



# PLANNING BOARD MEETING

Lansing Town Hall Board Room  
Monday, April 22, 2024  
6:30 PM

---

## AGENDA

SUBJECT TO CHANGE

Meeting is open to the public and streamed live on YouTube.

### VIEW THE MEETING LIVE - TOWN OF LANSING YOUTUBE CHANNEL

To find our YouTube Channel - Go to [www.lansingtown.com](http://www.lansingtown.com), click on the “YouTube” Icon (red square) located on the bottom left corner of our Home Page.

#### 1. Call Meeting to Order

#### 2. Roll Call

#### 3. Action Items

a. Project: Site Plan Review – DMF Mechanical new storage barn

Applicant: Dan Topoleski

Location: 390 Peruville Road, Tax Parcel Number 30.-1-28.213

Project Description: The applicant proposes to build/ install a new 30’ x 56’ pole barn to be used for dry storage. This property is in the AG zone

SEQR: This is a Type II action under SEQR 617.4 environmental review, no further review required

Anticipated Action: Public Hearing, final approval/conditions

b. Project: Site Plan Review – MPK- Wildlife Resolutions new storage barn

Applicant: Kerry Moore

Location: 35 Town Barn Road, Tax Parcel Number 30.-1-23

Project Description: The applicant proposes to build/ install a new 200’ x 32’ pole barn to be used for dry storage. This property is in the IR zone

SEQR: This is an Unlisted action under SEQR 617.4 environmental review, requiring board to complete SEAF pt. 2

Anticipated Action: Public Hearing, SEQR determination, final approval/ conditions

c. Project: Review of Minor Subdivision

Applicant: Michael & Carrie Koplinka – Loher

Location: 118 Ross Road, Tax Parcel Number 23.-1-20

Project Description: The applicant is applying for a minor subdivision to create three parcels, “Parcel A” (1.13 acres), “Parcel B” (1.25 acres) and “Parcel C” (1.35 acres) from 47.2-acre parent lot at 118 Ross Road. This property is in both L1 and RA zoning.

SEQR: This is an Unlisted action under SEQR 617.4 environmental review, requiring further review of project.

Anticipated Action: public hearing, SEQR determination, final approval / conditions

d. Project: Sketch Plan Review – East Lake Cottages

Applicant: Larry Fabbroni

Location: 1950 East Shore Drive, Tax Parcel Number 37.1-1-9.2

Project Description: The applicant wishes to receive some feedback regarding the development of 1950 East Shore Drive. The applicant proposes to create a 12-cottage rental community including community center to host “farmers market and catered events”. Community pickleball courts are also being proposed. This project is located in B2 zoning with a small portion (S.W corner of parcel) in R2 zoning.

SEQR: This is an Unlisted action under SEQR 617.4 environmental review, requiring further review of project.

Anticipated Action: sketch plan review of project, initial SEQR discussion

#### **4. Adjourn Meeting**

In accordance with the Americans with Disabilities Act, persons who need accommodation to attend or participate in this meeting should contact the Town Clerk’s Office at 607-533-4142. Request should be made 72 hours prior to the meeting.



# Department of Planning & Sustainability

COMMISSIONER  
Katherine Borgella

Section 3, Item a.

DEPUTY COMMISSIONER  
M. Megan McDonald

121 E. Court St, Ithaca, N.Y. 14850 | Phone: (607) 274-5560 | [tompskinscountyny.gov/planning](http://tompskinscountyny.gov/planning)

March 5, 2024

Mason Molesso, Town Planner  
Town of Lansing  
29 Auburn Road  
Lansing, NY 14882

**Re: Review Pursuant to §239 -l, -m and -n of New York State General Municipal Law**

**Proposed Action: Site Plan for proposed Storage Shed located at 390 Peruville Road, Tax Parcel #30.-1-28.213, Dan Topoleski, Owner and Applicant.**

Dear Mr. Molesso:

This letter acknowledges your referral of the proposed action identified above for review by the Tompkins County Department of Planning and Sustainability pursuant to §239 -l, -m and -n of the New York State General Municipal Law.

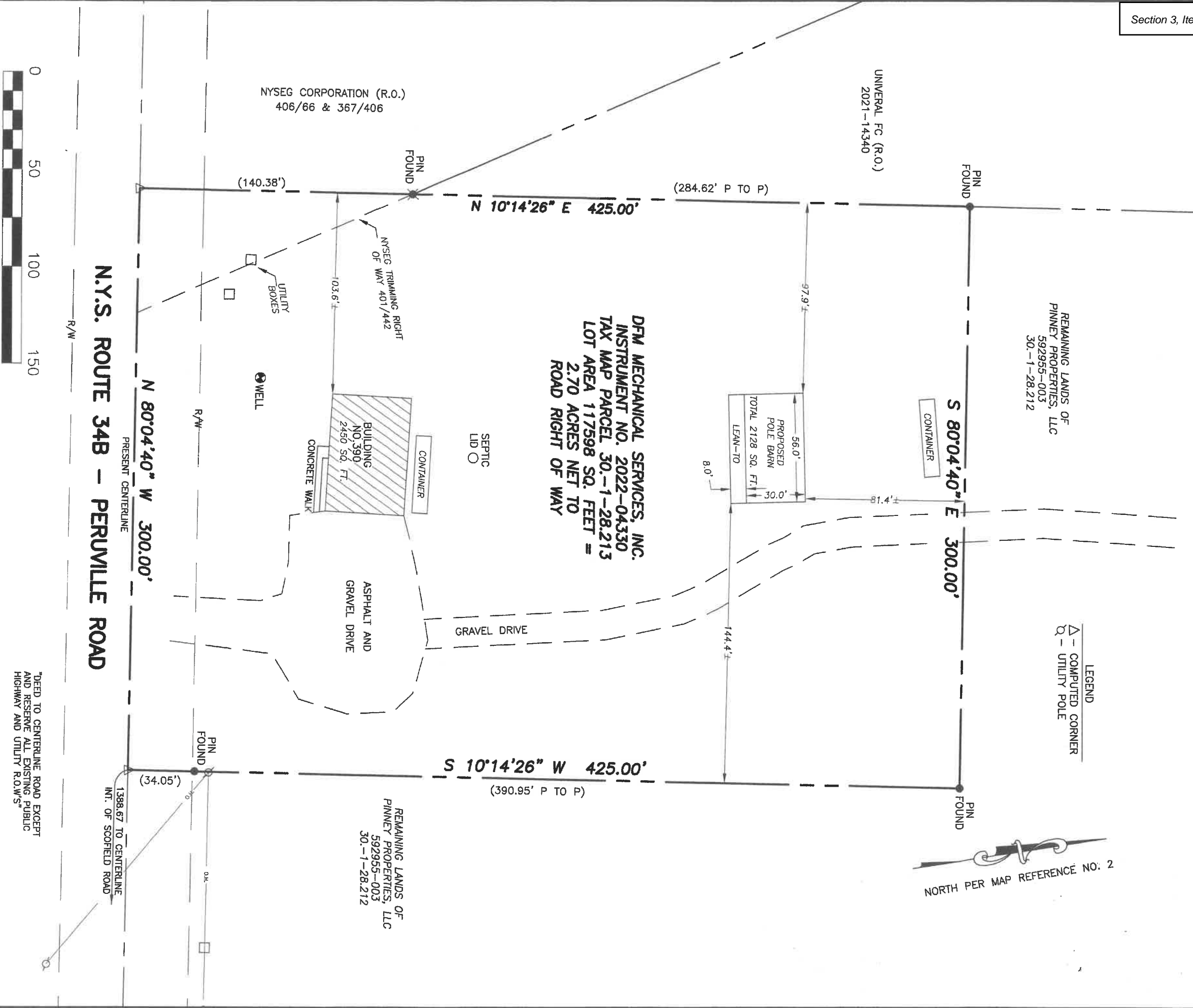
We have determined the proposed action will have no significant county-wide or inter-community impact.

We look forward to receiving notification on the final action taken by your municipality within 30 days of decision, as required by State law.

Sincerely,

A handwritten signature in black ink, appearing to read "Katherine Borgella".

Katherine Borgella, AICP  
Commissioner of Planning and Sustainability



"DEED TO CENTERLINE ROAD EXCEPT AND RESERVE ALL EXISTING PUBLIC HIGHWAY AND UTILITY R.O.W.S."

- REFERENCE MAPS ENTITLED
- 1.) "RESURVEY MAP LANDS OF CHRISTOPHER MUKA..." DATED 9/3/2013 BY MICHAEL J. REAGAN
  - 2.) "SURVEY MAP SHOWING LANDS OF PINNEY PROPERTIES, LLC..." DATED 2/12/2015 BY SHEIVE LAND SURVEYING

**SHEIVE LAND SURVEYING**  
165 WOOD ROAD  
FREEVILLE, NY 13068  
607-347-9800

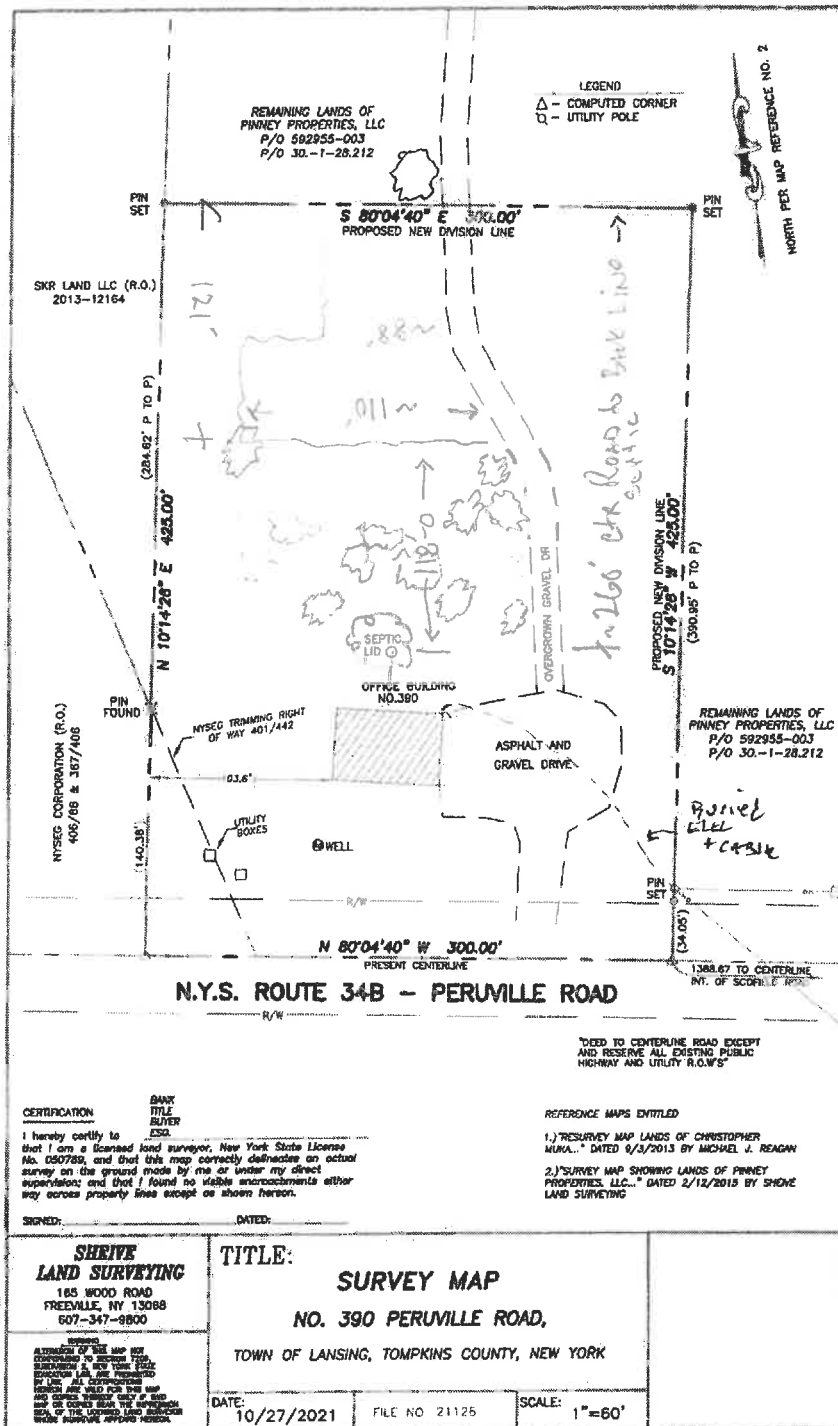
**WARNING**  
ALTERNATION OF THIS MAP NOT CONSIDERED TO SECTION 7209, ENDOUSEMENT IN NEW YORK STATE BY LAW. ALL CERTIFICATIONS HEREON ARE VALID FOR THIS MAP AND COPIES THEREOF ONLY IF SAID MAP OR COPIES BEAR THE IMPRESSION SEAL OF THE LICENSED LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.

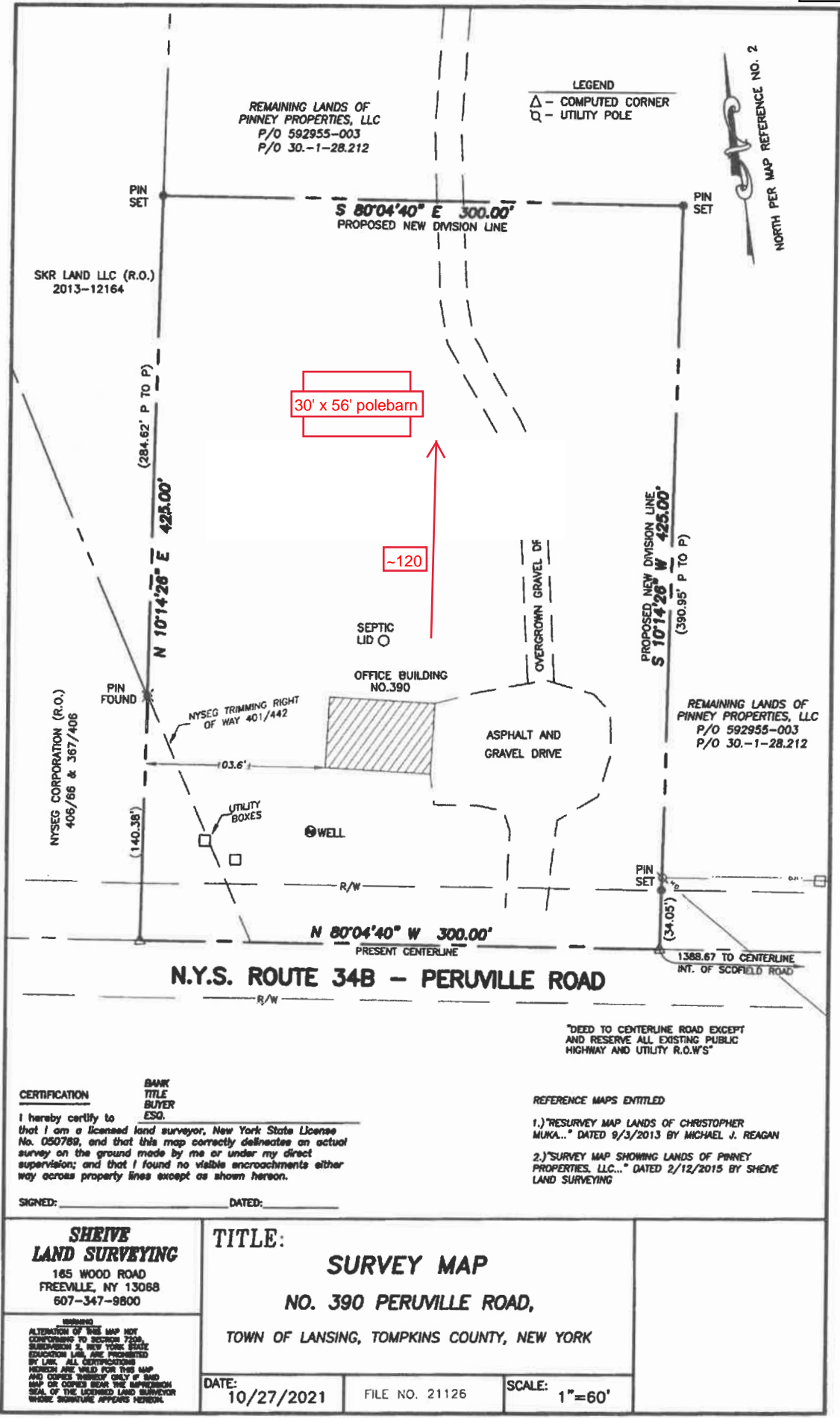
**TITLE:**  
**SITE PLAN**  
**NO. 390 PERUVILLE ROAD,**  
**TOWN OF LANSING, TOMPKINS COUNTY, NEW YORK**

**DATE:** 02/05/2024  
**FILE NO.** 24008  
**SCALE:** 1"=50'

REVISED







**CERTIFICATION**

I hereby certify to that I am a licensed land surveyor, New York State License No. 050769, and that this map correctly delineates an actual survey on the ground made by me or under my direct supervision; and that I found no visible encroachments either way across property lines except as shown hereon.

SIGNED: \_\_\_\_\_ DATED: \_\_\_\_\_

BANK  
TITLE  
BUYER  
ESQ.

**REFERENCE MAPS ENTITLED**

- 1.) "RESURVEY MAP LANDS OF CHRISTOPHER MUKA..." DATED 9/3/2013 BY MICHAEL J. REAGAN
- 2.) "SURVEY MAP SHOWING LANDS OF PINNEY PROPERTIES, LLC..." DATED 2/12/2015 BY SHEVE LAND SURVEYING

<p align="center"><b>SHEVE LAND SURVEYING</b></p> <p align="center">165 WOOD ROAD FREEVILLE, NY 13068 607-347-9800</p>	<p><b>TITLE:</b></p> <p align="center"><b>SURVEY MAP NO. 390 PERUVILLE ROAD, TOWN OF LANSING, TOMPKINS COUNTY, NEW YORK</b></p>	
<p><small>ALTERNATION OF THIS MAP NOT CONFORMING TO SECTION 7209, SUBSECTION 2, NEW YORK STATE EDUCATION LAW, ARE PROHIBITED BY LAW. ALL ENCROACHMENTS HEREON ARE WELD FOR THIS MAP AND COPIES HEREOF ONLY IF THIS MAP OR COPIES BEAR THE SURVEYOR SEAL OF THE LICENSED LAND SURVEYOR WHOSE SIGNATURE APPEARS HEREON.</small></p>	<p><b>DATE:</b> 10/27/2021</p> <p><b>FILE NO.:</b> 21126</p> <p><b>SCALE:</b> 1"=60'</p>	

**AGRICULTURAL DATA STATEMENT**

Section 3, Item a.

Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance, or subdivision approval requiring municipal review and approval that would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

A. Name of applicant: DFM Mechanical Services, Inc.  
Mailing address: 390 Peruville Rd.  
Freeville, NY 13068

B. Description of the proposed project: Build of a storage barn

C. Project site address: 390 Peruville Rd Town: Lansing

D. Project site tax map number: 30.-1-28.213

E: The project is located on property:  
 within an Agricultural District containing a farm operation, or  
 with boundaries within 500 feet of a farm operation located in an Agricultural District.

F. Number of acres affected by project: .03

G. Is any portion of the project site currently being farmed?  
 Yes. If yes, how many acres \_\_\_\_\_ or square feet \_\_\_\_\_ ?  
 No.

H. Name and address of any owner of land containing farm operations within the Agricultural District and is located within 500 feet of the boundary of the property upon which the project is proposed.

N/A

I. Attach a copy of the current tax map showing the site of the proposed project relative to the location of farm operations identified in Item H above.

~~~~~  
**FARM NOTE**

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

Jennifer Suwara, office manager  
Name and Title of Person Completing Form

1-24-24  
Date

**Notes:**

30x50x14 garage.

Stone base: (owner does this.)

Drill 18" holes for posts, 42" below grade, set 3-ply 2x6 laminated posts, installed every 8' on centers, sitting on 6" thick precast concrete discs for footers. Back fill post holes with gravel, (recommended, and required when building is concreted within one year, owner supplies gravel)

Install 2x4 purlins every 24" on centers on sides and roof, double 2x12 headers installed, inside one notched into posts

Install pre-engineered roof trusses, 4/12 pitch, 48" on centers, and 12" overhangs on eave and gables. All required bracing installed.

White vinyl soffits and metal fascias installed on all overhangs. House wrap vapor barrier on sides before metal panels.

Panels fastened with 1.5" metal fasteners on roof.

All trims, dripedges, corners, vented ridge caps, ect, for metal Roofing installed.

Everlast lynx (40yr) Metal roof, sides, and fascia. Color to be determined.

1-36" 9-lite insulated entry door and 1-12x12 overhead door with windows installed.

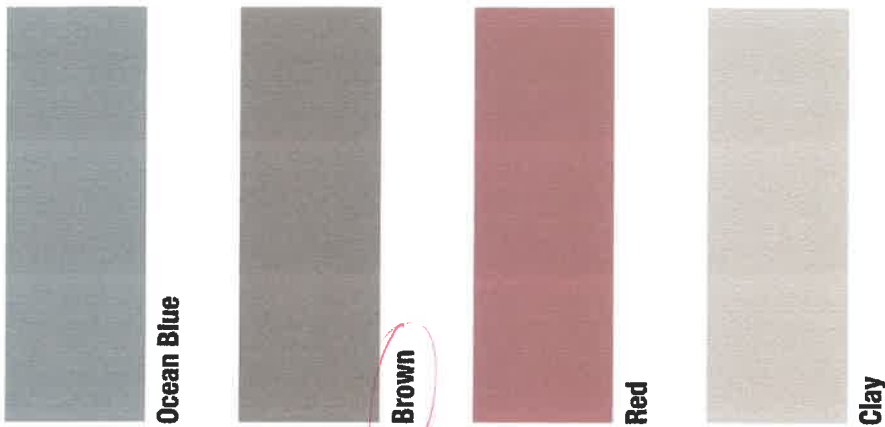
Complete clean-up and disposal of all debris.

Price does not include for any required permits.

Price does not include interior work.

Site is to be levelled and graded and stone base installed prior to starting construction, (owner does grading)





*Roof*



**MIDLAKES**  
SALES LLC.

-METAL—LUMBER—HARDWARE-

6500 Log City Rd--Ovid, NY 14521 - 607-869-9483

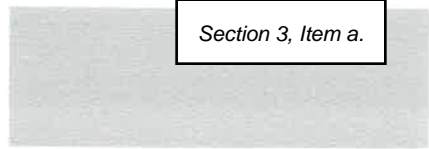


Using the highest Quality Steel coupled with the best coating technology Midlakes offers unbeatable performance and beauty, backed by a 40 year transferable limited warranty.

Colors may vary slightly from actual metal panels. Actual samples are available by request.

**CERAM-A-STAR®**

CERAM-A-STAR® is a registered trademark of AkzoNobel



Slate

Bright White



Burgundy



Charcoal



Ash Gray



Black



Bronze



Tan

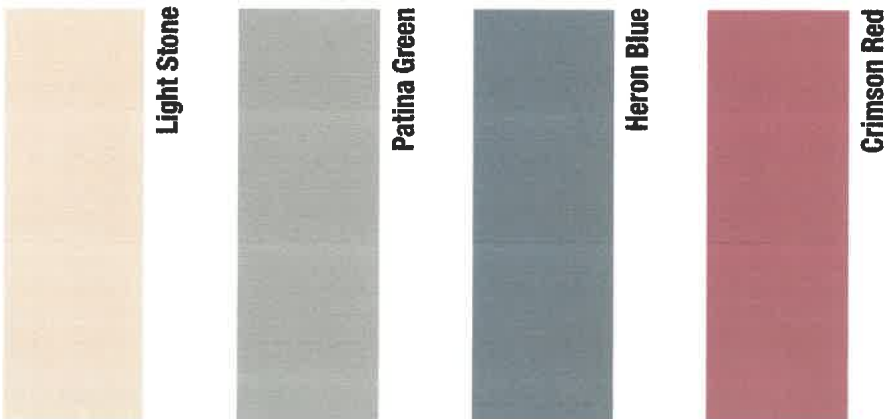
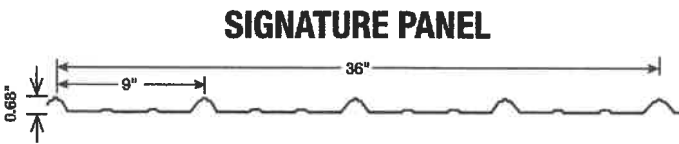


Beige

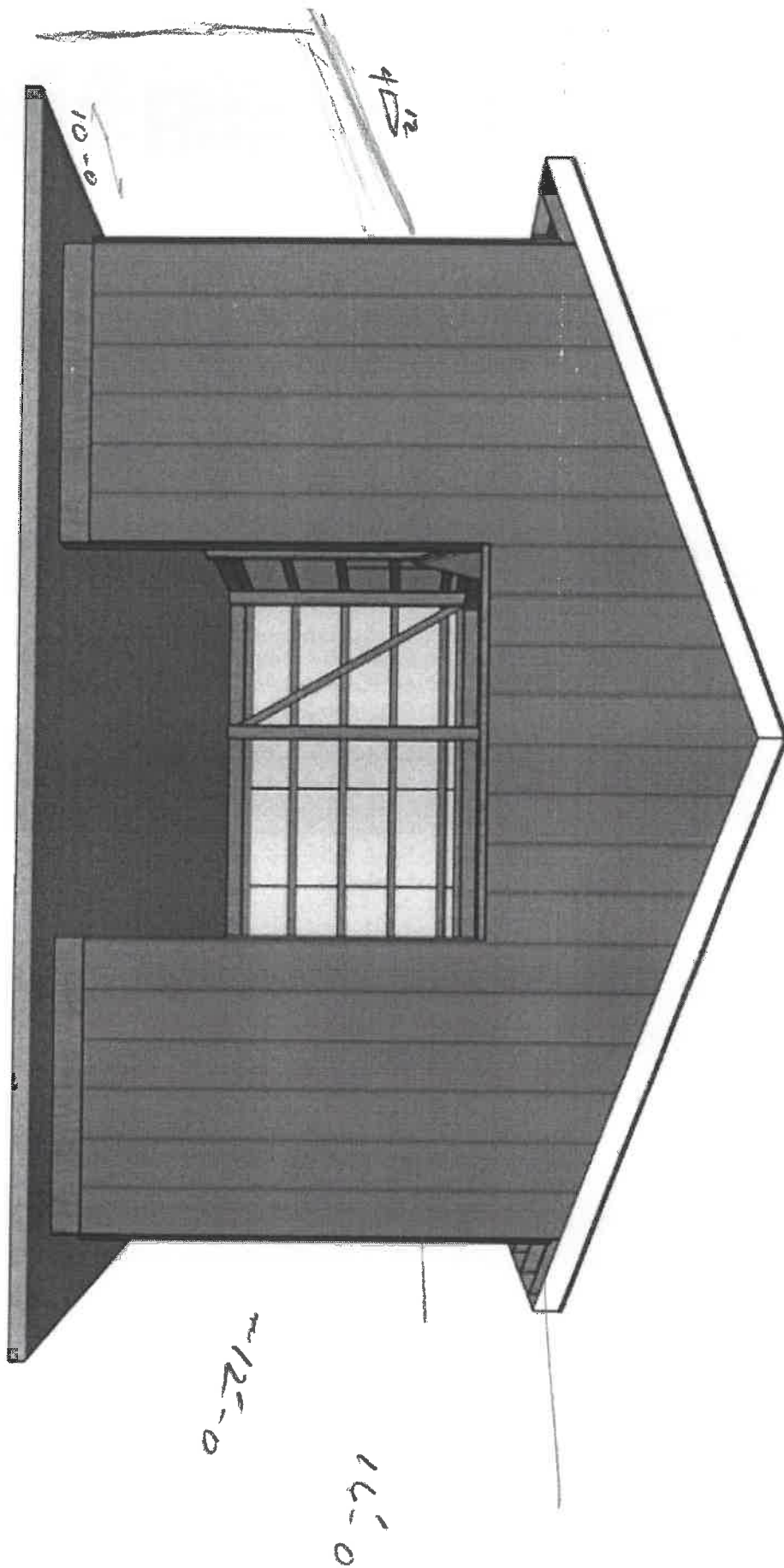


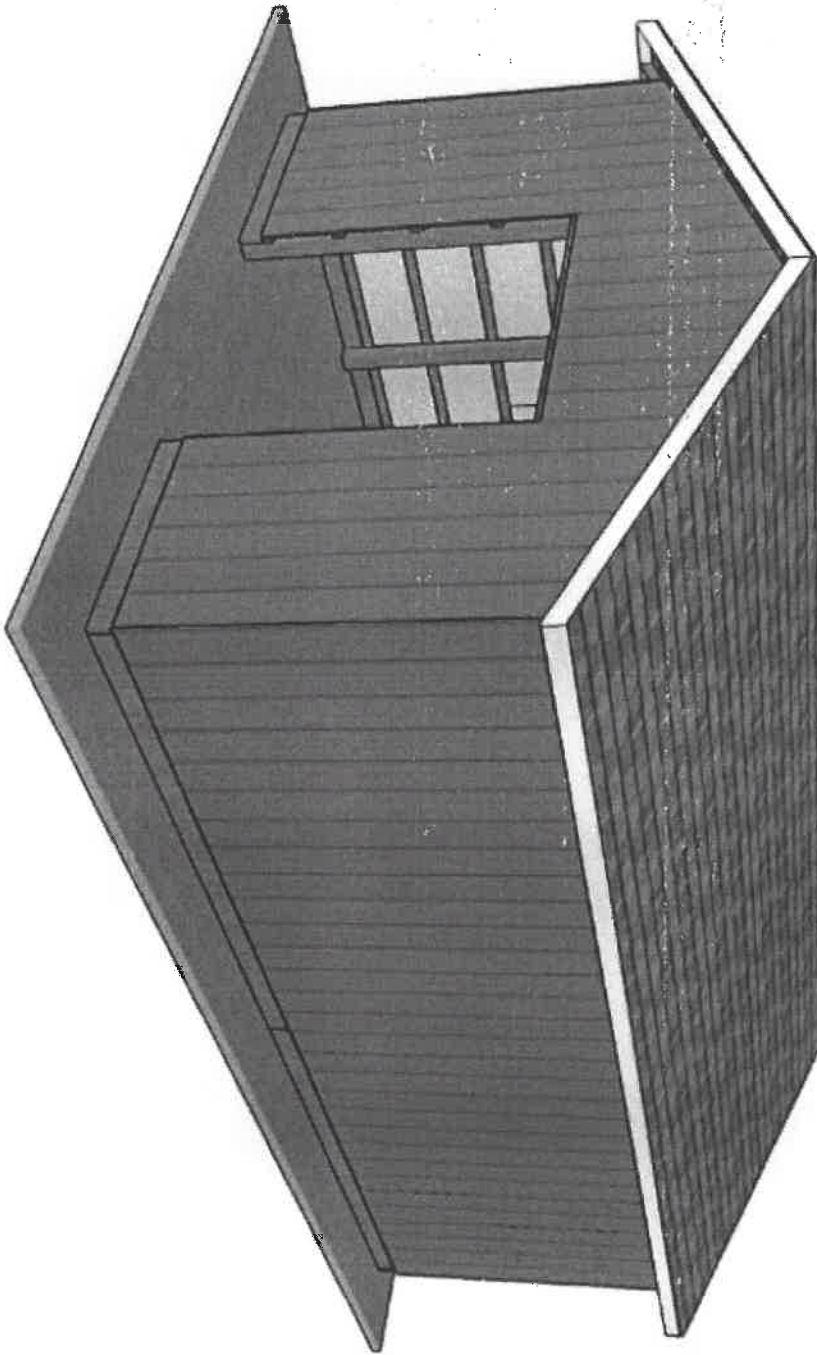
Ivy

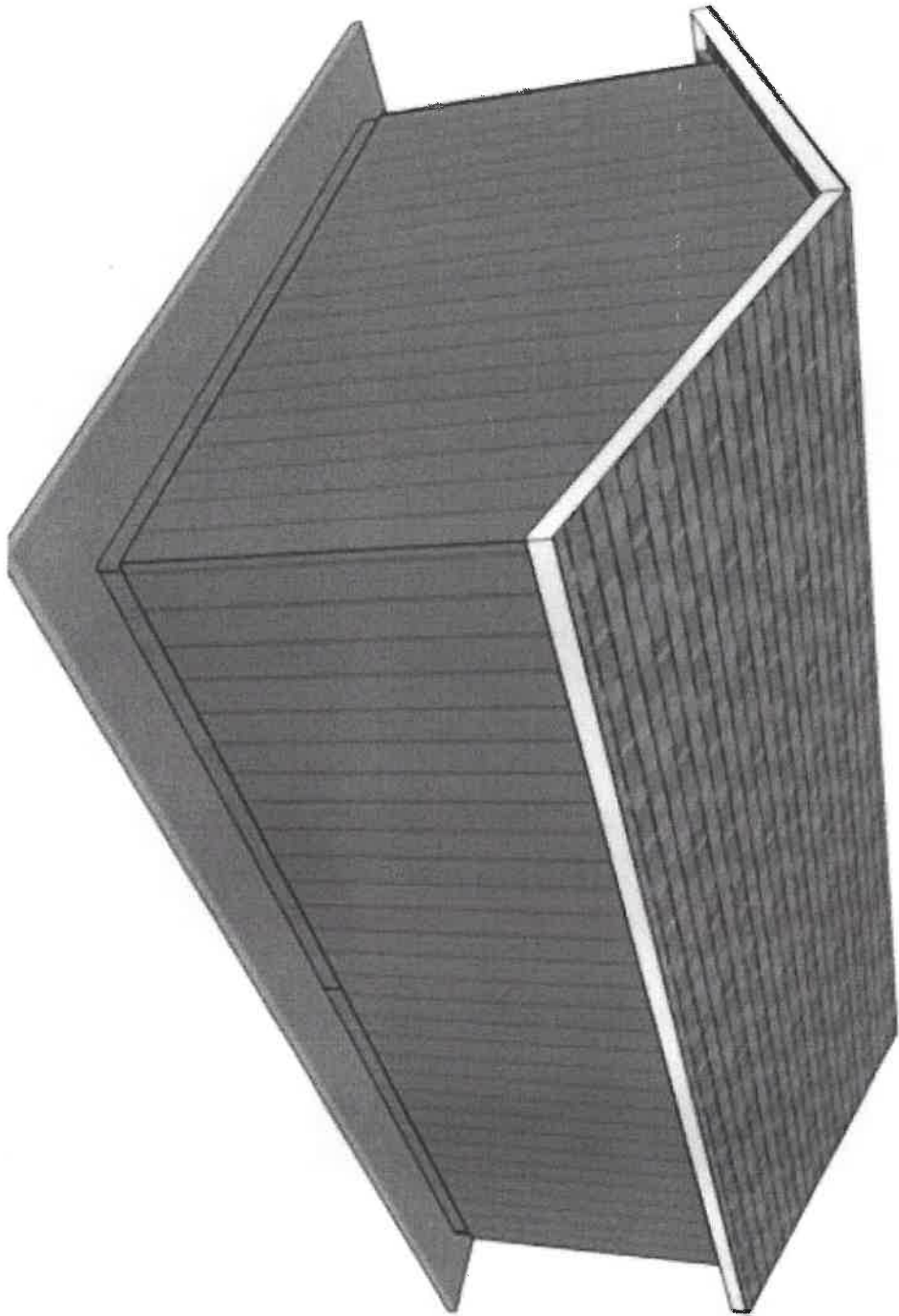
*Beige*

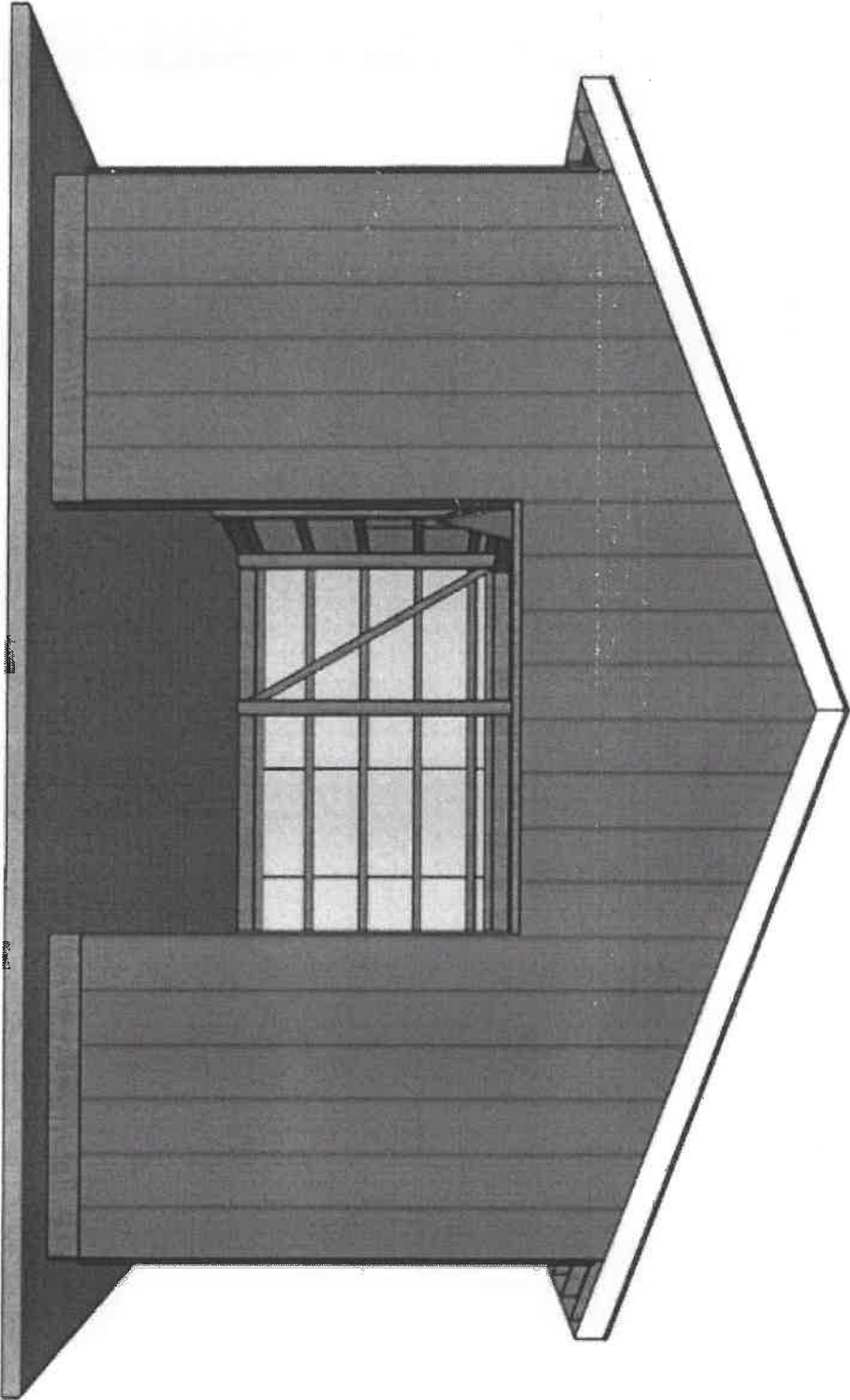












# Short Environmental Assessment Form

## Part 1 - Project Information

### Instructions for Completing

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

| <b>Part 1 – Project and Sponsor Information</b>                                                                                                                                                                                                                                                                                                      |  |                                 |                                 |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------------------------------|---------------------------------|
| DFM Mechanical Services, Inc. 390 Peruville Rd., Freeville, NY 13068 607-533-0284                                                                                                                                                                                                                                                                    |  |                                 |                                 |
| Name of Action or Project:<br>Storage Barn                                                                                                                                                                                                                                                                                                           |  |                                 |                                 |
| Project Location (describe, and attach a location map):<br>vacant land behind office building                                                                                                                                                                                                                                                        |  |                                 |                                 |
| Brief Description of Proposed Action:<br>Build of a Pole Barn on open land                                                                                                                                                                                                                                                                           |  |                                 |                                 |
| Name of Applicant or Sponsor:<br>Daniel Topoleski                                                                                                                                                                                                                                                                                                    |  | Telephone: 607-533-0284         |                                 |
|                                                                                                                                                                                                                                                                                                                                                      |  | E-Mail: dfmmechanical@gmail.com |                                 |
| Address:<br>390 Peruville Rd                                                                                                                                                                                                                                                                                                                         |  |                                 |                                 |
| City/PO:<br>Freeville                                                                                                                                                                                                                                                                                                                                |  | State:<br>New York              | Zip Code:<br>13068              |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?<br>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. |  |                                 | NO<br><input type="checkbox"/>  |
|                                                                                                                                                                                                                                                                                                                                                      |  |                                 | YES<br><input type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency?<br>If Yes, list agency(s) name and permit or approval: Town of Lansing                                                                                                                                                                           |  |                                 | NO<br><input type="checkbox"/>  |
|                                                                                                                                                                                                                                                                                                                                                      |  |                                 | YES<br><input type="checkbox"/> |
| 3. a. Total acreage of the site of the proposed action?                                                                                                                                                                                                                                                                                              |  | _____ .03 acres                 |                                 |
| b. Total acreage to be physically disturbed?                                                                                                                                                                                                                                                                                                         |  | _____ .04 acres                 |                                 |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?                                                                                                                                                                                                                               |  | _____ 3 acres                   |                                 |
| 4. Check all land uses that occur on, are adjoining or near the proposed action:                                                                                                                                                                                                                                                                     |  |                                 |                                 |
| 5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input checked="" type="checkbox"/> Commercial <input type="checkbox"/> Residential (suburban)                                                                                                                     |  |                                 |                                 |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):                                                                                                                                                                                                       |  |                                 |                                 |
| <input type="checkbox"/> Parkland                                                                                                                                                                                                                                                                                                                    |  |                                 |                                 |

|                                                                                                                                                                                                                                                                                                                                                                                      |                                     | Section 3, Item a.                  |                                     |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|-------------------------------------|
| 5. Is the proposed action,                                                                                                                                                                                                                                                                                                                                                           | NO                                  |                                     |                                     |
|                                                                                                                                                                                                                                                                                                                                                                                      |                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| a. A permitted use under the zoning regulations?                                                                                                                                                                                                                                                                                                                                     | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| b. Consistent with the adopted comprehensive plan?                                                                                                                                                                                                                                                                                                                                   | <input type="checkbox"/>            | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?                                                                                                                                                                                                                                                                      | NO                                  | YES                                 |                                     |
|                                                                                                                                                                                                                                                                                                                                                                                      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |                                     |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?                                                                                                                                                                                                                                                                     | NO                                  | YES                                 |                                     |
| If Yes, identify: _____                                                                                                                                                                                                                                                                                                                                                              | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels?                                                                                                                                                                                                                                                                                     | NO                                  | YES                                 |                                     |
|                                                                                                                                                                                                                                                                                                                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| b. Are public transportation services available at or near the site of the proposed action?                                                                                                                                                                                                                                                                                          | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?                                                                                                                                                                                                                                                                         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| 9. Does the proposed action meet or exceed the state energy code requirements?                                                                                                                                                                                                                                                                                                       | NO                                  | YES                                 |                                     |
| If the proposed action will exceed requirements, describe design features and technologies:<br>_____<br>_____                                                                                                                                                                                                                                                                        | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| 10. Will the proposed action connect to an existing public/private water supply?                                                                                                                                                                                                                                                                                                     | NO                                  | YES                                 |                                     |
| If No, describe method for providing potable water: _____<br>_____                                                                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| 11. Will the proposed action connect to existing wastewater utilities?                                                                                                                                                                                                                                                                                                               | NO                                  | YES                                 |                                     |
| If No, describe method for providing wastewater treatment: _____<br>_____                                                                                                                                                                                                                                                                                                            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places? | NO                                  | YES                                 |                                     |
|                                                                                                                                                                                                                                                                                                                                                                                      | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?                                                                                                                                                                  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?                                                                                                                                                                                             | NO                                  | YES                                 |                                     |
|                                                                                                                                                                                                                                                                                                                                                                                      | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |                                     |
| b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?                                                                                                                                                                                                                                                                                  | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                                     |
| If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____<br>_____<br>_____                                                                                                                                                                                                                                                                 |                                     |                                     |                                     |

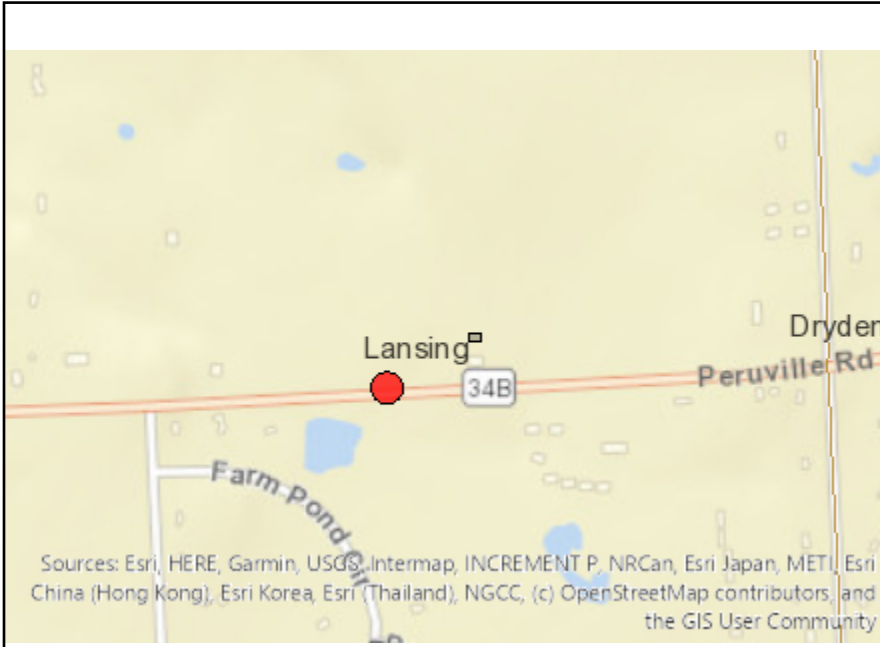


|                                                                                                                                                                                                                                                                                                                                                                                                                                            |                                                                                                                      |                                                                                                            |
|--------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|
| <p>14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:</p> <p><input type="checkbox"/> Shoreline   <input type="checkbox"/> Forest   <input checked="" type="checkbox"/> Agricultural/grasslands   <input type="checkbox"/> Early mid-successional</p> <p><input type="checkbox"/> Wetland   <input type="checkbox"/> Urban   <input type="checkbox"/> Suburban</p> |                                                                                                                      |                                                                                                            |
| <p>15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?</p>                                                                                                                                                                                                                                                              | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                 | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |
| <p>16. Is the project site located in the 100-year flood plan?</p>                                                                                                                                                                                                                                                                                                                                                                         | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                 | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |
| <p>17. Will the proposed action create storm water discharge, either from point or non-point sources?</p> <p>If Yes,</p> <p style="padding-left: 40px;">a. Will storm water discharges flow to adjacent properties?</p> <p style="padding-left: 40px;">b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?</p> <p>If Yes, briefly describe:</p> <p>_____</p> <p>_____</p>              | <p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> | <p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> |
| <p>18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?</p> <p>If Yes, explain the purpose and size of the impoundment: _____</p> <p>_____</p>                                                                                                                                                                  | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                 | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |
| <p>19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?</p> <p>If Yes, describe: _____</p> <p>_____</p>                                                                                                                                                                                                                                              | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                 | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |
| <p>20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?</p> <p>If Yes, describe: _____</p> <p>_____</p>                                                                                                                                                                                                                                            | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                 | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |

**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: Daniel Topoleski, DFM Mechanical Services, Inc. Date: 1-24-24

Signature: *Daniel Topoleski* Title: President



**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.



|                                                                                               |                                                                                                                                   |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| Part 1 / Question 7 [Critical Environmental Area]                                             | No                                                                                                                                |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No                                                                                                                                |
| Part 1 / Question 12b [Archeological Sites]                                                   | No                                                                                                                                |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]                               | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal]                                        | No                                                                                                                                |
| Part 1 / Question 16 [100 Year Flood Plain]                                                   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| Part 1 / Question 20 [Remediation Site]                                                       | No                                                                                                                                |



**Department of  
Planning &  
Sustainability**

**COMMISSIONER**  
Katherine Borgella

Section 3, Item b.

**DEPUTY COMMISSIONER**  
M. Megan McDonald

121 E. Court St, Ithaca, N.Y. 14850 | Phone: (607) 274-5560 | [tompskinscountyny.gov/planning](http://tompskinscountyny.gov/planning)

March 19, 2024

Mason Molesso, Town Planner  
Town of Lansing  
29 Auburn Road  
Lansing, NY 14882

**Re: Review Pursuant to §239 -l, -m and -n of New York State General Municipal Law**

**Proposed Action: Site Plan for proposed storage building located at 35 Town Barn Road, Tax Parcel #30.-1-23, John Hatfield, Owner; Kerry Moore, Applicant.**

Dear Mr. Molesso:

This letter acknowledges your referral of the proposed action identified above for review by the Tompkins County Department of Planning and Sustainability pursuant to §239 -l, -m and -n of the New York State General Municipal Law.

We have determined the proposed action will have no significant county-wide or inter-community impact.

We look forward to receiving notification on the final action taken by your municipality within 30 days of decision, as required by State law.

Sincerely,

A handwritten signature in black ink, appearing to read "Katherine Borgella".

Katherine Borgella, AICP  
Commissioner of Planning and Sustainability

## Short Environmental Assessment Form

### Part 1 - Project Information

**Instructions for Completing**

**Part 1 – Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

|                                                                                                                                                                                                                                                                                                                                                      |              |                                                        |                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------|--------------------------------------------------------|--------------------------------------------|
| <b>Part 1 – Project and Sponsor Information</b>                                                                                                                                                                                                                                                                                                      |              |                                                        |                                            |
| Name of Action or Project:<br>Wildlife Resolutions Storage Buidling                                                                                                                                                                                                                                                                                  |              |                                                        |                                            |
| Project Location (describe, and attach a location map):<br>35 Town Barn Road, Lansing, NY                                                                                                                                                                                                                                                            |              |                                                        |                                            |
| Brief Description of Proposed Action:<br>Constructon of a 32'x200' 3-Sided Storage Barn on the property located at 35 Town Barn Road in Lansing, NY.                                                                                                                                                                                                 |              |                                                        |                                            |
| Name of Applicant or Sponsor:<br>John Hatfield                                                                                                                                                                                                                                                                                                       |              | Telephone:<br><br>E-Mail: john@wildliferesolutions.com |                                            |
| Address:<br>757 Warren Road (Unit 4465)                                                                                                                                                                                                                                                                                                              |              |                                                        |                                            |
| City/PO:<br>Ithaca                                                                                                                                                                                                                                                                                                                                   | State:<br>NY | Zip Code:<br>14852                                     |                                            |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?<br>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. |              | NO<br><input type="checkbox"/>                         | YES<br><input checked="" type="checkbox"/> |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency?<br>If Yes, list agency(s) name and permit or approval:                                                                                                                                                                                           |              | NO<br><input checked="" type="checkbox"/>              | YES<br><input type="checkbox"/>            |
| 3. a. Total acreage of the site of the proposed action?                                                                                                                                                                                                                                                                                              |              | 7.43 acres                                             |                                            |
| b. Total acreage to be physically disturbed?                                                                                                                                                                                                                                                                                                         |              | 0.56 acres                                             |                                            |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?                                                                                                                                                                                                                               |              | 8.0 acres                                              |                                            |
| 4. Check all land uses that occur on, are adjoining or near the proposed action:                                                                                                                                                                                                                                                                     |              |                                                        |                                            |
| 5. <input type="checkbox"/> Urban <input checked="" type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)                                                                                                                     |              |                                                        |                                            |
| <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):                                                                                                                                                                                            |              |                                                        |                                            |
| <input type="checkbox"/> Parkland                                                                                                                                                                                                                                                                                                                    |              |                                                        |                                            |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                        |                                                                                                                                            |                                                                                                            |                                                                            |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------------------------------------------------------------------------------------------------|------------------------------------------------------------------------------------------------------------|----------------------------------------------------------------------------|
| <p>5. Is the proposed action,</p> <p>a. A permitted use under the zoning regulations?</p> <p>b. Consistent with the adopted comprehensive plan?</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                    | <p>NO</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p>                                                                  | <p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>           | <p>N/A</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> |
| <p>6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <p>NO</p> <p><input type="checkbox"/></p>                                                                                                  | <p>YES</p> <p><input checked="" type="checkbox"/></p>                                                      |                                                                            |
| <p>7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?</p> <p>If Yes, identify: _____</p>                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                                       | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |                                                                            |
| <p>8. a. Will the proposed action result in a substantial increase in traffic above present levels?</p> <p>b. Are public transportation services available at or near the site of the proposed action?</p> <p>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?</p>                                                                                                                                                                                                                                                                                         | <p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> <p><input checked="" type="checkbox"/></p> | <p>YES</p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> <p><input type="checkbox"/></p> |                                                                            |
| <p>9. Does the proposed action meet or exceed the state energy code requirements?</p> <p>If the proposed action will exceed requirements, describe design features and technologies:</p> <p>Building to be constructed within compliance of the NYS Building Code. No utility connections are warranted for the building as it will be used for equipment storage.</p> <p>_____</p>                                                                                                                                                                                                                                    | <p>NO</p> <p><input type="checkbox"/></p>                                                                                                  | <p>YES</p> <p><input checked="" type="checkbox"/></p>                                                      |                                                                            |
| <p>10. Will the proposed action connect to an existing public/private water supply?</p> <p>If No, describe method for providing potable water: _____</p> <p>No utilities required for storage only facility</p> <p>_____</p>                                                                                                                                                                                                                                                                                                                                                                                           | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                                       | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |                                                                            |
| <p>11. Will the proposed action connect to existing wastewater utilities?</p> <p>If No, describe method for providing wastewater treatment: _____</p> <p>No utilities required for storage only facility</p> <p>_____</p>                                                                                                                                                                                                                                                                                                                                                                                              | <p>NO</p> <p><input checked="" type="checkbox"/></p>                                                                                       | <p>YES</p> <p><input type="checkbox"/></p>                                                                 |                                                                            |
| <p>12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?</p> <p>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?</p> | <p>NO</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>                                                       | <p>YES</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>                      |                                                                            |
| <p>13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?</p> <p>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?</p> <p>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____</p> <p>_____</p> <p>_____</p>                                                                                                                                                                         | <p>NO</p> <p><input type="checkbox"/></p> <p><input checked="" type="checkbox"/></p>                                                       | <p>YES</p> <p><input checked="" type="checkbox"/></p> <p><input type="checkbox"/></p>                      |                                                                            |

|                                                                                                                                                                                                                                                                                     |                                     |                                     |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|
| 14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:                                                                                                                                                          |                                     |                                     |
| <input type="checkbox"/> Shoreline <input type="checkbox"/> Forest <input checked="" type="checkbox"/> Agricultural/grasslands <input type="checkbox"/> Early mid-successional<br><input type="checkbox"/> Wetland <input type="checkbox"/> Urban <input type="checkbox"/> Suburban |                                     |                                     |
| 15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?                                                                                                              | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 16. Is the project site located in the 100-year flood plan?                                                                                                                                                                                                                         | NO                                  | YES                                 |
|                                                                                                                                                                                                                                                                                     | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 17. Will the proposed action create storm water discharge, either from point or non-point sources?                                                                                                                                                                                  | NO                                  | YES                                 |
| If Yes,                                                                                                                                                                                                                                                                             | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| a. Will storm water discharges flow to adjacent properties?                                                                                                                                                                                                                         | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?                                                                                                                                                                             | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |
| If Yes, briefly describe:                                                                                                                                                                                                                                                           |                                     |                                     |
| Drainage to existing conveyance systems on-site through series of swales following existing ditches along Town Barn Rd.                                                                                                                                                             |                                     |                                     |
| 18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?                                                                                                     | NO                                  | YES                                 |
| If Yes, explain the purpose and size of the impoundment:                                                                                                                                                                                                                            | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?                                                                                                                                          | NO                                  | YES                                 |
| If Yes, describe:                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| 20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?                                                                                                                                        | NO                                  | YES                                 |
| If Yes, describe:                                                                                                                                                                                                                                                                   | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |
| <b>I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE</b><br>Applicant/sponsor/name: <u>John B. Hatfield</u> Date: <u>02/26/2024</u><br>Signature: <u>[Signature]</u> Title: <u>Owner &amp; President (Wildlife Resolutions)</u>        |                                     |                                     |

# EAF Mapper Summary Report

Tuesday, February 27, 2024 9:31 PM

**Disclaimer:** The EAF Mapper is a screening tool intended to assist project sponsors and reviewing agencies in preparing an environmental assessment form (EAF). Not all questions asked in the EAF are answered by the EAF Mapper. Additional information on any EAF question can be obtained by consulting the EAF Workbooks. Although the EAF Mapper provides the most up-to-date digital data available to DEC, you may also need to contact local or other data sources in order to obtain data not provided by the Mapper. Digital data is not a substitute for agency determinations.

Sources: Esri, HERE, Garmin, USGS, Intermap, INCREMENT P, NRCan, Esri Japan, METI, Esri China (Hong Kong), Esri Korea, Esri (Thailand), NGCC, (c) OpenStreetMap contributors, and the GIS User Community

|                                                                                               |                                                                                                                                   |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| Part 1 / Question 7 [Critical Environmental Area]                                             | No                                                                                                                                |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No                                                                                                                                |
| Part 1 / Question 12b [Archeological Sites]                                                   | Yes                                                                                                                               |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]                               | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal]                                        | No                                                                                                                                |
| Part 1 / Question 16 [100 Year Flood Plain]                                                   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| Part 1 / Question 20 [Remediation Site]                                                       | No                                                                                                                                |

**AGRICULTURAL DATA STATEMENT**

Section 3, Item b.

Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance, or subdivision approval requiring municipal review and approval that would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

A. Name of applicant: JOHN HATFIELD  
Mailing address: 757 WARREN ROAD # 4465  
ITHACA, N.Y 14852

B. Description of the proposed project: 32'x 200' ONE SIDE OPEN Pole BARN.  
FOR EQUIPMENT STORAGE.

C. Project site address: 35 TOWN BARN ROAD Town: LANESBORO

D. Project site tax map number: 30-1-23

E. The project is located on property:  
 within an Agricultural District containing a farm operation, or  
 with boundaries within 500 feet of a farm operation located in an Agricultural District.

F. Number of acres affected by project: .56

G. Is any portion of the project site currently being farmed?  
 Yes. If yes, how many acres \_\_\_\_\_ or square feet \_\_\_\_\_ ?  
 No.

H. Name and address of any owner of land containing farm operations within the Agricultural District and is located within 500 feet of the boundary of the property upon which the project is proposed.  
DAVE MATTOON - 1118 EAST VENTURE ROAD LOCKE NY 13092  
(520.12 ACRES)

I. Attach a copy of the current tax map showing the site of the proposed project relative to the location of farm operations identified in Item H above.

**FARM NOTE**

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

[Signature] KERRY P. MOORE P.M. 2/28/24  
Name and Title of Person Completing Form Date





# WILDLIFE RESOLUTIONS EQUIPMENT STORAGE BUILDING

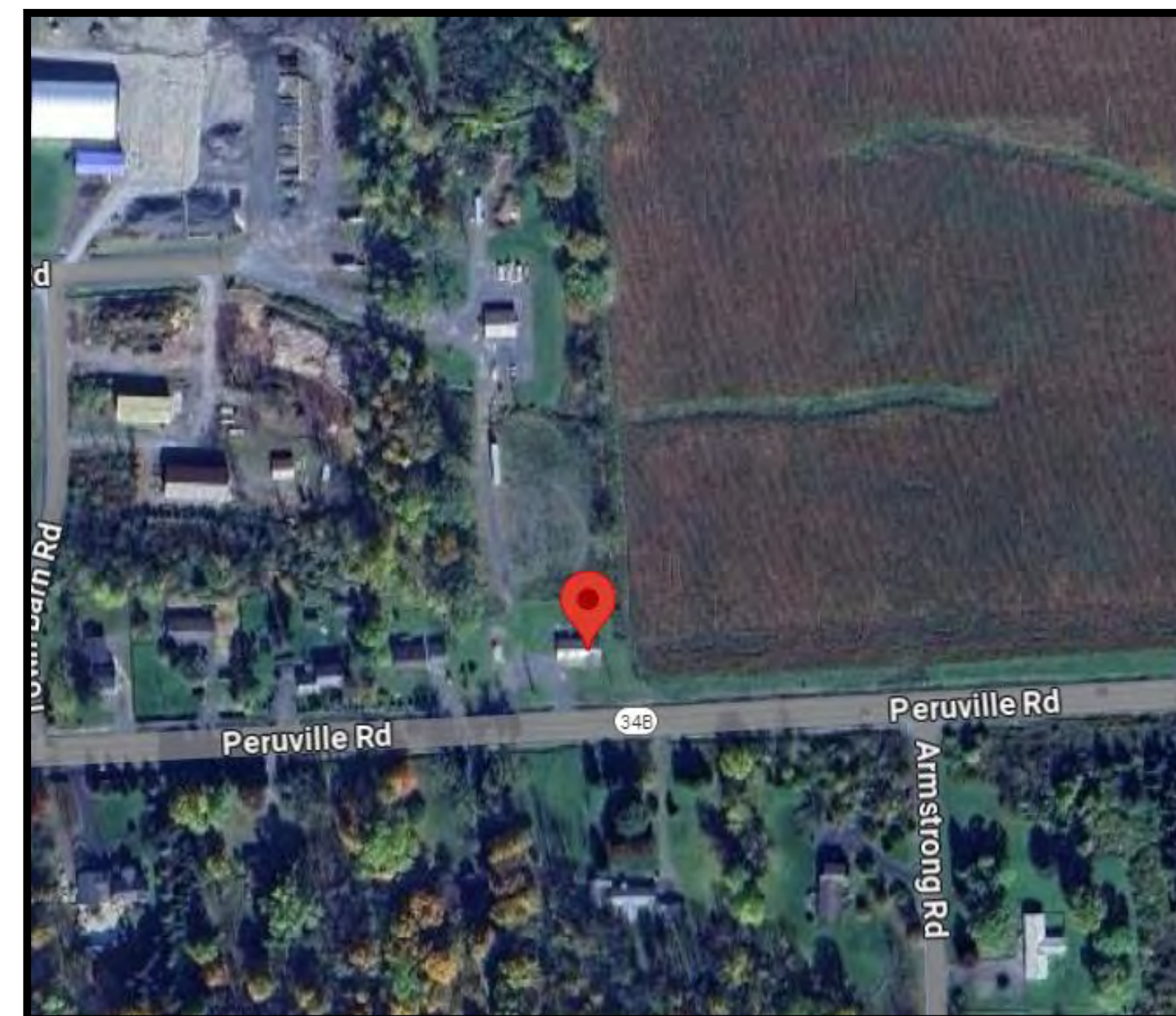
35 TOWN BARN RD.  
LANSING, NY 14882

CLIENT:

MR. JOHN HATFIELD  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD, UNIT 4465  
ITHACA, NY 14852

ENGINEER:

LAKESIDE ENGINEERING  
83 FALL STREET  
SENECA FALLS, NY 13148



PROJECT LOCATION  
AERIAL VIEW



COUNTY MAP  
NONE



LAKESIDE ENGINEERING  
Robert G. Harner, PE, PLLC  
83 Fall Street  
Seneca Falls, NY 13148  
Robert@LakesideEng.com  
www.LakesideEng.com  
607-725-5824

STORAGE BUILDING  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD (UNIT 4465)  
ITHACA, NY 14853

| GENERAL/CIVIL DRAWINGS INDEX |                                 |
|------------------------------|---------------------------------|
| SHEET NUMBER                 | SHEET NAME                      |
| T-100                        | TITLE SHEET                     |
| C-001                        | EXISTING SITE SURVEY            |
| C-002                        | EXISTING SITE TOPOGRAPHY        |
| C-100                        | EXISTING AERIAL SITE PLAN       |
| C-101                        | EXISTING SITE PLAN              |
| C-200                        | PROPOSED AERIAL SITE PLAN       |
| C-201                        | PROPSOED SITE PLAN              |
| C-300                        | EROSION & SEDIMENT CONTROL PLAN |

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

PROJECT NO. 20240207  
DATE: 02/28/2024  
SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

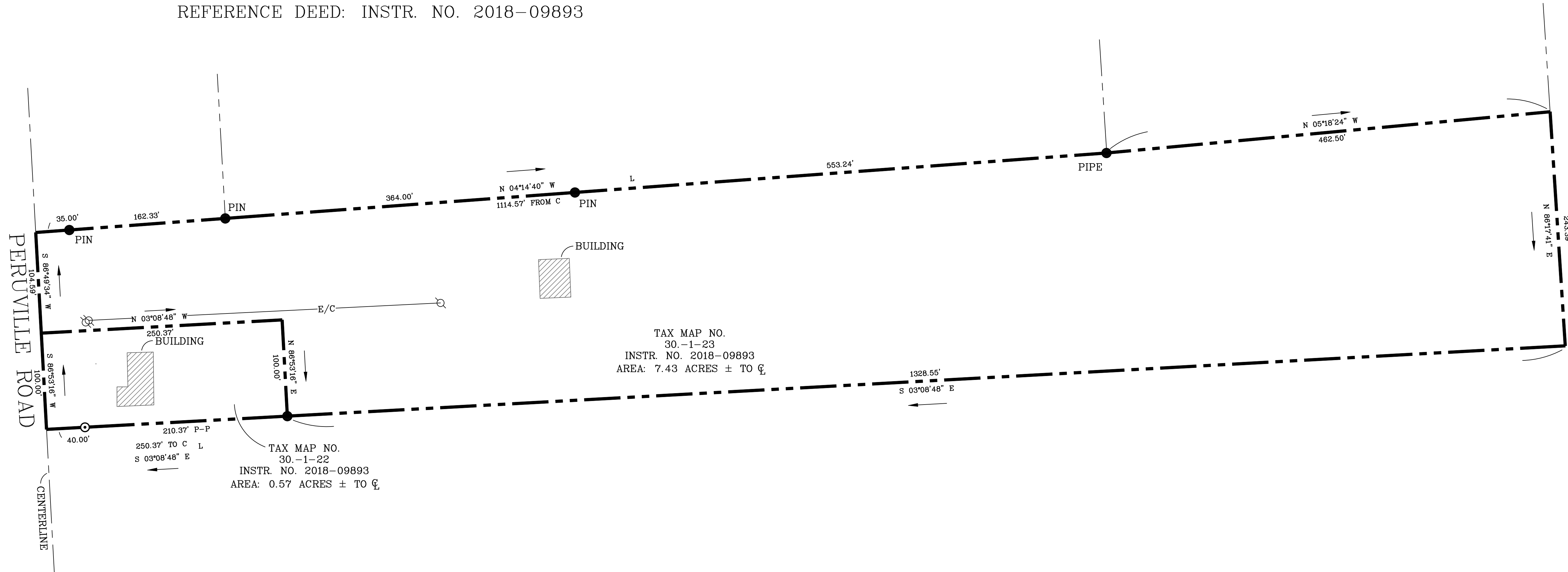
TITLE SHEET

T-100



LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824

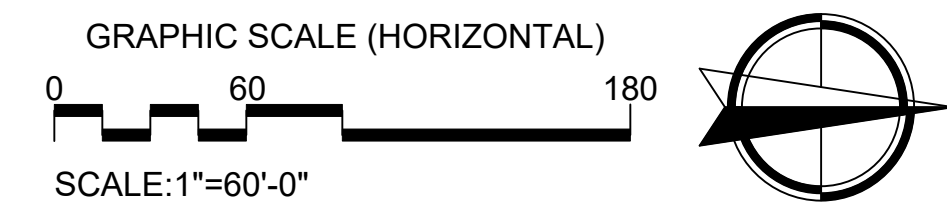
JOHN B. HATFIELD AND SARA M. L. HATFIELD  
 TOWN OF LANSING ~ COUNTY OF TOMPKINS  
 STATE OF NEW YORK  
 TAX MAP NOS. 30.-1-22 AND 30.-1-23  
 REFERENCE DEED: INSTR. NO. 2018-09893



TAX MAP NO. 30.-1-23  
 INSTR. NO. 2018-09893  
 AREA: 7.43 ACRES ± TO CL

TAX MAP NO. 30.-1-22  
 INSTR. NO. 2018-09893  
 AREA: 0.57 ACRES ± TO CL

**C1** EXISTING SITE SURVEY  
 SCALE: 1"=60'



| GENERAL NOTES |                                                                                                                                                                              |
|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.            | CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK.                                                                                                |
| 2.            | ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW.                                                               |
| 3.            | CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.                |
| 4.            | CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.                                                             |
| 5.            | CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.                                                                                      |
| 6.            | CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.                                                                             |
| 7.            | ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024. |

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

- FRONT SETBACK LESS THAN 60 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- SIDE SETBACK LESS THAN 10 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- PER §270-20 LOT IN TWO DISTRICTS: WHEN LOT IS DIVIDED BY A DISTRICT BOUNDARY LINE, THE REGULATIONS OF EITHER DISTRICT MAY BE EXTENDED FOR A DISTANCE OF 50 FEET INTO THE OTHER DISTRICT, AT THE LOT OWNER'S DISCRETION.

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |
| IR ZONING REQUIREMENTS          |           |
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |  |
|-------------------------------|--|
| EXISTING STRUCTURE            |  |
| PROPOSED STRUCTURE            |  |
| EXISTING ASPHALT              |  |
| EXISTING LANDSCAPING          |  |
| PROPERTY LINES                |  |
| SILT FENCE                    |  |
| MAJOR CONTOUR (2.5' INTERVAL) |  |
| MINOR CONTOUR (0.5' INTERVAL) |  |
| TREE/SHRUB/PLANTING           |  |

STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

PROJECT NO. 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

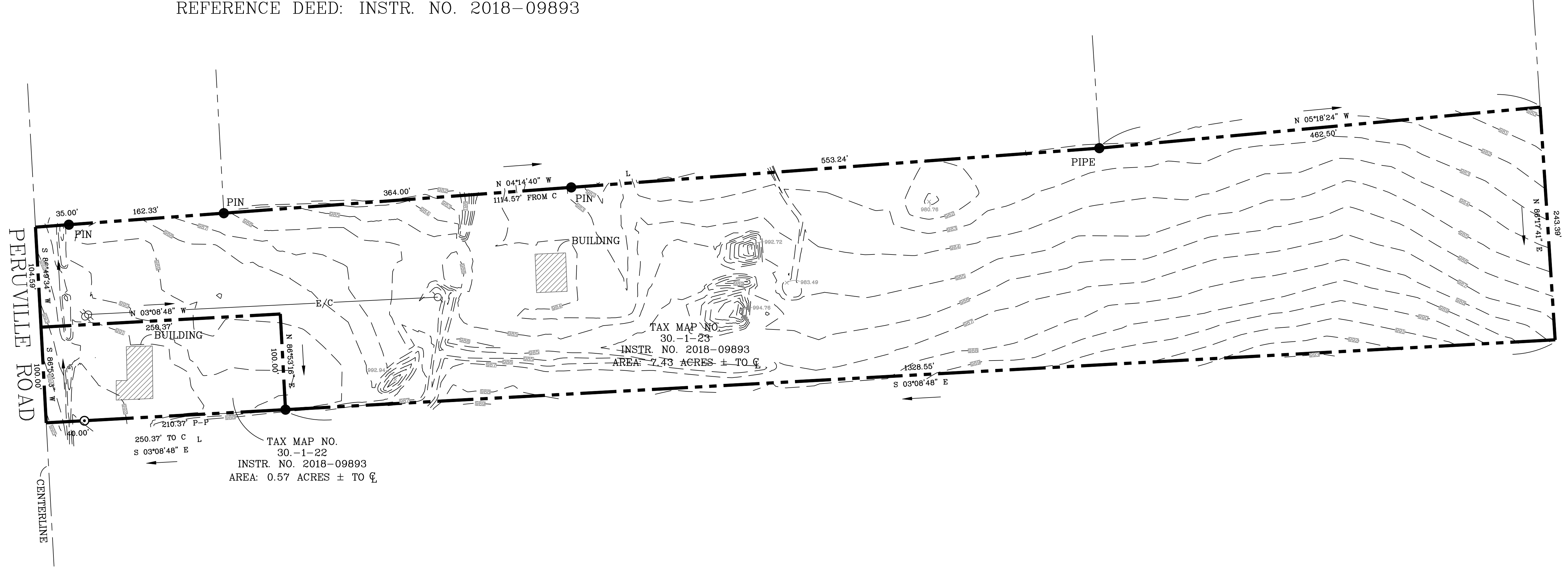
EXISTING  
 SITE  
 SURVEY

C-001



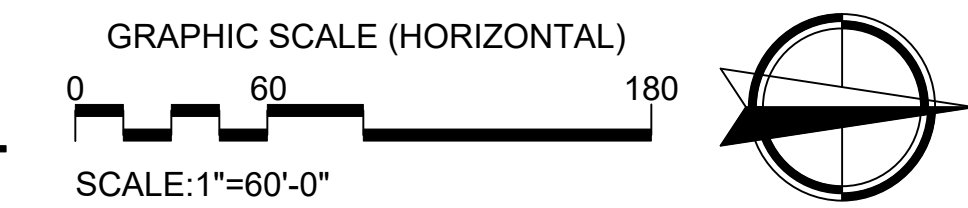
LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824

JOHN B. HATFIELD AND SARA M. L. HATFIELD  
 TOWN OF LANSING ~ COUNTY OF TOMPKINS  
 STATE OF NEW YORK  
 TAX MAP NOS. 30.-1-22 AND 30.-1-23  
 REFERENCE DEED: INSTR. NO. 2018-09893



STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

**C1** EXISTING SITE TOPOGRAPHY  
 SCALE: 1"=60'



| GENERAL NOTES |                                                                                                                                                                              |
|---------------|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.            | CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK.                                                                                                |
| 2.            | ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW.                                                               |
| 3.            | CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.                |
| 4.            | CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.                                                             |
| 5.            | CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.                                                                                      |
| 6.            | CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.                                                                             |
| 7.            | ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024. |

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

- FRONT SETBACK LESS THAN 60 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- SIDE SETBACK LESS THAN 10 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- PER §270-20 LOT IN TWO DISTRICTS: WHEN LOT IS DIVIDED BY A DISTRICT BOUNDARY LINE, THE REGULATIONS OF EITHER DISTRICT MAY BE EXTENDED FOR A DISTANCE OF 50 FEET INTO THE OTHER DISTRICT, AT THE LOT OWNER'S DISCRETION.

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |

| IR ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |  |
|-------------------------------|--|
| EXISTING STRUCTURE            |  |
| PROPOSED STRUCTURE            |  |
| EXISTING ASPHALT              |  |
| EXISTING LANDSCAPING          |  |
| PROPERTY LINES                |  |
| SILT FENCE                    |  |
| MAJOR CONTOUR (2.5' INTERVAL) |  |
| MINOR CONTOUR (0.5' INTERVAL) |  |
| TREE/SHRUB/PLANTING           |  |

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

PROJECT NO. 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN

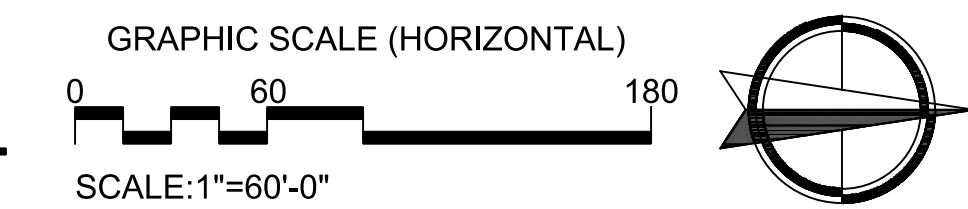
\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

EXISTING SITE TOPOGRAPHY

**C-002**



**C1** EXISTING AERIAL SITE PLAN  
SCALE: 1"=60'



| GENERAL NOTES |                                                                                                                                                                                              |
|---------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.            | CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK. ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW. |
| 2.            | CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.                                |
| 3.            | CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.                                                                             |
| 4.            | CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.                                                                                                      |
| 5.            | CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.                                                                                             |
| 6.            | ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024.                 |

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

- FRONT SETBACK LESS THAN 60 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- SIDE SETBACK LESS THAN 10 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- PER §270-20 LOT IN TWO DISTRICTS: WHEN LOT IS DIVIDED BY A DISTRICT BOUNDARY LINE, THE REGULATIONS OF EITHER DISTRICT MAY BE EXTENDED FOR A DISTANCE OF 50 FEET INTO THE OTHER DISTRICT, AT THE LOT OWNER'S DISCRETION.

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |

| IR ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |  |
|-------------------------------|--|
| EXISTING STRUCTURE            |  |
| PROPOSED STRUCTURE            |  |
| EXISTING ASPHALT              |  |
| EXISTING LANDSCAPING          |  |
| PROPERTY LINES                |  |
| SILT FENCE                    |  |
| MAJOR CONTOUR (2.5' INTERVAL) |  |
| MINOR CONTOUR (0.5' INTERVAL) |  |
| TREE/SHRUB/PLANTING           |  |

STORAGE BUILDING  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD (UNIT 4465)  
ITHACA, NY 14853

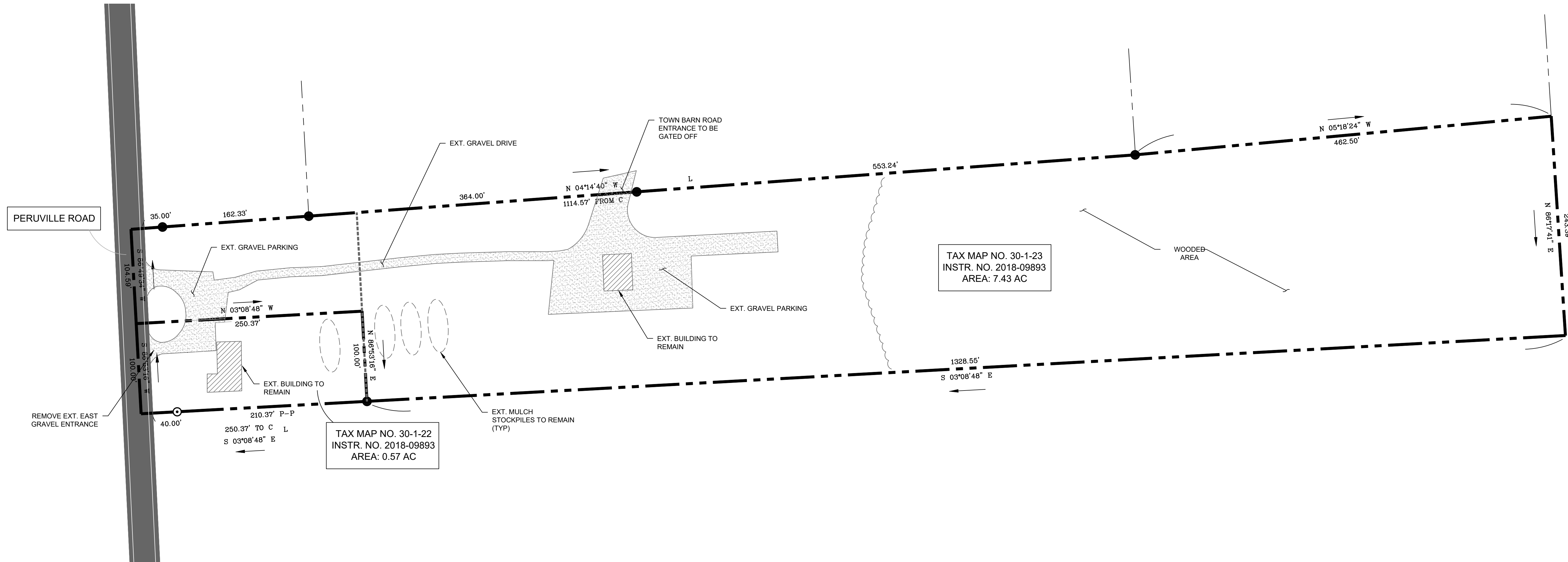
| MARK                                                                                                                                                                | DATE       | DESCRIPTION |
|---------------------------------------------------------------------------------------------------------------------------------------------------------------------|------------|-------------|
| REVISIONS                                                                                                                                                           |            |             |
| PROJECT NO.                                                                                                                                                         | 20240207   |             |
| DATE:                                                                                                                                                               | 02/28/2024 |             |
| SCALE:                                                                                                                                                              | AS SHOWN   |             |
| UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL, IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW. |            |             |

EXISTING  
AERIAL  
SITE PLAN

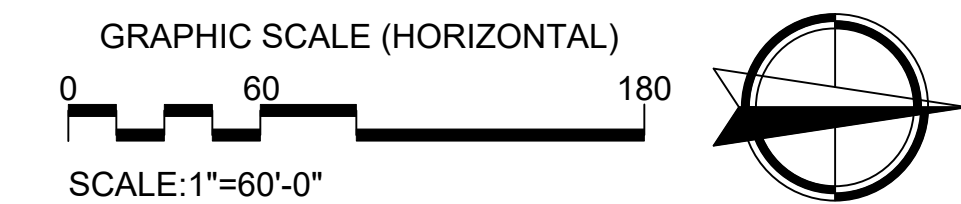
C-100



LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824



**C1** EXISTING SITE PLAN  
 SCALE: 1"=60'



STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

|             |            |
|-------------|------------|
| PROJECT NO. | 20240207   |
| DATE:       | 02/28/2024 |
| SCALE:      | AS SHOWN   |

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

EXISTING SITE PLAN

C-101

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK.
  - ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW.
  - CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.
  - CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.
  - CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.
  - CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.
  - ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024.

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

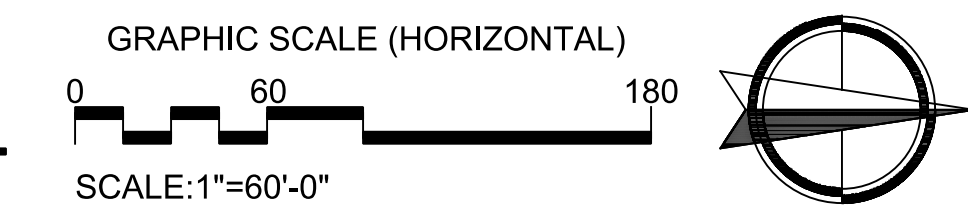
- FRONT SETBACK LESS THAN 60 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- SIDE SETBACK LESS THAN 10 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- PER §270-20 LOT IN TWO DISTRICTS: WHEN LOT IS DIVIDED BY A DISTRICT BOUNDARY LINE, THE REGULATIONS OF EITHER DISTRICT MAY BE EXTENDED FOR A DISTANCE OF 50 FEET INTO THE OTHER DISTRICT, AT THE LOT OWNER'S DISCRETION.

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |
| IR ZONING REQUIREMENTS          |           |
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |  |
|-------------------------------|--|
| EXISTING STRUCTURE            |  |
| PROPOSED STRUCTURE            |  |
| EXISTING ASPHALT              |  |
| EXISTING LANDSCAPING          |  |
| PROPERTY LINES                |  |
| SILT FENCE                    |  |
| MAJOR CONTOUR (2.5' INTERVAL) |  |
| MINOR CONTOUR (0.5' INTERVAL) |  |
| TREE/SHRUB/PLANTING           |  |



**C1** PROPOSED SITE AERIAL PLAN  
SCALE: 1"=60'



| GENERAL NOTES |                                                                                                                                                                                              |
|---------------|----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|
| 1.            | CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK. ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW. |
| 2.            | CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.                                |
| 3.            | CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.                                                                             |
| 4.            | CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.                                                                                                      |
| 5.            | CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.                                                                                             |
| 6.            | ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024.                 |

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

- FRONT SETBACK LESS THAN 60 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- SIDE SETBACK LESS THAN 10 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- PER §270-20 LOT IN TWO DISTRICTS: WHEN LOT IS DIVIDED BY A DISTRICT BOUNDARY LINE, THE REGULATIONS OF EITHER DISTRICT MAY BE EXTENDED FOR A DISTANCE OF 50 FEET INTO THE OTHER DISTRICT, AT THE LOT OWNER'S DISCRETION.

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |

| IR ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |  |
|-------------------------------|--|
| EXISTING STRUCTURE            |  |
| PROPOSED STRUCTURE            |  |
| EXISTING ASPHALT              |  |
| EXISTING LANDSCAPING          |  |
| PROPERTY LINES                |  |
| SILT FENCE                    |  |
| MAJOR CONTOUR (2.5' INTERVAL) |  |
| MINOR CONTOUR (0.5' INTERVAL) |  |
| TREE/SHRUB/PLANTING           |  |

STORAGE BUILDING  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD (UNIT 4465)  
ITHACA, NY 14853

| MARK      | DATE | DESCRIPTION |
|-----------|------|-------------|
| REVISIONS |      |             |
|           |      |             |
|           |      |             |
|           |      |             |
|           |      |             |

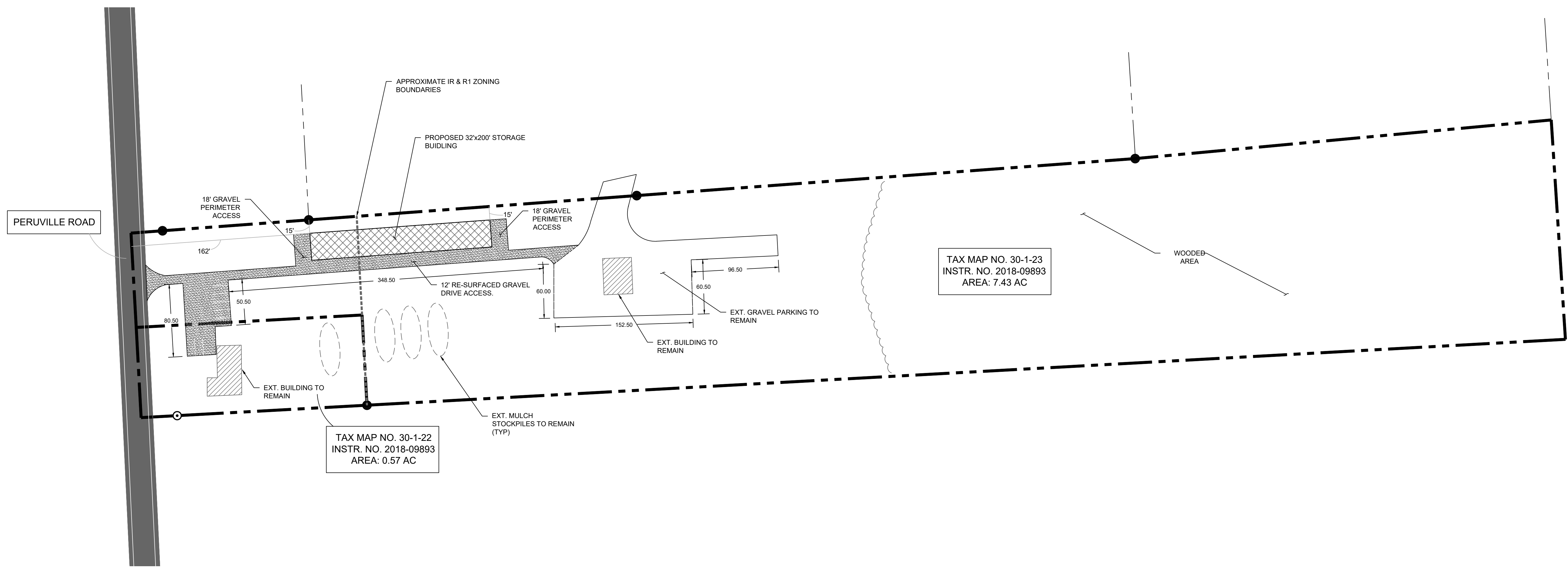
PROJECT NO.: 20240207  
DATE: 02/28/2024  
SCALE: AS SHOWN  
UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL, IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW.

PROPOSED  
SITE  
AERIAL  
PLAN

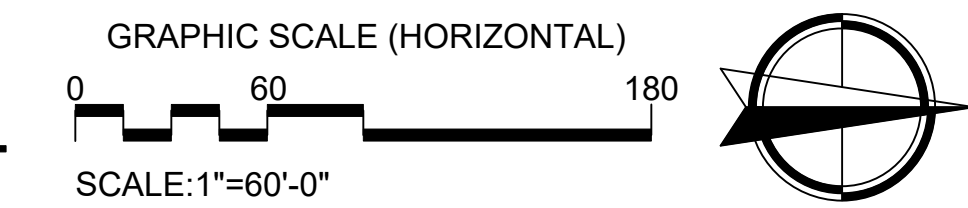
C-200



LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824



**C1** PROPOSED SITE PLAN  
 SCALE: 1"=60'



STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

- GENERAL NOTES**
- CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK.
  - ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW.
  - CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.
  - CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.
  - CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.
  - CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.
  - ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024.

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

- FRONT SETBACK LESS THAN 60 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- SIDE SETBACK LESS THAN 10 FT WITH SITE PLAN APPROVAL FOR IR ZONED PARCEL.
- PER §270-20 LOT IN TWO DISTRICTS: WHEN LOT IS DIVIDED BY A DISTRICT BOUNDARY LINE, THE REGULATIONS OF EITHER DISTRICT MAY BE EXTENDED FOR A DISTANCE OF 50 FEET INTO THE OTHER DISTRICT, AT THE LOT OWNER'S DISCRETION.

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |

| IR ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |  |
|-------------------------------|--|
| EXISTING STRUCTURE            |  |
| PROPOSED STRUCTURE            |  |
| EXISTING ASPHALT              |  |
| EXISTING LANDSCAPING          |  |
| PROPERTY LINES                |  |
| SILT FENCE                    |  |
| MAJOR CONTOUR (2.5' INTERVAL) |  |
| MINOR CONTOUR (0.5' INTERVAL) |  |
| TREE/SHRUB/PLANTING           |  |

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |

**REVISIONS**

PROJECT NO: 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

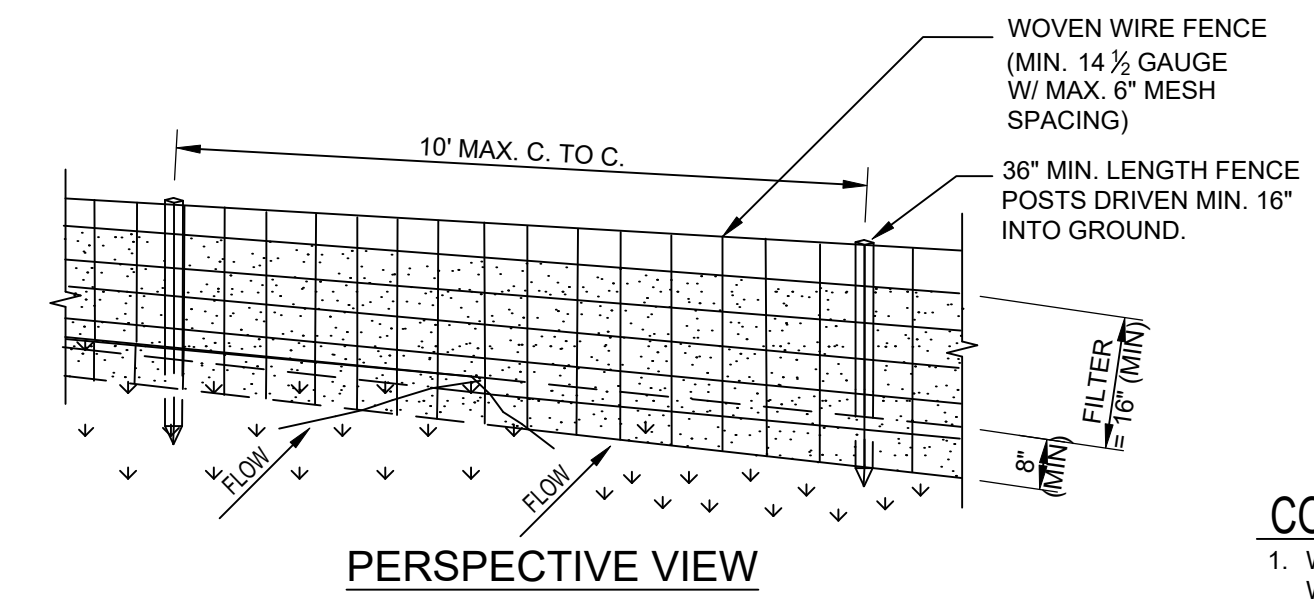
**PROPOSED SITE PLAN**

**C-201**



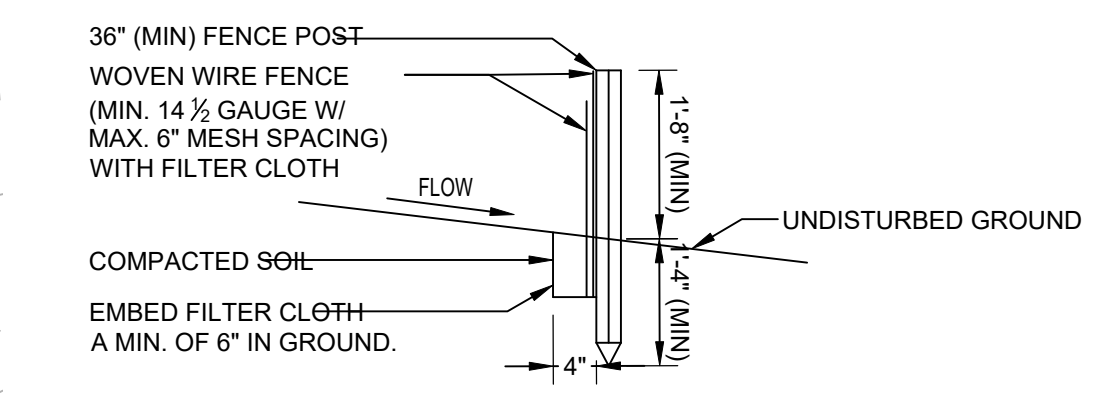


LAKESIDE ENGINEERING  
Robert G. Harner, PE, PLLC  
83 Fall Street  
Seneca Falls, NY 13148  
Robert@LakesideEng.com  
www.LakesideEng.com  
607-725-5824



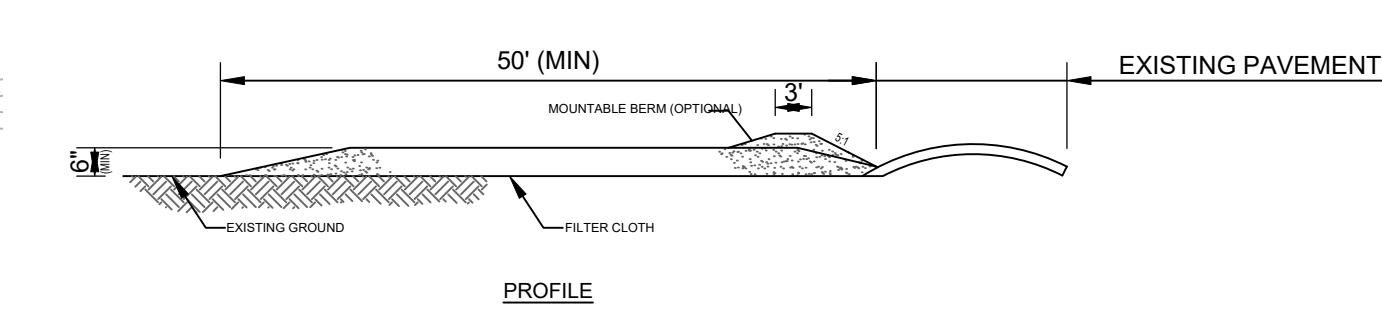
**CONSTRUCTION SPECIFICATIONS:**

1. WOVEN WIRE FENCE TO BE FASTENED SECURELY TO FENCE POSTS WITH WIRE TIES OR STAPLES. POSTS SHALL BE STEEL EITHER "T" OR "U" TYPE OR HARDWOOD.
2. FILTER CLOTH TO BE FASTENED SECURELY TO WOVEN WIRE FENCE WITH TIES SPACED EVERY 24" AT TOP AND MID SECTION. FENCE SHALL BE WOVEN WIRE, 12 1/2 GAUGE, 6" MAXIMUM MESH OPENING.
3. WHEN TWO SECTIONS OF FILTER CLOTH ADJOIN EACH OTHER THEY SHALL BE OVER-LAPPED BY SIX INCHES AND FOLDED. FILTER CLOTH SHALL BE EITHER FILTER X, MIRAFI 100X, STABILINKA T140N, OR APPROVED EQUIVALENT.
4. PREFABRICATED UNITS SHALL BE GEOFAB, ENVIROFENCE, OR APPROVED EQUIVALENT.
5. MAINTENANCE SHALL BE PERFORMED AS NEEDED AND MATERIAL REMOVED WHEN "BULGES" DEVELOP IN THE SILT FENCE.



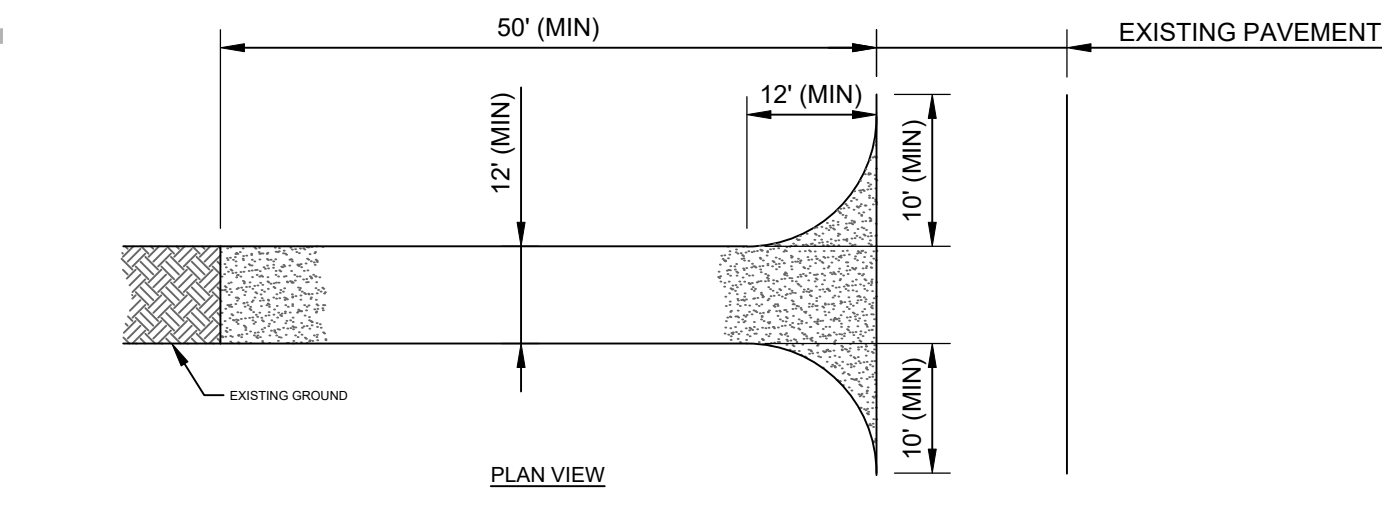
**SECTION VIEW**

**C2 SILT FENCE**  
SCALE: NTS

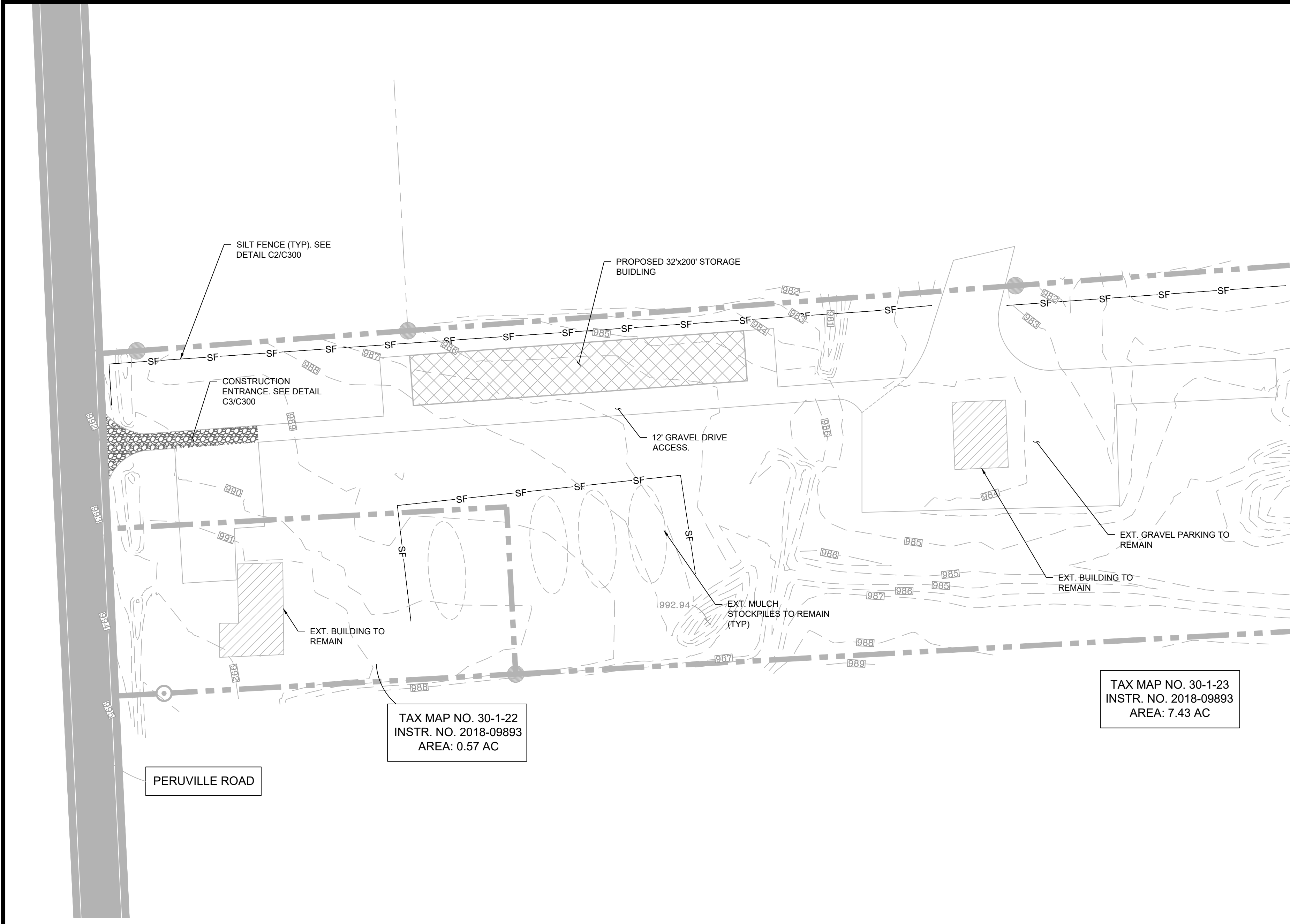


**CONSTRUCTION SPECIFICATIONS:**

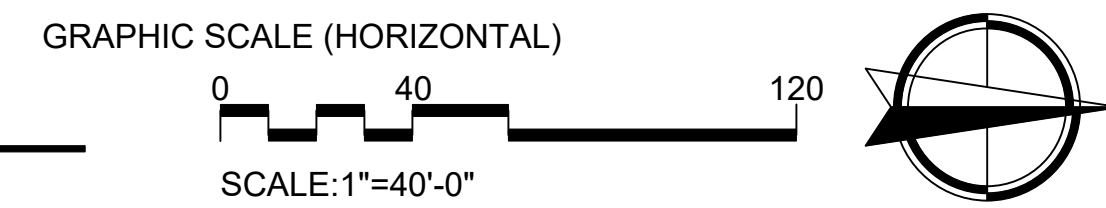
1. STONE SIZE: USE 2" STONE, OR RECLAIMED OR RECYCLED CONCRETE EQUIVALENT.
2. NOT LESS THAN 50 FEET (EXCEPT ON A SINGLE RESIDENCE LOT WHERE A 30 FOOT MINIMUM LENGTH WOULD APPLY).
3. THICKNESS: NOT LESS THAN SIX (6) INCHES.
4. TWELVE (12) FOOT MINIMUM, BUT NOT LESS THAN THE FULL WIDTH AT POINTS WHERE INGRESS OR EGRESS OCCURS. TWENTY-FOUR (24) FOOT IF SINGLE ENTRANCE TO SITE.
5. FILTER CLOTH: WILL BE PLACED OVER THE ENTIRE AREA PRIOR TO PLACING OF STONE.
6. SURFACE WATER: ALL SURFACE WATER FLOWING OR DIVERTED TOWARD CONSTRUCTION ENTRANCES SHALL BE PIPED ACROSS THE ENTRANCE. IF PIPING IS IMPRACTICAL, A MOUNTABLE BERM WITH 5:1 SLOPES WILL BE PERMITTED.
7. MAINTENANCE: THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. ALL SEDIMENT SPILLED, DROPPED, WASHED OR TRACKED ONTO PUBLIC RIGHTS-OF-WAY MUST BE REMOVED IMMEDIATELY.
8. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE AND WHICH DRAINS INTO AN APPROVED SEDIMENT TRAPPING DEVICE.
9. PERIODIC INSPECTION AND NEEDED MAINTENANCE SHALL BE PROVIDED AFTER EACH RAIN.



**C3 CONSTRUCTION ENTRANCE**  
SCALE: NTS



**C1 EROSION & SEDIMENT CONTROL PLAN**  
SCALE: 1"=40'



- GENERAL NOTES**
1. CONTRACTOR SHALL FIELD VERIFY ALL SITE CONDITIONS PRIOR TO THE START OF WORK.
  2. ANY DISCREPANCIES OR UNFORESEEN CONDITIONS OBSERVED IN THE FIELD SHALL BE REPORTED TO THE ENGINEER FOR REVIEW.
  3. CONTRACTOR SHALL PERFORM ALL WORK IN ACCORDANCE WITH APPLICABLE FEDERAL, STATE, AND LOCAL CODES INCLUDING BUT NOT LIMITED TO THE INTERNATIONAL BUILDING CODE.
  4. CONTRACTOR SHALL OBTAIN ALL BUILDING PERMITS AND COORDINATE WITH APPLICABLE AGENCIES PRIOR TO THE START OF WORK.
  5. CONTRACTOR SHALL CONTACT UDIG NEW YORK FOR UTILITY LOCATING PRIOR TO THE START OF WORK.
  6. CONTRACTOR SHALL PROTECT AND PRESERVE ALL EXISTING STRUCTURES NOT INCLUDED IN THE SCOPE OF WORK.
  7. ALL PROPERTY LINES SHALL BE VERIFIED PRIOR TO START OF WORK. PROPERTY LINES ARE APPROXIMATE AND REFERENCED FROM LAND SURVEY PROVIDED OWASCO LAND SURVEYING DATED 01/15/2024.

| LOT DETAILS          |          |          |
|----------------------|----------|----------|
| LOCATION             | EXISTING | PROPOSED |
| FRONT SETBACK        | 519 FT   | 162 FT   |
| REAR SETBACK         | 1,033 FT | 1,033 FT |
| SIDE (NORTH) SETBACK | 66 FT    | 15 FT    |
| SIDE (SOUTH) SETBACK | 107 FT   | 107 FT   |
| FRONTAGE             | 104 FT   | 104 FT   |
| LOT SIZE             | 7.43 AC  | 7.43 AC  |
| LOT COVERAGE         | 7.6 %    | 9.3 %    |
| BUILDING HEIGHT      | 23 FT    | 29 FT    |
| OPEN SPACE           | 92.4 %   | 90.7 %   |

| R1 ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 25 FT     |
| SIDE SETBACK                    | 15 FT     |
| MIN. FRONTAGE                   | 150 FT    |
| MAX LOT AREA                    | 40,000 SF |
| MAX LOT COVERAGE                | 25 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 75 %      |

| IR ZONING REQUIREMENTS          |           |
|---------------------------------|-----------|
| LOT ITEM                        | ORDINANCE |
| FRONT SETBACK (FROM CL OF ROAD) | 60 FT     |
| REAR SETBACK                    | 10 FT     |
| SIDE SETBACK                    | 10 FT     |
| MIN. FRONTAGE                   | 50 FT     |
| MAX LOT AREA                    | NONE      |
| MAX LOT COVERAGE                | 80 %      |
| MAX BUILDING HEIGHT             | 35 FT     |
| MIN. OPEN SPACE                 | 20 %      |

| LEGEND                        |                         |
|-------------------------------|-------------------------|
| EXISTING STRUCTURE            | [Hatched Pattern]       |
| PROPOSED STRUCTURE            | [Cross-hatched Pattern] |
| EXISTING ASPHALT              | [Dotted Pattern]        |
| EXISTING LANDSCAPING          | [Stippled Pattern]      |
| PROPERTY LINES                | [Dashed Line]           |
| SILT FENCE                    | [Line with 'SF' labels] |
| MAJOR CONTOUR (2.5' INTERVAL) | [Solid Line]            |
| MINOR CONTOUR (0.5' INTERVAL) | [Dashed Line]           |
| TREE/SHRUB/PLANTING           | [Tree Symbol]           |

STORAGE BUILDING  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD (UNIT 4465)  
ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |

**REVISIONS**

PROJECT NO. 20240207  
DATE: 02/28/2024  
SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

**EROSION & SEDIMENT CONTROL PLAN**

**C-300**

# WILDLIFE RESOLUTIONS EQUIPMENT STORAGE BUILDING

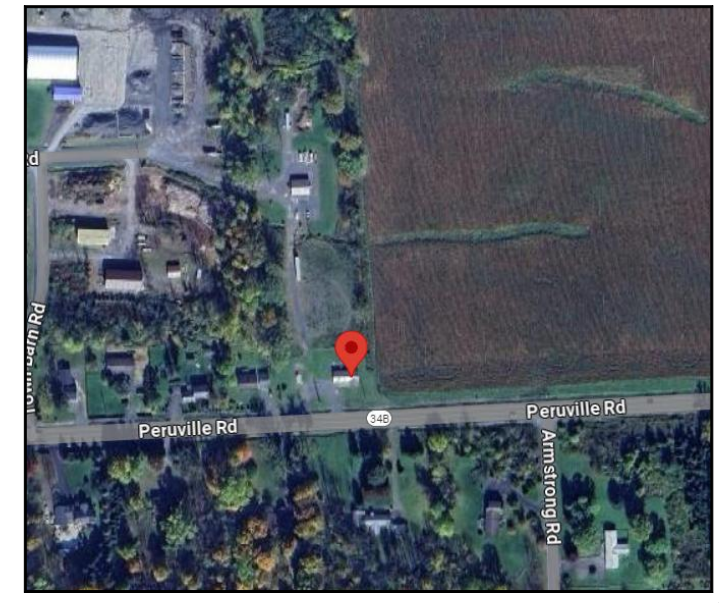
35 TOWN BARN RD.  
LANSING, NY 14882

CLIENT:  
  
MR. JOHN HATFIELD  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD, UNIT 4465  
ITHACA, NY 14852

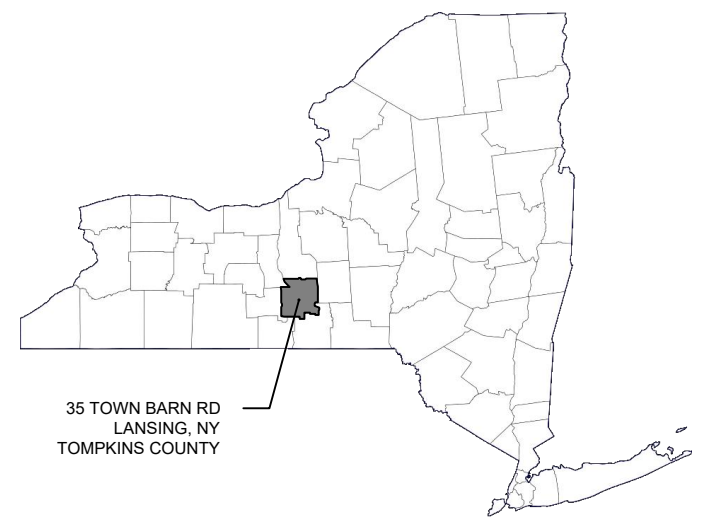
ENGINEER:  
  
LAKESIDE ENGINEERING  
83 FALL STREET  
SENECA FALLS, NY 13148



| GENERAL/CIVIL DRAWINGS INDEX |                          |
|------------------------------|--------------------------|
| SHEET NUMBER                 | SHEET NAME               |
| T-100                        | TITLE SHEET              |
| S-100                        | PROPOSED BUILDING LAYOUT |
| S-200                        | ROOF FRAMING PLAN        |
| S-300                        | BUILDING CROSS SECTION   |
| S-400                        | ELEVATIONS               |
| S-500                        | SECTION & DETAILS        |
| S-501                        | DETAILS & SCHEDULE       |



PROJECT LOCATION  
AERIAL VIEW



COUNT MAP  
NONE



LAKESIDE ENGINEERING  
Robert G. Harner, PE, PLLC  
83 Fall Street  
Seneca Falls, NY 13148  
Robert@LakesideEng.com  
www.LakesideEng.com  
607-725-5824

STORAGE BUILDING  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD (UNIT 4465)  
ITHACA, NY 14853

| DESCRIPTION |  |
|-------------|--|
|             |  |
|             |  |
|             |  |
|             |  |

REVISIONS

|             |            |
|-------------|------------|
| PROJECT NO: | 20240207   |
| DATE:       | 02/28/2024 |
| SCALE:      | AS SHOWN   |

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

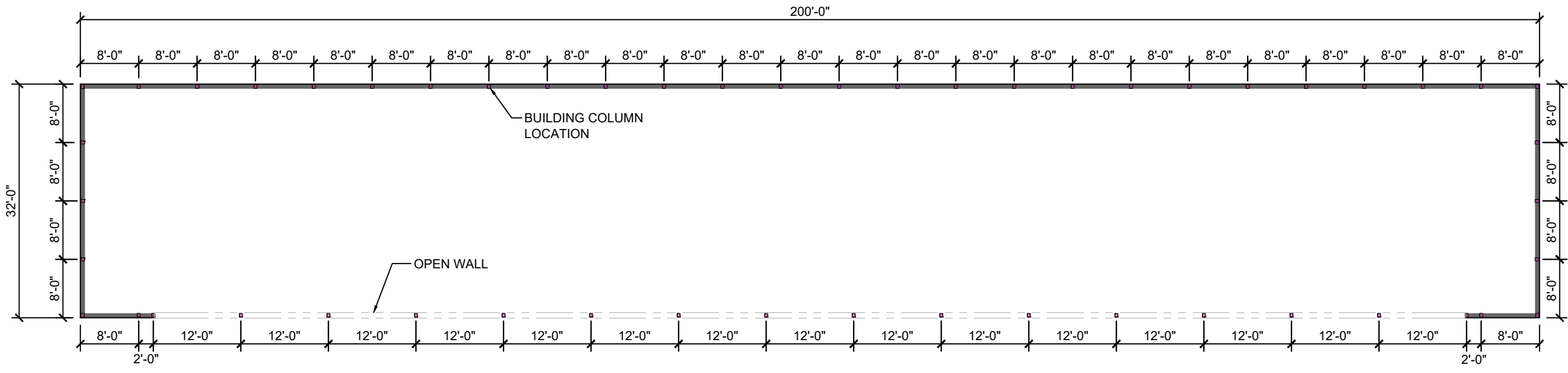
TITLE SHEET

T100



LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824

STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853



**S1** PROPOSED BUILDING LAYOUT  
 SCALE: 1/16"=1'-0"



| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

PROJECT NO: 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

PROPOSED  
 BUILDING  
 LAYOUT

S100



LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824

STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |

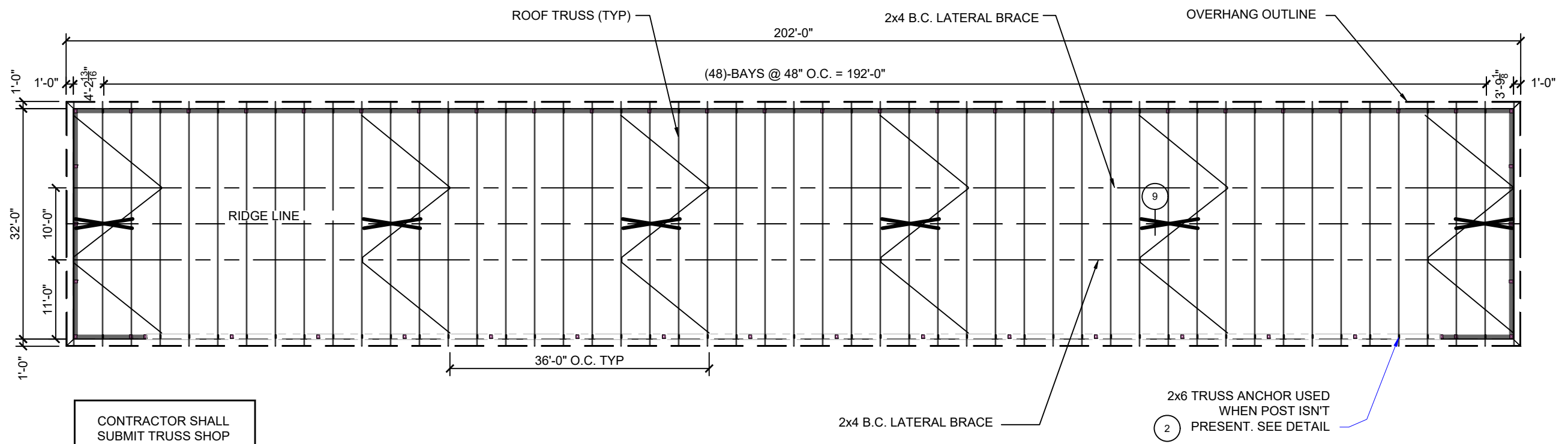
REVISIONS

PROJECT NO: 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL, IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

ROOF FRAMING PLAN

S200



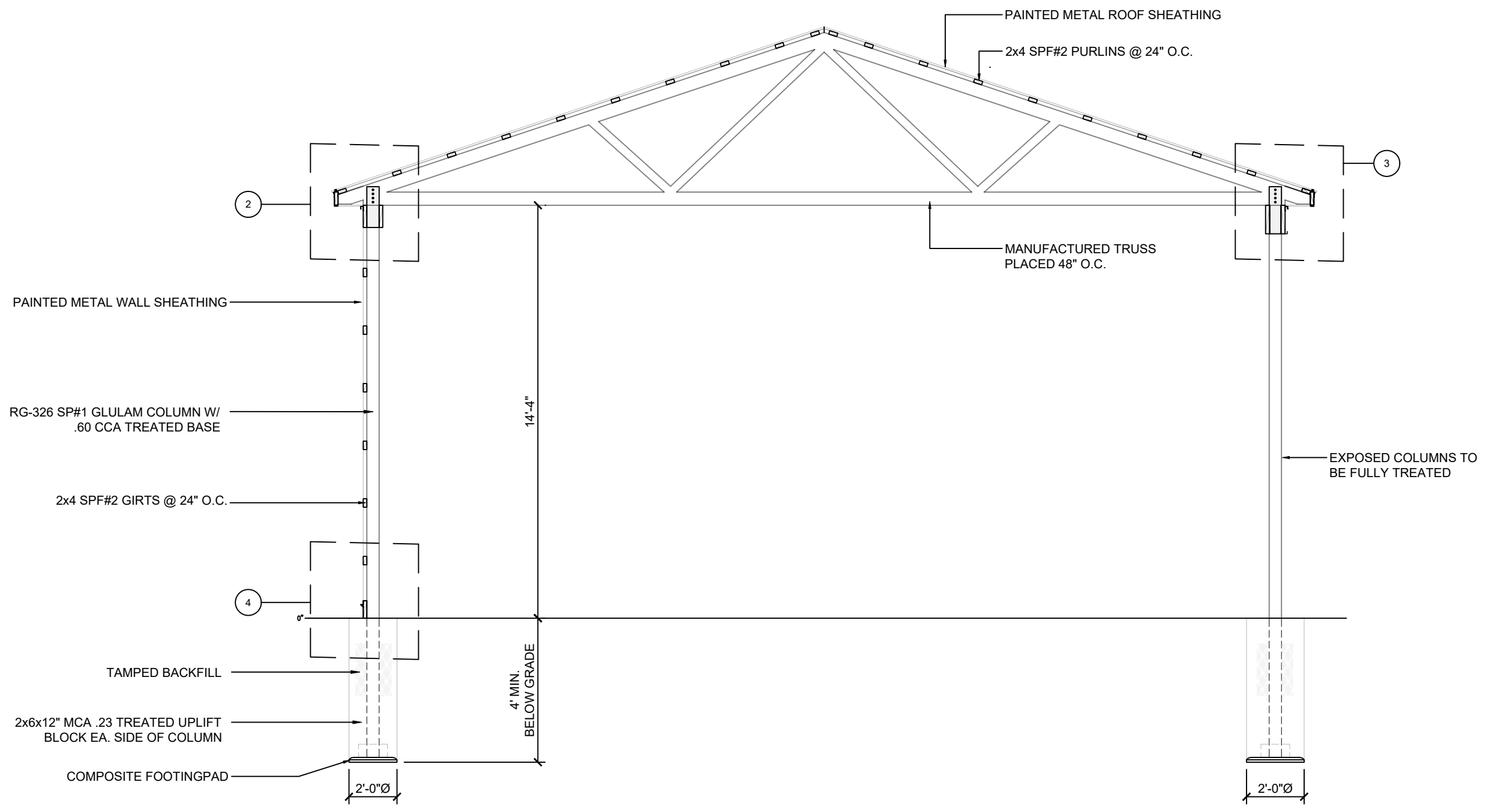
CONTRACTOR SHALL SUBMIT TRUSS SHOP DRAWINGS AND CERTIFICATE OF EXACT TRUSS CONFIGURATION TO THE ENGINEER FOR REVIEW

S1 ROOF FRAMING PLAN  
 SCALE: 1/16"=1'-0"





LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824



STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

PROJECT NO: 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN

UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW

BUILDING CROSS SECTION

S300

**S1** BUILDING CROSS SECTION  
 SCALE: 1/16"=1'-0"



LAKESIDE ENGINEERING  
Robert G. Harner, PE, PLLC  
83 Fall Street  
Seneca Falls, NY 13148  
Robert@LakesideEng.com  
www.LakesideEng.com  
607-725-5824

STORAGE BUILDING  
WILDLIFE RESOLUTIONS  
757 WARREN ROAD (UNIT 4465)  
ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |

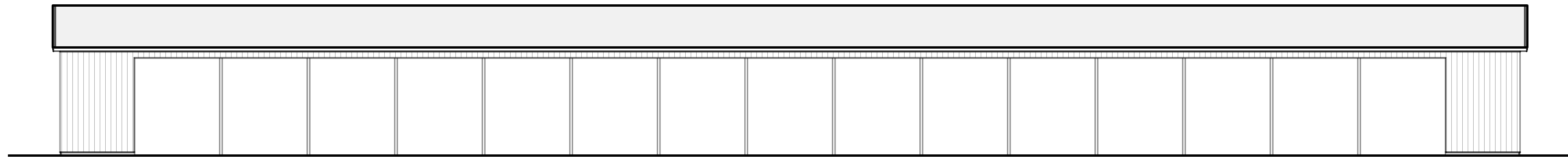
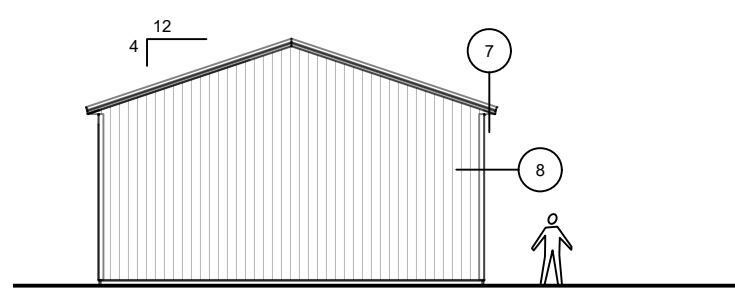
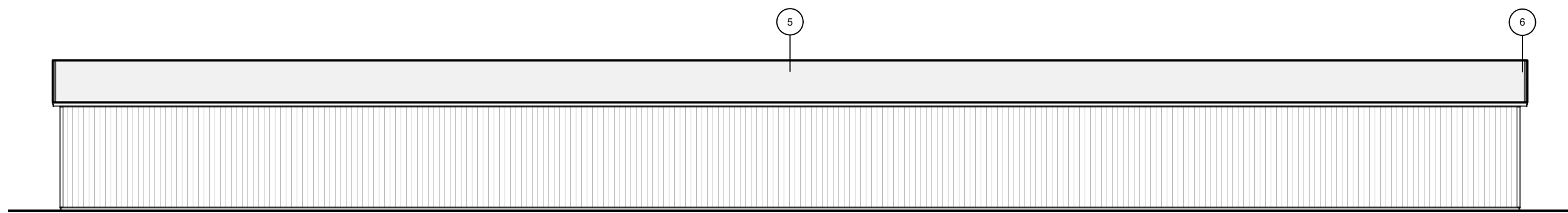
REVISIONS

PROJECT NO: 20240207  
DATE: 02/28/2024  
SCALE: AS SHOWN

\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

ELEVATIONS

S400



S1 ELEVATIONS  
SCALE: 1/16"=1'-0"



LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824

STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |

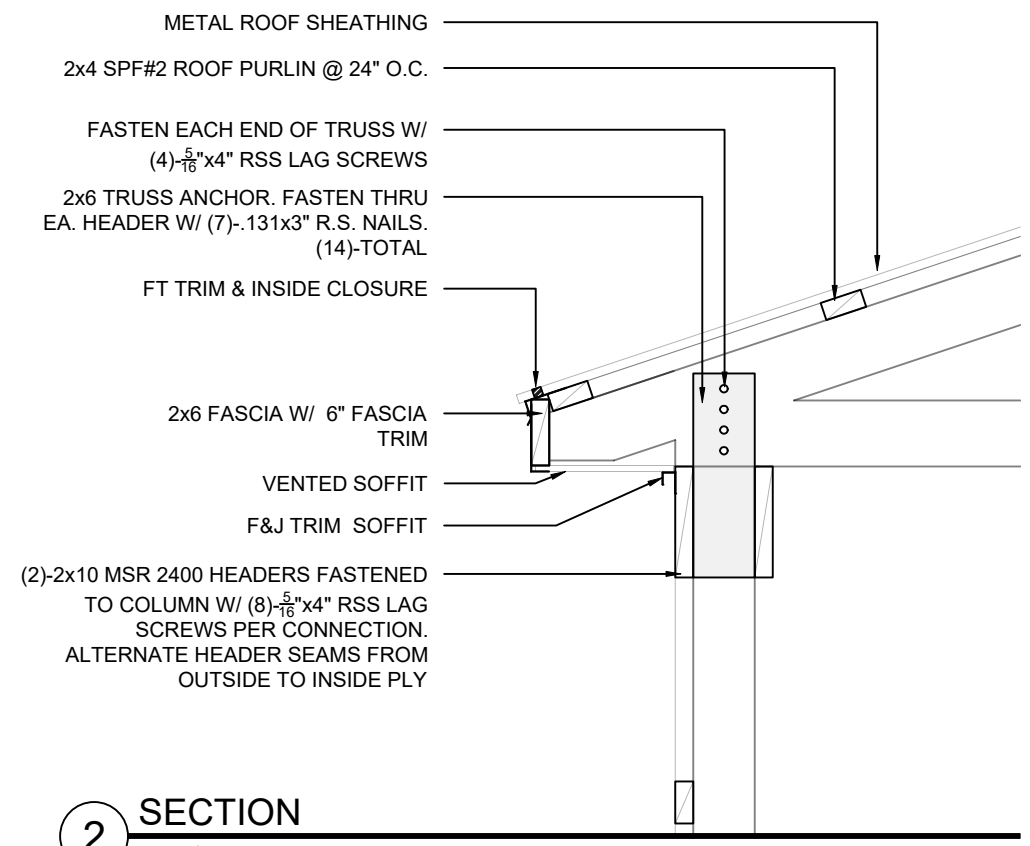
REVISIONS

|             |            |
|-------------|------------|
| PROJECT NO. | 20240207   |
| DATE        | 02/28/2024 |
| SCALE       | AS SHOWN   |

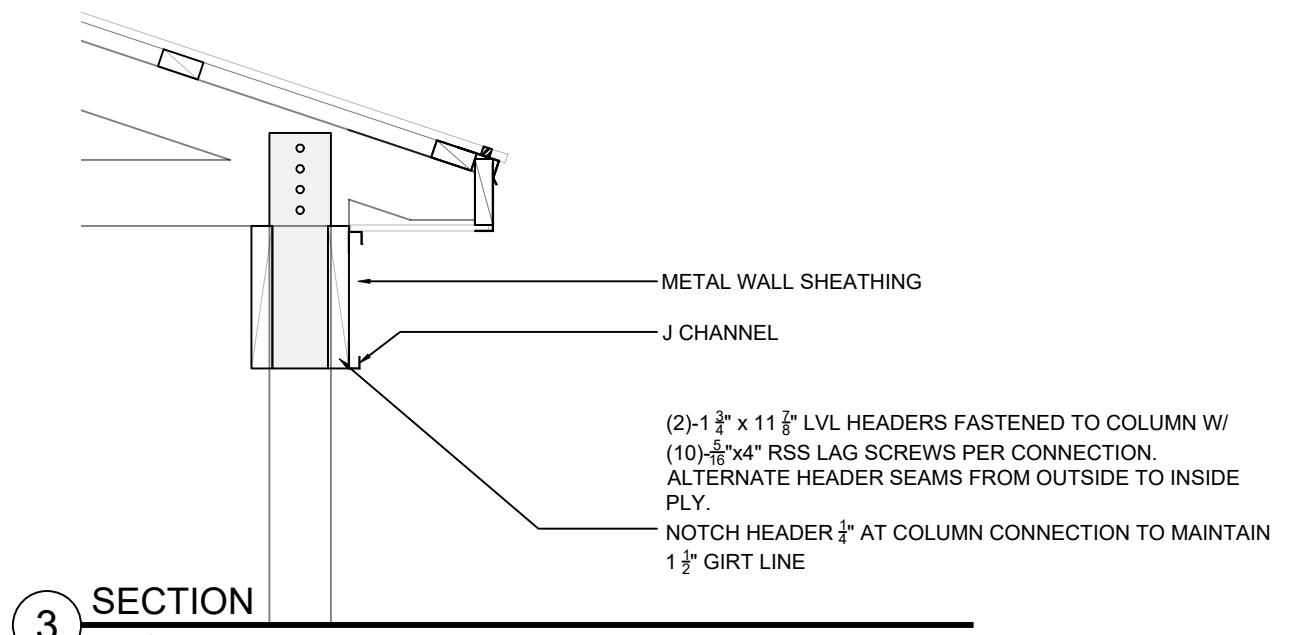
\*UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW\*

SECTION & DETAILS

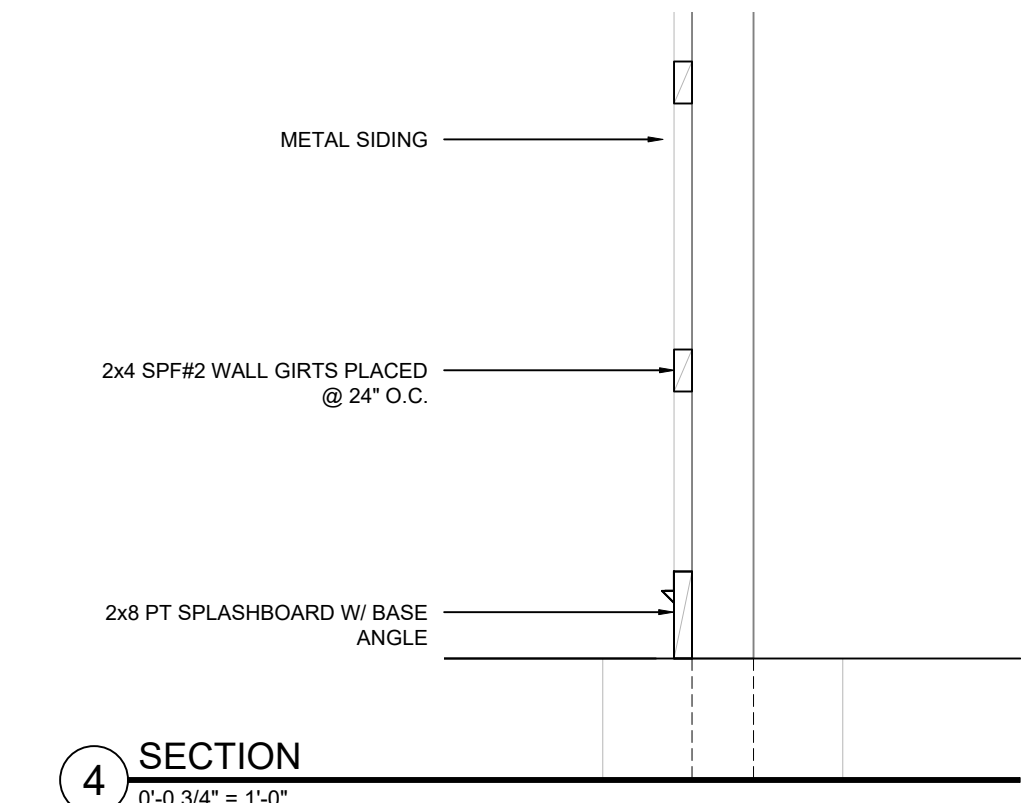
S500



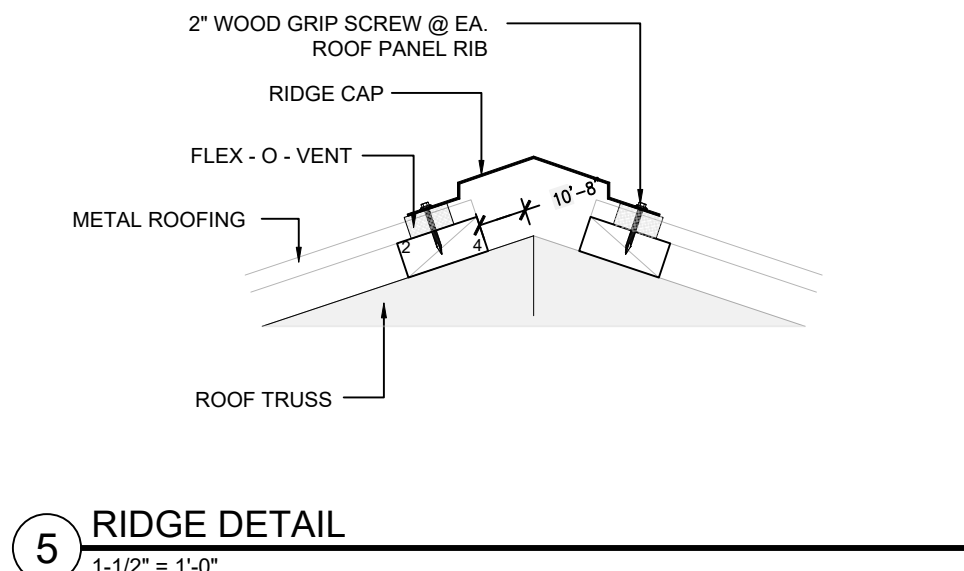
2 SECTION  
 0'-0 3/4" = 1'-0"



3 SECTION  
 0'-0 3/4" = 1'-0"



4 SECTION  
 0'-0 3/4" = 1'-0"

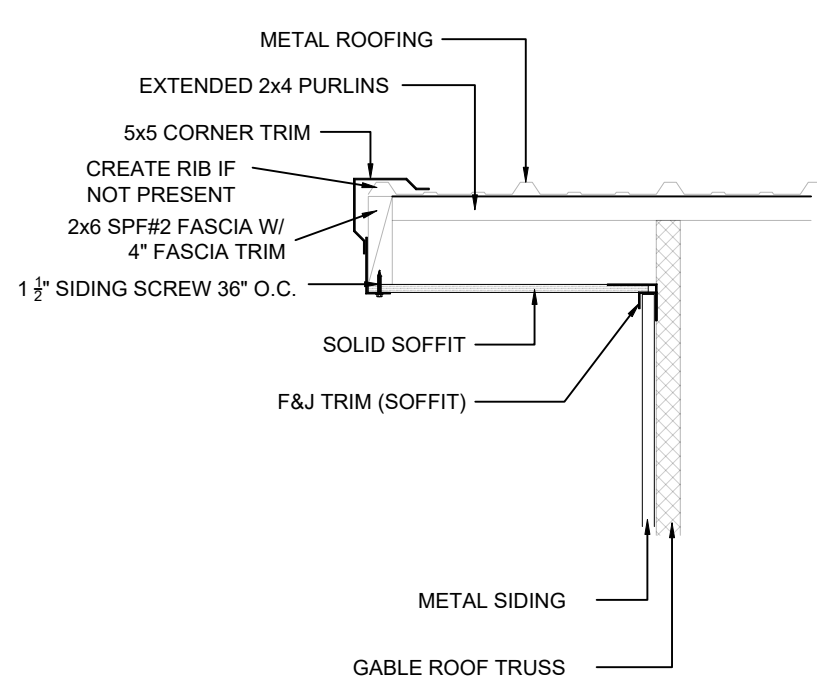


5 RIDGE DETAIL  
 1-1/2" = 1'-0"

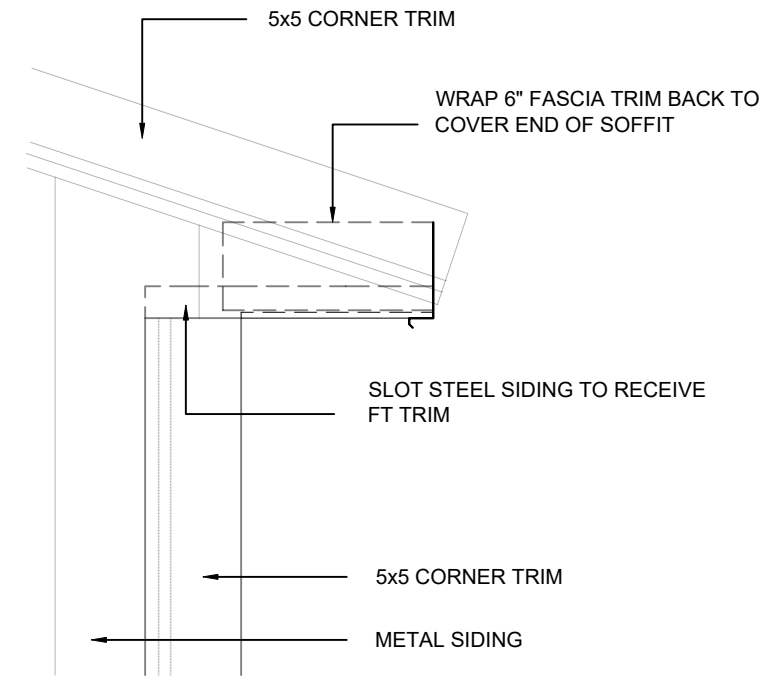


LAKESIDE ENGINEERING  
 Robert G. Harner, PE, PLLC  
 83 Fall Street  
 Seneca Falls, NY 13148  
 Robert@LakesideEng.com  
 www.LakesideEng.com  
 607-725-5824

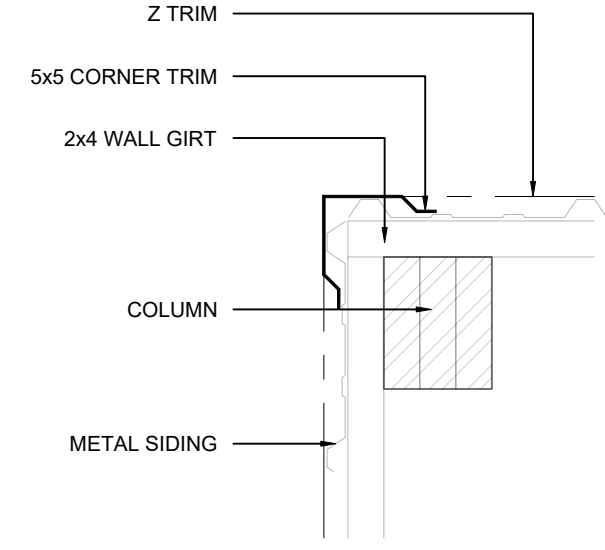
STORAGE BUILDING  
 WILDLIFE RESOLUTIONS  
 757 WARREN ROAD (UNIT 4465)  
 ITHACA, NY 14853



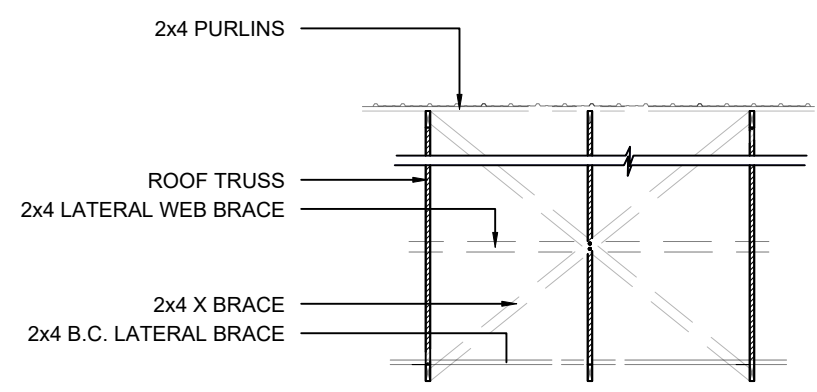
**6** GABLE OHG DETAIL  
 1" = 1'-0"



**7** EAVE CORNER DETAIL  
 1" = 1'-0"



**8** CORNER DETAIL  
 1-1/2" = 1'-0"



**9** X-BRACE DETAIL  
 3/16" = 1'-0"

| FASTENER SCHEDULE  |     |                     |                |
|--------------------|-----|---------------------|----------------|
| ITEM               | QTY | FASTENER            | COMMENTS       |
| SPLASHBOARD        | 6   | 3" x .131 RS HDG    | PER POST       |
| FASCIA             | 3   | 3" x .131 RS HDG    | PER CONNECTION |
| EXT. WALL GIRTS    | 4   | 3" x .131 RS HDG    | PER POST       |
| INTERIOR GIRTS     | 2   | 3" x .131 RS HDG    | PER CONNECTION |
| 2x2 FIRE BLOCKING  | 2   | 3" x .131 RS HDG    | PER CONNECTION |
| PURLINS            | 3   | 3" x .131 RS HDG    | PER CONNECTION |
| TRUSS BRACING      | 2   | 3" x .131 RS HDG    | PER CONNECTION |
| 48" Y BRACE BLOCKS | 8   | 3" x .131 RS HDG    | PER CONNECTION |
| 12" Y BRACE BLOCKS | 8   | 3" x .131 RS HDG    | PER CONNECTION |
| UPLIFT BLOCKS      | 8   | 3" x .131 RS HDG    | PER BLOCK      |
| STUDS              | 2   | 3" x .131 RS HDG    | PER CONNECTION |
| PT SILL PLATE      | 1   | 1/4"x 3 1/4" TAPCON | 48" O.C.       |
| 1x3 FURRING STRIPS | 1   | 2" x .113 RS HDG    | PER CONNECTION |
| 7/16" OSB          | 1   | 2" x .113 RS HDG    | 6" O.C.        |

| MARK | DATE | DESCRIPTION |
|------|------|-------------|
|      |      |             |
|      |      |             |
|      |      |             |

REVISIONS

PROJECT NO: 20240207  
 DATE: 02/28/2024  
 SCALE: AS SHOWN  
UNAUTHORIZED ALTERATION OR ADDITION TO PLANS BEARING A LICENSED ENGINEER'S OR ARCHITECT'S SEAL IS A VIOLATION OF SECTION 7209 OF THE NEW YORK STATE EDUCATION LAW

DETAILS & SCHEDULE

S501





### AGRICULTURAL DATA STATEMENT

Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance, or subdivision approval requiring municipal review and approval that would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

A. Name of applicant: MIKE A. & CARRIE A. KOPLINKA-LOEHR  
Mailing address: 118 ROSS ROAD  
LANSING, NY 14882

B. Description of the proposed project: MINOR SUBDIVISION: 3 LOTS

C. Project site address: 118 ROSS ROAD Town: LANSING, NY 14882

D. Project site tax map number: 23-1-20

E. The project is located on property:  
 within an Agricultural District containing a farm operation, or RA  
 with boundaries within 500 feet of a farm operation located in an Agricultural District.

F. Number of acres affected by project: ~5 ACRES

G. Is any portion of the project site currently being farmed?  
 Yes. If yes, how many acres \_\_\_\_\_ or square feet \_\_\_\_\_ ?  
 No.

H. Name and address of any owner of land containing farm operations within the Agricultural District and is located within 500 feet of the boundary of the property upon which the project is proposed.  
NONE

I. Attach a copy of the current tax map showing the site of the proposed project relative to the location of farm operations identified in Item H above.

-----  
**FARM NOTE**

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

-----  
Michael A. Koplinka-Loehr 2/7/24  
Name and Title of Person Completing Form Date

## Short Environmental Assessment Form

### Part 1 - Project Information

#### Instructions for Completing

**Part 1 - Project Information.** The applicant or project sponsor is responsible for the completion of Part 1. Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification. Complete Part 1 based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information.

Complete all items in Part 1. You may also provide any additional information which you believe will be needed by or useful to the lead agency; attach additional pages as necessary to supplement any item.

|                                                                                                                                                                                                                                                                                                                                                      |  |                           |                                           |
|------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--|---------------------------|-------------------------------------------|
| <b>Part 1 - Project and Sponsor Information</b>                                                                                                                                                                                                                                                                                                      |  |                           |                                           |
| Minor Subdivision application, Koplinka-Loehr                                                                                                                                                                                                                                                                                                        |  |                           |                                           |
| Name of Action or Project:<br>Minor Subdivision application                                                                                                                                                                                                                                                                                          |  |                           |                                           |
| Project Location (describe, and attach a location map):<br>118 Ross Road, Lansing, NY 14882                                                                                                                                                                                                                                                          |  |                           |                                           |
| Brief Description of Proposed Action:<br>Propose to subdivide ~ 5 acres, which are outside of the Conservation Easement area, along Ross Road, into 3 residential parcels; the 5 acres are part of Town of Lansing Tax Parcel # 23.-1-20                                                                                                             |  |                           |                                           |
| Name of Applicant or Sponsor:<br>Michael A. and Carrie A. Koplinka-Loehr                                                                                                                                                                                                                                                                             |  | Telephone: 607-692-8437   |                                           |
|                                                                                                                                                                                                                                                                                                                                                      |  | E-Mail: mak11@cornell.edu |                                           |
| Address:<br>118 Ross Road                                                                                                                                                                                                                                                                                                                            |  |                           |                                           |
| City/PO:<br>Lansing                                                                                                                                                                                                                                                                                                                                  |  | State:<br>NY              | Zip Code:<br>14882                        |
| 1. Does the proposed action only involve the legislative adoption of a plan, local law, ordinance, administrative rule, or regulation?<br>If Yes, attach a narrative description of the intent of the proposed action and the environmental resources that may be affected in the municipality and proceed to Part 2. If no, continue to question 2. |  |                           | NO<br><input checked="" type="checkbox"/> |
|                                                                                                                                                                                                                                                                                                                                                      |  |                           | YES<br><input type="checkbox"/>           |
| 2. Does the proposed action require a permit, approval or funding from any other government Agency?<br>If Yes, list agency(s) name and permit or approval:                                                                                                                                                                                           |  |                           | NO<br><input checked="" type="checkbox"/> |
|                                                                                                                                                                                                                                                                                                                                                      |  |                           | YES<br><input type="checkbox"/>           |
| 3. a. Total acreage of the site of the proposed action?                                                                                                                                                                                                                                                                                              |  | 5 acres                   |                                           |
| b. Total acreage to be physically disturbed?                                                                                                                                                                                                                                                                                                         |  | 0 acres                   |                                           |
| c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor?                                                                                                                                                                                                                               |  | 52 acres                  |                                           |
| 4. Check all land uses that occur on, are adjoining or near the proposed action:                                                                                                                                                                                                                                                                     |  |                           |                                           |
| 5. <input type="checkbox"/> Urban <input type="checkbox"/> Rural (non-agriculture) <input type="checkbox"/> Industrial <input type="checkbox"/> Commercial <input checked="" type="checkbox"/> Residential (suburban)                                                                                                                                |  |                           |                                           |
| <input type="checkbox"/> Forest <input type="checkbox"/> Agriculture <input type="checkbox"/> Aquatic <input type="checkbox"/> Other(Specify):                                                                                                                                                                                                       |  |                           |                                           |
| <input type="checkbox"/> Parkland                                                                                                                                                                                                                                                                                                                    |  |                           |                                           |

|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 |                                     |                                     |                          |
|-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|-------------------------------------|-------------------------------------|--------------------------|
| 5. Is the proposed action,<br>a. A permitted use under the zoning regulations?<br>b. Consistent with the adopted comprehensive plan?                                                                                                                                                                                                                                                                                                                                                                                                                                                                            | NO                                  | YES                                 | N/A                      |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> | <input type="checkbox"/> |
| 6. Is the proposed action consistent with the predominant character of the existing built or natural landscape?                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |                          |
| 7. Is the site of the proposed action located in, or does it adjoin, a state listed Critical Environmental Area?<br>If Yes, identify: _____                                                                                                                                                                                                                                                                                                                                                                                                                                                                     | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
| 8. a. Will the proposed action result in a substantial increase in traffic above present levels?<br>b. Are public transportation services available at or near the site of the proposed action?<br>c. Are any pedestrian accommodations or bicycle routes available on or near the site of the proposed action?                                                                                                                                                                                                                                                                                                 | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
| 9. Does the proposed action meet or exceed the state energy code requirements?<br>If the proposed action will exceed requirements, describe design features and technologies:<br>_____<br>_____                                                                                                                                                                                                                                                                                                                                                                                                                 | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
| 10. Will the proposed action connect to an existing public/private water supply?<br>If No, describe method for providing potable water: _____<br>_____                                                                                                                                                                                                                                                                                                                                                                                                                                                          | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
| 11. Will the proposed action connect to existing wastewater utilities?<br>If No, describe method for providing wastewater treatment: _____<br>_____                                                                                                                                                                                                                                                                                                                                                                                                                                                             | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
| 12. a. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commissioner of the NYS Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?<br><br>b. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory? | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |
| 13. a. Does any portion of the site of the proposed action, or lands adjoining the proposed action, contain wetlands or other waterbodies regulated by a federal, state or local agency?<br><br>b. Would the proposed action physically alter, or encroach into, any existing wetland or waterbody?<br>If Yes, identify the wetland or waterbody and extent of alterations in square feet or acres: _____<br>_____<br>_____                                                                                                                                                                                     | NO                                  | YES                                 |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input type="checkbox"/>            | <input checked="" type="checkbox"/> |                          |
|                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                                 | <input checked="" type="checkbox"/> | <input type="checkbox"/>            |                          |

14. Identify the typical habitat types that occur on, or are likely to be found on the project site. Check all that apply:

Shoreline    Forest    Agricultural/grasslands    Early mid-successional  
 Wetland    Urban    Suburban

15. Does the site of the proposed action contain any species of animal, or associated habitats, listed by the State or Federal government as threatened or endangered?  
 Lake Sturgeon      NO      YES  
     

16. Is the project site located in the 100-year flood plan?  
 NO      YES  
     

17. Will the proposed action create storm water discharge, either from point or non-point sources?  
 If Yes,      NO      YES  
        
 a. Will storm water discharges flow to adjacent properties?  
        
 b. Will storm water discharges be directed to established conveyance systems (runoff and storm drains)?  
        
 If Yes, briefly describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

18. Does the proposed action include construction or other activities that would result in the impoundment of water or other liquids (e.g., retention pond, waste lagoon, dam)?  
 If Yes, explain the purpose and size of the impoundment:  
 \_\_\_\_\_  
 \_\_\_\_\_

19. Has the site of the proposed action or an adjoining property been the location of an active or closed solid waste management facility?  
 If Yes, describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

20. Has the site of the proposed action or an adjoining property been the subject of remediation (ongoing or completed) for hazardous waste?  
 If Yes, describe:  
 \_\_\_\_\_  
 \_\_\_\_\_

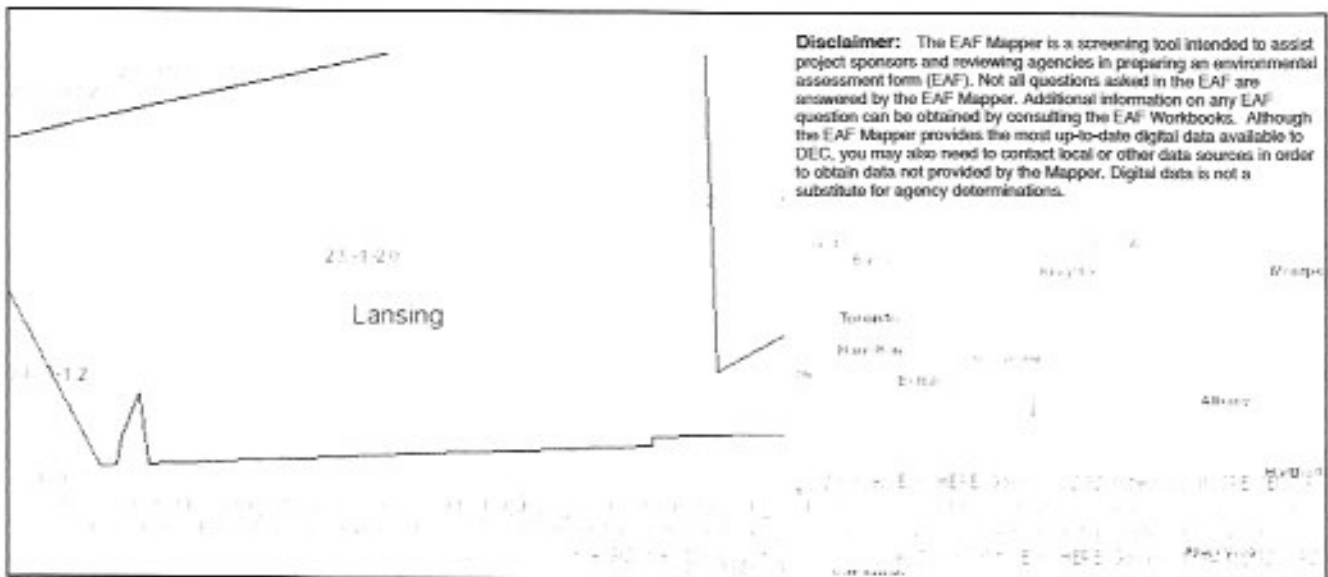
**I CERTIFY THAT THE INFORMATION PROVIDED ABOVE IS TRUE AND ACCURATE TO THE BEST OF MY KNOWLEDGE**

Applicant/sponsor/name: Michael A. and Carrie A. Koplinka-Loehr      Date: 2/7/2024  
 Signature: Michael A. Koplinka-Loehr      Title: Owners

PRINT FORM

## EAF Mapper Summary Report

Wednesday, February 7, 2024 10:42 PM



|                                                                                               |                                                                                                                                   |
|-----------------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| Part 1 / Question 7 [Critical Environmental Area]                                             | No                                                                                                                                |
| Part 1 / Question 12a [National or State Register of Historic Places or State Eligible Sites] | No                                                                                                                                |
| Part 1 / Question 12b [Archeological Sites]                                                   | No                                                                                                                                |
| Part 1 / Question 13a [Wetlands or Other Regulated Waterbodies]                               | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| Part 1 / Question 15 [Threatened or Endangered Animal]                                        | Yes                                                                                                                               |
| Part 1 / Question 15 [Threatened or Endangered Animal - Name]                                 | Lake Sturgeon                                                                                                                     |
| Part 1 / Question 16 [100 Year Flood Plain]                                                   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| Part 1 / Question 20 [Remediation Site]                                                       | No                                                                                                                                |

Existing Subcatchment - 1 (ESC-1)  
 Existing Site Conditions - Area = 404,571 SF (9.29-AC)

Surface Conditions & Soils:  
 18% CB, Conesus Gravelly Silt Loam, LbS, Lansing Gravelly Silt Loam  
 Hydrologic Soil Group (HSG) B  
 82.0% ICB, Illion Silty Clay Loam, OaA, Ovd Silt Loam  
 Hydrologic Soil Group (HSG) C

Runoff Curve Number =  
 CN 77 - 2-AC Lds, 12% Impv, Good HSG C Soils  
 CN 65 - 2-AC Lds, 12% Impv, Good HSG B Soils  
 CN 65 - Woods, Good HSG B Soils  
 CN 70 - Woods, Good HSG C Soils

Overland Stormwater Runoff - Longest Flowpath - 1,070-LF  
 Sheet Flow, Short Grass, 100 LF @ S = 2% avg. +/-  
 Shallow Conc. Flow, Grassed Waterway, 123 LF @ S = 2% avg. +/-  
 Shallow Conc. Flow, Wooded, 847 LF @ S = 3.3% avg. +/-

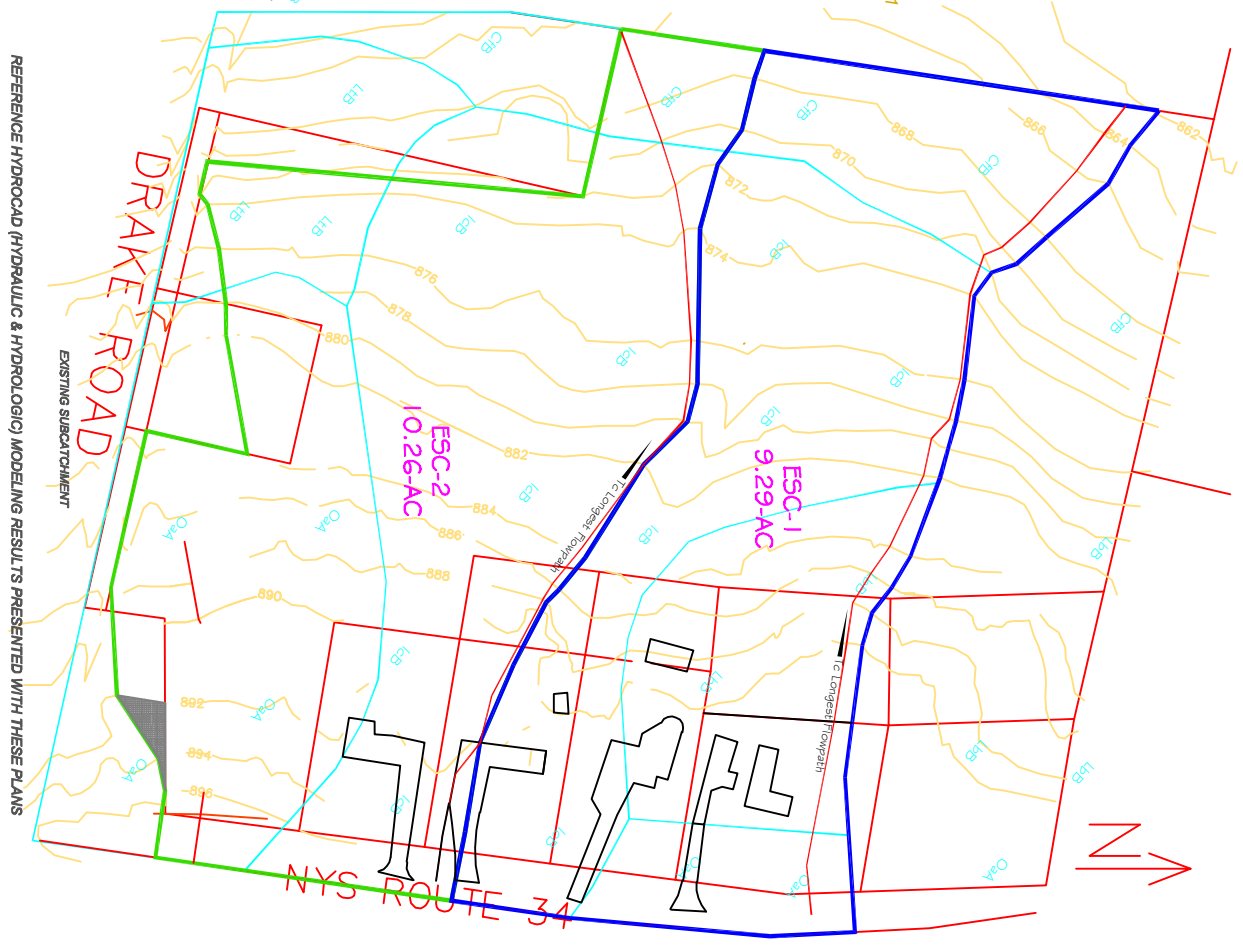
To Design Point 1 - (DPE 1)

Existing Subcatchment - 2 (ESC-2)  
 Existing Site Conditions - Area = 446,866 SF (10.26-AC)

Surface Conditions & Soils:  
 12% CB, Conesus Gravelly Silt Loam  
 Hydrologic Soil Group (HSG) B  
 82% ICB, Illion Silty Clay Loam, OaA, Ovd Silt Loam  
 Hydrologic Soil Group (HSG) C  
 6% LB, Lordstown, Shallow  
 Hydrologic Soil Group (HSG) D

Runoff Curve Number =  
 CN 70 - Woods, Good HSG C Soils  
 CN 74 - >75% Grass Cover, Good HSG C Soils  
 CN 73 - Brush, Good HSG D Soils  
 CN 77 - 2-AC Lds, 12% Impv, Cover, Good HSG C Soils  
 CN 65 - Woods, Good HSG B Soils  
 CN 98 - Paved Parking, Good HSG C Soils

Overland Stormwater Runoff - Longest Flowpath - 1,106 LF  
 Sheet Flow, Short Grass, 100 LF @ S = 2% avg. +/-  
 Shallow Conc. Flow, Grassed Waterway, 208 LF @ S = 2% avg. +/-  
 Shallow Conc. Flow, Wooded, 798 LF @ S = 4.3% avg. +/-



REFERENCE HYDROCAD (HYDRAULIC & HYDROLOGIC) MODELING RESULTS PRESENTED WITH THESE PLANS

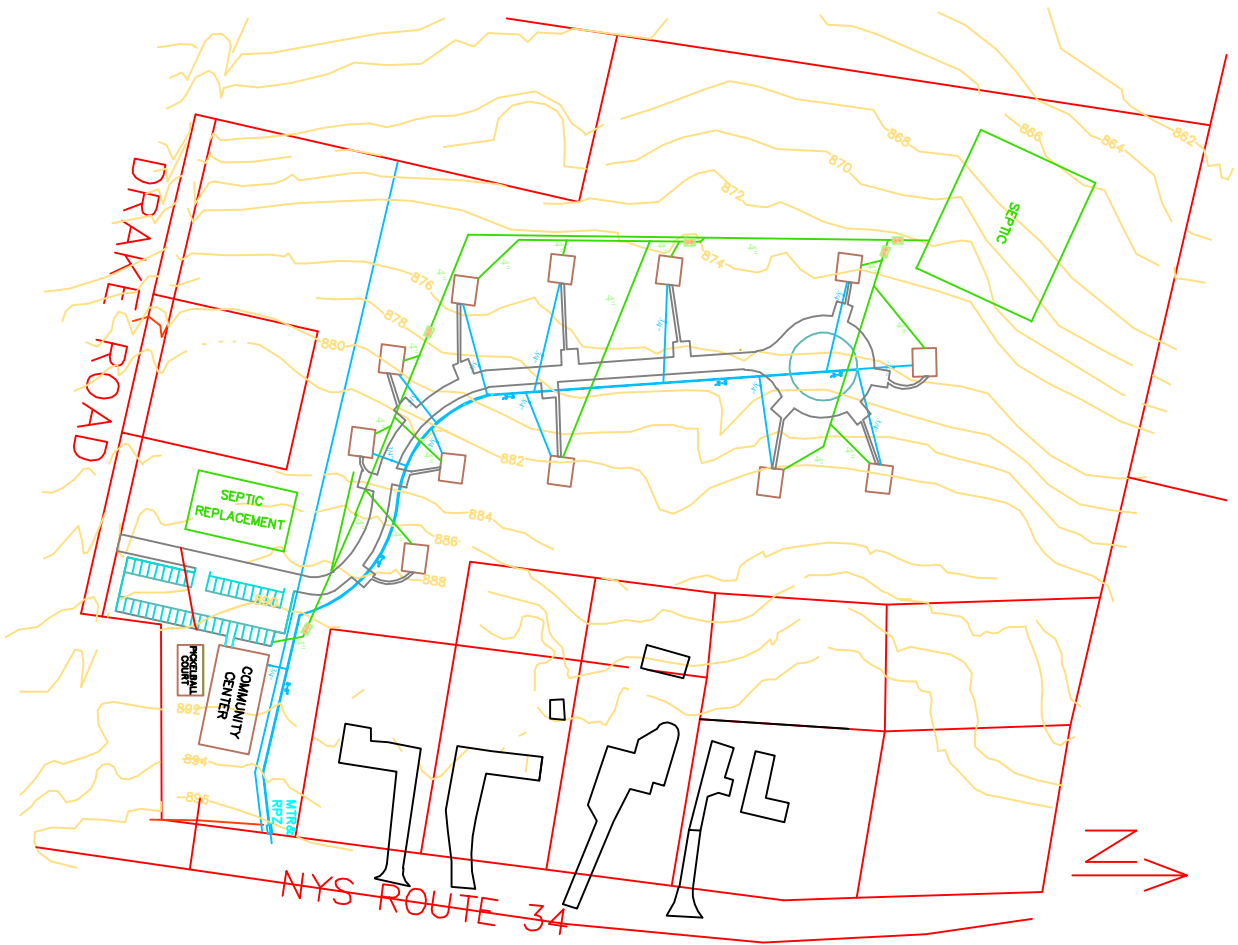
**EAST LAKE COTTAGES LEISURE VILLAGE**  
 HYDRAULIC AND HYDROLOGIC WORKSHEET  
 EXISTING CONDITIONS  
 TOWN OF LANSING, LANSING, NEW YORK

DATE: 03/22/2024  
 TIME: 11:27  
 PROJECT NO.:  
 SHEET NO.: SW-6



LAWRENCE FARRONI, P.E., L.R.  
 650 POWERS ROAD N.  
 KING FERRY, NEW YORK 13061  
 Phone: (517) 861-0940

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |
| 5   |      |             |



**EAST LAKE COTTAGES LEISURE VILLAGE UTILITIES**  
 TOWN OF LANSING, LANSING, NEW YORK



LAWRENCE FABBIONI, P.E., L.R.  
 650 POWERS ROAD N.  
 KING FERRY, NEW YORK 13061  
 Phone: (607) 861-0040

| NO. | DATE | DESCRIPTION |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |
| 5   |      |             |



Engineer's Report-March 2024  
 East Lake Cottages Leisure Village –12 Single Family Units + Community  
 Building With Small Public Water System, Private Sewer, Stormwater Systems

Land Use

The project will be owned by Janet Jonson, constructed, and managed by IJConstruction2,LLC. The 16.15 acre property is at Drake Road and East Shore Drive Rt.34 Lansing, New York Town of Lansing tax parcel 37.1-1-9.2. The land is predominantly forested. The proposed 12 cottage units will be small 1000sf footprint units. Successful prototype buildings and communities in Caroline Hector. The new community will be served by municipal water and private on-site sewage. A SWPPP is being prepared and submitted to the Town and subsequently to the State.

Soil and Site Conditions

The area proposed for the small homes is heavily wooded positively drained and suitable for the proposed building and driveway construction. The soils are listed in the EAF and Stormwater report.

Site Soils: The predominant soil types throughout the site are Conesus Lansing gravely silt loams (CfB and LbB) and Silty clay loams and silt loam (IcB, LtB, and OaA) in the hydrologic soil groups B and C. Soils data indicates a permeability rate of between 0.2-2.0 in/hr. Soils data was obtained from the USDA Web Soil Survey.

Site Topography: The site as a whole has a flat uniform slope of between 2-4% primarily moving downhill from east to west. The area of disturbance will be approximately 1.51-AC.

Transportation

1. There will be no highway dedication associated with this project.
2. The driveway will be constructed of crushed stone or gravel then topped with a double layer of oil and stone treatment.
3. A driveway entrance off Drake road will allow for easier entrance and exit on a low volume road as compared with the alternative East Shore Drive . Storm water will be transported to three bioretention areas distributed throughout the site.
4. Transit route for TCAT regularly services the population through Lansing to and from commercial and employment area farther south in the Town of Lansing, Cornell, and the City of Ithaca. The additional vehicle traffic will be inconsequential at 120 vehicles daily and 12 vehicles per hour estimated in the morning and evening peak period. The farmer's market most likely on Saturdays could generate another 50 vehicle trips in and out.

Public Services

1. Based on the prototype populations little demand will be put on school Services. It is estimated that at most 5 children might be in that age group that could be serviced by Lansing Elementary or Middle and High School by bus.
2. Increased demand will be present for fire protection and emergency medical care well within the capacity and response area of the Lansing Fire District. The ponds will create an additional source of water for fire fighting in the general area.

Lighting

Only low level lighting of walks and building entrances are anticipated.

Utility Services

1,2,3. Electricity, telephone, water, and cable will require only minor extension from existing service lines along East Shore Drive to serve the new 12 units and maintenance building.

Flood Hazard

All buildings are well above the 100 year flood plain..

Agriculture

This property is not part of an Ag District. The development planned is well removed from any agriculture or horse rearing activities. There should be no conflict of noise or odors.

Sewerage

The sewer plan for the private site will be reviewed by the Tompkins County Health Department Overall daily loads will be less than 1000 gallons per day. The central system for the property with one owner will be a collection system consisting of a 1500 gallon two compartment septic tank with filter for four cottages draining to a 4"SDR35 PVC line running to a second 1500 gallon septic tank prior to entering a distribution box feeding either a sand filter followed by an adsorption field or alternatively an advanced Elgin module system in accordance with State DEC regulations

Water System

The distribution system will be a NSF approved high density polyethylene 2 inch pipe loop in the same trench with a ¾" service to an individual dwelling and 1" service line to the community building as shown on the utility plan circling the site and with isolation gate valves for reliability and ability to feed water in two directions and for easy access.

General Information

- a. The water system will be supplied by a service connection to the Southern Cayuga Lake Intermunicipal Commission (Bolton Point) to a hot box housing a master meter and backflow preventer. The site plan anticipates four crossings of the sewer service lines and the water distribution lines. These crossings should separate the water and sewer lines by 18 inches vertically with any water joints at least 10 feet horizontally distant.
- b. The owner of proposed project is Janet Jonson, IJConstruction2,LLC, 2 Jon Stone Circle, Ithaca, New York 14850

Extent of Water Works System

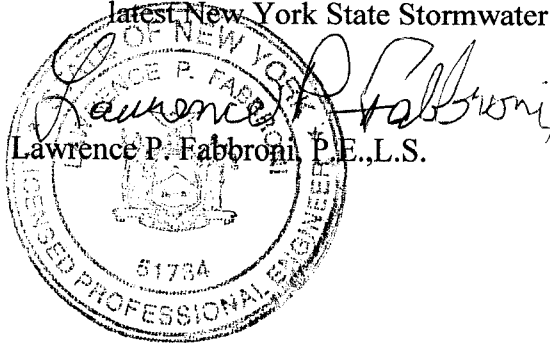
- a. The total build out is the 12 small homes and maintenance building with an expected population of 24 people. The maximum daily water use expected based

on 175 prototype units in Caroline and Hestor New York is an average of 80 gallons per unit (see attached records). This totals 960 total gallons per day.

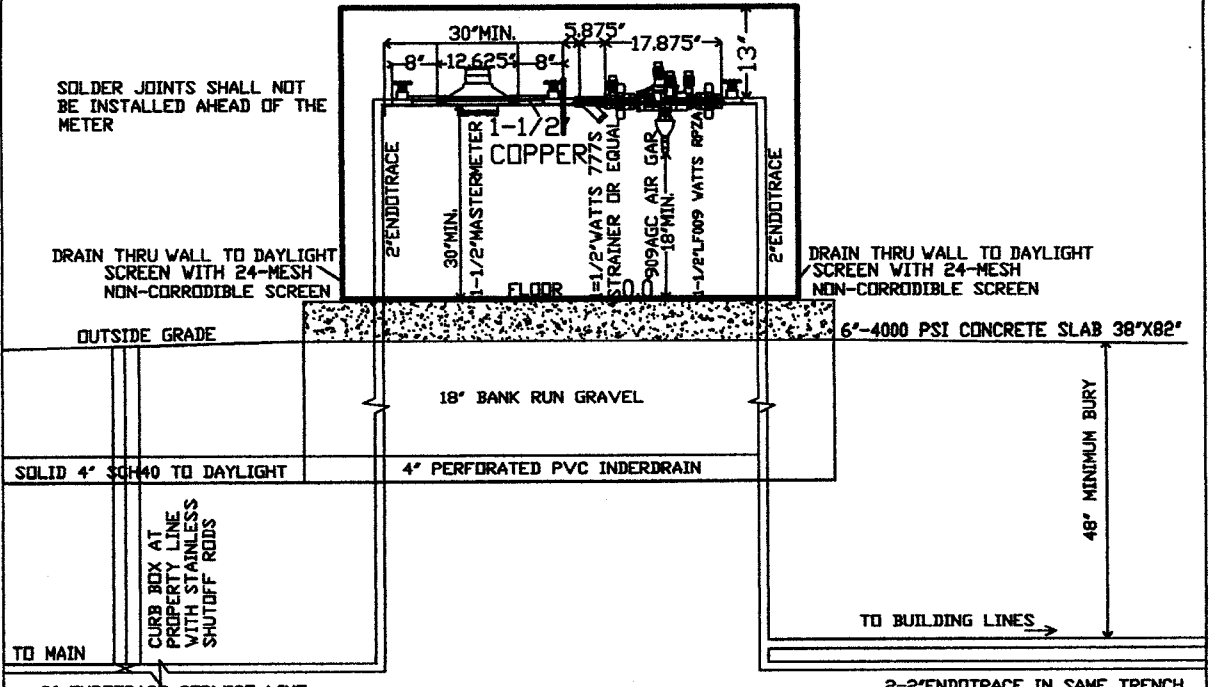
- b. The surrounding general area is not expected to change in any dramatic fashion from its residential or open nature in the future given the large acreages north of Gul Stream.

Stormwater Quality & Quantity

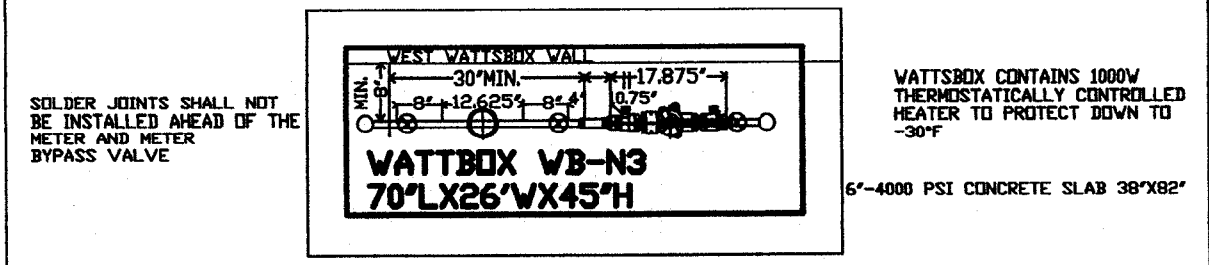
A complete SWPPP is being prepared for this project in compliance with the latest New York State Stormwater Regulations.



# WATTBOX WB-N3 70" LX 26" WX 45" H



## EAST ELEVATION



## PLAN

NOTE: BACKFLOW PREVENTOR LOCATION IS IN WATTS HOT BOX SHOWN ON SITE PLAN



PLUMBING DETAILS  
RPZ & ACCESSORIES

**PROCEDURES FOR LEAKAGE TESTING AND DISINFECTION OF PLANNED WATER DISTRIBUTION SYSTEM EXTENSION OF PRIVATE SERVICE ON TAX PARCEL 37.1-1-9.2 ON THE WEST SIDE OF SR 34 IN THE TOWN OF LANSING FOR A PROJECT TO BE WHOLLY OWNED BY JANET JONSON AND MANAGED BY LISA BONNIWELL**

**WATERMAIN PRESSURE & LEAKAGE TESTING**

Concurrent tests for pressure and leakage shall be performed in accordance with current ANSI/AWWA Specification C605-05. Tests for leakage and pressure shall run concurrently. All pipelines shall be tested hydrostatically for two (2) hours at a pressure of at least 100PSI (note AWWA STD.) in all portions of the line being tested. Any damaged or defective pipe, fittings, or valves disclosed by the pressure test shall be repaired or replaced and the test repeated until an acceptable test is obtained.

The allowable leakage shall be tested and determined as outlined in AWWA C605-05, Sections 7.3.3, 7.3.4, 7.3.5, and 7.3.6. If any pipe section has a leakage greater than the allowable amount, the Contractor shall, at his own expense, locate and repair the defective material. All visible leaks, regardless of amount, shall be repaired.

Leakage shall not exceed that allowed in the following table:

**ALLOWABLE LEAKAGE FOR PIPE IN GALLONS PER HOUR PER 1000 FEET**

| Pipe Size | Test Pressure at Lowest Point in Line (PSI) |      |      |
|-----------|---------------------------------------------|------|------|
|           | 50                                          | 75   | 100  |
| 2"        | 0.20                                        | 0.25 | 0.29 |

Other test pressures

$$\text{Quantity of makeup water in GalPH} = \frac{\text{Length tested(ft.)} \times \text{Diameter(in.)} \times \text{sq.root of Pressure}}{148,000}$$

**PIPE DISINFECTION**

All pipe and fittings connected to and forming part of a potable water supply shall be sterilized in a manner acceptable to the Engineer. Sterilization shall be accomplished after the pipe has passed the hydrostatic tests. The method proposed by the Contractor shall be in full accordance with the requirements of the ANSI/AWWA Specification C651 and County Health Department.

All new piping shall be filled with not less than fifty (50), nor more than seventy-five (75) parts per million (ppm) of available chlorine and held in contact for not less than twenty-four (24) hours. Final tests after twenty-four (24) hours contact time shall show a minimum residual chlorine content of twenty-five (25) ppm in all parts of the system. All chlorine introduced into the system shall be totally dissolved. The introduction of solid hypochlorite directly into the system is prohibited.

Sample chlorine solution for disinfection work

Material Required for 500 Gallons of solution

| Solution Strength                                 | 50ppm | 75ppm |
|---------------------------------------------------|-------|-------|
| Calcium Hypochlorite (lbs.)                       | 0.3   | 0.45  |
| Laundry Bleach(5.25% available chlorine)(gallons) | 0.5   | 0.75  |

After the main has been disinfected and flushed three (3) samples of water shall be collected from the end of the main segment tested (Microbac or other certified custody) and analyzed for total coliform in accordance with the approved NYS Department of Health procedures. Analysis shall be performed by a NYSDOH approved laboratory. If drinking water standards for total coliform are not met. The sterilization procedures shall be repeated.



Reference  
Polyethylene (PE) SDR Pressure Rated Tube

**Polyethylene (PE) SDR Pressure Rated Tube**

(2306, 3206, 3306) SDR 7, 9, 11.5, 15 C=150

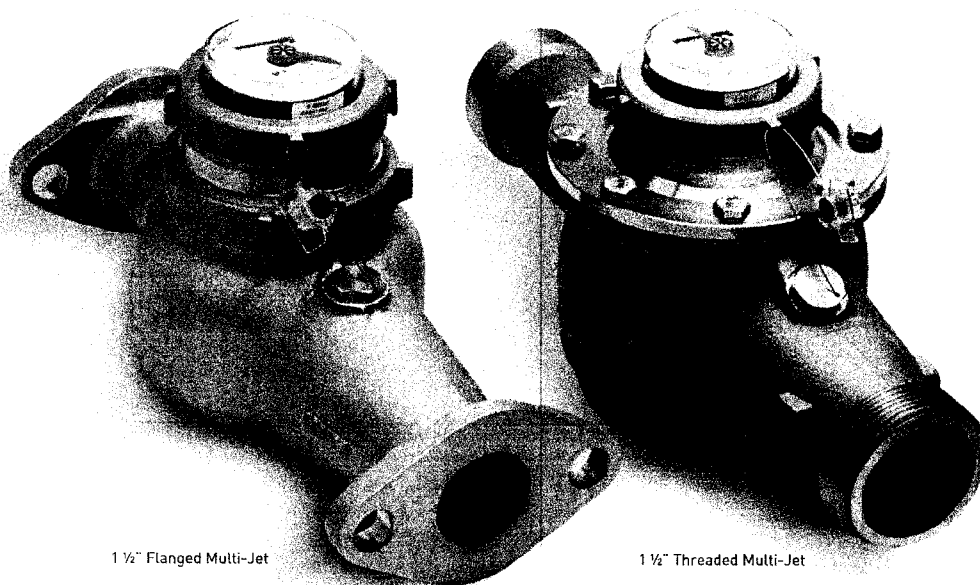
psi Loss per 100 Feet of Pipe (psi/100 ft.)

Sizes 1/2" through 6" Flow 1 through 600 gpm

| Size I.D. | 1/2" 0.622   |          | 3/4" 0.824   |          | 1" 1.049     |          | 1 1/4" 1.380 |          | 1 1/2" 1.610 |          | 2" 2.067     |          | 2 1/2" 2.469 |          | 3" 3.068     |          | 4" 4.026     |          | 6" 6.065     |          |
|-----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|--------------|----------|
| Flow gpm  | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss | Velocity fps | psi Loss |
| 1         | 1.06         | 0.43     | 0.60         | 0.11     | 0.37         | 0.03     | 0.21         | 0.01     | 0.16         | 0.00     | 0.10         | 0.00     | 0.07         | 0.00     | 0.04         | 0.00     | 0.03         | 0.00     | 0.01         | 0.00     |
| 2         | 2.11         | 1.55     | 1.20         | 0.39     | 0.74         | 0.12     | 0.43         | 0.03     | 0.32         | 0.02     | 0.19         | 0.00     | 0.13         | 0.00     | 0.09         | 0.00     | 0.05         | 0.00     | 0.02         | 0.00     |
| 3         | 3.17         | 3.28     | 1.80         | 0.83     | 1.11         | 0.26     | 0.64         | 0.07     | 0.47         | 0.03     | 0.29         | 0.01     | 0.20         | 0.00     | 0.13         | 0.00     | 0.08         | 0.00     | 0.03         | 0.00     |
| 4         | 4.22         | 5.58     | 2.41         | 1.42     | 1.48         | 0.44     | 0.86         | 0.12     | 0.63         | 0.05     | 0.38         | 0.02     | 0.27         | 0.01     | 0.17         | 0.00     | 0.10         | 0.00     | 0.04         | 0.00     |
| 5         | 5.28         | 8.43     | 3.01         | 2.15     | 1.86         | 0.66     | 1.07         | 0.17     | 0.79         | 0.08     | 0.48         | 0.02     | 0.34         | 0.01     | 0.22         | 0.00     | 0.13         | 0.00     | 0.06         | 0.00     |
| 6         | 6.34         | 11.81    | 3.61         | 3.01     | 2.23         | 0.93     | 1.29         | 0.24     | 0.95         | 0.12     | 0.57         | 0.03     | 0.40         | 0.01     | 0.26         | 0.01     | 0.15         | 0.00     | 0.07         | 0.00     |
| 7         | 7.39         | 15.71    | 4.21         | 4.00     | 2.60         | 1.24     | 1.50         | 0.33     | 1.10         | 0.15     | 0.67         | 0.05     | 0.47         | 0.02     | 0.30         | 0.01     | 0.18         | 0.00     | 0.08         | 0.00     |
| 8         | 8.45         | 20.12    | 4.81         | 5.12     | 2.97         | 1.58     | 1.72         | 0.42     | 1.26         | 0.20     | 0.76         | 0.06     | 0.54         | 0.02     | 0.35         | 0.01     | 0.20         | 0.00     | 0.09         | 0.00     |
| 9         | 9.50         | 25.01    | 5.41         | 6.37     | 3.34         | 1.97     | 1.93         | 0.52     | 1.42         | 0.24     | 0.86         | 0.07     | 0.60         | 0.03     | 0.39         | 0.01     | 0.23         | 0.00     | 0.10         | 0.00     |
| 10        | 10.56        | 30.40    | 6.02         | 7.74     | 3.71         | 2.39     | 2.15         | 0.63     | 1.58         | 0.30     | 0.96         | 0.09     | 0.67         | 0.04     | 0.43         | 0.01     | 0.25         | 0.00     | 0.11         | 0.00     |
| 11        | 11.61        | 36.26    | 6.62         | 9.23     | 4.08         | 2.85     | 2.36         | 0.75     | 1.73         | 0.35     | 1.05         | 0.11     | 0.74         | 0.04     | 0.48         | 0.02     | 0.28         | 0.00     | 0.12         | 0.00     |
| 12        | 12.67        | 42.59    | 7.22         | 10.84    | 4.45         | 3.35     | 2.57         | 0.88     | 1.89         | 0.42     | 1.15         | 0.12     | 0.80         | 0.05     | 0.52         | 0.02     | 0.30         | 0.00     | 0.13         | 0.00     |
| 14        | 14.78        | 56.64    | 8.42         | 14.42    | 5.20         | 4.45     | 3.00         | 1.17     | 2.21         | 0.55     | 1.34         | 0.16     | 0.94         | 0.07     | 0.61         | 0.02     | 0.35         | 0.01     | 0.16         | 0.00     |
| 16        | 16.89        | 72.52    | 9.63         | 18.46    | 5.94         | 5.70     | 3.43         | 1.50     | 2.52         | 0.71     | 1.53         | 0.21     | 1.07         | 0.09     | 0.69         | 0.03     | 0.40         | 0.01     | 0.18         | 0.00     |
| 18        | 19.01        | 90.17    | 10.83        | 22.95    | 6.68         | 7.09     | 3.86         | 1.87     | 2.84         | 0.88     | 1.72         | 0.26     | 1.21         | 0.11     | 0.78         | 0.04     | 0.45         | 0.01     | 0.20         | 0.00     |
| 20        |              |          | 12.03        | 27.89    | 7.42         | 8.62     | 4.29         | 2.27     | 3.15         | 1.07     | 1.91         | 0.32     | 1.34         | 0.13     | 0.87         | 0.05     | 0.50         | 0.01     | 0.22         | 0.00     |
| 22        |              |          | 13.24        | 33.27    | 8.17         | 10.28    | 4.72         | 2.71     | 3.47         | 1.28     | 2.10         | 0.38     | 1.47         | 0.16     | 0.95         | 0.06     | 0.55         | 0.01     | 0.24         | 0.00     |
| 24        |              |          | 14.44        | 39.08    | 8.91         | 12.07    | 5.15         | 3.18     | 3.78         | 1.50     | 2.29         | 0.45     | 1.61         | 0.19     | 1.04         | 0.07     | 0.60         | 0.02     | 0.27         | 0.00     |
| 26        |              |          | 15.64        | 45.32    | 9.65         | 14.00    | 5.58         | 3.69     | 4.10         | 1.74     | 2.49         | 0.52     | 1.74         | 0.22     | 1.13         | 0.08     | 0.66         | 0.02     | 0.29         | 0.00     |
| 28        |              |          | 16.85        | 51.98    | 10.39        | 16.06    | 6.01         | 4.23     | 4.41         | 2.00     | 2.68         | 0.59     | 1.88         | 0.25     | 1.22         | 0.09     | 0.71         | 0.02     | 0.31         | 0.00     |
| 30        |              |          | 18.05        | 59.05    | 11.14        | 18.24    | 6.44         | 4.80     | 4.73         | 2.27     | 2.87         | 0.67     | 2.01         | 0.28     | 1.30         | 0.10     | 0.76         | 0.03     | 0.33         | 0.00     |
| 35        |              |          |              |          | 12.99        | 24.26    | 7.51         | 6.39     | 5.52         | 3.02     | 3.35         | 0.89     | 2.35         | 0.38     | 1.52         | 0.13     | 0.88         | 0.03     | 0.39         | 0.00     |
| 40        |              |          |              |          | 14.85        | 31.08    | 8.58         | 8.18     | 6.30         | 3.86     | 3.82         | 1.15     | 2.68         | 0.48     | 1.74         | 0.17     | 1.01         | 0.04     | 0.44         | 0.01     |
| 45        |              |          |              |          | 16.71        | 38.62    | 9.65         | 10.17    | 7.09         | 4.80     | 4.30         | 1.42     | 3.02         | 0.60     | 1.95         | 0.21     | 1.13         | 0.06     | 0.50         | 0.01     |
| 50        |              |          |              |          | 18.56        | 46.94    | 10.73        | 12.36    | 7.88         | 5.84     | 4.78         | 1.73     | 3.35         | 0.73     | 2.17         | 0.25     | 1.26         | 0.07     | 0.56         | 0.01     |
| 55        |              |          |              |          | 11.80        | 14.74    | 8.67         | 6.96     | 5.26         | 2.06     | 3.69         | 0.87     | 2.39         | 0.30     | 1.39         | 0.08     | 0.61         | 0.01     |              |          |
| 60        |              |          |              |          | 12.87        | 17.32    | 9.46         | 8.18     | 5.74         | 2.43     | 4.02         | 1.02     | 2.60         | 0.36     | 1.51         | 0.09     | 0.67         | 0.01     |              |          |
| 65        |              |          |              |          | 13.94        | 20.08    | 10.24        | 9.49     | 6.21         | 2.81     | 4.36         | 1.18     | 2.82         | 0.41     | 1.64         | 0.11     | 0.72         | 0.01     |              |          |
| 70        |              |          |              |          | 15.02        | 23.03    | 11.03        | 10.88    | 6.69         | 3.23     | 4.69         | 1.36     | 3.04         | 0.47     | 1.76         | 0.13     | 0.78         | 0.02     |              |          |
| 75        |              |          |              |          | 16.09        | 26.17    | 11.82        | 12.36    | 7.17         | 3.66     | 5.03         | 1.54     | 3.25         | 0.54     | 1.89         | 0.14     | 0.83         | 0.02     |              |          |
| 80        |              |          |              |          | 17.16        | 29.49    | 12.61        | 13.93    | 7.65         | 4.13     | 5.36         | 1.74     | 3.47         | 0.60     | 2.02         | 0.16     | 0.89         | 0.02     |              |          |
| 85        |              |          |              |          | 18.23        | 32.99    | 13.40        | 15.58    | 8.13         | 4.62     | 5.70         | 1.95     | 3.69         | 0.68     | 2.14         | 0.18     | 0.94         | 0.02     |              |          |
| 90        |              |          |              |          | 19.31        | 36.67    | 14.18        | 17.32    | 8.61         | 5.14     | 6.03         | 2.16     | 3.91         | 0.75     | 2.27         | 0.20     | 1.00         | 0.03     |              |          |
| 95        |              |          |              |          |              |          |              |          | 14.97        | 19.14    | 9.08         | 5.68     | 6.37         | 2.39     | 4.12         | 0.83     | 2.39         | 0.22     | 1.06         | 0.03     |
| 100       |              |          |              |          |              |          |              |          | 15.76        | 21.05    | 9.56         | 6.24     | 6.70         | 2.63     | 4.34         | 0.91     | 2.52         | 0.24     | 1.11         | 0.03     |
| 110       |              |          |              |          |              |          |              |          | 17.34        | 25.11    | 10.52        | 7.44     | 7.37         | 3.14     | 4.77         | 1.09     | 2.77         | 0.29     | 1.22         | 0.04     |
| 120       |              |          |              |          |              |          |              |          | 18.91        | 29.49    | 11.47        | 8.74     | 8.04         | 3.68     | 5.21         | 1.28     | 3.02         | 0.34     | 1.33         | 0.05     |
| 130       |              |          |              |          |              |          |              |          | 12.43        | 10.14    | 8.71         | 4.27     | 5.64         | 1.48     | 3.28         | 0.40     | 1.44         | 0.05     |              |          |
| 140       |              |          |              |          |              |          |              |          | 13.39        | 11.63    | 9.38         | 4.90     | 6.08         | 1.70     | 3.53         | 0.45     | 1.55         | 0.06     |              |          |
| 150       |              |          |              |          |              |          |              |          | 14.34        | 13.21    | 10.05        | 5.56     | 6.51         | 1.93     | 3.78         | 0.52     | 1.67         | 0.07     |              |          |
| 160       |              |          |              |          |              |          |              |          | 15.30        | 14.89    | 10.72        | 6.27     | 6.94         | 2.18     | 4.03         | 0.58     | 1.78         | 0.08     |              |          |
| 170       |              |          |              |          |              |          |              |          | 16.25        | 16.65    | 11.39        | 7.01     | 7.38         | 2.44     | 4.28         | 0.65     | 1.89         | 0.09     |              |          |
| 180       |              |          |              |          |              |          |              |          | 17.21        | 18.51    | 12.06        | 7.80     | 7.81         | 2.71     | 4.54         | 0.72     | 2.00         | 0.10     |              |          |
| 190       |              |          |              |          |              |          |              |          | 18.17        | 20.46    | 12.73        | 8.62     | 8.25         | 2.99     | 4.79         | 0.80     | 2.11         | 0.11     |              |          |
| 200       |              |          |              |          |              |          |              |          | 19.12        | 22.50    | 13.40        | 9.48     | 8.68         | 3.29     | 5.04         | 0.88     | 2.22         | 0.12     |              |          |
| 225       |              |          |              |          |              |          |              |          |              |          | 15.08        | 11.78    | 9.76         | 4.09     | 5.67         | 1.09     | 2.50         | 0.15     |              |          |
| 250       |              |          |              |          |              |          |              |          |              |          | 16.75        | 14.32    | 10.85        | 4.98     | 6.30         | 1.33     | 2.78         | 0.18     |              |          |
| 275       |              |          |              |          |              |          |              |          |              |          | 18.43        | 17.08    | 11.93        | 5.94     | 6.93         | 1.58     | 3.05         | 0.22     |              |          |
| 300       |              |          |              |          |              |          |              |          |              |          | 13.02        | 6.97     | 7.56         | 1.86     | 3.33         | 0.25     |              |          |              |          |
| 325       |              |          |              |          |              |          |              |          |              |          | 14.10        | 8.09     | 8.19         | 2.16     | 3.61         | 0.29     |              |          |              |          |
| 350       |              |          |              |          |              |          |              |          |              |          | 15.19        | 9.27     | 8.82         | 2.47     | 3.89         | 0.34     |              |          |              |          |
| 375       |              |          |              |          |              |          |              |          |              |          | 16.27        | 10.54    | 9.45         | 2.81     | 4.16         | 0.38     |              |          |              |          |
| 400       |              |          |              |          |              |          |              |          |              |          | 17.36        | 11.87    | 10.08        | 3.16     | 4.44         | 0.43     |              |          |              |          |
| 425       |              |          |              |          |              |          |              |          |              |          | 18.44        | 13.28    | 10.71        | 3.54     | 4.72         | 0.48     |              |          |              |          |
| 450       |              |          |              |          |              |          |              |          |              |          | 19.53        | 14.76    | 11.34        | 3.93     | 5.00         | 0.54     |              |          |              |          |
| 475       |              |          |              |          |              |          |              |          |              |          |              |          | 11.97        | 4.35     | 5.28         | 0.59     |              |          |              |          |
| 500       |              |          |              |          |              |          |              |          |              |          |              |          | 12.60        | 4.78     | 5.55         | 0.65     |              |          |              |          |
| 550       |              |          |              |          |              |          |              |          |              |          |              |          | 13.86        | 5.70     | 6.11         | 0.78     |              |          |              |          |
| 600       |              |          |              |          |              |          |              |          |              |          |              |          | 15.12        | 6.70     | 6.66         | 0.91     |              |          |              |          |

Note: Dark shaded area of chart indicates velocities over 5' per second. Use with caution  
Velocity of flow values are computed from the general equation V = 408 Q<sup>0.5</sup>

## ■ INTERMEDIATE MULTI-JET METERS



1 1/2" Flanged Multi-Jet

1 1/2" Threaded Multi-Jet

Maximize your revenue stream across a wide range of small commercial applications with Master Meter's Intermediate Multi-jets and capture accurate low flow readings where turbine meters fall short.

### Technical Specifications:

- **AWWA Standard** - Meets or exceeds all sections of AWWA Standard C-708, most recent revision. Optional NSF/ANSI Standard 61 certified no lead main case available.
- **Design/Operation** - Velocity-type flow measurement. Water that is evenly distributed by multiple converging inlet ports flows past an impeller in the measuring chamber, creating an impeller velocity directly proportional to water flow rate. The meter's register integrates that velocity into totalized flow. The register assembly is removable under line pressure permitting seamless, simplified upgrades in reading technology.
- **Measuring Chamber** - The measuring chamber housing and measurement element are built with an advanced synthetic polymer. Measurement surfaces are not wear surfaces, providing sustained accuracy despite the presence of entrained solids in the water. A long life, synthetic sapphire bearing serves as a wear surface with radially balanced water flows. The chamber housing is constructed in two parts to allow access to the impeller. Bottom plates available in Bronze, Cast Iron (CI) or Engineered Plastic.

### Features & Benefits:

- Clean, elegant measurement design is highly sensitive to leaks and low flow while limiting wear for excellent revenue protection.
- Measures with only moving part moving part that is hydro-dynamically balanced on a sapphire bearing to preserve accuracy for the life of the meter.
- Exceptional capabilities for passing entrained solids and operating in environments with high mineral content.
- Proprietary design produces smooth, laminar flow profile for improved, sustained accuracy.
- Rugged basket strainer built from advanced polymer materials for superior wear mitigation.
- Creates an exceptional measurement foundation on which to add Dialog 3G Mobile, FixedLinx, and GridLinx AMI data solutions.
- Accuracy meets or exceeds the AWWA C-708 Standard. Optional NSF Certification Available.





**Technical Specs (Cont'd):**

- **Register Sealing** - Direct read and DIALOG® registers are IP-68 rated, permanently sealed with a scratch resistant glass lens, stainless steel base and wrap-around gasket to prevent intrusion of dirt or moisture. Available in USG, CF or M<sup>3</sup>. Equipped with center mounted low flow leak indicator with high sensitivity resulting from direct one to one linkage to measuring element and large center sweep hand with one hundred (100) clearly marked gradations on the periphery of the dial face.
- **Strainer** - A rugged, 360-degree advance polymer basket strainer protects the critical measuring element from damage. The unique strainer design smoothes the flow of water entering into the meter

creating a laminar flow that is gentle on the meter's internal components. Tough materials operating in a smooth, balanced environment enable the meters to perform more accurately over time. Utilities' investments last longer while capturing more revenue.

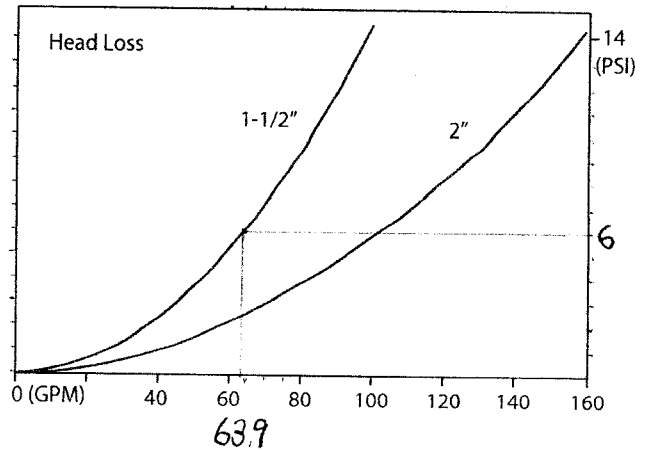
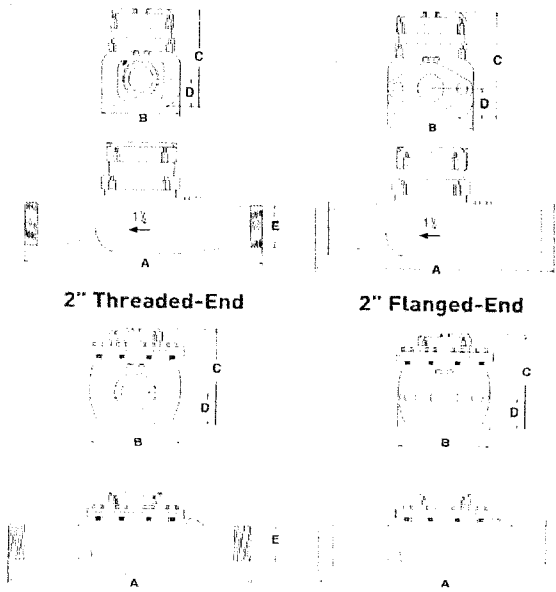
- **Magnetic Drive** - A reliable, direct magnetic drive provides linkage between measurement element and register. No intermediate gearing is required; no gearing is exposed to water.
- **Tamper Detection** - The Master Meter Multi-jet adjusting port and register are concealed to prevent tampering and removal of the register. This design also provides a visual indication of tampering attempts.

| METER OPERATING CHARACTERISTIC/DIMENSION          | 1 1/2" Threaded | 1 1/2" Flanged | 2" Threaded | 2" Flanged |
|---------------------------------------------------|-----------------|----------------|-------------|------------|
| Flow Rating (gpm)                                 | 100             | 100            | 160         | 160        |
| Continuous Flow (gpm)                             | 75              | 75             | 120         | 120        |
| Normal Flow Range (gpm)                           | 5-100           | 5-100          | 8-160       | 8-160      |
| Low Flow (gpm)                                    | 1 1/2           | 1 1/2          | 2           | 2          |
| Maximum Working Pressure (psi)                    | 150             | 150            | 150         | 150        |
| Maximum Working Temperature (°F)                  | 110             | 110            | 110         | 110        |
| Length (A below)                                  | 12 1/2"         | 13"            | 15 1/2"     | 17"        |
| Width (B below)                                   | 5 3/4"          | 5 3/4"         | 5 3/4"      | 5 3/4"     |
| Height, standard register with lid (C below)      | 6 3/4"          | 6 3/4"         | 7 3/4"      | 7 3/4"     |
| Height with DIALOG register                       | 7 3/4"          | 7 3/4"         | 8 3/4"      | 8 3/4"     |
| Height, bottom to center line (D below)           | 1 3/4"          | 1 3/4"         | 2 3/4"      | 2 3/4"     |
| Meter Casing Spuds, Nominal Threadsize* (E below) | 2"              | N/A            | 2 1/2"      | N/A        |
| Weight (lbs)                                      | 11              | 12             | 20          | 24         |
| Packed To Carton                                  | 1               | 1              | 1           | 1          |
| Carton Weight (lbs)                               | 12              | 14             | 22          | 26         |

1 1/2" Threaded-End

1 1/2" Flanged-End

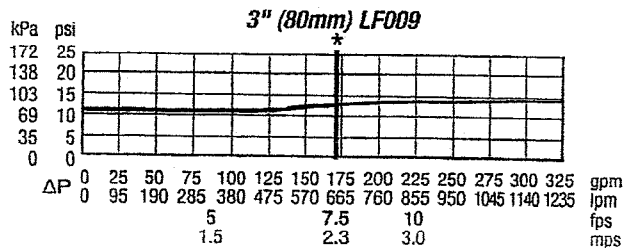
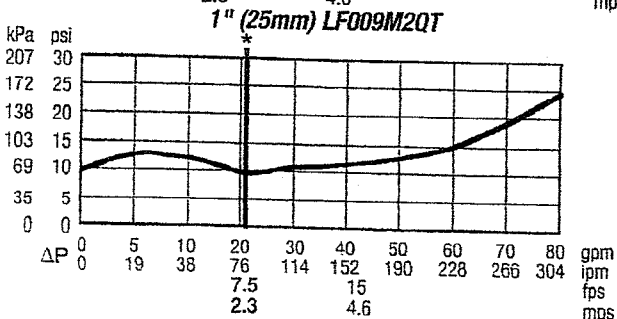
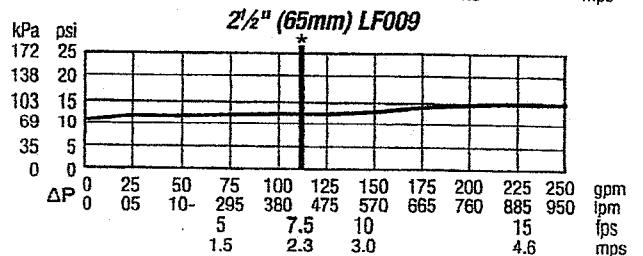
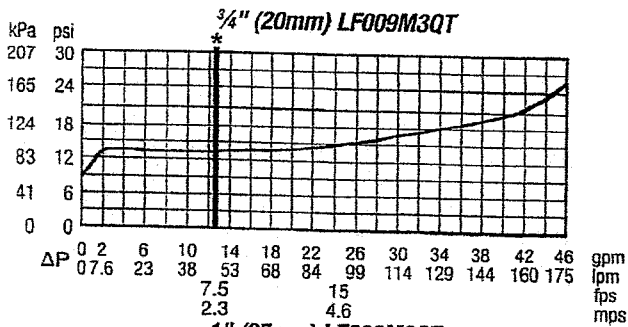
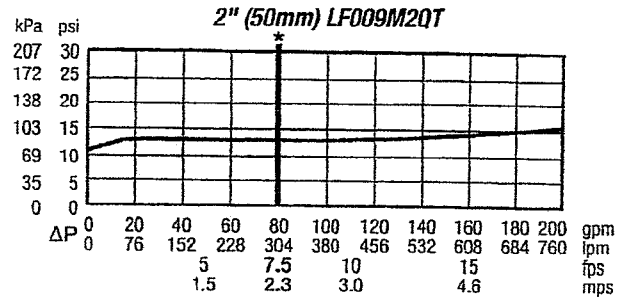
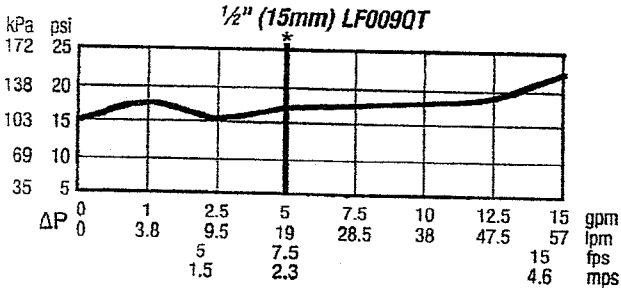
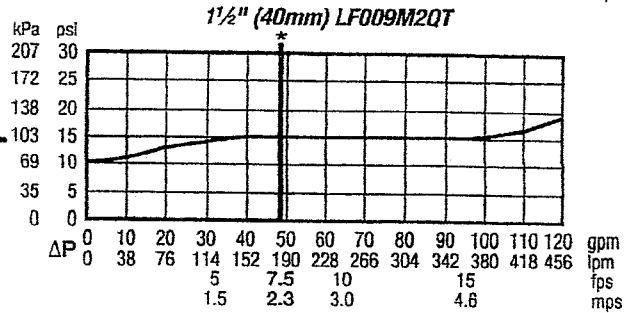
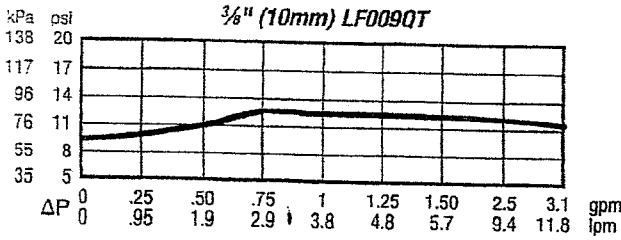
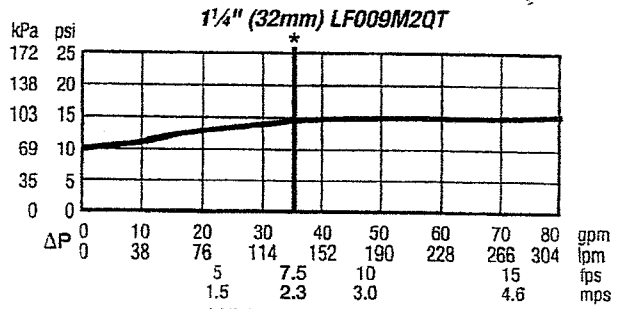
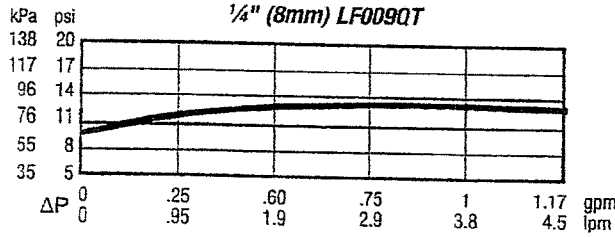
Accuracy and Head Loss Chart



### Capacity

Performance as established by an independent testing laboratory.

\*Typical maximum system flow rate (7.5 feet/sec., 2.3 meters/sec.)



A Watts Water Technologies Company

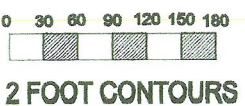
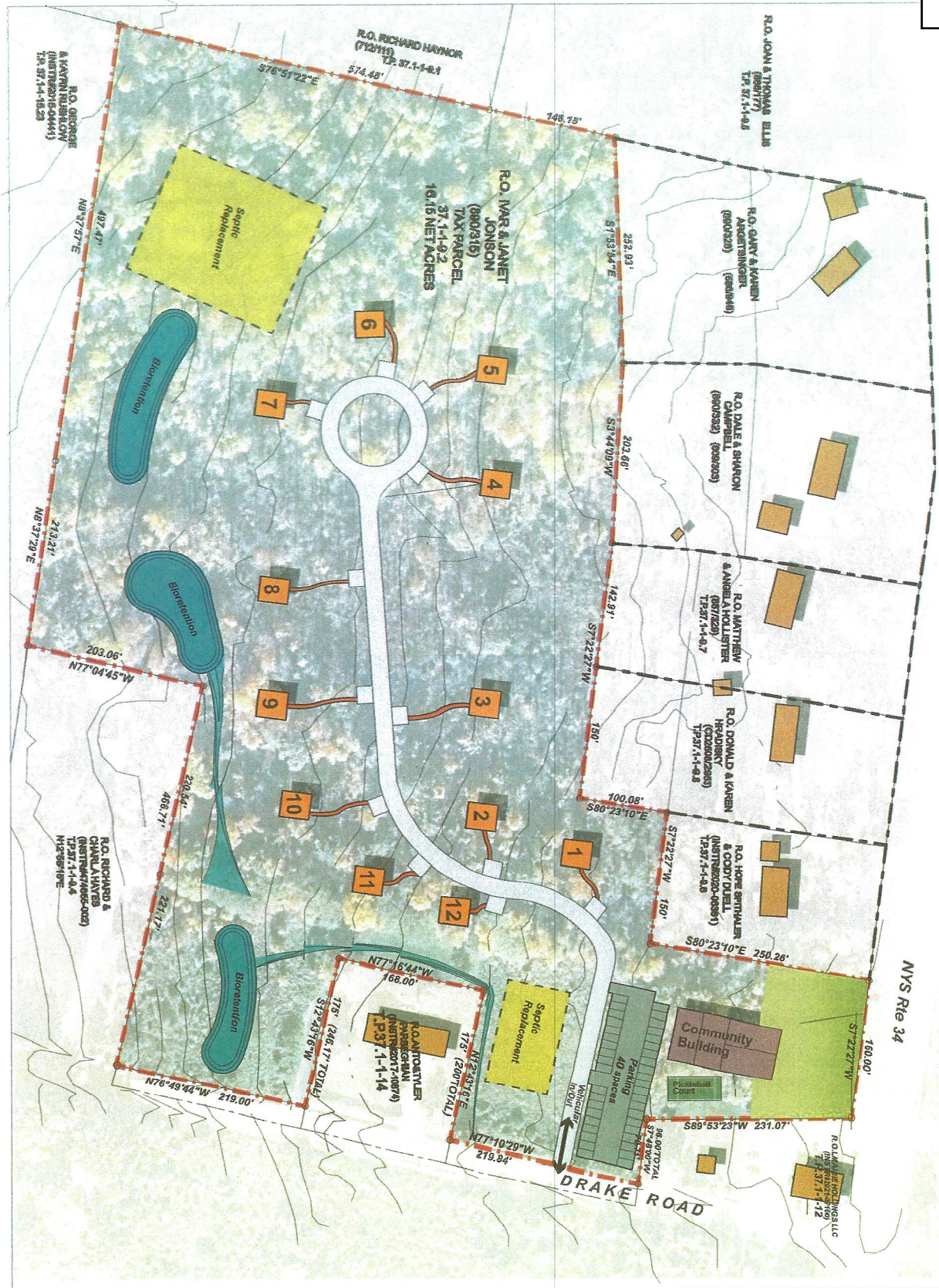


ISO 9001-2008 CERTIFIED

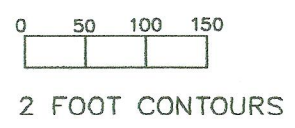
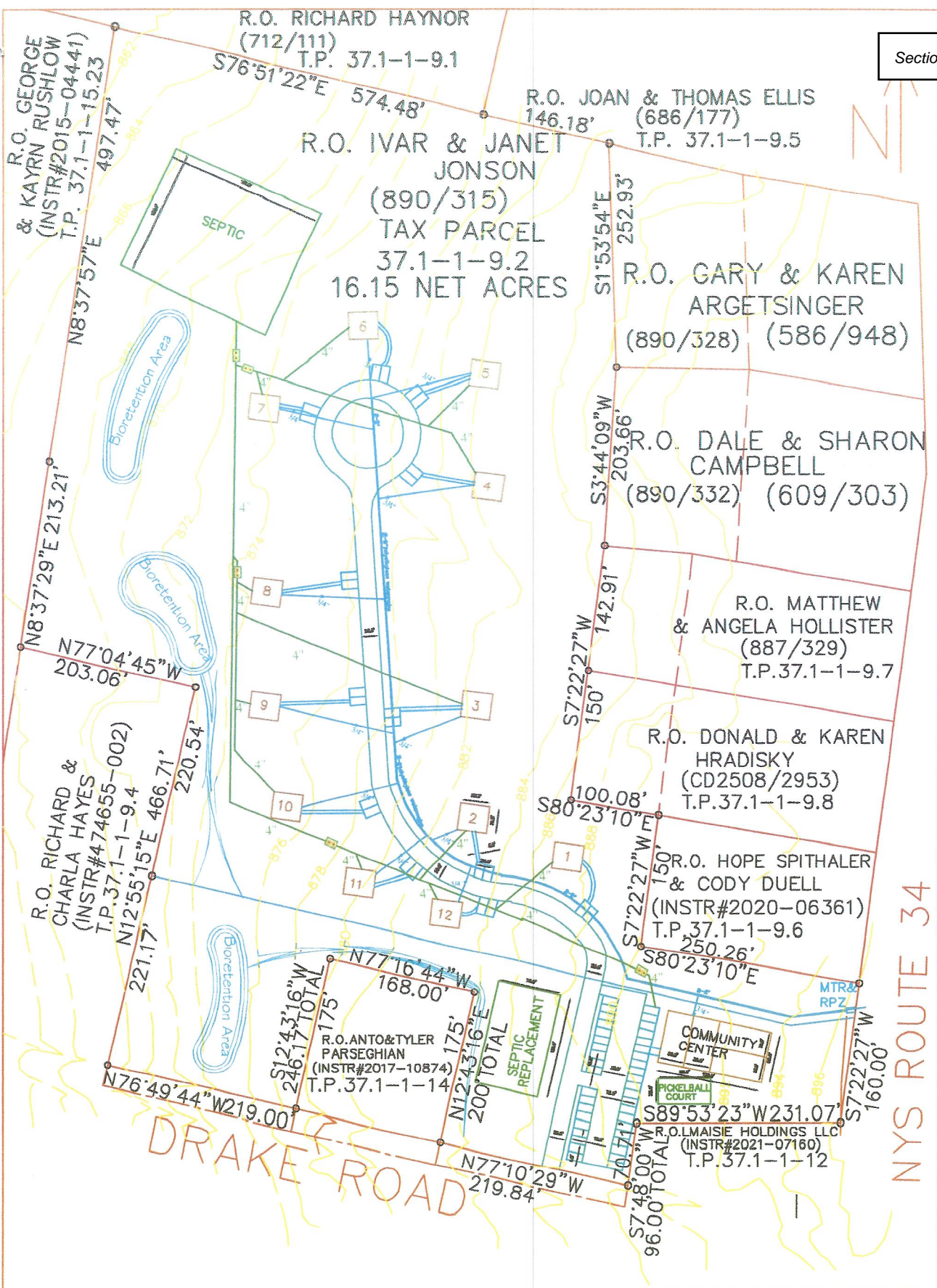
USA: Tel: (978) 688-1811 • Fax: (978) 794-1848 • www.watts.com  
 Canada: Tel: (905) 332-4090 • Fax: (905) 332-7068 • www.watts.ca

ES-LF009 1318

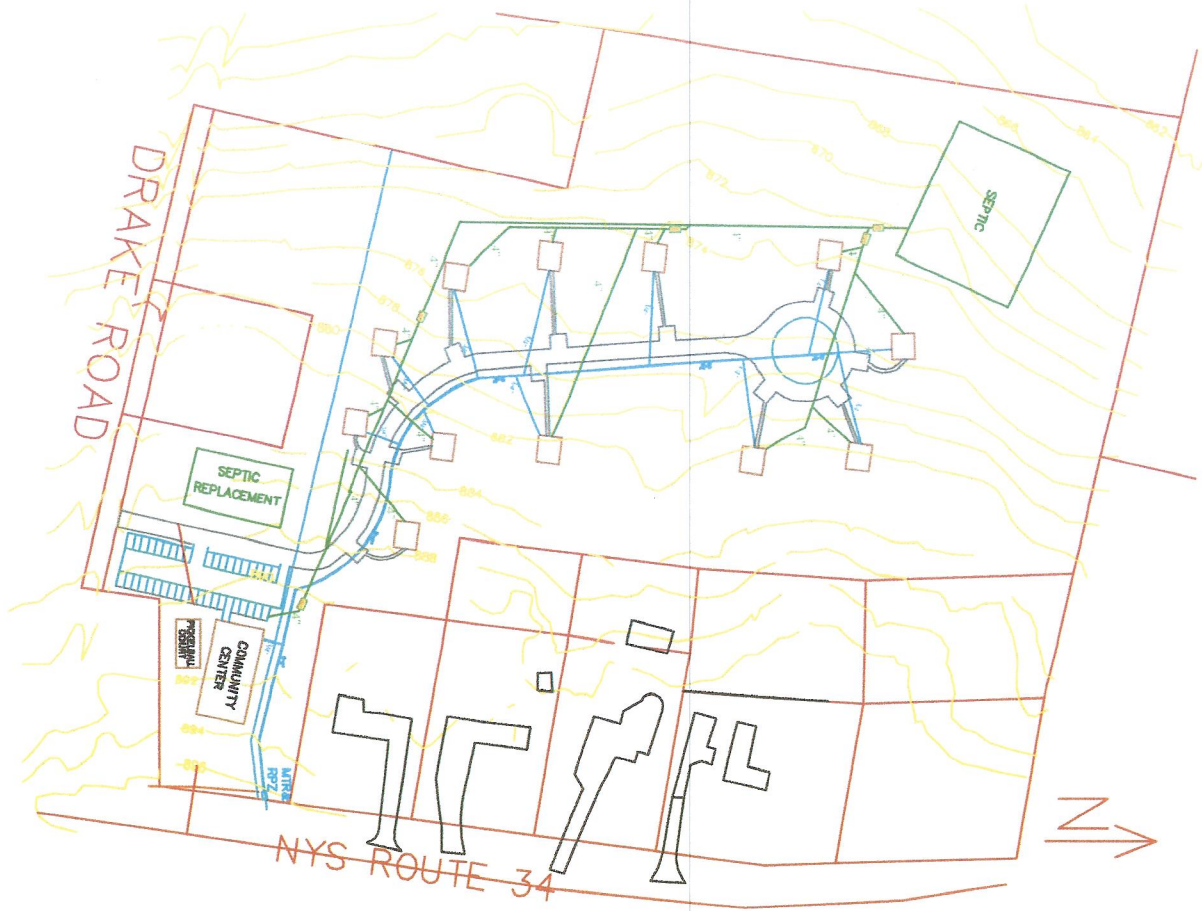
© 2013 Watts



|                                                        |                                           |                                                         |
|--------------------------------------------------------|-------------------------------------------|---------------------------------------------------------|
| TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK |                                           |                                                         |
| <b>EAST LAKE COTTAGES LEISURE VILLAGE</b>              |                                           |                                                         |
| OWNER:<br>JANET<br>JONSON                              | SCALE AS<br>SHOWN<br>DATE 3-18-24<br>REV. | DESIGN BY:<br>L. FABBRONI<br>NYSPE#51734<br>NYSLS#49682 |



|                                                        |                                         |                                                         |
|--------------------------------------------------------|-----------------------------------------|---------------------------------------------------------|
| TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK |                                         |                                                         |
| EAST LAKE COTTAGES LEISURE VILLAGE                     |                                         |                                                         |
| OWNER:<br>JANET JONSON                                 | SCALE AS SHOWN<br>DATE: 3-18-24<br>REV. | DESIGN BY:<br>L. FABBRONI<br>NYSPE#51734<br>NYSLS#49682 |



**EAST LAKE COTTAGES LEISURE VILLAGE UTILITIES**

TOWN OF LANISING, LANISING, NEW YORK

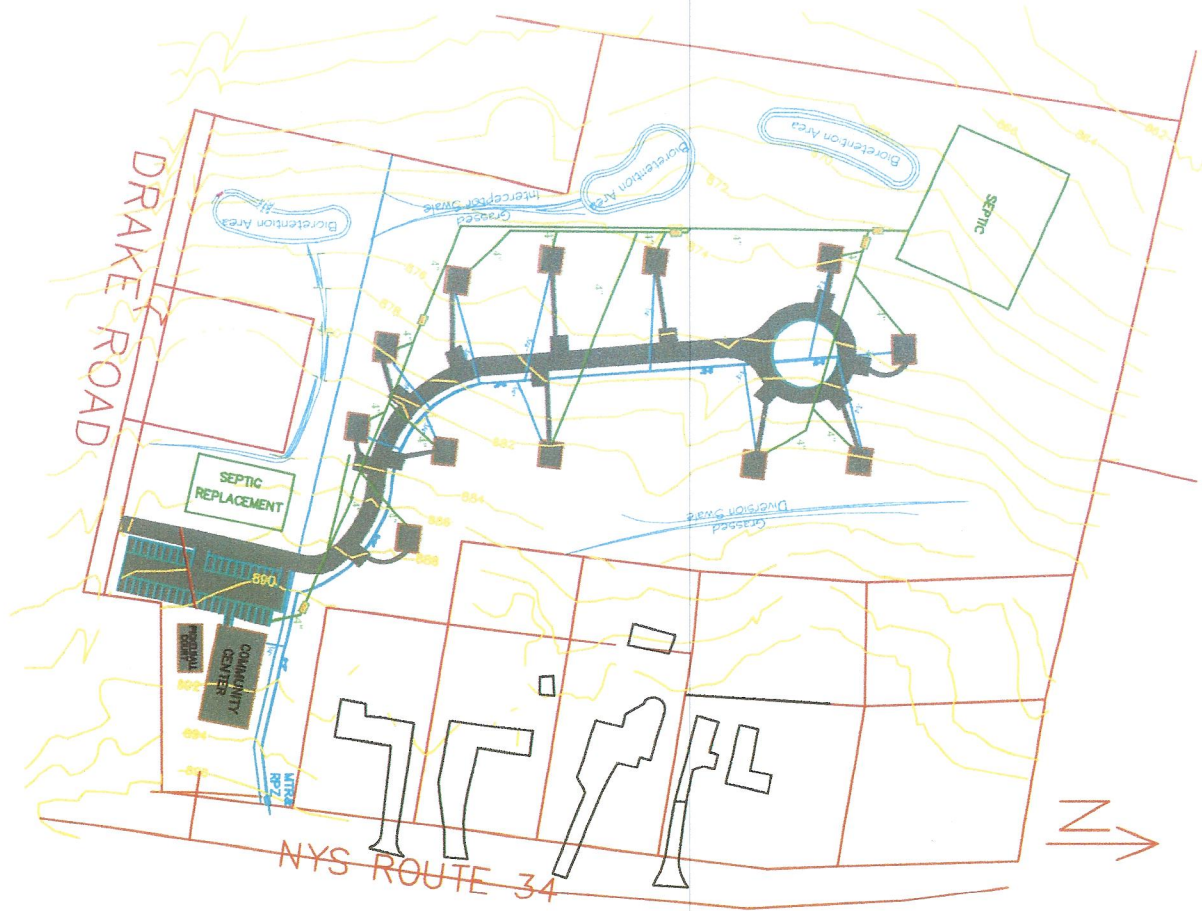
DATE: 02/28/2024  
 DRAWN BY: [Name]  
 PROJECT NO: [Number]

SW-2



LAWRENCE PARRON, P.E., L.S.  
 600 POWERS ROAD E.  
 NEW PALTZ, NEW YORK 12561  
 Phone: (847) 881-0840

|   |  |
|---|--|
| 1 |  |
| 2 |  |
| 3 |  |
| 4 |  |
| 5 |  |



EAST LAKE COTTAGES LEISURE VILLAGE  
 EROSION & SEDIMENT CONTROL PLAN  
 TOWN OF LANSDALE, LANSDALE, NEW YORK



LAWRENCE FARNHAM, P.E., L.S.  
 100 FURBER ROAD E.  
 KING PRINCE, NEW YORK 10001  
 Phone: (807) 581-0840

|   |  |
|---|--|
| 1 |  |
| 2 |  |
| 3 |  |
| 4 |  |
| 5 |  |
| 6 |  |
| B |  |







**Section 3, Item d.**

- Proposed Subcatchment - 1 (PSC-1)  
Proposed Site Conditions - Area = 206,093 SF (4.73-AC)  
Conditions & Soils:  
B. Lansing Gravelly Silt Loam  
Hydrologic Soil Group (HSG) B  
51% IeB, IloB, Silty Clay Loam, OaA, Ovid Silt Loam  
Hydrologic Soil Group (HSG) C  
Runoff Curve Number =  
Overland Stormwater Runoff - Longest Flowpath - LF  
To Design Point 1 - (DPP 1)
- Proposed Subcatchment - 2 (PSC-2)  
Proposed Site Conditions - Area = 296,847 SF (6.81-AC)  
Surface Conditions & Soils:  
7% CIB, Conesus Gravelly Silt Loam  
Hydrologic Soil Group (HSG) B  
93% IeB, IloB, Silty Clay Loam  
Hydrologic Soil Group (HSG) C  
Runoff Curve Number =  
Overland Stormwater Runoff - Longest Flowpath - LF  
To Design Point 2 - (DPP 2)
- Proposed Subcatchment - 3 (PSC-3)  
Proposed Site Conditions - Area = 190,023 SF (4.44-AC)  
Surface Conditions & Soils:  
83% OaA, Ovid Silt Loam  
Hydrologic Soil Group (HSG) C  
17% IeB, LoBstow, Shallow  
Hydrologic Soil Group (HSG) D  
Runoff Curve Number =  
Overland Stormwater Runoff - Longest Flowpath - LF  
To Design Point 2 - (DPP 2)
- Proposed Subcatchment - 1 (PSC-1)  
Proposed Site Conditions - Area = 198,478 SF (4.56-AC)  
Surface Conditions & Soils:  
37% CIB, Conesus Gravelly Silt Loam  
Hydrologic Soil Group (HSG) B  
63% IeB, IloB, Silty Clay Loam  
Hydrologic Soil Group (HSG) C  
Runoff Curve Number =  
Overland Stormwater Runoff - Longest Flowpath - LF  
To Design Point 1 - (DPP 1)



REFERENCE HYDROCAD (HYDRAULIC & HYDROLOGIC) MODELING RESULTS PRESENTED WITH THESE PLANS

**EAST LAKE COTTAGES LEISURE VILLAGE**  
**HYDRAULIC AND HYDROLOGIC WORKSHEET**  
**PROPOSED CONDITIONS**  
 TOWN OF LANSING, LANSING, NEW YORK

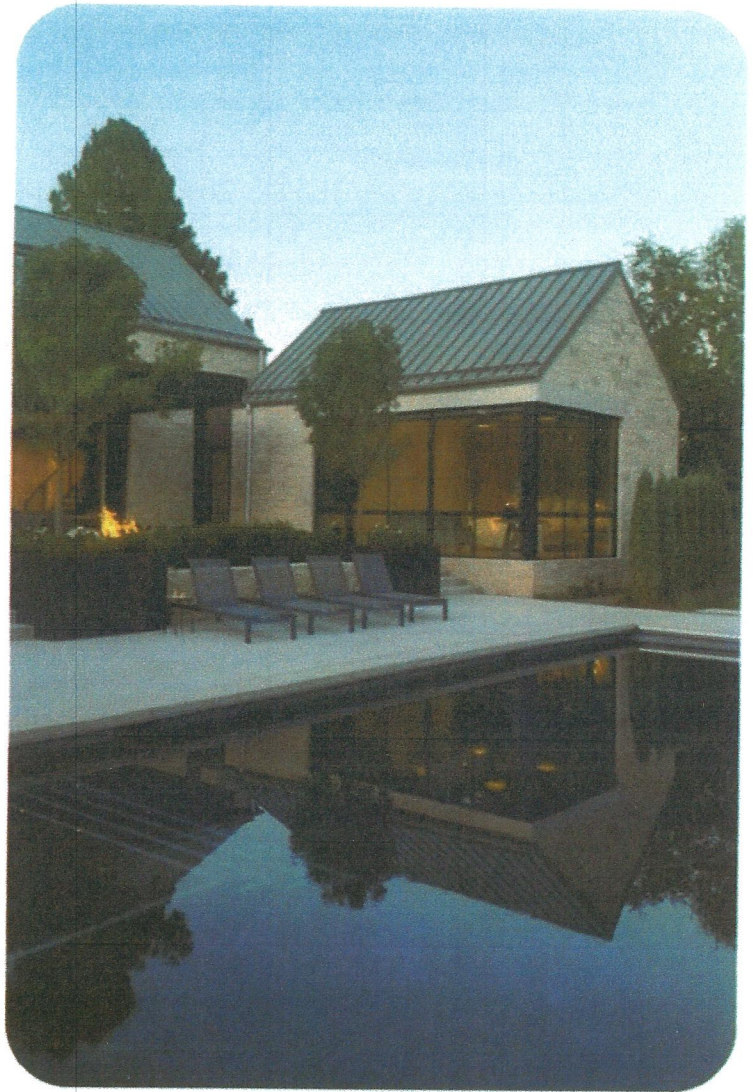
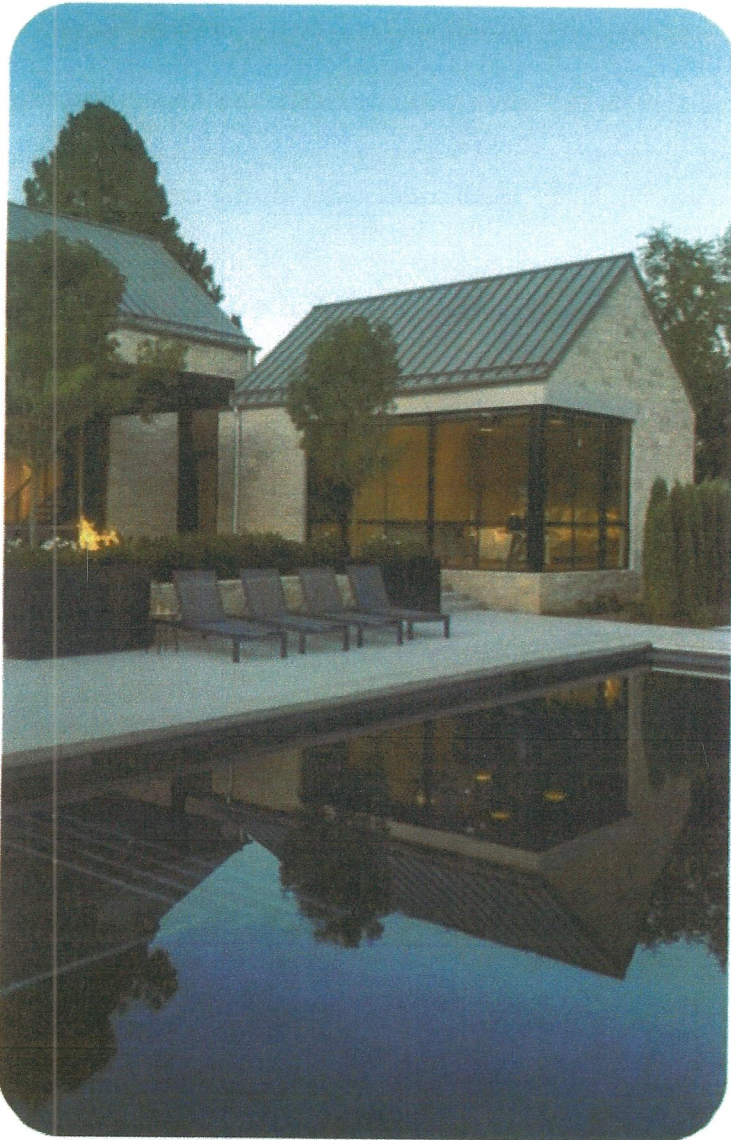
Sheet No. **SW-7**



LAWRENCE FARRONI, P.E., L.R.  
 650 POWERS ROAD N.  
 KING FERRY, NEW YORK 13061  
 Phone: (607) 861-0040

| No. | Date | Description |
|-----|------|-------------|
| 1   |      |             |
| 2   |      |             |
| 3   |      |             |
| 4   |      |             |
| 5   |      |             |





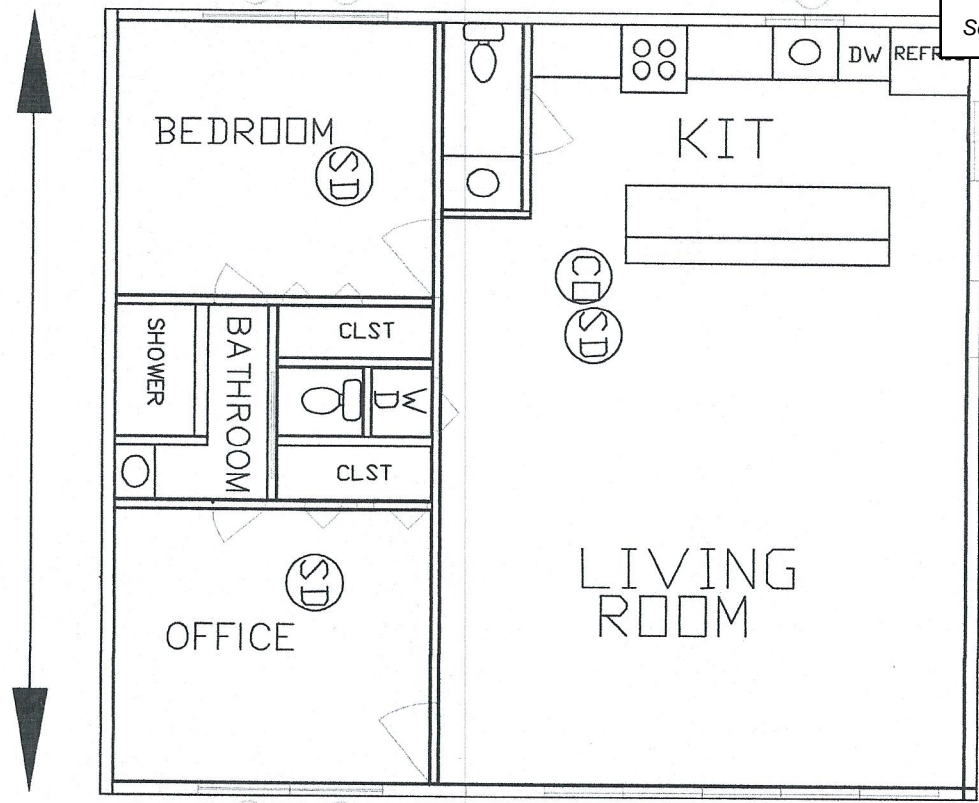
**Meadow — Surround...**



**11 Things  
That'll**

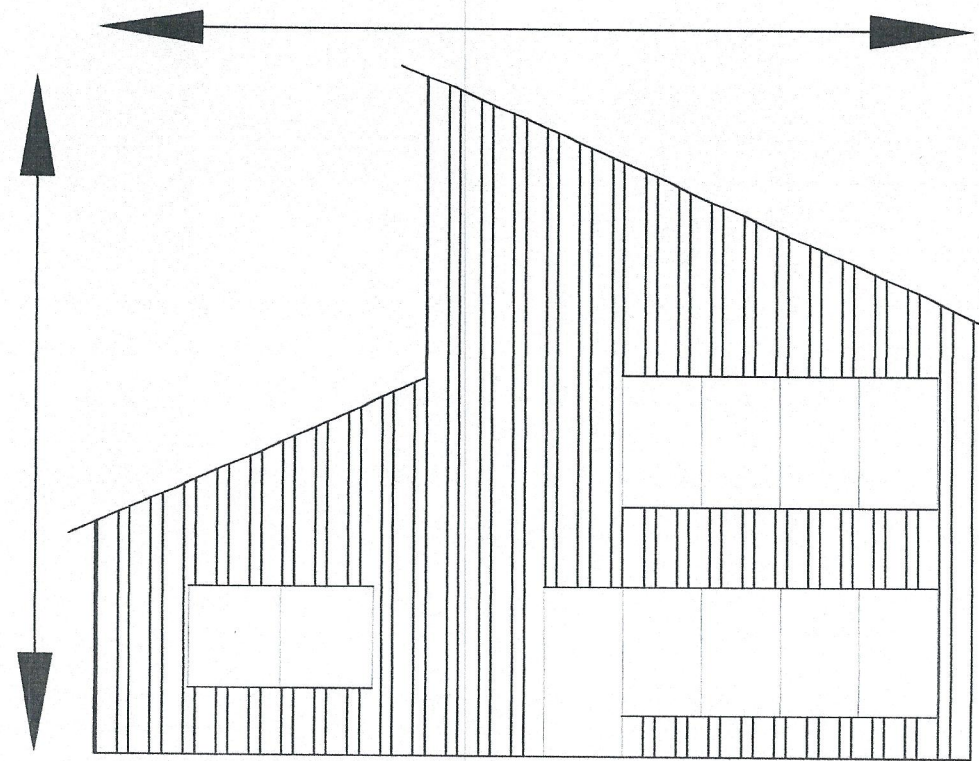
Section 3, Item d.

30.0'



33.37'

26.2'



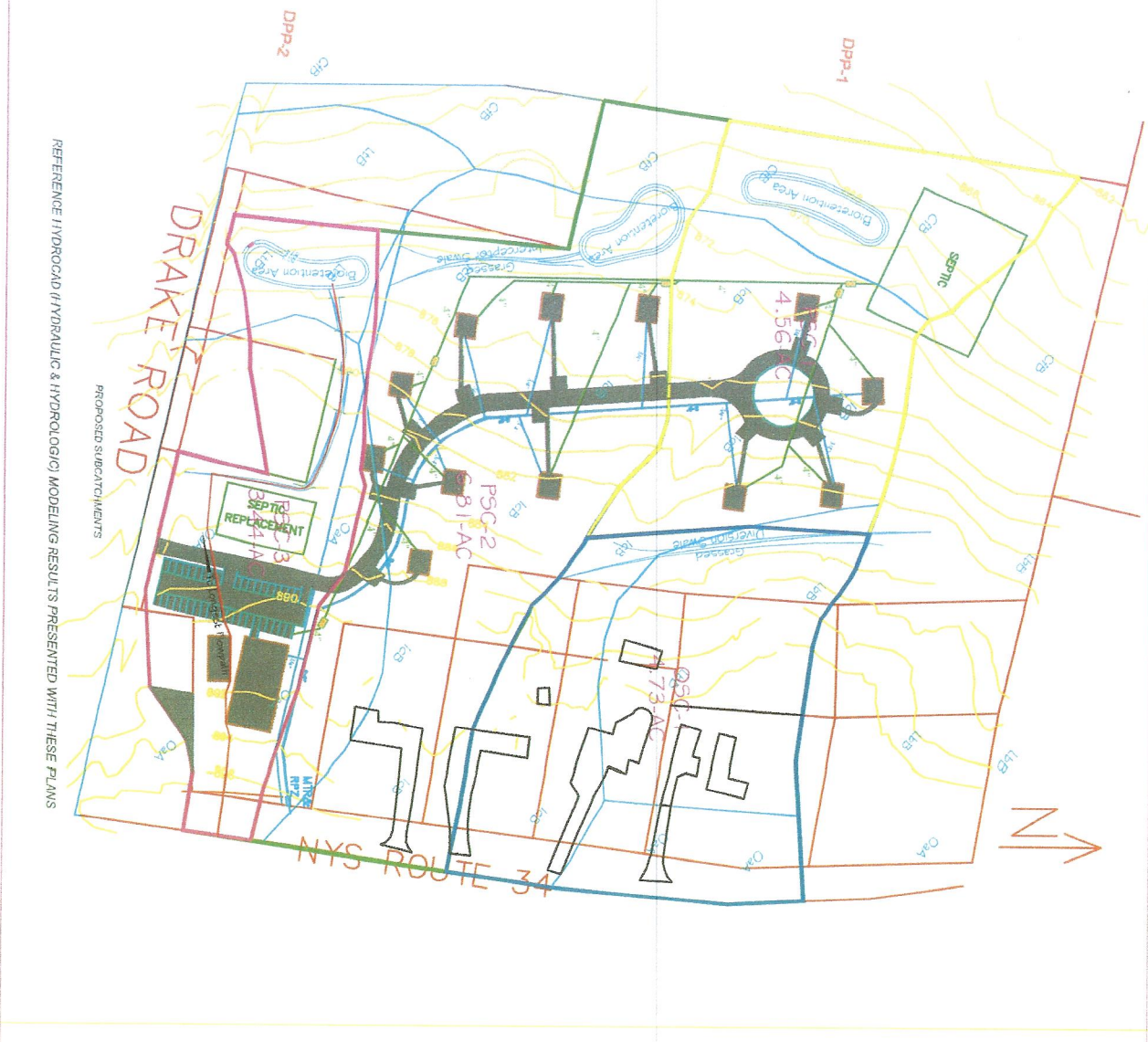
SOUTH ELEVATION

Section 3, Item d.

Proposed Subdevelopment - 1 (PSC-1)  
 Proposed Site Conditions - Area = 198,478 SF (4.56 AC)  
 Surface Conditions & Soils:  
 37% C8, Common Gravelly/Silt Loam  
 Hydrologic Soil Group (HSG) B  
 43% Icd, Iron Silty Clay Loam  
 Hydrologic Soil Group (HSG) C  
 Roof Catch Number =  
 Overland Stormwater Runoff - Longest Flowpath - LF  
 To Design Point 1 - (DPP 1)

Proposed Subdevelopment - 1 (PSC-2)  
 Proposed Site Conditions - Area = 198,478 SF (4.56 AC)  
 Surface Conditions & Soils:  
 37% C8, Common Gravelly/Silt Loam  
 Hydrologic Soil Group (HSG) B  
 43% Icd, Iron Silty Clay Loam  
 Hydrologic Soil Group (HSG) C  
 Roof Catch Number =  
 Overland Stormwater Runoff - Longest Flowpath - LF  
 To Design Point 1 - (DPP 1)

Proposed Subdevelopment - 1 (PSC-3)  
 Proposed Site Conditions - Area = 198,478 SF (4.56 AC)  
 Surface Conditions & Soils:  
 37% C8, Common Gravelly/Silt Loam  
 Hydrologic Soil Group (HSG) B  
 43% Icd, Iron Silty Clay Loam  
 Hydrologic Soil Group (HSG) C  
 Roof Catch Number =  
 Overland Stormwater Runoff - Longest Flowpath - LF  
 To Design Point 1 - (DPP 1)



REFERENCE HYDROCAD (HYDRAULIC & HYDROLOGIC) MODELING RESULTS PRESENTED WITH THESE PLANS

PROPOSED SUBCATCHMENTS

|    |  |
|----|--|
| 1  |  |
| 2  |  |
| 3  |  |
| 4  |  |
| 5  |  |
| 6  |  |
| 7  |  |
| 8  |  |
| 9  |  |
| 10 |  |

**EAST LAKE COTTAGES LEISURE VILLAGE**  
 HYDRAULIC AND HYDROLOGIC WORKSHEET  
 PROPOSED CONDITIONS

TOWN OF LAWRENCE, LAWRENCE, NEW YORK



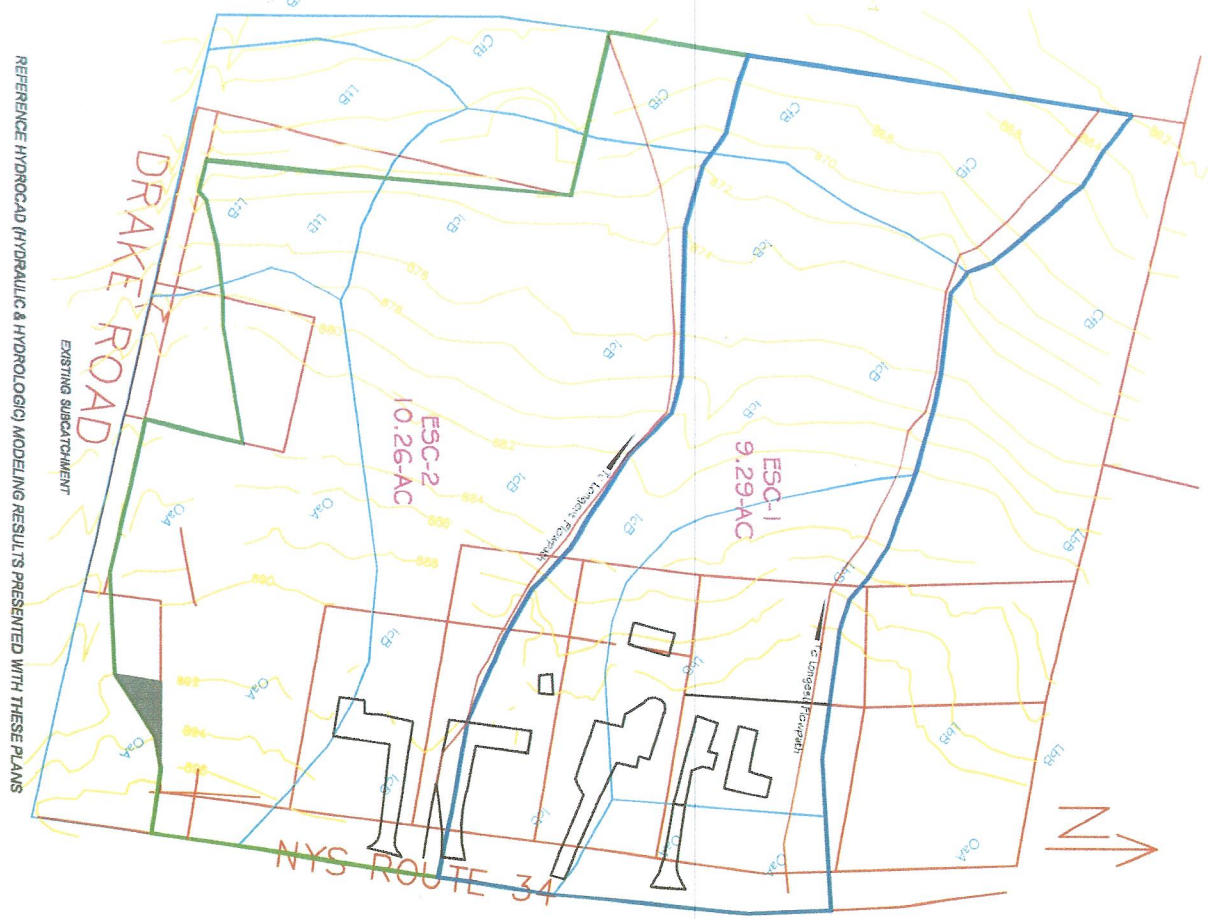
LAWRENCE PLANNING BOARD

LAWRENCE FARRISON, P.E., L.E.  
 600 POWERS ROAD N.  
 KING TOWN, NEW YORK 13090  
 Phone: (807) 861-0840

Sheet No. **SW-7**

Existing Subcatchment - 1 (ESC-1)  
 Existing Site Conditions - Area = 404,971 Sq. Ft. (9.29 AC)  
 Surface Conditions & Soils  
 18% CB8, Concrete Gravelly Silt Loam, 1 LB8, 1 among Gravelly Silt Loam  
 Hydrologic Soil Group (HSG) B  
 82.0% ICB, Illion Silty Clay Loam, OIA, Owd Silt Loam  
 Hydrologic Soil Group (HSG) C  
 Runoff Curve Number =  
 CN 77 - 2-AC Lots, 17% Impv., Good HSG C Soils  
 CN 66 - 2-AC Lots, 12% Impv., Good HSG B Soils  
 CN 95 - Woods, Good HSG B Soils  
 CN 70 - Woods, Good HSG C Soils  
 Overland Stormwater Runoff - Longest Downpath - 1,070-11  
 Sheet Flow, Short Grass, 100 LF @ S = 2% avg. 4/  
 Shallow Conc. Flow, Densest Material, 123 LF @ S = 2% avg. 4/  
 Shallow Conc. Flow, Wooded, 847 LF @ S = 3.3% avg. 4/  
 To Design Point 1 (DPE 1)

Existing Subcatchment - 2 (ESC-2)  
 Existing Site Conditions - Area = 104,260 AC  
 Southern Crumpton & Soils  
 17% CB8, Concrete Gravelly Silt Loam  
 Hydrologic Soil Group (HSG) B  
 46% OIA, Illion Silty Clay Loam, OIA, Owd Silt Loam  
 Hydrologic Soil Group (HSG) C  
 6% ICB, Crystalline, Shale  
 Hydrologic Soil Group (HSG) D  
 Branch Curve Numbers =  
 CN 70 - Woods, Good HSG C Soils  
 CN 74 - 47% Gravel Gravel, Good HSG C Soils  
 CN 74 - 18% Gravel Gravel, Good HSG C Soils  
 CN 77 - 2-AC Lots, 12% Impv., Good HSG B Soils  
 CN 95 - Woods, Good HSG B Soils  
 CN 95 - Woods, Good HSG C Soils  
 CN 95 - Forest Parking, Good HSG C Soils  
 Overland Stormwater Runoff - Longest Downpath - 1,100-11  
 Sheet Flow, Short Grass, 100 LF @ S = 2% avg. 4/  
 Shallow Conc. Flow, Densest Material, 208 LF @ S = 2% avg. 4/  
 Shallow Conc. Flow, Wooded, 700 LF @ S = 4.7% avg. 4/  
 To Design Point 2 (DPE 2)



REFERENCE HYDROCAD (HYDRAULIC & HYDROLOGIC) MODELING RESULTS PRESENTED WITH THESE PLANS

**EAST LAKE COTTAGES LEISURE VILLAGE**  
**HYDRAULIC AND HYDROLOGIC WORKSHEET**  
**EXISTING CONDITIONS**  
 TOWN OF LANING, LANING, NEW YORK

|             |          |
|-------------|----------|
| Sheet No.   | SW-6     |
| Scale       | AS SHOWN |
| Date        | 11/11/11 |
| Drawn By    | TR       |
| Checked By  | TR       |
| Project No. |          |

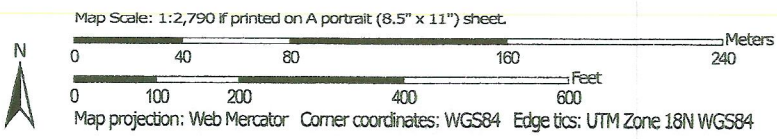


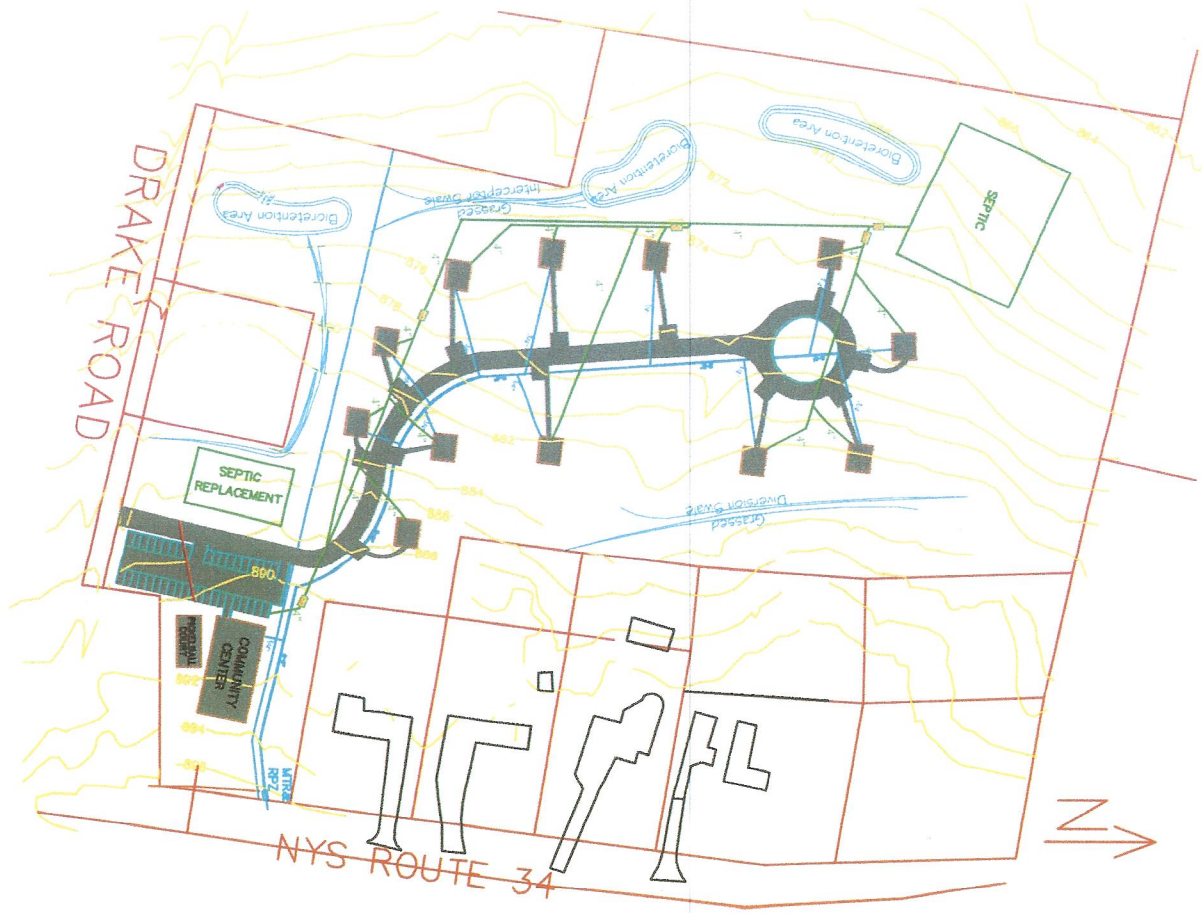
LANING FARMHOUSE, P.C., L.P.  
 630 FARM ROAD N.  
 KING TOWN, NEW YORK 13001  
 Phone: (607) 881-0840

|   |  |
|---|--|
| 1 |  |
| 2 |  |
| 3 |  |
| 4 |  |
| 5 |  |
| 6 |  |

Soil Map—Tompkins County, New York  
(East Lake Cottages Leisure Village)

Section 3, Item d.





**EAST LAKE COTTAGES LEISURE VILLAGE**  
**EROSION & SEDIMENT CONTROL PLAN**  
 TOWN OF LANSING, LANSING, NEW YORK



LAWRENCE PARRON, P.E., L.S.  
 505 FURBER ROAD E.  
 KING PARK, NEW YORK 12401  
 Phone: (518) 881-8840

|   |  |  |
|---|--|--|
| 1 |  |  |
| 2 |  |  |
| 3 |  |  |
| 4 |  |  |
| 5 |  |  |
| 6 |  |  |





**AGRICULTURAL DATA STATEMENT**

Section 3, Item d.

Per § 305-a of the New York State Agriculture and Markets Law, any application for a special use permit, site plan approval, use variance, or subdivision approval requiring municipal review and approval that would occur on property within a New York State Certified Agricultural District containing a farm operation or property with boundaries within 500 feet of a farm operation located in an Agricultural District shall include an Agricultural Data Statement.

A. Name of applicant: JANET JOHNSON  
Mailing address: R JON STONE CR.  
ITHACA, N.Y 14850

B. Description of the proposed project: EAST LAKE COTTAGES LEISURE VILLAGE  
12 COTTAGES AND COMMUNITY BUILDING

C. Project site address: DRAKE RD EAST SWORLEN Town: LEANSING

D. Project site tax map number: 371-1-9.2

E. The project is located on property:  
 within an Agricultural District containing a farm operation, or  
 with boundaries within 500 feet of a farm operation located in an Agricultural District. N/A

F. Number of acres affected by project: 16.15

G. Is any portion of the project site currently being farmed?  
 Yes. If yes, how many acres \_\_\_\_\_ or square feet \_\_\_\_\_ ?  
 No.

H. Name and address of any owner of land containing farm operations within the Agricultural District and is located within 500 feet of the boundary of the property upon which the project is proposed.

NONE

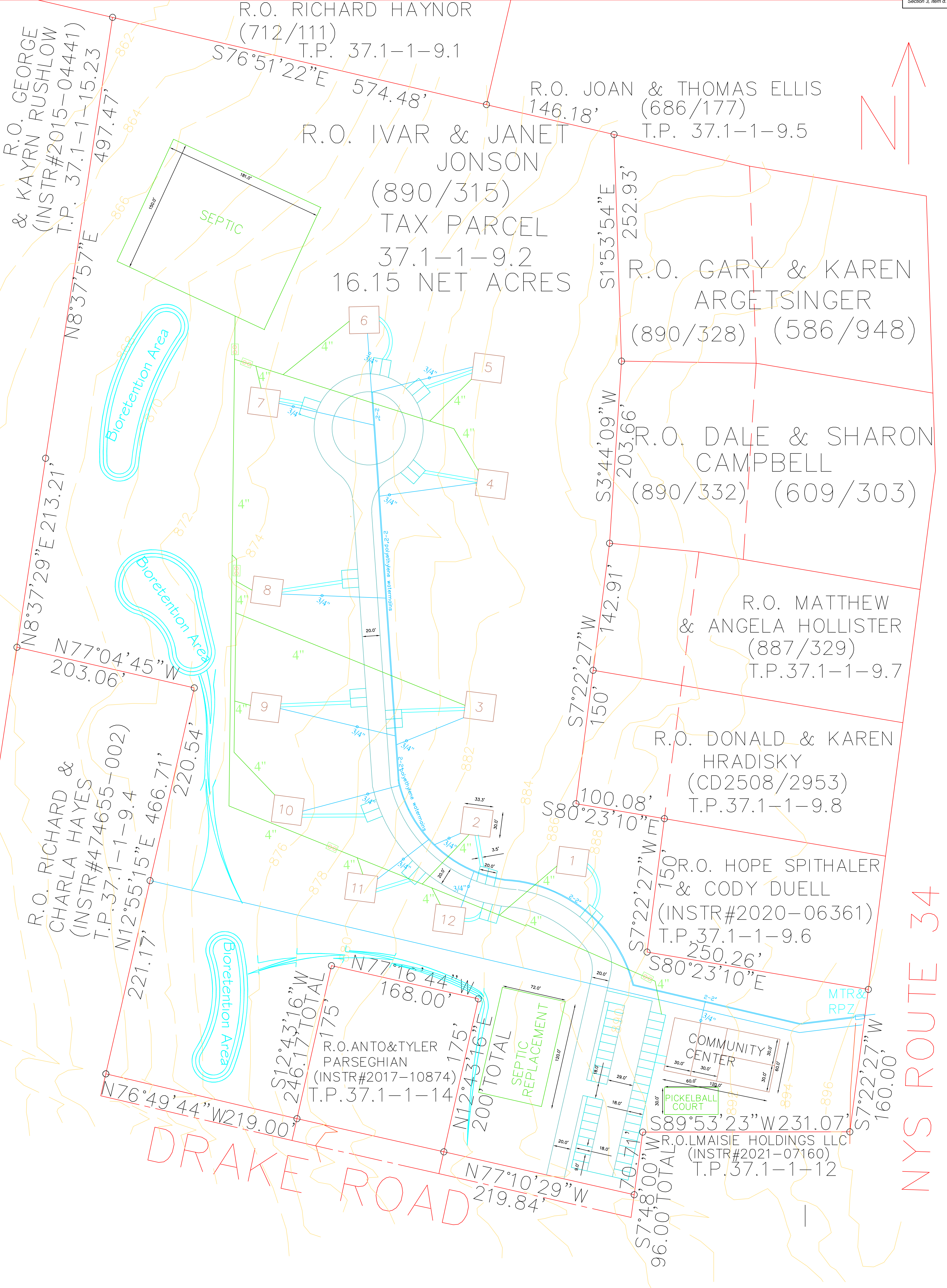
I. Attach a copy of the current tax map showing the site of the proposed project relative to the location of farm operations identified in Item H above.

**FARM NOTE**

Prospective residents should be aware that farm operations may generate dust, odor, smoke, noise, vibration and other conditions that may be objectionable to nearby properties. Local governments shall not unreasonably restrict or regulate farm operations within State Certified Agricultural Districts unless it can be shown that the public health or safety is threatened.

LAWRENCE P. FABBRONI, P.E., L.S  
Name and Title of Person Completing Form  
DESIGN ENGINEER

3/24/24  
Date



R.O. GEORGE & KAYRN RUSHLOW  
(INSTR#2015-04441)  
T.P. 37.1-1-15.23

R.O. RICHARD HAYNOR  
(712/111)  
T.P. 37.1-1-9.1

R.O. JOAN & THOMAS ELLIS  
(686/177)  
T.P. 37.1-1-9.5

R.O. IVAR & JANET JONSON  
(890/315)  
TAX PARCEL  
37.1-1-9.2  
16.15 NET ACRES

R.O. GARY & KAREN ARGETSINGER  
(890/328) (586/948)

R.O. DALE & SHARON CAMPBELL  
(890/332) (609/303)

R.O. MATTHEW & ANGELA HOLLISTER  
(887/329)  
T.P. 37.1-1-9.7

R.O. DONALD & KAREN HRADISKY  
(CD2508/2953)  
T.P. 37.1-1-9.8

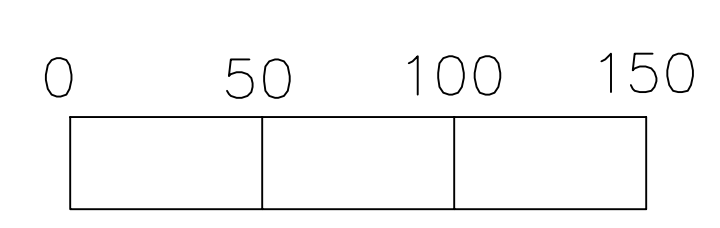
R.O. HOPE SPITHALER & CODY DUELL  
(INSTR#2020-06361)  
T.P. 37.1-1-9.6

R.O. ANTO & TYLER PARSEGHIAN  
(INSTR#2017-10874)  
T.P. 37.1-1-14

R.O. LMAISIE HOLDINGS LLC  
(INSTR#2021-07160)  
T.P. 37.1-1-12

**DRAKE ROAD**

**NYS ROUTE 34**



2 FOOT CONTOURS



|                                                        |                                        |                                                         |
|--------------------------------------------------------|----------------------------------------|---------------------------------------------------------|
| TOWN OF LANSING, COUNTY OF TOMPKINS, STATE OF NEW YORK |                                        |                                                         |
| EAST LAKE COTTAGES LEISURE VILLAGE                     |                                        |                                                         |
| OWNER:<br>JANET JONSON                                 | SCALE AS SHOWN<br>DATE 3-18-24<br>REV. | DESIGN BY:<br>L. FABBRONI<br>NYSPE#51734<br>NYSLS#49682 |

**Full Environmental Assessment Form  
Part 1 - Project and Setting**

Section 3, Item d.

**Instructions for Completing Part 1**

**Part 1 is to be completed by the applicant or project sponsor.** Responses become part of the application for approval or funding, are subject to public review, and may be subject to further verification.

Complete Part I based on information currently available. If additional research or investigation would be needed to fully respond to any item, please answer as thoroughly as possible based on current information; indicate whether missing information does not exist, or is not reasonably available to the sponsor; and, when possible, generally describe work or studies which would be necessary to update or fully develop that information.

Applicants/sponsors must complete all items in Sections A & B. In Sections C, D & E, most items contain an initial question that must be answered either "Yes" or "No". If the answer to the initial question is "Yes", complete the sub-questions that follow. If the answer to the initial question is "No", proceed to the next question. Section F allows the project sponsor to identify and attach any additional information. Section G requires the name and signature of the applicant or project sponsor to verify that the information contained in Part 1 is accurate and complete.

**A. Project and Applicant/Sponsor Information.**

|                                                                                                                                                                                                       |                    |                                       |
|-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------|--------------------|---------------------------------------|
| Name of Action or Project:<br>East Lake Cottages                                                                                                                                                      |                    |                                       |
| Project Location (describe, and attach a general location map):<br>Drake Road and East Shore Drive                                                                                                    |                    |                                       |
| Brief Description of Proposed Action (include purpose or need):<br>12 Cottages as tiny homes for rent with a community building with mixed use pickleball courts, farmer's market, and catered events |                    |                                       |
| Name of Applicant/Sponsor:<br>Janet Jonson                                                                                                                                                            |                    | Telephone: 607-327-0624               |
|                                                                                                                                                                                                       |                    | E-Mail: ijconstruction2.llc@gmail.com |
| Address: 2 Jon Stone Cr.                                                                                                                                                                              |                    |                                       |
| City/PO: ithaca                                                                                                                                                                                       | State: New York    | Zip Code: 14850                       |
| Project Contact (if not same as sponsor; give name and title/role):<br>Lisa Boniwell                                                                                                                  |                    | Telephone: 607-327-0622               |
|                                                                                                                                                                                                       |                    | E-Mail: ijconstruction2.llc@gmail.com |
| Address:<br>2 Jon Stone Cr                                                                                                                                                                            |                    |                                       |
| City/PO:<br>Ithaca                                                                                                                                                                                    | State:<br>New York | Zip Code:<br>14850                    |
| Property Owner (if not same as sponsor):                                                                                                                                                              |                    | Telephone:                            |
|                                                                                                                                                                                                       |                    | E-Mail:                               |
| Address:                                                                                                                                                                                              |                    |                                       |
| City/PO:                                                                                                                                                                                              | State:             | Zip Code:                             |

**B. Government Approvals**

**B. Government Approvals, Funding, or Sponsorship.** ("Funding" includes grants, loans, tax relief, and any other forms of financial assistance.)

| Government Entity                                                                                                         | If Yes: Identify Agency and Approval(s) Required | Application Date (Actual or projected)                              |
|---------------------------------------------------------------------------------------------------------------------------|--------------------------------------------------|---------------------------------------------------------------------|
| a. City Counsel, Town Board, <input type="checkbox"/> Yes <input type="checkbox"/> No or Village Board of Trustees        |                                                  |                                                                     |
| b. City, Town or Village Planning Board or Commission <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No | Town Of Lansing Planning Board                   | March 27,2024                                                       |
| c. City, Town or Village Zoning Board of Appeals <input type="checkbox"/> Yes <input type="checkbox"/> No                 |                                                  |                                                                     |
| d. Other local agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No                               | Southern Cayuga Lake Intermunicipal Commission   | April 23,2024                                                       |
| e. County agencies <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No                                    | Tompkins County Health Department                | May 2024 after percolation tests                                    |
| f. Regional agencies <input type="checkbox"/> Yes <input type="checkbox"/> No                                             |                                                  |                                                                     |
| g. State agencies <input type="checkbox"/> Yes <input type="checkbox"/> No                                                |                                                  |                                                                     |
| h. Federal agencies <input type="checkbox"/> Yes <input type="checkbox"/> No                                              |                                                  |                                                                     |
| i. Coastal Resources.                                                                                                     |                                                  |                                                                     |
| i. Is the project site within a Coastal Area, or the waterfront area of a Designated Inland Waterway?                     |                                                  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| ii. Is the project site located in a community with an approved Local Waterfront Revitalization Program?                  |                                                  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |
| iii. Is the project site within a Coastal Erosion Hazard Area?                                                            |                                                  | <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No |

**C. Planning and Zoning**

**C.1. Planning and zoning actions.**

Will administrative or legislative adoption, or amendment of a plan, local law, ordinance, rule or regulation be the only approval(s) which must be granted to enable the proposed action to proceed?  Yes  No

- If Yes, complete sections C, F and G.
- If No, proceed to question C.2 and complete all remaining sections and questions in Part I

**C.2. Adopted land use plans.**

a. Do any municipally- adopted (city, town, village or county) comprehensive land use plan(s) include the site where the proposed action would be located?  Yes  No

If Yes, does the comprehensive plan include specific recommendations for the site where the proposed action would be located?  Yes  No

b. Is the site of the proposed action within any local or regional special planning district (for example: Greenway; Brownfield Opportunity Area (BOA); designated State or Federal heritage area; watershed management plan; or other?)  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

c. Is the proposed action located wholly or partially within an area listed in an adopted municipal open space plan, or an adopted municipal farmland protection plan?  Yes  No

If Yes, identify the plan(s):

\_\_\_\_\_

\_\_\_\_\_

\_\_\_\_\_

**C.3. Zoning**

Section 3, Item d.

a. Is the site of the proposed action located in a municipality with an adopted zoning law or ordinance.  Yes  No  
If Yes, what is the zoning classification(s) including any applicable overlay district?  
B-2

b. Is the use permitted or allowed by a special or conditional use permit?  Yes  No

c. Is a zoning change requested as part of the proposed action?  Yes  No  
If Yes,  
i. What is the proposed new zoning for the site?

**C.4. Existing community services.**

a. In what school district is the project site located? Lansing School District

b. What police or other public protection forces serve the project site?  
T.C. Sheriff, NYS Police

c. Which fire protection and emergency medical services serve the project site?  
Lansing volunteers

d. What parks serve the project site?  
Town of Lansing Park, Myers Park

**D. Project Details**

**D.1. Proposed and Potential Development**

a. What is the general nature of the proposed action (e.g., residential, industrial, commercial, recreational; if mixed, include all components)? 12 residential 1 family cottages and supportive community center

b. a. Total acreage of the site of the proposed action? 16.15 acres  
b. Total acreage to be physically disturbed? 1.51 acres  
c. Total acreage (project site and any contiguous properties) owned or controlled by the applicant or project sponsor? 16.15 acres

c. Is the proposed action an expansion of an existing project or use?  Yes  No  
i. If Yes, what is the approximate percentage of the proposed expansion and identify the units (e.g., acres, miles, housing units, square feet)? % \_\_\_\_\_ Units: \_\_\_\_\_

d. Is the proposed action a subdivision, or does it include a subdivision?  Yes  No  
If Yes,  
i. Purpose or type of subdivision? (e.g., residential, industrial, commercial; if mixed, specify types)  
ii. Is a cluster/conservation layout proposed?  Yes  No  
iii. Number of lots proposed? \_\_\_\_\_  
iv. Minimum and maximum proposed lot sizes? Minimum \_\_\_\_\_ Maximum \_\_\_\_\_

e. Will the proposed action be constructed in multiple phases?  Yes  No  
i. If No, anticipated period of construction: \_\_\_\_\_ months  
ii. If Yes:  
• Total number of phases anticipated 2  
• Anticipated commencement date of phase 1 (including demolition) 3 month 2025 year  
• Anticipated completion date of final phase 12 month 2027 year  
• Generally describe connections or relationships among phases, including any contingencies where progress of one phase may determine timing or duration of future phases:  
At least 8 cottages must be actively rented before community center becomes necessary or economically viable

f. Does the project include new residential uses?  
 If Yes, show numbers of units proposed.

|                             | One Family | Two Family | Three Family | Multiple Family (four or more) |
|-----------------------------|------------|------------|--------------|--------------------------------|
| Initial Phase               | 8          |            |              |                                |
| At completion of all phases | 12         |            |              |                                |

g. Does the proposed action include new non-residential construction (including expansions)?  Yes  No  
 If Yes,  
 i. Total number of structures 1  
 ii. Dimensions (in feet) of largest proposed structure: 30 height; 60 width; and 120 length  
 iii. Approximate extent of building space to be heated or cooled: 7200 square feet

h. Does the proposed action include construction or other activities that will result in the impoundment of any liquids, such as creation of a water supply, reservoir, pond, lake, waste lagoon or other storage?  Yes  No  
 If Yes,  
 i. Purpose of the impoundment: bioretention  
 ii. If a water impoundment, the principal source of the water:  Ground water  Surface water streams  Other specify:  
 iii. If other than water, identify the type of impounded/contained liquids and their source.  
 iv. Approximate size of the proposed impoundment. Volume: \_\_\_\_\_ million gallons; surface area: \_\_\_\_\_ acres  
 v. Dimensions of the proposed dam or impounding structure: \_\_\_\_\_ height; \_\_\_\_\_ length  
 vi. Construction method/materials for the proposed dam or impounding structure (e.g., earth fill, rock, wood, concrete):

**D.2. Project Operations**

a. Does the proposed action include any excavation, mining, or dredging, during construction, operations, or both?  Yes  No  
 (Not including general site preparation, grading or installation of utilities or foundations where all excavated materials will remain onsite)  
 If Yes:  
 i. What is the purpose of the excavation or dredging? stripping of topsoil for building locations and roadway and parking areas  
 ii. How much material (including rock, earth, sediments, etc.) is proposed to be removed from the site?  
 • Volume (specify tons or cubic yards): 1200cy  
 • Over what duration of time? 18months  
 iii. Describe nature and characteristics of materials to be excavated or dredged, and plans to use, manage or dispose of them.  
Topsoil to be used in on-site landscaping of lawns and gardens  
 iv. Will there be onsite dewatering or processing of excavated materials?  Yes  No  
 If yes, describe.  
 v. What is the total area to be dredged or excavated? 1.51 acres  
 vi. What is the maximum area to be worked at any one time? 1.51 acres  
 vii. What would be the maximum depth of excavation or dredging? 0.5 feet  
 viii. Will the excavation require blasting?  Yes  No  
 ix. Summarize site reclamation goals and plan: dry out excavated topsoil and respread

b. Would the proposed action cause or result in alteration of, increase or decrease in size of, or encroachment into any existing wetland, waterbody, shoreline, beach or adjacent area?  Yes  No  
 If Yes:  
 i. Identify the wetland or waterbody which would be affected (by name, water index number, wetland map number or geographic description):

ii. Describe how the proposed action would affect that waterbody or wetland, e.g. excavation, fill, placement of structures, alteration of channels, banks and shorelines. Indicate extent of activities, alterations and additions in square feet

\_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

iii. Will the proposed action cause or result in disturbance to bottom sediments?  Yes  No  
If Yes, describe: \_\_\_\_\_

iv. Will the proposed action cause or result in the destruction or removal of aquatic vegetation?  Yes  No  
If Yes:

- acres of aquatic vegetation proposed to be removed: \_\_\_\_\_
- expected acreage of aquatic vegetation remaining after project completion: \_\_\_\_\_
- purpose of proposed removal (e.g. beach clearing, invasive species control, boat access): \_\_\_\_\_
- \_\_\_\_\_
- proposed method of plant removal: \_\_\_\_\_
- if chemical/herbicide treatment will be used, specify product(s): \_\_\_\_\_

v. Describe any proposed reclamation/mitigation following disturbance: \_\_\_\_\_

c. Will the proposed action use, or create a new demand for water?  Yes  No  
If Yes:

i. Total anticipated water usage/demand per day: \_\_\_\_\_ 990 gallons/day

ii. Will the proposed action obtain water from an existing public water supply?  Yes  No  
If Yes:

- Name of district or service area: Southern Cayuga intermunicipal Water Commission
- Does the existing public water supply have capacity to serve the proposal?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No
- Do existing lines serve the project site?  Yes  No

iii. Will line extension within an existing district be necessary to supply the project?  Yes  No  
If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_
- Source(s) of supply for the district: \_\_\_\_\_

iv. Is a new water supply district or service area proposed to be formed to serve the project site?  Yes  No  
If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- Proposed source(s) of supply for new district: \_\_\_\_\_

v. If a public water supply will not be used, describe plans to provide water supply for the project: \_\_\_\_\_

vi. If water supply will be from wells (public or private), what is the maximum pumping capacity: \_\_\_\_\_ gallons/minute.

d. Will the proposed action generate liquid wastes?  Yes  No  
If Yes:

i. Total anticipated liquid waste generation per day: \_\_\_\_\_ 990 gallons/day

ii. Nature of liquid wastes to be generated (e.g., sanitary wastewater, industrial; if combination, describe all components and approximate volumes or proportions of each): sanitary wastewater

iii. Will the proposed action use any existing public wastewater treatment facilities?  Yes  No  
If Yes:

- Name of wastewater treatment plant to be used: \_\_\_\_\_
- Name of district: \_\_\_\_\_
- Does the existing wastewater treatment plant have capacity to serve the project?  Yes  No
- Is the project site in the existing district?  Yes  No
- Is expansion of the district needed?  Yes  No



- Do existing sewer lines serve the project site?
- Will a line extension within an existing district be necessary to serve the project?

If Yes:

- Describe extensions or capacity expansions proposed to serve this project: \_\_\_\_\_

iv. Will a new wastewater (sewage) treatment district be formed to serve the project site?  Yes  No

If Yes:

- Applicant/sponsor for new district: \_\_\_\_\_
- Date application submitted or anticipated: \_\_\_\_\_
- What is the receiving water for the wastewater discharge? \_\_\_\_\_

v. If public facilities will not be used, describe plans to provide wastewater treatment for the project, including specifying proposed receiving water (name and classification if surface discharge or describe subsurface disposal plans):  
private system consisting of either sand filter and adsorption field or advanced Elgin module system for subsurface or fill onsite disposal

vi. Describe any plans or designs to capture, recycle or reuse liquid waste: \_\_\_\_\_

e. Will the proposed action disturb more than one acre and create stormwater runoff, either from new point sources (i.e. ditches, pipes, swales, curbs, gutters or other concentrated flows of stormwater) or non-point source (i.e. sheet flow) during construction or post construction?  Yes  No

If Yes:

i. How much impervious surface will the project create in relation to total size of project parcel?

\_\_\_\_\_ Square feet or 1.51 acres (impervious surface)

\_\_\_\_\_ Square feet or 16.15 acres (parcel size)

ii. Describe types of new point sources. swales to biofilters

iii. Where will the stormwater runoff be directed (i.e. on-site stormwater management facility/structures, adjacent properties, groundwater, on-site surface water or off-site surface waters)?  
on-site stormwater management bioretention

- If to surface waters, identify receiving water bodies or wetlands: \_\_\_\_\_

- Will stormwater runoff flow to adjacent properties?  Yes  No

iv. Does the proposed plan minimize impervious surfaces, use pervious materials or collect and re-use stormwater?  Yes  No

f. Does the proposed action include, or will it use on-site, one or more sources of air emissions, including fuel combustion, waste incineration, or other processes or operations?  Yes  No

If Yes, identify:

i. Mobile sources during project operations (e.g., heavy equipment, fleet or delivery vehicles)

bulldozers, graders, pavers, concrete trucks, delivery vehicles

ii. Stationary sources during construction (e.g., power generation, structural heating, batch plant, crushers)

iii. Stationary sources during operations (e.g., process emissions, large boilers, electric generation)

g. Will any air emission sources named in D.2.f (above), require a NY State Air Registration, Air Facility Permit, or Federal Clean Air Act Title IV or Title V Permit?  Yes  No

If Yes:

i. Is the project site located in an Air quality non-attainment area? (Area routinely or periodically fails to meet ambient air quality standards for all or some parts of the year)  Yes  No

ii. In addition to emissions as calculated in the application, the project will generate:

- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide (CO<sub>2</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Nitrous Oxide (N<sub>2</sub>O)
- \_\_\_\_\_ Tons/year (short tons) of Perfluorocarbons (PFCs)
- \_\_\_\_\_ Tons/year (short tons) of Sulfur Hexafluoride (SF<sub>6</sub>)
- \_\_\_\_\_ Tons/year (short tons) of Carbon Dioxide equivalent of Hydrofluorocarbons (HFCs)
- \_\_\_\_\_ Tons/year (short tons) of Hazardous Air Pollutants (HAPs)

h. Will the proposed action generate or emit methane (including, but not limited to, sewage treatment plants, landfills, composting facilities)?

Section 3, Item d.

If Yes:

- i. Estimate methane generation in tons/year (metric): \_\_\_\_\_
- ii. Describe any methane capture, control or elimination measures included in project design (e.g., combustion to generate heat or electricity, flaring): \_\_\_\_\_

i. Will the proposed action result in the release of air pollutants from open-air operations or processes, such as quarry or landfill operations?  Yes  No

If Yes: Describe operations and nature of emissions (e.g., diesel exhaust, rock particulates/dust): \_\_\_\_\_

j. Will the proposed action result in a substantial increase in traffic above present levels or generate substantial new demand for transportation facilities or services?  Yes  No

If Yes:

- i. When is the peak traffic expected (Check all that apply):  Morning  Evening  Weekend  
 Randomly between hours of \_\_\_\_\_ to \_\_\_\_\_.
- ii. For commercial activities only, projected number of truck trips/day and type (e.g., semi trailers and dump trucks): \_\_\_\_\_

iii. Parking spaces: Existing 0 Proposed 64 Net increase/decrease 64

iv. Does the proposed action include any shared use parking?  Yes  No

v. If the proposed action includes any modification of existing roads, creation of new roads or change in existing access, describe: \_\_\_\_\_

vi. Are public/private transportation service(s) or facilities available within 1/2 mile of the proposed site?  Yes  No

vii. Will the proposed action include access to public transportation or accommodations for use of hybrid, electric or other alternative fueled vehicles?  Yes  No

viii. Will the proposed action include plans for pedestrian or bicycle accommodations for connections to existing pedestrian or bicycle routes?  Yes  No

k. Will the proposed action (for commercial or industrial projects only) generate new or additional demand for energy?  Yes  No

If Yes:

i. Estimate annual electricity demand during operation of the proposed action: \_\_\_\_\_  
20000kwh

ii. Anticipated sources/suppliers of electricity for the project (e.g., on-site combustion, on-site renewable, via grid/local utility, or other):  
NYSEG electric local utility

iii. Will the proposed action require a new, or an upgrade, to an existing substation?  Yes  No

l. Hours of operation. Answer all items which apply.

i. During Construction:

- Monday - Friday: 7-330
- Saturday: n/a
- Sunday: n/a
- Holidays: n/a

ii. During Operations:

- Monday - Friday: 8-8
- Saturday: 8-8
- Sunday: 8-8
- Holidays: 8-8

m. Will the proposed action produce noise that will exceed existing ambient noise levels during construction, operation, or both?

If yes:

i. Provide details including sources, time of day and duration:

\_\_\_\_\_

ii. Will the proposed action remove existing natural barriers that could act as a noise barrier or screen?  Yes  No

Describe: \_\_\_\_\_

n. Will the proposed action have outdoor lighting?  Yes  No

If yes:

i. Describe source(s), location(s), height of fixture(s), direction/aim, and proximity to nearest occupied structures:  
Corners of community building, street light eye height at each cottage along driveway

\_\_\_\_\_

ii. Will proposed action remove existing natural barriers that could act as a light barrier or screen?  Yes  No

Describe: \_\_\_\_\_

o. Does the proposed action have the potential to produce odors for more than one hour per day?  Yes  No

If Yes, describe possible sources, potential frequency and duration of odor emissions, and proximity to nearest occupied structures:

\_\_\_\_\_

\_\_\_\_\_

p. Will the proposed action include any bulk storage of petroleum (combined capacity of over 1,100 gallons) or chemical products 185 gallons in above ground storage or any amount in underground storage?  Yes  No

If Yes:

i. Product(s) to be stored \_\_\_\_\_

ii. Volume(s) \_\_\_\_\_ per unit time \_\_\_\_\_ (e.g., month, year)

iii. Generally, describe the proposed storage facilities: \_\_\_\_\_

\_\_\_\_\_

q. Will the proposed action (commercial, industrial and recreational projects only) use pesticides (i.e., herbicides, insecticides) during construction or operation?  Yes  No

If Yes:

i. Describe proposed treatment(s):

\_\_\_\_\_

\_\_\_\_\_

ii. Will the proposed action use Integrated Pest Management Practices?  Yes  No

r. Will the proposed action (commercial or industrial projects only) involve or require the management or disposal of solid waste (excluding hazardous materials)?  Yes  No

If Yes:

i. Describe any solid waste(s) to be generated during construction or operation of the facility:

- Construction: \_\_\_\_\_ 2 tons per \_\_\_\_\_ month (unit of time)
- Operation : \_\_\_\_\_ tons per \_\_\_\_\_ (unit of time)

ii. Describe any proposals for on-site minimization, recycling or reuse of materials to avoid disposal as solid waste:

- Construction: separate dumpsters for waste and recycling \_\_\_\_\_
- Operation: separate waste and recycling containers \_\_\_\_\_

iii. Proposed disposal methods/facilities for solid waste generated on-site:

- Construction: licensed dumpster service \_\_\_\_\_
- Operation: private disposal service \_\_\_\_\_

s. Does the proposed action include construction or modification of a solid waste management facility?

Section 3, Item d.

If Yes:

- i. Type of management or handling of waste proposed for the site (e.g., recycling or transfer station, composting, landfill, or other disposal activities): \_\_\_\_\_
- ii. Anticipated rate of disposal/processing:
  - \_\_\_\_\_ Tons/month, if transfer or other non-combustion/thermal treatment, or
  - \_\_\_\_\_ Tons/hour, if combustion or thermal treatment
- iii. If landfill, anticipated site life: \_\_\_\_\_ years

t. Will the proposed action at the site involve the commercial generation, treatment, storage, or disposal of hazardous waste?  Yes  No

If Yes:

- i. Name(s) of all hazardous wastes or constituents to be generated, handled or managed at facility: \_\_\_\_\_
- ii. Generally describe processes or activities involving hazardous wastes or constituents: \_\_\_\_\_
- iii. Specify amount to be handled or generated \_\_\_\_\_ tons/month
- iv. Describe any proposals for on-site minimization, recycling or reuse of hazardous constituents: \_\_\_\_\_
- v. Will any hazardous wastes be disposed at an existing offsite hazardous waste facility?  Yes  No

If Yes: provide name and location of facility: \_\_\_\_\_

If No: describe proposed management of any hazardous wastes which will not be sent to a hazardous waste facility: \_\_\_\_\_

**E. Site and Setting of Proposed Action**

**E.1. Land uses on and surrounding the project site**

a. Existing land uses.

i. Check all uses that occur on, adjoining and near the project site.

- Urban  Industrial  Commercial  Residential (suburban)  Rural (non-farm)
- Forest  Agriculture  Aquatic  Other (specify): \_\_\_\_\_

ii. If mix of uses, generally describe: \_\_\_\_\_

b. Land uses and covertypes on the project site.

| Land use or Covertypes                                                                   | Current Acreage | Acreage After Project Completion | Change (Acres +/-) |
|------------------------------------------------------------------------------------------|-----------------|----------------------------------|--------------------|
| • Roads, buildings, and other paved or impervious surfaces                               |                 | 1.5                              | +1.5               |
| • Forested                                                                               | 13.8            | 11.8                             | -2.0               |
| • Meadows, grasslands or brushlands (non-agricultural, including abandoned agricultural) | 2.35            | 1.85                             | -0.5               |
| • Agricultural (includes active orchards, field, greenhouse etc.)                        |                 |                                  |                    |
| • Surface water features (lakes, ponds, streams, rivers, etc.)                           | 0               | 0.37                             | +0.37              |
| • Wetlands (freshwater or tidal)                                                         |                 |                                  |                    |
| • Non-vegetated (bare rock, earth or fill)                                               |                 |                                  |                    |
| • Other Describe: septic vs forest                                                       | 0               | 0.62                             | +0.62              |

c. Is the project site presently used by members of the community for public recreation? Section 3, Item d.  
i. If Yes: explain: \_\_\_\_\_

d. Are there any facilities serving children, the elderly, people with disabilities (e.g., schools, hospitals, licensed day care centers, or group homes) within 1500 feet of the project site?  Yes  No  
If Yes,  
i. Identify Facilities: \_\_\_\_\_

e. Does the project site contain an existing dam?  Yes  No  
If Yes:  
i. Dimensions of the dam and impoundment:  
• Dam height: \_\_\_\_\_ feet  
• Dam length: \_\_\_\_\_ feet  
• Surface area: \_\_\_\_\_ acres  
• Volume impounded: \_\_\_\_\_ gallons OR acre-feet  
ii. Dam's existing hazard classification: \_\_\_\_\_  
iii. Provide date and summarize results of last inspection: \_\_\_\_\_

f. Has the project site ever been used as a municipal, commercial or industrial solid waste management facility, or does the project site adjoin property which is now, or was at one time, used as a solid waste management facility?  Yes  No  
If Yes:  
i. Has the facility been formally closed?  Yes  No  
• If yes, cite sources/documentation: \_\_\_\_\_  
ii. Describe the location of the project site relative to the boundaries of the solid waste management facility: \_\_\_\_\_  
iii. Describe any development constraints due to the prior solid waste activities: \_\_\_\_\_

g. Have hazardous wastes been generated, treated and/or disposed of at the site, or does the project site adjoin property which is now or was at one time used to commercially treat, store and/or dispose of hazardous waste?  Yes  No  
If Yes:  
i. Describe waste(s) handled and waste management activities, including approximate time when activities occurred: \_\_\_\_\_

h. Potential contamination history. Has there been a reported spill at the proposed project site, or have any remedial actions been conducted at or adjacent to the proposed site?  Yes  No  
If Yes:  
i. Is any portion of the site listed on the NYSDEC Spills Incidents database or Environmental Site Remediation database? Check all that apply:  Yes  No  
 Yes – Spills Incidents database Provide DEC ID number(s): \_\_\_\_\_  
 Yes – Environmental Site Remediation database Provide DEC ID number(s): \_\_\_\_\_  
 Neither database  
ii. If site has been subject of RCRA corrective activities, describe control measures: \_\_\_\_\_  
iii. Is the project within 2000 feet of any site in the NYSDEC Environmental Site Remediation database?  Yes  No  
If yes, provide DEC ID number(s): 755011  
iv. If yes to (i), (ii) or (iii) above, describe current status of site(s):  
This site is empty forested land. The cited DEC facility id a dry cleaning business south of Gulf Stream. It was remediated in 2001 and is currently under site management entailing periodic sampling (see attached Site Record)

v. Is the project site subject to an institutional control limiting property uses?

- If yes, DEC site ID number: \_\_\_\_\_
- Describe the type of institutional control (e.g., deed restriction or easement): \_\_\_\_\_
- Describe any use limitations: \_\_\_\_\_
- Describe any engineering controls: \_\_\_\_\_
- Will the project affect the institutional or engineering controls in place?  Yes  No
- Explain: \_\_\_\_\_

**E.2. Natural Resources On or Near Project Site**

a. What is the average depth to bedrock on the project site? 6.5 except where LtB feet

b. Are there bedrock outcroppings on the project site?  Yes  No  
If Yes, what proportion of the site is comprised of bedrock outcroppings? \_\_\_\_\_ %

c. Predominant soil type(s) present on project site:

|                                        |       |           |
|----------------------------------------|-------|-----------|
| llion silty clay loam                  | _____ | 46 %      |
| Conesus gravelly silt loam             | _____ | 19 %      |
| Ovid silt loam & Lansing gravelly silt | _____ | both 14 % |

d. What is the average depth to the water table on the project site? Average: 1.5 feet

e. Drainage status of project site soils:

- Well Drained: 28 % of site
- Moderately Well Drained: 19 % of site
- Poorly Drained: 46 % of site

f. Approximate proportion of proposed action site with slopes:

- 0-10%: 100 % of site
- 10-15%: \_\_\_\_\_ % of site
- 15% or greater: \_\_\_\_\_ % of site

g. Are there any unique geologic features on the project site?  Yes  No  
If Yes, describe: \_\_\_\_\_

**h. Surface water features.**

i. Does any portion of the project site contain wetlands or other waterbodies (including streams, rivers, ponds or lakes)?  Yes  No

ii. Do any wetlands or other waterbodies adjoin the project site?  Yes  No

If Yes to either i or ii, continue. If No, skip to E.2.i.

iii. Are any of the wetlands or waterbodies within or adjoining the project site regulated by any federal, state or local agency?  Yes  No

iv. For each identified regulated wetland and waterbody on the project site, provide the following information:

- Streams: Name None Classification \_\_\_\_\_
- Lakes or Ponds: Name None Classification \_\_\_\_\_
- Wetlands: Name None Approximate Size \_\_\_\_\_
- Wetland No. (if regulated by DEC) N/A

v. Are any of the above water bodies listed in the most recent compilation of NYS water quality-impaired waterbodies?  Yes  No

If yes, name of impaired water body/bodies and basis for listing as impaired: \_\_\_\_\_

i. Is the project site in a designated Floodway?  Yes  No

j. Is the project site in the 100-year Floodplain?  Yes  No

k. Is the project site in the 500-year Floodplain?  Yes  No

l. Is the project site located over, or immediately adjoining, a primary, principal or sole source aquifer?  Yes  No

If Yes:  
i. Name of aquifer: \_\_\_\_\_

m. Identify the predominant wildlife species that occupy or use the project site: Section 3, Item d.

deer \_\_\_\_\_ chipmonk \_\_\_\_\_

raccoon \_\_\_\_\_

rabbit \_\_\_\_\_

n. Does the project site contain a designated significant natural community?  Yes  No

If Yes:

i. Describe the habitat/community (composition, function, and basis for designation): \_\_\_\_\_

ii. Source(s) of description or evaluation: \_\_\_\_\_

iii. Extent of community/habitat:

- Currently: \_\_\_\_\_ acres
- Following completion of project as proposed: \_\_\_\_\_ acres
- Gain or loss (indicate + or -): \_\_\_\_\_ acres

o. Does project site contain any species of plant or animal that is listed by the federal government or NYS as endangered or threatened, or does it contain any areas identified as habitat for an endangered or threatened species?  Yes  No

If Yes:

i. Species and listing (endangered or threatened): \_\_\_\_\_

\_\_\_\_\_

p. Does the project site contain any species of plant or animal that is listed by NYS as rare, or as a species of special concern?  Yes  No

If Yes:

i. Species and listing: \_\_\_\_\_

\_\_\_\_\_

q. Is the project site or adjoining area currently used for hunting, trapping, fishing or shell fishing?  Yes  No

If yes, give a brief description of how the proposed action may affect that use: \_\_\_\_\_

\_\_\_\_\_

**E.3. Designated Public Resources On or Near Project Site**

a. Is the project site, or any portion of it, located in a designated agricultural district certified pursuant to Agriculture and Markets Law, Article 25-AA, Section 303 and 304?  Yes  No

If Yes, provide county plus district name/number: \_\_\_\_\_

b. Are agricultural lands consisting of highly productive soils present?  Yes  No

i. If Yes: acreage(s) on project site? \_\_\_\_\_

ii. Source(s) of soil rating(s): \_\_\_\_\_

c. Does the project site contain all or part of, or is it substantially contiguous to, a registered National Natural Landmark?  Yes  No

If Yes:

i. Nature of the natural landmark:  Biological Community  Geological Feature

ii. Provide brief description of landmark, including values behind designation and approximate size/extent: \_\_\_\_\_

\_\_\_\_\_

d. Is the project site located in or does it adjoin a state listed Critical Environmental Area?  Yes  No

If Yes:

i. CEA name: \_\_\_\_\_

ii. Basis for designation: \_\_\_\_\_

iii. Designating agency and date: \_\_\_\_\_

e. Does the project site contain, or is it substantially contiguous to, a building, archaeological site, or district which is listed on the National or State Register of Historic Places, or that has been determined by the Commission Office of Parks, Recreation and Historic Preservation to be eligible for listing on the State Register of Historic Places?

If Yes:

i. Nature of historic/archaeological resource:  Archaeological Site  Historic Building or District

ii. Name: \_\_\_\_\_

iii. Brief description of attributes on which listing is based: \_\_\_\_\_

f. Is the project site, or any portion of it, located in or adjacent to an area designated as sensitive for archaeological sites on the NY State Historic Preservation Office (SHPO) archaeological site inventory?  Yes  No

g. Have additional archaeological or historic site(s) or resources been identified on the project site?  Yes  No

If Yes:

i. Describe possible resource(s): \_\_\_\_\_

ii. Basis for identification: \_\_\_\_\_

h. Is the project site within five miles of any officially designated and publicly accessible federal, state, or local scenic or aesthetic resource?  Yes  No

If Yes:

i. Identify resource: \_\_\_\_\_

ii. Nature of, or basis for, designation (e.g., established highway overlook, state or local park, state historic trail or scenic byway, etc.): \_\_\_\_\_

iii. Distance between project and resource: \_\_\_\_\_ miles.

i. Is the project site located within a designated river corridor under the Wild, Scenic and Recreational Rivers Program 6 NYCRR 666?  Yes  No

If Yes:

i. Identify the name of the river and its designation: \_\_\_\_\_

ii. Is the activity consistent with development restrictions contained in 6NYCRR Part 666?  Yes  No

**F. Additional Information**

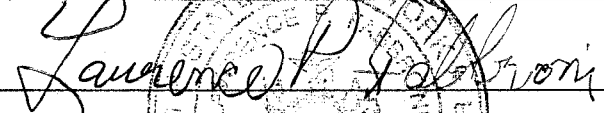
Attach any additional information which may be needed to clarify your project.

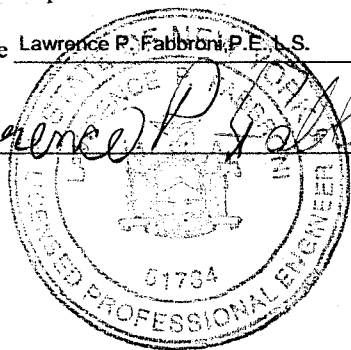
If you have identified any adverse impacts which could be associated with your proposal, please describe those impacts plus any measures which you propose to avoid or minimize them.

**G. Verification**

I certify that the information provided is true to the best of my knowledge.

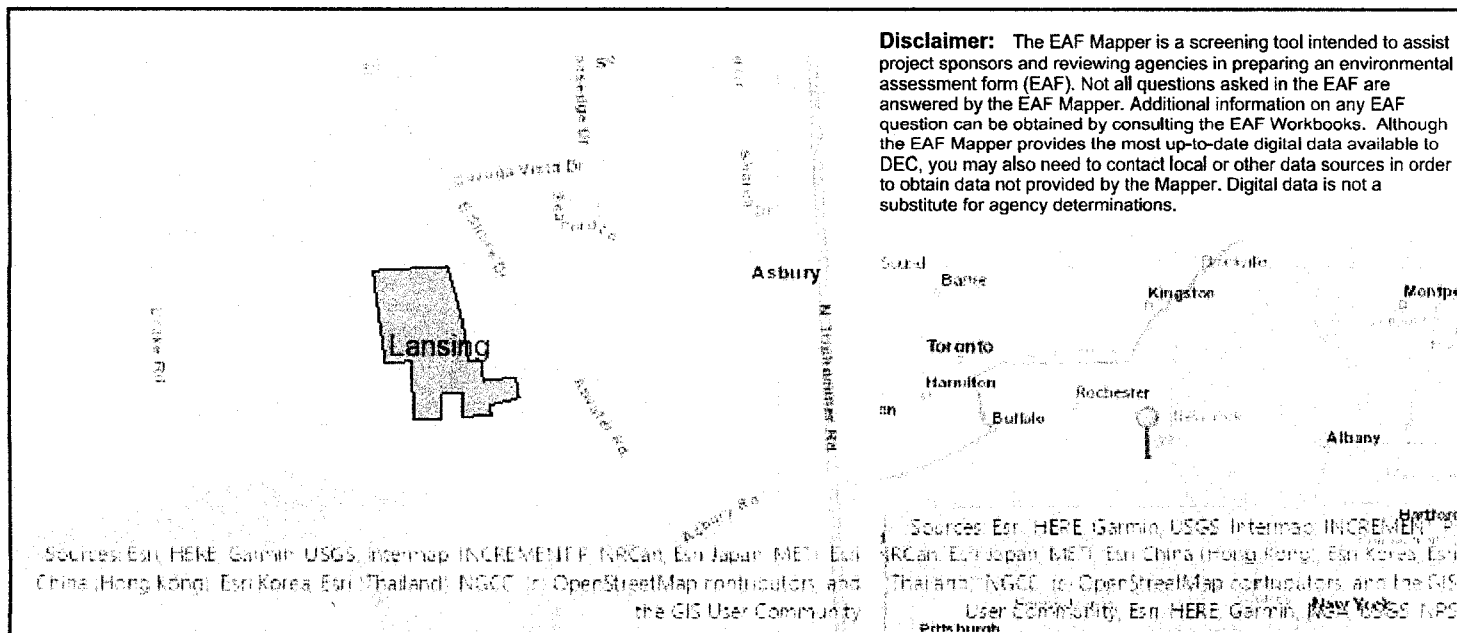
Applicant/Sponsor Name Lawrence P. Fabbroni, P.E., I.S. Date March 24, 2024

Signature  Title Project Engineer, Surveyor



**PRINT FORM**





|                                                                                     |                                                                                                                                   |
|-------------------------------------------------------------------------------------|-----------------------------------------------------------------------------------------------------------------------------------|
| B.i.i [Coastal or Waterfront Area]                                                  | No                                                                                                                                |
| B.i.ii [Local Waterfront Revitalization Area]                                       | No                                                                                                                                |
| C.2.b. [Special Planning District]                                                  | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.1.h [DEC Spills or Remediation Site - Potential Contamination History]            | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.1.h.i [DEC Spills or Remediation Site - Listed]                                   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.1.h.ii [DEC Spills or Remediation Site - Environmental Site Remediation Database] | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.1.h.iii [Within 2,000' of DEC Remediation Site]                                   | Yes                                                                                                                               |
| E.1.h.iii [Within 2,000' of DEC Remediation Site - DEC ID]                          | 755011                                                                                                                            |
| E.2.g [Unique Geologic Features]                                                    | No                                                                                                                                |
| E.2.h.i [Surface Water Features]                                                    | No                                                                                                                                |
| E.2.h.ii [Surface Water Features]                                                   | Yes                                                                                                                               |
| E.2.h.iii [Surface Water Features]                                                  | Yes - Digital mapping information on local and federal wetlands and waterbodies is known to be incomplete. Refer to EAF Workbook. |
| E.2.h.v [Impaired Water Bodies]                                                     | No                                                                                                                                |
| E.2.i. [Floodway]                                                                   | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.2.j. [100 Year Floodplain]                                                        | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.2.k. [500 Year Floodplain]                                                        | Digital mapping data are not available or are incomplete. Refer to EAF Workbook.                                                  |
| E.2.l. [Aquifers]                                                                   | No                                                                                                                                |



**Department of  
Environmental  
Conservation**

Section 3, Item d.

# Environmental Site Remediation Database Search Details

---

## Site Record

### Document Repository

Site-related documents are available for review through the DECInfo Locator on line at DECInfoLocator

## Administrative Information

**Site Name:** Colonial Cleaners

**Site Code:** 755011

**Program:** State Superfund Program

**Classification:** 04

**EPA ID Number:**

## Location

**DEC Region:** 7

**Address:** 1902 East Shore Drive

**City:**Lansing Zip: 14882

**County:**Tompkins

**Latitude:** 42.526443008

**Longitude:** -76.501131296

**Site Type:** STRUCTURE

**Estimated Size:** 1.6 Acres

## Institutional And Engineering Controls

**Control Type:**

Decision Document

**Control Elements:**

Vapor Mitigation

Groundwater Treatment System

## Site Owner(s) and Operator(s)

**Current Owner Name:** Glenda Long

**Current Owner(s) Address:** 197 Tarytown Drive  
Ithaca, NY, 14850

**Owner(s) during disposal:** Glenda Long

**Current On-Site Operator:** Colonial Cleaners

**Stated Operator(s) Address:** 1902 East Shore Drive  
Lansing, NY 14882

## Hazardous Waste Disposal Period

From: 1960s To: 1990

### Site Description

**Location:** The Colonial Cleaners site is a 1.55 acres lot located at 1902 East Shore Drive in a rural portion of the Town of Lansing, Tompkins County, NY. The site is bordered on the west and south by residences, on the north by Gulf Creek, and on the east by East Shore Drive. **Site Features:** The main site features include a one story concrete block structure which houses the Colonial Cleaners dry cleaning business. The site is located in the Gulf Creek watershed which empties into Cayuga Lake. **Current Zoning/Use:** The site is zoned commercial/residential. It is currently an active dry cleaners. The surrounding parcels are currently used for a combination of residential and commercial businesses. The nearest residence is adjacent. **Historical Use:** The Colonial Cleaners property has been continuously operated as a dry cleaning business since 1962. Prior dry cleaning activities have led to the release of solvents which have contaminated the site soils and groundwater. The Remedial Investigation was completed in 2001 and a Record of Decision (ROD) selecting "No Further Action" (NFA) was signed in March 2001 based on the completion of a series of interim remedial measures (IRMs). The IRMs consisted of the excavation of accessible contaminated soils, installation of a sub-floor Soil Vapor Extraction (SVE) system in the dry cleaning building, closure of a foundation drain, construction of a groundwater extraction and treatment system and installation of an on-site SVE system to treat the excavated soils. The ROD required the continued operation of these systems. The on-site soil SVE treatment is complete and the system was shut down. In the fall of 2008, two sub-slab depressurization systems (SSDS) were (presumptively) installed in neighboring houses; there was no subslab vapor sampling performed prior to installation of the systems. Since this was a legacy site, an Soil Vapor Intrusion (SVI) evaluation was completed in 2010. With Department approval, the groundwater treatment system was shut down in March 2015 and routine groundwater sampling terminated in December 2018. Emergent contaminant sampling was conducted in June 2018. **Operable Units:** The site is being managed as a single operable unit, and a series of IRMs have been performed. **Site Geology and Hydrogeology:** Groundwater is present at approximately 5 feet below ground surface (bgs) and flows toward the west towards Cayuga Lake. Highly fractured bedrock occurs at approximately 7 feet bgs. The site is currently in Site Management. The PRP is performing the site management activities in accordance with the approved Operation and Maintenance manual. Deed restrictions were voluntarily placed on the property in 2011 (i.e. they were not required by the ROD.) The restrictions require that any new buildings on the site be evaluated for SVI; the use of site groundwater be restricted without treatment; and the owner of the Property comply with the December 2003 Operation and Maintenance manual and the June 2009 Sub-Slab Management Plan for the SSDSs.

# Contaminants of Concern (Including Materials Disposed)

Section 3, Item d.

## Contaminant Name/Type

tetrachloroethene (PCE)

## Site Environmental Assessment

**Nature and Extent of Contamination:** The primary contaminants of concern are PCE and its breakdown products in site soils and the groundwater. Levels of PCE were as high as 9600 parts per billion (ppb) in the groundwater on site and 440 parts per million (ppm) in soils under the facility. Remedial construction at the site has been completed. The levels for PCE in groundwater have declined, and are currently 28 ppb. There is approximately 6,800 ppbv in the influent of the SVE system under the facility. Groundwater is about 5 feet down and flows toward the west, emptying into Cayuga Lake. The bedrock is about the same depth and has numerous fractures. A vapor intrusion evaluation was performed. Subslab depressurization systems were presumptively installed at two adjacent residences; there was no subslab vapor sampling prior to installation. The vapor intrusion project evaluation determined that no further action was required. **Significant Threat:** Before remediation, the site presented a significant environmental threat due to releases of PCE, since stopped, to the soils and groundwater.

## Site Health Assessment

People are not expected to come into direct contact with contaminants in the soil because the majority of the contamination has either been removed or exists beneath the on-site building. People may come into direct contact with contaminants if the building is removed or they dig below it. People are not drinking contaminated groundwater associated with the site because the area is served by a public water supply that obtains its water from a different source not affected by this contamination. Volatile organic compounds in the groundwater may move into the soil vapor (air spaces within the soil), which in turn may move into overlying buildings and affect the indoor air quality. This process, which is similar to the movement of radon gas from the subsurface into the indoor air of buildings, is referred to as soil vapor intrusion. Soil vapor extraction and sub-slab depressurization systems (systems that ventilate/remove the air beneath the building) have been installed in both on and off-site buildings to prevent the indoor air quality from being affected by the contamination in soil vapor beneath the buildings.

For more Information: E-mail Us

[Return To Results](#)[Refine This Search](#)

## Map Unit Legend

| Map Unit Symbol                    | Map Unit Name                                                                       | Acres in AOI | Percent of AOI |
|------------------------------------|-------------------------------------------------------------------------------------|--------------|----------------|
| CfB                                | Conesus gravelly silt loam, 3 to 8 percent slopes                                   | 3.6          | 19.3%          |
| IcB                                | Ilion silty clay loam, 2 to 6 percent slopes                                        | 8.6          | 46.2%          |
| LbB                                | Lansing gravelly silt loam, 3 to 8 percent slopes                                   | 2.7          | 14.6%          |
| LtB                                | Lordstown, Tuller, and Ovid soils, shallow and very shallow, 0 to 15 percent slopes | 0.9          | 5.1%           |
| OaA                                | Ovid silt loam, 0 to 6 percent slopes                                               | 2.8          | 14.8%          |
| <b>Totals for Area of Interest</b> |                                                                                     | <b>18.6</b>  | <b>100.0%</b>  |

## Tompkins County, New York

### CfB—Conesus gravelly silt loam, 3 to 8 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2w3j3

*Elevation:* 820 to 1,800 feet

*Mean annual precipitation:* 31 to 57 inches

*Mean annual air temperature:* 41 to 50 degrees F

*Frost-free period:* 100 to 190 days

*Farmland classification:* All areas are prime farmland

#### Map Unit Composition

*Conesus and similar soils:* 85 percent

*Minor components:* 15 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Conesus

##### Setting

*Landform:* Till plains, hills, drumlins

*Landform position (two-dimensional):* Shoulder, summit

*Landform position (three-dimensional):* Crest

*Down-slope shape:* Linear

*Across-slope shape:* Convex

*Parent material:* Calcareous loamy lodgment till derived from limestone, sandstone, and shale

##### Typical profile

*Ap - 0 to 9 inches:* gravelly silt loam

*E/B - 9 to 14 inches:* gravelly silt loam

*Bt/E - 14 to 19 inches:* gravelly silt loam

*Bt1 - 19 to 25 inches:* gravelly silt loam

*Bt2 - 25 to 36 inches:* gravelly silt loam

*C - 36 to 79 inches:* gravelly loam

##### Properties and qualities

*Slope:* 3 to 8 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Moderately well drained

*Runoff class:* Medium

*Capacity of the most limiting layer to transmit water*

*(Ksat):* Moderately low to moderately high (0.01 to 1.42 in/hr)

*Depth to water table:* About 18 to 24 inches

*Frequency of flooding:* None

*Frequency of ponding:* None

*Calcium carbonate, maximum content:* 40 percent

*Available water supply, 0 to 60 inches:* Moderate (about 7.5 inches)

## Tompkins County, New York

### IcB—Ilion silty clay loam, 2 to 6 percent slopes

#### Map Unit Setting

*National map unit symbol:* 9xmj

*Elevation:* 600 to 1,800 feet

*Mean annual precipitation:* 32 to 42 inches

*Mean annual air temperature:* 45 to 48 degrees F

*Frost-free period:* 120 to 160 days

*Farmland classification:* Farmland of statewide importance

#### Map Unit Composition

*Ilion and similar soils:* 75 percent

*Minor components:* 25 percent

*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Ilion

##### Setting

*Landform:* Depressions

*Landform position (two-dimensional):* Toeslope

*Landform position (three-dimensional):* Base slope

*Down-slope shape:* Concave

*Across-slope shape:* Concave

*Parent material:* Loamy till derived from calcareous dark shale

##### Typical profile

*H1 - 0 to 10 inches:* silty clay loam

*H2 - 10 to 26 inches:* silty clay loam

*H3 - 26 to 60 inches:* silt loam

##### Properties and qualities

*Slope:* 2 to 6 percent

*Depth to restrictive feature:* More than 80 inches

*Drainage class:* Poorly drained

*Capacity of the most limiting layer to transmit water*

*(Ksat):* Moderately low to moderately high (0.06 to 0.20 in/hr)

*Depth to water table:* About 0 inches

*Frequency of flooding:* None

*Frequency of ponding:* Frequent

*Calcium carbonate, maximum content:* 10 percent

*Available water supply, 0 to 60 inches:* Moderate (about 7.9 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified

*Land capability classification (nonirrigated):* 4w

*Hydrologic Soil Group:* C/D

*Ecological site:* F101XY014NY - Wet Till Depression

*Hydric soil rating:* Yes

## Tompkins County, New York

### LbB—Lansing gravelly silt loam, 3 to 8 percent slopes

#### Map Unit Setting

*National map unit symbol:* 2w3mb  
*Elevation:* 460 to 1,800 feet  
*Mean annual precipitation:* 31 to 57 inches  
*Mean annual air temperature:* 41 to 50 degrees F  
*Frost-free period:* 100 to 190 days  
*Farmland classification:* All areas are prime farmland

#### Map Unit Composition

*Lansing and similar soils:* 85 percent  
*Minor components:* 15 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Lansing

##### Setting

*Landform:* Till plains, drumlins, hills  
*Landform position (two-dimensional):* Backslope, shoulder, summit  
*Landform position (three-dimensional):* Side slope, crest  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Parent material:* Calcareous loamy lodgment till derived from limestone, sandstone, and shale

##### Typical profile

*Ap - 0 to 8 inches:* gravelly silt loam  
*E - 8 to 13 inches:* gravelly silt loam  
*Bt/E - 13 to 21 inches:* gravelly silt loam  
*Bt1 - 21 to 28 inches:* gravelly silt loam  
*Bt2 - 28 to 39 inches:* gravelly silt loam  
*C - 39 to 79 inches:* gravelly loam

##### Properties and qualities

*Slope:* 3 to 8 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Well drained  
*Runoff class:* Medium  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately low to moderately high (0.01 to 1.42 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 40 percent  
*Available water supply, 0 to 60 inches:* Moderate (about 8.1 inches)



## Tompkins County, New York

### LtB—Lordstown, Tuller, and Ovid soils, shallow and very shallow, 0 to 15 percent slopes

#### Map Unit Setting

*National map unit symbol:* 9xn5  
*Elevation:* 330 to 2,460 feet  
*Mean annual precipitation:* 32 to 42 inches  
*Mean annual air temperature:* 45 to 48 degrees F  
*Frost-free period:* 120 to 160 days  
*Farmland classification:* Not prime farmland

#### Map Unit Composition

*Lordstown, shallow, and similar soils:* 27 percent  
*Tuller and similar soils:* 25 percent  
*Ovid, shallow, and similar soils:* 23 percent  
*Minor components:* 25 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Lordstown, Shallow

##### Setting

*Landform:* Benches, ridges, hills  
*Landform position (two-dimensional):* Shoulder  
*Landform position (three-dimensional):* Crest  
*Down-slope shape:* Convex  
*Across-slope shape:* Convex  
*Parent material:* Loamy till derived from sandstone and siltstone

##### Typical profile

*H1 - 0 to 6 inches:* channery silt loam  
*H2 - 6 to 15 inches:* channery silt loam  
*H3 - 15 to 19 inches:* unweathered bedrock

##### Properties and qualities

*Slope:* 0 to 15 percent  
*Depth to restrictive feature:* 10 to 20 inches to lithic bedrock  
*Drainage class:* Somewhat excessively drained  
*Capacity of the most limiting layer to transmit water (Ksat):* Very low (0.00 to 0.00 in/hr)  
*Depth to water table:* More than 80 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Available water supply, 0 to 60 inches:* Very low (about 2.0 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 3s  
*Hydrologic Soil Group:* D  
*Ecological site:* F140XY026PA - Dry Till Uplands

## Tompkins County, New York

### OaA—Ovid silt loam, 0 to 6 percent slopes

#### Map Unit Setting

*National map unit symbol:* 9xnm  
*Elevation:* 250 to 1,000 feet  
*Mean annual precipitation:* 32 to 42 inches  
*Mean annual air temperature:* 45 to 48 degrees F  
*Frost-free period:* 120 to 160 days  
*Farmland classification:* Prime farmland if drained

#### Map Unit Composition

*Ovid and similar soils:* 75 percent  
*Minor components:* 25 percent  
*Estimates are based on observations, descriptions, and transects of the mapunit.*

#### Description of Ovid

##### Setting

*Landform:* Till plains, reworked lake plains  
*Landform position (two-dimensional):* Footslope  
*Landform position (three-dimensional):* Base slope  
*Down-slope shape:* Concave  
*Across-slope shape:* Linear  
*Parent material:* Loamy till with a significant component of reddish shale or reddish glaciolacustrine clays, mixed with limestone and some sandstone

##### Typical profile

*H1 - 0 to 14 inches:* silt loam  
*H2 - 14 to 24 inches:* silty clay loam  
*H3 - 24 to 60 inches:* gravelly loam

##### Properties and qualities

*Slope:* 0 to 6 percent  
*Depth to restrictive feature:* More than 80 inches  
*Drainage class:* Somewhat poorly drained  
*Capacity of the most limiting layer to transmit water (Ksat):* Moderately low to moderately high (0.06 to 0.20 in/hr)  
*Depth to water table:* About 6 to 18 inches  
*Frequency of flooding:* None  
*Frequency of ponding:* None  
*Calcium carbonate, maximum content:* 5 percent  
*Available water supply, 0 to 60 inches:* Moderate (about 8.7 inches)

##### Interpretive groups

*Land capability classification (irrigated):* None specified  
*Land capability classification (nonirrigated):* 3w  
*Hydrologic Soil Group:* C/D