

AGENDA

CALL TO ORDER

ROLL CALL / QUORUM ANNOUNCEMENT

OLD BUSINESS

1. Approval of Minutes, July 20, 2022 Regular Meeting

NEW BUSINESS

2. **UDO Text Amendment – Driveway Pavement Requirements**

Revisions to the pavement requirements for driveways in the City of Lansing to add gravel or stone as an allowed surface.

3. **Site Plan Case SP-2021-1a-Rev1**

The Applicant proposes to modify a previously approved site plan for a two-story (2,928 S.F.) professional office building for an Eye Doctor. The project consists of full site development as this is a greenfield site, and no existing pavement or buildings exist on the property. The plan includes reconfiguration / reconstruction of the site's preconstructed driveway entrance, and construction of the internal drive that connects the proposed parking lot with Centre Drive. This plan was approved during the December 15, 2021, Planning Commission meeting, but substantial changes have been requested, resulting in the reapplication for approval of the modified Site Plan. The applicant is requesting to remove the retaining wall on the west side of the parking area and building.

4. **Subdivision Case SDPP-2022-3**

Mayor Anthony R. McNeill, on behalf of the Lansing City Council, owners of property at 00000 Centre Dr., have applied for approval of a preliminary plat for the Lansing Towne Centre Replat subdivision, which will replat an existing group of four parcels at Lansing Town Center into three tracts. This preliminary plat, if approved, will allow the property owner to continue the platting process and apply for a Final Plat, which will subdivide approximately 18.11 acres into two lots and one tract allowing for potential future projects to be considered on this property. The property is currently zoned B-3, and no rezoning is being requested at this time. No additional Right of Way was requested by Staff for this preliminary plat, and while utility easements and access easements are planned to be abandoned with this plat, no existing utilities are located in those areas being abandoned.

NOTICES AND COMMUNICATIONS

REPORTS - Commission and Staff Members

- Commission Members
- Director, Community & Economic Development
- Director, Public Works / City Engineer
- Director, Wastewater Utility
- Building Inspector, Community & Economic Development

ADJOURNMENT

For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. If you require any special assistance, please notify the Community and Economic Development Director prior to the meeting.



PLANNING COMMISSION JULY REGULAR MEETING

Council Chambers, 800 1st Terrace, Lansing, KS 66043
Wednesday, July 20, 2022 at 7:00 PM

MINUTES

CALL TO ORDER-

The regular July meeting of the Lansing Planning Commission was called to order by Chairman Jake Kowalewski at 7:00 p.m.

ROLL CALL / QUORUM ANNOUNCEMENT-

In attendance were Chairman Jake Kowalewski, Commissioners Nancy McDougal, Janette Labbee-Holdeman, and Brian Payne. Chairman Kowalewski noted that there was a quorum present.

OLD BUSINESS-

1. Approval of Minutes, June 15, 2022, Regular Meeting

Motion was made by Commissioner Janette Labbe-Holdeman to approve the minutes as written and motion was seconded by Commissioner Nancy McDougal. Commissioner Brian Payne abstained. Motioned passed.

NEW BUSINESS-

2. Site Plan Case SP-2022-3

The Applicant proposes to demolish the existing 3,400 sq. ft. building and construct one new building for a new Vehicle / Equipment Service and Repair – General (vehicle oil change facility) use on the site. The building to be constructed with this site plan is a twenty-foot-tall single-story structure that is 1,415 sq. ft.

Commissioner Labbe-Holdeman expressed her concerns about the intersection. It was said that to her understanding, if they ever have to remove the building, different regulations stopped as far as setbacks, etc. Mr. Schmitz stated that it does meet the current requirements. Mr. Schmitz also stated that the traffic impact study has been requested and we are currently waiting to get that back. We are required to get that, and KDOT needs it as well.

Commissioner Labbe-Holdeman expressed concerns about this project in relation to possibly needing to expand the highway in the future. She also asked about the surrounding property owners and their interest in selling or not. To which Mr. Schmitz responded that the surrounding owners were not interested in selling to his knowledge. Commissioner Labbe-Holdeman expressed that she is not comfortable with the location for this type of business and asked about the type of sales tax that this business might generate. Mr. Schmitz stated that they are providing a service but the products, etc. that they sell would be subject to sales tax.

Chairman Kowalewski stated that he had concerns about the driveways of residents off of that alley and the impact that this will have and inquired about the expectations to minimize the impact of the surrounding residents.

Director of Public Works, Mike Spickelmier stated that he had a conversation with Mr. Galloway, the engineer for this project (who was in attendance via zoom), and the applicant is willing to work with the city and facilitate improvements on the alleyway. The applicant is aware of the commercial entrance standards, and they have agreed to bring it to those standards. Improvements to the rest of the alley was also mentioned and is being considered but would have to be a decision of the city council. Mr. Spickelmier also mentioned an alleyway program that is usually available, however that alley was not approved this year. But next year, the potential for that alley will be considered.

Commissioner McDougal inquired about the trash dumpster's location, stating that the truck would have to come from the south to access it, and the alley would need improved for that purpose. Mr. Schmitz agreed that it would need to be considered to potentially improve the remainder of that alley. Commissioner Kowalewski stated that there are quite a few staff comments and asked if the applicant is aware and is willing to work with the staff to accommodate what the city is asking, Mr. Schmitz said they are absolutely willing to work with the city and meet all requirements. Commissioner Kowalewski then asked Mr. Galloway, via zoom, if he was comfortable meeting the items in the staff report, to which he stated they do not see a problem with any of the comments and they are indeed willing to do what is necessary.

Commissioner McDougal inquired about the location of the new entrance, stating that it will be further back from K-7 than the current entrance is. Mr. Schmitz confirmed that it will be further back and showed the members of the Planning Commission where each entrance will be. Commissioner Labbe-Holdeman stated that she has concerns with this project considering that we don't have the traffic study yet, as well as what will become of the alley. Mr. Spickelmier stated that the traffic study is still ongoing at this point. Mr. Galloway will run the scope of the study by the city and KDOT, to ensure that the study will address the items needed. Mr. Spickelmier stated that the improvements will not encroach on the neighbors. He also said that there was a curb cut as part of the 2006 improvements for that alley and that the alley is still in use. Commissioner Labbe-Holdeman asked if the alley was one direction to which Mr. Spickelmier stated that they are non-directional and are typically access only.

Motion was made by Commissioner McDougal to approve with the conditions in the staff report, and to also require improvement of the entire alley. Chairman Kowalewski seconded it.

Motion passed 3-1 with Commissioner Labbe-Holdeman voting in opposition.

NOTICES AND COMMUNICATIONS- None

REPORTS: Commission and Staff Members- None

ADJOURNMENT-

Commissioner Labbe-Holdeman made a motion to adjourn, and it was seconded by Commissioner McDougal. Meeting was adjourned by acclamation at 7:19 pm.

For information on how to view prior meetings, please visit our website at <https://www.lansingks.org>. If you require any special assistance, please notify the Community and Economic Development Director prior to the meeting.

Respectfully submitted,

Melissa Baker, Secretary

Reviewed by,

Matthew R. Schmitz, MPA – Director, Community and Economic Development



Planning Commission Staff Report September 21, 2021

UDO Text Amendment – Driveway Pavement Requirements

Summary

At the City Council work session on August 25th, the City Council asked to discuss driveway pavement requirements in relation to the disallowance of gravel as an accepted surfacing material. After discussion, the council came up with the following requirements for where gravel surfacing should be allowed in the city.

This would replace the language in Section 7.04 Parking Lot Design, A. General Standards, Item 6. *“All parking areas and driveways shall be surfaced with a permanent bituminous or portland cement concrete pavement meeting the standards and specifications of the City of Lansing, except that the Director of Public Works may approve alternate surfaces that demonstrate superior stormwater management performance and sufficient durability and long-term maintenance is demonstrated.”* With the following Items:

6. In areas zoned other than A-1, R-1, or R-2, all parking areas and driveways shall be surfaced with a permanent bituminous or portland cement concrete pavement meeting the standards and specifications of the City of Lansing.
7. In areas zoned A-1, R-1, or R-2, and not a part of a platted subdivision, all parking areas and driveways shall be surfaced with one of the following options:
 - a. A permanent bituminous or portland cement concrete pavement meeting the standards and specifications of the City of Lansing.
 - b. Not less than a 4-inch-thick layer of compacted rock or gravel, however the first 75' adjacent to any public roadway is required to be surfaced with a permanent bituminous or portland cement concrete pavement, and all areas must meet the standards and specifications of the City of Lansing.
8. The Director of Public Works may approve alternate surfaces that demonstrate superior stormwater management performance, sufficient durability, and long-term maintenance is demonstrated, for any area of the city.

Acknowledgments

The following City of Lansing staff members reviewed this project and provided input for this report:

- Matthew R. Schmitz, M.P.A. – Director, Community & Economic Development
- Michael W. Spickelmier, P.E. – City Engineer / Director, Public Works
- Tim Vandall, M.P.A. – City Administrator

Recommendation

This topic was brought forward by the City Council for discussion at the August Work Session, and staff is supportive of Council's guidance and direction on this topic. Staff recommends that the Planning Commission recommend approval of this item to the City Council.



Planning Commission Staff Report

September 21, 2022 – originally approved by Planning Commission at December 15, 2021 Meeting

Site Plan Case SP-2021-1a-Rev1

Family Eyecare Center

301 Centre Dr. (West Kay & Centre Drive Vicinity)

Project Facts

Applicant

Wagner Construction
Mr. Jeff Wagner

Address

301 Centre Dr.
(West Kay & Centre Drive)

Property ID

106-24-0-40-07-001.04-0

Zoning

B-3 – Regional Business District

Future Land Use

Commercial

Land

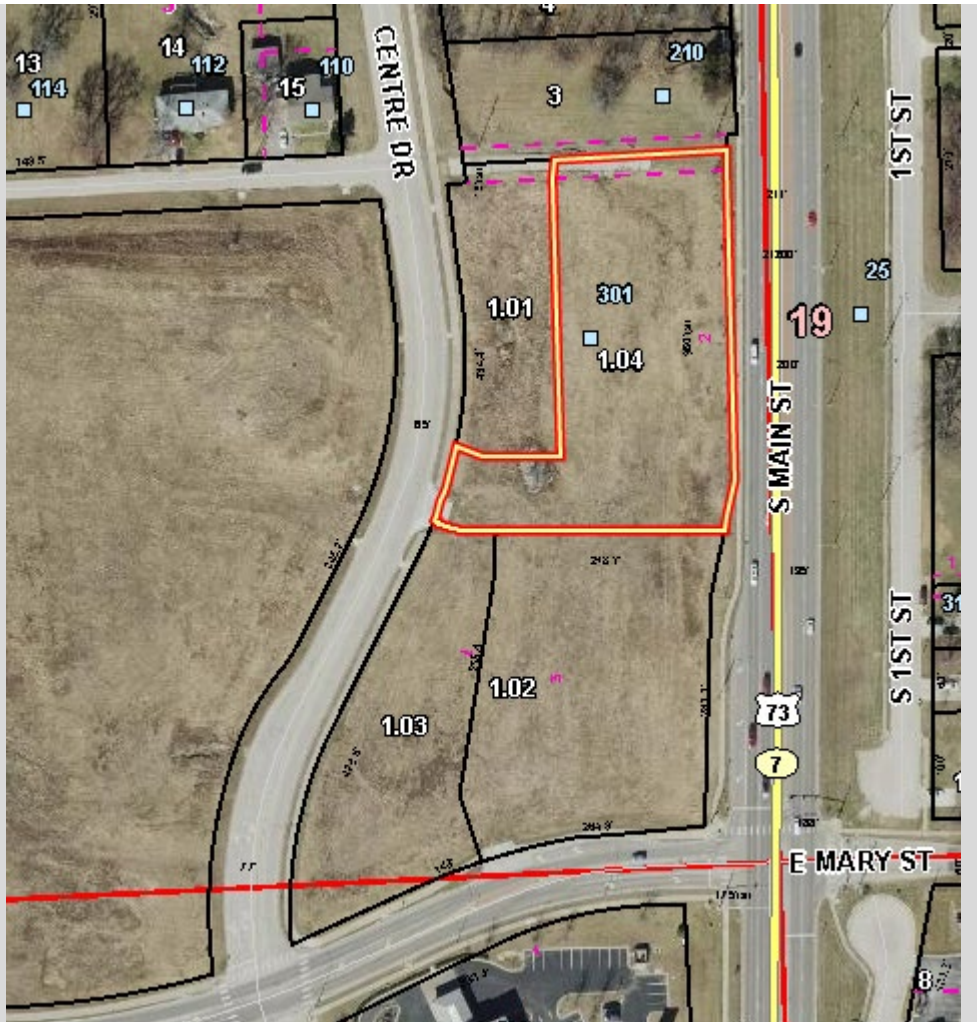
65,929.78 SF (1.51 acres)

Building

Existing: N/A
Proposed: 2,928 SF

Requested Approvals

Site Plan



Project Summary

The Applicant proposes to modify a previously approved site plan for a two-story (2,928 S.F.) professional office building for an Eye Doctor. The project consists of full site development as this is a greenfield site, and no existing pavement or buildings exist on the property. The plan includes reconfiguration / reconstruction of the site's preconstructed driveway entrance, and construction of the internal drive that connects the proposed parking lot with Centre Drive. **This plan was approved during the December 15, 2021, Planning Commission meeting, but substantial changes have been requested, resulting in the reapplication for approval of the modified Site Plan. The applicant is requesting to remove the retaining wall on the west side of the parking area and building.**

A full set of site plan documents is attached to this report.

The project is currently under construction and is moving along nicely – this modification would only impact site grading.

Comments – Community & Economic Development Department

Site Plan Revision items

The Community & Economic Development Director has reviewed the requested removal of the retaining wall from the site plan for conformance with the site plan requirements as outlined in the Unified Development Ordinance (UDO), as well as the Site Plan Application, and found the following items of concern:

1. *The plan will still comply with the requirements as outlined in the UDO, however there is significant concern about long-term impacts to the sidewalk and parking lot areas due to the increase in slope that removal of this wall may present. It is the Directors opinion that this retaining wall is necessary for the long-term protection of the aforementioned items.*

Comments – Public Works Department

Site Plan Revision items

The Public Works Director / City Engineer has reviewed the site plan for conformance with City requirements and found and found the following items of concern:

1. *There are concerns about the mow-ability and future maintenance of this revised slope characteristic. A 3:1 slope is the maximum allowed under the technical specification, but that does not equate to ease of maintenance or protection of the site improvements just to the east of this slope. By increasing from 4:1 to 3:1, this may add burden to the city regarding maintenance. If the developer can keep the negative impacts of the slope upon their own private property and not encroach on the City's retained detention basin, then this is a more palatable solution.*

Open Items – Wastewater Department

Site Plan Application items

The Wastewater Director has not reviewed this request, as it has no impact on the Wastewater facilities.

Acknowledgments

The following City of Lansing staff members and consultants reviewed this project and provided information for this report:

- Matthew R. Schmitz – Director, Community & Economic Development
- Michael Spickelmier, P.E – Director, Public Works / City Engineer

Notice of City Codes

The Applicant is subject to all applicable City codes within the Municipal Code – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable Federal, State, and local laws.

Recommendation

Staff's recommendation is to consider what impact (if any) the removal of this feature on the site plan will have on the future maintainability of the project as well as the City's property and approve or disapprove accordingly.



Site Plan Application

Community & Economic Development Dept.
730 First Ter. Suite 2
Lansing, KS 66043
(913) 727-5488 • (913) 351-3618 FAX

PROJECT NAME FAMILY EYE CARE CENTER

ADDRESS OR VICINITY WEST KAY & CENTRE DRIVE

PROPOSED USE GENERAL BUSINESS

CURRENT ZONING B-3 Regional Business District

LEGAL DESCRIPTION LOT 2, LANSING TOWN CENTER 2ND

REAL ESTATE PARCEL NUMBER 106-24-0-40-07-001.01

PROPERTY SIZE 1.41 ACRES

APPLICATION FEE \$150

APPLICANT/DEVELOPER

NAME WAGNER CONSTRUCTION CONTACT JEFF WAGNER

ADDRESS 4517 SHRINE PARK ROAD

CITY LEAVENWORTH STATE KS ZIP 66048

PHONE 913-683-0122 EMAIL jwagc1998@gmail.com

OWNER

NAME JONATHAN REDDELL CONTACT _____

ADDRESS 324 ASH LANE

CITY LANSING STATE KS ZIP 66043

PHONE _____ EMAIL jreddell@feclv.com

ARCHITECT/ENGINEER

NAME Schulte Engineering & Consulting, LLC CONTACT Doug Schulte

ADDRESS 21 Gates Dr

CITY Platte City STATE MO ZIP 64079

PHONE 816-260-3328 EMAIL doug@schulteengineering.com

APPLICANT/OWNER SIGNATURE

DATE 8/16/22

APPLICANT/OWNER (printed name) _____

OFFICE USE ONLY		
FILE CODE _____	FEE RECEIVED BY _____	DATE _____
PLANNING COMMISSION MEETING DATE _____	DECISION (circle) Approve or Deny	

SITE CONSTRUCTION DRAWINGS

FOR

LANSING FAMILY EYE CENTER

LOT 2

LANSING TOWNE CENTER

GENERAL NOTES

1. ALL MATERIALS, QUALITY CONTROL, AND CONSTRUCTION METHODS SHALL CONFORM TO APWA STANDARD SPECIFICATIONS, EXCEPT AS NOTED.
2. CONTRACTOR TO VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO EXCAVATION. THE CONTRACTOR SHALL GIVE 48 HOUR ADVANCE NOTICE TO UTILITY COMPANIES PRIOR TO EXCAVATING WITHIN ANY PUBLIC RIGHT-OF-WAY, AS REQUIRED BY STATE STATUTE.

UTILITIES INVOLVED:	TELEPHONE NUMBER:
KANSAS ONE-CALL	811 OR 800-DIG-SAFE
EVERGY	888-471-5275
LANDEL WATER DISTRICT	913-727-3350
KANSAS GAS SERVICE	888-482-4950 (REPORT EMERGENCY)
AT&T	800-288-2020 (TECH SUPPORT)
SPECTRUM	800-676-4917
CITY OF LANSING	913-727-2400 (PUBLIC WORKS)

THE UTILITY LOCATIONS SHOWN ON THESE PLANS ARE BASED ON FIELD MARKINGS COORDINATED THROUGH THE KANSAS 811 CALL SYSTEM AND SHOULD BE CONSIDERED APPROXIMATE ONLY. THE LOCATIONS SHOWN DO NOT CONSTITUTE ACTUAL FIELD LOCATIONS UNLESS SPECIFICALLY NOTED ON THE PLANS. THE ENGINEER DOES NOT ASSUME RESPONSIBILITY FOR THE ACCURACY OF THESE LOCATIONS NOR FOR ANY ADDITIONAL UTILITIES NOT INDICATED ON THE PLANS. THE CONTRACTOR SHALL CALL THE VARIOUS UTILITY COMPANIES TO VERIFY DEPTH AND LOCATION OF ALL UTILITIES PRIOR TO CONSTRUCTION.

3. LINEAL FOOT MEASUREMENTS SHOWN ON THE PLANS ARE HORIZONTAL MEASUREMENTS NOT SLOPE MEASUREMENTS.
4. NO GEOLOGICAL INFORMATION IS SHOWN ON THESE PLANS.
5. ALL WASTE MATERIALS FROM THIS PROJECT SHALL BE REMOVED FROM THE SITE AND DISPOSED IN PER STATE AND LOCAL REGULATIONS.
6. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO ADJUST TO GRADE ANY EXISTING OR PROPOSED MANHOLE, JUNCTION BOX OR SPECIAL STRUCTURE, AS REQUIRED.
7. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO PROTECT THE ADJACENT AND DOWNSTREAM PROPERTY OWNERS FROM STORM WATER, SILT AND EROSION DURING ALL PHASES OF CONSTRUCTION.
8. EROSION CONTROL PLANS AND PROCEDURES SHALL BE IN PLACE PRIOR TO ANY EXCAVATION OR GROUND SURFACE DISTURBANCE.
9. DRAINAGE FROM THE PROJECT SITE FLOWS TO SEVENMILE CREEK, A TRIBUTARY OF THE MISSOURI RIVER.
10. PRIOR TO ORDERING PRECAST STRUCTURES, SHOP DRAWINGS SHALL BE SUBMITTED TO THE DESIGN ENGINEER FOR APPROVAL.
11. SUBGRADE SOIL FOR ALL CONCRETE STRUCTURES, REGARDLESS OF THE TYPE OR LOCATION, SHALL BE FIRM, DENSE AND THOROUGHLY COMPACTED AND CONSOLIDATED; SHALL BE FREE FROM MUD AND MUCK; AND SHALL BE SUFFICIENTLY STABLE TO REMAIN FIRM AND INTACT UNDER THE FEET OF THE WORKMEN OR MACHINERY ENGAGED IN SUBGRADE SURFACING, LAYING REINFORCING STEEL, AND DEPOSITING CONCRETE THEREON.
12. COMPACTION WITHIN RIGHT-OF-WAY AREAS SHALL BE AT 95% OF OPTIMUM DENSITY AS DETERMINED BY THE STANDARD PROCTOR TEST.
13. THE CONTRACTOR SHALL BE REQUIRED TO KEEP ALL UTILITIES WITHIN RIGHT-OF-WAY OPERATIONAL DURING CONSTRUCTION.
14. CONTRACTOR SHALL PROVIDE EARTHWORK AND MATERIAL TESTING TO COMPLY WITH THE REQUIREMENTS OF THE PROJECT.

ELECTRONIC TRANSMITTAL STATEMENT

THIS DOCUMENT MUST BE COMPARED TO THE ORIGINAL HARD COPY ISSUED AT THE DATE OF THE ORIGINAL SIGNATURE AND SEAL TO ENSURE THE ACCURACY OF THE INFORMATION AND TO FURTHER ENSURE THAT NO CHANGES, ALTERATIONS OR MODIFICATIONS HAVE BEEN MADE. NO RELIANCE SHALL BE MADE ON A DOCUMENT TRANSMITTED BY COMPUTER OR OTHER ELECTRONIC MEANS UNLESS FIRST COMPARED TO THE ORIGINAL SEALED DOCUMENT.

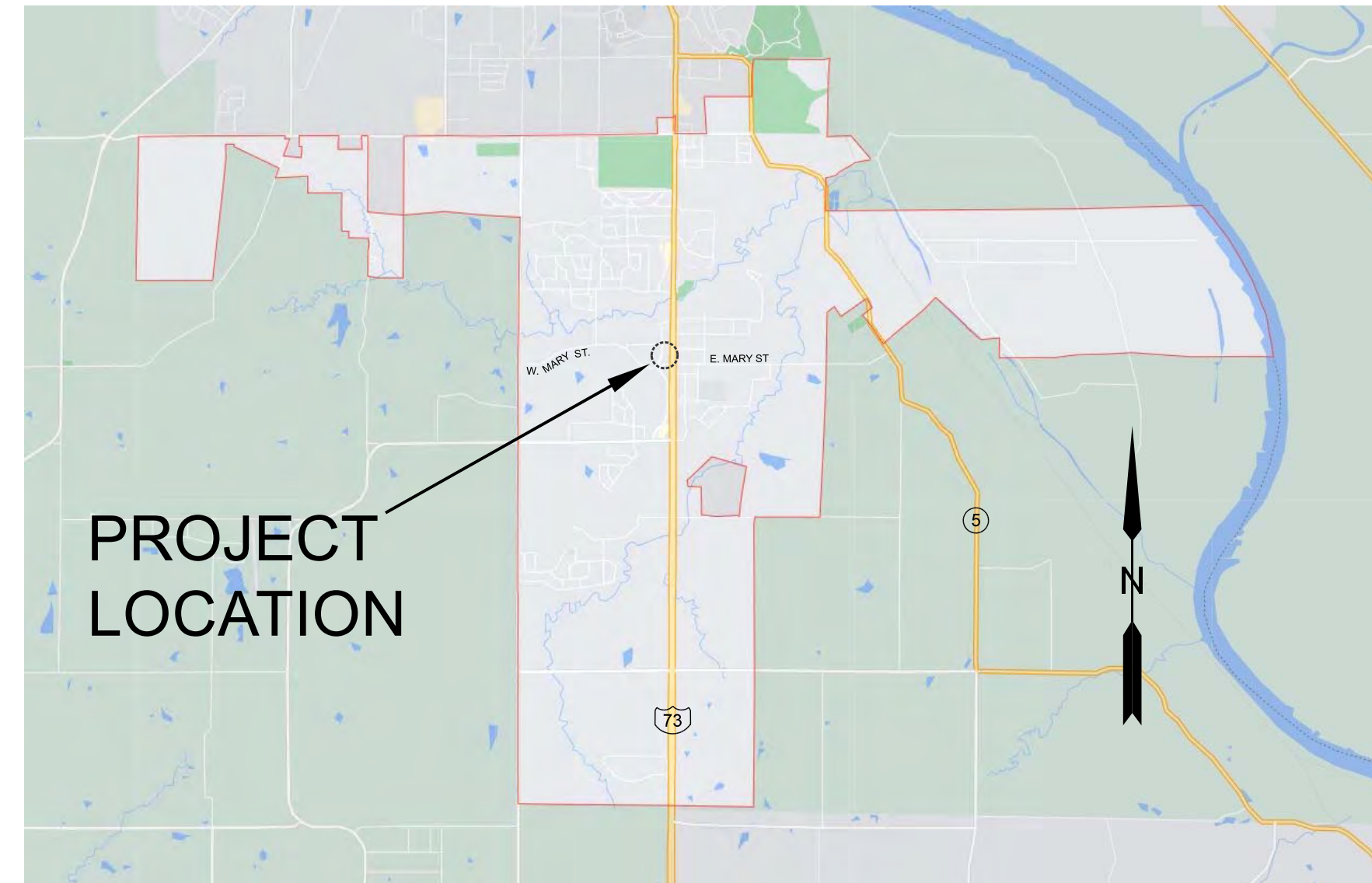


KANSAS 811
8100 E 22ND ST. N, BLDG 2300
WICHITA, KS 67226
CALL 811 OR 1-800-DIG-SAFE

UTILITY WARNING

THE LOCATIONS OF UNDERGROUND UTILITIES AS SHOWN HEREON ARE BASED ON THE ABOVE GROUND STRUCTURES AND RECORD DRAWINGS PROVIDED TO THE ENGINEER/SURVEYOR. LOCATIONS OF UNDERGROUND UTILITIES/STRUCTURES MAY VARY FROM LOCATIONS SHOWN HEREON. ADDITIONAL BURIED UTILITIES/STRUCTURES MAY BE ENCOUNTERED. BEFORE EXCAVATIONS ARE BEGUN, CONTACT UTILITY COMPANIES FOR VERIFICATION OF UTILITY TYPE AND FIELD LOCATIONS.

LEAVENWORTH COUNTY
LANSING, KANSAS
SW 1/4, SEC 24, T9N, R22E



LOCATION MAP

NOT TO SCALE

ENGINEER:
SCHULTE ENGINEERING & CONSULTING, LLC
DOUG SCHULTE, PE
21 GATES DR
PLATTE CITY, MO 64079
(816) 260-3328

OWNER:
REDELLE HOLDINGS, LLC
JONATHAN REDELLE
2301 10TH AVE
LEAVENWORTH, KS 66048

SURVEYOR:
HERRING SURVEY
JOE HERRING, PLS
LEAVENWORTH, KS 66048
(913) 651-3858

SHEET INDEX

1. TITLE SHEET
2. EXISTING SITE & DEMO
3. SITE LAYOUT
- 4-8. GRADING & DIMENSIONS
9. ROAD LAYOUT & PROFILE
10. STORM LAYOUT & PROFILE
11. SITE UTILITIES
- 12-14. TYPICAL DETAILS
15. EROSION CONTROL PLAN
16. LANDSCAPE PLAN

PROJECT QUANTITIES:

ITEM	UNIT	QUANTITY	AS-BUILT
CURB & GUTTER	LF	625	
COMMERCIAL ENTRANCE APRON	SF	770	
ENTRANCE ROAD & PARKING LOT PAVEMENT	SF	11,465	
SIDEWALK	SF	2,520	
DUMPSTER ENCLOSURE CONCRETE APRON	SF	300	
* PAVEMENT STRIPING (4" WIDTH) & ADA SYMBOL	LF	530	
6" SANITARY SERVICE W/CLEANOUTS	LF	220	
WATER SERVICE LINE W/METER SET	LF	80	
GAS SERVICE LINE	LF	100	
POWER SERVICE CONNECTION TO TRANSFORMER	LF	250	
18" RCP STORM PIPE	LF	56	
12" HDPE STORM PIPE	LF	268	
12" DROP-IN AREA INLETS	EA	2	
PARKING LOT GRATED AREA INLET	EA	1	
5'X3' CURB INLETS	EA	1	
EROSION CONTROL & SURFACE RESTORATION	LS	----	
** LANDSCAPING	LS	----	

* - ADA SYMBOL NOT INCLUDED IN LF QUANTITY.

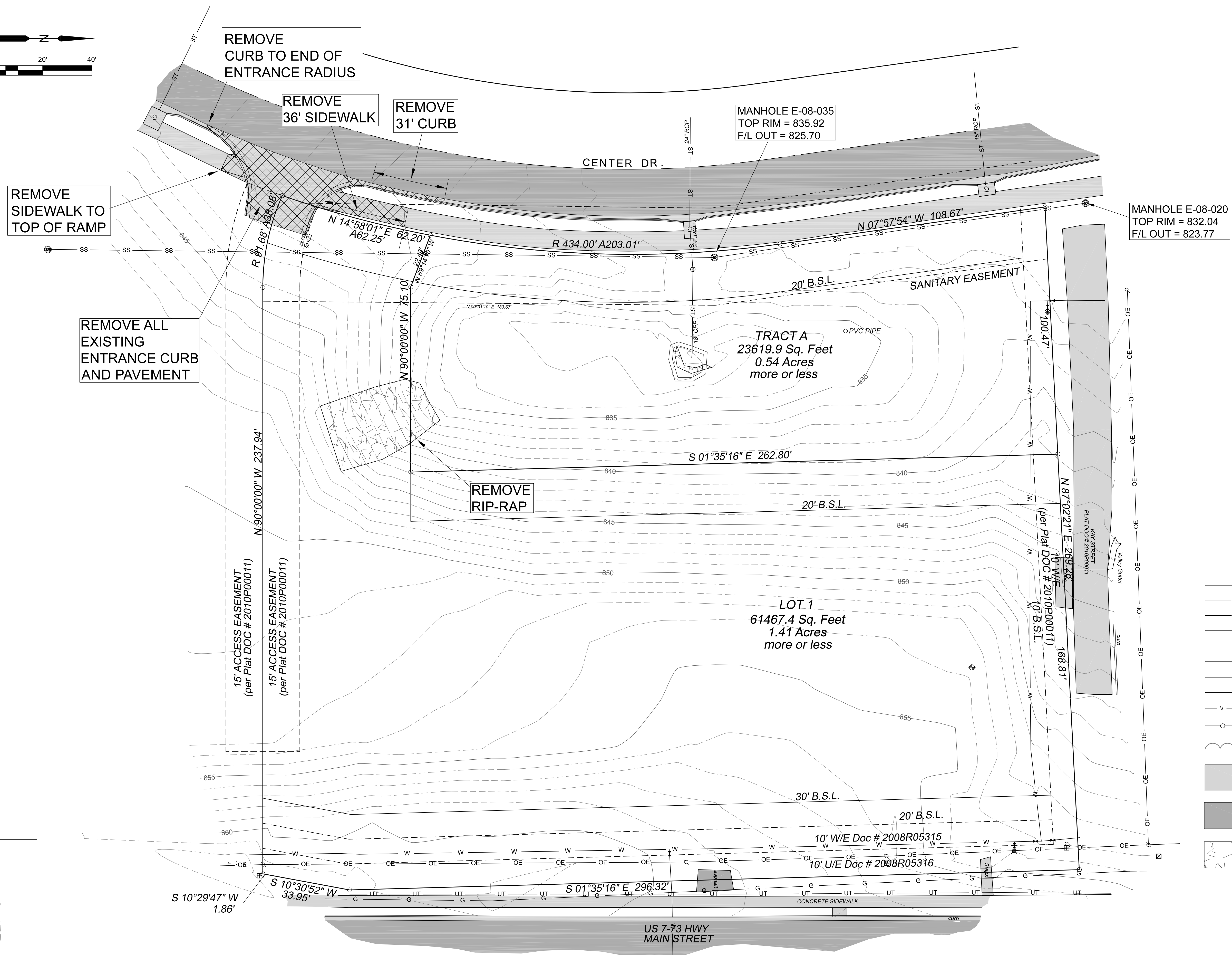
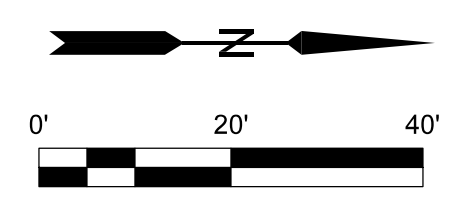


	WEST RETAINING WALL REMOVED				
	APPROVED FOR CONSTRUCTION	SUBMIT FOR CITY REVIEW	BY	DATE	DESCRIPTION
3	DJS	DJS	DJS	11-16-2021	
2	DJS	DJS	DJS	12-21-2021	
1	DJS	DJS	DJS	08-08-2022	

Schulte Engineering & Consulting, LLC
21 Gates Dr.
Platte City, MO 64079
www.schulteengineering.com
admin@schulteengineering.com
PHONE: (816) 260-3328

REDELLE HOLDINGS, LLC LEAVENWORTH, KS	DATE: 11-16-2021	SCALE: AS NOTED	
LANSING FAMILY EYE CENTER LANSING, KS	DRAWN BY: DJS	ELECTRONIC FILE NAME:	SHT. 1 OF 16
TITLE SHEET			REV. 0

11X17 PRINTS ARE 1/2 SCALE



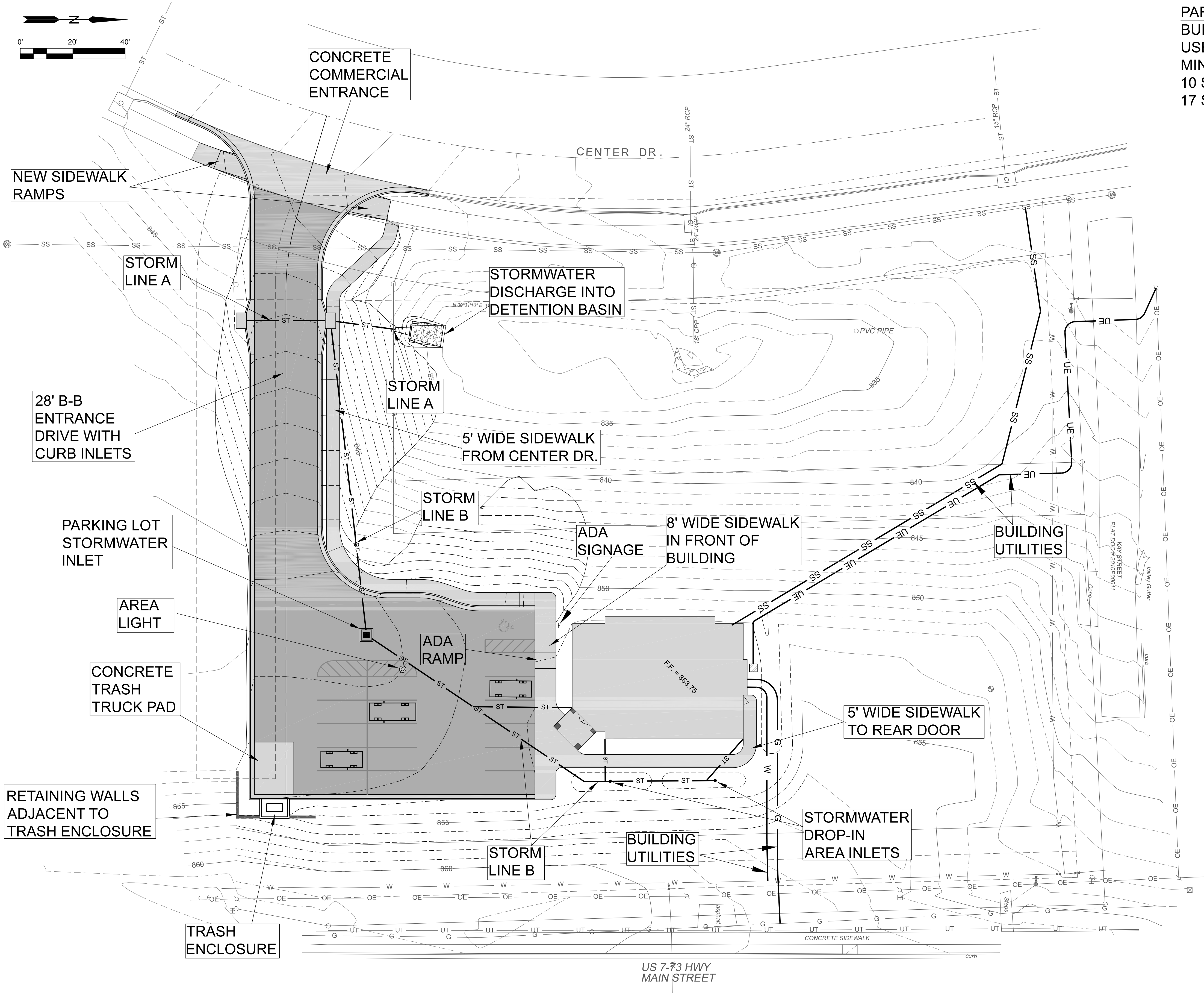
- = DENOTES 1/2" BAR & LC 000120 CAP SET
- = DENOTES CALCULATED CORNER
- = DENOTES FOUND MONUMENT
- M = MEASURED DISTANCE
- R = RECORDED DISTANCE
- ▲ = CONTROL POINT
- ⊕ = ELECTRIC BOX
- ⊕ = TELEPHONE PEDESTAL
- ⊕ = BENCHMARK
- ⊕ = FIRE HYDRANT
- ⊕ = SIGN
- ⊕ = POWER POLE
- ⊕ = BOLLARD
- ⊕ = LIGHT POLE
- ⊕ = TREE
- = MANHOLE
- ▲ = WATER VALVE
- PVC = POLYVINYL CHLORIDE FLEX
- HDPE = CORRUGATED PLASTIC PIPE
- F/L = FLOW LINE
- W — = WATERLINE
- SS — = SANITARY SEWER
- ST — = STORM SEWER
- OE — = OVERHEAD ELECTRIC
- UE — = UNDERGROUND ELECTRIC
- FO — = FIBER OPTIC LINE
- G — = GAS LINE
- UT — = UNDERGROUND TELEPHONE
- = FENCE
- = FENCE (VINYL)
- = TREE LINE
- = CONCRETE
- = ASPHALT
- = RIP-RAP

CLIENT: REDDELL HOLDINGS, LLC LEAVENWORTH, KS		DATE: 11-16-2021		SCALE: AS NOTED	
DRAWING NUMBER: EXISTING SITE & DEMO		DRAWN BY: DJS		SHT. 2 OF 16	
LANSING FAMILY EYE CENTER LANSING, KS		ELECTRONIC FILE NAME:		REV. DATE BY DESCRIPTION	
3	08-08-2022	DJS	WEST RETAINING WALL REMOVED		
2	12-21-2021	DJS	APPROVED FOR CONSTRUCTION		
1	11-16-2021	DJS	SUBMIT FOR CITY REVIEW		

Schulte Engineering & Consulting, LLC
 21 Gates Dr.
 P.O. Box 100
 Leavenworth, KS 66048
 www.schulteengineering.com
 admin@schulteengineering.com
 PHONE: (816) 260-3328

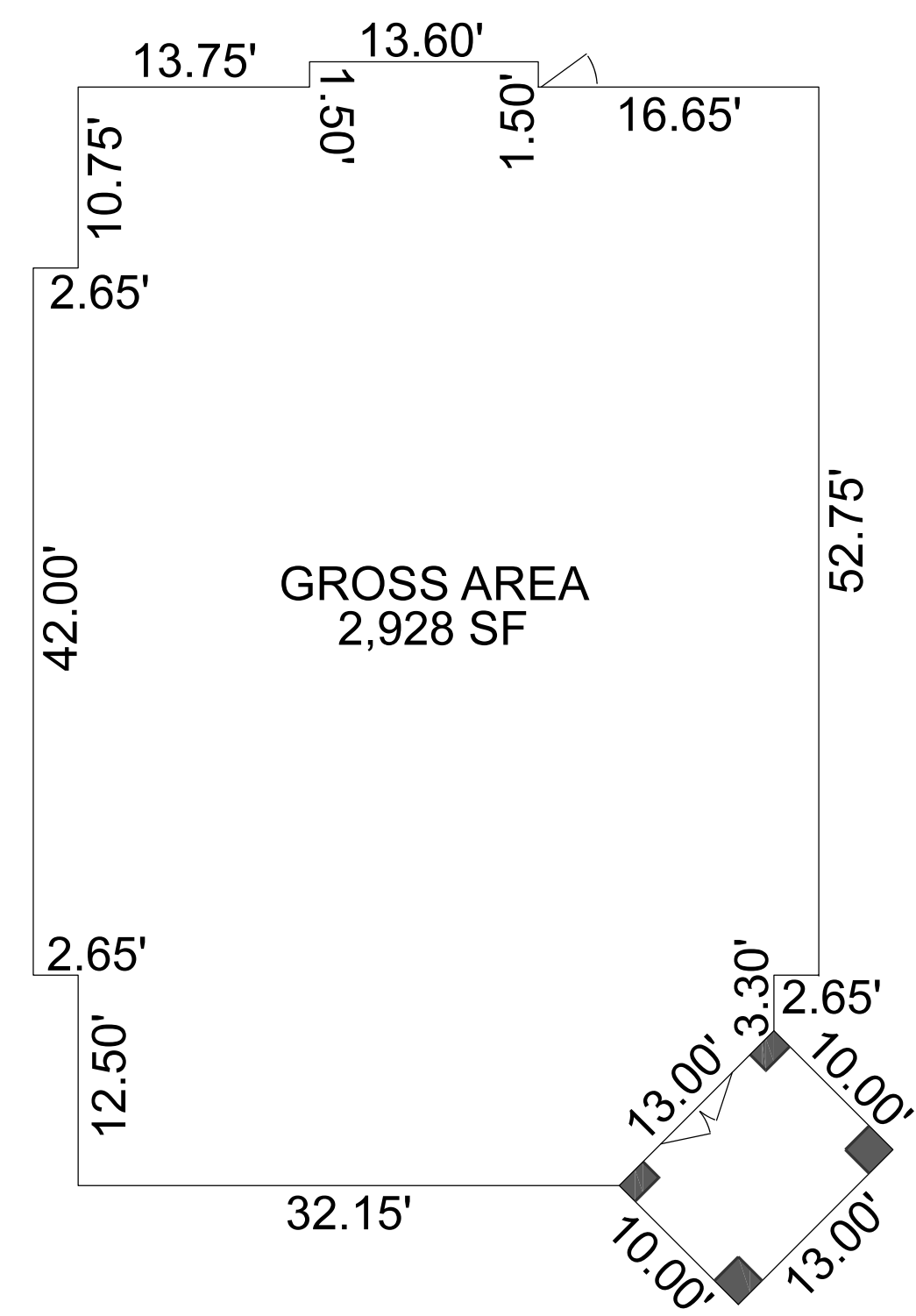


EXISTING SITE & DEMO



SITE LAYOUT

PARKING CALCULATION
 BUILDING GROSS FLOOR AREA: 2,928 S.F.
 USE: PROFESSIONAL COMMERCIAL/INDUSTRIAL
 MINIMUM SPACE REQUIREMENT: 1 SPACE PER 300 SF
 10 SPACES REQ, 1 ADA, 9 REGULAR
 17 SPACES PROVIDED



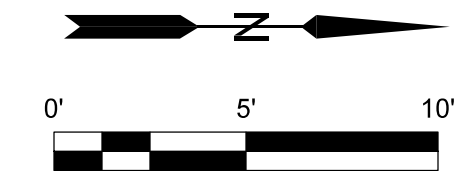
BUILDING DIMENSIONS

= CONCRETE
 = ASPHALT



CLIENT: REDDELL HOLDINGS, LLC LEAVENWORTH, KS		DRAWING NUMBER: SITE LAYOUT	
DRAWN BY: DJS		DATE: 11-16-2021	
ELECTRONIC FILE NAME: AS NOTED		SHT. 3 OF 16	
REV.	DATE	BY	DESCRIPTION
3	08-05-2022	DJS	WEST RETAINING WALL REMOVED
2	12-21-2021	DJS	APPROVED FOR CONSTRUCTION
1	11-16-2021	DJS	SUBMIT FOR CITY REVIEW

LANSING FAMILY EYE CENTER
LANSING, KS

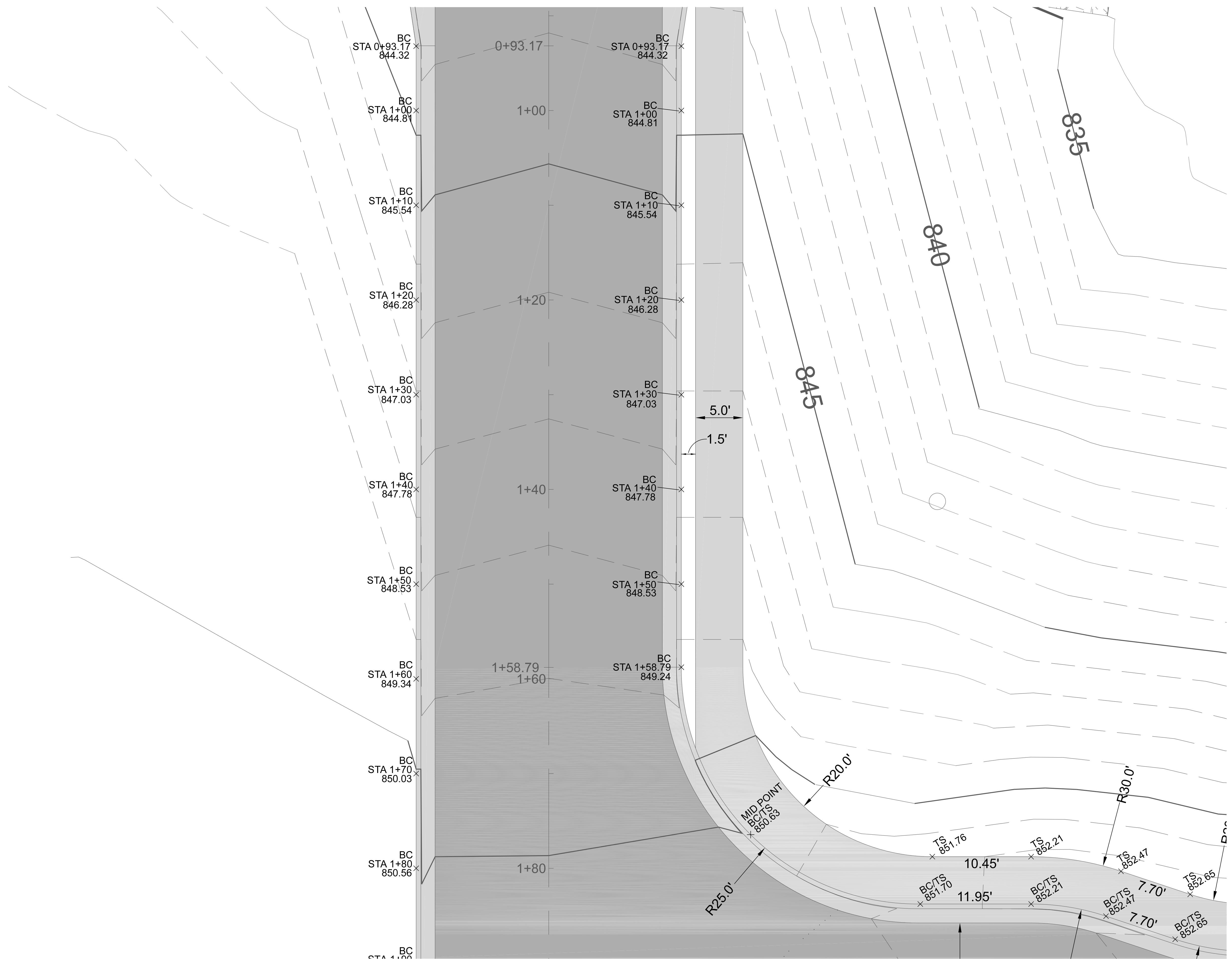


Legend:
[Light Gray Box] = CONCRETE
[Dark Gray Box] = ASPHALT



GRADING & DIMENSIONS

CLIENT: REDDELL HOLDINGS, LLC LEAVENWORTH, KS		DRAWING NUMBER: GRADING & DIMENSIONS SHT. 4 OF 16	
DRAWN BY: DJS		DATE: 11-16-2021	SCALE: AS NOTED
Schulte Engineering & Consulting, LLC 21 Gates Dr. Leavenworth, KS 66048 www.schulteengineering.com admin@schulteengineering.com PHONE: (816) 260-3328			
REV.	DATE	BY	DESCRIPTION
3	08-08-2022	DJS	WEST RETAINING WALL REMOVED
2	12-21-2021	DJS	APPROVED FOR CONSTRUCTION
1	11-16-2021	DJS	SUBMIT FOR CITY REVIEW



= CONCRETE
 = ASPHALT

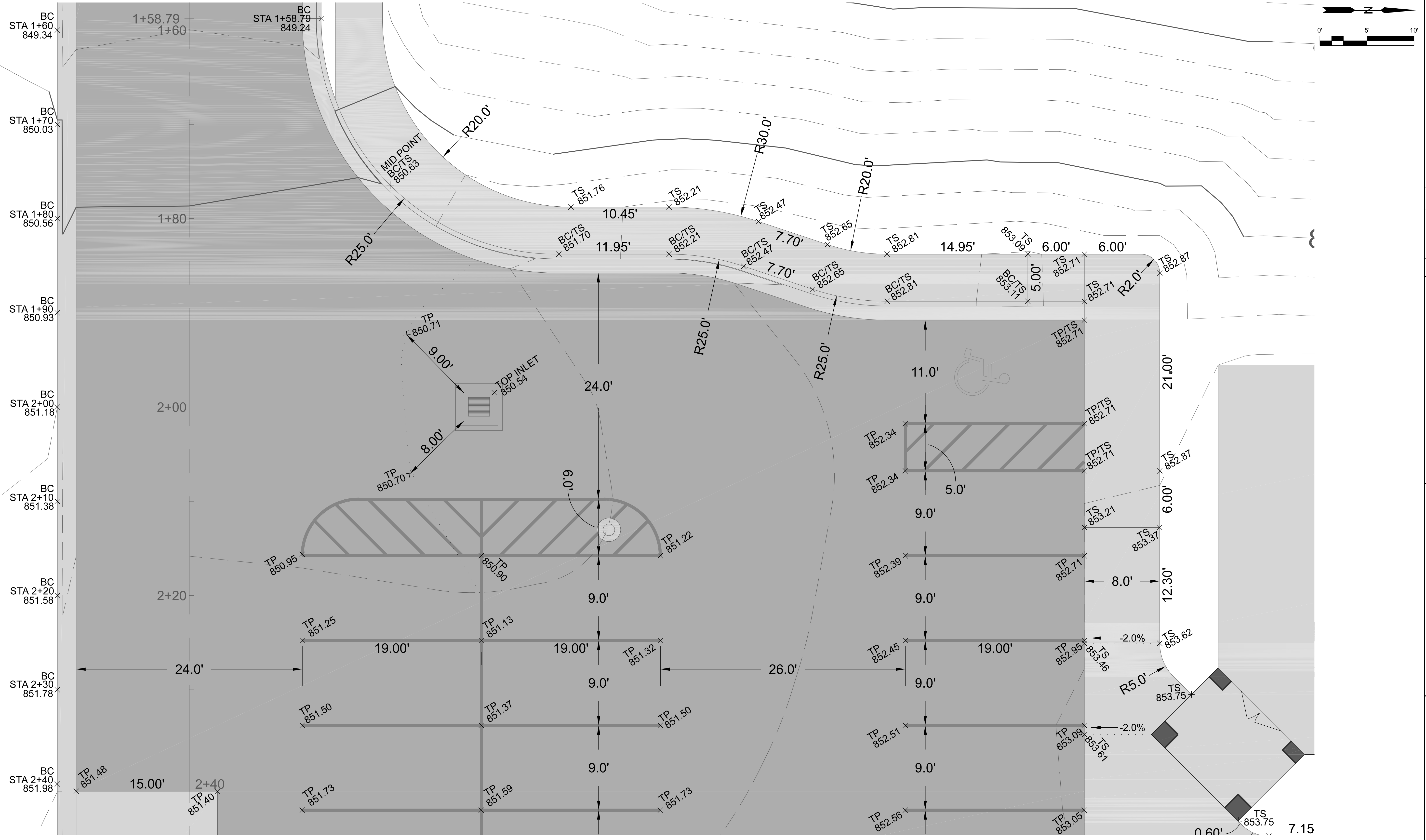


	WEST RETAINING WALL REMOVED APPROVED FOR CONSTRUCTION				
3	DJS	08-08-2022	DJS	12-21-2021	DJS
2	DJS	11-16-2021	DJS	11-16-2021	DJS
1	DJS	11-16-2021	DJS	11-16-2021	DJS
REV.	DATE	DATE	DATE	DATE	DESCRIPTION

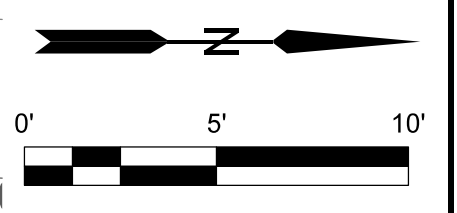
Schulte Engineering & Consulting, LLC 21 Gates Dr. Peoria, IL 61614 www.schulteengineering.com admin@schulteengineering.com PHONE: (816) 260-3328	REDDELL HOLDINGS, LLC LEAVENWORTH, KS DATE: 11-16-2021 SCALE: AS NOTED
--	---

LANSING FAMILY EYE CENTER LANSING, KS	GRADING & DIMENSIONS sht. 5 of 16
--	--------------------------------------

GRADING & DIMENSIONS



GRADING & DIMENSIONS



REV.	DATE	BY	DESCRIPTION
3	08-08-2022	DJS	WEST RETAINING WALL REMOVED
2	12-21-2021	DJS	APPROVED FOR CONSTRUCTION
1	11-16-2021	DJS	SUBMIT FOR CITY REVIEW

Schulte Engineering & Consulting, LLC
 21 Gates Dr.
 Peoria, IL 61614
 www.schulteengineering.com
 admin@schulteengineering.com
 PHONE: (815) 260-3328

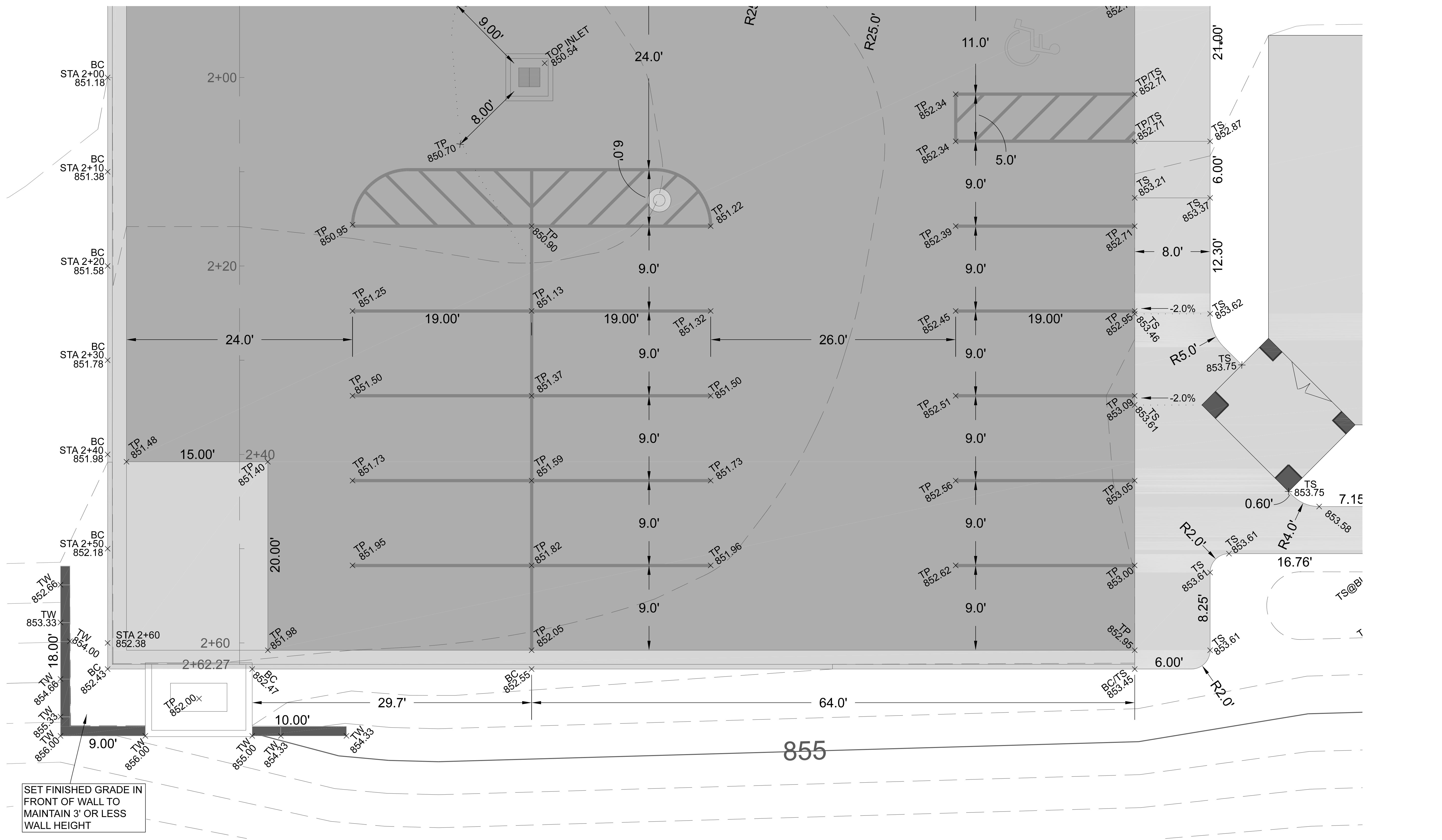
CLIENT: REDDELL HOLDINGS, LLC
 LEAVENWORTH, KS

DRAWN BY: DJS DATE: 11-16-2021
 ELECTRONIC FILE NAME: SCALE AS NOTED

LANSING FAMILY EYE CENTER
 LANSING, KS

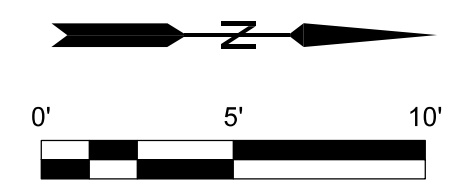
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GRADING & DIMENSIONS

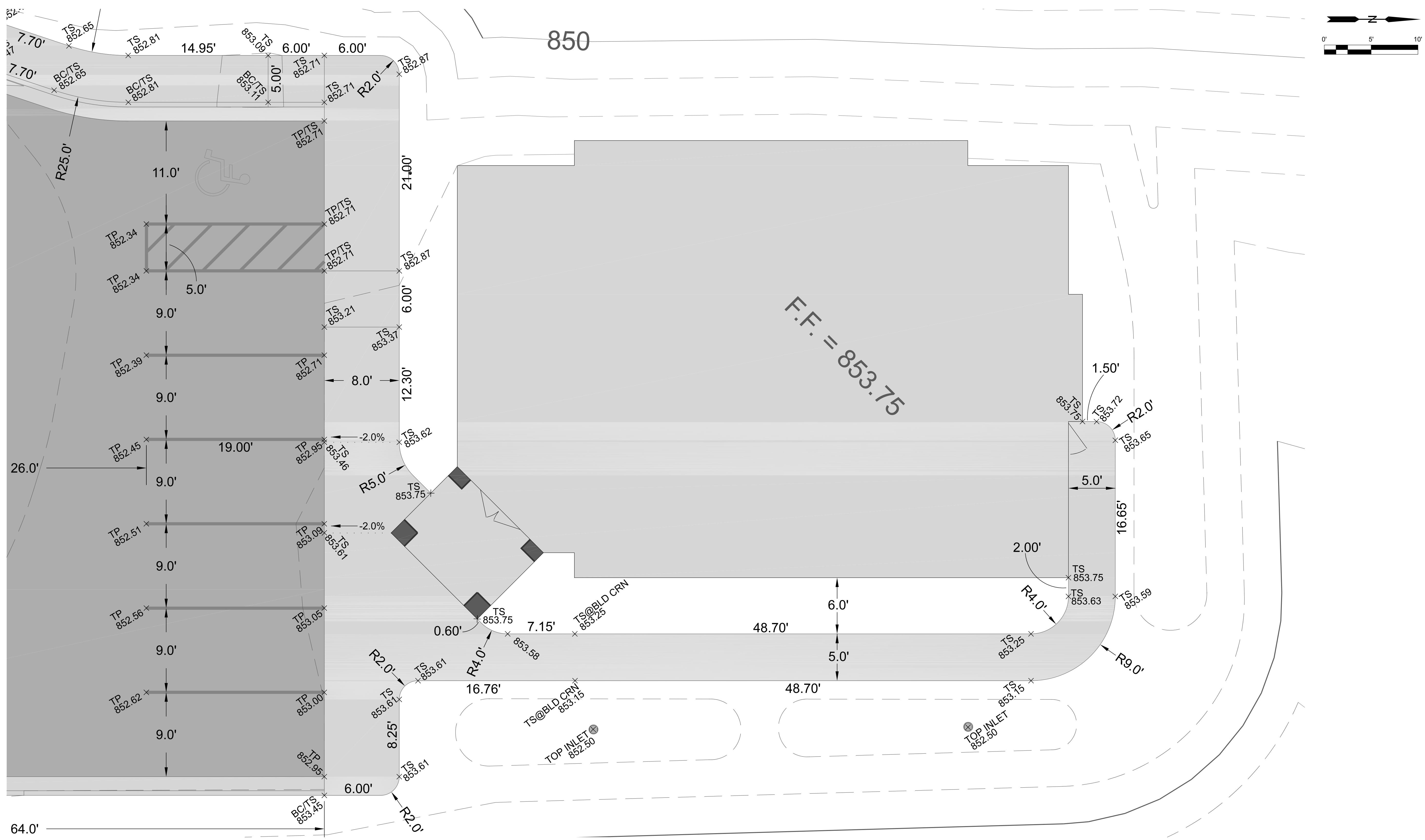
SET FINISHED GRADE IN FRONT OF WALL TO MAINTAIN 3' OR LESS WALL HEIGHT



- = CONCRETE
- = ASPHALT



<p style="text-align: center;">Schulte Engineering & Consulting, LLC <small>21 Gates Dr. Pittsburg, KS 67120 www.schulteengineering.com admin@schulteengineering.com PHONE: (816) 260-3328</small></p>			
REV.	DATE	BY	DESCRIPTION
3	08-08-2022	DJS	WEST RETAINING WALL REMOVED
2	12-21-2021	DJS	APPROVED FOR CONSTRUCTION
1	11-16-2021	DJS	SUBMIT FOR CITY REVIEW
0			
<p>CLIENT: REDELL HOLDINGS, LLC LEAVENWORTH, KS</p> <p>DRAWN BY: DJS DATE: 11-16-2021 SCALE: AS NOTED</p> <p>DRAWING NUMBER: GRADING & DIMENSIONS SHEET: 7 OF 16</p>			

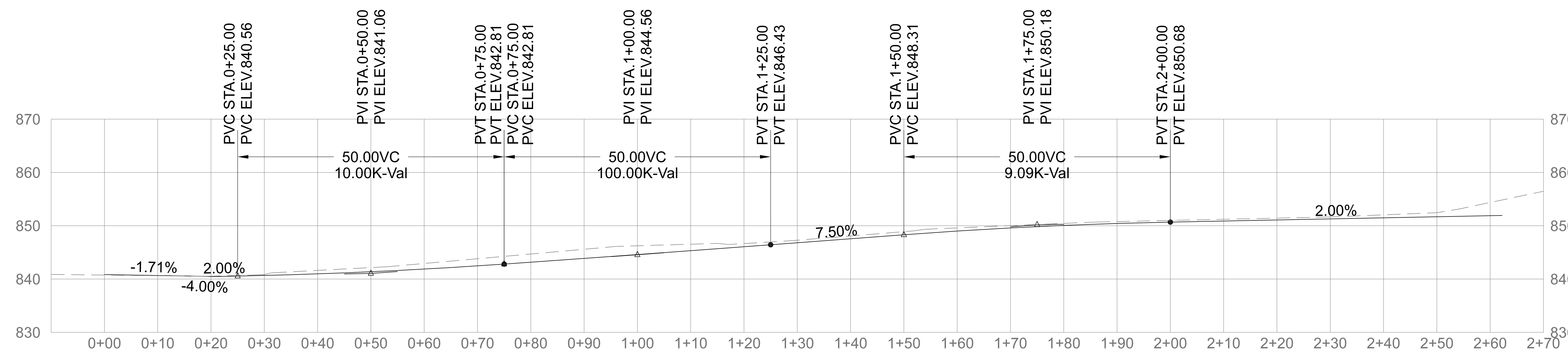
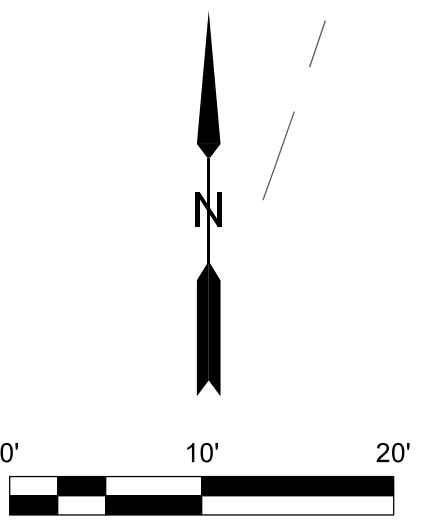
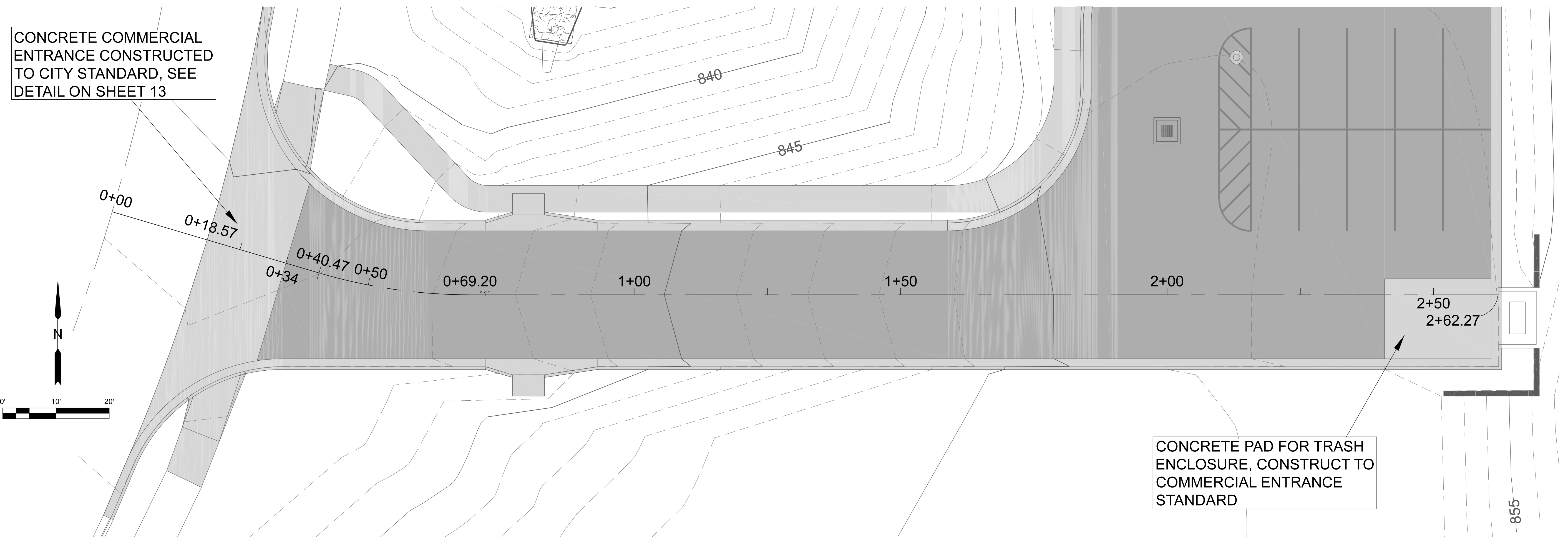


GRADING & DIMENSIONS

- = CONCRETE
- = ASPHALT

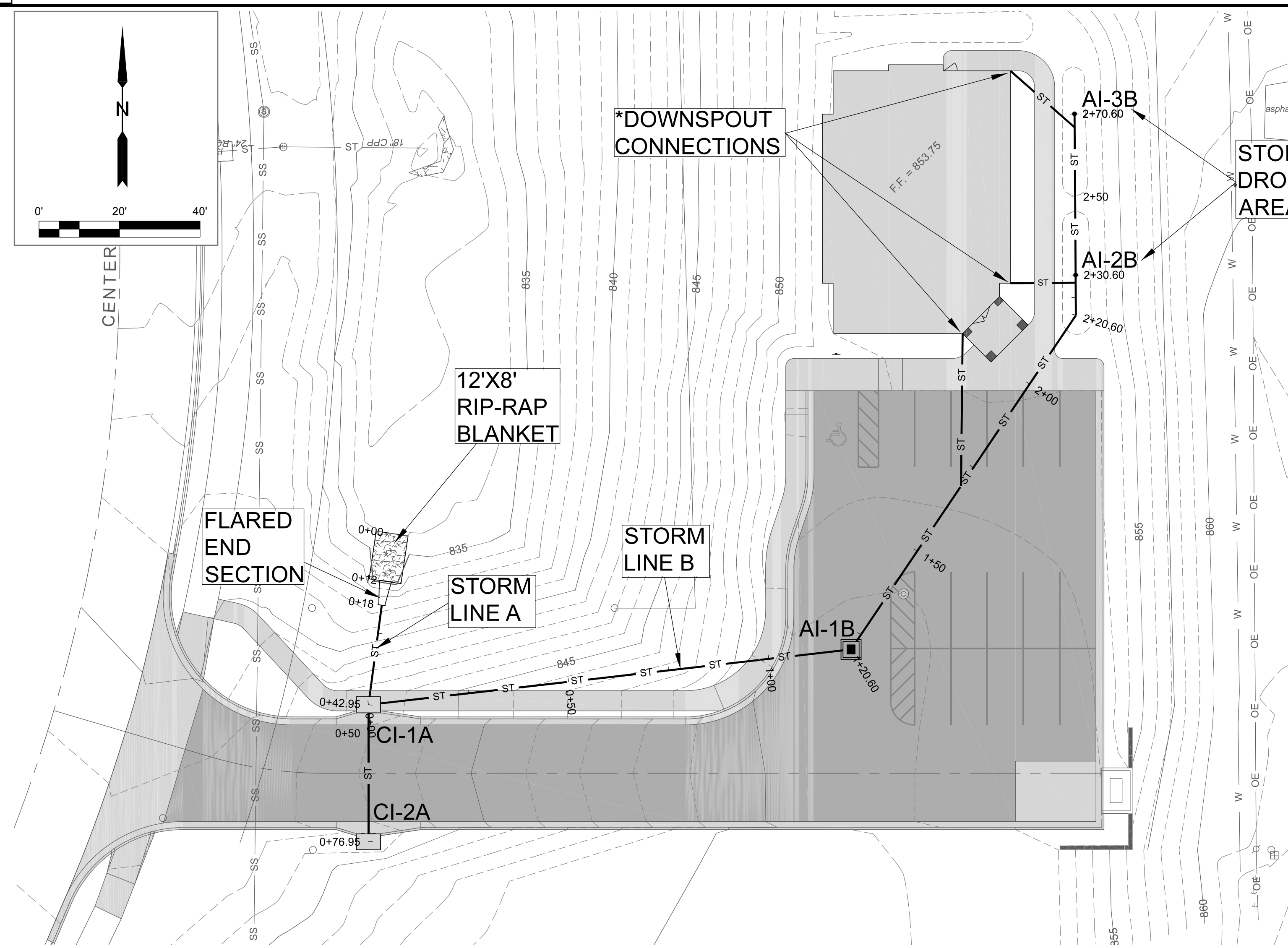


CLIENT: REDELL HOLDINGS, LLC LEAVENWORTH, KS	DRAWN BY: DJJ DATE: 11-16-2021 SCALE: AS NOTED	DRAWING NUMBER: GRADING & DIMENSIONS	SHEET: 8 OF 16
Schulte Engineering & Consulting, LLC 21 Gates Dr. P.O. Box 111 Leavenworth, KS 66048 www.schulteengineering.com admin@schulteengineering.com PHONE: (816) 260-3328		WEST RETAINING WALL REMOVED APPROVED FOR CONSTRUCTION SUBMIT FOR CITY REVIEW	
REV.	DATE	BY	DESCRIPTION
3	08-05-2022	DJJ	WEST RETAINING WALL REMOVED
2	12-21-2021	DJJ	APPROVED FOR CONSTRUCTION
1	11-16-2021	DJJ	SUBMIT FOR CITY REVIEW



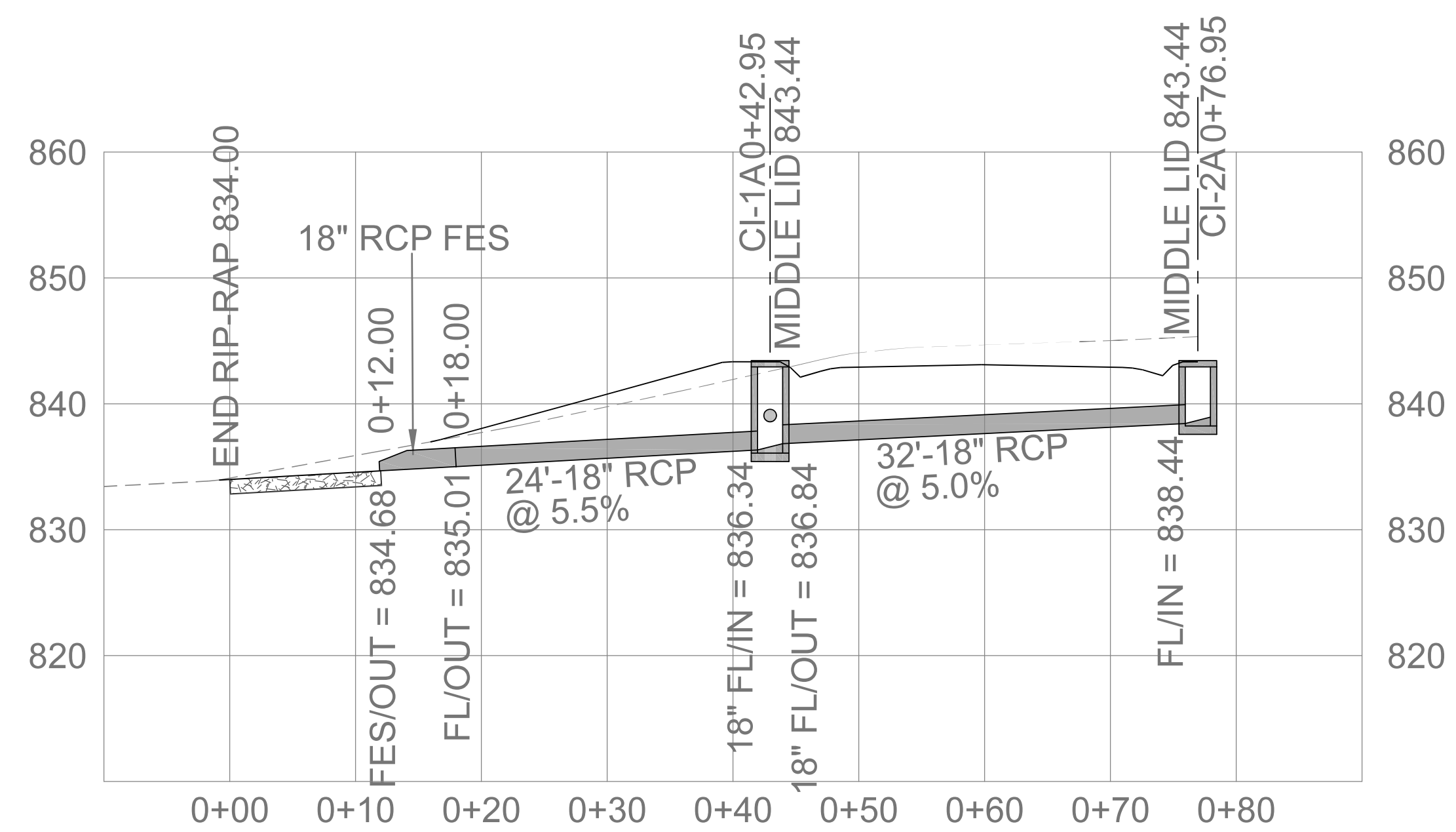
CLIENT: REDDELL HOLDINGS, LLC LEAVENWORTH, KS		DRAWN BY: DJS DATE: 11-16-2021	
LANSING FAMILY EYE CENTER LANSING, KS		ELECTRONIC FILE NAME: SCALE AS NOTED	
ROAD LAYOUT & PROFILE		SHT. 9 OF 16	
REV. 0	DRAWING NUMBER:	WEST RETAINING WALL REMOVED APPROVED FOR CONSTRUCTION SUBMIT FOR CITY REVIEW	DESCRIPTION
3	08-08-2022	DJS	BY
2	12-21-2021	DJS	DATE
1	11-16-2021	DJS	BY

Schulte Engineering & Consulting, LLC
21 Gates Dr.
Pitts, Ct
www.schulteengineering.com
admin@schulteengineering.com
PHONE: (816) 260-3328



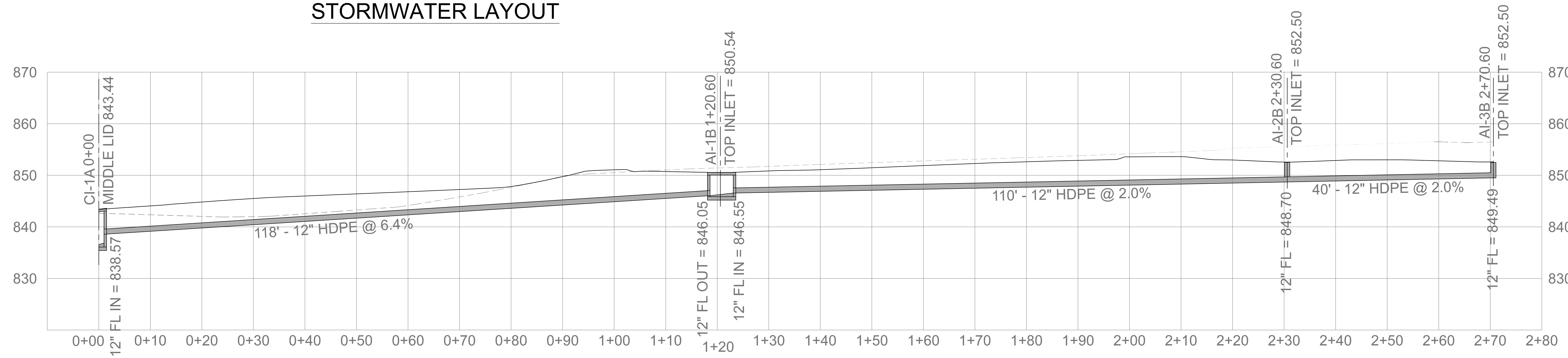
STORMWATER LAYOUT

* - VERIFY DOWNSPOUT LOCATIONS WITH ARCHITECTURAL DRAWINGS



STORM LINE A PROFILE

VERTICAL: 1"=10'
HORIZONTAL: 1"=10'

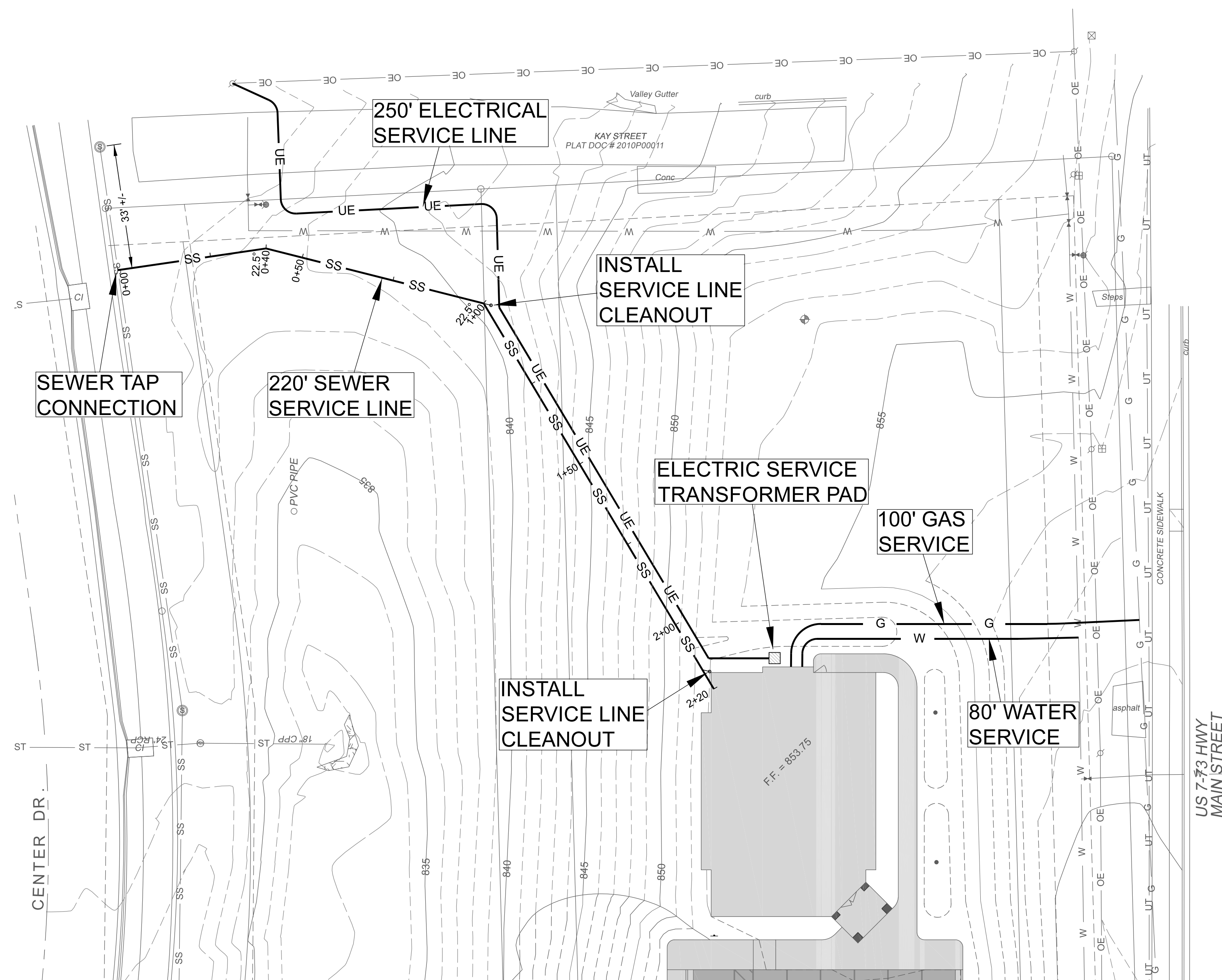
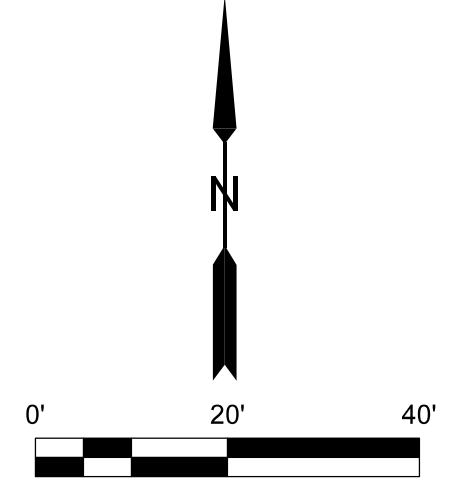


STORM LINE B PROFILE

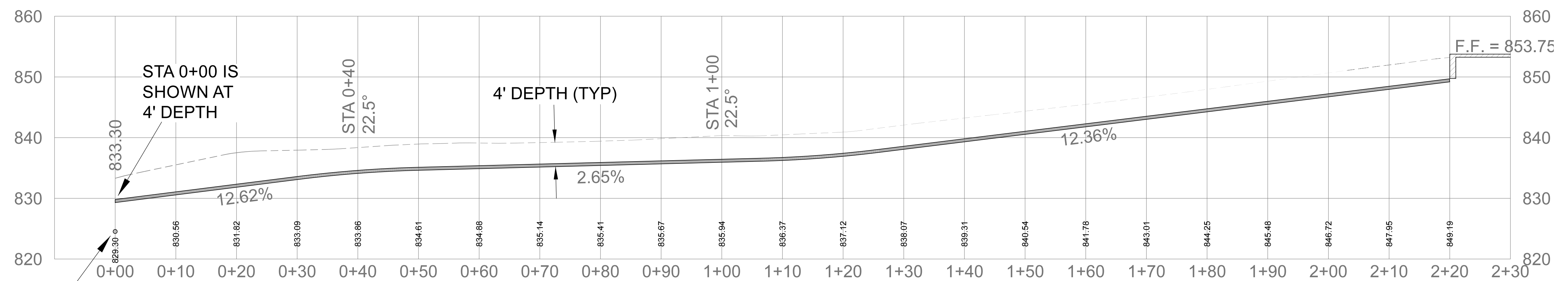
VERTICAL: 1"=10'
HORIZONTAL: 1"=10'



CLIENT: REDELL HOLDINGS, LLC LEAVENWORTH, KS	
DRAWING NUMBER: 0	DATE: 11-16-2021 SCALE: AS NOTED
DRAWING BY: DJS	ELECTRONIC FILE NAME:
PROJECT: LANSING FAMILY EYE CENTER LANSING, KS	SHEET: STORM LAYOUT & PROFILE .SHT. 10 OF 16
REV. 3: 08-05-2022 DJS REV. 2: 12-21-2021 DJS REV. 1: 11-16-2021 DJS	WEST RETAINING WALL REMOVED APPROVED FOR CONSTRUCTION SUBMIT FOR CITY REVIEW
Schulte Engineering & Consulting, LLC 21 Gates Dr. P.O. Box 100 Leavenworth, KS 66043 www.schulteengineering.com admin@schulteengineering.com PHONE: (816) 260-3328	DESCRIPTION:



UTILITY PLAN



SEWER SERVICE PROFILE

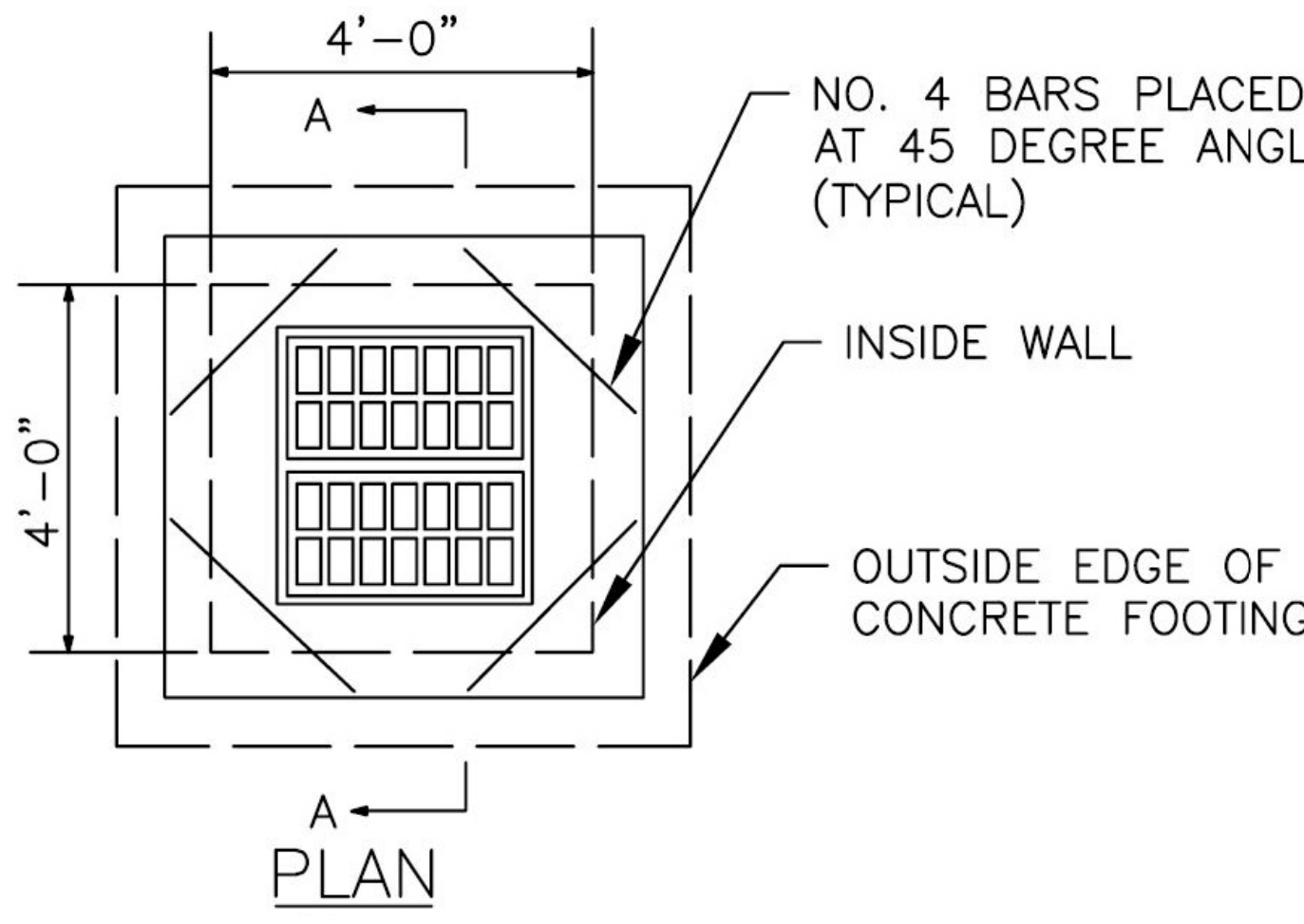
VERTICAL: 1"=10'
HORIZONTAL: 1"=10'

CALCULATED ELEVATION OF EXISTING SEWER IS 824.20, FIELD VERIFY

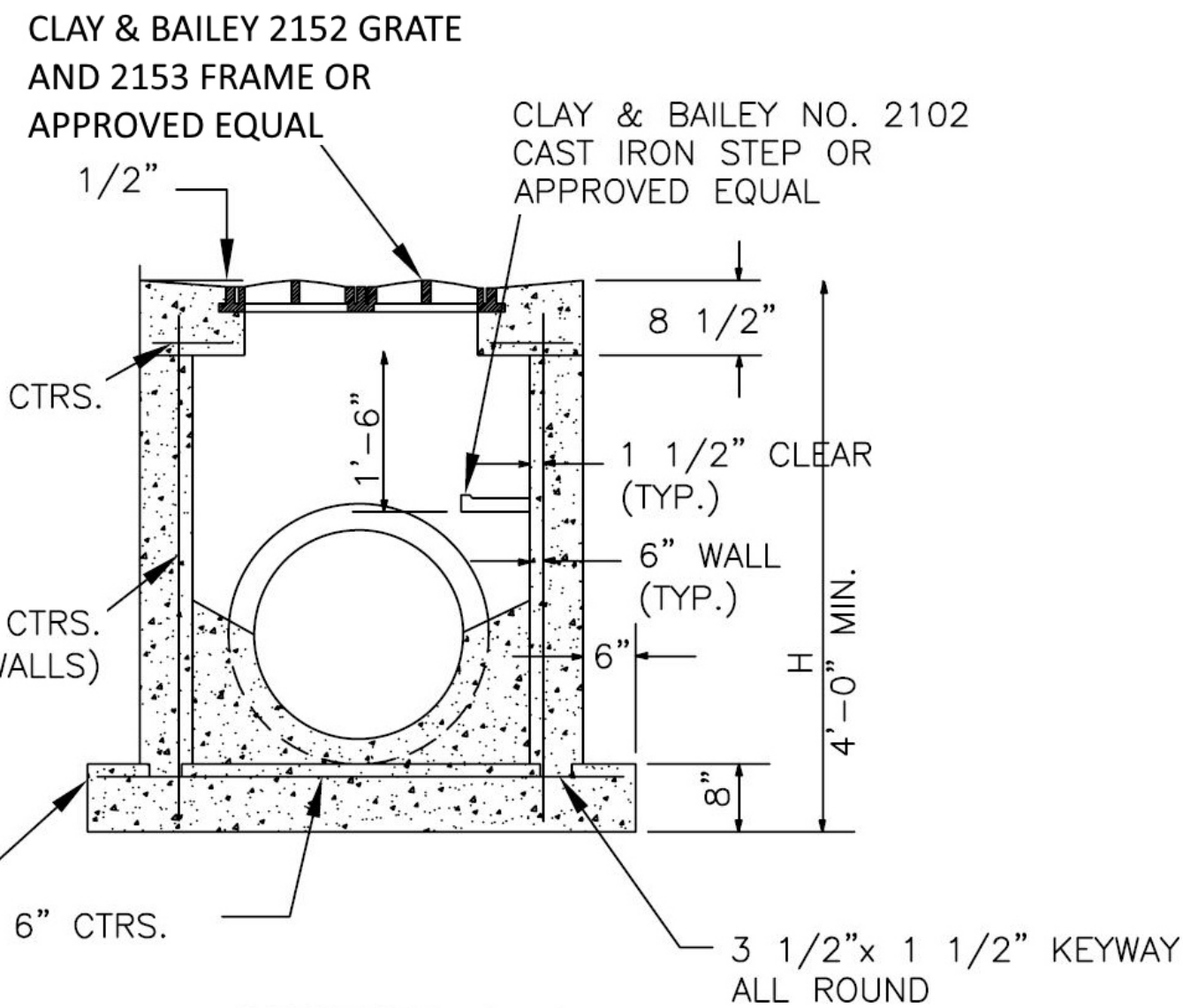


CLIENT: REDDELL HOLDINGS, LLC LEAVENWORTH, KS		DRAWN BY: DJS		DATE: 11-16-2021		SCALE: AS NOTED	
LANSING FAMILY EYE CENTER LANSING, KS		ELECTRONIC FILE NAME:		UTILITY PLAN		SHT. 11 OF 16	
REV.	0	DATE	11-16-2021	DESCRIPTION	WEST RETAINING WALL REMOVED APPROVED FOR CONSTRUCTION SUBMIT FOR CITY REVIEW		

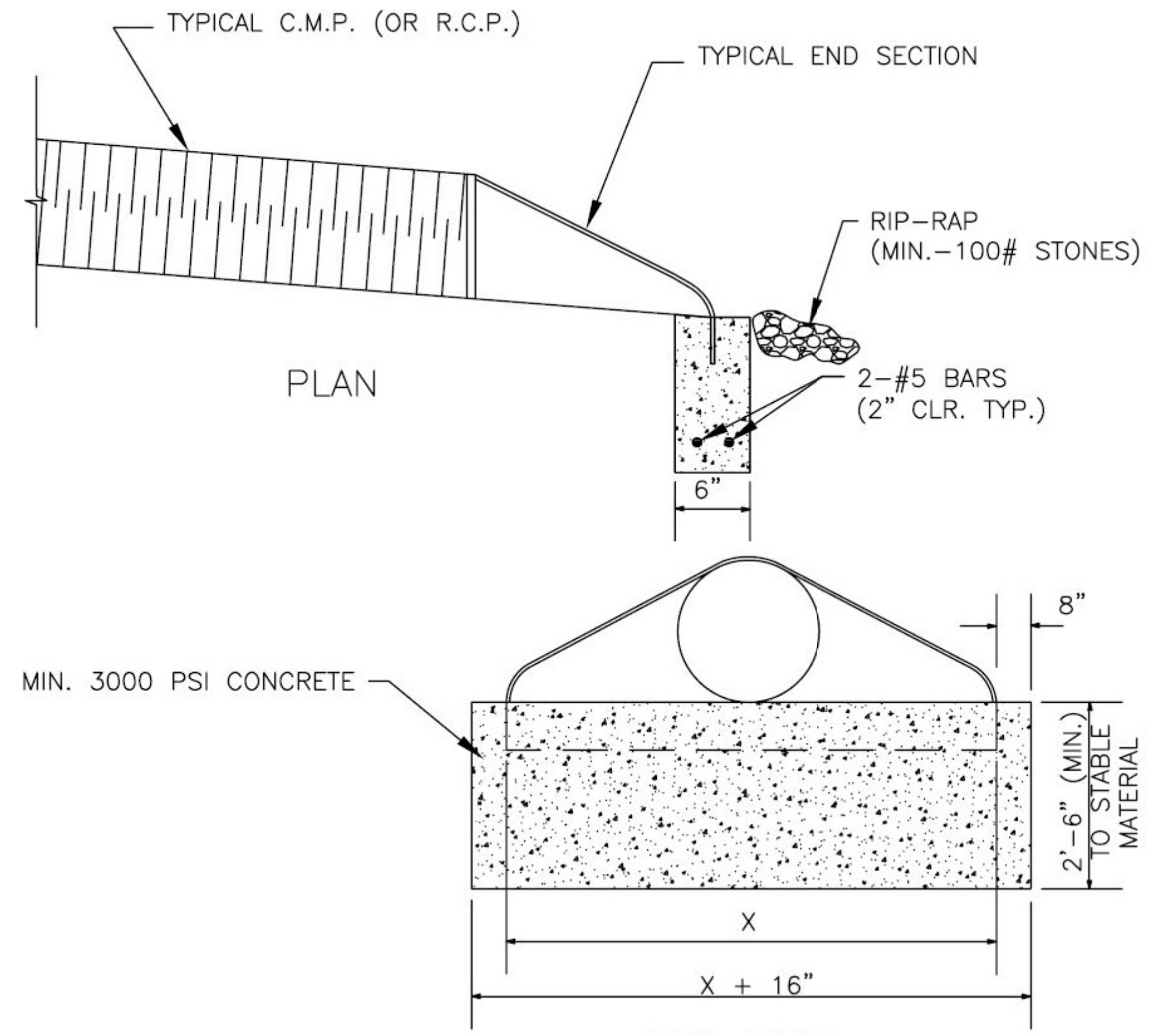
Schulte Engineering & Consulting, LLC
21 Gates Dr.
Platts, MO 64651
www.schulteengineering.com
admin@schulteengineering.com
PHONE: (816) 260-3328



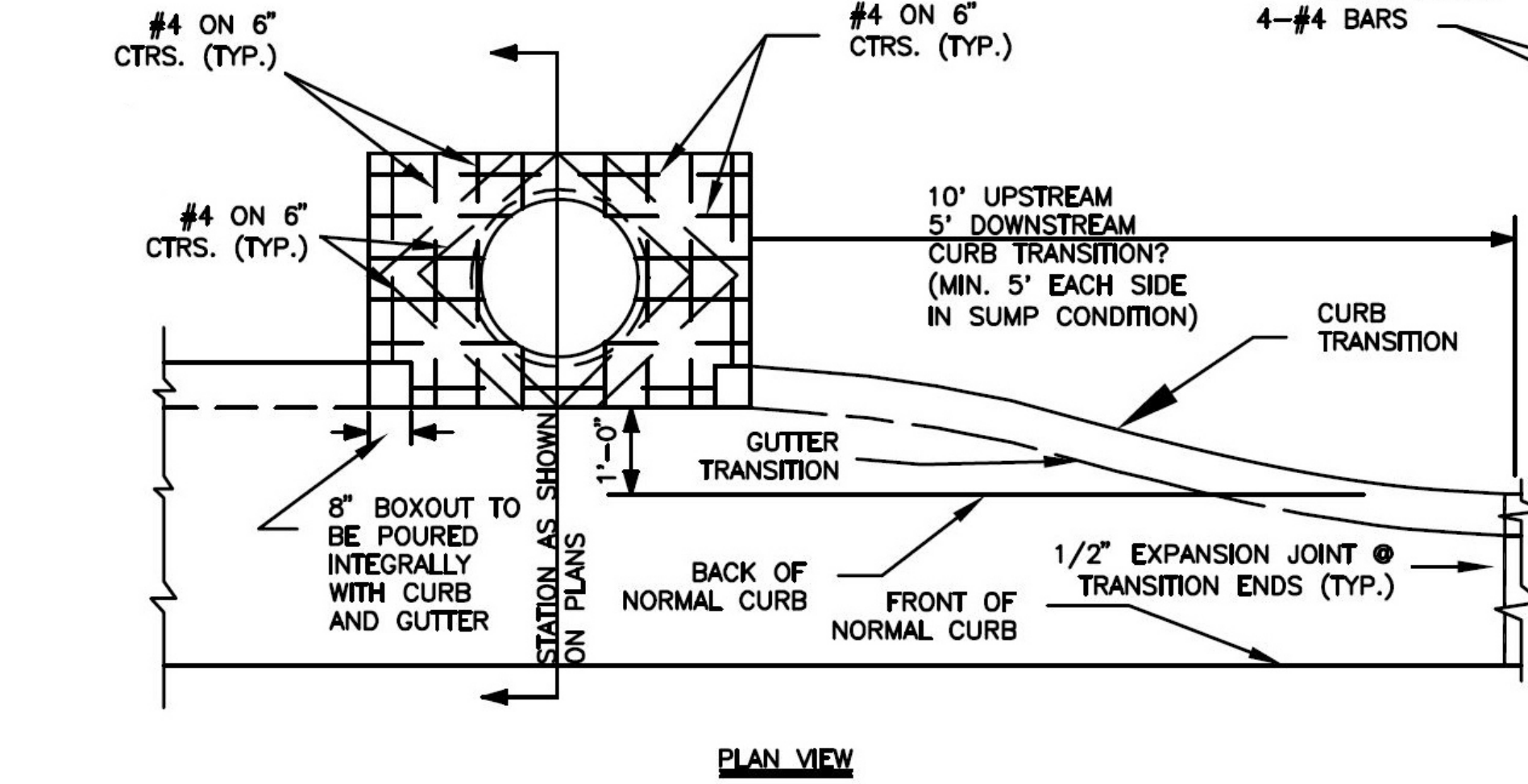
- NOTES:**
1. USE CLASS "A" CONCRETE (AE) THROUGHOUT (4000 PSI).
 2. FLOOR OF INLET SHALL BE SHAPED WITH NON-REINFORCED CLASS "A" CONCRETE (AE) INVERT TO PROVIDE SMOOTH FLOW.
 3. CAST IRON STEPS SHALL BE SPACED AT 1'-4" O.C. VERTICALLY.
 4. BEVEL ALL EXPOSED EDGES WITH 3/4" TRIANGULAR MOUNDING.
 5. WALLS MAY EITHER BE POURED IN PLACE OR PRE-CAST.
 6. ALL CRUSHED STONE USED AS AGGREGATE FOR CONCRETE CONSTRUCTION SHALL BE OBTAINED FROM QUARRIES AND BEDS DESIGNATED BY THE KANSAS DEPARTMENT OF TRANSPORTATION AS MEETING DURABILITY REQUIREMENTS OF CLASS 1 OR CLASS 6, AS SHOWN ON FILE IN THE OFFICE OF THE CITY ENGINEER.



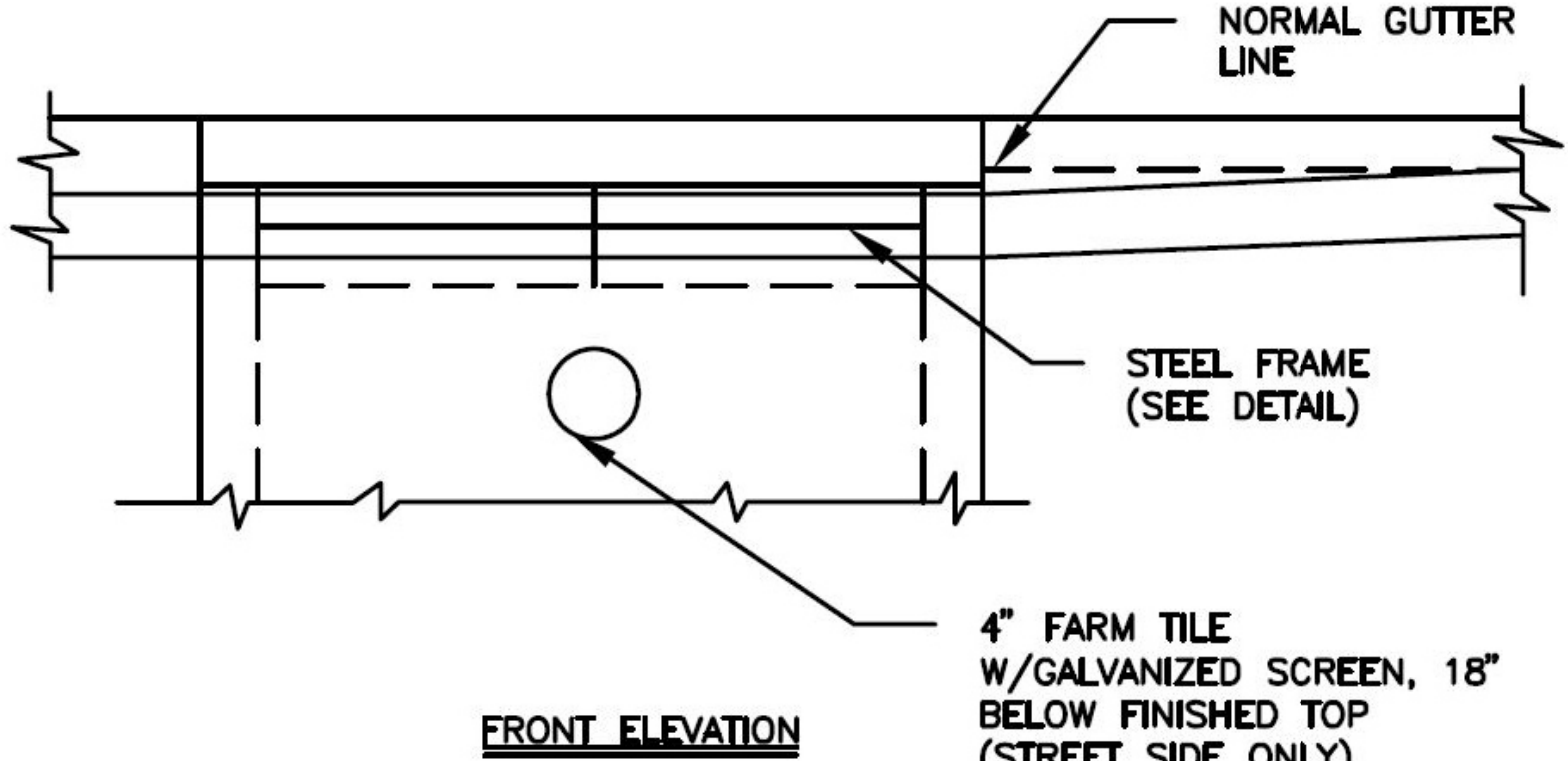
**SECTION A-A
GRADED INLET**



FLARED END SECTION



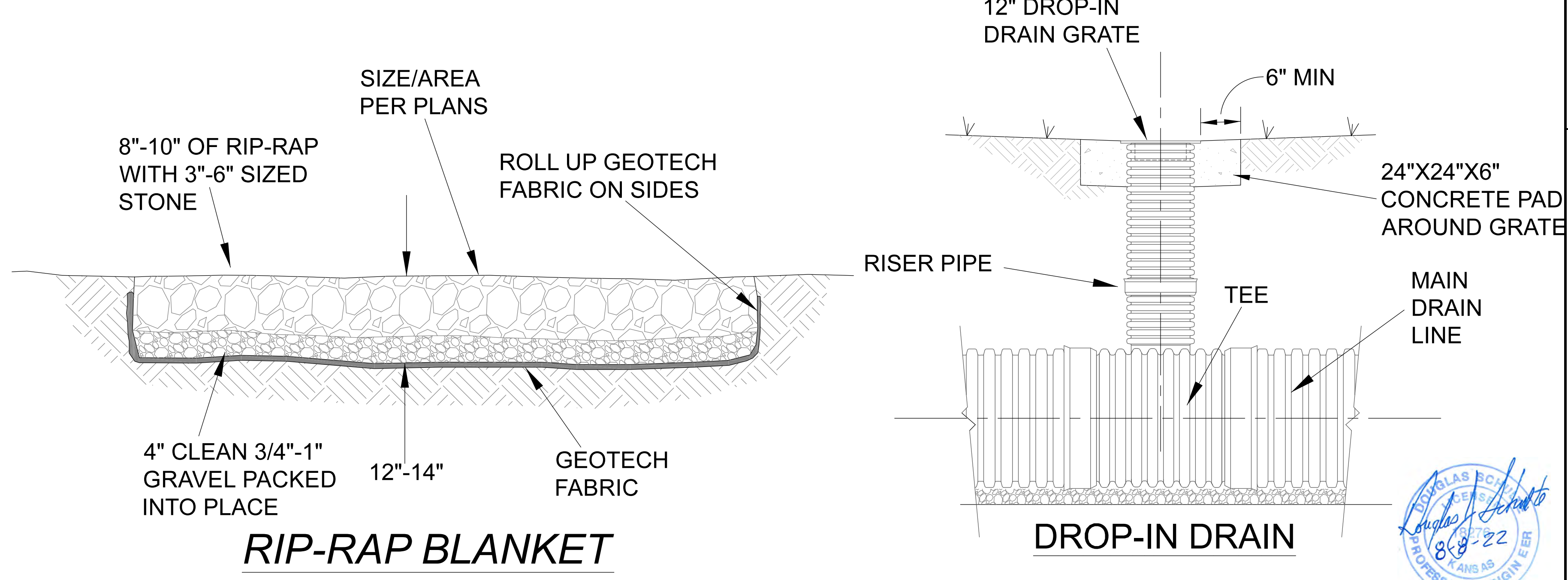
PLAN VIEW



FRONT ELEVATION

- NOTES:**
1. CONTRACTOR SHALL PROVIDE STEPS SPACED AT 1'-4" O.C. WHERE INLET OR MANHOLE DEPTH IS GRATER THAN 4'-0". STEPS SHALL BE M.A. INDUSTRIES, INC. MODEL PS-2-PF OR APPROVED EQUAL.
 2. USE OF PRECAST CONCRETE REQUIRES DESIGN ENGINEER'S APPROVAL OF SHOP DRAWINGS.
 3. MANHOLE RING AND LID SHALL BE CLAY & BAILEY NO. 2020, OR AN APPROVED EQUAL.
 4. SPACER SHALL BE PLACED AT EQUAL INTERVALS ACCORDING TO THE FOLLOWING: L=7'-0", 2 SPACES; L=8'-0", 3 SPACES; L=10'-0", 3 SPACES.
 5. THE FIRST DIMENSION IN THE PLAN NOTATIONS REFERS TO THE "L" DIMENSION.
 6. THE SECOND DIMENSION IN THE PLAN NOTATIONS REFERS TO THE "W" DIMENSION.
 7. "JUNCTION BOX" AS CALLED FOR IN THE PLANS, SHALL BE CONSTRUCTED TO CONFORM, WHERE APPLICABLE, WITH THE DIMENSIONS, THICKNESS AND DETAILS SHOWN.
 8. ALL METAL SURFACES SHALL BE GALVANIZED.
 9. CURB CONTRACTOR SHALL HAND FORM AND FINISH GUTTER WITHIN THE INLET THROAT TO THE REAR OF FRONT INLET WALL AT THE TIME THE FINISHING OF NORMAL CURB IS ACCOMPLISHED.
 10. THE INVERT SHALL HAVE A TROWEL FINISH TO SECURE SMOOTH INVERT SLOPING TO OUTLET PIPE.
 11. OUTLET OR INLET PIPE SHALL BE PLACED AS SPECIFIED OR AS DIRECTED BY THE ENGINEER. REINFORCING STEEL SHALL BE BENT AROUND PIPE.
 12. USE KSS CLASS A (4000 PSI) CONCRETE FOR ALL STANDARD CATCH BASINS AND INLETS.
 13. STORM SEWER PIPE SHALL BE CUT FLUSH WITH INSIDE WALLS OF INLET.

CURB INLET



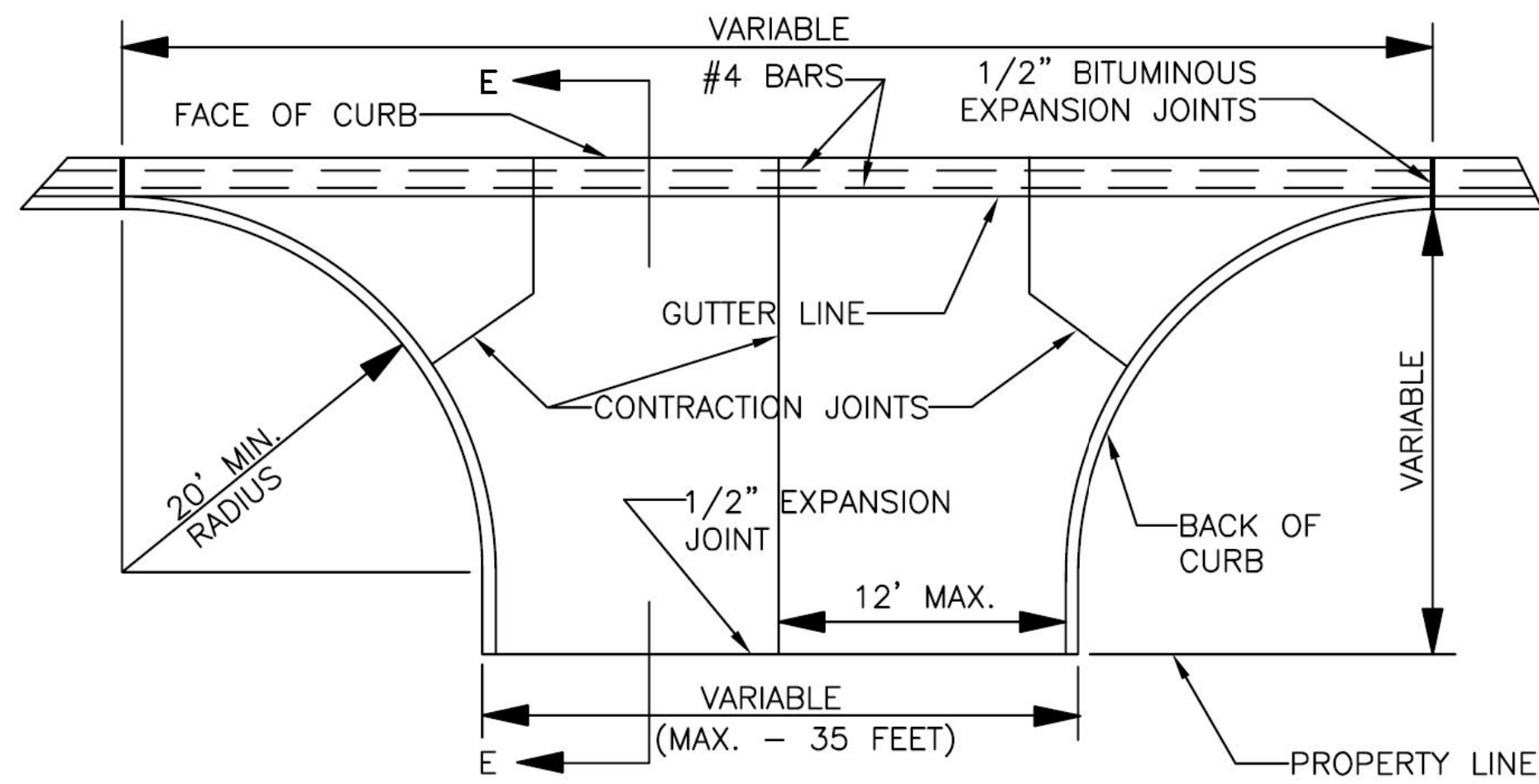
RIP-RAP BLANKET

DROP-IN DRAIN

REV.	DATE	BY	DESCRIPTION
3	08-08-2022	DJS	WEST RETAINING WALL REMOVED
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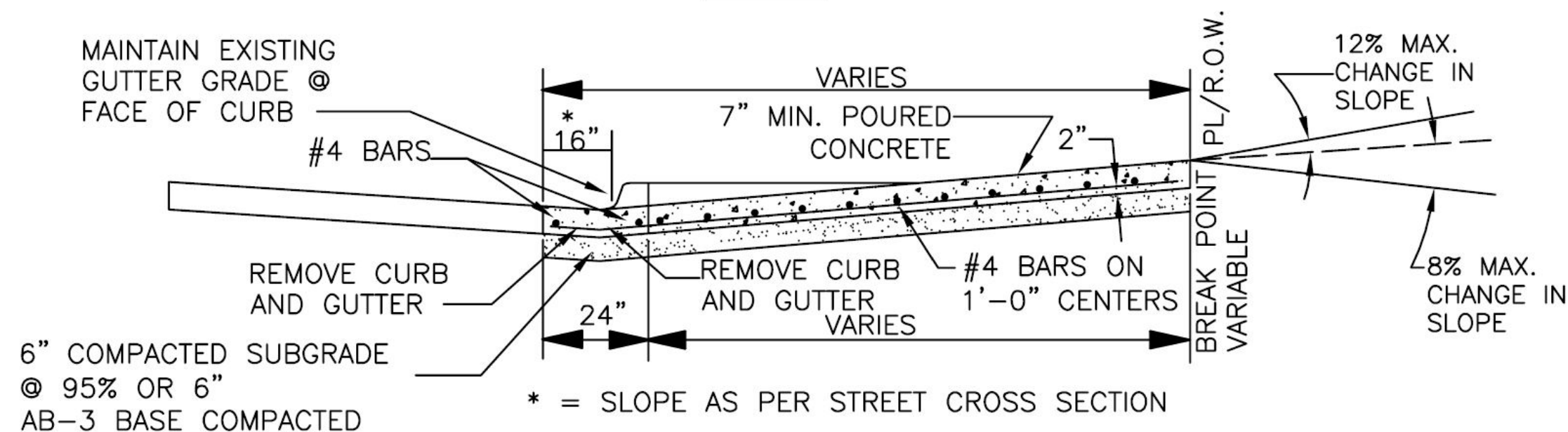
CLIENT:	REDELL HOLDINGS, LLC LEAVENWORTH, KS
DRAWN BY:	DJS
DATE:	11-16-2021
ELECTRONIC FILE NAME:	SCALE AS NOTED
DRAWING NUMBER:	TYPICAL DETAILS
SHEET:	12 OF 16

PROFESSOR	8-8-22
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NOTE: ENTRANCE TO DRIVE TO BE POURED MONOLITHICALLY

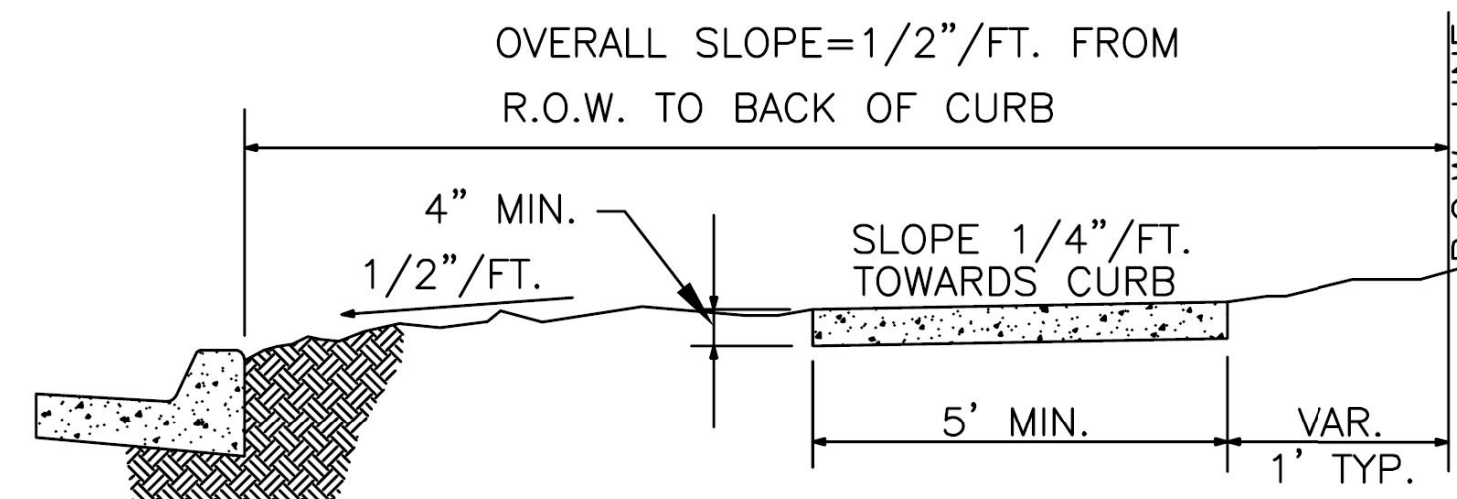
PLAN



SECTION E-E

COMMERCIAL ENTRANCE

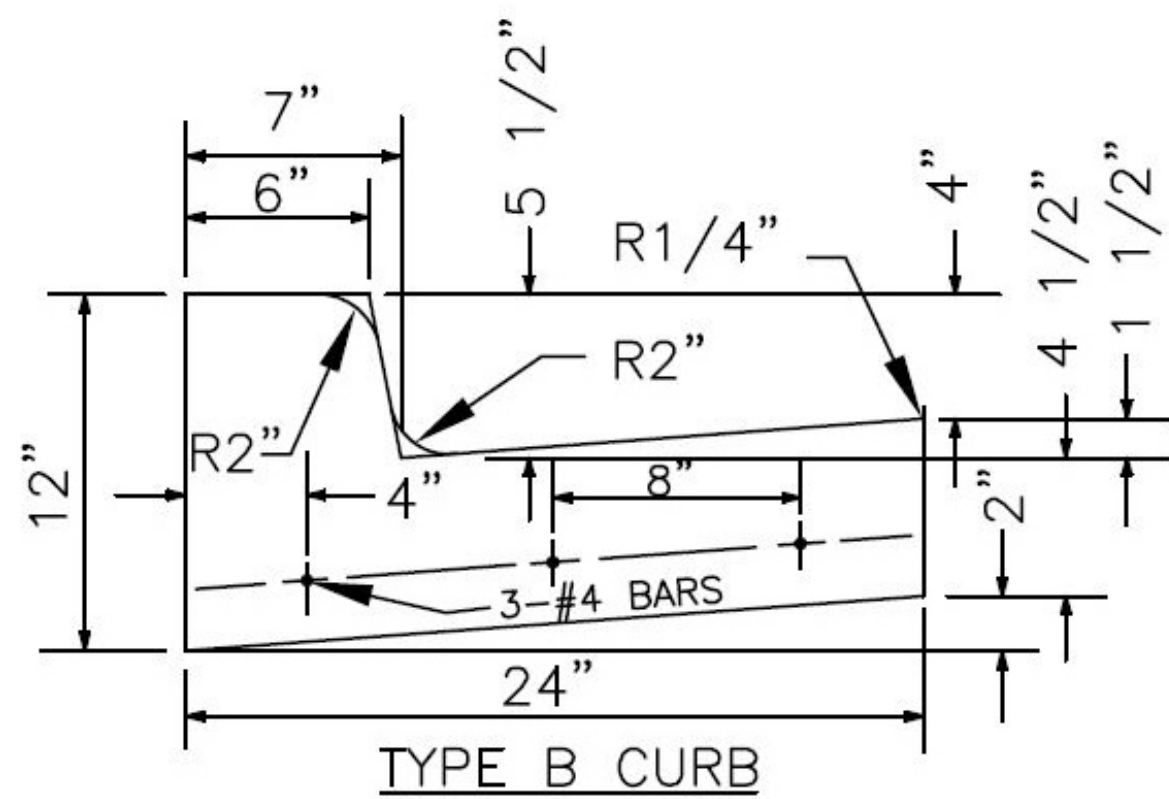
- NOTES:
1. JOINTS SHALL BE FORMED AT RIGHT ANGLES TO THE ALIGNMENT OF THE SIDEWALK AND TO THE DEPTHS INDICATED BELOW.
 2. THE SIDEWALK SHALL BE MARKED OFF INTO SQUARE STOMES BY CONTRACTION JOINTS. CONTRACTION JOINTS SHALL BE ONE-EIGHTH (1/8) INCH WIDE BY ONE (1) INCH DEEP AND MAY BE FORMED BY TOOLING OR BY USE OF A CONCRETE SAW.
 3. EXPANSION JOINTS SHALL BE FORMED BY A ONE-HALF (1/2) INCH THICK PERFORMED JOINT FILLER, EXTENDING THE FULL DEPTH OF THE SLAB, AND SECURED SO THAT THEY ARE NOT MOVED BY DEPOSITING AND COMPACTING THE CONCRETE AT THESE JOINTS.
 4. EXPANSION JOINTS SHALL BE PLACED WHERE SIDEWALK ABUTS OTHER STRUCTURES AND SHALL NOT BE SPACED MORE THAN 50 FEET APART ON STRAIGHT RUNS FOR HAND LAID SIDEWALKS AND NOT MORE THAN 100 FEET APART ON STRAIGHT RUNS FOR MACHINE LAID SIDEWALKS.



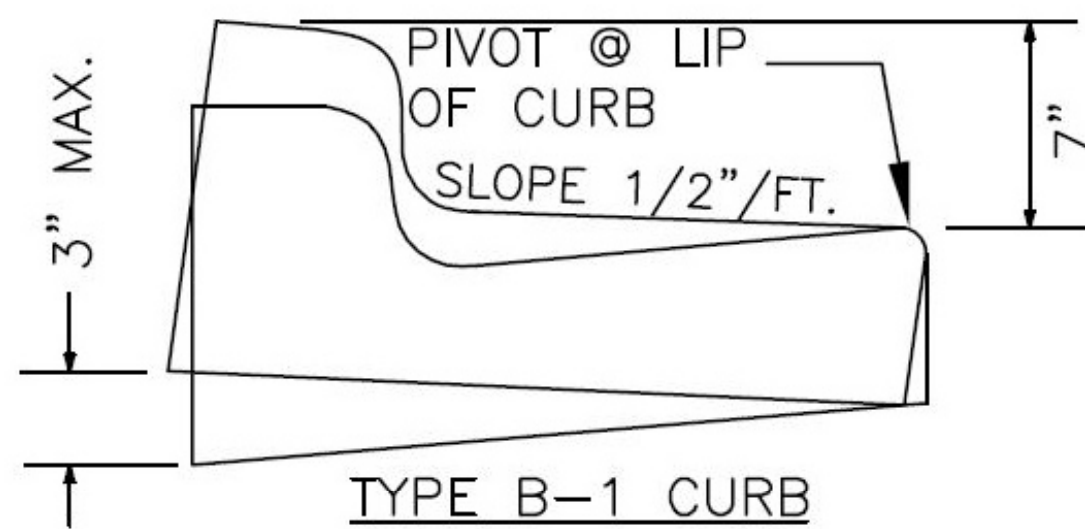
(RESIDENTIAL STREETS - ONE SIDE)
(5' - COLLECTOR AND THOROUGHFARE STREETS BOTH SIDES)

KS CLASS A(AE) CONCRETE SHALL BE USED THROUGHOUT.

TYPICAL SIDEWALK



TYPE B CURB



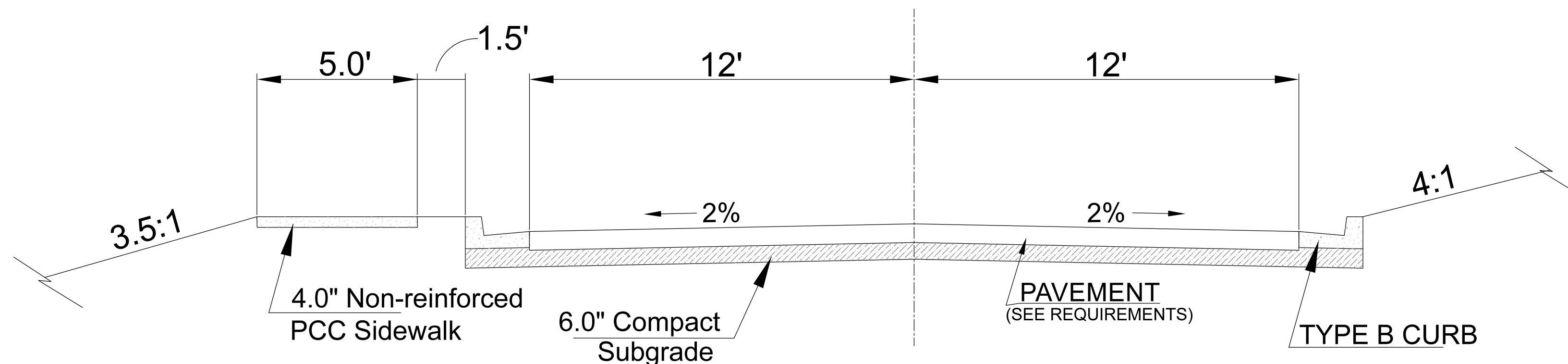
TYPE B-1 CURB

TYPICAL CURB

- NOTES:
1. 1/2" PREMOLDED EXPANSION JOINTS SHALL BE PLACED AT POINTS OF CURVATURE, CURB INLETS, AND AT 100' CENTERS. CONTRACTION JOINTS SHALL BE A MIN OF 2" DEEP OR 1/3 TOTAL THICKNESS, A MAX. OF 3/8" WIDE AND PLACED AT 10' INTERVALS EQUALLY SPACED BETWEEN EXPANSION JOINTS. KANSAS CLASS A(AE) CONCRETE SHALL BE USED THROUGHOUT.
 2. ALL CRUSHED STONE USED AS AGGREGATE FOR CONCRETE CONSTRUCTION SHALL BE OBTAINED FROM QUARRIES AND BEDS DESIGNATED BY THE KANSAS DEPARTMENT OF TRANSPORTATION AS MEETING DURABILITY REQUIREMENTS OF CLASS 1 OR CLASS 6.
 3. NEW CURB PLACEMENT SHALL BE DOWELLED TO EXISTING OR PREVIOUS PLACEMENT IN ACCORDANCE WITH REINFORCING AS SHOWN ON THIS SHEET.
 4. REINFORCING NOT REQUIRED WHEN CURB IS PLACED ON ASPHALTIC CONCRETE BASE COURSE (COLLECTOR AND ARTERIAL STREETS).
 5. CONTRACTION JOINTS MUST ALIGN WITH CONCRETE PAVING JOINTS.

PAVEMENT REQUIREMENTS:
PAVEMENT CROSS-SECTION FOR ENTRANCE ROAD AND PARKING LOT SHALL COMPLY WITH ONE OF THE FOLLOWING:

1. 4" (MIN) FULL DEPTH ASPHALTIC CONCRETE
2. 2 1/2" (MIN) OF ASPHALTIC CONCRETE SURFACE OVER A 6" (MIN) CRUSHED ROCK BASE
3. 5" (MIN) PORTLAND CEMENT CONCRETE PAVEMENT WITH 10 GAUGE WELDED WIRE MESH ON SIX (6) INCH CENTERS EACH WAY EMBEDDED TWO (2) INCHES FROM THE BOTTOM SURFACE OF THE SLAB



ENTRANCE ROAD SECTION

NO SCALE

REV.	DATE	BY	DESCRIPTION
3	08-08-2022	DJS	WEST RETAINING WALL REMOVED
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1	11-16-2021	DJS	SUBMIT FOR CITY REVIEW

Schulte Engineering & Consulting, LLC
 21 Galois Dr.
 Peoria, IL 61614
 www.schulteengineering.com
 admin@schulteengineering.com
 PHONE: (815) 260-3328

CLIENT: REDDELL HOLDINGS, LLC
 LEAVENWORTH, KS
 DRAWN BY: DJS
 DATE: 11-16-2021
 SCALE: AS NOTED

DRAWING NUMBER: 88-22
 LANSING FAMILY EYE CENTER
 LANSING, KS
 TYPICAL DETAILS
 SHEET 13 OF 16



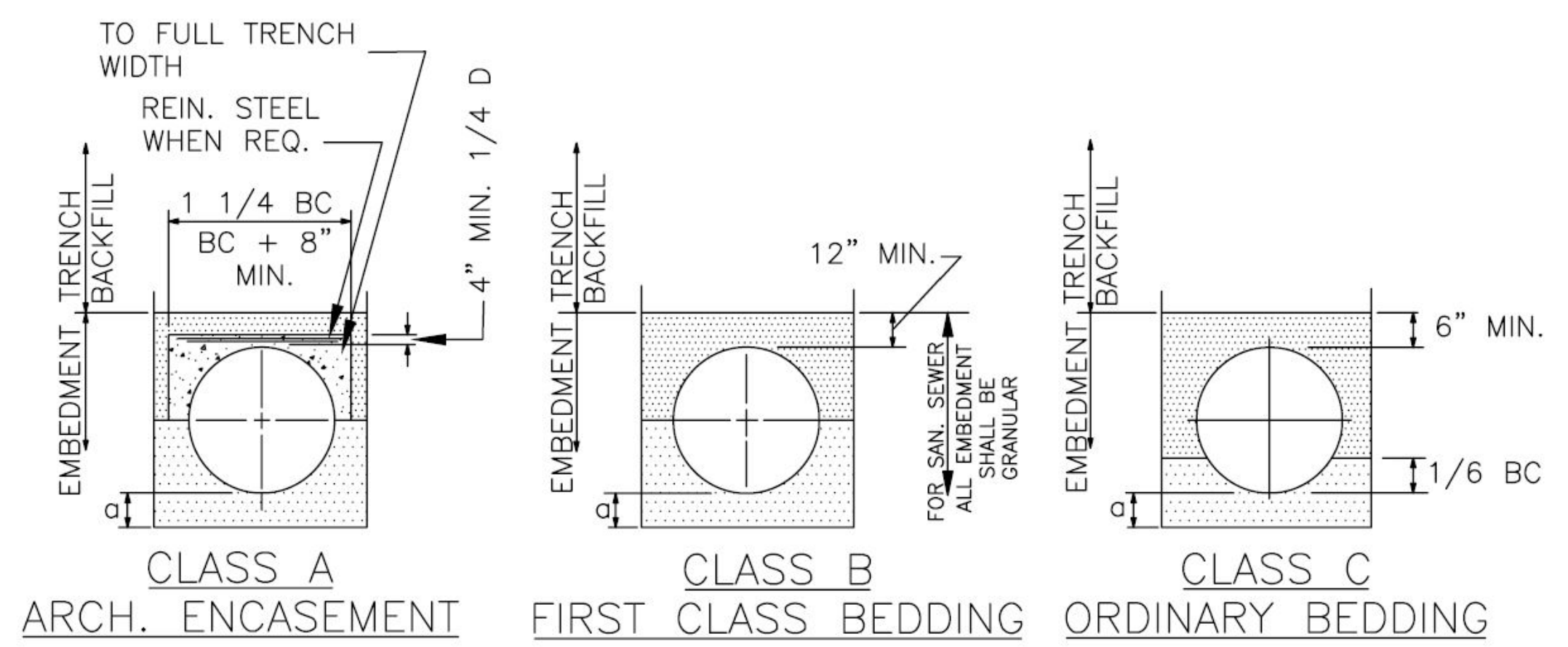


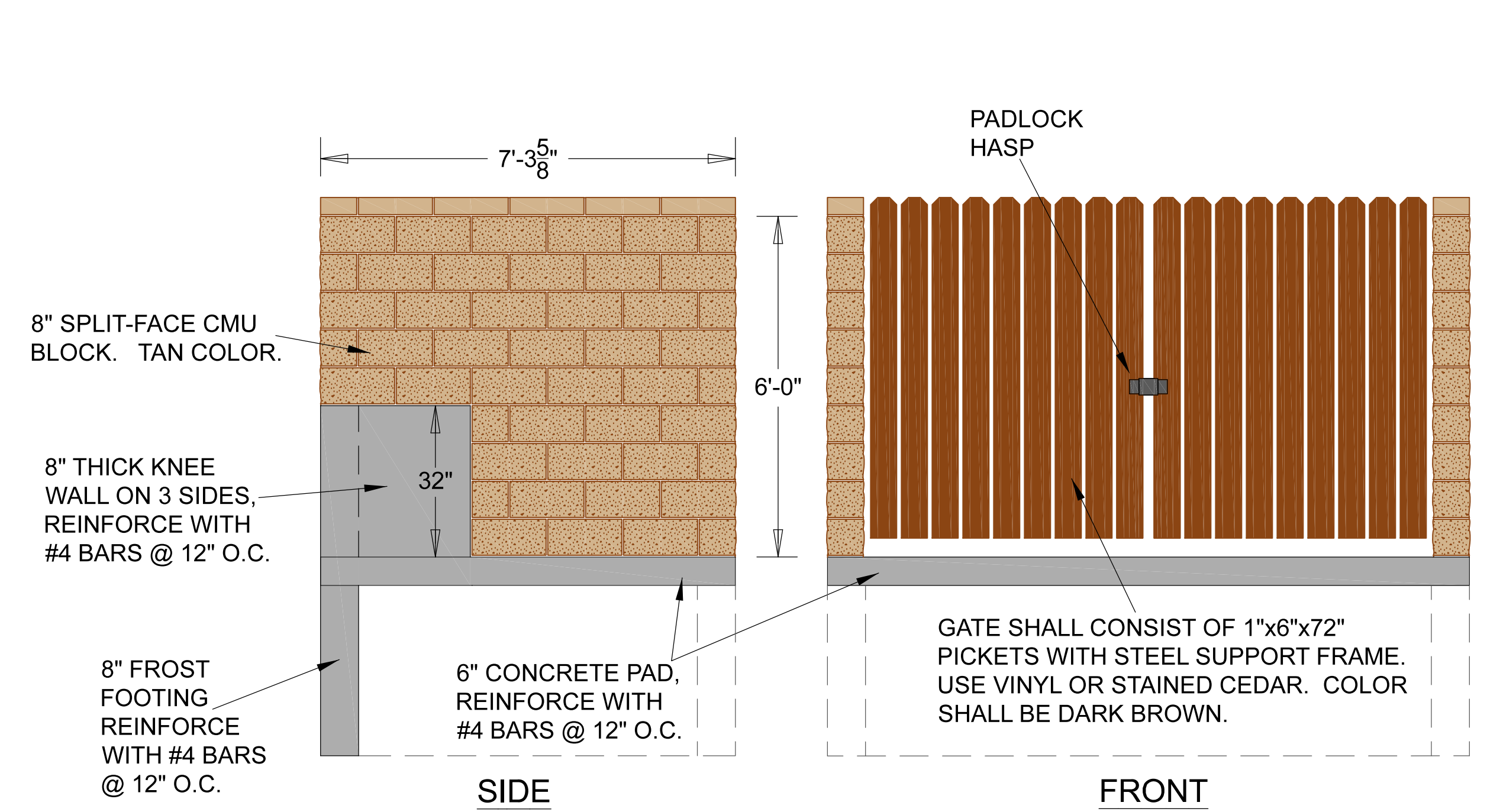
TABLE OF EMBEDMENT DEPTH BELOW PIPE

D	MIN. SOIL	MIN. ROCK
27" AND SMALLER	3"	6"
30" TO 60"	4"	9"
66" AND LARGER	6"	12"

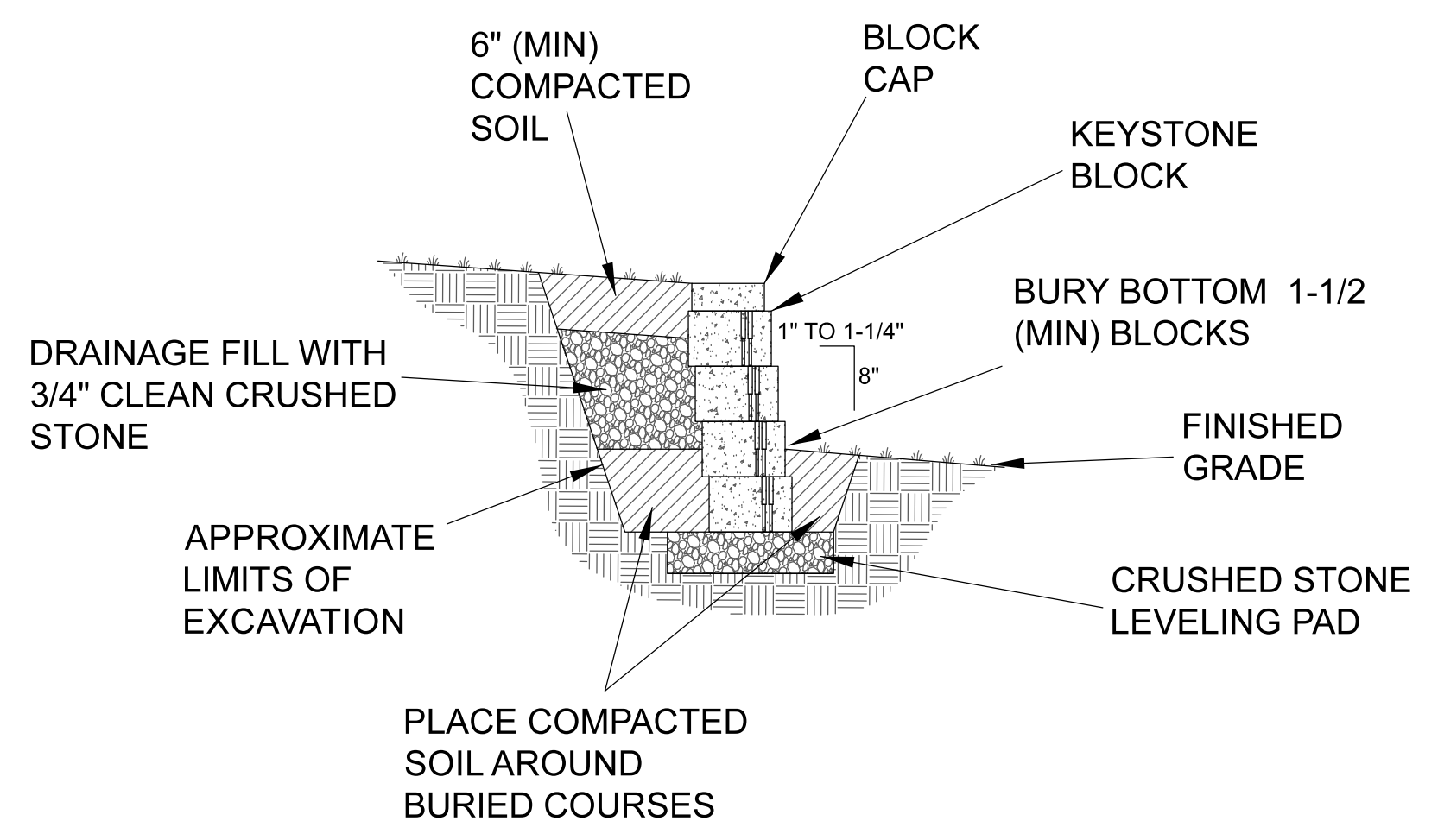
LEGEND
 BC OUTSIDE DIA. OF PIPE
 H COVER ABOVE TOP OF PIPE
 D NOMINAL PIPE SIZE
 o EMBEDMENT BELOW PIPE
 HAND PLACED COMPACTED EMBEDMENT
 GRANULAR EMBEDMENT
 CONCRETE

NOTES:
 GRANULAR EMBEDMENT SHALL BE KSS TYPE CA-5, TO BE PLACED IN NOT MORE THAN 6" LAYERS AND COMPACTED.
 HAND PLACED COMPACTED EMBEDMENT SHALL BE FINELY DIVIDED JOB EXCAVATED MATERIAL FREE FROM DEBRIS, ORGANIC MATERIAL, AND STONES, PLACED IN UNIFORM LAYERS NOT MORE THAN 8" THICK, AND COMPACTED TO THE REQUIREMENTS SPECIFIED IN SECTION 6018 "TRENCH BACKFILL" OF THIS SPEC. GRANULAR EMBEDMENT MAY BE SUBSTITUTED FOR ALL OR PART OF HAND PLACED COMPACTED EMBEDMENT.

PIPE BEDDING NO PAVEMENT

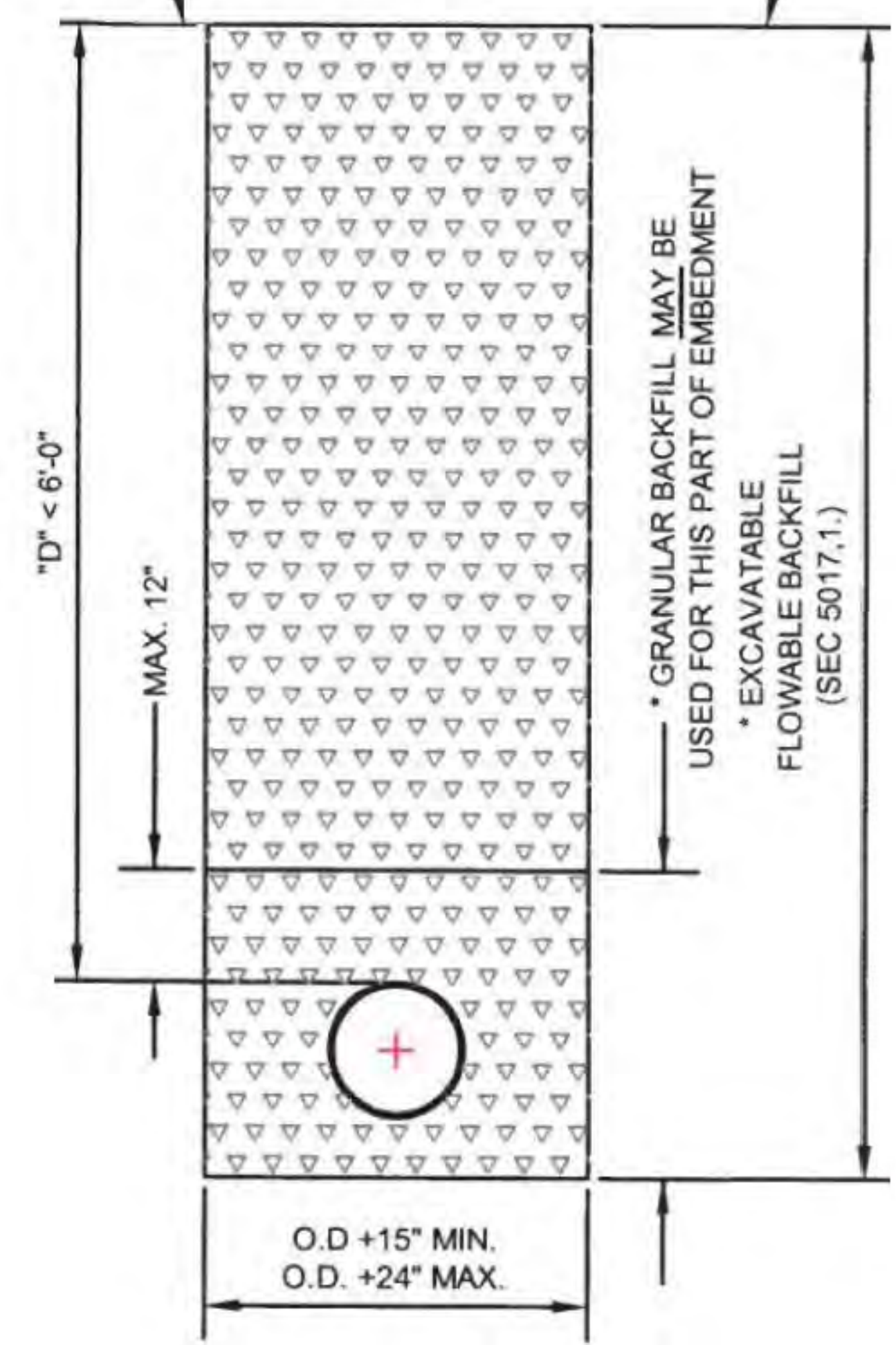


TRASH ENCLOSURE**
 ** - ENCLOSURE IS SIZED FOR A 2 OR 4 YD DUMPSTER

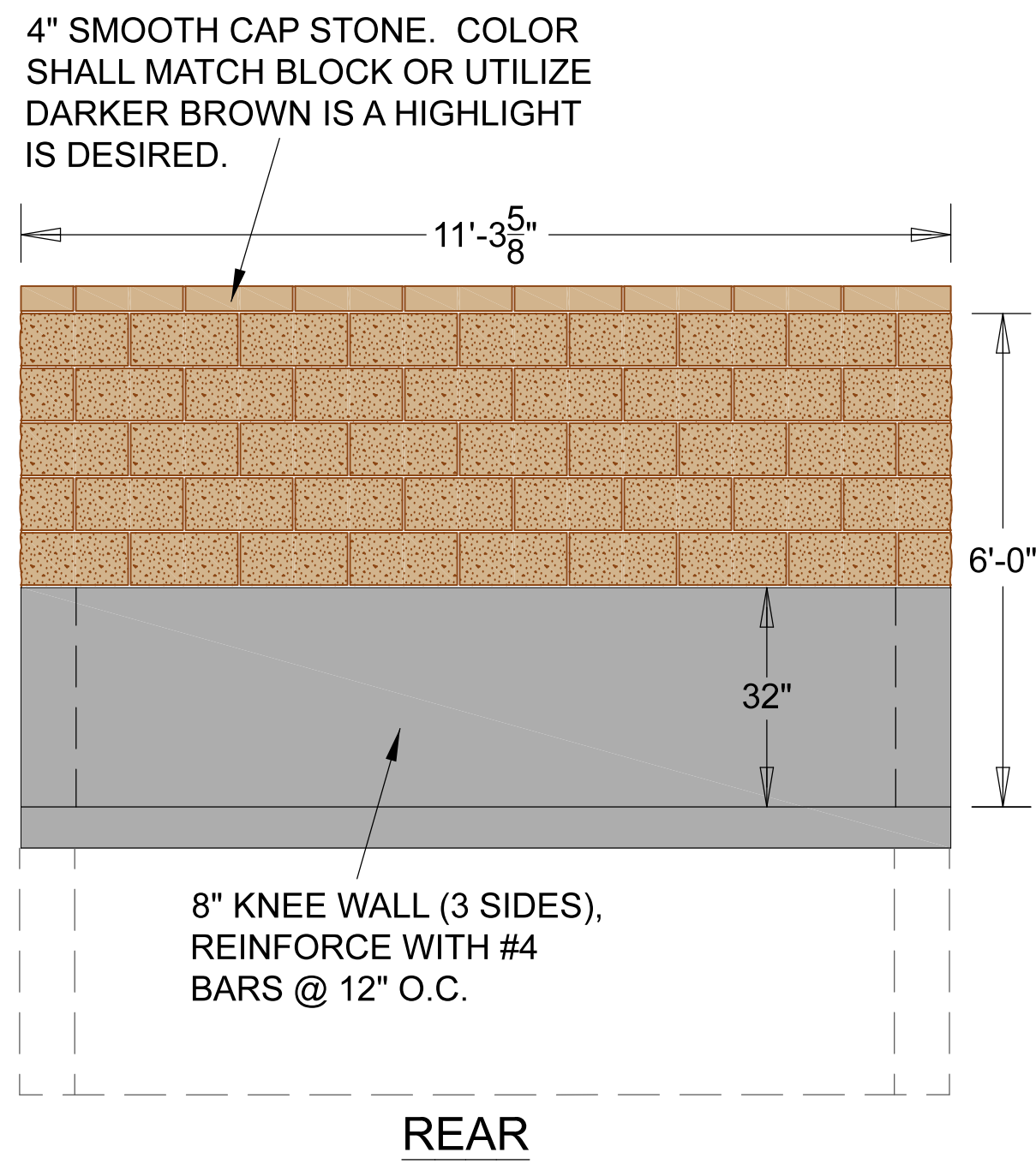


RETAINING WALL SECTION

BOTTOM OF 7" CONCRETE CAP FOR RESOTRATION OF SURFACE ON EXISTING STREETS (SEE S.D. 60-1)
 FINISH EARTHWORK GRADE OR ORIGINAL GRADE IN FILL SECTIONS IF INSTALLED PRIOR TO ROAD FILL.



PIPE BEDDING BENEATH PAVEMENT



12"x18" SIGN, MOUNT ON GLVANIZED POLE, LOCATE SIGN 12" BEHIND SIDEWALK AND CENTER ON PARKING STALL.
ADA SIGNAGE



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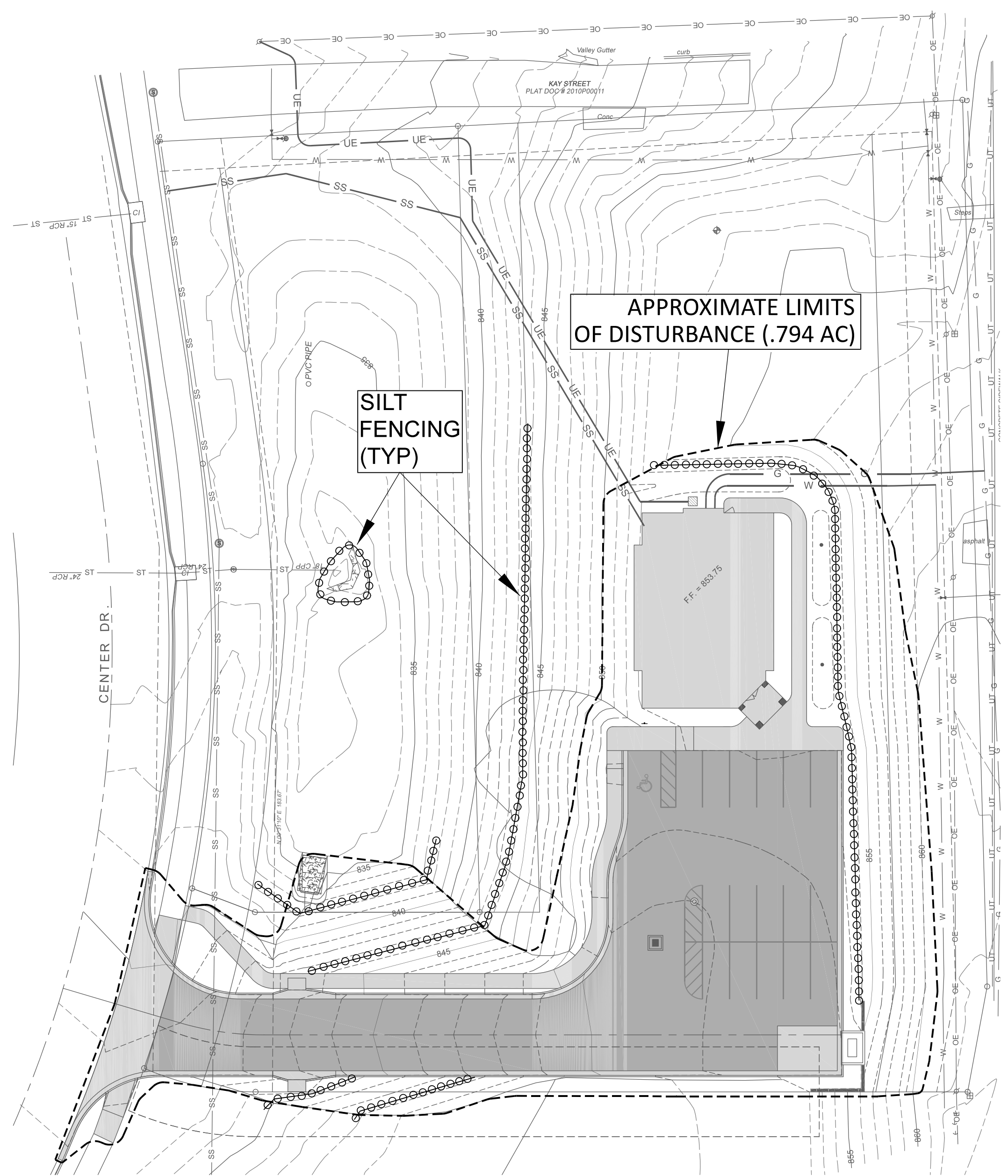
CLIENT: REDDELL HOLDINGS, LLC
 LEAVENWORTH, KS

DRAWING NUMBER: TYPICAL DETAILS
 SHEET: 14 OF 16

DATE: 11-16-2021
 SCALE: AS NOTED

CLIENT: LANSING FAMILY EYE CENTER
 LANSING, KS

21 Gates Dr.
 Platts City, MO 64651
 www.schulteengineering.com
 admin@schulteengineering.com
 PHONE: (816) 260-3328



EROSION CONTROL PLAN

APPROXIMATE TOTAL DISTURBED AREA IS .794 AC

CONCRETE WASHOUT LOCATION TO BE DETERMINED BY DEVELOPER OR GENERAL CONTRACTOR

LOCATE SPILL KIT IN A CENTRAL LOCATION

LEGEND

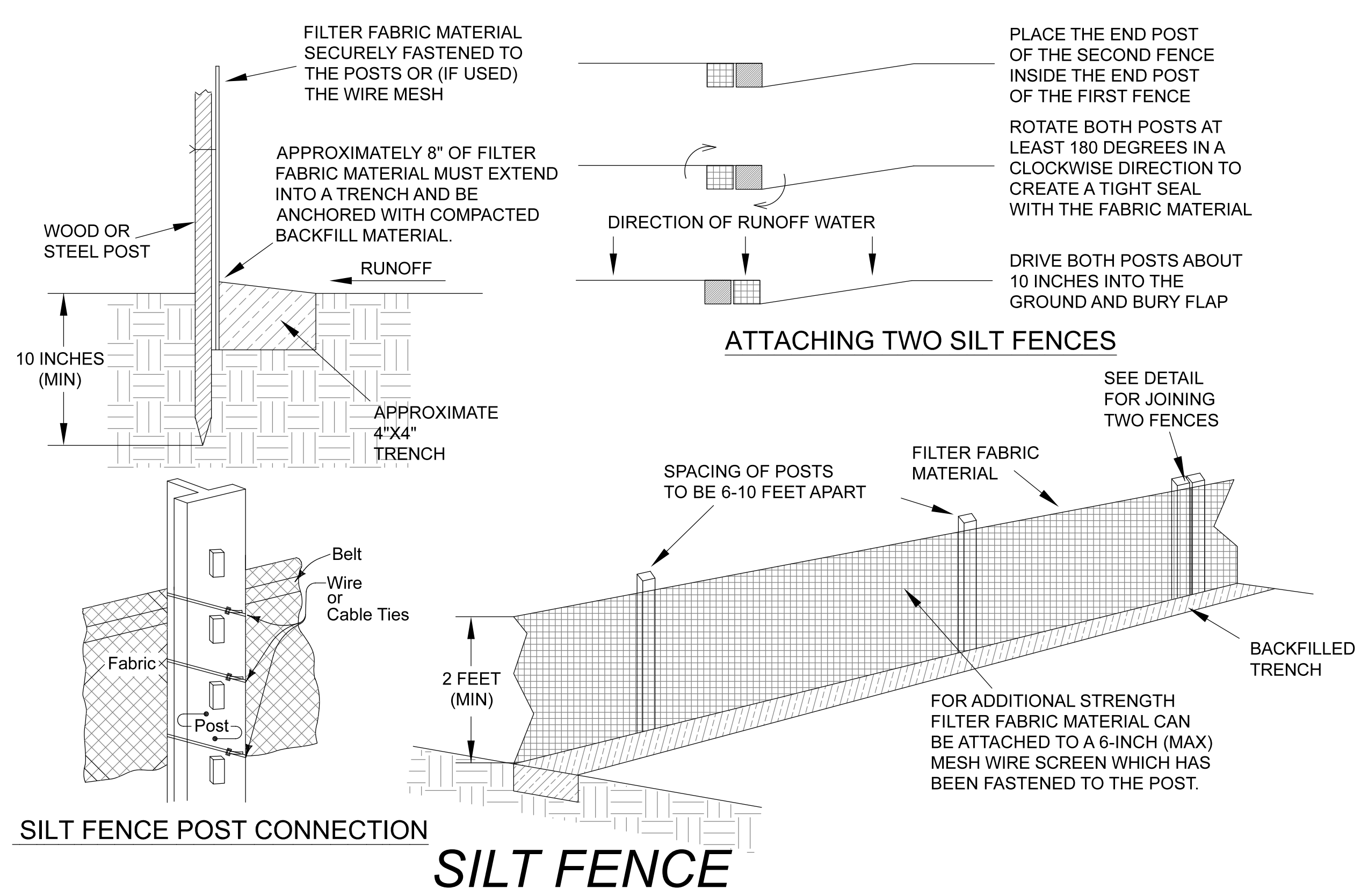
- ○ ○ ○ ○ SILT FENCING
- APPROXIMATE DISTURBANCE LIMITS

SEEDING

1. ALL AREAS DISTURBED DURING GRADING OPERATIONS SHALL BE SEEDED, FERTILIZED, AND MULCHED.
2. ALL SEEDING AND MULCHING SHALL BE COMPLETED AS SOON AS PRACTICALLY POSSIBLE FOLLOWING GRADING OPERATIONS.
3. MULCH SHALL BE VEGETATIVE TYPE. SEEDING SHALL BE AS FOLLOWS:
 - OFFSITE: SEEDING OUTSIDE OF LOT 6A SHALL UTILIZE ALTA FESCUE OR KENTUCKY 31 FESCUE (120 LBS/ACRE).
 - ONSITE: SEEDING WITHIN THE BOUNDARY OF LOT 6A SHALL COMPLY WITH OWNER'S REQUIREMENTS FOR GRASS TYPE.
4. PERMANENT SEEDING WORK SHALL BE DONE BETWEEN THE DATES OF FEBRUARY 1 AND APRIL 15 FOR SPRING PLANTING.
5. SOWING SHALL BE ACCOMPLISHED BY USE OF AN APPROVED MECHANICAL SEEDER, DRILL, OR HYDROSEEDING.
6. FERTILIZER SHALL BE INORGANIC 12-12-12, 13-13-13, OR 10-20-5 GRADE.

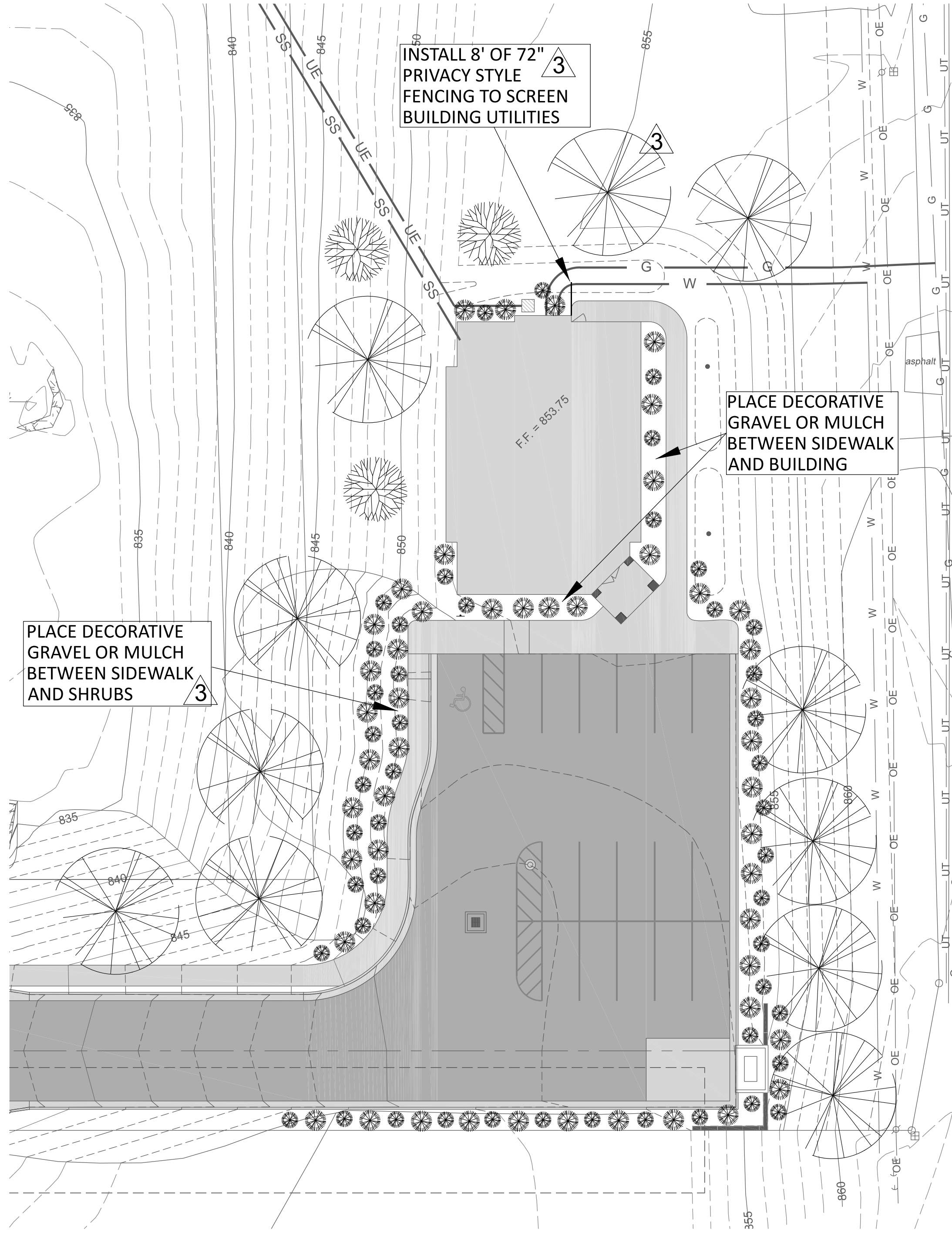
LAND DISTURBANCE GENERAL NOTES

1. THE INTENT OF THIS LAND DISTURBANCE PLAN IS TO PROVIDE PROTECTION GUIDANCE TO THE CONTRACTOR TO PREVENT THE DISCHARGE OF SOIL MATERIAL INTO DOWNSTREAM SYSTEMS OR RECEIVING CHANNELS. ADEQUATE PROTECTION SHALL BE REQUIRED DURING CONSTRUCTION AND REMAIN IN PLACE UNTIL GROUND COVER IS ESTABLISHED FOR ALL DISTURBED AREAS. IF ANY METHOD OF CONTROL FAILS, THE CONTRACTOR SHALL PROVIDE IMMEDIATE REPAIR OR IMPLEMENT AN ALTERNATE MEASURE APPROVED BY THE OWNER.
2. THIS PLAN OUTLINES THE CRITICAL AREA OF DISTURBANCE TO ESTABLISH THE MINIMUM REQUIREMENT FOR SITE PROTECTION. EROSION CONTROL MEASURES MAY CONSIST OF THOSE INDICATED WITHIN THE PLANS OR ADDITIONAL MEASURES, AS NEEDED, TO CONTROL EROSION ON SITE. THE OWNER HAS THE AUTHORITY TO LIMIT THE DISTURBED SURFACE AREA AND TO DIRECT THE CONTRACTOR TO PROVIDE CONTROL MEASURES.
3. CLEARING AND GRUBBING WITHIN A DRAINAGE COURSE SHOULD BE AVOIDED IF POSSIBLE. WHERE CHANGES TO A DRAINAGE COURSE OCCUR, WORK SHALL BE COMPLETED AS QUICKLY AS POSSIBLE AND THE AREA IMPACTED BY THE CONSTRUCTION ACTIVITIES SHALL BE REVEGETATED OR PROTECTED FROM EROSION AS SOON AS POSSIBLE. AREAS WITHIN A DRAINAGE WAY SHOULD BE CONTOURED AND PROTECTED WITHIN FIVE (5) WORKING DAYS AFTER GRADING HAS CEASED.
4. WHEN SOIL DISTURBING ACTIVITIES CEASE IN AN AREA FOR MORE THAN 14 DAYS, THE DISTURBED AREA SHALL BE STABILIZED WITH MULCH OR OTHER EROSION CONTROL MEASURES. IF THE SLOPE OF A DISTURBED AREA IS GREATER THAN 3:1, OR GREATER THAN 3% AND EXCEEDING 150 FEET IN LENGTH, THE DISTURBED AREA SHALL BE STABILIZED WITH MULCH OR OTHER EROSION CONTROL MEASURES IF ACTIVITIES CEASE FOR MORE THAN SEVEN (7) DAYS.
5. EXISTING VEGETATION SHALL BE PRESERVED WHERE PRACTICAL. NO DISTURBED AREAS SHALL REMAIN WITHOUT VEGETATIVE GROUND COVER FOR A PERIOD IN EXCESS OF 60 DAYS.
6. SLOPES SHOULD BE LEFT IN A ROUGHENED CONDITION DURING GRADING.
7. CONTROL MEASURES SHALL BE INSTALLED PRIOR TO GRADING WHERE PRACTICAL AND POSSIBLE. ALL EROSION CONTROL MEASURES SHALL BE CONSTRUCTED IMMEDIATELY FOLLOWING GRADING OPERATIONS.



REV. 0	DRAWING NUMBER: EROSION CONTROL	SHT. 15 OF 16
CLIENT: REDDELL HOLDINGS, LLC LEAVENWORTH, KS	DRAWN BY: DJS DATE: 11-16-2021 ELECTRONIC FILE NAME: AS NOTED	
3	08-08-2022	DJS
2	12-21-2021	DJS
1	11-16-2021	DJS
REV.	DATE	BY
WEST RETAINING WALL REMOVED		APPROVED FOR CONSTRUCTION
SUBMIT FOR CITY REVIEW		DESCRIPTION
Schulte Engineering & Consulting, LLC 21 Gates Dr. P.O. Box 100 Leavenworth, KS 66043 www.schulteengineering.com admin@schulteengineering.com PHONE: (816) 260-3328		





LANDSCAPING LAYOUT

LANDSCAPING CALCULATIONS:
 LOT AREA = 1.41 Ac = 61,420 SF
 BUILDING FRONTAGE = 66.75 Ft.
 PARKING SPACES PROVIDED = 17
 PARKING LOT PERIMETER = 410 Ft.

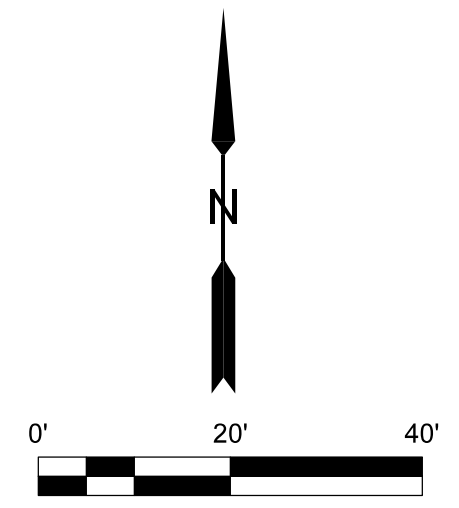
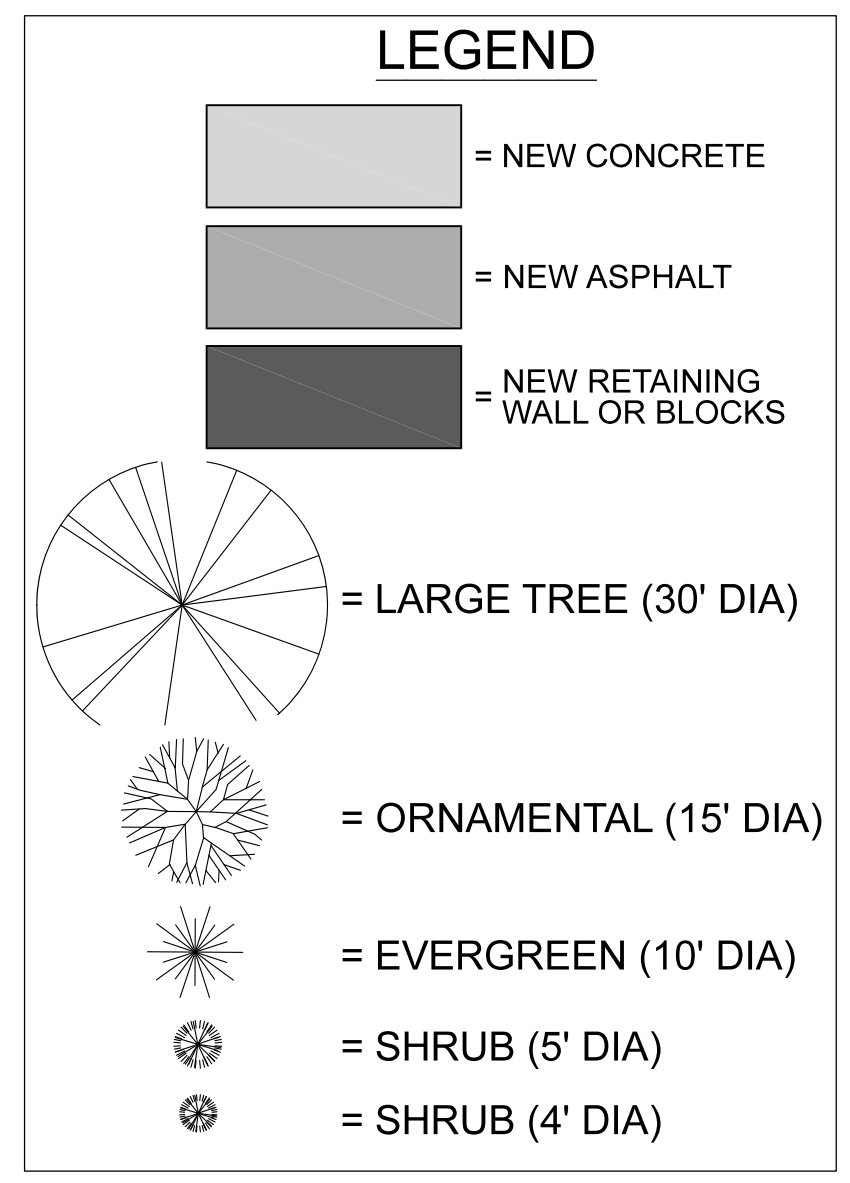
PLANT REQUIREMENTS (PER TABLE 6-1 OF LAND DEVELOPMENT CODE)

LARGE TREES
 ROAD FRONTAGE - 2 PER 40' FRONTAGE = 8
 PARKING - 1 PER 40' PARKING PERIMETER = 11

ORNAMENTAL TREES
 FDN - 1 PER 25' BUILDING FRONTAGE = 3

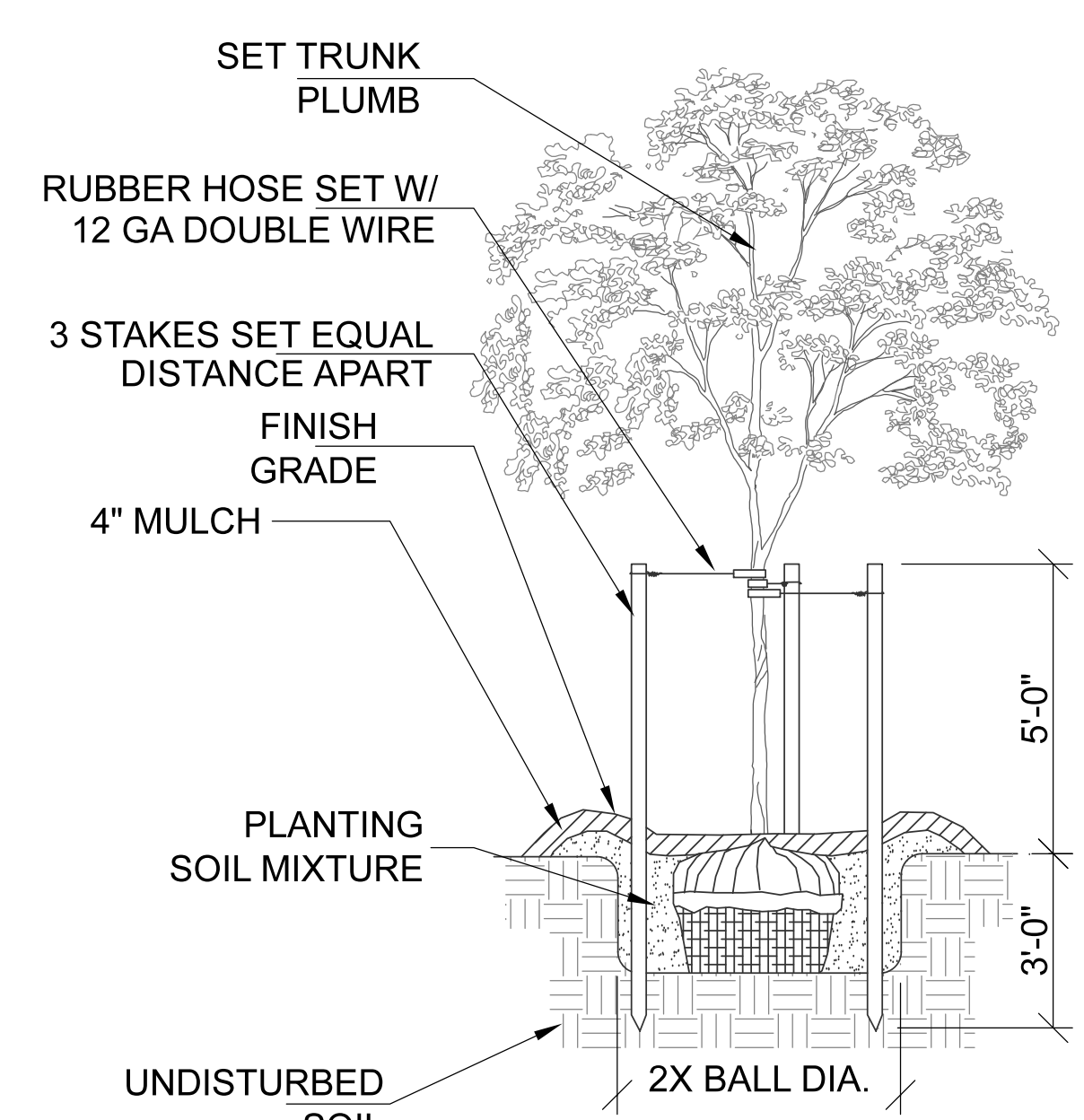
EVERGREENS
 FDN - MAY SUBSTITUTE UP TO 50% OF ORNAMENTAL AT 1 FOR 1
 PARKING - MAY SUBSTITUTE UP TO 50% OF PERIMETER TREES AT 2 FOR 1

SHRUBS
 FDN - 5 PER 25' BUILDING FRONTAGE = 13
 PARKING - 5 PER 25' PARKING PERIMETER = 82

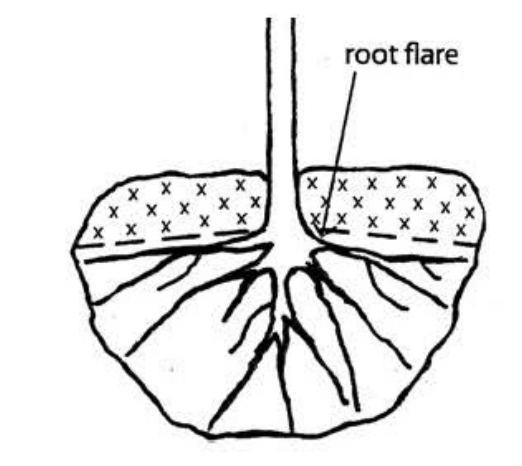


LANDSCAPE NOTES:

1. LANDSCAPE PLAN IS PREPARED IN COMPLIANCE WITH CITY OF LANSING, KS REQUIREMENTS.
2. TREES / SHRUBS SELECTED FOR PLANTING MUST BE FREE FROM INJURY, DISEASE, PESTS, DEFECTS, ETC. TO ASSURE SURVIVABILITY.
3. ALL TREES TO BE BALLED AND BURLAPED FOR SHIPMENT TO THE SITE.
4. TREES SHALL HAVE A MINIMUM TRUNK DIAMETER OF 2-INCHES AS MEASURED 1-FOOT ABOVE THE GROUND AND HAVE A MINIMUM HEIGHT OF 5 FEET TALL.
5. ALL DISTURBED GROUND TO BE COVERED WITH MULCH, LANDSCAPING, OR SOD.
6. LANDSCAPE CONTRACTOR HAS DESIGN FLEXIBILITY WITH QUANTITIES, LAYOUT, AND SPECIES SELECTION THAT ARE AVAILABLE AT TIME OF CONSTRUCTION. CONSULT WITH OWNER FOR FINAL APPROVAL.
7. PLANTS SHALL MEET OR EXCEED THE QUALITY STANDARDS OF THE AMERICAN ASSOCIATION OF NURSERYMEN AND THE KC NURSERY AND LANDSCAPE ASSOCIATION.
8. PLANTS MUST BE NATIVE OR NATURALIZED SPECIES AND SUITED FOR LEAVENWORTH COUNTY, KS SEASONAL CYCLES.



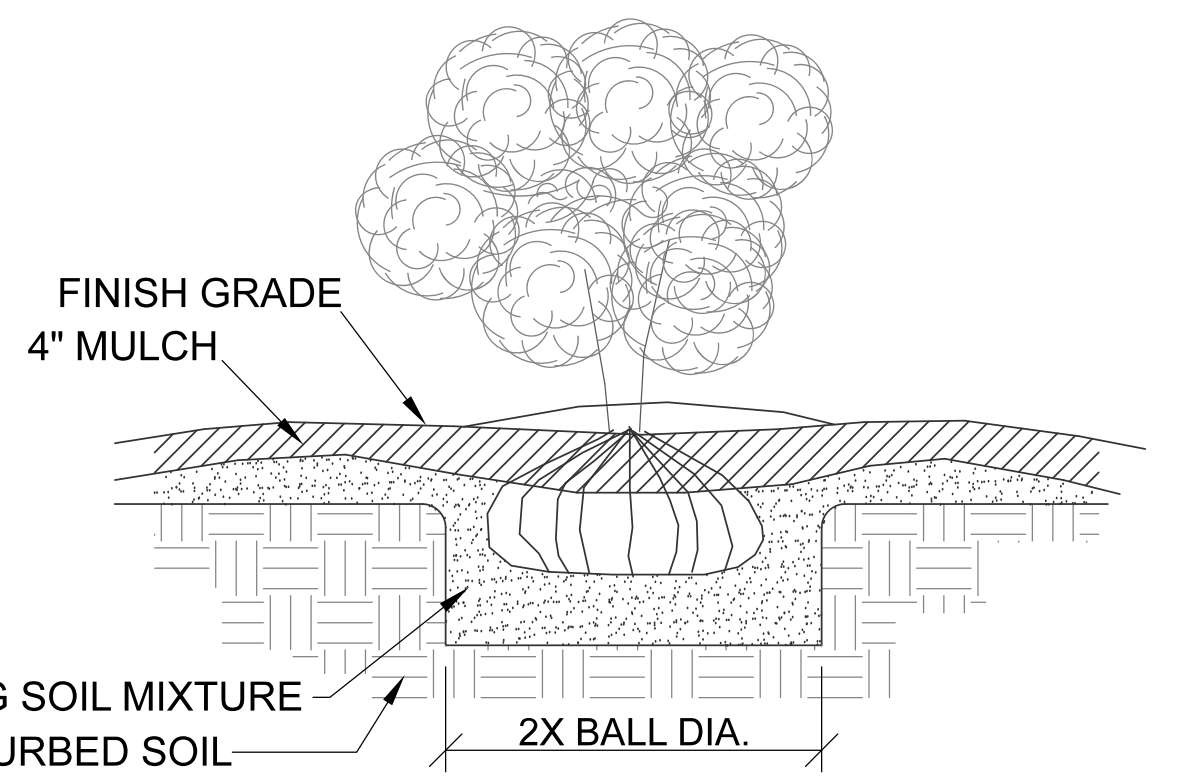
TREE PLANTING DETAIL



FINDING THE ROOT FLARE:
 FOR BALLED-AND-BURLAPPED TREES, PROBE THE TOP OF THE SOIL BALL CHOSE TO THE TRUNK TO FIND THE FIRST ROOTS. YOU CAN DO THIS WITH A STOUT WIRE. CHECK IN TWO OR MORE LOCATIONS TO MAKE SURE YOU'VE LOCATED THE TOP MAJOR ROOTS. LEAVE THE BURLAP IN PLACE TO MAKE MOVING THE TREE EASIER. MEASURE THE DISTANCE FROM THE TOP OF THE SOIL BALL TO THE ROOT FLARE. NEXT, SUBTRACT THAT DISTANCE FROM THE TOTAL DEPTH OF THE BURLAPPED SOIL BALL. THE DISTANCE FROM THE TOP-MOST BURIED ROOT TO THE BOTTOM OF THE BALL IS THE CORRECT DEPTH TO DIG THE PIT.

RECOMMENDED SHRUB SPECIES

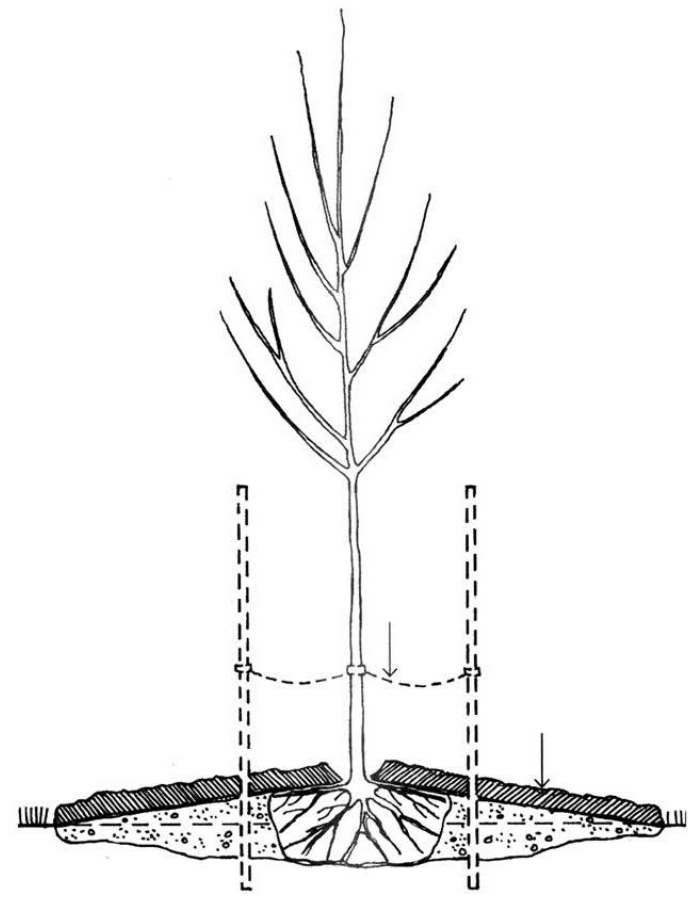
- GOLD FLAME SPIREA (SPIRAEA X BUMALDA GOLDFLAME)
- LIMEMOUND SPIREA (SPIRAEA X BUMALDA LIMEMOUND)
- DWARF MAIDEN GRASS (CORTADERIA SELLOANA)
- PAMPAS GRASS (CORTADERIA SELLOANA)
- GOLDEN FORSYTHIA (FORSYTHIA INTERMEDIA)
- BUTTON BUSH (SPECTABILIS)
- EVERGREEN SHRUB (CEPHALANTHUS OCCIDENTALIS)



SHRUB PLANTING DETAIL

COMPACTED SOIL PLANTING:
 TO TEST FOR COMPACTED SOIL, DO A SIMPLE PERCOLATION TEST. DIG A HOLE 12 INCHES TO 18 INCHES DEEP AND FILL IT WITH WATER. IF THE WATER IS STILL IN THE WHOLE 12 TO 18 HOURS LATER, THEN YOU HAVE COMPACTED OR HEAVY CLAY SOILS.

ROOTS NEED OXYGEN, SO DIG A WIDE SHALLOW HOLE THREE TO FOUR TIMES THE WIDTH OF THE ROOT BALL OR CONTAINER AND ONLY HALF AS DEEP. MOUND BACKFILL SOIL SLIGHTLY TO THE TOP OF THE ROOT FLARE, COVERING THE ENTIRE EXCAVATION. THIS CREATES A RAISED PLANTING BED, WHICH WILL IMPROVE THE TREE'S PERFORMANCE. SOILS THAT HOLD EXCESSIVE MOISTURE MAY NEED A SUBSURFACE DRAIN TUBE INSTALLED BELOW THE ROOT BALL.



COMPACTED SOIL PLANTING DETAIL

Common Name	Scientific Name	Height in Feet	Spread in Feet	Flower Color	Fall Color	Soil Moisture	Light Needed	Yearly Growth Rate	Tree Type
Coffeetree, Kentucky	Gymnocladus dioicus	60-75	40-60	Greenish White	Yellow	Average	Full sun	Medium	Large shade tree
Ginkgo	Ginkgo biloba	50-60	30-40	Not showy	Bright yellow	Average	Full sun to light shade	Slow to medium	Large shade tree
Hornbeam, European	Carpinus betulus	40-60	20-40	Red	Yellow-Green	Average	Full sun to light shade	Medium	Large shade tree
Oak, English	Quercus robur	40-60	10-40	Not showy	Brown	Average	Full sun	Medium	Large shade tree
Oak, Northern red	Quercus rubra	60-80	60-80	Not showy	Red	Average	Full sun	Medium to fast	Large shade tree
Oak, scarlet	Quercus coccinea	60-80	30-50	Not showy	Russet to red	Average	Full sun	Medium	Large shade tree
Oak, white	Quercus alba	70-90	50-80	Not showy	Reddish-Purple	Moist to dry	Full sun	Slow	Large shade tree
Alder, European	Alnus glutinosa	40-60	20-30	Red-Brown	Green	Wide range	Full sun to light shade	Fast	Large shade tree
Black gum	Nyssa sylvatica	40-60	20-30	Greenish White	Orange to scarlet	Wide range	Full sun to light shade	Slow	Large shade tree
Honeylocust, thornless	Gleditsia triacanthos var. inermis	30-60	25-50	Not showy	Yellow	Wide range	Full sun	Fast	Large shade tree
Oak, bur	Quercus macrocarpa	70-80	70-80	Not showy	Yellow-Brown	Wide range	Full sun	Slow	Large shade tree
Beech, European	Fagus sylvatica	40-50	15-25	Brown	Yellow-Bronze	Average	Full sun to light shade	Slow	Medium tree
Hophornbeam	Ostrya virginiana	30-40	20-30	Red-Brown	Yellow	Average	Full sun to light shade	Slow	Medium tree
Filbert, Turkish	Corylus colurna	40-50	20-25	Not showy	Yellow to purple to red	Wide range	Full sun	Medium	Medium tree
Hawthorn	Crataegus species	20-30	15-30	White	Scarlet	Average	Full sun to light shade	Medium	Small tree
Lilac, Japanese tree	Syringa reticulata	20-30	15-25	Creamy white	Yellow	Wide range	Full sun	Medium	Small tree
Maple, Tatarian	Acer species	15-20	15-20	Green-White	Red and Reddish-Brown	Wide range	Full sun to light shade	Slow to medium	Small tree
Maple, Shantung	Acer species	20-30	20-25	Green-Yellow	Yellow to red	Wide range	Full sun to light shade	Slow	Small tree

APPROVED TREE SPECIES

TREE PLACEMENT GUIDELINES

1. SPACE TREES 30 - 50 FEET APART.
2. PLACE TREES NO CLOSER THAN 15 FEET FROM STREET OR AREA LIGHTING.
3. PLACE TREES NO CLOSER THAN 8 FEET FROM A DRIVEWAY.
4. PLACE TREES NO CLOSER THAN 5 FEET FROM A FIRE HYDRANT.
5. PLACE TREES NO CLOSER THAN 5 FEET FROM A STORM BOX, GAS VALVE, WATER VALVE, CABLE BOX, OR ANY OTHER ABOVE GROUND UTILITY.



Schulte Engineering & Consulting, LLC
 21 Gates Dr.
 Pitts City, Missouri 64573
 www.schulteengineering.com
 admin@schulteengineering.com
 PHONE: (816) 260-3328

REDELL HOLDINGS, LLC
 LEAVENWORTH, KS

LANSING FAMILY EYE CENTER
 LANSING, KS

LANDSCAPE PLAN

CLIENT: REDELL HOLDINGS, LLC
 DRAWN BY: DJS
 DATE: 11-16-2021
 SCALE: AS NOTED

REV. 0
 DATE: 11-16-2021
 BY: DJS
 DESCRIPTION: WEST RET. WALL REMOVED, MOVE TREE, ADD SCREEN FENCE, REVISE LANDSCAPING LAYOUT, SUBMIT FOR CITY REVIEW

SHT. 16 OF 16



**FAMILY
EYECARE
CENTER**

DOCTORS of OPTOMETRY

COMPASSION | INTEGRITY | INNOVATION

WE WELCOME NEW PATIENTS

- Comprehensive Eye Exams
- Emergency Eye Care
- Contact Lens Fitting
- Retinal Photography
- Treatment of Eye Diseases
 - Cataracts
 - Glaucoma
- Macular Degeneration
- Dry Eye Disease
- Vision-Based Learning Disorders
- Concussion/Brain Injury

LEAVENWORTH

2301 10th Avenue
Leavenworth, KS 66048
913-682-2929

BONNER SPRINGS

13047 Kansas Avenue
Bonner Springs, KS 66012
913-535-4036

www.feclv.com

Dear City Council,

I would like to start by recognizing the hard work of the community and economic development department as well as the public works department for their help in this project. This is the first ground up build that I have ever been a part of, and it is as daunting as I had imagined it would be and the individuals with the city have really bent over backwards to help this project go as smoothly as possible.

The main reason for this letter is to respectfully ask your consideration on our current changes to the site plan on this application. I understand, and greatly appreciate for that matter, the fact that the city reduced the purchase price for the land to help us get this project off the ground. We developed a budget and site plans based off the funding that we were able to obtain and overall, the project is moving along nicely.

We did run into a hiccup with the dumpster location and southeast corner of the parking lot where the ground was not firm enough to support the required structures. It cost us \$18,000 to dig out and shore up that part of the lot and it was able to pass inspection.

The application we are currently submitting has removed a retaining wall that will allow us to save \$11,000. On paper, it was determined that the wall was needed to meet the grading codes but after actual site development the construction company brought to our attention that the retaining wall may not be needed. We brought our engineer out and his calculations support that finding and while this would not make up the full amount of the unexpected expense, it definitely helps.

As a small business we do not have the funding power of most of the large companies that have been building in Lansing and our budget is strained. This would give us a little cushion on future unexpected costs that are sure to come along the way as we finish up. As a resident of Lansing, and future business owner in Lansing, thank you for all your hard work in improving our city.

Respectfully,

Jonathan Reddell



Planning Commission Staff Report
September 21, 2022

Subdivision Case SDPP-2022-3
00000 Centre Dr.

Project Facts

Applicant

City of Lansing, KS

Address

00000 Centre Dr.

Property ID

- 107-25-0-10-02-001.15-0
- 107-25-0-10-02-001.16-0
- 107-25-0-10-02-001.17-0
- 107-25-0-10-02-001.18-0

Zoning

B-3 Regional Business District

Future Land Use

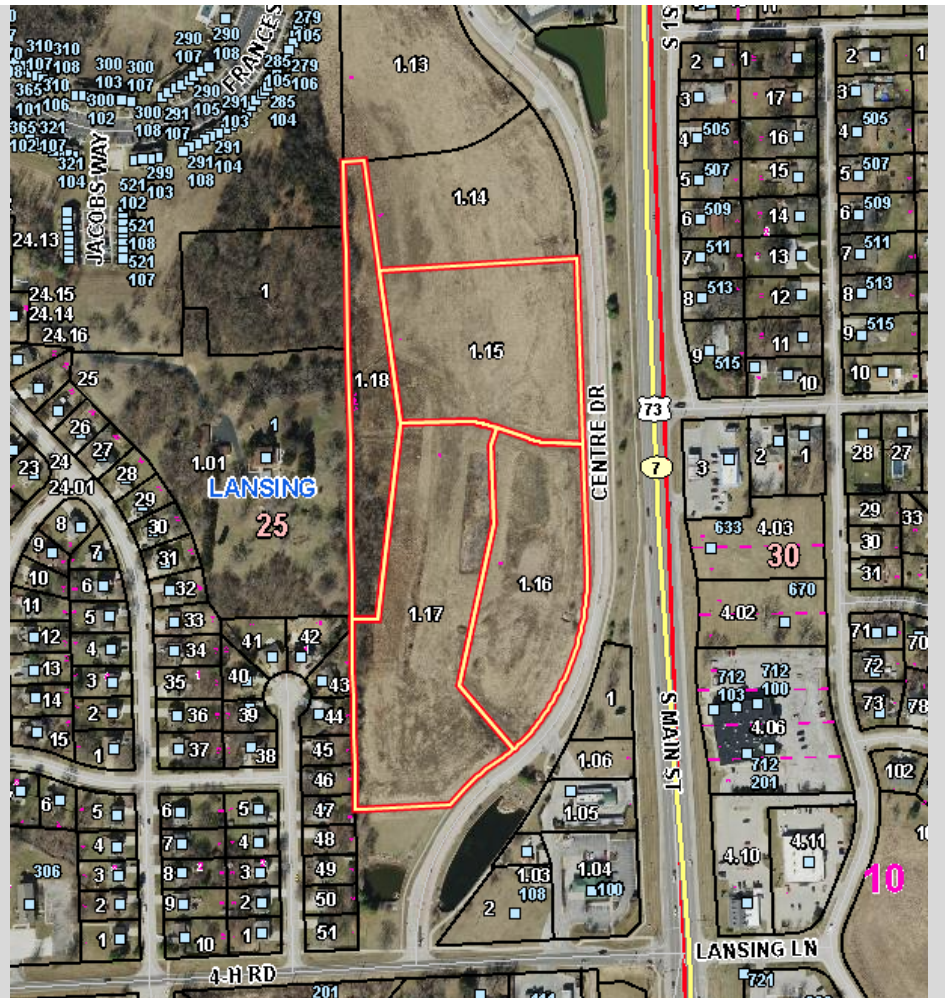
Mixed Use

Land

789,030 S.F. (18.11 Acres)

Requested Approvals

Preliminary Plat



Summary

Mayor Anthony R. McNeill, on behalf of the Lansing City Council, owners of property at 00000 Centre Dr., have applied for approval of a preliminary plat for the Lansing Towne Centre Replat subdivision, which will replat an existing group of four parcels at Lansing Town Center into three tracts. This preliminary plat, if approved, will allow the property owner to continue the platting process and apply for a Final Plat, which will subdivide approximately 18.11 acres into two lots and one tract allowing for potential future projects to be considered on this property. The property is currently zoned B-3, and no rezoning is being requested at this time. No additional Right of Way was requested by Staff for this preliminary plat, and while utility easements and access easements are planned to be abandoned with this plat, no existing utilities are located in those areas being abandoned.

A public notice for the review of this plat was published in the *Leavenworth Times* on August 31, 2022.

Discussion points from Checklist

The checklist was reviewed and completed by the Director of Community & Economic Development. Items marked no are discussed below:

- Item 6. – There was no request for utilities to provide a letter of review, as all utilities are already in the area and have sufficient capacity to service the project from previous plats done in the area.
- Item 7A. – There is no plan to install new stormwater facilities at this time, so location and sizing of storm sewers was not a review item.
- Item 7C. – There is no plan to install new stormwater facilities at this time, so location and sizing of open drainage ways was not a review item.
- Item 8G6. – The current zoning classification and proposed use of the area being platted is not shown on the preliminary plat. This can be corrected on the Final Plat.
- Item 8K. – There are no proposed parks, playgrounds, churches, school sites, or other special uses of land shown – and none are planned for this subdivision.
- Item 8L. – This information is not shown on the plat. Typically, this should be shown in a tabular format, and can be corrected on the Final Plat.

Community & Economic Development / Public Works and City Engineer / Wastewater Comments

Comments on this preliminary plat have not been addressed to date but can be during the process of moving from preliminary to final plat.

Community & Economic Development (from Article 2.02-D of the UDO):

- The application is in accordance with the Comprehensive Plan and in particular the physical patterns, arrangement of streets, blocks, lots and open spaces, and public realm investments that reflect the principles and concepts of the plan.
 - The City's 2030 Comprehensive Plan has defined this area as Mixed Use. The proposed replating conforms with the future land use map.
- Compliance with the requirements of this Land Development Code, and in particular the blocks and lots proposed are capable of meeting all development and site design standards under the existing or proposed zoning.
 - The current zoning for the site is B-3 Regional Business District, with a minimum lot size of 10,000 s.f. The preliminary plat conforms with the lot requirements of the B-3 zoning district.
- Any phasing proposed in the application is clearly indicated and demonstrates a logical and coordinated approach to development, including coordination with existing and potential development on adjacent property.
 - No phasing has been indicated on the preliminary plat.
- Any impacts identified by specific studies or technical reports, including a preliminary review of storm water, are mitigated with generally accepted and sound planning, engineering, and urban design solutions that reflect long-term solutions and sound fiscal investments.
 - No development has been proposed at this time.
- The application does not deter any existing or future development on adjacent property from meeting the goals and policies of the Comprehensive Plan.
 - The proposed use of the site conforms with the goals and policies of the Comprehensive Plan, and the application would not deter future development from meeting current goals and policies.
- The design does not impede the construction of anticipated or planned future public infrastructure within the area.
 - There are no impacts to planned future public infrastructure within the area.
- The recommendations of professional staff, or any other public entity asked to officially review the plat.
 - There are no items outstanding other than those listed in specific sections within this report.

Public Works / City Engineer:

- Stormwater
 - There is an existing stormwater development plan on file for the Town Center area. This movement of lot lines has no effect on the stormwater plan for the area, but stormwater analysis will need to be considered when development occurs.
- Traffic
 - There are no traffic concerns at this time.

Wastewater:

- There are no wastewater concerns at this time, but it should be noted that future development of these new lots will likely require relocation of some existing sewer facilities on the lots.

Acknowledgments

The following City of Lansing staff members reviewed this project and provided information for this report:

- Matthew R. Schmitz, MPA – Director, Community & Economic Development
- Michael Spickelmier, P.E. – Director, Public Works / City Engineer
- Anthony Zell, MBA – Director, Wastewater

Notice of City Codes

The Applicant is subject to all applicable City codes within the Municipal Code – whether specifically stated in this report or not – including, but not limited to, Zoning, Buildings and Construction, Subdivisions, and Sign Code. The Applicant is also subject to all applicable Federal, State, and local laws.

Recommendation

Staff recommends that the Planning Commission approve the Preliminary Plat subject to the items contained in this report, so that the applicant may move to Final Plat development and submittal.



Preliminary Plat Application

Date: 08/26/2022

Applicant / Owner

Applicant Name: Anthony R. McNeill
 Address: 800 First Terrace
 City, State, Zip: Lansing, KS 66043
 Phone: 913-727-3233

Owner Name: LANSING CITY
 Address: 800 1ST TER LANSING, KS 66043
 City, State, Zip: ,
 Phone:

Surveyor

Surveyor Name: Joseph Herring
 Phone:

Address:
 City, State, Zip:

Subdivision Info

Subdivision Name: Lansing Towne Centre Replat
 General Location:
 Plat Acres: 18.11
 Minimum Frontage: N/A
 Min Lot Area: N/A
 Existing Zoning: B-3 Regional Business District

Residential Lots:
 Commercial Lots: 3
 Industrial Lots:
 Other Lots: N/A
 Total Lots:

How Guaranteed:

Project Details

Project Name:
 Agent:

Location:
 Proposed Zoning: B-3 Regional Business District
 Rezone Reason:

Project Description:

I do hereby certify that the information contained herein is true and correct.

Anthony R. McNeill

08/26/2022

Name

Date

AFFIDAVIT

STATE OF Kansas)
)
COUNTY OF Leavenworth) §

Comes now Anthony R. McNeill (Mayor), of lawful age and having been first duly sworn on my oath state that:

1. That I am (the) (a) lawful and/or equitable owner of the real estate described in the attached application.

2. To the best of my knowledge and belief, the following individuals are the only other individuals other than the affiant which have a legal or equitable ownership interest in the property described in the attached application.

3. List of property owners and addresses:

Lansing City Council

4. I certify and affirm that on the date of the application only the above individuals or entities have a legal or equitable ownership interest in the property involved in this application.

FURTHER AFFIANT SAYETH NOT.

Anthony R. McNeill
/s/

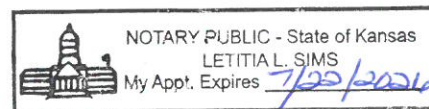
STATE OF Kansas)
)
COUNTY OF Leavenworth) §

BE IT REMEMBERED that on this 25 day of August, 2022, that before me, the undersigned, a Notary Public, in and for the State and County aforesaid, came Anthony R. McNeill (Mayor), who is personally known to me to be the person who executed the foregoing instrument of writing and such person duly acknowledged execution of same.

IN WITNESS WHEREOF, I have hereunto set my hand and seal on the date last above mentioned.

Letitia L. Sims
Notary Public

My Appointment Expires: 07/22/2026



CHECKLIST FOR COMPLETENESS
OF
APPLICATION FOR PLANNING COMMISSION
REVIEW AND APPROVAL
OF
PRELIMINARY PLAT
FOR

Lansing Towne Centre Replat
(Name of Subdivision)

Matthew R. Schmitz, MPA
Person Completing Checklist

September 21, 2022
Date

COMPLETION OF THIS CHECKLIST IN NO WAY CONSTITUTES AN EVALUATION OF THE MERITS OR ACCURACY OF THE PLANS, DESIGN OR ENGINEERING OF THE PRELIMINARY PLAT. THIS STEP IS INTENDED ONLY AS AN ADMINISTRATIVE REVIEW OF THE COMPLETENESS OF THE APPLICATION FOR APPROVAL BEFORE IT UNDERGOES STAFF EXAMINATION BY THE CITY ENGINEER FOR HIS RECOMMENDATION TO THE PLANNING COMMISSION.

PRELIMINARY PLAT CHECKLIST

	<u>YES</u>	<u>NO</u>
1. Filing fee present in proper form and amount.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. Plat received at least 30 days prior to meeting at which it is to be considered.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
3. One (1) hard copy of plat has been provided, along with an electronic copy provided to the Community and Economic Development Department.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4. Plat shows vicinity map or one (1) hard copies of vicinity map received.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5. Certificate of ownership of entire tract to be platted is submitted.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6. Letter of review from each utility company affected is present (Lan-Del Water District, Kansas Gas Service, Westar Energy).	<input type="checkbox"/>	<input checked="" type="checkbox"/>
7. Preliminary grading and drainage plan containing the following is present:		
A. Location and size of storm sewers.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
B. Existing and proposed land elevations and contours.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C. Necessary widths of all open drainage ways.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
8. PRELIMINARY PLAT CONTAINS:		
A. Proposed name of subdivision (Which does not duplicate or closely resemble existing one.)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
B. Location of boundary lines of the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
C. Reference to section of quarter section lines.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
D. Names and addresses of the developer, the owner and the engineer or land surveyor who prepared the plat.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
E. Legal description of subdivision, including section, township, range, principal meridian, county and acreage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
F. Scale (1" = 100' or larger)	<input checked="" type="checkbox"/>	<input type="checkbox"/>
G. EXISTING CONDITIONS:		
1. Location, width and name of platted streets or other public ways, railroads and utility rights-of-way, parks and other public open spaces and permanent buildings within or adjacent to the proposed subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
2. All existing sewers, water mains, gas mains, culverts, or other underground installations, within or adjacent to the proposed subdivision, with pipe size and man-holes, grades and location.	<input checked="" type="checkbox"/>	<input type="checkbox"/>

Preliminary Plat Checklist
Page 2

		<u>YES</u>	<u>NO</u>
3.	Names of adjacent subdivisions together with arrangements of streets and lots and owners of adjacent parcels of unsubdivided land.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
4.	Topography (unless specifically waived) with contour intervals of not more than two feet, referred to City or U.S.G.S. datum; where the ground is too flat for contours, spot elevations shall be provided.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
5.	Location of water courses, bridges, wooded areas, lakes, ravines and such other features as may be pertinent to the subdivision.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
6.	Current zoning classification and proposed use of the area being platted.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
H.	The general arrangements of lots and their approximate size.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
I.	Location and width of proposed streets, alleys, and pedestrian ways and easements to accommodate drainage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
J.	The general plan of sewage disposal, water supply and drainage.	<input checked="" type="checkbox"/>	<input type="checkbox"/>
K.	Location and size of proposed parks, playgrounds, churches, school sites or other special uses of land to be considered for reservation or dedication for public use.	<input type="checkbox"/>	<input checked="" type="checkbox"/>
L.	Gross acreage of the subdivision; acreage dedicated to streets and other public uses; total number of buildable lots; maximum and average lot sizes.	<input type="checkbox"/>	<input checked="" type="checkbox"/>

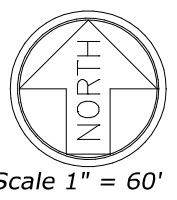
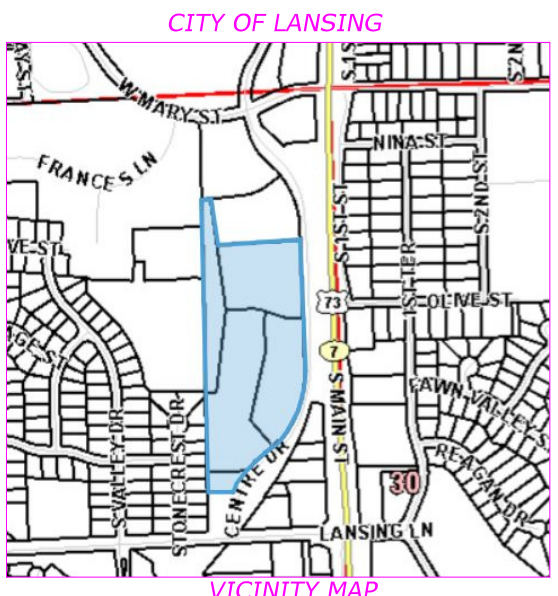
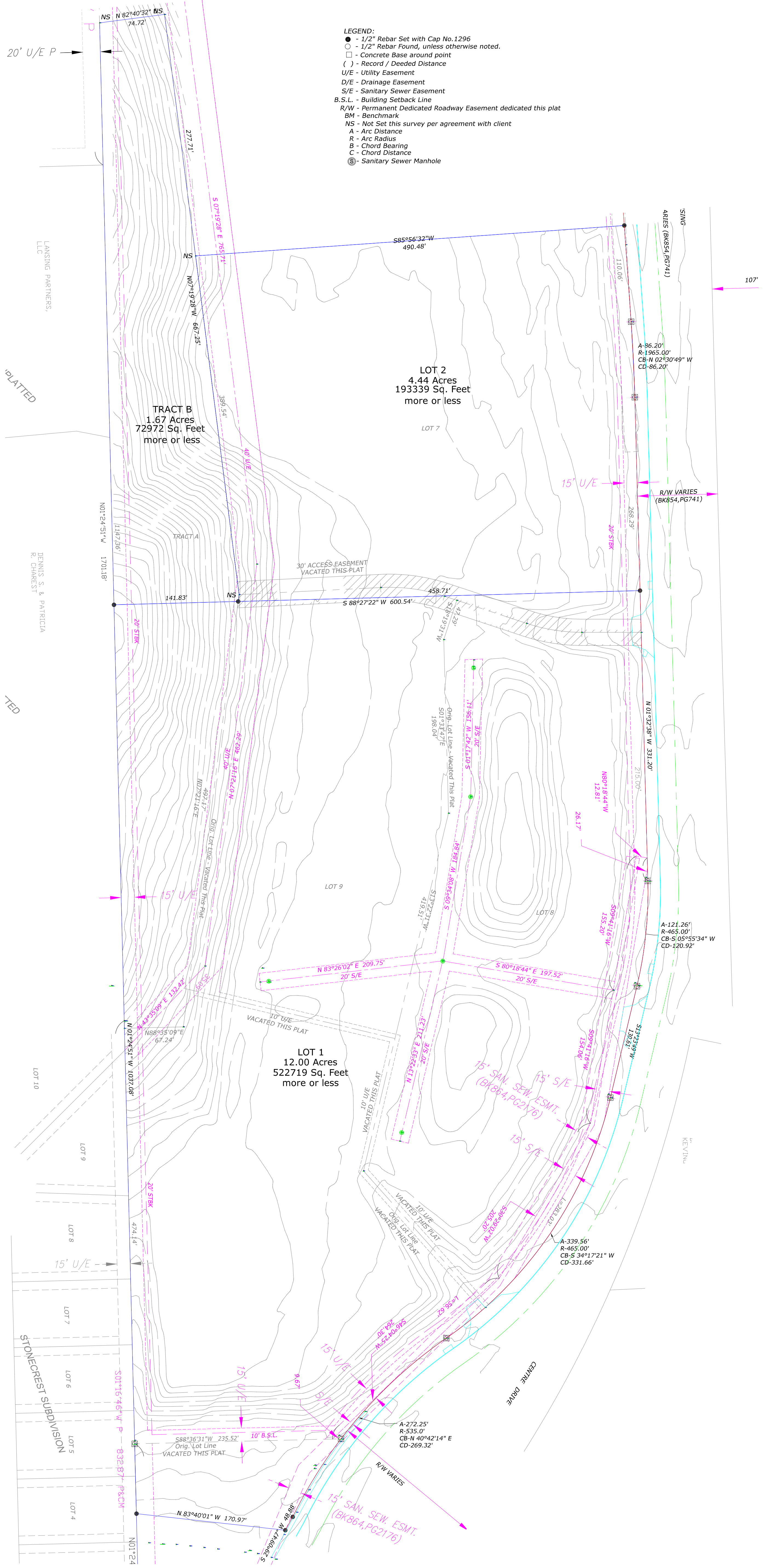
LANSING TOWNE CENTRE REPLAT

A Replat of Tract A, Lots 7, 8, and 9, and an unplatted tract of land in the Northeast Quarter of Section 25, Township 9 South, Range 22 East of the 6th P.M., City of Lansing, Leavenworth County, Kansas.

PRELIMINARY PLAT

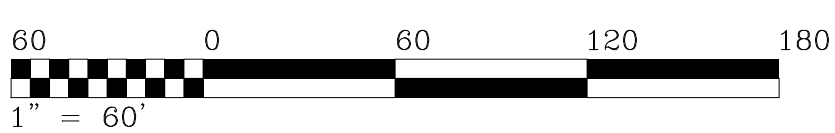
PREPARED FOR:
City of Lansing
Lansing, KS 66043
PID # 107-25-0-10-02-001.15 - Lot 7
PID # 107-25-0-10-02-001.16 - Lot 8
PID # 107-25-0-10-02-001.17 - Lot 9
PID # 107-25-0-10-02-001.18 - TRACT A

- LEGEND:**
- - 1/2" Rebar Set with Cap No.1296
 - - 1/2" Rebar Found, unless otherwise noted.
 - - Concrete Base around point
 - () - Record / Deeded Distance
 - U/E - Utility Easement
 - D/E - Drainage Easement
 - S/E - Sanitary Sewer Easement
 - B.S.L. - Building Setback Line
 - R/W - Permanent Dedicated Roadway Easement dedicated this plat
 - BM - Benchmark
 - NS - Not Set this survey per agreement with client
 - A - Arc Distance
 - R - Arc Radius
 - B - Chord Bearing
 - C - Chord Distance
 - ⊕ - Sanitary Sewer Manhole



Scale 1" = 60'

Job # K-22-1619
August 28, 2022





OFFICIAL AD PROOF

This is the proof of your ad scheduled to run in **Leavenworth Times** on the dates indicated below. If changes are needed, please contact us prior to deadline at **(913) 682-0305**.

Notice ID: QsjE6zVICm90luM394c9 | **Proof Updated: Aug. 26, 2022 at 02:40pm CDT**
Notice Name: Centre Dr. Preliminary Plat Public Notice | Publisher ID: 403990

This is not an invoice. Below is an estimated price, and it is subject to change. You will receive an invoice with the final price upon invoice creation by the publisher.

FILER	FILING FOR
Melissa Baker mbaker@lansingks.org (913) 727-3233	Leavenworth Times

Columns Wide: 1	Ad Class: Legals
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08/31/2022: Other Notice	28.00
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Subtotal	\$28.00
Tax %	0.00
Processing Fee	\$2.80
Total	\$30.80

PUBLIC NOTICE REVIEW OF PRELIMINARY PLAT

Notice is hereby given to any and all persons that the Planning Commission of the city of Lansing, Leavenworth County, Kansas, will conduct a review of a preliminary plat request at its regularly scheduled meeting on September 21, 2022.

An application has been filed by Anthony R. McNeill, Mayor of Lansing, KS, seeking approval of a preliminary plat for Lansing Towne Centre Replat. This property is located at 00000 Centre Dr, Lansing, Kansas, on the West side of Centre Dr, North of 4-H Rd.

The Planning Commission meeting will be held at Lansing City Hall, 800 First Terrace, Lansing, Kansas, at 7:00 p.m. Published in the Leavenworth Times, Aug 31, 2022

403990