAN. CLEAN OUT		EXISTING WATERMAIN
	EXISTING STORM SEWER		EXISTING STORM SEWER
	EX. R. Y. CATCH BASIN		EXISTING BURIED CABLES
	EXISTING OVERHEAD LINES		LIGHT POLE
	EXISTING GAS MAIN		SIGN
	EXISTING PR. SANITARY SEWER		PR. SANITARY SEWER
	EXISTING PR. WATER MAIN		PR. WATER MAIN
	EXISTING PR. STORM SEWER		PR. STORM SEWER
	EXISTING PR. R. Y. CATCH BASIN		PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE		

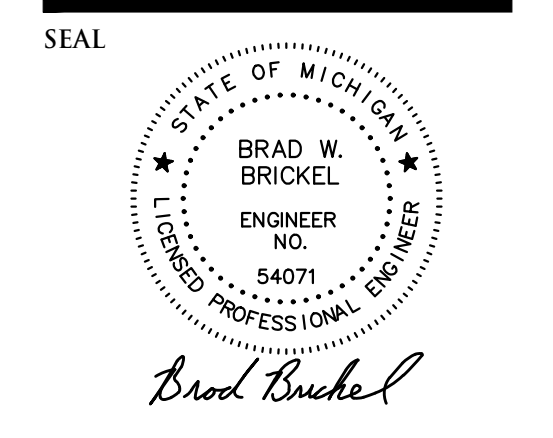
SPECIFICATIONS
METAL PANELS 0.081 INCH THICK NO. 5061-16 ALUMINUM
SIGN SHEET REFLECTORIZED FWHA 6.306
POST GALVANIZED SQUARE TUBING WITH CONTINUOUS 7/16 ROUND HOLES ON 1 CENTERS ALL 4 SIDES ENTIRE LENGTH - UNISTRUT OR APPROVED EQUAL - 1-3/4 SQUARE
LETTER SIZE 2 INCH
SIGN SPACING 75 FEET (MAX.)



Pumper Fire Truck - Lyone Fire
 Overall Length 40.00ft
 Overall Width 8.167ft
 Overall Body Height 7.745ft
 Min Body Ground Clearance 0.656ft
 Track Width 8.167ft
 Lock-to-lock time 5.00s
 Curb to curb Turning Radius 41.580ft

NF ENGINEERS
 CIVIL ENGINEERS
 LAND SURVEYORS
 LAND PLANNERS

NOWAK & FRAUS ENGINEERS
 46777 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257
 WWW.NOWAKFRAUS.COM



PROJECT
 27700 Southfield Road
 Lathrup Village, MI 48076

CLIENT
 The Surnow Company

Contact: Sam Surnow
 Phone: 248.865.3000 x 102
 Email: sam@surnow.com

PROJECT LOCATION
 Part of the SW 1/4
 of Section 13
 T.1N., R.10E.,
 City of Lathrup Village,
 Oakland County, Michigan

SHEET
 Fire Truck Turning Plan

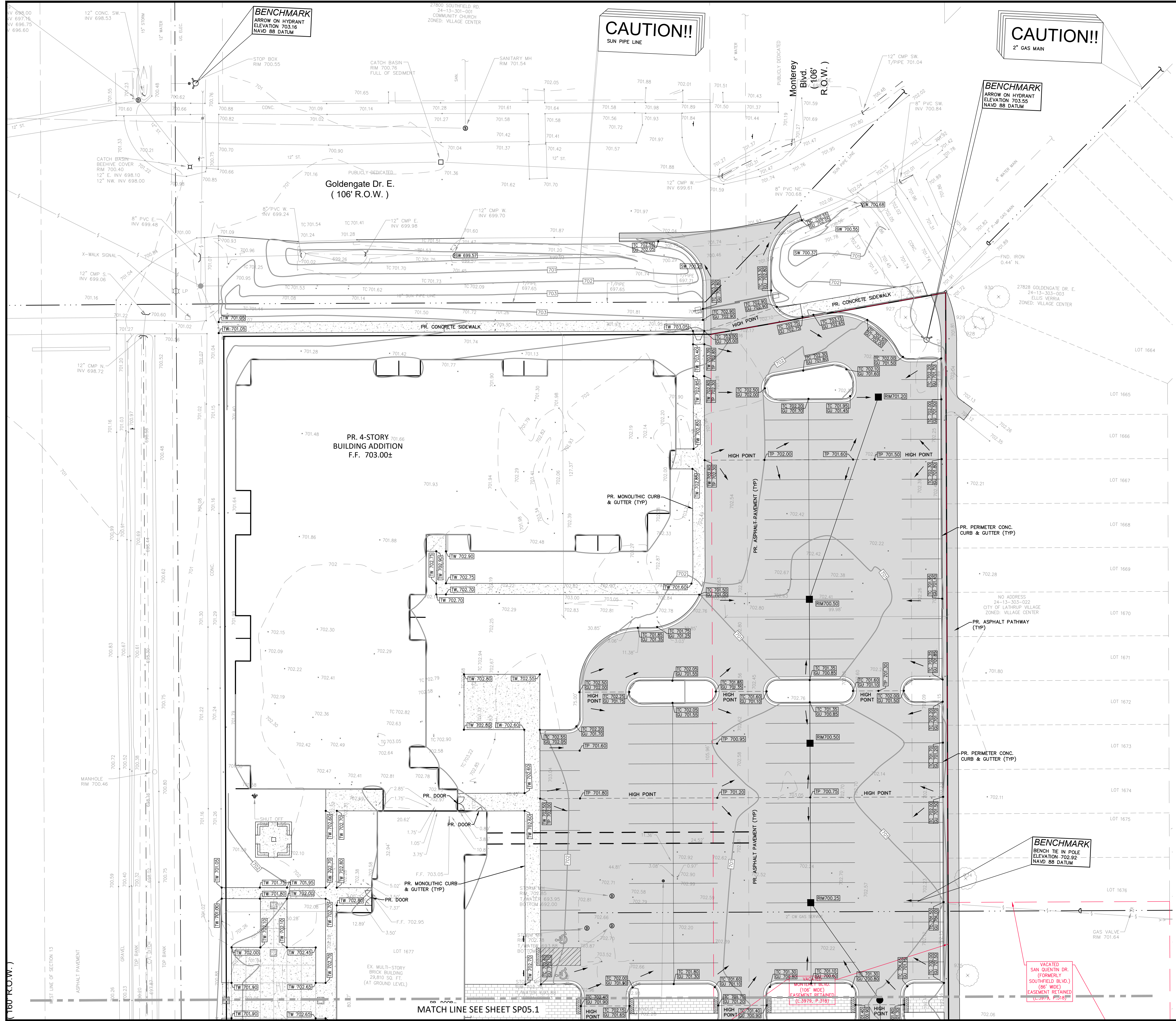


DATE ISSUED/REVISED
 10-17-24 ISSUED FOR SITE PLAN REVIEW

NOTES
 REFER TO SHEETS SP05-SP05.1 FOR PAVING & GRADING PLANS
 REFER TO SHEETS SP07 FOR PRELIMINARY UTILITY PLANS
 REFER TO SHEETS SP08 FOR ADDITIONAL PROJECT NOTES AND DETAILS (TYP)

LEGEND	
MANHOLE	EXISTING SANITARY SEWER
HYDRANT	SAN. CLEAN OUT
MANHOLE CATCH BASIN	EXISTING WATERMAIN
UTILITY POLE	EXISTING STORM SEWER
GUY POLE	EX. R. Y. CATCH BASIN
GUY WIRE	EXISTING BURIED CABLES
	OVERHEAD LINES
	LIGHT POLE
	SIGN
	EXISTING GAS MAIN
C.O. MANHOLE	PR. SANITARY SEWER
HYDRANT	GATE VALVE
INLET	PR. WATER MAIN
C.B. MANHOLE	PR. STORM SEWER
	PR. R. Y. CATCH BASIN
	PROPOSED LIGHT POLE

DRAWN BY:
 J. Lawrey
 DESIGNED BY:
 A. Eizember
 APPROVED BY:
 B. Brickel
 DATE:
 October 17, 2024
 SCALE: 1" = 40'
 NFE JOB NO. SHEET NO.
 O129 SP04



CAUTION!!
SUN PIPE LINE

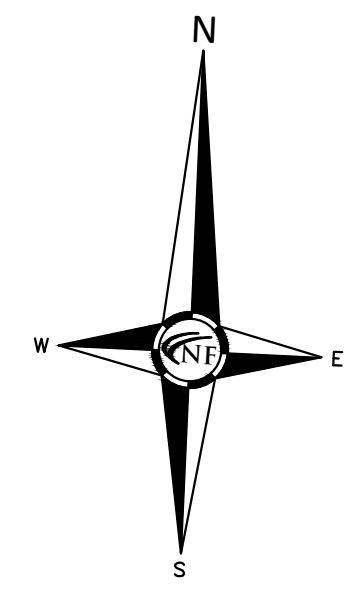
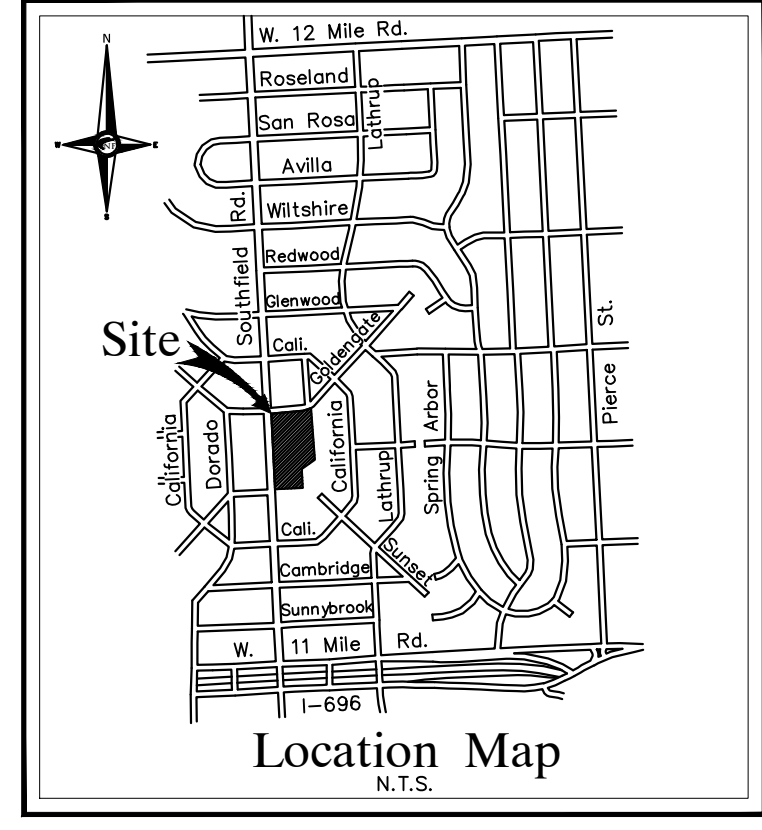
CAUTION!!
2" GAS MAIN

BENCHMARK
ARROW ON HYDRANT
ELEVATION 703.16
NAVD 88 DATUM

BENCHMARK
ARROW ON HYDRANT
ELEVATION 703.55
NAVD 88 DATUM

BENCHMARK
BENCH TIE IN POLE
ELEVATION 702.92
NAVD 88 DATUM

VACATED
SAN QUENTIN DR.
(FORMERLY
SOUTHFIELD BLVD.)
8' WIDE
EASEMENT RETAINED
(C-5993, P.516)



NF ENGINEERS
CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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WWW.NOWAKFRAUS.COM

SEAL

BRAD W. BRICKEL
ENGINEER
NO. 54071
Professional Seal

PROJECT
27700 Southfield Road
Lathrup Village, MI 48076

CLIENT
The Surnow Company

Contact: Sam Surnow
Phone: 248.865.3000 x 102
Email: sam@surnow.com

PROJECT LOCATION
Part of the SW 1/4
of Section 13
T.1N., R.10E.,
City of Lathrup Village,
Oakland County, Michigan

SHEET
Paving and Grading Plan

NOTES
REFER TO SHEETS SP05-SP05.1 FOR PAVING & GRADING PLANS
REFER TO SHEETS SP07 FOR PRELIMINARY UTILITY PLANS
REFER TO SHEETS SP06 FOR ADDITIONAL PROJECT NOTES AND DETAILS (TYP)

NOTE
AN EGLE PERMIT IS REQUIRED FOR WETLAND & FLOOD PLAIN IMPACTS.

PAVING LEGEND

	PROPOSED CONCRETE PAVEMENT
	PROPOSED ASPHALT PAVEMENT

LEGEND

	MANHOLE	EXISTING SANITARY SEWER
	HYDRANT	SAN. CLEAN OUT
	MANHOLE CATCH BASIN	EXISTING WATERMAIN
	UTILITY POLE	EXISTING STORM SEWER
	GUY POLE	EX. R. Y. CATCH BASIN
	LIGHT POLE	EXISTING BURIED CABLES
	SIGN	OVERHEAD LINES
	EXISTING GAS MAIN	
	PR. SANITARY SEWER	
	PR. WATER MAIN	
	PR. STORM SEWER	
	PR. R. Y. CATCH BASIN	
	PROPOSED LIGHT POLE	
	PR. TOP OF CURB ELEVATION	
	PR. GUTTER ELEVATION	
	PR. TOP OF WALK ELEVATION	
	PR. TOP OF P.V.M.T. ELEVATION	
	FINISH GRADE ELEVATION	

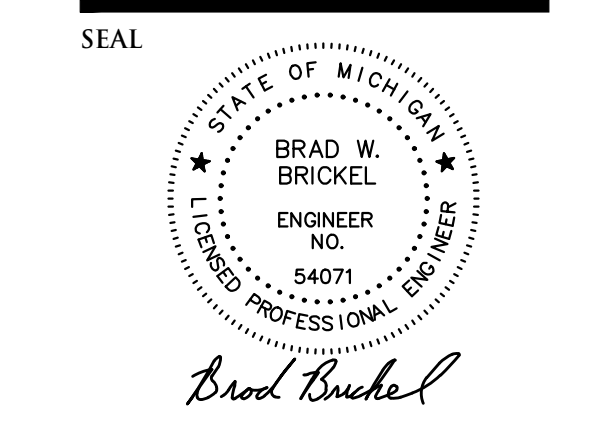
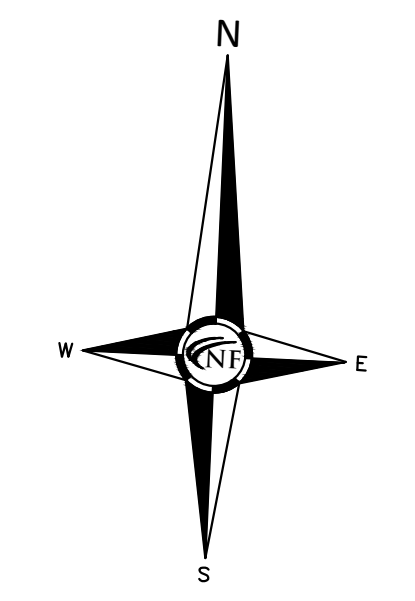
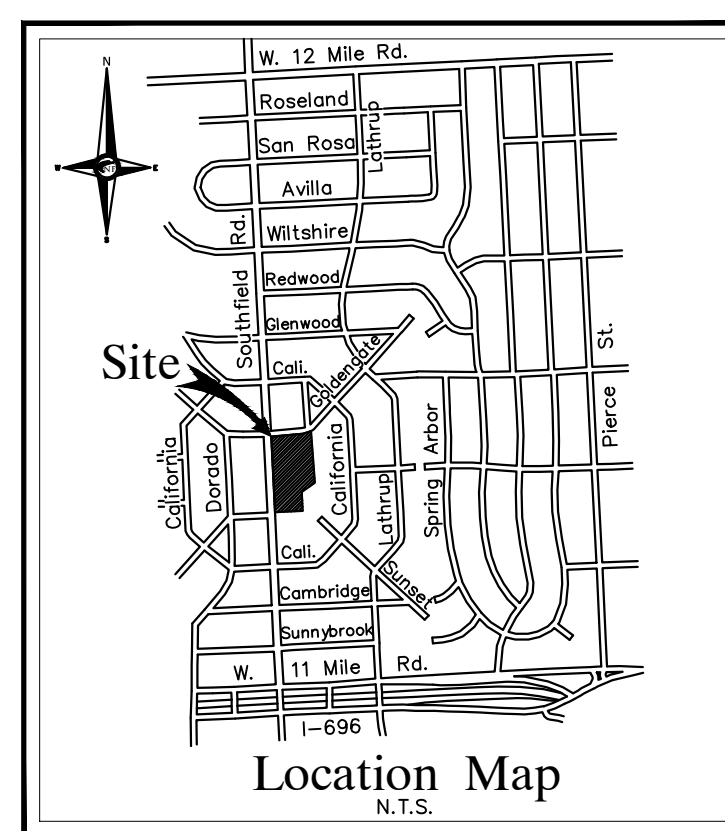
DATE ISSUED/REVISED
10-17-24 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
J. Lawrey
DESIGNED BY:
A. Eizember
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B. Brickel
DATE:
October 17, 2024
SCALE: 1" = 20'
NFE JOB NO. SHEET NO.
O129 SP05



CIVIL ENGINEERS
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CLIENT
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Contact: Sam Surnow
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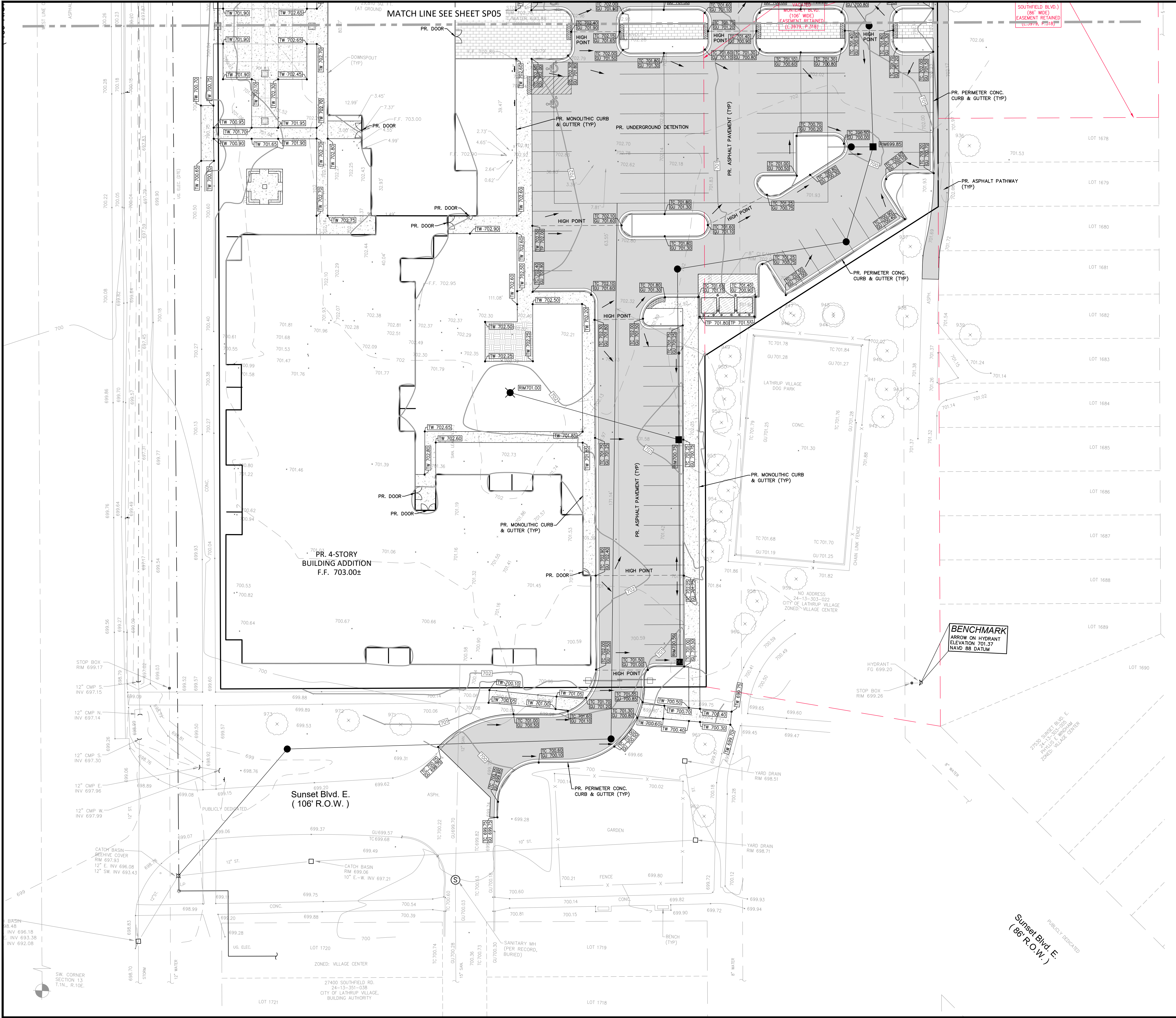
PROJECT LOCATION
Part of the SW 1/4
of Section 13
T.1N., R.10E.,
City of Lathrup Village,
Oakland County, Michigan

SHEET
Paving and Grading Plan



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O129 SP05.1



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NOTE
AN EGE PERMIT IS REQUIRED FOR WETLAND & FLOOD PLAIN IMPACTS.

PAVING LEGEND table with symbols for proposed concrete and asphalt pavement.

LEGEND table with symbols for manholes, hydrants, catch basins, utility poles, and various utility lines.

GENERAL PAVING NOTES

PAVEMENT SHALL BE OF THE TYPE, THICKNESS AND CROSS SECTION AS INDICATED ON THE PLANS AND AS FOLLOWS:

CONCRETE: PORTLAND CEMENT TYPE IA (AIR-ENTRAINED) WITH A MINIMUM CEMENT CONTENT OF SIX SACKS PER CUBIC YARD, MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 3,500 PSI AND A SLUMP OF 1 1/2 TO 3 INCHES.

ASPHALT: BASE COURSE - MDOT BITUMINOUS MIXTURE HMA, 4E ML; SURFACE COURSE - MDOT BITUMINOUS MIXTURE HMA, 5E ML; BOND COAT - MDOT SS-1H EMULSION AT 0.10 GALLON PER SQUARE YARD;

PAVEMENT BASE SHALL BE COMPACTED TO 95% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT. EXISTING SUB-BASE SHALL BE PROOF-ROLLED IN THE PRESENCE OF THE ENGINEER TO DETERMINE STABILITY.

ALL CONCRETE PAVEMENT, DRIVEWAYS, CURB & GUTTER, ETC., SHALL BE SPRAY CURED WITH WHITE MEMBRANE CURING COMPOUND IMMEDIATELY FOLLOWING FINISHING OPERATION.

ALL CONCRETE PAVEMENT JOINTS SHALL BE FILLED WITH HOT POURED RUBBERIZED ASPHALT JOINT SEALING COMPOUND IMMEDIATELY AFTER SAWCUT OPERATION. FEDERAL SPECIFICATION SS-5184.

ALL WORKMANSHIP AND MATERIALS SHALL BE IN ACCORDANCE WITH THE CURRENT STANDARDS AND SPECIFICATIONS OF THE MUNICIPALITY AND THE MICHIGAN DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR CONSTRUCTION, CURRENT EDITION.

ALL TOP OF CURB ELEVATIONS, AS SHOWN ON THE PLANS, ARE CALCULATED FOR A 6" CONCRETE CURB UNLESS OTHERWISE NOTED.

ALL SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1993, SHALL BE INSTALLED AS INDICATED ON THE PLANS.

CONSTRUCTION OF A NEW OR RECONSTRUCTED DRIVE APPROACH CONNECTING TO AN EXISTING STATE OR COUNTY ROADWAY SHALL BE ALLOWED ONLY AFTER AN APPROVED PERMIT HAS BEEN SECURED FROM THE AGENCY HAVING JURISDICTION OVER SAID ROADWAY.

FOR ANY WORK WITHIN THE PUBLIC RIGHT-OF-WAY, THE CONTRACTOR SHALL PAY FOR AND SECURE ALL NECESSARY PERMITS AND LIKEWISE ARRANGE FOR ALL INSPECTION.

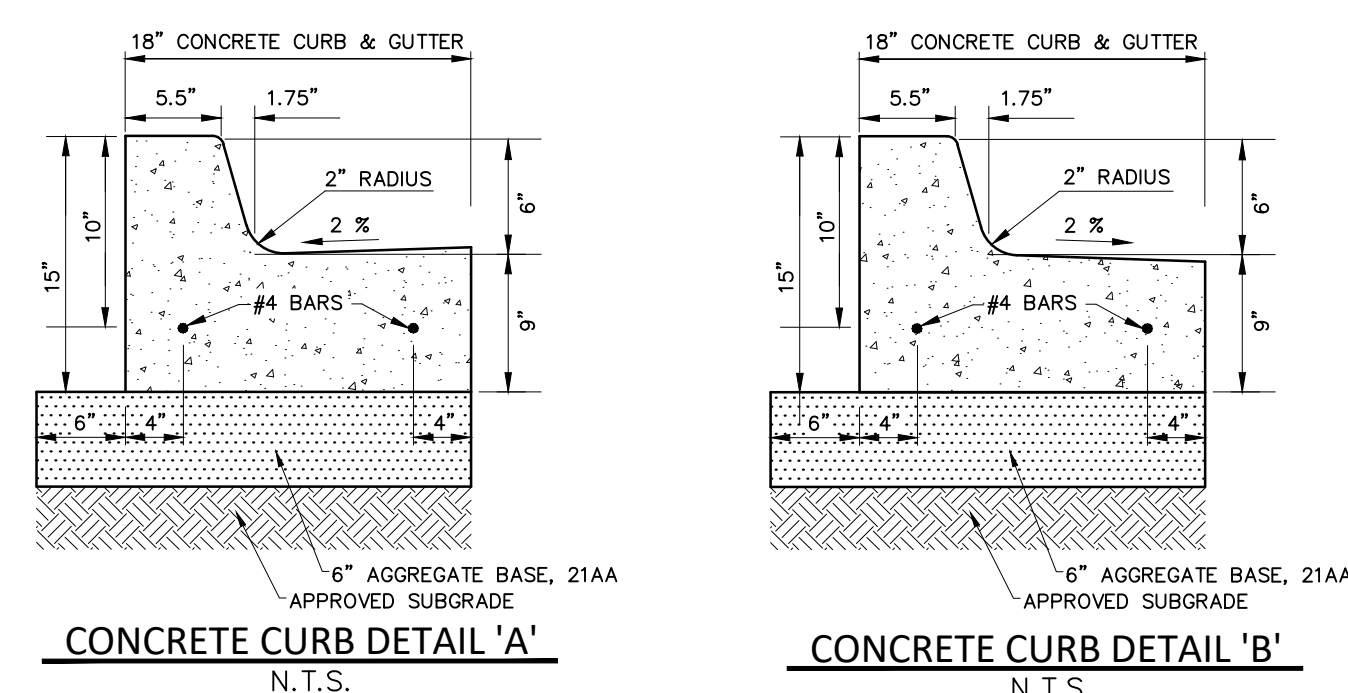
EXISTING TOPSOIL, VEGETATION AND ORGANIC MATERIALS SHALL BE STRIPPED AND REMOVED FROM PROPOSED PAVEMENT AREA PRIOR TO PLACEMENT OF BASE MATERIALS.

EXPANSION JOINTS SHOULD BE INSTALLED AT THE END OF ALL INTERSECTION RADII.

SIDEWALK RAMPS, CONFORMING TO PUBLIC ACT NO. 8, 1973, SHALL BE INSTALLED AS SHOWN AT ALL STREET INTERSECTIONS AND AT ALL BARRIER FREE PARKING AREAS AS INDICATED ON THE PLANS.

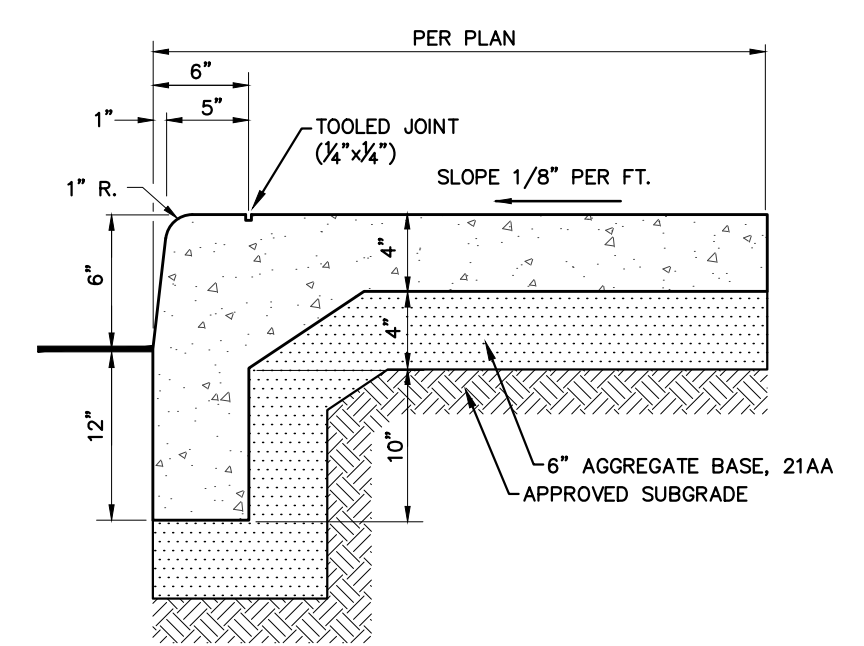
ALL PAVEMENT AREAS SHALL BE PROOF-ROLLED UNDER THE SUPERVISION OF A GEOTECHNICAL ENGINEER PRIOR TO THE PLACEMENT OF BASE MATERIALS AND PAVING MATERIALS.

FILL AREAS SHALL BE MACHINE COMPACTED IN UNIFORM LIFTS NOT EXCEEDING 9 INCHES THICK TO 98% OF THE MAXIMUM DENSITY (MODIFIED PROCTOR) PRIOR TO PLACEMENT OF PROPOSED PAVEMENT.

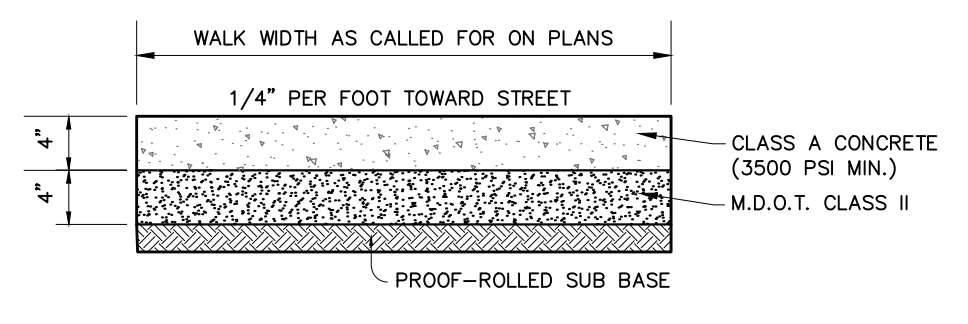


CONCRETE CURB DETAIL 'A' N.T.S.

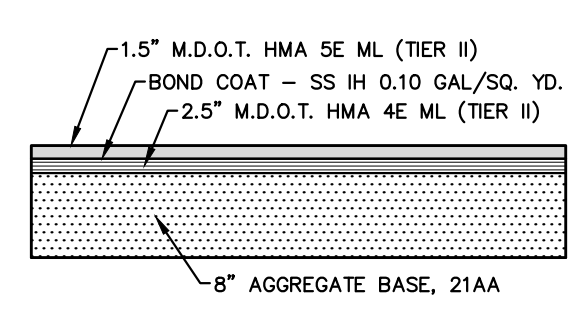
CONCRETE CURB DETAIL 'B' N.T.S.



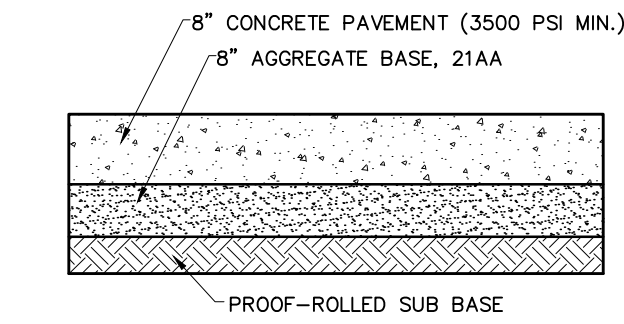
6" MONOLITHIC CURB AND WALK N.T.S.



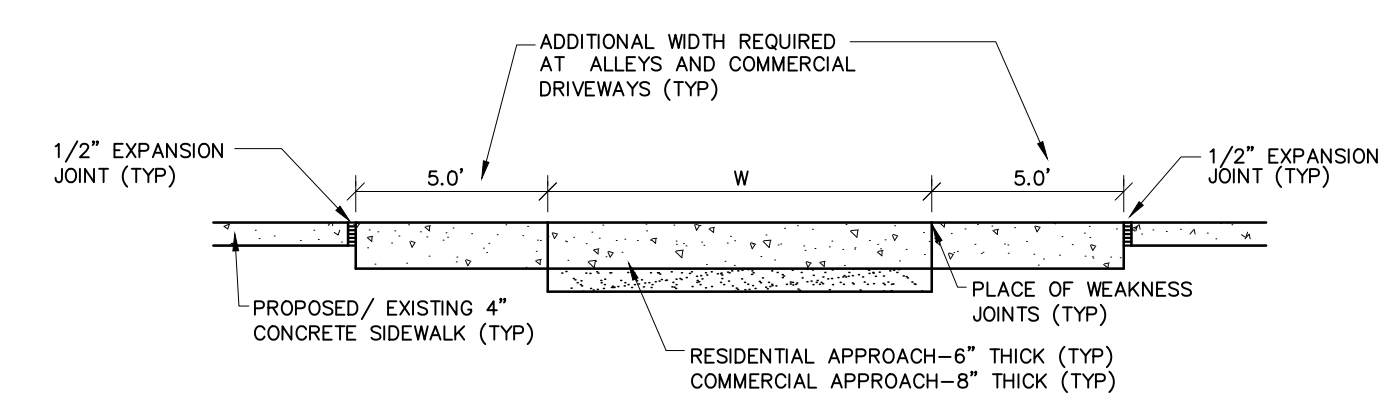
CONCRETE SIDEWALK SECTION N.T.S.



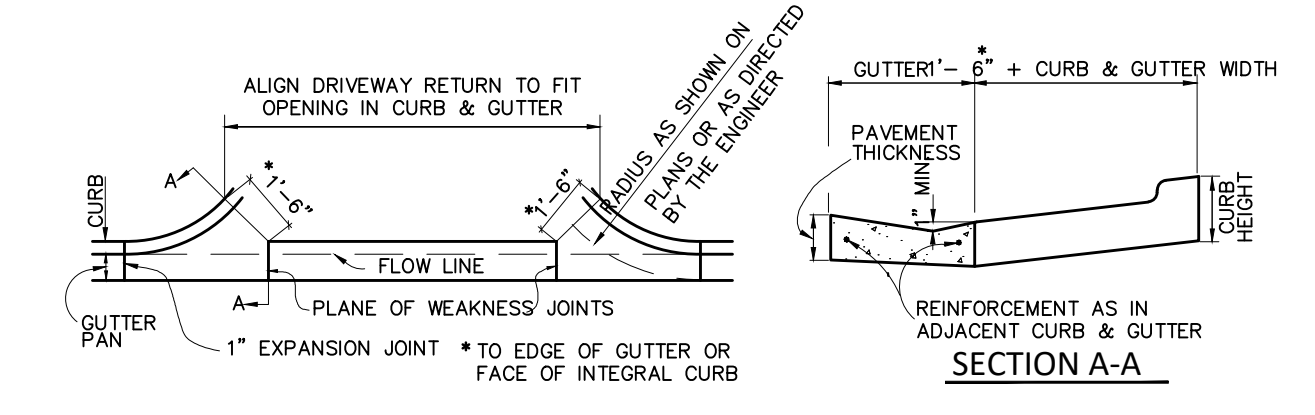
ASPHALT PAVEMENT SECTION N.T.S.



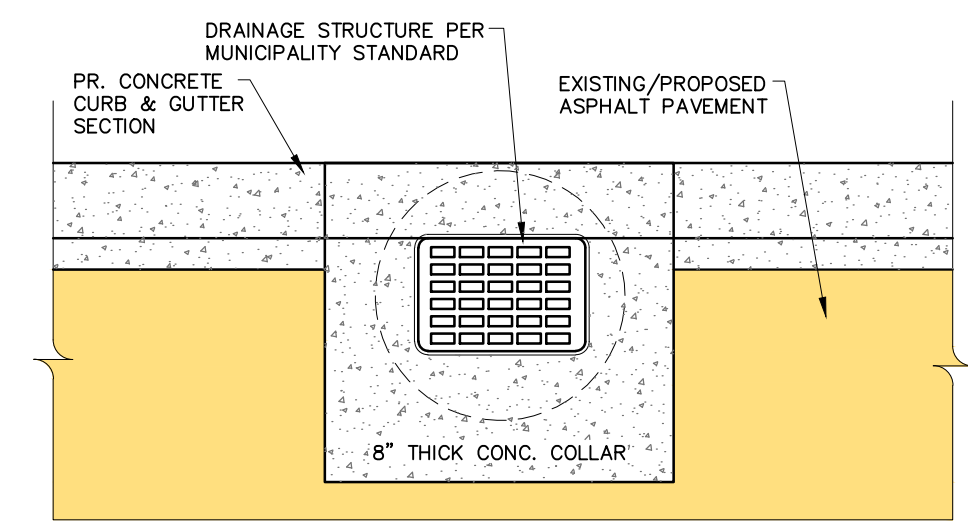
CONCRETE PAVEMENT SECTION N.T.S.



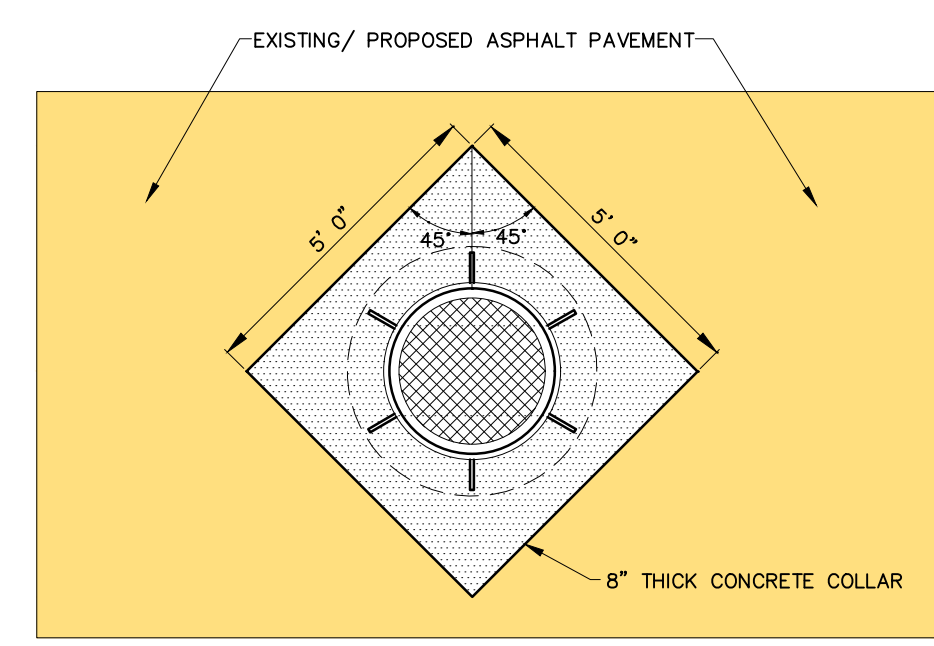
COMMERCIAL CONCRETE SIDEWALK DETAIL N.T.S.



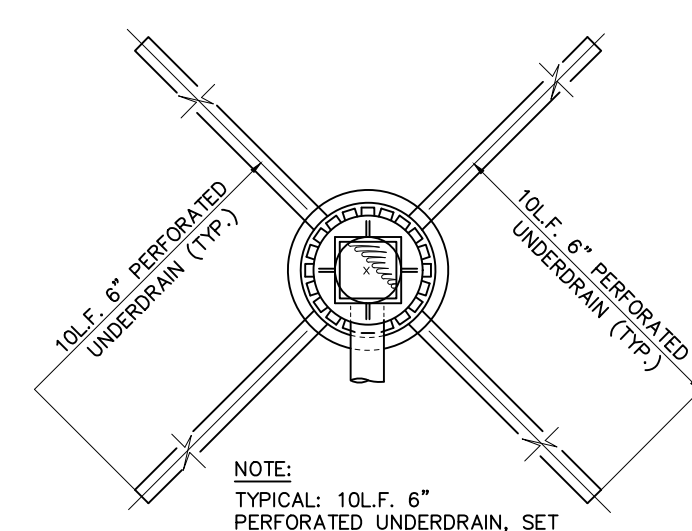
MDOT DRIVEWAY OPENING DETAIL 'M' N.T.S.



DRAINAGE STRUCTURE BOXOUT DETAIL I N.T.S.



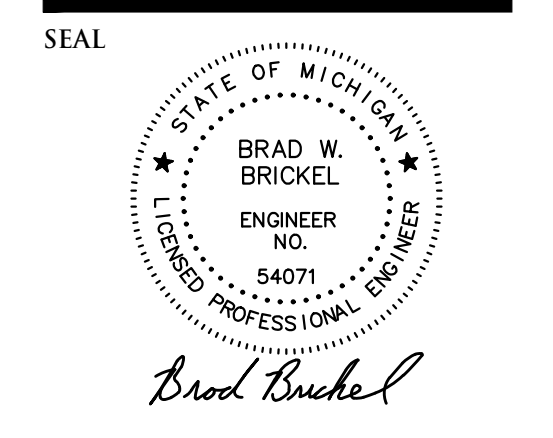
DRAINAGE STRUCTURE BOXOUT DETAIL II N.T.S.



UNDERDRAIN DETAIL N.T.S.



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PROJECT
27700 Southfield Road
Lathrup Village, MI 48076

CLIENT
The Surnow Company

Contact: Sam Surnow
Phone: 248.865.3000 x 102
Email: sam@surnow.com

PROJECT LOCATION
Part of the SW 1/4
of Section 13
T.1N., R.10E.,
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Oakland County, Michigan

SHEET
Notes and Details



DATE ISSUED/REVISED
10-17-24 ISSUED FOR SITE PLAN REVIEW

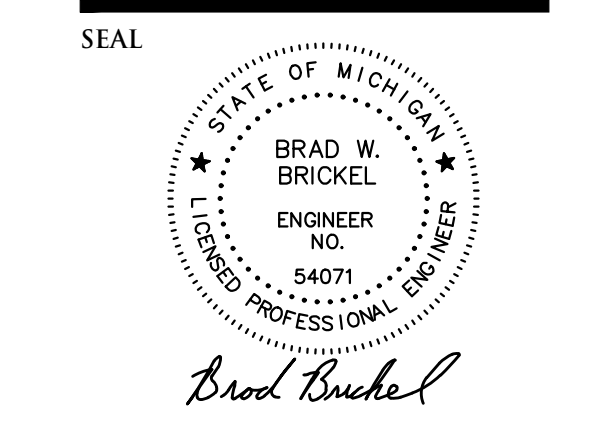
DRAWN BY:
J. Lawrey
DESIGNED BY:
A. Eizember
APPROVED BY:
B. Brickel
DATE:
October 17, 2024
SCALE: N.T.S.

NFE JOB NO. SHEET NO.
O129 SP06



CIVIL ENGINEERS
LAND SURVEYORS
LAND PLANNERS

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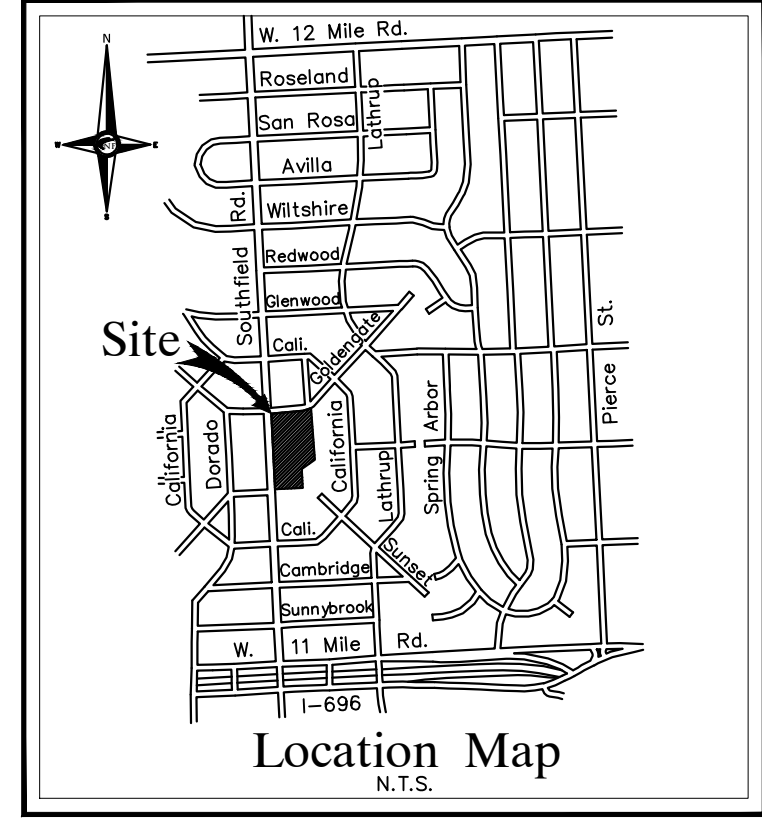
SHEET
Soil Erosion Plan



DATE ISSUED/REVISED
10-17-24 ISSUED FOR SITE PLAN REVIEW

Table with 2 columns: DATE, ISSUED/REVISED

DRAWN BY:
J. Lawrey
DESIGNED BY:
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B. Brickel
DATE:
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NFE JOB NO. SHEET NO.
O129 SP08



SOIL EROSION CONTROL - SEQUENCE OF OPERATION (NEW CONSTRUCTION)

- INSTALL CRUSHED CONCRETE ACCESS DRIVE AND TEMPORARY CULVERTS AT THE SITE ENTRANCE AS INDICATED ON THE PLANS.
- INSTALL SILT FENCE OR SIMILAR APPROVED SILT BARRIER ALONG PROPERTY LINES AND AROUND SENSITIVE NATURAL FEATURES AS INDICATED ON THE PLANS.
- EXCAVATE A SHALLOW SWALE/DITCH AROUND PERIMETER OF SITE. GRADE THE TEMPORARY SWALE TO AN EXISTING DRAINAGE FACILITY. PLACE OUTLET FILTER IN EXISTING UPSTREAM STORM SEWER FACILITIES.
- IF INDICATED ON CONSTRUCTION PLANS, SEDIMENTATION BASINS, DETENTION POND, ETC., SHALL BE CONSTRUCTED PRIOR TO THE INSTALLATION OF ANY OTHER WORK.
- STRIP EXISTING TOPSOIL, VEGETATION AND ORGANIC MATTER FROM BUILDING PAD AND PARKING AREAS. COMMENCE LAND BALANCE AND MASS GRADING OPERATIONS. MAINTAIN A MINIMUM BUFFER OF 15' OF EXISTING VEGETATION WHEREVER POSSIBLE AROUND SITE PERIMETER. STOCK PILES SHOULD BE LOCATED AWAY FROM EXISTING DRAINAGE FACILITIES.
- EXCAVATE AND INSTALL UNDERGROUND UTILITIES. INSTALL PEASTONE INLET FILTERS AROUND ALL NEW STORM SEWER FACILITIES AS INDICATED ON THE PLANS. EXISTING AND PROPOSED STORM SEWER FACILITIES SHALL BE PROTECTED FROM EROSION AND SEDIMENT INFILTRATION AT ALL TIMES.
- COMMENCE FINAL GRADING AND TRIMMING OPERATIONS. PREPARE SUBGRADE FOR INSTALLATION OF PROPOSED PAVEMENT.
- SEED AND MULCH ALL DISTURBED SITE AREAS AND INSTALLED SITE LANDSCAPING.
- REMOVE CONSTRUCTION DEBRIS AND JET VAC NEWLY INSTALLED STORM SEWER SYSTEM AS REQUIRED BY THE MUNICIPALITY.
- REMOVE ALL REMAINING TEMPORARY SOIL EROSION AND SEDIMENTATION CONTROL MEASURES ONCE PERMANENT MEASURES ARE ESTABLISHED.
- WHENEVER POSSIBLE, THE SITE SHALL BE GRADED TO WITHIN SIX INCHES (6") OF THE PROPOSED FINISH GRADE PRIOR TO INSTALLATION OF UNDERGROUND FACILITIES.
- STAGING OF PROPOSED WORK SHALL BE COMPLETED BY THE CONTRACTOR AS REQUIRED TO ENSURE PROGRESSIVE STABILIZATION OF DISTURBED AREAS.

SOIL EROSION CONTROL

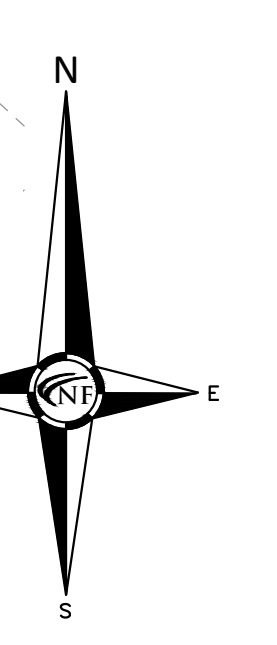
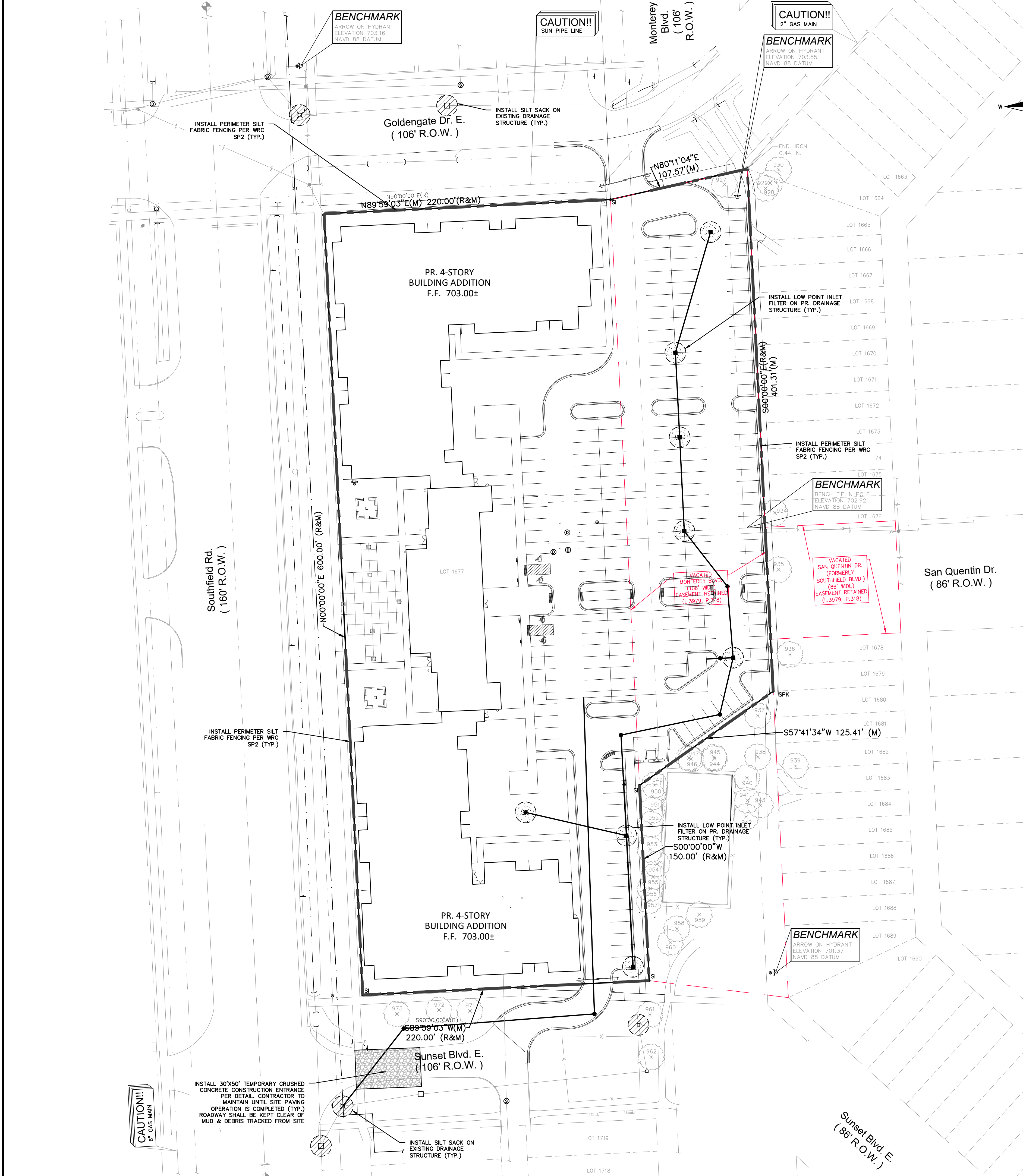
- CUTTING, FILLING AND GRADING SHALL BE MINIMIZED AND THE NATURAL TOPOGRAPHY OF THE SITE SHALL BE PRESERVED TO THE MAXIMUM POSSIBLE EXTENT, EXCEPT WHERE SPECIFIC FINDINGS DEMONSTRATE THAT MAJOR ALTERATIONS WILL STILL MEET THE PURPOSES AND REQUIREMENTS OF THIS ORDINANCE.
- DEVELOPMENT SHALL BE STAGED TO KEEP THE EXPOSED AREAS OF SOIL AS SMALL AS PRACTICABLE.
- SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED BETWEEN THE DISTURBED AREA AND ANY WATERCOURSES, INCLUDING RIVERS, STREAMS, CREEKS, LAKES, PONDS AND OTHER WATERCOURSES; WETLANDS; OR ROADWAYS ON OR NEAR THE SITE.
- SEDIMENT RESULTING FROM ACCELERATED SOIL EROSION SHALL BE REMOVED FROM RUNOFF WATER BEFORE THAT WATER LEAVES THE SITE.
- TEMPORARY AND PERMANENT SOIL EROSION CONTROL MEASURES DESIGNED AND CONSTRUCTED FOR THE CONVEYANCE OF WATER AROUND, THROUGH, OR AWAY FROM THE SITE SHALL BE DESIGNED TO LIMIT THE WATER FLOW TO A NON-EROSIVE VELOCITY.
- TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE REMOVED AFTER PERMANENT SOIL EROSION CONTROL MEASURES HAVE BEEN IMPLEMENTED. ALL SITES SHALL BE STABILIZED WITH PERMANENT SOIL EROSION CONTROL MEASURES.
- IF LAKES, PONDS, CREEKS, STREAMS, OR WETLANDS ARE LOCATED ON OR NEAR THE SITE, EROSION CONTROL MEASURES WHICH DIVERT RUNOFF AND TRAP SEDIMENT MUST BE PROVIDED AT STRATEGIC LOCATIONS. STRAW BALE BERMS MAY BE USED AS TEMPORARY STORMWATER DIVERSION STRUCTURES, BUT WILL NOT BE CONSIDERED SUFFICIENT FOR TRAPPING SEDIMENT. THE USE OF SEDIMENT BASINS, FILTER FABRIC, VEGETATED BUFFER STRIPS, AND ROCK FILTERS IN LIEU OF STRAW BALE BERMS SHALL BE STRONGLY ENCOURAGED. OTHER MEASURES MAY BE REQUIRED IF REASONABLY DETERMINED TO BE NECESSARY TO PROTECT A WATERCOURSE OR WETLAND.
- WHEN IT IS NOT POSSIBLE TO PERMANENTLY STABILIZE A DISTURBED AREA AFTER AN EARTH CHANGE HAS BEEN COMPLETED OR WHEN SIGNIFICANT EARTH CHANGE ACTIVITY CEASES, TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE INSTALLED.
- PERMANENT SOIL EROSION CONTROL MEASURES FOR ALL SLOPES, CHANNELS, DITCHES, OR ANY DISTURBED LAND AREA SHALL BE COMPLETED WITHIN 15 (FIFTEEN) CALENDAR DAYS AFTER FINAL GRADING OR THE FINAL EARTH CHANGE HAS BEEN COMPLETED. ALL TEMPORARY SOIL EROSION CONTROL MEASURES SHALL BE MAINTAINED UNTIL PERMANENT SOIL EROSION CONTROL MEASURES ARE IMPLEMENTED.
- VEGETATED BUFFER STRIPS SHALL BE CREATED OR RETAINED ALONG THE EDGES OF ALL LAKES, PONDS, CREEKS, STREAMS, OTHER WATERCOURSES, OR WETLANDS.
- EROSION AND SEDIMENTATION CONTROL MEASURES SHALL RECEIVE REGULAR MAINTENANCE TO ASSURE PROPER FUNCTIONING.
- ALL GRADING PLANS AND SPECIFICATIONS, INCLUDING EXTENSIONS OF PREVIOUSLY APPROVED PLANS, SHALL INCLUDE PROVISIONS FOR EROSION AND SEDIMENT CONTROL IN ACCORDANCE WITH, BUT NOT LIMITED TO, THE STANDARDS CONTAINED IN THE "STANDARDS AND SPECIFICATIONS FOR SOIL EROSION AND SEDIMENT CONTROL", PUBLISHED BY THE OAKLAND SOIL CONSERVATION DISTRICT.

CONSTRUCTION SEQUENCE / TIMING SCHEDULE

NO.	DESCRIPTION	DATE
1.	INSTALL PERIMETER FILTER FABRIC FENCING AND STONE FILTER WHERE REQUIRED.	MARCH 2025
2.	MASS GRADE SITE.	MARCH 2025
3.	COMMENCE UNDERGROUND UTILITY WORK.	MAY 2025
4.	INSTALL INLET FILTERS ON PROPOSED DRAINAGE STRUCTURES.	MAY 2025
5.	FILL IN SEDIMENTATION TRAPS AND PAVE SITE.	JULY 2025
6.	COMPLETE ALL BUILDINGS AND LANDSCAPE ACTIVITY.	JULY 2025
7.	JET VAC NEW STORM SEWER SYSTEM AS REQUIRED.	NOVEMBER 2025
8.	REMOVE ALL TEMPORARY SOIL EROSION MEASURES.	NOVEMBER 2025

LEGEND

SYMBOL	DESCRIPTION
--- (dashed line)	INDICATES LIMITS OF SILT FABRIC FENCE
--- (dashed line)	INDICATES LIMITS OF DRAINAGE DISTRICT AREA
--- (dashed line)	INDICATES LIMITS OF SOIL DISRUPTION
○ (circle with cross)	INDICATES LOW POINT INLET FILTER OR PROPOSED DRAINAGE STRUCTURE
○ (circle with dot)	INDICATES SILT SACK OR EQUAL ON EXISTING DRAINAGE STRUCTURE
□ (square)	INDICATES DRAINAGE DISTRICT AREA





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LAND PLANNERS



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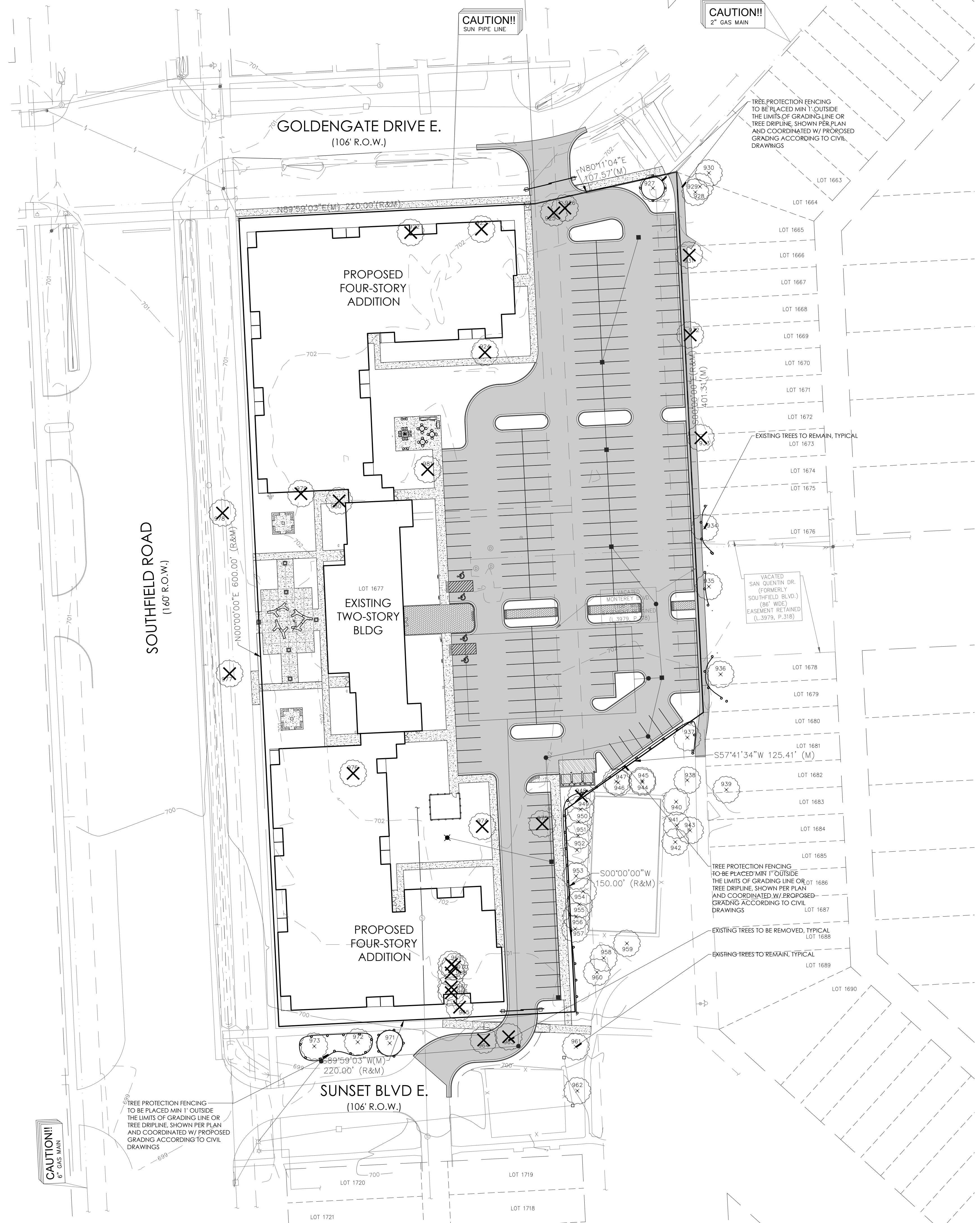
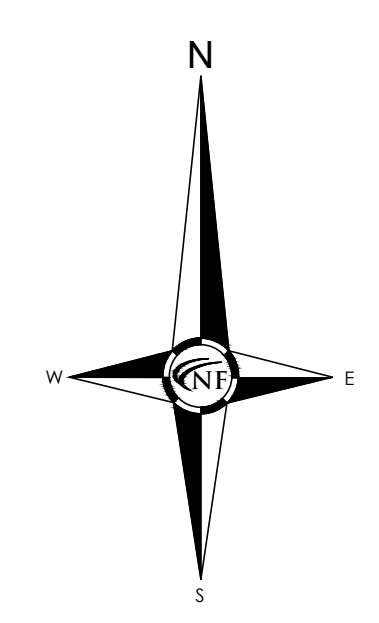
SHEET
Tree Preservation Plan



REVISIONS
10/17/2024 ISSUED FOR SITE PLAN REVIEW

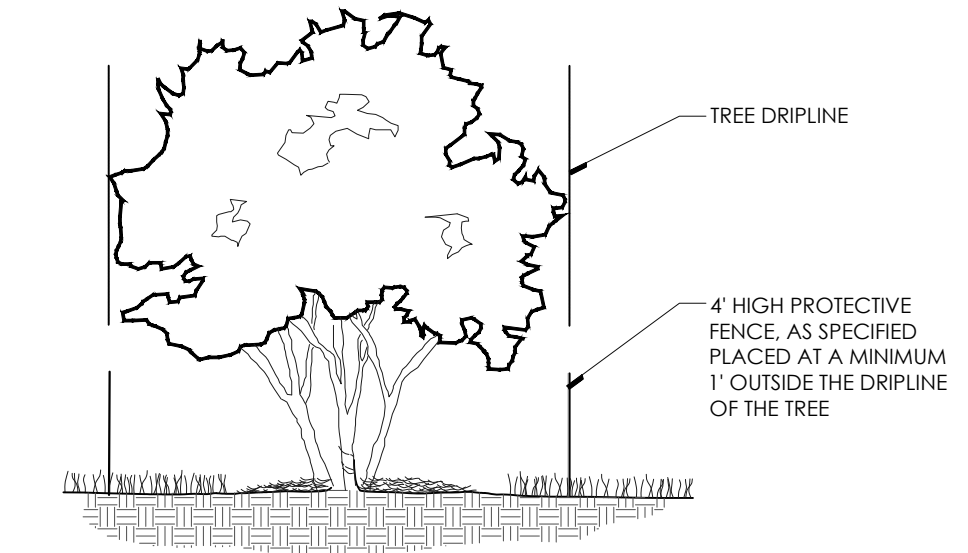
DRAWN BY:
G. Ostrowski
DESIGNED BY:
G. Ostrowski
APPROVED BY:
G. Ostrowski
DATE:
May 22, 2024

SCALE: 1" = 30'
NFE JOB NO. 0129 SHEET NO. L1

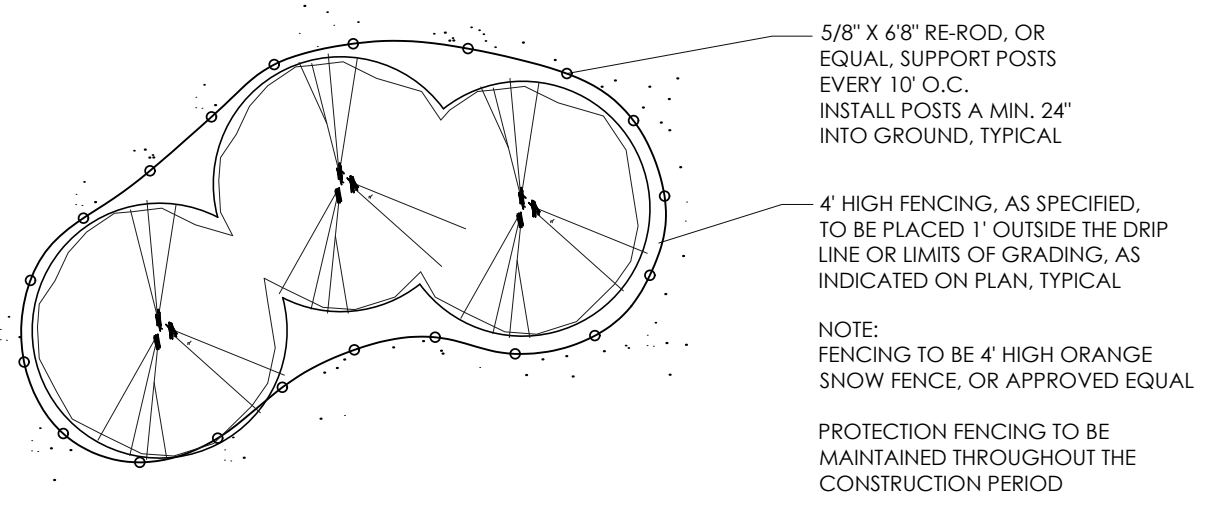


LEGEND:

- X TREES TO BE REMOVED
- 950 TREES TO REMAIN
- TREE PROTECTION FENCING



TREE PROTECTION DETAIL-SECTION



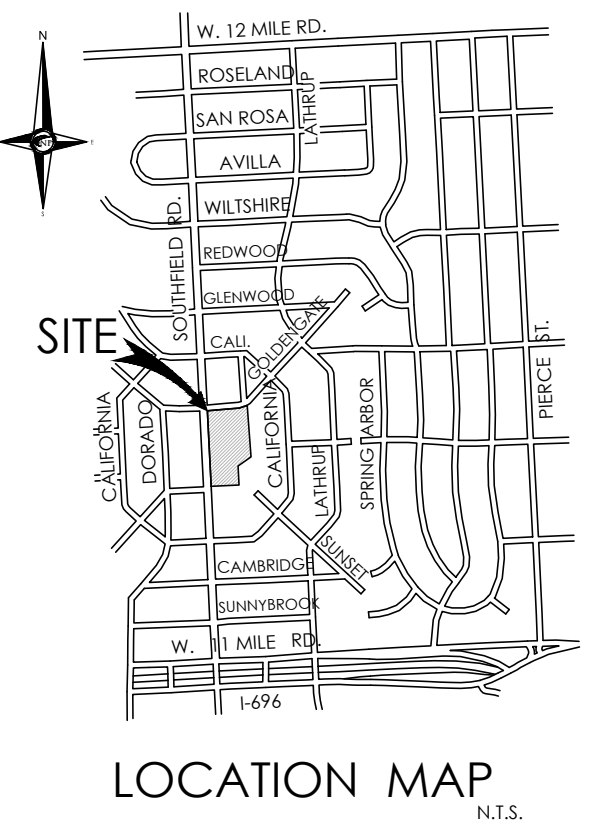
TREE PROTECTION DETAIL-PAN

GENERAL TREE PROTECTION NOTES

- APPROVED TREE PROTECTION SHALL BE ERRECTED PRIOR TO THE START OF CONSTRUCTION ACTIVITIES, AND SHALL REMAIN IN PLACE UNTIL THE IN PLACE UNTIL CONSTRUCTION IS COMPLETE.
- ALL UNDERSTORY VEGETATION WITHIN THE LIMITS OF PROTECTIVE FENCING SHALL BE PRESERVED.
- NO PERSON MAY CONDUCT ANY ACTIVITY WITHIN THE DRIP LINE OF ANY TREE DESIGNATED TO REMAIN, INCLUDING BUT NOT LIMITED TO, PLACING SOLVENTS, BUILDING MATERIALS, CONSTRUCTION EQUIPMENT, OR SOIL DEPOSITS WITHIN THE DRIP LINE.
- WHERE GROUPINGS OF TREES ARE TO REMAIN, TREE FENCING SHALL BE PLACED AT THE LIMITS OF GRADING LINE.
- DURING CONSTRUCTION, NO PERSON SHALL ATTACH ANY DEVICE OR WIRE TO ANY TREE SCHEDULED TO REMAIN.
- ALL UTILITY SERVICE REQUESTS MUST INCLUDE NOTIFICATION TO THE INSTALLER THAT PROTECTED TREES MUST BE AVOIDED. ALL TRENCHING SHALL OCCUR OUTSIDE OF THE PROTECTIVE FENCING.
- SWALES SHALL BE ROUTED TO AVOID THE AREA WITHIN THE DRIP LINES OF PROTECTED TREES.
- TREES LOCATED ON ADJACENT PROPERTIES THAT MAY BE AFFECTED BY CONSTRUCTION ACTIVITIES MUST BE PROTECTED.
- ROOT ZONES OF PROTECTED TREES SHOULD BE SURROUNDED WITH RIGIDLY STAKED FENCING.
- THE PARKING OF IDLE AND RUNNING EQUIPMENT SHALL BE PROHIBITED UNDER THE DRIP LINE OF PROTECTED TREES.
- THE STRIPPING OF TOPSOIL FROM AROUND PROTECTED TREES SHALL BE PROHIBITED.
- ALL TREES TO BE REMOVED SHALL BE CUT AWAY FROM TREES TO REMAIN.
- THE GRUBBING OF UNDERSTORY VEGETATION WITHIN CONSTRUCTION AREAS SHOULD BE CLEARED BY CUTTING VEGETATION AT THE GROUND WITH A CHAIN SAW OR MANUALLY WITH A HYDRO-JACK.
- THE CONTRACTOR IS RESPONSIBLE FOR THE REPLACEMENT PER ORDINANCE GUIDELINES, FOR THE DAMAGE OR REMOVAL OF ANY TREE DESIGNATED TO REMAIN.
- TREES TO BE REMOVED SHALL BE FIELD VERIFIED, EVALUATED AND FLAGGED FOR REMOVAL BY THE LANDSCAPE ARCHITECT OR FORESTER, ONLY AS DIRECTED BY THE OWNER OR OWNERS REPRESENTATIVE.

TREE PRESERVATION SUMMARY:

TOTAL NUMBER OF TREES SURVEYED:	60
TOTAL TREES TO BE REMOVED:	25 (41%)
TOTAL NUMBER OF TREES TO REMAIN:	35 (59%)



LOCATION MAP N.T.S.

CAUTION!! 6" GAS MAIN

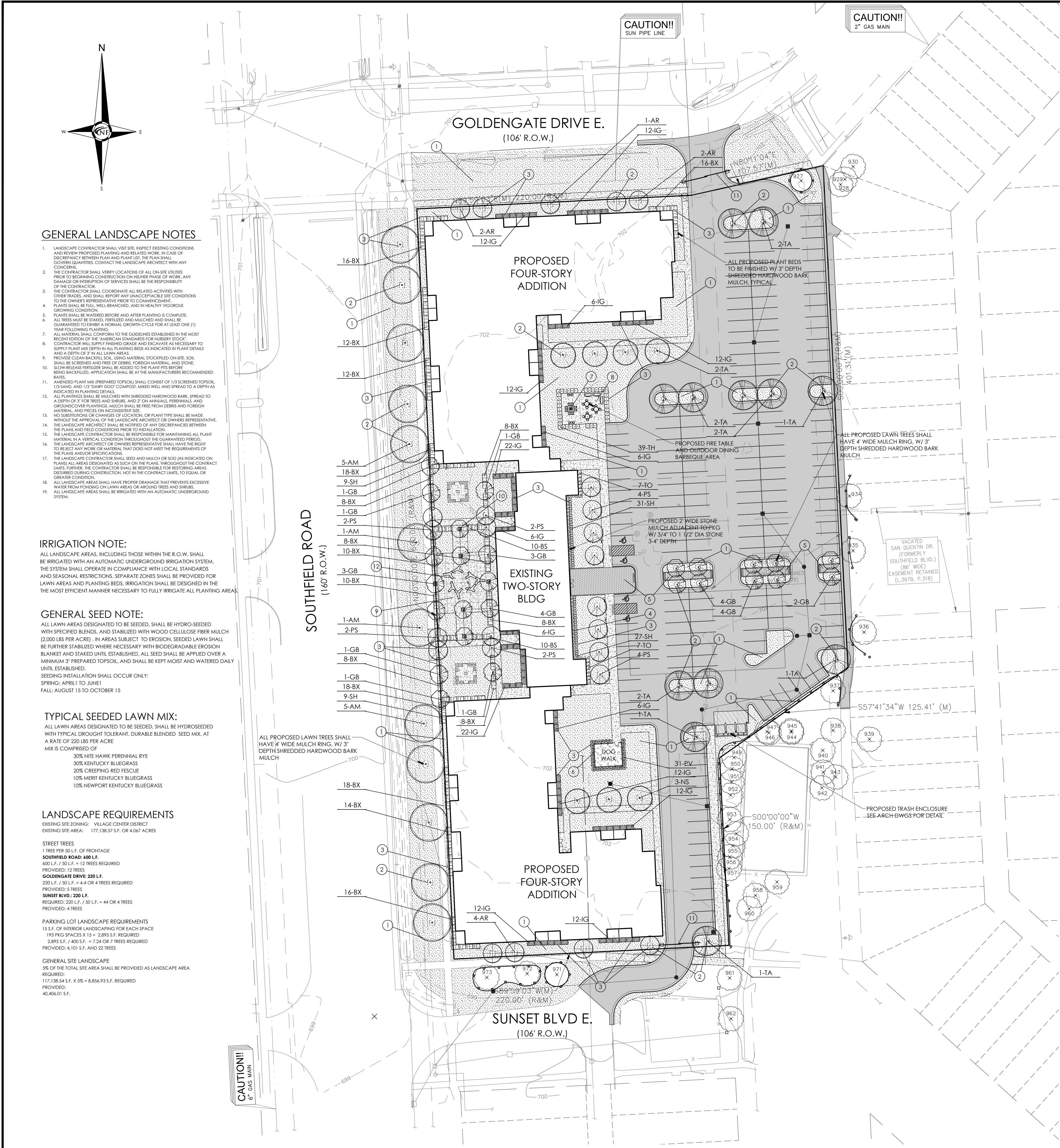
CAUTION!! 2" GAS MAIN

CAUTION!! 2" GAS MAIN

TREE PROTECTION FENCING TO BE PLACED MIN 1' OUTSIDE THE LIMITS OF GRADING LINE OR TREE DRIPLINE, SHOWN PER PLAN AND COORDINATED W/ PROPOSED GRADING ACCORDING TO CIVIL DRAWINGS

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GENERAL LANDSCAPE NOTES

- LANDSCAPE CONTRACTOR SHALL VERIFY SITE, INSPECT EXISTING CONDITIONS AND REVIEW PROPOSED PLANNING AND RELATED WORK. IN CASE OF DISCREPANCY BETWEEN PLAN AND PLANT LIST, THE PLAN SHALL GOVERN OVER QUANTITIES. CONTACT THE LANDSCAPE ARCHITECT WITH ANY CONCERNS.
- THE CONTRACTOR SHALL VERIFY LOCATION OF ALL ON-SITE UTILITIES PRIOR TO BEGINNING CONSTRUCTION OR BEFORE PHASE OF WORK. ANY DAMAGE OR INTERRUPTION OF SERVICES SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- THE CONTRACTOR SHALL COORDINATE ALL RELATED ACTIVITIES WITH OTHER TRADES, AND SHALL REPORT ANY UNDESIRABLE CONDITIONS TO THE OWNER'S REPRESENTATIVE PRIOR TO COMMENCEMENT.
- PLANTS SHALL BE FULLY WELL-BRANCHED, AND IN HEALTHY VIGOROUS GROWING CONDITION.
- PLANTS SHALL BE WATERED BEFORE AND AFTER PLANTING IS COMPLETE.
- ALL TREES MUST BE STAKED, FERTILIZED AND MULCHED AND SHALL BE GUARANTEED TO EXHIBIT A NORMAL GROWTH CYCLE FOR AT LEAST ONE (1) YEAR FOLLOWING PLANTING.
- ALL MATERIAL SHALL CONFORM TO THE GUIDELINES ESTABLISHED IN THE MOST RECENT EDITION OF THE "AMERICAN STANDARDS FOR NURSERY STOCK".
- CONTRACTOR WILL SUPPLY FERTILIZED GRASS AND DECORATIVE AS NECESSARY TO SURVIVE PLANT MIX DEPTH IN ALL PLANTING BEDS AS INDICATED IN PLANT DETAILS AND A DEPTH OF 3" IN ALL LAWN AREAS.
- PROVIDE CLEAN BACKFILL SOIL. USING MATERIAL STOCKPILED ON-SITE. SOIL SHALL BE SCREENED AND FREE OF DEBRIS, FOREIGN MATERIAL, AND STONE. SLOW RELEASE FERTILIZER SHALL BE ADDED TO THE PLANT MIX BEFORE BEING BACKFILLED. APPLICATION SHALL BE AT THE MANUFACTURER'S RECOMMENDED RATES.
- AMENDED PLANT MIX (PREPARED TOPSOIL) SHALL CONSIST OF 1/3 SCREENED TOPSOIL, 1/3 SAND, AND 1/3 TURKEY DOODY COMPOST. MIXED WELL AND SPREAD TO A DEPTH AS INDICATED IN PLANTING DETAILS.
- ALL PLANTINGS SHALL BE MULCHED WITH SHREDED HARDWOOD BARK. SPREAD TO A DEPTH OF 3" FOR TREES AND SHRUBS, AND 2" ON ANNUALS, PERENNIALS, AND GROUNDCOVER PLANTINGS. MULCH SHALL BE FREE FROM DEBRIS AND FOREIGN MATERIAL, AND PROVIDE AN INCONSPICUOUS DEE.
- NO SUBSTITUTIONS OR CHANGES OF LOCATION, OR PLANT TYPE SHALL BE MADE WITHOUT THE APPROVAL OF THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE.
- THE LANDSCAPE ARCHITECT SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE PLANS AND FIELD CONDITIONS.
- THE LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL PLANT MATERIAL IN A VIGOROUS CONDITION THROUGHOUT THE GUARANTEED PERIOD. THE LANDSCAPE ARCHITECT OR OWNER'S REPRESENTATIVE SHALL HAVE THE RIGHT TO BEET ANY WORK OR MATERIAL THAT DOES NOT MEET THE REQUIREMENTS OF THE PLANS AND/OR SPECIFICATIONS.
- THE LANDSCAPE CONTRACTOR SHALL SEED AND MULCH (AS INDICATED ON PLANS) ALL AREAS DESIGNATED AS SUCH ON THE PLANS, THROUGHOUT THE CONTRACT LIMITS. FURTHER, THE CONTRACTOR SHALL BE RESPONSIBLE FOR RESTORING AREAS DISTURBED DURING CONSTRUCTION, NOT IN THE CONTRACT LIMITS, TO EQUAL OR GREATER CONDITION.
- ALL LANDSCAPE AREAS SHALL HAVE PROPER DRAINAGE THAT PREVENTS EXCESSIVE WATER FROM FORMING ON LAWN AREAS OR AROUND TREES AND SHRUBS.
- ALL LANDSCAPE AREAS SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND SYSTEM.

IRRIGATION NOTE:

ALL LANDSCAPE AREAS, INCLUDING THOSE WITHIN THE R.O.W., SHALL BE IRRIGATED WITH AN AUTOMATIC UNDERGROUND IRRIGATION SYSTEM. THE SYSTEM SHALL OPERATE IN COMPLIANCE WITH LOCAL STANDARDS AND SEASONAL RESTRICTIONS. SEPARATE ZONES SHALL BE PROVIDED FOR LAWN AREAS AND PLANTING BEDS. IRRIGATION SHALL BE DESIGNED IN THE MOST EFFICIENT MANNER NECESSARY TO FULLY IRRIGATE ALL PLANTING AREAS.

GENERAL SEED NOTE:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDRO-SEEDED WITH SPECIFIED BLENDS, AND STABILIZED WITH WOOD CELLULOSE FIBER MULCH (2000 LBS PER ACRE). IN AREAS SUBJECT TO EROSION, SEEDED LAWN SHALL BE FURTHER STABILIZED WHERE NECESSARY WITH BIODEGRADABLE EROSION BLANKET AND STAKED UNTIL ESTABLISHED. ALL SEED SHALL BE APPLIED OVER A MINIMUM 3" PREPARED TOPSOIL, AND SHALL BE KEPT MOIST AND WATERED DAILY UNTIL ESTABLISHED.

SEEDING INSTALLATION SHALL OCCUR ONLY:
 SPRING: APRIL TO JUNE
 FALL: AUGUST 15 TO OCTOBER 15

TYPICAL SEEDED LAWN MIX:

ALL LAWN AREAS DESIGNATED TO BE SEED, SHALL BE HYDROSEEDED WITH TYPICAL DROUGHT TOLERANT, DURABLE BLENDED SEED MIX, AT A RATE OF 220 LBS PER ACRE.

MIX IS COMPOSED OF:

- 30% NITE HAWK PERENNIAL RYE
- 30% KENTUCKY BLUEGRASS
- 20% CREEPING RED FESCUE
- 10% VERMONT KENTUCKY BLUEGRASS
- 10% NEWPORT KENTUCKY BLUEGRASS

LANDSCAPE REQUIREMENTS

EXISTING SITE EOWING: VILAGE CENTER DISTRICT
 EXISTING SITE AREA: 177,138.57 S.F. OR 4.047 ACRES

STREET TREES
 1 TREE PER 50 L.F. OF FRONTAGE
SOUTHFIELD ROAD: 400 L.F.
 800 L.F. / 50 L.F. = 12 TREES REQUIRED
 PROVIDED: 12 TREES
GOLDEN GATE DRIVE: 220 L.F.
 220 L.F. / 50 L.F. = 4.4 OR 4 TREES REQUIRED
 PROVIDED: 5 TREES
SUNSET BLVD.: 220 L.F.
 220 L.F. / 50 L.F. = 4.4 OR 4 TREES REQUIRED
 PROVIDED: 4 TREES

PARKING LOT LANDSCAPE REQUIREMENTS
 15 S.F. OF BIODEGRADABLE MULCH FOR EACH SPACE
 93 PKG SPACES x 15 = 2895 S.F. REQUIRED
 2895 S.F. / 400 S.F. = 7.24 OR 7 TREES REQUIRED
 PROVIDED: 4,101 S.F. AND 22 TREES

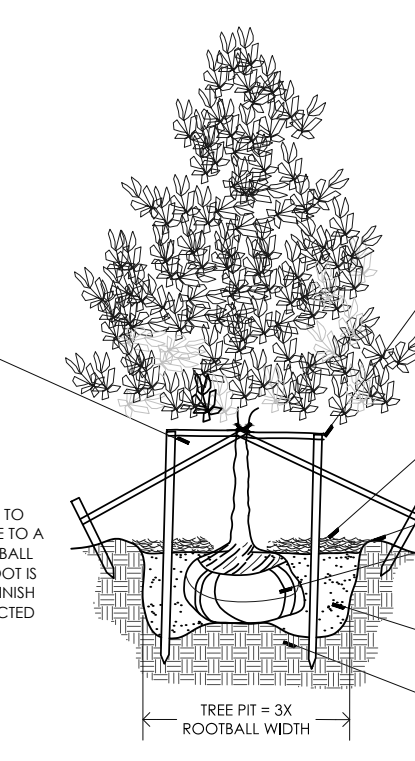
GENERAL SITE LANDSCAPE
 5% OF THE TOTAL SITE AREA SHALL BE PROVIDED AS LANDSCAPE AREA
 177,138.54 S.F. x 5% = 8,856.93 S.F. REQUIRED
 PROVIDED: 40,406.03 S.F.



NOTE:
 GUY DECIDUOUS TREES ABOVE 3" CALIPER, STAKE TREES BELOW 3" CALIPER.
 STAKE TREES JUST BELOW TREE BRANCH USING 2-3" WIDE BELL-LINE NYLON OR PLASTIC STRAPS. CONNECT FROM TREE TO STAKE OPPOSITE ALLOW FOR SOME SWAYING.
 REMOVE AFTER ONE (1) YEAR.

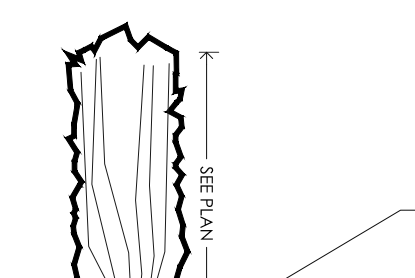
NOTES:
 REMOVE TOP LAYER OF DIRT FROM BALL TO EXPOSE FIRST WOODY ROOT. PLANT TREE TO A DEPTH EQUAL TO THE BOTTOM OF ROOTBALL TO WHERE THE TOP OF FIRST WOODY ROOT IS AT GRADE, OR Slightly HIGHER THAN FINISH GRADE UP TO 6" ABOVE GRADE. IF DIRECTED BY LANDSCAPE ARCHITECT FOR HEAVY CLAY SOILS.
 DO NOT PRUNE TERMINAL LEADER.
 PRUNE ONLY DEAD OR BROKEN BRANCHES.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

DECIDUOUS TREE PLANTING DETAIL



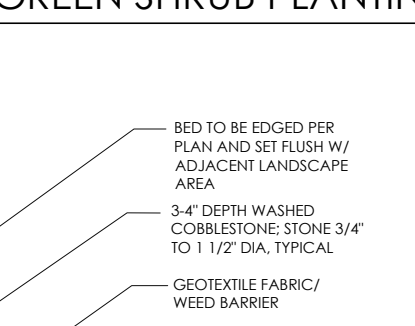
NOTE:
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

UPRIGHT EVERGREEN SHRUB PLANTING DETAIL



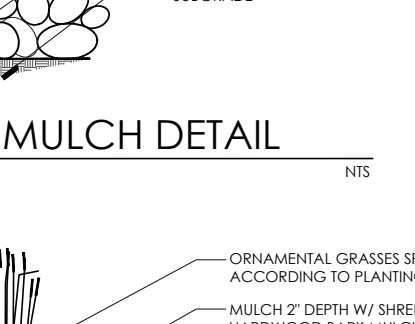
NOTE:
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 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

COBBLESTONE MULCH DETAIL



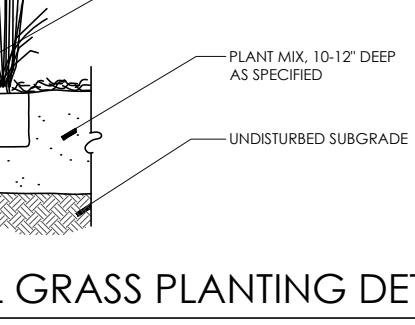
NOTE:
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

ORNAMANTAL GRASS PLANTING DETAIL



NOTE:
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

TREE GRATE INSTALLATION



NOTE:
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

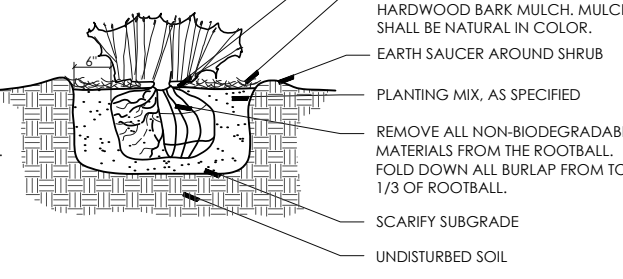
PLANT SCHEDULE

KEY	QTY	BOTANICAL/Common NAME	SIZE	SPACING	ROOT	COMMENT
TREES						
AM	12	Acer miyabei 'Stone Street' Stone Street Maple	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
AR	9	Acer rubrum 'Bowhall' Bowhall Red Maple	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
GB	26	Ginkgo biloba 'Princeton Sentry' Princeton Sentry Ginkgo	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
NS	7	Nyssa sylvatica 'Red Rover' Red Rover Black Tupelo	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
PS	16	Prunus serotina 'Pink Flair' Pink Flair Flowering Cherry	2" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
TA	12	Tilia americana 'Boulevard' Boulevard Linden	2.5" CAL	SEE PLAN	B&B	FULLY BRANCHED HEADS
SHRUBS						
BS	20	Buxus x 'Green Velvet' Green Velvet Boxwood	30" HT	30" OC	B&B	MAINTAIN AS HEDGE
BX	198	Buxus microphylla 'Wintergreen' Wintergreen Boxwood	30" HT	30" OC	B&B	MAINTAIN AS HEDGE
IG	170	Ilex glabra 'Strongbox' Strongbox Holly	30" HT	30" OC	B&B	MAINTAIN AS HEDGE
TH	39	Toxus x m. 'Hick's' Hick's Yew	36" HT	30" OC	B&B	WELL-ROOTED
TO	14	Thuja occidentalis 'DeGroot's Spire' DeGroot's Spire Arborvitae	5 HT	3" OC	B&B	WELL-ROOTED
GROUNDCOVERS/PERENNIALS						
PV	31	Panicum virgatum 'Northwind' Northwind Switchgrass	3 GAL	30" OC	CONT	WELL-ROOTED
SH	76	Sporobolus heterolepis Prairie Dropseed	2 GAL	24" OC	CONT	WELL-ROOTED

KEY LEGEND

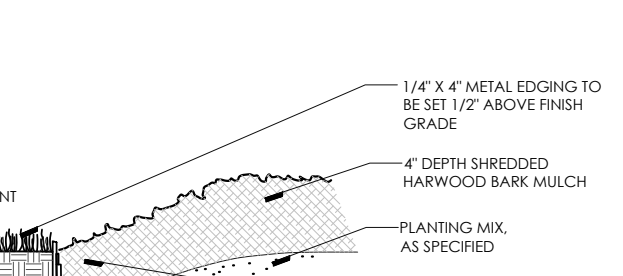
- 1 TYPICAL SEED LAWN AREAS, SOWN ON 3" TOPSOIL
- 2 4" WIDE SPADE CUT EDGE W/ 3" SHREDED BARK MULCH
- 3 3" DEPTH DOUBLE SHREDED HARDWOOD BARK MULCH
- 4 3/4" - 1 1/2" STONE MULCH, 3-4" DEPTH ON WEED BARRIER
- 5 PROPOSED DECORATIVE PAVING
- 6 PROPOSED 4 FT DECORATIVE METAL FENCE
- 7 PROPOSED NO. FIRE TABLE, WITH SEATING
- 8 OUTDOOR DINING AREA WITH TABLES AND GRILLS
- 9 OUTDOOR COMMUNITY SCULPTURE PARK
- 10 PROPOSED 3" SQUARE TREE GRATE (6 TOTAL)
- 11 PROPOSED SECURITY GATE
- 12 PROPOSED TWIG BENCH BY LANDSCAPE FORMS (7 TOTAL)

HEDGE PLANTING DETAIL



NOTE:
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS

METAL EDGING DETAIL



NOTE:
 TREE SHALL BEAR SAME RELATION TO FINISH GRADE AS IT BORE ORIGINALLY.
 REMOVE ALL TAGS, STRING, PLASTIC AND OTHER MATERIALS



NOWAK & FRAUS ENGINEERS
 4677 WOODWARD AVE.
 PONTIAC, MI 48342-5032
 TEL. (248) 332-7931
 FAX. (248) 332-8257



PROJECT
 27700 Southfield Road
 Lathrup Village, MI 48076

CLIENT
 The Surnow Company

Contact: Sam Surnow
 Phone: 248.865.3000 x 102
 Email: sam@surnow.com

PROJECT LOCATION
 Part of the SW 1/4
 of Section 13
 T.1N., R.10E.,
 City of Lathrup Village,
 Oakland County, Michigan

SHEET
 Landscape Plan



REVISIONS
 10/17/2024 ISSUED FOR SITE PLAN REVIEW

DRAWN BY:
 G. Ostrowski
 DESIGNED BY:
 G. Ostrowski
 APPROVED BY:
 G. Ostrowski
 DATE:
 May 22, 2024

SCALE: 1" = 40'
 0 20 40 60

NFE JOB NO. SHEET NO.
 O129 L2

PROPOSED BUILDING ADDITION FOR:

27700 SOUTHFIELD ROAD, LATHRUP VILLAGE

BIDDISON ARCHITECTURE

320 MARTIN ST. LL 10 BIRMINGHAM MI 48009
248.554.9500

CONDITIONS OF WORK

CONSTRUCTION COORDINATION:

1. ALL CONTRACTORS SHALL REVIEW ALL DRAWINGS & ARE RESPONSIBLE FOR A COMPLETE REVIEW & SITE VISIT. ITEMS AFFECTING ALL TRADES ARE PLACED THROUGHOUT SET & NO "EXTRAS" FOR MISSED ITEMS IN OTHER SECTIONS WILL BE PERMITTED. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY ARCHITECT OF ANY AMBIGUITY, INCONSISTENCY OR ERRORS WHICH THEY DISCOVER UPON EXAMINATION OF DOCUMENTS, THE SITE OR LOCAL CONDITIONS.
2. ANY CONTRACTOR OR SUBCONTRACTOR BY SUBMITTING A BID WARRANTS THAT HE HAS VISITED THE SITE AND IS AWARE OF ANY AND ALL SITE CONDITIONS AFFECTING HIS BID.
3. THE CONTRACTOR BY COMMENCING WORK ACCEPTS THE CONDITIONS OF THE SITE & THE COMPLETENESS OF CONTRACT DOCUMENTS.
4. FIELD VERIFY ALL DIMENSIONS AND REPORT ANY DISCREPANCIES IMMEDIATELY TO THE ARCHITECT. DO NOT SCALE DRAWINGS USE FIGURED DIMENSIONS ONLY.
5. ANY MATERIAL OR LABOR NEITHER SHOWN ON THE DRAWINGS NOR SPECIFIED, BUT WHICH IS OBVIOUSLY NECESSARY TO COMPLETE THE WORK IN A WORKMANLIKE MANNER SHALL BE FURNISHED WITHOUT COST TO THE OWNER.
6. ALL MATERIALS FURNISHED AND INSTALLED BY THE GENERAL CONTRACTOR SHALL BE FREE FROM DEFECTS. ALL WORK SHALL BE GUARANTEED FOR A PERIOD OF (1) YEAR FROM DATE OF ACCEPTANCE OF WORK. DURING THIS PERIOD THE GENERAL CONTRACTOR SHALL CORRECT ANY PROBLEMS DUE TO DEFECTIVE MATERIALS OR FAULTY WORKMANSHIP AT NO COST TO THE OWNER. ANY PROBLEM THAT OCCURS DURING CONSTRUCTION SHALL IMMEDIATELY BE CORRECTED TO THE SATISFACTION OF THE OWNER.
7. NO SUBSTITUTIONS OF SPECIFIED MATERIAL OR EQUIPMENT WILL BE ACCEPTED UNLESS WRITTEN REQUEST FOR APPROVAL HAS BEEN RECEIVED BY THE ARCHITECT AND CONTRACTOR HAS RECEIVED WRITTEN APPROVAL FROM ARCHITECT.
8. DURING AND AT THE COMPLETION OF THE CONTRACTOR'S DAILY WORK, CONTRACTOR IS RESPONSIBLE FOR THE CLEANING UP AND REMOVAL OF ALL RUBBISH AND DEBRIS BEFORE LEAVING THE PROJECT JOB SITE.

PERMITS & SAFETY:

1. GENERAL CONTRACTOR SHALL APPLY & SUBMIT FOR BUILDING PERMIT.
2. GENERAL CONTRACTOR SHALL OBTAIN "ALL RISK" INSURANCE AND ALL CUSTOMARY STATUTORY INSURANCE FOR COMPREHENSIVE GENERAL LIABILITY, ETC. AS REQUIRED BY OWNER/LANDLORD.
3. GENERAL CONTRACTOR SHALL PROVIDE ADEQUATE PROTECTION OF WORK, MATERIALS, FIXTURES, ETC. IN LEASED SPACE FROM LOSS OR DAMAGE FROM FIRE, THEFT OR VANDALISM.
4. ALL WORK SHALL BE DONE IN COMPLIANCE WITH THE OCCUPATIONAL SAFETY AND HEALTH ACT (OSHA). THE FOLLOWING ARE STRICTLY PROHIBITED WORK PRACTICES.
 - A. ANY COMBUSTIBLE MATERIALS ABOVE FINISHED CEILING OR IN ANY NON-SPRINKLED LOCATIONS.
 - B. IMPOSING ANY STRUCTURAL LOAD, TEMPORARY OR PERMANENT ON ANY PART OF THE LANDLORD'S WORK OR STRUCTURE WITHOUT PRIOR WRITTEN APPROVAL.
 - C. CUTTING ANY HOLES IN LANDLORD'S EXISTING FLOOR SLABS, WALLS OR ROOF WITHOUT PROPER APPROVAL'S PROPER APPROVALS FROM LANDLORD. BEFORE STARTING ANY UNDERSLAB WORK CONTRACTORS MUST CHECK WITH THE LANDLORD OR SUPERINTENDENT OF THE LANDLORD'S GENERAL CONTRACTOR TO DETERMINE IF ANY COMMON UTILITY OR OTHER TENANT UTILITY LINES EXIST WITHIN THE SPACE.

CODE COMPLIANCE:

1. WORK INDICATED IS TO BE EXECUTED IN ACCORDANCE WITH THE LATEST EDITIONS OF ALL APPLICABLE CODES.
2. FIRE EXTINGUISHERS SHALL BE PROVIDED BY G.C. AND INSTALLED PER THE FIRE MARSHALL'S INSTRUCTIONS.
3. ALL WALL FINISHES TO MEET CLASS III FLAME SPREAD RATINGS IN ACCORDANCE WITH MBC-2015 CHAPTER 8.
4. INTERIOR FINISHES IN EXIT ACCESS CORRIDORS, OTHER EXIT WAYS, ROOMS, AND ENCLOSED SPACES IN USE GROUPS "B" AND "S" IN SPRINKLED BUILDINGS ARE REQUIRED TO HAVE AT LEAST A CLASS C FLAME SPREAD 76-200; SMOKE DEVELOPED 0-450; RATING AS LISTED IN THE 2015 MICHIGAN BUILDING CODE.
5. SAFETY GLAZING MUST HAVE PERMANENT IDENTIFICATION IN ACCORDANCE WITH THE 2015 MICHIGAN BUILDING CODE.
6. ALL REQUIREMENTS OF THE MICHIGAN BARRIER FREE ACT & THE AMERICAN'S WITH DISABILITIES ACT SHALL BE MAINTAINED TO COMPLY WITH ICC/A117.1-2009.
7. ALL OFFICE FURNITURE & EQUIPMENT TO BE PROVIDED BY TENANT- SHOWN FOR LAYOUT PURPOSES ONLY. TO COMPLY WITH ADA- ICC/A117.1-2009 (TYP.) REQUIREMENTS, A MINIMUM OF 5%, BUT NOT LESS THAN (1) OF THE LUNCHROOM TABLES AND EMPLOYEE WORKSTATIONS (CUBICLES) SHALL BE ACCESSIBLE. ACCESSIBLE TABLE AND WORKSTATION TOPS SHALL BE 28" MIN. TO 34" MAX. A.F.F. KNEE AND TOE CLEARANCES AS FOLLOWS SHALL ALSO APPLY- TOE: 4" MIN. HIGH, 17" MIN. TO 25" MAX. DEPTH, AND 30" MIN. WIDE. KNEE: 27" MIN. HIGH, 11" DEEP @ 9" HIGH TO 8" DEEP @ 27" HIGH, AND 30" MIN. WIDE.
8. ALL ENTRANCE AND EXIT DOORS SHALL HAVE BARRIER FREE ACCESSIBILITY TO COMPLY WITH ICC/A117.1-2009.
9. TO COMPLY WITH ADA - ICC/A117.1-2009 (TYP.) REQUIREMENTS, CHANGES IN LEVEL GREATER THAN 1/2" SHALL BE RAMPED AND CHANGES IN LEVEL BETWEEN 1/4" AND 1/2" SHALL BE BEVELED A MAXIMUM OF 1:2.
10. ALL LUNCHROOM APPLIANCES TO BE PROVIDED BY TENANT. TO COMPLY WITH ADA-ICC/A117.1-2009 (TYP.) REQUIREMENTS, DISHWASHERS MUST FIT UNDER A 34" HIGH (32 1/4" CLEAR UNDER) COUNTERTOP. THE REFRIGERATOR MUST BE A SIDE-BY-SIDE OR BOTTOM FREEZER UNIT, AND ALL MICROWAVE CONTROLS TO BE NO HIGHER THAN 46" A.F.F. TO MEET OBSTRUCTED HIGH SIDE REACH REQUIREMENTS.
11. SIGNAGE INDICATING ACCESSIBILITY PROVISIONS SHALL BE PROVIDED AT EACH DOOR TO AN EXIT DISCHARGE. A TACTILE SIGN STATING EXIT AND COMPLYING WITH ICC/ANSI A117.1-2009 SHALL BE PLACED ADJACENT TO THE DOOR. PLEASE REFER TO SHEET A. 601 FOR ADDITIONAL INFORMATION AND LOCATION.

Consultants

Project data

GOVERNING CODES: 2015 MICHIGAN BUILDING CODE
2021 MICHIGAN PLUMBING CODE
2021 MICHIGAN MECHANICAL CODE
2015 MICHIGAN REHABILITATION CODE
2015 INTERNATIONAL FUEL GAS CODE
MICHIGAN ELECTRICAL CODE, 2017 N.E.C.
W/ PART 8 STATE AMENDMENTS
ICC/ANSI A117.1-2015 AND MICHIGAN BARRIER FREE DESIGN LAW OF PUBLIC ACT 1 OF 1966 AS AMENDED.
MICHIGAN UNIFORM ENERGY CODE RULES PART 10 WITH ANSI/ASHRAE/IESNA STANDARD 90.1-2015
2015 INTERNATIONAL FIRE CODE
NFPA 13 - 2010
NFPA 72 - 2010

BUILDING USE GROUP(S): RESIDENTIAL

SHEET INDEX

T.101	TITLE SHEET
A.101	FIRST AND SECOND FLOOR PLANS
A.102	THIRD AND FOURTH FLOOR PLANS
A.103	ENLARGED COMMON AREA FLOOR PLANS
A.201	EXTERIOR ELEVATIONS
A.202	EXTERIOR ELEVATIONS
A.203	EXTERIOR ELEVATIONS
A.301	EXTERIOR RENDERINGS
A.302	EXTERIOR RENDERINGS
A.303	EXTERIOR RENDERINGS
A.304	INTERIOR RENDERINGS
A.305	INTERIOR RENDERINGS
L.201	SITE PHOTOMETRIC STUDY

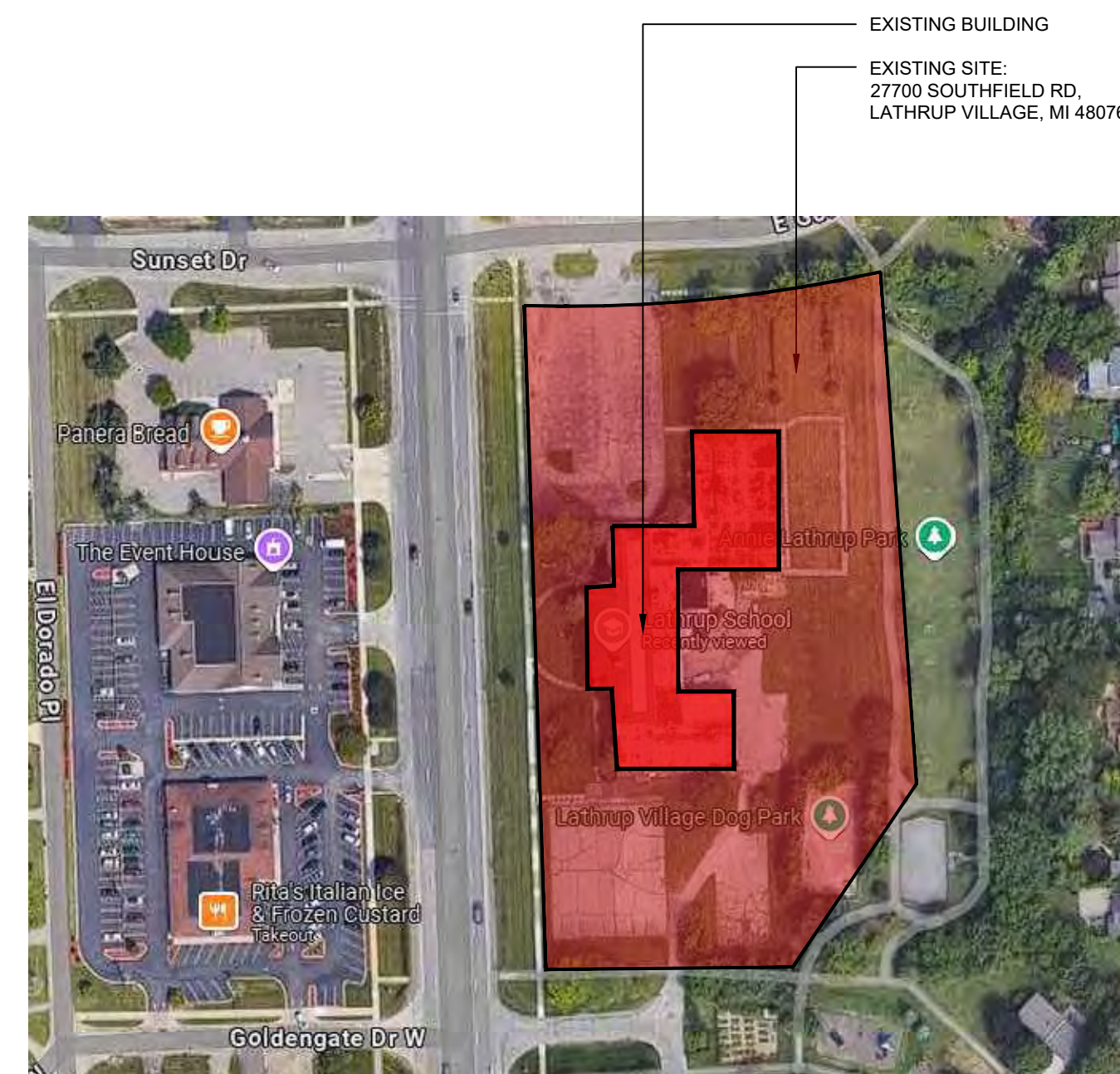
PROJECT ADDRESS

27700 Southfield Road
Lathrup Village, Michigan 48076

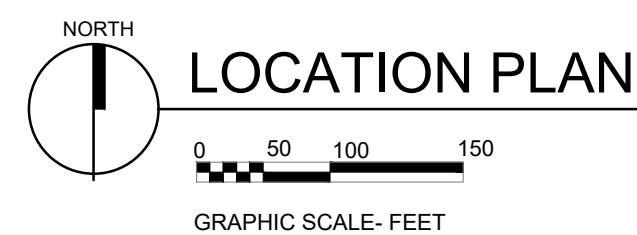
Zoned: VC Village Center

APPLICANT INFORMATION

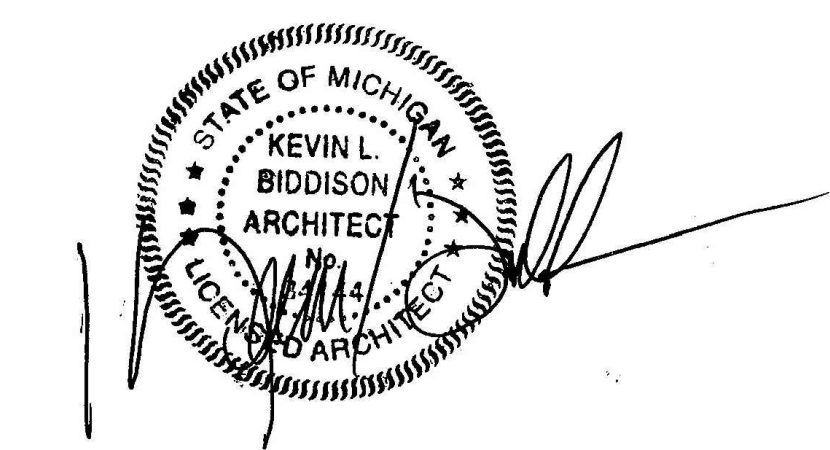
Akiva Investments LLC
320 Martin St, Suite 100
Birmingham, MI 48009
e. Sam@Surnow.com
p. 248.877.4000



EXISTING BUILDING
EXISTING SITE:
27700 SOUTHFIELD RD,
LATHRUP VILLAGE, MI 48076

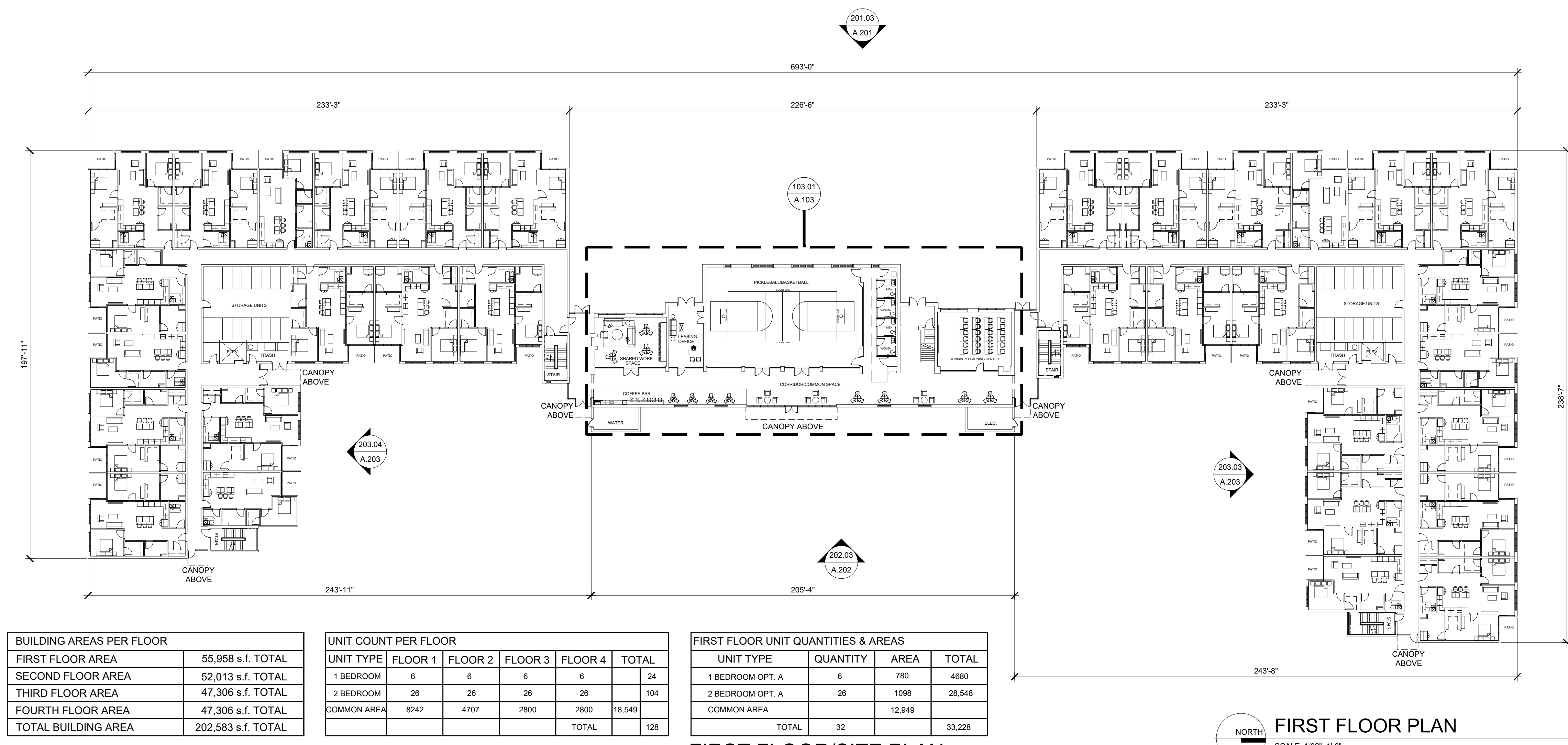
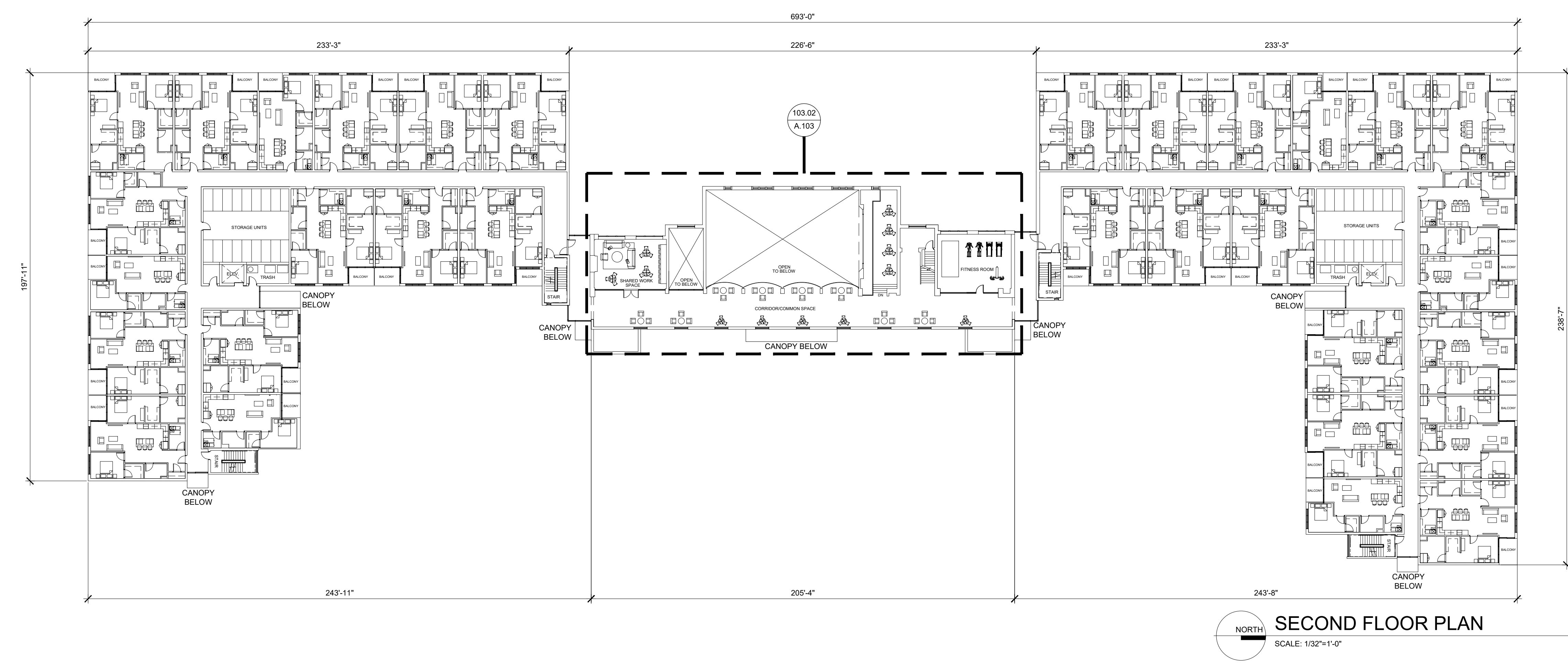
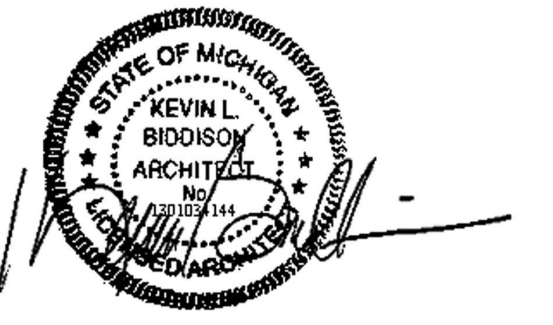


Issued for
SITE PLAN REVIEW 10.18.24



Project no.
2118-24

Sheet no.
T.101

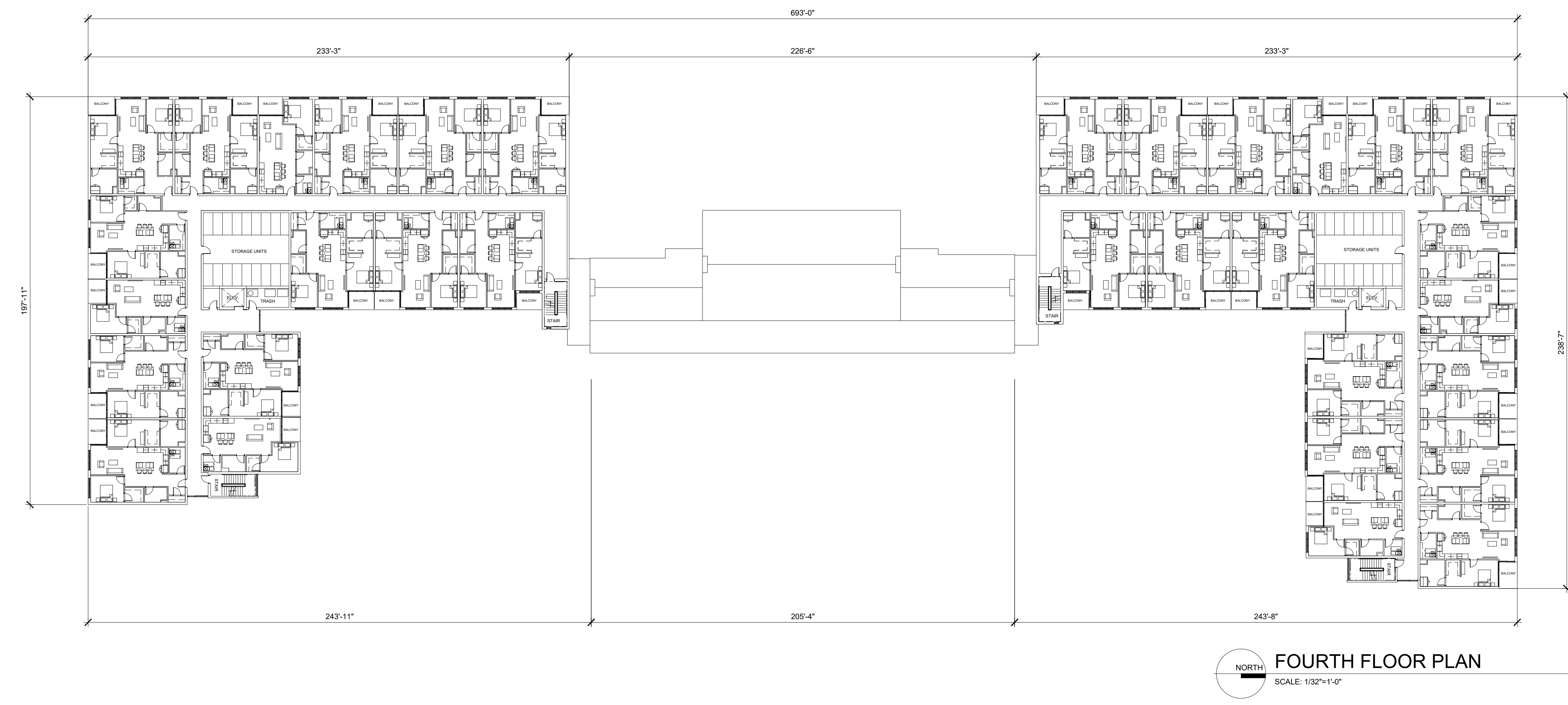
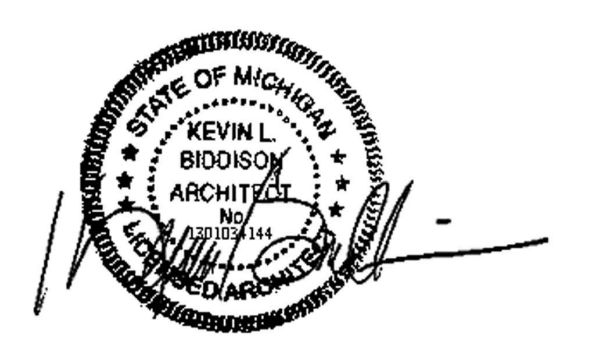


BUILDING AREAS PER FLOOR	
FIRST FLOOR AREA	55,958 s.f. TOTAL
SECOND FLOOR AREA	52,013 s.f. TOTAL
THIRD FLOOR AREA	47,306 s.f. TOTAL
FOURTH FLOOR AREA	47,306 s.f. TOTAL
TOTAL BUILDING AREA	202,583 s.f. TOTAL

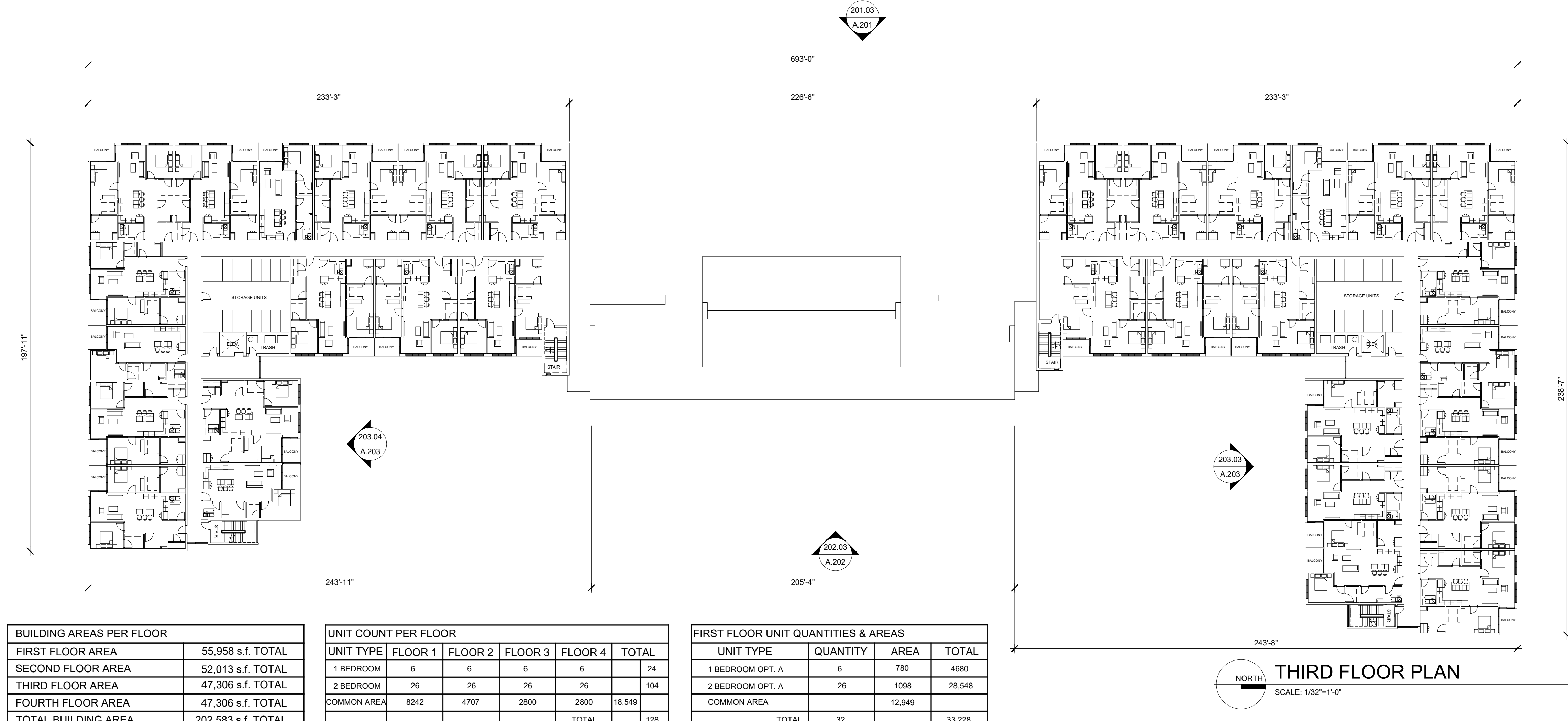
UNIT COUNT PER FLOOR					
UNIT TYPE	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4	TOTAL
1 BEDROOM	6	6	6	6	24
2 BEDROOM	26	26	26	26	104
COMMON AREA	8242	4707	2800	2800	18,549
				TOTAL	128

FIRST FLOOR UNIT QUANTITIES & AREAS			
UNIT TYPE	QUANTITY	AREA	TOTAL
1 BEDROOM OPT. A	6	780	4680
2 BEDROOM OPT. A	26	1098	28,548
COMMON AREA		12,949	
TOTAL	32		33,228

FIRST FLOOR/SITE PLAN
PARKING ON SITE: 193 SPACES
TOTAL PARKING TO MEET CITY REQMTS.: 1.5 PER UNIT= 192 SPACES



FOURTH FLOOR PLAN
SCALE: 1/32"=1'-0"



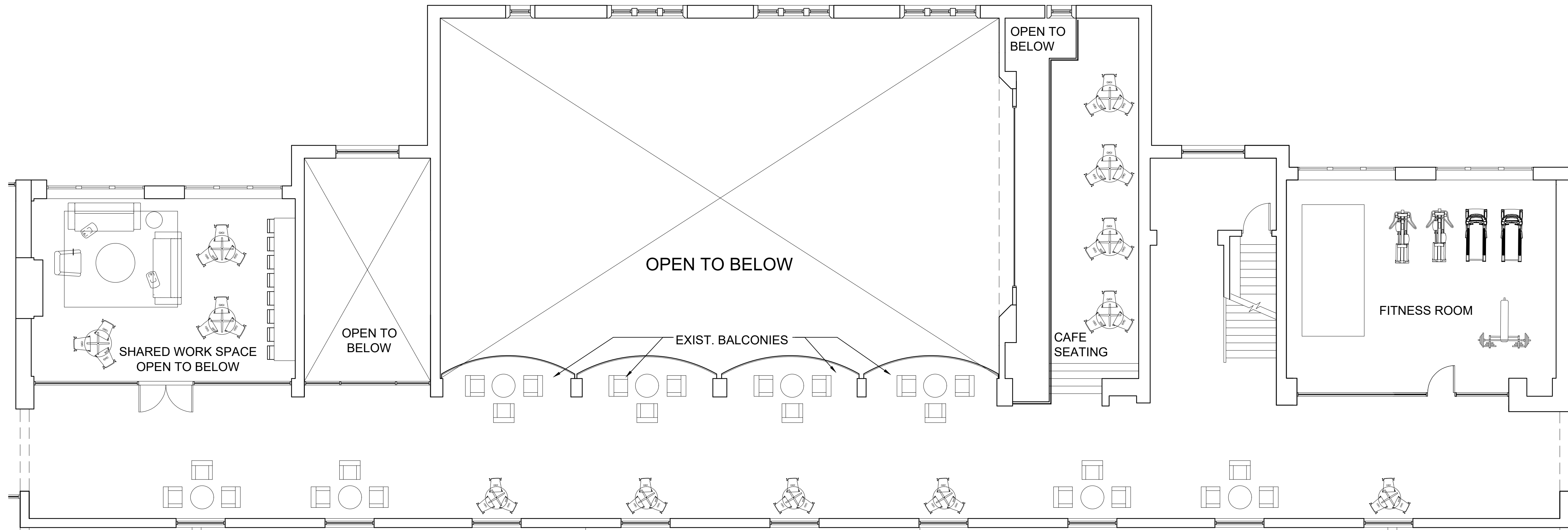
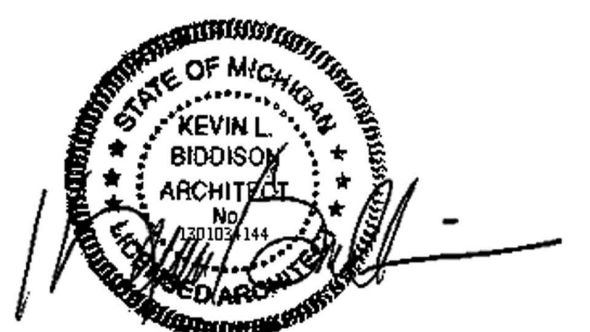
THIRD FLOOR PLAN
SCALE: 1/32"=1'-0"

BUILDING AREAS PER FLOOR	
FIRST FLOOR AREA	55,958 s.f. TOTAL
SECOND FLOOR AREA	52,013 s.f. TOTAL
THIRD FLOOR AREA	47,306 s.f. TOTAL
FOURTH FLOOR AREA	47,306 s.f. TOTAL
TOTAL BUILDING AREA	202,583 s.f. TOTAL

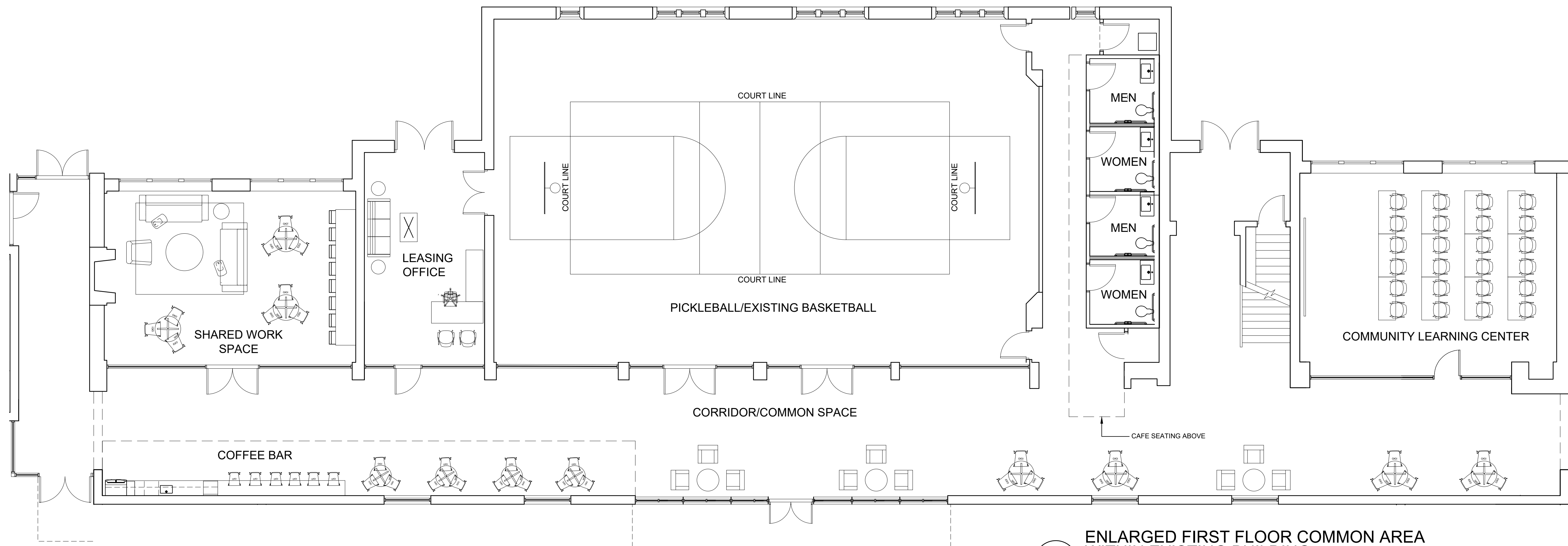
UNIT COUNT PER FLOOR					
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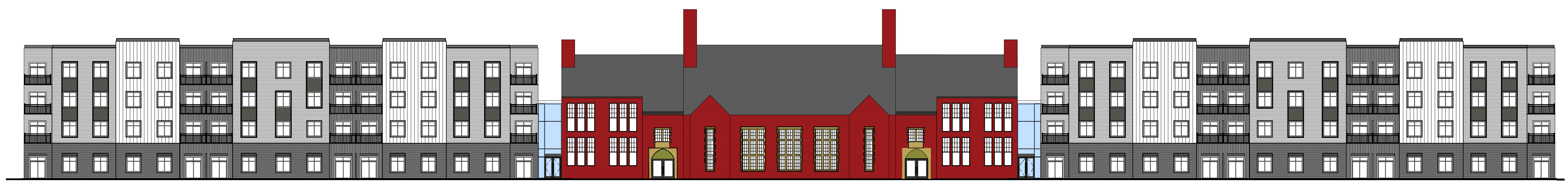
FIRST FLOOR/SITE PLAN
PARKING ON SITE: 193 SPACES
TOTAL PARKING TO MEET CITY REQMTS.: 1.5 PER UNIT= 192 SPACES



**ENLARGED SECOND FLOOR COMMON AREA
WITHIN EXISTING BUILDING**
103.02
A.103 SCALE: 1/8"=1'-0"



**ENLARGED FIRST FLOOR COMMON AREA
WITHIN EXISTING BUILDING**
103.01
A.103 SCALE: 1/8"=1'-0"



201.03 WEST ELEVATION
A.201 NOT TO SCALE



T.O. PARAPET @ 50'-4"
B.O. ROOF @ 46'-4"
FOURTH FLOOR @ 35'-4"
THIRD FLOOR @ 24'-4"
SECOND FLOOR @ 13'-4"
GRADE @ 0'-0"

Project title

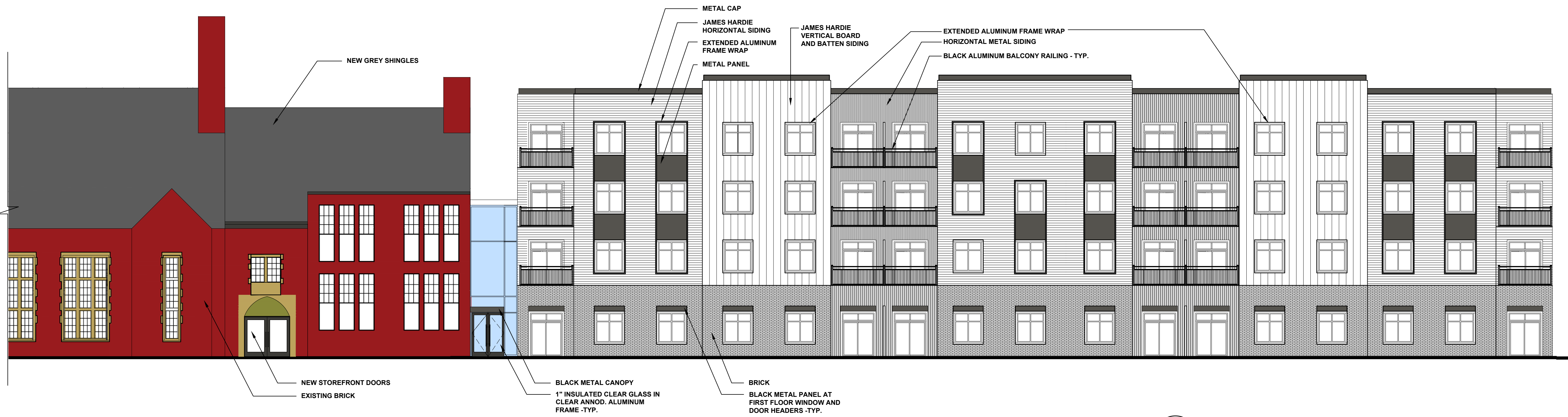
PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

201.02 ENLARGED WEST ELEVATION
A.201 SCALE: 3/32"=1'-0"

Issued dr/ch

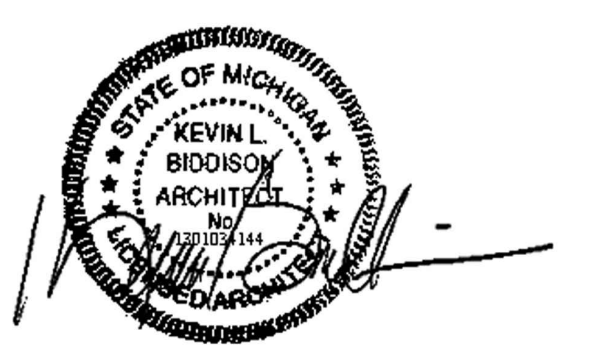
SITE PLAN REVIEW 10.18.24



T.O. PARAPET @ 50'-4"
B.O. ROOF @ 46'-4"
FOURTH FLOOR @ 35'-4"
THIRD FLOOR @ 24'-4"
SECOND FLOOR @ 13'-4"
GRADE @ 0'-0"

Sheet title

EXTERIOR ELEVATIONS



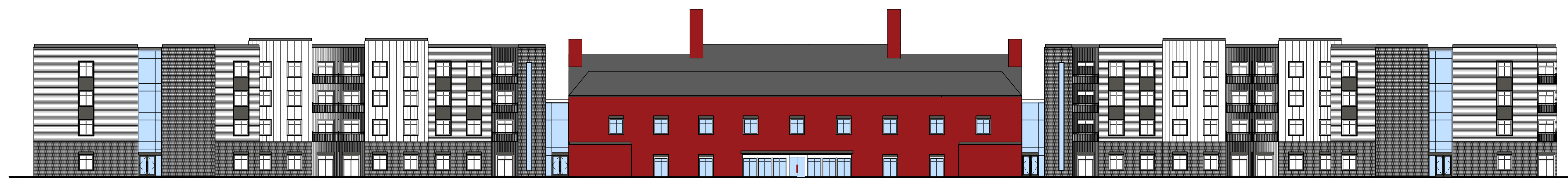
Project no.

2118-24

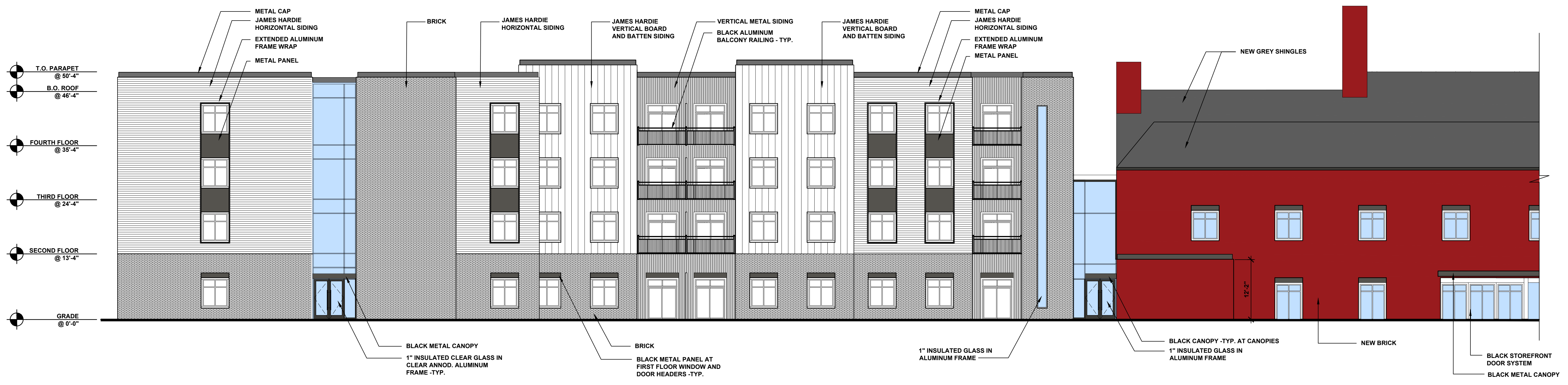
201.01 ENLARGED WEST ELEVATION
A.201 SCALE: 3/32"=1'-0"

Sheet no.

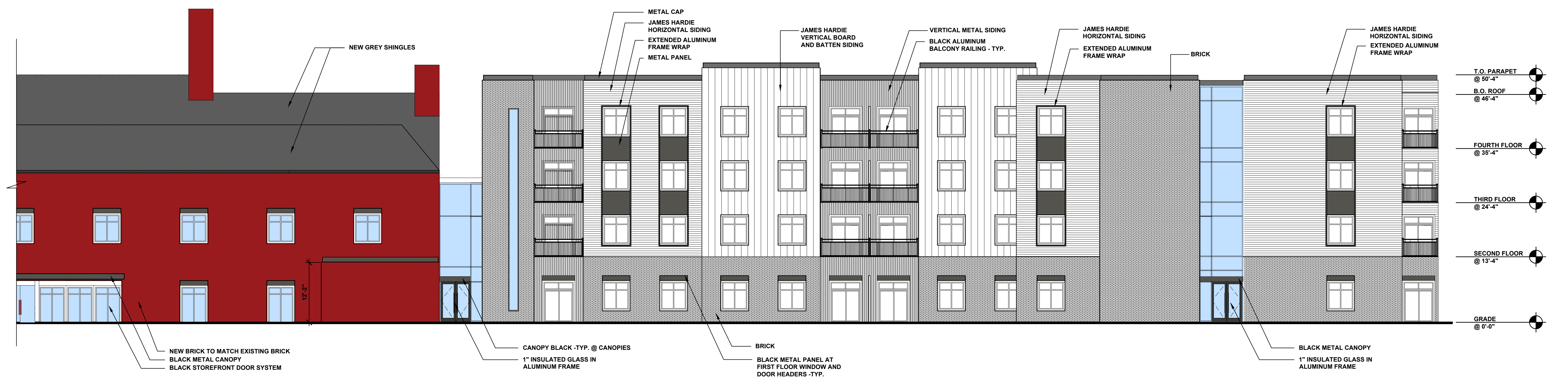
A.201



202.03 EAST ELEVATION
A.202 NOT TO SCALE



202.02 ENLARGED EAST ELEVATION
A.202 SCALE: 3/32"=1'-0"



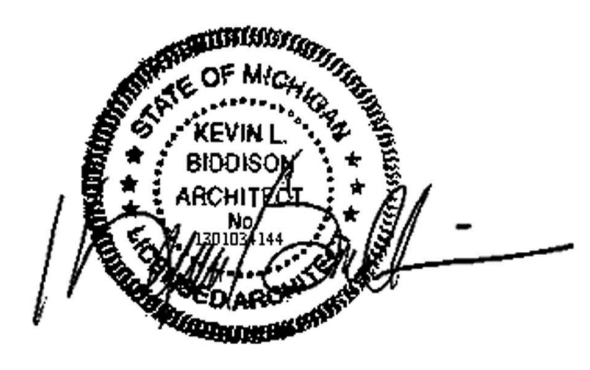
202.01 ENLARGED EAST ELEVATION
A.202 SCALE: 3/32"=1'-0"

Project title
PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

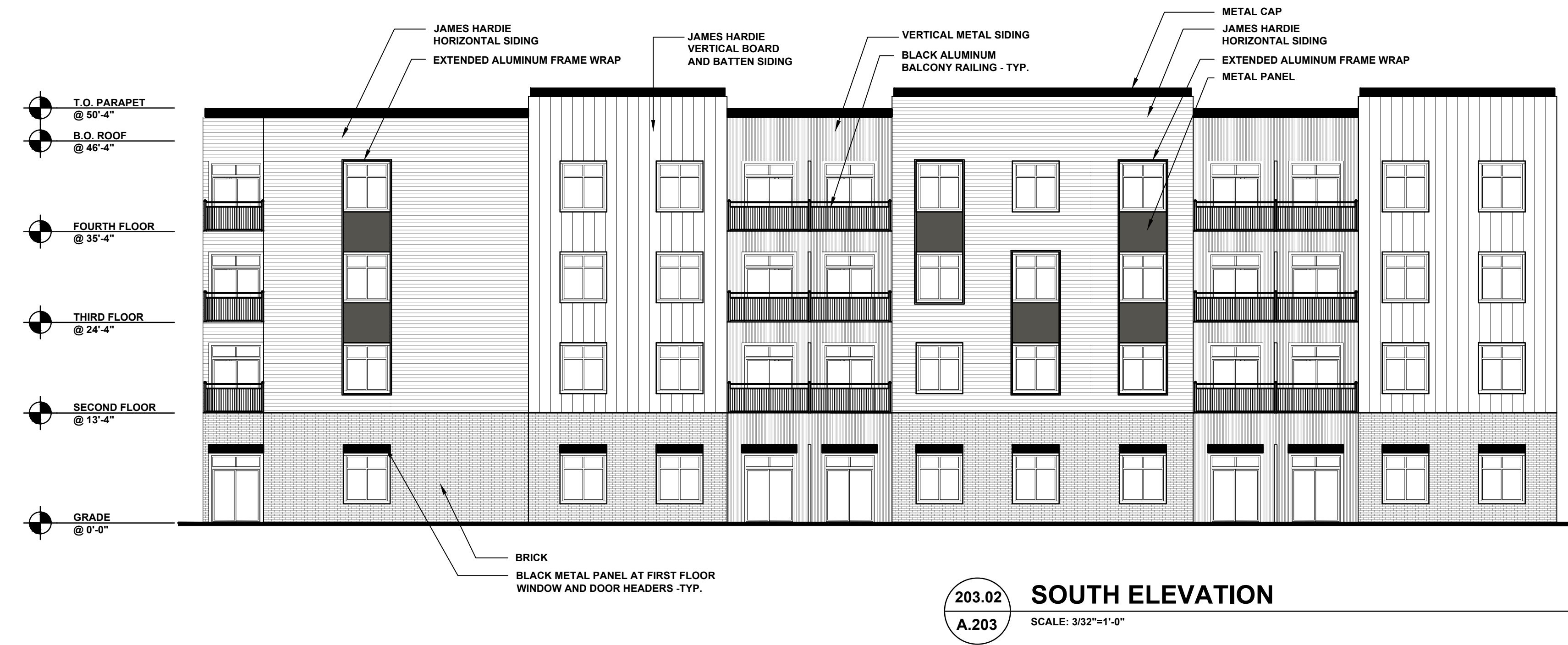
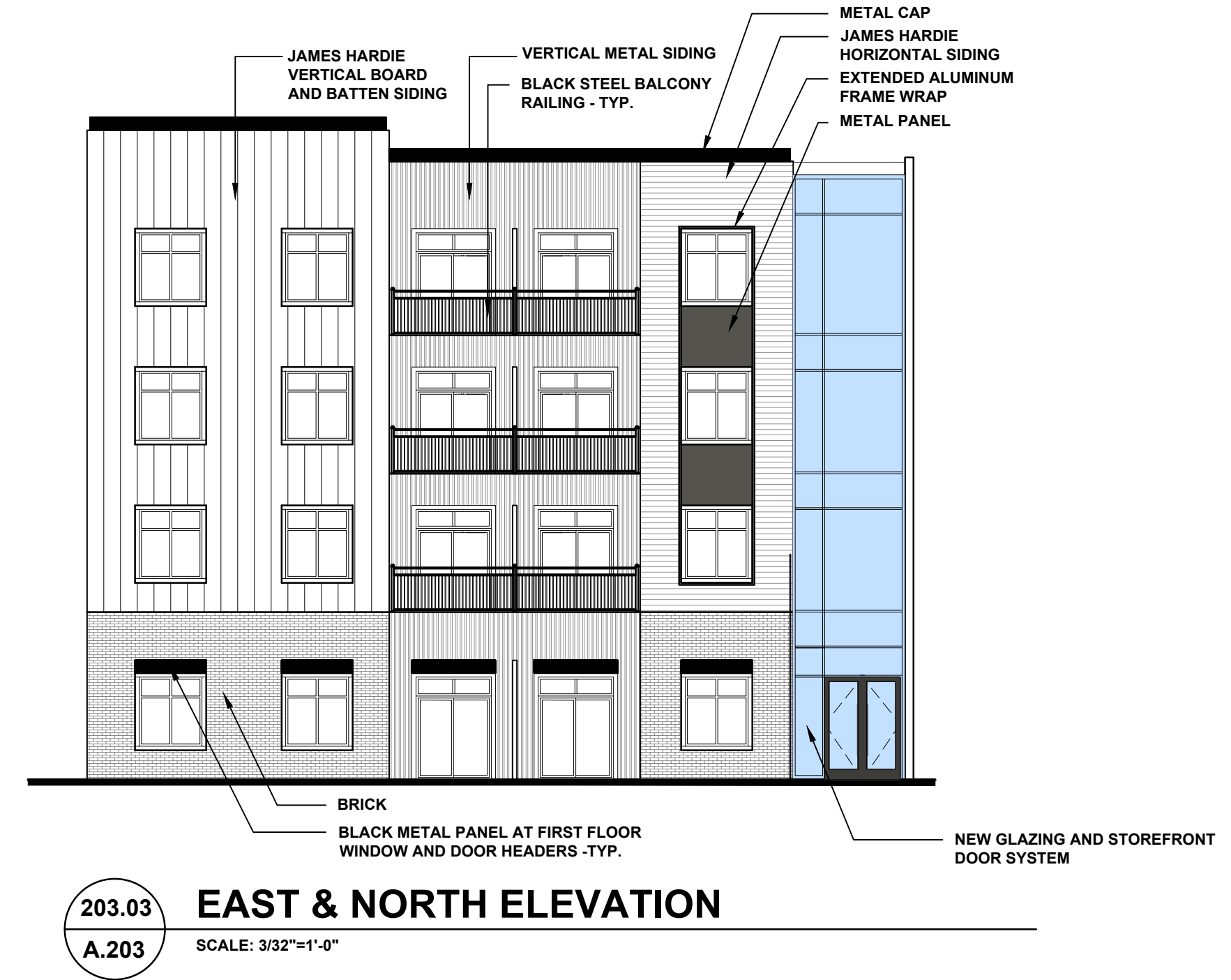
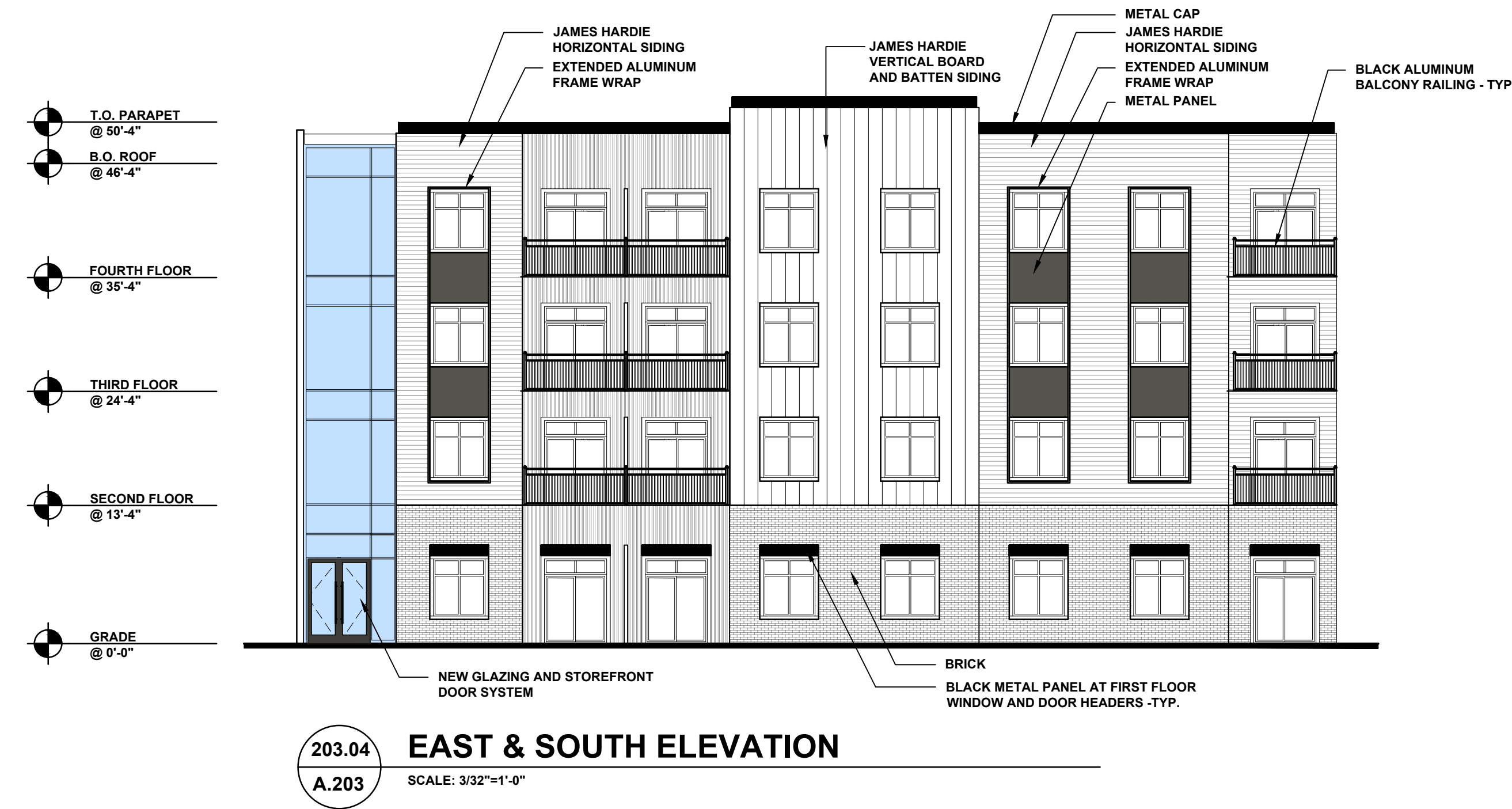
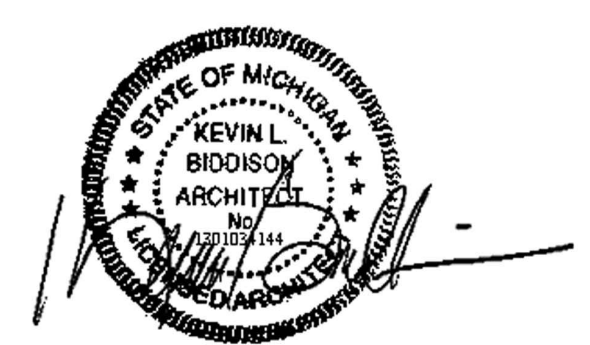
Issued dr/ch
SITE PLAN REVIEW 10.18.24

Sheet title
EXTERIOR ELEVATIONS



Project no.
2118-24

Sheet no.
A.202





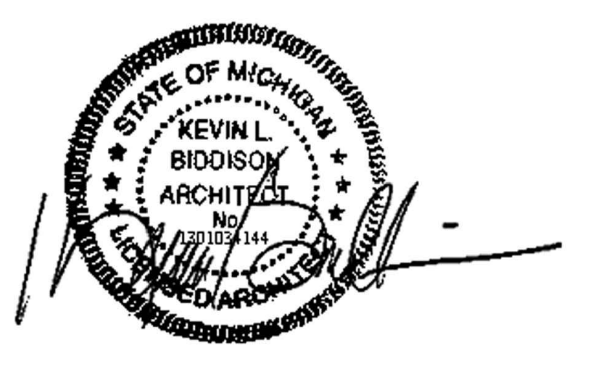
PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

SITE PLAN REVIEW 10.18.24



**EXTERIOR
RENDERINGS**



2118-24

A.301



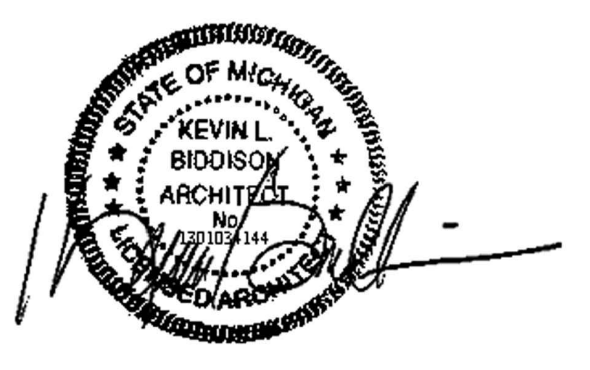
PROPOSED BUILDING ADDITION FOR:
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Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

SITE PLAN REVIEW 10.18.24



**EXTERIOR
RENDERINGS**



2118-24

A.302



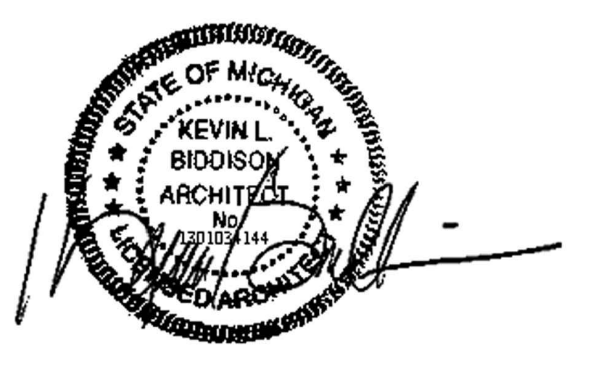
PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

SITE PLAN REVIEW 10.18.24

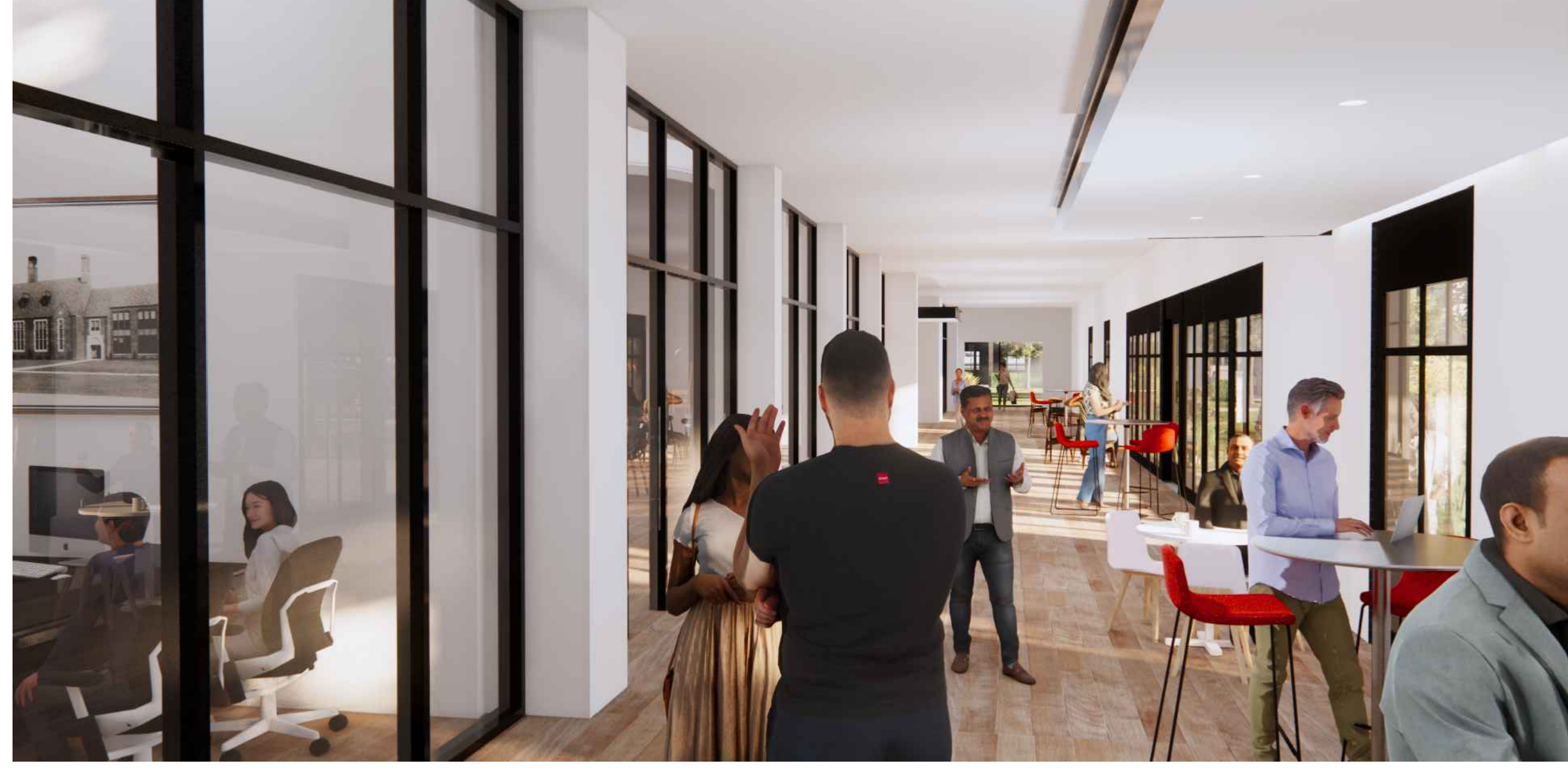
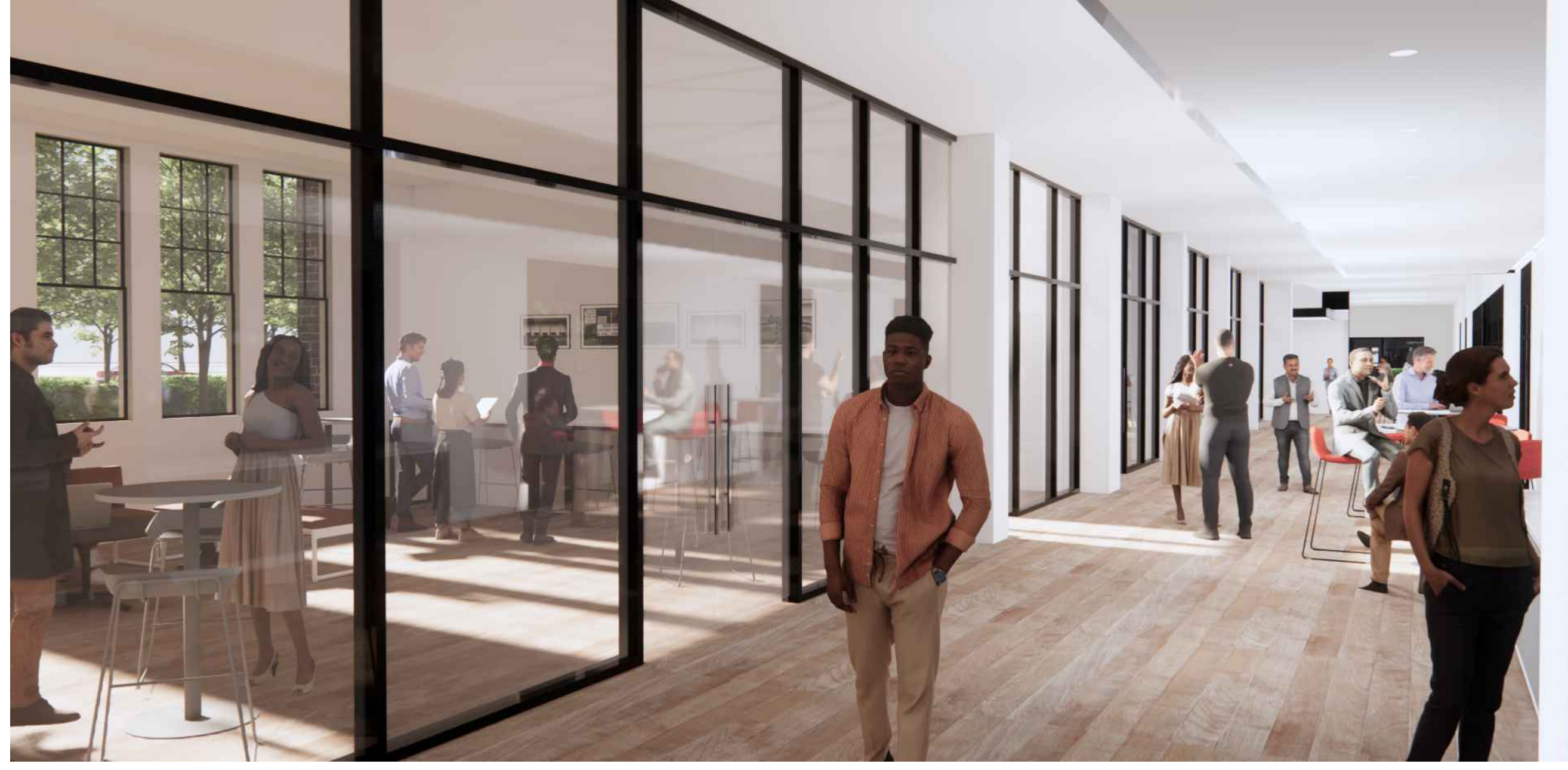


**EXTERIOR
RENDERINGS**



2118-24

A.303

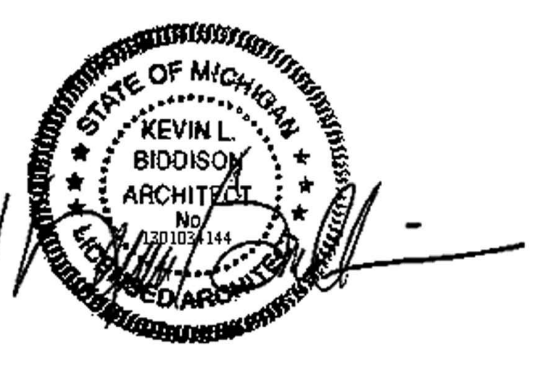


PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

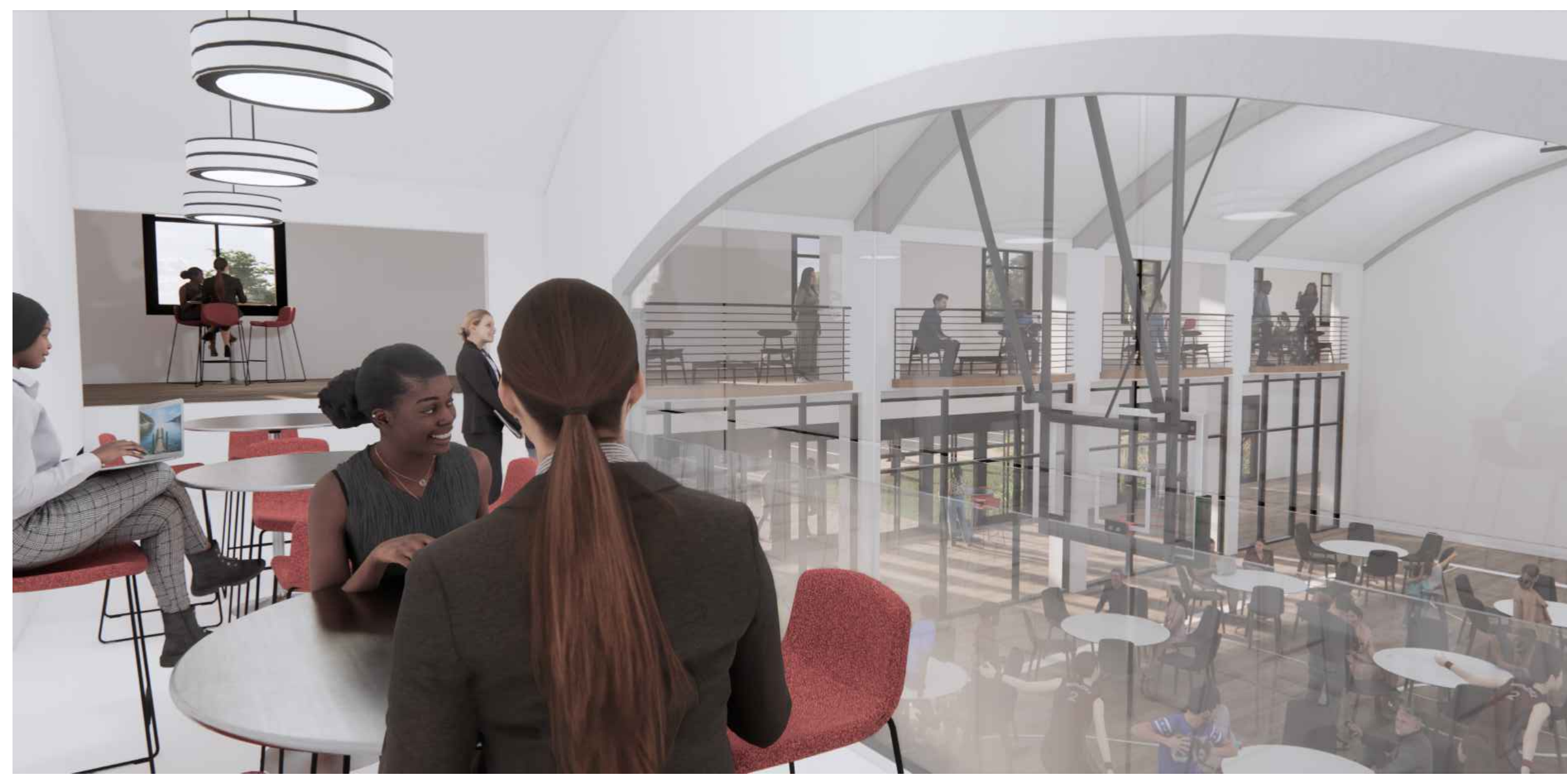
SITE PLAN REVIEW 10.18.24

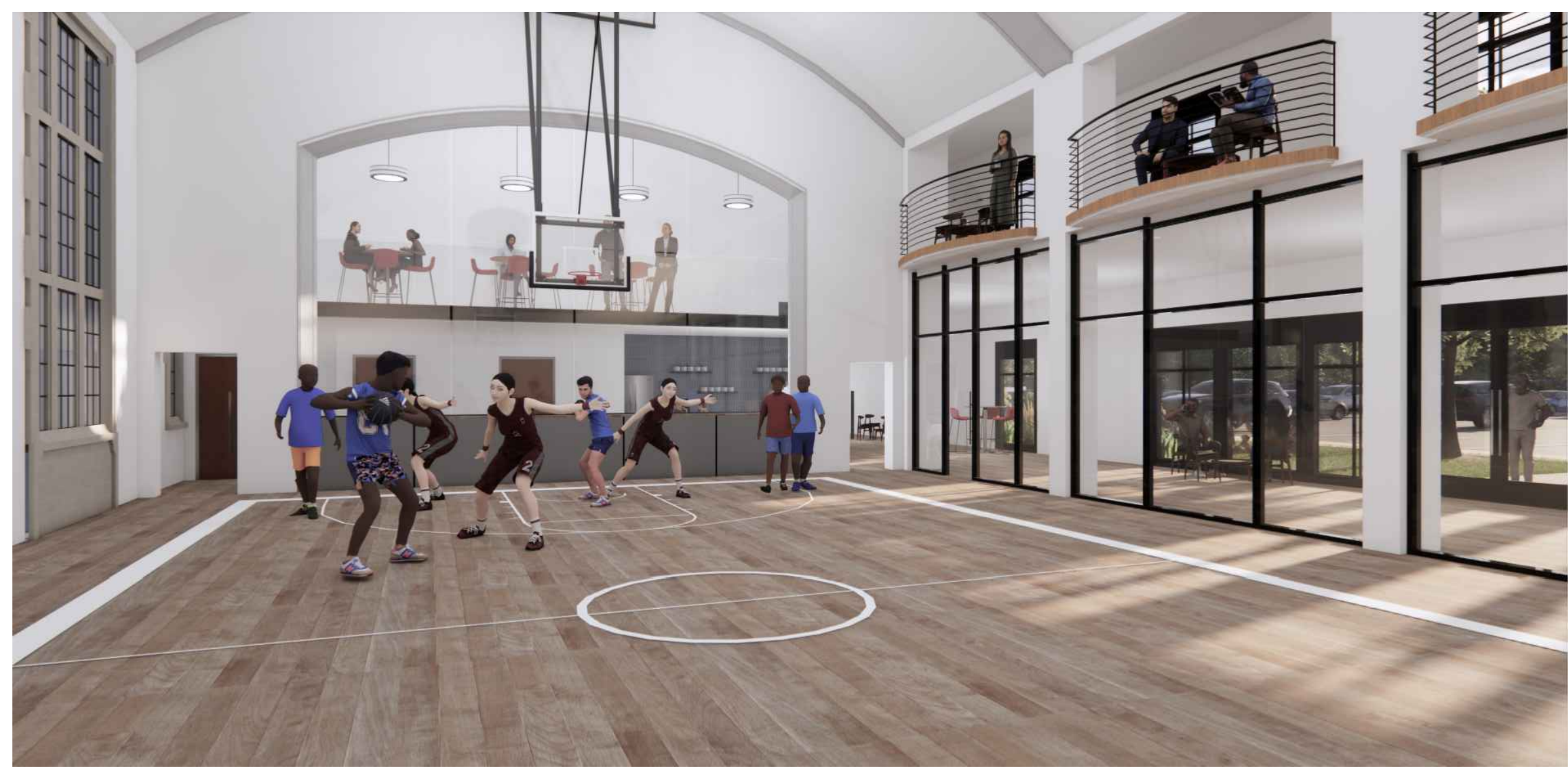
**INTERIOR
RENDERINGS**



2118-24

A.304

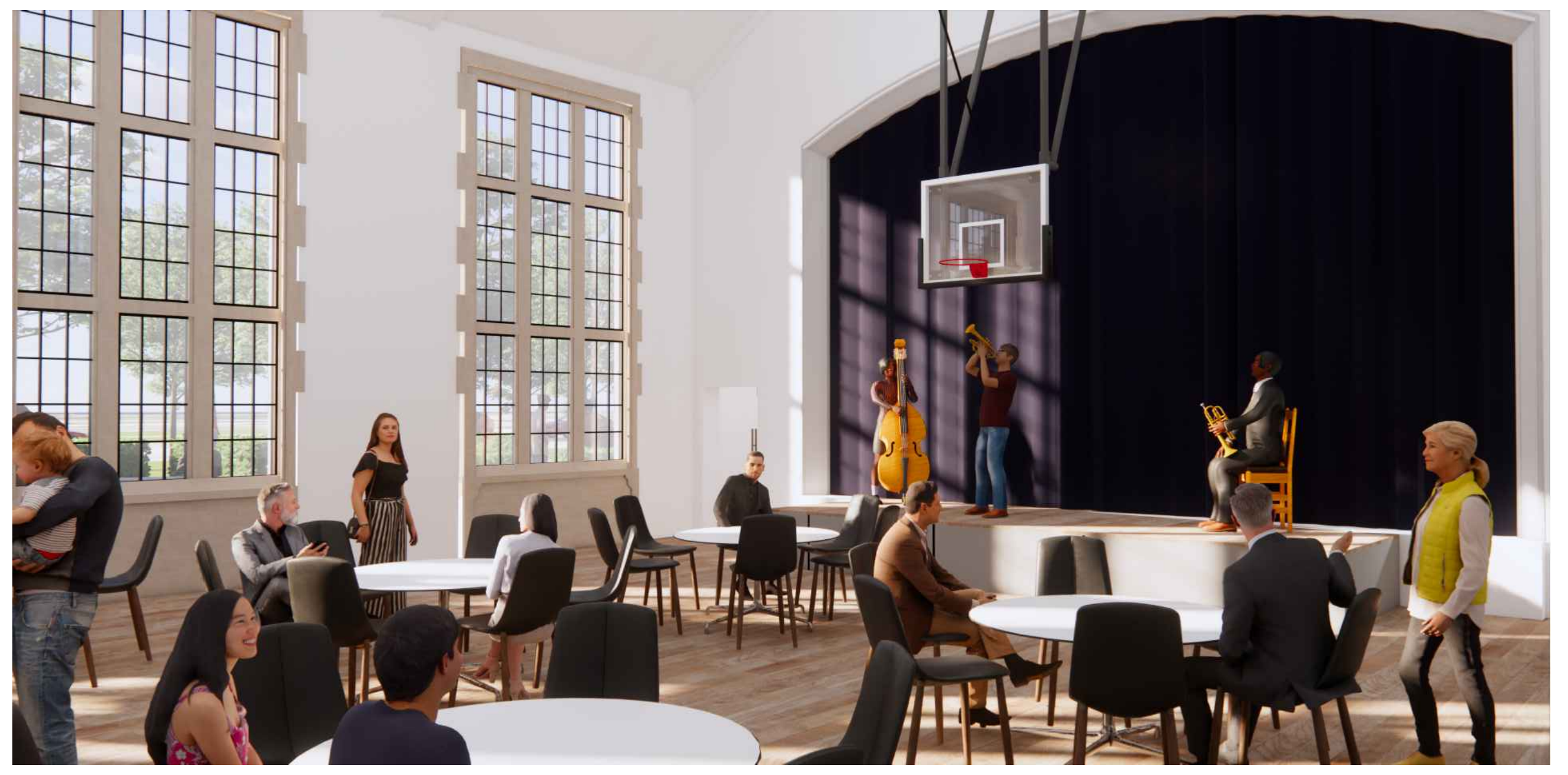




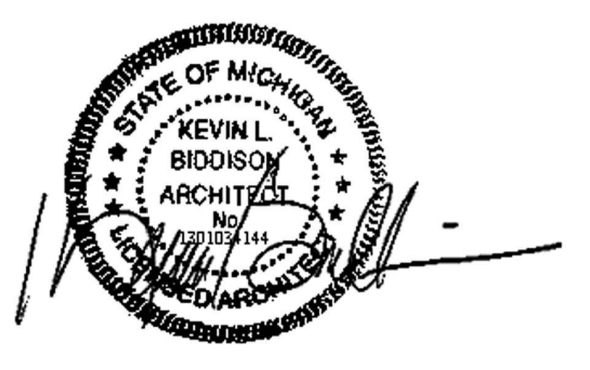
PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

27700 Southfield Road
Lathrup Village, MI 48076

SITE PLAN REVIEW 10.18.24

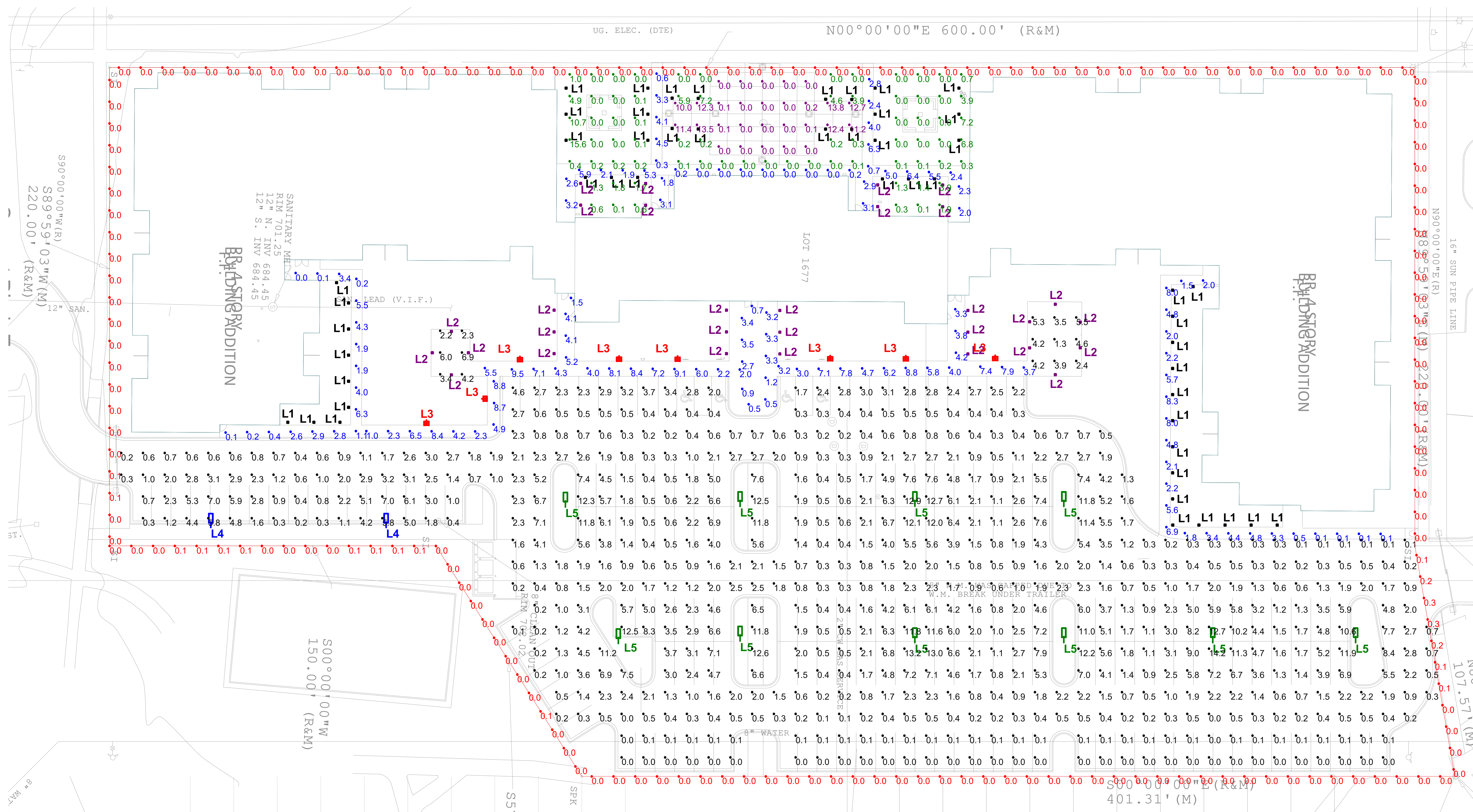


**INTERIOR
RENDERINGS**



2118-24

A.305

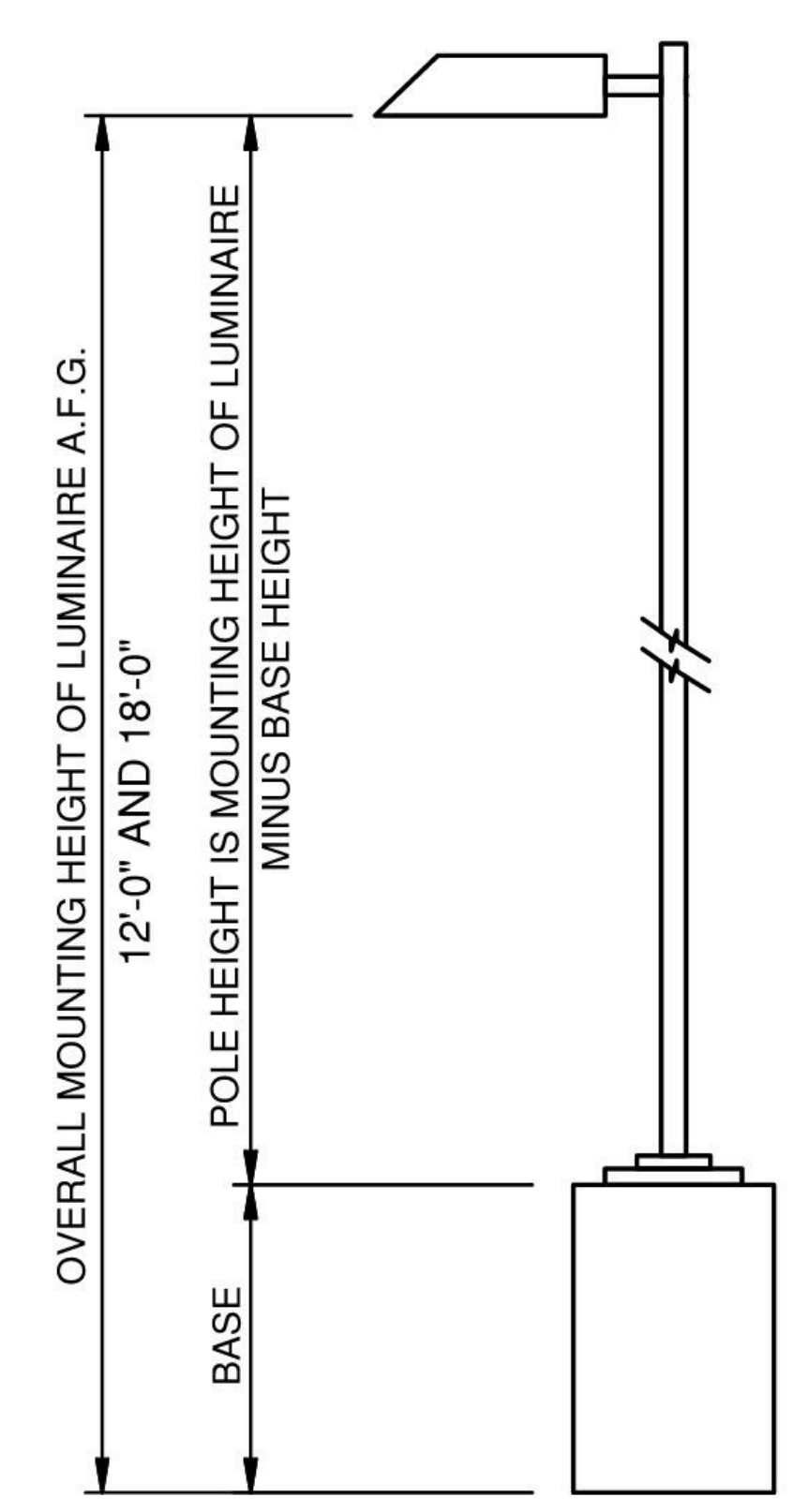


Scale: 1 inch= 20 Ft.

Luminaire Symbol	Qty	Label	LLF	Description	Lum. Watts	Lum. Lumens	Mounting Height
	50	L1	0.870	LIGMAN PRA-10001-T3-W30-X-X-F-DIM - FROSTED LENS, 0-10V DIM	7.6	576	3.25
	30	L2	0.870	LIGMAN PRA-10001-T4-W30-F-DIM - FROSTED LENS, 0-10V DIM	7.6	607	3.25
	8	L3	0.870	LIGMAN LI-21241-T3--X-X-X-DIM-F- FROSTED LENS, 0-10V DIM, COORDINATE POLE HEIGHT WITH CONCRETE BASE - VERIFY WITH ARCHITECT	54.9	4950	12
	2	L4	0.870	LIGMAN ULI-21172-T4-W30-X-X-X-DIM-F-HSS - FROSTED LENS, 0-10V DIM, COORDINATE POLE HEIGHT WITH CONCRETE BASE - VERIFY WITH ARCHITECT	105	7730	18
	10	L5	0.870	LIGMAN ULI-21291-T5-W30-X-X-X-DIM-F - FROSTED LENS, 0-10V DIM, COORDINATE POLE HEIGHT WITH CONCRETE BASE - VERIFY WITH ARCHITECT	155	18764	18

Calculation Summary Label	Units	Avg	Max	Min	Max/Min	Avg/Min
Barbeque Area	Fc	3.88	5.5	1.3	4.23	2.98
Dog Park	Fc	4.17	6.9	2.2	3.14	1.90
Main Walkways	Fc	3.91	9.5	0.0	N.A.	N.A.
Parking Lot	Fc	2.30	14.2	0.0	N.A.	N.A.
Plaza Area	Fc	3.49	13.8	0.0	N.A.	N.A.
Plaza Green Space Areas	Fc	1.24	15.6	0.0	N.A.	N.A.
Property Line	Fc	0.01	0.3	0.0	N.A.	N.A.
Walkways Adjacent Plaza Area	Fc	2.43	6.4	0.0	N.A.	N.A.

CALCULATIONS ARE TAKEN AT GRADE.



NOTES:
 THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF LAYOUT TO EXISTING/FUTURE FIELD CONDITIONS AND ALL MANDATORY BUILDING AND LIFE SAFETY CODES AND COMPLIANCE.
 LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS/LEDS AND OTHER VARIABLE FIELD CONDITIONS.
 MOUNTING HEIGHTS INDICATED ARE FROM GRADE TO BOTTOM OF LUMINAIRE LENS OR FROM FLOOR TO BOTTOM OF LUMINAIRE LENS, UNLESS OTHERWISE NOTED.
 CLARUS DOES NOT ACT AS THE ELECTRICAL, CIVIL OR STRUCTURAL ENGINEER AND DOES NOT DETERMINE BASE REQUIREMENTS AND APPLICABLE CODE COMPLIANCE. CLARUS IS NOT LIABLE FOR ANY CODE COMPLIANCE DISCREPANCY.
 LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT OF RECORD IS RESPONSIBLE TO REVIEW FOR CODE COMPLIANCE, INCLUDING AND NOT LIMITED TO: NFPA 101 LIFE SAFETY CODE, MICHIGAN ENERGY CODE, MICHIGAN BUILDING CODE AND/OR IECC CODE, LIGHTING QUALITY COMPLIANCE AND LOCAL LIGHTING ORDINANCES.
 FOR SITE PLAN PHOTOMETRICS, THE USE OF ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

PROJECT TITLE
**LATHRUP VILLAGE MULTI-FAMILY
 LATHRUP VILLAGE, MI**

SHEET TITLE
**PHOTOMETRIC CALCULATION
 SITE**

DATE
20-21-24

PROJECT No.
CLC24-121915

SHEET No.
L201

REVISION
XX

DATE

30775 Barrington St.
 Madison Heights, MI 48071
 P: 248.677.0850
 F: 248.677.0512
 E: info@clarus-lighting.com

CLARUS
 LIGHTING & CONTROLS

November 19, 2024

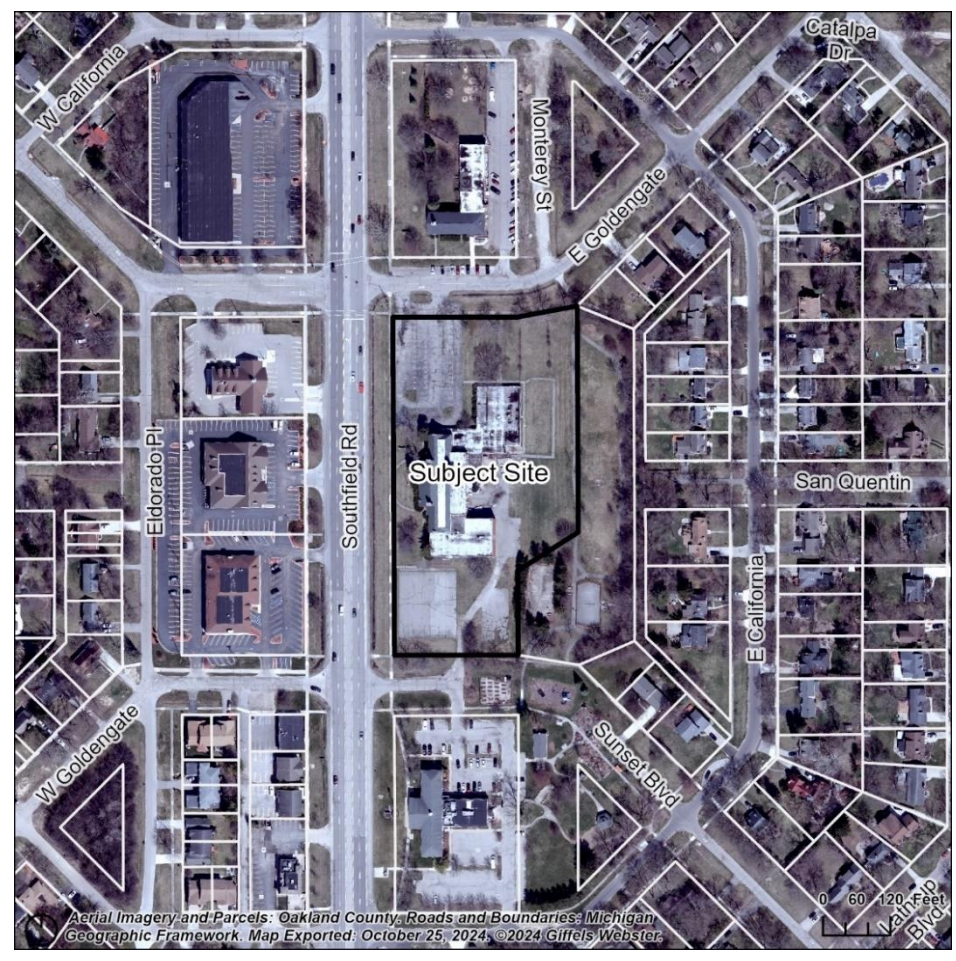
Planning Commission
City of Lathrup Village
27400 Southfield Road
Lathrup Village, MI 48076

Site Plan Review

Site: 27700 Southfield Road
Applicant: Akiva Investments, LLC
Plan Date: October 21, 2024
Zoning: VC Village Center District
Parcel ID: 24-13-303-021
Proposal: Mixed Use: Residential & Commercial

Dear Planning Commissioners,

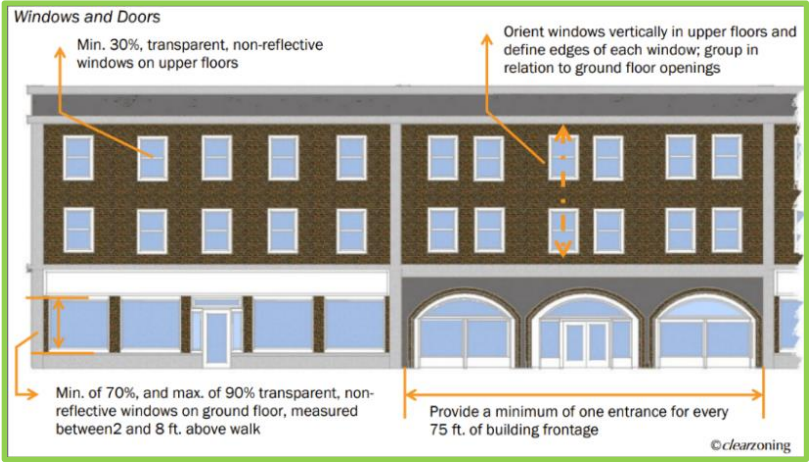
We have reviewed the site plan application and a summary of our findings is below. Items in **bold** require specific action by the applicant.



REVIEW SUMMARY

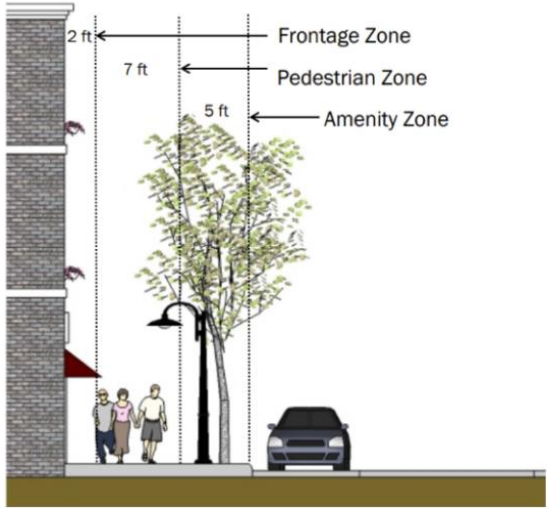
The following are outstanding items that are required to be addressed, corrected, and/or revised prior to the next submittal for site plan review. **Bolded** text emphasizes where action shall be taken by the applicant:

- 1. Multi-family residential use is not permitted on the ground floor of buildings in the Village Center District. We recommend that the Planning Commission consider an amendment to the ordinance that would allow for multi-family residential uses on the ground floor of developments in the Village Center District. Sect. 3.1.8.B.



- 2. The proposed north and south building placements do not comply with the **Build-to-Line standards of the Village Center District and shall be revised.** Sects. 3.1.8.C., 3.1.8.D.

- 3. Unique to the Village Center zoning district, **all areas between the building and the street curbs shall be paved** in order to create a Frontage Zone, Pedestrian Zone, and Amenity Zone. These zones establish the justification for constructing buildings up to the lot lines. See graphic at right. Sect. 3.1.8.D.1.D.



- 4. **The plans shall identify the location(s) and screening of all mechanical equipment,** whether on the ground or on top of the buildings. Sects. 3.1.8.G.1-2., 3.1.8.H.2.
- 5. The amount of required building materials may not meet the minimum required by the ordinance. The horizontal and vertical metal panels of the upper floors are not a preferred material encouraged in the Village Center District. **A change in materials is required to meet the minimum requirement.** Sects. 3.1.8.E.3.A., 3.1.8.E.4.
- 6. Ground floor windows and doors (transparency requirements) –**plans shall demonstrate compliance.** Sect. 3.1.8.E.2.B.
- 7. **Confirm building signage is not proposed at this time.** Sect. 3.1.8.E.5.E.
- 8. The ordinance allows some flexibility with respect to parking. The **applicant shall indicate how the parking ratio of 1.5 spaces for every dwelling unit was determined. An additional parking determination for the central amenities within the existing historic building shall be included in the overall off-street parking analysis. The plans shall indicate if a reduction in the amount of required parking spaces will be pursued once the parking requirement is verified to be correct.** Additional comments may be issued upon review of the updated plans. Sect. 5.13.13.

9. **The off-street parking facilities require landscape screening as outlined in the ordinance. The north parking lot does not meet setback requirements from Goldengate Dr. and shall be revised.**
Sects. 3.1.8.C., 3.1.8.F.1.B., 3.1.8.F.3., 5.13.6., 5.15.4.A.-D.
10. **The north and south security gates require reconsideration regarding location, vehicular turnarounds, pedestrian conflict, and overall circulation. Revisions to the security gates should include consultation with the City Administration and City Engineer.**
Sect. 5.13.9.M.
11. **Bicycle parking spaces are required to be shown on the plans.**
Sect. 3.1.8.F.5.
12. **Delivery zones / loading zones are required to be shown on the plans.**
Sects. 3.1.8.G.1-2., 5.13.12.
13. **Screening detail of the dumpster enclosures is required.**
Sects. 3.1.8.G.1-2., 5.3.C. & E.
14. **Street furnishings must be shown on the plans.**
Sect. 3.1.8.H.7.A,B.
15. **All landscaping and lighting details as outlined in the following sections:**
Sects. 5.15.1., 5.15.10., 3.1.8.H.2., 3.1.8.H.3.A., 3.1.8.H.5.A., 5.15.11., 3.1.8.H.5.B., 3.1.8.H.5.C., 5.1., 3.1.8.H.6.A., 3.1.8.H.6.B., 3.1.8.H.7.A-B., 3.1.8.H.7.C., 3.1.8.H.8.A-E.

DETAILED REVIEW

Project Summary

The 4.066-acre site is zoned VC – Village Center District and is located in the heart of the city, at the southeast corner of Southfield Road and Goldengate Drive. The existing building, known as the former Annie Lathrup School, has been vacant for a number of years and consists of two floors and 29,810 square feet at the ground level. The original school building was constructed in 1926 and is included in the Lathrup Village Local Historic District. Two additional building wings were constructed in the 1950s and are planned to be removed as part of the redevelopment project. Parcels on all sides of the site are zoned VC-Village Center. Given the unique proposed use of multi-family residential on the ground floor, the applicant will be required to address a number of Village Center zoning standards with revised plans. In order to pursue multi-family residential units on the ground floor in the VC District, the City shall consider amending the ordinance to allow for such usages subject to approval by the Planning Commission.

Proposed

1. **Use.** The applicant intends to renovate the original 1920s school building for a mix of uses primarily focused on amenity space for residents/tenants of the development and the greater community. Two new, 4-story residential apartment wings on both the north and south sides of the renovated school, will connect the residential units to the middle amenity spaces. Off-street parking for the development will be provided in a surface lot on the east side (rear) of the buildings.

The exterior architectural details of the historic school building will be preserved and restored. The interior renovation will include a mix of recreational and shared community meeting, gathering, and learning spaces, with a purposeful preservation of historic details.

A surface parking lot is proposed behind the building and no direct vehicular access will be taken from Southfield Road. Residents and guests will access the buildings by entryways adjacent to the parking lot; however, the front of the building is designed to engage walkable pedestrian and amenity zones, with a central gathering space in front of the point of interest that is the existing historic building. East of the parking lot is the Annie Lathrup Park, which currently serves as the central open space of the community and is anticipated to serve as an important amenity accessible to the residents and patrons of the proposed development.

Plan revisions are required before this application is complete and ready for the next Planning Commission meeting agenda. Please refer to the attached markup files for additional comments and information.

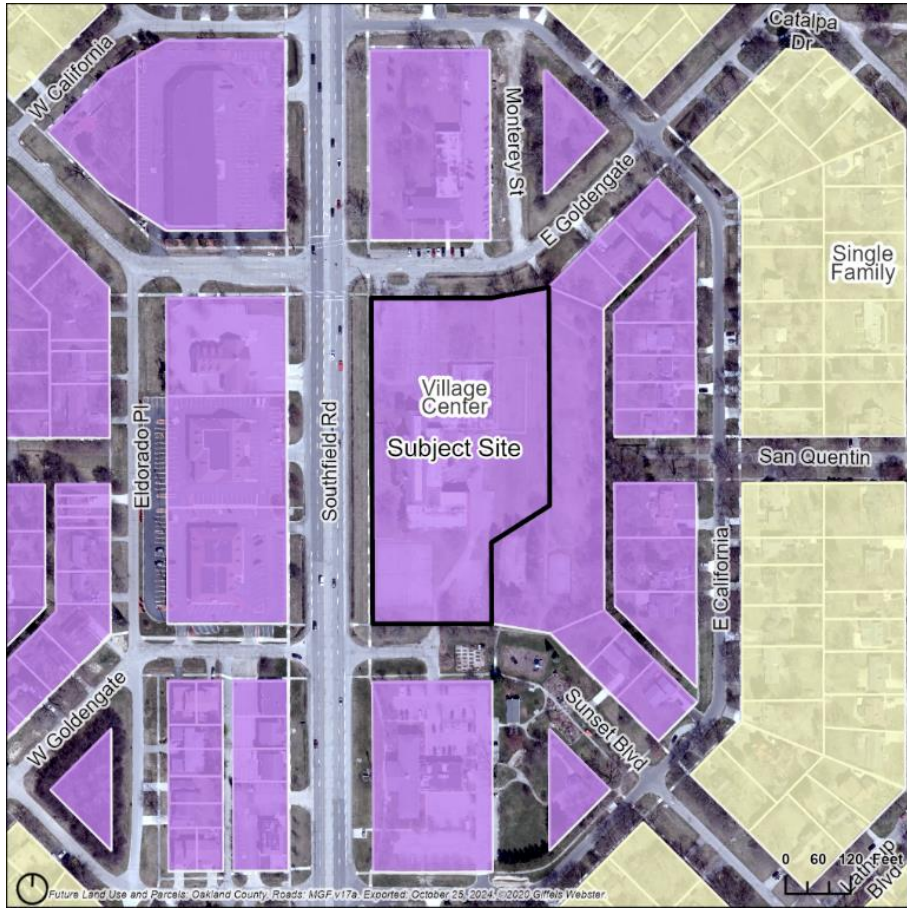
We are available to answer questions pertaining to this site plan review.

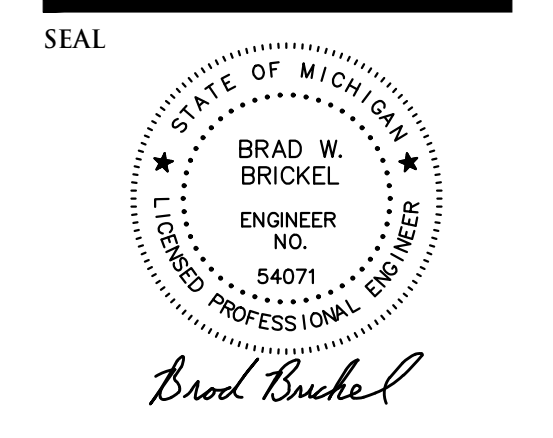
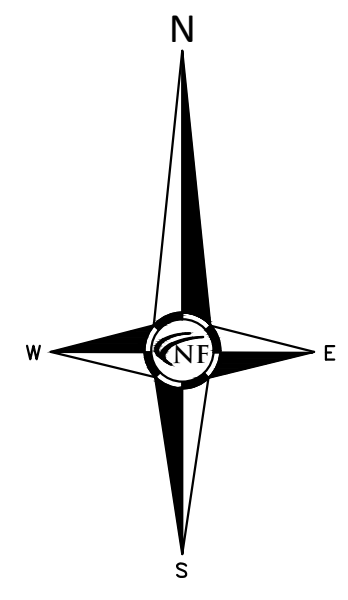
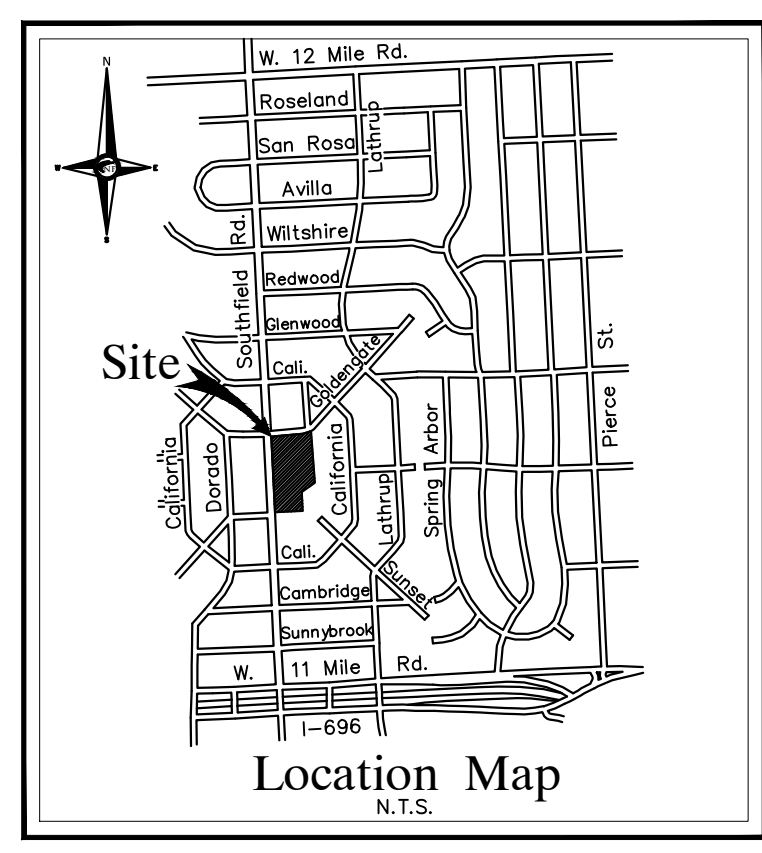
Regards,
Giffels Webster

Jill S. Bahm
Jill Bahm, AICP
Partner

Eric M. Pietsch
Eric Pietsch
Senior Planner

Zoning.





PROJECT 27700 Southfield Road Lathrup Village, MI 48076

CLIENT The Surnow Company

Contact: Sam Surnow Phone: 248.865.3000 x 102 Email: sam@surnow.com

PROJECT LOCATION Part of the SW 1/4 of Section 13 T.1N., R.10E., City of Lathrup Village, Oakland County, Michigan

What is the use classification for the non-res components & how much parking do they require?

Only 4 barrier free spaces provided.

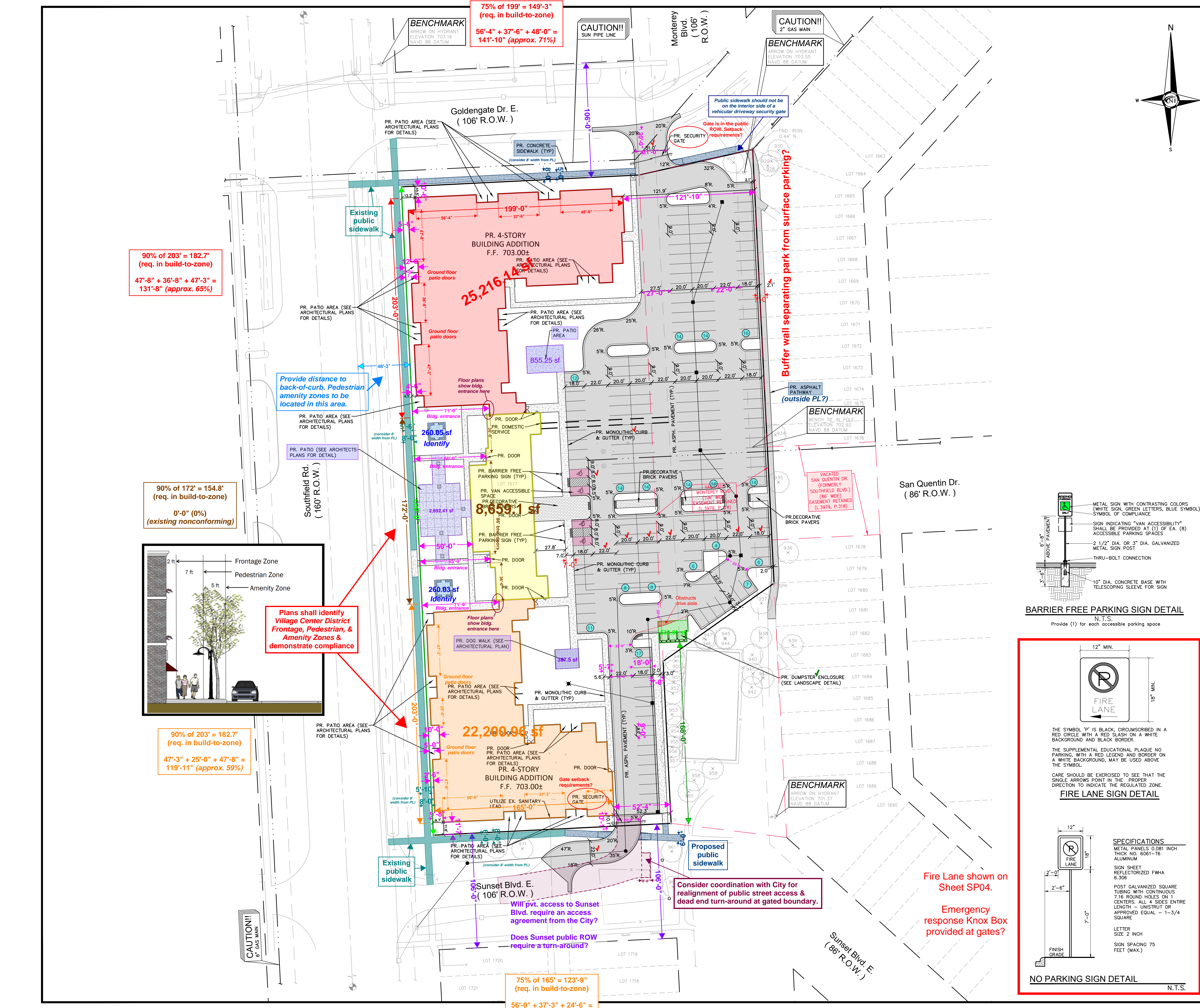
Know what's below 2'-6" provided (see south wing)

Location of 10'x40' loading berth?

Include required bicycle parking in site data table. 3.1.8.F.5.

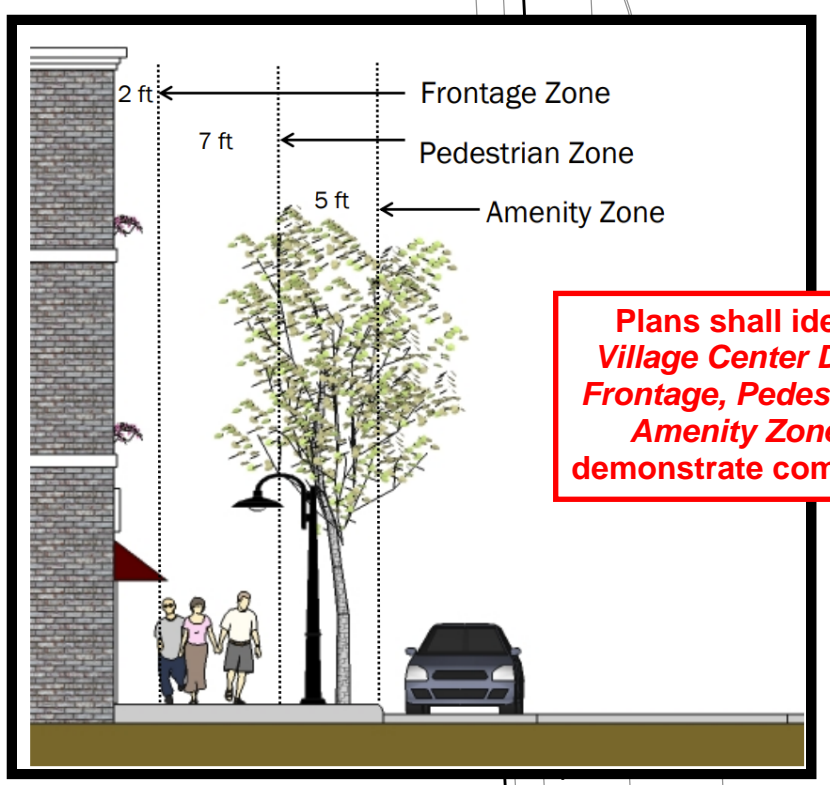
DRAWN BY: J. Lawrey DESIGNED BY: A. Eizember APPROVED BY: B. Brickel DATE: October 17, 2024

SCALE: 1" = 40' SHEET NO. SP03



90% of 203' = 182.7' (req. in build-to-zone) 47'-8" + 36'-8" + 47'-3" = 131'-8" (approx. 65%)

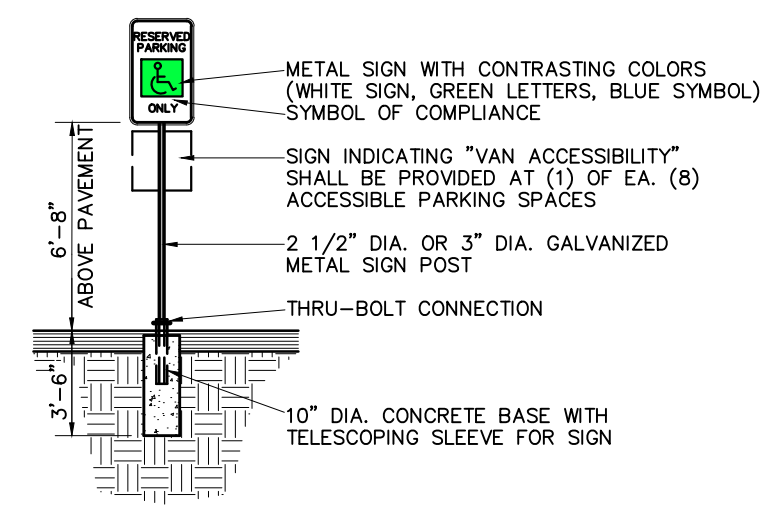
90% of 172' = 154.8' (req. in build-to-zone) 0'-0" (0%) (existing nonconforming)



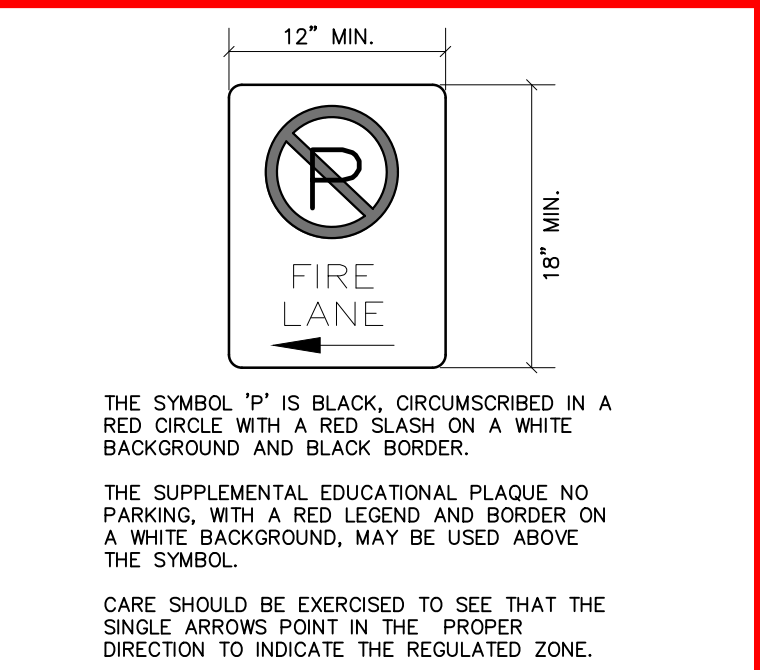
Plans shall identify Village Center District Frontage, Pedestrian, & Amenity Zones & demonstrate compliance

90% of 203' = 182.7' (req. in build-to-zone) 47'-3" + 25'-0" + 47'-8" = 119'-11" (approx. 59%)

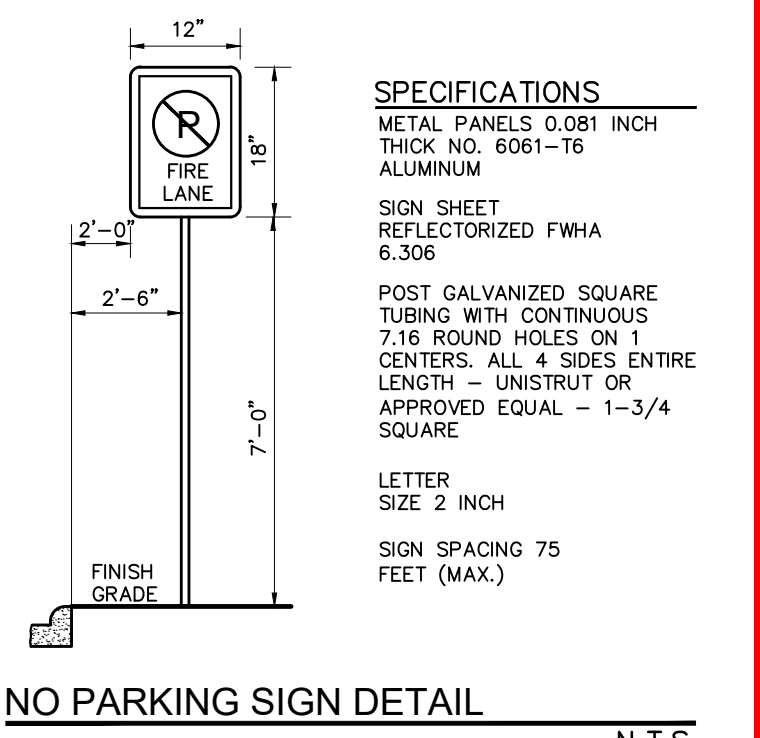
75% of 165' = 123'-9" (req. in build-to-zone) 56'-0" + 37'-3" + 24'-6" = 117'-9" (approx. 71%)



BARRIER FREE PARKING SIGN DETAIL Provide (1) for each accessible parking space



FIRE LANE SIGN DETAIL



NO PARKING SIGN DETAIL

NOTES REFER TO SHEETS SP05-SP05.1 FOR PAVING & GRADING PLANS REFER TO SHEETS SP07 FOR PRELIMINARY UTILITY PLANS REFER TO SHEETS SP08 FOR ADDITIONAL PROJECT NOTES AND DETAILS (TYP)

Table with columns for SITE DATA, ZONING, PARKING, and SETBACK REQUIREMENTS. Includes values for site area, building footprint, and parking spaces.

PAVING LEGEND table with symbols for Proposed Concrete Pavement and Proposed Asphalt Pavement.

LEGEND table with symbols for Manhole, Hydrant, Catch Basin, Utility Pole, and various sewer and water lines.

Fire Lane shown on Sheet SP04. Emergency response Knox Box provided at gates?

Consider coordination with City for realignment of public street access & dead end turn-around at gated boundary.

Will pvt. access to Sunset Blvd. require an access agreement from the City? Does Sunset public ROW require a turn-around?

Provide distance to back-of-curb. Pedestrian amenity zones to be located in this area.

Buffer wall separating park from surface parking?

Gate is in the public ROW. Setback requirements?

Public sidewalk should not be on the interior side of a vehicular driveway security gate

CAUTION!! 2" GAS MAIN

CAUTION!! SUN PIPE LINE

CAUTION!! 2" GAS MAIN

BENCHMARK ARROW ON HYDRANT ELEVATION 703.16 NAVD. 88 DATUM

75% of 199' = 149'-3" (req. in build-to-zone) 56'-4" + 37'-6" + 48'-0" = 141'-10" (approx. 71%)

PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)

PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)

PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)

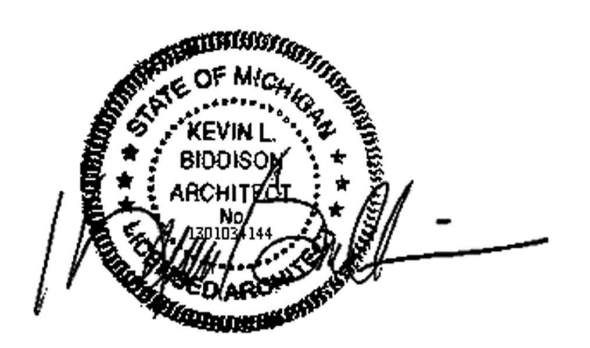
PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)

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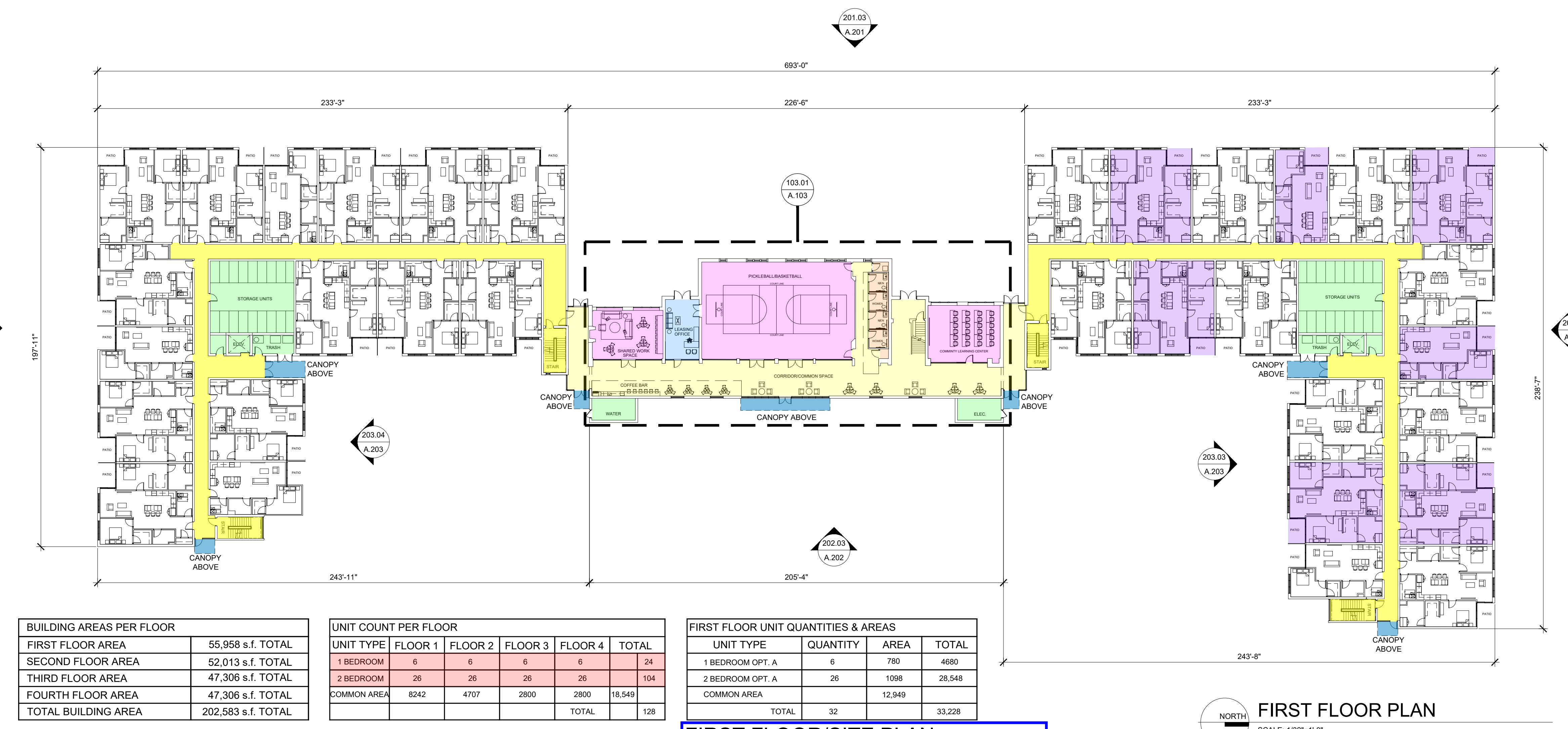
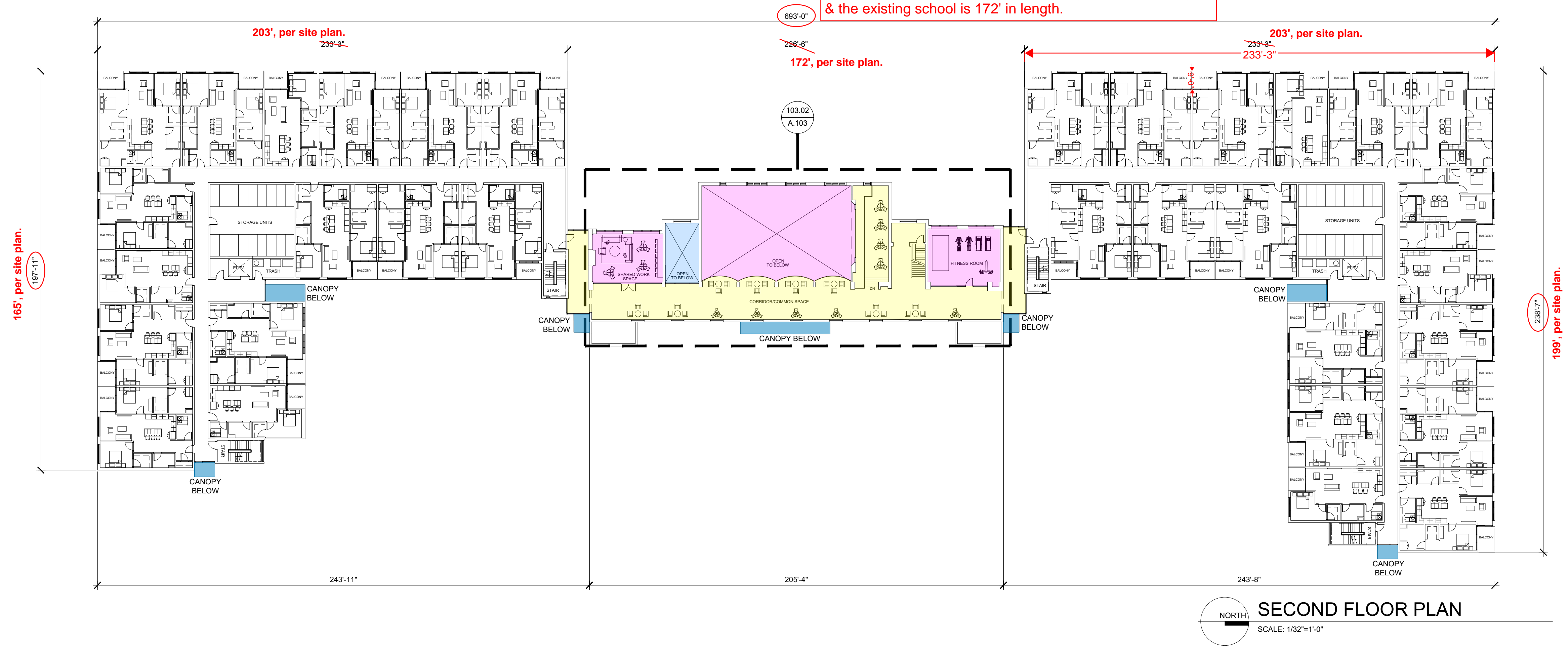
PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)

PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)

PR. PATIO AREA (SEE ARCHITECTURAL PLANS FOR DETAILS)



The floor plans do not represent the correct scale & dimensions. Per the survey, front (west) property line is 600'. The west sides of the north & south wings are 203' in length, & the existing school is 172' in length.

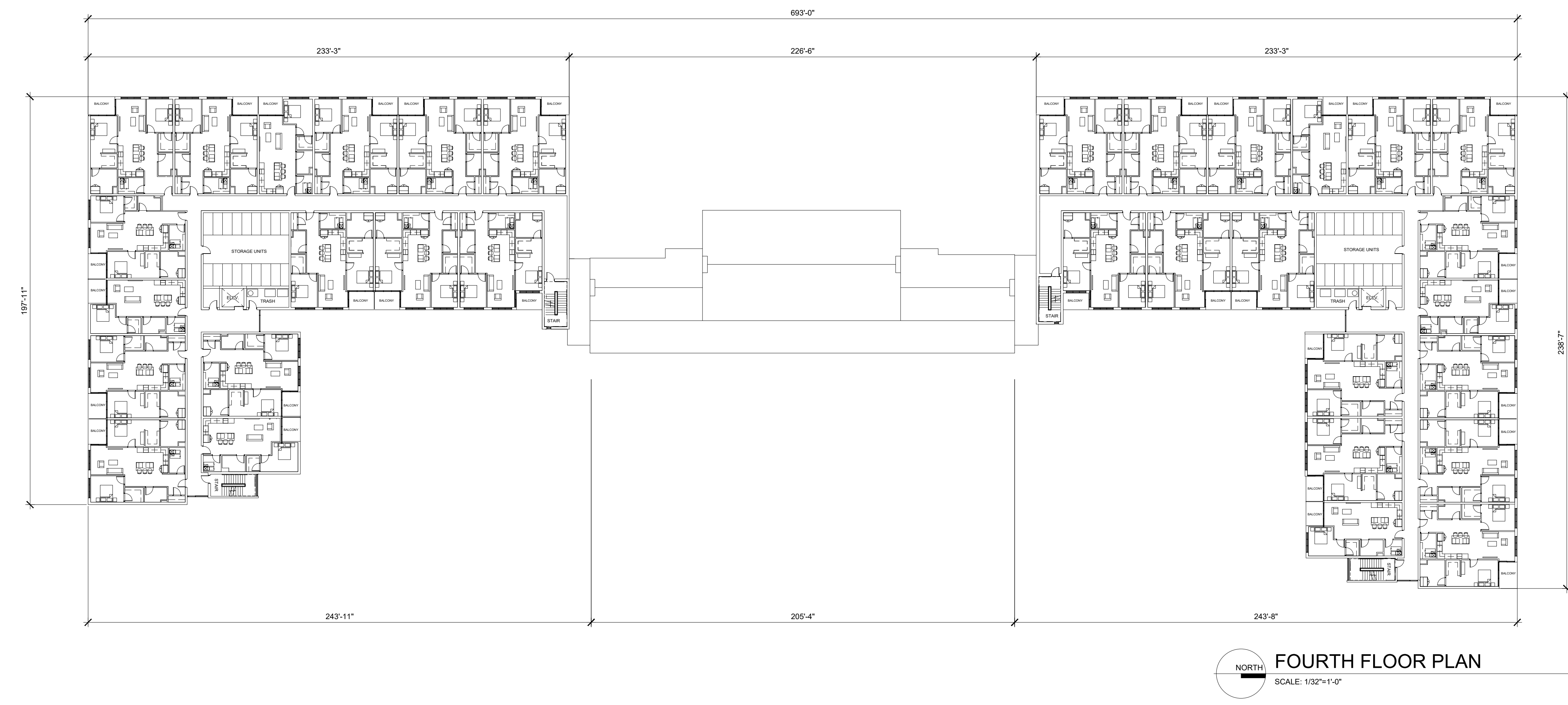
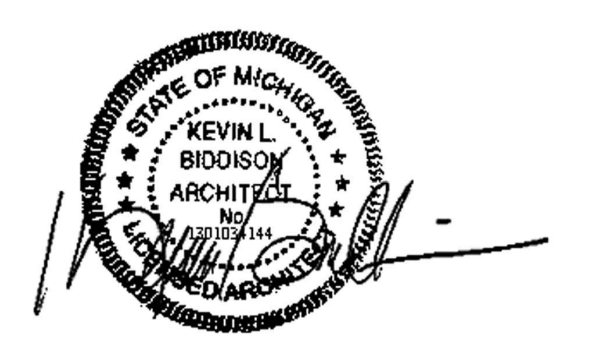


BUILDING AREAS PER FLOOR	
FIRST FLOOR AREA	55,958 s.f. TOTAL
SECOND FLOOR AREA	52,013 s.f. TOTAL
THIRD FLOOR AREA	47,306 s.f. TOTAL
FOURTH FLOOR AREA	47,306 s.f. TOTAL
TOTAL BUILDING AREA	202,583 s.f. TOTAL

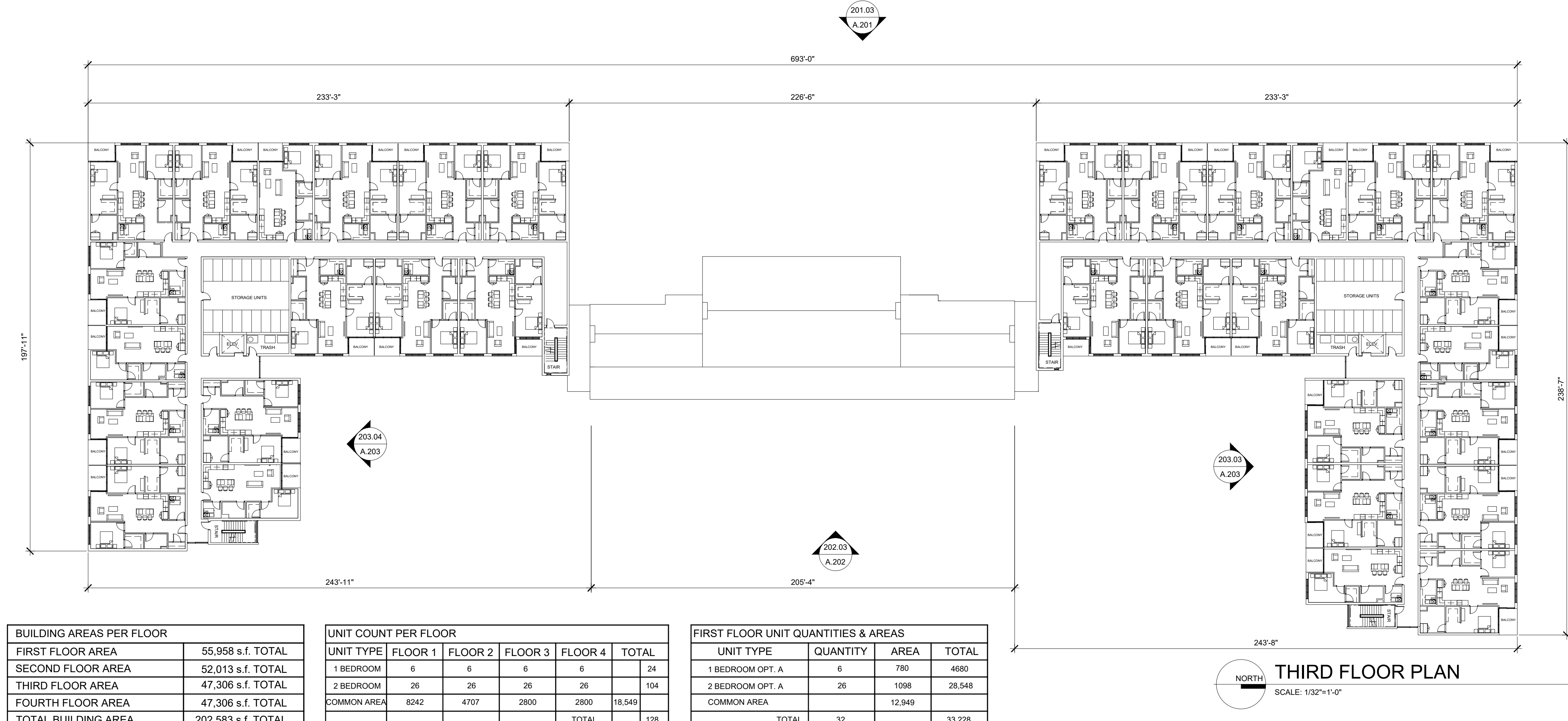
UNIT COUNT PER FLOOR					
UNIT TYPE	FLOOR 1	FLOOR 2	FLOOR 3	FLOOR 4	TOTAL
1 BEDROOM	6	6	6	6	24
2 BEDROOM	26	26	26	26	104
COMMON AREA	8242	4707	2800	2800	18,549
				TOTAL	128

FIRST FLOOR UNIT QUANTITIES & AREAS			
UNIT TYPE	QUANTITY	AREA	TOTAL
1 BEDROOM OPT. A	6	780	4680
2 BEDROOM OPT. A	26	1098	28,548
COMMON AREA		12,949	
TOTAL	32	33,228	

FIRST FLOOR/SITE PLAN
PARKING ON SITE: 193 SPACES
TOTAL PARKING TO MEET CITY REQMTS.: 1.5 PER UNIT= 192 SPACES



FOURTH FLOOR PLAN
SCALE: 1/32"=1'-0"



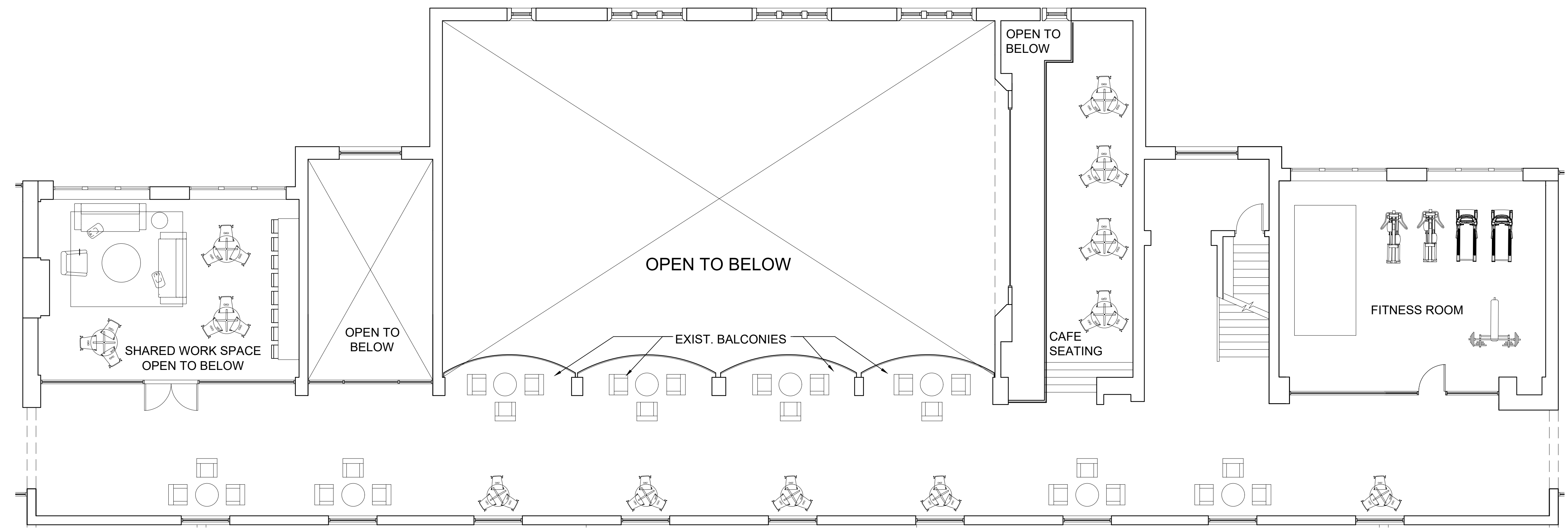
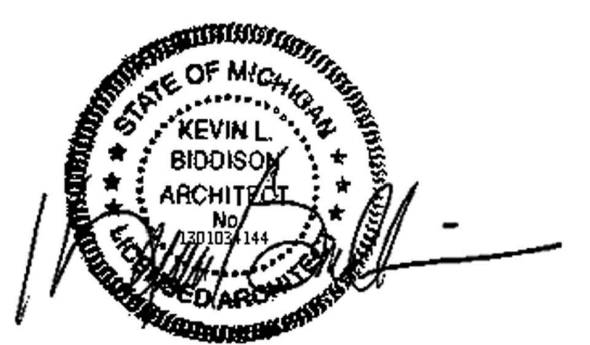
THIRD FLOOR PLAN
SCALE: 1/32"=1'-0"

BUILDING AREAS PER FLOOR	
FIRST FLOOR AREA	55,958 s.f. TOTAL
SECOND FLOOR AREA	52,013 s.f. TOTAL
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FOURTH FLOOR AREA	47,306 s.f. TOTAL
TOTAL BUILDING AREA	202,583 s.f. TOTAL

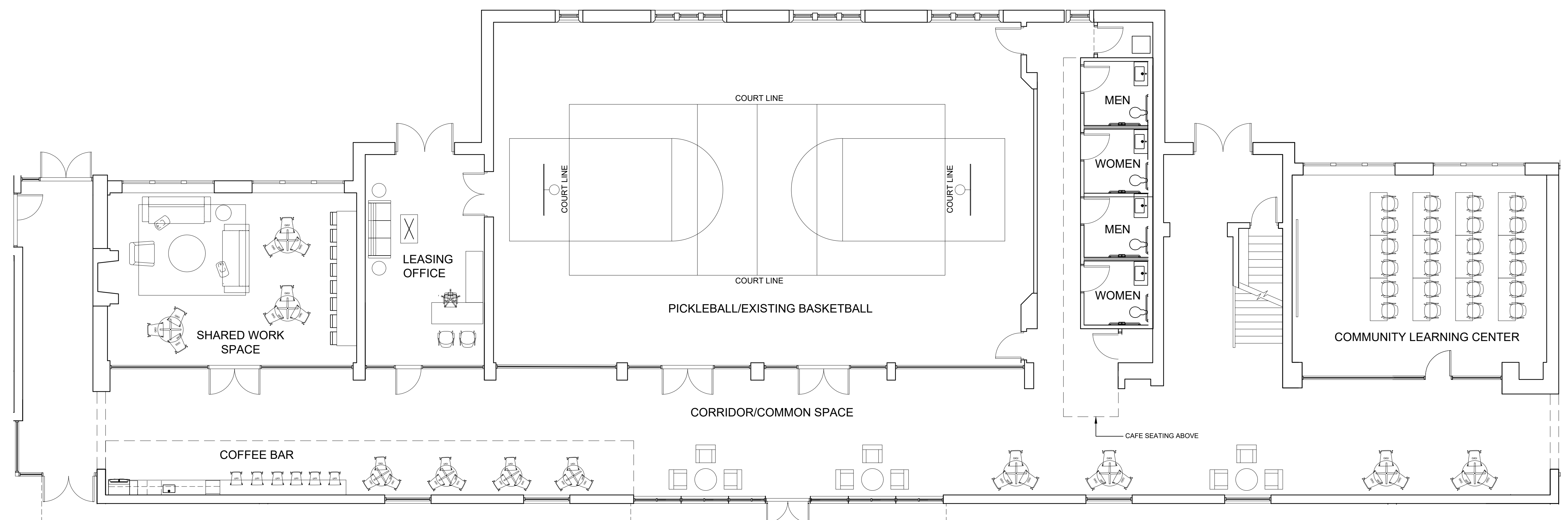
UNIT COUNT PER FLOOR					
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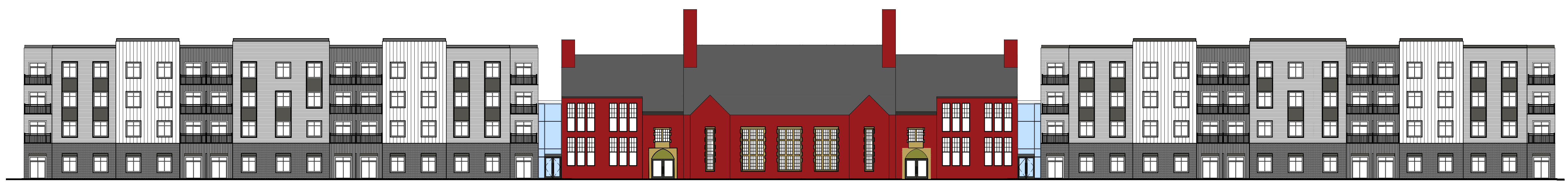
FIRST FLOOR/SITE PLAN
PARKING ON SITE: 193 SPACES
TOTAL PARKING TO MEET CITY REQMTS.: 1.5 PER UNIT= 192 SPACES



**ENLARGED SECOND FLOOR COMMON AREA
WITHIN EXISTING BUILDING**
103.02
A.103 SCALE: 1/8"=1'-0"



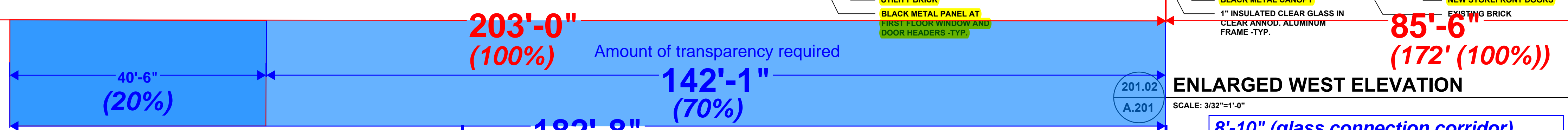
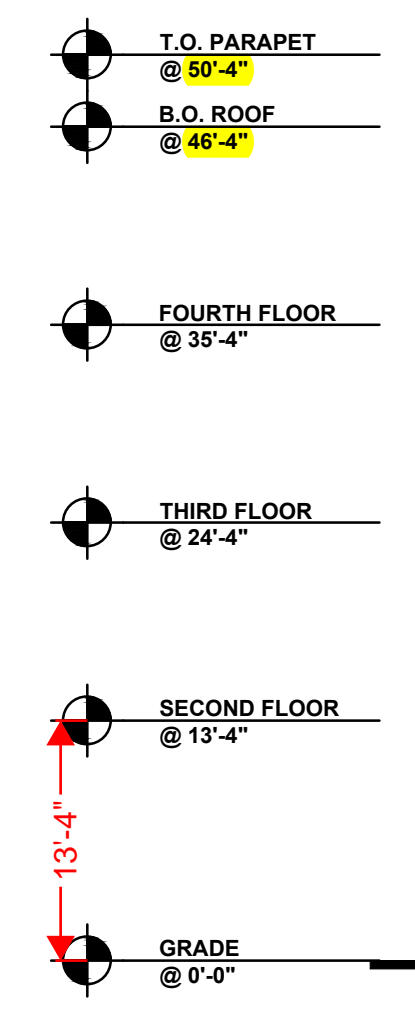
**ENLARGED FIRST FLOOR COMMON AREA
WITHIN EXISTING BUILDING**
103.01
A.103 SCALE: 1/8"=1'-0"



201.03 WEST ELEVATION
A.201 NOT TO SCALE

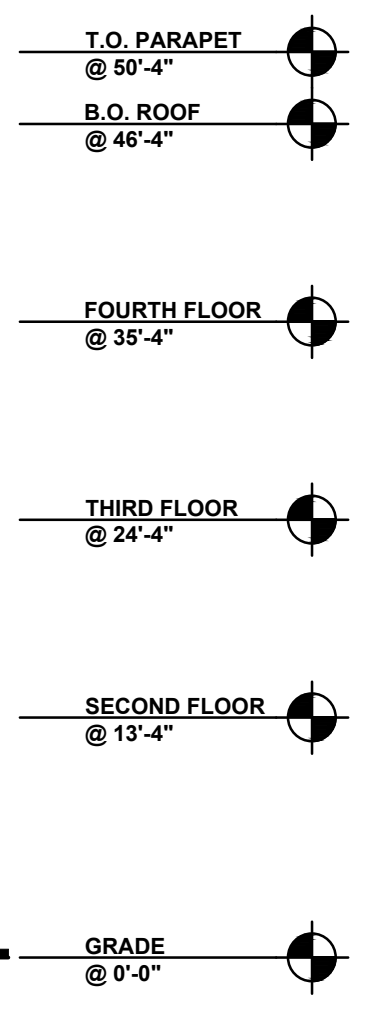
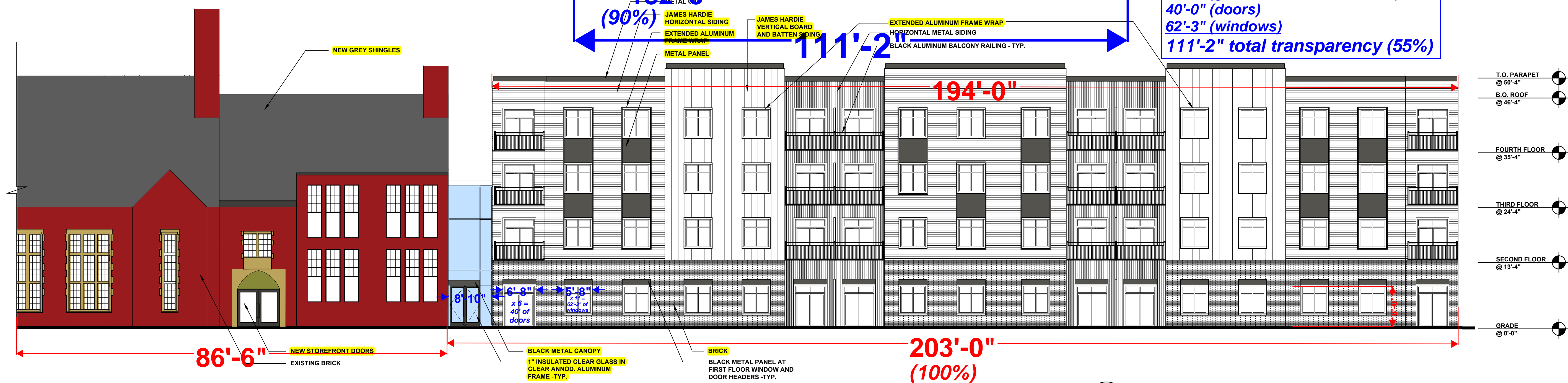
2nd Through 4th Floors
6'-0" x 6 = 36'-0" (balcony doors)
5'-8" x 11 = 62'-3" (windows)
98'-3" total transparency (50%)

Existing Building
2'-10" x 12 = 33'-11" (end windows)
17'-0" (2 sets of doors)
6'-8" (2 columnar windows)
27'-0" (3 center windows)
53'-6" total transparency (31%)



201.02 ENLARGED WEST ELEVATION
SCALE: 3/32"=1'-0"

8'-10" (glass connection corridor)
40'-0" (doors)
62'-3" (windows)
111'-2" total transparency (55%)



203'-0" (100%)
same data as north wing

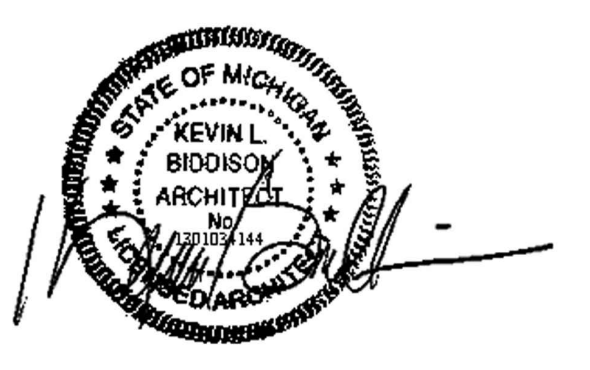
201.01 ENLARGED WEST ELEVATION
A.201 SCALE: 3/32"=1'-0"

Project title
PROPOSED BUILDING ADDITION FOR:
27700 Southfield Rd,
Lathrup Village

27700 Southfield Road
Lathrup Village, MI 48076

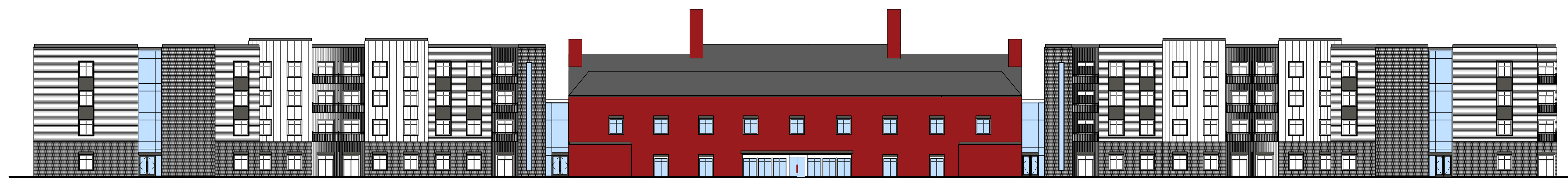
Issued dr/ch
SITE PLAN REVIEW 10.18.24

Sheet title
EXTERIOR ELEVATIONS

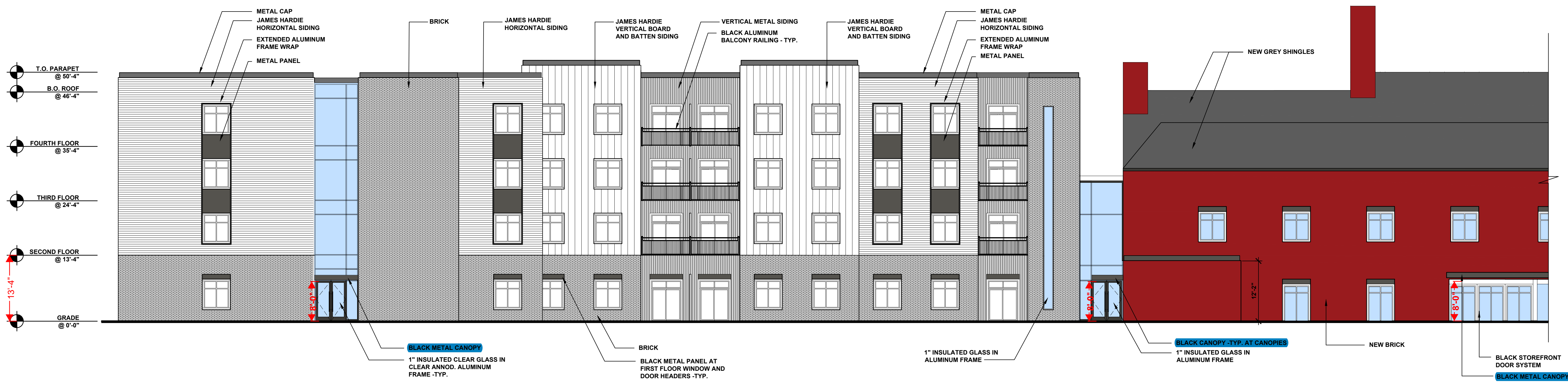


Project no.
2118-24

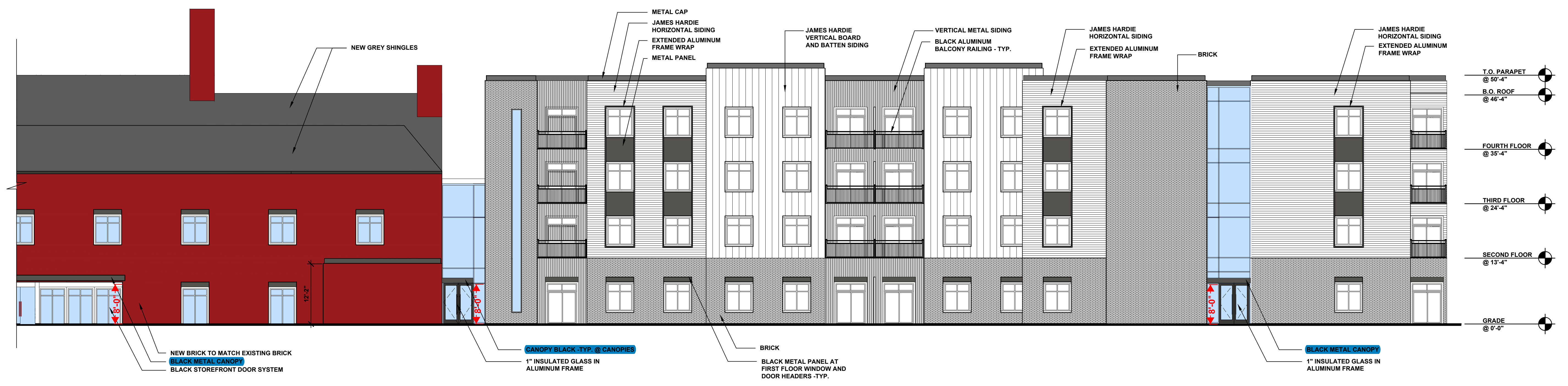
Sheet no.
A.201



202.03 EAST ELEVATION
A.202 NOT TO SCALE



202.02 ENLARGED EAST ELEVATION
A.202 SCALE: 3/32"=1'-0"



202.01 ENLARGED EAST ELEVATION
A.202 SCALE: 3/32"=1'-0"

Project title

PROPOSED BUILDING ADDITION FOR:
**27700 Southfield Rd,
Lathrup Village**

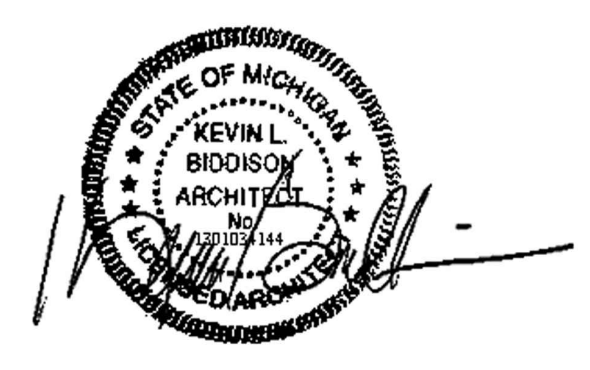
27700 Southfield Road
Lathrup Village, MI 48076

Issued dr/ch

SITE PLAN REVIEW 10.18.24

Sheet title

EXTERIOR ELEVATIONS

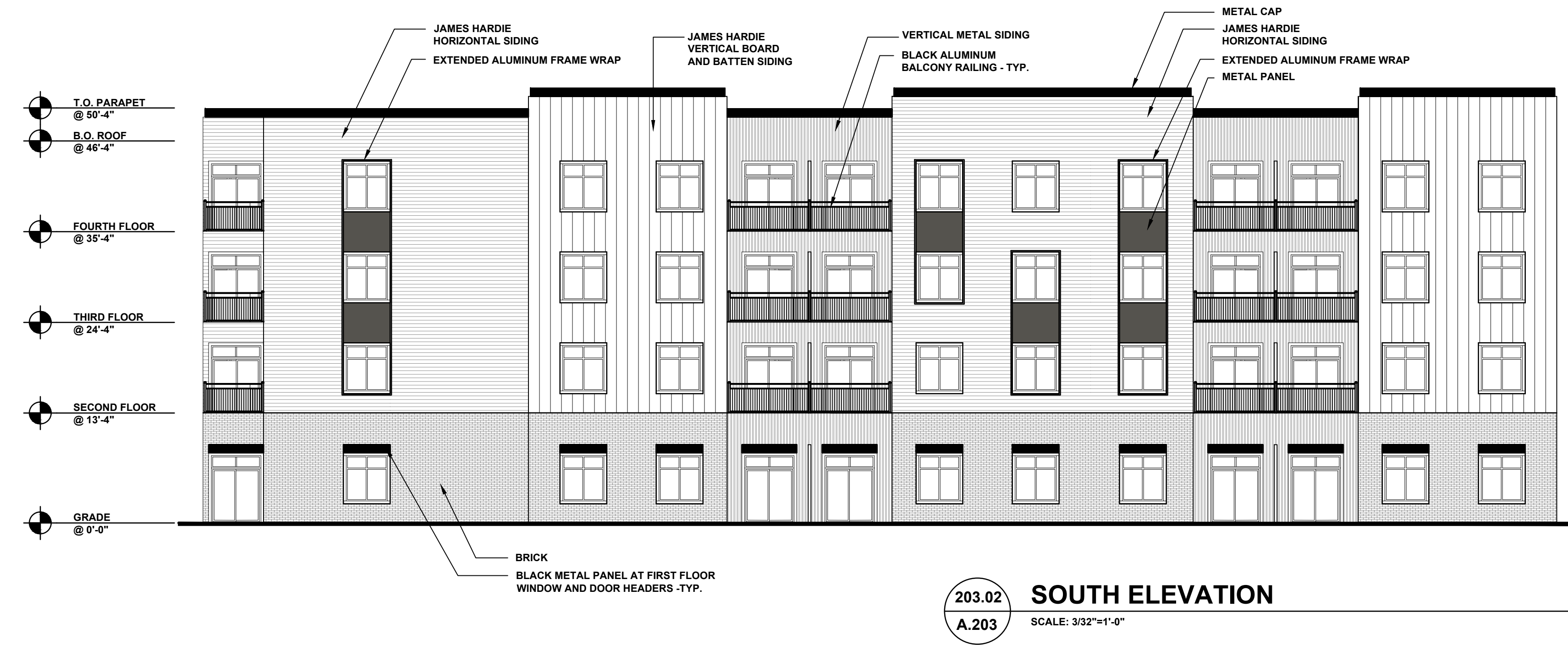
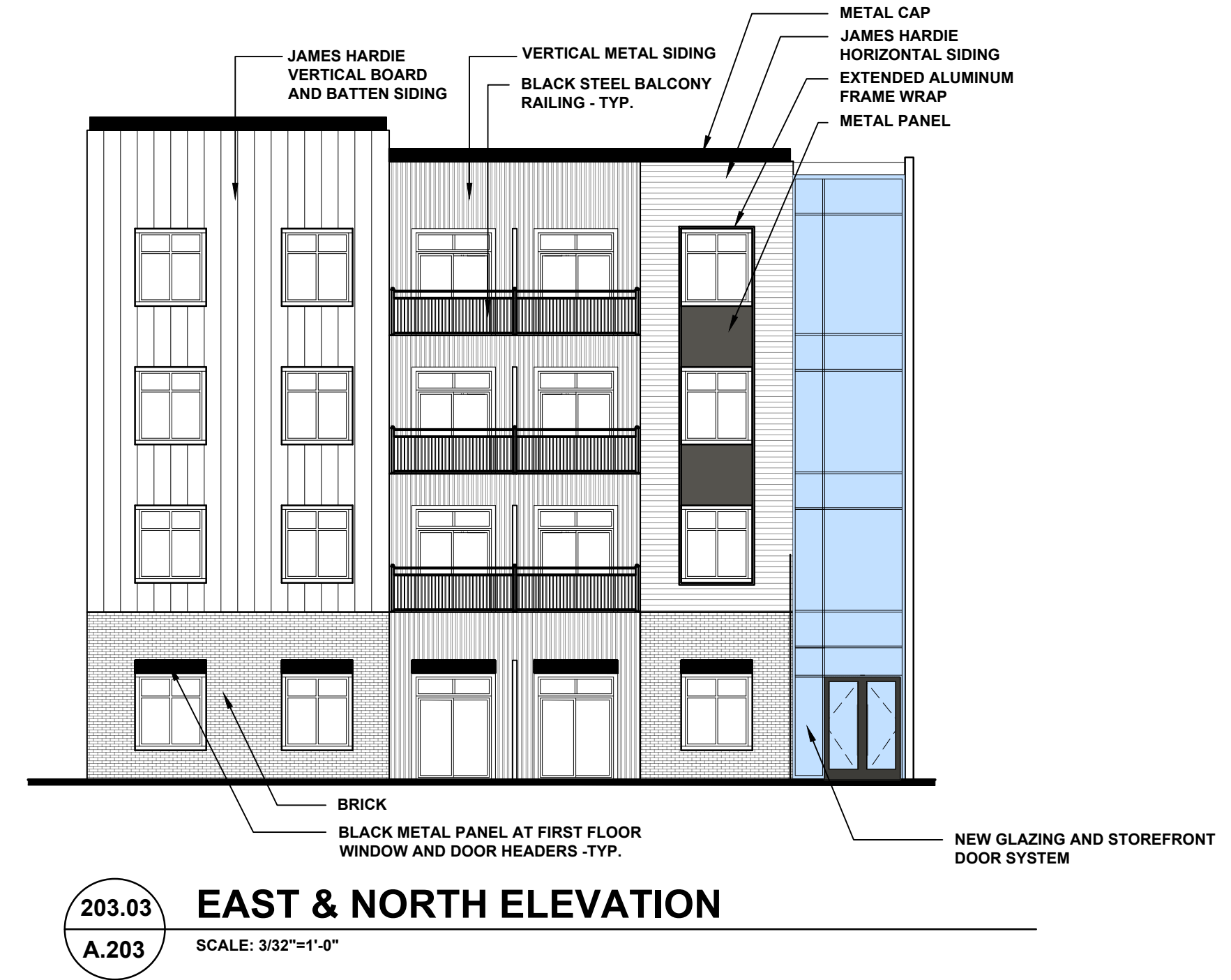
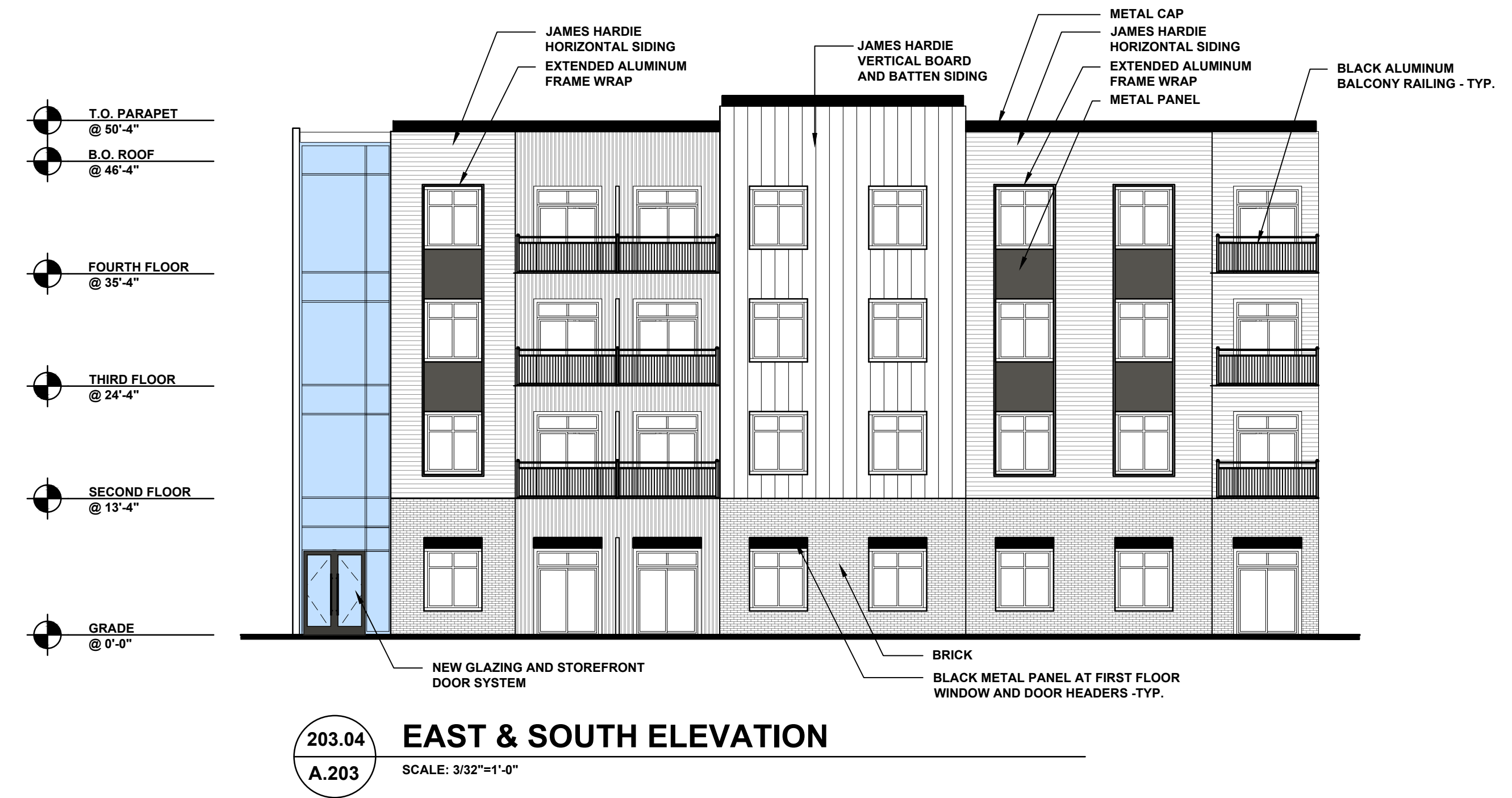
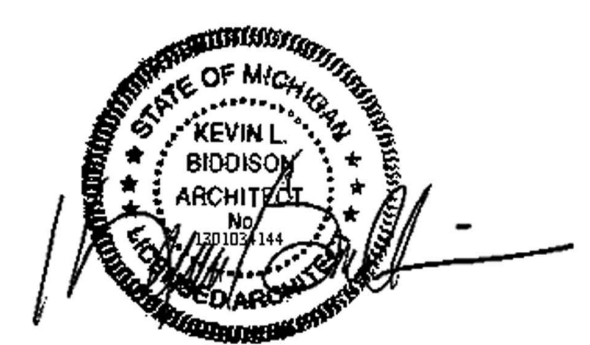


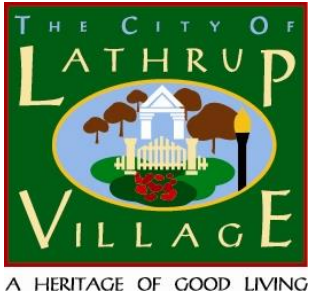
Project no.

2118-24

Sheet no.

A.202





Historic District Commission DRAFT Minutes

Thursday, December 12, 2024 at 7:00 PM
27400 Southfield Road, Lathrup Village, Michigan 48076

1. Call to Order

Called to order at 7:01 PM

2. Roll Call

Present: Kenez, Roberts, Johnson, Khamo, Warner
Absent: N/A

3. Approval of Agenda

Roberts moved to amend the agenda, having item 6C be presented before item 6B, seconded Kenez
Yes: Kenez, Roberts, Johnson, Khamo, Warner
No: N/A
Motion Carried

Roberts moved to approve the agenda as amended, seconded Warner
Yes: Kenez, Roberts, Johnson, Khamo, Warner
No: N/A
Motion Carried

4. Approval of Meeting Minutes

A. 5-18-22 - HDC Minutes

Roberts moved to approve the 5-18-22 HDC Minutes, seconded by Khamo
Yes: Kenez, Roberts, Johnson, Khamo, Warner
No: N/A
Motion Carried

4. Public Comment (limited to 3 minutes)

Rick Wisz – The board should add a public comment section at the end of the meeting as well.

6. New Business

A. Request to Appoint HDC Officers

Roberts moved to appoint Johnson as HDC Chairperson, seconded by Kenez
Yes: Kenez, Roberts, Johnson, Khamo, Warner
No: N/A
Motion Carried

Johnson moved to appoint Roberts as HDC Vice-Chair, seconded by Kenez

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

Roberts moved to appoint Khamo as HDC Secretary, seconded by Kenez

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

B. Request to Approve 27700 Southfield Road - Annie Lathrup School Partial Demolition & Rehabilitation

- Biddison Architecture (Kevin) shared a presentation to the HDC regarding the plans for the Surnow Company and the Annie Lathrup School property.
- Sam Surnow shared some history regarding the Surnow Company and the school site and plans that the Surnow Company has explored leading up to this proposal.
- Commissioner Khamo had questions regarding the height of the proposed new towers and the proposed façade for the new residential wings. Kevin (Biddison) noted that some features were intentional to ensure the historic building popped but Surnow wanted to ensure they complimented SHIPO standards.
- Commissioner Roberts believes the additions should be located behind the historic building structure.
- Commissioner Johnson concurred and believes the height of the new wings would overwhelm the historic building. Johnson also has concerns regarding window size.
- Commissioner Johnson asked for clarification on the transition brick and how it connects the historic building to the new wings and if it is seen from the front along with the back. Kevin (Biddison) noted that transition brick can be seen from Southfield Road.
- Sam Surnow noted that they have explored moving the parking, however, based on the City’s Master Plan, pushing the parking to the back of the site made the most sense for their proposal or the City.
- Eric (Giffels Webster) covered the Village Center Zoning District and how this proposal works with the City’s ordinances.
- Sam Surnow discussed who the target clients are for these units and believes housing is a missing aspect of the Lathrup Village market.
- Commissioner Roberts asked what the next steps would be if there was a conflict between the HDC and the Planning Commission and their reviews. Eric (Giffels) and Leann (City Attorney) discussed the purview the HDC has over the project, noting that no matter the decision, it would be contingent upon Planning Commission approval. Roberts noted that the ability to receive a ZBA ordinance could be on the table.
- Kevin (Biddison) noted that if the building were pushed back, parking would need to be moved to the front of the site and there is potential for planned green space may be deleted from the plans.
- Commissioner Khamo asked if the applicant would be willing to modify their plans to lower the four-story new wings. Sam Surnow noted that he does not believe it would be feasible.
- Commissioner Johnson is concerned regarding the mass of the proposed facility.

- Eric (Giffels) reviewed a portion of the zoning ordinance discussing the open space requirements.

Kenez moved to open three (3) minutes per person public comment period, Khamo seconded

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

Rick Wisz – What does the 0-foot setback standard mean in terms of the school project?

Diane Addison – Believes the Historical Society has strayed from its founding and is no longer fulfilling its purpose.

Autumn Sousanis – While the renderings look lovely, she does not believe the presentation accurately presents what the inside facility will do for the community.

Warner moved to approve the 27700 Southfield Road - Annie Lathrup School Partial Demolition & Rehabilitation proposal, Kenez seconded

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

Roberts moved to approve the 27700 Southfield Road - Annie Lathrup School Partial Demolition & Rehabilitation plans as submitted, seconded Warner

Yes: Kenez

No: Roberts (based on sections d.2, d.3, and e.8), Johnson (based on sections d.2, d.3, e.8), Khamo (based on sections d.2, d.3, and e.8), Warner (based on sections d.3, and e.8)

Motion Failed

C. Request to Approve 27400 Southfield Road - Water Meter Communications Tower Replacement

- City Administrator Greene shared some history regarding this project and why the City is seeking to add this new tower to the City Hall Site.
- Eric – Giffels Webster planning consultant – stated that the proposed project appears to meet the qualifications for approval based on the HDC ordinance.
- Commissioner Kenez asked if there are additional sites that are needed in the City. CA Greene noted that there would be three total sites in the City. The other two will be located on cell towers while this site is needed to cover the middle portion of the City.
- Commissioner Roberts asked what the difference is between the current tower and the proposed tower. CA Greene noted that the new wood tower is taller to meet engineering specifications and would replace an old metal dispatch tower. CA Greene stated that this is a standard tower for this type of application and could be seen in other communities.

Warner moved to approve the water meter communications tower replacement proposal at 27400 Southfield Road, Khamo seconded.

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

Warner to approve the water meter communications tower replacement plans at 27400 Southfield Road, Khamo seconded

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

7. Other Matters for Discussion

Johnson – A review of the allowable materials within the district. Also, a review of the relationship between the Historic District and the Master Plan/Village Center.

8. Adjournment

Kenez moved to adjourn at 9:00 PM, Warner seconded

Yes: Kenez, Roberts, Johnson, Khamo, Warner

No: N/A

Motion Carried

3.1.8

VC Village Center District

1 Purpose and Introduction

2 Definitions

3 Zoning Districts

4 Use Standards

5 Site Standards

6 Development Procedures

7 Admin and Enforcement

A. INTENT

The intent of the VC Village Center District is to create a compact and unique downtown district for the City by encouraging the redevelopment of property where buildings feature a mix of residential, retail and office uses and are laid out in a pedestrian-oriented manner that reflects a traditional small town urban form. There will be two types of roads in the VC District: Primary roads that function as the main streets and other roads that support the grid network. Parking will be provided on-street and in shared parking areas. Alleys will provide service and parking access.

i User Note: For uses listed in **bold blue**, refer to Article 4, or click on use, for use-specific standards

B. VILLAGE CENTER DISTRICT USES

Use	Floor	
	Ground Floor	Upper Floor
Commercial Uses		
Restaurant, bar, tavern, live entertainment	P	P
Personal Services [□]	P	P
Bed & Breakfast, inn, hotel	P	P
Retail commercial uses [□] up to 6,000 sq. ft.	P	S
Grocery store up to 10,000 sq. ft.	P	
Post office and other government services	P	P
Professional & administrative offices [□]		P
Business service uses [□]	P	P
Establishments involving the manufacture or sale of any alcoholic beverages regulated by the Michigan Liquor Control Act, MCL 436.1101 et seq.	S	S
Banks and other financial institutions	P	P
Outdoor cafes	P	P
Temporary outdoor display and sales §36-4.14	A	A
Adult day care centers [□] §36-4.15	S	S
Recreation, Education & Assembly		
Library, museum	S	P
Child care centers [□] §36-4.15	S	S
Theater, cinema, performing arts, places of worship §36-6.2	S	S
Instruction centers for academic and fine arts purposes	P	P
Health/Fitness facility	P	P
Residential Uses		
Home occupations/Live-Work	P	A
Single family attached		P
Multiple family		P
Accessory uses, customarily incidental to permitted uses	A	A
Uses similar to the above uses, as determined by the Planning Commission	P*/S**	P*/S**
Publicly owned and operated parks and parkways		

Add P***

P = Permitted S = Special Land Use A = Accessory use
 * If similar to a permitted use on this level, as determined by the Planning Commission
 ** If similar to a special land use permitted on this level, as determined by the Planning Commission, and subject to reasonable conditions to address impacts of similar special land uses.

*** Multiple family residential uses may be permitted on the ground floor of a building, subject to the review and approval by the Planning Commission and the standards of Section 3.1.8.1.




C. DEVELOPMENT STANDARDS

Lot Size

Minimum lot area[ⓘ]: 5,000 sq ft
 Minimum lot width[ⓘ]: 20 ft

Setbacks[ⓘ]

Minimum front yard setback: 0 ft
 Minimum rear yard setback: 5 ft
 Buildings w/ rear façade on California Drive: 20 ft
 Minimum side yard setback: 0 ft
 Build-to-line coverage[ⓘ]:
 Primary Roads: 90%
 All other roads: 75% 

Building Height[ⓘ]

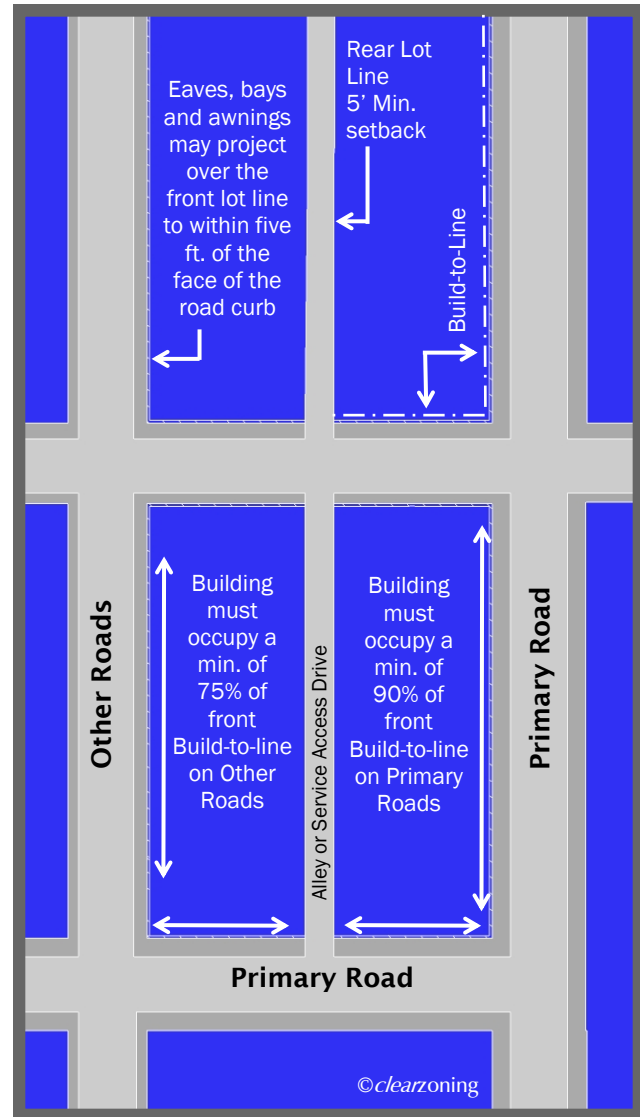
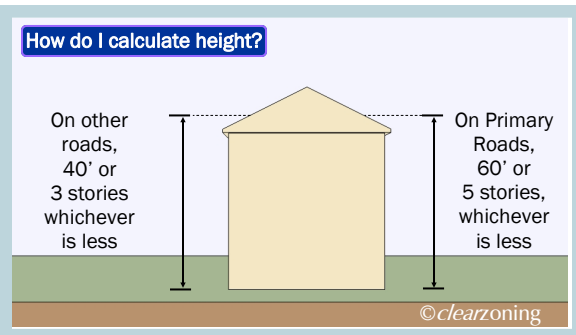
Maximum building height:
 Primary Roads: 5 stories, 60 ft, whichever is less, when setback ten (10) ft from all building sides
 All other roads: 3 stories, 40 ft, whichever is less

Minimum Floor Height

First/ground floor: 14 ft
 Upper floors: 10 ft

Parking Setbacks

Minimum setback: 5 ft; 0 ft from interior lot line



The above drawings are not to scale.

SELECTED REFERENCES

3. Zoning Districts

- **Standards for the VC District** §36-3.1.8

4. Use Standards

- **Hours of operation for businesses** §36-4.7
- **Wireless Communication Facilities**[ⓘ] §36-4.6
- **Mixed Use Building** §36-4.13

5. Site Standards

- **Off-street parking** §36-5.13
- **Building Materials** §36-5.4
- **Grades and Drainage** §36-5.9
- **Waste & Rubbish** §36-5.3

6. Development Procedures

- **Site Plan Review** §36-6.1
- **Mobile Food Vending** §36-6.1.1.B.xii
- **Special Land Uses** §36-6.2

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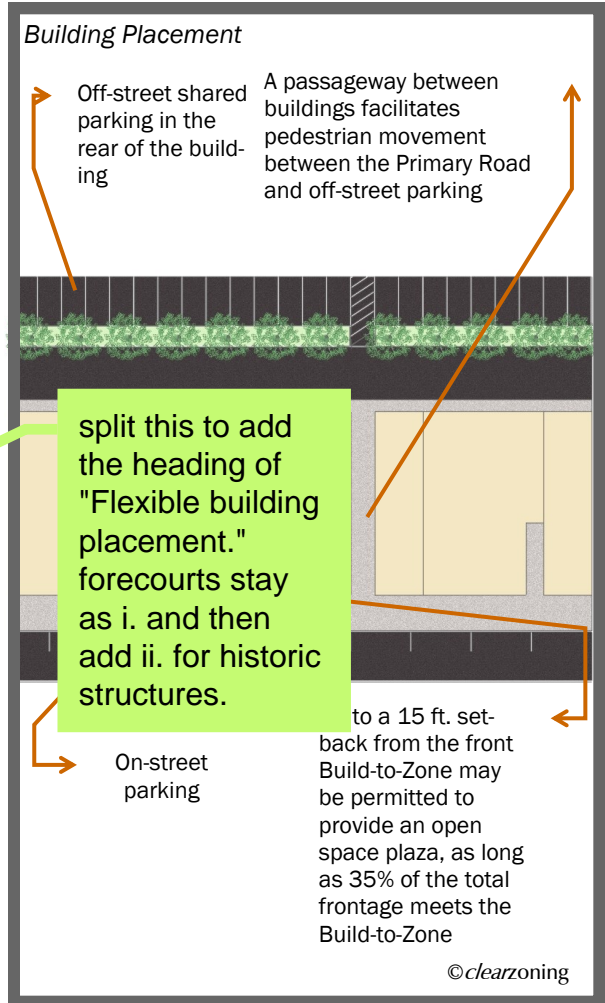
7 Admin and Enforcement

D. BUILDING PLACEMENT

1. Primary Roads: Buildings shall be constructed to the Build-to-Line and occupy 90 percent or more of the full width of the parcel, subject to the following:
 - A. Build-to-Zone¹: To allow variation and design flexibility, portions of the building façade may include jogs up to five (5') feet from the property line. Additional variations in setback for architectural features that meet the intent and spirit of this ordinance may be permitted at the discretion of the Planning Commission.
 - B. Building Entrances: Recessed areas from three (3) to five (5) feet from the Build-to-Zone shall be provided for primary building entrances.
 - C. Forecourts: The Planning Commission may grant an exception for a building façade to retreat up to fifteen (15') feet from to the Build-to-Zone, into the building mass, to provide an open space plaza or courtyard provided that at least thirty-five percent (35%) of the total frontage meets the Build-to Zone.
 - D. Paved areas: All areas located between the building and the street shall be paved for pedestrians unless specific landscaped areas within the paved sections are approved.
2. Other Roads: Buildings that abut other roads shall be constructed to the Build-to-Zone and occupy 75% or more of the full frontage of the parcel and must meet 3.1.8.E.1 above. The Planning Commission may reduce the 75% frontage requirement to 50% when it determines that development of the site will be phased and that it is not reasonable to meet the 75% requirement at the time of site plan approval.
3. Interior Side Setbacks—None required

E. BUILDING ELEMENTS

The requirements listed in this subsection, shall apply to all front-facing and exterior-side facing facades as well as facades that directly face a park or plaza. Walls shall not be blank. Walls shall include windows and architectural features customarily found on the front of a building in a traditional downtown setting such as awnings, edge detailing, cornice work, decorative materials, and decorative lighting. The following additional requirements shall apply:



1. Building Composition: Building facades shall be comprised of three distinct components: a base or ground floor, a middle, and a top.
 - A. Base: The base of a building shall be designed to clearly define where the building begins. It shall enhance the pedestrian experience by providing quality durable materials as well as ample windows that encourage views into a ground floor space. Frontage base types shall be one of the following on Primary Roads:
 - i. Arcade: A façade featuring a series of arches and columns.
 - ii. Storefront: The front façade build-to line is at or near the edge of the right-of-way (within the build-to-zone). The entrance to the building, which may be recessed, is at the grade of the sidewalk.

← add iii for MF residential buildings



VC Village Center District

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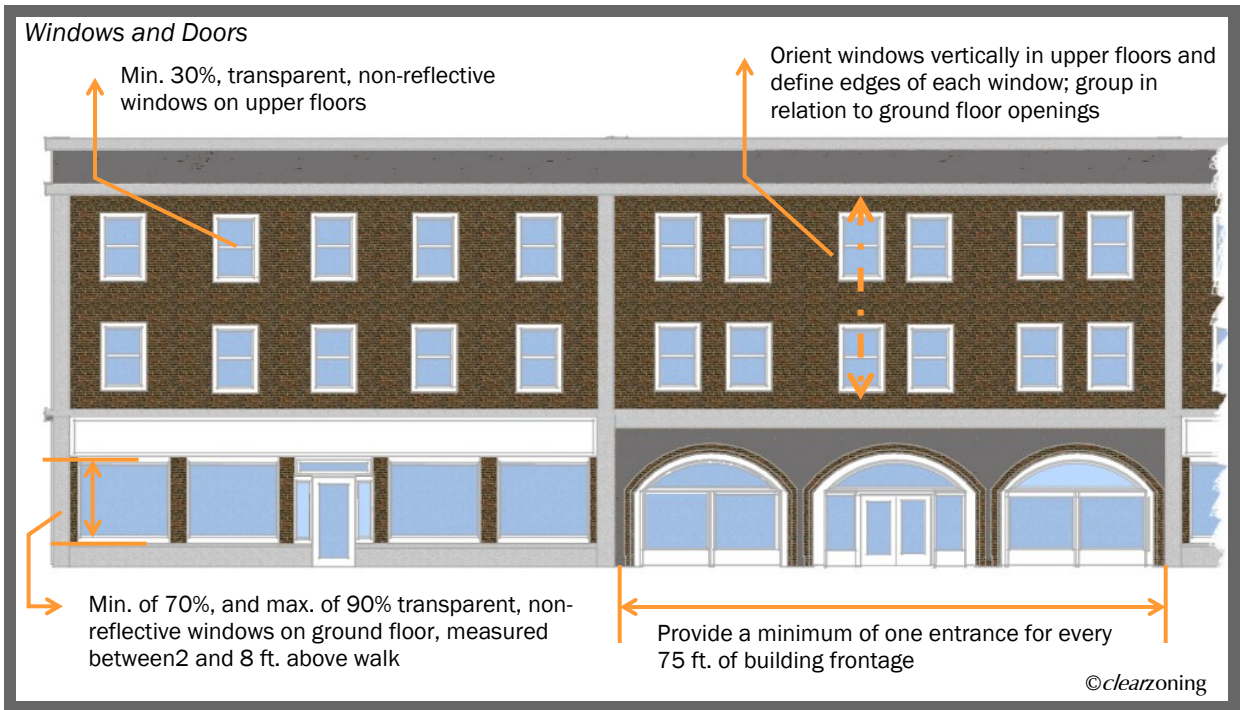
- Item 7D.
- 1**
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- B. Middle: For buildings with more than one story, the middle of a building, which begins above the ground floor, shall be separated from the ground floor by a visible break that may include a change of color, material, or window pattern. This break may include the sign band area. Upper floor windows shall be inset and grouped to reflect the rhythm of the ground floor openings.
- C. Top: The top of the building will distinguish the building with a cornice or noticeable roof edge. Flat roofs shall be enclosed with parapets.
 - i. Equipment: Rooftop mechanical and other equipment shall be positioned and screened to minimize views from adjacent properties and obscure views from the public rights-of-way.
 - ii. Accessibility: Roofs may be accessible and may be used as balconies or terraces. Vegetated roofs are encouraged to cool buildings and limit stormwater runoff.
 - iii. Windows and Doors
 - iv. Materials: Structural elements to support canopies or signage, along with mullion and frame systems for windows and doors shall be painted,

this doesn't need to be changed, but we can clarify that this section only applies for arcade and storefront building frontages.



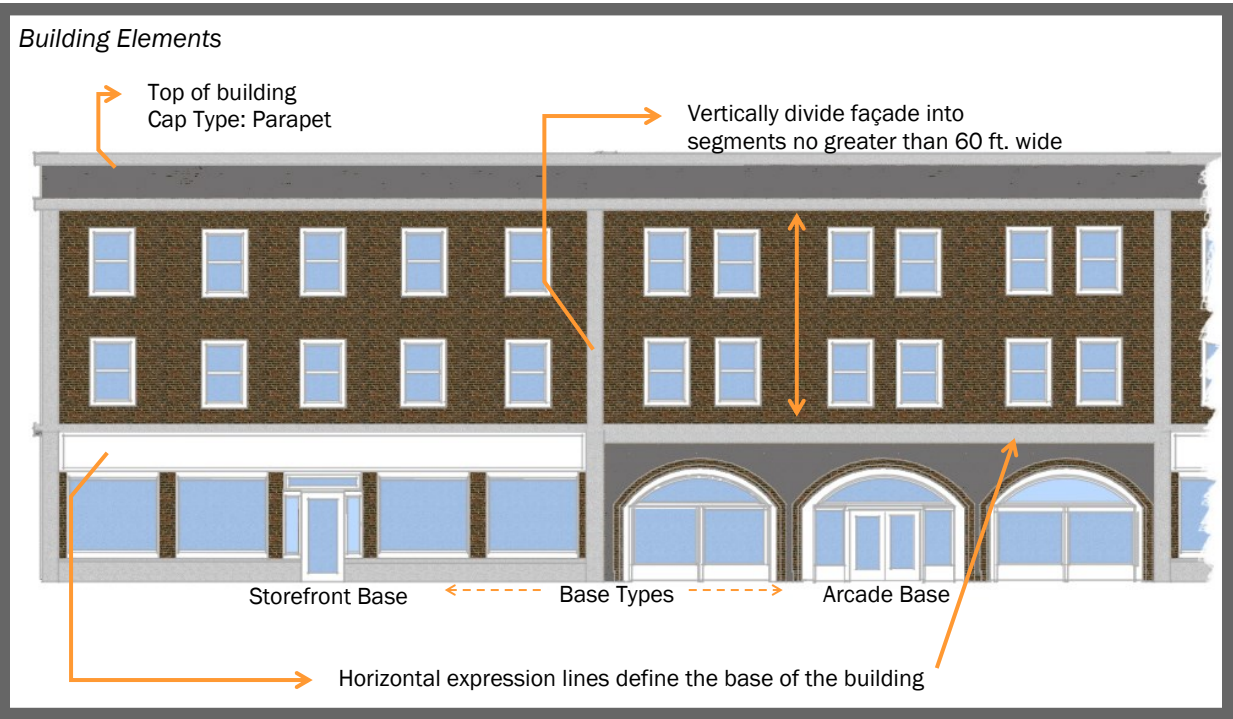
- powder-coated or stained (or the equivalent). Glass shall be clear or lightly tinted. Reflective glass is not permitted. Glass block windows shall not be permitted unless the Planning Commission grants an exception for use as an accent.
- ii. Shutters: When shutters are used, whether operating or decorative, they shall be equal to the width of one half of the adjacent window opening
- iii. Façade Openings: All porches, doors, colonnades, and upper floor windows, shall be vertically proportioned.
- B. Ground Floor windows and doors:
 - i. Integral Design: All storefronts shall have doorways, windows, and signage that are integrally designed.
 - ii. Transparency: Each storefront shall have transparent or lightly tinted areas, equal to at least 70 percent, but not more than 90 percent of its portion of the façade, between two (2) and eight (8) feet from the ground. These required window areas shall be either windows that allow views into retail space, dining areas, office work areas, lobbies, pedestrian entrances, merchandise display windows or other windows consistent with encouraging



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- an active pedestrian environment along the storefront.
 - iii. Entry: At least one functioning doorway shall be provided for every street-facing storefront, with the primary entrance on the street. As applicable for a single ground floor use, one doorway shall be provided for every 75 feet in horizontal building length.
- C. Upper Floor windows and doors—Glazing: The glazed area of a façade above the first floor shall be between 30 and 50 percent, with each façade being calculated separately, floor to floor. Sill height: All windows shall maintain a consistent sill height, unless the Planning Commission grants an exception for a decorative window element or similar feature.
- 3. Building Materials
 - A. Facing Street, park or plaza: At least 90% of all exterior building façades facing a street, park, or plaza shall be finished with a combination of two or more of the following: Glass, brick, cut or cast stone, wood, cementitious board (e.g., Hardie Plank), integrally colored concrete units with brick proportions (e.g., half-high “C” brick), and textured stucco.
 - B. Facing other buildings: at least 70% of the exterior façade shall consist of the materials specified in 3.A. above and may also include split-faced, scored, or fluted block.
 - C. Variation: There shall be a change in the vertical or horizontal building plane when there is a change in color or material. Street facing facades shall be divided vertically into segments no greater than sixty (60) feet wide.
- 4. Corner Buildings. Buildings located at a street corner shall have appropriate architectural features and details that accentuate its prominent corner location through additional building height and /or adding a building peak or tower element at the corner. Other creative techniques may be used, subject to the acceptance of the Planning Commission. Special architectural corner features may be permitted to exceed the maximum building height by up to ten (10) feet if deemed appropriate by the Planning Commission.
- 5. Canopies and Awnings: Facades may be supplemented with awnings that do not serve as signage, but meet the following:
 - A. Style & Height: Straight sheds shall be used. Awnings shall be at least 8 feet above sidewalk grade at the lower drip edge.

i don't think any other changes are needed until the end.



- B. Encroachment: Awnings may encroach beyond the Front or Street-side Build-to-Zone and into the street right-of-way or easement, but must avoid the canopy area of street trees (based on tree maturity); and be set back a minimum of five (5) feet from the face of the road curb. Awnings shall be positioned immediately above the ground floor window, in scale with the window and overall building façade.
 - C. Colors: Awnings shall be complementary to the building façade.
 - D. Materials: Awnings shall be constructed of a durable material such as canvas or other material approved by the Building Official that will not fade or tear easily. Plastic and vinyl awnings are not permitted.
 - E. Signage: The vertical drip of an awning may be stenciled with signage a maximum of 8 inches by a horizontal length not to exceed 80 percent of the awning width.
6. Balconies and Overhangs: Balconies and overhangs may be added to facades with the following conditions:
- A. Balconies and overhangs shall not extend more than six feet from the building face.
 - B. Materials shall be compatible with the building and be integrally designed.
8. Building Lighting
- A. Height: For building fronts, exterior lights must be mounted between six and fourteen feet above adjacent grade.
 - B. Alley lighting: Fixtures in alleys shall illuminate the alley, be between 9 and 14 feet in height, have a shield to prevent uplighting, and not cause glare onto adjacent lots.
 - C. Floodlights or directional lights: Such lighting may be used to illuminate alleys or parking garages, but must be shielded to prevent light spills upward, or into adjacent lots, the street, or area outside of the District. Floodlights shall not be used for uplighting.
 - D. Contained illumination: Site lighting shall be of a design and height and shall be located so as to illuminate only the lot. An exterior lighting plan must be submitted and approved with each site plan.

- E. Flashing, traveling, animated or intermittent lighting: Such lighting is not permitted, whether of a permanent or temporary nature.

F. OFF-STREET PARKING

- 1. Location:
 - A. Primary Roads: Surface parking lots shall have a minimum setback of 60 feet from the sidewalk and be located behind a building. Structured parking is permitted internally, but must be located behind occupied uses on the ground floor.
 - B. Other Roads: Surface parking lots are permitted in the rear or side of any lot and in structures and shall be setback a minimum of 5 feet from the sidewalk. Off-street parking is not permitted in front of a building.
- 2. Driveways and Access: Driveway access shall not be permitted off a Primary Road.
- 3. Screening and Landscaping: Parking lots adjacent to public or private streets shall be screened by a combination of landscaping (e.g., hedge row), brick walls, and ornamental metal fencing, with the design intent of screening an area 2.5 feet high adjacent to parking lots. Unless otherwise specified here, other parking requirements found in Section 5.16.4 also apply.
- 4. Shared Parking: see section 5.13.5
- 5. Bicycle Parking: Secure, visible, and accessible parking for bicycles shall be provided.

G. FUNCTIONAL ELEMENTS:

- 1. Loading docks, truck parking, utility meters, HVAC equipment, trash dumpsters, trash compaction and other service functions shall be incorporated into the overall design of buildings and landscaping.
- 2. Areas for truck parking, trash collection and/or compaction, loading and other such uses shall not be visible from public or private rights-of-way and shall be located at least 20 feet from all street and sidewalks.

H. LANDSCAPING

- 1. Generally: Sites should include landscaping as an integral part of site design and should give



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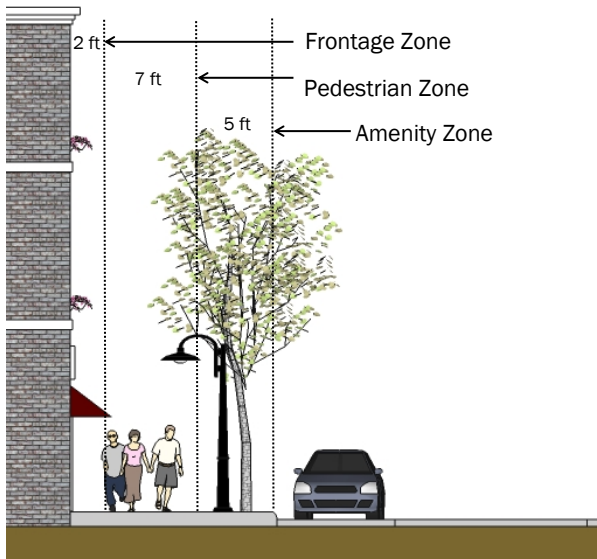
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consideration as to the use of landscaping for stormwater management.

2. Mechanical equipment: Mechanical equipment, including, but not limited to, HVAC equipment, electrical transformers, air compressors, pumps, exterior water heaters, water softeners, private garbage cans (not including public sidewalk waste bins) and storage tanks may not be stored at ground level on a front or exterior side of a building and if provided in the rear, must be screened from public view. Rooftop mechanical equipment must be screened from public view, using materials that are complementary to the overall building design.
3. Buildings, Fronts & Backs
 - A. Street opportunities: Building facades are the public 'face' of the VC district. The use of well-maintained, quality plant materials attract and engage pedestrians and shall be permitted subject to administrative review of a sidewalk permit.
 - B. Rear yards: The private, back yard portions of lots may provide opportunities for businesses to provide a semi-private space for patrons to enjoy, or allow residents to have private or semi-private (for apartments or condominiums) open spaces, gardens and courtyards.
5. Street Trees & Plantings
 - A. Spacing: Trees must be provided along the Primary Road streetscape, with a typical spacing of fifty (50) feet on center.
 - B. Tree wells: Tree wells in sidewalks must be 5 ft. by 5 feet with a 3.5 ft. minimum

depth. Perimeter fencing shall not be permitted.

- C. Clear vision: Trees shall not be placed closer than thirty feet (30') from intersections, nor be placed in the clear vision triangle.
 - D. Irrigation: Irrigation systems must be installed at the time of development.
 - E. Maintenance of public realm: The owner shall maintain the portion of the street between the lot line and back-of-curb and, if applicable, the portion of the alley between the lot line and the edge of pavement.
 - F. Plant Selections: Plants should be chosen for specific locations based on size and mass at maturation as well as ease of maintenance.
6. Street Lighting
 - A. Pedestrian-scaled lighting shall provide a minimum of one foot candle of warm light between the building face and the curb.
 - B. Street lights are required with any new development or redevelopment and must be of the type identified by The City.
 7. Street Furniture
 - A. Street furnishings must be placed within the Amenity Zone, which is defined as the five (5) feet between the curb face and the pedestrian zone.
 - B. Street furnishing shall be placed at least 2.5 feet from the curb face where on-street parking occurs, and 5 feet where travel lanes adjoin the curb, subject to road commission approval, where required.
 - C. Planter walls, where proposed, shall be a minimum width of ten inches (10") and two and one-half feet (2.5') in height, and brick to match pavers. Planter walls shall be located at intersections and placed at evenly spaced intervals along the block.
 - D. Street furnishings must be those identified by The City.
 8. Open Space Standards: Public spaces are meant to provide a means for social interaction. There are two general classifications of public spaces in the VC district: those that are part of a development and those that are to be developed by The City. Generally:



- A. Location: Public open spaces should be practically located so that the public is aware of their location
- B. Function: All open spaces should be functional and purposeful, yet flexible to provide for a variety of uses.
- C. Amenities: Outdoor furniture (benches and tables), art or sculptures, landscaping, change in the type of pavement, semi-enclosure to define the space, drinking fountains, trash receptacles should be added to defined open spaces.
- D. Awareness: Wayfinding signs should be used to direct the public to the location of open spaces, municipal parks or trailheads.
- E. Security: Open spaces shall be well-lit, well-maintained and allow for clear views to create a safe environment.

I. FIRST FLOOR USES ON PRIMARY STREETS

The following regulations apply to all first floor uses:

- 1. Retail and restaurant uses facing a primary street shall be at least twenty (20') feet deep, as measured from the street-facing facade.
- 2. In order to promote a walkable downtown area as described in the intent of this zoning district and the City's Master Plan, Banks, financial institutions, professional, medical, administrative offices, and day care centers shall not comprise more than twenty-five (25%) percent of the street facing façade of the same side of a single block along a primary street.

allow the waiver here.

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Section 3.1.8.A. Intent. The intent of the VC Village Center District is to create a compact and unique downtown district for the City by encouraging the redevelopment of property where buildings feature a mix of residential, retail and office uses and are laid out in a pedestrian-oriented manner that reflects a traditional small town urban form. There will be two types of roads in the VC District: Primary roads that function as the main streets and other roads that support the grid network. Parking will be provided on-street and in shared parking areas. Alleys will provide service and parking access.

Section 3.1.8.B. Village Center District Uses

Use	Floor	
	Ground Floor	Upper Floor
Commercial Uses		
Restaurant, bar, tavern, live entertainment	P	P
Personal Services ^{&}	P	P
Bed & Breakfast, inn, hotel	P	P
Retail commercial uses ^{&} up to 6,000 sq. ft.	P	S
Grocery store up to 10,000 sq. ft.	P	
Post office and other government services	P	P
Professional & administrative offices ^{&}		P
Business service uses ^{&}	P	P
Establishments involving the manufacture or sale of any alcoholic beverages regulated by the Michigan Liquor Control Act, MCL 436.1101 et seq.	S	S
Banks and other financial institutions	P	P
Outdoor cafes	P	P
Temporary outdoor display and sales §36-4.14	A	A
Adult day care centers^{&} §36-4.15	S	S
Recreation, Education & Assembly		
Library, museum	S	P
Child care centers^{&} §36-4.15	S	S
Theater, cinema, performing arts, places of worship §36-6.2	S	S

Instruction centers for academic and fine arts purposes	P	P
Health/Fitness facility	P	P
Residential Uses		
Home occupations/Live-Work	P	A
Single family attached		P
Multiple family	<u>P***</u>	P
Accessory uses, customarily incidental to permitted uses	A	A
Uses similar to the above uses, as determined by the Planning Commission	P*/S**	P*/S**
Publicly owned and operated parks and parkways		

P = Permitted S = Special Land Use A = Accessory use

* If similar to a permitted use on this level, as determined by the Planning Commission

** If similar to a special land use permitted on this level, as determined by the Planning Commission, and subject to reasonable conditions to address impacts of similar special land uses.

*** Multiple family residential uses may be permitted on the ground floor of a building, subject to the review and approval by the Planning Commission and the standards of Section 3.1.8.I.

Section 3.1.8.D. Building Placement

1. Buildings shall be constructed to the Build-to-Line and occupy 90 percent or more of the full width of the parcel, subject to the following:
 - A. Build-to-Zone*: To allow variation and design flexibility, portions of the building façade may include jogs up to five (5') feet from the property line. Additional variations in setback for architectural features that meet the intent and spirit of this ordinance may be permitted at the discretion of the Planning Commission.
 - B. Building Entrances: Recessed areas from three (3) to five (5) feet from the Build-to-Zone shall be provided for primary building entrances.
 - C. Flexible Building Placement.
 - i. Forecourts: The Planning Commission may grant an exception for a building façade to retreat up to fifteen (15') feet from to the Build-to-Zone, into the building mass, to provide an open space plaza or courtyard provided that at least thirty-five percent (35%) of the total frontage meets the Build-to Zone.
 - ii. Historic structures: The Planning Commission may allow flexibility for building placement for historic buildings and additions, provided that the development meets the intent of this district.
 - D. Paved areas: All areas located between the building and the street shall be paved for pedestrians unless specific landscaped areas within the paved sections are approved.
2. Other Roads: Buildings that abut other roads shall be constructed to the Build-to-Zone and occupy 75% or more of the full frontage of the parcel and must meet 3.1.8.E.1 above. The Planning Commission may reduce the 75% frontage requirement to 50% when it determines that

development of the site will be phased and that it is not reasonable to meet the 75% requirement at the time of site plan approval.

3. Interior Side Setbacks—None required

Section 3.1.8.E. Building Elements

The requirements listed in this subsection shall apply to all front-facing and exterior-side facing facades as well as facades that directly face a park or plaza. Walls shall not be blank. Walls shall include windows and architectural features customarily found on the front of a building in a traditional downtown setting such as awnings, edge detailing, cornice work, decorative materials, and decorative lighting. The following additional requirements shall apply:

- 1. Building Composition: Building facades shall be comprised of three distinct components: a base or ground floor, a middle, and a top.
 - A. Base: The base of a building shall be designed to clearly define where the building begins. It shall enhance the pedestrian experience by providing quality durable materials as well as ample windows that encourage views into a ground floor space. Frontage base types shall be one of the following on Primary Roads:
 - i. Arcade: A façade featuring a series of arches and columns.
 - ii. Storefront: The front façade build-to line is at or near the edge of the right-of-way (within the build-to-zone). The entrance to the building, which may be recessed, is at the grade of the sidewalk.
 - iii. Multiple family residential buildings: When ground floor residential is permitted by the Planning Commission, there is no prescribed building frontage, except that building fronts should generally run parallel to the street. Facades facing public rights-of-ways, parks, and plazas should contain windows proportionate to the building façade.
 - B. Middle: For buildings with more than one story, the middle of a building, which begins above the ground floor, shall be separated from the ground floor by a visible break that may include a change of color, material, or window pattern. This break may include the sign band area. Upper floor windows shall be inset and grouped to reflect the rhythm of the ground floor openings.
 - C. Top: The top of the building will distinguish the building with a cornice or noticeable roof edge. Flat roofs shall be enclosed with parapets.
 - i. Equipment: Rooftop mechanical and other equipment shall be positioned and screened to minimize views from adjacent properties and obscure views from the public rights-of-way.
 - ii. Accessibility: Roofs may be accessible and may be used as balconies or terraces. Vegetated roofs are encouraged to cool buildings and limit stormwater runoff.
- 2. Windows and Doors
 - A. Generally
 - i. Materials: Structural elements to support canopies or signage, along with mullion and frame systems for windows and doors shall be painted, powder-coated or stained (or the equivalent). Glass shall be clear or lightly tinted. Reflective glass is not permitted. Glass block windows shall not be permitted unless the Planning Commission grants an exception for use as an accent.
 - ii. Shutters: When shutters are used, whether operating or decorative, they shall be equal to the width of one half of the adjacent window opening

- iii. Façade Openings: All porches, doors, colonnades, and upper floor windows shall be vertically proportioned.
- B. Ground Floor windows and doors for arcade and storefront frontage types:
 - i. Integral Design: All storefronts shall have doorways, windows, and signage that are integrally designed.
 - ii. Transparency: Each storefront shall have transparent or lightly tinted areas, equal to at least 70 percent, but not more than 90 percent of its portion of the façade, between two (2) and eight (8) feet from the ground. These required window areas shall be either windows that allow views into retail space, dining areas, office work areas, lobbies, pedestrian entrances, merchandise display windows or other windows consistent with encouraging an active pedestrian environment along the storefront.
 - iii. Entry: At least one functioning doorway shall be provided for every street-facing storefront, with the primary entrance on the street. As applicable for a single ground floor use, one doorway shall be provided for every 75 feet in horizontal building length.
- C. Upper Floor windows and doors—Glazing: The glazed area of a façade above the first floor shall be between 30 and 50 percent, with each façade being calculated separately, floor to floor. Sill height: All windows shall maintain a consistent sill height, unless the Planning Commission grants an exception for a decorative window element or similar feature.

No change to the subsections 3.1.8.E 3-8.
No change to subsections 3.1.8.F-H

Section 3.1.8.I. First Floor Uses on Primary Streets

The following regulations apply to all first floor uses:

1. Retail and restaurant uses facing a primary street shall be at least twenty (20') feet deep, as measured from the street-facing facade. The Planning Commission may waive this requirement when it determines the following criteria area met:
 - A. The project involves the rehabilitation of a historic structure.
 - B. The project satisfies a demonstrated need for housing in the City of Lathrup Village.
 - C. The project includes passive or active open spaces, such as parks, plazas, and/or event spaces for public use.
 - D. The project is consistent with the City's Master Plan.
2. In order to promote a walkable downtown area as described in the intent of this zoning district and the City's Master Plan, Banks, financial institutions, professional, medical, administrative offices, and day care centers shall not comprise more than twenty-five (25%) percent of the street facing façade of the same side of a single block along a primary street.

Lathrup Village - Site Development Status

PZE Process #	Address	Applicant Name	PZE Process Type	Started	Date Completed PZE Process	Completed Construction (Yes/No)	Notes
PZE23-009	26780 Southfield Rd.	44 Burrito	Site Plan Review	6/21/2023		No	Applicant submitted plans for outdoor dining. Feedback from first review of site plan provided. Waiting on updated site plan.
PZE23-010	27300 Southfield Rd.	Sadier Abro	Site Plan Review	6/15/2023	2/20/2024	No	PC provided zoning interpretation on laundromat use. Building plans have been reviewed & approved. Obtained site plan approval 2/20/24. Exterior and Façade construction has begun.
PZE23-013	27601 Southfield Rd.	Oakland Development, LLC	Site Plan Review	8/30/2023	11/21/2023	Yes	Construction completed and business has opened. Applicant must install outdoor furniture/amenities to comply PUD agreement.
PZE24-013	26600 Southfield Rd.	Hatem Hannawa	Site Plan Review	8/1/2024		No	Applicant provided feedback following second review of site plan. The revised draft of the site plan is expected to be presented to Planning Commission on December 17, 2024.

PZE24-019	27700 Southfield Rd.	Akiva Investments, LLC	Site Plan Review	10/22/2024		No	Seeking Site Plan Review for historical preservation of high school site and multi-family housing. On December 12, 2024, the Lathrup Village Historic District Commission (HDC) reviewed and acted on the application for the partial demolition and rehabilitation plans for 27700 Southfield Road. The proposal itself was approved unanimously, but the submitted plans for the project failed to receive approval. The failure was due to non-compliance with specific HDC ordinance sections, as noted by commission members in their votes. The applicant now has the option to submit revised plans for HDC review or file an appeal to the City Council by January 2, 2025.
PZE24-020	28317 Southfield Rd.	Lantei Takona	Site Plan Review	11/4/2024		No	Seeking Site Plan approval for change of use from professional office to golf simulator business. Per Planning Commission request, the applicant has received written acknowledgement of shared parking from fellow tenants.