



## **AGENDA**

### **REGULAR MEETING OF THE PLANNING COMMISSION**

**Monday, August 05, 2024**

**6:30 PM**

**Village Hall – 21 East Church Street, Lake Orion, MI 48362**

**(248) 693-8391 ext. 102**

#### **REQUIREMENTS FOR PUBLIC COMMENT :**

Anyone that would like to make a public comment at any point during the meeting must first sign the "Sign In" sheet located near the main entrance door.

Prior to making any comment a member of the audience MUST first state your name and address for the record.

**1. Call to Order**

**2. Pledge of Allegiance**

**3. Roll Call and Determination of Quorum**

**4. Approval of Agenda**

**5. Approval of Minutes**

A. Approval of July 1<sup>st</sup> , 2024 Planning Commission Minutes

**6. Public Comments on Non-Agenda Items Only**

**7. Old Business**

A. Site Plan Review: VLO-24-02 (44 E. Flint) Mixed-Use Development

**8. New Business**

A. Monthly Planning and Zoning Report – July 2024

**9. Commissioners' Comments Regarding Planning and Zoning Matters**

**10. Next Regular Meeting - September 3rd, 2024**

## **11. Adjournment**

*In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact the Village, at least three (3) business days in advance of the meeting, if requesting accommodations. The Village of Lake Orion will provide foreign language or hearing impaired interpretation services for those individuals who contact the village to request such services at least seven (7) days prior to the meeting.*

*En el espíritu de la observancia de la Ley de Estadounidenses con Discapacidades, las personas con discapacidad debe sentirse libre para ponerse en contacto con el pueblo, por lo menos tres (3) días hábiles de antelación a la fecha de la reunión, si se solicitan alojamiento. El municipio de Lake Orion proporcionará idioma extranjero o personas con problemas de audición servicios de interpretación para las personas que se ponen en contacto con el pueblo de solicitar dichos servicios con no menos de siete (7) días antes de la reunión.*



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## BOARD ACTION SUMMARY SHEET

**MEETING DATE:** August 5<sup>th</sup>, 2024

**TOPIC** Approval of July 1<sup>st</sup>, 2024 Planning Commission Minutes

**RECOMMENDED MOTION:** To approve the July 1<sup>st</sup>, 2024 Planning Commission meeting minutes as presented.



# MINUTES

## REGULAR MEETING OF THE PLANNING COMMISSION

Monday, July 01, 2024

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

### 1. Call to Order

The July 1<sup>st</sup>, 2024 Planning Commission Regular Meeting was called to order at 6:30 PM.

### 2. Pledge of Allegiance

### 3. Roll Call and Determination of Quorum

#### PRESENT

Village Council President Jerry Narsh

Village Council Member Michael Lamb

Secretary Hank Lorant

Vice Chairperson George Dandalides

Commissioner Larry Dunn

Commissioner/Administrative Official Darwin McClary

#### ABSENT

Commissioner Edward Sabol

Chairperson James Zsenyuk

#### STAFF PRESENT

Planning and Zoning Coordinator Gage Belko

Deputy Clerk/Treasurer Lynsey Blough

**MOTION** made by Vice Chairperson Dandalides, Seconded by Council member Lamb, to excuse Chairperson Zsenyuk from the July 1<sup>st</sup>, 2024 Planning Commission Regular Meeting.

Voting Yea: Village Council President Narsh, Village Council Member Lamb, Secretary Lorant, Vice Chairperson Dandalides, Commissioner Dunn, Commissioner/Administrative Official McClary

### 4. Approval of Agenda

**MOTION** made by Village Council President Narsh, Seconded by Village Council Member Lamb, to approve the agenda.

- VOTING YEA:** Narsh, Lamb, Lorant, Dandalides, Dunn, McClary
- VOTING NAY:** None
- ABSENT:** Zsenyuk, Sabol
- MOTION:** Carried

**5. Approval of Minutes**

**A. Approval of June 3, 2024 Planning Commission Regular Meeting Minutes**

**MOTION** made by Commissioner/Administrative Official McClary, Seconded by Secretary Lorant, to approve the June 3, 2024 Planning Commission Regular Meeting Minutes, as presented.

- VOTING YEA:** Narsh, Lamb, Lorant, Dandalides, Dunn, McClary
- VOTING NAY:** None
- ABSENT:** Zsenyuk, Sabol
- MOTION:** Carried

**6. Public Comments on Non-Agenda Items Only**

Mr. Decker spoke.

**7. Old Business**

**8. New Business**

**A. Monthly Planning and Zoning Report**

**MOTION** made by Commissioner/Administrative Official McClary, Seconded by Secretary Lorant, to receive and forward the Monthly Planning and Zoning Report to the Village Council.

- VOTING YEA:** Narsh, Lamb, Lorant, Dandalides, Dunn, McClary
- VOTING NAY:** None
- ABSENT:** Zsenyuk, Sabol
- MOTION:** Carried

**B. Site Plan Discussion: VLO-24-02 (44 E. Flint) Mixed-Use Development**

Architect Jeff Klatt of Krieger Klatt Architects provided a brief presentation on the architectural details of 44 E. Flint Street on behalf of the applicant/developer.

Mr. Belko also provided McKenna’s Summary of Compliance Site Plan Review, which included the following:

1. Required Information
2. Use & Harmonious Design
3. Dimensional Standards

4. Natural Features/Landscaping
5. Access & Circulation
6. Parking & Loading
7. Building Design
8. Engineering / Stormwater Management
9. Lighting

He further noted that the applicant will comply and meet the standards of the Zoning Ordinance regarding Use and Harmonious Design. Mr. Belko mentioned that with the Dimensional Standard for height in the Height Overlay District, they recommend considering design alternatives that incorporate a 10 ft step back.

President Narsh asked about the specific purpose of the 10 ft setback. Mr. Belko responded that it aims to reduce the visual impact of the 4-story building, enhancing its compatibility with surrounding properties. He also noted that it is a required ordinance standard.

Commissioner Dunn asked if the 10 ft setback is an industry standard. Mr. Belko responded that it is an ordinance requirement and added that variances are not guaranteed.

Mr. Belko continued with the review of the Ordinance Standards and encouraged a warmer tone for the bricks to blend or match with the surrounding buildings in the district. He mentioned that the selection of materials and colors will return to the Commission for further discussion, aiming for greater cohesion with the district.

McKenna also recommended Right-of-Way Landscaping and Screening, suggesting modifying the parking to be angled for a more cohesive streetscape with the DDA parking lot. The DDA has landscape islands, presenting a great opportunity for the Applicant to continue this theme. However, this would require a license agreement with Village Council as it involves public property.

Additionally, for safety reasons, it's advisable to eliminate the parking spots immediately south of the entrance drive. Regarding Transformer Screening, the Applicant intends to leave it open to the north, where it remains visible from Anderson Street. If the Planning Commission finds this approach acceptable, McKenna would also support the Commission's decision.

In regards to Parking and Loading, their recommendations include reducing the requirement by 1 parking space for public safety and waiving the requirement for loading space.

Regarding the trash receptacle, McKenna recommended incorporating an agreement with the DDA, believing it would be a beneficial solution.

Mr. Belko also noted a recommendation to reduce lighting along Anderson Street and to grant a waiver for proposed illumination along Flint Street.

Mr. Belko commended the Applicant's Architect for a comprehensive presentation, highlighting its completeness, building design, site layout, access, and landscaping. McKenna recommends that the Applicant revise and resubmit a complete set of site plans, addressing the comments

within their report, and any additional comments from the Village Engineer or Fire Marshall. This review is part of the Planning Agenda Packet.

President Narsh acknowledges the importance of external lighting, recognizing its potential benefits for the busy Flint/Anderson corner. He also asked Architect Klatt if they could perform a photo match/color overlay, to which Architect Klatt responded positively, stating it is a great idea and they can do it.

Council Member Lamb asked Mr. Belko about the location of the loading zone. Mr. Belko responded that a 10 ft x 25 ft loading space would be suitable, or alternatively, they could waive the loading requirement and maneuver through the parking spaces. Architect Klatt also confirmed that there is no dedicated loading space.

Council Member Lamb then inquired about the ownership of the parking lot where the trash dumpster would be placed. Mr. Belko replied that it belongs to the DDA. Council Member Lamb also remarked that this change reduces the available parking spaces in the district.

President Narsh shared his comments on loading spaces, suggesting that the parking space on Anderson Street could have the least impact on traffic flow if a narrow green space were added.

Secretary Lorant asked if a loading zone could function as a parking zone if scheduled. President Narsh responded it would not be practical.

Vice Chairperson Dandalides asked if the 19 parking spaces will be gated and restricted for residents only. Architect Klatt responded that they are strictly designated for residents; even office and retail spaces will not be allowed to park there. Paul Dunn, a representative of JS Capital, added that they will have signage to tow any non-residents. President Narsh also provided his comments.

Vice Chairperson Dandalides further inquired about parking alternatives since the district is losing parking. Secretary Lorant responded that the DDA Lumberyard Project proposes adding 150 parking spots. President Narsh mentioned that the engineering parking study addressed parking saturation and that the Lumberyard Project will help alleviate this issue.

Village Manager McClary also noted that the Slater Street Parking Lot, which has 26 spaces, could be utilized since it is often empty. He expressed that he does not believe reducing the parking lot requirement for this development is as much of an issue as others think. Secretary Lorant added that the new development would add value to the district, a sentiment Mr. McClary agreed with.

President Narsh asked Mr. Belko if the proposal meets parking requirements. Mr. Belko responded that it is just 1 parking space short of the required 2 per dwelling unit, but it is within the Planning Commission's authority to waive and reduce parking requirements.

Mr. Belko then asked Architect Klatt about the number of two- and one-bedroom dwelling units in the plan. Architect Klatt said there would be 8 two-bedrooms and 2 one-bedrooms. He emphasized that the plan is not final and is subject to market conditions.

Mr. Dunn suggested that they could potentially add more office spaces on the 3<sup>rd</sup> floor or eliminate some dwelling units, depending on market conditions, which could reduce the parking requirement. He expressed uncertainty about this possibility.

President Narsh reiterated his suggestion regarding parking spots on south Anderson Street.

Vice Chairperson Dandalides opened the discussion for public comments. Ken Van Portfliet sought clarification regarding the parking zone and loading zones. He suggested placing the loading zone on Flint Street instead, for easier maneuverability and public safety, rather than having trucks turn onto Anderson Street. Mr. Van Portfliet also inquired about the terrace setbacks on Flint Street.

**9. Commissioners' Comments Regarding Planning and Zoning Matters**

Village Manager McClary spoke.

Secretary Lorant spoke.

Commissioner Dunn had no comment.

President Narsh spoke.

Council member Lamb spoke.

Vice Chairperson Dandalides spoke.

**10. Next Regular Meeting - August 5, 2024**

**11. Adjournment**

**MOTION** made by Village Council President Narsh, Seconded by Commissioner/Administrative Official McClary, to adjourn the July 1<sup>st</sup>, 2024 Planning Commission Regular Meeting.

**VOTING YEA:** Narsh, Lamb, Lorant, Dandalides, Dunn, McClary

**VOTING NAY:** None

**ABSENT:** Zsenyuk, Sabol

**MOTION:** Carried

The July 1<sup>st</sup>, 2024 Planning Commission Regular Meeting adjourned at 7:48 PM.

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Henry Lorant  
Secretary

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Lynsey Blough  
Deputy Clerk/Treasurer

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Sonja Stout  
Clerk/Treasurer

Date approved: as presented on August 5, 2024.



## BOARD ACTION SUMMARY SHEET

**MEETING DATE:** August 5, 2024

**TOPIC** Site Plan Review: VLO-24-02 (44 E. Flint) Mixed-Use Development

**BACKGROUND BRIEF:** The proposed project is a 4-story mixed-use development on an underutilized portion of land at the corner of Flint and Anderson Streets. The site is ±6,700 square feet consisting of two parcels (09-02-481-007 and 09-02-481-008) and is in the DC, Downtown Center District. Jeff Schmitz of J.S. Capitol is the owner and developer. The development is anticipated to include:

- 3,477 square feet of ground-floor retail,
- 6,544 square feet of mid-floor office space, and
- ~13,000 square feet (10 units) of upper-floor residential apartments.

In November 2022, a conceptual mixed-use proposal was brought to the Planning Commission for discussion with conversations picking back up with Village staff in 2024 to envision a higher and better use for the site. The project went through one round of preliminary staff review by Village planning and engineering consultants and the Fire Marshal in May 2024; at the time, several revisions and key pieces of information were required to perform an adequate review and reach substantial compliance.

During a meeting with the applicant in June, it was agreed that, prior to undergoing the second round of preliminary staff review, revised plans and staff reports could be brought before the Planning Commission as a discussion item. The Planning Commission discussed the project and provided direction to the applicant for revisions at a regular meeting held on July 1, 2024.

The applicant has made progress addressing staff comments and is coming before the Planning Commission for consideration of site plan approval.

**COMMISSION ACTION:** The site was initially approved for a paid, paved parking lot. On June 7, 2021, the Planning Commission voted to postpone consideration of the parking lot project until its next meeting. On July 6, 2021, the Commission granted conditional site plan approval for the installation of the parking lot on the site.

**FINANCIAL IMPACT:**

None – the developer will be assuming all costs for construction.

**RECOMMENDED MOTION:**

To **APPROVE** the preliminary site plan for the proposed mixed-use development located at 44 E. Flint Street, subject to the conditions listed in the Village Planner’s report dated July 29, 2024.

# MCKENNA

July 29, 2024

Planning Commission  
Village of Lake Orion  
21 E. Church St.  
Lake Orion, MI 48362

**Subject: VLO-24-02 44 E. Flint, Site Plan Review #2**

Commissioners:

We have received a site plan application from Jeff Schmitz (the “applicant/developer”) for the construction of a ±6,700 square feet, 4-story mixed-use building located at 44 E. Flint Street (the “project”). The project is in the Downtown Center (DC) District and Height Overlay District on the southwest corner of E. Flint Street and S. Anderson Street. The project is situated on two parcels (09-02-481-007 and 09-02-481-008). In July 2021, the developer received site plan approval for the construction of a paid parking lot within the project area.

In November 2022, a conceptual mixed-use proposal was brought to the Planning Commission for discussion. Conversations with Village staff picked back up in 2024 to envision a higher and better use for the site. We offer the following comments for your consideration; with underlined text denoting items that require additional information, consideration, or a waiver from the Code.

## SUMMARY OF COMPLIANCE

Additional details can be found in the relevant sections of this report. Modifications to the site layout and building design may arise as a result of the most recent staff reviews and future conversations regarding emergency access, shared use, and license agreements; therefore, we recommend that the applicant revise and resubmit materials for further consideration.

Ordinance Standards	Compliance	Comments
1. Required Information	Complies	<u>Additional easement information, provisions, and/or abandonment may be required.</u>
2. Use & Harmonious Design	Complies	<u>Note intent to comply on revised site plan.</u>
3. Dimensional Standards	<u>Can Comply</u>	<u>Modifications required for height allowance; lot combination required.</u>
4. Natural Features / Landscaping	<u>Can Comply</u>	<u>Modifications required; Village Council approval required for ROW.</u>
5. Access & Circulation	<u>Can Comply</u>	<u>Modifications, Engineer approval, and Fire Marshal approval required.</u>
6. Parking & Loading	<u>Can Comply</u>	<u>Waiver and on-street design modifications required; shared use/access agreements required for dumpster.</u>
7. Building Design	Complies	<u>Note canopy clearance; consider alternative lighting.</u>
8. Engineering / SWM	<u>Can Comply</u>	<u>See Engineer’s report dated July 23, 2024.</u>
9. Lighting	<u>Can Comply</u>	<u>Reduction along Anderson and waiver along Flint required.</u>

### HEADQUARTERS

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Northville, Michigan 48167

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MCKA.COM

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# Site Plan Review

Standards for Site Plan Approval are set forth by Article 19: Administrative Procedures and Standards. This project is reviewed against the Village’s [Zoning Ordinance](#), Master Plan, existing site conditions, and sound planning and design principles.

## 1. REQUIRED INFORMATION

Section 19.02(D) lists the information required of all site plans undergoing Planning Commission review. The revised site plan is reasonably complete; however, we note that additional information regarding existing easements on the site will be required, per the Village Engineer letter dated July 23, 2024. Additional information or materials may be requested by the Planning Commission.

## 2. USE & HARMONIOUS DESIGN

**Standards:** *All elements of the site shall be harmoniously and efficiently designed in relation to the topography, size, and type of land, and the character of the adjacent properties and the proposed use. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted on such property.*

The site is zoned the DC, Downtown Center District where the proposed mixed-use building is considered to be acceptable should the Project comply with the following applicable standards:

- a. *All business establishments shall be retail, service, or entertainment establishments dealing directly with consumers. All goods produced on the premises shall be sold primarily from the premises where produced.*
- b. *All business, servicing, or processing (except for off-street parking or loading) shall be conducted within completely enclosed buildings, except as a permitted temporary use.*
- c. *Storage of commodities shall be within buildings and shall not be visible to the public from a street or thoroughfare.*

Proposed uses include ground-floor retail, second-floor office/service, and third- and fourth-floor residential; future tenants are unknown at this time. Tenants that serve liquor (bars, restaurants) must go through the special land use approval process prior to the establishment of such use(s) (Sec. 6.02(B)(6)). The applicant response letter states future tenants will comply with the requirements above. A note to this effect shall be included on a revised site plan.

## 3. DIMENSIONAL STANDARDS

**Standards:** *The site plan shall comply with the district requirements for minimum floor area, height of building, lot size, yard space, density and all other requirements as set forth in the Schedule of Regulations.*

The project generally complies with the dimensional standards of the DC and Height Overlay Districts; all comments below are subject to an approved lot combination being completed prior to final approval.

Standard	Required	Proposed	Comments
Min. Lot Area	n/a	0.31 ac.	Complies

Standard	Required	Proposed	Comments
Min. Lot Width	n/a	112 ft.	Complies
Max. Front Yard Setback	10 ft	0 ft.	Complies
Max. Side Yard Setback	10 ft.	0 ft.	Complies
Max. Rear Yard Setback	n/a	~43 ft.	Complies
Max. 1 <sup>st</sup> Floor Area	20,000 sq. ft.	~6,700 sq. ft.	Complies
Max. Building Height	52 ft. / 4 stories	~51 ft. / 4 stories	<u>May Comply (Height Overlay, see below)</u>

**Height District Overlay Standards:** *When reviewing any proposed building within the Height Overlay District, the Village shall find the proposed location for the structure, its form, and its relationship to adjacent land uses and buildings meets all of the following criteria:*

- a. *Shall be of such orientation to adjacent land uses and buildings as to be context sensitive in design. The proposed building generally complies with the dimensional standards above and is oriented towards Flint Street, one of the primary retail frontages downtown, consistent with the other buildings along the street. The project would create a more consistent and contextually sensitive street frontage, which is currently interrupted by a parking lot. Additionally, the proposed land uses are consistent with the area and sound planning principles; by incorporating a mix of uses, including residential, the development helps transition from the retail core to the surrounding neighborhoods.*
- b. *Shall incorporate building height modulation to reduce the building scale at the street edge(s) or lakefront (where determined), with the fourth (4) story stepped back a minimum of ten (10) feet from the main building face(s). The fourth-floor walls fronting Flint Street are shown to be stepped back about 8.25 ft. from the front building line along Flint; this must be increased to meet the 10 ft. standard. Along Anderson, the façade must be stepped back in compliance with the 10 ft. requirement.*
- c. *Shall incorporate architectural features, including, but not limited to: arches, arcades, porticos, repeating window patterns, and cornices. Blank walls facing streets or public areas shall be prohibited. The applicant has incorporated several high-quality architectural features, including arches, porticos, repeating window patterns, and cornices to the front (East Flint) elevation. In addition, the Applicant has revised the Anderson Street Elevation to match the front, with a portico and additional glazing. Due to the alleyway’s small setback and private ownership, the Applicant is not required or able to include windows, instead providing articulation in the brick façade to create a similar rhythm to the East Flint and Anderson facades. These features may be ideal locations for small-scale murals to further enhance downtown.*
- d. *Shall have a discernible base and cap that are clearly defined by horizontal elements along the bottom and top of the building. The proposal includes a clearly discernible cap, with charcoal-colored metal panels and heavy roof line. The ~4-ft.-high limestone base is not clearly discernible from the rest of the façade, being short relative to the height of the building and similarly lightly colored. This gives the building a monolithic appearance. We continue to recommend a warmer-colored brick or base stone for the building to provide additional contrast to the uniform “verticality” of the building and create a clearly defined horizontal base. This would also serve to soften the building’s appearance and enhance compatibility with the surrounding area and historic feel without compromising the contemporary design. The Planning Commission shall be provided with*

building materials and color samples for review and approval.

- e. *Screening shall be compatible with the architectural design of the building.*  
The plans show the parking lot and transformer screened with an existing 4-ft.-high CMU block wall along the south property line and at the southern corners, which also serves to partially screen the DDA-owned parking lot to the south. The wall is in good condition and the applicant proposes painting the wall to match the building colors; we believe the screening will be compatible with the design of the building.

#### 4. NATURAL FEATURES & LANDSCAPING

**Standards:** *The existing natural landscape shall be preserved in its natural state as much as possible, by minimizing tree and soil removal and by topographic modifications that result in maximum harmony with adjacent properties. There shall be reasonable visual and sound privacy. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the safety and privacy of occupants and users.*

Per Section 15.02, parcels located within the Downtown Center District are exempt from the requirements of Section 15.02, except for the following standards:

- a. *Trees shall be provided to enhance the building and street where determined appropriate by the Planning Commission.*
- b. *Planter boxes or other landscape features shall be incorporated where appropriate.*
- c. *Outdoor utility equipment, such as transformers, shall be screened to the greatest extent possible by fences, walls, planter boxes or landscape features.*

The site plan shows three (3) existing street trees along Flint that will be maintained. The renderings show five (5) planters along Flint St., aligned with the building's columns; these shall be required, shown on the site plan, and maintained by the property owner. Right of way landscape beds are proposed along Anderson St. that connect with existing landscape beds to create a cohesive streetscape, in addition to new curbing and repainted on-street parking to improve pedestrian access and stormwater management. We recommend an additional street tree be placed in the southernmost landscape bed; low shrubs and perennial plantings should be incorporated into the other two modified landscape beds along Anderson. Landscaping within the right of way and removal of on-street parking are subject to review and approval by Village Council via license agreement. A draft license agreement describing the improvements and providing for their continued maintenance, with an exhibit showing their precise location shall be provided for review by the Village Attorney.

The proposed transformer located on the southeast corner of the property, is shown to be screened on two sides (south and east) by the existing 4-ft. block screen wall enclosing the parking area. Boxwood shrubs are proposed for screening the transformer to the west and north, however, these are only 24 inches tall; we recommend a taller species, as typical shrub screening should be no less than 5 feet tall at planting. Further, we recommend that additional upright plantings be included between the transformer and walls to achieve maximum visual buffer.

#### 5. ACCESS & CIRCULATION

**Standards:** *All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. Streets and drives that are a part of an existing or planned street system serving adjacent developments*

shall be of an appropriate width to the volume of traffic they are planned to carry and shall have a dedicated right-of-way equal to that specified in a recognized source of reference. There shall be a pedestrian circulation system that is insulated as completely as possible from the vehicular circulation system.

- a. **Vehicular Access.** Vehicular access to the site is provided by a two-way, 22-ft.-wide driveway off Anderson Street, leading to off-street residential parking. Clear vision egress out of the site would have been obstructed by the existing 90-degree on-street parking south of the drive. The site plan proposes modifying the on-street parking with a lesser number of angled spaces (as previously recommended during initial review) as well as right-of-way landscape beds that help create a defined access point and improve visibility and access. Although the angled parking provides safer maneuverability into and out of the on-street spaces and lessens the likelihood of pedestrian conflicts, we note that the spaces now project further into the southbound Anderson St. driving lane, about 2.5 ft. more than 90-degree parking spaces would. This potentially encroaches upon the required Fire Dept. aerial access road (Anderson). Unless adequate access can be demonstrated, we recommend that the applicant convert this area back to five (5) 90-degree parking spaces, 9 ft. x 19 ft., with a landscape bed around the existing light pole and bollards. To minimize vehicle encroachment over the sidewalk, wheel stops should be provided. As noted previously, right-of-way improvements are subject to review and approval by the Village Council.

Vehicular and emergency access for the site is subject to further review and approval by the Village Engineer and Fire Marshal. We note that existing overhead wires (and, possibly, the angled on-street parking) pose an emergency access issue which will require additional site modifications. Nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners, including the DDA.

- b. **Cross Access.** There is no vehicular cross access proposed at this time and only one ingress/egress is proposed for the site along the less-trafficked Anderson Street. We do not believe that cross-access is necessary given the location, uses, and geometric constraints of the site; however, nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners.
- c. **Pedestrian Connectivity.** The existing right-of-way sidewalks along Flint and Anderson will be maintained and a 7-ft. concrete walk along the south side of the building provides access to the Anderson sidewalk and rear parking area. Pedestrian access is maintained to the parking lot and dumpster enclosure within the DDA parking lot to the south as well as to the western alleyway, which has ownership split across three (3) parcels, including one owned by the Village. The 5-ft. sidewalk along Anderson is now shown to be curbed for pedestrian safety, accessibility (14.04(B)(3)), and stormwater management. As noted in Item 5a above, the on-street parking layout requires further modification; however, curbing shall be maintained in this area connecting from the entrance drive to the existing curb at the corner of Flint and Anderson. As a matter of public welfare, curbing and sidewalk modifications do not require separate approval by the Village Council, provided these improvements are approved by the Village Engineer.

## 6. PARKING & LOADING

**Standards:** *Off-street parking, loading, and unloading areas and outside refuse storage areas, or other storage areas that face or are visible from adjacent homes, or from public thoroughfares, shall be screened by walls, fencing or landscaping of effective height.*

- a. **Parking Spaces.** Because the project is a mixed-use building, the applicant needs to provide an adequate number of off-street parking spaces per use; however, in the DC District, off-street parking is not required for office or retail uses. Therefore, only parking for multifamily residential is required at a rate of two (2) spaces per dwelling unit. With ten units, 20 spaces are required; 19 are shown on the plan, with one space dedicated for barrier-free, van-accessible parking. The Planning Commission may modify parking

requirements and we recommend their approval of this lesser amount of parking. This is based on the development's location in the downtown core, which encourages walkability and the use of other non-motorized transportation. The anticipated occupancy of a multiple family building – single adults, couples, and small families – with eight (8) two-bedroom units and two (2) one-bedroom units is lower when compared to an equivalent number of single-family homes, which carry the same 2:1 parking requirement.

- b. **Dimensions and Layout.** The 19 off-street parking spaces are entirely within the site, dimensioned at 9 ft. x 19 ft. with a 22-ft.-wide maneuvering lane, as required by the ordinance.
- c. **Loading Space.** One 10 ft. x 50 ft. off-street loading space is required (Sec. 14.05(C)) for retail space between 2,000-20,000 square feet; however, loading should not be closer than 50 ft. to a residentially zoned or used parcel. A residential use is across Anderson with the site itself being mixed-use. An existing loading space along Flint Street (approximately 9 ft x 39 ft) is proposed to be maintained. The Planning Commission may modify loading requirements and we recommend that the Commission approve this smaller on-street loading space to accommodate smaller delivery and postal trucks. It is not anticipated that future tenants will require large semi-truck deliveries; however, should the need arise, a second on-street loading space (~ 9 ft. x 30 ft.) exists to the west, in front of the alley and Hanson's and the applicant should relocate their loading space to abut the existing loading space to the west, effectively creating a shared loading space nearly 70 ft. long. Further, about 10 feet of alley width is owned by the Village and could accommodate short-term deliveries.
- d. **Trash Enclosure.** An off-site dumpster is shown in the DDA-owned parking lot to the south, with pedestrian access from the development site. Details for the enclosure walls and gates must be provided and comply with the design standards found in Section 13.21. The DDA has indicated an interest in working with the applicant to establish shared use and access agreements for the dumpster. Draft agreements must be provided for review by the Village Attorney.

## 7. BUILDING DESIGN & ARCHITECTURE

**Standards:** *Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color. Buildings should be designed with stylistic harmony and aim to serve people of all ages and abilities.*

In addition to the specific requirements of the Height Overlay District, the building must comply with the development standards of the Downtown Center District (6.03(C)); standards requiring compliance are summarized as follows:

- a. **Complementary Character.** The Village Downtown is historic, with several excellent examples of preserved and enhanced buildings. The proposed development incorporates arches, porticoes, masonry coursework, and is oriented to the street as a tribute to this character. Per previous recommendations, the Applicant has adequately updated the design of the building to add architectural interest along Anderson.
- b. **Windows.** On street-facing facades, the minimum percentage of glazing on the ground floor is 50%, with windows raised two feet from the ground; on upper stories, it is 30%, with upper story windows having a vertical orientation. The Applicant has revised the elevations, exceeding the required standards.
- c. **Canopies.** Cloth fabric canopies are encouraged, while metal canopies are discouraged. This is not prescriptive language, and we believe the proposed metal canopies are satisfactory for the building. A note shall be included on the elevations stating 7.5-foot clearance from the sidewalk.
- d. **Lighting.** Fixtures should be harmonious with the existing street lighting. The proposed sconce lighting is very sleek and relatively large; although compatible with the style of the building, we recommend more

traditional fixtures such as gooseneck or lantern-type lighting to complement the historic character of the area.

- e. **Facades.** Flat facades are prohibited. Per previous recommendations, the Applicant has revised the building’s elevations to prevent flat facades. The applicant has incorporated several high-quality architectural features, including arches, porticos, repeating window patterns, and cornices.

## 8. ENGINEERING / STORMWATER MANAGEMENT

**Standards:** *Appropriate measures shall be taken to ensure that the removal of stormwater will not adversely affect adjoining properties or the capacity of the public storm drainage system and shall comply with State and Federal standards. Provisions shall be made for the construction of stormwater facilities, and the prevention of erosion and dust. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create nuisance ponding in paved areas. Adequate services and utilities and improvements shall be available or provided, located and constructed with sufficient capacity and durability to properly serve the development. All utilities shall be located underground. Where possible and practical, drainage design shall recognize existing natural drainage patterns.*

We provide comments for additional landscaping and curbing within this report to support stormwater management for and around the site; these modifications and all stormwater and utility requirements must be verified and addressed to the satisfaction of the Village Engineer. In addition to preliminary and final site plan review, the project must undergo a detailed engineering review, prior to being reviewed and permitted by the Building Department.

## 9. LIGHTING

**Standards:** *Exterior lighting shall be so arranged so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets.*

**Findings:** Both building-mounted and freestanding pole lighting are proposed for the development; a photometric plan and fixture cut sheets have been provided. Illumination requirements are as follows:

Lighting Category	Standard	Proposed	Comments
Max. Height of Fixtures	22 ft.	15 ft.	Complies.
Max. Illumination at Any Given Point	10 fc.	7.4 fc.	Complies.
Max. Illumination at the Property Line	0.5 fc.	5.0 fc.	Can Comply: reduction and waiver required.

The Planning Commission may modify lighting requirements in considering possible off-site impacts and the character of the proposed use. We recommend that the lighting along Anderson be reduced to 1.0 fc at the street edge of the sidewalk, to minimize off-site impacts. We recommend the Planning Commission grant a waiver for the proposed illumination levels along Flint, which serves as a primary downtown corridor.

## RECOMMENDATION

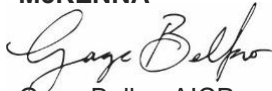
The applicant has worked to address many of the comments from the first round of reviews. Although some items remain outstanding, these can be addressed without altering the layout or function of the site. We recommend that the Planning Commission grant preliminary site plan approval for the proposed mixed-use development located at 44 E. Flint Street, subject to the following conditions:

- Easements, utilities, and preliminary engineering items shall be addressed to the satisfaction of the Village Engineer; the project will require subsequent, detailed engineering review (Item 1, 9).
- Notes shall be included regarding future compliance with relevant use standards. (Item 2)
- A lot combination shall be approved and recorded prior to construction. (Item 3)
- The fourth floor shall be stepped back 10 feet from the primary façade along Flint and Anderson. (Item 3)
- The building shall have a discernable base utilizing warm tones for contrast. (Item 3)
- Sidewalk planters, right of way landscaping, and taller shrub screening shall be installed. (Item 4)
- Five (5) on-street parking spaces along Anderson shall be maintained at 90-degrees and curbed.
- A license agreement shall be drafted for proposed right of way landscaping and on-street parking modifications, to be reviewed by the Village Attorney and approved by the Village Council. (Item 4, 5)
- Emergency access shall be addressed to the satisfaction of the Fire Marshal. (Item 5)
- 19 off-street parking spaces, including one barrier-free space shall be provided. (Item 6)
- One (1) loading zone, 9 ft. x 39 ft. shall be located adjacent to an existing on-street loading zone. (Item 6)
- A shared use and access agreement shall be drafted for the dumpster enclosure, to be reviewed by the Village Attorney, and executed by the DDA. (Item 6)
- Construction details and cross sections shall be provided for the dumpster enclosure (Item 6).
- A dimension shall be added demonstrating canopy clearance of at least 7.5 ft. (Item 8).
- Illumination levels shall be reduced to 1.0 fc along Anderson and shall not exceed 5.0 fc along Flint (Item 9)
- Traditional light fixtures shall be provided along Flint and Anderson. (Item 9).

If you have any questions, please do not hesitate to contact us. Thank you.

Respectfully submitted,

**McKENNA**



Gage Belko, AICP  
Associate Planner



Ashley E. Amey, NCI  
Assistant Planner

**CC:** **Village Manager**, Mr. Darwin McClary ([mcclaryd@lakeorion.org](mailto:mcclaryd@lakeorion.org))  
**Village Clerk**, Ms. Sonja Stout ([stouts@lakeorion.org](mailto:stouts@lakeorion.org))  
21 E. Church Street, Lake Orion, MI 48362



July 23, 2024

Planning Commission  
Village of Lake Orion  
21 E. Church St.  
Lake Orion, MI 48362

Re: 44 E. Flint Street  
Site Plan Review #2  
NFE Job No. N930

Dear Commissioners:

We have reviewed the Site Plan for the above referenced site. Our review is consistent with the requirements of Article 19 of the Zoning Ordinance, Section D – Required Information and relevant sections of the Zoning Ordinance related to the zoning district. We have the following comments:

1. We note that some but not always all of the existing utilities, easements, and key information is shown on various sheets of the site plan set. Please include all existing utilities, easements and relevant information as underlying topo on the plans when submitting for engineering review.
2. We note that no dimensions are shown between the property lines and building walls as stated in the response letter, but the lot dimensions and building plan dimensions match, resulting in a zero lot line offset along the east and west property lines. The architectural plans note that there is also a zero lot line offset from the north property line (front).
3. We recommend the site plan set clearly state the proposed changes in parking count on the adjacent DDA parking lot to the south as well as the on-street parking along Anderson. It appears that 3 spaces will be lost on Anderson and at least 2 spaces lost in the DDA lot. Please clarify.
4. Additionally, it appears that the proposed angle parking on Anderson may narrow the traveled portion of the street to less than 26' in width, which is the minimum width required by fire code for an aerial access road. Please provide dimensions and show the existing parking spaces on the east side of the street. Approval by the Fire Marshal for emergency apparatus access is required.
5. We note the Fire Marshal's first review letter indicated the existing overhead wires along Flint Street would have to be relocated for aerial apparatus. The site plans do not indicate any relocation along Flint Street.
6. Proposed storm water management consists of constructing a new manhole over the existing 36" storm sewer in Anderson Street with a new storm sewer extending to a new catch basin in the site parking lot. The site is less than one acre in size and thus does not fall under the stormwater detention requirements of Village Ordinance 23.29.
7. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Information provided indicates that the easement grantee is the Village of Lake Orion. If the Village is able to abandon these easements, the encumbrance would be eliminated.
8. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Design engineer has stated in their response that additional investigation is underway to verify whether a live sanitary service line exists in this vicinity. If so, provision must be made for continuing sanitary service access, and if the easement is no longer necessary, it must be legally abandoned.

- 9. We note that the existing landscaped island in the DDA parking lot south of this site will be replaced with the proposed trash enclosure, as shown on sheet C-3, though the existing underlying landscaping is not shown.
- 10. The proposed trash enclosure indicates a 6' masonry wall along three sides with gates in the front. Provide details and cross section.
- 11. The proposed water service line is shown connecting to a 6" water main in Flint Street. This line is abandoned. The correct connection would be to the 12" main shown on the survey.
- 12. The nearest hydrant is now shown as required, located at the SE corner of Flint and Anderson.
- 13. We note that the engineering site plans and architectural site plans are not completely consistent with one another, in particular at the southwest corner of the site where access to the trash enclosure is proposed and at the power pole on the west property line, where architectural plans call for its relocation. This pole is located offsite; any offsite work will require a temporary construction easement from the affected parcel(s).
- 14. Proposed finish floor elevations are now shown as required. We note that the westernmost door to the section with finished floor elevation 982.90 is shown with a step down into the building. At this point the preliminary grading also indicates the sidewalk sloping toward the building. At engineering submittal, we recommend sloping away from the building for proper surface drainage.
- 15. Design engineer has acknowledged that a parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.

Complete Engineering Plans meeting the requirements of Ordinance 31.26, Design and Construction Standards must be submitted for review, and no construction shall begin prior to engineering approval.

We recommend that the plan be revised and resubmitted subject to the above comments. If you have any questions, please do not hesitate to call.

Sincerely,

Nowak & Fraus Engineers

Wendy E. Spence, PE

- CC: Gage Belko, McKenna  
 Wesley Sanchez, DPW Director  
 Todd Stanfield, Lake Orion Police  
 Jeffrey Williams, Fire Marshall, Orion Township Fire Department  
 John Pender, Assistant Fire Chief  
 David Goodloe, Building Official, Orion Township  
 Sonja Stout, Clerk, Lake Orion

W:\G500-Z000 Files\N000-FILES\N930\Office\Correspondence\N930 LT-02 Site Plan review 2.docx



# Charter Township of Orion

Section 7, Item A.

3365 Gregory Rd., Lake Orion MI 48359  
www.oriontownship.org

**Fire Department**  
Phone: (248) 391-0304, ext. 2000  
Fax: (248) 309-6993

To: Darwin McClary, Village Manager  
From: Jeff Williams, Fire Marshal  
Re: 44 E. Flint – Commercial / Multi Family Development  
Date: 7/24/2024

The Orion Township Fire Department has completed its review of the application for 44 E. Flint for the limited purpose of compliance with Village of Lake Orion’s Ordinance’s, Michigan Building Code, and all applicable Fire Codes.

Based upon the application and documentation provided, the Fire Department has the following recommendation:

- Approved
- Approved with Requirements (See below)
- Not approved

Requirements:

1. Where the vertical distance between the grad plane and the highest roof surface exceeds 30 feet, an approved aerial access road measuring 26 feet shall be provided on site. This measurement shall be exclusive of shoulders and shall be located within the immediate vicinity of the building. The location of the road shall be not less than 15 feet and no greater than 30 feet from the building. It is the fire department’s recommendation that Anderson Street be modified to meet these requirements.
2. Overhead utilities and power lines shall not be located over aerial fire apparatus access road or between the aerial fire apparatus access road and the building, removal or revised overhead utility information shall be explained on the revised plans.

If there are any questions, the Fire Department may be reached at 248-391-0304 ext. 2004.

Sincerely,

*Jeffrey Williams*

Jeff Williams, Fire Marshal  
Orion Township Fire Department



Village of Lake Orion  
21 E. Church Street  
Lake Orion, Michigan 48362  
Tel 248.693.8391  
Fax 248.693.5874  
[www.lakeorion.org](http://www.lakeorion.org)

**SITE PLAN and / or SPECIAL LAND USE APPLICATION**

**PROPERTY INFORMATION**

Site Address: 44 E. Flint St.

Parcel ID # (Refer to Tax Bill): 09-02-481-008 / 09-02-481-007 Zoning District: DC-Downtown Center

**PROPERTY OWNER INFORMATION**

Name: Jeff Schmitz Address, City, Zip: 155 Romeo, Suite 300 Rochester, MI 48307

Phone #: 248-650-9850 Owner E-Mail angela.innaimo@jscapitol.com

**APPLICANT INFORMATION (If applicant is NOT property owner)**

Name: \_\_\_\_\_ Address, City, Zip: \_\_\_\_\_

Phone #: \_\_\_\_\_ Applicant E-Mail \_\_\_\_\_

Applicant is: (i.e. contractor or business owner or architect, etc.) Owner

**APPLICANT REQUEST**

Site Plan Approval: \_\_\_\_\_ Use Permitted After Special Approval: \_\_\_\_\_  
Use Type Requiring Special Approval: \_\_\_\_\_


**REQUIRED INFORMATION**

Please place your initials below to acknowledge that all applicable items are included with your application.

- JS 1) Final Site Plan. Two (2) Copies not less than 24 inches by 36 inches in size that meet the requirements of Section 19.02.D. Including, but not limited to:
  - a. Dimensioned floor plans and building elevations
  - b. Hard surface plan identifying parking areas with dimensions and number of spaces provided
  - c. General landscape and lighting plan
  - d. Location of trash receptacle and method of screening
- \_\_\_\_\_ 2) Project Narrative. A Narrative must accompany Special Land Use applications that identifies the detailed use of the property under review.
- JS 3) Property Owner Verification.
- JS 4) Digital copies of all documents. (Digital copies are used for Planning Commission review. They may be submitted via email to the Planning & Zoning Coordinator at [zoning@lakeorion.org](mailto:zoning@lakeorion.org), through Dropbox, or using an external USB drive.)
- JS 5) Village, Planning, Engineering, and Attorney fees as necessary.

**By signing below you acknowledge all of the following:**

- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application, if necessary.

Signature of Property Owner:  Date: 5/1/2024

Signature of Applicant/Contractor: \_\_\_\_\_ Date: \_\_\_\_\_

**TO BE COMPLETED BY VILLAGE STAFF:**

Date Received:

# of Hard Copies Received:

Electronic Copies Included: Y / N

Fee: Receipt #:

Anticipated Meeting Date:

---

**WARRANTY DEED**

Drafted by: Jeffery S. Schmitz, 155 Romeo Road, Rochester, MI 48307

When recorded return to: JS Capitol Equities, LLC, a Michigan limited liability company, 155 Romeo Road, Rochester, MI 48307

THE GRANTOR(s): **Sharon L. Schaar Trust u/a/d July 5, 2004**

Whose address is: 919 Loretto,, Lake Orion, MI 48362

Conveys and warrants to: **JS Capitol Equities, LLC, a Michigan limited liability company**

Whose address is: 155 Romeo Road, Rochester, MI 48307

the following described premises: **See attached Exhibit A.**

Tax Parcel No: **09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel**  
Commonly known as: **44 E. Flint Street, Lake Orion, MI 48362**

for the sum of **Two Hundred Seventy Five Thousand Dollars and No Cents (\$275,000.00)**

COUNTY Transfer Tax: \$302.50 /  
STATE Transfer Tax: \$2,062.50 /

Subject to easements, reservations and restrictions of record.

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004  
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed  
Page 2 of 3

Dated: August 24, 2018

Signed and Sealed:

Sharon L. Schaar Trust u/a/d July 5,  
2004

*Sharon L. Schaar Trustee*  
by Sharon L. Schaar, Trustee

STATE OF MICHIGAN }  
COUNTY OF Oakland } ss }

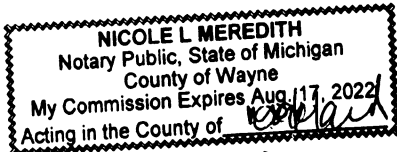
On this 24th day of August, 2018, before me personally appeared, Sharon L. Schaar Trust u/a/d July 5, 2004 by Sharon L. Schaar, Trustee, to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that he/she/they executed the same as his/h~~er~~/their free act and deed.

Notary Public: *Nicole L Meredith*

Printed Name: NICOLE L MEREDITH

Wayne County, MI

My Commission Expires: 8/17/2022



OAKLAND

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004  
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed  
Page 3 of 3

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EXHIBIT A

Land situated in the Village of Lake Orion, County of Oakland, State of Michigan, more particularly described as:

Lot 1 and Lot 2, Block 3, of "Hemingway's Plat", according to the plat thereof recorded in Liber 1, Page(s) 34 of Plats, Oakland County Records.

Subject to an easement over the South 20 feet of said Lot 1, for ingress and egress to said Lot 2.

Tax Parcel No: 09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel  
Commonly known as: 44 E. Flint Street, Lake Orion, MI 48362



L. Nicholas Treinen and Raymond W. Klein, Trustees  
KNOW ALL MEN BY THESE PRESENTS, That under Trust Agreements dated \_\_\_\_\_ of the  
Lakeside Clinic, P.C. Profit Sharing Retirement Plan dated \_\_\_\_\_ and under the Lakeside  
Clinic P.C. Pension Retirement Plan dated \_\_\_\_\_

Convey(s) and Warrant(s) to Richard A. McNeil and Betty McNeil, his wife

whose address is 44 East Flint Street, Lake Orion, Michigan 48035

the following described premises situated in the Village of Lake Orion  
County of Oakland and State of Michigan, to wit:

Lot 2, Block 3, Hemingway's Plat of the Village of Orion, now Lake Orion,  
Oakland County, Michigan, according to the Plat thereof as recorded in  
Liber 1, page 34 of Plats, Oakland County Records.

Subject to an easement for sanitary sewer purposes over the northwest corner  
of said lot to a building known as 2 South Broadway, Lake Orion, Michigan.  
Said easement to be used for maintenance of sanitary sewer line only, and  
for no other purposes.

for the full consideration of TWENTY THOUSAND AND 00/100 (\$20,000.00) DOLLARS,  
subject to easements and restrictions of record, and acts and  
omissions of parties other than the grantor, from the 1st day of  
April, A.D., 1976

Dated this \_\_\_\_\_ day of November, 1976

Witnesses:

Signed and Sealed:

Bonnie Spides  
Bonnie Spides  
Sandy L. Sotgiu  
Sandy L. Sotgiu

L. Nicholas Treinen (L.S.)  
L. Nicholas Treinen, Trustee of the Trust  
Agreements of the Lakeside Clinic P.C. Profit  
Sharing Retirement Plan and of the Lakeside  
Clinic P.C. Pension Retirement Plan (L.S.)

Raymond W. Klein (L.S.)  
Raymond W. Klein, Trustee of the Trust  
Agreements of the Lakeside Clinic P.C. Profit  
Sharing Retirement Plan and of the Lakeside  
Clinic P.C. Pension Retirement Plan (L.S.)

STATE OF MICHIGAN

COUNTY OF Oakland

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of November, 1976  
by L. Nicholas Treinen and Raymond W. Klein, Trustees of the Trust Agreements of the  
Lakeside Clinic P.C. Profit Sharing Retirement Plan and of the Lakeside Clinic P.C. Pension  
My commission expires \_\_\_\_\_

JOANNE S. GOODRICH  
Notary Public, Oakland County, Mich

Joanne S. Goodrich  
Notary Public, Oakland County, Michigan

Instrument Drafted by L. Nicholas Treinen  
My Commission Expires Feb. 22, 1978

Business Address 1420 South Lapeer Road, Lake Orion, Michigan 48035  
My Commission Expires Feb. 22, 1978

County Treasurer's Certificate

City Treasurer's Certificate

1.00  
MICHIGAN  
321156

Recording Fee 3.00  
State Transfer Tax 22.00

When recorded return to \_\_\_\_\_  
Send subsequent tax bills to \_\_\_\_\_

Tax Parcel # 09-02-431-007

ST 4694  
NOV 3 1977

Section 7, Item A.

15526472

09-02-481-007  
09-02-481-008

EASEMENT

JUL 18 95 123279

KNOW ALL MEN BY THESE PRESENTS, That Richard A. McNeil  
and Betty McNeil, his wife whose address is  
44 East Flint Street, Lake Orion, MI 48362  
party of the first part, for and in consideration of the sum of One (\$1.00)  
Dollar and 00/100 paid to  
Richard A. McNeil and Betty McNeil, his wife  
by the VILLAGE OF LAKE ORION, party of the second part, whose address  
is 37 East Flint Street, Lake Orion, Michigan 48362, do hereby grant to the  
said party of the second part, the right to move men, equipment and  
materials on and through and the right to store equipment, material and  
excavated matter on the following described PERMANENT ELECTRICAL  
EASEMENT;

SEE EXHIBIT "A"

The premises so disturbed by reason of the exercise of any of the  
foregoing powers shall be reasonably restored to its original condition by the  
party of the second part.

This instrument shall be binding upon and inure to the benefit of the  
parties hereto, their heirs, representatives, successors, and assigns and the  
covenants contained herein shall run with the land.

IN WITNESS WHEREOF, the undersigned hereunto affixed their  
signatures this 18<sup>TH</sup> day of AUGUST A.D. 19 92.

In The Presence Of:  
WITNESS

Deborah A. Wald Richard A. McNeil  
Martin A. Carlson Betty McNeil (L.S.)  
Martin A. Carlson Betty McNeil, His Wife (L.S.)  
(L.S.)

STATE OF MICHIGAN }  
COUNTY OF Oakland } SS.  
On this 18<sup>th</sup> day of August A.D. 1992,  
me, a Notary Public in and for said County, personally appeared Richard A. McNeil and Betty McNeil  
to be the person(s) described in and who executed the within instrument, who  
then acknowledged the same to be their own free act and deed.

William K. Carlson  
Notary Public, Oakland County, Michigan  
My Commission Expires 8/13/94

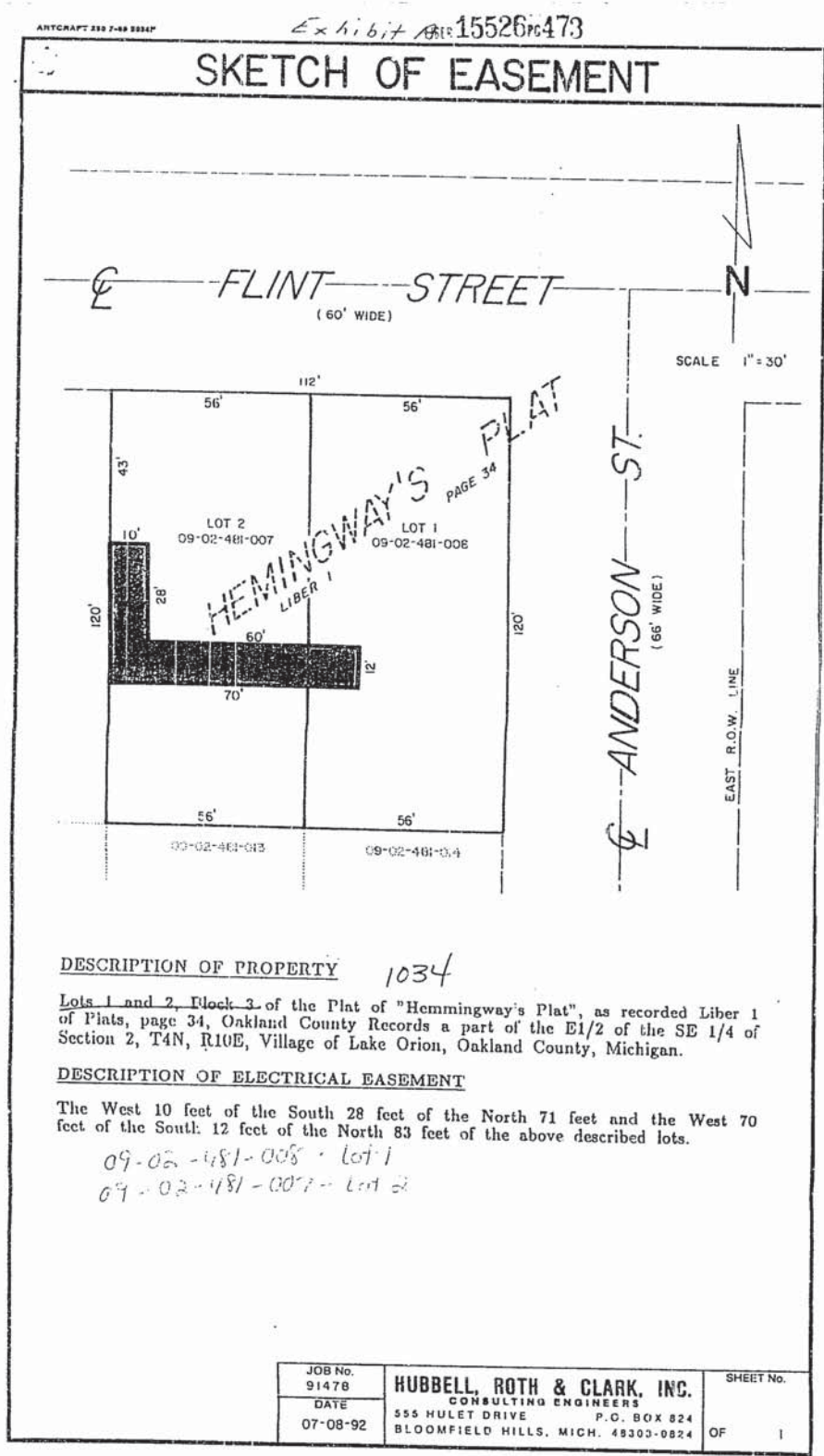
(Individuals)  
Prepared by: C. W. Hubbell  
Hubbell, Roth & Clark, Inc.  
555 Hulet Drive  
Bloomfield Hills, MI. 48013-4963

Return to:  
Village of Lake Orion  
37 East Flint Street  
Lake Orion, Michigan 48362

O.K. - J.S.

7.00  
2.00

Section 7, Item A.



Section 7, Item A.

15526pg466  
EASEMENT

09-02-481-007  
09-02-481-008  
JUL 18 35 128276

KNOW ALL MEN BY THESE PRESENTS, That Richard A. McNeil  
and Betty McNeil, his wife whose address is  
44 East Flint Street, Lake Orion, MI 48362  
party of the first part, for and in consideration of the sum of Five Dollars  
and no/100 (1/100) paid to  
Richard A. McNeil and Betty McNeil, his wife  
by the VILLAGE OF LAKE ORION, party of the second part, whose address  
is 37 East Flint Street, Lake Orion, Michigan 48362, do hereby grant to the  
said party of the second part, the right to move men, equipment and  
materials on and through and the right to store equipment, material and  
excavated matter on the following described PERMANENT ELECTRICAL  
EASEMENT;

SEE EXHIBIT "A"

The premises so disturbed by reason of the exercise of any of the  
foregoing powers shall be reasonably restored to its original condition by the  
party of the second part.

This instrument shall be binding upon and inure to the benefit of the  
parties hereto, their heirs, representatives, successors, and assigns and the  
covenants contained herein shall run with the land.

IN WITNESS WHEREOF, the undersigned hereunto affixed their  
signatures this 18th day of October A.D. 19 93.

In The Presence Of:  
WITNESS

Jane Depitt  
Jane Depitt  
Mary H. Simmons  
Mary H. Simmons

Richard A. McNeil (L.S.)  
Betty McNeil (L.S.)  
Betty McNeil, His Wife (L.S.)  
(L.S.)

STATE OF MICHIGAN }  
COUNTY OF Oakland } SS.

\$ 9.00 MISCELLANEOUS RECORDING  
\$ 2.00 REINDEXING  
18 JUL 95 3:55 P.M. RECEIVED 604  
1400 RECORDED - OAKLAND COUNTY  
MICH. ALLEN SUPERVISOR OF DEETS

On this 18th day of October, A.D. 19 93, before  
me, a Notary Public in and for said County, personally appeared Richard A.  
McNeil and Betty McNeil to me known,  
to be the person(s) described in and who executed the within instrument, who  
then acknowledged the same to be their own free act and deed.

MARY H. SIMMONS  
NOTARY PUBLIC, OAKLAND COUNTY, MICH.  
MY COMMISSION EXPIRES 05-20-96

Mary H. Simmons  
Notary Public, Oakland County, Michigan  
My Commission Expires 5-20-96

(Individuals)

Prepared by: C. W. Hubbell  
Hubbell, Roth & Clark, Inc.  
555 Hulet Drive  
Bloomfield Hills, MI. 48013-4963

Return to:  
Village of Lake Orion  
37 East Flint Street  
Lake Orion, Michigan 48362

*JHD*  
*2/10*

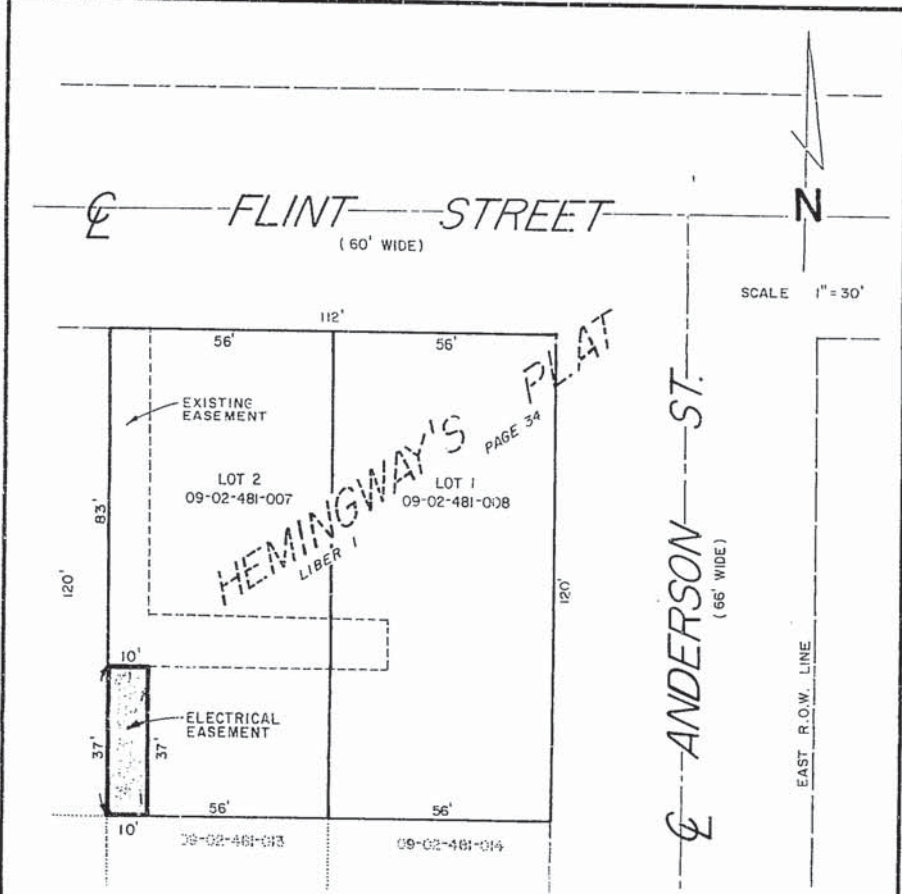
O.K. - J.S.

Section 7, Item A.

LIBER 15526pc467

AKTCRAFT 280 7-88 2884P

# SKETCH OF EASEMENT



### DESCRIPTION OF PROPERTY

Lots 1 and 2, Block 3 of the Plat of <sup>Hemmingway's</sup> (Hemmingway's) Plat", as recorded Liber 1 of Plats, page 34, Oakland County Records a part of the E1/2 of the SE 1/4 of Section 2, T4N, R10E, Village of Lake Orion, Oakland County, Michigan.

### DESCRIPTION OF ELECTRICAL EASEMENT

1034

The West 10 feet of the South 37 feet of Lot 2 of the above described property.

07-02-481-008 - Lot 1

07-02-481-007 - Lot 2

JOB No. 93043	<b>HUBBELL, ROTH &amp; CLARK, INC.</b> CONSULTING ENGINEERS 555 HULET DRIVE P.O. BOX 824 BLOOMFIELD HILLS, MICH. 48303-0824	SHEET No.
DATE 09-23-93		OF 1

16337

LIBER 4245 PAGE 446  
WARRANTY DEED  
STATUTORY FORM

61 57005

4-10  
2

KNOW ALL MEN BY THESE PRESENTS: That I, Robert J. Ingram, survivor of John J. and Allen L. Ingram, her deceased husband, whose death certificate is attached hereto,

Convey and Warrant to Robert J. DeBell and Grace L. DeBell, his wife,

whose Street Number and Postoffice address is 474 Park Island Rd., Lake Orion, Michigan the following described premises situated in the Village of Park Orion County of Oakland and State of Michigan, to-wit:

Lot 1, Block 2, Laming and Plat of Village of Orion, Oakland County, Michigan, as shown on the plat thereof as recorded in Book 1 of plats, page 24, Oakland County records, said plat is located on the West Side of Section 2, Town 4 North, Range 10 East, 3rd Meridian, Michigan



together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining for the sum of \$1.00 One Dollar(s)

Other valuable considerations:

subject to (1) easements and building restrictions of record; and (2) any and all claims or liens in force for tax have accrued since March 15, 1954, that are the duty of the certain land contract insurance at which time the same is given.

Dated this 7th day of November A.D. 1961

Signed, Sealed and Delivered in Presence of:

Signed and Sealed:

Philip S. Jachert  
Philip S. Jachert

Robert J. Ingram (L.S.)

Harold V. Ingram  
Harold V. Ingram

(L.S.)

STATE OF MICHIGAN  
County of OAKLAND

On this 7th day of November A.D. 1961 before me personally appeared Robert J. DeBell and Grace L. DeBell

to me known to be the person described in and who executed the foregoing instrument and acknowledged that executed the same as their free act and deed.

Philip S. Jachert  
Philip S. Jachert

My Commission expires 1st day of January, A.D. 1963 Notary Public, State of Michigan

PRINT, TYPEWRITE OR STAMP names of persons executing this instrument; also names of the Witnesses and Notary Public immediately underneath such names.

County Treasurer's Certificate

City Treasurer's Certificate

When recorded return to:

Mr. & Mrs. Robert J. DeBell  
474 Park Island Rd., Lake Orion, Mich.

Nov: \$16.50  
225

BURTON ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1886

MAKE YOUR HEAL ESTATE TRANSFERS SAFE BY USING BURTON TITLE INSURANCE

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This is a certified  
copy of the original  
State File No.

**CERTIFICATE OF DEATH**  
MICHIGAN DEPARTMENT OF HEALTH  
Bureau of Records and Statistics

SOCIAL SECURITY NO. NONE  
If veteran, name war None  
LIBER 4245 PAGE 447

FULL NAME Allen LeRoy Griggs Local File No. 2

PLACE OF DEATH Oakland (Usual Residence of Decedent)  
County Oakland State MI County Oakland

Township Lake Orion Township Lake Orion  
City or village Lake Orion City or village Lake Orion  
Street No. 202 E. Flint St. Street No. 202 E. Flint St.  
Name of hospital (If not in hospital, give street address.)  
Length of stay: In hospital 0 In this community 32 Yrs If you name country None

Sex Male Color or Race White Single, Married, Widowed or Divorced Married

NAME OF HUSBAND or WIFE  
Name Label G. Griggs Age, if alive 58  
Birth date of deceased May 31, 1884 19  
Age: Years 59 Months 7 Days 14 If less than one day hrs. min.

Birthplace Peck, Michigan Immediate cause of death Coronary Occlusion  
Usual occupation Druggist Pulmonary Edema  
Industry or business Drug Store Angina Pectoris

Next of Kin (Name, Birthplace, Maiden name, Birthplace)  
George A. Griggs Peck, Michigan  
Martha McCauley Ontario, Canada

Informant Mrs. Allen Griggs  
Address 202 E. Flint St.

(Burial) cremation or removal (Circle the word which applies)  
Place Oakland Twp. (Oakland County)  
Country East Lawn Date Feb. 17, 44

Funeral Director's signature Voorhees-Dunlopson  
Address Pontiac, Michigan  
Filed Feb. 16, 1944 M. Letts Local Registrar

MEDICAL CERTIFICATION  
Date of death Feb. 14th 19 44  
I hereby certify that I attended the decedent from Oakland  
is 43 to Feb. 14 19 44 I last saw him alive on  
19      Death is said to have occurred on Ca  
date stated above at 5:15 P.M. Duration  
Immediate cause of death Coronary Occlusion  
Pulmonary Edema  
Angina Pectoris

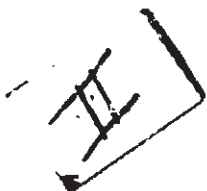
Other contributory causes of importance  
Arterial Sclerosis

Major findings and date:  
Of operations None  
Of autopsy None

In case of violence, state if accidental, homicide or suicide  
Date      19     

Where did injury occur? (Specify city, county, or state)  
In industry, home or public place?  
Was disease or injury related to occupation of decedent? NO  
Signature C. J. Hathaway M.D.  
Address Lake Orion

MARGIN RESERVED FOR BINDING  
WRITE PLAINLY WITH UNFADING INK - THIS IS A PERMANENT RECORD



4-19  
21

LIBER 4350 PAGE 695

62 51724

QUIT CLAIM DEED  
STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That Grace M. McNeil, a married woman,

Quit Claim to Richard A. McNeil, a married man,

whose Street Number and Postoffice address is 44 E. Flint Street, Lake Orion, Michigan,

the following described premises situated in the Village of Orion County of Oakland and State of Michigan, to-wit:

Lot 1, Block 3 of Hemingway's Plat of Village of Orion (now Lake Orion), Oakland County, Michigan, according to the Plat thereof as recorded in Liber 1 of Plats, Page 34, Oakland County Records, said plat is located on the east 1/2 of the southeast 1/4 of Section 2, Town 4 north, Range 10 east, Orion Township, Michigan.

Subject to an easement over the south twenty feet (20 ft.) to afford ingress and egress to Lot 2, Block 3 of Hemingway's Plat.

(This deed is given in pursuance of a certain property settlement agreement between Grace Marie McNeil, plaintiff, vs. Richard Allan McNeil, defendant, being case No. B-52893, in the Circuit Court for the County of Oakland, In Chancery).

together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining for the sum of - - - - - One Dollar (\$) and other valuable considerations;

Dated this 27th day of July, A.D. 1962.

Signed, Sealed and Delivered in Presence of:

Signed and Sealed:

*Lawrence J. Poloney*  
Lawrence J. Poloney  
*Gloria M. Parmenter*  
Gloria M. Parmenter

*Grace M. McNeil*  
Grace M. McNeil (L.S.)

OAKLAND COUNTY REGISTER OF DEEDS RECORDS  
192 SEP 23 PM 1 50

STATE OF MICHIGAN  
County of Oakland

On this 27th day of July, A.D. 1962 before me personally appears Grace M. McNeil, a married woman,

to me known to be the person described in and who executed the foregoing instrument and acknowledged that she executed the same as her free act and deed.

My Commission expires 3-2- A.D. 1968  
*Lawrence J. Poloney*  
Notary Public, Oakland County, Michigan

\*PRINT, TYPEWRITE OR STAMP names of persons executing this instrument; also names of the Witnesses and Notary Public immediately under each signature. See Act 103, P. A. 1937.

When recorded return to:  
Grantee herein.

SEP 26 1962

LIBER 4350 PAGE 695

MAKE YOUR REAL ESTATE TRANSACTIONS SAFE BY USING BURTON TITLE INSURANCE

BURTON ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1806

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LIBER 4350 PAGE 696

62 51725

QUIT CLAIM DEED  
STATUTORY FORM

KNOW ALL MEN BY THESE PRESENTS: That Richard A. McNeil, a married man

Quit Claim to Richard A. McNeil and Betty Jane McNeil, his wife,

whose Street Number and Postoffice address is 44 East Flint St., Lake Orion, Michigan

the following described premises situated in the Village of Lake Orion County of Oakland and State of Michigan, to-wit:

Lot 1, Block 3 of Hemingway's Plat of Village of Orion (now Lake Orion), Oakland County, Michigan, according to the Plat thereof as recorded in Liber 1 of Plats, Page 34, Oakland County Records, said plat is located on the east 1/2 of the southeast 1/4 of Section 2, Town 4 North, Range 10 East, Orion Township, Michigan.

Subject to an easement over the south twenty feet (20 ft.) to afford ingress and egress to Lot 2, Block 3 of Hemingway's Plat.

BURTON ABSTRACT AND TITLE COMPANY HAS OPERATED CONTINUOUSLY SINCE 1888

MAKE YOUR REAL ESTATE TRANSFERS SAFE BY USING BURTON TITLE INSURANCE

SEP 26 1962

LIBER 4350 PAGE 696

together with all and singular the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, for the sum of One Dollar (\$) and other valuable considerations;

Dated this 26th day of September A.D. 19 62

Signed, Sealed and Delivered in Presence of:

Signed and Sealed:

Philip S. Tschirhart  
Philip S. Tschirhart

Richard A. McNeil (L.S.)

Betty J. Ford  
Betty J. Ford

(L.S.)

(L.S.)

(L.S.)

RECORDED  
OAKLAND COUNTY REGISTER OF DEEDS RECORDS  
SEP 27 1962

STATE OF MICHIGAN  
County of Oakland

On this 26th day of September A.D. 19 62 before me personally appeared Richard A. McNeil, a married man,

to me known to be the person described in and who executed the foregoing instrument, acknowledged that he executed the same as his free act and deed.

My Commission expires March 9, A.D. 19 63 Notary Public, Oakland County, Michigan

\*PRINT, TYPEWRITE OR STAMP names of person executing this instrument, also names of the Witness and Notary Public immediately underneath such signatures. See Act 103, P. 1, 1937.

When recorded return to:  
Grantees

160  
S. Rev.

July 15, 2024

Carol P. Thurber, PE, CFM  
Nowak & Fraus Engineers  
48680 Van Dyke, Suite 200  
Shelby Township, MI 48317

**RE: Site Plan Review  
Proposed Mixed-Use Building  
Parcel ID: 0902481008  
44 East Flint Street  
Village of Lake Orion, Oakland County, Michigan**

Carol,

Our office is submitting documents on behalf of the Applicant to address the outstanding conditions of the Board's Resolution including comments contained within the latest Site Plan review letter. Please find the following items enclosed:

ITEM DESCRIPTION	DATED	COPIES	PREPARED BY
Site Development Plans	07-15-2024	1	Stonefield Engineering & Design
Record of Easements		1	

**The following is an itemized response to the comments contained within the NF Engineers Site Plan Review Letter dated May 22, 2024. For the sake of brevity, any comments that are statements of fact or have been previously addressed are not included in the response below:**

1. The Site plan must be prepared superimposed on the topographic information, indicating the property lines (with bearings and distances), all existing easements, and all existing and proposed utilities.

**The site plan has been superimposed onto a survey of the site. The property lines, bearings and distances, and existing easements are indicated on Sheet C-2 of the Site Development Plans. The existing and proposed utilities are indicated on Sheet C-5 of the Site Development Plans.**

2. No scale is indicated on the Site Plan title block.

**A scale has been provided on all sheets of the Site Development Plans.**

3. Show proposed dimensions between building wall and property lines. A temporary construction easement may be required from adjacent private property owner.

**Dimensions between the building walls and property lines have been provided. Please refer to Sheet C-3 of the Site Development Plans.**

4. If the building wall is placed on the east property line, the existing parking blocks in Anderson Street must be relocated eastward to act as wheel stops and prevent vehicles from overhanging the existing 4' wide sidewalk.

**The existing wheel stops have been removed and new concrete curb has been proposed along the existing eastern sidewalk. The curb accommodates new angled parking spaces which are intended to prevent vehicle overhang along the existing sidewalk. Please refer to Sheet C-3 of the Site Development Plans.**

5. Parcel 09-02-481-007 is incorrectly labeled as -008.

**The parcel ID has been updated to show the correct label. Please refer to Sheet C-2 of the Site Development Plans.**

6. The proposed pavement material for the parking area must be indicated on the Site Plan.

**The proposed pavement material has been indicated on the site plan. Please refer to Sheet C-3 of the Site Development Plans.**

7. No storm water management is indicated on the site plan. No surface area from a parking area shall be permitted to drain on to adjoining property or across a public sidewalk.

**Storm water management has been proposed. Please refer to Sheet C-4 of the Site Development Plans.**

8. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Provide information regarding the easement that permits the construction of a building within the easement.

**The developer has been in coordination with the Village to abandon / reroute this easement as necessary. Please refer to the Record of Easements document provided.**

9. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Provide information regarding the easement that permits the construction of a building within the easement.

**Additional investigation is underway to determine if there is a sewer lateral that conflicts with the building footprint. Should there be, the developer will work with the respective property owner to relocate as necessary.**

10. The proposed transformer, curbing and concrete pad are indicated over the Ingress / Egress easement (L 4350, P. 596).

**With the merging of the titles for both properties, the need for the existing ingress / egress easement would be eliminated and could therefore be terminated. Please refer to the Record of Easements document provided.**

11. A six foot tall masonry screen wall is proposed at the south end of the west property line, with just a pedestrian opening to maintain access to the raised porch area of the existing building to the west. A wall on the property line would create a space approximately 1 foot wide and three feet deep between the existing porch and the new screen wall, which we do not recommend for safety and maintenance.

**The previously proposed 6 FT tall masonry screen wall is no longer being proposed. Please refer to Sheet C-3 of the Site Development Plans.**

12. No Landscape plan is provided. It appears that at least one tree will be removed for the construction of the building.

**A landscape plan has been proposed. Please refer to Sheet C-6 of the Site Development Plans.**

13. Provide a pavement cross section for the proposed pavements.

**A pavement cross section detail has been provided. Please refer to Sheet C-7 of the Site Development Plans.**

14. Indicate proposed site utilities, including proposed sanitary sewer lead, water service and fire protection.

**All proposed site utilities are indicated. Please refer to Sheet C-5 of the Site Development Plans.**

15. It must be demonstrated that adequate fire hydrant protection can be provided for the proposed building. Show nearest hydrants.

**A fire department connection has been provided on the building and the dimension to the nearest fire hydrant is shown. Please refer to Sheet C-5 of the Site Development Plans.**

16. Expand topographic survey to show features to 100' beyond the site boundary per Article 19 requirements. Show existing screen wall along east property line. Show zoning of adjacent parcels, including across rights-of-way.

**The topographic survey has been updated to show features 100 FT beyond the property lines. Please refer to Sheet C-2 of the Site Development Plans. The existing screen wall is shown on the site plan. Please refer to Sheet C-3 of the Site Development Plans. The zoning of adjacent parcels has been shown on both the cover sheet and on the existing conditions survey of the area. Please refer to Sheets C-1 and C-2 respectively of the Site Development Plans.**

17. No method or location for trash removal is indicated on the site plan.

**A trash enclosure has been proposed off-site near the southwest corner of the site parcel. Proper coordination with the adjacent property owner will be conducted prior to construction. Please refer to Sheet C-3 of the Site Development Plans.**

18. The presence or absence of wetlands and / or 100-year floodplain must be noted on the Site Plan.

**The site is not located within wetlands or the 100-year floodplain. Please refer to Sheet C-1 of the Site Development Plans for an overall location map and a note confirming such.**

19. A proposed finish floor elevation of the building is not indicated on the plan. An elevation change of approximately 1 foot occurs across the frontage of the building. Slopes to the sidewalk must meet ADA requirements.

**Finish floor elevations have been provided along with a preliminary grading plan. ADA requirements are met where necessary. Please refer to Sheet C-4 of the Site Development Plans.**

20. We recommend that the proposed sidewalk adjacent to the parking be at least 7 foot in width to accommodate car overhang.

**The proposed sidewalk adjacent to the parking spaces on site is 7 FT wide. Please refer to Sheet C-3 of the Site Development Plans.**

21. A parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.

**Noted.**

---

Should you have any questions regarding the submission items or responses above please do not hesitate to contact our office.

Regards,



Eric Williams, PE  
ewilliams@stonefieldeng.com  
**Stonefield Engineering and Design, LLC**

Joe Delmotte  
jdelmotte@stonefieldeng.com  
**Stonefield Engineering and Design, LLC**

V:\DET\2024\DET-240125 JS Capital - 44 East Flint Street, Lake Orion, MI\Correspondence\Outgoing\Municipal\2024-07-09\_Municipal Response Letter.docx

06.26.2024 **07.08.2024 (AMENDED)**

Planning Commission  
Village of Lake Orion  
21 E. Church Street  
Lake Orion, MI 48362

Re: VLO-24-02 – 44 E. Flint, Site Plan Review #1

Thank you for your review of the 44 E. Flint project. This letter is to address the following review comments below.

**Site Plan Review**

**Use & Harmonious Design**

- A. The applicant must note that goods produced on-site will primarily be sold on the premises. Further, tenants that serve liquor (bars, restaurants) must go through the special land use approval process prior to the establishment of such uses (s) (Sec. 6.02 (B) (6)).
  - a. The first and second floor tenants are not known at this time but, they will comply with this section of the zoning ordinance.
  
- B. The applicant must note that all business, servicing, and processing will be conducted indoors.
  - a. The first and second floor tenants are not known at this time but, they will comply with this section of the zoning ordinance.
  
- C. The applicant must note that the storage of commodities will be indoors and screened from the view of Flint and Anderson Streets.
  - a. The first and second floor tenants are not known at this time but, they will comply with this section of the zoning ordinance.

**Dimensional Standards**

The project generally complies with the dimensional standards of the DC and Height Overlay Districts; all comments below are subject to an approved lot combination being completed prior to final approval.

- A. The fourth-floor walls fronting Flint Street are shown to be stepped back 7 feet from the front building line: this must be increased to meet this standard and repeated along Anderson Street.
  - a. The 4<sup>th</sup> Floor walls (and stacking walls on floors 2 & 3) are setback 8'-3 5/8" from East Flint Street and ~~7'-3 5/8" from Anderson Street~~. Due to the design of the building and using best construction practices, stacking the walls from floor 2-4 is the best option for the building. We stepped the walls back to allow for a functional patio space on all floors and feel that the intent of the ordinance is being met. **There is no fourth floor setback from Anderson St.**

- B. The sides facing Anderson Street and the alley (adjacent to Hanson's) shall have the same level of articulation as the Flint-facing side to meet this standard.
  - a. We have added the same level of design to the Anderson Street elevation to match the front (East Flint) elevation. The alley side of the property will be built with a near 0' setback. Per the MBC we are not allowed to add windows on this façade. We did include some articulation in the brick façade to create a similar rhythm and enhance this elevation. The rear façade was also revised to create a simple vertical pattern with the parking space openings on the first floor and the windows on the upper floors.
  
- C. The ~4-ft. -high limestone base is not clearly discernible from the rest of the façade, being short relative to the height of the building and similarly lightly colored. We recommend a warmer, naturally colored primary masonry brick for the building to provide additional contrast with the limestone base. This would serve to soften the building's appearance and enhance compatibility with the surrounding area and historic feel without compromising the contemporary design.
  - a. We disagree and feel that the smooth limestone base with similarly colored brick above creates a subtle material change that is both pleasing to the eye and enhances the building design with this visual break.
  
- D. The applicant must provide a note and cross-section indicating the screening wall material will match the building.
  - a. ~~The screen wall detail will be on the SPA set of drawings and the exterior finish will match the masonry on the building.~~  
**(AMENDED) No new masonry screen walls are proposed for this development. See response to Engineering comment #11.**

#### Natural Features & Landscaping

- A. The site plan depicts renderings with landscape planters and street trees along Flint; a general landscape plan is required to identify these elements. The three existing street trees must be protected or replaced if removed. It is recommended that additional right of way landscaping be provided at the vehicle entrance to the site, just south of the five on-street parking spaces, within a curbed landscape bed to assist with stormwater management, protect the existing pole (remove bollards), and enhance the area with additional foliage and screening of the building and parking. As discussed further below, it is also recommended that the applicant replace the two southern on-street parking spaces with additional landscaping, including one street tree, to permit clear vision while exiting the site and creating a defined, enhanced driveway – two additional off-street parking spaces are proposed along Flint Street as part of this project.
  - a. We have added the landscaping and curb to the north section of the curb cut and eliminated parking on the south curb cut area while replacing it with landscaping. All final landscaping design will be submitted with the SPA set of drawings.
  
- B. ROW landscaping and on-street parking removal are subject to review and approval by Village Council.
  - a. Noted. At the direction of this letter, we are removing 3 existing perpendicular (not functional) parking spaces on Anderson Street, converting the remaining 4 parking spaces on Anderson Street to angled spaces, and adding 2 additional parallel spaces on East Flint Street. All on-street parking and ROW landscaping will be presented to the Village Council for review and approval.

- C. This screening wall must match the primary building material. Further, the transformer must be screened to the north, where it is visible from Anderson Street.
  - a. ~~All screen wall exterior finishes will match the building masonry. We disagree and think that the transformer should be open on the north side so it can be properly serviced.~~  
**(AMENDED) No new masonry screen walls are proposed.**

### Access & Circulation

- A. Vehicular Access - Vehicular access to the site is provided by a two-way, 22-ft-wide driveway off Anderson Street, leading to off-street residential parking. Clear vision egress will be obstructed by the on-street parking to the south; it is recommended that these two parking spaces be replaced with a curbed right of way landscape bed, with an additional street tree, to create a defined access point, promote clear vision, assist with stormwater management, and enhance the area. Two additional on-street parking spaces are provided along Flint Street as part of this project. ROW landscaping and on-street parking modifications (reductions) are subject to review and approval by the Village Council.
  - a. **We agree and have removed the 2 parking spaces south of the Anderson Street curb cut.**
- B. Vehicular and emergency access for the site is subject to further review and approval by the Village Engineer and Fire Marshal. Nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners, including the DDA.
  - a. **Noted. Please note that the building will be suppressed with a NFPA 13/13R sprinkler system as required per code.**
- C. Pedestrian Connectivity - The sidewalk along Anderson must be dimensioned be dimensioned; this sidewalk shall be curbed at the street for pedestrian safety, accessibility (14.14 (B) (3)), and stormwater management, and, if necessary, widened to a minimum of 7 ft. to limit vehicle encroachment. Curbing should be cohesive with any additional right of way landscape beds, as previously discussed. As a matter of public welfare, curbing and sidewalk modifications do not require separate approval by the Village Council, provided these improvements are approved by the Village Engineer.
  - a. **The angled spaces on Anderson Street should provide some relief to the existing condition of on street parking encroaching into eh 5' sidewalk that is located in the City ROW. All ROW parking will be presented to the Village Council and Engineering Department for review and approval.**
- D. Parking & Loading - Dimensions and Layout : The 20 off-street parking spaces are entirely within the site, dimensioned at 9 ft. X 19 ft. with a 22-ft-wide maneuvering lane; a scale must be provided to verify all site plan dimensions. As proposed, passenger parking is tight, particularly for the two west-most parking spaces, which run a high risk of conflict with the alley wall, building columns, and/or parked vehicles. Although the required off-street parking is shown, we recommend that the Planning Commission grant a waiver for a reduction of up to 5 spaces, effectively requiring 1.5 spaces per dwelling unit. In doing so, additional maneuvering (and landscaping) space would be afforded; this may also free up space for an alternative trash enclosure location as discussed. Further, as mentioned, nothing shall preclude the applicant from pursuing cross access opportunities with neighboring parcel owners.

- a. The parking lot has been revised and now contains 19 parking spaces. Access to the southern (city owned) parking lot and west (neighboring alley) parcels has been maintained while also maximizing the parking on site.
  
- E. Loading Space - One 10 ft X 50 ft loading space is required (Sec 14.05 (C)) for retail space between 2,000-20,000 square feet; however, loading should not be closer than 50 ft. to a residentially zoned or used parcel. With a residential use across Anderson and the site itself being mixed-use residential, we recommend the loading requirements be waived or lessened (i.e., 10 ft X 25 ft. ) by the Planning Commission; otherwise, this must be shown on a revised plan.
  - a. ~~No loading space is being proposed.~~  
**(AMENDED) No onsite loading space is designated due to safety concerns, however, an existing striped section within the Flint St. ROW is to remain & can be utilized as a loading space for this development.**
  
- F. Trash Enclosure - A dumpster is not shown on the site plan. The DDA owns the parking lot to the south and has indicated an interest in working with the applicant to establish shared dumpster use and access within its lot. It is encouraged that these discussions continue; the potential location of the shared dumpster (and screening) must be shown on the plan and a signed shared access and use agreement shall be executed prior to final approval. Alternative trash enclosure design shall be prepared in the event a shared dumpster cannot be achieved.
  - a. A plan has been prepared for the southern parking lot to contain multiple dumpsters. This will be presented to the Village Council for review.

### Building Design & Architecture

- A. Complementary Character - The Village Downtown is historic, with several excellent examples of preserved and enhanced buildings. The proposed development incorporates arches, porticoes, masonry coursework, and is oriented to the street as a tribute to this character. These elements should be repeated on all publicly visible facades. The massing and height of the building requires that additional complementary details be considered. We recommend incorporating warm-toned brick wherever possible, horizontal banding, and distinctive quoins on all corners.
  - a. As mentioned above, we have altered the East, South and West facades to create a cohesive building design.
  
- B. Windows - On street-facing facades, the minimum percentage of glazing on the ground floor is 50%, with windows raised two feet from the ground; on upper stories, it is 30%, with upper story windows having a vertical orientation. The Flint-facing façade comes slightly below the required standards, requiring ground floor windows to be raised and slightly more glazing. We believe vertical orientation is achieved with archways and mullions.
  - a. ~~The Flint Street façade has not changed since the original submittal.~~  
**(AMENDED) Refer to updated glazing calculations on Sheet A.200 for compliance.**
  
- C. The Anderson-facing façade requires additional glazing, primarily on the ground floor. Distinctive mullions, archways, and window framing/coursework should be incorporated to bring depth to this façade.
  - a. The Anderson Street façade has been revised and glazing calculations have been updated accordingly.

- D. Canopies - Cloth fabric canopies are encouraged, while metal canopies are discouraged. This is not prescriptive language, and we believe the proposed metal canopies are satisfactory for the building. These shall provide 7.5-ft. clearance from the sidewalk.
  - a. **Noted**
  
- E. Lighting - Fixtures should be harmonious with the existing street lighting. The proposed sconce lighting is very sleek and relatively large; we recommend more traditional fixtures such as gooseneck or lantern-type lighting to complement the historic character of the area.
  - a. **We feel that the proposed light fixture fits the building aesthetic and will also seamlessly blend in with the downtown.**
  
- F. Facades - Flat facades are prohibited. Architectural detailing on the Flint-facing façade must be incorporated on the Anderson-facing and alley-facing facades; the archways, reliefs, and patterns, should be replicated on public-facing corners. Currently, the alley-facing façade is entirely blank; windows should be incorporated wherever possible. Where windows are not possible or practical, modulation of the brick through reliefs and patterns must be included.
  - a. **As mentioned above, the East, South, and West facades have been updated to create a cohesive building design.**

**Engineering / Stormwater Management**

- A. We provide comments for additional landscaping and curbing within this report to support stormwater management for and around the site; these modifications and all stormwater and utility requirements must be verified and addressed to the satisfaction of the Village Engineer. In addition to preliminary site plan review, the project must undergo final site plan review, including a detailed engineering review, prior to being reviewed and permitted by the Building Department.
  - a. **Noted**

**Lighting**

- A. Max. Height of Fixtures: Unknown  
May Comply: Mounting height not specified
  - a. **Mounting heights will be noted on the SPA documents**
  
- B. Max. Illumination at the Prop Line: 0.8 fc  
Can Comply: Reduction and waiver required
  - a. **Alternate fixtures will be researched to reduce/eliminate light pollution on adjacent properties.**
  
- C. The Planning Commission may modify lighting requirements in considering possible off-site impacts and the character of the proposed use. We recommend that the lighting along Anderson be reduced, to minimize off-site impacts. We recommend the Planning Commission grant a waiver for proposed illumination along Flint.
  - a. **Noted**

**NFE Job No. N930, 44 E. Flint, Site Plan Review #1**

**Engineering Comments**

1. The Site plan must be prepared superimposed on the topographic information, indicating the property lines (with bearings and distances), all existing easements, and all existing and proposed utilities.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
2. No scale is indicated on the Site Plan title block.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
3. Show proposed dimensions between building wall and property lines. A temporary construction easement may be required from adjacent private property line.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
4. If the building wall is placed on the east property line, the existing parking blocks in Anderson Street must be relocated eastward to act as wheel stops and prevent vehicles from overhanging the existing 4' wide sidewalk.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
5. Parcel 09-02-481-007 is incorrectly labeled as -008.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
6. The proposed pavement material for the parking area must be indicated on the Site Plan.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
7. No storm water management is indicated on the site plan. No surface area from a parking area shall be permitted to drain on to adjoining property or across a public sidewalk.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
8. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Provide information regarding the easement that permits the construction of a building within the easement.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
9. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Provide information regarding the easement that permits the construction of a building within the easement.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
10. The proposed transformer, curbing and concrete pad are indicated over the Ingress/ Egress easement (L 4350, P. 596).
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**

11. A six foot tall masonry screen wall is proposed at the south end of the west property line, with just a pedestrian opening to maintain access to the raised porch area of the existing building to the west. A wall on the property line would create a space approximately 1 foot wide and three feet deep between the existing porch and the new screen wall, which we do not recommend for safety and maintenance.
  - ~~a. Civil Engineered drawings will be submitted with the SPA set of documents.~~  
**(AMENDED) No new screen walls are proposed. The existing 4' high masonry screen walls are to remain & be painted to match the building color. Refer to arch site plan on C.100.**
12. No Landscape plan is provided. It appears that at least one tree will be removed for the construction of the building.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
13. Provide a pavement cross section for the proposed pavements.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
14. Indicate proposed site utilities, including proposed sanitary sewer lead, water service and fire protection.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
15. It must be demonstrated that adequate fire hydrant protection can be provided for the proposed building. Show nearest hydrants.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
16. Expand topographic survey to show features to 100' beyond the site boundary per Article 19 requirements. Show existing screen wall along east property line. Show zoning of adjacent parcels, including across rights-of-way.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
17. No method or location for trash removal is indicated on the site plan.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
18. The presence or absence of wetlands and/ or 100-year floodplan must be noted on the Site Plan.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
19. A proposed finish floor elevation of the building is not indicated on the plan. An elevation change of approximately 1 foot occurs across the frontage of the building. Slopes to the sidewalk must meet ADA requirements.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
20. We recommend that the proposed sidewalk adjacent to the parking be at least 7 foot in width to accommodate car overhang.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.
21. A parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.
  - a. Civil Engineered drawings will be submitted with the SPA set of documents.

Orion Township Fire Department Review

Fire Marshal Comments

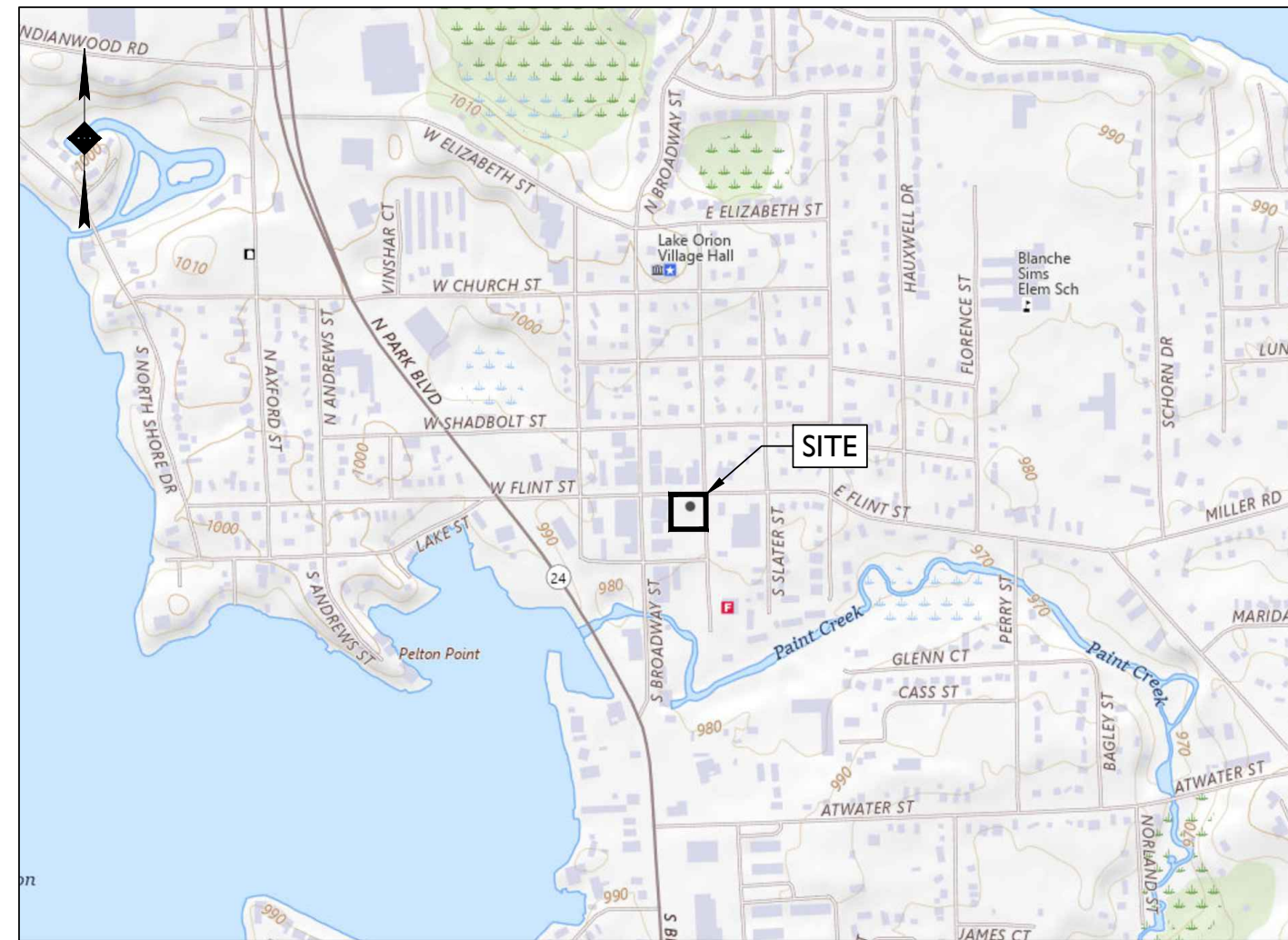
- A. All existing and proposed water mains and fire hydrant location and sizes shall be indicated on the plans.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
- B. Fire Department Connections (FDC) for sprinklers or standpipes shall be located with respect to hydrants, landscaping and fire department access roads. The Fire Department Connections shall be so located that the fire apparatus and hose connection to supply the system will not obstruct access to the building for other fire apparatus. The Fire Department Connection shall be located on the street side of the building or facing approved fire apparatus access roads, fully visible and recognizable for the street, fire apparatus access road or nearest point of the fire department vehicle access. The FDC location shall be indicated on the plans.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**
  
- C. The building is required to be equipped with a standpipe system installed in accordance with section 905 of the IFC and shall have a fire hydrant within 100 feet of the fire department connection.
  - a. **Acknowledged**
  
- D. Overhead utilities and power lines shall not be located over aerial fire apparatus access road or between the aerial fire apparatus access road and the building, removal or revised overhead utility shall be explained on the revised plans.
  - a. **Civil Engineered drawings will be submitted with the SPA set of documents.**

If you have any further comments, concerns, or questions; please do not hesitate to contact me.

Thank you,



Jeff Klatt,  
AIA Krieger Klatt Architects, Inc.



SOURCE: USGS NATIONAL MAPPER

**LOCATION MAP**

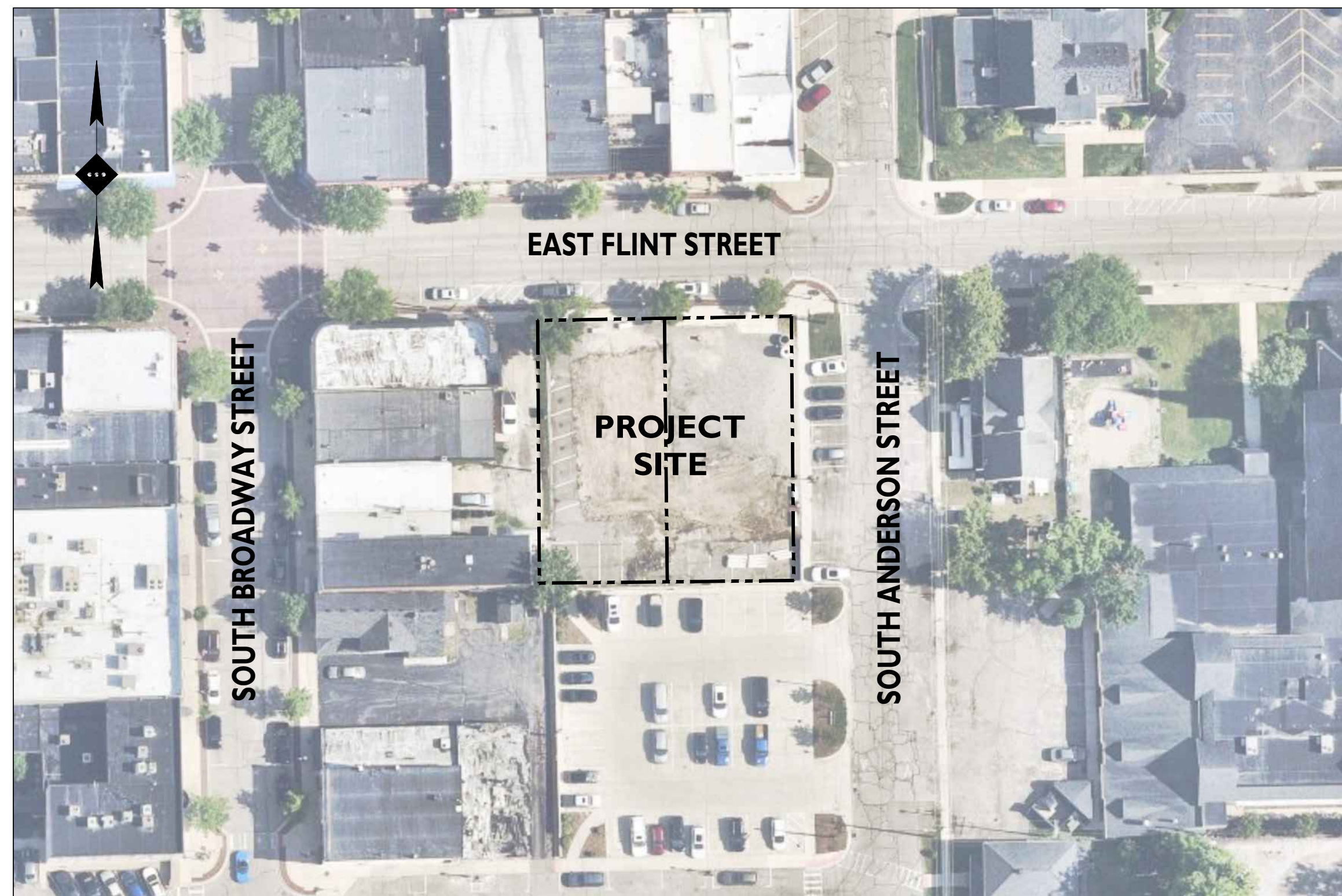
SCALE: 1" = 800'±

# SITE DEVELOPMENT PLANS FOR 44 EAST FLINT STREET PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008

44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN

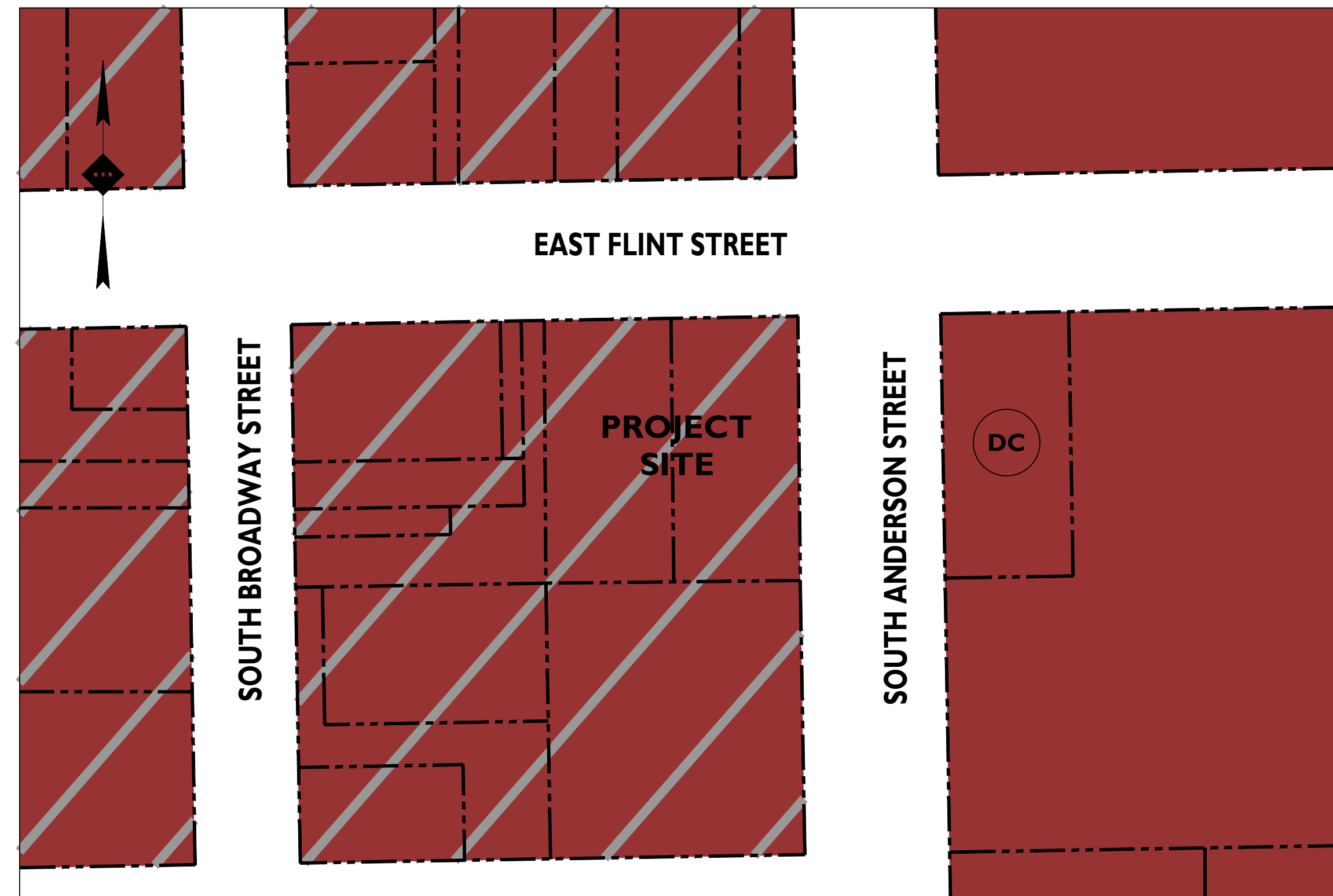
THE SITE DOES NOT FALL WITHIN THE 100-YEAR FLOODPLAIN OR CONTAIN ANY WETLANDS



SOURCE: NEARMAP, DATE RETRIEVED 07/09/2024

**AERIAL MAP**

SCALE: 1" = 50'±



SOURCE: VILLAGE OF LAKE ORION ZONING MAP, DATE RETRIEVED 07/09/2024

DC - DOWNTOWN CENTER DISTRICT  
DC - DOWNTOWN CENTER DISTRICT W/ HEIGHT OVERLAY

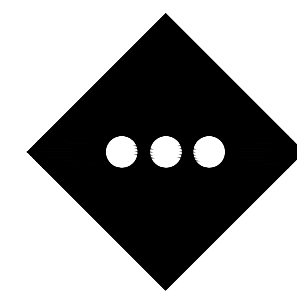
**ZONING MAP**

SCALE: 1" = 50'±

PLANS PREPARED BY:



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Phone 248.247.1115

**APPLICANT**

JS CAPITOL GROUP  
155 ROMEO ROAD, SUITE 300  
ROCHESTER, MI 48307  
PAUL@JSCAPITOL.COM

**ARCHITECT**

KREIGER KLATT ARCHITECTS  
2120 E 11 MILE ROAD  
ROYAL OAK, MI 48067  
248.414.9270  
JEFF@KREIGERKLATT.COM

NO.	DATE	ISSUE	BY	DESCRIPTION
1	07/15/2024	ISSUE		FOR SITE PLAN APPROVAL

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SITE DEVELOPMENT PLANS

**44 EAST FLINT STREET**  
**PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN

**SHEET INDEX**

DRAWING TITLE	SHEET #
COVER SHEET	C-1
EXISTING CONDITIONS PLAN	C-2
SITE PLAN	C-3
GRADING & STORMWATER MANAGEMENT PLAN	C-4
UTILITY PLAN	C-5
LANDSCAPING PLAN	C-6
CONSTRUCTION DETAILS	C-7

**ADDITIONAL SHEETS**

DRAWING TITLE	SHEET #
TOPOGRAPHIC SURVEY	1 OF 1

**PLAN REFERENCE MATERIALS:**

- THIS PLAN SET REFERENCES THE FOLLOWING DOCUMENTS INCLUDING, BUT NOT LIMITED TO:
  - TOPOGRAPHICAL SURVEY PREPARED BY AB-SB LAND SURVEY, P.C., DATED 03/07/2021
  - ARCHITECTURAL PLANS PREPARED BY KREIGER KLATT ARCHITECTS, DATED 07/08/2024
  - AERIAL MAP PROVIDED BY NEARMAP, DATE RETRIEVED 07/09/2024
  - ZONING MAP PROVIDED BY VILLAGE OF LAKE ORION, DATE RETRIEVED 07/09/2024
- ALL REFERENCE MATERIAL LISTED ABOVE SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THESE MATERIALS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF EACH REFERENCE AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



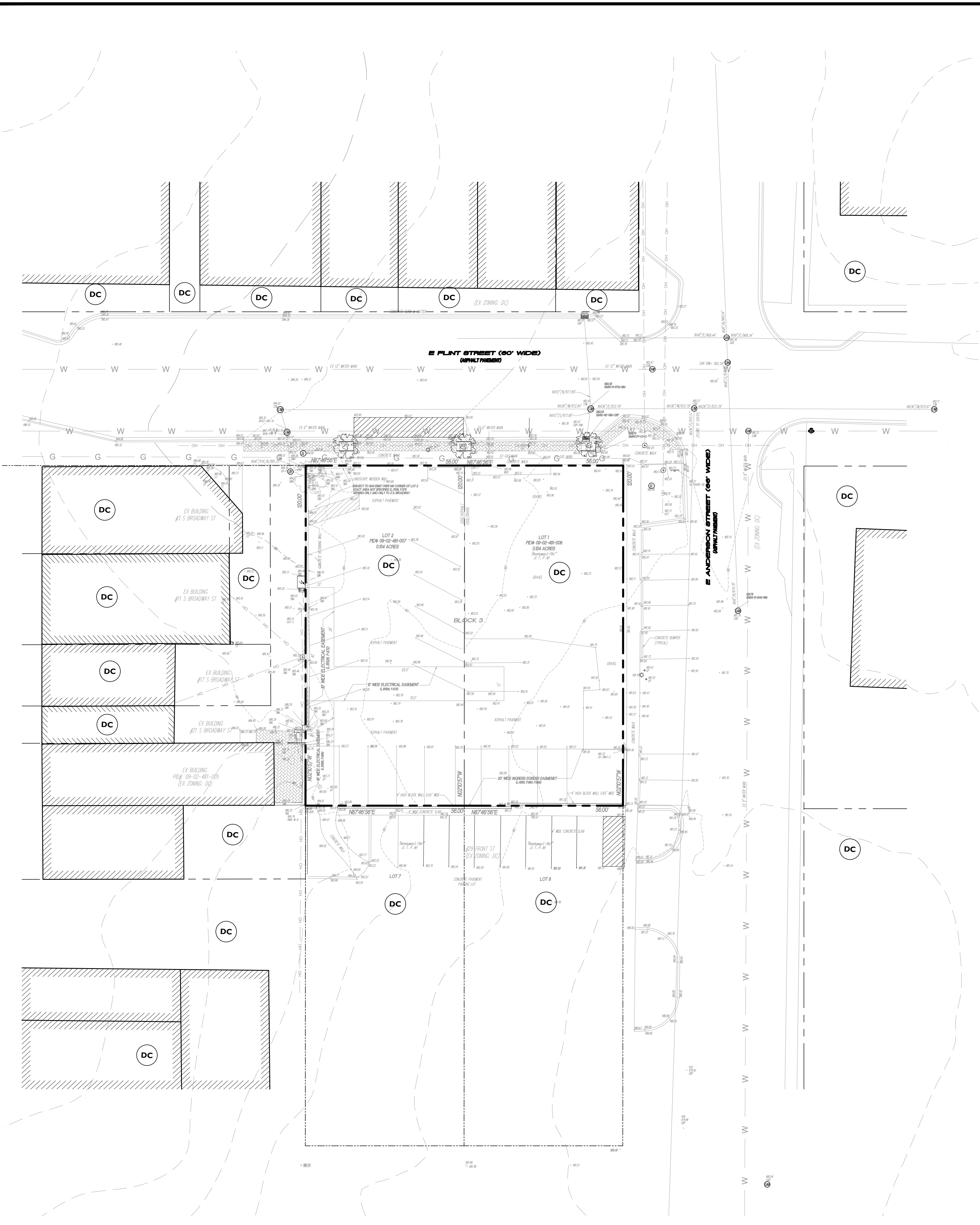
SCALE: AS SHOWN PROJECT ID: DET-240125

TITLE:

COVER SHEET

DRAWING:

C-1



### GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
- AB-SB Land Survey, P.C retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation.  
Copyright © 2021 AB-SB Land Survey, P.C.

### LEGAL DESCRIPTION

**#44 E Flint Street, Lake Orion, MI, 48362**  
 Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
 LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008.  
 Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

**Vacant, E Flint Street, Lake Orion, MI, 48362**  
 Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
 LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-007.  
 Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

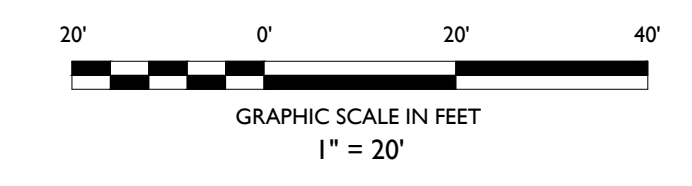
**TOTAL LAND AREA**  
 13,440 ± SQUARE FEET  
 0.308 ± ACRES

**FLOOD NOTE**  
 Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.

### SYMBOL DESCRIPTION

- ⊕ = UTILITY POLE
- = OVER HEAD WIRE
- = CHAIN LINK FENCE
- = PAVEMENT CATCH BASIN/CBP
- ⊕ = CATCH BASIN
- ⊕ = EX. SANITARY M.H.
- ⊕ = EX. GATE VALVE & WATER
- ⊕ = EX. STORM M.H.
- ⊕ = EX. ELECTRIC MANHOLE
- ⊕ = EX. HYDRANT
- ⊕ = WATER SHUT OFF
- ⊕ = ELECTRIC METER
- ⊕ = TRANSFORMER
- ⊕ = PAVERS
- ⊕ = LIGHT POLE
- EL = ELEVATION
- FF = FINISH FLOOR
- FG = FINISH GRADE
- P.I.D. = PARCEL IDENTIFICATION NUMBER
- GP = GUARD POST
- TR-8-8 = TREE-8"TRUNK-8FT SPREAD
- T./R. = TOWN/RANGE
- L./P. = LIBER/PAGE
- TWA/BWA = TOP/BOTTOM OF WALL
- BM = BENCH MARK
- NAVD88 = NORTH AMERICAN VERTICAL DATUM AS OF 1988
- EX = EXISTING
- INV = INVERT
- CH-X = CHISELED "X" IN CONCRETE
- FI/FCI = FOUND IRON/CAPPED IRON
- SG = SIGN
- CP = CONTROL POINT

**SURVEY NOTES:**  
 1. THE SURVEY LISTED WITHIN THE PLAN REFERENCES ON THE COVER SHEET SHALL BE CONSIDERED A PART OF THIS PLAN SET AND ALL INFORMATION CONTAINED WITHIN THE SURVEY AND ASSOCIATED DOCUMENTS SHALL BE UTILIZED IN CONJUNCTION WITH THIS PLAN SET. THE CONTRACTOR IS RESPONSIBLE TO OBTAIN A COPY OF THE SURVEY AND REVIEW IT THOROUGHLY PRIOR TO THE START OF CONSTRUCTION.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	07/15/2024			FOR SITE PLAN APPROVAL

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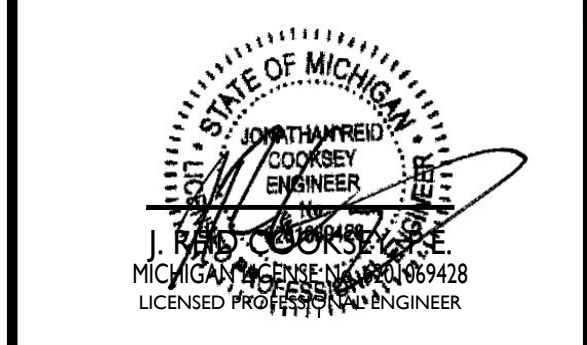
555 S. Old Woodward, Suite 12L, Birmingham, MI 48009  
 Phone 248.247.1115

**SITE DEVELOPMENT PLANS**

**44 EAST FLINT STREET**

**PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008  
 44 EAST FLINT STREET  
 VILLAGE OF LAKE ORION  
 OAKLAND COUNTY, MICHIGAN



**STONEFIELD**  
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SCALE: 1" = 20' PROJECT ID: DET-240125

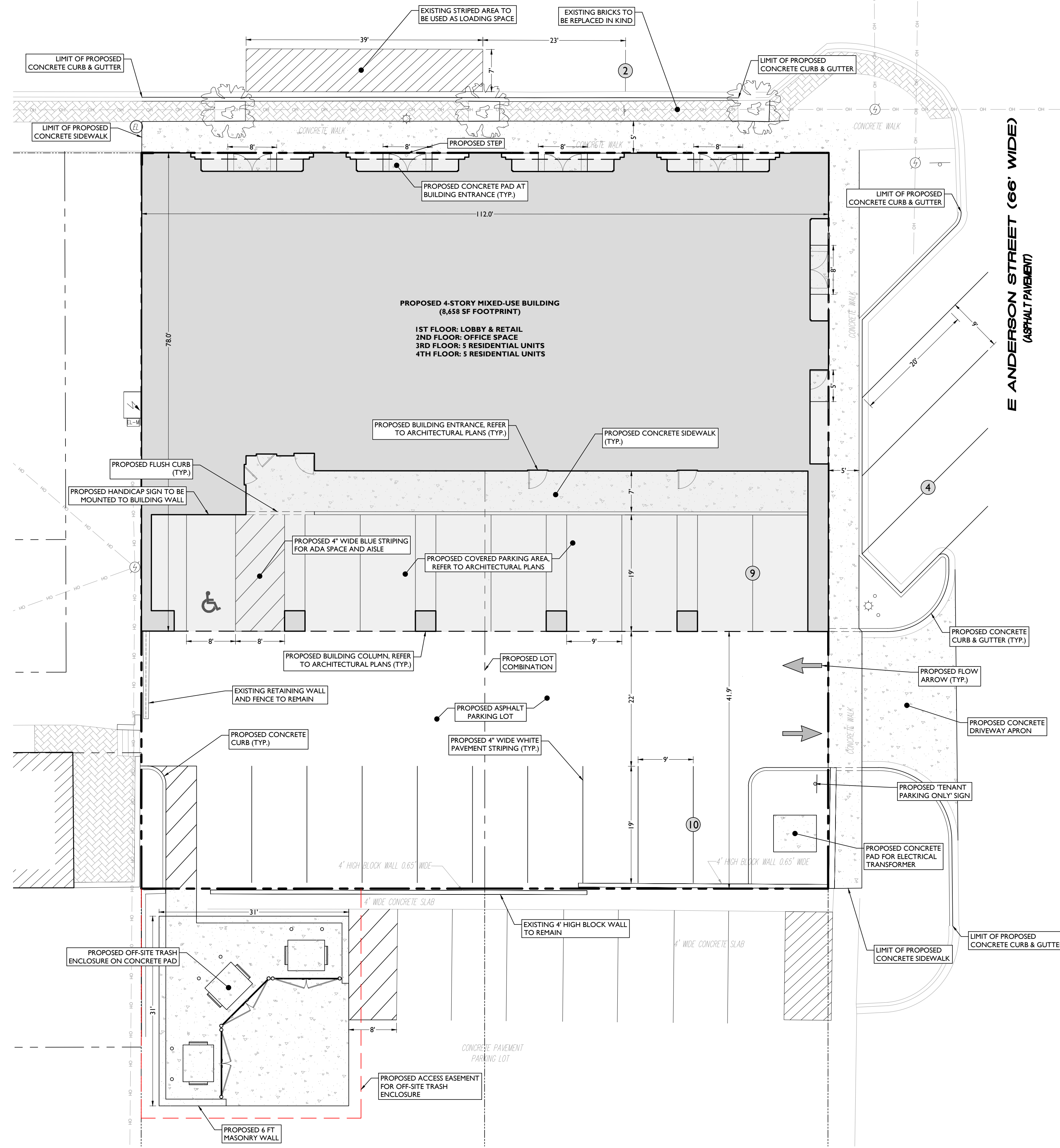
TITLE:  
**EXISTING CONDITIONS PLAN**

DRAWING:  
**C-2**

V:\2024\0424\240125\DCAPL-44 EAST FLINT STREET LAKE ORION, MICHIGAN\TOPOR-REBIDDING

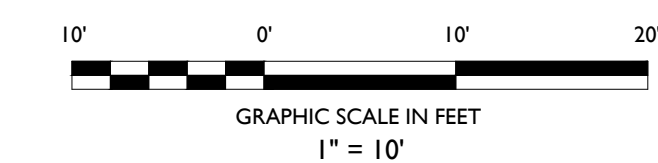
**E FLINT STREET (60' WIDE)**  
(ASPHALT PAVEMENT)

**E ANDERSON STREET (66' WIDE)**  
(ASPHALT PAVEMENT)



SYMBOL	DESCRIPTION
---	PROPERTY LINE
====	PROPOSED CONCRETE CURB & GUTTER
=====	PROPOSED CONCRETE CURB
-----	PROPOSED FLUSH CURB
+	PROPOSED SIGN
■	PROPOSED BUILDING
---	PROPOSED BUILDING OVERHANG
□	PROPOSED CONCRETE
∩	PROPOSED BUILDING DOORS

- GENERAL NOTES**
1. THE CONTRACTOR SHALL VERIFY AND FAMILIARIZE THEMSELVES WITH THE EXISTING SITE CONDITIONS AND THE PROPOSED SCOPE OF WORK (INCLUDING DIMENSIONS, LAYOUT, ETC.) PRIOR TO INITIATING THE IMPROVEMENTS IDENTIFIED WITHIN THESE DOCUMENTS. SHOULD ANY DISCREPANCY BE FOUND BETWEEN THE EXISTING SITE CONDITIONS AND THE PROPOSED WORK, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC PRIOR TO THE START OF CONSTRUCTION.
  2. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS AND ENSURE THAT ALL REQUIRED APPROVALS HAVE BEEN OBTAINED PRIOR TO THE START OF CONSTRUCTION. COPIES OF ALL REQUIRED PERMITS AND APPROVALS SHALL BE KEPT ON SITE AT ALL TIMES DURING CONSTRUCTION.
  3. ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS STONEFIELD ENGINEERING & DESIGN, LLC, AND ITS SUB-CONSULTANTS FROM AND AGAINST ANY DAMAGES AND LIABILITIES INCLUDING ATTORNEY'S FEES ARISING OUT OF CLAIMS BY EMPLOYEES OF THE CONTRACTOR IN ADDITION TO CLAIMS CONNECTED TO THE PROJECT AS A RESULT OF NOT CARRYING THE PROPER INSURANCE FOR WORKERS COMPENSATION, LIABILITY INSURANCE, AND LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE.
  4. THE CONTRACTOR SHALL NOT DEVIATE FROM THE PROPOSED IMPROVEMENTS IDENTIFIED WITHIN THIS PLAN SET UNLESS APPROVAL IS PROVIDED IN WRITING BY STONEFIELD ENGINEERING & DESIGN, LLC.
  5. THE CONTRACTOR IS RESPONSIBLE TO DETERMINE THE MEANS AND METHODS OF CONSTRUCTION.
  6. THE CONTRACTOR SHALL NOT PERFORM ANY WORK OR CAUSE DISTURBANCE ON A PRIVATE PROPERTY NOT CONTROLLED BY THE PERSON OR ENTITY WHO HAS AUTHORIZED THE WORK WITHOUT PRIOR WRITTEN CONSENT FROM THE OWNER OF THE PRIVATE PROPERTY.
  7. THE CONTRACTOR IS RESPONSIBLE TO RESTORE ANY DAMAGED OR UNDERMINED STRUCTURE OR SITE FEATURE THAT IS IDENTIFIED TO REMAIN ON THE PLAN SET. ALL REPAIRS SHALL USE NEW MATERIALS TO RESTORE THE FEATURE TO ITS EXISTING CONDITION AT THE CONTRACTOR'S EXPENSE.
  8. CONTRACTOR IS RESPONSIBLE TO PROVIDE THE APPROPRIATE SHOP DRAWINGS, PRODUCT DATA, AND OTHER REQUIRED SUBMITTALS FOR REVIEW. STONEFIELD ENGINEERING & DESIGN, LLC, WILL REVIEW THE SUBMITTALS IN ACCORDANCE WITH THE DESIGN INTENT AS REFLECTED WITHIN THE PLAN SET.
  9. THE CONTRACTOR IS RESPONSIBLE FOR TRAFFIC CONTROL IN ACCORDANCE WITH MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES, LATEST EDITION.
  10. THE CONTRACTOR IS REQUIRED TO PERFORM ALL WORK IN THE PUBLIC RIGHT-OF-WAY IN ACCORDANCE WITH THE APPROPRIATE GOVERNING AUTHORITY AND SHALL BE RESPONSIBLE FOR THE PROCUREMENT OF STREET OPENING PERMITS.
  11. THE CONTRACTOR IS REQUIRED TO RETAIN AN OSHA CERTIFIED SAFETY INSPECTOR TO BE PRESENT ON SITE AT ALL TIMES DURING CONSTRUCTION & DEMOLITION ACTIVITIES.
  12. SHOULD AN EMPLOYEE OF STONEFIELD ENGINEERING & DESIGN, LLC, BE PRESENT ON SITE AT ANY TIME DURING CONSTRUCTION, IT DOES NOT RELIEVE THE CONTRACTOR OF ANY OF THE RESPONSIBILITIES AND REQUIREMENTS LISTED IN THE NOTES WITHIN THIS PLAN SET.



NO.	DATE	ISSUE	BY	DESCRIPTION
1	07/15/2024	ISSUE	JP	FOR SITE PLAN APPROVAL

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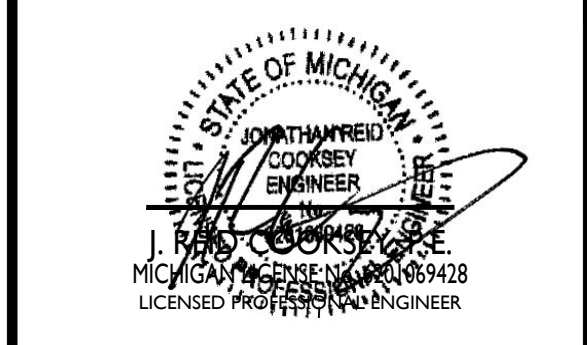
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Phone 248.247.1115

**SITE DEVELOPMENT PLANS**

**44 EAST FLINT STREET**

**PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



**STONEFIELD**  
engineering & design

SCALE: 1" = 10' PROJECT ID: DET-240125

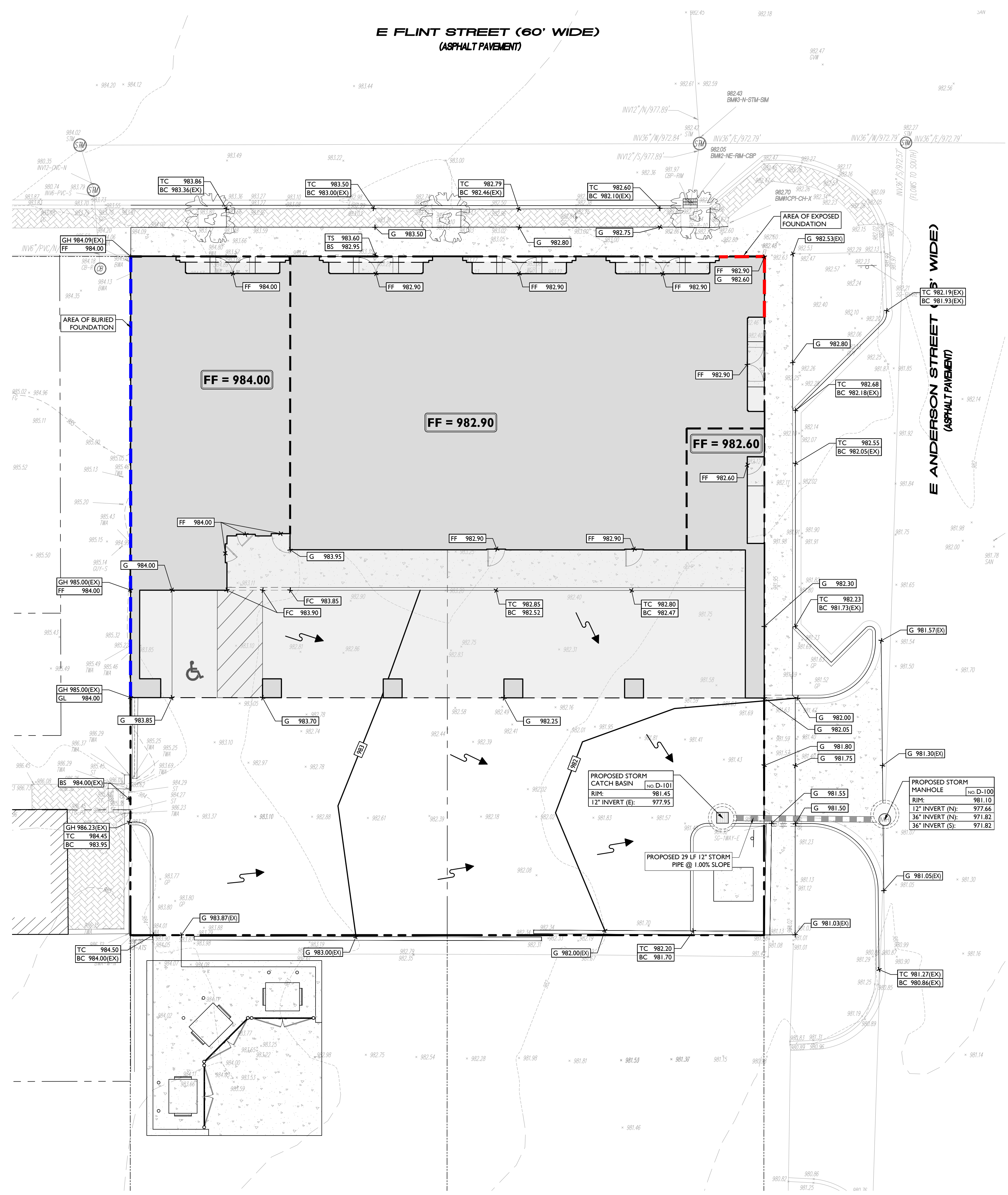
TITLE: **SITE PLAN**

DRAWING: **C-3**

NOTES: 09/27/24 10:52 AM 44 EAST FLINT STREET LAKE ORION, MICHIGAN (NOT FOR CONSTRUCTION)

E FLINT STREET (60' WIDE)  
(ASPHALT PAVEMENT)

E ANDERSON STREET (60' WIDE)  
(ASPHALT PAVEMENT)



**BENCHMARKS**  
SITE BENCH MARK NO. 1:  
TOP OF CHISELED "X" IN  
CONCRETE WALK, BEING  
8.5 FEET NWLY FROM THE  
NE CORNER OF LOT 1 OF  
THE SUBJECT PROPERTY.  
EL=982.70' (NAVD88).  
SITE BENCH MARK NO. 2:  
NE RIM OF PAVEMENT  
CATCH BASIN, BEING 15.9  
FEET NWLY FROM THE NE  
CORNER OF LOT 1 OF THE  
SUBJECT PROPERTY.  
EL=982.05' (NAVD88).  
SITE BENCH MARK NO. 3:  
NORTH RIM OF A STORM  
MANHOLE, BEING 10 FEET  
NLY FROM BM#2.  
EL=982.43' (NAVD88).

SYMBOL DESCRIPTION

---	PROPERTY LINE
100	PROPOSED GRADING CONTOUR
←	PROPOSED DIRECTION OF DRAINAGE FLOW
X-G 100.00	PROPOSED GRADE SPOT SHOT
X-FF 100.00	PROPOSED FINISHED FLOOR SPOT SHOT
X-TC 100.50 BC 100.00	PROPOSED TOP OF CURB / BOTTOM OF CURB SPOT SHOT
X-FC 100.00	PROPOSED FLUSH CURB SPOT SHOT
X-GH 100.12 GL 100.00	PROPOSED GRADE HIGH / GRADE LOW SPOT SHOT
X-TS 100.00 BS 100.00	PROPOSED TOP OF STEP / BOTTOM OF STEP SPOT SHOT
---	PROPOSED AREA OF EXPOSED FOUNDATION
---	PROPOSED AREA OF BURIED FOUNDATION
---	PROPOSED INTERIOR BUILDING WALL

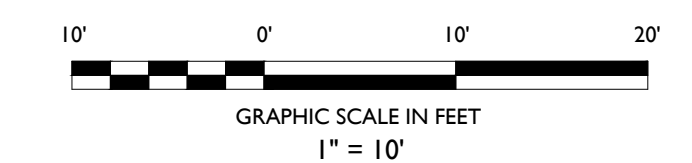
ON-SITE STORMWATER DETENTION IS NOT REQUIRED PER OCWRC  
STORMWATER MANAGEMENT REQUIREMENTS AS DEVELOPMENT  
CONSTRUCTION ACTIVITY IS LESS THAN 1 ACRE

**GRADING NOTES**

- ALL SOIL AND MATERIAL REMOVED FROM THE SITE SHALL BE DISPOSED OF IN ACCORDANCE WITH LOCAL STATE AND FEDERAL REQUIREMENTS. ANY GROUNDWATER DE-WATERING PRACTICES SHALL BE PERFORMED UNDER THE SUPERVISION OF A QUALIFIED PROFESSIONAL. THE CONTRACTOR IS REQUIRED TO OBTAIN ALL NECESSARY PERMITS FOR THE DISCHARGE OF DE-WATERED GROUNDWATER. ALL SOIL IMPORTED TO THE SITE SHALL BE CERTIFIED CLEAN FILL. CONTRACTOR SHALL MAINTAIN RECORDS OF ALL FILL MATERIALS BROUGHT TO THE SITE.
- THE CONTRACTOR IS REQUIRED TO PROVIDE TEMPORARY AND/OR PERMANENT SHORING WHERE REQUIRED DURING EXCAVATION ACTIVITIES INCLUDING BUT NOT LIMITED TO UTILITY TRENCHES, TO ENSURE THE STRUCTURAL INTEGRITY OF NEARBY STRUCTURES AND STABILITY OF THE SURROUNDING SOILS.
- PROPOSED TOP OF CURB ELEVATIONS ARE GENERALLY 4 INCHES TO 7 INCHES ABOVE EXISTING GRADES UNLESS OTHERWISE NOTED. THE CONTRACTOR WILL SUPPLY ALL STAKEOUT CURB GRADE SHEETS TO STONEFIELD ENGINEERING & DESIGN, LLC. FOR REVIEW AND APPROVAL PRIOR TO POURING CURBS.
- THE CONTRACTOR IS RESPONSIBLE TO SET ALL PROPOSED UTILITY COVERS AND RESET ALL EXISTING UTILITY COVERS WITHIN THE PROJECT LIMITS TO PROPOSED GRADE IN ACCORDANCE WITH ANY APPLICABLE MUNICIPAL, COUNTY, STATE AND/OR UTILITY AUTHORITY REGULATIONS.
- MINIMUM SLOPE REQUIREMENTS TO PREVENT PONDING SHALL BE AS FOLLOWS:
  - CURB GUTTER: 0.50%
  - CONCRETE SURFACES: 1.00%
  - ASPHALT SURFACES: 1.00%
- A MINIMUM SLOPE OF 1.00% SHALL BE PROVIDED AWAY FROM ALL BUILDINGS. THE CONTRACTOR SHALL ENSURE POSITIVE DRAINAGE FROM THE BUILDING IS ACHIEVED AND SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC. IF THIS CONDITION CANNOT BE MET.
- FOR PROJECTS WHERE BASEMENTS ARE PROPOSED, THE DEVELOPER IS RESPONSIBLE TO DETERMINE THE DEPTH TO GROUNDWATER AT THE LOCATION OF THE PROPOSED STRUCTURE. IF GROUNDWATER IS ENCOUNTERED WITHIN THE BASEMENT AREA, SPECIAL CONSTRUCTION METHODS SHALL BE UTILIZED AND REVIEWED/APPROVED BY THE CONSTRUCTION CODE OFFICIAL. IF PUMP PUMPS ARE UTILIZED, ALL DISCHARGES SHALL BE CONNECTED DIRECTLY TO THE PUBLIC STORM SEWER SYSTEM WITH APPROVAL FROM THE GOVERNING STORM SEWER SYSTEM AUTHORITY.

**ADA NOTES**

- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION WITHIN THE ADA PARKING SPACES AND ACCESS AISLES.
- THE CONTRACTOR SHALL PROVIDE COMPLIANT SIGNAGE AT ALL ADA PARKING AREAS IN ACCORDANCE WITH STATE GUIDELINES.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 5.00% RUNNING SLOPE AND A MAXIMUM OF 2.00% CROSS SLOPE ALONG WALKWAYS WITHIN THE ACCESSIBLE PATH OF TRAVEL (SEE THE SITE PLAN FOR THE LOCATION OF THE ACCESSIBLE PATH). THE CONTRACTOR IS RESPONSIBLE TO ENSURE THE ACCESSIBLE PATH OF TRAVEL IS 36 INCHES WIDE OR GREATER UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 2.00% SLOPE IN ANY DIRECTION AT ALL LANDINGS. LANDINGS INCLUDE, BUT ARE NOT LIMITED TO, THE TOP AND BOTTOM OF AN ACCESSIBLE RAMP, AT ACCESSIBLE BUILDING ENTRANCES, AT AN AREA IN FRONT OF A WALK-UP PATH, AND AT TURNING SPACES ALONG THE ACCESSIBLE PATH OF TRAVEL. THE LANDING AREA SHALL HAVE A MINIMUM CLEAR AREA OF 60 INCHES BY 60 INCHES UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
- THE CONTRACTOR SHALL MAINTAIN A MAXIMUM 8.33% RUNNING SLOPE AND A MAXIMUM 2.00% CROSS SLOPE ON ANY CURB RAMPS ALONG THE ACCESSIBLE PATH OF TRAVEL. WHERE PROVIDED, CURB RAMP FLARES SHALL NOT HAVE A SLOPE GREATER THAN 10.00%. IF A LANDING AREA IS PROVIDED AT THE TOP OF THE RAMP, FOR ALTERATIONS, A CURB RAMP FLARE SHALL NOT HAVE A SLOPE GREATER THAN 8.33% IF A LANDING AREA IS NOT PROVIDED AT THE TOP OF THE RAMP. CURB RAMPS SHALL NOT RISE MORE THAN 6 INCHES IN ELEVATION WITHOUT A HANDRAIL. THE CLEAR WIDTH OF A CURB RAMP SHALL BE NO LESS THAN 36 INCHES WIDE.
- ACCESSIBLE RAMPS WITH A RISE GREATER THAN 4 INCHES SHALL CONTAIN COMPLIANT HANDRAILS ON BOTH SIDES OF THE RAMP AND SHALL NOT RISE MORE THAN 30" IN ELEVATION WITHOUT A LANDING AREA IN BETWEEN RAMP RUNS. LANDING AREAS SHALL ALSO BE PROVIDED AT THE TOP AND BOTTOM OF THE RAMP.
- A SLIP RESISTANT SURFACE SHALL BE CONSTRUCTED ALONG THE ACCESSIBLE PATH AND WITHIN ADA PARKING AREAS.
- ACCESSIBLE RAMPS SHALL HAVE A MAXIMUM OF 1/4 INCHES VERTICAL CHANGE IN LEVEL ALONG THE ACCESSIBLE PATH, WHERE A CHANGE IN LEVEL BETWEEN 1/4 INCHES AND 1/2 INCHES EXISTS, CONTRACTOR SHALL ENSURE THAT THE TOP 1/2 INCH CHANGE IN LEVEL IS BEVELED WITH A SLOPE NOT STEEPER THAN 1 UNIT VERTICAL AND 2 UNITS HORIZONTAL (2:1 SLOPE).
- THE CONTRACTOR SHALL ENSURE THAT ANY OPENINGS (GAPS OR HORIZONTAL SEPARATIONS) ALONG THE ACCESSIBLE PATH SHALL NOT ALLOW PASSAGE OF A SPHERE GREATER THAN 1/8 INCH.

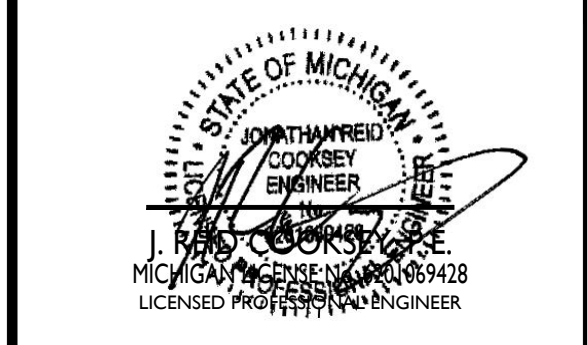


NO.	DATE	ISSUE	BY
1	07/15/2024	FOR SITE PLAN APPROVAL	

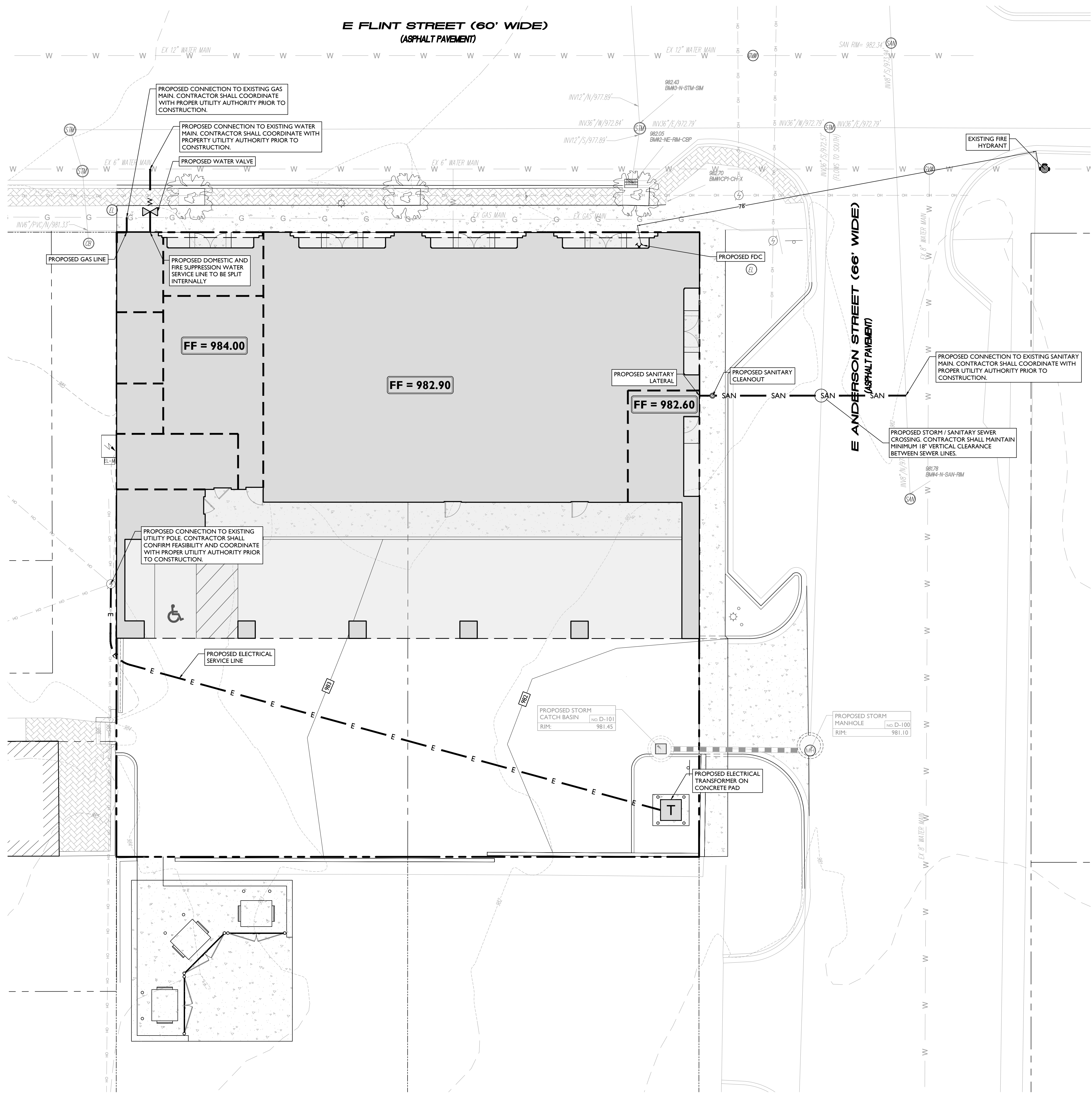
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**SITE DEVELOPMENT PLANS**  
**44 EAST FLINT STREET**  
**PROPOSED MIXED-USE BUILDING**  
PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



**STONEFIELD**  
engineering & design  
SCALE: 1" = 10' PROJECT ID: DET-240125  
TITLE: **GRADING & STORMWATER MANAGEMENT PLAN**  
DRAWING: **C-4**



**BENCHMARKS**

SITE BENCH MARK NO. 1:  
TOP OF CHISELED "X" IN  
CONCRETE WALK, BEING  
8.5 FEET NWLY FROM THE  
NE CORNER OF LOT 1 OF  
THE SUBJECT PROPERTY.  
EL=982.70' (NAVD88).

SITE BENCH MARK NO. 2:  
NE RIM OF PAVEMENT  
CATCH BASIN, BEING 15.9  
FEET NWLY FROM THE NE  
CORNER OF LOT 1 OF THE  
SUBJECT PROPERTY.  
EL=982.05' (NAVD88).

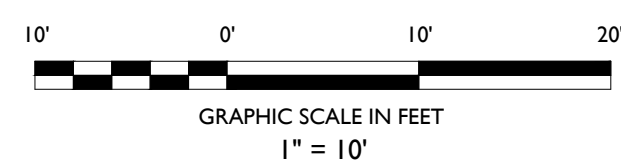
SITE BENCH MARK NO. 3:  
NORTH RIM OF A STORM  
MANHOLE, BEING 10 FEET  
NLY FROM BM#2.  
EL=982.43' (NAVD88).

**SYMBOL DESCRIPTION**

---	PROPERTY LINE
SAN	PROPOSED SANITARY LATERAL
W	PROPOSED DOMESTIC WATER SERVICE
E	PROPOSED ELECTRIC CONDUITS
G	PROPOSED GAS LINE
⊗	PROPOSED VALVE
⊙	EXISTING FIRE HYDRANT
+	PROPOSED FIRE DIRECT CONNECTION (FDC)
○	PROPOSED SANITARY CLEANOUT
T	PROPOSED TRANSFORMER ON CONCRETE PAD WITH BOLLARDS

**DRAINAGE AND UTILITY NOTES**

1. THE CONTRACTOR IS REQUIRED TO CALL THE APPROPRIATE AUTHORITY FOR NOTICE OF CONSTRUCTION/EXCAVATION AND UTILITY MARK OUT PRIOR TO THE START OF CONSTRUCTION IN ACCORDANCE WITH STATE LAW. CONTRACTOR IS REQUIRED TO CONFIRM THE HORIZONTAL AND VERTICAL LOCATION OF UTILITIES IN THE FIELD. SHOULD A DISCREPANCY EXIST BETWEEN THE FIELD LOCATION OF A UTILITY AND THE LOCATION SHOWN ON THE PLAN SET OR SURVEY, THE CONTRACTOR SHALL NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IMMEDIATELY IN WRITING.
2. THE CONTRACTOR IS RESPONSIBLE TO PROTECT AND MAINTAIN IN OPERATION ALL UTILITIES NOT DESIGNATED TO BE REMOVED.
3. THE CONTRACTOR IS RESPONSIBLE FOR REPAIRING ANY DAMAGE TO ANY EXISTING UTILITY IDENTIFIED TO REMAIN WITHIN THE LIMITS OF THE PROPOSED WORK DURING CONSTRUCTION.
4. A MINIMUM HORIZONTAL SEPARATION OF 10 FEET IS REQUIRED BETWEEN ANY SANITARY SEWER SERVICE AND ANY WATER LINES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
5. ALL WATER LINES SHALL BE VERTICALLY SEPARATED ABOVE SANITARY SEWER LINES BY A MINIMUM DISTANCE OF 18 INCHES. IF THIS SEPARATION CANNOT BE PROVIDED, A CONCRETE ENCASMENT SHALL BE UTILIZED FOR THE SANITARY SEWER SERVICE AS APPROVED BY STONEFIELD ENGINEERING & DESIGN, LLC.
6. THE CONTRACTOR TO PERFORM A TEST PIT PRIOR TO CONSTRUCTION (RECOMMEND 30 DAYS PRIOR) AT LOCATIONS OF EXISTING UTILITY CROSSINGS FOR WATER AND SANITARY SEWER CONNECTION IMPROVEMENTS. SHOULD A CONFLICT EXIST, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY STONEFIELD ENGINEERING & DESIGN, LLC IN WRITING.
7. THE CONTRACTOR IS RESPONSIBLE FOR COORDINATING GAS, ELECTRIC AND TELECOMMUNICATION CONNECTIONS WITH THE APPROPRIATE GOVERNING AUTHORITY.
8. CONTRACTOR SHALL START CONSTRUCTION OF ANY GRAVITY SEWER AT THE LOWEST INVERT AND WORK UP-GRADEMENT.
9. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD SET OF PLANS REFLECTING THE LOCATION OF EXISTING UTILITIES THAT HAVE BEEN CAPPED, ABANDONED, OR RELOCATED BASED ON THE DEMOLITION/REMOVAL ACTIVITIES REQUIRED IN THIS PLAN SET. THIS DOCUMENT SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.
10. THE CONTRACTOR IS RESPONSIBLE TO MAINTAIN A RECORD OF THE AS-BUILT LOCATIONS OF ALL PROPOSED UNDERGROUND INFRASTRUCTURE. THE CONTRACTOR SHALL NOTE ANY DISCREPANCIES BETWEEN THE AS-BUILT LOCATIONS AND THE LOCATIONS DEPICTED WITHIN THE PLAN SET. THIS RECORD SHALL BE PROVIDED TO THE OWNER FOLLOWING COMPLETION OF WORK.



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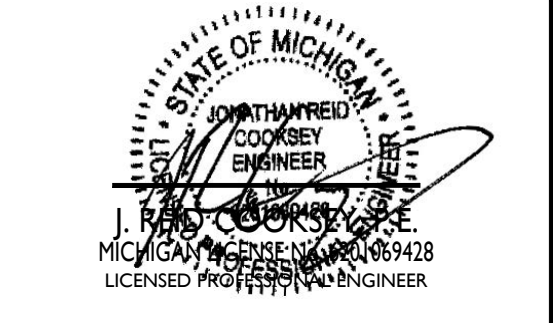
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Phone 248.247.1115

**SITE DEVELOPMENT PLANS**

**44 EAST FLINT STREET**

**PROPOSED MIXED-USE BUILDING**

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN

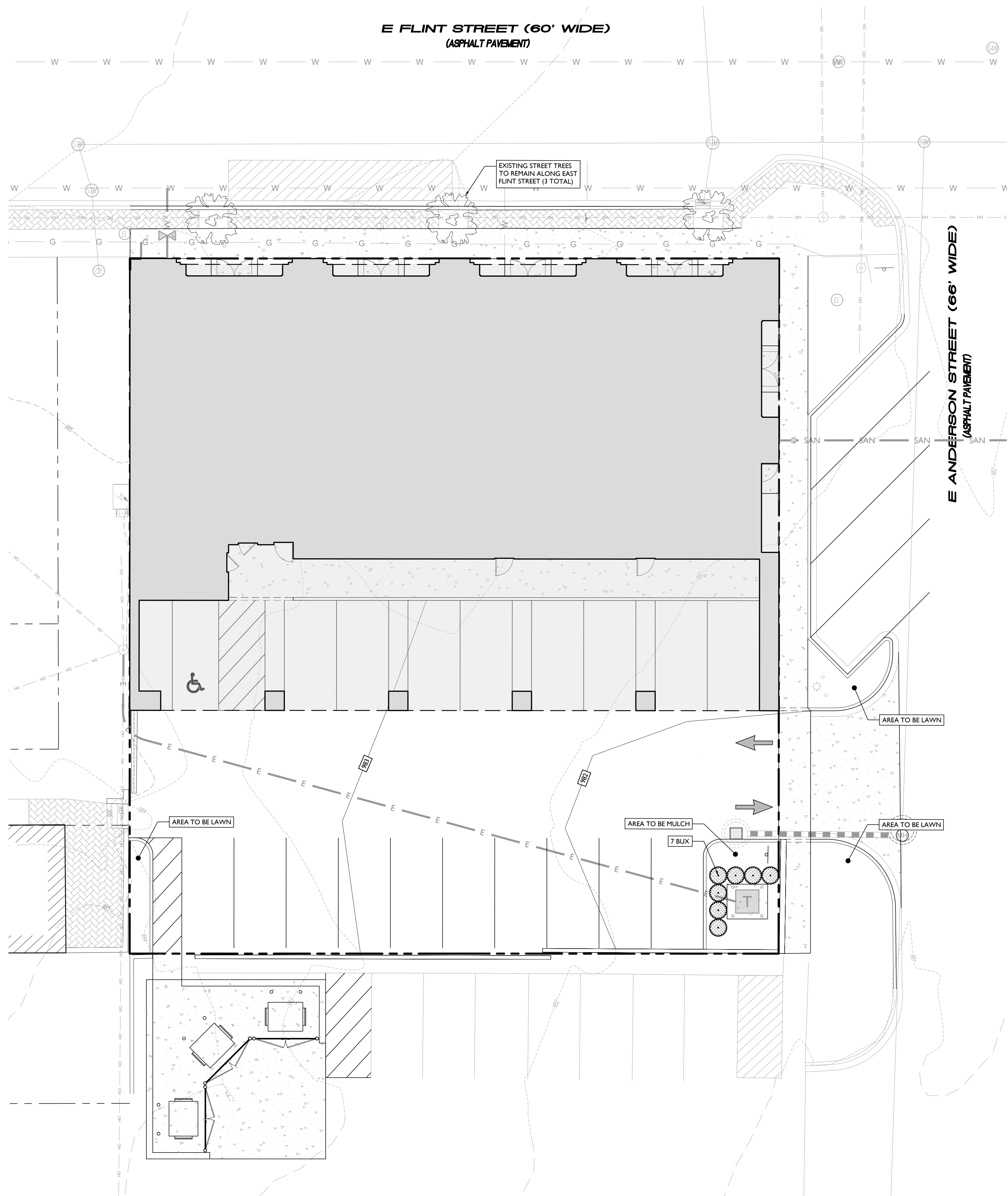


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SCALE: 1" = 10' PROJECT ID: DET-240125

TITLE:  
**UTILITY PLAN**

DRAWING:  
**C-5**



LANDSCAPING REQUIREMENTS		
CODE SECTION	REQUIRED	PROPOSED
§ 15.02.C.	DC DOWNTOWN LANDSCAPING PARCELS IN DC DOWNTOWN DISTRICT ARE EXEMPT FROM LANDSCAPING REQUIREMENTS EXCEPT FOR:	
§ 15.02.C.1.	TREES REQUIRED TO ENHANCE BUILDING AND STREET	COMPLIES
§ 15.02.C.2.	PLANTER BOXES OR OTHER LANDSCAPE FEATURES REQUIRED WHERE APPROPRIATE	COMPLIES
§ 15.02.C.3.	OUTDOOR UTILITY EQUIPMENT SHALL BE SCREENED	COMPLIES

PLANT SCHEDULE						
SYMBOL	CODE	QTY	BOTANICAL NAME	COMMON NAME	SIZE	CONTAINER
EVERGREEN SHRUBS						
	BUX	7	BUXUS X 'GREEN MOUNTAIN'	GREEN MOUNTAIN BOXWOOD	18" - 24"	POT
	SEM	5	BUXUS SEMPERVIRENS 'SUFFRUTICOSA'	SUFFRUTICOSA COMMON BOXWOOD	18" - 24"	POT

NOTE: IF ANY DISCREPANCIES OCCUR BETWEEN AMOUNTS SHOWN ON THE LANDSCAPE PLAN AND WITHIN THE PLANT LIST, THE PLAN SHALL DICTATE.



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SITE DEVELOPMENT PLANS

**44 EAST FLINT STREET**

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PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN



Know what's below  
Call before you dig.

- LANDSCAPING NOTES**
- THE CONTRACTOR SHALL RESTORE ALL DISTURBED GRASS AND LANDSCAPED AREAS TO MATCH EXISTING CONDITIONS UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR SHALL RESTORE ALL DISTURBED LAWN AREAS WITH A MINIMUM 4 INCH LAYER OF TOPSOIL AND SEED.
  - THE CONTRACTOR SHALL RESTORE MULCH AREAS WITH A MINIMUM 3 INCH LAYER OF MULCH.
  - THE MAXIMUM SLOPE ALLOWABLE IN LANDSCAPE RESTORATION AREAS SHALL BE 3 FEET HORIZONTAL TO 1 FOOT VERTICAL (3:1 SLOPE) UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET.
  - THE CONTRACTOR IS REQUIRED TO LOCATE ALL SPRINKLER HEADS IN AREA OF LANDSCAPING DISTURBANCE PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL RELOCATE SPRINKLER HEADS AND LINES IN ACCORDANCE WITH OWNER'S DIRECTION WITHIN AREAS OF DISTURBANCE.
  - THE CONTRACTOR SHALL ENSURE THAT ALL DISTURBED LANDSCAPED AREAS ARE GRADED TO MEET FLUSH AT THE ELEVATION OF WALKWAYS AND TOP OF CURB ELEVATIONS EXCEPT UNLESS INDICATED OTHERWISE WITHIN THE PLAN SET. NO ABRUPT CHANGES IN GRADE ARE PERMITTED IN DISTURBED LANDSCAPING AREAS.



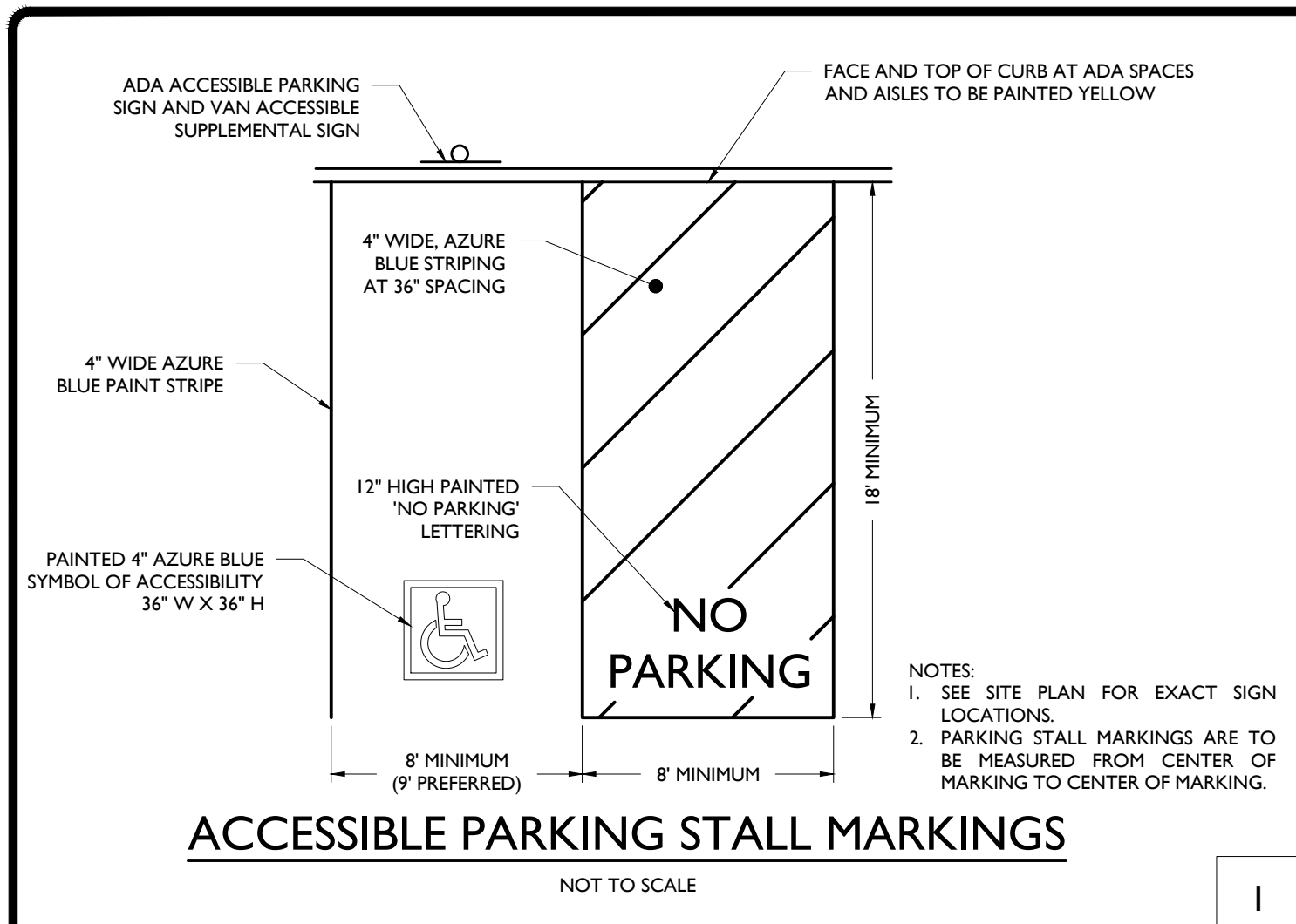
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SCALE: 1" = 10' PROJECT ID: DET-240125

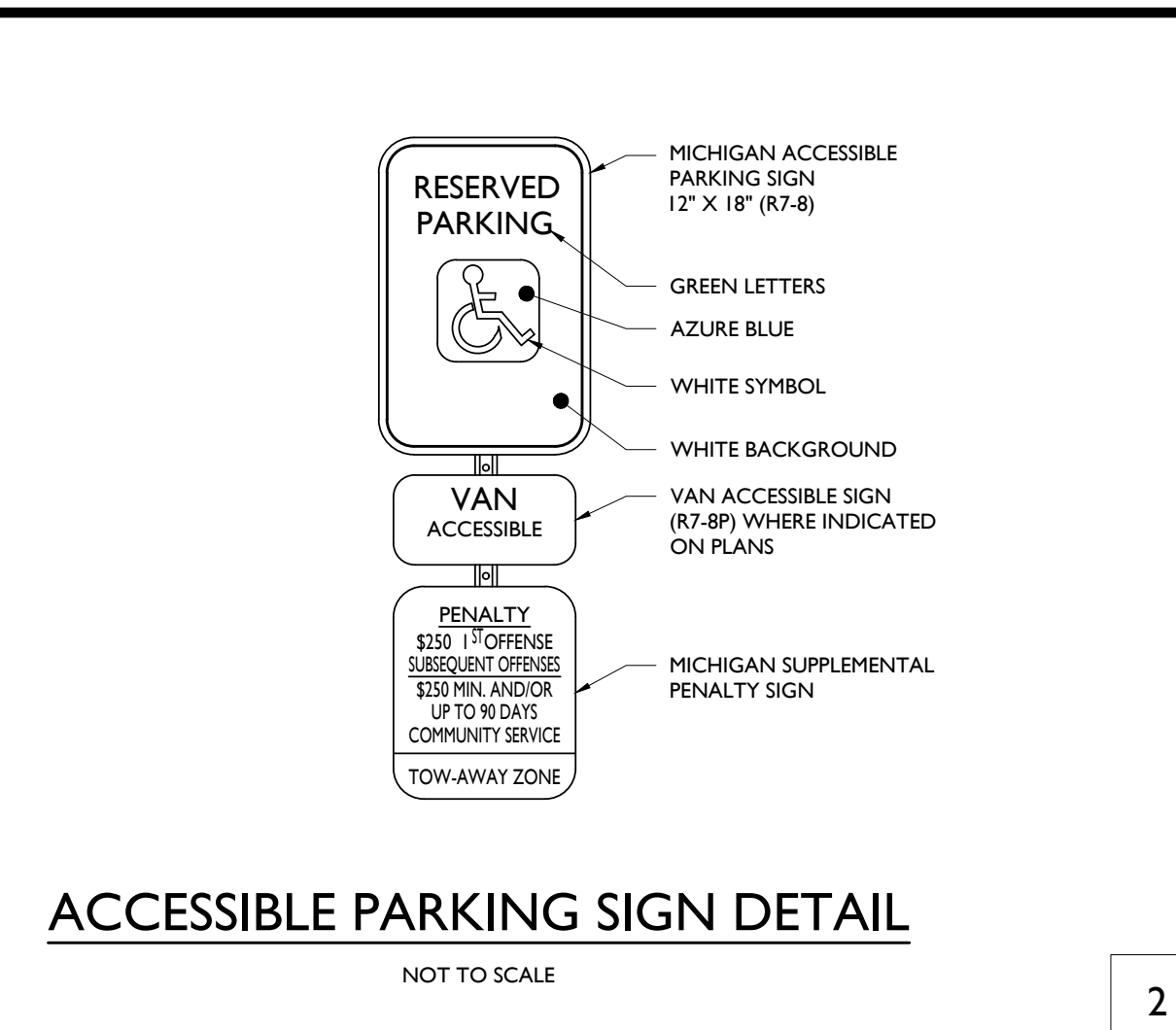
TITLE:  
**LANDSCAPING PLAN**

DRAWING:  
**C-6**

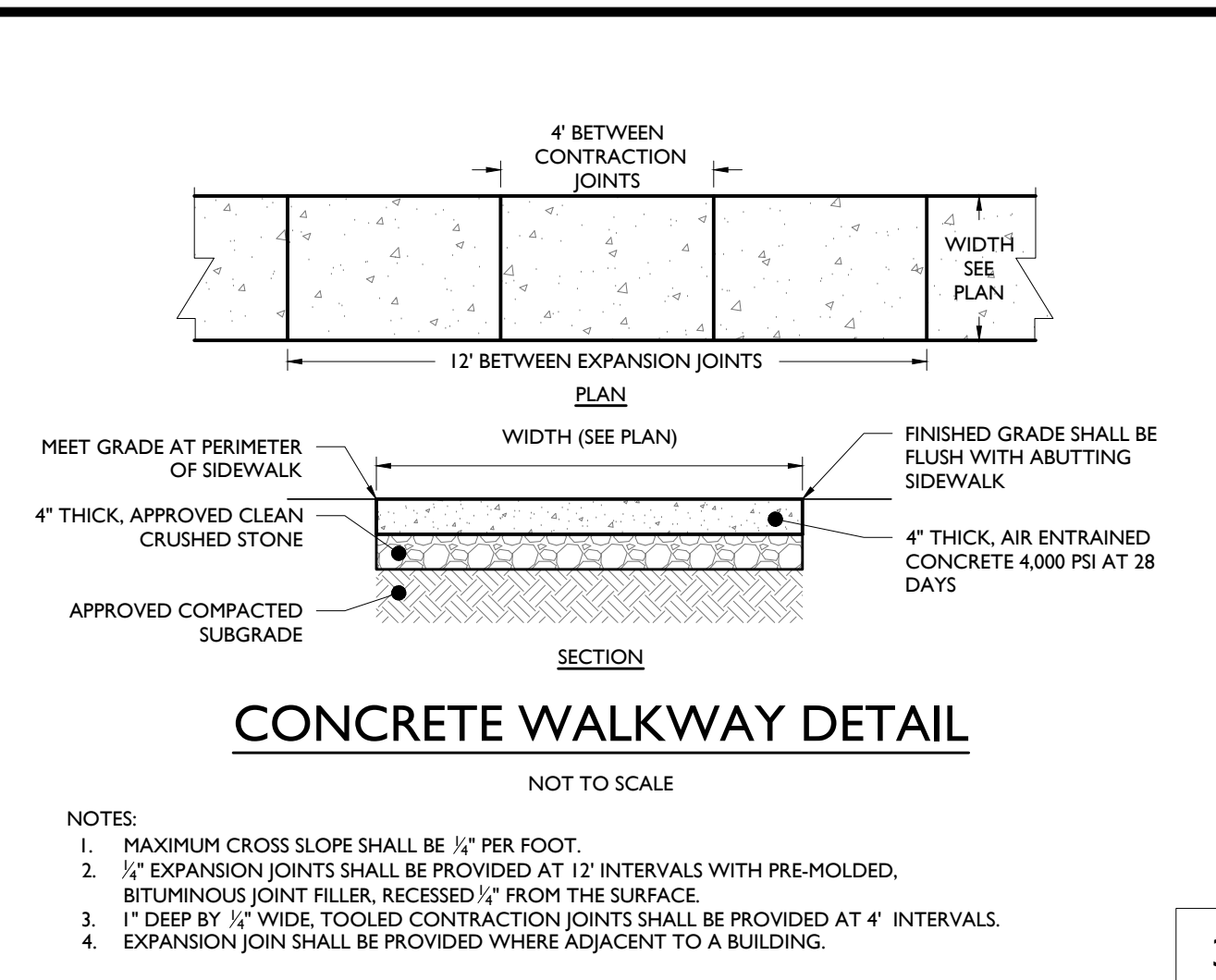
NOTES: SEE SHEETS 240125-1 & 240125-2 FOR GENERAL NOTES AND SPECIFICATIONS.



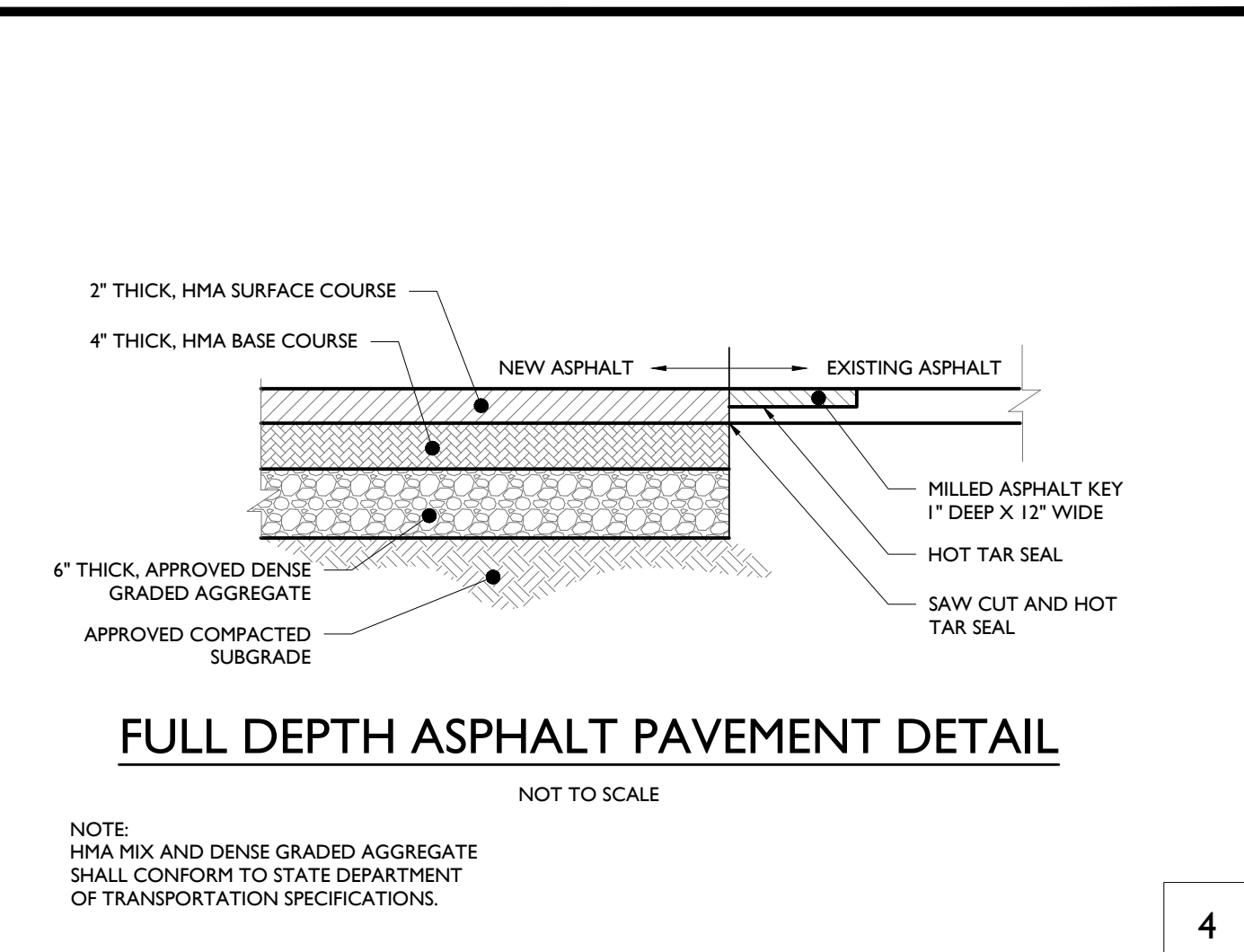
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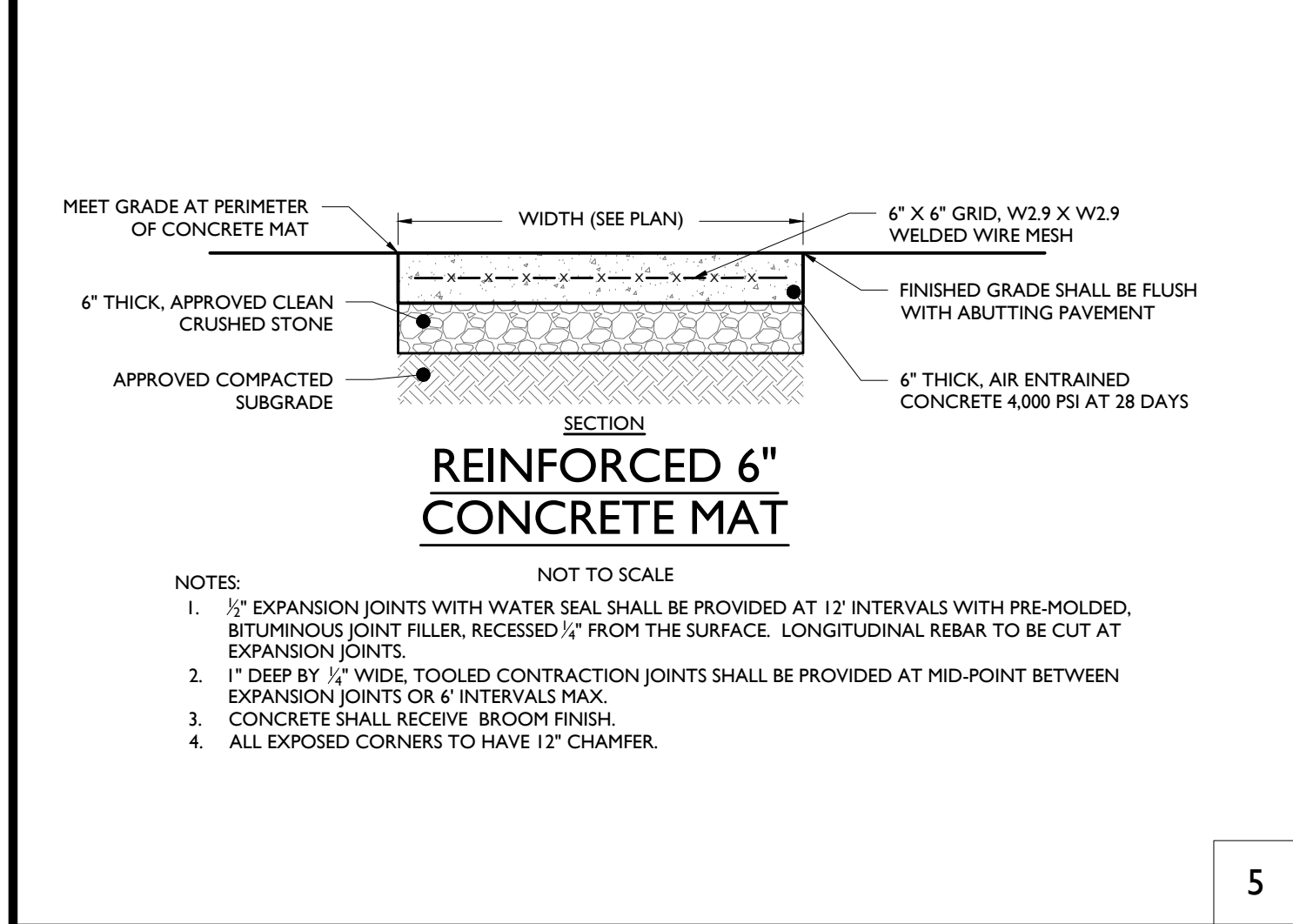
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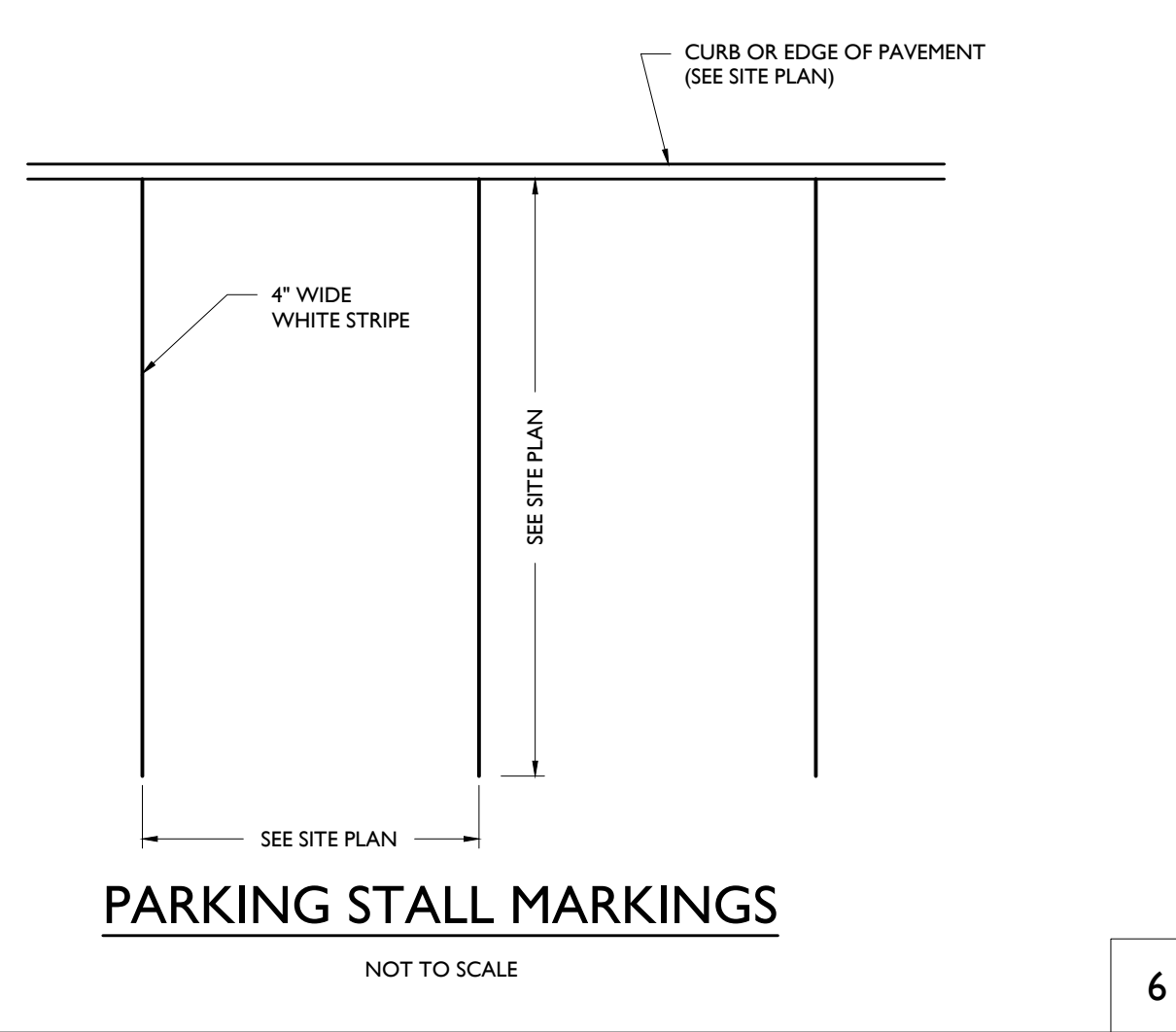
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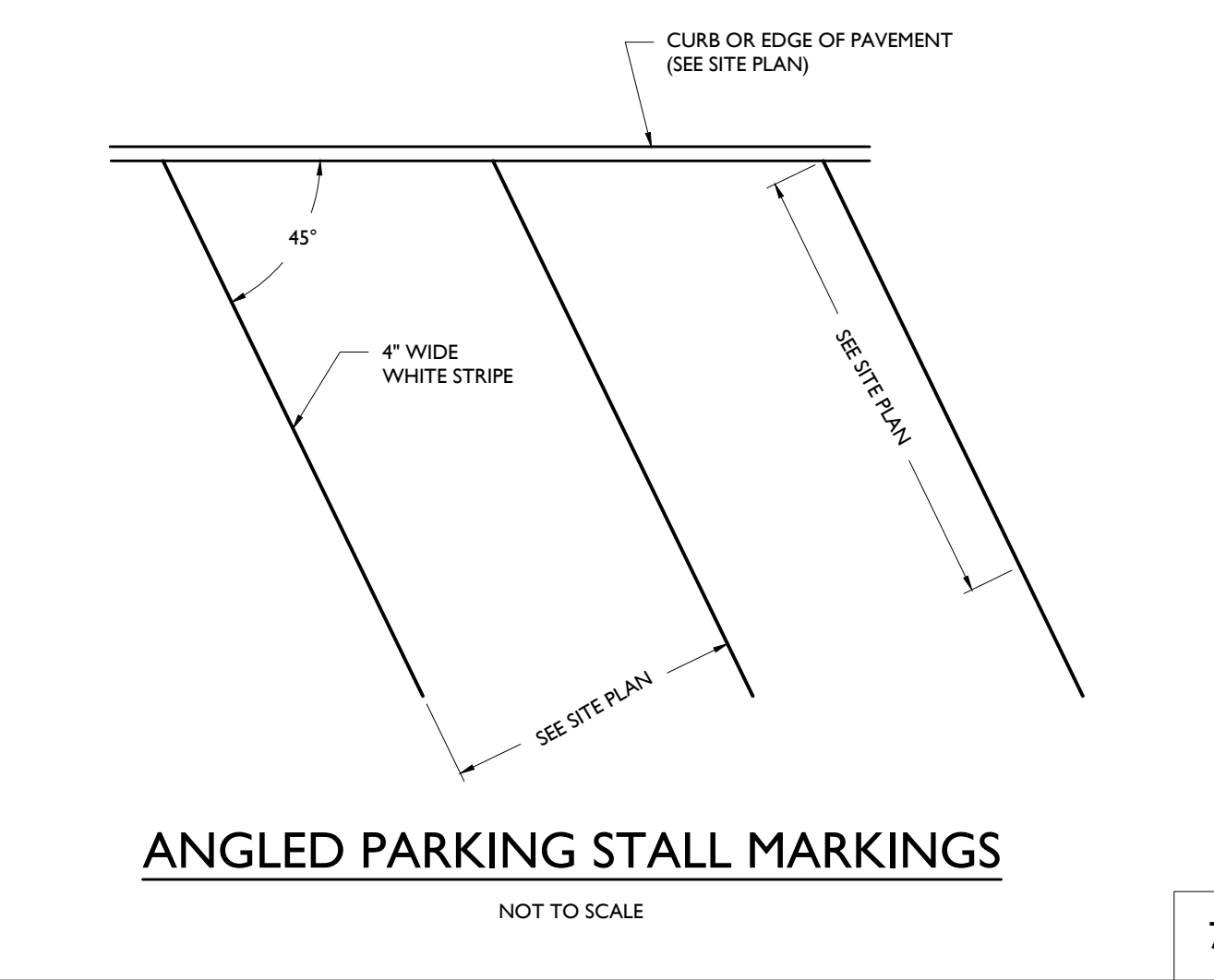
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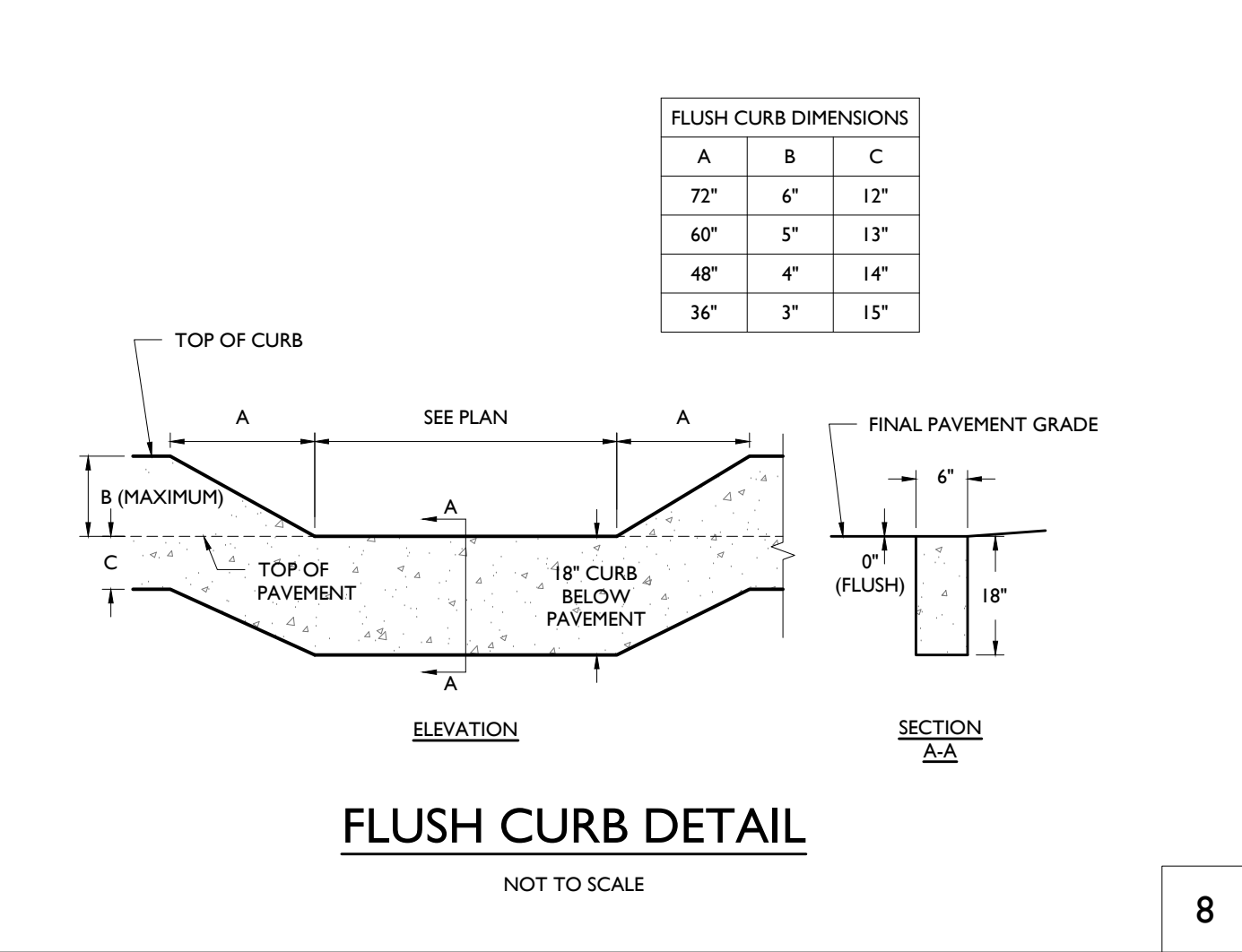
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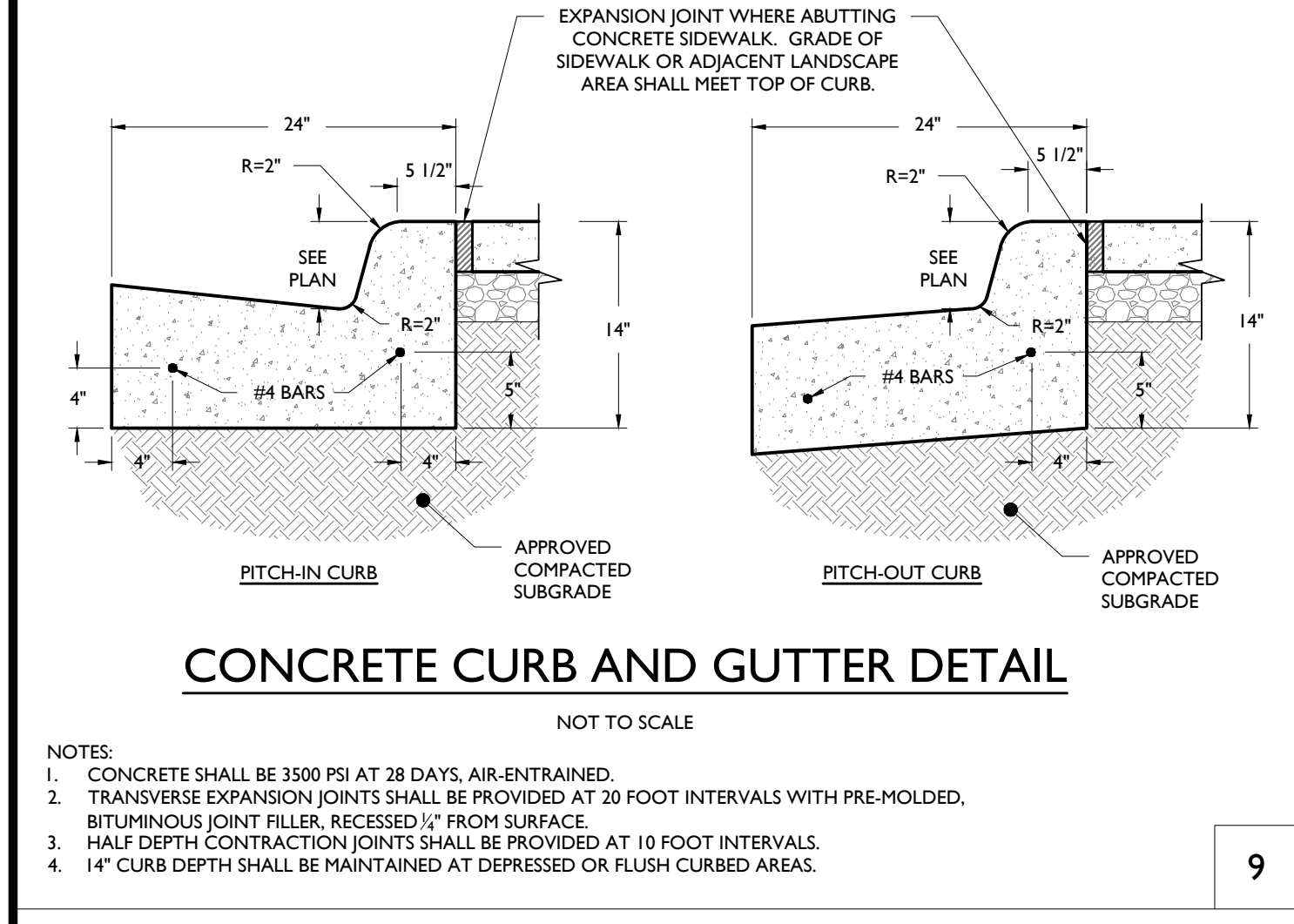
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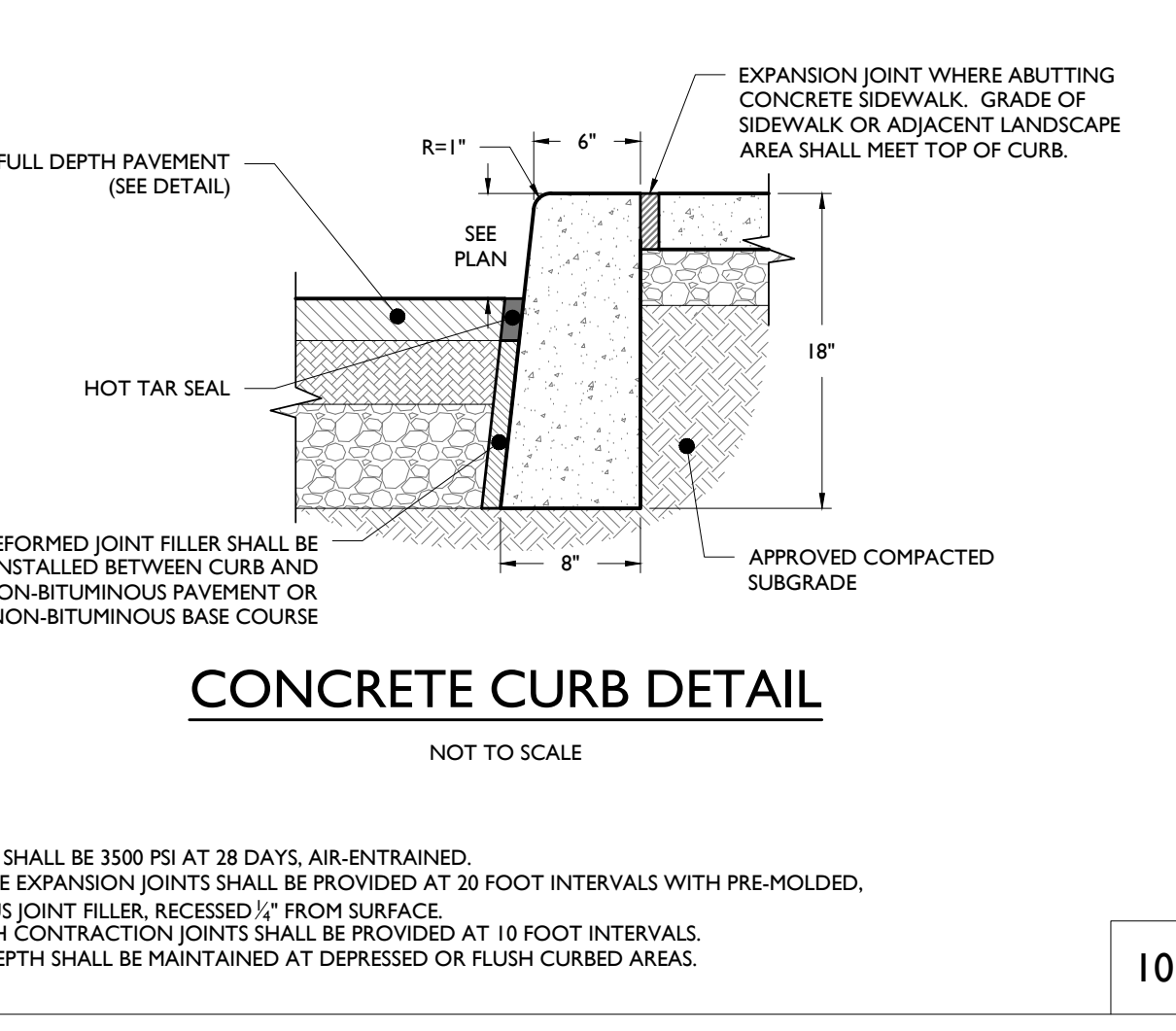
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10

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SITE DEVELOPMENT PLANS

**44 EAST FLINT STREET**  
PROPOSED MIXED-USE BUILDING

PARCEL ID: 09-02-481-007 & 09-02-481-008  
44 EAST FLINT STREET  
VILLAGE OF LAKE ORION  
OAKLAND COUNTY, MICHIGAN

STATE OF MICHIGAN  
JAMES COONEY  
LICENSED PROFESSIONAL ENGINEER  
MICHIGAN LICENSE NUMBER 969428

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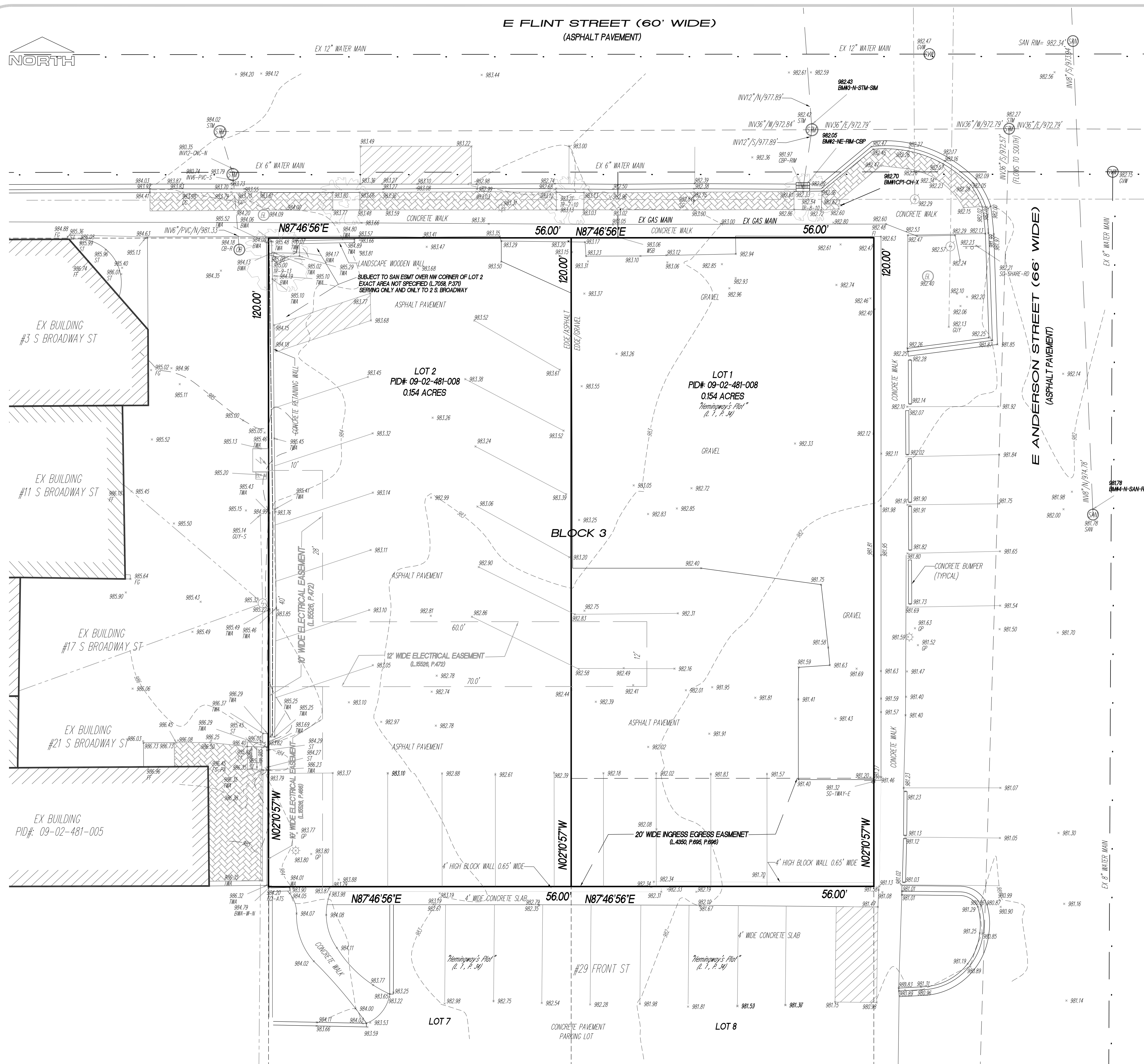
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TITLE:  
**CONSTRUCTION DETAILS**

DRAWING:  
**C-7**

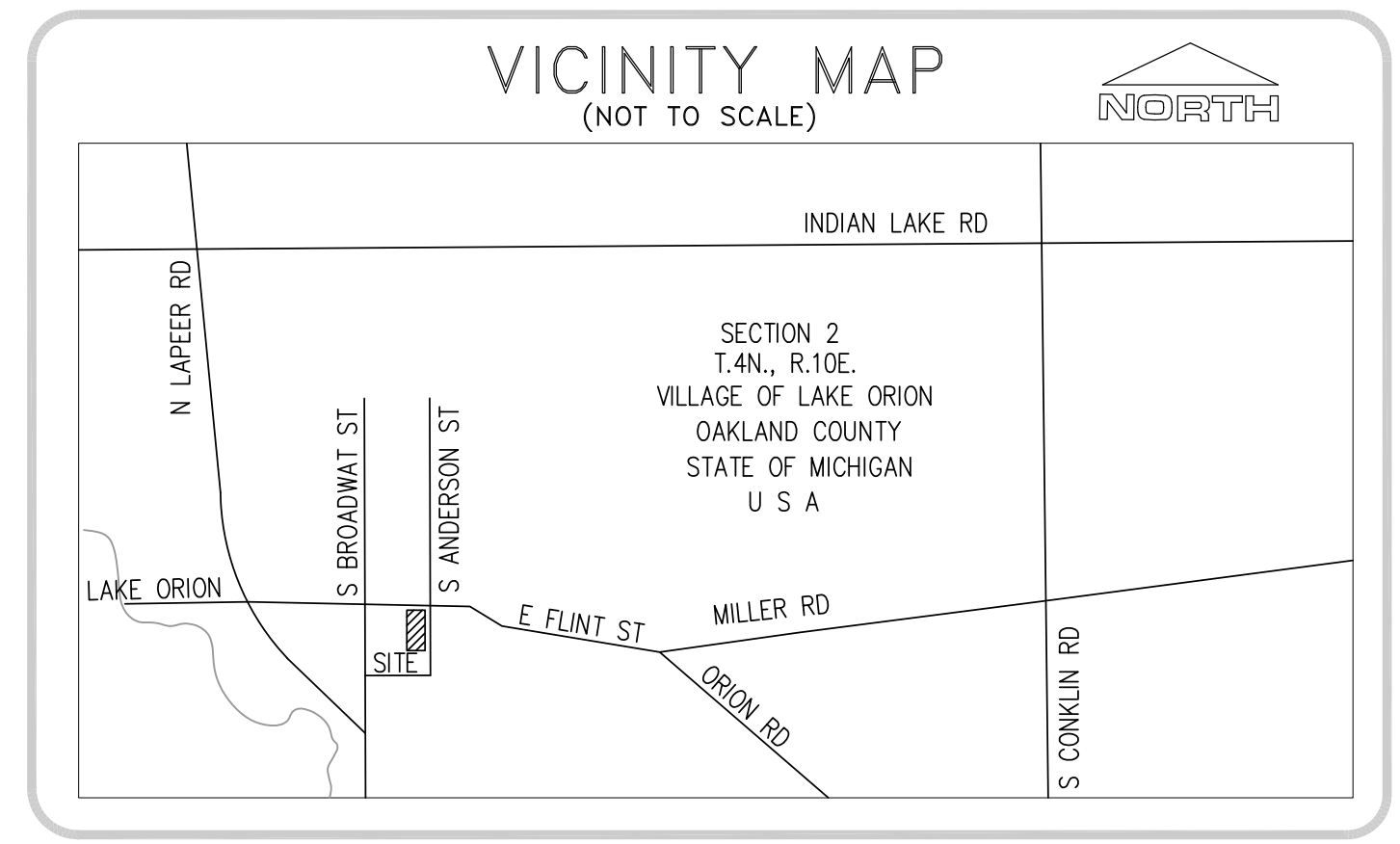
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# TOPOGRAPHIC SURVEY



### LEGEND

- = UTILITY POLE
- = OVER HEAD WIRE
- = CHAIN LINK FENCE
- = PAVEMENT CATCH BASIN/CBP
- = CATCH BASIN
- = EX. SANITARY M.H.
- = EX. GATE VALVE & WATER
- = EX. STORM M.H.
- = EX. ELECTRIC MANHOLE
- = EX. HYDRANT
- = WATER SHUT OFF
- = ELECTRIC METER
- = TRANSFORMER
- = LIGHT POLE
- = ELEVATION
- = FINISH FLOOR
- = FINISH GRADE
- = PARCEL IDENTIFICATION NUMBER
- = GUARD POST
- = TREE-8" TRUNK-8FT SPREAD
- = TOWN/RANGE
- = LIBER/PAGE
- = TOP/BOTTOM OF WALL
- = BENCH MARK
- = NORTH AMERICAN VERTICAL DATUM AS OF 1988
- = EXISTING
- = INVERT
- = CHISELED "X" IN CONCRETE
- = FOUND IRON/CAPPED IRON
- = SIGN
- = CONTROL POINT



### GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
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### BENCH MARK INFORMATION

**Site Bench Mark No. 1:**  
Top of chiseled "X" in concrete walk, being 8.5 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.70' (NAVD88).

**Site Bench Mark No. 2:**  
NE rim of pavement catch basin, being 15.9 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.05' (NAVD88).

**Site Bench Mark No. 3:**  
North rim of a storm manhole, being 10 feet N'LY from BM#2. EL=982.43' (NAVD88).

**TOTAL LAND AREA**  
13,440 ± SQUARE FEET  
0.308 ± ACRES

### FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.

### LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362  
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet--0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362  
Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
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Mende Bezanovski, P.S. 49430  
Professional Surveyor in the State of Michigan

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SCALE: 1" = 10'  
FIELD: MB  
REVISIONS:  
CLIENT: TRI-COUNTY ENGINEERING

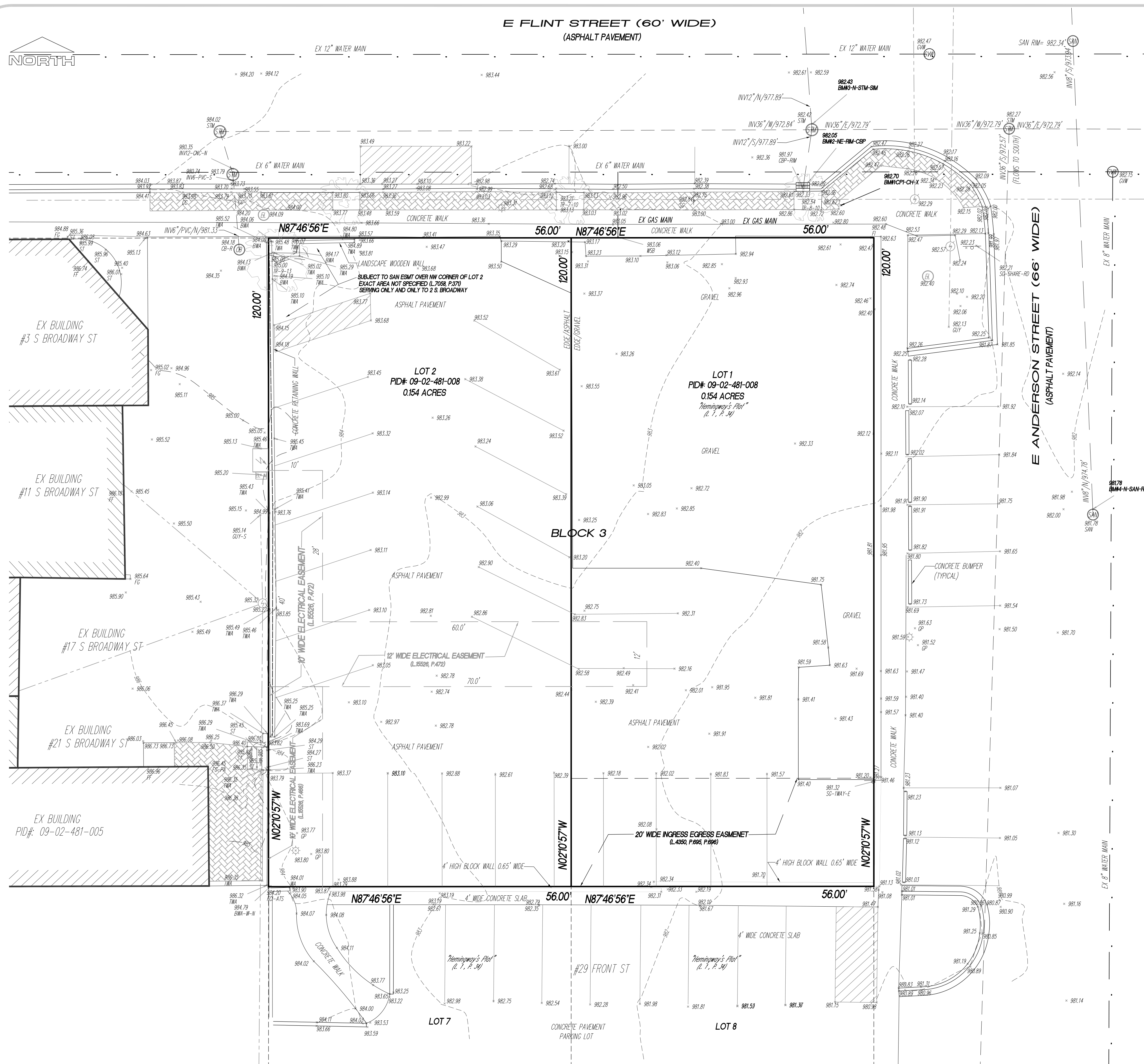
36636 North Pointe Dr., New Baltimore, MI 48064  
TEL: (586) 822-4984, FAX: (586) 591-5930  
info@ab-sb-landsurvey.com, www.ab-sb-landsurvey.com

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JOB NUMBER: 2021-02-04-127-SS  
CHECKED: MB  
DATE: 03-07-2021  
DRAWN: MB  
DATE: 03-07-2021

LAKE ORION, MI, 48362  
TEL: (810)-394-7887  
FAX: (586)-566-4642

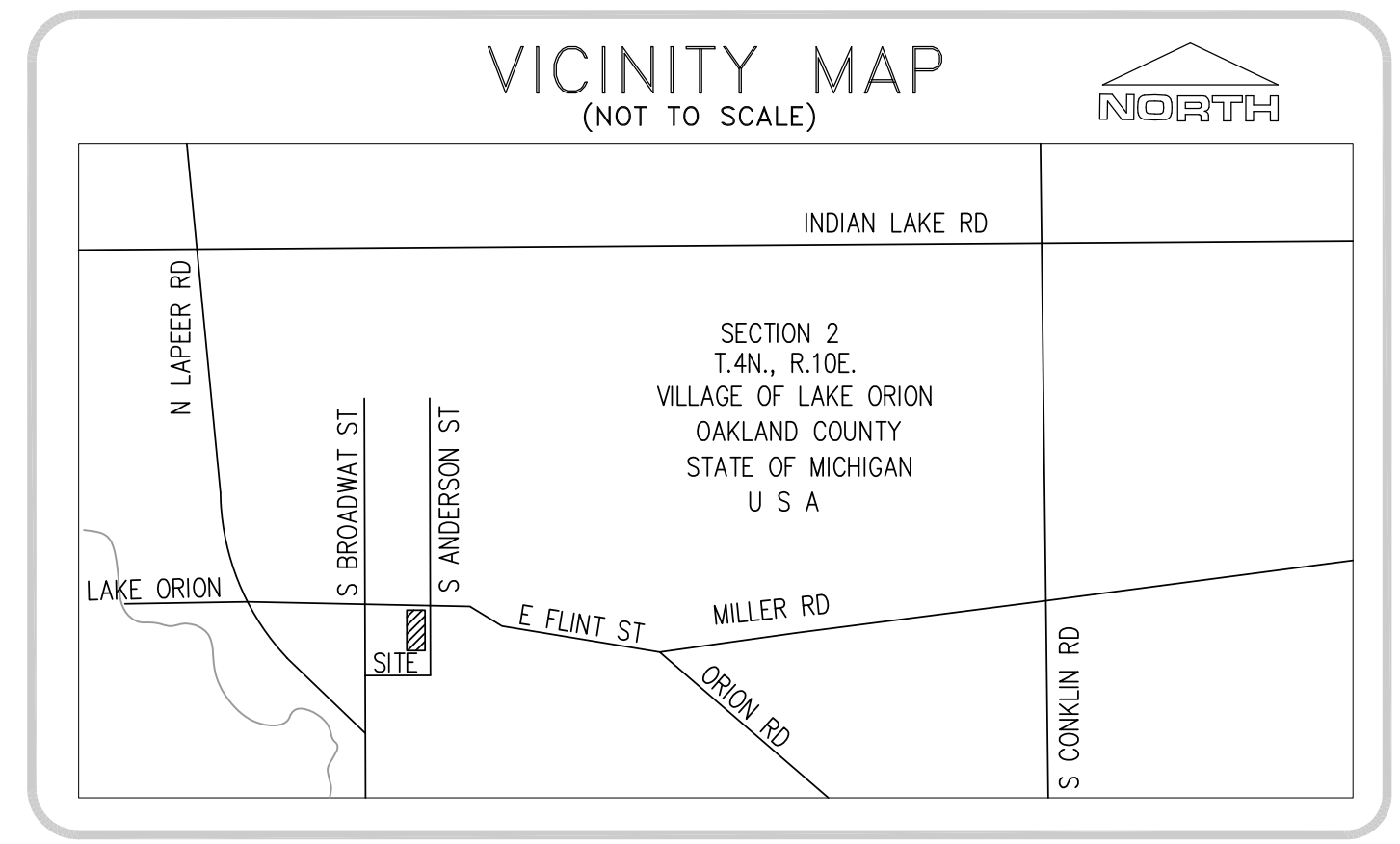


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JOB NUMBER: 2021-02-04-127-SS  
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DATE: 03-07-2021

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PAGE: 1 OF 1  
DRAWN: MB  
DATE: 03-07-2021

ADDRESS:  
44 E Flint Street  
Lake Orion, MI, 48362

TEL: (810)-394-7887  
FAX: (586)-566-4642





44 E FLINT  
PHOTOMETRIC LAYOUT  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

**LITHONIA LIGHTING**

**LDN6 STATIC WHITE**

6" Round Recessed LED Downlight

General Illumination Square Downlight 2"

Features & Specifications: 6" Round Recessed LED Downlight, 4000K, 750LM, 80CRI, Matte Diffuse, 1/2" Deep, 1/2" Trim, 1/2" Hole, 1/2" Spacing, 1/2" Mounting Height, 1/2" Base, 1/2" Finish, 1/2" Material, 1/2" Color, 1/2" Weight, 1/2" Dimensions, 1/2" Notes.

Performance Data: Table with columns for Luminaire Type, Mounting Height, and Footcandle (FC) values.

Distributions: Diagrams showing beam spread and light distribution patterns.

Dimensions: Technical drawing of the luminaire showing dimensions.

**gotham | EVO**

Multiple Layers of Light

General Illumination Square Downlight 2"

Features & Specifications: 2" Square Recessed LED Downlight, 4000K, 250LM, 80CRI, Matte Diffuse, 1/2" Deep, 1/2" Trim, 1/2" Hole, 1/2" Spacing, 1/2" Mounting Height, 1/2" Base, 1/2" Finish, 1/2" Material, 1/2" Color, 1/2" Weight, 1/2" Dimensions, 1/2" Notes.

Performance Data: Table with columns for Luminaire Type, Mounting Height, and Footcandle (FC) values.

Distributions: Diagrams showing beam spread and light distribution patterns.

Dimensions: Technical drawing of the luminaire showing dimensions.

**WEDGE LED**

Architectural Wall Scape Precision Refractive Optic

Specifications: Depth 1", Depth 1.5", Height 1.5", Width 1.5", Weight 153.5g

Introduction: The WEDGE LED family is designed to meet specific... (text continues)

Ordering Information: Table with columns for Luminaire Type, Mounting Height, and Footcandle (FC) values.

Notes: Additional technical details and warnings.

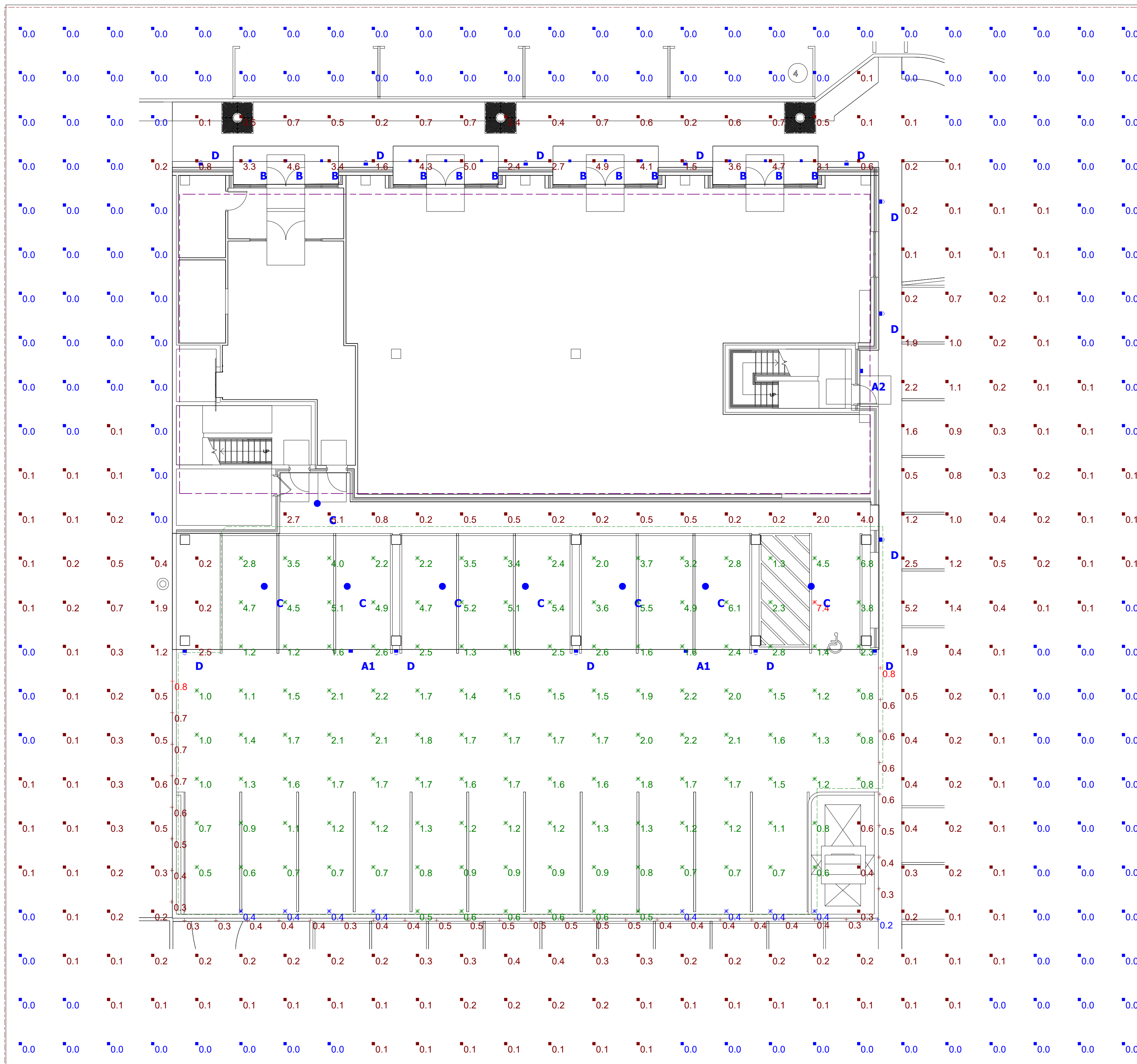
**VESTA AT7972**

WALL

DESCRIPTION: Translucent simplicity with versatile position is offered with this wall sconce that measures 12 inches in length. Made from aluminum or stainless steel, this sconce is perfect for use in a variety of settings.

Specifications: Table with columns for Luminaire Type, Mounting Height, and Footcandle (FC) values.

Notes: Additional technical details and warnings.



Plan View  
Scale - 1" = 10ft

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	✳	1.9 fc	7.4 fc	0.4 fc	18.5:1	4.8:1
Parking Property Line	+	0.5 fc	0.8 fc	0.2 fc	4.0:1	2.5:1
Overall	■	0.8 fc	7.4 fc	0.0 fc	N/A	N/A

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
  - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

**Alternates Note**  
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

**Ordering Note**  
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Drawing Note**  
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Mounting Height Note**  
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
□	A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	4742	0.9	46.6589
□	A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
□	B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
○	C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
⌋	D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7

15' - 0" A.F.F.  
9' - 0" A.F.F.  
8' - 0" A.F.F.  
11' - 0" A.F.F.  
7' - 0" A.F.F.

Designer  
Date  
03/03/2024  
Scale  
Not to Scale  
Drawing No.  
#24-29039\_V1  
59















# MCKENNA

May 23, 2024

Planning Commission  
Village of Lake Orion  
21 E. Church St.  
Lake Orion, MI 48362

**Subject: VLO-24-02 44 E. Flint, Site Plan Review #1**

Commissioners:

We have received a site plan application from Jeff Schmitz (the “applicant/developer”) for the construction of a ±6,700 square feet, 4-story mixed-use building located at 44 E. Flint Street (the “project”). The project is in the Downtown Center (DC) District and Height Overlay District on the southwest corner of E. Flint Street and S. Anderson Street. The project is situated on two parcels (09-02-481-007 and 09-02-481-008). In July 2021, the developer received site plan approval for the construction of a paid parking lot within the project area.

In November 2022, a conceptual mixed-use proposal was brought to the Planning Commission for discussion. Conversations with Village staff picked back up in 2024 to envision a higher and better use for the site. We offer the following comments for your consideration; with underlined text denoting items that require additional information, consideration, or a waiver from the Code.

## SUMMARY OF COMPLIANCE

Additional comments and information can be found in the relevant section of this report; we recommend that the applicant revise and resubmit a complete site plan addressing comments from all plan reviewers.

Ordinance Standards	Compliance	Comments
1. Required Information	<u>Can Comply</u>	<u>Seal, scale, landscape plan, grading, utilities.</u>
2. Use & Harmonious Design	<u>Can Comply</u>	<u>Notes required for services and retail operations.</u>
3. Dimensional Standards	<u>Can Comply</u>	<u>Additional architectural details required for height allowance.</u>
4. Natural Features / Landscaping	<u>Can Comply</u>	<u>Landscape plan required; consider additional landscape opportunities.</u>
5. Access & Circulation	<u>Can Comply</u>	<u>Pedestrian safety, Village Engineer, and Fire Marshal approval req'd.</u>
6. Parking & Loading	<u>Can Comply</u>	<u>Waiver and additional on-street design considerations required.</u>
7. Building Design	<u>Can Comply</u>	<u>Additional architectural details required for mixed-use/residential bldg.</u>
8. Engineering / SWM	<u>TBD</u>	<u>See Engineer's report dated May 22, 2024.</u>
9. Lighting	<u>Can Comply</u>	<u>Traditional lighting, illumination reduction, and waiver required.</u>

**HEADQUARTERS**  
235 East Main Street  
Suite 105  
Northville, Michigan 48167

☎ 248.596.0920  
☎ 248.596.0930  
MCKA.COM

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# Site Plan Review

Standards for Site Plan Approval are set forth by Article 19: Administrative Procedures and Standards. This project is reviewed against the Village's [Zoning Ordinance](#), Master Plan, existing site conditions, and sound planning and design principles.

## 1. REQUIRED INFORMATION

Section 19.02(D) lists the information required of all site plans undergoing Planning Commission review. Items that are missing or in need of clarification are noted within this document, summarized below:

- Signature and seal of the design professional
- 1" to 20' scale and graphic scale
- Proposed grade changes and surface materials – it is recommended that the final topography and architectural site plan be combined on a single sheet.
- General landscape plan – street trees, planters, and screening of mechanical equipment.
- Existing and proposed utilities.

## 2. USE & HARMONIOUS DESIGN

**Standards:** *All elements of the site shall be harmoniously and efficiently designed in relation to the topography, size, and type of land, and the character of the adjacent properties and the proposed use. The site will be developed so as not to impede the normal and orderly development or improvement of surrounding properties for uses permitted on such property.*

The site is zoned the DC, Downtown Center District where the proposed mixed-use building is considered to be acceptable should the Project comply with the following standards:

- a. *All business establishments shall be retail, service, or entertainment establishments dealing directly with consumers. All goods produced on the premises shall be sold primarily from the premises where produced. Proposed uses include ground-floor retail, second-floor office/service, and third- and fourth-floor residential. The applicant must note that goods produced on-site will primarily be sold on the premises. Further, tenants that serve liquor (bars, restaurants) must go through the special land use approval process prior to the establishment of such use(s) (Sec. 6.02(B)(6)).*
- b. *All business, servicing, or processing (except for off-street parking or loading) shall be conducted within completely enclosed buildings, except as a permitted temporary use. The applicant must note that all business, servicing, and processing will be conducted indoors.*
- c. *Storage of commodities shall be within buildings and shall not be visible to the public from a street or thoroughfare. The applicant must note that the storage of commodities will be indoors and screened from the view of Flint and Anderson Streets.*
- d. *There shall be no drive-in or drive-through service with any establishment. A drive-through establishment is not proposed as part of this project.*
- e. *No automotive uses or other uses meant to primarily service motorized vehicles such as auto dealerships, car washes or gas stations shall be permitted. No automotive uses are proposed for this project.*

The project is not expected to impede orderly development or improvement of nearby properties, provided such items underlined above are confirmed. Additional site and design considerations will be discussed further.

**3. DIMENSIONAL STANDARDS**

**Standards:** *The site plan shall comply with the district requirements for minimum floor area, height of building, lot size, yard space, density and all other requirements as set forth in the Schedule of Regulations.*

The project generally complies with the dimensional standards of the DC and Height Overlay Districts; all comments below are subject to an approved lot combination being completed prior to final approval.

Standard	Required	Proposed	Comments
Min. Lot Area	n/a	0.31 ac.	Complies
Min. Lot Width	n/a	112 ft.	Complies
Max. Front Yard Setback	10 ft	0 ft.	Complies
Max. Side Yard Setback	10 ft.	0 ft.	Complies
Max. Rear Yard Setback	n/a	~43 ft.	Complies
Max. 1 <sup>st</sup> Floor Area	20,000 sq. ft.	~6,700 sq. ft.	Complies
Max. Building Height	52 ft. / 4 stories	~51 ft. / 4 stories	Complies (Height Overlay, see below)

**Height District Overlay Standards:** *When reviewing any proposed building within the Height Overlay District, the Village shall find the proposed location for the structure, its form, and its relationship to adjacent land uses and buildings meets all of the following criteria:*

- a. *Shall be of such orientation to adjacent land uses and buildings as to be context sensitive in design.* The proposed building generally complies with the dimensional standards above and is oriented towards Flint Street, one of the primary retail frontages downtown, consistent with the other buildings along the street. The project would create a more consistent street frontage, which is currently interrupted by a parking lot. Additionally, the proposed land uses are consistent with the area and sound planning principles; by incorporating a mix of uses, including residential, the development helps transition from the retail core to the surrounding neighborhoods.
- b. *Shall incorporate building height modulation to reduce the building scale at the street edge(s) or lakefront (where determined), with the fourth (4) story stepped back a minimum of ten (10) feet from the main building face(s).* The fourth-floor walls fronting Flint Street are shown to be stepped back 7 feet from the front building line; this must be increased to meet this standard and repeated along Anderson Street.
- c. *Shall incorporate architectural features, including, but not limited to: arches, arcades, porticos, repeating window patterns, and cornices. Blank walls facing streets or public areas shall be prohibited.* The applicant has incorporated several high-quality architectural features, including arches, porticos, repeating window patterns, and cornices. The sides facing Anderson Street and the alley (adjacent to Hanson’s) shall have the same level of articulation as the Flint-facing side to meet this standard.

- d. *Shall have a discernible base and cap that are clearly defined by horizontal elements along the bottom and top of the building.* The proposal includes a clearly discernible cap, with charcoal-colored metal panels and heavy roof line. The ~4-ft.-high limestone base is not clearly discernible from the rest of the façade, being short relative to the height of the building and similarly lightly colored. We recommend a warmer, naturally colored primary masonry brick for the building to provide additional contrast with the limestone base and dark metal cap and to create a clearly defined horizontal base. This would also serve to soften the building's appearance and enhance compatibility with the surrounding area and historic feel without compromising the contemporary design.
- e. *Screening shall be compatible with the architectural design of the building.* The plan notes that the transformer and parking lot will be screened with a masonry screening wall on two sides; the applicant must provide a note and cross-section indicating the screening wall material will match the building.

#### 4. NATURAL FEATURES & LANDSCAPING

**Standards:** *The existing natural landscape shall be preserved in its natural state as much as possible, by minimizing tree and soil removal and by topographic modifications that result in maximum harmony with adjacent properties. There shall be reasonable visual and sound privacy. Fences, walks, barriers, and landscaping shall be used, as appropriate, for the protection and enhancement of property and the safety and privacy of occupants and users.*

Per Section 15.02, parcels located within the Downtown Center District are exempt from the requirements of Section 15.02, except for the following:

- a. *Trees shall be provided to enhance the building and street where determined appropriate by the Planning Commission.*
- b. *Planter boxes or other landscape features shall be incorporated where appropriate.*
- c. *Outdoor utility equipment, such as transformers, shall be screened to the greatest extent possible by fences, walls, planter boxes or landscape features.*

The site plan depicts renderings with landscape planters and street trees along Flint; a general landscape plan is required to identify these elements. The three existing street trees must be protected or replaced if removed. It is recommended that additional right of way landscaping be provided at the vehicle entrance to the site, just south of the five on-street parking spaces, within a curbed landscape bed to assist with stormwater management, protect the existing light pole (remove bollards), and enhance the area with additional foliage and screening of the building and parking. As discussed further below, it is also recommended that the applicant replace the two southern on-street parking spaces with additional landscaping, including one street tree, to permit clear vision while exiting the site and creating a defined, enhanced driveway – two additional off-street parking spaces are proposed along Flint St. as part of this project.

ROW landscaping and on-street parking removal are subject to review and approval by Village Council.

The proposed transformer located on the southeast corner of the property, is shown to be screened on two sides by the 6-ft. masonry screen wall enclosing the parking area. This screening wall must match the primary building material. Further, the transformer must be screened to the north, where it is visible from Anderson Street.

## 5. ACCESS & CIRCULATION

**Standards:** *All buildings or groups of buildings shall be so arranged as to permit convenient and direct emergency vehicle access. The arrangement of public or common ways for vehicular and pedestrian circulation shall respect the pattern of existing or planned streets or pedestrian or bicycle pathways in the vicinity of the site. Streets and drives that are a part of an existing or planned street system serving adjacent developments shall be of an appropriate width to the volume of traffic they are planned to carry and shall have a dedicated right-of-way equal to that specified in a recognized source of reference. There shall be a pedestrian circulation system that is insulated as completely as possible from the vehicular circulation system.*

- a. **Vehicular Access.** Vehicular access to the site is provided by a two-way, 22-ft.-wide driveway off Anderson Street, leading to off-street residential parking. Clear vision egress will be obstructed by the on-street parking to the south; it is recommended that these two parking spaces be replaced with a curbed right of way landscape bed, with an additional street tree, to create a defined access point, promote clear vision, assist with stormwater management, and enhance the area. Two additional on-street parking spaces are provided along Flint Street as part of this project. ROW landscaping and on-street parking modifications (reductions) are subject to review and approval by the Village Council.

Vehicular and emergency access for the site is subject to further review and approval by the Village Engineer and Fire Marshal. Nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners, including the DDA.

- b. **Cross Access.** *As a condition of site plan approval, the Planning Commission may require that cross-access drives be provided in order to reduce the number of points of ingress and egress to the property, to decrease traffic congestion and improve safety on abutting roadways.* There is no vehicular cross access proposed at this time and only one ingress/egress is proposed for the site, along the less-trafficked Anderson Street. We do not believe that cross-access is necessary given the location, uses, and geometric constraints of the site; however, nothing shall preclude the applicant from exploring shared access opportunities with neighboring parcel owners.
- c. **Pedestrian Connectivity.** The existing right of way sidewalks along Flint and Anderson will be maintained and a 5-ft. concrete walk along the south side of the building provides access to the Anderson sidewalk and rear parking area. Pedestrian access is maintained to the western alleyway, which has shared ownership with parcel 09-02-481-018 (27 S. Broadway), 09-02-481-003 (17 S. Broadway), and 09-02-481-017 (Village ROW); as well as to the parking lot to the south, which is owned by the DDA. The sidewalk along Anderson must be dimensioned; this sidewalk shall be curbed at the street for pedestrian safety, accessibility (14.04(B)(3)), and stormwater management, and, if necessary, widened to a minimum of 7 ft. to limit vehicle encroachment. Curbing should be cohesive with any additional right of way landscape beds, as previously discussed. As a matter of public welfare, curbing and sidewalk modifications do not require separate approval by the Village Council, provided these improvements are approved by the Village Engineer.

## 6. PARKING & LOADING

**Standards:** *Off-street parking, loading, and unloading areas and outside refuse storage areas, or other storage areas that face or are visible from adjacent homes, or from public thoroughfares, shall be screened by walls, fencing or landscaping of effective height.*

- a. **Parking Spaces.** Because the project is a mixed-use building, the Applicant must provide an adequate number of off-street parking spaces per use; however, in the DC District, off-street parking is not required for office or retail uses. Therefore, only parking for the multifamily residential use is required, at two spaces per dwelling unit. With ten units, 20 spaces are required – these are shown on the plan, with one space

dedicated for barrier-free, van-accessible parking. Further, two off-street parking spaces are being restored along Flint St. where the current entrance to the surface lot is.

- b. **Dimensions and Layout.** The 20 off-street parking spaces are entirely within the site, dimensioned at 9 ft. x 19 ft. with a 22-ft.-wide maneuvering lane; a scale must be provided to verify all site plan dimensions. As proposed, passenger parking is tight, particularly for the two west-most parking spaces, which run a high risk of conflict with the alley wall, building columns, and/or other parked vehicles. Although the required off-street parking is shown, we recommend that the Planning Commission grant a waiver for a reduction of up to 5 spaces, effectively requiring 1.5 spaces per dwelling unit. In doing so, additional maneuvering (and landscaping) space would be afforded; this may also free up space for an alternative trash enclosure location as discussed below. Further, as mentioned, nothing shall preclude the applicant from pursuing cross access opportunities with neighboring parcel owners.
- c. **Loading Space.** One 10 ft. x 50 ft. loading space is required (Sec. 14.05(C)) for retail space between 2,000-20,000 square feet; however, loading should not be closer than 50 ft. to a residentially zoned or used parcel. With a residential use across Anderson and the site itself being mixed-use residential, we recommend the loading requirement be waived or lessened (i.e., 10ft. x 25 ft.) by the Planning Commission; otherwise, this must be showed on a revised plan.
- d. **Trash Enclosure.** A dumpster is not shown on the site plan. The DDA owns the parking lot to the south and has indicated an interest in working with the applicant to establish shared dumpster use and access within its lot. It is encouraged that these discussions continue; the potential location of the shared dumpster (and screening) must be shown on the plan and a signed shared access and use agreement shall be executed prior to final approval. An alternative trash enclosure design shall be prepared in the event a shared dumpster cannot be achieved.

## 7. BUILDING DESIGN & ARCHITECTURE

**Standards:** *Building design and architecture shall relate to and be harmonious with the surrounding neighborhood in terms of texture, scale, mass, proportion, materials, and color. Buildings should be designed with stylistic harmony and aim to serve people of all ages and abilities.*

In addition to the specific requirements of the Height Overlay District, the building must comply with the development standards of the Downtown Center District (6.03(C)); standards requiring compliance are summarized as follows:

- a. **Complementary Character.** The Village Downtown is historic, with several excellent examples of preserved and enhanced buildings. The proposed development incorporates arches, porticoes, masonry coursework, and is oriented to the street as a tribute to this character. These elements should be repeated on all publicly visible facades. The massing and height of the building requires that additional complementary details be considered. We recommend incorporating warm-toned brick wherever possible, horizontal banding, and distinctive quoins on all corners.
- b. **Windows.** On street-facing facades, the minimum percentage of glazing on the ground floor is 50%, with windows raised two feet from the ground; on upper stories, it is 30%, with upper story windows having a vertical orientation. The Flint-facing façade comes slightly below the required standards, requiring ground floor windows to be raised and slightly more glazing. We believe vertical orientation is achieved with archways and mullions.

The Anderson-facing façade requires additional glazing, primarily on the ground floor. Distinctive mullions, archways, and window framing/coursework should be incorporated to bring depth to this façade.

- c. **Canopies.** Cloth fabric canopies are encouraged, while metal canopies are discouraged. This is not prescriptive language, and we believe the proposed metal canopies are satisfactory for the building. These shall provide 7.5-ft. clearance from the sidewalk.
- d. **Lighting.** Fixtures should be harmonious with the existing street lighting. The proposed sconce lighting is very sleek and relatively large; we recommend more traditional fixtures such as gooseneck or lantern-type lighting to complement the historic character of the area.
- e. **Facades.** Flat facades are prohibited. Architectural detailing on the Flint-facing façade must be incorporated on the Anderson-facing and alley-facing facades; the archways, reliefs, and patterns, should be replicated on public-facing corners. Currently, the alley-facing façade is entirely blank; windows should be incorporated wherever possible. Where windows are not possible or practical, modulation of the brick through reliefs and patterns must be included.

**8. ENGINEERING / STORMWATER MANAGEMENT**

**Standards:** *Appropriate measures shall be taken to ensure that the removal of stormwater will not adversely affect adjoining properties or the capacity of the public storm drainage system and shall comply with State and Federal standards. Provisions shall be made for the construction of stormwater facilities, and the prevention of erosion and dust. Surface water on all paved areas shall be collected at intervals so that it will not obstruct the flow of vehicles or pedestrian traffic and will not create nuisance ponding in paved areas. Adequate services and utilities and improvements shall be available or provided, located and constructed with sufficient capacity and durability to properly serve the development. All utilities shall be located underground. Where possible and practical, drainage design shall recognize existing natural drainage patterns.*

We provide comments for additional landscaping and curbing within this report to support stormwater management for and around the site; these modifications and all stormwater and utility requirements must be verified and addressed to the satisfaction of the Village Engineer. In addition to preliminary site plan review, the project must undergo final site plan review, including a detailed engineering review, prior to being reviewed and permitted by the Building Department.

**9. LIGHTING**

**Standards:** *Exterior lighting shall be so arranged so that it is deflected away from adjoining properties and so that it does not impede vision of drivers along adjacent streets.*

**Findings:** Both building-mounted and freestanding pole lighting are proposed for the development; a photometric plan and fixture cut sheets have been provided. Illumination requirements are as follows:

Lighting Category	Standard	Proposed	Comments
Max. Height of Fixtures	22 ft.	<u>Unknown</u>	<u>May Comply: mounting height not specified.</u>
Max. Illumination at Any Given Point	10 fc.	7.4 fc.	Complies.
Max. Illumination at the Property Line	0.5 fc.	<u>0.8 fc.</u>	<u>Can Comply: reduction and waiver required.</u>

The Planning Commission may modify lighting requirements in considering possible off-site impacts and the character of the proposed use. We recommend that the lighting along Anderson be reduced, to minimize off-site impacts. We recommend the Planning Commission grant a waiver for proposed illumination along Flint.

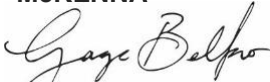
**RECOMMENDATION**

At this time, there are several outstanding comments regarding site plan completeness, building design, site layout, access, and landscaping. At this time, we recommend that the applicant revise and resubmit a complete site plan set for the mixed-use development at 44 E. Flint Street, addressing the comments within this report and any comments from the Village Engineer or Fire Marshal.

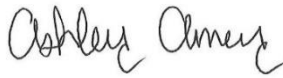
If you have any questions, please do not hesitate to contact us. Thank you.

Respectfully submitted,

**McKENNA**



Gage Belko, AICP  
Associate Planner



Ashley E. Amey, NCI  
Assistant Planner

**CC:** **Village Manager**, Mr. Darwin McClary ([mcclaryd@lakeorion.org](mailto:mcclaryd@lakeorion.org))  
**Village Clerk**, Ms. Sonja Stout ([stouts@lakeorion.org](mailto:stouts@lakeorion.org))  
21 E. Church Street, Lake Orion, MI 48362



May 22, 2024

Planning Commission  
Village of Lake Orion  
21 E. Church St.  
Lake Orion, MI 48362

Re: 44 E. Flint Street  
Site Plan Review  
NFE Job No. N930

Dear Commissioners:

We have reviewed the Site Plan for the above referenced site. Our review is consistent with the requirements of Article 19 of the Zoning Ordinance, Section D – Required Information and relevant sections of the Zoning Ordinance related to the zoning district. We have the following comments:

1. The Site plan must be prepared superimposed on the topographic information, indicating the property lines (with bearings and distances), all existing easements, and all existing and proposed utilities.
2. No scale is indicated on the Site Plan title block.
3. Show proposed dimensions between building wall and property lines. A temporary construction easement may be required from adjacent private property owner.
4. If the building wall is placed on the east property line, the existing parking blocks in Anderson Street must be relocated eastward to act as wheel stops and prevent vehicles from overhanging the existing 4' wide sidewalk.
5. Parcel 09-02-481-007 is incorrectly labeled as -008.
6. The proposed pavement material for the parking area must be indicated on the Site Plan.
7. No storm water management is indicated on the site plan. No surface area from a parking area shall be permitted to drain on to adjoining property or across a public sidewalk.
8. The proposed building is placed over the existing electrical easement (L. 15526, P. 468, 470, 472). Provide information regarding the easement that permits the construction of a building within the easement.
9. An existing sanitary sewer easement (L7058, p 371) is indicated within the proposed building footprint. Provide information regarding the easement that permits the construction of a building within the easement.
10. The proposed transformer, curbing and concrete pad are indicated over the Ingress / Egress easement (L 4350, P. 596).
11. A six foot tall masonry screen wall is proposed at the south end of the west property line, with just a pedestrian opening to maintain access to the raised porch area of the existing building to the west. A wall on the property line would create a space approximately 1 foot wide and three feet deep between the existing porch and the new screen wall, which we do not recommend for safety and maintenance.
12. No Landscape plan is provided. It appears that at least one tree will be removed for the construction of the building.
13. Provide a pavement cross section for the proposed pavements.
14. Indicate proposed site utilities, including proposed sanitary sewer lead, water service and fire protection.

Planning Commission  
May 22, 2024  
RE: 44 E. Flint Street SP #1  
Page 2 of 2

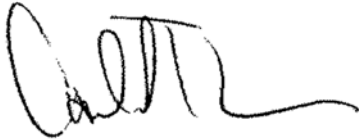
- 15. It must be demonstrated that adequate fire hydrant protection can be provided for the proposed building. Show nearest hydrants.
- 16. Expand topographic survey to show features to 100' beyond the site boundary per Article 19 requirements. Show existing screen wall along east property line. Show zoning of adjacent parcels, including across rights-of-way.
- 17. No method or location for trash removal is indicated on the site plan.
- 18. The presence or absence of wetlands and / or 100-year floodplain must be noted on the Site Plan.
- 19. A proposed finish floor elevation of the building is not indicated on the plan. An elevation change of approximately 1 foot occurs across the frontage of the building. Slopes to the sidewalk must meet ADA requirements.
- 20. We recommend that the proposed sidewalk adjacent to the parking be at least 7 foot in width to accommodate car overhang.
- 21. A parcel combination of Parcel 09-02-481-007 and 09-02-481-008 must be completed prior to construction.

Complete Engineering Plans meeting the requirements of Ordinance 31.26, Design and Construction Standards must be submitted for review, and no construction shall begin prior to engineering approval.

We recommend that the plan be revised and resubmitted subject to the above comments. If you have any questions, please do not hesitate to call.

Sincerely,

Nowak & Fraus Engineers



Carol P. Thurber, PE, CFM

- CC:
- Gage Belko, McKenna
  - Wesley Sanchez, DPW Director
  - Todd Stanfield, Lake Orion Police
  - Jeffrey Williams, Fire Marshall, Orion Township Fire Department
  - John Pender, Assistant Fire Chief
  - David Goodloe, Building Official, Orion Township
  - Sonja Stout, Clerk, Lake Orion

W:\G500-Z000 Files\N000-FILES\N930\Office\Correspondence\N930 Lt-01 Site Plan review.docx



# Charter Township of Orion

Section 7, Item A.

3365 Gregory Rd., Lake Orion MI 48359  
www.oriontownship.org

**Fire Department**

Phone: (248) 391-0304, ext. 2000

Fax: (248) 309-6993

To: Darwin McClary, Village Manager  
From: Jeff Williams, Fire Marshal  
Re: 44 E. Flint – Commercial / Multi Family Development  
Date: 5/15/2024

The Orion Township Fire Department has completed its review of the application for 44 E. Flint for the limited purpose of compliance with Village of Lake Orion's Ordinance's, Michigan Building Code, and all applicable Fire Codes.

Based upon the application and documentation provided, the Fire Department has the following recommendation:

Approved  
Approved with Requirements (See below)  
X Not approved

#### Requirements:

- All existing and proposed water mains and fire hydrant locations and sizes shall be indicated on the plans.
- Fire Department Connections (FDC) for sprinklers or standpipes shall be located with respect to hydrants, landscaping and fire department access roads. The Fire Department Connections shall be so located that the fire apparatus and hose connection to supply the system will not obstruct access to the building for other fire apparatus. The Fire Department Connection shall be located on the street side of the building or facing approved fire apparatus access roads, fully visible and recognizable for the street, fire apparatus access road or nearest point of the fire department vehicle access. The FDC location shall be indicated on the plans.
- The building is required to be equipped with a standpipe system installed in accordance with section 905 of the IFC and shall have a fire hydrant within 100 feet of the fire department connection.
- Overhead utilities and power lines shall not be located over aerial fire apparatus access road or between the aerial fire apparatus access road and the building, removal or revised overhead utility information shall be explained on the revised plans.

If there are any questions, the Fire Department may be reached at 248-391-0304 ext. 2004.

Sincerely,

*Jeffrey Williams*

Jeff Williams, Fire Marshal  
Orion Township Fire Department



### Village of Lake Orion

21 E. Church Street  
Lake Orion, Michigan 48362  
Tel 248.693.8391  
Fax 248.693.5874  
[www.lakeorion.org](http://www.lakeorion.org)

## SITE PLAN and / or SPECIAL LAND USE APPLICATION

### PROPERTY INFORMATION

Site Address: 44 E. Flint St.

Parcel ID # (Refer to Tax Bill): 09-02-481-008 / 09-02-481-007 Zoning District: DC-Downtown Center

### PROPERTY OWNER INFORMATION

Name: Jeff Schmitz Address, City, Zip: 155 Romeo, Suite 300 Rochester, MI 48307

Phone #: 248-650-9850 Owner E-Mail angela.innaimo@jscapitol.com

### APPLICANT INFORMATION (If applicant is NOT property owner)

Name: \_\_\_\_\_ Address, City, Zip: \_\_\_\_\_

Phone #: \_\_\_\_\_ Applicant E-Mail \_\_\_\_\_

Applicant is: (i.e. contractor or business owner or architect, etc.) Owner

### APPLICANT REQUEST

Site Plan Approval: \_\_\_\_\_

Use Permitted After Special Approval: \_\_\_\_\_

Use Type Requiring Special Approval: \_\_\_\_\_

### REQUIRED INFORMATION

Please place your initials below to acknowledge that all applicable items are included with your application.

JS 1) Final Site Plan. Two (2) Copies not less than 24 inches by 36 inches in size that meet the requirements of Section 19.02.D. Including, but not limited to:

- a. Dimensioned floor plans and building elevations
- b. Hard surface plan identifying parking areas with dimensions and number of spaces provided
- c. General landscape and lighting plan
- d. Location of trash receptacle and method of screening

\_\_\_\_\_ 2) Project Narrative. A Narrative must accompany Special Land Use applications that identifies the detailed use of the property under review.


JS 3) Property Owner Verification.

JS 4) Digital copies of all documents. (Digital copies are used for Planning Commission review. They may be submitted via email to the Planning & Zoning Coordinator at [zoning@lakeorion.org](mailto:zoning@lakeorion.org), through Dropbox, or using an external USB drive.)

JS 5) Village, Planning, Engineering, and Attorney fees as necessary.

**By signing below you acknowledge all of the following:**

- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application, if necessary.

Signature of Property Owner:  \_\_\_\_\_ Date: 5/1/2024

Signature of Applicant/Contractor: \_\_\_\_\_ Date: \_\_\_\_\_

**TO BE COMPLETED BY VILLAGE STAFF:**

Date Received:

# of Hard Copies Received:

Electronic Copies Included: Y / N

Fee: \_\_\_\_\_ Receipt #: \_\_\_\_\_

Anticipated Meeting Date:

---

**WARRANTY DEED**

Drafted by: Jeffery S. Schmitz, 155 Romeo Road, Rochester, MI 48307

When recorded return to: JS Capitol Equities, LLC, a Michigan limited liability company, 155 Romeo Road, Rochester, MI 48307

THE GRANTOR(s): **Sharon L. Schaar Trust u/a/d July 5, 2004**

Whose address is: 919 Loretto,, Lake Orion, MI 48362

Conveys and warrants to: **JS Capitol Equities, LLC, a Michigan limited liability company**

Whose address is: 155 Romeo Road, Rochester, MI 48307

the following described premises: **See attached Exhibit A.**

Tax Parcel No: **09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel**  
Commonly known as: **44 E. Flint Street, Lake Orion, MI 48362**

for the sum of **Two Hundred Seventy Five Thousand Dollars and No Cents (\$275,000.00)**

COUNTY Transfer Tax: \$302.50 /  
STATE Transfer Tax: \$2,062.50 /

Subject to easements, reservations and restrictions of record.

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004  
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed  
Page 2 of 3

Dated: August 24, 2018

Signed and Sealed:

Sharon L. Schaar Trust u/a/d July 5,  
2004

*Sharon L. Schaar Trustee*  
by Sharon L. Schaar, Trustee

STATE OF MICHIGAN }  
COUNTY OF Oakland } ss }

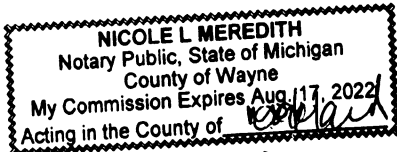
On this 24th day of August, 2018, before me personally appeared, Sharon L. Schaar Trust u/a/d July 5, 2004 by Sharon L. Schaar, Trustee, to me known to be the person(s) described in and who executed the foregoing instrument and acknowledged that he/she/they executed the same as his/h~~er~~/their free act and deed.

Notary Public: *Nicole L Meredith*

Printed Name: NICOLE L MEREDITH

Wayne County, MI

My Commission Expires: 8/17/2022



OAKLAND

Grantor: Sharon L. Schaar Trust u/a/d July 5, 2004  
Grantee: Jeffrey S. Schmitz, on behalf of an entity to be formed  
Page 3 of 3

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EXHIBIT A

Land situated in the Village of Lake Orion, County of Oakland, State of Michigan, more particularly described as:

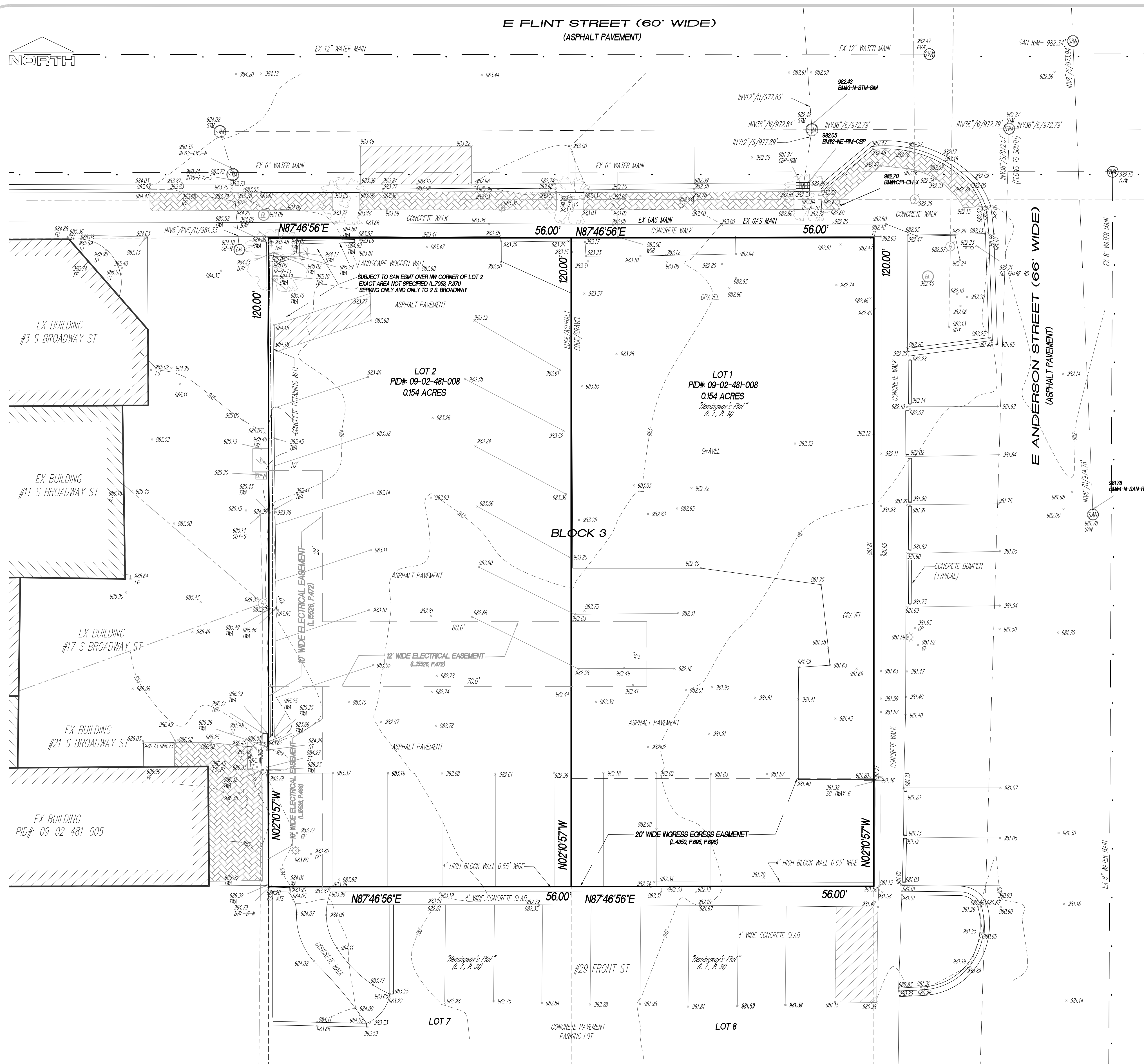
Lot 1 and Lot 2, Block 3, of "Hemingway's Plat", according to the plat thereof recorded in Liber 1, Page(s) 34 of Plats, Oakland County Records.

Subject to an easement over the South 20 feet of said Lot 1, for ingress and egress to said Lot 2.

Tax Parcel No: 09-02-481-008, Primary parcel, 09-02-481-007, Parking parcel  
Commonly known as: 44 E. Flint Street, Lake Orion, MI 48362

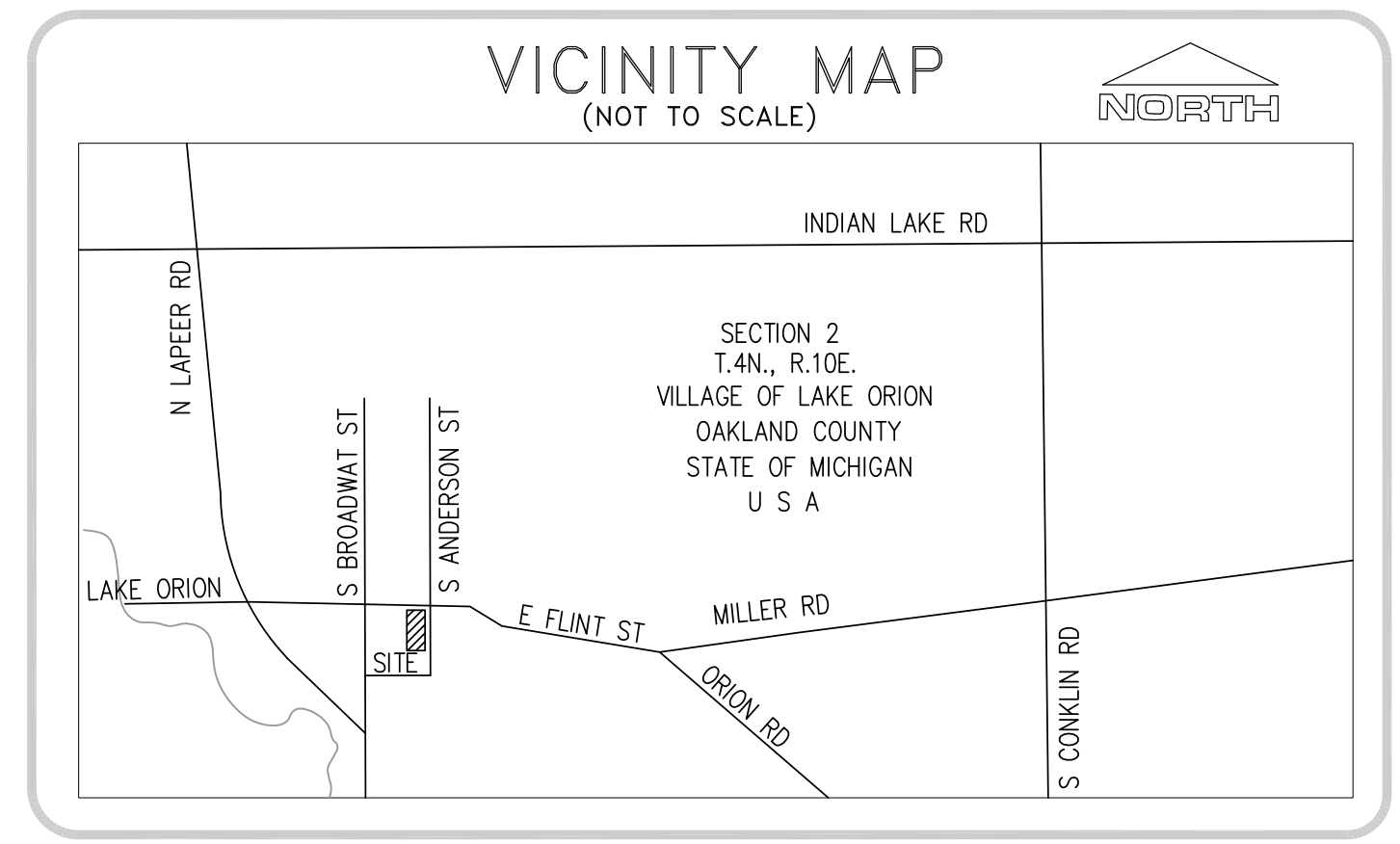


# TOPOGRAPHIC SURVEY



### LEGEND

- ⊕ = UTILITY POLE
- = OVER HEAD WIRE
- = CHAIN LINK FENCE
- ▭ = PAVEMENT CATCH BASIN/CBP
- ⊕ = CATCH BASIN
- ⊕ = EX. SANITARY M.H.
- ⊕ = EX. GATE VALVE & WATER
- ⊕ = EX. STORM M.H.
- ⊕ = EX. ELECTRIC MANHOLE
- ⊕ = EX. HYDRANT
- ⊕ = WATER SHUT OFF
- ⊕ = ELECTRIC METER
- ⊕ = TRANSFORMER
- ⊕ = LIGHT POLE
- ⊕ = ELEVATION
- ⊕ = FINISH FLOOR
- ⊕ = FINISH GRADE
- ⊕ = PARCEL IDENTIFICATION NUMBER
- ⊕ = GUARD POST
- ⊕ = IR-8-8
- ⊕ = TREE-8" TRUNK-8FT SPREAD
- ⊕ = TOWN/RANGE
- L./P. = LIBER/PAGE
- TWA/BWA = TOP/BOTTOM OF WALL
- BM = BENCH MARK
- NAVD88 = NORTH AMERICAN VERTICAL DATUM AS OF 1988
- EX = EXISTING
- INV = INVERT
- CH-X = CHISELED "X" IN CONCRETE
- FI/FCI = FOUND IRON/CAPPED IRON
- SG = SIGN
- CP = CONTROL POINT



### GENERAL NOTES

- Utility information as shown herein are compilation of field observation and City's records, therefore no guarantee could be given as to their exact location and depth. An excavation might be needed in order to determine utility position.
- All measurements as shown herein are existing.
- All symbols as shown herein are not to scale.
- While surveying the property as shown herein, entire site was covered with snow and ice. AB-SB Land Survey, P.C. shall not be held liable if some of the site features were omitted.
- All measured elevations are expressed in North American Vertical Datum as of 1988. (NAVD88)
- AB-SB Land Survey, P.C. retains the sole ownership of this document as an instrument of service and it can not be reused nor reproduced without written permission and additional compensation. Copyright © 2021 AB-SB Land Survey, P.C.

### LEGAL DESCRIPTION

#44 E Flint Street, Lake Orion, MI, 48362  
 Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
 LOT 1 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-008. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

Vacant, E Flint Street, Lake Orion, MI, 48362  
 Part of the E 1/2 of the SE 1/4 of Section 2, Town 4 North, Range 10 East, Village of Lake Orion, Oakland County, Michigan, being more particularly described as follows:  
 LOT 2 of BLOCK 3 of "Hemingway's Plat", as being recorded in Liber 1 of Plats, on Page 34, Oakland County Records. Containing: 6,720 Square Feet---0.154 Acres, more or less. Parcel Identification Number:# 09-02-481-007. Subject to the rights of a public and any easements and/or restrictions of record or otherwise.

### BENCH MARK INFORMATION

**Site Bench Mark No. 1:**  
 Top of chiseled "X" in concrete walk, being 8.5 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.70' (NAVD88).

**Site Bench Mark No. 2:**  
 NE rim of pavement catch basin, being 15.9 feet NW'LY from the NE corner of LOT 1 of the subject property. EL=982.05' (NAVD88).

**Site Bench Mark No. 3:**  
 North rim of a storm manhole, being 10 feet N'LY from BM#2. EL=982.43' (NAVD88).

**TOTAL LAND AREA**  
 13,440 ± SQUARE FEET  
 0.308 ± ACRES

### FLOOD NOTE

Subject property as depicted herein, DOES NOT LIE in a Special Flood Hazard Area (SFHA), according to Flood Insurance Rate Map (FIRM) No. 260588, Panel No. 0236, Suffix "F", being effective as of September 29, 2006.



Mende Bezanovski, P.S. 49430  
 Professional Surveyor in the State of Michigan

**811** Know what's below. Call before you dig.

SCALE: 1" = 10'  
 FIELD: MB  
 REVISIONS:  
 CLIENT: TRI-COUNTY ENGINEERING

PAGE: 1 OF 1  
 JOB NUMBER: 2021-02-04-127-SS  
 DRAWN: MB  
 CHECKED: MB  
 DATE: 03-07-2021

ADDRESS:  
 44 E Flint Street  
 Lake Orion, MI, 48362

TEL: (586) 822-4954 FAX: (586) 591-5930  
 info@ab-sb-landsurvey.com  
 www.ab-sb-landsurvey.com

TEL: (810)-394-7887  
 FAX: (586)-566-4642





44 E FLINT  
PHOTOMETRIC LAYOUT  
GASSER BUSH ASSOCIATES  
WWW.GASSERBUSH.COM

**LITHONIA LIGHTING**

**LDN6 STATIC WHITE**

6" Round Recessed LED Downlight

General Illumination Square Downlight

2"

Features & Specifications

Introduction

Specifications

Performance Data

Distributions

Dimensions

**gotham** | EVO

Multiple Layers of Light

General Illumination Square Downlight

2"

Features & Specifications

Introduction

Specifications

Performance Data

Distributions

Dimensions

**WEDGE LED**

Architectural Wall Scape

Precision Refractive Optic

Specifications

Introduction

Specifications

Ordering Information

Example: WEDGE LED P3 40K 80CRI 3TM MVOLT 51M 0200

**VESTA AT7972**

WALL

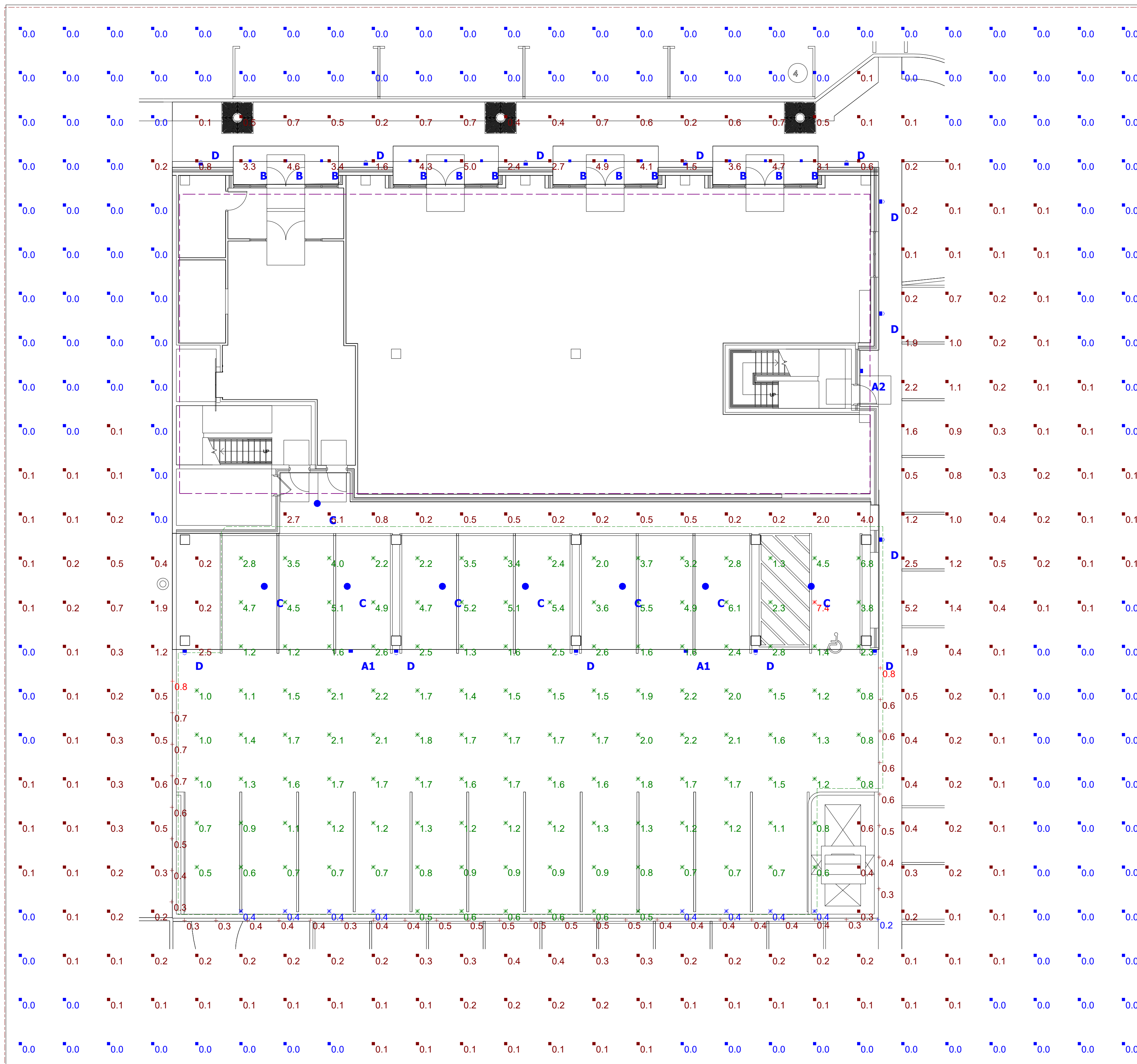
DESCRIPTION

Specifications

Ordering Information

Example: VESTA AT7972-WH

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Parking Area	✱	1.9 fc	7.4 fc	0.4 fc	18.5:1	4.8:1
Parking Property Line	+	0.5 fc	0.8 fc	0.2 fc	4.0:1	2.5:1
Overall	■	0.8 fc	7.4 fc	0.0 fc	N/A	N/A



Plan View  
Scale - 1" = 10ft

- General Note**
- SEE SCHEDULE FOR LUMINAIRE MOUNTING HEIGHT.
  - SEE LUMINAIRE SCHEDULE FOR LIGHT LOSS FACTOR.
  - CALCULATIONS ARE SHOWN IN FOOTCANDLES AT: 0' - 0"

THE ENGINEER AND/OR ARCHITECT MUST DETERMINE APPLICABILITY OF THE LAYOUT TO EXISTING / FUTURE FIELD CONDITIONS. THIS LIGHTING LAYOUT REPRESENTS ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY APPROVED METHODS. ACTUAL PERFORMANCE OF ANY MANUFACTURER'S LUMINAIRE MAY VARY DUE TO VARIATION IN ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER VARIABLE FIELD CONDITIONS. MOUNTING HEIGHTS INDICATED ARE FROM GRADE AND/OR FLOOR UP.

THESE LIGHTING CALCULATIONS ARE NOT A SUBSTITUTE FOR INDEPENDENT ENGINEERING ANALYSIS OF LIGHTING SYSTEM SUITABILITY AND SAFETY. THE ENGINEER AND/OR ARCHITECT IS RESPONSIBLE TO REVIEW FOR MICHIGAN ENERGY CODE AND LIGHTING QUALITY COMPLIANCE.

UNLESS EXEMPT, PROJECT MUST COMPLY WITH LIGHTING CONTROLS REQUIREMENTS DEFINED IN ASHRAE 90.1 2013. FOR SPECIFIC INFORMATION CONTACT GBA CONTROLS GROUP AT ASG@GASSERBUSH.COM OR 734-266-6705.

**Alternates Note**  
THE USE OF FIXTURE ALTERNATES MUST BE RESUBMITTED TO THE CITY FOR APPROVAL.

**Ordering Note**  
FOR INQUIRIES CONTACT GASSER BUSH AT QUOTES@GASSERBUSH.COM OR 734-266-6705.

**Drawing Note**  
THIS DRAWING WAS GENERATED FROM AN ELECTRONIC IMAGE FOR ESTIMATION PURPOSE ONLY. LAYOUT TO BE VERIFIED IN FIELD BY OTHERS.

**Mounting Height Note**  
MOUNTING HEIGHT IS MEASURED FROM GRADE TO FACE OF FIXTURE. POLE HEIGHT SHOULD BE CALCULATED AS THE MOUNTING HEIGHT LESS BASE HEIGHT.

Symbol	Label	QTY	Manufacturer	Catalog	Description	Lamp Output	LLF	Input Power
□	A1	2	Lithonia Lighting	WDGE2 LED P4 40K 70CRI TFTM	WDGE2 LED WITH P4 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE FORWARD THROW MEDIUM OPTIC	4742	0.9	46.6589
□	A2	1	Lithonia Lighting	WDGE2 LED P1 40K 70CRI T2M	WDGE2 LED WITH P1 - PERFORMANCE PACKAGE, 4000K, 70CRI, TYPE 2 MEDIUM OPTIC	1427	0.9	11.1658
□	B	12	Gotham Architectural Lighting	EVO2SQ 40/02 AR LD WD	EVO 2 INCH RECESSED DOWNLIGHT, SQUARE, 4000K, 250 LUMENS, CLEAR, MATTE-DIFFUSE, WIDE, 80 CRI	280	0.9	3.38
○	C	8	Lithonia Lighting	LDN6 40/07 LO6AR LD	6IN LDN, 4000K, 750LM, CLEAR, MATTE DIFFUSE REFLECTOR, CRI80	679	0.9	8.91
□	D	13	Kuzco Lighting	AT7972-WH	Wall Mounted	5146	0.9	96.7















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## COMMISSION ACTION SUMMARY SHEET

**MEETING DATE:** August 5, 2024

**TOPIC** Monthly Planning and Zoning Report – July 2024

### BACKGROUND BRIEF:

McKenna has prepared a monthly report of July planning and zoning activities:

- Special Projects
- Permits
- Variances
- Code Enforcement
- Active Development Projects
- Anticipated Development Projects

### SUMMARY OF PREVIOUS COMMISSION ACTION:

None.

### FINANCIAL IMPACT:

None.

### RECOMMENDED MOTION:

Receive and forward to the Village Council.



21 E. Church Street  
Lake Orion, Michigan 48362  
Tel 248.693.8391  
Fax 248.693.5874  
[www.lakeorion.org](http://www.lakeorion.org)

# Monthly Planning & Zoning Report

JULY 2024

Dear Commissioners:

The following report contains a summarized update of recent Village planning, zoning, and development activities.

## SPECIAL PROJECTS

**Planning and Zoning Training:** Each monthly report will contain a link to a relevant training resource (article, video, blog, etc.) to help keep things fresh. This month's resource is from the Michigan Association of Planning – [Getting What You Want: Master Plan to Zoning to Development](#).

**Engineering Standards for Single-Family Homes:** The Village Council is interested in implementing engineering design standards for single-family homes. The Township already requires engineering plot plans for all new single-family homes. Village staff and consultants have been working towards this end and will be meeting in August to strategize revisions. In addition to updating the Village Engineering Design Standards, an internal policy must be established to facilitate administrative engineering review for single-family homes.

**BS&A and GoGov:** Ongoing coordination with the Township Building Department to establish BS&A access and revised project flow for projects requiring building permits. Staff have begun to use BS&A for project tracking for major and minor developments. Code enforcement activities will be tracked using GoGov's GoEnforce platform, anticipated GoGov launch: mid-September.

**Tax-Exempt Parcels and Village ROW Inventory** – Oakland County is auditing their record of tax-exempt parcels and requests an updated list and map of such parcels under Village ownership. Staff were authorized to create a map of all tax-exempt parcels and Village rights-of-way. This map will be presented to the Village Council at their August 12 meeting.

**Master Plan – Strategic Action Plan:** Council approved a proposal to prepare a Master Plan amendment to develop a Strategic Action Plan. Analysis of past plans and engagement data is complete; a draft matrix of objectives and action items has been reviewed by Village staff and will be included in the September agenda packet for review and discussion. Following discussion and revisions, a public opinion survey will be released to gather data on community priorities.

**CIP & Fee Schedule** – As part of the FY 24/25 budget process, the Council will be working to update the municipal fee schedule and adopt a 6-year capital improvements plan.

**RRC Certification:** Council received a presentation from the Village RRC representative on January 22, 2024, as a refresher on the benefits and process of obtaining certification. Village and DDA staff are working to address all outstanding items to reach "Essentials" status by the end of 2024.

- Master Plan Implementation Matrix, Action Plan (Planning consultant – In Progress)
- 6-year CIP available online. (Administration, Staff – In Progress)
- Public engagement activities within PC Annual Report. (Planning consultant – In Progress)
- Development Guide to be updated and uploaded to Village website. (Planning consultant – In Progress)
- Update board/commission applications. (Clerk, DDA, Staff 4.1 – Not Started)
- Updated training strategy for all boards and commissions (All – In Progress)

**PERMIT DETAILS**

PERMIT TYPE	ADDRESS / PROJECT	DESCRIPTION	SUBMITTED	APPROVED
<b>ZONING COMPLIANCE</b>				
Z-24-20	616 Longpointe	Residential, minor	7/9/2024	7/25/2024
Z-24-21	326 N Shore	Residential, minor	7/16/2024	7/30/2024
<b>TEMPORARY USE OF RIGHT OF WAY</b>				
R-24-16	LO Fireworks Association	Temporary special event platform on Lake.	1/23/2023	6/18/2024
R-24-17	315 Lake	Landscaper access to rear yard through ROW.	5/15/2024	7/9/2024
<b>SIGNAGE</b>				
S-24-09	106 N Broadway	1 wall sign	2/26/2024	6/11/2024
S-24-10	42 W Flint	1 ground sign (nonconforming, face change)	5/29/2024	7/9/2024
S-24-11	209 N Park	1 Wall sign	6/4/2024	7/9/2024
S-24-12	211 Atwater	1 monument entrance sign (remove / replace)	6/24/2024	7/9/2024
<b>CHANGE OF USE / OCCUPANCY</b>				
C-24-03	42 W Flint	Office > Personal Service (massage)	5/29/2024	7/9/2024
C-24-04	209 N Park	Retail > Office (graphic design)	6/4/2024	7/9/2024

**VARIANCE REQUESTS**

NAME / LOCATION	REQUESTED VARIANCES	MEETINGS / STATUS
A-24-04 638 Buena Vista Zoned: RV June 17, 2024	Construct addition of accessory garage w/deck above, new entry stairs and porch. Front (EFS): 8.35 ft. Side: 4.5 ft. Projection: 10.4 in.	BZA held July 11, 2024 – <b>Approved:</b> Front (EFS): 8.35 ft. Side yard: 4.5 ft. Projection: 10.4 in. <b>Must rezone to RL within 1 year</b>

**CODE ENFORCEMENT**

The Planning Department works closely with Village Code Enforcement (Police) to ensure compliance with the Code of Ordinances, with a focus on zoning and signage. The typical process involves:

- Observation (or complaint) of a possible violation is received.
- Investigation by an Officer; photos and description provided to Planning – discussion held.
- Preponderance of evidence of a violation typically results in a stop work order being issued.
- A notice of violation is mailed to the offending property (and/or the owner’s address); the notice includes a background brief, itemized violation(s), and path to cure the violation without additional enforcement.
  - If the violation is cured through a permit or inspection, the case can be closed.
- If the violation remains uncured after a specified date, further enforcement action may be taken (i.e., citations, abatement, legal action, etc.) to cure the violation.

Recent enforcement action regarding planning and zoning matters have trended toward unpermitted work for a variety of projects, including fences, patios and decks, landscape retaining walls, seawalls, signs, exterior lighting, and parking/storage on public property. As the Village rolls out GoGov – GoEnforce, more robust tracking of violations can be expected, hopefully leading to more expedient compliance.

## ACTIVE DEVELOPMENT PROJECTS

NAME / LOCATION	DESCRIPTION	REVIEW & APPROVAL STATUS
Lake Street Realignment and Improvements	Improvements to Lake & Flint intersection for safer access pursuant to agreement between Village and developer.	Received conceptual plan and license agreement approval from Council on August 14, 2023; updated agreement approved November 27, 2023. <b>Engineering review #3 was transmitted to applicant on June 18, 2024.</b>
VLO-24-01 Snug Harbor 160 Heights	Multifamily development; adjacent to Mystic Cove	Received Planning Commission approval May 6, 2024. <b>Engineering review #1 transmitted to applicant June 5, 2024.</b>
VLO-24-02 44. E Flint	4-story, mixed-use, multi-family, retail, and office on existing parking lot.	Site was previously approved for a parking lot (2021) and had permits pulled but developer proposed higher and better uses; site plan received May 6, 2024; SPR #1 letters transmitted May 24, 2024; applicant meeting June 4, 2024; discussion with Planning Commission on July 1, 2024 (no action) – revised plans <b>placed on the August 5, 2024 Planning Commission agenda for consideration; several revisions needed.</b>
VLO-24-03 112 Park Island	Private recreation facility (pickleball court) for special land use and site plan approval.	Applicant submitted materials May 14 and were reviewed by staff; significant <b>additional revisions and review required prior to bringing before the Planning Commission.</b>
VLO-23-03 Orion Villas 597 E. Flint	Multifamily residential SPR for 8-unit townhome condominium development.	Planning Commission approval on June 5, 2023. Final plans approved by the Township and Village engineers and the Village planner. The applicant will have one year to obtain building permits. Condo documents approved by Council April 8, 2024; reviewed by Village/Twp. engineers, then recorded with County. <b>Site preparation underway, incl. drain connections, followed by construction.</b>
VLO-23-04 West Village former Ehman Center 55 W. Elizabeth	PUD site plan review for mixed-use, multi-family residential development at the former Ehman Center property.	Planning Commission prelim. approval of site plan / PUD development plan September 5, 2023. Council approved PUD agreement on December 11, 2023, again on February 12, 2024; Council approved PUD addendum (purchase of adjacent lot) June 10, 2024 – <b>applicant wants to rezone to RM, multifamily. Existing proposal requires final site plan / engineering approval. Requires prelim. hearing for amended PUD when new parcel is teed up for development.</b>
VLO-22-05 Mystic Cove	Mixed-use, incl. multifamily townhomes & dock/shoreline improvements.	Planning Commission approved site plan October 3, 2022. Parcel reconfigurations approved by Council June 2023. Building permits issued, construction underway; <b>as-built drawings under engineering review. Minor changes at Heights entrance to align sidewalk with sidewalk for adjacent project (VLO-21-10).</b>
VLO-23-05 Starboard (former Orion Marina)	Mixed-use, incl. multifamily townhomes & marina improvements.	Planning Commission approved the site plan on November 6, 2023. Council approved improvement of ROW November 27, 2023; agreements executed and recorded with the County. <b>Engineering review #2 transmitted June 18, 2024.</b>
VLO-23-02 Constellation Bay	Mixed-use, incl. multifamily townhomes at Broadway & Atwater.	Site plan approved by the Planning Commission on October 3, 2022. Modified site plan approved by the Planning Commission on April 3, 2023. <b>Engineering review #3 transmitted July 9, 2024.</b>
VLO-23-07 The Peninsula (adjacent to Starboard)	Three single-family site condos adjacent to the Starboard.	Received Planning Commission approval on February 5, 2024. Condominium documents and draft agreement to improve ROW to be approved by Council April 8, 2024. <b>Engineering review #1 transmitted to applicant May 23, 2024; separate sanitary and water permit review transmitted June 17, 2024.</b>
VLO-23-06 146 S. Broadway	Commercial SPR “white box” tenant space, interior demolition, and façade modifications.	The plans were approved by the Planning Commission on October 2, 2023. Applicant provided changes per Planning Commission and received final site plan approval on November 22, 2023. Building permits have been issued and construction is in progress.

VLO-21-10 Cloud Retail 494 S. Broadway	Commercial SPR for the construction of a retail service building – marijuana provisioning center.	Lot reconfiguration approved by Council on March 13, 2023, and finalized by the County in May 2023. Site plan approved by the Planning Commission on April 3, 2023. <b>Engineering review #2 transmitted to applicant on July 12, 2024, and again on July 30 to larger design team; revisions required.</b>
VLO-21-04 M818 Apartments 141 W. Elizabeth	Multi-family residential PUD for 16 units.	PUD eligibility approved by PC August 2, 2021 & VC August 9. Preliminary PUD plan approved by PC March 7, 2022 & VC March 14. Final development plan approved by PC August 1, 2022. <b>Pending engineering, fire marshal, and final site plan approval – secondary emergency access drive is required. Revised plans under engineering review #5.</b>

**ANTICIPATED DEVELOPMENT PROJECTS**

The following projects are in varying stages of conceptual and pre-application discussions; fees have not been collected and formal reviews have not commenced.

NAME / LOCATION	DESCRIPTION	REVIEW & APPROVAL STATUS
Jacobsen’s Flowers	Possible redevelopment into multiple-family, mixed use.	This site is primarily within Orion Township; discussion is ongoing as to the application of Ordinance standards, PUD eligibility, and an interlocal agreement facilitating development across Township and Village boundaries.
Orion Lumberyard	Mixed-use redevelopment and public parking lot/pavilion	The DDA acquired the former Orion Lumberyard property; conceptual plans for the site have been proposed in recent years. The DDA is actively looking to partner with a developer to realize a shared vision for public and private use of the site. Environmental investigations and development of management strategy is underway. <b>Site cleanup (dangerous debris and equipment removal) is ongoing; some gravel was installed to level the site for parking. Application for partial demolition of obsolete structures is imminent – this will kick the project up to “Active” status.</b>
SWC of Flint & Perry	Potential multifamily development / attached townhomes.	The site is currently zoned for single family use but is planned for “Mixed-Use Transition” future land use in the 2022 Master Plan amendment. Rezoning required to permit multifamily use.

Prepared by:



McKenna provides day-to-day assistance to Village staff and administration, applicants and developers, and the public regarding planning, zoning, and economic development matters. We also assist in the administration of the Planning Commission and the Board of Zoning Appeals.

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Or visit us during on-site office hours, every Tuesday from 9:30am-4:30pm.

As always, thank you for your support and participation – *it takes a Village!*