



AGENDA

REGULAR MEETING OF THE BOARD OF ZONING APPEALS

Thursday, June 05, 2025

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

Each person wishing to address the BZA shall be afforded an opportunity to do so. Anyone that would like to make a public comment must first sign the "Sign In" sheet located near the main entrance door. If you wish to comment, please stand or raise a hand to indicate that you wish to speak. When recognized, give your name and address and direct your comments to the Chair. Members of the public shall be allowed a maximum of three (3) minutes for each person wishing to make a public comment.

1. Call to Order

2. Roll Call and Determination of Quorum

3. Approval of Agenda

4. First Hearing of the Public (*for items not scheduled for a public hearing*)

5. Approval of Minutes

A. Approval of BZA Regular Meeting Minutes of March 6, 2025

6. BZA Preface

7. Public Hearing

A. Public Hearing: A-25-03 (37 E Flint) Commercial Signage Variance Request

8. Action Items

A. A-25-03 (37 E. Flint) Commercial Signage Variance Request

B. Monthly Planning & Zoning Report

9. Unfinished Business

10. Second Hearing of the Public (*for items not scheduled for a public hearing*)

11. Board Member Comments

12. Next Regular Meeting- July 10, 2025

13. Adjournment

In the spirit of compliance with the Americans with Disabilities Act, individuals with a disability should feel free to contact the Village, at least three (3) business days in advance of the meeting, if requesting accommodations. The Village of Lake Orion will provide foreign language or hearing impaired interpretation services for those individuals who contact the village to request such services at least seven (7) days prior to the meeting.

En el espíritu de la observancia de la Ley de Estadounidenses con Discapacidades, las personas con discapacidad debe sentirse libre para ponerse en contacto con el pueblo, por lo menos tres (3) días hábiles de antelación a la fecha de la reunión, si se solicitan alojamiento. El municipio de Lake Orion proporcionará idioma extranjero o personas con problemas de audición servicios de interpretación para las personas que se ponen en contacto con el pueblo de solicitar dichos servicios con no menos de siete (7) días antes de la reunión.



BOARD ACTION SUMMARY SHEET

MEETING DATE: June 5, 2025

TOPIC: Approval of BZA Regular Meeting Minutes of March 6, 2025

RECOMMENDED MOTION:

To approve the March 6, 2025, Regular Meeting Minutes of Board of Zoning Appeals, as presented.



MINUTES

REGULAR MEETING OF THE BOARD OF ZONING APPEALS

Thursday, March 6, 2025

6:30 PM

Village Hall – 21 East Church Street, Lake Orion, MI 48362

(248) 693-8391 ext. 102

1. Call to Order

The Thursday, March 6, 2025 Regular Meeting of the Lake Orion Board of Zoning Appeals was called to order by Chairperson Mathisen at 6:30 p.m.

2. Roll Call and Determination of Quorum

PRESENT

Chairperson Brad Mathisen

Vice Chairperson Raymond Putz (arrived at 6:32 p.m.)

Secretary Brenton Bailo

Board Member Mary Chayka-Crawford (arrived at 6:32 p.m.)

Board Member Henry Lorant

ABSENT

None

STAFF PRESENT

Village Planning and Zoning Coordinator Gage Belko

Recording Secretary Danielle Smith

3. Approval of Agenda

Board Member Bailo moved, Board Member Lorant seconded, to approve the March 6, 2025 regular meeting agenda of the Board of Zoning Appeals, as presented.

AYES: Mathisen, Lorant, Bailo

NAYS: None

ABSENT: Putz, Chayka-Crawford

MOTION: Carried

4. First Hearing of the Public – Public Comment on Non – Agenda Items Only

None.

5. Approval of Minutes

A. Approval of BZA Minutes – December 12, 2024

Board Member Lorant moved, Board Member Bailo seconded, to approve the December 12, 2024 special meeting minutes of the Board of Zoning Appeals, as presented.

AYES: Mathisen, Lorant, Bailo

NAYS: None

ABSENT: Putz, Chayka-Crawford

MOTION: Carried

Board Members Putz and Chayka-Crawford arrived at 6:32 p.m.

6. BZA Preface

Chairperson Mathisen reviewed the meeting procedures.

7. Public Hearing

A. Public Hearing: A-25-01 (424 Algene) Dimensional Variance Request

Board Member Bailo moved, Board Member Chayka-Crawford seconded, to open the public hearing at 6:34 p.m.

AYES: Mathisen, Putz, Lorant, Chayka-Crawford, Bailo

NAYS: None

ABSENT: None

MOTION: Carried

Julie Siwek, 453 Algene Street, submitted a letter that was read to the board by Planner Belko. In the letter, Ms. Siwek stated she would like to see the project scope and logistics plan before supporting the property application.

Board Member Bailo moved, Chairperson Mathisen seconded, to close the public hearing at 6:36 p.m.

AYES: Mathisen, Putz, Lorant, Chayka-Crawford, Bailo

NAYS: None

ABSENT: None

MOTION: Carried

B. Public Hearing: A-25-02 (635 Central) Dimensional Variance Request

Board Member Lorant moved, Board Member Chayka-Crawford seconded, to open the public hearing at 6:36 p.m.

AYES: Mathisen, Putz, Lorant, Chayka-Crawford, Bailo

NAYS: None
ABSENT: None
MOTION: Carried

The following individuals spoke in favor of the variance request:

Mark and Theresa Holobaugh, 599 Central Drive, submitted a letter that was read to the board by Planner Belko. In the letter, the Holobaughs shared that they believe the renovations made at the property in question have enhanced the neighborhood and that the applicant’s request for variances are no different than any other variances requested within the neighborhood.

Nick Christi, 635 Central Drive, shared that the improvements he has made to his home has helped increase the property value for surrounding properties. Additionally, Mr. Christi stated he purchased the home as his retirement home and the variances will assist with making the property handicap accessible.

John Cervoni, 607 Central Drive, shared that the additions Mr. Christi has made to his home enhance the other properties.

Shawn Gall, 553 Central Drive, stated he does not have any concerns regarding the property in question.

Allen Murray, 641 Central Drive, stated he has no issues with the proposed variances.

The following individuals spoke against the variance request:

Carolyn Dumeah, 629 Central Drive, stated she does not have an issue with any renovations done to the house, but the deck Mr. Christi built encroaches on her property line.

Michelle Dumeah, 95 N North Shore, stated the east side of the property in question creates a problem for her mother’s property next door since the deck is “inches” from the property line.

Board Member Lorant moved, Board Member Chayka-Crawford seconded, to close the public hearing at 6:53 p.m.

AYES: Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
NAYS: None
ABSENT: None
MOTION: Carried

8. Unfinished Business

None.

9. Action Items

A. A-25-01 (424 Algene) Dimensional Variance Request

Proposal to renovate and expand an existing, conforming (per 2001 approvals), single-family structure at 424 Algene. An existing nonconforming deck projects into the waterfront setback and was built without permits, likely by a different owner. When applying for zoning compliance for renovations to the existing home, the applicant was told that renovations would need to stay entirely within the footprint of the existing principal structure and that the unpermitted deck would need to be removed.

Section 17.05 of the Zoning Ordinance permits renovations to nonconforming structures provided the cost of the renovations do not exceed 50% of the True Cash value of the property and do not have the effect of expanding the existing nonconformities.

The applicant maintained their desire to expand the nonconforming structure, which requires variances for not only the expanded portion of the home, but the entire structure. To renovate the home as proposed, the applicant is requesting one (1) variance from the Zoning Ordinance:

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Lake Front (West) Yard Setback:	25.0 ft minimum required
	16 feet existing/11.41 proposed
	4.59-foot variance requested

Planner Belko gave a synopsis of the variance request, reviewed the findings of fact and was available to answer any questions of the Board.

FINDINGS OF FACT

1. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.
 - The use of property as a single-family home is already established and is not prevented by strict compliance with standards for street and waterfront setbacks, despite the structure being nonconforming.
2. The variance will provide substantial justice to applicant as well as neighboring property owners.
 - It is unclear whether substantial justice would be provided to the neighboring property owners who may have completed renovations in compliance with the ordinance.
3. The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.
 - The variances requested are not the minimum possible; renovations to a nonconforming structure are permitted without the need for variances but are limited to 50% of the true

cash value of the property. Further, accessory decks raised not more than 8 inches above grade are permitted to project into the required waterfront yard.

4. The need for variance(s) is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.
 - Although the lot is nonconforming and so positioned on the lake to have two (2) waterfront yards instead of one (1), these circumstances do not prevent the owner from renovating the home without expanding the nonconformities; many lots and homes along the lake are nonconforming and must comply with ordinance standards unless specifically exempt.

5. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant’s predecessors; it is not self-created.
 - The need for the variances is entirely self-created, as the applicant is taking affirmative action to expand the structure, rather than staying within the existing setbacks and limiting renovations to 50% of the true cash value.

Chairperson Mathisen moved, Board Member Putz seconded, to open the agenda item up to discussion.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

Sunny Grewal, representing the applicant, stated that his clients were not made aware of the fact that no permits for the structure were pulled by the previous owner(s) and is requesting that the existing deck be grandfathered. He further stated that his clients are willing to not enclose the deck if that will resolve the issue. Planner Belko shared that the size of the deck is the reason the variance is needed.

Sanjeev Kaul, owner of the property in question, stated anything that was not legal during the closing on the sale of the property should have been disclosed. He further stated that he may not have purchased the property if he knew the existing deck was nonconforming. Mr. Kaul shared that his goal was to make the property his retirement home and the nonconformities are making renovations difficult.

Planner Belko stated that the homeowners can still have a deck on the second and third floors of the home if it stays within the allotted setbacks. The current deck on the first floor would need to be reduced to make it a conforming structure.

Mr. Grewal asked whether the decks on the surrounding properties are conforming structures as he is wanting his client to be treated fairly. Planner Belko shared that he is currently looking into some of those properties.

Sue Serra, 234 Lakeview, shared that she is in favor of the variance and the homeowners have improved the property. She further stated that she believes the homeowners are being penalized because they purchased a home with a deck they did not know was nonconforming.

The board members discussed the case and suggested the applicant reduce the current deck by three feet, which would bring the deck into compliance and allow renovations to continue without any variance requests.

Board Member Bailo moved, Board Member Chayka-Crawford seconded, to close the discussion for the agenda item.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

Board Member Chayka-Crawford moved, Chairperson Mathisen seconded, to deny the requested variance of 4.59 feet from the west waterfront setback requirement for the property located at 424 Algene, parcel 09-11-178-013 based on the Findings of Fact in the McKenna letter dated February 17, 2025.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

B. A-25-02 (635 Central) Dimensional Variance Request

The applicant was granted a zoning permit (Z-23-048) to renovate an existing single-family structure, with the condition that certain improvements – namely, a proposed nonconforming deck extension and a new balcony – be removed/reduced so as not to violate the zoning ordinance. Section 17.05 of the zoning ordinance permits renovations to nonconforming structures provided the cost of the renovations do not exceed 50% of the true cash value of the property and do not have the effect of expanding the existing nonconformities. The nonconforming deck on the west side was permitted to be renovated provided its nonconformity is not enlarged.

The applicant took willful action in violating the condition of the zoning permit and made improvements to the property that expanded the nonconforming deck on the west and introduced a new nonconforming balcony on the east. A stop work order was placed and the applicant was ordered to either remove the unpermitted improvements or apply for and obtain variances to allow the improvements to remain.

As such, the applicant is requesting two (2) variances from the zoning ordinance:

ARTICLE 12, SCHEDULE OF REGULATIONS, SECTION 12.02 TABLE – RL ZONING DISTRICT

Side Yard (West) Setback:	5.0 ft minimum required 2.5 feet existing (Prev) 2.3 feet proposed (Ex) 2.7-foot variance requested
Side Yard (East) Setback:	5.0 ft minimum required 4.3 feet existing (Prev) 1.1 feet proposed (Ex) 3.9-foot variance requested

Planner Belko gave a synopsis of the variance request, reviewed the findings of fact and was available to answer any questions of the Board.

FINDINGS OF FACT

1. Strict compliance with restrictions governing area, setback, frontage, height, bulk, density or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.
 - Compliance with the ordinance standards for side setbacks would not prevent the owner from using the property for its permitted use.
2. The variance will provide substantial justice to applicant as well as neighboring property owners.
 - Substantial justice would likely not be afforded to the neighboring property owners by allowing willful violation of a zoning permit to go unchanged; justice would be served by upholding the conditions of the permit and the general intent of the zoning ordinance.
3. The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.
 - The variances requested are not the minimum possible, as a previously approved design was in compliance with the zoning ordinance.
4. The need for variance(s) is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.
 - The property is consistent with lots in the general area and does not present unique circumstances necessitating the variances.
5. The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant’s predecessors; it is not self-created.
 - The need for the variances is entirely self-created as the improvements were completed in willful violation of the zoning permit that approved a compliant design.

Board Member Chayka-Crawford moved, Board Member Lorant seconded, to open the agenda item up for discussion.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

Board Member Chayka-Crawford stated that she is not in support of the variance regarding the west side of the property as it was once granted to a certain setback and then violated.

Nick Christi (applicant), 635 Central Drive, Lake Orion, MI 48362, shared that the property in question was built in 1935, and he could have chosen to demolish the home, but decided to enhance the property and neighborhood by performing renovations. He believes his request for the variances are minimal and thanked the board for its consideration.

Board Member Putz moved, Board Member Bailo seconded, to deny the requested variance of 2.7 feet from the west side yard setback requirement for the property located at 635 Central, parcel 09-03-435-008 based on the Findings of Fact listed in the McKenna letter dated February 21, 2025.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

Board Member Chayka-Crawford reiterated her statement regarding the variance request for the west side of the property and shared that it applies to the east side of the property as well.

Board Member Putz stated that the neighboring property is against the variance request, which makes it difficult to support the variance request.

Carolyn Dumeah, 629 Central Drive, claimed that the property in question is not a single-family home and that the property owner(s) pays two water bills and two waste hauler bills. She further stated she received this information from the village.

Mr. Christi confirmed that there is only one water bill, one electric bill and one heating bill for the property. He further stated he has two roommates that live below him but reiterated that the property in question is a single-family home.

Planner Belko reiterated what the current case and variance requests are for and shared that the matter Ms. Dumeah brought up has been settled.

Board Member Bailo moved, Board Member Lorant seconded, to deny the requested variance of 3.9 feet from the east side yard setback requirement for the property located at 635 Central, parcel 09-03-435-008 based on the Findings of Fact listed in the McKenna letter dated February 21, 2025.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

Chairperson Mathisen moved, Board Member Putz seconded, to direct the applicant to cause for the removal of the noncompliant improvements withing 21 days of this meeting held on March 6, 2025 and maintain compliance with all approved plans, permits and conditions.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

C. Board of Zoning Appeals Annual Training

The Board of Zoning Appeals bylaws stipulate that each member shall attend at least four (4) hours of training each calendar year during their term. This training can be obtained through a variety of sources, including in-house training by planning and zoning staff, as well as external training by reputable organizations.

Planner Belko shared upcoming trainings the board is welcome to attend.

10. Second Hearing of the Public – Public Comment on Non-Agenda Items Only

None.

11. Board Member Comments

Board Member Bailo said he believes the current order of the agenda causes confusion for the board members and doesn't like having the public hearings as separate items from the cases. Planner Belko said he would take the board's feedback and present a change to the bylaws at a future meeting.

Chairperson Mathisen agreed with Board Member Bailo regarding the agenda order and asked Planner Belko if there are any cases for next month's meeting. Planner Belko shared that no cases are currently pending. Additionally, Planner Belko shared that training for the board should be put together in late April or May.

12. Next Regular Meeting – April 3, 2025

13. Adjournment

Board Member Lorant moved, Board Member Chayka-Crawford seconded, to adjourn the meeting at 8:04 p.m.

- AYES:** Mathisen, Putz, Lorant, Chayka-Crawford, Bailo
- NAYS:** None
- ABSENT:** None
- MOTION:** Carried

Dr. Brenton Bailo
Secretary

Sonja Stout
Village Clerk/Treasurer

Danielle Smith
Recording Secretary

Date Approved: as presented June 5, 2025



BOARD ACTION SUMMARY SHEET

MEETING DATE: June 5, 2025

TOPIC: Public Hearing: A-25-02 (635 Central) Dimensional Variance Request

BACKGROUND BRIEF: This Public Hearing relates to **37 E. Flint** (Parcel ID: OL-99-00-016-509 / OL-09-02-477-019). The subject site is located within the Village of Lake Orion in the DC, (Downtown Center) Zoning District. The applicant is proposing the installation of a projecting (blade) sign for a new business. The applicant is requesting the following variances from the Sign Ordinance (Chapter 155 of the Village of Lake Orion Code of Ordinances):

1. CHAPTER 155: SIGN REGULATIONS, SECTION 155.06(C) TABLE – DC, NONRESIDENTIAL

<u>Maximum Projecting Sign Area:</u>	Permitted:	<u>9 sq ft. without special approval</u>
	Existing:	7.29 sq ft.
	Proposed:	32 sq ft.
	Variance:	23 sq ft.

2. CHAPTER 155: SIGN REGULATIONS, SECTION 155.07(H) – PROJECTING SIGN REGULATIONS

<u>Maximum Projecting Sign Height:</u>	Permitted:	<u>12 ft.</u>
	Existing:	<12 ft.
	Proposed:	24 ft.
	Variance:	12 ft.

<u>Illumination of Projecting Signs:</u>	Permitted:	<u>External Illumination Only</u>
	Existing:	External Illumination
	Proposed:	Internal Illumination
	Variance:	Internal Illumination of New Projecting Sign

Pursuant to Section 155.10 of the Village Code, the Board of Zoning Appeals is authorized to grant variances to required sign standards after the duly noticed public hearing and finding that:

- (1) The variance(s) would not be contrary to the public interest or general purpose and intent of this chapter;
- (2) The variance(s) do(es) not adversely affect properties in the immediate vicinity of the proposed sign; and
- (3) The petitioner has a practical difficulty resulting from the unusual characteristics of the property that precludes reasonable use of the property

RECOMMENDED MOTION(s):

1. **To open** the public hearing for **Case A-25-03** concerning **three (3) requested signage variances** for a project located at 37 E. Broadway.
2. **To close** the public hearing for **Case A-25-03** concerning **three (3) requested signage variances** for a project located at 37 E. Broadway.



BOARD ACTION SUMMARY SHEET

MEETING DATE: June 5, 2025

TOPIC: A-25-03 (37 E. Flint) Commercial Signage Variance Request

BACKGROUND BRIEF: The applicant is looking to establish a new business in Downtown Lake Orion and is proposing a large projecting sign that exceeds some standards of Chapter 155 of the Village Code of Ordinances and was unable to receive administrative approvals. As such, the applicant is requesting the following variances:

1. CHAPTER 155: SIGN REGULATIONS, SECTION 155.06(C) TABLE – DC, NONRESIDENTIAL

<u>Maximum Projecting Sign Area:</u>	Permitted:	9 sq ft. without special approval
	Existing:	7.29 sq ft.
	Proposed:	32 sq ft.
	Variance:	23 sq ft.

2. CHAPTER 155: SIGN REGULATIONS, SECTION 155.07(H) – PROJECTING SIGN REGULATIONS

<u>Maximum Projecting Sign Height:</u>	Permitted:	12 ft.
	Existing:	<12 ft.
	Proposed:	24 ft.
	Variance:	12 ft.

<u>Illumination of Projecting Signs:</u>	Permitted:	External Illumination Only
	Existing:	External Illumination
	Proposed:	Internal Illumination
	Variance:	Internal Illumination of Projecting Sign

The Village of Lake Orion Board of Zoning Appeals is authorized to grant variances and hear appeals regarding any sign regulation from an interpretation or administrative decision of an official of the Village of Lake Orion or a decision made by the Planning Commission upon finding:

- (1) The variance(s) would not be contrary to the public interest or general purpose and intent of this chapter;
- (2) The variance(s) do(es) not adversely affect properties in the immediate vicinity of the proposed sign; and
- (3) The petitioner has a practical difficulty resulting from the unusual characteristics of the property that precludes reasonable use of the property

RECOMMENDED MOTION(s):

- 1) **To approve** the requested variance of **23 sq. ft.** from the maximum projecting sign area standard to allow a **32 sq. ft.** projecting sign to be installed at 37 E. Flint, based on the findings listed in the Village Planner's report dated May 29, 2025.
- 2) **To approve** the requested variance of **12 ft.** from the maximum projecting sign height standard to allow a projecting sign reaching up to **24 ft. above grade** to be installed at 37 E. Flint, based on the findings listed in the Village Planner's report dated May 29, 2025.
- 3) **To approve** the requested variance from the standard **prohibiting internally illuminated projecting signs** to allow **an internally illuminated projecting sign** to be installed at 37 E. Flint, based on the findings listed in the Village Planner's report dated May 29, 2025.

MCKENNA

May 29, 2025

Board of Zoning Appeals
 Village of Lake Orion
 21 E. Church Street
 Lake Orion, MI 48362-3274

Subject : A-25-03 : 37 E Flint Sign Variance Requests
Parcel: OL-99-00-016-509 / OL-09-02-477-019

Board Members:

We have reviewed the above-referenced variance application submitted by Scott Taylor (the “Applicant”) who proposes of three (3) sign variances, one for internal illumination and two for dimensional standards. The property is located on the north side of E. Flint Street, between Broadway and Anderson and is zoned DC, Downtown Center. The maximum permitted projecting sign area without special approval is 9 square feet and it must be externally illuminated.

REQUEST

To establish the business and erect the sign, the applicant is requesting three (3) variances from the Sign Ordinance:

1. CHAPTER 155: SIGN REGULATIONS, SECTION 155.06(C) TABLE – DC, NONRESIDENTIAL

<u>Maximum Projecting Sign Area:</u>	Permitted:	9 sq ft. without special approval
	Existing:	7.29 sq ft.
	Proposed:	32 sq ft.
	Variance:	23 sq ft.

2. CHAPTER 155: SIGN REGULATIONS, SECTION 155.07(H) – PROJECTING SIGN REGULATIONS

<u>Maximum Projecting Sign Height:</u>	Permitted:	12 ft.
	Existing:	<12 ft.
	Proposed:	24 ft.
	Variance:	12 ft.

<u>Illumination of Projecting Signs:</u>	Permitted:	External Illumination Only
	Existing:	External Illumination
	Proposed:	Internal Illumination
	Variance:	Internal Illumination of New Projecting Sign

COMMENTS

Per Section 155.10 of the Village's Sign Ordinance the Board must, prior to acting on a proposed variance, consider and make findings regarding several factors. The Village of Lake Orion Board of Zoning Appeals (BZA) is authorized to grant variances and hear appeals regarding any sign regulation from an interpretation or administrative decision of an official of the Village of Lake Orion or a decision made by the Planning Commission. The BZA shall determine whether the application shall be granted for a variance upon a showing of the following:

- 1) **The variance would not be contrary to the public interest or general purpose and intent of this chapter.**
The variances would not be contrary to the public interest or general purpose and intent of the Sign Ordinance. The building currently has a very large wall sign and a small projecting sign that will be removed and replaced by the proposed projecting sign.
- 2) **The variance does not adversely affect properties in the immediate vicinity of the proposed sign.**
We have no evidence the variances requested would adversely affect the adjacent properties within the immediate vicinity.
- 3) **The petitioner has a practical difficulty resulting from the unusual characteristics of the property that precludes reasonable use of the property.**
The applicant states the current channel letter signage is high on the wall and difficult to read. The proposed sign will allow patrons to see it from all directions, particularly from the Downtown core looking east. The applicant wants to replace the flat wall sign with a vertical projecting sign that also poses as a period art piece, with intricate detailing paying homage to the Lake Orion 'dragon.' The building is one of the larger ones on the strip in width and height, with 'signable' walls located at its far east end.

When determining whether an application complies with the variance standards above, the BZA shall consider the following; however, the BZA may decline to grant a variance even if the following considerations exist:

- 1) **Permitted signage could not be easily seen by passing motorists due to the configuration of existing buildings, trees, or other obstructions, which cannot be legally and/or practically removed.**
The current wall signage is large, and it is placed high on the building, above the street trees and adjacent roof lines. However, it is not obstructed any more than any other business on the block.
- 2) **Permitted signage could not be seen by passing motorists in sufficient time to permit safe deceleration and exit. In determining whether such circumstances exist, the BZA shall consider the width of the road, the number of moving lanes, the volume of traffic, and speed limits.**
The district location is within Downtown Lake Orion, where traffic is typically slower and permitted signage would be able to be seen by passing motorists. The Downtown is pedestrian-oriented and the current wall sign is not conducive to
- 3) **Existing signs on nearby parcels would substantially reduce the visibility or advertising impact of a conforming sign on the premises.**
There are other conforming projecting signs on adjacent business and one awning next door. It is not believed that any of these signs would reduce the visibility or advertising impact of a conforming sign.

- 4) **A conforming sign would require removal/severe alteration to natural features on the premises, including: tree removal, natural topography alteration, wetland filling, or natural drainage course obstruction.**

No removal or alteration of natural features on the premise would be required for a conforming sign to be placed on the building.

- 5) **A conforming sign would obstruct the vision of motorists or otherwise endanger the health or safety of passers-by.**

A conforming sign would not obstruct the vision of motorists or endanger the health or safety of passers-by.

- 6) **The sign is clearly distinguishable from public safety and traffic signs so as to not cause confusion or mislead the public.**

The proposed sign would be clearly distinguishable from the public safety and traffic signs to not cause confusion or mislead the public. The sign would feature historically inspired features, with externally lit bulbs mounted vertically, and craftsmanship-like quality. It will also include the Lake Orion dragon element.

- 7) **The sign is compatible in appearance with the visual character of the surrounding area, i.e. scale and placement to the building, color relationships, and dissimilarity of shape and lettering.**

The new proposed sign will fit the character of the downtown district. The applicant states that they designed the sign to enhance the business visibility and the desired effect that it was placed downtown when the building was built in 1900. There are several other nonconforming, historical signs Downtown that add to the visual character of the area and the scale, placement, and design is more compatible than the existing signage.

- 8) **Such a sign variance may further be granted in those instances in which there has been a demonstrated showing by the applicant that the particular sign sought to be approved is suitable to the village or has some value that comports with the history or development of the community and would not, if a variance were granted, be materially in conflict with applicable underlying district regulations.**

The applicant has done extensive research to incorporate the downtown element and historical charm into the design of the proposed sign. The applicant states that removal of the large, incompatible wall sign and installation of the proposed projecting sign will enhance the area; we are inclined to agree and do not believe the sign would conflict in anyway with underlying district regulations.

RECOMMENDATION

Subject to any additional information presented and discussed by the applicant, Board, and/or the public during the public hearing and incorporated into the record prior to any findings being made, we recommend that the Board of Zoning Appeals **approve the requested variances** for the proposed projecting sign at 37 E Flint, based on finding that:

- 1) The variance would not be contrary to the public interest or general purpose and intent of the Sign Ordinance. The building currently has a very large wall sign and a small projecting sign that will be removed and replaced by the proposed projecting sign.
- 2) We have no evidence the variances requested would adversely affect the adjacent properties within the immediate vicinity.
- 3) The building is relatively large, with “signable” walls located further from the Downtown core, potentially impacting visibility of the business; the proposed sign will enhance visibility for pedestrians and motorists alike.

Recommended Motions:

- 1) **I move to approve** the requested variance of **23 sq. ft.** from the maximum projecting sign area standard to allow a **32 sq. ft.** projecting sign to be installed at 37 E. Flint, based on the findings listed in the Village Planner’s report dated May 29, 2025.
- 2) **I move to approve** the requested variance of **12 ft.** from the maximum projecting sign height standard to allow a projecting sign reaching up to **24 ft. above grade** to be installed at 37 E. Flint, based on the findings listed in the Village Planner’s report dated May 29, 2025.
- 3) **I move to approve** the requested variance from the standard **prohibiting internally illuminated projecting signs** to allow **an internally illuminated projecting sign** to be installed at 37 E. Flint, based on the findings listed in the Village Planner’s report dated May 29, 2025.

Should you have any questions, please reach out to us.

Respectfully,

McKENNA



Gage Belko, AICP
Associate Planner



Alicia Warren
Associate Planner

cc: Village Clerk: Sonja Stout, 21 E. Church Street, Lake Orion, MI 48362
Property Owner: Tom Bailey, 3039 Dixie Highway Waterford, MI



Village of Lake Orion
21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

BOARD OF ZONING APPEALS – APPLICATION FOR VARIANCE OR REVIEW

PROPERTY INFORMATION

Site Address: 37 E. FLINT STREET Parcel ID #: 09-02-477-009

Parcel Size (Sq.Ft.): 6,1720 sq ft. Zoning District: _____

Has the property previously been approved for a variance(s)? Yes / No (If yes, indicate date: _____)

OWNER INFORMATION

Property Owner Name: Tom Bailey Address: 3039 Dixie Highway, Waterford

Property Owner Phone #: 248-276-0300 E-Mail: Tom@SickTheMag.com

APPLICANT INFORMATION (If applicant is NOT property owner)

Applicant Name: _____ Address: _____

Applicant Phone #: _____ E-Mail: _____

Applicant is: (i.e. contractor or business owner or architect, etc.) _____

TYPE OF VARIANCE AND/OR REVIEW REQUESTED

Please check one. A request for multiple types of reviews may require a separate form.

Appeal of Administrative Order Interpretation of Map Interpretation of Section # _____

Dimensional Variance (required setback, height, lot coverage, lot width, lot size, etc.)

Use Variance (specify intended use): _____

Variance from Zoning Ordinance Requirement - Section # _____

Other (please specify): _____

DIMENSIONAL VARIANCE – REQUESTED DEVIATION FROM REQUIREMENTS

Please complete the table below for each deviation from the dimensional requirements which you are requesting.

Section #	Type of Dimensional Requirement	Existing Distance	Required Distance	Proposed Distance	Variance (=Required – Proposed)
Example: Table 12.02	Front Setback	28 Feet	25 Feet	20 Feet	5 Feet
<u>155.07</u>	<u>SIGN SIZE</u>		<u>12</u>	<u>32</u>	<u>20 sq ft.</u>
<u>155.07</u>	<u>SIGN HEIGHT</u>		<u>12</u>	<u>24</u>	<u>12 FT.</u>
<u>155.03</u>	<u>SIGN ILLUMINATION</u>				

Please only fill out the section for the type of variance or review you are requesting.

**DIMENSIONAL VARIANCES AND VARIANCES FROM ZONING ORDINANCE REQUIREMENTS -
 EXPLANATION OF PRACTICAL DIFFICULTIES**

Dimensional Variances, which are deviations from the dimensional zoning requirements, i.e. height, bulk, setback, and variances from other zoning ordinance requirements, such as the amount of investment in a non-conforming property, may only be granted by the Board of Zoning Appeals upon finding that a practical difficulty exists. All of the following conditions must be determined to apply to your case in order to determine that a true practical difficulty exists. (Attach additional sheets if necessary.)

Please explain how: Strict compliance with restrictions governing area, setback, frontage, height, bulk, density, or other non-use matters will unreasonably prevent the owner from using the property for a permitted purpose or will render ordinance conformity unnecessarily burdensome.

A CUSTOM, HANDMADE METAL SIGN, PERIOD CORRECT SIGN THAT INCORPORATES A DRAGON ELEMENT, THE BUSINESS INFORMATION AND REPLACING A LARGE CHANNEL LETTER SIGN THAT IS DIFFICULT TO SEE FROM MOST AREAS IN TOWN.

Please explain how: Granting the variance will provide substantial justice to the applicant, as well as other property owners.

THIS PROJECT IS A TRUE STATEMENT PIECE THAT WILL ENHANCE NOT ONLY THE BUILDING BUT ENTIRE DISTRICT. THIS SIGN WILL ENHANCE BUSINESS VISIBILITY AND ESTABLISH A LEVEL OF CLASS & INVESTMENT TO SHOW TO ALL VISITORS.

Please explain how: The variance requested is the minimum variance needed to provide substantial relief to the applicant and/or be consistent with justice to other property owners.

THE NATURE OF THE SIGN INCLUDING THE DESIGN & INVESTMENT REQUIRES A MARQUEE LIKE APPEARANCE TO MAKE THE DESIRED EFFECT OF A SIGN THAT WOULD HAVE BEEN DOWNTOWN WHEN THE BUILDING WAS BUILT IN 1900

Please explain how: The need for the variance is due to unique circumstances peculiar to the property and not generally applicable in the area or to other properties in the same zoning district.

THE CURRENT SIGN IS DIFFICULT TO READ DUE TO THE HEIGHT AND THE FACT THAT THE BUILDING ~~IS~~ IS TOWARDS THE MIDDLE/END OF THE BLOCK. NEW SIGN WILL BE LEGIBLE FROM FLINT STREET AND WILL BE VISIBLE FROM CORNER OF BROADWAY

Please explain how: The problem and resulting need for the variance has been created by strict compliance with the Zoning Ordinance, and not by the applicant or applicant's predecessors; it is not self-created.

THE NEED IS BECAUSE OF THE BUILDING HEIGHT AND THE FACT THAT A NON-PERIOD CORRECT SIGN DOES NOT GET THE JOB DONE ON THIS AWESOME BUILDING. A VERTICAL SIGN/ART PIECE WILL BE A GORGEOUS ADDITION TO THE ENTIRE DISTRICT.

Please explain how: Granting the variance will not impair the public health, safety, comfort, or welfare of the inhabitants of Lake Orion.

THIS PROJECT WILL ENHANCE THE AREA AND ALLOW THE REMOVAL OF THE LARGE, NON PERIOD CORRECT CHANNEL LETTER SIGN THAT CURRENTLY DOES NOT "FIT" IN THE DISTRICT.

USE VARIANCES – EXPLANATION OF UNNECESSARY HARDSHIP

A Use Variance is a variance that permits the use of a property that is otherwise not permitted in a zoning district. The Board of Zoning Appeals may grant a requested use variance only upon finding that an unnecessary hardship exists. Explain below how the requirements in Article 19, Section 19.04 D. 2. Use Variance Review Standard of Zoning Ordinance pertains to your site. (Attach additional sheets if necessary.)

N/A.

APPEALS OF ADMINISTRATIVE ORDERS, INTERPRETATIONS OF MAP OR ZONING ORDINANCE SECTIONS

Per Section 19.04(B), when an applicant believes they have been aggrieved by a decision of the Zoning Administrator, they may appeal the decision to the Board of Zoning Appeals. Per Section 19.04(C), the Board of Zoning Appeals has the authority to hear and decide requests for interpretation of the Zoning Ordinance, including the Zoning Map. In the area below, please state the Section relevant to your appeal or interpretation request. Please state any facts or conditions relevant to your application. (Attach additional sheets if necessary.)

N/A.

ADDITIONAL INFORMATION AND REQUIREMENTS

Section 19.04(F) identifies all information required for a complete application.

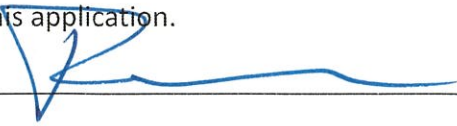
Please place your initials below next to all items included in your application.

If you believe the information is not relevant please place 'N/A' for not applicable next to the item.

- JB 1) A completed application signed by the property owner.
- _____ 2) Proof of ownership.
- NA 3) Property owner authorization for an applicant to act on their behalf.
- JB 4) Project Narrative – A letter to the BZA explaining the variance or review request.
- NA 5) Land Survey – A survey prepared by a professional surveyor.
- NA 6) Site Plan – A set of plans to scale which include all property lines with dimensions, setbacks, existing and proposed structures.
- JB 7) Architectural plans and elevations – A set of drawings illustrating the details of any proposed structures.
- _____ 8) PDF files - A digital PDF version of all documents must be provided either via media source (CD, DVD, USB drive) or email to the Zoning Coordinator.
- _____ 9) Payment of fees.

By signing below you acknowledge all of the following:

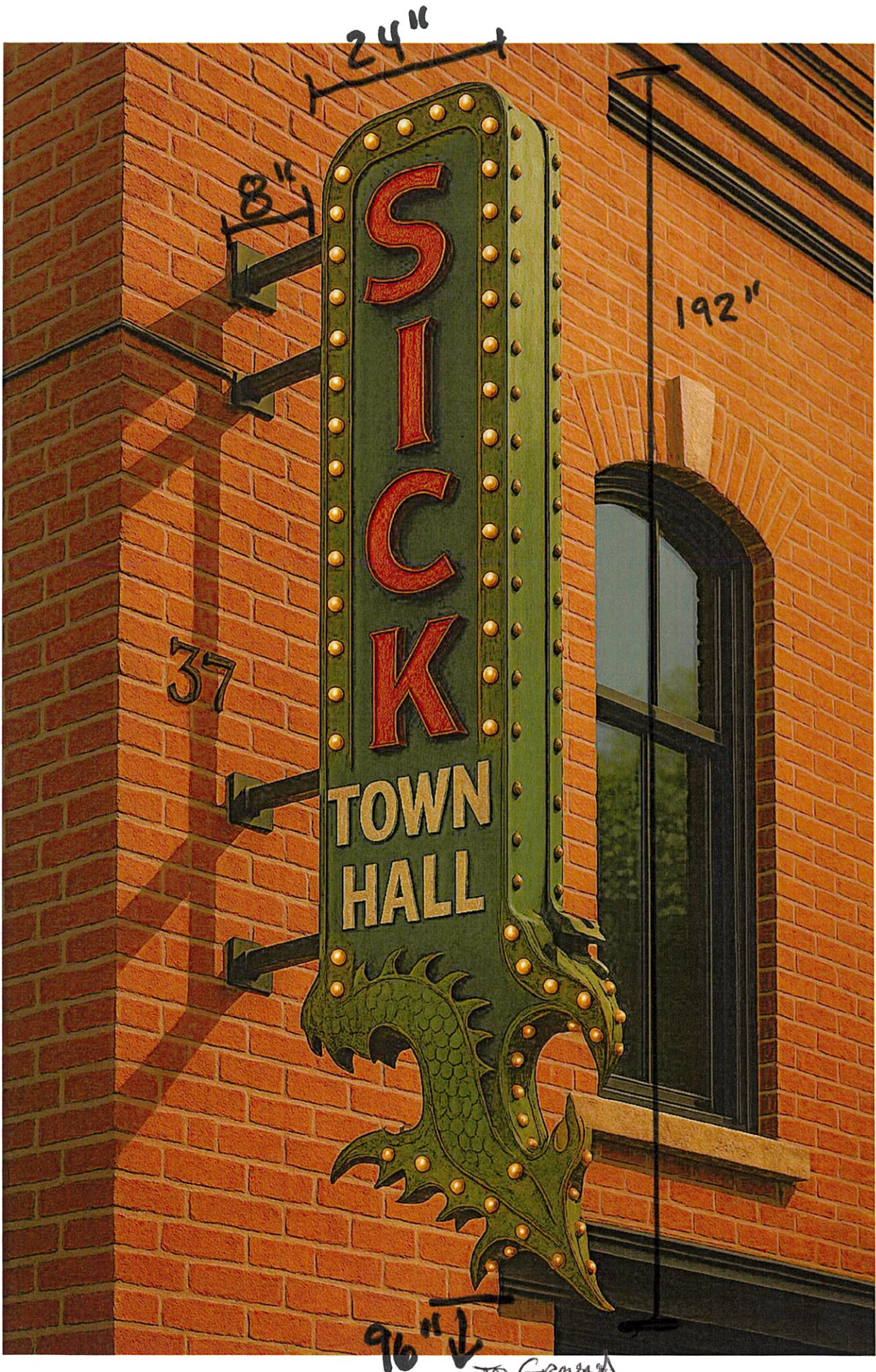
- The undersigned acknowledges that they have read Section 19.04 of the Village of Lake Orion Zoning Ordinance, has received and read the instructions and understands the application process.
- The undersigned acknowledges that in their opinion they believe the additional information included with this application meets the submittal requirements for a variance or review application and accept all responsibility for any lack of required information.
- The undersigned acknowledges that any lack of information which may result in a delay of the review process is the sole responsibility of the applicant.
- The undersigned deposes that the forgoing statements and answers and accompanying information are true and correct.
- The undersigned hereby authorizes Village representatives to enter the subject property in connection with this application.

Signature of Property Owner: 

Date: 5/13/2025

Signature of Applicant: _____

Date: _____





Village of Lake Orion

21 E. Church Street
 Lake Orion, Michigan 48362
 Tel 248.693.8391
 Fax 248.693.5874
www.lakeorion.org

REQUIRED DOCUMENTS

The following lists all documents required for a complete submittal of a BZA application for a variance or review.

A complete application and all associated documents must be submitted 30 DAYS prior to the next available meeting date to be eligible for the agenda.

- ✓ 1. **Completed Village of Lake Orion BZA Variance or Review Application.** *(Must be signed by Property Owner)*
2. **Proof of ownership of property.**
- ✓ 3. **Property owner authorization for an applicant to act on their behalf.**
- ✓ 4. **Project narrative.** *A letter to the BZA explaining the variance or review request.*
5. **Land survey.** *A survey prepared by a professional surveyor.*
- ✓ 6. **Site plan.** *A set of plans to scale which include all property lines with dimensions, setbacks, existing and proposed structures.*
7. **Architectural plans and elevations.** *A set of drawings illustrating the details of any proposed structures.*
8. **PDF files.** *A digital PDF version of all documents must be provided either via media source (CD, DVD, USB drive) or email to the Zoning Coordinator.*
9. **Payment of fees.** *See fee schedule for appropriate fees. Please make separate checks for application and escrow fees payable to the Village of Lake Orion. Additional funds will be required for additional reviews. Escrow balances will be refunded when case is closed.*

ADDITIONAL PERMIT APPLICATIONS AND PROJECT CONSULTATION

The Village Zoning Ordinance and all Village permit application packets are available at the Village of Lake Orion office Monday through Friday from 9:00am to 4:30pm. They are also available online at www.lakeorion.org.

It is highly recommended that you review your project with the Village Planning and Zoning Department prior to submittal. Please contact the Village Zoning Coordinator with any questions at (248) 693-8391 extension 107.

Dear Village of Lake Orion Zoning Board,

May 13, 2025

My name is Scott Taylor. I am a 50 year resident of Orion Township and my partner, Tom Bailey has lived in Orion Township for 25 years. We started Sick Pizza in Oxford in May of 2021 and recently purchased the 313 Pizza Bar. We believe this building, that is shrouded in Lake Orion history, will become a favorite spot for residents and visitors, we plan to offer excellent casual dining food as well as a full-service bar and an excellent event space for locals to utilize and enjoy for all of their special occasions.

I pen this letter to explain the need for a sign variance at this location. The current sign is a channel letter sign that spans the majority of the distance of the tallest structure of our building. The existing sign is over twenty feet in the air and on the wall parallel to Flint Street. We would really like a sign that is period correct to the building, which was built in 1900. The current channel letter sign is a sign more fitting a plaza restaurant not for a building that was the original fire station/police station/town hall. The current sign is very easy to miss even though it measures over 50 square feet. The fact that the current sign is attached to the wall, high in the air makes it difficult to see when driving down Flint Street or from Broadway.

We searched the surrounding communities looking for an example of a sign that would best enhance the building and community. A local theatre has an awesome sign that is vertical and a true piece of art. We found the designer of the sign and had a consultation with him to determine if he could incorporate our ideas and make it a true reality in downtown Lake Orion. A rendering was produced by the artist that incorporated our business name along with a dragon tone because, as we know, in Lake Orion, we are all dragons.

The cost of this project is significantly more than we had allocated for signage for the start up but we felt the impact to our business and the district was worth the investment. The rendering that was produced (attached) is 32 square feet and the ordinance for a projection sign is 12 square feet. We feel that reproducing a true, period correct sign on our facility will greatly enhance our ability to identify our business as well as enhance the historical significance of the building and the district.

This project is a life long goal for a two Orion guys. We are willing to invest the time and dollars into this endeavor as long as we get your go ahead. Thank you for your time and consideration in this matter.

Warmest Regards. Scott Taylor & Tom Bailey – Sick Town Hall.





Village of Lake Orion
21 E. Church Street
Lake Orion, Michigan 48362
Tel 248.693.8391
Fax 248.693.5874
www.lakeorion.org

SIGN PERMIT APPLICATION

PROPERTY INFORMATION

Sign Site Address: 37 E. FLINT STREET Parcel ID #: 09-02-477-009
Name of Business at Sign Location: SICK TOWNS HALL Zoning District: _____

OWNER INFORMATION

Property Owner Name: Tom Bailey Address: 3039 DIXIE HIGHWAY, WARREN
Property Owner Phone #: 248-296-0300 E-Mail: Tom@sickthetmag.com

APPLICANT INFORMATION (If applicant is NOT property owner)

Applicant Name: _____ Address: _____
Applicant Phone #: _____ E-Mail: _____
Applicant is: (i.e. contractor or business owner or architect, etc.) _____

TYPE AND QUANTITY OF SIGN(S)

Please indicate the quantity of each type of sign proposed.

Permanent Sign(s): _____ Wall Projecting _____ Ground Sign _____ Awning _____ Other _____
Temporary Sign(s): _____ Banner _____ Community Event _____ Class 1 (Adjustable Type) _____ Class 2 (A-Frame) _____
Temporary Display Dates: From _____ To _____
Name of Event: _____ Date of Event: _____

ADDITIONAL INFORMATION AND REQUIREMENTS

- 1) **Location Map:** A map identifying the location of all requested signs on the property or building must be provided or the application WILL NOT be reviewed.
- 2) **Sign Sketch Plan:** A scaled plan or drawing identifying the size and elements of all requested sign(s) on the property or building must be provided or the application WILL NOT be reviewed.
- 3) **Orion Township Building Permit:** An Orion Township building permit application must be included in order to erect any permanent signs.

I hereby agree to erect and remove (if applicable) signage exactly as approved on this application:

Signature of Property Owner: [Signature] Date: 5/13/2025
Signature of Applicant (or Contractor): _____ Date: _____

TO BE COMPLETED BY VILLAGE STAFF - Date Received: _____ Fee: _____ Receipt #: _____

Business
Dev.



Lockhart's BBQ

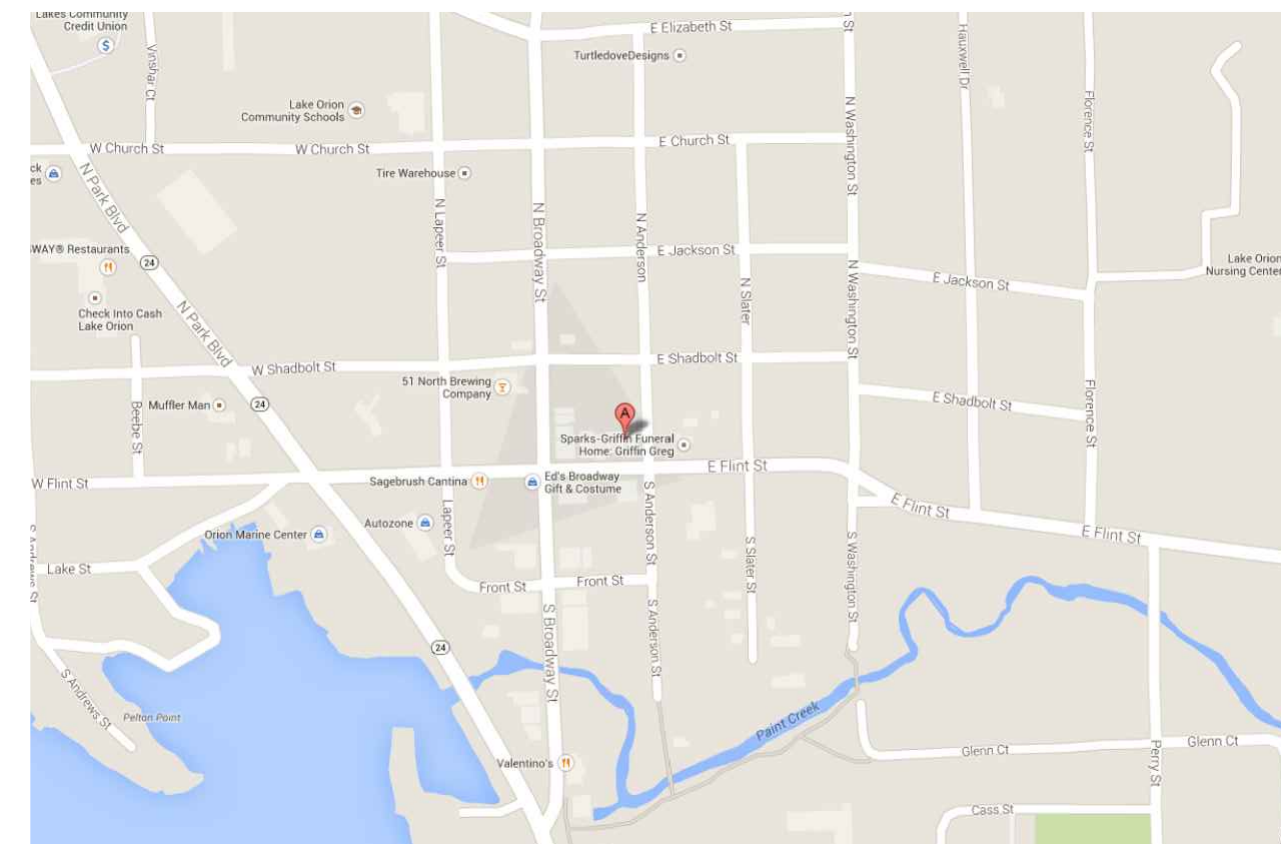
Addition / Renovation

37 East Flint St.

Lake Orion, MI

Sheet Index

G.100	Title Sheet
G.101	Life Safety Plan
G.102	Symbols & Abbreviations
D.100	First Floor Demolition Plan
D.200	Second Floor Demolition Plan
A.100	First Floor Plan
A.101	Second Floor Plan
A.102	Enlarged Plans
A.102.1	Enlarged Plans
A.103	Finish Floor Plans
A.103.1	Schedules
A.200	First Floor Reflected Ceiling Plan
A.201	Second Floor Reflected Ceiling Plan
A.300	Exterior Elevations
A.400	Building Section
A.401	Building Section
A.402	Building Section
A.500	Interior Elevations
A.501	Interior Elevations
A.502	Interior Elevations
A.503	Interior Elevations
A.504	Interior Elevations
A.505	Restroom Elevations
A.506	Restroom Elevations
A.507	Restroom Elevations
A.508	Bar Elevations
A.509	Bar Elevations
A.600	Building Details
S.100	First Floor Structural Plan



Deferred Submittal Note:

The registered design professional is Jason Krieger, architect

These Construction Documents were prepared for compliance with the Michigan Construction Codes in effect at the time of permit submittal. All engineers, contractors, and suppliers involved with this project shall comply with the same codes, issued and approved code modifications and/or Ann Arbor Construction Boards of Appeals ruling and whenever required shall provide shop drawings and submittals clearly describing compliance to the Registered Design Professional in responsible charge for review and approval.

krieger klatt
 ARCHITECTS
 architecture interiors consulting
 1412 East Eleven Mile Road, Royal Oak, MI 48067
 Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:

Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

Project:

Renovation

Issued:

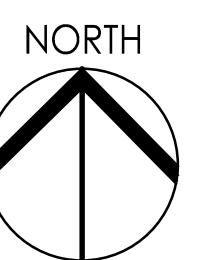
8-15-2014 Bank Review

Seal:

Note:

Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in field.

North Arrow:



Sheet Title:

Title Sheet

Scale:

As Noted

Project Number:

14-051

Sheet Number:

G.001

Client:
Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

Project:
Renovation

Issued:
 8-15-2014 Bank Review

Seal:

Note:
 Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in field.

North Arrow:



Sheet Title:
Life Safety Plan

Scale:
 3/16" = 1'-0"

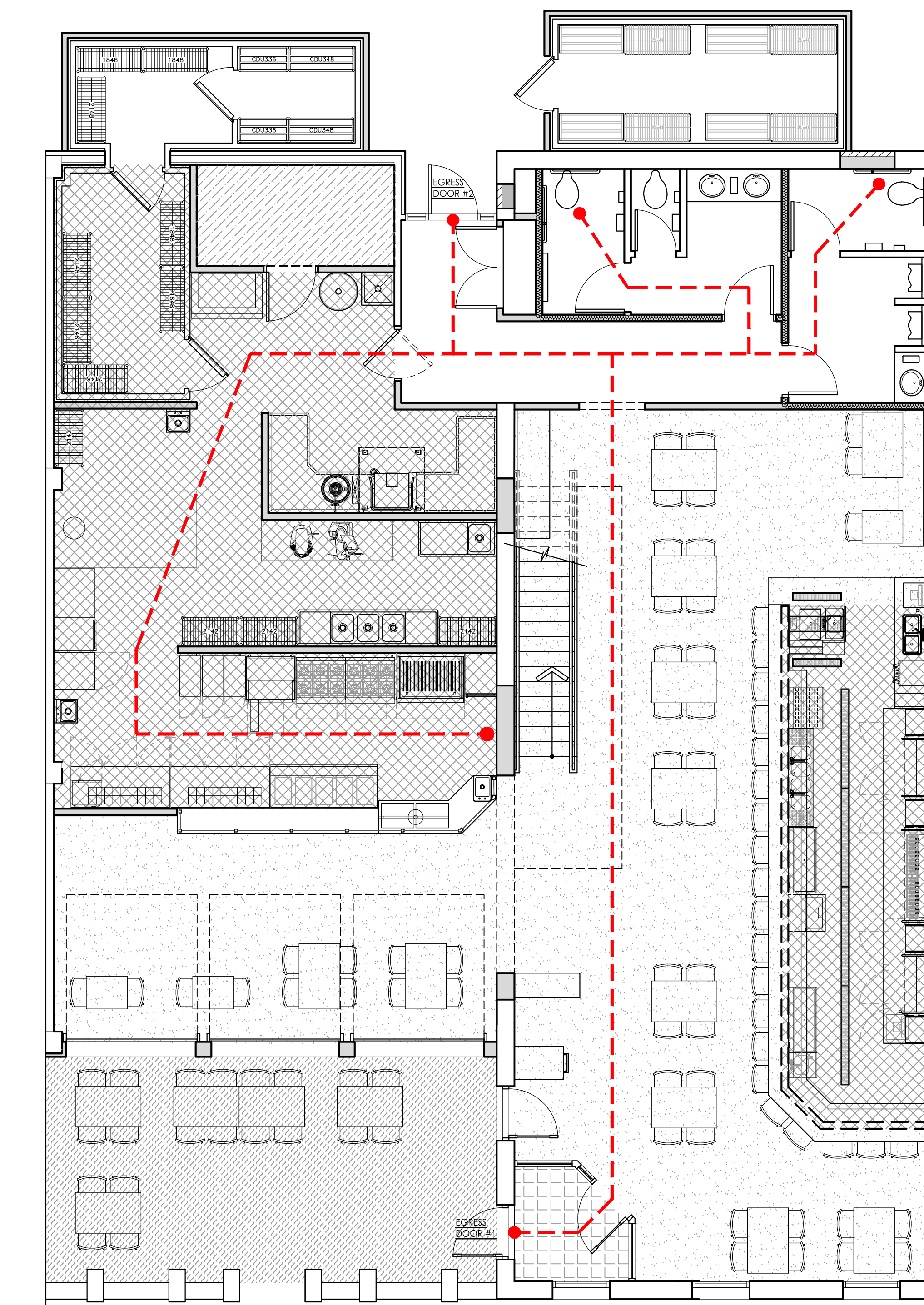
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Sheet Number:

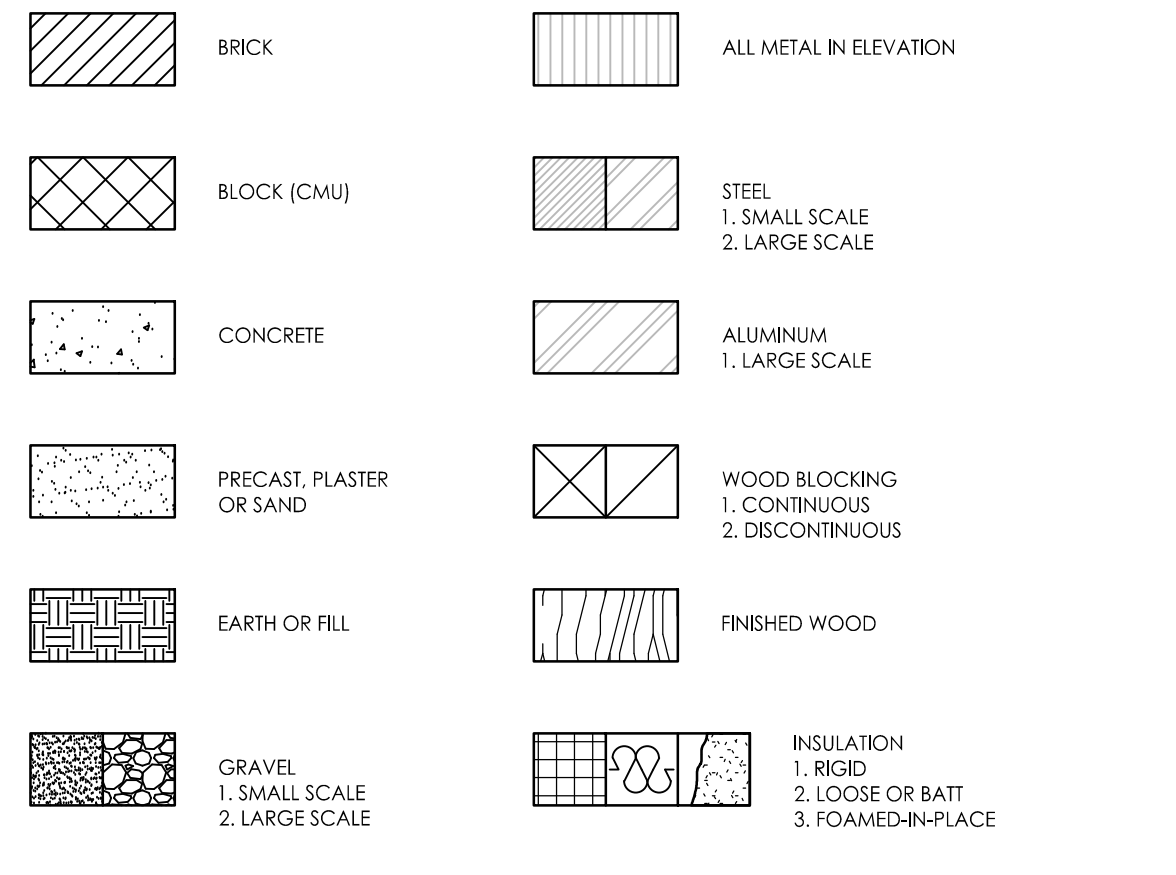
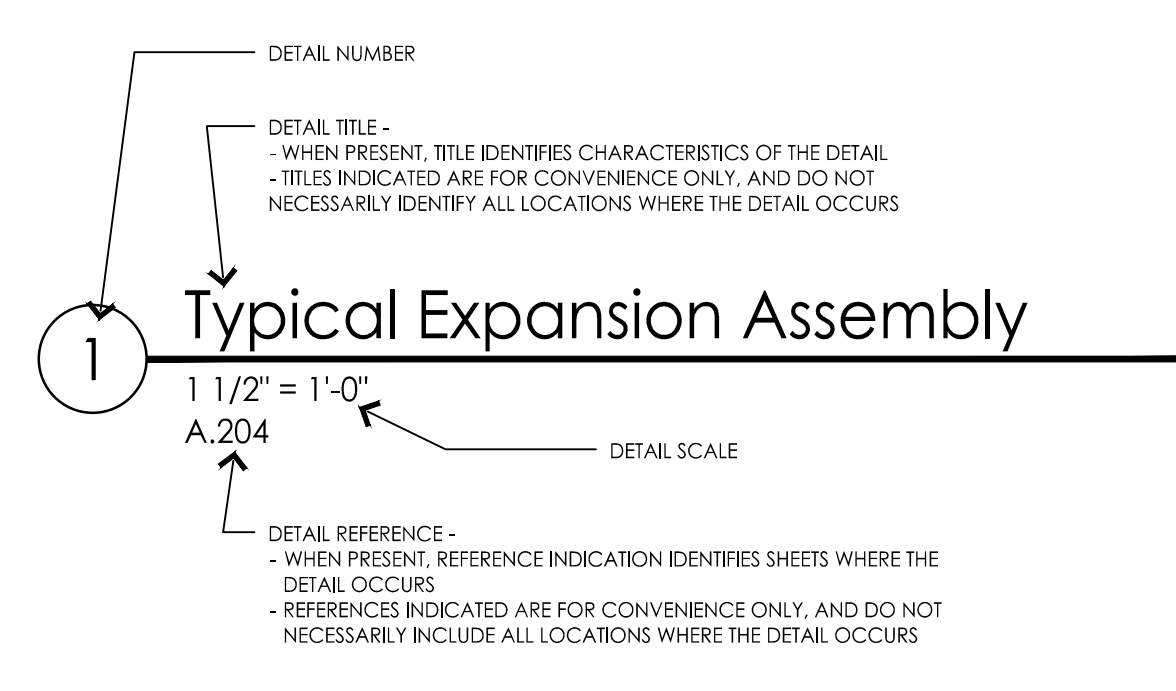
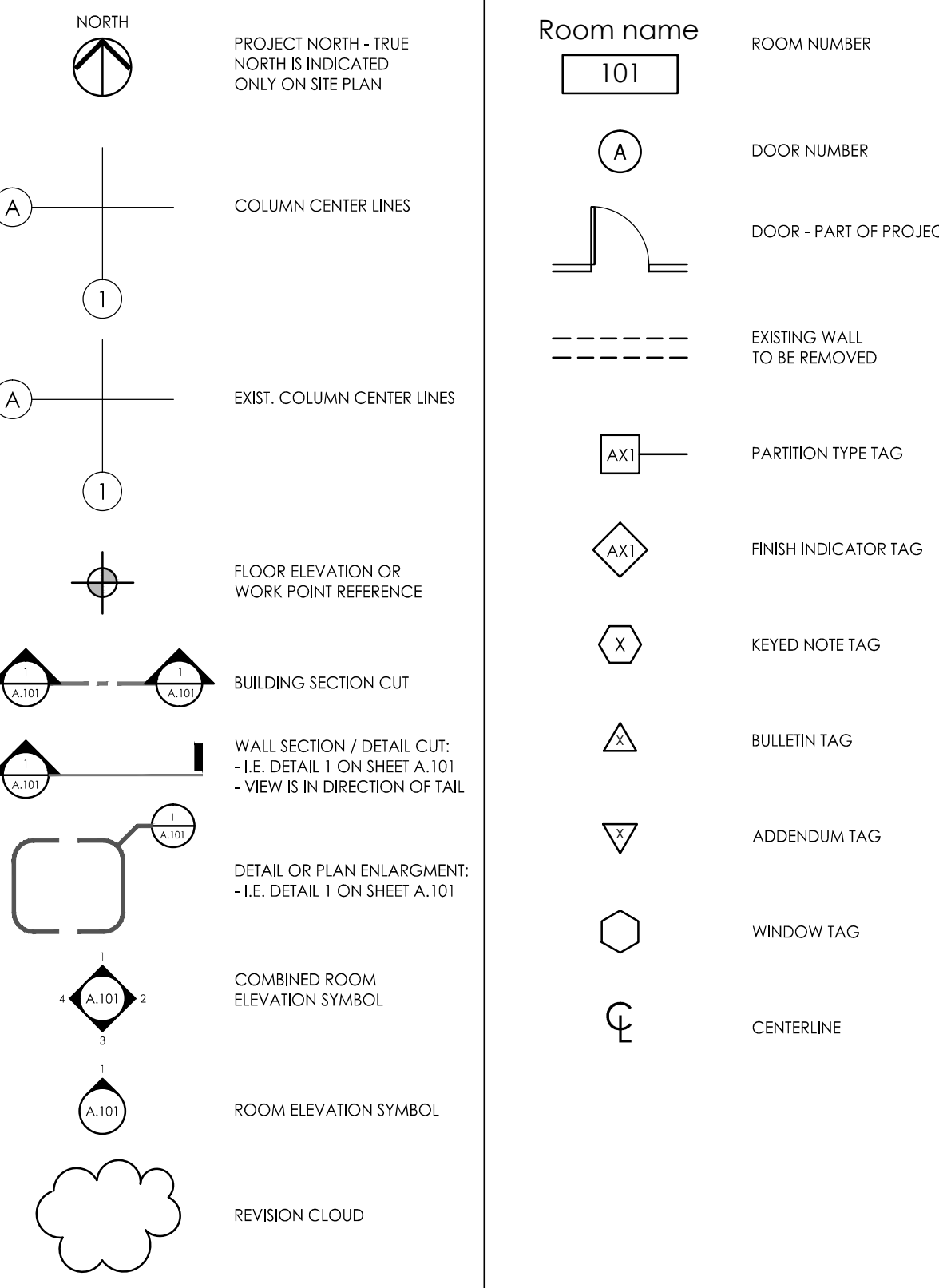
G.002

OCCUPANCY CALCULATIONS (FIRST FLOOR)			
* OCCUPANCY BASED ON TABLE 1004.1.1, MBC 2009			
ASSEMBLY AREAS	TOTAL (S.F.)	CALC. OCCUPANTS	SEAT COUNT
DINING AREAS 15 SQ. FT./ OCCUPANT	1,387 SQ. FT.	93	70
KITCHEN / STAFF AREAS 200 SQ. FT./ OCCUPANT	1,147 SQ. FT.	6	-
MECH. / STORAGE AREAS 300 SQ. FT./ OCCUPANT	N/A SQ. FT.	-	-
OFFICE 100 SQ. FT./ OCCUPANT	75 SQ. FT.	1	-
WAITING AREAS 5 SQ. FT./ OCCUPANT	44 SQ. FT.	9	-
TOTAL INTERIOR OCCUPANTS * USED FOR EXITING AND EGRESS CALCULATIONS		109	70
PATIO 15 SQ. FT./ OCCUPANT	382 SQ. FT.	26	20
TOTAL OCCUPANTS * USED FOR EXISTING AND EGRESS CALCULATIONS		135	90
OCCUPANT LOAD * USED FOR RESTROOM CALCULATIONS		135	

PLUMBING FIXTURE CALCULATIONS					
* FIXTURE COUNT BASED ON TABLE 403.1, MICHIGAN PLUMBING CODE 2009					
MAXIMUM OCCUPANTS (GREATEST OF OCCUP. CALC. OR SEAT COUNT NUMBERS) = 135 50% MALE & 50% FEMALE = 135 / 2 = 68 EACH 68 / 40 = 1.7 = 2 WC PER RESTROOM (TABLE 403.1) 68 / 200 = 0.34 = 1 LAV. PER RESTROOM (TABLE 403.1)					
REQUIRED:			PROVIDED:		
	MEN	WOMEN		MEN	WOMEN
W.C. (1:40)	2	2	W.C. (1:40)	1*	3
URINAL*	-	-	URINAL*	2*	-
LAVATORY (1:200)	1	1	LAVATORY (1:200)	1	2
* URINAL SUBSTITUTION PER 419.2 - UP TO 2/3 MAXIMUM					



ARCHITECTURAL ABBREVIATION LIST				ARCHITECTURAL SYMBOLS			
ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	ABBREVIATION	DESCRIPTION	SYMBOL	DESCRIPTION
A/C & VENT	AIR CONDITIONING & VENTILATING	E	EAST	MACH	MACHINE	S	S-SHAPE STEEL MEMBER
A/E	ARCHITECT-ENGINEER	EA	EACH	MAR	MARBLE	SAF	SPRAY APPLIED REROFROOFING
AB	ANCHOR BOLT	EFS	EXTERIOR INSULATION & FINISH SYSTEM	MAS	MASONRY	SB	SOIL BORING
ACC	ACCESSIBLE	EJ	EXPANSION JOINT	MATL	MATERIAL	SCHED	SCHEDULE
ACI	AMERICAN CONCRETE INSTITUTE	EL	ELEVATOR	MAX	MAXIMUM	SDG	SIDING
ACOUS INSUL	ACOUSTICAL INSULATION	ELEC	ELECTRICAL, ELECTRONIC	MBC	MICHIGAN BUILDING CODE	SECT	SECTION
ACOUS PNL	ACOUSTICAL PANEL	EO	ELECTRICAL OUTLET	MECH	MECHANICAL	SH	SHOWER
ACS DR	ACCESS DOOR	ELEV	ELEVATOR	MEMB	MEMBRANE	SH1	SHEET
ACS PNL	ACCESS PANEL	EMBED	EMBEDMENT	MEZZ	MEZZANINE	SN	SMALLER
ACST	ACOUSTIC	ENCL	ENCLOSURE, ENCLOSED	MFG	MANUFACTURING	SLDG	SLIDING
ACST SLNT	ACOUSTIC SEALANT	ENTR	ENTRANCE	MFR	MANUFACTURER	SLDG WDW	SLIDING WINDOW
ADA	AMERICANS W/ DISABILITIES ACT	EQ	EQUAL	MIN	MINIMUM	SLNT	SLANT
ADOL	ADDITIONAL	EQUIP	EQUIPMENT	MIS	MISCELLANEOUS	SLV	SHORT VERTICAL
ADDN	ADDENDUM	ETR	EXISTING TO REMAIN	MO	MASONRY OPENING	SM	SHEET METAL
ADDN	ADDITION	EW	EACH WAY	MR	MOISTURE RESISTANT	SP	SHAFT PARTITION
ADJ	ADJACENT	EWG	ELECTRIC WATER COOLER	MT	MARBLE THRESHOLD	SPEC	SPECIFICATION
ADJS	ADJUSTABLE	EWH	ELECTRIC WATER HEATER	MTC	METAL TOILET COMPARTMENTS	SPKLR	SPRINKLER
AF	ABOVE FINISHED FLOOR	EWS	EYE WASH STATION	MTL	METALLIC, METAL	SG	SQUARE
AGGR	AGGREGATE	EXC	EXCAVATE, EXCAVATION	MULL	MULLION	SSK	SERVICE SINK
AHU	AIR HANDLING UNIT	EXH	EXHAUST	MWP	METAL WALL PANEL	SST	STAINLESS STEEL
ALT	ALTERNATE	EXIST GR	EXISTING GRADE	NATL	NATIONAL	STA	STATION
ALUM	ALUMINUM	EXP	EXPANSION	NC	NOISE CRITERIA	STAG	STAGGERED
ANOD	ANODIZED	EXPS	EXPOSED	NFPA	NATIONAL FIRE PROTECTION ASSOCIATION	STC	SOUND TRANSMISSION CLASS
ANSI	AMERICAN NATIONAL STANDARDS INSTITUTE	EXT	EXTERIOR	NL	NIGHT LIGHT	STD	STANDARD
APC	ACOUSTICAL PANEL CEILING	EXTNG	EXTINGUISHER	NOM	NOMINAL	STIF	STIFFENER
APPROX	APPROXIMATE	EXTR	EXTRUDED	NTS	NOT TO SCALE	STL	STEEL
ARCH	ARCHITECTURAL	FD	FLOOR DRAIN	OC	ON CENTER	STOR	STORAGE
ASPH	ASPHALT	FE	FIRE EXTINGUISHER	OD	OUTSIDE DIAMETER, OUTSIDE DIMENSION	STRUCT	STRUCTURAL
ASTM	AMERICAN SOCIETY FOR TESTING MATERIALS	FEC	FIRE EXTINGUISHER CABINET	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED	STRUCTL	STRUCTURAL
ATC	ACOUSTICAL TILE CEILING	FHC	FIRE HOSE CABINET	OF/CI	OWNER FURNISHED / CONTRACTOR INSTALLED	STL	STRUCTURAL STEEL
AUTO	AUTOMATIC	FHR	FIRE HOSE RACK / REEL	OFF	OFFICE	SUSP	SUSPENDED, SUSPENSION
AVG	AVERAGE	FR	FIRE RATED	OFF	OVERHEAD DOOR	SV	SHEET VINYL
B PL	BASE PLATE	FRP	FIRE RETARDANT PLYWOOD	OPH	OPPOSITE HAND	SW	SWITCH
B/B	BACK TO BACK	FRPP	FIRE RETARDANT REINFORCED PLASTIC PANEL	OPH	OPPOSITE HAND	SWD-FR	SHEATHING WOOD-FIRE RETARDANT
BC	BOTTOM CHORD	FRPF	FIRE RETARDANT PLYWOOD	OPH	OPPOSITE HAND	SYM	SYMMETRICAL
BD	BOARD	FRPG	FIRE PROOFING	OPH	OPPOSITE HAND	T	TREAD
BEV	BEVELED	FRW	FIRE RETARDANT WOOD	OPH	OPPOSITE HAND	T & G	TREAD & GROOVE
BF	BARRIER FREE	FT	FOOTING	OPH	OPPOSITE HAND	T & R	TELEPHONE
BL	BUILDING LINE	FTG	FOOTING	OPH	OPPOSITE HAND	TEL	TELEPHONE
BLDG	BUILDING	FTG	FOOTING	OPH	OPPOSITE HAND	TEMP	TEMPERATURE
BLDG DAT	BUILDING DATUM	FURN	FURNITURE	OPH	OPPOSITE HAND	TER	TERRAZZO
BLKG	BLOCKING	FUT	FUTURE	OPH	OPPOSITE HAND	THD	THREAD
BW	BELOW	GA	GAUGE	OPH	OPPOSITE HAND	THK	THICKNESS, THICK
BM	BEAM	GALV	GALVANIZED	OPH	OPPOSITE HAND	THRESH	THRESHOLD
BOS	BOTTOM OF STEEL	GDR	GLAZED CURTAIN WALL	OPH	OPPOSITE HAND	TOC	TOP OF CONCRETE (ELEVATION)
BOT	BOTTOM	GRD	GROUND	OPH	OPPOSITE HAND	TOIL	TOILET
BR	BEDROOM	GRD	GROUND	OPH	OPPOSITE HAND	TOIL RM	TOILET ROOM
BRKT	BRACKET	GRF	GROUND FAULT CIRCUIT INTERRUPTER	OPH	OPPOSITE HAND	TOP	TOP OF RAIL (ELEVATION)
BRZ	BRONZE	GRFP	GROUND FIBER REINFORCED PLASTIC	OPH	OPPOSITE HAND	TOS	TOP OF STEEL (ELEVATION)
BSMT	BASEMENT	GRG	GRANITE	OPH	OPPOSITE HAND	TOW	TOP OF WALL (ELEVATION)
BTWN	BETWEEN	GRIG	GRATING	OPH	OPPOSITE HAND	TRAN	TRANSOM
BULLN	BULLETIN	GRIP	GRIP	OPH	OPPOSITE HAND	TV	TELEVISION
BUR	BUILT-UP ROOFING	H	HIGH	OPH	OPPOSITE HAND	TV	TYPICAL
C	CHANNEL	HB	HOSE BIBB	OPH	OPPOSITE HAND	UC	UNDERCABINET
C TO C	CENTER TO CENTER	HD	HEAVY DUTY	OPH	OPPOSITE HAND	UG	UNDERGROUND
CAB	COMPRESSED AIR	HEX	HEXAGON	OPH	OPPOSITE HAND	UH	UNIT HEATER
CANTILE	CANTILEVER	HIM	HOLLOW METAL	OPH	OPPOSITE HAND	UN	UNLESS NOTED
CB	CATHETER, CATHETER, CATHETERIZATION	HNDRL	HANDRAIL	OPH	OPPOSITE HAND	UNO	UNLESS NOTED OTHERWISE
CEM	CEMENT	HORIZ	HORIZONTAL, HORIZONTALLY	OPH	OPPOSITE HAND	UR	URNAL
CF/CI	CATCH BASIN	HPT	HIGH POINT	OPH	OPPOSITE HAND	VAC	VACUUM
CF/OF	CEMENT	HOUR	HOUR	OPH	OPPOSITE HAND	VENT	VENTILATING, VENTILATION
CFMF	CONCRETE FURNISHED / CONTRACTOR INSTALLED	HSS	HOUSEKEEPING	OPH	OPPOSITE HAND	VERT	VERTICAL
CH	COLD-FORMED METAL FRAMING	HT	HOLLOW STRUCTURAL SECTIONS	OPH	OPPOSITE HAND	VEST	VESTIBULE
CHKD	CHECKERED	HTR	HEATING	OPH	OPPOSITE HAND	VERIF	VERIFY IN FIELD
CI	CAST IRON	HVAC	HEATING, VENTILATION & AIR CONDITIONING	OPH	OPPOSITE HAND	VOL	VOLUME
CJ	CIRCLE, CIRCULAR, CIRCULATION	HYD	HOT WATER	OPH	OPPOSITE HAND	VVC	VINYL WALL COVERING
CL	CONTROL JOINT	ID	INTERNATIONAL BUILDING CODE	OPH	OPPOSITE HAND	W_X-	WIDE FLANGE SHAPES
CLG	CENTERLINE	IBC	INTERNATIONAL BUILDING CODE	OPH	OPPOSITE HAND	W	WIDE, WIDTH
CLN	CILING	IN	INSIDE DIAMETER, INSIDE DIMENSION	OPH	OPPOSITE HAND	W/	WITH
CLO	CLOSET	INCL	INCLUDING, INCLUDING, INCLUSIVE	OPH	OPPOSITE HAND	W/O	WITHOUT
CLR	CLEAR	INFO	INFORMATION	OPH	OPPOSITE HAND	W/W	WALL TO WALL
CMU	CONCRETE MASONRY UNIT	INSUL	INSULATION, INSULATED	OPH	OPPOSITE HAND	WC	WATER CLOSET
CO	CLEANOUT	INV	INVERT	OPH	OPPOSITE HAND	WD	WOOD
CO2	CARBON DIOXIDE	INV EL	INVERT ELEVATION	OPH	OPPOSITE HAND	WF	WASH FOUNTAIN
COL	COLUMN	J	JANITORS CLOSET	OPH	OPPOSITE HAND	WG	WALL GUARD
COMPO	COMPOSITION	JT	JOINT	OPH	OPPOSITE HAND	WH	WALL HYDRANT
CONC	CONCRETE	JUN	JUNCTION BOX	OPH	OPPOSITE HAND	WI	WROUGHT IRON
CONF	CONFERENCE	K	KITCHEN	OPH	OPPOSITE HAND	WD	WINDOW OPENING
CONN	CONNECTION	KS	KICKPLATE	OPH	OPPOSITE HAND	WP	WORK POINT
CONSTR	CONSTRUCTION	L	ANGLE	OPH	OPPOSITE HAND	WPF	WATERPROOFING
CONSTR JT	CONSTRUCTION JOINT	LAM	LAMINATED	OPH	OPPOSITE HAND	WR	WATER RESISTANT
CONT	CONTINUATION, CONTINUE, CONTINUOUS	LAV	LAVATORY	OPH	OPPOSITE HAND	WS	WATERSTOP
CONTR	CONTRACTOR	LG	LONG	OPH	OPPOSITE HAND	WT	WEIGHT
COORD	COORDINATE	LH	LEFT HAND	OPH	OPPOSITE HAND	WV	WEATHERPROOF
CORR	CORRIDOR	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND	WWR	WELDED WIRE REINFORCEMENT
CPS	CARPET (SHEET)	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND	YD	YARD
CPT	CARPET, CARPET TILE	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CPW	CARPET (WALL BASE)	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CRCMF	CIRCUMFERENCE	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CRH	CRITICAL	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CRS	COURSE, COURSES	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CTS	CERAMIC TILE	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CTB	CERAMIC TILE BASE	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CTR	CENTER, CENTRAL	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CTRD	CENTERED	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CTRL	CONTROL	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CU	CUBIC	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CUH	CABINET UNIT HEATER	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
CW	COLD WATER	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DA	DATA OUTLET	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DB	DOUBLE ACTING DOOR	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DEG	DEGREE	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DEMO	DEMOLISH, DEMOLITION	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DEPT	DEPARTMENT	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DET	DETAIL	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DF	DRINKING FOUNTAIN	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DIA	DIAMETER	LHR	LEFT HAND REVERSE	OPH	OPPOSITE HAND		
DIAG	DIAGONAL	LHR	LEFT HAND REVERSE	OPH </tr			



Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

Sheet Title:
Symbols & Abbreviations

Scale:
None

Project Number:
14-051

Sheet Number:

G.003

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

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North Arrow:

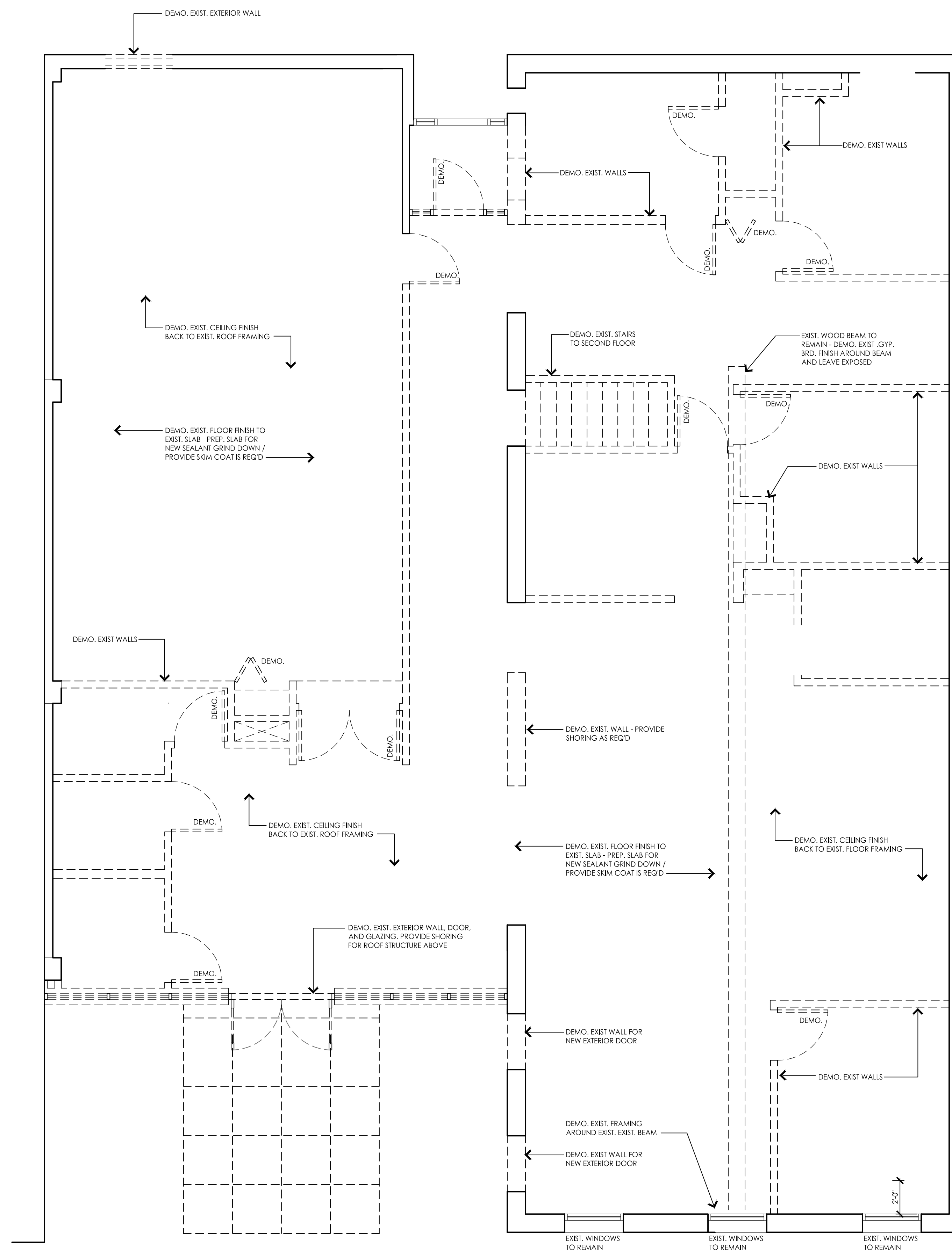


Sheet Title:
**First Floor
Demolition Plan**

Scale:
1/4" = 1'-0"

Project Number:
14-051

Sheet Number:
D.100



Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362
Project:
Renovation

Issued:
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Note:
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calculated dimensions only.
Verify existing conditions in field.

North Arrow: _____

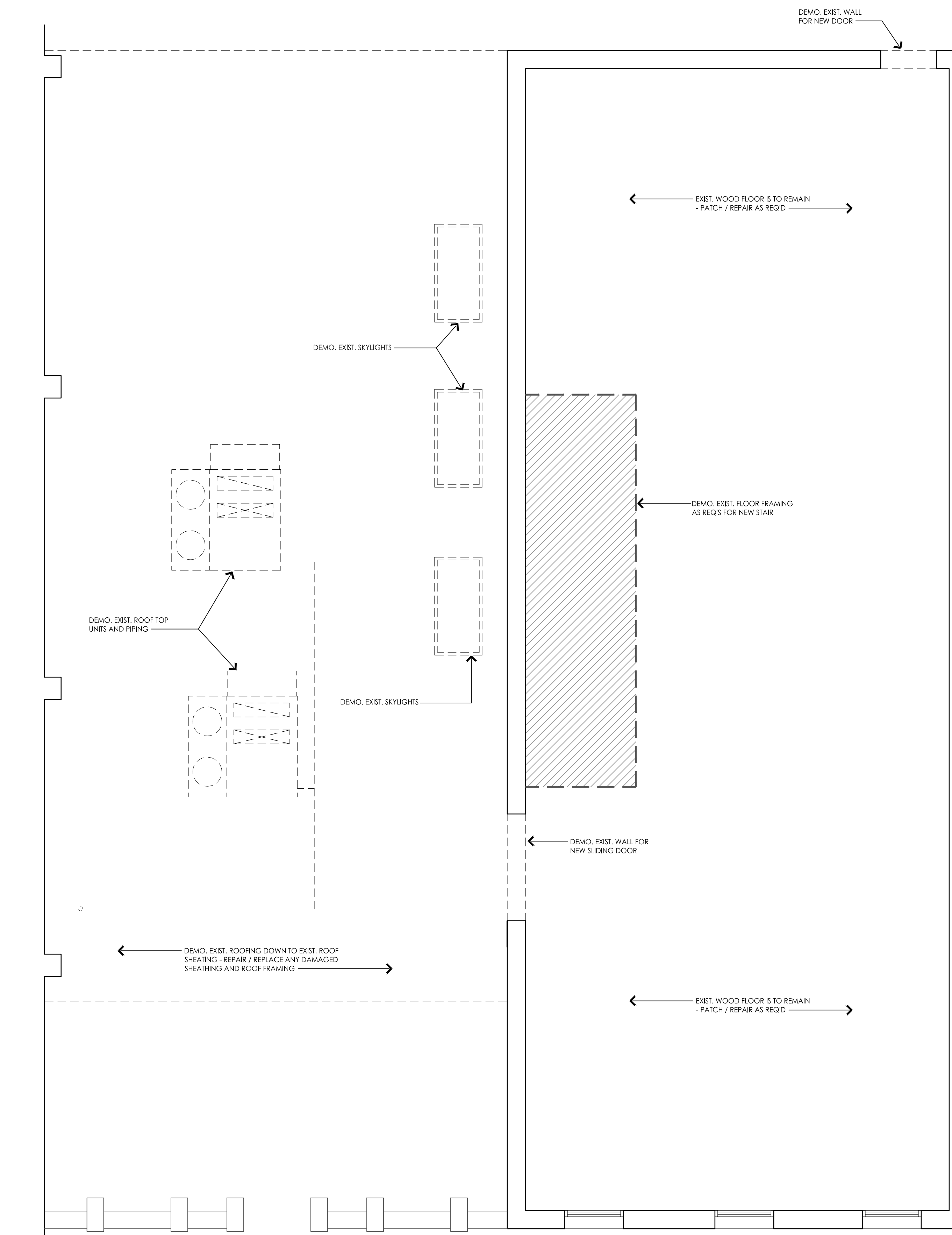


Sheet Title:
**Second Floor
Demolition Plan**

Scale:
1/4" = 1'-0"

Project Number:
14-051

Sheet Number:
D.101



Second Floor Demolition Plan

General Floor Plan Notes:

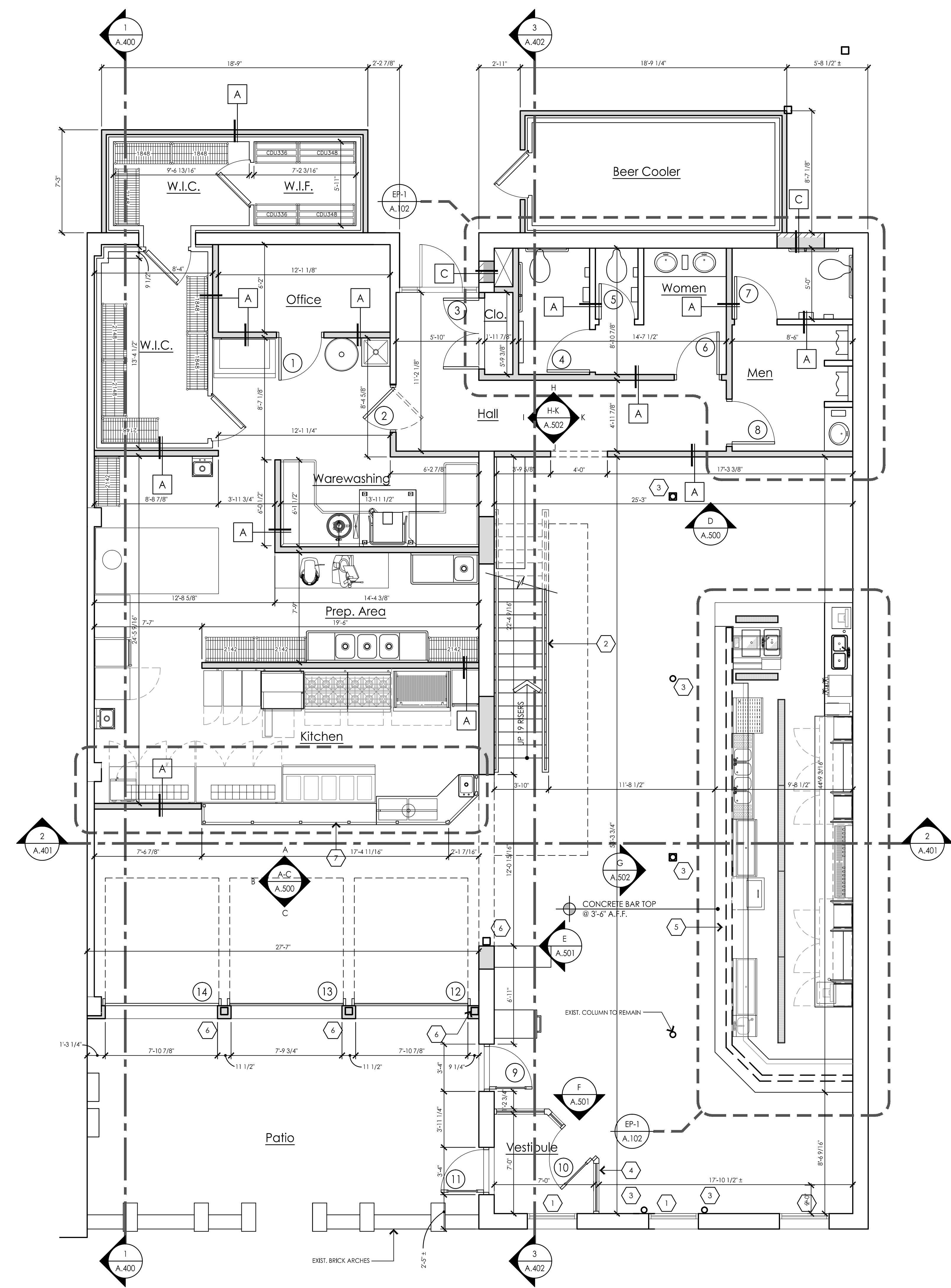
1. CONTRACTOR IS TO NOTIFY ARCHITECTS OR OWNER OF ANY UNFORSEEN CONDITIONS OR IF CONDITIONS DEVIATE FROM INTENT
2. IF THE CONTRACTOR PROCEEDS WITHOUT APPROVAL FROM THE OWNER, IT WILL BE AT THE CONTRACTOR'S EXPENSE
3. CONTRACTOR IS TO VERIFY DIMENSIONS IN FIELD & NOTIFY ARCHITECT OF ANY DISCREPANCIES
4. SEE PLUMBING PLAN ON SHEET ### FOR COORDINATION OF ALL BELOW SLAB PLUMBING LINES
5. ALL F.R.P. IS TO BE INSTALLED PER MANUFACTURER'S SPECS.
6. PATCH & REPAIR ALL HOLES
7. FURNITURE IS TO BE PROVIDED BY OWNER AND INSTALLED BY GC (TYPICAL THROUGHOUT)

Floor Plan Keyed Notes: (X)

1. EXISTING WINDOWS ARE TO REMAIN. INSPECT AND REPAIR / RE-CAULK IF REQUIRED.
2. NEW STEEL STAIRS TO SECOND FLOOR. PROVIDE GUARDRAIL AND HANDRAIL PER CODE (SEE DETAILS)
3. EXIST. COLUMN TO REMAIN
4. NEW STOREFRONT GLAZING ON HALF-WALL
5. NEW CONC. BAR TOP
6. NEW STEEL COLUMN (SEE STRUCTURAL PLAN)
7. NEW GLASS AND STEEL SNEEZE GUARD ON CONC. C.TOP

Wall Legend	
	EXISTING EXTERIOR WALL EXIST. EXTERIOR WALL TO REMAIN
	EXISTING INTERIOR WALL NEW WALL FINISH (SEE FINISH SCHEDULE) ON EXIST. WALL
	INTERIOR WALL WALL FINISH (SEE FINISH SCHEDULE) ON 5/8" GYP. BRD. EA. SIDE OF 3-5/8" 20 GA. STEEL STUDS AT 16" O.C. - FULL HGT.
	INTERIOR WALL WALL FINISH (SEE FINISH SCHEDULE) ON 5/8" GYP. BRD. EA. SIDE OF 3-5/8" 20 GA. STEEL STUDS AT 16" O.C. - FULL HGT. (PROVIDE SOUND ATTENUATION INSULATION)
	INTERIOR WALL 3-5/8" 20 GA. METAL STUDS AT 16" O.C. ON EXIST. WALL W/ 5/8" GYP. BRD.
	EXTERIOR WALL BRICK FACADE (MATCH EXIST.) ON 1" AIRSPACE ON AIR INFILTRATION BARRIER ON 20 GA. STEEL STUDS @ 16" O.C. ON 5/8" GYP. BRD.

- NOTE:
1. PROVIDE SOUND ATT. BATT. INSULATION AT REESTROOM WALL
 2. PROVIDE NON-COM BLOCKING AT ALL WALL MOUNTED ITEMS (V.I.F.)



First Floor Plan

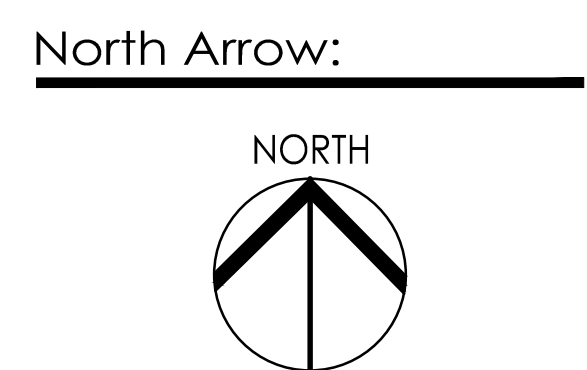
Client:
 Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

Project:
 Renovation

Issued:
 8-15-2014 Bank Review

Seal:

Note:
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Sheet Title:
 First Floor Plan

Scale:
 1/4" = 1'-0"

Project Number:
 14-051

Sheet Number:

A.100

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

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North Arrow:



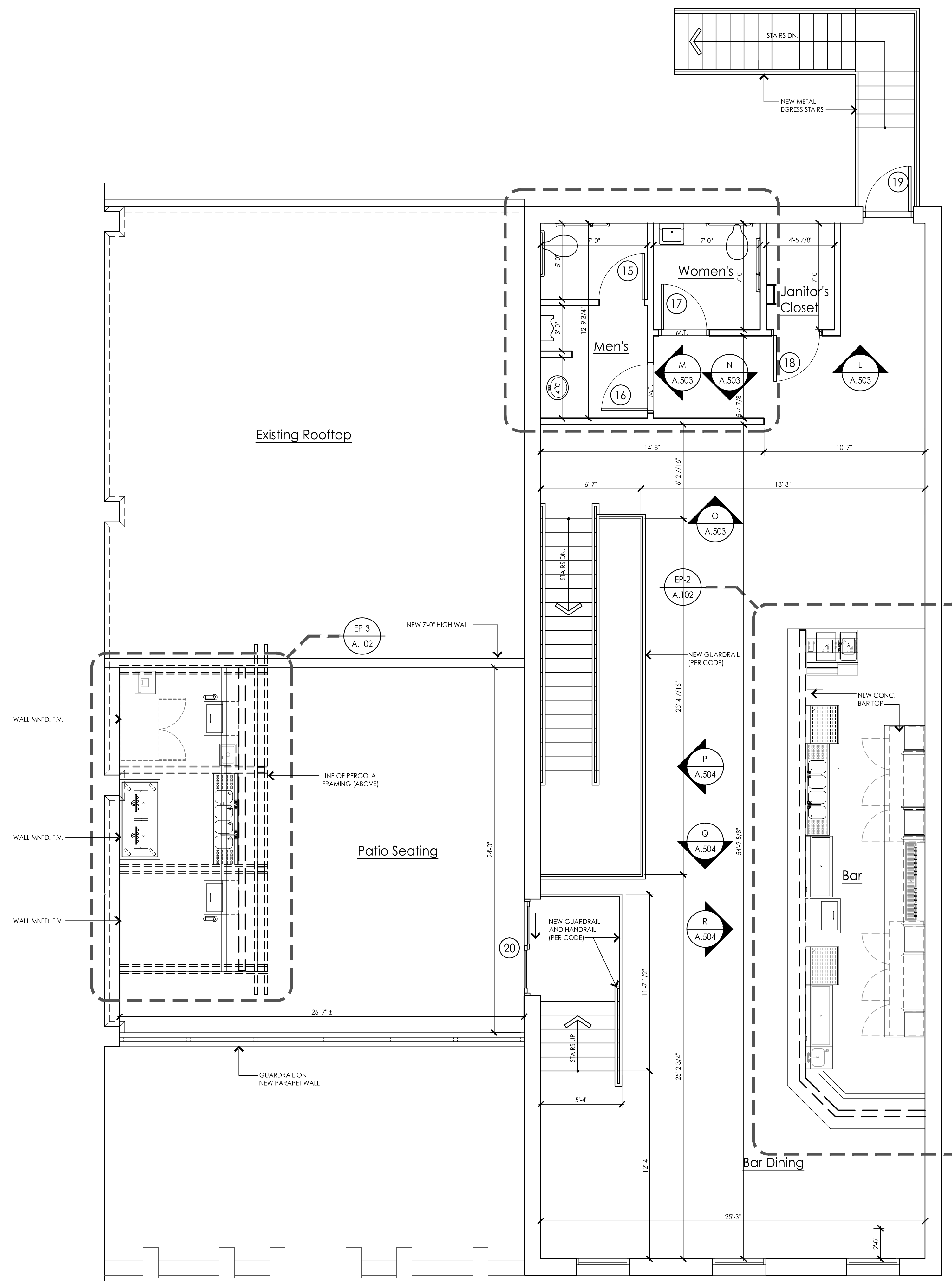
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Second Floor Plan

Scale:
1/4" = 1'-0"

Project Number:
14-051

Sheet Number:

A.101



Second Floor Plan

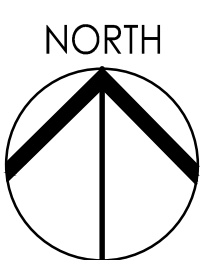
Client: Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362
Project: Renovation

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Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____



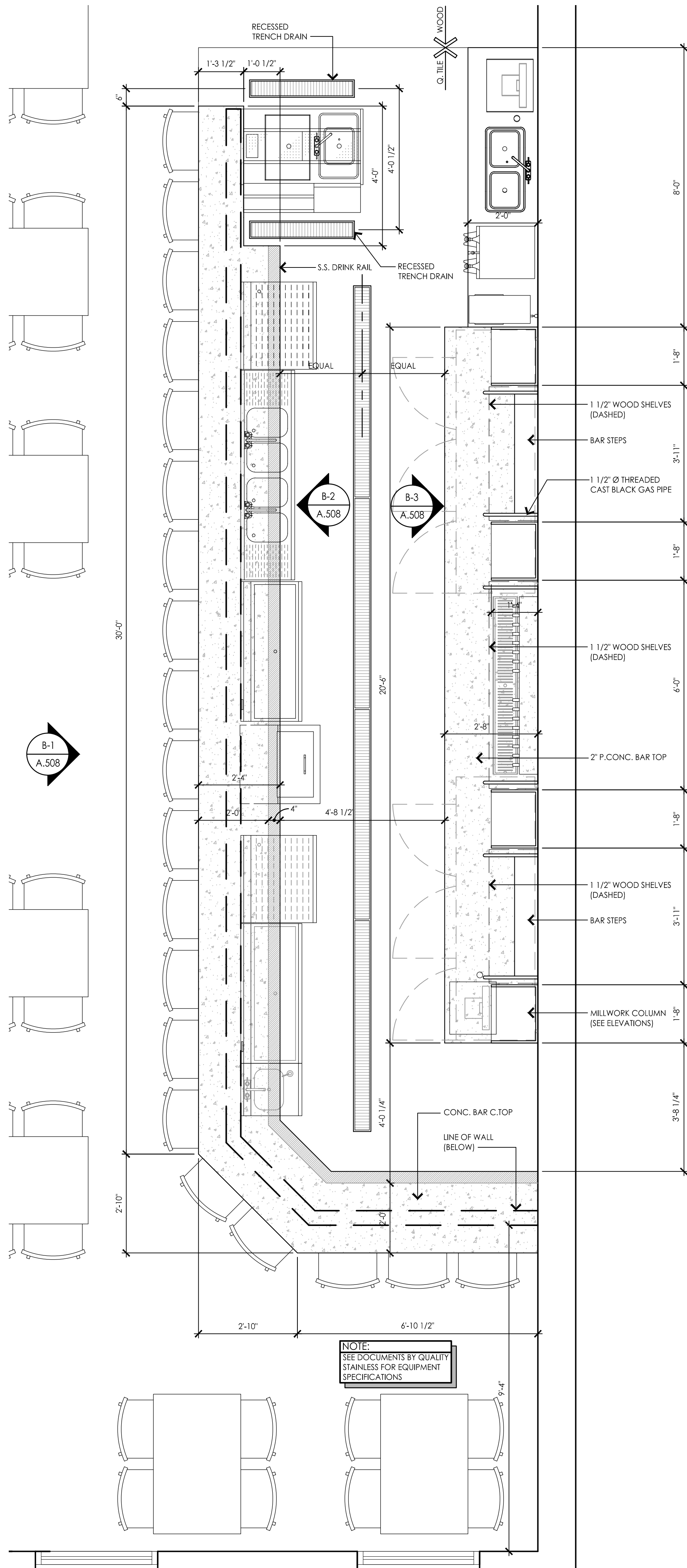
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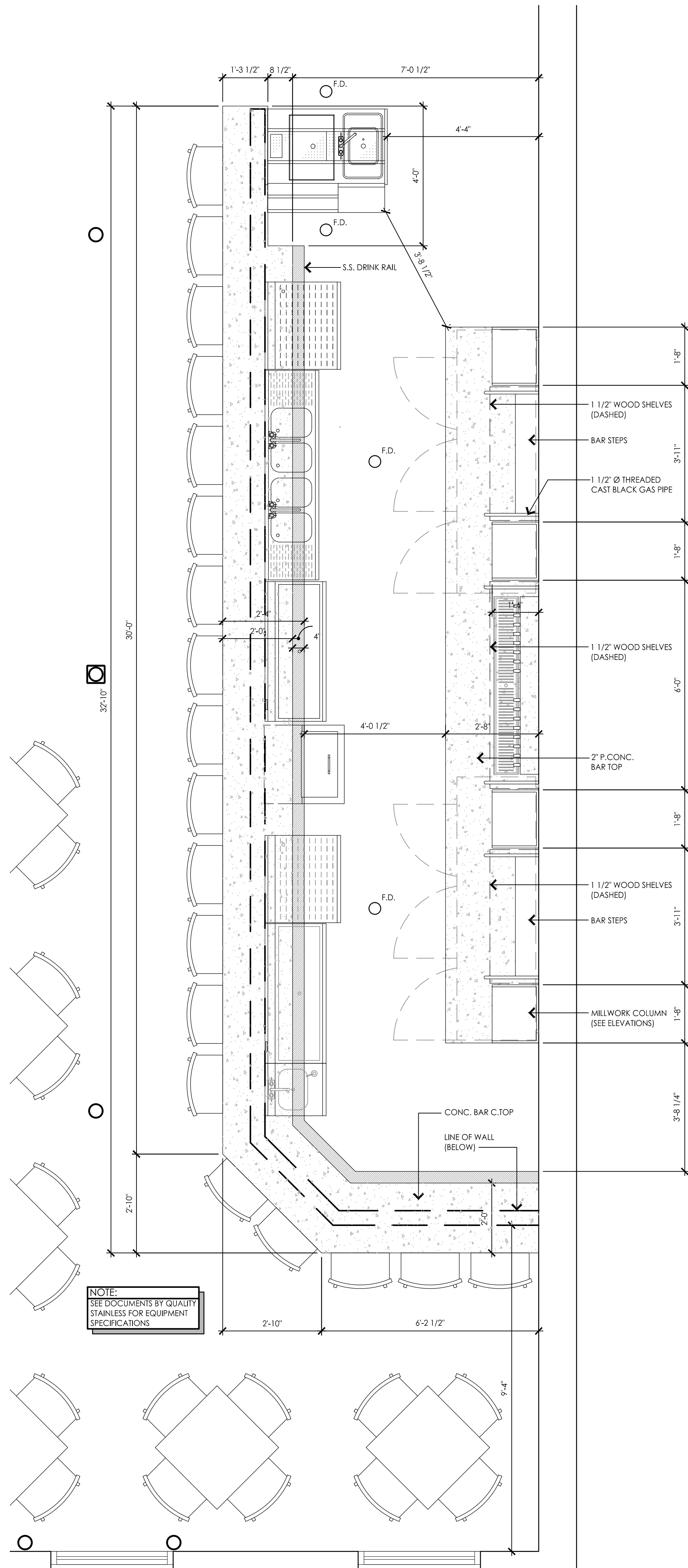
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Sheet Number: _____

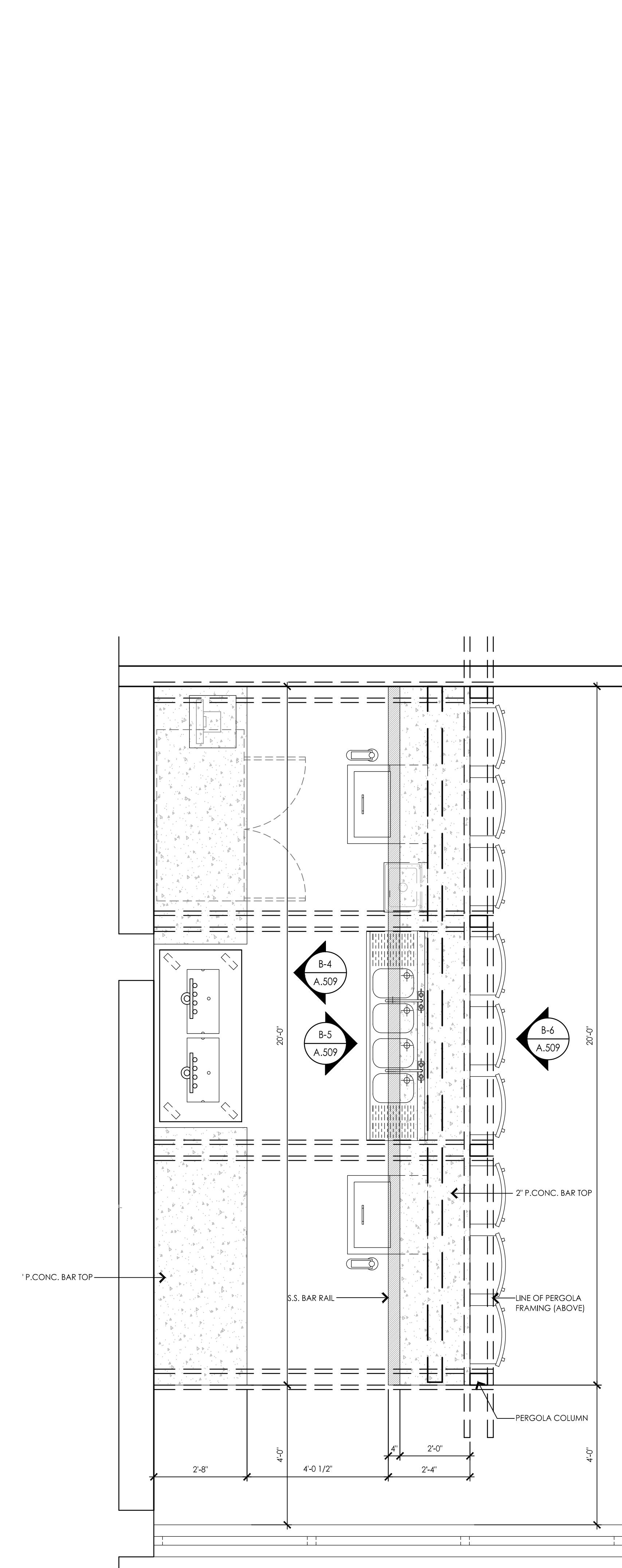
A.102



EP-1
A.100
Enlarged Plan @ First Floor Bar



EP-2
A.101
Enlarged Plan @ Second Floor Bar



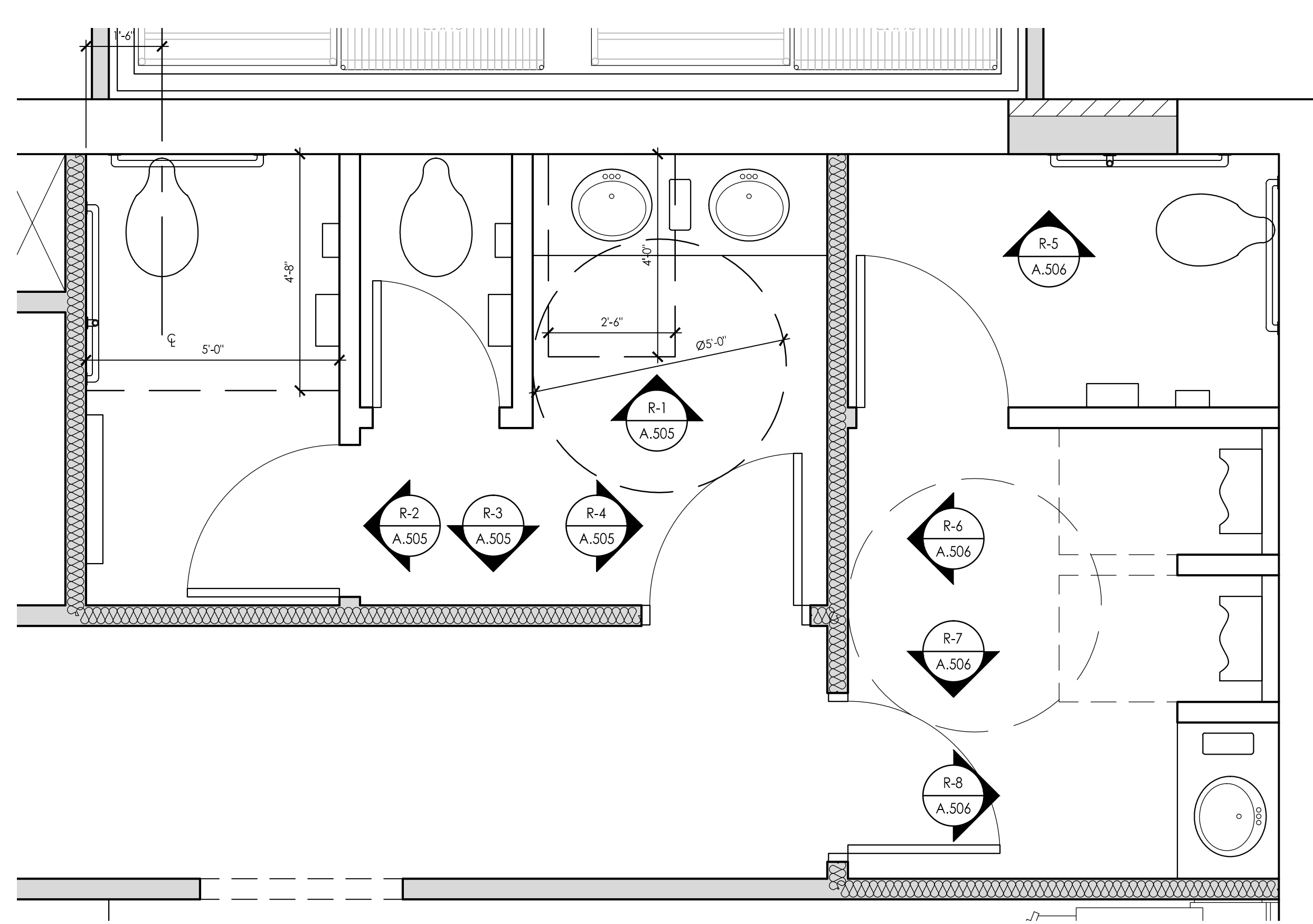
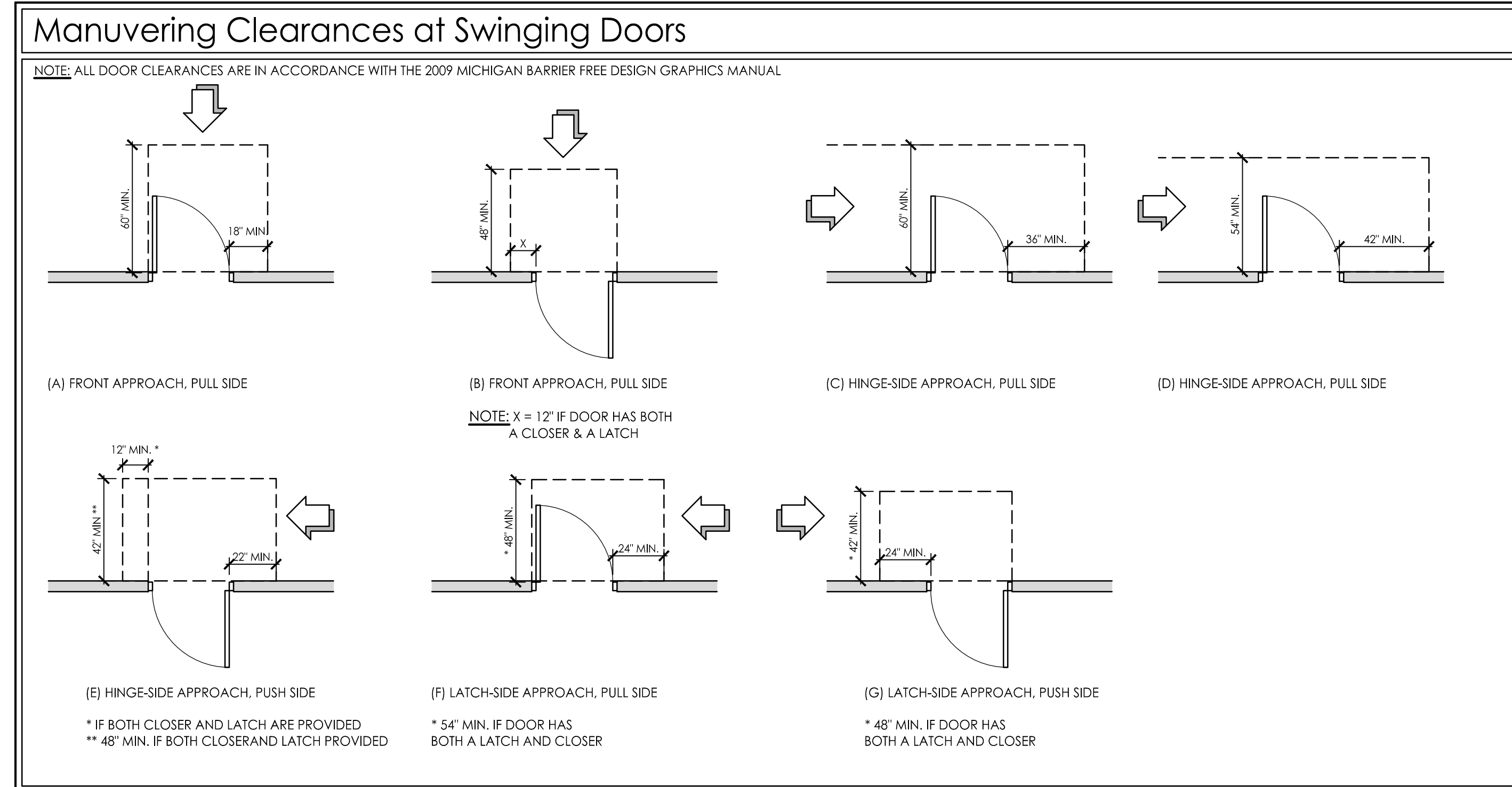
EP-3
A.101
Enlarged Plan @ Second Floor Patio Bar

Client: Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

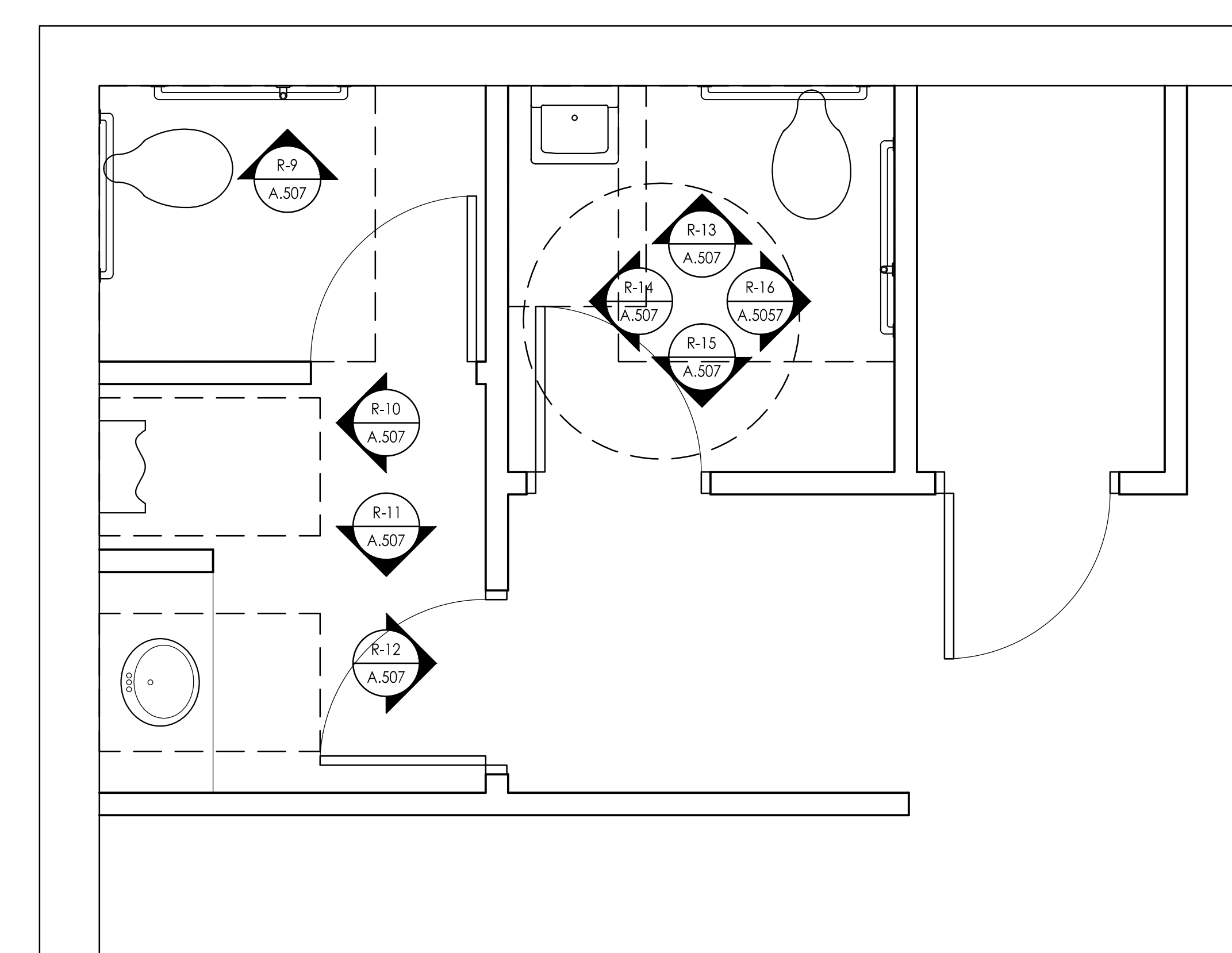
Project: Renovation

Issued: 8-15-2014 Bank Review

Seal: _____



EP-4
 A.100
Enlarged Plan @ First Floor Restrooms



EP-5
 A.101
Enlarged Plan @ First Floor Restrooms

Note: _____
 Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____

Sheet Title: Enlarged Floor Plans

Scale: 1/2" = 1'-0"

Project Number: 14-051

Sheet Number: _____

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

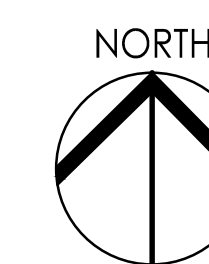
Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:



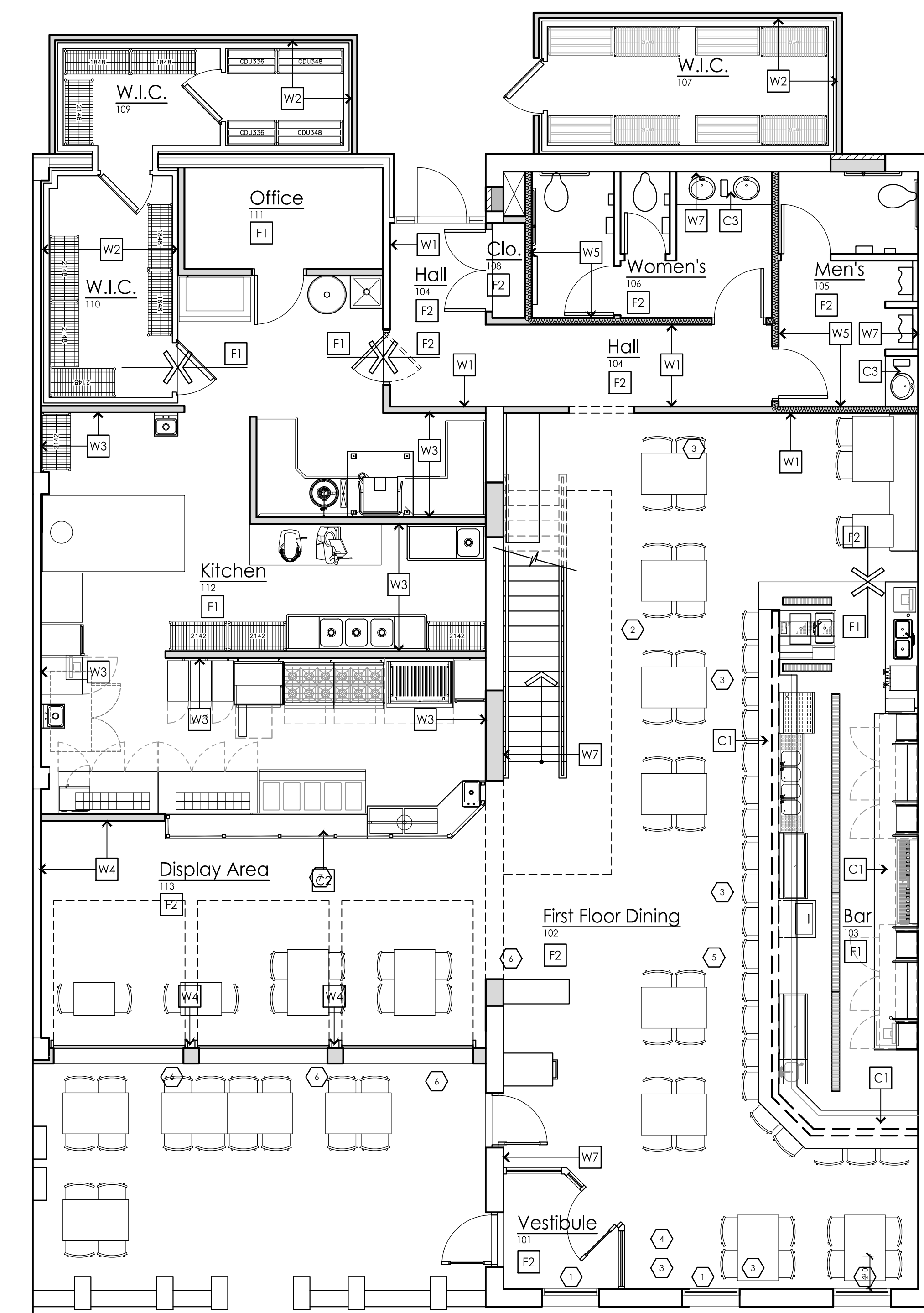
Sheet Title:
Finish Floor Plans

Scale:
1/4" = 1'-0"

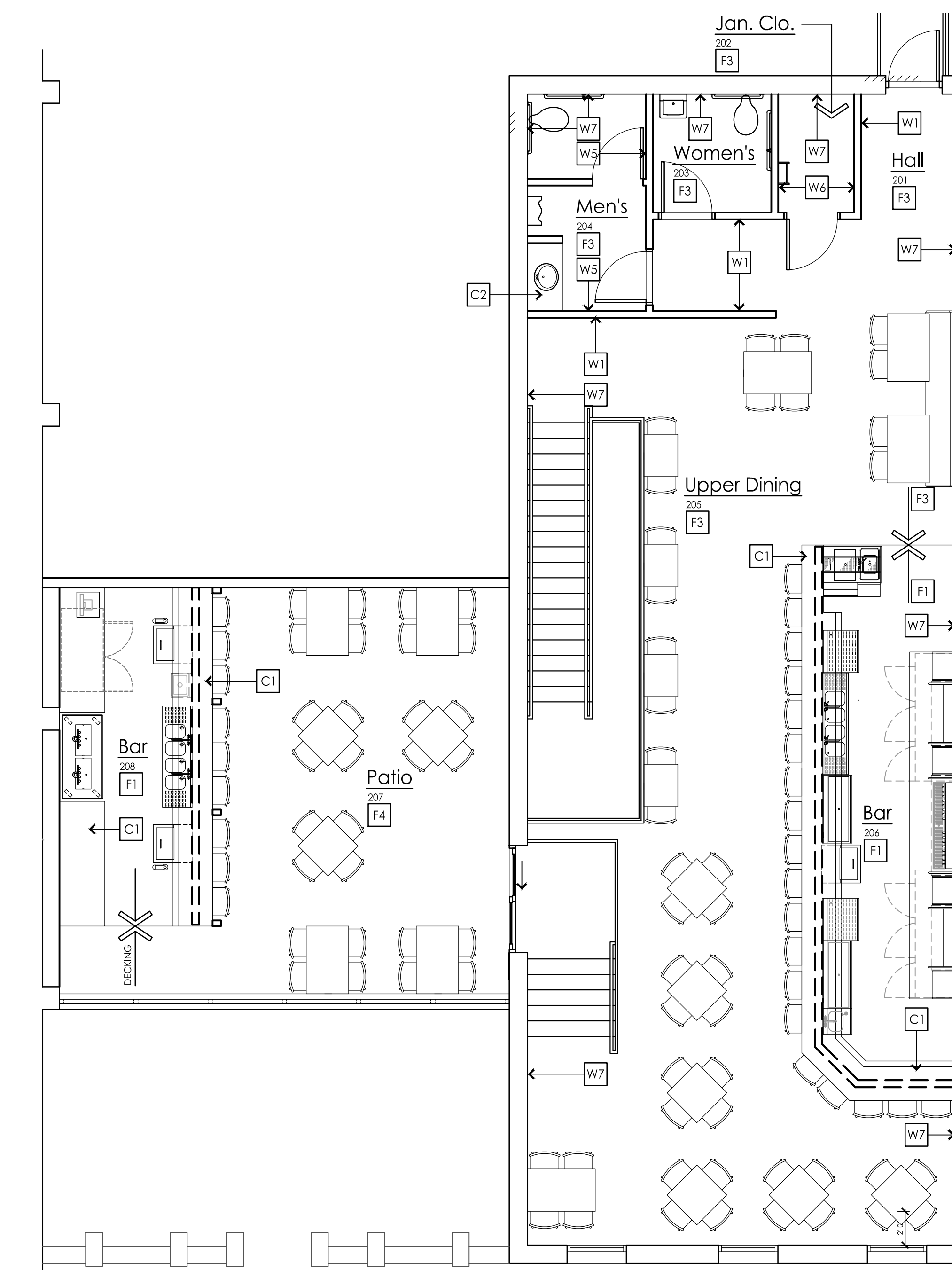
Project Number:
14-051

Sheet Number:

A.103



First Floor Finish Plan



Second Floor Finish Plan

Room Finish Schedule

ROOM NO.	ROOM NAME	FLOOR	BASE	WALLS				CEILING / HEIGHT
				NORTH	EAST	SOUTH	WEST	
101	VESTIBULE	CONC. (F2)	CONC. (F2)					GYP. BRD. / 8'-0"
102	FIRST FLOOR DINING	CONC. (F2)	SEE INT. ELEV.	W1	W7	W7	W7	EXPOSED CEILING / 10'-0" ±
103	BAR	EPOXY (F1)	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	EXPOSED CEILING / 10'-0" ±
104	HALL	CONC. (F2)	B1	W1	W1	W1	W1	GYP. BRD. / 9'-0"
105	MENS	CONC. (F2)	SEE INT. ELEV.	W7	W7	W5	W5	GYP. BRD. / 9'-0"
106	WOMENS	CONC. (F2)	SEE INT. ELEV.	W7	W5	W5	W5	GYP. BRD. / 9'-0"
107	WALK-IN-COOLER	RUBBER (F5)	RUBBER (F5)	BY MANUFACTURER				
108	CLOSET	CONC. (F2)	B1	P-2	P-2	P-2	P-2	EXPOSED CEILING / 10'-0" ±
109	WALK-IN-COOLER	RUBBER (F5)	RUBBER (F5)	BY MANUFACTURER				
110	WALK-IN-COOLER	RUBBER (F5)	RUBBER (F5)	BY MANUFACTURER				
111	OFFICE	EPOXY (F1)	B1	P-2	P-2	P-2	P-2	LAY-IN (VINYL) / 9'-0"
112	KITCHEN	EPOXY (F1)		W3	W3	W3	W3	LAY-IN (VINYL) / 9'-0"
113	DISPLAY	CONC. (F2)	SEE INT. ELEV.	W4	W7	W4	W4	EXPOSED CEILING / 12'-2" ±
201	HALL	H.WOOD (F3)	SEE INT. ELEV.	W1 / W7	W7	W1	W1	EXPOSED CEILING / 15'-2" ±
202	JANITOR'S CLOSET	EPOXY (F1)	B1	W6	W6	W6	W6	EXPOSED CEILING / 15'-2" ±
203	WOMENS	TILE (F6)	SEE INT. ELEV.	W7	W5	W5	W5	GYP. BRD. / 9'-0"
204	MENS	TILE (F6)	SEE INT. ELEV.	W7	W5	W5	W7	GYP. BRD. / 9'-0"
205	UPPER DINING	H.WOOD (F3)	SEE INT. ELEV.	W1	W7	W7	W7	EXPOSED CEILING / 15'-2" ±
206	BAR	EPOXY (F1)	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	EXPOSED CEILING / 15'-2" ±
207	PATIO	DECKING (F4)	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	N/A
208	BAR	EPOXY (F1)	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	SEE INT. ELEV.	WOOD TRELLIS / 10'-9"

Door Schedule

DOOR NO.	DOOR SIZE / LOCATION	DOOR			FRAME		HWDR SET	NOTES
		TYPE	MATL	FINISH	MATL	FINISH		
1	3'-0" X 8'-0" / VESTIBULE	B	ALUM.	PRE-FIN.	ALUM.	PRE-FIN.	BY MANUF.	A,B,C,D,E,F
2	14'-8" X 7'-0" / BANQUETTE	A	WOOD		BY MANUFACTURER			
3	14'-8" X 7'-0" / BANQUETTE	A	WOOD		BY MANUFACTURER			
4	14'-8" X 7'-0" / BANQUETTE	A	ALUM.		BY MANUFACTURER			
5	3'-0" X 8'-0" / MENS	D	WOOD	STAIN	H.M.	PAINT	TBD	B,D,E
6	3'-0" X 8'-0" / WOMENS	D	WOOD	STAIN	H.M.	PAINT	TBD	B,D,E
7	3'-0" X 8'-0" / CORRIDOR	C	WOOD	STAIN	H.M.	PAINT	TBD	B,D
8	3'-0" X 8'-0" / JANITORS	C	WOOD	STAIN	H.M.	PAINT	TBD	B,D
9	3'-0" X 8'-0" / STORAGE	C	WOOD	STAIN	H.M.	PAINT	TBD	B,D
10	3'-0" X 7'-0" / MENS	D	WOOD	STAIN	WOOD	STAIN	TBD	B,D,E
11	3'-0" X 7'-0" / WOMENS	D	WOOD	STAIN	WOOD	STAIN	TBD	B,D,E
12	2'-6" X 7'-0" / WOMENS	D	WOOD	STAIN	WOOD	STAIN	TBD	B,D,E
13	3'-0" X 7'-0" / BANQUET	D	WOOD	STAIN	WOOD	STAIN	TBD	B,D,E
14	3'-0" X 7'-0" / EXIST. VEST.	E	WOOD	STAIN	H.M.	PAINT	TBD	B,D.
15	3'-0" X 7'-0" / BANQUET	D	WOOD	STAIN	WOOD	STAIN	TBD	B,D,E

- Door Notes:**
- A. ALL DOOR HARDWARE FINISH AND CONSTRUCTION TO BE BY MANUF.
 - B. ALL HARDWARE FINISH TO MATCH EXIST.
 - C. MANUF. IS TO PROVIDE SHOP DRAWINGS TO ARCHITECT PRIOR TO FABRICATION
 - D. ALL DOORS & WINDOWS ARE MATCH EXIST.
 - E. DOOR IS TO BE ADA COMPLIANT. VERIFY WITH MANUF. AND ADJUST R.O. AS REQUIRED. SUBMIT SHOP DRAWINGS FOR ARCHITECT TO REVIEW
 - F. PROVIDE METAL/INSULATED DOOR @ EXTERIOR

Finish Schedule

SYMBOL	LOCATION	DESCRIPTION	MANUFACTURER	FINISH / COLOR
W (WALLS)				
W-1	SEE PLAN & INT. ELEVATIONS	GYP. BRD. (PAINT - P-2) W/ CEDAR WOOD PANELING (SEE INTERIOR ELEV. FOR DETAILS)		WOOD: S1 / BASE: B1 GYP. BOARD. SEE INTERIOR ELEVATIONS
W-2	BEHIND WALK-IN-COOLER	GYP. BRD. (PRIME ONLY) W/ 18" CEMENT BRD. BASE		
W-3	SEE PLAN & INT. ELEVATIONS	F.R.P. FULL HGT. (S.S. AS NOTED) - INSTALL PER MANUF. SPECS. INSTALL OVER 1/2" PLYWD. SHEATHING (CEMENT BRD. AS NOTED)		S.S.: 20 GA. 304 SERIES, #4 (180 GRIT) FINISH Q. BASE: MATCH FLOOR
W-4	SEE PLAN & INT. ELEVATIONS	CEDAR FULL HGT. WOOD PANELING		WOOD: S1 BASE: B1
W-5	SEE PLAN & INT. ELEVATIONS	TILE WAINSCOT W/ GYP. BRD. & CEDAR WOOD TRIM		WOOD: S1 / BASE: B2 TILE: T-2
W-6	SEE PLAN & INT. ELEVATIONS	GYP. BRD. (PAINT) OVER 5'-0" HIGH F.R.P. WAINSCOT		PAINT: P-2
W-7	SEE PLAN & INT. ELEVATIONS	EXISTING BRICK FACADE TO REMAIN		
F (FLOORS)				
F-1	SEE PLAN	EPOXY QUARTZ SEAMLESS FLOORING SYSTEM W/ ROLLED BASE	DUR-A-QUARTZ (OR EQUIV.)	QUARTZ BLEND TO BE SELECTED
F-2	SEE PLAN	EXISTING CONCRETE FLOORING W/ SEALER		NATURAL COLOR CLEAR COAT FINISH
F-3	SEE PLAN	EXISTING WOOD FLOORING (RE-FINISH)		EXIST. FLOORING TO BE RE-FINISHED
F-4	PATIO SEATING	COMPOSITE DECKING	TREX DECKING (TRANSCEND)	VINTAGE LANTERN
F-5	WALK-IN-COOLER	RUBBER FLOORING - SMOOTH SIDE UP - RUN 6" UP WALL W/ Z CHANNEL TERMINATION		PROTECT-ALL WET AREA SYSTEM / GRAY
F-6	SEE PLAN	13" x 20" PORCELAIN TILE	DALTILE - CONCRETE CONNECTION	STEEL STRUCTURE GROUT - MAPEL CHARCOAL 47
S (COATING / STAINS)				
S-1	WOOD STAIN	POLYURETHANE VARNISH	SHERWIN WILLIAMS	WOOD CLASSICS WATERBORNE POLYURETHANE VARNISH
S-2	CONCRETE SEALER	CLEAR CONCRETE PROTECTIVE SEALER	SEAL KRETE (OR EQUIV.)	CLEAR COAT SATIN FINISH
S-3	WOOD STAIN	INTERIOR WATER BASED STAIN	SHERWIN WILLIAMS	MIXWAX - ONYX
S-4	WOOD STAIN	INTERIOR WATER BASED STAIN	SHERWIN WILLIAMS	MIXWAX - T.B.D.
P (PAINTS)				
P-1	CEILING (THROUGHOUT)	PAINT GYP. BRD. AND EXPOSED CLG. (1) COAT PRIMER WITH (2) COATS PAINT	SHERWIN WILLIAMS BOND PLEX WATERBASED ACRYLIC COATING 871 T 204	SW6992 INKWELL
P-2	SEE INTERIOR ELEVATIONS	(1) COAT PRIMER W/ (2) COATS PAINT	SHERWIN WILLIAMS DURATCH-HOME INTERIOR LATEX SATIN	SW7039 VIRTUAL TAUPE
C (COUNTERTOPS)				
C-1	BAR	CONCRETE		NATURAL COLOR W/ SEALER
C-2	RESTROOMS	CONCRETE		STAINED BLACK
C-3	SEE PLAN	STAINLESS STEEL		
T (TILE)				
T-1	RESTROOMS	13 X 20 PORCELAIN TILE	DALTILE - CONCRETE CONNECTION	STEEL STRUCTURE GROUT - MAPEL CHARCOAL 47
T-2	RESTROOMS	6 1/2 X 6 1/2 PORCELAIN TILE	DALTILE - CONCRETE CONNECTION	STEEL STRUCTURE GROUT - MAPEL CHARCOAL 47
B (BASE)				
B-1	SEE INTERIOR ELEVATIONS	4" VINYL BASE	ROPPE	PINNACLE: 100 BLACK
B-2	SEE INTERIOR ELEVATIONS	TILE BASE	DALTILE - CONCRETE CONNECTION	STEEL STRUCTURE 6X13 COVE BASE

krieger klatt ARCHITECTS
architecture interiors consulting
1412 East Eleven Mile Road, Royal Oak, MI 48067
Phone: 248.414.9270 Fax: 248.414.9275 Web: kriegerklatt.com

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow:

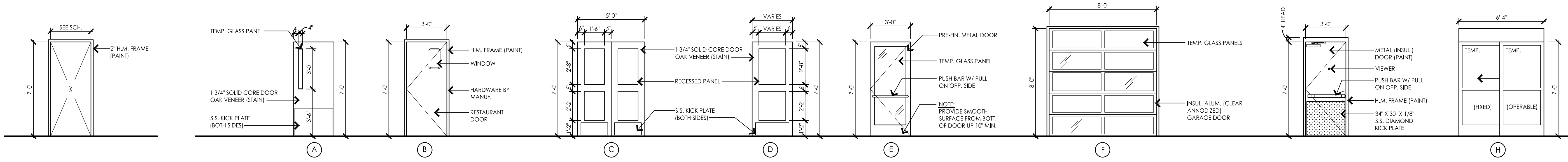
Sheet Title:
Schedules

Scale:
1/4" = 1'-0"

Project Number:
14-051

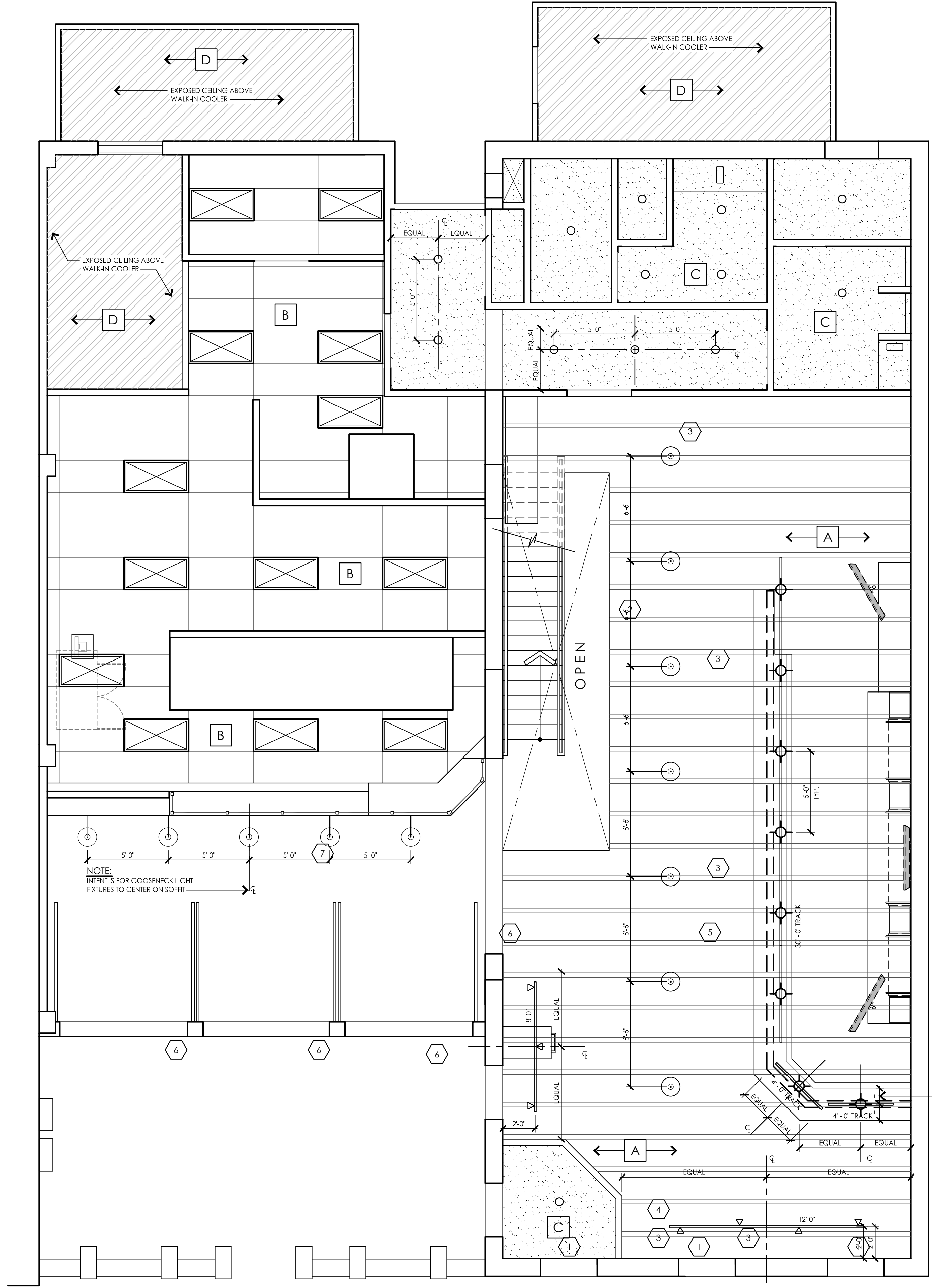
Sheet Number:

A.103.1



Frame Styles
Scale: 1/4" = 1'-0"

Door Styles
Scale: 1/4" = 1'-0"



Ceiling Plan Keyed Notes: (X)

- POLE MOUNTED T.V. FROM STRUCTURE ABOVE - RUN ALL WIRES DOWN THROUGH POLE TO T.V.
- WALL MOUNTED T.V. - INSTALL MOUNT PER MANUF. INSTRUCTION

Ceiling Plan General Notes:

- COORDINATE ALL ITEMS W/ MECH. PLANS
- SEE LIGHTING PLAN ON SHEET E.### FOR EXIT / EMERGENCY LIGHTS
- ALL FIXTURES THAT ARE 'BY TENANT' SHALL BE PROVIDED BY TENANT & INSTALLED BY TENANT G.C.
- T.V. TO BE POLE MOUNTED FROM STRUCTURE ABOVE. ADJUST ACTUAL HEIGHT IN FIELD. INSTALL SO THE BOTTOM OF THE TELEVISION IS 8"-8" A.F.F. VERIFY ACTUAL HEIGHT IN FIELD WITH OWNER AND ARCHITECT.
- G.C. IS TO INCLUDE ALL UNISTRUT, THREADED ROD, CLAMPS AND OTHER MEC. ITEMS REQUIRED TO SUSPEND ALL CEILING MOUNTED ITEMS
- G.C. IS TO CLEAN EXIST. CEILING.
- AT EXPOSED CEILING AREAS, RUN ALL NEW WIRING, CONDUIT AND MECHANICAL DUCT WORK IN A NEAT AND CLEAN MANNER
- G.C. IS TO PROVIDE ALLOWANCE TO RUN RED FIRE ALARM WIRE IN CONDUIT AND PAINT CONDUIT TO MATCH EXPOSED CEILING - VERIFY WITH FIRE ALARM INSPECTOR IF RED FIRE ALARM WIRE CASING CAN BE PAINTED TO MATCH EXPOSED CEILING. IF SO, G.C. IS TO ISSUE CREDIT FOR CONDUIT TO OWNER.
- FOR ALL NIGHT, EXIT AND EMERGENCY LIGHTS SEE SHEET E.###

Ceiling Plan Scope of Work

- CLEAN, SCRAPE AND CEILING BACK TO THE ORIGINAL CONCRETE FINISH.
- CLEAN & WRAP ALL EXISTING DRAIN PIPING FROM ABOVE. ENSURE NO DRIPPING WILL OCCUR.
- INTENT IS TO LEAVE NEW DUCT WORK, CONDUIT, AND CEILING FINISHES AS EXPOSED FINISHES.
- AT AREA OF LOWER HANGING ELECTRICAL PIPING, THE ARCHITECT WILL PROVIDE A HANGING FIXTURE.

Ceiling Finish Legend			
TAG	SYMBOL	DESCRIPTION	HEIGHT / LOCATION
A	[Pattern]	EXISTING EXPOSED FRAMING AND CEILING (PAINT)	VER. W/ INTER. ELEV.
B	[Pattern]	2' X 4' VINYL COATED CEILING TILES (WHITE) IN PRE-FIN. METAL GRID (WHITE)	9'-0" / KITCHEN & BACK-OF-HOUSE
C	[Pattern]	GYP. BRD. CEILING (PAINT)	9'-0" / AS NOTED ON PLANS
D	[Pattern]	WALK-IN COOLER CEILING - BY MANUFACTURER	BY MANUFACTURER
E	[Pattern]		

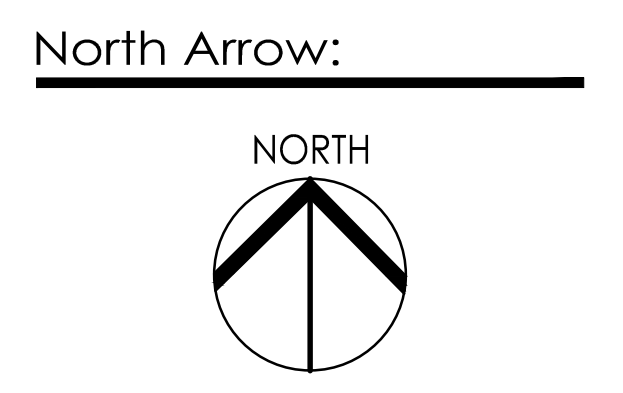
Client:
 Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

Project:
 Renovation

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Seal:

Note:
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Sheet Title:
 First Floor
 Reflected Ceiling
 Plan

Scale:
 1/4" = 1'-0"

Project Number:
 14-051

Sheet Number:
 A.200

Client: Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

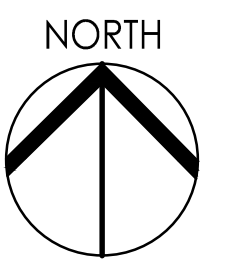
Project: Renovation

Issued: 8-15-2014 Bank Review

Seal: _____

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____



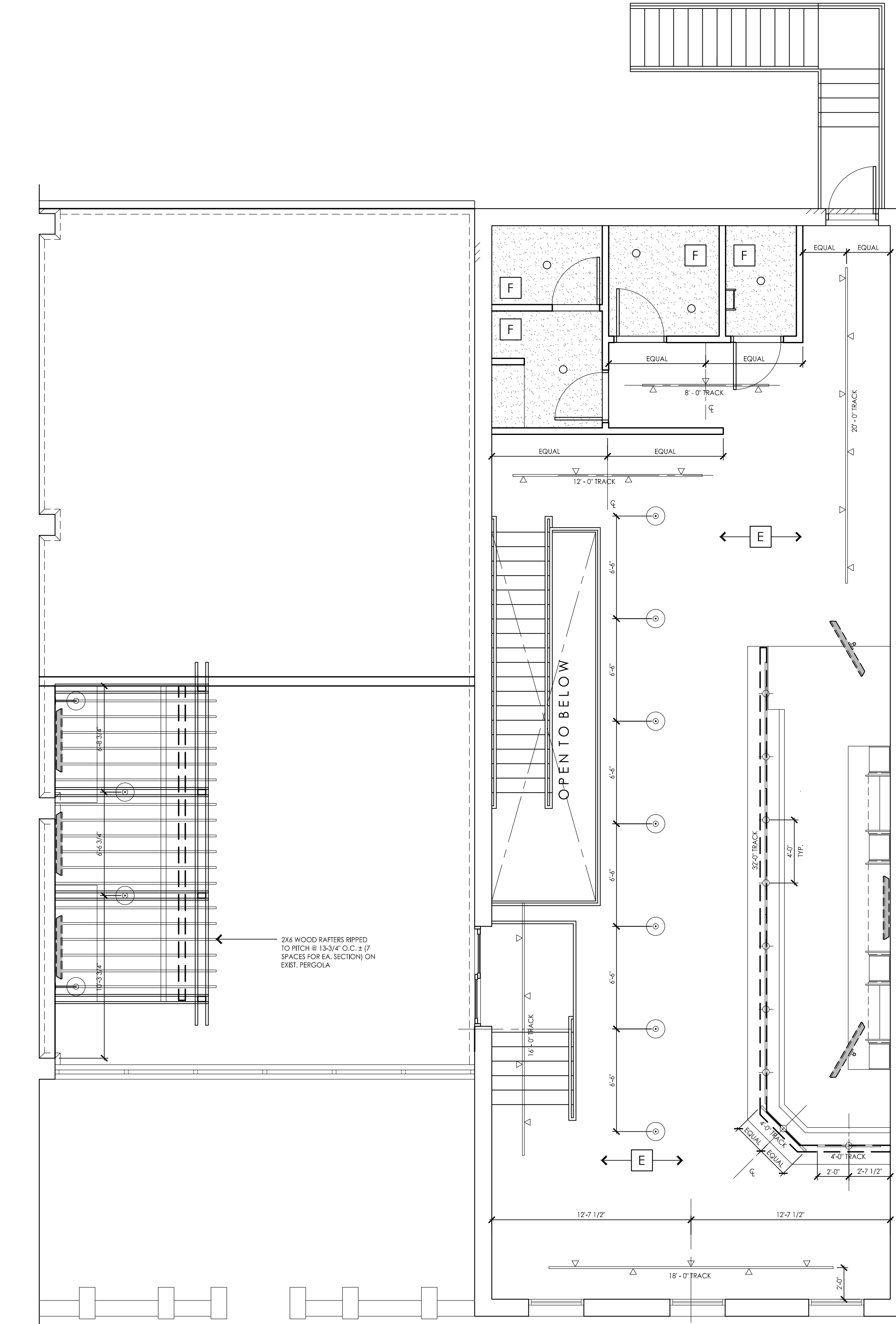
Sheet Title: Second Floor Reflected Ceiling Plan

Scale: 1/4" = 1'-0"

Project Number: 14-051

Sheet Number: _____

A.201



Ceiling Plan Keyed Notes: (X)

- POLE MOUNTED T.V. FROM STRUCTURE ABOVE - RUN ALL WIRES DOWN THROUGH POLE TO T.V.
- WALL MOUNTED T.V. - INSTALL MOUNT PER MANUF. INSTRUCTION

Ceiling Plan General Notes:

- COORDINATE ALL ITEMS W/ MECH. PLANS
- SEE LIGHTING PLAN ON SHEET E.## FOR EXIT / EMERGENCY LIGHTS
- ALL FIXTURES THAT ARE "BY TENANT" SHALL BE PROVIDED BY TENANT & INSTALLED BY TENANT G.C.
- T.V. TO BE POLE MOUNTED FROM STRUCTURE ABOVE. ADJUST ACTUAL HEIGHT IN FIELD. INSTALL SO THE BOTTOM OF THE TELEVISION IS #5'-8" A.F.F. VERIFY ACTUAL HEIGHT IN FIELD WITH OWNER AND ARCHITECT.
- G.C. IS TO INCLUDE ALL UNISTRUT, THREADED ROD, CLAMPS AND OTHER MSC. ITEMS REQUIRED TO SUSPEND ALL CEILING MOUNTED ITEMS
- G.C. IS TO CLEAN EXIST. CEILING.
- AT EXPOSED CEILING AREAS, RUN ALL NEW WIRING, CONDUIT AND MECHANICAL DUCT WORK IN A NEAT AND CLEAN MANNER
- G.C. IS TO PROVIDE ALLOWANCE TO RUN RED FIRE ALARM WIRE IN CONDUIT AND PAINT CONDUIT TO MATCH EXPOSED CEILING - VERIFY WITH FIRE ALARM INSPECTOR IF RED FIRE ALARM WIRE CASING CAN BE PAINTED TO MATCH EXPOSED CEILING. IF SO, G.C. IS TO ISSUE CREDIT FOR CONDUIT TO OWNER
- FOR ALL NIGHT, EXIT AND EMERGENCY LIGHTS SEE SHEET E.##

Ceiling Plan Scope of Work

- CLEAN, SCRAPE AND CEILING BACK TO THE ORIGINAL CONCRETE FINISH.
- CLEAN & WRAP ALL EXISTING DRAIN PIPING FROM ABOVE. ENSURE NO DRIPPING WILL OCCUR.
- INTENT IS TO LEAVE NEW DUCT WORK, CONDUIT, AND CEILING FINISHES AS EXPOSED FINISHES.
- AT AREA OF LOWER HANGING ELECTRICAL PIPING, THE ARCHITECT WILL PROVIDE A HANGING FIXTURE.

TAG	SYMBOL	DESCRIPTION	HEIGHT / LOCATION
A	[Symbol: Dotted pattern]	EXISTING EXPOSED FRAMING AND CEILING (PAINT)	VER. W/ INTER. ELEV.
B	[Symbol: Grid pattern]	2' X 4' VINYL COATED CEILING TILES (WHITE) IN PRE-FIN. METAL GRID (WHITE)	9'-0" / KITCHEN & BACK-OF-HOUSE
C	[Symbol: Stippled pattern]	GYP. BRD. CEILING (PAINT)	9'-0" / AS NOTED ON PLANS
D	[Symbol: Diagonal lines]	WALK-IN COOLER CEILING - BY MANUFACTURER	BY MANUFACTURER
E	[Symbol: Empty]		

Client: Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362
Project: Renovation

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Seal: _____

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____

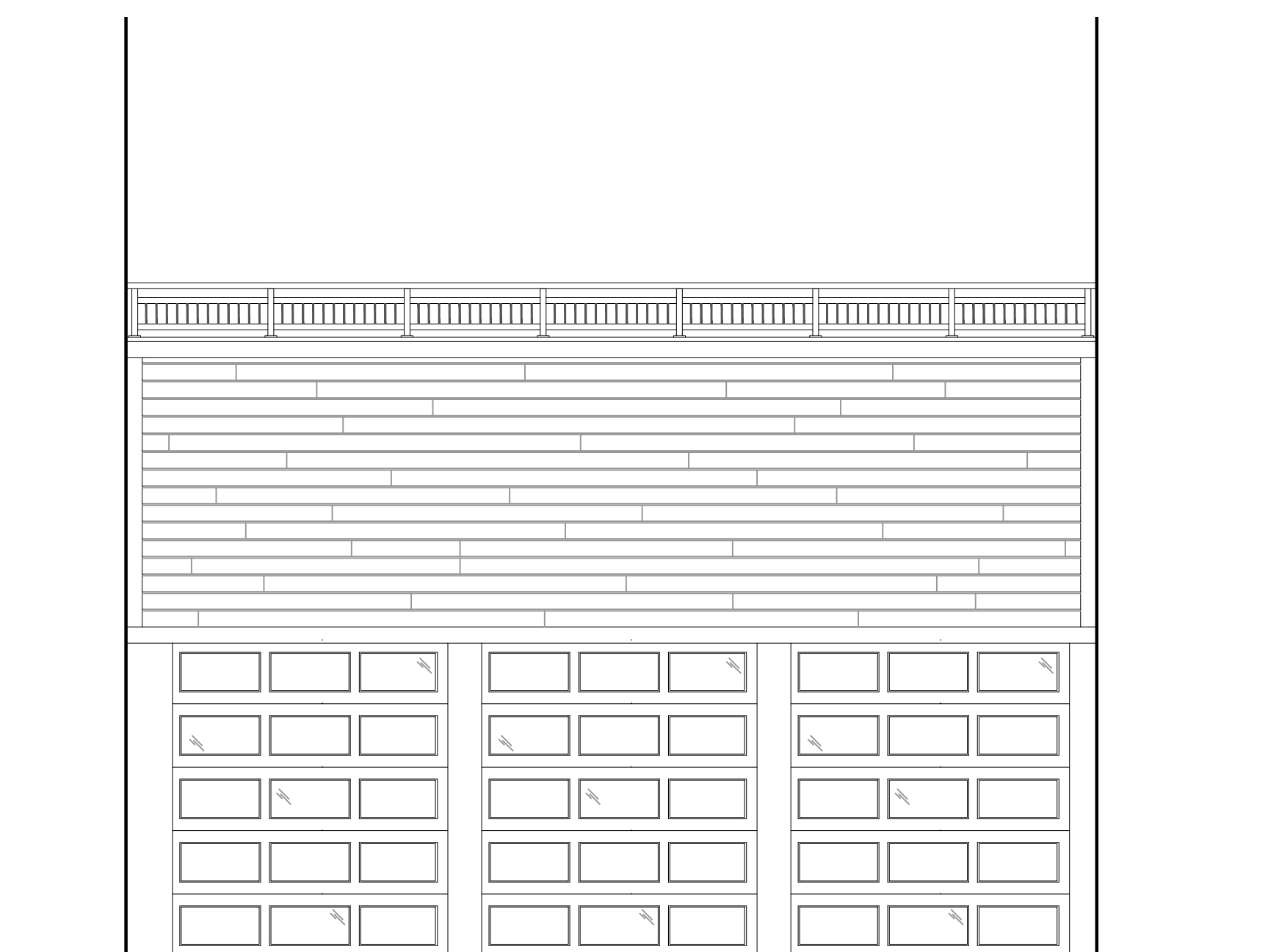
Sheet Title: Exterior Elevations

Scale: 1/4" = 1'-0"

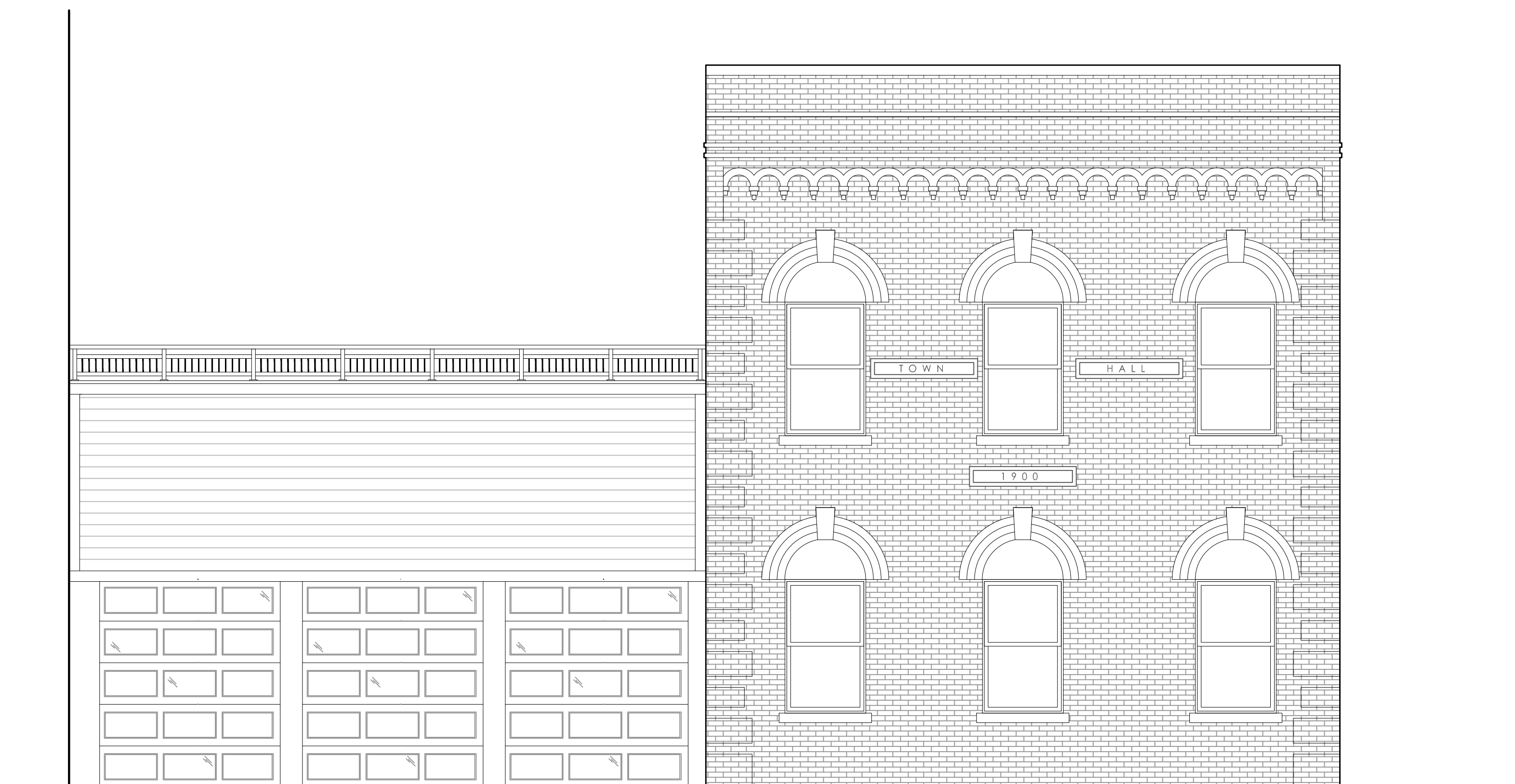
Project Number: 14-051

Sheet Number: _____

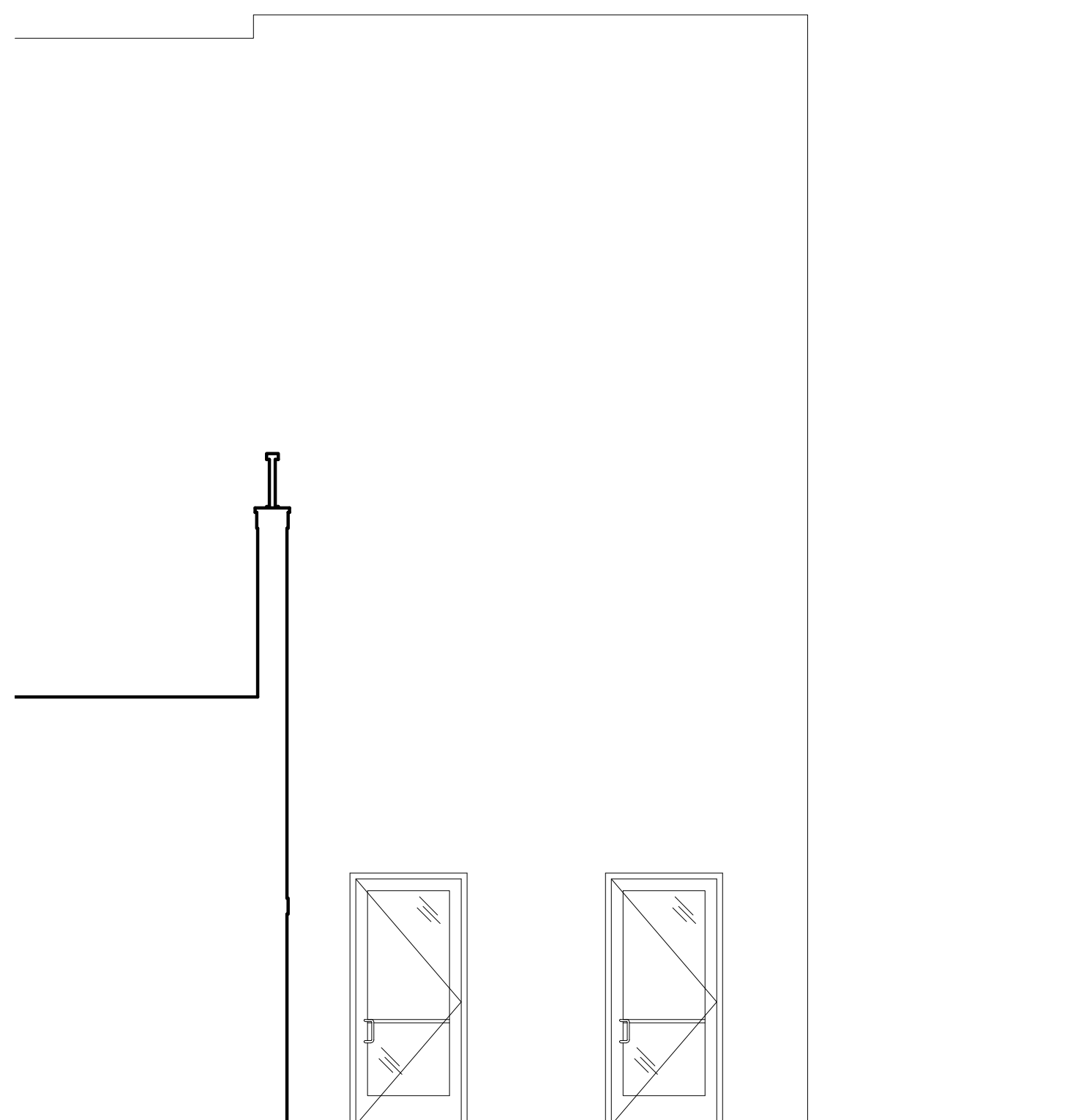
A.300



South (Front) Elevation @ New Facade



South (Front) Elevation



West (Side) Elevation



North (Rear) Elevation

Client:
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Seal:

Note:
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calculated dimensions only.
Verify existing conditions in field.

North Arrow:

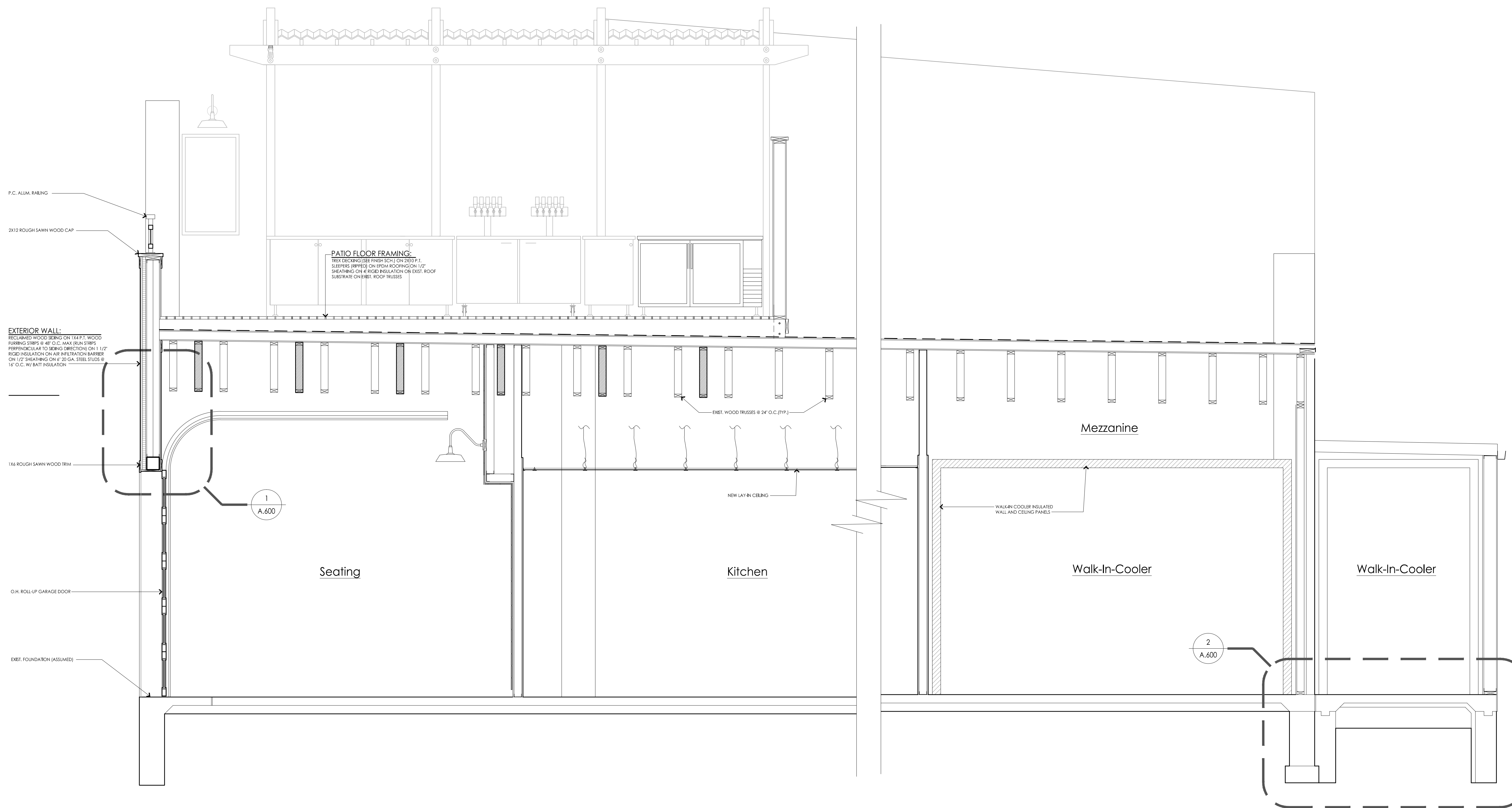
Sheet Title:
Building Section

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

A.400



← **Building Section**
1
A.100

Client:
Lockharts BBQ
37 E. Flint St.
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48362

Project:
Renovation

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8-15-2014 Bank Review

Seal:

Note:
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calculated dimensions only.
Verify existing conditions in field.

North Arrow:

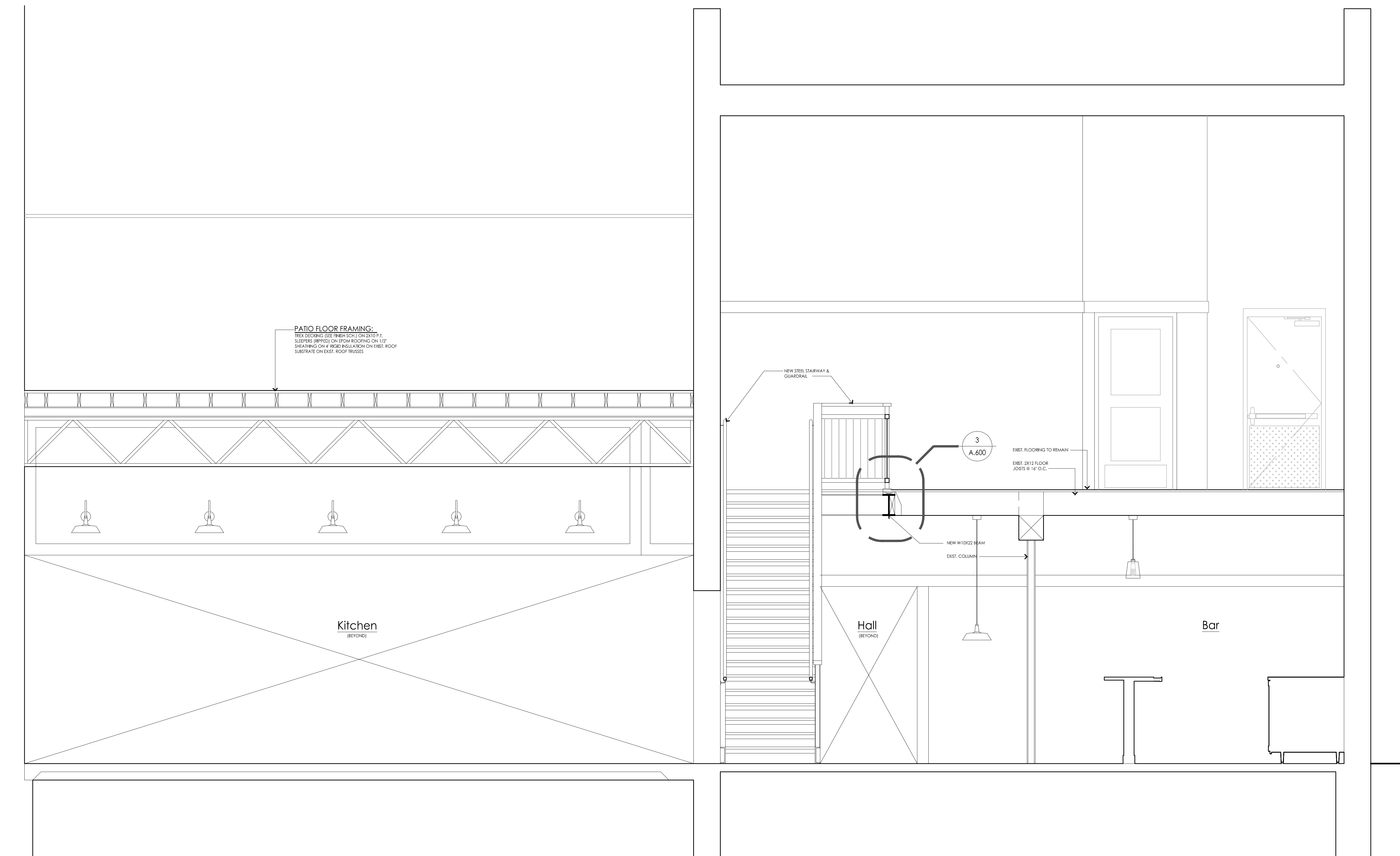
Sheet Title:
Building Section

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

A.401



← **Building Section**

Client:
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Renovation

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Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

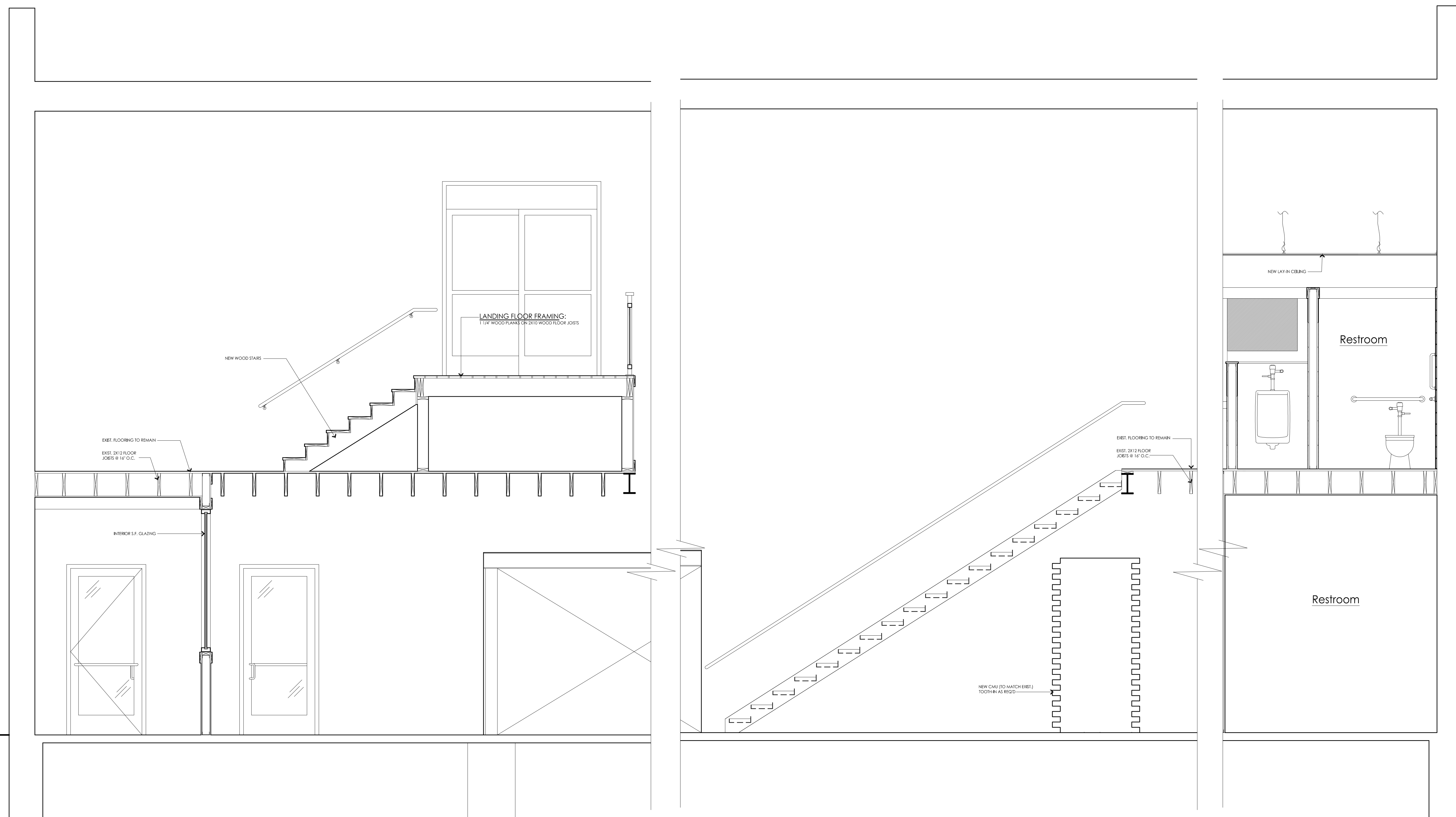
Sheet Title:
Building Section

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

A.402



3 Building Section
A.100

Client:
Lockharts BBQ
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48362

Project:
Renovation

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Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

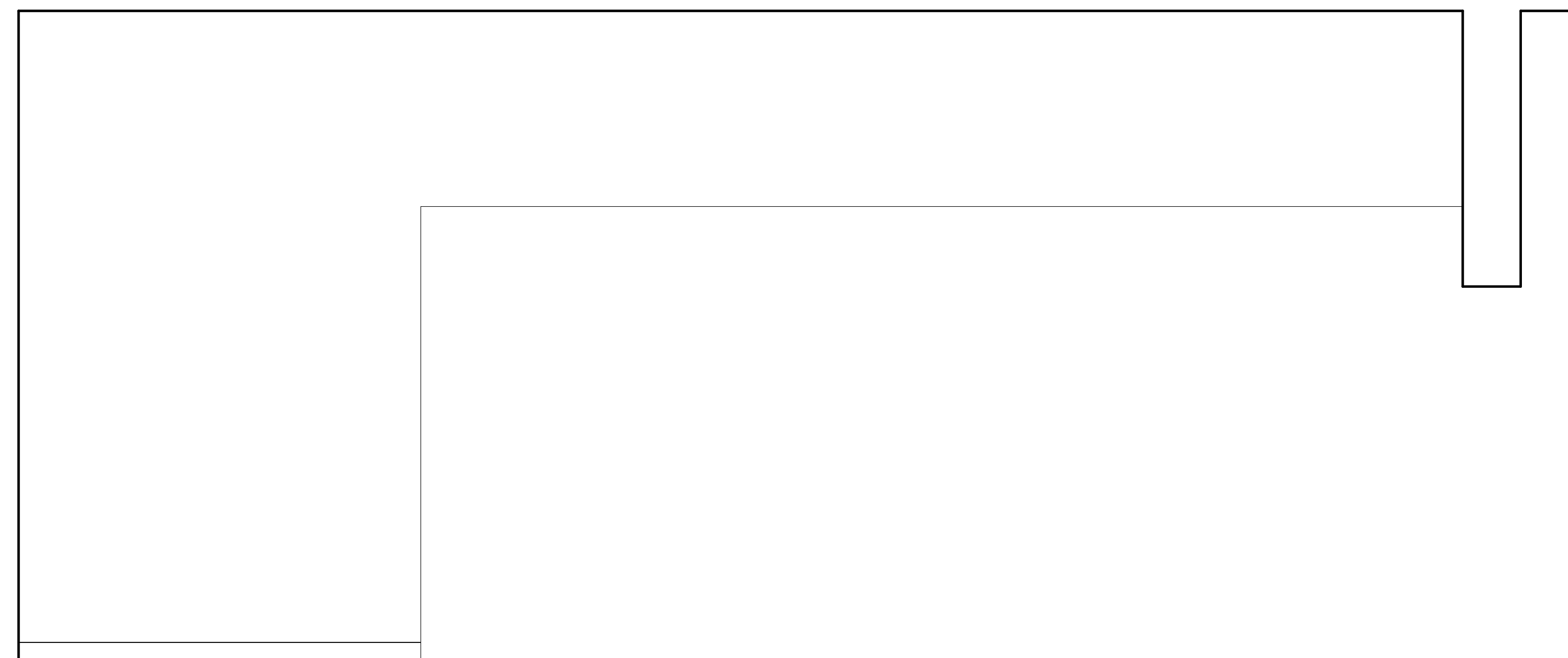
Sheet Title:
**Interior
Elevations**

Scale:
1/2" = 1'-0"

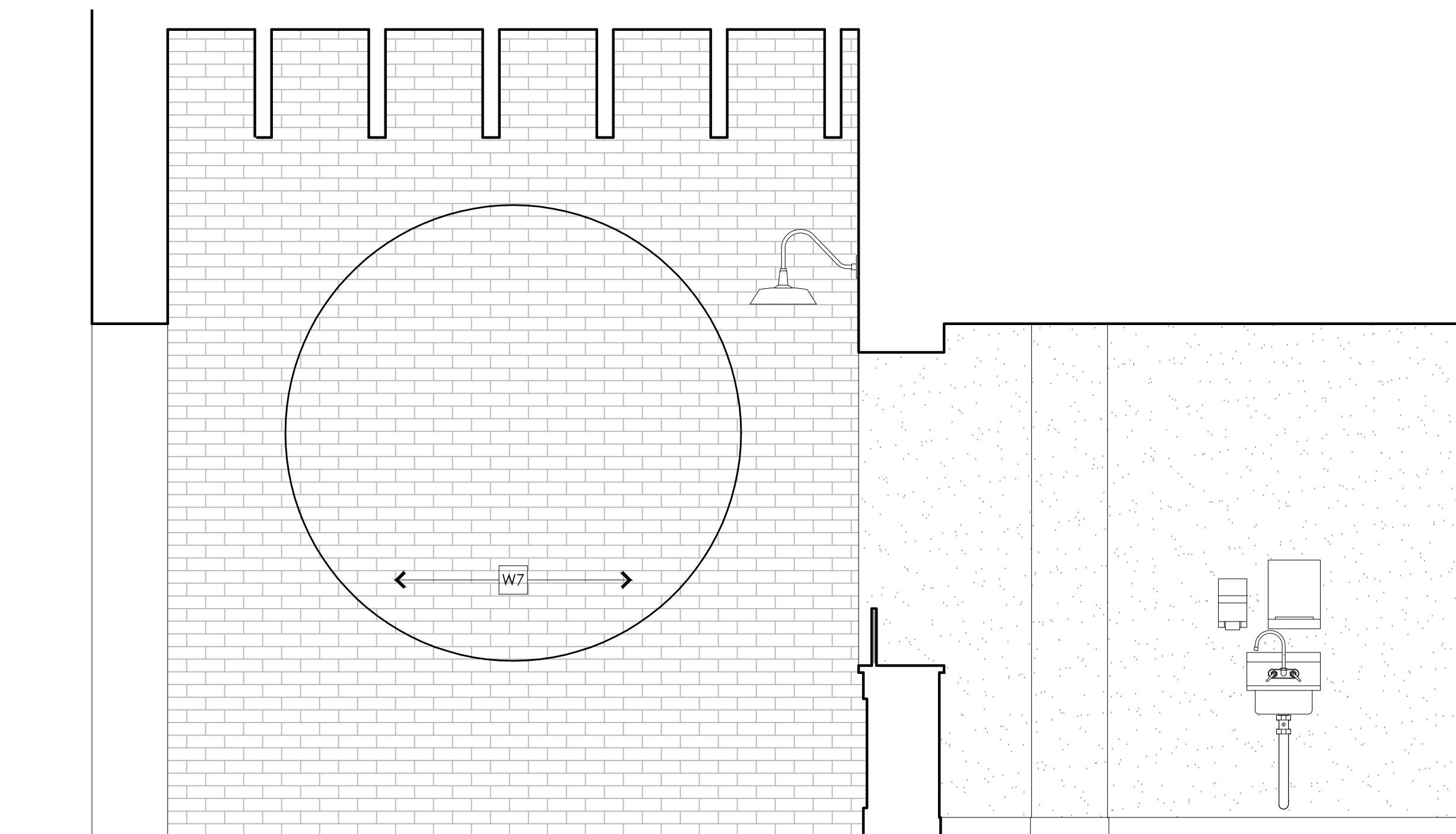
Project Number:
14-051

Sheet Number:

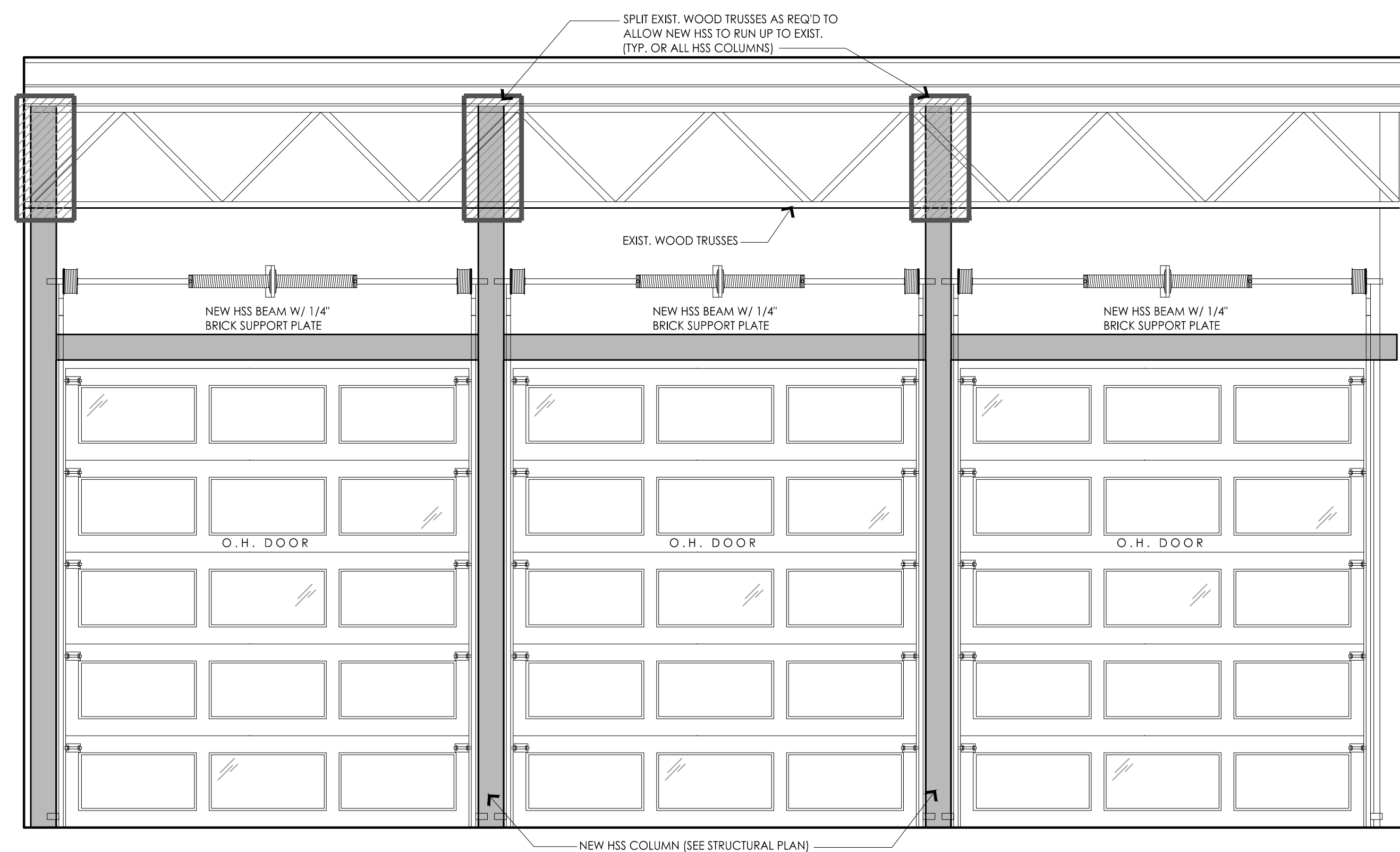
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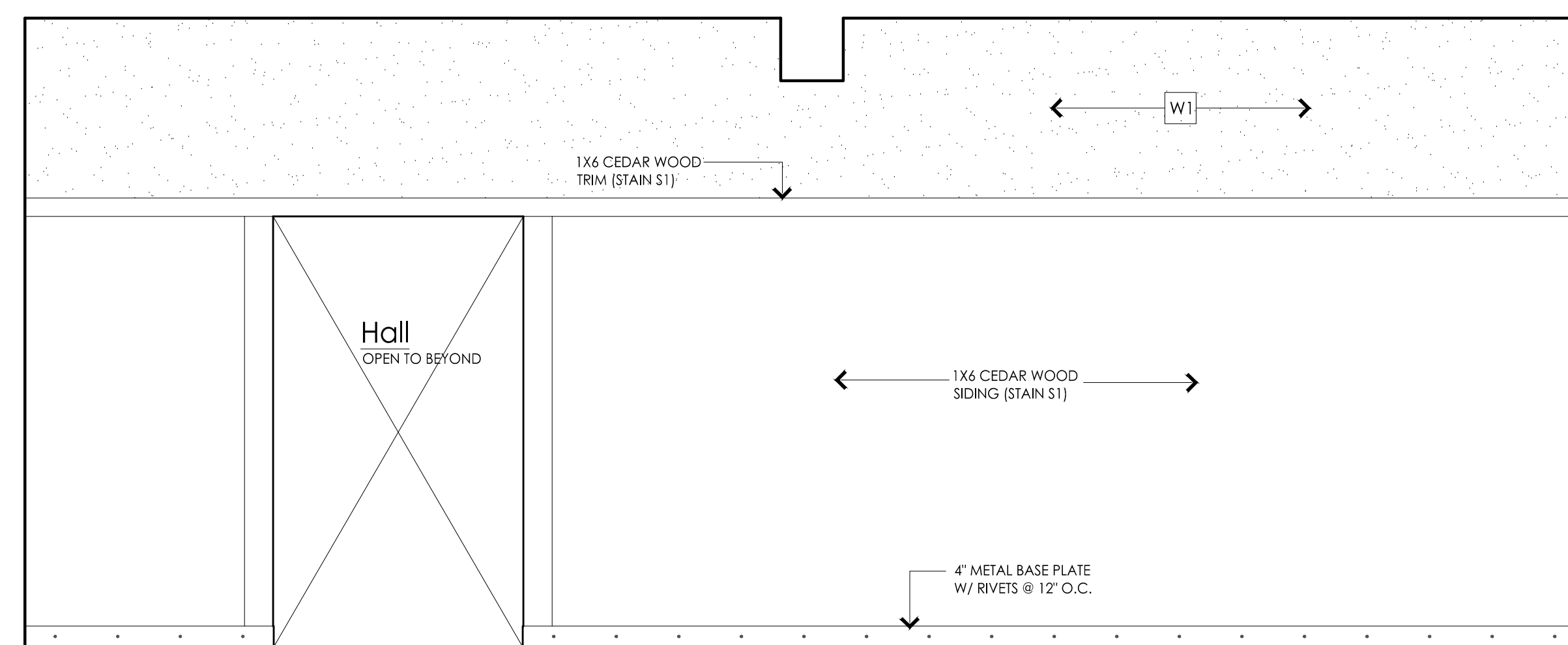
A
A.100
Interior Elevation



B
A.100
Interior Elevation



C
A.100
Interior Elevation



D
A.100
Interior Elevation

Client: Lockharts BBQ
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48362
Project: Renovation

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Seal: _____

Note: Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.

North Arrow: _____

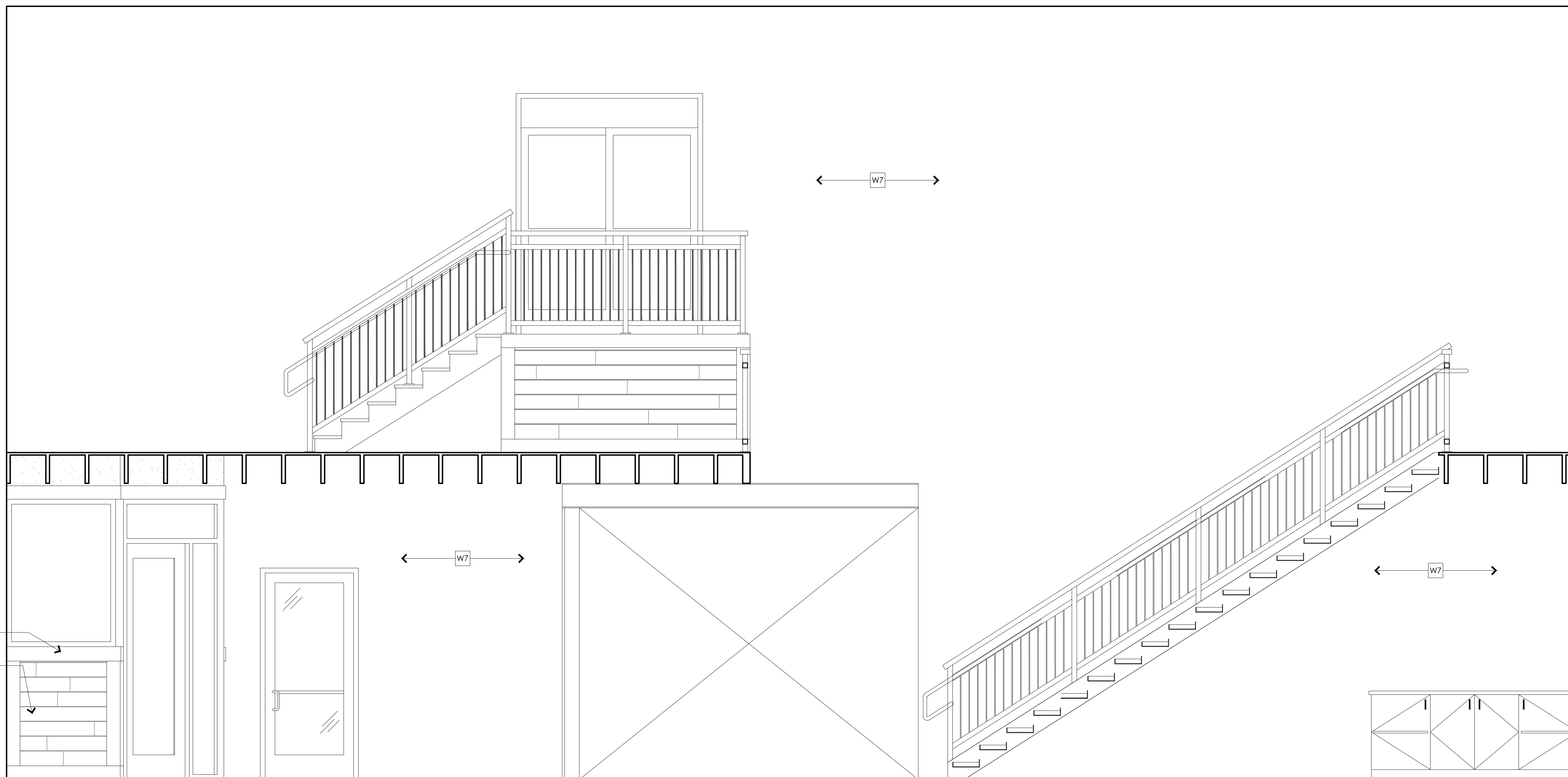
Sheet Title: Interior Elevations

Scale: 1/2" = 1'-0"

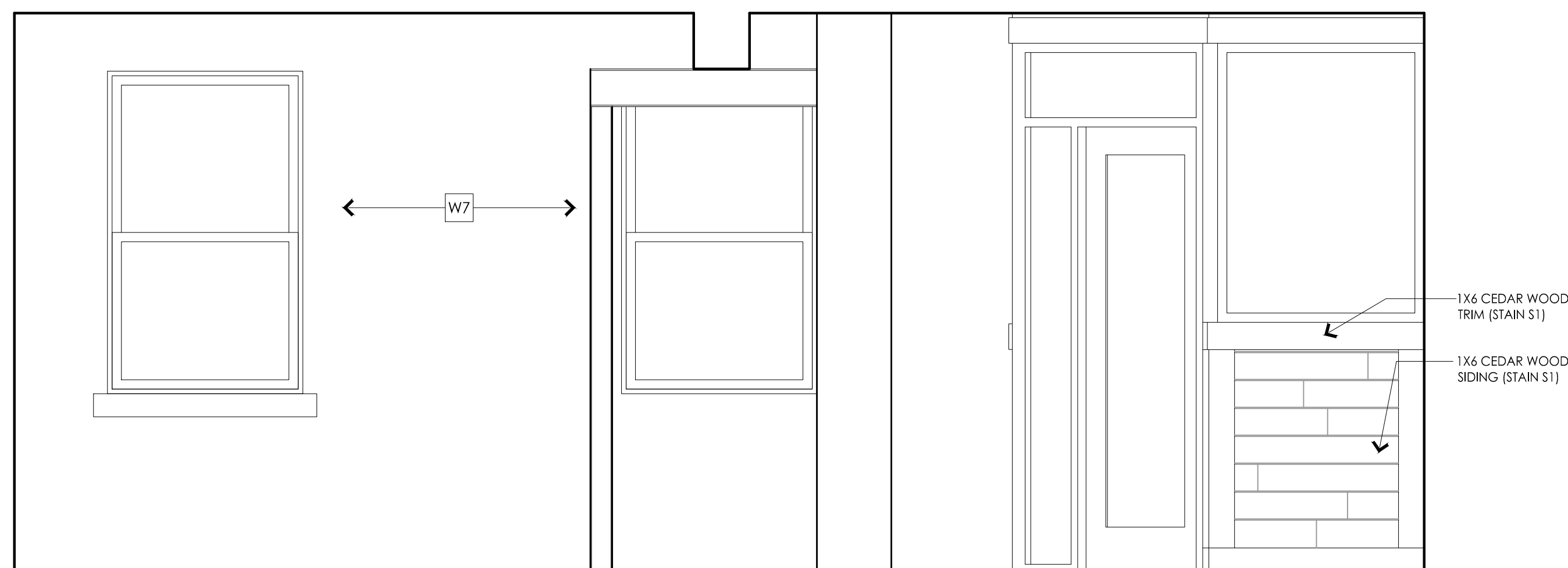
Project Number: 14-051

Sheet Number: _____

A.501



Interior Elevation
E
A.100



Interior Elevation
F
A.100

Client:
Lockharts BBQ
37 E. Flint St.
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48362

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Renovation

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Seal:

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North Arrow:

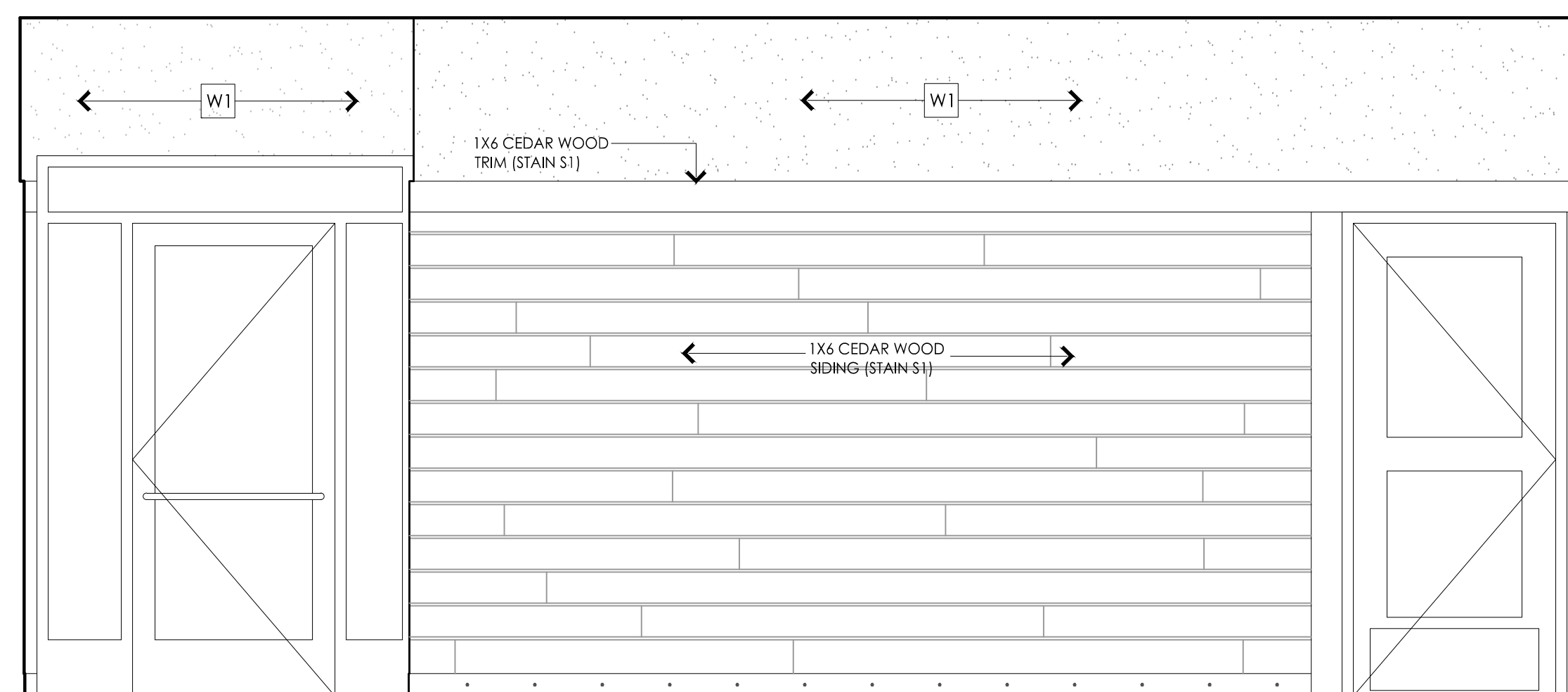
Sheet Title:
**Interior
Elevations**

Scale:
1/2" = 1'-0"

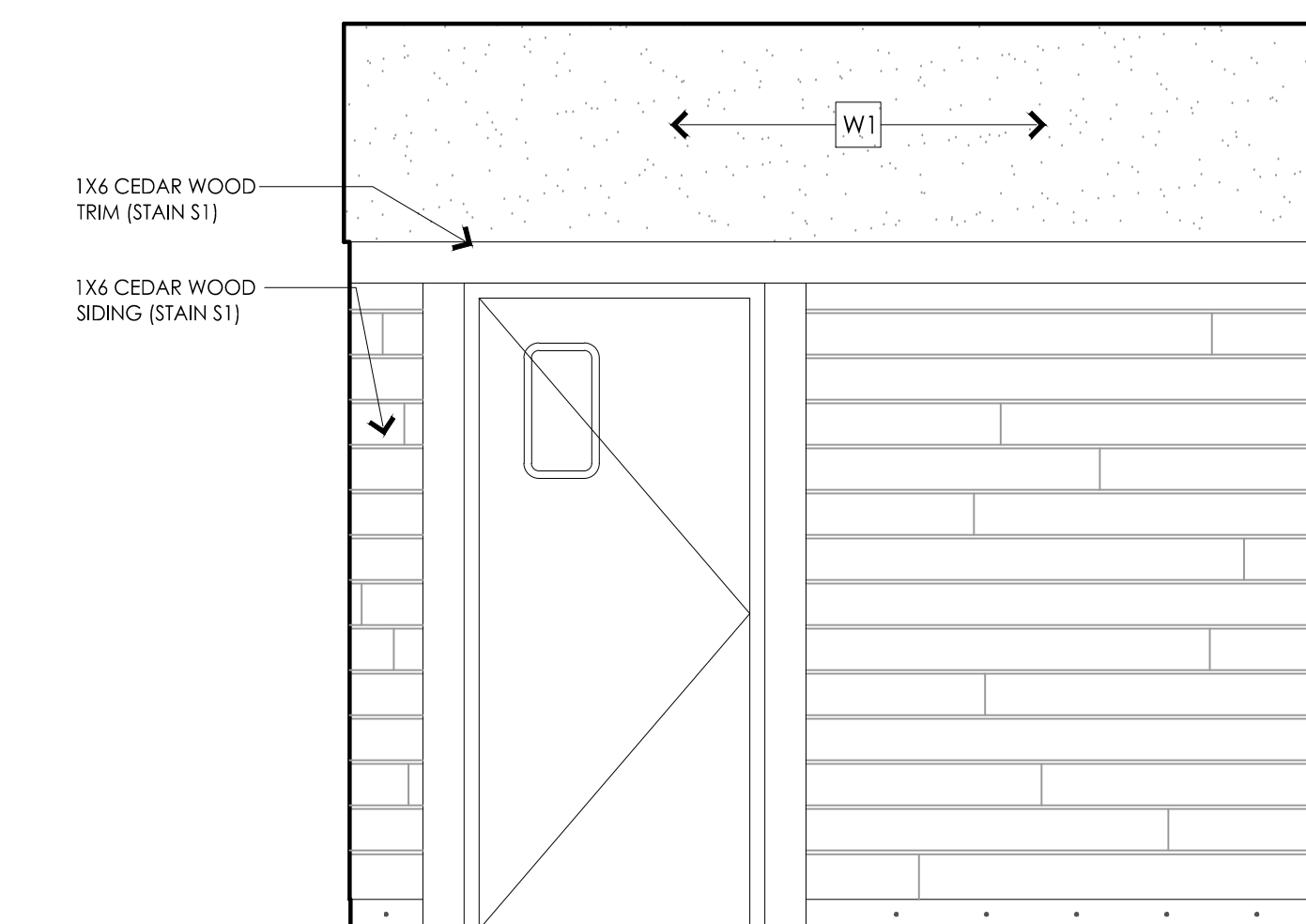
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14-051

Sheet Number:

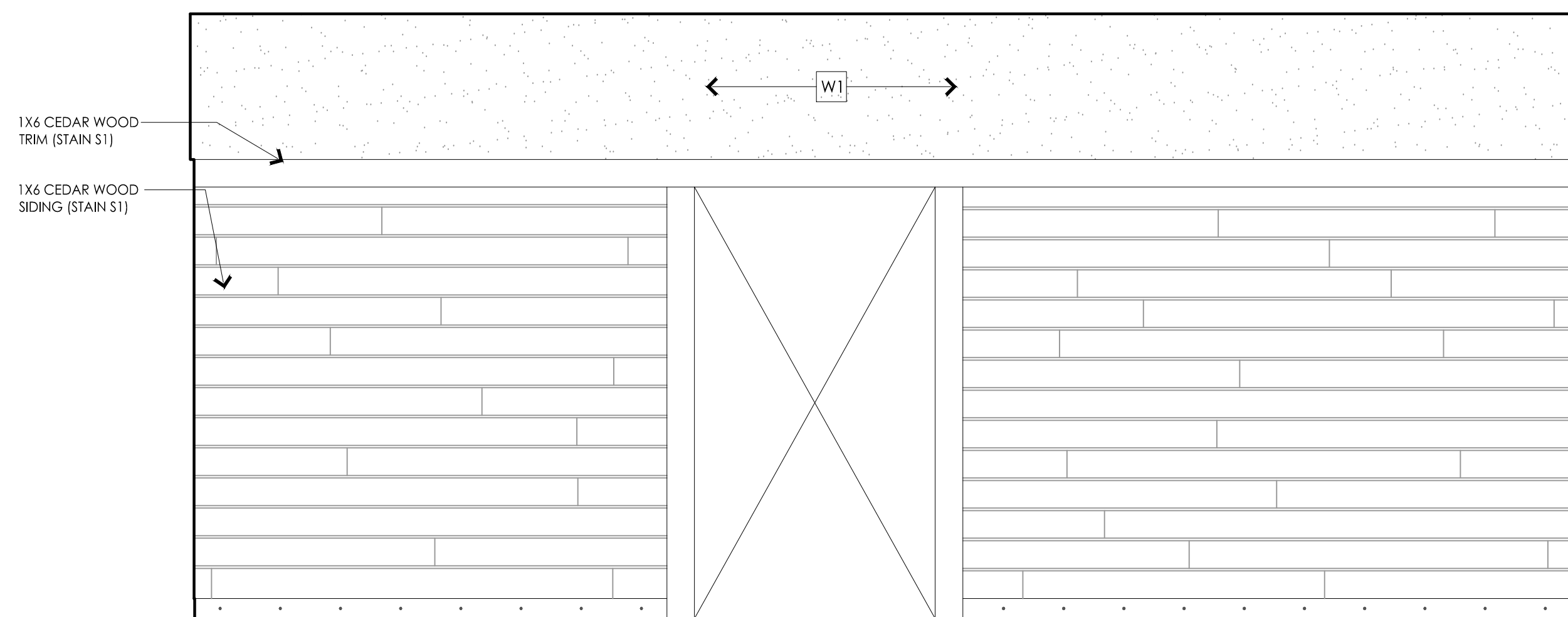
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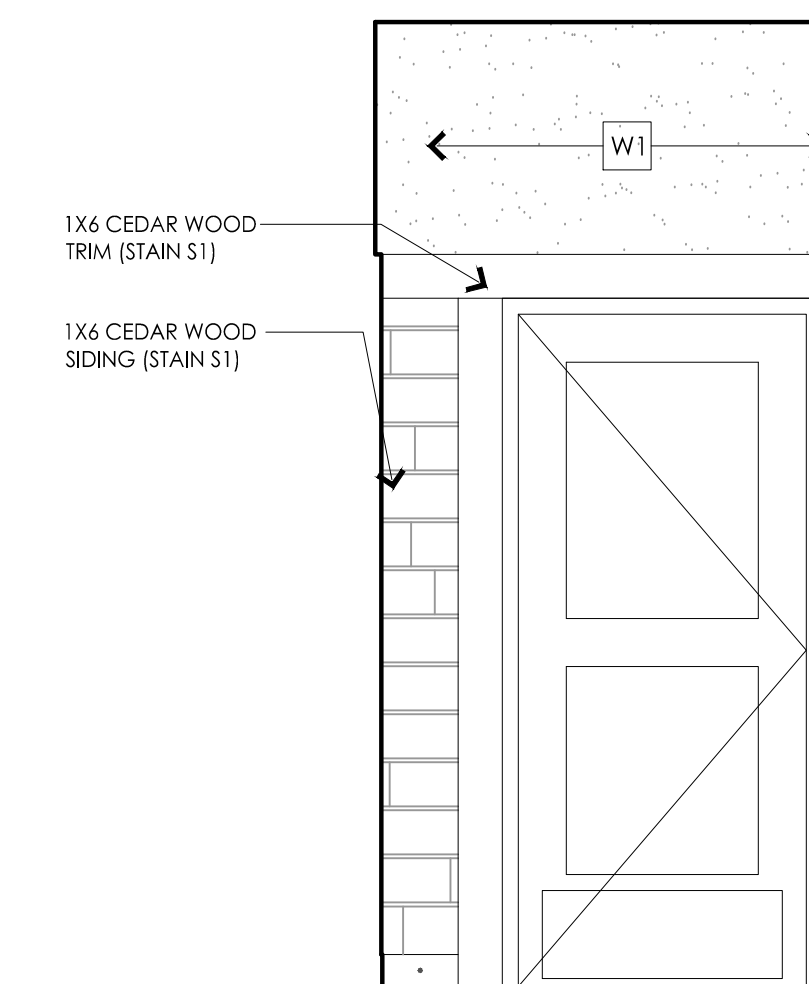
H
A.100 Interior Elevation



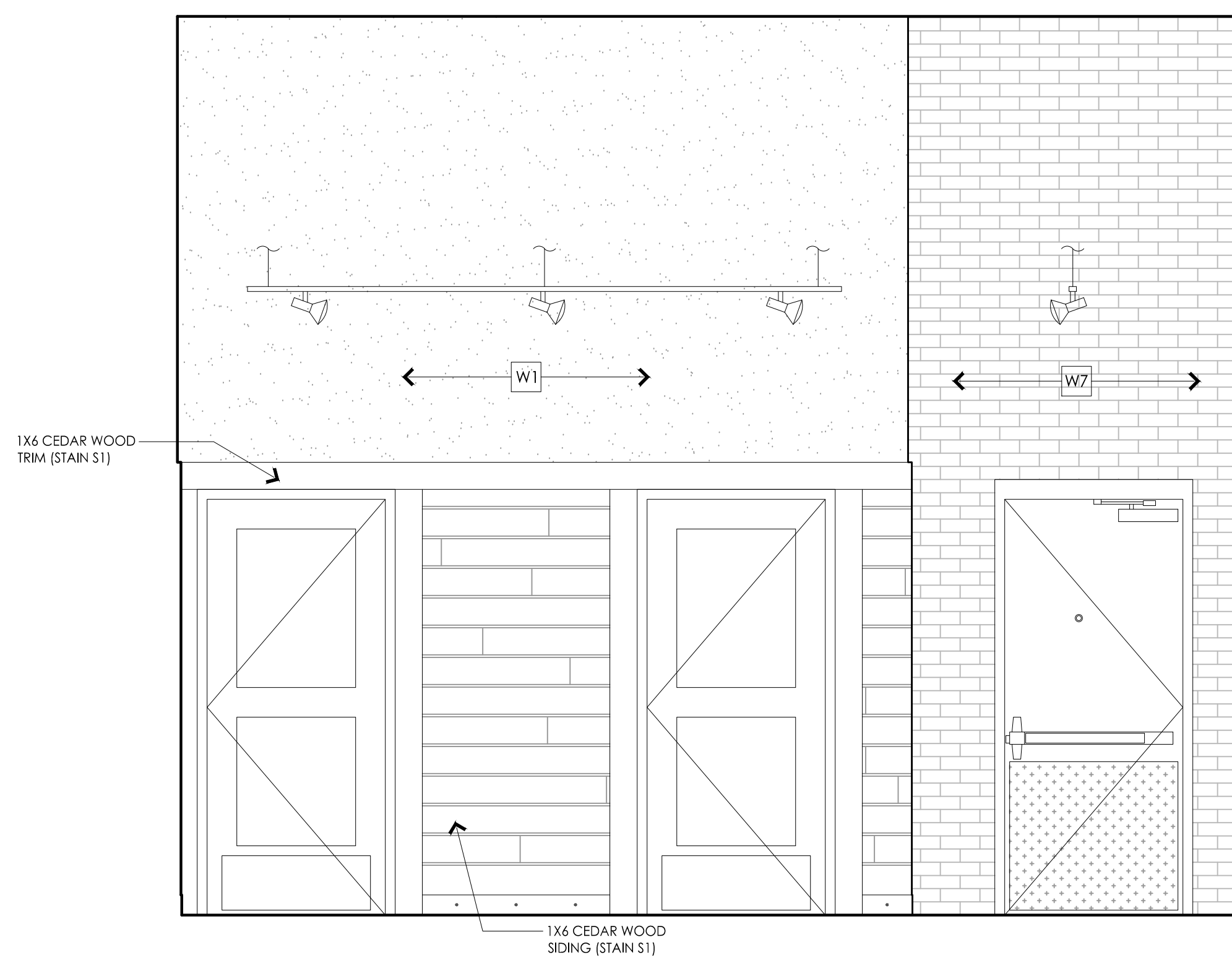
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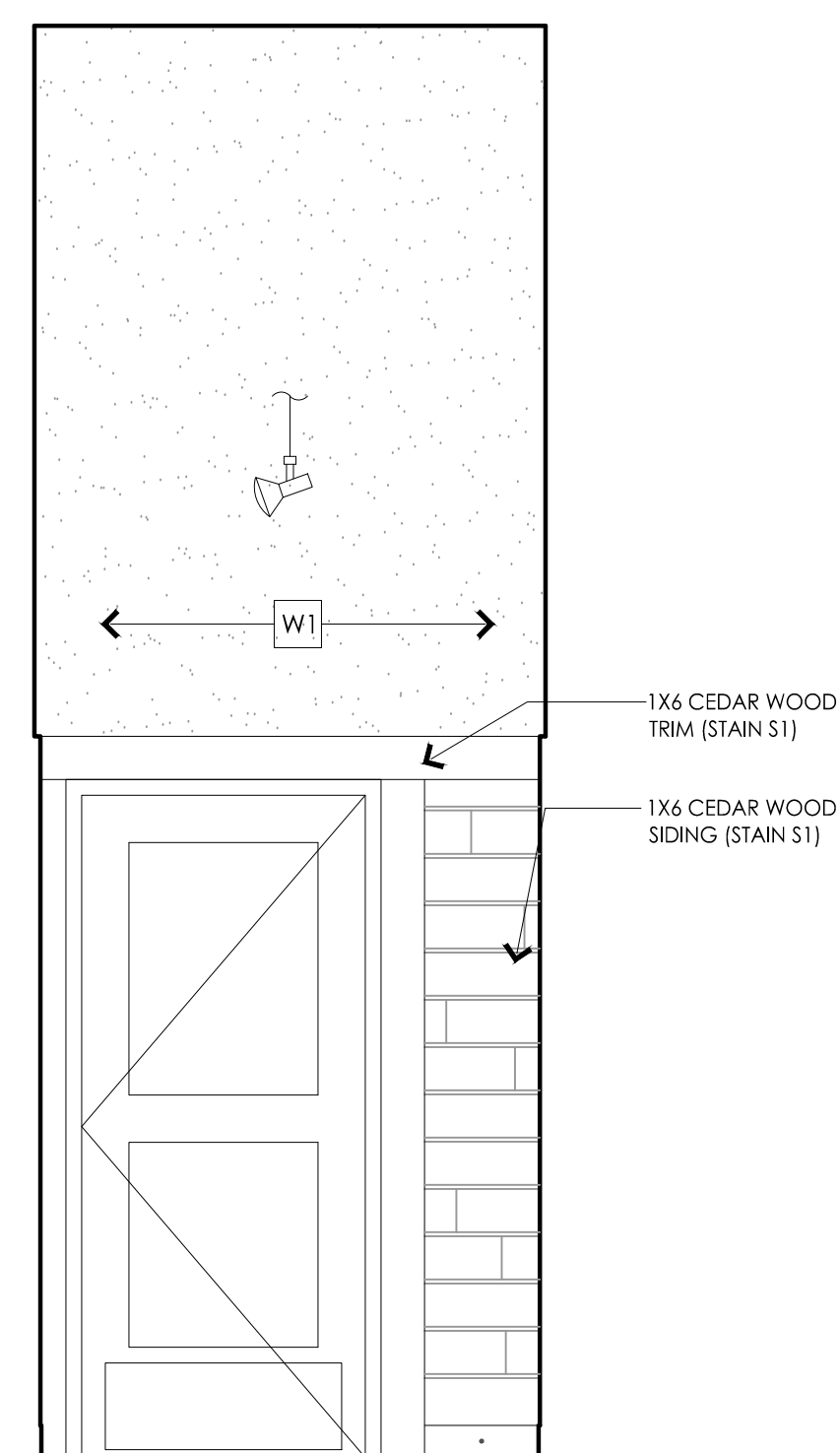
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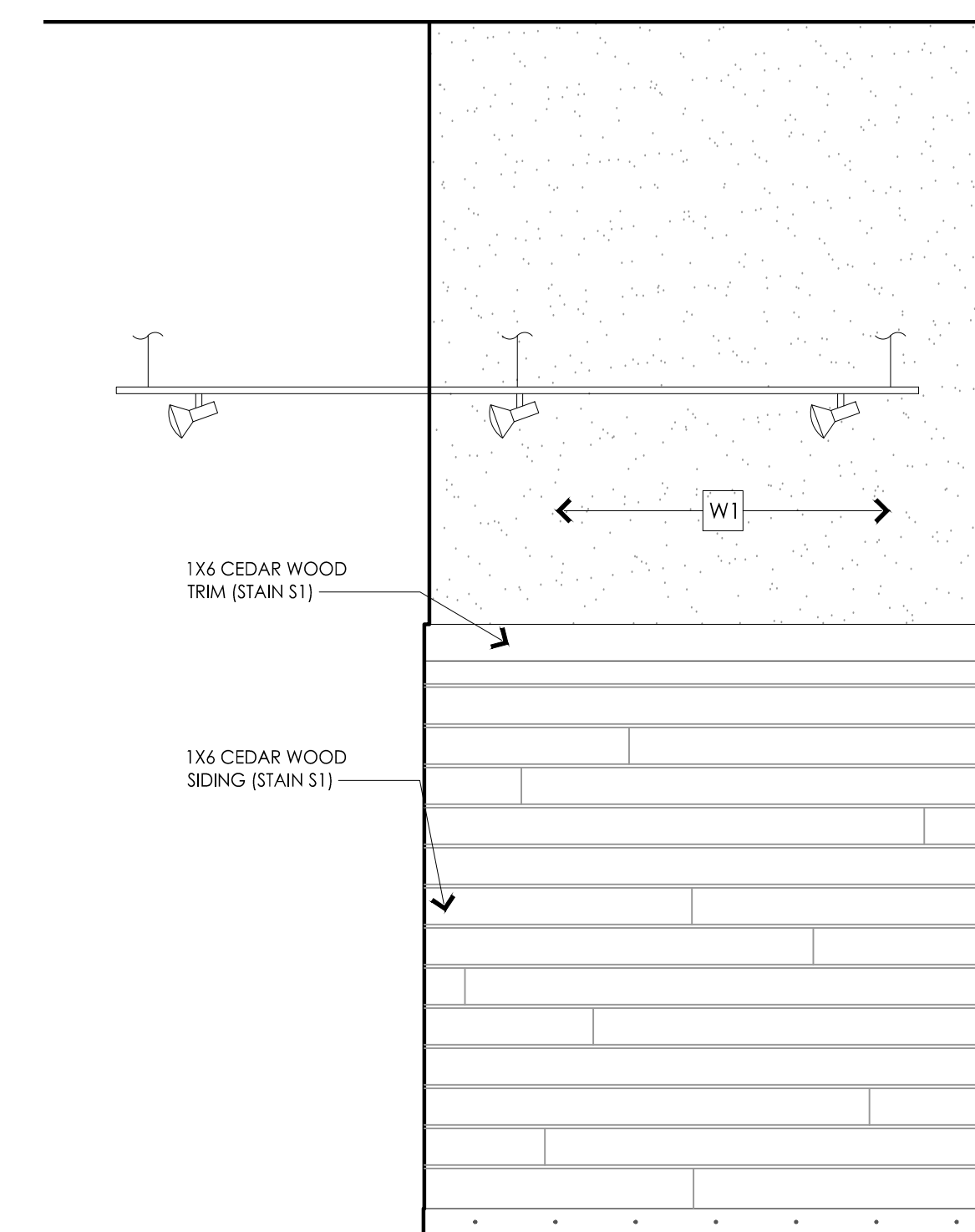
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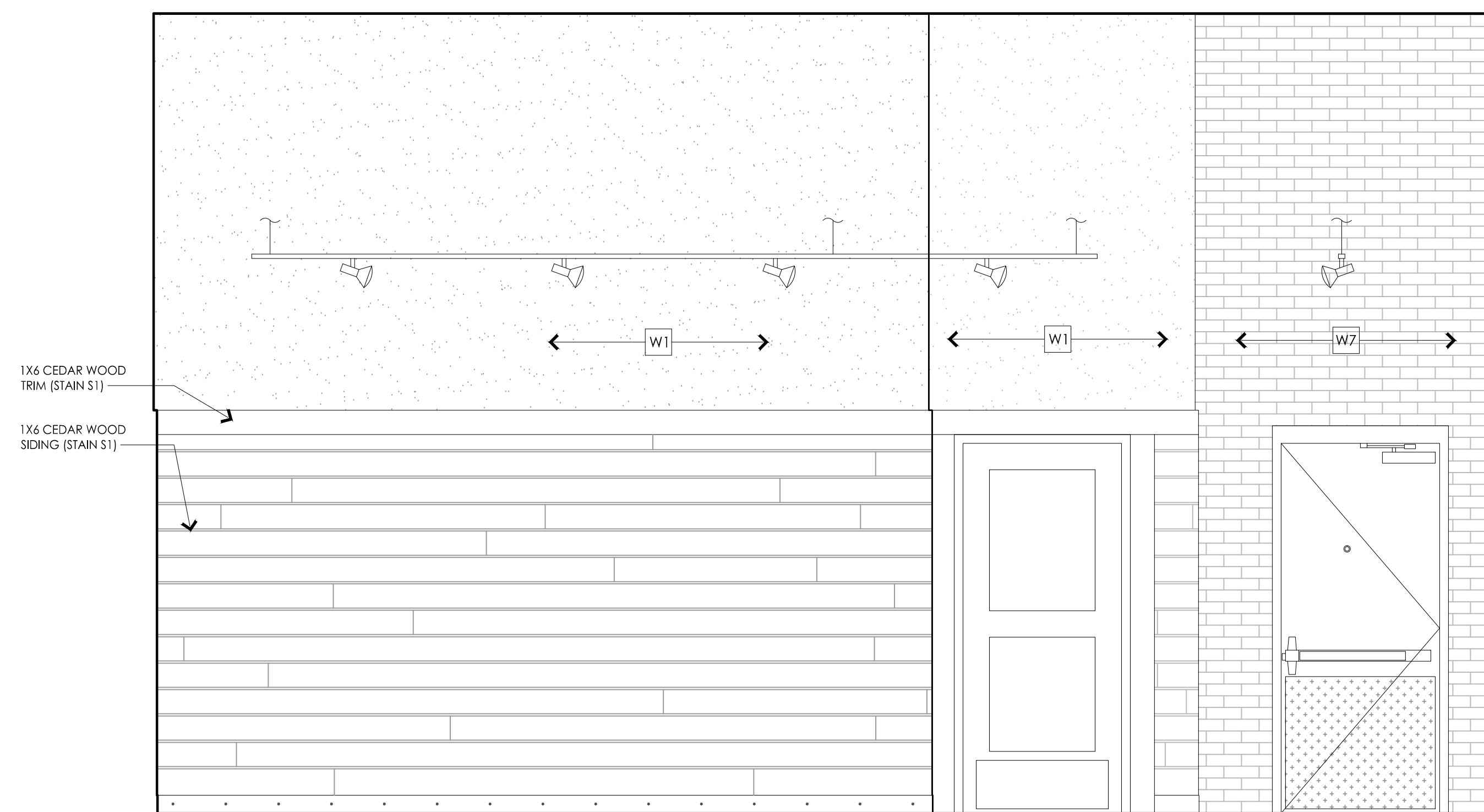
L
A.101 Interior Elevation



M
A.101 Interior Elevation



N
A.101 Interior Elevation



O
A.101 Interior Elevation

Client:
Lockharts BBQ
37 E. Flint St.
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48362

Project:
Renovation

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North Arrow:

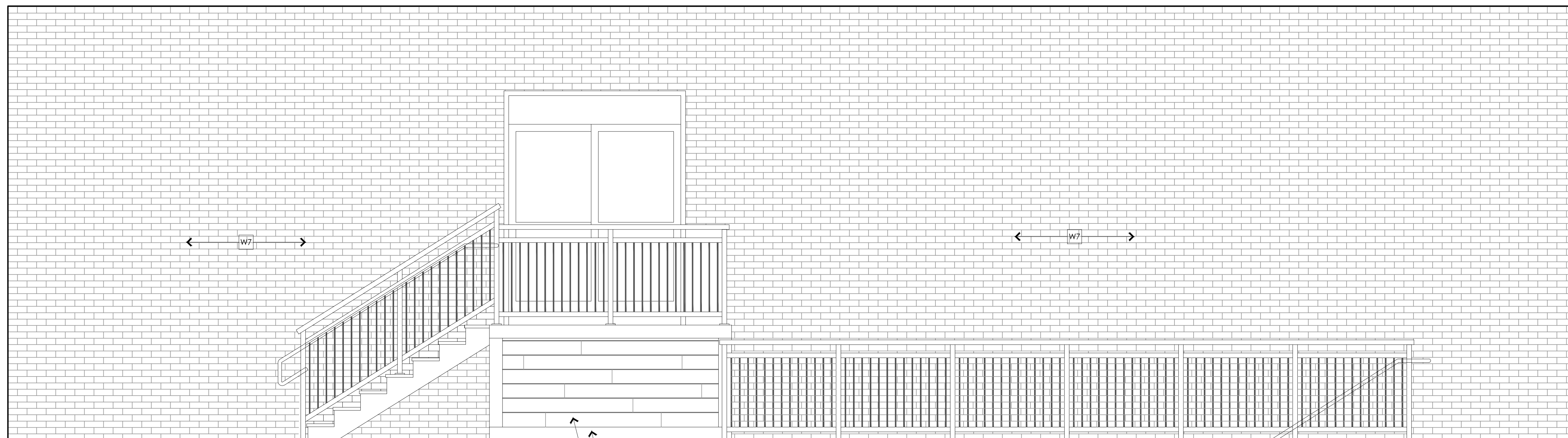
Sheet Title:
**Interior
Elevations**

Scale:
1/2" = 1'-0"

Project Number:
14-051

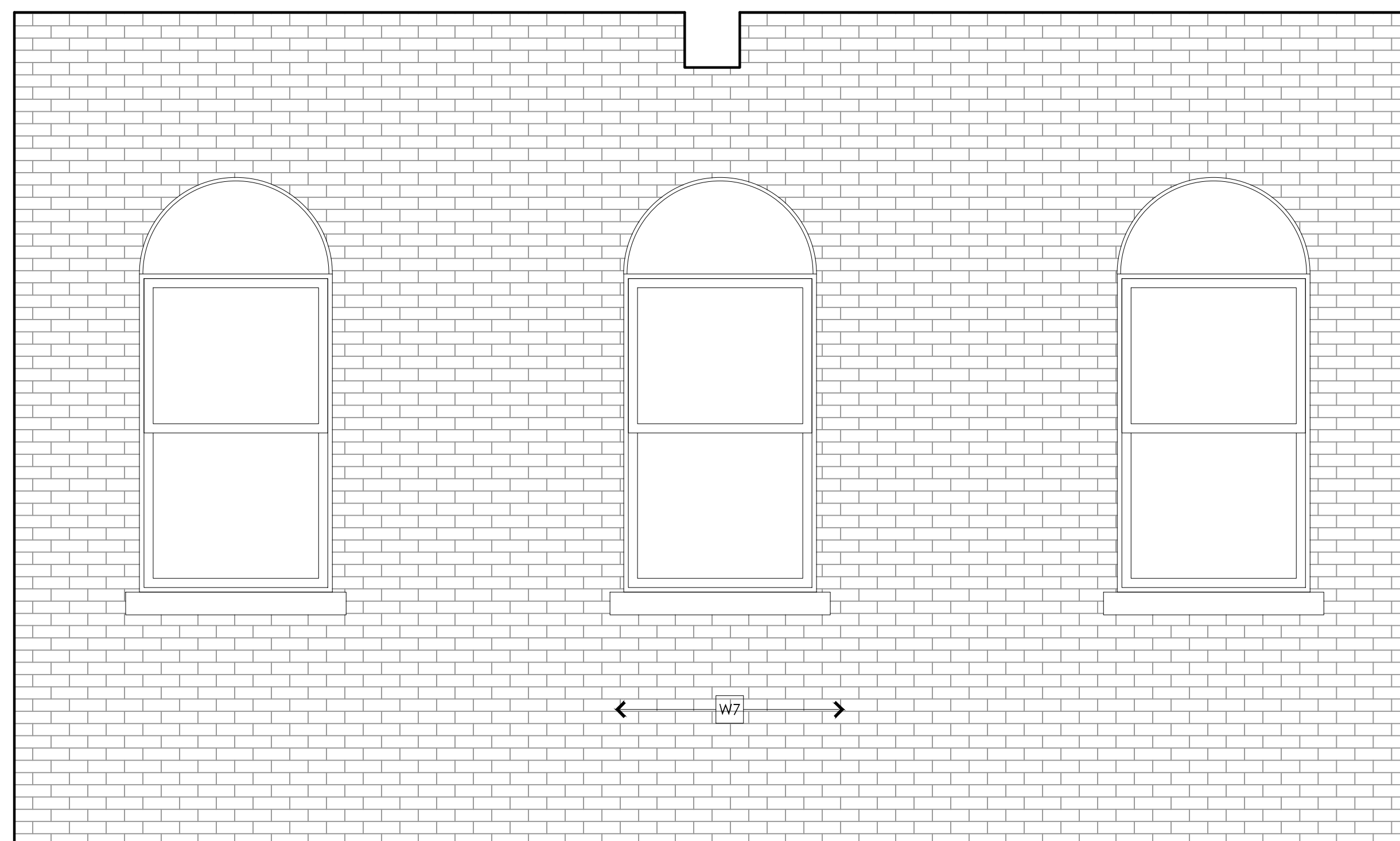
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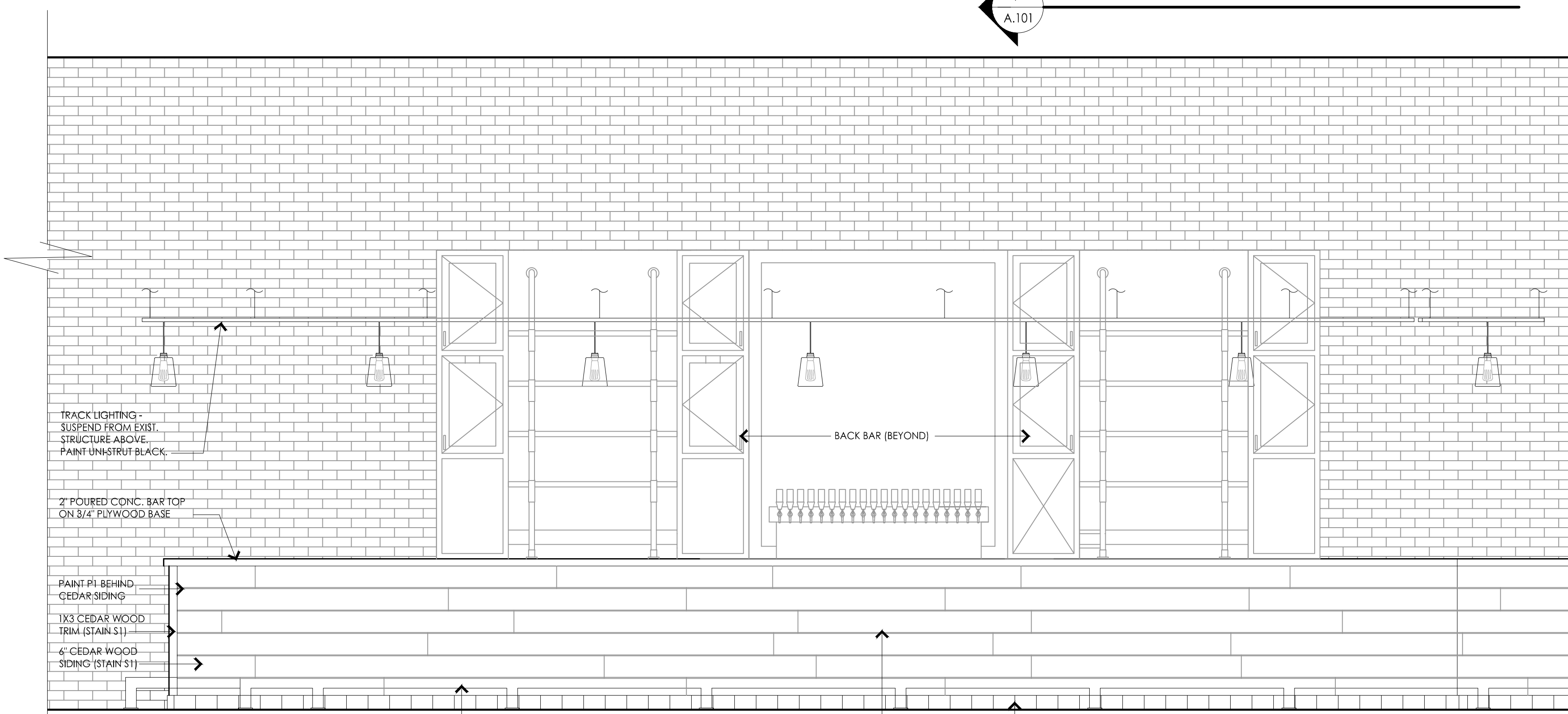


1x6 CEDAR WOOD TRIM (STAIN S1)
1x6 CEDAR WOOD SIDING (STAIN S1)

Interior Elevation



Interior Elevation



TRACK LIGHTING - SUSPEND FROM EXIST. STRUCTURE ABOVE. PAINT UNSTRUT BLACK.
2" POURED CONC. BAR TOP ON 3/4" PLYWOOD BASE
PAINT P1. BEHIND CEDAR SIDING
1x3 CEDAR WOOD TRIM (STAIN S1)
6" CEDAR WOOD SIDING (STAIN S1)

2" Ø THREADED BLACK PIPE (GAS) FOOT REST W/ FLOOR FLANGES TEES AND ELBOWS (DASHED LINES)
PROVIDE 6" CEDAR WOOD SIDING (STAIN S1) W/ 1/2" REVEALS
4" TILE BASE
NOTE: MATCH EXIST. FRONT BAR FINISHES FROM ROYAL OAK (V.I.F.)

Interior Elevation

Client:
Lockharts BBQ
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48362

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Renovation

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North Arrow:

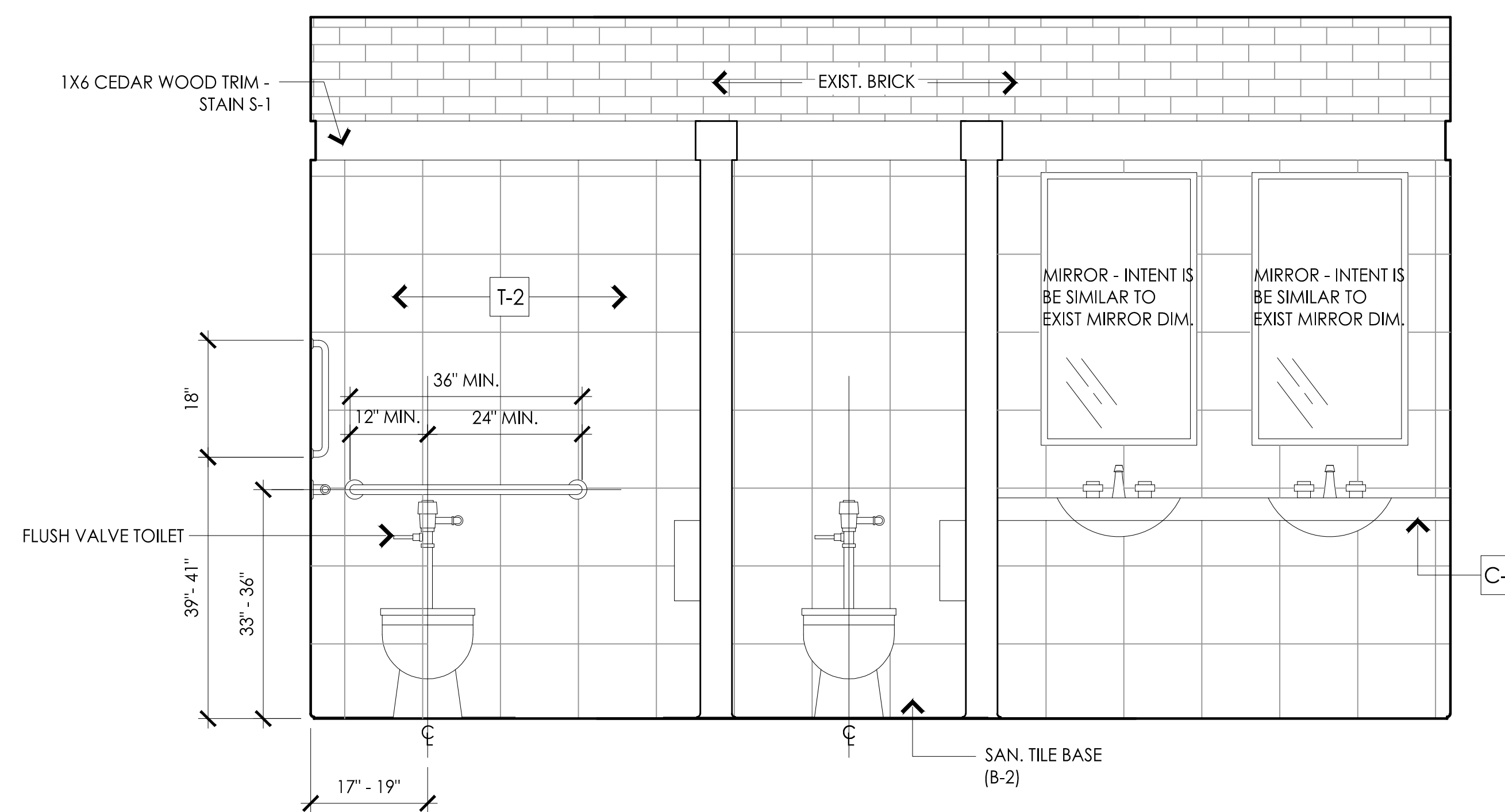
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Interior Elevations

Scale:
1/2" = 1'-0"

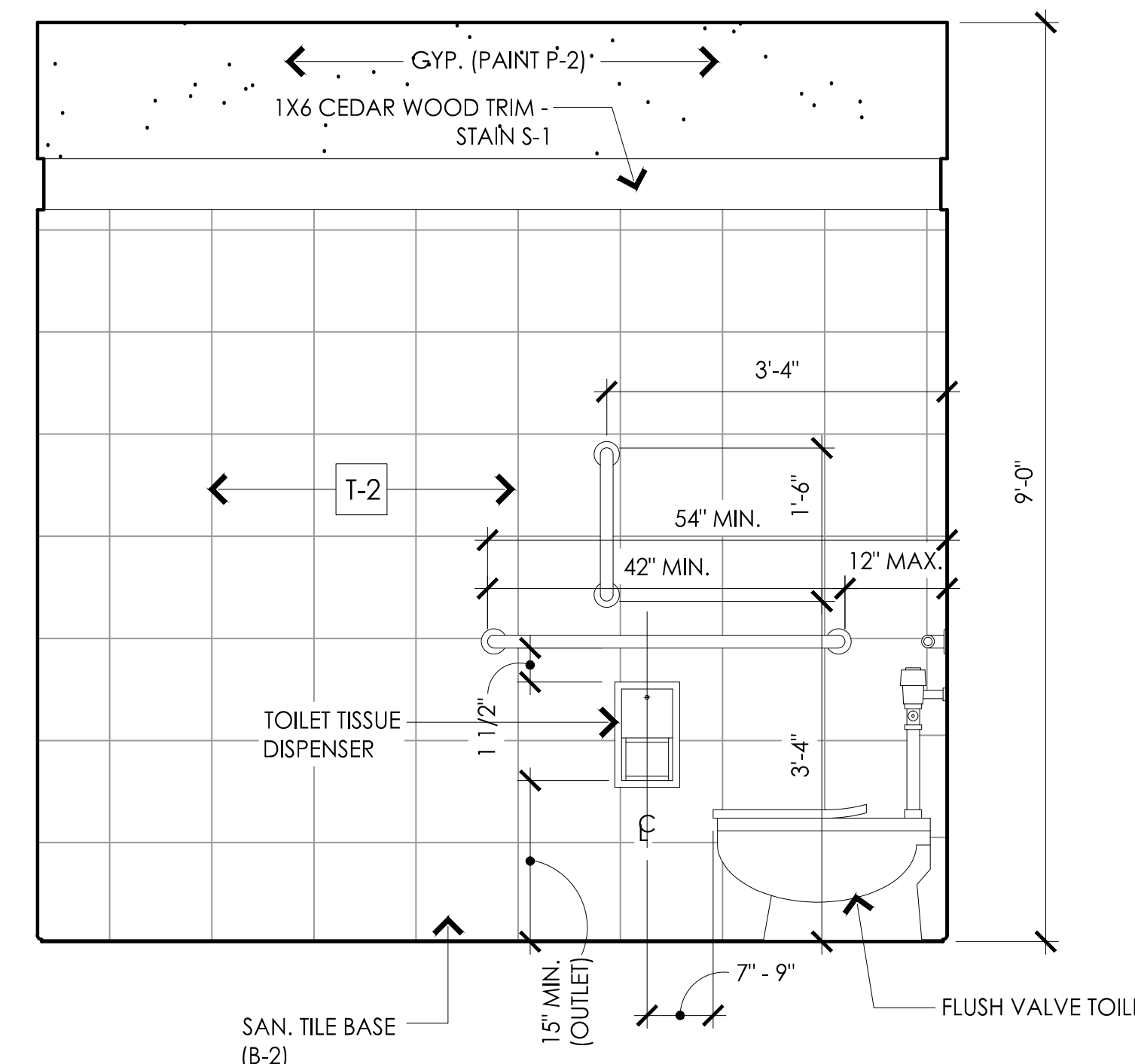
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14-051

Sheet Number:

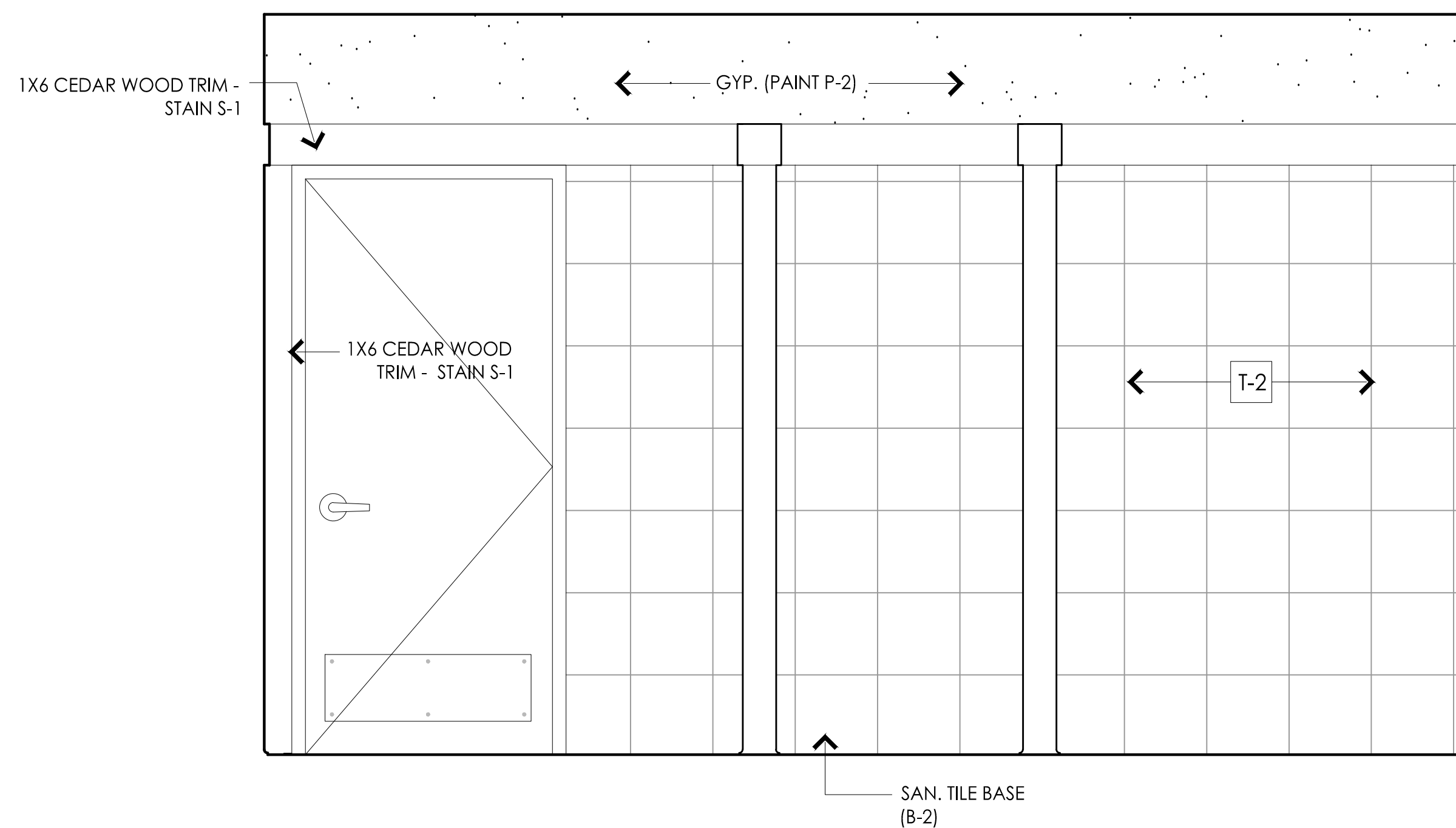
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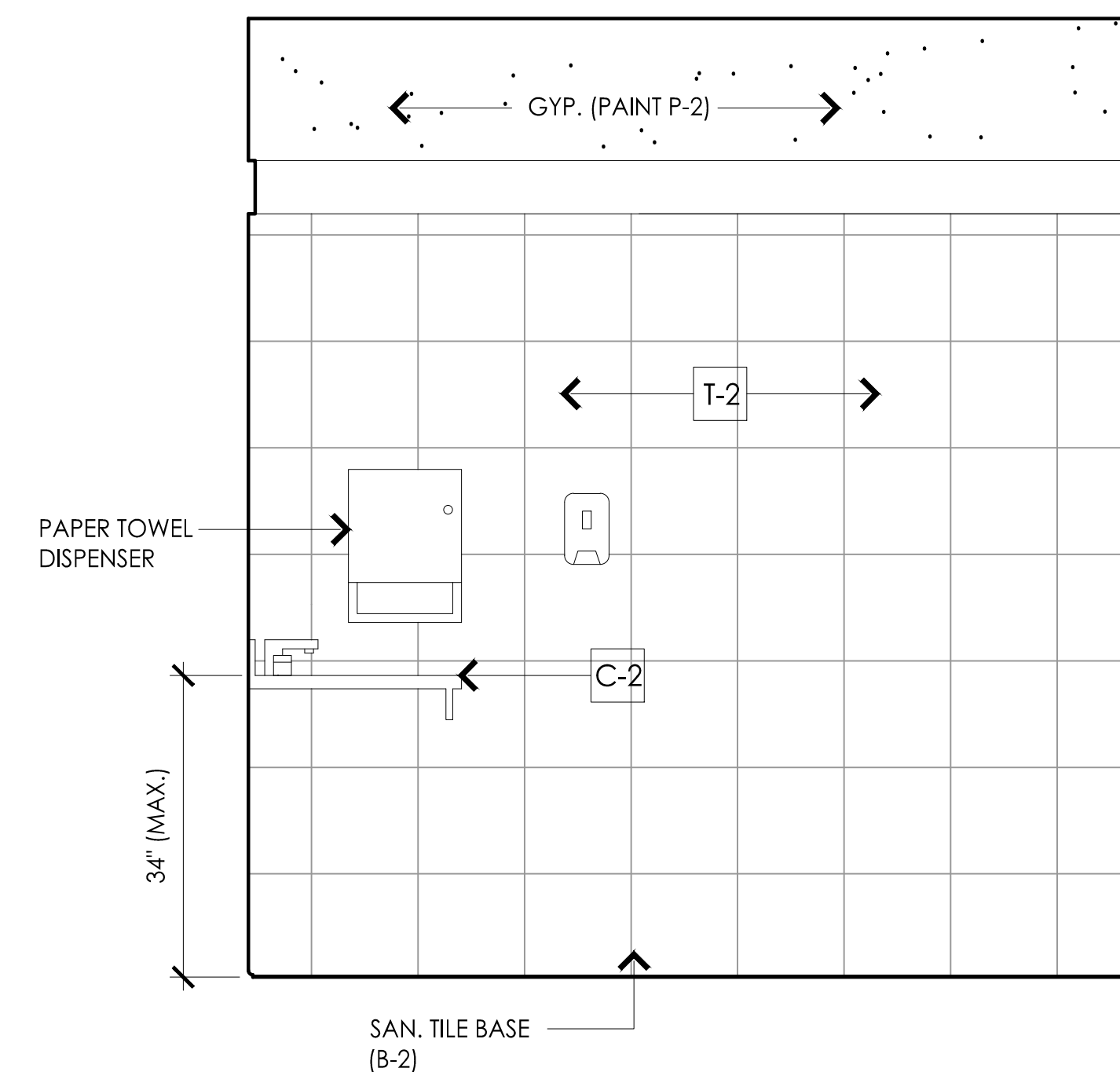
Interior Elevation
 R-1
 A.102.1



Interior Elevation
 R-2
 A.102.1



Interior Elevation
 R-3
 A.102.1



Interior Elevation
 R-4
 A.102.1

Client:
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North Arrow:

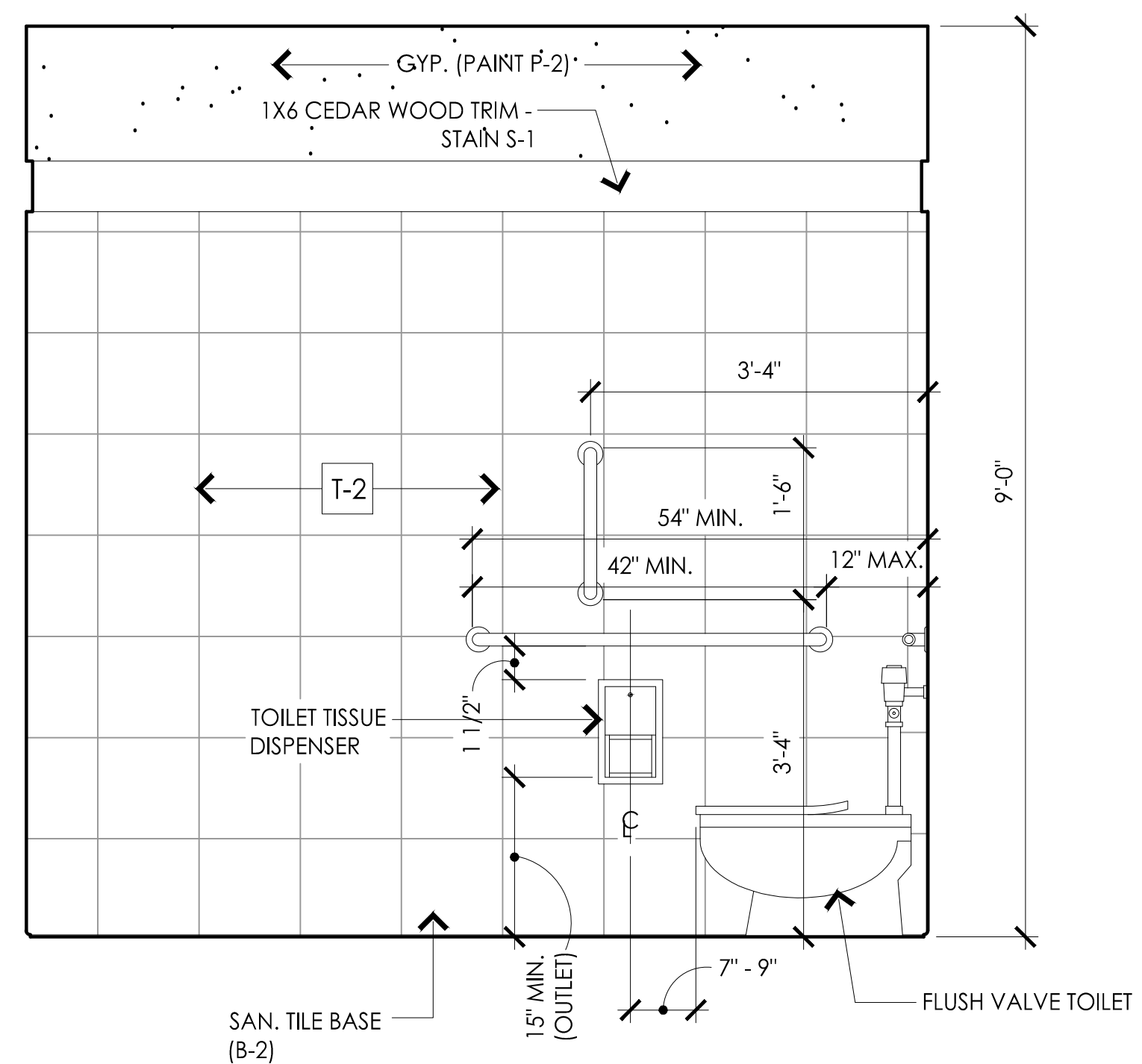
Sheet Title:
 Restroom
 Elevations

Scale:
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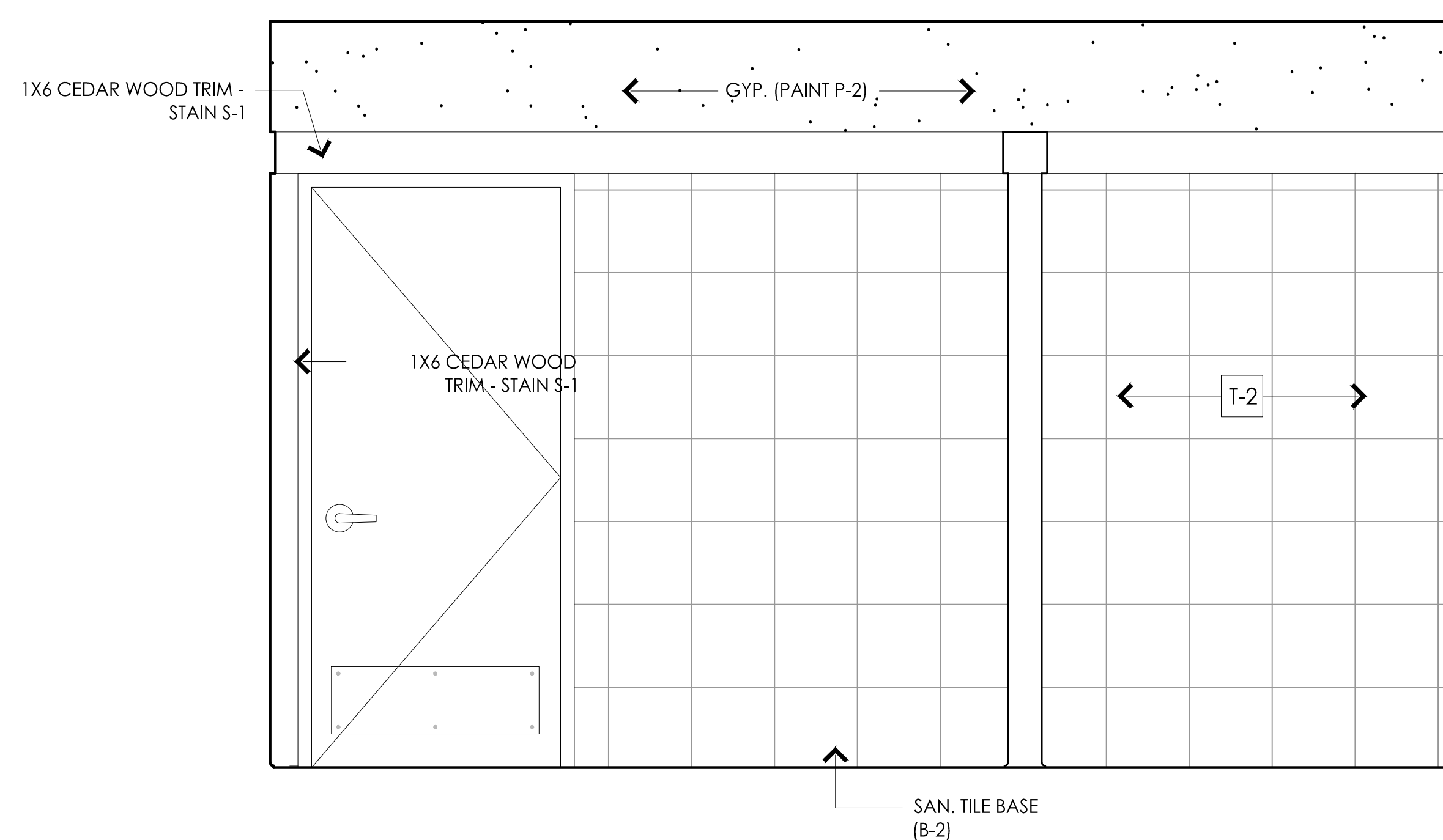
Project Number:
 14-051

Sheet Number:

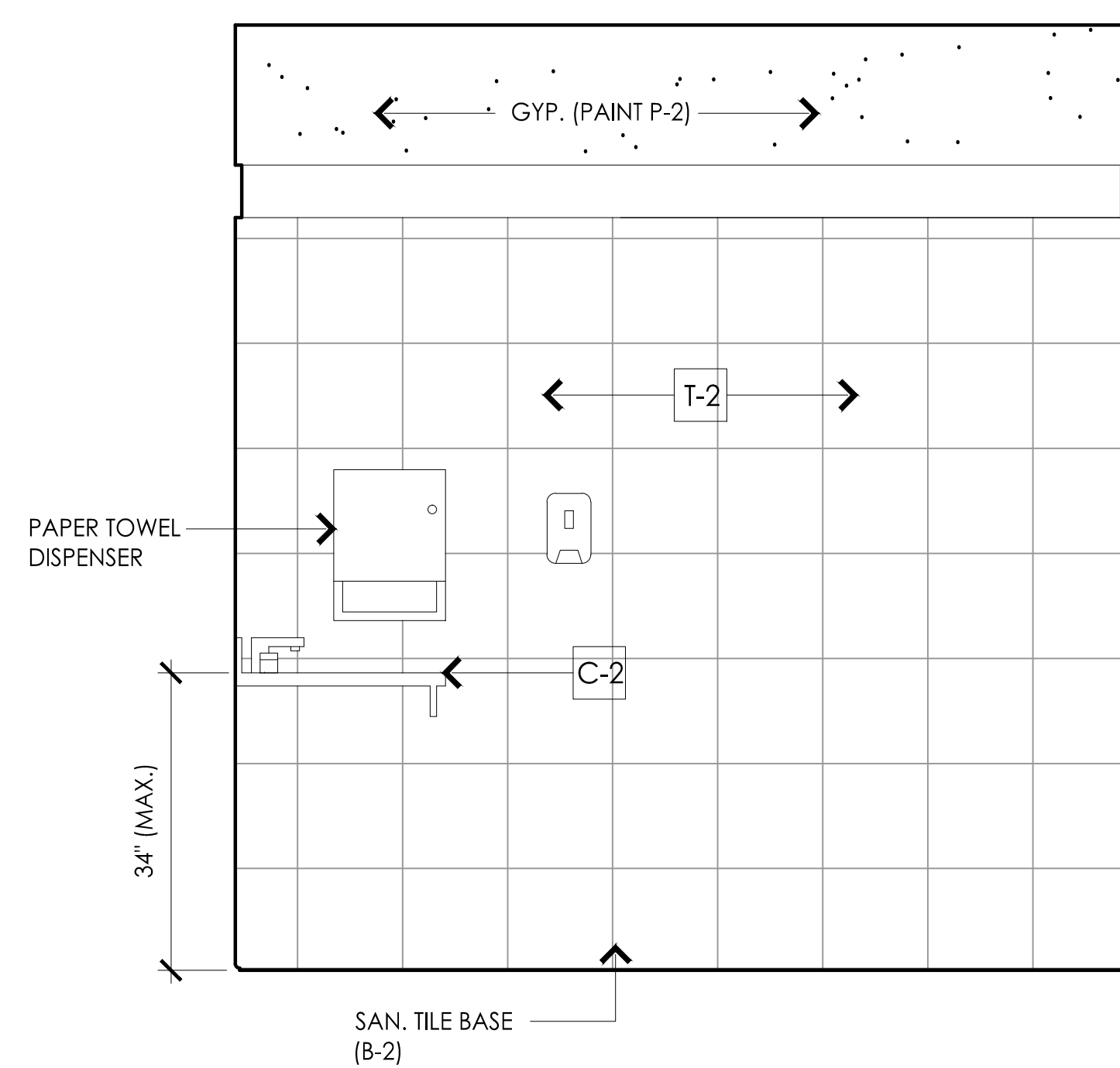
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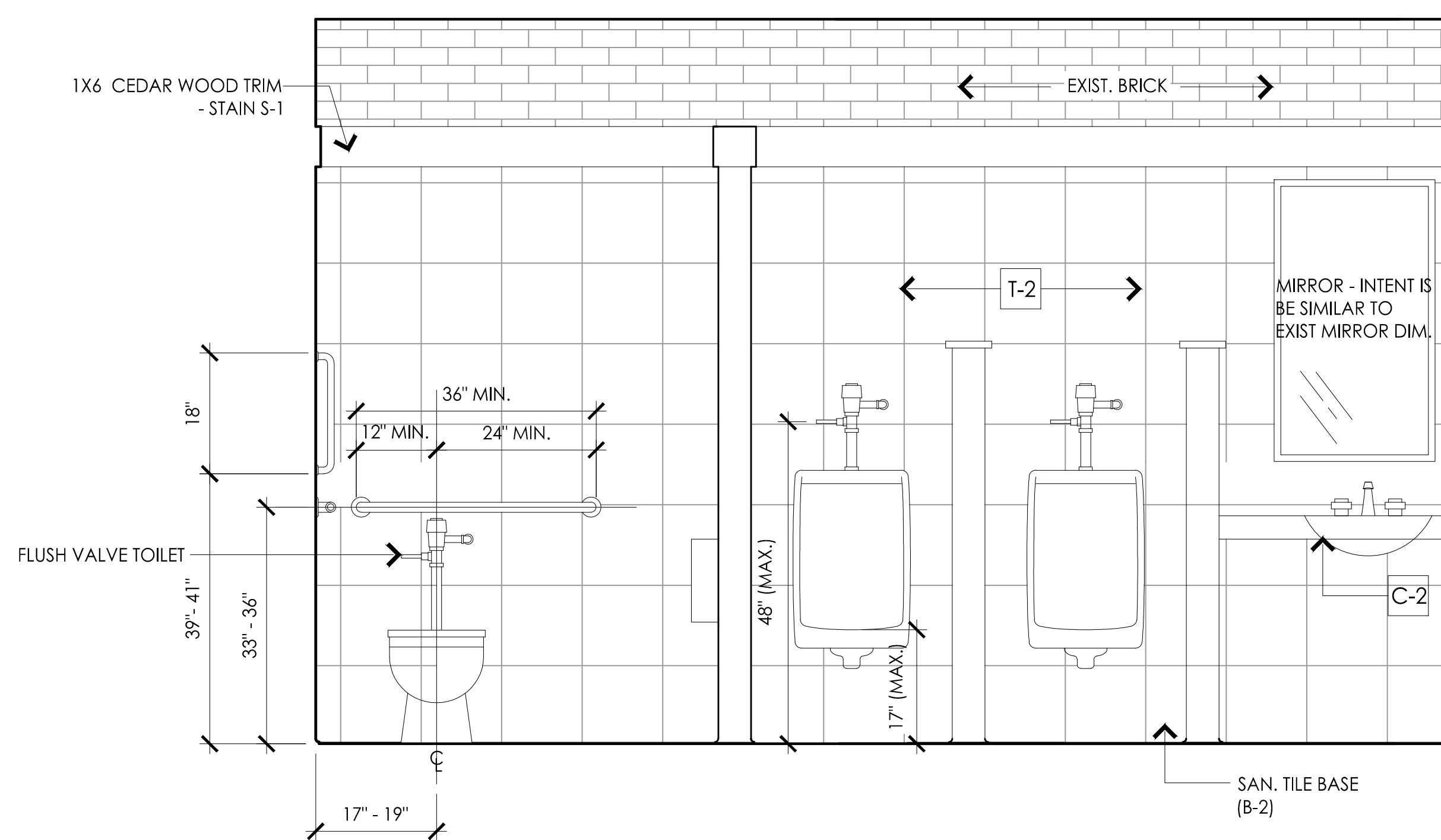
R-5
A.102.1
Interior Elevation



R-6
A.102.1
Interior Elevation



R-7
A.102.1
Interior Elevation



R-8
A.102.1
Interior Elevation

Client:
Lockharts BBQ
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Seal:

Note:
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North Arrow:

Sheet Title:
**Restroom
Elevations**

Scale:
1/2" = 1'-0"

Project Number:
14-051

Sheet Number:

A.506

Client:
Lockharts BBQ
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North Arrow:

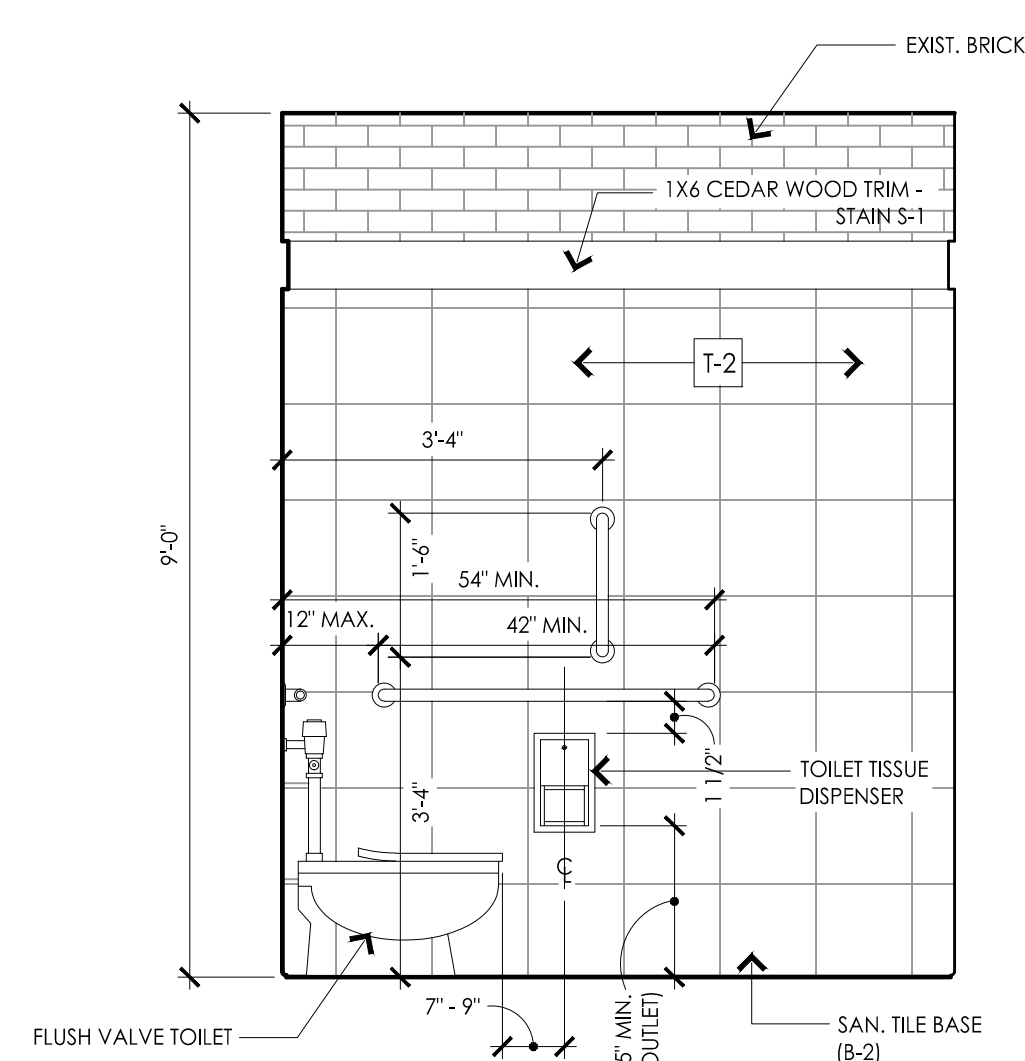
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**Restroom
Elevations**

Scale:
1/2" = 1'-0"

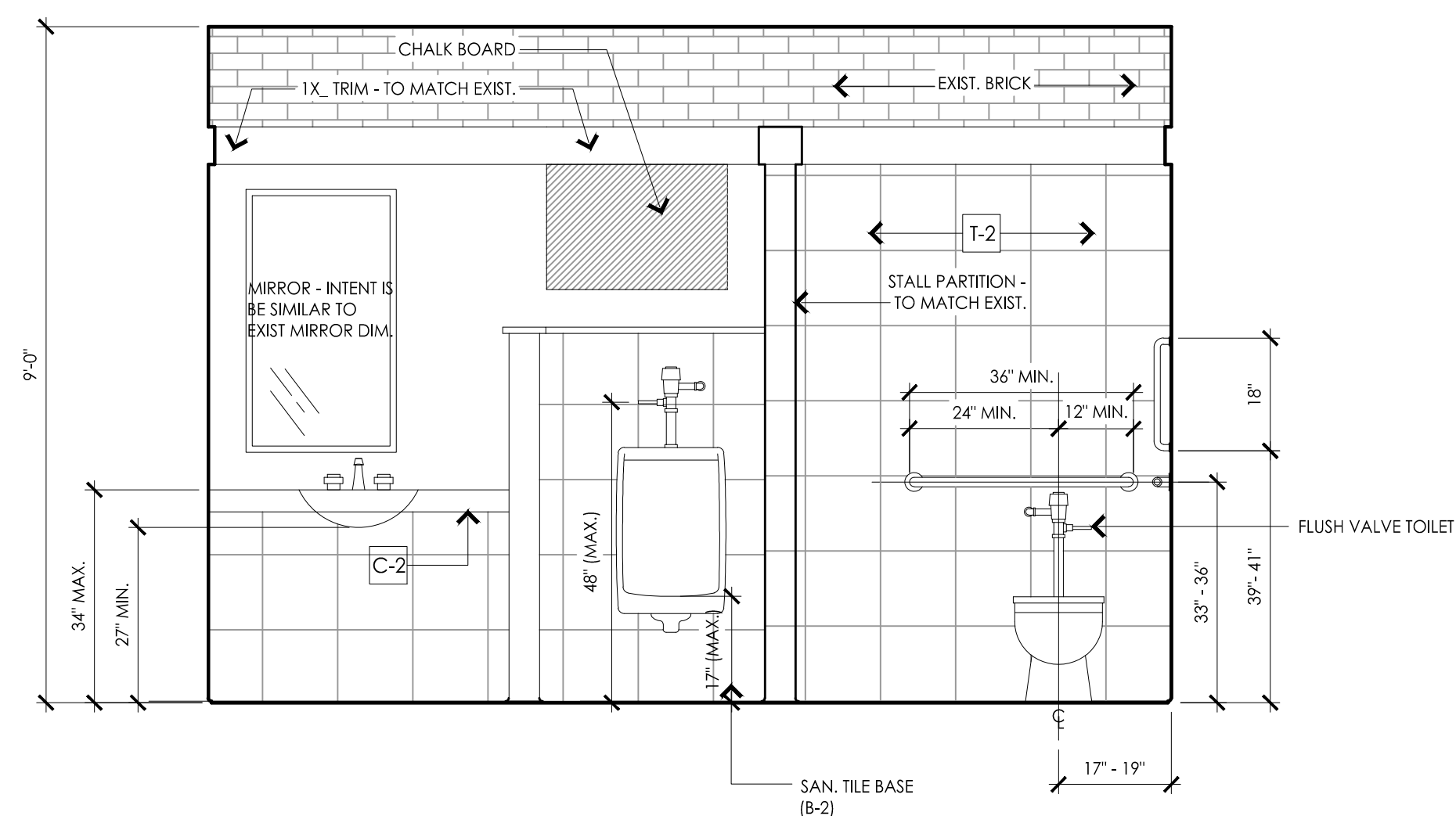
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14-051

Sheet Number:

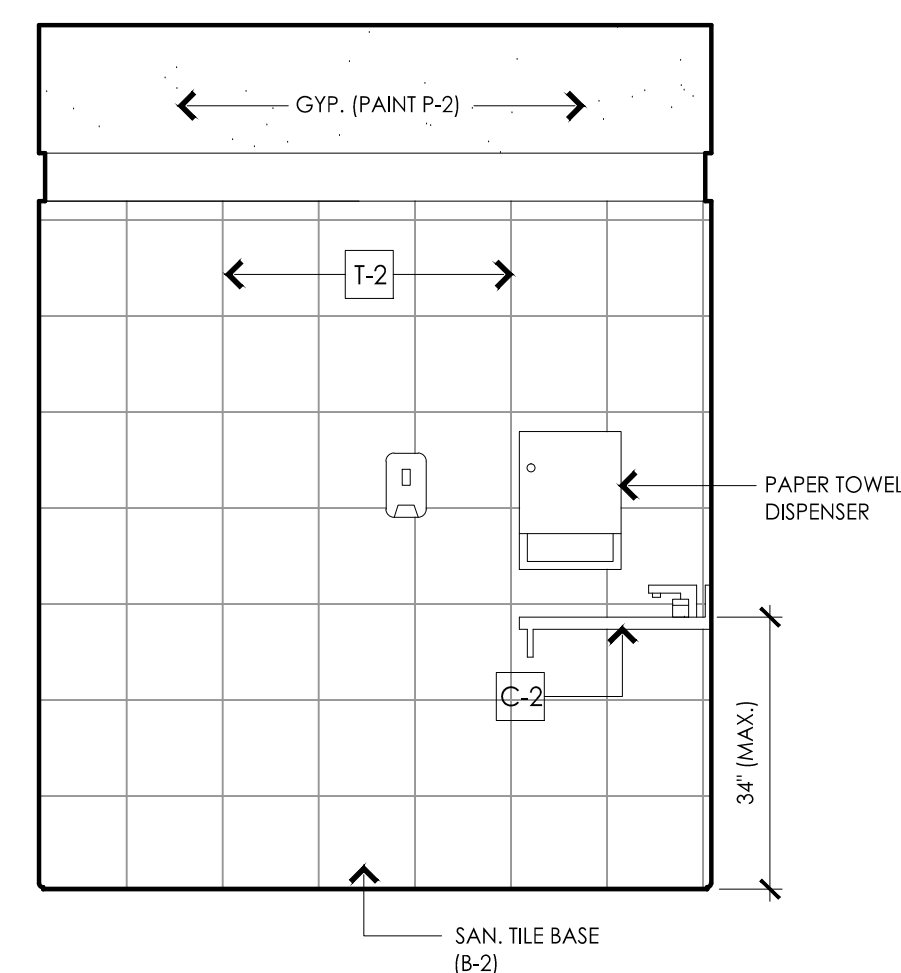
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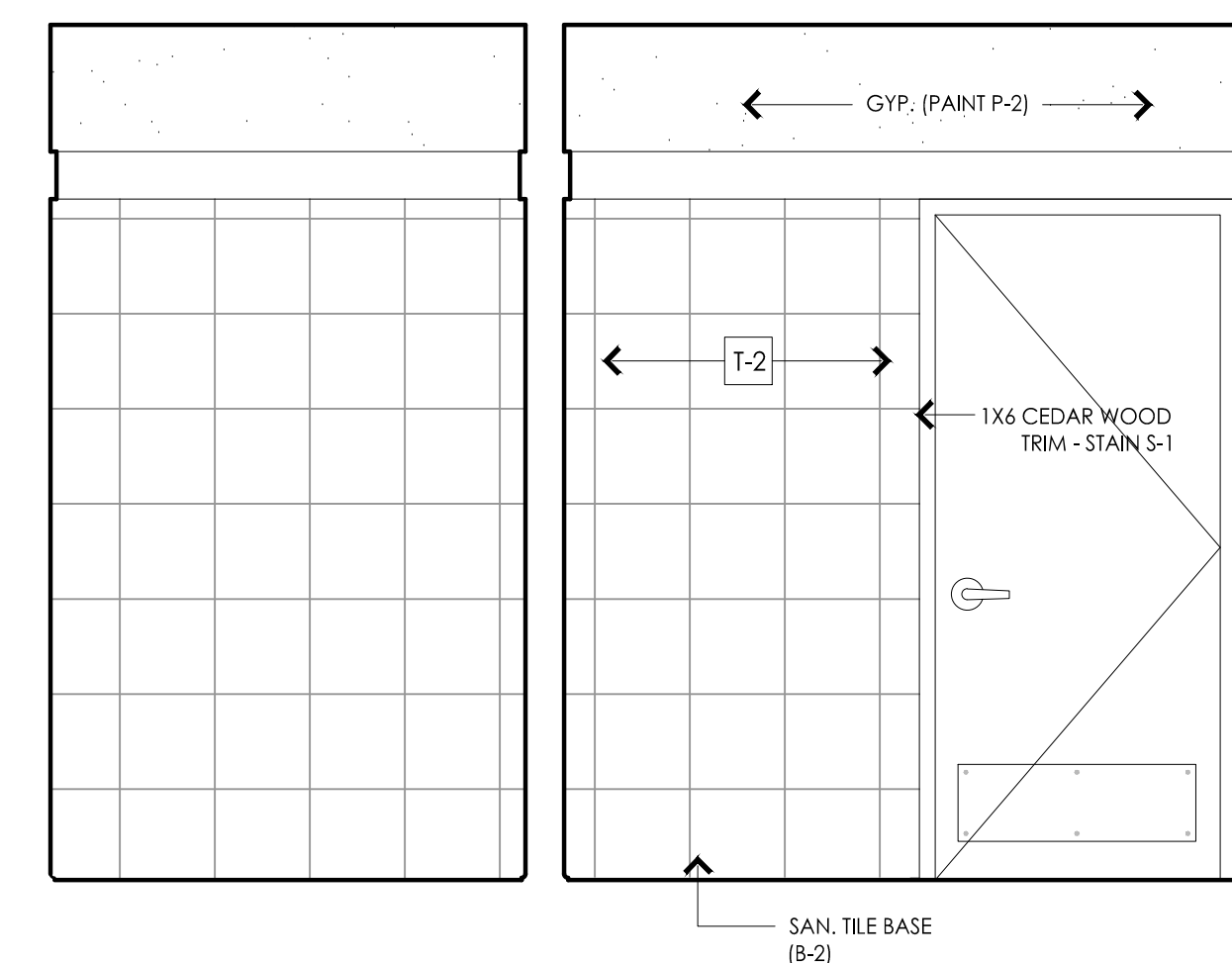
R-9
A.102.1
Interior Elevation



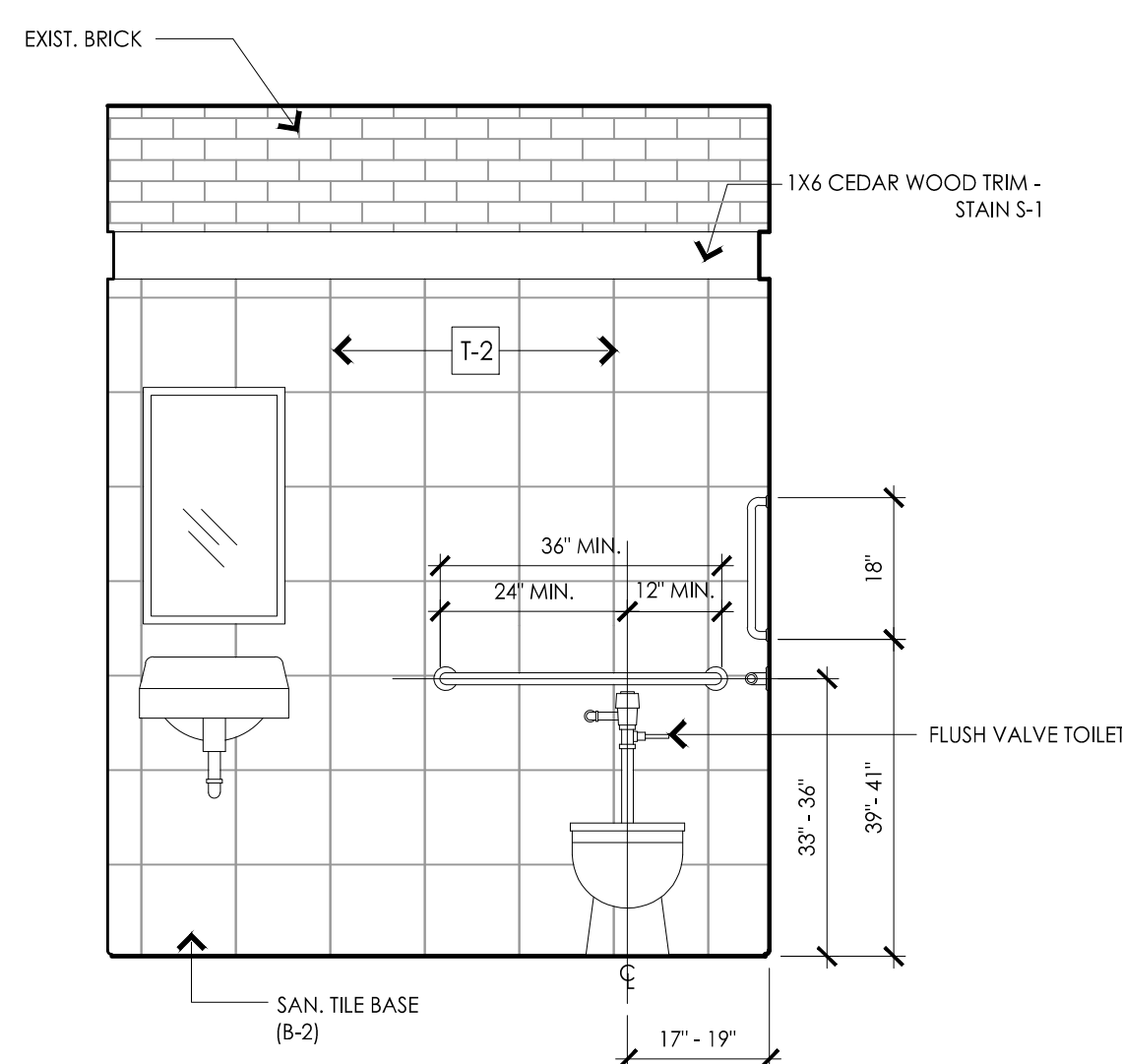
R-10
A.102.1
Interior Elevation



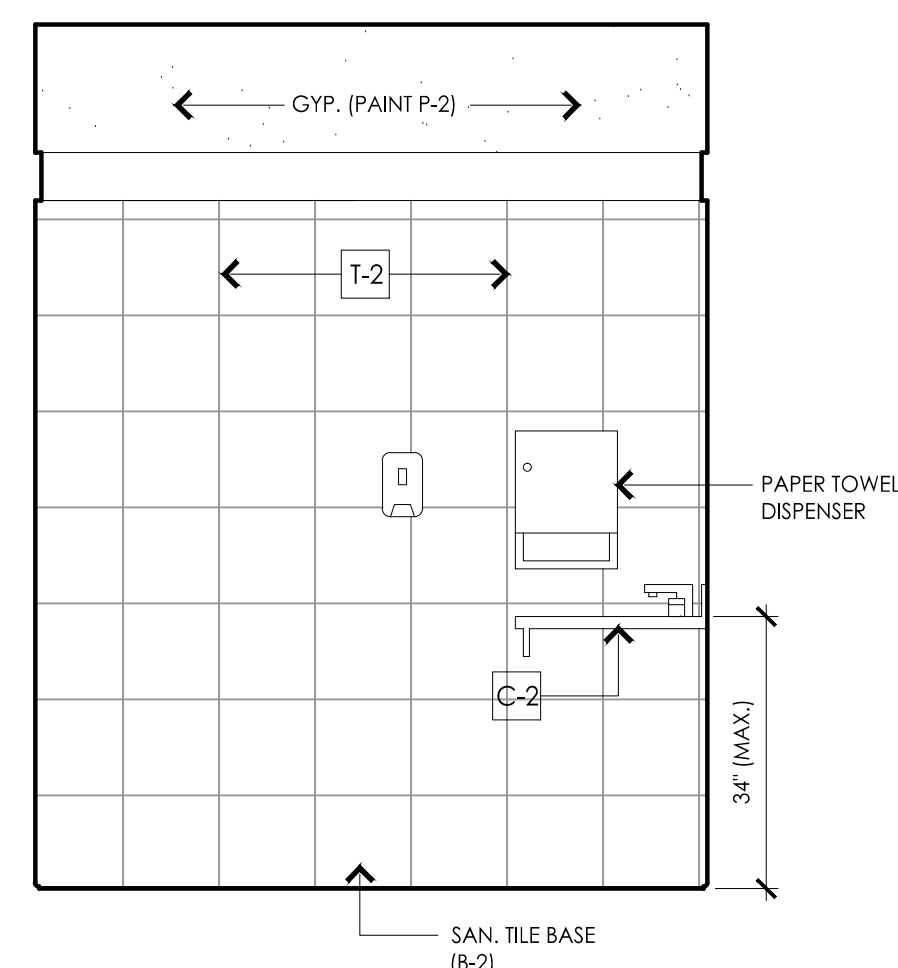
R-11
A.102.1
Interior Elevation



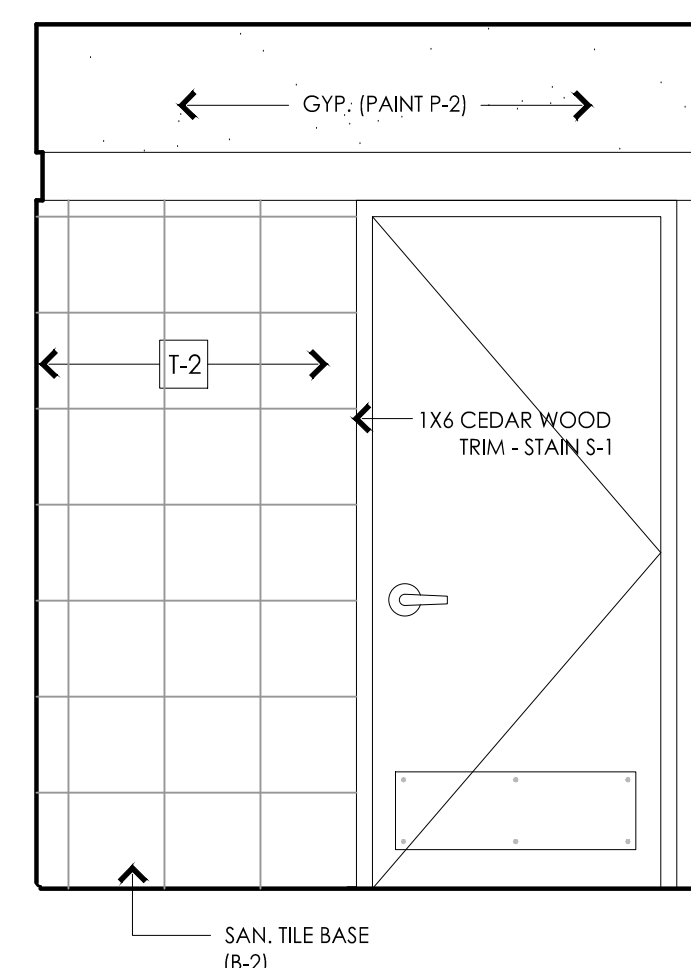
R-12
A.102.1
Interior Elevation



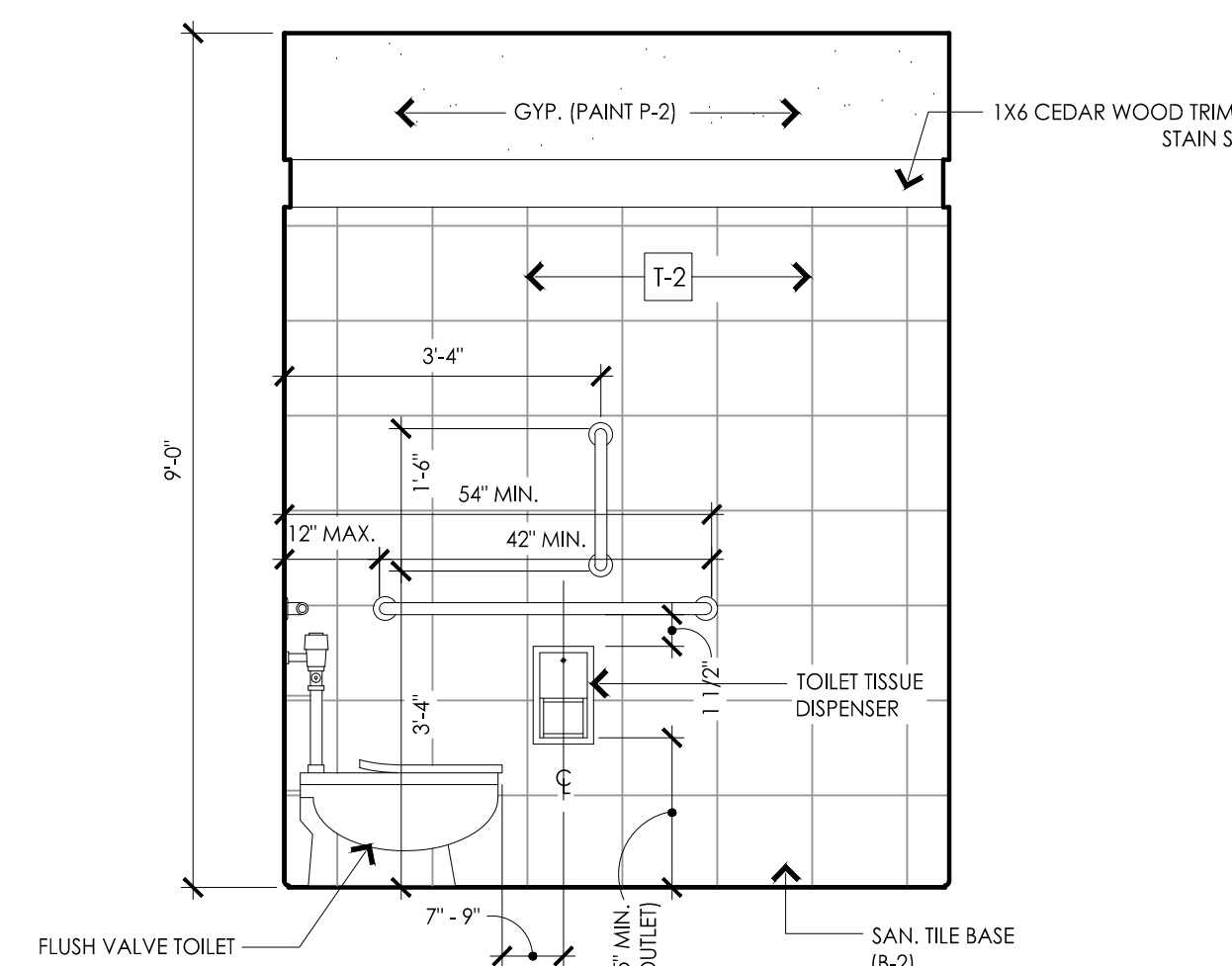
R-13
A.102.1
Interior Elevation



R-14
A.102.1
Interior Elevation



R-15
A.102.1
Interior Elevation



R-16
A.102.1
Interior Elevation

Client:
Lockharts BBQ
37 E. Flint St.
Lake Orion, MI
48362

Project:
Renovation

Issued:
8-15-2014 Bank Review

Seal:

Note:
Do not scale drawings. Use
calculated dimensions only.
Verify existing conditions in field.

North Arrow:

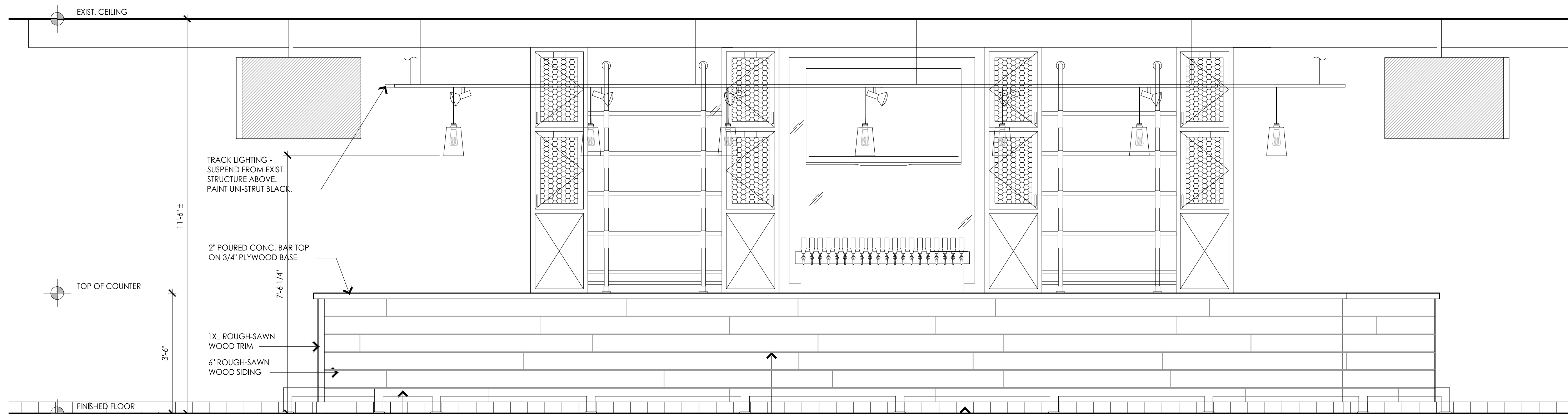
Sheet Title:
Bar Elevations

Scale:
1/2" = 1'-0"

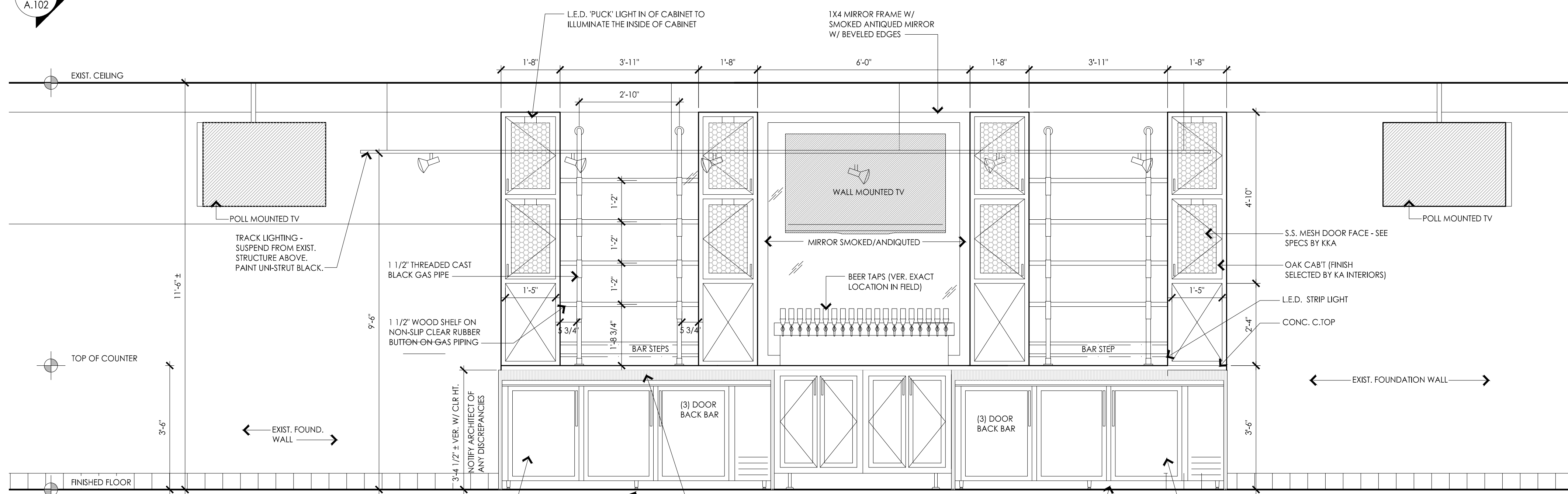
Project Number:
14-051

Sheet Number:

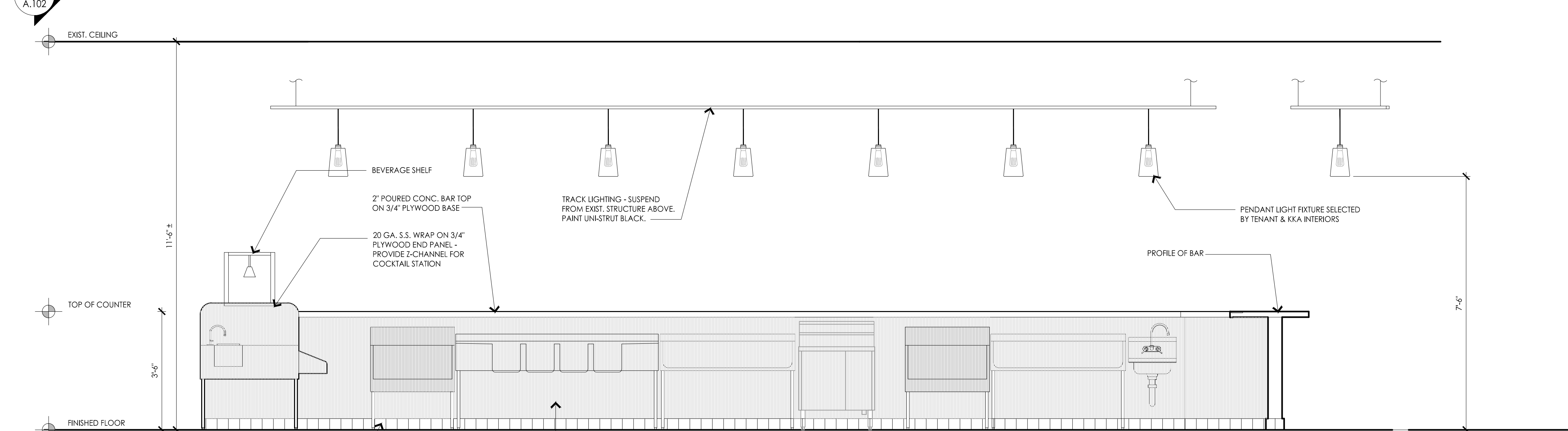
A.508



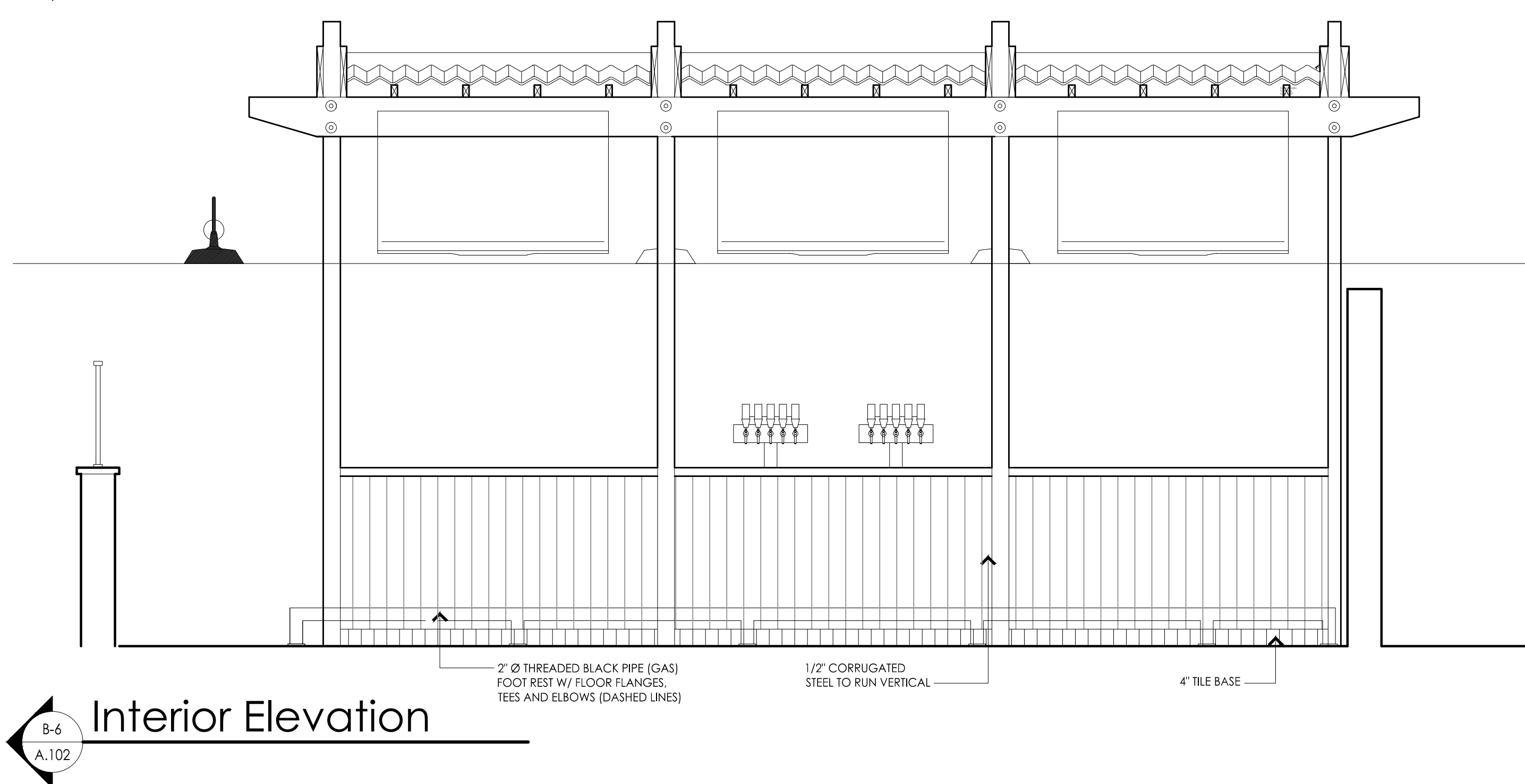
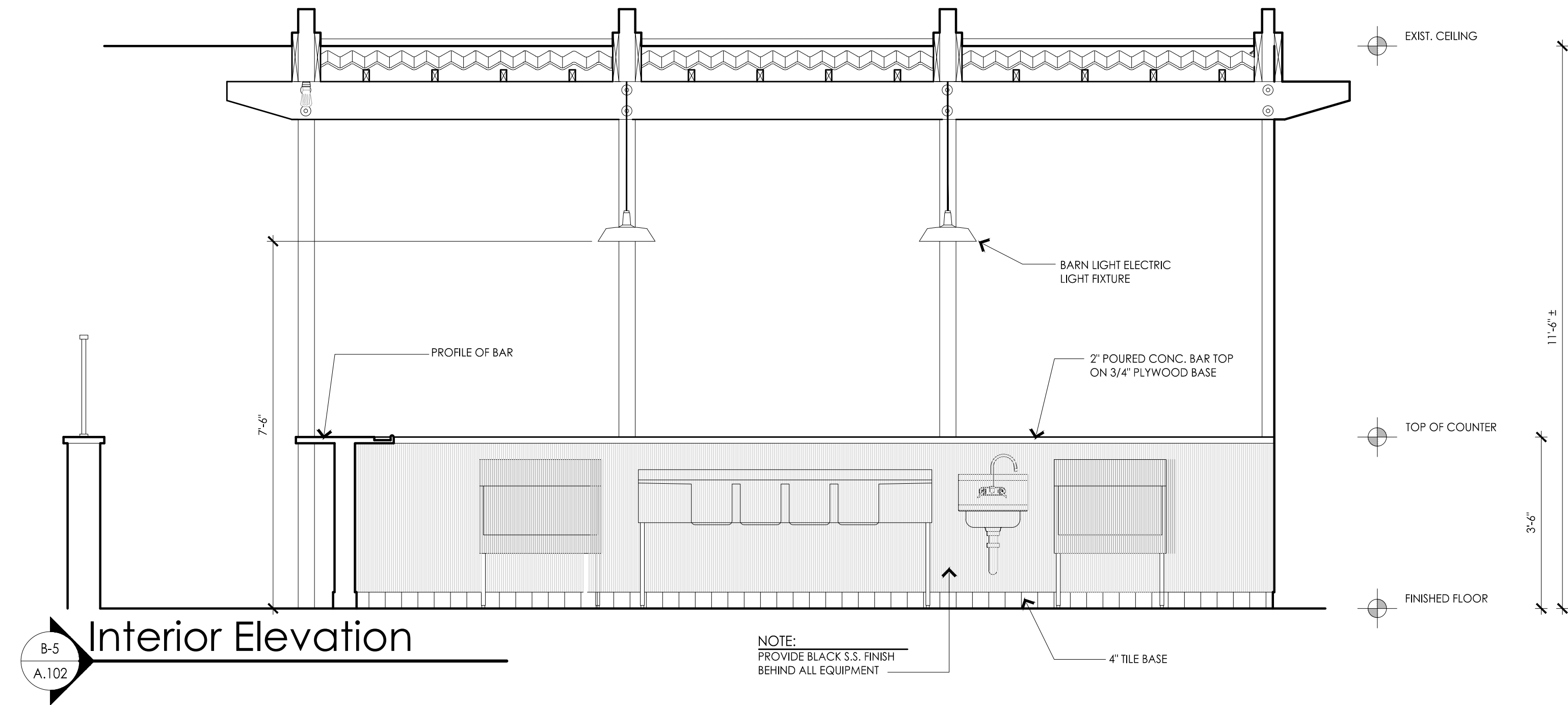
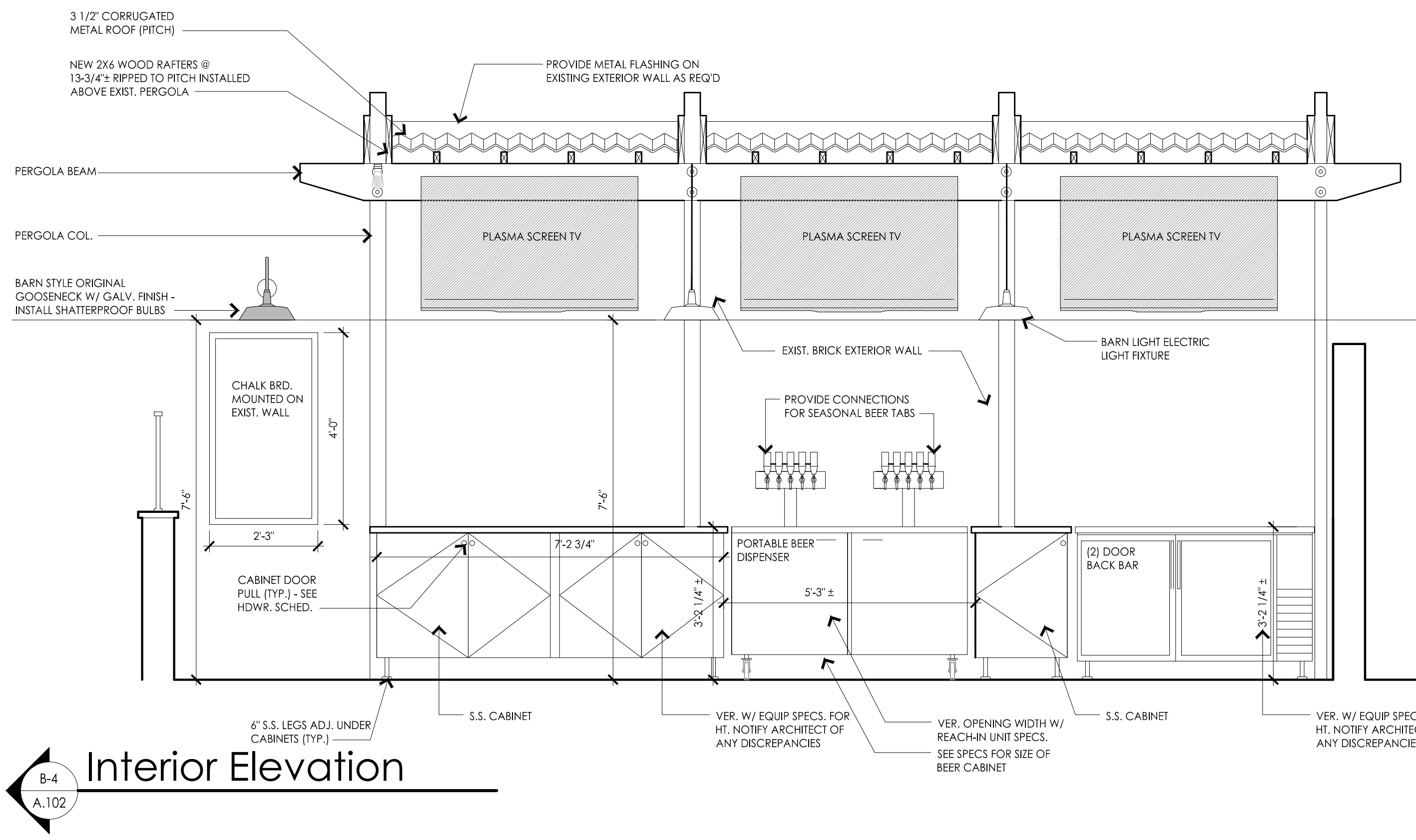
Interior Elevation



Interior Elevation



Interior Elevation



Client: **Lockharts BBQ**
37 E. Flint St.
Lake Orion, MI 48362

Project: **Renovation**

Issued: **8-15-2014 Bank Review**

Seal:

Note: **Do not scale drawings. Use calculated dimensions only. Verify existing conditions in field.**

North Arrow:

Sheet Title: **Bar Elevations**

Scale: **1/2" = 1'-0"**

Project Number: **14-051**

Sheet Number:

A.509

Client:
Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

Project:
Renovation

Issued:
 8-15-2014 Bank Review

Seal:

Note:
 Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in field.

North Arrow:

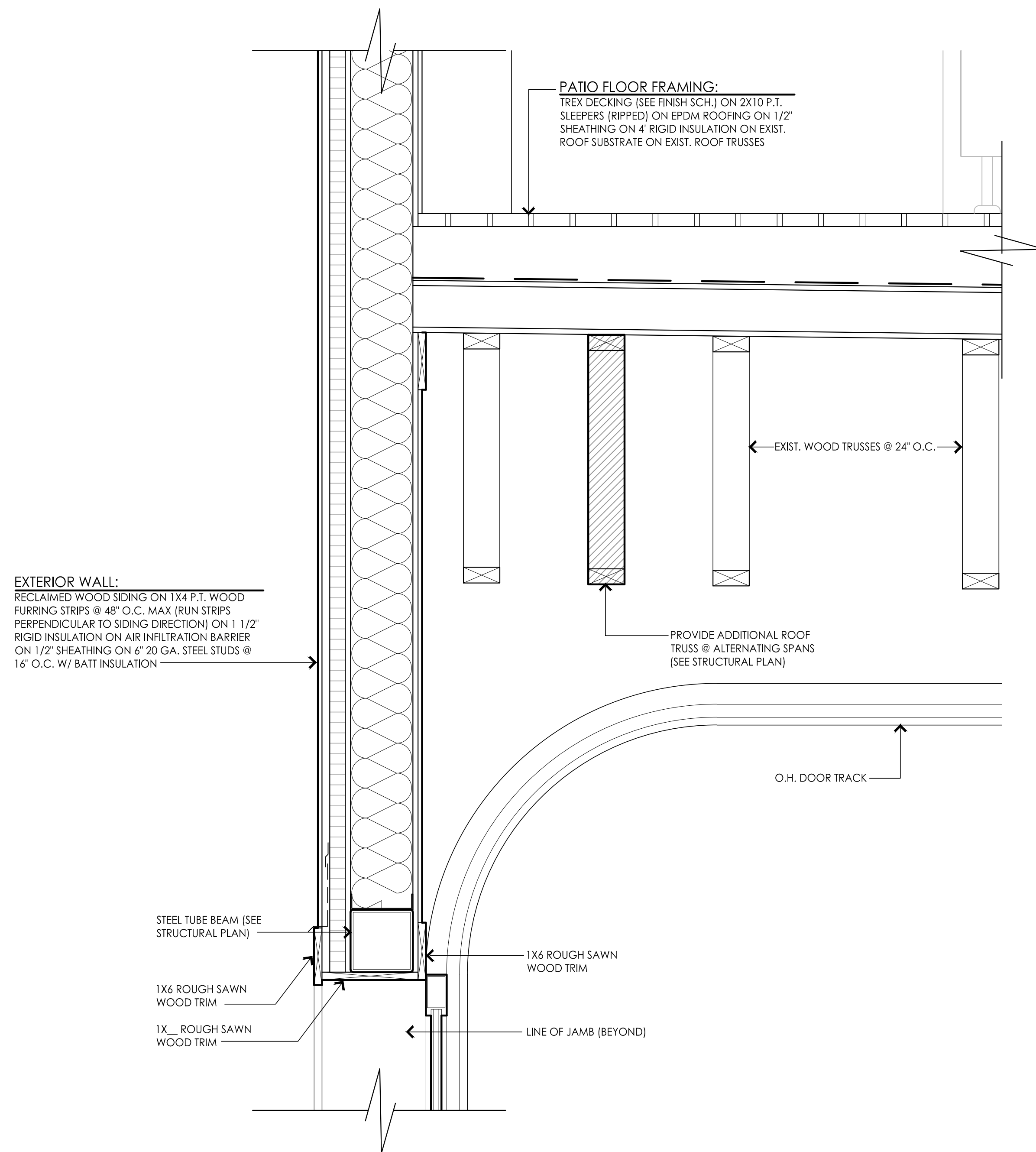
Sheet Title:
Building Details

Scale:
 As Noted

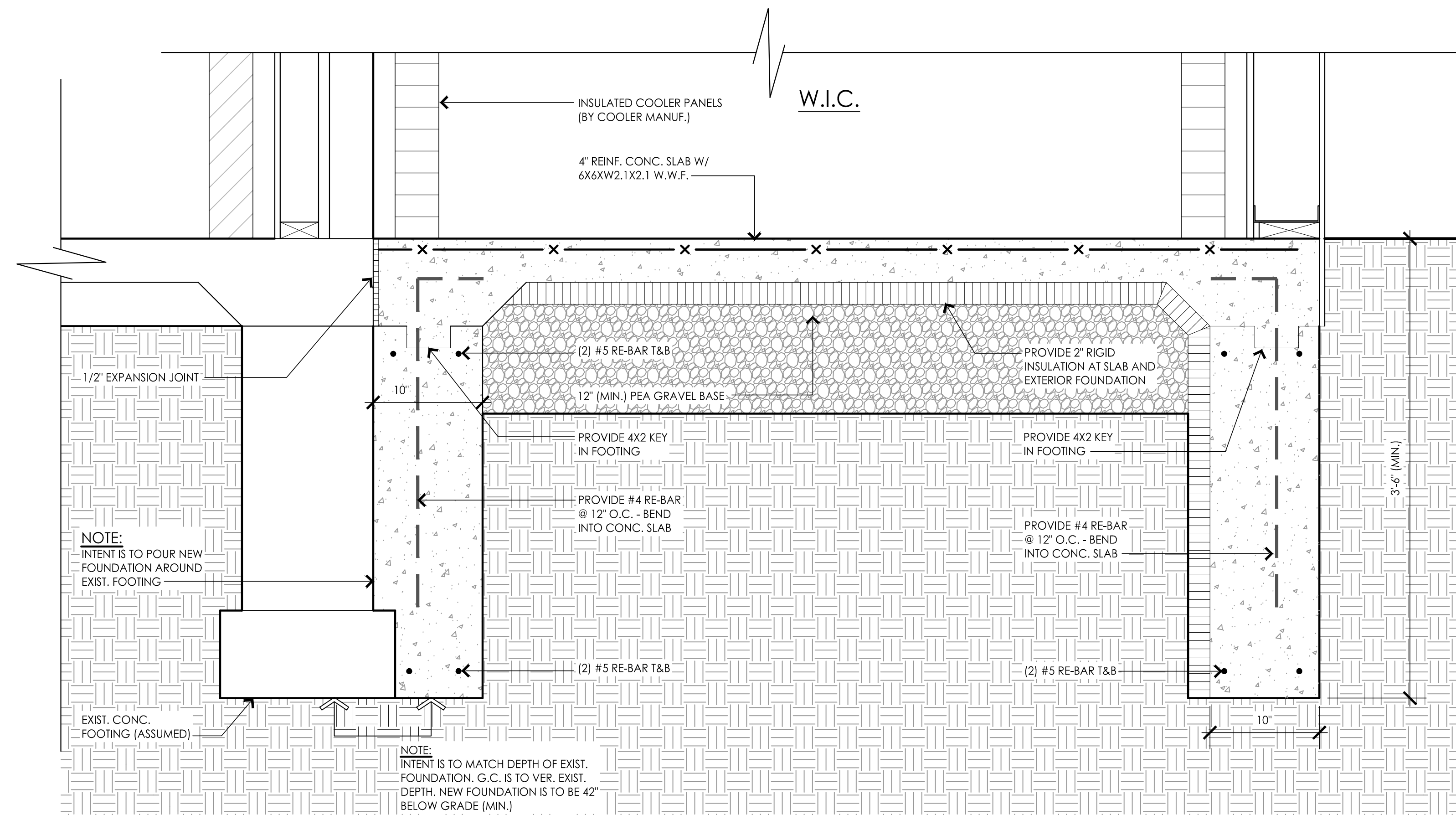
Project Number:
 14-051

Sheet Number:

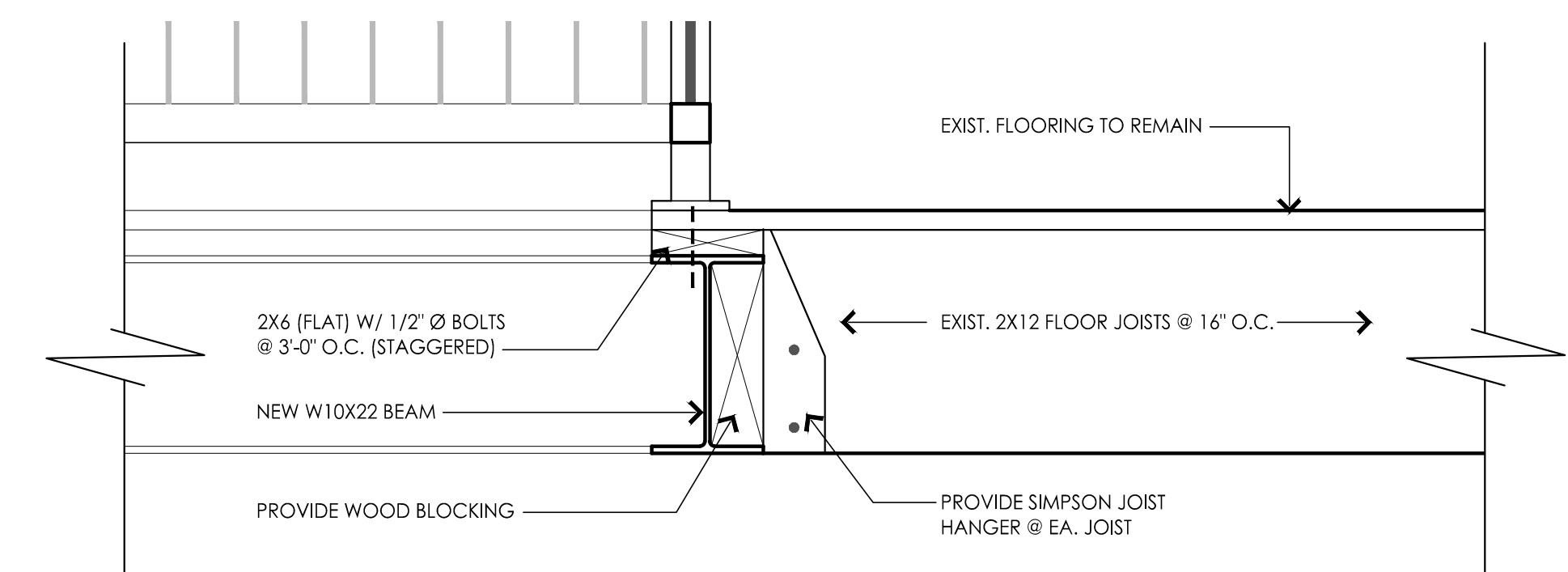
A.600



1
 A.400 **O.H. Door Head Detail**
 Scale: 1 1/2" = 1'-0"



2
 A.400 **Detail @ W.I.C. Slab**
 Scale: 1 1/2" = 1'-0"



3
 A.401 **Detail @ W.F. Connection**
 Scale: 1 1/2" = 1'-0"

Client: Lockharts BBQ
 37 E. Flint St.
 Lake Orion, MI
 48362

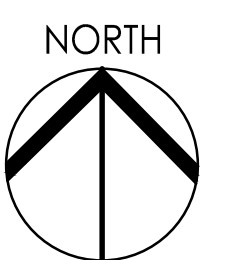
Project: Renovation

Issued: 8-15-2014 Bank Review

Seal: _____

Note: _____
 Do not scale drawings. Use
 calculated dimensions only.
 Verify existing conditions in field.

North Arrow: _____



Sheet Title: First Floor Structural Plan

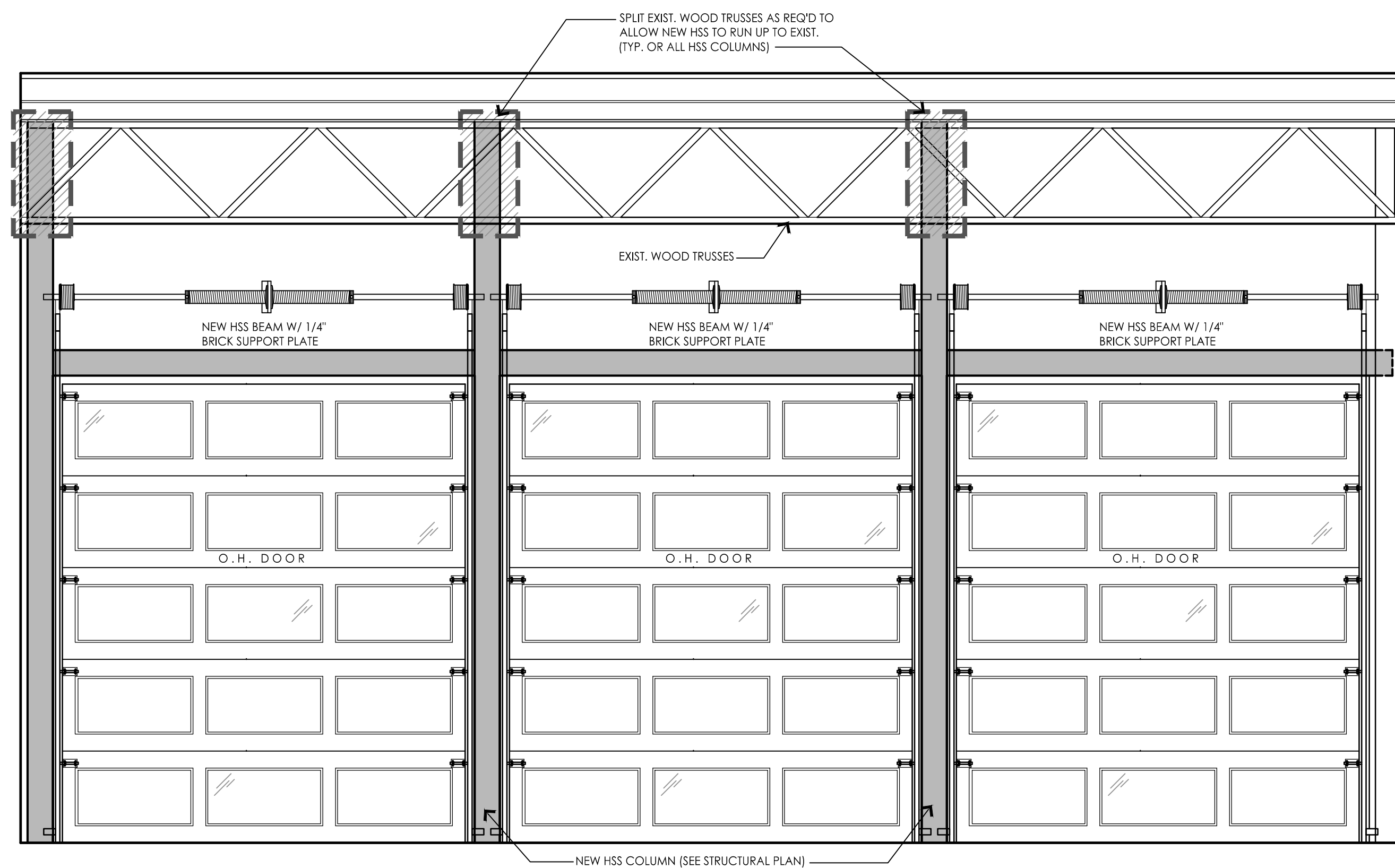
Scale: As Noted

Project Number: 14-051

Sheet Number: _____

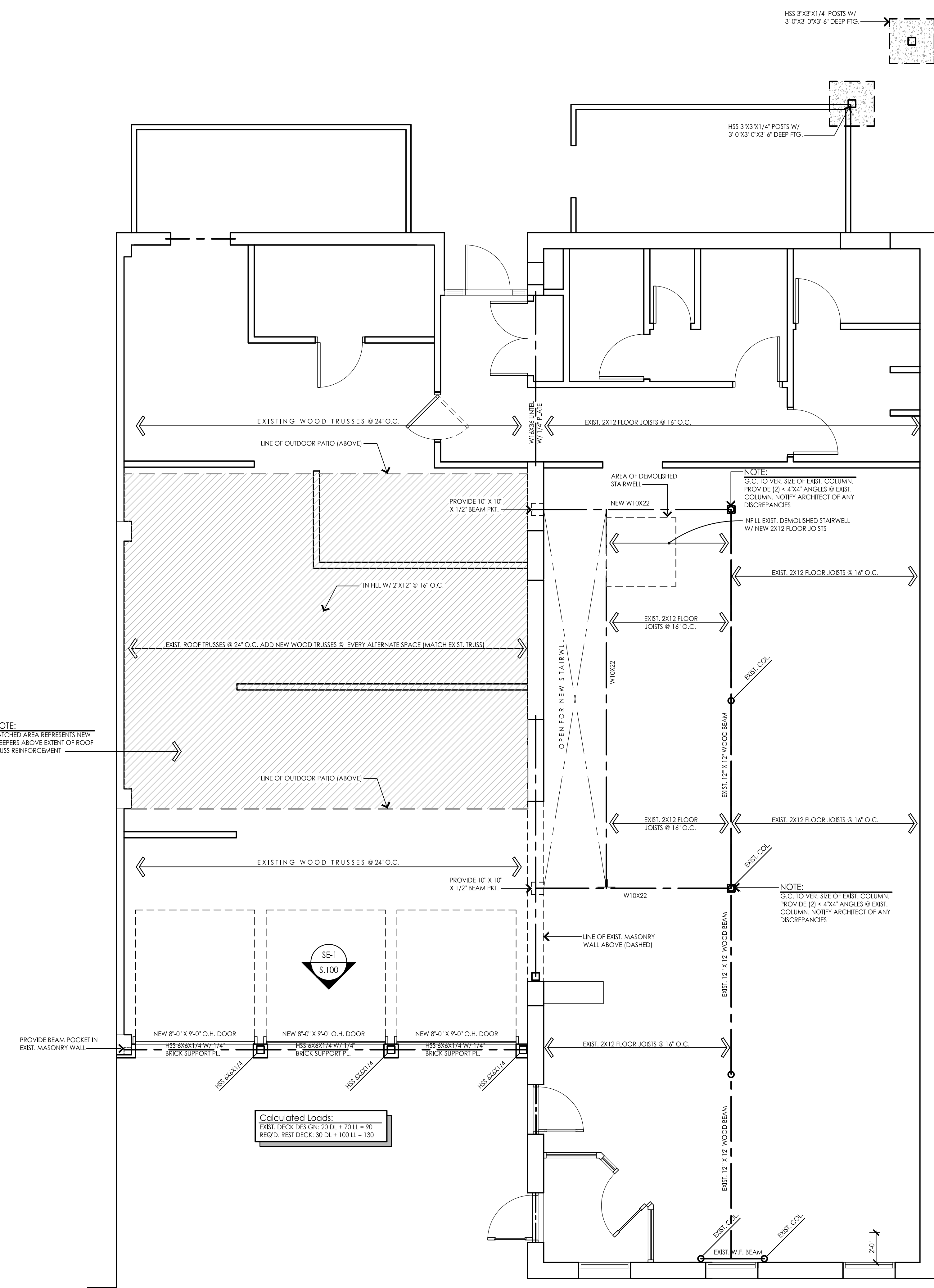
S.100

Structural Legend	
+++++	BEARING WALL INDICATES LOAD BRG. WALL (2X6 AS NOTED ON PLAN)
□	INDICATES POINT LOAD: NO. OF STUDS REFERS TO JACK STUDS. PROVIDE (1) KING STUD FULL HGT. EACH SIDE U.N.O.
○	PIPE COL. - SIZE AS NOTED ON PLAN
—	L.V.L. OR LUMBER HEADER
- - -	STEEL BEAM



Elevation of O.H. Door Wall
 Scale: 1/4" = 1'-0"

NOTE:
 HATCHED AREA REPRESENTS NEW
 SLEEPERS ABOVE EXTENT OF ROOF
 TRUSS REINFORCEMENT



First Floor Structural Plan
 Scale: 1/4" = 1'-0"



BOARD ACTION SUMMARY SHEET

MEETING DATE: June 5, 2025

TOPIC Monthly Planning & Zoning Report

BACKGROUND BRIEF:

McKenna has provided a report of the previous month(s) planning and activities within the Village.

RECOMMENDED MOTION: To receive and file the May 2025 Monthly Planning and Zoning Report.

ATTACHMENTS:

To be distributed following Planning Commission review