



AGENDA

REGULAR MEETING OF THE BOARD OF ZONING APPEALS

Thursday, November 06, 2025

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

Each person wishing to address the BZA shall be afforded an opportunity to do so. Anyone that would like to make a public comment must first sign the "Sign In" sheet located near the main entrance door. If you wish to comment, please stand or raise a hand to indicate that you wish to speak. When recognized, give your name and address and direct your comments to the Chair. Members of the public shall be allowed a maximum of three (3) minutes for each person wishing to make a public comment.

1. Call to Order
2. Roll Call and Determination of Quorum
3. Approval of Agenda
4. First Hearing of the Public (*for items not scheduled for a public hearing*)
5. Approval of Minutes
 - A. Approval of BZA Regular Meeting Minutes of October 2, 2025
6. BZA Preface
7. Public Hearing
 - A. Public Hearing: A-25-005 – 256 S. Broadway St. Dimensional Variance Request
 - B. Public Hearing: A-25-006 – 694 Victoria Island Dimensional Variance Request
8. Action Items
 - A. A-25-005 – 256 S. Broadway St. Dimensional Variance Request
 - B. A-25-006 – 694 Victoria Island Dimensional Variance Request
9. Unfinished Business

10. Second Hearing of the Public (for items not scheduled for a public hearing)

11. Board Member Comments

12. Next Regular Meeting - December 4, 2025

13. Adjournment

14. ADA Notice

In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact the Village, at least three (3) business days in advance of the meeting, if requesting accommodations. The Village of Lake Orion will provide foreign language or hearing impaired interpretation services for those individuals who contact the village to request such services at least seven (7) days prior to the meeting.

En el espíritu de la observancia de la Ley de Estadounidenses con Discapacidades, las personas con discapacidad debe sentirse libre para ponerse en contacto con el pueblo, por lo menos tres (3) días hábiles de antelación a la fecha de la reunión, si se solicitan alojamiento. El municipio de Lake Orion proporcionará idioma extranjero o personas con problemas de audición servicios de interpretación para las personas que se ponen en contacto con el pueblo de solicitar dichos servicios con no menos de siete (7) días antes de la reunión.



BOARD ACTION SUMMARY SHEET

MEETING DATE: November 6, 2025

TOPIC Approval of BZA Regular Meeting Minutes of October 2, 2025

RECOMMENDED MOTION: To approve the October 2, 2025 Regular Meeting Minutes of Board of Zoning Appeals, as presented.



MINUTES

REGULAR MEETING OF THE BOARD OF ZONING APPEALS

Thursday, October 2, 2025

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

1. Call to Order

The Thursday, October 2, 2025 Regular Meeting of the Lake Orion Board of Zoning Appeals was called to order by Chairperson Mathisen at 6:32 p.m.

2. Roll Call and Determination of Quorum

PRESENT

- Chairperson Brad Mathisen
- Vice Chairperson Raymond Putz
- Board Member Henry Lorant

ABSENT

- Secretary Brenton Bailo
- Board Member Mary Chayka-Crawford

STAFF PRESENT

- Village Planning and Zoning Coordinator Mario Ortega
- Recording Secretary Danielle Smith

3. Approval of Agenda

Board Member Lorant moved, Board Member Putz seconded, to approve the October 2, 2025 regular meeting agenda of the Board of Zoning Appeals, as presented.

- AYES:** Mathisen, Lorant, Putz
- NAYS:** None
- ABSENT:** Chayka-Crawford, Bailo
- MOTION:** Carried

4. First Hearing of the Public

None.

5. Approval of Minutes

A. Approval of BZA Minutes – June 5, 2025

Board Member Lorant moved, Board Member Mathisen seconded, to approve the June 5, 2025 regular meeting minutes of the Board of Zoning Appeals, as presented.

- AYES:** Mathisen, Lorant, Putz
- NAYS:** None
- ABSENT:** Chayka-Crawford, Bailo
- MOTION:** Carried

6. BZA Preface

Chairperson Mathisen reviewed the meeting procedures.

7. Public Hearing

A. Public Hearing: A-25-004 – 493 Algene Dr. Dimensional Variance Request

Board Member Lorant moved, Board Member Putz seconded, to open the public hearing for the requested dimensional variance for item A-25-004 at 6:34 p.m.

- AYES:** Mathisen, Putz, Lorant
- NAYS:** None
- ABSENT:** Chayka-Crawford, Bailo
- MOTION:** Carried

Planner Ortega gave a synopsis of the variance request, reviewed the findings of fact and was available to answer any questions from the Board.

FINDINGS OF FACT

1. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.
 - Compliance with the minimum side yard could be construed as unnecessarily burdensome by resulting in an addition that is not built to modern standards and features.
2. The variance will provide substantial justice to the applicant as well as neighboring property owners.
 - Granting the variance would give substantive relief to the owner of the property involved and be more consistent with justice to other property owners.
3. The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.
 - The requested setback variance can be construed to be the minimum variance needed to provide substantial relief.
4. The need for variance(s) is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.
 - The need for the variance is due to the width of the lot and the location of the structure on the lot. While the lot width issue is not entirely unique to this lot, the location of the structure in relation to the side lot line is not always found on adjacent lots. Other lots have had their homes in compliance with the minimum five-foot standard. The existing structure's location encroaching in the required side yard is not something a majority of lake-front property owners must contend with.

- 5. The problem and resulting need for the variance has been created by strict compliance with the zoning ordinance, and not by the applicant or applicant’s predecessors; it is not self-created.
 - The need for the variance is not self-created. The current property owner did not place the existing structure in its current location.

Michael and Caroline Gillam, applicants, 493 Algene Street, Lake Orion, MI 48362, presented the request and were available to answer any questions from the Board.

Board Member Putz asked whether the neighbors of the applicants have expressed any concern regarding the variance request. The applicants stated their neighbors are in support of the addition and that it won’t obstruct their view(s) of the lake.

There being no further comment, Board Member Lorant moved, Board Member Mathisen seconded, to close the public hearing for the requested dimensional variance for item A-25-004 at 6:47 p.m.

AYES: Mathisen, Putz, Lorant
NAYS: None
ABSENT: Chayka-Crawford, Bailo
MOTION: Carried

8. Action Items

A. A-25-004 – 493 Algene Dr. Dimensional Variance Request

Proposal to construct an addition to an existing single family residential structure. The applicant is proposing to construct a 485-square-foot basement and main floor addition on the west elevation in the street/front yard and a 175-square-foot porch addition on the south elevation in the side yard.

As proposed, the construction of the porch addition on the south elevation in the side yard is in compliance with all zoning ordinance dimensional requirements. The proposed increased square footage from the addition would remove the existing minimum floor area legal nonconformity and make the structure legally conforming to this standard. The location of the proposed main floor addition on the west elevation in the street/front yard would require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the zoning ordinance.

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Side Yard (North) Setback:	Required:	5.0 ft. Minimum
	Existing:	2.1 ft.
	Proposed (Ex.):	2.1 ft.
	Variance:	2.9 ft.

Board Member Lorant moved, Board Member Mathisen seconded, to approve the variance request for A-25-004 – 493 Algene Drive.

AYES: Mathisen, Putz, Lorant
NAYS: None
ABSENT: Chayka- Crawford, Bailo
MOTION: Carried

B. Election of Officers

Board Member Lorant moved, Board Member Mathisen seconded, to elect Brad Mathisen as Chairperson, Raymond Putz as Vice Chairperson and Dr. Brenton Bailo as Secretary of the Village of Lake Orion Board of Zoning Appeals.

- AYES:** Mathisen, Putz, Lorant
- NAYS:** None
- ABSENT:** Chayka- Crawford, Bailo
- MOTION:** Carried

9. Unfinished Business

None.

10. Second Hearing of the Public

None.

11. Board Member Comments

Board Member Lorant shared that Waterside Social would like to install an 85-foot dock on Lake Orion. He indicated that the Michigan Department of Environment, Great Lakes, and Energy (EGLE) approved the request, but that it has not yet been approved by the Village. Planner Ortega clarified that previous owners of the property had site plan approval for a restaurant, not a dock. He stated that the docks installed by the previous owners were constructed without local zoning approval. Additionally, Planner Ortega said that Waterside Social does not have a preexisting special land use for the docks and that they would have to go before the Planning Commission if that were something they wish to pursue. Lastly, he noted the EGLE permit states that the applicant shall comply with all local zoning ordinances.

Planner Ortega reported that Waterside Social will come before the Zoning Board of Appeals next month with a variance request for an existing pergola.

Board Member Putz stated he submitted a request to update variance standards. Planner Ortega asked Board Member Putz to resubmit his request and he would then investigate it. Additionally, Planner Ortega reported that the Village’s engineering standards are being updated with recommendations that various ordinances be amended as some are conflicting.

Board Member Mathisen asked if the Village engineering standard updates would be posted on the Village’s website. Planner Ortega said the updates would be posted, pending the Village Council adopts the new standards.

Board Members Putz and Mathisen requested there be training opportunities for Board of Zoning Appeals members. Planner Ortega asked the board what type of training they would be interested in. The consensus was the board would like procedural training with sample motions.

Board Member Mathisen shared that he used to receive the Michigan Planner publications and asked why board members stopped receiving them. Planner Ortega said he would look into getting the board reenrolled.

Board Member Mathisen requested the Board of Zoning Appeals agenda format be revised, changing the order in which items are addressed. Planner Ortega said he can work with the board on amending the bylaws.

12. Next Regular Meeting – November 6, 2025

13. Adjournment

Board Member Lorant moved, Board Member Putz seconded, to adjourn the meeting at 7:07 p.m.

- AYES:** Mathisen, Putz, Lorant
- NAYS:** None
- ABSENT:** Chayka-Crawford, Bailo
- MOTION:** Carried

Dr. Brenton Bailo
Secretary

Sonja Stout
Village Clerk/Treasurer

Danielle Smith
Recording Secretary

Date Approved: November 6, 2025



BOARD ACTION SUMMARY SHEET

MEETING DATE: November 6, 2025

AGENDA ITEM: Public Hearing:
A-25-005 – 256 S. Broadway St. Dimensional Variance Request

BACKGROUND BRIEF: The applicant is requesting a variance for an accessory structure that has already been constructed within the required waterfront setback.

As requested, the construction of the pergola on the west elevation in the waterfront yard would require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the Zoning Ordinance

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Waterfront (West) Setback:	Required:	25 ft. minimum
	Existing:	13 ft. 7 in.
	Proposed (Ex.):	13 ft. 7 in.
	Variance:	11 ft. 5 in.

The Board may grant dimensional variances upon finding evidence of a practical difficulty.

RECOMMENDED MOTION(s):

1. To open the public hearing for the requested dimensional variance for Item A-25-005.
2. To close the public hearing for the requested dimensional variance for Item A-25-005.



BOARD ACTION SUMMARY SHEET

MEETING DATE: November 6, 2025

AGENDA ITEM: Public Hearing:
A-25-006 – 694 Victoria Island Dimensional Variance Request

BACKGROUND BRIEF: The applicant is proposing to demolish a portion of the east elevation of the existing structure and construct an addition resulting in a 1,965 SF structure along with a 503 SF wood deck and a 454 SF patio.

As requested, the construction of the addition east elevation will require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the Zoning Ordinance

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Rear Setback:	Required:	25 ft. minimum
	Existing:	39 ft. 4 in.
	Proposed:	14 ft. 7 in.
	Variance:	10 ft. 5 in.

The Board may grant dimensional variances upon finding evidence of a practical difficulty.

RECOMMENDED MOTION(s):

1. To open the public hearing for the requested dimensional variance for Item A-25-006.
2. To close the public hearing for the requested dimensional variance for Item A-25-006.



BOARD ACTION SUMMARY SHEET

MEETING DATE: November 6, 2025

AGENDA ITEM: A-25-005 – 256 S. Broadway St. Dimensional Variance Request

BACKGROUND BRIEF: The applicant is requesting a variance for an accessory structure that has already been constructed within the required waterfront setback.

As requested, the construction of the pergola on the west elevation in the waterfront yard would require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the Zoning Ordinance

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Waterfront (West) Setback:	Required:	25 ft. minimum
	Existing:	13 ft. 7 in.
	Proposed (Ex.):	13 ft. 7 in.
	Variance:	11 ft. 5 in.

The Board may grant dimensional variances upon finding evidence of a practical difficulty.

RECOMMENDED MOTION(S):

Option A: If the BZA determines the ordinance standards for the requested variance have been met:

A motion to grant an 11 ft 5 in variance from Zoning Ordinance Section 12.02, minimum required waterfront setback standard for the property at 256 S. Broadway St., Parcel ID #09-11-226-036. This variance approval is based on the following findings of fact which the BZA has determined support the establishment of a practical difficulty with ordinance compliance.

- 1) _____
- 2) _____
- 3) _____

Option B: If the BZA determines the ordinance standards for the requested variance have NOT been met:

A motion to deny the requested variance from Zoning Ordinance Section 12.02, minimum required waterfront setback standard for the property at 256 S. Broadway St., Parcel ID #09-11-226-036. This variance is denied because the BZA has determined the applicant has not presented enough evidence to support the finding of a practical difficulty.

MCKENNA

October 29, 2025

Board of Zoning Appeals
Village of Lake Orion
21 E. Church Street
Lake Orion, Michigan 48362-3274

Subject: **Waterside Social Restaurant – Variance Review** (Plans dated September 22, 2025)

Location: **256 S Broadway St. – Parcel ID# 09-11-226-034** (West side of S. Broadway St., north of Atwater St. intersection)

Zoning: **MU Mixed-Use**

Board Members:

We have reviewed the above-referenced variance application submitted by Douglas Jones (the “Applicant”) on behalf of the property owner, Kevin Mlynarek, of the cited property. The applicant is proposing an addition to the existing principal structure in the form of a pergola for outdoor restaurant seating at Waterside Social.

LOCATION AND PROPOSED PROJECT

The lot is occupied by an existing one-story building with a rear concrete patio deck with an upper patio area, and a covered porch area in the front of the building. It is located on the west side of S Broadway St, north of Atwater Street intersection. The site is zoned MU Mixed-Use, and the current land use is a restaurant. An aerial photo of the subject site and the surrounding area is provided for context.

The applicant is requesting an 11 ft. 5 in. variance from the minimum setback for a pergola to cover their concrete patio seating area in the rear yard/lake front. The purpose of the variance is to offer outdoor waterfront seating for the restaurant patrons.

The applicant has already installed the pergola on the property without a permit and has received a stop-work order from the Village.



HEADQUARTERS

235 East Main Street
Suite 105
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ZONING ORDINANCE STANDARD AND REQUESTED VARIANCE

The previously constructed pergola addition to the patio on the west elevation in the waterfront yard is not in compliance with zoning ordinance dimensional requirements. The location of the previously constructed pergola in the waterfront setback would require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the Zoning Ordinance:

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – MU ZONING DISTRICT

Waterfront Setback:	Required:	25.0 ft. minimum
	Existing:	13 ft. 7 in.
	Proposed (Ex.):	13 ft. 7 in.
	Variance:	11 ft. 5 in.

VARIANCE STANDARDS FOR APPROVAL

Per the *Michigan Zoning Enabling Act, P.A. 110 of 2006, as amended*, the Board must, prior to acting on a requested variance, consider and make findings regarding several factors. Specifically, in Section 19.04.D.1 of the Village’s Zoning Ordinance, the Board may grant a dimensional variance upon a finding that a practical difficulty exists. A finding of practical difficulty exists when the applicant has demonstrated that all of the zoning ordinance criteria exist. Each of the required standards is described below followed by an analysis of whether those conditions exist in this particular case.

- A. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.**

Granting of the variance would allow the pergola and provide some sun protection for patrons as well as a preferred aesthetic look. The use of individual umbrellas or a retractable shade from the building would also provide sun protection for patrons and comply with the required setback though the aesthetic contribution would be different. Strict compliance would still allow the applicant to utilize the waterfront yard for a dining patio just not in their preferred configuration.

- B. The variance will provide substantial justice to the applicant as well as neighboring property owners.**

Granting of the variance would give substantive relief to the applicant but would not be consistent with justice provided to other waterfront property owners. While the applicant would be permitted to establish a structure within the waterfront setback, other property owners have complied with the setback standard and not placed a structure in the waterfront area. Several years ago the zoning ordinance was amended to allow structures with open vertical areas less than 175 ft in area as a permitted encroachment in the waterfront but no less than 10 ft from the water’s edge. This has allowed residential owner’s the ability to have a pergola closer to the water but these are no greater than 175 sf in area. The applicant is proposing a 625 sf pergola area.

We note that the variance will not inhibit any neighbor’s views of the lake. The pergola will not project upwards or outwards and will not cause any visual barrier. The northern adjacent property is in the Mixed-Use district and is only open during typical business office hours. The applicant has purchased planted boxes for grasses and/or arborvitaes to offer a natural screening looking from the lake to the restaurant to help keep the natural ambiance of the lake.

- C. The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.**

The variance requested is the minimum variance needed to accommodate the current conditions of the site, which includes the newly built pergola without a permit. As noted above, the variance would allow the pergola in the waterfront setback in a similar manner that the revised zoning ordinance has allowed pergolas as a permitted encroachment in the residential area. However, the variance would permit a much larger pergola than what residential owner’s are permitted. The variance could be construed as being partially consistent with justice the ordinance provides to other property owners.

D. The need for variance(s) is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

Waterside Social is a somewhat unique case because they are the only restaurant with a waterfront on Lake Orion and are located in an existing structure. The applicant has stated they talked to many Lake Orion residents about what they would like to see added to the restaurant, and an outdoor bar with lake-facing seating was the top request. The applicant has not constructed the building in its current location. Other properties in the MU district have been redeveloped and, if a restaurant was established, could have located a structure to be further from the waterfront setback and allow for a pergola patio. There are very few lakefront MU zoned existing structures and some are 25 feet, or less, from the lake. The desire for a pergola covered patio with an existing structure could be construed as not generally applicable in the area.

E. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant’s predecessors; it is not self-created.

The problem and resulting need for the variance to encroach into the required setback is self-created by the applicant. A variance would grant relief to the owner of the property.

CONCLUSION

The Board of Zoning Appeals shall only grant a variance from the requirements of the Zoning Ordinance upon finding the criteria described above have been met for the variance requested. In making your determinations relative to the requested variance, the BZA shall specify the grounds for the decision. Any additional information presented and discussed by the applicant, Board, and/or the public during the public hearing must be incorporated into the record. Any motion must include all findings-of-fact that the BZA has determined to support their decision.

We look forward to reviewing these findings and recommendations with you. Please feel free to contact us with any questions.

Respectfully submitted,

McKENNA

Mario A. Ortega, AICP
Senior Principal Planner

Sommer Nafal, NCI
Assistant Planner

- cc: Village Clerk: Sonja Stout, 21 E. Church Street, Lake Orion, MI 48362
- Property Owner: Kevin Mlynarek, 2325 Broadway St, Lake Orion, MI 48362
- Applicant: Douglas Jones, 256 S Broadway St, Lake Orion, MI 48362



21 E. Church Street
 Lake Orion, Michigan 48362
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BOARD OF ZONING APPEALS – APPLICATION FOR VARIANCE OR REVIEW

PROPERTY INFORMATION

Site Address: 256 S Broadway Parcel ID #: 09-11-226-034

Parcel Size (Sq.Ft.): _____ Zoning District: _____

Has the property previously been approved for a variance(s)? Yes / No (If yes, indicate date: _____)

OWNER INFORMATION

Property Owner Name: KEVIN MLYNARIEK Address: 232 S BROADWAY

Property Owner Phone #: _____ E-Mail: _____

APPLICANT INFORMATION (If applicant is NOT property owner)

Applicant Name: DOUG JONES Address: _____

Applicant Phone #: _____ E-Mail: _____

Applicant is: (i.e. contractor or business owner or architect, etc.) BUSINESS OWNER

TYPE OF VARIANCE AND/OR REVIEW REQUESTED

Please check one. A request for multiple types of reviews may require a separate form.

- Appeal of Administrative Order
 Interpretation of Map
 Interpretation of Section # _____
 Dimensional Variance (required setback, height, lot coverage, lot width, lot size, etc.)
 Use Variance (specify intended use): _____
 Variance from Zoning Ordinance Requirement - Section # _____
 Other (please specify): _____

DIMENSIONAL VARIANCE – REQUESTED DEVIATION FROM REQUIREMENTS

Please complete the table below for each deviation from the dimensional requirements which you are requesting.

Section #	Type of Dimensional Requirement	Existing Distance	Required Distance	Proposed Distance	Variance (=Required – Proposed)
Example: Table 12.02	Front Setback	28 Feet	25 Feet	20 Feet	5 Feet
	<u>WATERFRONT SETBACK</u>		<u>25 FEET</u>	<u>20 FEET</u>	<u>5 FEET</u>

ADDITIONAL INFORMATION AND REQUIREMENTS

Section 19.04(F) identifies all information required for a complete application.

Please place your initials below next to all items included in your application.

If you believe the information is not relevant please place 'N/A' for not applicable next to the item.

- _____ 1) A completed application signed by the property owner.
- _____ 2) Proof of ownership.
- _____ 3) Property owner authorization for an applicant to act on their behalf.
- _____ 4) Project Narrative – *A letter to the BZA explaining the variance or review request.*
- _____ 5) Land Survey – *A survey prepared by a professional surveyor.*
- _____ 6) Site Plan – *A set of plans to scale which include all property lines with dimensions, setbacks, existing and proposed structures.*
- _____ 7) Architectural plans and elevations – *A set of drawings illustrating the details of any proposed structures.*
- _____ 8) PDF files - *A digital PDF version of all documents must be provided either via media source (CD, DVD, USB drive) or email to the Zoning Coordinator.*
- _____ 9) Payment of fees.

By signing below you acknowledge all of the following:

- The undersigned acknowledges that they have read Section 19.04 of the Village of Lake Orion Zoning Ordinance, has received and read the instructions and understands the application process.
- The undersigned acknowledges that in their opinion they believe the additional information included with this application meets the submittal requirements for a variance or review application and accept all responsibility for any lack of required information.
- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application.

Signature of Property Owner: _____

Date: _____

Signature of Applicant:  _____

Date: 7-18-25

Please only fill out the section for the type of variance or review you are requesting.

**DIMENSIONAL VARIANCES AND VARIANCES FROM ZONING ORDINANCE REQUIREMENTS -
EXPLANATION OF PRACTICAL DIFFICULTIES**

Dimensional Variances, which are deviations from the dimensional zoning requirements, i.e. height, bulk, setback, and variances from other zoning ordinance requirements, such as the amount of investment in a non-conforming property, may only be granted by the Board of Zoning Appeals upon finding that a practical difficulty exists. All of the following conditions must be determined to apply to your case in order to determine that a true practical difficulty exists. (Attach additional sheets if necessary.)

Please explain how: Strict compliance with restrictions governing area, setback, frontage, height, bulk, density, or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.

THIS 5 FOOT VARIANCE ALLOWS US TO HAVE THE SPACE FOR SEATING PATRONS FACING THIS LAKE BECAUSE WE WOULD BE ABLE TO CENTER THIS BAR ON THE EXISTING PATIO

Please explain how: Granting the variance will provide substantial justice to the applicant, as well as other property owners.

THE VARIANCE WILL NOT INHIBIT ANY NEIGHBOR'S VIEWS OF THE LAKE. THE VARIANCE WILL ALLOW US TO SATISFY THE REQUEST OF MANY LAKE ORION RESIDENTS OF OFFERING AN OUTDOOR BAR WITH LAKE VIEW SEATING

Please explain how: The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.

THIS 5 FOOT VARIANCE ALLOWS US TO CENTER THE BAR IN THE EXISTING PATIO SPACE AND ALLOWS US TO HAVE THE SPACE FOR SEATING THAT FACES THE LAKE

Please explain how: The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

WE ARE THE ONLY RESTAURANT WITH WATERFRONT ON LAKE ORION. WE TALKED TO A LOT OF LAKE ORION RESIDENTS ABOUT WHAT THEY WOULD LIKE TO SEE ADDED TO THE RESTAURANT AND AN OUTDOOR BAR WITH LAKE FACING SEATING WAS THE #1 REQUEST

Please explain how: The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant's predecessors; it is not self-created.

THE OUTDOOR BAR HAS ALREADY BEEN APPROVED. WE ARE REQUESTING A 5 FOOT VARIANCE SO WE CAN CENTER THE BAR AND CREATE LAKE FACING SEATING

Please explain how: Granting the variance will not impair the public health, safety, comfort, or welfare of the inhabitants of Lake Orion.

WE ALREADY PURCHASED PLANTER BOXES FOR GRASSES AND/OR ARBORVITAEES TO OFFER A NATURAL SCREENING LOOKING FROM THE LAKE TO THE RESTAURANT TO HELP KEEP THE NATURAL AMBIANCE OF THE LAKE

USE VARIANCES – EXPLANATION OF UNNECESSARY HARDSHIP

A Use Variance is a variance that permits the use of a property that is otherwise not permitted in a zoning district. The Board of Zoning Appeals may grant a requested use variance only upon finding that an unnecessary hardship exists. Explain below how the requirements in Article 19, Section 19.04 D. 2. Use Variance Review Standard of Zoning Ordinance pertains to your site. (Attach additional sheets if necessary.)

SEE ATTACHED

APPEALS OF ADMINSTRATIVE ORDERS, INTERPRETATIONS OF MAP OR ZONING ORDINANCE SECTIONS

Per Section 19.04(B), when an applicant believes they have been aggrieved by a decision of the Zoning Administrator, they may appeal the decision to the Board of Zoning Appeals. Per Section 19.04(C), the Board of Zoning Appeals has the authority to hear and decide requests for interpretation of the Zoning Ordinance, including the Zoning Map. In the area below, please state the Section relevant to your appeal or interpretation request. Please state any facts or conditions relevant to your application. (Attach additional sheets if necessary.)

SEE ATTACHED

1. Intent of the Ordinance

The purpose of the existing ordinance is to prevent the visibility of bar operations from nearby residential properties. This is aimed at:

- Maintaining the visual character and serenity of residential zones.
- Reducing noise, glare, and disturbances associated with commercial alcohol service.
- Ensuring that community gathering spaces retain a family-friendly aesthetic.

2. Compliance through Design

This proposed outdoor bar respects the spirit of the ordinance by using strategic architectural and landscaping solutions to mitigate visual and acoustic impact on surrounding residences. Key features include:

- Visual Screening:
 - The bar structure is partially covered by a fabric canopy and supported by existing architectural elements (as seen in the attached image).
 - Additional plantings and vertical screens are planned along the perimeter to further obstruct sightlines from neighboring properties.
 - Tables and seating are directed away from residential views, toward the waterfront, to reduce visual and social impact.
- Orientation and Location:
 - The bar is positioned away from residential property lines and is instead oriented toward the lakefront, leveraging natural buffers like the water and vegetation to absorb noise.
 - It is integrated into a patio area that already supports outdoor dining and is not located at a property edge, preserving residential boundaries.
- Acoustic Containment:
 - Sound will be managed with low-volume policies, no amplified music, and material choices (e.g., absorbent finishes, overhead coverings) that contain rather than project noise.

- The bar’s patrons are expected to be seated and orderly, as the space is designed for casual, small-group gatherings rather than high-volume entertainment.

3. Community and Economic Benefits

- Encourages local engagement and tourism by providing a scenic, well-regulated social space along the waterfront.
- Enhances the restaurant’s revenue without requiring new construction that encroaches on residential zones.
- Offers a controlled, outdoor option that reduces indoor congestion, particularly important post-pandemic for public health and comfort.

Conclusion

We believe this variance request upholds the core intent of the ordinance by ensuring the bar is not visible from nearby residences, and that its placement, design, and operation will preserve the peaceful character of the neighborhood. At the same time, it provides a vibrant, well-managed amenity that supports local business and waterfront activation.

Regards,

Doug Jones and Chris Dewey



CONSTRUCTION BY DESIGN, LLC
tbrososki@gmail.com | 248.930.5260

PROJECT NAME: WATERSIDE SOCIAL - PERGOLA VARIANCE PLAN
256 S. BROADWAY (M-24), LAKE ORION, MI 48362
SHEET NAME: ARCHITECTURAL SITE PLAN, LOCATION MAP & PHOTOS

DATE: 09.22.2025

ISSUED FOR:

- PERMIT
- CONSTRUCTION
- REVISION
- AS-BUILT

REVISIONS:

SCALE: AS NOTED

DRAWN BY: TB

SHEET No.:

A100



4 PERGOLA PHOTO - 2
A100 SCALE: NONE

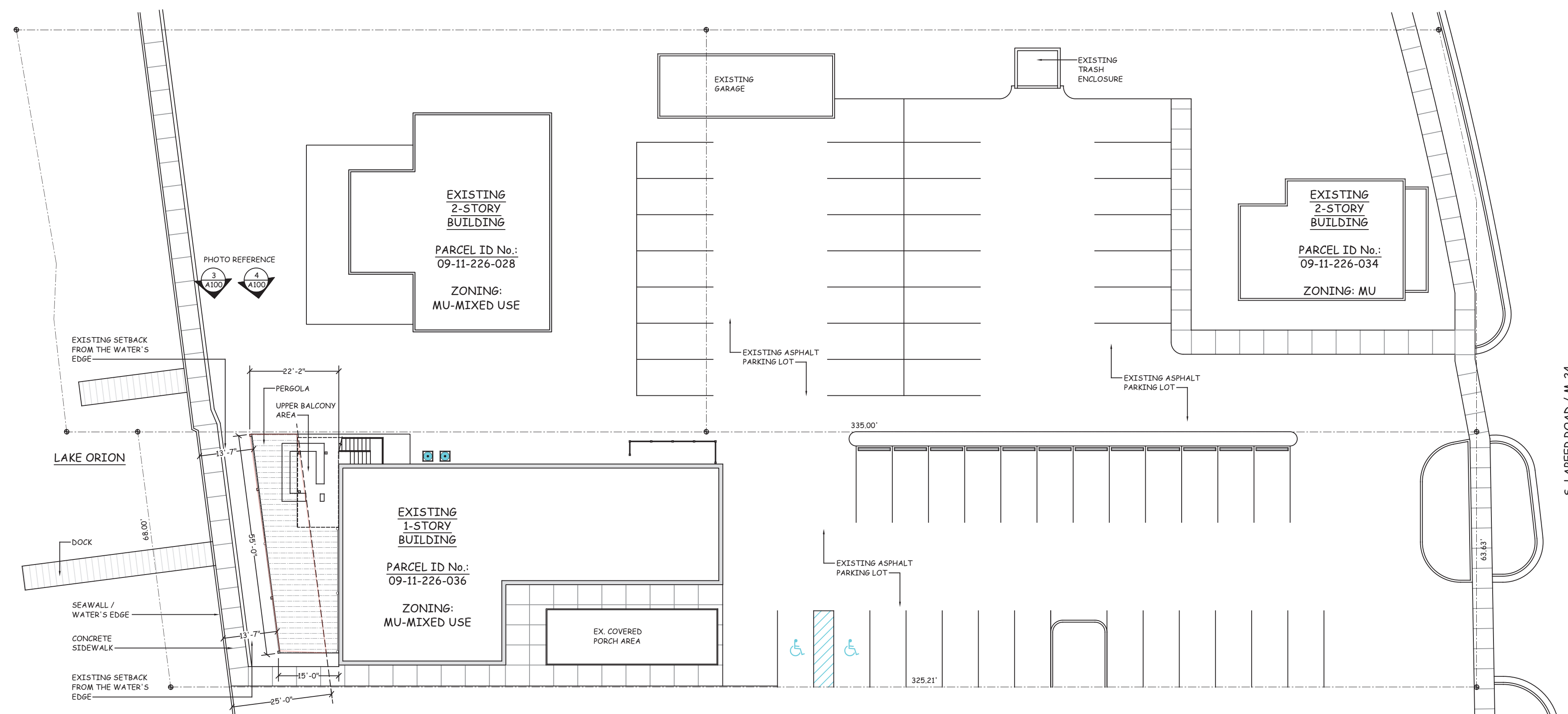


3 PERGOLA PHOTO - 1
A100 SCALE: NONE

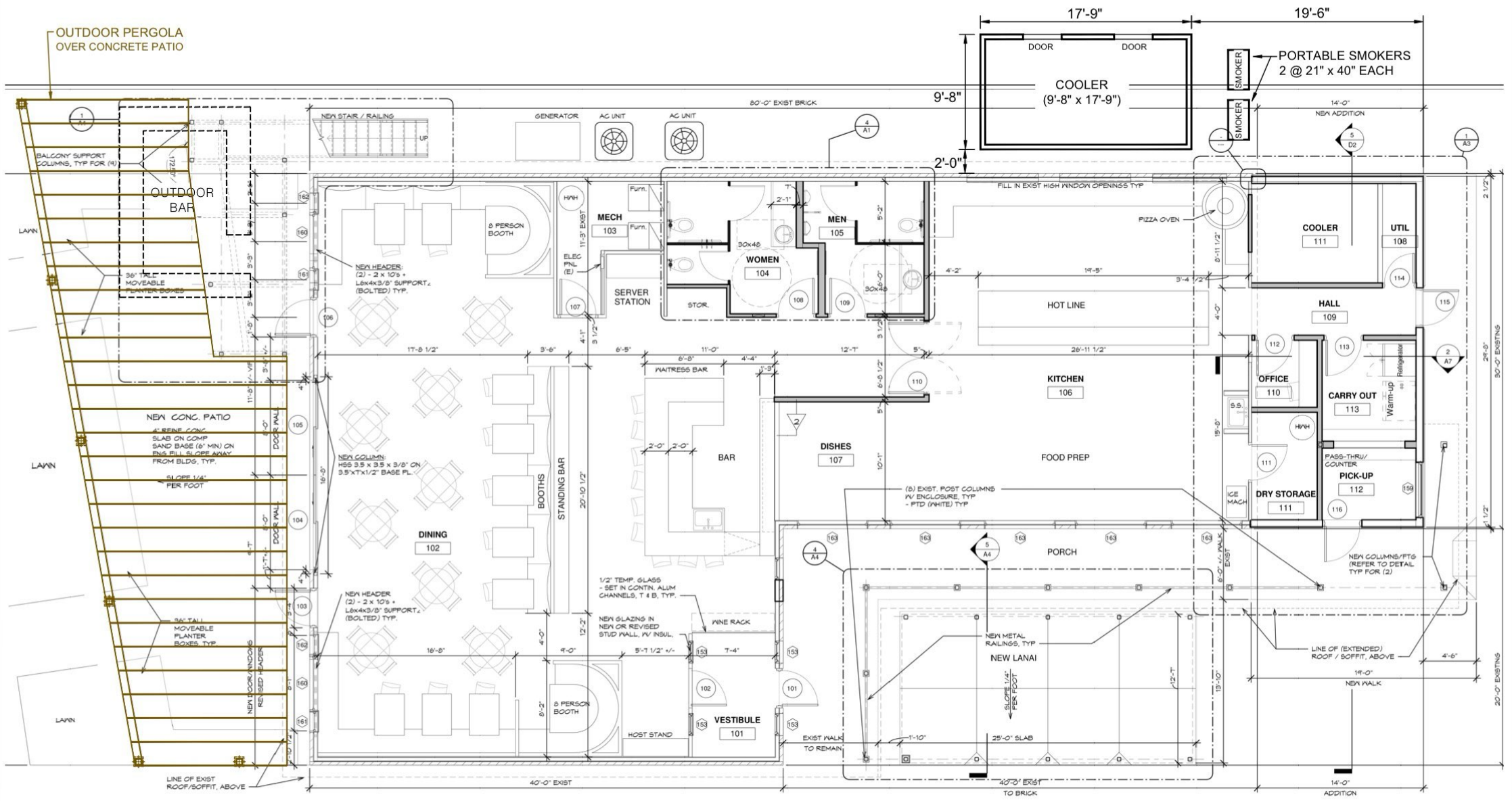
**PROJECT LOCATION:
WATERSIDE SOCIAL
256 S. BROADWAY**



2 LOCATION MAP
A100 SCALE: NONE



1 ARCHITECTURAL SITE PLAN
A100 SCALE: 1" = 20'-0"



NO.	REVISION / ISSUE	DATE

PROJECT TITLE:
WATERSIDE SOCIAL
 256 BROADWAY
 LAKE ORION, MI

SHEET TITLE:
FIRST FLOOR PLAN

DATE: 06/18/2025
 SCALE: NONE

SHEET:
A-1



BOARD ACTION SUMMARY SHEET

MEETING DATE: November 6, 2025

AGENDA ITEM: A-25-006 – 694 Victoria Island Dimensional Variance Request

BACKGROUND BRIEF: The applicant is proposing to demolish a portion of the east elevation of the existing structure and construct an addition resulting in a 1,965 SF structure along with a 503 SF wood deck and a 454 SF patio.

As requested, the construction of the addition east elevation will require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the Zoning Ordinance

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Rear Setback:	Required:	25 ft. minimum
	Existing:	39 ft. 4 in.
	Proposed:	14 ft. 7 in.
	Variance:	10 ft. 5 in.

The Board may grant dimensional variances upon finding evidence of a practical difficulty.

RECOMMENDED MOTION(s):

Option A: If the BZA determines the ordinance standards for the requested variance have been met:

A motion to grant an 10 ft 5 in variance from Zoning Ordinance Section 12.02, minimum required rear yard setback standard for the property at 694 Victoria Island, Parcel ID #09-03-481-009. This variance approval is based on the following findings of fact which the BZA has determined support the establishment of a practical difficulty with ordinance

- compliance.* 1) _____
- 2) _____
- 3) _____

Option B: If the BZA determines the ordinance standards for the requested variance have NOT been met:

A motion to deny the requested variance from Zoning Ordinance Section 12.02, minimum required rear yard setback standard for the property at 694 Victoria Island, Parcel ID #09-03-481-009. This variance is denied because the BZA has determined the applicant has not presented enough evidence to support the finding of a practical difficulty.

MCKENNA

October 29, 2025

Board of Zoning Appeals
Village of Lake Orion
21 E. Church Street
Lake Orion, Michigan 48362-3274

Subject: **Single Family Residence Addition – Variance Review** (*Plans received October 2025*)

Location: **694 Victoria Island – Parcel ID# 09-03-481-009** (*west side of Victoria Island*)

Zoning: **RL Lake Single Family Residential**

Board Members:

We have reviewed the above-referenced variance application submitted by Edward Sabol (the “Applicant” and builder) on behalf of the property owner and residents of the cited residence, Kevin Reiner. The applicant is proposing an addition to the existing principal structure.

LOCATION AND PROPOSED PROJECT

The lot is approximately 9,260 square feet (SF) in area and is occupied by a 936 SF one-story single family principal residence, a 454.9 SF attached rear deck, and a 96 SF detached accessory structure (shed). The lot has a legal nonconforming southeastern rear yard/road setback. It is located on the west side of Victoria Island. The site is zoned RL Lake Single Family Residential. An aerial photo of the subject site and the surrounding area is provided for context.

The applicant is proposing for the residence to be 1,965 SF after proposed demolitions/additions, with an area of 503 SF in wood decks, and a 454 SF new patio, for a total lot coverage of 2,922 SF (34.18%).



HEADQUARTERS

235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
MCKA.COM

Communities for real life.

ZONING ORDINANCE STANDARD AND REQUESTED VARIANCE

As proposed, the construction of the addition on the southeast elevation in the rear yard is in compliance with all zoning ordinance dimensional requirements except for one. The location of the proposed addition on the southeast elevation in the street/rear yard would require one (1) variance from the dimensional standards of the zoning ordinance. The applicant is requesting the following variance from the Zoning Ordinance:

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Rear/Road Setback:	Required:	25.0 ft. minimum
	Existing:	39 ft. 4 in.
	Proposed (Ex.):	14 ft. 7 in.
	Variance:	10 ft. 5 in.

VARIANCE STANDARDS FOR APPROVAL

Per the *Michigan Zoning Enabling Act, P.A. 110 of 2006, as amended*, the Board must, prior to acting on a requested variance, consider and make findings regarding several factors. Specifically, in Section 19.04.D.1 of the Village’s Zoning Ordinance, the Board may grant a dimensional variance upon a finding that a practical difficulty exists. A finding of practical difficulty exists when the applicant has demonstrated that all of the zoning ordinance criteria exist. Each of the required standards is described below followed by an analysis of whether those conditions exist in this particular case.

A. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.

The site is zoned for single-family residential use, and it was initially designed and used as a vacation home. Over time the residential use has increased in duration. The applicant is proposing renovations to allow for a residential structure built to accommodate modern living standards.

The distance from the rear property line to the water line is 62 ft 11 in. When the lakefront and rear yard setbacks are deducted from this (25 ft + 25 ft = 50 ft), the remaining building envelope available is 12 ft 11 in. The applicant states this space is too narrow for a modest home addition. Conformity with the minimum twenty-five (25) foot rear yard setback would require a reduction in the width of the proposed addition. Conformance would also require a reduction in the size of the rooms in the addition. The proposed rooms of the addition are modest in nature and do not appear to be excessive in features.

The addition would provide rooms that reflect modern living standards, unlike the older cottage style homes which are now considered small and inefficient. The addition the floor plan also appears to provide hallways and entrances built to accessibility standards. Compliance with the minimum rear yard would be unnecessarily burdensome by resulting in an addition that is not built to modern standards and features.

B. The variance will provide substantial justice to the applicant as well as neighboring property owners.

Granting the variance will maximize the neighboring waterfront site lines, while preserving ample space behind the structure for utility maintenance. The applicant has indicated that it is the intention of the property owner to preserve as many mature trees as possible while maintaining neighboring views.

The majority of lake front homes in the immediate area are larger than the existing home. If the addition were to be constructed as proposed the resulting residence would still be smaller than most of the other lake front homes. These homes have been built to modern standards and have features comparable to current residential trends and expectations. Granting the variance would give substantive relief to the owner of the property involved and be more consistent with justice granted to other property owners who were allowed to create homes built to modern standards.

C. The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.

The proposed structure addition is 18'-8" in depth. The proposed improvements are not extraneous and will allow for the existing home to be used as living room/kitchen great room while the addition would be for two bedrooms with bathrooms. The improvements are in compliance with the sideyard setback requirements and would not crowd any of the neighboring properties. The site would be in compliance with the lot coverage allowance at 34.18%.

D. The need for variance(s) is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

The property, which is zoned RL, is in a unique location where property owners are asked to conform to an RL zoning. RL assumes a street on one side of the parcel and waterfront on the other. Although Victoria Island does have some platted streets, none of them abut this parcel. The location of the waterline towards the interior of the site on the south reduces the building envelope area. These circumstances are somewhat unique to the property and the applicant hopes the conditions will encourage the BZA to extend special consideration.

E. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant's predecessors; it is not self-created.

The existing home is 938 square feet, making it the smallest home on Victoria Island. Based on available information, the applicant did not influence the platting of the lot and the resulting lot size and minimal building envelope. The applicant also did not construct the home on the site in this location. The physical characteristics of the lot and structure resulting in the need for the variance were not created by the applicant. The need for the variance is due to the specific circumstances that pertain to the parcel, and not the small, proposed improvement.

RECOMMENDATION

The Board of Zoning Appeals shall only grant a variance from the requirements of the Zoning Ordinance upon finding the criteria described above have been met for the variance requested. In making your determinations relative to the requested variance, the BZA shall specify the grounds for the decision. Subject to any additional information presented and discussed by the applicant, Board, and/or the public during the public hearing and incorporated into the record prior to any findings being made, we find the proposed development satisfies the requirements of the ordinance criteria and recommend the BZA grant the variance as requested based on the cited findings of fact.

We look forward to reviewing these findings and recommendations with you. Please feel free to contact us with any questions.

Respectfully submitted,

McKENNA



Mario A. Ortega, AICP
Senior Principal Planner



Sommer Nafal, NCI
Assistant Planner

cc: Village Clerk: Sonja Stout, 21 E. Church Street, Lake Orion, MI 48362
Property Owner: Kevin Reiner, 219 W. Broadway, Granville, OH 43023
Applicant: Edward Sabol, 2 Highland Ave, Lake Orion, MI 48362



21 E. Church Street
 Lake Orion, Michigan 48362
 Tel 248.693.8391
 Fax 248.693.5874
www.lakeorion.org

BOARD OF ZONING APPEALS – APPLICATION FOR VARIANCE OR REVIEW

PROPERTY INFORMATION

Site Address: 694 Victoria Island Parcel ID #: _____

Parcel Size (Sq.Ft.): 9260 Square Feet Zoning District: RL

Has the property previously been approved for a variance(s)? Yes / No (If yes, indicate date: NO)

OWNER INFORMATION

Property Owner Name: Kevin Reiner Address: _____

Property Owner Phone #: _____ E-Mail: _____

APPLICANT INFORMATION (If applicant is NOT property owner)

Applicant Name: Ed Sabol Address: _____

Applicant Phone #: _____ E-Mail: _____

Applicant is: (i.e. contractor or business owner or architect, etc.) Builder - Island Pointe Building Inc.

TYPE OF VARIANCE AND/OR REVIEW REQUESTED

Please check one. A request for multiple types of reviews may require a separate form.

____ Appeal of Administrative Order ____ Interpretation of Map ____ Interpretation of Section # _____

XXX Dimensional Variance (required setback, height, lot coverage, lot width, lot size, etc.)

____ Use Variance (specify intended use): _____

____ Variance from Zoning Ordinance Requirement - Section # _____

____ Other (please specify): _____

DIMENSIONAL VARIANCE – REQUESTED DEVIATION FROM REQUIREMENTS

Please complete the table below for each deviation from the dimensional requirements which you are requesting.

Section #	Type of Dimensional Requirement	Existing Distance	Required Distance	Proposed Distance	Variance (=Required – Proposed)
Example: Table 12.02	Front Setback	28 Feet	25 Feet	20 Feet	5 Feet
	Rear Setback	39 Feet 4 Inch	25 Feet	14'- 7"	10 Feet 5 Inches

Please only fill out the section for the type of variance or review you are requesting.

**DIMENSIONAL VARIANCES AND VARIANCES FROM ZONING ORDINANCE REQUIREMENTS -
EXPLANATION OF PRACTICAL DIFFICULTIES**

Dimensional Variances, which are deviations from the dimensional zoning requirements, i.e. height, bulk, setback, and variances from other zoning ordinance requirements, such as the amount of investment in a non-conforming property, may only be granted by the Board of Zoning Appeals upon finding that a practical difficulty exists. All of the following conditions must be determined to apply to your case in order to determine that a true practical difficulty exists. *(Attach additional sheets if necessary.)*

Please explain how: Strict compliance with restrictions governing area, setback, frontage, height, bulk, density, or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.

The distance from rear property line to waters edge is 62'-11". If you deduct the Lakefront and "Street" setbacks (50 feet) the remaining space is 12'-11" which is too narrow for a modest home addition.

Please explain how: Granting the variance will provide substantial justice to the applicant, as well as other property owners.

Granting the variance will maximize the neighboring waterfront site lines, while preserving ample space behind the structure for utility maintenance. It's the intention of the property owner to preserve as many mature trees as possible while maintaining neighboring views.

Please explain how: The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.

The proposed structure is 18'-8" in depth. The proposed improvements are far from extravagant, yet will provide enough space for additional family sleeping quarters. The improvements do not crowd any of the neighboring properties and are well within the lot coverage allowance at 34.18%

Please explain how: The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

The property zoned RL is in a unique spot where property owners are asked to conform to an RL zoning. RL assumes a street on one side of the parcel and waterfront on the other. Although Victoria Island does have some platted streets, none of them abut this parcel. The property more resembles an RV designation, where a detached garage can be located feet from the rear property line. These circumstances are very unique to the property and hope the BZA will extend some special consideration.

Please explain how: The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant's predecessors; it is not self-created.

The existing home is 938 square feet, making it the smallest home on Victoria Island. Although the desire to add space to the existing home is entirely self created, we feel the need for the variance is due to the specific circumstances that pertain to the parcel and not the small proposed improvement.

ADDITIONAL INFORMATION AND REQUIREMENTS

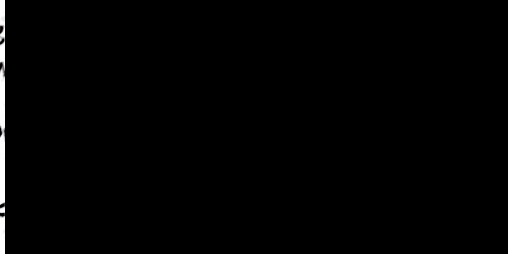
Section 19.04(F) identifies all information required for a complete application.

Please place your initials below next to all items included in your application.

If you believe the information is not relevant please place 'N/A' for not applicable next to the item.

- XXX 1) A completed application signed by the property owner.
- XXX 2) Proof of ownership.
- XXX 3) Property owner authorization for an applicant to act on their behalf.
- XXX 4) Project Narrative – A letter to the BZA explaining the variance or review request.
- XXX 5) Land Survey – A survey prepared by a professional surveyor.
- XXX 6) Site Plan – A set of plans to scale which include all property lines with dimensions, setbacks, existing and proposed structures.
- XXX 7) Architectural plans and elevations – A set of drawings illustrating the details of any proposed structures.
- XXX 8) PDF files - A digital PDF version of all documents must be provided either via media source (CD, DVD, USB drive) or email to the Zoning Coordinator.
- XXX 9) Payment of fees.

By signing below you acknowledge all of the following:

- The undersigned acknowledges that they have read Section 19.04 of the Village of Lake Orion Zoning Ordinance, has received and read the instructions and understands the application process.
- The undersigned acknowledges that in their opinion they believe the additional information included with this application meets the submittal requirements for a variance or review application and accept all responsibility for any lack of required information.
- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned ves to enter the subject property in connection with

Signature of Property Owner

Date: 10/7/25

Signature of Applicant:

Date: 10/7/25

OAKLAND COUNTY TREASURERS CERTIFICATE

I HEREBY CERTIFY that there are no TAX LIENS or TITLES held by state or any individual against the within description and all TAXES on the same are paid for five years previous to the date of this instrument as appears by the records in the office except as stated
Reviewed By: mb 7/7/2023 Not Examined
Sec. 135, Act 206, 1893 as amended
ROBERT WITTENBERG, County Treasurer
Special Assessment

7/10/2023 10:52:45 AM Recd
\$26.00 Misc Recording
\$4.00 Remonumentation
\$5.00 Automation
\$2,064.00 Transfer Tax
PAID RECORDED - Oakland County, MI e-recorded
Lisa Brown, Clerk/Register of Deeds

Section 8, Item B.

STATE OF MICHIGAN
Oakland
7/10/2023
000055749



REAL ESTATE TRANSFER TAX
\$264.00 :00
\$1,800.00 :57
1384734

WARRANTY DEED

Grantor(s): Mary Jane Leslie aka Jane Leslie, [REDACTED]

Conveys and warrants to Grantee(s): Kevin Reiner, [REDACTED]

Land situated in the Township of Orion, County of Oakland, State of Michigan described as follows:

Southwesterly 18 feet of Lot 2 and all of Lot 3, Block 6, Orion Improvement Company's Subdivision NO. 1, as recorded in Liber 4, Page 19 of Plats, Oakland County Records.
Also all of vacated Border Ave adjacent to same.

This property may be located within the vicinity of farmland or a farm operation. Generally accepted agricultural and management practices which may generate noise, dust, odors, and other associated conditions may be used and are protected by the Michigan Right to Farm Act.

Commonly known as: 694 Victoria Island, Lake Orion, MI 48362

Tax Parcel No.: OL-09-03-481-009

For the full consideration of: Two Hundred Forty Thousand Dollars and No Cents (\$240,000.00) Subject to existing building and use restrictions and easements and rights of way of record.

Effective Date: 6/23/2023

Drafted by: Mary Jane Leslie aka Jane Leslie, 694 Victoria Island Lake Orion, MI 48362

Return to: Premier Title Agency, LLC 15501 Metropolitan Parkway STE 106 Clinton Township, MI 48036

Premier Title Agency, LLC File# 23-8243 Phone: (586)840-0444

Section 8, Item B.

(Attached to and becoming a part of the Deed dated: 23rd day of June, 2023 by and between: Mary Jane Leslie aka Jane Leslie, as "Grantor" and Kevin Reiner, as "Grantee")



Mary Jane Leslie aka Jane Leslie

State of Michigan }
County of Oakland }
SS}

The foregoing instrument was acknowledged before me this 23rd day of June, 2023, by Mary Jane Leslie aka Jane Leslie .

M. T. Zalucki
Notary Public, Macomb County MI
My commission expires 8/31/28
Acting in the County of Oakland

M. T. ZALUCKI
NOTARY PUBLIC - MICHIGAN
MACOMB COUNTY
ACTING IN THE COUNTY OF Oakland
MY COMMISSION EXPIRES 08/31/2028



Village of Lake Orion

21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org


SIGNATURE FORM

Village Planning & Zoning Applications require a physical signature of the Property Owner authorizing the proposed changes; if the Applicant is different than the Property Owner (e.g., Contractor, Architect, Engineer), a physical signature is also required from the authorized agent.

By signing below, you acknowledge all of the following:

- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application, if necessary.


Printed Name of Property Owner: KEVIN BEYNER

Signature of Property Owner: 

Date: 10/7/25

If the Applicant is different than the Property Owner, the following is also required:

Printed Name of Applicant / Contractor: Ed Sabl

Signature of Applicant / Contractor: 

Date: 10/7/25

October 7, 2025

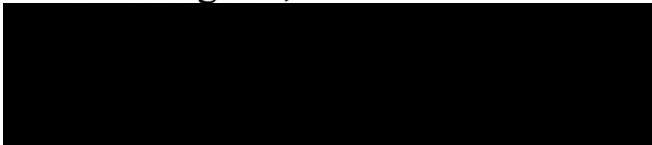
To whom it may concern:

I am working with Kevin Reiner at 694 Victoria Island in efforts to expand the existing dwelling. The property is located in the RL zoning district on the West side of Victoria Island and only accessible by boat. Although there are roads that exist as trails on the island, none of them abut the property.

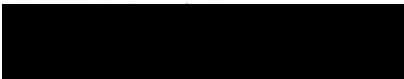
The proposed setback in question is the rear property line opposite the lake front. In most RL properties this would be the street setback. The placement of the addition is such that, as many mature trees on the property could be preserved while providing ample space for future improvement and maintenance of existing utilities.

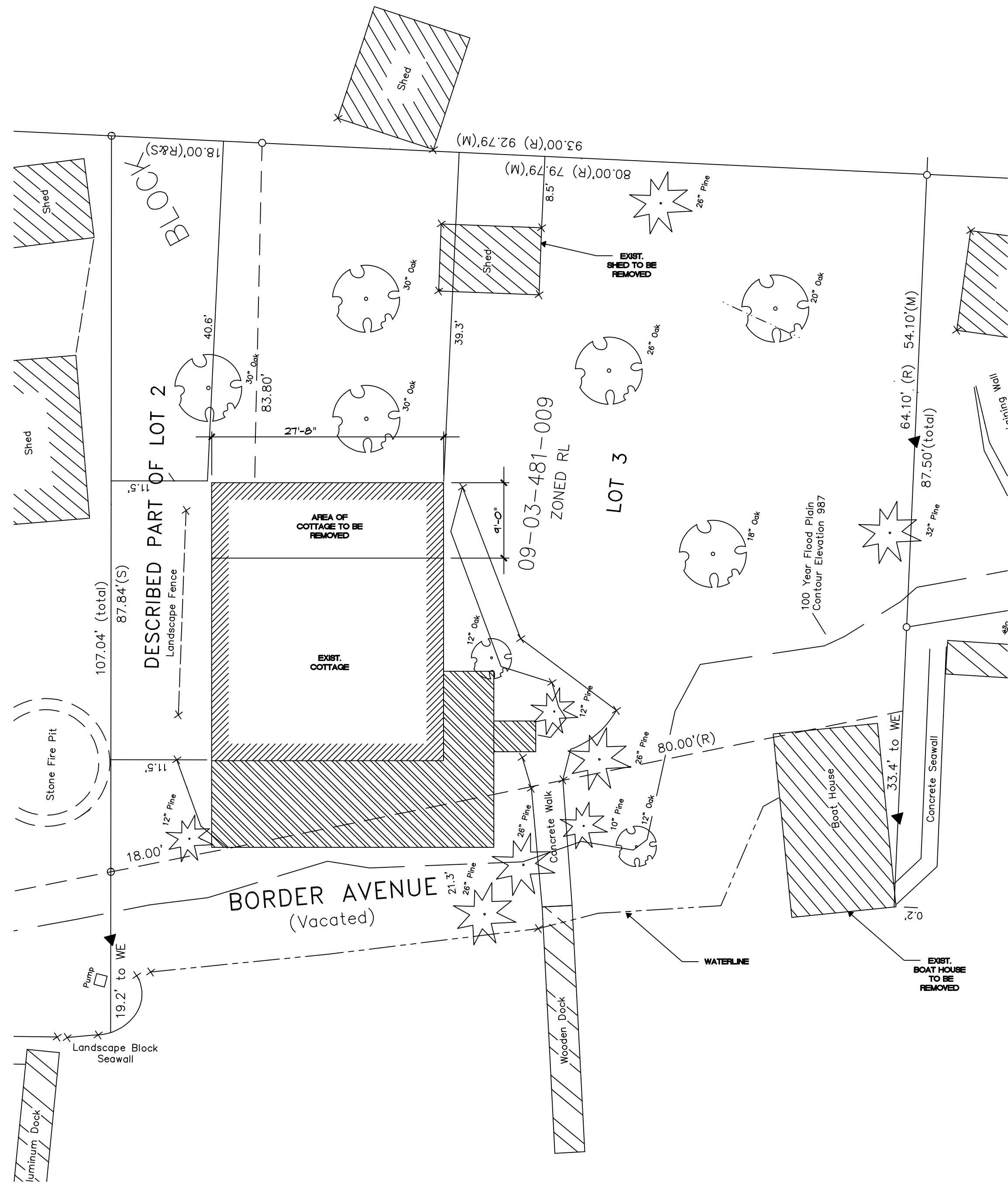
Your consideration of the proposed setbacks is sincerely appreciated.

Best Regards,

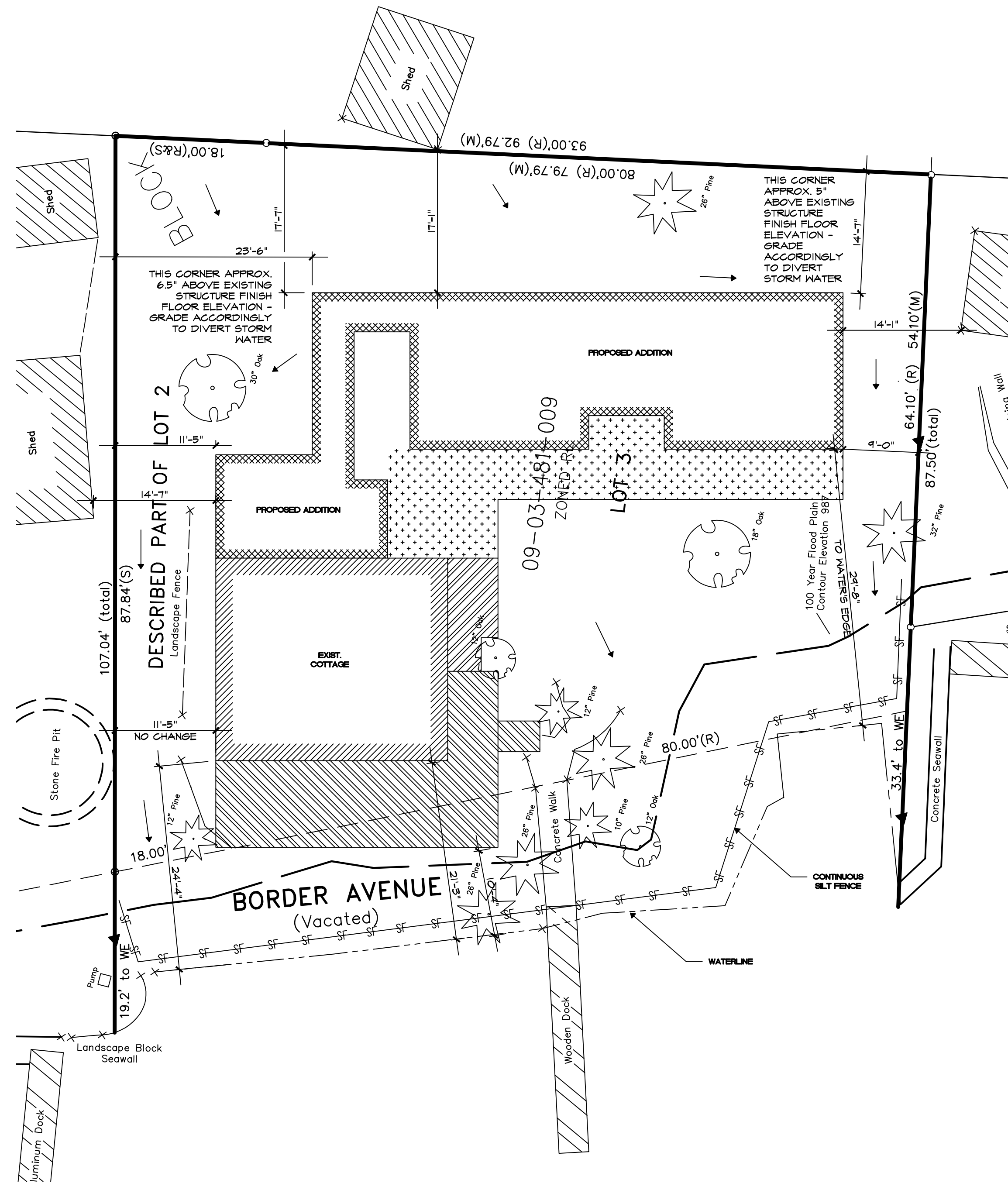


Edward Sabol





EXISTING CONDITIONS
1"=10'-0"



PROPOSED ARCHITECTURAL SITE PLAN
1"=10'-0"

PROPERTY DESCRIPTION

TAX ITEM 09-03-481-009
THE SOUTHWESTERLY 18 FEET OF LOT 2 AND ALL OF LOT 3, BLOCK 6 OF ORION IMPROVEMENT COMPANY'S SUBDIVISION NO. 1, A SUBDIVISION OF PART OF SECTIONS 2, 3, 10 AND 11, TOWNSHIP NORTH, RANGE 10 EAST, VILLAGE OF LAKE ORION, OAKLAND COUNTY, MICHIGAN, AS RECORDED IN LIBER 4 OF PLATS, PAGE 19 OF OAKLAND COUNTY RECORDS.

PROPOSED LOT COVERAGE

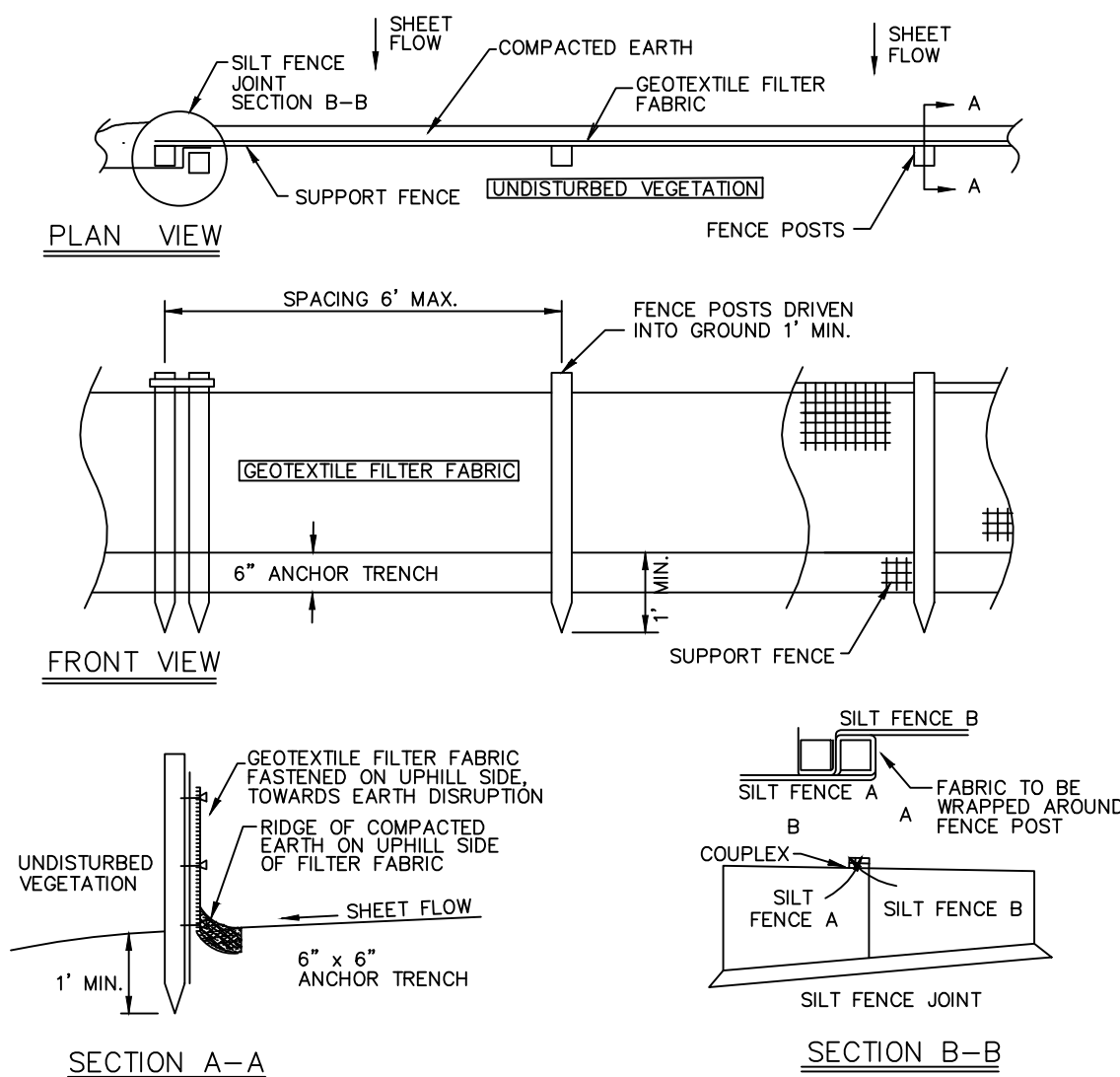
AREA OF PARCEL 09-03-481-009 ZONED "RL"	= 9,260 S.F.
AREA OF PARCEL 09-03-481-009 TO WATERS EDGE	= 8,550 S.F.
AREA OF PROPOSED RESIDENCE AFTER DEMOLITION/ADDITION	= 1,965 S.F.
AREA OF WOOD DECKS	= 503 S.F.
AREA OF NEW PATIO	= 454 S.F.
TOTAL LOT COVERAGE	= 2,922 S.F.
PROPOSED LOT COVERAGE	= 34.18%
MAXIMUM LOT COVERAGE ALLOWABLE	= 40% (OK)

PROPOSED SETBACKS

	REQUIRED	PROPOSED
FRONT (NORTH) RESIDENCE - DECK	25'-0"	21'-3" (EXISTING)
SIDE (EAST)	5'-0"	10'-4" (EXISTING)
REAR (SOUTH)	25'-0"	11'-5" (EXISTING)
SIDE (WEST)	5'-0"	14'-7"
		9'-0"

PROPOSED BUILDING HEIGHT

MAXIMUM ALLOWED	PROPOSED
30'-0"	20'-10"



SILT FABRIC FENCE

N.T.S.

CODED NOTES

EROSION CONTROL NOTES

1. ALL EROSION AND SEDIMENTATION CONTROL WORK SHALL CONFORM TO THE STANDARDS AND SPECIFICATIONS OF THE OAKLAND COUNTY WATER RESOURCES COMMISSION AND / OR THE TOWNSHIP OF ORION, VILLAGE OF LAKE ORION.
2. DAILY INSPECTIONS SHALL BE MADE BY THE CONTRACTOR FOR THE EFFECTIVENESS OF THE EROSION AND SEDIMENTATION CONTROL MEASURES, AND ANY NECESSARY REPAIRS SHALL BE PERFORMED WITHOUT DELAY.
3. EROSION AND SEDIMENTATION FROM WORK ON THIS SITE SHALL BE CONTAINED ON THE SITE AND NOT ALLOWED TO COLLECT ON ANY OFF SITE AREAS OR WATERWAYS.
4. THE CONTRACTOR SHALL APPLY TEMPORARY EROSION AND SEDIMENTATION CONTROL MEASURES WHEN REQUIRED AND AS DIRECTED ON THESE PLANS. TEMPORARY MEASURES SHALL BE REMOVED AS SOON AS PERMANENT STABILIZATION HAS BEEN ACCOMPLISHED.
5. STAGING THE WORK WILL BE DONE BY CONTRACTOR AS DIRECTED IN THE PLANS, AND AS REQUIRED TO INSURE PROGRESSIVE STABILIZATION OF DISTURBED EARTH.
6. SOIL EROSION CONTROL PRACTICES WILL BE ESTABLISHED IN EARLY STAGES OF CONSTRUCTION BY THE CONTRACTOR. SEDIMENT CONTROL PRACTICES WILL BE APPLIED AS A PERIMETER DEFENSE AGAINST ANY TRANSPORTING OF SILT OFFSITE.
7. ALL MUD / DIRT TRACKED ONTO EXISTING COUNTY ROADS FROM THIS SITE DUE TO CONSTRUCTION SHALL BE PROMPTLY REMOVED BY CONTRACTOR.
8. ALL SLOPES 3:1 OR STEEPER SHALL BE STABILIZED WITH PEGGED SOIL OR SEED AND MULCH SECURED WITH EROSION MATTING FOLLOWING MASS GRADING OPERATIONS.
9. THE SOIL EROSION CONTROLS WILL BE MAINTAINED WEEKLY AND AFTER EVERY STORM EVENT BY CONTRACTOR.

HATCH KEY

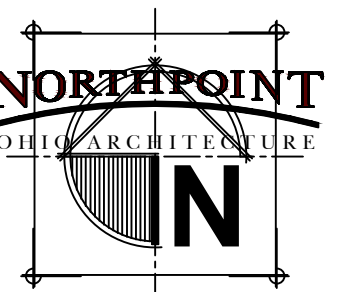
	EXISTING PRIMARY RESIDENCE TO REMAIN
	EXISTING AUXILIARY STRUCTURE
	PROPOSED ADDITION TO PRIMARY RESIDENCE
	EXISTING AREA OF WOOD DECK
	PROPOSED AREA OF NEW WOOD DECK
	PROPOSED AREA OF NEW PAVER PATIO

NOTE: SCOPE OF WORK / PROJECT INFORMATION FOR ALTERATION OF BUILDING IS NOT ALL INCLUSIVE ON THIS SHEET. GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO COORDINATE ALL PHASES / WORK ITEMS AS OUTLINED IN THE CONSTRUCTION DOCUMENTS, ADDENDA, AND CONTRACT FOR CONSTRUCTION WITH ALL NECESSARY TRADES AND SUB-CONTRACTOR'S.

REINER LAKE HOUSE

ALTERATION & ADDITION

Lake Orion, Michigan 48362
694 Victoria Island



19 NORTH 4th STREET
NEWARK, OHIO 43055

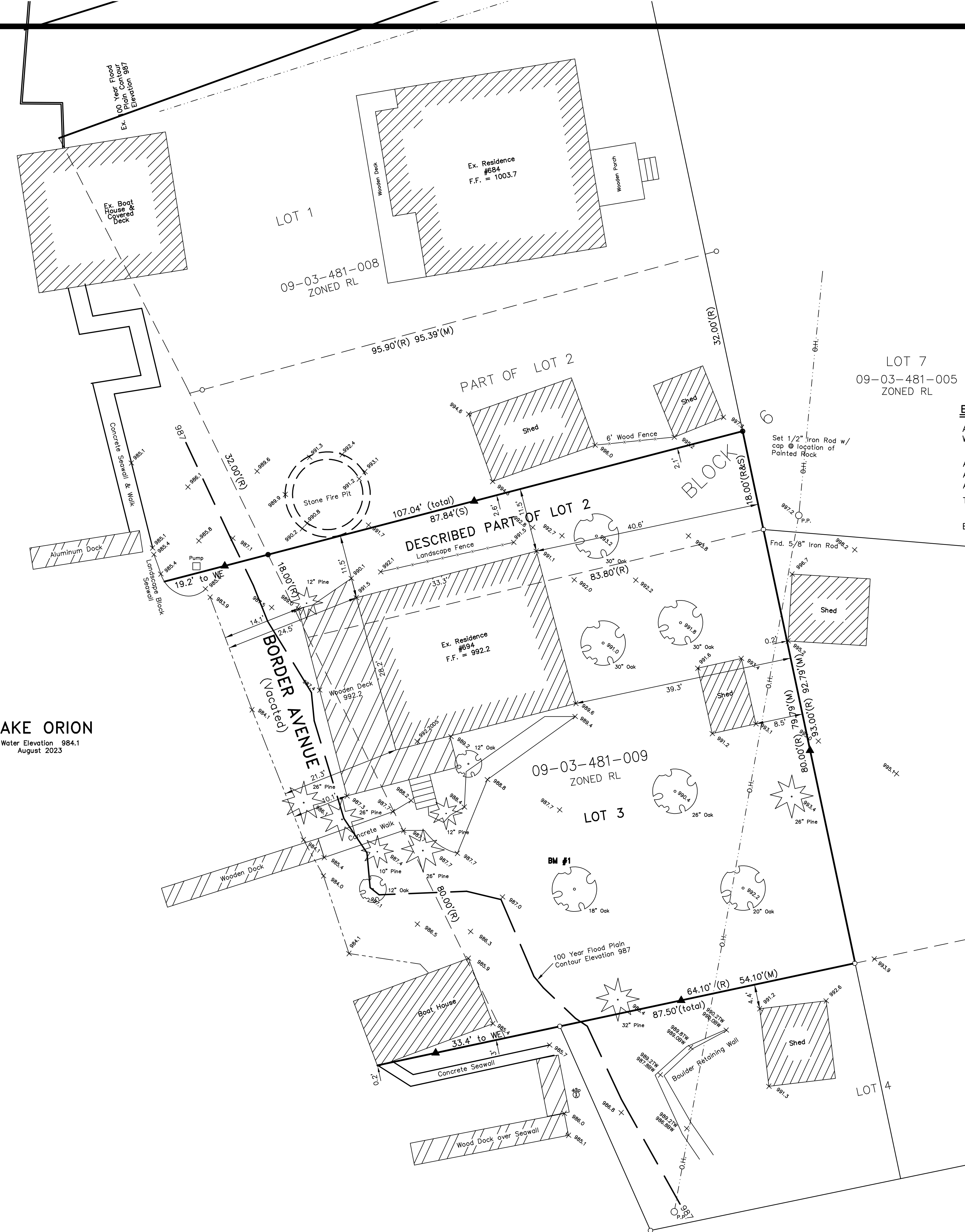
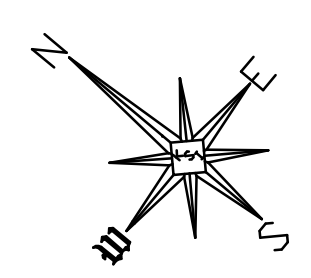
BRIDGING THE GAP BETWEEN
Art & TECHNOLOGY
EST. 1999
TEL: (740) 349-3222
FAX: (740) 349-3221

DRAWN BY	CAS
CHECKED BY	
CONVERSION NO.	
DATE	6 OCTOBER 2025
REVISIONS	

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PHILIP M. GLAGGETT
ARCHITECT
OHIO NO. 11947





PROPERTY DESCRIPTION: Tax Item 09-03-481-009

The Southwesterly 18 feet of Lot 2 and all of Lot 3, Block 6 of "ORION IMPROVEMENT COMPANY'S SUBDIVISION NO. 1", a subdivision of part of Sections 2, 3, 10 and 11, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan. As recorded in Liber 4 of Plats, page 19 of Oakland County Records.

NOTES:

- 1.) The 100 year flood plain contour line is shown on the STAKED SURVEY.
- 2.) The location of the existing sanitary sewer lead and water service lead are unknown and are not shown on the the STAKED SURVEY.
- 3.) There are no existing easements encumbering this site.
- 4.) There are no drainage courses encumbering this site.
- 5.) No ground mounted AC Units were located on this site.
- 6.) The Lot lines as shown on this STAKED SURVEY are held as previously surveyed or occupied and may not be necessarily the same lot lines as platted.
- 7.) The existing Boat House elevated above the water and is not included in the area calculations.

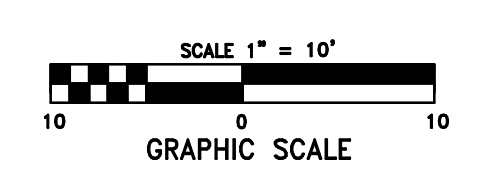
EXISTING PERCENTAGE OF COVERAGE (09-03-481-009)

Area of Parcel 09-03-481-009 to Water's Edge (not including Boat House)	=	8,556.5 Sq. Ft.
Area of Existing Residence #694	=	936.0 Sq. Ft.
Area of Deck & Steps	=	454.9 Sq. Ft.
Area of Existing Shed	=	96.0 Sq. Ft.
Total Area of Coverage	=	1,486.9 Sq. Ft.
Existing Percentage of Coverage	=	1,486.9 x 100 = 17.4%
		8,556.6

LEGEND:

- 987.5 x = EXISTING ELEVATION
- BM = BENCH MARK
- = FND. 1/2" IRON ROD UNLESS NOTED
- = SET 1/2" IRON ROD W/ ID CAP
- PP.O = EX. POWER POLE
- L.P.O = EX. LIGHT POLE W/ CONTROL BOX
- = EX. UTILITY RISER / PANEL
- = CLEAN OUT
- ⊙ = EX. SANITARY SEWER MANHOLE
- ⊕ = EX. GATE VALVE & WELL
- = EX. SIGN
- F.F. = FINISHED FLOOR
- O.H. = OVERHEAD LINES
- UG = UNDER GROUND LINES
- GM = GAS METER
- EM = ELECTRIC METER
- DS = DOOR SILL
- R = RECORDED DISTANCE
- M = MEASURED DISTANCE
- C = CALCULATED DISTANCE
- = DIRECTION OF FLOW
- [Pattern] = EX. BITUMINOUS SURFACE
- [Pattern] = EX. GRAVEL SURFACE
- [Pattern] = EX. CONCRETE SURFACE
- [Pattern] = EX. BRICK PAVER SURFACE
- [Pattern] = EX. WOODEN SURFACE
- AB = AS BUILT

LAKE ORION
Water Elevation 984.1
August 2023



DATA FILE: 15-7371



CAUTION!
THE LOCATION AND ELEVATIONS OF EXISTING UNDERGROUND UTILITIES AS SHOWN ON THIS DRAWING ARE ONLY APPROXIMATE. NO GUARANTEE IS EITHER EXPRESSED OR IMPLIED AS TO THE COMPLETENESS OF ACCURACY THEREOF. THE CONTRACTOR SHALL BE EXCLUSIVELY RESPONSIBLE FOR DETERMINING THE EXACT LOCATION AND ELEVATION PRIOR TO THE START OF CONSTRUCTION.

BENCH MARK (BM)

BM #1 = Set #60 Nail north face 18" Oak
Elev. = 988.47

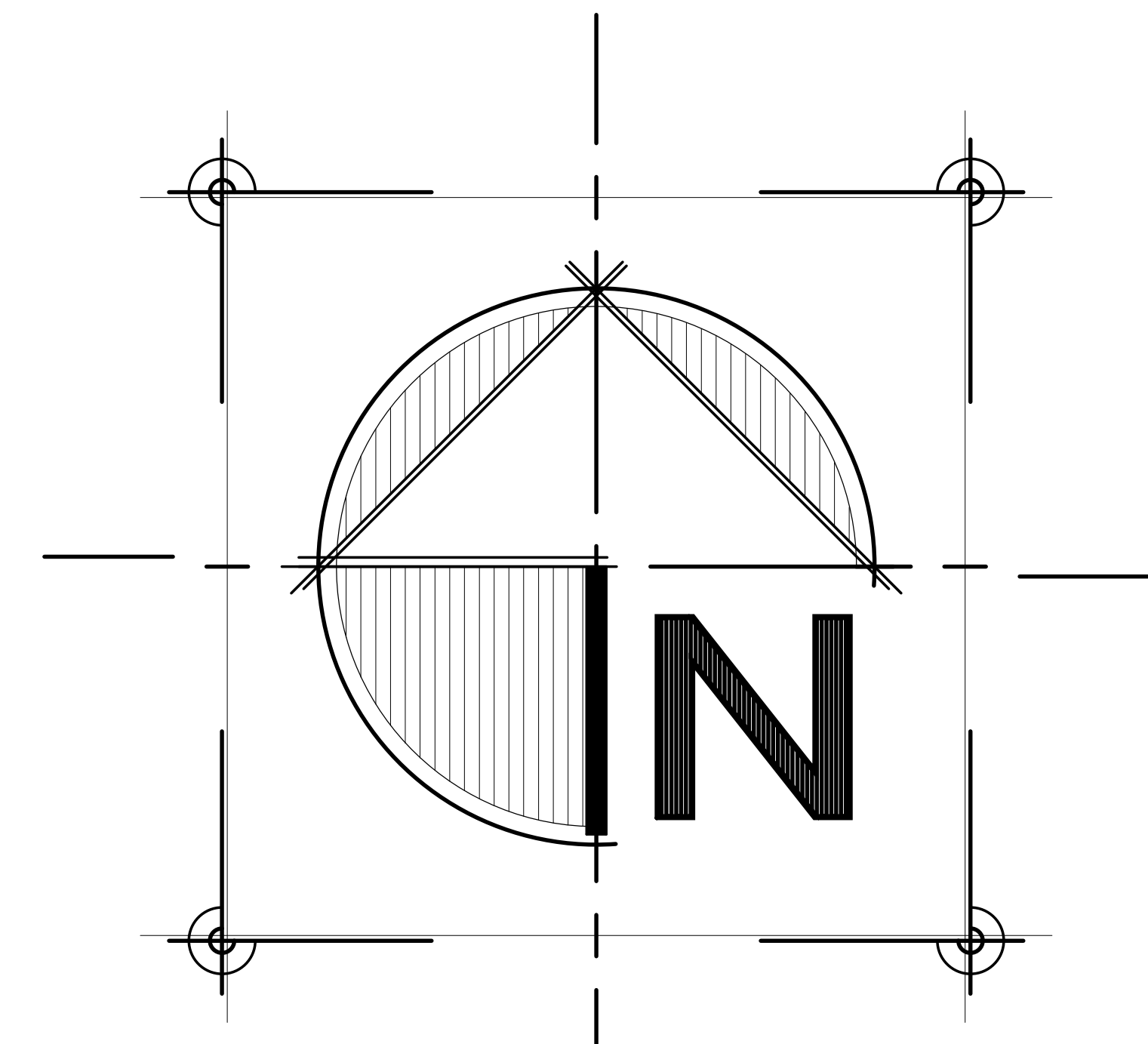
No.	By	Chk	Description	DATE
REVISIONS				
STAKE SURVEY (EXISTING CONDITIONS) For:				
KEVIN REINER 219 West Broadway Granville, Ohio, 43023				
Contact Person:			Phone: (248) XXX-XXXX	
KENNEDY SURVEYING, INC. 105 N. Washington St. Oxford, Michigan 48371				
Fax: (248) 628-7191		Phone: (248) 628-4241		
Drawn By: SST	Date: 09/12/23	Scale: 1" = 10'	Sheet No. 1	
Chk'd: HKK	Drawing No. 23-91611	Job No. 23-9161		

ABBREVIATIONS	
A.F.F.	ABOVE FINISH FLOOR
AG.	AGRE
AGG.	AGGREGATE
ALT.	ALTERNATE
ALUM.	ALUMINUM
A.B.	ANCHOR BOLT
ANGL.	ANGLE
ASBY	ASSEMBLY
BRG.	BEARING
B.M.	BENCH MARK
B.L.	BLACK
BD.	BOARD
BDT.	BOTTOM
B.G.	BOTTOM OF CURB
BLDG.	BUILDING
CL.	CHANNEL
G.O.	GLEAN OUT
GLR.	GLUE
G.L.	GUM
CONC.	CONCRETE
C.B.	CONCRETE BLOCK
C.M.U.	CONCRETE MASONRY UNIT
COND.	CONCRETE
CONSTR.	CONSTRUCTION
CONT.	CONTINUOUS
CONTR.	CONTRACTOR
CONTR. J.	CONTRACT JOINT
DIA.	DIAMETER
DM.	DIMENSION
DBL.	DOUBLE
DN.	DOWNSPUT
D.F.	DRINKING FOUNTAIN
DRY.	DRY
EACH	EACH
E.H.	EACH WAY
ELEC.	ELECTRICAL
E.W.C.	ELECTRIC WATER COOLER
ELEV.	ELEVATION
EPDM.	ETHYLENE PROPYLENE DIENE TERPOLYMER
EQ.	EQUAL
E.Q.P.	EQUIPMENT
EX.	EXISTING
EXP.	EXPANSION
EXT.	EXTERIOR
E.I.F.S.	EXTERIOR INSULATION FINISH SYSTEM
FACT.	FACTORY
F.A.C.	FIELD FIELD
FIN.	FINISH
F.O.	FINISH OPENING
F.E.	FIRE EXTINGUISHER
FL.	FLOOR
F.D.	FLOOR DRAIN
FT.	FOOT
FTS.	FOOTING
FN.T.	FOUNDATION
GA.V.	GALVANIZED
GA.	GAUGE
G.C.	GENERAL CONTRACTOR
GL.	GLASS
G.C.T.	GLAZED CERAMIC TILE
H.C.P.	HANDICAP
HWR.	HARDWARE
H.V.	HEATING, VENTILATING & AIR CONDITIONING
HT.	HEIGHT
H.C.	HOLLOW CORE
H.M.	HOLLOW METAL
HORIZ.	HORIZONTAL
H.B.	HOSE BIBB
H.R.	HOUR
H.	HIGH
I.D.	INSIDE DIAMETER
INSUL.	INSULATION
INT.	INTERIOR
INVT.	INVERT
J.	JOINT
JST.	JOIST
LAM.	LAMINATE
LT. GA.	LIGHT GAUGE
L.G.	LONG
MFR.	MANUFACTURER
M.O.	MASONRY OPENING
MATL.	MATERIAL
MAX.	MAXIMUM
MECH.	MECHANICAL
M.T.L.	METAL
M.N.	MANSARD
M.T.	MOUNTED
N.F.P.A.	NATIONAL FIRE PROTECTION ASSOCIATION
NON-COMB.	NON-COMBUSTIBLE
N.C.	NOT IN CONTRACT
N.T.S.	NOT TO SCALE
O.C.	ON CENTER
OZ.	OUNCE
O.S.	OUTSIDE DIAMETER
O.H.	OVERHEAD
PTD.	PAINTED
PLAS.	PLASTER
PLAS. LAM.	PLASTIC LAMINATE
PL.	PLATE
PLUMB.	PLUMBING
POLY.	POLYETHYLENE
P.T.	PRESSURE TREATED
Q.T.	QUARRY TILE
RECOM.	RECOMMENDATION
REF.	REFERENCE
REIN.	REINFORCING
REQU.	REQUIRED
R.H.	RIGHT OF WAY
R.D.	ROOF DRAIN
RK.	ROOM
R.O.	ROUGH OPENING
SAN.	SANITARY
SCHED.	SCHEDULED
S.H.	SHOP HELD
SH.	SHOULDER
S.B.	SOIL BEARING
S.S.	STAINLESS STEEL
SPEC.	SPECIFICATIONS
STD.	STANDARD
STL.	STEEL
STM.	STORM
STRUC.	STRUCTURAL
SUP.	SUPPLEMENT
T & B	TOP AND BOTTOM
TEMP.	TEMPERED
T.G.	TOP OF CURB
T.O.F.	TOP OF FOOTING
T.O.S.	TOP OF SLAB
T.O.H.	TOP OF HALL
T.S.	TUBE STEEL
TYP.	TYPICAL
UL.	UNDERWRITERS' LABORATORY
UNO.	UNLESS NOTED OTHERWISE
V.B.	VAPOR BARRIER
VERT.	VERTICAL
V.C.T.	VINYL COMPOSITION TILE
V.H.C.	VINYL HALL COVERING
HAF.	WELDED WIRE FABRIC
H.M.H.	WELDED WIRE MESH
W.	WITH
W/O.	WITHOUT
W.D.	WOOD
V.C.B.	VINYL COVE BASE
V.P.B.	VINYL PLAT BASE

GENERAL BUILDING NOTES :

- THIS STRUCTURE, IN ADDITION TO THE PROPER TRIBUTARY DEAD LOADS, IS DESIGNED TO RESIST THE FOLLOWING LIVE LOAD CONDITIONS:
 ROOF - 25 PSF (GROUND SNOW LOAD)
 CEILING JOISTS - 20 PSF LIVE LOAD
 SECOND FLOOR - 40 PSF LIVE LOAD
 FIRST FLOOR - 40 PSF LIVE LOAD
 EXTERIOR BALCONIES - 60 PSF LIVE LOADS
 DECKS - 40 PSF
 STAIRS - 40 PSF
 WIND - 40 MPH BASIC WIND SPEED
- UNLESS SPECIFICALLY STATED ON THE DRAWINGS, DIMENSIONAL LUMBER SHALL BE SPRUCE PINE FIR NO. 2 (CANADIAN) WITH PROPERTIES AS STATED BELOW:
 2x4: F_b = 1,510 PSI (SINGLE MEMBER)
 F_b = 1,510 PSI (REPETITIVE MEMBER)
 F_t = 640 PSI (PARALLEL)
 F_c = 1,265 PSI (PARALLEL)
 2x6: F_b = 1,140 PSI (SINGLE MEMBER)
 F_b = 1,130 PSI (REPETITIVE MEMBER)
 F_t = 550 PSI (PARALLEL)
 F_c = 1,210 PSI (PARALLEL)
 2x8: F_b = 1,050 PSI (SINGLE MEMBER)
 F_b = 1,210 PSI (REPETITIVE MEMBER)
 F_t = 510 PSI (PARALLEL)
 F_c = 1,155 PSI (PARALLEL)
 2x10: F_b = 960 PSI (SINGLE MEMBER)
 F_b = 1,105 PSI (REPETITIVE MEMBER)
 F_t = 470 PSI (PARALLEL)
 F_c = 1,100 PSI (PARALLEL)
 2x12: F_b = 875 PSI (SINGLE MEMBER)
 F_b = 1,005 PSI (REPETITIVE MEMBER)
 F_t = 425 PSI (PARALLEL)
 F_c = 1,100 PSI (PARALLEL)
 FOR ALL SIZES:
 F_v = 10 PSI
 F_c = 425 PSI (PERPENDICULAR)
 E = 1,400,000 PSI
 LUMBER WITH VALUES GREATER THAN THOSE LISTED ABOVE MAY BE USED. THE OWNER AND CONTRACTOR ARE CAUTIONED THAT SOME TYPES OF WOOD MAY SHRINK, BOW, AND WARP MORE THAN OTHERS. SHRINKING, BOWING AND WARPING SHOULD BE CONSIDERED WHEN SELECTING THE WOOD TO BE USED FOR THIS STRUCTURE.
- DIMENSIONAL LUMBER SHALL HAVE A MAXIMUM MOISTURE CONTENT OF 14 %.
- FLOORING SHALL BE 3/4" MINIMUM THICKNESS TONGUE AND GROOVE EXPOSURE 1 PLYWOOD OR APPROVED EQUAL.
- PLYWOOD FOR ROOFING SHALL BE AS FOLLOWS:
 TRUSSES/RAFTERS @ 16' O.C. -
 1/2" EXPOSURE 1 PLYWOOD (ASPHALT SHINGLES)
 TRUSSES/RAFTERS @ 24' O.C. -
 7/16" EXPOSURE 1 PLYWOOD (ASPHALT SHINGLES)
 TRUSSES/RAFTERS @ 16' O.C. -
 3/4" EXPOSURE 1 PLYWOOD (SLATE SHINGLES)
 PROVIDE PLYWOOD CLIPS @ 8" O.C. AT UNSUPPORTED EDGES.
- WALL CONSTRUCTION SHALL CONFORM TO THE FOLLOWING UNLESS COMPUTATIONS SPECIFICALLY DESIGNED FOR THIS HOUSE ARE INCLUDED:
 WALLS UP TO 8'-6" HIGH - 2x4's @ 16' O.C.
 WALLS FROM 8'-1" TO 10'-0" HIGH - 2x6's @ 16' O.C.
- WOOD EXPOSED TO WEATHER IN THE FINISHED STRUCTURE, SILL PLATES AND THE BOTTOM PLATES OF WALLS BEARING ON CONCRETE OR MASONRY SHALL BE SOUTHERN PINE NO. 2 DENSE AND SHALL BE TREATED WITH THE OXIDE FORM OF CHROMATED COPPER ARSENATE (CCA) AT THE RATE OF 0.40 POUNDS PER CUBIC FOOT. COMPLY WITH WESTERN WOOD PRODUCTS ASSOCIATION "TREATED WOOD HANDLING ADVISORY" AND AMERICAN WOOD PRESERVERS TECHNICAL GUIDELINES CONCERNING CONSTRUCTION WITH TREATED WOOD.
 8. ROOF TRUSSES SHALL BE DESIGNED BY A STRUCTURAL ENGINEER REGISTERED IN THE STATE OF OHIO. TRUSSES SHALL BE DESIGNED IN ACCORDANCE WITH THE NATIONAL DESIGN SPECIFICATION FOR WOOD (NDS) 1981 EDITION AND THE TRUSS PLATE INSTITUTE RECOMMENDED PRACTICE OF DESIGN TPI-85. ROOF TRUSSES SHALL BE DESIGNED TO SUPPORT THE FOLLOWING LOADS:
 TOP CHORD LIVE LOAD = 25 PSF (GROUND SNOW LOAD)
 TOP CHORD DEAD LOAD = 10 PSF (15 PSF IF SLATE SHINGLES ARE USED)
 BOTTOM CHORD LIVE LOAD = 20 PSF
 BOTTOM CHORD DEAD LOAD = 10 PSF
 TOTAL LOAD = 65 PSF (70 PSF IF SLATE SHINGLES ARE USED)
 ROOF TRUSSES SHALL BE DESIGNED TO COMPLY WITH THE FOLLOWING DEFLECTION CRITERIA:
 LIVE LOAD DEFLECTION = L/480 (MAX. = 0.575 INCHES)
 DEAD LOAD DEFLECTION = L/480 (MAX. = 0.575 INCHES)
 (SUBMIT W/ BUILDING PERMIT APPLICATION)
- NAILING SHALL APPLY ENOUGH CLAMPING FORCE TO HOLD THE MATING SURFACES IN CONTACT UNTIL THE GLUE ATTAINS FULL STRENGTH. SHORE JOINTS NOT IN COMPRESSION UNTIL GLUE ATTAINS FULL STRENGTH. GLUING SHALL CONFORM TO THE MANUFACTURER'S RECOMMENDATIONS AND ALSO TO THE FOLLOWING:
 A. PLACE CONTINUOUS BEAD(S) OF GLUE ON ONE OF THE SURFACES TO BE GLUED.
 B. SPREAD GLUE OVER 100% OF SURFACE TO BE MATED
 C. NAIL PIECES TOGETHER SO THAT SURFACES ARE HELD TIGHTLY TOGETHER UNTIL GLUE SETS.
 D. WIPE AWAY ANY EXCESS GLUE WHICH IS EXPELLED IF ITS APPEARANCE WILL BE UNACCEPTABLE IN THE FINISHED STRUCTURE.
 CONFORM TO THE REQUIREMENTS OF THE FOLLOWING FASTENING SCHEDULE:
 A. ROOF TRUSSES / RAFTERS TO WALLS AND HEADERS: FASTEN WITH SIMPSON STRONG-TIE ANCHOR "H4" OR AS SHOWN ON DRAWINGS.
 B. OPENING HEADERS MADE WITH MULTIPLE 2x's AND PLYWOOD: GLUE AND NAIL TOGETHER.
 C. MULTIPLE LVL LUMBER: IN ACCORDANCE WITH MANUFACTURER'S RECOMMENDATIONS OR AS NOTED ON DRAWINGS.
 D. THE CONTRACTOR MAY, AT HIS OPTION, ATTACH DRYWALL IN ACCORDANCE WITH APPENDIX C OF THE 1992 OHIO BASIC BUILDING CODE (OBB) OR ATTACH DRYWALL IN ACCORDANCE WITH THE ADHESIVE METHOD AS RECOMMENDED BY THE UNITED STATES GYPSUM COMPANY.
 OTHER MEMBER FASTENING SHALL COMPLY WITH APPENDIX 'C' OF THE 2007 OHIO BUILDING CODE (OBC).
- IT IS PERMISSIBLE TO USE LARGER LVL MEMBER SIZES THAN SHOWN ON THE DRAWINGS. USE ONLY COMPLETELY DRIED LVL'S THAT HAVE BEEN PROTECTED FROM THE WEATHER. THE MOISTURE CONTENT OF LVL'S INSTALLED SHALL BE THE SAME AS RECOMMENDED BY THE MANUFACTURER.
- UNLESS NOTED OTHERWISE, ALL STEEL COLUMNS SHALL CONFORM TO BOGA RESEARCH AND EVALUATION COMMITTEE RESEARCH REPORT NO. 88-75.
- COLUMNS BEARING ON MASONRY WALLS SHALL BEAR ON A 100% SOLID BLOCK, BELOW THE 100% SOLID BLOCK, FILL CORES WITH (2) #6'S VERTICAL AND ASTM C-476 GROUT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO FURNISH PROPERLY DESIGNED CONNECTIONS FOR ALL MEMBERS NOT SPECIFICALLY STATED ON THE DRAWINGS. THE CONTRACTOR SHALL USE SIMPSON STRONG-TIE PRODUCTS, AND SHALL INSTALL ALL OF THE FASTENERS RECOMMENDED BY THE MANUFACTURER.
- WOOD CONSTRUCTION SHALL CONFORM WITH THE "NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION" AND DESIGN VALUES FOR WOOD CONSTRUCTION LATEST EDITIONS.
- STEEL FABRICATION AND DESIGN SHALL COMPLY WITH AISC "SPECIFICATIONS FOR STRUCTURAL STEEL BUILDINGS" - ALLOWABLE STRESS DESIGN AND PLASTIC DESIGN - EFFECTIVE JUNE 1, 1989.
- CONCRETE WORK SHALL COMPLY WITH:
 A. ACI 301-84 "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDINGS", (REVISED 1989)
 B. ACI 318-89 "BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE".
- ANCHOR BOLTS SHALL CONFORM TO ASTM A307.
- REINFORCING STEEL SHALL BE GRADE 60.
- CONCRETE SHALL HAVE A MINIMUM OF 28 DAY COMPRESSIVE STRENGTH OF 3000 PSI EXCEPT AS NOTED. CONCRETE EXPOSED TO THE WEATHER AND IN A HORIZONTAL POSITION IN THE FINAL STRUCTURE, INCLUDING GARAGE FLOOR SLABS AND SIDEWALKS, SHALL HAVE A MINIMUM OF 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI AND SHALL CONTAIN ENTRAINED AIR IN ACCORDANCE WITH TABLE 3.4.1 ACI 301.84.
- ALL LUMBER, INCLUDING ENGINEERED LUMBER, FURNISHED FOR THIS PROJECT SHALL BE STORED TO PREVENT THE ABSORPTION OF MOISTURE. MEMBERS THAT HAVE ABSORBED MOISTURE TO THE EXTENT THAT IT AFFECTS THE PERFORMANCE OF THE MEMBER, SHALL NOT BE USED.
- DRAWING SCALE: WORKING DRAWINGS ARE NOT TO BE SCALED BY OWNER/ CONTRACTOR FOR DIMENSIONING PURPOSES. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALING OF DRAWINGS. CONTACT ARCHITECT FOR DIMENSION / SCALING DISCREPANCIES.
- FOR ELEMENTS OF CONSTRUCTION NOT SPECIFICALLY NOTED ON THESE DRAWINGS, COMPLY WITH THE OHIO BUILDING OFFICIALS ASSOCIATION (OBA) 1989 EDITION AND THE CENTRAL OHIO CODE OFFICIALS MODEL CODE AMENDMENTS.
- THE HOUSE IS STRUCTURALLY STABLE WHEN COMPLETED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO PROVIDE PROPER BRACING DURING CONSTRUCTION & TO PROVIDE A SAFE WORKING ENVIRONMENT DURING CONSTRUCTION.
- CONTRACTOR TO DESIGN AND OBTAIN OWNER'S APPROVAL FOR ALL ELECTRICAL, HVAC, PLUMBING, AND SITE-WORK PRIOR TO CONSTRUCTION.
- ALL ELECTRICAL WORK SHALL COMPLY WITH THE LATEST EDITION OF THE N.E.C., STATE, AND LOCAL CODES.
- SOIL BEARING IS ASSUMED TO BE 2,000 PSF MINIMUM. CONTRACTOR IS RESPONSIBLE TO VERIFY.
- CONTRACTOR TO PROVIDE OWNER WITH ALL INSTRUCTION MANUALS, WARRANTIES, MAINTENANCE MANUALS, ETC. FOR ALL EQUIPMENT OR FIXTURES THAT ARE INSTALLED.
- PROVIDE GFI ELECTRICAL IN ALL BATHROOMS, AT KITCHEN COUNTERS, AND IN LAUNDRY ROOM.
- PLUMBING CONTRACTOR TO COORDINATE LOCATIONS OF FIXTURES ALONG W/ ROOF PENETRATIONS W/ STRUCTURAL MECHANICAL, AND ELECTRICAL WORK.
- CONTRACTOR TO WATERPROOF ALL CONCEALED EXTERIOR SURFACES OF BASEMENT WALLS PRIOR TO BACK-FILLING AND THOROSEAL ALL INTERIOR BASEMENT WALLS.
- CONTRACTOR TO COORDINATE PLUMBING, FURNACE, AND FLOOR DRAIN LOCATIONS PRIOR TO SLAB POUR.
- FLOOR PLAN DIMENSIONS ARE TO FACE OF FRAMING, UNLESS NOTED OTHERWISE.
- ALL INTERIOR WALLS TO BE 2 X 4 STUDS AT 16" O.C. WITH PAINTED 5/8" DRYWALL ON BOTH SIDES. PROVIDE 1/2" MOISTURE RESISTANT DRYWALL IN ALL BATHROOMS.
- WOOD BASE AND CASING AS SELECTED BY OWNER.
- ALL EXTERIOR WALLS TO BE 2 X 6 STUDS 16" O.C. WITH PAINTED 1/2" DRYWALL ON 4 MIL VAPOR BARRIER, 5-1/2" BATT INSULATION IN ALL STUD SPACES AND 5/8" WALLBOARD ON EXTERIOR SURFACE. PROVIDE EXTERIOR FINISH PER WALL SECTION 4 EXTERIOR ELEVATIONS.
- CONTRACTOR TO PROVIDE GUTTERS AND DOWNSPOUT AS REQUIRED THROUGHOUT. CONTRACTOR TO PROPOSE DOWNSPOUT LOCATIONS THAT WILL WORK WITH THE SITE TOP TO ENSURE DRAINAGE AWAY FROM HOUSE & SHALL OBTAIN OWNERS APPROVAL PRIOR TO INSTALLATION.
- PROVIDE SOLID BLOCKING BELOW ALL MULTIPLE STUD POSTS.
- ALL STUD POSTS TO BE (2) 2 X 4'S #2 SFF AT BEAM BEARING POINTS (UNLESS NOTED OTHERWISE). NAIL TOGETHER WITH 16p NAILS AT 12" O.C.
- MULTIPLE MEMBER BEAMS TO BE NAILED TOGETHER WITH 2 ROWS OF 16p NAILS AT 12" O.C.
- NAILING PATTERNS ARE BASED ON COMMON NAIL SIZES, INCREASE BY 25% IF CEMENT COATED SINKERS OR NAIL GUN IS USED.
- 1 x 2" x 1" BRIDGING AT MIDSPAN OF ALL FLOOR JOISTS, GREATER THAN 8'-0" SPAN
- CONTRACTOR IS RESPONSIBLE FOR PROPOSED CUT SHEETS OF DOOR & WINDOW TYPES, HARDWARE, ACCESSORIES ETC. FOR OWNERS APPROVAL.
- ALL EXTERIOR CORNERS SHALL BE BRACED WITH 1/2" STRUCTURE BD. NAIL 8d COMMONS @ 6" O.C. AT EDGES AND 8d COMMONS @ 12" AT INTERMEDIATE STUD. CONTRACTORS OPTION: DIAGONAL CORNER BRACES BOTH WAYS @ EXT. CORNERS.
- SMOKE DETECTORS MUST BE LOCATED & INSTALLED IN ACCORDANCE W/ O.B.B.C. SECTION R-215
- ATTIC ACCESS MUST COMPLY WITH CABO SECTION R-208 (1 HOUR)
- BATHROOM VENTILATION MUST COMPLY W/ CABO SECTION R-209.3
- TYPICAL EXTERIOR LINTEL - DOUBLE 2 x 12 W/ 1/2" PLYWOOD (GLUE AND NAIL)
- PROVIDE FREEZE PROOF HOSE BIBBS CONSULT OWNER ON LOCATIONS

NORTHPOINT



ARCHITECTURE

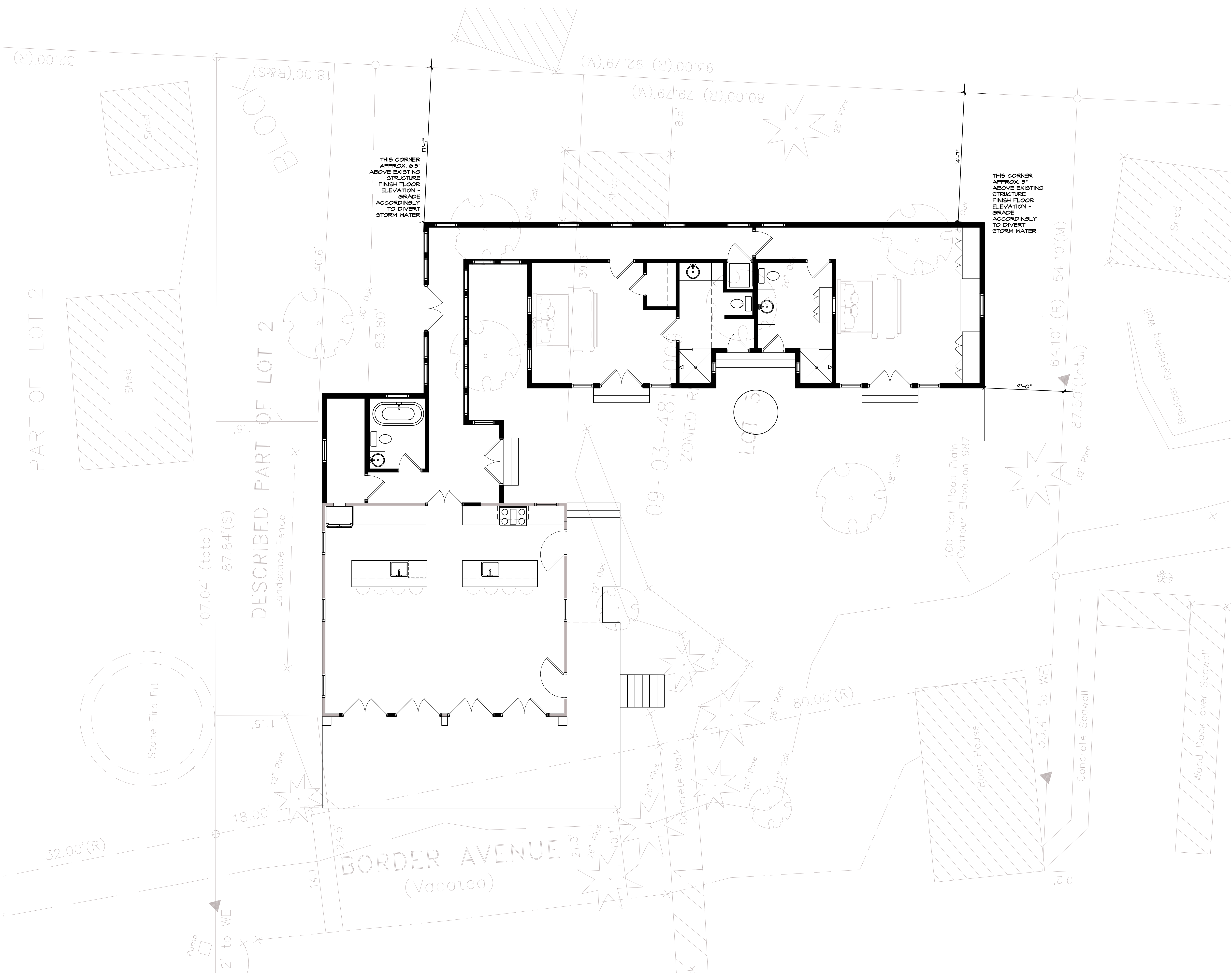
REINER LAKE HOUSE

ALTERATION & ADDITION

BUILDER'S SET OF WORKING DRAWINGS

22 APRIL 2024

CODED NOTES



THIS CORNER APPROX. 6.5' ABOVE EXISTING STRUCTURE FINISH FLOOR ELEVATION - GRADE ACCORDINGLY TO DIVERT STORM WATER

THIS CORNER APPROX. 5' ABOVE EXISTING STRUCTURE FINISH FLOOR ELEVATION - GRADE ACCORDINGLY TO DIVERT STORM WATER

09-03-481 ZONED R

LOT 3

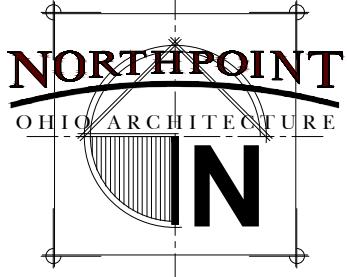
100 Year Flood Plain Contour Elevation 987

NOTE: SCOPE OF WORK / PROJECT INFORMATION FOR ALTERATION OF BUILDING IS NOT ALL INCLUSIVE ON THIS SHEET. GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO COORDINATE ALL PHASES / WORK ITEMS AS OUTLINED IN THE CONSTRUCTION DOCUMENTS, ADDENDA, AND CONTRACT FOR CONSTRUCTION WITH ALL NECESSARY TRADES AND SUB-CONTRACTOR'S.

PROPOSED ARCHITECTURAL SITE PLAN
3/16"=1'-0"

REINER LAKE HOUSE

ALTERATION & ADDITION



19 NORTH 4th STREET
NEWARK, OHIO 43055

BRIDGING THE GAP BETWEEN
ART & TECHNOLOGY
EST. 1999
TEL: (740) 349-3222
FAX: (740) 349-3221

DRAWN BY	CAS
CHECKED BY	
COMMISSION NO.	
DATE	22 APRIL 2024
REVISIONS	

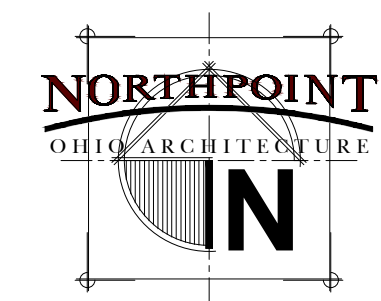
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ARCHITECT
OHIO NO. 11947

SHEET No.
C-1
OF 13 SHEETS

REINER LAKE HOUSE

ALTERATION & ADDITION



19 NORTH 4th STREET
NEWARK, OHIO 43055
BRIDGING THE GAP BETWEEN
ART & TECHNOLOGY
EST. 1999
TEL: (740) 349-3222
FAX: (740) 349-3221

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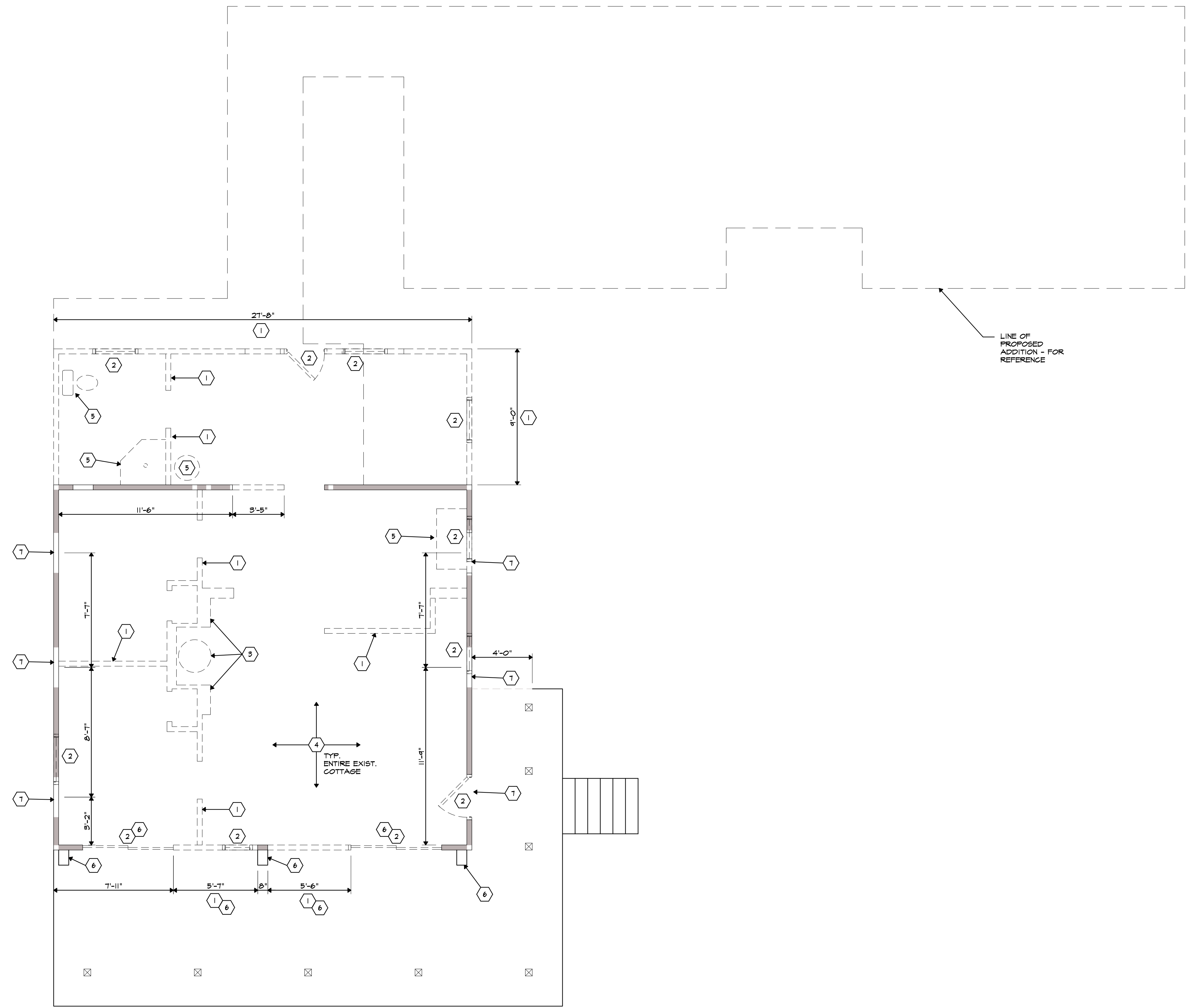
SHEET No.

D-1

OF 13 SHEETS

CODED NOTES

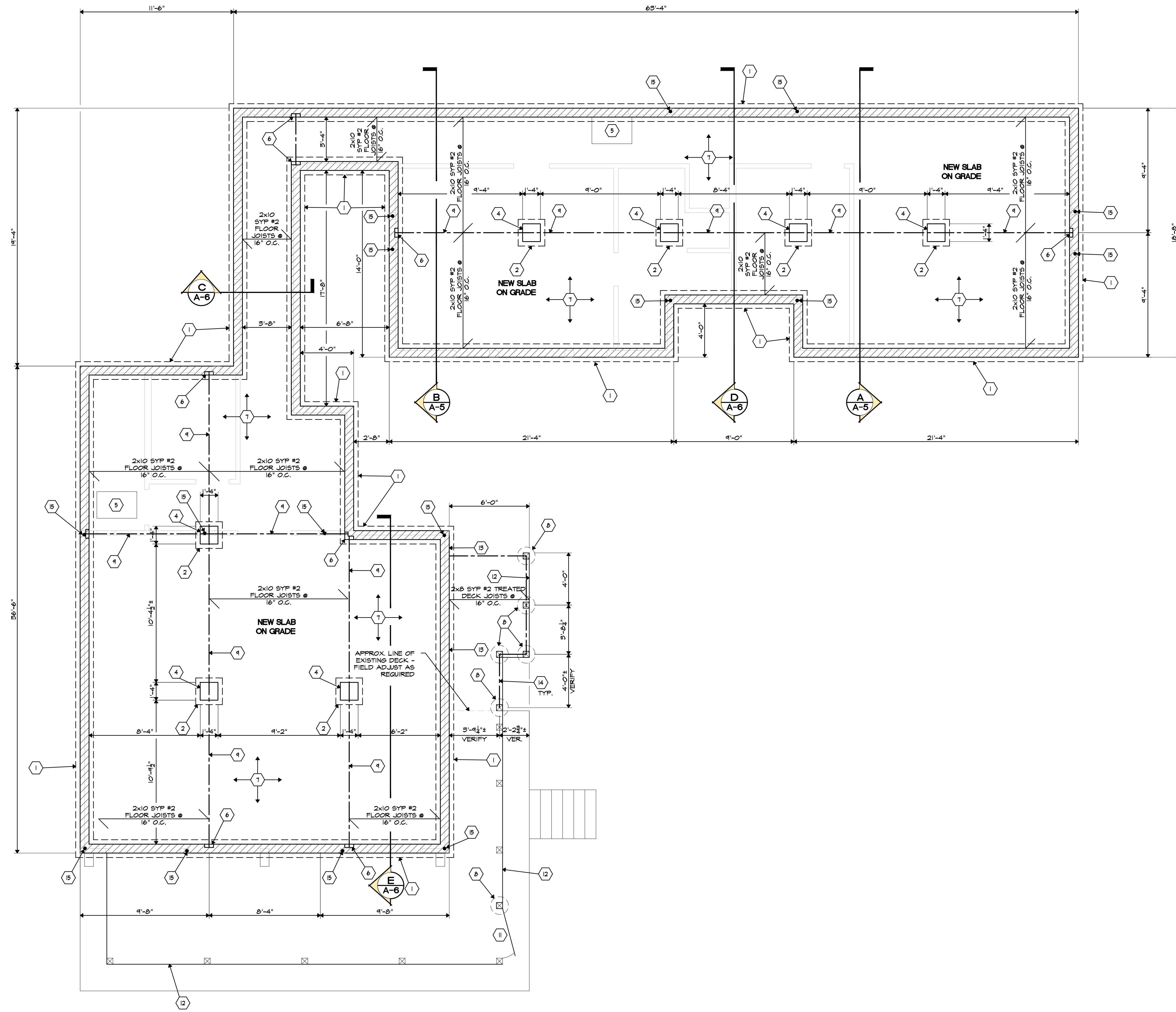
- ① DEMOLISH WALL STRUCTURE SHOWN DASHED - CONSULT OWNER ON SALVAGE OR DISPOSAL OF BUILDING MATERIALS - PROVIDE TEMPORARY SHORING IN LOAD BEARING CONDITIONS
- ② DEMOLISH EXISTING WINDOW / DOOR SHOWN DASHED - CONSULT OWNER ON SALVAGE OR DISPOSAL
- ③ DEMOLISH EXISTING MASONRY FIREPLACE / CABINETS SURROUND & DRUM FURNACE - CONSULT OWNER ON SALVAGE OR DISPOSAL OF MASONRY MATERIAL AND FURNACE
- ④ DEMOLISH EXISTING CEILING TO EXPOSE ROOF STRUCTURE FOR REFRAMING
- ⑤ DEMOLISH EXISTING PLUMBING FIXTURE - REMOVE ALL PIPING SCHEDULED TO BE ABANDONED
- ⑥ REMOVE 8" (MIN) x 12" SECTION OF EXISTING PORCH DECKING TO ALLOW AREA FOR VISTERIA VINE TO CLIMB
- ⑦ REMOVE EXISTING WALL STRUCTURE TO PREP FOR NEW ROUGH OPENING OF NEW DOOR / WINDOW AS SCHEDULED ON SHEET "A-1"



DEMOLITION NOTES

- 1. CONTRACTOR IS RESPONSIBLE FOR REMOVAL OF DEMOLITION MATERIALS, NOT TO BE RE-USED, OR RETAINED BY OWNER.
- 2. PROTECT ALL WALLS, SLABS, ROOFING AND EQUIPMENT TO REMAIN DURING DEMOLITION WORK.
- 3. TRANSITIONS BETWEEN NEW/EXISTING CONSTRUCTION SHALL BE UNNOTICEABLE AND BLEND WITH EXISTING.
- 4. CONTRACTOR IS RESPONSIBLE FOR MAINTAINING ALL EXISTING CONSTRUCTION TO REMAIN DURING DEMOLITION AND CONSTRUCTION.
- 5. PROVIDE ALL LABOR AND MATERIALS NECESSARY FOR CONTINUITY OF MATERIALS AND FINISHES THROUGH-OUT AREA UNDER CONTRACT.
- 6. IF OPENINGS ARE CUT INTO AN EXISTING MASONRY WALL, THE OPENING SHALL BE 1'-4" LONGER THAN THE FINISHED OPENING REQUIRED TO ALLOW FOR 8" (MIN) OF NEW CMU, TOOTHED IN AT EDGE.
- 7. DOUBLE STUDS @ EACH SIDE OF NEW DOOR OPENINGS.
- 8. VERIFY LOCATIONS OF ALL EXISTING STRUCTURAL MEMBERS TO REMAIN PRIOR TO DEMOLITION WORK. REPORT ALL DISCREPANCIES TO THE ARCHITECT BEFORE PROCEEDING WITH DEMOLITION.
- 9. ALL DEMOLITION WORK TO BE COORDINATED WITH NEW WORK TO ASSURE THAT FACES OF WALLS LEFT EXPOSED AFTER DEMOLITION CAN BE PROPERLY PATCHED TO MATCH EXISTING ADJACENT SURFACES.
- 10. AFTER THE DEMOLITION OF MATERIALS, THE RESULTING EXPOSED SURFACE SHALL BE SMOOTH AND FLUSH WITH EXISTING CONDITIONS.
- 11. THE CONTRACTOR SHALL VISIT THE PROJECT SITE BEFORE BIDDING AND VERIFY DEMOLITION TO BE DONE THAT WOULD INTERFERE WITH NEW CONSTRUCTION PRIOR TO BIDDING. THE GENERAL CONTRACTOR SHALL VERIFY EXISTING FIELD CONDITIONS, CLEARANCES, AND DIMENSIONS. CONSTRUCTION COMMENCEMENT OF WORK CONSTITUTES ACCEPTANCE OF EXISTING FIELD CONDITIONS.

NOTE:
SCOPE OF WORK / PROJECT INFORMATION FOR ALTERATION OF BUILDING IS **NOT** ALL INCLUSIVE ON THIS SHEET. GENERAL CONTRACTOR HAS THE RESPONSIBILITY TO COORDINATE ALL PHASES / WORK ITEMS AS OUTLINED IN THE CONSTRUCTION DOCUMENTS, ADDENDA, AND CONTRACT FOR CONSTRUCTION WITH ALL NECESSARY TRADES AND SUB-CONTRACTOR'S.



CODED NOTES

- 1 1'-4" WIDE MIN. x 10' DEEP CONT. CONCRETE FOOTING W/ (2) #4 REBARS CONT. - TO BEAR @ 42" MIN. BELOW GRADE
- 2 24"x24"x10" SPREAD FTG W/(2) #4 REBAR E/W
- 3 CRAWL SPACE VENTING OPTIONS - CONTINUOUSLY OPERATED MECHANICAL EXHAUST VENTILATION AT A RATE OF NO LESS THAN 1 CUBIC FOOT PER MINUTE PER 50 S.F. OF CRAWL SPACE FLOOR AREA, INCLUDING AN AIR PATHWAY TO THE COMMON AREA SUCH AS A DUCT OR TRANSFER GRILLE.
- DEHUMIDIFICATION SIZED TO PROVIDE AT LEAST 10 PINTS PER DAY OF MOISTURE REMOVAL PER 1,000 S.F. OF CRAWL SPACE AREA - RECOMMEND ADDITION OF (2 MIN) MANUAL EXHAUST LOUVERS AS BACKUP IN THIS CONDITION
- 4 16"x16"x32" (4) COURSE CMU BLOCK PIER W/ (4) #4 VERTICAL REINFORCEMENT.
- 5 24"x36" MIN. CRAWL SPACE ACCESS - SIZE TO FIT INSTALLATION OR REMOVAL OF MECHANICAL EQUIPMENT - VERIFY HVAC EQUIPMENT SIZE W/ HVAC CONTRACTOR PRIOR TO INSTALLATION.
- 6 PROVIDE BEAM POCKET FOR NEW BEAM
- 7 4" CONCRETE SLAB ON GRADE W/ 6x6-W/4X1/4 W/FF ON 6 MIL POLY VAPOR BARRIER OVER 4" WASHED GRAVEL - SAWCUT SLAB @ 16'-0" O.C. MAX. EACH WAY
- 8 8"ø x 8" THICK CONCRETE PAD FOOTING DOWN TO 42" BELOW GRADE UNDER NEW 6x6 TREATED FOR GROUND CONTACT DECK POST
- 9 CONTRACTOR OPTION: 16x12 STEEL BEAM OR (3)-PLY 2x12 SYP #2
- 10 * NOT USED *
- 11 NEW "GATE" DOOR ADDED TO UNDER DECK SKIRTING AS SHOWN IN EXTERIOR ELEVATIONS - CONSULT OWNER ON DESIRED FINAL SIZE OF GATE
- 12 NEW UNDER DECK SKIRTING ON EXTERIOR FACE OF DECK COLUMNS - SEE EXTERIOR ELEVATIONS - USE 2x2 TREATED WOOD STRIPS AND MOUNT SO THAT THERE IS A 1" GAP BETWEEN HORIZONTAL MEMBERS - PROVIDE 2x "X" BRACING BEHIND STRIPS TO ENSURE RIGIDITY - ENSURE CENTER OF "X" IS CENTERED BETWEEN COLUMNS FOR CONSISTENT APPEARANCE
- 13 2x12 TREATED LEDGER BD. ANCHOR TO EX. RIM JOIST / FOUNDATION WITH 1/2" x 4-1/2" L. TAPCON ANCHORS @ 8' O.C. STAGGERED.
- 14 (2)-PLY 2x10 TREATED DECK BEAM - (1) 2x10 EACH SIDE OF 6x6 STRUCTURAL POST
- 15 NEW POINT LOAD FROM ABOVE

GENERAL DRAINAGE NOTE

PROVIDE DRAINAGE AWAY FROM STRUCTURE AND PROVIDE DRAIN TILE IN LOCATIONS WHERE STANDING WATER MAY BE PREVALENT - DRAIN TOWARDS LAKE IN LOCATIONS AGREED UPON WITH OWNER

PROVIDE CATCH BASINS AS REQUIRED IN COURTYARD SPACE AND TIE INTO DRAIN TILE AND DIRECT DRAINAGE TOWARDS LAKE IN LOCATIONS AGREED UPON WITH OWNER

WALL SCHEDULE

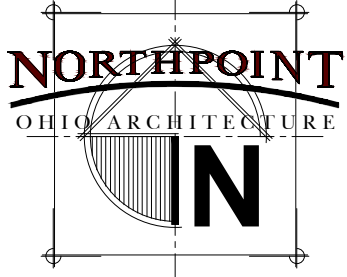
- FIRST FLOOR WALLS SHOWN FOR REFERENCE
- ▨ 8" POURED CONCRETE OR 8" CONC. BLOCK WALL W/ #4 VERTICAL REBAR AT 62" O.C. MAX PLACED AT ANCHOR BOLT LOCATIONS (3/4" CLEARANCE FROM INTERIOR FACE OF WALL) - 3,000 P.S.I. MIN.

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PROPOSED FOUNDATION PLAN

1/4"=1'-0"

REINER LAKE HOUSE
 ALTERATION & ADDITION



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NEWARK, OHIO 43055

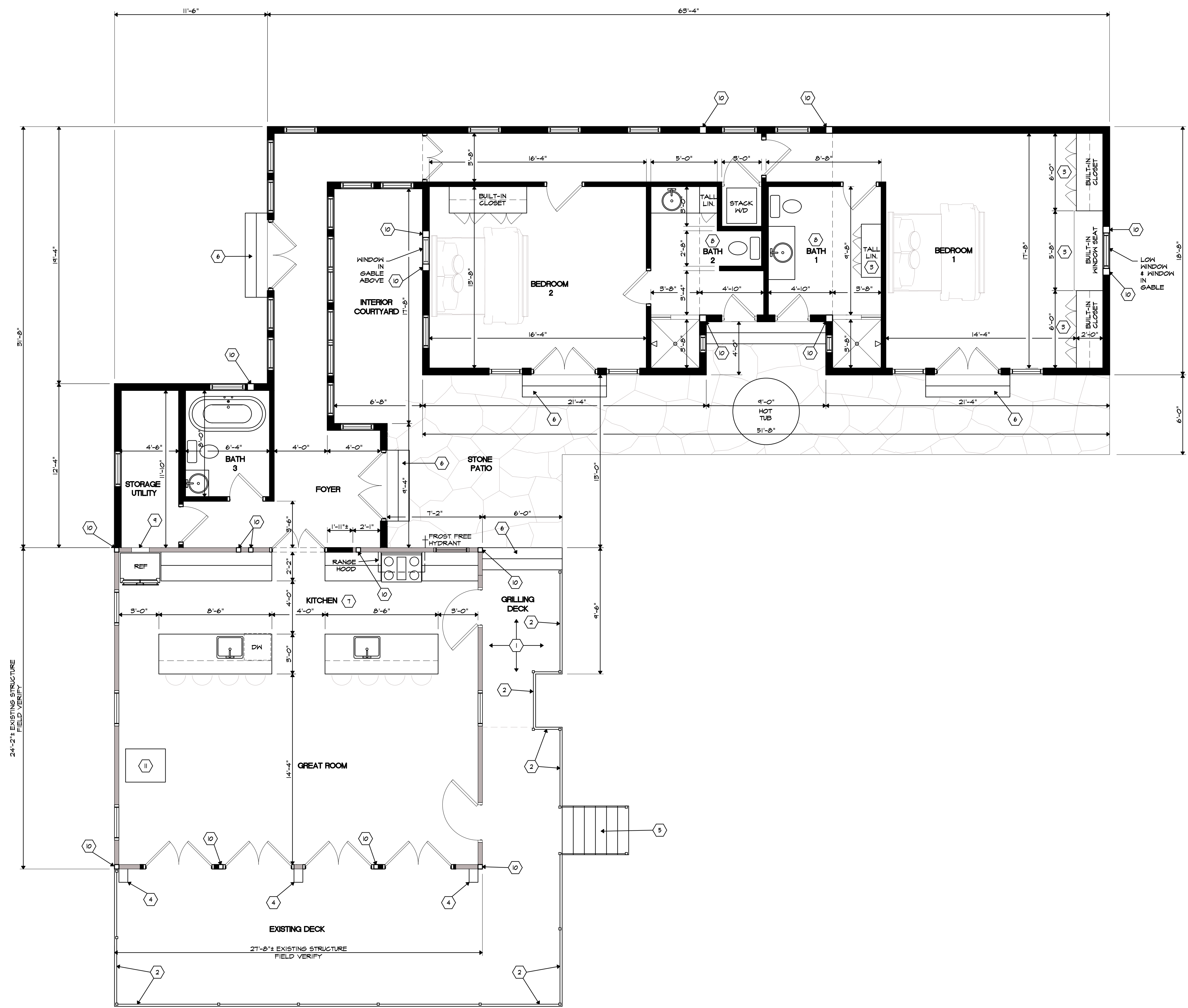
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CODED NOTES

- 1 NEW TREATED DECKING TO MATCH EXISTING DECK PLANK WIDTH
- 2 "FEENEY DESIGNRAIL" RAILING KIT W/ STAINLESS STEEL CABLE RAIL - SERIES 150 BLACK AS BASE BID - CONSULT OWNER ON FINAL SELECTION - INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS - ENSURE CABELING IS SPACED SO THAT A 4"Ø SPHERE MAY NOT PASS THROUGH
- 3 CONSULT OWNER ON FINAL DESIGN/STORAGE REQUIREMENTS OF BUILT-IN CASEWORK
- 4 REMOVE 8"(MIN.) x 12" SECTION OF EXISTING PORCH DECKING TO ALLOW AREA FOR WISTERIA VINE TO CLIMB
- 5 TREATED WOOD STAIR SYSTEM - 10" MIN. TREAD DEPTH, 8" MAX. RISE - CONSULT OWNER ON DESIRED FINAL APPEARANCE
- 6 SANDSTONE SLAB(S) STACKED STAIR TO GRADE - 10" MIN. TREAD DEPTH, 8" MAX. RISE
- 7 CONSULT OWNER ON FINAL KITCHEN CABINERY DESIGN/ LAYOUT - OWNER/ CONTRACTOR TO ENSURE PROPER CLEARANCES FOR ALL APPLIANCES BASED ON OWNER PROVIDED APPLIANCE CUTSHEETS
- 8 CONSULT OWNER ON FINAL BATHROOM DESIGN/ LAYOUT & FINAL FIXTURE SELECTION
- 9 TRANSFER GRILL BEHIND REFRIGERATOR TO PREVENT OVERHEATING
- 10 JACK STUDS SUPPORTING BEAM ABOVE
- 11 WOOD BURNING STOVE AS SELECTED BY OWNER - INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS FOR CLEARANCES

HEADER SCHEDULE

OPENING:	HEADER:
LESS THAN 6'-0"	(2) - 2x10 HEADER W/ 7/16" OSB BETWEEN - GLUE AND NAIL
6'-1" TO 8'-0"	(2) - 2x12 HEADER W/ 7/16" OSB BETWEEN - GLUE AND NAIL

FLOORING NOTE

CONTRACTOR TO PRESERVE/SALVAGE FIR FLOORING IN ORIGINAL COTTAGE TO THE GREATEST EXTENT POSSIBLE - IN AREAS WHERE FLOORING IS REMOVED, PRESERVE MATERIAL TO TOUCH IN/PATCH EXISTING FLOOR WHERE REQUIRED.

FLOORING IN NEW ADDITION TO BE 6" WIDE 5/4" THICK WHITE OAK, AS SELECTED BY OWNER AND FINISHED W/ LIGHT STAIN AS DIRECTED BY OWNER

FLOORING IN BATHROOMS TO BE TILE AS SELECTED BY OWNER

WINDOW/DOOR NOTE

CONTRACTOR TO COORDINATE W/ WINDOW/DOOR MANUFACTURERS TO VERIFY SPECIFIC ROUGH OPENING DIMENSIONS

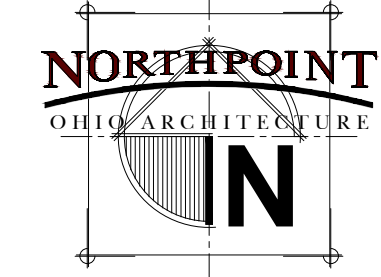
WALL SCHEDULE

- NEW 2x6 EXTERIOR STUD WALL W/ WOOD STUDS @ 16" O.C. WITH 1/2" DRYWALL ON INTERIOR SIDE AND 7/16" OSB ON EXTERIOR W/ SIDING AS SHOWN ON ELEVATIONS - PROVIDE BATT INSULATION IN BETWEEN WALL STUDS FULL HEIGHT (R-20 MIN.).
- NEW INTERIOR - 2x4 STUD WALL W/ WOOD STUDS @ 16" O.C. WITH 1/2" DRYWALL (OR FINISH AS SELECTED BY OWNER) ON EACH SIDE
- NEW INTERIOR PLUMBING WALL - 2x6 STUD WALL W/ WOOD STUDS @ 16" O.C. WITH 1/2" DRYWALL ON EACH SIDE
- EXISTING 2x EXTERIOR STUD WALL W/ WOOD STUDS @ 16" O.C. (INFILL AS REQUIRED TO SATISFY THIS PARAMETER) WITH 1/2" DRYWALL (OR FINISH AS SELECTED BY OWNER) ON INTERIOR SIDE AND 7/16" OSB ON EXTERIOR W/ SIDING AS SHOWN ON ELEVATIONS - PROVIDE CLOSED CELL FOAM INSULATION IN BETWEEN WALL STUDS FULL HEIGHT (R-20).

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PROPOSED FIRST FLOOR PLAN
1/4"=1'-0"

REINER LAKE HOUSE
ALTERATION & ADDITION



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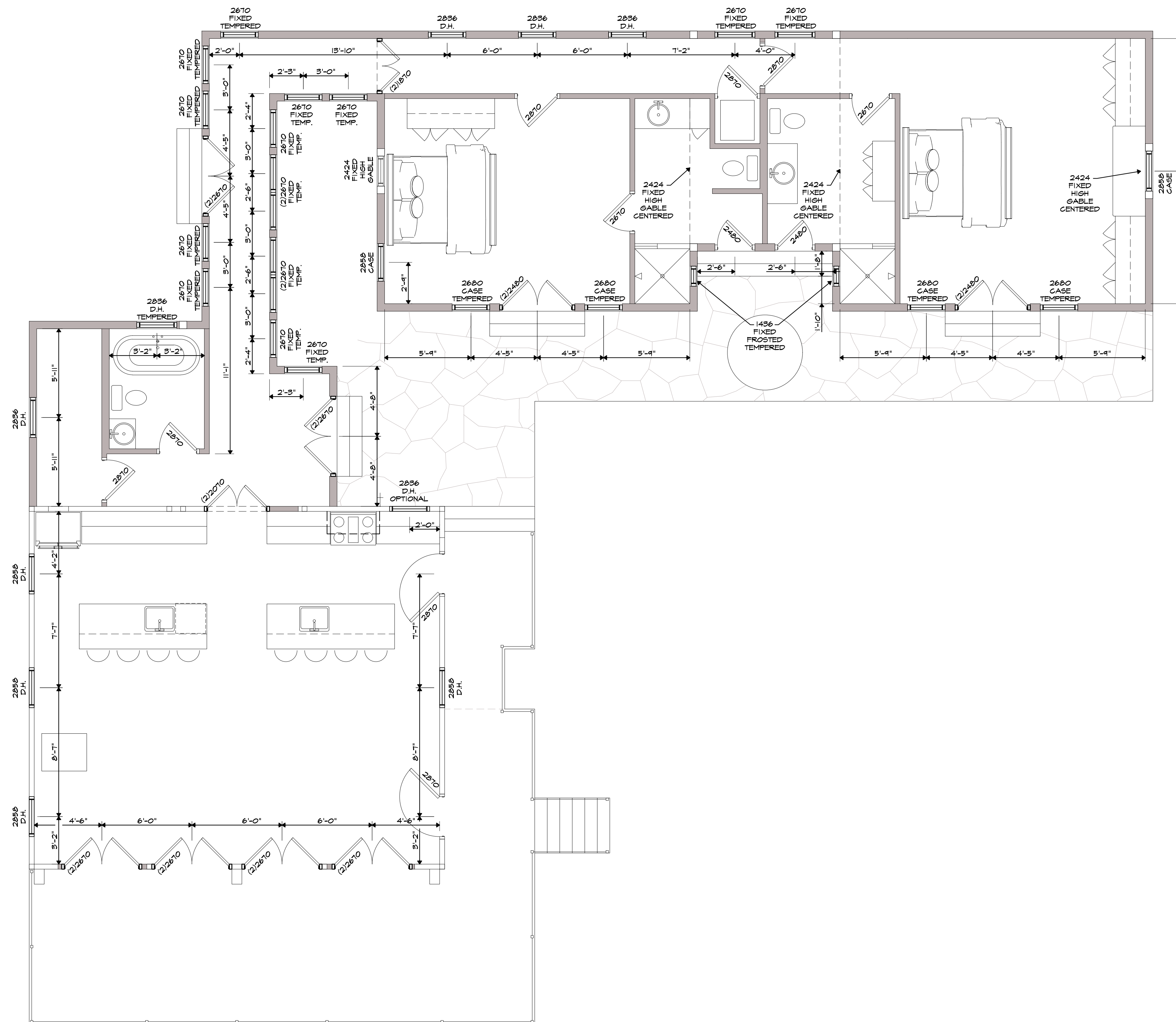
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PROPOSED FIRST FLOOR WINDOW / DOOR PLAN

1/4"=1'-0"

HEADER SCHEDULE

OPENING:	HEADER:
LESS THAN 6'-0"	(2) - 2x10 HEADER W/ 1/16" OSB BETWEEN - GLUE AND NAIL
6'-1" TO 8'-0"	(2) - 2x12 HEADER W/ 1/16" OSB BETWEEN - GLUE AND NAIL

WINDOW/DOOR NOTE

GENERAL SIZE DESIGNATION AS FOLLOWS: 3070 (3'-0" WIDE x 7'-0" TALL)

CONTRACTOR TO COORDINATE W/ WINDOW/DOOR MANUFACTURERS TO VERIFY SPECIFIC ROUGH OPENING DIMENSIONS

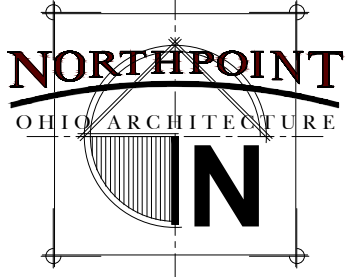
BASIS OF WINDOW/DOOR DESIGN: JELD-KEN "SITELINE" GLAD WOOD WINDOWS & DOORS W/ SIMULATED DIVIDE LITES MATCHING GRID PATTERN TO THAT SHOWN ON EXTERIOR ELEVATIONS, GRAY SPAGERS

ALL WINDOW & DOOR HARDWARE TO BE OIL RUBBED BRONZE

GRILL DEPTH AS SELECTED BY OWNER

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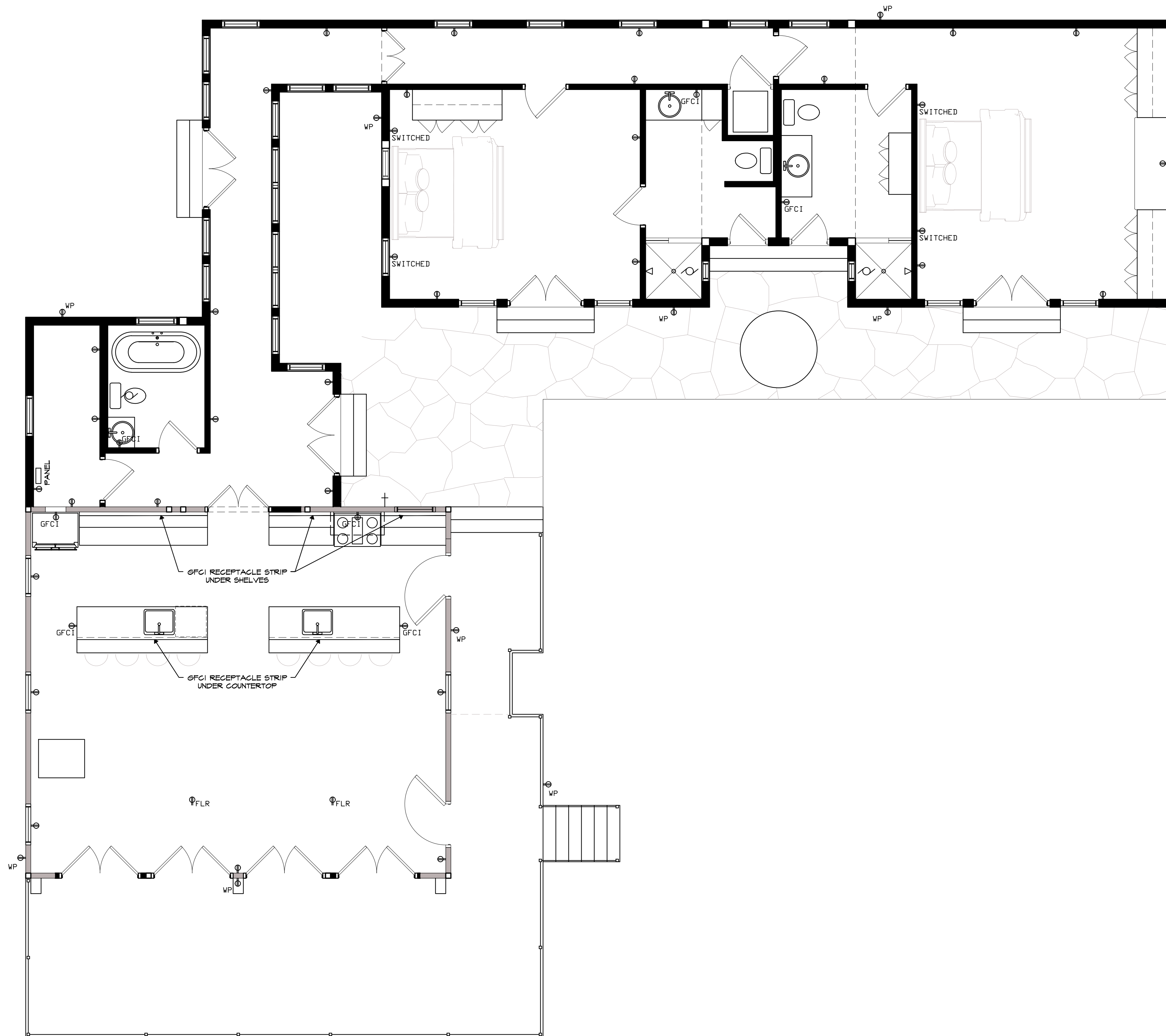
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CODED NOTES

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ELECTRICAL GENERAL NOTE

RECEPTACLE / SWITCH / LIGHT LAYOUT SHOWN FOR REFERENCE ONLY - ELECTRICIAN TO INSTALL FIXTURES BASED ON MOST CURRENT ELECTRICAL CODE PER THE APPLICABLE JURISDICTION

ANY CHANGES REQUIRED ARE TO BE REVIEWED WITH OWNER PRIOR TO INSTALLATION

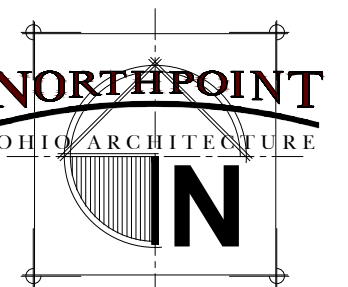
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PROPOSED FIRST FLOOR POWER PLAN

1/4"=1'-0"



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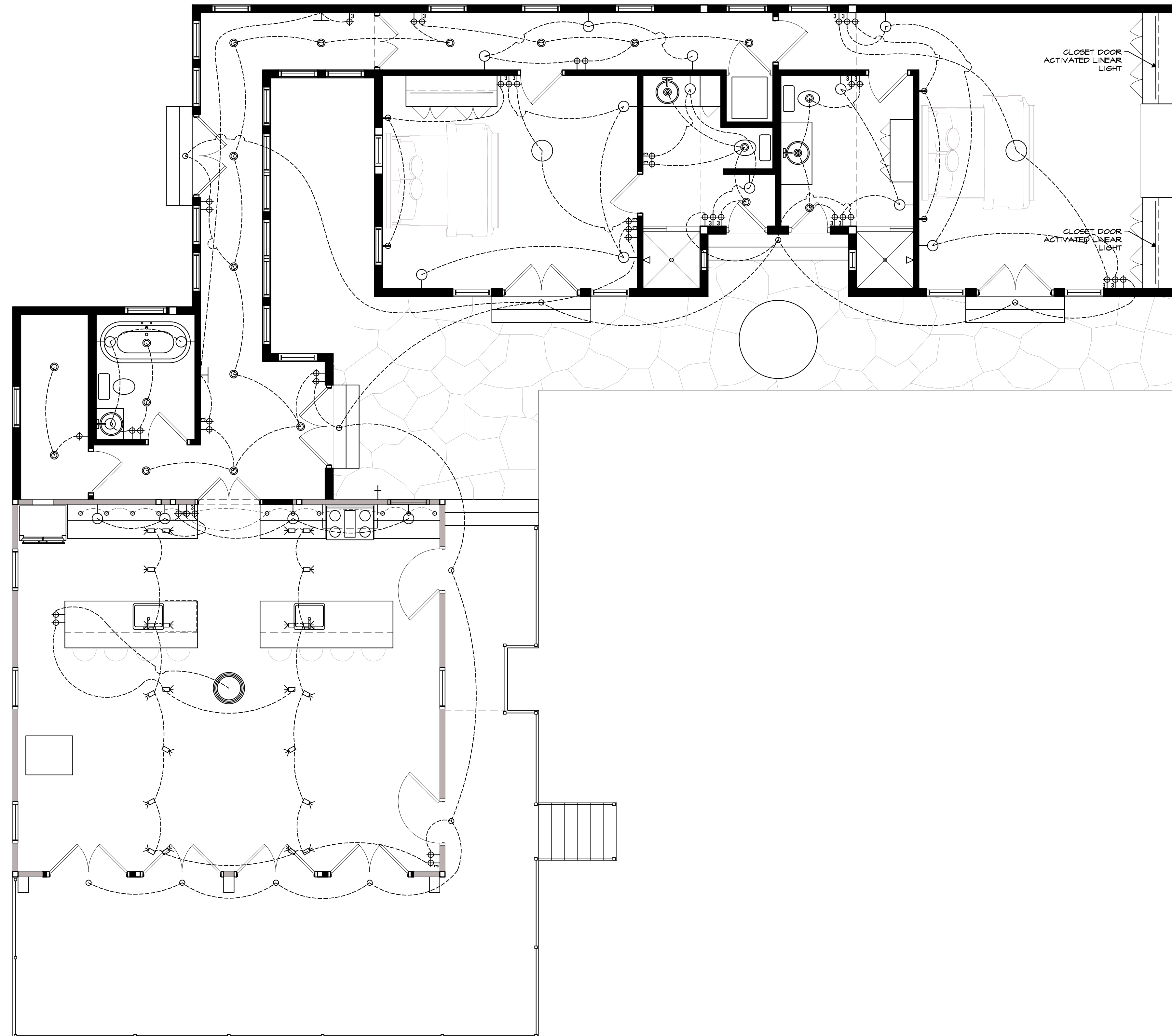
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CODED NOTES

- ① ALL LIGHTING TO BE ON PRESET DIMMERS
- ② ALL LIGHTING TO BE 2700K UNLESS DIRECTED OTHERWISE BY OWNER



ELECTRICAL GENERAL NOTE

RECEPTACLE / SWITCH / LIGHT LAYOUT SHOWN FOR REFERENCE ONLY - ELECTRICIAN TO INSTALL FIXTURES BASED ON MOST CURRENT ELECTRICAL CODE PER THE APPLICABLE JURISDICTION

ANY CHANGES REQUIRED ARE TO BE REVIEWED WITH OWNER PRIOR TO INSTALLATION

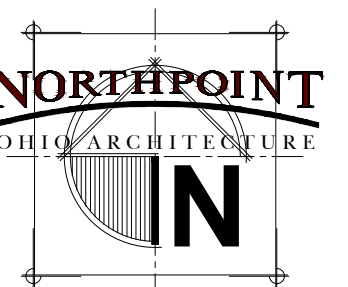
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PROPOSED FIRST FLOOR LIGHTING PLAN

1/4"=1'-0"



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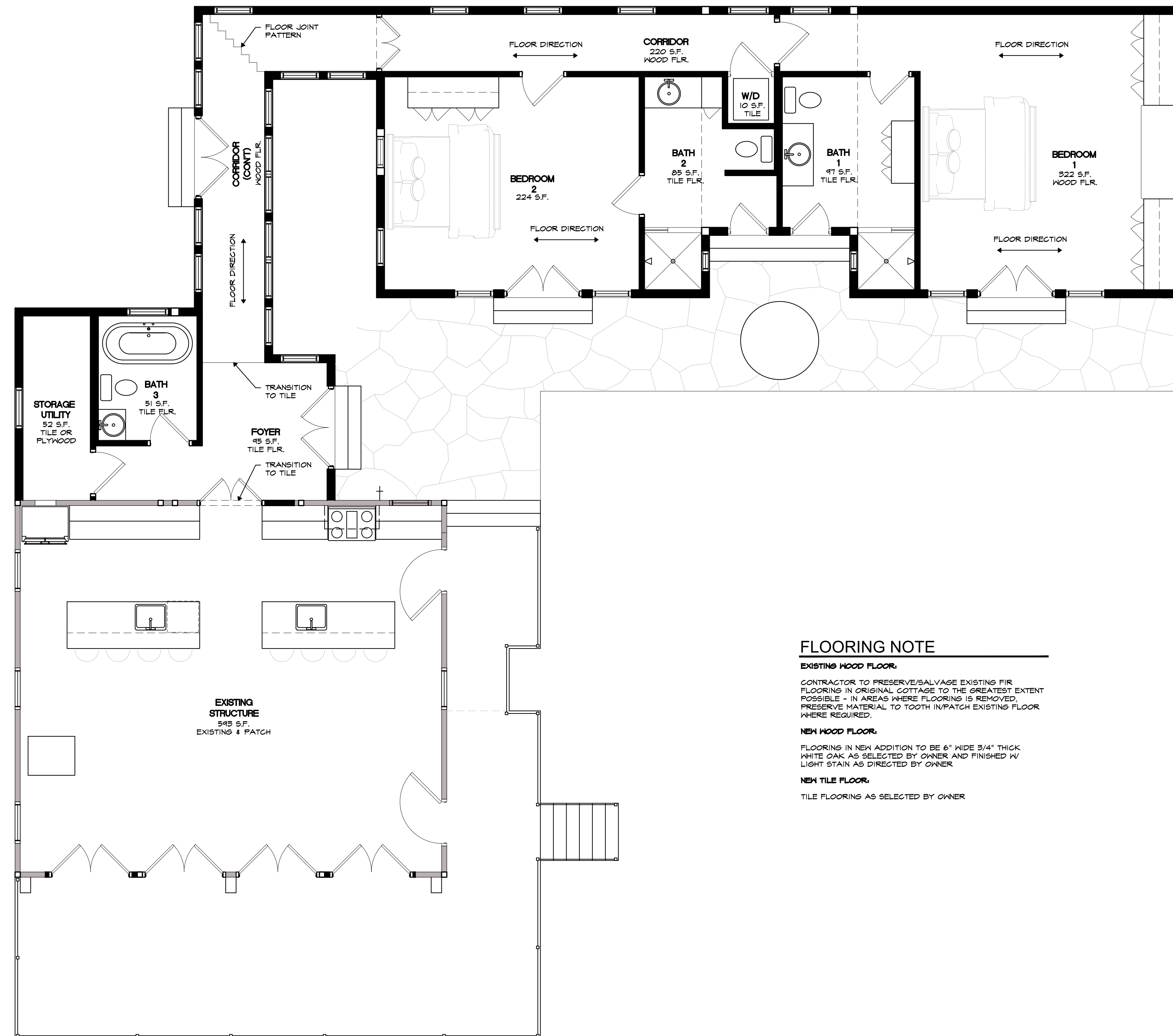
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FLOORING NOTE

EXISTING WOOD FLOOR:
CONTRACTOR TO PRESERVE/SALVAGE EXISTING FIR FLOORING IN ORIGINAL COTTAGE TO THE GREATEST EXTENT POSSIBLE - IN AREAS WHERE FLOORING IS REMOVED, PRESERVE MATERIAL TO TOOTH IN PATCH EXISTING FLOOR WHERE REQUIRED.
NEW WOOD FLOOR:
FLOORING IN NEW ADDITION TO BE 6" WIDE 3/4" THICK WHITE OAK AS SELECTED BY OWNER AND FINISHED W/ LIGHT STAIN AS DIRECTED BY OWNER
NEW TILE FLOOR:
TILE FLOORING AS SELECTED BY OWNER

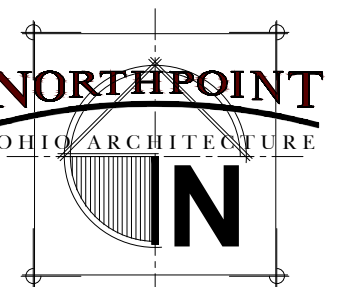
EXISTING STRUCTURE
549 S.F.
EXISTING 4' PATCH

PROPOSED FIRST FLOOR FLOORING FINISH PLAN

1/4"=1'-0"

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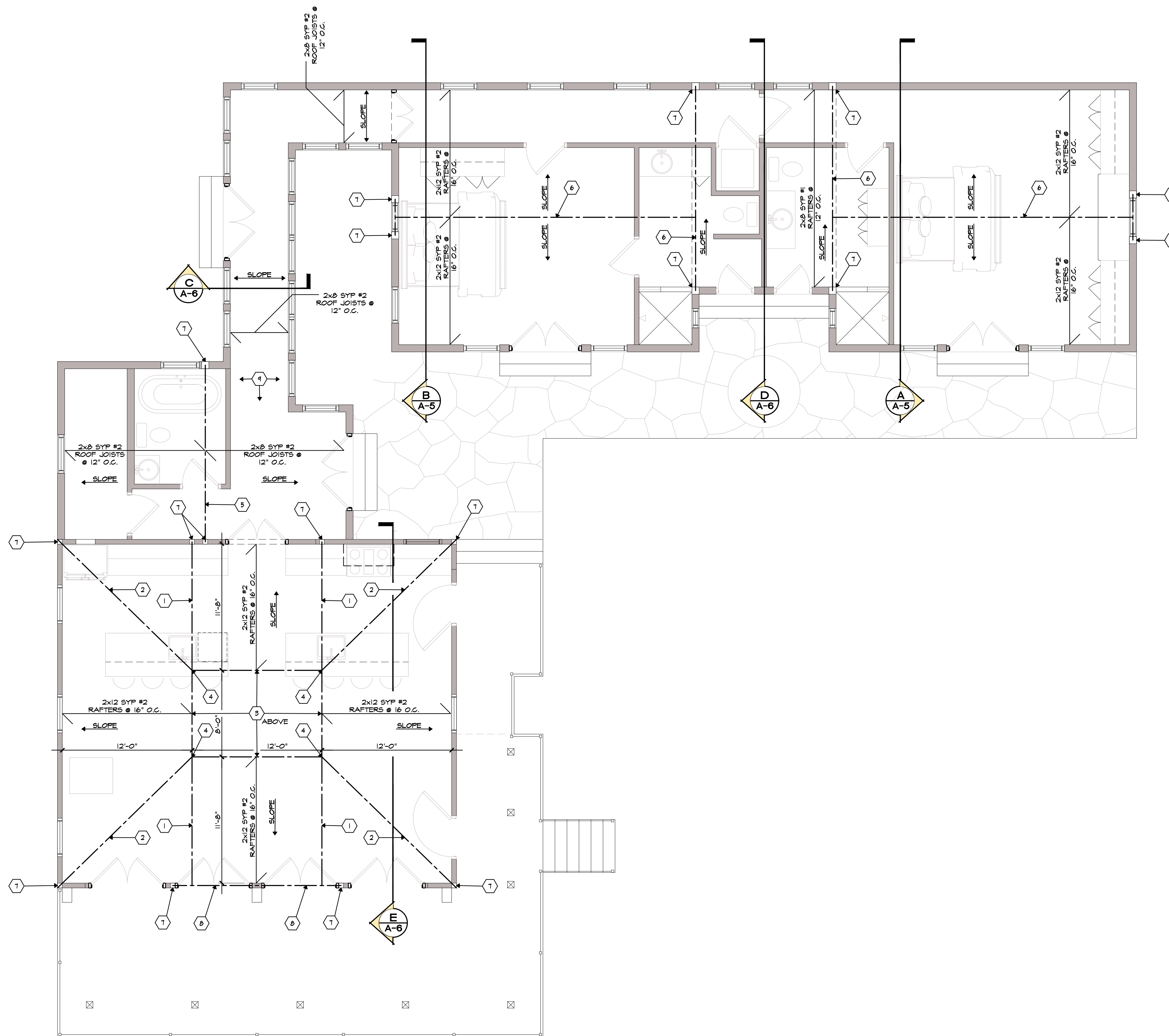
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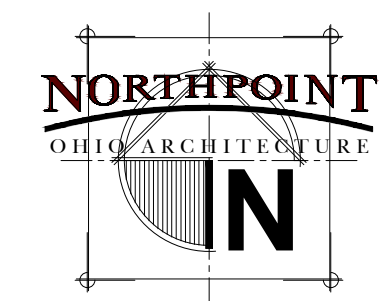
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CODED NOTES

- ① (3)-PLY 1-3/4" x 14' 2.OE LVL - WRAP OR PAINT/STAIN AS DIRECTED BY OWNER TO ACHIEVE DESIRED FINISH
- ② (3)-PLY 2x12 SYP #2 HIP BEAM
- ③ (3)-PLY 2x12 SYP #2 RIDGE BOX BEAM
- ④ 6x6 STRUCTURAL WOOD COLUMN UNDER EACH ROOF HIP CORNER DOWN TO LVL BEAM
- ⑤ (3)-PLY 2x12 SYP #2
- ⑥ (3)-PLY 1-3/4" x 11-7/8" 2.OE LVL
- ⑦ JACK STUDS SUPPORTING BEAM ABOVE
- ⑧ (2)-PLY 1-7/8" x 4-1/4" 2.OE LVL BEAM
- ⑨ RIP 2x SLEEPERS IN THIS AREA TO CREATE POSITIVE DRAINAGE AS REQUIRED - MAINTAIN MIN. 1/4" PER 12' OF SLOPE

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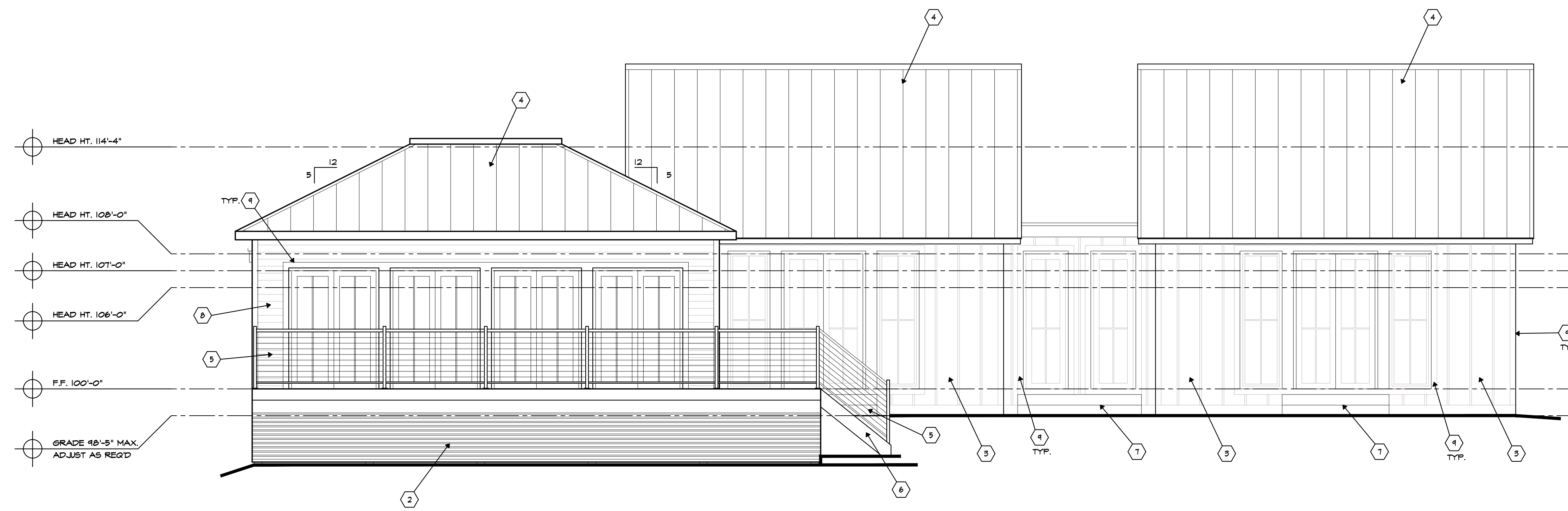
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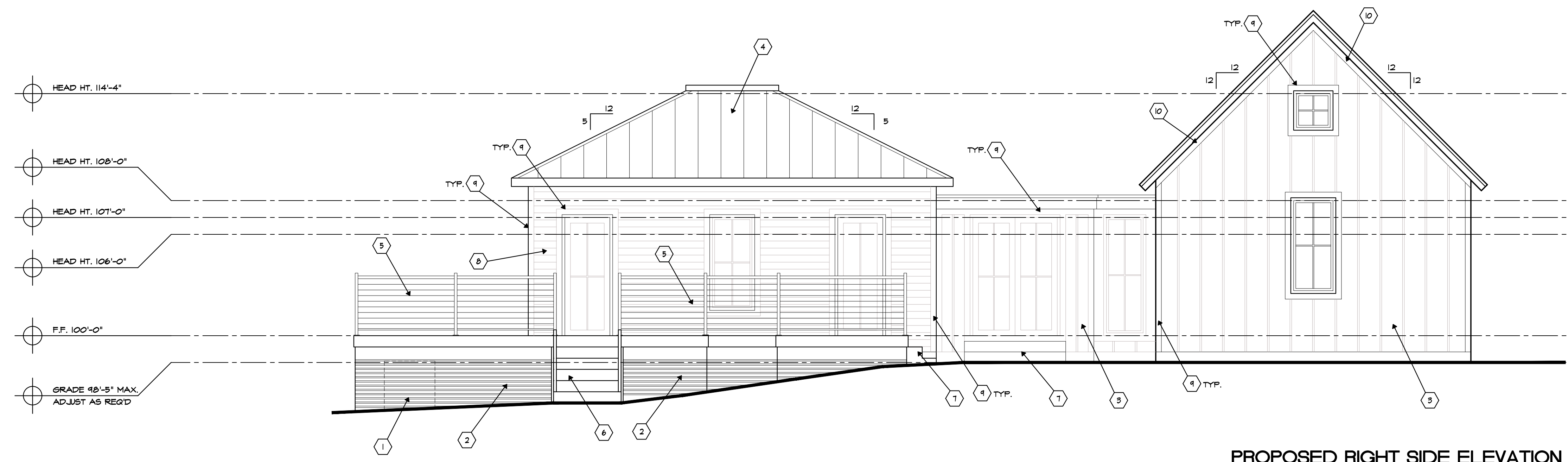
HEADER SCHEDULE

OPENING:	HEADER:
LESS THAN 6'-0"	(2) - 2x10 HEADER W/ 7/16" OSB BETWEEN - GLUE AND NAIL
6'-1" TO 8'-0"	(2) - 2x12 HEADER W/ 7/16" OSB BETWEEN - GLUE AND NAIL

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PROPOSED FRONT ELEVATION
1/4"=1'-0"

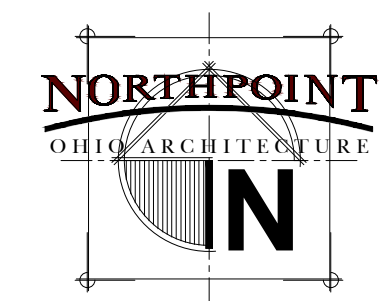


PROPOSED RIGHT SIDE ELEVATION
1/4"=1'-0"

CODED NOTES

- 1 NEW "GATE" DOOR ADDED TO UNDER DECK SKIRTING AS SHOWN - CONSULT OWNER ON DESIRED FINAL SIZE OF GATE
- 2 NEW UNDER DECK SKIRTING ON EXTERIOR FACE OF DECK COLUMNS - SEE EXTERIOR ELEVATIONS - USE 2x2 TREATED WOOD STRIPS AND MOUNT SO THAT THERE IS A 1" GAP BETWEEN HORIZONTAL MEMBERS - PROVIDE 2x 2" BRACING BEHIND STRIPS TO ENSURE RIGIDITY - ENSURE CENTER OF "X" IS CENTERED BETWEEN COLUMNS FOR CONSISTENT APPEARANCE
- 3 NEW JAMES HARDI PANEL SIDING W/ 2-1/4" WIDE CEDAR BATTEN STRIPS @ 16" O.C. - FINAL PAINT COLOR SELECTION/LOCATIONS BY OWNER
- 4 NEW STANDING SEAM "FABRAL" METAL ROOFING - COLOR AS SELECTED BY OWNER
- 5 "FEENEY DESIGNRAIL" RAILING KIT W/ STAINLESS STEEL CABLE RAIL - SERIES 150 BLACK AS BASE BID - CONSULT OWNER ON FINAL SELECTION - INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS - ENSURE CABLES IS SPACED SO THAT A 4" SPHERE MAY NOT PASS THROUGH
- 6 TREATED WOOD STAIR SYSTEM - 10" MIN. TREAD DEPTH, 8" MAX. RISE - CONSULT OWNER ON DESIRED FINAL APPEARANCE
- 7 SANDSTONE SLAB(S) STACKED STAIR TO GRADE - 10" MIN. TREAD DEPTH, 8" MAX. RISE
- 8 5" REVEAL JAMES HARDI, OR CEDAR HORIZONTAL SIDING AS SELECTED BY OWNER - CONSULT OWNER ON FINAL PAINT COLOR SELECTION
- 9 4" JAMES HARDI, OR CEDAR CORNER WINDOW DOOR TRIM - CONSULT OWNER ON WINDOW/DOOR TRIM PROFILE - TRIM COLOR TO MATCH SIDING COLOR ON STRUCTURE
- 10 4" JAMES HARDI, OR CEDAR RAKE BOARD - COLOR TO MATCH SIDING COLOR ON STRUCTURE

REINER LAKE HOUSE
ALTERATION & ADDITION



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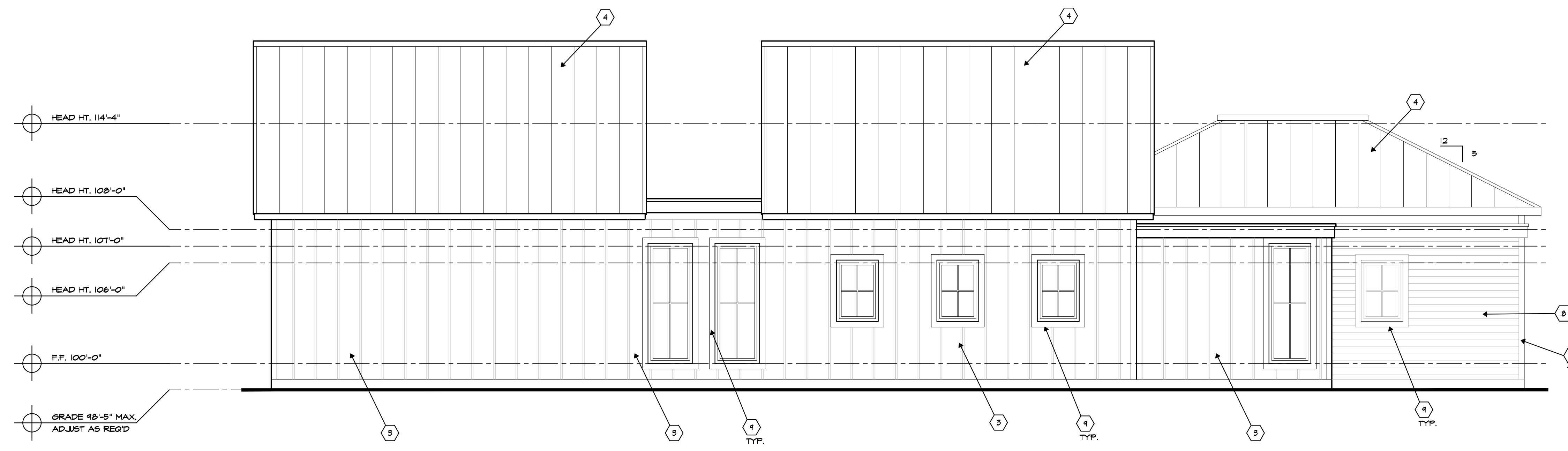
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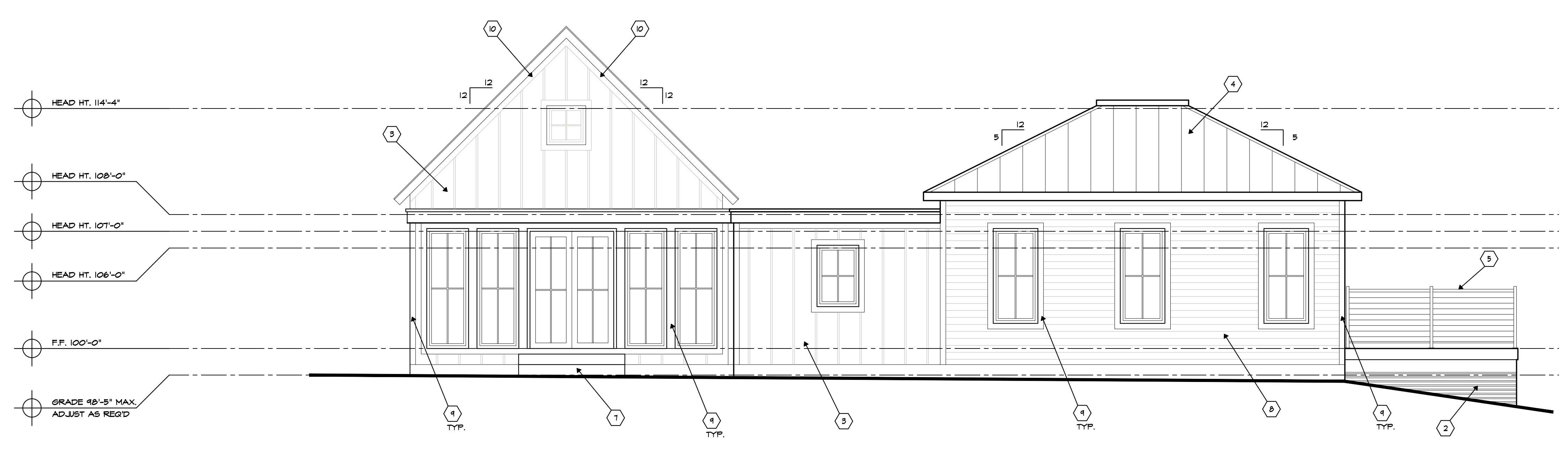
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PROPOSED REAR ELEVATION
1/4"=1'-0"



PROPOSED LEFT SIDE ELEVATION
1/4"=1'-0"

CODED NOTES

- ① * NOT USED *
- ② NEW UNDER DECK SKIRTING ON EXTERIOR FACE OF DECK COLUMNS - SEE EXTERIOR ELEVATIONS - USE 2x2 TREATED WOOD STRIPS AND MOUNT SO THAT THERE IS A 1" GAP BETWEEN HORIZONTAL MEMBERS - PROVIDE 2x "X" BRACING BEHIND STRIPS TO ENSURE RIGIDITY - ENSURE CENTER OF "X" IS CENTERED BETWEEN COLUMNS FOR CONSISTENT APPEARANCE
- ③ NEW JAMES HARDI PANEL SIDING W/ 2-1/4" WIDE CEDAR BATTEN STRIPS @ 16" O.C. - FINAL PAINT COLOR SELECTION/LOCATIONS BY OWNER
- ④ NEW STANDING SEAM "FABRAL" METAL ROOFING - COLOR AS SELECTED BY OWNER
- ⑤ "FEENEY DESIGNRAIL" RAILING KIT W/ STAINLESS STEEL CABLE RAIL - SERIES 150 BLACK AS BASE BID - CONSULT OWNER ON FINAL SELECTION - INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS - ENSURE CABLEING IS SPACED SO THAT A 4" SPHERE MAY NOT PASS THROUGH
- ⑥ * NOT USED *
- ⑦ SANDSTONE SLAB(S) STACKED STAIR TO GRADE - 10' MIN. TREAD DEPTH, 8" MAX. RISE
- ⑧ 5" REVEAL JAMES HARDI, OR CEDAR HORIZONTAL SIDING AS SELECTED BY OWNER - CONSULT OWNER ON FINAL PAINT COLOR SELECTION
- ⑨ 4" JAMES HARDI, OR CEDAR CORNER WINDOW/DOOR TRIM - CONSULT OWNER ON WINDOW/DOOR TRIM PROFILE - TRIM COLOR TO MATCH SIDING COLOR ON STRUCTURE
- ⑩ 4" JAMES HARDI, OR CEDAR RAKE BOARD - COLOR TO MATCH SIDING COLOR ON STRUCTURE

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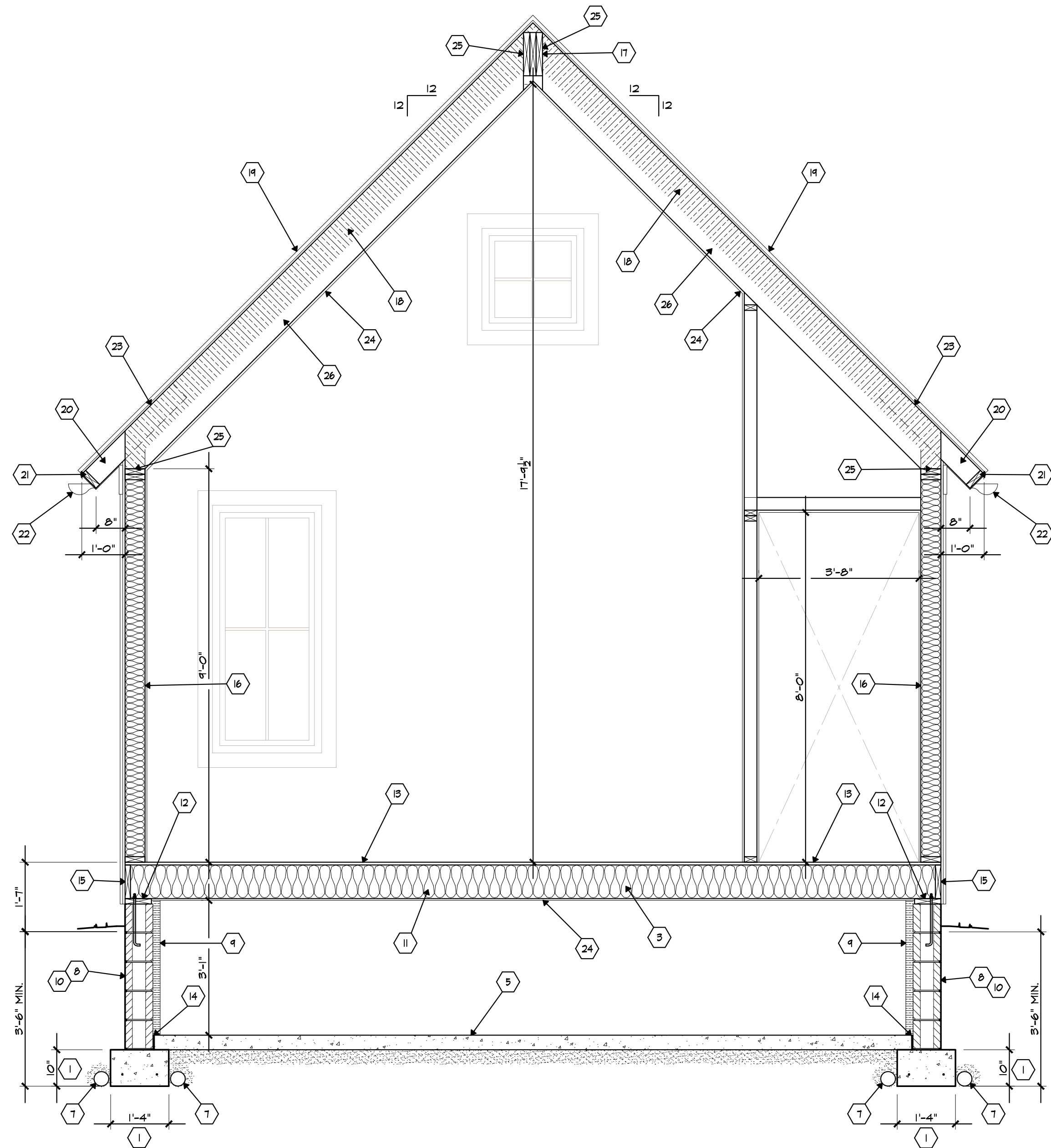
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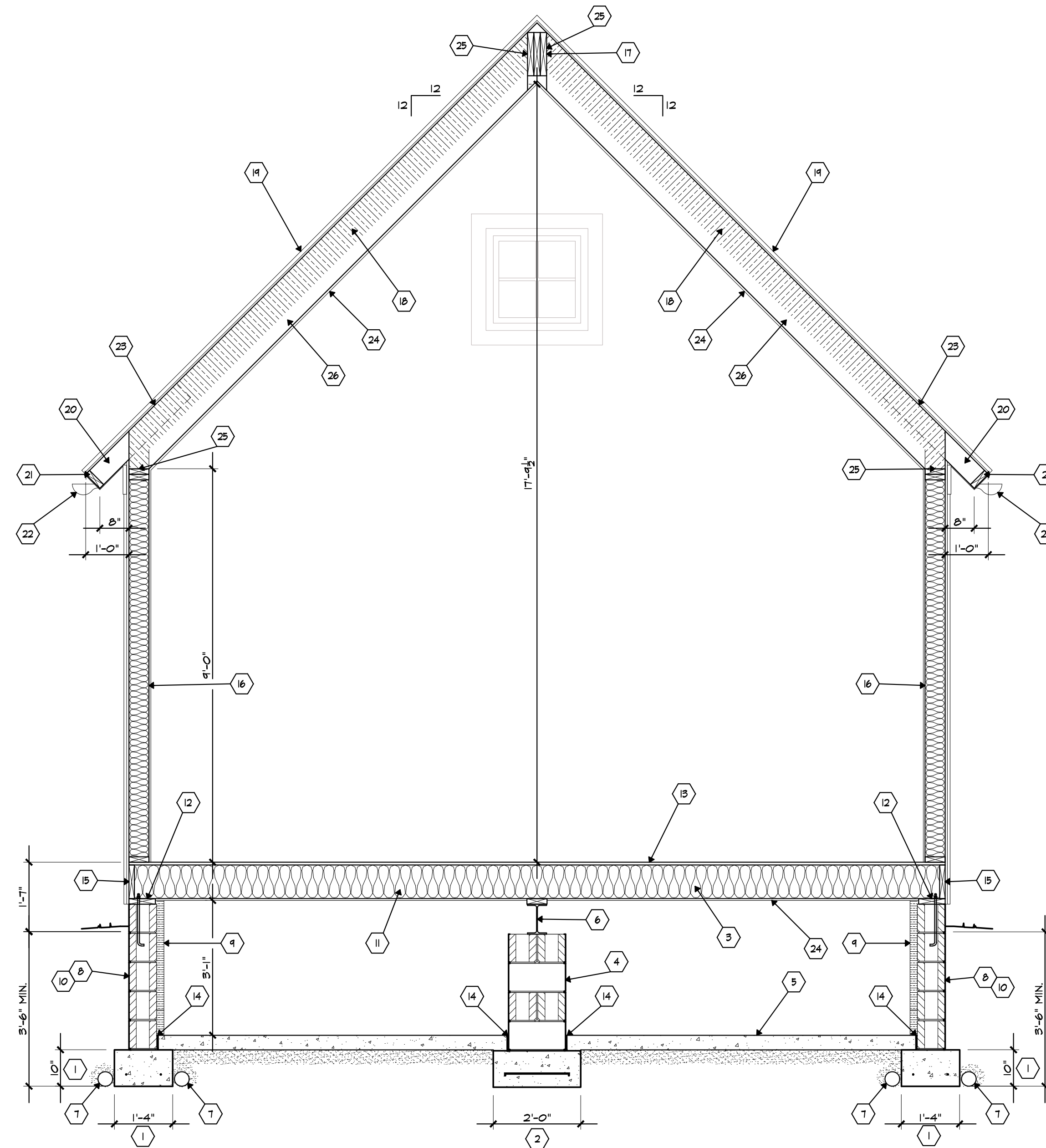
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THROUGH SECTION

B
1/2"=1'-0"



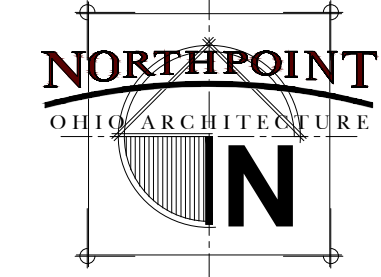
THROUGH SECTION

A
1/2"=1'-0"

CODED NOTES

- 1 1'-4" WIDE MIN. x 10" DEEP CONT. CONCRETE FOOTING W/ (2) #4 REBARS CONT. - TO BEAR @ 42" MIN. BELOW GRADE
- 2 24"x24"x10" SPREAD FTG W/(2) #4 REBAR E.W.
- 3 2x10 SYP #2 FLOOR JOISTS @ 16" O.C.
- 4 16"x16"x82" (4) COURSE CMU BLOCK PIER W/ (4) #4 VERTICAL REINFORCEMENT.
- 5 4" CONCRETE SLAB ON GRADE W/ 6x6-HI 4x4x4 HWF ON 6 MIL POLY VAPOR BARRIER OVER 4" WASHED GRAVEL - SANGUT SLAB @ 16'-0" O.C. MAX. EACH WAY
- 6 CONTRACTOR OPTION: 16x12 STEEL BEAM OR (3)-PLY 2x12 SYP #2
- 7 4" PERFORATED DRAIN TILE TO DAYLITE OR SUMP - SURROUND 4" DRAIN TILE @ FOOTER W/ GRAVEL ON EITHER SIDE OF FOOTER - INCLUDE LAYER OF LANDSCAPE FABRIC TO MINIMIZE SILT INFILTRATION
- 8 8" POURED CONCRETE OR 8" CONG. BLOCK WALL W/ #4 VERTICAL REBAR AT 62" O.C. MAX PLACED AT ANCHOR BOLT LOCATIONS (3/4" CLEARANCE FROM INTERIOR FACE OF WALL) - 3,000 P.S.I. MIN.
- 9 2" R-10 CONTINUOUS RIGID FOAM INSULATION
- 10 PROVIDE WATERPROOFING ON FOUNDATION WALL FULL HEIGHT
- 11 PROVIDE R-30 MIN. BATT INSULATION IN JOIST LANES - PROVIDE 2" BAFFEL
- 12 2x TREATED SILL PLATE ON SILL SEALER AND TERMITE SHIELD - FASTEN USING 1/2" ANCHOR BOLTS x T1. EMBEDMENT OR MUD-SILL STRAPS @ T2' O.C. MAX. AND 12" OR LESS FROM ENDS AND CORNERS
- 13 3/4" T&G SUB FLOOR - GLUE AND SCREW
- 14 1/2" EXPANSION JOINT MATERIAL & WATERPROOFING
- 15 2x PERIMETER JOIST TO MATCH FLOOR FRAMING
- 16 2x6 STUD WALL @ 16" O.C. - INTERIOR OF WALL; 1/2" DRYWALL - EXTERIOR OF WALL; FROM INSIDE 1/8" SHEATHING, BUILDING WRAP, AND SIDING AS SEL. - PROVIDE BATT INSULATION (R-20 MIN) BETWEEN STUDS
- 17 (3)-PLY 1-3/4" x 11-7/8" 2.0E LVL RIDGE BEAM
- 18 R-41 CLOSED CELL FOAM INSULATION
- 19 STANDING BEAM "FABRAL" METAL ROOF AS SELECTED OVER OVER 5/8" SHEATHING WITH PLYWOOD GLIPS INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 20 2x6 RAFTER TAILS TO CREATE OVERHANG
- 21 TREATED SUB FASCIA CONTINUOUS
- 22 HALF ROUND GUTTER W/ DOWNSPOUTS AS REQUIRED
- 23 PROVIDE ICE GUARD 24" BEYOND INTERIOR OF WALL
- 24 5/8" DRYWALL ON UNDERSIDE OF JOISTS / RAFTERS
- 25 SIMPSON STRONG TIE RAFTER FASTENER
- 26 2x12 SYP #2 RAFTERS @ 16" O.C.

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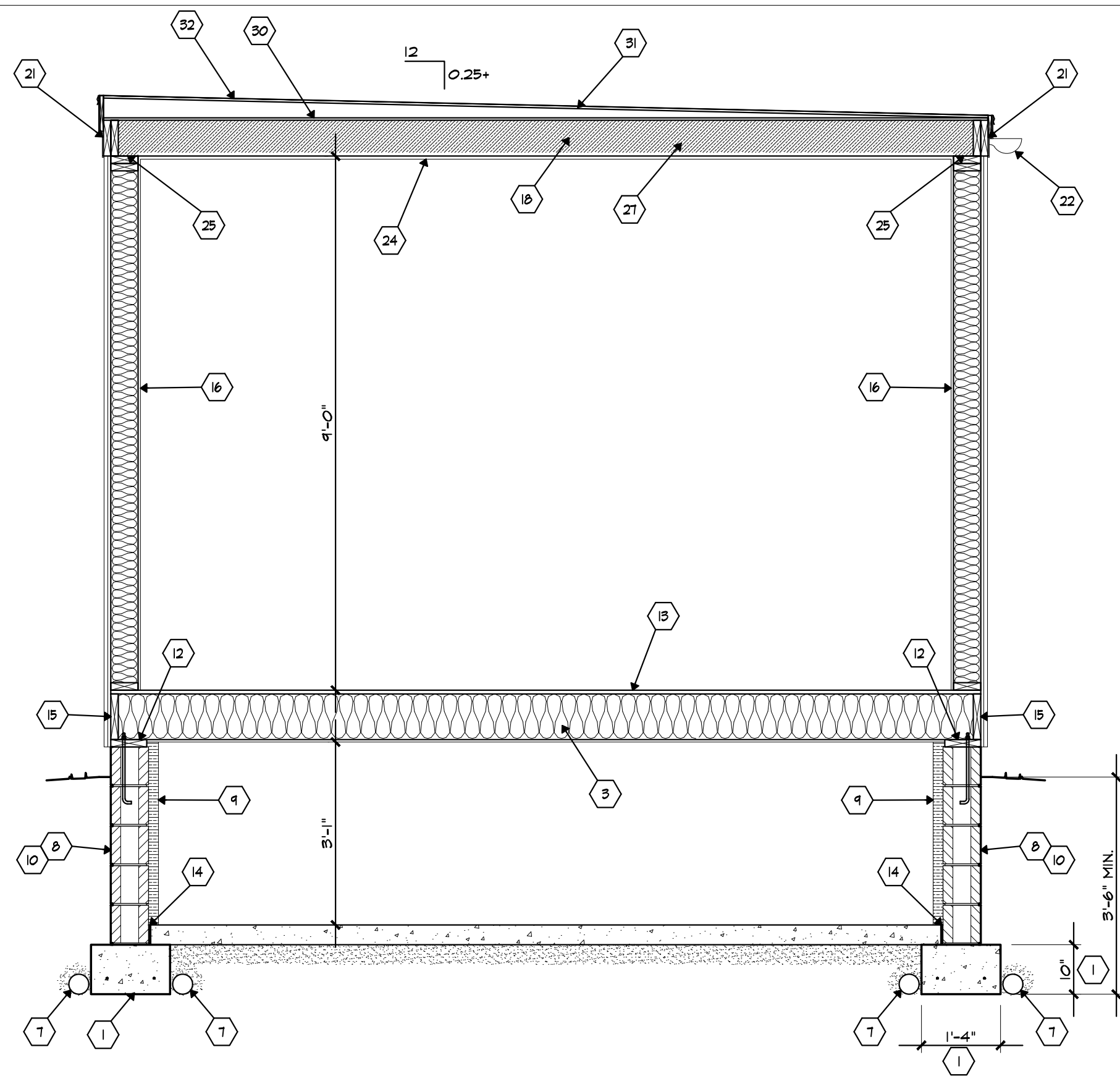
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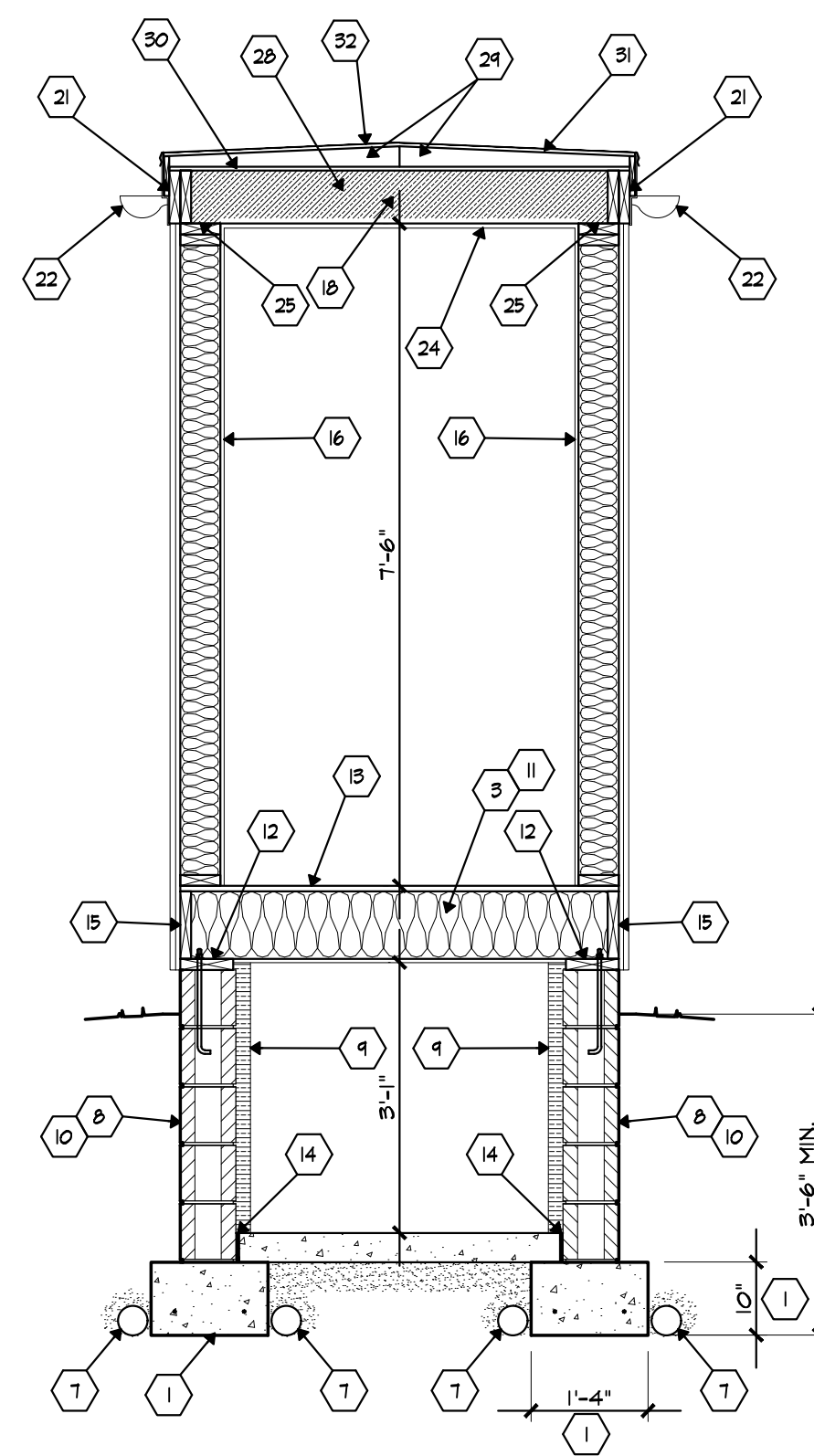
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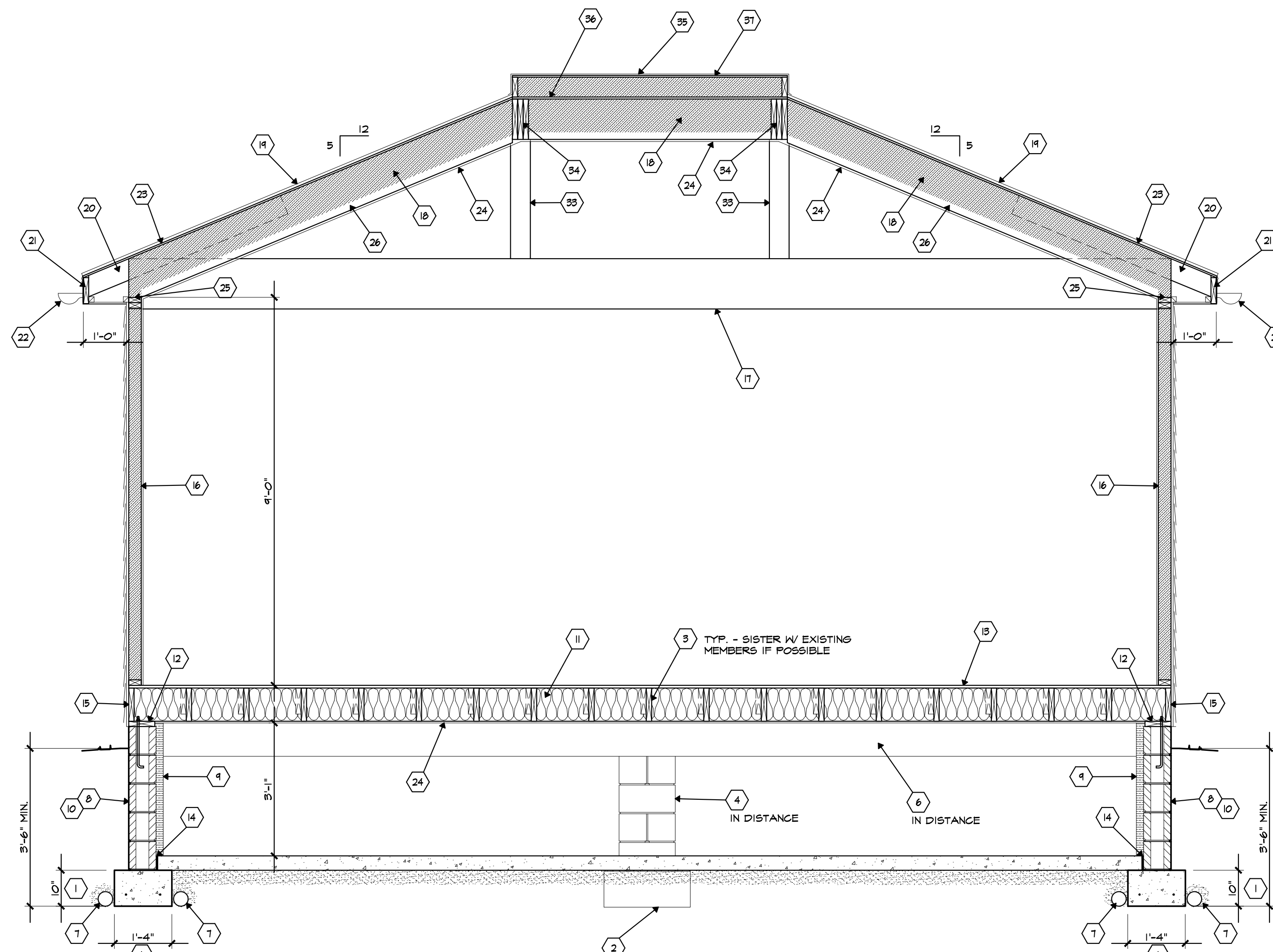
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THROUGH SECTION **D**
1/2"=1'-0"



THROUGH SECTION **C**
1/2"=1'-0"



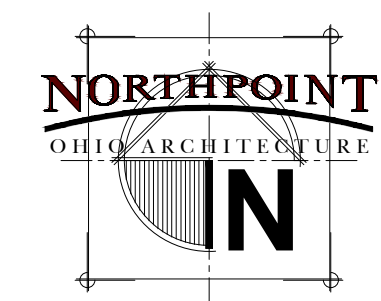
THROUGH SECTION **E**
1/2"=1'-0"

CODED NOTES

- 1 1'-4" WIDE MIN. x 10' DEEP CONT. CONCRETE FOOTING W/ (2) #4 REBAR CONT. - TO BEAR @ 42" MIN. BELOW GRADE
- 2 24"x24"x10" SPREAD FTG W/(2) #4 REBAR E.W.
- 3 2x10 SYP #2 FLOOR JOISTS @ 16' O.C.
- 4 16"x16"x32" (4) COURSE CMU BLOCK PIER W/ (4) #4 VERTICAL REINFORCEMENT.
- 5 4" CONCRETE SLAB ON GRADE W/ 6x6-W/ 4x4x4 HWF ON 6 MIL POLY VAPOR BARRIER OVER 4" WASHED GRAVEL - SANGUT SLAB @ 16'-0" O.C. MAX. EACH WAY
- 6 CONTRACTOR OPTION: 16x12 STEEL BEAM OR (3)-PLY 2x12 SYP #2
- 7 4" PERFORATED DRAIN TILE TO DAYLITE OR SUMP - SURROUND 4" DRAIN TILE @ FOOTER W/ GRAVEL ON EITHER SIDE OF FOOTER - INCLUDE LAYER OF LANDSCAPE FABRIC TO MINIMIZE SILT INFILTRATION
- 8 8" POURED CONCRETE OR 8" CONC. BLOCK WALL W/ #4 VERTICAL REBAR AT 62" O.C. MAX FLAGED AT ANCHOR BOLT LOCATIONS (5/4" CLEARANCE FROM INTERIOR FACE OF WALL) - 3,000 P.S.I. MIN.
- 9 2" R-10 CONTINUOUS RIGID FOAM INSULATION
- 10 PROVIDE WATERPROOFING ON FOUNDATION WALL FULL HEIGHT
- 11 PROVIDE R-30 MIN. BATT INSULATION IN JOIST LANES - PROVIDE 2" BAFFEL
- 12 2x TREATED SILL PLATE ON SILL SEALER AND TERMITE SHIELD - FASTEN USING 1/2" ANCHOR BOLTS x T1 EMBEDMENT OR MUD-SILL STRAPS @ T2' O.C. MAX. AND 12" OR LESS FROM ENDS AND CORNERS
- 13 3/4" T&G SUB FLOOR - GLUE AND SCREW
- 14 1/2" EXPANSION JOINT MATERIAL & WATERPROOFING
- 15 2x PERIMETER JOIST TO MATCH FLOOR FRAMING
- 16 2x6 STUD WALL @ 16' O.C. (or 2x4 EXISTING) - INTERIOR OF WALL 1/2" DRYWALL - EXTERIOR OF WALL FROM INSIDE, 1/8" SHEATHING, BUILDING WRAP, AND SIDING AS SEL. - PROVIDE BATT INSULATION (R-20 MIN) BETWEEN STUDS
- 17 (3)-PLY 1-3/4" x 14" 2.OE LVL - WRAP OR PAINT/STAIN AS DIRECTED BY OWNER TO ACHIEVE DESIRED FINISH
- 18 R-44 CLOSED CELL FOAM INSULATION
- 19 STANDING SEAM "FABRAL" METAL ROOF AS SELECTED OVER 5/8" SHEATHING WITH PLYWOOD CLIPS INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS
- 20 2x6 RAFTER TAILS TO CREATE OVERHANG
- 21 2x TREATED SUB FASCIA CONTINUOUS
- 22 HALF ROUND GUTTER W/ DOWNSPOUTS AS REQUIRED
- 23 PROVIDE ICE GUARD 24" BEYOND INTERIOR OF WALL
- 24 5/8" DRYWALL ON UNDERSIDE OF JOISTS / RAFTERS
- 25 SIMPSON STRONG TIE RAFTER FASTENER
- 26 2x12 SYP #2 RAFTERS @ 16' O.C.
- 27 2x8 SYP #1 RAFTERS @ 12' O.C.
- 28 2x8 SYP #2 RAFTERS @ 12' O.C.
- 29 2x TREATED SLEEPERS @ 16' O.C. - RIP TO CREATE SLOPE OF NO LESS THAN 25" PER 12".
- 30 5/8" SHEATHING OVER RAFTERS TO SUPPORT SLEEPERS
- 31 5/8" SHEATHING OVER SLEEPERS TO CREATE FLAT SURFACE FOR APPLICATION OF EPDM ROOFING
- 32 EPDM ROOFING MEMBRANE - INSTALL PER MANUFACTURER'S INSTALLATION INSTRUCTIONS - COLOR BLACK UNLESS NOTED OTHERWISE BY OWNER
- 33 6x6 STRUCTURAL WOOD COLUMN UNDER EACH ROOF HIP CORNER DOWN TO LVL BEAM - CONSULT OWNER ON DESIRED FINISH APPEARANCE
- 34 (3)-PLY 2x12 SYP #2 RIDGE BOX BEAM
- 35 FABRICATE METAL COVER FOR ROOF "BOX" - COLOR TO COORDINATE W/ FABRAL STANDING SEAM METAL ROOF - CONSULT OWNER
- 36 5/8" SHEATHING TO CREATE PLATFORM FOR ROOF "BOX"
- 37 5/8" SHEATHING TO CREATE COVER STRUCTURE FOR ROOF "BOX"

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