



BOARD OF ALDERMEN

Monday, January 12, 2026 at 6:00 PM

Landis Board Room

AGENDA

PLEASE SILENCE ALL CELL PHONES

1. INTRODUCTION:

- 1.1 Call Meeting to Order
- 1.2 Welcome
- 1.3 Moment of Silence and Pledge of Allegiance
- [1.4](#) 2026 Martin Luther King, Jr. Day Proclamation
- 1.5 Adoption of Agenda

2. CONSENT AGENDA:

All items below are considered to be routine by the Board of Aldermen and will be enacted by one motion. There will be no separate discussion on these items unless an Aldermen member so requests, in which event, the item will be removed from the Consent Agenda and placed in the appropriate corresponding Agenda Section to then be considered.

REQUESTED ACTION: Motion to Approve Consent Agenda as presented

- [2.1](#) Consider Approval of Regular Scheduled Meeting Minutes from December 8, 2025

3. PUBLIC HEARINGS:

- [3.1](#) Consider Approval of Recessed Public Legislative Hearing for Zoning Map Amendment #ZMA-2025-12-08-1 - Parcel #106115 - 0 W. Hoke Street - SFR-3 to RMST
- [3.2](#) Consider Approval of Public Legislative Hearing for Traffic Impact Analysis Change in the Landis Development Ordinance

4. PRESENTATIONS:

- [4.1](#) Swearing in of Finance Director Gitza Ocasio Perez
- [4.2](#) Swearing in of Deputy Town Clerk Jessica McPherson
- [4.3](#) Consider Presentation of Sewer AIA Project Closeout (Project 25-03)

5. CITIZEN COMMENTS:

All citizen comments are limited to 3 minutes.

- 5.1 Citizens' Comments

6. OLD BUSINESS:

- [6.1](#) Consider Discussion of Setting a Date and Time for Elected Officials Ethics Training

7. CONSIDERATIONS:

- [7.1](#) Consider Approval to Reappoint Scott Faw to Full Member Planning Board Member Position, and Beryl Alston to Alternate Planning Board Member Position
- [7.2](#) Consider Approval to Allow Jade Bittle to Move to Alternate, and Post for Full Member to Replace Her Appointment
- [7.3](#) Consider Discussion of Engaging an Outside Consultant to Review the Landis Development Ordinance
- [7.4](#) Consider Approval of Budget Amendment #14 to Accept Funding from North Carolina for FY26 Powell Bill
- [7.5](#) Consider Motion to Enter Closed Session Pursuant to N.C.G.S.143-318.11(a)(3) to Consult with Town Attorney

8. REPORTS:

- [8.1](#) Departmental Reports (Included in the Board packet)
- [8.2](#) Financial Report (Included in the Board packet)
- [8.3](#) Town Manager Report (Included in the Board packet)

9. UPCOMING EVENTS:

- [9.1](#) Upcoming Events (Included in the Board packet)

10. CLOSING:

- 10.1 Board Comments
- 10.2 Motion to Adjourn



Proclamation

Honoring Dr. Martin Luther King, Jr.

WHEREAS, Dr. Martin Luther King, Jr. inspired millions of Americans to participate in non-violent protests to support the ideals of equality for all and was a motivating force behind a civil rights movement that had as its goal a creation of a society tolerant of all races, cultures, and nationalities; *and*

WHEREAS, the ideals of Dr. King and of the Town of Landis's commitment to human rights are worthy of reflection and serve as a reminder that improving the quality of life for all members of our community is the responsibility of every citizen; *and*

WHEREAS, the celebration of Dr. King's birthday is intended as a time for all Americans to reaffirm their commitment to the basic principles that underlie our Constitution – equality and justice for all.

NOW, THEREFORE, BE IT RESOLVED, I, Meredith Bare Smith, Mayor of the Town of Landis, North Carolina, do hereby proclaim, January 19, 2026, as “Dr. Martin Luther King, Jr. Day” in the Town of Landis, and urge all citizens to rededicate themselves to the principles of respect for human rights and freedom, of belief in nonviolence, and of commitment to improving our community through community service and volunteerism.

I hereby set my hand and have caused the Seal of the Town of Landis, North Carolina, to be affixed this the 12th day of January 2026.

Meredith Bare Smith, Mayor

Attest:

Madison Stegall, Town Clerk



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Madison Stegall, HR Director/Town Clerk

ITEM TYPE: Minutes

AGENDA SECTION: Consent Agenda

SUBJECT: Consider Approval of Regular Scheduled Meeting Minutes from December 8, 2025

DETAILS:



BOARD OF ALDERMEN

Monday, December 08, 2025 at 6:00 PM

Landis Board Room

MINUTES

PLEASE SILENCE ALL CELL PHONES

Present: Mayor Meredith B. Smith, Mayor Pro-Tem Ashley Stewart, Alderman Tony Corriher, Alderman Ryan Nelms, Alderman Darrell Overcash

Staff Present: Town Manager Michael Ambrose, HR Director/Town Clerk Madison Stegall, Finance Director Gitza Ocasio Perez, Town Attorney Rick Locklear, Police Chief Matthew Geelen, Fire Chief Jason Smith, Parks & Rec Director Jessica St. Martin, Planning Director Phil Collins

1. INTRODUCTION:

1.1 Call Meeting to Order

Mayor Meredith Smith called the meeting to order at 6:00 PM.

1.2 Welcome

Mayor Smith welcomed those in attendance.

1.3 Moment of Silence and Pledge of Allegiance

Mayor Smith led those in attendance in a moment of silence and the Pledge of Allegiance.

1.4 Adoption of Agenda

ACTION: A MOTION WAS MADE TO ADOPT THE AGENDA WITH SEVERAL AMENDMENTS. ITEM 2.3, CONSIDER APPROVAL OF 125 CELEBRATION FEE SCHEDULE, MOVED TO CONSIDERATIONS AS ITEM 8.10 AND TWO ADDITIONAL ITEMS WERE ADDED TO CONSIDERATIONS, ITEM 8.11 CONSIDER DISCUSSION OF UTILITY BILLING ERROR AND ITEM 8.12 CONSIDER DISCUSSION OF OPEN EMPLOYMENT.

Moved By: Ashley Stewart, seconded by Ryan Nelms

Motion Tied: (2-2)

Voting For: Ashley Stewart, Ryan Nelms

Voting Against: Darrell Overcash, Tony Corriher

Mayor Smith cast the deciding vote in the affirmative.

Motion Passed: (2-3)

2. CONSENT AGENDA:

All items below are considered to be routine by the Board of Aldermen and will be enacted by one motion. There will be no separate discussion on these items unless an Aldermen member so requests, in which event, the item will be removed from the Consent Agenda and placed in the appropriate corresponding Agenda Section to then be considered.

2.1 Consider Approval of Work Session Meeting Minutes from November 6, 2025, and Regular Scheduled Meeting Minutes from November 10, 2025

2.2 Consider Approval of FY25 Financial Amendment to the Auditors Contract

~~**2.3 Consider Approval of 125 Celebration Fee Schedule**~~ **Moved to Item 8.10**

Town Manager Michael Ambrose noted the FY25 financial amendment to the auditor's contract. He explained that Martin Starnes did not originally include the single audit for fiscal year 2025 in their contract. However, because the town spent federal grant dollars exceeding \$750,000 last year, a "yellow book" or single audit is required by federal and state governments. Manager Ambrose noted that due to a federal shutdown, the town has not received auditing guidelines for fiscal year 2025, which are expected by December 31st. The Local Government Commission has given all local governments a grace period through February 28, 2026, to submit their audits. The town's goal is to complete this between January 3rd and February 12th, 2026.

ACTION: A MOTION WAS MADE TO APPROVE THE CONSENT AGENDA AS PRESENTED.

Moved By: Ashley Stewart, seconded by Ryan Nelms
Motion Passed: (4-0)
Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

3. PRESENTATIONS:

3.1 Swearing In Elected Officials - Alderman Tony Corriher and Alderman Darrell Overcash

Alderman Darrell Overcash and Alderman Tony Corriher were officially sworn in by Town Clerk Madison Stegall. Each took the oath of office, affirming to support the constitution and laws of the United States, be faithful to North Carolina, and faithfully discharge their duties as aldermen for the Town of Landis.

4. RECESS/RECEPTION:

4.1 Consider Approval of a 15 Minute Recess

The board approved a 20-minute recess to celebrate the swearing-in ceremony with refreshments provided in the hallway.

ACTION: A MOTION WAS MADE TO RECESS FOR 20 MINUTES AT 6:08 PM.

Moved By: Ashley Stewart, seconded by Ryan Nelms
Motion Passed: (4-0)
Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

ACTION: A MOTION WAS MADE TO RECONVENE AT 6:24 PM.

Moved By: Ashley Stewart, seconded by Ryan Nelms
Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

5. PUBLIC HEARINGS:

5.1 Consider Approval of Public Legislative Hearing for Zoning Map Amendment #ZMA-2025-12-08-1 - Parcel #106115 - 0 W. Hoke Street - SFR-3 to RMST

Manager Ambrose noted that the neighborhood meeting required for this zoning request had not yet occurred. Staff recommended opening the hearing but then recessing it until the January meeting, after the required community meeting takes place.

Planning Director Phil Collins noted that the community meeting would be held on December 17th at 6 PM at Town Hall.

ACTION: A MOTION WAS MADE TO OPEN THE PUBLIC LEGISLATIVE HEARING FOR ZONING MAP AMENDMENT #ZMA-2025-12-08-1 - PARCEL #106115 - 0 W. HOKE STREET - SFR-3 TO RMST.

Moved By: Ashley Stewart, seconded by Tony Corriher
Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

ACTION: A MOTION WAS MADE TO RECESS THE PUBLIC LEGISLATIVE HEARING FOR ZONING MAP AMENDMENT #ZMA-2025-12-08-1 - PARCEL #106115 - 0 W. HOKE STREET - SFR-3 TO RMST TO THE JANUARY 12, 2026, BOARD OF ALDERMEN MEETING.

Moved By: Ashley Stewart, seconded by Darrell Overcash
Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

5.2 Consider Approval of Public Legislative Hearing for Zoning Map Amendment ZMA-2025-12-08-2 - Parcel #130B09601 - 1335 Mt. Moriah Church Road - SFR-2 to MU-1

Director Collins gave a brief overview of the proposed Zoning Map Amendment. He explained that while the request from SFR-2 to MU-1 is not aligned with the land use plan, the proposed zoning designation would allow for development consistent with the existing pattern of properties to the east, south, and west.

ACTION: A MOTION WAS MADE TO OPEN THE PUBLIC LEGISLATIVE HEARING FOR ZONING MAP AMENDMENT ZMA-2025-12-08-2 - PARCEL #130B09601 - 1335 MT. MORIAH CHURCH ROAD - SFR-2 TO MU-1.

Moved By: Ashley Stewart, seconded by Tony Corriher
Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

No comments were made.

ACTION: A MOTION WAS MADE TO CLOSE THE PUBLIC LEGISLATIVE HEARING FOR ZONING MAP AMENDMENT ZMA-2025-12-08-2 - PARCEL #130B09601 - 1335 MT. MORIAH CHURCH ROAD - SFR-2 TO MU-1.

Moved By: Ashley Stewart, seconded by Ryan Nelms
Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

ACTION: A MOTION WAS MADE TO APPROVE AND ADOPT ZONING MAP AMENDMENT ZMA-2025-12-08-2 - PARCEL #130B09601 - 1335 MT. MORIAH CHURCH ROAD - SFR-2 TO MU-1.

Moved By: Ashley Stewart, seconded by Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

5.3 Consider Approval of Public Legislative Hearing for Zoning Map Amendment #ZMA-2025-12-08-3 - Parcel #130331 - 0 W. Ryder Avenue - SFR-3 to MU-1

Director Collins gave a brief overview of the proposed Zoning Map Amendment. He explained that while the request from SFR-3 to MU-1 is not aligned with the land use plan, the proposed zoning designation would allow for development consistent with the existing pattern of properties to the east, south, and west.

ACTION: A MOTION WAS MADE TO OPEN THE PUBLIC LEGISLATIVE HEARING FOR ZONING MAP AMENDMENT #ZMA-2025-12-08-3 - PARCEL #130331 - 0 W. RYDER AVENUE - SFR-3 TO MU-1.

Moved By: Ashley Stewart, seconded by Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

No comments were made.

ACTION: A MOTION WAS MADE TO CLOSE THE PUBLIC LEGISLATIVE HEARING FOR ZONING MAP AMENDMENT #ZMA-2025-12-08-3 - PARCEL #130331 - 0 W. RYDER AVENUE - SFR-3 TO MU-1.

Moved By: Ashley Stewart, seconded by Darrell Overcash

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

ACTION: A MOTION WAS MADE TO APPROVE AND ADOPT ZONING MAP AMENDMENT #ZMA-2025-12-08-3 - PARCEL #130331 - 0 W. RYDER AVENUE - SFR-3 TO MU-1.

Moved By: Ashley Stewart, seconded by Darrell Overcash

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

6. CITIZEN COMMENTS:

All citizen comments are limited to 3 minutes.

6.1 Citizens' Comments

- Amy Talbert – 501 N. Zion St.- Expressed gratitude to the Town of Landis Police Department, EMS workers, and Fire Department for their response to a neighbor's house fire on October 22nd. She noted how quickly they arrived and secured the area, preventing the fire from spreading to neighboring properties. She presented thank-you baskets for the Landis Fire Department as a token of appreciation

7. OLD BUSINESS:

7.1 Consider Discussion of Setting a Date and Time for Elected Officials Ethics Training

The Board discussed scheduling options for the required ethics training. They considered holding it before a Thursday work session in February. After discussion, the board decided to table the matter until January.

ACTION: A MOTION WAS MADE TO TABLE SETTING A DATE AND TIME FOR ELECTED OFFICIALS ETHICS TRAINING TO THE JANUARY 12, 2026, BOARD OF ALDERMEN MEETING.

Moved By: Ashley Stewart, seconded by Ryan Nelms

Motion Passed: (3-1)

Voting For: Ashley Stewart, Darrell Overcash, Ryan Nelms

Voting Against: Tony Corriher

7.2 Consider Approval of Tabled Traffic Impact Analysis Change in the Landis Development Ordinance

Director Collins presented the proposed traffic impact analysis requirements for the Landis Development Ordinance. He explained that the draft would set the threshold at 1,000 vehicles per day for residential developments (changed from his initial suggestion of 2,000), which is more stringent than NCDOT's current 3,000 trip threshold. This would require developers to conduct more detailed traffic studies for new developments.

The Board agreed to set a public hearing for January 12th to formally consider these changes.

ACTION: A MOTION WAS MADE TO SET A PUBLIC HEARING FOR THE JANUARY 12, 2026, BOARD OF ALDERMEN MEETING TO CONSIDER THE APPROVAL OF THE TRAFFIC IMPACT ANALYSIS CHANGE IN THE LANDIS DEVELOPMENT ORDINANCE.

Moved By: Ashley Stewart, seconded by Ryan Nelms

Motion Passed: (3-1)

Voting For: Ashley Stewart, Darrell Overcash, Ryan Nelms

Voting Against: Tony Corriher

8. CONSIDERATIONS:

8.1 Consider Approval of the Rowan County Erosion Control Contract

Town Manager Michael Ambrose presented a contract with Rowan County for erosion control services. He explained that while the county has been handling erosion control for all town developments, there had never been an official contract. The agreement formalizes the existing arrangement, with no money changing hands between the town and county. Any fees are collected directly from developers by the county.

ACTION: A MOTION WAS MADE TO APPROVE THE ROWAN COUNTY INTERLOCAL AGREEMENT FOR EROSION AND SEDIMENTATION CONTROL.

Moved By: Ashley Stewart, seconded by Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.2 Consider Approval of Funding Request for the EDC for Fiscal Year 2025-2026

Manager Ambrose presented the funding request from the Rowan County Economic Development Commission for fiscal year 2026, which was \$10,371.89. He noted this represented about a 5% increase from last year's payment of \$9,843.34. The funds are allocated in the administration budget.

ACTION: A MOTION WAS MADE TO APPROVE THE FUNDING REQUEST FOR THE EDC FOR FISCAL YEAR 2025-2026 IN THE AMOUNT OF \$10,371.89.

Moved By: Ashley Stewart, seconded by Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.3 Consider Discussion of Paving The Lake Warrior Dam Area and Repairs On The Dam

Manager Ambrose presented a request from Lake Warrior Golf Course regarding repairs to a bridge and paving assistance on their maintenance path. He clarified that only the bridge itself is within town limits, not the entire road for which paving was requested. Manager Ambrose recommended focusing only on evaluating the bridge repair needs.

The Board discussed the town's interest in the area, noting that the town maintains raw water storage at Lake Warrior and provides electrical service to the golf course and surrounding subdivision. After discussion, the Board directed staff to obtain quotes for the bridge repair only and to bring those estimates back during budget meetings in March or April.

8.4 Consider Approval of Two New Stormwater Technician Positions Currently In Our New Modified Stormwater Budget

Manager Ambrose requested approval to add two stormwater technician positions that were included in the modified stormwater budget.

ACTION: A MOTION WAS MADE TO APPROVE TWO NEW STORMWATER TECHNICIAN POSITIONS THROUGH THE MODIFIED STORMWATER BUDGET.

Moved By: Ashley Stewart, seconded by Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.5 Consider Approval of Planning Board Resignation and Consider Approval of Posting for New Alternate Member

Human Resources Director/Town Clerk Madison Stegall reported that alternate Planning Board member Mark Bringle submitted his resignation on November 17th. The Planning Board requested authorization to advertise for a new alternate position.

ACTION: A MOTION WAS MADE TO ACCEPT THE RESIGNATION FROM MARK BRINGLE AND AUTHORIZED ADVERTISING OF THE POSITION AND TO ACCEPT APPLICATIONS FOR THE ALTERNATE POSITION.

Moved By: Ashley Stewart, seconded by Ryan Nelms

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.6 Consider Approval of 2026 Member and Alternate Appointments to the Centralina Regional Council Board of Delegates

Director Stegall noted that Mayor Pro Tem Stewart currently serves as the primary representative to the Centralina Regional Council Board of Delegates, with Mayor Smith as the alternate member. After brief discussion, the Board decided to maintain these appointments for 2026.

ACTION: A MOTION WAS MADE TO MAINTAIN THE CENTRALINA REGIONAL COUNCIL BOARD DELEGATE APPOINTMENTS AS IS WITH MAYOR PRO TEM ASHLEY STEWART SERVING AS PRIMARY REPRESENTATIVE AND MAYOR MEREDITH SMITH SERVING AS THE ALTERNATE MEMBER.

Moved By: Darrell Overcash, Ashley Stewart

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.7 Consider Approval of Authorizing a Parcel Survey for the DC & Frances Linn Park to Consolidate All Individual Town Owned Parcels into a Single Recorded Plat

Manager Ambrose explained that there are currently eight separate parcels that make up the DC and Frances Linn Park. Combining these into a single parcel would alleviate setback requirements mandated by the Land Development Ordinance. Mayor Smith explained that the current configuration of multiple parcels prevents certain needed improvements, such as underpinning work on the depot building, because structures cannot be placed across property lines even though all parcels are town-owned.

ACTION: A MOTION WAS MADE TO AUTHORIZE A PARCEL SURVEY FOR THE DC & FRANCES LINN PARK TO CONSOLIDATE ALL INDIVIDUAL TOWN OWNED PARCELS INTO A SINGLE RECORDED PLAT.

Moved By: Ashley Stewart, Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.8 Consider Approval to Transition to Members Only Operations for the Landis Pool for the 2026 Season and Approval of Potential Bonus for Lifeguards

Parks and recreation director Jessica St. Martin presented a proposal to transition the Landis pool to a members-only facility for the 2026 season. This change was recommended to address lifeguard staffing issues, maintenance and chemical usage concerns due to overcapacity, and based on feedback from current members and survey results.

Current membership rates were discussed: resident family memberships (family of 4) cost \$260, while non-resident family memberships cost \$465. Additional family members could be added for \$40 each. Individual resident memberships are \$160, while non-resident individual memberships are \$315.

Director St. Martin clarified that the pool would still be open to anyone who purchases a membership, not just Landis residents, and that members could bring guests who pay a daily admission fee. The pool would also still be available for rentals by non-members.

The Board also discussed a proposal to offer lifeguard bonuses (\$150 after working 26 hours and another \$150 after 86 hours) to encourage better staffing levels and attendance.

The Board extensively discussed revenue impacts and community access.

ACTION: A MOTION WAS MADE TO APPROVE THE LANDIS POOL TRANSITION TO MEMBERS ONLY OPERATIONS FOR THE 2026 SEASON AND AUTHORIZED A \$300 LIFEGUARD INCENTIVE.

Moved By: Ashley Stewart, Tony Corriher
 Motion Passed: (3-1)
 Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher
 Voting Against: Ryan Nelms

8.9 Consider Discussion of 125th Anniversary Celebration

The Board discussed plans for the town's 125th anniversary celebration scheduled for May 2, 2026, from 4 to 10 PM. Director St. Martin reported that attractions and vendors will be spread throughout downtown on Central Avenue and Main Street.

The event will feature a magician, face painters, balloon twisters, rides including a Ferris wheel and fun house maze, and unique attractions like Seller Creek Farms providing "cow cuddle pictures" with baby highland cows. The Band of Oz will perform from 7 to 10 PM.

The Board discussed transportation options including using trolleys as shuttles, as well as parking arrangements at local churches and schools. They also suggested adding a Friday night component to make it a weekend-long celebration, possibly featuring the local band "Almost Classic" and inquired about a Beer Garden Friday and Saturday. The Board confirmed that there was no Road Closure Ordinance change needed.

8.10 Consider Approval of 125 Celebration Fee Schedule

The board reviewed merchandise pricing for 125th anniversary items. There was discussion about creating a mural-themed T-shirt design that had been previously discussed but not implemented. The Board expressed interest in a 125 T-shirt design with the mural on the back and utilizing the font from 125 Banner option #2.

ACTION: A MOTION WAS MADE TO APPROVE THE SALE AND PROPOSED ITEM FEES FOR THE 125TH ANNIVERSARY MERCHANDISE AND FOR STAFF TO INCLUDE A MURAL T-SHIRT IN THE SALES.

Moved By: Ashley Stewart, Tony Corriher
 Motion Passed: (4-0)
 Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

8.11 Consider Discussion of Utility Billing Error

Alderman Ryan Nelms requested a discussion about a recent utility billing error that had generated significant community concern. Town Manager Michael Ambrose explained that a problem occurred with the town's third-party mail provider, resulting in utility bills being sent out with fees missing. The incorrect bills were being re-mailed as of that day.

Manager Ambrose noted that over 400 citizens had called on December 2nd after noticing their bills were unusually low. The corrected bills would maintain the standard due date of the 25th, but since that falls on Christmas, payments would actually be due on the next business day, December 29th, with late fees applied on December 30th.

The Board discussed the importance of communicating this information to residents, especially that they would have until December 29th to pay without penalty. Alderman Nelms emphasized the significance of the error, noting it could have represented at least \$260,000 in lost revenue if not caught.

8.12 Consider Discussion of Open Employment

Alderman Ryan Nelms requested information about current staff vacancies. Human Resources Director Madison Stegall reported that the town currently had one police officer position, one water resource position, one firefighter position, one public works director position, four part-time firefighter positions, and the two newly approved stormwater technician positions open.

Manager Ambrose explained the town's three-interview hiring process and noted that while progress was being made on filling positions, some took longer due to scheduling difficulties, especially during the holidays. He also mentioned that a new finance director, Mrs. Gitza Ocasio Perez, had been hired but would be officially sworn in after completing the bonding process.

9. REPORTS:

9.1 Departmental Reports (Included in the Board packet)

9.2 Financial Report (Included in the Board packet)

9.3 Town Manager Report (Included in the Board packet)

Town Manager Michael Ambrose highlighted the upcoming "Landis Cares" citizen academy and resource education series scheduled to begin February 24th. The program will help citizens better understand town departments and operations through weekly Tuesday sessions.

He also mentioned plans to enhance marketing and communication in 2026 to increase transparency about town projects, particularly highlighting the federal grant dollars being used for infrastructure improvements.

10. UPCOMING EVENTS:

10.1 Upcoming Events (Included in the Board packet)

Mayor Smith announced several upcoming events and closures:

- Campfire at the Lake with Santa on December 13th from 4-6 PM
- Planning Board meeting on December 16th
- Town offices closed December 19th from 11:30-2:00 for employee luncheon
- Town offices closed December 24th-26th and December 31st (closing at 3 PM)
- Town offices closed January 1st
- Work session on January 8th
- Board meeting on January 12th
- Town hall closed on January 19th for Martin Luther King Jr. holiday
- Planning Board meeting on January 20th
- DC Francis Park Committee meeting on January 26th

11. CLOSING:

11.1 Board Comments

No comments made.

11.2 Motion to Adjourn

ACTION: A MOTION WAS MADE TO ADJOURN AT 7.57 PM.

Moved By: Ashley Stewart, Tony Corriher

Motion Passed: (4-0)

Voting For: Ashley Stewart, Darrell Overcash, Tony Corriher, Ryan Nelms

Respectfully Submitted,

Madison T. Stegall, Town Clerk

DRAFT



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: December 8, 2025
SUBMITTED BY: Phil Collins, Planning, Zoning & Subdivision Administrator
ITEM TYPE: Public Hearing
AGENDA SECTION: Public Hearings
SUBJECT: **Consider Approval of Public Legislative Hearing for Zoning Map Amendment #ZMA-2025-12-08-1 - Parcel #106 115 - 0 W. Hoke Street - SFR-3 to RMST**

DETAILS:

Legislative Hearing - Consider ZMA-2025-12-08-1 - Parcel 160 115 - 0 W. Hoke Street from SFR-3 to RMST

1. Overview from Staff
2. Open Public Hearing
3. Comments by Public
4. Close Public Hearing
5. Consider Ordinance #ZMA-2025-12-08-1

January 12, 2026:
Consider Approval of Recessed Public Legislative Hearing for Zoning Map Amendment #ZMA-2025-12-08-1 - Parcel #106115 - 0 W. Hoke Street - SFR-3 to RMST



AN ORDINANCE AMENDING THE LANDIS DEVELOPMENT ORDINANCE OF THE TOWN OF LANDIS, NORTH CAROLINA

BE IT ORDAINED by the Mayor and Board of Aldermen of the Town of Landis, North Carolina that the Official Zoning Map of the Landis Development Ordinance be amended in accordance with Article 5 of G.S. 160D as follows:

Part 1. Consistency with Adopted Comprehensive Plan.

The Board of Aldermen finds that a zoning map amendment to the property of Dave Brown , being the owner(s) of the certain land areas hereinafter described as Rowan County Tax Parcel ID 106 115 and further described in Attachment “A” attached hereto, establishing a zoning designation in accordance with G.S. 160D-604(b) of “Residential Main Street Transition” (RMST) is consistent with the Town’s 2040 Comprehensive Land Use Plan (the Plan) Future Land Use Map, as required by G.S. 160D-605(a) in that it lies within an area surrounded by residential neighborhood homes designation of both the adopted Future Land Use Map contained within the Plan and the Current Official Zoning Map.

Part 2. Statement of Reasonableness.

This amendment is reasonable because the subject property allows for the growth and expansion of residential uses supporting the local economic base and work-force needs of the Town of Landis, as required by G.S. 160D-605(b).

Part 3. Designation of Zoning Designation.

That Rowan County Tax Parcel ID 160 115 described in Attachment “A” attached hereto shall be designated “Residential Main Street Transition” (RMST) on the Official Zoning Map.

Part 4. Designation of Future Land Use Categories to Subject Properties.

The Board of Aldermen further ordains the property consisting of Rowan County Parcel ID 160 115 described in Attachment “A” attached hereto shall be designated in the “Residential Main Street Transition” future land use category, in accordance with G.S 160D-605(a) upon the Future Land Use Map in the Plan.

Part 5. Effective Date.

This Ordinance shall be effective immediately upon its adoption

ADOPTED THIS THE 8TH DAY OF DECEMBER 2025.

s/
Meredith Bare Smith, Mayor

s/
Madison Stegall, Town Clerk

Attachment "A"

Location Map from Rowan County GIS Showing Parcel 106 115

Tax Map: 106 Parcel : 115

BEING designated as Lot 1, on a Plat as recorded in the Rowan County Register of Deeds Office in Book 9995 Page 10971. The same consisting of .49 acres and being 21,549 square feet, according to a survey prepared by Control Point, Inc.





Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Phil Collins, Planning Director

ITEM TYPE: Public Hearing

AGENDA SECTION: Public Hearings

SUBJECT: **Consider Approval of Public Legislative Hearing for Traffic Impact Analysis Change in the Landis Development Ordinance**

DETAILS:

7.16 Traffic Impact Analysis (TIA)

7.16-1 General Information

The Traffic Impact Analysis (TIA) is a specialized study that evaluates the effects of a development's traffic on the surrounding transportation infrastructure. It is an essential part of the development review process to assist developers and local government agencies in making land use decisions involving annexations, subdivisions, rezoning requests, special land uses, and other development reviews. The TIA helps identify where the development may have a significant impact on safety, traffic and transportation operations and provides a means for the developer and the government agencies to mitigate these impacts. Ultimately, the TIA can be used to evaluate if the scale of the development is appropriate for a particular site and what improvements may be necessary, on and off the site, to provide safe and efficient access and traffic flow. Mitigation measures may involve strategies other than roadway construction or other physical improvements such as changes to traffic signal timing or phasing and transportation management strategies.

A. Applicability

1. A traffic impact analysis (TIA) shall be required for any conditional use rezoning, conditional use permit, preliminary plat, site plan or zoning compliance permit application or request estimated to produce 21,000 vehicles per day or greater and/or 100 total trips both entering and exiting the site during either the AM or PM peak hours during an average weekday based on a five day national average as defined in the Institute of Transportation Engineers (ITE) Trip Generation Manual.

2. A TIA shall be required for ~~residential~~ any development estimated to produce ~~2,000~~ 1,500 vehicles per day or greater and/or 100 total trips both entering and exiting the site during either the AM or PM peak hours during an average weekday based on a five day national average as defined in the ITE Trip Generation Manual.

~~3. A TIA shall be required for any nonresidential or mixed use development estimated to produce 3,000 vehicles per day or greater and/or 150 total trips both entering and exiting the site during either the AM or PM peak hours during an average weekday based on a five day national average as defined in the ITE Trip Generation Manual.~~

~~4.3.~~ A TIA may also be required for proposed access within 1,000 feet of an interchange, in the vicinity of a high accident location, on a major arterial roadway, when involvement with an existing or proposed median crossover is necessary, when the project includes highway improvements that are in the Transportation Improvement Program, when involvement with an active roadway construction project is necessary or at the discretion of the NCDOT District Engineer.

~~5.4.~~ A TIA ~~or~~ Technical Memorandum may ~~also~~ be required based on special circumstances associated with the proposed development, ~~even~~ if the proposed development trip generation and existing corridor volumes upon with the site access is based exceed 1500 vehicles per day. ~~number~~

~~of gross trips falls below the above stated thresholds. This includes when:~~

- ~~a. Traffic is being generated from a non-residential development that could potentially impact adjacent residential neighborhoods.~~
- ~~b. Traffic operation issues for current and/or future years on nearby roads are expected to be worsened by traffic generated from the new development.~~
- ~~c. Traffic near the site is experiencing significant or unacceptable delays.~~
- ~~d. The proposed land use differs from the proposed land use classification in the Land Use Plan.~~
- ~~e. The existing street or access system is not anticipated to accommodate the expected traffic generation.~~
- ~~f. The proposed development includes a drive-through facility, or other uses, such as schools, that require significant on-site circulation that may have off-site impacts to adjoining roads and/or intersections.~~
- ~~g. The amount, behavior or assignment of traffic is different from a previously approved TIA for the same property.~~

In certain instances, the need for a TIA may be waived with submission of a Technical Memorandum when the Town of Landis (Town) and NCDOT agree a TIA is not needed. In the event a waiver is requested, the applicant must provide evidence to show that a waiver is appropriate. Waiver requests shall be handled on a case-by-case basis.

Calculating Trip Generation

The trip generation of a proposed development is the sum of the number of inbound and outbound vehicle trips that are expected for the type and size of the proposed land use. For purposes of determining the requirement to submit a TIA, no adjustments such as modal split, pass-by trips or internal capture rates will be allowed to the site traffic calculation. A TIA will vary in range and complexity depending on the type and size of the proposed development. When mutually agreed upon by the NCDOT, the applicant, and Town staff, the basic requirements for the TIA may be modified.

7.16-2 Traffic Impact Study Guidelines

A. General Information

When required by this Ordinance and/or NCDOT, a Traffic Impact Analysis (TIA) shall be used to review the potential impacts of proposed or revised developments on the State Highway System. The TIA covers safety, capacity, and access issues. When required and completed, a TIA shall be used by the Town and NCDOT to determine the required improvements to the State Highway System within the vicinity of the development to mitigate undesirable impacts of the project.

The District Engineer, working together with the Town, will determine the basic parameters of the TIA. When mutually agreed upon by the NCDOT, the applicant, and the Town in a pre-submittal conference, the basic requirements and parameters for the TIA may be modified.

The TIA shall be prepared under the direct charge of, and sealed by, a licensed North Carolina Professional Engineer with expertise in traffic engineering. All work shall be in accordance with NCDOT approved methods and input parameters and shall be of sufficient scope and detail to allow the Town and the NCDOT to evaluate the impact of the development with regards to roadway capacity and operational and safety improvements that may be needed.

B. Format for Traffic Impact Analysis Report

In general, the report should conform to the following general outline:

1. Table of Contents
2. Introduction
 - a. Explanation of project
 - b. Area map showing development site location
 - c. Complete project site plan, with buildings identified as to proposed use
 - d. Project schedule, and stages or phases, if applicable
3. Base Conditions
 - a. Existing Roadway network in vicinity of project, including lane configurations
 - b. Availability of alternate modes of travel in study area
 - c. Existing traffic volumes for all significant and pertinent modes of travel in the study area
 - d. Existing traffic signal phasing and timing information.
 - e. Safety information
 - f. Traffic capacity analysis
4. Background Conditions
 - a. Growth in traffic volumes to full build-out year, or stages of development, if appropriate
 - b. Traffic volume generated by other approved developments in area, if applicable
 - c. Transportation improvement projects (State, local or private) in project study area
 - d. Background traffic volumes (base + growth + approved developments)
 - e. Traffic capacity analysis
5. Project Conditions
 - a. Traffic generated by proposed development (site traffic) at build-out, or stages of developments, if appropriate
 - b. Project traffic volumes (background + project)
 - c. Project traffic analysis
 - d. Impact to alternate modes of travel

- e. Proposed roadway network improvements
- f. Project traffic analysis with proposed roadway improvements
- 6. Conclusions/Recommendations
- 7. Appendix
 - a. All work sheets, traffic counts and other pertinent documents

C. Base Roadway Network

All roadways in the vicinity of the development shall be included as part of the TIA. Analysis of intersections or roadway segments not immediately adjacent to the development may be required by the District Engineer or the Town if significant site traffic could be expected to impact the intersection or roadway segment. If intersections impacted by the development are within a coordinated traffic signal system, then the entire traffic signal system shall be analyzed. However, if the traffic signal system is large, a sub-section of the system may be analyzed if approved by the District Engineer and agreed upon by the Town.

D. Safety Information

The initial submittal may be required to include recent crash experience in the study area. Where proposed access points are in the vicinity of high crash locations or where safety may be impacted, additional safety studies may be required as part of the Traffic Impact Analysis.

E. Traffic Volumes

Traffic turning movement counts shall be taken at each existing intersection in the project area. Existing traffic counts may be used if taken within twelve months of the TIA submittal. At some intersections, counts older than one year may be used if adjusted to current year. The use of these older counts will be evaluated on a case-by-case basis by the NCDOT and the Town and shall be approved by the District Engineer or his or her agent.

In general, AM and PM peak hour counts should be used. Other peak hour period counts, such as lunch and weekend periods, may be required if appropriate for the development. Counts shall not be taken on a holiday unless specifically needed for the particular analysis. The effects of school, seasonal variation and special event traffic shall be noted when appropriate.

F. Traffic Capacity Analysis

All capacity analysis shall be performed using methodology and software based on the Highway Capacity Manual procedures or as approved by the NCDOT District Engineer. All software shall be the latest version available unless otherwise approved by the District Engineer. If signalized intersections impacted by the project are within a coordinated traffic signal system or may be included in a system because of changes to the network by the applicant, then they shall be analyzed as a system rather than as isolated intersections. Where available and appropriate, existing timing information shall be used. All analyses shall include level of service determination for the entire network and individual intersections and roadway

segments, as appropriate. Intersection analyses shall include level of service determinations for all approaches and movements. Intersection analyses shall include queue analysis.

G. Growth-to-Background Traffic Volumes

Growth-to-background traffic volumes are factors of increases in annual traffic volumes generated outside the project area. These factors shall be applied to the existing traffic before adding any approved developments in the area. As deemed appropriate, the volume shall be compounded to the proposed build-out years or completion of development stages. In general, these factors will be determined from local or statewide data.

H. Approved Development Traffic

Approved development traffic is defined as traffic generated by all developments approved by local jurisdictions or submitted to local jurisdictions for approval within the development vicinity at the time of the TIA submittal.

I. Background Analysis

Background (no build) analysis shall include existing traffic, traffic signal phasing and timing, background growth, and all approved developments. The analysis shall take into consideration any improvements to the roadway network that will be in place by the build-out year, or staged build-out in development, as appropriate. An analysis shall be performed for each staged build-out year as necessary. This analysis shall be performed for the proposed build-out year of the development or other year as identified by the Town or NCDOT and approved by the District Engineer.

J. Project Conditions

Site traffic is the traffic that will be generated by the proposed development. Trip generation rates shall be based on trip generation methodology in the latest version of the “Trip Generation Manual” by the ITE. When approved by the District Engineer, available local information may be substituted with appropriate documentation. The District Engineer may coordinate the analysis of the site trip generation with the Division Traffic Engineer. Trip generation reduction factors, such as pass-by traffic and internal capture, shall be justified. Total traffic is to be re-calculated after site traffic is generated. All trip generation calculations and supporting documentation shall be included in the report appendix. Project traffic analysis shall include any roadway network improvements that will be in place by the project build-out year, or stage in development, if appropriate. Any improvements planned by others shall be identified as such and documentation describing the improvements, the entity that is to implement the improvements, and the schedule for such improvements shall be provided.

K. Roadway Network Improvements

The applicant shall be required to identify mitigation improvements to the roadway network if at least one of the following conditions exist when comparing base network conditions to project conditions:

- The total average delay at an intersection or individual approach increases by 25% or greater;
- The Level of Service (LOS) degrades by at least one level;
- Or the Level of Service (LOS) is an “F.”

For turning lanes, mitigation improvements shall be identified when the analysis indicates that the 95th percentile queue exceeds the storage capacity of the existing lane. The District Engineer will be responsible for final determination of mitigation improvements required to be constructed by the applicant.

L. Conclusions/Recommendations

This section of the TIA shall summarize the findings of the analysis, identify all potential intersections or roadway segments that will be at an unacceptable level of service as identified in Section K, and shall identify all proposed improvements to mitigate potential problems. This includes a description of all the improvements that the developer shall construct (or fund) as part of the development proposal. Improvements to roadway segments and intersections not immediately adjacent to the project site may be required if significant traffic impacts are identified.

M. Supporting Information

The applicant shall provide all supporting information to the District Engineer and the Town. This information may include but is not limited to the following:

- traffic volumes;
- analysis reports;
- signal warrant analysis;
- documentation of approved developments or proposed roadway improvements by others;
- and analysis data and output.

In lieu of printed pages, electronic copies of supporting data may be submitted. The submitted information may include data from traffic analysis, traffic volume, or signal warrant analysis software packages. If submitted, both input data and output reports shall be included. Data files should be named to facilitate identification of the contents.

All plans may be submitted electronically, with the exception that a copy of the proposed site plan must be printed and included with the application. If so provided, the plans must be in a format approved by the District Engineer and the Town.

N. Final Submittal information

Once the TIA is approved by NCDOT and the Town, one (1) electronic copy of the entire TIA and one (1) paper copy of the TIA shall be submitted to the Town Planning and Zoning Department for the project file.

O. Validity of TIA

Residential Projects

- A TIA shall be valid for a period of two years from the date of the preliminary plat approval by the Planning and Zoning Commission.

Commercial Projects

- In the case of commercial projects, if a preliminary plat is required for the project, the TIA shall be valid for a period of two years from the date of the preliminary plat approval by the Planning and Zoning Commission.
- In the event a preliminary plat is not required for the project and the project is subject to site plan review only, then the TIA shall be valid for a period of one year from the date of site plan approval by the Town Planning and Zoning Department.

Mixed Use Projects

- Where Mixed Use projects are proposed, the TIA shall be valid for a period of two years from the date of preliminary plat approval by the Planning and Zoning Commission or one year site plan approval by the Town, whichever occurs first.

7.16-3 Improvements Required (Projects Not Requiring TIA)

If a project does not require a Traffic Impact Analysis to be performed, the developer/project owner is not exempt from completing improvements to mitigate the impact of the proposed project. For the project to take place, highway infrastructure improvements may be necessary. For example, improvements may be needed for safe and efficient traffic operations if there are high roadway and/or turning volumes of traffic, when the roadway speeds are moderate or high or where limited sight distance exists.

A. Infrastructure Improvements Defined

Highway infrastructure improvements include, but are not limited to:

- additional through lanes
- acceleration lanes
- turn lanes and tapers for left and right turns associated with a driveway connection
- Signal improvements.

As set forth in G.S. 136-18(29), the final determination for the need, extent, location and design of turn lanes is the responsibility of the NCDOT. The NCDOT may require the applicant to provide offsite roadway improvements on public facilities in order to mitigate any negative traffic impacts created by the proposed development. Boundaries for offsite improvements, including intersections and

public roadways to be considered, will be determined by the District Engineer in cooperation with the Town.

B. Right-Of-Way Acquisition

When adequate right-of-way does not exist to provide for the required offsite improvements necessary to maximize the safety of the traveling public, the applicant shall secure the needed right-of-way. If the applicant is unsuccessful in obtaining the needed right-of-way and has demonstrated a “good-faith effort,” the NCDOT may, but shall not be required to, utilize its power of eminent domain to secure adequate right-of-way to contain the required improvements. At a minimum, a “good-faith effort” shall consist of a copy of a certified letter to all affected property owners and all responses received from those property owners. The applicant shall provide copies of the documentation sent to affected property owners and any responses received to the Town Planning and Zoning Department for the project file. In the event the ROW acquisitions services of NCDOT are required for the project, the applicant shall be required to reimburse all costs incurred by NCDOT to acquire the additional right-of-way.

C. Local Transportation Plans and Future Right-Of Way

In conjunction with the driveway request, the NCDOT and/or the Town may require the applicant to reserve or dedicate minimum right-of-way needs as identified by local government transportation plans for the state-maintained roadway along the property frontage. This may require that the driveway design and internal circulation be compatible with the future right-of-way location.

D. Left and Right Turn Lanes

Generally left and right turn lanes and tapers shall be considered when:

- In accordance with G.S. 136-18(29), the average daily traffic meets or exceeds 4,000 vehicles per day on any secondary route (the average daily traffic should include both the existing traffic plus traffic generated by the proposed development);
- Any US or NC numbered route is being accessed;
- The District Engineer determines that such treatment is necessary to avoid congestion or unsafe conditions on the state-maintained roadway; or
- A TIA identifies a need for an auxiliary lane or taper.

Left and right turn lanes shall be constructed in accordance with the “North Carolina Standards and Specifications for Roads and Structures.” On an undivided highway or a divided highway with a median width that is inadequate for a left-turn lane, it may be necessary to widen the highway in order to provide for the required turn lanes. For greater detail, see the turn lane nomograph figure in the Exhibits section of the “Policy on Street and Driveway Access to North Carolina Highways.” Should widening be required to accommodate turn lanes or tapers, the applicant shall be required to acquire the necessary ROW as stated in Section B, Right-of-Way Acquisition.

E. Channelization

The applicant may be required to protect the integrity of the highway network by providing channelization to physically prevent improper or illegal turns into and out of a driveway or street. Channelization may include medians and raised traffic islands with curbs.

F. Authority

The District Engineer has final authority on decisions regarding infrastructure improvements and shall inform the Town of any such decisions regarding infrastructure improvements.

DRAFT



**AN ORDINANCE AMENDING
THE “LANDIS DEVELOPMENT ORDINANCE”
OF THE TOWN OF LANDIS, NC**

WHEREAS, on May 10, 2021, the Town Board of Aldermen's newly adopted Landis Development Ordinance, also known as the LDO, became fully effective; and,

WHEREAS, this amendment to the Landis Development Ordinance (LDO) is intended to establish clear standards and procedures requiring a Traffic Impact Analysis (TIA) for applicable development proposals to ensure that adequate transportation infrastructure and appropriate mitigation measures are identified and installed as part of the development process; and,

WHEREAS, this amendment is consistent with the adopted Town Plan 2040, which emphasizes responsible growth management, protection of public safety, and coordination of development with available infrastructure. By requiring the evaluation and mitigation of traffic impacts associated with new development, this amendment supports the Town Plan 2040 goals related to mobility, connectivity, and sustainable land use patterns; and,

WHEREAS, this amendment is further adopted in compliance with North Carolina General Statutes (G.S.) Chapter 160D, Article 6, which authorizes local governments to regulate land development and to ensure that development is served by adequate public infrastructure.

NOW, THEREFORE BE IT ORDAINED by the Town Board of Aldermen of the Town of Landis, North Carolina, that the Landis Development Ordinance be amended as follows:

Part 1. Articles 7 is hereby amended to add the following language:

7.16 Traffic Impact Analysis (TIA)

7.16-1 General Information

The Traffic Impact Analysis (TIA) is a specialized study that evaluates the effects of a development’s traffic on the surrounding transportation infrastructure. It is an essential part of the development review process to assist developers and local government agencies in making land use decisions involving annexations, subdivisions, rezoning requests, special land uses, and other development reviews. The TIA helps identify where the development may have a significant impact on safety, traffic and transportation operations and provides a means for the developer and the government agencies to mitigate these impacts. Ultimately, the TIA can be used to evaluate if the scale of the development is appropriate for a particular site and what improvements may be necessary, on and off the site, to provide safe and efficient access and traffic flow. Mitigation measures may involve strategies other

than roadway construction or other physical improvements such as changes to traffic signal timing or phasing and transportation management strategies.

A. Applicability

1. A traffic impact analysis (TIA) shall be required for any conditional use rezoning, conditional use permit, preliminary plat, site plan or zoning compliance permit application or request estimated to produce 1,000 vehicles per day or greater and/or 100 total trips both entering and exiting the site during either the AM or PM peak hours during an average weekday based on a five day national average as defined in the Institute of Transportation Engineers (ITE) Trip Generation Manual.
2. A TIA shall be required for any development estimated to produce 1,500 vehicles per day or greater and/or 100 total trips both entering and exiting the site during either the AM or PM peak hours during an average weekday based on a five day national average as defined in the ITE Trip Generation Manual.
3. A TIA may also be required for proposed access within 1,000 feet of an interchange, in the vicinity of a high accident location, on a major arterial roadway, when involvement with an existing or proposed median crossover is necessary, when the project includes highway improvements that are in the Transportation Improvement Program, when involvement with an active roadway construction project is necessary or at the discretion of the NCDOT District Engineer.
4. A Technical Memorandum may be required based on special circumstances associated with the proposed development, if the proposed development trip generation and existing corridor volumes upon with the site access is based exceed 1500 vehicles per day.

In certain instances, the need for a TIA may be waived with submission of a Technical Memorandum when the Town of Landis (Town) and NCDOT agree a TIA is not needed. In the event a waiver is requested, the applicant must provide evidence to show that a waiver is appropriate. Waiver requests shall be handled on a case-by-case basis.

Calculating Trip Generation

The trip generation of a proposed development is the sum of the number of inbound and outbound vehicle trips that are expected for the type and size of the proposed land use. For purposes of determining the requirement to submit a TIA, no adjustments such as modal split, pass-by trips or internal capture rates will be allowed to the site traffic calculation. A TIA will vary in range and complexity depending on the type and size of the proposed development. When mutually agreed upon by the NCDOT, the applicant, and Town staff, the basic requirements for the TIA may be modified.

7.16-2 Traffic Impact Study Guidelines

A. General Information

When required by this Ordinance and/or NCDOT, a Traffic Impact Analysis (TIA) shall be used to review the potential impacts of proposed or revised developments on the State Highway System. The TIA covers safety, capacity, and access issues. When required and completed, a TIA shall be used by the Town and NCDOT to determine the required improvements to the State Highway System within the vicinity of the development to mitigate undesirable impacts of the project.

The District Engineer, working together with the Town, will determine the basic parameters of the TIA. When mutually agreed upon by the NCDOT, the applicant, and the Town in a pre-submittal conference, the basic requirements and parameters for the TIA may be modified.

The TIA shall be prepared under the direct charge of, and sealed by, a licensed North Carolina Professional Engineer with expertise in traffic engineering. All work shall be in accordance with NCDOT approved methods and input parameters and shall be of sufficient scope and detail to allow the Town and the NCDOT to evaluate the impact of the development with regards to roadway capacity and operational and safety improvements that may be needed.

B. Format for Traffic Impact Analysis Report

In general, the report should conform to the following general outline:

1. Table of Contents
2. Introduction
 - a. Explanation of project
 - b. Area map showing development site location
 - c. Complete project site plan, with buildings identified as to proposed use
 - d. Project schedule, and stages or phases, if applicable
3. Base Conditions
 - a. Existing Roadway network in vicinity of project, including lane configurations
 - b. Availability of alternate modes of travel in study area
 - c. Existing traffic volumes for all significant and pertinent modes of travel in the study area
 - d. Existing traffic signal phasing and timing information.
 - e. Safety information
 - f. Traffic capacity analysis
4. Background Conditions
 - a. Growth in traffic volumes to full build-out year, or stages of development, if appropriate
 - b. Traffic volume generated by other approved developments in area, if applicable
 - c. Transportation improvement projects (State, local or private) in project study area
 - d. Background traffic volumes (base + growth + approved developments)

- e. Traffic capacity analysis
- 5. Project Conditions
 - a. Traffic generated by proposed development (site traffic) at build-out, or stages of developments, if appropriate
 - b. Project traffic volumes (background + project)
 - c. Project traffic analysis
 - d. Impact to alternate modes of travel
 - e. Proposed roadway network improvements
 - f. Project traffic analysis with proposed roadway improvements
- 6. Conclusions/Recommendations
- 7. Appendix
 - a. All work sheets, traffic counts and other pertinent documents

C. Base Roadway Network

All roadways in the vicinity of the development shall be included as part of the TIA. Analysis of intersections or roadway segments not immediately adjacent to the development may be required by the District Engineer or the Town if significant site traffic could be expected to impact the intersection or roadway segment. If intersections impacted by the development are within a coordinated traffic signal system, then the entire traffic signal system shall be analyzed. However, if the traffic signal system is large, a sub-section of the system may be analyzed if approved by the District Engineer and agreed upon by the Town.

D. Safety Information

The initial submittal may be required to include recent crash experience in the study area. Where proposed access points are in the vicinity of high crash locations or where safety may be impacted, additional safety studies may be required as part of the Traffic Impact Analysis.

E. Traffic Volumes

Traffic turning movement counts shall be taken at each existing intersection in the project area. Existing traffic counts may be used if taken within twelve months of the TIA submittal. At some intersections, counts older than one year may be used if adjusted to current year. The use of these older counts will be evaluated on a case-by-case basis by the NCDOT and the Town and shall be approved by the District Engineer or his or her agent.

In general, AM and PM peak hour counts should be used. Other peak hour period counts, such as lunch and weekend periods, may be required if appropriate for the development. Counts shall not be taken on a holiday unless specifically needed for the particular analysis. The effects of school, seasonal variation and special event traffic shall be noted when appropriate.

F. Traffic Capacity Analysis

All capacity analysis shall be performed using methodology and software based on the Highway Capacity Manual procedures or as approved by the NCDOT District Engineer. All software shall be the latest version available unless otherwise

approved by the District Engineer. If signalized intersections impacted by the project are within a coordinated traffic signal system or may be included in a system because of changes to the network by the applicant, then they shall be analyzed as a system rather than as isolated intersections. Where available and appropriate, existing timing information shall be used. All analyses shall include level of service determination for the entire network and individual intersections and roadway segments, as appropriate. Intersection analyses shall include level of service determinations for all approaches and movements. Intersection analyses shall include queue analysis.

G. Growth-to-Background Traffic Volumes

Growth-to-background traffic volumes are factors of increases in annual traffic volumes generated outside the project area. These factors shall be applied to the existing traffic before adding any approved developments in the area. As deemed appropriate, the volume shall be compounded to the proposed build-out years or completion of development stages. In general, these factors will be determined from local or statewide data.

H. Approved Development Traffic

Approved development traffic is defined as traffic generated by all developments approved by local jurisdictions or submitted to local jurisdictions for approval within the development vicinity at the time of the TIA submittal.

I. Background Analysis

Background (no build) analysis shall include existing traffic, traffic signal phasing and timing, background growth, and all approved developments. The analysis shall take into consideration any improvements to the roadway network that will be in place by the build-out year, or staged build-out in development, as appropriate. An analysis shall be performed for each staged build-out year as necessary. This analysis shall be performed for the proposed build-out year of the development or other year as identified by the Town or NCDOT and approved by the District Engineer.

J. Project Conditions

Site traffic is the traffic that will be generated by the proposed development. Trip generation rates shall be based on trip generation methodology in the latest version of the "Trip Generation Manual" by the ITE. When approved by the District Engineer, available local information may be substituted with appropriate documentation. The District Engineer may coordinate the analysis of the site trip generation with the Division Traffic Engineer. Trip generation reduction factors, such as pass-by traffic and internal capture, shall be justified. Total traffic is to be re-calculated after site traffic is generated. All trip generation calculations and supporting documentation shall be included in the report appendix. Project traffic analysis shall include any roadway network improvements that will be in place by the project build-out year, or stage in development, if appropriate. Any improvements planned by others shall be identified as such and documentation

describing the improvements, the entity that is to implement the improvements, and the schedule for such improvements shall be provided.

K. Roadway Network Improvements

The applicant shall be required to identify mitigation improvements to the roadway network if at least one of the following conditions exist when comparing base network conditions to project conditions:

- The total average delay at an intersection or individual approach increases by 25% or greater;
- The Level of Service (LOS) degrades by at least one level;
- Or the Level of Service (LOS) is an “F.”

For turning lanes, mitigation improvements shall be identified when the analysis indicates that the 95th percentile queue exceeds the storage capacity of the existing lane. The District Engineer will be responsible for final determination of mitigation improvements required to be constructed by the applicant.

L. Conclusions/Recommendations

This section of the TIA shall summarize the findings of the analysis, identify all potential intersections or roadway segments that will be at an unacceptable level of service as identified in Section K, and shall identify all proposed improvements to mitigate potential problems. This includes a description of all the improvements that the developer shall construct (or fund) as part of the development proposal. Improvements to roadway segments and intersections not immediately adjacent to the project site may be required if significant traffic impacts are identified.

M. Supporting Information

The applicant shall provide all supporting information to the District Engineer and the Town. This information may include but is not limited to the following:

- traffic volumes;
- analysis reports;
- signal warrant analysis;
- documentation of approved developments or proposed roadway improvements by others;
- and analysis data and output.

In lieu of printed pages, electronic copies of supporting data may be submitted. The submitted information may include data from traffic analysis, traffic volume, or signal warrant analysis software packages. If submitted, both input data and output reports shall be included. Data files should be named to facilitate identification of the contents.

All plans may be submitted electronically, with the exception that a copy of the proposed site plan must be printed and included with the application. If so provided, the plans must be in a format approved by the District Engineer and the Town.

N. Final Submittal information

Once the TIA is approved by NCDOT and the Town, one (1) electronic copy of the entire TIA and one (1) paper copy of the TIA shall be submitted to the Town Planning and Zoning Department for the project file.

O. Validity of TIA**Residential Projects**

- A TIA shall be valid for a period of two years from the date of the preliminary plat approval by the Planning and Zoning Commission.

Commercial Projects

- In the case of commercial projects, if a preliminary plat is required for the project, the TIA shall be valid for a period of two years from the date of the preliminary plat approval by the Planning and Zoning Commission.
- In the event a preliminary plat is not required for the project and the project is subject to site plan review only, then the TIA shall be valid for a period of one year from the date of site plan approval by the Town Planning and Zoning Department.

Mixed Use Projects

- Where Mixed Use projects are proposed, the TIA shall be valid for a period of two years from the date of preliminary plat approval by the Planning and Zoning Commission or one year site plan approval by the Town, whichever occurs first.

7.16-3 Improvements Required (Projects Not Requiring TIA)

If a project does not require a Traffic Impact Analysis to be performed, the developer/project owner is not exempt from completing improvements to mitigate the impact of the proposed project. For the project to take place, highway infrastructure improvements may be necessary. For example, improvements may be needed for safe and efficient traffic operations if there are high roadway and/or turning volumes of traffic, when the roadway speeds are moderate or high or where limited sight distance exists.

A. Infrastructure Improvements Defined

Highway infrastructure improvements include, but are not limited to:

- additional through lanes
- acceleration lanes
- turn lanes and tapers for left and right turns associated with a driveway connection
- Signal improvements.

As set forth in G.S. 136-18(29), the final determination for the need, extent, location and design of turn lanes is the responsibility of the NCDOT. The NCDOT may require the applicant to provide offsite roadway improvements on public facilities in order to mitigate any negative traffic impacts created by the proposed

development. Boundaries for offsite improvements, including intersections and public roadways to be considered, will be determined by the District Engineer in cooperation with the Town.

B. Right-Of-Way Acquisition

When adequate right-of-way does not exist to provide for the required offsite improvements necessary to maximize the safety of the traveling public, the applicant shall secure the needed right-of-way. If the applicant is unsuccessful in obtaining the needed right-of-way and has demonstrated a “good-faith effort,” the NCDOT may, but shall not be required to, utilize its power of eminent domain to secure adequate right-of-way to contain the required improvements. At a minimum, a “good-faith effort” shall consist of a copy of a certified letter to all affected property owners and all responses received from those property owners. The applicant shall provide copies of the documentation sent to affected property owners and any responses received to the Town Planning and Zoning Department for the project file. In the event the ROW acquisitions services of NCDOT are required for the project, the applicant shall be required to reimburse all costs incurred by NCDOT to acquire the additional right-of-way.

C. Local Transportation Plans and Future Right-Of Way

In conjunction with the driveway request, the NCDOT and/or the Town may require the applicant to reserve or dedicate minimum right-of-way needs as identified by local government transportation plans for the state-maintained roadway along the property frontage. This may require that the driveway design and internal circulation be compatible with the future right-of-way location.

D. Left and Right Turn Lanes

Generally left and right turn lanes and tapers shall be considered when:

- In accordance with G.S. 136-18(29), the average daily traffic meets or exceeds 4,000 vehicles per day on any secondary route (the average daily traffic should include both the existing traffic plus traffic generated by the proposed development);
- Any US or NC numbered route is being accessed;
- The District Engineer determines that such treatment is necessary to avoid congestion or unsafe conditions on the state-maintained roadway; or
- A TIA identifies a need for an auxiliary lane or taper.

Left and right turn lanes shall be constructed in accordance with the “North Carolina Standards and Specifications for Roads and Structures.” On an undivided highway or a divided highway with a median width that is inadequate for a left-turn lane, it may be necessary to widen the highway in order to provide for the required turn lanes. For greater detail, see the turn lane nomograph figure in the Exhibits section of the “Policy on Street and Driveway Access to North Carolina Highways.” Should widening be required to accommodate turn lanes or tapers, the applicant shall be required to acquire the necessary ROW as stated in Section B, Right-of-Way Acquisition.

E. Channelization

The applicant may be required to protect the integrity of the highway network by providing channelization to physically prevent improper or illegal turns into and out of a driveway or street. Channelization may include medians and raised traffic islands with curbs.

F. Authority

The District Engineer has final authority on decisions regarding infrastructure improvements and shall inform the Town of any such decisions regarding infrastructure improvements.

Part 2. This Ordinance shall be effective immediately upon adoption.

ADOPTED on this the 12th day of January 2026.

s/
_____ **Meredith Bare Smith, Mayor**

s/
_____ **Madison Stegall, Town Clerk**



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Michael D. Ambrose, Town Manager

ITEM TYPE: Oath of Office

AGENDA SECTION: Presentations

SUBJECT: Swearing in of Finance Director Gitza Ocasio Perez

DETAILS:



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Madison Stegall, HR Director/Town Clerk

ITEM TYPE: Oath of Office

AGENDA SECTION: Presentations

SUBJECT: Swearing in of Deputy Town Clerk Jessica McPherson

DETAILS:



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Michael D. Ambrose, Town Manager

ITEM TYPE: Sewer AIA Project Presentation

AGENDA SECTION: Presentations

SUBJECT: **Consider Presentation of Sewer AIA Project Closeout (Project 25-03)**

DETAILS:

Town of Landis

Asset Assessment and Evaluation

Sanitary Sewer System

FUNDED BY THE NORTH CAROLINA DIVISION OF WATER INFRASTRUCTURE
STATE AIA PROJECT NO. AIA-W-ARP-0200



Presented By:
Municipal Engineering , Inc.
January 12, 2026



AIA Program Overview

Asset & Inventory Assessment (AIA) Grant Program

- ▶ The Asset Inventory and Assessment (AIA) grant program was established to encourage municipalities to become viable and proactive in the management of their water and wastewater systems. The grants provide funding for developing water and wastewater asset inventories, condition assessments of critical assets and other components of a comprehensive asset management program. The program is administered by the North Carolina Department of Environmental Quality, Division of Water Infrastructure.
- ▶ In March 2023, the Town of Landis was approved by the State Water Infrastructure Authority (SWIA) to receive grant funding from the American Recovery Plan Act (ARPA) and the State Reserve Program (SRP) for a wastewater system AIA grant in the amount of \$400,000. As stated in the Town's AIA application and preliminary project scope, the grant funds were used to conduct a condition assessment of select segments of the gravity sewer system, assess six (6) of the town's wastewater lift stations, update the town's Water and Sewer Systems Asset Management Plan (AMP), and assist the town in updating and identifying potential projects for the 10-year Capital Improvements Plan (CIP).

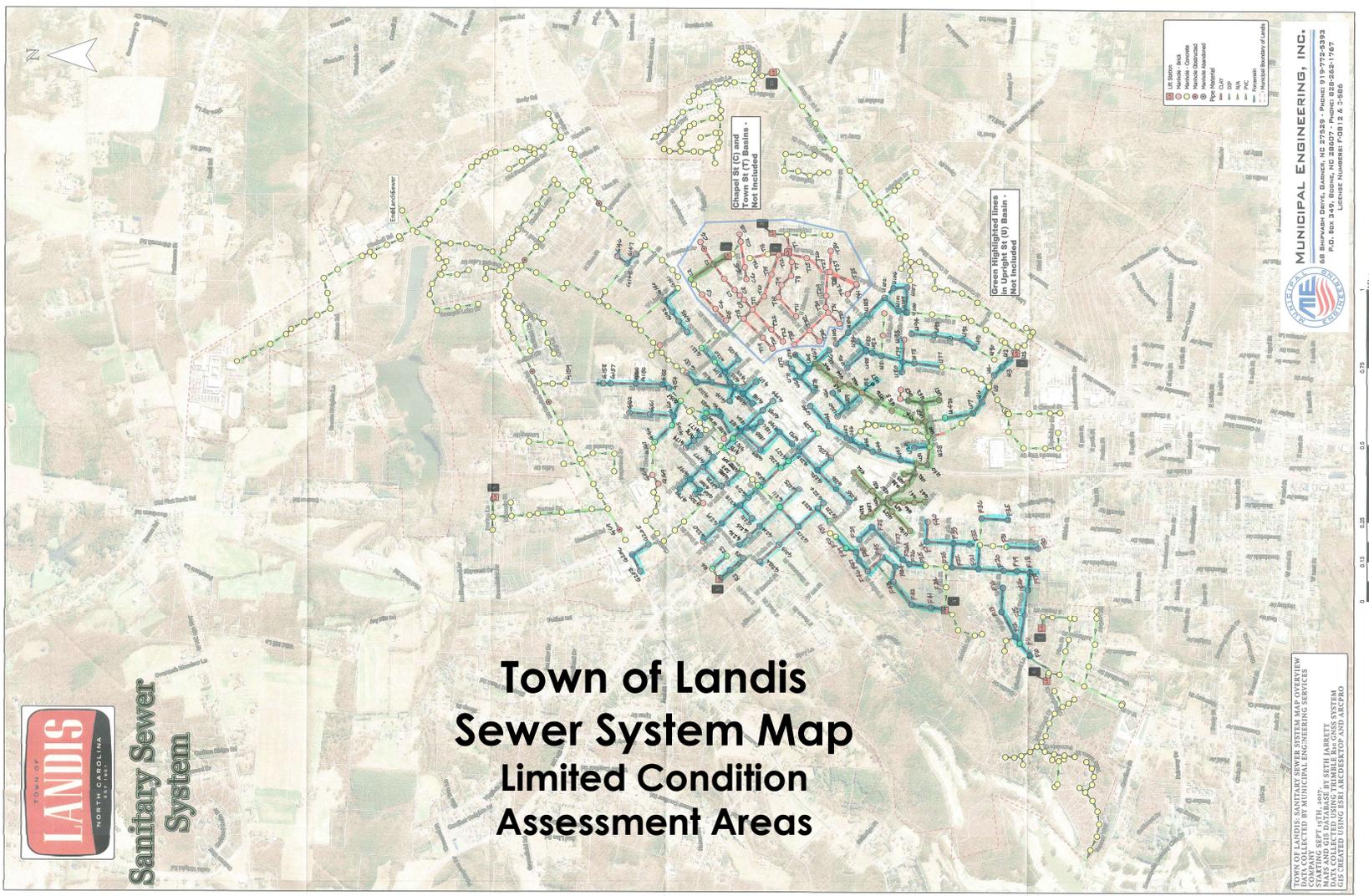
Wastewater System AIA

Summary of Work

- Sanitary Sewer Limited Condition Assessment

Sanitary Sewer Limited Condition Assessment

- ▶ As part of the AIA project, a limited condition assessment of select segments of the gravity sewer system was performed. The assessment areas were selected by town personnel and deemed the most critical areas in town based on pipe materials, age, and current condition.
- ▶ The assessment consisted of closed-circuit television (CCTV) inspection of the collector sewers, a level 2 aboveground inspection of the manholes and smoke testing of the collector lines. A total of 44,417 feet of sewer pipe was CCTV inspected and 46,257 feet of sewer was smoke tested. In addition, a Level II aboveground visual inspection of 117 manholes was performed. The pipes and manholes were inspected and graded using protocols and standards established by the National Association of Sewer Service Companies (NASSCO) Pipeline Assessment Certification Program (PACP) and the Manhole Assessment Certification Program (MACP).
- ▶ Most of the sewers inspected were constructed of terra cotta clay pipe and were in fair to poor condition. Numerous pipe defects such as cracks, fractures, holes, offset joints, roots, pipe sags, and utility incursions were noted throughout the survey area. Similarly, many of the manholes inspected were found to be in poor condition. Most were constructed of brick or masonry block. Nearly 85% of the sewers inspected were in need of replacement at an estimated construction cost of \$15.7M (based on 2025 costs).



Sanitary Sewer System

Town of Landis Sewer System Map

Limited Condition Assessment Areas

TOWN OF LANDIS SANITARY SEWER SYSTEM LIMITED CONDITION ASSESSMENT DATA COLLECTED BY MUNICIPAL ENGINEERING SERVICES STARTING SEPT 14TH, 2017. MAP AND GIS DATABASE BY SETH LABRETT SYSTEM FILED IN THE TOWN OF LANDIS GIS CREATED USING ESRI ARCADESCRIPT AND ARCPRO

MUNICIPAL ENGINEERING, INC.
 600 Boulevard Drive, Blawie, NC 27820 Phone: 819-275-5393
 P.O. Box 2459, Blawie, NC 27807 Phone: 828-262-1767
 License Number: F0312 A-5-486



CCTV Inspection

Condition Assessment – Typical Pipe Defects Encountered

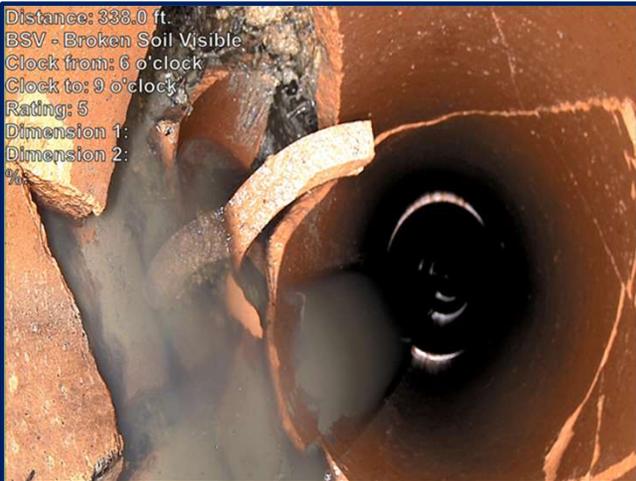
Roots in Pipe (W. 5th St.)



Utility Cable Intrusion (W. Rice St.)



Broken Tap/Pipe (S. Zion St.)



Level II Manhole Inspection

Condition Assessment – Typical Manholes Encountered

Sever Root Intrusion (S. Zion St.)



Soil/Mud Infiltration (N. Zion St.)



Precast Manhole (for comparison)



Smoke Testing

Approx 46,257 feet of sewer was smoke tested revealing numerous missing cleanout caps and other defects that can be large sources of inflow into the sewer collection system. ***Interesting fact: A single missing clean-out cap can lead to 800 gallons of stormwater entering the sanitary sewers during a 1-inch rain event.***

Missing Clean-out Cap (S. Zion St.)



Missing Clean-Out Cap (closeup)



Missing Clean-out cap



Lift Station Assessment

Part of the Sewer AIA project involved inspecting and assessing six of the town's ten wastewater lift stations. The six stations inspected ranged from 35 years old to over 40 years old and were visually inspected for general condition, operational issues, location and accessibility, O&M personnel safety, property ownership and easement issues, site conditions and security. A copy of the Lift Station assessment report is included in the project deliverables.

The six lift stations inspected and assessed were:

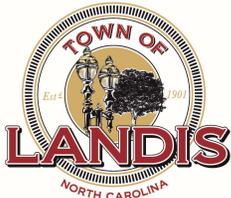
- ▶ LS No. 5 – W. Rice Street
- ▶ LS No. 6 – W. Fifth Street
- ▶ LS No. 7 – Poplar Street
- ▶ LS No. 8 – Daybrook Drive
- ▶ LS No. 9 – Partee Lane
- ▶ LS No. 10 – US Hwy 29 South

Note 1 - Field testing of mechanical and electrical components was not part of the scope of services, however, mechanical and electrical components were assumed to be in relative physical and operational condition as other station components.

Note 2 - Lift Station Nos. 1 thru 4 were not part of the assessment since Nos. 1 and 2 were replaced in 2015 and Nos. 3 and 4 were replaced in 2022 and all four were in excellent physical and operational condition.



**Town of Landis
Wastewater
Lift Station
Assessment
(Representative Photos)**



Asset Management Plan Update & 10-Year Capital Improvements Plan

In addition to the inspection and assessment of sewer pipes, the project also included revisions and updates to the town's Water and Sewer System Asset Management Plan and 10-Year Capital Improvements Plan.

The Water and Sewer System Asset Management Plan, originally adopted in March 2021, was revised and updated to reflect system improvements completed since 2021, such as the Chapel St. and Fourth St. Lift Station replacements, the S. Upright St. pump station upgrade and sewer rehabilitation, and the new 100,000-gallon elevated tank currently under construction. The plan was also updated to include the names, positions, and contact information of all current management, financial, and operations/maintenance personnel.

As an integral part of the asset management plan, the town's 10-Year Capital Improvements Plan (2025 – 2035) was also updated to reflect the town's current vision for the next 10 years in regards to needed improvement projects to the water and sewer systems.

Water and Sewer System

Asset Management Plan

10-Year Capital Improvement Plan

Presented to the Landis Board of Aldermen, January 12, 2026
Updated November 2025



Municipal Engineering, Inc.
68 Shipwash Drive, Garner, NC 27529

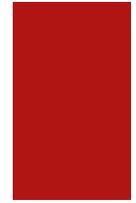


Table 6-1. Water Distribution System 10-Year Capital Improvement Plan (Revised November 2025)

Capital Improvement Project	Estimated Total Project Cost	FY 2025-2026	FY 2026-2027	FY 2027-2028	FY 2028-2029	FY 2029-2030	Fiscal Years 2025/26 - 2029-2030	Fiscal Years 2030/31 - 2034/35
Main St./Mt. Moriah Rd. Water Line Replacement	\$ 2,700,000	\$ 2,700,000					\$ 2,700,000	\$ -
150K Gallon Elevated Water Tank	\$ 1,200,000	\$ 1,200,000					\$ 1,200,000	\$ -
12-inch Water Interconnect w/Kannapolis	\$ 1,000,000					\$ 1,000,000	\$ 1,000,000	\$ -
Patterson Rd. - Flat Rock Rd. Loop Water Line	\$ 3,000,000			\$ 3,000,000			\$ 3,000,000	\$ -
Dial St. - Church Rd. Elevated Tank	\$ 3,500,000		\$ 3,500,000				\$ 3,500,000	\$ -
5th St. Elevated Tank	\$ 3,500,000				\$ 3,500,000		\$ 3,500,000	\$ -
US 29 Main to the Fall Out	\$ 6,500,000					\$ 6,500,000	\$ 6,500,000	\$ -
TOTAL	\$ 21,400,000	\$ 3,900,000	\$ 3,500,000	\$ 3,000,000	\$ 3,500,000	\$ 7,500,000	\$ 21,400,000	\$ -

Table 6-2. Sanitary Sewer Collection System 10-Year Capital Improvement Plan (Revised November 2025)

Capital Improvement Project	Estimated Total Project Costs	FY 2025-2026	FY 2026-2027	FY 2027-2028	FY 2028-2029	FY 2029-2030	Fiscal Years 2025/26 - 2029-2030	Fiscal Years 2030/31 - 2034/35
S. Upright St. Basin Sanitary Sewer Rehab	\$ 2,400,000	\$ 2,400,000					\$ 2,400,000	\$ -
S. Upright St. Basin Sanitary Sewer Rehab Ph. II	\$ 2,550,000		\$ 2,550,000				\$ 2,550,000	\$ -
S. Upright St. Basin Sanitary Sewer Rehab Ph. III	\$ 2,700,000				\$ 1,200,000		\$ 1,200,000	\$ 1,500,000
Rice St. Basin Sanitary Sewer Rehab	\$ 200,000		\$ 200,000				\$ 200,000	\$ -
4th St. Basin Sanitary Sewer Rehab Ph. I	\$ 2,200,000			\$ 2,200,000			\$ 2,200,000	\$ -
4th St. Basin Sanitary Sewer Rehab Ph. II	\$ 2,500,000					\$ 2,500,000	\$ 2,500,000	\$ -
West Side Gravity Basin Sewer Rehab Ph. I	\$ 4,250,000				\$ 2,125,000		\$ 2,125,000	\$ 2,125,000
West Side Gravity Basin Sewer Rehab Ph. II	\$ 4,500,000						\$ -	\$ 4,500,000
Lift Station No. 5 (Rice St.) Rehab/	\$ 750,000			\$ 750,000			\$ 750,000	\$ -
Lift Station No. 6 and 7 Elimination	\$ 1,000,000					\$ 1,000,000	\$ 1,000,000	\$ -
Lift Station No. 8 (Daybrook Dr.) Rehab	\$ 500,000						\$ -	\$ 500,000
Lift Station No. 9 (Partee Ln.) Rehab	\$ 500,000						\$ -	\$ 500,000
Lift Station No. 10 (US 29) Replace/Force Main Upgrade	\$ 1,500,000						\$ -	\$ 1,500,000
TOTAL	\$ 25,550,000	\$ 2,400,000	\$ 2,750,000	\$ 2,950,000	\$ 3,325,000	\$ 3,500,000	\$ 14,925,000	\$ 10,625,000

Notes:

- The Water and Wastewater System Capital Improvements Plan includes capital projects to replace, rehabilitate or upgrade capital infrastructure/equipment that has been categorized as Poor or Very Poor and have an estimated replacement, rehabilitation or upgrade date within the next 10 years.
- The estimated total project cost is distributed over the life of the project (up to 20 years) and includes project costs (excluding debt service) covered by grants, loans, and the Town of Landis. Costs associated with a project may be distributed in fiscal years after FY 2034/35, and that distribution is not presented in this table.

Asset Inventory and Assessment Budget – Sewer System

Description – Sewer System AIA	Costs
Project Management	\$ 15,000
CCTV Inspection, Level II Manhole Inspection, Smoke Testing	300,000
Lift Station Condition Assessment	30,000
Asset Management Plan Update	20,000
CIP Project Development/Updates	20,000
Grant Administration	15,000
TOTAL SEWER SYSTEM AIA PROJECT COSTS	\$ 400,000

Project Deliverables

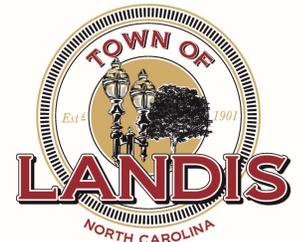
- ▶ One (1) copy of the Sewer Condition Assessment performed by Compliance Environmental Services (CES) including inspection reports, PACP/MACP database with CCTV inspection media, summaries and reference data, on USB thumb drive.
- ▶ One (1) copy of the Lift Station Assessment report, on USB Thumb Drive
- ▶ One (1) copy in PDF Format of the updated Water and Sewer Asset Management Plan (w/ 10-Year CIP), on USB thumb drive.
- ▶ One (1) copy of the Engineer's Executive Summary of the project's goals and accomplishments, in PDF format, on USB thumb drive.

Summary

- ▶ With the information gathered through the recent limited condition assessment of the town's collector sewers and the lift stations, and updates to the Asset Management Plan and CIP, the Town of Landis has additional knowledge, guidance and planning tools necessary to continue proactively managing the sanitary sewer collection system
- ▶ Utilizing this new information will allow the town to identify and prioritize critical infrastructure projects, determine the timing of those projects, and investigate potential methods for funding projects through planned rate increases and/or state and federal funding programs.



QUESTIONS?





**A RESOLUTION CONFIRMING THE COMPLETION OF THE
SANITARY SEWER
ASSET ASSESSMENT AND EVALUATION GRANT
STATE PROJECT NO. AIA-W-ARPA-0200**

- WHEREAS,** The Federal Clean Water Act Amendments of 1987 and the North Carolina Water Infrastructure Act of 2005 (NCGS 159G) have authorized the making of loans and grants to aid eligible units of government in financing the cost of construction and planning of improvements of wastewater and drinking water systems; and,
- WHEREAS,** The North Carolina Division of Water Infrastructure (NCDWI) administers the Asset Inventory and Assessment Grant (AIA) program in North Carolina; and,
- WHEREAS,** The Town of Landis has been awarded ARPA funding in the amount of \$400,000 to complete a limited asset assessment and evaluation of the wastewater system described as the Landis Sanitary Sewer Asset Assessment and Evaluation; and,
- WHEREAS,** The ARPA-Study Grant will be one hundred percent of eligible project costs up to a maximum of \$400,000; and,
- WHEREAS,** Municipal Engineering, Inc., was awarded the contract with the Town of Landis to perform the work and complete the deliverables outlined in the Asset Assessment and Evaluation Grant; and,
- WHEREAS,** The project has been completed and all project tasks have been completed and all project deliverables have been provided to the Town.

NOW, THEREFORE BE IT RESOLVED by the Town of Landis Board of Alderman of the Town of Landis, North Carolina, that the Town of Landis confirms completion and acceptance of the work performed as outlined in the Asset Assessment and Evaluation Grant PowerPoint Presentation and Executive Summary.

Adopted this 12th day of January 12, 2026.

Meredith Bare Smith, Mayor

ATTEST:

Madison Stegall, Town Clerk



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: October 20, 2025
SUBMITTED BY: Madison Stegall, Town Clerk/HR Director
ITEM TYPE: Consideration
AGENDA SECTION: Considerations
SUBJECT: **Consider Discussion of Setting a Date and Time for Elected Officials Ethics Training**

DETAILS:

During the September Board of Aldermen meeting, the Board approved participation in the On-Demand Ethics Training Course offered by the UNC School of Government. Consider discussion of setting a date for completion of this required Ethics for Elected Officials Training.

Requested Action: Motion to Approve a Date and Time for Elected Officials Ethics Training utilizing the On-Demand Ethics Training Course offered by the UNC School of Government.

January 12, 2026:

Requested Action: Motion to Approve Elected Officials Ethics Training Utilitizing the On-Demand Ethics Training Course Offered by the UNC School of Gocernment on _____ date at _____ time.



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Madison Stegall, Town Clerk

ITEM TYPE: Planning Board Reappointments

AGENDA SECTION: Considerations

SUBJECT: **Consider Approval to Reappoint Scott Faw to Full Member Planning Board Member Position, and Beryl Alston to Alternate Planning Board Member Position**

DETAILS:



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Michael D. Ambrose, Town Manager

ITEM TYPE: Considerations

AGENDA SECTION: Considerations

SUBJECT: **Consider Approval to Allow Jade Bittle to Move to Alternate, and Post for Full Member to Replace Her Appointment**

DETAILS:

On December 16, 2025, at the Planning Board Meeting, Member Jade Bittle requested to move to Alternate Member, effective immediately, since the position was available. This was made in the form of a motion, and was unanimously passed by the board to be recommended for the Board of Aldermen's approval. If approved, staff will post for the vacant full member position, and those applications will go before the Planning Board for recommendation at the February Planning Board meeting.



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Phil Collins, Planning, Zoning Administrator

ITEM TYPE: Consideration

AGENDA SECTION: Considerations

SUBJECT: **Consider Discussion of Engaging an Outside Consultant to Review the Landis Development Ordinance**

DETAILS:

At the December 2025 Planning Board Meeting, a statement was made that the Planning Board Members review the Landis Development Ordinance for any revisions or changes that need to be made. During the discussion, a motion was made to have an outside firm review the Landis Development Ordinance since it has been four years since it had been done. The Planning Board unanimously recommended the governing board move forward with this action to have the LDO reviewed for corrections, and adjustments.



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Gitza Ocasio Perez, Finance Director

ITEM TYPE: Consideration

AGENDA SECTION: Consent

SUBJECT: **Consider Approval of Budget Amendment #14 to Accept Funding from North Carolina for FY26 Powell Bill**

DETAILS:

Town of Landis, NC
Budget Amendment #14
Monday, January 12, 2026

Account Number		Current Amount	Increase	Decrease	Adjusted Budget
70-7000-4999	Equity Approp - FB or RE	476,430	142,618	-	619,048
70-7000-5270	Powell Bill Expenses	664,430	142,618	-	807,048
			285,236	-	

To Receive Powell Bill Grant Funding

Was presented to the Board of Aldermen and approved on: _____ Date: _____

Prepared by: _____ Date: _____

Reviewed by: _____ Date: _____



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12, 2026

SUBMITTED BY: Michael D. Ambrose, Town Manager

ITEM TYPE: Consideration

AGENDA SECTION: Considerations

SUBJECT: **Consider Motion to Enter Closed Session Pursuant to N.C.G.S.143-318.11(a)(3) to Consult with Town Attorney**

DETAILS:



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: January 12, 2026
SUBMITTED BY: Staff
ITEM TYPE: Report
AGENDA SECTION: Reports
SUBJECT: **Monthly Departmental Reports**

DETAILS:

Reports in Order:

- Code Enforcement Report
- Fire Report
- Parks and Recreation Report
- Planning and Zoning Reports
- Police Report
- Public Works
- Monthly Fleet Report



Code Enforcement Report

01/01/2023 - 12/23/2025

Work Order #	Work Date	Work Type	Location of Issue	Business Name	Request Type	Notes/Comments	Work Date Closed
4022	12/17/2025	Code Enforcement - Other	2410 S US HWY 29	N/A	2. Citizen	DEBRIS AND JUNK AROUND THE PROPERTY NOTICE OF VIOLATION IS BEING PREPARED	
4020	12/17/2025	Code Enforcement - Other	510 EAST RYDER AVE	N/A	1. Internal	TRASH, JUNK, DEBRIS AND OPEN STORAGE ON THE PORCH AND TO THE RIGHT SIDE OF THE STRUCTURE. NOTICE OF HEARING PREPARED.	
4019	12/17/2025	Code Enforcement - Other	508 EAST RYDER AVE	N/A	1. Internal	TRASH, JUNK, DEBRIS AND OPEN STORAGE ON THE PORCH AND TO THE RIGHT AND LEFT SIDE OF THE STRUCTURE. NOTICE OF HEARING PREPARED.	
4018	12/17/2025	Code Enforcement - Other	507 EAST RYDER AVE	N/A	1. Internal	TRASH, JUNK, DEBRIS AND OPEN STORAGE ON THE PORCH. NOTICE OF HEARING PREPARED.	
4017	12/17/2025	Code Enforcement - Other	103 SOUTH MERIAH ST	N/A	1. Internal	TRASH, JUNK, DEBRIS AND OPEN STORAGE ON BACK PORCH AND TO THE LEFT SIDE OF STRUCTURE. NOTICE OF HEARING PREPARED.	
4016	12/17/2025	Code Enforcement - Other	107 NORTH MERIAH ST	N/A	2. Citizen	TRASH, JUNK, DEBRIS AND OPEN STORAGE ALL OVER THE PROPERTTY. NOTICE OF HEARING PREPARED.	

3869	11/26/2025	Code Enforcement - Other	320 BUFORD DR	N/A	1. Internal	JUNK PROPERTY STORED BESIDE OF HOUSE. NOTICE OF HEARING SCHEDULED FOR 1/14/26.	
3866	11/26/2025	Code Enforcement - Other	411 W MILL ST	N/A	1. Internal	MINIMUM HOUSING COMPLAINT. SIDING IS DETERIORATED/MISSING. SECONDARY STRUCTURE APPEARS TO BE UNSECURED AND FALLING IN ON ITSELF. JUNK VEHICLE ON PROPERTY. TRASH, DEBRIS, JUNK AND OPEN STORAGE ON PORCH. NOTICE OF VIOLATION PREPARED.	
3591	10/27/2025	Code Enforcement - Other	513 SOUTH VALLEY ST	N/A	1. Internal	HIGH GRASS, JUNK VEHICLES, JUNK PROPERTY ON FRONT PORCH. NEEDS FINDING OF FACT BEING PREPARED	
2690	7/29/2025	Minimum Housing Code Violation	402 E RYDER AVE	N/A	2. Citizen	MORE PROGRESS HAS BEEN MADE.	
1800	5/16/2025	Junk Vehicles	104 W ROUND ST	N/A	2. Citizen	PROGRESS CONTINUES TO BE MADE. HEARING SCHEDULED FINDING OF FACT PREPARED.	
1479	4/15/2025	Minimum Housing Code Violation	217 S BEAVER ST	N/A	2. Citizen	REINSPECTION, NO VISIBLE SIGNS OF CHANGE. SCHEDULE A NEW NOTICE OF HEARING FINDING OF FACT PREPARED.	

9	9/23/2024	Minimum Housing Code Violation	2570 N CANNON BLVD	CORNER MART	1. Internal	MORE SIDING HAS BEEN REPLACED AND PROGRESS IS BEING MADE. REIINSPECTION, MORE SIDING HAS BEEN REPLACED. REINSPECTION, NO CHANGE. REACHED OUT TO THE OWNER'S ATTORNEY. AN ORDINACE IS PREPARED TO GO BEFORE THE BOARD OF ALDERMAN IN FEBRUARY	<div data-bbox="1454 65 1670 128" style="border: 1px solid black; padding: 2px;">Section 8, Item 8.1</div>

Total Records: 13

12/23/2025



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: January 12, 2025
SUBMITTED BY: Jason Smith, Fire Chief
ITEM TYPE: Report
AGENDA SECTION: Departmental Reports
SUBJECT: **Fire Department January Monthly Report**

DETAILS:

MONTHLY STATS

MEDICAL: 50
FIRE: 26
TRAFFIC ACCIDENT: 9
MUTUAL AID GIVEN: 32
MUTUAL AID RECEIVED: 1
TOTAL CALLS: 85

VEHICLE MILAGE

ENGINE 443: 115680
ENGINE 442: 37006
ENGINE 441: 10623
LADDER 58: 23640
CAR 44: 140666
CHIEF 440: 31125



Item Cover Page

MEETING TYPE: Board of Alderman

DATE: January 12th, 2026

SUBMITTED BY: Jessica St. Martin, Parks and Recreation Director

ITEM TYPE: Report

AGENDA SECTION: Departmental Reports

SUBJECT: **December Report**

DETAILS:

Events

- Senior lunch & Bingo was held on Wednesday, December 3rd at Trinity Lutheran Church. There were 25 in attendance.
- The Campfire Christmas at the Lake was a wonderful event. Approximately 300 people attended the event. We had complimentary S'more Kits, Hot cocoa and Cider. Kids visited with Santa and Rudolph, crafted a Jingle Bell tree ornament, and played inside an inflatable Snow Globe.
- The 125 event has secured the Almost Classic Band for Friday night and the Band of Oz for Saturday night.

Event Calendar 2026

Easter Egg-Stravaganza- March 28th
 125th Celebration- May 1st & 2nd
 National Night Out – August 4th
 Touch A Truck- September 25th
 Fall Fest / Trunk or Treat- October 24th
 South Rowan Parade / Tree Lighting- November 24th
 Campfire Christmas- December 12th

Cruise In Dates: April 3rd, May 1st, June 5th, July 3rd, August 7th, September 4th
 Senior Lunch & Bingo Dates: February 4th, April 1st, June 3rd, August 5th, October 7th, December 2nd

Park Operations

- The park staff continues routine maintenance. Pruning bushes, leaf blowing trails, campsites, and picnic areas, and trash pickup along trails and lakesides.
- The park staff continues to split wood and stack the sheds for firewood.
- The park is still receiving cabin reservations.
- The new entrance gate installation is tentatively scheduled for mid-January.

Pool Operations:

- Connor Construction began the pool resurfacing project. The plaster has been chipped out and new waterline tiles and main drain covers have been installed. The project’s estimated time of completion is by January 15th.

Campsite Reservations: 5 Shelter Rentals: 0 Daily Fishing Passes Sold: 75
Annual Passes Sold: 0 NC State License: 6 Boat Registration: 1
2020 Ford Explorer Mileage: 78863
Ford F250 Mileage: 174,417





Active Permit Report

01/01/2025 - 12/26/2025

City Permit #	Permit Date	Permit Type	Site Address	Main Status	Project Name	Owner	Stage of Construction
SP-26-116	7/17/2025	Site Plan	1600 PINNACLE WAY DR	3. SITE DEVELOPMENT REVIEW	PINNACLE CORRUGATED LOT 9	PINNACLE CORRUGATED	
ZMA-26-117	9/9/2025	Zoning Map Amendment	0 W HOKE ST	1. NEW	N/A	BROWN, DAVE	
ZN-25-12	2/13/2025	Fence	1055 WOODFIELD DR	5. CONSTRUCTION ADMINISTRATION	N/A	ADNER, TAMMY	Building Construction
ZN-25-19	3/17/2025	Industrial	1400 ARMSTRONG ST	5. CONSTRUCTION ADMINISTRATION	LANDIS RIDGE - BEACON	1400 ARMSTRONG LANDIS, LLC	Building Construction
ZN-25-49	4/24/2025	Accessory Building	120 W GARDEN ST	5. CONSTRUCTION ADMINISTRATION	RACE TEAM	REAUME, JOSH	Building Construction
ZN-25-57	5/5/2025	Residential Addition	514 BLUME ST	5. CONSTRUCTION ADMINISTRATION	N/A	Garcia, Juan	Building Construction
ZN-25-58	5/15/2025	Pond	ARMSTRONG ST	5. CONSTRUCTION ADMINISTRATION	LANDIS RIDGE - POND 3	JSC-CCI LANDIS II, LLC	Building Construction
ZN-25-60	5/15/2025	Residential Addition	904 S. MAIN ST	5. CONSTRUCTION ADMINISTRATION	N/A	MORENO, RAFAEL G	Building Construction
ZN-25-69	6/5/2025	Residential	820 IRISH CREEK DR	5. CONSTRUCTION ADMINISTRATION	IRISH CREEK	NIBLOCK HOMES	Building Construction
ZN-25-70	6/3/2025	Residential	2400 CALLAGHAN CT	5. CONSTRUCTION ADMINISTRATION	IRISH CREEK	NIBLOCK HOMES	Building Construction
ZN-26-101	8/29/2025	Residential	508 PINE ST	5. CONSTRUCTION ADMINISTRATION	N/A	WISE 1 LLC	Building Construction
ZN-26-102	9/12/2025	Residential	135 S. BEAVER ST	5. CONSTRUCTION ADMINISTRATION	N/A	SHIFA 1 LLC	Clearing/Grubbing
ZN-26-103	9/12/2025	Residential	127 S. BEAVER ST	5. CONSTRUCTION ADMINISTRATION	N/A	SHIFA 1 LLC	Clearing/Grubbing
ZN-26-104	9/12/2025	Residential	125 S. BEAVER ST	5. CONSTRUCTION ADMINISTRATION	N/A	SHIFA 1 LLC	Clearing/Grubbing
ZN-26-105	9/18/2025	Sign	1205 RIDGEVIEW ST	5. CONSTRUCTION ADMINISTRATION	LANDIS RIDGE	JSC-CCI LANDIS 1 LLC	Building Construction

ZN-26-106	9/18/2025	Sign	619 OLD BEATTY FORD RD	5. CONSTRUCTION ADMINISTRATION	LANDIS RIDGE	JSC-CCI 1 LANDIS LLC	Construction
ZN-26-110	9/19/2025	Fence	1055 KIMBALL RD	5. CONSTRUCTION ADMINISTRATION	N/A	SELLERS, LYNN	Clearing/Grubbing
ZN-26-113	9/29/2025	Fence	818 GEORGIA OAK LN	5. CONSTRUCTION ADMINISTRATION	N/A	JON ROBINSON	Building Construction
ZN-26-114	9/29/2025	Accessory Building	702 W MILL ST	5. CONSTRUCTION ADMINISTRATION	N/A	HERNANDEZ, JULIAN	Building Construction
ZN-26-121	10/14/2025	Residential	325 N CHAPEL ST	5. CONSTRUCTION ADMINISTRATION	N/A	MARK PROPST	Building Construction
ZN-26-124	10/21/2025	Residential	205 E RICE ST	5. CONSTRUCTION ADMINISTRATION	N/A	RBM PROPERTY INVESTMENTS LLC	Building Construction
ZN-26-125	10/21/2025	Residential	201 E. RICE ST	5. CONSTRUCTION ADMINISTRATION	N/A	RBM PROPERTY INVESTMENTS LLC	Building Construction
ZN-26-127	10/27/2025	Residential	314 N. CENTRAL AVE	5. CONSTRUCTION ADMINISTRATION	N/A	PROPST, MARK	Building Construction
ZN-26-130	11/20/2025	Residential	209 S. CHAPEL ST	1. NEW	N/A	PRESPRO LLC	
ZN-26-131	11/20/2025	Residential	211 S. CHAPEL ST	1. NEW	N/A	PRESPRO LLC	
ZN-26-75	7/7/2025	Accessory Building	304 E TAYLOR ST	5. CONSTRUCTION ADMINISTRATION	N/A	ELZABETH, MASON	Building Construction
ZN-26-76	7/8/2025	Residential Addition	514 W. BLUME ST.	5. CONSTRUCTION ADMINISTRATION	N/A	H4F INVESTMENTS, LLC	Building Construction
ZN-26-81	7/16/2025	Accessory Building	608 S. VALLEY ST	5. CONSTRUCTION ADMINISTRATION	N/A	MERCEDEZ MELENDEZ	Building Construction
ZN-26-85	7/23/2025	Residential	839 TAMARY WAY	5. CONSTRUCTION ADMINISTRATION	IRISH CREEK PHASE I	GIBBONS, MATTHEW	Building Construction
ZN-26-86	7/28/2025	Pool	317 W. DAVIS ST	5. CONSTRUCTION ADMINISTRATION	N/A	LAMBERT, ERIC & LORI	Building Construction
ZN-26-88	8/1/2025	Residential		2. WAITING ON PAYMENT/CONTRACTOR	LANDIS MULTIFAMILY	DYNAMIC DEVELOPERS	Building Construction
ZN-26-95	8/7/2025	Residential	619 N. MAIN ST	5. CONSTRUCTION ADMINISTRATION	N/A	CASTRO PROPERTIES, LLC	Building Construction
ZN-26-96	8/19/2025	Residential	407 W. RYDER AVE	5. CONSTRUCTION ADMINISTRATION	N/A	BDM BUILDERS LLC	Building Construction
ZN-26-98	8/13/2025	Residential Addition	411 S. BEAVER ST.	2. WAITING ON PAYMENT/CONTRACTOR	N/A	OROS, ROBERT	
ZN-26-99	8/15/2025	Accessory Building	709 W. RIDGE AVE	5. CONSTRUCTION ADMINISTRATION	N/A	HUIZAR, BERNARDO	Building Construction



Permits Issued Report

11/26/2025 - 12/26/2025

City Permit #	Permit Date	Permit Type	Site Address	Main Status	Project Name	Owner	Stage of Construction
ZN-26-132	12/1/2025	Demolition	303 W. HOKE ST	6. COMPLETE	N/A	CONNER, LOUISE	Complete

Total Records: 1

12/31/2025



Department Report

MEETING TYPE: Board of Aldermen
DATE: January 12, 2025
SUBMITTED BY: Matthew J. Geelen, Police Chief
ITEM TYPE: Report
AGENDA SECTION: Departmental Report
SUBJECT: **Police Department Monthly Report**

DETAILS:

Total Calls for Service (Including Self-Initiated Calls) – 800

Self-Initiated Calls – 638

Calls for Service – 161

Traffic Stops - 74

Traffic Accidents - 8



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: January 12, 2026
SUBMITTED BY: Matthew Geelen, Interim Public Works Director
ITEM TYPE: Report
AGENDA SECTION: Department Reports
SUBJECT: **Monthly Report**

DETAILS:

PUBLIC WORKS MONTHLY REPORT

Water Resources	
Work Orders Completed	49
Start Services	17
Stop Services	3
Disconnects	1
Outages	2
Meter/MXU Change Outs	5
Sewer Lift Station Checks	6
Hydrant Routes (Water Quality Flushing)	8
Water Pump Station Checks	20
Stormwater Department	
Work Orders Completed	1
Preventative Maintenance (e.g. Ditch Cleaning, Culvert Jetting, etc.)	3
Street Department	
Work Orders Completed	61
Rowan County Dump Runs	8
Bulk Trash/Debris Routes	26

Electric Department	
Work Orders Completed	98
Start Services	33
Stop Services	6
Disconnects	2
New Temp Service	5
Street/Security Lights Install/Repair	16
Pole Repair/Replace	2
Outages:	
Environmental	0
Load Demand	8
Vehicle Collison	2
<i>Total Outages</i>	10
Reporting Made By	
Go Gov	1
Walk In	73
Phone Call	135



Monthly Fleet Report

Department	Unit Number	Year	Make	Model	Mileage	Category
Electric	14	2015	RAM	5500	117568.00	Vehicle
Electric	15	2016	FREIGHTLINER	M2	2929.00	Vehicle
Electric	16	1992	CHEVROLET	C7	23290.00	Vehicle
Electric	2	2009	FORD	F-250	169098.00	Vehicle
Electric	3	2022	FORD	F-150	55123.00	Vehicle
Electric	33	2011	FORD	F-150	180436.00	Vehicle
Electric	45	2024	FORD	F-550	6032.00	Vehicle
Electric	46	2025	FORD	F-150	143.00	Vehicle
Electric	50	2015	FREIGHTLINER	M2	5298.00	Vehicle
Electric	51	2025	CHEVROLET	Silverado	6050.00	Vehicle
Fire	43	2018	FORD	F-150	0.00	Vehicle
Fire	44	2010	DODGE	Charger	140382.00	Vehicle
Fire	440	2021	RAM	1500	30049.00	Vehicle
Fire	441	2024	Spartan	Pumper	6057.00	Vehicle
Fire	442	1986	SEAGRAVE	FIRE ENGINE	36987.00	Vehicle
Fire	443	2005	PIERCE MANUFACTURING	Arrow XT	114725.00	Vehicle
Fire	58	2006	HME	Fire Truck	30334.00	Vehicle
Fire	580	1947	LaFrance		30334.00	Vehicle
Parks and Recreation	52	2020	FORD	Explorer	71558.00	Vehicle
Parks and Recreation	61	2006	FORD	F-250	171957.00	Vehicle
Police	101	2010	DODGE	Charger	108649.00	Vehicle
Police	151	2015	DODGE	Charger	82740.00	Vehicle
Police	161	2016	FORD	Explorer	82287.00	Vehicle
Police	171	2017	DODGE	Charger	91630.00	Vehicle
Police	173	2017	FORD	Explorer	83033.00	Vehicle
Police	174	2017	FORD	Explorer	88865.00	Vehicle
Police	175	2017	FORD	Explorer	90271.00	Vehicle

Police	176	2017	FORD	Explorer	99060.00	Vehicle
Police	177	2017	FORD	Explorer	99623.00	Vehicle
Police	212	2021	RAM	1500	34533.00	Vehicle
Police	232	2023	FORD	Explorer	18060.00	Vehicle
Police	233	2024	CHEVROLET	Silverado HD	19995.00	Vehicle
Police	234	2025	FORD	Explorer	2000.00	Vehicle
Police	235	2025	FORD	Explorer	276.00	Vehicle
Police	80	2008	FORD	Crown Victoria	150265.00	Vehicle
Streets	12	2000	CHEVROLET	GMT-400	184729.00	Vehicle
Streets	18	2023	FREIGHTLINER	M2	2531.00	Vehicle
Streets	22	2000	FORD	F-750	50374.00	Vehicle
Streets	31	2016	KENWORTH	T3 Series	93297.00	Vehicle
Streets	32	2013	INTERNATIONAL	MA065	27614.00	Vehicle
Streets	42	2022	FORD	F-550	22544.00	Vehicle
Streets	6	1997	FORD	F-250	168742.00	Vehicle
Streets	7	2012	FORD	F-250	109190.00	Vehicle
Streets	9	2022	FORD	F-150	29682.00	Vehicle
Town Hall	1	2023	CHEVROLET	Silverado	65430.00	Vehicle
Town Hall	131	2013	CHEVROLET	Tahoe	107999.00	Vehicle
Water Resources	10	2019	FORD	F-250	40579.00	Vehicle
Water Resources	17	2011	FORD	F-350	88660.00	Vehicle
Water Resources	21	1996	FORD	F-800	51070.00	Vehicle
Water Resources	25	2018	FREIGHTLINER	114SD	2923.00	Vehicle
Water Resources	5	2022	FORD	F-150	32507.00	Vehicle

Total Records: 51

12/23/2025



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: January 12, 2026
SUBMITTED BY: Gitza Ocasio Perez, Finance Director
ITEM TYPE: Report
AGENDA SECTION: Reports
SUBJECT: **Monthly Financial Dashboard**

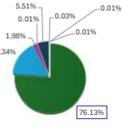
DETAILS:



December 2025 Financial Report

Operating Budget Revenues	Budgeted FY26	This Month	FY26 YTD	%
Property Tax - Current	\$2,344,149	\$56,849	\$1,889,242	81%
Tax Collection - Prior Years	\$65,000	\$1,578	\$24,258	37%
Vehicle Interest	\$1,500	\$228	\$1,355	90%
Interest and Penalties	\$10,000	\$303	\$3,888	39%
Property Tax Auto - Current	\$236,880	\$13,997	\$128,718	54%
Vehicle Tag Fee	\$71,000	\$4,220	\$35,250	50%
Building Rental Fees	\$7,200	\$1,150	\$6,355	88%
Sponsorships	\$0	\$0	\$0	0%
Interest on Investments	\$212,000	\$20,912	\$126,259	60%
Interest on Investments - Powell Bill	\$0	\$2,388	\$2,388	0%
Miscellaneous Income	\$0	\$0	\$12	0%
Police Fees & Fines	\$300	\$0	\$250	83%
First Responder	\$3,000	\$135	\$1,695	57%
Grant Received	\$21,200	\$2,720	\$62,793	296%
Excise Tax on Piped Gas	\$13,000	\$983	\$983	8%
Franchise Tax on Electric PO	\$298,943	\$95,044	\$178,846	60%
Sales Tax on Telecommunications	\$9,358	\$2,394	\$2,394	26%
Sales Tax on Video Programming	\$9,598	\$1,897	\$1,897	20%
Local Government Sales & Use Tax	\$1,493,451	\$121,275	\$721,814	48%
ABC Revenue - County	\$15,000	\$0	\$7,640	51%
Court Cost	\$300	\$54	\$554	185%
Sales Tax Refund	\$70,000	\$0	\$0	0%
Planning/Zoning Fees	\$89,000	\$505	\$29,265	33%
Code Enforcement Clean-up	\$30,000	\$0	\$2,753	9%
Garbage Collection Fees	\$360,000	\$37,702	\$168,734	47%
Resource Officer Reimburse	\$200,000	\$0	\$195,438	98%
EMS Utility Reimbursement	\$5,000	\$110	\$660	13%
ABC Profits - State	\$15,000	\$0	\$0	0%
Solid Waste Disposal Tax	\$3,100	\$0	\$0	0%
East Landis Property Tax	\$84,400	\$1,376	\$52,391	62%
St Utilities Coll County	\$0	\$0	\$0	0%
East Landis Tax - Prior Years	\$1,500	\$0	\$0	0%
East Landis Penalties and Interest	\$4,500	\$187	\$510	11%
East Landis - Motor Vehicles	\$5,248	\$834	\$4,020	77%
Debt Setoff	\$10,000	\$0	\$0	0%
Police Service Reimbursement	\$1,500	\$0	\$110	7%
Fire Service Reimbursement	\$0	\$0	\$0	0%
Insurance Proceeds	\$0	\$0	\$2,680	0%
Other Finance Sources = Other Debt	\$0	\$0	\$0	0%
Other Finance Sources = Leases	\$0	\$0	\$0	0%
Sale of Fixed & Surplus Assets	\$40,000	\$0	\$0	0%
Rowan Municipal Association	\$2,500	\$0	\$552	22%
Fund Balance Appropriated	\$265,159	\$0	\$0	0%
Administrative Service Charges	\$894,459	\$447,230	\$447,230	50%
Vendor Reimbursement - Geni	\$0	\$746	\$1,161	0%
Over/Short	\$0	\$0	\$-585	0%
Park Revenues	\$147,100	\$1,438	\$68,987	47%
Water Service	\$1,236,675	\$98,655	\$526,890	43%
East Landis Water	\$0	\$0	\$0	0%
Reconnect Fees	\$30,700	\$340	\$22,100	72%
Water Tap Access Fee	\$0	\$0	\$1,284	0%
Interest on Investments	\$44,000	\$2,887	\$14,389	33%
Miscellaneous Income	\$0	\$0	\$0	0%
Tap Fees - Water	\$32,000	\$6,952	\$38,608	121%
Grant - Water	\$2,634,042	\$63,212	\$1,363,113	52%
Planning Review Fees	\$73,000	\$0	\$0	0%
Debt Setoff	\$0	\$0	\$0	0%
Fund Balance Appropriated	\$0	\$0	\$0	0%
Sewer Service Fees	\$1,130,000	\$86,303	\$439,850	39%
Sewer Impact Fees	\$15,000	\$0	\$0	0%
Interest on Investments	\$0	\$2,887	\$14,389	0%
Tap Fees	\$51,000	\$10,252	\$21,301	0%
Planning Review Fees	\$10,000	\$0	\$0	0%
Grant Received-Sewer	\$0	\$0	\$0	0%
Fund Balance Appropriated	\$0	\$0	\$0	0%
Stormwater Fees	\$375,029	\$10,020	\$50,110	13%
Interest on Investments - Stormwater	\$3,000	\$206	\$1,017	34%
Planning/Zoning Fees	\$0	\$0	\$121,355	0%
Fund Balance Appropriated	\$20,675	\$0	\$0	0%
Other Financial Sources = Leases	\$0	\$0	\$0	0%
Electricity Fees	\$7,121,900	\$436,397	\$2,676,014	38%
Penalties - Electric	\$112,400	\$7,237	\$49,491	44%
Reconnect Fees	\$0	\$0	\$0	0%
Meter Tampering Fees	\$1,000	\$0	\$1,760	176%
Pole Attachments	\$12,000	\$0	\$9,460	79%
Interest on Investments - Electric	\$80,000	\$6,335	\$31,522	39%
Miscellaneous Income	\$0	\$0	\$0	0%
Underground Service	\$1,000	\$0	\$0	0%
Payment Return Fees	\$3,000	\$0	\$0	0%
Debt Setoff	\$3,000	\$0	\$626	21%
Sale of Surplus Assets - Electric	\$0	\$0	\$863	0%
Vendor Reimbursement	\$0	\$62,316	\$62,346	0%
Insurance Proceeds	\$13,900	\$0	\$20,763	149%
RE Appropriated - Electric	\$444,318	\$0	\$0	0%
TOTAL	\$20,487,984	\$1,606,255	\$9,528,526	47%

Bank Accounts



- Bank OZK - General Fund Checking
- NCCMT - General Fund
- NCCMT - Powell Bill Restricted
- Payroll Account
- General Fund Sweep Account
- Passive Park A/P Account
- Landis Police Foundation

Bank Balances

Bank Account	Balance	%
Bank OZK - General Fund Checking	\$1,000	0.01%
Payroll Account	\$1,000	0.01%
NCCMT - General Fund	\$10,366,778	76.13%
General Fund Sweep Account	\$2,212,268	16.34%
Passive Park Fund Savings Account	\$267,468	1.98%
Passive Park A/P Account	\$1,000	0.01%
NCCMT - Powell Bill Restricted	\$745,907	5.51%
Landis Police Foundation	\$3,522	0.03%
TOTAL	\$13,538,942	100%

Operating Budget Expenditures

	FY26 Budget	This Month	FY26 YTD	%
Administration	\$1,744,679	\$94,319.35	\$641,060.49	37%
Police Department	\$1,733,218	\$111,021.00	\$699,210.11	40%
Fire Department	\$1,267,430	\$87,433.26	\$479,751.30	38%
Streets Department	\$1,045,085	\$63,598.86	\$353,254.79	34%
Sanitation Department	\$349,500	\$24,384.71	\$120,878.77	35%
Parks and Recreation	\$756,408	\$72,151.34	\$288,906.46	38%
Electric Department	\$7,792,518	\$706,600.51	\$3,585,054.25	46%
Water Department	\$3,529,897	\$153,773.80	\$524,205.77	15%
Sewer Department	\$1,420,520	\$86,886.02	\$464,255.06	33%
Storm Water Department	\$398,704	\$14,984.48	\$65,900.89	17%
Debt Service - Municipal Loan/Copiers	\$144,025	\$836.16	\$131,296.68	91%
Debt Svc-USA Bonds/Sewer Eq/Srf Loan	\$306,000	\$0.00	\$0.00	0%
Total Expenditures	\$29,487,984	\$1,815,989	\$7,353,775	26%

Landis Police Foundation

	Balance	Allocated	Received This Month	FY26 TOTAL
Landis Police Foundation	\$3,521.98	\$0	\$0	\$77
Revenues - Sponsorships & Interest	\$0	\$0	\$0	\$77
Expenditures	\$0	\$0	\$0	\$0
Rental for National Night Out	\$0	\$0	\$0	\$2,449
Totals	\$0	\$0	\$0	\$2,449

Passive Park Fund

	Balance	Allocated	Received This Month	FY26 TOTAL
Passive Park Fund	\$267,467.68	\$0	\$287	\$1,358
Revenues - Sponsorships & Interest	\$0	\$0	\$287	\$1,358
Expenditures	\$0	\$0	\$0	\$0
To move two small historic buildings	\$0	\$15,000	\$0	\$0
Totals	\$15,000	\$0	\$0	\$0

Restitution Funds

	Balance	Allocated	Received This Month	FY26 TOTAL
Restitution Funds	\$143,261.74	\$0	\$0	\$143,262
Revenues	\$0	\$0	\$0	\$143,262
Expenditures	\$0	\$0	\$0	\$0
Totals	\$0	\$0	\$0	\$0

Powell Bill - 70 FUND

	Total Budget	Allocated	Received This Month	FY26 TOTAL
Powell Bill - 70 FUND	\$807,048	\$0	\$0	\$82,094
Revenues	\$0	\$0	\$0	\$82,094
Expenditures	\$0	\$0	\$0	\$0
ISG - Rental of Street Sweeper for Christmas Parade	\$0	\$0	\$4,725	\$5,825
Carolina Site Works - Paving Contract - FY26	\$667,474	\$0	\$0	\$0
Totals	\$667,474	\$4,725	\$4,725	\$5,825

S. Main Sewer Project - 71 FUND

	Total Budget	Allocated	Received This Month	FY26 TOTAL
S. Main Sewer Project - 71 FUND	\$2,383,131	\$0	\$0	\$626,831
Revenues	\$0	\$0	\$0	\$626,831
Expenditures	\$0	\$0	\$0	\$0
Municipal Engineering - Contract for Engineering/Observation	\$89,368	\$398,559	\$430,632	\$430,632
Locke-Lane Construction Cost - Pay App #8	\$495,923	\$110,932	\$1,292,297	\$1,292,297
Totals	\$495,291	\$309,491	\$1,722,929	\$1,722,929

Elevated Water Tank Project - 72 FUND

	Total Budget	Allocated	Received This Month	FY26 TOTAL
Elevated Water Tank Project - 72 FUND	\$1,395,621	\$0	\$0	\$527,967
Revenues	\$0	\$0	\$0	\$527,967
Expenditures	\$0	\$0	\$0	\$0
Magnetic Tank - Contract for Tank Build	\$187,192	\$31,359	\$31,359	\$31,359
Municipal Engineering - Contract for Engineering/Observation	\$0	\$139,650	\$148,650	\$148,650
Totals	\$187,192	\$171,009	\$171,009	\$171,009

Mt Moriah/N Main/Ryder Waterline Project - 73 FUND

	Total Budget	Allocated	Received This Month	FY26 TOTAL
Mt Moriah/N Main/Ryder Waterline Project - 73 FUND	\$2,142,275	\$0	\$0	\$0
Revenues	\$0	\$0	\$0	\$0
Expenditures	\$0	\$0	\$0	\$0
BRS Inc - Waterline Construction	\$1,723,119	\$0	\$0	\$0
Municipal Engineering Inc - Engineering	\$333,000	\$0	\$0	\$164,350
Construction Contingency	\$86,156	\$0	\$0	\$0
Salisbury Post - Public Communication/Procurement	\$0	\$0	\$0	\$1,170
Totals	\$2,142,275	\$0	\$0	\$165,520

Electric Substation Project - 74 FUND

	Total Budget	Allocated	Received This Month	FY26 TOTAL
Electric Substation Project - 74 FUND	\$4,101,000	\$0	\$0	\$0
Revenues	\$0	\$0	\$0	\$0
Expenditures	\$0	\$0	\$0	\$0
Draw Enterprises - Contract for Full Substation Build	\$713,465	\$0	\$0	\$0
Southeastern Consulting - Substation Design/Engineering	\$247,042	\$0	\$0	\$15,958
Substation Equipment	\$3,140,493	\$646,546	\$646,546	\$646,546
Totals	\$3,140,493	\$646,546	\$646,546	\$662,504



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: January 12, 2026
SUBMITTED BY: Gitza Ocasio Perez, Finance Director
ITEM TYPE: Director Report
AGENDA SECTION: Department Reports
SUBJECT: **Monthly Report**

DETAILS:

FINANCE CUSTOMER SERVICE MONTHLY REPORT

Finance Customer Service	
Cash Payments	416
Credit Card Payments	1287
Check Payments	1258
Bank Draft Payments	491
Disconnections	3
Customer Usage Portal	1005



Item Cover Page

MEETING TYPE: Board of Alderman
DATE: January 12, 2026
SUBMITTED BY: Michael D. Ambrose, Town Manager
ITEM TYPE: Report
AGENDA SECTION: Reports
SUBJECT: **Monthly Town Manager Report**

DETAILS:



**Town Manager Report
Month of December 2025**

We have completed the final month of the calendar year. I want to continue giving an overview as part of my manager’s report.

1. The Mayor and I did follow up with Salisbury Rowan Utility on our Wastewater Treatment Contract that expires December 2025. The new preliminary pricing we received did show a reduction in cost to the Town. This will be discussed with the Board at the January 2025 meeting.
2. Staff are pushing out communication about the Landis Community 101 Class called Landis C.A.R.E.S. (Citizen Academy & Resource Education Series), and staff are encouraging citizens to sign up, and participate in this program. This program will allow the citizens to experience and understand the tasks of each of these departments and how they mold together for the good of the citizens, and visitors, within the Town.
3. I am continually working with our engineers to ensure wastewater infrastructure needs. This has led to two projects for S Upright Lift Station Upgrade, and a force main to connect US 29 Lift Station to the outfall. Staff are exploring grant opportunities and working on solutions for both projects.
4. The paving contracts are signed and should be completed paving by March 31, 2026. The Town is working with Transystems Inspectors and Engineers to ensure the project is successful for years to come.
5. W Ryder Avenue will have some water line replacement work continuing in the area. This project will replace the waterlines on W Ryder Avenue, and N Main Street, which will strengthen the town’s water quality and pressure in this area. These lines will intersect with the new water tank that is currently under construction at the Public Works Facility. Residents will see some road closures as a part of this project, and temporary water outages. Staff are committed to ensuring the residents know of the outages as soon as possible.
6. Suncap is entering their final stages of Project Beacan at Landis Ridge. This project will be completed by the end of January 2026 and should start employing folks soon.
7. The Police Department held their annual Shop with a Cop event. This year, The Police Department partnered with the American Legion, so they have renamed the event to Shop with a Hero. This event was funded through Dominion Energy Grant Program, and we appreciate the Legion partnering with us to enhance this event.

Please stop by my office or contact me directly if you have any issues or concerns.

Thank you,
Michael D. Ambrose

Section 9, Item 9.1

2026

JANUARY

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
28 DECEMBER	29	30	31	1 Town Hall Closed in observance of New Years Holiday	2 Town Hall Closing at 3:00 PM	3
4	5	6	7	8 Board of Aldermen Work Session Meeting: 5:30PM	9	10
11	12 Board of Aldermen Regular Scheduled Meeting: 6:00PM	13	14	15	16	17
18	19 Town Hall Closed in observance of MLK JR Holiday	20 Planning Board Meeting: 6:00PM	21	22	23	24
25	26 DCFL Park Committee Meeting: 6:00PM	27	28	29	30	31
1 FEBRUARY	2	3	4	5	6	7

NOTE

TOWN OF LANDIS
Be a Landis Original

March 28th:	Easter Egg-Stravaganza
May 2nd:	125th Anniversary Celebration
August 4th:	National Night Out
September 25th:	Touch-A-Truck
October 24th:	Fall Fest/Trunk-or-Treat
November 24th:	Christmas Parade & Tree Lighting
December 12th:	Campfire Christmas Santa at the La

FOR MORE INFORMATION VISIT: TOWNOFLANDISNC.GOV

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2026

FEBRUARY

Sunday	Monday	Tuesday	Wednesday	Thursday	Friday	Saturday
25	26	27	28	29	30	31
1	2	3	4 Senior Luncheon 12:00 Noon @ Trinity Lutheran Church	5 Board of Aldermen Work Session Meeting: 5:30PM	6	7
8	9 Board of Aldermen Regular Scheduled Meeting: 6:00PM	10	11	12	13	14
15	16	17 Planning Board Meeting: 6:00PM	18 Budget Retreat 9 AM - 11 AM	19	20	21
22	23 DCFL Park Committee Meeting: 6:00PM	24 Landis C.A.R.E.S 6 PM- 8 PM	25	26	27	28
1	2	3	4	5	6	7

NOTE



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