

AGENDA

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

OLD BUSINESS

- [1.](#) Approval of Minutes

AUDIENCE PARTICIPATION

PRESENTATIONS

NEW BUSINESS

- [2.](#) Ordinance No. 1063 - Sewer and Trash Disposal Assessments
- [3.](#) Ordinance No. 1064 - Weed Removal Assessments
- [4.](#) Design Services for McIntyre Interceptor Sewer Extension - City Project 21-04
- [5.](#) Storm Sewer Project - 4-H and Valley
- [6.](#) Ordinance No. 1065 - Rezone Request 24725 147th Street and Portion of 00000 147th Street
- [7.](#) Executive Session - Non-Elected Personnel

REPORTS - City Attorney, City Administrator, Department Heads, Councilmembers

PROCLAMATIONS

OTHER ITEMS OF INTEREST

- [8.](#) Treasurer's Report for Quarter Ending June 30, 2021
- [9.](#) Monthly Department Vehicle and Equipment Mileage Report
- [10.](#) Community & Economic Development Department Monthly Report

ADJOURNMENT

Regular meetings are held on the first and third Thursday of each month. For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. Any person wishing to address the City Council, simply proceed to the microphone in front of the dais after the agenda item has been introduced and wait to be recognized by the Mayor. When called upon, please begin by stating your name and address. A time designated "Audience Participation" is listed on the agenda for any matter that does not appear on this agenda. The Mayor will call for audience participation. Please be aware that the City Council and staff may not have had advance notice of your topic and that the City Council may not be able to provide a decision at the meeting. If you require any special assistance, please notify the City Clerk prior to the meeting.

AGENDA ITEM

TO: Tim Vandall, City Administrator
THRU: Sarah Bodensteiner, City Clerk
FROM: Shantel Scrogin, Assistant City Clerk
DATE: July 12, 2021
SUBJECT: Approval of Minutes

The Regular Meeting Minutes of July 1, 2021 are enclosed for your review.

Action: Staff recommends a motion to approve the Regular Meeting Minutes of July 1, 2021, as presented.

AGENDA ITEM

CITY OF LANSING

CITY COUNCIL MEETING

REGULAR MEETING MINUTES
July 1, 2021

Call To Order:

The regular meeting of the Lansing City Council was called to order by Mayor McNeill at 7:04 p.m.

Roll Call:

Mayor McNeill called the roll and indicated which Councilmembers were in attendance.

Councilmembers Present:

Ward 1: Gene Kirby and Dave Trinkle

Ward 2: Marcus Majure

Ward 3: Jesse Garvey

Ward 4: Ron Dixon

Councilmembers Absent: Kerry Brungardt, Don Studnicka and Gregg Buehler

OLD BUSINESS:

Approval of Minutes: Councilmember Dixon moved to approve the Regular Meeting Minutes of June 17, 2021, as presented. Councilmember Garvey seconded the motion. The motion was unanimously approved.

Audience Participation: Mayor McNeill called for audience participation on an item not on the agenda and there was none.

Presentations

COUNCIL CONSIDERATION OF AGENDA ITEMS:

K-7 and Gilman Road Intersection Study: Public Works Director Mike Spickelmier stated yes as you are aware, there was some, this has been an ongoing process. In 2011, the Council first considered the intersection of K-7 and Gilman. There was a study done then and there was some discussion between the Kansas Department of Transportation and the City of Lansing. Ultimately it had never really moved forward at that time. Some things had changed, and we revisited it in 2020. There was a Work Session with the City Council; there was direction given to the Public Works department to commission another study to look at the warrants for the installation of a traffic signal at the intersection of K-7 and Gilman. Unfortunately, between the January 2020 and the discussion during that where we wanted to wait until after Spring Break, so we got the most advantageous traffic counts is when the Covid-19 pandemic hit. So, we have not really, we're not really sure where our traffic counts are in relationship to what a new normal would be at this point, but the study proceeded on just to analyze the intersection with what we currently have. The results of that finding have been presented inside the memorandum that has been presented to the City Council and to the City of Lansing. The bottom line is at this time, the intersection does not meet the warrants for the installation of a traffic signal there. Now that being said, that doesn't mean at some point in the future something might precipitate a change. This is a likely location for a traffic signal. I think everyone realizes there is a lot of things that will play into that too. One, our Industrial Park and the transfer station are east of there with a lot of south bound turning movements that need to happen so if that was to grow, we would start seeing that potentially occur. The other one is the completion of the Gilman Road corridor is something on mid term horizon for the City of Lansing. So, when the Gilman Road corridor is completed and if we see further development around the high school, there's also potential for a change in traffic pattern which will require further analysis at that time. Just be aware though that the K-7 and Gilman interchange does present some challenges to the installation of a traffic signal. One, the K-7 corridor plan would need to be complied with since this is a Kansas Department of Transportation highway so there would be a lot of oversight from KDOT. Second is as you are aware, there is a bridge immediately south of that intersection. So, when you go to put an intersection, you put acceleration and deceleration lanes and stuff like that to meet current modern geometries. The proximity of the bridge may pose some additional challenges that would need to be addressed as we move forward on that. The bottom line is the study showed that we are not quite there yet. That's not to say if the city wanted to undertake the project at some point in the future, Kansas Department of Transportation might not entertain that. They've indicated in the past that if it was 100% city funded project, they would be willing to look at that but be aware that the K-7 plan would need to be addressed as well as the funding for that. This could be as I described with the challenges with geometry, a significant cost.

- Councilmember Kirby asked if there is chance at some point KDOT would be more willing to pony up.
 - Public Works Director Mike Spickelmier replied there is always the potential that KDOT will participate. K-7 corridor funds are available. They are currently allocated for the R-cut that is being installed at Parallel Road. So that is where KDOT is currently spending their K-7 corridor funds now, but K-7 is a vital corridor in the state of Kansas so they will continue to fund projects on that corridor into the future. Again, we did discuss using highway safety funds however, the accident crash data although it is there, it is not at the level that would automatically qualify it for funding as other intersections in Kansas.
 - Councilmember Trinkle asked is there still any pick up in it. This is not the first time that intersection has been looked at. Is there any kind of an increase in it, anything. Will they tell you that.
 - Public Works Director Mike Spickelmier responded the unfortunate thing is it's the exact opposite that has occurred because they study was commissioned after the traffic patterns shifted with the Covid-19 pandemic. So, there is actually different traffic than there was even in 2011. At some point we're going to want to study it again once we achieve more of an equilibrium.
 - Councilmember Trinkle asked so a year from now it might be back where it was at.
 - Public Works Director Mike Spickelmier replied yes, and I think traffic counts in of themselves would be a pretty good indicator and that's something we could commission fairly easily if that was something we just kind of wanted to snapshot. I know the county also did traffic counts during the interim to help with some of the projects they were working on. In KDOT, every two years does another snapshot and if KDOT's snapshot was to show us something we thought might be beneficial to the city, we would certainly want to execute on that information.
 - Councilmember Majure stated is there, I know the speed limit and I read the report and I appreciate everything you are doing on that Mike. Does it qualify for a yellow flashing light during busy times. Maybe it's not a stop light but at least it's something to caution there is a heavy amount of traffic trying to cross during certain hours versus a yellow flashing light all the time. I don't know but I am just trying to identify the fact until that Gilman Road goes all they way through to the high school that you indicated is still a project. I think traffic is going to pick up, but I don't think you are going to see the large amount of traffic that we use to have prior to Covid. There's a lot of changes if you are looking at traffic as a study as the majority traffic work in Ft Leavenworth. That's the majority of the traffic passing through to get to Leavenworth and passing back. That's where a lot of that traffic is. I don't think we are going to see those days anymore. A lot of changes have gone into that.
 - Public Works Director Mike Spickelmier responded I would concur that there is definitely a change in traffic patterns

associated with recent events however, I will say we are experiencing growth, some commercial growth right now. At some point we are hoping to receive more residential growth and as traffic patterns modify and change, we would anticipate that we would definitely want to look again. To say that a signal at this intersection is never going to happen would be really short sided. I don't think it's not a question of if but a question of when. And when the warrants meet it and when the development and traffic justify it then I think we need to be prepared to consider that project. Again, solicit for funding as we can because we always like to work with our partners to help offset the cost and get a joint effort.

- Mayor McNeill asked would a J-cut there even be a potential or possible.
 - Public Works Director Mike Spickelmier replied if KDOT would want to fund this they would require us to consider a R-cut. Now again I've outlined some of the geometric challenges at this location because of the proximity to the bridge and also McIntyre was a pretty good candidate because it's a mile south. And because the projected traffic has more right turns, there's a lot of people that would come off of K-5 and go into Lansing. Or a lot of people would come off of McIntyre and go south with the Industrial Park there, there is a lot of traffic that comes out of the Industrial Park and also goes south. So, maybe. It would require a further analysis, but it is a solution that KDOT would want us to analyze as a potential interim solution.
- Councilmember Garvey stated there is a lot of truck traffic too because you have transfer trucks leaving the transfer station. You got Linaweaver trucks his area in the Industrial Park. So, there is a lot of truck traffic that would have to go up, cross over and come back which would be pretty tough.
 - Public Works Director Mike Spickelmier stated Penny's Concrete may or may not ever get up to full capacity again. I know they have talked about putting asphalt out there too. I mean, yes.
- Councilmember Kirby stated just so we are clear, this is not just lights or anything. We could be looking at having to redo the bridge.

- Public Works Director Mike Spickelmier responded well the bridges would have to be taken into consideration when we look at a solution at this intersection just because of the location. My concern would be if we needed additional deceleration capacity coming from the north bound traffic. You run into that bridge pretty quick.
 - Councilmember Trinkle asked does that mean the bridge would have to be moved north south or just widened.
 - Public Works Director Mike Spickelmier replied I would think the bridge would have to be widened more or less. I don't think you can really move a lot. It's pretty much over the channel as it exists.
 - Councilmember Trinkle stated I didn't know; I mean you have to have a certain from the center of the intersection to the center of the bridge had to be a certain amount.
 - Public Works Director Mike Spickelmier responded no; I think you decelerate upon the bridge surface. Again, I don't know the age of those bridges so some of that would come into KDOT's calculation. You know usually bridges are a 75–100-year investment.
 - Mayor McNeill asked so what are the other safety options besides the traffic signal. I mean Marcus had mentioned the flashing yellow during times of high volume. Anything else.
 - Public Works Director Mike Spickelmier responded we could maybe stripe some what they call lane guides. Have you seen those in intersections so when you get into the center median to make your turn you kind of have lanes shown where people are supposed to go.
 - Mayor McNeil stated you might have to.
 - Public Works Director Mike Spickelmier stated yep and that is something we can consider. That is a pretty cost effective, you know pavement marking is a very cost-effective safety solution.
 - Councilmember Trinkle asked does that still fall back on whatever we do to that intersection and changing the outlook of it, are we going to have to involve KDOT. Are they going to say hey no you can't paint that, yes you can put the flashing light there? Are they still going to dictate to us what we can do at that intersection right?
 - Public Works Director Mike Spickelmier replied yes KDOT will ultimately have control over that since it is Kansas Highway 73. I think it's still US 73.
 - Councilmember Majure stated I tell you what, we have a business park there, we have businesses, but I feel for them. Between the hours of 6:30 and 8 trying to come out and go south, it's not happening. I mean those trucks just stack up and they just hope and pray that the light is timed about right from.
 - Councilmember Garvey stated Leavenworth Road.
 - Councilmember Majure responded is it Leavenworth.
 - Councilmember Garvey stated Fairmont is the first light.

- Councilmember Majure replied is it Fairmont, the next light. Yeah, that light to the north light there on 7. Between those lights and all that traffic, that traffic coming off of Gilman from the Industrial Park and everything trying to go south. They are trying to time it. About the only time they can get across because it is nonstop traffic coming north. Then from 3:30 to 5:30 in the afternoon from north going south, it's just bumper to bumper going south.
- Mayor McNeill stated I would suggest we look at whatever safety things we can do. I mean if we're not going to immediately be able to put a traffic signal in. Then what other things can we do and come up with an idea on that and try to get it through KDOT. That is my suggestion.
 - Councilmember Kirby stated it's a good idea.
- Councilmember Garvey stated whatever KDOT approves.
- Councilmember Dixon asked is there a timeframe set for re-evaluation.
 - Public Works Director Mike Spickelmier replied we don't have one set now but what we will do is continue to monitor KDOT's traffic counts because they publish those every two years and then they share those with us. If we see something or if something were to precipitate a change, we could execute a further refinement of this.
 - Councilmember Trinkle stated we're awful lucky that some of the traffic counts didn't involve some of the other projects we had going on too.
 - Public Works Director Mike Spickelmier replied yes.
 - Mayor McNeill asked didn't we do one for Eisenhower when they did that, prior to us getting approval to redo Eisenhower at the end of the corner there.
 - Public Works Director Mike Spickelmier responded yes.
 - Mayor McNeill asked so they did traffic counts. How did that compare. Do you know.
 - Public Works Director Mike Spickelmier replied I think that one was a very volume metric traffic count. It didn't look at turning movements on Gilman but what it did show there was I think there was a lot more traffic in 2018, 2019 than we are currently experiencing.
 - Mayor McNeill stated I was just wondering.
 - Councilmember Garvey stated people are working from home more now.
 - Mayor McNeill asked any other questions.
 - Councilmember Kirby stated thanks Mike.
 - Councilmember Majure stated thanks Mike.
 - Mayor McNeill asked anybody here in the audience want to talk on that subject. Please come up to the microphone and state your name and address.
 - My name is Maralee Thompson, and I live in Rock Creek just like you do. We are going to start a neighborhood watch in our community. I was just wondering do you want me to get into contact with USAA and find out how many accidents have been in that median. Because I have had friends that have moved, and they have almost totaled their cars lying in that median. So, putting some lanes in there so people know what to do go to the right-hand lane, go to the left would be very beneficial. Unfortunately, this was done during Covid, but I wonder with CGSC coming in and football coming in if October a timely time to redo this again. Because I can guarantee we will have more traffic.
 - Mayor McNeill responded Mike you can find out what the scheduled timeline that KDOT does right so we can kind of see if there is going to be a huge gap between then and when we could do it again.
 - Maralee Thompson stated not that there is any housing available where I live.
 - Mayor McNeill replied true. Not right now is there.

- Maralee Thompson stated I was just wondering about that if they could do that. Because I would hate to see some teenager get hurt in that median.
 - Councilmember Trinkle stated that has been an intersection of controversy since I've been on the Council. We have tried, every different set of Councilmembers up here, has tried to get somebody to do a light. It's KDOT and they come back with the same story every time.
 - Maralee Thompson responded I know but we'll see what happens with football season this year.
 - Mayor McNeill replied and like we said we'll look at other ways to try and make that intersection safer without trying to push for a signal.
 - Maralee Thompson stated but the terrain needs to be adjusted also because I've noticed that south of here the median is all mowed. But when you get into Lansing, it's not. It's where I got hit by a deer. They go in the middle of the median, they come up in the tall grass and they come and get you where you don't think they are going to come and get you. So that terrain is very difficult, and I don't think the mowers want to go out there when it's wet. It's too precarious but that would be good if they could do that in October when we have more things going on. Well thank you.
 - Mayor McNeill stated thank you.
- Councilmember Garvey stated thank you.

Preliminary Plat – Richardson Replat: Community & Development Director Matthew Schmitz asked whatever questions you have.

- Councilmember Trinkle asked what are we going to do with the water. Everybody that lives around all that. It's always been controversial ditch that runs down the middle of that property. Now we're splitting it. They are talking about building houses on both sides of it. Where are we going to put the water?
 - Community & Development Director Matthew Schmitz replied the only part of this that will be buildable would be these four northern tracts. This tract on this side will become part of this property owner's property.
 - Councilmember Trinkle asked he can't add anything to that.
 - Community & Development Director Matthew Schmitz responded he can put a building in if he wants to.
 - Councilmember Trinkle asked he can add a garage right.
 - Community & Development Director Matthew Schmitz asked sorry.
 - Councilmember Trinkle asked he could add a garage.
 - Community & Development Director Matthew Schmitz replied correct but there

- wouldn't be any additional housing on that lot.
 - Councilmember Trinkle stated well alright, that takes that into consideration. Who is going to have to carry the water. Who's property. I'm trying to understand the drawing.
 - Community & Development Director Matthew Schmitz stated there is a natural channel that runs down through here. It's kind of hard to see because it's marked in cyan, but it runs down through this area. On the final plat that they've already submitted to us, they do have an easement that's associated with that, a drainage easement they are going to give us. So then at that point the city would have the ability to maintain that channel.
 - Councilmember Trinkle asked so it's going to be an open channel.
 - Community & Development Director Matthew Schmitz responded there's no public improvements plan with this plat. So, there wouldn't be any storm sewer or anything like that included with this.
 - Councilmember Trinkle asked so it'll still be an open ditch like it is now.
 - Community & Development Director Matthew Schmitz replied right.
 - Councilmember Trinkle asked are they going to move the ditch in any way.
 - Community & Development Director Matthew Schmitz replied not to my knowledge. This is purely an action to create buildable lots.
 - Councilmember Trinkle stated some of the questions, the guy that had purchased it was asking me. I didn't think, they didn't talk like they were going to go tubing or anything. The water still, everything that comes up off the Richardson side clear up around the old school, it all drains right on that side of Carol Street. That's why I was wondering if all the water still goes to the same ditch.
 - Community & Development Director Matthew Schmitz responded yeah.
 - Mayor McNeill asked any other questions. I had one question on that. How wide these lots are. That says 68 feet. Is that the minimum for the UDO or something?
 - Community & Development Director Matthew Schmitz replied so this property is zoned R-2 if my memory serves. It should have the zoning on there. If it's not on the preliminary, it'll be on the final. I believe it's R-2 which allows for a 60-foot lot width. R-1 requires a 75-foot lot width.
 - Mayor McNeill stated alright.
 - Councilmember Trinkle asked what can they build on R-2.
 - Community & Development Director Matthew Schmitz replied a 60-foot lot so they're smaller lots.
 - Councilmember Trinkle stated I mean just a house.
 - Community & Development Director Matthew Schmitz responded single family homes.
 - Councilmember Trinkle stated single family homes. That is the limit.
 - Community & Development Director Matthew Schmitz responded yeah.
 - Mayor McNeill stated alright. Thanks. You might as well stay up here.

REPORTS:

Department Heads: Community & Development Director Matthew Schmitz updated the City Council on the July 3rd event. Due to all the rain, the field is very wet. The setup has been repositioned with everything on hard surfaces. There will be no public parking on site so we've added buses and shuttles will begin running at 12pm instead of 5pm.

- Councilmember Garvey asked what can be brought on the buses.
 - Community & Development Director Matthew Schmitz replied chairs, blankets, coolers. Alcohol cannot be brought to the park due to state laws. There will be an alcohol vendor on site.
- Councilmember Garvey asked if the fireworks will be shot from the same area.
 - Community & Development Director Matthew Schmitz responded you will be able to view the fireworks from where you view the concert. The on-ground fireworks will be shot from behind the stage area and the big arial fireworks will be back in the field.
- Councilmember Kirby asked if they aren't going to let anyone in after 9pm.
 - Community & Development Director Matthew Schmitz replied the busses will run until 9:30pm. The busses will stop running during the fireworks.
- Councilmember Garvey asked if the fields got sprayed.
 - Community & Development Director Matthew Schmitz responded they had started to spray for bugs but when we shifted the location of everything, they stopped since we wouldn't be in the field.
- Mayor McNeill asked if the playground and fields around the playground are assessable.
 - Community & Development Director Matthew Schmitz replied the playground and surrounding fields are available for people to use.
- Mayor McNeill asked what they plan was for letting people know there is no parking out there.
 - Community & Development Director Matthew Schmitz replied information has been put out on social media. Blaine's management team will be putting info out on their social media as well. Route maps are available, so people know which busses are associated with which schools. A message board will be placed on 4-H Road with instructions including no parking at Bernard Park.
- Councilmember Majure asked if the busses will be making u turns at the park.
 - Community & Development Director Matthew Schmitz responded they will come in and basically make a 3-point turn with the loading area near the bridge.

City Attorney: City Attorney Greg Robinson had nothing to report.

City Administrator: City Administrator Tim Vandall had nothing to report.

Governing Body: Councilmember Majure thanked Mike and Matt for their hard work. He also thanked Police Chief Steve Wayman and all the first responders as they enter a heavy time of year. Councilmember Majure is looking forward to the July 3rd event.

Councilmember Garvey asked if there is anything we can do to clean up the medians on Main Street.

- City Administrator Tim Vandall responded he and Public Works Director Mike Spickelmier can coordinate on it.

Councilmember Garvey stated he appreciates all the work that has been done for the 4th of July event and wished everyone a Happy 4th of July.

Councilmember Dixon thanked Mike and Matt on their presentations and wished everyone a Happy and Safe 4th of July.

Councilmember Trinkle thanked Matt and the staff for pulling another event off. He stated it has rained once the event has started before and we've had to cancelled so good luck this year.

Councilmember Kirby thanked everyone for the work on the event at Bernard Park. It's been a trying time but it's been a team effort across the city.

ADJOURNMENT:

Councilmember Kirby moved to adjourn. Councilmember Garvey seconded the motion. The motion was unanimously approved. The meeting was adjourned at 7:36 p.m.

ATTEST:

Mayor, Anthony R. McNeill

City Clerk, Sarah Bodensteiner, CMC

AGENDA ITEM

TO: Tim Vandall, City Administrator
FROM: Elizabeth Sanford, Finance Director
DATE: July 1, 2021
SUBJECT: Ordinance No. 1063 – Sewer and Trash Disposal Assessments

Pursuant to Chapter 16, Utilities, Section 16-116 and 16-209 (e) of the City's Code of Ordinances, a copy of Ordinance No. 1063 listing the account name, property address, and delinquent amounts for customers whose accounts are at least two (2) months past due is attached for your review. Upon adoption by the City Council and subsequent publication in the Leavenworth Times, this Ordinance shall constitute a lien against the real estate for which service is supplied.

Residents are given the opportunity to be removed from the Ordinance by setting up a payment plan with the city. Unfortunately, some residents default on their payment plan after the Ordinance has been published and submitted to the County for assessment against the property. Staff has informed each resident interested in setting up a payment plan that the account will be submitted to a third party collection agency if the resident misses a payment.

Action:

Staff recommends a motion to adopt Ordinance No. 1063 for assessment of delinquent sewer and trash bills.

AGENDA ITEM

ORDINANCE NO. 1063

AN ORDINANCE LEVYING ASSESSMENTS FOR UNPAID CHARGES AGAINST EACH LOT & PARCEL OF GROUND AS A SPECIAL ASSESSMENT TO CONSTITUTE A LIEN UPON THE PROPERTY FOR THE AMOUNT OF DELINQUENT FEES FOR SOLID WASTE DISPOSAL & SEWER ASSESSMENT OF THE CITY OF LANSING, KANSAS.

WHEREAS, section 16-116 and 16-209 (e) of the City of Lansing, Kansas, Code of Ordinances require the Finance Department to compile a list of all customers who are at least two (2) months delinquent on their solid waste Disposal and sewer services bills; and the Governing Body shall, by ordinance, levy and assess the charges and/or penalties against each lot or parcel of ground served as a special assessment.

WHEREAS, said Governing Body of the City of Lansing, Kansas, has determined that the cost for said services rendered be levied and assessed against each lot or parcel of ground for the unpaid charges as a special assessment, which shall constitute a lien upon the property for the amount of said delinquent fees.

WHEREAS, the assessment shall be collected at the same time and in the same manner as ordinary county ad valorem property taxes, subject to the same penalties and procedures provided for such taxes, and all laws applicable to the collection, levy and enforcement of county ad valorem property taxes.

NOW THEREFORE, BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF LANSING, KANSAS:

SECTION 1. Special assessments to pay the cost, including late fees and accrued interest, of the solid waste collection and waste water collection, and treatment, of the City of Lansing, Kansas, be and the same are hereby levied against the several lots, pieces, and parcels of land liable for such special assessments as a result of their failure to pay the unpaid charges as delinquent fees, as follows, such lands being in the City of Lansing, Leavenworth County, Kansas:

ARAUJO, LUIS 607 WILLOW CT	\$1,683.81	LAKE, MACKENZIE 509 FORESTGLEN LN	\$846.32
BABCOCK, DAVID 109 N BROOKRIDGE ST	\$1,833.01	LAYTON, ROBERT 1102 N 3 RD ST	\$718.10
BECK, HEATHER 809 SOUTHFORK ST	\$1,466.46	LEIHY, GAGE 508 FAIRLANE ST	\$488.09
BEEMAN-KLEMISH, KATHLEEN		LIVONIA, CHUCK 121 N BROOKRIDGE ST	\$727.21
615 BROOKMEADOW RD	\$1,107.25	LIVONIA, CHUCK 230 HOLIDAY TER	\$782.85
BERNARD, WILLIAM 119 E LOIS ST	\$1,998.36	LYSELL, FRANK 216 BITTERSWEET LN	\$1,716.21
BLAKLEY, RANDALL 407 MAPLE CT	\$373.74	MARTIN, EMMETT 806 ENGLEWOOD ST	\$1,214.89
BOWEN, RICHARD 130 EMILE ST	\$1,227.50	MIERS, MICHAEL 26895 155TH ST	\$324.66
BRYANT, ERIN 112 WOODLAND RD	\$1,579.21	MOORE, ALLEN 624 S HICKORY TRAIL	\$368.86
CANONICA, IRENE 126 E KANSAS AVE	\$1,385.46	MURRAY, JENNIFER 518 VALLEY DR	\$1,528.46
CARL, SAMANTHA 207 CARRIAGE CROSSING	\$1,133.46	PARKS, MARY 593 E CONNIE ST	\$797.51
CARPENTER, JENNIFER 409 S DESOTO RD	\$368.86	POLLARD, JAMIE 825 STONECREST DR	\$1,811.81
COPE, STEVEN & LACY 715 N 2ND ST	\$1,816.81	REA, TROY 105 BROOKWOOD CT	\$1,822.96
DAVIS, HEATHER 405 BROOKWOOD ST	\$1,496.24	RUIZ, KENDRA 523 CARAWAY PL	\$1,057.11
DEAN, TERI 124 CONTINENTAL DR	\$1,496.04	SANTIAGO, DAVID 908 N 8TH ST	\$2,034.16
DUBOIS, BRIAN 717 S DESOTO RD	\$368.86	SAVIDGE, HEATHER 339 FAWN VALLEY ST	\$1,965.96
ENGELMAN, CHRISTINA 410 FAIRLANE ST	\$2,396.61	SAWYER, CHERYL 119 ELMWOOD DR	\$1,352.00
GARNETT, BERNICE 412 HOLIDY DR	\$509.06	SCHMALBECK, ANNIE 707 HOLIDAY DR	\$2,014.56
GAUGER, WILLIAM 606 MORGAN ST	\$883.81	SKAGGS, JON 1014 N 3 RD ST	\$569.98
GOODWIN, MARILYN 711 MORGAN ST	\$1,220.11	SMART, BRIANNA 439 HITHERGREEN DR	\$1,816.81
HIGINBOTHAM, JOSEPH		SMOTHERMAN, DAVID 724 N DESOTO	\$368.86
809 ENGLEWOOD ST	\$576.90	SPENCE, MELANIE 102 S 2ND ST	\$2,131.36
HOWLETT, GINA 831 BLUEBERRY ST	\$3,524.39	TAVIS, STEPHANIE 121 J ST	\$506.22
JENSEN, VICKI 105 TIMBERCREEK CIR	\$1,385.46	THOMAS, WAYLON 801 MERION ST	\$2,786.99
JOHNSON, LESLIE 401 FAIRLANE ST	\$819.83	THOMPSON, ROBERT	
JOHNSON, TODD 14092 ROBIN RD	\$368.86	412 HITHERGREEN DR	\$1,683.81
KRITES, CHAD 504 1 ST TER	\$1,372.92	THORNTON, STEVEN 121 KAREN LN	\$1,550.86

TROWBRIDGE, DELIA 204 FAWN VALLEY ST	\$1,322.76	WEDDLE, TIM 1008 N 4 TH ST	\$1,385.46
TUTTLE, JAMIE 616 MEADOWLARK RD	\$1,515.77	WOOD, CHARLES 220 E CONNIE ST	\$691.34
VIGIL, PAUL 320 HOLIDAY DR	\$1,258.95	WOOLVEN, AARON & JENNIFER	
WACKER, TERRIE 308 E KANSAS AVE	\$1,965.96	605 N 2 ND ST	\$1,680.01
WASLH, CHARMAINE 1113 N 2 ND ST	\$1,025.31	YATES, DENISE 119 KAREN LN	\$1,822.11
WALSTRUM, MARK 309 FAWN VALLEY CT	\$1,970.36		

SECTION 2. This ordinance shall take effect after publication once in the official city newspaper.

PASSED AND APPROVED by the Governing Body of the City of Lansing, County of Leavenworth, State of Kansas, this 15TH day of July 2021.

{SEAL}

Anthony R. McNeill, Mayor

ATTEST:

Sarah Bodensteiner, City Clerk

APPROVED AS TO FORM:

Published: *Leavenworth Times*
Date Published:

Gregory C. Robinson, City Attorney

AGENDA ITEM

TO: Tim Vandall, City Administrator
FROM: Elizabeth Sanford, Finance Director
DATE: July 1, 2021
SUBJECT: Ordinance No. 1064 – Weed Removal Assessments

Pursuant to Chapter 8, Health and Welfare, Section 7, Weeds of the Code of the City of Lansing, Kansas, a copy of Ordinance No. 1064 listing the account name, property address, and delinquent amounts for property owners who failed to pay weed removal fees is attached. Upon adoption by the City Council and subsequent publication in the Leavenworth Times, this Ordinance shall constitute a lien against the real estate for which service was supplied.

Action:

Staff recommends a motion to adopt Ordinance No. 1064 for assessment of delinquent fees for weed removal.

AGENDA ITEM

ORDINANCE NO. 1064

AN ORDINANCE LEVYING ASSESSMENTS FOR UNPAID CHARGES AGAINST EACH LOT & PARCEL OF GROUND AS A SPECIAL ASSESSMENT TO CONSTITUTE A LIEN UPON THE PROPERTY FOR THE AMOUNT OF DELINQUENT FEES FOR WEED REMOVAL ASSESSMENTS OF THE CITY OF LANSING, KANSAS.

WHEREAS, said governing body of the city of Lansing, Kansas has determined that the cost for said services rendered be levied and assessed against each lot or parcel of ground for the unpaid charges as a special assessment, which shall constitute a lien upon the property for the amount of said delinquent fees, and after due notice, pursuant to Chapter VIII. Health and Welfare, Article 3 8-311, Weeds and Noxious Weeds of the Code of the City of Lansing, Kansas, said delinquent fees should be assessed against the property owners.

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF LANSING, KANSAS:

Section 1. Special assessments to pay the cost, including late fees and accrued interest, of the weed removal fees, of the city of Lansing, Kansas, be and the same are hereby levied against the several lots, pieces, and parcels of land liable for such special assessments as a result of their failure to pay the unpaid charges as delinquent fees, as follows, such lands being in the city of Lansing, Leavenworth County, Kansas:

Kelly Lynn Jones	\$180.00	Jack D & Glenda S Young	\$1,665.00
204 E Kansas Ave		705 Connie St	
Legal: W1/2 of LT 2		Legal: Block 12, LT 18 - 20	
Sub: Progress, Town of		Sub: Richardson, Town of	
Parcel ID: 094-19-0-30-03-005-00-0		Parcel ID: 094-18-0-30-10-005-00-0	

Section 2. That this ordinance shall take effect from and after its adoption by the governing body and upon publication in the official city newspaper as provided by law.

PASSED AND APPROVED by the Governing Body of the City of Lansing, Kansas, on this 15th day of July 2021.

{SEAL}

Anthony R. McNeill, Mayor

Attest:

Sarah Bodensteiner, City Clerk

APPROVED AS TO FORM:

Published: *Leavenworth Times*
Date Published:

Gregory C. Robinson, City Attorney

STATEMENT

CITY OF LANSING
Community Development
730 FIRST TERRACE, SUITE 3
LANSING, KS 66043

Date: October 1, 2020

Jones, Kelly Lynn
1916 Miami st
Leavenworth, KS 66048

Terms: Payable upon receipt

TOTAL DUE: \$ 180.00

2.0 hours	204 E Kansas, Lansing, KS 66043 Parcel ID #094-19-0-30-03-005-00-0 <i>Weed trimming and mowing, clean up – 08/11/2020</i> T's Lawn	80.00
	First Remediation Administrative Fee	100.00
	<i>Warning- a 2nd abatement will put this property on "Chronic Nuisance" list (see enclosed habitual violator language.)</i>	
	Total	180.00

THANK YOU!

STATEMENT

CITY OF LANSING
Community & Economic Development
730 FIRST TERRACE, SUITE 3
LANSING, KS 66043

Date: September 25, 2020

Young Jack D & Glenda S
705 Connie
Lansing, KS 66043


Terms: Payable upon receipt

TOTAL DUE: \$ 1665.00

6.5 hours	705 Connie, Lansing, KS 66043 Parcel ID # 094-18-0-30-10-005-00-0 <i>Weed trimming and mowing, major clean up 4 loads taken to transfer station – 06/02/2020</i> CT Lawn	1245.00
	First Remediation Administrative Fee	100.00
	<i>Warning- a 2nd abatement will put this property on “Chronic Nuisance” list (see enclosed habitual violator language.)</i>	
3.0	705 Connie Lansing, KS 66043 Parcel Id # 094-18-0-30-10-005-00-0 Weed trimming and Mowing 8/12/2020 CT Lawn	120.00
	2 nd Abatement Habitual Violator fee	200.00
	<i>Total</i>	1665.00

THANK YOU!

AGENDA ITEM

TO: Tim Vandall, City Administrator
FROM: Anthony J. Zell, Jr., Wastewater Utility Director 
DATE: July 8, 2021
SUBJECT: Design Services for McIntyre Interceptor Sewer Extension (City Project 21-04)

In February 2021, the Lansing City Council adopted the sewer feasibility study for the McIntyre Road corridor, completed by George Butler Associates (GBA). There has been some development interest in the area, and to poise the city for future growth, design of a new gravity sewer interceptor is warranted.

The design project will consist of approximately 9,200 feet of sewer pipe, ranging in diameter from 10-inch to 30-inch, and will including all necessary manholes, creek crossings, and road bores. These pipes are sized based on full buildout of the sub basins and will service nearly 1,275 acres. The proposed sewer would begin at the east side of Willow Park on W Gilman Road, and head south across 9 Mile Creek, and parallel to K7/US 73. The sewer will cross K7 and will continue through the parcel at the northeast corner of McIntyre/K7 and end at the previously installed casing pipe under E McIntyre Road. A draft layout of a proposed route is included in the agenda packet for reference; but may be altered once design work begins.

It is worth noting, that since the downstream sewer upgrades identified in the 2014 sewer master plan have not yet been completed, a portion of this sewer will be built with an aerial crossing over 9 Mile Creek. Once those downstream improvements are completed, the aerial crossing will be abandoned, and a below stream crossing constructed. This section of pipe requiring future replacement runs from Gilman Road to E Mary Street.

Staff and GBA have negotiated a proposed scope and fee to design the project for \$501,480.00. This contract includes design, topographic survey, permitting, geotechnical testing, easement preparation services, and bid support. The Leavenworth Board of County Commissioners have pledged their support for this economic development project and have approved \$240,000 in funding. The remaining funds will be taken from the utility's reserves which will span two budget cycles (completion in 2022).

Policy Consideration: The City's purchasing policy Section 4.4.1 allows the City Administrator to waive the selection process for consulting engineers who have worked on projects of similar nature within the previous 18 months.

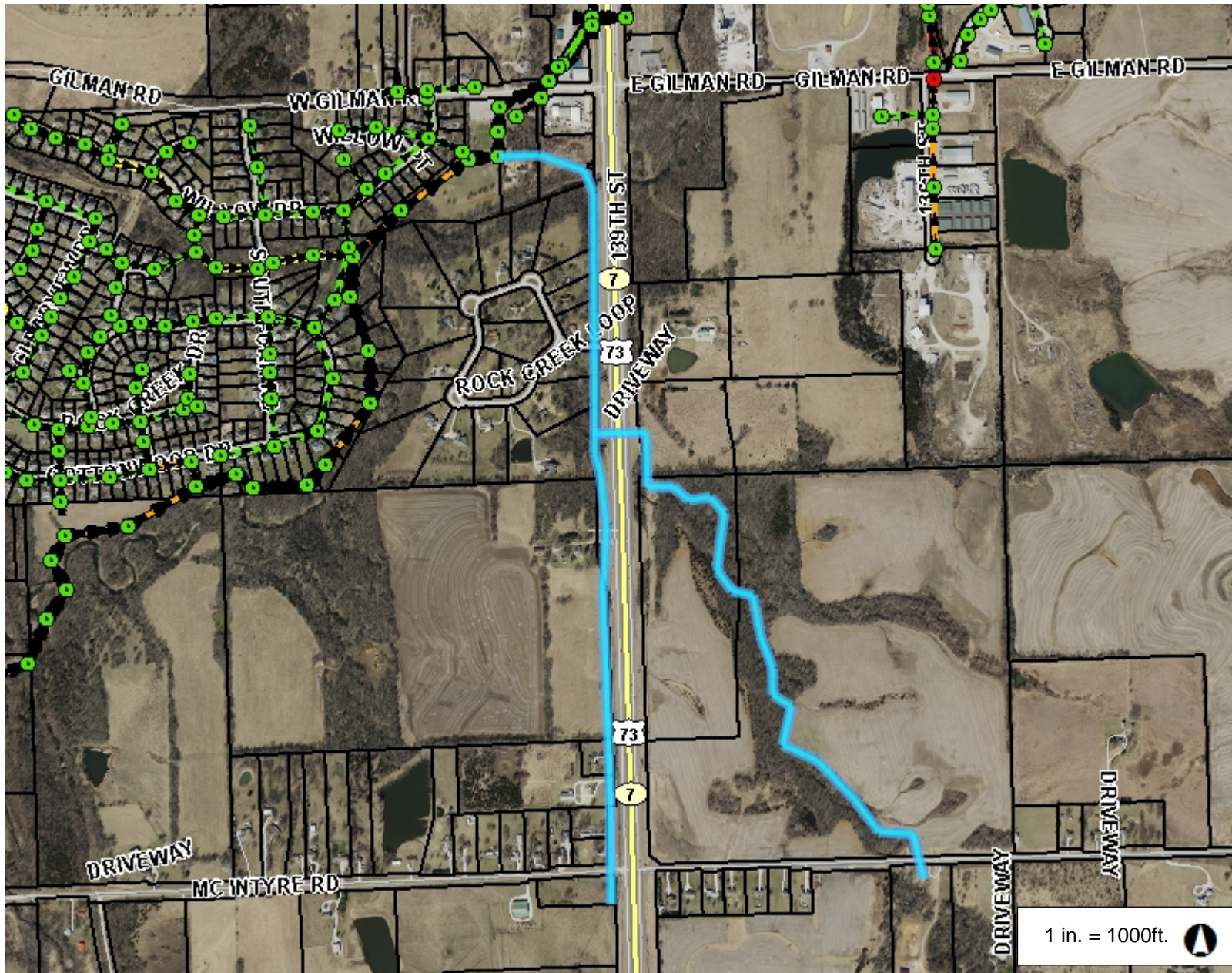
Financial Consideration: N/A.

Action: A motion to approve the scope of services from George Butler Associates for design engineer services for the McIntyre Interceptor Sewer Project (City Project 21-04), in an amount not to exceed \$501,480.00

AGENDA ITEM

Lansing, KS

Agenda Item 4.



Legend

Manhole

- Not Verified
- Verified
- Verified/Buried

Gravity Main by Size

- <all other values>
- 6"
- 8"
- 10"
- 12"
- 15"
- 18"
- 21"
- 24"
- 36"
- 54"

Parcel

Major Road

- <all other values>
- 70
- Road

1 in. = 1000ft.



2,000.0 0 1,000.00 2,000.0 Feet

This Cadastral Map is for informational purposes only. It does not purport to represent a property boundary survey of the parcels shown and shall not be used for conveyances or the establishment of property boundaries.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

McIntyre Sewer Interceptor Project
-Preliminary Layout

ATTACHMENT A

SCOPE OF SERVICES FOR MCINTYRE SEWER EXTENSION

1. Project Management and Coordination

- a. Project Coordination, monitoring and administration.
- b. Kickoff meeting and review meetings. Attend one (1) kickoff meeting with the City. Discussions shall be held to review and confirm the project goals and objectives, to evaluate basic concerns on objectives and implementation of the project, and to confirm the scope of work. Discuss City's future growth plans and any effects that growth may have on the sewer network. Provide agenda and prepare minutes for meeting.

Review meetings. Attend design review meetings as outlined below. Provide agenda and prepare minutes for meeting.

Technical Memorandum: Meet with City staff to review the proposed alignments and costs and to finalize the preferred alignment.

Preliminary Design (30%) Submittal: Meet with City staff to review the comments for the 30% design submittal.

90% Design Submittal: Meet with City staff to review the comments for the 90% design submittal.

- c. Quality assurance and quality control. Engineer shall implement a Quality Assurance / Quality Control program on all phases of the project to provide an independent review of the work. Quality control reviews will include checks for conformance with regulatory agency requirements, completeness and correctness of evaluations, design accuracy, feasibility of implementing recommendations, and adherence to contract requirements.

2. Site Investigation, Data Collection, Records Research

- a. Review existing records, data, and other documents.
 - i. Obtain from City and review current or past studies conducted that may affect the project work. Obtain any design documents that may affect the project work.
 - ii. Obtain from City any GIS Information to incorporate with the project. (i.e., Sewer Network, Land Uses, etc.)
 - iii. Review any available City data on rainfall, smoke testing, dye-water testing, manhole inspections, building inspections, private I&I removal records, flow monitoring, and CCTV files as appropriate.
 - iv. Obtain from City and review past sewer and roadway projects in the project area that may affect the work.
 - v. Obtain proposed surface elevations for new development if available.

- b. Coordinate with utilities including relocations. Contact utility companies to obtain atlas maps of utility locations in the project area.

3. **Project Development**

This task will conclude with the preparation and submission of three (3) bound copies of a Basis of Design Memorandum. The Basis of Design Memorandum will include the following:

- Alignment alternatives
- Permit requirements
- Design criteria
- Pipeline alignment analysis
- Summary of utilities investigation
- Engineer's opinion of probable construction cost

The following paragraphs outline the steps to be taken to gather information for the Basis of Design Memorandum.

- a. Prepare Conceptual Sewer Alignment of Two Alternatives. Develop conceptual plan view layouts of two (2) alignments using the County and City GIS digital information. Various construction methods will be considered in the development of the conceptual alignments. Coordinate the proposed design with the designs of any proposed developments being concurrently undertaken by property owners.
- b. The conceptual alignment will be reviewed and refined in the field by the Engineer. The Engineer will evaluate alignment with respect to local, state, and federal requirements including stream setbacks, stream crossings, and wetlands. The Engineer will also evaluate temporary easements and potential access easements based on conditions observed in the field. The Engineer will note any grade-dependent facilities and stream flow lines. The Engineer shall use GPS equipment to obtain horizontal coordinates for each of the points of deflection for the proposed alignment. Alignment will be evaluated for constructability, trenchless construction applicability, and utility clearance in the field.
 - i. Prior to beginning field activities, the Engineer will notify all property owners along the proposed sewer alignments, in writing, of the survey activities and the anticipated schedule. The Engineer will attempt to obtain from the property owners, the approximate elevations and orientation of all existing sewer service lines from existing structures to on-site sewage disposal systems and the approximate location of on-site sewage disposal system tanks, laterals, and mound systems.
- c. Review all available City television inspection video tapes of specific line segments, as well as cleaning history. Review will determine locations of existing service connections for the design of reconnections.

- d. Establish sewer design criteria. Design criteria will be based on City and KDHE standards. Provide a computer spreadsheet which indicates the factors and calculations used to arrive at the pipe design slopes and sizes.
- e. The Engineer will develop opinions of probable construction cost (OPCC) for each conceptual alignment, including costs for trenchless construction methods, for rock excavation and for surface restoration as applicable.
- f. Identify required permits and associated permit requirements. The anticipated regulatory agencies with permitting and/or coordination needs to include the Kansas Department of Health & Environment (KDHE) sewer extension and notice of intent for construction stormwater, Kansas Department of Transportation (KDOT), Kansas Division of Water Resources (DWR) – seven (7) locations, City floodplain development with no rise certification, U.S. Army Corps of Engineers (Corps), Kansas Department of Wildlife, Parks and Tourism (KDWPT), U.S. Fish & Wildlife Service (USFWS), and State Historic Preservation Office (SHPO). For floodplain permits, develop HEC-RAS 1D hydraulic model for analysis of one aerial sanitary sewer crossing at Nine Mile Creek and another at or below grade crossing on a tributary channel within the regulatory floodplain. Attempt to create no rise in the regulatory floodplain due to obstruction of the two sanitary sewer crossings by manipulation of two stream cross section(s). This work may involve grading within or adjacent to the stream channel to satisfy the no rise requirements. Coordinate and assist with design layout for structural engineering analysis of the aerial crossing. Create computations for scour and erosion countermeasures, provide specifications and layout of proposed scour countermeasures.

4. **Preliminary Design (30% Submittal)**

This task will conclude with the preparation and submission of six (6) sets of the Preliminary Design Documents to include the following:

- Conceptual design with plan view and conceptual structural drawings showing the pipeline alignment, aerial stream crossing and existing utilities
- Engineer's option of probable construction cost
- List of technical specifications
- Updated design spreadsheets for sewer alignments

The following paragraphs outline the steps to be taken to gather information for the Preliminary Design Documents.

- a. Survey. Perform Control Surveys and Topographical Surveys. Survey will be accomplished via a topographic survey utilizing electronic distance measuring and field data collection equipment including survey grade RTK methods. The topographic survey information will be shown in a base map, which will show significant features that could impact pipeline alignment and design.
 - i. Perform horizontal and vertical control survey to establish the base for layout of property and lot lines. Field surveying will be accomplished using modern

electronic distance measuring and field data collection equipment. Horizontal control will be based on the North Zone Kansas State Plane Coordinate System – NAD 83. Vertical control will be based on NAVD 88. Horizontal and vertical (x, y, and z) accuracy tolerances will be +/- 2 cm or less. All field survey data will be collected using survey grade RTK methods. Reference reports shall be filed with the county and state for all section corners, quarter corners and center corners located for a project as required by state law. The Engineer will survey the locations of grade dependent facilities.

- ii. Obtain an Ownership Certification (an Ownership and Encumbrance report) from a title company for each affected property. Using the title report information, the Engineer will position the existing property and lot lines on the horizontal control network. The Engineer will notify the City of any discrepancies encountered in the layout of the properties. The Engineer will provide copies of the ownership certifications to the City.
 - iii. Perform topographical surveys as necessary to prepare construction drawings. Benchmarks for construction will be set along the project at intervals not exceeding one quarter of a mile. The minimum corridor width for establishing topographical features along the alignment is 100 feet. The minimum topographical features that will be obtained are top of creek banks, flow line of creek, drainage structures, dense wooded area outlines, and all trees in residential lots in the corridor, decorative shrubs and bushes, landscaping improvements, mailboxes, signs, fences, curbs, sidewalks, driveways, roadways, overhead and underground utilities including storm conveyance facilities, buildings, structures and any other features which will assist the City, regulatory agencies and contractors in reviewing and bidding the proposed improvements. Ground elevations will be obtained along the project baseline every 50 feet and at significant breaks in the profile. Points of intersection (PI's) along the project baseline will be marked with a nail and wood lath. State plane coordinates shall be determined and coordinates shall be shown on the plan sheets. The location of on-site sewage disposal system tanks, laterals, and mound systems shall be shown on the drawings to the greatest extent possible.
- b. Develop design Base Map. Produce project Base Map to include utilities, right-of-way, and easements.
 - c. Develop project plan & profile and structural sheets. All drawings shall conform to the City drafting standards and minimum plan requirements where applicable. All drawings shall be produced using AutoCAD Version 2018 or later. Proposed sewer drawings shall be at a 1" = 50' scale. Drawings which shall include, but not be limited to:
 - i. Title Sheet
 - ii. General Layout Sheet
 - iii. Structural Sheets – Aerial Crossing Pipe Supports and Anchoring
 - iv. Plan and Profile Sheets. Profile based on GIS.

- d. Prepare legal descriptions. Following City approval of the alignment and easement layout, prepare legal descriptions of easements and easement exhibits. The easement descriptions will be provided to the City in a word processing file format. The easement exhibit will show an easement number, owner's name(s), scale, north arrow, square footage of sanitary sewer easements and the location of all temporary and permanent easements. Provide an overall easement layout map showing ownership names, easement and tract (PID) numbers, street names and property lines.
- e. Identify underground utilities to pothole and discuss the need with the City.
- f. Prepare list of technical specifications and engineer's opinion of probable construction cost (EOPCC). The EOPCC for this 30% design submittal will be generalized with an appropriate contingency to address unknowns and less detailed design documents.

5. **Design Submittal (90% Design)**

- a. Coordinate potholing and subsurface geotechnical borings.
 - i. The Engineer shall procure the services of a sub-consultant to perform potholing to get the actual elevation of the top of the utilities. The Engineer shall coordinate the potholing with the utility companies. Sub-consultant will perform a maximum of four potholes.
 - ii. Outline a plan for obtaining geotechnical subsurface information for the project as follows:
 - At every manhole location.
 - The depth of soil borings will be to one (1) foot below proposed sewer invert elevation or to auger refusal, whichever is deepest.
 - At every third manhole, if auger refusal is encountered above sewer invert elevation, rock corings will be made to a depth of one (1) foot below the sewer invert elevation.
 - Borings at location of aerial stream crossing will be to ten (10) feet below the stream bed elevation and include recommendations on drilled shafts, bearing capacity, friction resistance, and comments on driven steel piles.
 - Borings at the end of every tunnel or horizontal bore will be to five (5) feet below the casing pipe invert elevation. If rock is encountered, obtain two rock cores to five feet below casing pipe invert on every horizontal bore.

Obtain subsurface information including any clearing necessary to access the alignment via truck-mounted or all-terrain drill rigs.

Soil boring and coring logs will be made available by the Engineer for the prospective bidders.

The Engineer will re-stake or re-establish the boring locations in the field.

- b. Prepare final construction plans, technical specifications, and engineer's opinion of probable construction cost.
- c. Prepare City's front-end documents. Front-end documents will include instructions to bidders, bid forms, bond forms, general conditions (a version from the National Society of Professional Engineers, unmodified) and an Exhibit A that lists the duties, responsibilities and limitations of the authority of the resident project representative, supplemental conditions, and special provisions to the technical specifications.
- d. Assist the City in obtaining approvals and permits as well as attending a maximum of two (2) meetings. The Engineer shall address applicable local codes or other requirements within the design. The Engineer shall prepare and submit for the following anticipated permits or clearances: KDHE sewer extension permit and notice of intent for construction stormwater permit with soil and erosion control plan and stormwater pollution control plan (SWPPP), City floodplain permit with no rise certification, Kansas DWR permit (7), on-site Preliminary Jurisdictional Waters Delineation, Corps Section 404 Nationwide Permit with KDHE Section 401 water quality certification, KDWPT, USFWS and a Phase II intensive archaeological survey that is anticipated to be required by SHPO. It is assumed the selected contractor will be responsible for obtaining the Work in ROW permit.
- e. Perform field staking of the proposed easement limits, within sub-meter accuracy, for the properties selected by the City, up to 20% of the total project alignment.
- f. Submit six (6) sets of the 90% Design Submittal. Submittal will include half-size drawings, technical specifications, front-end documents, Engineer's opinion of probable construction cost.

6. Final (100%) Design Submittal

- a. Incorporate City comments from 90% submittal.
- b. Submit one set of full size stamped and signed final drawings along with specifications and contract documents.
- c. Submit one copy of a final quantity calculations and engineer's construction cost estimate.
- d. Submit all digital files (AutoCAD, MS Word, MS Excel, etc) for the project.

7. Bid and Construction Support

- a. Coordinate with Drexel Technologies, Inc. to provide and distribute project drawings and contract specifications in accordance with City's Purchasing Procedures to all interested parties. Consider inquiries prior to the bid opening from contractors, subcontractors, and suppliers, and draft addenda to the project contract documents as required.
- b. Attend virtual Bid Opening and provide an engineer opinion of construction costs. Review the bids for completeness and accuracy. Develop a bid tabulation spreadsheet and submit it to the City in a PDF format. Submit a written recommendation of contract award to the City.

Prior to recommending award, consult with, advise and submit a written report to the City on the responsibility and responsiveness of the proposed contractor, the acceptability of proposed subcontractors, substitute materials and equipment proposed by the contractor. The Engineer shall review the following criteria in determination of contractor and sub-contractor acceptability:

- i. Contractor's Audited Financial Statement.
 - ii. The contractor's and sub-contractors' personnel and their relative experience, and the quality and availability of the equipment and machinery. The contractor and sub-contractor must also establish that the supervisor directly in charge of the work has been actively engaged in construction and coordination for the type of work required by the bid documents for a continuous period of at least two (2) years within the five (5) years preceding the bid opening.
 - iii. The contractor's and sub-contractors' performance record in performance of other similar contracts for public and private improvements.
 - iv. Obtain references from the proposed contractor and contact a minimum of three of the references and, if requested by the City, a minimum of three of the sub-contractors' references.
 - v. The nature and extent of other contract commitments involving the use of the contractor's and sub-contractors' personnel, machinery and equipment.
 - vi. Whether or not the contractor or sub-contractors have been denied contract award by other public entities, and if so, the reasons thereof, including entity name, type of work, and date of denial.
 - vii. Any other fact that, in the Engineer's opinion, would materially affect the ability of the contractor or sub-contractors to properly, adequately, expeditiously and satisfactorily prosecute the work.
 - viii. Provide the successful bidder with eight (8) sets of the contract specifications ready for contract execution.
- c. Assist the City in conducting a pre-construction conference with the contractor and all interested parties. Provide a written summary of the conference. The Engineer will notify all affected utility companies in writing, prior to the pre-construction conference.
 - d. Engineer shall provide CAD files to contractor to perform detailed construction staking.
 - e. Consult with the City and act as the City's professional engineering representative in dealing with the contractor. Attend and provide up to two (2) site visits during construction at appropriate stages.
 - f. Review contractor's submittals. Provide submittal list, review shop drawings, test results and other submittals which the contractor submits, to show conformance to the contract documents. Review any change order requests and provide written recommendations to the City.

- g. Review requests for information. Review and respond to up to ten (10) requests for information and clarification from contractor and provide written recommendations to the City.
- h. Final completion inspection and identify punch list deficiencies.
- i. Prepare and submit record drawings.
 - i. The Engineer will determine the as-constructed distance between manholes, changes in horizontal alignments, pipe invert elevations and manhole rim elevations using electronic surveying equipment. A list of coordinate values for each manhole will also be provided. It is assumed that the contractor will provide record information to the Engineer following construction.
 - ii. Provide the City with two (2) sets of paper prints of as-constructed drawings. The AutoCAD files will be given to the City upon completion of the project with an ESRI shape file of the alignment and manholes completed for the project. The shape file will be populated with manhole and pipe data.

8. **Contingency Items**

The items listed below are not included in the scope at this time, but may be added as an additional service.

- a. Property Owner Meetings. Assist the City with meeting with property owners as necessary for the project. Revise easement documents as needed. Assist City with requests for realignments by property owners, developers, etc.
- b. Contractor Meeting. Review alignments and preliminary plans with Contractor to discuss construction methods, feasibility and any alternate construction methods.
- c. Owner/ Contractor Meetings. Attend meetings as necessary with property owner and Contractor.

Assumptions:

- 1. Detailed endangered species surveys are not anticipated. If resource agencies require these detailed surveys, then they can be performed as an Additional Service.
- 2. Five stream crossings upstream of manhole 9G-008 are assumed to be designed such that the sanitary sewer pipe will be a minimum of two feet below natural grade control (riffle or knickpoint) downstream of the sewer crossing on the existing streambed such that scour countermeasures are not warranted.
- 3. If a floodplain no rise is determined to be unfeasible for the aerial pipe crossing then additional floodplain permitting may be necessary. The additional permitting is not included in this scope of services and would likely include a Conditional Letter of Map

Revision (CLOMR) and post construction Letter of Map Revision (LOMR). This work can be performed as an Additional Service.

AGENDA ITEM

TO: Tim Vandall, City Administrator

FROM: Mike Spickelmier, Director of Public Works *NEWS 7/9/2021*

DATE: July 12, 2021

SUBJECT: 4h & Valley Dr Storm Sewer Project

Policy Considerations:

A hole was reported near the storm drain on Valley Drive. Upon further investigation by the street crew, it was determined that the bottom of the culvert had rusted out. Temporary repairs were made prior to the weekend and forecast rain.

A subsequent rainfall event required additional interim repair work, as well as the installation of a steel road plate to stabilize the surface.

Further investigation down stream has revealed the entire length of the storm sewer from the curb inlet to the outlet under 4H road has resulted in bottom of pipe failure.

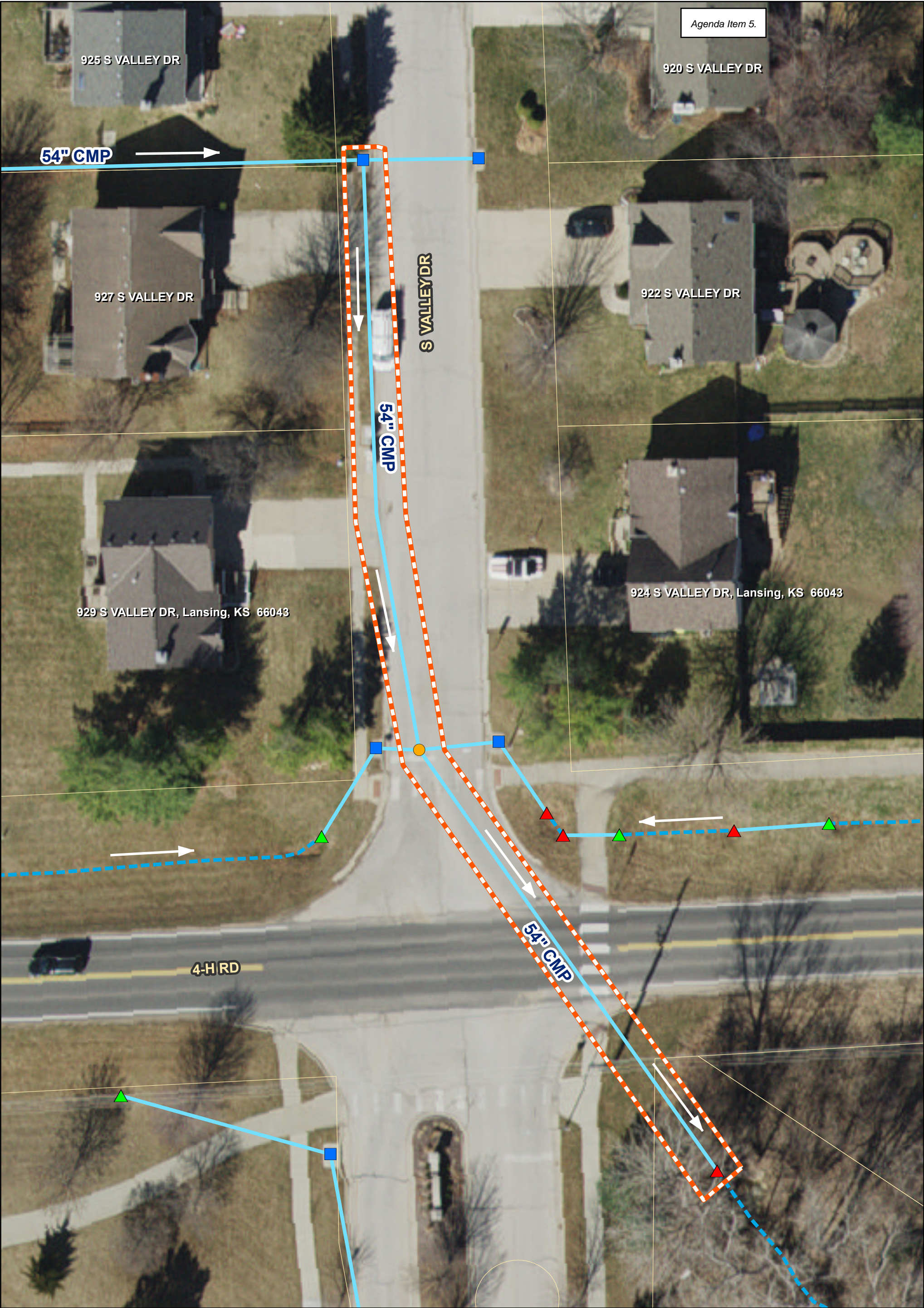
Course of Action:

1. Streets/PW to make some immediate repairs to address any road / pipe failures.
2. An interim plan to stabilize the bottom of the pipe to allow time for a replacement project to be programmed
3. Develop a replacement project / schedule / budget to implement a permanent repair for the system.

Financial Considerations: TBD

Action: Authorize PW to solicit pricing and secure a contract with on-call engineering consultant for development of permanent solution and project budget.

AGENDA ITEM



- Legend**
- Curb Inlet
 - Junction Box
 - ▲ Pipe End Section Entrance
 - ▲ Pipe End Section Exit
 - Stormwater Pipes
 - - - Streams Lakes Ponds

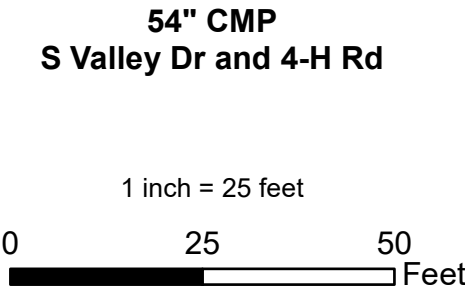




Photo 1(5/28/21) – Valley drive at C.I. – hole in pavement
Void area beneath pavement and curb.



Photo 2 (5/28/21)– Valley Drive downstream of C.I.
Rusted out pipe bottom had created a void under the pipe.



Photo #3 (5/28/21) – Looking down stream from
The curb inlet. NOTE: bottom of pipe is completely
Rusted the entire length.



Photo #4 (7/7/21) – Junction box on Valley north of 4H looking downstream
NOTE: bottom is rusted out under 4H road as well.

AGENDA ITEM

TO: Tim Vandall, City Administrator
FROM: Matthew R. Schmitz, Director, Community & Economic Development
DATE: July 15, 2021
SUBJECT: Ordinance No. 1065: An Ordinance to rezone 24725 147th St. from RR-2.5 (County Design) to R-2 Single-Unit Residential District & a portion of 00000 147th St. from A-1 Agricultural District to R-2 Single-Unit Residential District

Explanation: William & Stacy Driscoll and Larry & Tamara Watts, property owners, through their agent Joseph Herring, applicant, of Herring Surveying, have applied to rezone the Driscoll property (24725 147th St.) from RR-2.5 (County Design) to R-2 Single-Unit Residential District, and a portion of the Watts property from A-1 Agricultural District to R-3 Single-Unit Residential District as shown on the attached exhibit. This rezoning, if approved, will allow the property owners to develop three new single-family homes on the subject properties, after an Administrative Plat is completed to generate one additional lot. An exhibit showing the proposed lots is attached for review. Lots 1 and 2 will be R-2, while Lot 3 will remain A-1 zoning. All three lots would have single family homes constructed on them at some point in the future, should this rezone request be approved.

Please refer to the attached checklist and staff report for detailed analysis of the application.

At the July 23rd Special meeting, feedback from neighbors regarding drainage and potential impacts to traffic in the area was received during the public hearing portion of the review process. Please refer to the attached meeting minutes from the Planning Commission for additional information.

The Planning Commission, at a special meeting on July 23rd, 2021, voted to recommend approval of the rezone, with a 5-0 vote. The minutes from that meeting, the rezoning checklist, and the staff report (including a map of the property) are included for your review.

Policy Considerations: None.

Action: Approve, approve with conditions, remand back to Planning Commission, or deny with a super majority vote of the governing body Ordinance No. 1065: An Ordinance to rezone 24725 147th St. from RR-2.5 (County Design) to R-2 Single-Unit Residential District & a portion of 00000 147th St. from A-1 Agricultural District to R-2 Single-Unit Residential District.

AGENDA ITEM



Planning Commission Staff Report

June 23, 2021

Rezone Case RZ-2021-4
24725 147th St. and 00000 147th St.

Project Facts

Applicant

William & Stacy Driscoll and
Larry & Tamara Watts

Address

24725 147th St. and 00000
147th St.

Property ID

107-36-0-00-00-004.05-0
107-36-0-00-00-004.00-0

Zoning

RR-2.5
A-1

Future Land Use

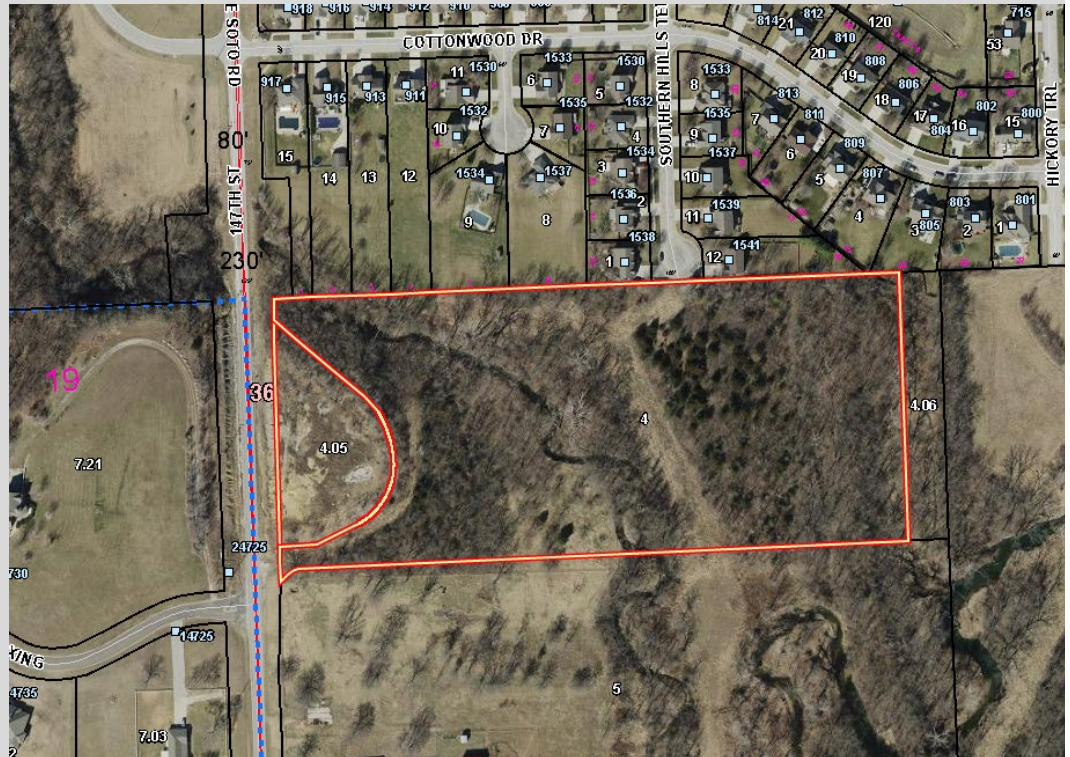
Single-Family Residential

Land

612,064.95 SF (14.05 acres)

Requested Approvals

Rezoning



Summary

William & Stacy Driscoll and Larry & Tamara Watts, property owners, through their agent Joseph Herring, applicant, of Herring Surveying, have applied to rezone the Driscoll property from RR-2.5 (County Design) to R-2 and a portion of the Watts property from A-1 Agricultural District to R-2 Single-Unit Residential District. This rezoning, if approved, will allow the property owners to develop three new single-family homes on the subject property, after an Administrative Plat is completed to generate one additional lot. An exhibit showing the proposed lots is attached for review. Lots 1 and 2 would be R-2, while Lot 3 will remain A-1 zoning.

A public hearing notice was published in the *Leavenworth Times* on June 2, 2021, and the notice was mailed to property owners within Lansing and within 200 feet of the subject property as well as in the County and within 1000 feet on June 2, 2021.

Discussion points from Checklist

The checklist was reviewed and completed by the Director of Community & Economic Development. There are no concerns marked as outstanding, and the application is in order.

Complaints / Questions

As of the date of preparation of this Staff Report, there has been one resident contact the city on behalf of this rezoning application. That resident inquired as to the development of the property, and upon explanation of what was planned to be constructed after the rezoning, had no further concerns about the proposed rezoning.

Acknowledgments

The following City of Lansing staff members reviewed this project and provided information for this report:

- Matthew R. Schmitz, M.P.A. – Director, Community & Economic Development

Notice of City Codes

The Applicant is subject to all applicable City codes within the Municipal Code – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable Federal, State, and local laws.

Recommendation

Staff recommends that the Planning Commission recommend approval of this rezoning request to the City Council.

REZONING CHECKLIST

Checklist Completed by: Matthew R. Schmitz
Case No. RZ-2021-4
Date Filed: May 14, 2021
Date Advertised: June 2, 2021
Date Notices Sent: June 1, 2021
Public Hearing Date: June 23, 2021

APPLICANT: William & Stacy Driscoll and Larry & Tamara Watts

LOCATION OF PROPERTY: 24725 147th St. and 00000 147th St.

PRESENT ZONING: RR-2.5 and A-1

REQUESTED ZONING: R-2

PRESENT USE OF PROPERTY: Unplatted, undeveloped ground

SURROUNDING LAND USE AND ZONING:

<u>Direction</u>	<u>Land Use</u>	<u>Zoning</u>
North	Residential subdivision	R-1
South	Unplatted Agricultural ground / residences	A-1
East	Unplatted Agricultural ground / residences	A-1
West	Platted Subdivision - not in City	RR-2.5

CHARACTER OF THE NEIGHBORHOOD: The area is undeveloped agricultural / rural residential area with a developed subdivision to the north.

NEAREST EQUIVALENT ZONING:

LOCATION: North (Large parcel between 4-H and W. Mary just east of DeSoto Road is nearest R-2, property directly north is R-1 along Cottonwood Drive)

CURRENT USE: Undeveloped agricultural ground with one residence on the property for equivalent zoning and Developed subdivision for property directly north.

RELATIONSHIP TO EXISTING ZONING PATTERN:

- 1. Would proposed change create a small, isolated district unrelated to surrounding districts?** No
- 2. Are there substantial reasons why the property cannot be used in accord with existing zoning?** Yes **If yes, explain:** The applicant intends to perform an administrative lot split on the property, creating one additional lot from the Watts property (the larger tract) to allow for an additional single-family home to be located on that newly created lot. To access 147th, they need a minimum lot width of 60' with R-2, whereas A-1 requires 160 ft.
- 3. Are there adequate sites for the proposed use in areas already properly zoned?** Not in close proximity to this area. **If yes, where?** _____

CONFORMANCE WITH COMPREHENSIVE PLAN:

- 1. Consistent with Development Policies?** The proposed future use of the property would align with development policies if this rezoning is approved, and the construction of the homes would require the obtainment of building permits before construction could begin.
- 2. Consistent with Future Land Use Map?** Yes. The Future Land Use Map shows this area as Single-Family Residential.
- 3. Are Public Facilities adequate?** There are utilities in the area, however extensions would be needed for the two parcels on the southwest side of the creek in this area if they desire to use sanitary sewer. Since they are planning to have these homes on septic, existing utilities in the area would be adequate.

TRAFFIC CONDITIONS:

- 1. Street(s) with Access to Property:** 147th Street
- 2. Classification of Street(s):**
Arterial X Collector _____ Local _____
- 3. Right of Way Width:** ROW width in this area varies, but is approximately 116'
- 4. Will turning movements caused by the proposed use create an undue traffic hazard?** No
- 5. Comments on Traffic:** With two homes accessing from 147th, the traffic impacts would be minimal.

SHOULD PLATTING OR REPLATTING BE REQUIRED TO PROVIDE FOR:

- 1. Appropriately Sized Lots?** Yes - an admin plat will be needed.
- 2. Properly Sized Street Right of Way?** No - existing ROW is sufficient.
- 3. Drainage Easements?** Drainage easements are not a consideration currently.
- 4. Utility Easements:**
Electricity? None required.
Gas? None required.
Sewers? The existing sewer in the area is within already established easements.
Water? None required.
- 5. Additional Comments:** N/A

UNIQUE CHARACTERISTICS OF PROPERTY IN QUESTION: None

ADDITIONAL COMMENTS: None



PLANNING COMMISSION JUNE 23RD SPECIAL MEETING

Council Chambers, 800 1st Terrace, Lansing, KS 66043
Wednesday, June 23, 2021 at 7:00 PM

MINUTES

CALL TO ORDER- The special meeting of the Lansing Planning Commission was called to order by Vice-Chairman Jake Kowalewski at 7:00 p.m.

ROLL CALL / QUORUM ANNOUNCEMENT- In attendance were Vice-Chairman Jake Kowalewski, Commissioners Nancy McDougal, Richard Hannon, Mike Suozzo and Jerry Gies. Vice-Chairman Jake Kowalewski noted there was a quorum present.

OLD BUSINESS- None

NEW BUSINESS

1. Rezoning Application - Case # RZ-2021-4

Application submitted by Joseph Herring, Authorized Agent for William & Stacy Driscoll and Larry & Tamara Watts, property owners. This application is to rezone the Driscoll parcel (RR-2.5 - County Design) to R-2 Single-Unit Residential and a portion of the Watts parcel (A-1 Agricultural District) to R-2 Single-Unit Residential.

Vice-Chairman Jake Kowalewski opened the public hearing at 7:01 pm

Ron Barry at 805 Cottonwood Dr. expressed concerns of rezoning the wooded area. The storm water runs into his backyard. His concern is that by adding more properties, are we considering the runoff into his back yard before rezoning. Before properties were even there, the water would wash out his back yard. There is only 13 feet from the storm drain to the property. He presented it once before to the city, and he personally had to invest in landscaping to be redone for himself and his neighbor. Additionally, one of the properties is to have an access at the end of the street. So, there are concerns for the amount of traffic coming through as well.

Jill Barnabee at 4650 147th St. Understands Mr. Barry's concerns for flooding. However, she is all for it. She feels it would give it purpose and would be great for traffic. It would be a great benefit to the city and make it look nicer.

Lakresha McBride- Asked for clarification as to where the properties would be. Regarding her home, construction is a concern of hers, and possible damage to her home. She recalled when the high school was built, and that the blasting and construction affected their home. She asked that being so close to the floodplain, how would affect her home and the value of her home. Mr. Kowalewski confirmed that it would not affect her home and that the only concern she should have involving construction would be the workers going to and from the site. She is unsure if she is for or against it, but just had concerns regarding construction.

Joe Herring at 315 N 5th St. Understands concerns of the neighbors regarding the storm drain. Confirmed that we are not rezoning the back portion. Mr. Herring does not believe that this development would create additional drainage issues for Mr. Barry. Mr. Herring clarified that the back property, Lot 3, would not be rezoned as part of this, and that Lot 3 would allow for the construction of a single-family home on the property without needing to be rezoned. Mr. Schmitz confirmed this was correct.

Vice-Chairman Kowalewski closed the public hearing at 7:24 pm. Commissioner McDougal pointed out that much of the property is in the flood plain, so water likely is already an issue before any development would have occurred here. City Attorney Robinson pointed out that building in the flood plain is not allowed. Commissioner Hannon asked for clarification that tonight's meeting was only

pertinent to Lot 1 and 2 on the exhibit attached. Vice-Chairman Kowalewski confirmed that was the case.

Vice-Chairman Kowalewski asked for a motion to approve with conditions or disapprove the rezoning request. Mrs. McDougal made a motion to approve the requested rezoning item. Mike Suozzo seconded. Motion passed 5-0.

REPORTS- Commission and Staff Members

NOTICES AND COMMUNICATIONS

Nothing to report.

ADJOURNMENT Commissioner Mike Suozzo motioned to adjourn. Commissioner Richard Hannon seconded it. Time of Adjournment is 7:28 p.m.

Respectfully submitted,

Melissa Baker, Secretary

Reviewed by,

Matthew R. Schmitz, Community and Economic Development Director

For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. If you require any special assistance, please notify the Community and Economic Development Director prior to the meeting.

REZONE EXHIBIT

Tracts of land in the Southwest Quarter of Section 34, Township 9 South, Range 20 East of the 6th P.M., City of Lansing, Leavenworth County, Kansas.

PREPARED FOR:

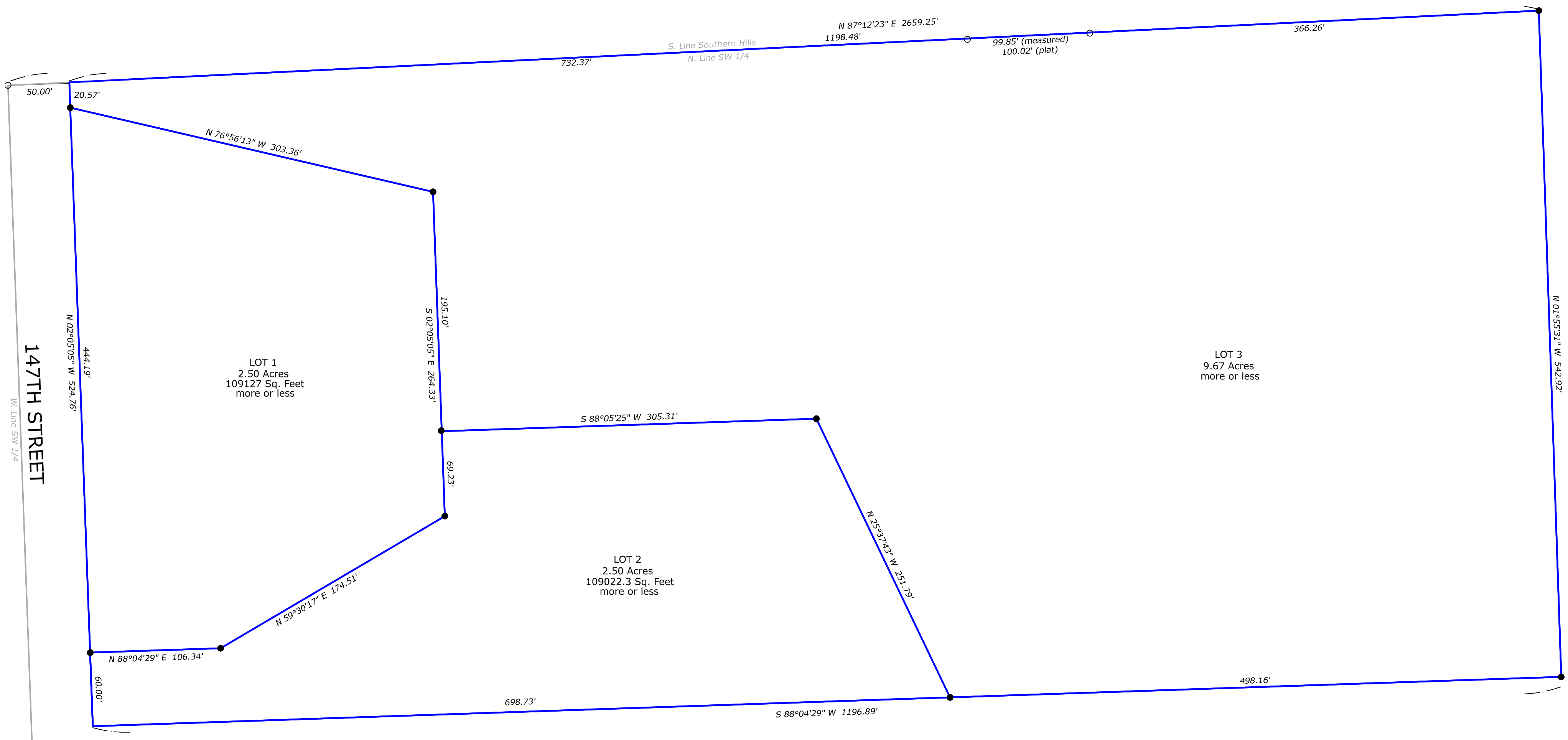
Larry K. & Tamara Watts
933 OAKMONT DR
Lansing, KS 66043
PID NO. 107-36-0-00-00-004
LOT 2 and 3

Stacy R. & William E. Driscoll Jr.
PO BOX 883
Leavenworth, KS 66048
PID NO. 107-36-0-00-00-004.05
LOT 1

REZONE DESCRIPTION:

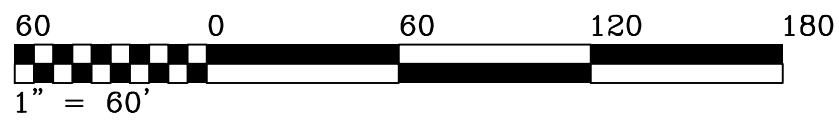
A tract of land in the Southwest Quarter of Section 36, Township 9 South, Range 22 East of the 6th P.m., City of Lansing, Leavenworth County, Kansas, more fully described as follows: Commencing at the Northwest corner of said Southwest Quarter; thence North 87 degrees 12'23" East for a distance of 50.00 feet along the North line of said Southwest Quarter; thence South 02 degrees 05'05" East for a distance of 20.57 feet along the Easterly right of way of 147th Street to the TRUE POINT OF BEGINNING; thence South 76 degrees 56'13" East for a distance of 303.36 feet; thence South 02 degrees 05'05" East for a distance of 195.10 feet; thence North 88 degrees 05'25" East for a distance of 305.31 feet; thence South 25 degrees 37'43" East for a distance of 251.79 feet; thence South 88 degrees 04'29" West for a distance of 698.73 feet to the Easterly right of way line of 147th Street; thence North 02 degrees 05'05" West for a distance of 504.19 feet along said right of way to the point of beginning, together with and subject to covenants, easement and restriction of record.

The above description only describes the proposed Lots 1 and 2 as shown below. Lot 1 currently has a Rural Residential 2.5 Acres - Leavenworth County Zoning. Lots 2 and 3 are Agriculture Zoning. Lot 3 will remain Agricultures. Lots 1 and 2 are proposed R-2 Zoning - Lot 2 would have the minimum 60 foot width.



Scale 1" = 60'

Job # K-21-1437
May 15, 2021



THIS DOES NOT CONSTITUTE A BOUNDARY SURVEY

**AN ORDINANCE GRANTING A CHANGE OF ZONING
TO CERTAIN PROPERTY WITHIN THE CITY OF LANSING, KANSAS.**

WHEREAS, the Planning Commission of the City of Lansing has recommended to rezone particular real estate property within the City of Lansing, Kansas; and

WHEREAS, after proper legal publication and notice pursuant to the statutes of the State of Kansas, a public hearing was held on July 23, 2021, at 7:00 p.m. at the Lansing City Hall, Lansing, Kansas; and

BE IT ORDAINED BY THE GOVERNING BODY OF THE CITY OF LANSING, KANSAS:

Section 1. Change of Land Uses. The land uses for the following property currently addressed as 24725 147th Street and a portion of property at 00000 147th Street within the city limits of the City of Lansing, County of Leavenworth, State of Kansas, legally described as follows:

LEGAL DESCRIPTION:

A tract of land in the Southwest Quarter of Section 36, Township 9 South, Range 22 East of the 6th P.m., City of Lansing, Leavenworth County, Kansas, more fully described as follows:

Commencing at the Northwest corner of said Southwest Quarter; thence North 87 degrees 12'23" East for a distance of 50.00 feet along the North line of said Southwest Quarter; thence South 02 degrees 05'05" East for a distance of 20.57 feet along the Easterly right of way of 147th Street to the TRUE POINT OF BEGINNING; thence South 76 degrees 56'13" East for a distance of 303.36 feet; thence South 02 degrees 05'05" East for a distance of 264.33 feet; thence South 59 degrees 30'17" West for a distance of 212.02 feet; thence South 88 degrees 04'29" West for a distance of 106.34 feet to the Easterly right of way line of 147th Street; thence North 02 degrees 05'05" West for a distance of 444.19 feet along said right of way to the point of beginning.

EXCEPT AND SUBJECT TO: Easements, restrictions and assessments of record, and all the taxes and assessments that may be levied, imposed or become payable hereafter.

All in Leavenworth County, Kansas, less any part taken or used for road; presently zoned as "RR-2.5" (County Design) is hereby changed to "R-2" Single-Unit Residential District; AND

LEGAL DESCRIPTION:

A tract of land in the Southwest Quarter of Section 36, Township 9 South, Range 22 East of the 6th P.m., City of Lansing, Leavenworth County, Kansas, more fully described as follows:

Commencing at the Northwest corner of said Southwest Quarter; thence North 87 degrees 12'23" East for a distance of 50.00 feet along the North line of said Southwest Quarter; thence South 02 degrees 05'05" East for a distance of 20.57 feet along the Easterly right of way of 147th Street; thence South 76 degrees 56'13" East for a distance of 303.36 feet; thence South 02 degrees 05'05" East for a distance of 195.10 feet to the TRUE POINT OF BEGINNING; thence North 88 degrees 05'25" East for a distance of 305.31 feet; thence South 25 degrees 37'43" East for a distance of 251.79 feet; thence South 88 degrees 04'29" West for a distance of 698.73 feet to the Easterly right of way line of 147th Street; thence North 02 degrees 05'05" West for a distance of 60.00 feet along said right of way; thence North 88 degrees 04'29" East for a distance of 106.34 feet; thence North 59 degrees 30'17" East for a distance of 212.02 feet; thence North 02 degrees 05'05" West for a distance of 69.23 feet to the point of beginning.

EXCEPT AND SUBJECT TO: Easements, restrictions and assessments of record, and all the taxes and assessments that may be levied, imposed or become payable hereafter.

All in Leavenworth County, Kansas, less any part taken or used for road; presently zoned as "A-1" Agricultural District is hereby changed to "R-2" Single-Unit Residential District; and

Section 2. Amend Zoning District Map. That upon the taking effect of this ordinance, the above zoning change shall be entered and shown on the Zoning District Map, and said official zoning map shall be and is hereby reincorporated as a part of the Zoning Ordinance as amended.

Section 3. Effective Date. This ordinance shall take effect and be enforced from and after its passage, approval, and publication in the official city newspaper, as provided by law.

PASSED AND APPROVED by the governing body of the City of Lansing, Kansas, this 15th day of July, 2021.

Anthony R. McNeill, Mayor

ATTEST

Sarah Bodensteiner, CMC, City Clerk

(SEAL)

APPROVED AS TO FORM:

Gregory C. Robinson, City Attorney

Publication Date: _____

Published: The Leavenworth Times

CITY OF LANSING
FORM OF SUMMARY FOR PUBLICATION OF ORDINANCE

Ordinance No. 1065: An Ordinance Granting a Change of Zoning to Certain Property Within the City of Lansing, Kansas.

Pursuant to the general laws of the State, a general summary of the subject matter contained in this ordinance shall be published in the official City newspaper in substantially the following form:

Ordinance No. 1065 Summary:

On July 15, 2021, the City of Lansing, Kansas, adopted Ordinance No. 1065, an ordinance granting a change of zoning to certain property within the City of Lansing, Kansas. A complete copy of this ordinance is available at www.lansingks.org or at City Hall, 800 First Terrace, Lansing, KS 66043. This summary certified by Gregory C. Robinson, City Attorney.

This Summary is hereby certified to be legally accurate and sufficient pursuant to the laws of the State of Kansas.

DATED: July 15, 2021

Gregory C. Robinson, City Attorney

AGENDA ITEM

TO: Tim Vandall, City Administrator
FROM: Sarah Bodensteiner, City Clerk
DATE: July 12, 2021
SUBJECT: Executive Session – Personnel Matters of Non-Elected Personnel

Executive Session will be called to discuss personnel matters of non-elected personnel.

AGENDA ITEM

Agenda Item 8.

CITY OF LANSING
TREASURER'S REPORT - QUARTER ENDING JUNE 30, 2021

Fund Name	Fund Number	Unencumbered Cash Balance 3/31/21 DR / (CR)	Receipts	Disbursements	Audit Adj. & Net Encumb. Liquidated 6/30/21	Unencumbered Fund Balance 6/30/21 DR / (CR)	Add Reserves, Account Payable, and Encumbrances	Subtract Receivables, Other Assets, and Net Fixed Assets	Treasurer's Cash Balance 6/30/21
General:	10	3,651,364.46	1,928,112.81	1,453,579.57	(112,112.17)	4,238,009.87	215,204.58	130,621.35	4,322,593.10
Special Revenue:									
Library	20	237,067.14	125,517.72	73,722.81	0.00	288,862.05	10,492.07	0.00	299,354.13
Consolidated Street & Highway	22	280,522.78	142,799.43	129,177.91	0.00	294,144.30	11,077.75	0.00	305,222.06
Special Parks & Recreation	23	415,967.37	11,122.38	13,881.64	0.00	413,208.11	0.00	0.00	413,208.11
Special Alcoholic Liquor	24	24,952.22	3,312.91	0.00	0.00	28,265.13	0.00	0.00	28,265.13
Sales Tax (\$.45) Fund	26	523,246.99	143,308.67	144,853.11	0.00	521,702.55	0.00	0.00	521,702.55
Hillbrook Subdivision Escrow	66	0.00	0.00	0.00	0.00	0.00	17,453.40	0.00	17,453.40
Agency:									
Bonds Posted	41	0.00	0.00	0.00	0.00	0.00	19,447.76	0.00	19,447.76
Park Land Trust	59	23.62	0.00	0.00	0.00	23.62	0.00	0.00	23.62
Mayor's Christmas	61	17,054.33	82.00	0.00	0.00	17,136.33	0.00	0.00	17,136.33
Transient Guest Tax	63	168,244.08	57,647.16	18,396.56	0.00	207,494.68	0.00	0.00	207,494.68
Debt Service:									
Bond & Interest	40	810,677.67	669,394.96	(156,324.86)	135,599.00	1,500,798.49	237,031.14	0.00	1,737,829.63
Enterprise:									
Wastewater Utility	50	12,387,343.40	780,000.40	397,639.44	3,542,342.32	9,227,362.04	11,822,229.21	18,125,606.77	2,923,984.48
Solid Waste Utility	51	345,751.19	155,617.33	143,252.16	116,619.21	241,497.15	0.00	84,507.24	156,989.91
Investment Fixed Assets	90	3,992,316.82	0.00	0.00	0.00	3,992,316.82	0.00	3,992,316.82	0.00
Capital Projects:									
Capital Projects Fund	70	1,139,950.70	218,190.06	57,066.15	0.00	1,301,074.61	0.00	0.00	1,301,074.63
Equipment Reserve Fund	80	146,538.57	39,180.54	32,900.00	0.00	152,819.11	0.00	0.00	152,819.11
Police Equipment Reserve Fund	45	19,196.67	28,233.39	0.00	0.00	47,430.06	0.00	0.00	47,430.06
Desoto Road Project Fund	84	12,003.70	0.00	4,904.00	0.00	7,099.70	0.00	0.00	7,099.70
Sewer Improvement Project	85	0.00	0.00	0.00	0.00	0.00	0.00	0.00	0.00
Lansing Towne Centre	87	22,323.10	0.00	0.00	0.00	22,323.10	0.00	0.00	22,323.10
Total All Funds		24,194,544.81	4,302,520.66	2,313,048.49	3,682,448.36	22,501,567.72	12,332,935.91	22,333,052.18	12,501,451.50

STATEMENT OF BOND INDEBTEDNESS				
Bonds	General Obligation		Waste Water Revenue	Total
	Improvement	Revolving Loans		
Outstanding as of 4/1/21	\$ 27,430,000	\$ -	\$ -	\$ 27,430,000
Retired	-	-	-	\$ -
Issued	-	-	-	\$ -
Refunded	-	-	-	\$ -
Outstanding as of 6/30/21	\$ 27,430,000	\$ -	\$ -	27,430,000
Temporary Notes	\$ 2,210,000			2,210,000
Total Outstanding 6/30/21				\$ 29,640,000

*Published quarterly in accordance with KSA 12-1608, 12-1609 - Elizabeth Sanford, Director of Finance.

City Clerk's Office/Building Maintenance Vehicle and Equipment Report

Vehicles

Year	Make	Model	Description	Mileage Start	Mileage Ending	Miles Driven	Comments
2007	Ford	Econoline	15 Passenger Wagon	21183	21,193	10	
						0	
						0	
						0	
						0	
Total						10	

Equipment

Year	Make	Model	Description	Hours Start	Hours End	Hours Used	Comments
2018	Advance	SC1500	AutoScrubber Floor Machine	40.39	41.79	1.4	Community Center Cleaning
2018	Kubota	ZG227-A	Mower	194	198.9	4.9	
2021	Kaivac	1750	Cleaning Machine	3	3.3	0.3	
						0	
						0	
						0	
Total						6.6	

Lansing Community and Economic Development Department

Monthly Fleet Report

Month June **Year** 2021

Vehicles

Year	Make	Model	License Plate #	Description	Mileage Starting	Mileage Ending	Miles Driven	Comments
2006	Ford	Ranger XLT	67211	LT. Pick-up Ext	54,186	54,798	612	
2005	Ford	Ranger	57932	LT. Pick-up Ext	48,668	48,675	7	
2015	Dodge	Journey	A6545	SUV	76,373	76,519	146	

Parks and Recreation Fleet Report June 2021

Vehicles:

Year	Make	Model	Description	Mileage Start	Mileage Ending	Miles Driven	Current Use	Comments
2006	Dodge	Caravan	Minivan	50,004	50237	233	AC/Parks use	
2014	Ford	F-350	Dump truck	21092.8			Parks maintenance	<i>out for service</i>
2016	Jeep	Patriot	SUV	65133	65309	176	Activity Center use	
2017	Chevrolet	Silverado	truck	17415	17771	356	Parks maintenance	
2018	Ford	F-350	4-dr crew	19967	20548	581	Parks maintenance	
Total						1346.00		

Equipment:

Year	Make	Model	Description	Hours End	Hours End	Hours used	Current Use	Comments
1992	Massey Ferguson	1020	Tractor	1982.8	1983.3	0.5	Parks maintenance	
2005	Kubota	F3060	mower	319.4	322.8	3.4	Parks maintenance	
2007	Turbo Tool Cat	5600	utility vehicle	1214.9	1220.3	5.4	Parks maintenance	
2012	Wright	ZK	stander mower	1122.4	1130.9	8.5	Parks maintenance	
2014	Kubota	ZD331LP-72	mower	246.1	262.3	16.2	Parks maintenance	
2016	ABI	Force	infield groomer	665.7	682.8	17.1	Parks maintenance	
2017	Kubota	ZD1211	mower	251.8	265.6	13.8	Parks maintenance	
2018	Polaris	Ranger	utility vehicle	385.1	409.6	24.5	Parks maintenance	
2019	Exmark	LZ 72	mower	205.6	219.6	14	Parks maintenance	
2019	Emark	LZ 96	mower	47.8	61.7	13.9	Parks maintenance	
Total						117.30		

Lansing Police Department
Vehicle Fleet End of Month Report

Jun-2021

Unit	Year	Make/Model	Last 5 VIN	Mileage as of 06/02	Mileage as of 07/01	Miles Driven	Current Use	Future Use	Comments
1	2013	Ford Explorer	40459	88436	88974	538	Detective	Detective	Limited Use - Detective
2	2020	Dodge Durango	96952	17010	19087	2077	Patrol	Patrol	Fit for patrol duty
3	2021	Dodge Durango	64458	0	0	0			Being Upfitted
4	2015	Ford Explorer	40976	62332	63651	1319	Patrol	Patrol	Fit for patrol duty
5	2021	Dodge Durango	64459	202	663	461	Captain	Captain	Limited Use - Captain
6	2019	Dodge Durango	85334	36758	37747	989	Sergeants	Sergeants	Limited Use - Sergeants
7	2018	Ford Explorer	34004	10963	11928	965	Patrol	Patrol	Fit for patrol duty
8a	2017	Dodge Charger	86270	60498	61277	779	Patrol	Patrol	Fit for patrol duty
9	2018	Ford Explorer	34003	30197	30364	167	Lieutenant	Lieutenant	Limited Use - Lieutenant
11	2003	Ford F150	64639	86568	86808	240	Animal Control	Animal Control	Fit for animal control duty
12	2019	Dodge Durango	85335	14223	14878	655	Chief	Chief	Limited Use - Chief
13a	2017	Dodge Charger	96163	59251	62682	3431	Patrol	Patrol	Fit for patrol duty
15	2021	Dodge Durango	?????	0	0	0			Awaiting Upfit
17	2016	Dodge Charger	23367	54315	56146	1831	Patrol	Patrol	Fit for patrol duty
					Mileage Total:	13452			

Lansing Public Works Department

Monthly Fleet Report

Month June Year 2021

Vehicles

Year	Make	Model	License Plate #	Description	Mileage Starting	Mileage Ending	Miles Driven	Comments
2008	Ford	Ranger XLT	70321	LT. Pick-up Ext	58,594	58,594	0	Sold Purple Wave
1998	Ford	1/2 ton	48091	Pick-up	67,754	67,914	160	
2005	Sterling	LT 8500	64614	Dump Truck	57,950	58,335	385	
2007	Elgin	Crosswind J+	70295	Street Sweeper	6,930	6,943	13	
2017	Chevrolet	3500	88437	Pick-up Truck	24,448	24,962	514	
2011	International	7400	75269	Dump Truck	20,081	21,132	1,051	
2016	Ford	F350 4x4	88468	One-ton Dump Truck	15,382	15,678	296	
2013	Ford	Explorer	80551	SUV	70,760	70,857	97	
2019	Ford	Ecosport	A4358	SUV	5,380	5,777	397	
2020	Chevrolet	3500	A8914	One-ton Dump Truck	1,788	2,001	213	
2005	Mack	Granite	B0282	Dump Truck	43,004	43,348	344	

Equipment

Year	Make	Model		Description	Hours Starting	Hours Ending	Hours Used	Comments
1997	JD	770BH		Grader	5,123	5,123	0	
2004	IR	DD-24		Asphalt Roller	299	299	0	
2006	IR	185		Air Compressor	218	218	0	
1997	Bobcat	763		Skid Steer	2,257	2,265	8	
2014	Case	580 SNWT		Backhoe	1,609	1,622	13	
2002	Crafco	110		Crack Sealer	821	821	0	
2003	Kubota	L3710		Tractor	1,631	1,631	0	
2009	Case	465		Skid Steer	712	714	2	
2018	John Deere	5065E		Tractor	128	144	16	
2018	Vermeer	BC1000		Chipper	8	8	0	

June			
City Influent	36.12 MG	City Avg Daily	1.20 MGD
LCF Influent	.484 MG	LCF Daily Avg	.161 MGD
Total Biosolids	0.791	Precip	4.95 inches

Vehicles

Year	Make	Model	Description	Mileage Start	Mileage Ending	Miles Driven	Current Use
1999	Sterling	Vactor	Jet Truck	8358	8371	13	Collection System
2012	Chevrolet	Tahoe	SUV	105502	105524	22	Ops/Maint.
2019	Ford	F250	Pick Up Truck	9172	9273	101	Ops/Maint.
2019	Ford	F250	Flatbed Truck	2752	2932	180	Ops/Maint.
2005	Freightliner	M2106	Dump Truck	24948	25017	69	Biosolids Disposal
Total						385	

Equipment

Year	Make	Model	Description	Hours Start	Hours Ending	Hours Used	Current Use
1991	Case	1825	Uni-Loader	970	970	0	Plant Activities
1999	Sterling	Vactor	Jet Truck	2274	2275	1	Collection System
2004	John Deere	7920	Tractor	1293	1297	4	Biosolids Disposal
2005	Polaris	Ranger #1	Utility Vehicle	1377	1386	9	Operations
2004	Case	621D	Loader	2426	2429	3	Operations
2005	Polaris	Ranger #2	Utility Vehicle	1479	1485	6	Maintenance
2006	JCB	531-70	Telehandler	636	637	1	Plant Activities

**COMMUNITY AND ECONOMIC DEVELOPMENT
PERMITS/LICENSES AND CODE ENFORCEMENT REPORT FOR JUNE**

TO: Tim Vandall, City Administrator

FROM: Matthew R. Schmitz, Director, Community and Economic Development

DATE:

PERMITS AND LICENSES:	<u>Current Month</u>	<u>Year to Date</u>
Number of permits issued.....	62	261
Number of permits for new single-family housing completed.....	0	0
Number of permits for new multi-family housing completed.....	0	0
Number of occupancy certificates issued.....	0	4
Number of permits for new single-family housing currently in process or pending issuance.....	0	0
Number of permits for new multi-family housing currently in process or pending issuance.....	0	0
Total valuation of residential and commercial construction and remodeling for which permits were issued.....	\$774,743.34	\$4,379,021.44
Permit fees.....	\$12,075.50	\$31,534.50
Number of inspections performed.....	60	206
Number of trade licenses issued.....	19	125
Total trade contractor licenses issued.....	30	328
Number of occupational licenses issued.....	8	81
CODE ENFORCEMENT:	<u>Current Month</u>	<u>Year to Date</u>
<u>Nuisance Report</u>		
Three Day Warnings:.....	28	164
Certified Letters Sent:.....	0	4
Compliance:.....	22	131
Compliance Review:.....	24	144
<u>Vehicle Report</u>		
Warning Letters/Verbal:.....	1	18
Certified Letters Sent (20 Days):.....	0	1
Compliance:.....	1	15
Compliance Review:.....	1	18
<u>Weeds Report</u>		
Three Day Warnings:.....	23	78
Certified Letters Sent:.....	2	6
Compliance:.....	17	52
Compliance Review:.....	27	62
<u>Infiltration of Storm Water System</u>		
Three Day Warnings:.....	0	0
Certified Letters Sent:.....	0	0
Compliance:.....	0	0
Compliance Review:.....	0	0
<u>Additional Actions</u>		
Violation Publications:.....	0	0
Number of Court Actions:.....	0	0
Abated:.....	2	2
Citations:.....	0	0
Contracted for Work:.....	2	2