



Town of Lake Park, Florida

Historic Preservation Board Meeting Agenda

Monday, November 07, 2022 at 6:30 PM

Commission Chamber, Town Hall, 535 Park Avenue, Lake Park, FL 33403

Richard Ahrens	—	Chair
Jon Buechele	—	Vice-Chair
Lauren Paxton	—	Regular Member
Elizabeth Woolford	—	Regular Member

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Historic Preservation Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

Richard Ahrens, Chair

Jon Buechele, Vice- Chair

Lauren Paxton, Regular Member

Elizabeth Woolford, Regular Member

APPROVAL OF AGENDA

APPROVAL OF MINUTES

[HISTORIC](#) PRESERVATION BOARD MEETING MINUTES; AUGUST 12, 2021

PUBLIC COMMENTS

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located in the rear of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

ORDER OF BUSINESS

The normal order of business for Hearings on agenda items is as follows:

- ☐ Staff presentation
- ☐ Applicant presentation (when applicable)
- ☐ Board Member questions of Staff and Applicant
- ☐ Public Comments – 3 minute limit per speaker

- ☐ Rebuttal or closing arguments for quasi-judicial items
- ☐ Motion on floor
- ☐ Vote of Board

NEW BUSINESS

HPB 22-001 – SPECIAL CERTIFICATE OF APPROPRIATENESS FOR 414 GREENBRIAR DRIVE FOR THE EXTERIOR MODIFICATION TO THE ACCESSORY STRUCTURE AND RE-PAINTING OF THE MAIN STRUCTURE. OWNER/APPLICANT: J&D WEST PALM BEACH FL PROPERTIES LLC/JESSE GATES.

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS

BOARD COMMENTS

ADJOURNMENT



**Town of Lake Park, Florida
Historic Preservation Board
Meeting Minutes
Thursday, August 12, 2021 6:00 PM
535 Park Avenue, Lake Park, Florida**

CALL TO ORDER

Chair Thomas called the Historic Preservation Board Meeting to order at 6:09 p.m.

PLEDGE OF ALLEGIANCE

Chair Thomas lead the Pledge of Allegiance.

ROLL CALL

Judith Thomas, Chair	Present
Joseph Rice, Vice-Chair	Present
Richard Ahrens	Excused Absence
Jon Buechele	Excused Absence
Lauren Paxton	Present

Also in attendance were Community Development Director Nadia DiTommaso, Public Works Director Roberto Travieso, Project Manager John Willie and Deputy Town Clerk Shaquita Edwards.

APPROVAL OF AGENDA

Motion: Vice-Chair Rice moved to approve the agenda; Board Member Paxton seconded the motion.

Vote on Motion:

Board Member	Aye	Nay	Other
Board Member Ahrens			Absent
Board Member Buechele			Absent
Board Member Paxton	X		
Board Member Rice	X		
Chair Thomas	X		

Motion passed 3-0.

APPROVAL OF MINUTES

- Historic Preservation Board Meeting Minutes; July 6, 2020.

Historic Preservation Board Meeting Minutes
August 12, 2021

Motion: Vice-Chair Rice moved to approve the Historic Preservation Board Meeting minutes of July 6, 2020; Board Member Paxton seconded the motion.

Vote on Motion:

Board Member	Aye	Nay	Other
Board Member Ahrens			Absent
Board Member Buechele			Absent
Board Member Paxton	X		
Board Member Rice	X		
Chair Thomas	X		

Motion passed 3-0.

Public Comment

Chair Thomas explained the Public Comment procedure.

ORDER OF BUSINESS

The normal order of business for Hearings on agenda items are as follows:

- Staff presentation
- Applicant presentation (when applicable)
- Board Member questions of staff and applicant
- Public Comments – limited to 3 minutes per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor
- Vote of Board

NEW BUSINESS

HPB-21-001- Special Certificate of Appropriateness for the replacement of Town Hall Doors (535 Park Avenue) - Town initiated project (Consultant: REG Architects).

Ex-Parte Communication Disclosed:

Board Member Ahrens – Absent

Board Member Buechele – Absent

Board Member Paxton – had no ex-parte communication to disclose.

Vice-Chair Rice – had no ex-parte communication to disclose.

Chair Thomas – had no ex-parte communication to disclose.

Deputy Town Clerk Edwards swore-in all witnesses.

Community Development Director DiTommaso introduced the item and welcomed Public Works Director Travieso to present to the Board (see Exhibit “A”).

Public Comment open:

Historic Preservation Board Meeting Minutes
August 12, 2021

None

Public Comment closed:

Vice-Chair Rice apologized for his tardiness and thanked Mr. Travieso and Mr. John Wille for joining the Town of Lake Park.

Chair Thomas asked for clarification of the construction timeline. Mr. Travieso announced construction would commence the following week through the end of August 2021 per approval of the Historic Preservation Board. Project Manager Wille explained that project entailed two phases, phase one would commence the week of August 16, 2021 and phase two would commence the week of August 23, 2021. Mr. Wille directed the attention of the Board to Exhibit “A” (Commission Chambers Door 55-Detail & Elevation).

Chair Thomas and Vice-Chair Rice expressed appreciation to staff for their ongoing efforts to preserve the historical significance within the Town of Lake Park. Vice-Chair Rice asked for clarification regarding the number of quotes received. Project Manager Wille explained the project was publicly advertised and the Town had only received one submittal.

Chair Thomas questioned if the Town engaged the services of Janis Research for historic projects. Community Director DiTommaso explained that the Town has not engaged the services of Janis Research for at least a decade. She announced that with funding the Town was hopeful that Janis Research would respond to future solicitations for historic projects.

Motion: Vice-Chair Rice moved to approve the Special Certificate of Appropriateness for the replacement of Town Hall Doors (535 Park Avenue)- Town initiated project (Consultant: REG Architects); Board Member Paxton seconded the motion.

Vote on Motion:

Board Member	Aye	Nay	Other
Board Member Ahrens			Absent
Board Member Buechele			Absent
Board Member Paxton	X		
Board Member Rice	X		
Chair Thomas	X		

Motion passed 3-0.

Community Development Director Comments

Community Development Director DiTommaso announced the recent sale of 918 Park Avenue, plans had not been received, and the owners intended to proceed with the certificate of appropriateness issued several years ago for façade renovations.

Historic Preservation Board Member Comments

Chair Thomas requested an update regarding 1100 2nd Court. Community Development Director DiTommaso announced there was a recent final judgement on the foreclosure, an auction was the next procedural step, and she was hopeful the Town would own the property. Chair Thomas suggested immediate action regarding the overgrowth at 1100 2nd Court and the installation of ground lighting in Blakely Park.

ADJOURNMENT

There being no further business to come before the Historic Preservation Board; the meeting adjourned at 6:33 p.m.

Richard Ahrens, Chair
Town of Lake Park Historic Preservation Board

Shaquita Edwards, MPA, MMC, Deputy Town Clerk

Town Seal

Approved on this _____ of _____, 2022

Exhibit "A"



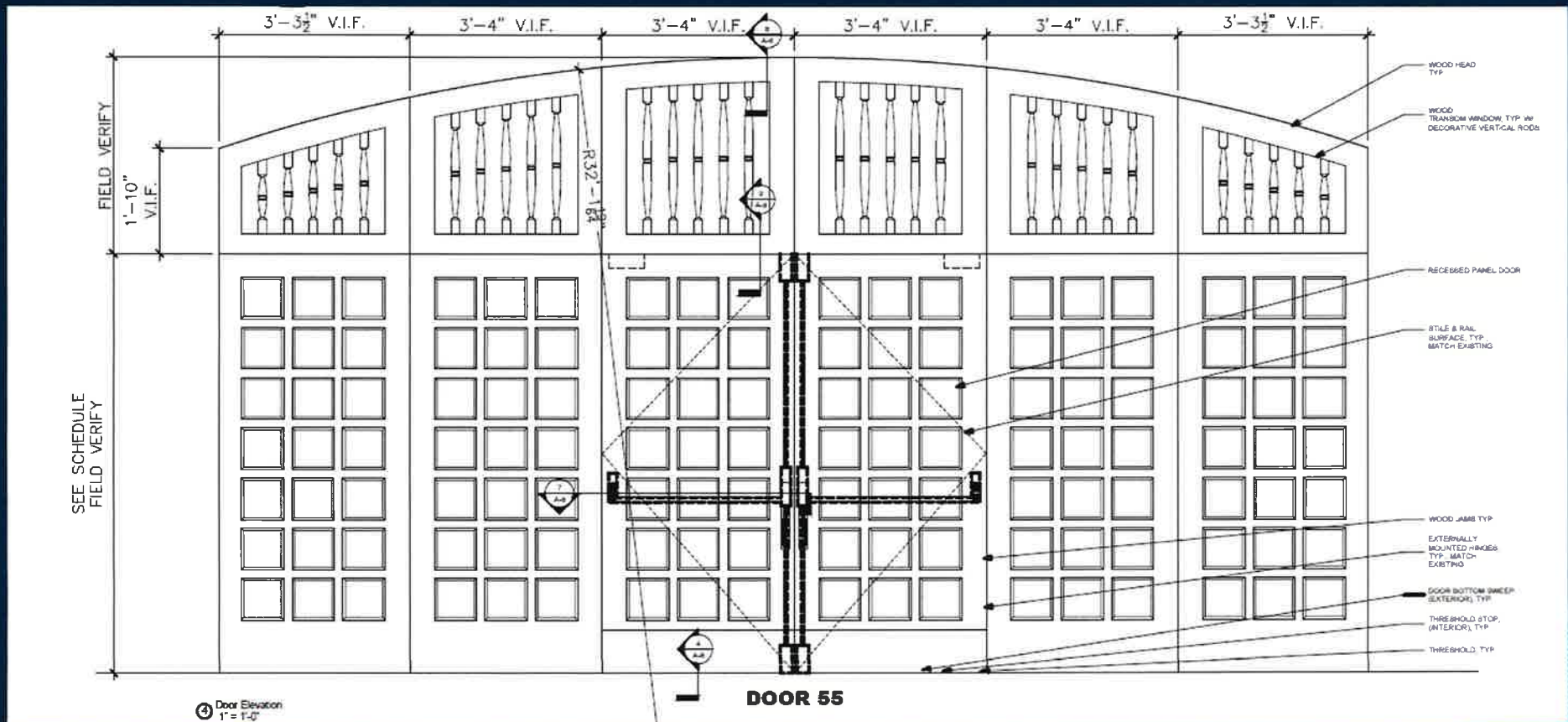
Historic Preservation Board

Project to Restore Town Hall Doors

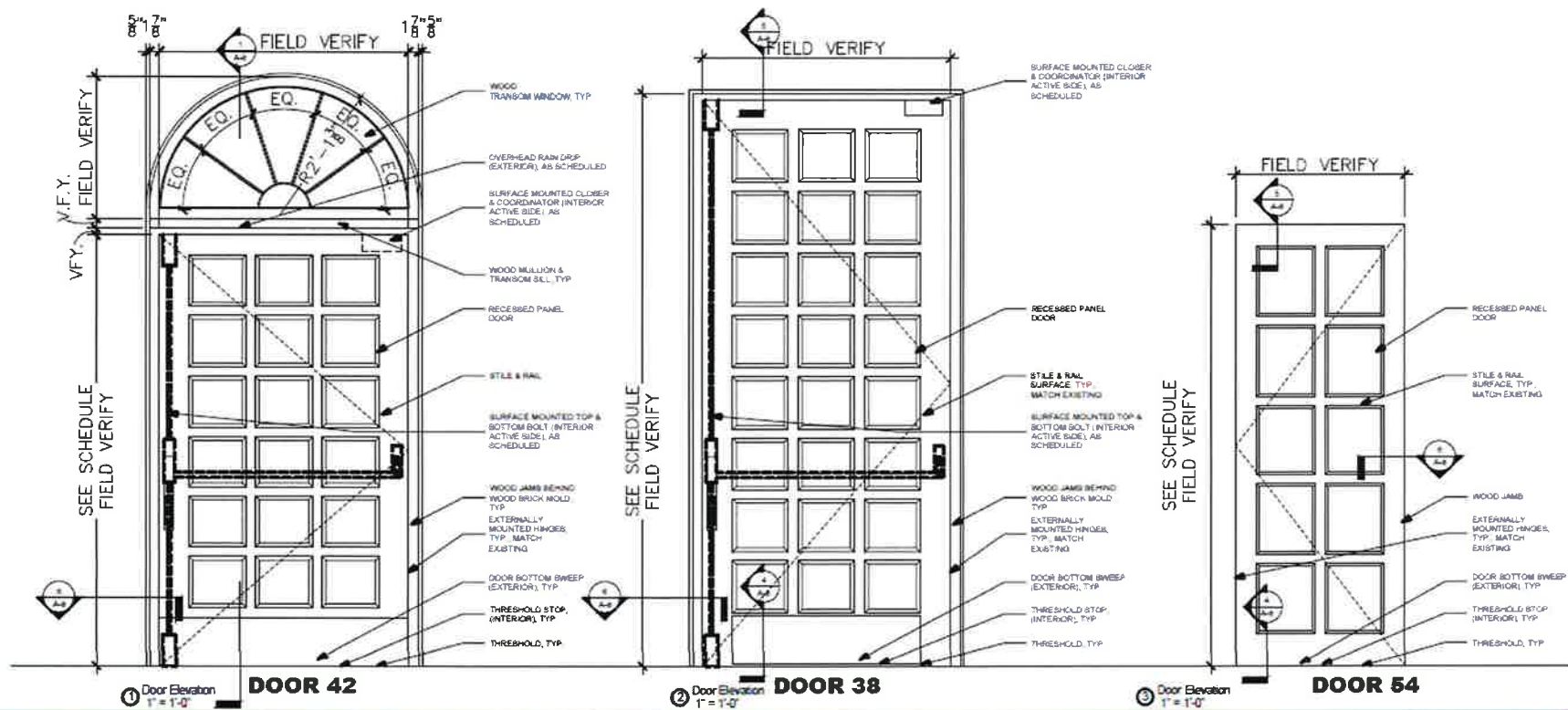
August 12, 2021



Commission Chambers Door 55 - Detail & Elevation



Doors 42, 38, 54, and 54 A - Detail & Elevation



☐ Original
☒ Update



HISTORICAL STRUCTURE FORM FLORIDA MASTER SITE FILE Version 4.0 1/07

Site #8 PB00198
 Field Date 8-30-2016
 Form Date 7-21-1981
 Recorder # _____

Shaded Fields represent the minimum acceptable level of documentation.
 Consult the Guide to Historical Structure Forms for detailed instructions.

Exhibit
 2
 ps 1 x
 2

Site Name(s) (address if none) Lake Park Town Hall Multiple Listing (DHR only) _____
 Survey Project Name formerly: Kelsey City City Hall Survey # (DHR only) _____
 National Register Category (please check one) ☒ building ☐ structure ☐ district ☐ site ☐ object
 Ownership: ☐ private-profit ☐ private-nonprofit ☐ private-individual ☐ private-nonspecific ☒ city ☐ county ☐ state ☐ federal ☐ Native American ☐ foreign ☐ unknown

LOCATION & MAPPING

Street Number 535 Direction _____ Street Name Park Street Type Avenue Suffix Direction _____
 Address: 535 Park Avenue
 Cross Streets (nearest / between) Sixth Street
 USGS 7.5 Map Name RIVIERA BEACH USGS Date _____ Plat or Other Map _____
 City / Town (within 3 miles) Lake Park In City Limits? ☒ yes ☐ no ☐ unknown County Palm Beach
 Township 42S Range 43E Section 21 1/4 section: ☐ NW ☐ SW ☒ SE ☐ NE Irregular-name: _____
 Tax Parcel # 36434220010190010 Landgrant _____
 Subdivision Name Kelsey City Block 19 Lot _____
 UTM Coordinates: Zone ☐ 16 ☒ 17 Easting 592300 Northing 2964360
 Other Coordinates: X: _____ Y: _____ Coordinate System & Datum _____
 Name of Public Tract (e.g., park) _____

HISTORY

Construction Year: 1927 ☐ approximately ☐ year listed or earlier ☒ year listed or later
 Original Use Municipal building From (year): 1927 To (year): 2016
 Current Use Municipal building From (year): _____ To (year): _____
 Other Use _____ From (year): _____ To (year): _____
 Moves: ☐ yes ☒ no ☐ unknown Date: _____ Original address _____
 Alterations: ☐ yes ☐ no ☒ unknown Date: _____ Nature Fire & Police fac's converted-offices
 Additions: ☐ yes ☒ no ☐ unknown Date: _____ Nature _____
 Architect (last name first): Kitchell, Bruce Builder (last name first): Arnold Construction Company
 Ownership History (especially original owner, dates, profession, etc.) Town of Lake Park

Is the Resource Affected by a Local Preservation Ordinance? ☒ yes ☐ no ☐ unknown Describe _____

DESCRIPTION

Style Mediterranean Revival Exterior Plan T-shaped Number of Stories 2
 Exterior Fabric(s) 1. Stucco 2. Concrete-poured 3. _____
 Roof Type(s) 1. Hip 2. _____ 3. _____
 Roof Material(s) 1. Barrel tile 2. _____ 3. _____
 Roof secondary strucs. (dormers etc.) 1. Pavilion tower 2. _____
 Windows (types, materials, etc.) Wood frame with impact glazing

Distinguishing Architectural Features (exterior or interior ornaments) Rusticated frontispiece in the center bay of the seven-bay facade. jack arches and open-bed pediments over the 2nd floor windows

Ancillary Features / Outbuildings (record outbuildings, major landscape features; use continuation sheet if needed.) _____

DHR USE ONLY		OFFICIAL EVALUATION		DHR USE ONLY	
NR List Date	SHPO - Appears to meet criteria for NR listing: <input type="checkbox"/> yes <input type="checkbox"/> no <input type="checkbox"/> insufficient info	Date	Init.		
<input type="checkbox"/> Owner Objection	KEEPER - Determined eligible: <input type="checkbox"/> yes <input type="checkbox"/> no	Date			
	NR Criteria for Evaluation: <input type="checkbox"/> a <input type="checkbox"/> b <input type="checkbox"/> c <input type="checkbox"/> d (see National Register Bulletin 15, p. 2)				

DESCRIPTION (continued)

Chimney: No. _____ Chimney Material(s): 1. _____ 2. _____
 Structural System(s): 1. Brick 2. Structural clay tile 3. _____
 Foundation Type(s): 1. Piers 2. Slab
 Foundation Material(s): 1. Poured Concrete Footing 2. _____
 Main Entrance (stylistic details) Arched entranceway flanked by two engaged columns, flanked by pilasters separated by shallow niches. Unified by bands.
 Porch Descriptions (types, locations, roof types, etc.) _____

Condition (overall resource condition): ☐ excellent ☒ good ☐ fair ☐ deteriorated ☐ ruinous

Narrative Description of Resource _____

Archaeological Remains _____

☐ Check if Archaeological Form Completed

RESEARCH METHODS (check all that apply)

☒ FMSF record search (sites/surveys) ☐ library research ☐ building permits ☐ Sanborn maps
☐ FL State Archives/photo collection ☐ city directory ☐ occupant/owner interview ☐ plat maps
☒ property appraiser / tax records ☐ newspaper files ☐ neighbor interview ☐ Public Lands Survey (DEP)
☐ cultural resource survey (CRAS) ☒ historic photos ☐ interior inspection ☐ HABS/HAER record search
☐ other methods (describe) _____

Bibliographic References (give FMSF manuscript # if relevant, use continuation sheet if needed) _____

OPINION OF RESOURCE SIGNIFICANCE

Appears to meet the criteria for National Register listing individually? ☒ yes ☐ no ☐ insufficient information

Appears to meet the criteria for National Register listing as part of a district? ☐ yes ☐ no ☒ insufficient information

Explanation of Evaluation (required, whether significant or not; use separate sheet if needed) _____

Area(s) of Historical Significance (see *National Register Bulletin 15*, p. 8 for categories: e.g. "architecture", "ethnic heritage", "community planning & development", etc.)

1. Local 3. _____ 5. _____
 2. _____ 4. _____ 6. _____

DOCUMENTATION

Accessible Documentation Not Filed with the Site File - including field notes, analysis notes, photos, plans and other important documents

1) Document type All materials at one location Maintaining organization Florida Division of Historical Resources
 Document description Nat. Register Hist. Places, Inventory Nomin File or accession #'s 8PB198
 2) Document type _____ Maintaining organization _____
 Document description _____ File or accession #'s _____

RECORDER INFORMATION

Recorder Name W. Carl Shriver Affiliation Florida Division of Archives, History & Records

Recorder Contact Information The Capital, Tallahassee, FL; 904-487-2333
 (address / phone / fax / e-mail)

Required Attachments

- ① USGS 7.5' MAP WITH STRUCTURE LOCATION PINPOINTED IN RED
- ② LARGE SCALE STREET, PLAT OR PARCEL MAP (available from most property appraiser web sites)
- ③ PHOTO OF MAIN FACADE, ARCHIVAL B&W PRINT OR DIGITAL IMAGE FILE
 If submitting an image file, it must be included on disk or CD AND in hard copy format (plain paper is acceptable).
 Digital image must be at least 1600 x 1200 pixels, 24-bit color, jpeg or tiff.



APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS

\$200 application fee plus escrow deposit (minimum \$1,500 at submittal)

I. PROPERTY INFORMATION:

THIS SECTION FOR OFFICE USE ONLY

Site Designation Name: 414 Greenbriar Dr

SPECIAL ☒ REGULAR ☐

Property Address: 414 Greenbriar Dr

Designation No.: _____

Folio No.: 36434220010230040

Date Application Received: 5/26/99

Date of Designation: 10/4/99

LEGAL DESCRIPTION

Type of Designation: Local

Subdivision: 01

Assigned COA No.: _____

Lot: 4

Property is in a District: ☐ YES

Block: 23

☒ NO

Non-Contributing: ☐

Contributing: ☐

II. APPLICANT INFORMATION:

Name(s) of Owner: J&D West Palm Beach FL Properties LLC

Name of Applicant: Jesse Gates

Address of Applicant: 414 Greenbriar Dr., Lake Park, FL 33403

Applicant telephone number: 772-801-4545

Applicant E-Mail Address: shalorgat@hotmail.com

Applicant is: ☒ Owner

☐ Lease

☐ Contractor

☐ Legal Agent

All applications shall include one or two 3" x 5" color photographs of the designated property and project plans.

III. THE PROPOSED PROJECT WILL INCLUDE:

Please check those that apply to your project.

☒ Maintenance or Repair

☒ Restoration

☐ Rehabilitation

☐ Evacuation

☒ Demolition

☐ New Construction

☐ Relocation

IV. DESCRIPTION OF THE PROPOSED PROJECT:

Please describe what changes will be made to the following items and how they will be accomplished.

Structural System: Repair and replace damage exterior bearing walls.

Roofs and Roofing System: Add tie downs per structural engineer recommendations/calculations for hurricane zone code compliance.

Windows and Doors: Removed all the existing damaged windows & doors and replace all with new windows.

Materials: (masonry, wood, metal): Remove existing exterior damaged wood siding and replace with new hardie plank lap siding to match existing.

Porches, Porte-cochere, Steps and Stairways: n/a

Painting and Finishes and Color: Proposing Sherwing William SW 9153 Moolit Orchid paint color for both guest and main house.

Additions: n/a

Demolitions: Removing damaged wood siding, windows and doors. Repairing and replacing damaged exterior wood bearing walls.

PLEASE DO NOT DETACH FROM APPLICATION.



SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Jesse Gates, have read and understand the regulations above regarding cost recovery.

Jesse Gates
Property Owner Signature

07/22/2022
Date

ADD ADDITIONAL TEXT (IF NEEDED):

THIS PAGE FOR OFFICE USE ONLY

REGULAR CERTIFICATE OF APPROPRIATENESS

Designation Name: _____ **C.O.A. #:** _____

Historic Preservation Specialist Reviewer: _____

Application was received complete: ☐ **Yes**
☐ **No**

Request for Additional Documentation: ☐ **Yes**
☐ **No**

What documents or information requested:

Additional Documentation Received: ☐ **Yes** **Date Received:** _____
☐ **No**

Site Inspection: ☐ **Yes** **Date Inspected:** _____
☐ **No** **Inspector:** _____

☐ **Approved** ☐ **Approved with Conditions** ☐ **Denied**

Expiration Date: _____

(Signed) Historic Preservation Division Director

Date

NOTE: The Certificate of appropriateness is valid for a period of 180 days after the date of its approval. After the expiration date a 60-day period may be allowed to complete work In progress if the owner can show cause why the work has not been completed; otherwise, the owner must reapply. Any questions regarding this application may be directed to Community Development Director at 561-881-3319.

THIS PAGE FOR OFFICE USE ONLY

SPECIAL CERTIFICATE OF APPROPRIATENESS

Designation Name: _____ **C.O.A. #:** _____

Historic Preservation Specialist Reviewer: _____

Application was received complete: ☐ **Yes**
☐ **No**

Request for Additional Documentation: ☐ **Yes**
☐ **No**

What documents or information requested:

Additional Documentation Received: ☐ **Yes** **Date Received:** _____
☐ **No**

Site Inspection: ☐ **Yes** **Date Inspected:** _____
☐ **No** **Inspector:** _____

STAFF RECCOMENDATIONS:

Date of Board Hearing: _____

Board Actions/Conditions:

☐ **Approved** ☐ **Approved with Conditions** ☐ **Denied**

Expiration Date: _____

(Signed) Historic Preservation Division Director

Date

NOTE: The Certificate of Appropriateness is valid for a period of 180 days after the date of its approval. After the expiration date a 60-day grace period may be allowed to complete work in progress if the owner can show cause why the work has not been completed; otherwise the owner must reapply.



Staff Report

HPB-22-001

Owner/Applicant: J&D West Palm Beach FL Properties LLC / Jesse Gates
("Applicant")
Address: 414 Greenbriar Drive ("Property")
Current Zoning: R-1
FLUM land use category: Single Family
Existing uses on site: Single Family Residential and Accessory Outbuilding
Photos of Structure: See Exhibit "C"
Historic Property Survey 1999: c. 1924, Bungalow Style

SUMMARY OF NEW REQUEST AND BACKGROUND INFORMATION:

The Applicant's property at 414 Greenbriar was historically designated by the Town's Historic Preservation Board on October 4, 1999. The property, constructed in 1924, is indicative of the Bungalow style common in the early Kelsey City Era, circa the 1920s. Some features of this style include low-pitched gable roofs, wood windows, wide eaves, and exposed rafters.

According to the Historic Structure Form from 9/7/1999, the accessory outbuilding, which is the primary subject of this special certificate of appropriateness request, is noted as sharing a similar aesthetic vernacular with the primary home and is covered by the 1999 historic designation.

For this special certificate of appropriateness request, the Applicant is seeking approval to make several exterior modifications to their outbuilding. These include replacing damaged exterior wood siding with hardie plank lap siding, which will match the outbuilding's existing materials. Additionally, the Applicant is proposing to repair and replace damaged exterior bearing walls, modify the location and width of windows, add tie downs to the roof to meet hurricane code compliance, remove all existing damaged windows and doors and replace them, and repaint the outbuilding and the main home the Sherwin Williams Moonlit Orchid paint color. These changes are illustrated under the Exhibits section below.

These modifications are proposed because the outbuilding has fallen into severe disrepair and has become structurally unsound according to the Applicant's consultant, Architectural Consultants Inc (ACI). The Applicant has provided photo documentation in their submittal materials that the exterior wood siding is showing signs of visible rot and termite damage. The wooden trim around the existing windows has also succumbed to rot, along with the existing doors. The photographs depicting the inside of the outbuilding show that the interior has been gutted, revealing more rot and termite damage amongst the structural supports and wall frames.

Note that while the Applicant has provided full plans detailing their intent to renovate the interior of the accessory structure and make improvements to its structural integrity such as bearing wall replacements and hurricane tie downs, **the special certificate of appropriateness review is concerned exclusively with exterior features affecting the historic character.**

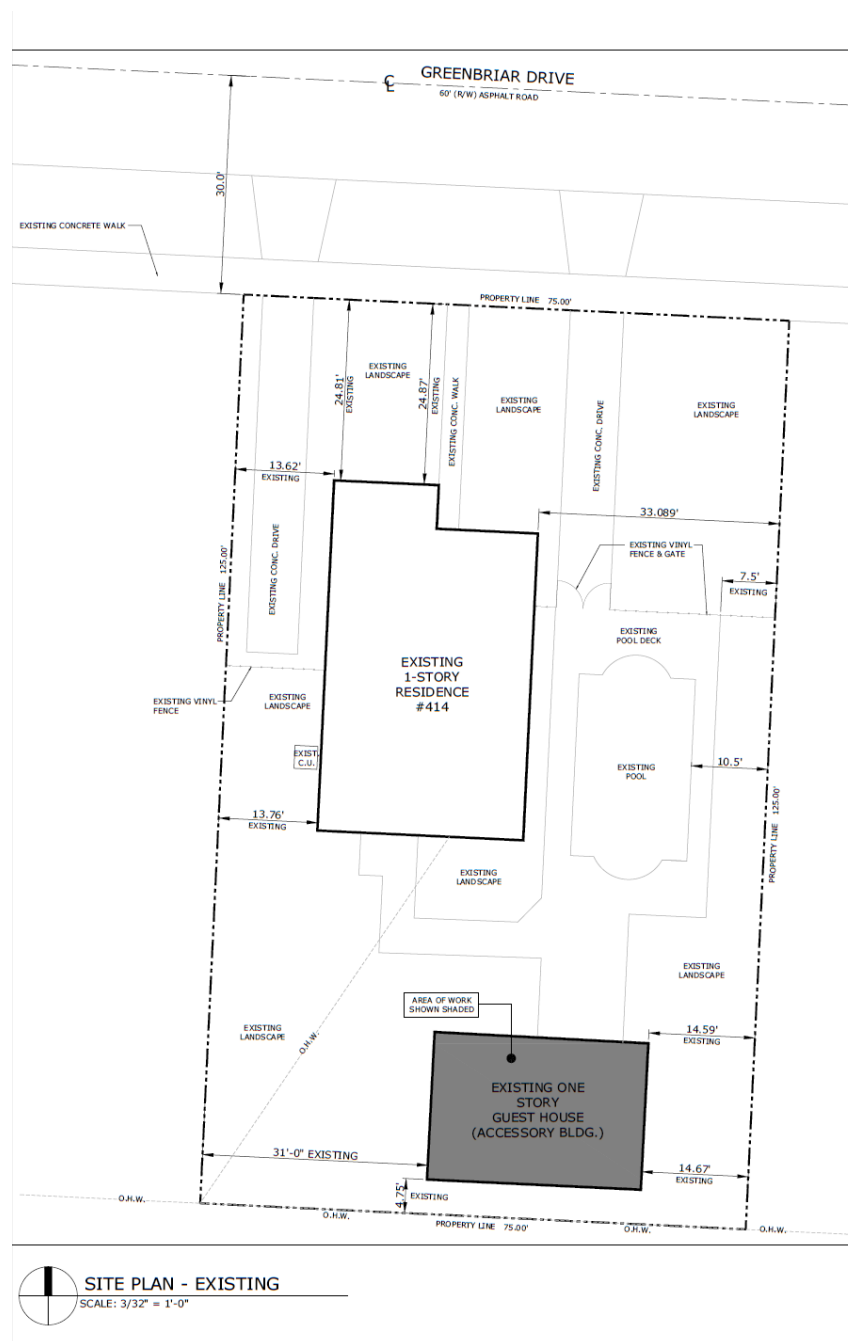


Staff Report

Nevertheless, staff has reviewed the proposed interior reconfiguration for compliance with our zoning code use standards for accessory structures and finds the proposed modifications acceptable. All portions of this Application pertaining to actions governed by the Florida Building Code will be subject to building permit review following the approval of this special certificate of appropriateness request. Another round of zoning review will be conducted at that time.

Exhibits

Exhibit A – Site Plan





Staff Report

EXHIBIT B – Before and After Outbuilding Floorplan

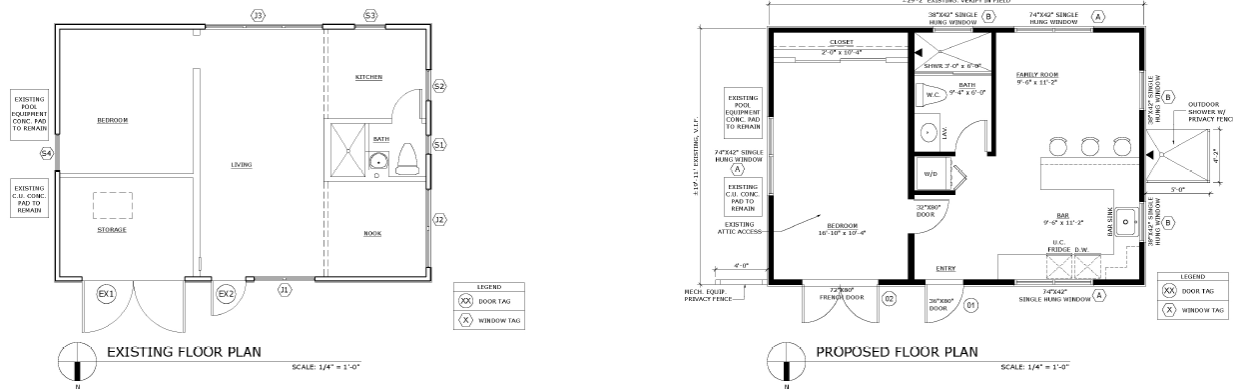


EXHIBIT C – Before and After Main Home Repainting



EXISTING MAIN HOUSE EXTERIOR COLOR



PROPOSED MAIN HOUSE EXTERIOR COLOR



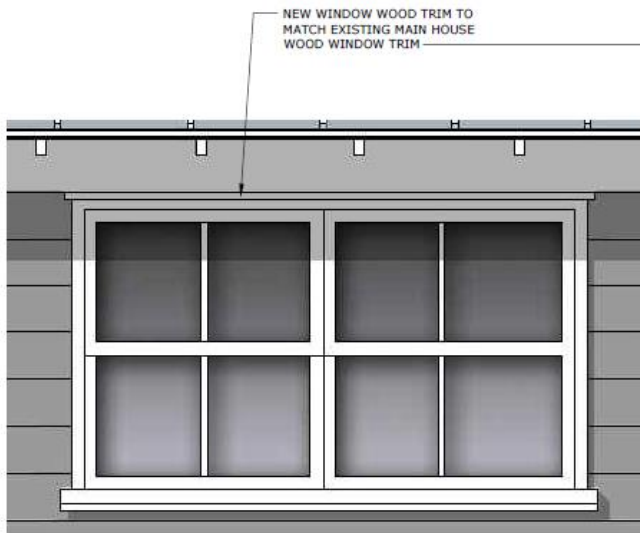
Staff Report

Exhibit F - New Siding



PROPOSED EXTERIOR SIDING
COLOR - SW9153 MOONLIT ORCHID

Exhibit G - New Window Trim



PROPOSED WINDOW WOOD TRIM

NOTE: ALL NEW WINDOWS AND DOOR TO MATCH EXISTING MAIN HOUSE WINDOW WOOD TRIM. A B



EXISTING MAIN HOUSE
WINDOW WOOD TRIM



Staff Report

APPLICABLE GUIDELINES:

Town Code Section 66-10(a) states that an application for a certificate of appropriateness is required to erect, alter, restore, renovate, excavate, move or demolish any structure, building or site that is historically designated.

Town Code Section 66-10(c) states that the Town has adopted the Secretary of Interior's Standards of Rehabilitation, which are guidelines on which applications for any certificate of appropriateness are to be measured and evaluated.

Town Code Section 66-10(e) states that any alteration to buildings or sites other than ordinary maintenance must apply for a Special Certificate of Appropriateness.

ANALYSIS AND STAFF DETERMINATION

This project has been reviewed by Town Staff for compliance with the standards the Town Code. This review included an assessment of the proposed uses in the accessory outbuilding; these are in conformity with the allowances of the R-1 single family district, which prohibits cooking facilities per 78-64 (1) a. The Applicant's proposal for a bar room including a sink, dishwasher, and refrigerator is not in violation of this provision. Additionally, per 78-64 (1) a., staff contemplated the proposed modifications' compatibility with the existing structure. Staff assessed the proposal favorably in this regard due to the proposed repainting and complimentary window trim design.

The Town's Historic Architectural Consultant, REG Architects, was retained for their expertise in historic renovations and provided the Town an assessment of the historic impacts of the proposed materials and alterations for compliance with the Town's historic preservation code as well as the Secretary of the Interior's Standards for Rehabilitation. They noted standards 1-4 were applicable to this review, which are:

1. A property will be used as it was historically or be given a new user that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
2. The historic character of property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.
3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.
4. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.



Staff Report

The consultant generally found the proposal to meet the applicable conditions; for additional details, please refer to REG's report. Where concerns were noted, REG's report suggested specific mitigation measures to be taken, which the Applicant addressed where possible. Particularly, REG noted that the proposed window trim material should match the existing wood material and windows should be single-hung or double-hung or casement windows. These changes were made in advance of this hearing and are reflected in the submitted plan sets. Finally, two conditions of procedure were recommended and deemed applicable, which have been included in the approving resolution and are as follows:

1. All work shall be subject to staff review during permitting and inspection during construction.
2. All work to the subject property's existing buildings shall comply with The Secretary of Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings.

Staff concludes the requested actions are consistent with the Land Development Code and the Secretary of the Interior's Standards and recommends **APPROVAL** with conditions.

October 4, 2022

Anders R. Viane, Planner
Community Development Department
Town of Lake Park
535 Park Avenue
Lake Park, FL 33403

aviane@lakeparkflorida.gov

Historic Preservation Services for 1924 Bungalow: Guest House
414 Greenbriar Drive, Lake Park, FL 33405

REG Project # 22044

Project Description:

Consideration of a Certificate of Appropriateness (COA) for exterior alterations and renovation of the Guest House south of the main house located at 414 Greenbriar Drive; PCN# 36434220010230040. The subject property is an individually designated local historic landmark.

Owner: Jesse Gates
414 Greenbriar Drive
Lake Park, Florida 33405
shalorgat@hotmail.com

Background:

The subject property is designated as a locally significant site pursuant to the Lake Park Historic Preservation. It is significant to the early history of Kelsey City where as 414 Greenbriar Drive possesses the Bungalow style architectural features of the Boom times in Florida, and it was built in the early 1920's for the Kelsey City development.

This one-story Craftsman Bungalow style house is located on the south side of Greenbriar Drive, between 4th and 5th Streets in Township 42 South, Range 43 East, Section 21 (Riviera Beach USGS Quadrangle, 1946, PR 1983) in Lake Park, Florida. It was built around 1924 and exhibits an irregular plan. This wood frame structure is clad in clapboard siding-facing gabled roofs are covered in composition shingles and feature wood knee braces and a stuccoed chimney on the west exterior wall. Original wood double-hung sash windows with light patterns of six-over-one has been retained. A guest house with similar features and construction is situated to the south of the main house.

Request:

The applicant has submitted plans for renovation of the existing one-story guest house (accessory building), exterior and interior alteration of a +/- 580 square foot building to the south (rear) of the main House. Applicant is proposing removing all existing jalousie, single hung windows, existing panel doors, and proposing impact rated sliding windows, sliding glass

doors, and fiberglass two panel door to match existing historic main house facade. Applicant is also proposing an additional outdoor shower privacy fence on the west elevation of the guest house and in lieu of the existing 6 feet vinyl fence they are proposing a privacy fence, bronze finish post and cypress slats, see exhibit A, sheets A-2 to A-3 for graphic representation of proposed elevations.

Historic Preservation

Alterations to the guest building's facade in a local historic district is subject to specific criteria for visual compatibility as set forth in Historic Preservation, Chapter 66 of the Town's Code of Ordinances. As required by Historic Preservation the project was also reviewed using the Secretary of Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, 2017 Edition.

The National Park Service and Secretary of the Interior's Standards have specific criteria regarding the rehabilitation of historic structures, as well as alterations that affect a historic property. The Standards that apply are listed below with project specific Consultant responses:

Standards for Rehabilitation:

1. A property will be used as it was historically or be given a new user that requires minimal change to its distinctive materials, features, spaces, and spatial relationships.
Response: Applicant proposes alterations that do not disturb the historical nature of the guest house or architectural character that ties into the Craftsman Bungalow style of the main house, however; there are revisions to be made for windows

and doors to meet the historic preservation standards, see page 6 for exterior comments. Applicant has proposed minor alterations of the interior spaces that meets the requirements and matches the existing historic intent for the Guest House floor plan, see Exhibit A, Sheet A-2 for existing and proposed floor plans.

2. The historic character of property will be retained and preserved. The removal of distinctive materials or alteration of features, spaces and spatial relationships that characterize a property will be avoided.

Response: The applicant has proposed alterations to the guest house that will minimally impact the historic character of property. The proposed elevations of proposed windows and doors shall match with similar character to the main building and will match the existing trim and white color, style, and lite pattern of muntins, either six-over-one or two-over-two single hung windows. The proposed sliding glass doors shall be revised to french doors with muntins and lite pattern configuration to match historic character, see page 5 and 6.

Once these elements (french doors, single hung windows) have been added they shall not distract much from the original intent on the north elevation. The proposed entry panel door does not interfere with the historical integrity of the facade. Moreover, the Guest House alterations, after historic

preservation comments and revisions of the facade shall not compete with the original historic building but compliment the Craftsman Bungalow style of the main house.

3. Each property will be recognized as a physical record of its time, place, and use. Changes that create a false sense of historical development, such as adding conjectural features or elements from other historic properties, will not be undertaken.

Response: Proposed alterations will not create a false sense of historic development. It will still be possible to distinguish the buildings original style that matches similar features of the main house's bungalow features and detailing. Therefore, the guest house does not attempt to replicate any historic style or period but is in harmony if the revisions are made to the facade that includes the single hung windows and french doors that matches and complements existing main house's bungalow style.

4. Distinctive materials, features, finishes, and construction techniques or examples of craftsmanship that characterize a property will be preserved.

Response: The applicant's proposed work preserves and repairs clapboard wood siding, proposes window trim to match existing, standing seam metal roof to remain, exposed wood out lookers (rafters), wood fascia, etc. All new windows and doors will be replaced and match the historic appearance of the originals of the main house

with regard to wood trim, color, and style (single hung window: six-over-one or two-over-two muntin configuration).

5. Deteriorated historic features will be repaired rather than replaced. Where the severity of deterioration requires replacement of distinctive feature, the new feature will match the old in design, color, texture and, where possible, materials. Replacement of missing features will be substantiated by documentary and physical evidence.

Response: Not applicable.

6. Chemical or physical treatments, if appropriate, will be undertaken using the gentlest means possible. Treatments that cause damage to historic materials will not be used.

Response: Not yet applicable.

7. Archeological resources will be protected and preserved in place. If such resources must be disturbed, mitigation measures will be undertaken.

Response: Not applicable.

8. New additions, exterior alterations, or related new construction will not destroy historic materials, features, and spatial relationships that characterize the property. The new work will be differentiated from the old and will be compatible with the historic materials, features, size, scale and proportion, and massing to protect the integrity of the property and its environment.

Response: Not applicable.

9. New additions and adjacent or related new construction will be undertaken in

such a manner that, if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

Response: Not applicable.

Consultant's Analysis:

It is the Consultant's analysis that the proposed minor and partial demolition, site improvements, exterior alterations and new addition is compatible with the regulations set forth in Chapter 66 Historic Preservation Ordinance and the Standards and Guidelines.

Consequent Action:

The Board can approve the application; approve the application with conditions; continue the hearing to a date certain to request additional information; or deny the application.

Recommendation:

Consultant recommends that the Board approve the amendment to the request for exterior alterations and addition with the following Conditions:

1) The proposed windows shall be wood, wood-clad, or aluminum single-hung, double-hung, or casement windows. The divided light patterns shall be created by using exterior raised applied triangular muntins.

No flat or internal muntins shall be permitted.

No reflective or mirrored glass shall be used.

2) All trim and sills around the windows and doors, shall be repaired if possible. If the trim or sills are too deteriorated to be repaired, the trim, and sills shall be exactly replicated in size, shape, location, and configuration, subject to Staff review during permitting and inspection during construction.

9) All work shall be subject to staff review during permitting and inspection during construction.

10) All work shall comply with the Land Development Regulations and all other required Codes.

11) All work to existing building shall comply with *The Secretary of Interior's Standards for Rehabilitation & Guidelines for Rehabilitating Historic Buildings*.

<https://www.nps.gov/tps/standards/four-treatments/treatment-rehabilitation.htm>

Potential Motion:

I MOVE TO **APPROVE** Project Number 22044: Consideration of an amendment to the Certificate of Appropriateness (COA) for Guest House south of the main house located at 414 Greenbriar Drive, based upon the competent substantial evidence, with the conditions as recommended by Consultant.

I MOVE TO **DENY** Project Number 22044: Consideration of an amendment to the Certificate of Appropriateness (COA) for Guest House south of the main house located at 414 Greenbriar Drive because the Applicant has **not** established by competent substantial evidence that the application is in compliance with the Town of Lake Park Code of Ordinances Chapter 66, the Secretary of the Interior's Standards for the Rehabilitation of Historic Properties, and the City's Comprehensive Plan.



- A. Guest House Option 1: Existing two-over-two single hung window, west elevation, all proposed windows shall match historic windows.



- B. Historic Main House Option 2, Existing six-over-one single hung window, north elevation, Guest House proposed windows shall match historic windows.



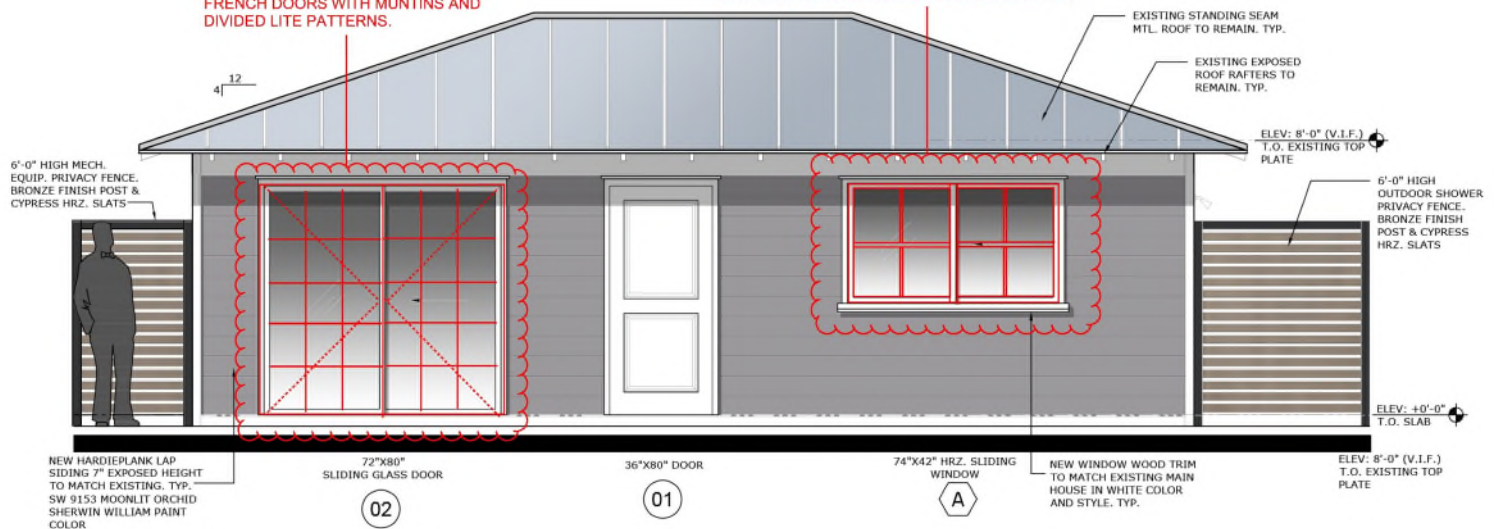
- C. Guest House: Existing wood doors, shall be replaced with outward swinging, French doors with muntin divided lite pattern, North Elevation.



- D. Guest House, Existing exposed rafters and standing seam metal roof shall remain, South Elevation, as noted in attached drawings, see sheets A-1, A-1.1, and A-1.2.
- E. Exhibit Attached: Design drawings from Applicant.

GUEST HOUSE DOORS SHALL MATCH WITH SIMILAR HISTORIC FEATURES SUCH AS OUTWARD SWINGING FRENCH DOORS WITH MUNTINS AND DIVIDED LITE PATTERNS.

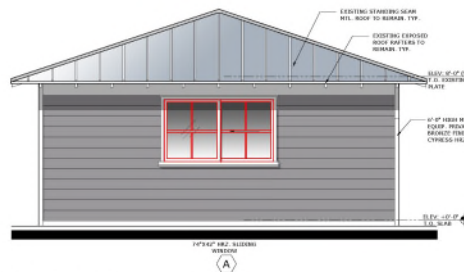
ALL WINDOWS SHALL MATCH HISTORIC FEATURES AND FUNCTIONALITY OF GUEST HOUSE OR MAIN HOUSE WINDOWS, SUCH AS, TWO-OVER-TWO SINGLE HUNG OR SIX-OVER-ONE SINGLE HUNG. THEREFORE, WINDOWS SHALL HAVE MUNTINS AND DIVIDED LITE PATTERN, MATCHING HISTORIC WINDOW CONFIGURATION.



PROPOSED NORTH ELEVATION

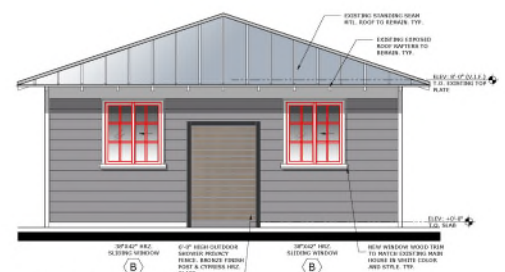
SCALE: 3/8" = 1'-0"

F. Guest House: Overlay of Historic Preservation comments on Proposed North, East, West, and South Elevation, French Doors and Single Hung Windows to match with similar historic features of Main House and Existing Guest House windows (muntin configuration).



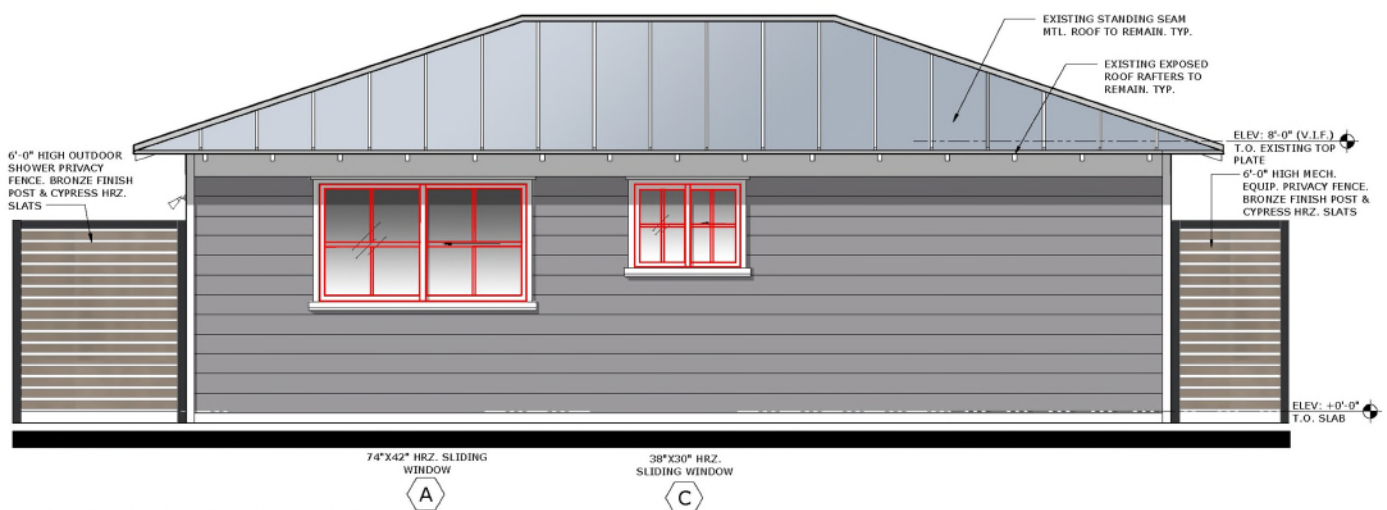
PROPOSED EAST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED WEST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED SOUTH ELEVATION

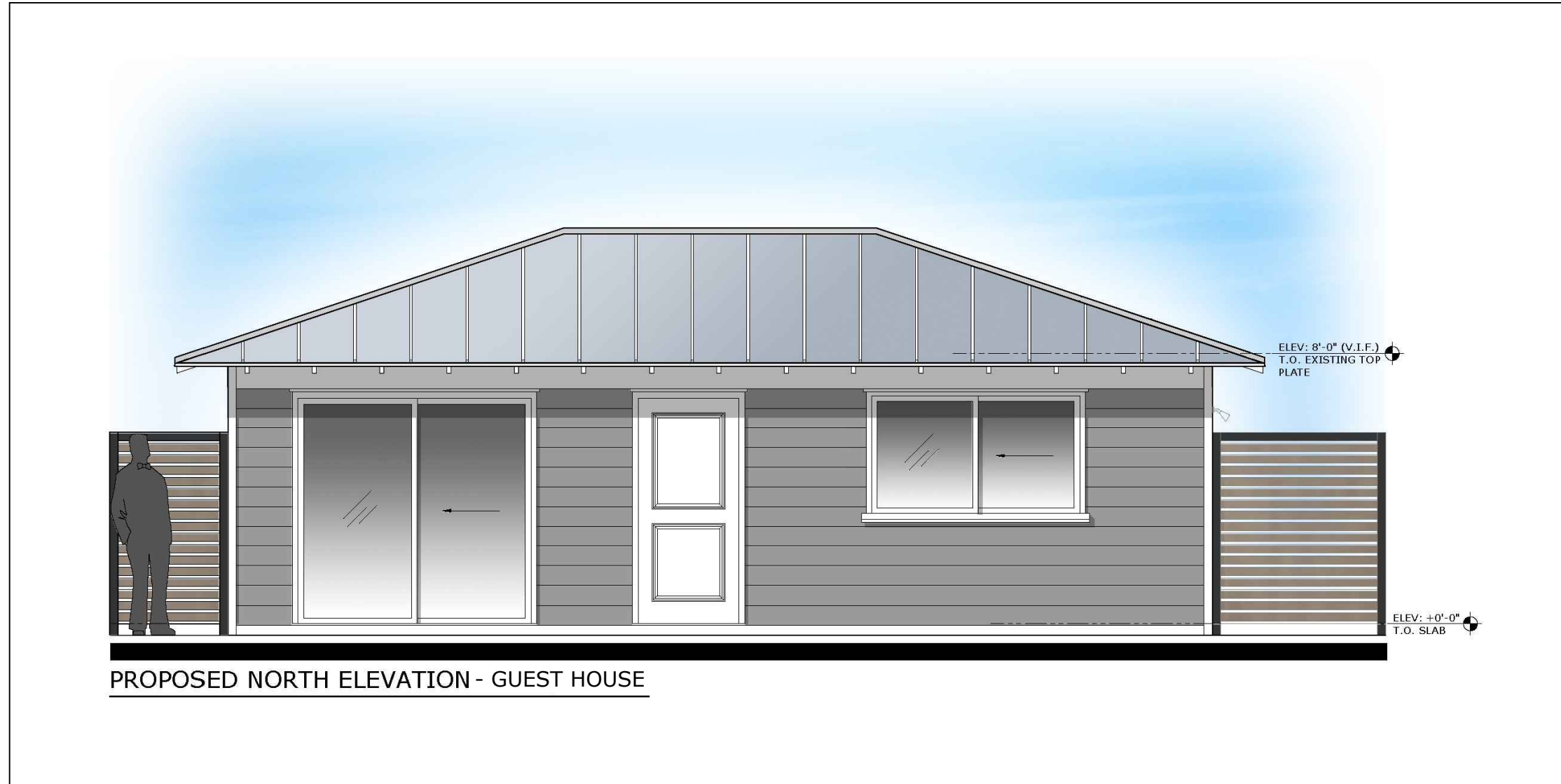
SCALE: 3/8" = 1'-0"

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

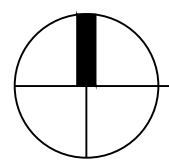
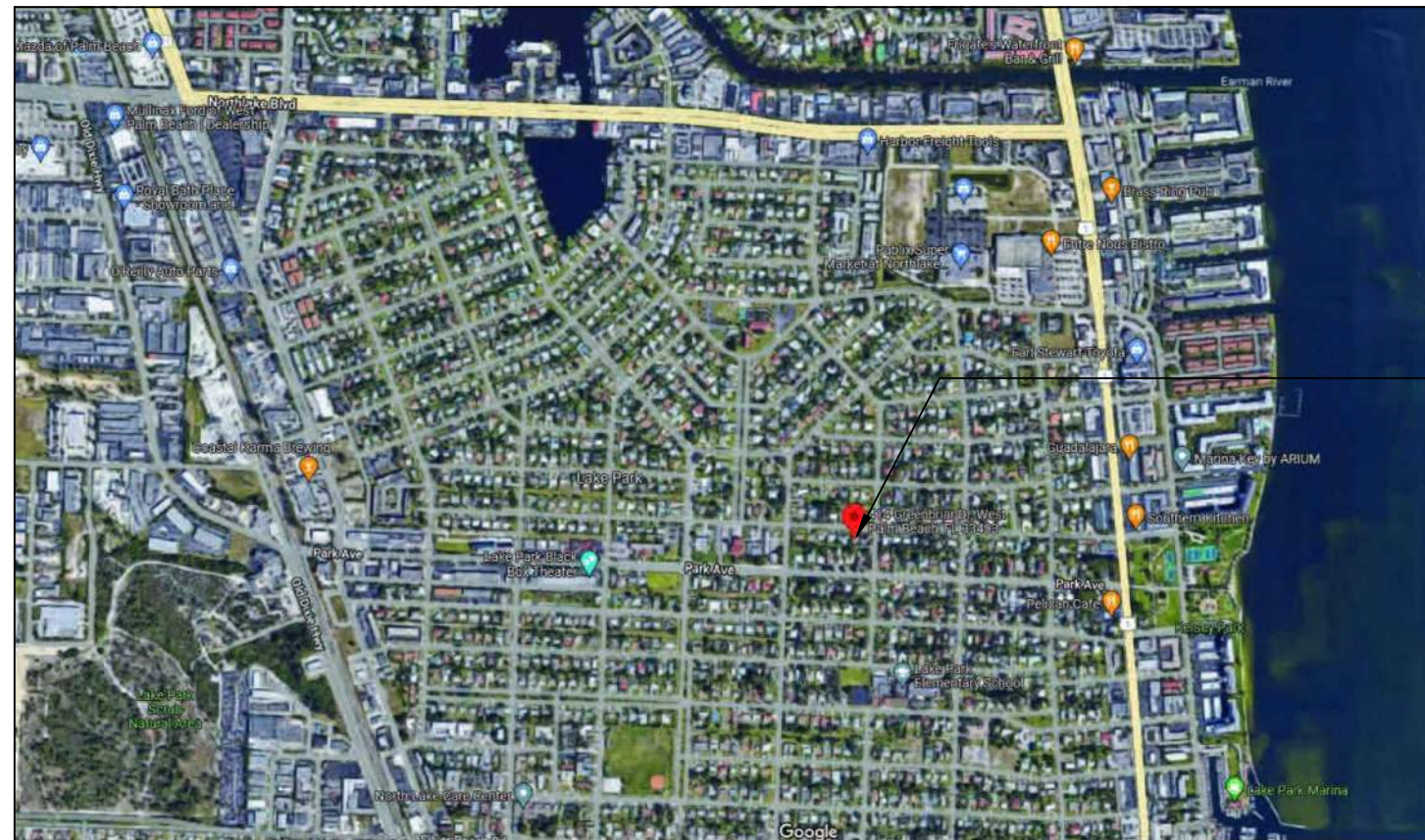
CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
PROJECT ARE TO VISIT THE SITE AND
VERIFY ALL MEASUREMENTS INCLUDING
BUT NOT LIMITED TO BUILDING HEIGHTS,
ROOF SLOPES, ROOM DIMENSIONS ETC.
TO CONFIRM ALL EXISTING CONDITIONS
BEFORE ORDERING OR FABRICATING ANY
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GUEST HOUSE RENOVATION

414 GREENBRIAR DRIVE
LAKE PARK, FLORIDA

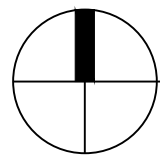
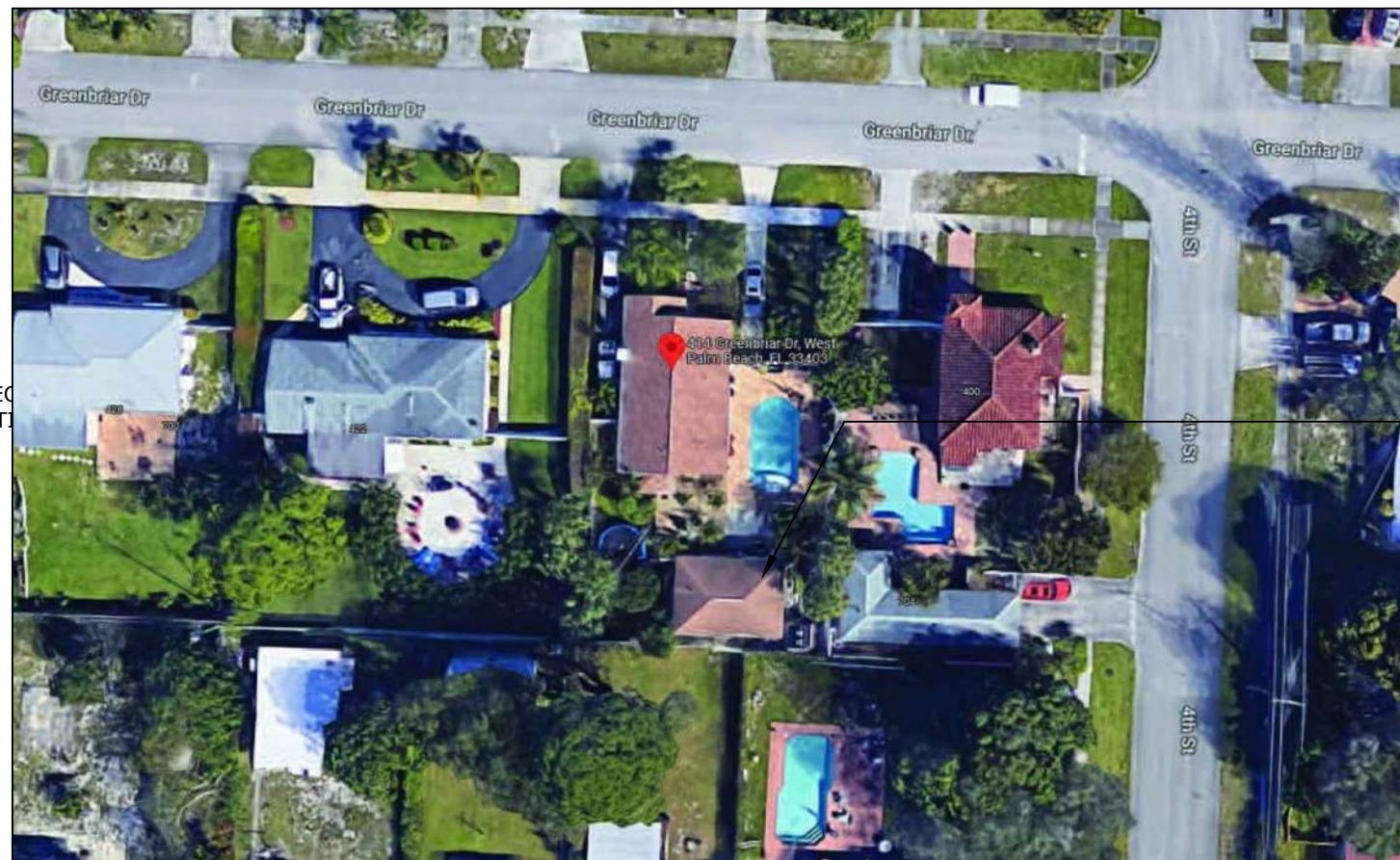


PROPOSED NORTH ELEVATION - GUEST HOUSE



LOCATION MAP

NOT TO SCALE



NEIGHBORHOOD MAP

NOT TO SCALE

CODE DATA

SINGLE FAMILY RESIDENCE - R3

ZONING:

R1 SINGLE FAMILY RESIDENCE (36-LAKE PARK)
MUNICIPALITY: LAKE PARK
SUBDIVISION: KELSEY CITY IN PB 8 PGS 15 TO 18,23,27 & 34 TO 37 INC
PARCEL CONTROL NUMBER: 36-43-42-20-01-023-0040
LEGAL DESCRIPTION: KELSEY CITY LTS 4 TO 6 INC BLK 23

GENERAL NOTES

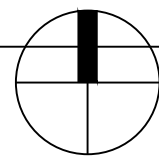
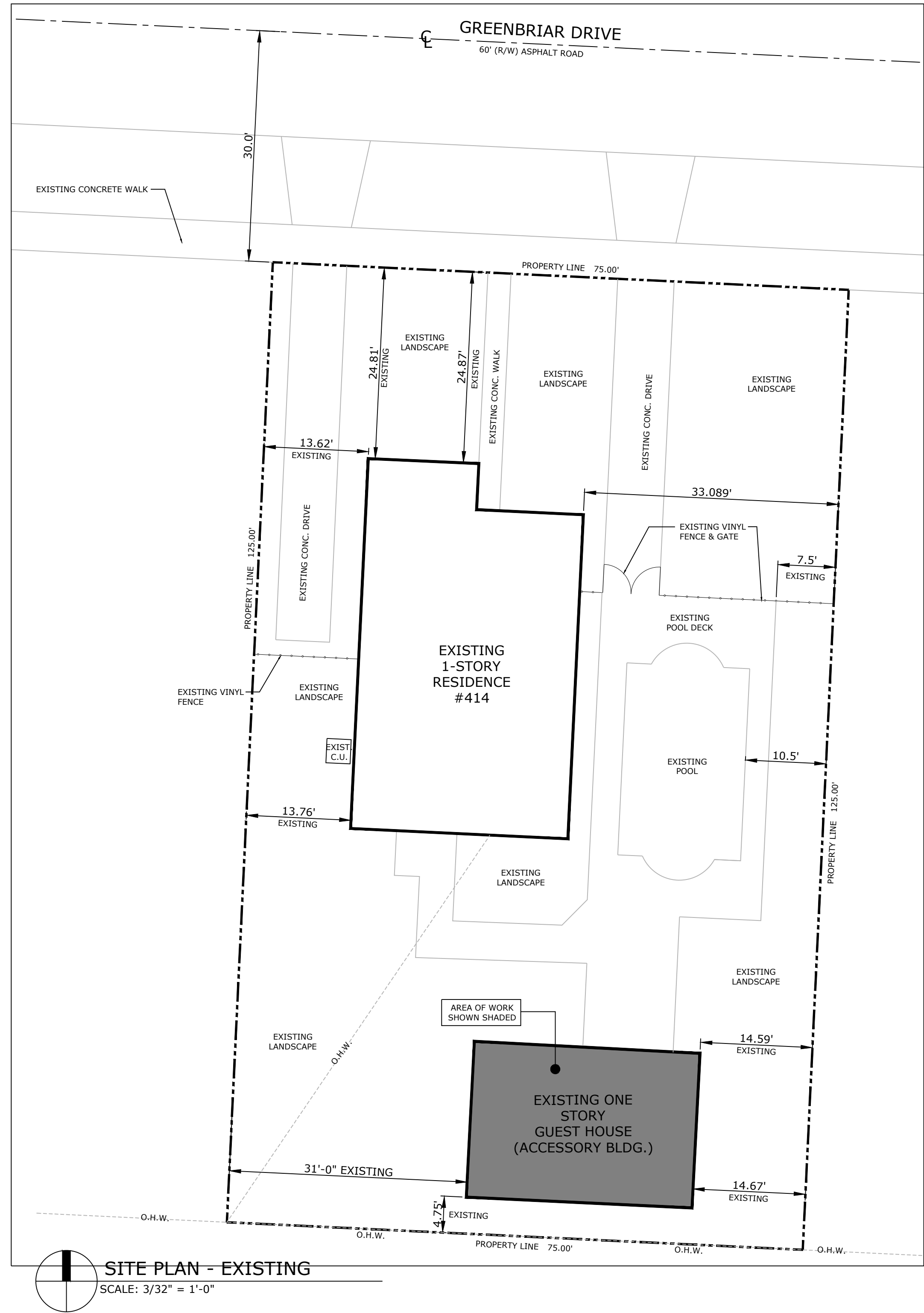
- PLANS WERE PREPARED IN ACCORDANCE WITH THE 2020 FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION & FLORIDA FIRE PREVENTION CODE 7TH EDITION.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- VISIT THE SITE TO DETERMINE THE CHARACTERISTICS OF THE EXISTING CONDITIONS WHICH WILL AFFECT PERFORMANCE OF THE WORK, BUT WHICH ARE NOT SHOWN ON THE DRAWINGS OR THE SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AS THE WORK PROGRESSES AND SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, COMPLETE, IN PLACE AND READY FOR USE.

SHEET INDEX

- A-0 COVER / SITE PLAN
- A-1 EXISTING GUEST HOUSE EXTERIOR PHOTOGRAPHS
- A-1.1 EXISTING GUEST HOUSE INTERIOR PHOTOGRAPHS
- A-1.2 EXISTING GUEST HOUSE INTERIOR PHOTOGRAPHS
- A-2 FLOOR PLANS AND ELEVATIONS (EXISTING AND PROPOSED)
- A-3 EXTERIOR ELEVATIONS (EXISTING AND PROPOSED)
- A-4 PROPOSED MATERIALS
- A-4.1 PROPOSED MATERIALS

SCOPE OF WORK

- RESTORATION/RENOVATION OF THE EXISTING GUEST HOUSE.
- REPLACE DAMAGE WOOD SIDING, WINDOWS AND DOORS.
- PROPOSED SIDING TO MATCH EXISTING IN APPEARANCE.
- NEW WINDOW WOOD TRIM TO MATCH EXISTING MAIN HOUSE IN APPEARANCE AND PAINT FINISH.
- NEW PROPOSED PAINT FINISH FOR GUEST AND MAIN HOUSE.



SITE PLAN - EXISTING

SCALE: 3/32" = 1'-0"

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

COVER / SITE PLAN

SHEET NUMBER

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
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REVISION

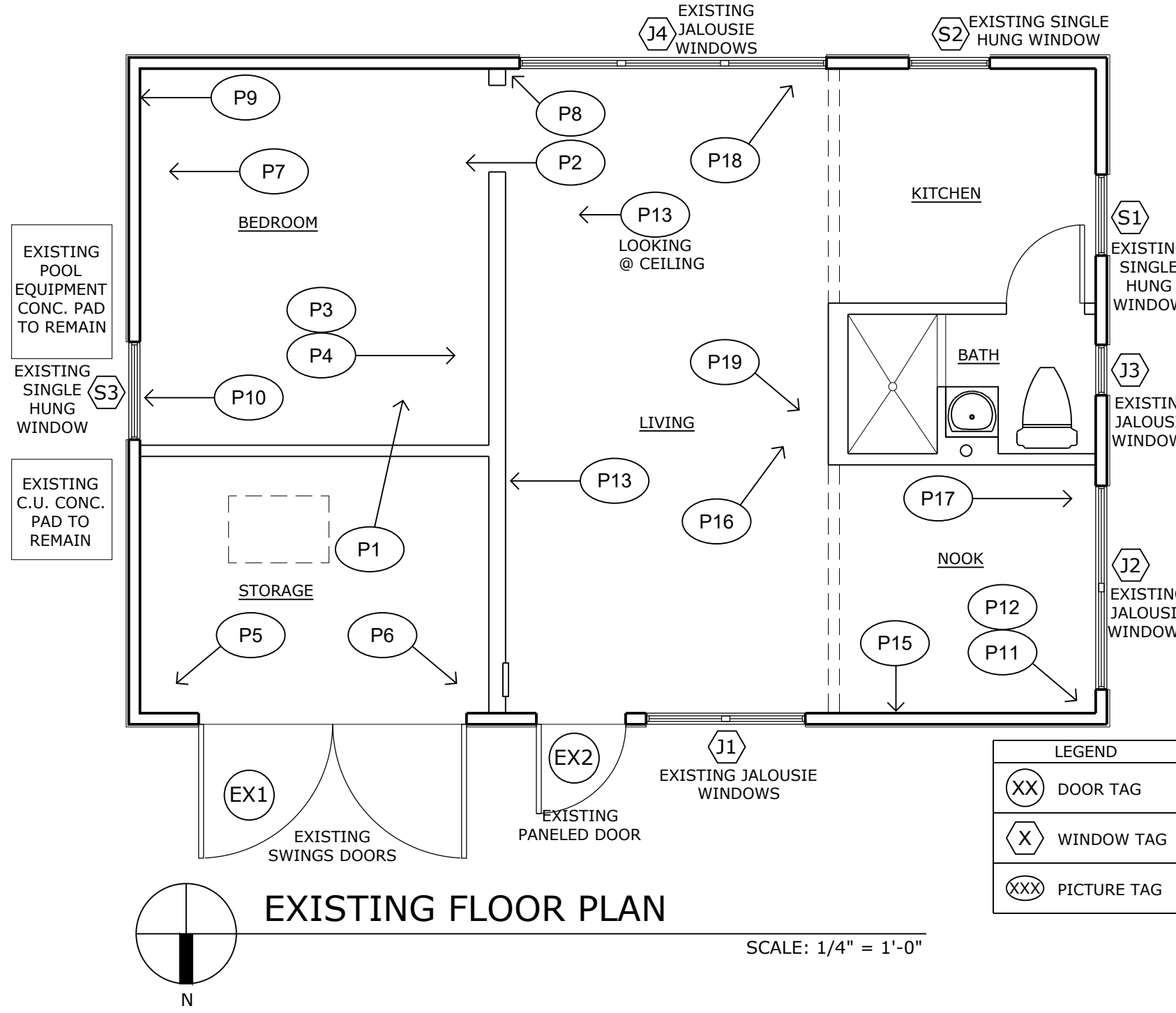
JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

EXISTING
EXTERIOR
PHOTOGRAPHS

SHEET NUMBER

A-1



EXISTING EAST ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING WEST ELEVATION

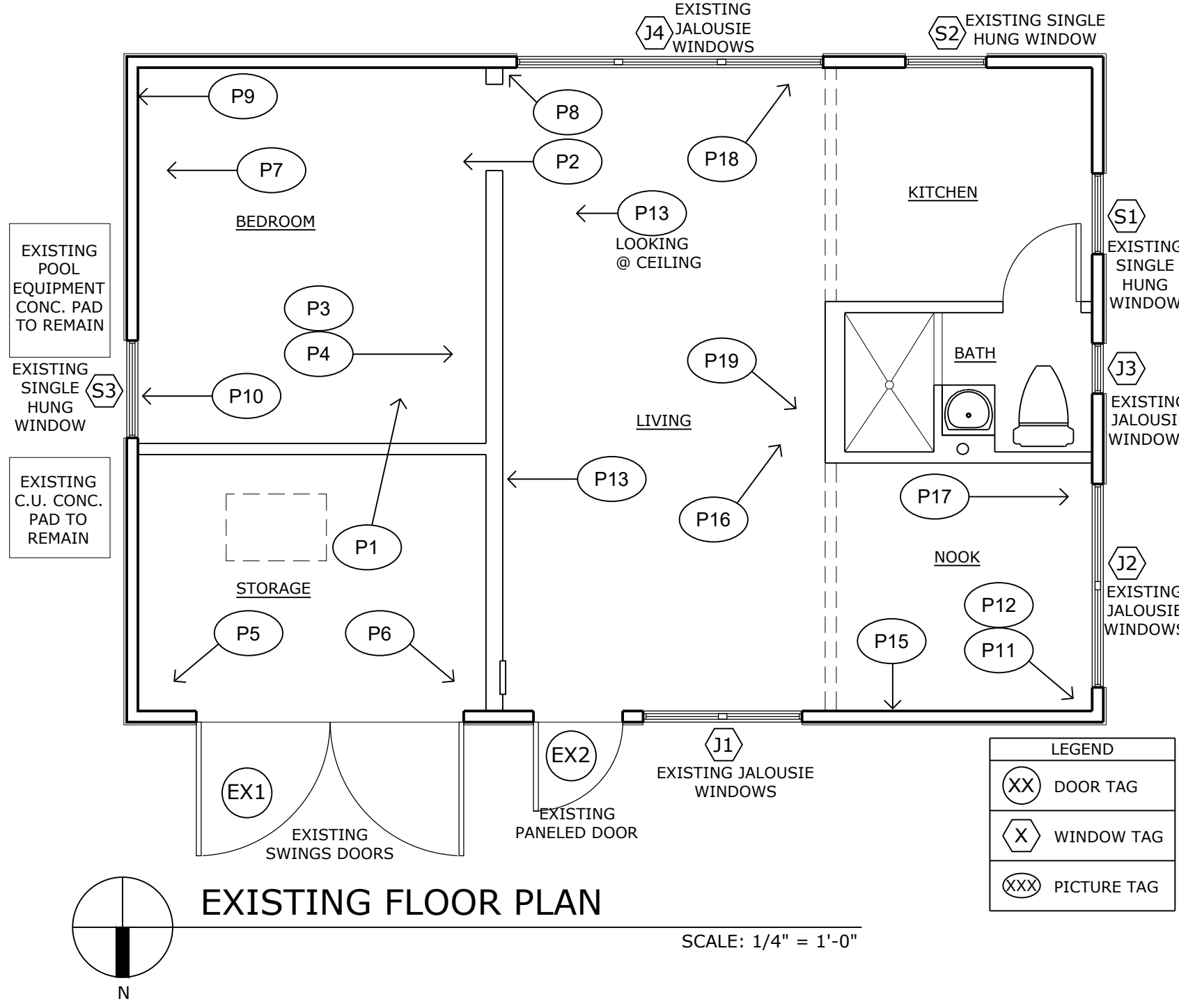


EXISTING SOUTH ELEVATION

GENERAL NOTES. TYP.

AS SHOWN EXTERIOR PICTURES: WOOD ROD
AND TERMITE DAMAGED, INCLUDING BUT NOT
LIMITED TO:

WINDOWS AND WINDOWS WOOD FRAMING,
WOOD DOOR AND DOORS WOOD FRAMING,
WINDOWS AND DOORS WOOD TRIM, EXTERIOR
WOOD SIDING.



EXISTING PICTURE P1



EXISTING PICTURE P2



EXISTING PICTURE P3



EXISTING PICTURE P4



EXISTING PICTURE P5



EXISTING PICTURE P6



EXISTING PICTURE P7



EXISTING PICTURE P8



EXISTING PICTURE P9



EXISTING PICTURE P10

GENERAL NOTES. TYP.

AS SHOWN INTERIOR PICTURES: WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

WINDOWS AND WINDOWS WOOD FRAMING, WOOD DOOR AND DOORS WOOD FRAMING, CASING, WOOD STUDS/ WOOD FRAMING, EXTERIOR WOOD SIDING AND SOME ROOF RAFTERS. STRUCTURAL ENGINEER VISITED THE SITE AND RECOMMENDED SHORING THE ROOF STRUCTURE.

CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT ARE TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS INCLUDING BUT NOT LIMITED TO BUILDING HEIGHTS, ROOF SLOPES, ROOM DIMENSIONS ETC. TO CONFIRM ALL EXISTING CONDITIONS BEFORE ORDERING OR FABRICATING ANY MATERIALS. CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.

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SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

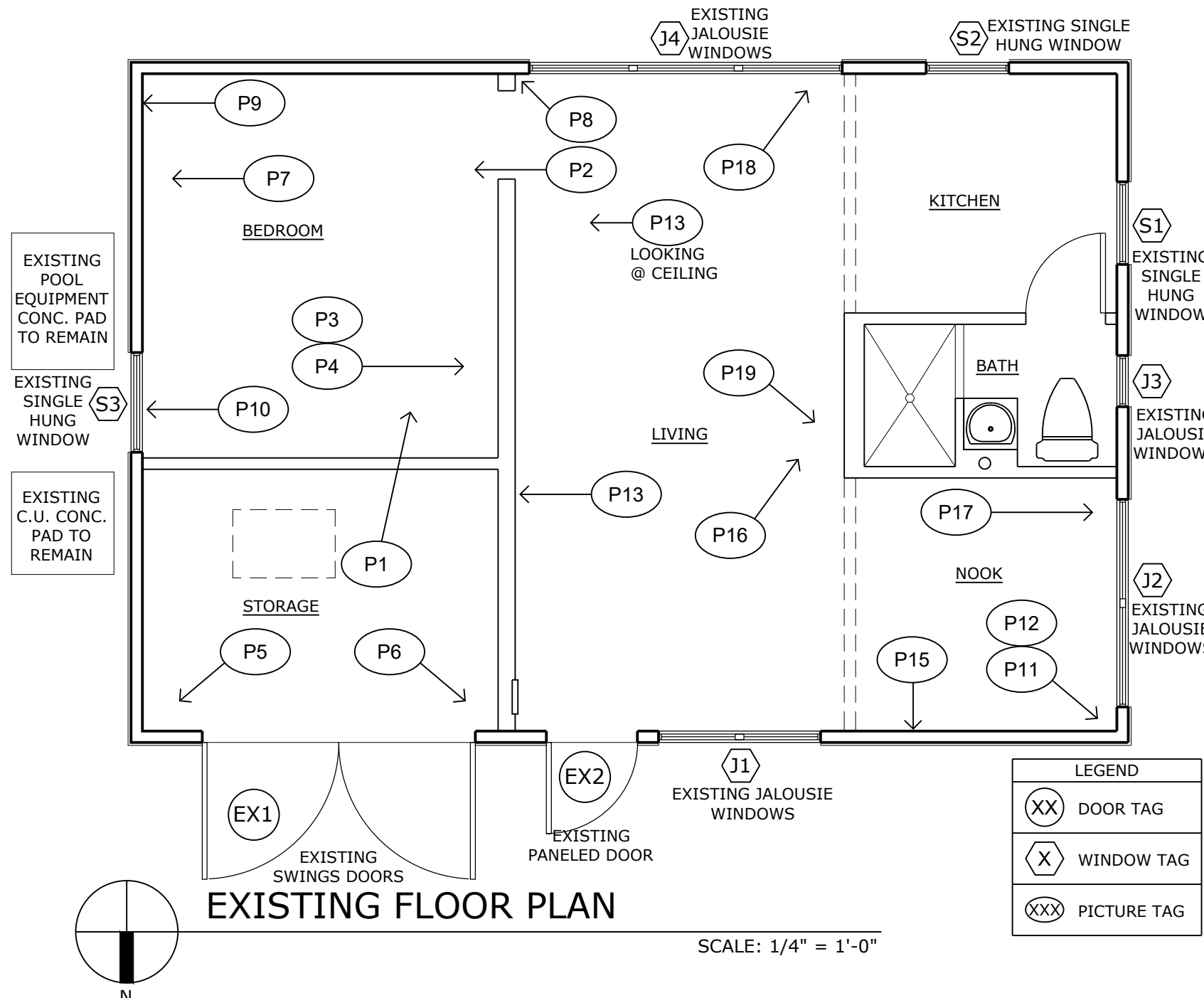
REVISION

JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

EXISTING
INTERIOR
PHOTOGRAPHS

SHEET NUMBER



EXISTING PICTURE P11



EXISTING PICTURE P12



EXISTING PICTURE P13



EXISTING PICTURE P14



EXISTING PICTURE P15



EXISTING PICTURE P16



EXISTING PICTURE P17



EXISTING PICTURE P18



EXISTING PICTURE P19

GENERAL NOTES. TYP.

AS SHOWN INTERIOR PICTURES; WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

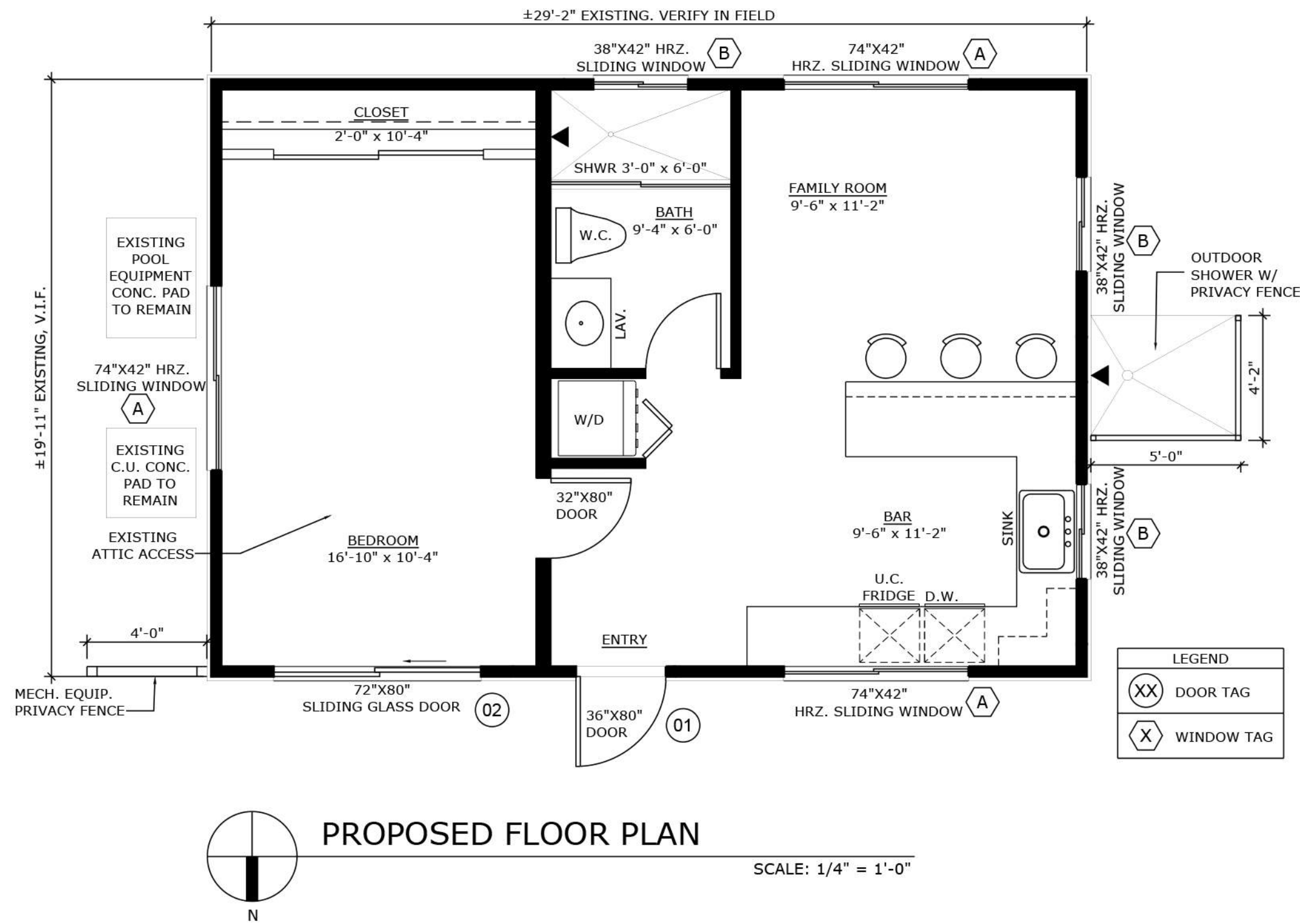
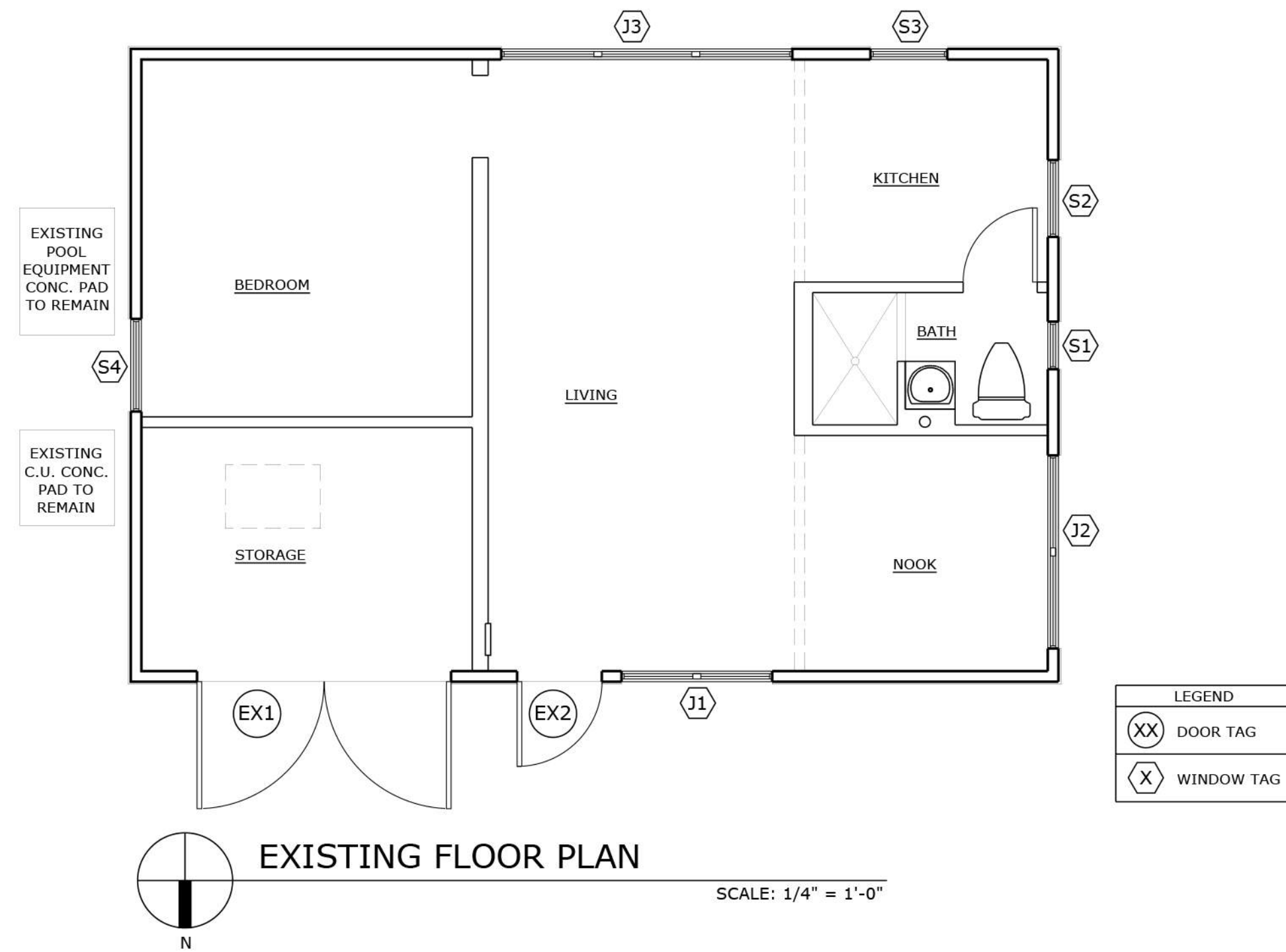
WINDOWS AND WINDOWS WOOD FRAMING, WOOD DOOR AND DOORS WOOD FRAMING, CASING, WOOD STUDS/ WOOD FRAMING, EXTERIOR WOOD SIDING AND SOME ROOF RAFTERS. STRUCTURAL ENGINEER VISITED THE SITE AND RECOMMENDED SHORING THE ROOF STRUCTURE.

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REV #	DATE	DESCRIPTION
		SEAL

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

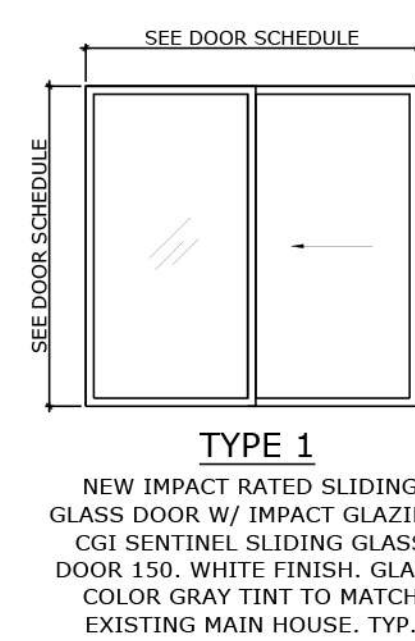
CONTRACTOR AND ALL SUBCONTRACTORS
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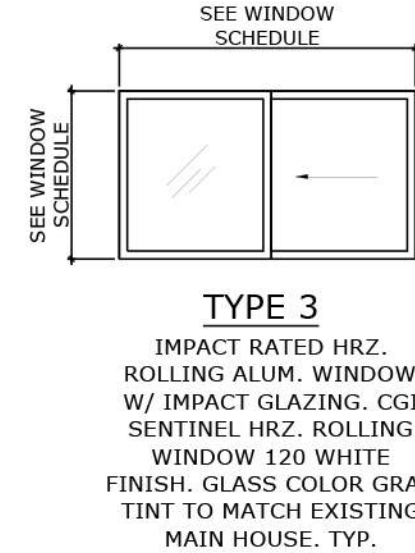
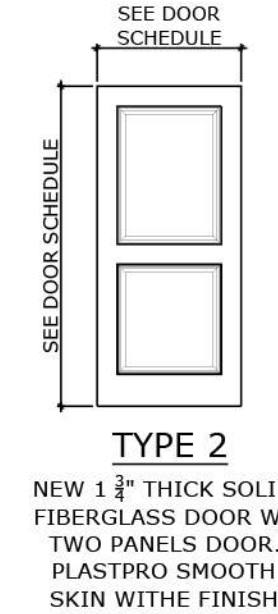
NEW EXTERIOR WINDOWS & NEW EXTERIOR DOORS SCHEDULE							
MARK	WINDOW TYPE	OPENING SIZE			FINISH	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	TYPE			
(A) (B)	ALUMINUM HRZ. ROLLING	SEE PLAN	SEE PLAN	3	WHITE	CGI	IMPACT RATED HRZ. ROLLING ALUM. WINDOW W/ IMPACT GLAZING. CGI SENTINEL HRZ. ROLLING WINDOW 120 WHITE FINISH. INSTALL WINDOWS PER PRODUCT APPROVALS & SUBMIT NOAS.
MARK	DOOR TYPE	OPENING SIZE			FINISH	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	TYPE			
(01)	SWING DOOR	3'-0"	6'-8" V.I.F.	2	WHITE	PLASTPRO	NEW SOLID FIBERGLASS DOOR W/ TWO PANELS. PLASTPRO SMOOTH SKIN WITHE FINISH. IMPACT RATED, INSTALL PER PRODUCT APPROVAL & SUBMIT NOAS.
(02)	SLIDING GLASS DOOR	6'-0"	6'-8" V.I.F.	1	WHITE	CGI	NEW IMPACT RATED SLIDING GLASS DOOR W/ IMPACT GLAZING. CGI SENTINEL SLIDING GLASS DOOR 150. WHITE FINISH. INSTALL PER PRODUCT APPROVAL & SUBMIT NOAS.

NOTES:

1. WINDOW & DOOR SIZES ARE NOMINAL, CONTRACTOR/FABRICATOR SHALL FIELD MEASURE ALL OPENINGS BEFORE FABRICATION.
2. ALL EXTERIOR WINDOWS AND DOORS ARE IMPACT RATED WINDOWS AND DOORS W/ IMPACT RESISTANT GLAZING. WINDOWS AND DOOR FRAMES TO MATCH EXISTING FINISH AND EXISTING WINDOWS AND DOORS GLAZING TINT.



DOOR TYPES
NO SCALE



WINDOW TYPE
NO SCALE

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

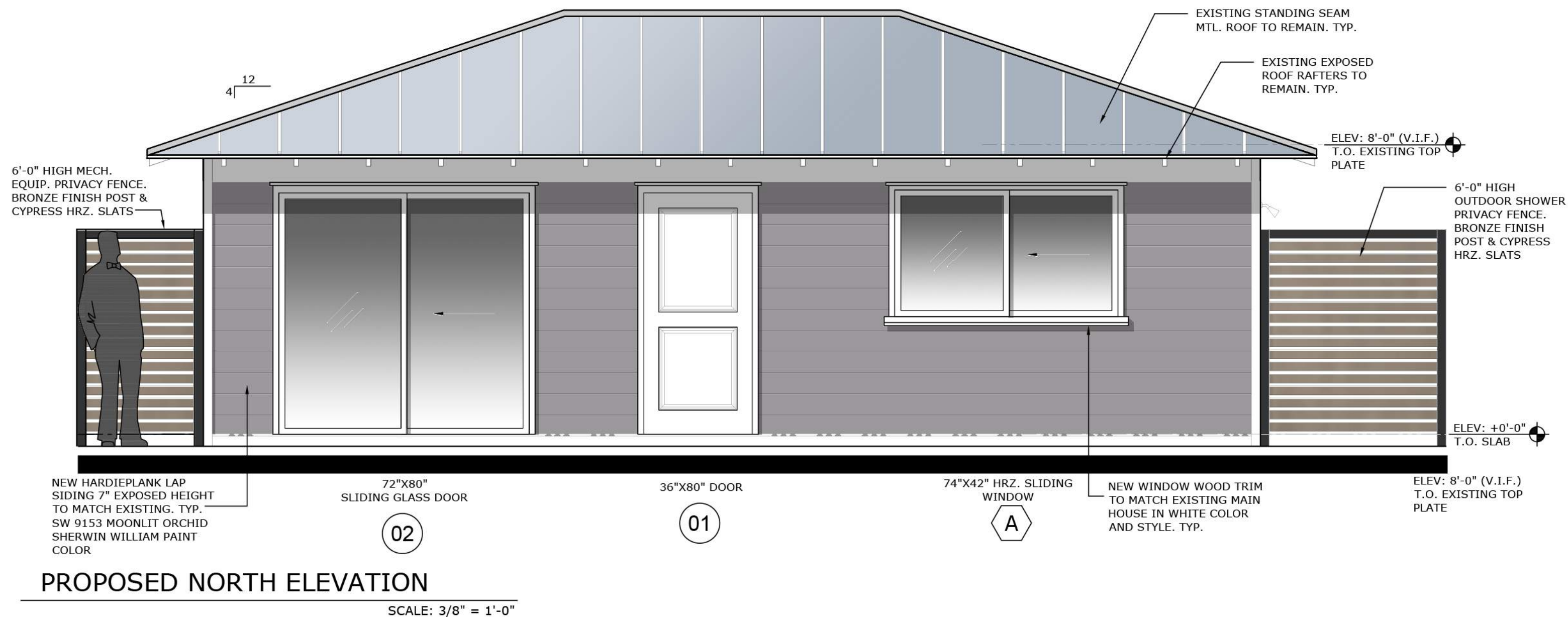
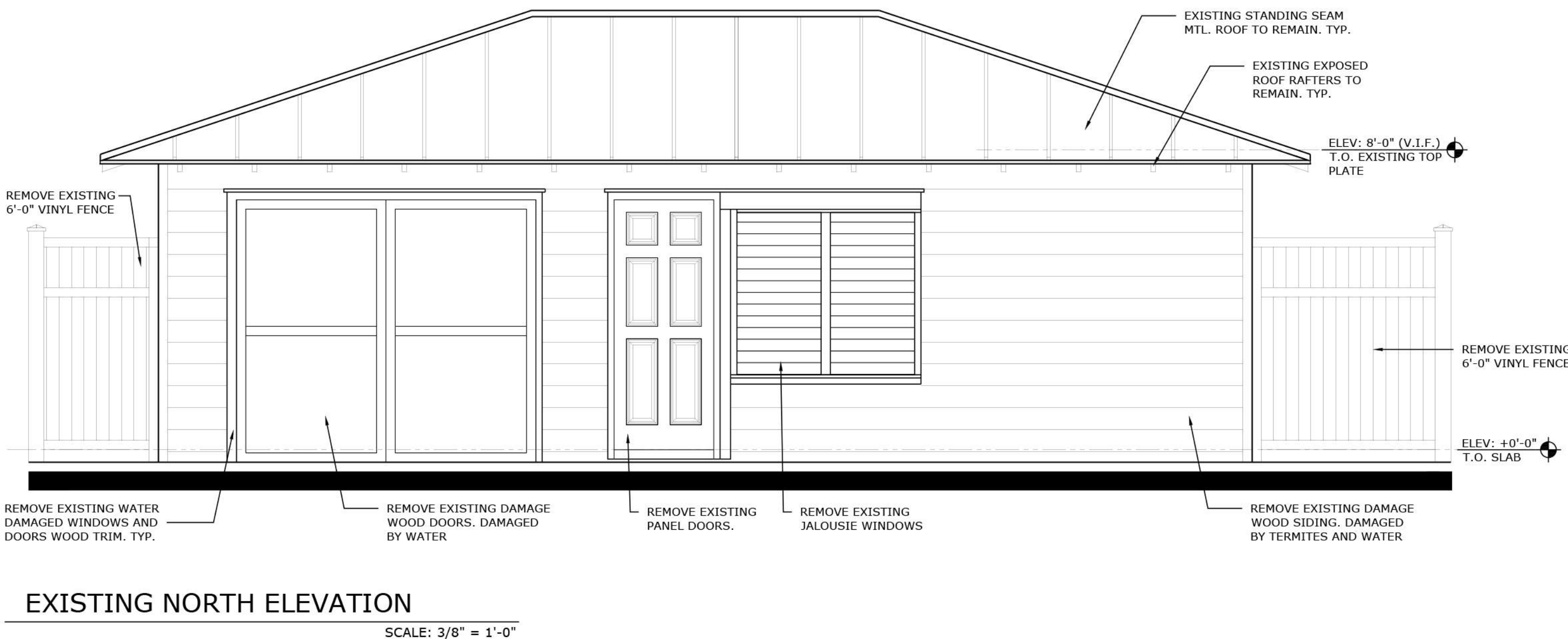
JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

PROPOSED PLAN
& EXTERIOR
ELEVATIONS

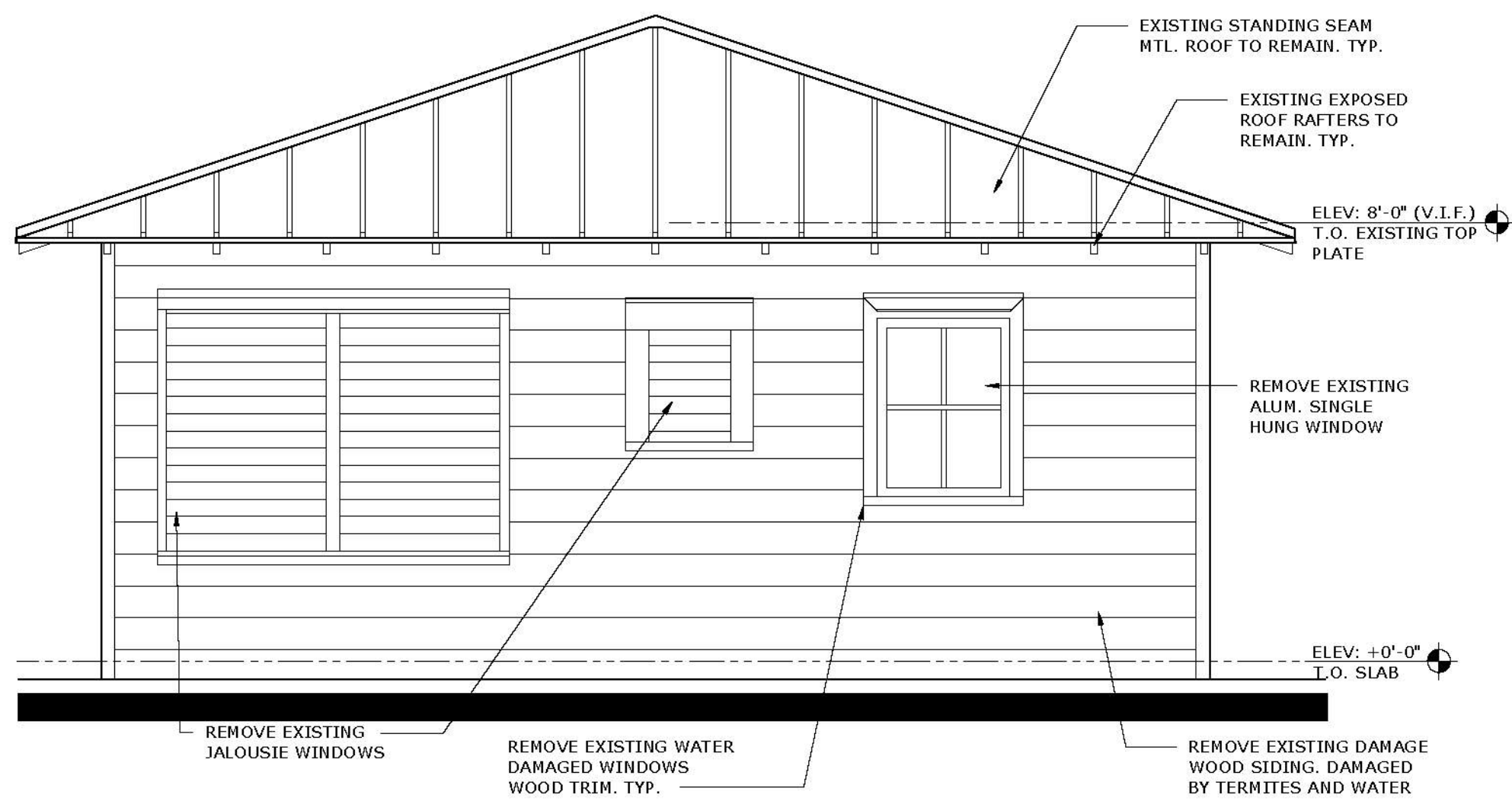
SHEET NUMBER

A-2



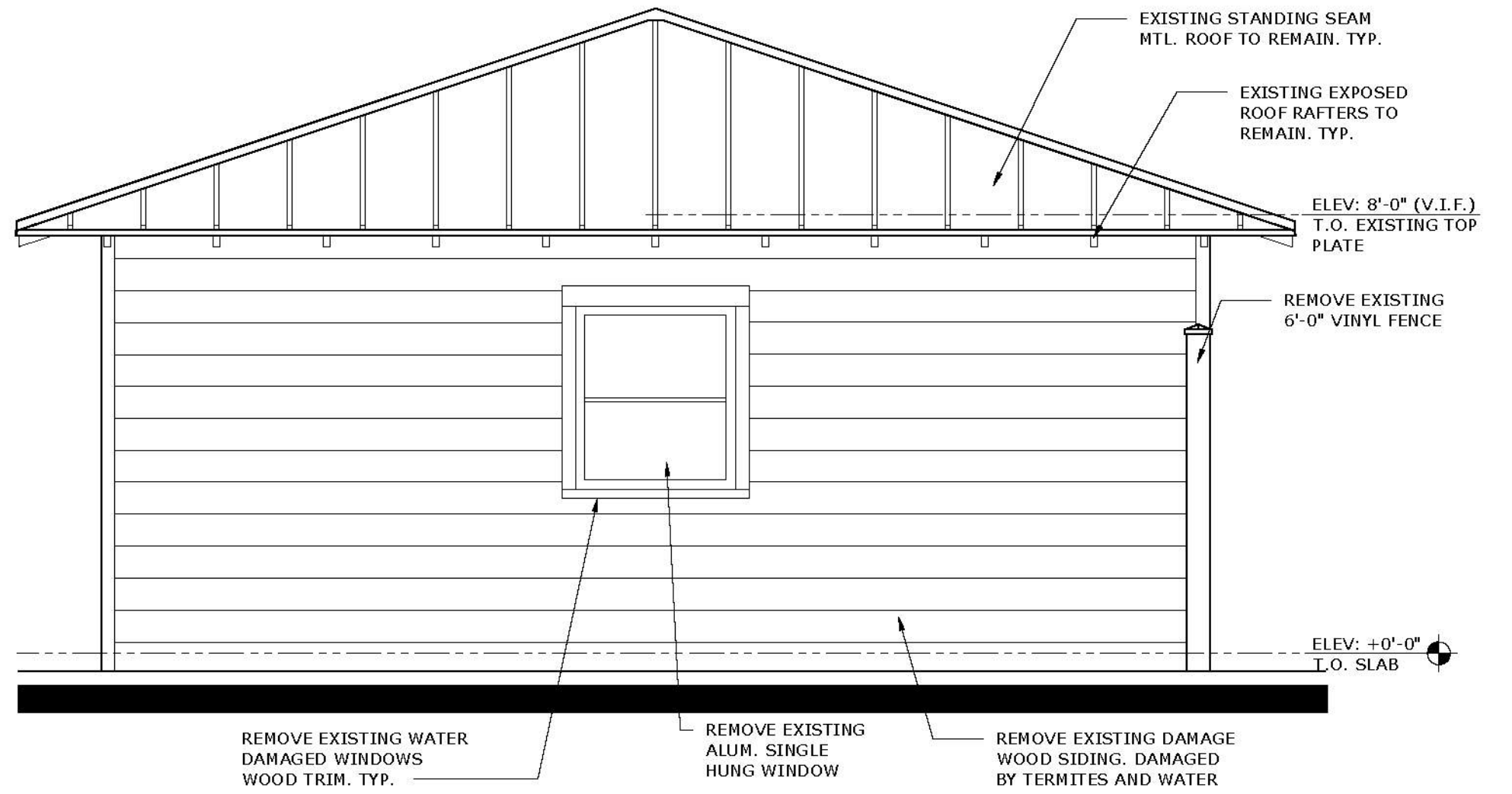
GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT ARE TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS INCLUDING BUT NOT LIMITED TO BUILDING HEIGHTS, ROOF SLOPES, ROOM DIMENSIONS ETC. TO CONFIRM ALL EXISTING CONDITIONS BEFORE ORDERING OR FABRICATING ANY MATERIALS. CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.



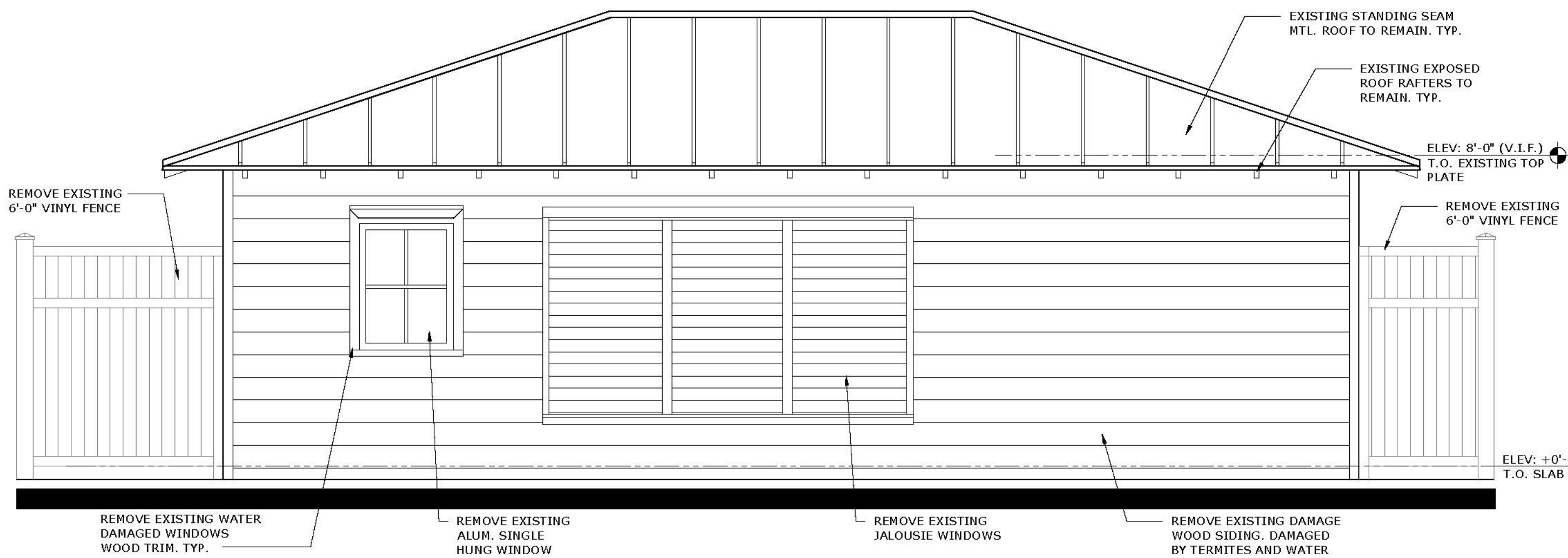
EXISTING WEST ELEVATION

SCALE: 3/8" = 1'-0"



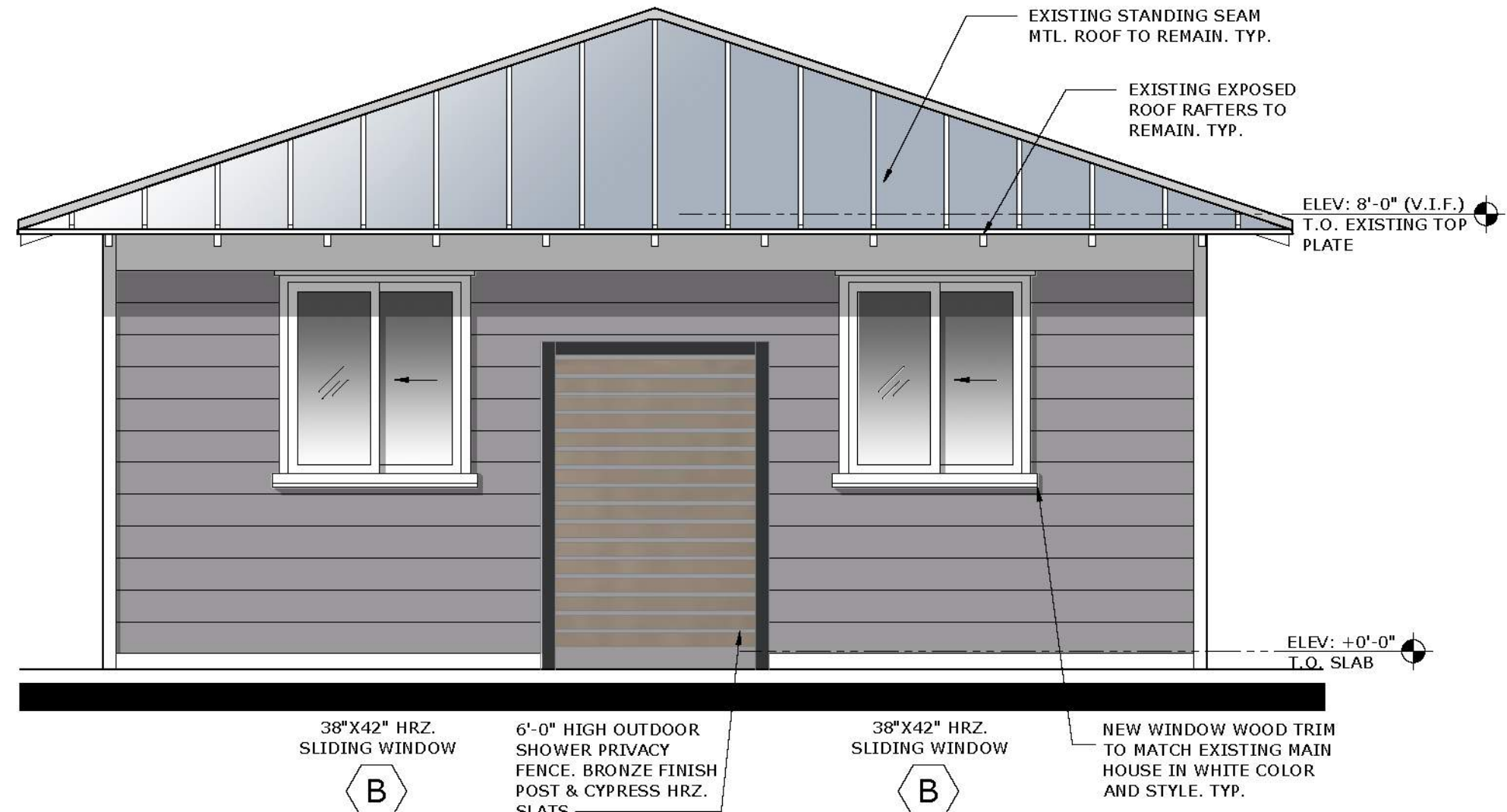
EXISTING EAST ELEVATION

SCALE: 3/8" = 1'-0"



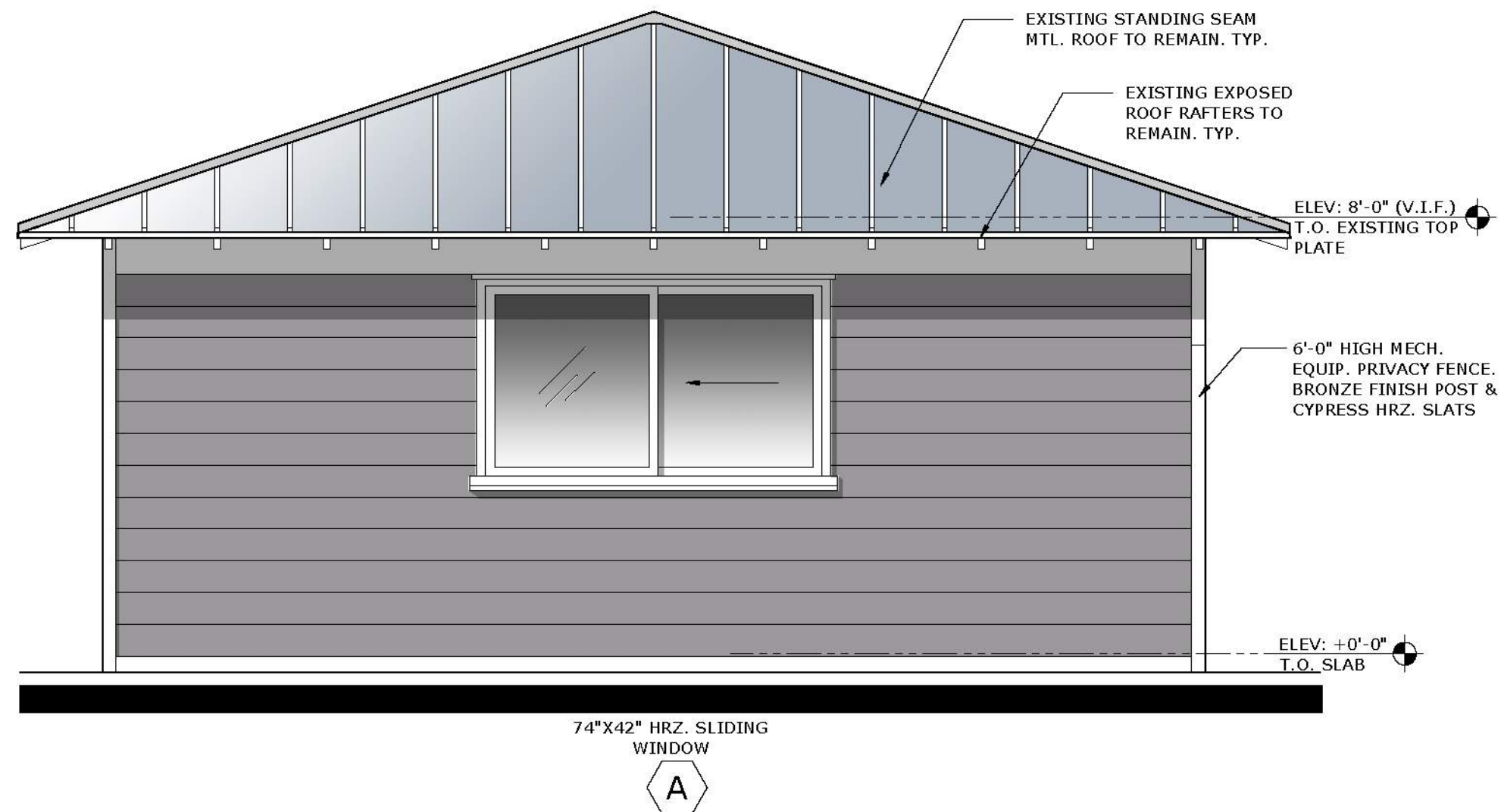
EXISTING SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



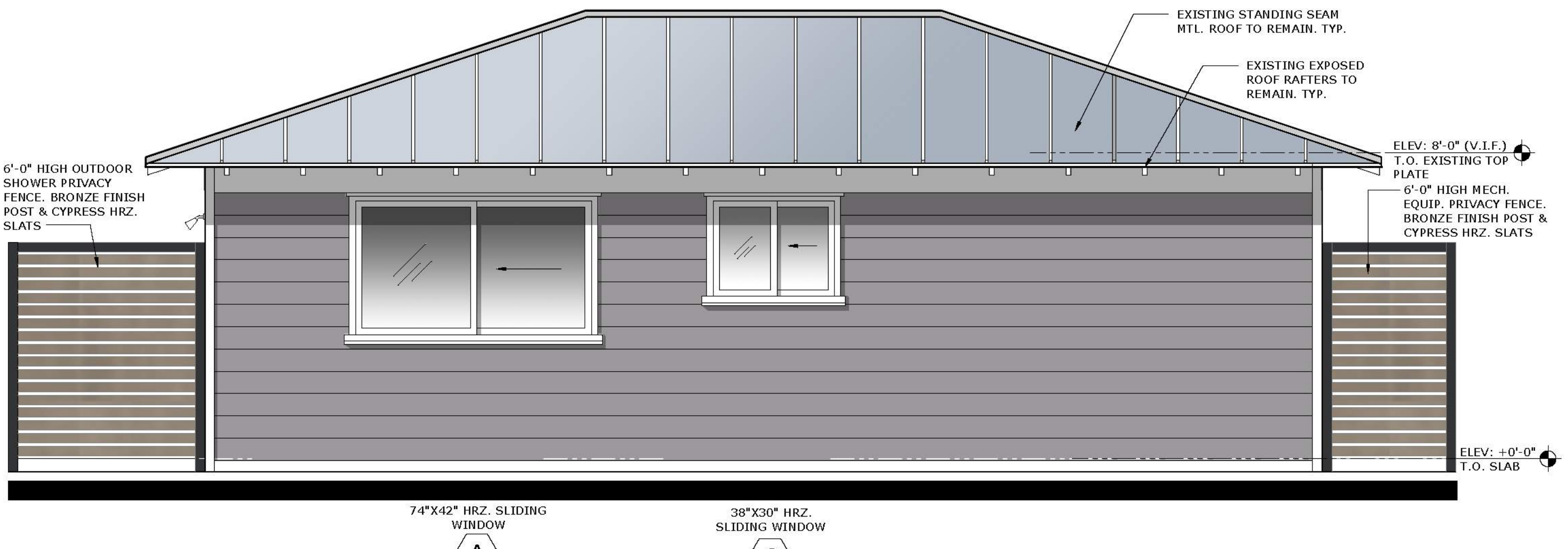
PROPOSED WEST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED EAST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

APPLICATION CERTIFICATE OF APPROPRIATENESS - SUPPLEMENTAL DRAWINGS

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

JOB NUMBER: 2022-53
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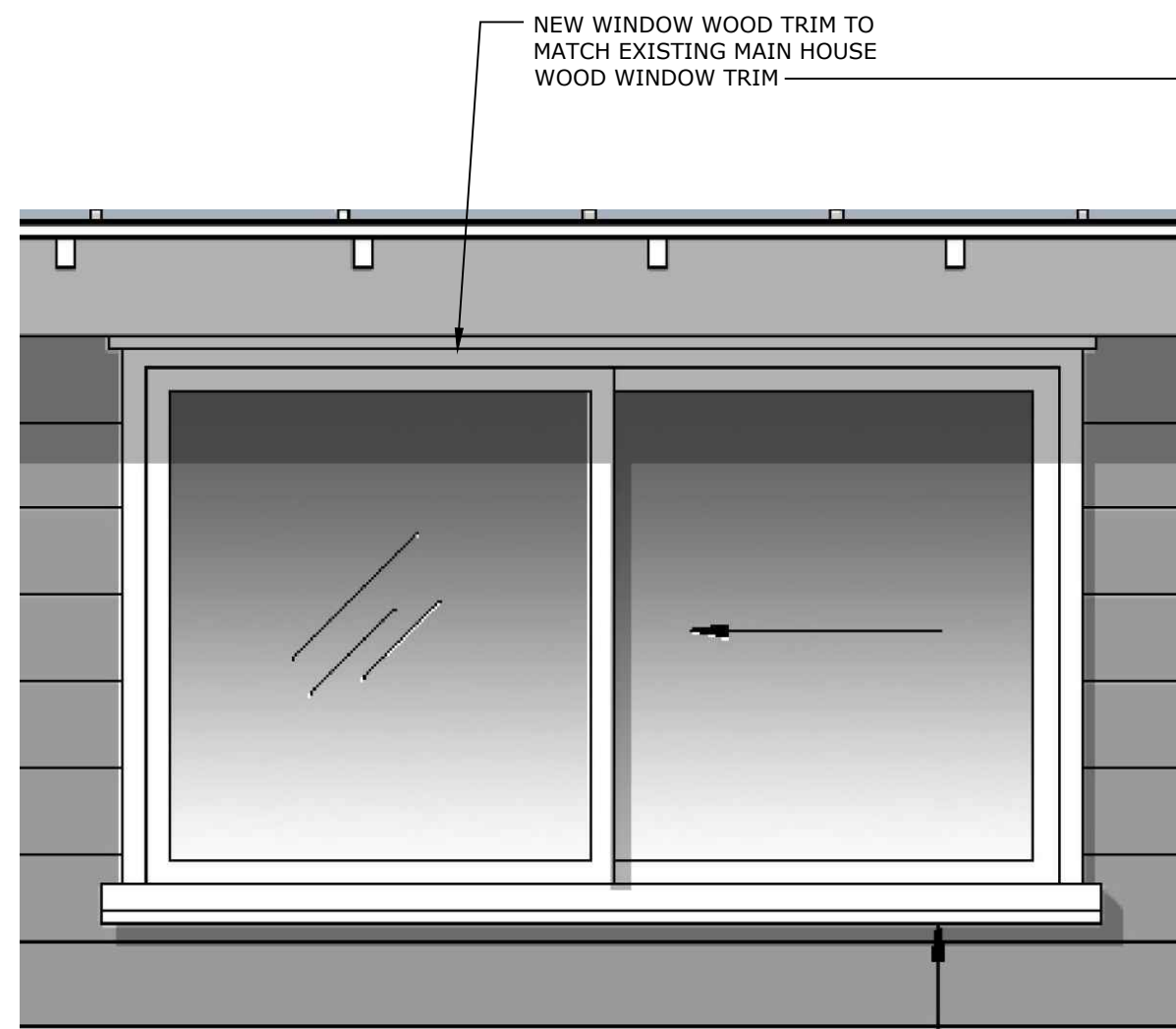
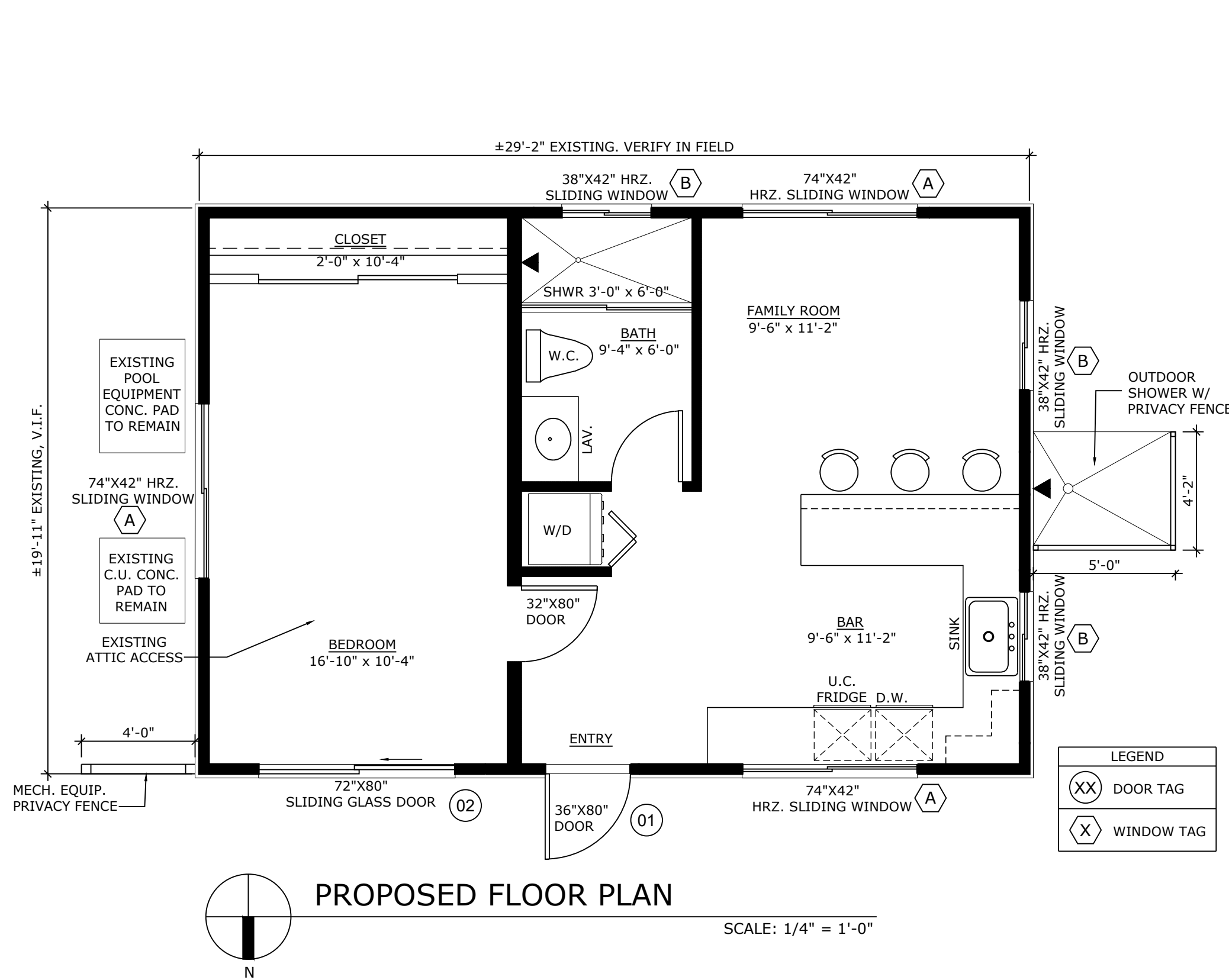
PROPOSED
EXTERIOR
ELEVATIONS

SHEET NUMBER

A-3

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

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PROPOSED WINDOW WOOD TRIM

NOTE: ALL NEW WINDOWS AND DOOR TO MATCH EXISTING MAIN HOUSE WINDOW WOOD TRIM.



EXISTING MAIN HOUSE
WINDOW WOOD TRIM



PROPOSED EXTERIOR SIDING
COLOR - SW9153 MOONLIT ORCHID

PLASTPRO: SMOOTH SKIN SERIES - WHITE FINISH



01 SEE DOOR SCHEDULE

DR52B

Two Panel Door SOLID FIBERGLASS DOOR

AVAILABLE IN: 2'8" x 6'8" 2'10" x 6'8" 3'0" x 6'8"

This Two Panel Door from the Smooth Series introduces two simple panels with the optional addition of a Half Lite to the minimal, smooth skin.

Revit file



SPECIFICATIONS

WHERE TO BUY

VIEW ON YOUR HOME

CGI: SENTINEL SERIES - WHITE FINISH

Available Finishes:

- White, Bronze and Class I Clear Anodized

Standard Glass Colors:

- Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, White Interlayer, Mist (Pattern 62), Rain

Glass Types:

- 7/16" Laminated
- 1" Insulated Laminated

Glass Coatings:

- Energy efficient LoE options

Standard Hardware:

- Interior lock and handle
- Stainless steel rollers
- White, Bronze or Gray handles

Standard Features:

- 2, 3 & 4 track and pocketed configurations
- 4 3/4" deep frame on 2 track
- 6" deep frame on 3 track
- 7 3/4" deep frame on 4 track
- Mitered decorative interior corners
- Stainless steel fasteners
- Heavy duty extruded screen frame with Super-View™ fiberglass mesh
- 2-point lock
- Concealed installation screws

Sentinel Sliding Glass Door 150

Now with concealed fasteners, 2 point lock and updated door stop. Stainless steel package comes standard and the 4.75" 2-track depth allows for easy retrofit install. Available in 2, 3 or 4 track configurations and pockets.



NEW HANDLES

NOTE: ALUMINUM FRAME AND GRAY TINT GLAZING TO MATCH EXISTING MAIN HOUSE

02 SEE DOOR SCHEDULE

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

PROPOSED
MATERIALS

SHEET NUMBER

JAMES HARDIE ADVANTAGES

JAMES HARDIE - HARDIE PLANK LAP SIDING

SIZE: TO MATCH EXISTING:
THICKNESS: .0312"
LENGTH: 144" BOARDS
EXPOSURE: WITH - 8.25"
EXPOSURE - 7" (MATCH EXISTING)

Love your look,
wherever you live.

As you get further into your journey, you'll discover the importance of style that endures. Only James Hardie® fiber cement siding and trim are specifically designed to perform beautifully wherever you live. Our HZ5® products resist shrinking, swelling and cracking even after years of wet or freezing conditions. Our HZ10® products stand up to hot, humid conditions, blistering sun and more.

Unlike other brands, James Hardie doesn't prorate its substrate warranties

30-year non-prorated, limited siding warranty
15-year non-prorated, limited trim warranty

100%

Year 10

100%

Year 20

100%

Year 30

HardiePlank® Lap Siding Smooth Night Gray

HardieTrim® Boards Arctic White

HardiePlank® Lap Siding Smooth Night Gray

HardieTrim® Boards Arctic White

Exceptional finish adhesion

Our proprietary coating is applied to the surface and edges of our boards for durable performance.

Superior color retention

Our ColorPlus® finish is baked onto James Hardie® products, enhancing resistance to peeling and chipping.

Superior UV resistance

ColorPlus finishes retain vibrancy longer when compared to vinyl siding and typical field paints on other siding products.

Lasting beauty begins with the finish.

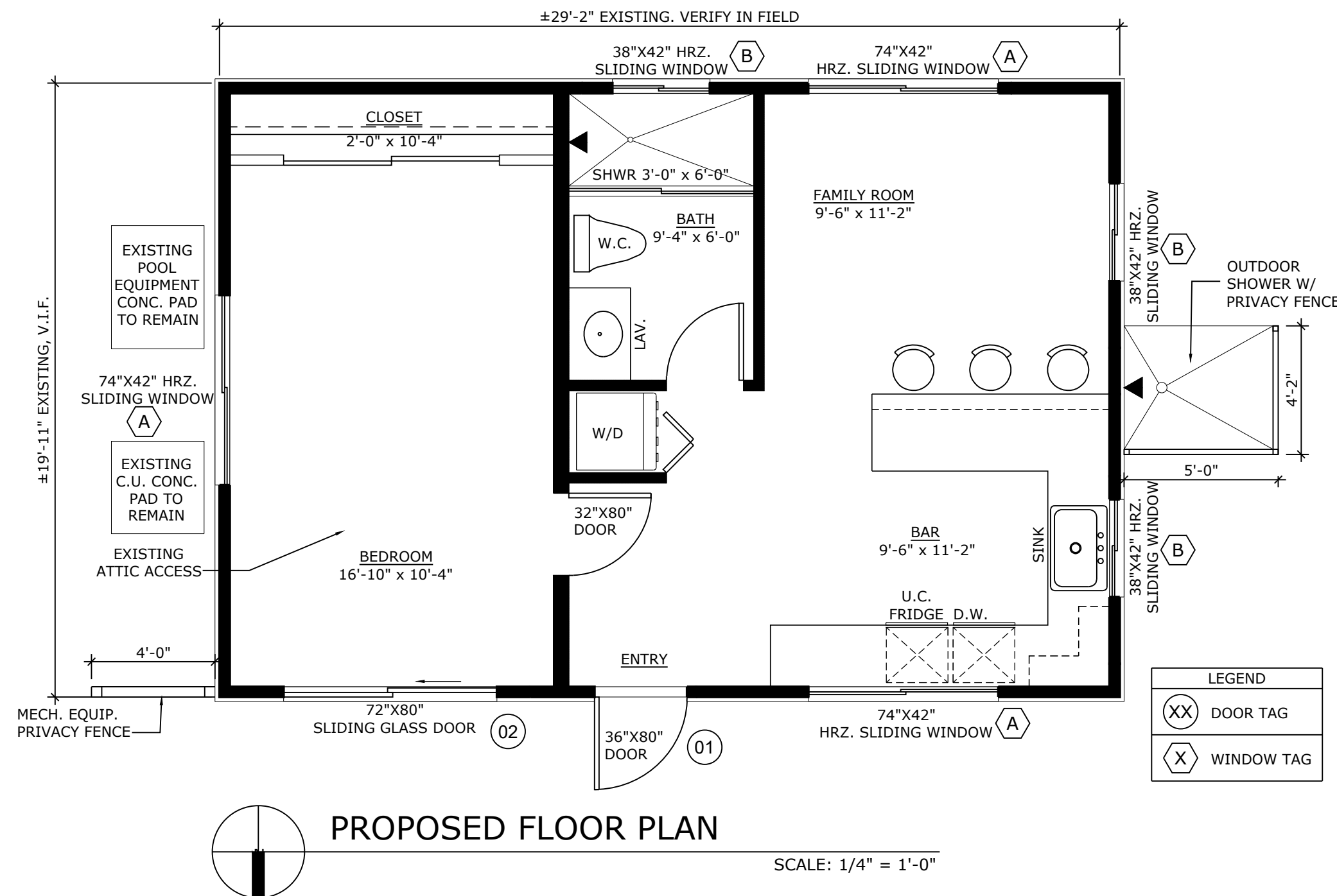
Siding and finish choices represent a major investment. Research which products will keep their good looks over time. James Hardie manufactures its siding and trim boards and applies ColorPlus® Technology finishes in the same factory. Compare that to wood-based siding that typically relies on third parties for painting. Our controlled, single-source process delivers a more consistent finish that performs better with less maintenance than paint on wood-based siding. Enjoy the peace of mind that comes with our 15-year limited finish warranty.



EXISTING MAIN HOUSE EXTERIOR COLOR



PROPOSED MAIN HOUSE EXTERIOR COLOR



PROPOSED EXTERIOR SIDING - MAIN HOUSE & GUEST HOUSE COLOR - SHERWIN WILLIAM SW 9153 MOONLIT ORCHID

CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT ARE TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS INCLUDING BUT NOT LIMITED TO BUILDING HEIGHTS, ROOF SLOPES, ROOM DIMENSIONS ETC. TO CONFIRM ALL EXISTING CONDITIONS BEFORE ORDERING OR FABRICATING ANY MATERIALS. CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.

CGI: SENTINEL SERIES - WHITE FINISH

Available Finishes:

• White, Bronze and Class I Clear Anodized

Standard Glass Colors:

• Clear, Gray, Dark Gray (Turtle Code), Bronze, Solexia Green, White Interlayer, Mist (Pattern 62), Rain

Glass Types:

• 5/16" Laminated
• 3/4" Insulated Laminated

Glass Coatings:

• Energy efficient LoE options

Standard Hardware:

• Egress lock

Standard Features:

• Two & three panel configurations
OX, XO, XO
• Equal lites or 1/4-1/2-1/4 configuration
• Flush design
• Double weatherstripping and weeped sill
• 2 1/2" deep frame
• Extruded snap-on square glazing beads
• Strong structural glazing
• Concealed jamb anchor cover
• (3) #10-1 1/4" stainless steel fasteners per corner
• Extruded screen frame with Super-View™ fiberglass mesh

Sentinel Horizontal Rolling Window 120

Available with Sentinel clipless mullions that are flush on the interior. Stainless steel package comes standard. Super smooth rolling action.

A

B

SEE WINDOW SCHEDULE

NOTE: ALUMINUM FRAME AND GRAY TINT GLAZING TO MATCH EXISTING MAIN HOUSE

REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

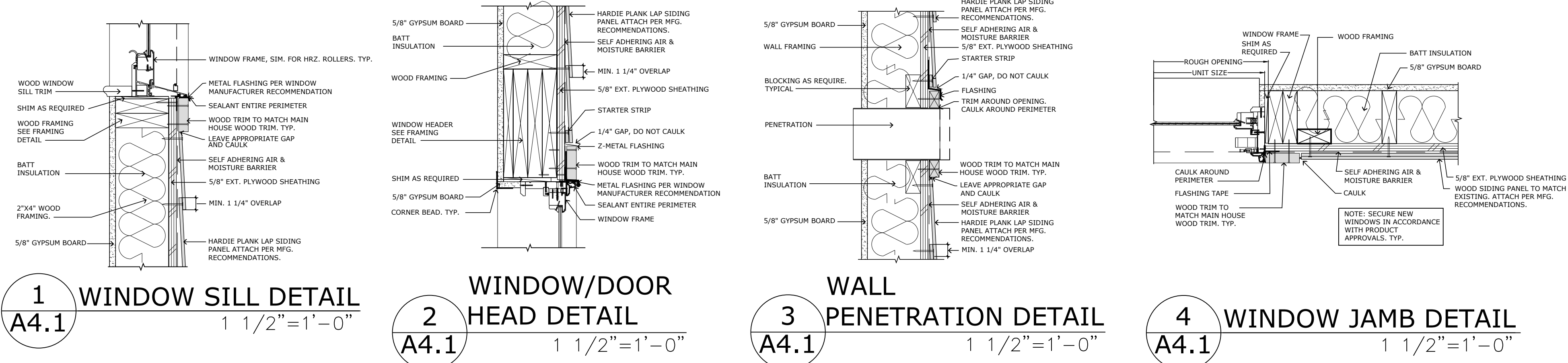
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SHEET TITLE

PROPOSED MATERIALS

SHEET NUMBER



414GREENBRIAR DRIVE

GUEST HOUSE PROPOSED MATERIAL SPECIFICATIONS



PROPOSED NORTH ELEVATION

414 Greenbriar Drive – Material Specifications		
ITEM	MANUFACTURER	MODEL NO./ STYLE
Exterior Siding		
HARDIE PLANK LAP SIDING	JAMES HARDIE	HARDIEPLANK SELECT CEDARMILL PRIME
EXTERIOR WINDOWS		
WINDOWS SINGLE HUNG SH7700A WITH EXTERIOR RAISED APPLIED TRIANGULAR MUNTINGS	PGT	WINDGUARD SERIES ALUMINUM FRAME – WHITE FINISH – GRAY TINT GLAZING TO MATCH EXISTING
WINDOWS 7 DOORS TRIM		
WOOD TRIM	-	WOOD TRIM TO MATCH EXISTING MAIN HOUSE PAINTED WHITE TO MATCH EXISTING
EXTERIOR DOORS		
MAIN ENTRY DOOR FIBERGLASS SWING DOOR	PLASTPRO	3'0"x6'8" DRS2B TWO PANEL DOOR SMOOTH SERIES
BEDROOM FRENCH DOOR - ALUMINUM FD101H WITH EXTERIOR RAISED APPLIED TRIANGULAR MUNTINGS	PGT	WINDGUARD SERIES WHITE FINISH, GRAY TINT GLAZING TO MATCH EXISTING
EXTERIOR PAINT – MAIN & GUEST HOUSE EXTERIOR COLOR		
PAINT	SHERWIN WILLIAMS	SW 9153 MOONLIT ORCHID



Discover a whole new
SIDE OF HOME.



JamesHardie™

Siding | Tr 41

HardieZone® System

Only James Hardie fiber cement products are Engineered for Climate®. In the northern U.S. and Canada, HZ5® products resist shrinking, swelling and cracking even after years of wet or freezing conditions. HZ10® products help protect homes from hot, humid conditions, blistering sun and more.

With James Hardie siding and trim, homeowners have an exterior that's tougher than the elements and easy on the eyes.

NO MATTER WHAT NATURE BRINGS



HardiePanel®
Vertical Siding
Light Mist



HardieTrim®
Boards
Light Mist

TOUGHER THAN THE ELEMENTS



Stands up to storms
and harsh weather



Water resistant
to protect against
swelling, warping
and cracking



Won't be eaten by
animals or insects



Fire resistant



Helps reduce time
and money spent on
maintenance

Resist the elements
WITH IRRESISTIBLE BEAUTY.

Unique Formulation

HZ10® Substrate

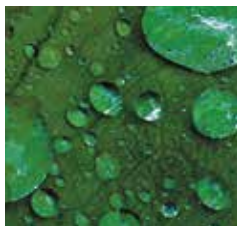
Not all fiber cement is the same. James Hardie HZ10 products contain the highest quality raw materials. Our unique formulation, combined with innovative product design and manufacturing processes, create a substrate that is specifically engineered to resist moisture, cracking, shrinking and swelling for increased durability and workability.

PROPRIETARY ENHANCEMENTS CREATE DURABLE JAMES HARDIE® SIDING



Perfect balance of strength and workability

Our balance of high-quality Portland cement, sand and cellulose fiber delivers the best combination of strength and workability.



Enhanced moisture resistance for unmatched durability

Patented and proprietary additives are chemically bonded within the HZ5® substrate matrix to provide durable moisture resistance.

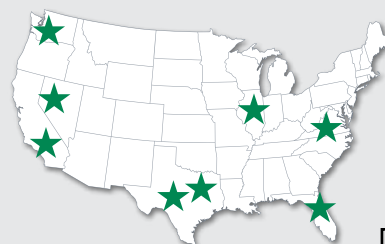


Increased dimensional stability

Our siding is engineered at the microscopic level to create a fiber cement composite with superior dimensional stability that helps protect against shrinking and splitting.



MADE IN THE
USA



Finishing Technology

Primer

A quality primer is the first step to ensuring that the paint color you select beautifully expresses a home's true character now – and for years to come. Our distinctive primer is climate-tested and engineered to enhance the performance of paint on James Hardie® fiber cement siding products. It helps to provide consistent, long-lasting paint adhesion, even in the most demanding conditions.

ColorPlus® Technology

Our advanced ColorPlus® Technology finishes deliver the ultimate in aesthetics and performance. Our products aren't simply painted at the factory. Our proprietary coatings are baked onto the board, creating a vibrant, consistent finish that performs better, lasts longer and looks brighter on your homes.



Exceptional finish adhesion

Our proprietary coating is engineered for exceptional adhesion to our substrate and applied to the surface, edges and features for durable performance.



Superior color retention

Finish is cured onto boards for a stronger bond, which allows for exceptional resistance to cracking, peeling and chipping.



Superior UV resistance

ColorPlus® Technology finishes retain vibrancy longer when compared to vinyl siding and typical field paints on other siding products.



ColorPlus®
Technology

HardiePlank®

Thickness 5/16 in

Length 12 ft planks

SELECT CEDARMILL® & SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
Exposure	4 in	5 in	6 in	7 in	8 in	10.75 in
Prime Pcs/Pallet	360	308	252	230	190	152
ColorPlus Pcs/Pallet	324	280	252	210	—	—
Pcs/Sq	25.0	20.0	16.7	14.3	12.5	9.3

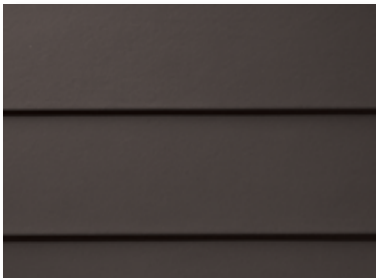
SELECT CEDARMILL®



SELECT CEDARMILL®

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™			✓			
DREAM COLLECTION™	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓

SMOOTH



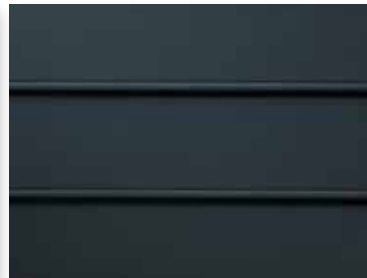
SMOOTH

Width	5.25 in	6.25 in	7.25 in	8.25 in	9.25 in	12 in
STATEMENT COLLECTION™						
DREAM COLLECTION™	✓	✓	✓	✓		
PRIME	✓	✓	✓	✓	✓	✓

BEADED CEDARMILL®



BEADED SMOOTH



BEADED CEDARMILL® & BEADED SMOOTH

Width	8.25 in	
Exposure	7 in	
Prime Pcs/Pallet	240	
ColorPlus Pcs/Pallet	210	
Pcs/Sq	14.3	
STATEMENT COLLECTION™		
DREAM COLLECTION™	✓	
PRIME		

Install Done Right

Installation Accessories

HARDIEBLADE® SAW BLADES

Manufactured by Diablo, the HardieBlade® saw blade is designed specifically to cut fiber cement products, and is the only saw blade James Hardie recommends. The blade creates clean, precise cuts while helping to reduce the amount of airborne dust produced. Specially designed to outlast other fiber cement saw blades by 3X, outlasting carbide blades by 60X.



PACTOOL® GECKO GAUGE

The PacTool® Gecko Gauge is designed to improve the installation experience, allowing one person to hang HardiePlank® lap siding during installation. Studies suggest the Gecko Gauge can improve the speed of solo installation by 30%.



Finishing Touches

ColorPlus® Technology Accessories

TOUCH-UP KITS

Specially formulated to match ColorPlus Technology finishes, our touch-up kits offer resistance to aging, color change and chalking. Estimated one kit per 4000 sq ft of siding or 1600 sq ft of trim.



COLOR MATCHED CAULK

OSI® QUAD® MAX sealant offers a high performance sealant solution to color match Statement Collection™ products.* About 18-20 linear feet per tube. Refer to packaging for manufacturer's recommendations.

**For matching Dream Collection products, contact your local James Hardie representative.*

Trim Accessories

FLAT TABS

Eliminate face nails and improve the aesthetic of trim applications around windows, doors and band boards.

CORNER TABS

Use corner tabs to eliminate face nail holes that would detract from the finished look of corner trim installations.



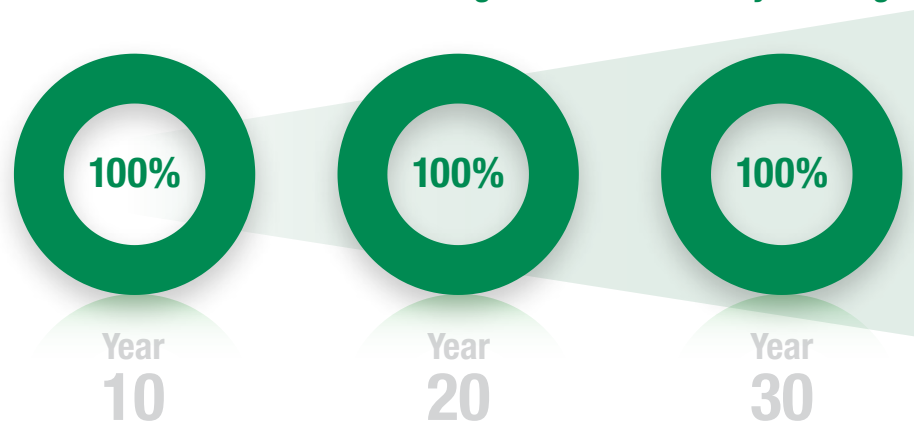
Find useful job-site tips in our industry-leading Best Practices Guide. For the latest installation instructions, visit jameshardiepros.com

Warranty – for peace of mind

Protect your homes with North America's #1 brand of siding backed by exceptional warranties. Unlike other brands, James Hardie doesn't prorate our siding and trim warranty coverage. We stand behind our siding 100% for 30 years and trim for 15 years.

ColorPlus® Technology finishes come with a 15-year limited warranty.

James Hardie Non-Prorated Siding Substrate Warranty Coverage



Endorsements – a reputation built on trust

For decades, our fiber cement products have been used to create better places to live. Each new home stands as a testament to our uncompromising quality. That proven track record has earned the loyalty of millions of homeowners and the endorsements of trusted authorities across the building industry.



Listed as top building materials & products by **Professional Builder 2018**



Chosen by builders as a **Brand Leader** in **Builder magazine** for over 20 years






James Hardie® siding & trim products have earned the **Good Housekeeping Seal**

Explore the Options

PGT ALUM. WINDOW WINGARD SERIES WITH
RAISED APPLIED TRIANGULAR MUNTINS - WHITE
FINISH SH7700A.



CONFIGURATIONS	+
FRAME COLORS	+
GRID OPTIONS	-
<div><div></div><div>None</div></div>	
<div><div></div><div>Standard</div></div>	
<div><div></div><div>Brittany/Prairie</div></div>	
GLASS TINTS	+

Note: This tool only includes our most popular



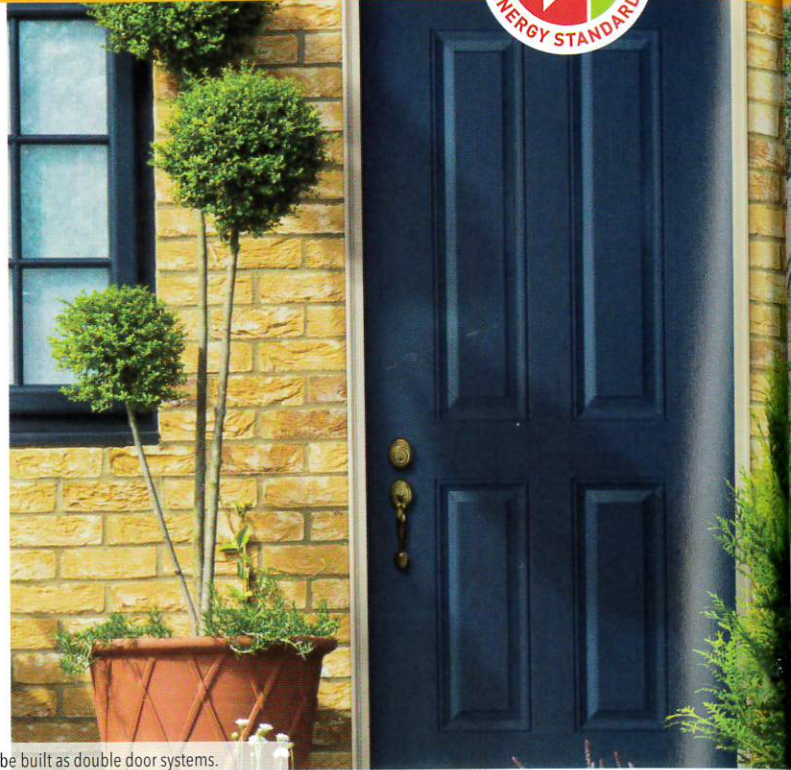
SOLID FIBERGLASS

plastpro®

HydroShield™
technology

smooth skin

These doors are scratch-resistant! Patented, pre-pigmented white skin infuses the door white through and through. Can be painted or faux finished to coordinate with your home decor.

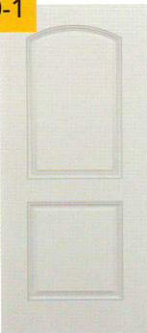


All door systems are sold unfinished.
Natural color of smooth doors is white.

All door sizes shown can be built as double door systems.

HVHZ N/A

IR70-1



2 Panels Arch Panel 6/8

IR70-2



True 4 Panels 6/8

IR70-3



Flush 6/8

IR70-4



2 Panels 6/8

IR70-5



6 Panels 6/8



All components for Pre-Hung assembly are in-stock



6'8" DRS2B TWO PANEL DOOR

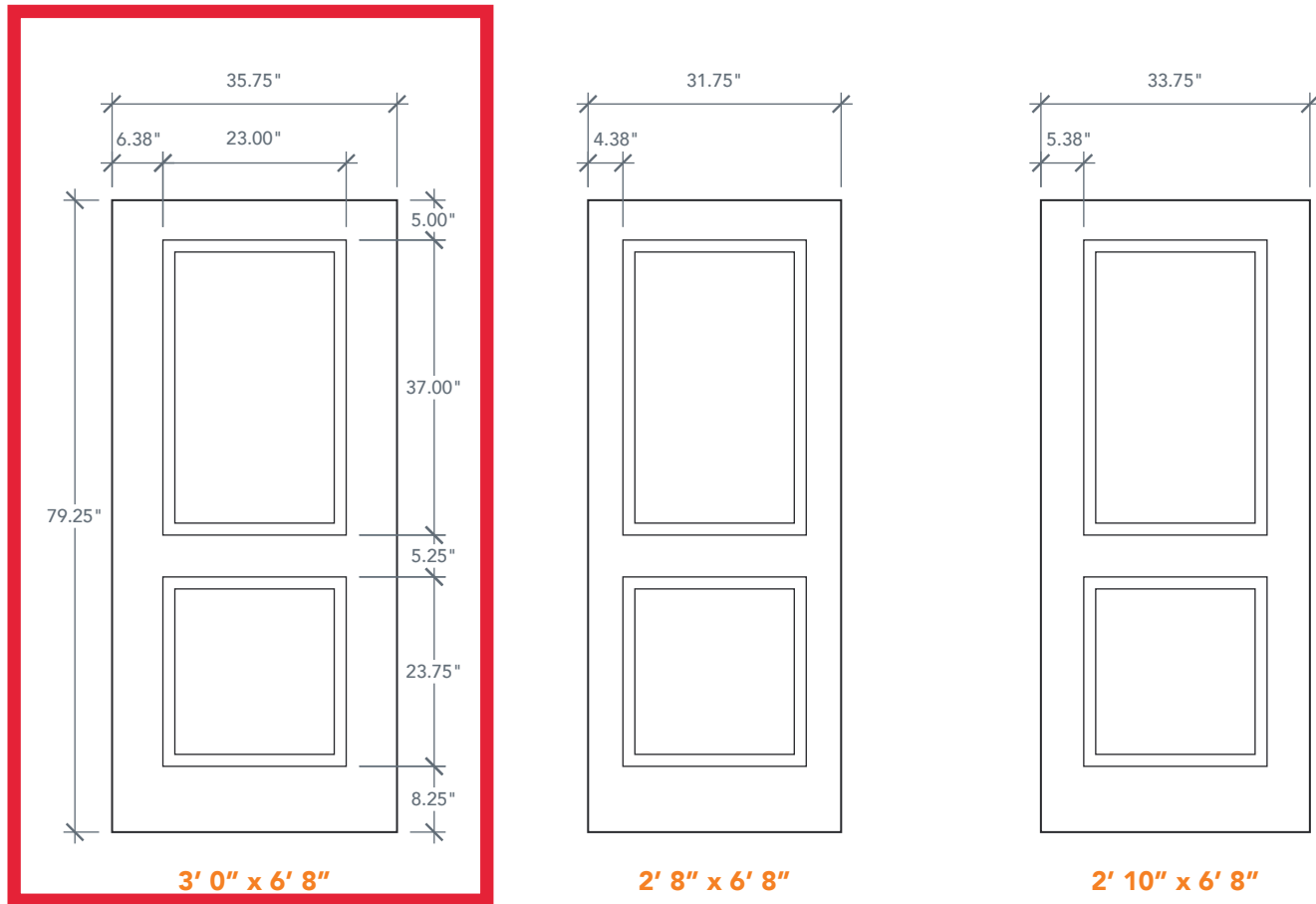
SQUARE PANEL & SQUARE TOP

SMOOTH SERIES

2022 PLASTPRO SPECBOOK PAGE: 126

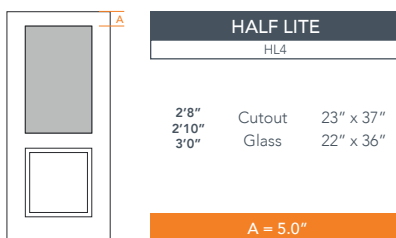
AVAILABLE SIZING

ARTWORK SCALE: 1/2"=1'



NOTE: BY REQUEST, DOOR HEIGHT COMES IN VARYING DIMENSIONS TO A MINIMUM OF 79". EXCESS WILL BE TAKEN FROM BOTTOM RAIL. ALL OTHER DIMENSIONS WILL REMAIN THE SAME.

CUTOUTS & GLASS



A = DISTANCE FROM TOP OF DOOR TO TOP OF OPENING

MATCHING SIDELITES





Essential French Door

FD101H

Featuring a 2-point locking system for added security and optional matching sidelites (tall, narrow windows on one or both sides of the door) that provide additional natural light, this WinGuard® French impact door (FD101H) is beautifully designed and easy to open. It creates an elegant exit to the outdoors in dining rooms, master bedrooms, and other areas of the home.

PGT FRENCH DOOR FD101H - ALUMINUM
W/ TRIANGULAR RAISED MUNTINGS

Explore the Options

PGT
WinGuard®

NEXT ARE PICTURE OF PHYSICAL SAMPLES THAT WILL BE SUBMITTED
OTHER SAMPLES WILL BE AVAILABLE UPON REQUEST.

1. HARDIE PLANK LAP SIDING BOARD SAMPLE WITH SHERWIN WILLIAM
COLOR SW 9153 MOONLIT ORCHID.
2. SHERWIN WILLIAM COLOR SAMPLE SWATCH: SW 9153 MOONLIT ORCHID.

Q14 9753
Missouri District

SW 9153
Moonlit Orchid

226-C4

GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

CONTRACTOR AND ALL SUBCONTRACTORS
PERFORMING ANY WORK ON THIS
PROJECT ARE TO VISIT THE SITE AND
VERIFY ALL MEASUREMENTS INCLUDING
BUT NOT LIMITED TO BUILDING HEIGHTS,
ROOF SLOPES, ROOM DIMENSIONS ETC.
TO CONFIRM ALL EXISTING CONDITIONS
BEFORE ORDERING OR FABRICATING ANY
MATERIALS. CONTRACTOR SHALL REPORT
ANY INCONSISTENCIES WITH THE
CONSTRUCTION DOCUMENTS TO THE
ARCHITECT BEFORE CONTINUING WORK.

(1) 10-11-2022 COA COMMENTS
REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

JOB NUMBER: 2022-53
DATE: 11-07-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

COVER / SITE PLAN

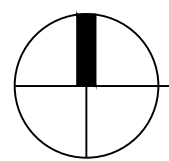
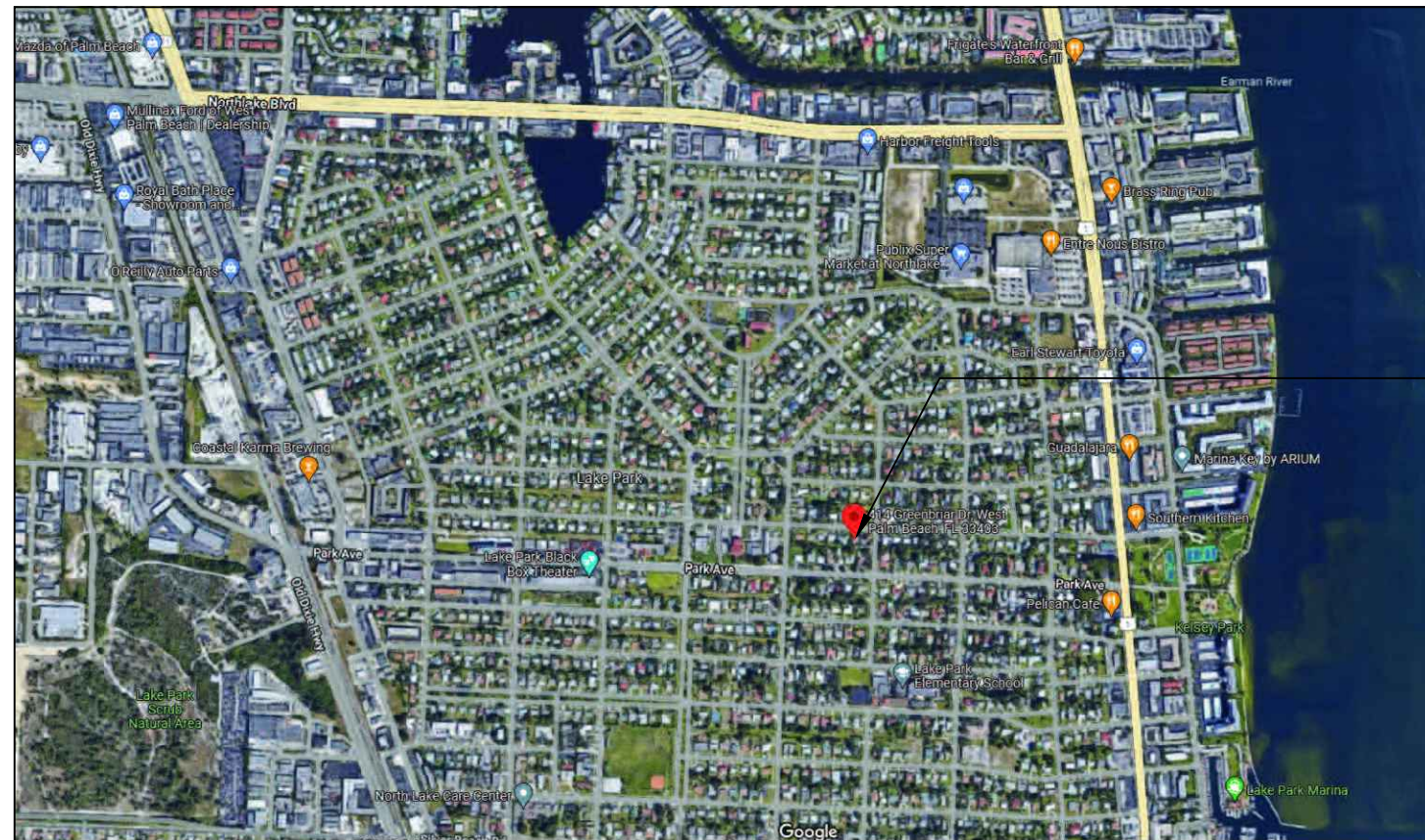
SHEET NUMBER

GUEST HOUSE RENOVATION

414 GREENBRIAR DRIVE
LAKE PARK, FLORIDA

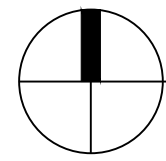
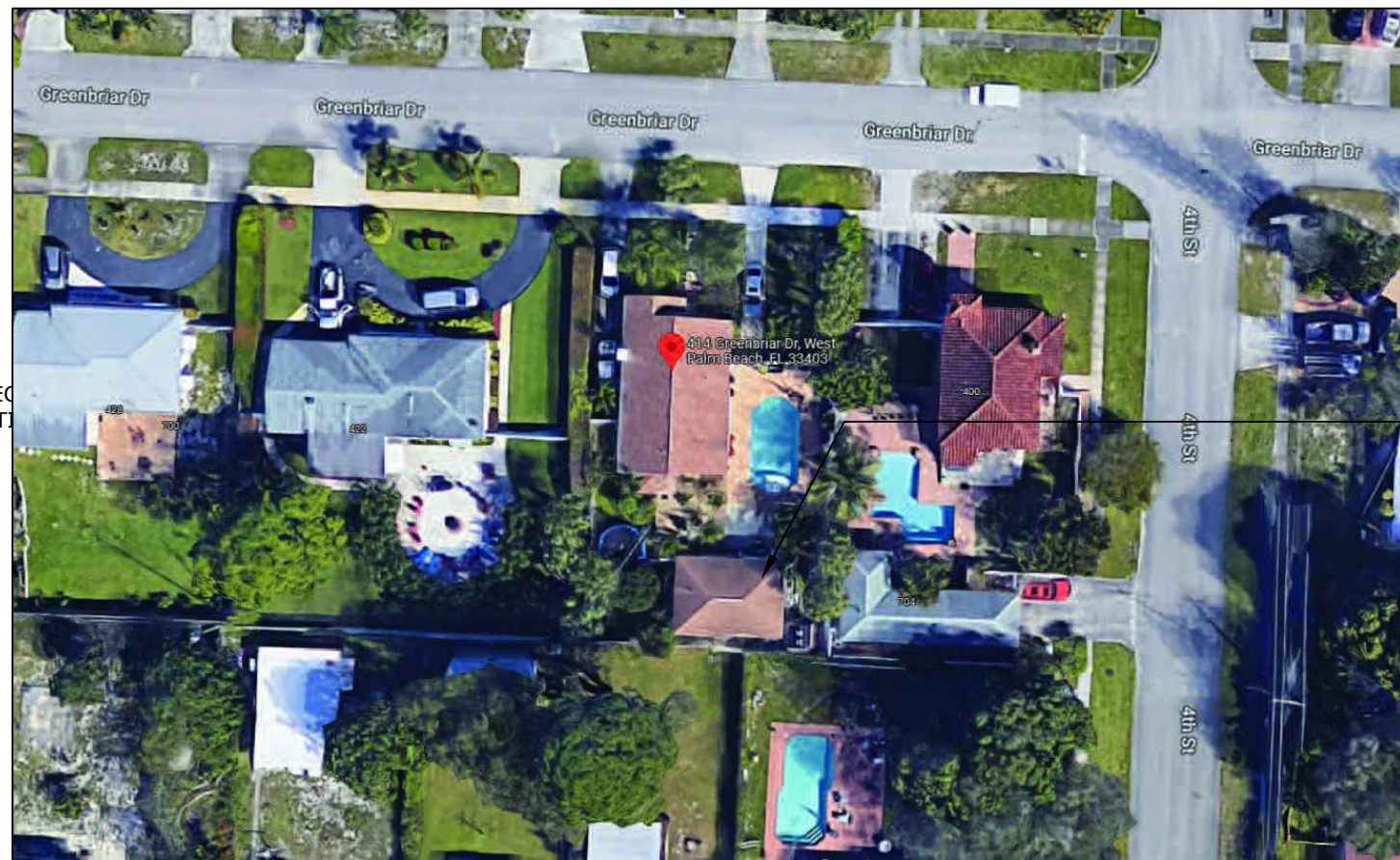


PROPOSED NORTH ELEVATION - GUEST HOUSE



LOCATION MAP

NOT TO SCALE



NEIGHBORHOOD MAP

NOT TO SCALE

CODE DATA

SINGLE FAMILY RESIDENCE - R3

ZONING:

R1 SINGLE FAMILY RESIDENCE (36-LAKE PARK)
MUNICIPALITY: LAKE PARK
SUBDIVISION: KELSEY CITY IN PB 8 PGS 15 TO 18,23,27 & 34 TO 37 INC
PARCEL CONTROL NUMBER: 36-43-42-20-01-023-0040
LEGAL DESCRIPTION: KELSEY CITY LTS 4 TO 6 INC BLK 23

GENERAL NOTES

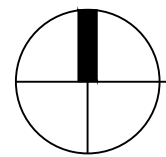
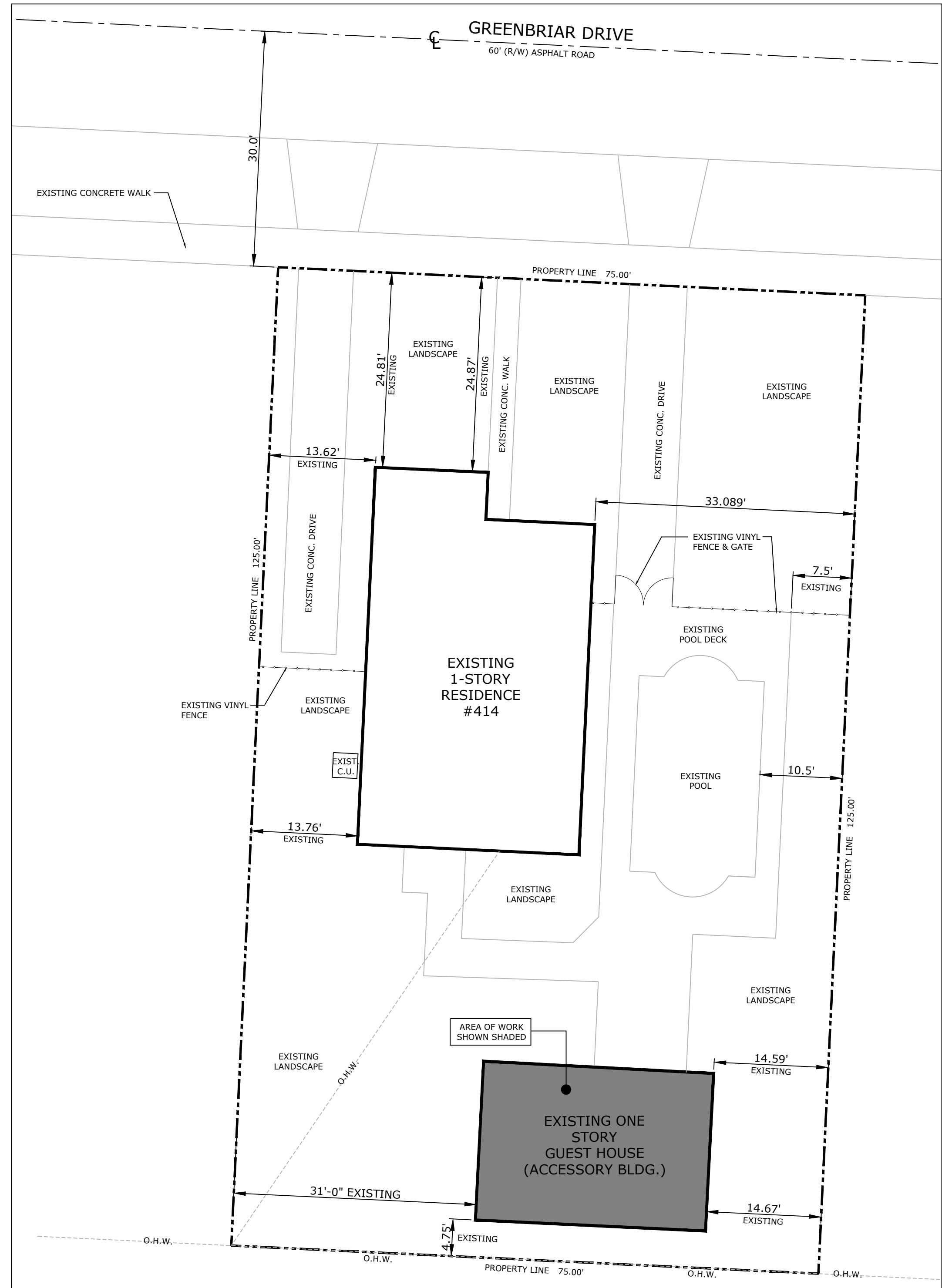
- PLANS WERE PREPARED IN ACCORDANCE WITH THE 2020 FLORIDA RESIDENTIAL BUILDING CODE 7TH EDITION & FLORIDA FIRE PREVENTION CODE 7TH EDITION.
- ALL WORK SHALL CONFORM TO ALL APPLICABLE CODES AND ORDINANCES.
- VISIT THE SITE TO DETERMINE THE CHARACTERISTICS OF THE EXISTING CONDITIONS WHICH WILL AFFECT PERFORMANCE OF THE WORK, BUT WHICH ARE NOT SHOWN ON THE DRAWINGS OR THE SPECIFICATIONS.
- THE CONTRACTOR SHALL VERIFY ALL CONDITIONS AND DIMENSIONS AS THE WORK PROGRESSES AND SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.
- ALL WORK SHALL BE PERFORMED IN A FIRST CLASS WORKMANLIKE MANNER, COMPLETE, IN PLACE AND READY FOR USE.

SHEET INDEX

- A-0 COVER / SITE PLAN
- A-1 EXISTING GUEST HOUSE EXTERIOR PHOTOGRAPHS
- A-1.1 EXISTING GUEST HOUSE INTERIOR PHOTOGRAPHS
- A-1.2 EXISTING GUEST HOUSE INTERIOR PHOTOGRAPHS
- A-2 FLOOR PLANS AND ELEVATIONS (EXISTING AND PROPOSED)
- A-3 EXTERIOR ELEVATIONS (EXISTING AND PROPOSED)
- A-4 PROPOSED MATERIALS
- A-4.1 PROPOSED MATERIALS

SCOPE OF WORK

- RESTORATION/RENOVATION OF THE EXISTING GUEST HOUSE.
- REPLACE DAMAGE WOOD SIDING, WINDOWS AND DOORS.
- PROPOSED SIDING TO MATCH EXISTING IN APPEARANCE.
- NEW WINDOW WOOD TRIM TO MATCH EXISTING MAIN HOUSE IN APPEARANCE AND PAINT FINISH.
- NEW PROPOSED PAINT FINISH FOR GUEST AND MAIN HOUSE.

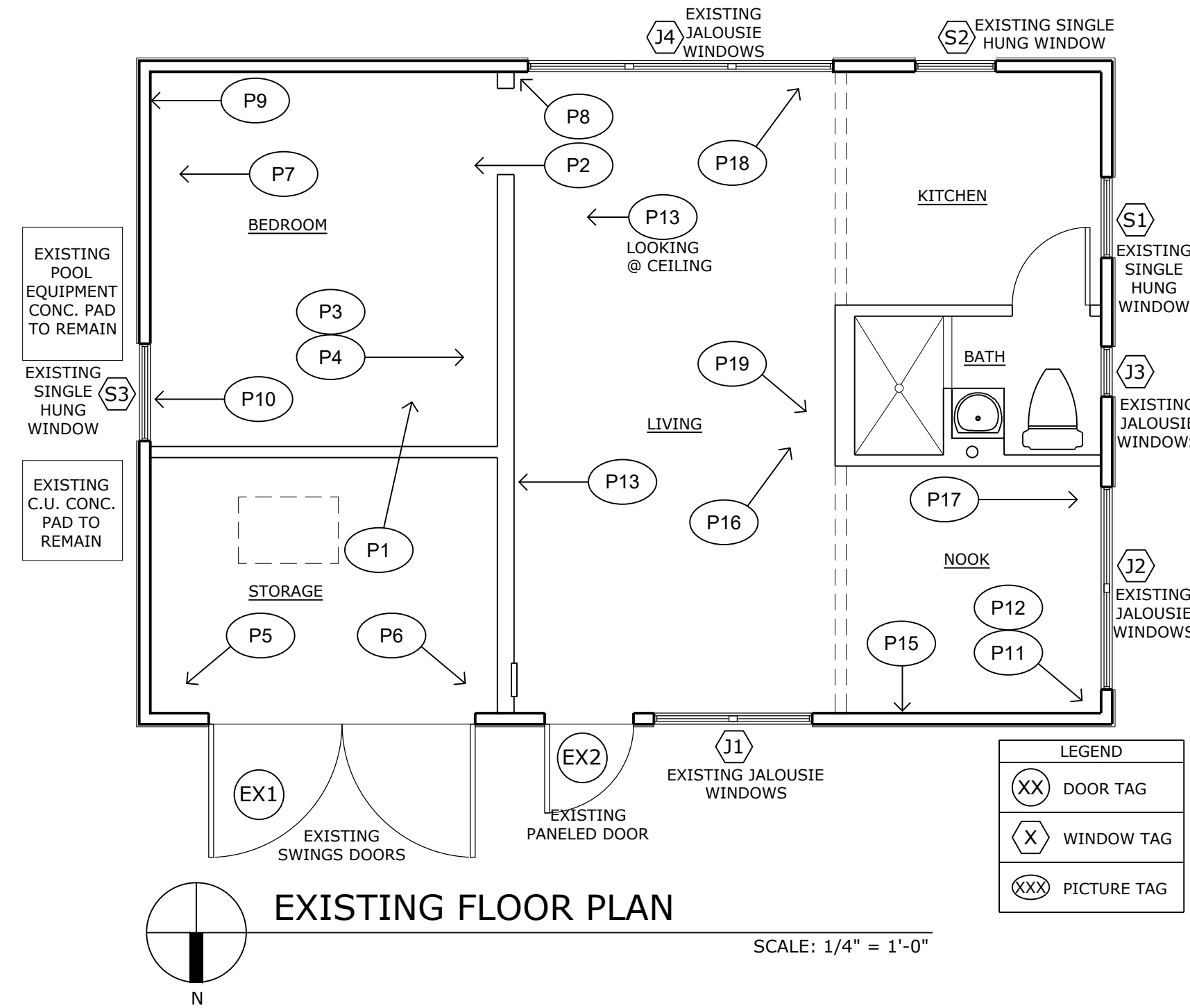


SITE PLAN - EXISTING

SCALE: 3/32" = 1'-0"

GUEST HOUSE
RENOVATION TO
14 GREENBRIAR DR
AKE PARK, FL 33405

CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT ARE TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS INCLUDING BUT NOT LIMITED TO BUILDING HEIGHTS, ROOF SLOPES, ROOM DIMENSIONS ETC. TO CONFIRM ALL EXISTING CONDITIONS BEFORE ORDERING OR FABRICATING ANY MATERIALS. CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.



EXISTING EAST ELEVATION



EXISTING EAST ELEVATION



EXISTING NORTH ELEVATION



EXISTING NORTH ELEVATION



EXISTING WEST ELEVATION



EXISTING WEST ELEVATION



EXISTING SOUTH ELEVATION

GENERAL NOTES. TYP.

AS SHOWN EXTERIOR PICTURES: WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

WINDOWS AND WINDOWS WOOD FRAMING,
WOOD DOOR AND DOORS WOOD FRAMING,
WINDOWS AND DOORS WOOD TRIM, EXTERIOR
WOOD SIDING.

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

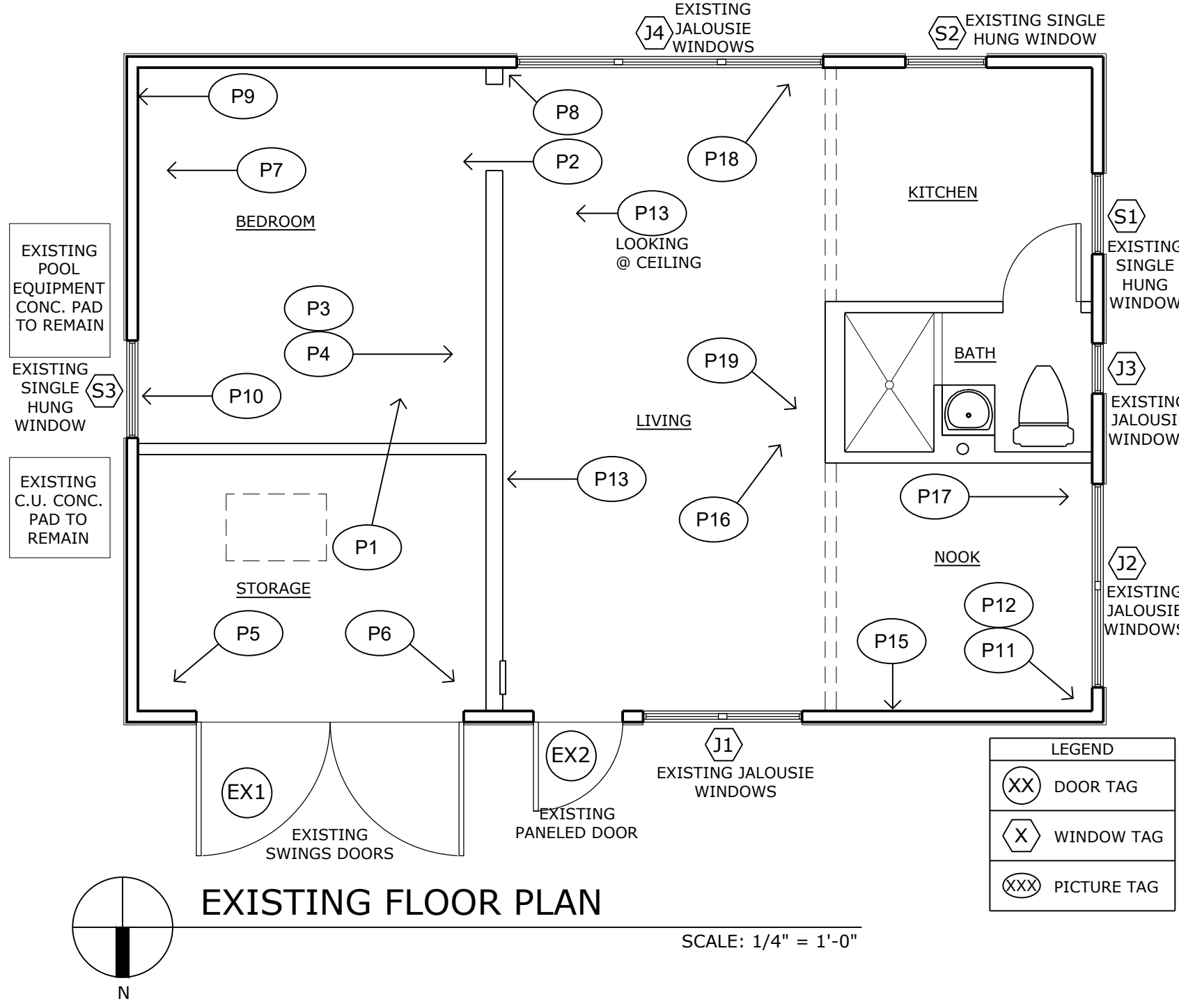
JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

EXISTING
EXTERIOR
PHOTOGRAPHS

SHEET NUMBER

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS - SUPPLEMENTAL DRAWINGS



EXISTING PICTURE P1



EXISTING PICTURE P2



EXISTING PICTURE P3



EXISTING PICTURE P4



EXISTING PICTURE P5



EXISTING PICTURE P6



EXISTING PICTURE P7



EXISTING PICTURE P8



EXISTING PICTURE P9



EXISTING PICTURE P10

GENERAL NOTES. TYP.

AS SHOWN INTERIOR PICTURES: WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

WINDOWS AND WINDOWS WOOD FRAMING, WOOD DOOR AND DOORS WOOD FRAMING, CASING, WOOD STUDS/ WOOD FRAMING, EXTERIOR WOOD SIDING AND SOME ROOF RAFTERS. STRUCTURAL ENGINEER VISITED THE SITE AND RECOMMENDED SHORING THE ROOF STRUCTURE.

CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT ARE TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS INCLUDING BUT NOT LIMITED TO BUILDING HEIGHTS, ROOF SLOPES, ROOM DIMENSIONS ETC. TO CONFIRM ALL EXISTING CONDITIONS BEFORE ORDERING OR FABRICATING ANY MATERIALS. CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.

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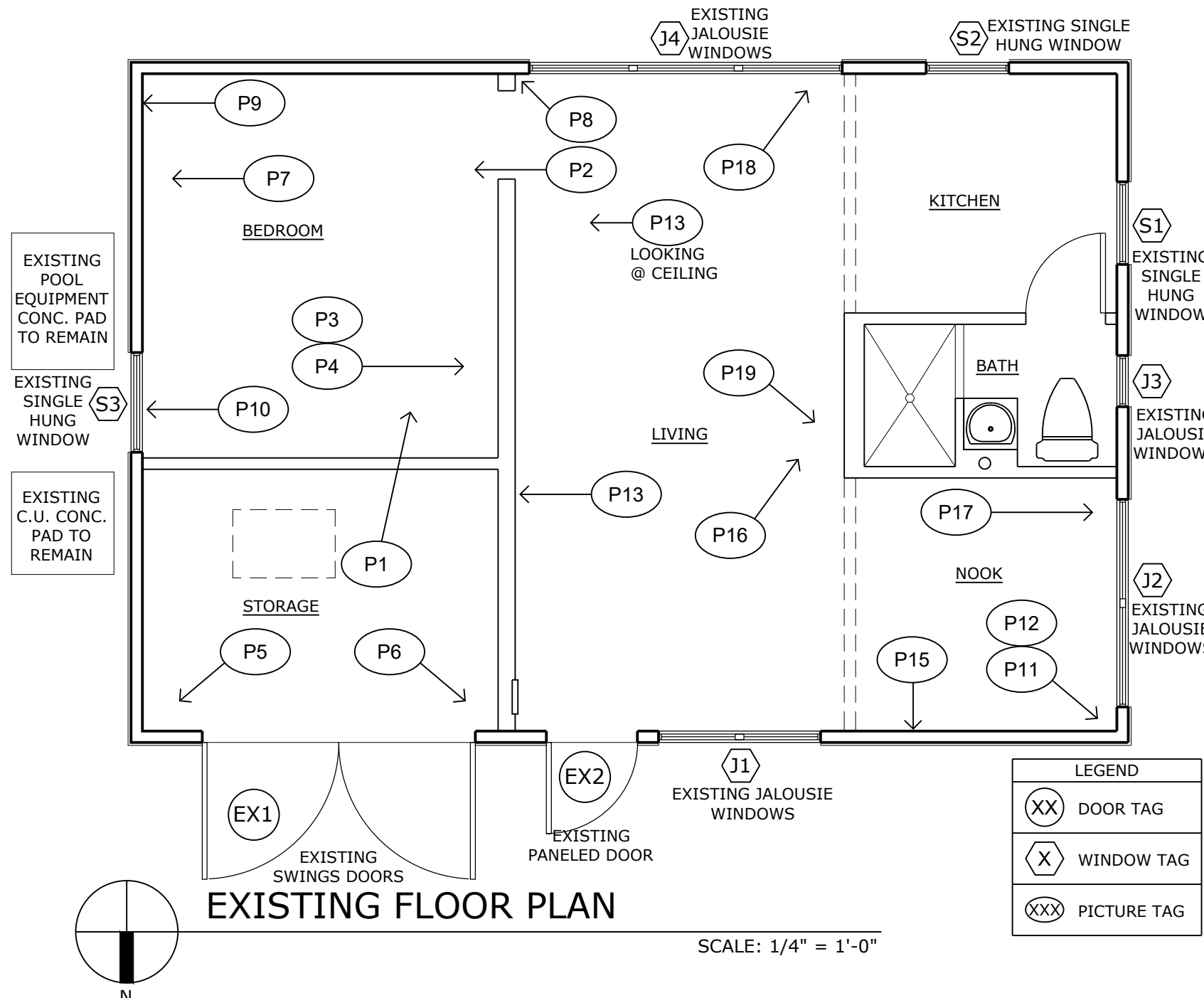
REVISION

JOB NUMBER: 2022-53
DATE: 07-22-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

EXISTING
INTERIOR
PHOTOGRAPHS

SHEET NUMBER



EXISTING PICTURE P11



EXISTING PICTURE P12



EXISTING PICTURE P13



EXISTING PICTURE P14



EXISTING PICTURE P15



EXISTING PICTURE P16



EXISTING PICTURE P17



EXISTING PICTURE P18



EXISTING PICTURE P19

GENERAL NOTES. TYP.

AS SHOWN INTERIOR PICTURES; WOOD ROD AND TERMITE DAMAGED, INCLUDING BUT NOT LIMITED TO:

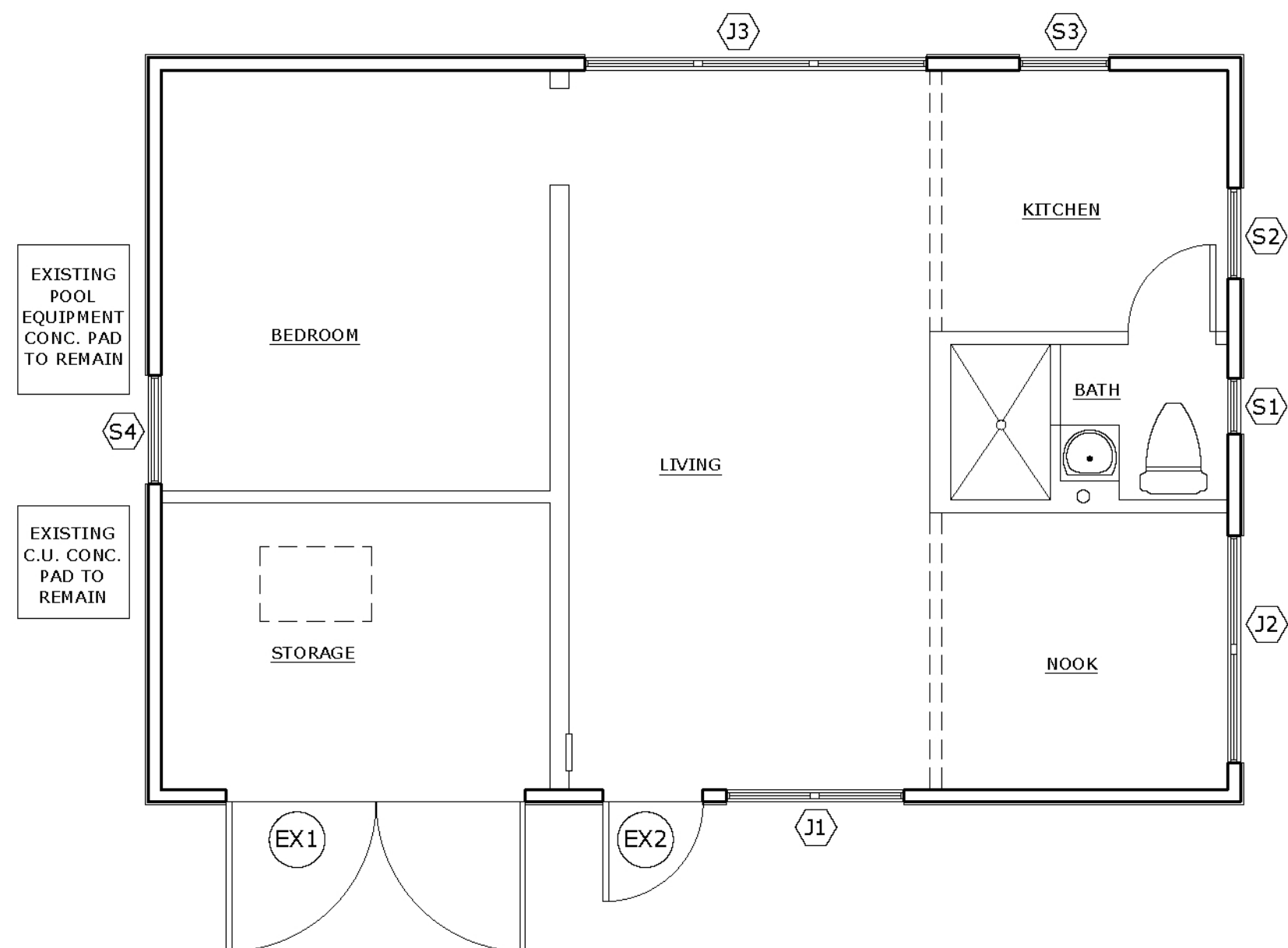
WINDOWS AND WINDOWS WOOD FRAMING, WOOD DOOR AND DOORS WOOD FRAMING, CASING, WOOD STUDS/ WOOD FRAMING, EXTERIOR WOOD SIDING AND SOME ROOF RAFTERS. STRUCTURAL ENGINEER VISITED THE SITE AND RECOMMENDED SHORING THE ROOF STRUCTURE.

CONTRACTOR AND ALL SUBCONTRACTORS PERFORMING ANY WORK ON THIS PROJECT ARE TO VISIT THE SITE AND VERIFY ALL MEASUREMENTS INCLUDING BUT NOT LIMITED TO BUILDING HEIGHTS, ROOF SLOPES, ROOM DIMENSIONS ETC. TO CONFIRM ALL EXISTING CONDITIONS BEFORE ORDERING OR FABRICATING ANY MATERIALS. CONTRACTOR SHALL REPORT ANY INCONSISTENCIES WITH THE CONSTRUCTION DOCUMENTS TO THE ARCHITECT BEFORE CONTINUING WORK.

REV #	DATE	DESCRIPTION
		SEAL

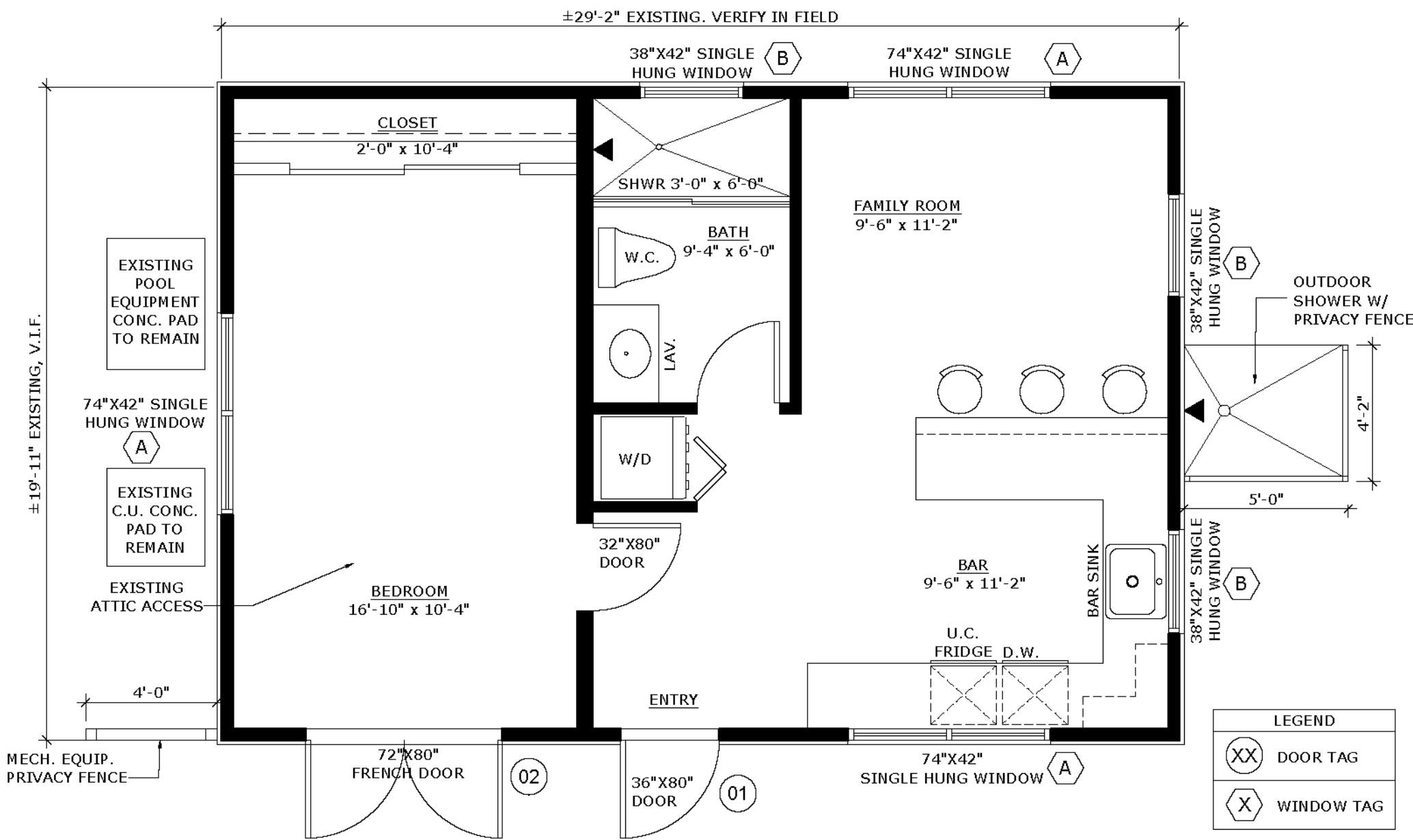
GUEST HOUSE
RENOVATION TO
414 GREENBRIAR DR
LAKE PARK, FL 33405

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EXISTING FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
(XX)	DOOR TAG
(X)	WINDOW TAG



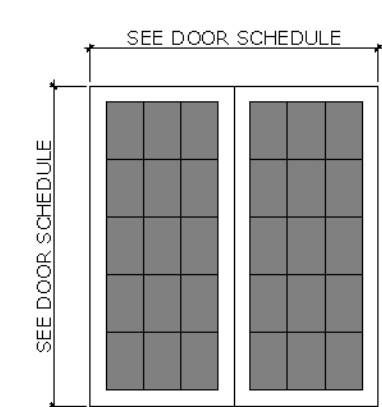
PROPOSED FLOOR PLAN
SCALE: 1/4" = 1'-0"

LEGEND	
(XX)	DOOR TAG
(X)	WINDOW TAG

NEW EXTERIOR WINDOWS & NEW EXTERIOR DOORS SCHEDULE

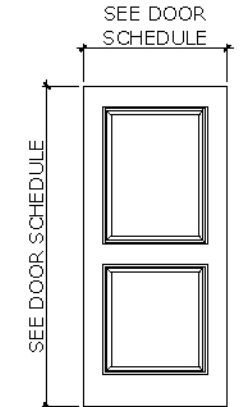
MARK	WINDOW TYPE	OPENING SIZE			FINISH	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	TYPE			
(A)(B)	ALUMINUM SINGLE HUNG	SEE PLAN	SEE PLAN	3	WHITE	PGT	IMPACT RATED SH ALUM. WINDOW W/ IMPACT GLAZING. PGT WINDGUARD SH770A WINDOW . GLASS COLOR GRAY TINT TO MATCH EXISTING MAIN HOUSE. TYP. INSTALL WINDOWS PER PRODUCT APPROVALS & SUBMIT NOAs.
MARK	DOOR TYPE	OPENING SIZE			FINISH	MANUFACTURER	REMARKS
		WIDTH	HEIGHT	TYPE			
(01)	SWING DOOR	3'-0"	6'-8" V.L.F.	2	WHITE	PLASTPRO	NEW SOLID FIBERGLASS DOOR W/ TWO PANELS. PLASTPRO SMOOTH SKIN WITHE FINISH. IMPACT RATED, INSTALL PER PRODUCT APPROVAL & SUBMIT NOAs.
(02)	PAIR - ALUM. FRENCH DOOR	(2) 3'-0"	6'-8" V.L.F.	1	WHITE	PGT	NEW IMPACT RATED FRENCH DOOR W/ IMPACT GLAZING.PGT SENTINEL FD101H. WHITE FINISH. GLASS COLOR GRAY TINT TO MATCH EXISTING MAIN HOUSE. TYP.. INSTALL PER PRODUCT APPROVAL & SUBMIT NOAs.

- NOTES:
1. WINDOW & DOOR SIZES ARE NOMINAL, CONTRACTOR/FABRICATOR SHALL FIELD MEASURE ALL OPENINGS BEFORE FABRICATION.
 2. ALL EXTERIOR WINDOWS AND DOORS ARE IMPACT RATED WINDOWS AND DOORS W/ IMPACT RESISTANT GLAZING. WINDOWS AND DOOR FRAMES TO MATCH EXISTING FINISH AND EXISTING WINDOWS AND DOORS GLAZING TINT.

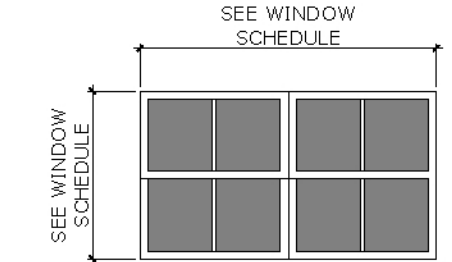


TYPE 1
NEW IMPACT RATED FRENCH DOOR
W/ IMPACT GLAZING.PGT
WINDGUARD FD101H. WHITE
FINISH. GLASS COLOR GRAY TINT
TO MATCH EXISTING MAIN HOUSE.
TYP.

DOOR TYPES
NO SCALE



TYPE 2
NEW 1 1/2" THICK SOLID
FIBERGLASS DOOR W/
TWO PANELS DOOR.
PLASTPRO SMOOTH
SKIN WITHE FINISH



TYPE 3
IMPACT RATED SH ALUM.
WINDOW W/ IMPACT
GLAZING. PGT WINDGUARD
SH770A WINDOW . GLASS
COLOR GRAY TINT TO
MATCH EXISTING MAIN
HOUSE. TYP.

WINDOW TYPE
NO SCALE

(1) 10-11-2022 COA COMMENTS
REV # DATE DESCRIPTION

SEAL

ROGER HANSROTE, ARCHITECT
FLAR # 14300

REVISION

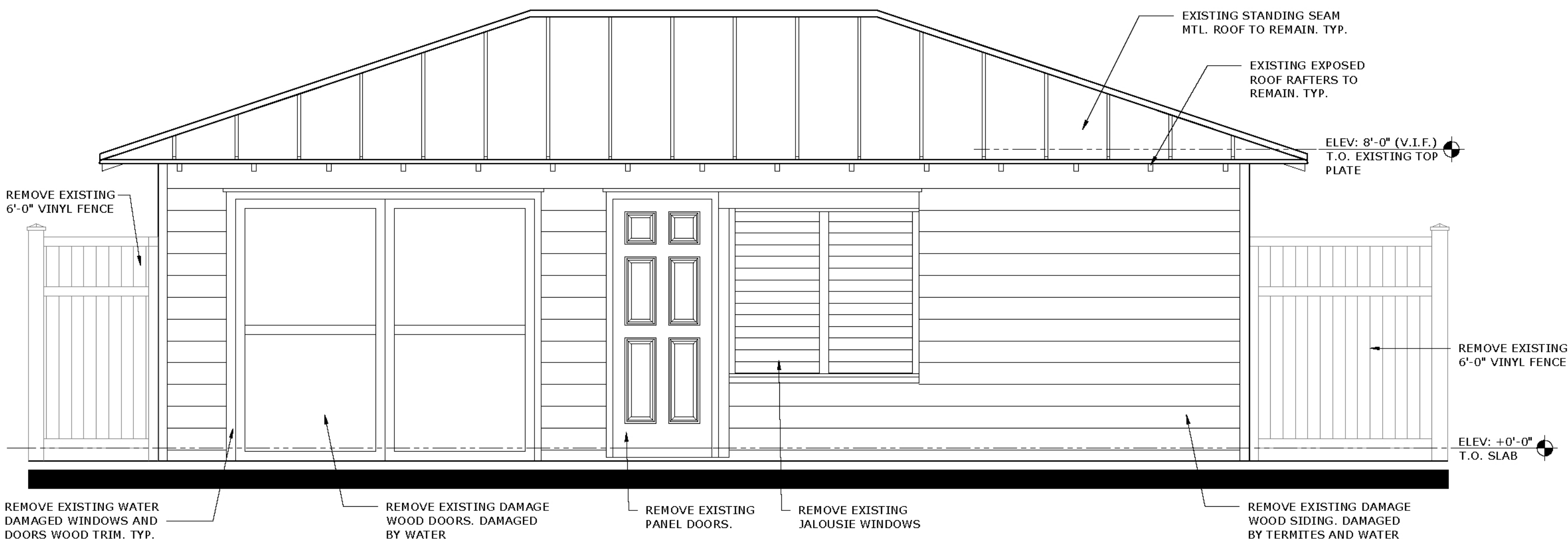
JOB NUMBER: 2022-53
DATE: 11-07-2022
DRAWN BY: AL/MG
APPROVED BY: RH

SHEET TITLE

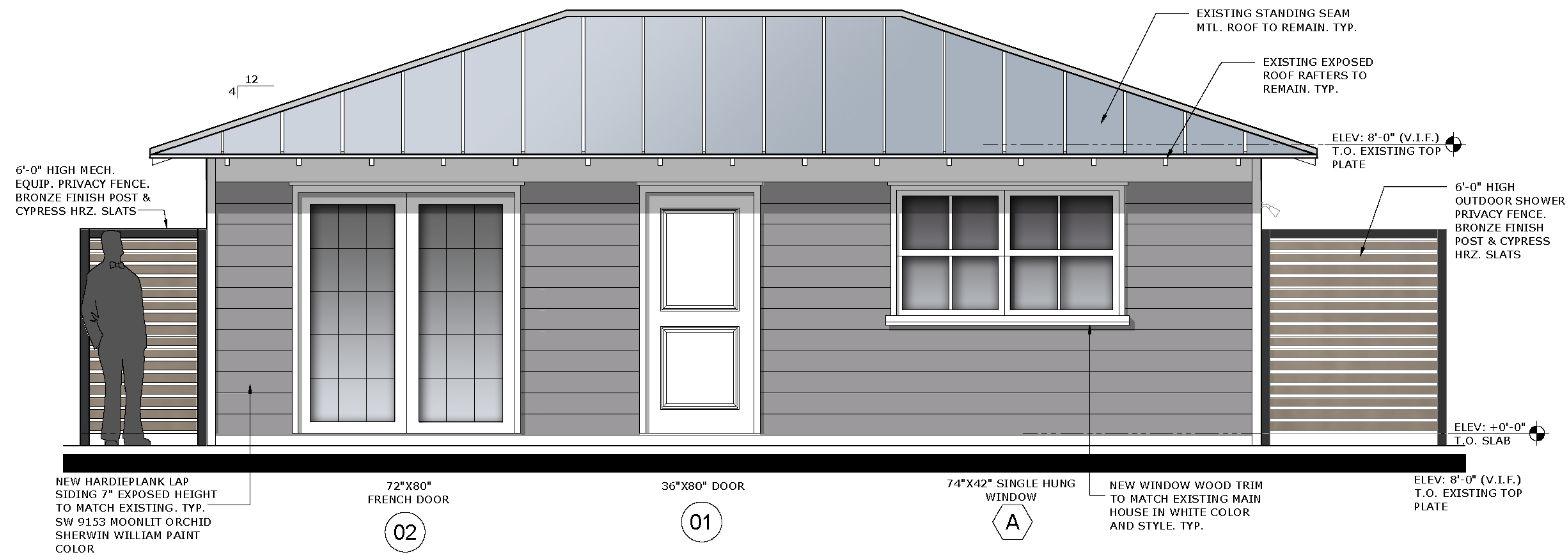
PROPOSED PLAN
& EXTERIOR
ELEVATIONS

SHEET NUMBER

A-2



EXISTING NORTH ELEVATION
SCALE: 3/8" = 1'-0"



PROPOSED NORTH ELEVATION
SCALE: 3/8" = 1'-0"

GUEST HOUSE
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(1) 10-11-2022 COA COMMENTS
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FLAR # 14300

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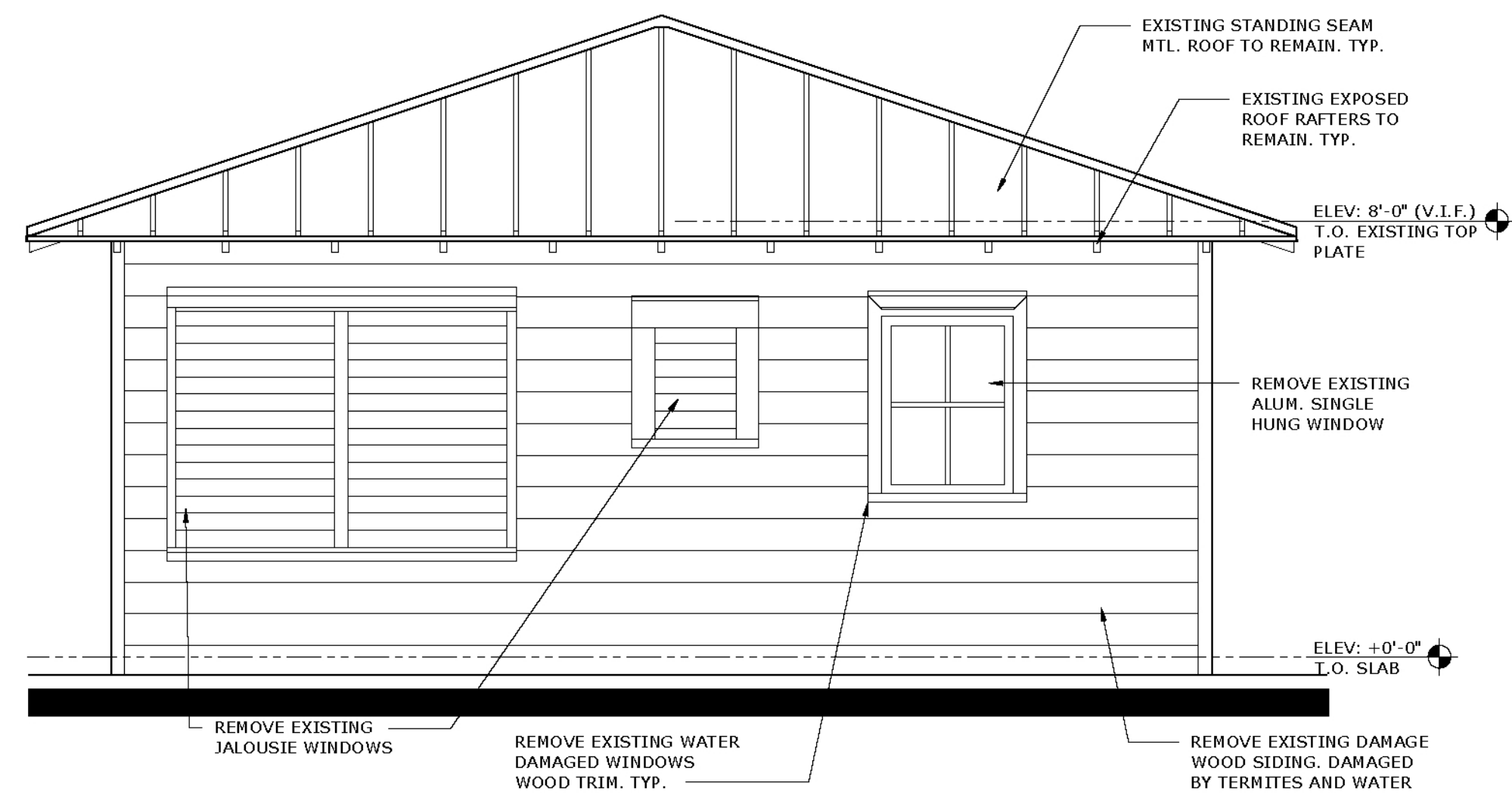
JOB NUMBER: 2022-53
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APPROVED BY: RH

SHEET TITLE

PROPOSED
EXTERIOR
ELEVATIONS

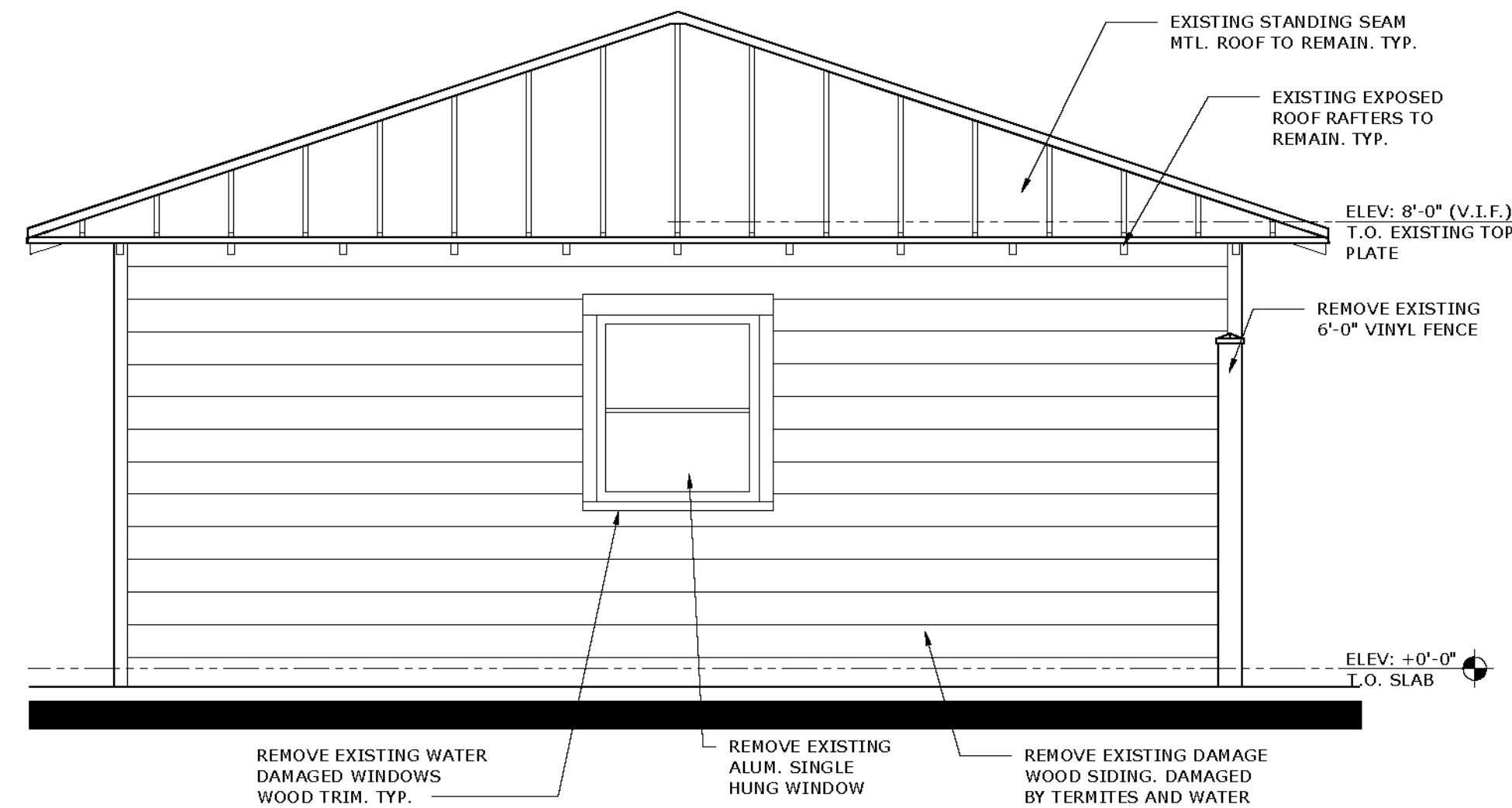
SHEET NUMBER

A-3



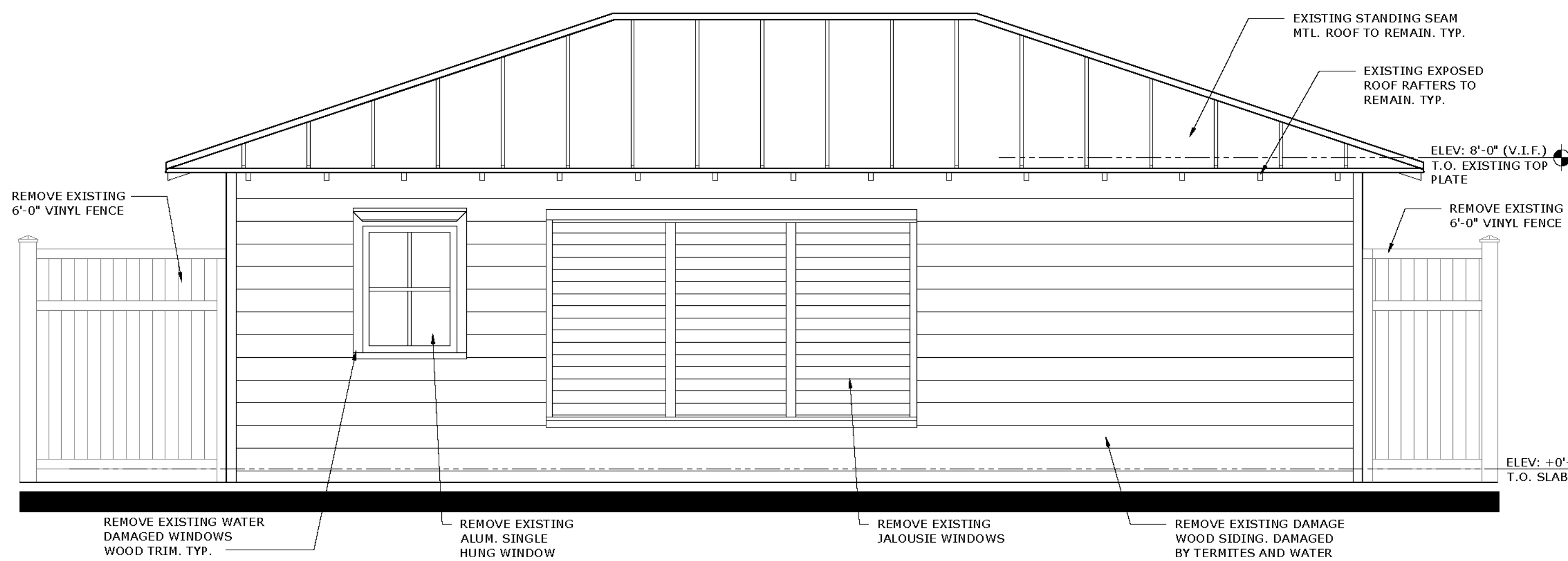
EXISTING WEST ELEVATION

SCALE: 3/8" = 1'-0"



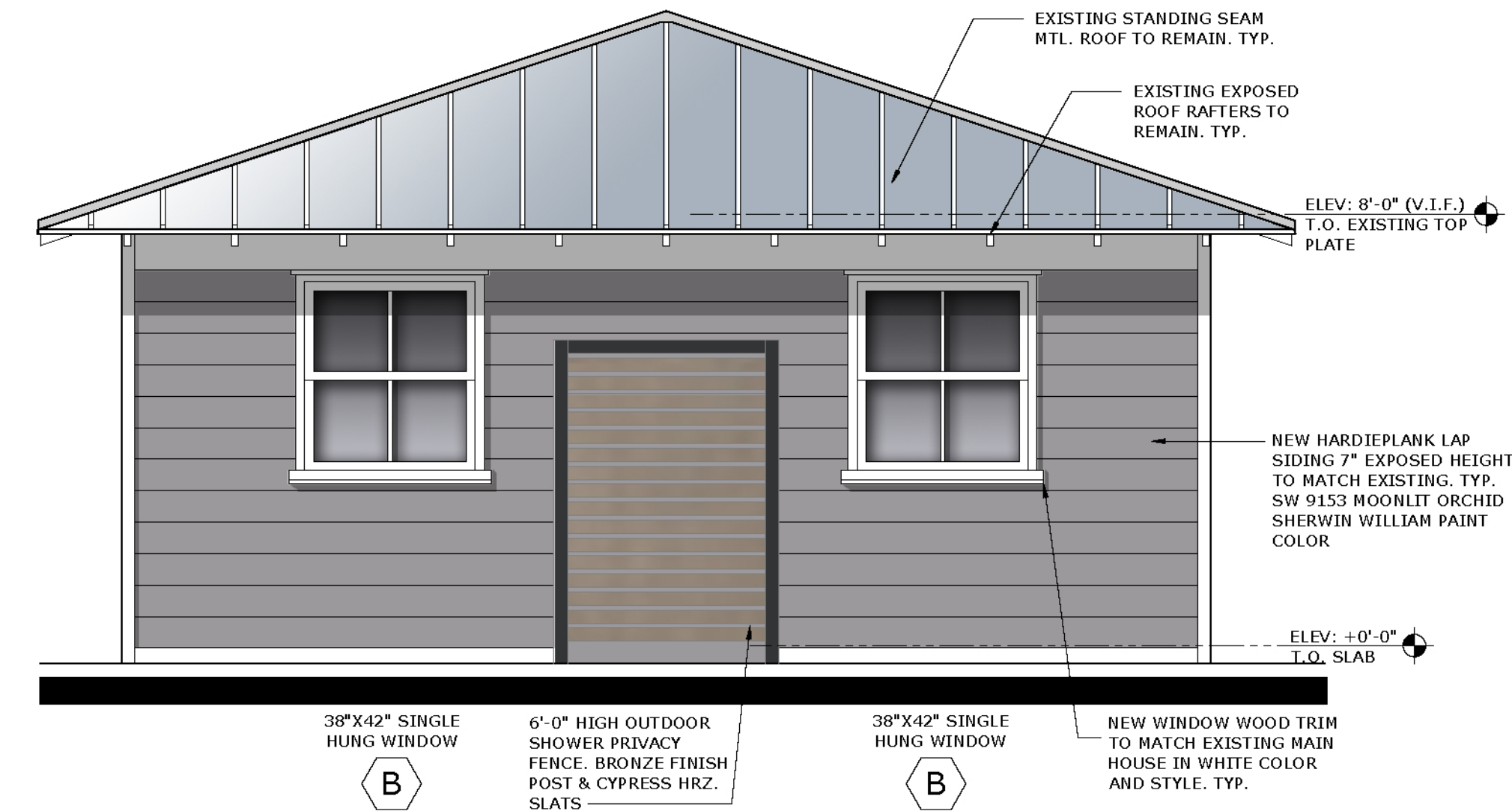
EXISTING EAST ELEVATION

SCALE: 3/8" = 1'-0"



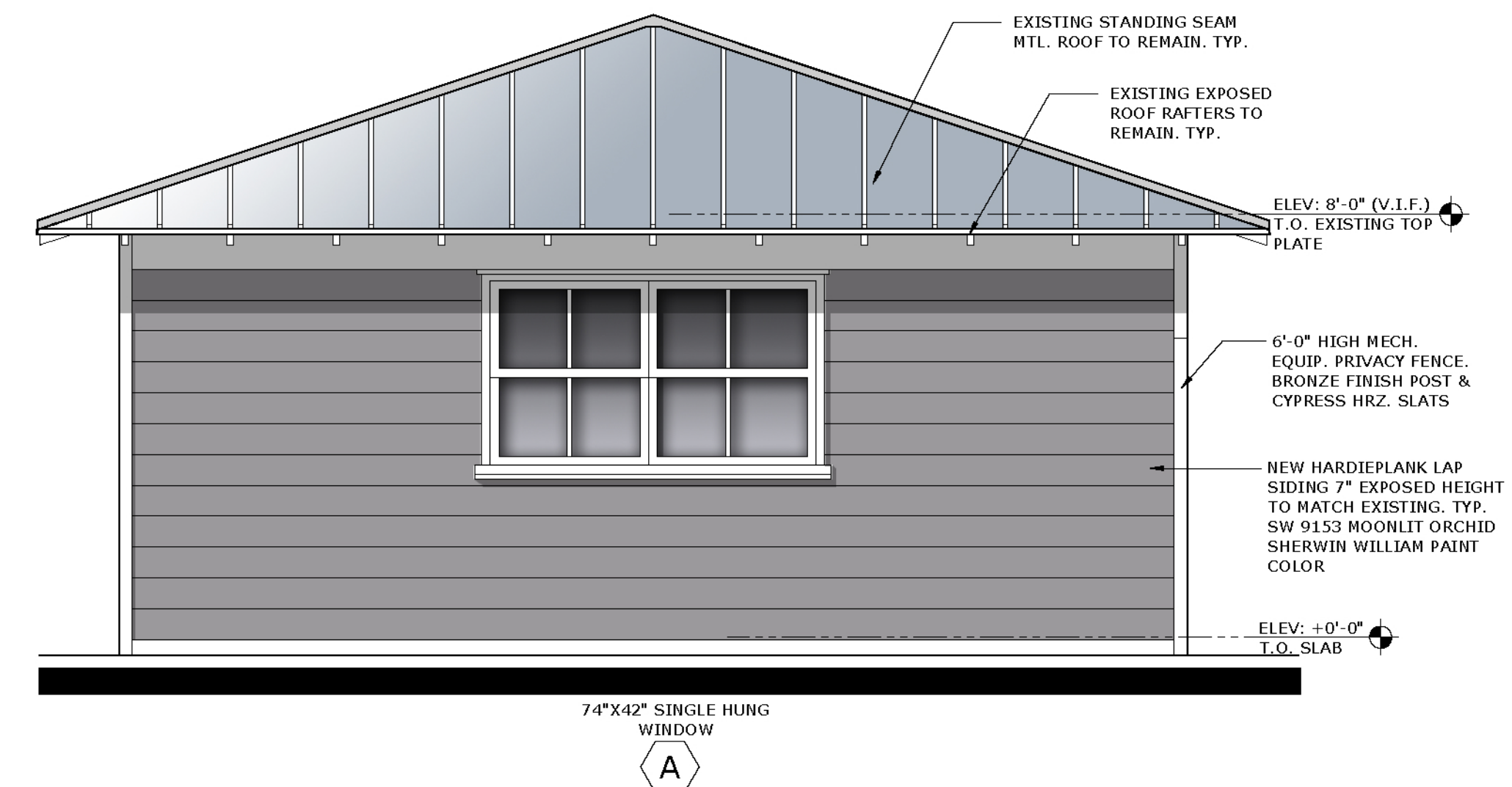
EXISTING SOUTH ELEVATION

SCALE: 3/8" = 1'-0"



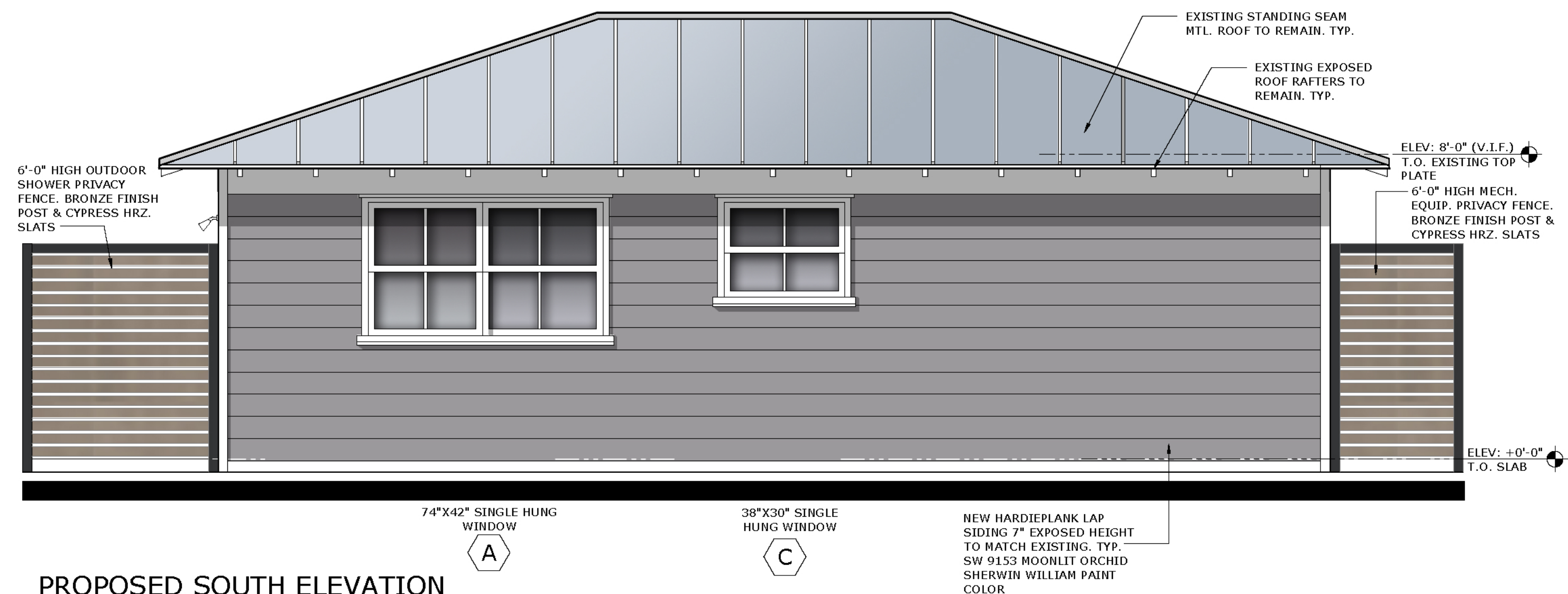
PROPOSED WEST ELEVATION

SCALE: 3/8" = 1'-0"



PROPOSED EAST ELEVATION

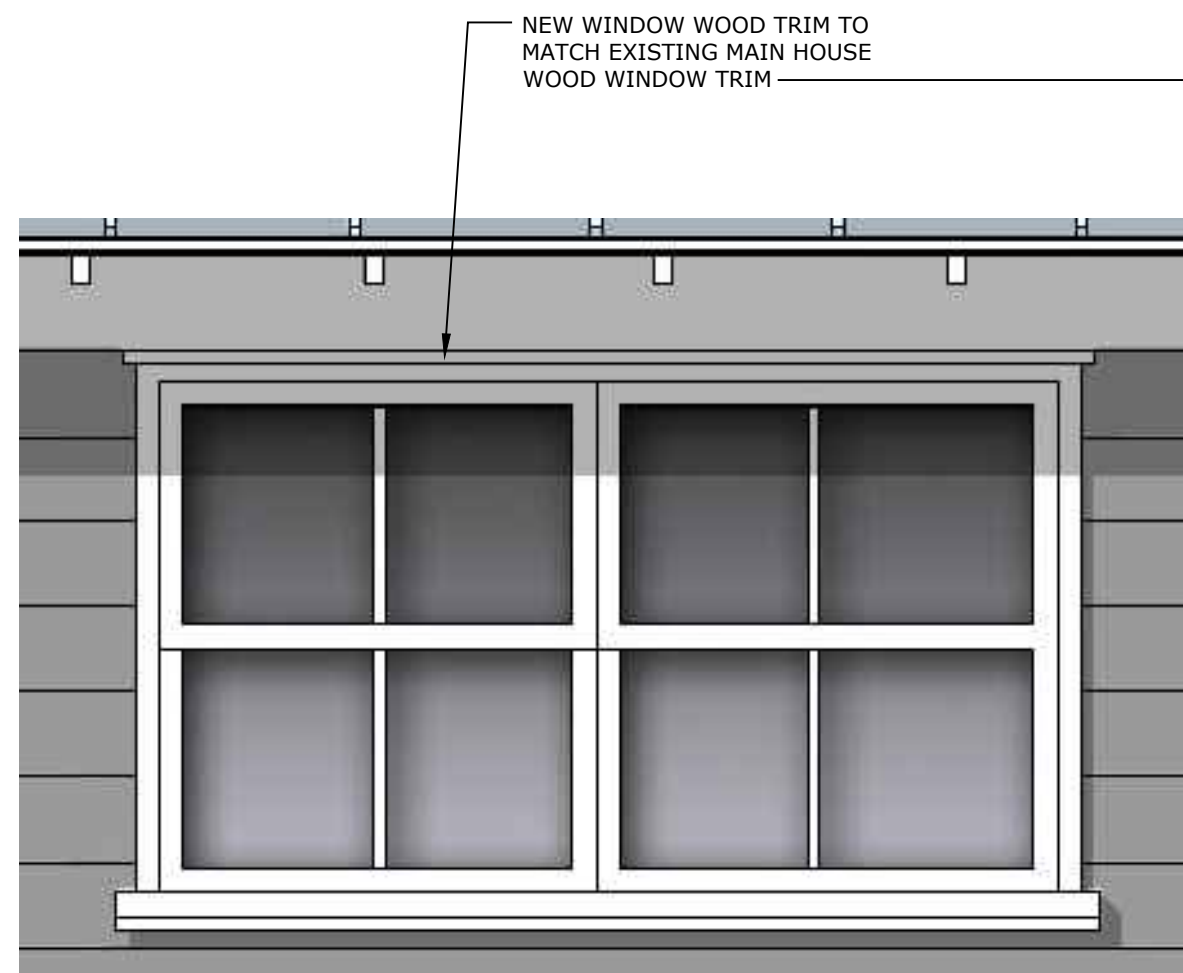
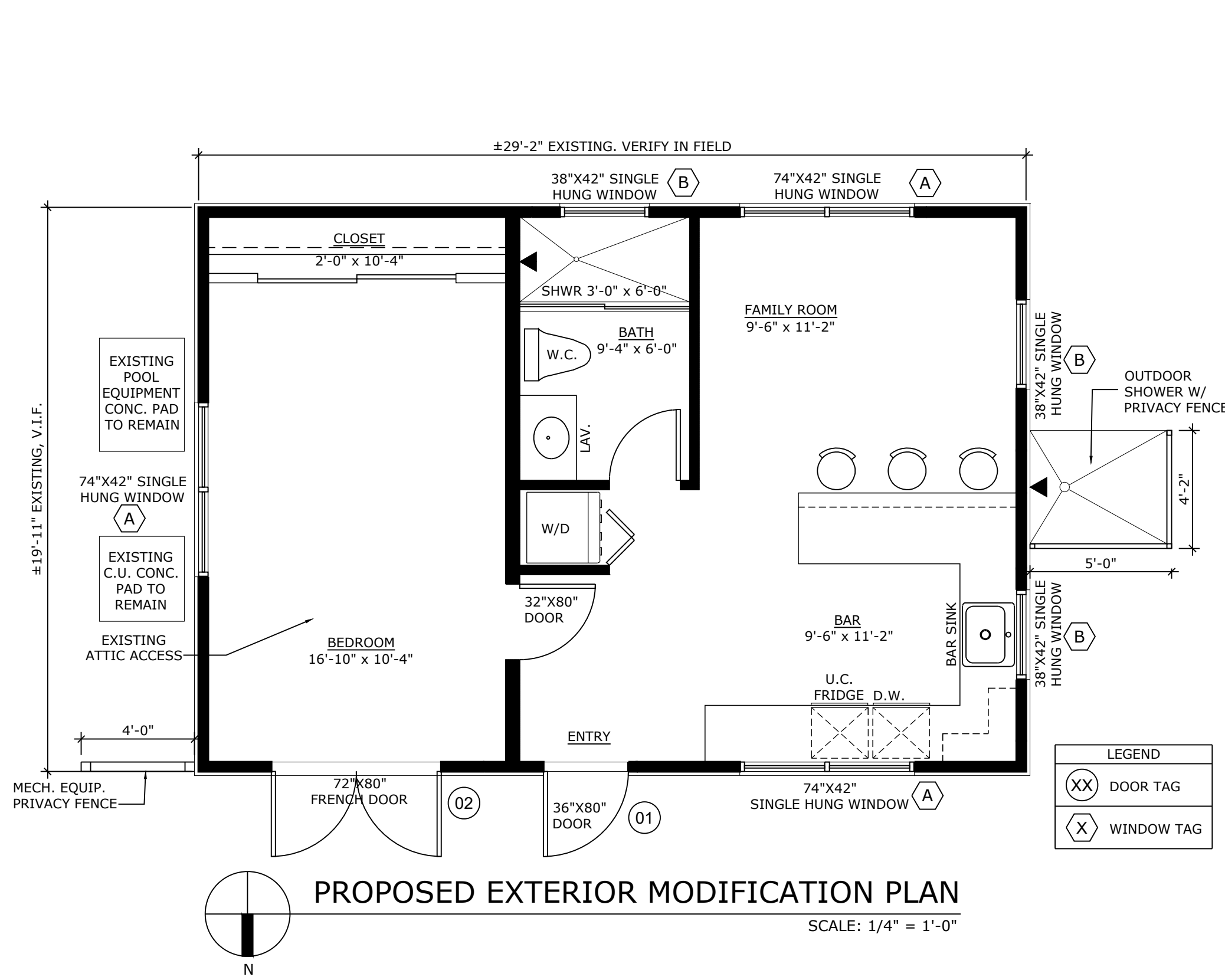
SCALE: 3/8" = 1'-0"



PROPOSED SOUTH ELEVATION

SCALE: 3/8" = 1'-0"

APPLICATION FOR CERTIFICATE OF APPROPRIATENESS - SUPPLEMENTAL DRAWINGS



PROPOSED WINDOW WOOD TRIM

NOTE: ALL NEW WINDOWS AND DOOR TO MATCH EXISTING MAIN HOUSE WINDOW WOOD TRIM.



EXISTING MAIN HOUSE WINDOW WOOD TRIM



PROPOSED EXTERIOR SIDING COLOR - SW9153 MOONLIT ORCHID

GUEST HOUSE RENOVATION TO 414 GREENBRIAR DR LAKE PARK, FL 33405

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PLASTPRO: SMOOTH SKIN SERIES - WHITE FINISH



DR52B

Two Panel Door SOLID FIBERGLASS DOOR

AVAILABLE IN: 2'8" x 6'8" 2'10" x 6'8" 3'0" x 6'8"

This Two Panel Door from the Smooth Series introduces two simple panels with the optional addition of a Half Lite to the minimal, smooth skin.

Revit file



SPECIFICATIONS

WHERE TO BUY

VIEW ON YOUR HOME

01 SEE DOOR SCHEDULE

NOTE: ALUMINUM FRAME AND GRAY TINT GLAZING TO MATCH EXISTING MAIN HOUSE. SEE ELEVATION FOR PROPOSED DIVIDING LIGHTS.

02 SEE DOOR SCHEDULE

Essential French Door

FD101H

Featuring a 2-point locking system for added security and optional matching sidelites (tall, narrow windows on one or both sides of the door) that provide additional natural light, this WinGuard® French impact door (FD101H) is beautifully designed and easy to open. It creates an elegant exit to the outdoors in dining rooms, master bedrooms, and other areas of the home.

Explore the Options

PGT FRENCH DOOR FD101H - ALUMINUM W/ TRIANGULAR RAISED MUNTINGS

PGT WinGuard®

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SHEET TITLE

PROPOSED MATERIALS

SHEET NUMBER



SW 9153
Moonlit Orchid

architectural
consultants
inc.

2475 MERCER AVE.
SUITE 201
West Palm Beach, Florida 33401


Phone 561-655-0674



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Explore the Options

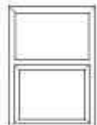
PGT ALUM. WINDOW WINGARD SERIES WITH RAISED
APPLIED TRIANGULAR MUNTINS - WHITE FINISH



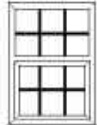
 
SEE
WINDOW
SCHEDULE

PGT
WinGuard®
ALUMINUM

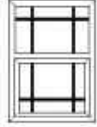
CONFIGURATIONS	+
FRAME COLORS	+
GRID OPTIONS	-



None



Standard



Brittany/Prairie

GLASS TINTS	+
-------------	---

NOTE: ALUMINUM FRAME AND GRAY
TINT GLAZING TO MATCH EXISTING
MAIN HOUSE. SEE ELEVATION FOR
PROPOSED DIVIDING LIGHT
PATTERN.

(1) 10-11-2022 COA COMMENTS

REV #	DATE	DESCRIPTION
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APPLICATION FOR CERTIFICATE OF APPROPRIATENESS - SUPPLEMENTAL DRAWINGS

A-4.1