



AGENDA

REGULAR MEETING OF THE PLANNING COMMISSION

Monday, July 01, 2024

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

REQUIREMENTS FOR PUBLIC COMMENT:

Anyone that would like to make a public comment at any point during the meeting must first sign the "Sign In" sheet located near the main entrance door.

Prior to making any comment a member of the audience MUST first state your name and address for the record

1. Call to Order

2. Pledge of Allegiance

3. Roll Call and Determination of Quorum

4. Approval of Agenda

5. Approval of Minutes

A. Approval of June 3rd, 2024 Planning Commission Minutes

6. Public Comments on Non-Agenda Items Only

7. Old Business

8. New Business

A. Monthly Planning and Zoning Report

B. Site Plan Discussion: VLO-24-02 (44 E. Flint) Mixed-Use Development

9. Commissioners' Comments Regarding Planning and Zoning Matters

10. Next Regular Meeting - August 5th, 2024

11. Adjournment

In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact the Village, at least three (3) business days in advance of the meeting, if requesting accommodations. The Village of Lake Orion will provide foreign language or hearing impaired interpretation services for those individuals who contact the village to request such services at least seven (7) days prior to the meeting.

En el espíritu de la observancia de la Ley de Estadounidenses con Discapacidades, las personas con discapacidad debe sentirse libre para ponerse en contacto con el pueblo, por lo menos tres (3) días hábiles de antelación a la fecha de la reunión, si se solicitan alojamiento. El municipio de Lake Orion proporcionará idioma extranjero o personas con problemas de audición servicios de interpretación para las personas que se ponen en contacto con el pueblo de solicitar dichos servicios con no menos de siete (7) días antes de la reunión.



BOARD ACTION SUMMARY SHEET

MEETING DATE: July 1st, 2024

TOPIC Approval of June 3rd, 2024 Planning Commission Minutes

RECOMMENDED MOTION: To approve the June 3rd, 2024 Planning Commission meeting minutes as presented.



MINUTES

REGULAR MEETING OF THE PLANNING COMMISSION

Monday, June 03, 2024

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

1. Call to Order

The June 3rd, 2024 Planning Commission Regular Meeting was called to order at 6:45 PM.

2. Pledge of Allegiance

3. Roll Call and Determination of Quorum

PRESENT

Vice Chairperson George Dandalides
Secretary Hank Lorant
Commissioner Edward Sabol
Village Council President Jerry Narsh
Commissioner/Administrative Official Darwin McClary

ABSENT

Chairperson James Zsenyuk
Commissioner Larry Dunn
Commissioner Nick Smith
Village Council Member Michael Lamb

STAFF PRESENT

Planning and Zoning Coordinator Gage Belko
Deputy Clerk/Treasurer Lynsey Blough

4. Approval of Agenda

MOTION made by Commissioner Sabol, Seconded by Commissioner/Administrative Official McClary, to approve the agenda for Monday, June 3rd, 2024 Planning Commission Regular Meeting as presented.

VOTING YEA: Dandalides, Lorant, Sabol, Narsh, McClary
VOTING NAY: None
ABSENT: Zsenyuk, Dunn, Smith, Lamb
MOTION: Carried

5. Approval of Minutes

A. Approval of May 6, 2024 Minutes

MOTION made by Secretary Lorant, Seconded by Commissioner/Administrative Official McClary, to approve the May 6, 2024 Planning Commission Regular Meeting Minutes as presented.

VOTING YEA: Dandalides, Lorant, Sabol, Narsh, McClary
VOTING NAY: None
ABSENT: Zsenyuk, Dunn, Smith, Lamb
MOTION: Carried

6. Public Comments on Non-Agenda Items Only

None.

7. Public Hearing

A. Public Hearing: Proposed Amendments to Article 9: MU, Mixed Use District

MOTION made by Village Council President Narsh, Seconded by Commissioner/Administrative Official McClary, to open the public hearing for proposed amendments to Article 9 of the Zoning Ordinance.

VOTING YEA: Dandalides, Lorant, Sabol, Narsh, McClary
VOTING NAY: None
ABSENT: Zsenyuk, Dunn, Smith, Lamb
MOTION: Carried

Vice Chairperson Dandalides opened the Public Hearing at 6:47 PM.

No members of the public were present.

Vice Chairperson Dandalides reiterated the protocol for the hearing, followed by a brief presentation from Planning and Zoning Coordinator Gage Belko on Article 9: MU, Mixed Use District. Mr. Belko highlighted amendments to the existing ordinance, referencing specific pages within the Agenda Packet.

Secretary Lorant inquired whether the proposed changes would impact the ones that are already in the works. Mr. Belko clarified that they would not, offering further explanation.

President Narsh and Vice Chairperson Dandalides shared their respective remarks.

MOTION made by Commissioner/Administrative Official McClary, Seconded by Secretary Lorant, to close the public hearing for proposed amendments to Article 9 of the Zoning Ordinance.

- VOTING YEA:** Dandalides, Lorant, Sabol, Narsh, McClary
- VOTING NAY:** None
- ABSENT:** Zsenyuk, Dunn, Smith, Lamb
- MOTION:** Carried

Vice Chairperson Dandalides closed the Public Hearing at 6:59 PM.

8. Old Business

9. New Business

A. Proposed Amendments to Article 9: MU, Mixed Use District

MOTION made by Commissioner/Administrative Official McClary, Seconded by Secretary Lorant, to recommend that the Village Council approve the amendments to Article 9 of the Zoning Ordinance as proposed as in the McKenna letter dated May 30, 2024.

- VOTING YEA:** Dandalides, Lorant, Sabol, Narsh, McClary
- VOTING NAY:** None
- ABSENT:** Zsenyuk, Dunn, Smith, Lamb
- MOTION:** Carried

10. Commissioners' Comments Regarding Planning and Zoning Matters

President Narsh spoke.

Vice Chairperson spoke.

11. Next Regular Meeting - July 1, 2024

12. Adjournment

MOTION made by Secretary Lorant, Seconded by Commissioner/Administrative Official McClary, to adjourn the June 3rd, 2024 Planning Commission Regular Meeting.

- VOTING YEA:** Dandalides, Lorant, Sabol, Narsh, McClary
- VOTING NAY:** None
- ABSENT:** Zsenyuk, Dunn, Smith, Lamb
- MOTION:** Carried

The June 3rd, 2024 Planning Commission Regular Meeting adjourned at 7:03 PM.

Henry Lorant
Secretary

Lynsey Blough
Deputy Clerk/Treasurer

Sonja Stout
Clerk/Treasurer

Date approved: as presented on July 1, 2024.



COMMISSION ACTION SUMMARY SHEET

MEETING DATE: July 1, 2024

TOPIC Monthly Planning and Zoning Report

BACKGROUND BRIEF:

McKenna has prepared a monthly report of May-June planning and zoning activities:

- Special Projects
- Permits
- Variances
- Active Development
- Anticipated Development

SUMMARY OF PREVIOUS COMMISSION ACTION:

None.

FINANCIAL IMPACT:

None.

RECOMMENDED MOTION:

Receive and forward to the Village Council.



21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

Monthly Planning & Zoning Report

MAY–JUNE 2024

June 26, 2024

Dear Commissioners:

The following report contains a summarized update of recent Village planning, zoning, and development activities.

SPECIAL PROJECTS

Planning and Zoning Training: Village Administration approved an in-house basic training for the Board of Zoning Appeals, Planning Commission, Council, and staff, presented by McKenna. Two (2) two-hour sessions were held June 20, 2024, which were attended by 22 people representing each group. A PDF of the presentation is attached; additional in-house and external training opportunities will be available in the coming months.

Engineering Standards for Single-Family Homes: The Village Council is interested in implementing engineering design standards for single-family homes. The Township already requires engineering plot plans for all new single-family homes. Village staff and consultants would need to propose amendments to the Engineering Design Standards and revise applications and internal policy to facilitate administrative engineering review for single-family homes. Standards and permit procedures for residential driveway approaches will also be included.

Township BS&A Review and Permitting Process: Ongoing coordination with the Township Building Department to establish BS&A access and revised project flow. This will be utilized for project tracking for major and minor developments and code enforcement. Anticipated launch: July 1, 2024.

Tax-Exempt Parcels and Village ROW Inventory – Oakland County is auditing their record of tax-exempt parcels and requests an updated list and map of such parcels under Village ownership. Staff were authorized to create a map of all tax-exempt parcels and Village rights-of-way. This process will be finalized in early July.

Master Plan – Strategic Action Plan: Council approved a proposal to prepare a Master Plan amendment to develop a Strategic Action Plan. Analysis of past plans and engagement data is complete; a draft matrix of objectives and action items will be reviewed by Village staff and included in your August agenda packet for review and discussion prior to mid-August release of a public opinion survey. Data from this survey will inform our revisions, which will be followed by additional public review and adoption.

CIP & Fee Schedule – As part of the FY 24/25 budget process, the Council will be working to update the municipal fee schedule and adopt a 6-year capital improvements plan.

RRC Certification: Council received a presentation from the Village RRC representative on January 22, 2024, as a refresher on the benefits and process of obtaining certification. Outstanding items to reach “Essentials” status:

- Master Plan Implementation Matrix, Action Plan (BP 1.1 – In Progress)
- 6-year CIP available online. (BP 1.3 – In Progress)
- Public engagement activities within PC Annual Report. (BP 1.4 – In Progress)
- Development Guide to be updated and uploaded to Village website. (BP 3.4, 3.8 – In Progress)
- Update board/commission applications. (BP 4.1 – Not Started)
- Adopted BZA Bylaws uploaded to Village website. (BP 4.4 – Complete)
- Updated training strategy for all boards and commissions (BP 4.6 – In Progress)

PERMIT DETAILS

PERMIT TYPE	ADDRESS / PROJECT	DESCRIPTION	SUBMITTED	APPROVED
ZONING COMPLIANCE				
Z-24-16	420 Bellevue	Residential minor	10/16/2023	5/7/2024
Z-24-17	10 S. Park Blvd (Marina)	Commercial/mixed use, minor/accessory	5/2/2024	5/14/2002
Z-24-18	444 Bellevue	Residential, single family, new build	6/5/2024	6/25/2024
TEMPORARY USE OF RIGHT OF WAY				
R-24-09	Broadway & M-24	Temporary special event banner	4/11/2024	5/1/2024
R-24-10	54 W Elizabeth	Install gas service.	4/16/2024	5/1/2024
R-24-11	Flower and Art Fair	Special event, road closures.	1/2/2024	5/14/2024
R-24-12	Memorial Day Race	Special event, road closures.	2/20/2024	5/14/2024
R-24-13	Memorial Day Parade	Special event, road closures.	2/26/2024	5/14/2024
R-24-14	Lions Jubilee	Special event, road closures.	1/23/2023	6/18/2024
R-24-15	616 Longpointe	Temporary construction material storage.	6/18/2024	6/18/2024
SIGNAGE				
S-24-06	120 S. Broadway	1 wall sign, 1 blade sign	1/22/2024	5/1/2024
S-24-07	Flower and Art Fair	Event sign, temporary banner	2/8/2024	5/14/2024
S-24-08	Memorial Day Race	Event signs, temporary yard signs	2/13/2024	5/14/2024
FENCE / WALL				
F-24-01	447 N Shore	4-6 ft. black aluminum privacy fence	4/30/2024	5/7/2024
F-24-02	616 Longpointe	<4-ft. concrete block landscape retaining wall	6/18/2024	6/18/2024

VARIANCE REQUESTS

NAME / LOCATION	REQUESTED VARIANCES	MEETINGS / STATUS
A-24-01 600 Longpointe Zoned: RL November 29, 2023	Construct accessory deck above garage with encroaching overhang/roof. Front yard: 11.5 ft. Side yard: 1.5 ft.	BZA meeting held January 11, 2024 – Tabled. BZA meeting held February 1, 2024 – Approved: Front yard: 11.5 ft. Side yard: 1.5 ft.
A-24-02 136 Axford (RV) Zoned: RV April 1, 2024	Install above-ground swimming pool in rear yard, adjacent to newly constructed deck. Rear yard: 15 ft. Lot coverage: 1.95%	BZA meeting held May 2, 2024 – Tabled. BZA meeting held June 6, 2024 – Denied: Rear yard: 15 ft. Lot coverage: 1.95%
A-24-03 512 Longpointe Zoned: RL April 30, 2024	Demolition of existing (non-conforming) home; build new single-family home. Front (street): 11.92 ft. Front (water): 13.42 ft. Height: 3.25 ft.	BZA meeting held May 2, 2024 – Tabled. BZA meeting held June 6, 2024 – Approved: Front (street): 10 ft. max. Front (water): 10 ft. max. Height: 3.25 ft.
A-24-04 638 Buena Vista Zoned: RV June 17, 2024	Construct addition of accessory garage w/deck above, new entry stairs and porch. Front (EFS): 8.35 ft. Side: 4.5 ft. Projection: 10.4 in.	BZA meeting to be held July 11, 2024.

ACTIVE DEVELOPMENT PROJECTS

NAME / LOCATION	DESCRIPTION	REVIEW & APPROVAL STATUS
Lake Street Realignment and Improvements	Realign / restore Lake St at Flint for safer access pursuant to agreement between the Village and developer.	Received conceptual plan and license agreement approval from Council on August 14, 2023; updated agreement approved November 27, 2023. Engineering review (#3) transmitted to applicant.
VLO-24-01 Snug Harbor 160 Heights	Multifamily development; adjacent to Mystic Cove	Received Planning Commission approval May 6, 2024. Engineering review (#2) transmitted to applicant
VLO-24-02 44. E Flint	4-story, mixed-use, multi-family, retail, and office on existing parking lot.	Site was previously approved for a parking lot (2021) and had permits pulled but developer proposed higher and better uses; site plan received May 6, 2024; first review letters transmitted May 24, 2024; applicant meeting June 4, 2024 – revised plans placed on the July 1, 2024 Planning Commission agenda for discussion only.
VLO-24-03 112 Park Island	Private recreation facility (pickleball court) for special land use and site plan approval.	Applicant submitted materials May 14 and has been reviewed by staff; significant additional revisions and review required prior to bringing before the Planning Commission.
VLO-23-03 Orion Villas 597 E. Flint	Multifamily residential SPR for 8-unit townhome condominium development.	Planning Commission approval on June 5, 2023. Final plans approved by the Township and Village engineers and the Village planner. The applicant will have one year to obtain building permits. Condo documents approved by Council April 8, 2024; reviewed by Village/Twp. engineers, then recorded with County. Site preparation underway, incl. drain connections.
VLO-23-04 West Village former Ehman Center 55 W. Elizabeth	PUD site plan review for mixed-use, multi-family residential development at the former Ehman Center property.	Planning Commission prelim. approval of site plan / PUD development plan September 5, 2023. Council approved PUD agreement on December 11, 2023, again on February 12, 2024; Council approved PUD addendum (PA adj. lot) June 10, 2024 – executed / recorded with County. Requires final site plan / engineering approval; may require prelim. hearing for amended development plan.
VLO-22-05 Mystic Cove	Mixed-use, incl. multifamily townhomes & dock/shoreline improvements.	Planning Commission approved site plan on October 3, 2022. Parcel reconfigurations approved by Council June 2023. Building permits issued, construction underway; ready for as-built permits.
VLO-23-05 Starboard (former Orion Marina)	Mixed-use, incl. multifamily townhomes & marina improvements.	Planning Commission approved the site plan on November 6, 2023. Council approved improvement of ROW November 27, 2023; agreements executed and recorded with the County. Under engineering review (#2); received separate Eng. SWM review.
VLO-23-02 Constellation Bay	Mixed-use, incl. multifamily townhomes at Broadway & Atwater.	Site plan approved by the Planning Commission on October 3, 2022. Modified site plan approved by the Planning Commission on April 3, 2023. Under final engineering review (#3) for permitting.
VLO-23-07 The Peninsula (adjacent to Starboard)	Three single-family site condos adjacent to the Starboard.	Received Planning Commission approval on February 5, 2024. Condominium documents and draft agreement to improve ROW to be approved by Council April 8, 2024. Under engineering review (#2); received separate Eng. SWM review. County to record condominium docs.
VLO-23-06 146 S. Broadway	Commercial SPR “white box” tenant space, interior demolition, and façade modifications.	The plans were approved by the Planning Commission on October 2, 2023. Applicant provided changes per Planning Commission and received final site plan approval on November 22, 2023. Building permits have been issued and construction is in progress.

VLO-21-10 Cloud Retail 494 S. Broadway	Commercial SPR for the construction of a retail service building – marijuana provisioning center.	Lot reconfiguration approved by Council on March 13, 2023, and finalized by the County in May 2023. Site plan approved by the Planning Commission on April 3, 2023. Under engineering review (#2) and final site plan review (#2).
VLO-21-04 M818 Apartments 141 W. Elizabeth	Multi-family residential PUD for 16 units.	PUD eligibility approved by PC on August 2, 2021; VC on August 9. Preliminary PUD plan approved by PC March 7, 2022; VC March 14. Final development plan approved by PC August 1, 2022. Pending final engineering, fire, and site plan approval.

ANTICIPATED DEVELOPMENT PROJECTS

The following projects are in varying stages of conceptual and pre-application discussions; fees have not been collected and formal reviews have not commenced.

NAME / LOCATION	DESCRIPTION	REVIEW & APPROVAL STATUS
Jacobsen’s Flowers	Possible redevelopment into multiple-family, mixed use.	This site is primarily within Orion Township; discussion is ongoing as to the application of Ordinance standards, PUD eligibility, and an interlocal agreement facilitating development across Township and Village boundaries. Awaiting Township’s lead.
Orion Lumberyard	Mixed-use redevelopment and public parking lot/pavilion	The DDA acquired the former Orion Lumberyard property; conceptual plans for the site have been proposed in recent years. The DDA is actively looking to partner with a developer to realize a shared vision for public and private use of the site. Environmental investigations and development of management strategies is underway.

Prepared by:



McKenna provides day-to-day assistance to Village staff and administration, applicants and developers, and the public regarding planning, zoning, and economic development matters. We also assist in the administration of the Planning Commission and the Board of Zoning Appeals.

Contact your McKenna team via email:

- **Gage Belko**, Associate Planner (gbelko@mcka.com)
- **Laura Haw**, Vice President (lhaw@mcka.com)
- **Ashley Amey**, Assistant Planner (aamey@mcka.com)
- **Vidya Krishnan**, Senior Principal Planner (vkrishnan@mcka.com)

Or visit us during on-site office hours, every Tuesday from 9:30am-4:30pm.

As always, thank you for your support and participation – *it takes a Village!*



PLANNING & ZONING TRAINING

Village of Lake Orion, Michigan
June 20, 2024

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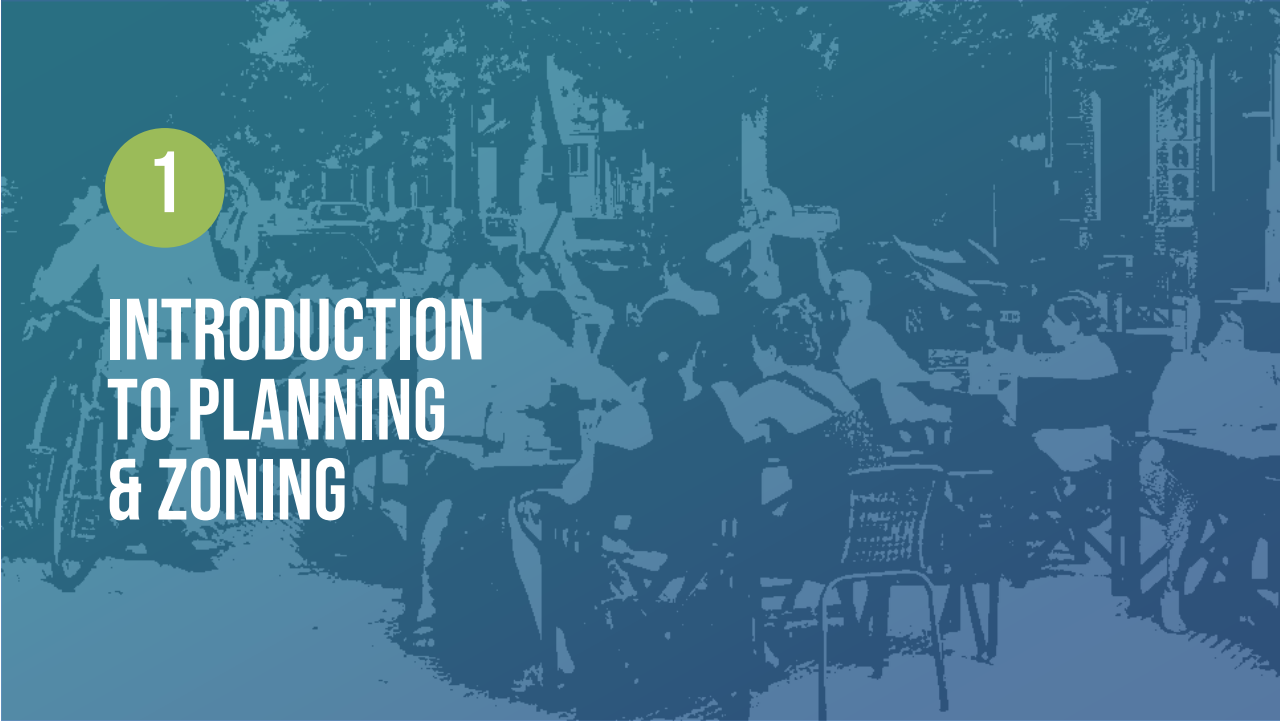
AGENDA

1. Introduction to Planning and Zoning
2. Review and Approval Procedures
3. Roles and Responsibilities
4. Best Practices and Additional Resources



Village Of Lake Orion, MI
Planning & Zoning Training

2



INTRODUCTION TO PLANNING & ZONING

3



Anticipate
change



Ensure
wide use
of resources



Implement
a vision
for the future



Protect
our
environment



Preserve
our
quality of life

4

STATUTORY BASIS



Village Of Lake Orion, MI
Planning & Zoning Training

Michigan Planning Enabling Act (P.A. of 2008)

Master Plans

- Community data
- Policies and objectives
- Future Land Use Map and Zoning Plan

Planning Commissions

- Establishment
- Membership, terms, etc.



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MASTER PLAN

Lake Orion
MICHIGAN

Lake Orion Master Plan 2022 Amendment

Village of Lake Orion, Oakland County, Michigan

February 7, 2022: Approved by Village Planning Commission
February 28, 2022: Adopted by Village Council

Purpose

- Basis for zoning and other land use regulation
- Balances community rights and landowner rights
- Provide mix of land uses for a good tax base
- Protect key natural and historic resources
- Identifies existing conditions & trends
- Sets goals with public input
- Considers alternatives
- Provides recommendations for future development, including a **Future Land Use Map**
- Must review at least every five years

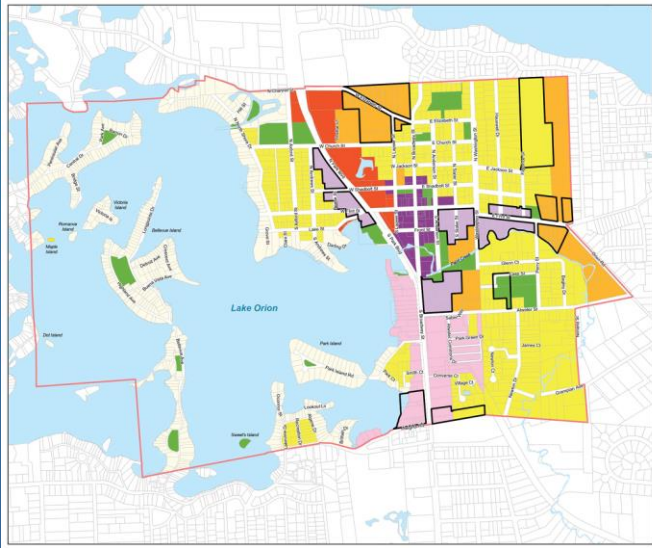
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Section 8, Item A.


FUTURE LAND USE MAP



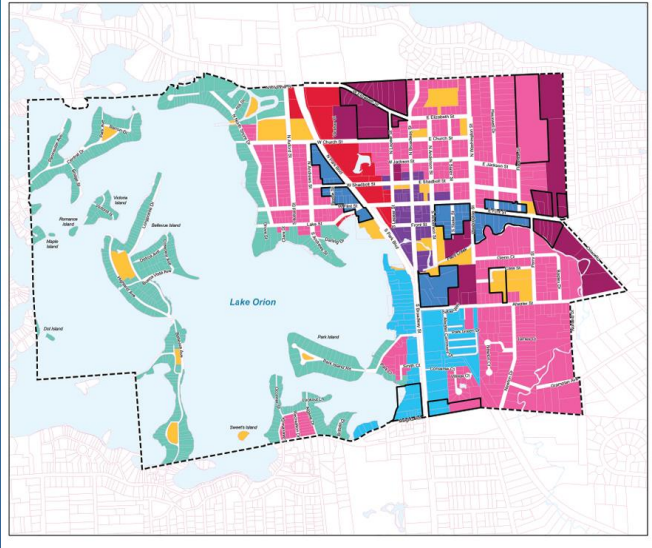
Village Of Lake Orion, MI
Planning & Zoning Training



FUTURE LAND USE MAP



Village Of Lake Orion, MI
Planning & Zoning Training



WHAT IS ZONING?



Village Of Lake Orion, MI
Planning & Zoning Training

9

- 1 Public regulation of use of the land
- 2 Primary tool to implement Master Plan
- 3 Adopted by Village Board = LAW
- 4 Divides the Village into districts
- 5 Regulates use, buildings, and structures
- 6 Includes procedures for permits, amendments, appeals, variances, and conditional uses

STATUTORY BASIS



Village Of Lake Orion, MI
Planning & Zoning Training

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Michigan Zoning Enabling Act (P.A. 110 of 2006)

Zoning Ordinances

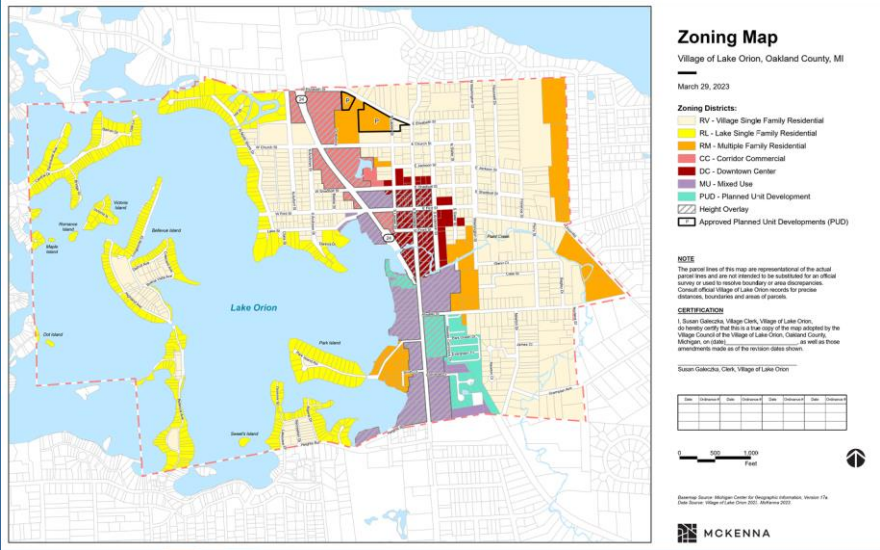
- Uses, structures, densities, and development alternatives
- Amendments
- Variances & Appeals
- Conditional Use
- Zoning Map
- Planned Unit Developments

Board of Zoning Appeals

Case Law = Additional
Guidance/Clarification

ZONING MAP

MCKENNA Village Of Lake Orion, MI Planning & Zoning Training



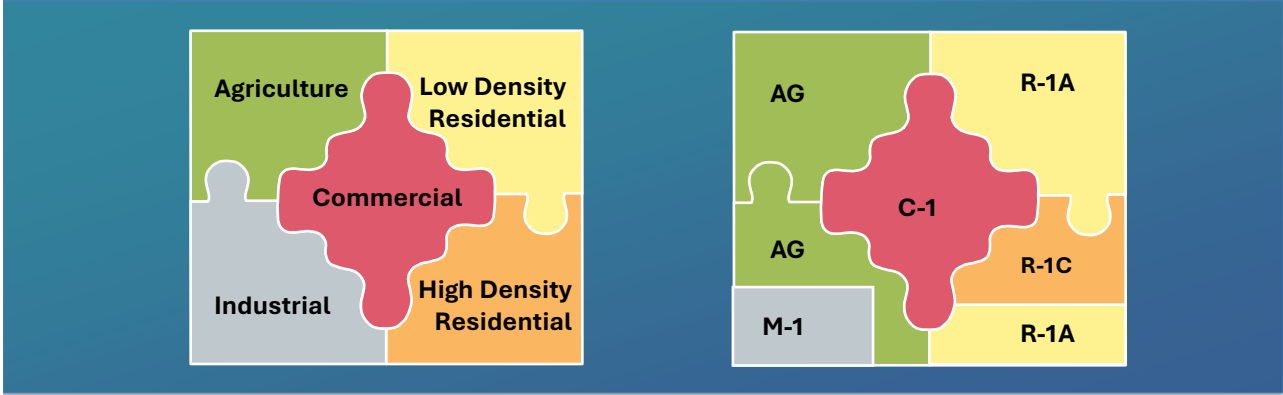
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RELATIONSHIP OF PLANNING TO ZONING

MCKENNA Village Of Lake Orion, MI Planning & Zoning Training

Master Plan	VS	Zoning Ordinance
Guide for the FUTURE	vs	Regulation for TODAY
Policy	vs	Law
Future land use maps may be general	vs	Zoning maps are specific and follow property lines
Flexible to respond to changing conditions	vs	Specific standards
Adopted/Amended by Planning Commission and Village Council	vs	Adopted by Village Council upon recommendation by the Planning Commission

12



Master Plan

- Future Land Use Districts
- Character Areas
- Flexible / Discretionary

Zoning Ordinance

- Zoning Districts
- Lot Standards
- Rigid / Compulsory

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14

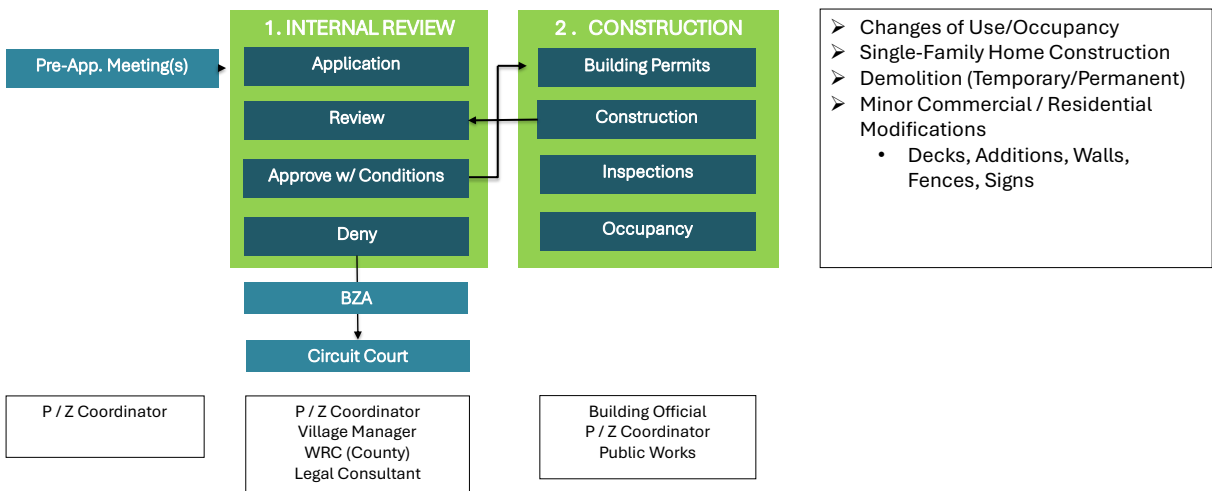


Zoning Compliance Review

- Nearly all improvements within the Village require some form of review:
 - “There shall be no new, changed, altered or moved uses or occupancies of land or any buildings or structures thereon, including excavations and construction, without first applying for and obtaining a zoning compliance permit from the Zoning Administrator.”
- Upon finding that a project complies with the Zoning Ordinance, the Zoning Administrator shall issue a Zoning Compliance permit.

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Zoning Compliance Review Process



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SITE PLANS

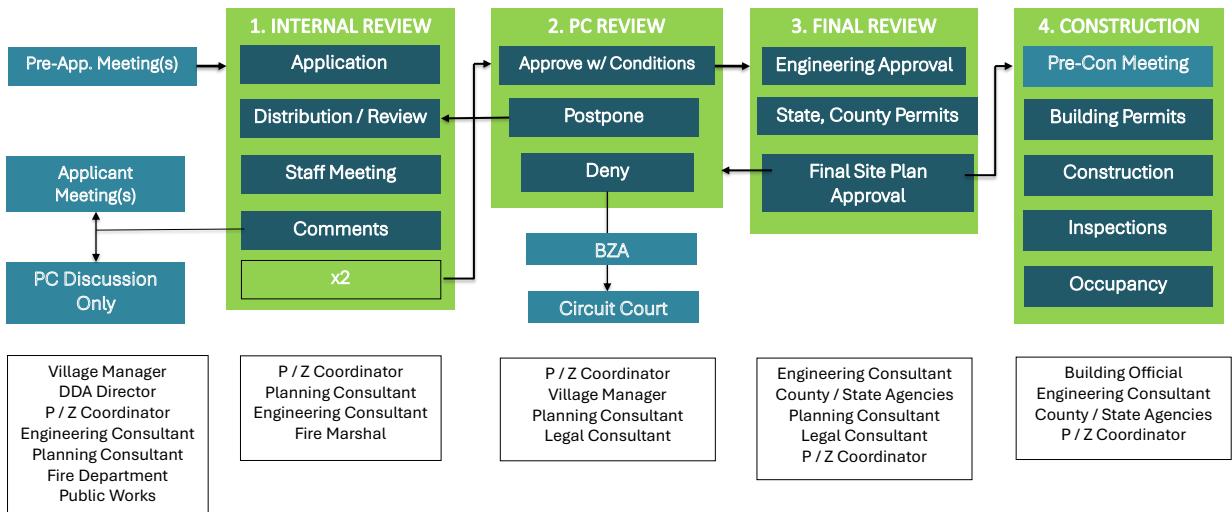
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Site Plan Review

- Except as provided in Section 19.02, all development requires site plan review by the Planning Commission
 - “Prior to the erection of any building or structure, a change of use, construction of parking facilities, or the creation or addition of a new use in any zoning district, or any land use requiring special land use approval, site plan review and approval shall be required.”
- Planning Commission may approve (with or without conditions), postpone, or deny a site plan request based on its standards in Section 19.02

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Site Plan/Special Use Review Process



18



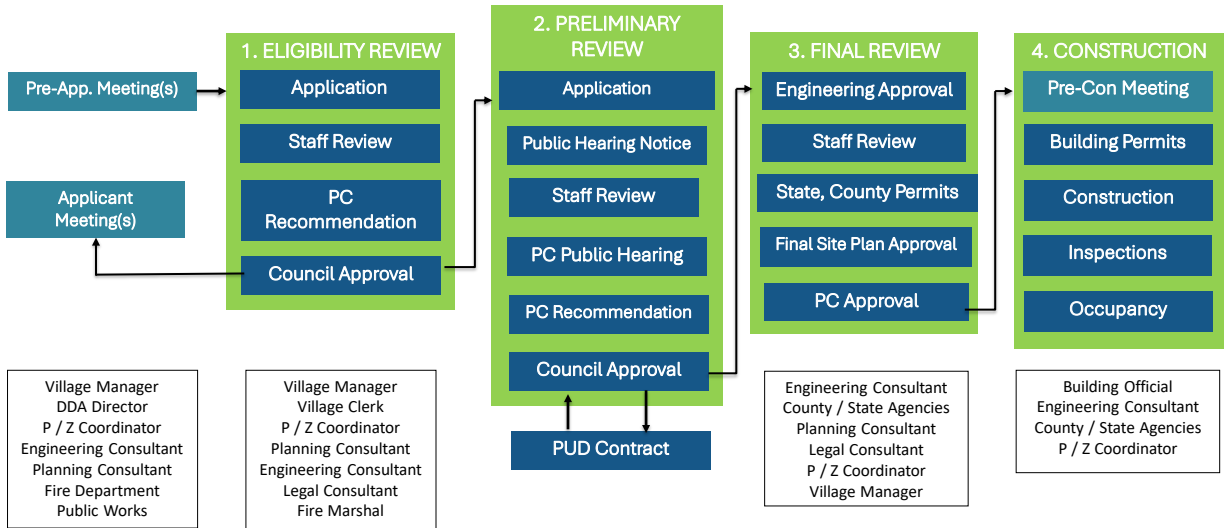
PUD Option

- PUD is a mutually-agreeable solution providing zoning flexibility to achieve higher-quality design and other benefits.

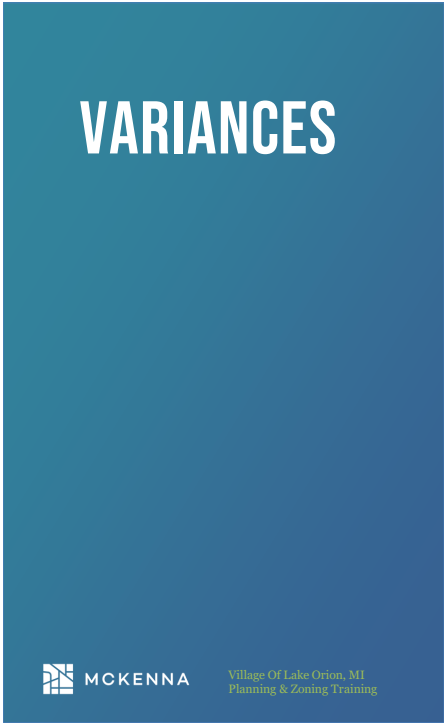
“The PUD is an optional method of development that may be permitted in any location and zoning district in the Village, only after review and recommendation by the Planning Commission and discretionary approval of the Village Council.”

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PUD Review Process



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Variance Review

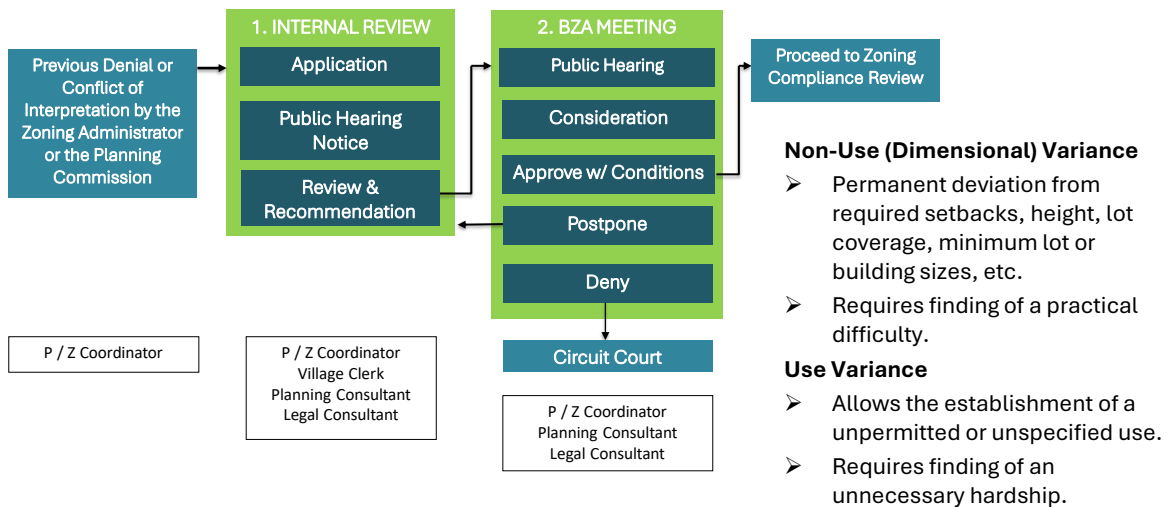
- Conflicts regarding the interpretation or administration of the Zoning Ordinance between an aggrieved party and the Zoning Administrator may compel BZA review:

“The Board of Zoning Appeals shall have the authority in specific cases to authorize one or more variances from the strict letter and terms of this Ordinance by varying or modifying any of its rules or provisions so that the spirit of this Ordinance is observed, the public health safety and general welfare secured, and substantial justice done.

- The BZA may approve (with or without conditions), postpone, or deny a variance request based on its standards in Section 19.04.

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Variance Review Process



Non-Use (Dimensional) Variance

- Permanent deviation from required setbacks, height, lot coverage, minimum lot or building sizes, etc.
- Requires finding of a practical difficulty.

Use Variance

- Allows the establishment of a unpermitted or unspecified use.
- Requires finding of an unnecessary hardship.

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Is There a Practical Difficulty or Unnecessary Hardship?

1. Strict compliance is unnecessarily burdensome	➔	1. Will denial prevent the use of property for a permitted purpose?
2. Unique circumstances applying to the property	➔	2. How is this property different from others?
3. Variance will not adversely affect adjacent properties	➔	3. Is there harm?
4. Variance is not self-created	➔	4. Did the applicant (or their predecessors) take any action that made the variance necessary?
5. Variance is the minimum necessary	➔	5. Would a lesser variance relieve the practical difficulty?

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VARIANCES

Incorrect Reasons to Grant Variance

- No one came to object
- It's the only sign they make
- The ordinance is too strict
- We have to give it to them or they will leave
- It will make the area better
- We gave this variance before
- It's already built
- We know he will do a good job
- It's only a small variance...

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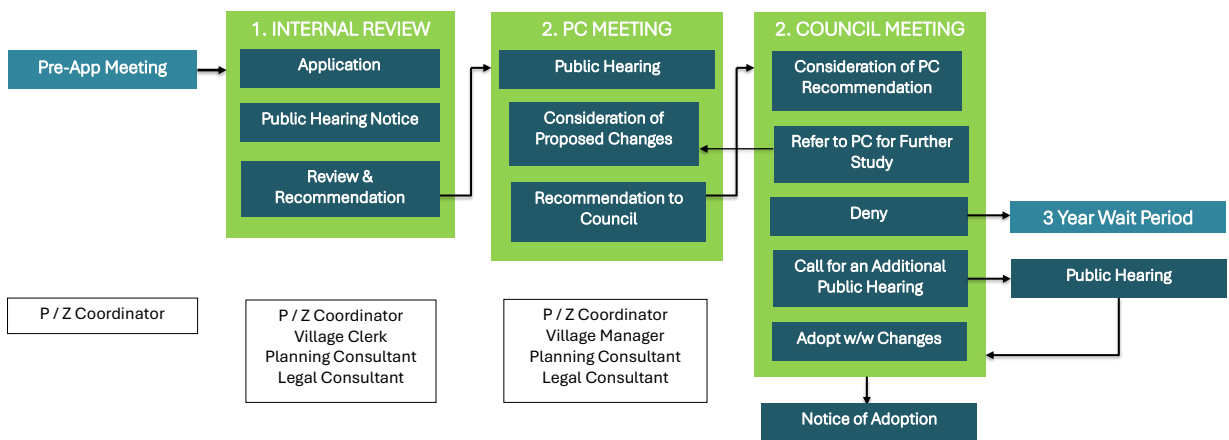


Initiation of Amendments

- Amendments are legislative changes to the Zoning Ordinance – either its text or its map.
- Amendments may be initiated by:
 - Village Council
 - Planning Commission
 - Property owners (typically a map (rezoning) amendment)

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Amendment Procedure



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The best time to update the Zoning Ordinance is...

- A. Whenever we get sued, and lose
- B. When our attorney or planner tells us
- C. Whenever something comes up we didn't think of
- D. After the master plan is completed
- E. Once a year
- F. All of the above



MCKENNA

Village Of Lake Orion, MI
Planning & Zoning Training

27

27

3

ROLES AND RESPONSIBILITIES

28

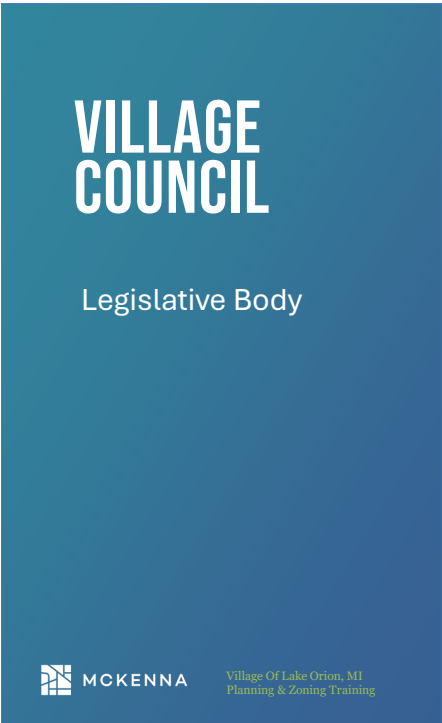


Authority and Responsibility

Study planning issues and educate the community

Awareness of other entities

- Orion Township (Building, Fire)
- Downtown Development Authority (DDA)
- Parks and Recreation Commission
- Economic Development Corporation (EDC)
- Oakland County (Assessing, Road Commission, WRC)
- SEMCOG
- EGLE, LARA, and other State agencies



Responsibilities

- Adopts Zoning Ordinance
- Adopts text and map amendments to Zoning Ordinance
- Sets permit and application fees
- Appoints Planning Commission and BZA members
- Approves proposed development within Planned Unit Developments
- Approves Capital Improvement Plans

PLANNING COMMISSION

Nine members
appointed by
Village Council



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Village Of Lake Orion, MI
Planning & Zoning Training

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Responsibilities

- Develop Zoning Ordinance and Zoning Map, and make recommendations to the Village Council
- Hold public hearings on Special Land Uses, Zoning Ordinance amendments, and PUDs and make recommendations to the Village Council
- Approve Special Land Uses and Site Plans
- Review matters referred by the Council
- Make reports on the viability of the Zoning Ordinance
- Develop, review, and update Master Plan

BOARD OF ZONING APPEALS (BZA)

Five members
appointed by
Village Council



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Responsibilities

- Hear and decide appeals of administrative decisions
- Hear and decide requests for interpretation of the ZO, including the Zoning Map
- Authorize variances from the ZO
- Authorize a variation, modification or exception to Article 14, Parking
- Permit temporary buildings and uses for periods not more than one year
- Permit temporary uses of land

ZONING ADMINISTRATOR + PLANNING AND ZONING COORDINATOR



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Planning & Zoning Training

Responsibilities

- Enforce Zoning Ordinance
- Consult with applicants before application
- Review applications and plans
- Maintain records for nonconforming uses, structures, and lots
- Write reports to Village Council, PC and BZA
- Issue Zoning Permits
- Conduct Inspections

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BEST PRACTICES AND ADDITIONAL RESOURCES

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TIPS

Smooth Hearings

- Do not hold private conferences prior to the meeting
- The chair should strictly enforce meeting procedures
- Print hearing rules on the agenda
- Limit speaking time and the number of times a person can speak
- Do not tolerate interruptions and personal attacks
- Make sure all participants can see and hear the proceedings

TIPS

Smooth Hearings

- Make copies of staff reports and agenda before the hearing
- Separate fact from opinion, and lay opinion from expert opinion
- Ask for alternatives or additional information if you're not comfortable with the proposal presented
- Legal counsel should be present when necessary

TIPS

Decision Making

- Disclose conflicts of interest and recuse as necessary
- Adopt rules of procedure for the body and follow them
- Know the standards of review and action, and apply them consistently
- Refer to the standards of review in the Zoning Ordinance
- Do not act based on emotion or the sentiment of the audience
- Keep accurate and complete records
- Keep Master Plan and Zoning Ordinance up to date
- Distinguish between reasonable rate of return vs. highest profit

Motion -- MUSTS

- Site plan name and number
- Date of plan (including revision dates)
- The result (approved, approved with conditions, denied, postponed)
- Reasons for action(s) taken
- Any conditions (with time tables if applicable)
- Who will verify conditions are met (if applicable)

Motions should be:

- Clear to everyone
- Formed properly



Motions -- HINTS

- Phrase motions carefully to withstand scrutiny by a court
- Ensure everyone is clear on motion
- Reference relevant sections of ordinance and reports
- Conditions may be imposed on any zoning decision, except rezoning

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Sample Motion

Whereas, based on the above information which **demonstrates conformance** with the requirements of **Sections 6.5 and 10.2** of the Willis Township **Zoning Ordinance**, I move that the request by the **Adams Development** Company for a **special use permit** for a shopping center at **77 Sunset Strip, parcel #18-22-14-200-0010**, be **approved**, with the following **conditions**:

- *Concluding Finding*
- *Applicant*
- *Approval Type*
- *Site*
- *Decision*

40

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TIPS

Decision Making

- Do not exclude lawful land uses if there is a demand and appropriate location
- Reasonable conditions of approval are appropriate, but do not impose conditions or demand improvements that are unrelated to the project
- Do not act hastily and resolve questions of doubt before taking action
- When members vote, they should state the reasoning behind their vote
- Rely on legal counsel, planning consultants, and Zoning Administrator for advice
- Correct any mistakes immediately



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TIPS

Next time you feel badly about turning down a request ...

Think about:

- The hundreds (or thousands) of property owners who DID comply
- The amount of time and effort the drafters of the Zoning Ordinance spent in developing the language
- The effectiveness of your Zoning Ordinance if it is commonly known that all you need to do is *ask* for a variance and it will be granted



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TIPS

Risk Management

- You **CAN'T** avoid litigation
- You **CAN** manage risk & liability exposure by:
 - Avoiding conflicts of interest
 - Using consistent rules and procedures
 - Treating everyone fairly and consistently
 - Keeping accurate and complete records
 - Keeping current on your trainings



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THANK YOU!

QUESTIONS? EMAIL : ZONING@LAKEORION.ORG

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COMMISSION ACTION SUMMARY SHEET

MEETING DATE: July 1, 2024

TOPIC Site Plan Discussion: VLO-24-02 (44 E. Flint) Mixed-Use Development

BACKGROUND BRIEF: The proposed project is a 4-story mixed-use development on an underutilized portion of land at the corner of Flint and Anderson Streets. The site is ±6,700 square feet consisting of two parcels (09-02-481-007 and 09-02-481-008) and is in the DC, Downtown Center District. Jeff Schmitz of J.S. Capitol is the owner and developer. The development is anticipated to include:

- 3,477 square feet of ground-floor retail,
- 6,544 square feet of mid-floor office space, and
- ~13,000 square feet (10 units) of upper-floor residential apartments.

In November 2022, a conceptual mixed-use proposal was brought to the Planning Commission for discussion with conversations picking back up with Village staff in 2024 to envision a higher and better use for the site. The project went through one round of preliminary staff review by Village planning and engineering consultants and the Fire Marshal in May 2024; at the time, several revisions and key pieces of information were required to perform an adequate review and reach substantial compliance.

During a meeting with the applicant in June, it was agreed that, prior to undergoing the second round of preliminary staff review, revised plans and staff reports could be brought before the Planning Commission as a discussion item. As staff are not able to recommend approval at this time, the applicant intends to incorporate feedback from the Planning Commission for further staff review, after which, the project may be considered for site plan approval at a future Planning Commission meeting.

SUMMARY OF PREVIOUS COMMISSION ACTION: The site was initially approved for a paid, paved parking lot. On June 7, 2021, the Planning Commission voted to postpone consideration of the parking lot project until its next meeting. On July 6, 2021, the Commission granted conditional site plan approval for the installation of the parking lot on the site.

FINANCIAL IMPACT:

None.

RECOMMENDED MOTION:

None – discussion only.



Village of Lake Orion

21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

SITE PLAN and / or SPECIAL LAND USE APPLICATION

PROPERTY INFORMATION

Site Address: 44 E. Flint St.

Parcel ID # (Refer to Tax Bill): 09-02-481-008 / 09-02-481-007 Zoning District: DC-Downtown Center

PROPERTY OWNER INFORMATION

Name: Jeff Schmitz Address, City, Zip: 155 Romeo, Suite 300 Rochester, MI 48307

Phone #: 248-650-9850 Owner E-Mail angela.innaimo@jscapitol.com

APPLICANT INFORMATION (If applicant is NOT property owner)

Name: _____ Address, City, Zip: _____

Phone #: _____ Applicant E-Mail _____

Applicant is: (i.e. contractor or business owner or architect, etc.) Owner

APPLICANT REQUEST

Site Plan Approval: _____

Use Permitted After Special Approval: _____

Use Type Requiring Special Approval: _____

REQUIRED INFORMATION

Please place your initials below to acknowledge that all applicable items are included with your application.

JS 1) Final Site Plan. Two (2) Copies not less than 24 inches by 36 inches in size that meet the requirements of Section 19.02.D. Including, but not limited to:

- a. Dimensioned floor plans and building elevations
- b. Hard surface plan identifying parking areas with dimensions and number of spaces provided
- c. General landscape and lighting plan
- d. Location of trash receptacle and method of screening

_____ 2) Project Narrative. A Narrative must accompany Special Land Use applications that identifies the detailed use of the property under review.


JS 3) Property Owner Verification.

JS 4) Digital copies of all documents. (Digital copies are used for Planning Commission review. They may be submitted via email to the Planning & Zoning Coordinator at zoning@lakeorion.org, through Dropbox, or using an external USB drive.)

JS 5) Village, Planning, Engineering, and Attorney fees as necessary.

By signing below you acknowledge all of the following:

- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application, if necessary.

Signature of Property Owner:  Date: 5/1/2024

Signature of Applicant/Contractor: _____ Date: _____

TO BE COMPLETED BY VILLAGE STAFF:

Date Received:

of Hard Copies Received:

Electronic Copies Included: Y / N

Fee: Receipt #:

Anticipated Meeting Date:

WARRANTY DEED

Drafted by: Jeffery S. Schmitz, 155 Romeo Road, Rochester, MI 48307

When recorded return to: JS Capitol Equities, LLC, a Michigan limited liability company, 155 Romeo Road, Rochester, MI 48307

THE GRANTOR(s): **Sharon L. Schaar Trust u/a/d July 5, 2004**

Whose address is: 919 Loretto,, Lake Orion, MI 48362

Conveys and warrants to: **JS Capitol Equities, LLC, a Michigan limited liability company**

Whose address is: 155 Romeo Road, Rochester, MI 48307

the following described premises: **See attached Exhibit A.**

Tax Parcel No: **09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel**
Commonly known as: **44 E. Flint Street, Lake Orion, MI 48362**

for the sum of **Two Hundred Seventy Five Thousand Dollars and No Cents (\$275,000.00)**

COUNTY Transfer Tax: \$302.50 /
STATE Transfer Tax: \$2,062.50 /

Subject to easements, reservations and restrictions of record.

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed
Page 2 of 3

Dated: August 24, 2018

Signed and Sealed:

Sharon L. Schaar Trust u/a/d July 5,
2004

Sharon L. Schaar Trustee
by Sharon L. Schaar, Trustee

STATE OF MICHIGAN }
COUNTY OF Oakland } ss }

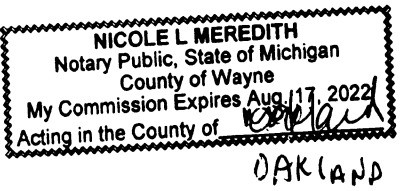
On this 24th day of August, 2018, before me personally appeared, Sharon L. Schaar Trust u/a/d July 5, 2004 by Sharon L. Schaar, Trustee, to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that he/she/they executed the same as his/h~~er~~/their free act and deed.

Notary Public: Nicole L Meredith

Printed Name: NICOLE L MEREDITH

Wayne County, MI

My Commission Expires: 8/17/2022



Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed
Page 3 of 3

EXHIBIT A

Land situated in the Village of Lake Orion, County of Oakland, State of Michigan, more particularly described as:

Lot 1 and Lot 2, Block 3, of "Hemingway's Plat", according to the plat thereof recorded in Liber 1, Page(s) 34 of Plats, Oakland County Records.

Subject to an easement over the South 20 feet of said Lot 1, for ingress and egress to said Lot 2.

Tax Parcel No: 09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel
Commonly known as: 44 E. Flint Street, Lake Orion, MI 48362

44 East Flint

New Construction

**44 E. Flint St.
 Lake Orion, MI 48362**

General Scope of Work

1. New construction of a 4 story mixed-use building
2. General site improvements

Owner

J.S. Capitol Group
 155 Romeo Rd., Suite 300
 Rochester, MI 48307

Architect

Krieger | Klatt Architects Inc.
 (Jeff Klatt, R.A.)
 2120 E. 11 Mile Rd.
 Royal Oak, MI 48067
 P.248.414.9270 F.248.414.9275

Civil

Tri-County Engineering Consultants
 (Sermed Saif, P.E.)
 48701 Hayes Road
 Shelby Twp, MI 48315
 P.810.394.7887 F.586.566.4642

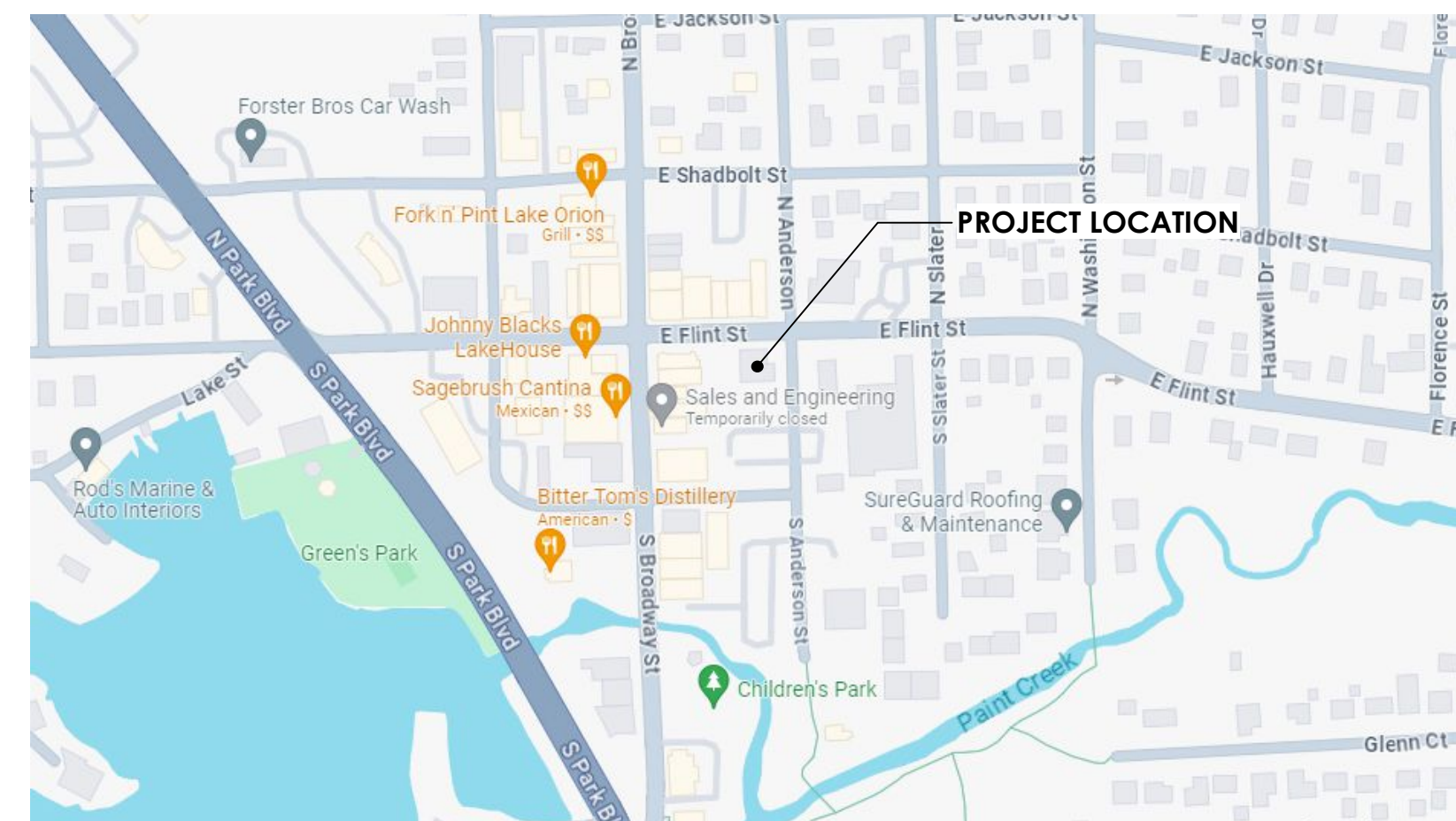


View of front facade from E. Flint St.

Sheet Index		2024-05-06 SPA
Sheet Number	Sheet Name	
G.001	Cover Sheet	
-	Topographic Survey	
C.100	Architectural Site Plan	
C.101	Trash Enclosure Details	
A.101	First Floor Plan	
A.102	Second-Third Floor Plans	
A.103	Fourth Floor Plan	
A.200	Exterior Elevations	
A.201	Exterior Elevations	
A.300	Exterior Renderings	
10		



North
Aerial Map
 NTS



North
Location Map
 NTS

PRELIMINARY NOT FOR CONSTRUCTION

Client:
 J.S. Capitol Group
 155 Romeo Rd., Suite 300
 Rochester, MI 48307

Project:
 44 East Flint
 44 East Flint St.
 Lake Orion, MI 48362

Issued	Description	By
05.06.2023	SPA	

Seal:

Note:
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:
 Cover Sheet

Project Number:

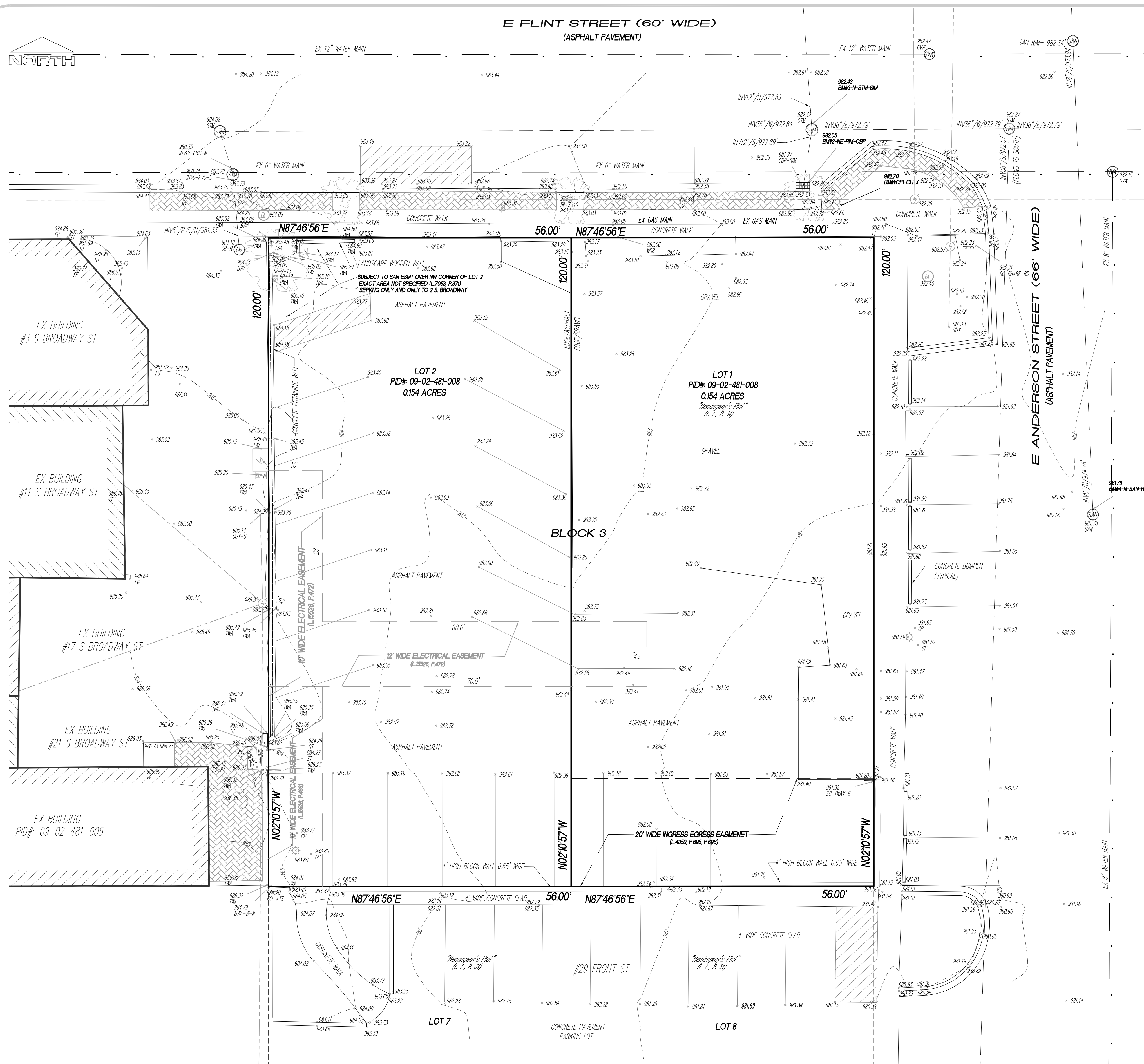
Project Number

Scale:

Sheet Number:

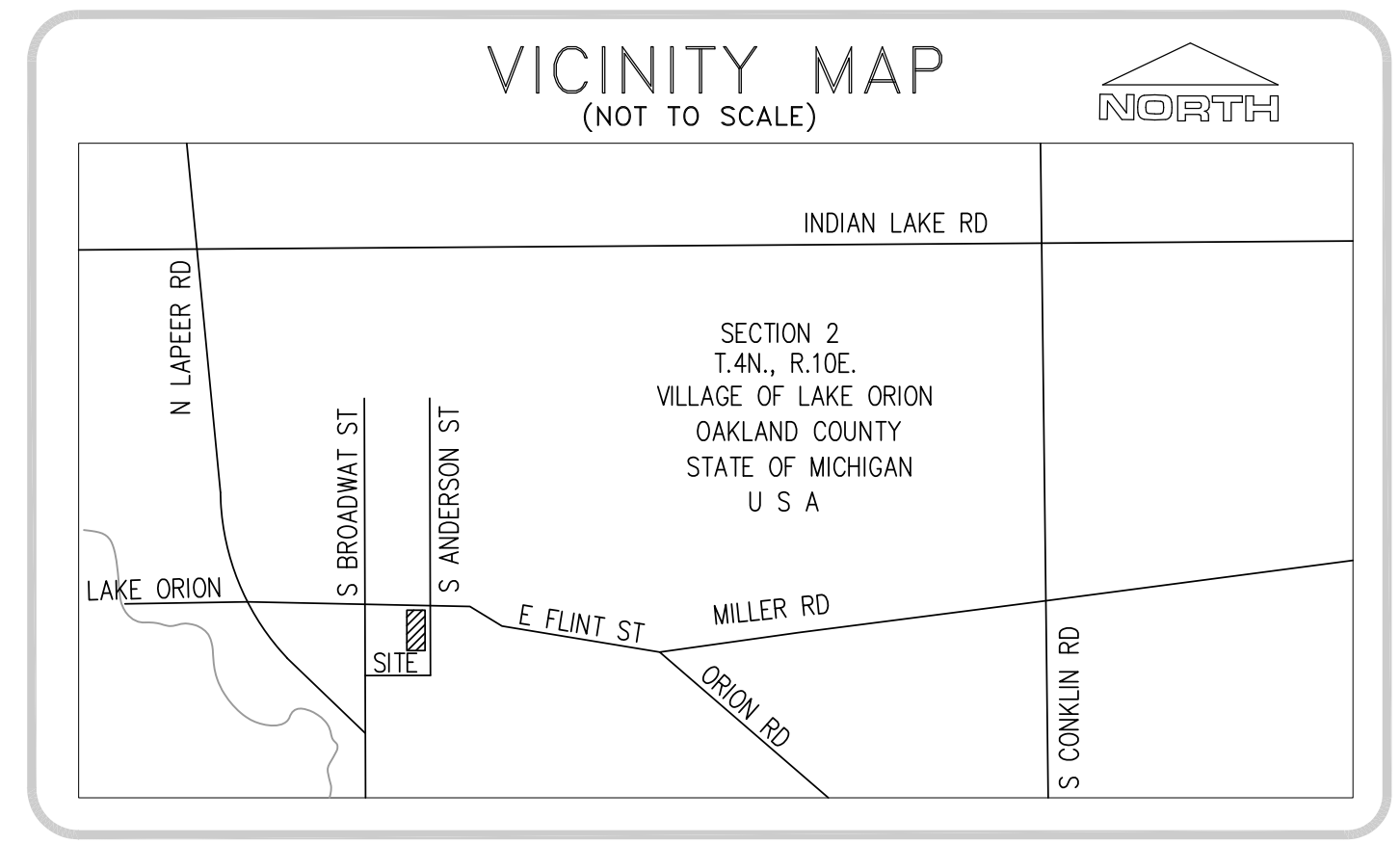
G.001

TOPOGRAPHIC SURVEY



LEGEND

- = UTILITY POLE
- = OVER HEAD WIRE
- = CHAIN LINK FENCE
- = PAVEMENT CATCH BASIN/CBP
- = CATCH BASIN
- = EX. SANITARY M.H.
- = EX. GATE VALVE & WATER
- = EX. STORM M.H.
- = EX. ELECTRIC MANHOLE
- = EX. HYDRANT
- = WATER SHUT OFF
- = ELECTRIC METER
- = TRANSFORMER
- = LIGHT POLE
- = ELEVATION
- = FINISH FLOOR
- = FINISH GRADE
- = PARCEL IDENTIFICATION NUMBER
- = GUARD POST
- = TREE-8" TRUNK-8FT SPREAD
- = TOWN/RANGE
- = LIBER/PAGE
- = TOP/BOTTOM OF WALL
- = BENCH MARK
- = NORTH AMERICAN VERTICAL DATUM AS OF 1988
- = EXISTING
- = INVERT
- = CHISELED "X" IN CONCRETE
- = FOUND IRON/CAPPED IRON
- = SIGN
- = CONTROL POINT



GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
- AB-SB Land Survey, P.C. retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation. Copyright © 2021 AB-SB Land Survey, P.C.

BENCH MARK INFORMATION

Site Bench Mark No. 1:
Top of chiseled "X" in concrete walk, being 8.5 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.70' (NAVD88).

Site Bench Mark No. 2:
NE rim of pavement catch basin, being 15.9 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.05' (NAVD88).

Site Bench Mark No. 3:
North rim of a storm manhole, being 10 feet N'LY from BM#2. EL=982.43' (NAVD88).

TOTAL LAND AREA
13,440 ± SQUARE FEET
0.308 ± ACRES

FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.

LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-007. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Mende Bezanovski, P.S. 49430
Professional Surveyor in the State of Michigan

811 Know what's below. Call before you dig.

SCALE: 1" = 10'
JOB NUMBER: 2021-02-04-127-SS
FIELD: MB
REVISIONS:
CLIENT: TRI-COUNTY ENGINEERING

PAGE: 1 OF 1
DRAWN: MB
CHECKED: MB
DATE: 03-07-2021

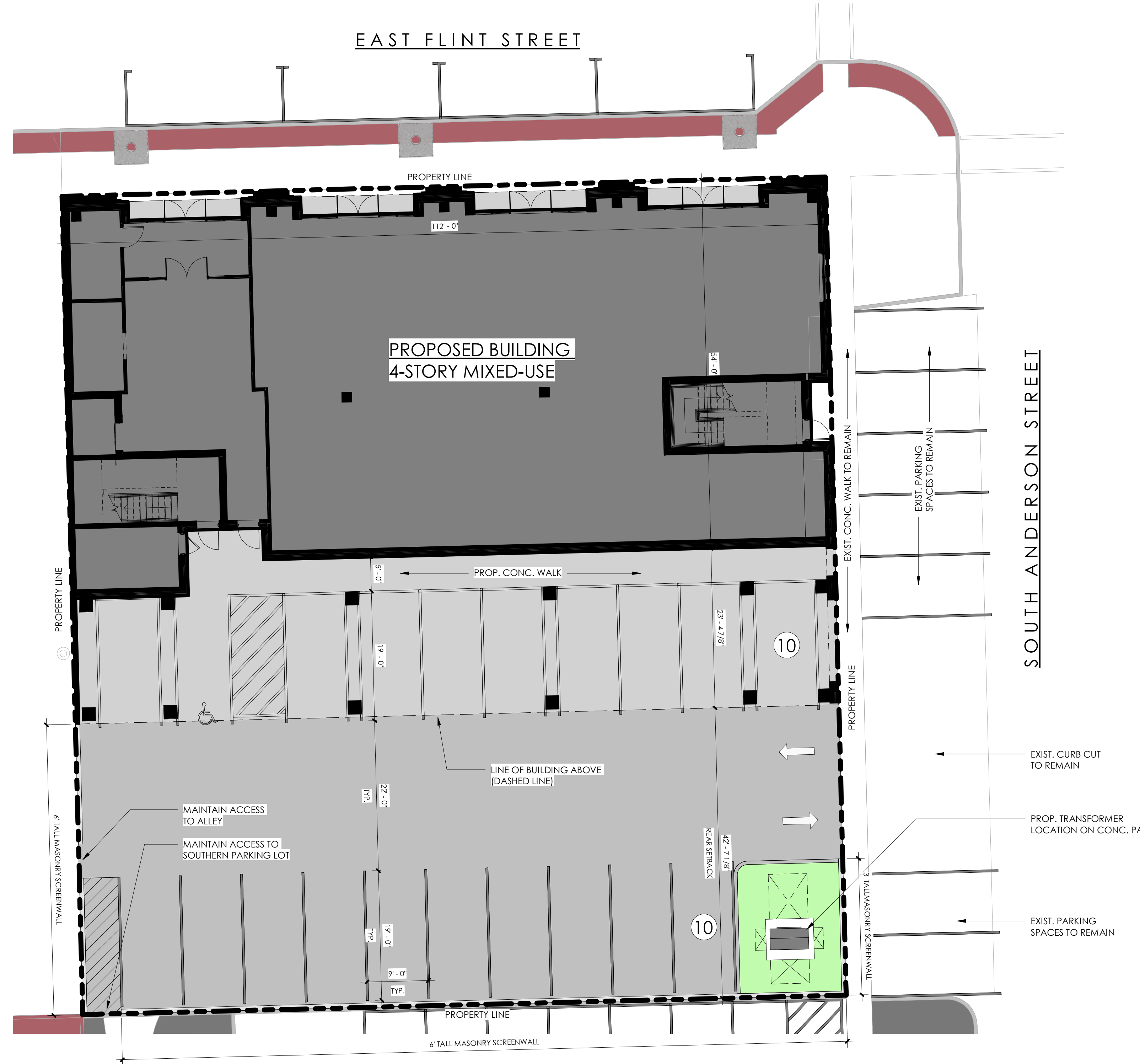
ADDRESS:
44 E Flint Street
Lake Orion, MI, 48362

TEL: (810)-394-7887
FAX: (586)-566-4642

Client:
J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:
44 East Flint
44 East Flint St.
Lake Orion, MI 48362

Issued	Description	By
05.06.2023	SPA	



Zoning Information	
PROJECT ADDRESS:	
44 EAST FLINT STREET LAKE ORION, MI 48362	
CURRENT ZONING: DC (DOWNTOWN CENTER) W/ HEIGHT OVERLAY DISTRICT	
LOT AREA: 13,440 SQ. FT. (0.31 ACRES)	
ZONING REQUIREMENTS:	
ZONING INFORMATION BELOW IS BASED ON DC ZONING DISTRICT	
FRONT SETBACK:	0' MINIMUM, 10' MAXIMUM
PROP. FRONT SETBACK:	0'-0"
REAR SETBACK:	0' MINIMUM
PROP. REAR SETBACK:	42'-7 1/8"
SIDE SETBACK:	10' MINIMUM
SIDE STREET SETBACK:	0' MINIMUM, 10' MAXIMUM
PROP. EAST SETBACK:	0'-0"
PROP. WEST SETBACK:	0'-0"
ZONING REQUIREMENTS (CONT.):	
MAX. LOT COVERAGE:	100%
PROP. LOT COVERAGE:	8,386 / 13,440 = 62.4%
MIN./MAX. BLDG. HEIGHT:	3-STORIES: 36'-0" 4-STORIES: 52'-0" (HEIGHT OVERLAY DISTRICT)
PROP. BLDG. HEIGHT:	4-STORIES: 52'-0"
MAX. DENSITY:	NONE
VEHICLE PARKING REQUIREMENTS:	
REQUIRED PARKING:	
MULTI-FAMILY RESIDENTIAL:	2 SPACE PER UPPER LEVEL DWELLING UNIT
OFFICE:	NONE REQUIRED IN DC ZONING DISTRICT
RETAIL:	NONE REQUIRED IN DC ZONING DISTRICT
MULTI-FAMILY RESIDENTIAL:	10 UNITS X 2 = 20 SPACES 20 SPACES REQUIRED
TOTAL REQUIRED PARKING:	20 PARKING SPACES
PROVIDED PARKING:	20 PARKING SPACES

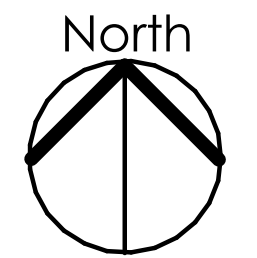
PRELIMINARY NOT FOR CONSTRUCTION

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:
Architectural Site Plan

Project Number:

Project Number

Scale:

Sheet Number:

C.100

Architectural Site Plan

1" = 10'-0"

LITHONIA LIGHTING

LDN6 STATIC WHITE

6" Round Recessed LED Downlight

PERFORMANCE DATA

Beam Spread	Beam Diameter (ft)	Beam Area (sq ft)	Beam Length (ft)
10°	0.5	0.2	0.5
15°	0.7	0.4	0.7
20°	0.9	0.6	0.9
25°	1.1	0.8	1.1
30°	1.3	1.1	1.3
35°	1.5	1.4	1.5
40°	1.7	1.8	1.7
45°	1.9	2.2	1.9
50°	2.1	2.7	2.1
55°	2.3	3.2	2.3
60°	2.5	3.8	2.5
65°	2.7	4.5	2.7
70°	2.9	5.2	2.9
75°	3.1	6.0	3.1
80°	3.3	6.8	3.3
85°	3.5	7.7	3.5
90°	3.7	8.7	3.7

gotham | E V O

Multiple Layers of Light

General Illumination Square Downlight 2"

2" Square Recessed LED Downlight

Specifications

- Beam Diameter: 2.0"
- Beam Area: 0.0314 sq ft
- Beam Length: 2.0"

Ordering Information

Label	Quantity	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	4742	0.9	46.6589
A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7

WDGE2 LED

Architectural Wall Science Precision Refractive Optic

Specifications

- Depth: 1.5"
- Width: 1.5"
- Height: 1.5"
- Weight: 153.3g

Ordering Information

Label	Quantity	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI T2M	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	4742	0.9	46.6589
A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7

VESTA AT7972

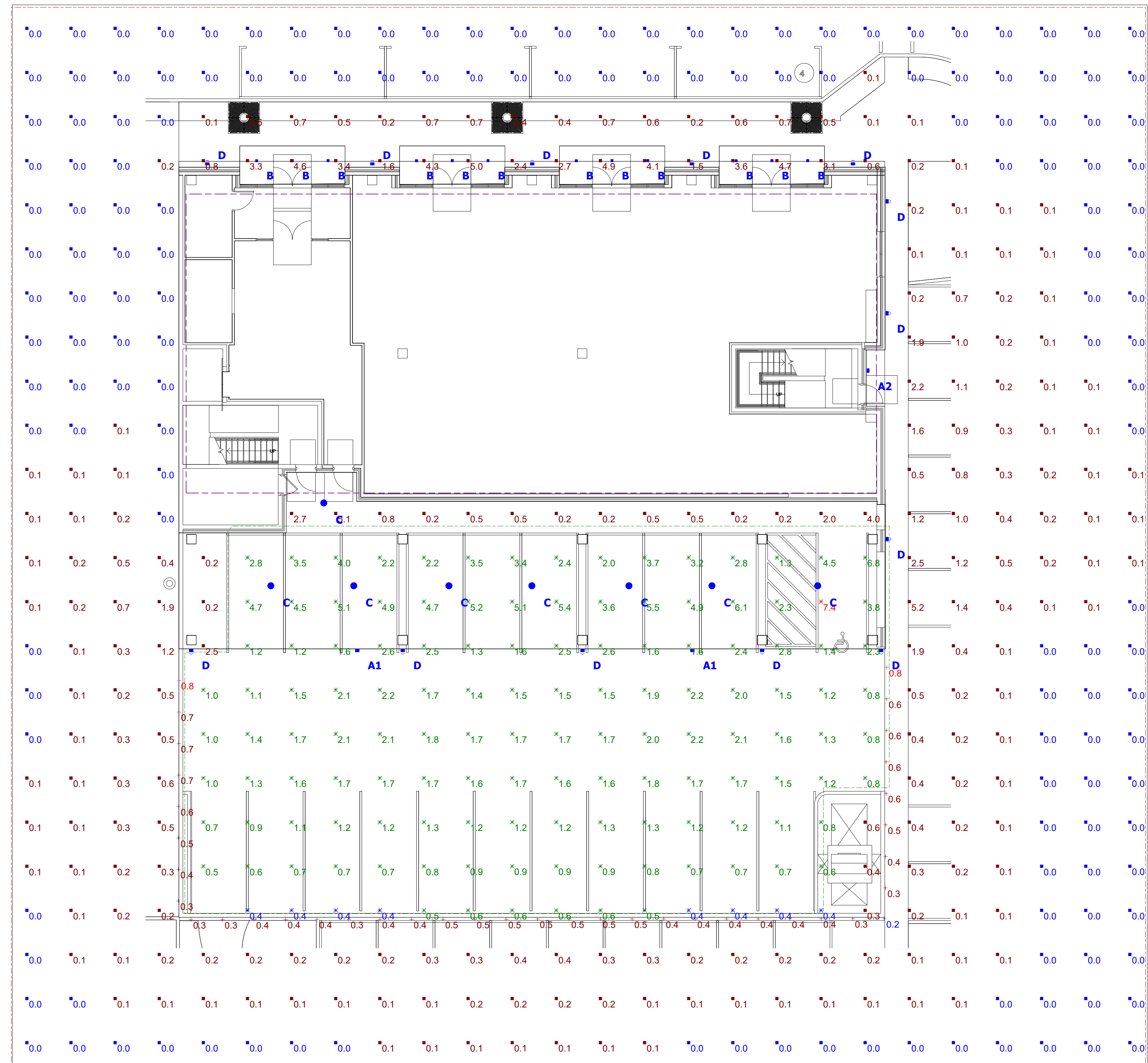
WALL MOUNTED

Specifications

- Depth: 1.5"
- Width: 1.5"
- Height: 1.5"
- Weight: 153.3g

Ordering Information

Label	Quantity	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7



Plan View
Scale - 1" = 10ft

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
□	A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	4742	0.9	46.6589
□	A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
□	B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
○	C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
⌘	D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	✱	1.9 fc	7.4 fc	0.4 fc	18.5:1	4.8:1
Parking Property Line	+	0.5 fc	0.8 fc	0.2 fc	4.0:1	2.5:1
Overall	■	0.8 fc	7.4 fc	0.0 fc	N/A	N/A

General Note

- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
- SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
- CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

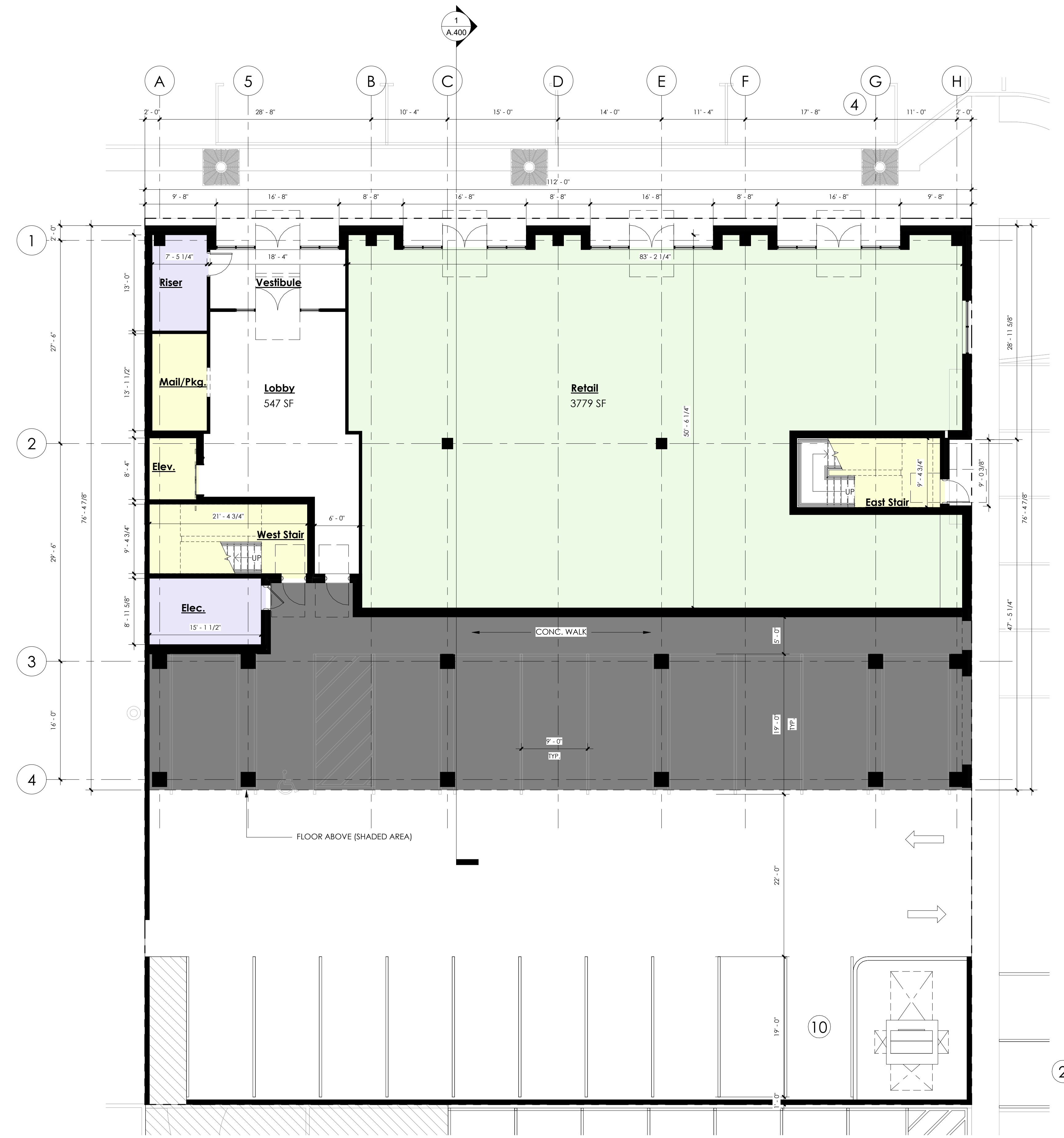
Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Client:
J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:
44 East Flint
44 East Flint St.
Lake Orion, MI 48342

Issued	Description	By
05.06.2023	SPA	

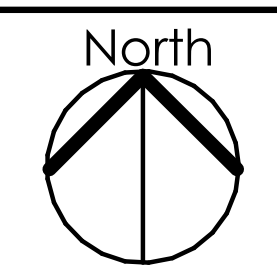


PRELIMINARY NOT FOR CONSTRUCTION

Seal: _____

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:
First Floor Plan

Project Number:
Project Number
Scale: _____

Sheet Number:
A.101

First Floor Plan
1/8" = 1'-0"

Client:

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

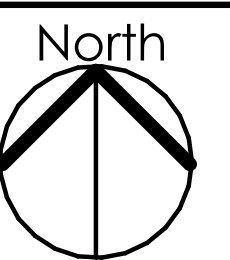
Issued	Description	By
05.06.2023	SPA	

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

Second-Third Floor Plans

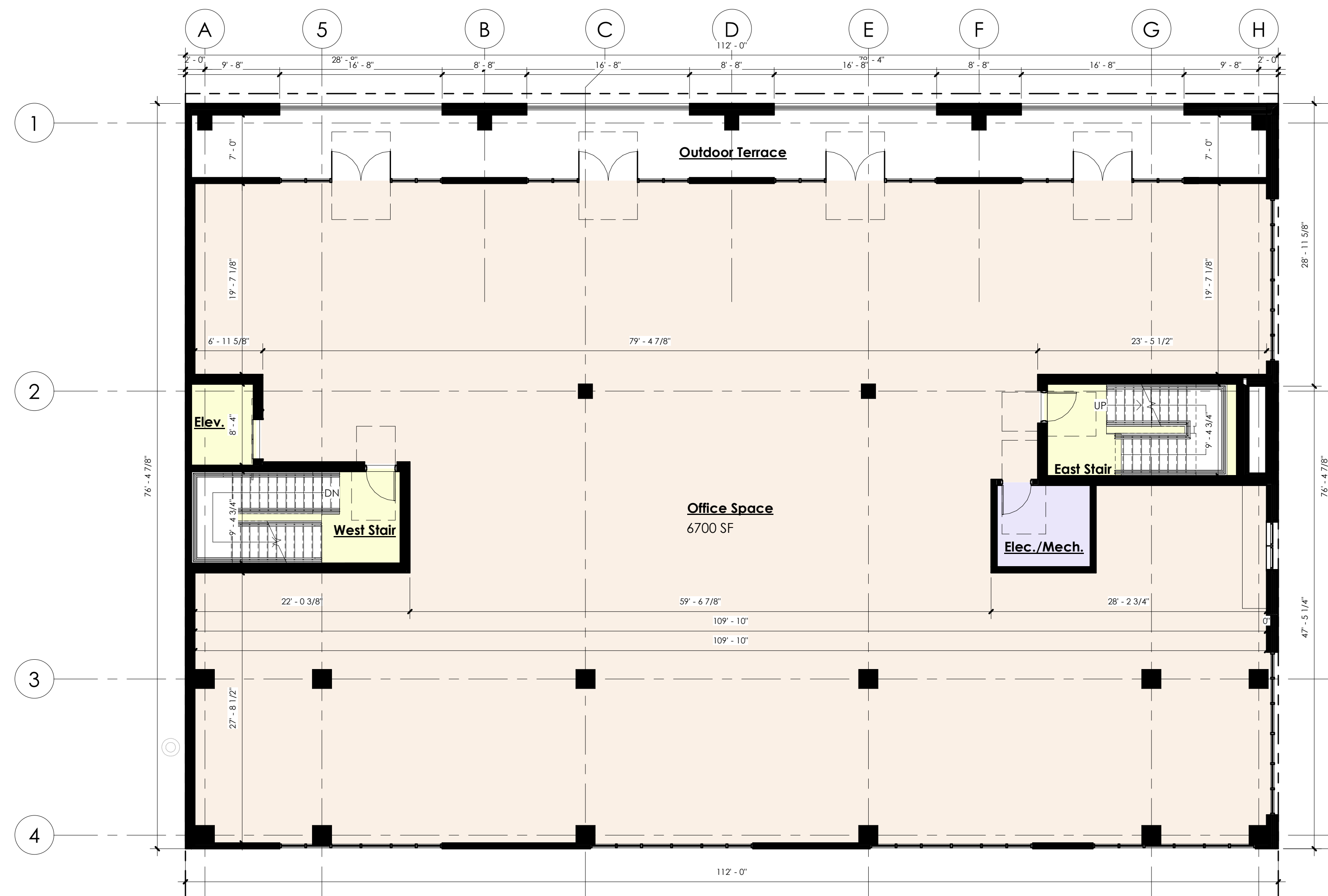
Project Number:

Project Number

Scale:

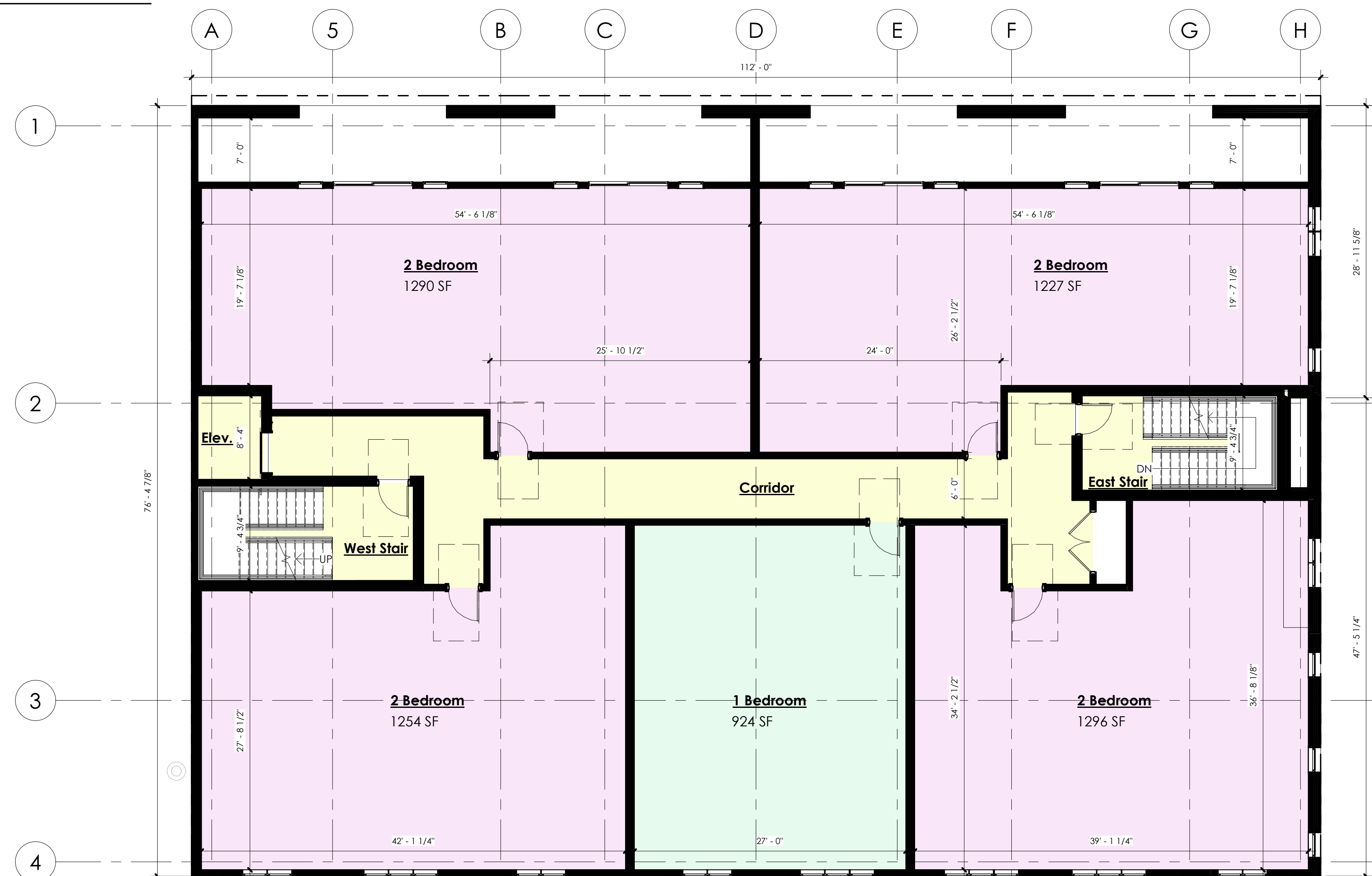
Sheet Number:

A.102



UNIT MIX

	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
TOTAL	2 UNITS	8 UNITS	10 UNITS



PRELIMINARY NOT FOR CONSTRUCTION

Client:

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:

44 East Flint
44 East Flint St.
Lake Orion, MI 48342

Issued	Description	By
05.06.2023	SPA	

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

Fourth Floor Plan

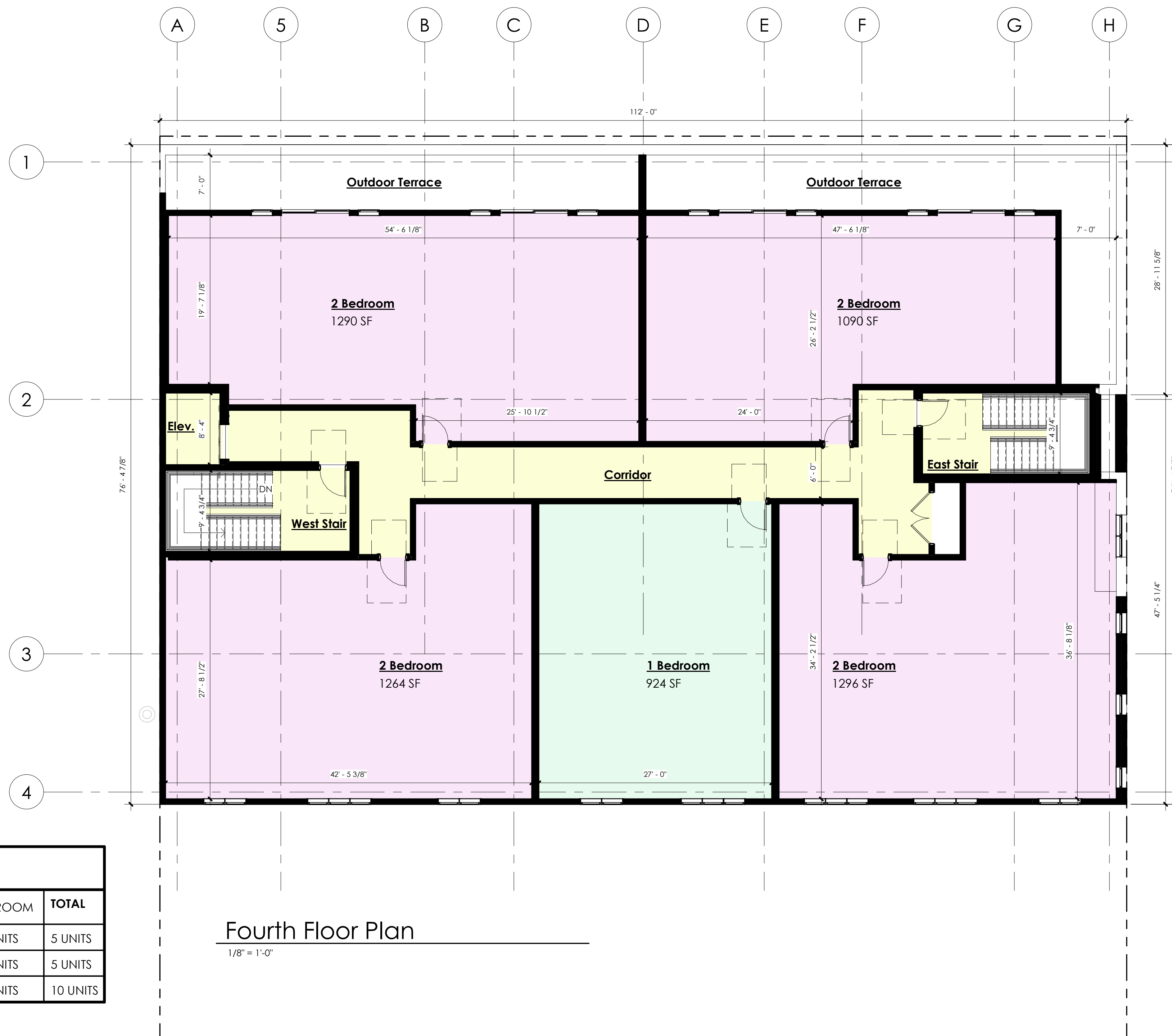
Project Number:

Project Number

Scale:

Sheet Number:

A.103



UNIT MIX			
	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
TOTAL	2 UNITS	8 UNITS	10 UNITS

PRELIMINARY NOT FOR CONSTRUCTION

Issued	Description	By
05.06.2023	SPA	



1 South Elevation
A.100 1/8" = 1'-0"



2 West Elevation
A.101 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.
North Arrow:

Sheet Title:
Exterior Elevations

Project Number:
Project Number
Scale:

Sheet Number:
A.201

KRIEGER KLATT ARCHITECTS

400 E. Lincoln, Ste. A | Royal Oak, MI 48067
P: 248.414.9270 F: 248.414.9275
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Client:

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

Issued	Description	By
05.06.2023	SPA	



View of front facade from E. Flint St.



View of front facade from E. Flint St.



View of front facade from E. Flint St.

PRELIMINARY - NOT FOR CONSTRUCTION

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:

Exterior Renderings

Project Number:

Project Number

Scale:

Sheet Number:

A.300

MCKENNA

May 23, 2024

Planning Commission
Village of Lake Orion
21 E. Church St.
Lake Orion, MI 48362

Subject: VLO-24-02 44 E. Flint, Site Plan Review #1

Commissioners:

We have received a site plan application from Jeff Schmitz (the “applicant/developer”) for the construction of a ±6,700 square feet, 4-story mixed-use building located at 44 E. Flint Street (the “project”). The project is in the Downtown Center (DC) District and Height Overlay District on the southwest corner of E. Flint Street and S. Anderson Street. The project is situated on two parcels (09-02-481-007 and 09-02-481-008). In July 2021, the developer received site plan approval for the construction of a paid parking lot within the project area.

In November 2022, a conceptual mixed-use proposal was brought to the Planning Commission for discussion. Conversations with Village staff picked back up in 2024 to envision a higher and better use for the site. We offer the following comments for your consideration; with underlined text denoting items that require additional information, consideration, or a waiver from the Code.

SUMMARY OF COMPLIANCE

Additional comments and information can be found in the relevant section of this report; we recommend that the applicant revise and resubmit a complete site plan addressing comments from all plan reviewers.

Ordinance Standards	Compliance	Comments
1. Required Information	<u>Can Comply</u>	<u>Seal, scale, landscape plan, grading, utilities.</u>
2. Use & Harmonious Design	<u>Can Comply</u>	<u>Notes required for services and retail operations.</u>
3. Dimensional Standards	<u>Can Comply</u>	<u>Additional architectural details required for height allowance.</u>
4. Natural Features / Landscaping	<u>Can Comply</u>	<u>Landscape plan required; consider additional landscape opportunities.</u>
5. Access & Circulation	<u>Can Comply</u>	<u>Pedestrian safety, Village Engineer, and Fire Marshal approval req'd.</u>
6. Parking & Loading	<u>Can Comply</u>	<u>Waiver and additional on-street design considerations required.</u>
7. Building Design	<u>Can Comply</u>	<u>Additional architectural details required for mixed-use/residential bldg.</u>
8. Engineering / SWM	<u>TBD</u>	<u>See Engineer's report dated May 22, 2024.</u>
9. Lighting	<u>Can Comply</u>	<u>Traditional lighting, illumination reduction, and waiver required.</u>

HEADQUARTERS
235 East Main Street
Suite 105
Northville, Michigan 48167

☎ 248.596.0920
☎ 248.596.0930
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Site Plan Review

Standards for Site Plan Approval are set forth by Article 19: Administrative Procedures and Standards. This project is reviewed against the Village's [Zoning Ordinance](#), Master Plan, existing site conditions, and sound planning and design principles.

1. REQUIRED INFORMATION

Section 19.02(D) lists the information required of all site plans undergoing Planning Commission review. Items that are missing or in need of clarification are noted within this document, summarized below:

- Signature and seal of the design professional
- 1" to 20' scale and graphic scale
- Proposed grade changes and surface materials – it is recommended that the final topography and architectural site plan be combined on a single sheet.
- General landscape plan – street trees, planters, and screening of mechanical equipment.
- Existing and proposed utilities.

2. USE & HARMONIOUS DESIGN

Standards: *All elements of the site shall be harmoniously and efficiently designed in relation to the topography, size, and type of land, and the character of the adjacent properties and the proposed use. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted on such property.*

The site is zoned the DC, Downtown Center District where the proposed mixed-use building is considered to be acceptable should the Project comply with the following standards:

- a. *All business establishments shall be retail, service, or entertainment establishments dealing directly with consumers. All goods produced on the premises shall be sold primarily from the premises where produced. Proposed uses include ground-floor retail, second-floor office/service, and third- and fourth-floor residential. The applicant must note that goods produced on-site will primarily be sold on the premises. Further, tenants that serve liquor (bars, restaurants) must go through the special land use approval process prior to the establishment of such use(s) (Sec. 6.02(B)(6)).*
- b. *All business, servicing, or processing (except for off-street parking or loading) shall be conducted within completely enclosed buildings, except as a permitted temporary use. The applicant must note that all business, servicing, and processing will be conducted indoors.*
- c. *Storage of commodities shall be within buildings and shall not be visible to the public from a street or thoroughfare. The applicant must note that the storage of commodities will be indoors and screened from the view of Flint and Anderson Streets.*
- d. *There shall be no drive-in or drive-through service with any establishment. A drive-through establishment is not proposed as part of this project.*
- e. *No automotive uses or other uses meant to primarily service motorized vehicles such as auto dealerships, car washes or gas stations shall be permitted. No automotive uses are proposed for this project.*

The project is not expected to impede orderly development or improvement of nearby properties, provided such items underlined above are confirmed. Additional site and design considerations will be discussed further.

3. DIMENSIONAL STANDARDS

Standards: *The site plan shall comply with the district requirements for minimum floor area, height of building, lot size, yard space, density and all other requirements as set forth in the Schedule of Regulations.*

The project generally complies with the dimensional standards of the DC and Height Overlay Districts; all comments below are subject to an approved lot combination being completed prior to final approval.

Standard	Required	Proposed	Comments
Min. Lot Area	n/a	0.31 ac.	Complies
Min. Lot Width	n/a	112 ft.	Complies
Max. Front Yard Setback	10 ft	0 ft.	Complies
Max. Side Yard Setback	10 ft.	0 ft.	Complies
Max. Rear Yard Setback	n/a	~43 ft.	Complies
Max. 1 st Floor Area	20,000 sq. ft.	~6,700 sq. ft.	Complies
Max. Building Height	52 ft. / 4 stories	~51 ft. / 4 stories	Complies (Height Overlay, see below)

Height District Overlay Standards: *When reviewing any proposed building within the Height Overlay District, the Village shall find the proposed location for the structure, its form, and its relationship to adjacent land uses and buildings meets all of the following criteria:*

- a. *Shall be of such orientation to adjacent land uses and buildings as to be context sensitive in design.* The proposed building generally complies with the dimensional standards above and is oriented towards Flint Street, one of the primary retail frontages downtown, consistent with the other buildings along the street. The project would create a more consistent street frontage, which is currently interrupted by a parking lot. Additionally, the proposed land uses are consistent with the area and sound planning principles; by incorporating a mix of uses, including residential, the development helps transition from the retail core to the surrounding neighborhoods.
- b. *Shall incorporate building height modulation to reduce the building scale at the street edge(s) or lakefront (where determined), with the fourth (4) story stepped back a minimum of ten (10) feet from the main building face(s).* The fourth-floor walls fronting Flint Street are shown to be stepped back 7 feet from the front building line; this must be increased to meet this standard and repeated along Anderson Street.
- c. *Shall incorporate architectural features, including, but not limited to: arches, arcades, porticos, repeating window patterns, and cornices. Blank walls facing streets or public areas shall be prohibited.* The applicant has incorporated several high-quality architectural features, including arches, porticos, repeating window patterns, and cornices. The sides facing Anderson Street and the alley (adjacent to Hanson’s) shall have the same level of articulation as the Flint-facing side to meet this standard.

- d. *Shall have a discernible base and cap that are clearly defined by horizontal elements along the bottom and top of the building.* The proposal includes a clearly discernible cap, with charcoal-colored metal panels and heavy roof line. The ~4-ft.-high limestone base is not clearly discernible from the rest of the façade, being short relative to the height of the building and similarly lightly colored. We recommend a warmer, naturally colored primary masonry brick for the building to provide additional contrast with the limestone base and dark metal cap and to create a clearly defined horizontal base. This would also serve to soften the building's appearance and enhance compatibility with the surrounding area and historic feel without compromising the contemporary design.
- e. *Screening shall be compatible with the architectural design of the building.* The plan notes that the transformer and parking lot will be screened with a masonry screening wall on two sides; the applicant must provide a note and cross-section indicating the screening wall material will match the building.

4. NATURAL FEATURES & LANDSCAPING

Standards: *The existing natural landscape shall be preserved in its natural state as much as possible, by minimizing tree and soil removal and by topographic modifications that result in maximum harmony with adjacent properties. There shall be reasonable visual and sound privacy. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the safety and privacy of occupants and users.*

Per Section 15.02, parcels located within the Downtown Center District are exempt from the requirements of Section 15.02, except for the following:

- a. *Trees shall be provided to enhance the building and street where determined appropriate by the Planning Commission.*
- b. *Planter boxes or other landscape features shall be incorporated where appropriate.*
- c. *Outdoor utility equipment, such as transformers, shall be screened to the greatest extent possible by fences, walls, planter boxes or landscape features.*

The site plan depicts renderings with landscape planters and street trees along Flint; a general landscape plan is required to identify these elements. The three existing street trees must be protected or replaced if removed. It is recommended that additional right of way landscaping be provided at the vehicle entrance to the site, just south of the five on-street parking spaces, within a curbed landscape bed to assist with stormwater management, protect the existing light pole (remove bollards), and enhance the area with additional foliage and screening of the building and parking. As discussed further below, it is also recommended that the applicant replace the two southern on-street parking spaces with additional landscaping, including one street tree, to permit clear vision while exiting the site and creating a defined, enhanced driveway – two additional off-street parking spaces are proposed along Flint St. as part of this project.

ROW landscaping and on-street parking removal are subject to review and approval by Village Council.

The proposed transformer located on the southeast corner of the property, is shown to be screened on two sides by the 6-ft. masonry screen wall enclosing the parking area. This screening wall must match the primary building material. Further, the transformer must be screened to the north, where it is visible from Anderson Street.

5. ACCESS & CIRCULATION

Standards: All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. Streets and drives that are a part of an existing or planned street system serving adjacent developments shall be of an appropriate width to the volume of traffic they are planned to carry and shall have a dedicated right-of-way equal to that specified in a recognized source of reference. There shall be a pedestrian circulation system that is insulated as completely as possible from the vehicular circulation system.

- a. **Vehicular Access.** Vehicular access to the site is provided by a two-way, 22-ft.-wide driveway off Anderson Street, leading to off-street residential parking. Clear vision egress will be obstructed by the on-street parking to the south; it is recommended that these two parking spaces be replaced with a curbed right of way landscape bed, with an additional street tree, to create a defined access point, promote clear vision, assist with stormwater management, and enhance the area. Two additional on-street parking spaces are provided along Flint Street as part of this project. ROW landscaping and on-street parking modifications (reductions) are subject to review and approval by the Village Council.

Vehicular and emergency access for the site is subject to further review and approval by the Village Engineer and Fire Marshal. Nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners, including the DDA.

- b. **Cross Access.** As a condition of site plan approval, the Planning Commission may require that cross-access drives be provided in order to reduce the number of points of ingress and egress to the property, to decrease traffic congestion and improve safety on abutting roadways. There is no vehicular cross access proposed at this time and only one ingress/egress is proposed for the site, along the less-trafficked Anderson Street. We do not believe that cross-access is necessary given the location, uses, and geometric constraints of the site; however, nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners.
- c. **Pedestrian Connectivity.** The existing right of way sidewalks along Flint and Anderson will be maintained and a 5-ft. concrete walk along the south side of the building provides access to the Anderson sidewalk and rear parking area. Pedestrian access is maintained to the western alleyway, which has shared ownership with parcel 09-02-481-018 (27 S. Broadway), 09-02-481-003 (17 S. Broadway), and 09-02-481-017 (Village ROW); as well as to the parking lot to the south, which is owned by the DDA. The sidewalk along Anderson must be dimensioned; this sidewalk shall be curbed at the street for pedestrian safety, accessibility (14.04(B)(3)), and stormwater management, and, if necessary, widened to a minimum of 7 ft. to limit vehicle encroachment. Curbing should be cohesive with any additional right of way landscape beds, as previously discussed. As a matter of public welfare, curbing and sidewalk modifications do not require separate approval by the Village Council, provided these improvements are approved by the Village Engineer.

6. PARKING & LOADING

Standards: Off-street parking, loading, and unloading areas and outside refuse storage areas, or other storage areas that face or are visible from adjacent homes, or from public thoroughfares, shall be screened by walls, fencing or landscaping of effective height.

- a. **Parking Spaces.** Because the project is a mixed-use building, the Applicant must provide an adequate number of off-street parking spaces per use; however, in the DC District, off-street parking is not required for office or retail uses. Therefore, only parking for the multifamily residential use is required, at two spaces per dwelling unit. With ten units, 20 spaces are required – these are shown on the plan, with one space

dedicated for barrier-free, van-accessible parking. Further, two off-street parking spaces are being restored along Flint St. where the current entrance to the surface lot is.

- b. **Dimensions and Layout.** The 20 off-street parking spaces are entirely within the site, dimensioned at 9 ft. x 19 ft. with a 22-ft.-wide maneuvering lane; a scale must be provided to verify all site plan dimensions. As proposed, passenger parking is tight, particularly for the two west-most parking spaces, which run a high risk of conflict with the alley wall, building columns, and/or other parked vehicles. Although the required off-street parking is shown, we recommend that the Planning Commission grant a waiver for a reduction of up to 5 spaces, effectively requiring 1.5 spaces per dwelling unit. In doing so, additional maneuvering (and landscaping) space would be afforded; this may also free up space for an alternative trash enclosure location as discussed below. Further, as mentioned, nothing shall preclude the applicant from pursuing cross access opportunities with neighboring parcel owners.
- c. **Loading Space.** One 10 ft. x 50 ft. loading space is required (Sec. 14.05(C)) for retail space between 2,000-20,000 square feet; however, loading should not be closer than 50 ft. to a residentially zoned or used parcel. With a residential use across Anderson and the site itself being mixed-use residential, we recommend the loading requirement be waived or lessened (i.e., 10ft. x 25 ft.) by the Planning Commission; otherwise, this must be showed on a revised plan.
- d. **Trash Enclosure.** A dumpster is not shown on the site plan. The DDA owns the parking lot to the south and has indicated an interest in working with the applicant to establish shared dumpster use and access within its lot. It is encouraged that these discussions continue; the potential location of the shared dumpster (and screening) must be shown on the plan and a signed shared access and use agreement shall be executed prior to final approval. An alternative trash enclosure design shall be prepared in the event a shared dumpster cannot be achieved.

7. BUILDING DESIGN & ARCHITECTURE

Standards: *Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color. Buildings should be designed with stylistic harmony and aim to serve people of all ages and abilities.*

In addition to the specific requirements of the Height Overlay District, the building must comply with the development standards of the Downtown Center District (6.03(C)); standards requiring compliance are summarized as follows:

- a. **Complementary Character.** The Village Downtown is historic, with several excellent examples of preserved and enhanced buildings. The proposed development incorporates arches, porticoes, masonry coursework, and is oriented to the street as a tribute to this character. These elements should be repeated on all publicly visible facades. The massing and height of the building requires that additional complementary details be considered. We recommend incorporating warm-toned brick wherever possible, horizontal banding, and distinctive quoins on all corners.
- b. **Windows.** On street-facing facades, the minimum percentage of glazing on the ground floor is 50%, with windows raised two feet from the ground; on upper stories, it is 30%, with upper story windows having a vertical orientation. The Flint-facing façade comes slightly below the required standards, requiring ground floor windows to be raised and slightly more glazing. We believe vertical orientation is achieved with archways and mullions.

The Anderson-facing façade requires additional glazing, primarily on the ground floor. Distinctive mullions, archways, and window framing/coursework should be incorporated to bring depth to this façade.

- c. **Canopies.** Cloth fabric canopies are encouraged, while metal canopies are discouraged. This is not prescriptive language, and we believe the proposed metal canopies are satisfactory for the building. These shall provide 7.5-ft. clearance from the sidewalk.
- d. **Lighting.** Fixtures should be harmonious with the existing street lighting. The proposed sconce lighting is very sleek and relatively large; we recommend more traditional fixtures such as gooseneck or lantern-type lighting to complement the historic character of the area.
- e. **Facades.** Flat facades are prohibited. Architectural detailing on the Flint-facing façade must be incorporated on the Anderson-facing and alley-facing facades; the archways, reliefs, and patterns, should be replicated on public-facing corners. Currently, the alley-facing façade is entirely blank; windows should be incorporated wherever possible. Where windows are not possible or practical, modulation of the brick through reliefs and patterns must be included.

8. ENGINEERING / STORMWATER MANAGEMENT

Standards: *Appropriate measures shall be taken to ensure that the removal of stormwater will not adversely affect adjoining properties or the capacity of the public storm drainage system and shall comply with State and Federal standards. Provisions shall be made for the construction of stormwater facilities, and the prevention of erosion and dust. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create nuisance ponding in paved areas. Adequate services and utilities and improvements shall be available or provided, located and constructed with sufficient capacity and durability to properly serve the development. All utilities shall be located underground. Where possible and practical, drainage design shall recognize existing natural drainage patterns.*

We provide comments for additional landscaping and curbing within this report to support stormwater management for and around the site; these modifications and all stormwater and utility requirements must be verified and addressed to the satisfaction of the Village Engineer. In addition to preliminary site plan review, the project must undergo final site plan review, including a detailed engineering review, prior to being reviewed and permitted by the Building Department.

9. LIGHTING

Standards: *Exterior lighting shall be so arranged so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets.*

Findings: Both building-mounted and freestanding pole lighting are proposed for the development; a photometric plan and fixture cut sheets have been provided. Illumination requirements are as follows:

Lighting Category	Standard	Proposed	Comments
Max. Height of Fixtures	22 ft.	<u>Unknown</u>	<u>May Comply: mounting height not specified.</u>
Max. Illumination at Any Given Point	10 fc.	7.4 fc.	Complies.
Max. Illumination at the Property Line	0.5 fc.	<u>0.8 fc.</u>	<u>Can Comply: reduction and waiver required.</u>

The Planning Commission may modify lighting requirements in considering possible off-site impacts and the character of the proposed use. We recommend that the lighting along Anderson be reduced, to minimize off-site impacts. We recommend the Planning Commission grant a waiver for proposed illumination along Flint.

RECOMMENDATION

At this time, there are several outstanding comments regarding site plan completeness, building design, site layout, access, and landscaping. At this time, we recommend that the applicant revise and resubmit a complete site plan set for the mixed-use development at 44 E. Flint Street, addressing the comments within this report and any comments from the Village Engineer or Fire Marshal.


If you have any questions, please do not hesitate to contact us. Thank you.

Respectfully submitted,

McKENNA



Gage Belko, AICP
Associate Planner



Ashley E. Amey, NCI
Assistant Planner

CC: **Village Manager**, Mr. Darwin McClary (mcclaryd@lakeorion.org)
Village Clerk, Ms. Sonja Stout (stouts@lakeorion.org)
21 E. Church Street, Lake Orion, MI 48362



May 22, 2024

Planning Commission
Village of Lake Orion
21 E. Church St.
Lake Orion, MI 48362

Re: 44 E. Flint Street
Site Plan Review
NFE Job No. N930

Dear Commissioners:

We have reviewed the Site Plan for the above referenced site. Our review is consistent with the requirements of Article 19 of the Zoning Ordinance, Section D – Required Information and relevant sections of the Zoning Ordinance related to the zoning district. We have the following comments:

1. The Site plan must be prepared superimposed on the topographic information, indicating the property lines (with bearings and distances), all existing easements, and all existing and proposed utilities.
2. No scale is indicated on the Site Plan title block.
3. Show proposed dimensions between building wall and property lines. A temporary construction easement may be required from adjacent private property owner.
4. If the building wall is placed on the east property line, the existing parking blocks in Anderson Street must be relocated eastward to act as wheel stops and prevent vehicles from overhanging the existing 4' wide sidewalk.
5. Parcel 09-02-481-007 is incorrectly labeled as -008.
6. The proposed pavement material for the parking area must be indicated on the Site Plan.
7. No storm water management is indicated on the site plan. No surface area from a parking area shall be permitted to drain on to adjoining property or across a public sidewalk.
8. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Provide information regarding the easement that permits the construction of a building within the easement.
9. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Provide information regarding the easement that permits the construction of a building within the easement.
10. The proposed transformer, curbing and concrete pad are indicated over the Ingress / Egress easement (L 4350, P. 596).
11. A six foot tall masonry screen wall is proposed at the south end of the west property line, with just a pedestrian opening to maintain access to the raised porch area of the existing building to the west. A wall on the property line would create a space approximately 1 foot wide and three feet deep between the existing porch and the new screen wall, which we do not recommend for safety and maintenance.
12. No Landscape plan is provided. It appears that at least one tree will be removed for the construction of the building.
13. Provide a pavement cross section for the proposed pavements.
14. Indicate proposed site utilities, including proposed sanitary sewer lead, water service and fire protection.

Planning Commission
May 22, 2024
RE: 44 E. Flint Street SP #1
Page 2 of 2

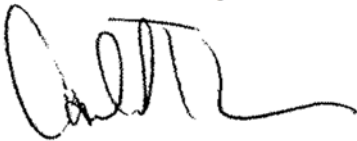
15. It must be demonstrated that adequate fire hydrant protection can be provided for the proposed building. Show nearest hydrants.
16. Expand topographic survey to show features to 100' beyond the site boundary per Article 19 requirements. Show existing screen wall along east property line. Show zoning of adjacent parcels, including across rights-of-way.
17. No method or location for trash removal is indicated on the site plan.
18. The presence or absence of wetlands and / or 100-year floodplain must be noted on the Site Plan.
19. A proposed finish floor elevation of the building is not indicated on the plan. An elevation change of approximately 1 foot occurs across the frontage of the building. Slopes to the sidewalk must meet ADA requirements.
20. We recommend that the proposed sidewalk adjacent to the parking be at least 7 foot in width to accommodate car overhang.
21. A parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.

Complete Engineering Plans meeting the requirements of Ordinance 31.26, Design and Construction Standards must be submitted for review, and no construction shall begin prior to engineering approval.

We recommend that the plan be revised and resubmitted subject to the above comments. If you have any questions, please do not hesitate to call.

Sincerely,

Nowak & Fraus Engineers



Carol P. Thurber, PE, CFM

CC: Gage Belko, McKenna
Wesley Sanchez, DPW Director
Todd Stanfield, Lake Orion Police
Jeffrey Williams, Fire Marshall, Orion Township Fire Department
John Pender, Assistant Fire Chief
David Goodloe, Building Official, Orion Township
Sonja Stout, Clerk, Lake Orion

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Charter Township of Orion

Section 8, Item B.

3365 Gregory Rd., Lake Orion MI 48359
www.oriontownship.org

Fire Department
Phone: (248) 391-0304, ext. 2000
Fax: (248) 309-6993

To: Darwin McClary, Village Manager
From: Jeff Williams, Fire Marshal
Re: 44 E. Flint – Commercial / Multi Family Development
Date: 5/15/2024

The Orion Township Fire Department has completed its review of the application for 44 E. Flint for the limited purpose of compliance with Village of Lake Orion’s Ordinance’s, Michigan Building Code, and all applicable Fire Codes.

Based upon the application and documentation provided, the Fire Department has the following recommendation:

- Approved
- Approved with Requirements (See below)
- Not approved

Requirements:

- All existing and proposed water mains and fire hydrant locations and sizes shall be indicated on the plans.
- Fire Department Connections (FDC) for sprinklers or standpipes shall be located with respect to hydrants, landscaping and fire department access roads. The Fire Department Connections shall be so located that the fire apparatus and hose connection to supply the system will not obstruct access to the building for other fire apparatus. The Fire Department Connection shall be located on the street side of the building or facing approved fire apparatus access roads, fully visible and recognizable for the street, fire apparatus access road or nearest point of the fire department vehicle access. The FDC location shall be indicated on the plans.
- The building is required to be equipped with a standpipe system installed in accordance with section 905 of the IFC and shall have a fire hydrant within 100 feet of the fire department connection.
- Overhead utilities and power lines shall not be located over aerial fire apparatus access road or between the aerial fire apparatus access road and the building, removal or revised overhead utility information shall be explained on the revised plans.

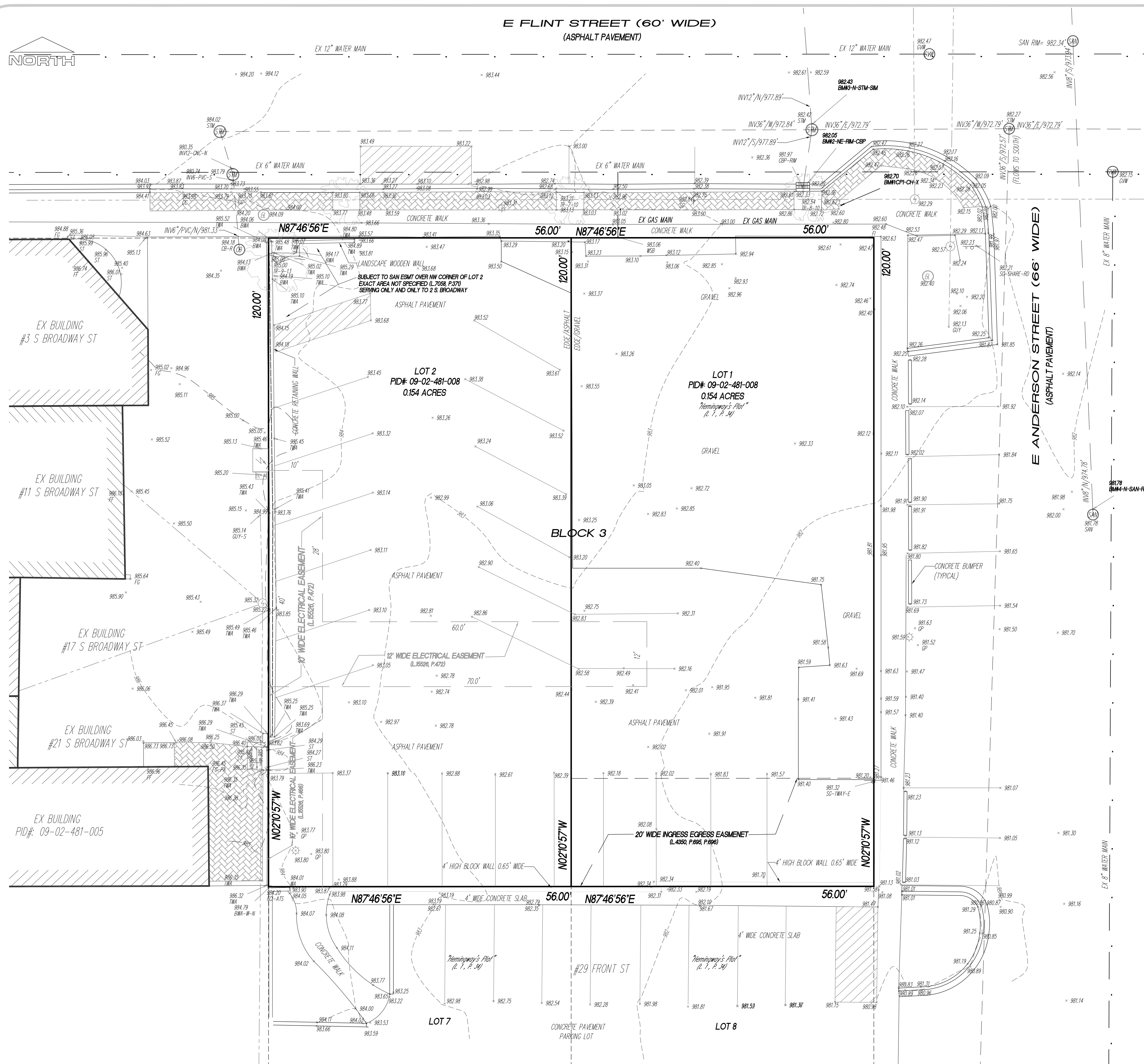
If there are any questions, the Fire Department may be reached at 248-391-0304 ext. 2004.

Sincerely,

Jeffrey Williams

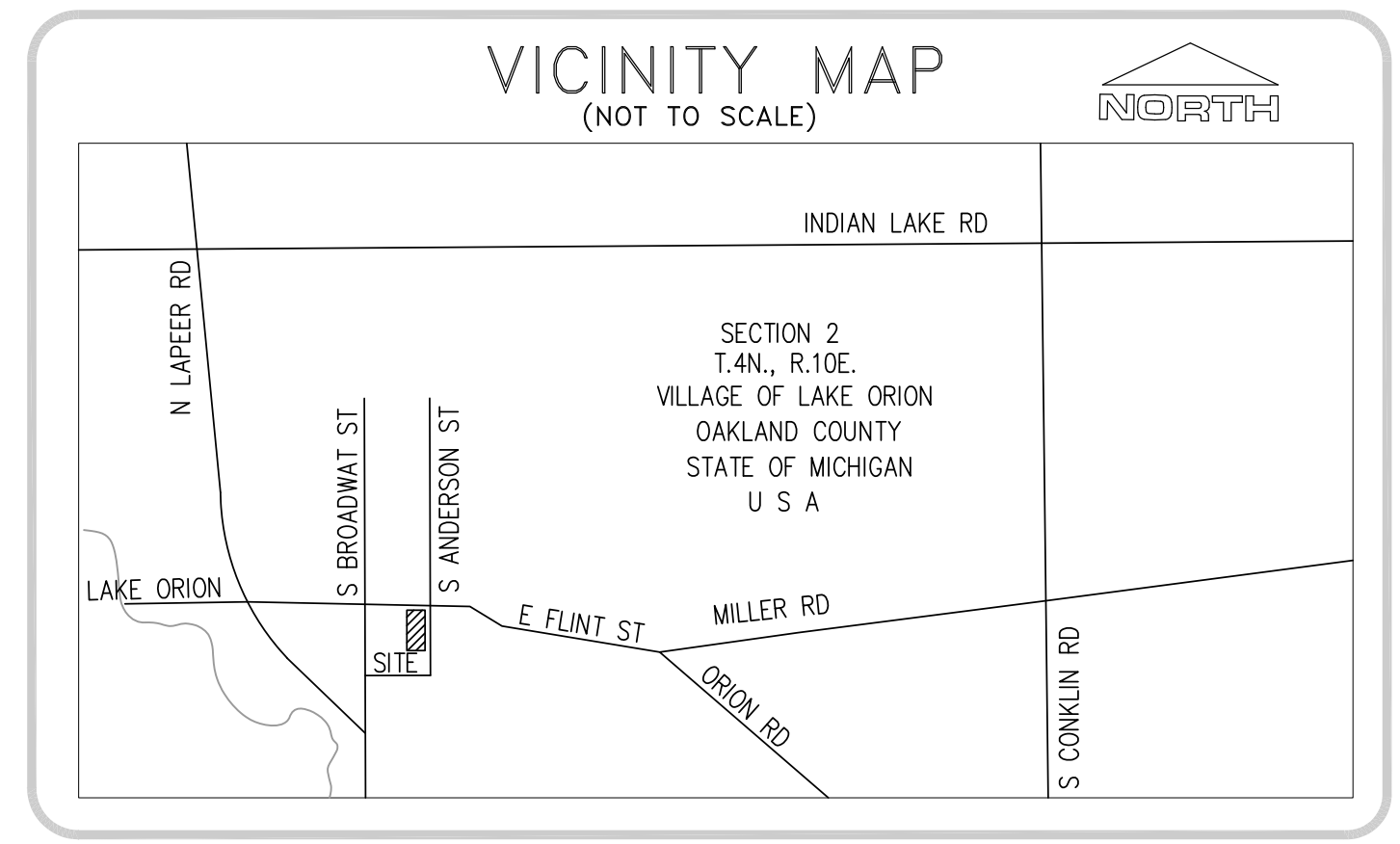
Jeff Williams, Fire Marshal
Orion Township Fire Department

TOPOGRAPHIC SURVEY



LEGEND

- = UTILITY POLE
- = OVER HEAD WIRE
- = CHAIN LINK FENCE
- = PAVEMENT CATCH BASIN/CBP
- = CATCH BASIN
- = EX. SANITARY M.H.
- = EX. GATE VALVE & WATER
- = EX. STORM M.H.
- = EX. ELECTRIC MANHOLE
- = EX. HYDRANT
- = WATER SHUT OFF
- = ELECTRIC METER
- = TRANSFORMER
- = LIGHT POLE
- = ELEVATION
- = FINISH FLOOR
- = FINISH GRADE
- = PARCEL IDENTIFICATION NUMBER
- = GUARD POST
- = TREE-8" TRUNK-8FT SPREAD
- = TOWN/RANGE
- = LIBER/PAGE
- = TOP/BOTTOM OF WALL
- = BENCH MARK
- = NORTH AMERICAN VERTICAL DATUM AS OF 1988
- = EXISTING
- = INVERT
- = CHISELED "X" IN CONCRETE
- = FOUND IRON/CAPPED IRON
- = SIGN
- = CONTROL POINT



GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
- AB-SB Land Survey, P.C. retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation. Copyright © 2021 AB-SB Land Survey, P.C.

BENCH MARK INFORMATION

Site Bench Mark No. 1:
Top of chiseled "X" in concrete walk, being 8.5 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.70' (NAVD88).

Site Bench Mark No. 2:
NE rim of pavement catch basin, being 15.9 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.05' (NAVD88).

Site Bench Mark No. 3:
North rim of a storm manhole, being 10 feet N'LY from BM#2. EL=982.43' (NAVD88).

TOTAL LAND AREA
13,440 ± SQUARE FEET
0.308 ± ACRES

FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.

LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:
LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-007. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Mende Bezanovski, P.S. 49430
Professional Surveyor in the State of Michigan

811 Know what's below. Call before you dig.

SCALE: 1" = 10'
FIELD: MB
REVISIONS:
CLIENT: TRI-COUNTY ENGINEERING

JOB NUMBER: 2021-02-04-127-SS
CHECKED: MB
DATE: 03-07-2021

36636 North Pointe Dr., New Baltimore, MI 48064
TEL: (586) 822-4954, FAX: (586) 591-5930
info@ab-sb-landsurvey.com, www.ab-sb-landsurvey.com

PAGE: 1 OF 1
DRAWN: MB
DATE: 03-07-2021

LAKE ORION, MI, 48362
TEL: (810)-394-7887
FAX: (586)-566-4642

Client:

J.S. Capitol Group
 155 Romeo Rd., Suite 300
 Rochester, MI 48307

Project:

44 East Flint
 44 East Flint St.
 Lake Orion, MI 48362

Issued	Description	By
05.06.2024	SPA	
06.24.2024	Discussion Item	



Zoning Information	
PROJECT ADDRESS:	
44 EAST FLINT STREET LAKE ORION, MI 48362	
CURRENT ZONING: DC (DOWNTOWN CENTER) W/ HEIGHT OVERLAY DISTRICT	
LOT AREA: 13,440 SQ. FT. (0.31 ACRES)	
ZONING REQUIREMENTS:	
ZONING INFORMATION BELOW IS BASED ON DC ZONING DISTRICT	
FRONT SETBACK:	0' MINIMUM, 10' MAXIMUM
PROP. FRONT SETBACK:	0'-0"
REAR SETBACK:	0' MINIMUM
PROP. REAR SETBACK:	42'-0"
SIDE SETBACK:	10' MINIMUM
SIDE STREET SETBACK:	0' MINIMUM, 10' MAXIMUM
PROP. EAST SETBACK:	0'-0"
PROP. WEST SETBACK:	0'-0"
ZONING REQUIREMENTS (CONT.):	
MAX. LOT COVERAGE:	100%
PROP. LOT COVERAGE:	8,386 / 13,440 = 62.4%
MIN./MAX. BLDG. HEIGHT:	3-STORIES: 36'-0" 4-STORIES: 52'-0" (HEIGHT OVERLAY DISTRICT)
PROP. BLDG. HEIGHT:	4-STORIES; 52'-0"
MAX. DENSITY:	NONE
VEHICLE PARKING REQUIREMENTS:	
REQUIRED PARKING:	
MULTI-FAMILY RESIDENTIAL:	2 SPACE PER UPPER LEVEL DWELLING UNIT
OFFICE:	NONE REQUIRED IN DC ZONING DISTRICT
RETAIL:	NONE REQUIRED IN DC ZONING DISTRICT
MULTI-FAMILY RESIDENTIAL:	10 UNITS X 2 = 20 SPACES 20 SPACES REQUIRED
TOTAL REQUIRED PARKING:	20 PARKING SPACES
PROVIDED PARKING:	19 PARKING SPACES

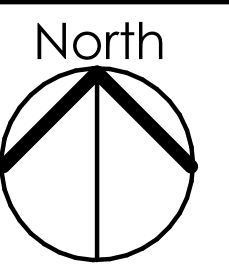
PRELIMINARY NOT FOR CONSTRUCTION

Seal:

Note:

Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

Architectural Site Plan

Project Number:

Project Number

Scale:

Sheet Number:

C.100

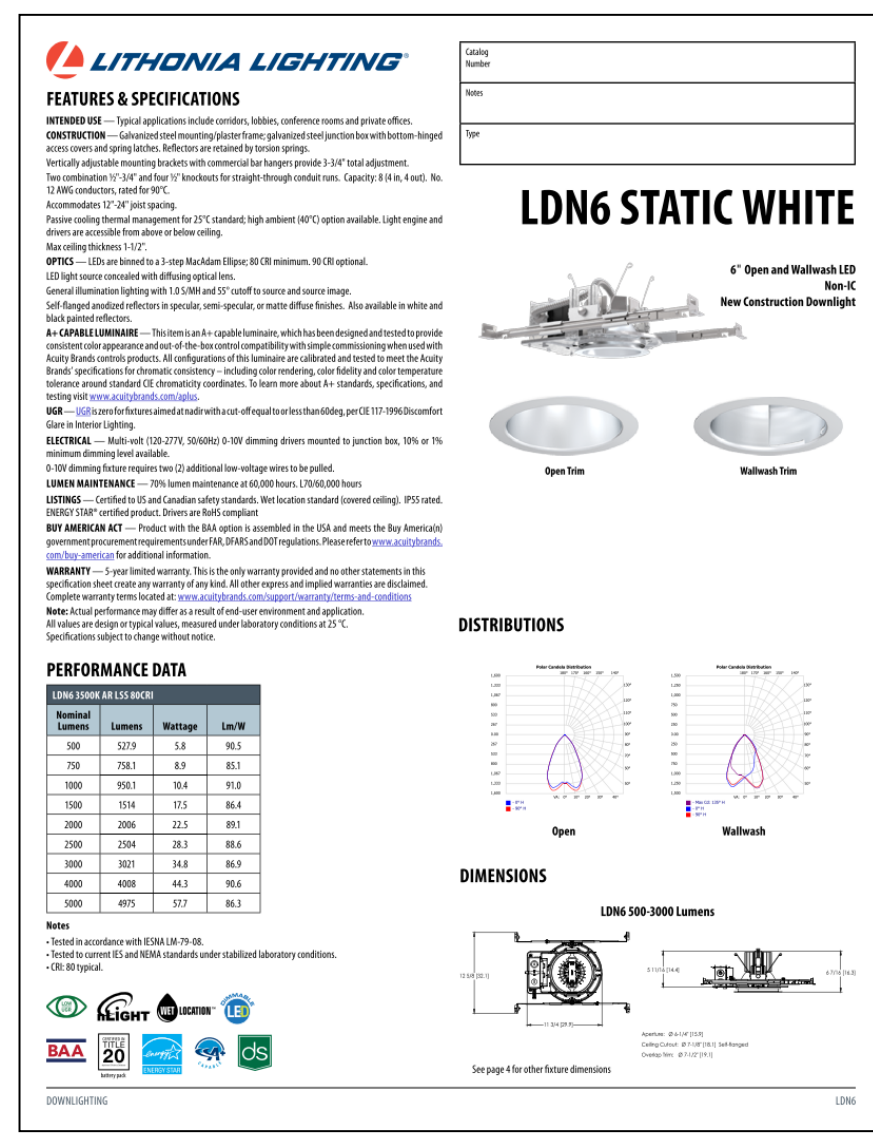
Architectural Site Plan

1" = 10'-0"

LITHONIA LIGHTING

LDN6 STATIC WHITE

6" Round Recessed LED Downlight



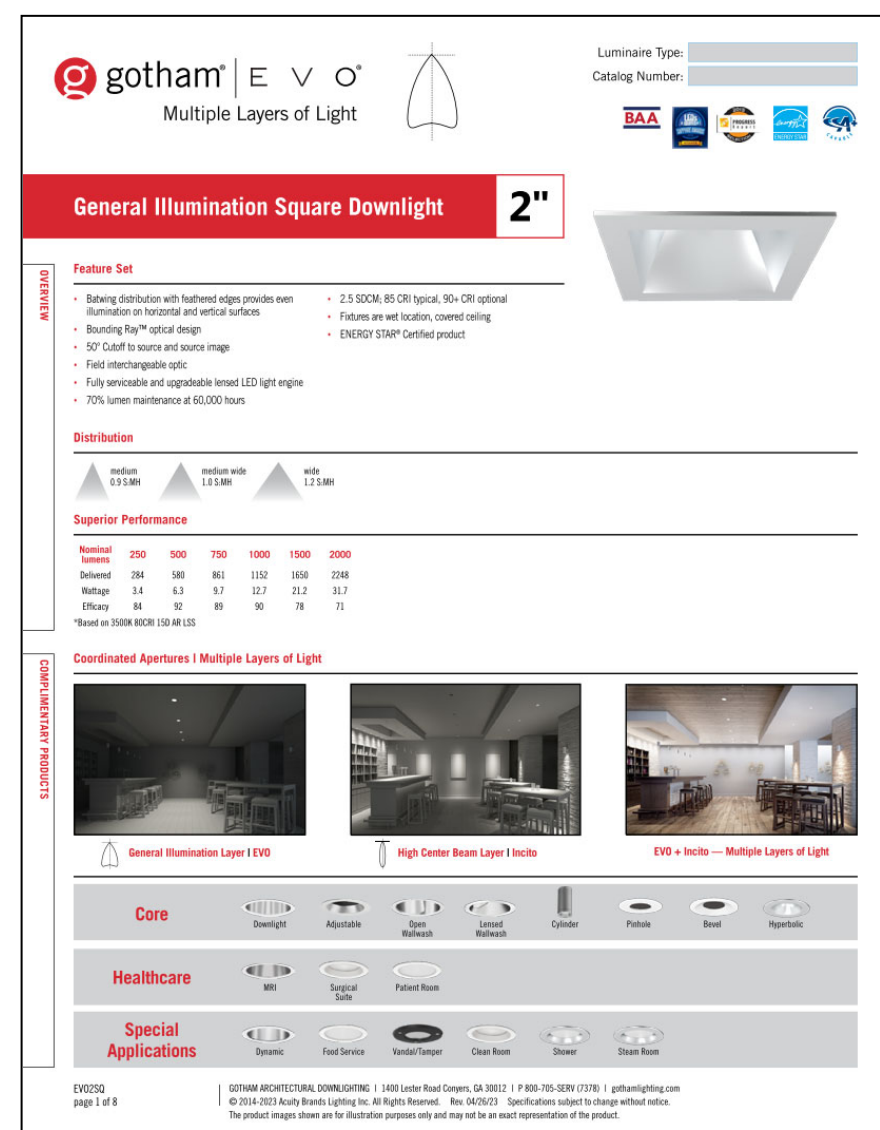
PERFORMANCE DATA

Beam Spread	Beam Diameter	Beam Area	Footcandle
30°	18.8"	254 sq ft	2.8 fc
36°	22.6"	400 sq ft	1.8 fc
42°	27.4"	574 sq ft	1.3 fc
48°	33.1"	788 sq ft	0.9 fc
54°	39.6"	1044 sq ft	0.7 fc
60°	46.8"	1350 sq ft	0.5 fc

gotham | E V O

Multiple Layers of Light

General Illumination Square Downlight 2"

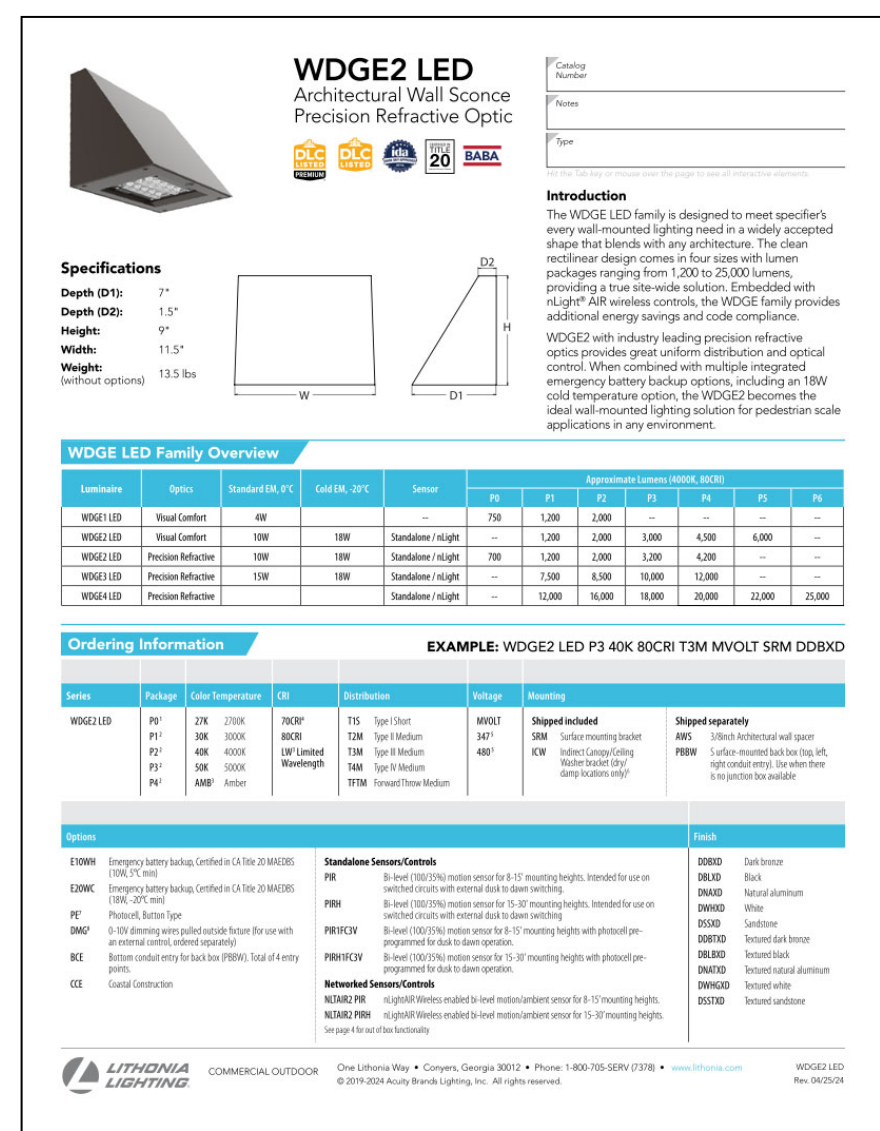


Specifications

- Beam Diameter: 2.0"
- Beam Spread: 30°
- Beam Area: 0.3 sq ft
- Footcandle: 10.0 fc

WEDGE LED

Architectural Wall Sconce Precision Refractive Optic



Specifications

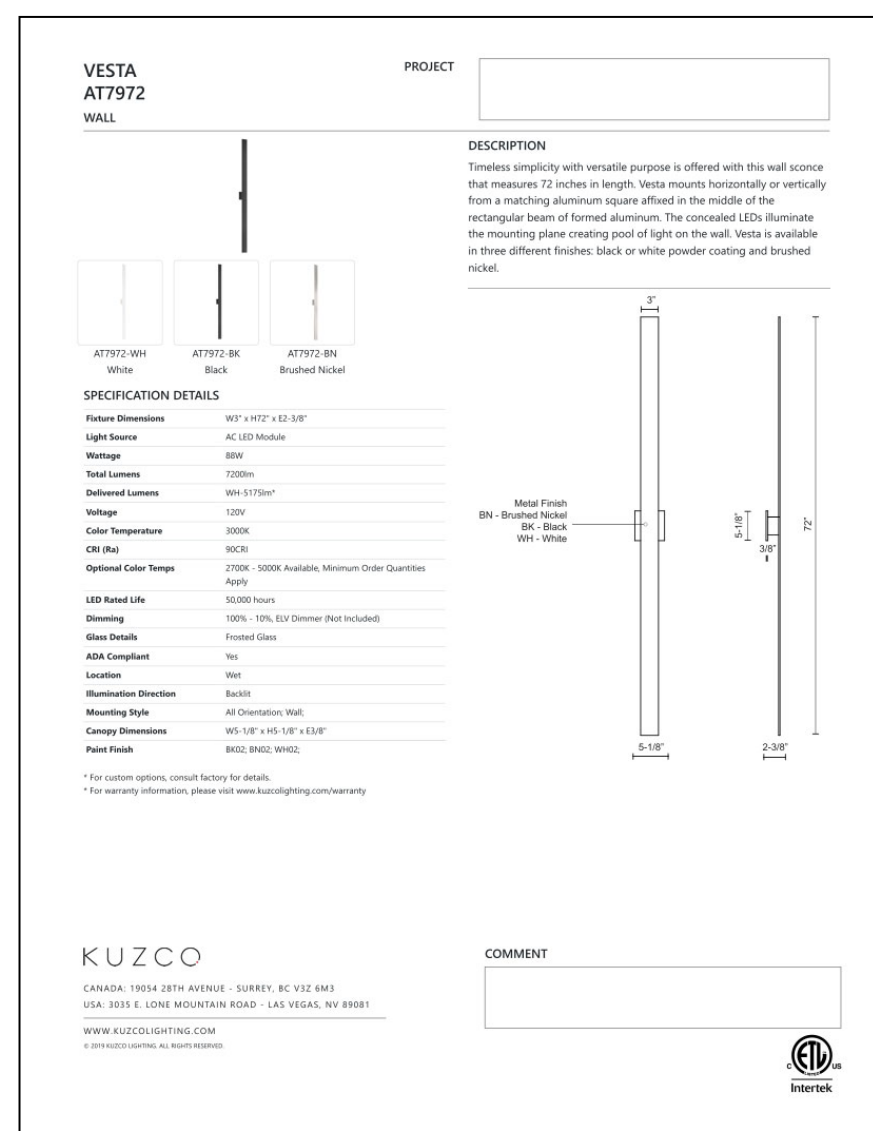
- Depth: 1.5"
- Width: 1.5"
- Height: 4"
- Weight: 153.5g

WEDGE LED Family Overview

Model	Depth	Width	Height	Weight
WEDGE LED P1	1.5"	1.5"	4"	153.5g
WEDGE LED P2	1.5"	1.5"	4"	153.5g
WEDGE LED P3	1.5"	1.5"	4"	153.5g
WEDGE LED P4	1.5"	1.5"	4"	153.5g

VESTA AT7972

WALL MOUNTED



Specifications

- Material: Aluminum
- Finish: Matte Black
- Height: 4.0"
- Width: 1.5"

Statistics

Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	✱	1.9 fc	7.4 fc	0.4 fc	18.5:1	4.8:1
Parking Property Line	+	0.5 fc	0.8 fc	0.2 fc	4.0:1	2.5:1
Overall	■	0.8 fc	7.4 fc	0.0 fc	N/A	N/A

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
 - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
 - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

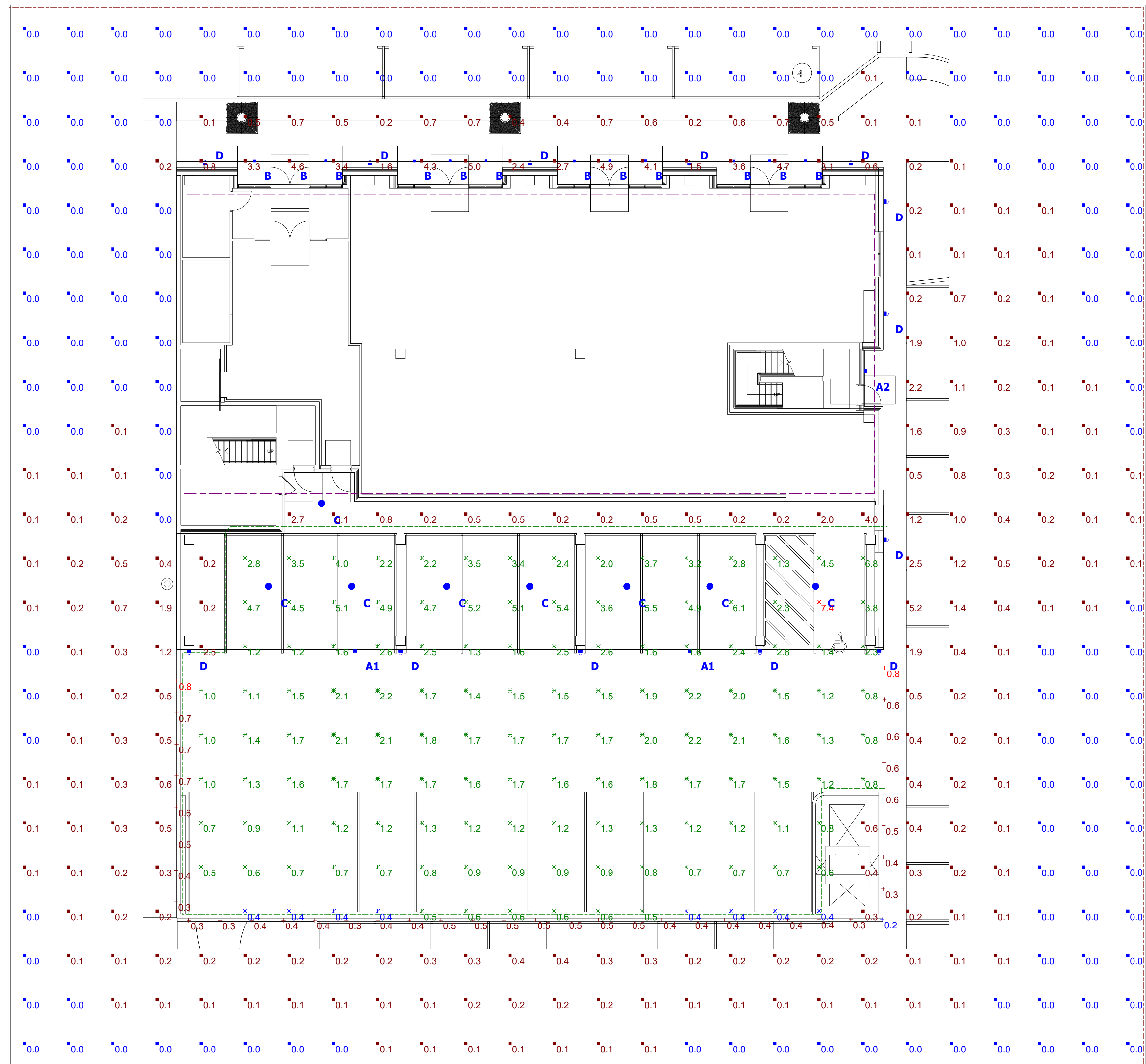
UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

Alternates Note
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

Ordering Note
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

Drawing Note
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

Mounting Height Note
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.



Plan View
Scale - 1" = 10ft

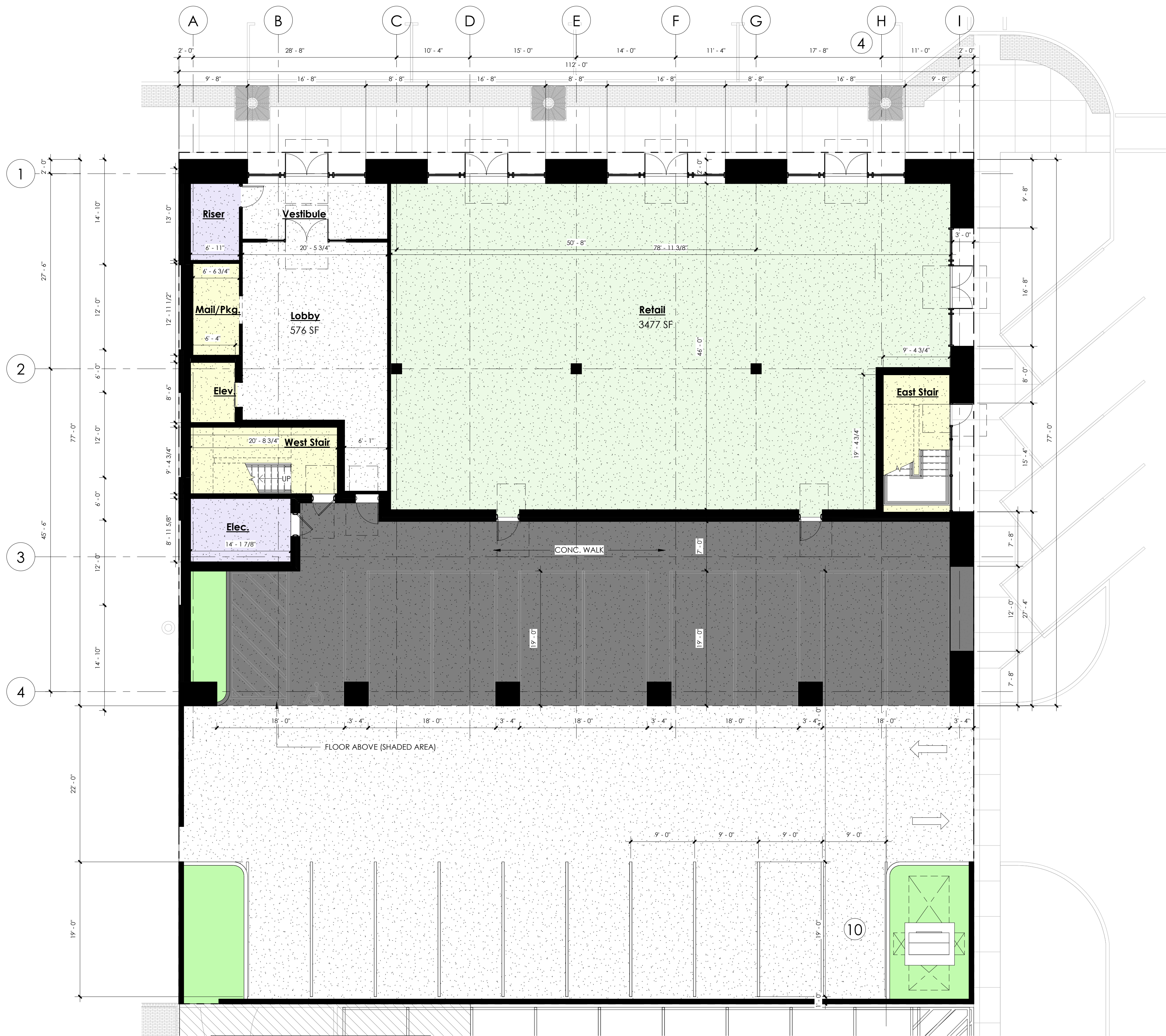
Schedule

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
□	A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	4742	0.9	46.6589
□	A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
□	B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
○	C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
□	D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7

Client:
J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:
44 East Flint
44 East Flint St.
Lake Orion, MI 48362

Issued	Description	By
05.06.2024	SPA	
06.24.2024	Discussion Item	



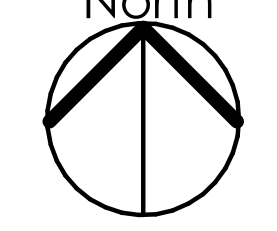
First Floor Plan
1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in
field.

North Arrow:



Sheet Title:
First Floor Plan

Project Number:
Project Number

Scale:

Sheet Number:

A.101

Client:

J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:

44 East Flint
44 East Flint St.
Lake Orion, MI 48362

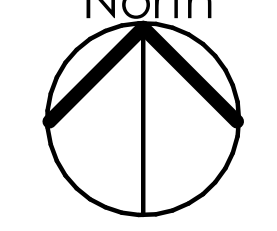
Issued	Description	By
05.06.2024	SPA	
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Seal:

Note:

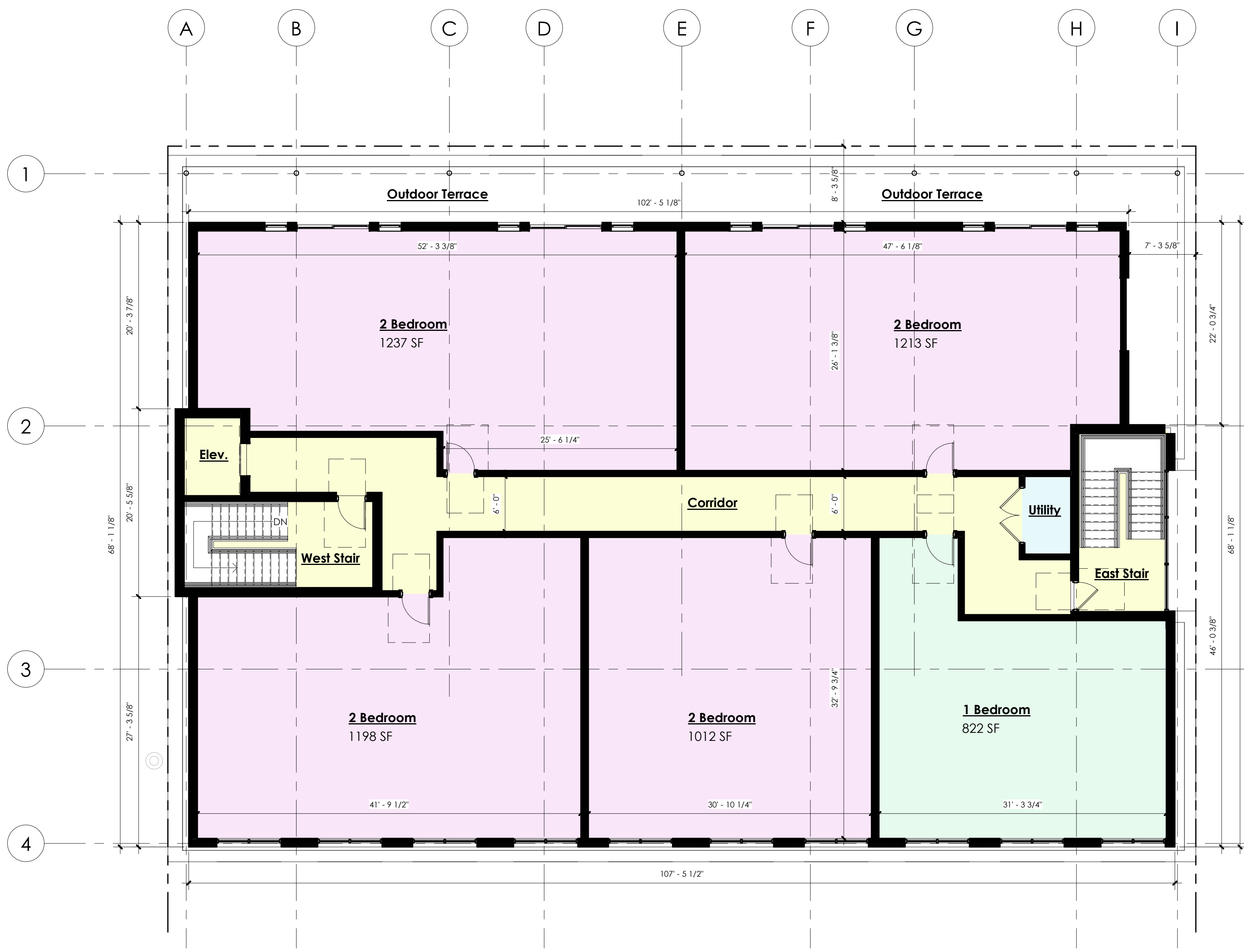
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:



Sheet Title:

Fourth Floor Plan



Fourth Floor Plan

1/8" = 1'-0"

UNIT MIX			
	1 BEDROOM	2 BEDROOM	TOTAL
3RD FLOOR	1 UNITS	4 UNITS	5 UNITS
4TH FLOOR	1 UNITS	4 UNITS	5 UNITS
TOTAL	2 UNITS	8 UNITS	10 UNITS

Project Number:

Project Number

Scale:

Sheet Number:

A.103

PRELIMINARY NOT FOR CONSTRUCTION

Client:
J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

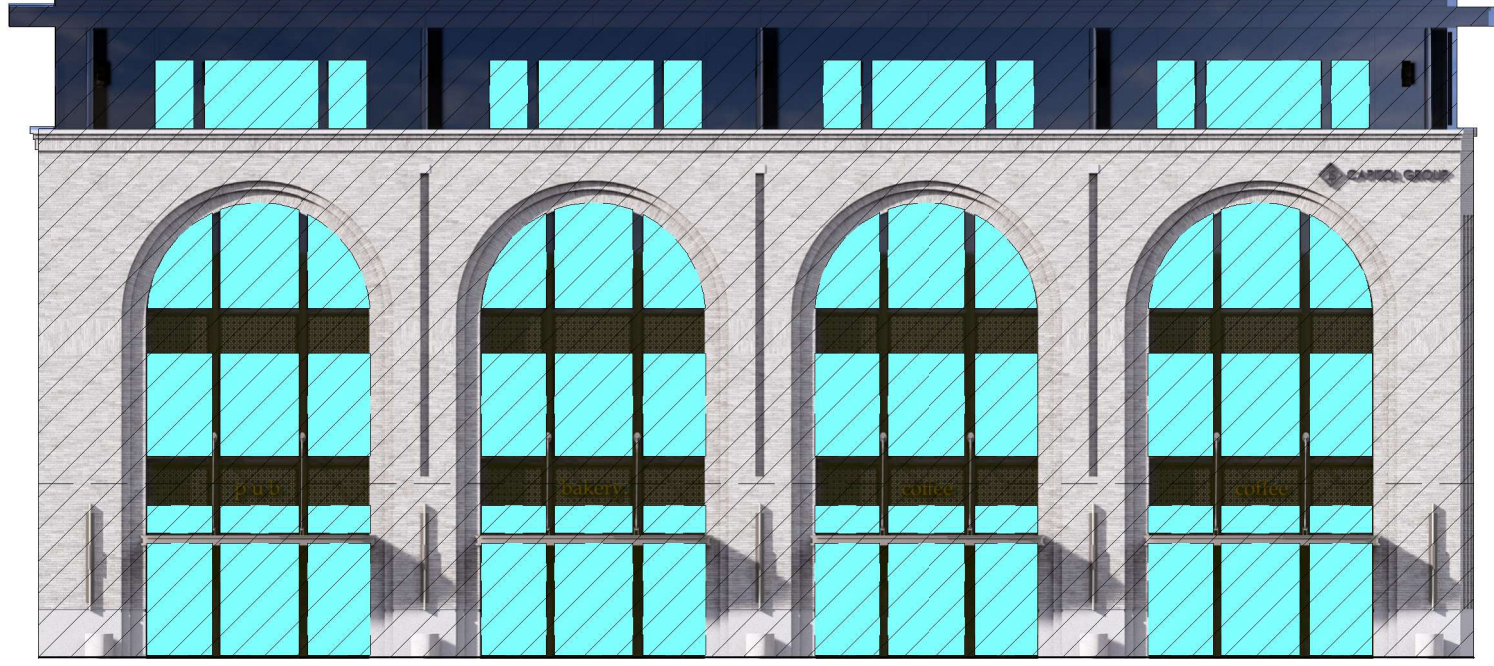
Project:
44 East Flint
44 East Flint St.
Lake Orion, MI 48362

Issued	Description	By
05.06.2024	SPA	
06.24.2024	Discussion Item	

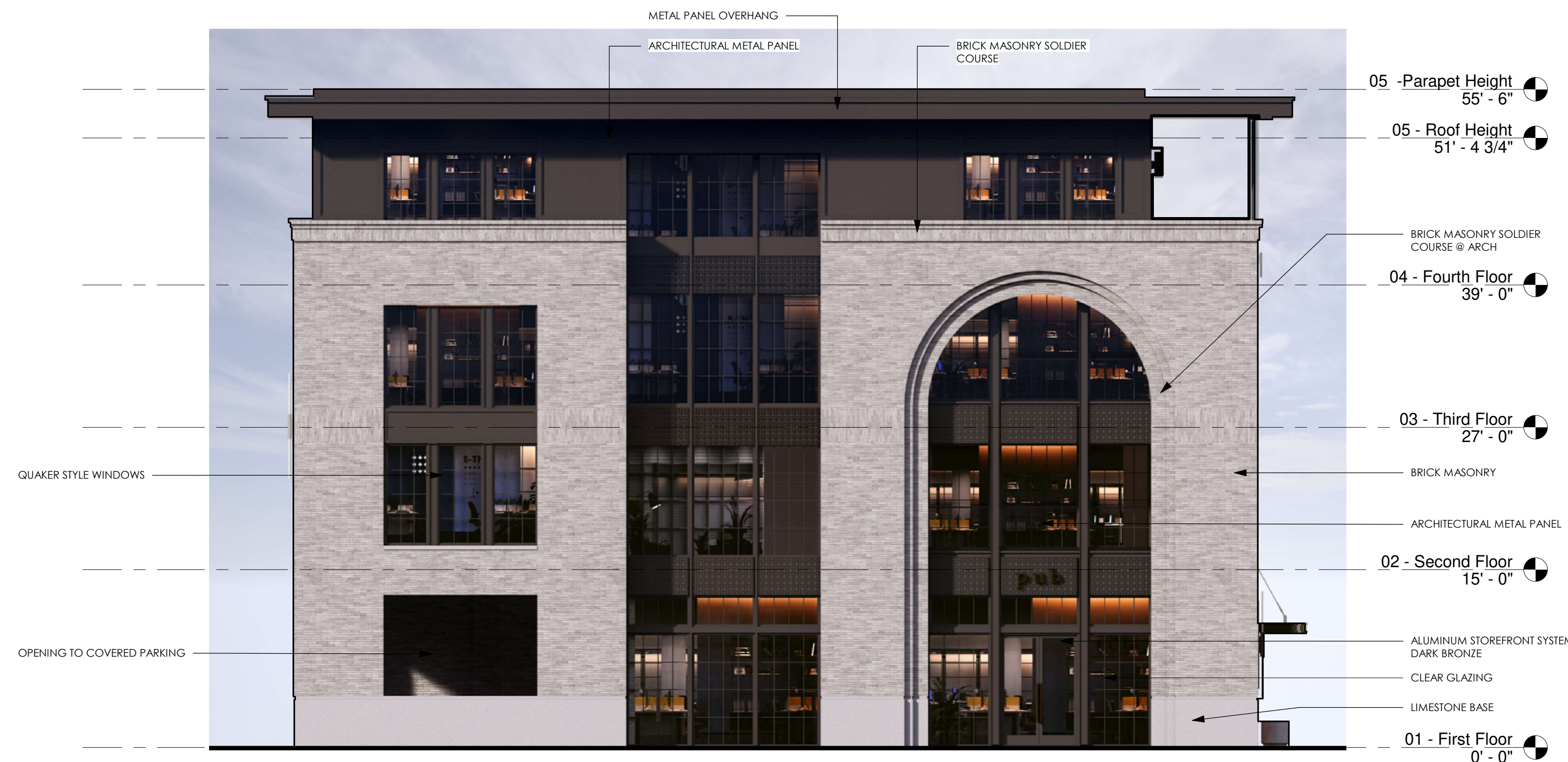


1 North Elevation
A.101 1/8" = 1'-0"

GLAZING PERCENTAGE (NORTH ELEVATION):	
1. OVERALL FIRST FLOOR FACADE AREA:	1,732 SQ. FT.
2. OVERALL WINDOW AREA:	799 SQ. FT.
3. GLAZING PERCENTAGE:	(799 / 1,855) 46% PROPOSED < 50% REQUIRED
4. OVERALL UPPER FLOOR FACADE AREA:	4,837 SQ. FT.
5. OVERALL WINDOW AREA:	1,409 SQ. FT.
6. GLAZING PERCENTAGE:	(1,409 / 4,837) 29% PROPOSED < 30% REQUIRED

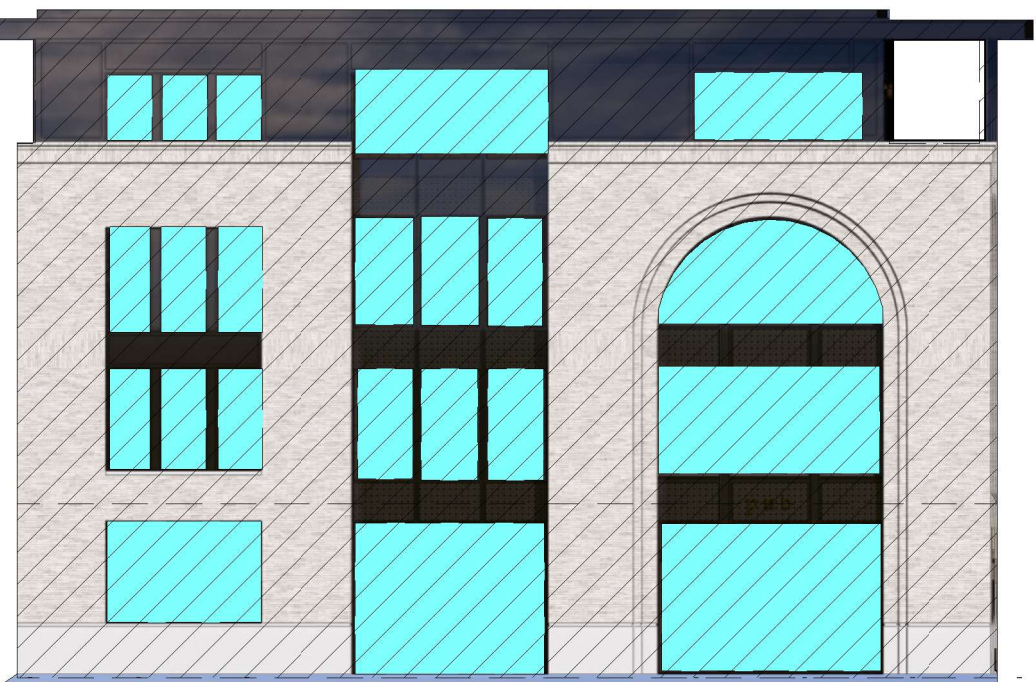


North Elevation
1/16" = 1'-0"



2 East Elevation
A.101 1/8" = 1'-0"

GLAZING PERCENTAGE (EAST ELEVATION):	
1. OVERALL FIRST FLOOR FACADE AREA:	1,183 SQ. FT.
2. OVERALL FIRST FLOOR WINDOW AREA:	530 SQ. FT.
3. GLAZING PERCENTAGE:	(530 / 1,183) 45% PROPOSED < 50% REQUIRED
4. OVERALL UPPER FLOOR FACADE AREA:	3,292 SQ. FT.
5. OVERALL UPPER FLOOR WINDOW AREA:	1070 SQ. FT.
6. GLAZING PERCENTAGE:	(979 / 3,292) 29% PROPOSED < 30% REQUIRED



East Elevation
1/16" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.
North Arrow:

Sheet Title:
Exterior Elevations

Project Number:
Project Number
Scale:

Sheet Number:
A.200

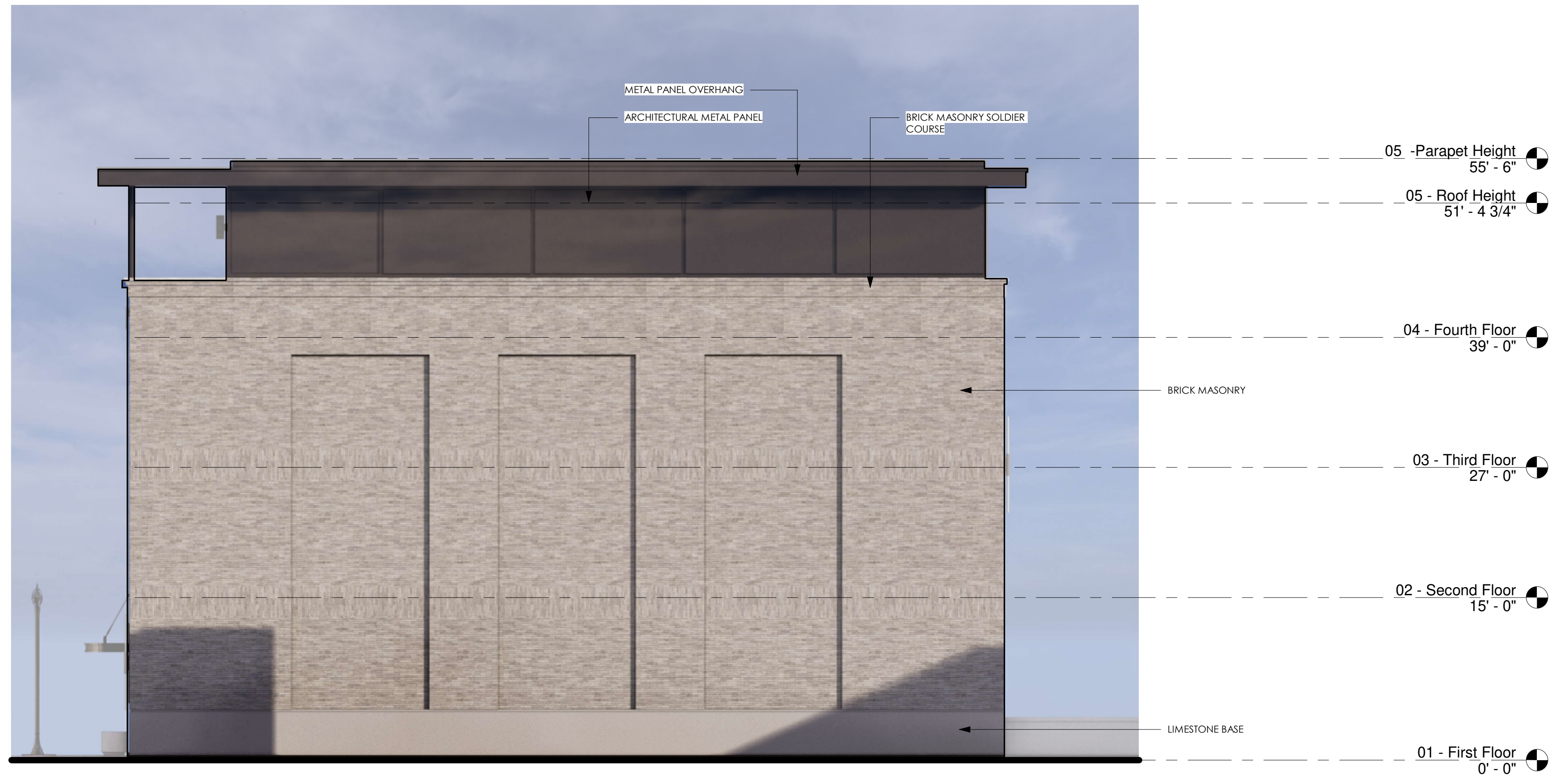
Client:
 J.S. Capitol Group
 155 Romeo Rd., Suite 300
 Rochester, MI 48307

Project:
 44 East Flint
 44 East Flint St.
 Lake Orion, MI 48362

Issued	Description	By
05.06.2024	SPA	
06.24.2024	Discussion Item	



1
A.100 South Elevation
 1/8" = 1'-0"



2
A.101 West Elevation
 1/8" = 1'-0"

PRELIMINARY NOT FOR CONSTRUCTION

Seal: _____

Note:
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____

Sheet Title:
 Exterior Elevations

Project Number: _____
 Project Number
Scale: _____

Sheet Number:
A.201

Client: _____
 J.S. Capitol Group
 155 Romeo Rd., Suite 300
 Rochester, MI 48307

Project: _____
 44 East Flint
 44 East Flint St.
 Lake Orion, MI 48362

Issued	Description	By
05.06.2024	SPA	
06.24.2024	Discussion Item	

PRELIMINARY NOT FOR CONSTRUCTION

Seal: _____

Note:
 Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in
 field.
 North Arrow: _____

Sheet Title:
 Exterior
 Renderings

Project Number: _____
 Project Number
 Scale: _____

Sheet Number:
A.300



View of front facade from E. Flint St.



View from intersection of S. Anderson St. and E. Flint St.



View across front facade from parking



View of commercial space entry

Client:
J.S. Capitol Group
155 Romeo Rd., Suite 300
Rochester, MI 48307

Project:
44 East Flint
44 East Flint St.
Lake Orion, MI 48362

Issued	Description	By
05.06.2024	SPA	
06.24.2024	Discussion Item	

PRELIMINARY NOT FOR CONSTRUCTION

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.
North Arrow:

Sheet Title:
Exterior Renderings

Project Number:
Project Number
Scale:

Sheet Number:
A.301



View of front facade from E. Flint St.



View of signage



View of West facade



View of back facade