

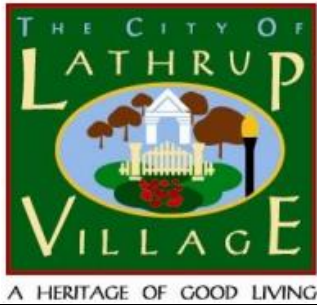


Downtown Development Authority

Friday, December 20, 2024 at 12:00 PM

27400 Southfield Road, Lathrup Village, Michigan 48076

1. **Call to Order**
2. **Roll Call**
3. **Approval of Agenda**
4. **Approval of Minutes**
 - [A.](#) November 2024 - DDA Board Minutes
5. **Public Comment (*speakers are limited to 3 minutes*)**
 - [A.](#) RRC Presentation
6. **Consent Agenda**
 - [A.](#) Monthly Financial Reports
 - [B.](#) Monthly Code Enforcement Report
7. **Public Comment (*speakers are limited to 3 minutes*)**
8. **Old Business**
9. **New Business**
 - [A.](#) 2025 DDA Meeting Dates
 - [B.](#) FY25 & FY26 Alleyway Enhancements Bid
 - [C.](#) 11 Mile Rd. Snow Removal Contract
10. **DDA Director Report**
 - [A.](#) Monthly Report
11. **Adjourn**



Downtown Development Authority

Friday, November 15, 2024 at 12:00 PM

27400 Southfield Road, Lathrup Village, Michigan 48076

MINUTES

1. Call to Order

Meeting called to order at 12:00pm

2. Roll Call

Present: Mike Greene, Danielle Huey, Bruce Kanor, Pam Shermeyer, Dan Suggs

Absent: Patricia Felton, Charlotte Jones, Fred Prime

A motion was made by Mike Greene to approve absences. Motion approved unanimously.

3. Approval of Agenda

Motion was made by Mike Greene to approve the meeting agenda for November 15, 2024, DDA meeting. Motion approved unanimously.

4. Approval of Minutes

A. September 2024 - DDA Board Minutes

Motion to approve minutes from September 2024 DDA Board meeting made by Pam Shermeyer.

5. Consent Agenda

A. Monthly Financial Reports

B. Monthly Code Enforcement Report

Motion made by Dan Suggs to approve and accept the Consent Agenda. Motion approved unanimously.

6. Public Comment (*speakers are limited to 3 minutes*)

None

7. Old Business

A. 27907 California Dr. - Lot Development RFQ

DDA Director asked the Board to review a draft Request for Qualification (RFQ) to request proposals to develop a vacant lot located at 27907 California Drive that is under DDA ownership. DDA Board members inquired regarding the review process of proposals and how it would affect a development agreement.

Motion made by Bruce Cander to approve RFQ. Motion approved unanimously.

B. Holiday Lighting Contract

Due to lack of quorum during September and October DDA Board meetings a vote could not be held to approve a contract for the installation of holiday lighting around City Hall grounds.

On account of the time sensitivity required for approving a contract City Council reviewed proposals received and approved a contract for holiday lighting installation during their October 21st meeting. DDA Board agreed to reimburse the city for the cost of the contract. The cost for holiday lighting was planned for when the DDA’s FY25 budget was developed.

Motion made by Dan Suggs to approve reimbursement for holiday lighting contract cost of \$10,600 to the city. Motion approved unanimously.

8. New Business

None

9. DDA Director Report

A. Monthly Report

10. Public Comment (*speakers are limited to 3 minutes*)

The owner of 44 Burrito inquired about monument signage and feather signs in the city’s Mixed-Use (MX) district, also requested clarity on a Patio Permit she applied for previously. DDA Director agreed to set up a meeting to discuss her concerns and provide the clarity she requested.

11. Adjourn – 12:26pm

Motion to adjourn made by Bruce Kanor. Motion approved unanimously.

**REDEVELOPMENT
READY
COMMUNITY
(RRC) AND YOU!**



WHAT IS REDEVELOPMENT READY COMMUNITY (RRC)?

- Michigan Economic Development Corporation (MEDC) program that assists communities in development!
- The Goal:
 - Attract new investors, businesses and residents!
 - Grow the community in a strategic approach
- Offers technical assistance/guidance through the MEDC.

WHY BECOME REDEVELOPMENT READY?

- Per MEDC Webpage:

“To be vibrant and competitive, Michigan communities must be ready for development. This involves planning for new investment and reinvestment, identifying assets and opportunities, and focusing limited resources. Certified Redevelopment Ready Communities® attract and retain businesses, offer superior customer service and have a streamlined development approval process making pertinent information available around-the-clock for anyone to view.”

WHY ARE WE TALKING ABOUT IT?

Since starting, the criticism I've heard has been:

“The city staff/boards/government doesn't communicate with us!”/“The city is not being transparent and is hiding things from the residents!”

Whether or not this is true is not for me to decide. However, hearing that criticism is distressing. I have tasked myself with designing a system for communication and transparency with the community.

QUICK FACTS ABOUT LATHRUP'S RRC HISTORY!

- Once upon a time, the City of Lathrup Village was deemed Redevelopment Ready! We have lost that certification.
- In 2021, MEDC provided Lathrup Downtown Development Authority (DDA) with a checklist of goals to reclaim certification.
- In November of 2024, Lathrup DDA received an updated checklist.
 - Note: Some goals had been met, but others still need work.

WHAT HAS TO BE DONE?

- To name a few:
 - Finalizing Capital Improvement Plan (CIP) (Governing Body must Adopt Plan);
 - Public Participation Plan (PPP/P3);
 - Housing Diversity Plan for Zoning Ordinance;
 - Green Infrastructure for Zoning Ordinance;
 - Multiple Review Processes for internal and external use;
 - Multiple community-level outreach and education events;
 - Training sessions for DDA Board, Planning Commission and City Council.
 - (This is a few of the goals to meet)

HOW IS THE CITY WORKING TO MANAGE AND ACHIEVE THESE GOALS?

- The city wants to be as clear and transparent with our residents!
 - Work is already underway to complete these goals, including updates to the website and planning for training sessions with our boards!
 - Plan to add a page on the city website where residents can track our progress.
 - Residents can view any meetings, their dates, and any presentations.
 - We will also have the information posted on the board downstairs outside of the municipal offices!

CONCLUSION

We are beginning work on RRC Certification immediately, and the hope is to have it completed by Summer 2025!

User: JESSICA

FROM 494-000.000-000.000 TO 494-000.000-971.001

Item 6A.

DB: Lathrup

TRANSACTIONS FROM 11/01/2024 TO 11/30/2024

JE #	Date	Description	Reference #	OFFSETTING GL	DEBIT	CREDIT
494-000.000-010.000 TRUST ACCOUNT-GENERAL						
Journal GJ: GJ						
145148	11/07/2024	MONTHLY INTEREST POSTING- 10/3	16593	Multiple	3,096.89	
145561	11/07/2024	TO REVERSE MANUAL JOURNAL ENTR	16622	Multiple		3,096.89
145214	11/14/2024	INTERFUND DUE-TO/DUE-FROM	16612	Multiple	319,836.13	
145788	11/30/2024	MONTHLY INTEREST POSTING- 11/3	16653	Multiple	3,410.96	
Journal Totals					326,343.98	3,096.89
Totals for 494-000.000-010.000					326,343.98	3,096.89
Balance 11/01/24:				978,124.11		
Net Change:				323,247.09		
Balance 11/30/24:				1,301,371.20		

494-000.000-084.101 DUE FROM GENERAL FUND						
Journal GJ: GJ						
145131	11/08/2024	OC MONTHLY DELQ PPTAX 10/2024	16591	Multiple	14.69	
145214	11/14/2024	INTERFUND DUE-TO/DUE-FROM	16612	Multiple		494,847.94
Journal Totals					14.69	494,847.94
Totals for 494-000.000-084.101					14.69	494,847.94
Balance 11/01/24:				503,233.25		
Net Change:				(494,833.25)		
Balance 11/30/24:				8,400.00		

494-000.000-202.000 ACCOUNTS PAYABLE						
Journal AP: AP						
145240	11/15/2024	BLUE CARE NETWORKVnd: BLUECARE	243130001801	Multiple		97.97
145263	11/15/2024	DES ELECTRIC LLCVnd: DES ELEC	11120	Multiple		853.75
145278	11/15/2024	FLAGSTAR BANKVnd: FLAGSTAR B I	11.14.24	Multiple		21.69
145281	11/15/2024	GIFFELS-WEBSTER ENG INCVnd: GW	132588	494-000.000-882.000		5,067.50
145282	11/15/2024	GIFFELS-WEBSTER ENG INCVnd: GW	132585	494-000.000-882.000		165.00
145298	11/15/2024	LUCENT LANDSCAPE & LIGHTINGVnd	H-0028	494-000.000-845.000		5,300.00
145303	11/15/2024	MISSIONSQUARE - 803046Vnd: MIS	6816450	Multiple		180.83
145320	11/15/2024	PARADISE GARDEN LANDSCAPINGVnd	3060	494-000.000-845.000		270.00
145321	11/15/2024	PARADISE GARDEN LANDSCAPINGVnd	3061	494-000.000-845.000		540.00
145322	11/15/2024	PARADISE GARDEN LANDSCAPINGVnd	3066	494-000.000-845.000		2,175.00
145323	11/15/2024	PARADISE GARDEN LANDSCAPINGVnd	3057	494-000.000-845.000		2,250.00
145324	11/15/2024	PARADISE GARDEN LANDSCAPINGVnd	3067	494-000.000-845.000		250.00
145327	11/15/2024	PLANTE MORANVnd: PLANTE MOR In	10335668	Multiple		2,064.80
145328	11/15/2024	PLANTE MORANVnd: PLANTE MOR In	10314138	Multiple		1,106.12
145652	11/27/2024	FLAGSTAR BANKVnd: FLAGSTAR B I	11.22.24	Multiple		69.50
145660	11/27/2024	GIFFELS-WEBSTER ENG INCVnd: GW	133328	494-000.000-882.000		4,205.25
145661	11/27/2024	GIFFELS-WEBSTER ENG INCVnd: GW	133333	494-000.000-882.000		495.00
145668	11/27/2024	MANER COSTERISANVnd: MANERCOST	60544	Multiple		295.57
145672	11/27/2024	MICHIGAN ELECTRICAL CO.Vnd: MI	11.21.24	494-000.000-933.000		375.00
145674	11/27/2024	MISSIONSQUARE - 803046Vnd: MIS	NOVEMBER 15 202	Multiple		180.83
Journal Totals					0.00	25,963.81

Journal CD: CD						
145373	11/15/2024	Check: NBDC 49934	49934	Multiple	97.97	
145394	11/15/2024	Check: NBDC 49955	49955	Multiple	853.75	
145405	11/15/2024	Check: NBDC 49966	49966	Multiple	21.69	
145408	11/15/2024	Check: NBDC 49969	49969	Multiple	5,067.50	
145409	11/15/2024	Check: NBDC 49970	49970	Multiple	165.00	
145424	11/15/2024	Check: NBDC 49985	49985	Multiple	5,300.00	
145429	11/15/2024	Check: NBDC 49990	49990	Multiple	180.83	
145447	11/15/2024	Check: NBDC 50008	50008	Multiple	270.00	
145448	11/15/2024	Check: NBDC 50009	50009	Multiple	540.00	
145449	11/15/2024	Check: NBDC 50010	50010	Multiple	2,175.00	
145450	11/15/2024	Check: NBDC 50011	50011	Multiple	2,250.00	
145451	11/15/2024	Check: NBDC 50012	50012	Multiple	250.00	
145454	11/15/2024	Check: NBDC 50015	50015	Multiple	2,064.80	
145455	11/15/2024	Check: NBDC 50016	50016	Multiple	1,106.12	
145701	11/26/2024	Check: NBDC 50104	50104	Multiple	69.50	
145705	11/26/2024	Check: NBDC 50108	50108	Multiple	4,205.25	
145706	11/26/2024	Check: NBDC 50109	50109	Multiple	495.00	
145712	11/26/2024	Check: NBDC 50115	50115	Multiple	295.57	
145716	11/26/2024	Check: NBDC 50119	50119	Multiple	375.00	
145718	11/26/2024	Check: NBDC 50121	50121	Multiple	180.83	
Journal Totals					25,963.81	0.00

User: JESSICA

FROM 494-000.000-000.000 TO 494-000.000-971.001

Item 6A.

DB: Lathrup

TRANSACTIONS FROM 11/01/2024 TO 11/30/2024

JE #	Date	Description	Reference #	OFFSETTING GL	DEBIT	CREDIT
494-000.000-202.000 ACCOUNTS PAYABLE						
Totals for 494-000.000-202.000					25,963.81	25,963.81
		Balance 11/01/24:		0.00		
		Net Change:		0.00		
		Balance 11/30/24:		0.00		

494-000.000-214.101 DUE TO GENERAL FUND						
Journal CD: CD						
145373	11/15/2024	Check: NBDC 49934	49934	Multiple		97.97
145394	11/15/2024	Check: NBDC 49955	49955	Multiple		853.75
145405	11/15/2024	Check: NBDC 49966	49966	Multiple		21.69
145408	11/15/2024	Check: NBDC 49969	49969	Multiple		5,067.50
145409	11/15/2024	Check: NBDC 49970	49970	Multiple		165.00
145424	11/15/2024	Check: NBDC 49985	49985	Multiple		5,300.00
145429	11/15/2024	Check: NBDC 49990	49990	Multiple		180.83
145447	11/15/2024	Check: NBDC 50008	50008	Multiple		270.00
145448	11/15/2024	Check: NBDC 50009	50009	Multiple		540.00
145449	11/15/2024	Check: NBDC 50010	50010	Multiple		2,175.00
145450	11/15/2024	Check: NBDC 50011	50011	Multiple		2,250.00
145451	11/15/2024	Check: NBDC 50012	50012	Multiple		250.00
145454	11/15/2024	Check: NBDC 50015	50015	Multiple		2,064.80
145455	11/15/2024	Check: NBDC 50016	50016	Multiple		1,106.12
145701	11/26/2024	Check: NBDC 50104	50104	Multiple		69.50
145705	11/26/2024	Check: NBDC 50108	50108	Multiple		4,205.25
145706	11/26/2024	Check: NBDC 50109	50109	Multiple		495.00
145712	11/26/2024	Check: NBDC 50115	50115	Multiple		295.57
145716	11/26/2024	Check: NBDC 50119	50119	Multiple		375.00
145718	11/26/2024	Check: NBDC 50121	50121	Multiple		180.83
Journal Totals					0.00	25,963.81

Journal GJ: GJ						
144431	11/01/2024	11/2024 DEPT HEAD DEF COMP MAT	16546	Multiple		176.44
145214	11/14/2024	INTERFUND DUE-TO/DUE-FROM	16612	Multiple	175,011.81	
Journal Totals					175,011.81	176.44

Journal PR: Payroll						
145690	11/14/2024	1ST PAYROLL OF NOVEMBER	16637	Multiple		5,496.19
145781	11/14/2024	1ST PAYROLL OF NOVEMBER	16648	Multiple		5,496.19
145837	11/27/2024	2ND PAY IN NOV	16661	Multiple		5,916.67
Journal Totals					0.00	16,909.05

Totals for 494-000.000-214.101						
					175,011.81	43,049.30
		Balance 11/01/24:		178,196.83		
		Net Change:		(131,962.51)		
		Balance 11/30/24:		46,234.32		

494-000.000-407.000 TIFA-CAPTURE TAXES						
Journal GJ: GJ						
145131	11/08/2024	OC MONTHLY DELQ PPTAX 10/2024	16591	Multiple		14.69
Journal Totals					0.00	14.69

Totals for 494-000.000-407.000						
					0.00	14.69
		Balance 11/01/24:		400,129.32		
		Net Change:		14.69		
		Balance 11/30/24:		400,144.01		

494-000.000-446.000 INVESTMENT INTEREST						
Journal GJ: GJ						
145148	11/07/2024	MONTHLY INTEREST POSTING- 10/3	16593	Multiple		3,096.89
145561	11/07/2024	TO REVERSE MANUAL JOURNAL ENTR	16622	Multiple	3,096.89	
145788	11/30/2024	MONTHLY INTEREST POSTING- 11/3	16653	Multiple		3,410.96
Journal Totals					3,096.89	6,507.85

Totals for 494-000.000-446.000						
					3,096.89	6,507.85
		Balance 11/01/24:		13,074.65		
		Net Change:		3,410.96		
		Balance 11/30/24:		16,485.61		

494-000.000-701.000 SALARIES FULL-TIME						
Journal PR: Payroll						
145690	11/14/2024	1ST PAYROLL OF NOVEMBER	16637	Multiple	5,111.87	
145781	11/14/2024	1ST PAYROLL OF NOVEMBER	16648	Multiple	5,111.87	

JE #	Date	Description	Reference #	OFFSETTING GL	DEBIT	CREDIT
494-000.000-701.000 SALARIES FULL-TIME						
Journal PR: Payroll						
145837	11/27/2024	2ND PAY IN NOV	16661	Multiple	5,505.62	
Journal Totals					15,729.36	0.00
Totals for 494-000.000-701.000					15,729.36	0.00
Balance 11/01/24:				35,681.87		
Net Change:				15,729.36		
Balance 11/30/24:				51,411.23		

494-000.000-703.000 EMPLOYEE TAXES & BENEFITS						
Journal AP: AP						
145240	11/15/2024	BLUE CARE NETWORKEMPLOYEE TAXE	243130001801	Multiple	97.97	
145303	11/15/2024	MISSIONSQUARE - 803046EMPLOYEE	6816450	Multiple	180.83	
145674	11/27/2024	MISSIONSQUARE - 803046EMPLOYEE	NOVEMBER 15 202	Multiple	180.83	
Journal Totals					459.63	0.00
Journal GJ: GJ						
144431	11/01/2024	11/2024 DEPT HEAD DEF COMP MAT	16546	Multiple	176.44	
Journal Totals					176.44	0.00
Journal PR: Payroll						
145690	11/14/2024	1ST PAYROLL OF NOVEMBER	16637	Multiple	384.32	
145781	11/14/2024	1ST PAYROLL OF NOVEMBER	16648	Multiple	384.32	
145837	11/27/2024	2ND PAY IN NOV	16661	Multiple	411.05	
Journal Totals					1,179.69	0.00
Totals for 494-000.000-703.000					1,815.76	0.00
Balance 11/01/24:				15,463.92		
Net Change:				1,815.76		
Balance 11/30/24:				17,279.68		

494-000.000-726.000 OFFICE SUPPLIES						
Journal AP: AP						
145652	11/27/2024	FLAGSTAR BANKOFFICE SUPPLIES	11.22.24	Multiple	69.50	
Journal Totals					69.50	0.00
Totals for 494-000.000-726.000					69.50	0.00
Balance 11/01/24:				163.89		
Net Change:				69.50		
Balance 11/30/24:				233.39		

494-000.000-810.000 AUDITING & ACCOUNTING						
Journal AP: AP						
145327	11/15/2024	PLANTE MORANAUDITING & ACCOUNT	10335668	Multiple	2,064.80	
145328	11/15/2024	PLANTE MORANAUDITING & ACCOUNT	10314138	Multiple	1,106.12	
145668	11/27/2024	MANER COSTERISANAUDITING & ACC	60544	Multiple	295.57	
Journal Totals					3,466.49	0.00
Totals for 494-000.000-810.000					3,466.49	0.00
Balance 11/01/24:				3,777.75		
Net Change:				3,466.49		
Balance 11/30/24:				7,244.24		

494-000.000-844.000 MAIN STREET PROGRAM						
Journal AP: AP						
145278	11/15/2024	FLAGSTAR BANKMAIN STREET PROGR	11.14.24	Multiple	1.58	
Journal Totals					1.58	0.00
Totals for 494-000.000-844.000					1.58	0.00
Balance 11/01/24:				25,432.15		
Net Change:				1.58		
Balance 11/30/24:				25,433.73		

494-000.000-845.000 STREETSCAPING						
Journal AP: AP						
145298	11/15/2024	LUCENT LANDSCAPE & LIGHTINGSTR	H-0028	494-000.000-202.000	5,300.00	
145320	11/15/2024	PARADISE GARDEN LANDSCAPINGSTR	3060	494-000.000-202.000	270.00	
145321	11/15/2024	PARADISE GARDEN LANDSCAPINGSTR	3061	494-000.000-202.000	540.00	
145322	11/15/2024	PARADISE GARDEN LANDSCAPINGSTR	3066	494-000.000-202.000	2,175.00	

User: JESSICA

FROM 494-000.000-000.000 TO 494-000.000-971.001

Item 6A.

DB: Lathrup

TRANSACTIONS FROM 11/01/2024 TO 11/30/2024

JE #	Date	Description	Reference #	OFFSETTING GL	DEBIT	CREDIT
494-000.000-845.000 STREETS CAPING						
Journal AP: AP						
145323	11/15/2024	PARADISE GARDEN LANDSCAPINGSTR	3057	494-000.000-202.000	2,250.00	
145324	11/15/2024	PARADISE GARDEN LANDSCAPINGSTR	3067	494-000.000-202.000	250.00	
Journal Totals					10,785.00	0.00
Totals for 494-000.000-845.000					10,785.00	0.00
Balance 11/01/24:					12,942.18	
Net Change:					10,785.00	
Balance 11/30/24:					23,727.18	
494-000.000-882.000 PLANNING/CONSULTING FEES						
Journal AP: AP						
145281	11/15/2024	GIFFELS-WEBSTER ENG INCPLANNIN	132588	494-000.000-202.000	5,067.50	
145282	11/15/2024	GIFFELS-WEBSTER ENG INCPLANNIN	132585	494-000.000-202.000	165.00	
145660	11/27/2024	GIFFELS-WEBSTER ENG INCPLANNIN	133328	494-000.000-202.000	4,205.25	
145661	11/27/2024	GIFFELS-WEBSTER ENG INCPLANNIN	133333	494-000.000-202.000	495.00	
Journal Totals					9,932.75	0.00
Totals for 494-000.000-882.000					9,932.75	0.00
Balance 11/01/24:					16,230.53	
Net Change:					9,932.75	
Balance 11/30/24:					26,163.28	
494-000.000-933.000 REPAIRS & MAINTENANCE						
Journal AP: AP						
145672	11/27/2024	MICHIGAN ELECTRICAL CO.REPAIRS	11.21.24	494-000.000-202.000	375.00	
Journal Totals					375.00	0.00
Totals for 494-000.000-933.000					375.00	0.00
Balance 11/01/24:					17,550.56	
Net Change:					375.00	
Balance 11/30/24:					17,925.56	
494-000.000-955.000 MISCELLANEOUS EXPENDITURES						
Journal AP: AP						
145263	11/15/2024	DES ELECTRIC LLCMISCELLANEOUS	11120	Multiple	853.75	
145278	11/15/2024	FLAGSTAR BANKMISCELLANEOUS EXP	11.14.24	Multiple	20.11	
Journal Totals					873.86	0.00
Totals for 494-000.000-955.000					873.86	0.00
Balance 11/01/24:					1,100.00	
Net Change:					873.86	
Balance 11/30/24:					1,973.86	

User: JESSICA
DB: Lathrup

PERIOD ENDING 11/30/2024

Item 6A.

GL NUMBER	DESCRIPTION	2024-25		YTD BALANCE	ACTIVITY FOR		AVAILABLE		% BDGT USED
		AMENDED BUDGET	NORMAL	11/30/2024 (ABNORMAL)	MONTH 11/30/2024 INCREASE	(DECREASE)	NORMAL	(ABNORMAL)	
Fund 494 - DOWNTOWN DEVELOPMENT AUTHORITY									
Revenues									
Dept 000.000									
494-000.000-407.000	TIFA-CAPTURE TAXES	410,000.00		400,144.01		14.69		9,855.99	97.60
494-000.000-410.000	TAX COLLECTED OTHER	37,488.00		33,972.47		0.00		3,515.53	90.62
494-000.000-415.000	MISCELLANEOUS REVENUE	23,000.00		6,100.00		0.00		16,900.00	26.52
494-000.000-446.000	INVESTMENT INTEREST	40,000.00		16,485.61		3,410.96		23,514.39	41.21
494-000.000-614.000	MUSIC FEST	0.00		16,292.46		0.00		(16,292.46)	100.00
494-000.000-615.000	MAIN STREET REVENUES	0.00		600.00		0.00		(600.00)	100.00
Total Dept 000.000		510,488.00		473,594.55		3,425.65		36,893.45	92.77
TOTAL REVENUES		510,488.00		473,594.55		3,425.65		36,893.45	92.77
Expenditures									
Dept 000.000									
494-000.000-701.000	SALARIES FULL-TIME	180,000.00		51,411.23		15,729.36		128,588.77	28.56
494-000.000-702.000	SALARIES PART-TIME	5,000.00		0.00		0.00		5,000.00	0.00
494-000.000-703.000	EMPLOYEE TAXES & BENEFITS	65,000.00		17,279.68		1,815.76		47,720.32	26.58
494-000.000-722.000	LEGAL SERVICES	900.00		0.00		0.00		900.00	0.00
494-000.000-726.000	OFFICE SUPPLIES	3,755.00		233.39		69.50		3,521.61	6.22
494-000.000-802.000	TAX TRIBUNAL RETURNS	2,000.00		0.00		0.00		2,000.00	0.00
494-000.000-810.000	AUDITING & ACCOUNTING	800.00		7,244.24		3,466.49		(6,444.24)	905.53
494-000.000-822.000	TRAINING/MEMBERSHIP	7,125.00		135.00		0.00		6,990.00	1.89
494-000.000-844.000	MAIN STREET PROGRAM	18,500.00		25,433.73		1.58		(6,933.73)	137.48
494-000.000-845.000	STREETSCAPING	19,000.00		23,727.18		10,785.00		(4,727.18)	124.88
494-000.000-882.000	PLANNING/CONSULTING FEES	15,300.00		26,163.28		9,932.75		(10,863.28)	171.00
494-000.000-900.000	PRINTING/PUBLICATION COSTS	2,000.00		0.00		0.00		2,000.00	0.00
494-000.000-901.000	POSTAGE FEES	200.00		0.00		0.00		200.00	0.00
494-000.000-933.000	REPAIRS & MAINTENANCE	503,980.00		17,925.56		375.00		486,054.44	3.56
494-000.000-955.000	MISCELLANEOUS EXPENDITURES	23,457.00		1,973.86		873.86		21,483.14	8.41
494-000.000-968.001	DEPRECIATION INFRASTRUCTURE	30,000.00		0.00		0.00		30,000.00	0.00
494-000.000-971.000	SIGN GRANT PROGRAM	10,000.00		0.00		0.00		10,000.00	0.00
494-000.000-971.001	FACADE GRANT PROGRAM	20,000.00		0.00		0.00		20,000.00	0.00
Total Dept 000.000		907,017.00		171,527.15		43,049.30		735,489.85	18.91
TOTAL EXPENDITURES		907,017.00		171,527.15		43,049.30		735,489.85	18.91
Fund 494 - DOWNTOWN DEVELOPMENT AUTHORITY:									
TOTAL REVENUES		510,488.00		473,594.55		3,425.65		36,893.45	92.77
TOTAL EXPENDITURES		907,017.00		171,527.15		43,049.30		735,489.85	18.91
NET OF REVENUES & EXPENDITURES		(396,529.00)		302,067.40		(39,623.65)		(698,596.40)	76.18

Item 6A.

Fund 494 DOWNTOWN DEVELOPMENT AUTHORITY

GL Number	Description	PERIOD ENDED 11/30/2023	PERIOD ENDED 11/30/2024
*** Assets ***			
494-000.000-010.000	TRUST ACCOUNT-GENERAL	1,160,099.54	1,301,371.20
494-000.000-028.096	TAXES RECEIVABLE-PERSONAL PROP	19,543.46	9,697.14
494-000.000-084.101	DUE FROM GENERAL FUND	488,463.89	8,400.00
494-000.000-141.001	INFRASTRUCTURE	360,289.69	640,945.69
494-000.000-177.000	NON DEPRECIABLE-CAPITAL ASSETS	0.00	27,972.00
494-000.000-177.001	DEPRECIABLE ASSETS	25,243.25	75,432.25
494-000.000-193.000	ACCUMULATED DEPRECIATION	(229,016.22)	(277,782.22)
Total Assets		1,824,623.61	1,786,036.06
*** Liabilities ***			
494-000.000-214.101	DUE TO GENERAL FUND	327,989.52	46,234.32
494-000.000-214.202	DUE TO MAJOR ROADS	133,801.50	0.00
494-000.000-214.203	DUE TO LOCAL ROADS	133,801.50	0.00
Total Liabilities		595,592.52	46,234.32
*** Fund Balance ***			
494-000.000-390.000	FUND BALANCE	1,283,692.70	1,283,692.70
Total Fund Balance		1,283,692.70	1,283,692.70
Beginning Fund Balance		1,284,693.70	1,283,692.70
Net of Revenues VS Expenditures - 23-24			154,041.64
Fund Balance Adjustments - 23-24		(1,001.00)	
*23-24 End FB/24-25 Beg FB		1,437,734.34	
Net of Revenues VS Expenditures - Current Year		(54,661.61)	302,067.40
Fund Balance Adjustments		(1,001.00)	0.00
Ending Fund Balance		1,229,031.09	1,739,801.74
Total Liabilities And Fund Balance		1,824,623.61	1,786,036.06

* Year Not Closed

12/16/2024

Code Enforcement Report

Address	Business name	Violation	Inspection Type	Category	Status
26727 SOUTHFIELD RD	VILLAGE SQUARE MARI	BUSINESS LICENSE REQUIRED	RE-INSPECTION - ORI	No Business License	Complied

18-29 Unlicensed Businesses

No person required to obtain and maintain a license under section 18-30 shall conduct business in this city unless the person is licensed, and no natural person or individual shall, by actions taken within this city, aid or abet another in the conduct of such unlicensed business.

INSPECTOR COMMENTS: BUSINESS LICENSE REQUIRED

26727 SOUTHFIELD RD	TASTEE CHICKEN TOGC	BUSINESS LICENSE REQUIRED	RE-INSPECTION - ORI	No Business License	Resolved
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18-29 Unlicensed Businesses

No person required to obtain and maintain a license under section 18-30 shall conduct business in this city unless the person is licensed, and no natural person or individual shall, by actions taken within this city, aid or abet another in the conduct of such unlicensed business.

INSPECTOR COMMENTS: BUSINESS LICENSE REQUIRED

26041 SOUTHFIELD RD	WIGGINS, SARAH	PARKING LOT STRIPING REQUIRED - FRONT AND REAR SPACES	RE-INSPECTION - ORI	Parking Lot Maintenance	Letter Sent
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62-1 Maintenance of sidewalks, parking lots and driveways

Every property owner and other person in possessory control of a sidewalk, parking lot, or driveway on private property which is a public place, as defined in this Code, shall exercise due care to maintain such sidewalk, parking lot, or driveway and the adjoining right-of-way in reasonable repair and in condition reasonably safe and fit for travel. Every such person who fails to do so shall be in violation of this section, and such premises not so maintained shall constitute a public nuisance.

(Code 1991, art. V, ch. 7, § 110)

Code Enforcement Report

Address	Business name	Violation	Inspection Type	Category	Status
28625 SOUTHFIELD RD	HADDOW, MASON	ADDRESS NUMBER NOT VISIBLE FROM STREET - MUST CONTRAST FULLY	Ordinance	Property Identification	Door Tagged, Late
26732 SOUTHFIELD RD	MOBILITY CITY	FLUTTER TYPE SIGN DISPLAYED WITHOUT APPROVAL - REMOVE	RE-INSPECTION - ORI	Sign Violation	Resolved

The following signs are prohibited:

(1)Add-on signs(2)Animated signs(3)Beacon lights(4)Banners (except street banners advertising community/special events)(5)Feather and flutter signs(6)Festoons(7)Inflatable signs(8)Mirrors or mirrored signs(9)Moving signs(10)Obsolete signs(11)Pennants(12)Pole signs(13)Roof signs(14)Snipe signs
(Ord. No. 437-15, pt. II, 4-20-2015; Ord. No. 464-21 , 6-21-2021)

INSPECTOR COMMENTS: FEATHER/FLUTTER TYPE SIGN DISPLAYED WITHOUT APPROVAL - REMOVE

28313 SOUTHFIELD RD	EDDIE MOUHAJER	OPERATING WITHOUT A BUSINESS LICENCE - BUSINESS LICENSE REQUIRED	RE-INSPECTION - ORI	No Business License	Resolved
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18-29 Unlicensed Businesses

No person required to obtain and maintain a license under section 18-30 shall conduct business in this city unless the person is licensed, and no natural person or individual shall, by actions taken within this city, aid or abet another in the conduct of such unlicensed business.

INSPECTOR COMMENTS: OPERATING WITHOUT A BUSINESS LICENCE - BUSINESS LICENSE REQUIRED

27900 EVERGREEN RD	RAINBOW RASCALS LA1	SIGNS NOT PERMITTED IN RIGHT OF WAY - REMOVE	RE-INSPECTION - ORI	Sign in R.O.W.	Closed
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Signs in ROW

No sign shall be located in or project into a public right-of-way or private road or dedicated easement, except governmental signs and signs installed by the applicable road agency or utility company, or as otherwise expressly permitted in this section.

INSPECTOR COMMENTS: SIGNS NOT PERMITTED IN RIGHT OF WAY - REMOVE



27400 Southfield Rd
 Lathrup Village, MI 48076
 (248) 557 - 2600
 www.lathrupvillage.org

To: DDA Board of Directors
 From: Austin Colson – Community & Economic Development/DDA Director
 Date: December 20, 2024
 RE: Board Meeting Schedule - 2025

The following outlines the confirmed meeting dates for the Downtown Development Authority (DDA) Board for 2025. Consistent with past practice, meetings will be held on the third Friday of each month at 12:00pm.

2025 Meeting Dates

- January 17, 2025
- February 21, 2025
- March 21, 2025
- April 25, 2025*
- May 16, 2025
- June 20, 2025
- July 18, 2025
- August 15, 2025
- September 19, 2025
- October 17, 2025
- November 21, 2025
- December 19, 2025

**Meeting moved to fourth Friday of April due to office being closed for Good Friday.*

Meeting Details

- **Time:** 12:00pm
- **Location:** 27400 Southfield Road, Lathrup Village, MI – City Hall

Suggested Motion: Approve the 2025 DDA Board meeting schedule as presented, with meetings to be held on the third Friday of each month at 12:00pm.



27400 Southfield Rd
Lathrup Village, MI 48076
(248) 557 - 2600
www.lathrupvillage.org

To: DDA Board of Directors
From: Austin Colson – Community & Economic Development/DDA Director
Date: December 20, 2024
RE: Combined Alleyway Improvements Bid FY25 & FY26

The purpose of this memo is to seek the DDA Board’s approval to consolidate the FY25 and FY26 alleyway repaving projects into a single bid package, rather than bidding them out separately in consecutive years.

There are seven segments of alleyway being repaved during FY25 and FY26.

Rationale for a Single Bid

Combining these projects into a single bid offers several advantages:

- 1. **Cost Efficiency:** Larger projects often attract more competitive bids from contractors, potentially reducing overall costs due to economies of scale in labor, materials, and mobilization.
- 2. **Streamlined Project Management:** Managing one larger project rather than two separate ones reduces administrative burden and allows for more efficient oversight and coordination.
- 3. **Consistency in Quality:** Utilizing a single contractor for both fiscal years ensures uniform quality and standards across all repaving work.
- 4. **Market Conditions:** Locking in pricing for both fiscal years now could help mitigate the risk of escalating costs due to inflation or market volatility in future years.

Suggested Motion: Authorize the DDA Director to publish a single Request for Quote (RFQ) for alleyway improvements to be completed during FY25 and FY26.

2025 ALLEY RECONSTRUCTION PROGRAM

FOR LATHRUP VILLAGE DOWNTOWN DEVELOPMENT AUTHORITY CITY OF LATHRUP VILLAGE, OAKLAND COUNTY, MICHIGAN

SOIL EROSION AND SEDIMENTATION CONTROL NOTES

1. THE CONTRACTOR SHALL COMPLY WITH REQUIREMENTS OF THE SOIL EROSION AND SEDIMENTATION CONTROL ACT OF THE STATE OF MICHIGAN, PART 91 OR ACT 451, OF THE PUBLIC ACTS OF 1994 AND THE REQUIREMENTS OF THE OAKLAND COUNTY WATER RESOURCE COMMISSIONER.
2. A SOIL EROSION AND SEDIMENTATION CONTROL PERMIT WILL BE REQUIRED FROM THE OAKLAND COUNTY WATER RESOURCES COMMISSIONER'S OFFICE.
3. THE CONTRACTOR SHALL CONDUCT OPERATIONS IN A MANNER THAT WILL REDUCE ACCELERATED EROSION TO THE PRACTICAL MINIMUM AND PREVENT DAMAGING SILTATION TO EXISTING SEWERS AND WATER COURSES LEADING FROM THE WORK SITE.
4. THE CONTRACTOR SHALL CONDUCT WORK IN SUCH A MANNER AS TO PREVENT THE ENTRY OF FUELS, OILS, BITUMINOUS MATERIALS, CHEMICALS, SEWERAGE OR OTHER HARMFUL MATERIALS INTO NEARBY LAKES AND STREAMS.
5. WASTE DISPOSAL AREAS SHALL BE SELECTED BY THE CONTRACTOR WITH FULL CONSIDERATION OF EROSION AND SEDIMENT CONTROL, SELECTION OF DISPOSAL SITE, CONTROL OF OPERATIONS AND THE RESTORATION OF SAID AREAS SHALL BE SUBJECT TO THE APPROVAL OF THE ENGINEER.
6. EXCAVATION FROM THE RIGHT-OF-WAY, CHANNELS, OR OTHER MATERIAL SHALL NOT BE DEPOSITED IN OR NEAR RIVERS, STREAMS OR PONDS WHERE IT MAY ENTER THE WATERWAY.
7. AT THE COMPLETION OF EACH DAY'S CONSTRUCTION, CARE SHALL BE TAKEN TO ENSURE THAT MINIMAL EROSION WILL OCCUR IN TRENCHES AND TO STOCKPILED MATERIALS UNTIL RESUMPTION OF WORK.
8. THE CONTRACTOR SHALL CONFINE OPERATIONS TO THE MINIMUM AMOUNT OF WORKING SPACE PRACTICAL TO MINIMIZE SOIL EROSION.
9. THE PROJECT WILL BE CONTINUALLY INSPECTED BY THE ENGINEER FOR EROSION CONTROL COMPLIANCE. DEFICIENCIES WILL BE CORRECTED BY THE CONTRACTOR IMMEDIATELY UPON NOTICE OF SUCH DEFICIENCIES. FAILURE TO CORRECT THE DEFICIENCIES MAY RESULT IN THE ISSUANCE OF A STOP WORK ORDER AND THERE WILL BE NO CONTRACT TIME EXTENSION GRANTED FOR THIS TYPE OF STOPPAGE.
10. INLET FILTERS SHALL BE INSTALLED THROUGHOUT THE ENTIRE CONSTRUCTION PHASE OF THE PROJECT AND SHALL BE REMOVED BY THE CONTRACTOR AFTER THE PERMANENT SOIL EROSION MEASURES HAVE BEEN COMPLETED.
11. STREET SWEEPING OR MUD REMOVAL SHALL BE PERFORMED DAILY FOR MUD TRACKED ONTO PUBLIC STREETS.
12. THE ENGINEER SHALL HAVE FULL AUTHORITY TO TEMPORARILY SUSPEND WORK IN THE EVENT THAT ANY OF THE ABOVE REQUIREMENTS ARE NOT BEING MET BY THE CONTRACTOR, OR IF CONDITIONS INDICATE THAT ADDITIONAL TEMPORARY CONTROL MEASURES ARE WARRANTED, IN THE OPINION OF THE ENGINEER.
13. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF THE SOIL EROSION CONTROL MEASURES WITHIN THE CONSTRUCTION AREA UNTIL FULL COMPLETION OF THE PROJECT.
14. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY THE CONTRACTOR.

TEMPORARY SESC MEASURE MAINTENANCE SCHEDULE

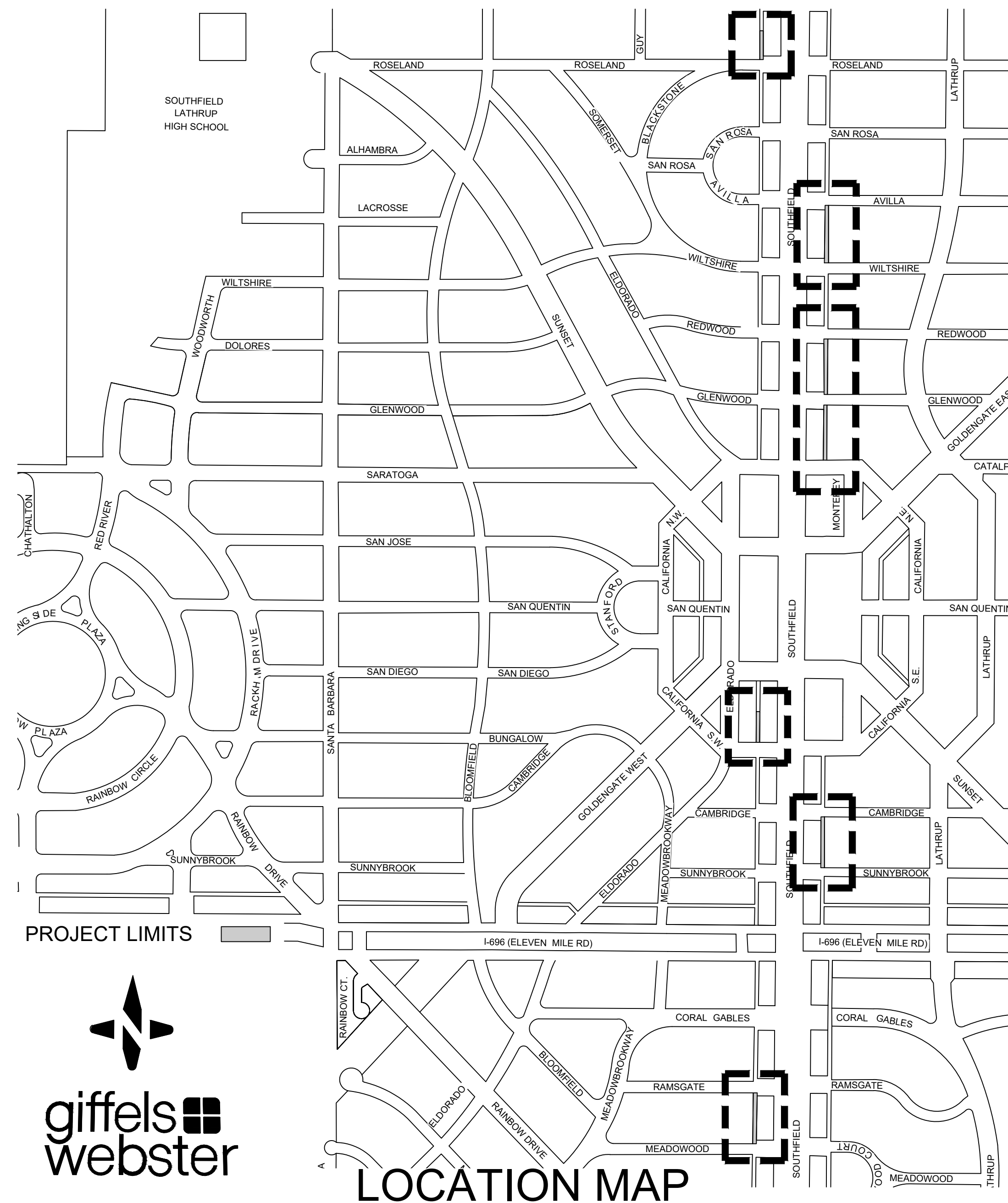
1. SOIL EROSION AND SEDIMENTATION CONTROL MEASURES SHALL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT.
2. WEEKLY INSPECTION AND MAINTENANCE MUST BE PROVIDED TO INSURE INLET FILTER OPERATES EFFICIENTLY.
3. REMOVE ACCUMULATED SEDIMENT.
4. REPLACE/REPAIR DAMAGED INLET FILTERS, AND/OR SEDIMENT CONTROL FENCING

REPAIR METHODS

1. RECONSTRUCTION WITH 3" HMA 3C BASE COURSE, 2" 5E1 WEARING COURSE, MACHINE GRADING

CONSTRUCTION NOTES

1. ALL BITUMINOUS MATERIALS SHALL BE COMPACTED TO A MINIMUM OF 92% OF THE MAXIMUM DENSITY AS DETERMINED BY THE MARSHALL METHOD.
2. AGGREGATE BASE UNDER ROADWAY SHALL BE COMPACTED TO A MINIMUM OF 98% OF THE MAXIMUM UNIT WEIGHT AND AT A MOISTURE CONTENT NO GREATER THAN OPTIMUM WHEN PLACED UNDER ASPHALT PAVEMENTS AND A MINIMUM OF 95% OF THE MAXIMUM UNIT WEIGHT AT A MOISTURE CONTENT NO GREATER THAN OPTIMUM WHEN PLACED UNDER CONCRETE PAVEMENTS.
3. THE CITY MAY DIRECT ADDITIONAL DRIVEWAY OR SIDEWALK CULVERTS TO BE REMOVED AND REPLACED.
4. DETECTABLE WARNING SURFACES SHALL BE BRICK RED, AND SHALL BE FROM AN APPROVED SOURCE LISTED BELOW:
 - ARMOR-TILE CAST IN PLACE DETECTABLE WARNINGS
 - ADA SOLUTIONS CAST IN PLACE TRUNCATED DOME DETECTABLE WARNING SYSTEMS
5. CONSTRUCTION LAYOUT. GIFFELS WEBSTER WILL PROVIDE PROPOSED FINISH GRADE STAKES FOR THE PROPOSED IMPROVEMENTS.



LOCATION MAP

NOT TO SCALE

BIDDER TO BID ACCORDINGLY

PAVEMENT CORE AND SOIL BORING INFORMATION FOR THIS PROJECT IS LIMITED. THE ENGINEER USED ALL INFORMATION AVAILABLE TO MAKE ASSUMPTIONS REGARDING EXISTING PAVEMENT, SUB-BASE AND BASE COMPOSITION FOR THIS PROJECT BLOCK TO BLOCK. THE INFORMATION SHOWN ON THESE DRAWINGS MAY NOT ACCURATELY REFLECT WHAT THE CONTRACTOR WILL UNCOVER IN THE FIELD. THICKNESS OF HMA SURFACE, REM AND PAVT, REM AS WELL AS EXCAVATION, EARTH QUANTITIES WILL VARY BLOCK TO BLOCK.

SHEET INDEX

SHEET 1	COVER SHEET
SHEET 2	GENERAL NOTES AND TYPICAL DETAILS
SHEET 3	WRC DETAILS
SHEET 4	TRAFFIC CONTROL PLAN
SHEET 5	TRUCK ROUTES
SHEET 6	SUNNYBROOK ALLEY
SHEET 7	CALIFORNIA EAST ALLEY
SHEET 8	GLENWOOD ALLEY
SHEET 9	WILTSHIRE ALLEY
SHEET 10	STM STR CLEANING (1 OF 2)
SHEET 11	STM STR CLEANING (2 OF 2)

REVISE

TRUCK ACCESS

1. ALL WORK TRUCKS SHALL ENTER/ EXIT THE WORK SITE FROM SOUTHFIELD ROAD. ACCESS THROUGH RESIDENTIAL STREETS SHALL NOT BE ALLOWED.

COORDINATION NOTE

1. THE CITY OF LATHRUP VILLAGE WILL BE RESURFACING EASTBOUND 11 MILE FROM SOUTHFIELD TO THE CITY LIMITS. EASTBOUND TRAFFIC WILL BE REDUCED FROM TWO LANES TO ONE. HEAVIER TRAFFIC LOADS WILL BE EXPECTED.
2. MDOT WILL BE RECONSTRUCTING 696 FROM LAHSER TO I-75. ALL EASTBOUND TRAFFIC, ON RAMP AND EXIT RAMP WILL BE CLOSED. WESTBOUND TRAFFIC WILL BE REDUCED FROM FOUR LANES TO TWO. HEAVIER TRAFFIC LOADS WILL BE EXPECTED. DETOURS WILL BE PROVIDED BY MDOT.

SEQUENCE OF CONSTRUCTION

1. INSTALL TEMPORARY TRAFFIC CONTROL DEVICES.
2. INSTALL TEMPORARY SESC MEASURES.
3. REMOVE PAVEMENT.
4. REMOVE DRIVEWAYS, CULVERTS AND SIDEWALKS.
5. SET SUBGRADE ELEVATIONS (WHERE REQUIRED).
6. PROOF-ROLL SUBGRADE.
7. PLACE AND / OR GRADE AGGREGATE BASE (WHERE REQUIRED).
8. ADJUST DRAINAGE STRUCTURES.
9. PLACE HMA PAVEMENT.
10. INSTALL DRIVEWAYS, SIDEWALKS, CULVERTS, AND RAMP.
11. REMOVE TEMPORARY TRAFFIC CONTROL DEVICES.
12. RESTORE ADJACENT LAWN AREAS.
13. REMOVE TEMPORARY SESC MEASURES.
14. CLEAN UP PROJECT SITE.

MDOT SPECIAL DETAILS AND STANDARD PLANS

FOR ALL WORK, THE CONTRACTOR SHALL FOLLOW THE MDOT STANDARD SPECIFICATIONS FOR CONSTRUCTION AND THE STANDARD PLANS AND SPECIAL DETAILS LISTED BELOW (UNLESS OTHERWISE NOTED IN A SPECIAL PROVISION):

• R-9-D	COVER D
• R-28-K	CURB RAMP AND DETECTABLE WARNING DETAILS
• R-29-J	DRIVEWAY OPENINGS & APPROACHES, AND CONCRETE SIDEWALK
• R-30-G	CONCRETE CURB AND CONCRETE CURB & GUTTER
• R-31-F	INTEGRAL CURB AND INTEGRAL CURB & GUTTER
• R-80-F	GRANULAR BLANKET, UNDERDRAINS, OUTLET ENDINGS, AND SEWER BULKHEADS
• R-82-D	BEDDING AND FILLING AROUND PIPE CULVERTS
• R-83-C	UTILITY TRENCHES
• WZD-125-E	TEMPORARY TRAFFIC CONTROL DEVICES

GENERAL PROJECT NOTES:

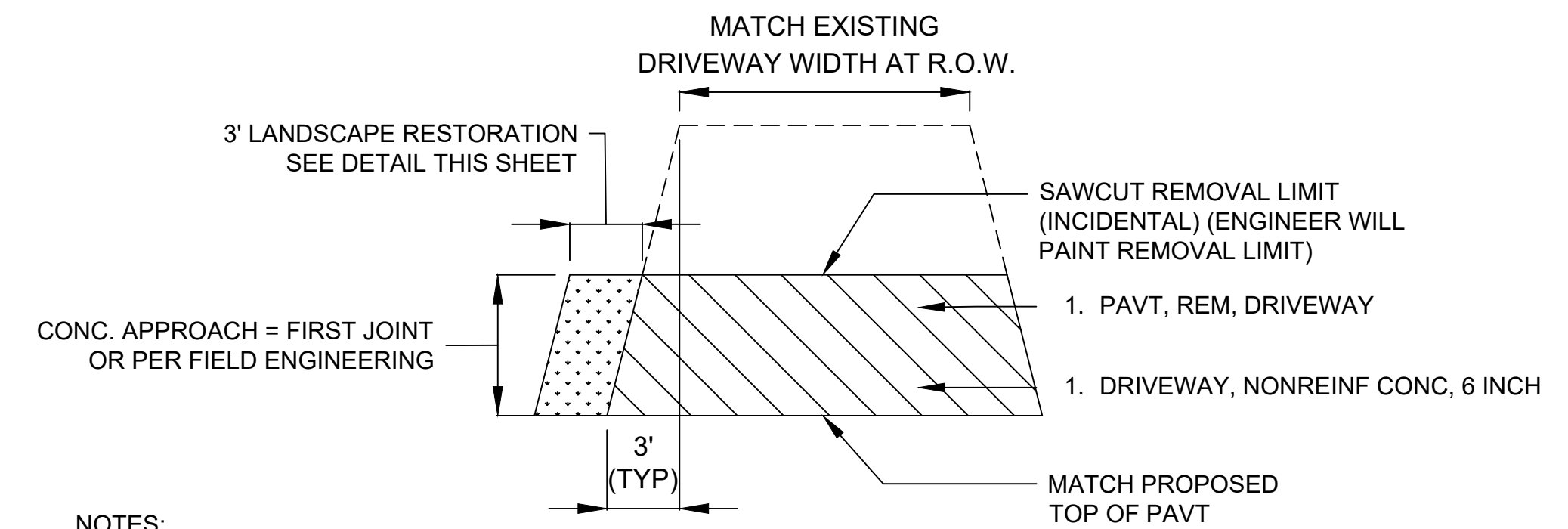
1. THE CONTRACTOR SHALL CONDUCT ALL OPERATIONS IN ACCORDANCE WITH ALL FEDERAL, STATE, AND LOCAL CODES FOR NOISE LEVELS, VIBRATIONS, OR ANY OTHER RESTRICTIONS WHILE REMOVING PAVEMENT OR ANY OTHER CONSTRUCTION OPERATION WITHIN THIS CONTRACT.
2. IF THE WORK EXTENDS BEYOND THE DATES SPECIFIED FOR SEASONAL SUSPENSION, IN THE ABSENCE OF APPROVED EXTENSION(S) OF TIME, NO COMPENSATION WILL BE DUE TO THE CONTRACTOR FOR ANY WINTER PROTECTION MEASURES THAT MAY BE REQUIRED BY THE ENGINEER.
3. IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR FAILS TO PERFORM THE DUTIES AS SPECIFIED IN THE PLANS OR AS DIRECTED BY THE ENGINEER, THE ENGINEER MAY REQUIRE CITY FORCES TO PERFORM WORK, WITH OR WITHOUT NOTIFICATION TO THE CONTRACTOR OR THE SURETY. THE CONTRACTOR SHALL BE CHARGED LABOR AND EQUIPMENT RENTAL RATES AS DETERMINED BY THE CITY.
4. THE CONTRACTOR SHALL NOTIFY CITY OF SOUTHFIELD FIRE AND LATHRUP VILLAGE POLICE DEPARTMENTS A MINIMUM OF 48 HOURS IN ADVANCE OF PROPOSED ALLEY OR LANE CLOSURES.
5. THE CONTRACTOR AND SUBCONTRACTORS SHALL NOTIFY "MISS DIG" A MINIMUM OF 72 HOURS PRIOR TO THE START OF ANY CONSTRUCTION.
6. THE USE OF PRIVATE PROPERTY BY THE CONTRACTOR AND SUBCONTRACTORS IS PROHIBITED UNLESS A WRITTEN AGREEMENT, NOTARIZED BY A PUBLIC NOTARY, BETWEEN THE CONTRACTOR AND PROPERTY OWNER IS PROVIDED TO THE ENGINEER PRIOR TO THE USE OF SAID PROPERTY.
7. SOIL BORING AND PAVEMENT CORE INFORMATION IS PROVIDED FOR GENERAL INFORMATION ONLY AND IS SPECIFIC TO THE POINT LOCATION IDENTIFIED ON PLANS
8. THE CONTRACTOR SHALL PROVIDE AND/OR CONSTRUCT TEMPORARY WASHOUT AREAS FOR CONCRETE WASTE AT A LOCATION APPROVED BY THE ENGINEER. AT NO TIME SHALL A CONTRACTOR OR SUPPLIER OF CONCRETE WASH OUT OR DISPOSE OF CONCRETE WASTE AT ANY LOCATION OTHER THAN THESE DESIGNATED LOCATIONS. FAILURE TO MEET THIS REQUIREMENT WILL REQUIRE SUSPENSION OF ALL CONCRETE OPERATIONS UNTIL SUCH TIME THAT CORRECTIVE ACTION IS TAKEN AND ACCEPTED BY THE ENGINEER.
9. THE CONTRACTOR SHALL SAWCUT ALL ROADWAY, ALLEY, DRIVEWAY, AND SIDEWALK REMOVAL LIMITS FULL-DEPTH PRIOR TO BEGINNING REMOVALS. THIS WORK SHALL NOT BE PAID SEPARATELY BUT SHALL BE INCLUDED IN PAYMENT FOR OTHER WORK ITEMS.
10. THE CONTRACTOR SHALL REPAIR ALL LAWN SPRINKLER SYSTEMS IMPACTED BY CONSTRUCTION.
11. THE CONTRACTOR SHALL GRADE AND RESTORE DISTURBED OPEN CHANNEL DRAINAGE FEATURES TO PROVIDE CONSISTENT POSITIVE DRAINAGE.
12. THE CONTRACTOR SHALL PROOF ROLL ALL SUBGRADE WHERE DIRECTED AT NO ADDITIONAL COST TO THE CITY.
13. EXCAVATION QUANTITIES PROVIDED ON EACH ALLEY ARE ESTIMATES ONLY AND SHOULD NOT BE SOLELY RELIED UPON BY THE CONTRACTOR THROUGHOUT THE BIDDING AND CONSTRUCTION PROCESS.
14. LANDSCAPE AREAS DISTURBED FOR CONVENIENCE OF THE CONTRACTOR SUCH AS STOCKPILE AREAS WILL BE RESTORED BY THE CONTRACTOR AT NO COST TO THE CITY.
15. THE CONTRACTOR MAY BE REQUIRED TO OBTAIN THE FOLLOWING PERMITS PRIOR TO THE START OF CONSTRUCTION:
 - WATER RESOURCES COMMISSIONER (SOIL EROSION AND SEDIMENTATION CONTROL)
 - RCOC R.O.W. PERMIT (SOUTHFIELD ROAD CORRIDOR APPROACHES).

SUMMARY OF ESTIMATED QUANTITIES

ITEM	UNIT	PLANNED	AS DIRECTED	TOTAL
MOBILIZATION, MAX 5%	Ls	1	-	1
TRAFFIC CONTROL, MAX 3%	Ls	1	-	1
REIMBURSED PERMIT FEES	Dlr	1,000.0	-	1,000
CULV, REM, LESS THAN 24 INCH	Ea	1	-	1
PAVT, REM	Syd	145	-	145
SIDEWALK, REM	Syd	53	-	53
EXCAVATION, EARTH, LINCOLN WEST	Ls	1	-	1
EXCAVATION, EARTH, LINCOLN EAST	Ls	1	-	1
EXCAVATION, REVISE	Ls	1	-	1
EXCAVATION	Ls	1	-	1
MACHINE GRADING	Sta	-	-	-
SUBGRADE UNDERCUTTING, 21AA	Cyd	-	60	60
EROSION CONTROL, INLET FILTER, DROP CLOTH	Ea	9	-	9
AGGREGATE BASE, 4 INCH, 21AA	Syd	64	-	64
AGGREGATE BASE, 6 INCH, 21AA	Syd	1,775	-	1,775
GEOTEXTILE, SEPERATOR, NON-WOVEN, CSIN400E	Syd	1,775	-	1,775
DR STRUCTURE COVER, ADJ, CASE 1	Ea	7	-	7
CULV, CL F, 8 INCH, CMP	Ft	-	30	30
HMA SURFACE, REM	Syd	1,705	-	1,705
EDGE TRIMMING	Ft	690	-	690
HAND PATCHING	Ton	21	-	21
CONC PAVT WITH INTEGRAL CURB, NONREINF, 7 INCH	Syd	479	-	479
CONC PAVT, NONREINF, 7 INCH	Syd	1,297	-	1,297
JOINT, PLANE-OF-WEAKNESS, W	Ft	1,404	-	1,404
JOINT, LONGITUDINAL LANE TIE, D	Ft	747	-	747
DETECTABLE WARNING SURFACE	Ft	5	-	5
SIDEWALK RAMP, CONC, 6 INCH	Sft	91	-	91
SIDEWALK, CONC, 4 INCH	Sft	396	-	396
SIDEWALK, CONC, 7 INCH	Sft	754	-	754
LANDSCAPE RESTORATION	Syd	279	-	279
WATER, SODDING/SEEDING	Unit	4.88	-	5

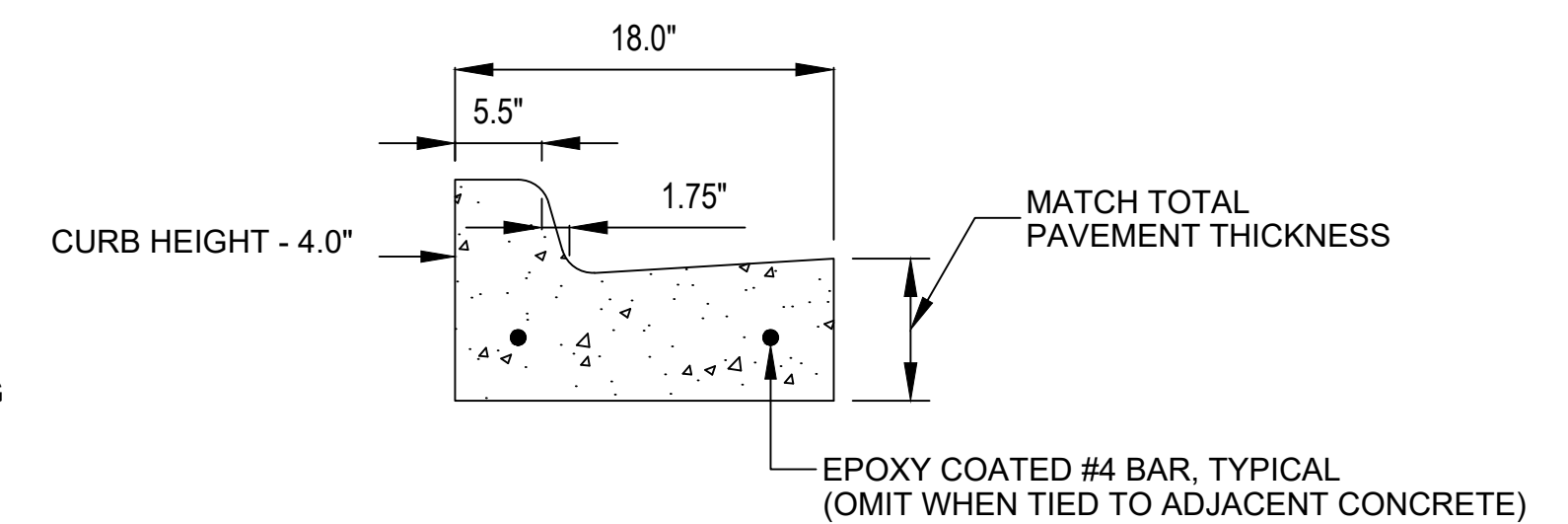
HMA APPLICATION ESTIMATE				
MATERIAL	ITEM(S)	APPLICATION RATE	ESTIMATED THICKNESS	PERFORMANCE GRADE BINDER
HMA, 5E1	TOP COURSE	110 LBS / IN / SYD	1.5 - 2.0 INCHES	58-22 MIN AWI = 220
HMA, 3C	LEVELING COURSE	110 LBS / IN / SYD	2.0 - 3.0 INCHES	58-22
HMA, 36A	HMA DRIVEWAY APPROACH	110 LBS / IN / SYD 2 - 2 INCH LIFTS	4.0 INCHES	58-22
HMA, 36A	HAND PATCHING	110 LBS / IN / SYD	VARIES	58-22

NOTE: APPLY BOND COAT BETWEEN ALL HMA LIFTS AT 0.10 GAL/SYD FOR ALL HMA SURFACES NOT OPENED TO TRAFFIC AND 0.15 GAL/SYD FOR ALL HMA SURFACES OPENED TO TRAFFIC FOR ALL HMA. LEVELING COURSE HAS BEEN ESTIMATED AT 110% FOR ALL METHOD C STREETS TO CORRECT EXISTING SURFACE IRREGULARITIES.



- NOTES:
1. MATCH EXISTING JOINTS THROUGH PROPOSED DRIVEWAY.
 2. AREAS OF EXISTING LANDSCAPING DISTURBED BY CONSTRUCTION SHALL BE TOPPED WITH TOPSOIL AND SEED. EXCAVATION, EARTH MAY BE REQUIRED TO MEET THE PROPOSED DRIVEWAY ELEVATION THIS WORK SHALL NOT BE PAID FOR SEPARATELY, BUT INCLUDED IN THE COST OF PAVT, REM, DRIVEWAY.
 3. THE CONTRACTOR SHALL MAINTAIN ACCESS VIA MAINTENANCE GRAVEL WHERE DIRECTED BY THE ENGINEER. THIS ITEM SHALL NOT BE PAID FOR SEPARATELY AND WILL BE INCLUDED IN OTHER CONTRACT ITEMS.
 4. DRIVEWAYS SHALL BE CONSTRUCTED TO ALLOW POSITIVE DRAINAGE ALONG THE PAVEMENT EDGE. NO PONDING AT THE PAVEMENT EDGE OR ON THE DRIVEWAY WILL BE ALLOWED.

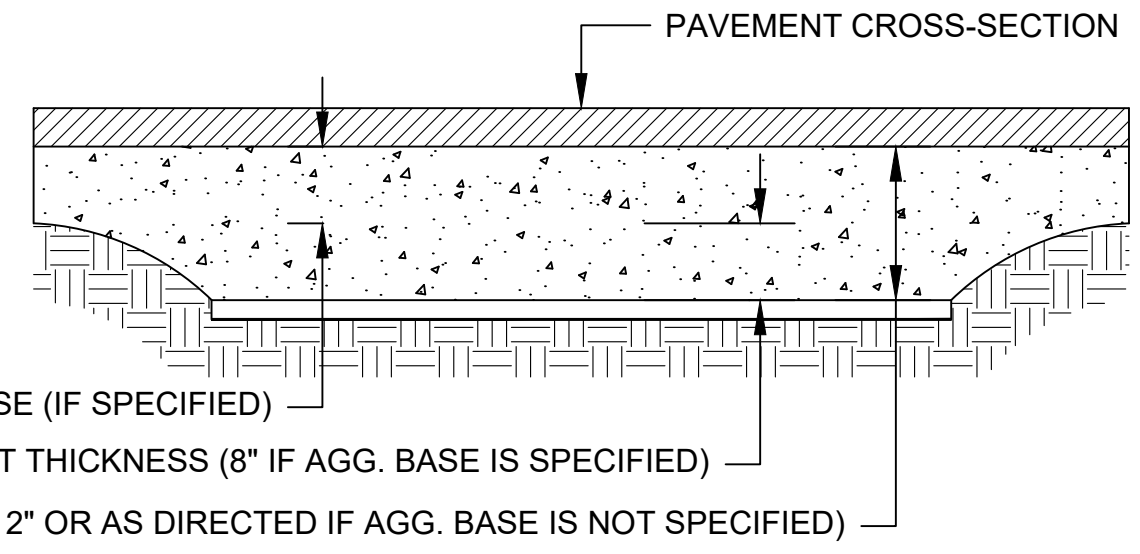
RESIDENTIAL DRIVEWAY DETAIL



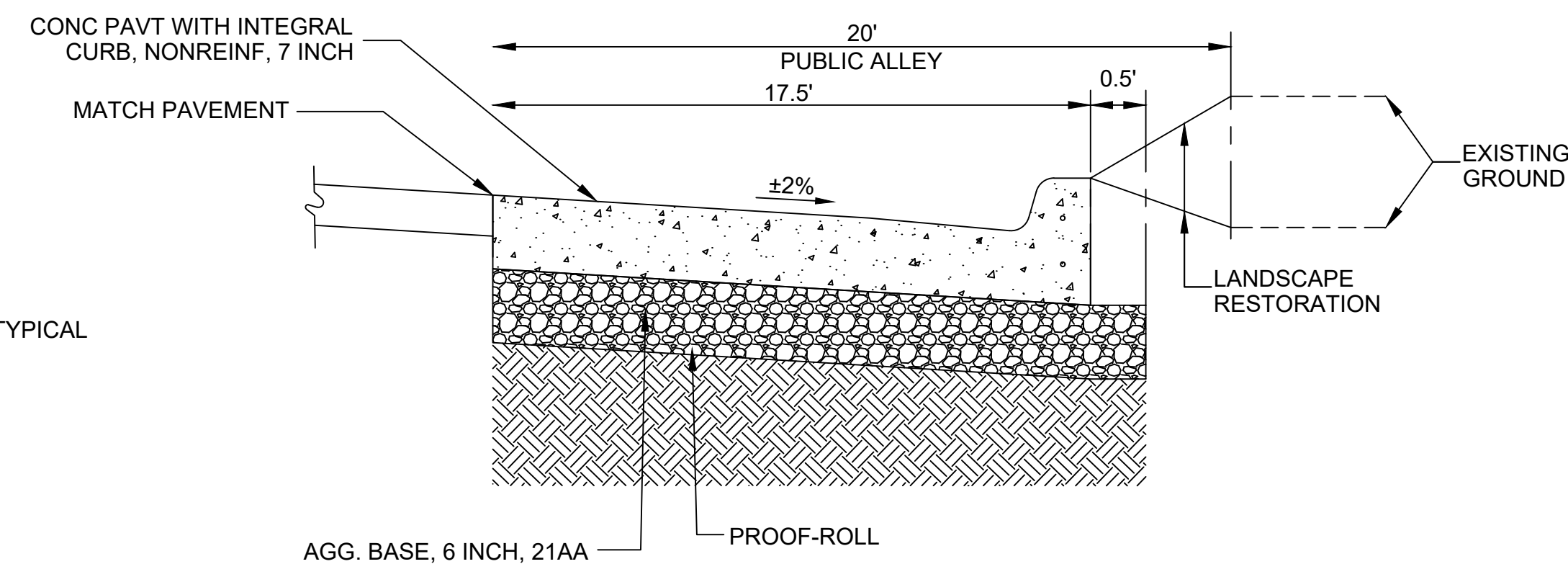
CURB AND GUTTER, CONC, DET F2, MODIFIED DETAIL

LINETYPE LEGEND

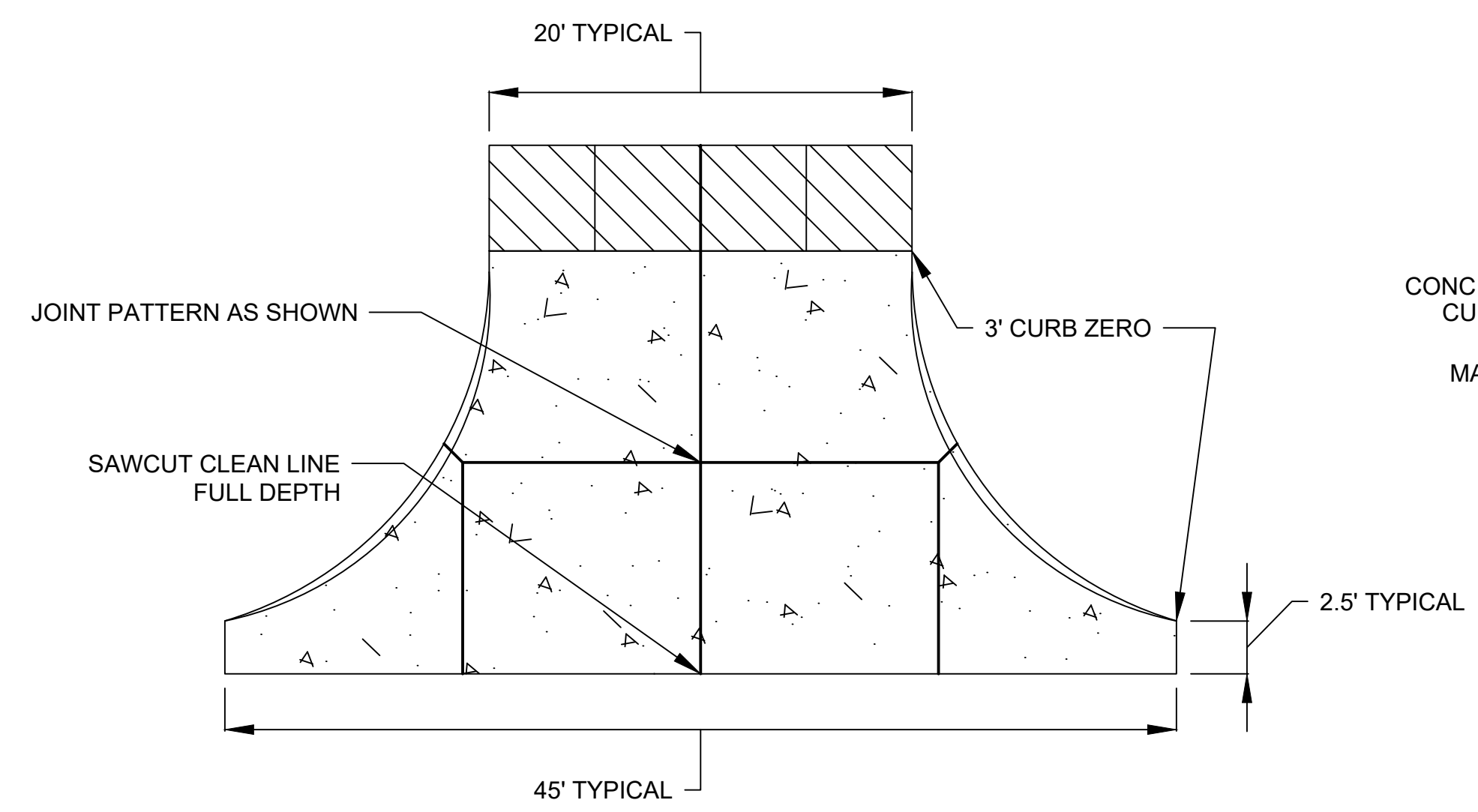
- GAS — EXISTING GAS MAIN
- CTW — EXISTING UNDERGROUND CABLE
- SAN — EXISTING SANITARY SEWER
- STM — EXISTING STORM SEWER
- W — EXISTING WATER MAIN
- — — PROPERTY BOUNDARY



SUBGRADE UNDERCUTTING, 21AA DETAIL



TYPICAL ALLEY APPROACH CROSS SECTION DETAIL



TYPICAL ALLEY APPROACH DIMENSIONS AND JOINTS DETAIL



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Planners
Landscape Architects

1025 East Maple Road
Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

Executive: S.A.R.
Manager: J.R.W.
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NOTES AND DETAILS

2025 ALLEY RECONSTRUCTION PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

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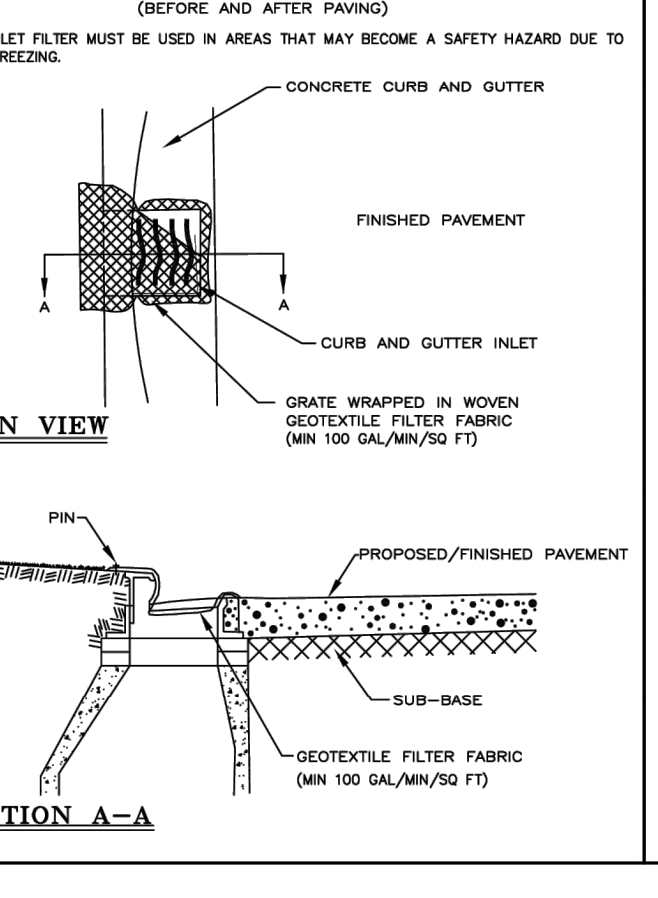
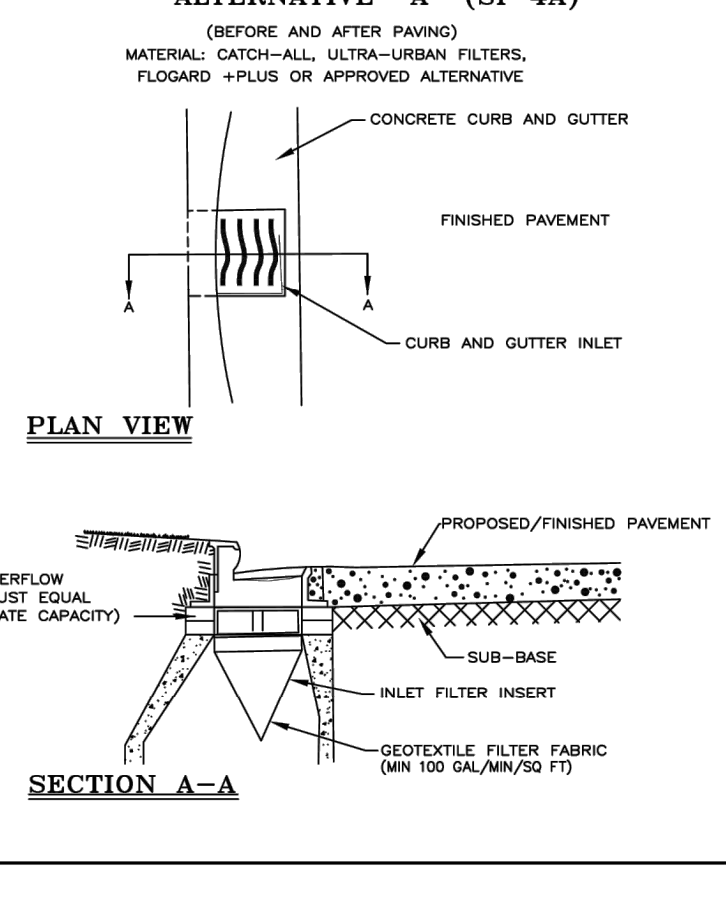
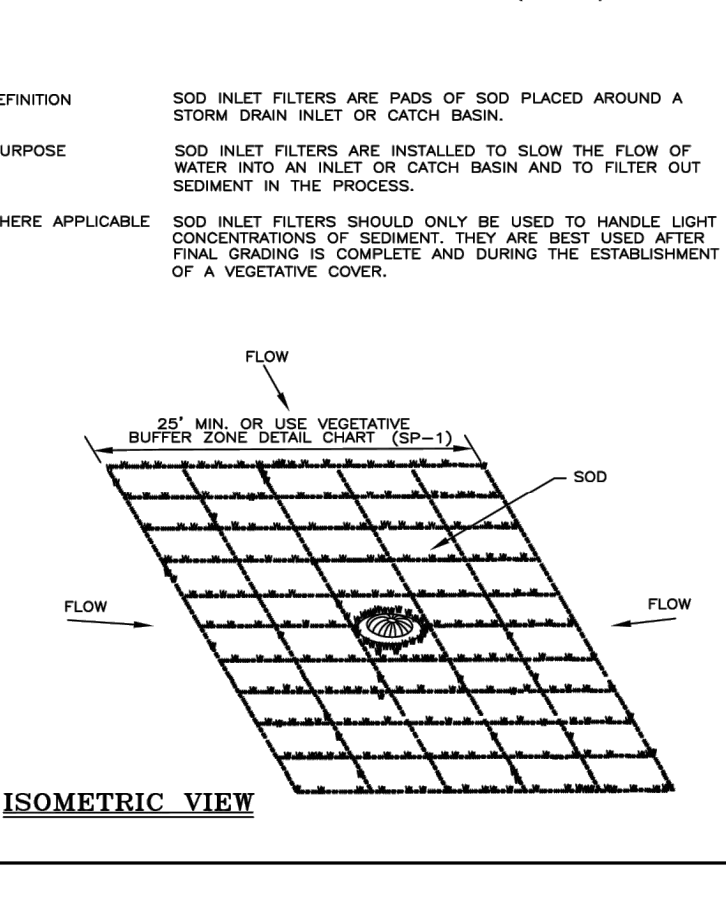
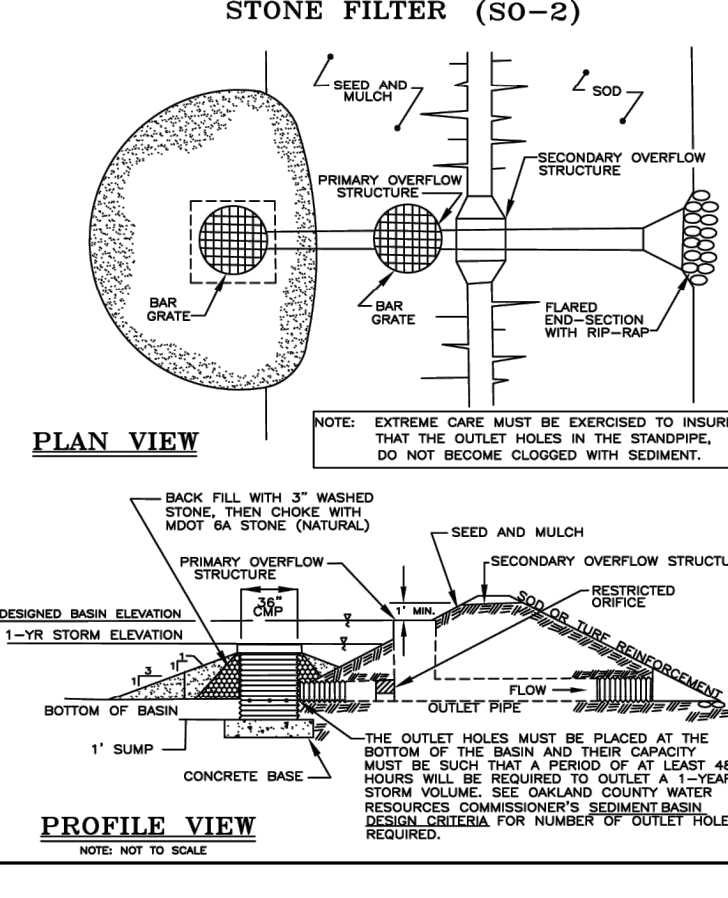
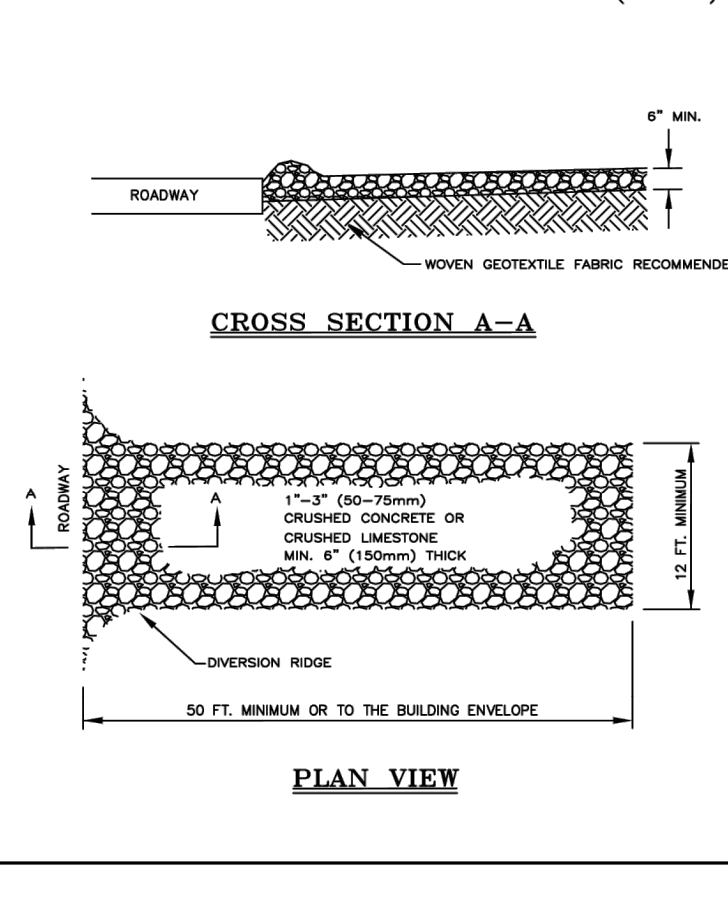
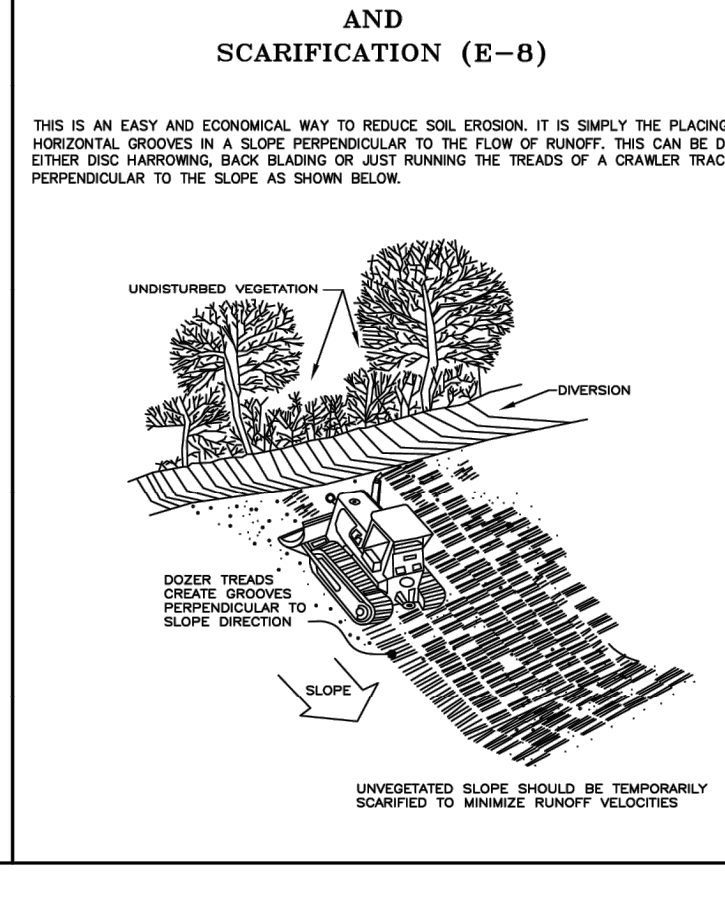
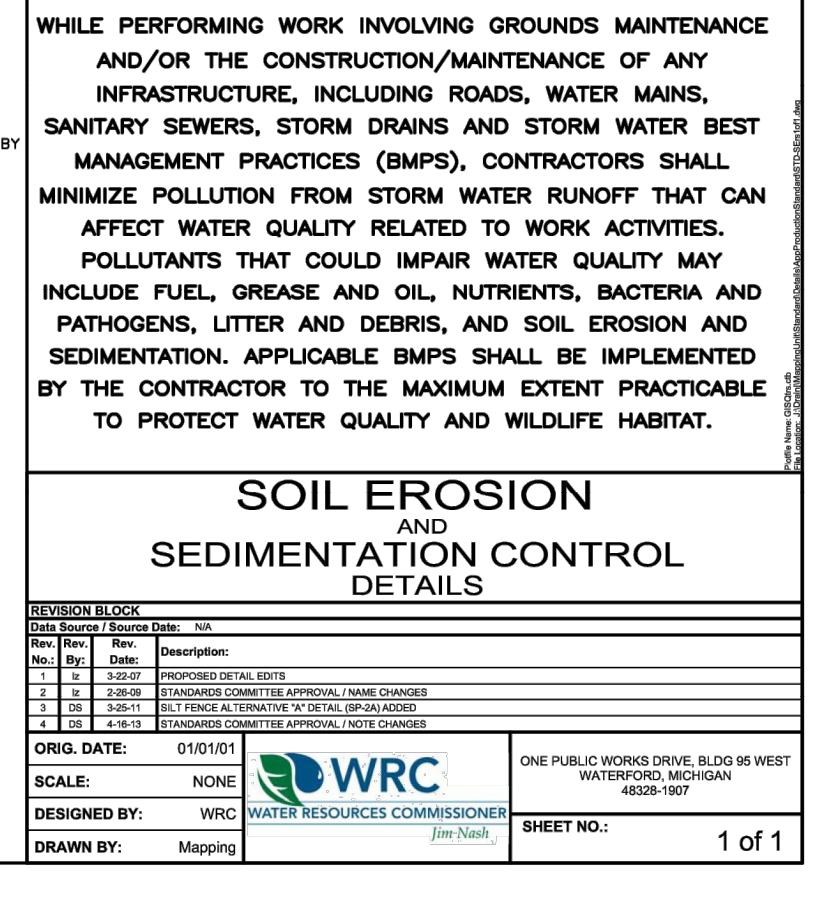
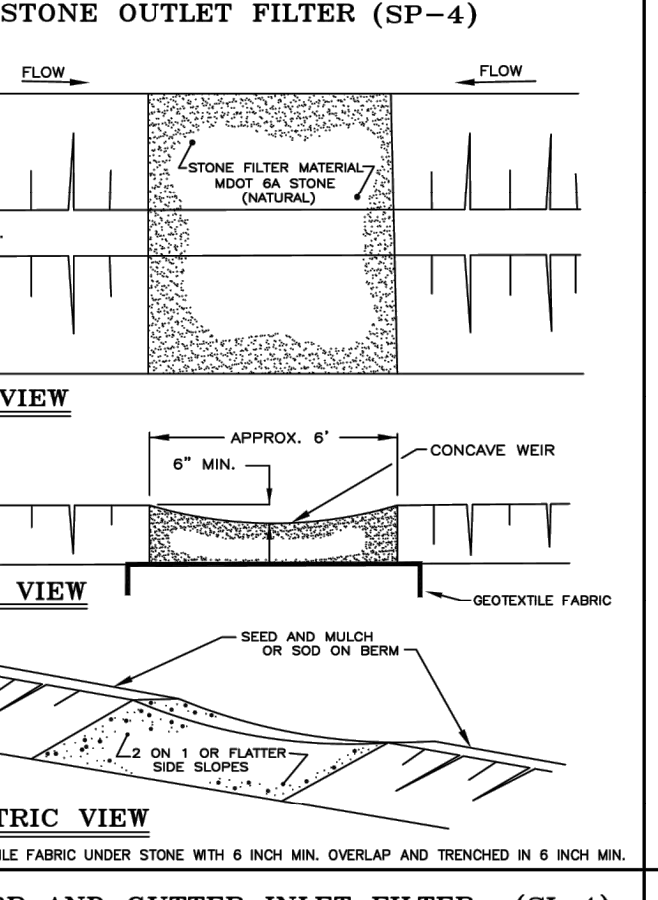
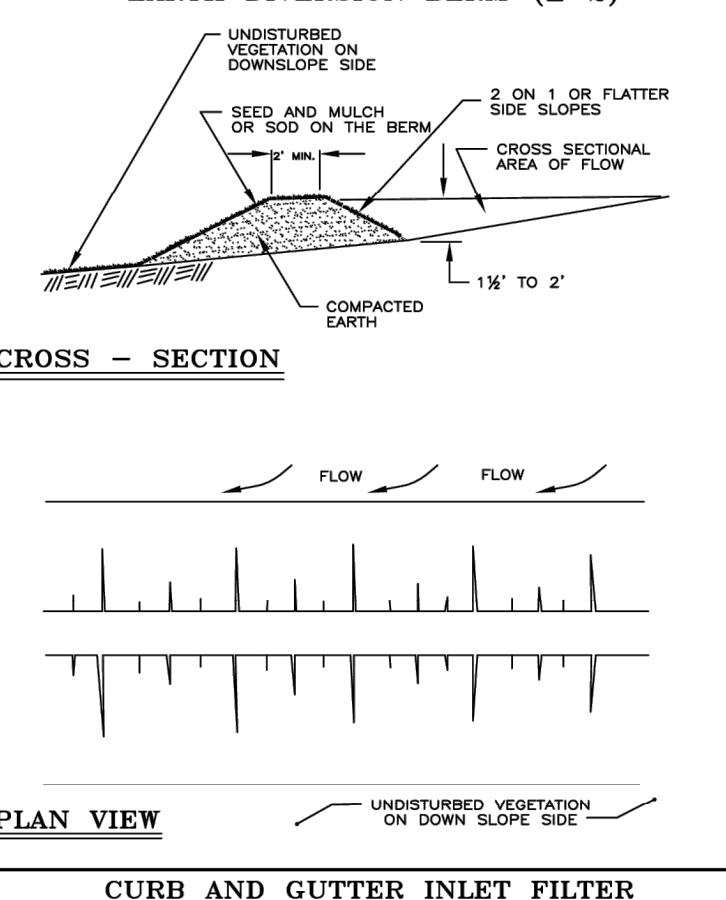
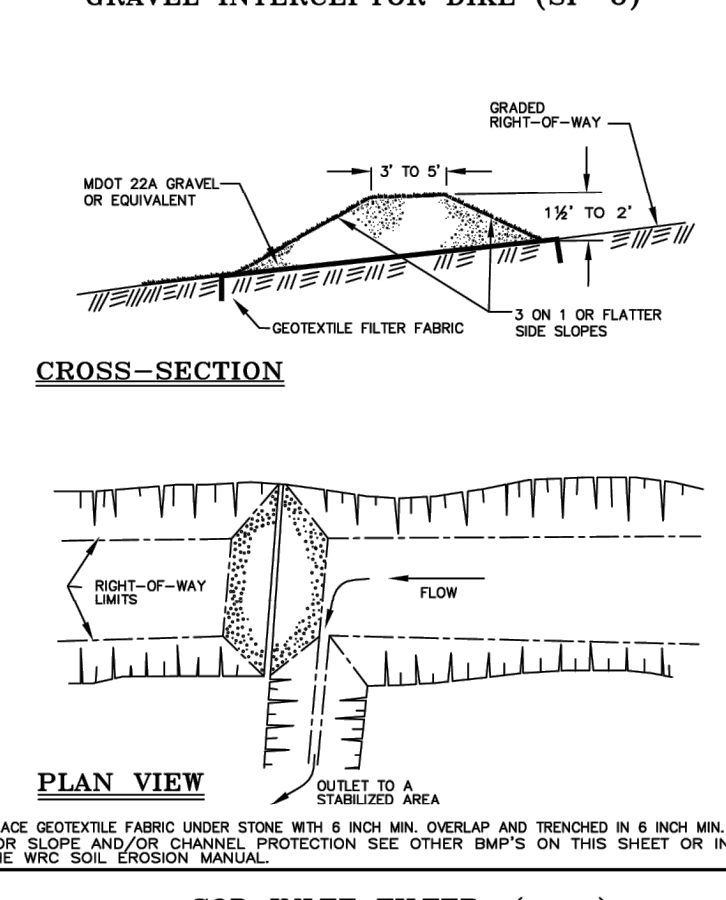
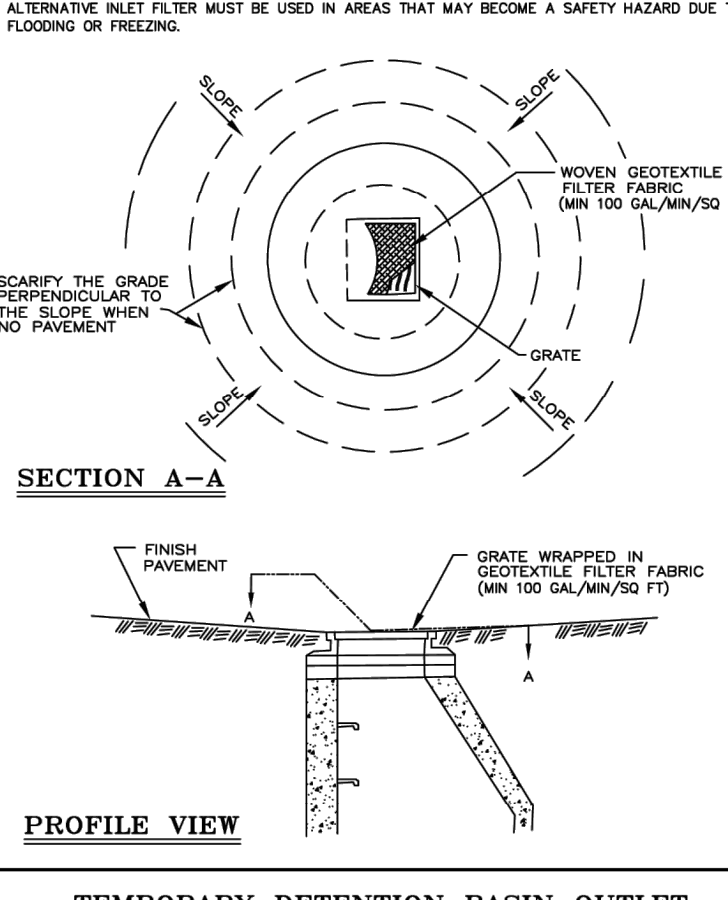
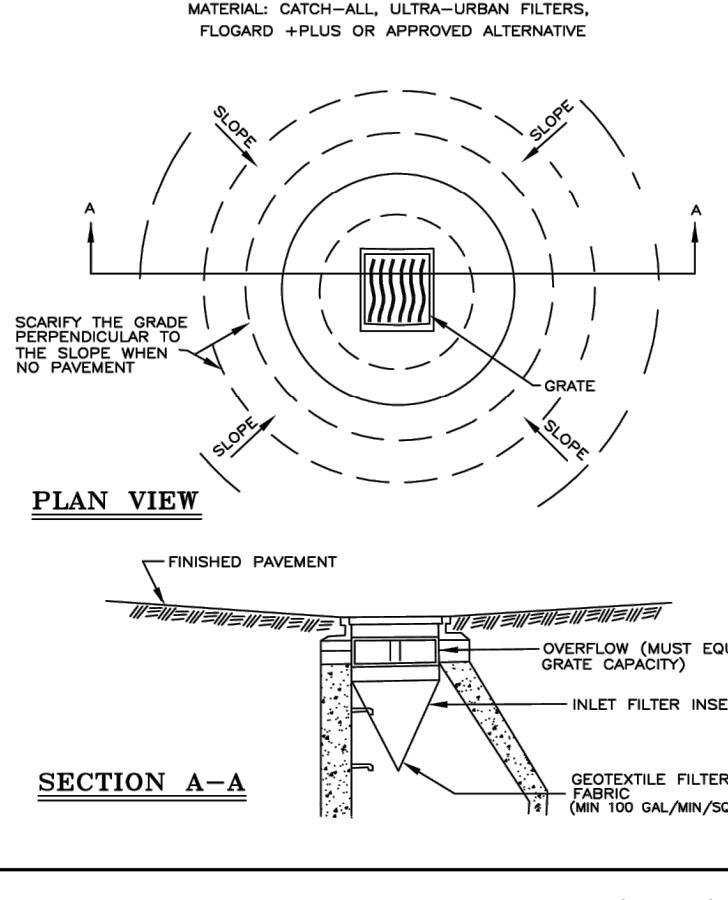
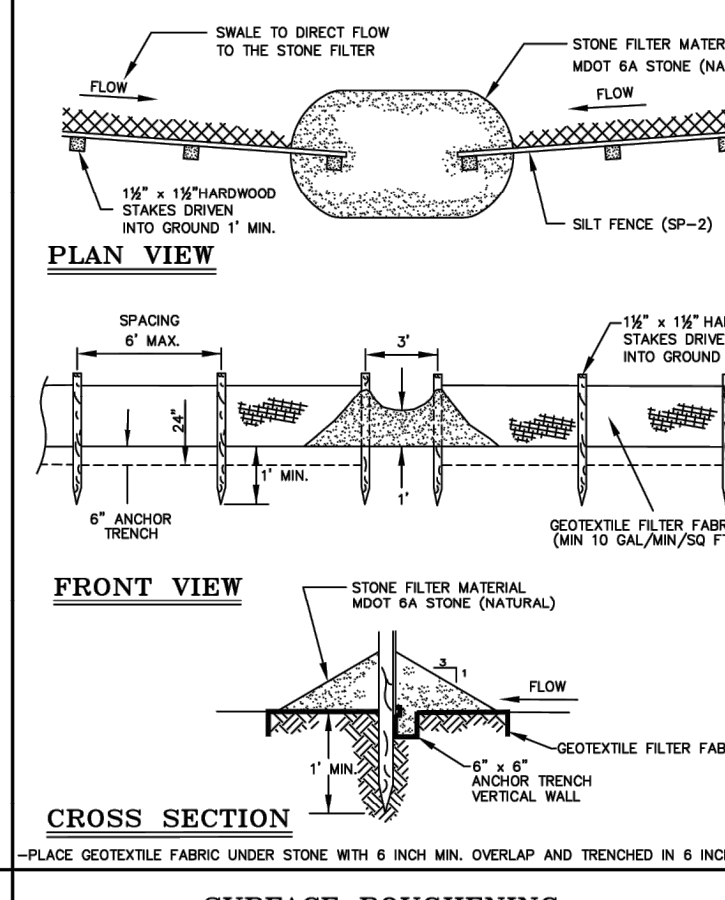
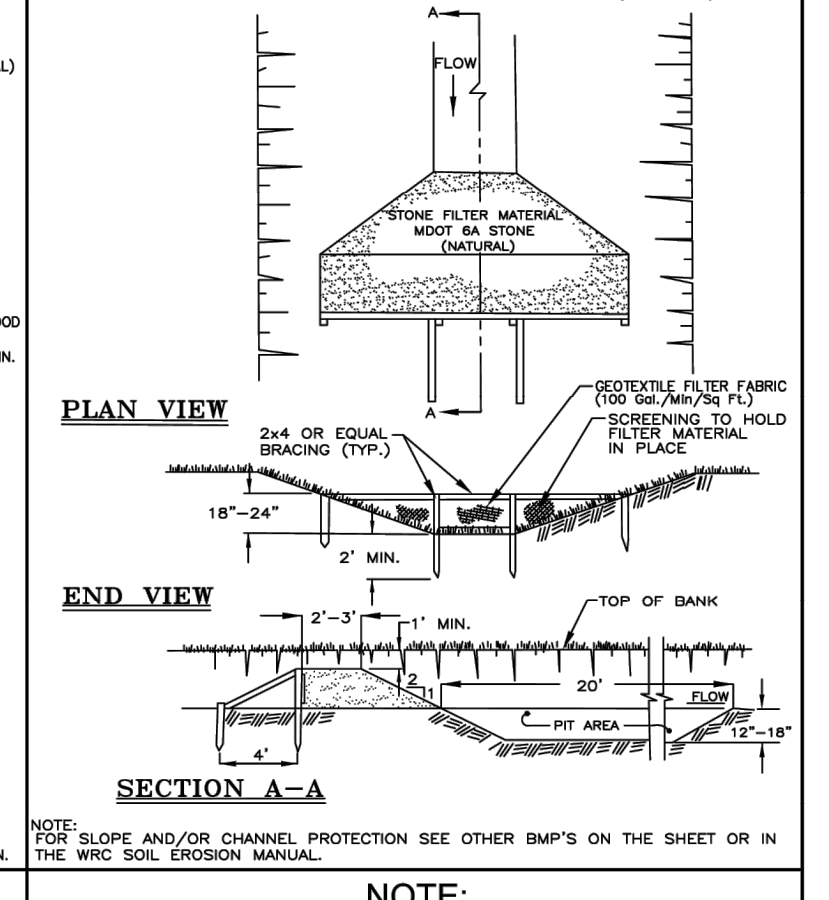
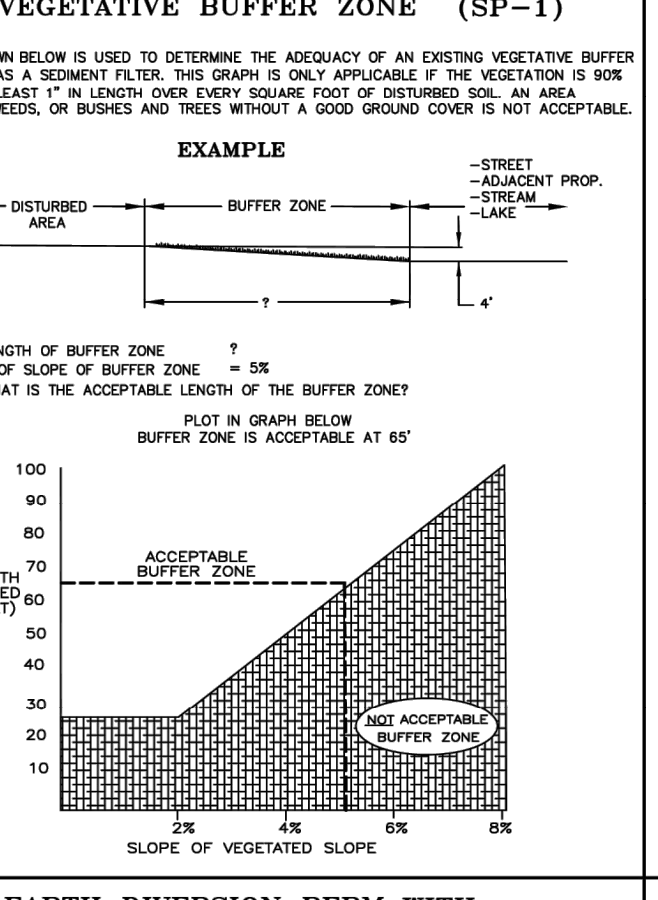
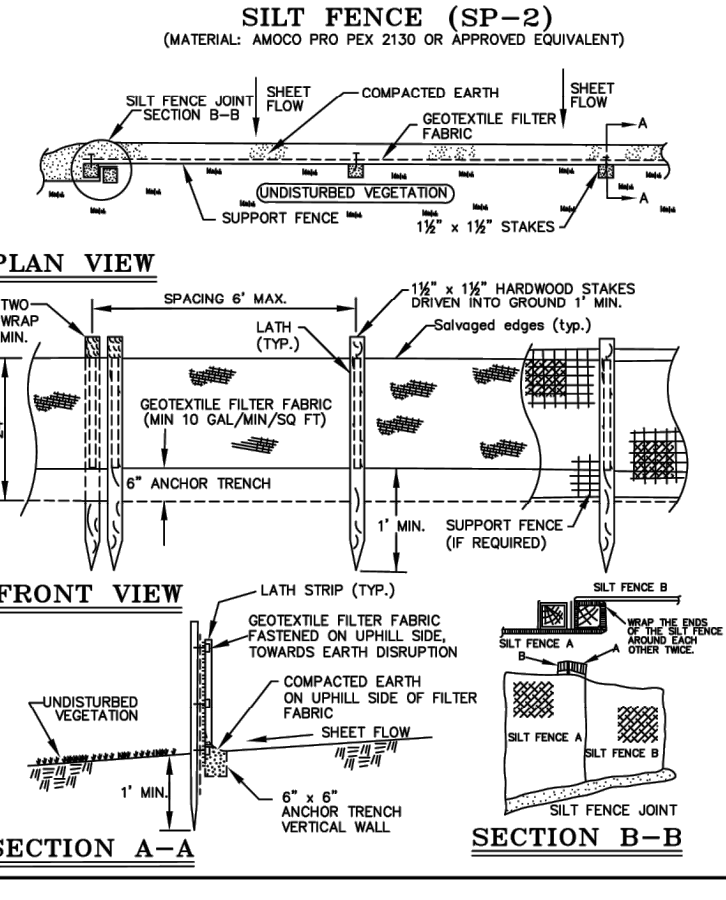
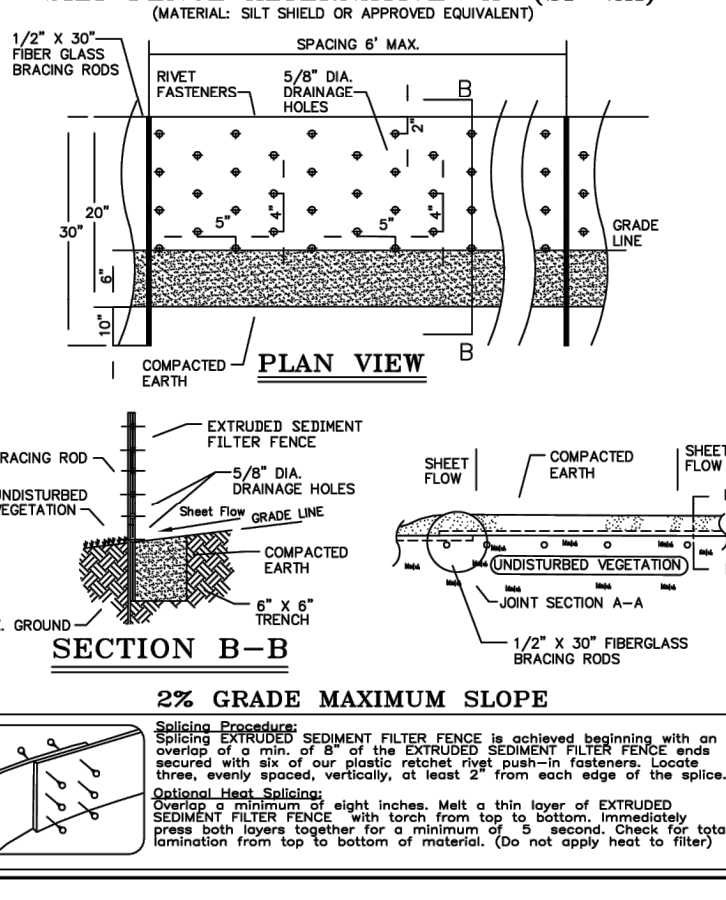
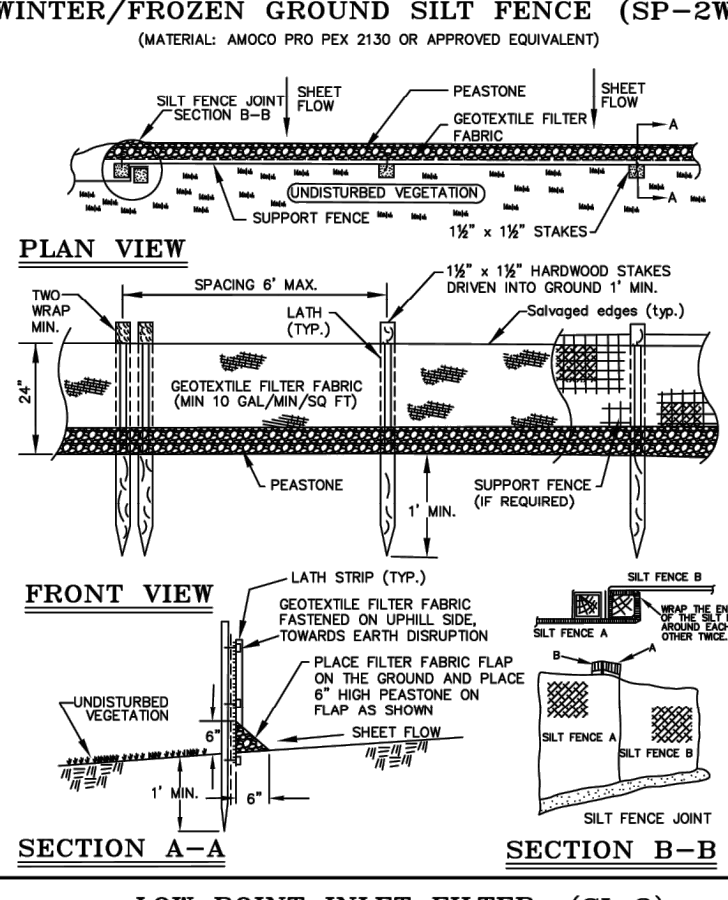
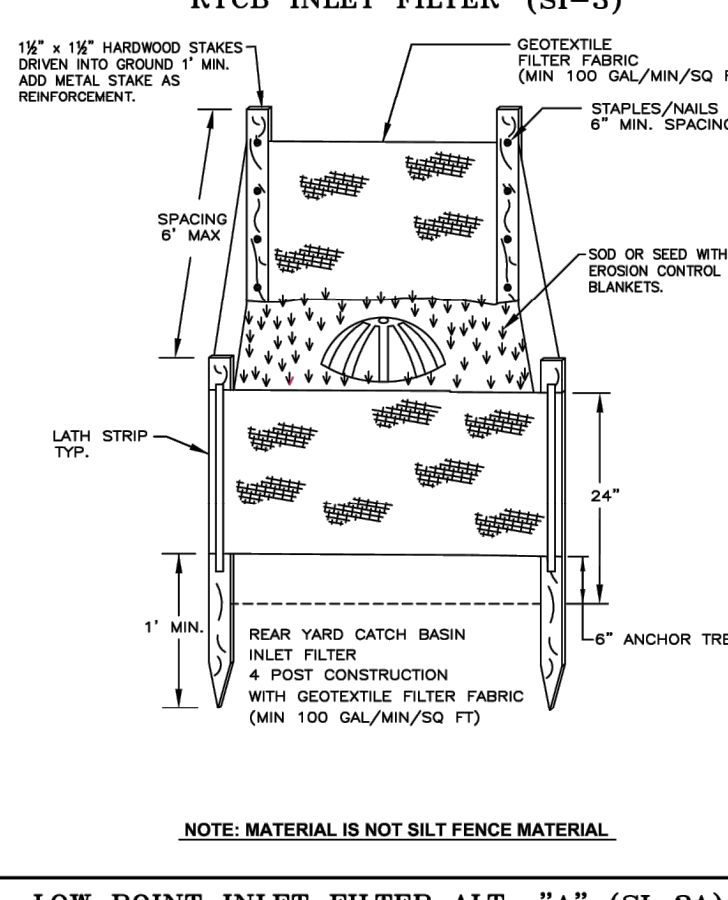
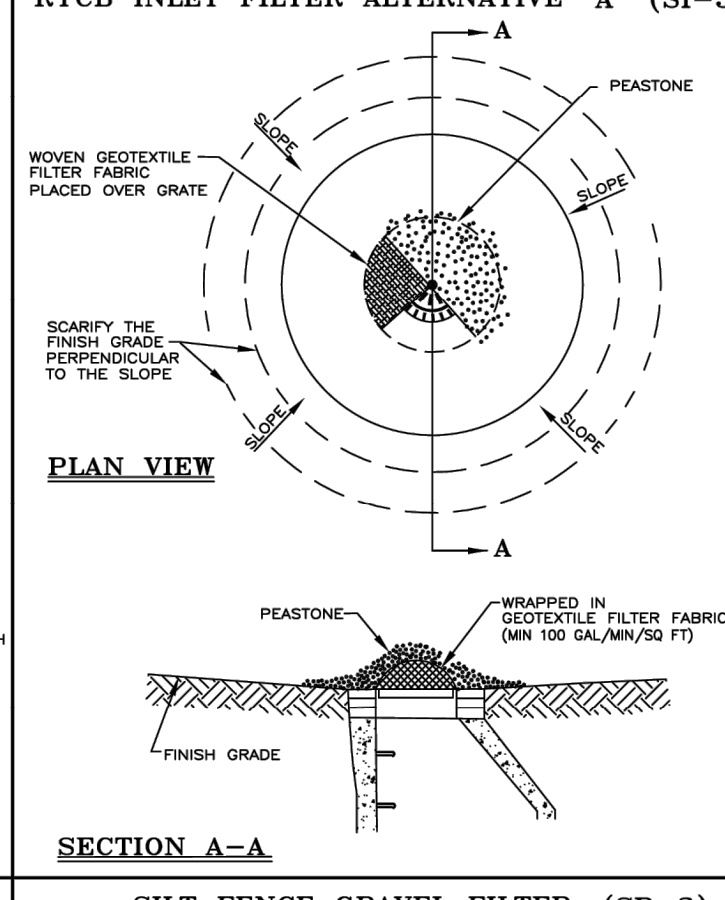
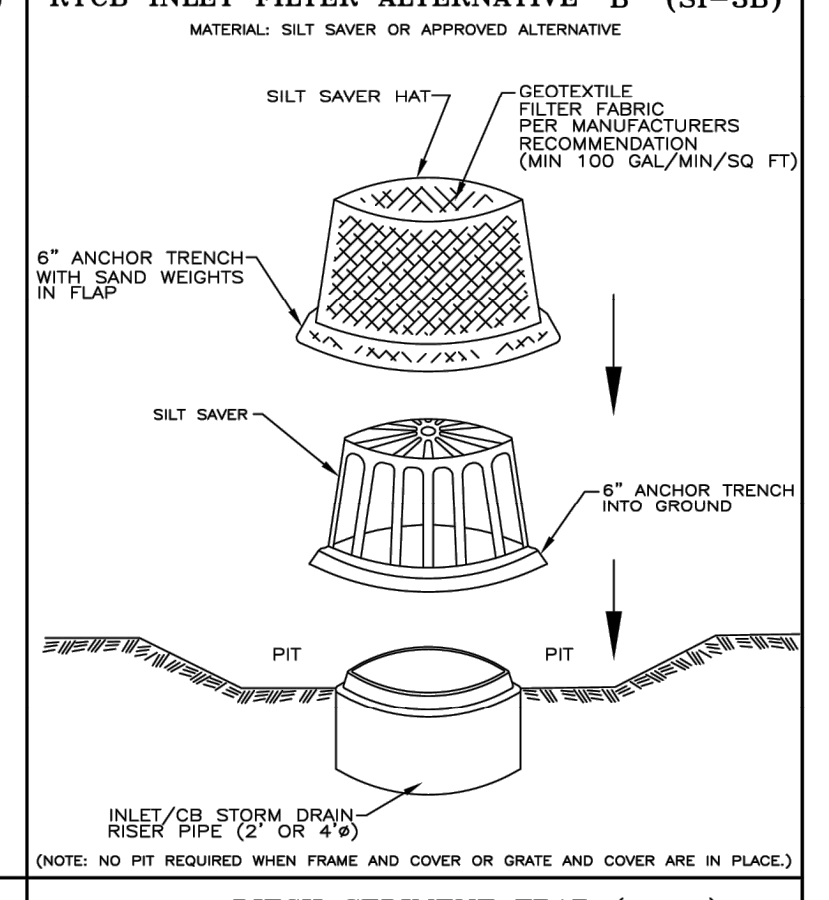
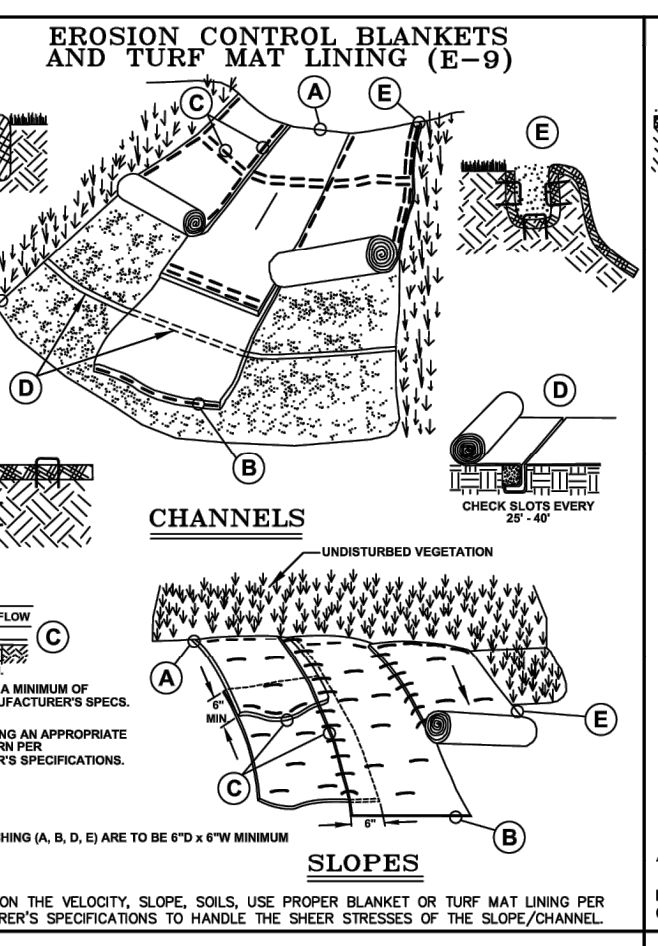
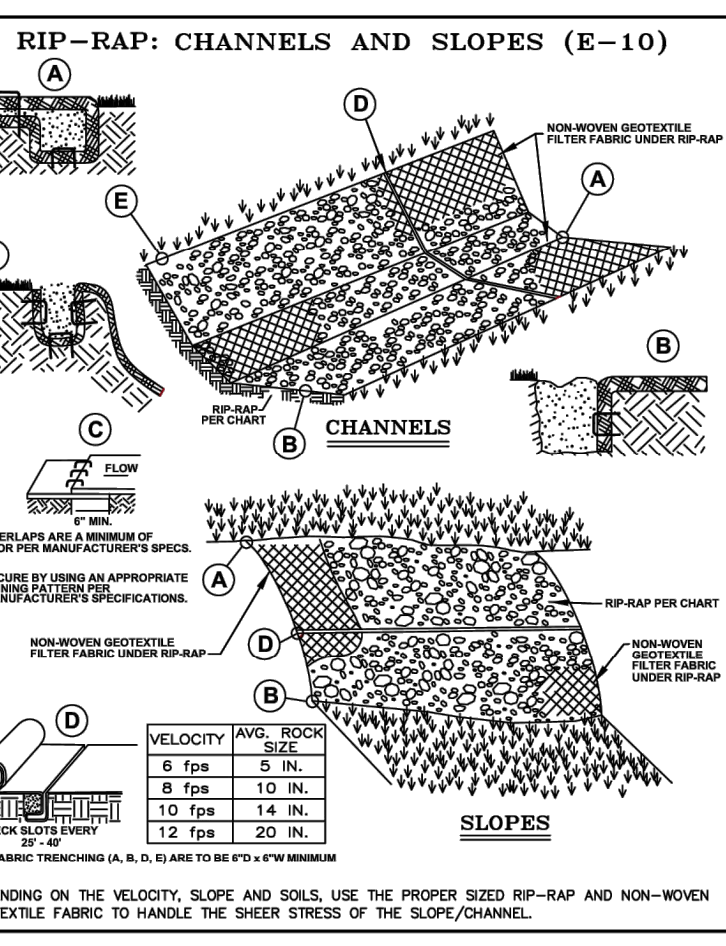
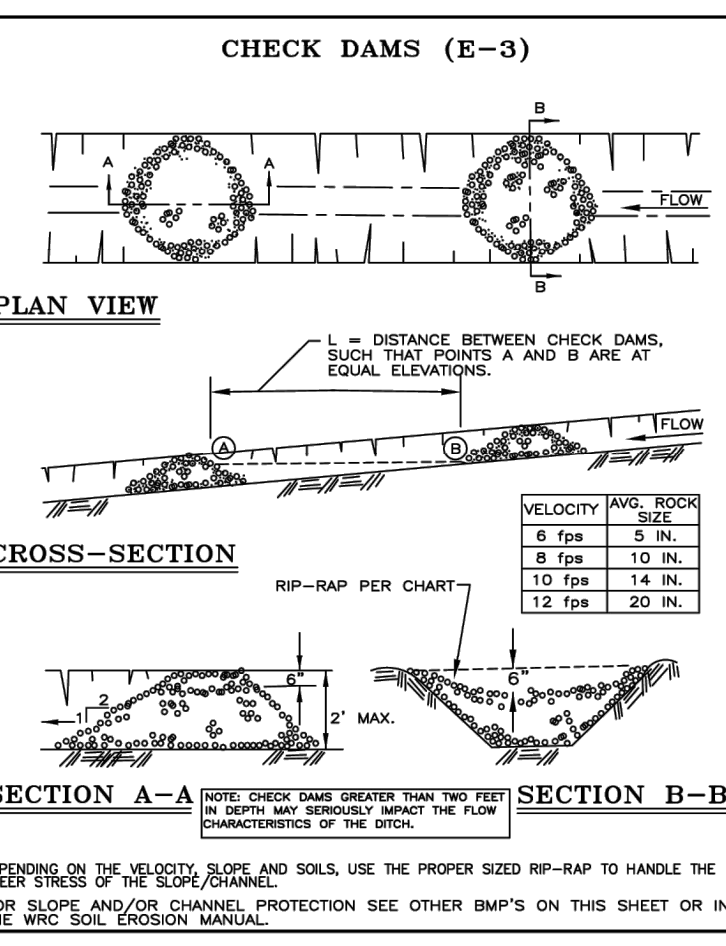
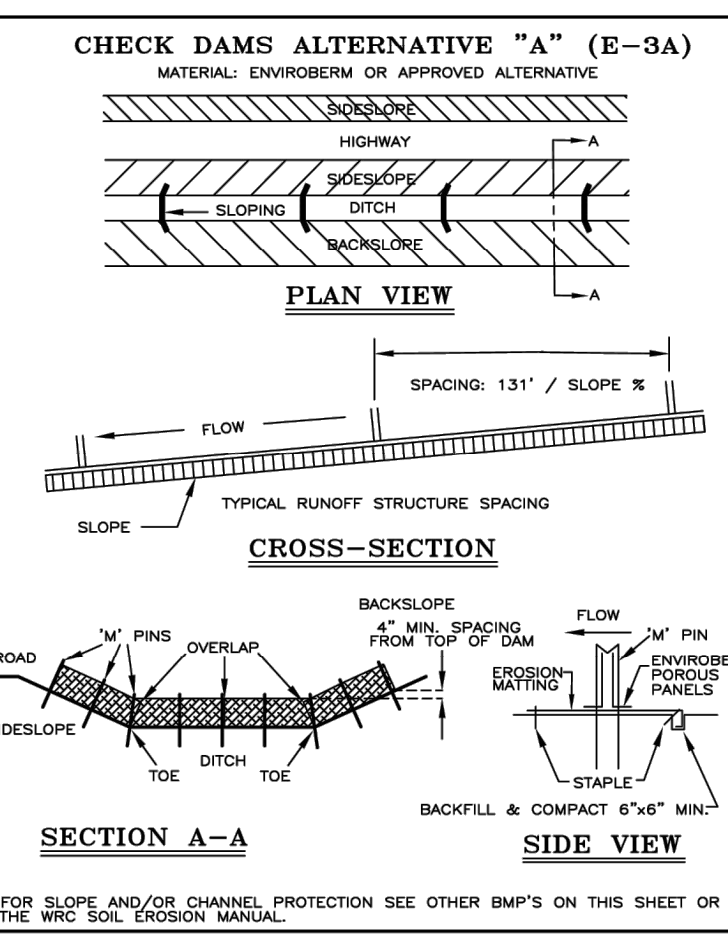
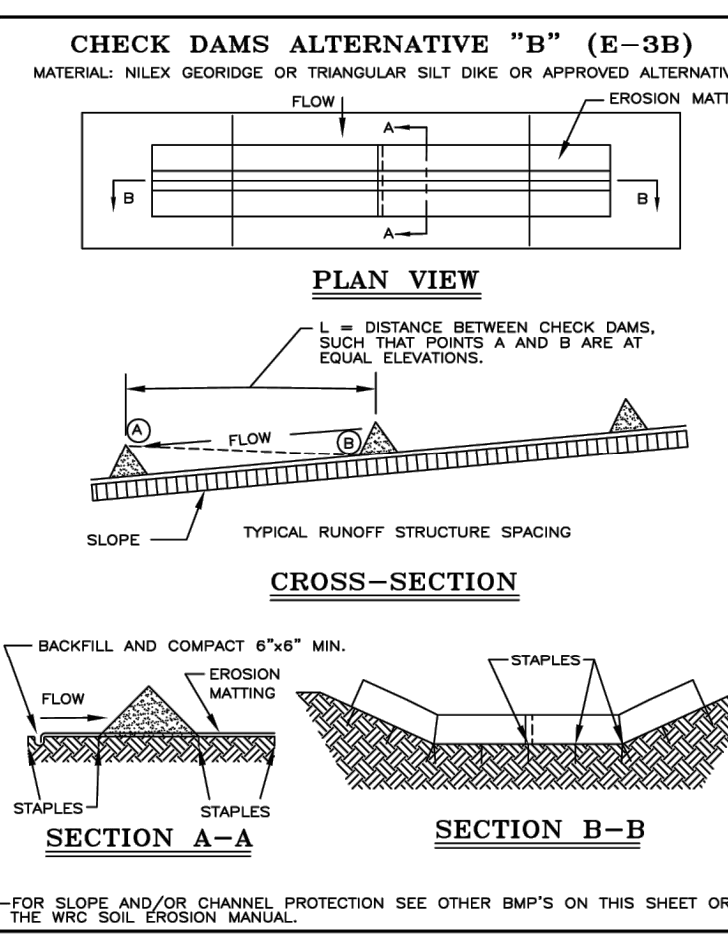
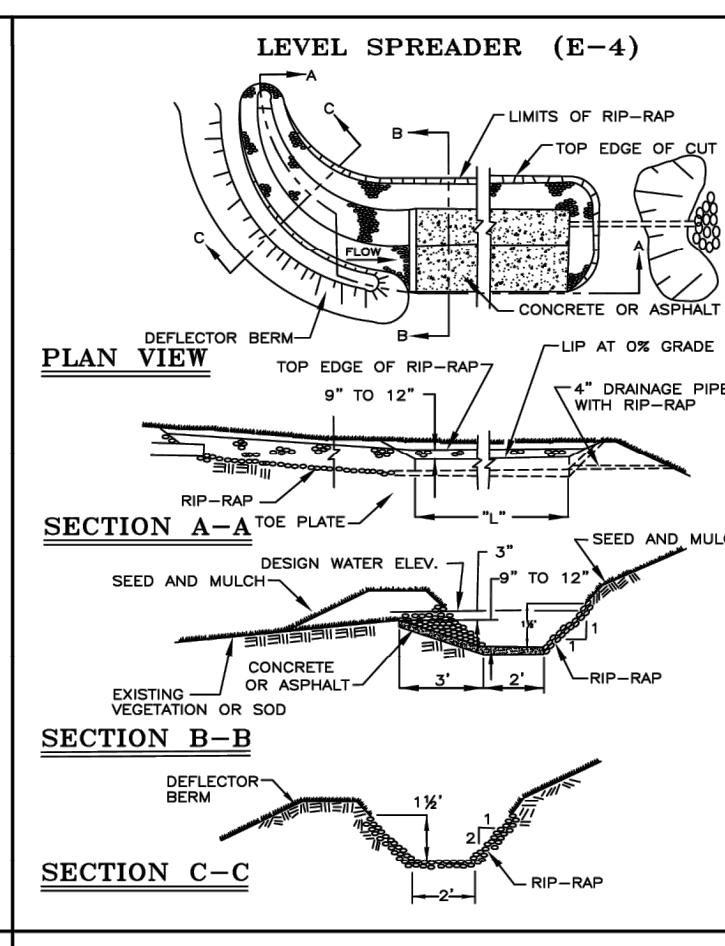
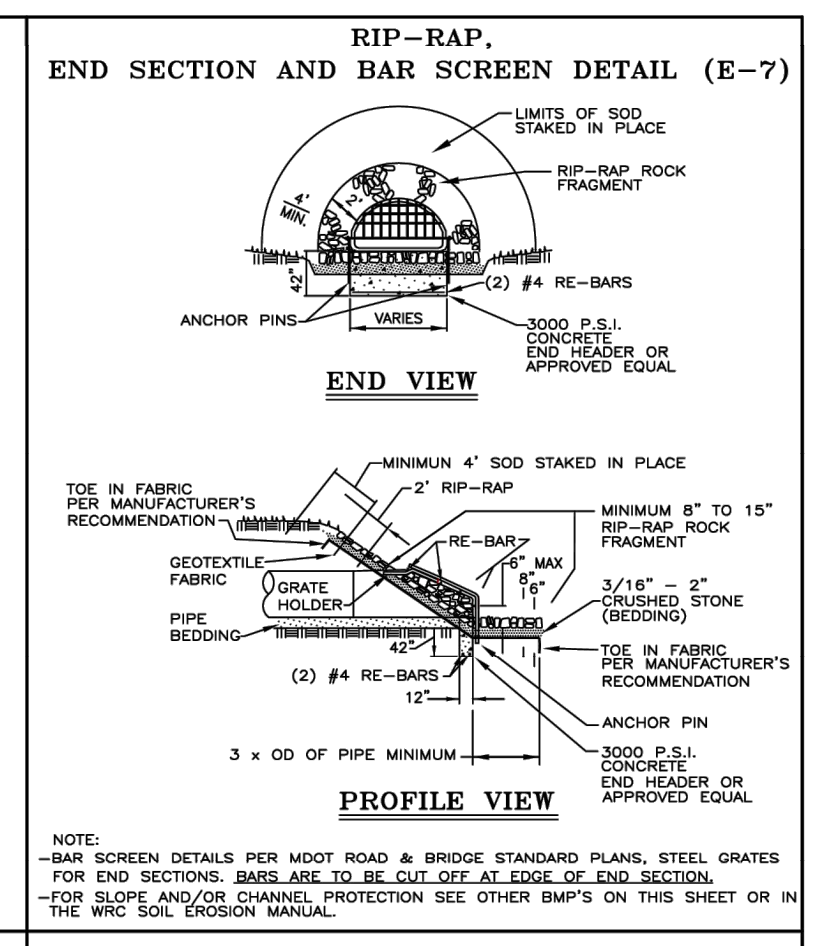
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2025 ALLEY
RECONSTRUCTION
PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

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H:\18187001\8736 Lathrup Village Alleys 2014 07 21\18736.25 2025 Alley Improvements\Drawing Files\2025 LV Paving Title Sheets.dwg



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Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
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TRAFFIC CONTROL PLAN

2025 ALLEY RECONSTRUCTION PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

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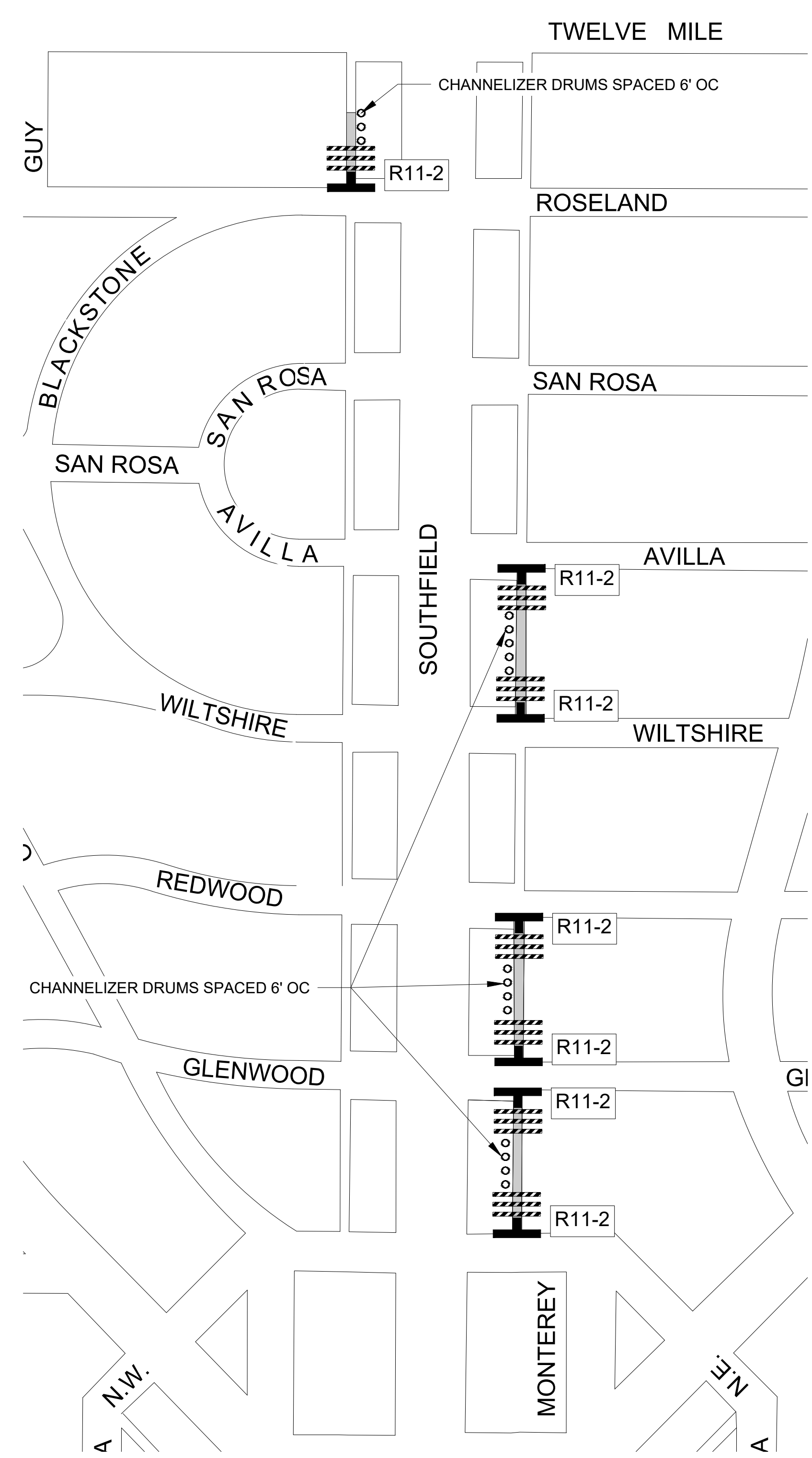
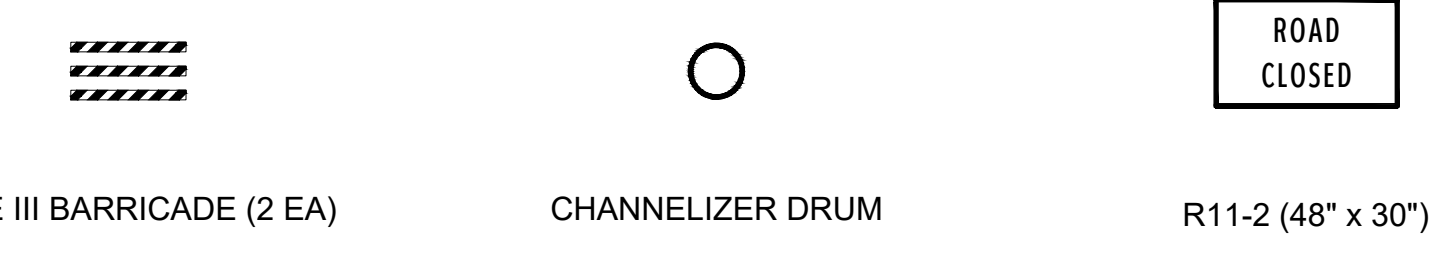
ESTIMATED TRAFFIC CONTROL QUANTITIES

NOTE:
THE QUANTITIES PRESENTED IN THIS TABLE REPRESENT THE MINIMUM TRAFFIC CONTROL QUANTITIES REQUIRED. ADDITIONAL TRAFFIC CONTROL DEVICES MAY BE REQUIRED. QUANTITIES PLACED THAT ARE REQUIRED TO FACILITATE CONSTRUCTION TOTALING MORE THAN THOSE LISTED IN THIS TABLE SHALL BE INCLUDED IN THE PAY ITEM TRAFFIC CONTROL.

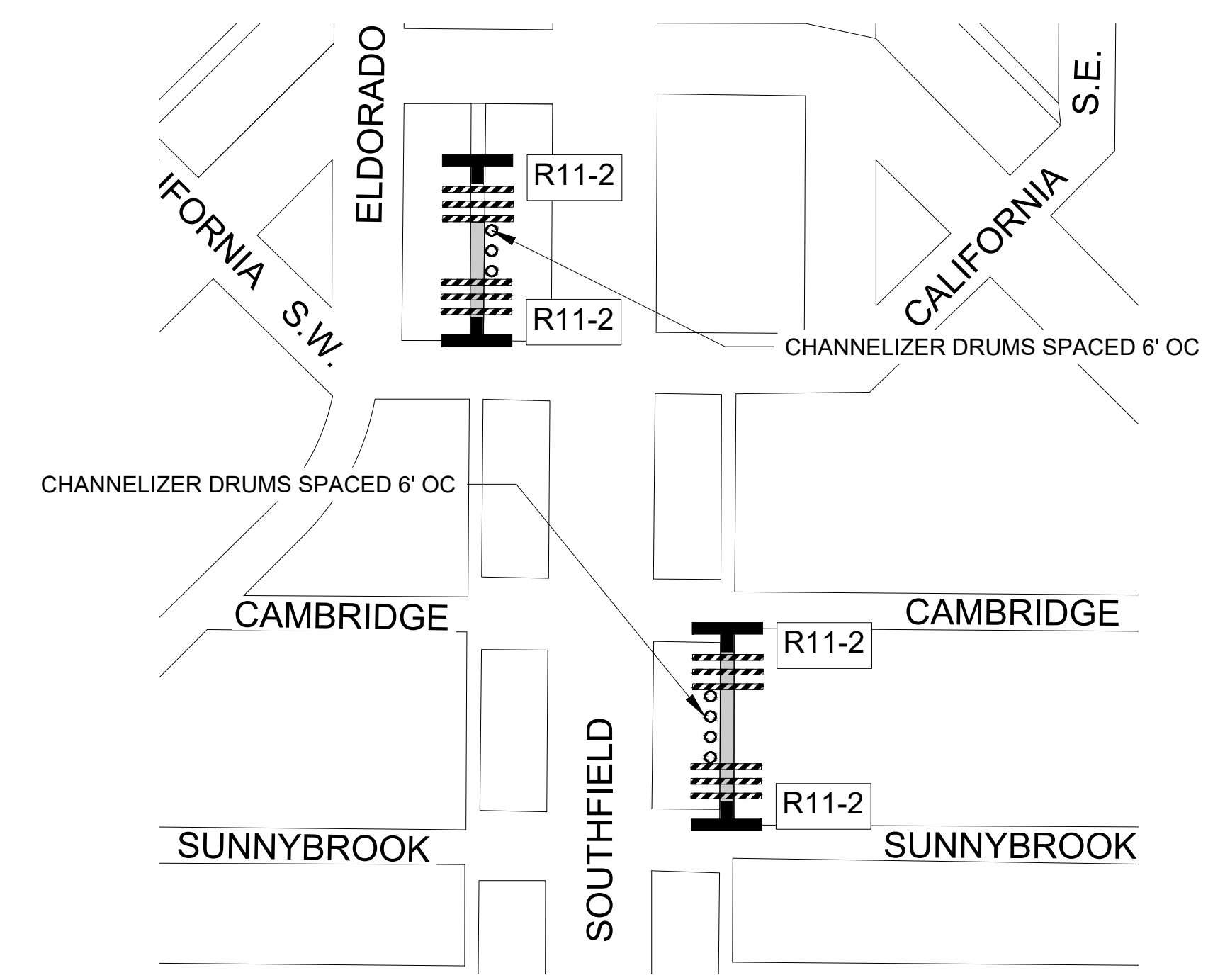
ESTIMATED QUANTITIES (THIS SHEET)

TRAFFIC CONTROL, MAX 3% - 1 LS

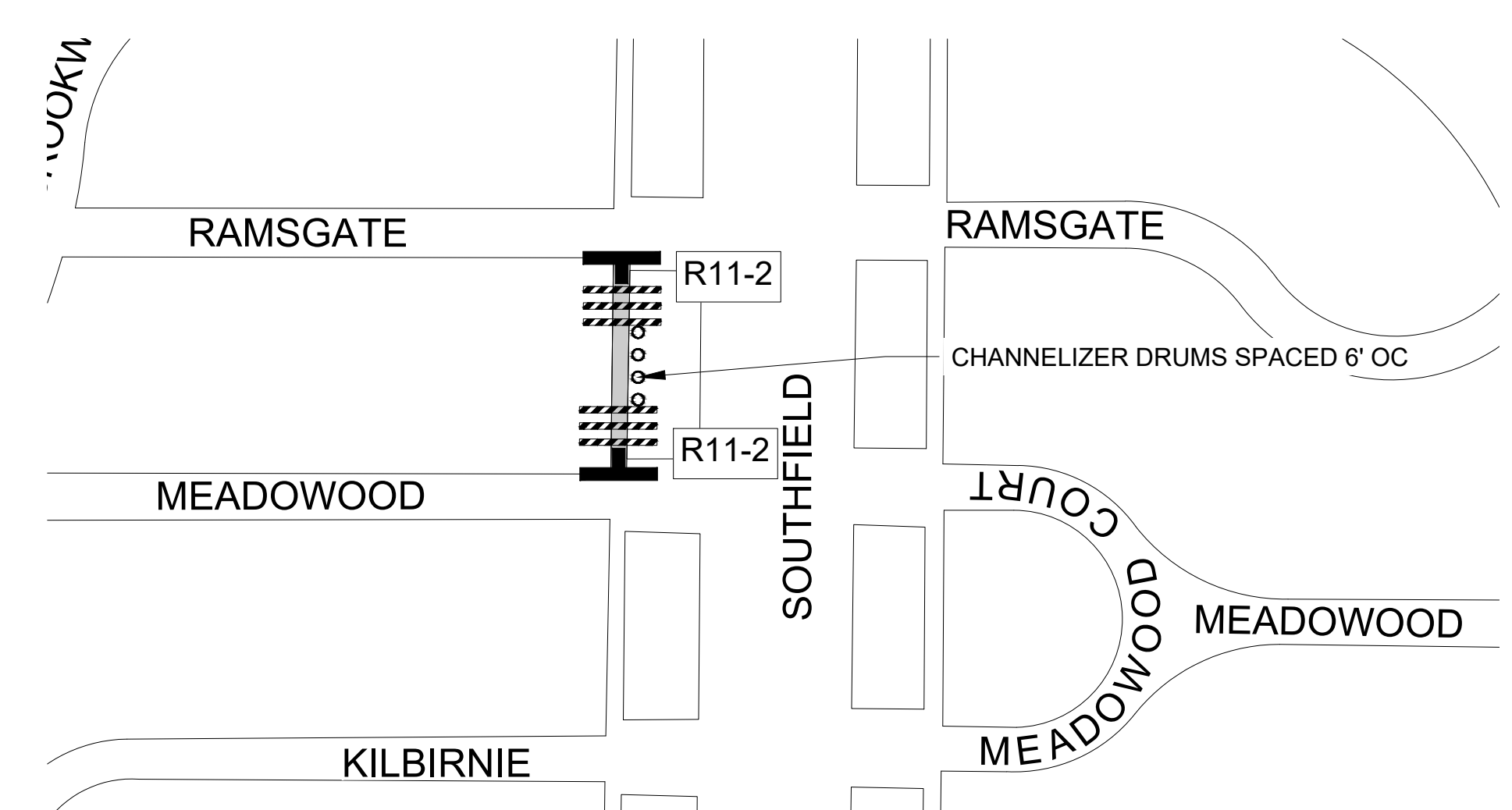
STREET	TYPE III BARRICADE	R11-2	DRUM/CHANNELIZER
MIN REQ'D (TOTAL)	26	26	310
SUNNYBROOK	4	4	49
CALIFORNIA EAST	4	4	52
GLENWOOD	4	4	53
WILTSHIRE	4	4	54
MEADOWOOD	4	4	49
CALIFORNIA WEST	4	4	29
ROSELAND	2	2	24



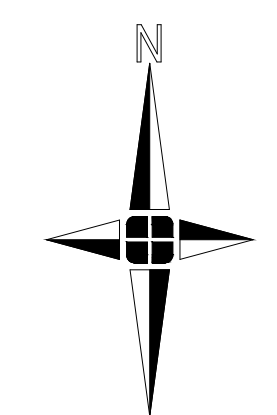
TRAFFIC CONTROL MAP - CALIFORNIA EAST/GLENWOOD/WILTSHIRE/ROSELAND
NOT TO SCALE



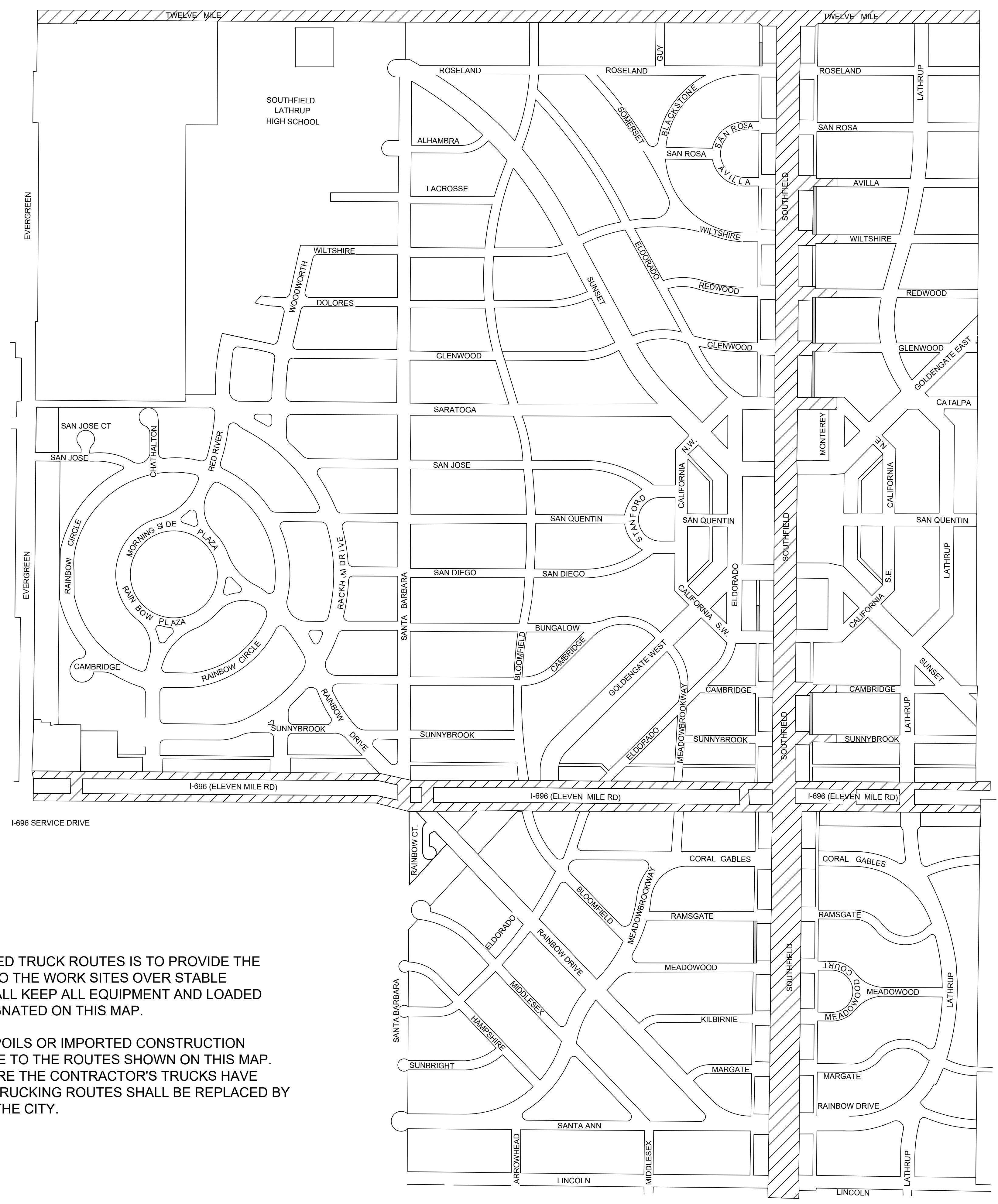
TRAFFIC CONTROL MAP - SUNNYBROOK/CALIFORNIA WEST
NOT TO SCALE



TRAFFIC CONTROL MAP - MEADOWOOD
NOT TO SCALE



PROJECT LIMITS



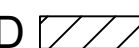
NOTE:


THE PURPOSE OF THESE DESIGNATED TRUCK ROUTES IS TO PROVIDE THE CONTRACTOR WITH SAFE ACCESS TO THE WORK SITES OVER STABLE PAVEMENTS. THE CONTRACTOR SHALL KEEP ALL EQUIPMENT AND LOADED TRUCKS OFF OF ROUTES NOT DESIGNATED ON THIS MAP.

TRUCKS LOADED WITH REMOVED SPOILS OR IMPORTED CONSTRUCTION MATERIALS SHALL STRICTLY ADHERE TO THE ROUTES SHOWN ON THIS MAP. DAMAGED PAVEMENTS FOUND WHERE THE CONTRACTOR'S TRUCKS HAVE DEVIATED FROM THE DESIGNATED TRUCKING ROUTES SHALL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE CITY.

TRUCK ROUTE MAP

NOT TO SCALE

LOADED TRUCKS PERMITTED 

PROJECT LIMITS 



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1025 East Maple Road
Suite 100
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p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

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TRUCK ROUTES

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MICHIGAN

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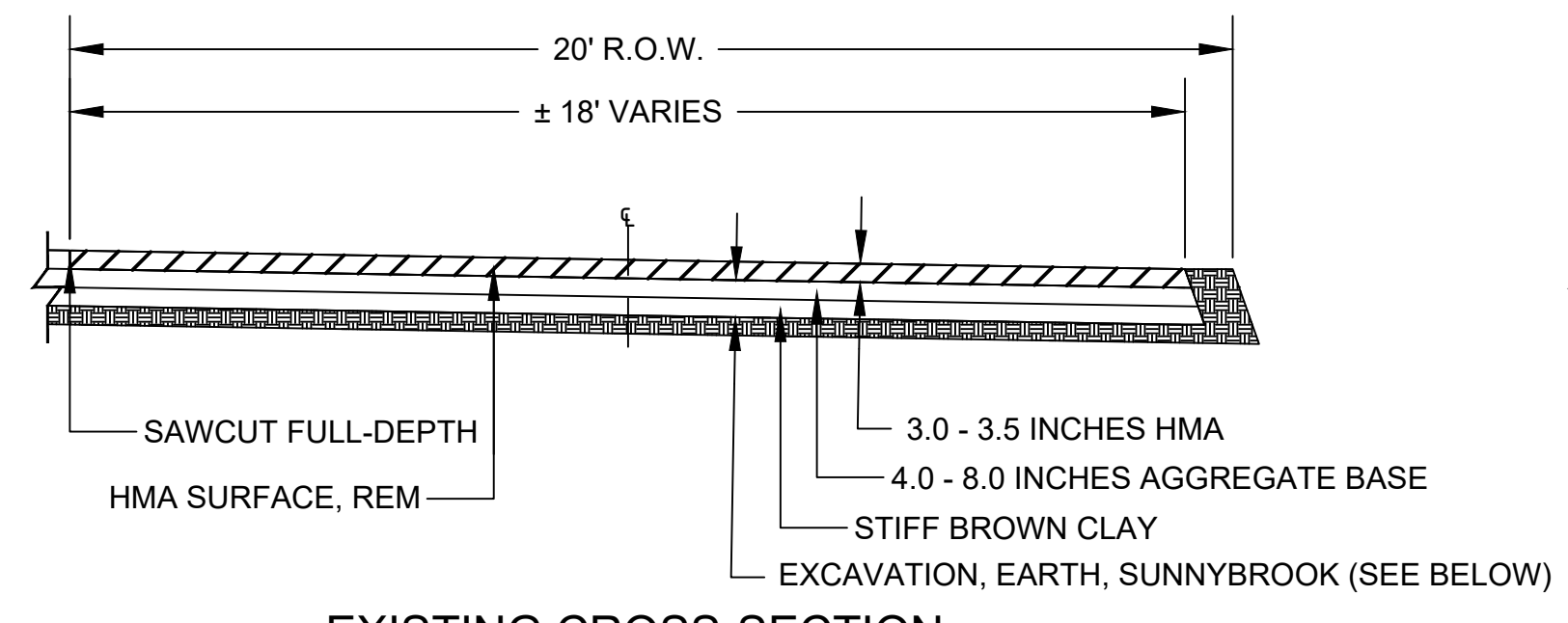
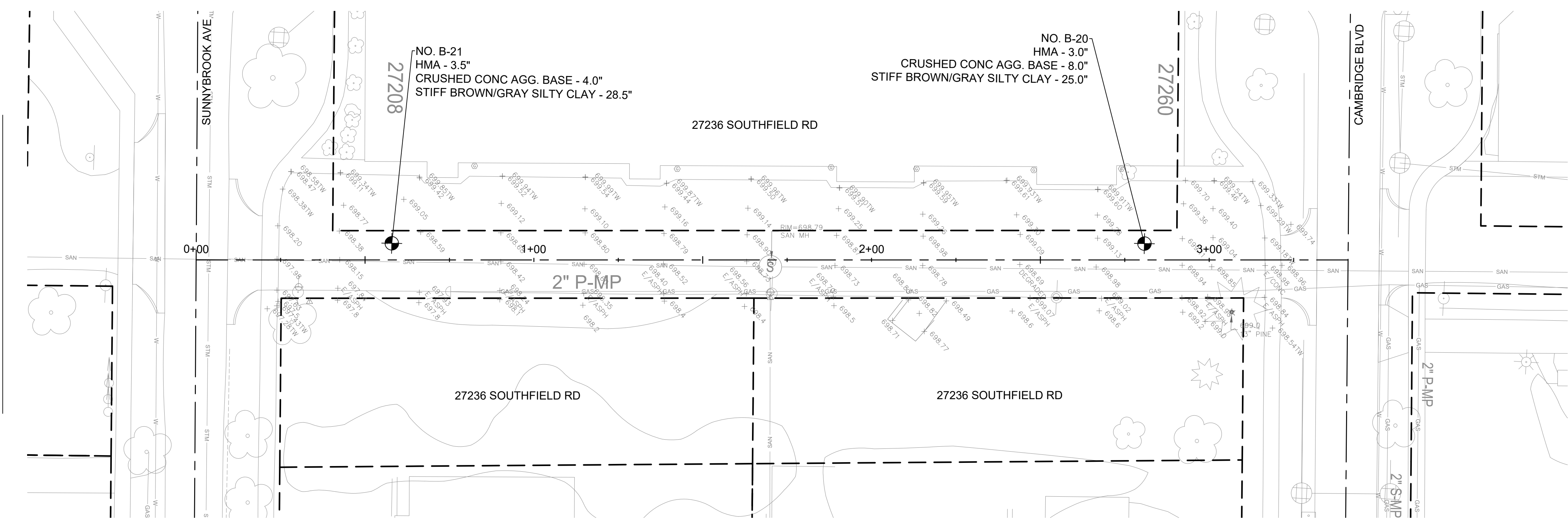
SUNNYBROOK ALLEY

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OAKLAND COUNTY
MICHIGAN

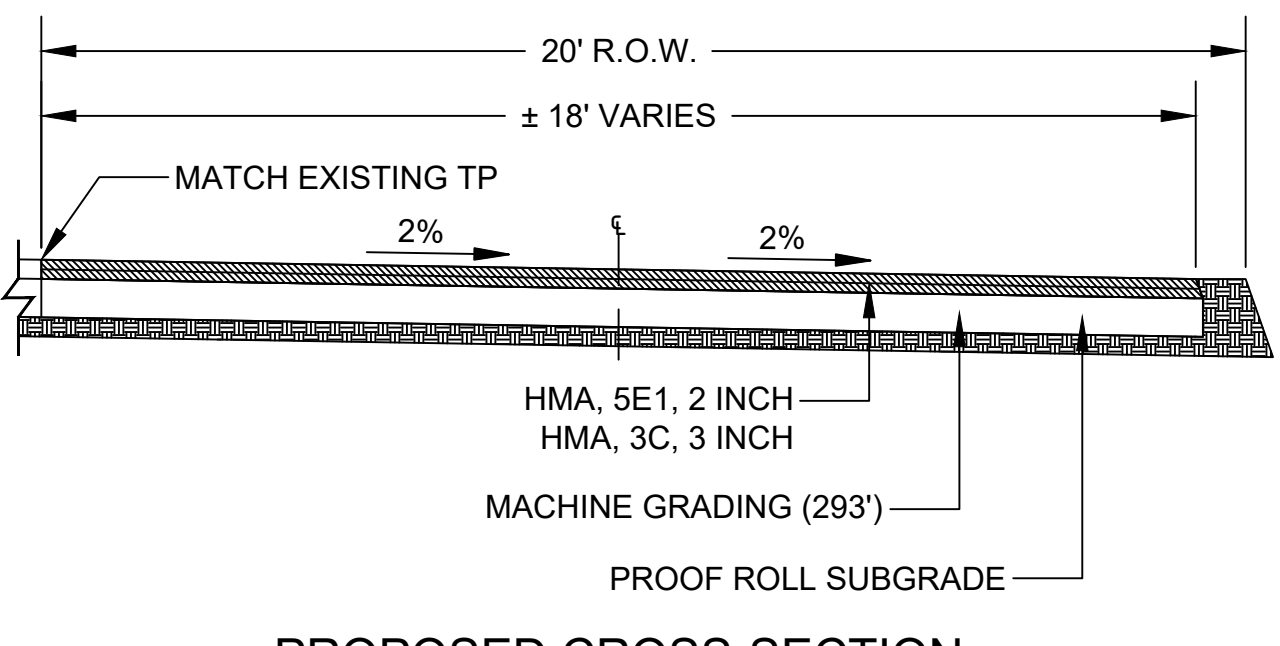
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SITE CONDITIONS



EXISTING CROSS-SECTION
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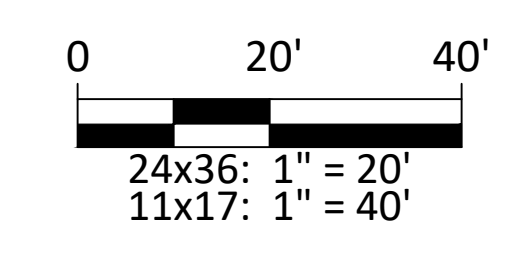
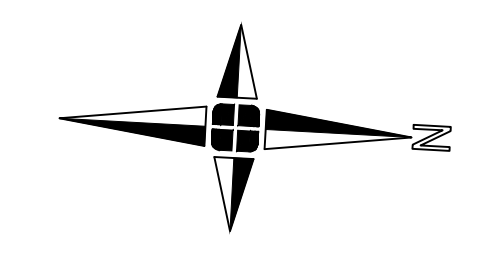


PROPOSED CROSS-SECTION
0+24 TO 3+17
(NOT TO SCALE)

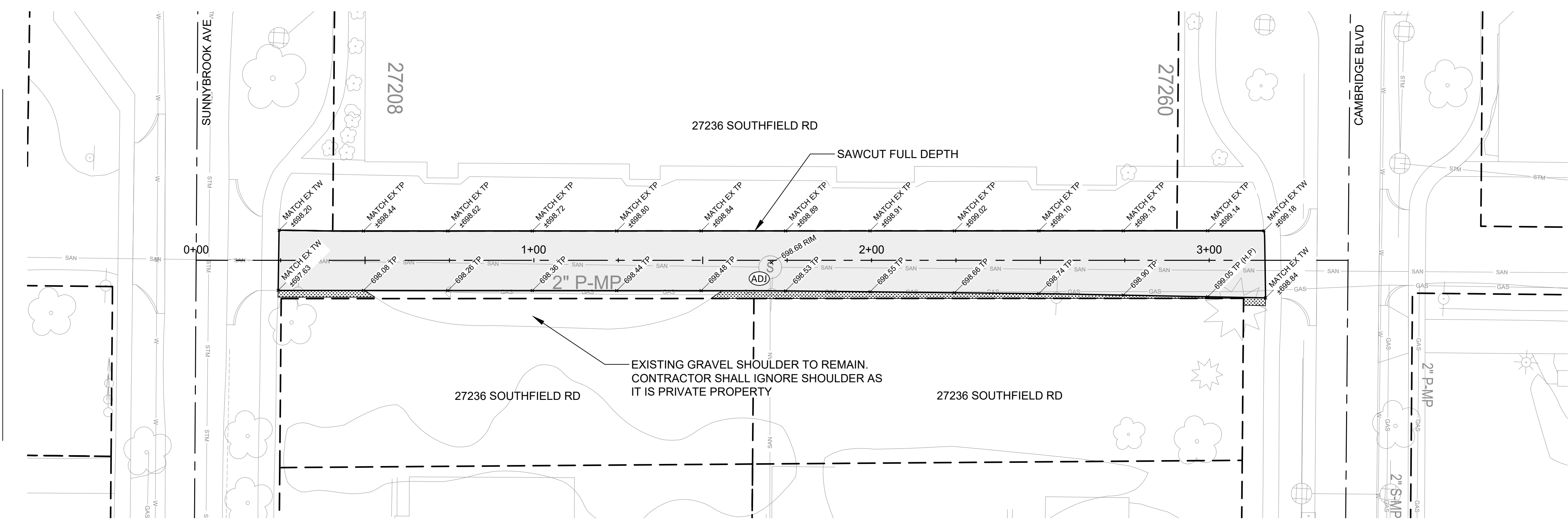
ESTIMATED QUANTITIES (THIS SHEET)	QTY UNIT
EXCAVATION, EARTH, SUNNYBROOK	1 Ls
MACHINE GRADING	2.93 Sta
DR STRUCTURE COVER, ADJ, CASE 1	1 Ea
HMA SURFACE, REM	593 Syd
HMA, 3C	102 Ton
HMA, 5E1	68 Ton
LANDSCAPE RESTORATION	34 Syd
WATER, SODDING/SEEDING	0.6 Unit

ESTIMATED EXCAVATION, EARTH, SUNNYBROOK QUANTITY: 30 CUBIC YARD.
GRADING AND SHAPING THE SUBGRADE TO THE PROPOSED CROSS SECTION
SHALL NOT BE PAID SEPARATELY AS MACHINE GRADING

LEGEND	
	HMA SURFACE REMOVAL & HMA PAVING
	CONCRETE APPROACH/DRIVEWAY REPLACEMENT
	CONCRETE SIDEWALK REPLACEMENT (THICKNESS SPECIFIED)
	CONCRETE CURB AND GUTTER
	HMA BUTT JOINT
	LANDSCAPE RESTORATION
	EROSION CONTROL, INLET FILTER, DROP CLOTH



IMPROVEMENT PLAN





Engineers
Surveyors
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1025 East Maple Road
Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
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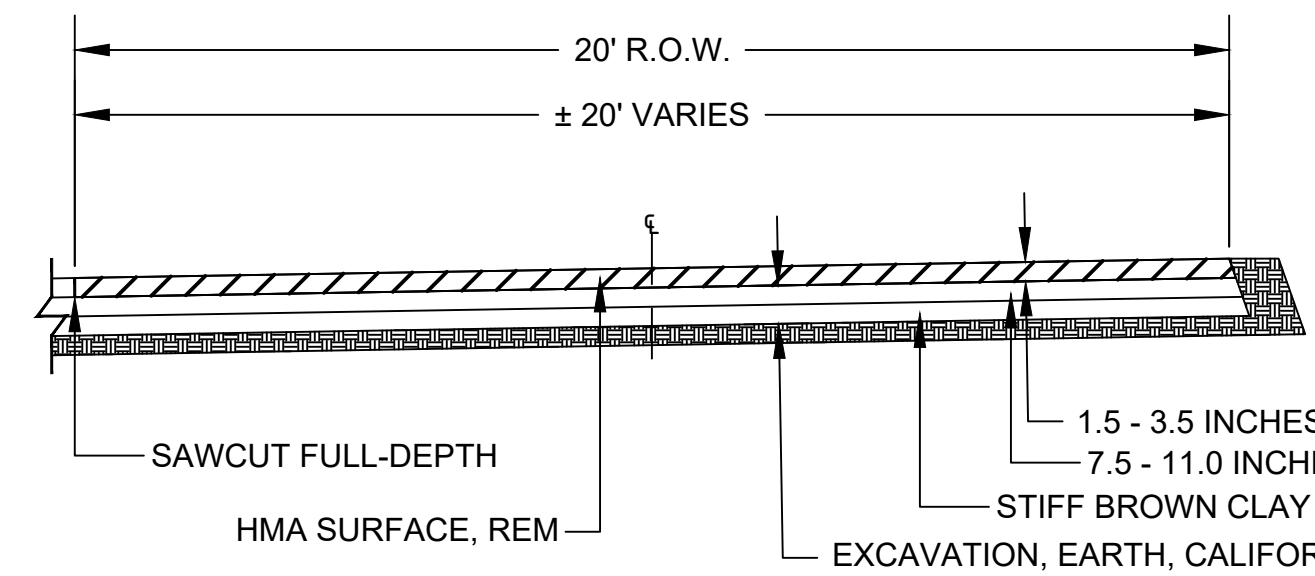
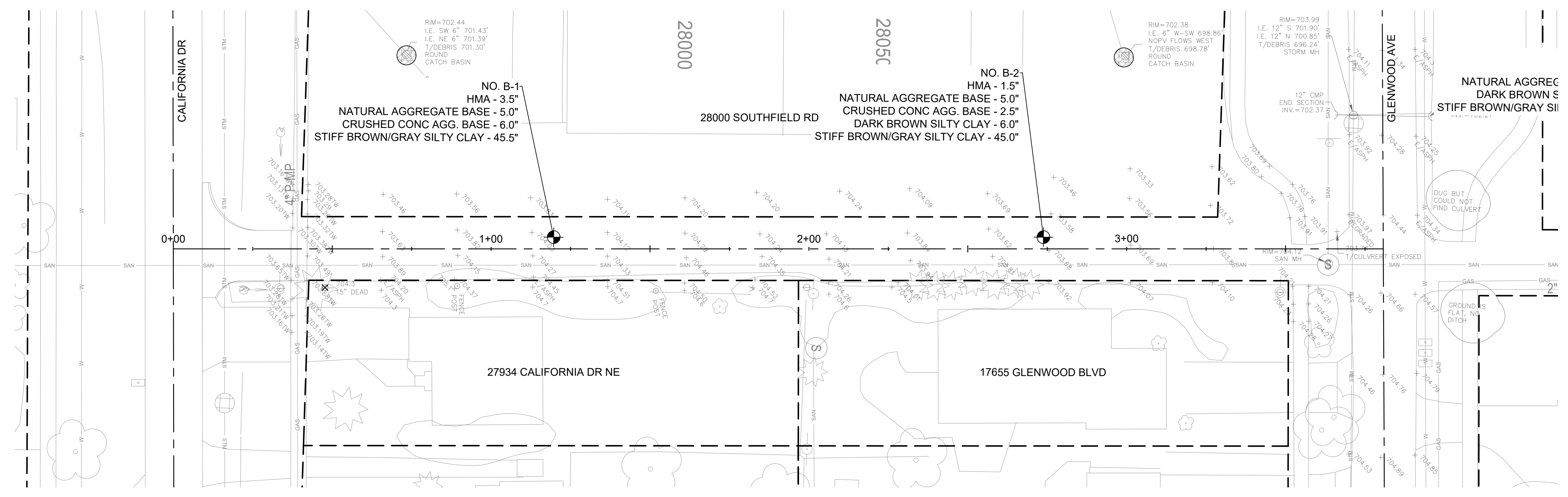
CALIFORNIA EAST ALLEY

2025 ALLEY RECONSTRUCTION PROGRAM
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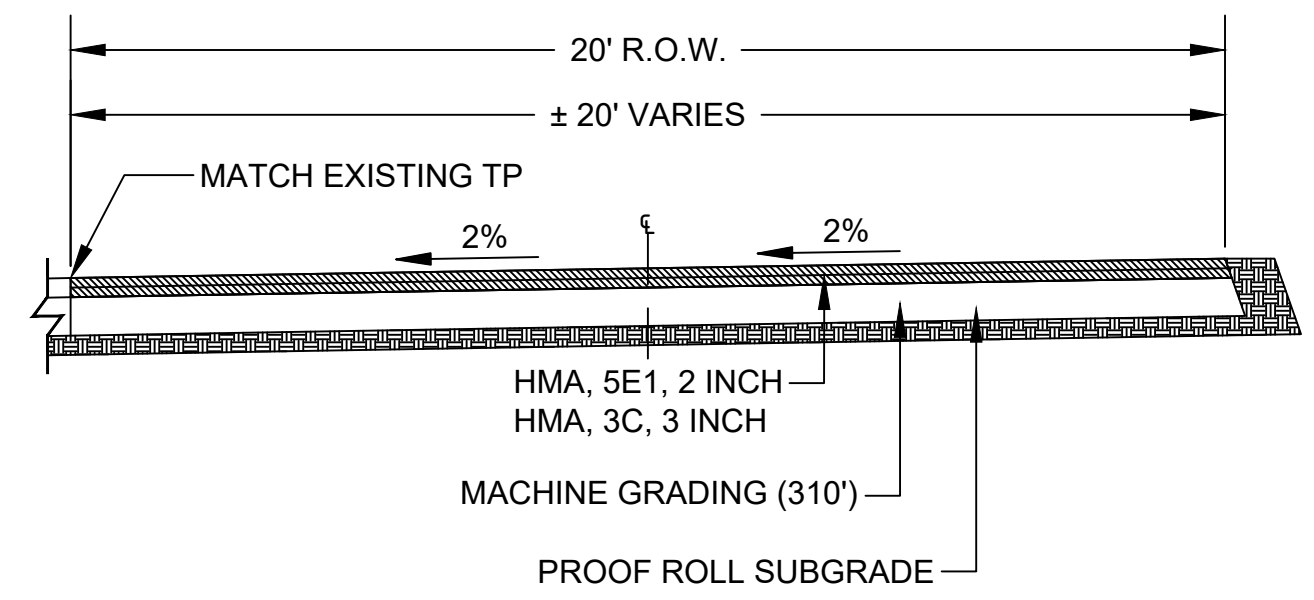
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SITE CONDITIONS



EXISTING CROSS-SECTION
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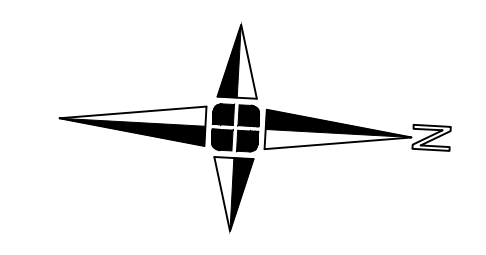


PROPOSED CROSS-SECTION
0+42 TO 3+52
(NOT TO SCALE)

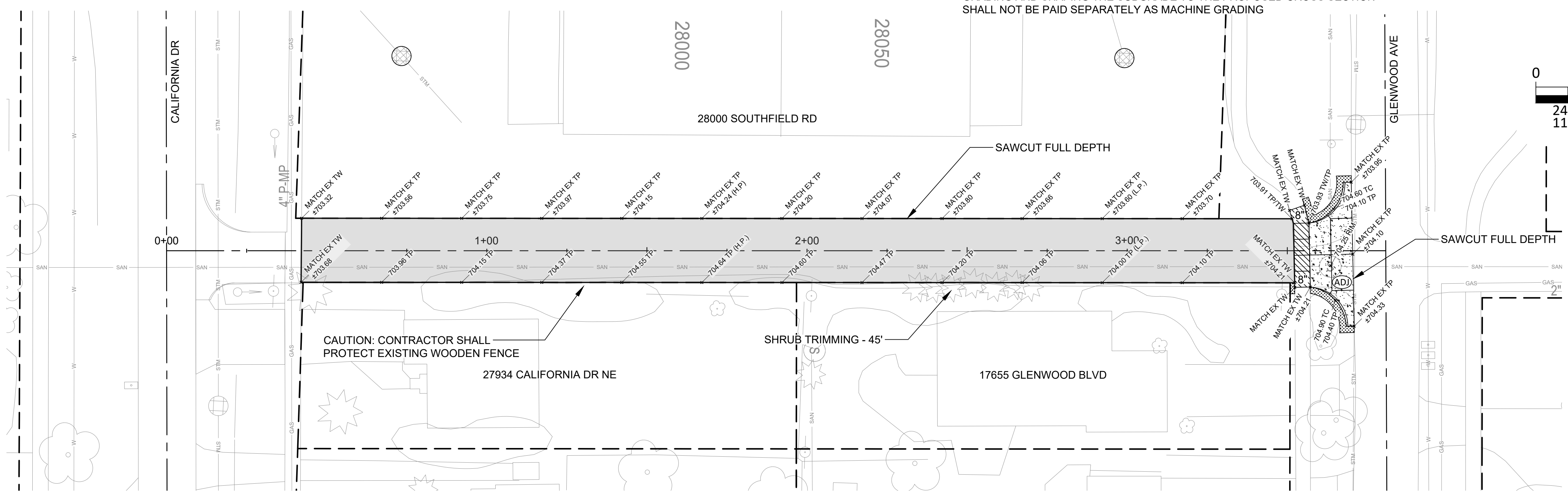
ESTIMATED QUANTITIES (THIS SHEET)	
CLEARING, MODIFIED	45 Ft
SIDEWALK, REM	3 Syd
EXCAVATION, EARTH, CALIFORNIA EAST	1 Ls
MACHINE GRADING	3.10 Sta
EROSION CONTROL, INLET FILTER, DROP CLOTH	2 Ea
AGGREGATE BASE, 6 INCH, 21AA	44 Syd
DR STRUCTURE COVER, ADJ, CASE 1	1 Ea
HMA SURFACE, REM	744 Syd
HMA, 3C	119 Ton
HMA, 5E1	79 Ton
CONC PAVT WITH INTEGRAL CURB, NONREINF, 7 INCH	44 Syd
SIDEWALK, CONC, 8 INCH	121 St
LANDSCAPE RESTORATION	11 Syd
WATER, SODDING/SEEDING	0.2 Unit

LEGEND	
[Symbol]	HMA SURFACE REMOVAL & HMA PAVING
[Symbol]	CONCRETE APPROACH/DRIVEWAY REPLACEMENT
[Symbol]	CONCRETE SIDEWALK REPLACEMENT (THICKNESS SPECIFIED)
[Symbol]	CONCRETE CURB AND GUTTER
[Symbol]	HMA BUTT JOINT
[Symbol]	LANDSCAPE RESTORATION
[Symbol]	EROSION CONTROL, INLET FILTER, DROP CLOTH

ESTIMATED EXCAVATION, EARTH, CALIFORNIA EAST QUANTITY: 60 CUBIC YARD.
GRADING AND SHAPING THE SUBGRADE TO THE PROPOSED CROSS SECTION SHALL NOT BE PAID SEPARATELY AS MACHINE GRADING



IMPROVEMENT PLAN





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1025 East Maple Road
Suite 100
Birmingham, MI 48009
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f (313) 962-5068
www.giffelswebster.com

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LATHRUP VILLAGE, MI 48076
(248)557-2600

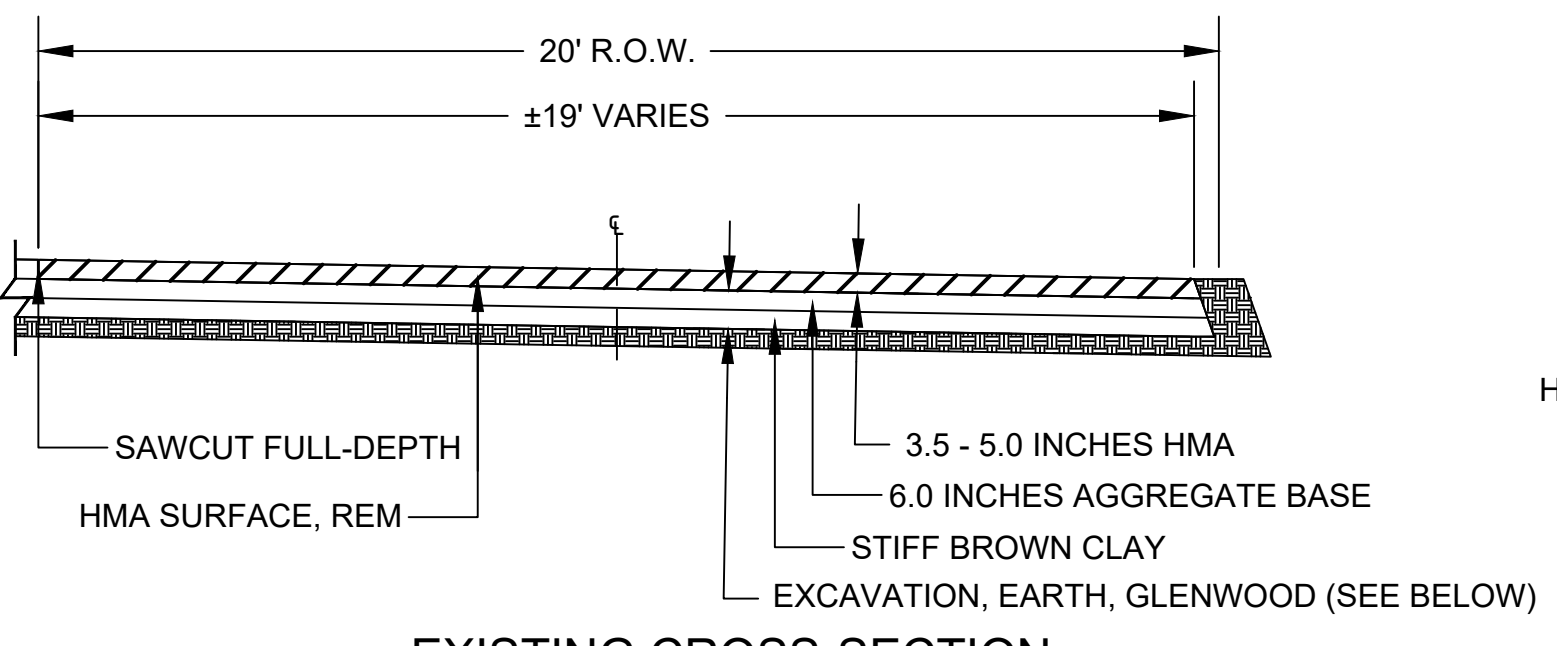
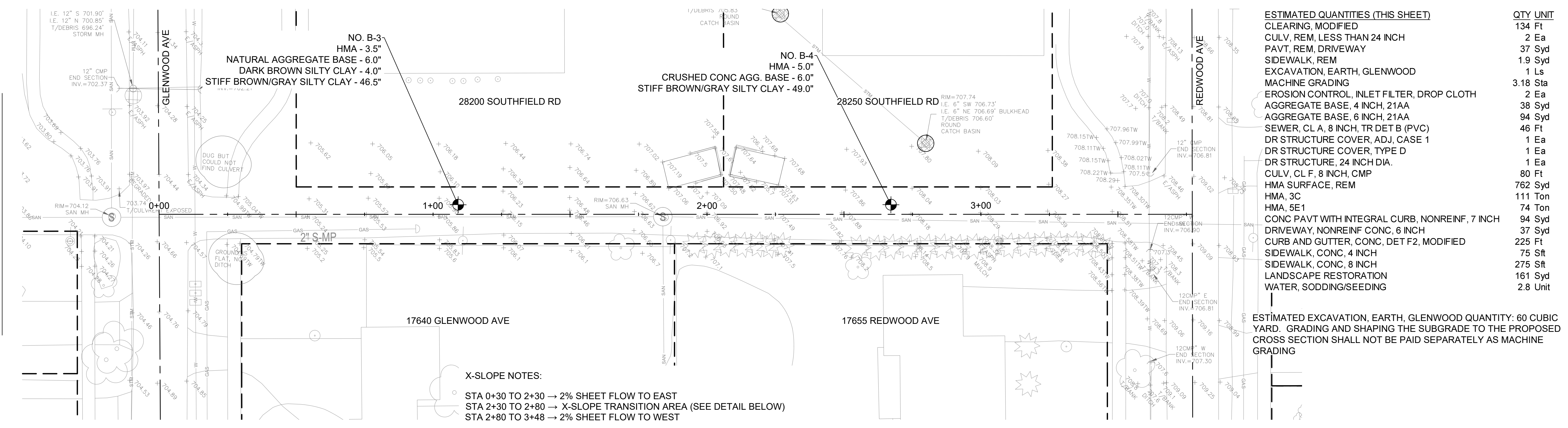
GLENWOOD ALLEY

2025 ALLEY RECONSTRUCTION PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

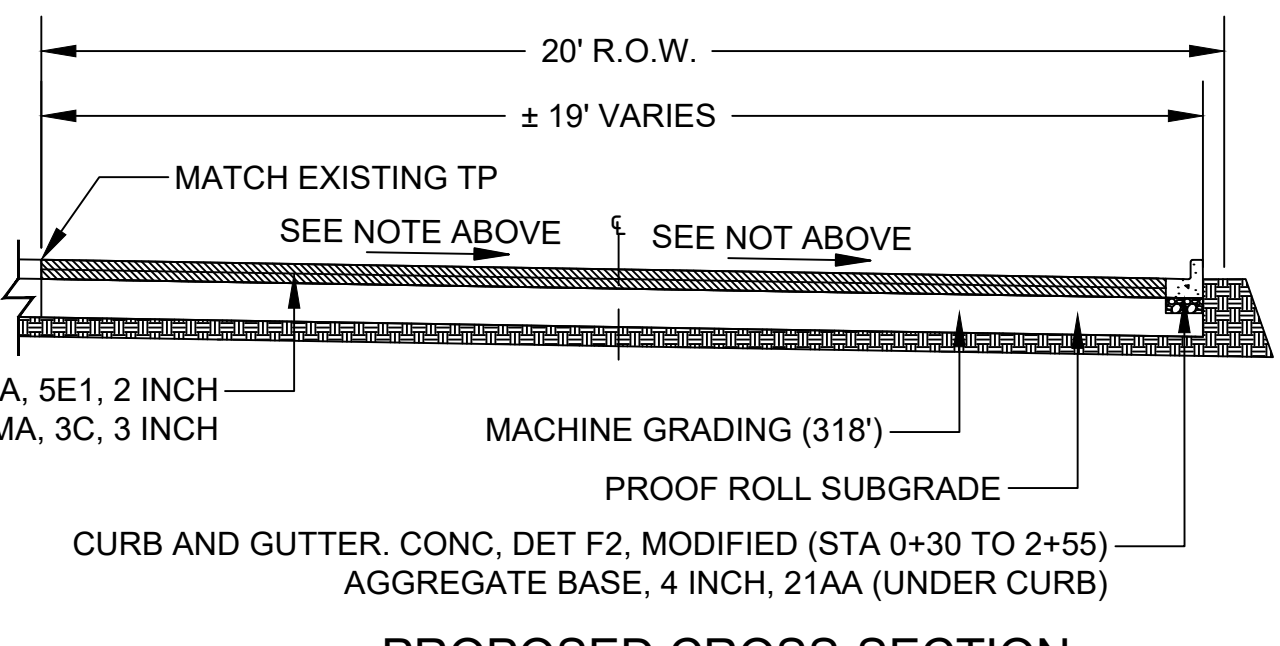
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Project:	18736.25

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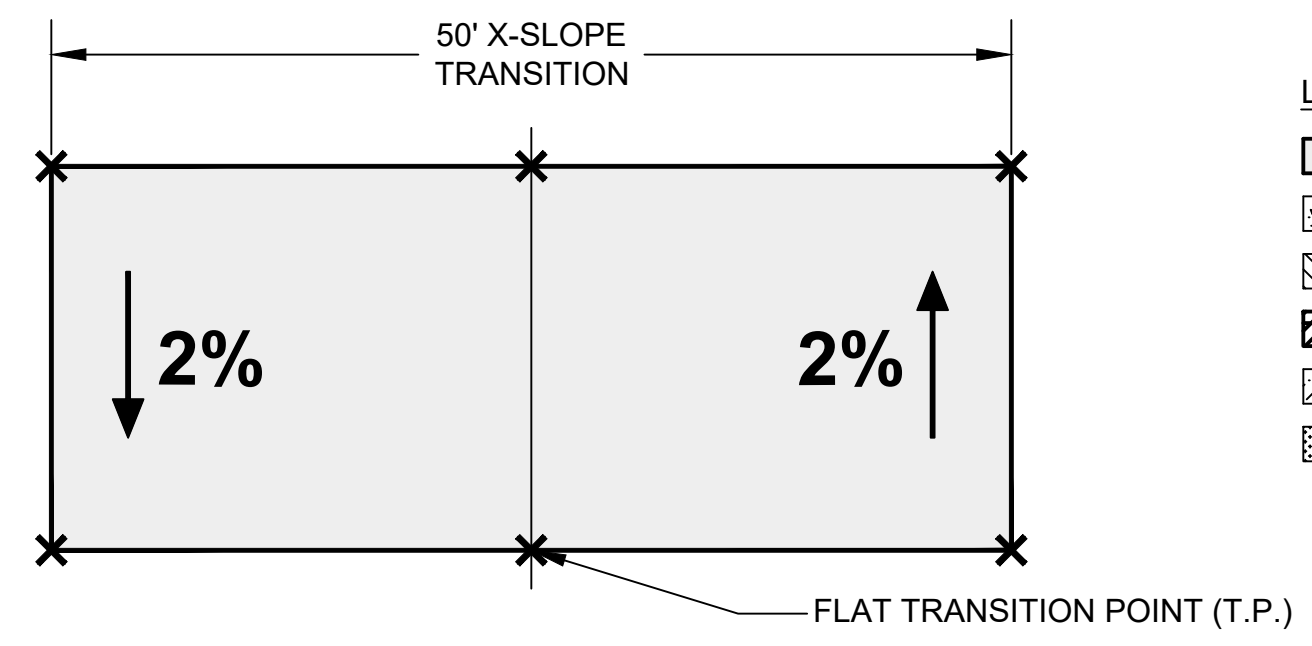
SITE CONDITIONS



EXISTING CROSS-SECTION
0+30 TO 3+48
(NOT TO SCALE)

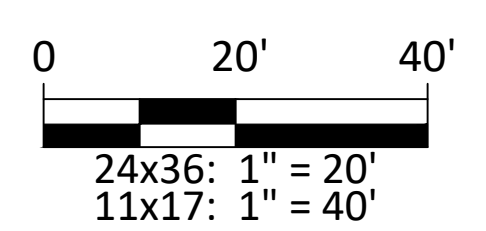
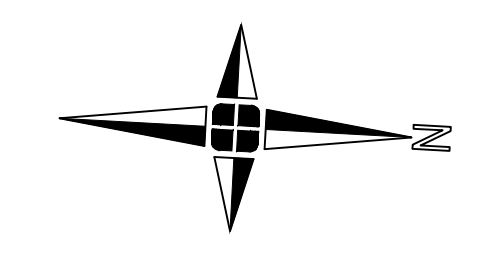


PROPOSED CROSS-SECTION
0+30 TO 3+48
(NOT TO SCALE)

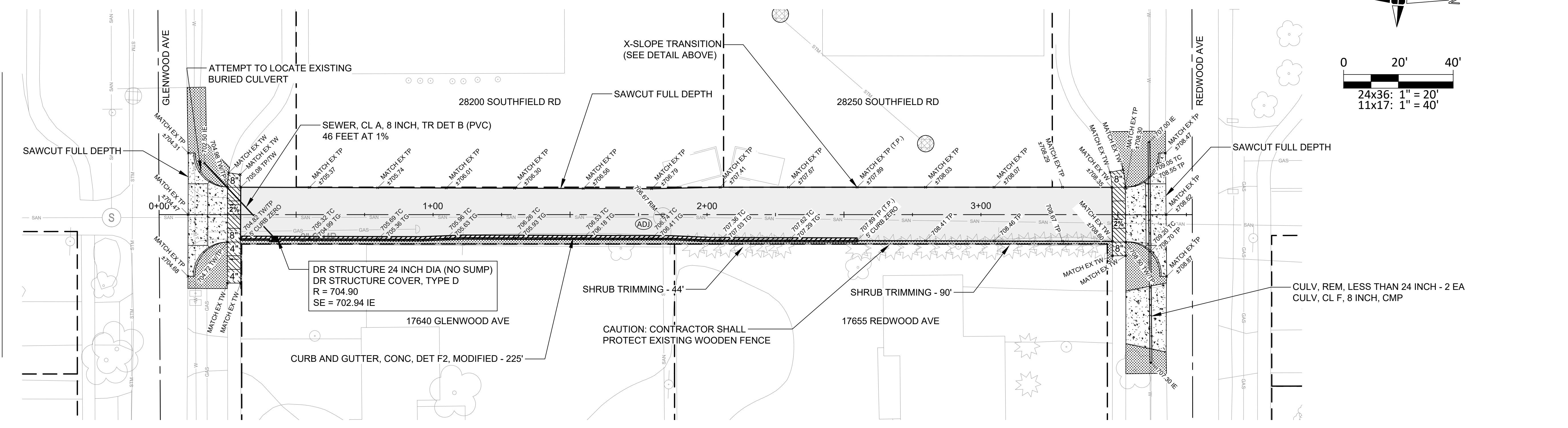


X-SLOPE TRANSITION DETAIL
(NOT TO SCALE)

- LEGEND**
- HMA SURFACE REMOVAL & HMA PAVING
 - CONCRETE APPROACH/DRIVEWAY REPLACEMENT
 - CONCRETE SIDEWALK REPLACEMENT (THICKNESS SPECIFIED)
 - CONCRETE CURB AND GUTTER
 - HMA BUTT JOINT
 - LANDSCAPE RESTORATION
 - EROSION CONTROL, INLET FILTER, DROP CLOTH



IMPROVEMENT PLAN





Engineers
Surveyors
Planners
Landscape Architects

1025 East Maple Road
Suite 100
Birmingham, MI 48009
p (248) 852-3100
f (313) 962-5068
www.giffelswebster.com

Executive: S.A.R.
Manager: J.R.W.
Designer: A.F.N.
Quality Control: J.P.K.



Know what's below.
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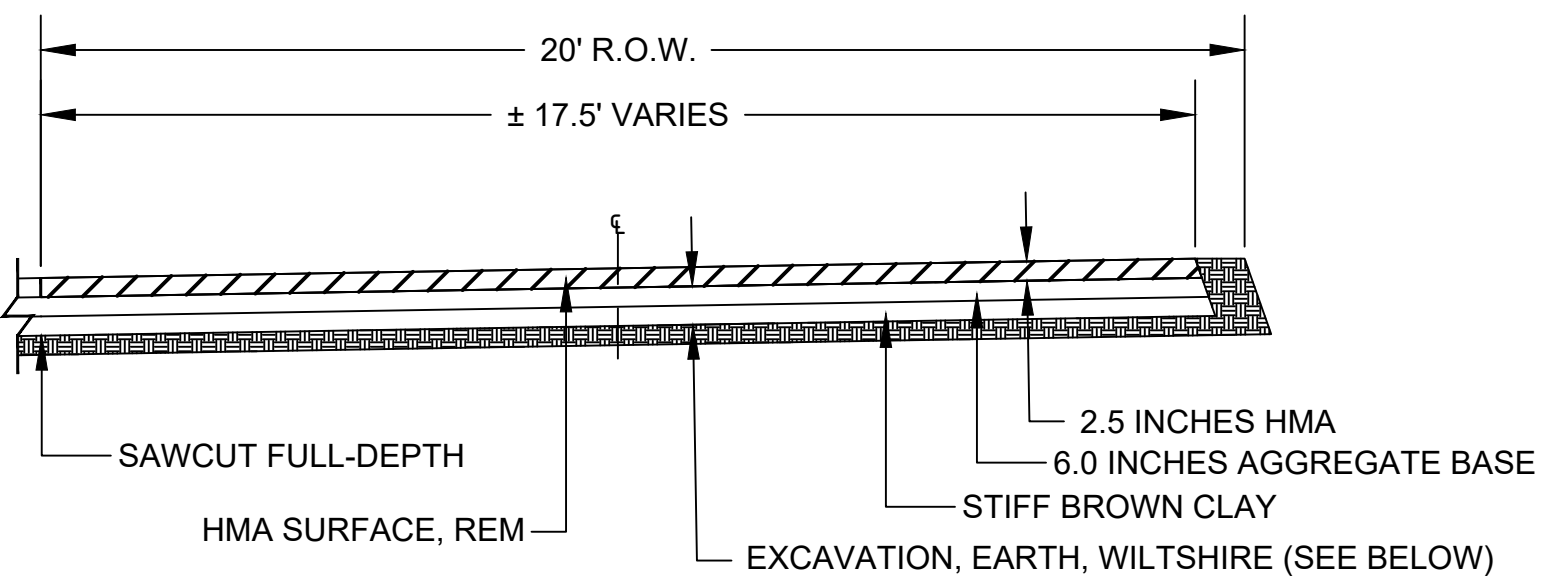
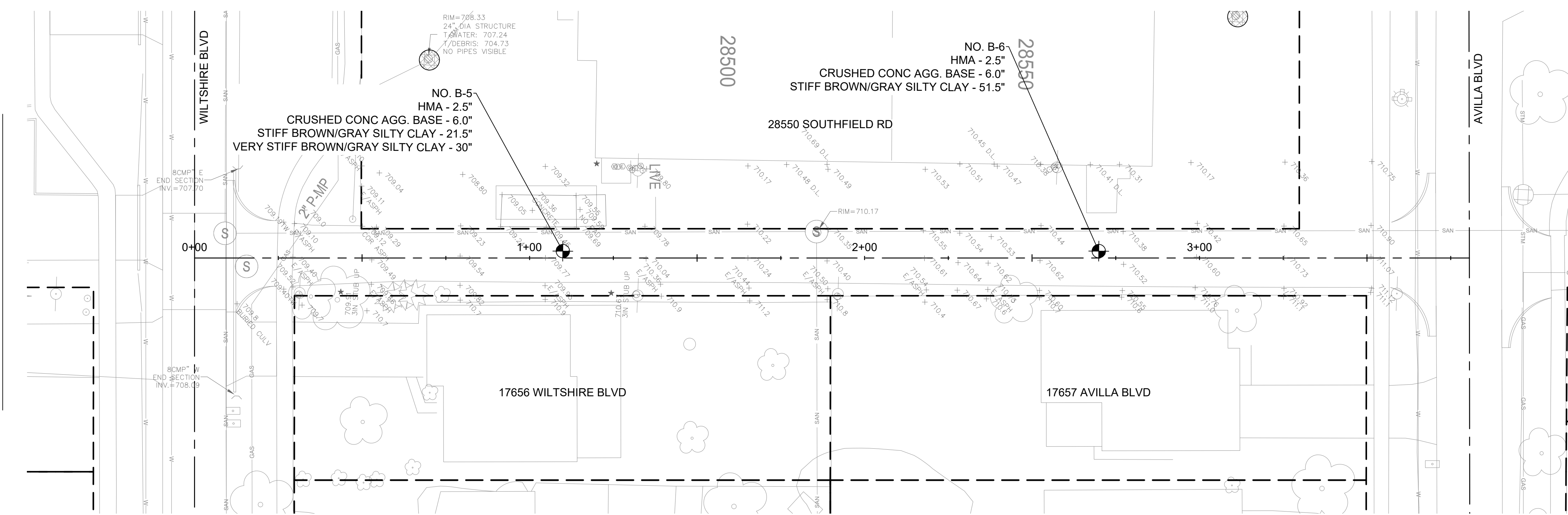
WILTSHIRE ALLEY

2025 ALLEY
RECONSTRUCTION
PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

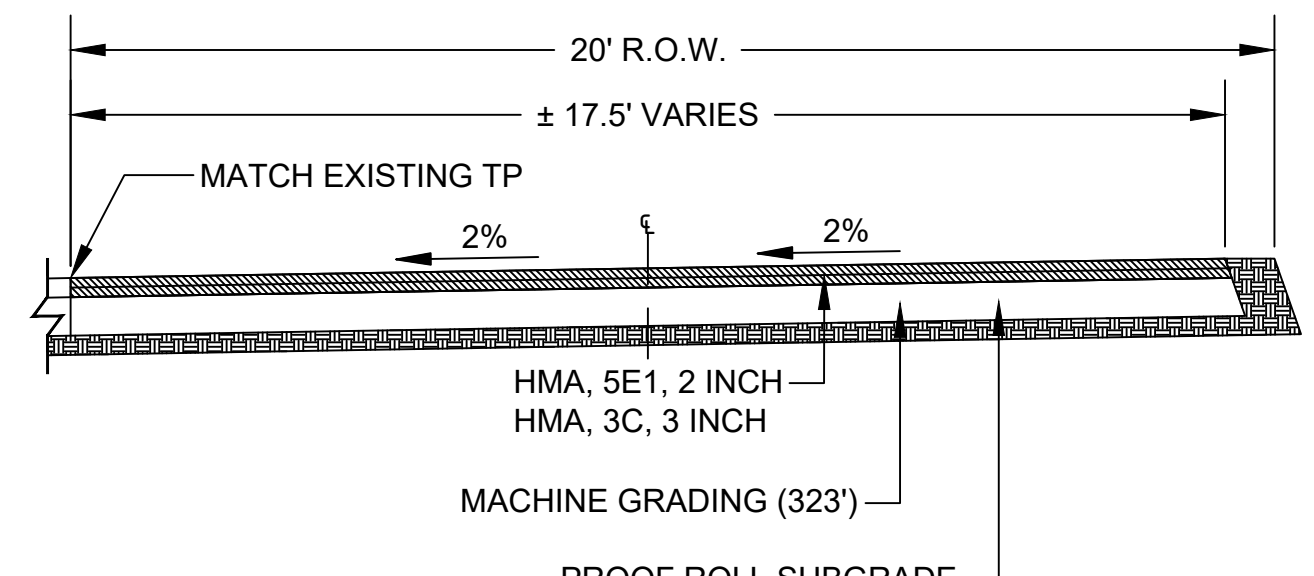
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SITE CONDITIONS



EXISTING CROSS-SECTION
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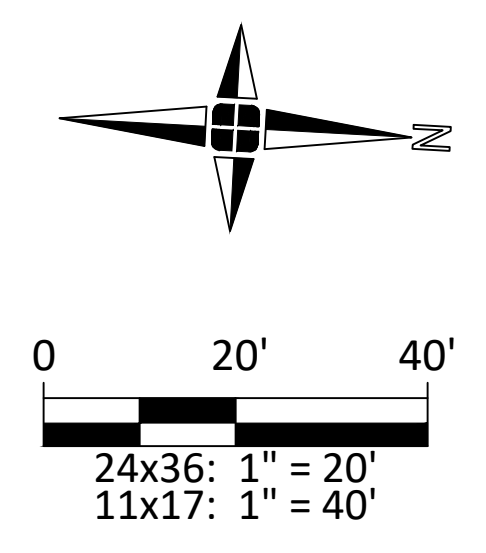
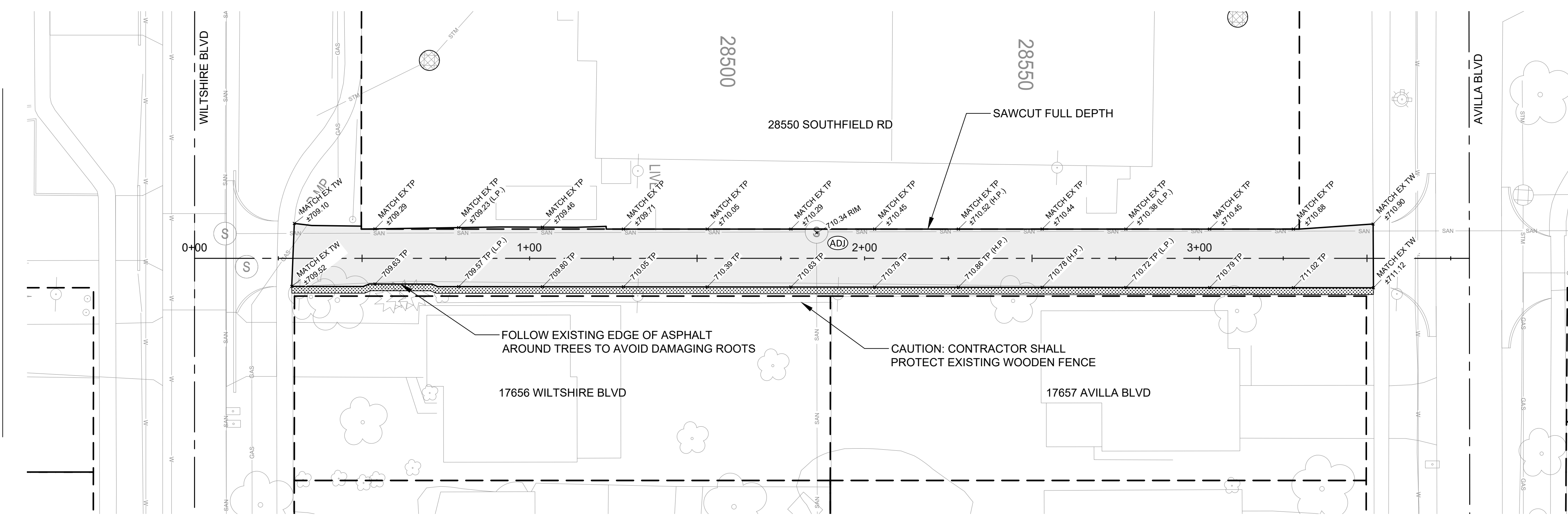
PROPOSED CROSS-SECTION
0+29 TO 3+52
(NOT TO SCALE)

ESTIMATED QUANTITIES (THIS SHEET)	QTY UNIT
EXCAVATION, EARTH, WILTSHIRE	1 Ls
MACHINE GRADING	3.29 Sta
EROSION CONTROL, INLET FILTER, DROP CLOTH	2 Ea
DR STRUCTURE COVER, ADJ, CASE 1	1 Ea
HMA SURFACE, REM	626 Syd
HMA, 3C	108 Ton
HMA, 5E1	72 Ton
LANDSCAPE RESTORATION	72 Syd
WATER, SODDING/SEEDING	1.3 Unit

ESTIMATED EXCAVATION, EARTH, WILTSHIRE QUANTITY: 50 CUBIC YARD.
GRADING AND SHAPING THE SUBGRADE TO THE PROPOSED CROSS SECTION
SHALL NOT BE PAID SEPARATELY AS MACHINE GRADING

LEGEND	
[Pattern]	HMA SURFACE REMOVAL & HMA PAVING
[Pattern]	CONCRETE APPROACH/DRIVEWAY REPLACEMENT
[Pattern]	CONCRETE SIDEWALK REPLACEMENT (THICKNESS SPECIFIED)
[Pattern]	CONCRETE CURB AND GUTTER
[Pattern]	HMA BUTT JOINT
[Pattern]	LANDSCAPE RESTORATION
[Symbol]	EROSION CONTROL, INLET FILTER, DROP CLOTH

IMPROVEMENT PLAN





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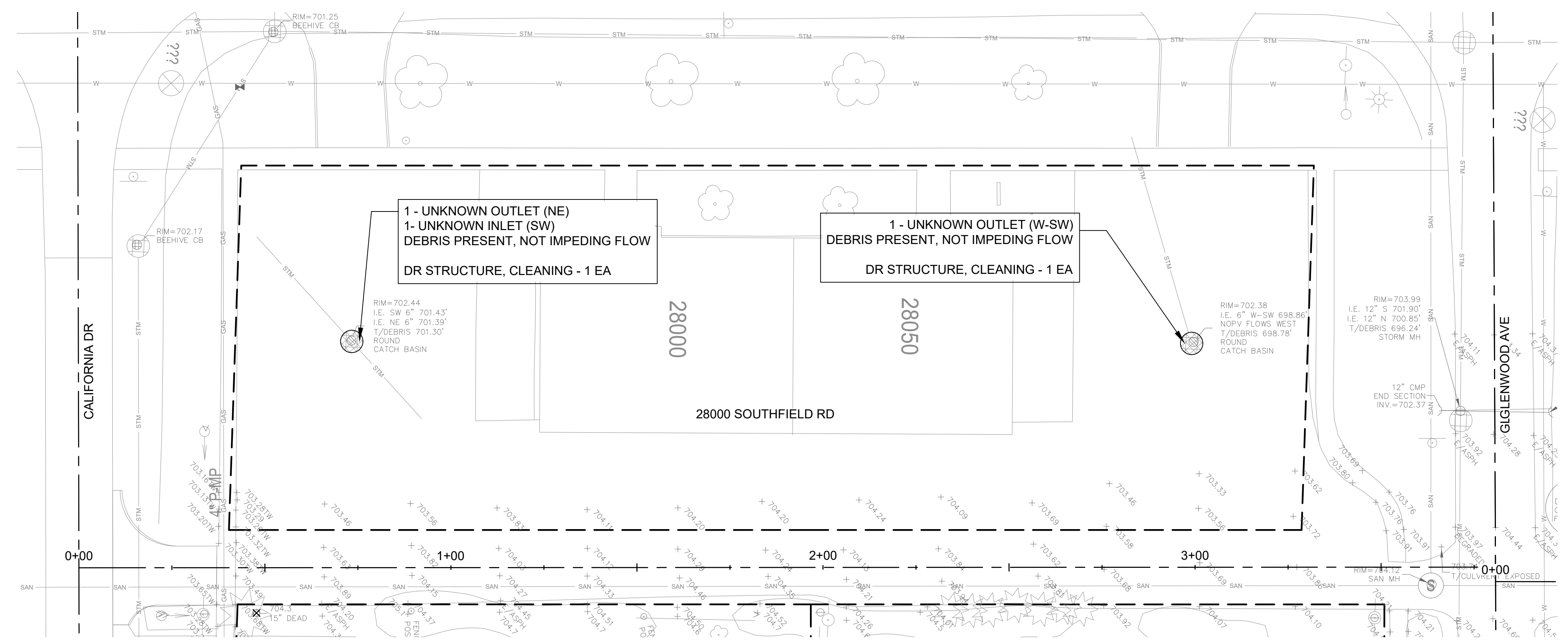
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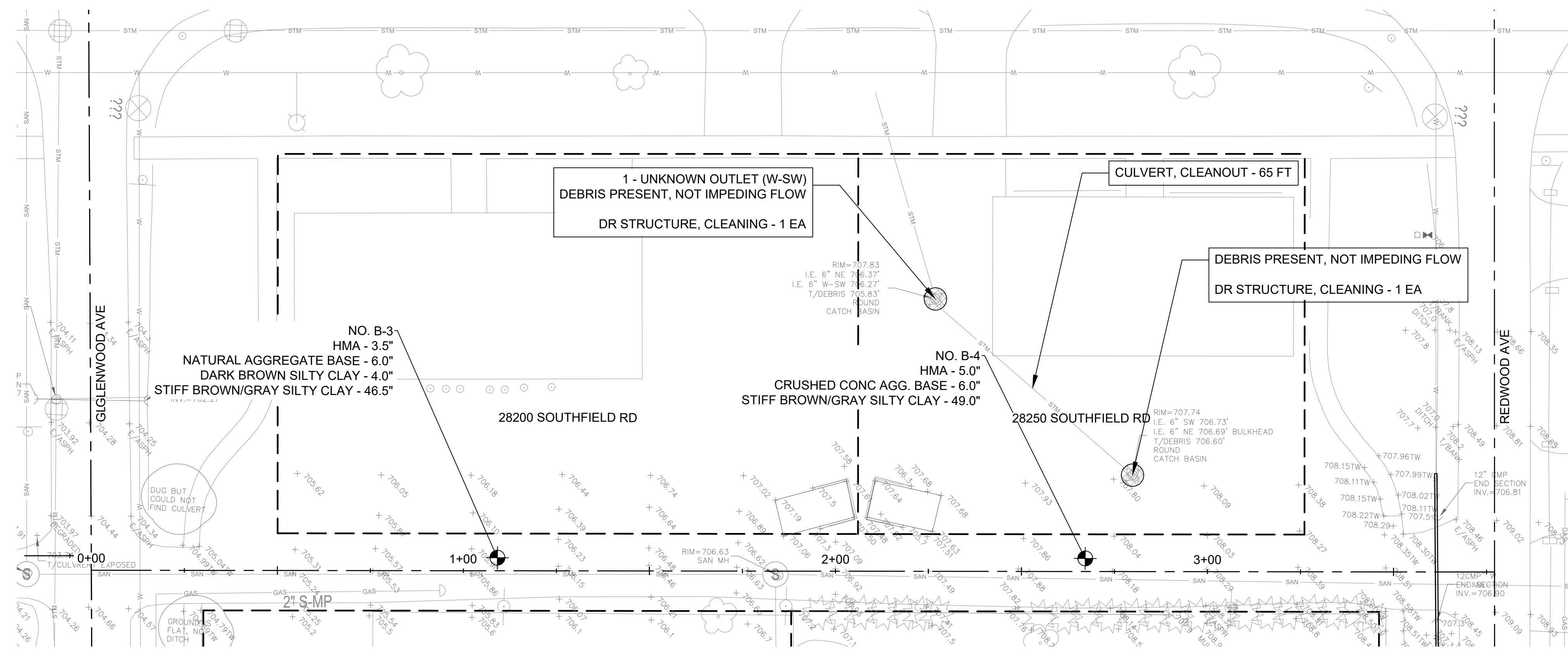
STM STR CLEANING (1 OF 2)
2025 ALLEY RECONSTRUCTION PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

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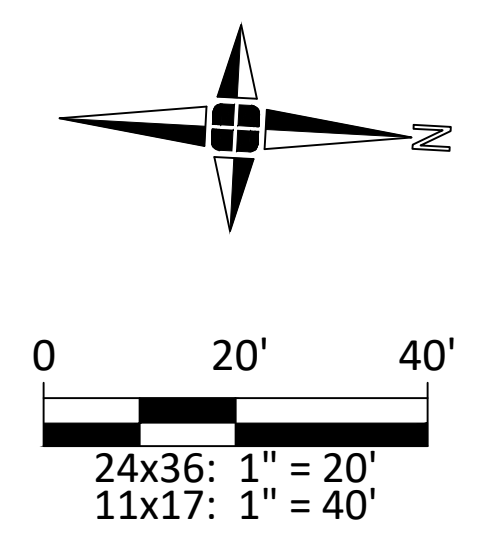


CALIFORNIA STRUCTURES

ESTIMATED QUANTITIES (THIS SHEET)
DR STRUCTURE, CLEANING 4 Ea
CULVERT, CLEANOUT 65 Ft



GLENWOOD STRUCTURES



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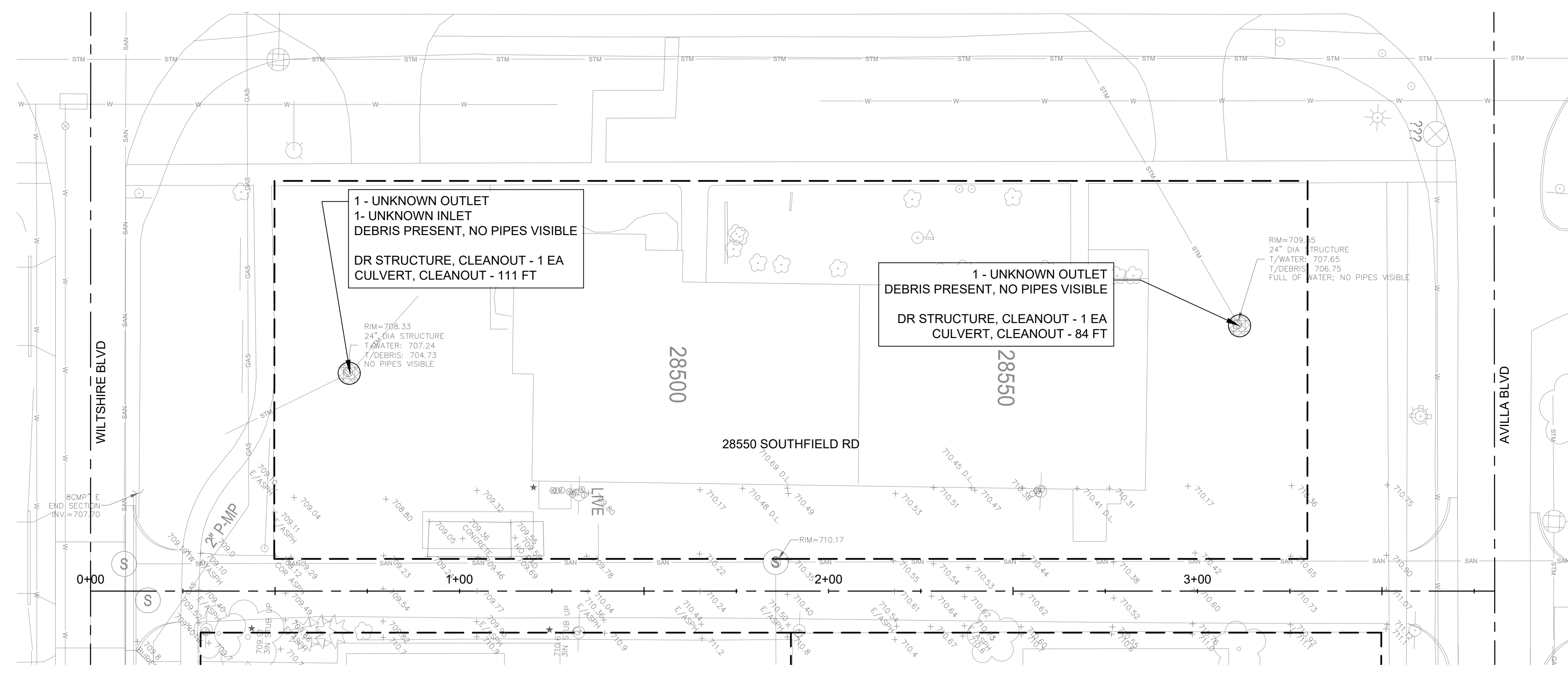
DATE:	ISSUE:

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STM STR CLEANING (2 OF 2)
2025 ALLEY RECONSTRUCTION PROGRAM
CITY OF LATHRUP VILLAGE
OAKLAND COUNTY
MICHIGAN

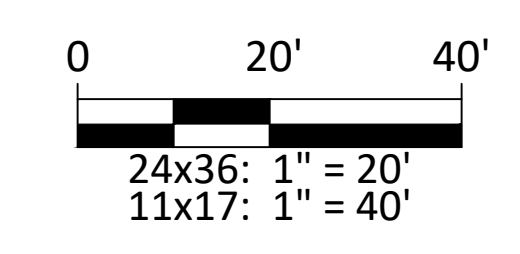
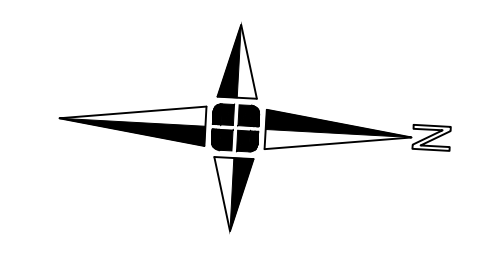
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Project: 18736.25

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WILTSHIRE STRUCTURES

ESTIMATED QUANTITIES (THIS SHEET)	QTY	UNIT
DR STRUCTURE, CLEANING	2	Ea
CULVERT, CLEANOUT	195	Ft



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27400 Southfield Rd
Lathrup Village, MI 48076
(248) 557 - 2600
www.lathrupvillage.org

To: DDA Board of Directors
From: Austin Colson – Community & Economic Development/DDA Director
Date: December 20, 2024
RE: 11 Mile Road Snow Removal Contract

The purpose of this memo is to seek the Board's authorization for the DDA Director to enter into an agreement with Paradise Garden Landscaping Inc. for snow removal services along 11 Mile Road.

Ensuring safe and accessible sidewalks and public spaces during the winter months is a top priority for the DDA. Snow accumulation on sidewalks along 11 Mile Road creates safety hazards for pedestrians and negatively impacts businesses in the district. Contracting a qualified provider for snow removal will mitigate these issues, improving the area's walkability and usability throughout the winter.

Efforts were made to secure competitive quotes for this service. A total of nine contractors were contacted, of which five declined to provide quotes, and four did not respond. The incumbent vendor also declined to bid on the contract. Paradise Garden Landscaping Inc. was the sole respondent, submitting a comprehensive bid for snow removal services from December 18, 2024, to April 30, 2025. The proposal includes snow plowing starting at \$600 per push for 2–4 inches of accumulation, with incremental pricing for heavier snowfalls, and salt applications priced at \$35 per 50-lb bag.

Suggested Motion: Authorize the DDA Director to enter into an agreement with Paradise Garden Landscaping Inc. to provide snow removal services along 11 Mile Road.

26220 GROESBECK HWY
WARREN MI 48089

Main: 586.944.0020
Fax: 586.944.0025

www.ParadiseGL.com



SNOW REMOVAL CONTRACT

Licensed & Insured
24 Hours 7 Days a week
Reliable Service

NAME: City of Lathrup Village/ DDA	PHONE:	DATE: 12/18/2024
STREET: 27400 Southfield Road	JOB NAME: City of Lathrup Village/ DDA	
CITY, STATE AND ZIP CODE: Lathrup Village, MI 48076	JOB LOCATION: 27400 Southfield Road, Lathrup Village, MI 48076	

We hereby submit specifications for snow removal as follows:

SNOW REMOVAL SERVICE:

CONTRACT PERIOD: December 18, 2024 - April 30, 2025

TERMS AND SPECIFICATIONS:

- **Snow plowing service: Per Service**

Within two (2) – four (4) hours and/or and accumulation of 2 inches, Paradise Garden Landscaping will begin plowing. Any disputes regarding the amount of snowfall at any given time will be resolved by referring to the National Weather Service.

Paradise Garden Landscaping understands that all sidewalks and walking areas will be cleared completely after each snowfall.

All City Sidewalks and walk areas marked on map below:

- \$ 600.00 Per Push 2 - 4 inches
- \$ 700.00 Per Push 4.1- 6 inches
- \$ 800.00 Per Push 6.1 - 8 inches
- \$ 900.00 Per Push 8.1 - 10 inches

• **Application of Melt Products: - Per Application**

Paradise Garden Landscaping will apply salt if there is less than 2 inches of accumulation. We understand that salt will be applied after snow is cleared from properties if snow is over 2 inches. Salt is mandatory to reduce liability for the property owner. Any disputes regarding the amount of snowfall at any given time will be resolved by referring to the National Weather Service.

Parking lot and property:

- Salt applied to all property area, entrance/exits: \$ NA
- Type of salt applied to all property area, entrance/exits: NA

Sidewalks and walk areas:

- Salt applied to all sidewalks and walk areas: \$ 35/ Bag
- Type of salt applied to all sidewalks and walk areas: Calcium Chloride

Please note: 1 - 50 lb. bag covers about 2000 square feet

• **Additional snow removal services:**

Porches:

- Remove snow from all porches: \$ N/A

Drifts:

- Paradise Garden Landscaping agrees ***upon approval from owner ONLY***, to return to the site within four (4) hours of the notification to remove the drifting snow from all vital areas. If wind conditions interfere, then Paradise Garden Landscaping will return to the site as soon as weather permits.

- Drifts will be cleared, (upon request) at a cost of \$ 150.00 per hour.

Other:

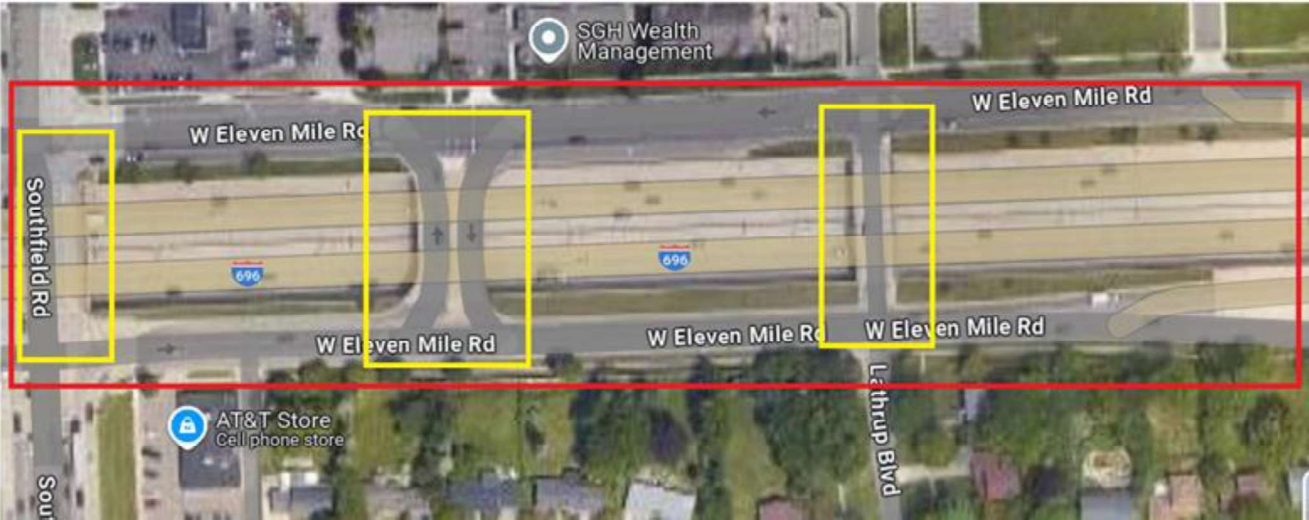
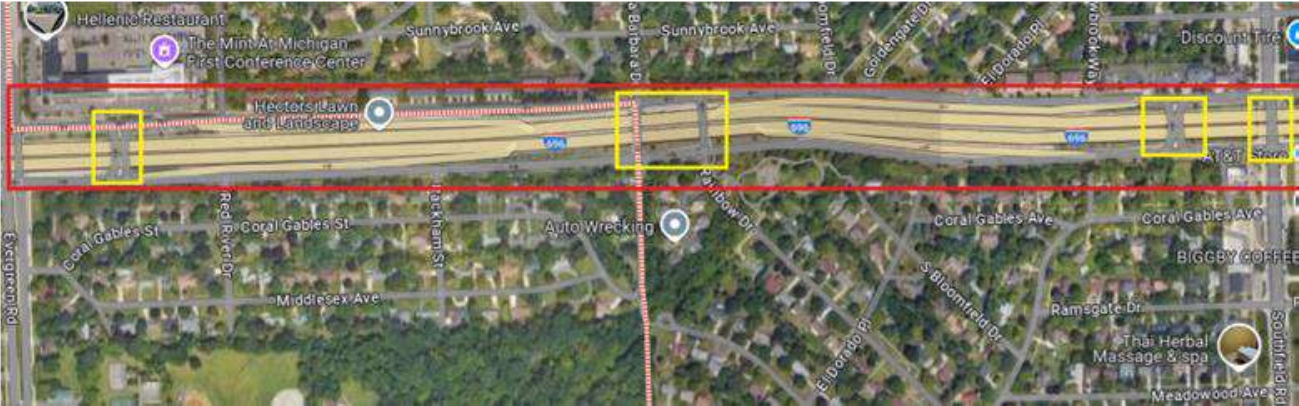
- If it becomes necessary (upon request) snow will be removed by the use of an end loader. Paradise Garden Landscaping shall obtain prior ***approval from owner ONLY*** and will secure a purchase order outlining the agreed service and costs prior to the start of work.

- End Loader rate (Operator included): \$ 250.00 Per Hour
- Hourly truck rate (Operator included): \$ 200.00 Per Hour

Special Site Note:

- 11 Mile Road (Northside and Southside) between Evergreen Road and one block east of Lathrup Blvd.
- Cross walks Perpendicular to 696 - East to West 9 Total -
 1. Lathrup Blvd (1)
 2. Center crosswalk (17600 w 11-mile Road) (1)
 3. Southfield Road (2)
 4. Center crosswalk Meadowbrook Way (1)
 5. Rainbow Drive crosswalk (1)
 6. Santa Barbara Drive crosswalk (1)
 7. Center crosswalk (Michigan First Conference) (1)
 8. Evergreen Cross walk (East side only) (1)

MAP - Per Service – 12,720 running feet/ 63,600 square feet



1. In consideration of the payments described above attached hereto, the Contractor shall perform the work (the "Work") described, at the lands and premises municipally known as "Job location(s) (the "Premises").
2. If requested to do so by the Client, the Contractor shall provide evidence of compliance with applicable workers' compensation legislation, including payments due thereunder. Evidence of such insurance shall be provided by the Contractor to the Client upon the request of the Client.
3. The Contractor shall be responsible for and shall restore at its expense all damage to the property of the Client caused by the Contractor in the performance of the Work which damage was not reasonably foreseeable as a consequence of the Contractor's performance of this Agreement. The Client acknowledges that some damage to the property of the Client is reasonably foreseeable as a consequence of the Contractor's performance of this Agreement, which reasonably foreseeable damage includes, but is not limited to, damage to concrete, asphalt, sod, grass and planting materials due to the application of ice melting products and surface damage to curbs and asphalt due to the clearing of snow and ice.
4. The Contractor shall indemnify and hold harmless the Client, its agents and employees from and against any claim for damages arising from an occurrence of bodily injury or death or the destruction of tangible personal property provided that the damages are caused by the negligence or breach of this Agreement of the Contractor or anyone for whom the Contractor is responsible in law and provided that the Contractor is given notice of the claim by the Client within a reasonable time following the occurrence but in any event within 48 hours of the Client first acquiring knowledge of the circumstances of the claim. The Client expressly waives the right to be indemnified by the Contractor and agrees to indemnify and hold harmless the Contractor, its agents and employees from and against any claim for damages save and except those which arise due to the negligence or breach of this Agreement of the Contractor.
5. If there is a conflict within this Agreement, the Site Map (if any) takes precedence over the Drawings and Specifications, the Drawings and Specifications take precedence over the contract and takes precedence over the remainder of the Agreement. This Agreement constitutes the whole of the agreement between the Parties and supersedes all prior negotiations, representations or agreements.
6. The Client expressly acknowledges that it has physical possession of, is responsible for and has control over the condition of the Premises. If the Contractor is delayed in the performance of any portion of the Work by the application of a by-law, by a stop work order (providing the order was not issued as a result of an act or omission of the Contractor), by labor disputes, lock outs, fire, or by any other circumstance reasonably beyond the Contractor's control, including extremely heavy winter conditions, then the time for the performance of that portion of the Work shall until the Contractor is no longer so delayed. If during any particular attendance the Contractor is unable to perform work in an area of the Premises due to the presence of any vehicles, structures or equipment on the Premises, the Contractor will not be required to perform the Work in those areas until the Contractor's next attendance at the Premises.
7. Should the Contractor fail to comply with the requirements of this Agreement to a substantial degree, the Client may notify the Contractor in writing that the Contractor is in default of its contractual obligations and instruct the Contractor to correct the default within 5 business days. If the Contractor fails to correct the default in the time specified or subsequently agreed upon, the Client may correct the default and deduct the cost thereof from any payment due to the Contractor or terminate the Agreement. If the Client so terminates the Agreement, the Contractor shall be entitled to be paid for the value of all Work performed to the date of the termination.

To The Snow and Ice Maintenance Contract

Definitions

- The *Drawings and Specifications* are attached as form part of this Agreement and also include any site map prepared by the Contractor and approved, before or after execution of this Agreement, by the Client (the "Site Map").
- The *Snow Clearing Areas* are described in the Drawings and Specifications and are those areas upon which snow Clearing is to occur.
- *Snow Stockpiling Areas* are those areas to be determined at the discretion of the Contractor where Cleared snow will be accumulated, subject to Relocation or Removal.
- *Ice Management Areas* are those areas upon which Ice Melting Products are to be applied, through truck, machine and/or hand applications in accordance with the Drawings and Specifications.
- *Clearing* involves moving snow from the Snow Clearing Areas to the Snow Stockpiling Areas through Plowing, Pushing or Shoveling as specified in the Drawings and Specifications. "Clear" has a corresponding meaning.
- *Plowing* involves the Clearing of snow through the use of a plow or blade attached to truck vehicle. Plow has a corresponding meaning.
- *Pushing* involves the Clearing of snow through the use of a plow attached to a vehicle or motorized piece of equipment which is not a truck vehicle, including a front-end loader. Push has a corresponding meaning.
- *Shoveling* involves the Clearing of snow through the use of hand tools, including shovels pushers, blowers and brooms. Shovel has a corresponding meaning.

- *Relocation* involves relocating snow from the perimeter of the Snow Clearing Areas to another location on the Premises in accordance with the Drawings and Specifications or as directed by the Client. Relocate has a corresponding meaning.
- *Removal* involves relocating snow from the perimeter of the Snow Clearing Areas to a location outside the Premises in accordance with the Drawings and Specifications or as directed by the Client. Remove has a corresponding meaning.
- *Ice Melting Products*, for the purposes of this Agreement, include, but are not limited to: sodium chloride (rock salt), magnesium chloride, calcium chloride, potassium chloride, brine, urea, sand, calcium magnesium acetate. Sodium chloride is the specified ice melter, unless explicitly specified otherwise in this proposal.
- A *Snowfall* commences when snow begins to accumulate upon the Premises and ends when the continuous accumulation upon the Premises ceases.

Item 9C.

Description of the Work

- The Contractor will attend at the Premises, within 2-4 hours of the first accumulation of 2-4" of snow during a Snowfall, to commence snow Clearing once in accordance with the Drawings and Specifications. If a further accumulation 2" occurs during a Snowfall, the Contractor will return to commence a second pass to again Clear the snow the end of that Snowfall.
- As Additional Work, the Contractor shall attend at the Premises to apply Ice Melting Products to the Premises in accordance with the Drawings and Specifications only on an "On-Call Basis". When the Client wishes Ice Melting Products to be applied at the Premises, the Client will make a request that the Contractor do so by contacting the Contractor at 586.944.0020 and by confirming the request to the Contractor in writing by email at Office@paradisegl.com. The Contractor will attend to apply Ice Melting Products to the Premises once within a reasonable period following the request, having regard to the timing of the request and the volume of work the Contractor is otherwise committed to. The Contractor will be paid for the Additional Work as per the rates set out in this proposal.
- During the entire Term of this Agreement, it is the Client's sole responsibility to engage a reasonable and effective system to monitor the weather in the vicinity of the Premises, to determine when and in what quantities Ice Melting Products are to be applied to the Premises, and to make a request of the Contractor in that regard.
- Notwithstanding anything else in this Agreement, the Contractor will not be responsible for any damages or claims Fixed Price with Ice Melting Product Applications on an On-Call Basis whatsoever relating to or caused in whole or in part by the Contractor's failure to provide Ice Melting Products to the Premises and the Client will indemnify and save the Contractor and its agents and employees harmless from and against any such claims.
- The Client acknowledges that Ice Melting Products, which are not intended to provide traction, are freeze point depressants only, the effectiveness of which will depend on ground temperatures and weather conditions at, and following, the time of their application. The Client further acknowledges that the application of Ice Melting Products will not and cannot result in the immediate or complete removal of ice or snow from the Premises and the Contractor provides no guarantee or warranty that the application of Ice Melting Products will be effective in eliminating ice or snow. The application of Ice Melting Products is towards managing, but not eliminating, the risks associated with snow and ice.
- The Contractor will not be responsible to apply the Ice Melting Products if they are not commercially and reasonably available to the Contractor, at commercially reasonable rates. If the Ice Melting Products are not so available, the Contractor will advise the Client promptly and the Client and Contractor will negotiate the extent to which, upon a request being made, alternative ice melting products will be used (if available) and what other steps might be taken to address the issue.
- Unless the Drawings and Specifications provide otherwise, neither Snow Removal nor Snow Relocation are included as part of the Fixed-Price Work but must be requested by the Client as Extra Work in accordance with the Extra Work paragraph, below. The Contractor will advise the Client if, in the Contractor's opinion, Snow Removal or Snow Relocation should be performed and, should no approval for Extra Work in that regard be provided, the Contractor will not be responsible for losses or damages which might have been prevented had the Snow Removal or Snow Relocation occurred.
- The Contractor will keep and maintain records to document its attendances on site and its application of Ice Melting Products, if performed under this Agreement, and will make those records available to the Client upon reasonable request if the Client pays the reasonable photocopying charges associated with the request.

Extra Work

- It is not intended that the Contractor should perform any work or services not described in or properly inferable from this Agreement. The Client may request that the Contractor perform extra work or services ("Extra Work") by contacting the Contractor at 586.944.0020 and by confirming the request to the Contractor in writing by email at Office@paradisegl.com. The Contractor will not unreasonably withhold its agreement to perform Extra Work. If the Contractor agrees to perform Extra Work, the Contractor will do so within a reasonable period having regard to the timing of the request and the volume of work the Contractor is otherwise committed to. The Contractor will be paid for Extra Work an amount as agreed.

Payment Terms and Conditions

Upon the acceptance of the work, payment of the unpaid balance Contract Price when due together with such Value Added Taxes as may be applicable to such payment.

- Should the Client fail to make payments as they become due under the terms of the Contract or in the event of any claim, interest at twelve percent (12%) per annum above the prime rate on such unpaid amounts shall also become due and payable until payment.
- The act of non-payment creates a lien in favor of the Contractor in any and all equipment and property of the Client in the possession of the Contractor as well as in the Work in progress as at the date of termination. The Contractor shall be at liberty to retain possession of the same pending payment in full.
- Notwithstanding anything contained herein to the contrary, the completion date of the Work shall be deemed to be extended by that number of days equal to any delay in payment to the Contractor Inc.
- The client shall be responsible for a \$45.00 returned check fee, or the highest amount authorized by law, for any checks returned for any reason.
- The client agrees and understands that they will be responsible for all costs of collection, including reasonable attorney fees, should the contractor refer the customer's account to a collection company or attorney for collection.

Acceptance of Proposal: The above prices, specifications and conditions are satisfactory and hereby accepted. Paradise Garden Landscaping is authorized to do the work as specified. Payment will be made as outlined above.

Signature: _____ Date: _____ Signature:  Date: 12.18.2024



27400 Southfield Rd
 Lathrup Village, MI 48076
 (248) 557 - 2600
www.lathrupvillage.org

MEMORANDUM

To: LVDDA Board of Directors
 From: Austin Colson, CED/DDA Director
 Date: December 20, 2024
 RE: Department/Director Report

In an effort to provide consistent updates to the DDA Board of Directors, City Administrator, and City Council the following monthly report is submitted for your review.

Upcoming DDA Events

- Main Street Oakland County: Board of Directors Training: January 8th, 5:30-8:30pm (Location: Pontiac)
- Business Training: Art of Giving Great Service: February 4th, 9am-1pm (Location: Oak Park)
- Succession Planning Training: April (Location: Lathrup Village)
- Business Resources Training: May (Location: Oak Park)
- Morning Business Mixer: July (Location: Southfield)

Past DDA Events

- Family Winter Fest: December 6th, 6-8:00pm (Location: City Hall)
- Holiday Business Mixer: December 4th, 4 – 6:00pm (Location: Oak Park)
- Light Up Michigan First: November 25th, 5:30-8:00pm (Location: Lathrup Village)
- Southfield and Lathrup Village Veterans Day Ceremony: November 8th, 11am (Location: Southfield)
- MSOC AI for Small Businesses Workshop: October 22nd, 8:30am – 11:00am (Location: Waterford)
- Oakland County Community Showcase: October 18th, 7:30 – 10:00am (Location: Novi)



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(248) 557 - 2600
www.lathrupvillage.org

Business/Property Updates

- 27601 Southfield Road (Rita's Ice) – Installation of awning.
- 27800 Southfield Road – Roof replacement.

Infrastructure

- The installation of additional power supply for the three High-Intensity Activated Crosswalk (HAWK) signals is ongoing.

Miscellaneous

- The inaugural Lathrup Village Winter Festival was a success, drawing approximately 75 attendees and fostering a sense of community and seasonal celebration.
- The Main Street Oakland County Board of Directors Training, held on January 8, 2025, from 5:30 PM to 8:30 PM in Pontiac, aims to build strong, effective, and sustainable DDA and Downtown Boards. Participants will learn about downtown management, board roles and responsibilities, governance, and best practices for organizational success. This training is designed for DDA/Main Street board members, local officials, and staff to enhance their effectiveness and support thriving downtowns.
- Organizing and planning for the 3rd Annual Lathrup Village Music festival has commenced for the September 13, 2025, event.
 - In case of rain the make-up date will be September 14, 2025.