



Town of Lake Park, Florida
Special Call Joint Planning and Zoning Board Meeting
with North Palm Beach Agenda

Monday, September 22, 2025 at 6:30 PM

535 Park Avenue Lake Park, Florida

Richard Ahrens	—	Chair
Jon Buechele	—	Vice Chair
Evelyn Harris Clark	—	Regular Member
Karen Lau	—	Regular Member
Patricia Leduc	—	Regular Member

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Planning & Zoning Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CIVILITY AND DECORUM

The Town of Lake Park is committed to civility and decorum to be applied and observed by its elected officials, advisory board members, employees and members of the public who attend Town meetings. The following rules are hereby established to govern the decorum to be observed by all persons attending public meetings of the Commission and its advisory boards:

- Those persons addressing the Commission or its advisory boards who wish to speak shall first be recognized by the presiding officer. No person shall interrupt a speaker once the speaker has been recognized by the presiding officer. Those persons addressing the Commission or its advisory boards shall be respectful and shall obey all directions from the presiding officer.
 - Public comment shall be addressed to the Commission or its advisory board and not to the audience or to any individual member on the dais.
 - Displays of disorderly conduct or personal derogatory or slanderous attacks of anyone in the assembly is discouraged. Any individual who does so may be removed from the meeting.
 - Unauthorized remarks from the audience, stomping of feet, clapping, whistles, yells or any other type of demonstrations are discouraged.
 - A member of the public who engages in debate with an individual member of the Commission or an advisory board is discouraged. Those individuals who do so may be removed from the meeting.
 - All cell phones and/or other electronic devices shall be turned off or silenced prior to the start of the public meeting. An individual who fails to do so may be removed from the meeting.
-

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Town of Lake Park Planning and Zoning Board

Richard Ahrens, Chair

Jon Buechele, Vice-Chair

Karen Lau, Board Member

Patricia Leduc, Board Member

Evelyn Harris Clark, Board Member

Village of North Palm Beach Planning, Zoning and Adjustment Board

Donald Solodar, Chair

Jonathan Haigh, Vice-Chair

Thomas Hogarth, Member

Scott Hicks, Member

Cory Cross, Member

Claudia Visconti, Member

Mark Michels, Member

APPROVAL OF AGENDA:

APPROVAL OF MINUTES:

1. Minutes of the August 4, 2025 Planning & Zoning Board Meeting

PUBLIC COMMENTS ON AGENDA ITEMS:

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located on either side of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

ORDER OF BUSINESS:

The normal order of business for Hearings on agenda items as follows:

-Staff Presentation

-Applicant Presentation (when applicable)

-Board Member questions of Staff and Applicant

- Public Comments -3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on the floor
- Vote of Board

NEW BUSINESS:

2. Northlake Promenade Outparcel

PLANNING & ZONING BOARD MEMBER COMMENTS:

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS AND PROJECT UPDATES:

ADJOURNMENT:

FUTURE MEETING DATE: The next regularly scheduled Planning & Zoning Board Meeting will be held October 6, 2025 6:30pm.



Town of Lake Park, Florida

Planning and Zoning Board Meeting Minutes

Monday, August 04, 2025 at 6:30 PM

535 Park Avenue Lake Park, Florida

Richard Ahrens	—	Chair
Jon Buechele	—	Vice Chair
Evelyn Harris Clark	—	Regular Member
Karen Lau	—	Regular Member
Patricia Leduc	—	Regular Member

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Planning & Zoning Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

6:30 p.m

PRESENT

Richard Ahrens

Jon Buechele

Evelyn Harris Clark

Patricia Leduc

Karen Lau

PLEDGE OF ALLEGIANCE

The Pledge of Allegiance was led by Chair Ahrens

APPROVAL OF AGENDA:

Motion to approve agenda made by Vice Chair Buechele, Seconded by Board Member Leduc.

Voting Yea: All.

APPROVAL OF MINUTES: NONE

PUBLIC COMMENTS ON AGENDA ITEMS:

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located on either side of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

NONE

ORDER OF BUSINESS:

The normal order of business for Hearings on agenda items as follows:

- Staff Presentation
- Applicant Presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments -3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on the floor
- Vote of Board

NEW BUSINESS:

1. 1220 10th Street Site Plan Amendment and Special Exception Application

Town Planner Anders Viane presented to the Board (Exhibit A).

Board Member Lau stated she was very impressed with the project and feels that it will be an enhancement for the community.

2GHO representative, Mr. George Gentile presented to the Board (Exhibit B). Board Member Harris Clark asked if the car collection was in the center building. Mr. Gentile confirmed that to be correct. She also asked about philanthropic activities of the company and parking spaces allotted. Mr. Gentile stated that there are parking spaces on site for various activities. Chair Ahrens thanked Mr. Gentile for the property improvements. Board Member Lau asked about Fire Department inspections and all of the hazards in regards to painting have been addressed. Mr. Gentile confirmed this to be correct. Board Member Harris Clark asked if the vehicles on site will be restored. Mr. Gentile confirmed that yes, if there are vehicles that need restoration, they will do that but not all vehicles that come into the facility will need restoration. Chair Ahrens stated for the record that the Fire Department does inspections twice per year so if there were any issues, the Town would be notified immediately. Board Member Leduc asked about

the conditions being solely conveyed to the owner. Community Development Director Nadia DiTommaso that the use will attach to the current ownership and a future owner would have to come to the Board for approvals.

There were no public comments on this item.

Motion to approve the site plan amendment and special exception application made by Vice Chair Buechele, Seconded by Board Member Harris Clark.

Voting Yea: All.

PLANNING & ZONING BOARD MEMBER COMMENTS: NONE

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS AND PROJECT UPDATES:

Community Development Director DiTommaso advised the Board about 754 Park Avenue, which is moving forward with exterior improvements. She mentioned some other projects in town that are progressing with construction such as Nautilus 220, Clean Sweep and Avalon Bay which has started construction and anticipates completion by spring of 2027. Chair Ahrens asked what happened with the project on 10th Street north of Park Avenue. Community Development Director DiTommaso stated that the project is held up and there have been no submittals received for that project.

ADJOURNMENT:

Meeting adjourned 7:03 pm

FUTURE MEETING DATE: Special Call Meeting September 22, 2025.

_____, Chair

Town of Lake Park Planning & Zoning Board

Town Clerk, Vivian Mendez, MMC

Town Seal

Approved on this _____ of _____, _____



Exhibit A

Item 1.

**TOWN LAKE OF PARK
PLANNING & ZONING BOARD
STAFF REPORT
MEETING DATE: August 4, 2025
PZ-25-02**

APPLICATION: 1220 10th Street Site Plan Amendment and Special Exception

SUMMARY OF APPLICANT’S REQUEST: 2GHO, INC (“Agent”) on behalf of JS 1220 10th Street, LLC (“Property Owner” and “Applicant”) is requesting site plan and special exception approval for two one-story storage warehouse buildings totaling 8,952 SF. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-2 District.

The Subject Property is located west of 10th Street and south of Northern Drive in the Town of Lake Park. It is comprised of the following parcel, which totals 2.77 acres:

Parcel 1 – PCN: 36434220011230030

BACKGROUND:

Owner & Applicant(s):	JS 1220 10th Street LLC
Agent and Consultant:	2GHO Inc
Location:	Parcel 1 – PCN: 36434220011230030
Net Acreage (total):	2.77 acres
Legal Description:	See survey enclosed in packet.
Existing Zoning:	C-2 Business District
Future Land Use:	Commercial

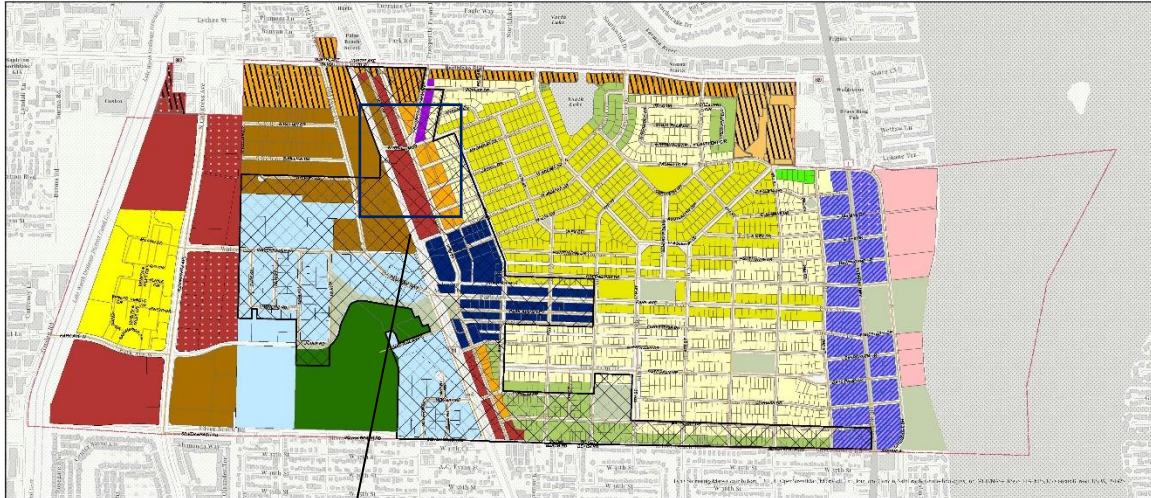
Figure 1: Aerial View of Site (image not to scale; for visual purposes only)



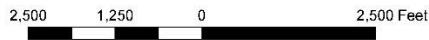
LAKE PARK ZONING MAP



Town of Lake Park Zoning Map

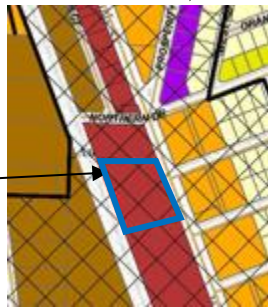


Community Development Department
 Town of Lake Park
 535 Park Avenue, Lake Park FL 33403
 Anders Vene - Planner
 561-881-3320 (ext 320)
 avene@lakeparkflorida.gov
 Nadia DiTommaso - Director
 561-881-3319
 ndtommaso@lake



Date: 6/14/24

Subject Site



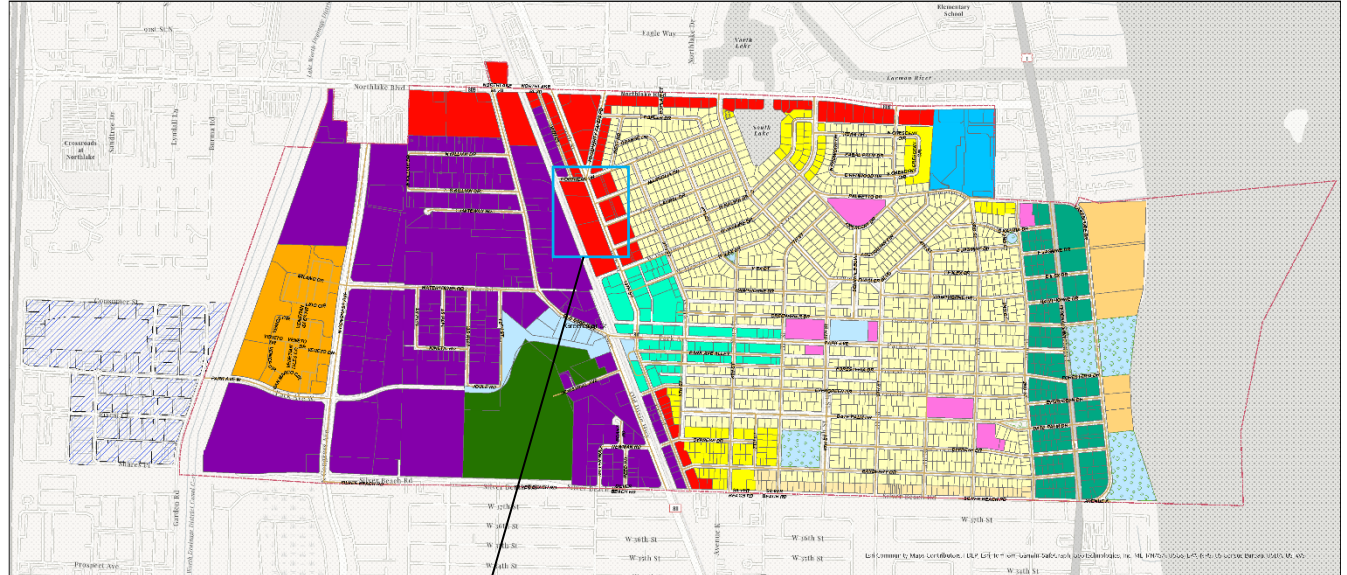
Adjacent Zoning:

North: C-2 Business District
 South: C-2 Business District
 East: C-1 Business District
 West: C-4 Business District

LAKE PARK FUTURE LAND USE MAP



Town of Lake Park Future Land Use Map 2017-2027



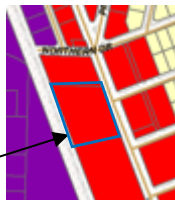
Community Development Department
Town of Lake Park
535 Park Avenue, Lake Park FL 33403
Anders Viane - Planner
561-881-3320 (ext 320)
aviane@lakeparkflorida.gov
Nadia DiTommasso - Director
561-881-3319
nditommasso@lakeparkflorida.gov

2,500 1,250 0 2,500 Feet



Date: 6/14/24

Subject
Site



Adjacent Existing Land Use:

North: Commercial
South: Commercial
East: Commercial
West: Mixed Commercial and Light Industrial

PART I: SITE PLAN APPLICATION

The 1220 10th Street site plan application has been reviewed by the Town's consulting Engineers, Landscape Architect, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff's Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, and the Lake Park Community Development Department. Based on these reviews, the project substantially complies with our Land Development Regulations and Comprehensive Plan.

****This project has been noticed by certified mail to property owners within 300 feet and advertised in the Palm Beach Post 7/25/25 ****

SITE PLAN PROJECT DETAILS

Comprehensive Plan: The proposal is consistent with the goals, objectives and policies of the Town's Comprehensive Plan, including:

- ➔ **3.4.2 Objectives and Policies, Policy 1.5:** *The Town shall encourage development and redevelopment activities which will substantially increase the tax base while minimizing negative impacts on natural and historic resources, existing neighborhoods and development and adopted Levels of Service (LOS) standards.*
- ➔ **Future Land Use (FLU) Classification System 3.4.3:** *Lands and structures devoted primarily to the delivery, sale or otherwise transfer of goods or services on a retail basis, with a maximum F.A.R. of 2.0. This category also includes personal and professional services. Public schools are a permitted use within this land use designation.*
- ➔ **Future Land Use Element, Policy 5.2:** *The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.*

Zoning: The proposed project is generally consistent with the requirements of the C-2 Business District, including the special exception use of storage warehouse, building height, minimum required open space, and building site area. The project also substantially complies with the supplemental regulations of the general code, which will be further discussed as applicable in the sections below.

As it pertains to the special exception request, these are evaluated using the criteria of 78-184 (b). The evaluation criteria are identified below along with the applicant's responses.

(1) The proposed special exception use is consistent with the goals, objectives, and policies of the town's comprehensive plan.

Applicant Response: *The proposed uses are directly aligned with the Future Land Use description of commercial, as this use will allow for the delivery, and/or transfer of classic cars. Additional storage warehouse use will not create any inconsistencies with any other elements of the adopted Comprehensive Plan.*

Staff Evaluation: We are in agreement. Relevant comprehensive plan objectives achieved through this redevelopment are as follows:

- 3.4 Goal, Objectives and Policies, Town Goal Statement 3.4.1 (3) - The Town shall maintain and seek opportunities to improve its ability to provide... commercial, industrial and mixed-use development opportunities that will further the achievement of economic development goals.
- 3.4 Goal, Objectives and Policies, 3.4.2. Objectives and Policies, Objective 1, Policy 1.1 j. – encourage redevelopment, renewal or renovation, that maintains or improves existing neighborhoods and commercial areas;
- 3.4 Goal, Objectives and Policies, 3.4.2. Objectives and Policies, Objective 5 – The Town shall promote redevelopment and infill development in a manner that is consistent to existing neighborhoods and uses, the built and natural environments and adjacent jurisdictions.

(2) The proposed special exception is consistent with the land development and zoning regulations and all other portions of this Code.

Applicant Response: *Per Sec. 78-72(2)(n) of the Town's zoning code, storage warehouse use is a permitted use by Special Exception. It is important to note that the project previously received special exception approval for 13,420 sf of storage warehouse, and this request is considered an expansion to the existing special exception use.*

Previously Approved Storage Warehouse: 13,420sf
Proposed Additional Storage Warehouse: 8,952 sf

Total Storage Warehouse: 22,372 sf

With regards to consistency with the Town's code, the proposed site plan makes efficient use of the land with the placement of the proposed storage warehouse buildings in portions of the site that are underutilized. All pertinent development regulations of the C-2 zoning district are provided with the plan.

Staff Evaluation: We are in agreement. The use of storage warehouse has been previously approved for this site under Resolution 40-05-23 back in 2023 and this new special exception request proposes to increase this use. Of note, several conditions were imposed through Resolution 40-05-23, which we are recommending are continued with this new approval. See the proposed condition under the Staff Recommendation portion of this report.

(3) The proposed special exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building location, mass, height and setback; and other relevant factors peculiar to the proposed special exception use and the surrounding property.

Applicant Response: *The subject site is located on a major arterial roadway within the Town of Lake Park. 10th Street is a north/south roadway which traverses through several industrial, and commercial uses within the Town. The expanded storage warehouse use will not create any adverse impacts to the surrounding area.*

Staff Evaluation: We are in agreement. The Town's traffic consultant reviewed the applicant's traffic study and found no significant increase in traffic from the proposal. Building location, height, and setbacks are all code compliant and the applicant has made effort to integrate the architecture of the new buildings with the existing building, creating a uniform and tasteful complex.

(4) The establishment of the proposed special exception use in the identified location does not create a concentration or proliferation of the same or similar type of special exception use, which may be deemed detrimental to the development or redevelopment of the area in which the special exception use is proposed to be developed.

Applicant Response: *The approval additional storage warehouse will not cause a concentration of the same in the area. The proposed improvement seeks to enhance the property, and is designed in a cohesive manner that ties the buildings together.*

Staff Evaluation: We are in agreement. The owner and applicant JS 1220 10th Street LLC will use this new storage warehouse space for Cars of Dreams, an entity that buys and sells classic cars for charitable purposes. There is not a comparable business in Town and the owner has made landscaping and façade improvements along 10th Street that increase the appeal of the corridor by demonstrating attractive investment in Lake Park.

(5) The proposed special exception use does not have a detrimental impact on surrounding properties based on:

- a. The number of persons anticipated to be using, residing, or working on the property as a result of the special exception use;
- b. The degree of noise, odor, visual, or other potential nuisance factors generated by the special exception use; and
- c. The effect on the amount and flow of traffic within the vicinity of the proposed special exception use.

Applicant Response: *The proposed use will not create any traffic impacts, as this use will not be a high trip generator. Please refer to traffic statement which states that the added storage warehouse use has an insignificant impact on the adjacent roadways.*

Staff Evaluation: We are in agreement. As previously noted, our traffic engineer found no significant increase in trips. The use proposed is passive storage, and will not produce any of the nuisances factors described under b.

(6) That the proposed special exception use:

- a. Does not significantly reduce light and air to adjacent properties.
- b. Does not adversely affect property values in adjacent areas.
- c. Would not be a deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations.
- d. Does not negatively impact adjacent natural systems or public facilities, including parks and open spaces.
- e. Provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.

Applicant Response: *The expansion of the previously approved storage warehouse use, makes more efficient use of the site, and will adhere to all development standards ensuring that no adverse impacts are extended to surrounding and adjacent areas. For context; this property is in an established commercial corridor within the Town of Lake Park, and abuts railroad tracks. The proposed request WILL NOT deter any neighboring commercial businesses from redeveloping in the future should the respective owner choose. The additional 8,952 sf of storage warehouse will not impact adjacent natural systems or public*

facilities. Last, there are no changes to proposed public amenity areas for the previous approval, as the site will provide a trash receptacle, and bench.

Staff Evaluation: We find no evidence to suggest the expansion of warehouse storage space for 1220 10th Street will adversely impact light, air flow, property values, redevelopment, natural resources or public facilities. Furthermore, the applicant has previously provided pedestrian amenity improvements in accordance with criteria e. and we consider this condition satisfied.

Architecture: The proposal meets the standards set forth under 78-330 for building articulation, façade paint colors, material variation, and decorative features. Additionally, for buildings within multi-unit complexes, there are architectural consistency requirements. Applicants are required to create architectural harmony and consistency between their building and existing buildings. To satisfy this requirement, the applicant has replicated the design vernacular from the main building on the two new buildings. They are also proposing to repaint the main building with the same colors as the new outbuildings.

Building Site: The total impervious area for the project is 77,109 SF and the pervious area is 42,161 SF, or 35% of the total site. The development proposal consists two 4,476 SF buildings totaling 8,852 SF; this is in addition to the existing 13,420 SF of warehouse space for a new total warehousing area of 22,372 SF.

Site Access and Roadways: This site has two driveway entrances and exits along 10th Street. As previously noted, the proposed addition of storage space is not anticipated to increase traffic demand. The traffic engineer notes an addition of two peak hour trips.

Traffic Concurrency: The applicant has provided Palm Beach County Traffic Performance Standards (TPS) approval in connection with their project. Palm Beach County Traffic recommended approval July 15, 2024.

Landscaping: The proposed landscaping plans have been deemed code compliant by the Town's consulting Landscape Architect (JMorton) as of 7/21/25.

Paving, Grading and Drainage: The Town's consulting Engineers, Engenuity Group, reviewed and approved the civil plans for this proposal on 1/24/25.

Parking and Loading: The applicant's addition of warehouse space has not brought parking on site below the required minimum. At 22,372 SF of warehousing space, 11 spaces are required plus another 10 for employees at maximum shift for a total of 21.

Additionally, 13 were required for the existing motor vehicle sale use, which are not being impacted. The total required spaces are 34 and the applicant is providing 38. The previously-approved loading zone remains adequate for the expanded uses.

Water/Sewer: Seacoast Utility Authority reviewed these plans for compliance with their best practices and issued their approval 7/15/25.

Fire: PBC Fire Rescue reviewed the site plan and found it to be in compliance with PBC Fire Rescue best practices on 7/14/25. An additional round of fire review will be conducted during the building permit phase, which is standard procedure.

PBSO: The Crime Prevention Through Environmental Design (CPTED) review was performed by Sgt. Adam Pozsonyi at the Palm Beach County Sheriff's Office and the proposal was found to be compliant with best-practice principles for CPTED on 7/25/25. A high-definition security camera surveillance condition of approval is being recommended, which is a standard condition of approval. Additionally, he suggests that a landscape maintenance plan is created to avoid future conflict with lighting levels and anti-lodging benches be considered to deter abnormal use.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan and Special Exception for 1220 10th Street. In addition to all standard conditions, the following unique condition of approval is being added:

1. All conditions from development order 40-05-23 shall remain in force. This storage warehouse use shall be only for the property owner for the storage of his personal car collection and accessories. This special exception use approval for 8,592 SF of additional storage warehouse space is conferred solely to the property owner JS 1220 10th Street LLC and shall terminate upon the discontinuation of the use or the conveyance of the property to another owner or tenant.

1220 10th Street



Site Plan Amendment – Special Exception
Town of Lake Park

Request

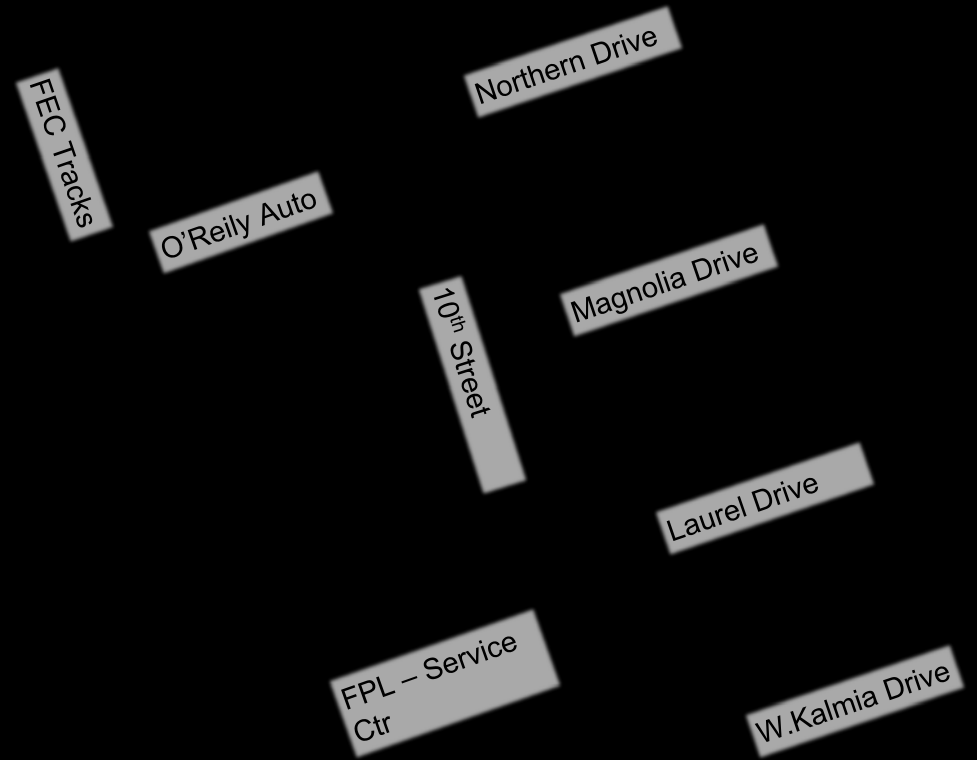
Item 1.

- ❖ Site Plan Amendment and Special Exception to add two storage warehouse buildings;
- ❖ Property is approximately 2.74 acres; contains an existing building with motor vehicle sales and storage warehouse use;
- ❖ Increased storage warehouse is needed due to maximize operational efficiency;

Project Location

Item 1.

- ❖ Located on 10th Street within a commercial corridor;
- ❖ Bounded by Commercial zoning districts on North, South, and East;
- ❖ FEC tracks to the immediate west



1220 10th Street

Property History

Item 1.

- ❖ Site Developed in 1967;
- ❖ Building has housed several uses including a grocery store, business offices, and beauty school;
- ❖ 2023 – Town Commission approved Site plan and special exception for motor vehicle sales and storage warehouse

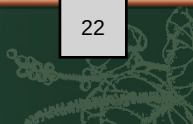
Scope of Proposed Improvements

Item 1.

- ❖ Two additional storage warehouses to support facility operations at 4,476 sf each;
- ❖ Structures will be concrete block base, and facades will be consistent with the existing structure

Proposed Site Plan

Item 1.



Previous Approval vs Proposed Request

Item 1.

Previously Approved Square footages - 2023

USE	SQUARE FOOTAGE
Motor Vehicle Sales	6,632 SF
Storage Warehouse	13,420 SF
TOTAL	20,052 SF

Proposed Square Footages - 2025

USE	SQUARE FOOTAGE
Motor Vehicle Sales (prev. approved)	6,632 SF
Storage Warehouse (prev. approved)	13,420 SF
Additional Storage Warehouse (proposed)	8,952 SF
TOTAL	29,004 SF

Site Data

Item 1.

Property Size: 2.74 ac;

- ❖ Land Use – Commercial
- ❖ Zoning – C2; Community Commercial

Total Existing Building Area: 20,052 sf

Proposed Building Area: 29,004 sf

Landscape Open Space: 35%

Parking:

34 spaces required

38 spaces provided



- ❖ Architecture of additional storage warehouse structures will be mirrored on the site, and colors will be consistent with the principal structure;
- ❖ Principal structure is also being repainted to be consistent with approved building permit

Item 1.



Proposed Architecture*

Item 1.



Building #1 South Elevation



Building #1 North Elevation

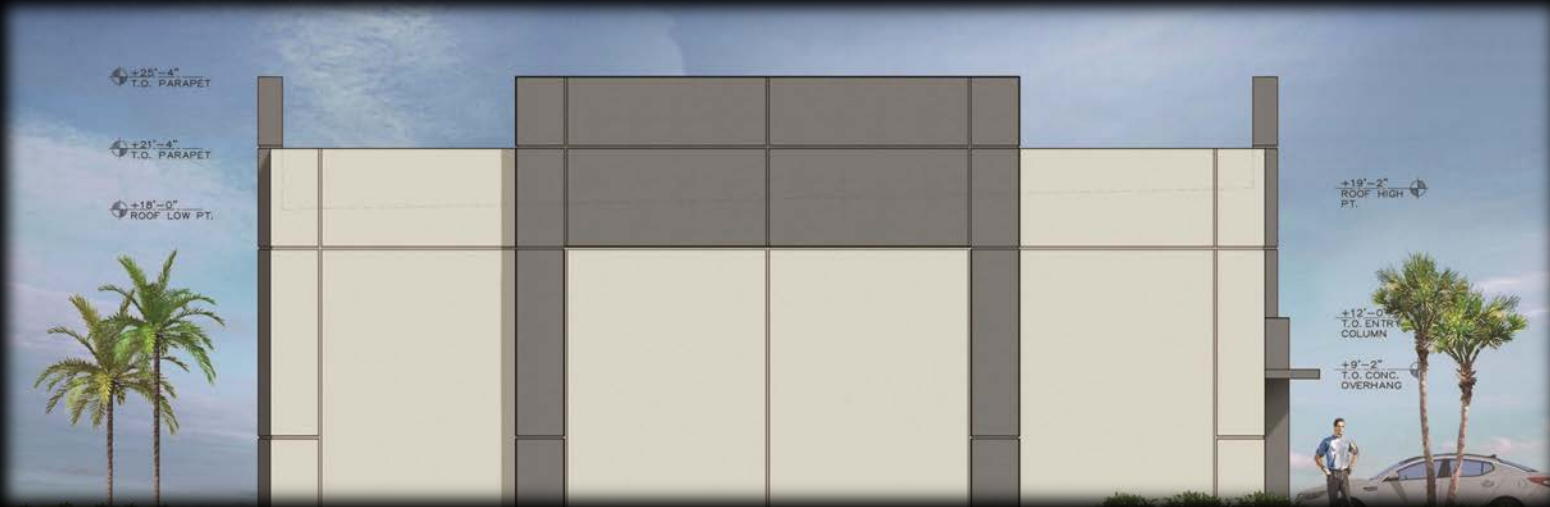
Building #2 to be mirrored

Proposed Architecture*

Item 1.



Building #1 East Elevation



Building #1 West Elevation

Building #2 to be mirrored

Justification for Request

Special Exception Criteria

Item 1.

Consistent with Town's Comprehensive Plan

- ❖ Proposed uses remain aligned with the Town's description of Commercial Land Use
- ❖ Promotes the continued upgrading of an existing property within a commercial core of Lake Park

Consistent with Town's zoning regulations

- ❖ Two proposed storage warehouse will mirror each other, and be consistent with the exterior of the current building;
- ❖ Requested Uses can be permitted with Town Commission approval

Compatibility with surrounding properties

- ❖ Located on major arterial roadway, near several commercial and industrial uses
- ❖ Proposed uses are compatible with the existing area

Justification for Request *Special Exception Criteria*

Item 1.

Does not create a proliferation of the same use

- ❖ Expanded storage warehouse use is specific to the Owner's business operation;

Presents no adverse impact to surrounding properties

- ❖ Proposed use is not a high traffic generator
(PBC TPS Letter issued)
- ❖ All loading/unloading will occur internal to the site;
- ❖ Existing building (and proposed warehouses) will not block light and air
- ❖ Will not adversely affect surrounding property values


July 15, 2024
Rebecca J. Mulcahy, P.E.
Pinder Troutman Consulting, Inc.,
601 Heritage Dr, Suite 493
Jupiter, FL 33458

RE: 1220 10th Street
Project #: 240603
Traffic Performance Standards (TPS) Review

Dear Ms. Mulcahy:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated March 6, 2024, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality: Lake Park
Location: 1500 feet S of Northlake Blvd, W of 10th St
PCN: 36-43-42-20-01-123-0030
Access: 1 Full access on 10th Street across Magnolia Dr, and Right-in/Right-out on 10th Street (both existing)
(As used in the study and is NOT necessarily an approval by the County through this TPS letter)

Existing Uses: Warehouse=13,420 SF, Automobile Sales (New)=6,632 SF
Proposed Uses: Add 8,800 SF Warehouse to existing site
New Daily Trips: 10
New Peak Hour Trips: 2 (1/1) AM; 2 (0/2) PM
Proj Daily Trips: 185
Proj Peak Hour Trips: 14 (1 1/3) AM; 18 (6/12) PM
Build-out: December 31, 2027

The project will generate less than 21 peak hour trips and a detailed traffic study is not required. The project is expected to have insignificant impacts and meets Traffic Performance Standards.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the

Department of Engineering and Public Works
P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbcgov.com

Palm Beach County
Board of County Commissioners
Maria Sachs, Mayor
Maria G. Marino, Vice Mayor
Gregg K. Weiss
Michael A. Barnett
Marco Woodward
Sara Baxter
Mack Bernard

County Administrator
Veronica C. Baker

"An Equal Opportunity
Affirmative Action Employer"

 printed on sustainable
and recycled paper

Conclusion

Item 1.

- ❖ Request special exception approval for two storage warehouse buildings to be constructed on the existing building ;
- ❖ Consistent with all special exception criteria in the Town of Lake Park's zoning code;
- ❖ Provides for the continued revitalization of an existing property, furthering visual aesthetics in the corridor;
- ❖ Staff recommends approval, and Owner will continue to maintain previously issued conditions of approval set in Resolution 45-05-23





**TOWN LAKE OF PARK
PLANNING & ZONING BOARD
STAFF REPORT**

**MEETING DATE: September 22, 2025
PZ-25-03**

APPLICATION: Northlake Promenade Outparcel 3

SUMMARY OF APPLICANT’S REQUEST: On behalf of OPV Northlake Promenade LLC (“Property Owner” and “Applicant”), Schmidt Nichols (“Agent”) is requesting site plan approval for a 7,578 SF retail building. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-3 Twin Cities Mixed Use District.

The Subject Property is located south of Northlake Boulevard in the Town of Lake. It is comprised of the following parcel, which totals 0.858 acres:

- Parcel 1 – PCN: 36-43-42-21-29-003-0000

BACKGROUND:

Owner & Applicant(s):	OPV Northlake Promenade LLC
Agent and Consultant:	Schmidt Nichols
Location:	Parcel 1 – PCN: 36-43-42-21-29-003-0000
Net Acreage (total):	0.858 acres
Legal Description:	See survey enclosed in packet.
Existing Zoning:	C-3 Business District (NBOZ Overlay)
Future Land Use:	Twin Cities Mixed Use

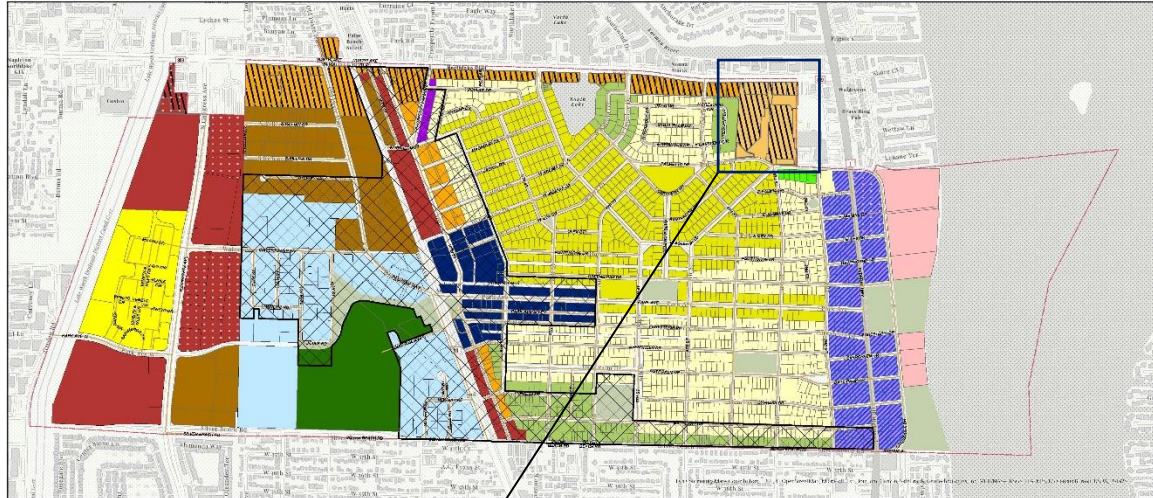
Figure 1: Aerial View of Site (image not to scale; for visual purposes only)



LAKE PARK ZONING MAP



Town of Lake Park Zoning Map



Community Development Department
 Town of Lake Park
 535 Park Avenue, Lake Park FL 33403
 Anders Viene - Planner
 561-881-3320 (ext 320)
 aviene@lakeparkflorida.gov
 Nadia DiTommaso - Director
 561-881-3319
 nditommaso@lake

2,500 1,250 0 2,500 Feet



Date: 6/14/24

Subject
Site



Adjacent Zoning:

North: (North Palm Beach Jurisdiction Across Northlake Boulevard)

South: C-3 Twin Cities Mixed Use District

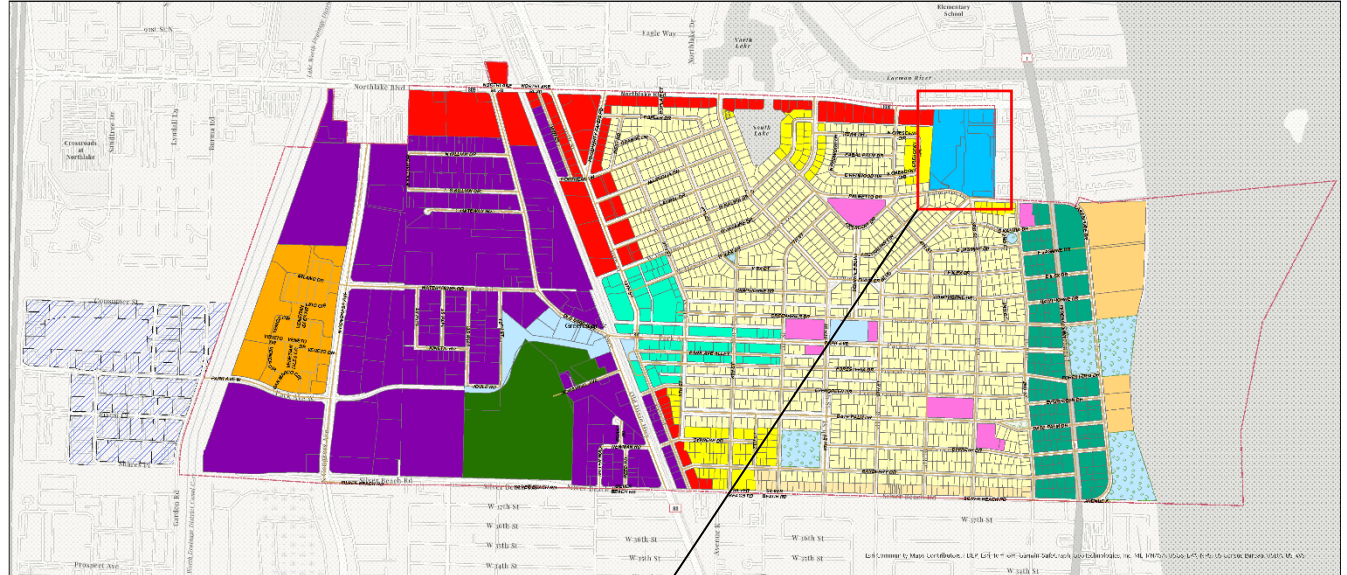
East: C-3 Twin Cities Mixed Use District

West: C-3 Twin Cities Mixed Use District

LAKE PARK FUTURE LAND USE MAP



Town of Lake Park Future Land Use Map 2017-2027



Community Development Department
Town of Lake Park
535 Park Avenue, Lake Park FL 33403
Anders Viane - Planner
561-881-3320 (ext 320)
aviane@lakeparkflorida.gov
Nadia DiTommaso - Director
561-881-3319
nditommaso@lakeparkflorida.gov

2,500 1,250 0 2,500 Feet



Date: 6/14/24

Subject Site



Adjacent Existing Land Use:

North: (North Palm Beach Jurisdiction Across Northlake Boulevard)
South: Twin Cities Mixed Use
East: Twin Cities Mixed Use
West: Twin Cities Mixed Use

PART I: SITE PLAN APPLICATION

The Northlake Promenade Outparcel site plan application has been reviewed by the Town's consulting Engineers, Landscape Architect, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff's Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, Lake Park Community Development Department and the Village of North Palm Beach Community Development Department Staff. Based on these reviews, the project substantially complies with our Land Development Regulations and Comprehensive Plan.

****This project has been noticed by certified mail to property owners within 300 feet and advertised in the Palm Beach Post 9/12/25 ****

SITE PLAN PROJECT DETAILS

Comprehensive Plan: The proposal is consistent with the goals, objectives and policies of the Town's Comprehensive Plan, including:

- ➔ **3.4.2 Objectives and Policies, Policy 1.5:** *The Town shall encourage development and redevelopment activities which will substantially increase the tax base while minimizing negative impacts on natural and historic resources, existing neighborhoods and development and adopted Levels of Service (LOS) standards.*

- ➔ **Future Land Use (FLU) Classification System 3.4.3:** *Lands located in the southwest quadrant of Northlake Boulevard and Federal Highway as shown on the Future Land Use Map shall be designated with the future land use of "Twin Cities Mixed Use." These lands, and adjoining lands to the east in the Village of North Palm Beach, are within the property formerly known as the Twin City Mall. The purpose of the Twin City Mixed Use Classification is to redevelop this site into a vibrant mixed-use place that combines residences, businesses, and civic spaces. The maximum density shall not exceed an average of 48 dwelling units per gross acre, as calculated for the entire Twin Cities Mixed Use area within the Town of Lake Park. The FAR for non-residential uses shall not exceed an average FAR of 2.0, as calculated for the entire Twin Cities Mixed Use area within the Town of Lake Park. The policies which are intended to implement the site's redevelopment are located under Objective 11 of the Future Land Use Element.*

- ➔ **Future Land Use Element, Policy 5.2:** *The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.*

- ➔ **Future Land Use Element, Policy 11.2:** *The new land development regulations for the proposed Twin Cities Mixed Use District shall provide for the development of new compact residential and non-residential buildings to complement the existing commercial buildings, all of which are supported by publicly accessible civic spaces, walkable and bikeable streets and served by varied forms of public and private transportation.*
- ➔ **Future Land Use Element, Policy 11.3:** *The new land development regulations for the proposed Twin Cities Mixed Use District shall provide for public plazas, urban or green open spaces or pocket parks that are accessible to the public and which form an integrated component of redevelopment with the Twin Cities Mixed Use District.*
- ➔ **Future Land Use Element, Policy 11.5:** *The new land development regulations for the Twin Cities Mixed Use District shall provide for a variety of non-residential uses that are internally compatible with and complementary to the residential uses provided for in the Twin Cities Mixed Use District.*

Zoning: The proposed project is generally consistent with the requirements of the C-3 Twin Cities Mixed Use District, including such aspects as use, building height, minimum required open space, and building site area. The project also substantially complies with the supplemental regulations of the general code and the Northlake Boulevard Overlay Zoning District, which will be further discussed as applicable in the sections below.

Architecture: The proposal meets the standards set forth under Section 3-1 (c) of the NBOZ for building articulation, façade paint colors, material variation, and decorative features. Additionally, for buildings within C-3 District, there are architectural consistency requirements. Applicants are required to create architectural harmony and consistency between their building and existing buildings in the C-3 District. To satisfy this requirement, the applicant has utilized design vernacular from the Northlake Promenade Apartment project, including matching roof tile, matching stone coquina, and stone veneer.

Building Site: The total site area is 37,396 SF; the impervious area for the project is 25,941 SF and the pervious area is 11,455 SF, or 31% of the total site. The development proposal consists one 7,578 SF building. Of note, this project's open space is configured in the "square" typology outlined in the C-3 District, consisting of a column of trees, a pergola, and a seating area.

Site Access and Roadways: This site has two driveway entrances on interior roadways. No new curb cuts on Northlake Boulevard are proposed. This project also does not impact any existing Internal Streets recognized by the C-3 District regulating plan.

Traffic Concurrency: The applicant has provided Palm Beach County Traffic Performance Standards (TPS) approval in connection with their project. Palm Beach County Traffic recommended approval February 6, 2025. The Town's consultant traffic reviewer approved the applicant's traffic study January 17, 2025.

Landscaping: The proposed landscaping plans have been deemed code compliant by the Town's consulting Landscape Architect (JMorton) as of July 18, 2025.

Paving, Grading and Drainage: The Town's consulting Engineers, Engenuity Group, reviewed and approved the civil plans for this proposal on July 18, 2025.

Parking and Loading: The applicant's requested retail use is parked at the rate of 3 spaces per 1,000 SF. Required parking is 23 spaces and the applicant is proposing 35. The applicant has provided a loading zone with a nonstandard maneuvering apron; please refer to the applicant's autoturn analysis for details. In addition to the autoturn, they have provided a justification statement noting this configuration will be sufficient for any potential tenants based on the C-3's allowed uses.

Water/Sewer: Seacoast Utility Authority reviewed these plans for compliance with their best practices and issued their approval July 15, 2025.

Fire: PBC Fire Rescue reviewed the site plan and found it to be in compliance with PBC Fire Rescue best practices on July 11, 2025. An additional round of fire review will be conducted during the building permit phase, which is standard procedure.

PBSO: The Crime Prevention Through Environmental Design (CPTED) review was performed by Sgt. Adam Pozsonyi at the Palm Beach County Sheriff's Office and the proposal was found to be compliant with best-practice principles for CPTED on August 22, 2025. A high-definition security camera surveillance condition of approval is being recommended, which is a standard condition of approval.

North Palm Beach Planning: North Palm Beach's planning staff provided approval July 23, 2025.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan Northlake Promenade Outparcel. In addition to all standard conditions, the following unique conditions of approval will be recommended to the Town Commission:

1. Prior to the issuance of a building permit, the Owner shall submit a proposed sidewalk easement, which shall be subject to the review and approval of the Town Attorney. Upon the approval of the Town Attorney, the Owner shall either record the easement or incorporate the same into the final plat prior to receiving a certificate of occupancy.

CONSENT FORM**FROM PROPERTY OWNER AND DESIGNATION OF AUTHORIZED AGENT:**

Before me, the undersigned authority, personally appeared Soraya Tyriver, Vice President, OPV Northlake Promenade LLC, who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he/she is requesting Site Plan Review in the Town of Lake Park, Florida;
3. That he/she is appointed Jon Schmidt, Schmidt Nichols to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: OPV Northlake Promenade LLC

Property Owner Signature

3200 N Military Trail, 4th Floor

Street Address

Soraya Tyriver, VP

By: Name/Title

Boca Raton, FL 33431

City, State, Zip Code

Telephone Number

Fax Number

E-Mail Address

Sworn and Subscribed before me on this 11 day of December, 20 24.



Lisa Marie Velazquez
NOTARY PUBLIC

MY COMMISSION EXPIRES:

6-28-28



PLEASE DO NOT DETACH FROM APPLICATION.

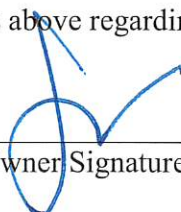
SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Soraya Tyriver, VP, OPV Northlake Promenade LLC, have read and understand the regulations above regarding cost recovery.


Property Owner Signature

12/11/24
Date



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT

Please call (561)881-3319 for submittal fees

For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the Town Code of Ordinances for additional requirements

Project Name: Northlake Promenade Outparcel 3
 Project Address: Not Assigned
 Property Owner: OPV Northlake Promenade LLC

APPLICANT INFORMATION:

Applicant Name: OPV Northlake Promenade LLC
 Applicant Address: 3200 N Military Trail, 4th Floor
 Phone: Contact Agent Fax: N/A E-Mail: Contact Agent

SITE INFORMATION:

General Location: S side of Northlake Blvd., approx. 710' W of US 1
 Address: None Assigned
 Zoning District: C-3 Future Land Use: TCMU Acreage: 0.858
 Property Control Number (PCN): 36-43-42-21-29-003-0000

ADJACENT PROPERTY:

DIRECTION	ZONING	BUSINESS NAME	USE
North	C-NB (North Palm Beach)	See property owner list	Commercial
East	C-3	See property owner list	Commercial
South	C-3	See property owner list	Commercial
West	C-3	See property owner list	Commercial

JUSTIFICATION:

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

See Justification Statement.

2. What will be the impact of the proposed change to the surrounding area?

See Justification Statement.

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

See Justification Statement.

LEGAL DESCRIPTION:

The subject property is located approximately 0.13 mile(s) from the intersection of Northlake Blvd. & US 1, on the north, east, x south, west side of the Northlake Blvd. (street/road).

Legal Description:

See attached Legal Description

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.

OWNER/APPLICANT Signature

Date

12-11-24

Legal Description

Northlake Promenade Outparcel 3

PARCEL 3 OF "NORTHLAKE PROMENADE SHOPPES, A PUD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



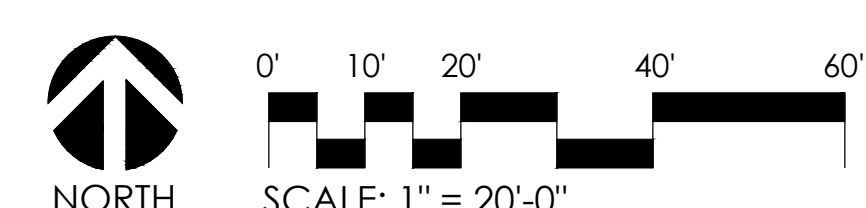
1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Town of Lake Park, Florida

REVISIONS / SUBMISSIONS

[illegible]

SP-1 of 1



PROPERTY DEVELOPMENT REQUIREMENTS											
	ZONING DISTRICT	MINIMUM LOT DIMENSIONS			MAX IMPERVIOUS	MIN. PAVED	MAX HEIGHT	SETBACKS/SEPARATIONS			
		SIZE	WIDTH	DEPTH				FRONT	SIDE INTERIOR	SIDE STREET	REAR
CODE	C-3	22,000 SF.	N/A	N/A	90%	10%	112'	10'	0'	10'	0'
PROP.	C-3	37,386 SF.	200.62'	150.02'	65%	31%	22'	19'	77'	26'	87'

NOTES
BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY WALLACE SURVEYING DATED 10/03/2024
D/R DUMPSTER WITH ENCLOSURES

ZONING STAMP

CFN 20170007211
OR BK 28816 PG 1902
RECORDED 01/09/2017 13:21:03
Palm Beach County, Florida
AMT 300,000.00
DEED DOC 2,100.00
Sharon R. Bock
CLERK & COMPTROLLER
Pgs 1902-1907; (6Pgs)

Prepared by and return to:
JOHN F. HOTTE, ESQ.
KRINZMAN HUSS LUBETSKY
110 SE 6 Street - Floor 20
Fort Lauderdale, Florida 33301
Telephone: 954-761-3453

Tax Folio Numbers:
36-43-42-21-29-003-0000 (Parcel I)
36-43-42-21-29-007-0000 (Portion Parcel II)
68-43-42-21-29-007-0010 (Portion Parcel II)

WARRANTY DEED

THIS WARRANTY DEED (this “**Deed**”), executed as of the 16 day of December, 2016, by Developers of Northlake, Inc., a Florida Corporation (the “**Grantor**”), whose mailing address is c/o: Samuel J. Cantor, P.A., 426 S. Military Trail Deerfield Beach, FL 33442 to OPV Northlake Promenade LLC, a Florida limited liability company, whose mailing address is 2240 NW 19th Street, Suite 801, Boca Raton, Florida 33431 (the “**Grantee**”).

WITNESSETH:

That Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, and sold and by these presents does grant, bargain and sell to Grantee and Grantee’s heirs and assigns forever, the real property situate, lying, and being in Palm Beach County, Florida, and described in **EXHIBIT “A”** attached to this Deed (the “**Property**”).

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor covenants with Grantee that, except as limited by the next sentence, at the time of the delivery of this Deed the Property was free from all encumbrances made by Grantor, and that Grantor hereby warrants the title to the Property and will defend it against the lawful claims and demands of all persons whomsoever.

SUBJECT TO the matters set forth in Exhibit “B” attached to this Deed (it being understood and agreed that reference to such matters shall not serve to reimpose any such Permitted Exceptions) and taxes for the year 2017 and the years subsequent thereto.

Signed, sealed, and delivered
in the presence of:

Leroy Reenen
Signature of Witness 1

FERDY LAENEUS
Print name of Witness 1

Mello Colombo
Signature of Witness 2

NELLIA COLOMBO
Print name of Witness 2

By: 
Name: Robert Blatt, President
Title: President

Date: December 2, 2016

COUNTRY OF CANADA)
) ss.:
PROVINCE OF QUEBEC)

The foregoing instrument was acknowledged before me this 2nd day of December, 2016, by Robert Blatt, as President of Developers of Northlake, Inc., a Florida Corporation, who is personally known to me or who produced _____ as _____ identification.

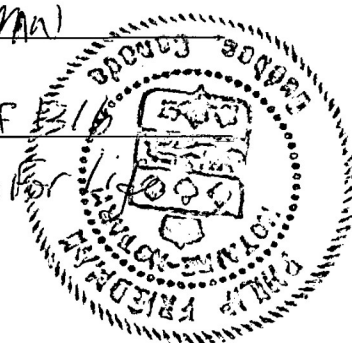
[Official Notarial Seal]

~~Notary Public~~

Philip Friedman
(Print or type name)

Commission No.:

My Commission Expires:



CFN 20170007211
BOOK 28816 PAGE 1904
3 OF 6

EXHIBIT "A"

LEGAL DESCRIPTION

The land referred to herein below is situated in the County of Palm Beach, State of Florida, and is described as follows:

PARCEL I: (FEE SIMPLE ESTATE)

PARCEL 3 OF "NORTHLAKE PROMENADE SHOPPES, A PUD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL II: (NON-EXCLUSIVE EASEMENT ESTATE)

TOGETHER WITH THOSE CERTAIN NON-EXCLUSIVE EASEMENT RIGHT(S) AS CREATED BY THAT CERTAIN DECLARATION OF RESTRICTIONS, COVENANTS AND CONDITIONS AND GRANT OF EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 11923, PAGE 861, AS AMENDED IN OFFICIAL RECORDS BOOK 13154, PAGE 1892; OFFICIAL RECORDS BOOK 17516, PAGE 1987; OFFICIAL RECORDS BOOK 17595, PAGE 1781, AND OFFICIAL RECORDS BOOK 21438, PAGE 1886 AND RE-RECORDED IN OFFICIAL RECORDS BOOK 22831, PAGE 89, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

EXHIBIT "B"**PERMITTED EXCEPTIONS**

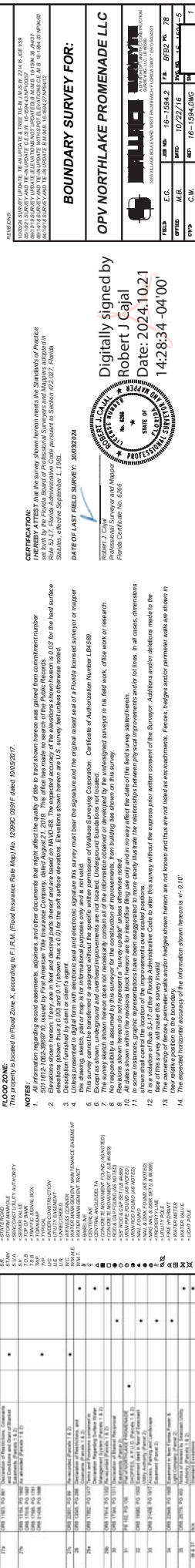
1. Agreement granted to North Palm Beach Utilities, Inc., recorded in Deed Book 1145, Page 135, as amended in Official Records Book 87, Page 317, as assigned to The John D. and Catherine T. MacArthur Foundation in Official Records Book 5542, Page 1399 and assigned to Seacoast Utility Authority by Assignment and Assumption Agreements in Official Records Book 6002, Page 62 and Official Records Book 6007, Page 1275. (As to Parcels I and II)
2. Dedication of Easement for Public Utilities recorded in Official Records Book 13, Page 475. (Parcel II)
3. Unrecorded Easement to Southern Bell Telephone & Telegraph Company over the Westerly 5 feet as evidenced in that Deed recorded in Official Records Book 90, Page 403. (Parcel II)
4. Dedication of Easement for public utilities recorded in Official Records Book 89, Page 392, assigned to The John D. and Catherine T. MacArthur Foundation in Official Records Book 5542, Page 1399 and assigned to Seacoast Utility Authority by Assignment and Assumption Agreements in Official Records Book 6002, Page 62, and Official Records Book 6007, Page 1275. (As to Parcels I and II)
5. Easement granted to Florida Power & Light Company recorded in Official Records Book 1267, Page 272. (As to Parcel II).
6. Easement granted to Florida Power & Light Company recorded in Official Records Book 2053, Page 706, and Partially Released in Official Records Book 11923, Page 954. (Parcels II)
7. Easement granted to Florida Power & Light Company recorded in Official Records Book 2867, Page 1584. (Parcel II)
8. Easement granted to Seacoast Utility Authority recorded in Official Records Book 6422, Page 239. (Parcel II).
9. Memorandum of Developer Agreement with Seacoast Utility Authority recorded in Official Records Book 9111, Page 1835. (As to Parcels I and II).
10. Easement granted to BellSouth Telecommunications, Inc., recorded in Official Records Book 9631, Page 136. (Parcels II).
11. Easement to BellSouth Telecommunications, Inc. recorded in Official Records Book 9631, Page 140. (As to Parcels I and II).

12. Terms, conditions, rights, obligations and restrictions contained in that certain Lease dated October 7, 1998 by and between Twin Cities Investors, Inc., a Florida corporation, as lessor, and Publix Super Markets, Inc., as lessee, as memorialized in Memorandum recorded December 28, 1998 in Official Records Book 10794, Page 719, affected by First Amendment to Memorandum of Lease recorded in Official Records Book 21438, Page 1843, and as affected by that Subordination, Non-disturbance Agreement recorded July 31, 2000 in Official Records Book 11923, Page 943, as re-recorded in Official Records Book 11949, Page 266, by and between Publix Super Markets, Inc. and The United States Life Insurance Company in the City of New York. (As to Parcel II).
13. Easement granted to Florida Power & Light Company recorded in Official Records Book 11439, Page 1177. (Parcel II).
14. Easement granted to Seacoast Utility Authority recorded in Official Records Book 11123, Page 1051. (Parcel II).
15. Easement granted to Florida Power & Light Company recorded in Official Records Book 11453, Page 1125. (Parcel II).
16. Indemnity Agreement by and between Twin Cities Investors, Inc. and Seacoast Utility Authority recorded in Official Records Book 11542, Page 1405. (Parcel II)
17. Easement granted to BellSouth Telecommunications, Inc. recorded in Official Records Book 11563, Page 1152. (Parcels II).
18. Easement granted to Seacoast Utility Authority recorded in Official Records Book 11820, Page 240, and corrected in Official Records Book 11864, Page 1954. (As to Parcel II).
19. Easement granted to Florida Power & Light Company recorded in Official Records Book 11851, Page 1822. (As to Parcel II).
20. Terms, provisions, restrictive covenants, conditions, reservations and easements, contained in Declaration of Restrictions, Covenants and Conditions and Grant of Easements recorded in Official Records Book 11923, Page 861, as amended in Official Records Book 13154, Page 1892; Official Records Book 17516, Page 1987; Official Records Book 17595, Page 1781, and Official Records Book 21438, Page 1886 and re-recorded in Official Records Book 22831, Page 89, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (As to Parcels I and II)
21. Declaration of Restrictions and Covenants recorded in Official Records Book 13545, Page 266, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap,

CFN 20170007211
BOOK 28816 PAGE 1907
6 OF 6

national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (As to Parcels I and II).

22. Terms and Provisions contained in Declaration Regarding Surface Water Management System recorded in Official Records Book 17852, Page 1417; as re-recorded in Official Records Book 17914, Page 1352. (As to Parcels I and II).
23. Terms and Provisions contained in Declaration of Reciprocal Easements recorded in Official Records Book 17344, Page 1311. (Parcel II).
24. Restrictions, covenants, easement(s), setback(s), if any, as may be shown on the Plat of Northlake Promenade Shoppes, a P.U.D., as recorded in Plat Book 102, Page 130. (As to Parcels I and II).
25. Easement Deed in favor of Seacoast Utility Authority recorded in Official Records Book 19580, Page 1003. (Parcel II).
26. Terms, provisions and easements contained in that certain Access, Parking and Landscape Easement recorded in Official Records Book 21438, Page 1917. (As to Parcel II).
27. Easement in favor of Florida Power & Light Company recorded in official Records Book 22948, Page 1605. (Parcel II).
28. Notice of Interest by Seacoast Utility Authority recorded in Official Records Book 26779, Page 403. (As to Parcels I and II)





**Engineering and
Public Works Department**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbc.gov



**Palm Beach County
Board of County
Commissioners**

Maria G. Marino, Mayor
Sara Baxter, Vice Mayor
Gregg K. Weiss
Joel Flores
Marci Woodward
Maria Sachs
Bobby Powell, Jr.

County Administrator

Verdenia C. Baker

April 29, 2025

Bryan Kelley, P.E.
Simmons & White, Inc.,
2581 Metrocentre Blvd West, Ste 3
West Palm Beach, FL 33407

**RE: Northlake Promenade Outparcel # 3
Project #: 250204
Traffic Performance Standards (TPS) Review**

Dear Mr. Kelley:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated February 6, 2025, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Lake Park
Location:	Southside of Northlake Blvd, west of US-1
PCN:	36-43-42-21-29-003-0000
Access:	Site access for this facility via two driveway access points to existing east-west drive aisles. For entire Northlake Promenade and Village Place: Two right-in/right-out and one full access driveway connections onto Northlake Blvd, one right-in/right-out access driveway and one right-in, left-in and right-out access driveway connections onto US-1, and three full access driveway and one right-in/left-out access driveway connection onto Palmetto Drive <u>(As used in the study and is NOT necessarily an approval by the County through this TPS letter)</u>
Existing Uses:	Vacant
Proposed Uses:	Retail = 7,597 SF
New Daily Trips:	153
New Peak Hour Trips:	7 (4/3) AM; 18 (9/9) PM
Build-out:	December 31, 2029

Based on the review, the Traffic Division has determined the proposed development generates less than 21 peak hour trips. Therefore, a detailed traffic study is not required. The project **meets** the Traffic Performance Standards.

Based on our discussion and the determination that the outparcel # 3 was not included in the previously approved development, the prior conditions of approval do not apply to this parcel. Therefore, those conditions will not be carried forward as part of this approval.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided

*"An Equal Opportunity
Affirmative Action Employer"*



Bryan Kelley, P.E.
 April 29, 2025
 Page 2 of 2

upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

No building permits are to be issued by the Town after the build-out date specified above, or as amended. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-478-5755 or email MRahman@pbc.gov.

Sincerely,

A handwritten signature in black ink that reads "Rahman".

Moshiur Rahman, Ph.D., P.E.
 Professional Engineer
 Engineering and Public Works Dept.
 Traffic Division

MR:QB:ep

cc: Nadia Di Tommaso, Director of Community Development, Town of Lake Park
 Quazi Bari, P.E., PTOE, Manager - Growth Management, Traffic Division
 Alberto Lopez Tagle, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
 F:\TRAFFIC\MR\MUN\APPROVED\2025\250204 NORTHLAKE PROMENADE OUTPARCEL # 3.DOCX



NORTHLAKE PROMENADE OUTPARCEL #3

Town of Lake Park, Florida

TRAFFIC GENERATION STATEMENT

PREPARED FOR:

OPV Northlake Promenade, LLC
3200 North Military Trail, 4th Floor
Boca Raton, Florida 33431

JOB NO. 24-139

DATE: November 4, 2024

Revised: February 6, 2025

Revised: March 28, 2025

Bryan G. Kelley, Professional Engineer, State of Florida, License No. 74006

This item has been digitally signed and sealed by Bryan G. Kelley, P.E., on 03/28/25.

Printed Copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

TABLE OF CONTENTS

PAGE 3

1.0 SITE DATA

PAGE 4

2.0 TRAFFIC GENERATION

3.0 SITE RELATED IMPROVEMENTS

PAGE 5

4.0 TRAFFIC GENERATION

1.0 SITE DATA

The subject parcel is located on the south side of Northlake Boulevard, west of US Highway 1 in the Town of Lake Park, Florida and contains approximately 0.86 acres. The Property Control Number for the subject parcel is 36-43-42-21-29-003-0000. The proposed plan of development consists of 7,578 SF retail and is part of the overall Northlake Promenade shopping center and adjacent to the Village Place development in the Village of North Palm Beach. The overall Northlake Promenade shopping center is currently vested for the following uses:

Northlake Promenade Approved Development

- 279 multifamily dwelling units
- 7,511 SF medical office
- 67,434 SF retail

The overall Village Place (FKA Village Shoppes) is currently vested for the following uses:

Village Place Approved Development

- 1,080 multifamily dwelling units
- 206 55+ age restricted multifamily dwelling units
- 222-room hotel
- 131,100 SF shopping plaza
- 9,790 SF pharmacy with drive-through
- 5,000 SF drive-in bank
- 3,028 SF fast food restaurant with drive through
- 12 fuel position gas station with 2,410 SF convenience store

The subject parcel is owned by a separate entity than the rest of the Northlake Promenade and Village Place and is therefore not subject to the projection aggregation rules within the Palm Beach County Traffic Performance Standards. For the purpose of this traffic study, the subject 7,578 SF retail was considered as a standalone project. Site access specifically for the 7,578 SF retail facility will be internal to Northlake Promenade shopping center via two driveway access points to existing east-west drive aisles. For additional information regarding site location and layout, please refer to the Site Plan prepared by Schmidt Nichols.

Site access for the entirety of Northlake Promenade and Village Place is existing via one right in, right out only driveway connection to Northlake Boulevard, two full access driveway connections to Northlake Boulevard, two right in, right out driveway connections to Federal Highway, one directional driveway connection to Federal Highway, and multiple connections to Palmetto Drive. Modifications to the current access are proposed as part of the Northlake Apartments and Village Place projects. The driveway modifications include the following:

- New right in, left out only driveway connection to Palmetto Drive
- Eastern full access driveway connection to Northlake Boulevard modified to right in, right out only
- Traffic signal at existing western full access driveway connection to Northlake Boulevard
- Closure of southern driveway connection to US-1

Northlake Boulevard fronting the site is an east-west six-lane divided urban arterial roadway that is owned and maintained by Palm Beach County. Sidewalks are present on both sides of the road. US-1 fronting the site is a north-south four-lane divided urban arterial roadway that is owned and maintained by the FDOT. Paved shoulders and sidewalks are present on both sides of the road.

2.0 TRAFFIC GENERATION

The daily traffic generated by the proposed development was calculated in accordance with the traffic generation rates published on the Palm Beach County Traffic website and consistent with the ITE Trip Generation Manual, 11th Edition. Tables 1, 2 and 3 show the daily, A.M. peak hour, and P.M. peak hour traffic generation for the proposed development, respectively. Based on the proposed development consisting of 7,578 SF of retail, the traffic generation may be summarized as follows:

Proposed Development

Daily Traffic Generation	=	153 tpd
A.M. Peak Hour Traffic Generation (In/Out)	=	7 pht (4 In/3 Out)
P.M. Peak Hour Traffic Generation (In/Out)	=	18 pht (9 In/9 Out)

3.0 SITE RELATED IMPROVEMENTS

The overall A.M. and P.M. peak hour turning movement driveway volumes and directional distributions at the project entrances for the proposed development with no reduction for pass by credits are shown in Tables 2 and 3 attached with this report. The following summary applies:

		DIRECTIONAL DISTRIBUTION (TRIPS IN / OUT)
A.M. Peak Hour	=	11 / 7
P.M. Peak Hour	=	25 / 25

Tables 4-6 attached to this report document the trip generation for the entire combined Village Place and Northlake Promenade site including the proposed outparcel. The overall combined development includes the following uses and intensity:

Combined Northlake Promenade and Village Place Development

- 1,359 multifamily dwelling units
- 206 55+ age restricted multifamily dwelling units
- 222-room hotel
- 206,112 SF retail
- 9,790 SF pharmacy with drive-through
- 5,000 SF drive-in bank
- 3,028 SF fast food restaurant with drive through
- 12 fuel position gas station with 2,410 SF convenience store

As previously mentioned, site access for the combined Northlake Promenade and Village Place traffic study is existing via one right in, right out only driveway connection to Northlake Boulevard, two full access driveway connections to Northlake Boulevard, two right in, right out driveway connections to Federal Highway, one directional driveway connection to Federal Highway, and three full access driveway connections to Palmetto Drive. However, several modifications as documented previously are proposed as part of the Northlake Promenade Apartments and Village Place projects. Figure 2 attached to this report depicts the driveway volumes inclusive of all approved/proposed developments and access modifications.

4.0 CONCLUSION

The proposed development will result in 153 new daily trips, 7 AM peak hour trips, and 18 PM peak hour trips at buildout in 2029. Since the project generates less than 20 peak hour trips, no additional traffic analysis is required and the development meets the requirements of the Palm Beach County Traffic Performance Standards.

bk: x/docs/trafficdrainage/tgs.24139.rev2



Item 2.

N

SITE

Northlake
Promenade
Outparcel #3

Northlake
Promenade

Village Place

Palmetto Dr

Palmetto Dr

Flagler Blvd

Crescent Cr

650
A1A

1

US-1

Shore Ct

59

Figure 1 - Trip Distribution
Northlake Promenade Outparcel #3
Project # 24-139

NORTHLAKE PROMENADE OUTPARCEL #3

11/04/2024
Revised: 02/06/2025
Revised: 03/28/2025

Item 2.

PROPOSED DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation		In Out		Gross Trips	Internalization*		External Trips (Driveway Trips)	Pass-by		Net Trips
									%	Total		%	Trips	
Strip Retail Plaza (<40ksf)	822	7,578	S.F.	54.45				413		0	413	63%	260	153
			Grand Totals:					413	0.0%	0	413	63%	260	153

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split In Out		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
							In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Strip Retail Plaza (<40ksf)	822	7,578	S.F.	2.36	0.60	0.40	11	7	18	0.0%	0	0	0	11	7	18	63%	11	4	3	7
			Grand Totals:				11	7	18	0.0%	0	0	0	11	7	18	61%	11	4	3	7

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Strip Retail Plaza (<40ksf)	822	7,578	S.F.	6.59	0.50	0.50	25	25	50	0.0%	0	0	0	25	25	50	63%	32	9	9	18
			Grand Totals:				25	25	50	0.0%	0	0	0	25	25	50	64%	32	9	9	18

NORTHLAKE PROMENADE OUTPARCEL #3

11/04/2023
Revised: 02/06/2024
Revised: 03/28/2025

Item 2.

VILLAGE PLACE + NORTHLAKE PROMENADE PROPOSED DEVELOPMENT (USED FOR DRIVEWAY TRIPS)

TABLE 4 - Daily Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips	Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out		%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	1,359	Dwelling Units	4.54			6,170	15.0%		926		5,244	0%	0		5,244			
55+ SF Attached	252	206	Dwelling Units	3.24			667	15.0%		100		567	0%	0		567			
Hotel	310	222	Rooms	7.99			1,774	15.0%		266		1,508	10%	151		1,357			
Medical Office (Stand-Alone)	720	7,511	S.F.	T=42.97(X)-108.01			215	15.0%		32		183	10%	18		165			
Shop Center (>150ksf)	820	206,112	S.F.	37.01			7,628	15.0%		1,144		6,484	24%	1,556		4,928			
Pharmacy + DT	881	9,790	S.F.	108.40			1,061	15.0%		159		902	50%	451		451			
Drive-In Bank	912	5,000	S.F.	100.35			502	15.0%		75		427	47%	201		226			
Fast Food Rest. + DT	934	3,028	S.F.	467.48			1,416	15.0%		212		1,204	49%	590		614			
Gas Station w/ Convenience Store ^e	FDOT	12	Fuel Positions	14.3 ^a PM Trips			2,646	15.0%		397		2,249	61%	1,372		877			
		2,410	S.F.																
			Grand Totals:				22,591	14.7%		3,311		19,280	24%	4,539		14,741			

TABLE 5 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	1,359	Dwelling Units	0.37	0.23	0.77	116	387	503	15.0%	17	58	75	99	329	428	0%	0	99	329	428
55+ SF Attached	252	206	Dwelling Units	0.2	0.34	0.66	14	27	41	15.0%	2	4	6	12	23	35	0%	0	12	23	35
Hotel	310	222	Rooms	0.46	0.56	0.44	57	45	102	15.0%	9	6	15	48	39	87	10%	9	43	35	78
Medical Office (Stand-Alone)	720	7,511	S.F.	3.10	0.79	0.21	18	5	23	15.0%	3	0	3	15	5	20	10%	2	14	4	18
Shop Center (>150ksf)	820	206,112	S.F.	0.84	0.62	0.38	107	66	173	15.0%	16	10	26	91	56	147	24%	35	69	43	112
Pharmacy + DT	881	9,790	S.F.	3.74	0.52	0.48	19	18	37	15.0%	3	3	6	16	15	31	50%	16	8	7	15
Drive-In Bank	912	5,000	S.F.	9.95	0.58	0.42	29	21	50	15.0%	4	4	8	25	17	42	47%	20	13	9	22
Fast Food Rest. + DT	934	3,028	S.F.	44.61	0.51	0.49	69	66	135	15.0%	10	10	20	59	56	115	49%	56	30	29	59
Gas Station w/ Convenience Store ^e	FDOT	12	Fuel Positions	Note f	0.50	0.50	93	92	185	15.0%	14	14	28	79	78	157	61%	96	31	30	61
		2,410	S.F.																		
		Grand Totals:					530	732	1,262	14.8%	78	109	187	452	623	1,075	22%	239	324	512	836

TABLE 6 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	1,359	Dwelling Units	0.39	0.61	0.39	323	207	530	15.0%	48	32	80	275	175	450	0	0	275	175	450
55+ SF Attached	252	206	Dwelling Units	0.25	0.56	0.44	29	23	52	15.0%	4	4	8	25	19	44	0%	0	25	19	44
Hotel	310	222	Rooms	0.59	0.51	0.49	67	64	131	15.0%	10	10	20	57	54	111	10%	11	51	49	100
Medical Office (Stand-Alone)	720	7,511	S.F.	3.93	0.30	0.70	9	21	30	15.0%	1	4	5	8	17	25	10%	3	7	15	22
Shop Center (>150ksf)	820	206,112	S.F.	3.4	0.48	0.52	336	365	701	15.0%	50	55	105	286	310	596	24%	143	217	236	453
Pharmacy + DT	881	9,790	S.F.	10.25	0.50	0.50	50	50	100	15.0%	8	7	15	42	43	85	50%	43	21	21	42
Drive-In Bank	912	5,000	S.F.	21.01	0.50	0.50	53	52	105	15.0%	8	8	16	45	44	89	47%	42	24	23	47
Fast Food Rest. + DT	934	3,028	S.F.	33.03	0.52	0.48	52	48	100	15.0%	8	7	15	44	41	85	49%	42	22	21	43
Gas Station w/ Convenience Store ^e	FDOT	12	Fuel Positions	12.3*FP+15.5*(X)	0.50	0.50	93	92	185	15.0%	14	14	28	79	78	157	61%	96	31	30	61
		2,410	S.F.																		
		Grand Totals:					1,031	942	1,973	14.8%	151	141	292	880	801	1,681	23%	395	685	601	1,286

Notes:

* Used 15% internalization per the Palm Beach County Traffic email dated 09/08/23 with Hanane Akif.

e) Use both Fueling Position and Convenience Store size in estimating trips using the provided equation. Note that no internalization between the gas pumps and convenience store, as per ULDC Article 12, should be applied to estimate the net trips.



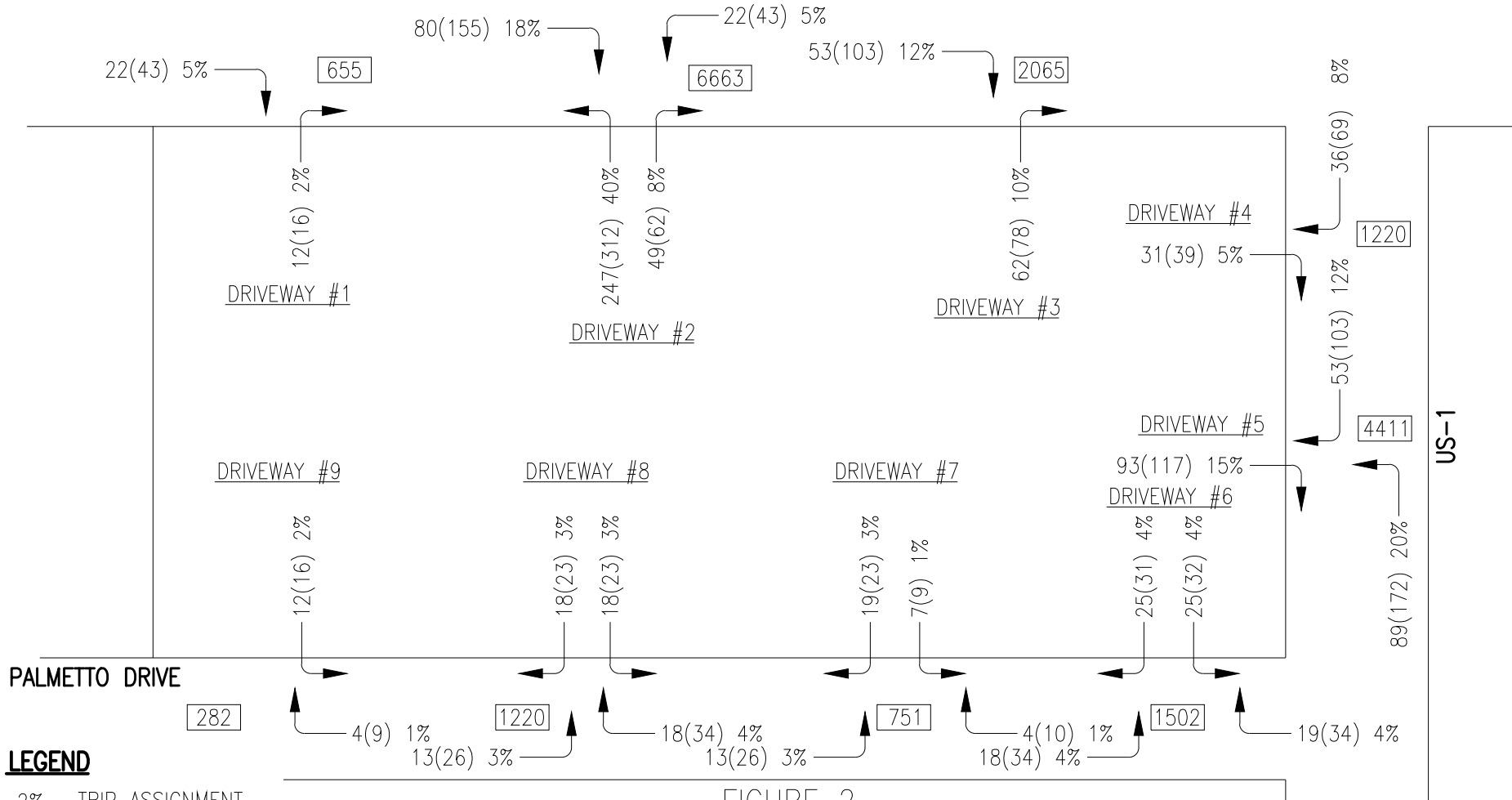
**SIMMONS
& WHITE**

2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
Authorization # 3452 | 561.478.7848

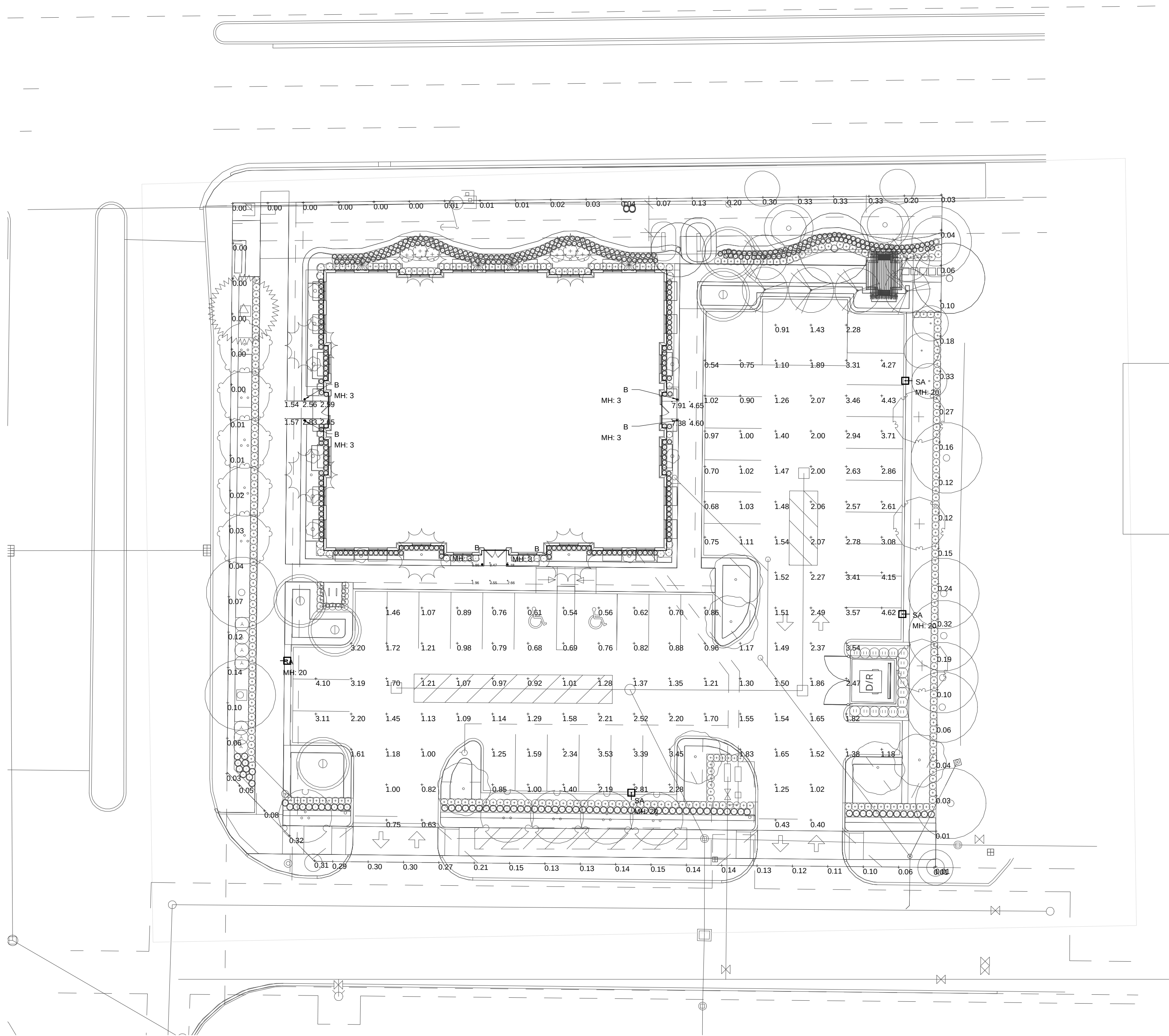
Item 2.



NORTHLAKE BOULEVARD

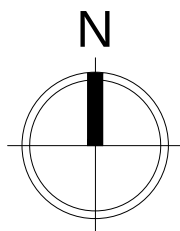


NORTHLAKE PROMENADE										
TOWN OF LAKE PARK, FL										
LIGHTING FIXTURE SCHEDULE										
TYPE	IMAGE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP'S TYPE	DIMMING	VOLTAGE	MOUNTING	REMARKS	INPUT WATTS
SA		XTRALIGHT	VNFS-15000L-40K-IV-DIM-4M-N-XX-XX-HSS	ARCHITECTURAL LED AREA LIGHT, TYPE IV OPTICS W/BACK LIGHT SHIELDING	INTEGRATED LED	0-10V	TBC	TENON	MH-20'-0"	109W
B		PERFORMANCE IN LIGHTING	KHAS-35-14-IPINSH(CCT)UNV-NA	35" ARCHITECTURAL LED BOLLARD	INTEGRATED LED	NON-DIM	120-277V	ANCHOR BASE	ENTRANCE LIGHTING	14W
LIGHTING SCHEDULE NOTES:										
1. For pricing please email Genesis Lighting at quotes@genesislighting.net, for technical questions please contact Brian Meneses @ 772-919-5670 (B.meneses@genesislighting.net)										
2. No substitutions allowed without prior approval by architect, engineer or design team										
3. Contractor to verify all voltages, mounting and run lengths prior to final bid and installation of fixtures										
4. Verify correct mounting for each fixture with Architectural reflected ceiling plans and/or Site Plans										



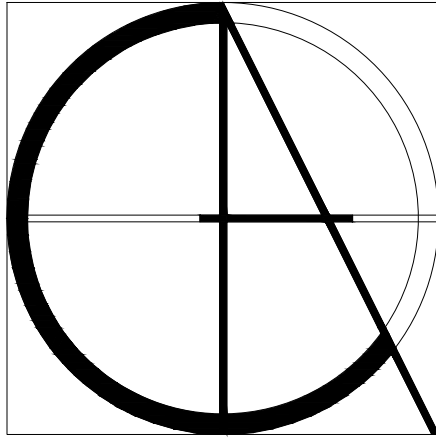
01 PHOTOMETRIC SITE PLAN

SCALE: 1" = 20'-0"



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Total Watts
	6	B	Single	076423	0.900	592	84
	4	SA	Single	Xtra Light VNFS-15000L-40K-DIM-4M-N-XX-XX-HSS	0.900	10366	436

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
East Entrance	Illuminance	Fc	6.14	7.91	4.60	1.33	1.72
Parking Lot	Illuminance	Fc	1.71	4.62	0.40	4.28	11.55
Property Line	Illuminance	Fc	0.10	0.33	0.00	N/A	N/A
South Entrance	Illuminance	Fc	3.78	8.47	1.18	3.20	7.18
West Entrance	Illuminance	Fc	2.29	2.83	1.54	1.49	1.84



Claren Architecture + Design, Inc.

AA26002865
6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884

New Building for:
**Northlake Promenade
Outparcel 3**
Town of Lake Park, Florida

PROJECT #		24-042
DATE		12-16-24
REV #	DATE	
	1	06-12-25
	2	07-08-25
		
		
		
		
SHEET #		

A-3

Northlake Promenade Outparcel 3

Town of Lake Park, Florida

Date: 11/11/24
Scale: AS SHOWN
Design By: CPC
Drawn By: CPC
Checked By: JES
File No: 819.01B
Job No: 24-66

REVISIONS / SUBMISSIONS

12/11/24 Revision
03/18/25 Revision
03/28/25 Revision
05/07/25 Resubmittal
06/04/25 Resubmittal
06/12/25 Revision
06/18/25 Revision

NOT VALID WITHOUT THE SIGNATURE AND SEAL
OF A FLORIDA LICENSED LANDSCAPE ARCHITECT

Jon E. Schmidt 
Date: 2025.06.18
1807:50 -04'00'

FLORIDA REGISTRATION NO.
Jon E. Schmidt LA 0001638

Tree Disposition
Plan

LP-1 of 4

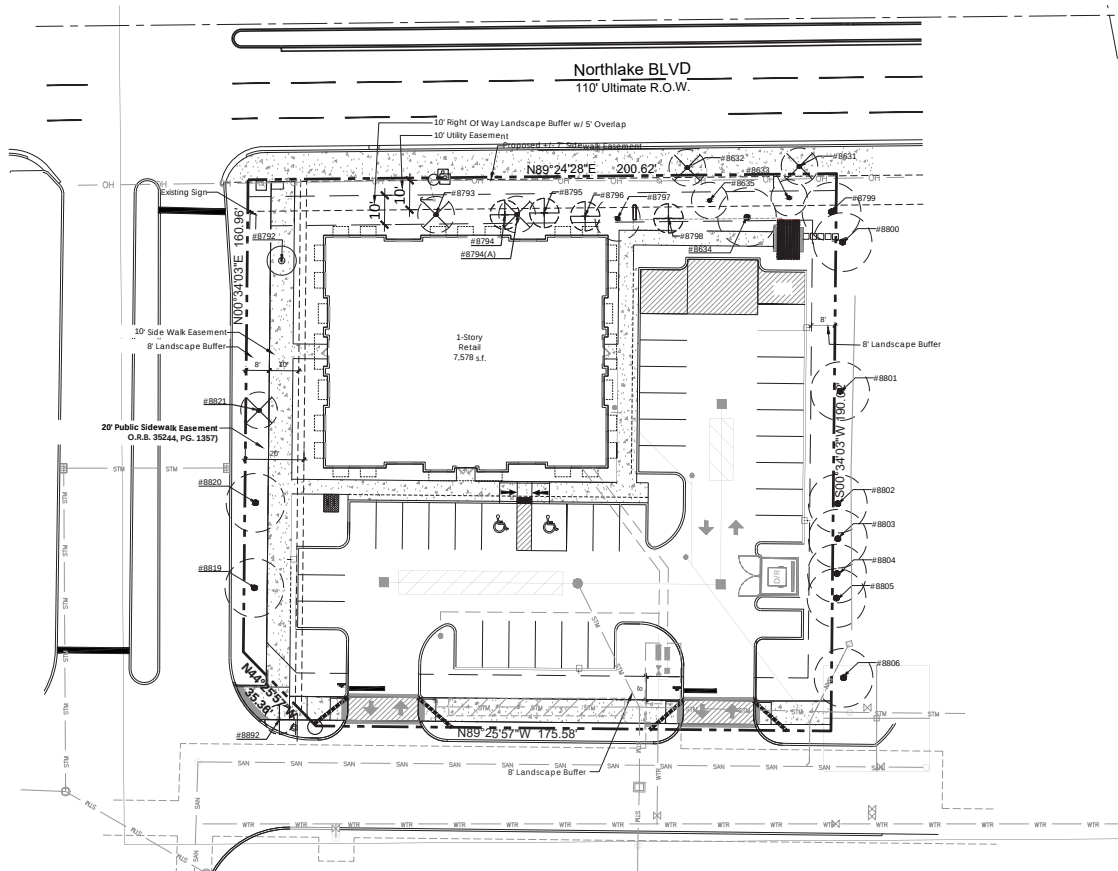


TREE TABLE

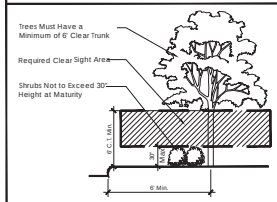
TREE #	COMMON NAME	BOTANICAL NAME	DBH	Disposition	Notes
8631	Magnolia	<i>Magnolia grandiflora</i>	4"	Remove	
8632	Magnolia	<i>Magnolia grandiflora</i>	4"	Remove	
8633	Oak	<i>Quercus</i> spp.	15"	Preserve	
8634	Oak	<i>Quercus</i> spp.	20"	Preserve	
8635	Oak	<i>Quercus</i> spp.	18"	Preserve	
8792	Medjool Date Palm	<i>Phoenix dactylifera</i>	12 HT	Relocate	
8793	Oak	<i>Quercus</i> spp.	6"	Remove	
8794	Washingtonia Palm	<i>Washingtonia robusta</i>	9 HT	Remove	
8794(A)	Oak	<i>Quercus</i> spp.		Remove	
8795	Oak	<i>Quercus</i> spp.	5"	Preserve	
8796	Washingtonia Palm	<i>Washingtonia robusta</i>	9 HT	Remove	
8797	Oak	<i>Quercus</i> spp.	10"	Preserve	
8798	Washingtonia Palm	<i>Washingtonia robusta</i>	10 HT	Remove	
8799	Oak	<i>Quercus</i> spp.		Preserve	
8800	Oak	<i>Quercus</i> spp.	5"	Preserve	
8801	Oak	<i>Quercus</i> spp.	16"	Preserve	
8802	Oak	<i>Quercus</i> spp.	9"	Preserve	
8803	Oak	<i>Quercus</i> spp.	12"	Preserve	
8804	Coconut Palm	<i>Cocos nucifera</i>	10 HT	Preserve	
8805	Coconut Palm	<i>Cocos nucifera</i>	10 HT	Preserve	
8806	Coconut Palm	<i>Cocos nucifera</i>	11 HT	Preserve	
8819	Japanese Privet	<i>Ligustrum japonicum</i>		Preserve	Cluster
8820	Japanese Privet	<i>Ligustrum japonicum</i>		Preserve	Cluster
8821	Japanese Privet	<i>Ligustrum japonicum</i>		Remove	Cluster (Poor Condition)
8892	Sabal Palm	<i>Sabal palmetto</i>	11" HT	Remove	

TREE SUMMARY

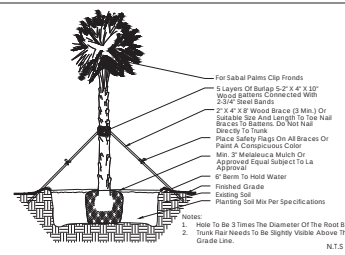
Category	Total Trees
Preserved Trees	16
Removed Trees	8
Relocated Trees	1



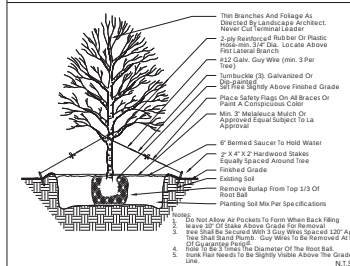
SAFE SIGHT DETAIL



PALM RELOCATION DETAIL

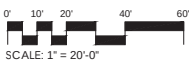


TREE RELOCATION DETAIL



VEGETATION NOTES

1. Tree protection barriers shall be installed and in place prior to any other construction activity on site. Tree protection barriers shall remain in place throughout the construction of the project until removal is approved by governing agency.
2. During land clearing and construction, protective barriers shall be maintained around all trees / palms or groups of trees / palms to be protected. The movement of equipment or the storage of equipment, materials, and placement of debris or fill within protective barriers is prohibited.
3. A permit to remove trees / palms must be applied for with the governing agency prior to tree removal.
4. All relocated trees and palms shall be staked and guyed as indicated in the details.
5. Remove cut all Sabal prior to transplant.
6. All transplanted trees must be transplanted using best industry standards.
7. Provide irrigation to transplanted trees or trees within holding areas to ensure survivorship.
8. Vegetation to be preserved shall be banded with a 3-foot high plastic mesh (orange OSHA) supported by 5-foot long rebar or 2" x 2" wood stakes or equivalent.
9. Vegetation to be preserved at a lower final grade may be protected with a 24-inch high fill fence around the preserve area or vegetation with the addition of the 3-foot high plastic mesh, if needed.
10. If hand clearing is necessary within the preserve area or under the Vegetation canopy, Vegetation to be preserved can initially be delineated by plastic ribbon affixed to survey stakes (to avoid putting up and taking down fencing) and then protected with either plastic mesh and/or the fill fence.
11. Vegetation to be relocated can usually be delineated by plastic ribbon affixed to survey stakes unless their relocation is delayed due to root pruning. If root pruning is required, the Vegetation shall be protected with either plastic mesh and/or fill fence.





**SCHMIDT
NICHOLS**

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Northlake Promenade Outparcel 3

Town of Lake Park, Florida

Date: 11/11/24
Scale: AS SHOWN
Design By: CPC
Drawn By: CPC
Checked By: JES
File No. 819.01B
Job No. 24-66

REVISIONS / SUBMISSIONS

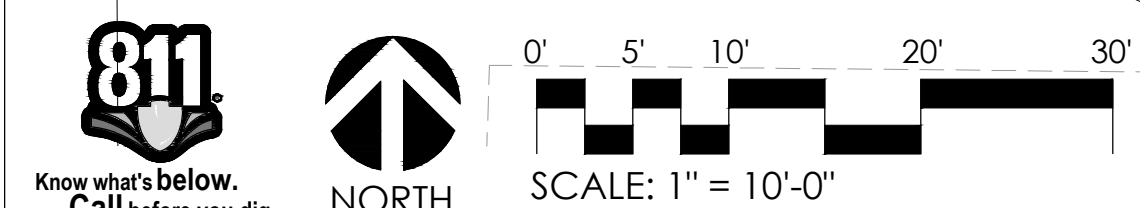
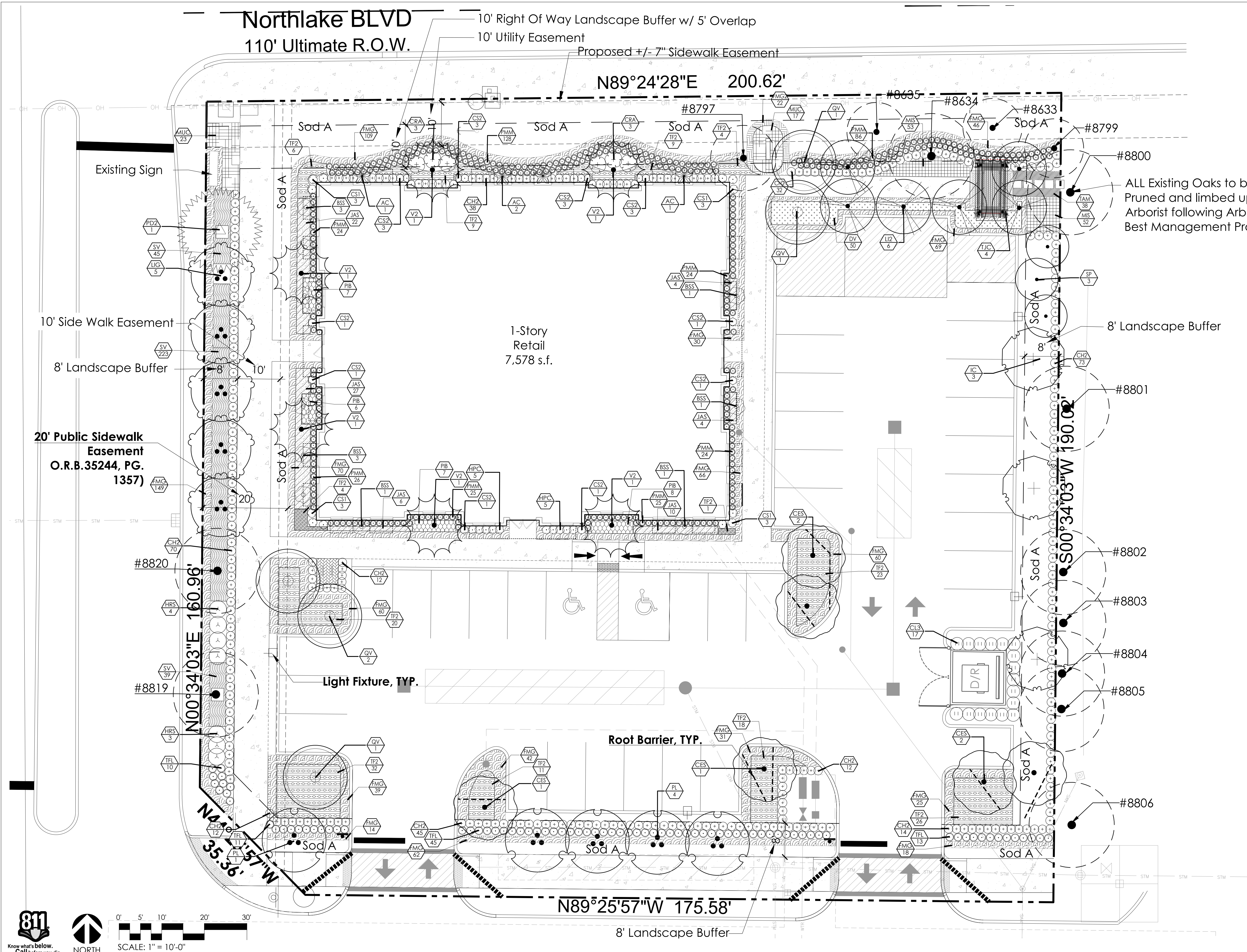
12/17/24 Revision
03/18/25 Revision
03/26/25 Revision
05/07/25 Resubmittal
05/14/25 Resubmittal
06/12/25 Revision
06/18/25 Revision

NOT VALID WITHOUT THE SIGNATURE AND SEAL
OF A FLORIDA LICENSED LANDSCAPE ARCHITECT.

FLORIDA REGISTRATION NO.
Jon Eric Schmidt LA 0001638

Landscape
Plan

LP-2 of 4



1. Exemptions shall not encroach landscape buffers more than 5 feet.
2. 2'x4' Type D or F curb shall be provided along the perimeter of all landscape, open space, drainage and parking areas adjacent to the building footprint. 4'x6" aluminum extruded curb is provided.
3. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility (30' or more) at all intersections.
4. All light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc. shall not interfere with landscaping in terminal islands, parking stands, median, buffers and/or other landscaped areas.
5. All trees shall be planted in accordance with the ANSI-CALPBR standard in the Planting Schedule. Containers are given as a suggestion only.
6. All trees grown out shall be planted in detention areas.
7. All landscape areas (including sod) shall be irrigated with an underground automatic sprinkler system providing min. 150% coverage.
8. All trees shall be planted in the plan for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required minimum clearances. These trees are not to be considered a final schedule of trees. The trees shown on these plans are the trees that shall be located in the field in accordance with the planting details shown herein.
9. Trees are to be installed with a 1-foot (20") separation from any water or sewer main and/or service, utility, or other underground facility. If a tree is to be installed within the tree clearances of a water or sewer main, refer to the "Water Barrier" detail for installation requirements. However, in no case shall a tree encroach into a PUCIL within approved and/or only sod can be installed within 75% of a building footprint.
10. All parking lot stands, and any other areas on site with basecourse, shall be excavated to a minimum depth of 12" below the basecourse. All excavated areas shall be backfilled with clean, well-sorted organic material, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other extraneous material.
11. All landscape modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
12. All ground-mounted equipment shall be screened from view.
13. Prior to C.O.C. the site must have 100% sod coverage, including grasspene in the directly adjacent ROW. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be covered by the approved Landscape Plan.
14. Any equipment (condensing units, transformers, etc.) shall not interfere with proposed parking lot trees.

Existing Trees		DBH	POINTS				
OAK		15	25				
Oak		20	25				
Oak		18	25				
Oak		10	25				
Oak		10	25				

TREES	QTY	UNIT	BOTANICAL / COMMON NAME	CALIPER	HEIGHT	POINTS
CE5	6	ea	Conocarpus erectus serenus / Silver Button Wood	2.5" Cal.	12	90
IC	3	ea	llex cassinæ / Dahoon Holly	3" DBH	12' Min.	45
LIG	5	ea	Ligustrum japonicum / Ligustrum	1.5" Cal.	12' Min.	75
PL	5	ea	Psidium littorale / Cattley Guava	2.5" Cal.	12' Min.	75
QV	5	ea	Quercus virginiana / Southern Live Oak	2.5" DBH	12' Min.	75
L12	6	ea	Legestromia indica 'Natchez' / Natchez Crape Myrtle	2.5" DBH	12' Min.	30
AM3	4	ea	Adonidia merillii 'Triple Trunk' / Triple Trunk Christmas Palm	N/A	10' GW	4
SP	3	ea	Sabal palmetto / Sabal Palm	N/A	14'-20' CT	21.9
V2	6	ea	Vetelia montgomeryana / Montgomery Palm 'Double Trunk'	N/A	14' CT	6
PD2	1	ea	Phoenix dactylifera 'Medjool' / Medjool Date Palm	EX	EX	25

SHRUBS	QTY	UNIT	BOTANICAL / COMMON NAME	POINTS
AC	4	ea	Alocasia x 'Calidora' / Alocasia 'Calidora'	4
BSS	10	ea	Bougainvillea spectabilis 'Barbara Karst' / Barbara Karst Bougainvillea+	10
CH2	308	ea	Chrysobalanus icaco / Coco Plum	308
CL3	17	ea	Clusia luttifera / Small-Leaf Clusia	17
CRA	6	ea	Crinum augustum / Green Crinum Lily	6
CS1	12	ea	Cupressus sempervirens / Italian Cypress+	12
CS2	18	ea	Cupressus sempervirens / Italian Cypress+	18
HPC	10	ea	Hamelia patens 'Compacta' / Dwarf Firebush	10
HRS	7	ea	Hibiscus rosa-sinensis 'Red' / Red Hibiscus	7
MM	362	ea	Podocarpus microphyllus 'Pringles' / 'Pringles' Podocarpus	362
TFL	79	ea	Tripsacum floridanum / Dwarf Fakahatchee Grass	79
JAS	73	ea	Jasminum volubile / Wax Jasmine	73
MUC	40	ea	Muhlenbergia capillaris / Pink Muhly	40
PIB	28	ea	Plumbago auriculata 'Imperial Blue' / Imperial Blue Plumbago+	28
TJC	4	ea	Trachelospermum jasminoides 'Confederate' / Confederate Jasmine	4
DV	50	ea	Dietes vegeta/ African Iris	50
SV	307	ea	Schefflera arboricola 'Variegata' / Dwarf Variegated Schefflera	307
TF2	170	ea	Tripsacum floridanum / Dwarf Fakahatchee Grass	170

GROUND COVERS	QTY	UNIT	BOTANICAL / COMMON NAME	POINTS
FMG	1910	sf	Ficus microcarpa 'Green Island' / Green Island Ficus+	382
FMG2	47	sf	Ficus microcarpa 'Green Island' / Green Island Ficus+	9.4
MIS	150	sf	Microsorium scolopendrum / Wart Fern	30
SOD A	3949	sf	Stenotaphrum secundatum / St. Augustine Grass	98.725
				2.051
Required Point Total				2.051
TOTAL				2,517.03

NOTE: Contractor to Field Verify Sod Quantities
ALL Oaks to be pruned and limbed up by Arborist following best management practices

Legal Description

Northlake Promenade Outparcel 3

PARCEL 3 OF "NORTHLAKE PROMENADE SHOPPES, A PUD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**Justification Statement
Northlake Promenade Outparcel 3
Town of Lake Park Site Plan Review Application
Original Submittal: December, 20 2025
Resubmittal: May 16, 2025**

Introduction

The subject site is located on the south side of Northlake Boulevard approximately 680 feet west of US 1 and consists of 1 parcel totaling 0.85 acres (PCNs: 36-43-42-21-29-003-0000). The subject site has an existing C-3 Twin Cities Mixed Use zoning designation and is approved as part of the former Northlake Promenade Planned Unit Development. The site is designated as Twin Cities Mixed Use future land use. The subject site is currently vacant, cleared, and ready for development.

On behalf of the Owner and Applicant, OPV Northlake Promenade LLC, Schmidt Nichols requests Site Plan Approval for a Retail use on the subject site consisting of 7,578 s.f. in gross floor area situated in a one-story structure.

Below is a chart showing the surrounding properties and their Zoning, FLU, and existing land use:

	Uses	FLU	Zoning
Subject Property	Vacant (Existing) Retail (Proposed)	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use
North	Commercial	Commercial	C-NB (North Palm Beach)
South	Commercial	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use
East	Commercial	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use
West	Commercial	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use

Overview of Requests

The applicant requests consideration of approval for the following request:

Request 1: Site Plan Approval – for a proposed 7,578 s.f. Retail building.

Request 1: Site Plan Review

Per the Site Plan Review application form, the following items shall be addressed in a satisfactory manner for the approval of the proposed Site Plan:

1. Please explain the nature of the request.

Response: The applicant proposes to develop the subject vacant parcel with a 7,578 s.f. retail building with 35 parking spaces. The proposed structure will be situated to the northwest corner of the site directly adjacent to Northlake Boulevard and the main entrance driveway into the plaza. The structure proposed is a “Flex Building” type as described in Section 78-73 of the Town of Lake Park land development code. The site design includes a 10-foot sidewalk easement that runs along the west and south property lines, within which will be an 8-foot sidewalk that connects to the rest of the plaza’s sidewalk system. Landscape buffers are provided around the perimeter of the site to screen the surface parking area from adjacent properties. The applicant is proposing the required 8-foot-wide landscape buffer along the western property line to be directly adjacent to the main access driveway into the plaza to provide a buffer between vehicles exiting the plaza and pedestrians walking on the adjacent sidewalk.

2. What will be the impact of the proposed change to the surrounding area?

Response: The proposed retail development will have a positive impact on the surrounding area. The site currently sits vacant and provides no value to the surrounding area, therefore, the proposed development will have a net positive impact.

3. How does the proposed project comply with the Town of Lake Park’s zoning requirements?

Response: The proposed development meets all the Town of Lake Park’s zoning requirements.

Intent

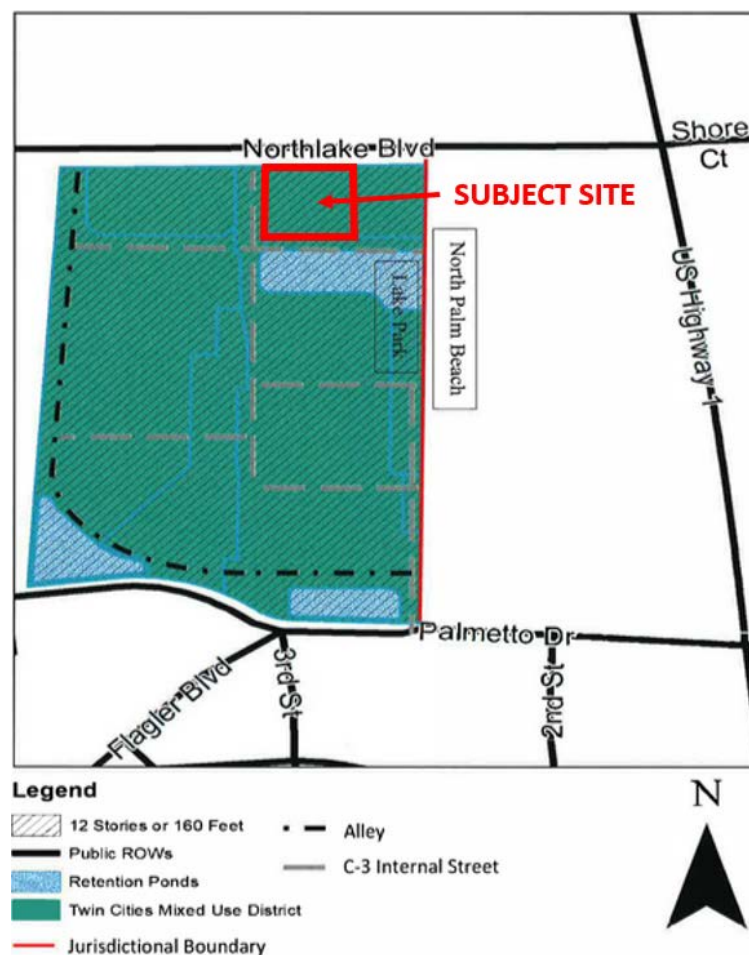
Per Section 78-73(a)(2) of the Town of Lake Park Land Development Code states “The intent of this district is to provide for a destination with complementary uses consisting of a mixture of retail and other commercial uses such as offices and lodging; civic and educational uses; and residential multifamily uses.” The proposed development meets this intent by providing a retail use on a lot that is currently vacant and will add to the mix of commercial uses within the plaza.

Permitted Uses

Table 1 in Section 78-73 indicates that Retail is a permitted use within the C-3 Twin Cities Mixed Use zoning district.

District Regulating Plan & Streetscapes

The proposed development meets the requirements of the District Regulating Plan, specifically the streetscape requirements. Below is a screenshot of District Regulating Plan from Section 78-73 of the town's Land Development Regulations, which identifies internal and public rights of way. The subject site is shown in red and is shown having frontage on two internal streets along the south and west sides. These internal streets require 10-foot sidewalk easements to connect the plaza's pedestrian circulation system between properties. The proposed site design incorporates these 10-foot sidewalk easements along the west and south sides of the property as required.



Parking & Standards

The proposed project meets the minimum number of parking spaces required by code. Per Table 9 in Sec. 78-73 of the Town's code, the minimum required off street parking for this site is calculated as follows:

Retail – 3 spaces/1,000 s.f. @ 7,578 s.f. = 23 spaces

Total Requirement: 23 spaces.

Total Proposed: 35 spaces.

Per Section 78-143 of the Town's Land Development Code, retail uses shall provide a minimum of 1 loading space for the first 10,000 s.f. of retail space. Therefore, the proposed development requires 1 loading space at 15 feet wide by 35 feet long. The proposed site design includes 1 loading space at 15 feet wide by 40 feet long.

The size of the loading berth meets the standards of the Town's code; however, Section 78-143(i)(3) requires a maneuvering apron equal in length to the required loading space, which in this case would be 35 feet. Therefore, the total dimensions of the required loading space, plus the maneuvering apron is 15 feet wide by 70 feet long. This requirement is far beyond what is necessary to accommodate a Retail or any other use allowed by right in the C-3 district of the size proposed. Therefore, the applicant requests a reduction of the required maneuvering area.

Section 78-143(o)(2) outlines the standards for reducing the loading berth size as follows:

Reduced stall dimensions shall be permitted upon a finding that all of the following standards have been met:

- a. *The manner of operation proposed is such that stalls of the required dimensions are unnecessary because, the size, character and operation of the use will not regularly involve service by motor vehicles which require the dimensions of an off-street loading berth, such as, but not limited to the following uses: Bowling alleys and other recreational establishment, financial institutions, funeral chapel and funeral homes, nursing homes, offices, and personal service establishments;*

Response: The proposed 7,578 s.f. Retail use does not typically require a 15' wide by 35' long berth plus an additional 35' long maneuvering area. The vehicles that would typically serve this type of use are smaller delivery vans which can easily maneuver into a loading berth of the 15' wide by 40' long size provided. An Autoturn exhibit has been provided which shows this.

- b. *The land uses are likely to continue or to be succeeded by others for which the same stall dimensions will be adequate, or that any additional loading space necessary could be provided in a logical location without creating violations of other requirements of these regulations*

Response: Other allowable land uses in the C-3 district, include, but are not limited to: General Offices, Personal Services, Coffee Shop, Animal Day Care, and Art Galleries. While these uses may also have loading needs, the size of the proposed use, at 7,578 s.f. is not large enough to warrant such a large

maneuvering area beyond the provided 15' wide by 40-foot-long berth. The required 35' of maneuvering area, in addition to the 15 wide by 35' long loading berth is more typical of significantly larger spaces, such as for big box retail stores, large scale supermarkets, and industrial facilities, all of which are typically several magnitudes larger in size than the proposed use and all of which typically received a large number of daily deliveries from semi-truck delivery vehicles. The proposed structure, at 7,578 s.f. could never reasonably house a use that would accommodate the type and volume of traffic that would warrant such a large maneuvering area in addition to the required berth size. Therefore, it is reasonable to allow the reduction of the maneuvering area to allow for the proposed 15' wide by 40' long loading space.

- c. *Any reduction provides for a minimum stall length of 15 feet, a stall width of at least 12 feet, and a vertical clearance of ten feet.*

Response: The proposed loading stall is 15' wide by 40' long, which not only meets this requirement, but also goes above the standard 15' wide by 35' long loading berth size requirements to ensure more than enough space is provided for the loading space traffic that is anticipated.

March 28, 2025
Job No. 24-139

DRAINAGE STATEMENT

Northlake Promenade Outparcel #3
Town of Lake Park, Florida

SITE DATA

The subject parcel is located on the south side of Northlake Boulevard, west of US Highway 1 in the Town of Lake Park, Florida and contains approximately 0.86 acres. The Property Control Number for the subject parcel is 36-43-42-21-29-003-0000. Proposed site development on the currently vacant parcel consists of a 7,578 SF retail building. For additional information concerning site location and layout, please refer to the site plan prepared by Schmidt Nichols.

PROPOSED DRAINAGE

The site is located within the boundaries of the previously permitted Northlake Promenade Shoppes, South Florida Water Management District Permit No. 50-04324-P and will be a modification to that permit. It is proposed that runoff be directed to on-site water management areas by means of paved swales and/or inlets and storm sewer. Legal positive outfall is available via existing culvert connection to the Master Surface Water Management System for the Northlake Promenade Shoppes. Drainage design to address the following:

1. Building floor elevations to be at or above the level listed in the previous South Florida Water Management District Permit.
2. Due consideration to water quality.

Drainage Statement
 Job No. 24-139
 March 28, 2025 – Page 2

PROPOSED DRAINAGE (CONTINUED)

Required permits/approvals shall include the following:

1. South Florida Water Management District – Environmental Resource Permit Modification
2. Town of Lake Park – On Site Drainage

Bryan G. Kelley, Professional Engineer, State of Florida, License No. 74006

This item has been digitally signed and sealed by Bryan G. Kelley, P.E., on 03/28/2025.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

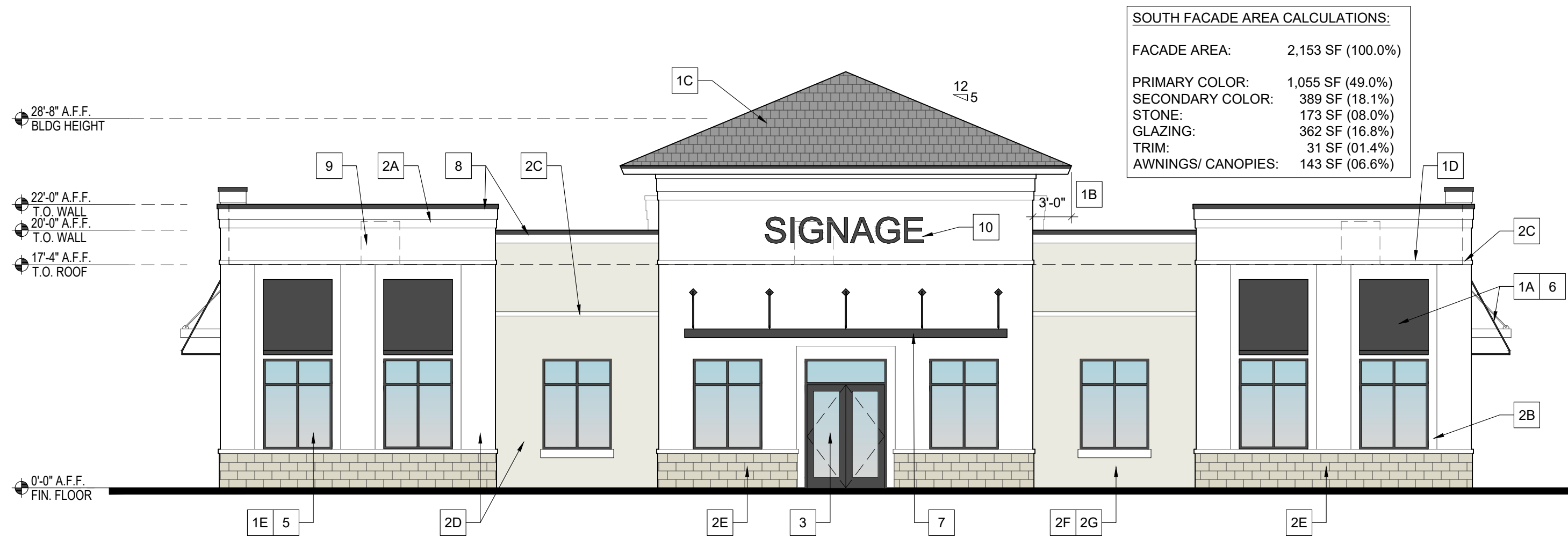


02 SOUTH VIEW



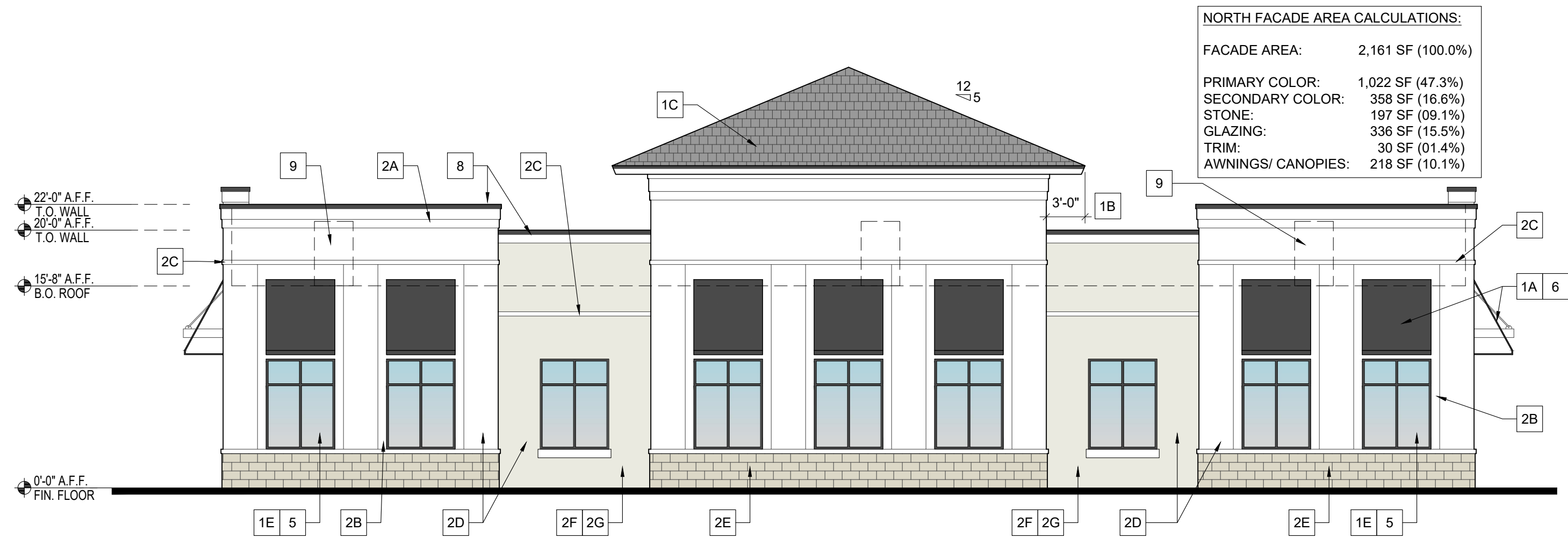
01 NORTHWEST VIEW

ARCHITECTURAL ELEMENTS		COLOR LEGEND
DESIGN TREATMENTS (SEC. 3-2.A):		PRIMARY COLOR: SW-7757 HIGH REFLECTIVE WHITE
1A CANOPIES (3-2.A.1.a)	3 PRIMARY ENTRANCE (SEC. 3-5.C): IMPACT RATED ALUMINUM STOREFRONT ENTRANCE SYSTEM W/ DARK BRONZE FRAMES AND THE FOLLOWING ELEMENTS: CANOPY (TABLE 3-5A.1) WALL PROJECTION (TABLE 3-5A.2) PEAKED ROOF FORM (TABLE 3-5A.4) OVERHANG/ EAVE (TABLE 3-5B.1) ARCHITECTURAL DETAILS (TABLE 3-5B.5)	
1B OVERHANGS (3-2.A.1.b)	4 SECONDARY, IMPACT RATED STOREFRONT DOOR W/ DARK BRONZE FRAME AND W/ ENCOURAGED TREATMENTS (SEC. 3-6B)	SECONDARY COLOR: SW-7008 ALABASTER (25% MAX. OF WALL AREA)
1C PEAKED ROOF W/ 3/8" OVERHANG & W/ LOW PROFILE CONC. ROOF TILES. TO MATCH APARTMENT BUILDING (3-2.A.3)	5 IMPACT RATED WINDOWS W/ DARK BRONZE FRAMES AND W/ ENCOURAGED TREATMENTS (SEC. 3-6B). WINDOWS ALSO EXPRESSED AS INDIVIDUAL UNITS (SEC. 3-2.A.5.b)	TRIM COLOR: DARK BRONZE (10% MAX. OF WALL AREA)
1D ARCHITECTURAL DETAILS (3-2.A.4)	6 DARK BRONZE FABRIC AWNING (SEC. 3-6C)	LOW PROFILE CONCRETE ROOF TILE: LIGHT GRAY (MATCH APARTMENT BUILDING)
1E WINDOWS EXPRESSED AS INDIVIDUAL UNITS (3-2.A.5.b)	7 DARK BRONZE ALUM. CANOPY (SEC. 3-6C)	DARK BRONZE AWNING
BUILDING FACADE (SEC. 3-3):		EXTERIOR STONE COQUINA WALL TILE (MATCH APARTMENT BUILDING)
2A CORNICES (3-3.A.1)	8 DARK BRONZE ALUM. COPING CAP (SEC. 3-3.G)	
2B WINDOW SURROUNDS (3-3.A.1)	9 ROOF MOUNTED MECHANICAL EQUIPMENT FULLY SCREENED FROM VIEW (SEC. 3-5.D)	NOTE: SEE ELEVATIONS FOR AREA CALCULATIONS
2C BANDING (3-3.A.5)	10 FUTURE SIGNAGE UNDER SEPARATE PERMIT	
2D SMOOTH STUCCO (3-3.B)		
2E COQUINA STONE VENEER (3-3.B) (MATCH APARTMENT BUILDING)		
2F RECESS GREATER THAN 12" (3-3.C)		
2G BLANK WALLS NOT EXCEEDING 10' x 20' THROUGHOUT (NOT TAGGED) (3-3.F)		



04 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



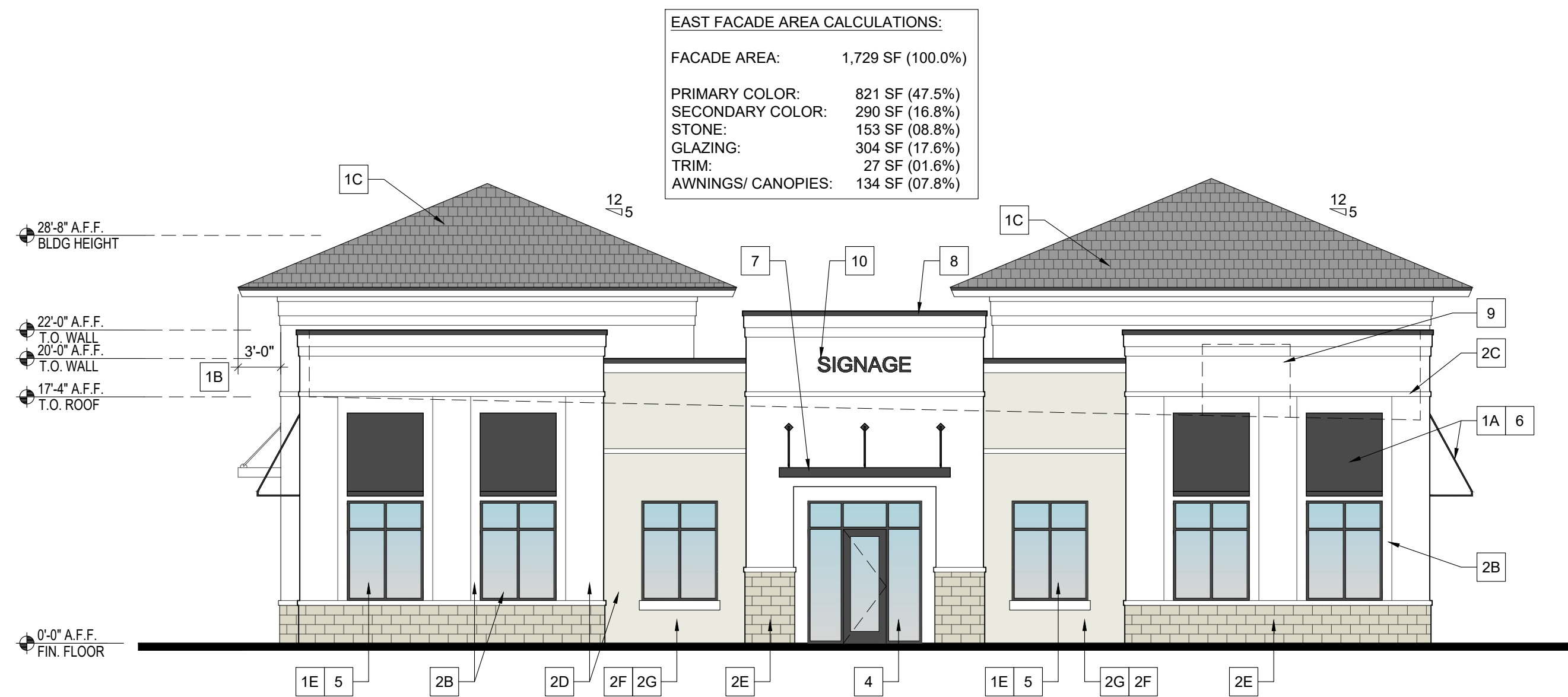
03 NORTH ELEVATION

SCALE: 1/8" = 1'-0"



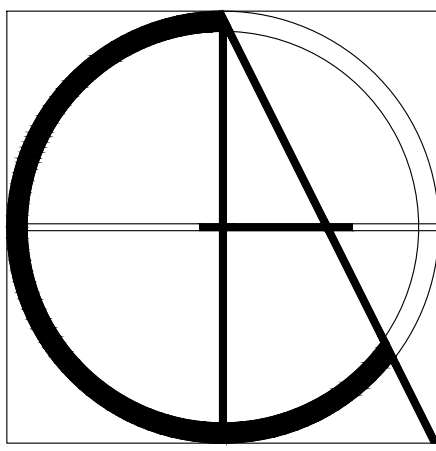
06 WEST ELEVATION

SCALE: 1/8" = 1'-0"



05 EAST ELEVATION

SCALE: 1/8" = 1'-0"



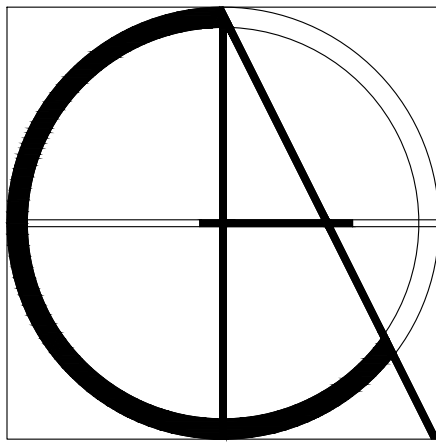
Claren Architecture + Design, Inc.

AA26002865
6400 CONGRESS AVE., SUITE 2150
BOCA RATON, FL 33487
561.961.4884New Building for:
**Northlake Promenade
Outparcel 3**
Town of Lake Park, Florida

PROJECT #	24-042
DATE	12-16-24
REV #	DATE
1	06-12-25
2	
3	
4	
5	
SHEET #	

A-1

COPYRIGHT 2024



Claren Architecture + Design, Inc.

AA26002865
6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884

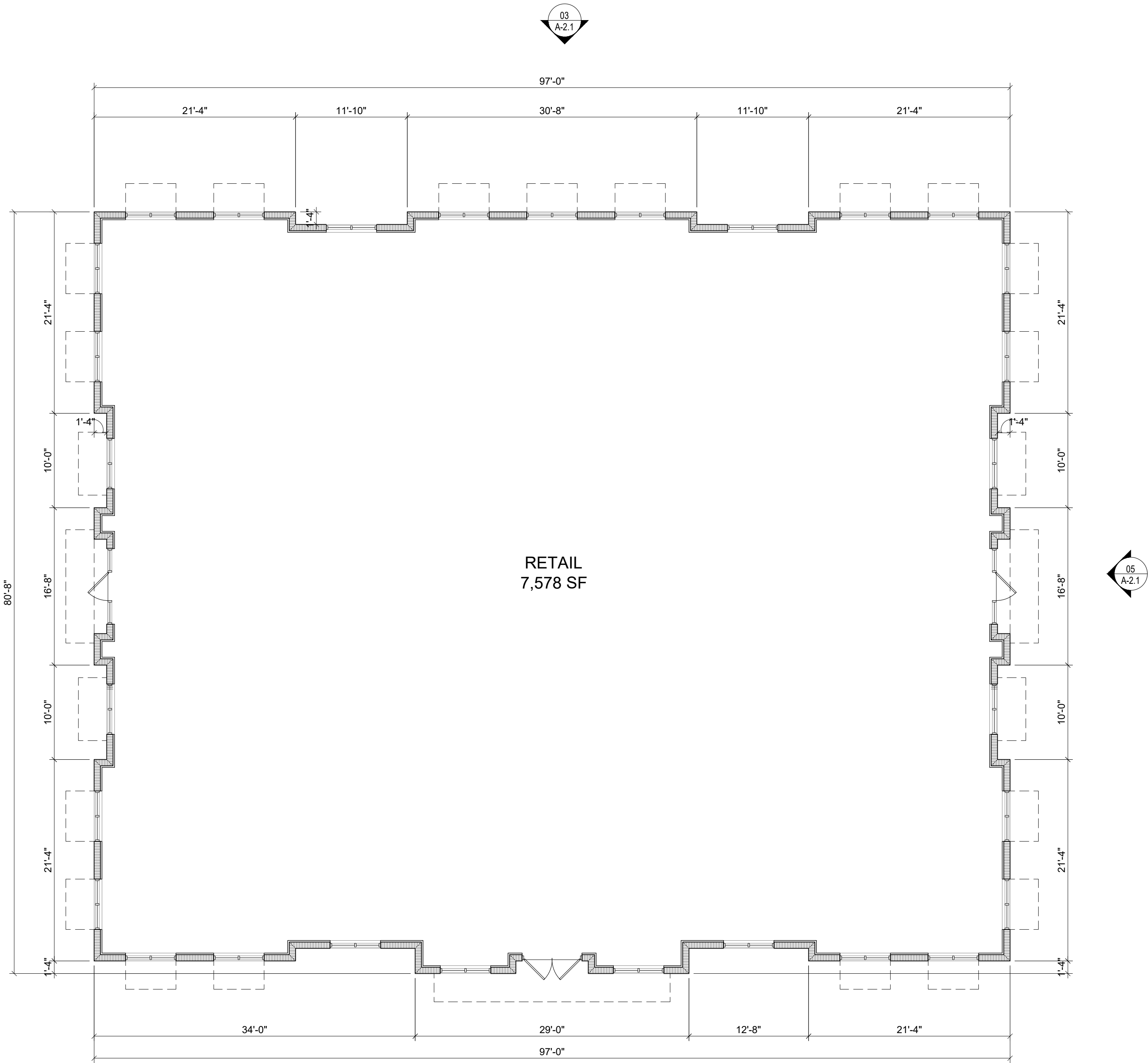
New Building for:
**Northlake Promenade
Outparcel 3**
Town of Lake Park, Florida

PROJECT #	24-042
DATE	12-16-24
REV #	DATE
△	
△	
△	
△	
△	
△	

SHEET #

A-2

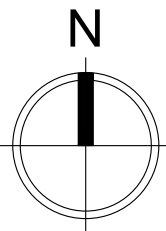
COPYRIGHT 2024



01

FLOOR PLAN

SCALE: 1/8" = 1'-0"

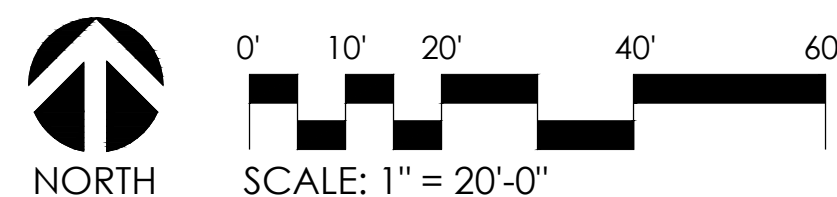




Date:	10/21/24
Scale:	1" = 20'
Design By:	JS
Drawn By:	AH
Checked By:	JS
File No.	819.01B
Job No.	16-100

Original Submittal 12/20/24
Resubmittal 04/01/25
Resubmittal 07/30/25

π-1 of 1



AMENDMENT STAMP	ZONING STAMP

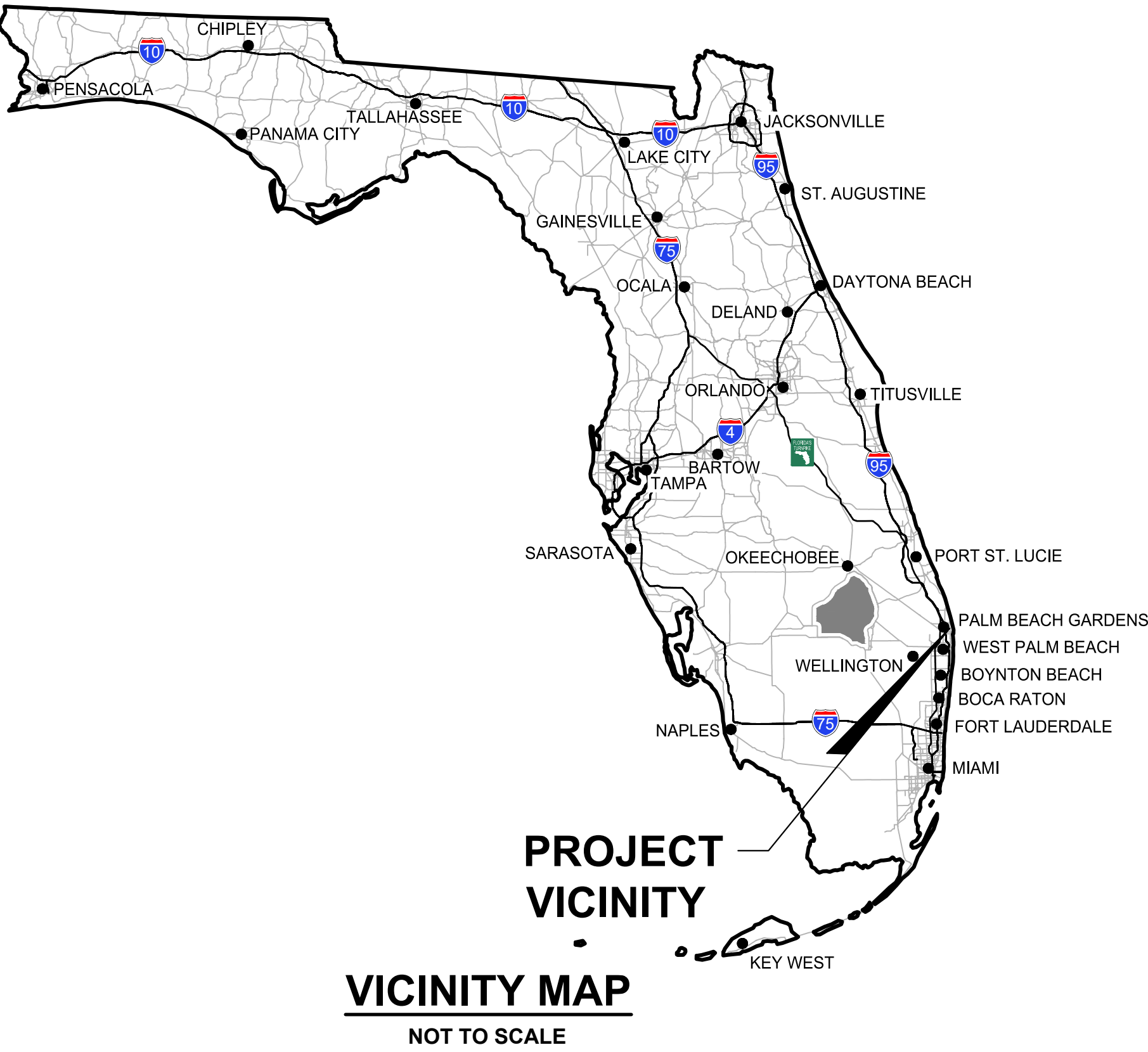
SITE DEVELOPMENT PLANS

NORTHLAKE PROMENADE

OUTPARCEL #3

SECTION 21, TOWNSHIP 42S., RANGE 43E.

TOWN OF LAKE PARK, FLORIDA



INDEX OF SHEETS

SHEET NO.:	DESCRIPTION:
1	TITLE SHEET
2	PAVING AND DRAINAGE PLAN
3-4	PAVING AND DRAINAGE DETAILS
5	POLLUTION PREVENTION PLAN
6	WATER AND WASTEWATER PLAN
7-8	WATER AND WASTEWATER DETAILS

ERIK R. COOPER
LICENSE
No. 56934
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

**SIMMONS
& WHITE**

2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
Authorization # 3452 | 561.478.7848

DESIGN J.U.	DRAWN B.L.	CHECKED	APPROVED	DATE
----------------	---------------	---------	----------	------

NORTHLAKE PROMENADE—OUTPARCEL #3

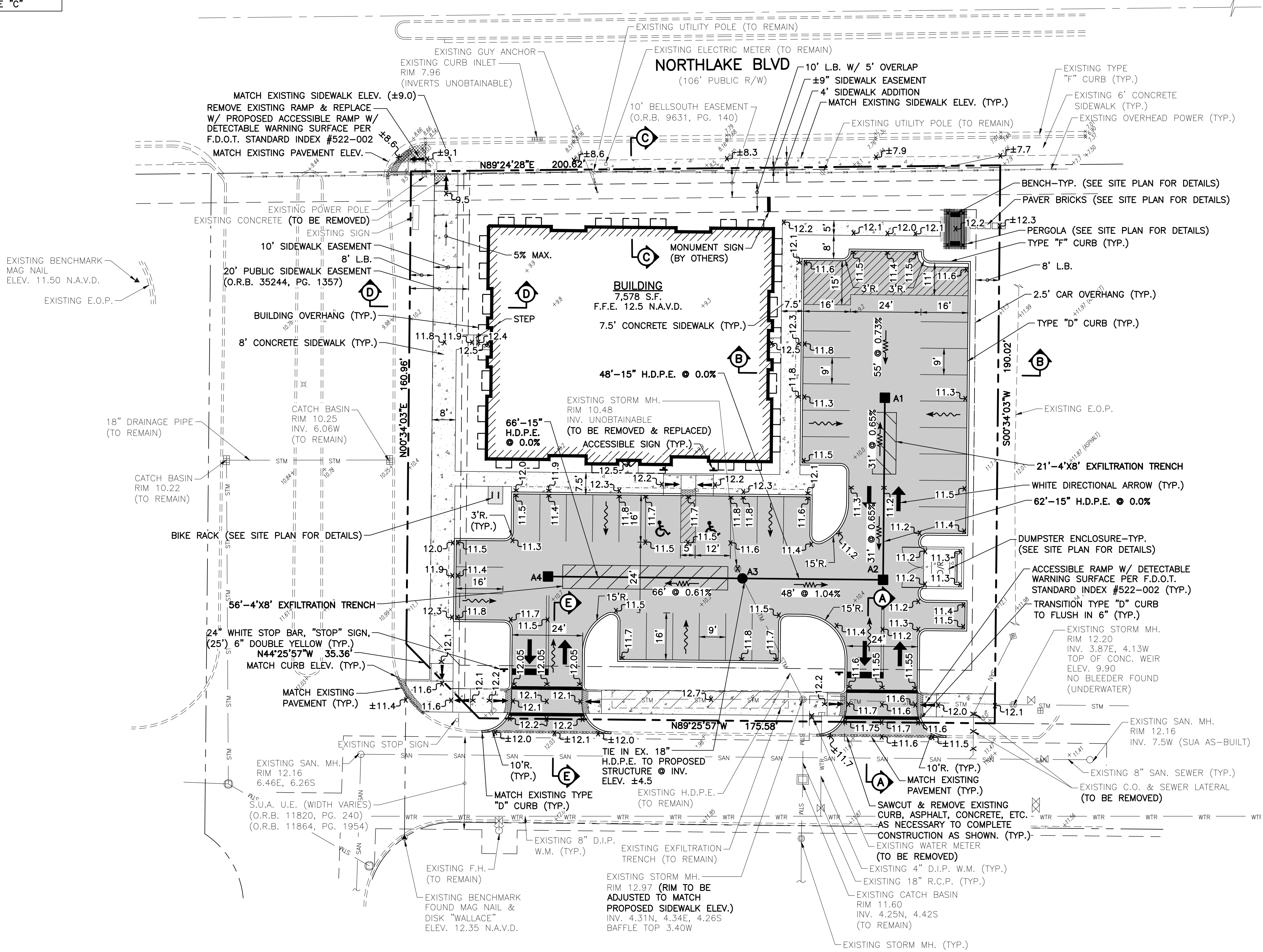
SECTION 21, TOWNSHIP 42S., RANGE 43E.

TOWN OF LAKE PARK, FLORIDA

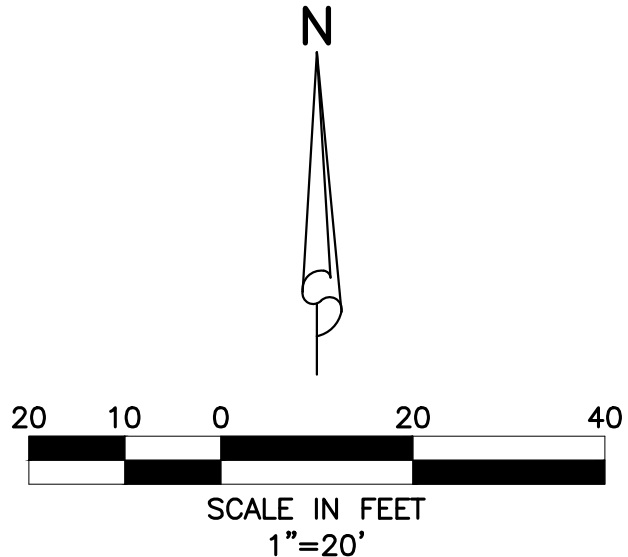
TITLE SHEET

JOB NO. 24-139	DRAWING NO. 24139S01	SHEET 1 OF 8
-------------------	-------------------------	--------------------

DRAINAGE STRUCTURE TABLE			
STR. No.	RIM ELEV.	INV. ELEV.	STRUCTURE NOTES
A1	11.0	4.5	TYPE "C"
A2	11.0	4.5	TYPE "C" W/ BAFFLE TOP @ ELEV. 7.5N
A3	11.5	4.5	4' MH. W/ BAFFLE TOP @ ELEV. 7.5W
A4	11.1	4.5	TYPE "C"



LOCATION MAP
NOT TO SCALE

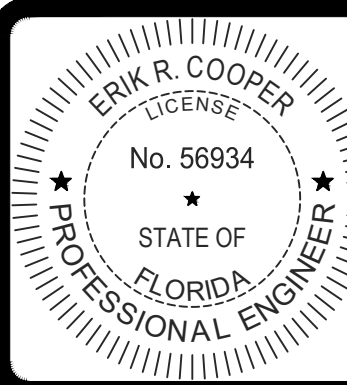


LEGEND

- A2
- STRUCTURE NUMBER (SEE DRAINAGE STRUCTURE TABLE FOR INFORMATION)
 - PROPOSED STORM SEWER AND CATCH BASIN
 - PROPOSED STORM SEWER AND MANHOLE
 - DIRECTION OF FLOW
 - DIRECTION OF SWALE
 - PROPOSED GRADE ELEVATION
 - EXISTING GRADE ELEVATION
 - ASPHALT PAVEMENT (ASPHALT OR CONCRETE, SEE SHEET 4 FOR SPECIFICATIONS)
 - CONCRETE
 - DECORATIVE PAVEMENT/BRICK PAVERS
 - DETECTABLE WARNING SURFACE
 - SAWCUT & REMOVE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
 - 4'X8' EXFILTRATION TRENCH W/ 6" P.V.C. VENT
 - WHITE DIRECTIONAL ARROW
 - BIKE RACK (SEE SITE PLAN FOR DETAILS)
 - 24" WHITE STOP BAR, "STOP" SIGN & (25') 6" DOUBLE YELLOW STRIPING W/ BI-DIRECTIONAL AMBER R.P.M.'S
 - EXISTING OVERHEAD POWER LINE & POWER POLE
 - STM - EXISTING STORM DRAINAGE PIPE (TO REMAIN)
 - WTR - EXISTING WATER MAIN (TO REMAIN)
 - SAN - EXISTING SEWER MAIN (TO REMAIN)
 - FM - EXISTING FORCE MAIN (TO REMAIN)
 - X-X-X - EXISTING STORM DRAINAGE PIPE (TO BE REMOVED)
 - X-X-X - EXISTING WATER MAIN (TO BE REMOVED)
 - X-X-X - EXISTING SEWER MAIN (TO BE REMOVED)
 - X-X-X - EXISTING FORCE MAIN (TO BE REMOVED)

48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST. LUCIE • MARTIN COUNTIES
1-800-432-4770
SUNSHINE STATE 1 CALL
UNDERGROUND UTILITIES
NOTIFICATION CENTER

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING (561) 640-4551.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

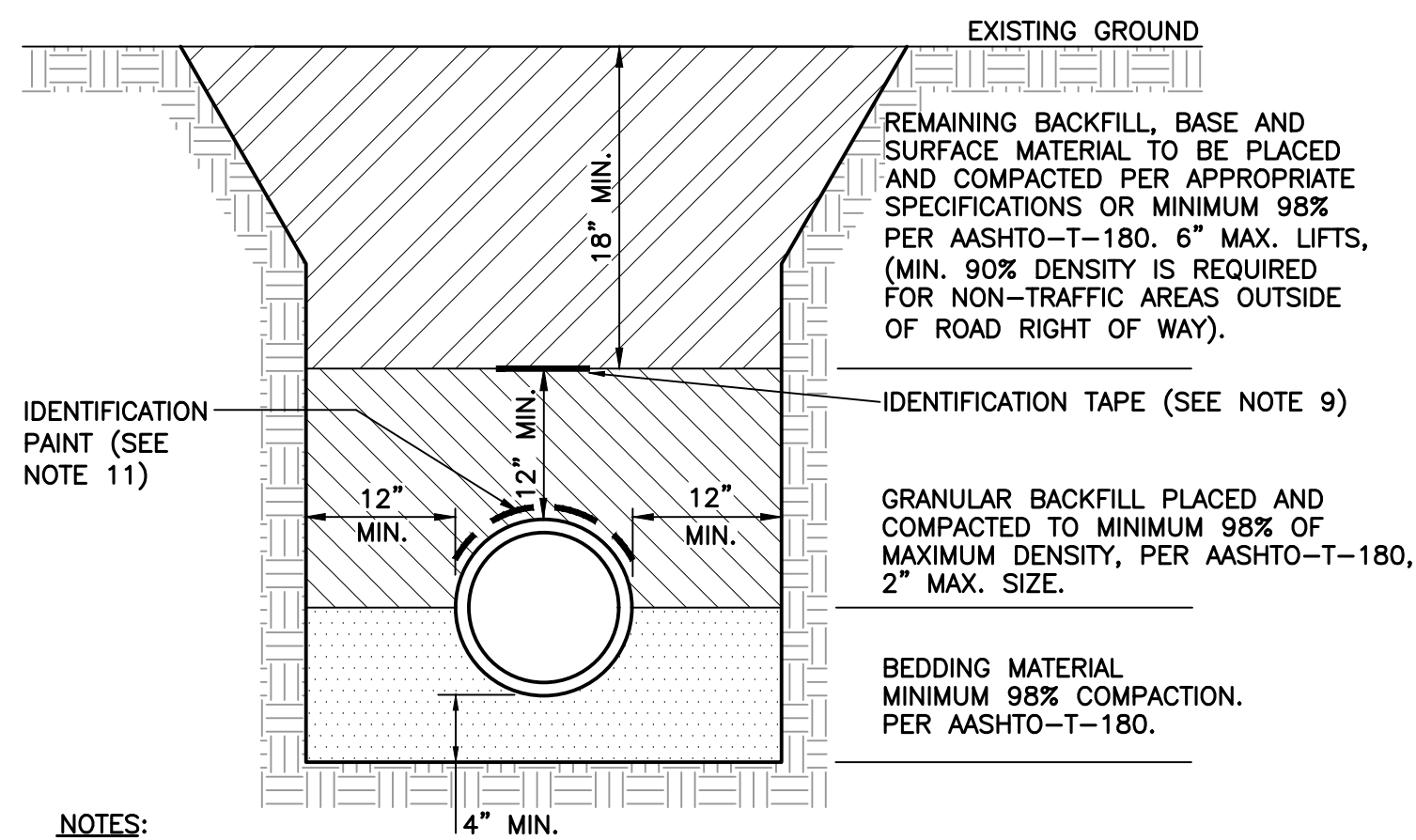


NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
PAVING AND DRAINAGE PLAN

REVISIONS

DESIGN	DRAWN	CHECKED	APPROVED	DATE
J.U.	B.L.			

JOB NO.	DRAWING NO.	SHEET	OF
24-139	24139S02	2	8

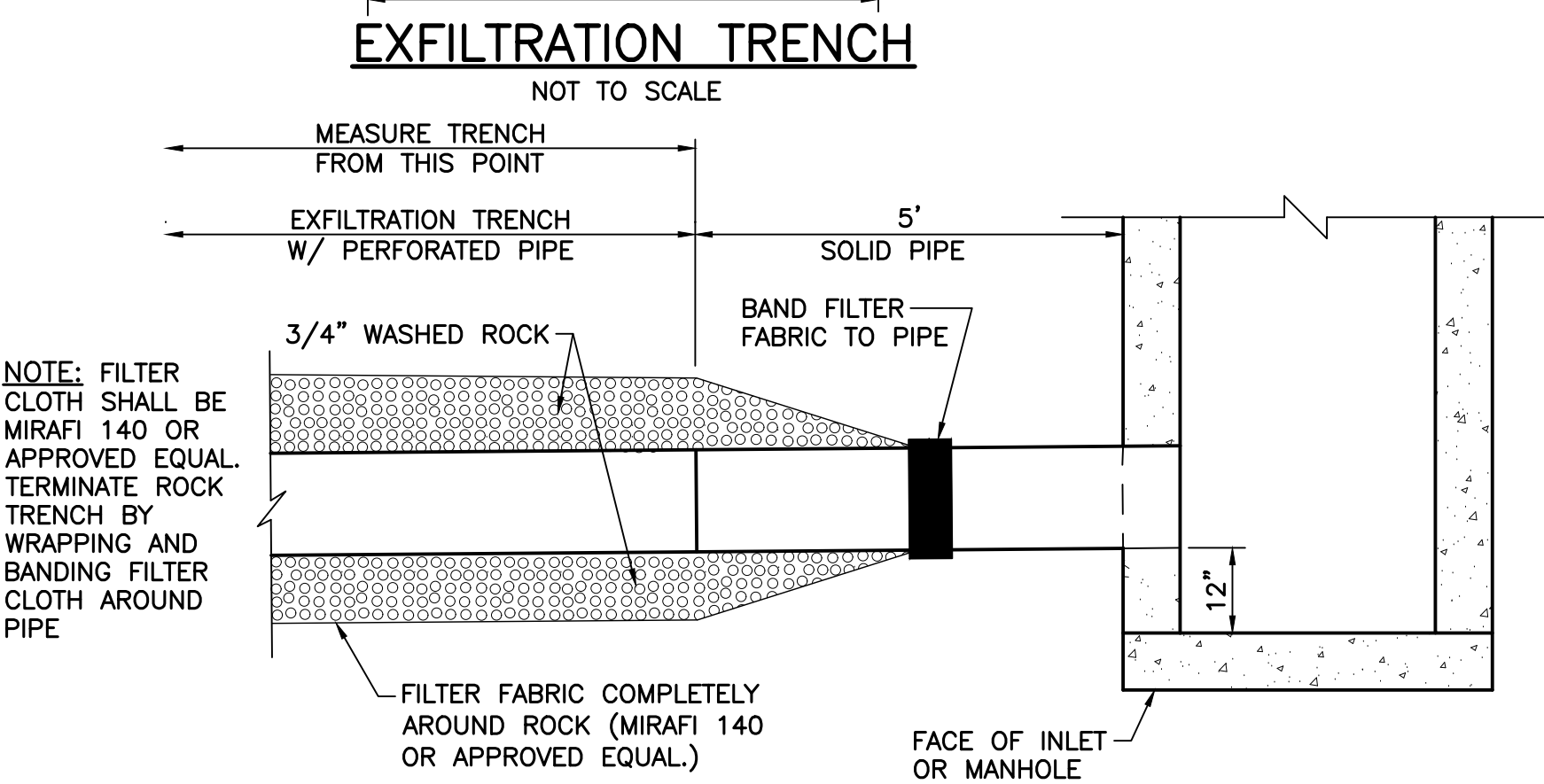
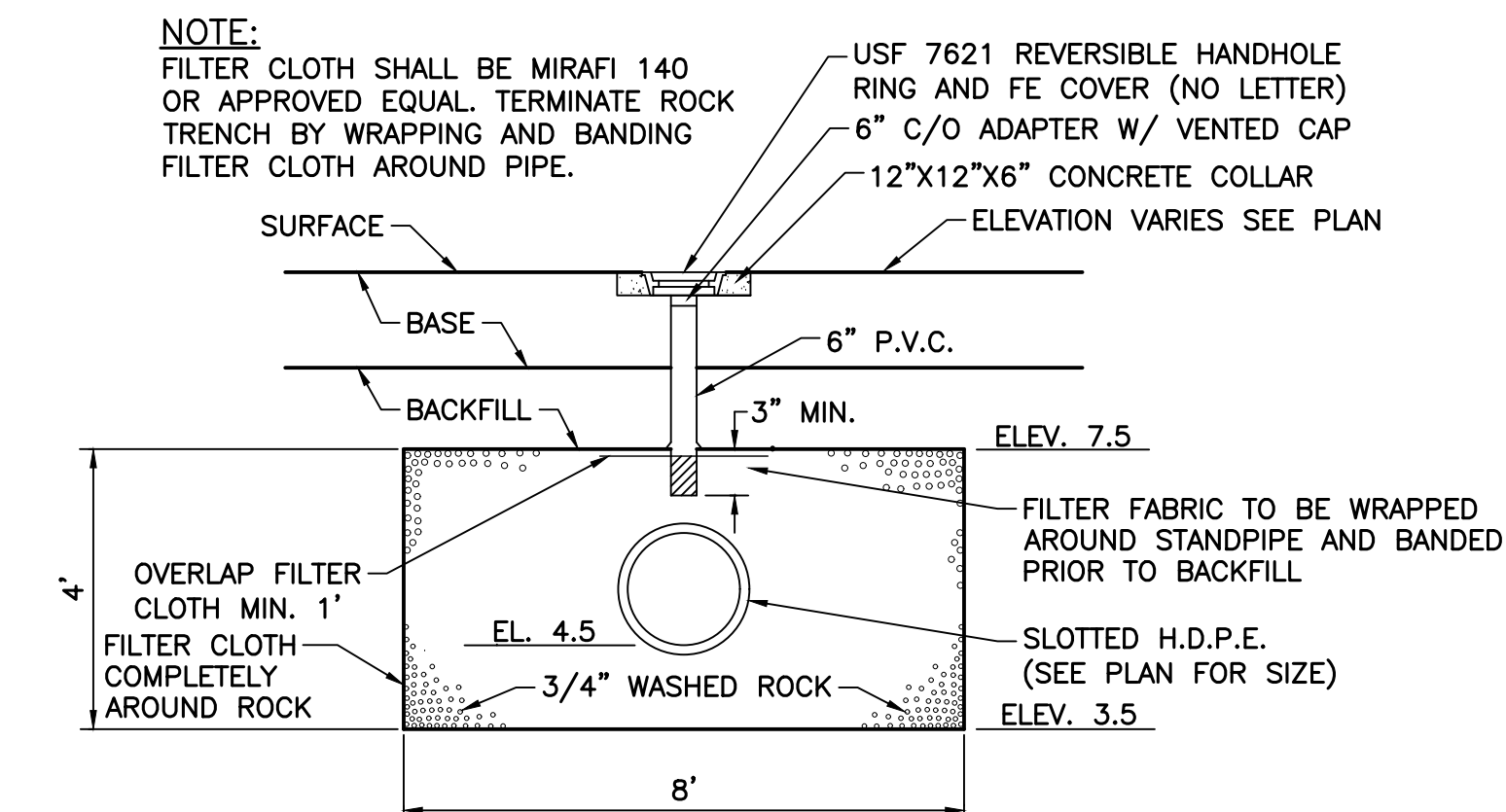


NOTES:

- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL ADEQUACY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
- THE PIPE SHALL BE FULLY SUPPORTED FOR ITS ENTIRE LENGTH WITH APPROPRIATE COMPACTION UNDER THE PIPE HAUNCHES.
- THE PIPE SHALL BE PLACED IN A DRY TRENCH.
- BACKFILL SHALL BE FREE OF UNSUITABLE MATERIAL SUCH AS LARGE ROCK, MUCK AND DEBRIS.
- DENSITY TESTS ARE TAKEN IN 1 FOOT LIFTS ABOVE THE PIPE AT INTERVALS OF 400' MAXIMUM, (MINIMUM 1 SET) OR AS DIRECTED BY THE CONSTRUCTION COORDINATION DIVISION. RESULTS SHALL BE SUBMITTED TO CONSTRUCTION COORDINATION AS PART OF THEIR FIELD REVIEW.
- THE PERMITTEE/DEVELOPER/CONTRACTOR SHALL BE RESPONSIBLE TO COMPLY WITH ALL TRENCH SAFETY LAWS AND REGULATIONS.
- SEE SEPARATE DETAIL FOR PAVED AREAS (OPEN CUT FOR THOROUGHFARE AND NON-THOROUGHFARE ROADS).
- THE AFFECTED AREA SHALL BE RESTORED TO EQUAL OR BETTER CONDITION OR AS SPECIFIED IN PERMIT/CONTRACT DOCUMENTS.
- APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 18" BELOW FINISHED GRADE.
- ROOT BARRIER IS REQUIRED FOR APPROVED PIPE INSTALLATION CLOSER THAN 10 FEET FROM AN EXISTING TREE. SEE SEPARATE DETAIL FOR ROOT BARRIER.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DIP/PCOP WATER MAINS (BLUE), DIP SANITARY FORCE MAINS (GREEN), DIP RECLAIMED WATER MAINS (PURPLE), GAS MAINS (YELLOW), OR AS REQUIRED BY THE APWA.
- PERMANENT ABOVE GROUND UTILITY MARKER SHALL BE INSTALLED IF REQUIRED.

TYPICAL TRENCH DETAIL (NON-PAVED AREAS)

NOT TO SCALE



CONSTRUCTION PROCEDURES

THE BACKFILL FOR THE FIRST AND SECOND STAGES SHALL BE PLACED IN 6" LAYERS (COMPACTED THICKNESS) AND SHALL BE COMPACTED TO 100% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.

STAGE 1:

THE CONTRACTOR SHALL PROVIDE ADEQUATE COMPACTED FILL BENEATH THE HAUNCHES OF THE PIPE, USING MECHANICAL TAMPS SUITABLE FOR THIS PURPOSE. THIS COMPACTION APPLIES TO THE MATERIAL PLACED BENEATH THE HAUNCHES OF THE PIPE AND ABOVE ANY BEDDING REQUIRED.

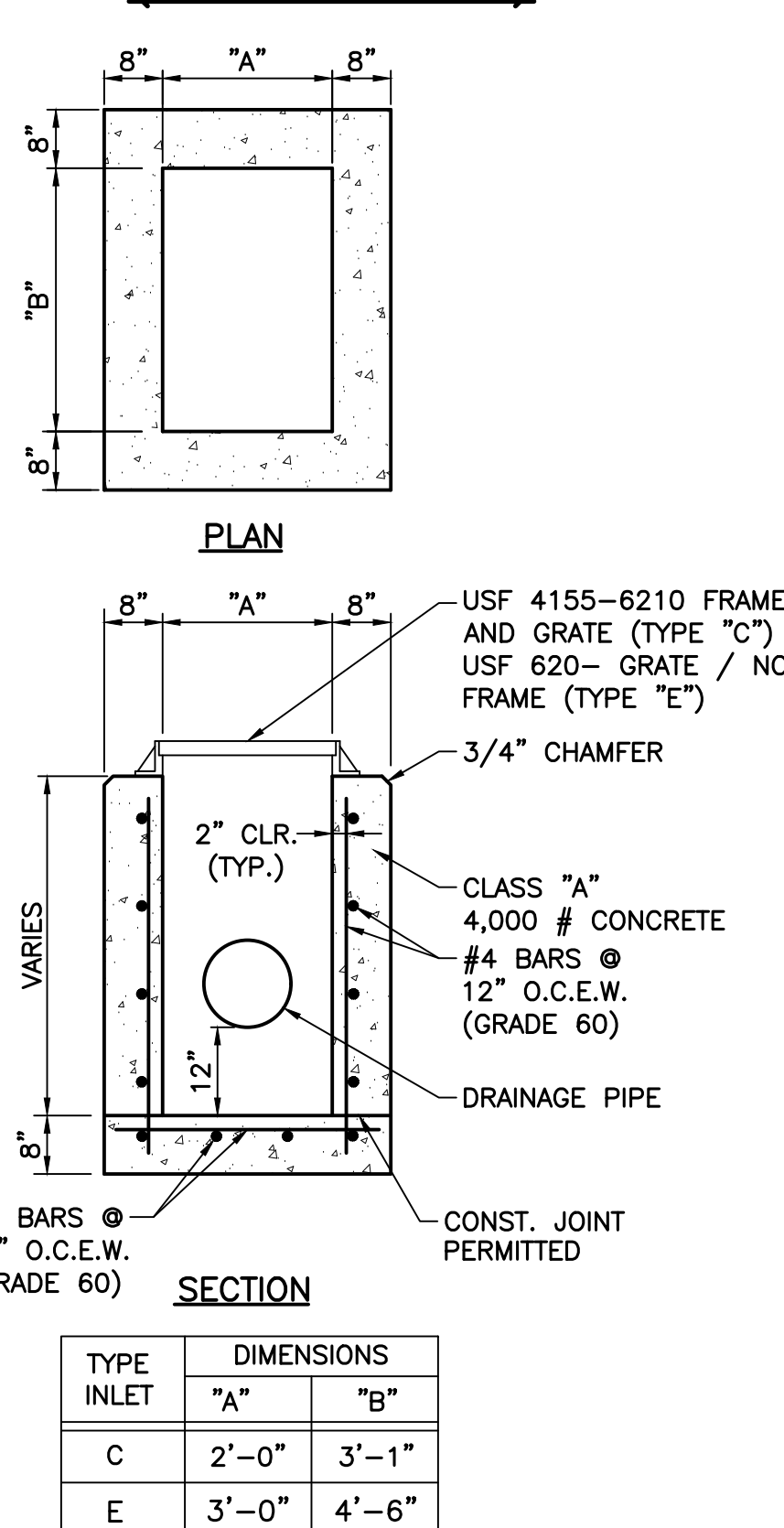
STAGE 2:

THE CONTRACTOR SHALL OBTAIN A WELL-COMPACTED BED AND FILL ALONG THE SIDES OF THE PIPE AND TO A POINT INDICATING THE TOP OF SUB-GRADE MATERIAL.

NOTES

- BEDDING SHALL CONSIST OF IN-SITU GRANULAR MATERIAL OR WASHED AND GRADED LIMEROCK 3/8" - 7/8" SIZING WITH EQUAL OR GREATER STRUCTURAL ADEQUACY AS EXISTING. UNSUITABLE IN-SITU MATERIALS SUCH AS MUCK, DEBRIS AND LARGER ROCKS SHALL BE REMOVED.
- REPLACED BASE MATERIAL OVER DITCH SHALL BE 16" LIMEROCK (LBR100) MINIMUM FOR THOROUGHFARE PLAN ROADS. ANY ALTERNATE BASE MATERIAL REQUESTED BY THE ENGINEER OF RECORD REQUIRES APPROVAL BY THE ROADWAY PRODUCTION DIVISION.
- ASPHALT CONCRETE PAVEMENT JOINTS SHALL BE MECHANICALLY SAWED AND BUTT-JOINTED.
- BASE MATERIAL (PER ROADWAY PRODUCTION DESIGN STANDARDS) SHALL BE PLACED IN TWO OR THREE LAYERS (6" MAX. PER LAYER) AND EACH LAYER THOROUGHLY ROLLED OR TAMPED TO THE SPECIFIED DENSITY. (MINIMUM 98% AASHTO T-180).
- 1" FRICTION COURSE FC-9.5 OVER 1-1/2" TYPE SP STRUCTURAL COURSE (TRAFFIC LEVEL C) WITH TACK COAT AT 0.05 GAL/SY AND RC-70 TO 12.5 STRUCTURAL COURSE ASPHALT SHALL BE INSTALLED, PROPERLY MATCHING THE EXISTING GRADING OF THE ROADWAY. THE TEMPORARY PATCH SHALL BE ALLOWED TO REMAIN IN PLACE AND BE MAINTAINED FOR A PERIOD NO LONGER THAN 45 DAYS. THE COUNTY RETAINS THE RIGHT TO USE POSTED SURETY TO COMPLETE ANY RESTORATION WORK THAT HAS NOT BEEN COMPLETED IN THE 45 DAY PERIOD. ALTERNATIVE TEMPORARY TRENCH PROTECTION (STEEL PLATES OR OTHERS) MAY BE APPROVED BY THE CONSTRUCTION COORDINATION DIVISION.
- FOR FINAL RESTORATION (INCLUDES THE PATCHED/SURFACE REPLACEMENT AREA OVER THE TRENCH), THE ROAD SHALL BE MILLED/RESURFACED PER NOTE 5 ABOVE FOR A FULL LANE WIDTH OF THE TRAVEL LANES ENCLOSED BY THE TRENCH AREA, INCLUDING A TRANSITION AREA OF 50 FT ON EACH SIDE MEASURED FROM TOP OF TRENCH.
- APPROVED MAGNETIC TAPE IS REQUIRED FOR ALL MAIN PRESSURE PIPES AND CONDUIT IN THE COUNTY'S RIGHT-OF-WAY. INSTALL TAPE 24" BELOW FINISHED GRADE.
- CONTINUOUS 4" WIDE PAINT STRIPING IS REQUIRED FOR DIP/PCOP WATER MAINS (BLUE), SANITARY MAINS (GREEN), DIP RECLAIMED WATER MAINS (PURPLE), GAS MAINS (YELLOW), OR AS REQUIRED BY THE APWA.

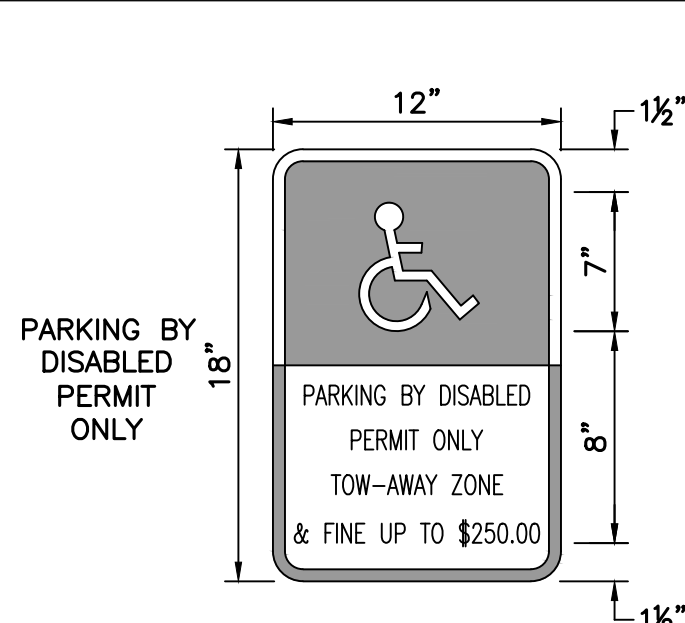
OPEN CUT DETAIL FOR THOROUGHFARE ROADS (PAVED AREAS)



STANDARD TYPE "C" & "E" INLET

NOT TO SCALE

TYPE INLET	DIMENSIONS	
	"A"	"B"
C	2'-0"	3'-1"
E	3'-0"	4'-6"



NOTES:

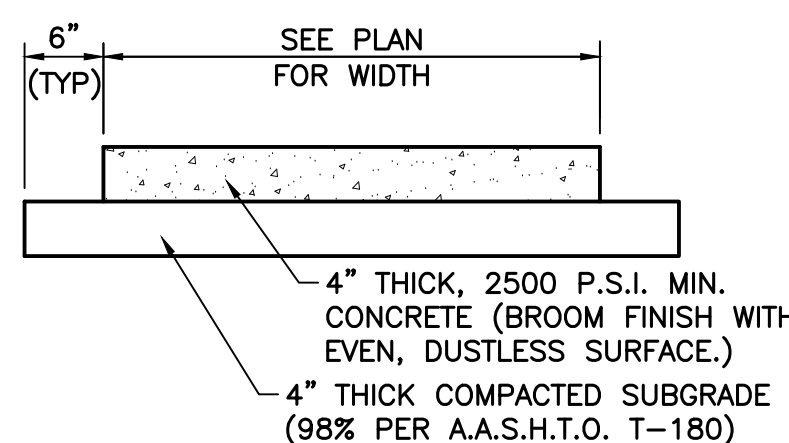
- ALL LETTERS ARE 1" SERIES "C".
- TOP PORTION TO BE REFLECTORIZED BLUE BACKGROUND WITH WHITE REFLECTORIZED LEGEND AND BORDER.
- BOTTOM PORTION TO BE REFLECTORIZED WHITE BACKGROUND WITH BLACK OPAQUE LEGEND AND BORDER.

ACCESSIBLE SIGN DETAIL

NOT TO SCALE

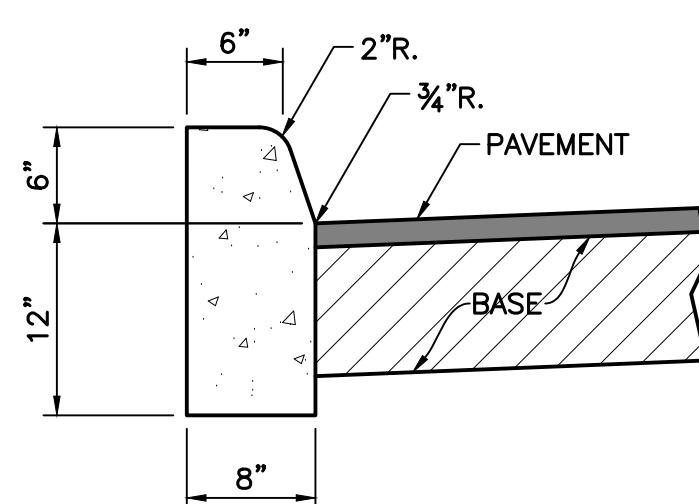
NOTES:

SIGNAGE AND STRIPING TO BE CONSTRUCTED IN ACCORDANCE WITH PALM BEACH COUNTY ORDINANCE NO. 85-42



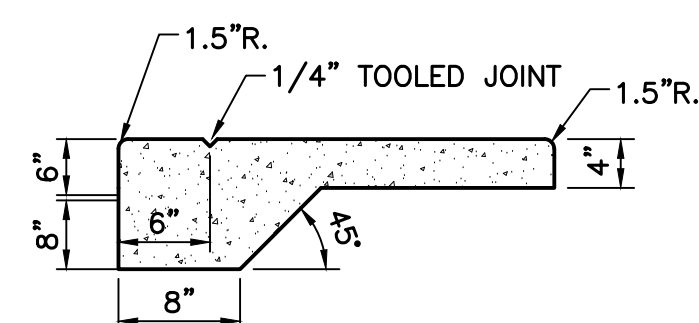
TYPICAL SIDEWALK DETAIL

NOT TO SCALE



TYPE "D" CURB

NOT TO SCALE



RAISED SIDEWALK DETAIL

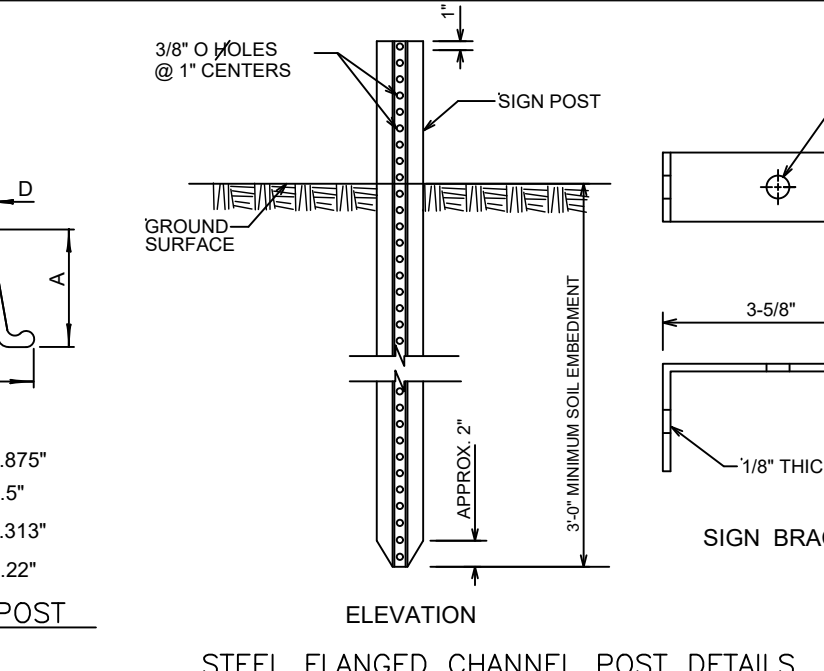
NOT TO SCALE



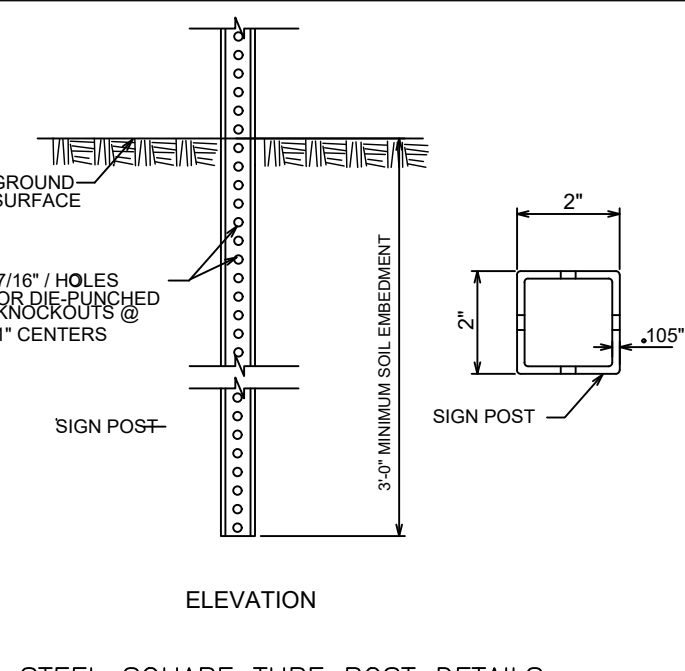
ISOMETRIC VIEW

GENERAL SPECIFICATIONS:

FLAT BLADE: ALCOA #86054-6063-T6 ALLOY, ETCHED, DEGREASED WITH #1200 ALDINE FINISH WITH #3877 GREEN DIAMOND GRADE BACKGROUND AND EQUAL DIMENSIONS - 9" & 12" MIN. H. 24", 30", 36" AND 42" L.
LETTERS: NAME - 6" UPPERCASE WITH 4.5" LOWERCASE & 9" UPPERCASE WITH 6.75" LOWERCASE. SERIES "B" #3870 DIAMOND GRADE (SILVER) OR EQUAL - SUFFIX - 4.5"
POST: STEEL FLANGED CHANNEL POST 3 LBS. PER FOOT WITH BAKED GREEN ALKYD OR GALVANIZED FINISH PER A.S.T.M. -A-123 WITHOUT ANCHOR PLATES. SQUARE POST PER FOOT INDEX 700-010.
BRACKETS SHALL BE ATTACHED FIRMLY ON STANDARD SQUARE TUBE OR U-CCHANNEL POSTS BY MEANS OF (2) 3/8" DIAMETER HEX HEAD BOLTS.
STOP SIGN: R1-1 MUTCD - DIAMOND GRADE
LOCATION: ONE PER INTERSECTION AS INDICATED ON THE PLANS.
POLICY:
9" BLADES WITH 6" UPPER CASE WITH 4.5" LOWERCASE LETTERS FOR TWO LANE ROADS WITH A SPEED LIMIT UNDER 45 MPH
12" BLADES WITH 9" UPPERCASE WITH 6.75" LOWERCASE LETTERS FOR:
- THOROUGHFARE ROADS FOUR LANES OR WIDER
- TWO LANE ROADS WITH A POSTED SPEED LIMIT OF 45 MPH OR MORE.
ONLY ONE BLADE WILL BE INSTALLED AT INTERSECTION WITH THOROUGHFARE ROAD INDICATING THE SIDE STREET NAME.



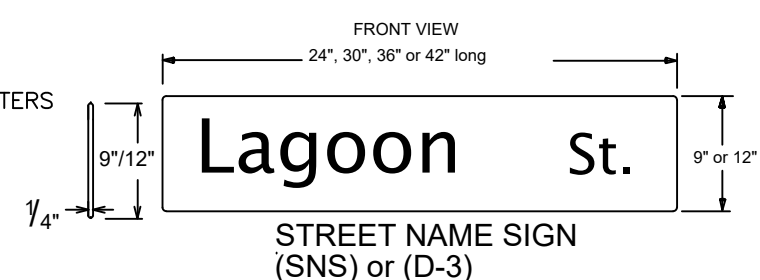
STEEL FLANGED CHANNEL POST DETAILS



STEEL SQUARE TUBE POST DETAILS

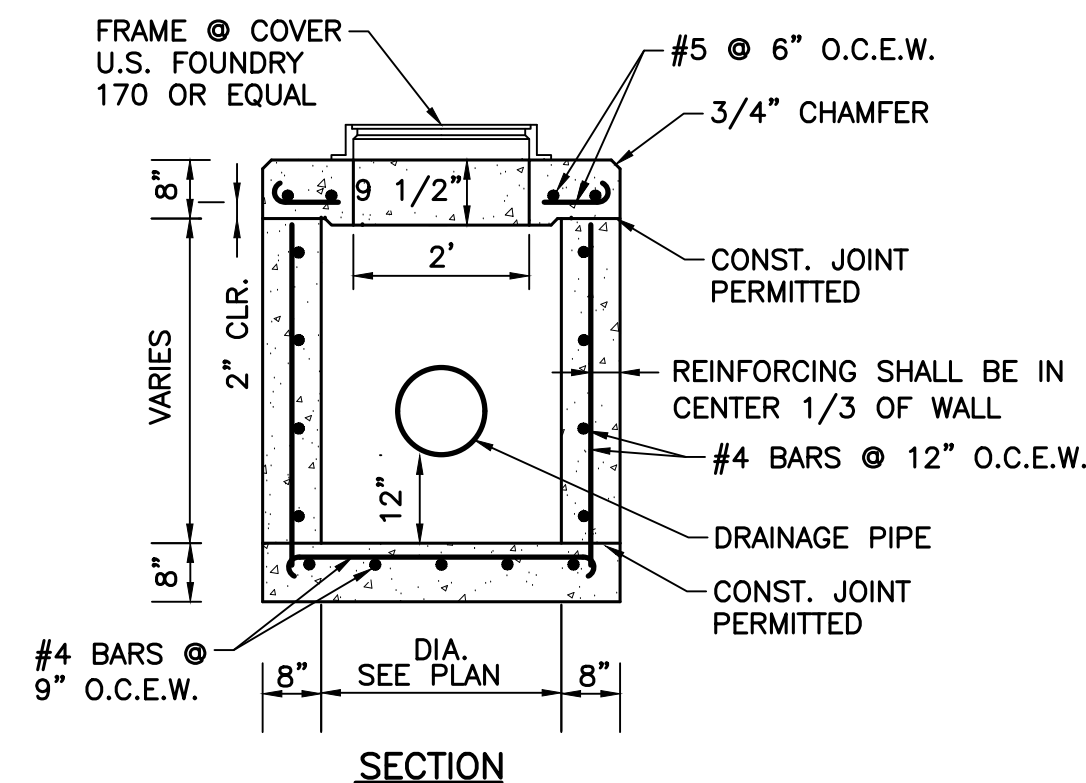


TYPICAL STOP SIGN PLACEMENT



STREET NAME SIGN WITH STOP SIGN

NOT TO SCALE

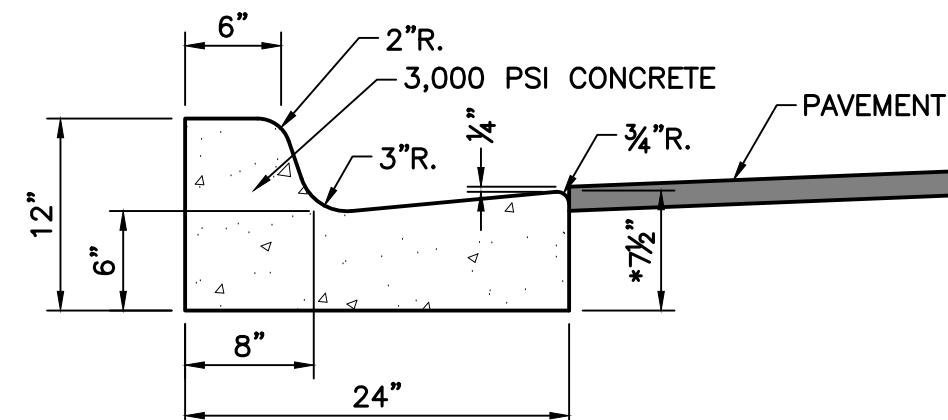


STANDARD MANHOLE

NOT TO SCALE

INLET AND MANHOLE NOTES

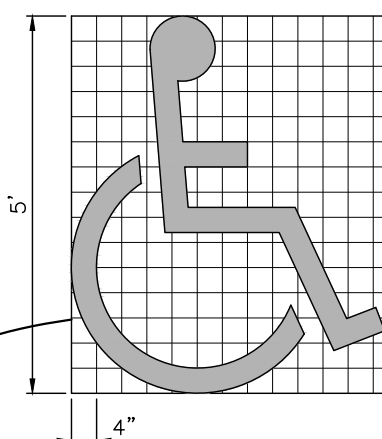
- ALL EXPOSED CORNERS AND EDGES SHALL BE CHAMFERED 3/4".
- INLETS AND MANHOLES SHALL BE PRECAST CLASS "A" 4,000 P.S.I. CONCRETE.
- FRAMES AND GRATES SHALL BE CAST IRON AND IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS.
- REINFORCING STEEL SHALL CONFORM TO A.S.T.M. 615 GRADE 60.
- INLET GRATES SHALL BE U.S. FOUNDRY DWG. OR EQUAL (USF 4155-6210 TYPE "C", USF 6290 TYPE "E") TYPE "E" GRATE CAST IN TWO SECTIONS.
- SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER.



*NOTE: WHEN USED ON HIGH SIDE OF ROADWAY, THE CROSS-SLOPE OF THE GUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON PLANS

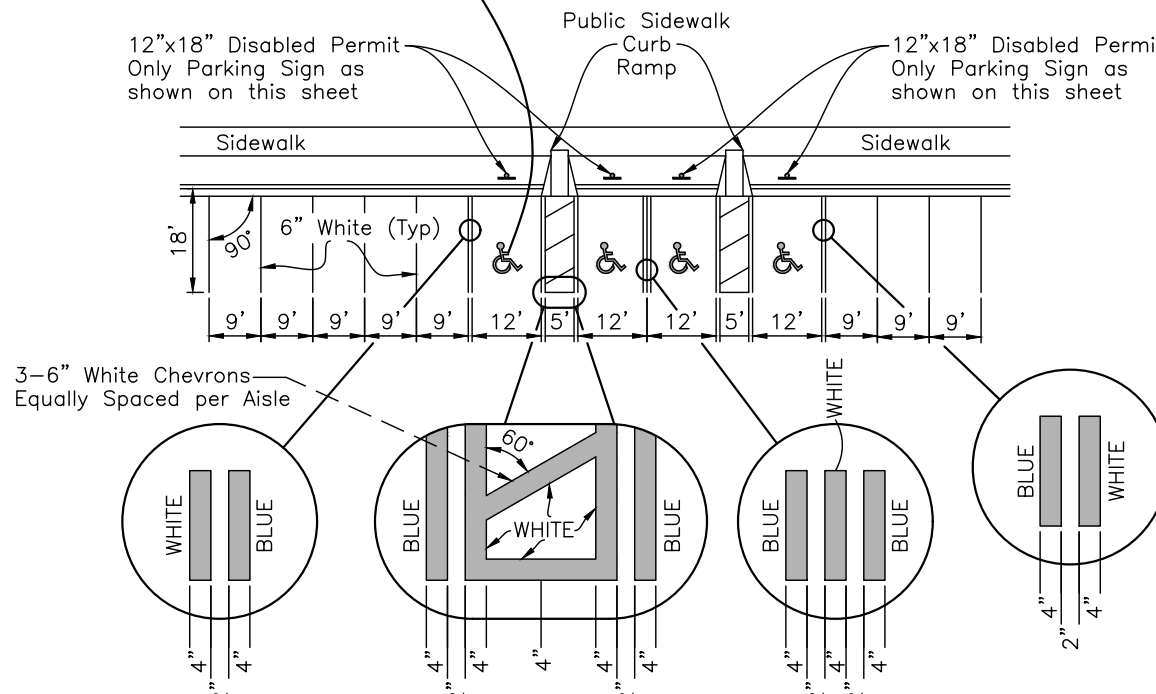
TYPE "F" CURB

NOT TO SCALE



Pavement symbol in accessible parking spaces shall be 5' high and white in color.

UNIVERSAL SYMBOL OF ACCESSIBILITY

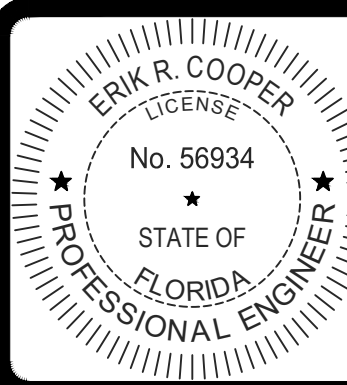


NOTES:
1. Dimensions are to the centerline of markings.
2. Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
3. Blue pavement markings shall be tinted to match shade 15180 of Federal Standards 599a.

PAVEMENT MARKING FOR PUBLIC SIDEWALK CURB RAMPS

TYPICAL PARKING SPACES

NOT TO SCALE



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



SIMMONS & WHITE
2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
Authorization # 3452 | 561.478.7848

NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
PAVING AND DRAINAGE DETAILS

REVISIONS

DESIGN
J.U.DRAWN
B.L.

CHECKED

APPROVED

DATE

JOB NO.
24-139DRAWING NO.
24139S03SHEET
3 OF 8

- a. ROADS - MAXIMUM SPACING = 500 L.F.
 - b. PARKING LOT - MAXIMUM SPACING = 6,000 S.F.
2. ASPHALT THICKNESS
- a. ROADS - MAXIMUM SPACING = 600 L.F.
 - b. PARKING LOT - MAXIMUM SPACING = 2,000 S.Y.

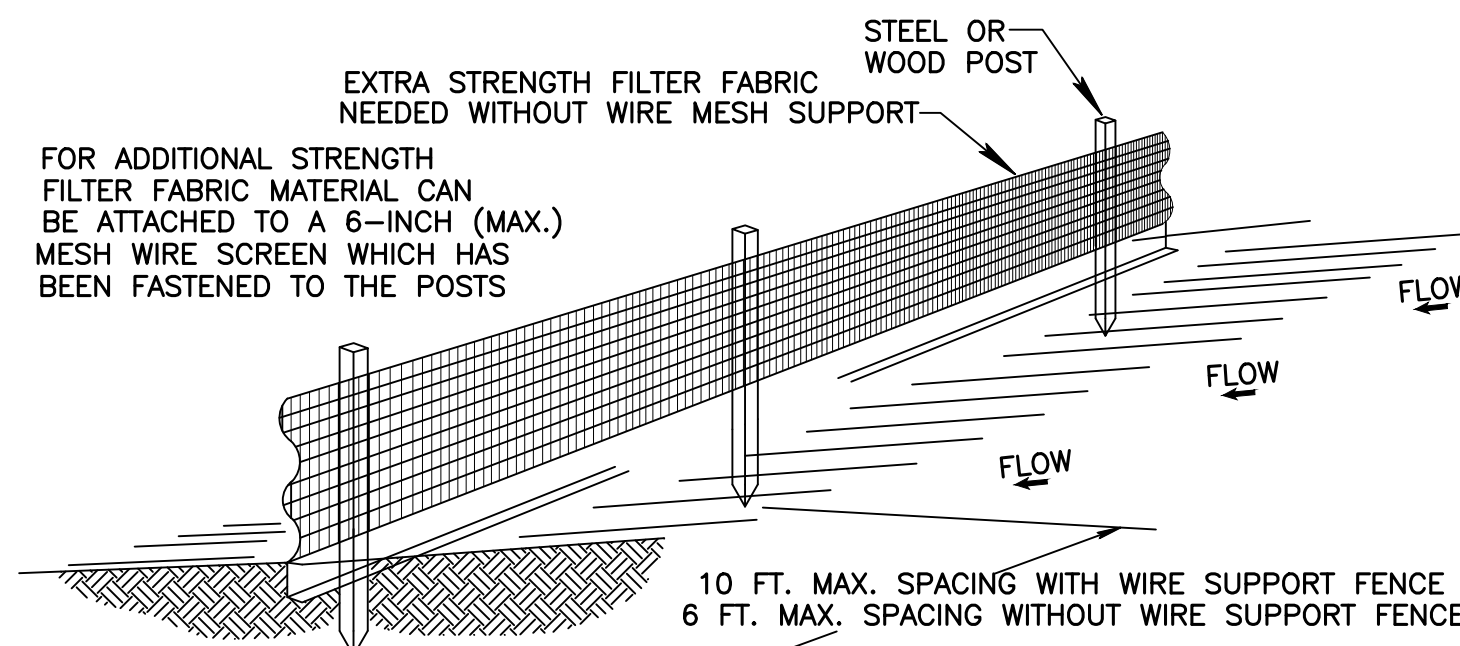
3. BASE - CHEMICAL AND SIEVE ANALYSIS, FROM SUPPLIER/PIT (DOT CERTIFICATION)

- | MINIMUM SPACING REQUIREMENTS: | |
|-------------------------------|------------------|
| DEPTH OF CUT | SPACING OF TESTS |
| 0 - 6' | 1 PER 300 L.F. |
| 6 - 9' | 2 PER 300 L.F. |
| 9 - 12' | 3 PER 300 L.F. |
| 12 - 15' | 4 PER 300 L.F. |
| 15 - 18' | 5 PER 300 L.F. |

ERIK R. COOPER
LICENSE
No. 56934
★
STATE OF
FLORIDA
PROFESSIONAL ENGINEER

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

JOB NO. 24-139	DRAWING NO. 24139S04	SHEET 4 OF 8
-------------------	-------------------------	--------------



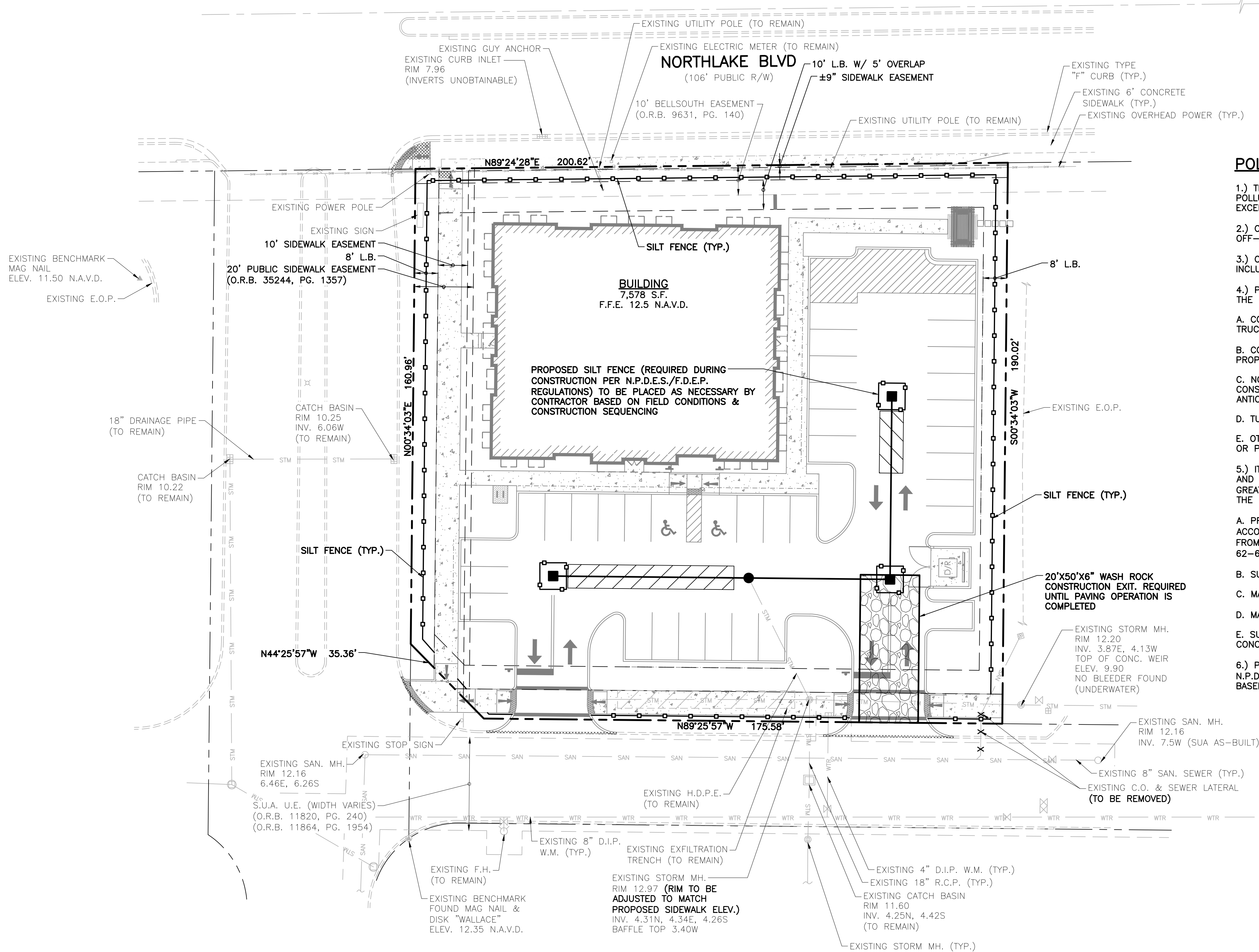
SILT FENCE INSTALLATION DETAIL
NOT TO SCALE.

SILT FENCE NOTES:

- 1.) THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- 2.) THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- 3.) POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- 4.) A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- 5.) WHEN STANDARD STRENGTH FILTER FABRIC IS USED. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 6.) THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 7.) THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- 8.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS AND CONSTRUCTION SEQUENCING.

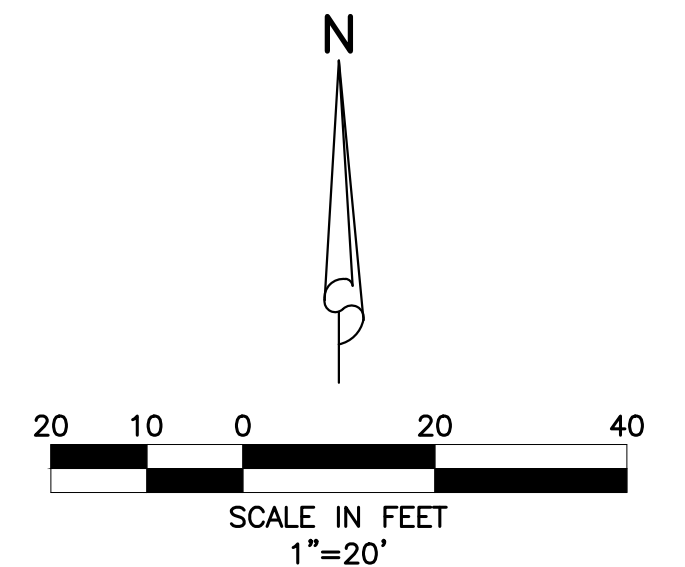


LOCATION MAP
NOT TO SCALE



POLLUTION PREVENTION NOTES:

- 1.) THIS PLAN SHOULD BE USED AS A GUIDE, A COMPLETE STORMWATER POLLUTION PLAN SHOULD BE DEVELOPED BY THE CONTRACTOR TO MEET OR EXCEED F.D.E.P. REQUIREMENTS.
- 2.) CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO DIRT BE TRACKED OFF-SITE OR LEAVES THE SITE BY WIND, RUNOFF, OR OTHER MEANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL N.P.D.E.S. REQUIREMENTS INCLUDING FILING OF N.O.I., MONITORING REPORTS AND N.O.T.
- 4.) POLLUTION PREVENTION MEASURES SHALL CONSIST OF, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. CONSTRUCT WASHROCK PAD AT ALL POINTS EGRESS FOR WASHDOWN OF TRUCK TIRES.
 - B. CONSTRUCT EROSION CONTROL FENCE AND/OR TURBIDITY SCREENS ALONG PROPERTY LINES AS NEEDED.
 - C. NO AREA SHALL BE LEFT BARREN OR SUBJECT TO EROSION DURING CONSTRUCTION. SEEDING AND MULCHING IS REQUIRED FOR ANY AREAS ANTICIPATED TO BE BARREN DURING CONSTRUCTION FOR MORE THAN 15 DAYS.
 - D. TURBIDITY BARRIERS TO BE UTILIZED AT PROJECT OUTFALL.
 - E. OTHER MEASURES AS DIRECTED BY THE ENGINEER, THE TOWN OF LAKE PARK, OR PALM BEACH COUNTY.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL POLLUTION PREVENTION REQUIREMENTS. FOR AFFECTED AREAS GREATER THAN 1 ACRE, COMPLIANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) THE FOLLOWING:
 - A. PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) IN ACCORDANCE WITH THE D.E.P. "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" (D.E.P. DOCUMENT NO. 62-621.300(4)(A)).
 - B. SUBMITTAL OF THE NOTICE OF INTENT (N.O.I.) TO THE D.E.P.
 - C. MAINTENANCE AND INSPECTION OF THE ELEMENTS OF THE S.W.P.P.P.
 - D. MAINTENANCE OF RECORDS (INSPECTION REPORTS, N.O.I., S.W.P.P.P., ETC.)
 - E. SUBMITTAL OF THE NOTICE OF TERMINATION TO THE D.E.P. AT THE CONCLUSION OF THE PROJECT.
- 6.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS & CONSTRUCTION SEQUENCING.

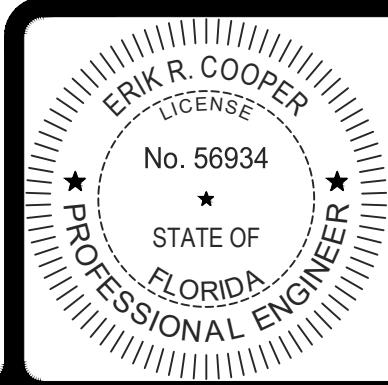


LEGEND



48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST. LUCIE • MARTIN COUNTIES
1-800-432-4770
SUNSHINE STATE 1 CALL
UNDERGROUND UTILITIES
NOTIFICATION CENTER

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING (561) 640-4551.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.
PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS



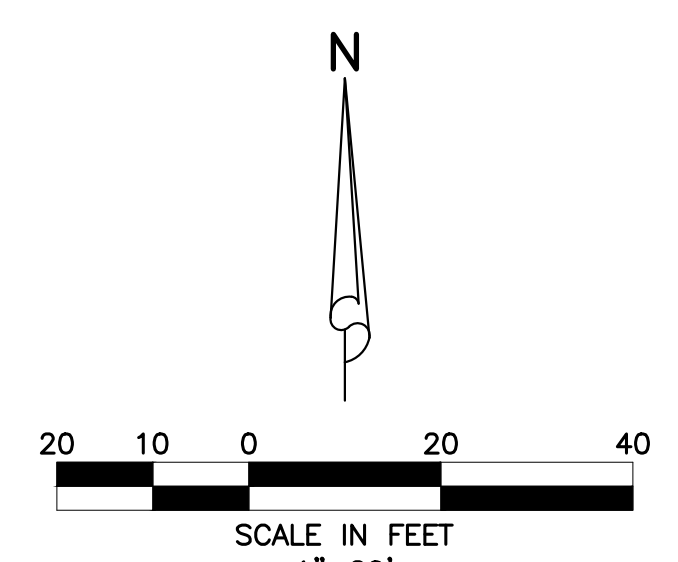
DESIGN	DRAWN	CHECKED	APPROVED	DATE
J.U.	B.L.			

NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
POLLUTION PREVENTION PLAN

JOB NO.	DRAWING NO.	SHEET	OF
24-139	24139S05	5	8

LOCATION MAP

NOT TO SCALE

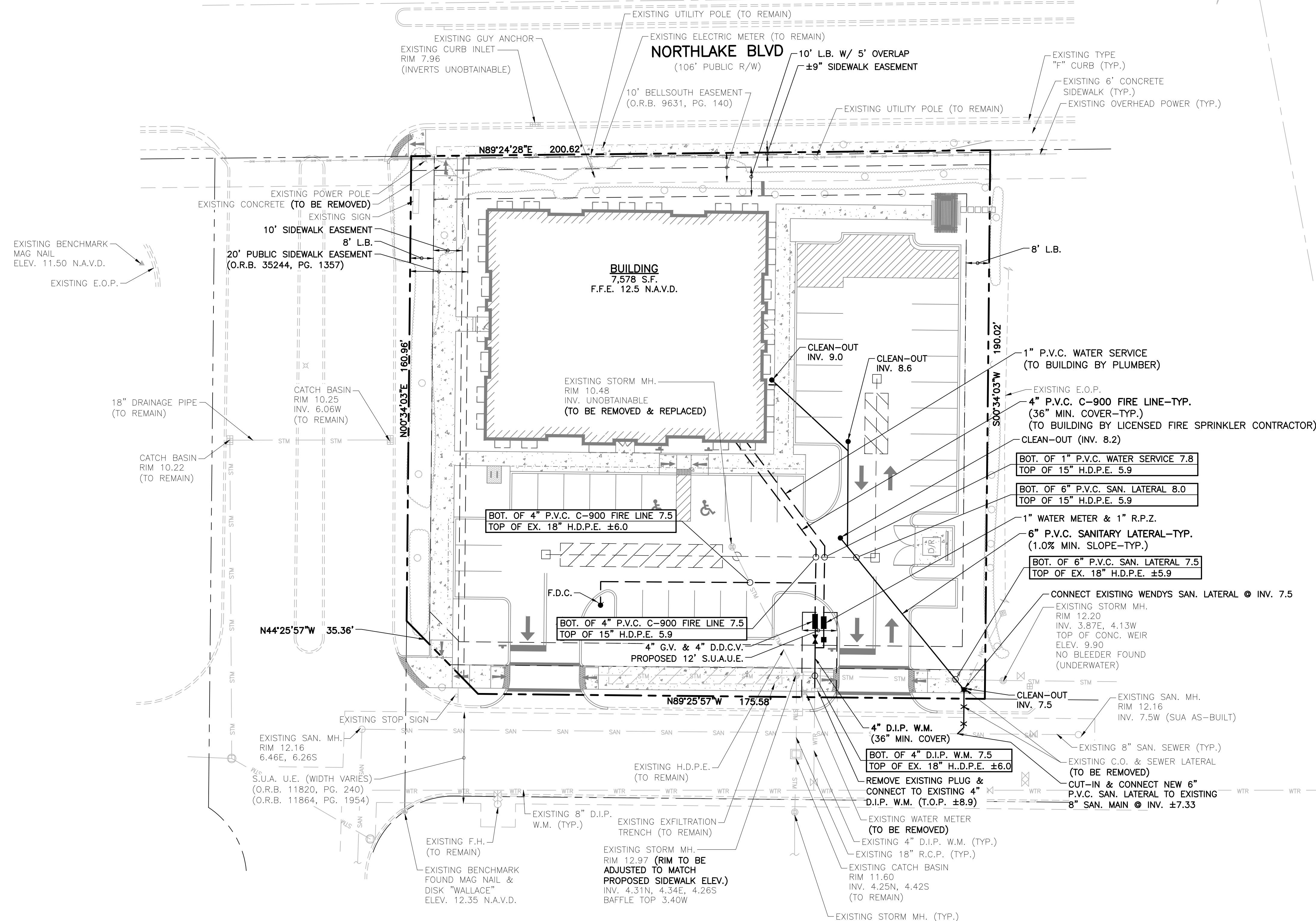


LEGEND

- | | |
|---|-------------------------------------|
|  | SINGLE SEWER SERVICE W/ CLEAN-OUT |
|  | WATER SERVICE, WATER METER & R.P.Z. |
|  | WATER MAIN & GATE VALVE |
| | GATE VALVE & D.D.C.V. ASSEMBLY |

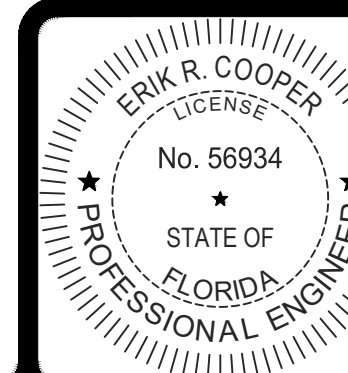
NOTES:

- 1.) ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
- 2.) CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL EXISTING UTILITY LOCATES, SUPPORT, RELOCATIONS AND NOTIFICATIONS REQUIRED WITH ALL APPLICABLE UTILITY SERVICE PROVIDERS.
- 3.) SEWER CLEANOUTS MINI-MANHOLES ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.
- 4.) EXISTING WATER METER AND WATER SERVICE CONNECTIONS TO S.U.A. OWNED FACILITIES SHALL BE REMOVED/CAPPED/PLUGGED IN ACCORDANCE WITH ALL APPLICABLE S.U.A. STANDARDS AND PROPER COORDINATION SHALL BE TAKE PLACE PRIOR TO ANY CONSTRUCTION ON S.U.A. FACILITIES.



48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST. LUCIE • MARTIN COUNTIES
CALL TOLL FREE
1-800-432-4770
SUNSHINE STATE 1 CALL
UNDERGROUND UTILITIES
NOTIFICATION CENTER

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING (561) 640-4551.



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS



NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
WATER AND WASTEWATER PLAN

DESIGN J I I	DRAWN B I	CHECKED	APPROVED	DATE
-----------------	--------------	---------	----------	------

JOB NO. 24-139	DRAWING NO. 24139S06	SHEET 6 OF 8
-------------------	-------------------------	--------------

STANDARD WATER, RECLAIMED WATER AND SEWER SEPARATION STATEMENT

1. STORM SEWER, GRAVITY WASTEWATER, FORCE MAINS AND RECLAIMED WATER MAINS CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED BETWEEN GRAVITY SEWER OR STORM SEWER, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/GRAVITY SEWER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN SIX (6) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE SIX (6) INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/FORCE MAIN/RECLAIMED WATER MAINS CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM TWELVE (12) INCH VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. IRRESPECTIVE OF SEPARATION, IN ALL OF THE ABOVE CASES D.I.P. IS NOT REQUIRED FOR STORM SEWER PIPE.
2. FORCE MAINS CROSSING RECLAIMED WATER MAINS OR STORM SEWER SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE RECLAIMED WATER MAIN OR STORM SEWER AND THE RECLAIMED WATER MAIN SHALL CROSS OVER THE FORCE MAIN.
3. AT THE UTILITY CROSSING DESCRIBED IN ITEMS 1 AND 2 ABOVE, ONE FULL LENGTH OF DUCTILE IRON WATER MAIN PIPE SHALL BE CENTERED SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE JOINTS. WHERE THIS IS NOT POSSIBLE, JOINTS SHALL BE AT LEAST THREE (3) FEET FROM STORM SEWERS AND SIX (6) FEET FROM GRAVITY SEWER MAINS, FORCE MAINS AND RECLAIMED WATER MAINS.
4. SEWER SERVICE LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES. IF (12") VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATER MAIN SHALL BE D.I.P. AND THE SEWER SERVICE LATERAL SHALL BE C-900 SDR 18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES. WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED, THE WATER MAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-900 SDR 18 OR BETTER.
5. MAINTAIN MINIMUM TEN (10) FEET HORIZONTAL DISTANCE BETWEEN POTABLE WATER MAIN OR FORCE MAIN, RECLAIMED WATER MAIN, STORM SEWER OR GRAVITY SEWER MAIN OR ON SITE SEWAGE DISPOSAL SYSTEMS. ADDITIONAL SEPARATION MAY BE REQUIRED AS OUTLINED IN SECTION II OF SUA STANDARDS.

Water, Reclaimed Water, and Sewer and Separation Statement

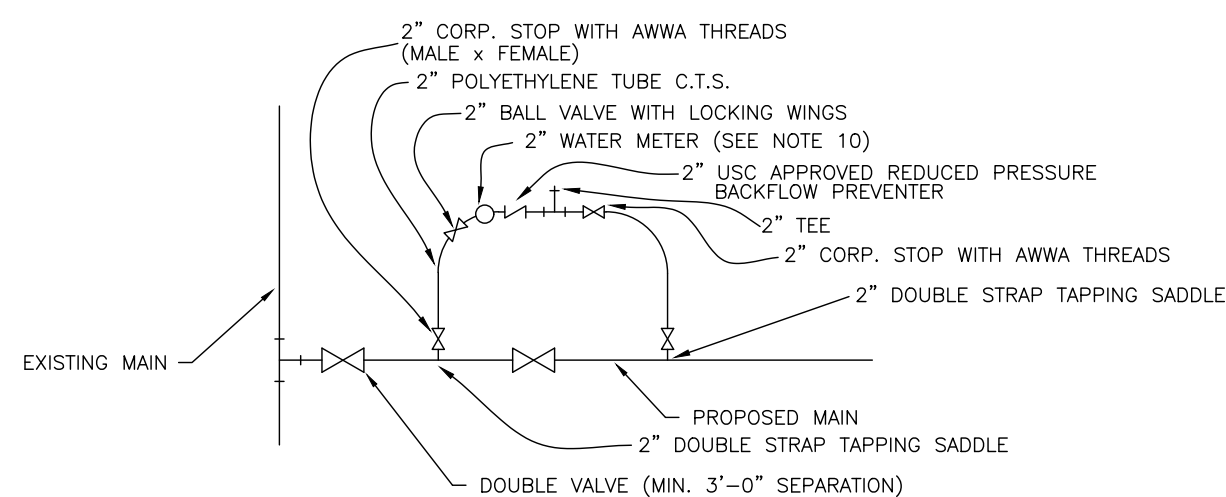
SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision B-18

DATE APPROVED:
FEB 26, 2025
DRAWING No. **2**

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. THIS METHOD SHALL BE COMPLIED WITH WHEN CONNECTING TO AN EXISTING WATER MAIN, (ONE THAT HAS ALREADY BEEN BACTERIOLOGICALLY CLEARED OR IS IN USE) WHETHER BY TEE AND VALVE OR BY CONTINUATION OF A PLUGGED STUB OUT WITH AN EXISTING GATE VALVE.
2. THESE REQUIREMENTS ARE BASED ON PALM BEACH COUNTY HEALTH DEPARTMENT REQUIREMENTS.
3. WHEN A TAPPING TEE AND VALVE IS INSTALLED, A PRESSURE/LEAKAGE TEST SHALL BE PERFORMED ON THE ASSEMBLY IN THE PRESENCE OF AN AUTHORIZED SUA REPRESENTATIVE PRIOR TO PERFORMING THE ACTUAL TAP.
4. DOUBLE VALVING PERMITS PHYSICAL CONNECTION TO AN EXISTING WATER MAIN WHEN USED IN CONJUNCTION WITH A BYPASS LINE.
5. A 2" BYPASS LINE (MAXIMUM) SHALL BE INSTALLED AS SHOWN BELOW PRIOR TO CANNON FLUSHING.
6. THE 2" TEE SHALL BE USED FOR FEEDING CHLORINE SOLUTION AND FOR ATMOSPHERIC VENT DURING PRESSURE/LEAKAGE TESTS.
7. UNDER NO CIRCUMSTANCES SHALL VALVES BE OPERATED WITHOUT AN AUTHORIZED SUA REPRESENTATIVE PRESENT.
8. ALL WATER MAINS SHALL BE FILLED WITH WATER UTILIZING JUMPER METER AND THEN BE THOROUGHLY CANNON FLUSHED IN ACCORDANCE WITH SEACOAST SPECIFICATIONS PRIOR TO PRESSURE/LEAKAGE TESTING. THE PROCEDURE SHALL BE DONE ONLY IN THE PRESENCE OF AN AUTHORIZED SUA REPRESENTATIVE.
9. FOLLOWING INITIAL CANNON FLUSHING, ALL WATER FOR PRESSURE/LEAKAGE TESTING AND BACTERIOLOGICAL CLEARANCES MUST BE DRAWN FROM THE BYPASS LINE WITH METER AND REDUCED PRESSURE BACKFLOW PREVENTER IN PLACE. THE 2" INCH WATER METER SHALL BE PROVIDED BY SUA UPON APPLICATION BY EITHER THE CONTRACTOR OR DEVELOPER. ALL WATER USED FOR THE CONSTRUCTION OF THE WATER AND SEWER MAINS SHALL BE PAID FOR BY THE ABOVE PARTIES PRIOR TO ANY SERVICE BEING PROVIDED. METER, BALL VALVE, REDUCED PRESSURE BACKFLOW PREVENTER AND TEE SHALL BE INSTALLED AT LEAST 18" ABOVE EXISTING GRADE, SUPPORTED, AND PROTECTED FROM DAMAGE. ANY DAMAGE SHALL BE APPLICANT'S RESPONSIBILITY AND SHALL BE CHARGED ACCORDINGLY.
10. EXCEPT DURING CANNON FLUSHING VALVES SHALL NOT BE OPENED UNTIL AFTER AN APPROVED PRESSURE/ LEAKAGE TEST, BACTERIOLOGICAL CLEARANCE. CERTIFICATION BY THE ENGINEER OF RECORD, RELEASE FROM THE PALM BEACH COUNTY HEALTH DEPARTMENT AND APPROVAL BY SUA.
11. DISINFECTION AND BACTERIOLOGICAL CLEARANCES SHALL COMPLY WITH CURRENT AWWA PROCEDURES, PALM BEACH COUNTY HEALTH DEPARTMENT, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
12. CORP STOPS AND TAPPING SADDLES FOR THE JUMPER METER ARE TO BE TAPPED ON TOP OF THE WATER MAIN.



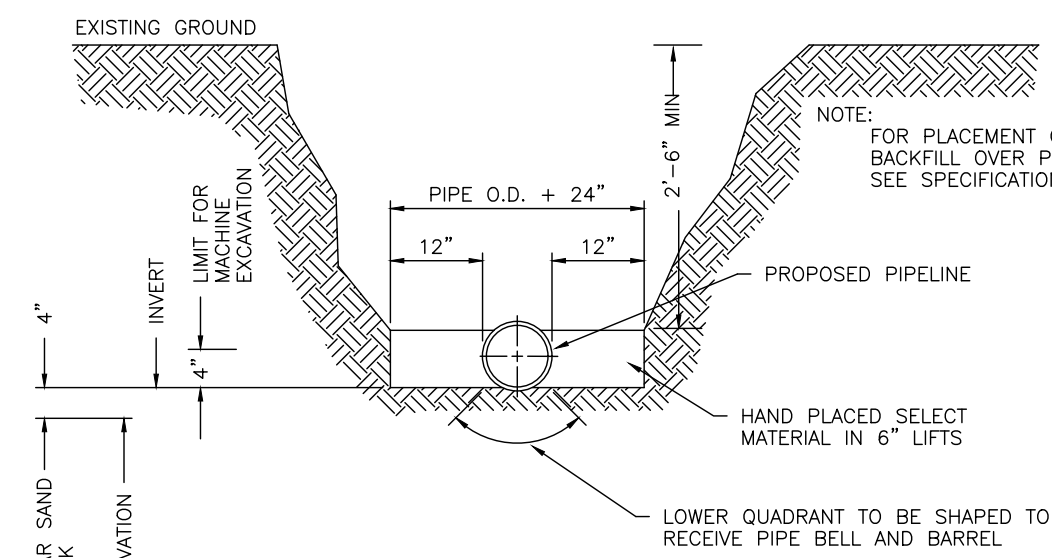
Tapping and Main Clearing Procedure

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision C-24

DATE APPROVED:
FEB 26, 2025
DRAWING No. **3**

(PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)



EXCAVATION SIDE SLOPE SHORING, ETC. SHALL CONFORM TO O.S.H.A. STANDARDS. COMPACT TRENCH BACKFILL TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. DENSITY TESTS SHALL BE TAKEN AT 12" LIFTS EVERY 100' IN PUBLIC RIGHT-OF-WAY AND 200' IN EASEMENTS

CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.

Standard Trenching Procedure

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision C-20

DATE APPROVED:
FEB 26, 2025
DRAWING No. **4**

LENGTH OF PIPE RESTRAINT REQUIREMENTS AT ALL PIPE JOINTS

PIPE SIZE	90° BEND	45° BEND	22½° BEND	11¼° BEND	REDUCER	VALVE	DEAD END	TEE
4"	54'	54'	36'	36'	54'	72'	72'	72'
6"	54'	54'	36'	36'	54'	72'	72'	72'
8"	54'	54'	36'	36'	54'	72'	72'	72'
10"	54'	54'	36'	36'	54'	108'	108'	108'
12"	72'	72'	54'	54'	72'	108'	108'	108'
14"	72'	72'	54'	54'	72'	108'	108'	108'
16"	72'	72'	54'	54'	72'	154'	154'	154'
18"	72'	72'	54'	54'	72'	154'	154'	154'
20"	90'	90'	54'	54'	90'	154'	154'	154'
24"	90'	90'	54'	54'	90'	172'	172'	172'
30"	90'	90'	54'	54'	90'	180'	180'	180'
36"	90'	90'	54'	54'	90'	270'	270'	270'
42"	108'	108'	54'	54'	108'	270'	270'	270'
48"	108'	108'	54'	54'	108'	270'	270'	270'
54"	108'	108'	54'	54'	108'	270'	270'	270'

MINIMUM LENGTH OF PUSH ON JOINT PIPE WITH SPECIAL RESTRAINING GASKETS

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

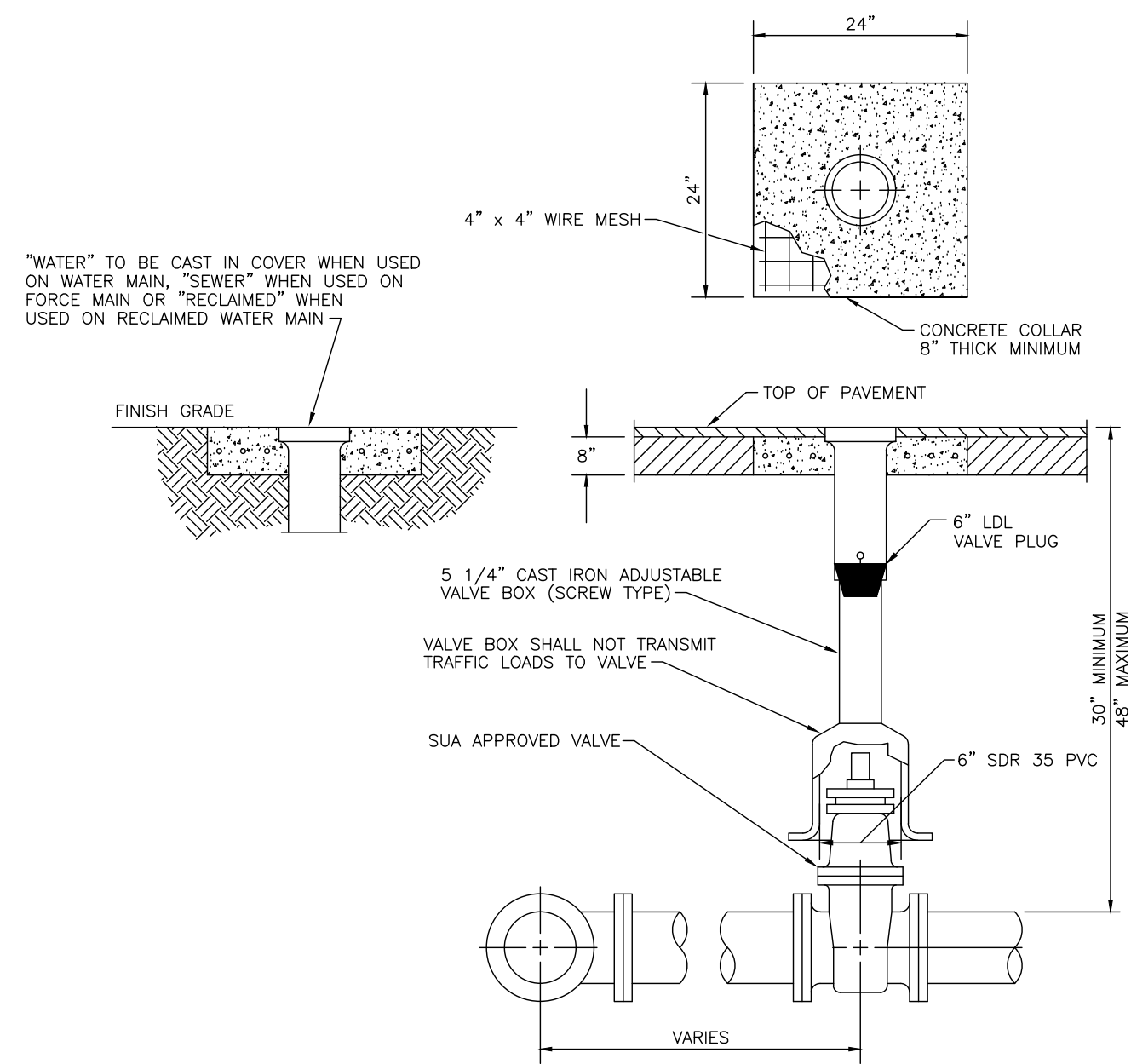
1. ALL BURIED PRESSURE MAINS SHALL INCLUDE A RESTRAINED JOINT SYSTEM. THE CONTRACTOR SHALL USE A DUCTILE IRON RESTRAINING SYSTEM AS MANUFACTURED BY EBA IRON, INC. (MEGALUG) OR APPROVED EQUAL FOR ALL MECHANICAL JOINT FITTINGS AND LOCKING GASKETS FOR PUSH-ON JOINT PIPE.
2. RESTRAINING LENGTHS SHOWN ARE THE MINIMUM LENGTH REQUIRED BASED ON A TEST PRESSURE OF 150 P.S.I.G.
3. THRUST BLOCKS, IN ADDITION TO THE ABOVE OUTLINED RESTRAINTS, SHALL ALSO BE REQUIRED AT ALL TIE-INS TO EXISTING LINES, ALL TAPPING TEES ON EXISTING LINES, ALL NEW HYDRANTS, ALL ABOVE-GROUND ASSEMBLIES 3" AND LARGER AND MAINS GREATER THAN 12" IN DIAMETER.
4. FOR ALL C900 PVC PIPE, ADD A SAFETY FACTOR OF 1.1 TO THE ABOVE LENGTHS

Pipe Restraint Table

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision D-23

DATE APPROVED:
FEB 26, 2025
DRAWING No. **6**



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

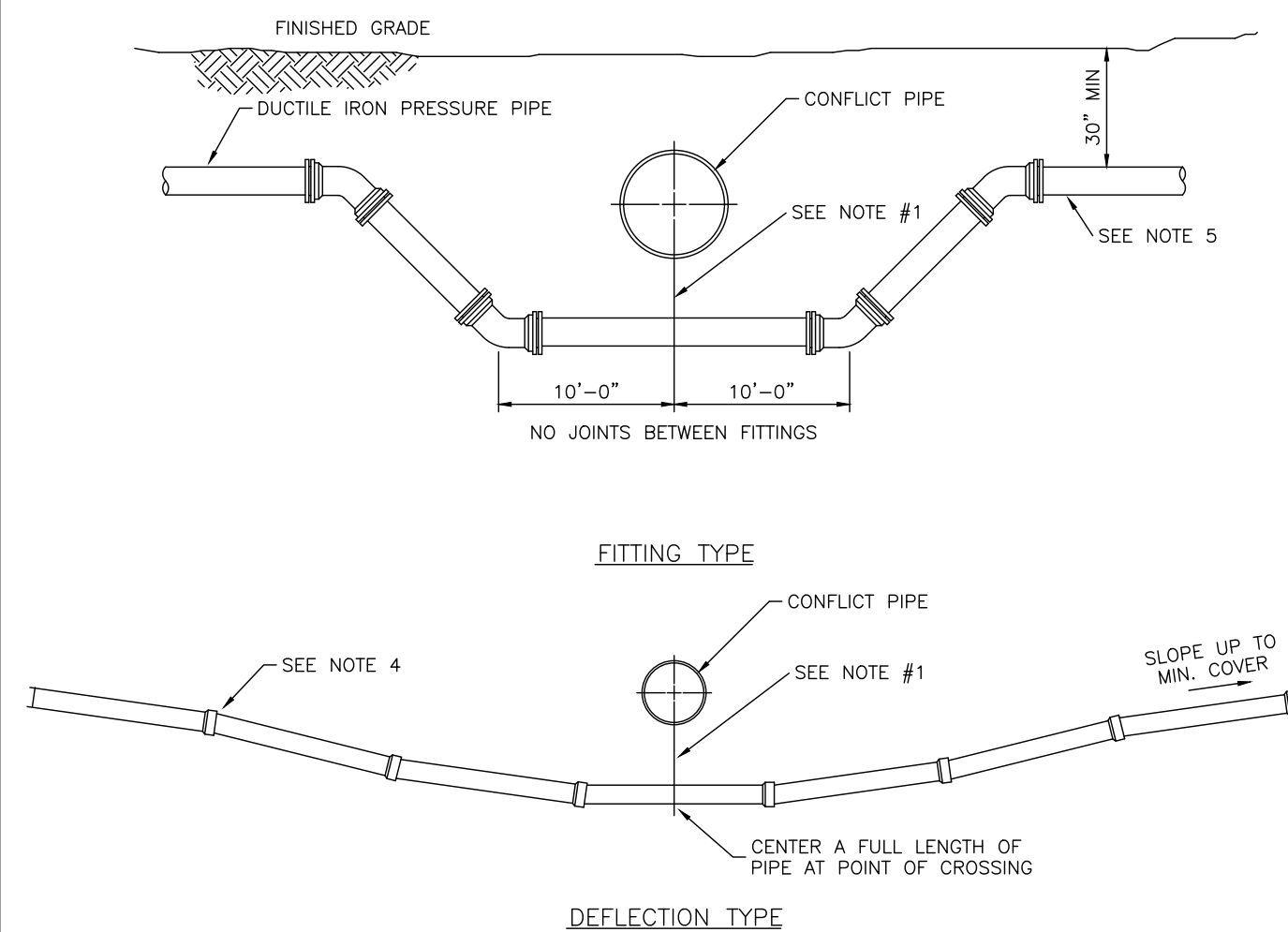
1. CONCRETE COLLAR MAY NOT BE REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO FINAL INSPECTION AND VALVE BOX LID IS AT FINISHED GRADE.
2. WHEN VALVE IS DEEPER THAN 48" AN EXTENSION WILL BE REQUIRED TO BRING OPERATING NUT TO 24" OF FINISHED GRADE.
3. TWO OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED WHEN PIPE IS GREATER THAN 12".
A.) APPROVED MECHANICAL JOINT RESTRAINT (i.e. MEGALUG)
B.) THE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.
4. 6" LDL VALVE PLUG BY USSJ USA TO BE INSTALLED IN VALVE BOX. COLOR TO MATCH SERVICE TYPE. (BLUE - WATER, GREEN - SEWER, PURPLE - RECLAIMED)

Typical Underground Valve Installation

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision C-24

DATE APPROVED:
FEB 26, 2025
DRAWING No. **10**



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. FOR VERTICAL SEPARATION SEE "WATER, RECLAIMED WATER AND SEWER SEPARATION STATEMENT" DRAWING #2.
2. ONE OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED FROM FITTING TO FITTING FOR PIPE SIZES UP TO AND INCLUDING 12", FOR PIPE SIZES GREATER THAN 12" TWO FORMS OF RESTRAINT SHALL BE USED.
A.) APPROVED MECHANICAL JOINT RESTRAINT. (i.e. MEGALUG)
B.) THE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.
C.) THRUST BLOCKS - ADVANCE APPROVAL BY SUA REQUIRED.
3. THE DEFLECTION TYPE CROSSING IS PREFERRED, BUT IN INSTANCES WHERE THE FITTING TYPE DEFLECTION IS USED, 22 1/2° BENDS ARE PREFERRED.
4. DEFLECTION SHALL NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
5. PIPE SHALL BE RESTRAINED FOR EACH FITTING TYPE DEFLECTION PER "PIPE RESTRAINT TABLE" DETAIL.
6. ALL JOINTS IN DEFLECTIONS SHALL BE AS-BUILT ON THE RECORD DRAWINGS

Pressure Pipe Deflection

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision D-23

DATE APPROVED:
FEB 26, 2025
DRAWING No. **14**

INSTALLATION PROTOCOL

1. ALL PIPE IS TO BE LAID IN A CLEAN DRY TRENCH.
2. ALL MUCK AND UNSUITABLE MATERIALS ENCOUNTERED IN TRENCH BOTTOM SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIAL TO 98% OF MAXIMUM DENSITY PER AASHTO T-180. PROCTOR AND DENSITY TEST RESULTS SHALL BE SUBMITTED TO EOR WITH A COPY TO AUTHORITY.
3. ALL BACKFILL SHALL BE PLACED IN 12 INCH LIFTS AND COMPACTED BY MECHANICAL MEANS TO 98% OF MAXIMUM DENSITY PER AASHTO T-180 OR AS OTHERWISE REQUIRED BY THE PERMITTING AGENCY.
4. UTILITIES CROSSING ROAD RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO ROAD CONSTRUCTION AND BACKFILLED AND COMPACTED WITHIN RIGHT-OF-WAY LIMITS IN STRICT ACCORDANCE WITH THE DIRECTIONS OF THE EOR AND REQUIREMENTS OF ALL AGENCIES OF JURISDICTION.
5. EMBEDMENT MATERIALS BELOW PIPE SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION SYSTEM (U.S.C.S.) SOIL CLASSIFICATION CLASS I OR II AS NOTED IN ASTM D2321.
6. ALL LINES UNDER CONSTRUCTION SHALL BE PLUGGED WITH A WING PLUG, AND ALL PRESSURE PIPES ARE TO BE PLUGGED WITH A MECHANICAL PLUG OR CAP AT THE END OF THE WORKING DAY TO PREVENT GROUND WATER AND POTENTIAL CONTAMINANTS FROM ENTERING COMPLETED LINES AND LINES UNDER CONSTRUCTION.
7. ABOVE GROUND PIPING, INCLUDING BUT NOT LIMITED TO, AERIAL CROSSINGS, LIFT STATION PIPING, FIRE LINES, METER/BACKFLOW PREVENTION DEVICE ASSEMBLIES, ETC. SHALL BE FLANGED AND BE COATED IN ACCORDANCE WITH SECTION 2 OF SEACOAST UTILITY AUTHORITY CONSTRUCTION STANDARDS. THE FINISHED COAT OF PAINT SHALL BE GREEN IN COLOR FOR SANITARY SEWER, LAVENDER FOR RECLAIMED APPURTENANCES AND BLUE FOR POTABLE WATER APPURTENANCES.
8. ALL FLANGED PIPE SHALL BE CAULKED BETWEEN EACH FLANGE AND THREADS WITH SIKKA 1 A URETHANE CAULK AFTER BLASTING AND PRIOR TO PRIMING.
9. ALL TIE RODS, BOLTS, NUTS, ETC. INSTALLED UNDERGROUND MUST BE COR TEN OR APPROVED EQUAL AND SHALL BE PAINTED WITH KOPPERS 300-M OR AN AUTHORITY APPROVED EQUAL. BRASS AND STAINLESS STEEL HARDWARE IS EXEMPT FROM THIS REQUIREMENT.
10. COATINGS AND LININGS DAMAGED DUE MISHANDLING OR OTHERWISE, MUST BE REPLACED. COATING AND LININGS DAMAGED DUE TO FIELD CUTTING SHALL BE REPAIRED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, CEMENT MORTAR AND POLYETHYLENE PIPE LININGS, PROTECTO 401, GALVANIZED COATINGS, PVC FENCE COATINGS AND OTHER TYPE COATINGS. APPROVAL MUST BE OBTAINED FROM AUTHORITY PRIOR TO PERFORMING COATING AND LINING REPAIRS. INSPECTIONS OF ALL REPAIRS ARE REQUIRED.
11. ALL STAINLESS STEEL NUTS, BOLTS AND HARDWARE REFERENCED IN THESE STANDARDS, SHALL BE SS 316 GRADE AND SHALL BE SO STAMPED BY THE MANUFACTURER TO VERIFY ALLOY. THE USE OF ANY OTHER STAINLESS STEEL ALLOY WILL REQUIRE SPECIFIC APPROVAL BY AUTHORITY. IN GENERAL, STAINLESS STEEL NUTS, BOLTS AND HARDWARE ARE REQUIRED IN AND AROUND LIFT STATIONS AND FOR FACILITIES INSTALLED OVER OR UNDER BRACKISH OR MARINE WATERS. THIS REQUIREMENT APPLIES TO FLANGE BOLTS AND NUTS ON FLANGED PIPING, MOUNTING BRACKETS, ALL THREAD ROD, ANCHOR BOLTS, WASHERS, CLAMPS AND OTHER MISCELLANEOUS HARDWARE. ANTI-GALLING COMPOUND ANTI-SEIZE LUBRICANT SHALL BE APPLIED TO THE THREADS OF ALL STAINLESS STEEL BOLTS PRIOR TO INSTALLATION.

ANTI-SEIZE LUBRICANT SHALL BE GRAPHITE 50 ANTI-SEIZE BY LOTCITE CORPORATION, 1000 ANTI-SEIZE PASTE BY DOW CORNING OR 3M LUBE AND ANTI-SEIZE BY 3M.

12. ALL RUBBER AND SYNTHETIC ELASTOMERIC COMPONENTS OF PRODUCTS THAT COME IN CONTACT WITH POTABLE WATER SHALL BE MANUFACTURED WITH CHLORAMINE RESISTANT ELASTOMERS AND SHALL BEAR NSF APPROVAL.
13. ALL MAIN, INCLUDING FITTINGS, SHALL BE EASILY IDENTIFIABLE AS TO THEIR CONTENTS AND SHALL BE COLOR CODED OR MARKED USING THE UNIVERSAL COLOR CODE OF BLUE FOR WATER, GREEN FOR SEWER AND LAVENDER FOR RECLAIMED. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.

Pipe Installation Protocol

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

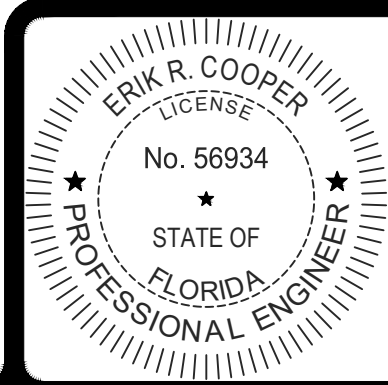
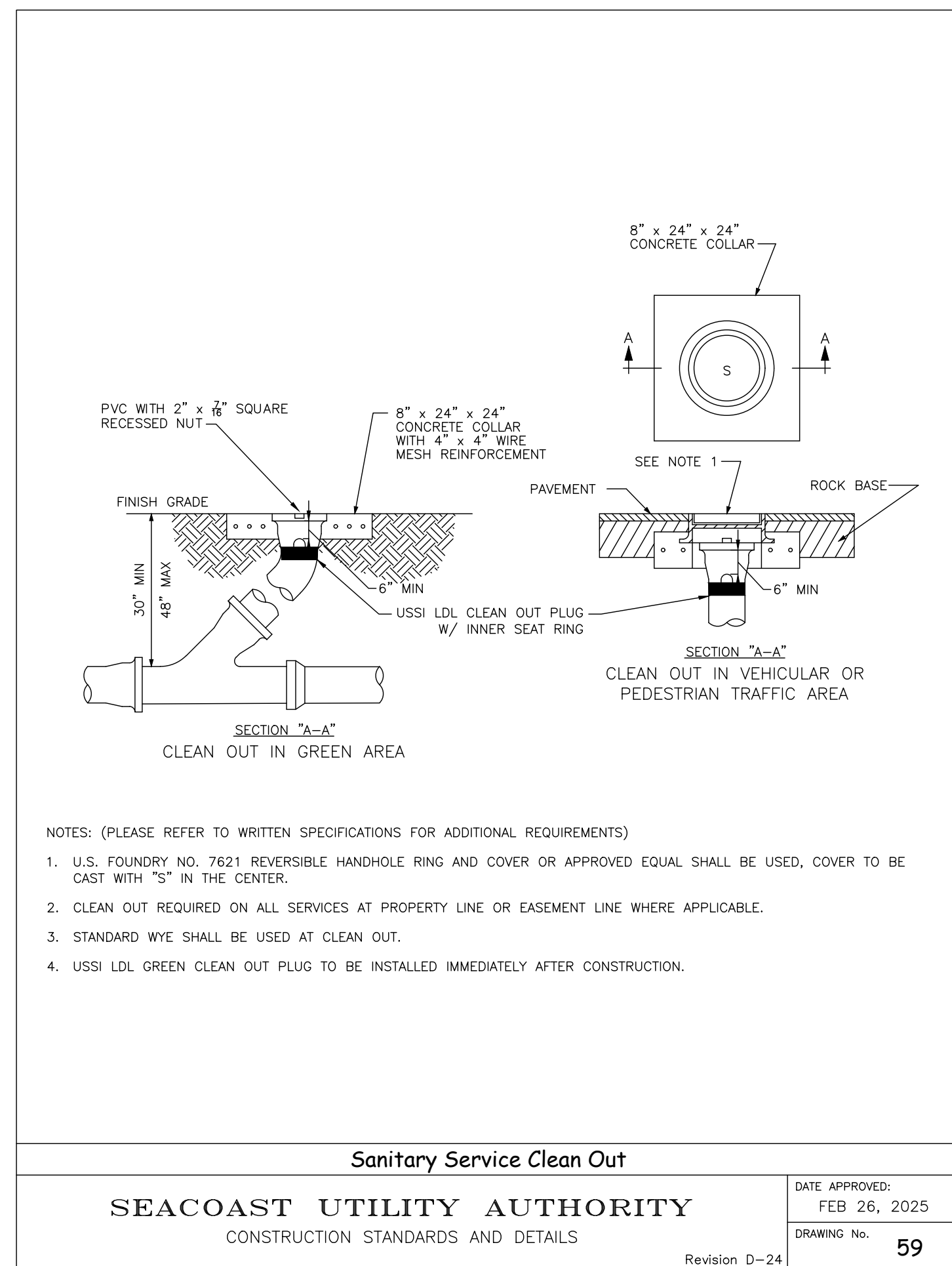
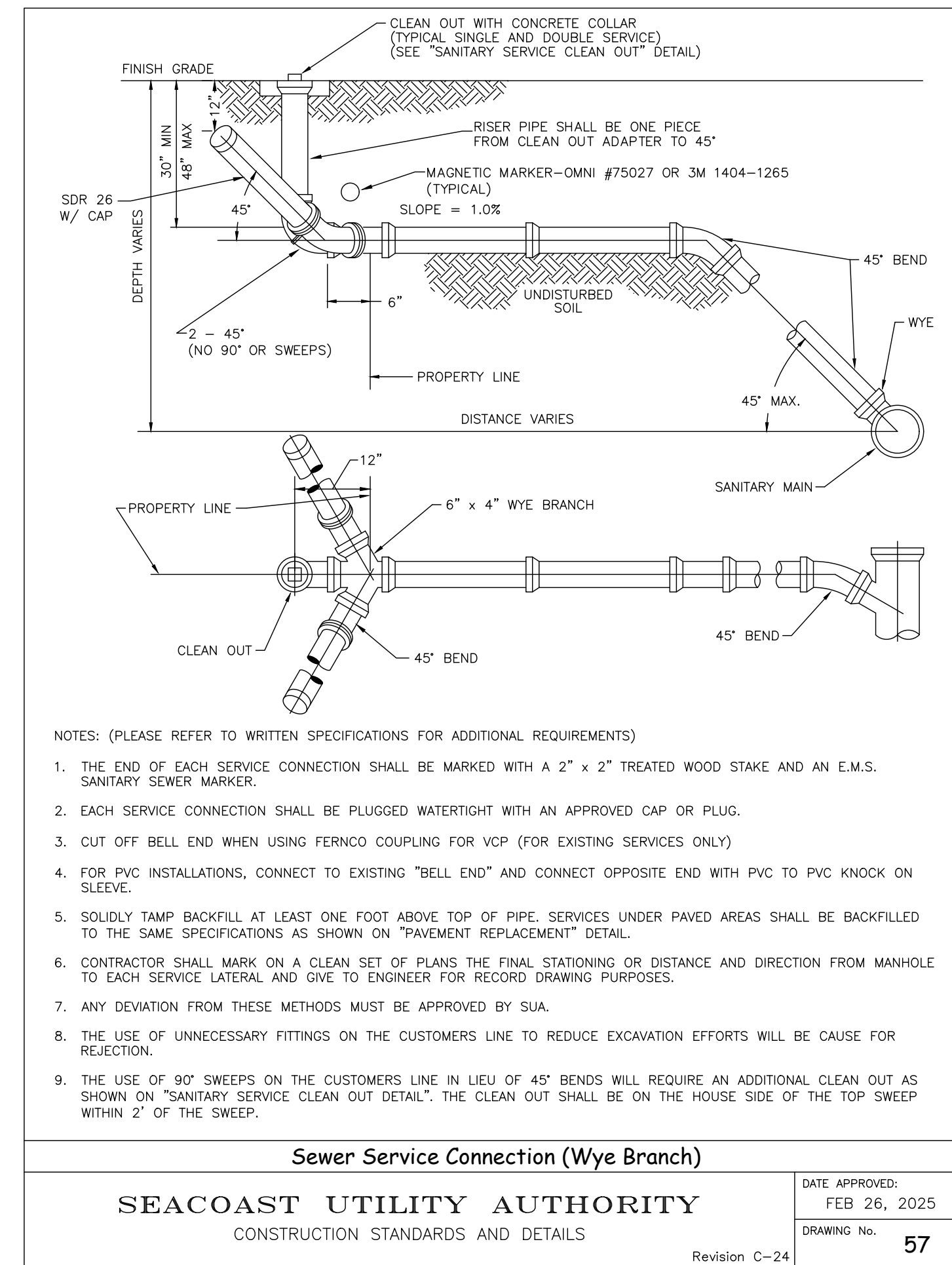
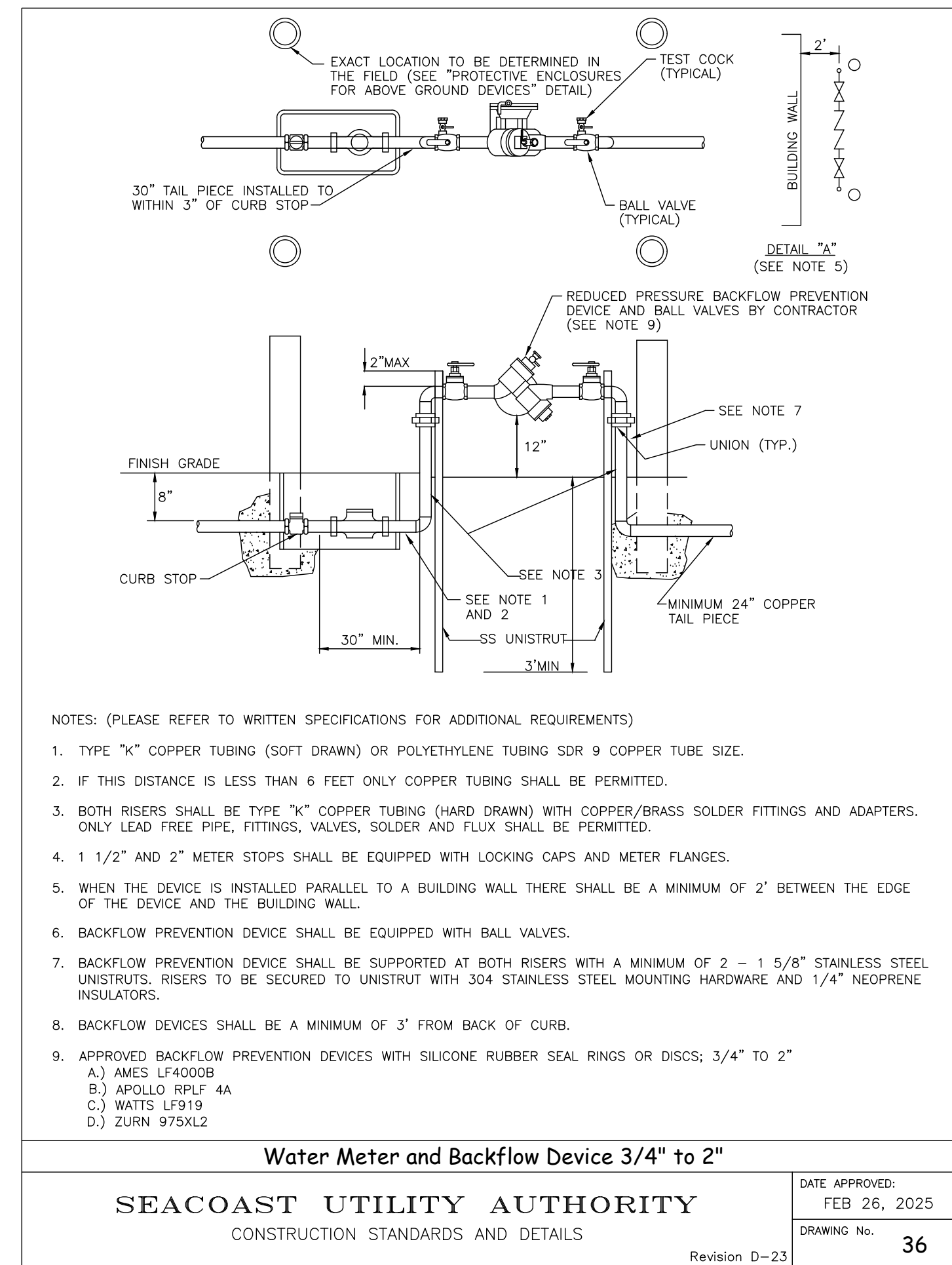
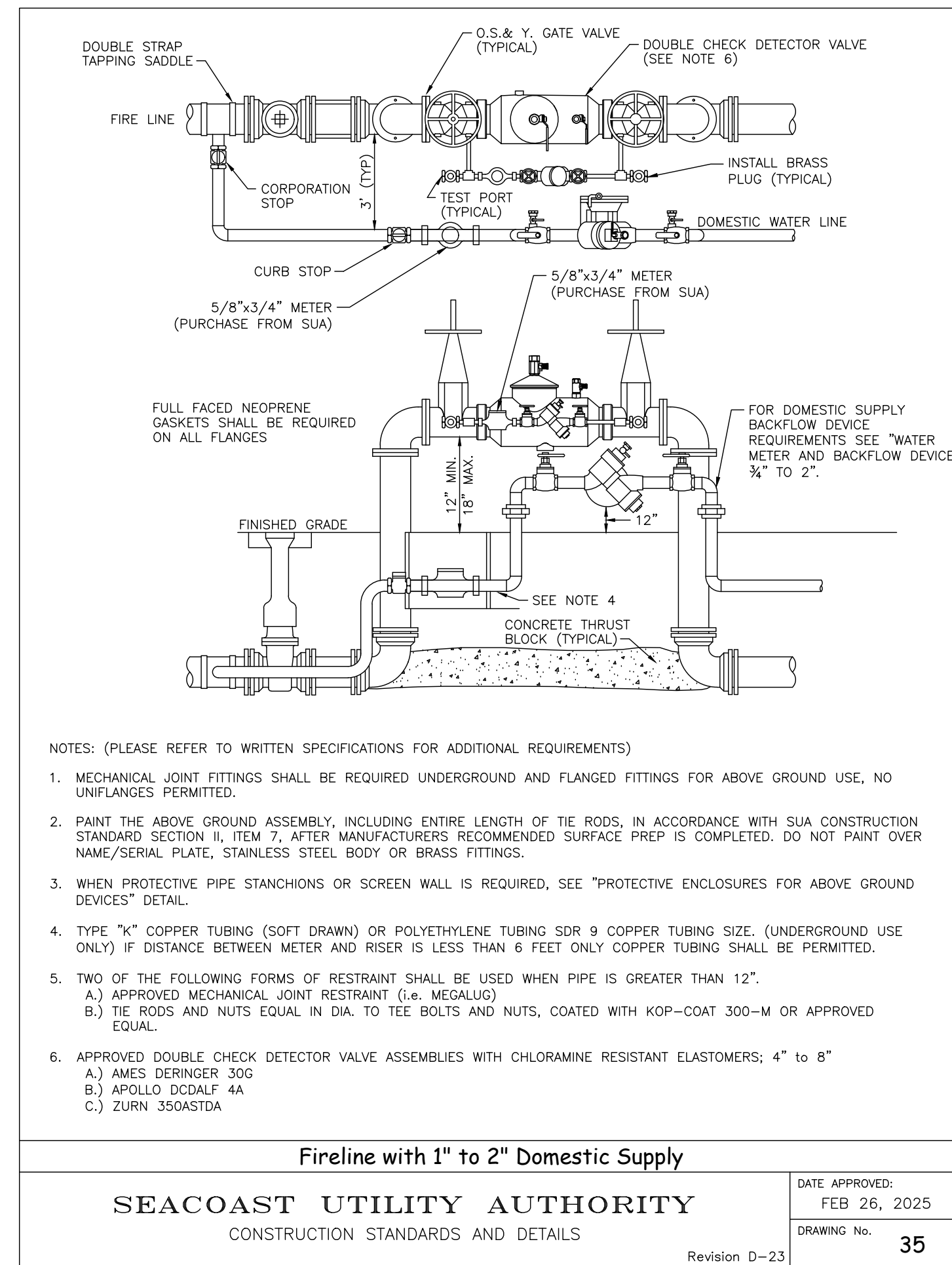
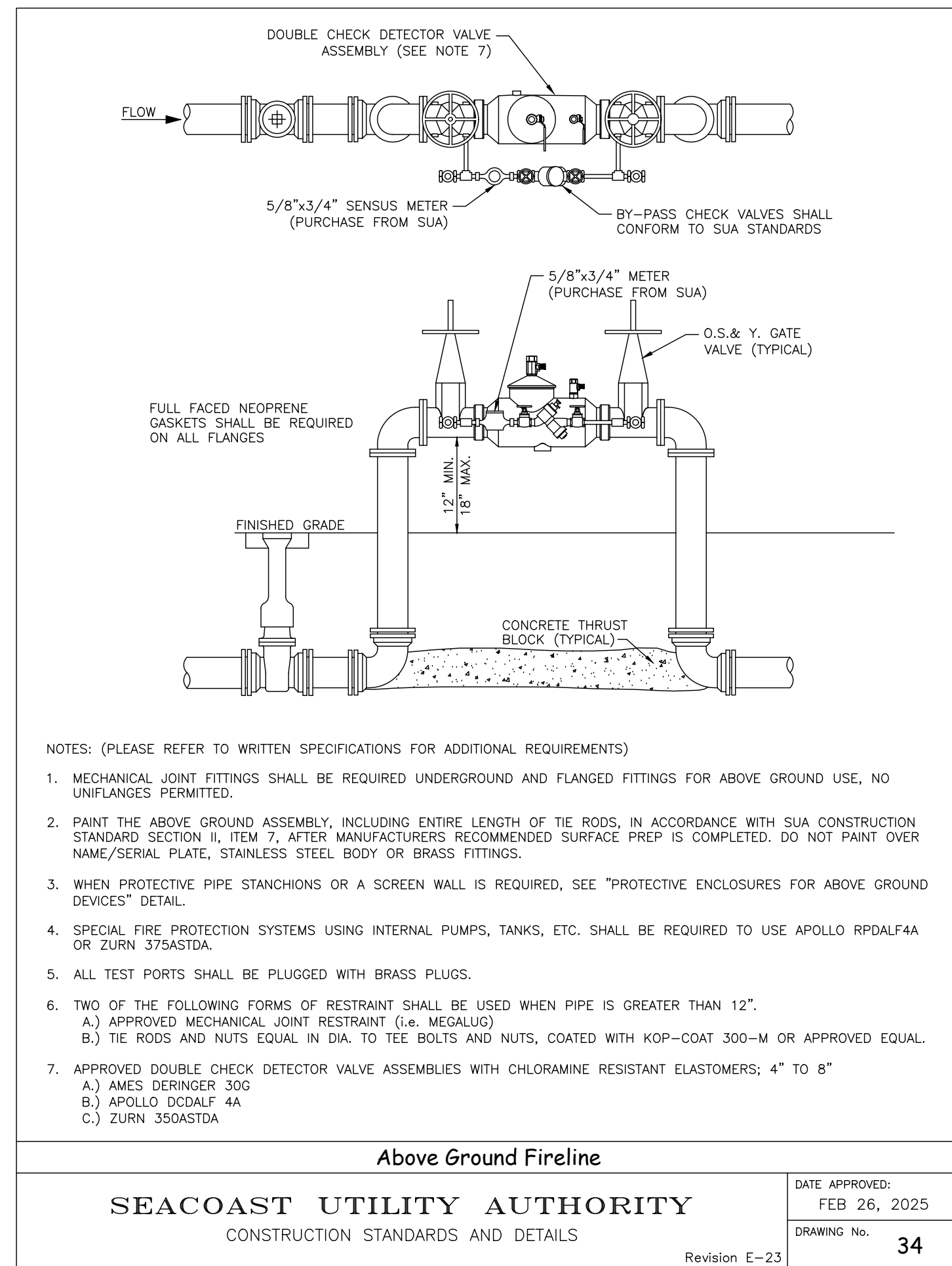
Revision D-23

DATE APPROVED:
FEB 26, 2025
DRAWING No. **15**

REVISIONS

DESIGN	DRAWN	CHECKED	APPROVED	DATE
J.U.	B.L.			

JOB NO.	DRAWING NO.	SHEET	OF
24-139	24139S07	7	8



THIS ITEM HAS BEEN DIGITALLY
SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.

PRINTED COPIES OF THIS
DOCUMENT ARE NOT
CONSIDERED SIGNED AND
SEALED AND THE SIGNATURE
MUST BE VERIFIED ON ANY
ELECTRONIC COPIES.

REVISIONS



2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
Authorization # 3452 | 561.478.7848

DESIGN J.U. DRAWN B.L. CHECKED APPROVED DATE

NORTHLAKE PROMENADE—OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
WATER AND WASTEWATER DETAILS

JOB NO. 24-139 DRAWING NO. 24139S08 SHEET 8 OF 8



NORTHLAKE PROMENADE OUTPARCEL #3

Town of Lake Park, FL

WATER MANAGEMENT REPORT

PREPARED FOR:

**OPV Northlake Promenade, LLC
c/o Woolbright Development
3200 N. Military Trail, Suite 400
Boca Raton, Florida 33431**

JOB NO. 24-139

DATE: June 2025

Erik R. Cooper, Professional Engineer, State of Florida, License No. 56934 This item has been digitally signed and sealed by Erik R. Cooper, P.E., on 07/25/2025. Printed Copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.	
--	--

TABLE OF CONTENTS

PAGE 4

1.0 Project Outline

PAGE 5

2.0 Project Summary
3.0 Pre vs. Post Land Use Comparison
4.0 Water Quality Calculations

APPENDICES

APPENDIX A

Exfiltration Trench: Attenuation and Water Quality

APPENDIX B

Previous SFWMD Permit No. 50-04324-P, Application No. 050609-13

1.0 Project Outline

Project Name:	Northlake Promenade Outparcel #3
	Previously Permitted under ERP 50-04324-P, Application Nos. 050609-13 and 171013-4. Construction permit has expired.
Application Type:	Environmental Resource (Individual/Construction of New Works)
Location:	Palm Beach County, S21/R43E/T42S
Permittee:	OPV Northlake Promenade, LLC
Operating Entity:	OPV Northlake Promenade, LLC
Project Area:	0.86 acres
Permitted Area:	0.86 acres
Project Land Use:	Commercial
Special Drainage District:	N/A
Water Body Classification:	Class III
FDEP Water Body ID:	3226W2
Conservation Easement to District:	No
Sovereign Submerged Lands:	No

There are no wetlands or other surface water location within the project area or affected by this project.

2.0 Project Summary

The proposed 0.86 acre project consists of development of a Retail Building known as Northlake Promenade Outparcel #3. The property is located at the southwest corner of US Highway One and Northlake Boulevard in the Town of Lake Park, Florida.

The project consists of a 7,527 SF retail building, associated parking and proposed drainage improvements. This parcel was previously permitted under South Florida Water Management District Application No. 050609-13. Per the previously approved applications, discharge to the Northlake Promenade Master Stormwater Management System was permitted after providing water quality for the site. Water quality treatment is to be provided in exfiltration trench. Due to the site being located in an impaired base, 150% of the required water quality volume has been provided. The minimum road and finished floor elevations are in line with the previously permitted elevations. The proposed land use is less intense than the permitted land use in Application #050609-13.

3.0 Pre vs. Post Land Use Comparison:

Land Use	Area		
	Proposed (Acres)	Previously Permitted under ERP App. No. 050609-13 (Acres)	Difference (Acres)
Building	0.17	0.12	+0.05
Impervious	0.43	0.50	-0.07
Pervious	0.26	0.24	+0.02
Total	0.86	0.86	-

4.0 Water Quality Calculations:

Project Site is within an impaired water body. The site is located in WBID 3226W2. 150% of the required water quality volume will be provided.

A) 1" Over Entire Site:

$$1'' * 0.86 \text{ ac} * 1' / 12''$$

$$= 0.46 \text{ ac-ft} * 1.50 = 0.07 \text{ ac-ft}$$

B) 2.5" * % Impervious:

$$\text{Site Area for WQ: [Total Site - (Building)]} = [0.86 \text{ ac} - 0.17 \text{ ac}] = 0.69 \text{ ac}$$

$$\% \text{ Impervious for WQ: } 0.69 \text{ ac} / 0.86 \text{ ac} = 80.2\%$$

4.0 Water Quality Calculations (Cont.):

Treatment Depth: $2.5'' * 80.2\% = 2.0''$

Required Treatment Volume: $[(\text{Total Site}) * (\text{Treatment Depth})] = (0.86 \text{ ac}) * (2.0'') = 1.72 \text{ ac-in} * 1''/12' * 1.50 = 0.17 \text{ ac-ft (controls)}$

WQ Treatment Elevation = 7.5 NAVD (Top of Proposed Baffle)

Provided in Exfiltration Trench:

- 0.17 ac-ft met in 77 LF of Proposed Exfiltration Trench (67 LF Required for WQ)

1/2" Dry Pretreatment for commercial site only:

$1/2'' * 0.86 \text{ ac} * 1'/12''$

= 0.035 ac-ft (met in Proposed Exfiltration Trench)



APPENDIX A

Exfiltration Trench: Attenuation and Water Quality

SIMMONS & WHITE INC.
 2581 METROCENTRE BLVD WEST SUITE 3
 WEST PALM BEACH, FLORIDA 33407
 CERTIFICATE OF AUTHORIZATION #3452
EXFILTRATION TRENCH LENGTH CALCULATION

Northlake Promenade Outparcel 3

JOB NO: 24-139
 DATE: 6/6/2025

$$L = \frac{V}{K(H_2 W + 2 H_2 D_U - D_U^2 + 2 H_2 D_S) + (1.39 \times 10^{-4}) W D_U}$$

V= VOLUME TO BE TREATED

W= WIDTH OF TRENCH

K= HYDRAULIC CONDUCTIVITY*

H₂= DEPTH TO WATER TABLE FROM CONTROL ELEVATION

D_U= NON-SATURATED TRENCH DEPTH

D_S= SATURATED TRENCH DEPTH

L= REQUIRED TRENCH LENGTH

0.17 AC-FT

2.04 AC-IN

8 FT

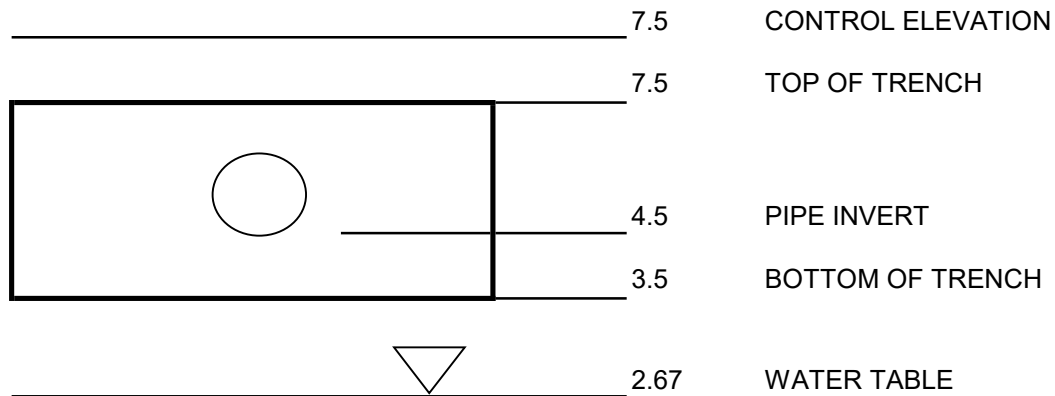
0.000538 CFS/SF-FT

4.0 FT

4 FT

0 FT

67 FT





APPENDIX B

Previous SFWMD Permit No. 50-04324-P
Application No. 050609-13



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE
STANDARD GENERAL PERMIT NO. 50-04324-P
DATE ISSUED: February 3, 2006**

Item 2.

Form #0941
08/95

PERMITTEE: DEVELOPERS OF NORTHLAKE, INC.
C/O JEFF PUMA
6550 N FEDERAL HWY STE 240
FORT LAUDERDALE, FL 33308

PROJECT DESCRIPTION: Modification of a surface water management system to serve .86 acres of commercial development known as Hollywood Video (Phase 1A - Outparcels).

PROJECT LOCATION: PALM BEACH COUNTY, SEC 21 TWP 42S RGE 43E

PERMIT DURATION: See Special Condition No:1. See attached Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 050609-13, dated June 9, 2005. This action is taken pursuant to Rule 40E-1.603 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

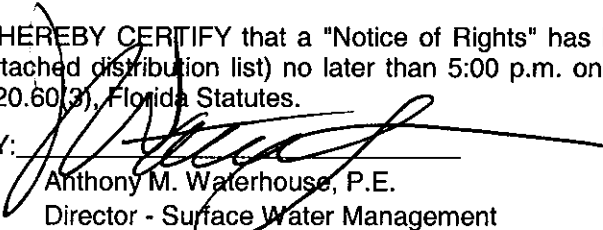
Based on the information provided, District rules have been adhered to and an Environmental Resource General Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 General Conditions (See Pages : 2 - 4 of 5),
3. the attached 12 Special Conditions (See Pages : 5 - 5 of 5) and
4. the attached 2.2 Exhibit(s).

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 3rd day of February, 2006, in accordance with Section 120.60(3), Florida Statutes.

BY: 
Anthony M. Waterhouse, P.E.
Director - Surface Water Management
Palm Beach Service Center

Certified mail number 7002 3150 0000 8126 8018

Enclosures

GENERAL CONDITIONS

1. All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
2. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
3. Activities approved by this permit shall be conducted in a manner which does not cause violations of State water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of State water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), incorporated by reference in Rule 40E-4.091, F.A.C. unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
4. The permittee shall notify the District of the anticipated construction start date within 30 days of the date that this permit is issued. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District an Environmental Resource Permit Construction Commencement Notice Form Number 0960 indicating the actual start date and the expected construction completion date.
5. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an annual status report form. Status report forms shall be submitted the following June of each year.
6. Within 30 days after completion of construction of the permitted activity, the permittee shall submit a written statement of completion and certification by a professional engineer or other individual authorized by law, utilizing the supplied Environmental Resource/Surface Water Management Permit Construction Completion/Certification Form Number 0881A, or Environmental Resource/Surface Water Management Permit Construction Completion Certification - For Projects Permitted prior to October 3, 1995 Form No. 0881B, incorporated by reference in Rule 40E-1.659, F.A.C. The statement of completion and certification shall be based on onsite observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the District that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawings. All surveyed dimensions and elevations shall be certified by a registered surveyor.
7. The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, and submitted a request for conversion of Environmental Resource Permit from Construction Phase to Operation Phase, Form No. 0920; the District determines the system to be in compliance with the permitted plans and specifications; and the entity approved by the District in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and

GENERAL CONDITIONS

maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 40E-1.6107, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

8. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
9. For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the District along with any other final operation and maintenance documents required by Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit applications within the South Florida Water Management District, prior to lot or units sales or prior to the completion of the system, whichever comes first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State, county or municipal entities. Final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.
10. Should any other regulatory agency require changes to the permitted system, the permittee shall notify the District in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.
11. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C..
12. The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the State, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
13. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(3), F.A.C., also known as the "No Notice" Rule.
14. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding, unless a specific condition of this permit or a formal determination under Section 373.421(2), F.S., provides otherwise.
16. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of

GENERAL CONDITIONS

ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rules 40E-1.6105 and 40E-1.6107, F.A.C.. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.

17. Upon reasonable notice to the permittee, District authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.
18. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate District service center.
19. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on February 3, 2011.
2. Operation of the surface water management system shall be the responsibility of PERMITTEE.
3. Minimum building floor elevation:
Basin: Outparcel #3 - 14.00 feet, NGVD
4. Minimum road crown elevation:
Basin: Outparcel #3 - 10.50 feet, NGVD
5. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
6. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
7. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
8. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
9. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
10. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.
12. All special conditions and exhibits previously stipulated by permit number 50-04324-P remain in effect unless otherwise revised and shall apply to this modification.

40E-4.321 Duration of Permits.

(1) Unless revoked or otherwise modified the duration of an environmental resource permit issued under this chapter or Chapter 40E-40, F.A.C., is as follows:

(a) For a conceptual approval, two years from the date of issuance or the date specified as a condition of the permit, unless within that period an application for an individual or standard general permit is filed for any portion of the project. If an application for an environmental resource permit is filed, then the conceptual approval remains valid until final action is taken on the environmental resource permit application. If the application is granted, then the conceptual approval is valid for an additional two years from the date of issuance of the permit. Conceptual approvals which have no individual or standard general environmental resource permit applications filed for a period of two years shall expire automatically at the end of the two year period.

(b) For a conceptual approval filed concurrently with a development of regional impact (DRI) application for development approval (ADA) and a local government comprehensive plan amendment, the duration of the conceptual approval shall be two years from whichever one of the following occurs at the latest date:

1. The effective date of the local government's comprehensive plan amendment,
2. The effective date of the local government development order,
3. The date on which the District issues the conceptual approval, or
4. The date on which the District issues a final order pertaining to the resolution of any Section 120.57, F.S., administrative proceeding or other legal appeals.

(c) For an individual or standard general environmental resource permit, the construction phase authorizing construction, removal, alteration or abandonment of a system shall expire five years from the date of issuance or such amount of time as made a condition of the permit.

(d) For an individual or standard general environmental resource permit, the operational phase of the permit is perpetual for operation and maintenance.

(e) For a noticed general permit issued pursuant to Chapter 40E-400, F.A.C., five years from the date the notice of intent to use the permit is provided to the District.

(2)(a) Unless prescribed by special permit condition, permits expire automatically according to the timeframes indicated in this rule. If application for extension is made in writing pursuant to subsection (3), the permit shall remain in full force and effect until:

1. The Governing Board takes action on an application for extension of an individual permit, or
2. Staff takes action on an application for extension of a standard general permit.

(b) Installation of the project outfall structure shall not constitute a vesting of the permit.

(3) The permit extension shall be issued provided that a permittee files a written request with the District showing good cause prior to the expiration of the permit. For the purpose of this rule, good cause shall mean a set of extenuating circumstances outside of the control of the permittee. Requests for extensions, which shall include documentation of the extenuating circumstances and how they have delayed this project, will not be accepted more than 180 days prior to the expiration date.

(4) Substantial modifications to Conceptual Approvals will extend the duration of the Conceptual Approval for two years from the date of issuance of the modification. For the purposes of this section, the term "substantial modification" shall mean a modification which is reasonably expected to lead to substantially different water resource or environmental impacts which require a detailed review.

(5) Substantial modifications to individual or standard general environmental resource permits issued pursuant to a permit application extend the duration of the permit for three years from the date of issuance of the modification. Individual or standard general environmental resource permit modifications do not extend the duration of a conceptual approval.

(6) Permit modifications issued pursuant to paragraph 40E-4.331(2)(b), F.A.C. (letter modifications) do not extend the duration of the permit.

(7) Failure to complete construction or alteration of the surface water management system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization in order to continue construction unless a permit extension is granted.

Specific Authority 373.044, 373.113 FS. Law Implemented 373.413, 373.416, 373.419, 373.426 FS. History--New 9-3-81, Amended 1-31-82, 12-1-82, Formerly 16K-4.07(4), Amended 7-1-86, 4-20-94, 10-3-95, 5-28-00..

NOTICE OF RIGHTS

Section 120.569(1), Fla. Stat. (1999), requires that "each notice shall inform the recipient of any administrative hearing or judicial review that is available under this section, s. 120.57, or s. 120.68; shall indicate the procedure which must be followed to obtain the hearing or judicial review, and shall state the time limits which apply." Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

Petition for Administrative Proceedings

1. A person whose substantial interests are affected by the South Florida Water Management District's (SFWMD) action has the right to request an administrative hearing on that action. The affected person may request either a formal or an informal hearing, as set forth below. A point of entry into administrative proceedings is governed by Rules 28-106.111 and 40E-1.511, Fla. Admin. Code, (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109), as set forth below. Petitions are deemed filed upon receipt of the original documents by the SFWMD Clerk.

a. Formal Administrative Hearing: If a genuine issue(s) of material fact is in dispute, the affected person seeking a formal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(1), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.201(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

b. Informal Administrative Hearing: If there are no issues of material fact in dispute, the affected person seeking an informal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(2), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.301(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

c. Administrative Complaint and Order: If a Respondent objects to a SFWMD Administrative Complaint and Order, pursuant to Section 373.119, Fla. Stat. (1997), the person named in the Administrative Complaint and Order may file a petition for a hearing no later than 14 days after the date such order is served. Petitions must substantially comply with the requirements of either subsection a. or b. above.

d. State Lands Environmental Resource Permit: Pursuant to Section 373.427, Fla. Stat., and Rule 40E-1.511(3), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), a petition objecting to the SFWMD's agency action regarding consolidated applications for Environmental Resource Permits and Use of Sovereign Submerged Lands (SLERPs), must be filed within 14 days of the notice of consolidated intent to grant or deny the SLERP. Petitions must substantially comply with the requirements of either subsection a. or b. above.

e. Emergency Authorization and Order: A person whose substantial interests are affected by a SFWMD Emergency Authorization and Order, has a right to file a petition under Sections 120.569, 120.57(1), and 120.57(2), Fla. Stat., as provided in subsections a. and b. above. However, the person, or the agent of the person responsible for causing or contributing to the emergency conditions shall take whatever action necessary to cause immediate compliance with the terms of the Emergency Authorization and Order.

f. Order for Emergency Action: A person whose substantial interests are affected by a SFWMD Order for Emergency Action has a right to file a petition pursuant to Rules 28-107.005 and 40E-1.611, Fla. Admin. Code, copies of which are attached to this Notice of Rights, and Section 373.119(3), Fla. Stat., for a hearing on the Order. Any subsequent agency action or proposed agency action to initiate a formal revocation proceeding shall be separately noticed pursuant to section g. below.

g. Permit Suspension, Revocation, Annulment, and Withdrawal: If the SFWMD issues an administrative complaint to suspend, revoke, annul, or withdraw a permit, the permittee may request a hearing to be conducted in accordance with Sections 120.569 and 120.57, Fla. Stat., within 21 days of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-107.004(3), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

2. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means that the SFWMD's final action may be different from the position taken by it previously. Persons whose substantial interests may be affected by

any such final decision of the SFWMD shall have, pursuant to Rule 40E-1.511(2), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), an additional 21 days from the date of receipt of notice of said decision to request an administrative hearing. However, the scope of the administrative hearing shall be limited to the substantial deviation.

3. Pursuant to Rule 40E-1.511(4), Fla. Admin. Code, substantially affected persons entitled to a hearing pursuant to Section 120.57(1), Fla. Stat., may waive their right to such a hearing and request an informal hearing before the Governing Board pursuant to Section 120.57(2), Fla. Stat., which may be granted at the option of the Governing Board.

4. Pursuant to Rule 28-106.111(3), Fla. Admin. Code, persons may file with the SFWMD a request for extension of time for filing a petition. The SFWMD, for good cause shown, may grant the extension. The request for extension must contain a certificate that the petitioner has consulted with all other parties, if any, concerning the extension and that the SFWMD and all other parties agree to the extension.

CIRCUIT COURT

5. Pursuant to Section 373.617, Fla. Stat., any substantially affected person who claims that final agency action of the SFWMD relating to permit decisions constitutes an unconstitutional taking of property without just compensation may seek judicial review of the action in circuit court by filing a civil action in the circuit court in the judicial circuit in which the affected property is located within 90 days of the rendering of the SFWMD's final agency action.

6. Pursuant to Section 403.412, Fla. Stat., any citizen of Florida may bring an action for injunctive relief against the SFWMD to compel the SFWMD to enforce the laws of Chapter 373, Fla. Stat., and Title 40E, Fla. Admin. Code. The complaining party must file with the SFWMD Clerk a verified complaint setting forth the facts upon which the complaint is based and the manner in which the complaining party is affected. If the SFWMD does not take appropriate action on the complaint within 30 days of receipt, the complaining party may then file a civil suit for injunctive relief in the 15th Judicial Circuit in and for Palm Beach County or circuit court in the county where the cause of action allegedly occurred.

7. Pursuant to Section 373.433, Fla. Stat., a private citizen of Florida may file suit in circuit court to require the abatement of any stormwater management system, dam, impoundment, reservoir, appurtenant work or works that violate the provisions of Chapter 373, Fla. Stat.

DISTRICT COURT OF APPEAL

8. Pursuant to Section 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.

LAND AND WATER ADJUDICATORY COMMISSION

9. A party to a "proceeding below" may seek review by the Land and Water Adjudicatory Commission (FLAWAC) of SFWMD's final agency action to determine if such action is consistent with the provisions and purposes of Chapter 373, Fla. Stat. Pursuant to Section 373.114, Fla. Stat., and Rules 42-2.013 and 42-2.0132, Fla. Admin. Code, a request for review of (a) an order or rule of the SFWMD must be filed with FLAWAC within 20 days after rendition of the order or adoption of the rule sought to be reviewed; (b) an order of the Department of Environmental Protection (DEP) requiring amendment or repeal of a SFWMD rule must be filed with FLAWAC within 30 days of rendition of the DEP's order, and (c) a SFWMD order entered pursuant to a formal administrative hearing under Section 120.57(1), Fla. Stat., must be filed no later than 20 days after rendition of the SFWMD's final order. Simultaneous with filing, a copy of the request for review must be served on the DEP Secretary, any person named in the SFWMD or DEP final order, and all parties to the proceeding below. A copy of Rule 42-2.013, Fla. Admin. Code is attached to this Notice of Rights.

PRIVATE PROPERTY RIGHTS PROTECTION ACT

10. A property owner who alleges a specific action of the SFWMD has inordinately burdened an existing use of the real property, or a vested right to a specific use of the real property, may file a claim in the circuit court where the real property is located within 1 year of the SFWMD action pursuant to the procedures set forth in Subsection 70.001(4)(a), Fla. Stat.

LAND USE AND ENVIRONMENTAL DISPUTE RESOLUTION

11. A property owner who alleges that a SFWMD development order (as that term is defined in Section 70.51(2)(a), Fla. Stat. to include permits) or SFWMD enforcement action is unreasonable, or unfairly burdens the use of the real property, may file a request for relief with the SFWMD within 30 days of receipt of the SFWMD's order or notice of agency action pursuant to the procedures set forth in Subsections 70.51(4) and (6), Fla. Stat.

MEDIATION

12. A person whose substantial interests are, or may be, affected by the SFWMD's action may choose mediation as an alternative remedy under Section 120.573, Fla. Stat. Pursuant to Rule 28-106.111(2), Fla. Admin. Code, the petition for mediation shall be filed within 21 days of either written notice through mail or posting

publication of notice that the SFWMD has or intends to take final agency action. Choosing mediation will not affect the right to an administrative hearing if mediation does not result in settlement.

Pursuant to Rule 28-106.402, Fla. Admin. Code, the contents of the petition for mediation shall contain the following information:

(1) the name, address, and telephone number of the person requesting mediation and that person's representative, if any;

(2) a statement of the preliminary agency action;

(3) an explanation of how the person's substantial interests will be affected by the agency determination; and

(4) a statement of relief sought.

As provided in Section 120.573, Fla. Stat. (1997), the timely agreement of all the parties to mediate will toll the time limitations imposed by Sections 120.569 and 120.57, Fla. Stat., for requesting and holding an administrative hearing. Unless otherwise agreed by the parties, the mediation must be concluded within 60 days of the execution of the agreement. If mediation results in settlement of the dispute, the SFWMD must enter a final order incorporating the agreement of the parties. Persons whose substantial interest will be affected by such a modified agency decision have a right to petition for hearing within 21 days of receipt of the final order in accordance with the requirements of Sections 120.569 and 120.57, Fla. Stat., and SFWMD Rule 28-106.201(2), Fla. Admin. Code. If mediation terminates without settlement of the dispute, the SFWMD shall notify all parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Fla. Stat., remain available for disposition of the dispute, and the notice will specify the deadlines that then will apply for challenging the agency action.

VARIANCES AND WAIVERS

13. A person who is subject to regulation pursuant to a SFWMD rule and believes the application of that rule will create a substantial hardship or will violate principles of fairness (as those terms are defined in Subsection 120.542(2), Fla. Stat.) and can demonstrate that the purpose of the underlying statute will be or has been achieved by other means, may file a petition with the SFWMD Clerk requesting a variance from or waiver of the SFWMD rule. Applying for a variance or waiver does not substitute or extend the time for filing a petition for an administrative hearing or exercising any other right that a person may have concerning the SFWMD's action. Pursuant to Rule 28-104.002(2), Fla. Admin. Code, the petition must include the following information:

(a) the caption shall read:

Petition for (Variance from) or (Waiver of) Rule (Citation)

(b) The name, address, telephone number and any facsimile number of the petitioner;

(c) The name, address telephone number and any facsimile number of the attorney or qualified representative of the petitioner, (if any);

(d) the applicable rule or portion of the rule;

(e) the citation to the statute the rule is implementing;

(f) the type of action requested;

(g) the specific facts that demonstrate a substantial hardship or violation of principles of fairness that would justify a waiver or variance for the petitioner;

(h) the reason why the variance or the waiver requested would serve the purposes of the underlying statute; and

(i) a statement of whether the variance or waiver is permanent or temporary. If the variance or waiver is temporary, the petition shall include the dates indicating the duration of the requested variance or waiver.

A person requesting an emergency variance from or waiver of a SFWMD rule must clearly so state in the caption of the petition. In addition to the requirements of Section 120.542(5), Fla. Stat. pursuant to Rule 28-104.004(2), Fla. Admin. Code, the petition must also include:

a) the specific facts that make the situation an emergency; and

b) the specific facts to show that the petitioner will suffer immediate adverse effect unless the variance or waiver is issued by the SFWMD more expeditiously than the applicable timeframes set forth in Section 120.542, Fla. Stat.

WAIVER OF RIGHTS

14. Failure to observe the relevant time frames prescribed above will constitute a waiver of such right.

28-106.201

INITIATION OF PROCEEDINGS

(INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

(2) All petitions filed under these rules shall contain:

(a) The name and address of each agency affected and each agency's file or identification number, if known;

(b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;

(c) A statement of when and how the petitioner received notice of the agency decision;

(d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;

(e) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and

(f) A demand for relief.

28-106.301 INITIATION OF PROCEEDINGS
(NOT INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

- (2) All petitions filed under these rules shall contain:
- (a) The name and address of each agency affected and each agency's file or identification number, if known;
 - (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
 - (c) A statement of when and how the petitioner received notice of the agency decision;
 - (d) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and
 - (e) A demand for relief.

28-107.004 SUSPENSION, REVOCATION, ANNULMENT, OR WITHDRAWAL

- (3) Requests for hearing filed in accordance with this rule shall include:
- (a) The name and address of the party making the request, for purposes of service;
 - (b) A statement that the party is requesting a hearing involving disputed issues of material fact, or a hearing not involving disputed issues of material fact; and
 - (c) A reference to the notice, order to show cause, administrative complaint, or other communication that the party has received from the agency.

42-2.013 REQUEST FOR REVIEW PURSUANT TO SECTION 373.114 OR 373.217

(1) In any proceeding arising under Chapter 373, F.S., review by the Florida Land and Water Adjudicatory Commission may be initiated by the Department or a party by filing a request for such review with the Secretary of the Commission and serving a copy on any person named in the rule or order, and on all parties to the proceeding which resulted in the order sought to be reviewed. A certificate of service showing completion of service as required by this subsection shall be a requirement for a determination of sufficiency under Rule 42-2.0132. Failure to file the request with the Commission within the time period provided in Rule 42-2.0132 shall result in dismissal of the request for review.

(2) The request for review shall identify the rule or order requested to be reviewed, the proceeding in which the rule or order was entered and the nature of the rule or order. A copy of the rule or order sought to be reviewed shall be attached. The request for review shall state with particularity:

- (a) How the order or rule conflicts with the requirements, provisions and purposes of Chapter 373, F.S., or rules duly adopted thereunder;

(b) How the rule or order sought to be reviewed affects the interests of the party seeking review;

(c) The oral or written statement, sworn or unsworn, which was submitted to the agency concerning the matter to be reviewed and the date and location of the statement, if the individual or entity requesting the review has not participated in a proceeding previously instituted pursuant to Chapter 120, F.S., on the order for which review is sought;

(d) If review of an order is being sought, whether and how the activity authorized by the order would substantially affect natural resources of statewide or regional significance, or whether the order raises issues of policy, statutory interpretation, or rule interpretation that have regional or statewide significance from a standpoint of agency precedent, and all the factual bases in the record which the petitioner claims support such determination(s); and

(e) The action requested to be taken by the Commission as a result of the review, whether to rescind or modify the order, or remand the proceeding to the water management district for further action, or to require the water management district to initiate rulemaking to adopt, amend or repeal a rule.

28-107.005 EMERGENCY ACTION

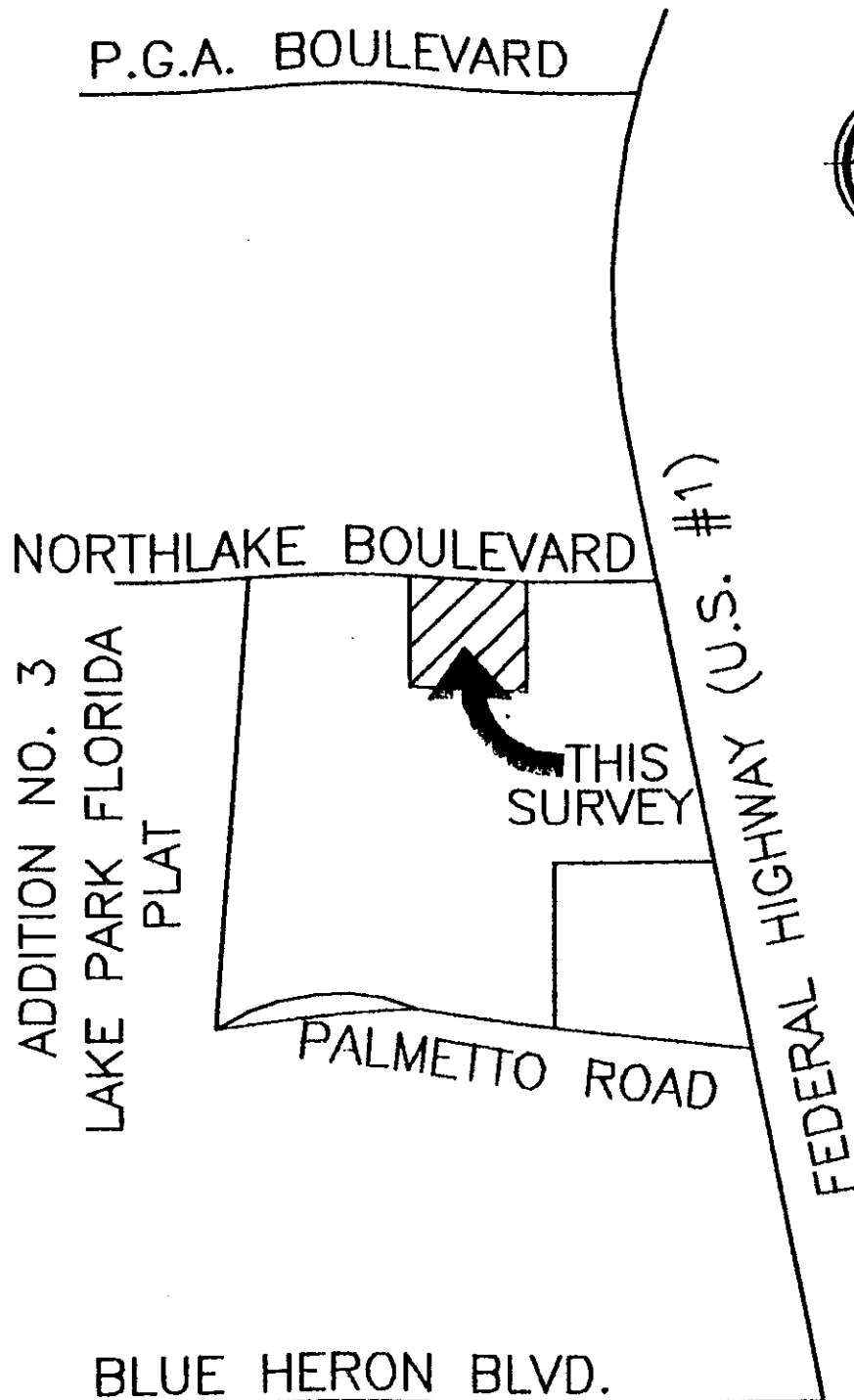
- (1) If the agency finds that immediate serious danger to the public health, safety, or welfare requires emergency action, the agency shall summarily suspend, limit, or restrict a license.
- (2) the 14-day notice requirement of Section 120.569(2)(b), F. S., does not apply and shall not be construed to prevent a hearing at the earliest time practicable upon request of an aggrieved party.

(3) Unless otherwise provided by law, within 20 days after emergency action taken pursuant to paragraph (1) of this rule, the agency shall initiate a formal suspension or revocation proceeding in compliance with Sections 120.569, 120.57. and 120.60, F.S.

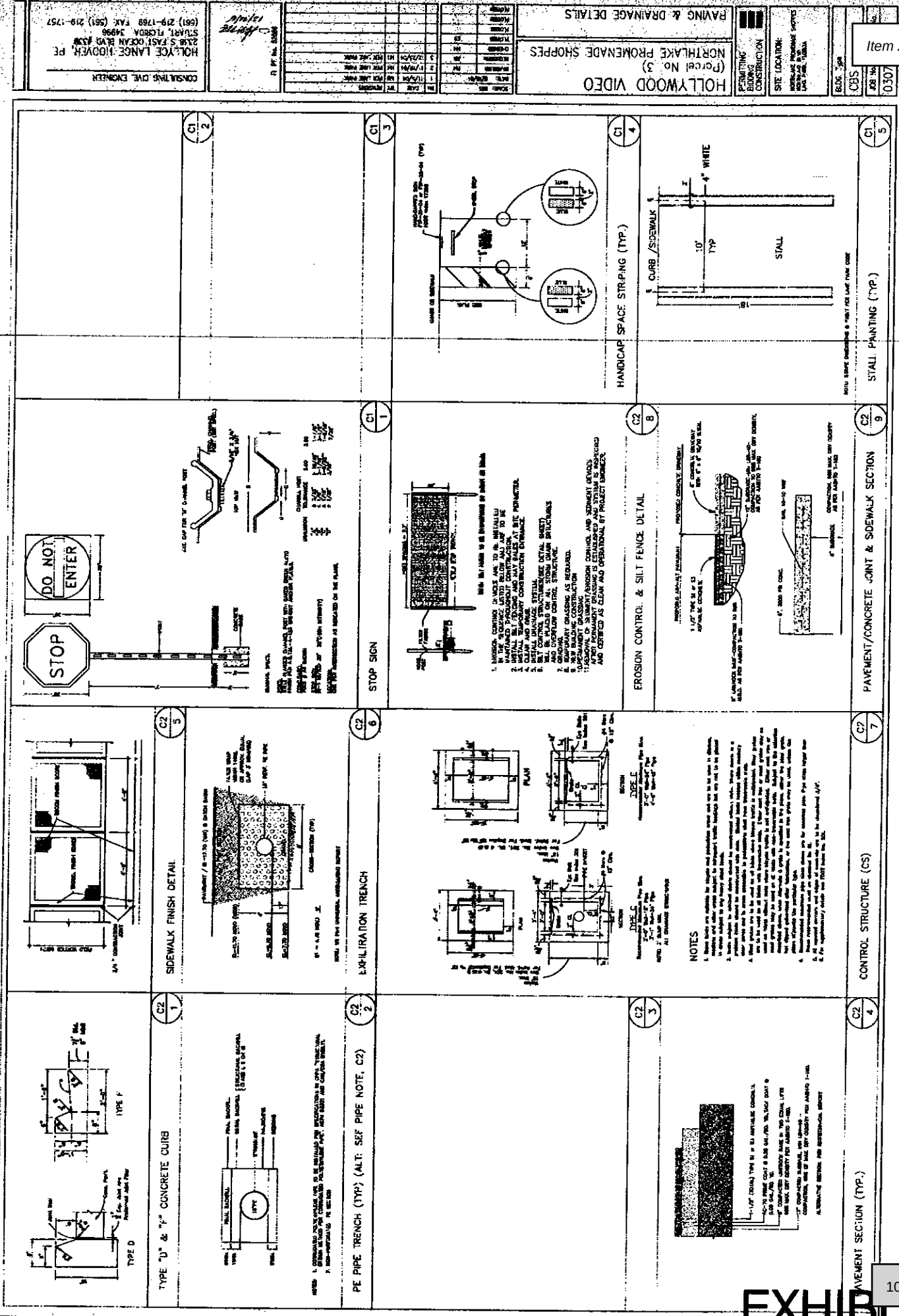
40E-1.611 EMERGENCY ACTION

(1) An emergency exists when immediate action is necessary to protect public health, safety or welfare; the health of animals, fish or aquatic life; the works of the District; a public water supply, or recreational, commercial, industrial, agricultural or other reasonable uses of land and water resources.

(2) The Executive Director may employ the resources of the District to take whatever remedial action necessary to alleviate the emergency condition without the issuance of an emergency order, or in the event an emergency order has been issued, after the expiration of the requisite time for compliance with that order.



LOCATION MAP
(NOT TO SCALE)



Last Date For Agency Action: 26-FEB-2006

GENERAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT

Project Name: Hollywood Video (Phase 1a - Out Parcels)

Permit No.: 50-04324-P

Application No.: 050609-13

Application Type: Environmental Resource (General Permit Modification)

Location: Palm Beach County, S21/T42S/R43E

Permittee : Developers Of Northlake, Inc.

Operating Entity : Permittee

Project Area: .86 acres

Project Land Use: Commercial

Drainage Basin: INTRACOASTAL WATERWAY

Receiving Body: Master system

Class: N/A

Special Drainage District: NA

Conservation Easement To District : No

Sovereign Submerged Lands: No

PROJECT PURPOSE

This application is a request for modification of a surface water management system to serve a 0.86-acre commercial development known as Hollywood Video (Phase 1A - Outparcels) within the previously permitted Northlake Promenade development.

PROJECT EVALUATION:**PROJECT SITE DESCRIPTION:**

The site is out parcel #3 within the previously permitted Northlake Promenade Shoppes at the corner of Northlake Blvd and Federal Highway in north central Palm Beach County (See Exhibit 1). The site has been cleared, roughly graded, and sodded.

There are no wetlands or other surface waters located within or affected by the proposed project.

PROPOSED PROJECT:

Proposed is the modification of Permit No. 50-04324-P for the construction and operation of a surface water management system to serve a 0.86-acre outparcel within the Northlake Promenade Shoppes development. Proposed construction includes a video rental store with associated parking and utilities. Runoff will be directed to 200 LF of exfiltration trench for water quality treatment. A 4' wide sharp crested weir with a crest elevation of 11.7' NGVD keeps the runoff in the trench prior to overflowing to the master system.

LAND USE:**Construction:****Project:**

	This Phase	Total Project	
Building Coverage	.12	4.42	acres
Pavement	.50	15.85	acres
Pervious	.24	7.75	acres
Water Mgmt Acreage	.00	.94	acres
Total:	.86	28.96	

WATER QUANTITY:**Discharge Rate :**

The proposed project is consistent with the land use and site grading assumptions from the design of the surface water management system. Therefore, the surface water management system for this project has not been designed to limit discharge for the design event to a specified rate.

Control Elevation :

Basin	Area (Acres)	Ctrl Elev (ft, NGVD)	WSWT Ctrl Elev (ft, NGVD)	Method Of Determination
Out-Parcel #3	.86	2/2	2.00	Master System

WATER QUALITY:

Water quality treatment for 2.5" over the percent impervious will be provided in 200 LF of exfiltration trench.

Basin	Treatment Method		Vol Req.d (ac-ft)		Vol Prov'd (ac-ft)
Out-Parcel #3	Treatment	Exfiltration Trench	200 LF	.12	.12

CERTIFICATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and subsection 40E-4361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Subsection 40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Section 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

RELATED CONCERNS:**Water Use Permit Status:**

Water Use Permit Number 50-04506-W has been issued for this project. This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation, unless the work qualifies for a No-Notice Short-Term Dewatering permit pursuant to Chapter 40E-20.302(3) or is exempt pursuant to Section 40E-2.051, FAC.

Historical/Archeological Resources:

The District has received correspondence previously from the Florida Department of State, Division of Historical Resources indicating that the agency has no objections to the issuance of this permit.

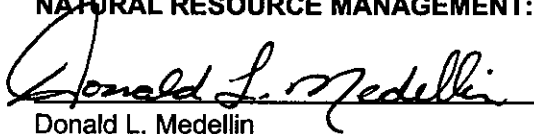
DCA/CZM Consistency Review:

The District has not received a finding of inconsistency from the Florida Department of Community Affairs regarding the provisions of the federal Coastal Zone Management Plan.

Enforcement:

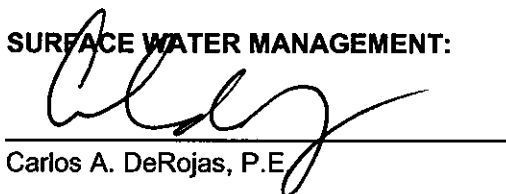
There has been no enforcement activity associated with this application.

STAFF REVIEW:**DIVISION APPROVAL:****NATURAL RESOURCE MANAGEMENT:**


Donald L. Medellin

DATE: 2/1/06

SURFACE WATER MANAGEMENT:


Carlos A. DeRojas, P.E.

DATE: 1/27/06

STAFF REPORT DISTRIBUTION LIST

HOLLYWOOD VIDEO (PHASE 1A - OUT PARCELS)

Application No: 050609-13

Permit No: 50-04324-P

INTERNAL DISTRIBUTION

- X Kenson Coupet - 4220
- X Luis Colon - 4250
- X Carlos A. DeRojas, P.E. - 4220
- X Donald L. Medellin - 4250
- X ERC Engineering - 4230
- X ERC Environmental - 4230
- X H. Azizi - 4230
- X H. Bittaker, PBCSC - 4350
- X Permit File

EXTERNAL DISTRIBUTION

- X Permittee - Developers Of Northlake, Inc.
- X Engr Consultant - H L Hoover Pe

GOVERNMENT AGENCIES

- X Div of Recreation and Park - District 7 - FDEP
- X Florida Fish & Wildlife Conservation Commission - Imperiled Species Mgmt Section
- X Palm Beach County - Building Div
- X Palm Beach County - Environmental Res Mgmt
- X Palm Beach County - Health Dept
- X Palm Beach County - Land Development Div
- X Palm Beach County - School Board Growth Mgmt
- X Palm Beach County Engineer

OTHER INTERESTED PARTIES

- X Rosa Durando
- X Water Catchment Area Advisory Committee - Ed Dailey
- X Water Management Institute - Michael N. Vanatta