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## **AGENDA**

### **CALL TO ORDER**

### **ROLL CALL / QUORUM ANNOUNCEMENT**

### **OLD BUSINESS**

1. **Approval of Minutes, April 23rd, 2025, Regular Meeting**

### **NEW BUSINESS**

2. **Election of Officers**

In accordance with the bylaws of the Planning Commission, officers are to be elected annually by a majority vote of the Commission. The positions of Chairman and Vice Chairman are currently up for election. These officers will serve for a one-year term, or until successors are elected, and are responsible for presiding over meetings and assisting in the coordination of Commission business.

3. **Case 2025-DEV-005- Towne Centre Final Plat**

The City is requesting the approval of a Final Plat for the Lansing Towne Centre 3<sup>rd</sup> Replat subdivision, which will enable the development of a Junior Box retail development. The City is partnering with a developer to create a 5-tenant shopping center with 3 additional pad sites. The developer has submitted a site plan to run concurrently with this application. The developer has proposed vacating Centre Drive's Right of Way (ROW) between W Mary Street and Kay Street to enable this development. The plat contains dedication of access easements for internal circulation and continued connection to both 301 Centre Drive and Parcel 106-24-0-40-07-001.02.

4. **Case 2025-DEV-006- Towne Centre Retail Site Plan**

The Applicant proposes to construct four commercial retail buildings to build out the northern end of the Lansing Towne Centre development. The tenant space will range from 1,000 square feet (sf) to 25,042 sf. Currently the plans include a minimum of 8 tenants with more available with the pad site on Lot 7 (NE corner).

This proposal will fill the Northern portion of Lansing Towne Centre which has sat vacant since 2008. No buildings currently exist on the property. The plan includes the site work, landscaping, parking lot improvements, building construction and other appurtenances to the project. Approval of this Site Plan would authorize staff to issue a building permit for the project upon completion of review for compliance with building codes, subject to any conditions added during the approval process at the Planning Commission meeting. The developer has indicated the coffee usage on Lot 8 will not be built out with that tenant in mind, but will be another retail/office use. Any change to this site plan may necessitate a further site plan review as either an administrative or Planning Commission procedure. Building elevations are included in the site plan.

The timeline of the project, should this application be approved, is to proceed to construction as quickly as possible after approval of the final plat by the City Council.

## **NOTICES AND COMMUNICATIONS**

### **REPORTS - Commission and Staff Members**

- Commission Members
- Director, Community & Economic Development
- Director, Public Works / City Engineer
- Director, Wastewater Utility
- Building Inspector, Community & Economic Development

### **ADJOURNMENT**

For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. If you require any special assistance, please notify the Community and Economic Development Director prior to the meeting.





## PLANNING COMMISSION APRIL REGULAR MEETING

Council Chambers, 800 1st Terrace, Lansing, KS 66043  
Wednesday, April 23, 2025, at 7:00 PM

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### MINUTES

#### CALL TO ORDER

The April regular meeting of the Lansing Planning Commission was called to order by Chairman Jerry Gies at 7:01 p.m.

#### ROLL CALL / QUORUM ANNOUNCEMENT-

In attendance were Chairman Jerry Gies, Vice-Chairman Brian Payne, Commissioners Ginger Riddle, and Janette Labbee-Holdeman. Commissioners Nancy McDougal, Richard Hannon and Mike Suozzo were not present. Chairman Gies noted that there was a quorum present.

#### OLD BUSINESS-

**1. Approval of Minutes, March 19<sup>th</sup>, 2025, Regular Meeting**

A motion was made by Commissioner Labbee-Holdeman to approve the minutes as written, and it was seconded by Commissioner Riddle. Motion passed 3-0, with Vice Chairman Brian Payne abstaining.

#### NEW BUSINESS-

**2. Cases 2025-UDO-001- Text Amendment- Accessory Structures and Utility Uses**

The proposed text amendment updates and clarifies regulations governing two key areas of the Unified Development Ordinance (UDO): 1. Public Utility Facilities, distinguishing "Minor" vs. "Major" facilities and detailing performance and operational standards (setbacks, height, buffering, fencing, etc.). 2. Location and number of Accessory Structures.

The public hearing was opened at 7:02pm with no discussion, it was closed at 7:02pm.

Mr. Gentzler explained more in depth about utilities and gave an overview of how this recommended amendment came about. There was also discussion about what the changes will be, should the text amendment be approved. Currently there is no way for the City of Lansing or Lan'del to put any type of utility substation or substructure within the city limits. There were conversations had with fiber providers and for the use of fiber there needs to be a power station to recharge the signal. There was nothing in the UDO regarding this issue so this amendment will give us some guidance for future conditional uses, etc. Mr. Gentzler defined the 'Minor' and 'Major' facilities for clarification purposes. Discussion was then had about different structures this would apply to and what type of structures would be exempt, etc. There was a brief discussion about the process that would happen in the future regarding public utility facilities.

With no further discussion, Commissioner Riddle moved to recommend approval of Case 2025-UDO-001 to the City Council based on staff's recommendation and the analysis of the Golden Factors. Commissioner Payne seconded the motion. Motion carried 4-0.

**3. Cases 2025-DEV-003 & 004- Lansing Towne Centre Replats**

The applicant is requesting the approval of a Preliminary and Final Plats for the Lansing Towne Centre 2nd Replat subdivision, which will replat a 3-lot subdivision. The purpose of this plat is to enable future development on this property.

Discussion on this case began with Mr. Gentzler putting the map on the screen to show the boundary line adjustments. Chairman Gies inquired about possible buyers, and it was stated that the city will be working with possible buyer/s in the future for development purposes.

With no further discussion about the Preliminary Plat, Commissioner Riddle moved to recommend approval of Case 2025-DEV-003 to the City Council based on staff's recommendation and the analysis of the Golden Factors. Commissioner Payne seconded the motion. Motion carried 4-0.

With no further discussion about the Final Plat, Commissioner Riddle moved to recommend approval of Case 2025-DEV-004 to the City Council based on staff's recommendation and the analysis of the Golden Factors. Commissioner Payne seconded the motion. Motion carried 4-0.

**NOTICES AND COMMUNICATIONS-**

Prior to the May Planning Commission meeting, there will be a training session for commissioners and staff.

**REPORTS- Commission and Staff Members-**

Commissioner Gies stated that at the May meeting, there will be an election of officers

**ADJOURNMENT-**

Commissioner Labbee-Holdeman moved to adjourn, and the motion was seconded by Commissioner Payne. The meeting was adjourned by acclamation at 7:15 pm.

Respectfully submitted,  
Melissa Baker, Secretary

Reviewed by,  
Joshua Gentzler, Community and Economic Development Director

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## AGENDA ITEM

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DATE: May 21, 2025

SUBJECT: Election of Planning Commission Chairman and Vice Chairman for the 2025 Term

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*Overview:* In accordance with the bylaws of the Planning Commission, officers are to be elected annually by a majority vote of the Commission. The positions of Chairman and Vice Chairman are currently up for election. These officers will serve for a one-year term, or until successors are elected, and are responsible for presiding over meetings and assisting in the coordination of Commission business.

*Policy Consideration:* None

*Financial Consideration:* n/a

*Action:*

1. Open nominations for Chairman
2. Vote to elect Chairman
3. Open nominations for Vice Chairman
4. Vote to elect Vice Chairman

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## AGENDA ITEM # 10

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## Planning Commission Staff Report

May 21, 2025

Cases 2025-DEV-005  
00000 Centre Drive

### Project Facts

#### Applicant

Todd Minnis  
Driven Assets, LLC

#### Owner

City of Lansing

#### Address

00000 Centre Drive

#### Property ID

106-24-0-40-08-007.00  
106-24-0-40-07-001.03

#### Zoning

B-3 Regional Business District  
& PUD

#### Future Land Use

Commercial

#### Land

12.124 acres

#### Building

Existing: None  
Proposed: Retail

#### Requested Approvals

Final Plat



### Summary

The City is requesting the approval of a Final Plat for the Lansing Towne Centre 3<sup>rd</sup> Replat subdivision, which will enable the development of a Junior Box retail development. The City is partnering with a developer to create a 5-tenant shopping center with 3 additional pad sites. The developer has submitted a site plan to run concurrently with this application. The developer has proposed vacating Centre Drive's Right of Way (ROW) between W Mary Street and Kay Street to enable this development. The plat contains dedication of access easements for internal circulation and continued connection to both 301 Centre Drive and Parcel 106-24-0-40-07-001.02.

## Discussion points from Checklist

The checklist was reviewed and completed by the Director of Community & Economic Development. Items marked no are discussed below:

### Final Plat

- Item 1 – Approval granted with passage of plat with this case.
- Item 2 & 4 - Hard copies not yet provided
- Item 9D – Statement of paid taxes not provided. Register of Deeds will not record document until completed.

## Community & Economic Development / Public Works and City Engineer / Wastewater Comments

### Community & Economic Development (from Article 2.02-D of the UDO):

- The application is in accordance with the Comprehensive Plan and in particular the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles and concepts of the plan.
  - The City's 2030 Comprehensive Plan Future Land Use Map has defined this area as commercial use.
- Compliance with the requirements of this Land Development Code, and in particular the blocks and lots proposed are capable of meeting all development and site design standards under the existing or proposed zoning.
  - The current zoning for the site is B-3 Regional Business District.
  - **UDO Article 3.02 Open & Civic Space Systems** require 12% of subdivisions greater than 5 acres be dedicated for open space.
    - **3.02-B.1** states: *"All platted lots shall have access to one or more of the open and civic space types in this Section, within the specified service area."*
      - Currently, the Final Plat does not dedicate any land as open or civic space. **However**, the plat is within the service area of the open park space on the Covington Woods II land and sits on a City designated Multimodal Trail. Combined, those open spaces equate to approximately 9% of the total area of the plat.
    - **3.02-B.3 Reductions and Deviation** enable the planning Commission to *"deviate from the criteria of this Section" "to the point where any lesser percentage of open space will clearly meet both the service area and level of service targets"*.
- Any phasing proposed in the application is clearly indicated and demonstrates a logical and coordinated approach to development, including coordination with existing and potential development on adjacent property.
  - No phasing has been indicated. The developer proposes to build in one phase.
- Any impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning, engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments.
  - The Public Works Director / City Engineer has reviewed the Final Plat.
- The application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Comprehensive Plan.
  - The current use conforms with the goals and policies of the Comprehensive Plan, and the application would not deter future development from meeting current goals and policies.
- The design does not impede the construction of anticipated or planned future public infrastructure within the area.
  - There are no impacts to planned future public infrastructure within the area.
- The recommendations of professional staff, or any other public entity asked to officially review the plat.
  - There are additional comments outstanding from Wastewater, Public Works, and Community & Economic Development. These have been submitted to the developer and are included on the 2025.05.16 review copy of the Plat in this packet.

**Public Works / City Engineer:**

- See 2025.05.16 review copy of plat.

**Wastewater:**

- This development will include the addition of public sanitary sewer improvements to serve the property. The developer is responsible for all costs associated with the design and construction, and are subject to Lansing's technical specifications and design criteria. An engineered set of plans will need to be approved by the city engineer and KDHE, along with a sanitary sewer extension permit.
- See 2025.05.16 review copy of plat

**Acknowledgments**

The following City of Lansing staff members reviewed this project and provided information for this report:

- Joshua Gentzler, AICP – Director, Community & Economic Development
- Michael Spickelmier, P.E. – Director, Public Works / City Engineer
- Anthony Zell, MBA – Director, Wastewater
- Joe Gates – Chief, Fire Department

**Recommendation**

Staff recommends the approval of Case 2025-DEV-005, Lansing Towne Centre 3<sup>rd</sup> Plat Final Plat with the Planning Commission's acceptance of the reduction of open space requirements.

**Action Options**

"I move to \_\_\_\_\_."

1. Approve Case No. 2025-DEV-005; or
2. Conditionally approve Case No. 2025-DEV-005 for specified reason[s]; or
3. Deny Case No. 2025-DEV-005 for specified reason[s]; or
4. Table the case to another date, time and place.

**Notice of City Codes**

The Applicant is subject to all applicable City codes within the Municipal Code – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable Federal, State, and local laws.

**Attachments**

1. 2025.05.16 Final Plat City Review Comments
2. 2025.05.15 Submitted Final Plat

**CHECKLIST FOR COMPLETENESS  
OF  
APPLICATION FOR PLANNING COMMISSION  
REVIEW AND APPROVAL  
OF  
FINAL PLAT  
FOR**

**Lansing Towne Centre 3<sup>rd</sup> Plat  
(Name of Subdivision)**

Joshua Gentzler  
**Person Completing Checklist**

5/16/2025  
**Date**

COMPLETION OF THIS CHECKLIST IN NO WAY CONSTITUTES AN EVALUATION OF THE MERITS OR ACCURACY OF THE PLANS, DESIGN OR ENGINEERING OF THE FINAL PLAT. THIS STEP IS INTENDED ONLY AS AN ADMINISTRATIVE REVIEW OF THE COMPLETENESS OF THE APPLICATION FOR APPROVAL BEFORE IT UNDERGOES STAFF EXAMINATION BY THE CITY ENGINEER FOR HIS RECOMMENDATION TO THE PLANNING COMMISSION.

**FINAL PLAT CHECKLIST**

		<u>YES</u>	<u>NO</u>
1.	Preliminary Plat has been approved.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2.	One (1) hard copy has been provided, along with an electronic copy either emailed, delivered on a USB Drive, or uploaded, to the Community and Economic Development Department	<input type="checkbox"/>	<input checked="" type="checkbox"/>
3.	Material is submitted at least fourteen (14) days prior to Planning Commission meeting at which it is desired to be considered.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	Original copy contains names and duly acknowledged and notarized signatures of the owner(s) of the property.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
5.	Final Plat is drawn at scale of at least 1" = 200'	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Size of sheet on which final plat is prepared is at least 36 inches by 24 inches. If more than one sheet required, all are same size and index map is provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
7.	<b>FINAL PLAT CONTAINS:</b>		
A.	Name of Subdivision	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B.	Location, including section, township, range, county and state	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C.	Location and description of existing monuments or benchmarks.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D.	Location of lots and blocks with dimensions in feet and decimals of feet	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E.	Location of alley, street and highway rights-of-way, parks and other features including radii on curves with dimensions in feet and decimals of feet.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F.	Clear numbering for all lots.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G.	Clear numbering or lettering.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
H.	Locations, widths and names of all streets and alleys to be dedicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I.	Boundaries and descriptions of any areas other than streets to be dedicated or reserved for public use. (If applicable)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
J.	Minimum area and associated minimum elevation for the building on each lot (building site). (If requested by Planning Commission)	<input type="checkbox"/>	<input type="checkbox"/>



Final Plat Checklist

Page 2

		<u>YES</u>	<u>NO</u>
K.	Building setback lines along all streets, with dimensions	<input checked="" type="checkbox"/>	<input type="checkbox"/>
L.	Name, signature, seal of licensed engineer or registered land surveyor preparing plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
M.	Scale of plat, (shown graphically) date of prep and north point.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
N.	Statement dedicating all easements, streets, alleys and all other public areas not previously dedicated.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
8.	A copy of any restrictive covenants applicable to the subdivision is provided. (N/A if not applicable)	<input type="checkbox"/>	<input type="checkbox"/>
9.	Required certifications/acknowledgements are present:		
A.	Certificate signed and acknowledged by all parties having any record, title or interest in the land subdivided, and consenting to the preparation and recording of said subdivision map.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B.	Certificate (as above) dedicating or reserving all parcels of land shown on the final plat and intended for any public or private use including easements, and those parcels which are intended for the exclusive use of the lot owners of the subdivision, their licensees, visitors, tenants and servants.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C.	Certificate of responsibility by registered land surveyor preparing final map, accompanied by seal.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D.	Certificate(s) signed by City Clerk and County Treasurer that all taxes and special assessments due and payable have been paid.	<input type="checkbox"/>	<input type="checkbox"/>
E.	Notary acknowledgement in proper form.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F.	Endorsement by Planning Commission in proper form.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G.	Public use acceptance by Governing Body in proper form.	<input checked="" type="checkbox"/>	<input type="checkbox"/>



# FINAL PLAT

## LANSING TOWNE CENTRE, 3RD PLAT

A REPLAT OF PART OF CENTRE DRIVE, LANSING TOWNE CENTRE, ALL OF LOT 3, LANSING TOWNE CENTRE, 2ND PLAT & LOT 2, LANSING TOWNE CENTRE NORTH IN THE SE QUARTER OF SECTION 24, TOWNSHIP 9 SOUTH, RANGE 22 EAST & THE NE QUARTER OF SECTION 25, TOWNSHIP 9 SOUTH, RANGE 22 EAST, IN THE CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS

A utility corridor needs to be established to allow for the Telecom / Water and any other utilities that previously occupied the public ROW have access ability?

**Reviewed by Public Works**  
05/15/2025 8:15:24 AM  
By mspickelmier  
[See Review Comments](#)

**Reviewed By WW Dept - See Comments**  
05/15/2025 1:01:34 PM  
By azell

**Reviewed by Community & Economic Development**  
05/16/2025 9:39:08 AM by jgentler  
[See Review Comments](#)

### DESCRIPTION:

A tract of land in the Southeast Quarter of Section 24 and the Northeast Quarter of Section 25, Township 9 South, Range 22 East of the Sixth Principal Meridian, also being Lot 2, LANSING TOWNE CENTRE NORTH, Lot 4, LANSING TOWNE CENTRE, 2ND PLAT and Centre Drive, LANSING TOWNE CENTRE, all Subdivisions in the City of Lansing, Leavenworth County, Kansas, more particularly described by Wayne E Malnicof, Kansas PS #1239 on April 13, 2025, as follows:

Beginning at the Northeast corner of said Lot 2, said point being on the Westerly right-of-way line of Centre Drive as platted; thence North 07°57'55" West along said right-of-way line, a distance of 13.55 feet to the North line of said LANSING TOWNE CENTRE, said point also being on the south right-of-way line of West Kay Street as now established; thence North 87°02'20" East along said right-of-way, a distance of 65.25 feet to the Northeast corner of said Centre Drive; thence South 07°57'55" East along the East line of said LANSING TOWNE CENTRE also being the West line of Tract A, FAMILY EYECARE CENTER PLAT, a subdivision in the City of Lansing, Leavenworth County, Kansas, a distance of 108.67 feet; thence on a tangent curve to the right with an arc length of 204.69 feet, a radius of 434.00 feet, chord bearing of South 05°32'46" West, chord length of 202.80 feet to the Northwest corner of said Lot 4; the following five (5) courses to follow the North and East line of said Lot 4; thence on a non-tangent curve to the left with an arc length of 38.33 feet, a radius of 91.68 feet, a chord bearing of South 78°01'22" East, and a chord length of 38.05 feet; thence North 90°00'00" East, a distance of 16.65 feet; thence South 00°00'00" East, a distance of 57.11 feet; thence South 08°10'16" West, a distance of 208.55 feet; thence South 18°33'26" East, a distance of 66.55 feet to the South line of said Lot 4, said point also being on the North right-of-way line of West Mary Street as now established; thence on a non-tangent curve to the left along said South line with an arc length of 70.40 feet, a radius of 624.51 feet, a chord bearing of South 68°12'49" West, and a chord length of 70.36 feet; thence South 64°58'56" West along said South line, a distance of 110.49 feet; thence on a tangent curve to the right with an arc length of 339.25 feet, a radius of 687.75 feet, a chord bearing of South 79°06'43" West and a chord length of 335.82 feet to a point on the South line of said Lot 2, also being the North right-of-way line of West Mary Street as now established; the following seven (7) courses to follow the South and West line of said Lot 2; thence South 03°20'12" West, a distance of 3.98 feet; thence on a non-tangent curve to the right with an arc length of 306.88 feet, a radius of 691.78 feet, a chord bearing of North 74°03'02" West and a chord length of 304.37 feet to a point on the North line of the Northeast Quarter of said Section 25 and the South line of said Southeast Quarter of Section 24; thence continuing on a curve to the right with an arc length of 144.36 feet, a radius of 691.78 feet, a chord bearing of North 55°21'49" West and a chord length of 144.10 feet; thence North 39°56'39" West, a distance of 24.11 feet to the Southeast corner of Lot 1 of said LANSING TOWNE CENTRE NORTH; thence North 55°23'50" East, a distance of 231.29 feet; thence North 16°59'54" East, a distance of 129.64 feet; thence North 03°18'19" West, a distance of 297.21 feet to the Northwest corner of said Lot 2; thence North 87°02'20" East along the North line of said Lot 2, a distance of 607.48 feet to the Point of Beginning. Containing 528,162 square feet or 12.124 acres, more or less.

### DEDICATION:

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

"LANSING TOWNE CENTRE, 3RD PLAT"

### EASEMENT DEDICATION:

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Lansing, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

A perpetual easement over, under and through the areas outlined and designated on this plat as "Drainage Easement" or "D/E" for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby granted to the City of Lansing, Kansas. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities.

An easement or license is hereby dedicated to the City of Lansing, Kansas to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, sewer pipes, manholes, etc., upon, over, and across those areas outlined and designated on this plat as "Sanitary Sewer Easement" or "SS/E".

A perpetual easement of access over, under, across, and upon the areas designed as "Cross Access/Parking Easement" or "CAPE" and Lots 5, 6, 7, 8 and 9 is hereby reserved to the undersigned proprietor, its heirs, assigns, etc., for ingress and egress of all owners and occupants of lots and parcels depicted on this plat, their guests and invitees. Owners and occupants of adjoining land to the South and West of the plat, as well as other properties within the development shall have the same right of ingress and egress as all owners and occupants of lots and parcels depicted on this plat. No obstacles or obstructions that would prohibit the free flow of traffic shall be allowed to be constructed or maintained within said "Cross Access/Parking Easement".

A perpetual easement of access over, under, across, and upon the areas designed as "Mutual Access Easement" or "A/E" is hereby reserved to the undersigned proprietor, its heirs, assigns, etc., for ingress and egress of all owners and occupants of lots and parcels depicted on this plat, their guests and invitees. Owners and occupants of adjoining land to the North and West of the plat, as well as other properties within the development shall have the same right of ingress and egress as all owners and occupants of lots and parcels depicted on this plat. No obstacles or obstructions that would prohibit the free flow of traffic shall be allowed to be constructed or maintained within said "Mutual Access Easement".

### RESTRICTIONS:

Tract A is intended to be used as a Drainage Easement (D/E), Stormwater Detention and Open Space, and shall be owned and maintained by Lansing TC, LP and/or their assigns.

The use of all lots in this subdivision shall hereafter be subject to the restrictions which will be executed as a separate instrument of writing and will be recorded in the Office of the Register of Deeds of Leavenworth County, Kansas, said restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.

### EXECUTION:

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Lansing TC, LP

Todd Minnis, Manager

STATE OF \_\_\_\_\_ )  
COUNTY OF \_\_\_\_\_ ) SS

BE IT REMEMBERED, that on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me a Notary Public in and for said County and State, came Todd Minnis, Manager of Lansing TC, LP, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said Partnership, and he duly acknowledged the execution of the same to be the act and deed of said Partnership.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

My Appointment Expires: \_\_\_\_\_

Notary Public

### APPROVALS:

APPROVED by the Planning Commission of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Jerry Gies, Chairperson

APPROVED by the City Engineer of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Michael Spickelmier, City Engineer

APPROVED by the Community and Economic Development Director of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Joshua Gentzler, Community & Economic Development Director

APPROVED by the Governing Body of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Attest: \_\_\_\_\_  
Antony R. McNeill, Mayor Tish Sims, City Clerk

I hereby certify, as the County Treasurer of Leavenworth County, Kansas, that all taxes and special assessments due and payable on the foregoing subdivision have been paid on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Caleb Gordon, Leavenworth County Treasurer

### REGISTER OF DEED CERTIFICATE:

FILED for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ O' Clock \_\_\_\_\_ M in the Office of the Register of Deed of Leavenworth County, Kansas.

Terrilois G. Mashburn, Register of Deeds

I hereby certify this plat meets the requirements of KSA-58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No filed verification is implied. This review is for surveying information only.

Daniel Baumchen, PS-1363  
County Surveyor

### CERTIFICATION

I hereby certify that during month of April 2025, this field survey was completed on the ground by me or under my direct supervision, and that said survey meets or exceeds the current "Kansas Minimum Standards For Boundary Surveys" as established by the Kansas Board of Technical Professions.

Wayne E. Malnicof, Kansas PS-1239  
RIC KS CLS-234  
wmalnicof@ric-consult.com

DRAFT COPY

### NOTES

Basis of Bearings: N87°02'20"E, along the North line of LANSING TOWNE CENTRE NORTH as determined by GPS observations, referenced to the Kansas State Plane Coordinate System, North Zone (NAD 83).

All bearings and distances shown on this plat are platted and measured unless otherwise noted.

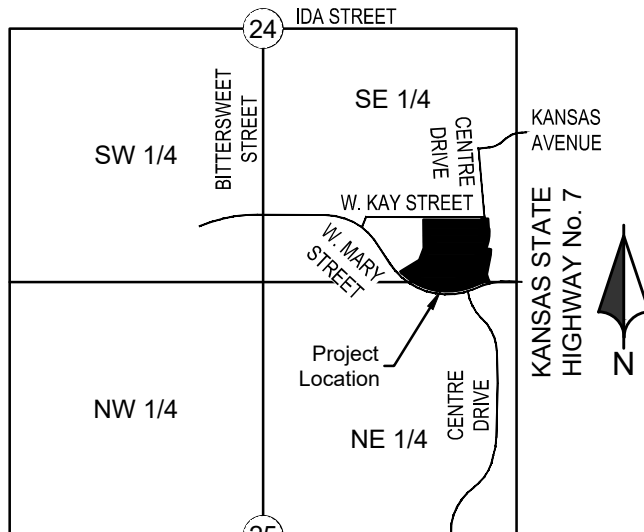
Based on fieldwork and final engineering design, the exact location of easements are subject to change prior to the plat recording.

In approving this Plat by the City of Lansing and recording this Plat with the Office of the Register of Deeds of Leavenworth County, all easements, restrictions and covenants, building lines, right-of-ways and lot lines that lie within those parts of LANSING TOWNE CENTRE, Document No. 2008P00022, LANSING TOWNE CENTRE, 2ND PLAT, Document No. 2010P00011 and LANSING TOWNE CENTRE NORTH, Document No. 2023P00053, being replatted, are hereby now vacated.

3,044.63' (plat boundary distance) / 0.0157' (closing distance) = Unadjusted Error of Closure: 1 part in 193,390.45'

Floodplain Note: According to the F.E.M.A. Flood Insurance Rate Map Number 20103C0232G, revised July 16, 2015, this tract graphically lies in OTHER AREAS, ZONE X, defined as areas determined to be outside the 0.2% annual chance floodplain.

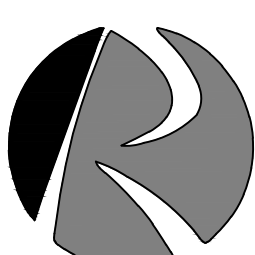
The water main once installed and put into service, will be owned and maintained by Lan-Dei Water District of Leavenworth County, Kansas. If the water main should need repairs, said water main maintenance will be performed by Lan-Dei, but restoration of the paved areas will be the responsibility of the owner/developer.



LOCATION MAP  
SECTION 24-9-22 & 25-9-22  
Scale 1" = 2000'

### LANSING TOWNE CENTRE, 3RD PLAT

Prepared For:  
Lansing TC, LP  
Todd Minnis, Manager  
1601 High Street  
Boulder, CO 80302  
(214) 597-5088



**Renaissance Infrastructure Consulting**  
102 Abbie Avenue  
Kansas City, Kansas 66103  
913.317.9500  
www.ric-consult.com

Date of Preparation: April, 2025  
Revised: May, 2025

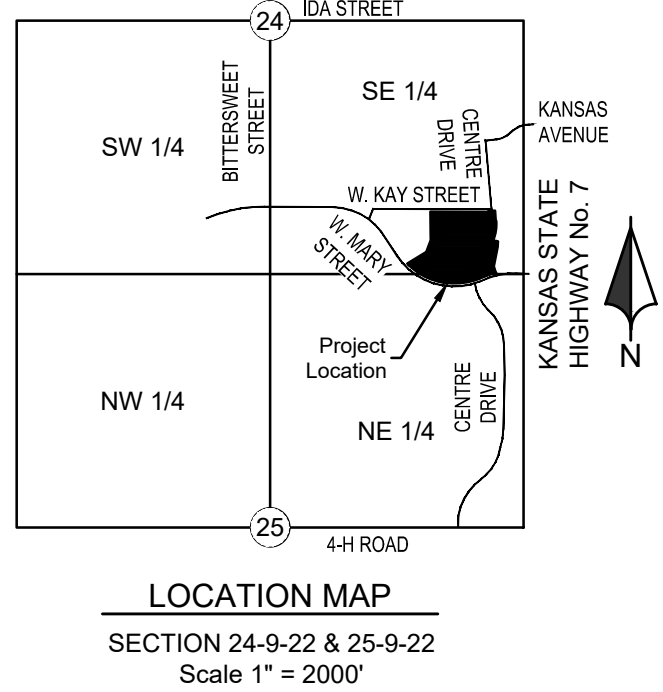
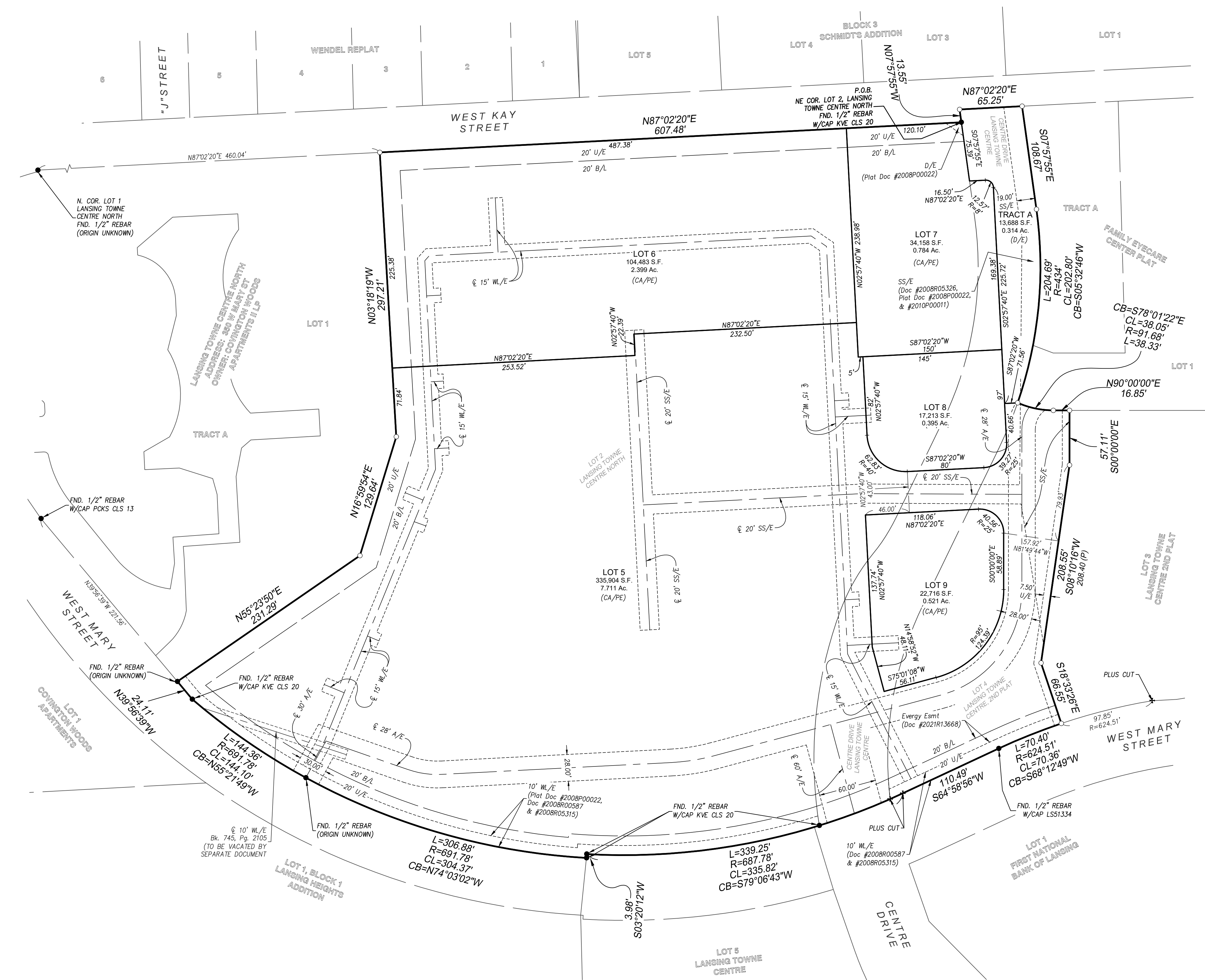
Certificates of Authorization:  
Missouri CLS-2011003572; Kansas CLS-234



# FINAL PLAT

## LANSING TOWNE CENTRE, 3RD PLAT

A REPLAT OF PART OF CENTRE DRIVE, LANSING TOWNE CENTRE, ALL OF LOT 3, LANSING TOWNE CENTRE, 2ND PLAT & LOT 2, LANSING TOWNE CENTRE NORTH IN THE SE QUARTER OF SECTION 24, TOWNSHIP 9 SOUTH, RANGE 22 EAST & THE NE QUARTER OF SECTION 25, TOWNSHIP 9 SOUTH, RANGE 22 EAST, IN THE CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS



**NOTES**

Basis of Bearings: N87°02'20"E, along the North line of LANSING TOWNE CENTRE NORTH as determined by GPS observations, referenced to the Kansas State Plane Coordinate System, North Zone (NAD 83).

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**CERTIFICATION**

I hereby certify that during month of April 2025, this field survey was completed on the ground by me or under my direct supervision, and that said survey meets or exceeds the current "Kansas Minimum Standards For Boundary Surveys" as established by the Kansas Board of Technical Professions.

Wayne E. Malnicof, Kansas PS-1239  
RIC KS CLS-234  
wmalnicof@ric-consult.com

DRAFT COPY

**DESCRIPTION:**

A tract of land in the Southeast Quarter of Section 24 and the Northeast Quarter of Section 25, Township 9 South, Range 22 East of the Sixth Principal Meridian, also being Lot 2, LANSING TOWNE CENTRE NORTH, Lot 4, LANSING TOWNE CENTRE, 2ND PLAT and Centre Drive, LANSING TOWNE CENTRE, all Subdivisions in the City of Lansing, Leavenworth County, Kansas, more particularly described by Wayne E Malnicof, Kansas PS #1239 on April 13, 2025, as follows:

Beginning at the Northeast corner of said Lot 2, said point being on the Westerly right-of-way line of Centre Drive as platted; thence North 07°57'55" West along said right-of-way line, a distance of 13.55 feet to the North line of said LANSING TOWNE CENTRE, said point also being on the south right-of-way line of West Kay Street as now established; thence North 87°02'20" East along said right-of-way, a distance of 65.25 feet to the Northeast corner of said Centre Drive; thence South 07°57'55" East along the East line of said LANSING TOWNE CENTRE, also being the West line of Tract A, FAMILY EYECARE CENTER PLAT, a subdivision in the City of Lansing, Leavenworth County, Kansas, a distance of 108.67 feet; thence on a tangent curve to the right with an arc length of 204.69 feet, a radius of 434.00 feet, chord bearing of South 05°32'46" West, chord length of 202.80 feet to the Northwest corner of said Lot 4; the following five (5) courses to follow the North and East line of said Lot 4; thence on a non-tangent curve to the left with an arc length of 38.33 feet, a radius of 91.68 feet, a chord bearing of South 78°01'22" East, and a chord length of 38.05 feet; thence North 90°00'00" East, a distance of 16.85 feet; thence South 00°00'00" East, a distance of 57.11 feet; thence South 08°10'16" West, a distance of 208.55 feet; thence South 18°33'26" East, a distance of 66.55 feet to the South line of said Lot 4, said point also being on the North right-of-way line of West Mary Street as now established; thence on a non-tangent curve to the left along said South line with an arc length of 70.40 feet, a radius of 624.51 feet, a chord bearing of South 68°12'49" West, and a chord length of 70.36 feet; thence South 64°58'56" West along said South line, a distance of 110.49 feet; thence on a tangent curve to the right with an arc length of 339.25 feet, a radius of 687.75 feet, a chord bearing of South 79°06'43" West and a chord length of 335.82 feet to a point on the South line of said Lot 2, also being the North right-of-way line of West Mary Street as now established; the following seven (7) courses to follow the South and West line of said Lot 2; thence South 03°20'12" West, a distance of 3.98 feet; thence on a non-tangent curve to the right with an arc length of 306.88 feet, a radius of 691.78 feet, a chord bearing of North 74°03'02" West and a chord length of 304.37 feet to a point on the North line of the Northeast Quarter of said Section 25 and the South line of said Southeast Quarter of Section 24; thence continuing on a curve to the right with an arc length of 144.36 feet, a radius of 691.78 feet, a chord bearing of North 55°21'49" West and a chord length of 144.10 feet; thence North 39°56'39" West, a distance of 24.11 feet to the Southeast corner of Lot 1 of said LANSING TOWNE CENTRE NORTH; thence North 55°23'50" East, a distance of 231.29 feet; thence North 16°59'54" East, a distance of 129.64 feet; thence North 03°18'19" West, a distance of 297.21 feet to the Northwest corner of said Lot 2; thence North 87°02'20" East along the North line of said Lot 2, a distance of 607.48 feet to the Point of Beginning. Containing 528,162 square feet or 12.124 acres, more or less.

**DEDICATION:**

The undersigned proprietor of the above described tract of land has caused the same to be subdivided in the manner as shown on the accompanying plat, which subdivision and plat shall hereafter be known as:

"LANSING TOWNE CENTRE, 3RD PLAT"

**EASEMENT DEDICATION:**

An easement or license to enter upon, locate, construct, use and maintain or authorize the location, construction or maintenance and use of conduits, water, gas, sewer pipes, poles, wires, drainage facilities, irrigation systems, ducts and cables, and similar facilities, upon, over and under these areas outlined and designated on this plat as "Utility Easement" or "U/E" is hereby granted to the City of Lansing, Kansas with subordinate use of the same by other governmental entities and public utilities as may be authorized by state law to use such easement for said purposes. Utility easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of public utilities located within the easement.

A perpetual easement over, under and through the areas outlined and designated on this plat as "Drainage Easement" or "D/E" for the purpose of constructing, using, replacing and maintaining a culvert, storm sewer, drainage ditch, or other drainage facility or tributary connections, including similar facilities, and appurtenances thereto, including the right to maintain, repair and replace the drainage facility and for any reconstruction and future expansion of such facility, together with the right of access for the same, is hereby granted to the City of Lansing, Kansas. Drainage Easements shall be kept clear of obstructions that impair the strength or interfere with the use and/or maintenance of storm drainage facilities.

An easement or license is hereby dedicated to the City of Lansing, Kansas to enter upon, locate, construct and maintain or authorize the location, construction or maintenance and use of conduits, sewer pipes, manholes, etc., upon, over, and across those areas outlined and designated on this plat as "Sanitary Sewer Easement" or "SS/E".

A perpetual easement of access over, under, across, and upon the areas designed as "Cross Access/Parking Easement" or "CA/PE" and Lots 5, 6, 7, 8 and 9 is hereby reserved to the undersigned proprietor, its heirs, assigns, etc., for ingress and egress of all owners and occupants of lots and parcels depicted on this plat, their guests and invitees. Owners and occupants of adjoining land to the South and West of the plat, as well as other properties within the development shall have the same right of ingress and egress as all owners and occupants of lots and parcels depicted on this plat. No obstacles or obstructions that would prohibit the free flow of traffic shall be allowed to be constructed or maintained within said "Cross Access/Parking Easement".

A perpetual easement of access over, under, across, and upon the areas designed as "Mutual Access Easement" or "A/E" is hereby reserved to the undersigned proprietor, its heirs, assigns, etc., for ingress and egress of all owners and occupants of lots and parcels depicted on this plat, their guests and invitees. Owners and occupants of adjoining land to the North and West of the plat, as well as other properties within the development shall have the same right of ingress and egress as all owners and occupants of lots and parcels depicted on this plat. No obstacles or obstructions that would prohibit the free flow of traffic shall be allowed to be constructed or maintained within said "Mutual Access Easement".

**RESTRICTIONS:**

Tract A is intended to be used as a Drainage Easement (D/E), Stormwater Detention and Open Space, and shall be owned and maintained by Lansing TC, LP and/or their assigns.

The use of all lots in this subdivision shall hereafter be subject to the restrictions which will be executed as a separate instrument of writing and will be recorded in the Office of the Register of Deeds of Leavenworth County, Kansas, said restrictions will thereby be made a part of the dedication of this plat as though fully set forth herein.

**EXECUTION:**

IN TESTIMONY WHEREOF, the undersigned proprietor has caused this instrument to be executed this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Lansing TC, LP

Todd Minnis, Manager

STATE OF \_\_\_\_\_ ) SS  
COUNTY OF \_\_\_\_\_ )

BE IT REMEMBERED, that on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, before me a Notary Public in and for said County and State, came Todd Minnis, Manager of Lansing TC, LP, who is personally known to me to be the same person who executed the foregoing instrument of writing on behalf of said Partnership, and he duly acknowledged the execution of the same to be the act and deed of said Partnership.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the day and year last written above.

My Appointment Expires: \_\_\_\_\_

Notary Public

**APPROVALS:**

APPROVED by the Planning Commission of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Jerry Gies, Chairperson

APPROVED by the City Engineer of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Michael Spickelmier, City Engineer

APPROVED by the Community and Economic Development Director of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Joshua Gentzler, Community & Economic Development Director

APPROVED by the Governing Body of the City of Lansing, Leavenworth County, Kansas, on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Attest: \_\_\_\_\_  
Antony R. McNeill, Mayor Tish Sims, City Clerk

I hereby certify, as the County Treasurer of Leavenworth County, Kansas, that all taxes and special assessments due and payable on the foregoing subdivision have been paid on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Caleb Gordon, Leavenworth County Treasurer

**REGISTER OF DEED CERTIFICATE:**

FILED for Record as Document No. \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_ at \_\_\_\_\_ O' Clock \_\_\_\_\_ M in the Office of the Register of Deed of Leavenworth County, Kansas.

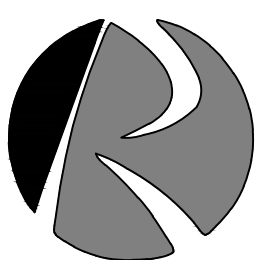
Terrilois G. Mashburn, Register of Deeds

I hereby certify this plat meets the requirements of KSA-58-2005. The face of this plat was reviewed based on Kansas Minimum Standards for Boundary Surveys. No filed verification is implied. This review is for surveying information only.

Daniel Baumchen, PS-1363  
County Surveyor

### LANSING TOWNE CENTRE, 3RD PLAT

Prepared For:  
Lansing TC, LP  
Todd Minnis, Manager  
1601 High Street  
Boulder, CO 80302  
(214) 597-5088



**Renaissance Infrastructure Consulting**

102 Abbie Avenue Kansas City, Kansas 66103 913.317.9500  
www.ric-consult.com

Date of Preparation: April, 2025  
Revised: May, 2025

Certificates of Authorization: Missouri CLS-2011003572; Kansas CLS-234



## Planning Commission Staff Report

May 21, 2025

Site Plan Case 2025-DEV-007  
 Towne Centre Retail Site Plan  
 Mary Street and Centre Drive

### Project Facts

#### Applicant

Todd Minnis  
 Driven Assets, LLC

#### Owner

City of Lansing

#### Address

00000 Centre Drive

#### Property ID

106-24-0-40-08-007.00  
 106-24-0-40-07-001.03

#### Zoning

B-3 Regional Business District &  
 PUD

#### Future Land Use

Commercial

#### Land

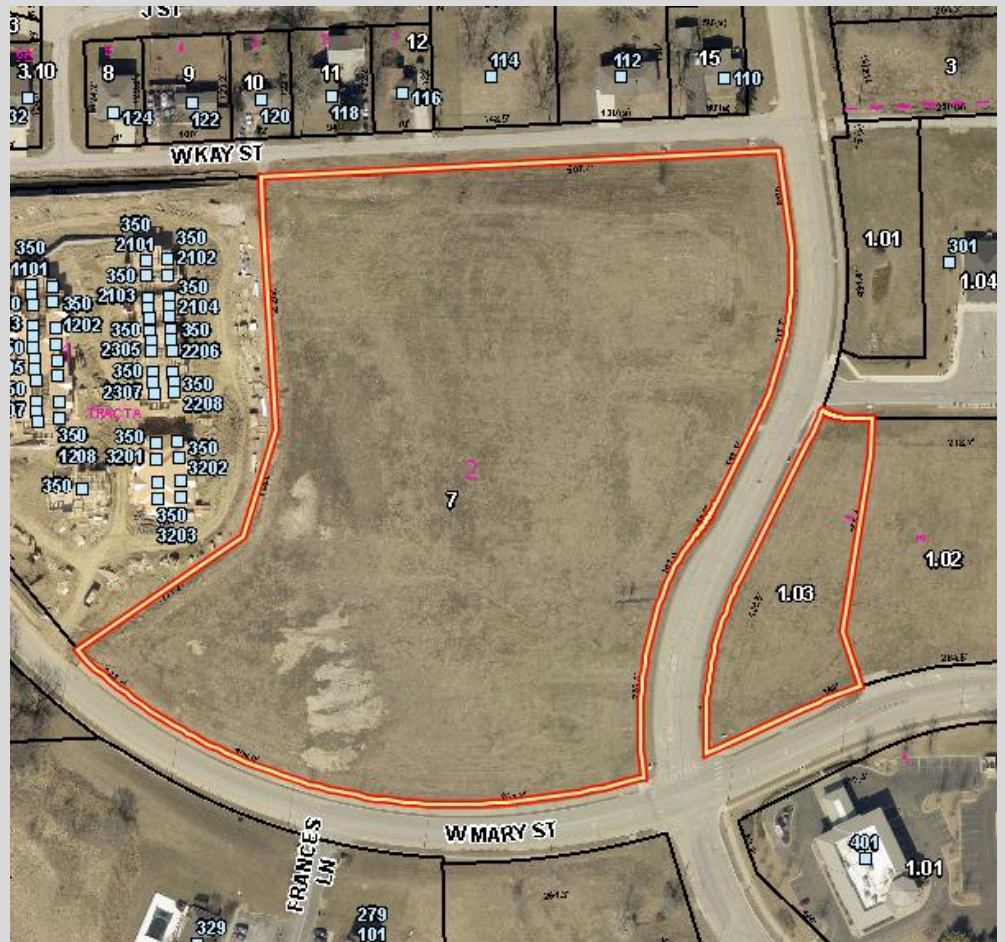
12.124 acres

#### Building

Existing: None  
 Proposed: Retail

#### Requested Approvals

Site Plan



### Project Summary

The Applicant proposes to construct four commercial retail buildings to build out the northern end of the Lansing Towne Centre development. The tenant space will range from 1,000 square feet (sf) to 25,042 sf. Currently the plans include a minimum of 8 tenants with more available with the pad site on Lot 7 (NE corner).

This proposal will fill the Northern portion of Lansing Towne Centre which has sat vacant since 2008. No buildings currently exist on the property. The plan includes the site work, landscaping, parking lot improvements, building construction and other appurtenances to the project. Approval of this Site Plan would authorize staff to issue a building permit for the project upon completion of review for compliance with building codes, subject to any conditions added during the approval process at the Planning Commission meeting. The developer has indicated the coffee usage on Lot 8 will not be built out with that tenant in mind, but will be another retail/office use. Any change to this site plan may necessitate a further site plan review as either an administrative or Planning Commission procedure.



Building elevations are included in the site plan.

The timeline of the project, should this application be approved, is to proceed to construction as quickly as possible after approval of the final plat by the City Council.

## Open Items

### Site Plan Application items

#### Community & Economic Development

The Community & Economic Development Director has reviewed the site plan for conformance with the site plan requirements as outlined in the Unified Development Ordinance (UDO), as well as the Site Plan Application, and found the following items of concern:

The Director reviewed this site plan application for the following:

1. In general, any site plan in compliance with all requirements of this code shall be approved.
  - a. **Article 4 Zoning Districts & Use Standards**
    - i. *The site plan is in compliance with standards found in **Table 4-1 General Development Standards** and uses outlined in **Table 4-2 Table of Uses**.*
  - b. **Article 5.03 Commercial Design Standards**
    - i. The plan does not meet **5.03 C.c.i** which requires primary buildings to be oriented to a public street. This requirement is to create a relationship between the nearest public roadway and the development. However, the main buildings on the site plan are oriented toward Main Street/Kansas Highway 7.
  - c. **Article 6 Site & Landscape Standards**
    - i. **6.02 Open Space Design**
      1. *The Final Plat was approved with no additional open space provided.*
    - ii. **6.03 Landscape Design**
      1. *Not in compliance. See attached comments on the Landscape Plan (Page L01) in packet.*
    - iii. **6.04 Buffers & Screening**
      1. *Not in compliance. Buffer needed on West side of property. See additional comments on the Landscape Plan (Page L01) in packet.*
  - d. **Article 7 Access & Parking Standards**
    - i. **7.02 Access & Circulation**
      1. ***7.02 B.2** requires internal access streets to mimic public street crossing. Currently the internal access street does not meet requirements.*
    - ii. **7.03 Parking**
      1. ***7.03 B Maximum Parking** requires documentation that supports actual parking demand. The developer has included documentation from leases with retailers requiring a minimum of 4 parking spaces per 1000 sf. Regulations currently suggest 2.5 spaces per 1000 sf.*
      2. ***7.03 B Maximum Parking** requires developer to mitigate potential impacts of more parking through four strategies. Developer has currently not met this requirement.*
      3. ***7.03 E Bicycle Parking** – Not met. Developer needs to provide bicycle parking counts.*
2. In making a determination of compliance, or for site plans accompanying any discretionary review or administrative relief, the review body shall consider whether:
  - The site is capable of accommodating the buildings, proposed use, access and other site design elements required by the code and will not negatively impact the function and design of rights-of-way or adjacent property.

- *The site appears to be capable of accommodating the proposed development based on the Unified Development Code. An official review of building feasibility regarding drainage and grading plans will be conducted by the Public Works Department during the review of construction documents.*
- The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.
  - *Proposed site arrangement and landscape design is adequate for the site and context.*
- The architecture and building design use quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.
  - *The proposed architectural style and building materials appear to be appropriate for the site.*
- The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features, or site design elements.
  - *The proposed design appears to be appropriate for the location, close to the intersection of Main Street and Mary Street..*
- Whether any additional site-specific conditions are necessary to meet the intent and design objectives of any of the applicable development standards.
  - *Developer needs to address comments from City regarding fire hydrants, parking, grading permits, etc, as seen on review documents in the plans.*
- 3. The application meets the criteria for all other reviews needed to build the project as proposed.
  - *Official review is underway by other appropriate City Departments, including Public Works and Wastewater. Fulfillment of all criteria as outlined in the UDO and/or granted through this application will be required before a building permit can be issued for this project.*
- 4. The recommendations of professional staff.
  - *Staff recommends conditional approval of this site development plan.*

#### Public Works

The Public Works Director / City Engineer has reviewed the site plan for conformance with City requirements and found items of discussion as shown on the attached review copy of Site Plan.

#### Wastewater Department

The Wastewater Director has reviewed the site plan for conformance with City requirements and found no items of concern.

#### Fire Department

The Fire Chief has reviewed the site plan for conformance with City requirements and found items of discussion as shown on the attached review copy of Site Plan.

### Acknowledgments

The following City of Lansing staff members reviewed this project and provided information for this report:

- Michael W. Spickelmier, PE, Public Works Director
- Anthony R. Zell, JR, MBA, Wastewater Director
- Joe Gates, Fire Chief, Fire Department
- Joshua Gentzler, Director, Community & Economic Development

### Notice of City Codes

The Applicant is subject to all applicable City codes within the Municipal Code – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable Federal, State, and local laws.

## Recommendation

Staff recommends conditional approval of Case 2025-DEV-006, Site Plan for Lansing Towne Centre Retail dependent on submittal of revised site plans that address Staff comments.

### *Proposed conditions:*

- 1) The Site Plan shall be revised to include an additional fire hydrant in front of main buildings.
- 2) The Site Plan shall be revised to meet the requirements of **UDO 7.02 B Internal Access Streets**.
- 3) The Site Plan shall be revised to meet the requirements of **UDO 7.03 B Maximum Parking**.
- 4) The Site Plan shall be revised to meet the requirements of **UDO 7.03 E Bicycle parking**.
- 5) The Site Plan shall be revised to reflect sewer abandonment listed on City Review (page C07).
- 6) Developer shall be responsible for obtaining NOI from KDHE and prior to any construction beginning on site.
- 7) The Site Plan shall be revised to meet the requirements of **UDO Article 6 Site & Landscape Standards**.

## Action Options

“I move to \_\_\_\_\_.”

1. Approve Case No. 2025-DEV-006; or
2. Approve Case No. 2025-DEV-006 with Conditions as outlined in the Staff Report; or
3. Approve Case No. 2025-DEV-006 with Conditions as outlined in the Staff Report and with amendments; or
4. Deny Case No. 2025-DEV-006 for specified reasons; or
5. Table the case to another date, time and place.

## Attachments

1. Application
2. 2025.05.16 Site Plan with City Review Comments
  - a. Development Plan
  - b. Landscape Plan
3. 2025.05.15 Submitted Site Plan



# Lansing Towne Centre

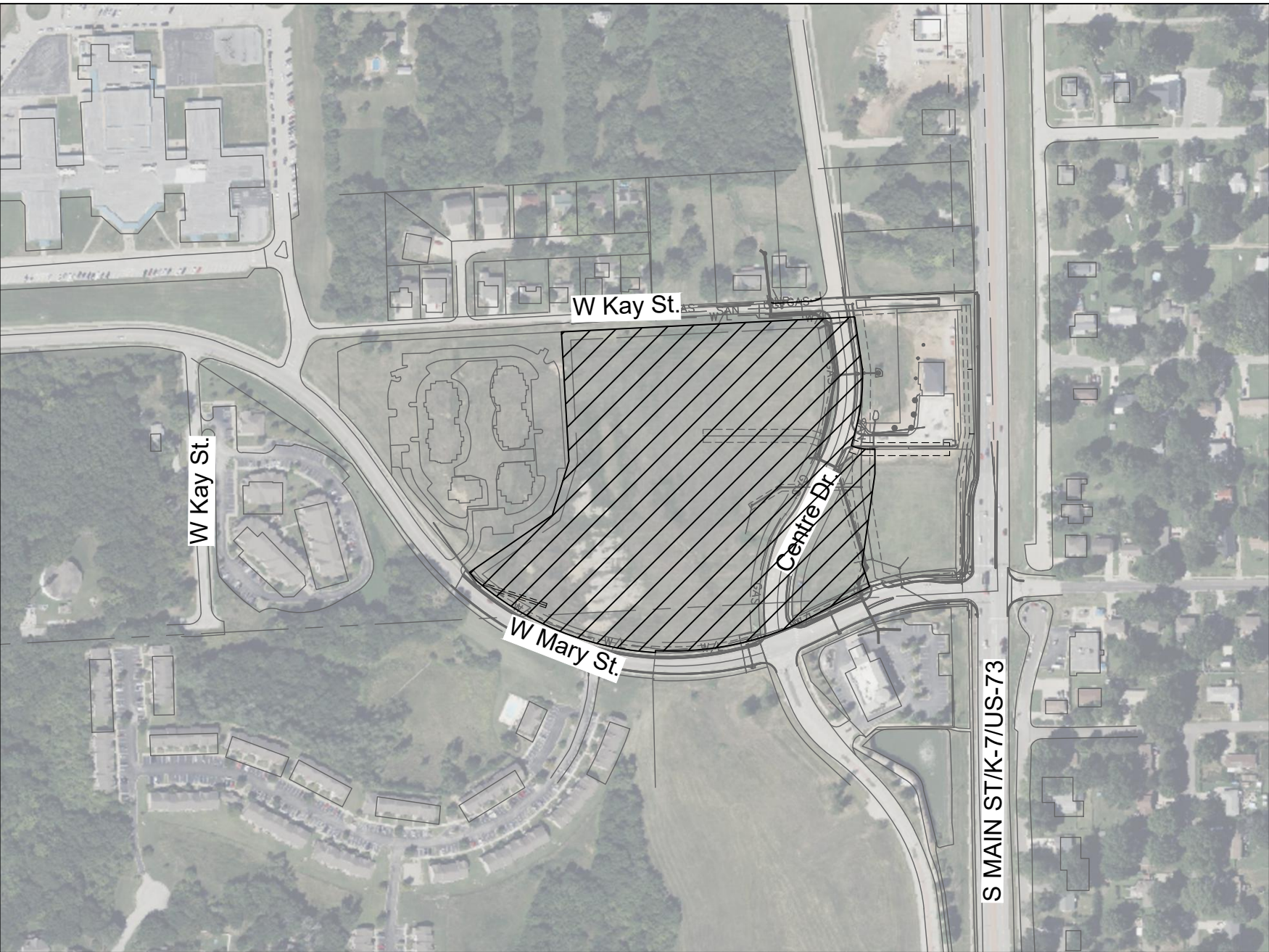
A Development In Lansing, Leavenworth County, KS

## Site Development Plans

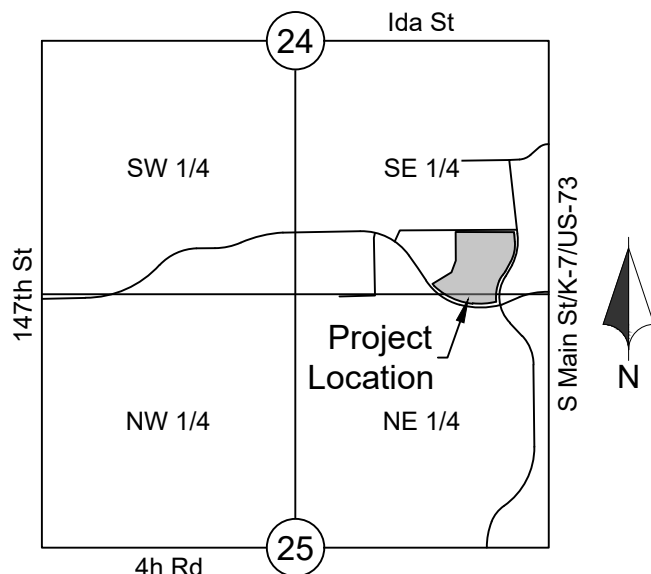
TOTAL AREA: 9.80 ACRES

### LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
- - - - -	Existing Right-of-Way Line	=====	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
- - - - -	Existing Easement Line	- - - - -	Proposed Easement
---	Existing Curb & Gutter	=====	Proposed Curb & Gutter
---	Existing Sidewalk	=====	Proposed Sidewalk
=====	Existing Storm Sewer	=====	Proposed Storm Sewer
□	Existing Storm Structure	□	Proposed Storm Structure
W/L	Existing Waterline	A	Proposed Fire Hydrant
GAS	Existing Gas Main	W/L	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
⊙	Existing Sanitary Manhole	⊙	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
		=====	Future Curb & Gutter



VICINITY MAP  
(NTS)



LOCATION MAP  
Scale 1" = 2000'  
SEC 24-T9S-R22E  
SEC 25-T9S-R22E

### UTILITY CONTACTS

City of Lansing  
Lansing Utilities  
Sanitary Sewer  
Lan-Del Water District  
Kansas Gas  
Everygy  
Clearwave Fiber  
Spectrum  
AT&T

(913) 727-3233  
(913) 727-3233  
(913) 727-2206  
(913) 727-3350  
(800) 794-4780  
(888) 471-5275  
(785) 594-5414  
(855) 366-7132  
(800) 288-2020

Reviewed by Public Works  
05/15/2025 8:23:52 AM  
By mspickelmier  
See Review Comments

Reviewed By WW Dept -  
See Comments  
05/15/2025 12:53:08 PM  
By azell

Reviewed by Community &  
Economic Development  
05/16/2025 3:06:13 PM by jgentzler  
See Review Comments

Engineer:  
Renaissance Infrastructure Consulting  
5015 NW Canal St, Suite100  
Riverside, MO 64150  
816.800.0950

Consultant/Applicant:  
Klover Architects  
8813 Penrose Lane, Suite 300  
Lenexa, KS 66219

Prepared For:  
Driven Assets LLC  
1601 High Street,  
Boulder, CO 80302  
214-597-5088



THIS DRAWING has been prepared by the Architect, or prepared under his direct supervision as an on instrument of service and is intended for use only on this project. All Drawings, Specifications, Plans and designs, including the overall layout, form, arrangement, and composition of spaces and elements portrayed, constitute the original, unpublished Work of the Architect. Any reproduction, use, or disclosure of the information contained herein without the written consent of the Architect is strictly prohibited.

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THE ARCHITECT DISCLAIMS responsibility for the existing building structure, site conditions, existing construction elements, or any documents, drawings or other instruments used for any part of this Project which do not bear the Architect's seal. The Architect's services are undertaken only in the interest of the Project Owner. No adaptation is assumed by the Architect for the benefit of any other entity.

RELATED DOCUMENTS: This Drawing is a single component of an integrated set of Construction Documents. General and Supplementary Conditions of the Contract, General Requirements, Specifications and other Drawings may affect the Work described. Failure to review and integrate the entire intent of the whole of the Construction Documents does not release the Contractor from providing a complete Project.

COMPLY With all laws, codes, ordinances and regulations with authorities having jurisdiction and with requirements of the Landlord, if applicable. Do not start Work until all permits and required approvals are obtained.

VERIFY ACTUAL CONDITIONS and dimensions prior to construction. Commencement of work constitutes verification and acceptance of all existing conditions. Application of a material or equipment item to Work installed by others constitutes acceptance of that Work, and assumption of responsibility for satisfactory installation.

DIMENSIONS SHOWN are to finish face of a material unless otherwise indicated. CALCULATE & MEASURE dimensions - DO NOT SCALE drawings unless otherwise directed.

project title

LANSING TOWNE CENTRE  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

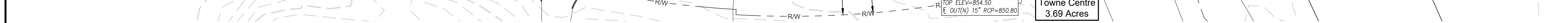
project number  
25-0106  
drawing issuance  
FDP SUBMITTAL 02.12.2025  
drawing revisions  
No. Description: Date:

professional seal

drawing title  
Title Sheet  
drawing number

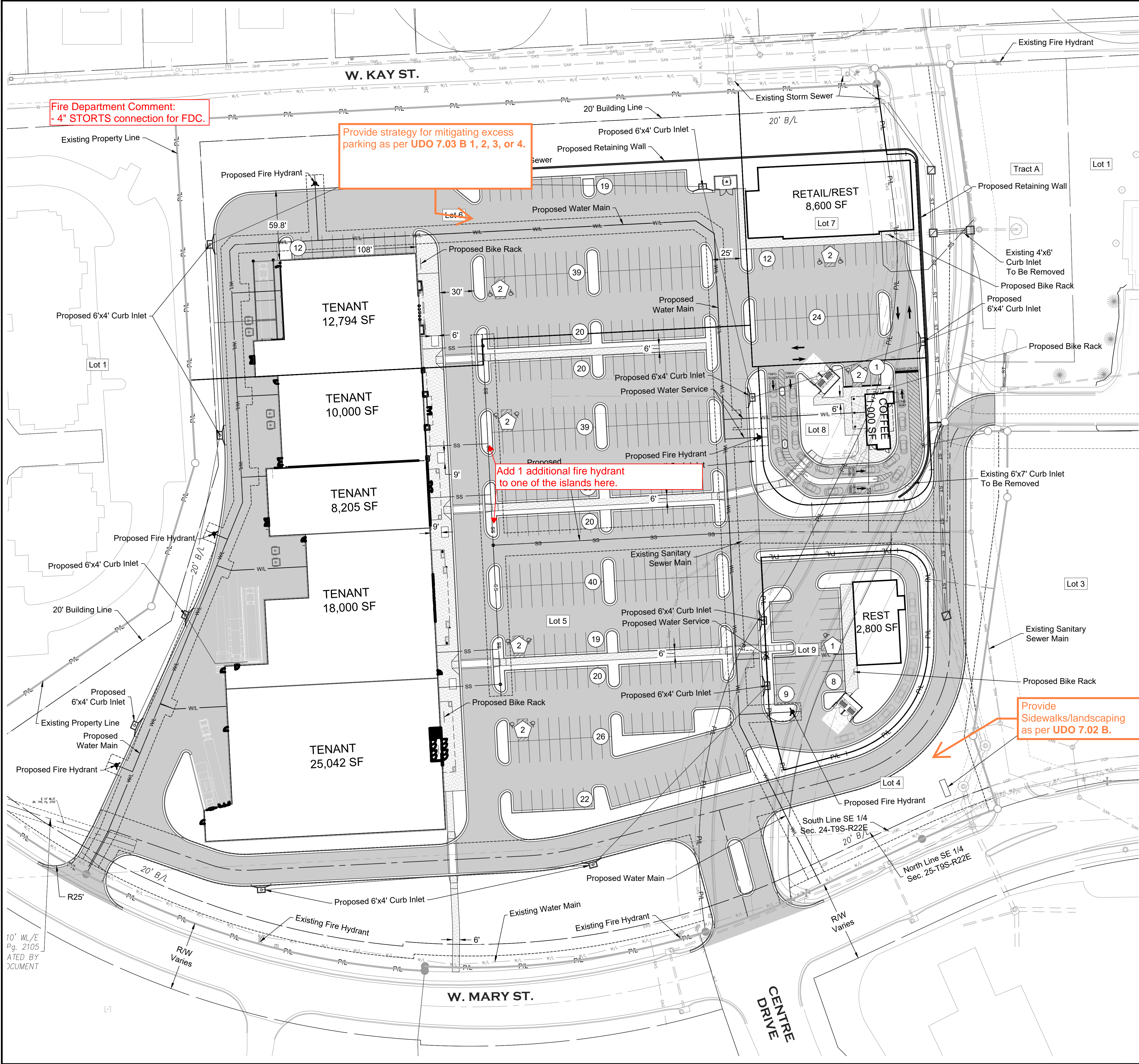
C01





C02





Parking Calculations						
Use	Required Ratio	Square Footage	# of Seats	Required	Provided Ratio	Provided
Main Retail	1 per 400 S.F.	74,041	-	185	1 per 235 S.F.	308 + 8 ADA
Retail Pad	1 per 400 S.F.	8,600	-	22	1 per 400 S.F.	20 + 2 ADA
Coffee Pad	1 per 4 seats	1,000	38	10	1 per 2 seats	17 + 2 ADA
Restaurant Pad	1 per 4 seats	2,800	72	18	1 per 4 seats	17 + 1 ADA

Site Data	
Total Lot Area	9.86 Ac. ±
Total Building Area	81,141 S.F.
Zoning	B-3

UDO 7.03 E Bicycle Parking  
- Provide number of parking spaces as per requirements of Table 7-7.

Development Notes:

1. Sidewalks shall be concrete.
2. Crosswalks within the parking lot shall be painted with a ladder type pattern.
3. Private Drives shown hereon will provide shared access for each lot within the development.
4. Pavement markings shall be painted in accordance with the ADA parking space detail.

Asphaltic Pavement

	2" Asphaltic Surface
	5.5" Asphaltic Base
	6" Compacted Aggregate Base (KDOT AB-3 or Equivalent)
	12" Compacted Subgrade (Compacted to 95% std. Proctor)

Concrete Sidewalk Pavement

	4" PC Concrete Pavement
	4" Compacted Aggregate Base (Crushed Stone Base ¾" minus)
	12" Compacted Subgrade (Compacted to 95% std. Proctor)

Heavy Duty Concrete Pavement

	7" PC Concrete Pavement
	4" Compacted Aggregate Base (Crushed Stone Base ¾" minus)
	12" Compacted Subgrade (Compacted to 95% std. Proctor)

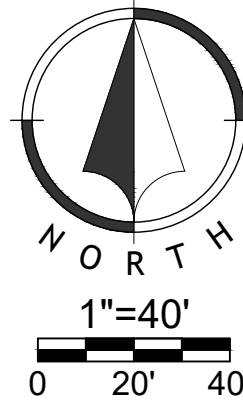
Pavement thickness and subgrade shall conform to the recommendations of the Geotechnical Engineering Report.

Subgrade Treatment shall be approved by the Geotechnical Engineer.

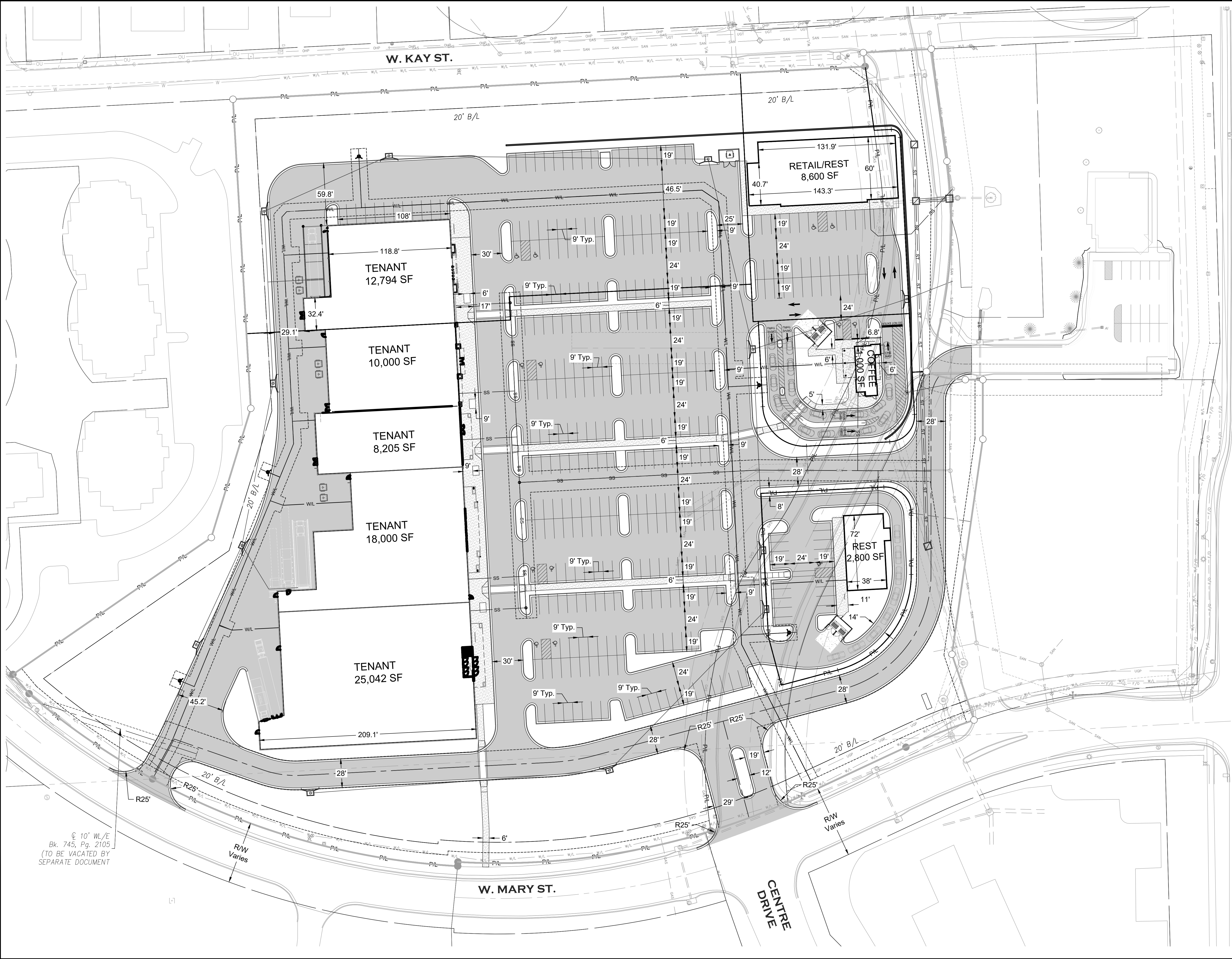
Note: Asphaltic pavement to be installed in accordance with APWA section 2205.

LEGEND

	Asphalt Pavement
	Concrete Pavement
	Concrete Sidewalk
X	ADA Parking Stall
X	Standard Parking Stall







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project title

**LANSING TOWNE CENTRE**  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

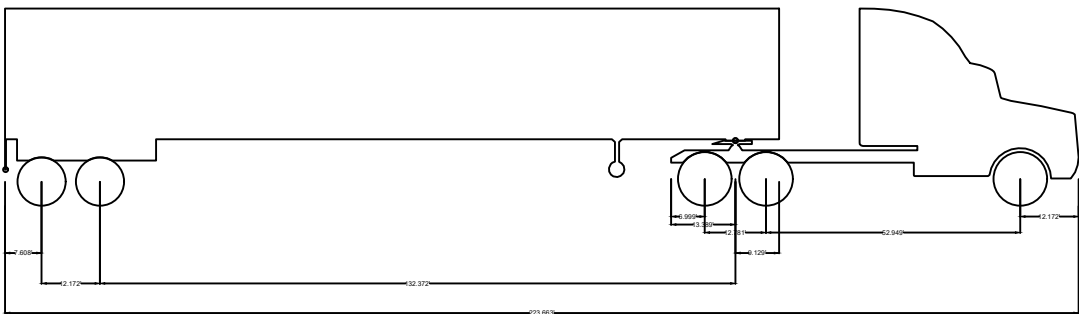
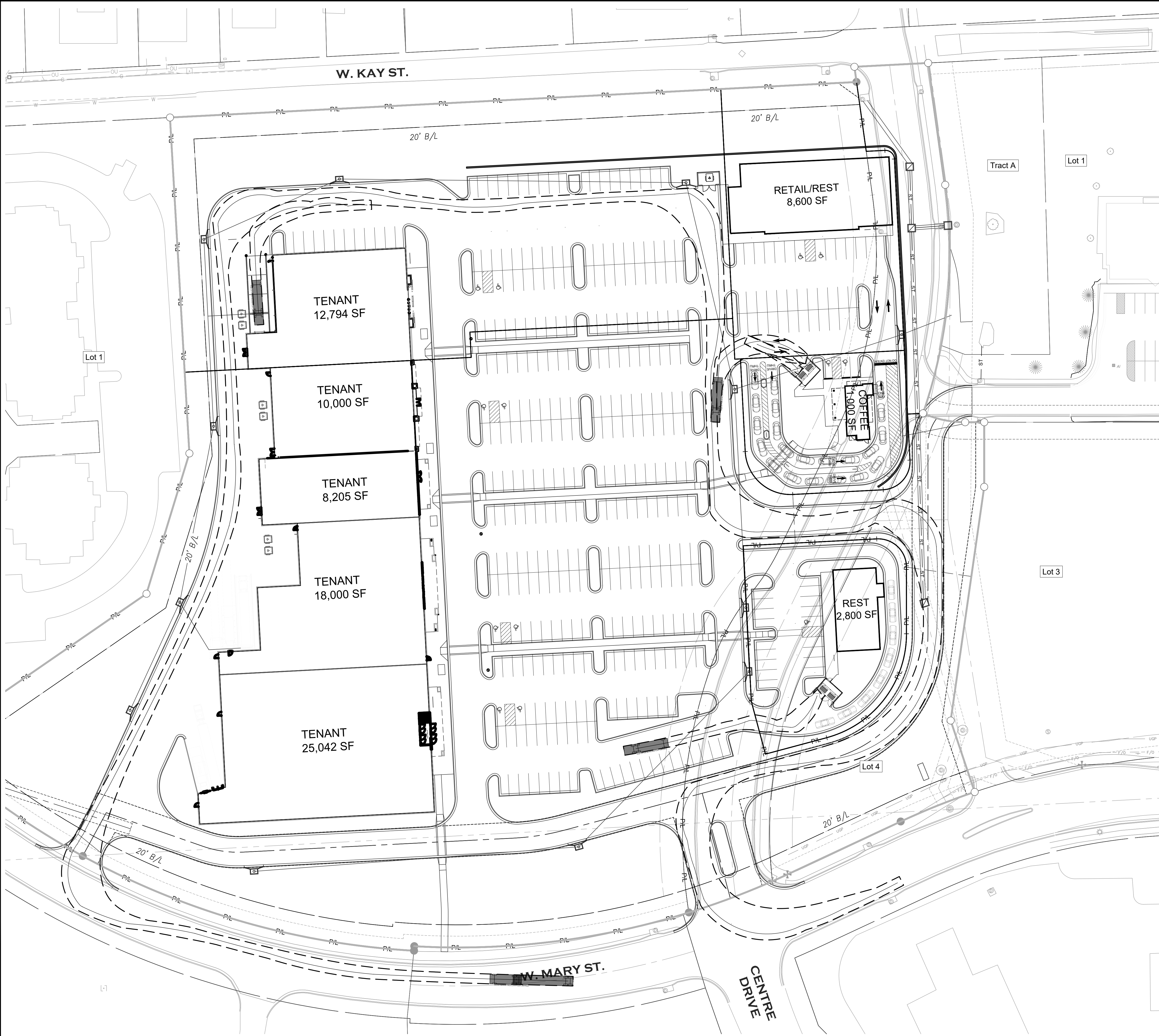
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drawing issuance	FDP SUBMITTAL 02.12.2025
drawing revisions	No. Description: Date:

professional seal

drawing title  
Dimension Plan  
drawing number  
C04

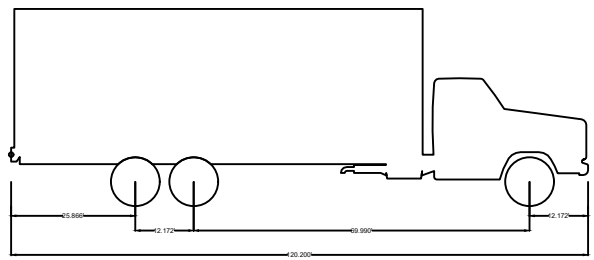






Name: Trailer 1 (L53)  
Width [ft]: 8.500  
Height [ft]: 13.500  
Front track [ft]: 8.500  
Back track [ft]: 8.500

Vehicle library: AASHTO2011\_IMPERIAL  
Name: Interstate Semitrailer (WB-67)  
Width [ft]: 8.500  
Height [ft]: 13.500  
Front track [ft]: 8.500  
Back track [ft]: 8.500  
Total vehicle length [ft]: 73.500  
Average steering angle: 28.683°  
Turn time (sec.): 6.0  
Turning radius (curb to curb) [ft]: 44.403  
Turning radius (wall to wall) [ft]: 46.300



Vehicle library: AASHTO2011\_IMPERIAL  
Name: Single-Unit Truck (SU-40)  
Width [ft]: 8.000  
Height [ft]: 13.500  
Front track [ft]: 8.000  
Back track [ft]: 8.000  
Total vehicle length [ft]: 39.500  
Average steering angle: 31.926°  
Turn time (sec.): 6.0  
Turning radius (curb to curb) [ft]: 50.714  
Turning radius (wall to wall) [ft]: 52.800

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project title

LANSING TOWNE CENTRE  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number		
25-0106		
drawing issuance		
FDP SUBMITTAL		02.12.2025
drawing revisions		
No.	Description:	Date:

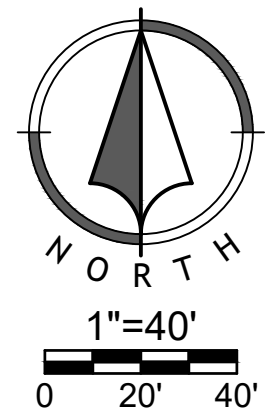
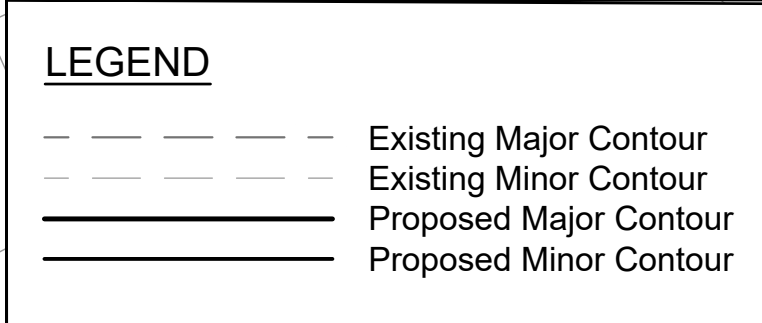
professional seal

drawing title  
Truck Maneuver Plan  
drawing number

C05









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WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number  
25-0106

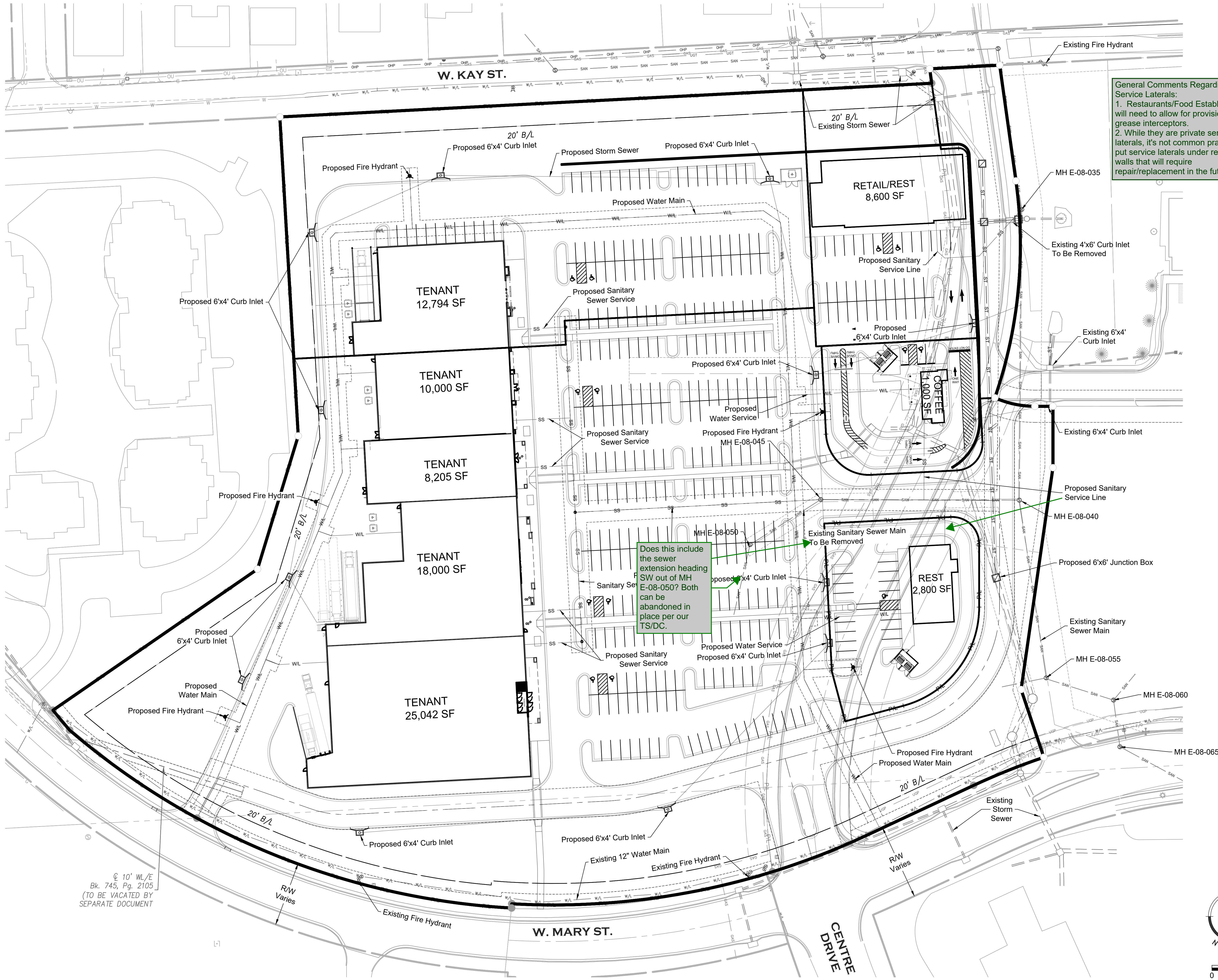
drawing issuance  
FDP SUBMITTAL 02.12.2025

drawing revisions  
No. Description: Date:

professional seal

drawing title  
Utility Plan

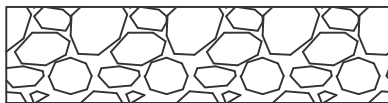
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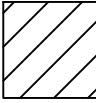
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SEPARATE DOCUMENT



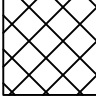
EROSION CONTROL LEGEND



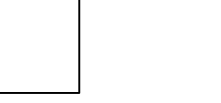
Stabilized Construction Entrance



Staging Area



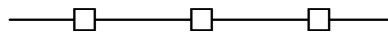
Stockpile Area



Concrete Washout



Limits of Disturbance



Perimeter Silt Fence



Inlet Protection

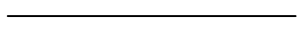
Grading Legend



Existing Major Contour



Existing Minor Contour



Proposed Major Contour



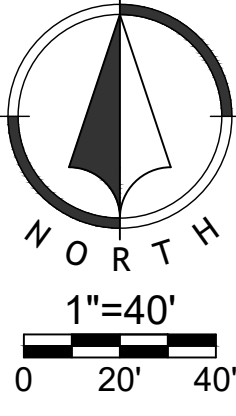
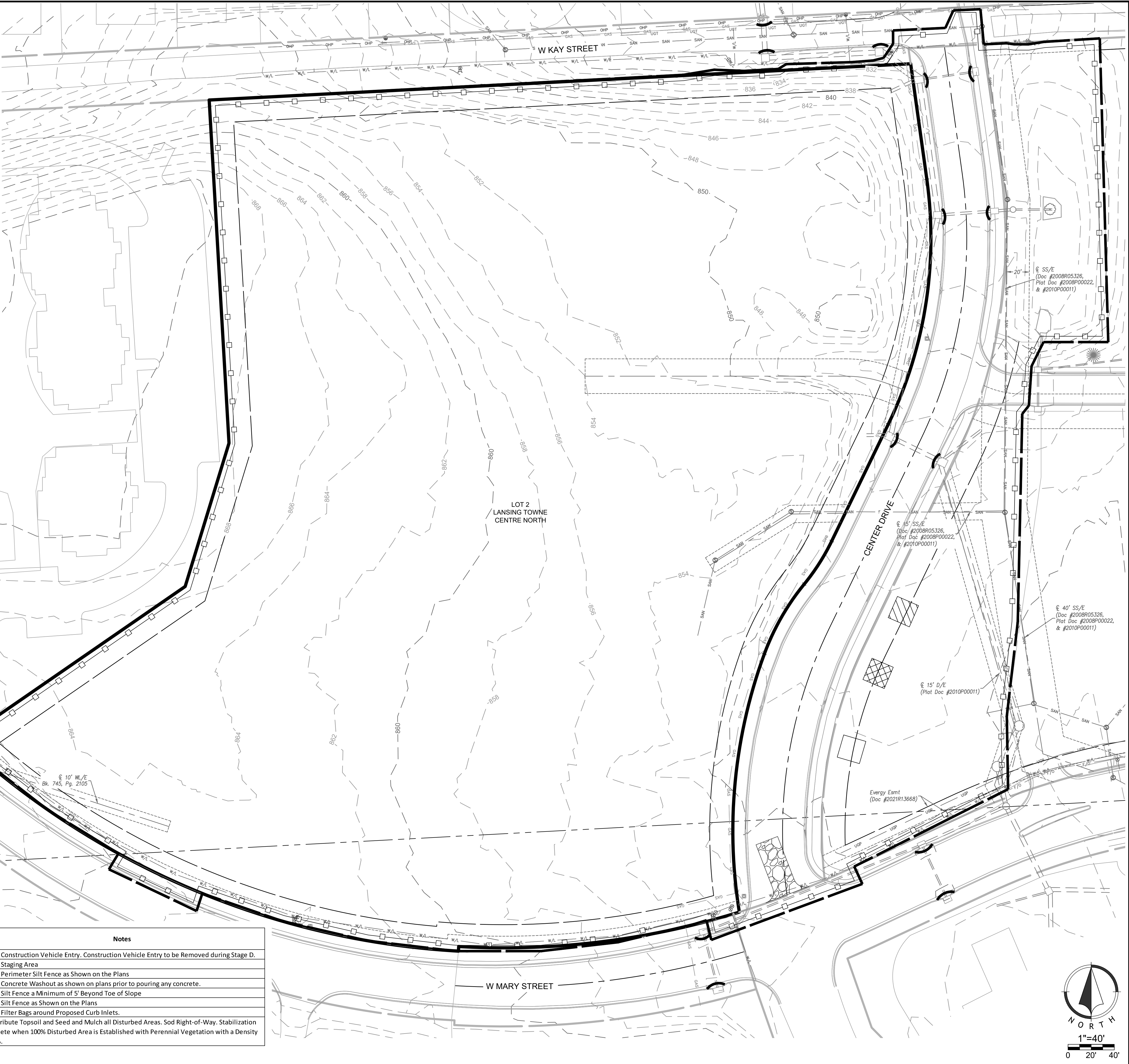
Proposed Minor Contour

NOTE:

City ROW restoration ordinance requires placement of SOD within ROW

Add Note: Contractor responsible for obtaining NOI from KDHE and operating SWPPP

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
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Phase II	B-Mass Grading	5	Stockpile Topsoil	C	Install Silt Fence a Minimum of 5' Beyond Toe of Slope
	C-Site Construction	6	Silt Fence	D	Install Silt Fence as Shown on the Plans
		7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets.
Phase III	D-Final Stabilization	8	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Areas. Sod Right-of-Way. Stabilization Complete when 100% Disturbed Area is Established with Perennial Vegetation with a Density of 70%.



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project title

LANSING TOWNE CENTRE

WEST MARY ST & CENTRE DR

LANSING, LEAVENWORTH COUNTY, KS 66043

project number

25-0106

drawing issuance

FDP SUBMITTAL 02.12.2025

drawing revisions

No.	Description:	Date:
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professional seal

drawing title

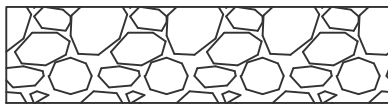
Erosion Control Plan I

drawing number

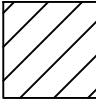
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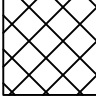
EROSION CONTROL LEGEND



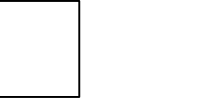
Stabilized Construction Entrance



Staging Area



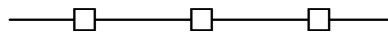
Stockpile Area



Concrete Washout



Limits of Disturbance



Perimeter Silt Fence



Inlet Protection

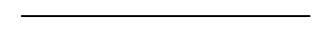
Grading Legend



Existing Major Contour



Existing Minor Contour



Proposed Major Contour



Proposed Minor Contour

NOTE:

City ROW restoration ordinance requires placement of SOD within ROW

Add Note: Contractor responsible for obtaining NOI from KDHE and operating SWPPP

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25-0106

drawing issuance

FDP SUBMITTAL 02.12.2025

drawing revisions

No. Description: Date:

professional seal

drawing title

Erosion Control Plan II

drawing number

C09



EROSION CONTROL LEGEND

- Limits of Disturbance  
—□—□—□— Perimeter Silt Fence

Grading Legend

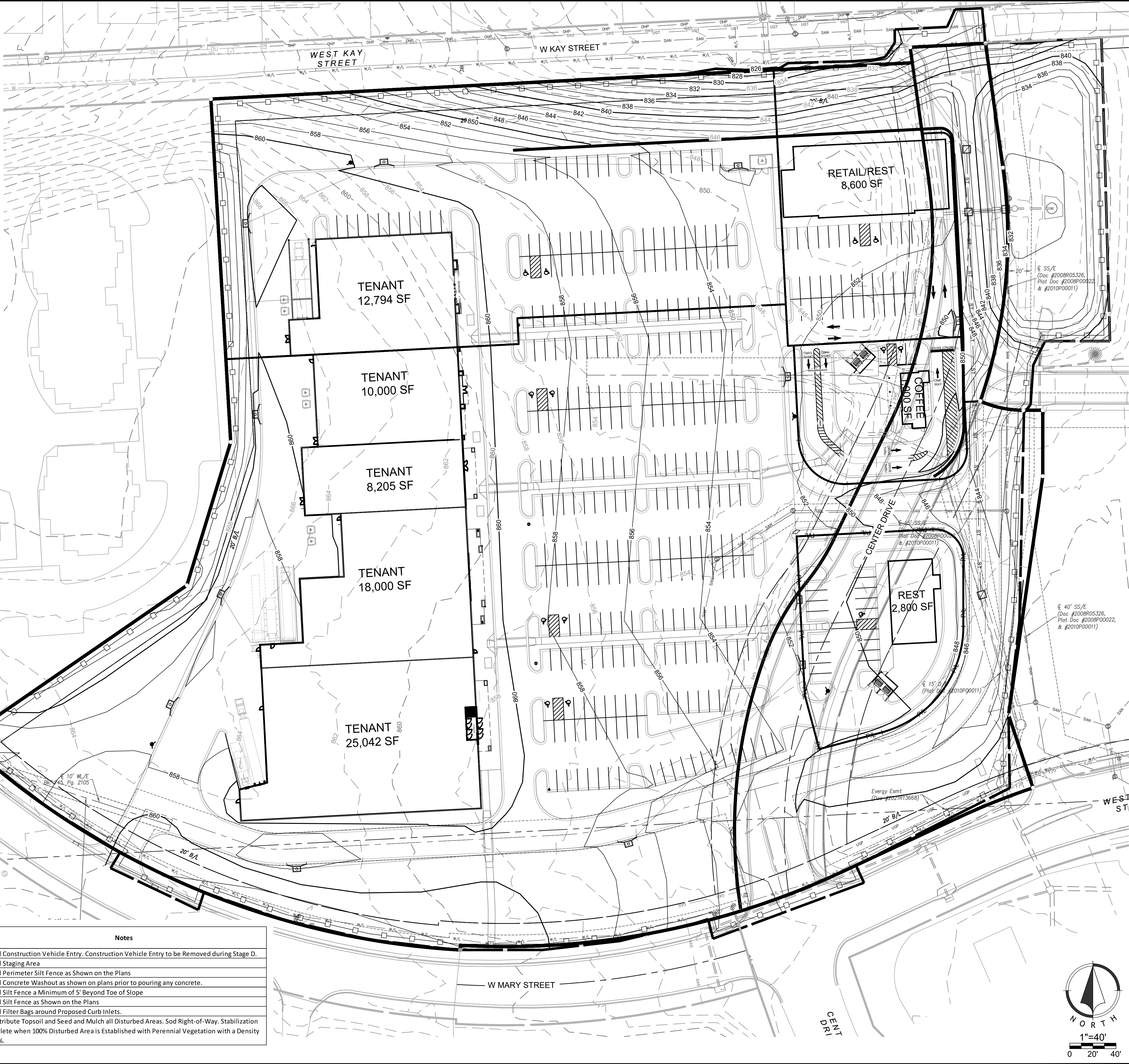
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--- Existing Minor Contour  
— Proposed Major Contour  
— Proposed Minor Contour

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LANSING, LEAVENWORTH COUNTY, KS 66043

project number  
25-0106

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No. Description: Date:

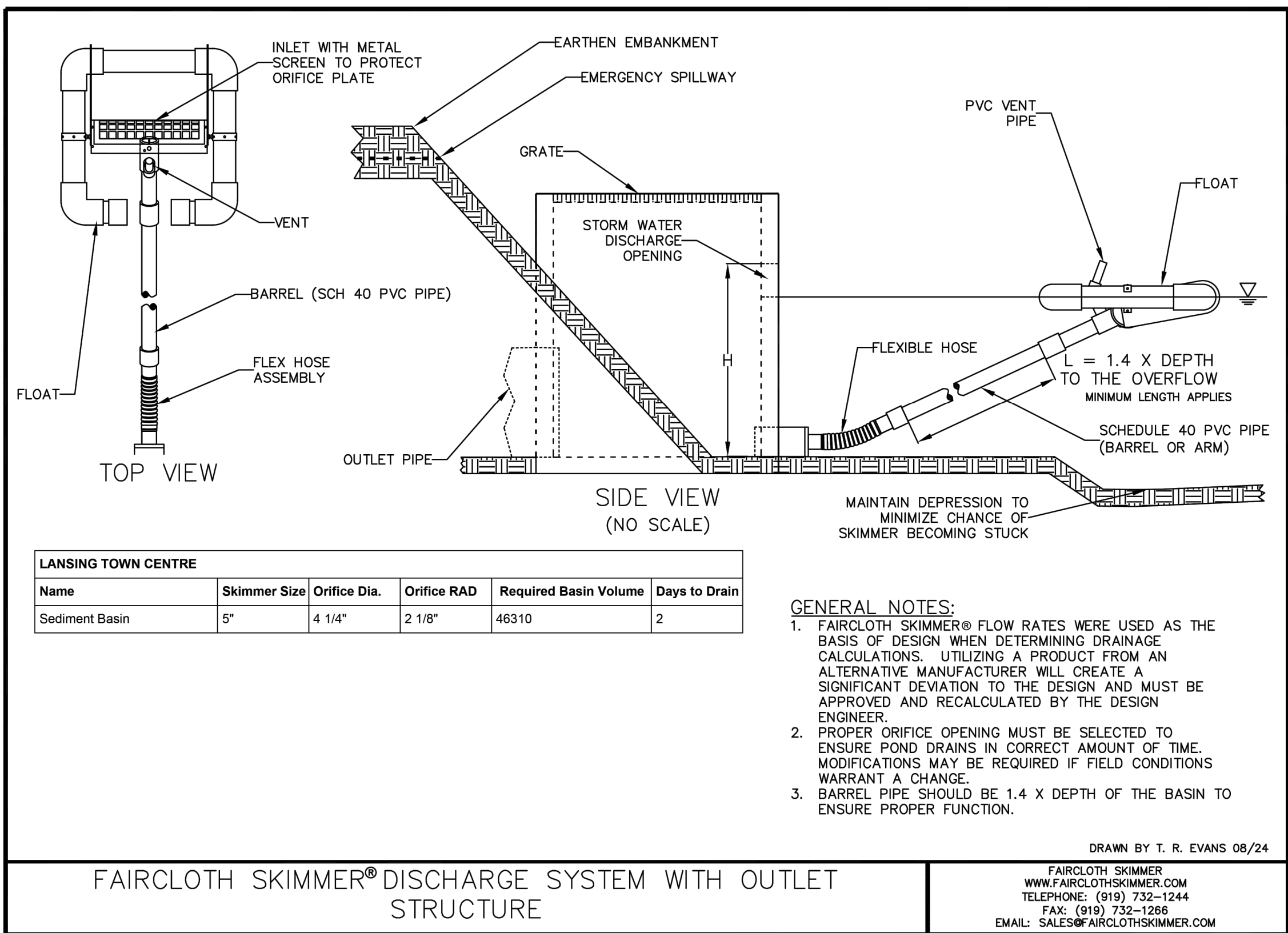
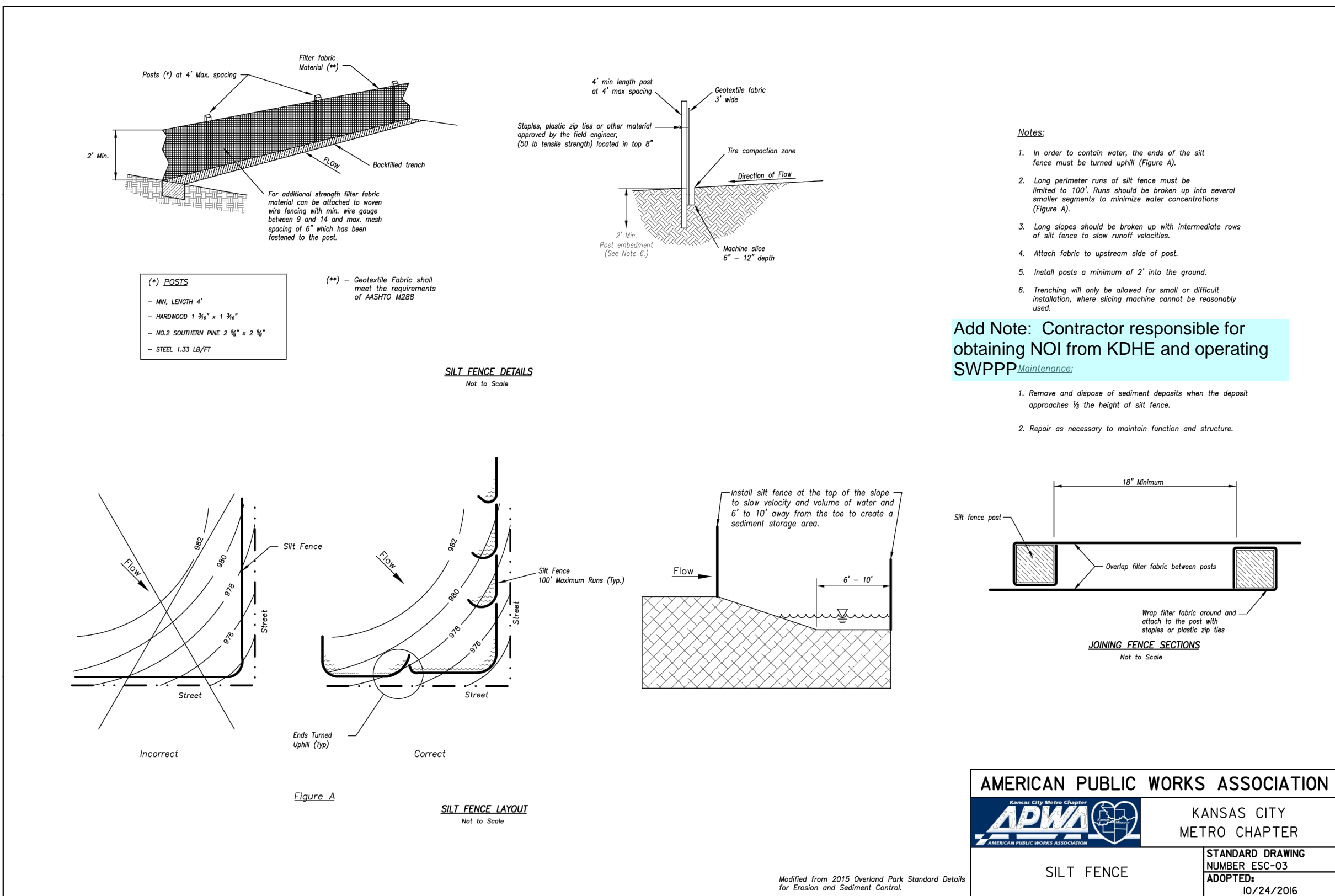
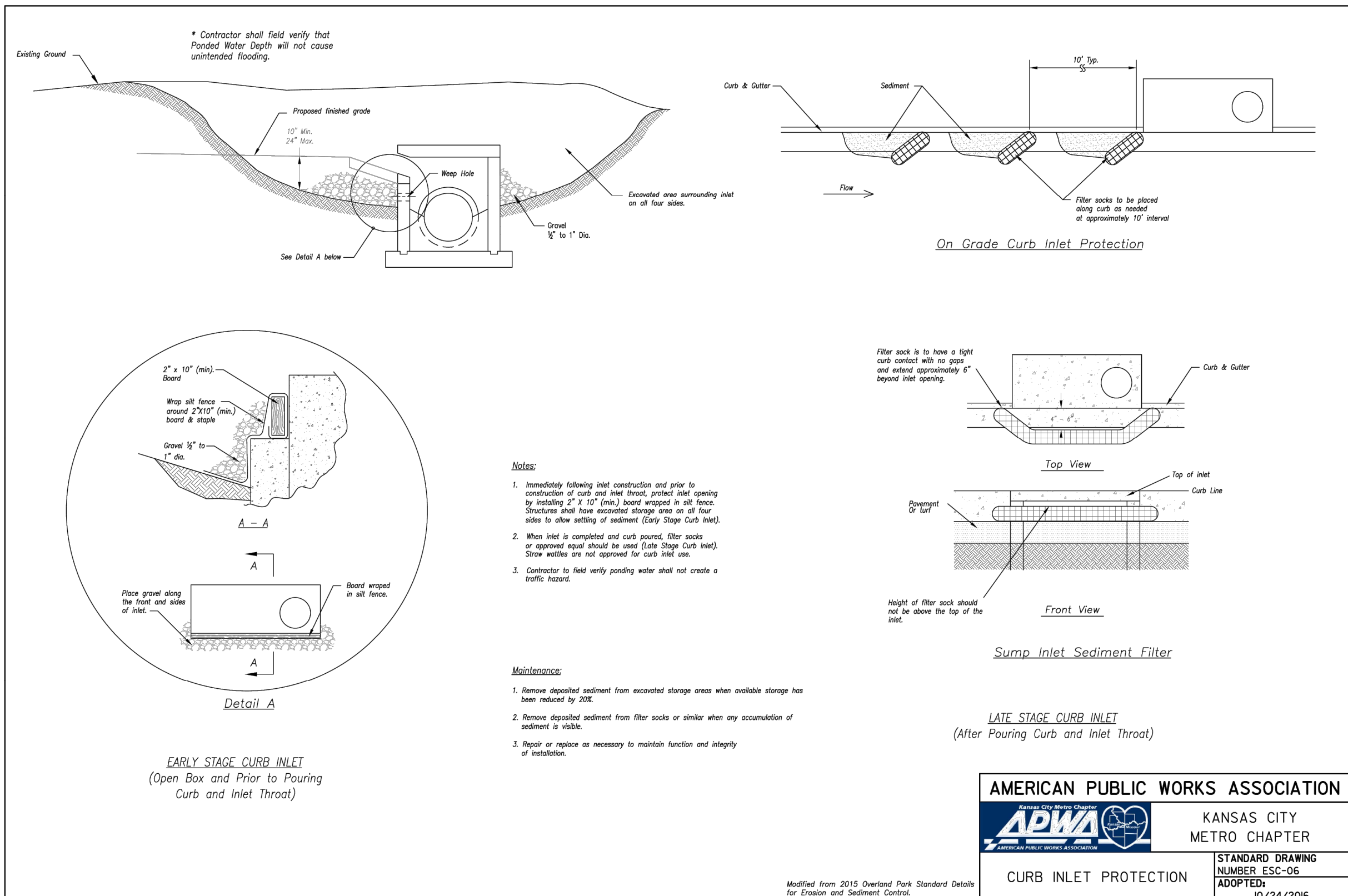
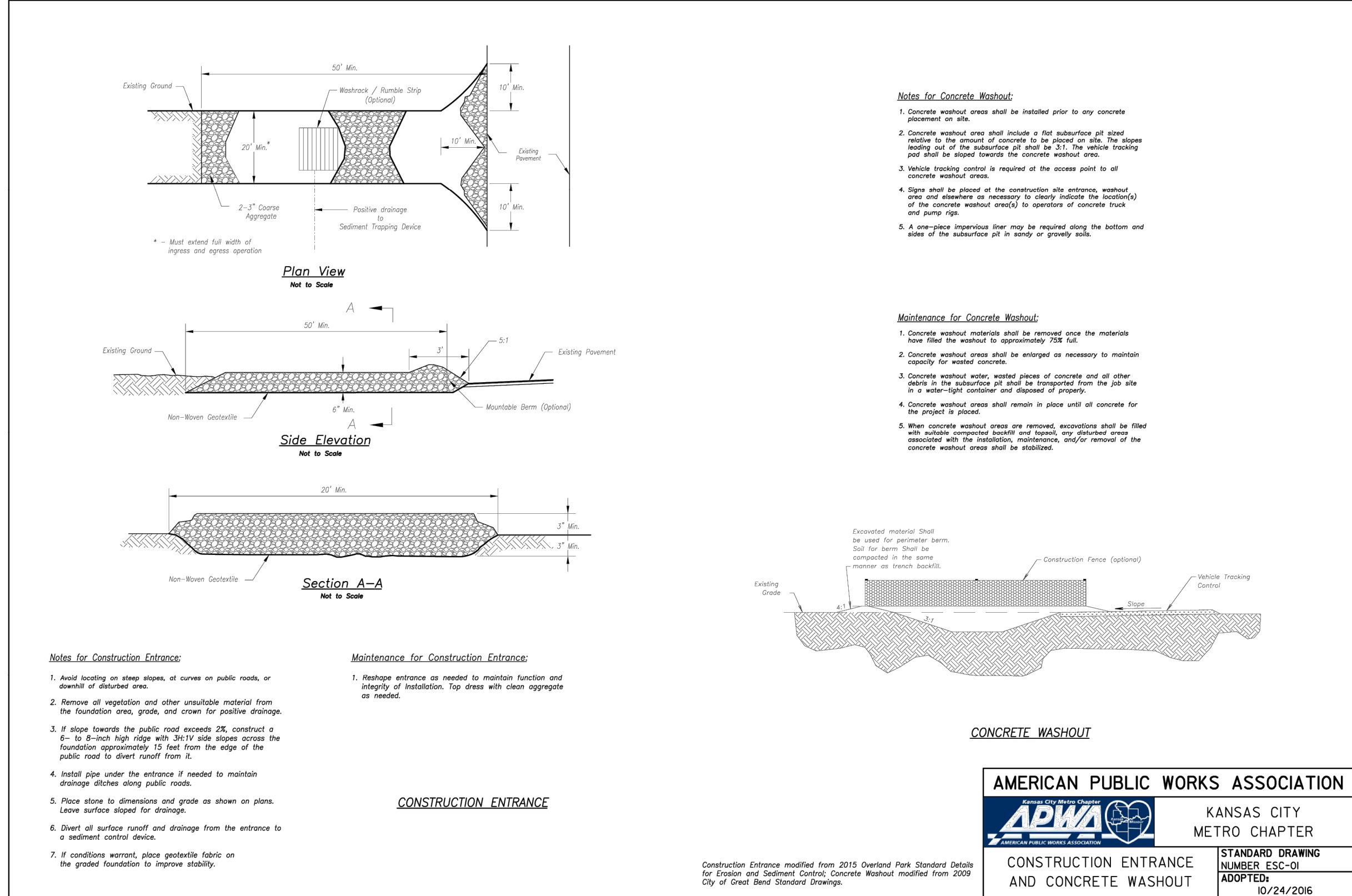
professional seal

drawing title  
Erosion Control Plan III

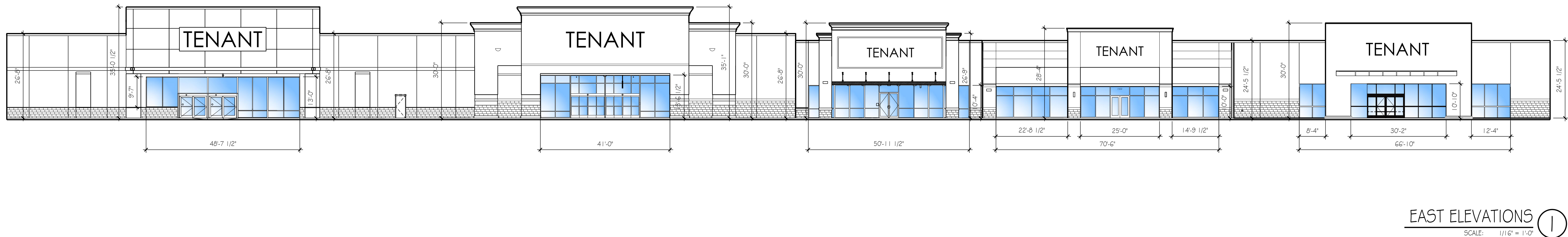
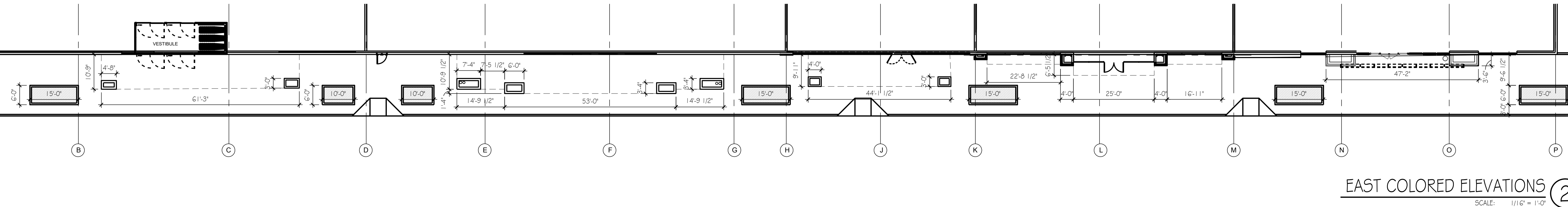
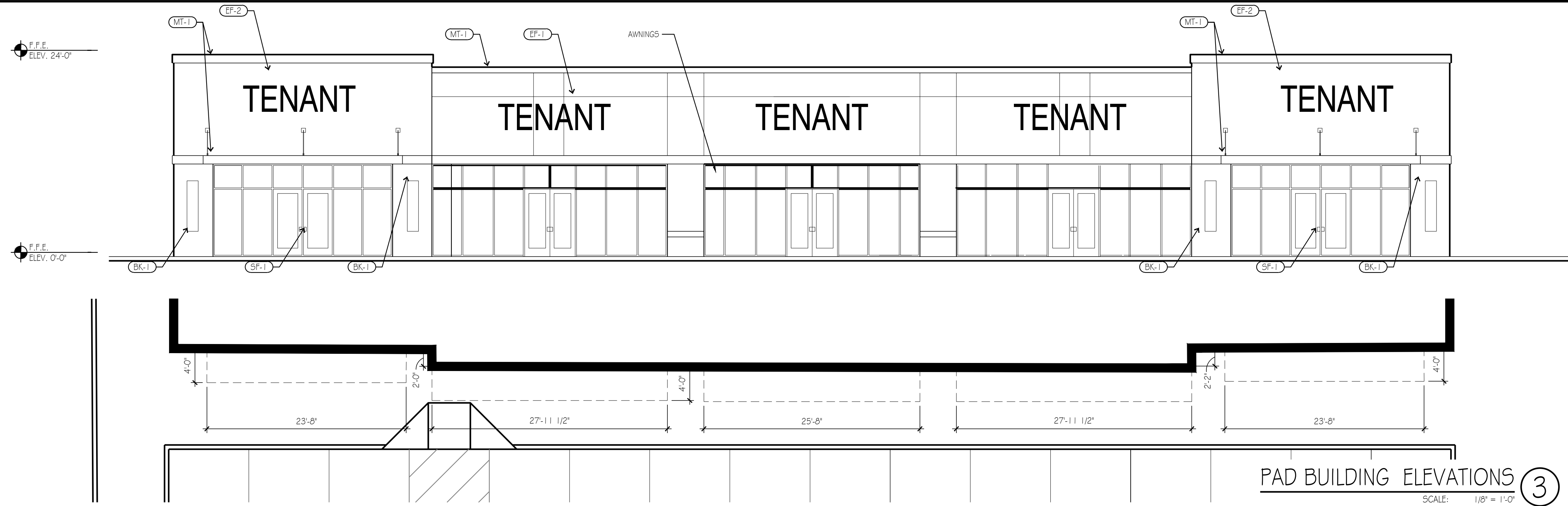
drawing number

C10









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project title

DRIVEN ASSETS, LLC  
LANSING TOWNE CENTRE  
301 CENTRE DR.  
LANSING, KS 66043

project number  
23035.001  
drawing issuance  
PDP SUBMITTAL 04.11.25  
drawing revisions  
No. Description: Date:

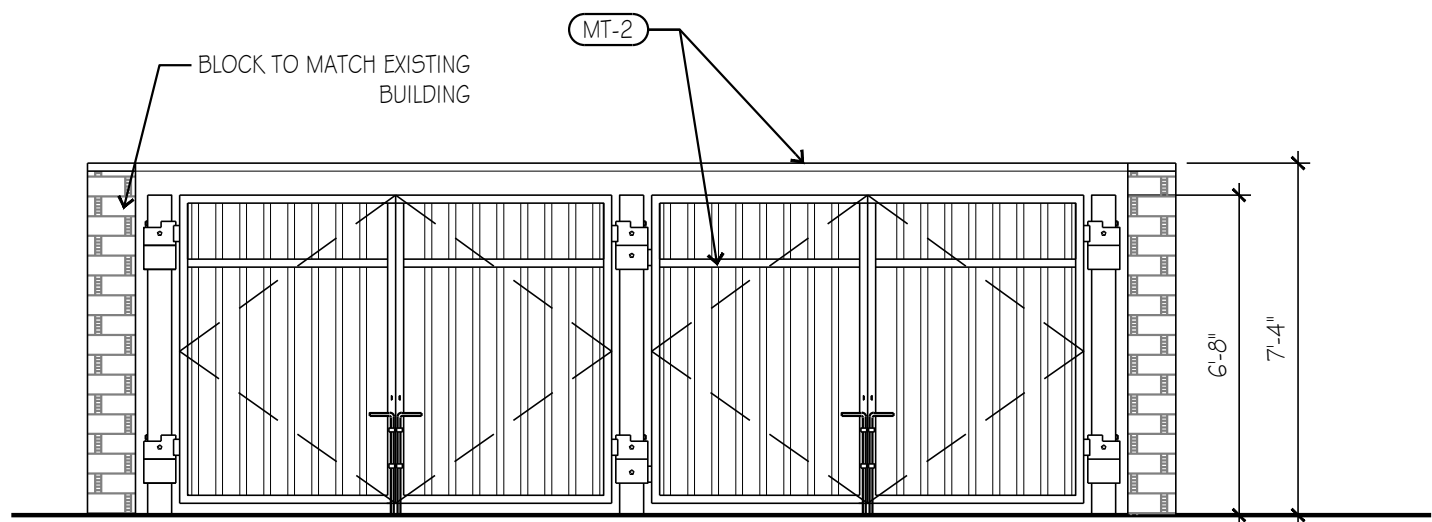
professional seal

drawing title  
EXTERIOR ELEVATIONS

drawing number  
**A200**

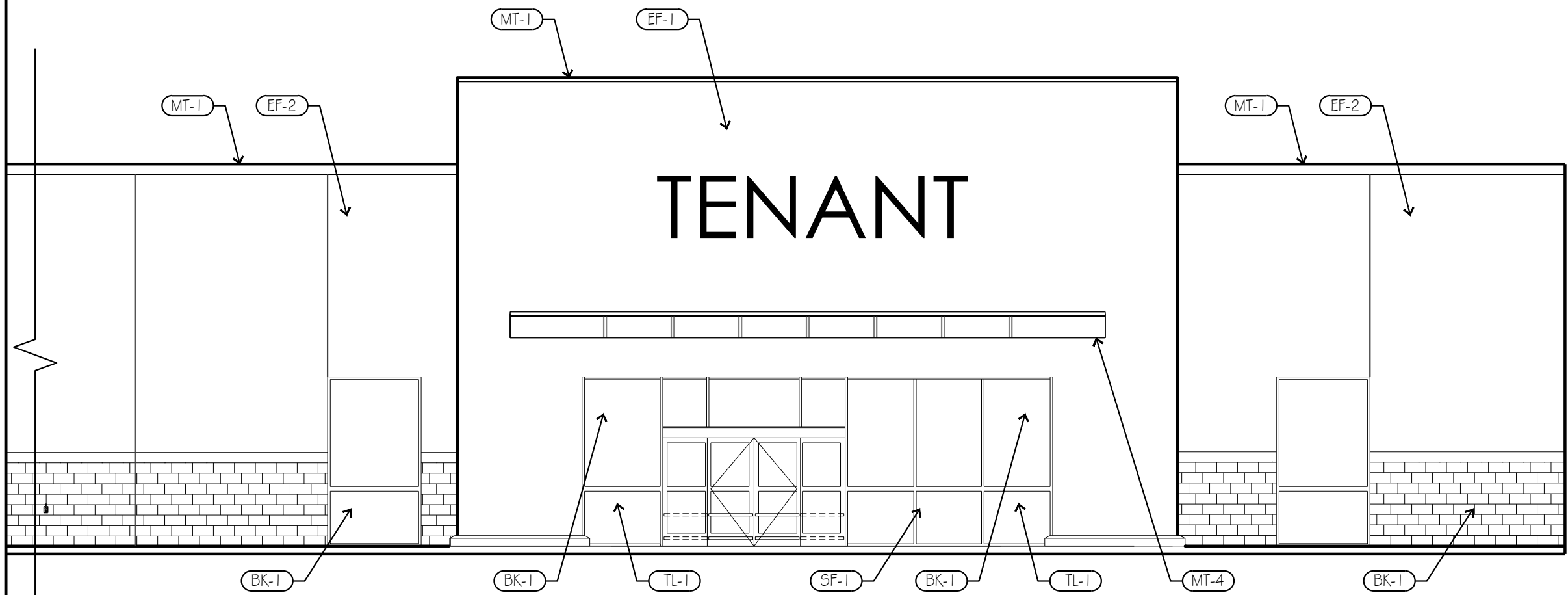
FINISH LEGEND:

ITEM	DESCRIPTION	MANUF / COLOR	REMARKS
(BK-1)	CMU BLOCK	BEIGE / TAN	---
(EF-1)	EIPS	WHITE	WATER DRAINAGE EIPS
(EF-2)	EIPS	BEIGE	WATER DRAINAGE EIPS
(EF-3)	EIPS	TAN	WATER DRAINAGE EIPS
(EF-4)	EIPS	BLUE (MARSHALL'S)	WATER DRAINAGE EIPS
(EF-5)	EIPS	BLUE (ROSS)	WATER DRAINAGE EIPS
(MT-1)	METAL PANELS/FLASHING	WHITE	PREFINISHED NON-CORRUGATED METAL
(MT-2)	METAL PANELS/FLASHING	TAN	PREFINISHED NON-CORRUGATED METAL
(MT-3)	METAL PANELS/FLASHING	BLUE	PREFINISHED NON-CORRUGATED METAL
(MT-4)	METAL PANELS/FLASHING	BLACK	PREFINISHED NON-CORRUGATED METAL
(MT-5)	METAL PANELS/FLASHING	GREY	PREFINISHED NON-CORRUGATED METAL
(SF-1)	STOREFRONT 1	NEW GREY STOREFRONT	---
(SF-2)	STOREFRONT 1	NEW BLACK STOREFRONT	---
(TL-1)	EXTERIOR TILE	GREY	---
(LT-1)	LIGHT	UP-DOWN WALL SCONCE	---
(LT-2)	LIGHT	HALO LIT WALL SCONCE	---
(RF-1)	CANOPY	ORANGE	---
(ST-1)	STONE	---	---



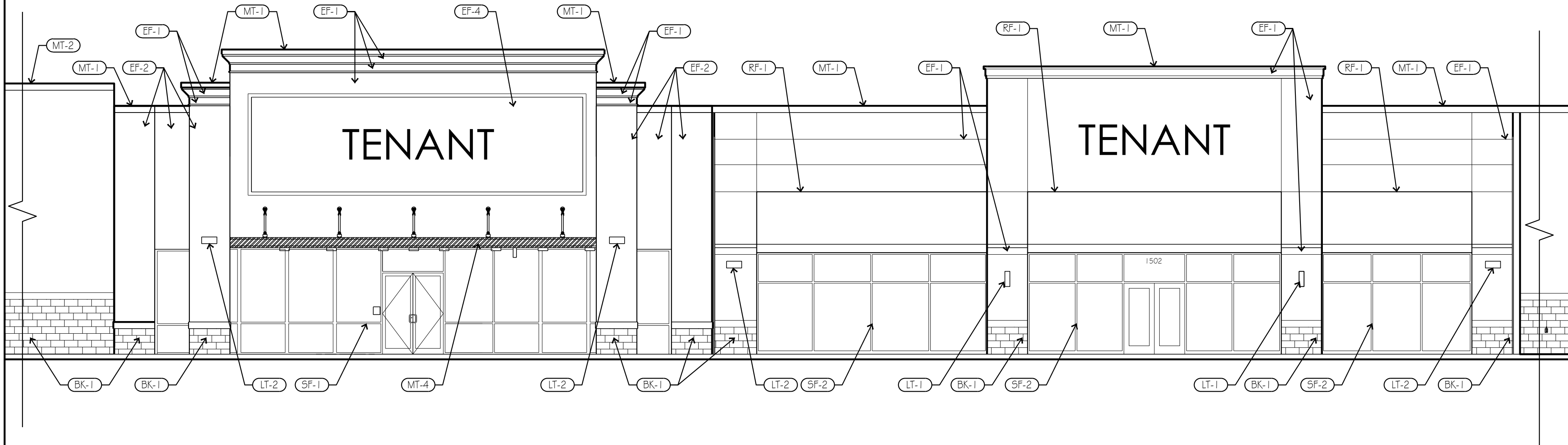
TYP. TRASH ENCLOSURE ELEVATION ④

SCALE: 1/4"=1'-0"



EAST ELEVATIONS ③

SCALE: 1/8"=1'-0"

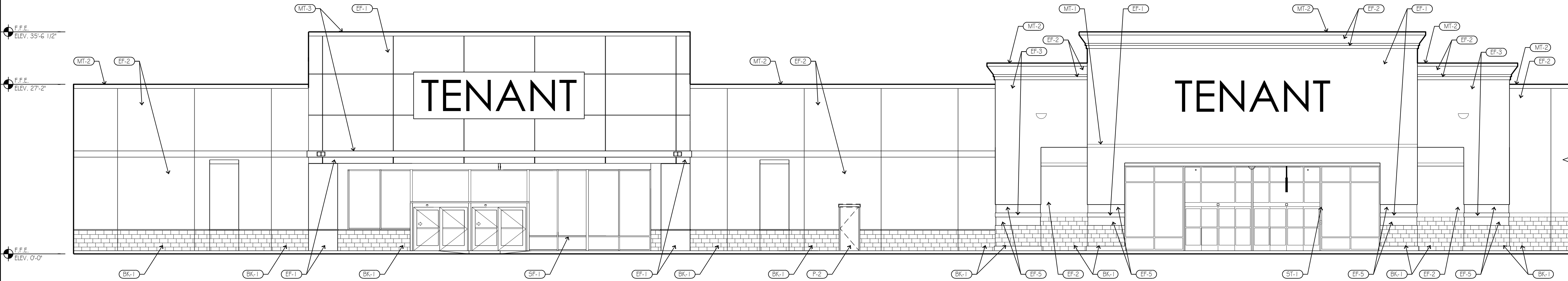


NOT USED ④

SCALE:

EAST ELEVATIONS ②

SCALE: 1/8"=1'-0"



EAST ELEVATIONS ①

SCALE: 1/8"=1'-0"

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EXTERIOR ELEVATIONS

drawing number

A201



LANDSCAPE CALCULATIONS

Streetscape & Frontage

Required: 1 large tree / 40' of lot frontage

Provided:

W Mary Street (999') = 25 street trees  
W Kay Street (686') = 17 street trees

Foundation

Required: 1 ornamental tree & 5 shrubs / 25' building frontage; side elevations on corner lots shall provide this standard on at least 50% of the building

Provided:

Lot 5 (206' bldg frontage) = 8 ornamentals + 42 shrubs  
Lot 7 (132' bldg frontage) = 5 ornamentals + 26 shrubs

Parking

Required: 1 large tree / 40' parking perimeter & 1 large tree / 40 parking spaces & 5 shrubs / 25' perimeter

Provided:

Lot 5 (226 stalls + 198' perimeter) = 6 island trees + 5 perimeter trees + 8 shrubs  
Lot 6 (90 stalls + 180' perimeter) = 3 parking island trees + 5 perimeter trees + 8 shrubs  
Lot 7 (38 stalls) = 1 parking island tree  
Lot 8 (3 stalls) = 1 island tree  
Lot 9 (18 stalls + 80' perimeter) = 1 parking island tree + 2 perimeter trees + 4 shrubs




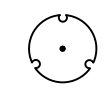

UDO 6.03 A Table 6-1

2 large trees per 40' if buildings setback more than 30'.  
- Buildings are set back more than 30 feet.  
Mary Street: 50 trees  
Kay Street: 34 trees

-Provide location of foundation shrubbery.  
-Foundation screening required on all buildings.

Lot 5: 40 shrubs  
Lot 6: 40 shrubs  
Lot 7: Provide perimeter & shrubs  
Lot 9: 20 shrubs

CONCEPT PLANT SCHEDULE

	<b>SHADE TREE</b> 2.5" Cal. B&B Celtis occidentalis 'Prairie Sentinel' / Prairie Sentinel Hackberry Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo Nyssa sylvatica 'Wildfire' / Black Gum Platanus x acerifolia / London Plane Tree Quercus bicolor / Swamp White Oak Quercus robur 'Regal Prince' / Regal Prince English Oak Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak Zelkova serrata 'City Sprite' TM / City Sprite Zelkova	47
	<b>ORNAMENTAL TREE</b> 1.5" Cal. B&B Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Beauty Southern Magnolia Malus x 'Spring Snow' / Spring Snow Crab Apple	28
	<b>STREET TREE</b> 2.5" Cal. B&B	42
	<b>SHRUBS AND GRASSES</b> 3-5 Gal. 24" Ht. Min. Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry Buxus x 'Green Velvet' / Boxwood Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood Hypericum frondosum 'Sunburst' / Sunburst Hypericum Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire Juniperus chinensis 'Gold Lace' / Gold Lace Juniper Juniperus horizontalis 'Hughes' / Hughes Juniper Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper Miscanthus sinensis 'Gracillimus' / Maiden Grass Miscanthus sinensis 'Morning Light' / Eulalia Grass Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass	88
	<b>TURFGRASS</b> Turfgrass Sod Fescue Mix; RE: Notes / Fescue Sod	

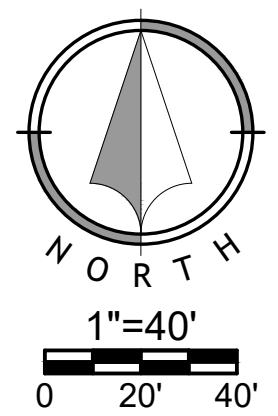
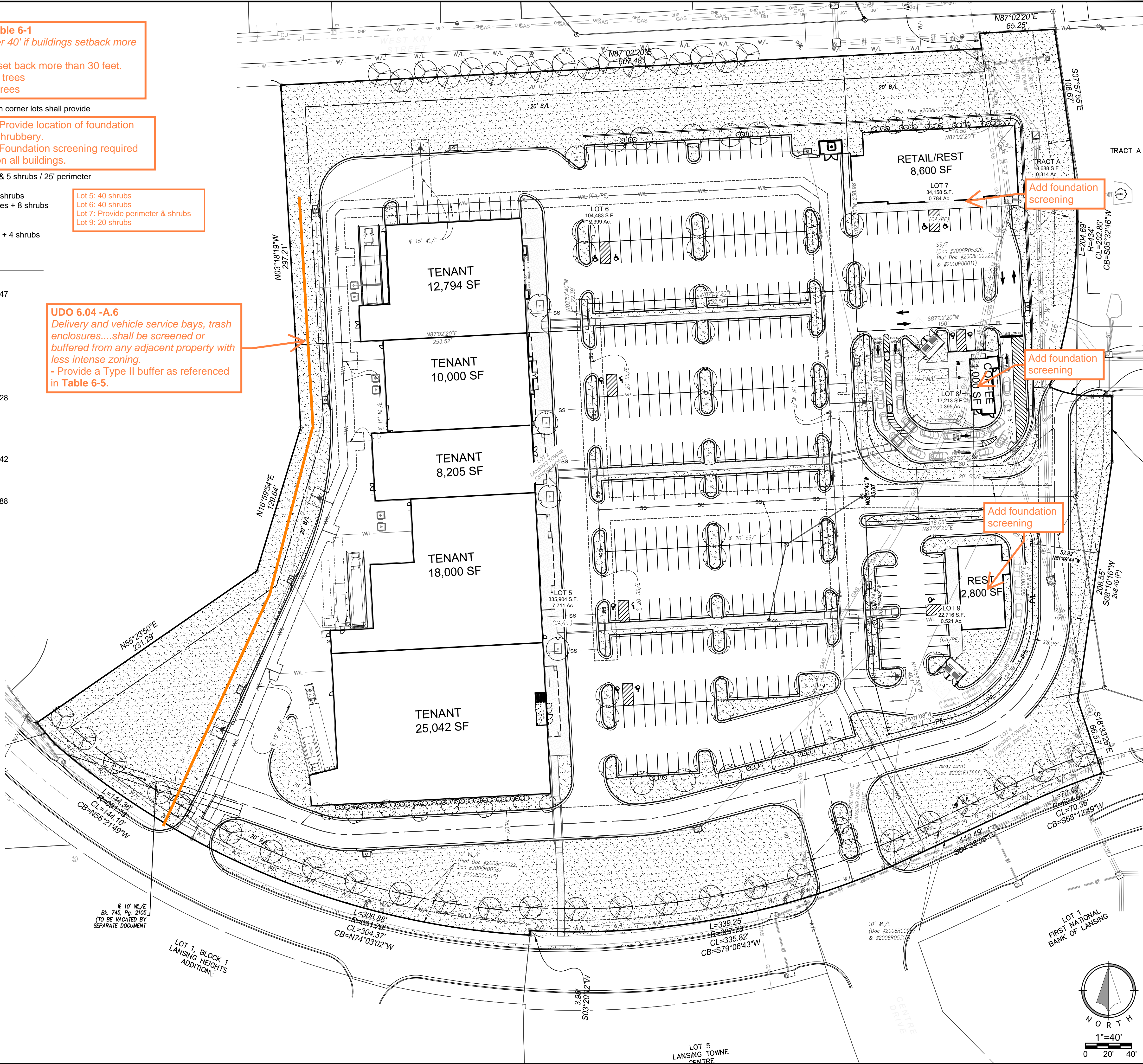
Reviewed by Community & Economic Development

05/16/2025 6:26:57 AM by jgentzler

See Review Comments

UDO 6.04 -A.6

Delivery and vehicle service bays, trash enclosures.....shall be screened or buffered from any adjacent property with less intense zoning.  
- Provide a Type II buffer as referenced in Table 6-5.

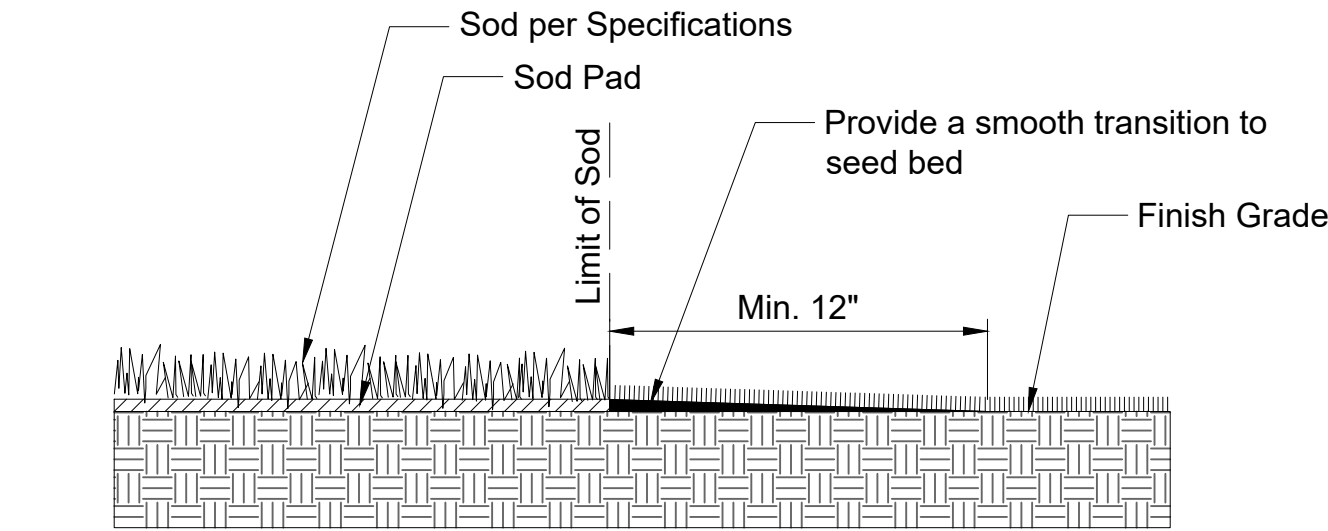




LANDSCAPE NOTES

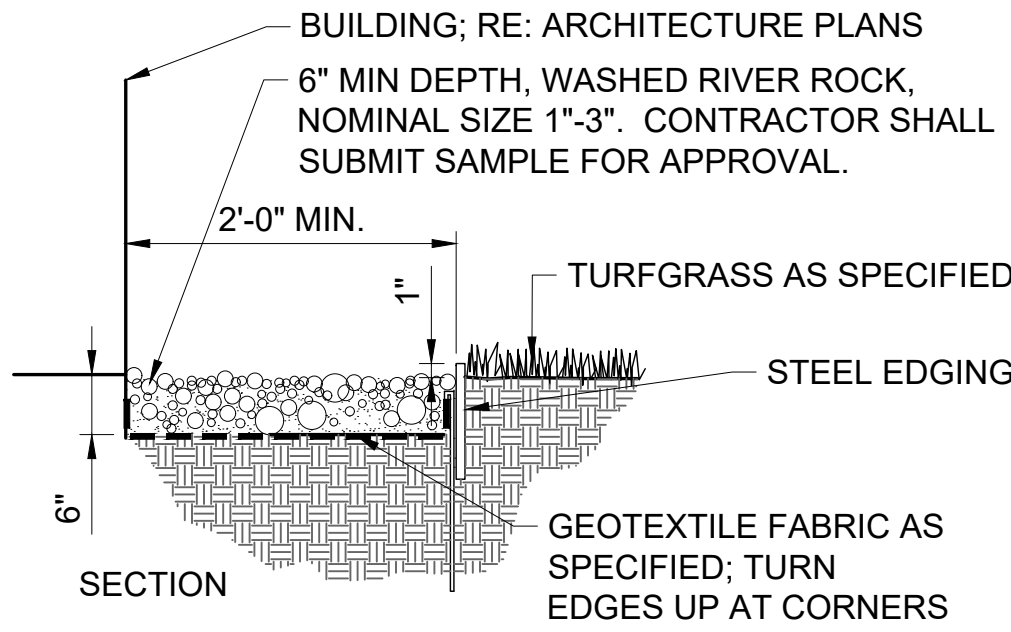
1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. PLANT SYMBOLS ON LANDSCAPE PLAN ARE SHOWN AT FULL MATURE SIZE. ACTUAL PLANT SIZES AT INSTALLATION MAY BE SMALLER AND SHALL BE THE MINIMUM PLANTING SIZE SPECIFIED IN PLANT SCHEDULE.
5. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
6. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
7. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
8. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.

9. ALL TREES SHALL BE STAKED PER DETAIL.
10. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
11. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
12. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
13. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
14. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
15. ALL DECORATIVE GRAVEL SHALL BE INSTALLED OVER GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).



- NOTES:
1. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM SODDED AREAS TO SEEDED AREAS.

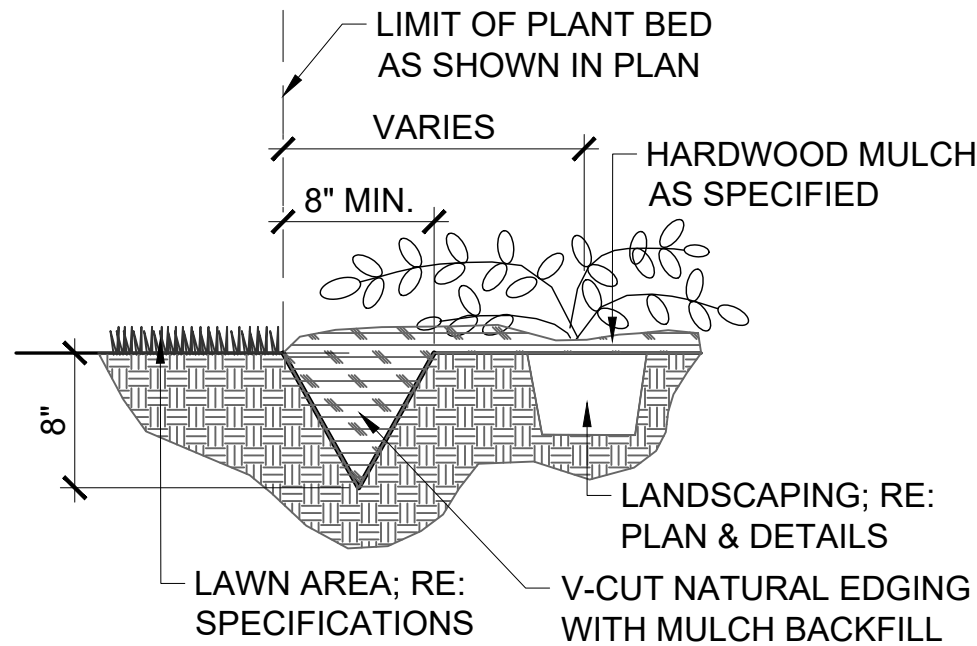
SEED TO SOD TRANSITION DETAIL



- NOTES:
1. SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
  2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH WITH TOP OF CONCRETE
  3. ALL JOINTS SHALL BE SECURELY STAKED
  4. CONTRACTOR SHALL CUT TOP EDGES AS NEEDED TO BE PARALLEL WITH GRADE.
  5. ALL GRAVEL SHALL BE INSTALLED OVER A GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).
  6. GRAVEL SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. FILTER FABRIC SHALL NOT BE VISIBLE AFTER GRAVEL INSTALLATION.

MOW EDGE DETAIL - NTS

- NOTES:
1. CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
  2. TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
  3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.

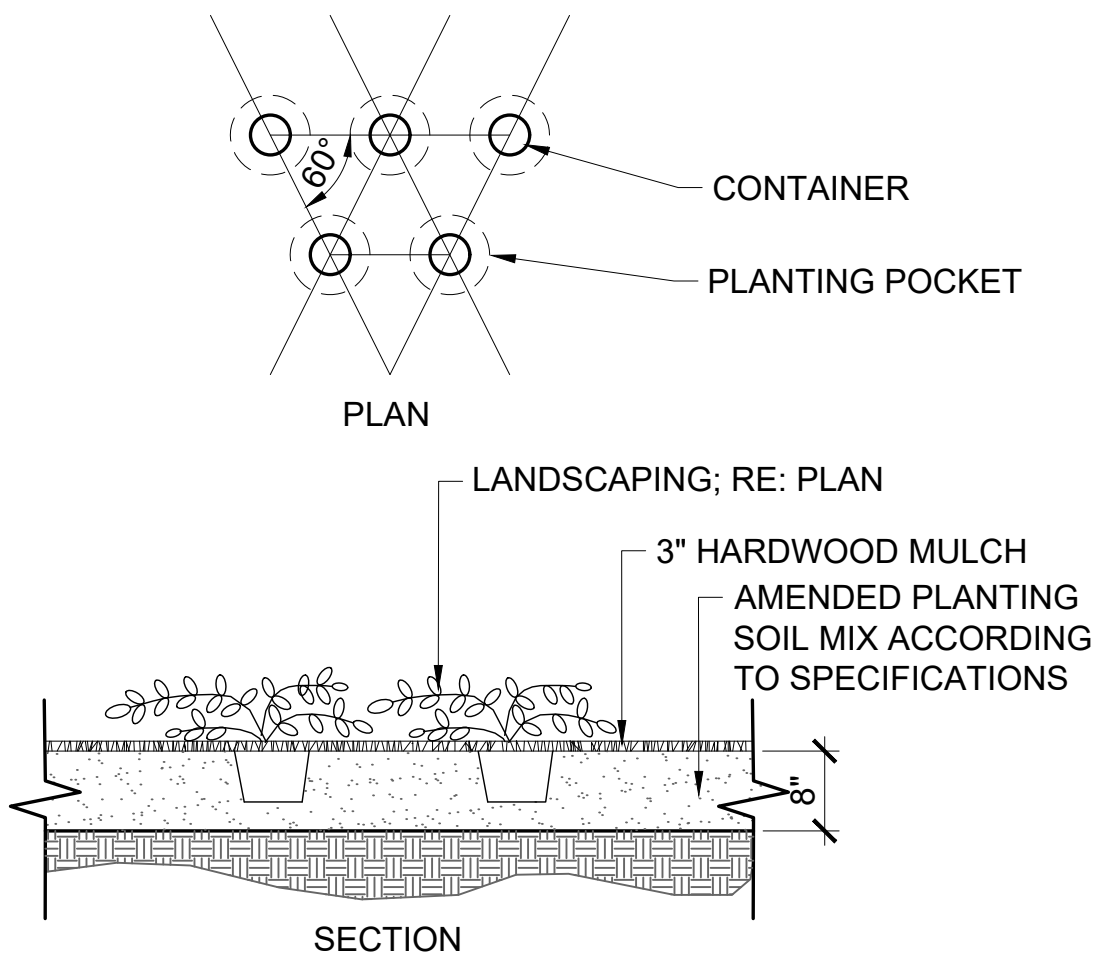


V-CUT NATURAL EDGE DETAIL - NTS

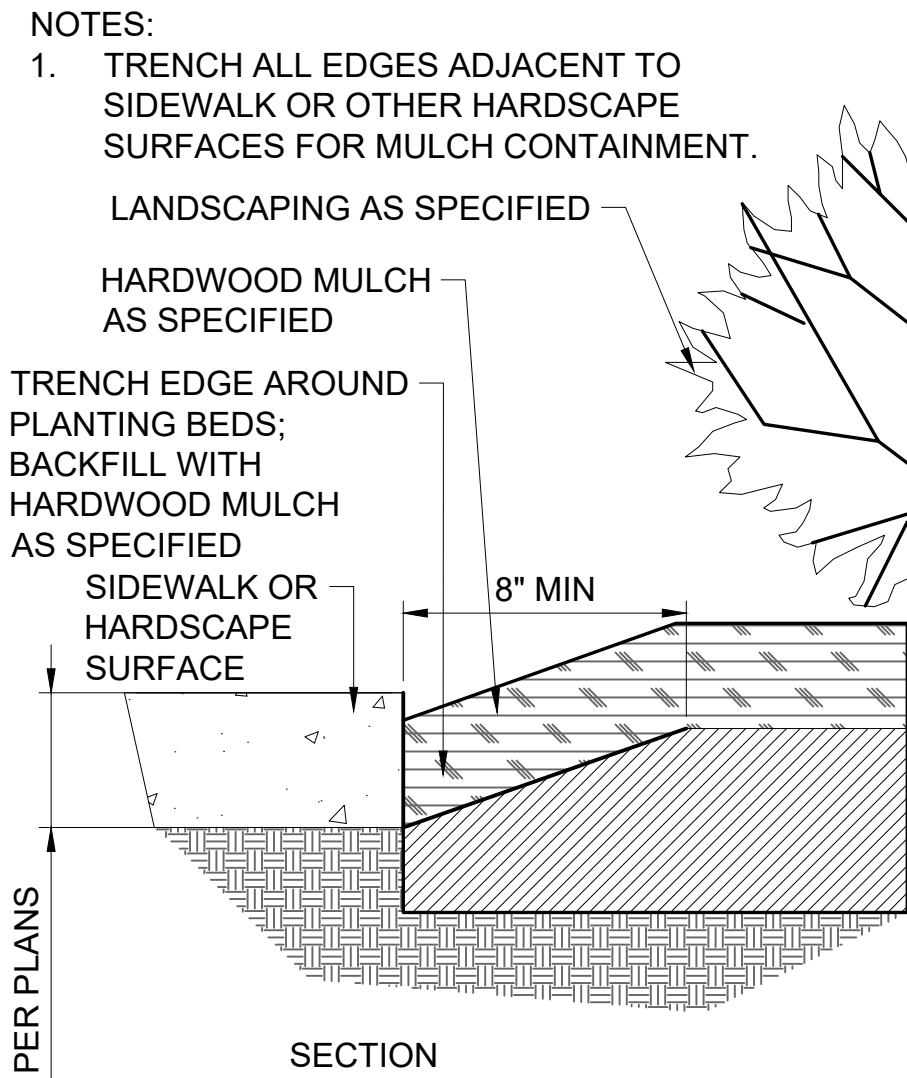


UTILITY BOXES SHALL BE CLUSTERED AS MUCH AS POSSIBLE

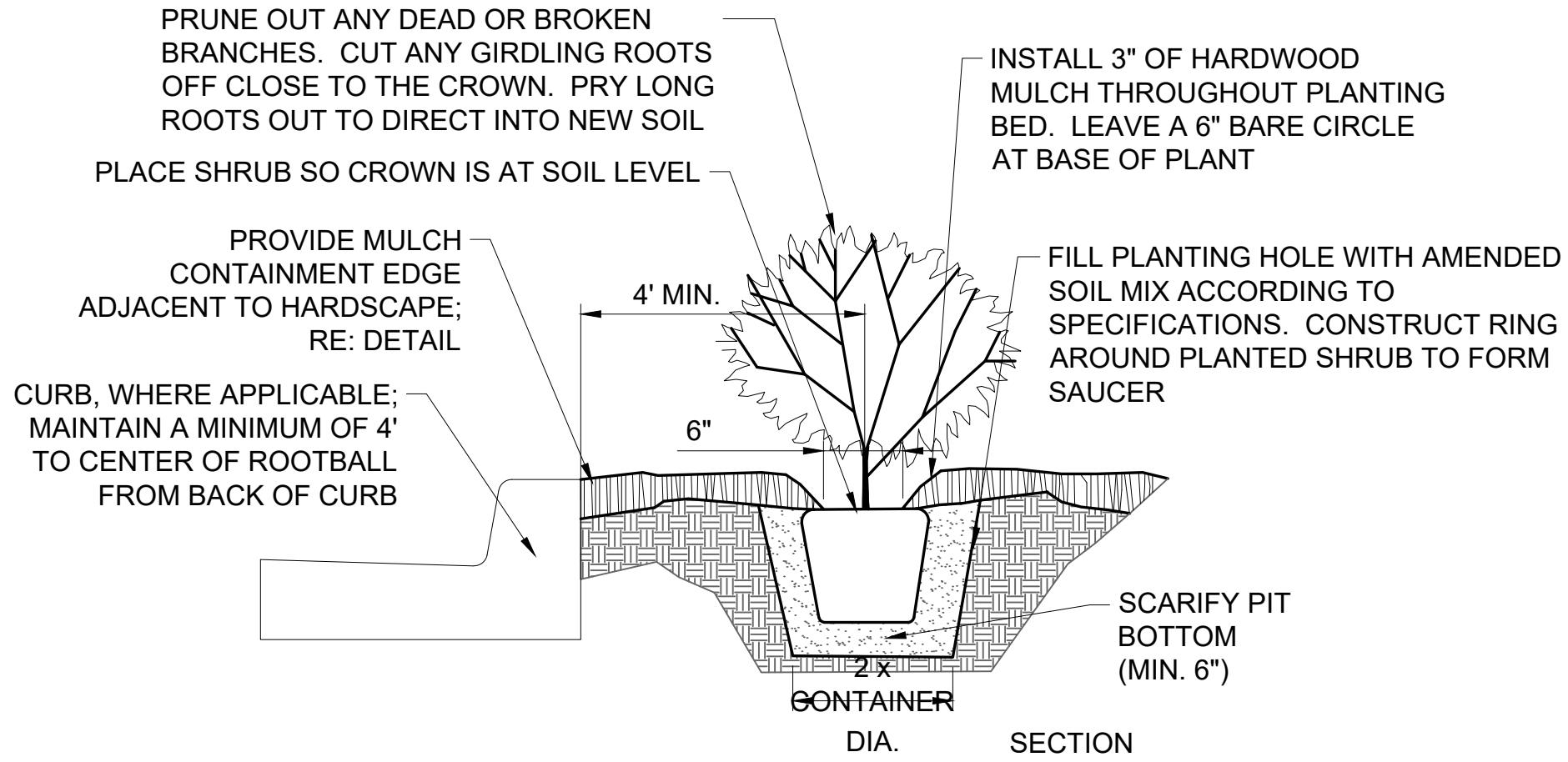
TYPICAL UTILITY BOX SCREENING DETAILS - NTS



CONTAINER PLANTING DETAIL - NTS

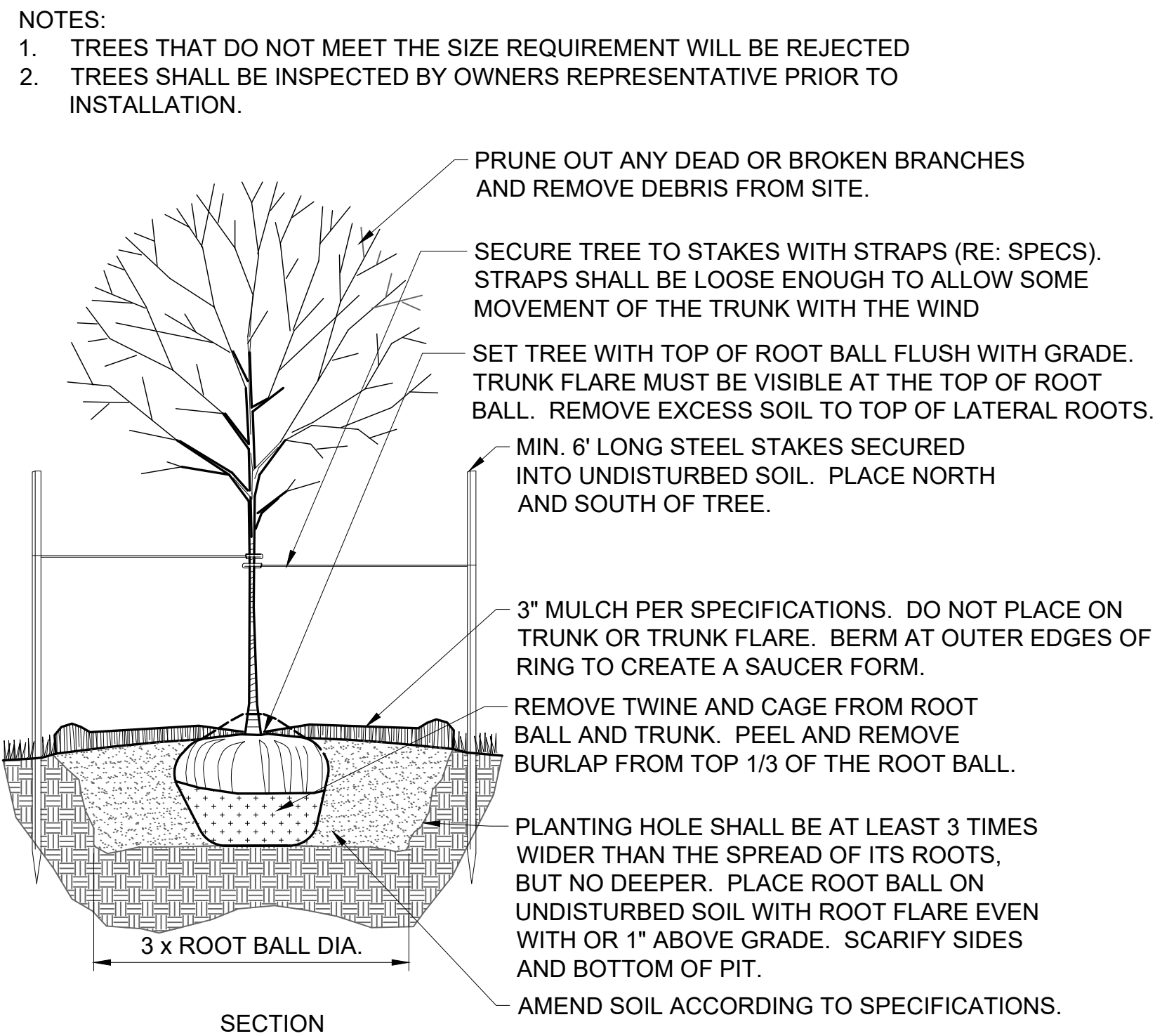


MULCH CONTAINMENT DETAIL - NTS



- NOTES:
1. REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
  2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
  3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
  4. WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS



DECIDUOUS TREE PLANTING DETAIL - NTS



# Lansing Towne Centre

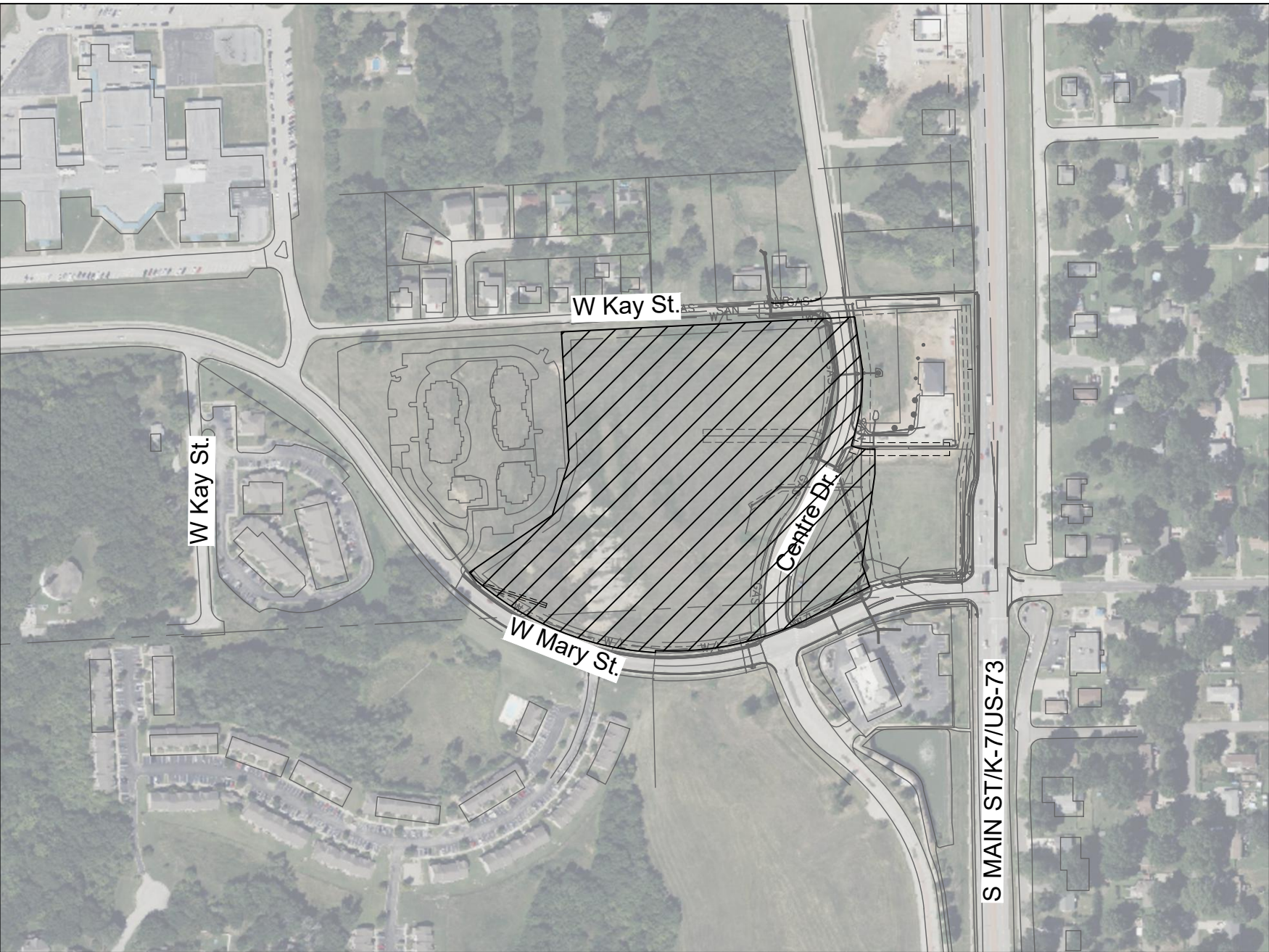
A Development In Lansing, Leavenworth County, KS

## Site Development Plans

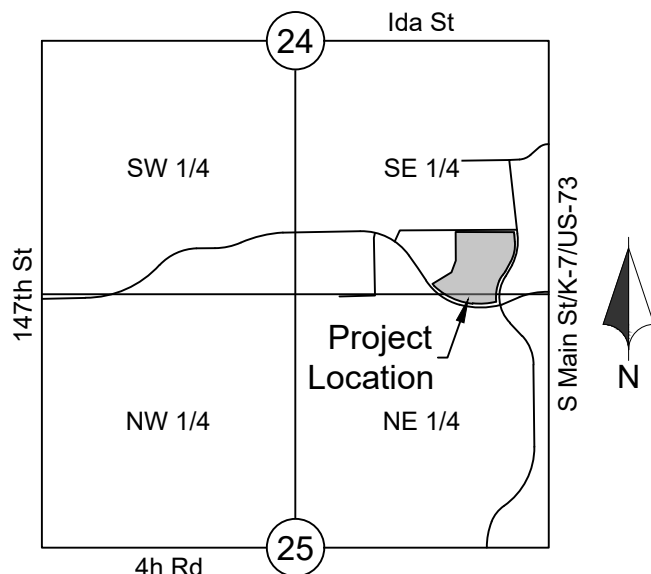
TOTAL AREA: 9.80 ACRES

### LEGEND

---	Existing Section Line	---	Proposed Right-of-Way
- - - - -	Existing Right-of-Way Line	=====	Proposed Property Line
---	Existing Lot Line	---	Proposed Lot Line
- - - - -	Existing Easement Line	- - - - -	Proposed Easement
=====	Existing Curb & Gutter	=====	Proposed Curb & Gutter
=====	Existing Sidewalk	=====	Proposed Sidewalk
=====	Existing Storm Sewer	=====	Proposed Storm Sewer
□	Existing Storm Structure	□	Proposed Storm Structure
— W/L —	Existing Waterline	— A —	Proposed Fire Hydrant
— GAS —	Existing Gas Main	— W/L —	Proposed Waterline
---	Existing Sanitary Sewer	---	Proposed Sanitary Sewer
⊙	Existing Sanitary Manhole	⊙	Proposed Sanitary Manhole
---	Existing Contour Major	---	Proposed Contour Major
---	Existing Contour Minor	---	Proposed Contour Minor
=====		=====	Future Curb & Gutter



VICINITY MAP  
(NTS)



LOCATION MAP  
Scale 1" = 2000'  
SEC 24-T9S-R22E  
SEC 25-T9S-R22E

### UTILITY CONTACTS

City of Lansing	(913) 727-3233
Lansing Utilities	(913) 727-3233
Sanitary Sewer	(913) 727-2206
Lan-Del Water District	(913) 727-3350
Kansas Gas	(800) 794-4780
Evergy	(888) 471-5275
Clearwave Fiber	(785) 594-5414
Spectrum	(855) 366-7132
AT&T	(800) 288-2020

Engineer:  
Renaissance Infrastructure Consulting  
5015 NW Canal St, Suite100  
Riverside, MO 64150  
816.800.0950

Consultant/Applicant:  
Klover Architects  
8813 Penrose Lane, Suite 300  
Lenexa, KS 66219

Prepared For:  
Driven Assets LLC  
1601 High Street,  
Boulder, CO 80302  
214-597-5088



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project title

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WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number  
25-0106

drawing issuance  
FDP SUBMITTAL 02.12.2025

drawing revisions  
No. Description: Date:

professional seal

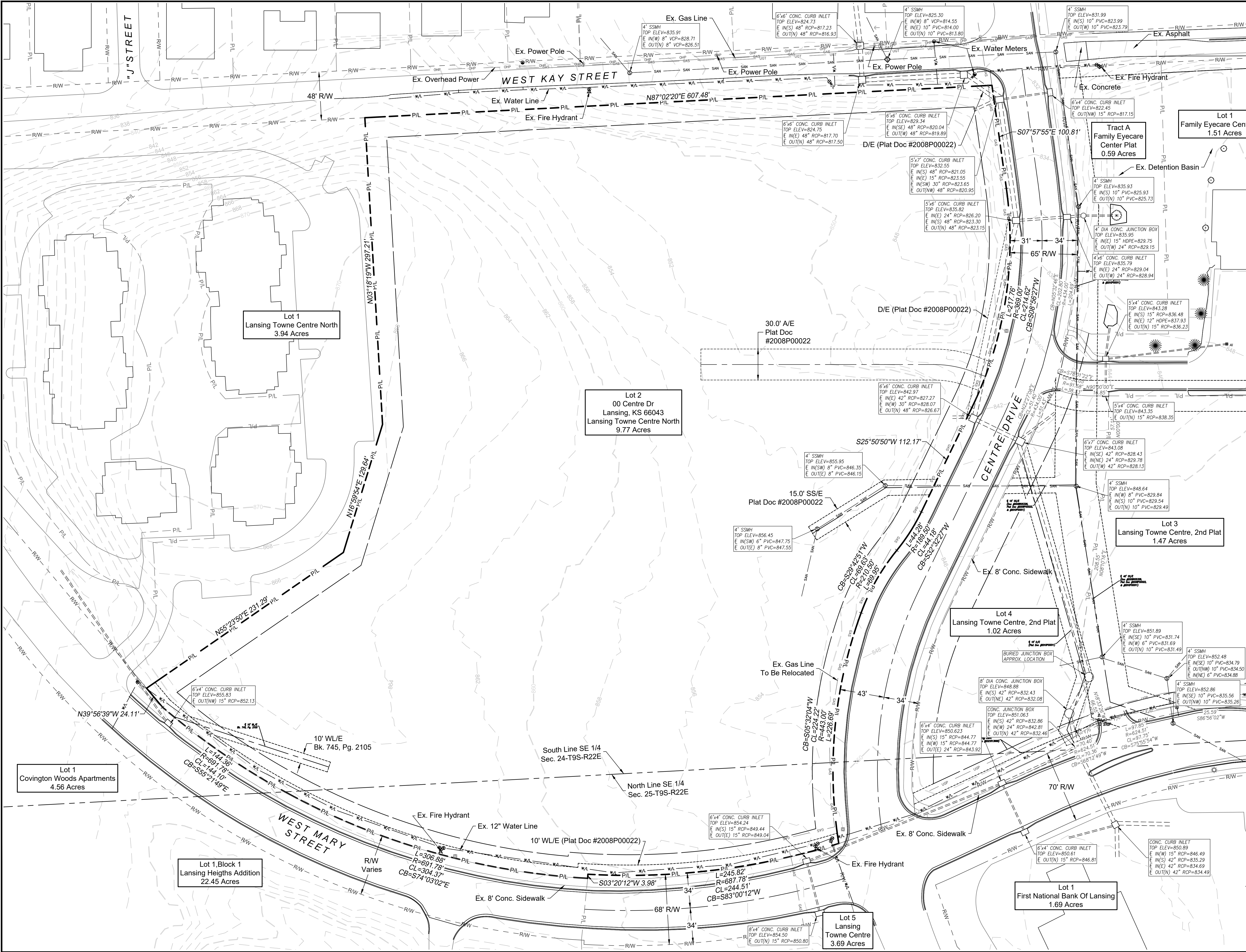
drawing title

Title Sheet

drawing number

C01





**kloverarchitects**  
INCORPORATED

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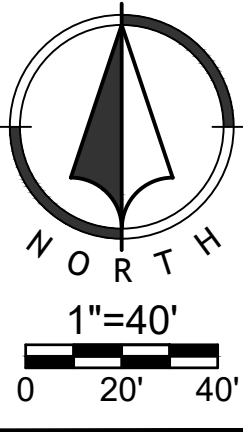
drawing issuance  
FDP SUBMITTAL 02.12.2025

drawing revisions  
No. Description: Date:

professional seal

drawing title  
Existing Conditions

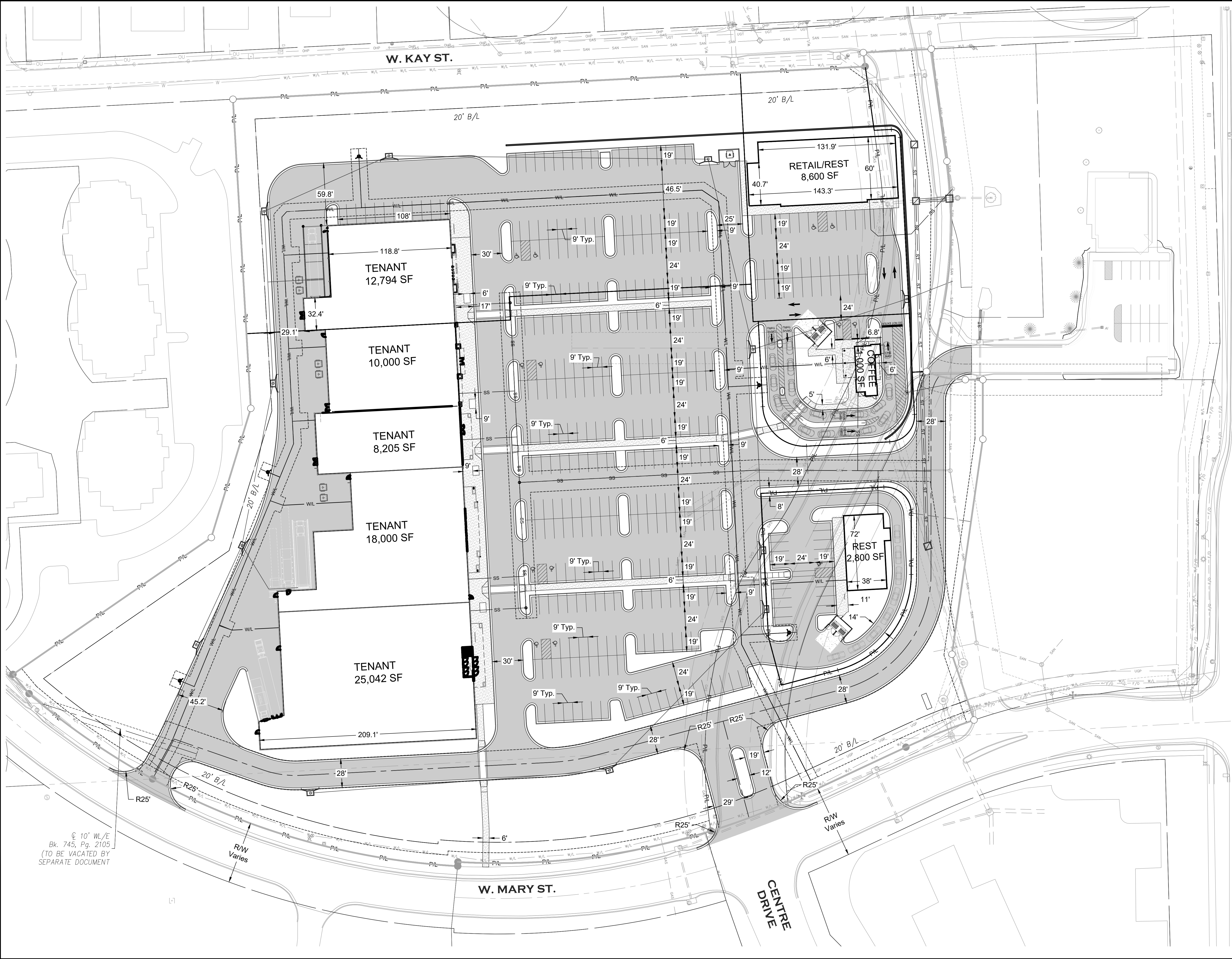
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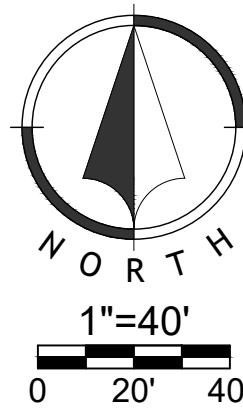
project title

LANSING TOWNE CENTRE  
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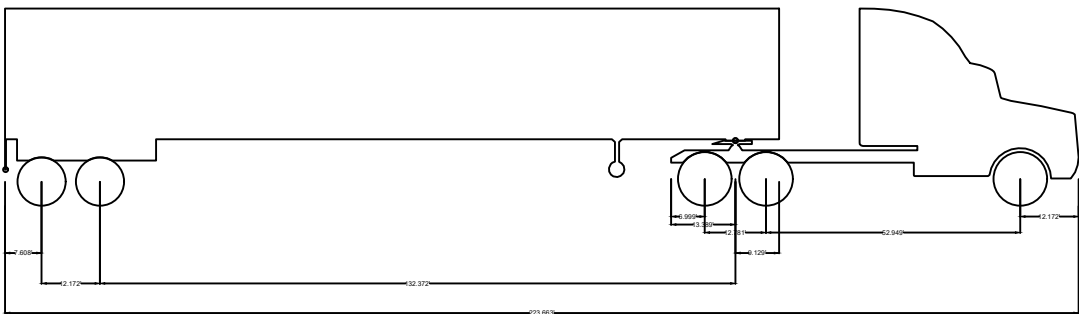
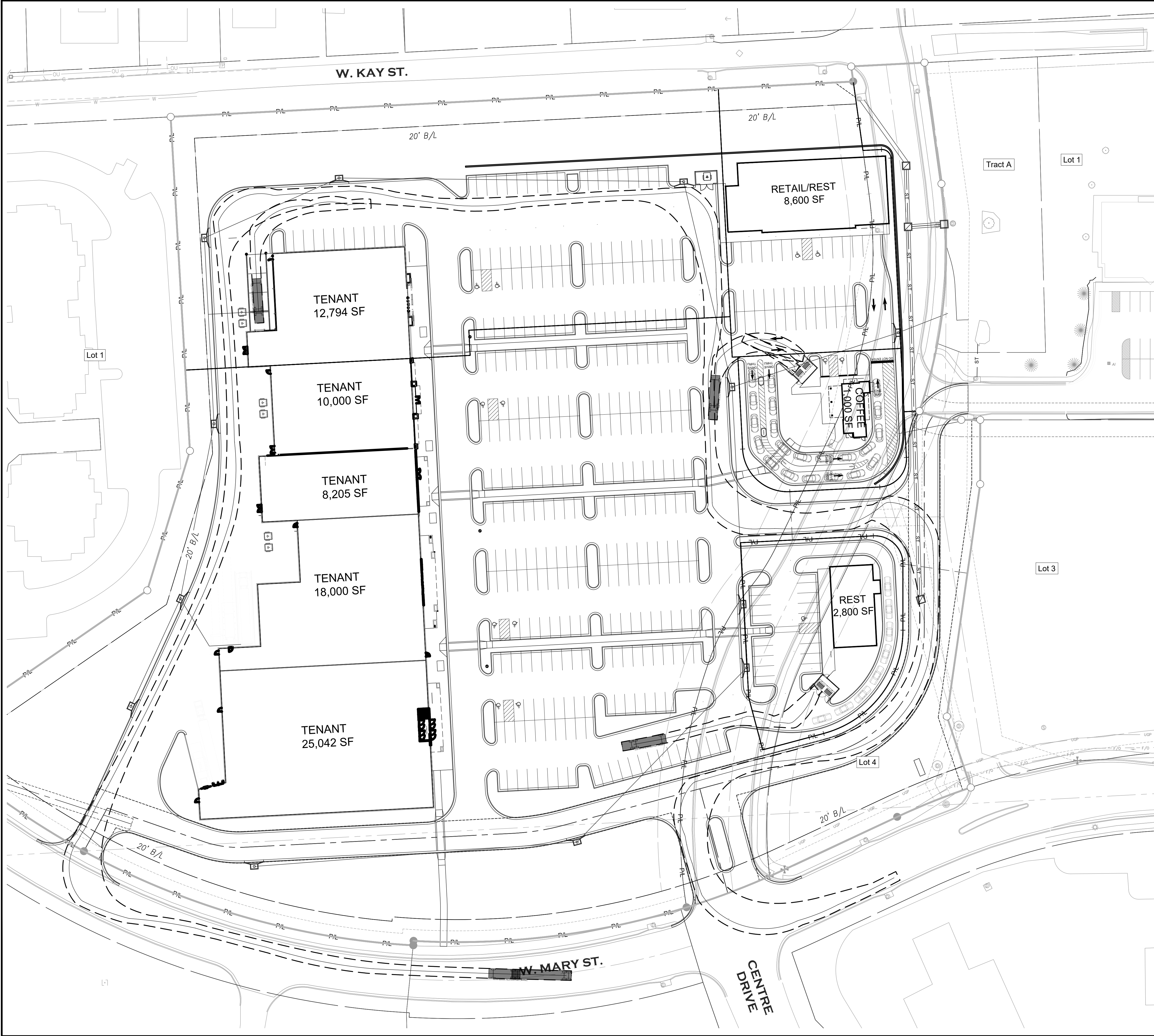
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drawing issuance	FDP SUBMITTAL 02.12.2025
drawing revisions	No. Description: Date:

professional seal

drawing title  
Dimension Plan  
drawing number  
C04

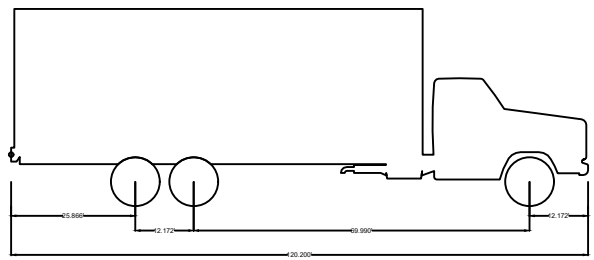






Name: Trailer 1 (L53)  
Width [ft]: 8.500  
Height [ft]: 13.500  
Front track [ft]: 8.500  
Back track [ft]: 8.500

Vehicle library: AASHTO2011\_IMPERIAL  
Name: Interstate Semitrailer (WB-67)  
Width [ft]: 8.500  
Height [ft]: 13.500  
Front track [ft]: 8.500  
Back track [ft]: 8.500  
Total vehicle length [ft]: 73.500  
Average steering angle: 28.683°  
Turn time (sec.): 6.0  
Turning radius (curb to curb) [ft]: 44.403  
Turning radius (wall to wall) [ft]: 46.300



Vehicle library: AASHTO2011\_IMPERIAL  
Name: Single-Unit Truck (SU-40)  
Width [ft]: 8.000  
Height [ft]: 13.500  
Front track [ft]: 8.000  
Back track [ft]: 8.000  
Total vehicle length [ft]: 39.500  
Average steering angle: 31.926°  
Turn time (sec.): 6.0  
Turning radius (curb to curb) [ft]: 50.714  
Turning radius (wall to wall) [ft]: 52.800

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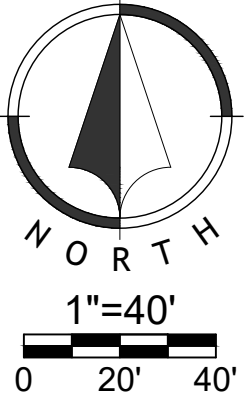
project title

LANSING TOWNE CENTRE  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

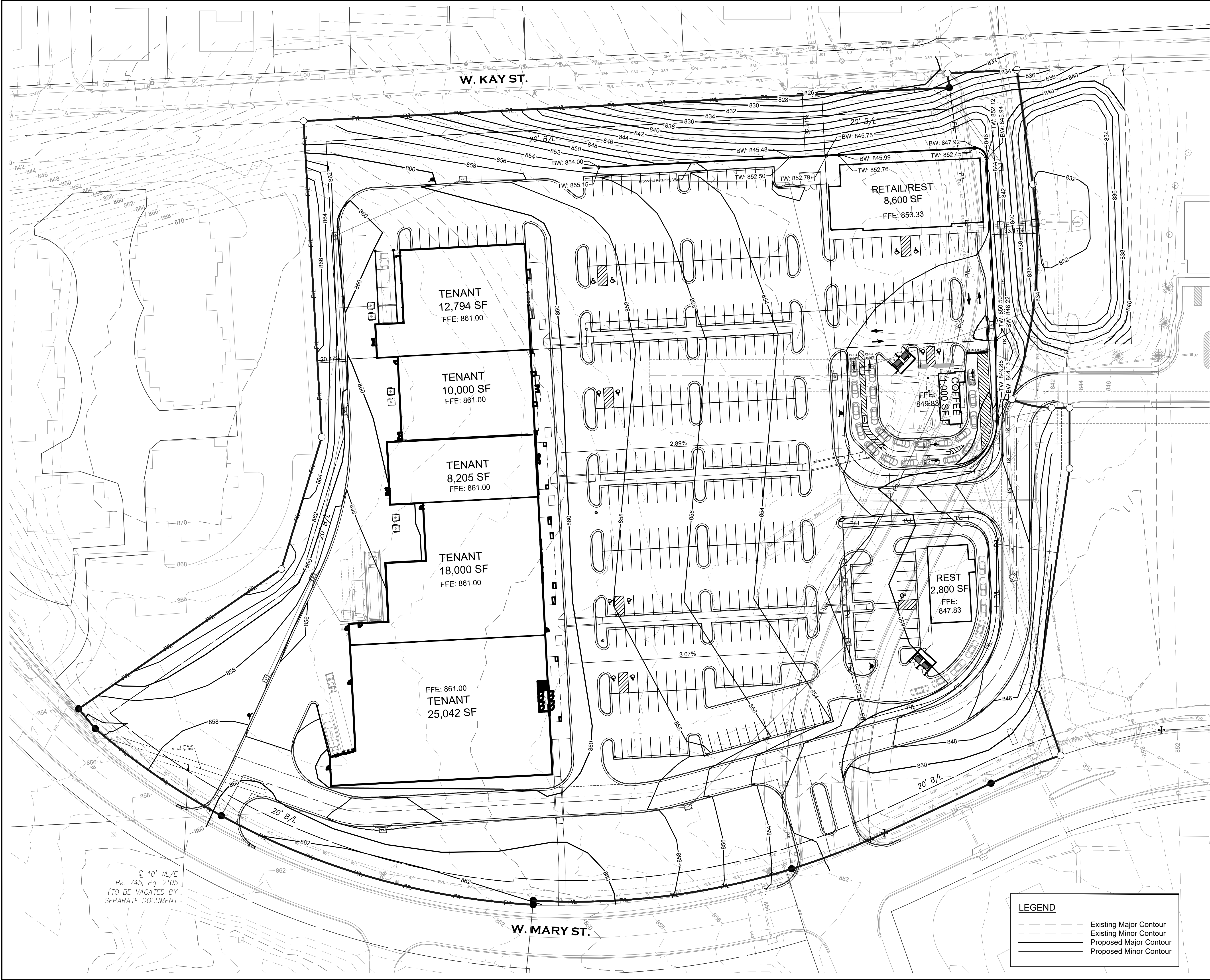
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drawing issuance		
FDP SUBMITTAL		02.12.2025
drawing revisions		
No.	Description:	Date:

professional seal

drawing title  
Truck Maneuver Plan  
drawing number  
C05







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project title

LANSING TOWNE CENTRE  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number  
25-0106  
drawing issuance  
FDP SUBMITTAL 02.12.2025  
drawing revisions  
No. Description: Date:

professional seal  
drawing title  
Grading Plan  
drawing number  
C06



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project title

**LANSING TOWNE CENTRE**  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number  
25-0106

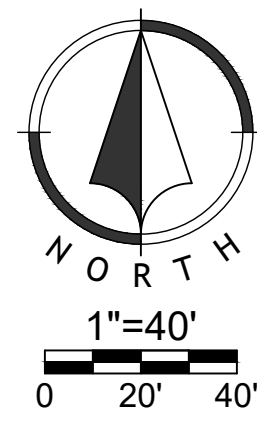
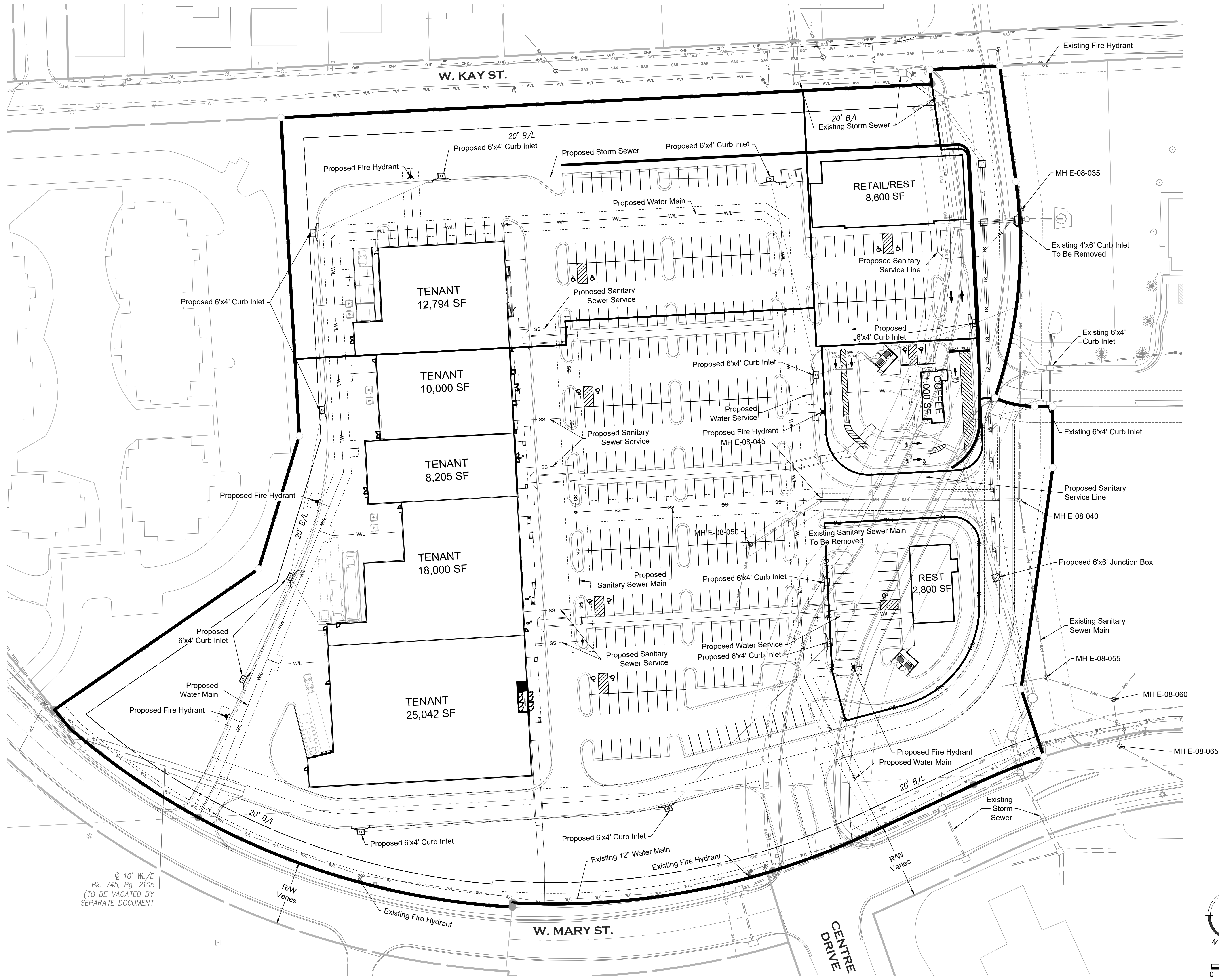
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FDP SUBMITTAL 02.12.2025

drawing revisions  
No. Description: Date:

professional seal

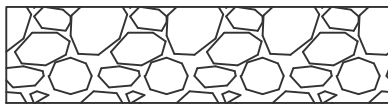
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drawing number  
C07

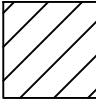




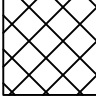
EROSION CONTROL LEGEND



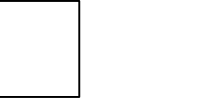
Stabilized Construction Entrance



Staging Area



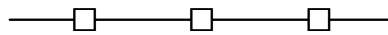
Stockpile Area



Concrete Washout



Limits of Disturbance



Perimeter Silt Fence



Inlet Protection

Grading Legend



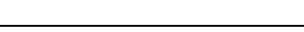
Existing Major Contour



Existing Minor Contour



Proposed Major Contour

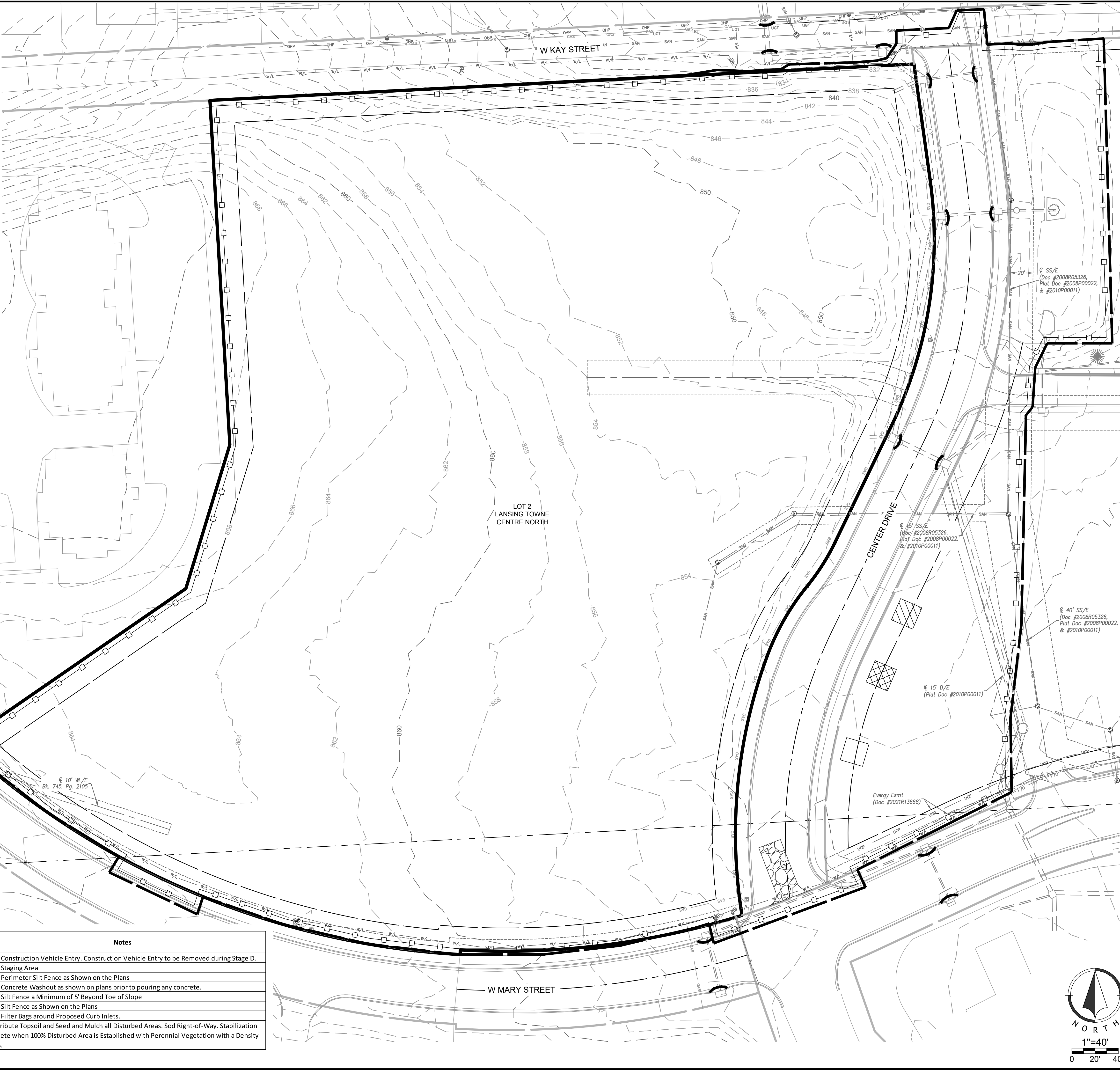


Proposed Minor Contour

NOTE:

City ROW restoration ordinance requires placement of SOD within ROW

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A-Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Vehicle Entry. Construction Vehicle Entry to be Removed during Stage D.
		2	Staging Area	D	Install Staging Area
		3	Perimeter Silt Fence	D	Install Perimeter Silt Fence as Shown on the Plans
		4	Concrete Washout	D	Install Concrete Washout as shown on plans prior to pouring any concrete.
Phase II	B-Mass Grading	5	Stockpile Topsoil	C	Install Silt Fence a Minimum of 5' Beyond Toe of Slope
	C-Site Construction	6	Silt Fence	D	Install Silt Fence as Shown on the Plans
		7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets.
Phase III	D-Final Stabilization	8	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Areas. Sod Right-of-Way. Stabilization Complete when 100% Disturbed Area is Established with Perennial Vegetation with a Density of 70%.





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project title

LANSING TOWNE CENTRE

WEST MARY ST & CENTRE DR

LANSING, LEAVENWORTH COUNTY, KS 66043

project number	25-0106
drawing issuance	FDP SUBMITTAL 02.12.2025
drawing revisions	No. Description: Date:

professional seal

drawing title

Erosion Control Plan I

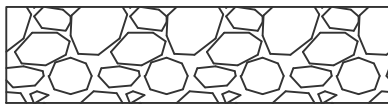
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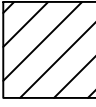


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May 14, 2025-2:44pm  
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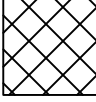
EROSION CONTROL LEGEND



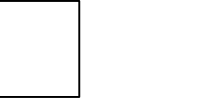
Stabilized Construction Entrance



Staging Area



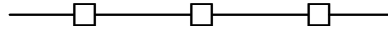
Stockpile Area



Concrete Washout



Limits of Disturbance



Perimeter Silt Fence



Inlet Protection

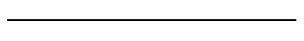
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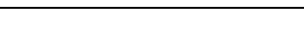
Existing Major Contour



Existing Minor Contour



Proposed Major Contour

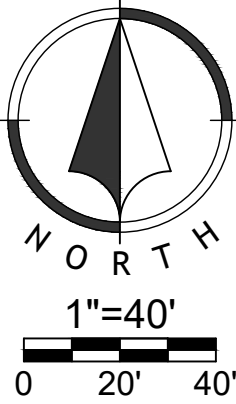
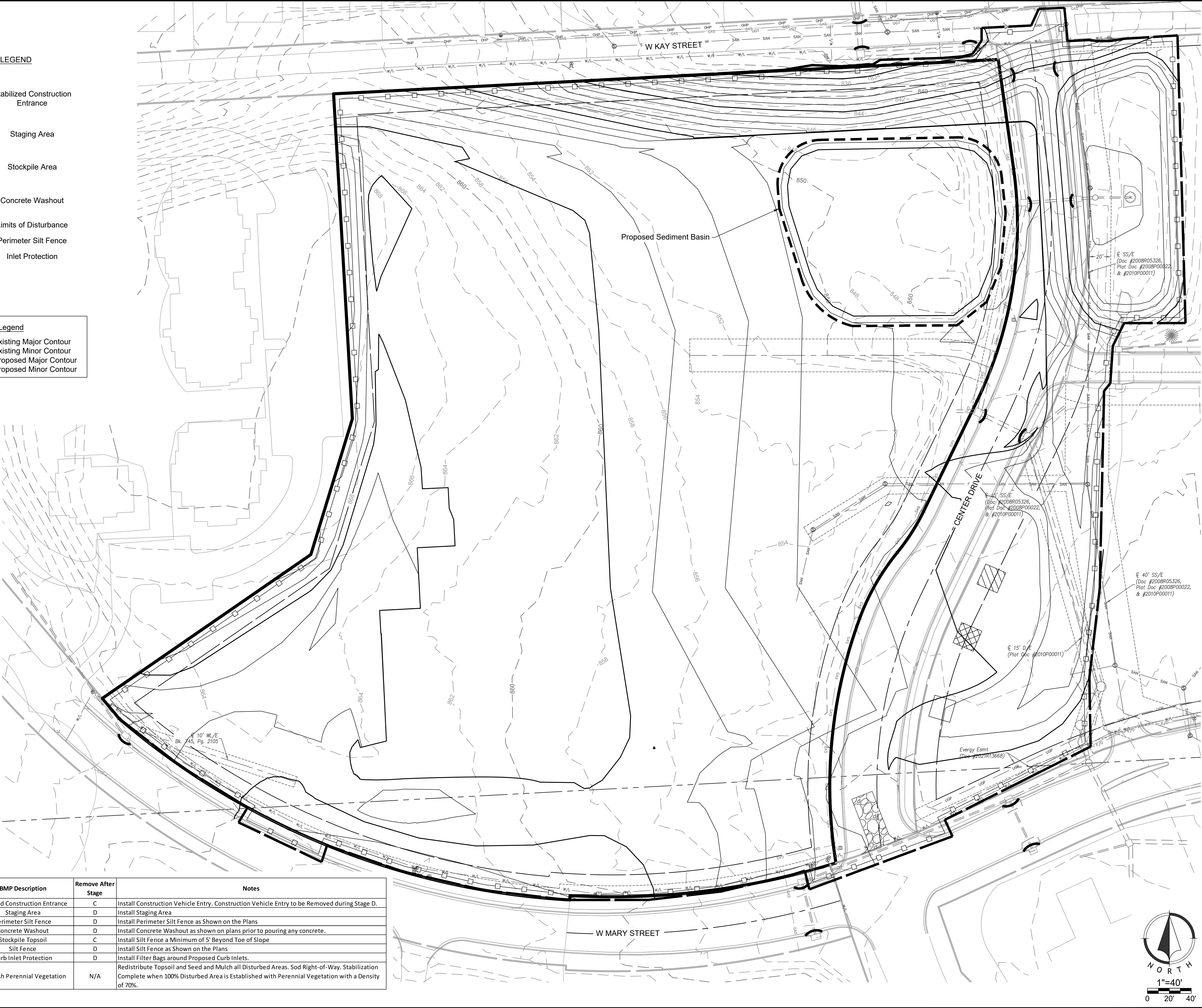


Proposed Minor Contour

NOTE:

City ROW restoration ordinance requires placement of SOD within ROW

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A-Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Vehicle Entry. Construction Vehicle Entry to be Removed during Stage D.
		2	Staging Area	D	Install Staging Area
		3	Perimeter Silt Fence	D	Install Perimeter Silt Fence as Shown on the Plans
		4	Concrete Washout	D	Install Concrete Washout as shown on plans prior to pouring any concrete.
Phase II	B-Mass Grading	5	Stockpile Topsoil	C	Install Silt Fence a Minimum of 5' Beyond Toe of Slope
	C-Site Construction	6	Silt Fence	D	Install Silt Fence as Shown on the Plans
		7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets.
Phase III	D-Final Stabilization	8	Establish Perennial Vegetation	N/A	Redistribute Topsoil and Seed and Mulch all Disturbed Areas. Sod Right-of-Way. Stabilization Complete when 100% Disturbed Area is Established with Perennial Vegetation with a Density of 70%.





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project title

LANSING TOWNE CENTRE  
WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number  
25-0106

drawing issuance  
FDP SUBMITTAL 02.12.2025

drawing revisions  
No. Description: Date:

professional seal

drawing title  
Erosion Control Plan II

drawing number  
C09



EROSION CONTROL LEGEND

- Limits of Disturbance
- Perimeter Silt Fence

Grading Legend

- Existing Major Contour
- Existing Minor Contour
- Proposed Major Contour
- Proposed Minor Contour

NOTE:

City ROW restoration ordinance requires placement of SOD within ROW

Phases	Project Stage	BMP Plan Ref. No.	BMP Description	Remove After Stage	Notes
Phase I	A-Prior to Land Disturbance	1	Stabilized Construction Entrance	C	Install Construction Vehicle Entry. Construction Vehicle Entry to be Removed during Stage D.
		2	Staging Area	D	Install Staging Area
		3	Perimeter Silt Fence	D	Install Perimeter Silt Fence as Shown on the Plans
		4	Concrete Washout	D	Install Concrete Washout as shown on plans prior to pouring any concrete.
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	C-Site Construction	6	Silt Fence	D	Install Silt Fence as Shown on the Plans
		7	Curb Inlet Protection	D	Install Filter Bags around Proposed Curb Inlets.
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project title

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WEST MARY ST & CENTRE DR  
LANSING, LEAVENWORTH COUNTY, KS 66043

project number

25-0106

drawing issuance

FDP SUBMITTAL 02.12.2025

drawing revisions

No. Description: Date:

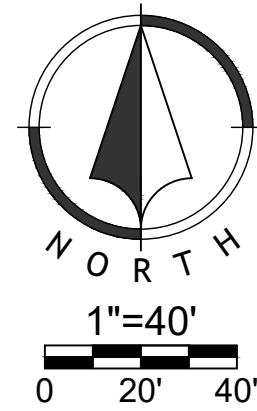
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drawing title

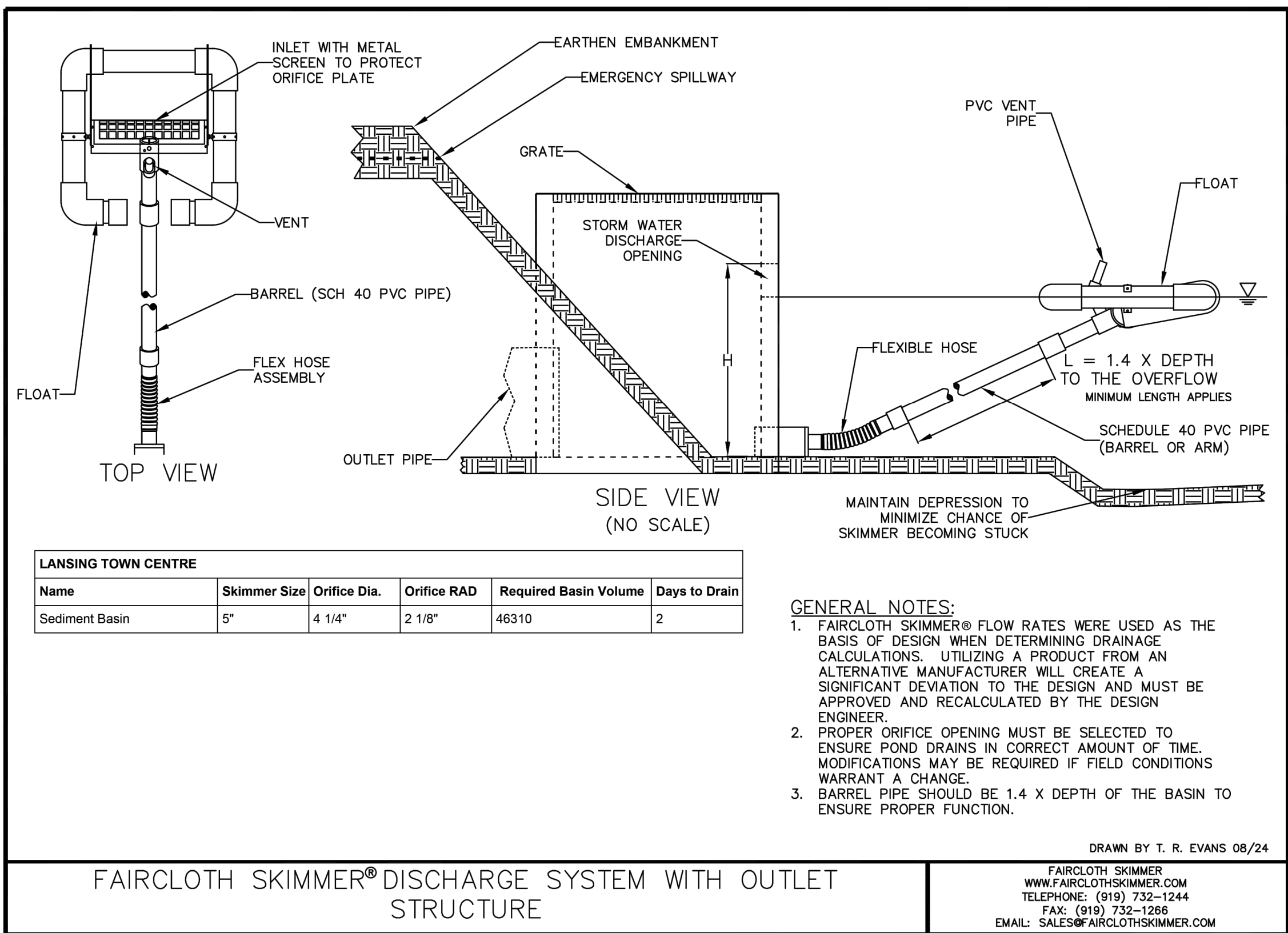
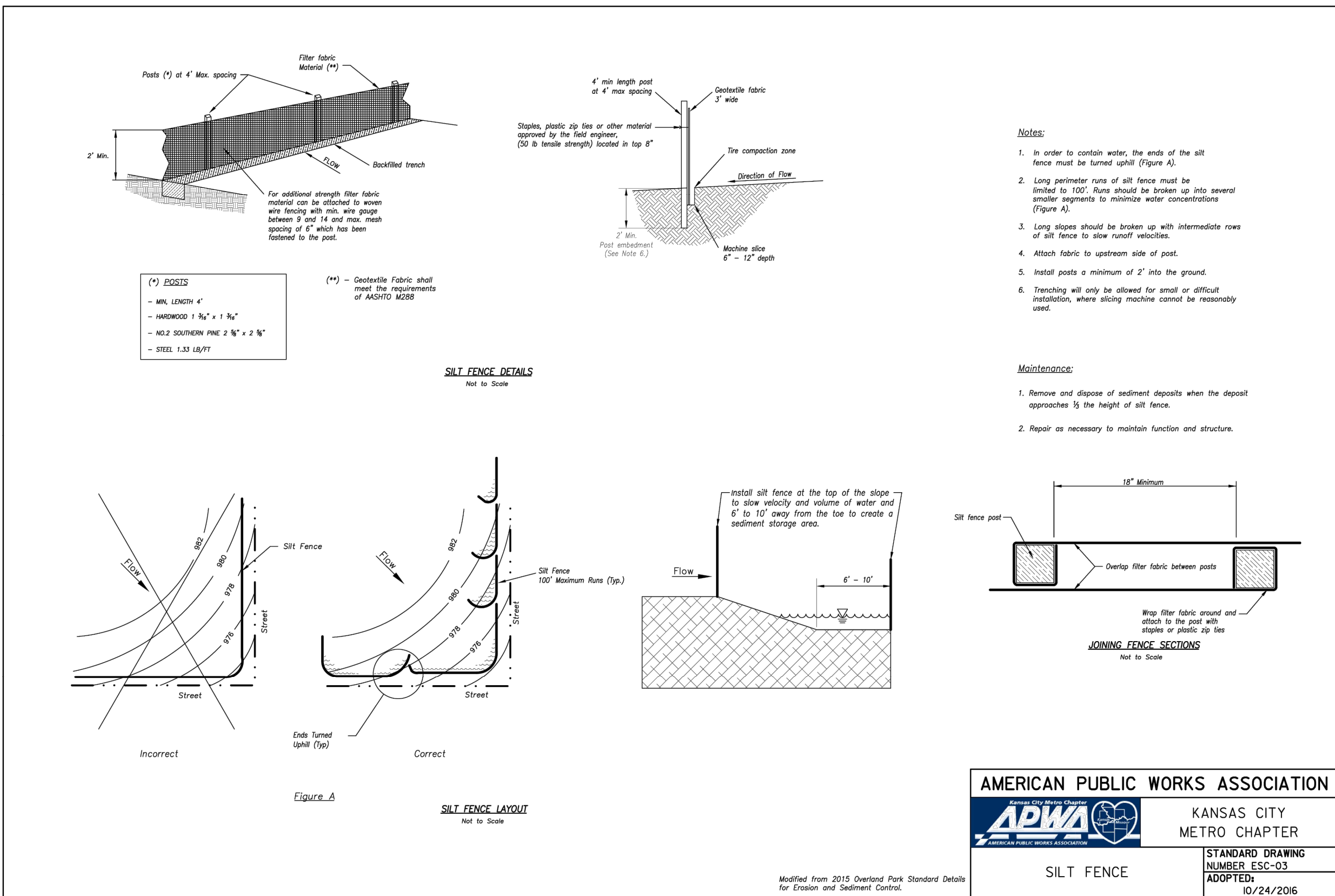
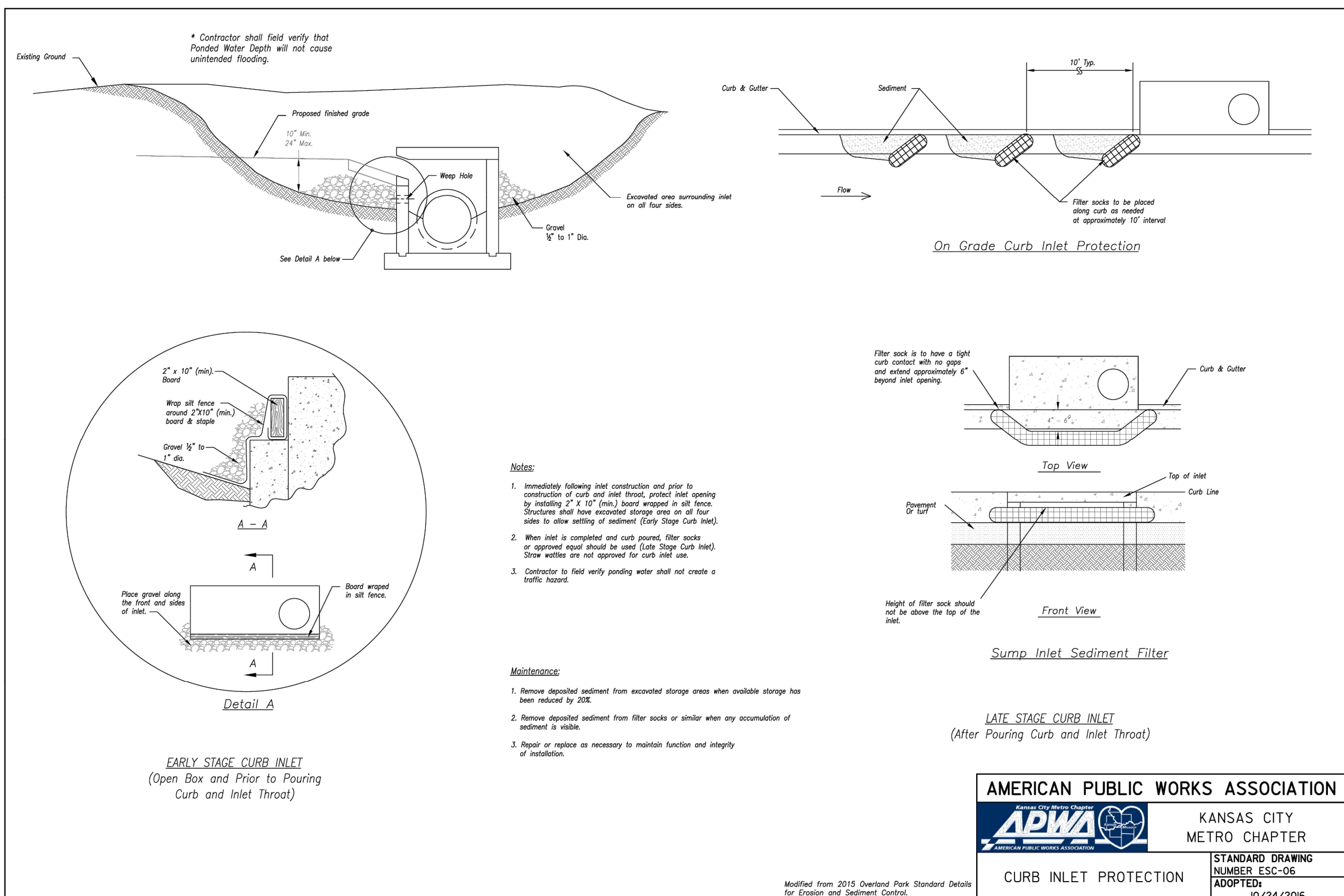
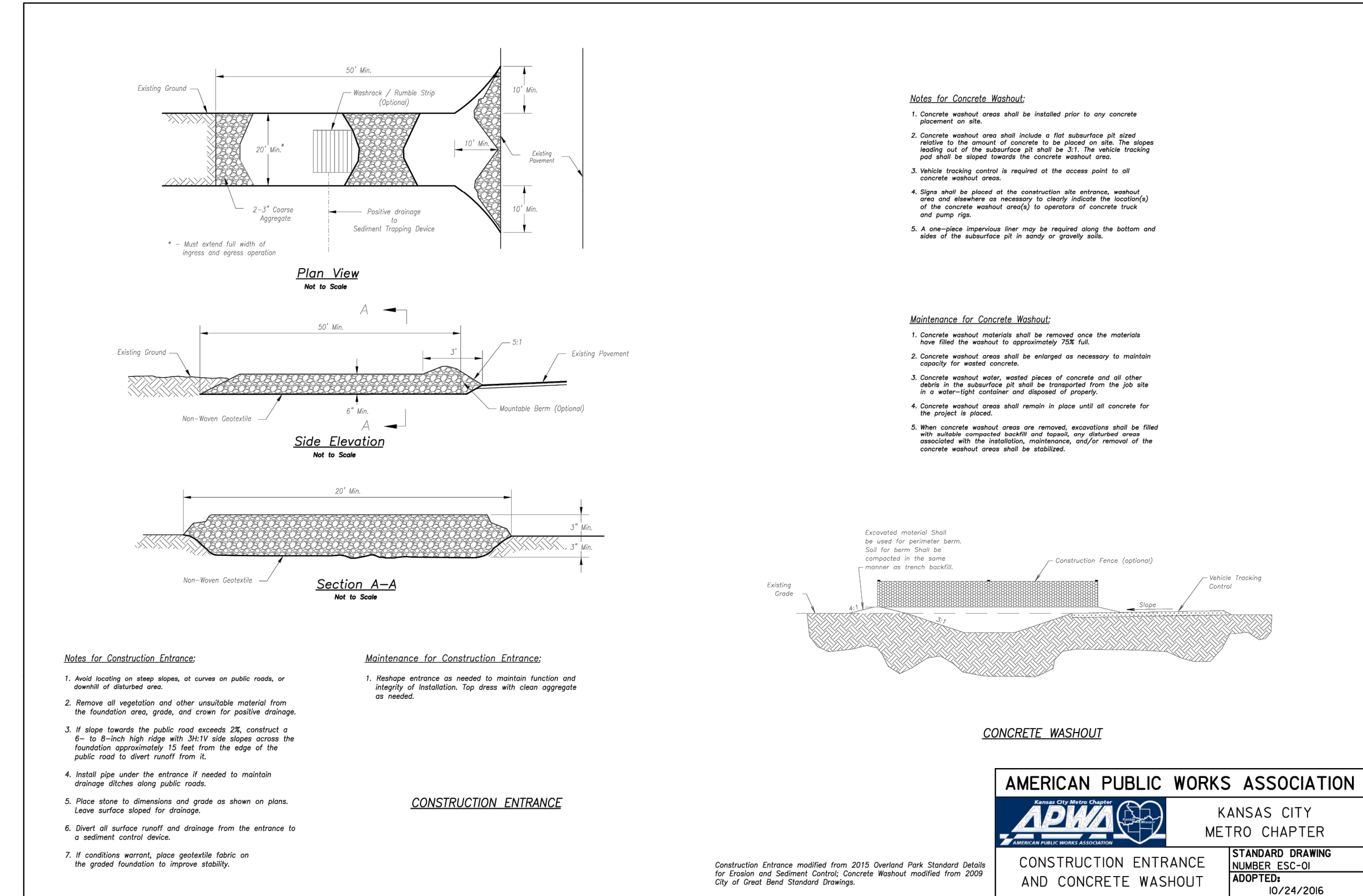
Erosion Control Plan III

drawing number

C10







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project title

**LANSLING TOWNE CENTRE**  
WEST MARY ST & CENTRE DR  
LANSLING, LEAVENWORTH COUNTY, KS 66043

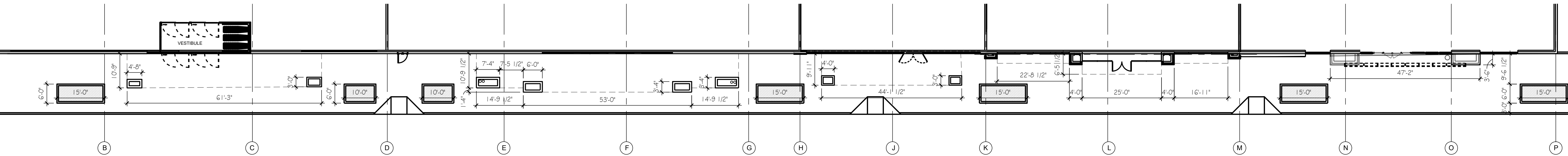
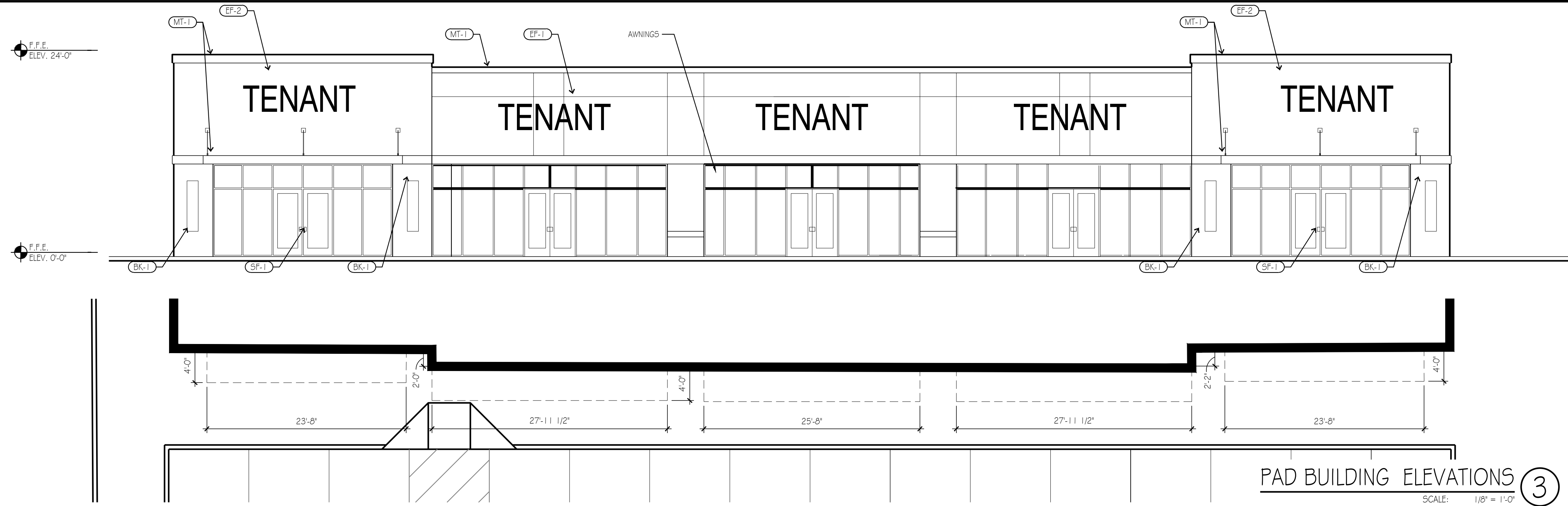
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drawing issuance FDP SUBMITTAL 02.12.2025  
drawing revisions  
No. Description: Date:

professional seal

drawing title Erosion Control Details  
drawing number

C11





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project title

DRIVEN ASSETS, LLC  
LANSING TOWNE CENTRE  
301 CENTRE DR.  
LANSING, KS 66043

project number  
23035.001

drawing issuance  
PDP SUBMITTAL 04.11.25

drawing revisions  
No. Description: Date:

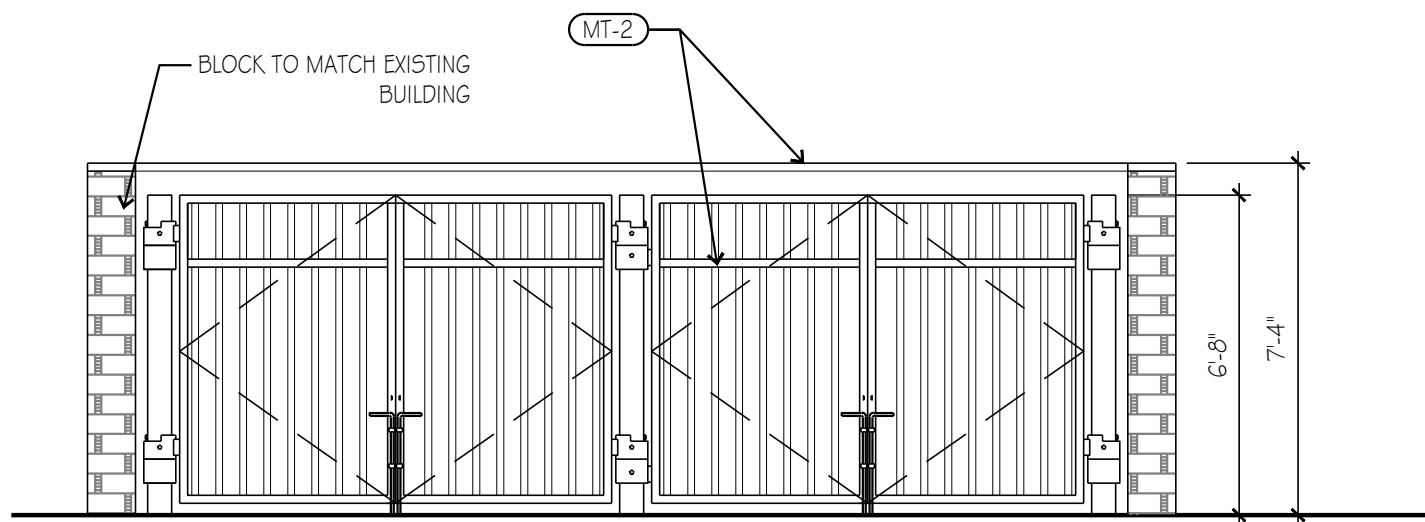
professional seal

drawing title  
EXTERIOR ELEVATIONS

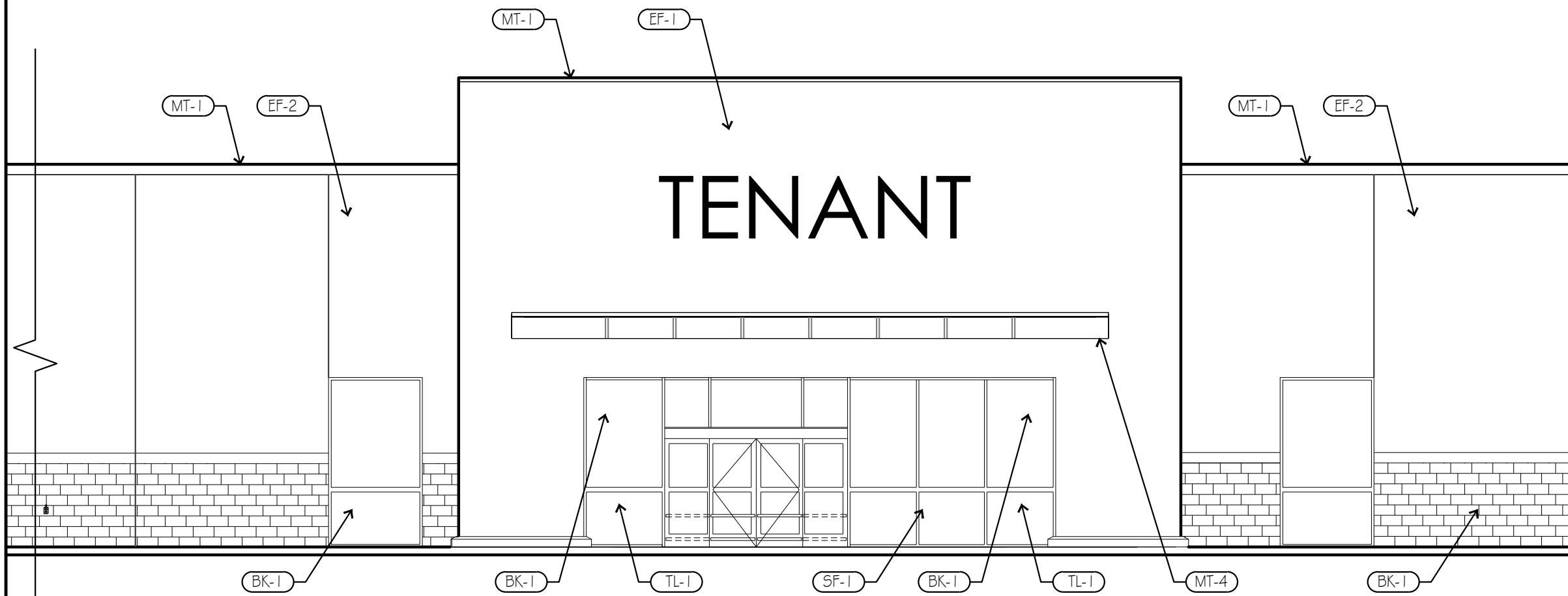
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FINISH LEGEND:

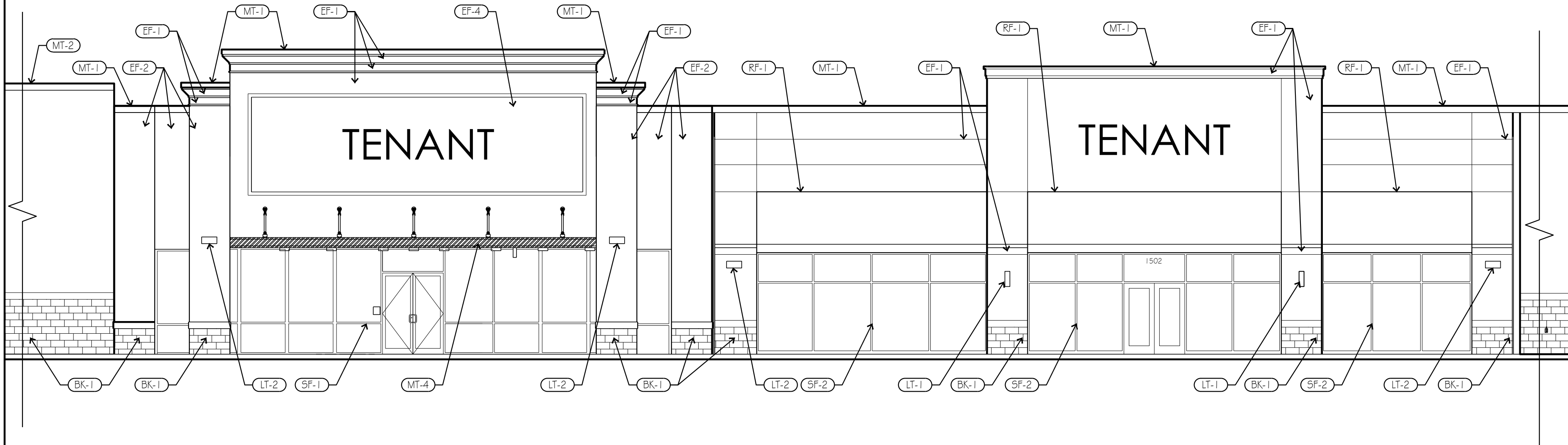
ITEM	DESCRIPTION	MANUF / COLOR	REMARKS
BK-1	CMU BLOCK	BEIGE / TAN	---
EF-1	EIPS	WHITE	WATER DRAINAGE EIPS
EF-2	EIPS	BEIGE	WATER DRAINAGE EIPS
EF-3	EIPS	TAN	WATER DRAINAGE EIPS
EF-4	EIPS	BLUE (MARSHALL'S)	WATER DRAINAGE EIPS
EF-5	EIPS	BLUE (ROSS)	WATER DRAINAGE EIPS
MT-1	METAL PANELS/FLASHING	WHITE	PREFINISHED NON-CORRUGATED METAL
MT-2	METAL PANELS/FLASHING	TAN	PREFINISHED NON-CORRUGATED METAL
MT-3	METAL PANELS/FLASHING	BLUE	PREFINISHED NON-CORRUGATED METAL
MT-4	METAL PANELS/FLASHING	BLACK	PREFINISHED NON-CORRUGATED METAL
MT-5	METAL PANELS/FLASHING	GREY	PREFINISHED NON-CORRUGATED METAL
SF-1	STOREFRONT 1	NEW GREY STOREFRONT	---
SF-2	STOREFRONT 1	NEW BLACK STOREFRONT	---
TL-1	EXTERIOR TILE	GREY	---
LT-1	LIGHT	UP-DOWN WALL SCONCE	---
LT-2	LIGHT	HALO LIT WALL SCONCE	---
RF-1	CANOPY	ORANGE	---
ST-1	STONE	---	---



TYP. TRASH ENCLOSURE ELEVATION ④  
SCALE: 1/4"= 1'-0"

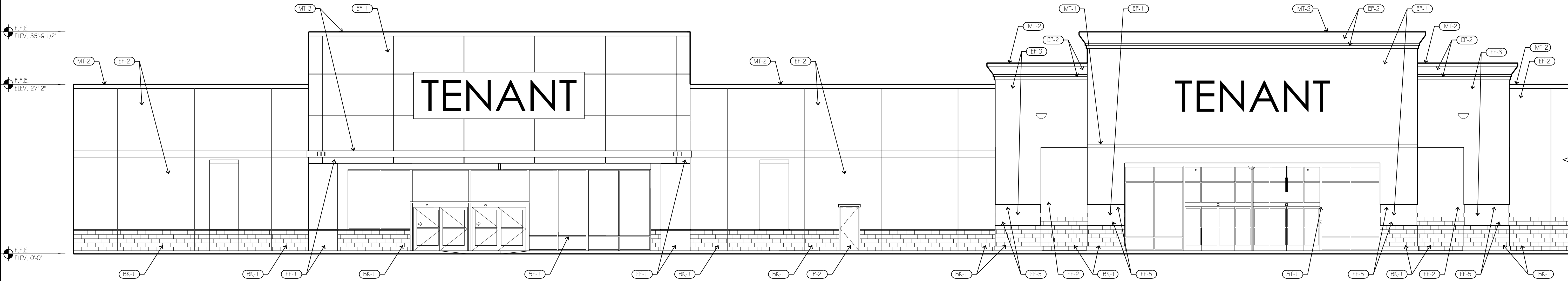


EAST ELEVATIONS ③  
SCALE: 1/8"= 1'-0"



NOT USED ④  
SCALE:

EAST ELEVATIONS ②  
SCALE: 1/8"= 1'-0"



EAST ELEVATIONS ①  
SCALE: 1/8"= 1'-0"



LANDSCAPE CALCULATIONS

Streetscape & Frontage

Required: 1 large tree / 40' of lot frontage

Provided:

W Mary Street (999') = 25 street trees

W Kay Street (686') = 17 street trees

Foundation

Required: 1 ornamental tree & 5 shrubs / 25' building frontage; side elevations on corner lots shall provide this standard on at least 50% of the building

Provided:

Lot 5 (206' bldg frontage) = 8 ornamentals + 42 shrubs

Lot 7 (132' bldg frontage) = 5 ornamentals + 26 shrubs

Parking

Required: 1 large tree / 40' parking perimeter & 1 large tree / 40 parking spaces & 5 shrubs / 25' perimeter

Provided:

Lot 5 (226 stalls + 198' perimeter) = 6 island trees + 5 perimeter trees + 8 shrubs

Lot 6 (90 stalls + 180' perimeter) = 3 parking island trees + 5 perimeter trees + 8 shrubs

Lot 7 (38 stalls) = 1 parking island tree


Lot 8 (3 stalls) = 1 island tree

Lot 9 (18 stalls + 80' perimeter) = 1 parking island tree + 2 perimeter trees + 4 shrubs

CONCEPT PLANT SCHEDULE

 **SHADE TREE**  
2.5" Cal. B&B  
Celtis occidentalis 'Prairie Sentinel' / Prairie Sentinel Hackberry  
Ginkgo biloba 'Princeton Sentry' / Princeton Sentry Ginkgo  
Nyssa sylvatica 'Wildfire' / Black Gum  
Platanus x acerifolia / London Plane Tree  
Quercus bicolor / Swamp White Oak  
Quercus robur 'Regal Prince' / Regal Prince English Oak  
Quercus robur x alba 'Crimschmidt' TM / Crimson Spire Oak  
Zelkova serrata 'City Sprite' TM / City Sprite Zelkova


47

 **ORNAMENTAL TREE**  
1.5" Cal. B&B  
Cercis canadensis 'Forest Pansy' TM / Forest Pansy Redbud  
Magnolia grandiflora 'Brackens Brown Beauty' / Bracken's Beauty Southern Magnolia  
Malus x 'Spring Snow' / Spring Snow Crab Apple


28

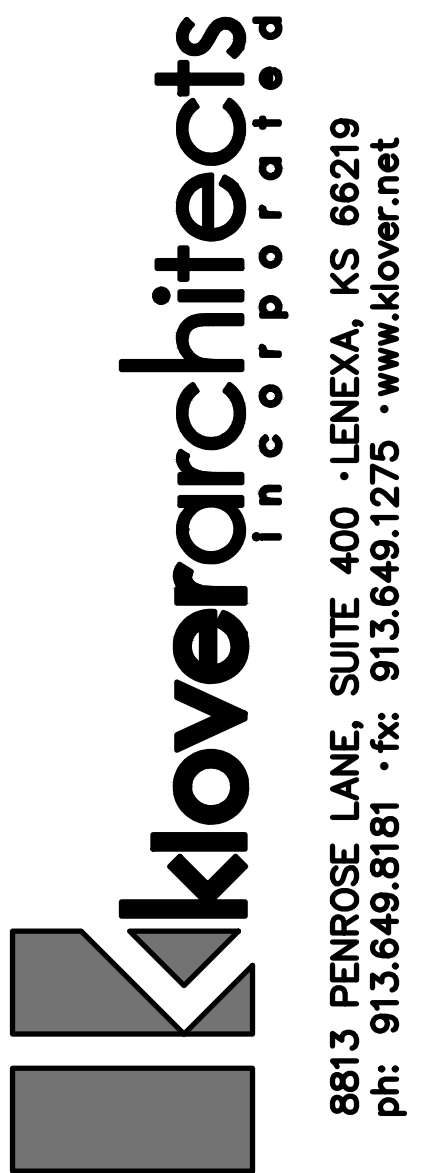
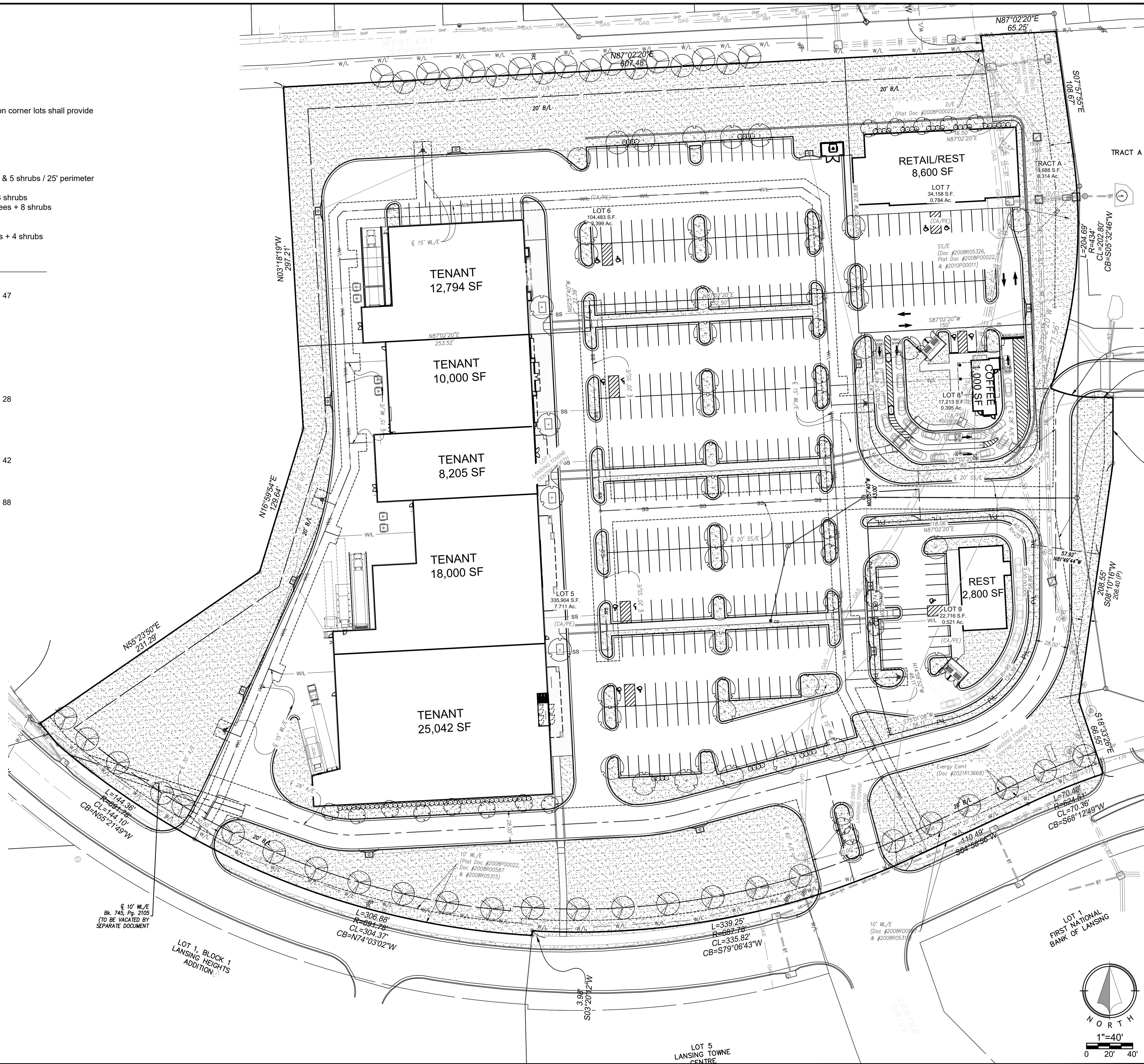
 **STREET TREE**  
2.5" Cal. B&B

42

 **SHRUBS AND GRASSES**  
3-5 Gal. 24" Ht. Min.  
Aronia melanocarpa 'Morton' TM / Iroquois Beauty Black Chokeberry  
Buxus x 'Green Velvet' / Boxwood  
Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass  
Cornus stolonifera 'Arctic Fire' / Arctic Fire Dogwood  
Hypericum frondosum 'Sunburst' / Sunburst Hypericum  
Itea virginica 'Henry's Garnet' / Henry's Garnet Sweetspire  
Juniperus chinensis 'Gold Lace' / Gold Lace Juniper  
Juniperus horizontalis 'Hughes' / Hughes Juniper  
Juniperus scopulorum 'Skyrocket' / Skyrocket Juniper  
Miscanthus sinensis 'Gracillimus' / Maiden Grass  
Miscanthus sinensis 'Morning Light' / Eulalia Grass  
Panicum virgatum 'Haense Herms' / Haense Herms Switch Grass

88

 **TURFGRASS**  
Turfgrass Sod Fescue Mix; RE: Notes / Fescue Sod



project number  
25-0106  
drawing issuance  
FDP SUBMITTAL 02.12.2025  
drawing revisions  
No. Description: Date:

professional seal

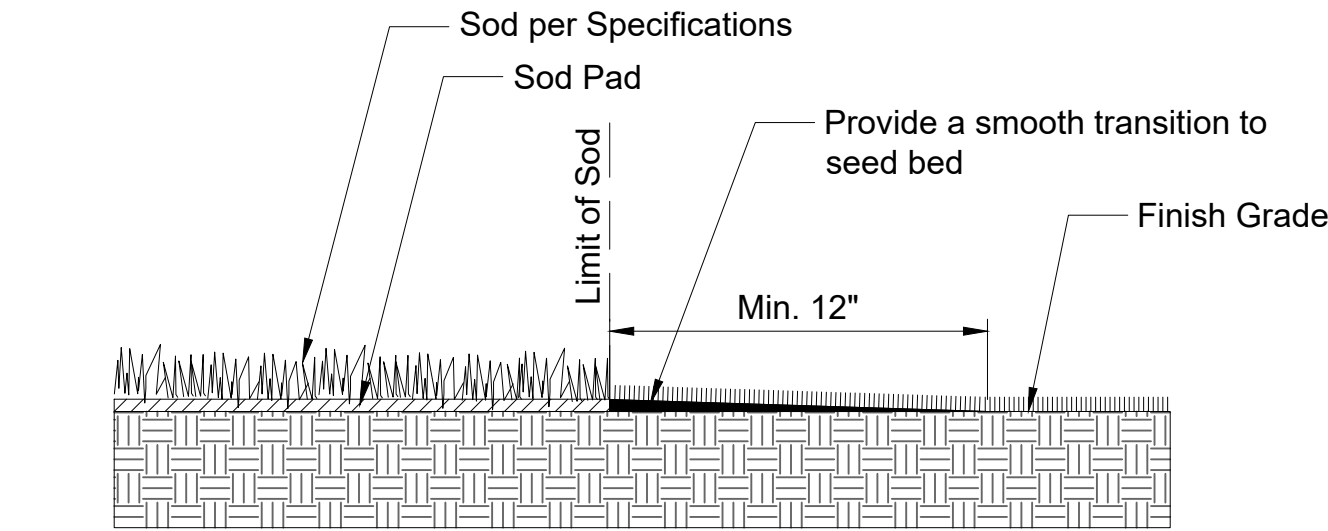
drawing title  
Landscape Plan  
drawing number  
L01



LANDSCAPE NOTES

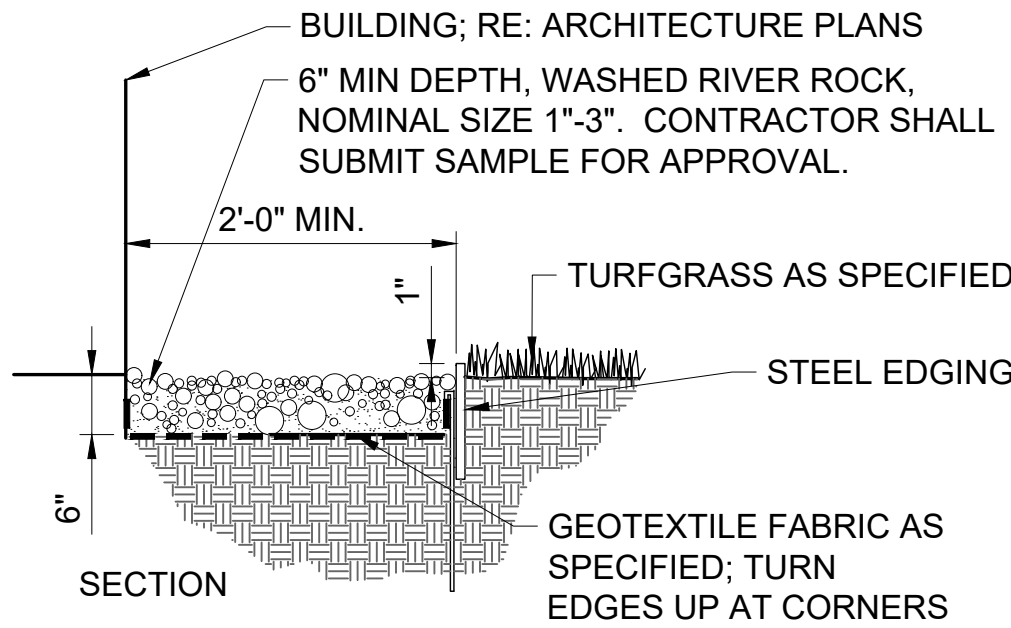
1. LOCATE UTILITIES PRIOR TO COMMENCING LANDSCAPE OPERATIONS. ALL TREES SHALL BE FIELD POSITIONED AS TO AVOID CONFLICTS WITH EXISTING AND PROPOSED UTILITIES. NOTIFY LANDSCAPE ARCHITECT OF ANY CONFLICTS OR OBSTRUCTIONS.
2. CONTRACTOR SHALL STAKE ALL PLANTING AREAS IN THE FIELD PRIOR TO PLANTING FOR APPROVAL OF THE OWNER OR THEIR REPRESENTATIVE.
3. QUANTITIES SHOWN ARE FOR REFERENCE ONLY. CONTRACTOR SHALL VERIFY ALL PLANT QUANTITIES PRIOR TO BIDDING AND SHALL BE RESPONSIBLE FOR ALL QUANTITIES FOR THEIR BID. ANY DISCREPANCIES WITH THE PLAN SHALL BE BROUGHT TO THE ATTENTION OF THE LANDSCAPE ARCHITECT. THE PLAN QUANTITIES SHALL SUPERCEDE SCHEDULED QUANTITIES.
4. PLANT SYMBOLS ON LANDSCAPE PLAN ARE SHOWN AT FULL MATURE SIZE. ACTUAL PLANT SIZES AT INSTALLATION MAY BE SMALLER AND SHALL BE THE MINIMUM PLANTING SIZE SPECIFIED IN PLANT SCHEDULE.
5. ALL PLANT MATERIAL SHALL BE SPECIMEN QUALITY AND SHALL COMPLY WITH RECOMMENDATIONS AND REQUIREMENTS OF ANSI Z60.1 THE 'AMERICAN STANDARD FOR NURSERY STOCK'.
6. ALL PLANTING BEDS & NATIVE GRASS STANDS SHALL BE EDGED AS SHOWN IN PLAN.
7. PREPARE PLANTING BEDS AND INCORPORATE AMENDMENTS ACCORDING TO PLANS.
8. SHREDDED HARDWOOD MULCH, PER SPECIFICATIONS SHALL BE USED AS A THREE INCH (3") TOP DRESSING IN ALL PLANTING BEDS AND AROUND ALL TREES. SINGLE TREES AND SHRUBS SHALL BE MULCHED TO THE OUTSIDE EDGE OF THE SAUCER OR LANDSCAPE ISLAND.

9. ALL TREES SHALL BE STAKED PER DETAIL.
10. ALL PLANT MATERIAL SHALL BE INSTALLED TO ALLOW A ONE FOOT (1') CLEARANCE BETWEEN PLANT AND ADJACENT PAVEMENT.
11. THE LANDSCAPE CONTRACTOR SHALL NOT COMMENCE WORK UNTIL THE SITE IS FREE OF DEBRIS CAUSED BY ON-GOING CONSTRUCTION OPERATIONS. REMOVAL OF DEBRIS SHALL BE THE RESPONSIBILITY OF THE GENERAL CONTRACTOR. LANDSCAPE WORK SHALL NOT BEGIN UNTIL THE LANDSCAPE ARCHITECT AND OWNER HAVE GIVEN WRITTEN APPROVAL FOR SUCH. THERE SHALL BE NO DELAYS DUE TO LACK OF COORDINATION FOR THIS ACTIVITY.
12. THE LANDSCAPE ARCHITECT AND OWNER SHALL APPROVE GRADES AND CONDITION OF SITE PRIOR TO SODDING/SEEDING OPERATIONS.
13. ALL AREAS DISTURBED DURING CONSTRUCTION AND NOT DESIGNATED FOR OTHER PLANTINGS OR HARDSCAPE SHALL BE SODDED WITH TURF TYPE FESCUE.
14. ALL LANDSCAPE AREAS SHALL BE IRRIGATED. TURF AREAS SHALL BE IRRIGATED BY SPRAY OR ROTOR. PLANT BEDS SHALL BE IRRIGATED BY DRIP IRRIGATION. IRRIGATION SYSTEM SHALL INCLUDE AUTOMATIC RAIN-SENSOR DEVICE. IRRIGATION SHOP DRAWINGS SHALL BE PROVIDED BY THE CONTRACTOR FOR APPROVAL PRIOR TO CONSTRUCTION.
15. ALL DECORATIVE GRAVEL SHALL BE INSTALLED OVER GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).



- NOTES:
1. CONTRACTOR SHALL PROVIDE A SMOOTH TRANSITION FROM SODDED AREAS TO SEEDED AREAS.

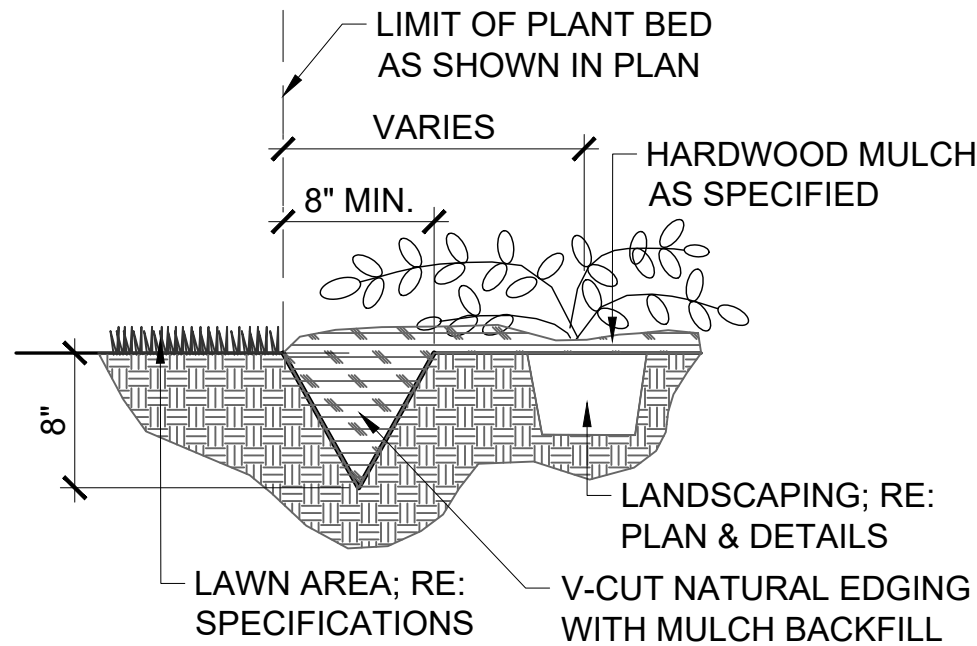
SEED TO SOD TRANSITION DETAIL



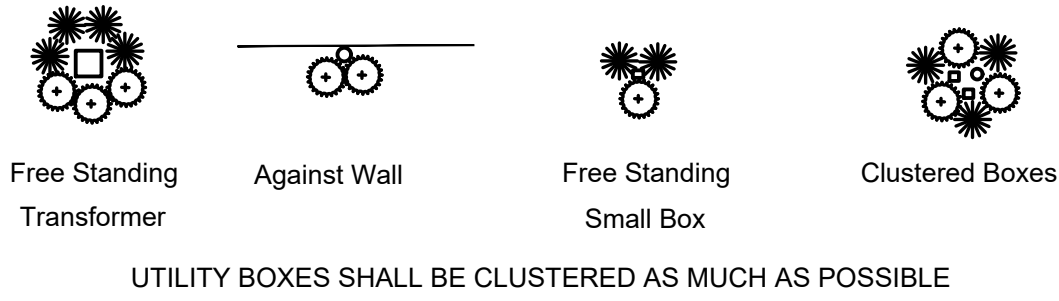
- NOTES:
1. SET ALL EDGING 1" ABOVE FINISH GRADE AS SHOWN.
  2. EDGING SHALL ABUT ALL CONCRETE CURBS AND WALKS PERPENDICULAR AND FLUSH WITH TOP OF CONCRETE
  3. ALL JOINTS SHALL BE SECURELY STAKED
  4. CONTRACTOR SHALL CUT TOP EDGES AS NEEDED TO BE PARALLEL WITH GRADE.
  5. ALL GRAVEL SHALL BE INSTALLED OVER A GEOTEXTILE FABRIC (MIRAFI 140N OR APPROVED EQUAL).
  6. GRAVEL SHALL BE APPROVED BY OWNER PRIOR TO INSTALLATION. FILTER FABRIC SHALL NOT BE VISIBLE AFTER GRAVEL INSTALLATION.

MOW EDGE DETAIL - NTS

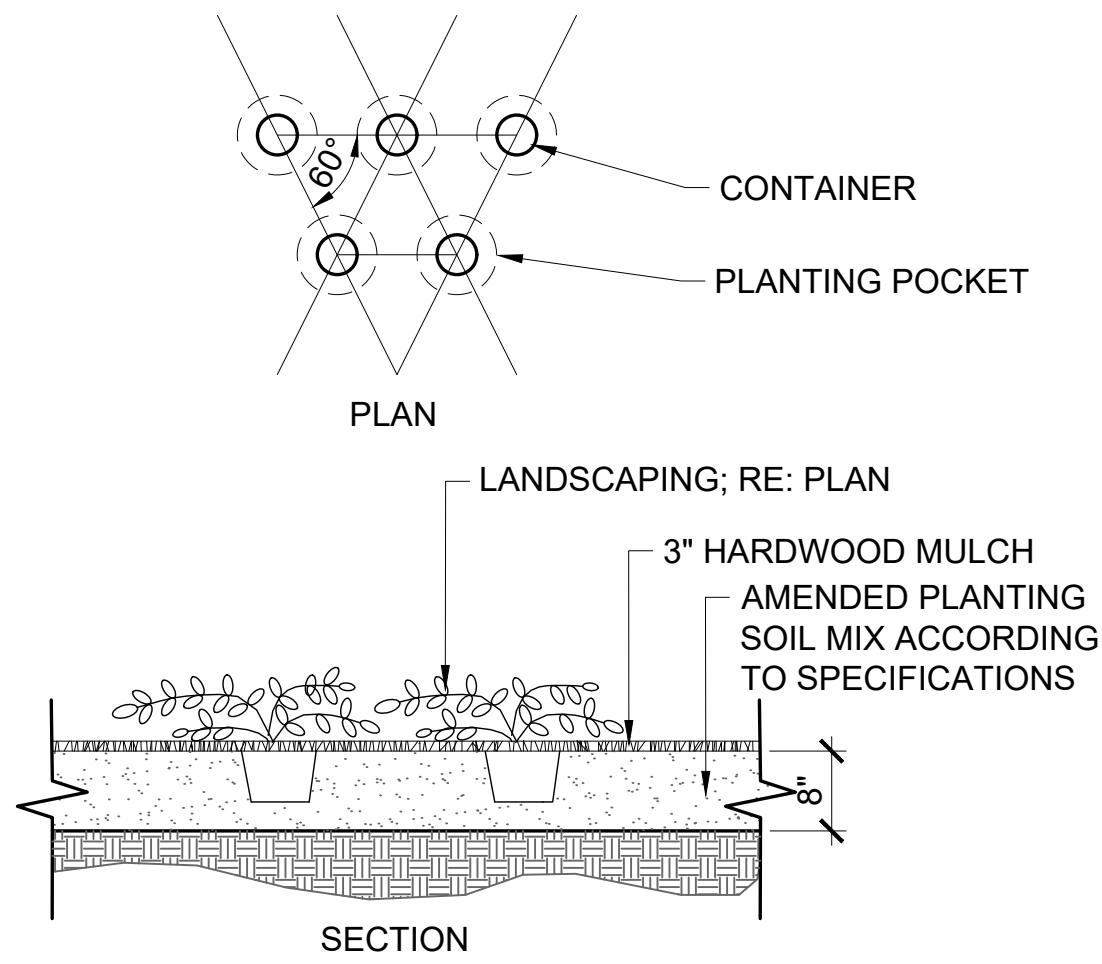
- NOTES:
1. CONTRACTOR SHALL LOCATE AND MARK ALL PLANTBED LOCATIONS PRIOR TO EXCAVATING FOR FINAL APPROVAL BY OWNER OR LANDSCAPE ARCHITECT.
  2. TRANSITION TO MULCH CONTAINMENT DETAIL AT ALL LOCATIONS ADJACENT TO CURBS & SIDEWALKS. RE: DETAIL, THIS SHEET.
  3. CONTRACTOR TO VERIFY ALL UTILITY LOCATIONS PRIOR TO TRENCHING OR LANDSCAPE INSTALLATION.



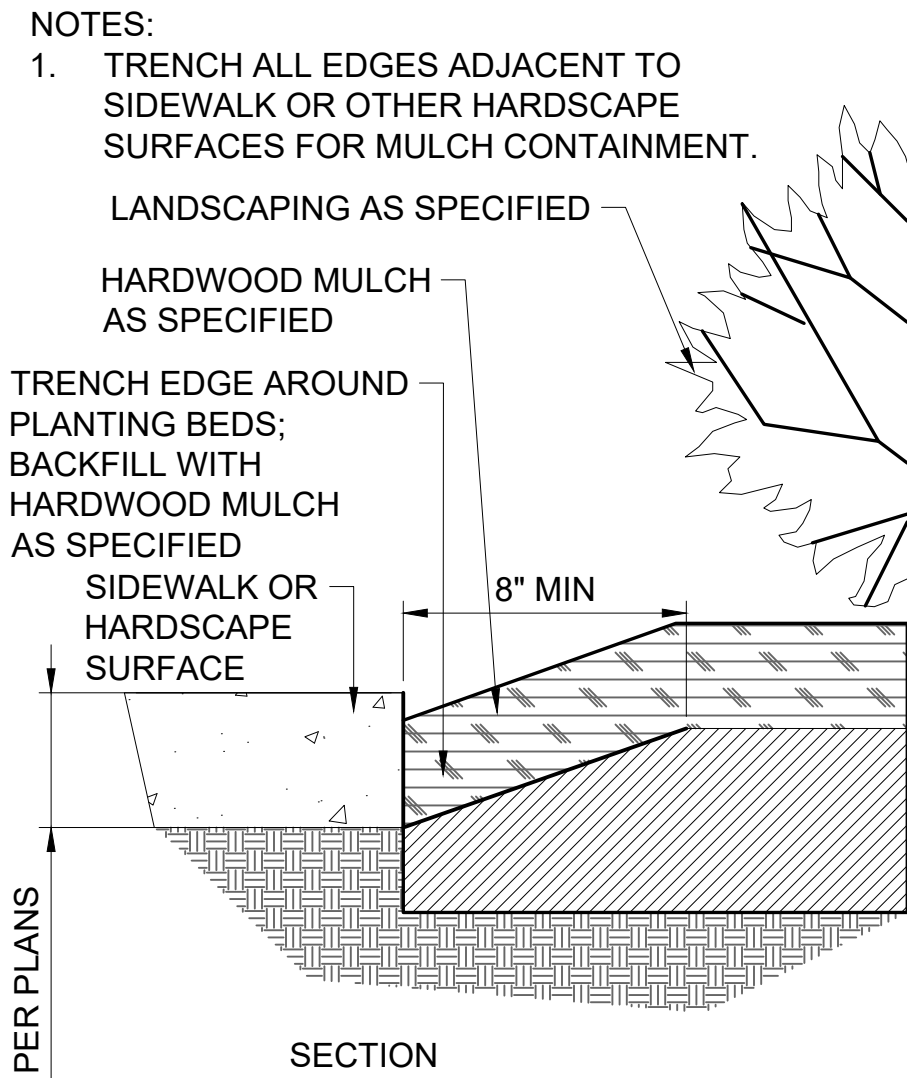
V-CUT NATURAL EDGE DETAIL - NTS



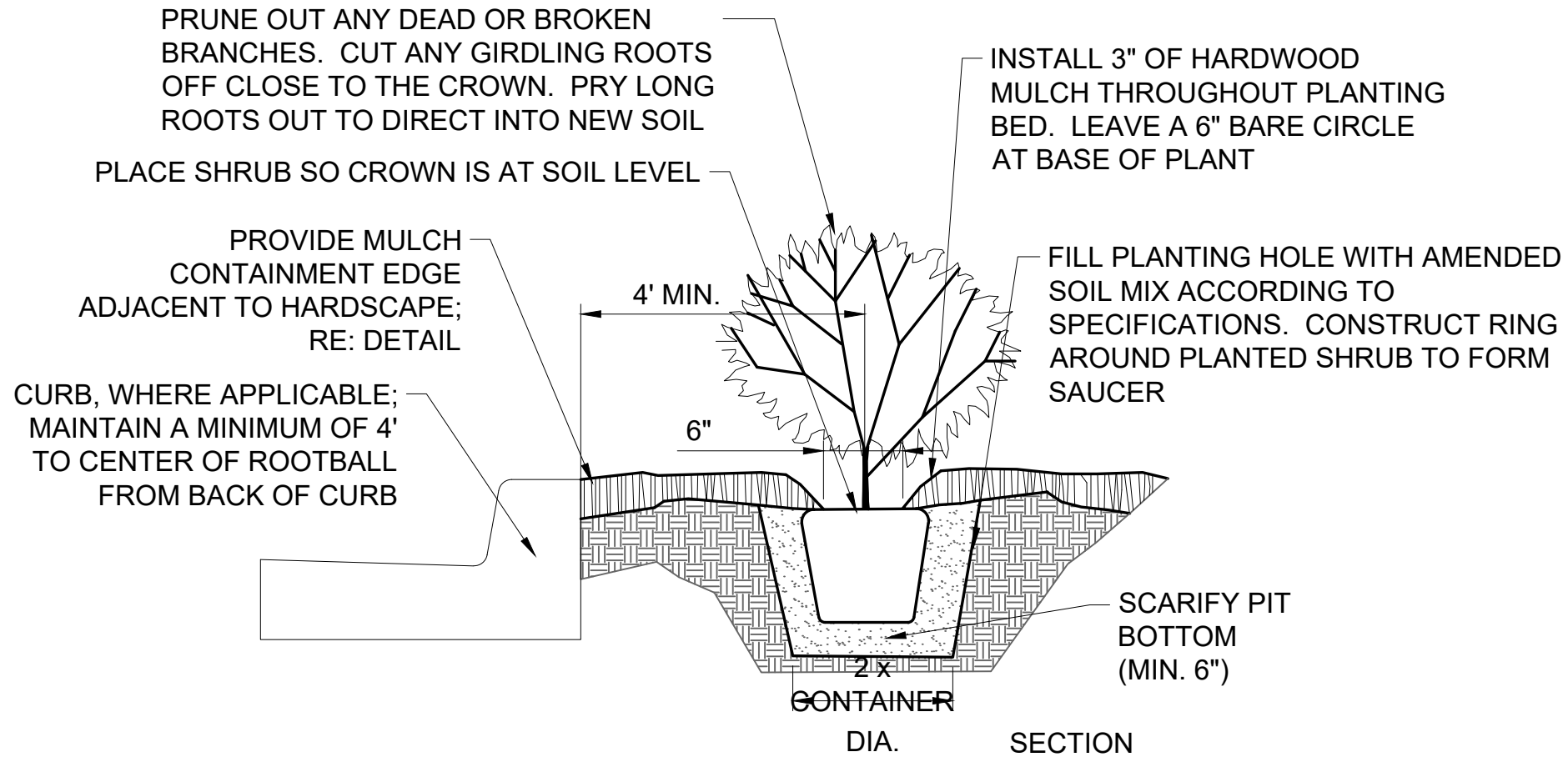
TYPICAL UTILITY BOX SCREENING DETAILS - NTS



CONTAINER PLANTING DETAIL - NTS

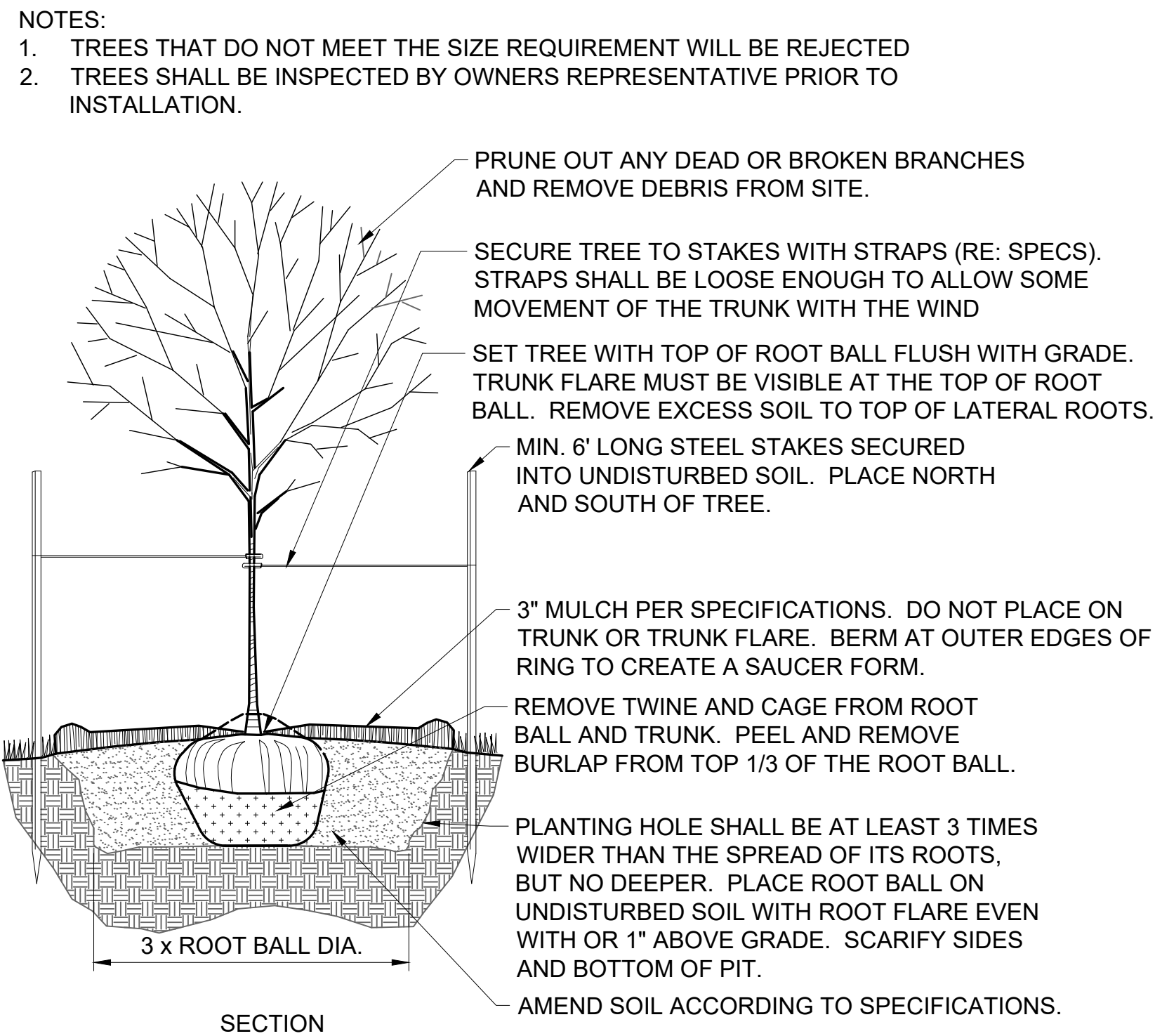


MULCH CONTAINMENT DETAIL - NTS



- NOTES:
1. REFER TO SPECIFICATIONS FOR TOPSOIL BACKFILL MIX.
  2. CONTRACTOR TO WATER THOROUGHLY AFTER PLANTING
  3. INSTALLATION TO BE IN ACCORDANCE WITH PLANTING SPECIFICATIONS
  4. WHERE ADJACENT TO CURB, MAINTAIN THE MINIMUM OFFSET SHOWN. FOR SHRUBS LARGER THAN 4' MATURE DIAMETER, PROVIDE A GREATER OFFSET EQUAL TO 1/2 OF THE MATURE DIAMETER MINIMUM.

SHRUB PLANTING DETAIL - NTS



DECIDUOUS TREE PLANTING DETAIL - NTS