

PLANNING COMMISSION JULY REGULAR MEETING

Council Chambers, 800 1st Terrace, Lansing, KS 66043
Wednesday, July 20, 2022 at 7:00 PM

AGENDA

CALL TO ORDER

ROLL CALL / QUORUM ANNOUNCEMENT

OLD BUSINESS

1. Approval of Minutes, June 15, 2022, Regular meeting

NEW BUSINESS

2. **Site Plan Case SP-2022-3**

The Applicant proposes to demolish the existing 3,400 sq. ft. building and construct one new building for a new Vehicle / Equipment Service and Repair – General (vehicle oil change facility) use on the site. The building to be constructed with this site plan is a twenty-foot-tall single-story structure that is 1,415 sq. ft.

NOTICES AND COMMUNICATIONS

REPORTS - Commission and Staff Members

- Commission Members
- Director, Community & Economic Development
- Director, Public Works / City Engineer
- Director, Wastewater Utility
- Building Inspector, Community & Economic Development

ADJOURNMENT

For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. If you require any special assistance, please notify the Community and Economic Development Director prior to the meeting.



PLANNING COMMISSION JUNE REGULAR MEETING

Council Chambers, 800 1st Terrace, Lansing, KS 66043
Wednesday, June 15, 2022 at 7:00 PM

MINUTES

CALL TO ORDER-

The regular June meeting of the Lansing Planning Commission was called to order by Chairman Jake Kowalewski at 7:00 p.m.

ROLL CALL / QUORUM ANNOUNCEMENT-

In attendance were Chairman Jake Kowalewski, Commissioners Nancy McDougal, Janette Labbee-Holdeman, Richard Hannon and Jerry Gies. Chairman Kowalewski noted that there was a quorum present.

OLD BUSINESS-

1. Approval of Minutes, May 18, 2022, Regular Meeting

Motion was made by Commissioner Janette Labbe-Holdeman to approve the minutes as written and motion was seconded by Commissioner Nancy McDougal. Motioned passed 5-0.

NEW BUSINESS-

2. Site Plan Case SP-2022-2

The Applicant proposes to construct one building for a new medical office (Dental) use on the site. The building to be constructed with this site plan is a twenty-six-foot-tall single-story structure that is 3,524 sq. ft. The site plan does show the ability to expand this building in the future, as well as a potential additional building in the future to the east of the proposed building.

Commissioner Janette Labbee-Holdeman expressed concern regarding the detention basin being so far from the property and asked if there will be any underground water system to run it off. Mr Schmitz stated that the site plan shows an underground water sewer and explained where it runs off. The area was designed with the development being developed in mind and meets the requirements of public works. Commissioner Jerry Gies stated that a lot of the pipe is already built, to that Mr Schmitz stated that it is and since it sits in a drainage easement it just needs to tie into the curb, without having to have permission from the property owner. Mr. Schmitz stated that the biggest concern that was addressed with the applicant was the sanitary sewer line, but it's for the future building and it can be relocated when the future building is done. This current project meets all the requirements.

Mr. Schmitz stated that the preference of the city staff is that the sidewalk be connected and extended now, for the future project. Commissioner Nancy McDougal confirmed that the plans do show the sidewalk. The applicant is aware that the sanitary sewer tie-in needs to be 6 inches rather than 4 inches, due to it being a commercial project. Mr. Schmitz stated that the landscaping may need to shift a little to keep it away from the sanitary sewer. The trees on the west will likely be in a utility easement, so they will want to look at which utilities are there, during the construction process.

Commissioner Janette Labbee-Holdeman also shared concerns about the lack of sidewalks to the dental office itself, and Mr. Schmitz confirmed that there are sidewalks in front of the parking lot, as well as the West side that tie into all three access points to the building.

Commissioner Jerry Gies made a motion to accept the site plan with conditions within the staff report and the addition of the future sidewalk, and it was seconded by Commissioner Janette Labbee- Holdeman. Motion passed 5-0.

NOTICES AND COMMUNICATIONS- None

REPORTS: Commission and Staff Members-

Commissioner Janette Labbee-Holdeman had concerns with the water runoff, just North of 724 Desoto Rd since they built the new house. There is a constant running of water over the sidewalk in that area, and she shared concerns about deterioration underneath and possible future expenses for the city. Mr. Schmitz suggested that she speak with Mr. Spickelmier, Director of Public Works. Mr. Schmitz stated that Kansas Gas service believes they hit a spring of some sort, causing the water to come forth.

ADJOURNMENT-

Commissioner Nancy McDougal made a motion to adjourn, and it was seconded by Commissioner Jerry Gies. Meeting was adjourned by acclamation at 7:15 pm.

For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. If you require any special assistance, please notify the Community and Economic Development Director prior to the meeting.

Respectfully submitted,

Melissa Baker, Secretary

Reviewed by,

Matthew R. Schmitz, MPA – Director, Community and Economic Development



Planning Commission Staff Report

July 20, 2022

Site Plan Case SP-2022-3
Take 5 Oil Change
1112 N. Main St.

Project Facts

Applicant

High Tide Consultants, LLC
Ricky Galloway

Address

1112 N. Main St.

Property ID

094-18-0-30-06-002.00-0

Zoning

B-3 Regional Business District

Future Land Use

Commercial

Land

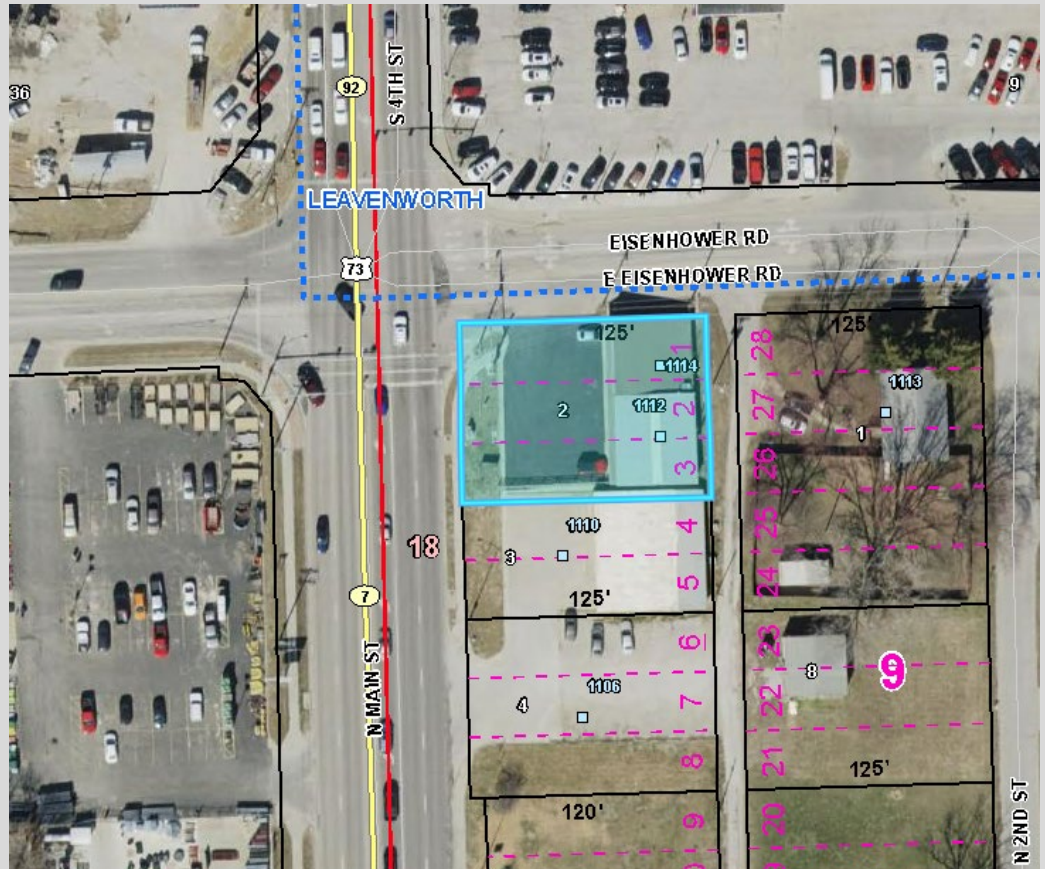
11,452.42 SF (0.26 acres)

Building

Existing: 3,400 SF
Proposed: 1,415 SF Total

Requested Approvals

Site Plan



Project Summary

The Applicant proposes to demolish the existing 3,400 sq. ft. building and construct one new building for a new Vehicle / Equipment Service and Repair – General (vehicle oil change facility) use on the site. The building to be constructed with this site plan is a twenty-foot-tall single-story structure that is 1,415 sq. ft.

This is an existing developed lot with a building on it that was constructed in 1960 according to Leavenworth County records. The plan includes the site work, landscaping, parking lot improvements, building construction and other appurtenances to the project. Approval of this Site Plan would authorize staff to issue a building permit for the project upon completion of review for compliance with building codes, subject to any conditions added during the approval process at the Planning Commission meeting.

Building elevations are included below, and an overall site plan is attached to this report.

Summary of Open Items

Staff identified the following open items that require further discussion at the Planning Commission meeting. Please see the remainder of this report for more information on each open item.

Community & Economic Development Department

1. Outstanding items from the Site Plan Review are noted in the body of the report below.

Public Works Department & City Engineer

1. Stormwater items as noted in body of report below.

Wastewater Department

1. Wastewater items as noted in body of report below.

Open Items – Community & Economic Development Department

Site Plan Application items

The Community & Economic Development Director has reviewed the site plan for conformance with the site plan requirements as outlined in the Unified Development Ordinance (UDO), as well as the Site Plan Application, and found the following items of concern:

The Director reviewed this site plan application for the following:

1. In general, any site plan in compliance with all requirements of this code shall be approved.
 - *See comments below.*
2. In making a determination of compliance, or for site plans accompanying any discretionary review or administrative relief, the review body shall consider whether:
 - The site is capable of accommodating the buildings, proposed use, access, and other site design elements required by the code and will not negatively impact the function and design of rights-of-way or adjacent property.
 - *The site appears to be capable of accommodating the proposed development based on the Unified Development Code. An official review of building feasibility regarding drainage and grading plans will be conducted by the Public Works Department during the review of construction documents.*
 - The design and arrangement of buildings and open spaces is consistent with good planning, landscape design and site engineering principles and practices.
 - *Article 4: The proposed use aligns with the article's definition of "Vehicle / Equipment Service and Repair – Limited", an allowed use under the current B-3 zoning district. The site plan complies with General Development Standards of Table 4-1 of the UDO.*
 - *Article 5: The Site Plan & Elevations comply with the "Terrace" frontage type application – Setback of 10ft on K-7 (west elevation) and 24ft on Eisenhower (north elevation). For the B-3 Zoning designation, this frontage type is indicated as "preferred", with applicability based on surrounding development pattern, street section designs, and site plan. The proposed use, existing context along K-7, and small lot size make full compliance with the standards of the Terrace frontage type challenging, specifically with regard to Massing & Composition standards. Since this is an automobile-service use, entryways are limited to the east elevation (rear-facing) and the applicant has attempted to meet the intent of the Massing & Façade Composition standards in Table 5-6 through the application of service bays on the north elevation and faux windows with awnings and landscaping screening (Emerald Green Thuja) along the west elevation.*

- *Article 6: The Landscape Plan complies with Article 6 planting requirements.*
- *Article 7: The site plan complies with Article 7: Access & Parking Standards. The site plan meets the intent of the driveway access width requirements provided in Table 7-2: Driveway Width, with a unique circulation pattern that splits the entrance and access locations. The wide curb radius and lack of proposed sidewalk along Eisenhower is problematic, but this is a unique site condition. Ideally, either the City or applicant would improve the side street to the City Standard for the right-of-way in this area. However, the more viable option would be to treat this as a deficient existing condition. The ability to establish and connect sidewalks along Eisenhower is limited due to the location of utilities and other limitations within the site and right-of-way. The applicant has proposed a connection of the 5ft sidewalk into the reconstructed parking lot though, which helps to reinstate the current level of pedestrian facilities to the site.*
- *Article 8: Lacking information. The proposed placement and size of the Freestanding monument sign along K-7 generally meets the standards of Table 8-2: Sign Allowances. The application proposes two signs each of 25 s.f. in area spaced sufficiently from one another, but the overall requirements of the code will only allow placement of one sign. Staff recommends that the sign along K-7, which meets the 10ft setback requirement from the street be the single monument sign allowed on the property. It is worth pointing out that this sign will be limited to a maximum height of 6' due to its proximity to the street.*

Additional wall signage is indicated on the elevation drawings, amounting in an unclear number of signs. It is noted that signage will be permitted separately from the site plan process, which is correct as it would be reviewed during the building plan submittal and approval process. If approved, the applicant must agree in writing to comply with any standards regarding signs and specifically outlined for Wall Signs in Table 8-2: Sign Allowances:

- *Number: 2 signs per tenant with exterior entrance (multi-tenant building) – otherwise 3 per façade maximum.*
 - *Total Area Allowance: 10% of façade area maximum.*
- The architecture and building design use quality materials and the style is appropriate for the context considering the proportion, massing, and scale of different elements of the building.
 - *The proposed architectural style and building materials appear to be appropriate for the site, which is located in the broader context of the K-7 corridor. The elevation drawings and landscape screening attempt to meet the intent of Article 5.03 Commercial Design Standards.*
 - The overall design is compatible to the context considering the location and relationships of other buildings, open spaces, natural features, or site design elements.
 - *The proposed development is compatible with the current context of the K-7 corridor.*
 - Whether any additional site-specific conditions are necessary to meet the intent and design objectives of any of the applicable development standards.
 - *No additional conditions are necessary at this time.*
2. The application meets the criteria for all other reviews needed to build the project as proposed.
 - *Official review is underway by other appropriate City Departments, including Public Works and Wastewater. Fulfillment of all criteria as outlined in the UDO will be required before a building permit can be issued for this project.*
 3. The recommendations of professional staff.
 - *Staff recommends approval of this site development plan, subject to the conditions listed in this report.*

Open Items – Public Works Department

Site Plan Application items

The Public Works Director / City Engineer has reviewed the site plan for conformance with City requirements and found items of discussion as shown on the attached marked up Site Plan. Items of specific note:

- Compliance with the City's no net increase policy is still under review as a stormwater / hydrology report needs to be completed.
- A Traffic Impact Study needs to be prepared and submitted to show that no adverse effects will occur for the K-7 corridor nor Eisenhower. This report will also be shared with KDOT for review.
- The alleyway to the east side of the proposed project should be improved as part of this project, especially since it will be utilized for entrance to the site.
- Other minor comments shown on the plans.

Open Items – Wastewater Department

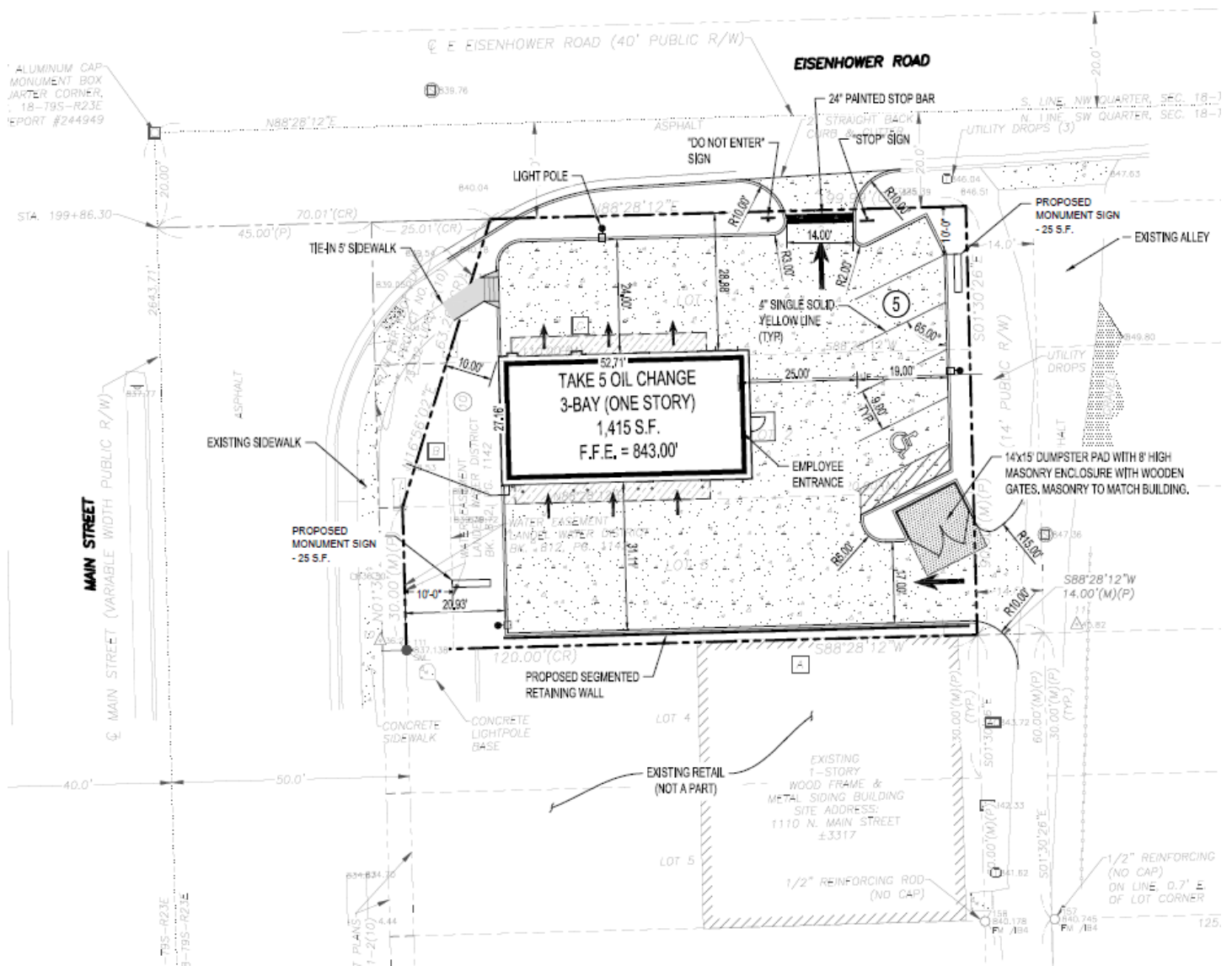
Site Plan Application items

The Wastewater Director has reviewed the site plan for conformance with City requirements and found items of discussion as shown on the attached marked up Site Plan. Items of specific note:

- Plumbing code only requires cleanouts on the service line every 100'.
- How will the drainage inside the building be handled? Will there be drainage pits inside the building that are connected to the sewer system – thereby creating a need for a grease / oil separator to protect the City's infrastructure?
- Lateral design should be reconsidered – Wye's are not permitted fittings and a cleanout located in the alley would likely not mix well with snow removal operations / etc.

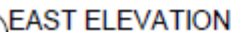
Building Site Plan

Below is the building Site Plan that shows the location of the buildings on the lot:



Below are the building elevations:





Acknowledgments

The following City of Lansing staff members reviewed this project and provided information for this report:

- Matthew R. Schmitz, MPA – Director, Community & Economic Development
- Michael Spickelmier, P.E – Director, Public Works / City Engineer
- Anthony Zell, Jr., MBA – Director, Wastewater
- Abby Kinney – Planning Consultant, Gould Evans

Notice of City Codes

The Applicant is subject to all applicable City codes within the Municipal Code – whether specifically stated in this report or not – including, but not limited to, the Unified Development Ordinance, Buildings Codes, City of Lansing Technical Specifications and Standard Details, and Sign Code. The Applicant is also subject to all applicable Federal, State, and local laws.

Recommendation

Staff recommends approval of Project # SP-2022-03, Site Plan for Take 5 Oil Change, subject to the following conditions:

1. Outstanding items listed in this Staff Report from reviewing staff must be addressed; and
2. All plans must be resubmitted with corrections as shown in this staff report and accompanying markups.

List of Reviewed Plans

[illegible]

HC	Hightide Consultants LLC.
BHC	BHC Civil Engineering / Surveying / Utilities
CRA	Childrey Robinson Associates



Site Plan Application

Date: 06/20/2022

Applicant / Owner

Applicant Name: Ricky Galloway
 Address: 434 N. Columbia St. - Suite 200A
 City, State, Zip: Covington, LA, 70433
 Phone: 985-446-1110 Ext. 1005
 Email: ricky@hightidela.com

Owner Name: BERGMAN, BRUCE A & JOLENE K
 Address: 2511 WESTWOOD DR
 LEAVENWORTH, KS 66048
 City, State, Zip: ,
 Phone:
 Email:

Architect

Name: High Tide Consultants, LLC
 Address: 434 N. Columbia St., Suite 200A
 City, State, Zip: Covington, LA 70433

Contact: Ricky Galloway
 Phone: 985-446-1110 Ext. 1005
 Email: ricky@hightidela.com

Project

Site Address: 1114 N MAIN ST
 City, State, Zip: LANSING, KS 66043
 Parcel: 052-094-18-0-30-06-002.00-0
 Current Zoning: B-3 Regional Business District

Project Name: Take 5 Oil Change
 Proposed Use: Vehicle / Equipment Service and Repair - General
 Property Size: .27
 Proposed Zoning: B-3 Regional Business District

Legal:

Project Description: Raze of current building and construction of Take 5 Oil Change

I do hereby certify that the information contained herein is true and correct.

Richard Galloway

Name

06/20/2022

Date

PROPOSED
TAKE 5 OIL CHANGE
1114 NORTH MAIN STREET
LANSING, KANSAS

Reviewed By CED
07/14/2022 11:16:39 AM
By mschmitz

Reviewed By PW
07/12/2022 1:29:39 PM
By mspickelmier



VICINITY MAP
N.T.S

SHEET INDEX

- | | | |
|----|-------|----------------------|
| 1. | COVER | COVER SHEET |
| 2. | | SURVEY (1 of 2) |
| 3. | | SURVEY (2 of 2) |
| 4. | ES-1 | EROSION CONTROL PLAN |
| 5. | D-1 | DEMOLITION PLAN |
| 6. | C-1 | SITE PLAN |
| 7. | C-2 | GRADING PLAN |

Reviewed By WW Dept
07/12/2022 9:26:21 AM
By T Zell

Comment Need TIS and
Stormwater / Hydrology
report(s) See comments
on pages

NOTE:

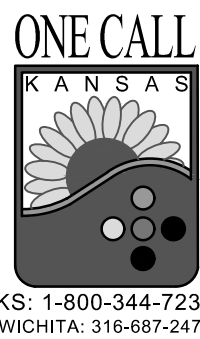
- THIS PROJECT IS TO BE CONSTRUCTED WITHIN THE JURISDICTIONAL BOUNDARIES OF THE CITY OF LANSING
- UNLESS OTHERWISE NOTED ALL IMPROVEMENTS SHALL COMPLY WITH THE CITY OF LANSING STANDARD SPECIFICATIONS AND DRAWINGS.

AND THE UNIFIED DEVELOPMENT ORDINANCE

LANSING

DEVELOPER


DRIVEN ASSETS, LLC
5910 N. CENTRAL EXPRESSWAY, SUITE 1600
DALLAS, TX 75206



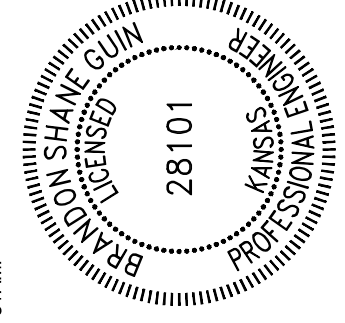
KS: 1-800-344-7233
WICHITA: 316-687-2470

REVISION	BY

HIGH TIDE
CONSULTANTS LLC
434 N. COLUMBIA ST, SUITE 200A
COVINGTON, LA 70433
www.hightidela.com


SIGNATURE

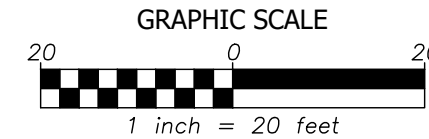
JULY 11, 2022
DATE


STAMP

PROPOSED TAKE 5
LANSING, KANSAS

FOR DRIVEN ASSETS, LLC
5910 N CENTRAL EXPRESSWAY
SUITE 1600
DALLA, TX 75206

DRAWN KRG
CHECKED RCG
ISSUED DATE 06/20/2022
ISSUED FOR SITE PLAN APPLICATION
PROJECT NO. 22-116
FILE 22-116 COVER
SHEET COVER

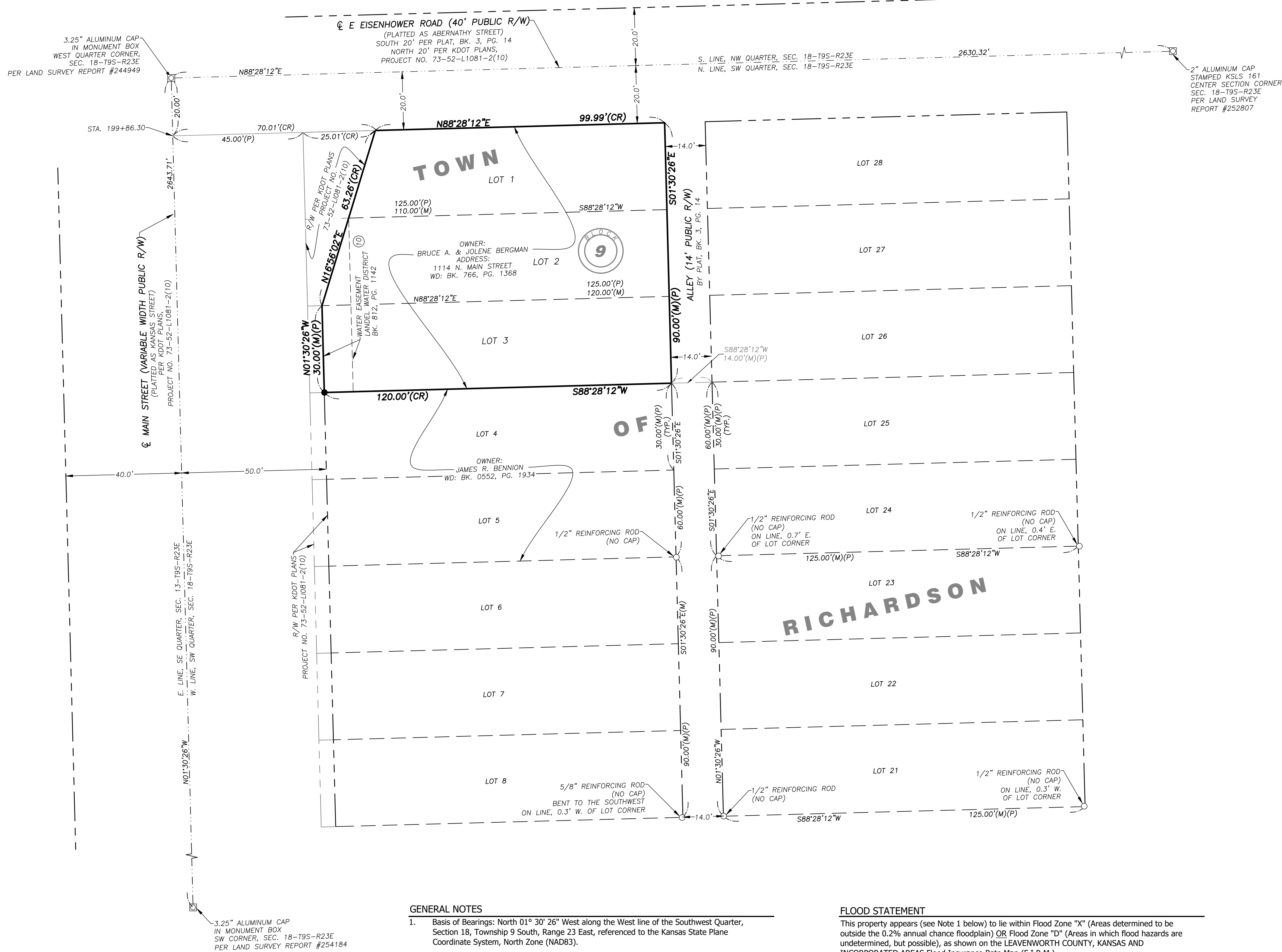
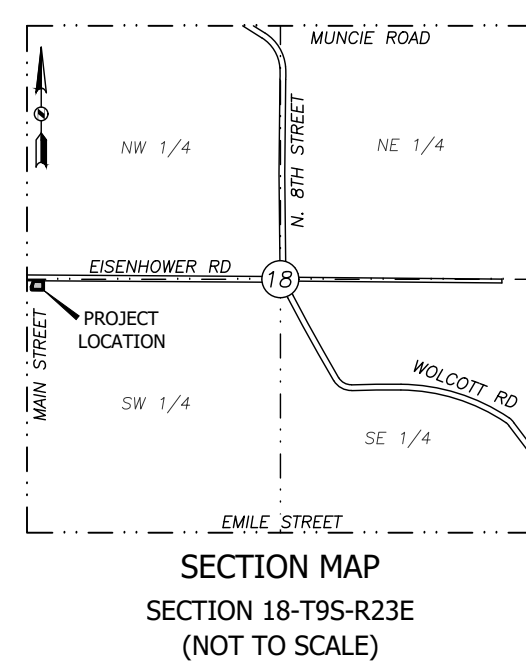


- Set Survey Monument
(1/2" Reinforcing Rod
w/cap: KS CLS 175) unless
otherwise noted
- Found Survey Monument
- ☒ Found Survey Monument in Box
- ⊙ Center Line
- R/W Right-of-Way
- (M) Monumented
- (P) Platted
- (CP) Calculated from Record Dimensions
- BK. Book
- P.G. Page
- ⌋ Not To Scale

ALTA / NSPS LAND TITLE SURVEY
LOTS 1-3, BLOCK 9, TOWN OF RICHARDSON
A SUBDIVISION IN THE CITY OF
LANSING, LEAVENWORTH COUNTY, KANSAS

H COUNTY, KANSAS

DRAFT



TITLE COMMITMENT

Commitment Number: NCS-1123902-KCTY
Commitment Date: April 05, 2022 at 8:00 AM
First American Title Insurance Company
1201 Walnut Street, Suite 700
Kansas City, MO 64106
Ph: (816) 410-7911

TITLE COMMITMENT DESCRIPTION	
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LOTS ONE (1), TWO (2), AND THREE (3), BLOCK NINE (9), TOWN OF RICHARDSON, CITY OF LANSING,
LEAVENWORTH COUNTY, KANSAS.

NOTES CORRESPONDING TO SCHEDULE B EXCEPTIONS

Items 1 through 7, 12, and 13 are standard exceptions or are not plottable survey matters and are not addressed hereon. Item 11 is a statement rather than exceptions and are not addressed hereon.

- (8) Easements, restrictions, reservations, building set-back lines, notes and access limitations which are shown by the plat recorded in Plat Book 3, Page 14

The plat this item refers to is TOWN OF RICHARDSON

EASEMENTS:

-The plat does not depict any easements in the subject property.

RESTRICTIONS:

-No restrictions are shown or listed on the plat.

BUILDING SETBACK LINES:

-The plat does not depict any building setback lines in the subject property.

ACCESS LIMITATIONS:

-No access limitations are shown or listed on the plat.

- 9 Coal and Mineral Rights as stated in Warranty Deed recorded November 26, 1906 in Book 130, Page 248. Provided document is not legible. This document may or may not affect the subject property.
- 10 Right of Way granted to LanDel Water District of Leavenworth County filed June 20, 2001, recorded in Book 812, Page 1142. This water easement lies within the Southwest portion of the subject property and is plotted hereon.

ALTA / NSPS TABLE A NOTES

Optional Table A items not addressed below are addressed on the map or under other headings hereon.

9. No clearly identifiable parking spaces were found on the subject property at the time of survey.
10. There are no party walls within the subject property.
16. There was no evidence of recent earth moving work, building construction, or building additions observed while conducting the field work for this survey.

SURVEYOR'S NOTES

1. This surveyor has made no search at the county Register of Deeds office or searched court documents for easements, vacations, Right-of-Way acquisitions, condemnations, court decrees or encumbrances that may affect this property. The aforementioned items shown herein, are based entirely upon the title commitments cited above. If any other easements, vacations, Right-of-Way acquisitions, condemnations, court decrees or encumbrances affect this property their existence is unknown to this surveyor and are therefore not shown.

SURVEYOR'S CERTIFICATION

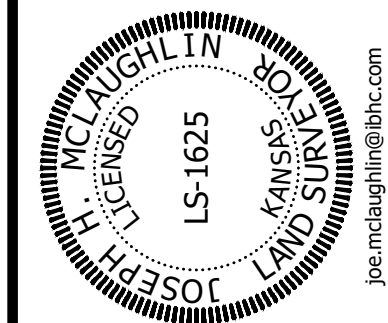
To DA Properties LLC, a limited liability company and First American Title Insurance Company

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 2, 3, 4, 5, 7(a), 8, 9, 10, 13, and 16 of Table A thereof. The fieldwork was completed on May 13, 2022.

Date of Plat or Map: XXXXXX XX, XXXX

See Title Block for date, seal and signature.

KS CLS 175
Joseph H. McLaughlin, LS-1625

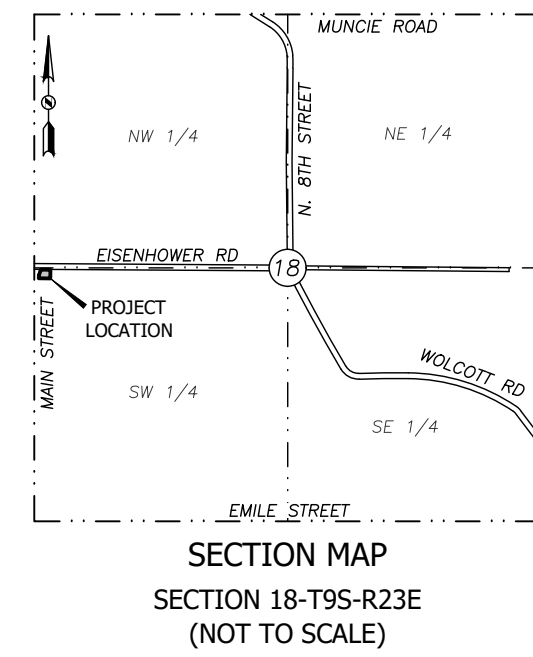
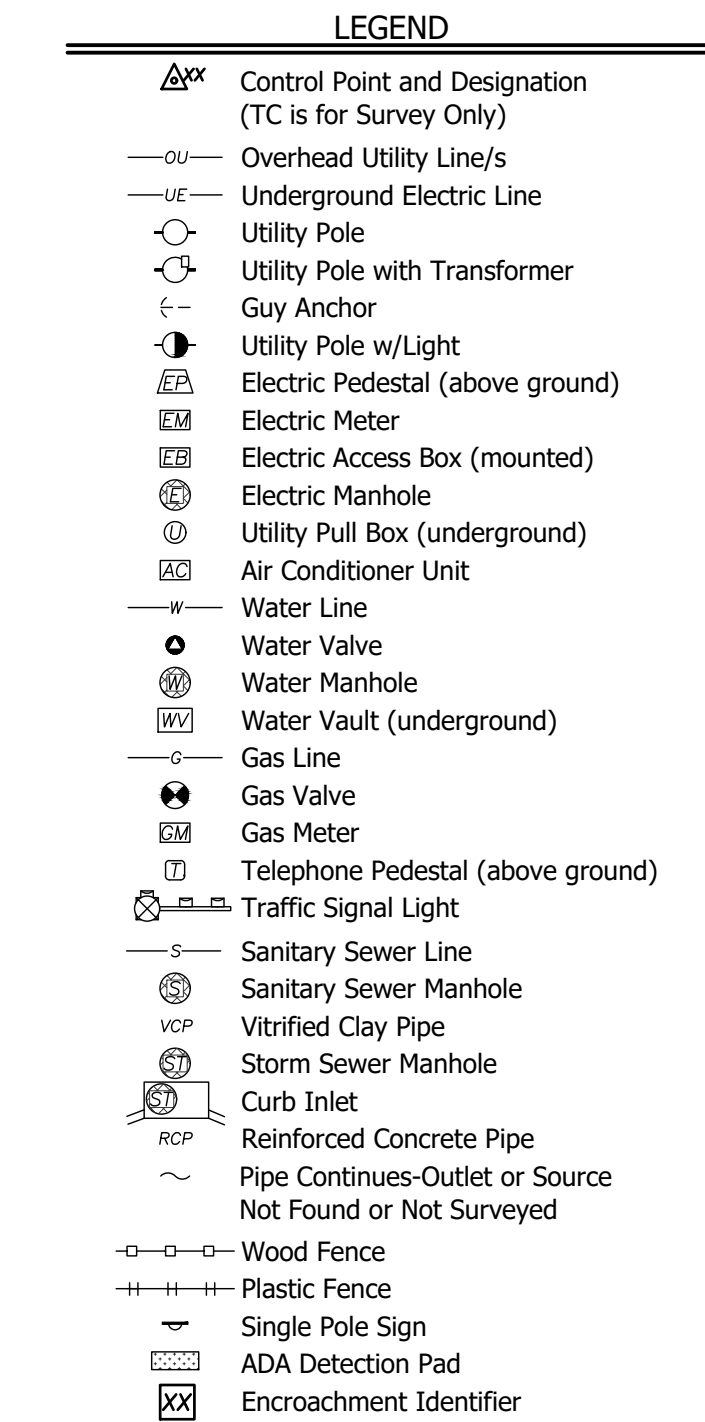
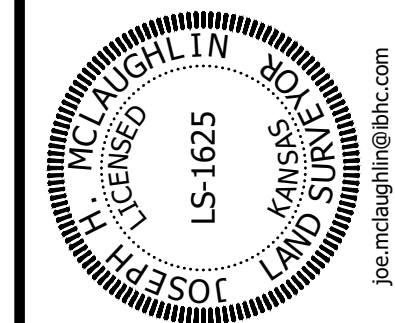
[illegible]

HIGH TIDE CONSULTANTS, LLC
434 N. COLUMBIA STREET,
SUITE 200A
COVINGTON, LA 70433

ALTA / NSPS LAND TITLE SURVEY
LOTS 1-3, BLOCK 9
TOWN OF RICHARDSON
A SUBDIVISION IN LANSING,
LEAVENWORTH COUNTY, KANSAS

Project No:	033460
Field Crew:	ZL/KB
Field Date:	2022/05/13
Drawn By:	GJW
Issue Date:	2022/05/19
Sheet:	

DRAFT

[illegible]

HIGH TIDE CONSULTANTS, LLC
434 N. COLUMBIA STREET,
SUITE 200A
COVINGTON, LA 70433

Client:

ALTA / NSPS LAND TITLE SURVEY
LOTS 1-3, BLOCK 9
TOWN OF RICHARDSON
A SUBDIVISION IN LANSING,
LEAVENWORTH COUNTY, KANSAS

Project:	
Project No:	033460
Field Crew:	ZL/KB
Field Date:	2022/05/13
Drawn By:	GJW
Issue Date:	2022/05/19
Sheet:	

A A building at address 1110 North Main Street, crosses the South line of the subject property, lies up to 0.3 feet North of said South line and is dimensioned hereon.

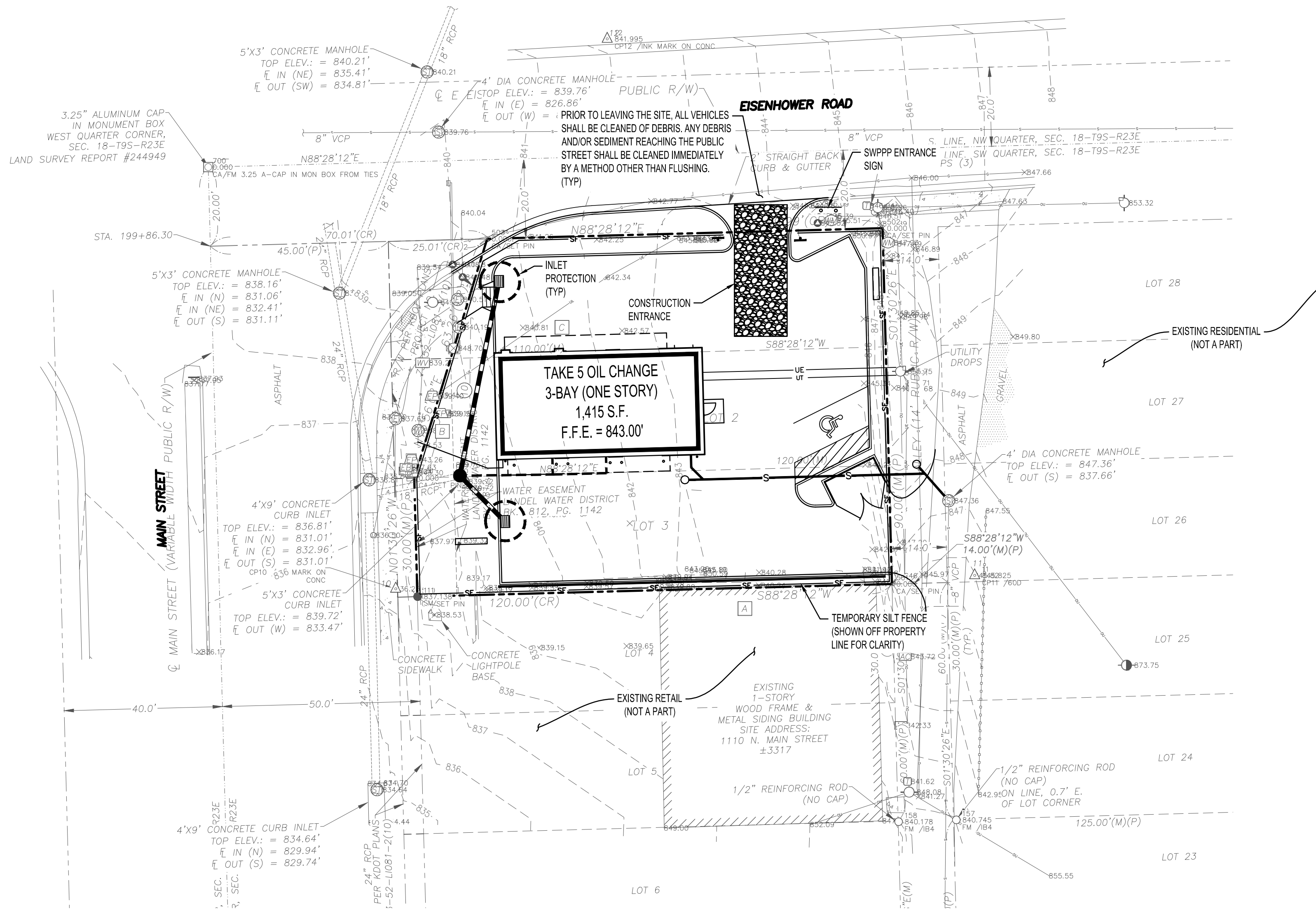
B An electric pedestal and electric meter lies up to 2.5 feet East of the West line of the subject property with no known easement and is dimensioned hereon.

C An underground electric line lies up to 25.2 feet Southeast of the Northwest corner of the subject property with no known easement and is dimensioned hereon.

The figure contains three circular diagrams, each representing a different structure with a 1/2 inch reinforcing rod w/CP Cap.

- CP 10:** A circle with a center point labeled "CENTER OF A UTILITY PULL BOX". A line from the center to the bottom edge is labeled "49.18\"". A line from the center to the top-left edge is labeled "14.68\"". A line from the center to the top-right edge is labeled "29.80\"". The top-right edge is labeled "SW CORNER OF A GRATE INLET". The bottom edge is labeled "NE CORNER OF A GRATE INLET".
- CP 11:** A circle with a center point labeled "C. OF A MANHOLE". A line from the center to the top edge is labeled "20.01\"". A line from the center to the bottom-left edge is labeled "57.43\"". A line from the center to the bottom-right edge is labeled "2.37\"". The bottom-left edge is labeled "SOUTH FACE OF A POWER POLE". The bottom-right edge is labeled "WEST FACE OF A WOOD FENCE".
- CP 12:** A circle with a center point labeled "C. OF A STORM MANHOLE". A line from the center to the top edge is labeled "46.29\"". A line from the center to the bottom-left edge is labeled "23.75\"". A line from the center to the bottom-right edge is labeled "1.42\"". The top edge is labeled "EDGE OF ASPHALT WEST BOUND KAW DRIVE SHOULDER". The bottom-right edge is labeled "BACK OF CURB".

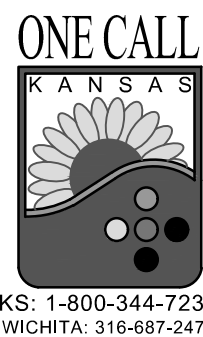
PROJECT CONTROL TABLE (NAD83 KANSAS STATE PLANE, NORTH ZONE, US SURVEY FOOT)				
POINT NO.	CONTROL POINT/ BENCHMARK DESCRIPTION	NORTHING COORDINATE	EASTING COORDINATE	ELEV.
10	CP10 /INK MARK ON CONC	354953.40	2189931.32	836.23'
11	CP11 /60D	354956.78	2190077.68	845.82'
12	CP12 /INK MARK ON CONC	355092.46	2189984.79	842.00'



EROSION CONTROL LEGEND

- CONSTRUCTION ENTRANCE
- INLET PROTECTION
- ROCK CHECK DAM
- TEMPORARY SILT FENCE
- PERMANENT RIP-RAP
- STORM DRAIN PIPE

REFER TO SURVEY SHEETS FOR
LEGEND OF EXISTING FEATURES



KS: 1-800-344-7233
WICHITA: 316-687-2470

Not For Construction

EROSION
CONTROL PLAN



REVISION	BY

HIGH TIDE

CONSULTANTS LLC

434 N. COLUMBIA ST, SUITE 200A

COVINGTON, LA 70433

www.hightidela.com

SIGNATURE

JULY 11, 2022

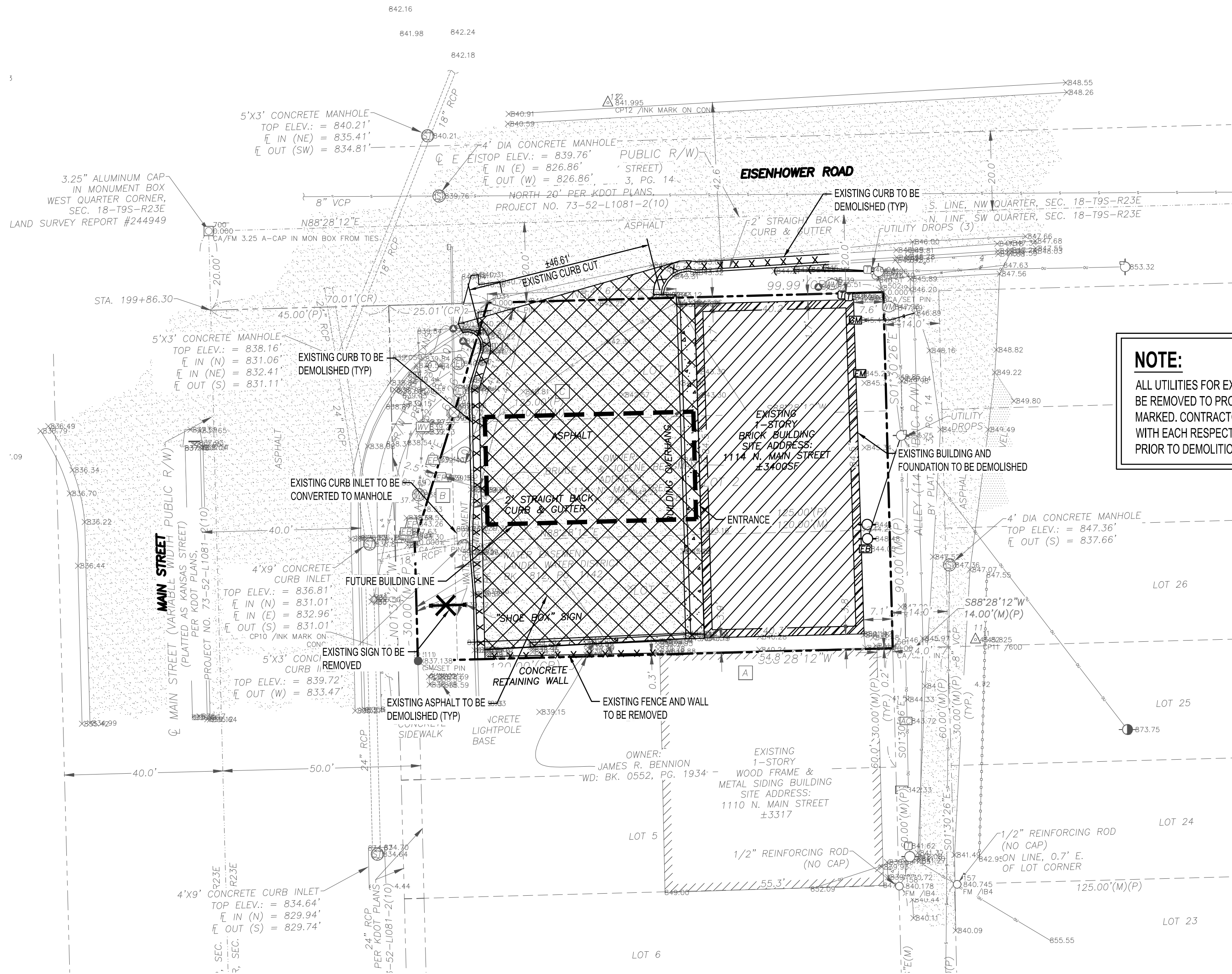
DATE

STAMP

PROPOSED TAKE 5
LANSGING, KANSAS

FOR DRIVEN ASSETS, LLC
5910 N CENTRAL EXPRESSWAY
SUITE 1600
DALLA, TX 75206

DRAWN KRG
CHECKED RCG
ISSUED DATE 06/20/2022
ISSUED FOR SITE PLAN APPLICATION
PROJECT NO. 22-116
FILE 22-116 EROSION
SHEET ES-1



NOTE:
ALL UTILITIES FOR EXISTING BUILDING SHALL BE REMOVED TO PROPERTY LINE AND MARKED. CONTRACTOR SHALL COORDINATE WITH EACH RESPECTIVE UTILITY COMPANY PRIOR TO DEMOLITION

- LEGEND**
- PROPERTY LINE
 - FUTURE BUILDING LINE
 - EXISTING FEATURE TO BE REMOVED
 - EXISTING PAVEMENT, STRUCTURES, AND OTHER FEATURES TO BE REMOVED
 - EXISTING BUILDING, SLAB AND FOUNDATION TO BE REMOVED

REFER TO SURVEY SHEET FOR LEGEND OF EXISTING FEATURES.



KS: 1-800-344-7233
WICHITA: 316-687-2470

Not For Construction

DEMOLITION PLAN



REVISION	BY

HIGH TIDE CONSULTANTS LLC
434 N. COLUMBIA ST, SUITE 200A
COVINGTON, LA 70433
www.hightidelc.com

SIGNATURE: [Signature]
DATE: JULY 11, 2022

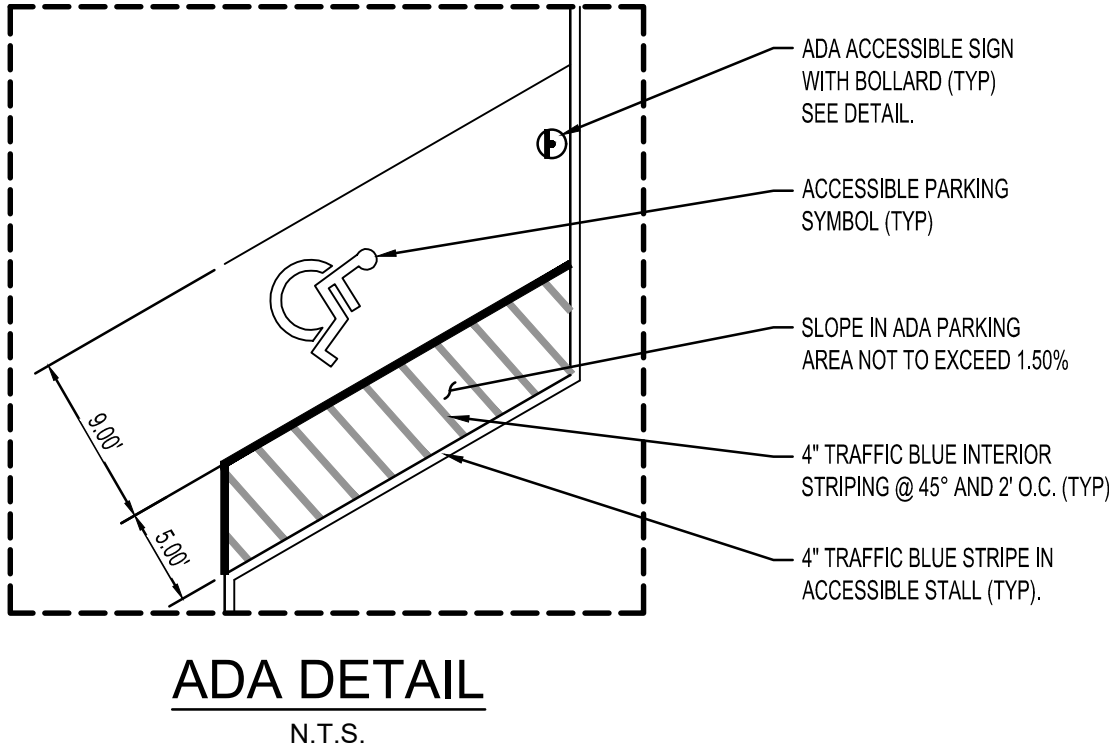
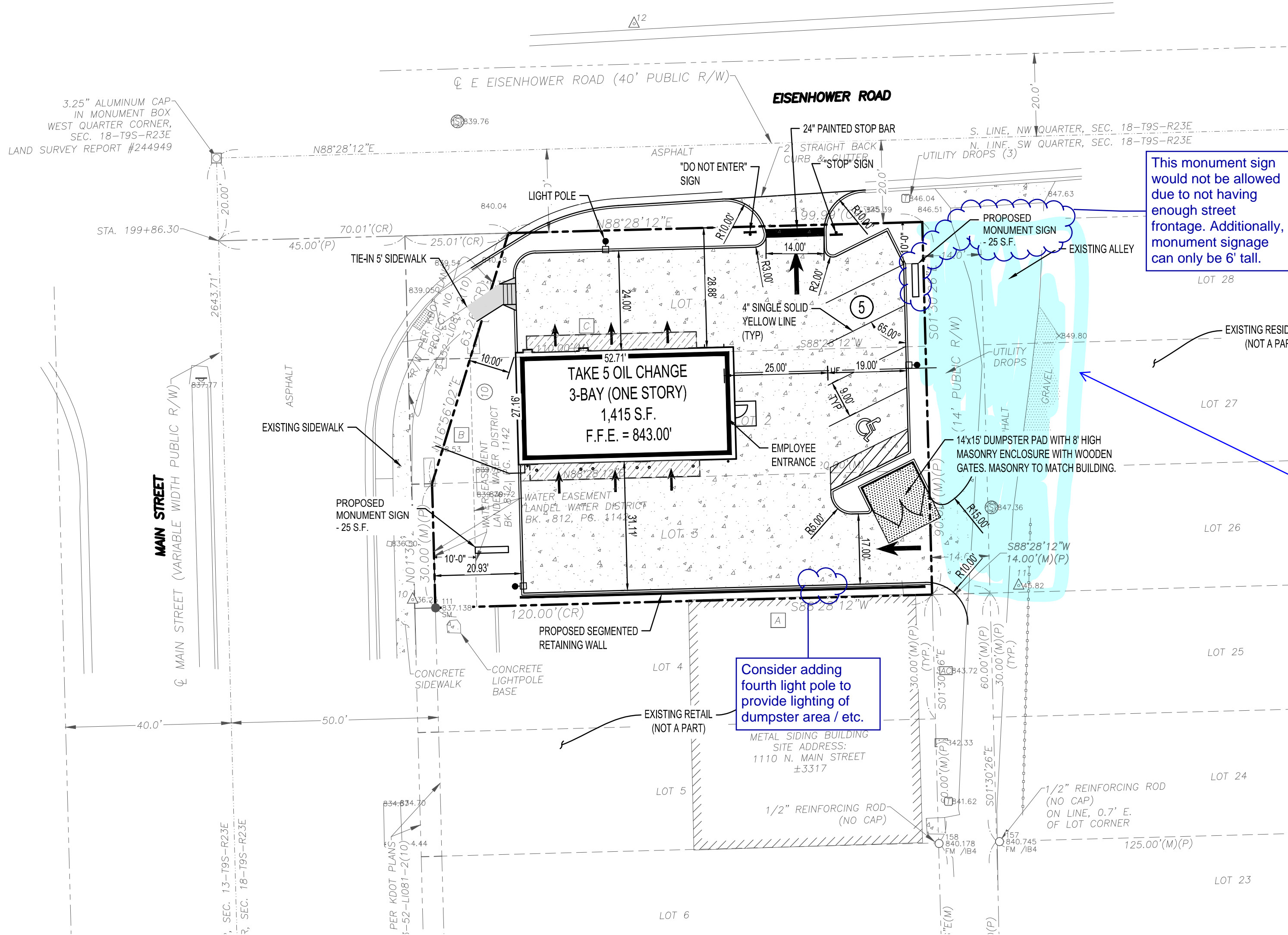
STAMP: [Professional Engineer Seal for Brandon Shaffer, State of Kansas, No. 28101]

PROPOSED TAKE 5
LANSHING, KANSAS

FOR DRIVEN ASSETS, LLC
5910 N CENTRAL EXPRESSWAY
SUITE 1800
DALLA, TX 75206

DRAWN KRG
CHECKED RCG
ISSUED DATE 06/20/2022
ISSUED FOR SITE PLAN APPLICATION
PROJECT NO. 22-116
FILE 22-116 DEMO
SHEET D-1

Comment: Traffic Impact Study (TIS) is required. At a minimum must demonstrate no adverse impacts to Eisenhower or K-7. KDOT will need to concur, and will also be shared with Leavenworth.



LEGAL DESCRIPTION:
LOT 1-3, BLOCK 9, TOWN OF RICHARDSON - A SUBDIVISION IN THE CITY OF LANSING, LEAVENWORTH COUNTY, KANSAS

LEGEND

	PROPERTY LINE		STANDARD DUTY CONCRETE PAVEMENT WITH GRANULAR BASE COURSE
	PROPOSED BUILDING		HEAVY DUTY REINFORCED CONCRETE DUMPSTER PAD WITH GRANULAR BASE COURSE
	CURB AND GUTTER		STAINED CONCRETE
	PARKING COUNT		
	SITE LIGHTING FIXTURE		

REFER TO SURVEY SHEETS FOR LEGEND OF EXISTING FEATURES.

SITE LIGHTING SPECIFICATION

DESCRIPTION	LAMPS	VOLTS	LOAD	TEMP.	LUMENS	MOUNTING	MANUFACTURER	CATALOG NO.	COUNT
PARKING LOT FIXTURE ON 30' SSS POLE, PROVIDE ALL MOUNTING HARDWARE AS REQUIRED.	LED	UNV	70 VA	4,000	8,200	30' SSS POLE	LITHONIA LIGHTING	DSX1 LED P3 40K T3M MVOLT	3

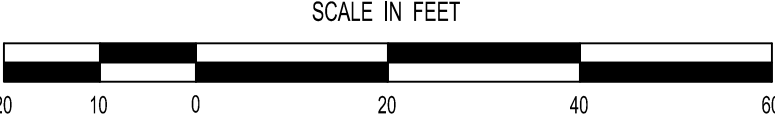
MONUMENT SIGN
N.T.S.



KS: 1-800-344-7233
WICHITA: 316-687-2470

Not For Construction

SITE PLAN



OWNER
BRUCE A. & JOLENE BERGMAN
1114 N. MAIN STREET
LANSING, KS 64043
EMAIL: ashoebovix@yahoo.com
PHONE: 913-680-9125

PLAN PREPARE/CIVIL ENGINEER
HIGH TIDE CONSULTANTS, LLC
434 N. COLUMBIA ST., SUITE 200A
COVINGTON, LA 70435
ATTN: RICHARD C. GALLOWAY, PE
EMAIL: ricky@hightidela.com

ARCHITECT
FUSION ARCHITECTS
3488 BRENTWOOD DRIVE
BATON ROUGE, LA 70809
ATTN: MATT DAIGREPOINT, AIA
PHONE: 225-766-4848

LANDSCAPE ARCHITECT
McKNIGHT LANDSCAPE ARCHITECTS
668 S. FOSTER DRIVE, STE 101
BATON ROUGE, LA 70806
ATTN: WES WILKERSON
EMAIL: wes@mcknight-la.com

DEVELOPER
DAP LANSING, LLC
240 CACTUS COURT
BOULDER, CO 80304
ATTN: TODD MINNIS
EMAIL: todd@drivenassets.com
PHONE: 214-591-5088

REVISION	BY

HIGH TIDE CONSULTANTS LLC
434 N. COLUMBIA ST., SUITE 200A
COVINGTON, LA 70433
www.hightidela.com

SIGNATURE:
DATE: JULY 11, 2022

STAMP:

PROPOSED TAKE 5
LANSING, KANSAS

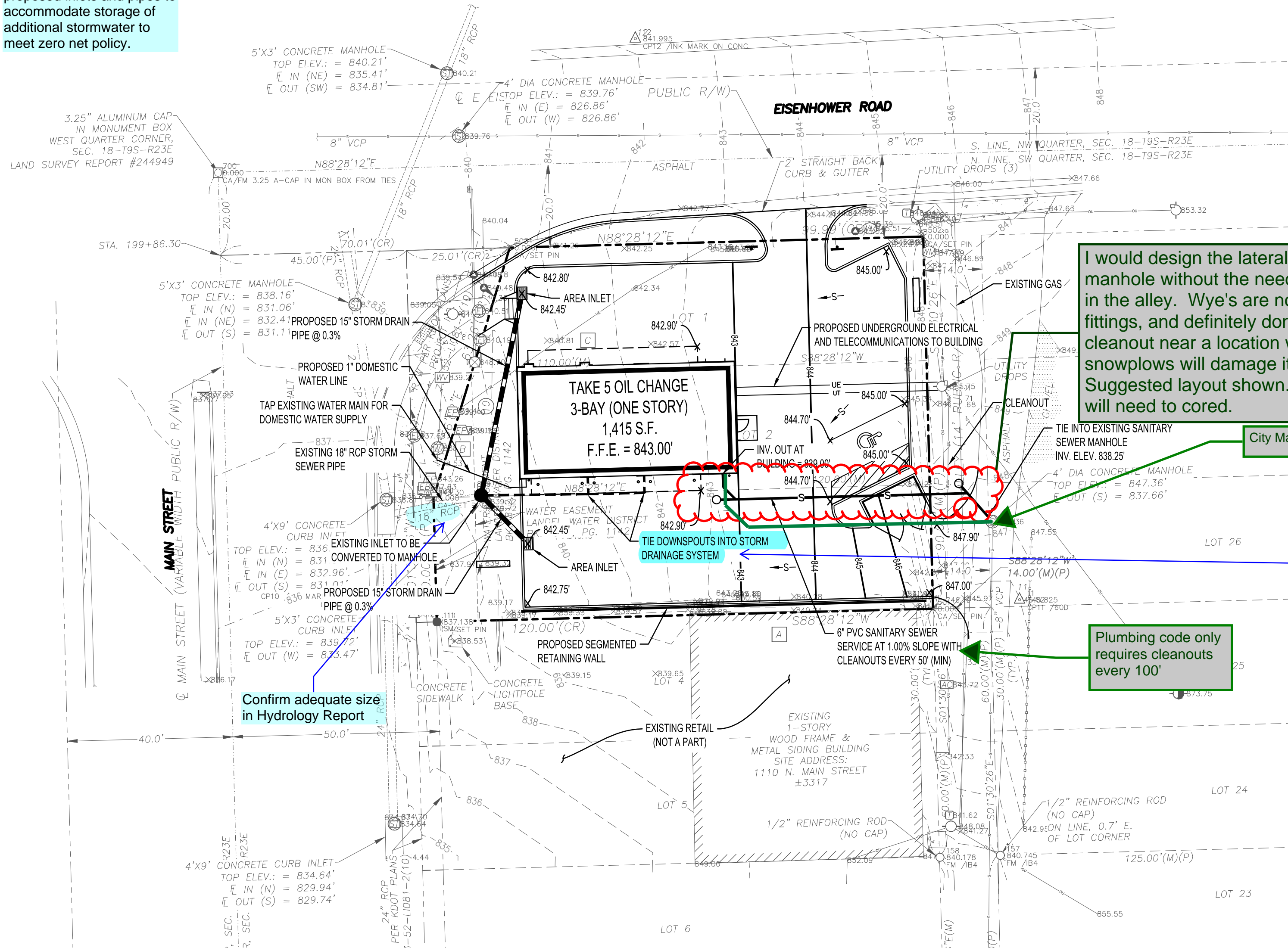
FOR DRIVEN ASSETS, LLC
5910 N CENTRAL EXPRESSWAY
SUITE 1600
DALLA, TX 75206

DRAWN KRG
CHECKED RCG
ISSUED DATE 06/20/2022
ISSUED FOR SITE PLAN APPLICATION
PROJECT NO. 22-116
FILE 22-116 SITE
SHEET C-1

Comment: Will need stormwater / hydrology report per Lansing Technical Specifications.

Will need pre and proposed post development calculations, as well as detention system to meet the zero net runoff policy.

Will consider the Existing Inlett that is proposed being changed to a MH as the site exit point. May need to consider sizing the proposed inlets and pipes to accommodate storage of additional stormwater to meet zero net policy.



I would design the lateral to enter the manhole without the need for a "wye" in the alley. Wye's are not permitted fittings, and definitely don't want a cleanout near a location where snowplows will damage it. Suggested layout shown. Manhole will need to be cored.

City Manhole D-03-245

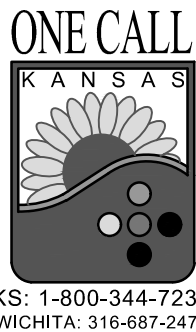
This will need to be detailed in the stormwater / hydrology report. Need to ensure that oil and other contaminants do not enter into storm water stream from work bays.

Is a grease/oil separator required for this type of business use prior to connection to the sanitary sewer?

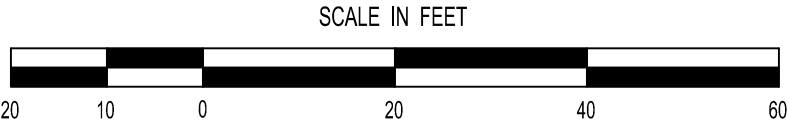
LEGEND - PROPOSED IMPROVEMENTS

- PROPERTY LINE
- PROPOSED BUILDING
- CONCRETE CURB
- STORM DRAIN PIPE
- AREA INLET
- CONTOUR
- SPOT ELEVATION
- SLOPE ARROW

REFER TO SURVEY SHEETS FOR LEGEND OF EXISTING FEATURES



Not For Construction
GRADING/UTILITY
PLAN



REVISION	BY

HIGH TIDE

CONSULTANTS LLC

434 N. COLUMBIA ST., SUITE 200A

COVINGTON, LA 70433

www.hightidela.com

SIGNATURE

JULY 11, 2022

DATE

SEAL

BRANDON SHAMPINE

REGISTERED PROFESSIONAL ENGINEER

28101

KANSAS

STAMP

PROPOSED TAKE 5

LANSING, KANSAS

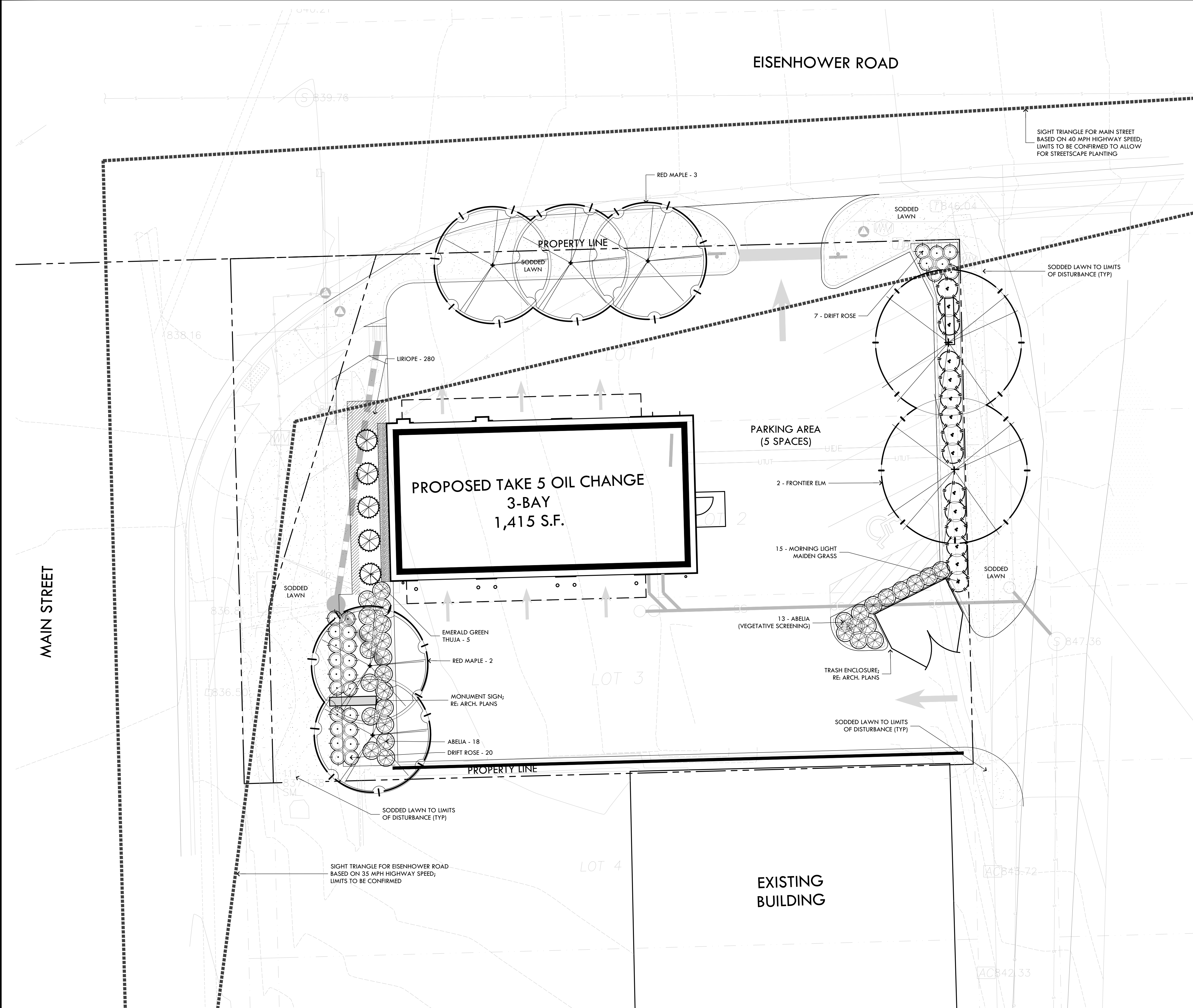
FOR DRIVEN ASSETS, LLC

5910 N CENTRAL EXPRESSWAY

SUITE 1600

DALLA, TX 75206

DRAWN	KRG
CHECKED	RCG
ISSUED DATE	06/20/2022
ISSUED FOR	SITE PLAN APPLICATION
PROJECT NO.	22-116
FILE	22-116 GRADING
SHEET	C-2



1 LANDSCAPE PLAN

1/8"=1'-0"

LANDSCAPE ORDINANCE CALCULATIONS

CITY OF LANSING DEVELOPMENT CODE - ARTICLE 6
LAND USE - LIGHT COMMERCIAL

PARKING LOT PLANTING (LESS THAN 15 SPACES)
A. 1 LARGE TREE PER 40 L.F. OF PARKING PERIMETER
B. 5 SHRUBS PER 25 L.F. OF PERIMETER

63' LINEAR FEET OF PARKING PERIMETER

REQUIRED: 2 LARGE TREES AND 13 SHRUBS
PROVIDED: 2 TREES AND 22 SHRUBS

STREETSCAPE FRONTAGE (MAIN ST. AND EISENHOWER RD.)
A. 1 LARGE TREE PER 40 L.F.

186' LINEAR FEET (MINUS ACCESS DRIVE)=

REQUIRED: 5 LARGE TREES
PROVIDED: 5 TREES

FOUNDATION PLANTING
A. 1 ORNAMENTAL/EVERGREEN TREE PER 25 L.F. OF FRONTAGE
B. 5 SHRUBS PER 25 L.F. OF FRONTAGE

111' LINEAR FEET =

REQUIRED: 5 TREES + 23 SHRUBS
PROVIDED: 5 EVERGREEN TREES + 29 SHRUBS

DUMPSTER ENCLOSURE SCREENING

REQUIRED: SCREENING
PROVIDED: SEE PLANS FOR SHRUBS

BUFFERS
N/A

GENERAL PLANTING NOTES

1. LOCATE ALL UTILITIES ON SITE PRIOR TO COMMENCING WORK. ANY DAMAGE DONE TO EXISTING OR NEW UTILITIES SHALL BE REPAIRED OR REPLACED AT NO ADDITIONAL COST TO OWNER.
2. PLANTS SHALL BE WELL FORMED, NO. 1 GRADE OR BETTER NURSERY STOCK AND SHALL MEET THE APPLICABLE STANDARDS NOTED HEREIN AND SHALL BE SUBJECT TO REJECTION BY THE LANDSCAPE ARCHITECT.
3. STAKE OUT ALL TREE LOCATIONS FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION. LOCATE ALL TREES AS SHOWN ON PLAN.
4. COORDINATE WORK WITH THE WORK OF OTHER TRADES ON THE SITE.
5. ENTIRE SITE SHALL BE GRADED TO FINISH GRADE PRIOR TO SCHEDULING PLANTING INSTALLATION.
6. PLANTS SHALL BE SPECIMEN QUALITY, FULL POT AND HEAD, SYMMETRICAL FOLIAGE AND BRANCHING STRUCTURE. SHRUBS SHALL BE FULL TO GROUND.
7. PLANT MATERIAL OF THE SAME SPECIES SHALL BE MATCHING IN CHARACTER AND SIZE, OBTAINED FROM THE SAME SOURCE.
8. ANY CHANGES IN PLANT MATERIAL SIZE, QUANTITY, SPECIES OR VARIETY MUST BE APPROVED BY THE OWNER AND/OR LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
9. INSTALLATION MUST BE COMPLIANT WITH LANDSCAPE ORDINANCE STANDARDS.

LANDSCAPE MATERIALS AND PLANTS LIST	
QUANTITY	PLANT / MATERIAL NAME AND DESCRIPTION
1,000 ±	Bed Preparation (square feet) 6" planting soil over 8" loosened topsoil. Mix top 4" of topsoil with first 3" of imported planting soil; includes bed preparation for trees
1,000 ±	Hardwood Mulch, shredded (square feet) 3" thick layer in all planting areas and 2x root ball diameter ring around all trees
35	Gravel (square feet) 1"-2" river rock; 3" depth layer over non-woven filter fabric
36	Metal Edging (linear feet) ½" x 4" aluminum edging color black; install between planting and gravel border
300 ±	Sodded Lawn - Tall Fescue Sod (square yards) certified weed and pest free (add in areas disturbed by construction)
31	Abelia (Abelia x grandiflora 'Sunshine Daydream') 3 gallon container, 15"-18" spread, dense and compact growth habit
27	Drift Rose 'Popcorn' (Rosa 'Novarosap') 3 gallon container, 15"-18" spread, dense and compact growth habit
5	Emerald Green Thuja (Thuja occidentalis 'Smargold') B&B, 5' - 6' height, 18" spread, full to ground, symmetrical form
2	Frontier Elm (Ulmus hybrid 'Frontier') 45 gallon container, 10'-11' height, 5'-6' spread, 2"- 2½" caliper, heavily branched
280	Liriope (Liriope muscari) 4" Container, 4"-6" height and spread, full container 4 per square foot
15	Maiden Grass 'Morning Light' (Miscanthus sinensis 'Morning Light') 3 gallon container, 24" - 27" height, 12" - 18" spread at base, full container/crown
5	Red Maple (Acer x freemani 'Armstrong') 45 gallon container, 14'-16' height, 4'-5' spread, 2 ½" caliper, straight trunk, single leader, heavily branched, heavy canopy

REVISION	BY

HIGH TIDE
CONSULTANTS LLC
434 N. COLUMBIA ST, SUITE 200A
COVINGTON, LA 70433
www.hightidela.com

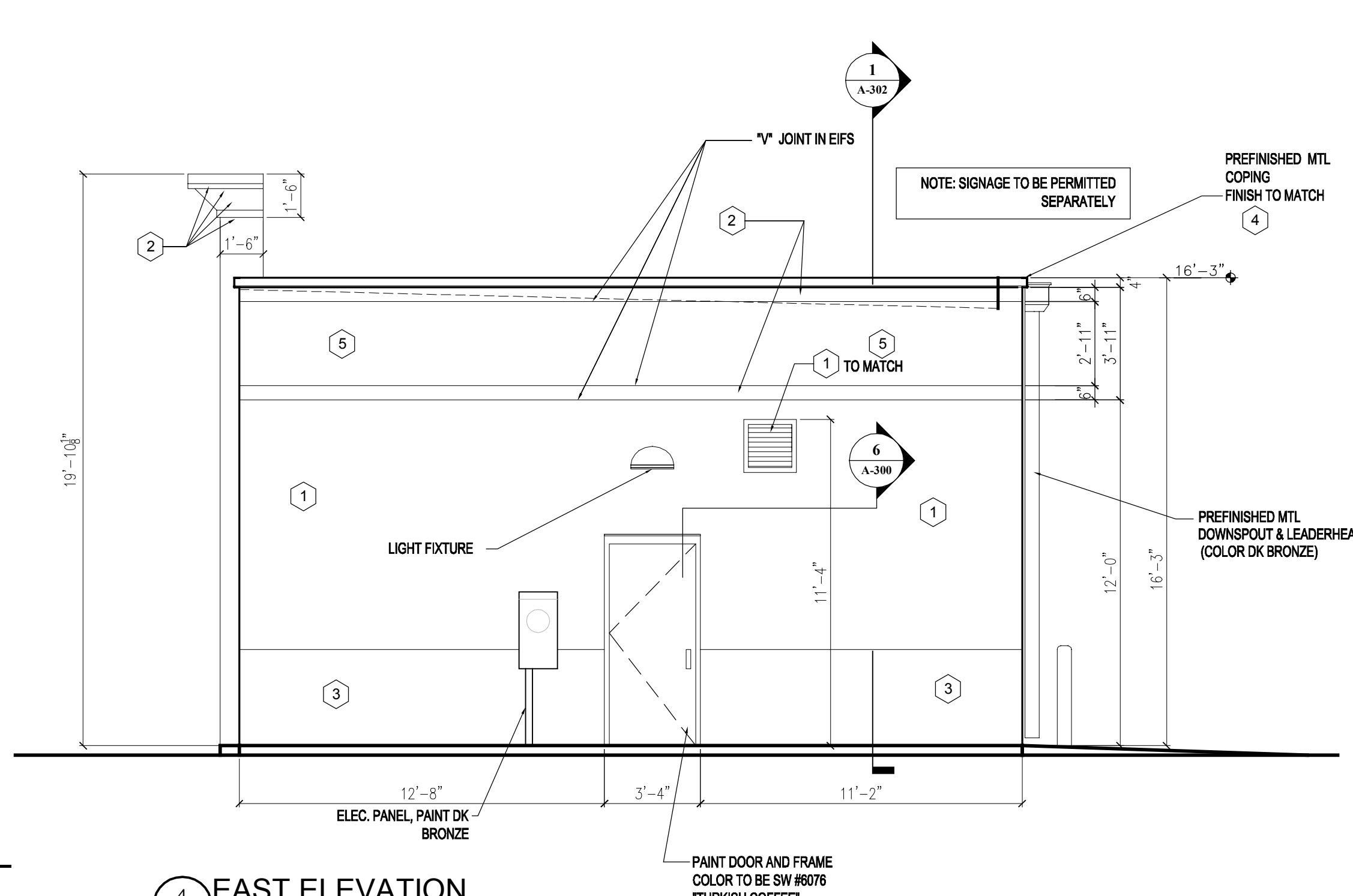
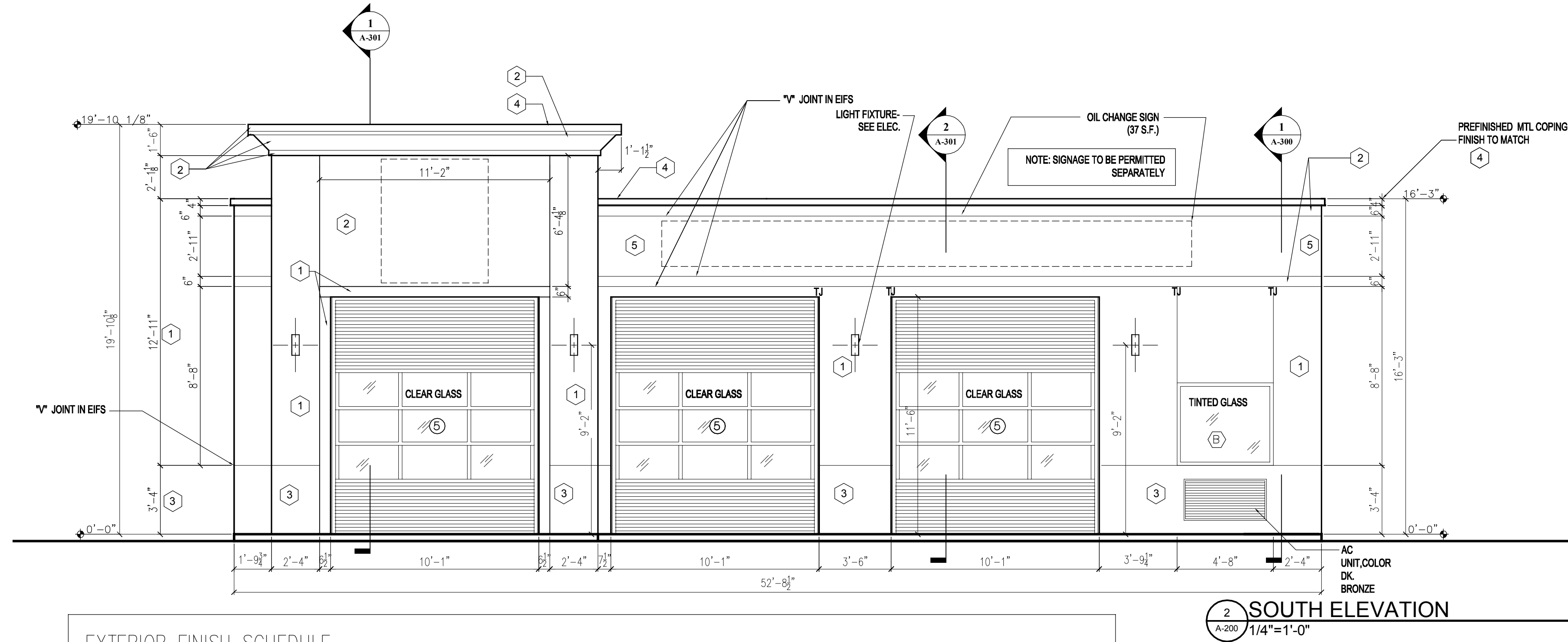
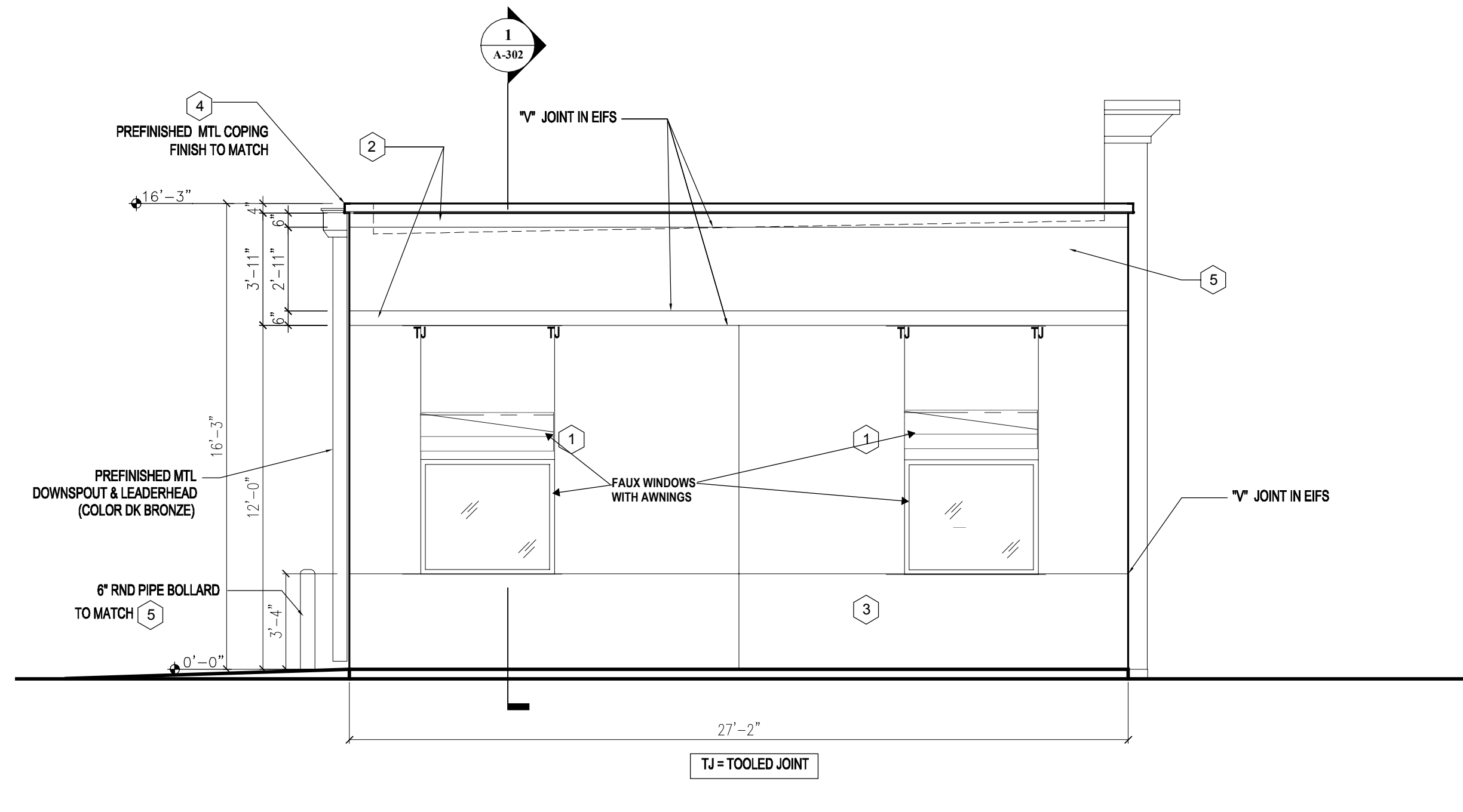
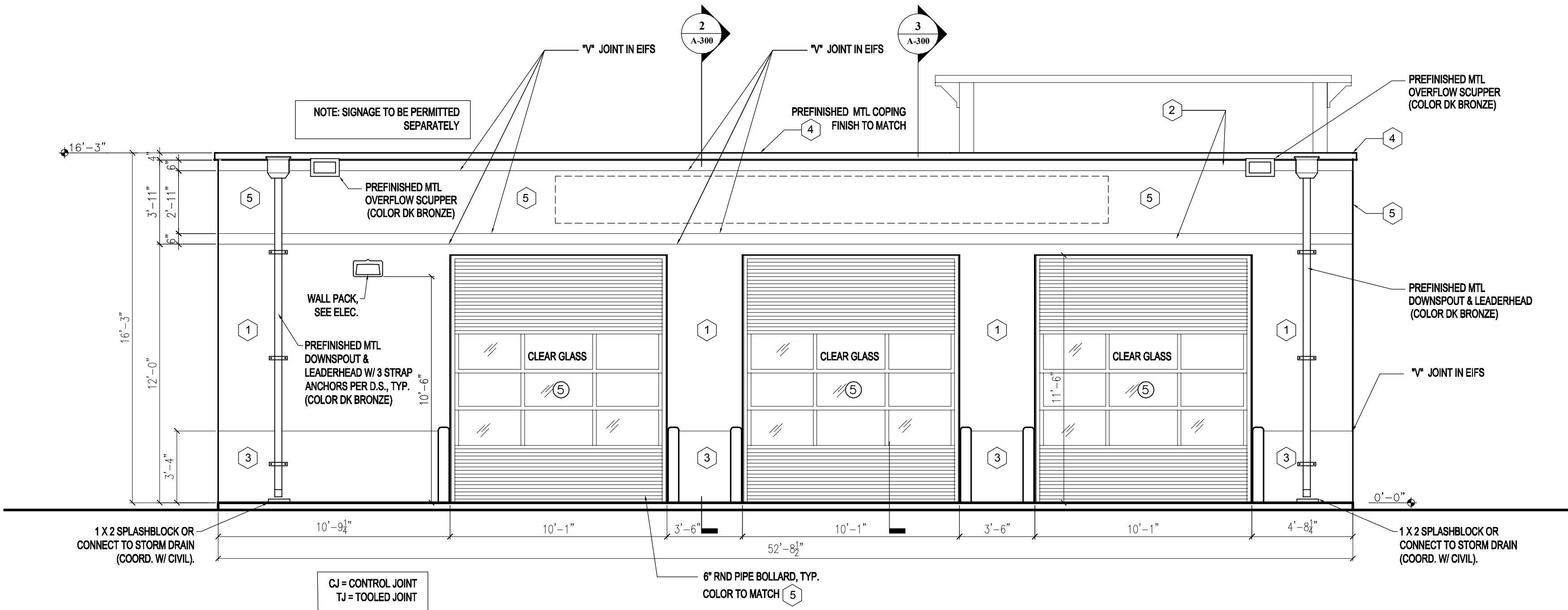
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DATE: 6/19/22

PROPOSED TAKE 5
LANSING, KANSAS

FOR DRIVEN ASSETS, LLC
5910 N CENTRAL EXPRESSWAY
SUITE 1600
DALLA, TX 75206

DRAWN
CHECKED
ISSUED DATE 06-20-22
ISSUED FOR PLANNING REVIEW
PROJECT NO. 22-116
FILE LANDSCAPE PLAN
SHEET L1.0

C:\CHUCK\TAKE 5 3 BAY PROTO\TAKE 5 3 BAY CAD\PROTO BASE 3 042519.DWG

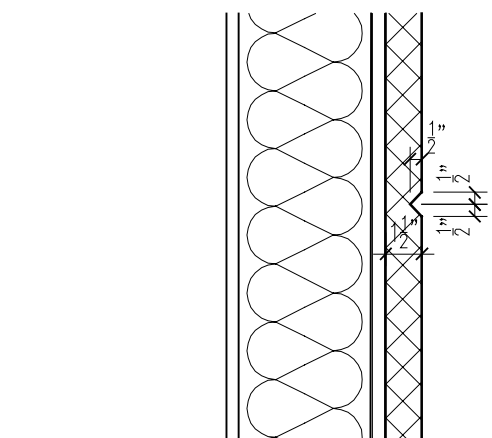


EXTERIOR FINISH SCHEDULE				
NO.	AREA	COATS	COLOR	FINISH
1	EIFS OR STUCCO MAIN COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #7693, STONEBRIAR	FINISH TO MATCH STO "MEDIUM SAND" OR DRYWT "SANDPEBBLE FINE"
2	EIFS OR STUCCO ACCENT BAND AND FACE EIFS OR STUCCO CORNICE	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #7678, COTTAGE CREAM	FINISH TO MATCH STO "FINE SAND" OR DRYWT "SANDBLAST"
3	EIFS OR STUCCO WAINSCOT	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6097, STURDY BROWN	FINISH TO MATCH STO "MEDIUM SAND" OR DRYWT "SANDPEBBLE"
4	COPING	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO BE KYNAR 500 PREFINISHED
5	EIFS OR STUCCO SECONDARY COLOR	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	FINISH TO MATCH STO "MEDIUM SAND" OR DRYWT "SANDPEBBLE FINE"
6				
7	BOLLARDS	SEE SPECIFICATION AND MANUFACTURER'S REQ'MENTS	MATCH SW COLOR #6871, POSITIVE RED	-----

EXTERIOR FINISH NOTES:

- EIFS TO BE STO THERM CI CLASSIC, DRYWT OUTSULATION PLUS MD OR APPROVED EQUAL.
- EIFS TO HAVE ULTRA-HIGH IMPACT MESH TO 4'-0" AFF.
- EIFS TO HAVE HIGH IMPACT MESH FROM 4'-0" AFF TO 8'-0" AFF
- EIFS TO HAVE STANDRADRD IMPACT MESH ABOVE 8'-0" AFF.
- METAL ROOF TO BE ATAS DUTCH SEAM OR BERRIDGE MANUF. WITH DEEP VEE PANELS AND 2" BATTEN CAPS.
- METAL ROOF PANELS TO BE 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.
- METAL COPING TO BE PREFINISHED, 24 GA. GALVALUME WITH KYNAR 500, 2.0 MILS THICK FLOUROCARBON FINISH.

NOTE: ALL EIFS WILL WATER MANAGED AND NOT BARRIER TYPE.

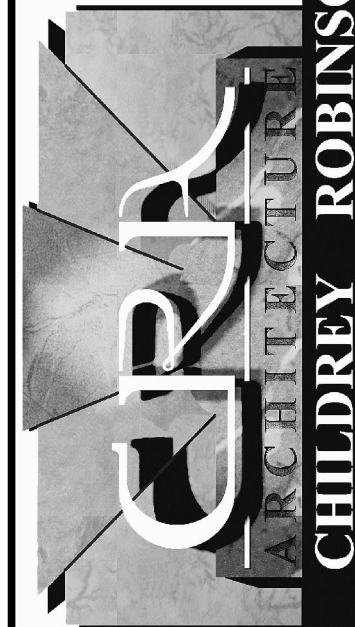


5 EIFS V-JOINT DETAIL

TAKE 5 OIL CHANGE
3 BAY PROTO

FOR: -

1212 KENILWORTH AVENUE
CHARLOTTE, NORTH CAROLINA 28204
PHONE: 704.370.6000 FAX: 704.370.6006
WWW.CHILDREY-ROBINSON.COM



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SEALS

REVISIONS

REV.	DESCRIPTION

DATE

04-12-2020

SHEET NAME

ELEVATIONS

SHEET NUMBER

A-200



FRONT - Typical Elevation (Blue Springs Location)



SIDE RIGHT - Typical Elevation (Blue Springs Location)



SIDE LEFT - Typical Elevation (Blue Springs Location)



REAR - Typical Elevation (Blue Springs Location)