



Lake Park Town Commission, Florida

Regular Commission Meeting

Commission Chamber, Town Hall, 535 Park Avenue, Lake Park, FL 33403

Wednesday October 22, 2025

Immediately Following the Community Redevelopment Agency Meeting

Roger Michaud

Michael Hensley

John Linden

Michael O'Rourke

Judith Thomas

Richard J. Reade

Thomas J. Baird

Vivian Mendez, MMC

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Mayor

Vice Mayor

Commissioner

Commissioner

Commissioner

Town Manager

Town Attorney

Town Clerk

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Town Commission, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contract the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CIVILITY AND DECORUM

The Town of Lake Park is committed to civility and decorum to be applied and observed by its elected officials, advisory board members, employees and members of the public who attend Town meetings. The following rules are hereby established to govern the decorum to be observed by all persons attending public meetings of the Commission and its advisory boards:

- Those persons addressing the Commission or its advisory boards who wish to speak shall first be recognized by the presiding officer. No person shall interrupt a speaker once the speaker has been recognized by the presiding officer. Those persons addressing the Commission or its advisory boards shall be respectful and shall obey all directions from the presiding officer.
- Public comment shall be addressed to the Commission or its advisory board and not to the audience or to any individual member on the dais.
- Displays of disorderly conduct or personal derogatory or slanderous attacks of anyone in the assembly is discouraged. Any individual who does so may be removed from the meeting.
- Unauthorized remarks from the audience, stomping of feet, clapping, whistles, yells or any other type of demonstrations are discouraged.
- A member of the public who engages in debate with an individual member of the Commission or an advisory board is discouraged. Those individuals who do so may be removed from the meeting.
- All cell phones and/or other electronic devices shall be turned off or silenced prior to the start of the public meeting. An individual who fails to do so may be removed from the meeting.

CALL TO ORDER/ROLL CALL

PLEDGE OF ALLEGIANCE

APPROVAL OF AGENDA:

SPECIAL PRESENTATION/REPORT:

- [1.](#) Proclamation – National Vote Early Day – October 28, 2025
- [2.](#) Proclamation – National Friends of Libraries Week – October 19th – 25th, 2025
- [3.](#) Discussion - Educational Advisory Committee - Town of Lake Park Library
- [4.](#) Presentation - Marina P3 Project Quarterly Update - Forest Development

PUBLIC COMMENT:

This time is provided for addressing items that do not appear on the Agenda. Please complete a comment card and provide it to the Town Clerk so speakers may be announced. Please remember comments are limited to a TOTAL of three minutes.

CONSENT AGENDA:

All matters listed under this item are considered routine and action will be taken by one motion. There will be no separate discussion of these items unless a Commissioner or person so requests, in which event the item will be removed from the general order of business and considered in its normal sequence on the agenda. Any person wishing to speak on an agenda item is asked to complete a public comment card located on either side of the Chambers and given to the Town Clerk. Cards must be submitted before the item is discussed.

- [5.](#) Resolution 83-10-25 Evaluation Committee Ranking & Authorization to Negotiate – RFQ #121-2025 – Professional Architectural Design and Consulting Services - Kelsey Park Splash Pad
- [6.](#) Resolution 84-10-25 Interlocal Agreement - Collection of Transportation Capacity Impact Fees - Palm Beach County (Six Months)
- [7.](#) Minutes - Special Called Commission Meeting - October 8, 2025

PUBLIC HEARING(S) - ORDINANCE ON FIRST READING: NONE

PUBLIC HEARING(S) - ORDINANCE ON SECOND READING: NONE

NEW BUSINESS:

- [8.](#) Resolution 85-10-25 - Proposed Northlake Promenade Outparcel Site Plan

TOWN ATTORNEY, TOWN MANAGER, COMMISSIONER COMMENTS:

REQUEST FOR FUTURE AGENDA ITEMS:

ADJOURNMENT:

FUTURE MEETING DATE: Next Scheduled Regular Commission Meeting will be held on November 5, 2025.



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025
Originating Department: Library
Agenda Title: Proclamation – National Vote Early Day – October 28, 2025

Approved by Town Manager: _____ **Date:** _____

Cost of Item: \$0.00 **Funding Source:** _____
Account Number: _____ **Finance Signature:** _____

Advertised:
Date: _____ **Newspaper:** _____

Attachments: Proclamation

Please initial one:
JKC Yes, I have notified everyone.
 _____ Not applicable in this case

Summary Explanation/Background:

During the September 17, 2025, Regular Commission Meeting, the Town Commission approved consideration of a Proclamation declaring October 28, 2025 as National Vote Early Day.

National Vote Early Day was established in 2020 to serve as a reminder to voters of the importance and convenience of early voting options.

A representative from the Office of the Superintendent of Elections is expected to be in attendance and will accept the Proclamation during the Commission meeting.

Recommendation:

I move to approve the Proclamation declaring October 28, 2025 as National Vote Early Day in the Town of Lake Park.

**PROCLAMATION DECLARING OCTOBER 28, 2025, AS
NATIONAL VOTE EARLY DAY**

Whereas National Vote Early Day, established in 2020, serves as a reminder to voters of the importance and convenience of early voting options; and

Whereas early voting offers Palm Beach County residents the opportunity to cast their ballots ahead of Election Day, providing greater flexibility and reducing potential barriers to voting; and

Whereas in the 2024 general election, over 8.1 million Floridians cast their ballots early, accounting for more than 50% of the total votes cast in the state; and

Whereas Palm Beach County offers multiple early voting locations and extended hours to accommodate the diverse schedules of its residents; and

Whereas early voting has been shown to increase voter participation, particularly among communities that may face challenges voting on a single day; and

Whereas by participating in early voting, residents can help alleviate congestion at polling places on Election Day, ensuring a smoother voting experience for all;

NOW, THEREFORE, be it resolved that I, Roger Michaud, Mayor of the Town of Lake Park, Florida, do hereby proclaim October 28, 2025, as:

National Vote Early Day

and encourage all eligible voters in Palm Beach County to take advantage of early voting opportunities to make their voices heard in the upcoming election.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the official seal of the Town of Lake Park, Florida, to be affixed this ____ day of October, 2025.

BY:

Mayor Roger Michaud

ATTEST:

Vivian Mendez, Town Clerk



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025
Originating Department: Library
Agenda Title: Proclamation – National Friends of Libraries Week – October 19th – 25th, 2025

Approved by Town Manager: _____ **Date:** _____

Cost of Item: \$0.00 **Funding Source:** _____
Account Number: _____ **Finance Signature:** _____

Advertised: _____
Date: _____ **Newspaper:** _____

Attachments: Proclamation

Please initial one:
JKC Yes, I have notified everyone.
 _____ Not applicable in this case

Summary Explanation/Background:

During the September 17, 2025, Regular Commission Meeting, the Town Commission approved consideration of a Proclamation declaring October 19th – 25th, 2025 as National Friends of Libraries Week.

National Friends of Libraries Week was created in 2006 to recognize and celebrate the invaluable contributions of Friends groups across the nation.

The Friends of the Lake Park Public Library serve the Town of Lake Park as volunteers in providing various library programs and raising funds (i.e., Summer Reading Programs, annual Read for the Record, improving the appearance of the library, etc.).

A representative from the Friends of the Lake Park Public Library is expected to be in attendance and will accept the Proclamation during the Commission meeting.

Recommendation:

I move to approve the Proclamation declaring October 19th – 25th, 2025 as National Friends of Libraries Week in the Town of Lake Park.

**PROCLAMATION DECLARING OCTOBER 19 – OCTOBER 25, 2025, AS
NATIONAL FRIENDS OF LIBRARIES WEEK**

Whereas the American Library Association’s division, United for Libraries, created National Friends of Libraries Week in 2006 to recognize and celebrate the invaluable contributions of Friends groups across the nation; and

Whereas since its founding, National Friends of Libraries Week has encouraged communities to honor the volunteers who advocate for libraries, raise funds to enhance programming, sponsor cultural events, and promote greater community engagement; and

Whereas libraries are vital community institutions that provide free access to information, lifelong learning, and cultural enrichment for people of all ages and backgrounds; and

Whereas the Friends of the Library are dedicated volunteers who generously contribute their time, talent, and resources to support and strengthen library services; and

Whereas the Friends of the Lake Park Public Library, founded in 1986, have for played a vital role in enhancing library services for our community; and

Whereas the Friends have supported the library through providing funds to paint the Teen and Children’s Rooms, sponsored Summer Reading Programs and the annual Read for the Record, supplied refreshments for art exhibit receptions, and volunteered at countless programs; and

Whereas National Friends of Libraries Week offers an opportunity to recognize and celebrate the countless contributions of these devoted individuals who work tirelessly to enrich our community;

NOW, THEREFORE, be it resolved that I, Roger Michaud, Mayor of the Town of Lake Park, Florida, do hereby proclaim October 19 – October 25, 2025, as:

National Friends of Libraries Week

and proudly honor the Friends of the Lake Park Public Library for their steadfast commitment to supporting, strengthening, and advancing the mission of our library for the benefit of all.

IN WITNESS WHEREOF, I have hereunto set my hand and caused the official seal of the Town of Lake Park, Florida, to be affixed this ____ day of October, 2025.

BY:

Mayor Roger Michaud

ATTEST:

Vivian Mendez, Town Clerk



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025

Originating Department: Library

Agenda Title: Discussion - Educational Advisory Committee - Town of Lake Park Library

Approved by Town Manager: _____ **Date:** _____

Cost of Item: \$0.00 **Funding Source:** _____

Account Number: _____ **Finance Signature:** _____

Advertised:

Date: _____ **Newspaper:** _____

Attachments: Ordinance 9-2001

Email from Commissioner Judith Thomas

Email from Town Attorney

Please initial one:

_____ Yes, I have notified everyone.

JKC Not applicable in this case

Summary Explanation/Background:

The Library is requesting the Town Commission to consider, discuss and provide input/direction on proceeding with the creation of an Educational Advisory Committee, as requested by Commissioner Judith Thomas during the July 2, 2025 Regular Commission Meeting.

Recently, the Town Clerk provided the Town Commission with information that the Town had previously established an Education Committee (Resolution 3-1993), which was later renamed as the Educational Advisory Board in 2001 (Ordinance 9-2001).

The purpose of this committee would be to partner with the local schools attended by students in our community, to assist with foundational skills (e.g., reading, writing, math, field trips, etc.).

Recommendation:

The Town Commission consider, discuss and provide input/direction on proceeding with an Educational Advisory Board within the Town's Library.

ORDINANCE 9, 2001

AN ORDINANCE OF THE TOWN OF LAKE PARK, FLORIDA, CREATING CHAPTER 2, (ADMINISTRATION), ARTICLE IV, "BOARDS AND COMMITTEES", DIVISION 2, SECTION 2-63 TO 2- 66, RENAMING THE DIVISION "EDUCATION ADVISORY BOARD", PROVIDING FOR THE CREATION BY ORDINANCE OF A BOARD WHICH WAS CREATED BY RESOLUTION 3, 1993; PROVIDING FOR THE PURPOSE, DUTIES, AND RESPONSIBILITIES OF THE BOARD; PROVIDING FOR QUALIFICATIONS FOR MEMBERSHIP ON THE BOARD; PROVIDING FOR TERMS OF BOARD MEMBERS; PROVIDING FOR COMPLIANCE WITH SECTION 2-56 AND 2-57 OF THE LAKE PARK CODE OF ORDINANCES; PROVIDING FOR ELECTION OF BOARD OFFICERS, QUORUM AND COMPLIANCE WITH FLORIDA'S "SUNSHINE LAW"; PROVIDING A SAVINGS CLAUSE; PROVIDING FOR THE REPEAL OF ORDINANCES IN CONFLICT; PROVIDING FOR CODIFICATION; PROVIDING AN EFFECTIVE DATE.

WHEREAS, in 1993, the Town of Lake Park adopted Resolution 3, 1993, creating an "Education Committee"; and

WHEREAS, that committee was formed primarily to assist the town in fulfilling its obligations and commitments to the school board as defined in an interlocal agreement dated December 18, 1991, which was passed for the purposes of maintaining racial balance with the primary and secondary school age population of the Town; and

WHEREAS, that committee has served the Town since 1993 in various capacities; and

WHEREAS, the commission now desires to have that committee codified as the "Education Advisory Board"; and

WHEREAS, the education of the children of Lake Park is an issue of great importance to the future of our community:

NOW, THEREFORE, BE IT ORDAINED BY THE COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA, AS FOLLOWS:

SECTION I

CHAPTER 2, ARTICLE IV, DIVISION 2, IS HEREBY AMENDED, AND SHALL READ AS FOLLOWS:

DIVISION 2. BEAUTIFICATION COMMITTEE EDUCATION ADVISORY BOARD.

Sec. 2-63. Declaration of Legislative Intent. Purpose

It is the intent of this division to promote the awareness and participation of the citizens of Lake Park with the education of the children of Lake Park. Further, it is the intent of the commission to encourage the cooperation of the citizens of Lake Park through their volunteer efforts within the school and the community. with the Palm Beach County School Board and the private schools in Lake Park to enhance the efforts of the schools in educating our children

Sec 2-64. Duties and Responsibilities

The duties and responsibilities of the Education Advisory Board shall be as follows:

- (1)To solicit input from parents, students and the community to clearly understand their educational expectations and concerns so that the board may actively address these issues.
- (2)To improve the individual schools through active participation in each school's School Advisory Council (SAC)
- (3)To periodically meet with area superintendents, area school board members and the school superintendent to express the wants and needs expressed by the town commission and to receive feedback from the school system regarding same.
- (4)To address the school board on specific issues when requested to do so by the town commission
- (5)To provide the town commission with a yearly "State of the Schools" report.
- (6)To monitor school board activities and report to the town commission any items of interest or concern.
- (7)To serve as a liaison between the county school board and the town commission.
- (8)To participate in an information exchange via school newsletters and principal's office with the administration of each town school as well as with schools outside of the township that serve Lake Park students.
- (9)To contact local businesses within the township for professional skills, materials, financial or educational support for schools. Any such solicitation shall first be approved by the town commission.
- (10)To coordinate the activities of the town with those activities of the schools, colleges and universities in order to enhance educational opportunities for residents

of the town.

111) To coordinate with the towns' Recreation/Community Affairs Department for pre-and post-school activities.

(12) Such other duties as may be assigned by the town commission.

Sec. 2- 65 Qualification and terms of office of the Board.

(A) The town commission shall appoint an uneven number, but no more than eleven 111) members. and up to four (4), but not less than two 12) alternate members to the Education Advisory Board. The members shall meet at least one of the following criteria by being either:

(1)) An administrator, teacher, or staff member of one of the schools (pre-school, elementary, secondary or post-secondary) serving the citizens of Lake Park.

(2)A person who is a registered Lake Park voter.

(3) A business owner in a Lake Park business. or

(4)A member of the Lake Park Library staff.

(5) The town commission may appoint up to three (3) students of indefinite terms as "student members" of the board. Students appointed pursuant to this section shall not be counted as board members for the purpose of meeting quorum requirements and shall not be entitled to make motions or cast votes; however, appointed students may participate in the discussion of matters being considered by the board and may bring suggestions for action to the board. When an appointee ceases to be a student, his or her membership on the board shall terminate automatically.

[f] In order that the terms of office of all members will not expire at the same time, the initial appointments to the Education Advisory Board shall be as follows:

(1)Six (6) members shall be appointed for a term of one year.

(2)Five (5) members shall be appointed for a term of two (2) years.

(C) Thereafter, all appointments shall be made for a term of two 12) years. No member may serve more than three (3) consecutive two year terms. Any member may be reappointed upon approval of the commission. An appointment to fill any vacancy on the Education Advisory Board shall be for the remainder of the unexpired term of office.

(1) Except as provided herein, members shall serve in accordance with the Lake Park Code. Section 2-56 and 2-57.

Section 2-66. Election of board officers, Quorum, Compliance with "Sunshine Law"

(A) The board shall elect, at a regular meeting to be conducted in January of every year, from its membership, a chairperson and a vice-chairperson. The chairperson and the vice-chairperson shall serve as a regular member of a School Advisory Council (SAC) at one of the schools serving Lake Park students. This includes but is not limited to Lake Park Elementary, H.L. Watkins Middle School, Suncoast High School and Palm Beach Gardens High School. Further, the board shall elect from its membership a secretary who shall record the proceedings of each meeting.

(B) A quorum of the board shall be deemed present if a majority of the membership of the board is present. The affirmative vote of a majority of members present at a meeting at which a quorum is present is required for the board to take formal action. If a quorum is not present within 15 minutes after the designated start time of the meeting the meeting will be rescheduled.

(C) Members of the Education Advisory Board shall comply with the provisions of chapters 286 and 119, Florida Statutes.

SECTION 2

That should any section or provision of this Ordinance or any portion thereof, any sentence, paragraph, or word be declared by a court of competent jurisdiction to be invalid, such decision shall not affect the validity of the remainder hereof as a whole or part thereof other than the part to be declared invalid. _____

SECTION 3

The provisions of this Ordinance shall become and be made a part of the Code of Ordinances of the Town of Lake Park, Florida. The Sections of this Ordinance may be renumbered or relettered to accomplish such, and the word "Ordinance" may be changed to "Section", "Article", or other appropriate word.

SECTION 4

All ordinances of the Town of Lake Park, Florida in conflict with any provisions of this Ordinance are hereby repealed to the extent of such conflict.

SECTION 5

This Ordinance shall take effect immediately upon passage.

Upon First Reading this 25th day of July, 2001, the foregoing

ORDINANCE was offered by Commissioner Balius who moved its adoption. The motion was seconded by Commissioner otterson, and upon being put to a vote, the result was as follows:

	AYE	NAY
MAYOR PAUL CASTRO	X	_____
VICE MAYOR G. CHUCK BALIUS	X	_____
COMMISSIONER PAUL GARRETSON	X	_____
COMMISSIONER JEANINE LONGTIN	X	_____
COMMISSIONER BILL OTTERSON	<u>X</u>	_____

PUBLISHED IN THE PALM BEACH POST THIS 5th DAY OF August ' 2001

Upon Second Reading, this 15th day of August, 2001, the foregoing ORDINANCE was offered by Commissioner Garretson, who moved its adoption. The motion was seconded by Commissioner Bal us, and upon being put to a vote, the result was as follows:

	AYE	NAY
MAYOR PAUL CASTRO	X	_____
VICE MAYOR G. CHUCK BALIUS	X	_____
COMMISSIONER PAUL GARRETSON		_____
COMMISSIONER JEANINE LONGTIN	X	_____
COMMISSIONER BILL OTTERSON	<u>X</u>	_____

The Mayor thereupon declared Ordinance 9, 2001 duly passed and adopted this 15th day of August, 2001.

W N O " Z 9 D A

Paul Castro, Mayor

ATTEST




Bonnie L. Goralski, Town Clerk

(Town Seal)

L

BETTY RESCH, Town Attorney

Approved as to form and legal sufficiency

THE PALM BEACH POST

Published Daily and Sunday
West Palm Beach, Palm Beach County, Florida

PROOF OF PUBLICATION

STATE OF FLORIDA

COUNTY OF PALM BEACH

Before the undersigned authority personally appeared **Tyler Dixon**, who on oath says that she is **Classified Advertising Manager, Inside Sales** of The Palm Beach Post; a daily and Sunday newspaper published at West Palm Beach in Palm Beach County, Florida; that the attached copy of advertising, being **Notice** in the matter of **Proposed Ordinance Adoption** in the --- Court, was published in said newspaper in the issue of **August 5, 2001**. Affiant further says that the said The Post is a newspaper published at West Palm Beach, in said Palm Beach County, Florida, and that the said newspaper has heretofore been continuously published in said Palm Beach County, Florida, daily and Sunday and has been entered as second class mail matter at the post office in West Palm Beach, in said Palm Beach County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that she/he has neither paid nor promised any person, firm or corporation any discount rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before this 5th day of A

D1/66
-1kl hi

Personally known **XX** or Produced Identification _____
Type of Identification Produced _____

W/MS
JWS/ MY COMMISSION # CC879669
EXPIRES: NOV 11, 2004
1-10-3-NQTA AV FL Notary Service I Bonding, Inc

9 Item 3.

NO. 353856
LEGAL NOTICE OF PROPOSED
ORDINANCE ADOPTION
TOWN OF LAKE PARK
PLEASE take notice that on
Wednesday, August 15, 2001
at 7:30 p.m., the Commission
of the Town of Lake Park
Florida, in regular session to
be held in the Pub. Station
E.O.C. 1000 Park Avenue
Lake Park, Florida, will consider
the following Ordinances on
second reading and proposed
passage thereof:
ORDINANCE 9, 2001:
AN ORDINANCE OF THE TOWN
OF LAKE PARK, FLORIDA,
CREATING CHAPTER 2, (ADMINISTRATION), ARTICLE IV,
"BOARDS" AND "COMMITTEES", DIVISION 2, SECTION
2-20 TO 2-28, RENAMING THE
DIVISION "EDUCATION ADVISORY BOARD" PROVIDING
FOR THE CREATION BY ORDINANCE OF A BOARD WHICH
WAS CREATED BY RESOLUTION
5, 1993, PROVIDING FOR
THE PURPOSE, DUTIES, AND
RESPONSIBILITIES OF THE
BOARD, PROVIDING FOR
QUALIFICATIONS FOR MEMBERSHIP ON THE BOARD,
PROVIDING FOR TERMS OF
BOARD MEMBERS, PROVIDING
FOR COMPLIANCE WITH SECTION
2-26 AND 2-27 OF THE
LAKE PARK CODE OF ORDINANCES, PROVIDING FOR
ELECTION OF BOARD OFFICERS, QUORUM AND COMPLIANCE
WITH FLORIDA'S "SUNSHINE LAW", PROVIDING A
SAVINGS CLAUSE, PROVIDING
FOR THE REPEAL OF ORDINANCES IN CONFLICT, PROVIDING
FOR CODIFICATION, PROVIDING AN EFFECTIVE
DATE.
ORDINANCE 10, 2001:
AN ORDINANCE OF THE TOWN
OF LAKE PARK, FLORIDA,
AMENDING ARTICLE VII,
CHAPTER 2, (ADMINISTRATION), SECTION 2-20, ALLOWING
FOR THE USE OF LICENSED REAL ESTATE
AGENTS TO REPRESENT THE
TOWN IN THE SALE OF TOWN
OWNED PROPERTY, PROVIDING
FOR TOWN COMMISSION
DETERMINATION OF A PERCENTAGE TO BE PAID TO
SUCH AGENT, GIVING PREFERENCE IN CHOICE OF REAL
ESTATE AGENTS WHO LIVE
OR OWN BUSINESSES IN
LAKE PARK, PROVIDING FOR
THE SPECIFIC WAIVER OF
CERTAIN PROVISIONS OF THE
PROCESS BY THE COMMISSION
IN OPEN MEETING, PROVIDING
FOR SEVERABILITY,
PROVIDING A CODIFICATION
CLAUSE, PROVIDING FOR THE
REPEAL OF ORDINANCES IN
CONFLICT, PROVIDING AN EFFECTIVE
DATE.
ORDINANCE 11, 2001:
AN ORDINANCE OF THE TOWN
OF LAKE PARK, FLORIDA,
AMENDING CHAPTER 2, (ADMINISTRATION), ARTICLE IV,
"BOARDS" AND "COMMITTEES", DIVISION 3, SECTION
2-22 TO 2-28, RENAMING THE
"CODE ENFORCEMENT BOARD" TO THE "CODE COMPLIANCE BOARD", PROVIDING
A SAVINGS CLAUSE, PROVIDING
FOR THE REPEAL OF ORDINANCES IN CONFLICT, PROVIDING
FOR CODIFICATION, PROVIDING AN EFFECTIVE
DATE.
If a person decides to appeal
any decision made by the
Town Commission with respect
to any hearing, they will
need a record of the proceedings
and for such purpose
may need to ensure that a verbatim
record of the proceedings is made,
which record includes the testimony
and evidence upon which the appeal
is to be based.
Bonnie L. Gorselt
Town Clerk
Town of Lake Park
PUBLISH: PALM BEACH POST
SUNDAY, August 5, 2001



RE: Education Board

From Baird, Thomas J. <TBaird@jonesfoster.com>

Date Wed 2025-07-30 3:53 PM

To Vivian Mendez <vmendez@lakeparkflorida.gov>; Green, Marilyn R. <MGreen@jonesfoster.com>

Cc Lashley, Brett T. <BLashley@jonesfoster.com>

Ok

Thomas J. Baird

Florida Bar Board Certified City, County and Local Government Attorney

J O N E S F O S T E R

D 561 650 8233 O 561 659 3000

TBaird@jonesfoster.com



4741 Military Trail, Suite 200, Jupiter, FL 33458

jonesfoster.com

This email is to the named recipient(s) and may be privileged and confidential. If you are not the intended recipient, any review, dissemination, or copying of this email is prohibited. Please immediately notify us by email and delete the message.

From: Vivian Mendez <vmendez@lakeparkflorida.gov>

Sent: Wednesday, July 30, 2025 11:48 AM

To: Baird, Thomas J. <TBaird@jonesfoster.com>; Green, Marilyn R. <MGreen@jonesfoster.com>

Subject: Education Board

Good afternoon,

I hope all is well with the both of you.

At several Commission meetings, Commissioner Thomas has requested that the Town create an Education Board. I am reaching out to both of you to create such an Ordinance creating the Education Board. The Board will fall under all the same Sunshine Laws as all other Boards. The Town Commission Chamber would be used to conduct the meetings, once a month, starting any time after 5 p.m.

I was able to locate the Town Education Board Ordinance from 2001 (see attached). I asked Commissioner Thomas for some feedback on how she envisioned the Education Board to be comprised. Attached is our email string.

This item has not been assigned to a Commission Meeting agenda, so when you have an opportunity to complete this Ordinance please let me know. Please let me know if you have any follow-up questions. Thank you.

Sincerely,

Vivian Mendez, MMC

Town Clerk
Town of Lake Park
535 Park Avenue
Lake Park, Florida 33403
561-881-3311
561-881-3314 (fax)
vmendez@lakeparkflorida.gov



* Please note: Florida has a very broad public records law. Written communication regarding Town business are public records available to the public upon request. Your email communications are therefore subject to public disclosure. If you do not want your email address released in response to a public records request, do not send electronic mail to this entity, instead contact this office by phone. Florida State Statute Section 668.6076.



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025
Originating Department: Town Manager/Community Development
Agenda Title: Presentation - Marina P3 Project Quarterly Update - Forest Development

Agenda Category (i.e., Consent, New Business, etc.):

Approved by Town Manager: _____ **Date:** _____

Cost of Item: N/A **Funding Source:** N/A
Account Number: N/A **Finance Signature:** _____
Advertised:
Date: N/A **Newspaper:** _____

Attachments: Forest Development P3 Quarterly Update Presentation
Town Attorney Memo dated October 3, 2025

Please initial one:

_____ Yes I have notified everyone
 RR/ND _____ Not applicable in this case

Summary Explanation/Background:

The Town of Lake Park entered into a Marina P3 Project Comprehensive Agreement (in accordance with state law) with Forest Development on August 2, 2023 to provide/construct various improvements within Town-owned property to promote economic development opportunities within our community. This agreement provides many of the requirements/details regarding the proposed project, including a quarterly update to the Town Commission on the status of the project by the developer, Forest Development.

As a result, Forest Development will be providing their P3 Project Quarterly Update to the Town Commission (most recent update provided to the Town Commission on July 16, 2025).

Comprehensive Agreement Revisions & Deed Restrictions Update:

As information, Town Staff has been meeting with Forest Development on an as-needed basis since the last update to the Commission and these meetings have served to discuss a number of issues associated with the Lake Park Harbor Marina P3 initiative. The discussions have been geared on moving the process forward to, first and foremost, ensure that the request to the Governor and Cabinet to consider the deed restriction modifications for the proposed restaurant and the boat storage facility (i.e. 1st Appraisal only - \$600,000), which was planned to be considered during their meeting in September 2025.

Note: Two (2) appraisals have been completed to date: 1. Partial modification valued at \$600K in August 2024 and 2. Full release of the deed restricted areas valued at \$10.425M in April 2025.

However, during the Town Commission's August 6, 2025 meeting, the Commission made the determination to not move forward with the Governor and Cabinet meeting and to put a pause on all pending permits associated with the Marina P3 Project to enable staff and the Town Attorney to work with the developer on amending the P3 Project Comprehensive Agreement, including the critical path that is significantly delayed.

Note: Since the Commission's last update in July 2025, the Freedom Boat Club, JetRide and the Forest Development sales office barge/model unit have been vacated from the State of Florida's deed restricted areas within the Marina and the State has been notified of these actions to ensure that the Town is now in compliance with the existing deed restrictions.

Additionally, the Town's P3 Project staff/attorney internal working group has continued to meet and is working to provide the developer with proposed changes to the existing Comprehensive Agreement so that it is more favorable to the Town, including longer-term financial contributions to the Town; clarification of decision making by the Town Commission regarding Town property (including determination of the property requested to be removed from the TIIF deed restrictions); ensuring that there are firm and consequential deadlines to complete the various components outlined within the Agreement; assurance that there is a clear understanding of the need for management and operating agreements – Marina, Public Spaces, Rights-of-Way, clarification that any delays and/or changes would require Town Commission approval to amend the Comprehensive Agreement; assurance that all financial statements must be provided at a specified time (eliminate the ambiguous periodic requirement); long-term maintenance funding; amending the ground leases terms, etc.

Staff had hoped to work with the developer through these issues during meetings and discussions; however, they were very strong in their conversation that the developer did not want to negotiate against themselves and required the Town to put our proposed changes in writing. Thus, we are proceeding with a full review of the Comprehensive Agreement to ensure that we have an agreement that, if agreed upon by both parties, would be more fair to the Town than what is currently in place.

Additionally, staff is pursuing the opportunity to work with a group that maintains significant experience with valuing marinas and surrounding properties to ensure that the Town receives/requests upfront and long-term funding that is fair for the use of this incredible Town property. Again, we had hoped to work with the developer on this issue through meetings and

discussions; however, it was outlined to the Town that we provide this request in writing. Thus, staff is now planning to recommend engaging with this firm to the Town Commission at a future meeting to bring them on to make the appropriate and fair financial determination for this property.

Thus, a request to amend and/or terminate the deed restrictions will not be included within the December 2025 Governor and Cabinet meeting (deadline was October 13, 2025) and this will need to move into 2026 (next available meeting will be in March 2026 with an advance deadline of around mid-January 2026).

The process of amending the Comprehensive Agreement assumes that the developer has an interest in amending the current Comprehensive Agreement and does not declare the Town in default. If this does occur, then the Town would be faced with making a similar decision based on the Attorney's understanding of the Agreement and the status of the project. To date, the developer's representatives have indicated that they would make additional changes; however, the proposal to make additional changes was later rescinded by the developer, and staff was instructed to put our requests in writing and the developer would respond.

Finally, the Town Attorney has requested that he and I attend a meeting with the developer's attorney (which required me to break away from the Florida Redevelopment Association (FRA) Conference). Since this agenda request form is being prepared ahead of this meeting with the developer's attorney, I am truly hopeful that the developer's position has changed and that they do have a real interest in sitting down with the Town and providing options that are geared towards working with us to improve the Town's financial and contractual position, while enabling them to continue to be successful within this project within a timeline that is upheld/met.

PUD Master Plan & Site Plan Update:

The proposed project's PUD Master Plan and the individual site plan applications were resubmitted by the developer at the end of June 2025. Staff provided initial/preliminary comments to the applicant as they were received and the Town Attorney recently provided additional comments (see attached Memo). Thus, final comments were issued to the applicant in early October 2025.

Due to the complexity of the proposed project components, the next steps will rely on the outcome of a possibly revised P3 Comprehensive Agreement, along with the potential for a Workshop with the Town Commission to ensure that the proposed redevelopment meets the Town's vision and needs, and is favorable to the Town (i.e., jobs, economic development benefits, community quality of life benefits, providing requisite public amenities and open spaces, etc.).

Master PUD/Site Plan Timeline – Submittals by Forest Development

Initial Submittal – December 18, 2023

Round 2 Resubmittal – April 17, 2024

Round 3 Resubmittal – June 12, 2024

Round 4 Resubmittal – September 27, 2024

Round 5 Resubmittal – June 17, 2025 (several open comments that require response from the

Developer)

Site Plan Applications

PODS A&B (Combined – Not in compliance with Comprehensive Agreement)

Initial Submittal – June 10, 2024

Round 2 Resubmittal – June 26, 2024

Round 3 Resubmittal – September 27, 2024

PODs C&D (Combined – Not in compliance with Comprehensive Agreement)

Initial Submittal – June 10, 2024

Round 2 Resubmittal – June 26, 2024

Round 3 Resubmittal – September 27, 2024

PODs A, B, C and D (Individual site plan submittals)

Resubmittal 4 – June 17, 2025 (several open comments that require response from the Developer)

Recommended Motion:

N/A

P3 Lake Park Harbor Marina Quarterly Update October 22nd, 2025

Item 4.



Status of Project

- Comprehensive Agreement approved August 2, 2023
- Lease Approval Dates:
 - Hotel – Approved 1/01/24
 - Restaurant – Approved 5/15/24
 - Boat Storage – Approved 5/17/24
 - Marina – Approved 5/17/24
- PUD and site plans resubmitted June 2025 – Comments from Lake Park received on 10/09/25.
- State of Florida Reverter appraisal received. Requesting approval from Town Commission for submission for the December Governor & Cabinet Meeting.
- Comprehensive Agreement Revisions -Comments from Lake Park pending.

Reverter Status

- Process put on hold by Town of Lake Park.
- Retained Services of Bridge Water Strategies

PUD and Site Plans

- First Submission Date: 12/18/23
- Fourth Submission Date: 6/17/25
- Town Comments Received – 10/19/25

➤ Public Marina & Restaurant Component

- Marina Component → First DEP permit applied for
 - › Response to comments submitted to DEP and USACOE
 - › Need release for consultant to respond to additional permit application questions or permit applications will expire.











Questions?



Memo

To: Nadia DiTommosso, Karen J. Golonka, Anders Viane

From: Thomas J. Baird, AICP, Town Attorney and Peter J. Henn, AICP, Esq.

Date: October 3, 2025

Subject: P-3 Marina PUD Round 5 Comments

Cc: Richard Reade, Town Manager

THIS MEMO AND ATTACHED CHECKLIST RELATE TO THE P-3 MARINA PUD. IT IS IMPORTANT FOR YOU TO FIRST REVIEW THE MEMO BEFORE THE CHECKLIST SO YOU FULLY UNDERSTAND OUR ONGOING CONCERNS AFTER FIVE ROUNDS OF COMMENTS.

PREFACE

This Memo addresses the 7/5/25 draft of the staff comments letter for the PUD and site plans that have been submitted by Forest Development, LLC (the Developer). We offer our comments to you as certified planners in an effort to assist and refine the Department’s response to the Developer’s fifth submittal. You may choose to incorporate our comments into the Department’s “comment letter” to the Developer and/or include our memo with your response. Either way we urge you to provide your comment letter to the Developer as soon as possible, but no later than next week.

Unlike a development proposal from a developer who owns property and proposes to develop it, the Developer proposes to develop approximately 2 ½ acres of *public* property owned by the Town. The PUD to be developed consists of parcels comprising the Lake Park Harbor Marina (Marina) and the former Kahn property, which was purchased with public funds to provide parking for boat trailers, (collectively referred to as the Property). The Town will remain the owner of the Property, and as such is entitled to participate in the planning of the redevelopment of the Property.

The Developer’s five submittals pertaining to the PUD and site plans submitted to develop the Property have changed little despite previous rounds of comments from the Community

Development Department (the Department). The nature of the Developer's proposed PUD and site plan submittals reveal an intent to maximize private development on the Property with little consideration to provide accessible, usable open space for the public. In this sense, the Developer's plan for the PUD is contrary to a "*public*, private project," as it fails to deliver usable and accessible open space for the public. The ability to deliver public space has been, in part, compromised because of the Developer's failure to plan in advance for a lift station to serve its Nautilus 220 project. Inexplicably, the Developer planned and constructed its Nautilus 220 project without planning in advance for the location of a lift station on the Developer's property, or on other private lands in proximity to Nautilus 220 to accommodate its development. As a result, after the Nautilus 220 project was constructed, the Developer sought to place a lift station on public property in the Marina. Given that Nautilus 220 had already been constructed and had to demonstrate the availability of wastewater services so that the Town could issue certificates of occupancy for the purchasers of Nautilus 220 units, the Town essentially had little choice but to provide an easement on public land in the Marina so that buyers of Nautilus 220 could move in. The Developer's failure to plan for the infrastructure necessary to serve its Nautilus 220 project should not constrain the Department, and ultimately the Town Commission, from doing the right thing and designing a PUD and site plan that preserves the public's access to the waterfront and public spaces within the Property. It may be that the right thing is to reduce the intensity of the Hotel and/or Boat Storage uses, or to eliminate one of the hotel use altogether (given that boat storage is a more appropriate use for the Marina).

COMMENTS ON THE ROUND 5 SUBMITTAL FROM THE DEPARTMENT

We offer the following comments sequentially in line with your comments on the PUD. Our comments also take into consideration the Department's comments on the fifth submittal of the site plans. Our comments are followed by a Checklist for your convenience.

A. Land Development Regulations

The Department notes that amendments to the Comprehensive Plan (the Comp Plan) and Land Development Regulations (LDRs) are required to accommodate the proposed uses within the public zoning district. It's not clear from the materials we have reviewed what specific uses are proposed that would require amendments to both the Comp Plan and the LDRs. These uses must be identified in the Department's comments letter, and an analysis prepared of the appropriateness of these uses on the Property given that the Town is the owner of the Property. As the owner of the Property, the Town must ultimately determine whether these uses, and their location as clearly identified on the PUD Master Plan, are deemed by the Town Commission to be appropriate for the public's Property.

B. Useable Open Space for the Public

A PUD of approximately 2 ½ acres is a relatively small area for development. Given the Property's proximity to the Intracoastal Waterway, one would expect that any development

would maximize water views, not just for guests of the hotel and Nautilus 220, but also for the public visiting or using the Marina, and beyond to the Intracoastal Waterway. View corridors of the water and Marina should be a focal point of the PUD Master Plan. In addition to water views, the redevelopment of the Marina offers a unique opportunity to provide the public with enhanced access to the water from vessels in the Marina and those launched from the boat ramp in the Marina. Significant portions of the upland acreage are to be developed for a hotel with conference center and a boat storage building, but little space is devoted to public open space, parks or a Promenade. Of great concern is the loss of the boat trailer parking area for use by the public and the replacement of this land with a hotel and conference center. The square footage and heights of the proposed hotel and Boat Storage structures next to one another, connected by a 4-story "bridge" which also includes developed space next to the 20-story Nautilus 220 buildings, effectively "walls off" any view looking east from Federal Highway of the waters of the Marina and the Intracoastal Waterway. At the very least, the PUD Master Plan should be re-designed to provide for view corridors to the water. This necessarily would result in some re-design of the buildings to reduce the mass, height, and connectivity between the hotel and Boat Storage building. The "bridge" which is not really a bridge, but simply more habitable space and parking structure has been an issue discussed for some time (through all five submittals) and yet no revisions have been made to the PUD or site plans other than splitting one site plan into 2 site plans (as has always been required by the P-3 Comprehensive Agreement) to address the Department's previous comments.

The Department must be an advocate for the Town and the public and insist that the Developer re-design the PUD Master Plan that yields useable and adequate open space and a true Promenade, because it is public land. Toward this end, we note that planning in the public interest is one of the aspirational principles in the AICP Code of Ethics. The Department has appropriately observed this aspirational principle and concluded that the three "*open spaces*" proposed by the Developer are insignificant as public amenities because they do not provide the public with any meaningful, usable open space for the public. Given the Department's conclusions regarding the inadequacy of the Developer's planned open space for the Property, the PUD Master Plan must be re-designed to deliver adequate useable, accessible open space, and a pedestrian Promenade throughout the Property for the public. Consistent with, and to bolster the Department's comments, we offer our analysis of the three "open spaces" proposed by the Developer.

(i) Event Lawn

The Event Lawn is an open space measuring 40' wide and 140' long next to the lift station being constructed to meet the demand for wastewater created by Nautilus 220. In the PUD Master Plan, the Developer has not addressed any buffering for the lift station. Seacoast has advised that lift stations generally require a 100' setback, although there can be exceptions. Even with an exception, the lack of planning for this utility infrastructure by Nautilus 220

essentially renders the “Event Lawn” useless as adequate and accessible open space for the public. The Developer must be advised that the PUD Master Plan needs to be redesigned to recognize that the lift station has compromised an area that could have been a more robust public open space amenity and provide for useable and adequate public open space elsewhere within the Property. The Developer may have to accept the fact that the private development uses on Property cannot be developed with as great an intensity as is currently proposed and the PUD Master Plan needs to be redesigned. *The Property is, after all, public land; and this is a public-private development project.*

(ii) Elevated deck

This public “open space” is on top of the Boat Storage building. It has also been the subject of much discussion through all five submittals. The Developer apparently continues to insist that it is open space available for the public, but the Developer, and more likely the hotel operator, will control any public access to this space. Of great significance, and as appropriately noted by the Department, the elevated deck does not comply with Code § 78-83(j) (i) e. and, therefore, cannot even be counted toward meeting the PUD open space requirements. Yet, after five submittals the Developer continues to maintain that it is “open space” accessible to the public. To be accessible to the public and to comply with the LDRs, the open space must be provided at grade level.

Instead of continuing with submittals that do not comply with the LDRs, once and for all the Department must advise the Developer that the elevated deck cannot be counted toward meeting open space requirements for the PUD and that the PUD must be re-designed to meet the LDRs requirements. Although the Developer can maintain the elevated space as a hotel amenity, we note that this feature is more of an “accessory hotel use” and not associated with the use of boat storage. The Department may want to advise the Developer that assuming the hotel use remains, the elevated deck could be designed as a hotel amenity or accessory use, but it should be eliminated as “open space” or as an “amenity” on top of the Boat Storage building.

(iii) Marina Plaza

It seems obvious that this “open space” is not large enough to function as an entertainment venue that can accommodate “street festivals” and “special events.” Of concern, and as the Department has noted, this area is basically the extension of the sidewalk and most of the “plaza” is in the public ROW. A public ROW cannot be counted toward an open space requirement. Moreover, there could be liability associated with planning for large crowds of pedestrians in a public ROW. As such, the Developer must be informed that the PUD Master Plan needs to be revised to provide an “entertainment venue” that is of sufficient size and location that it can be a true open space venue for street festivals and special events. Again, this may only be possible if the intensity of the private development is reduced.

C. Loss of Waterfront Promenade and Boat Trailer Parking Lot

The PUD Master Plan eliminates approximately 250 linear feet of the Waterfront promenade. A waterfront pedestrian promenade has been a part of the Town's planning since at least 2004. A promenade concept was first conceived when the County purchased the Kahn property using funds from its "Access to the Waterfront" bond issue. This property was conveyed to the Town for a boat trailer parking lot. Public funds from the Waterfront Access Bond was to be restricted to uses that provide the public with access to the waterfront. Pursuant to the PUD Master Plan (and site plan), the Kahn property would be converted from a boat trailer parking area, to a private hotel, thereby eliminating the public's access to the waterfront by displacing the boat trailer parking lot that was acquired by the County for \$2.4 million. The Town has reimbursed the County with \$2.4 million of Town funds. Accordingly, in both cases, public funds have been used to secure land for the public's access to the waterfront. Because the Town has reimbursed the County the bond proceeds it expended to provide for the boat trailer parking lot, it may be that the Kahn property is no longer restricted for access to the waterfront uses. *Given the expenditure of \$2.4 million of public funds to acquire the Kahn property we are hesitant to conclude that this property may be developed for an exclusively private use (hotel). Consequently perhaps the Town should ask the Inspector General to weigh in to be sure. It would be unfortunate for both the Town and the Developer to find out after approvals are given by the Commission that the Kahn property cannot be used for private development.* In any event, the PUD Master Plan must be re-designed so that a waterfront promenade that meets Code § 78-74 is provided.

Finally, the Department has noted that in its draft 8/1/25 comment letter on the *site plan*, that the loss of the open air tertiary street (caused by the four story "bridge") disrupts the continuity of the pedestrian promenade experience going south along Lake Shore Drive. Furthermore, the Department notes that the massing of the hotel and boat storage buildings on the street encloses this area and effectively prevents any views of the water or the Marina. These comments make it clear that the PUD and site plans must be revised.

D. Documented and Detailed Commitment to Public Benefits Required for a PUD

The Developer is requesting 14 waivers for a 2 ½ acres site. While some of the waivers, such as the number of street trees provided as part of the streetscape may be "minor," these waivers have been necessitated by the Developer's proposed building configuration and, in particular the buildings' relationship to Federal Highway. There are, however, a number of other substantial waivers: a waiver of the maximum *height* for the Boat Storage building; the request to use the FHNUDO parking standards as opposed to general standards; the floorplate design standards to accommodate the envelope of the parking garage and the design concept of a 110' high "bridge" with four floors of development, 26 feet above a ROW; the loss of a tertiary street; and the design of street widths and roadway sections. These waivers are significant departures from the Town Code and suggest that the PUD Master

Plan and site plans are significantly more intensive than what is contemplated by the Town's LDRs. The Developer is required to justify the necessity for each of the waivers, including these substantial waivers and demonstrate how the special exception criteria in Section 78-714 has been met for each waiver requested. We could not identify from the fifth submittal any justification for these substantial waivers. Finally, even if some justification for the waivers was presented, it is not clear to us what public benefits the Developer is proposing in exchange for each waiver.

E. Proposed Building over the Lakeshore Drive South ROW

The P-3 Comprehensive Agreement did not contemplate two different uses in two components being linked by building mass, 110' in height, 26' above a ROW. This massive "bridge" above the ROW proposes to contain four levels of structured parking, two level of boat storage, and hotel venue space. This design does not comply with the current Code regulations and cannot be approved as a "waiver." Specifically, Lakeshore Drive South would not be open to the sky and would not meet the requirements as a greenway. Given the Code, the Department has no choice but to inform the Developer that the PUD Master Plan and the site plans for the Hotel and Boat Storage components must be redesigned to eliminate the "bridge."

CONCLUSION

The Developer's PUD Master Plan and site plans for the hotel and boats storage components which melds a hotel, a structured parking garage and the Boat Storage building into one massive facade fronting Federal Highway is inconsistent with the spirit and intent of the P-3 Comprehensive Agreement and the Town Code and is not in the public interest.

While the PUD maximizes the private development of the Town's property, it sacrifices the availability of open space for the public and diminishes the public's access to the water because of a substantial reduction in the slips in the Marina and the loss of the boat trailer parking lot. While the Department's comment letter is very good and thorough, it seems the Department is required to make the same or similar comments in its response to each submittal. This approach cannot continue. The Department is encouraged to take a more proactive approach with respect to the planning of the Town's property by either doing its own design or retaining an outside professional planning firm to assist it in planning the Town's property.

CHECKLIST

1. Determine what Comp Plan amendment(s) are needed.
2. Determine what LDR amendment(s) are needed.
3. Determine what *uses* necessitate the need for the amendment(s) in items 1 and 2 above.
4. Establish an appropriately sized view corridor to the water and marina.
5. Establish better and more public access to the water and marina and identify an area for boat trailer parking to replace the publicly purchased land for access to the waterfront which is to be replaced with a hotel.
6. Reduce the massing, volume, and eliminate the connectivity of the proposed hotel and Boat Storage buildings to enhance the view corridor to the water and marina referenced in item 4 above and to enhance the public access to the water and marina referenced in item 5 above.
7. Re-design the PUD Master Plan (and related individual site plans) to accomplish items 4, 5, and 6 above.
8. Eliminate the massive “bridge” more than 100 feet in height which does not comply with the P-3 Comprehensive Agreement or Code by connecting the Hotel and the Boat Storage Components.
9. The area on top of the Boat Storage building cannot be credited toward the Code’s public open space requirements, and the PUD Master Plan (and related individual site plans) need to be re-designed to provide useable and adequate public open space pursuant to the LDRs and as determined by the Department and Town Commission.
10. The PUD Master Plan (and related individual site plans) need to be re-designed to provide a pedestrian Promenade along the waterfront and marina areas for the benefit of the public that is acceptable to the Town.
11. The PUD Master Plan (and related individual site plans) need to be re-designed to provide an event lawn near and/or along the waterfront and marina areas that is acceptable to the Town Commission that is of sufficient size, is accessible and useable by the public as a community entertainment area.
12. An update Justification Statement/Project Narrative with respect to the 14 Waiver requests must be provided by the Developer that is satisfactory to the Department for its analysis of whether or not the waivers are justified and that there is a public benefit associated with each waiver.

13. *Given that there may be a hearing in December with TIIF, the Department should require the Developer, the proposed Marina operator, and their consultants to immediately address the Department's comments, this Memo and Checklist. We note that there is only a very short time before DEP staff must receive the Town's direction to proceed with the TIIF meeting in December, but it seems somewhat perilous for the Town to proceed with its request to TIIF to modify the restrictions without knowing what revisions to the PUD and site plans will be proposed to provide an adequate "public" component to the public, private project.*
14. The Department is encouraged to engage a planning firm with sufficient capacity to evaluate the development that the Property can accommodate and to assist it in exploring an alternative PUD Master Plan and site plans that address the comments herein.



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025
Originating Department: Public Works
Agenda Title: Resolution 83-10-2025 – Evaluation Committee Ranking & Authorization to Negotiate – RFQ #121-2025 – Professional Architectural Design and Consulting Services - Kelsey Park Splash Pad

Approved by Town Manager: _____ **Date:** _____

Cost of Item: \$ 0.00 **Funding Source:** N/a
Account Number: 001-408-597 **Finance Signature:** Barbara A. Gould

Advertised: _____
Date: _____ **Newspaper:** _____

Attachments: 1) Resolution Authorizing Public Works to Negotiate for Architectural Services
2) Evaluation Committee Meeting Minutes for RFQ #121-2025

Please initial one:
 _____ Yes, I have notified everyone.
 X _____ Not applicable in this case

Summary Explanation/Background:

The Public Works Department recommends that the Town Commission approve the Evaluation Committee's ranking for the Request for Qualifications (RFQ #121-2025) for Professional Architectural Design and Consulting Services for the Kelsey Park Splash Pad project. The RFQ was issued on August 25, 2025, and closed on September 25, 2025.

Following the closing of the RFQ, the Town received qualification packages from the following firms:

- Cotleur & Hearing Landscape Architecture, LLC
- Hi Q Designs
- Kimley-Horn and Associates, Inc.

The RFQ was publicly advertised in accordance with the Town's Purchasing Code and the Florida Consultants' Competitive Negotiation Act (CCNA), Chapter 287.055, Florida Statutes. The Evaluation Committee reviewed and scored all submittals based on published evaluation criteria, including experience, technical approach, staffing, past performance, and references.

The final ranking is as follows:

1. Kimley-Horn and Associates, Inc.
2. Cotleur & Hearing Landscape Architecture, LLC
3. Hi Q Designs

Note: Various documents related to this RFQ process are either attached and/or available for review by contacting the Town Clerk's Office, including, but not limited to, Notice to Negotiate, final scoring matrix, RFQ #121-2025, and published addenda and the RFQ Advertisement, as required.

Approval of this recommendation/action will authorize staff to negotiate a scope of services and fee with Kimley-Horn and Associates, Inc., the top-ranked firm, for subsequent consideration by the Town Commission.

Recommendation:

I move to approve Resolution 83-10-2025 accepting the Evaluation Committee's ranking of firms for RFQ #121-2025 and authorizing the Public Works Director to negotiate with Kimley-Horn and Associates, Inc. for Professional Architectural Design and Consulting Services related to the Kelsey Park Splash Pad project.

RESOLUTION NO. 83-10-2025

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA, ACCEPTING THE EVALUATION COMMITTEE'S RANKING OF FIRMS FOR RFQ #121-2025 – PROFESSIONAL ARCHITECTURAL DESIGN AND CONSULTING SERVICES FOR THE KELSEY PARK SPLASH PAD AND AUTHORIZING THE PUBLIC WORKS DIRECTOR TO NEGOTIATE WITH THE TOP-RANKED FIRM; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Town of Lake Park, Florida ("Town"), issued a **Request for Qualifications (RFQ #121-2025)** on **August 25, 2025**, for **Professional Architectural Design and Consulting Services for the Kelsey Park Splash Pad**, in accordance with the **Consultants' Competitive Negotiation Act (CCNA), Chapter 287.055, Florida Statutes**; and

WHEREAS, the RFQ was publicly advertised and closed on September 25, 2025, at 2:00 p.m., and qualification packages were received from the following firms:

- Cotleur & Hearing Landscape Architecture, LLC
- Hi Q Designs
- Kimley-Horn and Associates, Inc.

WHEREAS, the Evaluation Committee reviewed all qualification packages and scored them based on the published criteria, including professional experience, technical approach, project team qualifications, and past performance; and

WHEREAS, the Evaluation Committee's final ranking is as follows:

1. Kimley-Horn and Associates, Inc.
2. Cotleur & Hearing Landscape Architecture, LLC
3. Hi Q Designs

WHEREAS, the Town Commission has reviewed the Evaluation Committee's ranking and finds it in the best interest of the Town to accept the recommendation and authorize negotiations with the top-ranked firm.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA, AS FOLLOWS:

Section 1. The foregoing recitals are true and correct and are incorporated herein by this reference.

Section 2. The Town Commission hereby accepts the Evaluation Committee's ranking of firms for RFQ #121-2025 – Professional Architectural Design and Consulting Services for the Kelsey Park Splash Pad.

Section 3. The Public Works Director is hereby authorized to negotiate a scope of services and fee with Kimley-Horn and Associates, Inc., the top-ranked firm, and to

present the proposed agreement to the Town Commission for approval at a future meeting.

Section 4. This Resolution shall take effect immediately upon adoption.



Evaluation Committee Meeting Minutes

Town of Lake Park, Florida

**Professional Architectural Design and
Consulting Services**

For the “Kelsey Park Splash Pad”

Request for Qualifications (RFQ) #121-2025

Tuesday, October 7, 2025 11:00 a.m.

Commission Chamber, Town Hall, 535 Park Avenue

The Evaluation Committee Meeting for RFQ 121-2025 was held on Tuesday, October 7, 2025 at 11:00 a.m. Present was Capital Projects Manager John Wille, Public Works Director Jaime Morales, Operations Manager Dwayne Bell, Facilities Maintenance Foreman Howard Butts, Recreation Supervisor Michael Sloan, Special Events Director Riunite Franks and Town Clerk Vivian Mendez.

Public Works Director Morales called the meeting to order at 11:03 a.m. The Committee introduced themselves and announced that the scoring sheets were completed (Exhibit A). The total scores are as follows:

- 1) Cotleur & Hearing – 392 total points
- 2) HI Q Designs - 384 total points
- 3) Kimley-Horn & Associates - 482 total points

Public Works Director Morales announced that the results would be posted shortly and adjourned the meeting.

ADJOURNMENT:

The meeting adjourned at 11:11 a.m.

Vivian Mendez

Digitally signed by Vivian Mendez
DN: cn=Vivian Mendez, o=Town of Lake
Park, ou=Town Clerk,
email=vmendez@lakeparkflorida.gov, c=US
Date: 2025.10.07 16:11:10 -04'00'

Town Clerk
Vivian Mendez

For the Kelsey Park Splash Pad EVALUATION AND SCORING SHEET

Evaluation Category	Cotleur & Hearing					HI Q Designs					Kimley-Horn Associates				
PART 1	M	R	J	H	D	M	R	J	H	D	M	R	J	H	D
Completion of Bid Form (5 pts) Includes: BF 1 - Bid Form Signature Page BF 2 - Acknowledge Addenda	5	5	5	5	5	5	5	5	5	3	5	5	5	5	3
Firms Qualifications & Architectural Design Experience & Splash Pad Design Experience (55 pts) Includes: BF 3 - Qualifications & Experience	45	30	45	45	30	45	30	40	40	25	55	45	52	52	55
Acknowledgement of General Disclosure Forms (10 pts) Includes: BF 4 - Conflict of Interest Form BF 5 - Notification of Public Entity Crimes Law BF 6 - Drug Free Workplace BF 7 - TruthIn Negotiations Certification	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
References Provided (15 pts) Includes: BF 8 - List of References	15	15	13	0	0	15	15	10	10	15	15	15	15	15	15
Licenses & Insurances (5 pts) Includes: BF 9 - Proof of Existing Insurances BF 10 - Licenses / Certifications	5	5	5	5	5	2	2	5	5	2	5	5	5	5	5
PART 2															
Acknowledgement of Federal Forms (10 pts) Includes: BF 12 - 2a - Anti-Kickback Affidavit BF 12 - 2b - Non-Collusion Affidavit BF 12 - 2c - Certification of Eligibility of Consultants BF 12 - 2d - Certification of Non-Segregated Facilities	10	10	10	10	10	10	10	10	10	10	10	10	10	10	10
Total Score:	90	79	88	75	60	87	72	80	60	65	100	90	97	97	90
Ranking	384					384					482				
	392														

RFQ #121 2025 Professional Architectural Design and Consulting Services For the Kelsey Park Splash Pad

EVALUATION AND SCORING SHEET

Evaluation Category	Cotleur & Hearing	HI Q Designs	Kimley-Horn Associates
<u>PART 1</u>			
Completion of Bid Form (5 pts) Includes: BF 1 - Bid Form Signature Page BF 2 - Acknowledge Addenda	<u>5</u>	<u>5</u>	<u>5</u>
Firms Qualifications & Architectural Design Experience & Splash Pad Design Experience (55 pts) Includes: BF 3 - Qualifications & Experience	<u>30</u>	<u>30</u>	<u>45</u>
Acknowledgement of General Disclosure Forms (10 pts) Includes: BF 4 - Conflict of Interest Form BF 5 - Notification of Public Entity Crimes Law BF 6 - Drug Free Workplace BF 7 - TruthIn Negotiations Certification	<u>10</u>	<u>10</u>	<u>10</u>
References Provided (15 pts) Includes: BF 8 - List of References	<u>15</u>	<u>15</u>	<u>15</u>
Licenses & Insurances (5 pts) Includes: BF 9 - Proof of Existing Insurances BF 10 - Licenses / Certifications	<u>5</u>	<u>2</u>	<u>5</u>
<u>PART 2</u>			
Acknowledgement of Federal Forms (10 pts) Includes: BF 12 - 2a - Anti-Kickback Affidavit BF 12 - 2b - Non-Collusion Affidavit BF 12 - 2c - Certification of Eligibility of Consultants BF 12 - 2d - Certification of Non-Segregated Facilities	<u>10</u>	<u>10</u>	<u>10</u>
Total Score:	<u>75</u>	<u>72</u>	<u>90</u>
Ranking	<u>2</u>	<u>3</u>	<u>1</u>

Evaluator:

Riunite Franks

10/7/25

Written Name: Riunite
Franks

Date:

Signature

Digitally signed by Riunite Franks
DN: cn=Riunite Franks, o=Town of Lake
Park, ou=General Permit Department,
email=Riunite.Franks@lakepark.ga.us, c=US
Date: 2025.10.07 10:53:41 -0400

RFQ #121 2025 Professional Architectural Design and Consulting Services For the Kelsey Park Splash Pad

EVALUATION AND SCORING SHEET

Evaluation Category	Cotleur & Hearing	HI Q Designs	Kimley-Horn Associates
<u>PART 1</u>			
Completion of Bid Form (5 pts) Includes: BF 1 - Bid Form Signature Page BF 2 - Acknowledge Addenda	<u>5</u>	<u>5</u>	<u>5</u>
Firms Qualifications & Architectural Design Experience & Splash Pad Design Experience (55 pts) Includes: BF 3 - Qualifications & Experience	<u>45</u>	<u>40</u>	<u>52</u>
Acknowledgement of General Disclosure Forms (10 pts) Includes: BF 4 - Conflict of Interest Form BF 5 - Notification of Public Entity Crimes Law BF 6 - Drug Free Workplace BF 7 - TruthIn Negotiations Certification	<u>10</u>	<u>10</u>	<u>10</u>
References Provided (15 pts) Includes: BF 8 - List of References	<u>13</u>	<u>10</u>	<u>15</u>
Licenses & Insurances (5 pts) Includes: BF 9 - Proof of Existing Insurances BF 10 - Licenses / Certifications	<u>5</u>	<u>5</u>	<u>5</u>
<u>PART 2</u>			
Acknowledgement of Federal Forms (10 pts) Includes: BF 12 - 2a - Anti-Kickback Affidavit BF 12 - 2b - Non-Collusion Affidavit BF 12 - 2c - Certification of Eligibility of Consultants BF 12 - 2d - Certification of Non-Segregated Facilities	<u>10</u>	<u>10</u>	<u>10</u>
Total Score:	<u>88</u>	<u>80</u>	<u>97</u>
Ranking	<u>2</u>	<u>3</u>	<u>1</u>
Evaluator: <u>Jaime S. Morales</u>	<u>10.01.25</u>		
Written Name: <u>[Signature]</u>	Date:		
Signature			

RFQ #121 2025 Professional Architectural Design and Consulting Services For the Kelsey Park Splash Pad

EVALUATION AND SCORING SHEET

Evaluation Category	Cotleur & Hearing	HI Q Designs	Kimley-Horn Associates
<u>PART 1</u>			
Completion of Bid Form (5 pts) Includes: BF 1 - Bid Form Signature Page BF 2 - Acknowledge Addenda	<u>5</u>	<u>3</u>	<u>3</u>
Firms Qualifications & Architectural Design Experience & Splash Pad Design Experience (55 pts) Includes: BF 3 - Qualifications & Experience	<u>30</u>	<u>25</u>	<u>55</u>
Acknowledgement of General Disclosure Forms (10 pts) Includes: BF 4 - Conflict of Interest Form BF 5 - Notification of Public Entity Crimes Law BF 6 - Drug Free Workplace BF 7 - TruthInNegotiations Certification	<u>10</u>	<u>10</u>	<u>10</u>
References Provided (15 pts) Includes: BF 8 - List of References	<u>0</u>	<u>15</u>	<u>15</u>
Licenses & Insurances (5 pts) Includes: BF 9 - Proof of Existing Insurances BF 10 - Licenses / Certifications	<u>5</u>	<u>2</u>	<u>5</u>
<u>PART 2</u>			
Acknowledgement of Federal Forms (10 pts) Includes: BF 12 - 2a - Anti-Kickback Affidavit BF 12 - 2b - Non-Collusion Affidavit BF 12 - 2c - Certification of Eligibility of Consultants BF 12 - 2d - Certification of Non-Segregated Facilities	<u>10</u>	<u>10</u>	<u>10</u>
Total Score:	<u>60</u>	<u>65</u>	<u>98</u>
Ranking	<u> </u>	<u> </u>	<u> </u>
Evaluator: <u>Dwayne Bell, Sr.</u>	10/7/2025		
Written Name: <u></u>	Date: <u> </u>		
Signature			

RFQ #121 2025 Professional Architectural Design and Consulting Services For the Kelsey Park Splash Pad

EVALUATION AND SCORING SHEET

Evaluation Category	Cottleur & Hearing	HI Q Designs	Kimley-Horn Associates
PART 1			
Completion of Bid Form (5 pts) Includes: BF 1 - Bid Form Signature Page BF 2 - Acknowledge Addenda	<u>5</u>	<u>5</u>	<u>5</u>
Firms Qualifications & Architectural Design Experience & Splash Pad Design Experience (55 pts) Includes: BF 3 - Qualifications & Experience	<u>45</u>	<u>40</u>	<u>52</u>
Acknowledgement of General Disclosure Forms (10 pts) Includes: BF 4 - Conflict of Interest Form BF 5 - Notification of Public Entity Crimes Law BF 6 - Drug Free Workplace BF 7 - TruthIn Negotiations Certification	<u>10</u>	<u>10</u>	<u>10</u>
References Provided (15 pts) Includes: BF 8 - List of References	<u>10</u>	<u>10</u>	<u>15</u>
Licenses & Insurances (5 pts) Includes: BF 9 - Proof of Existing Insurances BF 10 - Licenses / Certifications	<u>5</u>	<u>5</u>	<u>5</u>
PART 2			
Acknowledgement of Federal Forms (10 pts) Includes: BF 12 - 2a - Anti-Kickback Affidavit BF 12 - 2b - Non-Collusion Affidavit BF 12 - 2c - Certification of Eligibility of Consultants BF 12 - 2d - Certification of Non-Segregated Facilities	<u>10</u>	<u>10</u>	<u>10</u>
Total Score:	<u>75</u>	<u>80</u>	<u>97</u>
Ranking	<u></u>	<u></u>	<u></u>
Evaluator: <u>HOWARD W. BURTS</u>	<u>10/7/25</u>		
Written Name: <u>[Signature]</u>	Date: <u></u>		
Signature			

**RFQ #121 2025 Professional Architectural Design and Consulting Services
For the Kelsey Park Splash Pad**

EVALUATION AND SCORING SHEET

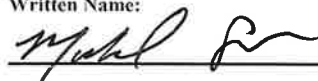
Evaluation Category	Cottleur & Hearing	HI Q Designs	Kimley-Horn Associates
PART 1			
Completion of Bid Form (5 pts) Includes: BF 1 - Bid Form Signature Page BF 2 - Acknowledge Addenda	<u>5</u>	<u>5</u>	<u>5</u>
Firms Qualifications & Architectural Design Experience & Splash Pad Design Experience (55 pts) Includes: BF 3 - Qualifications & Experience	<u>45</u>	<u>45</u>	<u>55</u>
Acknowledgement of General Disclosure Forms (10 pts) Includes: BF 4 - Conflict of Interest Form BF 5 - Notification of Public Entity Crimes Law BF 6 - Drug Free Workplace BF 7 - TruthInNegotiations Certification	<u>10</u>	<u>10</u>	<u>10</u>
References Provided (15 pts) Includes: BF 8 - List of References	<u>15</u>	<u>15</u>	<u>15</u>
Licenses & Insurances (5 pts) Includes: BF 9 - Proof of Existing Insurances BF 10 - Licenses / Certifications	<u>5</u>	<u>2</u>	<u>5</u>
PART 2			
Acknowledgement of Federal Forms (10 pts) Includes: BF 12 - 2a - Anti-Kickback Affidavit BF 12 - 2b - Non-Collusion Affidavit BF 12 - 2c - Certification of Eligibility of Consultants BF 12 - 2d - Certification of Non-Segregated Facilities	<u>10</u>	<u>10</u>	<u>10</u>
Total Score:	<u>90</u>	<u>87</u>	<u>100</u>
Ranking	<u>2</u>	<u>3</u>	<u>1</u>

Evaluator:

MICHAEL SLOAN10-7-25

Written Name:

Date:


 Signature



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025
Originating Department: Town Manager/Community Development
Agenda Title: Resolution 84-10-25 Interlocal Agreement - Collection of Transportation Capacity Impact Fees - Palm Beach County (Six Months)

Agenda Category (i.e., Consent, New Business, etc.): _____

Approved by Town Manager: _____ **Date:** _____

Cost of Item:	<u>Legal</u>	Funding	
Account	<u>Review/Discussions</u>	Source:	<u>Legal</u>
Number:	<u>108</u>	Finance	
		Signature:	<u>Barbara Gould</u>

Advertised:
Date: N/A **Newspaper:** _____

Attachments: Resolution with Exhibit A (Interlocal Agreement)

Please initial one:

_____	Yes I have notified everyone
RR/ND	Not applicable in this case

Summary Explanation/Background:

The Town's Community Development Department has been working with Palm Beach County on a draft Interlocal Agreement (ILA) for several months to ensure compliance with Florida State Statute § 163.3180, which provides that if a county and municipality charge a developer of a new development or redevelopment a fee for transportation capacity impacts, the county and municipality must create and execute an interlocal agreement to coordinate the mitigation of their respective transportation capacity impacts.

As a result, an Interlocal Agreement (ILA) with Palm Beach County is now required.

Note: The Town previously adopted Town-wide mobility fees pursuant to Section 163.3180, Florida Statutes, and the Board of County Commissioners previously adopted countywide impact fees pursuant to Section 1.3 of the Palm Beach County Charter.

The proposed ILA is intended to account for the collection and distribution of all County impact fees within the Town's jurisdiction and will also provide for the proportionate mitigation of new development or redevelopment impact on the County's transportation facilities capacity and the distribution of revenue to address transportation capacity impacts based on the Parties' respective transportation fees.

In essence, the Town's Mobility Fees do not account for the impacts new development or redevelopment will have on County transportation facilities, and only 10% is factored into the Town's current mobility fee schedule to account for multimodal improvements on County roads that County transportation capacity impact fees don't cover. Similarly, the County's Road Impact Fees do not account for the impact new development or redevelopment will have on Town transportation facilities.

Thus, a proposed 6-month Interlocal agreement has been proposed to clarify these independent and distinct collections so as to ensure there isn't any duplicate collection as well as to afford the Town time to update our mobility plan and consider additional town-wide impact fee. Further, this will provide the opportunity for both entities to agree on a longer-term Agreement and ensure the continued collection of all mobility/impact fees by both the Town and the County.

The Community Development Department, with the help of the Town Attorney, worked with County staff to develop a temporary ILA (6-month period). The County has agreed and is supporting this idea and a shorter, temporary Agreement and is awaiting our signed Agreement in order to finalize the paperwork on their end.

The longer term Agreement is expected to provide either of the following:

1. The County will include proposed County roadway/transportation projects that would directly benefit the Lake Park Community within the Agreement. These projects would be fully funded by the County and would enable the County to continue collecting their impact fee to support these projects

and/or

2. Enable the Town to include County roadway projects that are needed within the Town of Lake Park and identify funding within the upcoming revision to the Town's Mobility Fee Study. This would enable the Town to begin collecting all funding for these County projects, including their required mobility upgrades, and the County would not be eligible to continue collecting their impact fee on projects within the Town (this may also require ongoing maintenance agreements and/or possibly a right-of-way ownership transfer, along with replating).

Recommended Motion:

I move to approve Resolution 84-10-25 and the Six-Month Collection of Transportation Capacity Impact Fees Interlocal Agreement with Palm Beach County; and authorize the Mayor to execute the proposed Interlocal Agreement.

RESOLUTION NO. 84-10-25**A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA, AUTHORIZING AND DIRECTING THE MAYOR TO EXECUTE A 6-MONTH INTERLOCAL AGREEMENT FOR THE COLLECTION OF TRANSPORTATION CAPACITY IMPACT FEES WITH PALM BEACH COUNTY; AND PROVIDING AN EFFECTIVE DATE**

WHEREAS this Interlocal Agreement (the “Agreement”) is being made between **Palm Beach County, Florida**, a political subdivision of the State of Florida (hereinafter the "County") and **Town of LAKE PARK**, a municipality created pursuant to Laws of Florida, (hereinafter the "Town"), (collectively the “Parties”); and

WHEREAS, the Board of County Commissioners adopted countywide impact fees pursuant to Section 1.3 of the Palm Beach County Charter; and

WHEREAS, the Town has adopted Town-wide mobility fees pursuant to Section 163.3180, Florida Statutes; and

WHEREAS, § 163.3180, Florida Statutes provides that if a county and municipality charge a developer of a new development or redevelopment a fee for transportation capacity impacts, the county and municipality must create and execute an interlocal agreement to coordinate the mitigation of their respective transportation capacity impacts; and

WHEREAS, this Agreement is intended to account for the collection and distribution of all County impact fees within the Town’s jurisdiction; and

WHEREAS, the Parties agree that this Agreement provides for the proportionate mitigation of new development or redevelopment impact on the County’s transportation facilities capacity and the distribution of revenue to address transportation capacity impacts based on the Parties’ respective transportation fees; and

WHEREAS, the Parties agree that the Town’s Mobility Fees do not account for the impact new development or redevelopment will have on County transportation facilities within its jurisdiction; and

WHEREAS, the Parties agree that the County’s Road Impact Fees do not account for the impact new development or redevelopment will have on Town transportation facilities; and

WHEREAS, therefore the Parties agree that requiring the Town’s building permit applicant’s to pay County Road Impact Fees will not result in applicant’s paying twice for

the same transportation capacity impacts; and

WHEREAS, the Parties agree that the collection and distribution of the Town's Mobility Fees shall be the sole responsibility of the Town; and

WHEREAS, Section 13.A.7.A.2 of the Palm Beach County Unified Land Development Code (ULDC) provides that the Town may require direct payment of impact fees to the County pursuant to this Agreement; and

WHEREAS, pursuant § 163.3180, Florida Statutes, Parties to agree that County is authorized to collect its road impact fees directly from Town building permit applicants; and

WHEREAS, the Parties agree to use the method of collection provided in 13.A.7.A.2 of the ULDC to authorize the Town to require that all building permit applicants make direct payment of all County impact fees directly to the County for collection; and

WHEREAS, this interlocal agreement is adopted pursuant to Section 13.A.7A.2 of the ULDC and § 163.3180, Fl. Stat. and shall be valid through April 1, 2026.

NOW, THEREFORE, BE IT RESOLVED by the Town Commission of the Town of Lake Park, Florida

Section 1: The whereas clauses are incorporated herein.

Section 2: The Mayor is hereby authorized and directed to execute a 6-month Interlocal Agreement for the collection of transportation capacity impact fees with Palm Beach County, a copy of which is incorporated herein and attached hereto as Exhibit "A".

Section 3: This Resolution shall take effect retroactively on October 1, 2025.

**INTERLOCAL AGREEMENT FOR COLLECTION OF TRANSPORTATION
CAPACITY IMPACT FEES**

THIS INTERLOCAL AGREEMENT (the “Agreement”) made this ____ day of 20__ and between **Palm Beach County, Florida**, a political subdivision of the State of Florida (hereinafter “County”) and **Town of LAKE PARK**, a municipality created pursuant to Laws of Florida, (hereinafter “Town”) (collectively the “Parties”).

WHEREAS, the Board of County Commissioners adopted countywide impact fees pursuant to Section 1.3 of the Palm Beach County Charter; and

WHEREAS, the Town has adopted Town-wide mobility fees pursuant to Section 163.3180, Florida Statutes; and

WHEREAS, § 163.3180, Florida Statutes provides that if a county and municipality charge a developer of a new development or redevelopment a fee for transportation capacity impacts, the county and municipality must create and execute an interlocal agreement to coordinate the mitigation of their respective transportation capacity impacts; and

WHEREAS, this Agreement is intended to account for the collection and distribution of all County impact fees within the Town’s jurisdiction; and

WHEREAS, the Parties agree that this Agreement provides for the proportionate mitigation of new development or redevelopment impact on the County’s transportation facilities capacity and the distribution of revenue to address transportation capacity impacts based on the Parties’ respective transportation fees; and

WHEREAS, the Parties agree that the Town’s Mobility Fees do not account for the impact new development or redevelopment will have on County transportation facilities within its jurisdiction; and

WHEREAS, the Parties agree that the County’s Road Impact Fees do not account for the impact new development or redevelopment will have on Town transportation facilities; and

WHEREAS, therefore the Parties agree that requiring the Town’s building permit applicant’s to pay County Road Impact Fees will not result in applicant’s paying twice for the same transportation capacity impacts; and

WHEREAS, the Parties agree that the collection and distribution of the Town’s Mobility Fees shall be the sole responsibility of the Town; and

WHEREAS, Section 13.A.7.A.2 of the Palm Beach County Unified Land Development Code (ULDC) provides that the Town may require direct payment of impact fees to the County pursuant to this Agreement; and

WHEREAS, pursuant § 163.3180, Florida Statutes, Parties to agree that County is authorized to collect its road impact fees directly from Town building permit applicants; and

WHEREAS, the Parties agree to use the method of collection provided in 13.A.7.A.2 of the ULDC to authorize the Town to require that all building permit applicants make direct payment of all County impact fees directly to the County for collection; and

WHEREAS, this interlocal agreement is adopted pursuant to Section 13.A.7A.2 of the ULDC and § 163.3180, Fl. Stat.

WITNESSETH

For and in consideration of the mutual terms and conditions set forth herein, the parties hereto hereby agree as follows:

1. **Direct payment.** The County and the Town agree that the Town shall require the payment of impact fees directly to the County by the feepayer. Where County Impact Fees are required to-

be paid, the Town shall not issue any building permit or development order until such time as such fees are paid to the County by the feepayer.

2. **Administration.**

(a) The Town shall direct all persons required to pay County Impact Fees to the Palm Beach County Building Division (hereinafter "Building Division") to provide the Building Division with all of or a portion of the plans and specifications with square footage and land use information for review by the Building Division. The Building Division shall review the plans and specifications for purposes of calculating the impact fees required under the ULDC, Article 13. The Town after consultation with the Impact Fee Coordinator, if necessary, shall provide the location and a description of the land use which will be built or, if not restricted to only that use, the permitted land use(s) having the greatest impact on capital facilities. The Town shall designate a contact person for purposes of describing the land use and answering impact fee related questions, such as the proper category of a proposed use for assessing impact fees. The County shall assign an Impact Fee Plan Review (hereinafter "IFPR") number, which shall be the means of tracking the review and approval. The County shall complete its calculation of the impact fees within six (6) business days of its receipt of the portion of the plans and specifications and information as to the land use description and categorization provided by the Town; provided, however, if the feepayer seeks a credit, independent fee calculation, appeals the assessment, or a covenant is necessary, this six (6) day period shall not apply.

(b) The County shall stamp the plans and specifications with a standard-form stamp and shall set forth therein the amount of impact fees paid, the IFPR number, the impact fee zones, and the particular land use involved. On a separate form as established by the Impact Fee Coordinator, the County shall detail the information upon which the fee amount is based. This stamp and form shall constitute official notice that the Impact Fees have been paid. This form shall be provided to the feepayer and Town. The Town shall incorporate into the review plans and specifications the sheet setting forth the square footage and land use with the impact fee stamp of the County, or if the entire set of plans are submitted to the County and the impact fees are calculated and sent to the Town prior to the Town's review of the plans, the Town shall use the stamped plans as its review and approved plans.

(c) The Town may require County-determination of impact fees prior to its acceptance of an application for a building permit or development order, or prior to Municipal review of such application. These plans shall remain on file with the Town. The Town shall not allow any revision to the plans or specifications or any change in land use as submitted to the County pursuant to this paragraph 2 (a) and (b) except those which have been approved by the Building Division and for which impact fees have been paid. Amendments shall be approved with the same formality as the original land use and plans using the stamp and form. This stamp shall constitute official notice that the Impact Fees have been paid.

(d) The County shall designate a contact person or persons for any inquiries that the Town may have relative to impact fees.

(e) The Town shall provide the County with a copy of the primary Building Permit.

3. **Refunds.** Any refunds requested shall be processed through the County Impact Fee Coordinator. In the event a refund is applied for, the Town shall confirm that the building permit or development order for the development upon which the impact fees were paid is of no further force and effect. The Town shall not thereafter allow any renewal or extension of the building permit or development order until such time as the impact fees have been paid.

4. **Failure of Funds Clearing.** The County shall notify the Town and feepayer if the funds for impact fees do not clear. The Town shall not perform any further inspections if the building permit is of no further force and effect pursuant to Section 13.A.14.A of the ULDC.

5. **Covenant.** If a covenant is necessary as determined by the Impact Fee Coordinator, the Town shall not issue the building permit or development order until the Impact Fee Coordinator notifies the Town that the Covenant is executed by the property owner and other necessary persons in recordable form.

6. **Administrative Fee.** The administrative fee set forth in Section 13.A.7, 8 shall accrue to the County and not to the Town. The County shall not charge the Town for any services associated with the collection of impact fees, as set forth in this interlocal agreement or Article 13 of the ULDC.

7. **Credits, Independent Fee Calculations.** Where a feepayer has made a request to the Impact Fee Coordinator for credits, an independent fee calculation, or for any other reason, the Town shall cooperate with the County and feepayer by providing to the County and feepayer information and documents in the Town's control.

8. **Code.** The County shall provide the Town with a copy of Article 13 of the ULDC so that the Town may ascertain what development orders and building permits must be referred to the County for calculation and payment of impact fees.

9. **Prohibition.** The Town shall not collect any impact fees assessed pursuant to Article 13 of the ULDC.

10. **Entire Agreement.** This Agreement constitutes the entire agreement between the parties. It may be amended from time to time by the mutual agreement of the parties executed with the same formality as this agreement. Either party may cancel this Agreement with thirty (30) days advance written notification to the other party.

11. **Governing Law and Dispute Resolution.** This Agreement shall be governed by and in accordance with the laws of the State of Florida. Any legal action necessary to enforce this Agreement shall be held in Palm Beach County. No remedy herein conferred upon any party is intended to be exclusive of any other remedy, and each and every such remedy shall be cumulative and shall be in addition to every other remedy given hereunder or now or hereafter existing at law or in equity by statute or otherwise. No single or partial exercise by any party of any right, power or remedy hereunder shall preclude any other or further exercise thereof. In any action brought by either party to enforce this Agreement, each party shall be responsible for its own attorneys' fees and costs. Each party also agrees to waive any and all rights to a trial by jury for any and all disputes or claims which may be related to or arise out of this Agreement.

12. **Notice.** All notices required or allowed under this Agreement shall be in writing, and deemed sufficient to each party when sent by United States Mail, postage prepaid, to the following:

All notice to the Town shall be sent to:

Town Manager
Town of Lake Park
535 Park Avenue
Lake Park, Florida 33403

All notice to the County shall be sent to:

Palm Beach County
Impact Fee Office
2300 N. Jog Road
West Palm Beach, FL 33411-2741
Attn: Attn: Derrek Moore, Impact Fee Manager

13. **Joint Effort.** The preparation of this Agreement has been a joint effort of the parties, and the resulting document shall not, solely as a matter of judicial constraint, be construed more severely against one party than the other.

14. **Execution.** This Agreement may be executed in two or more counterparts, each of which shall be deemed an original, but all of which together shall constitute one and the same instrument.

15. **Legal Compliance.** The County and the Town shall abide by all applicable federal, state and local laws, orders, rules and regulations when performing under this Agreement.

16. **Office of the Inspector General.** The County has established the Office of the Inspector General in Palm Beach County Code, Section 2-421 – 2-440, as may be amended. The Inspector General’s authority includes but is not limited to the power to review past, present and proposed County contracts, transactions, accounts and records to require the production of records, and to audit, investigate, monitor, and inspect the activities of the parties, their officers, agents, employees, and lobbyists in order to ensure compliance with contract requirements and detect corruption and fraud. Failure to cooperate with the Inspector General or interfering with or impeding any investigation shall be a violation of Palm Beach County Code, Section 2-421 – 2-440 and punished pursuant to Section 125.69, Florida Statutes, in the same manner as a second-degree misdemeanor.

17. **Public Records.** Each party shall be responsible for its own public records related to this Agreement, pursuant to Chapter 119, F.S.

18. **Severability.** If any section, paragraph, sentence, clause or provision of this Agreement is for any reason held by a court of competent jurisdiction to be unconstitutional, inoperative, or void, such holding shall not affect the remaining portions of this Agreement.

19. **Third Party Beneficiaries.** No provision of this Agreement is intended to, or shall be construed to, create any third-party beneficiary or to provide any rights to any person or entity not a party to this Agreement, including, but not limited to, any citizen or employees of the County and/or the Town.

20. **Assignment.** Neither the County nor the Town shall assign, sublet, convey or transfer its interest in this Agreement, in whole or in part, at any time.

21. **Effective Date Expiration, Term.** This Agreement shall become effective October 1, 2025 until April 1, 2026, for a term of six (6) months. Upon written notice no less than 30 days prior to the expiration date, the parties may agree in writing to extend the term of Agreement.

22. **Filing.** The County shall, upon the execution by both parties, immediately file this Agreement with the Clerk of the Circuit Court of Palm Beach County, Florida.

IN WITNESS WHEREOF, the parties have caused this Agreement to be executed and sealed this ____ day of _____, 202__.

TOWN OF LAKE PARK

BOARD OF COUNTY COMMISSIONERS
Palm Beach County, Florida

By: _____
Roger Michaud, Mayor

By: _____
Maria Marino, Mayor

ATTEST:

Vivian Mendez
TOWN CLERK

ATTEST:

Michael Caruso,
Clerk of the Circuit Court and Comptroller

By: _____

(DATE)

By: _____
(Deputy Clerk)

(DATE)

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY

By: _____
Town Attorney

APPROVED AS TO FORM
AND LEGAL SUFFICIENCY

By: _____
Assistant County Attorney

APPROVED AS TO TERMS
AND CONDITIONS

By: _____
Impact Fee Manger



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025 Special Called Commission Meeting
Originating Department: Clerk
Agenda Title: Minutes - Special Called Commission Meeting - October 8, 2025

Approved by Town Manager: _____ **Date:** _____

Cost of Item: \$0.00 **Funding Source:** _____
Account Number: _____ **Finance Signature:** _____

Advertised:
Date: NA **Newspaper:** _____

Attachments: Minutes, Exhibits A-F, Comment Cards

Please initial one:
 _____ Yes I have notified everyone
 LW _____ Not applicable in this case

Recommended Motion:

I move to approve the Minutes of the October 8, 2025 Special Called Commission Meeting.



Lake Park Town Commission, Florida

Special Called Commission Meeting

Commission Chamber, Town Hall, 535 Park Avenue, Lake Park, FL 33403

Wednesday, October 08, 2025

Immediately Following the CRA Meeting

Roger Michaud	—	Mayor
Michael Hensley	—	Vice Mayor
John Linden	—	Commissioner
Michael O'Rourke	—	Commissioner
Judith Thomas	—	Commissioner
Richard J. Reade	—	Town Manager
Thomas J. Baird	—	Town Attorney
Vivian Mendez, MMC	—	Town Clerk

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Town Commission, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contract the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER/ROLL CALL

7:03 P.M.

PRESENT

Mayor Roger Michaud

Vice Mayor Michael Hensley

Commissioner John Linden

Commissioner Michael O'Rourke

ABSENT

Commissioner Judith Thomas

PLEDGE OF ALLEGIANCE

The pledge was conducted during the Special Called CRA Meeting.

APPROVAL OF AGENDA:

Agenda items 17 and 9 were pulled from the agenda.

Motion to approve the agenda as amended made by Commissioner O'Rourke, Seconded by Vice Mayor Hensley.

Voting Yea: Mayor Michaud, Vice Mayor Hensley, Commissioner Linden, Commissioner O'Rourke.

SPECIAL PRESENTATION/REPORT:

1. Proclamation - Gold Star Mother's and Family Day - September 28, 2025
Vice Mayor Hensley presented Ms. Lauren Berkson with the proclamation.
Ms. Berkson thanked the Commission for their continued support.
2. Proclamation – National Voter Education Week – October 6th – October 10, 2025
Vice Mayor Hensley presented Supervisor of Election Wendy Link with the proclamation.

PUBLIC COMMENT:

This time is provided for addressing items that do not appear on the Agenda. Please complete a comment card and provide it to the Town Clerk so speakers may be announced. Please remember comments are limited to a TOTAL of three minutes.

Mayor Michaud announced the Michael Steinhauer and Evelyn Harris Clark have provided their comments via email and will be placed in the meeting minutes as exhibits.

-Mary Beth Taylor submitted comments via Exhibit A.

-Pablo Perhacs spoke about the Kimley-Horn report and the terms of the contract. He spoke about a social media post in regards to a stake-holders meeting.

-Susan LaFontaine provided comments via Exhibit B.

-James Sullivan spoke about bicycle safety in Town and a sign that may be needed at the intersection of 10th and Park.

-Comments were submitted via email prior to the meeting (Exhibits C and D).

CONSENT AGENDA:

All matters listed under this item are considered routine and action will be taken by one motion. There will be no separate discussion of these items unless a Commissioner or person so requests, in which event the item will be removed from the general order of business and considered in its normal sequence on the agenda. Any person wishing to speak on an agenda item is asked to complete a public comment card located on either side of the Chambers and given to the Town Clerk. Cards must be submitted before the item is discussed.

Commissioner O'Rourke asked if the agenda item number 9 was budgeted. Marina Director Jason Tenney stated yes.

Motion to approve the Consent Agenda made by Commissioner O'Rourke, Seconded by Vice Mayor Hensley.

Voting Yea: Mayor Michaud, Vice Mayor Hensley, Commissioner Linden, Commissioner O'Rourke.

3. Commission Budget Workshop Minutes - September 4, 2025
4. First Public Budget Hearing Minutes - September 8, 2025
5. Regular Commission Meeting Minutes - September 17, 2025
6. Second & Final Public Budget Hearing Minutes - September 18, 2025
7. Resolution 75-10-25 - Janitorial Services (Town Facilities)(Renewal) - Image Janitorial Services, Inc. - \$98,656.79 (Various Budget Funds).
8. Resolution 76-10-2025 Establishing the Qualifying Period for the March 10, 2026 Municipal Election
9. Resolution 77-10-25 - Marina Management Software (Renewal) - The Wanderlust Group (TWG)(DOCKWA) - \$1,068.32 per month (or \$12,819.84 annually)
10. Resolution 78-10-25 - Florida City Week - October 20-26, 2025
11. Resolution No. 79-10-2025 – Annual Generator Maintenance & Service Agreement – Megawattage, LLC – \$6,640.06 Annually
12. Resolution 80-10-25 - 2025-2026 State Aid to Libraries Grant Program - Division of Library and Information Services (DLIS) - \$5,408
13. Fiscal Year 2026 Town of Lake Park Pay Grade Chart & Amend Pay Grades - Two (2) Positions
14. Emergency Equipment Rental (Extension) – Automated Side Loader – Big Truck Rental – \$20,600

PUBLIC HEARING(S) - ORDINANCE ON FIRST READING: NONE

PUBLIC HEARING(S) - ORDINANCE ON SECOND READING: NONE

NEW BUSINESS:

15. Resolution 81-10-25 - Water Treatment Services (Town Irrigation Systems) - Service, LLC - \$12,503.28 Rust Tech

Public Works Director Jaime Morales explained the item. Commissioner Linden asked if there was a cost increase. Public Works Director Morales stated there was a five percent increase.

Motion to approve Resolution 81-10-25 made by Commissioner O'Rourke, Seconded by Commissioner Linden.

Voting Yea: Mayor Michaud, Vice Mayor Hensley, Commissioner Linden, Commissioner O'Rourke

16. Discussion - Proposed Building Preservation & Compliance Improvements - Lake Park Town Hall

Mr. Tim Hullihan of TFH Architects presented to the Commission (see exhibit E).

Mayor Michaud clarified the placement of some of the parking spaces as a result of the improvements. Public Works Director Morales stated that a possible re-work of the restroom facilities would be reviewed after this project was completed as a part of enhancing the safety of the Chamber.

17. Discussion - Educational Advisory Committee - Town of Lake Park Library

This item was pulled from the agenda because Commissioner Thomas requested the item and she is absent from the meeting. The item will appear on the October 22, 2025 Commission Meeting.

18. Special Event Request - 2025 Vets Day Car Show – Co-Sponsor Event & Waiving of Various Town Special Event Fees (Direct Costs - \$715 & Indirect Costs - \$2,692)

Special Event Director Riunite Franks explained the item (Exhibit F). The Commission expressed their desire to be recognized as a partner in the event. Town Manager Reade

explained that the Commission will need to consider the amount of funds that are waived for events and the impact it makes on the Town's budget.

Motion to approve the waiver request made by Commissioner O'Rourke. Seconded by Commissioner Linden. Commissioner O'Rourke suggested the event holders approach Earl Stewart for next year's event. The Commission also discussed the possibility of future sponsorships from local businesses. Commissioner O'Rourke also suggested approaching Mullinax.

Voting Aye: All.

TOWN ATTORNEY, TOWN MANAGER, COMMISSIONER COMMENTS:

Town Attorney Baird provided an update on the 1100 2nd Court case. He stated that there is currently a delay with the roof and the Town will be going before the Special Magistrate regarding code violations on this case.

Town Manager Reade explained the Mobility Fee and Impact fee with Palm Beach County. The new contract is expected on the October 22nd meeting agenda. He also stated that they are working on P3 Comprehensive Agreement amendments and discussions will be forthcoming. He stated that the Avalon Bay top out event is under way and anticipated for November. Town Manager Reade stated that they are waiting for a status report on 918 Park Avenue and mentioned that they have a December deadline with the Special Magistrate. He stated that the Community Clean up event is scheduled for Saturday October 18th. Mayor Michaud asked who was paying for this event. Special Events Director Franks explained that the cost to the Town would be staffing of four Public Works employees and the Town is also paying for the lunch. Town Manager Reade announced the Sunset Celebration with Halloween Contest and Commission Chili Cook off on October 31st. He also announced a Park Avenue Downtown District (PADD) report forthcoming. He discussed an email that was received regarding some concerns and announced that a separate meeting will not take place. He stated that another report would come before the Commission and the public would have an opportunity at that point to speak on the topic. He asked the Commission for their opinion on a future meeting with the public. Mayor Michaud expressed that another meeting would not be needed. Commissioner Linden stated that he wanted to have another meeting because there were unanswered questions from the last meeting. Town Attorney Baird explained that according to the scope of the contract Kimley-Horn has completed their study. They will present their final study

to the Commission with public comment, but there will be no further opportunity to submit direction. He stated that if they wanted to pursue another meeting, they would have to amend the contract with Kimley-Horn which would incur further expense to the Town. He went on to say that after the final report, if there were amendments to the comprehensive plan or land development regulations, or both, then those items will be reduced to ordinance. Vice Mayor Hensley asked for clarification regarding the report. Town Attorney Baird confirmed that the report is complete. Commissioner O'Rourke does not believe another meeting is necessary. Community Development Director Nadia DiTommaso reviewed their most recent timeline which indicated that the June meeting was already an additional meeting. They had indicated that they would proceed with next steps in the contract which included updating the development scenarios, providing an updated report for comment and feedback. The next meeting after that would have been in July for a Commission update, but that meeting was never held. If the additional meeting is no longer desired, then the next step would be to proceed to the Planning & Zoning Board and the Local Planning Agency with their recommendations drafted into ordinance format, followed by the Town Commission approval on first reading for the comprehensive plan amendments, which would then need to be submitted to the state prior to second reading. Town Manager Reade stated that they would negotiate with Kimley-Horn to see if they would need to be present at second reading of the Ordinance in an attempt to keep them closer within the scope of the contract. The Commission came to consensus to not hold an additional meeting with Kimley-Horn. Town Attorney Baird stated for further clarity that Kimley-Horn would submit the final report to the Commission. Town Manager Reade reminded the Commission about email signatures and spoke about public comments. He stated that staff proposed to respond to the community and copy the Commission. The Commission gave consensus for a Proclamation request for the Twiggs Academy. Town Manager Reade announced his election as President of the Palm Beach County City Managers Association (PBCCMA) during this upcoming year. Commissioner O'Rourke asked for a Marina update regarding open slips. Marina Director Jason Tenney stated that because of downsizing of businesses at the Marina, some slips have become available. He stated that they are actively working on filling the slips with people who are on the waitlist.

Commissioner Linden spoke about wanting to review the Johnson Controls contract for air conditioning services. He mentioned a second Car Show at Texas Roadhouse on the October 15th and also spoke about the Chili Cook-off on October 31st.

Vice Mayor Hensley congratulated the Town Manager on his election and wished Commissioner Thomas a happy anniversary.

Mayor Michaud wished a happy anniversary to Commissioner Thomas and thanked Vice Mayor Hensley for fire station tour. He spoke about a family member who recently passed who was a long time Lake Park resident.

REQUEST FOR FUTURE AGENDA ITEMS: NONE

ADJOURNMENT:

Motion to adjourn made by Commissioner Linden. Seconded by Commissioner O'Rourke.

Voting Aye: All

8:50 p.m.

FUTURE MEETING DATE: Next Scheduled Commission Meeting will be held on October 22, 2025.

Mayor Roger D. Michaud

Town Seal

Town Clerk, Vivian Mendez, MMC

Deputy Town Clerk, Laura Weidgans

Approved on this _____ of _____, 2025

October 8, 2025

PUBLIC COMMENTS

Good Evening, Mary Taylor, 209 park Ave.

Before I begin I must share with the Town Manager, Mayor, Commission, Captian Sanford, and deputies, that residents appreciate the diligence and increased visibility of the sheriff department, especially since school started. Thank You!

What I am discussing now is strictly between The Town of Lake Park and Forest Development. On December 18, 2019, the Town adopted resolution NO. 97-12-19 to approve Forest's construction of the Nautilus. Three of you voted to pass the resolution. The approval was based on promises made by Forest Development. *I will read Paragraph 23 of the resolution.*

Within 18 months of the effective date of this resolution, the Owner shall initiate bona fide development and shall continue with the development of the Site through completion. Failure to do so shall render the Development Order null and void. Once initiated, the development of the Site shall be completed within 36 months. *The effective date is December 18, 2019. This means that Forest had to begin development by March 2021. Paragraph 23 says that Forest would complete the Nautilus in 36 months. If construction began in May 2021, 36 months would be May 2024. Forest promised it's buyers that construction would be finished by January, 2024. Today, Forest is at least 15 months in violation of it's promise. During the Nautilus construction the developer appeared before the commission and requested exceptions and waivers for their construction processes, which were always granted.*

Last year the Town of Lake Park spent \$750,000 for additional sheriff personnel based on the promise of occupancy Forest made to the Town, on December 18, 2019. That promise was broken, thereby causing the Town to suffer serious financial harm. However, there is a legal remedy in contract law to address the losses. Losses incurred due to the Town's reliance on Forest's promise, a broken promise. Fortunately, Detrimental Reliance, in Contract Law, is available to recover the money that Forest Development owes the Town for failing to fulfill the terms and promises it made on December 18, 2019. ***The Town of Lake Park owes it to it's citizens to pursue a \$750,000 reimbursement from Forest Development.*** LAKE PARK CANNOT AFFORD TO CONTINUE SPENDING, WASTING, AND LOSING, LARGE SUMS OF MONEY. THANK YOU!

October 8, 2025,

CRA Public Comments

Mary Taylor, 209 Park Ave.

You may remember hearing this before, it is true!

In the United States the most important office is that of CITIZEN. Citizens are a powerful force for change. Recently we have witnessed how much Lake Park residents care about their position in this Town. They have shown up at workshops and voiced their opinions about the height and density that should be allowed in the PADD. Height and density are HOT topics all over right now. There are complications too. SB180, etc. but residents deserve to be kept informed about important issues like these.

The Kimley Horn Report was presented on June 2, 2025 at a workshop.

WHERE IS IT?

IS IT CURRENT?

IS THE REPORT FINAL?

WHEN WILL THE REPORT BECOME A WORKING DOCUMENT THAT WILL CLARIFY FOR RESIDENTS AND DEVELOPERS THE NEXT STEPS, CHANGES AND TIMELINES IN THE COMPREHENSIVE PADD PLAN?

PLEASE INCLUDE AN UPDATE IN THE NEXT COMMISSION MEETING AGENDA

REGARDING MEETINGS: Town Sponsored Meetings, public outreach, concerning town topics should be widely advertised, well in advance, and welcoming to public input, regardless of time and location.

Thank You for your consideration of this matter.

Exhibit B

For Inclusion
in minutes

Town

Item 7.

On Dec 2, 2019 our Planning & Zoning Board approved Resolution 97-12-19 to allow the Nautilus condo construction, WITH a condition that staging and storage of construction materials and equipment would be prohibited on the Forest-owned old Rosita's lot on the west side of US 1. The minutes of that meeting include, and I quote: **"Mr Terry clarified that the intent to use the Rosita's parcel was for an office and not for staging of construction materials. He stated that they were willing to work with staff to ensure this remains the case throughout the construction...."**

Two weeks later, during the 12/18 Commission's discussion of this proposed Nautilus Resolution, Commissioner Linden asked why the P & Z Board's recommended prohibition of construction staging or storage on the Rosita's lot wasn't included in the final resolution? Ms DiTommaso said the Developer would discuss it during their presentation, & the meeting minutes include a statement from KAST construction about "the logistics of staging equipment". Which didn't include any specifics. BUT, one of the slides in the Nautilus presentation that day (on pg 111 of the minutes) show the Rosita's lot with only a building on it, named "KAST Administrative Office". So I can only presume that the prohibition of staging & storage on the Rosita's lot was left off of the final Resolution, per the Insite presentation Dec 18 and Mr Terry's statement at the Dec 2 P&Z meeting.

But, the Rosita's lot has had lots construction equipment on it going back to Jan 2024 per Google Earth, and huge stockpiles of dirt growing on it for months - Some tarped, to contain the sediment, and some still not tarped. Take a drive by. I included some photos my handout today.

In the email I sent you all yesterday I asked: Did someone give the Nautilus project permission to use the Rosita's lot for this staging & storage ? If so, who & when, & Did the Commission know about it and approve it? No answer yet.

== == == == ==

Can Mr Reade or someone on the Commission please ask FPL that when they present their proposal for Phase 2 for adding over three hundred street lights to the town, that they include the initial installation and yearly operating cost differences between the options in four different areas which I included in my handout

**LEDs at 3000 Kelvin vs 2700 Kelvin (preferred). 2700 is what FPL placed in Lake Worth Beach in 2017 after those residents objected to the higher kelvin LED street lights. AND*

**between blue/white LEDs vs Amber (preferred), AND*

**between street lights without vs With shielding (preferred) , AND*

**Drop lens vs Flat lens (preferred)*

I know some of these environmentally favorable options may cost more, but at least, please request FPL's phase II proposal include the different costs so you can make the most informed decision. I've again attached a handout with several articles explaining best practices to utilize the benefits LED streetlights and to also mitigate their known adverse effects on humans as well as birds, pollinators & other wildlife. Please at least read the WLRN article I cited about how other S Florida towns are addressing this issue.

. == == == ==

The marina ofc has a collection point, but there's always used lines & sometimes hooks laying on the far end of the fishing pier, waiting to be blown or thrown into the water. Please install receptacles out there to further support the town's commitment to protecting our waterway. Details in the handout I've included.

== == ==

Why is the playground at Bert Bostrom Park closed and the gate locked during the day?

Thank you. Susan LaFontaine 10/8/2025

From: suelafontaine

To: Nadia DiTommaso, rmichaud@lakeparkflorida.gov, mhensley@lakeparkflorida.gov, John Linden, morourke@lakeparkflorida.gov, jthomas@lakeparkflorida.gov, Richard Reade, Thomas J. Baird
Tue, Oct 7 at 6:42 PM

Dear Ms DiTommaso, Mayor Michaud, Commissioners, Mr Reade & Mr Baird,

Is the storage of huge sand stockpiles & other construction equipment by the Nautilus 220 project on the Old Rosita's lot at Cypress Dr & the west side of US-1 (see photos attached) prohibited?

The P&Z Board's approval of Nautilus' Resolution 97-12-19 at their Dec 2, 2019 meeting had this prohibition as a condition of their approval. Excerpts from that meeting, starting on page 7:

"Chair Thomas spoke frankly about not liking the staging of this project at the Rosita's parcel on the west side of US-1 ... Chair Thomas explained that there was nothing in the packet that discussed the staging of material and wanted her concerns placed on the record. She wanted it as a condition of approval ..."

Mr Terry clarified that the intent to use the Rosita's parcel was for an office and not for staging of construction materials. He stated that they were willing to work with staff to ensure this remains the case throughout the construction...

Motion: Vice-Chair Schneider moved to approve the project ... and with a condition that the applicant coordinate with the Town with regards to an alternative construction staging site for the location and storage of construction materials and that the Rosita's site may be used for administrative purposes...

Motion passed 3-0"

(The 12/2/19 P&Z Board minutes are in the 1/6/2020 P&Z meeting agenda packet
@ <http://www.lakeparkflorida.gov/home/showpublisheddocument/6398/637145905097400000>)

Then at the Dec 18, 2019 Commission meeting, Commissioner Linden asked, on page 3 of the minutes:

Commissioner Linden asked if the staging of equipment and construction material had been discussed because it was not included in the conditions of approval as the Planning & Zoning Board had requested. Community Development Director DiTommaso explained that a logistic plan has been submitted and the Developer would discuss it during their presentation.

Mr. Brian Terry of Insite Studio and Larry Zabik of Zabik & Associates gave a presentation of the Nautilus 211 project (see Exhibit "C").

On page 4 of the minutes is this:

Mr. Mike McKonnel representing Kast Construction explained the logistics of staging equipment in the parking lots around the property. During hurricane season, the equipment would be secured from damage per their policy.

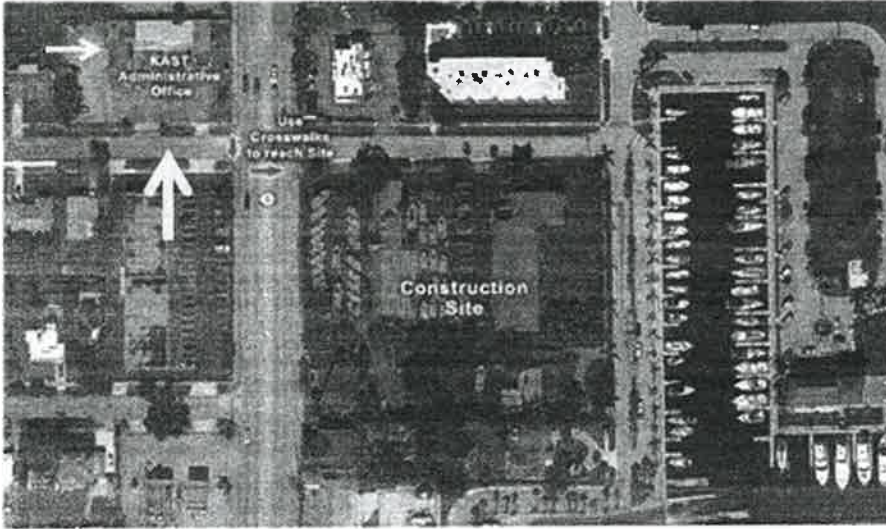
There's no record of what exactly Mr McKonnel said,

But on page 111 the applicant Mr Terry included the below, reconfirming what he had told the P&Z Board, that the Rosita's lot on the west side of US-1 would used for an administrative office:

891

Suzan LaFontaine
10/8/25

Top left corner: "KAST Administrative Office":



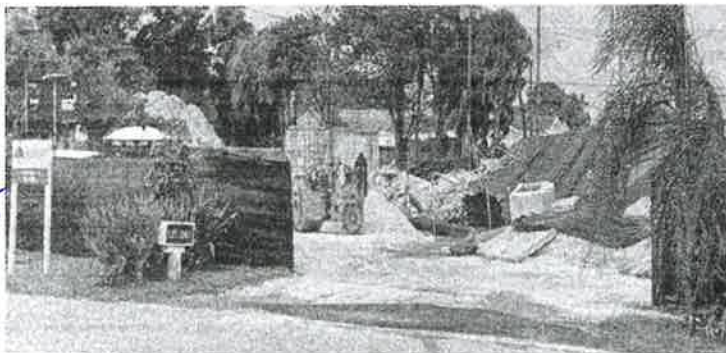
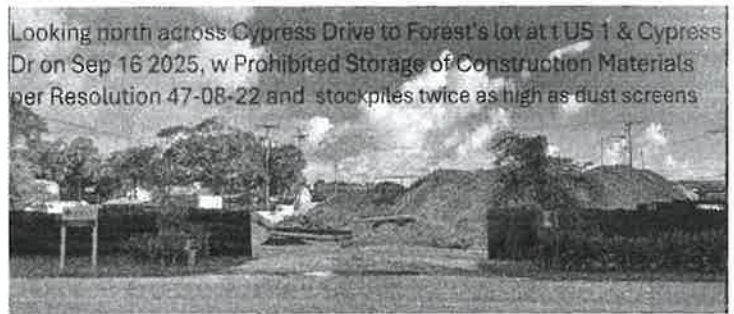
insite studio

Did someone give Mr Terry/Insite Studio/ Nautilus 220/ Kast Construction permission to use the Rosita's lot for construction storage? if so, who & when? Did the Commission approve it?

Give it a drive by to see for yourself. Attached are recent photos. The later photos shows Forest/Kast has now tarped some of the stockpiled dirt, (wind mitigation) but not the larger pile, and is storing even more equipment there. Thank you in advance for your clarification.

Sincerely,
Susan LaFontaine, 545 Evergreen Dr

Photos from Sept 16 and Oct 2 & 4:

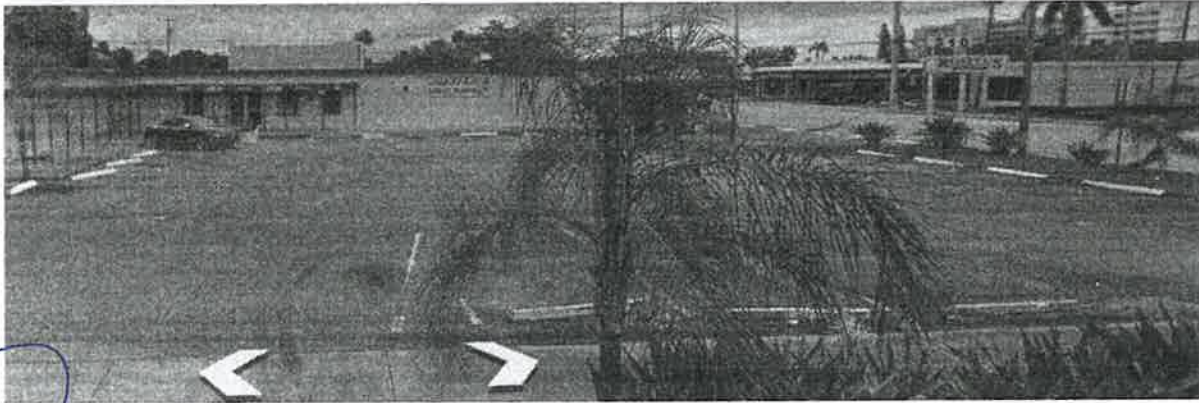


Pg 2

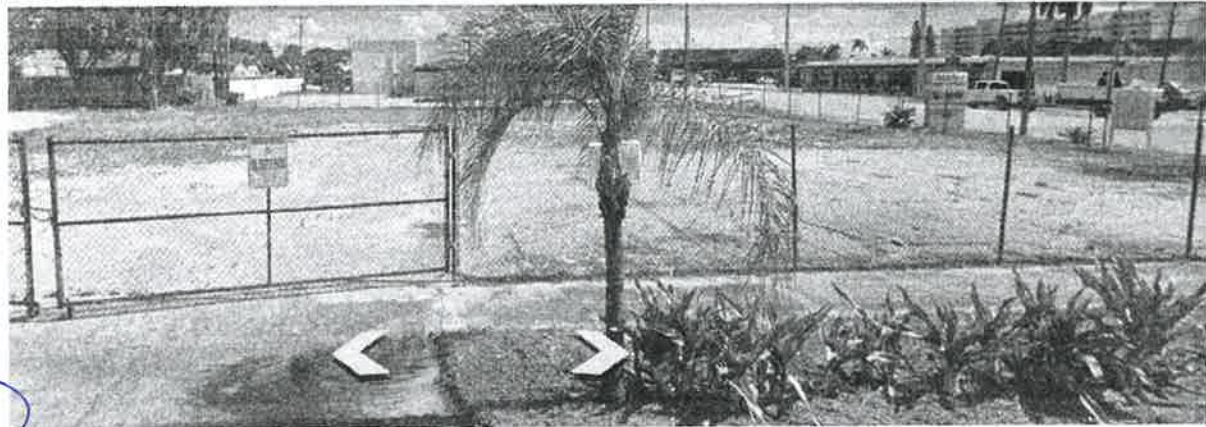
Google Earth photos

2016, 2022 + Jan 2024

Google Earth 114 Cypress Drive



2016



2022



Jan 2024

893

Dear Commission,

Item 7.

Can Mr Reade or someone on the Commission please ask FPL that when they present their proposal for Phase 2 for adding over three hundred street lights to the town, that they include the initial installation and yearly operating cost differences between the options in four different areas which I included in my handout

**LEDs at 3000 Kelvin vs 2700 Kelvin (preferred). 2700 is what FPL placed in Lake Worth Beach in 2017 after those residents objected to the higher kelvin LED street lights. AND*

**between blue/white LEDs vs Amber (preferred), AND*

**between street lights without vs With shielding (preferred) , AND*

**Drop lens vs Flat lens (preferred)*

I know some of these environmentally favorable options may cost more, but at least, please request FPL's phase II proposal include the different costs so you can make the most informed decision. The above four areas are because lower Kelvin, amber colored lights, light shielding, and flat light lens are all geared toward eliminating light trespass and reducing glare to drivers & pedestrians, also in reducing skyglow and the adverse effect of LED street lights on migrating birds & other wildlife, including pollinators, and on humans, per the American Medical Association.

Please read the articles I've cited here for a good summation about this issue, especially the May 2023 article of how other south Florida towns are addressing this issue, by searching "WLRN & Street lights."

"LED streetlights are energy efficient, but are they environmentally friendly? It's complicated". The article includes info of how other south Florida towns are addressing this issue with FPL. @ www.wlrn.org/news/2023-03-06/led-streetlights-are-energy-efficient-but-are-they-environmentally-friendly-its-complicated

Thank you. Susan LaFontaine

Oct 8, 2025

"AMA adopts guidance to reduce harm from high intensity street lights", @ www.ama-assn.org/press-center/ama-press-releases/ama-adopts-guidance-reduce-harm-high-intensity-street-lights, which includes "The AMA also recommends all LED lighting should be properly shielded to minimize glare and detrimental human health and environmental effects"

And **"LED Streetlight Glare – Causes & Solutions"** @ www.lightnowblog.com/wp-content/uploads/2022/10/Evluma_Glare_Whitepaper_092022-1.pdf

And **"Illuminating Safety: Harnessing Dark Sky Lighting for Crime Prevention"**, published by the Chicago International Dark Sky Association. It "explores the relationship between the 5 principles of Dark Sky lighting and **Crime Prevention Through Environmental Design (CPTED)**, and includes "These simple approaches can lessen the opportunity for illicit activity and create a sense of security and quality of life in our communities." @

www.idachicago.org/resources/illuminating-safety-harnessing-dark-sky-lighting-for-crime-prevention

SLF

Susan LaFontaine
10/8/25

"Improperly discarded fishing line accounts for many tragic entanglements of manatees, birds, turtles, dolphins, and other wildlife who often suffer from starvation, loss of limbs, and eventual death from infection, or ingestion of the line. Fishing line discarded in our waterways also fouls boat propellers and is a serious litter problem, especially around boat ramps and fishing areas."

Source: www.volusia.org/services/growth-and-resource-management/environmental-management/sustainability-and-resilience/florida-manatee/monofilament-recycling-program/

Dear Commission,

Most fishermen using the marina pier are responsible, but I'm out there several times a week **and there's always broken fishing line & sometimes hooks negligently left on the pier**, waiting to be blown or thrown into the water.

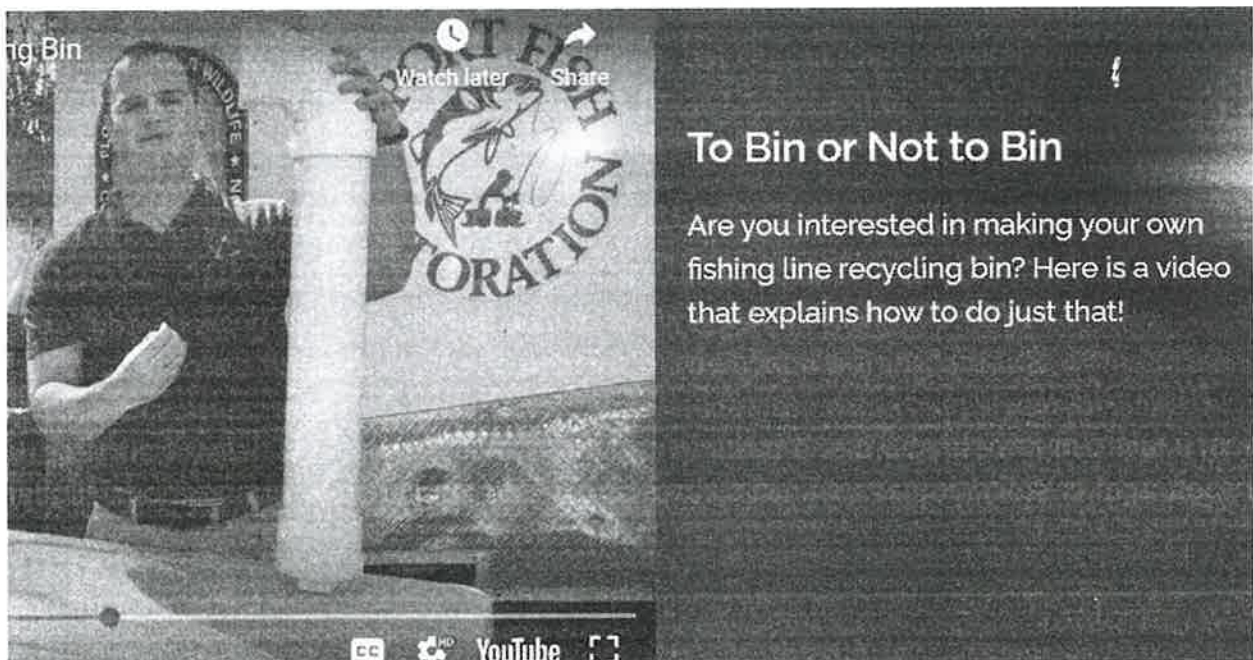
Can you please install a couple of receptacles to collect used fishing line & hooks out on the pier, especially at the far end? Fla Fish & Wildlife has a quick you tube showing an easy, cheap way to build these, at <https://mrrp.myfwc.com>.

The FWC website also says our marina office already has a monofilament recycling bin, Yeah! So installation of these receptacles out on the pier would make it more likely that all fisherman would use them, and would further the Town's commitment to protecting our waterway.

Thank you for your action.

Susan LaFontaine

10/8/25



pg 5

Written Testimony for the Lake Park, FL Commission
Regarding the 3 Minute Practice for Public Comments

FOR THE PUBLIC RECORD

October 8, 2025 VIA EMAIL TO THE MAYOR, COMMISSIONERS, TOWN MANAGER
AND TOWN CLERK

Michael Steinhauer, 435 Greenbriar Dr., Lake Park. Pipestone1992@gmail.com
608-332-5547

Good day!

Please note my requests/suggestions at the conclusion of this written testimony. I anticipate a thorough and complete response to my written communication with the Commission, a matter of public record. This body has previously contemplated in Commission meetings the necessary step to complete the circle of public engagement.

I am testifying today about the customary but **not codified, I repeat not codified anywhere**, practice of the Commission's 3-minute limit for public comments. I did an exhaustive search of every Lake Park ordinance from 2003 to the present and every Lake Park Resolution from 2016 to the present and found no related ordinance or resolution. I also researched cities, county, state, and federal mandates that extend beyond their immediate jurisdiction and found no references that would pertain to Lake Park. Each municipality may have ordinances, but they only extend to the borders of their jurisdiction.

The cumulative weight imposed on lay people of overcoming fear, ridicule, and mistakes makes the 3-minute rule unreasonable. Residents cannot meet or exceed the expectations of business communication and testimony.

My written statement here cites numerous associations, organizations, think tanks, and the recommendations of government to promulgate standards around effective testimony communication. These entities include but are not limited to:

- The American Psychological Association
- American Speech and Hearing Association
- the American Bar Association
- American Trial Attorney's Association
- Universities of Higher Learning and their numerous departments that instruct on effective public speaking, and the elements of specialized professional verbal communications
- North American Mission Board

- Farm Votes Matter
- lobbyist associations
- state legislative bodies and
- Congress, publishing tips for your visits to Capitol Hill, all these and hundreds more organizations weigh in on effective testimony skills.

Collectively, here is what I extracted from the literature:

Effective business communication is about delivering messages and promoting understanding, trust and cooperation.

The 7 Cs stand for being: **clear, concise, concrete, correct, coherent, complete, and courteous.**

An effective testimony should be engaging, demonstrating honesty, and at least a broad understanding of the subject matter. It should be tailored to the audience, in this case the Commission, avoiding jargon and overly complex language.

The literature on effective testimony skills continues:

- **Keep it short:** Aim for a few minutes to capture the essence of your story without overwhelming the audience.
- **Use simple language:** Avoid jargon and technical terms that might confuse your audience.
- **Present a clear and logical flow:** Structure your testimony with a beginning, middle, and end to guide the listener.
- **Rehearse your testimony:** Practice your testimony until it flows naturally and you feel confident.

2. Authenticity and Honesty:

- **Be genuine:** Share your story with sincerity and avoid exaggerating or fabricating details.
- **Acknowledge your limitations:** If you don't know the answer to a question, be honest and say so.
- **Project credibility:** Maintain a positive attitude and project confidence in your message.

3. Engaging and Relatable:

- **Use storytelling techniques:**

Share a specific experience or situation that connects with the audience's concerns.

- **Connect with your audience by evoking emotions**

4. Tailoring to the Audience:

- **Adjust your language tone** to suit the specific group you are addressing.
- **Avoid overly technical language:** Ensure your message is accessible to a diverse audience.
- **Be mindful of your audience's expectations:** Understand what they want to hear and tailor your message accordingly.
- **And frame your message as a call to action, highlighting your passion for the issue and your desire for change.**

Residents, most of whom are lay speakers, struggle to employ these standards of testimony, and all within 3 minutes. Why? Who invented the number 3? I reiterate that this practice is not specified or required by any regulation found in local, county, state, or federal authorities.

Our testimony is not a race or sprint. It is our best effort to share with you how we feel. And Lake Park residents feel passionate.

REQUEST AND SUGGESTIONS:

I hope you will consider this matter for an upcoming agenda item, so we can debate the merits of some starting point suggestions:

- 1) increase the allowance to 4 minutes. Given the complexity of our culture, and the importance of the issues, and now that the residents of Lake Park have found their voice and believe they can make a positive contribution to the quality of life in our town, give your community another minute of your time. If I were to make a search of the minutes for each Commission meeting over time, and determine the number of public speakers for each, I could multiply by 3 to get the total number of minutes spoken by all commentators, I would then compute the trivial fraction of public comments made to the actual length of the meetings. My guess is that the percentages will be minuscule. So would any upgrade to 4 minutes.
- 2) keep the 3-minute practice, but during that time open necessary dialog between the speaker and the members of the dais. If time allows and at the discretion of the Mayor, extend the discussion if it is useful, instructive, and civil. Beyond the 3 minutes of dialog, refer the speaker to the

appropriate Commissioner, or the Town Manager, or Town Attorney for further input.

- 3) As a general practice, and at the discretion of the mayor based on the complexity of the night's agenda, allow a resident to complete a pink sheet and provide verbal or written testimony on behalf of another Lake Park resident who is unable to attend the meeting.
- 4) As a general practice, and at the discretion of the mayor based on the complexity of the night's agenda, allow a resident to complete up to 3 pink sheets for public comment per meeting speaking for themselves on different matters.
- 5) Enhance a resident's capacity to add an agenda item to the Commission's agenda. Maybe require 10 signatures in support of a resident's request for an agenda item, like a "Citizen's Petition."
- 6) Promote a monthly "Town Hall" meeting with residents to dialog with more specificity around a topic or topics of current interest to stakeholders. Rotate the oversight of each monthly meeting among the Mayor and Commissioners.
- 7) Enhance our video feed technology via YouTube, such that a camera position can be focused on those residents who offer a public comment.

These suggestions do not impact on the town's budget or have any financial impact. These do however create a beginning of further discussions, and puts the walk in the walk, something I hear from the dais almost every meeting, beyond the talk just being talk.

Be the vanguard of the democratic process to welcome municipal resident engagement.

Thank you.

From: [Michael Steinhauer](#)
To: [Roger Michaud](#); [John Linden](#); [Michael Hensley](#); [Judith Thomas](#); [Michael O'Rourke](#); [Richard Reade](#); [Vivian Mendez](#)
Cc: [Katia Zhestkova](#); [Pablo Perhacs, JD, PhD, SciLaw](#); suelafontaine@aol.com; [Mary Taylor](#); [Kelly Steele](#); kbaptiste592@gmail.com [Kervins Jean-Baptiste](#); [Michael Steinhauer](#)
Subject: Public Testimony, October 8, 2025 PUBLIC RECORD re: Lake Park Practice of Public Comments at Commission Meetings
Date: Monday, October 6, 2025 8:12:21 PM
Attachments: [Lake Park SACE Testimony re 3 Minute Rule \(1\).docx](#)

Lake Park Elected Representatives, Town Manager and Clerk, Fellow Neighbors and Friends: Your received receipt is appreciated.

Please see attached written testimony regarding the subject matter listed above. I hope it can serve as an upcoming agenda item for a Commission meeting, and a starting point of open dialog and discussion to *enhance the feedback you seek* on matters of interest or concern for Lake Park residents. I am compelled to act as enough residents have urged me to proceed with addressing Lake Park public comment practices.

I regret not being present for the October 8th meeting (daughter's wedding), while wanting to address this issue after completing my research and quantifying some suggestions moving forward.

Thank you for your time and consideration in reviewing my testimony. Good day!
M.

Michael J Steinhauer, BS, OTR/L, MPH, FAOTA
Resident and Secretary/Treasurer, Lake Park Society for the Advancement
of Civic Engagement
435 Greenbriar Drive
Lake Park, FL 33403
Cell: 608-332-5547



Exhibit D

From: ehclarkbar@aol.com
To: [Vivian Mendez](#)
Subject: The special certificate of appropriateness for the Town of Lake Park Town Hall Renovations
Date: Wednesday, October 8, 2025 12:09:30 AM

October 7, 2025

Evelyn Harris Clark
254 Greenbriar Drive
Lake Park, FL 33403
Email: Ehclarkbar@aol.com

Vivian Mendez, MMC
Town Clerk
Town of Lake Park
535 Park Avenue
Lake Park, Florida 33403
vmendez@lakeparkflorida.gov

Hello Ms. Mendez:

I am writing as a resident of the Town of Lake Park. Requesting to have this communication recorded or read at the applicable city council meeting regarding the special certificate of appropriateness for the Town of Lake Park Town Hall Renovations and TFH Architecture agenda item.

After studying TFH Architecture's plan to upgrade the building's exterior façade and replace the double-entry glass door at the east side of the commission chambers, I have a few aesthetic renovation recommendations for consideration by the council as they vote on the agenda item.

<!--[if !supportLists]-->1. <!--[endif]-->While the new ADA accessible pathway to the commission chamber doors, and reconfiguring the parking lot renovations would be

underway, I am requesting council to consider extending the pathway by 1 foot or more. This expansion could include added welcome bench seating for residents/visitors who gather for commission chambers meetings. It will all be demolished and restored anyway.

<!--[if !supportLists]-->2. <!--[endif]-->The parking lot will be redesigned and upgraded anyway. This is an opportunity to incorporate more community greenspace in the upgraded parking lot. Currently, the east side of the commission chambers parking lot entrance and exit faces Seminole Street and its beautiful, wide landscaped median. Why not complement and add an appealing landscaped horseshoe entering and exiting configuration, where the community could sit and wait for meetings

<!--[if !supportLists]-->3. <!--[endif]--> Next, while both the ADA pathway and parking lot will undergo improvements, the covered alcove with gray painted concrete will not fit aesthetically in. It would be prudent to overlay that area with applicable complementary materials to match the ADA pathway and parking lot.

For further clarification, I spoke with the representative from TFH Architecture and Anders to convey feasibility suggestions. Each could articulate our discussion about the above points.

Thank you for your time and consideration.

Evelyn Harris Clark, Resident

Hardening and Accessibility Improvements



Exhibit E

535 Park Avenue, Lake Park, Florida

Historic Town Hall: Limited Exterior Modifications

*Presentation to the Town Council
October 01, 2025*

Item 7.



1 KEY SITE PLAN - TOWN HALL, LAKE PARK, FLORIDA

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REMOVED				
OF				
PAINT				
OF				
REMOVED				
THE				

TOWN OF LAKE PARK
Town Hall Accessibility Improvements + Window/Door Replacements
335 Park Avenue, Lake Park, Florida



 FL Lic. #: ARD0103

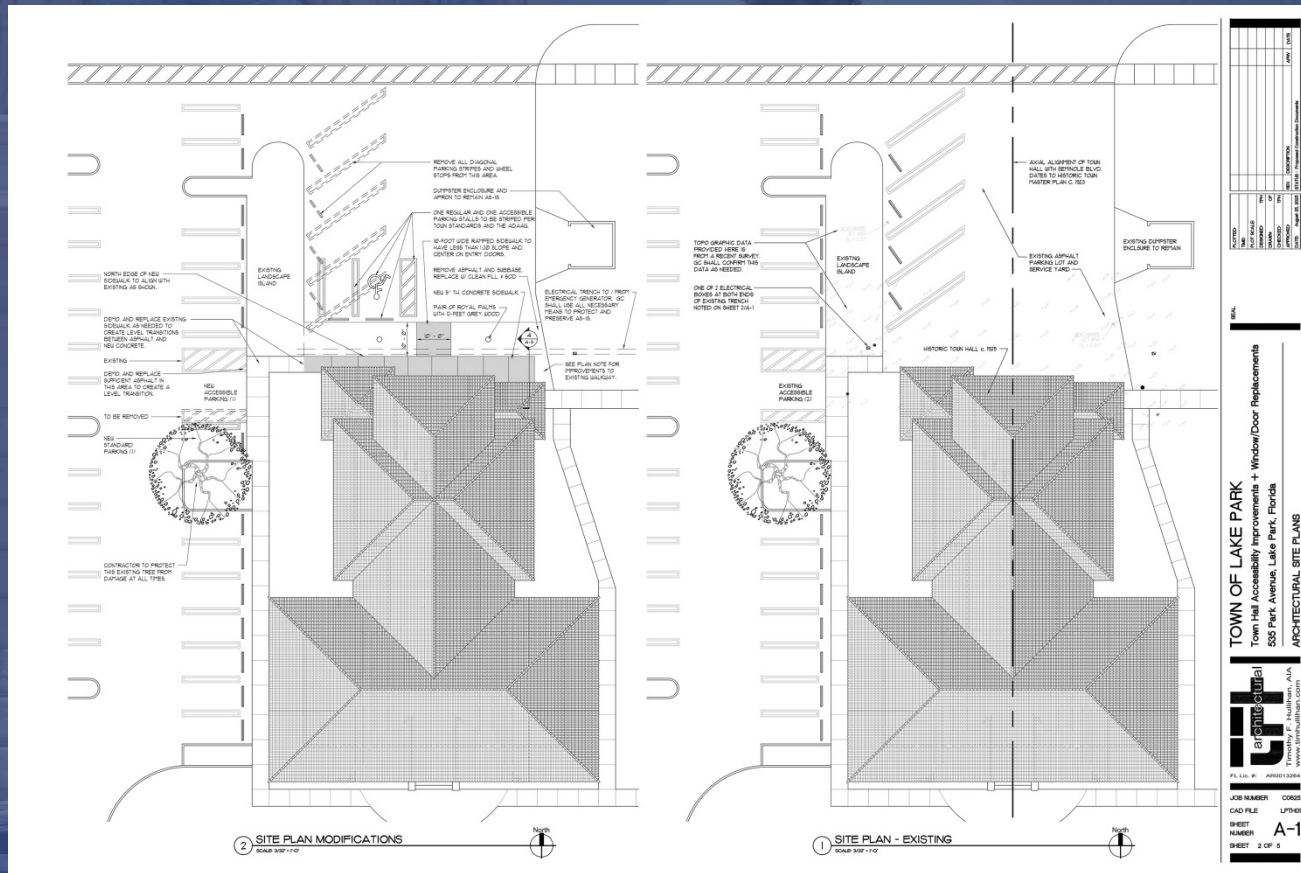
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 CAD FILE: LPS

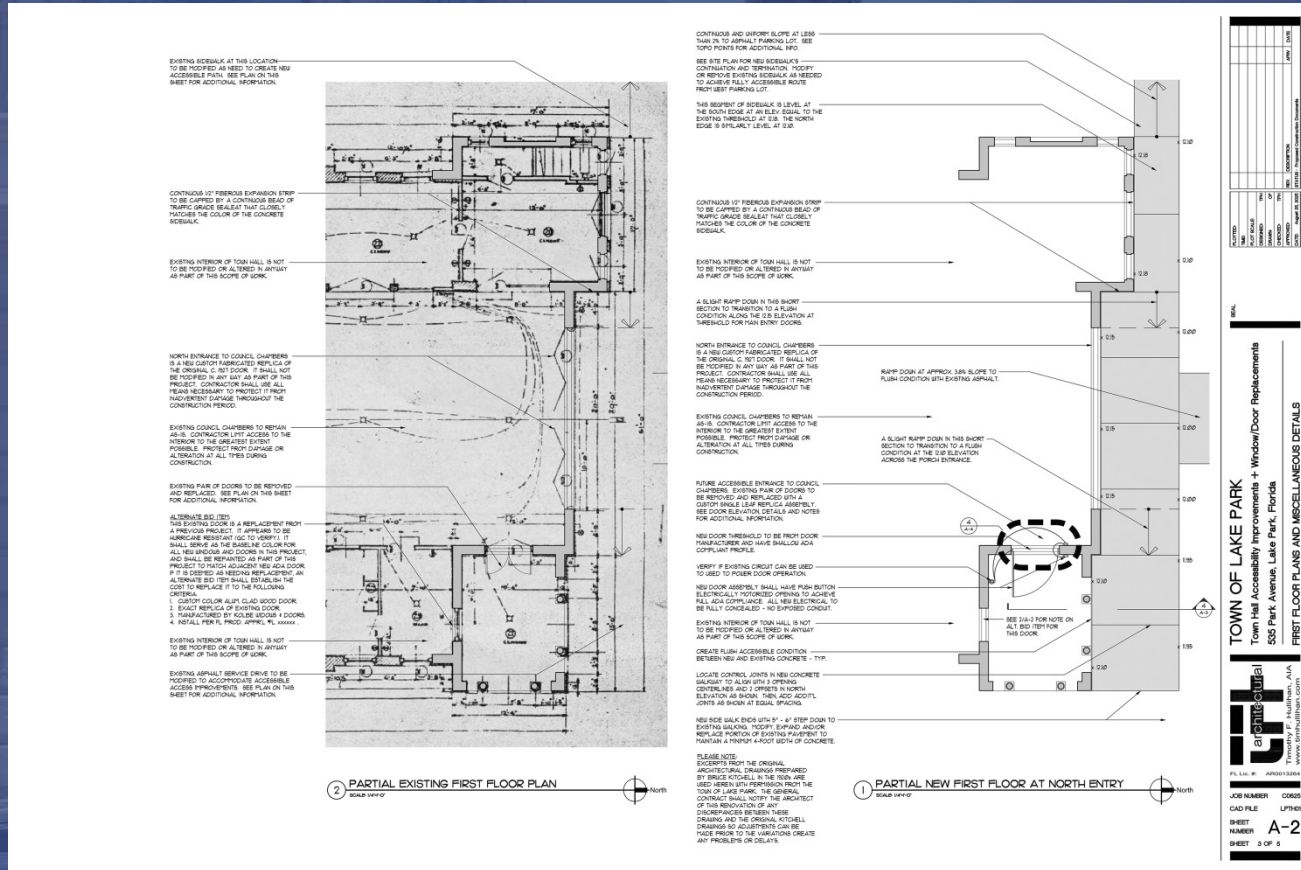
 SHEET NUMBER: CV

 SHEET 1 OF 5

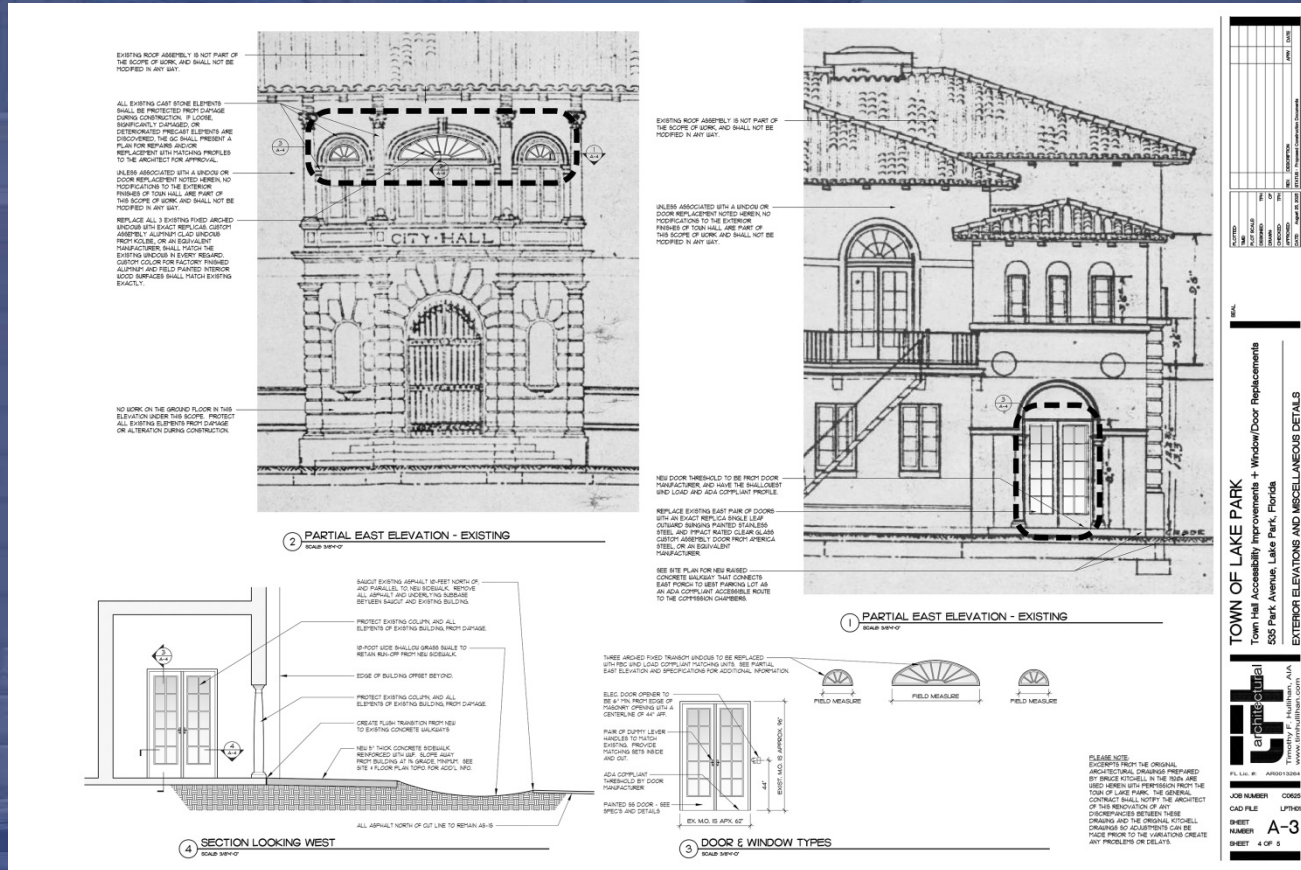
Hardening and Accessibility Improvements



Hardening and Accessibility Improvements



Hardening and Accessibility Improvements



Hardening and Accessibility Improvements



MATERIALS AND COMPONENTS SPECIFICATIONS:

- THE FOLLOWING SETS OUT PERFORMANCE CRITERIA FOR THE REPLACEMENT DOOR AT THE NORTHEAST CORNER OF THE COLLEGE QUARTERS. IT SHALL BE A CUSTOM MANUFACTURED PRODUCT SPECIFICALLY DESIGNED FOR THIS PROJECT. THE MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF REVENUE. THE MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF REVENUE. THE MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF REVENUE.
- ALL HARDWARE ASSEMBLIES SHALL BE SELECTED BY THE OWNER AND/OR ARCHITECT WITH THE ASSISTANCE OF THE MANUFACTURER. THE MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF REVENUE. THE MANUFACTURER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY APPROVALS AND PERMITS FROM THE FLORIDA DEPARTMENT OF TRANSPORTATION AND THE FLORIDA DEPARTMENT OF REVENUE.
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STUCCO

- USE ONLY PORTLAND CEMENT PLASTER THAT HAS BEEN PROPOSED ON THE DAY OF USE.
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- STUCCO SHALL BE A MINIMUM APPLICATION OVER EXISTING STUCCO. THIS SHALL BE FURNISHED BY THE MANUFACTURER.

SEALANTS

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- USE ONLY SEALANTS MANUFACTURED BY 3M COMPANY.

INTERIOR PAINTING

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- USE ONLY PAINT PRODUCTS THAT ARE COMPLIANT WITH EXISTING PAINT TYPES.

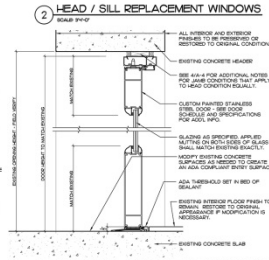
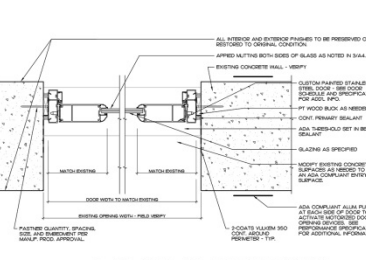
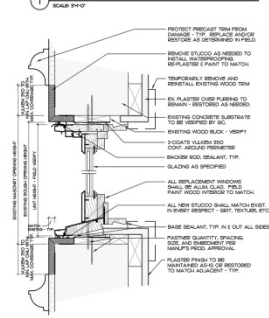
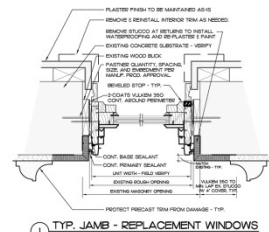
EXTERIOR PAINTING

- THE EXTERIOR PAINTING IN THE SCOPE OF WORK CONSISTS OF ALL NEW STUCCO SURFACES, WOOD TRIM, CEILING, WALLS, AND ACCESSORIES.
- THE EXTERIOR PAINTING IN THE SCOPE OF WORK CONSISTS OF ALL NEW STUCCO SURFACES, WOOD TRIM, CEILING, WALLS, AND ACCESSORIES.

STRUCTURAL REINFORCEMENT

- REINFORCEMENT SHALL BE PROVIDED FOR ALL NEW STUCCO SURFACES.
- REINFORCEMENT SHALL BE PROVIDED FOR ALL NEW STUCCO SURFACES.

PLEASE NOTE: THE ORIGINAL DRAWINGS SHOW THE ORIGINAL CONSTRUCTION. THE NEW CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE FLORIDA BUILDING CODE AND THE FLORIDA ELECTRICAL CODE.



NO.	REVISION	DATE	BY	CHKD.
1	ISSUED FOR PERMIT	01/15/2024	XXX	XXX
2	FOR REVIEW	01/15/2024	XXX	XXX
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100	FOR REVIEW	01/15/2024	XXX	XXX

TOWN OF LAKE PARK
 Town Hall Accessibility Improvements + Window/Door Replacements
 635 Park Avenue, Lake Park, Florida
 SPECIFICATIONS AND MISCELLANEOUS DETAILS

Hardening and Accessibility Improvements



535 Park Avenue, Lake Park, Florida

Historic Town Hall: Limited Exterior Modifications

*Presentation to the Town Council
October 01, 2025*



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 8, 2025

Originating Department: Special Events

Agenda Title: Special Event Request - 2025 Vets Day Car Show – Co-Sponsor Event & Waiving of Various Town Special Event Fees (Direct Costs - \$715 & Indirect Costs - \$2,692)

Approved by Town Manager: _____ **Date:** _____

Cost of Item: \$715 – Direct Costs and \$2,692 – Indirect Costs **Funding Source:** Special Event Dept Budget

Account Number: 600-52000 **Finance Signature:** Barbara A. Gould

Advertised: _____

Date: _____ **Newspaper:** _____

Attachments: 2025 Vets Day Car Show Facility Rental Application

2025 Vets Day Car Show Special Event Permit Application

Please initial one:

X Yes I have notified everyone

____ Not applicable in this case

Summary Explanation/Background:

The Special Events Department received a special event permit application from Stefanie Scott as the organizer of the Vets Day Car Show. The permit application is proposing the annual event to be held in Kelsey Park on Sunday, November 9, 2025, from 9:00 am – 3:00 pm.

Note: Ms. Scott is the wife of the original Vets Day Car Show organizer, Mike Scott who passed away in 2022.

The annual event is open to all early and late model vehicles and requires a \$20.00 registration fee. Trophies will be awarded for 20 classes, including the Mike Scott Memorial Award. Admission and parking are free to all attendees.

Ms. Scott is requesting that the Town Co-Sponsor this event and for the Town to provide the following:

REQUESTED CATEGORY	VALUE (monetary or other)	TOTAL Item 7.
Marketing Assistance • Event flyer and information posted on the Town of Lake Park website (Special Events Department page and Town calendar) • Event flyer and information posted on the Town of Lake Park social media accounts	No monetary value	N/A
Certificate of Insurance The organizer would like the Town to waive the requested Certificate of Insurance requirement for special event permits. This waiver would require the Town of Lake Park to take on the liability for the event.	No monetary value unless a claim is received	No monetary value unless a claim is received
Security Deposit The organizer would like to have the Refundable Security Deposit Fee waived.	\$2,000.00	\$2,000.00 (Indirect Cost)
Rental Fee The organizer would like to have the Kelsey Park Rental Fee waived.	\$600.00 flat rate rental fee \$42.00 tax	\$642.00 (Indirect Cost)
Application Fee The organizer would like to have the Special Event Permit Application Fee waived.	\$50.00	\$50.00 (Indirect Cost)
Staff Fee The organizer would like to have the Staff Fee waived.	\$40.00 per hour	\$400.00 (Direct Cost)
Public Works Department The organizer would like to have the Sanitation Service Fee from the Public Works Department waived. Sanitation Service – Delivery of (6) 95 gallon cans, with after-event emptying and disposal. (3) hours at \$35.00 per hour.	\$35.00 per hour	\$105.00 (Direct Cost)
Public Works Department The organizer would like to have the Special Event Parking Set Up Fee from the Public Works Department waived.	\$210.00 flat rate special event parking set up fee	\$210.00 (Direct Cost)
<u>TOTAL WAIVERS REQUESTED</u> Direct Costs - \$715.00 Indirect Costs - \$2,692.00		

Recommended Motion:

I move to approve the Town as a Co-Sponsor of the 2025 Vets Day Car Show and to waive various Town

Special Event Fees in the amount of \$715 in Direct Costs and \$2,692 in Indirect Costs.

Item 7.



Town of Lake Park
PUBLIC COMMENT CARD

Item 7.

CIVILITY AND DECORUM

The Town of Lake Park is committed to civility and decorum to be applied and observed by its elected officials, advisory board members, employees and members of the public who attend Town meetings. The following rules are hereby established to govern the decorum to be observed by all persons attending public meetings of the Commission and its advisory boards:

- Those persons addressing the Commission or its advisory boards who wish to speak shall first be recognized by the presiding officer. No person shall interrupt a speaker once the speaker has been recognized by the presiding officer. Those persons addressing the Commission or its advisory boards shall be respectful and shall obey all directions from the presiding officer.
- Public comment shall be addressed to the Commission or its advisory board and not to the audience or to any individual member on the dais.
- Displays of disorderly conduct or personal derogatory or slanderous attacks of anyone in the assembly is discouraged. Any individual who does so may be removed from the meeting.
- Unauthorized remarks from the audience, stomping of feet, clapping, whistles, yells or any other type of demonstrations are discouraged.
- A member of the public who engages in debate with an individual member of the Commission or an advisory board is discouraged. Those individuals who do so may be removed from the meeting.
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Meeting Date 10/8/2025

Cards must be submitted before the item is discussed!!

***Three (3) minute limitation on all comments

Name: Mary Taylor

Address: 209 Park Ave

If you are interested in receiving Town information through Email, please provide your E-mail address: _____

I would like to make comments on the following Agenda Item:

I would like to make comments on the following Non-Agenda Item(s):

Nautilus Contract

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.



Town of Lake Park
PUBLIC COMMENT CARD

Commission

Item 7.

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Meeting Date 5~~8~~ Oct 25

Cards must be submitted before the item is discussed!!

***Three (3) minute limitation on all comments

Name: Pablo Perlaes
Address: 281 E Palmyra Drive

If you are interested in receiving Town information through Email, please provide your E-mail address: pablo.perlaes@gmail.com

I would like to make comments on the following Agenda Item: Regular Comm.
Kimley-Horn PADD

I would like to make comments on the following Non-Agenda Item(s):
Kimley-Horn PADD

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.



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PUBLIC COMMENT CARD

Commission

Item 7.

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Meeting Date 10/18/25

Cards must be submitted before the item is discussed!!

***Three (3) minute limitation on all comments

Name: Susan La Fontaine
Address: Evergreen

If you are interested in receiving Town information through Email, please provide your E-mail address: _____

I would like to make comments on the following Agenda Item:

I would like to make comments on the following Non-Agenda Item(s):

Rosita Lot, FPL Phase 2,
trash on Fishing pier, Bert + Bostron Playground

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.



Town of Lake Park
PUBLIC COMMENT CARD

Commission

Item 7.

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Meeting Date 10/08/2025

Cards must be submitted before the item is discussed!!

*****Three (3) minute limitation on all comments**

Name: JAMES SULLIVAN

Address: 378 FLAORLA

If you are interested in receiving Town information through Email, please provide your E-mail address: _____

I would like to make comments on the following Agenda Item:

I would like to make comments on the following Non-Agenda Item(s):

EXTREME DANGER OF INDIVIDUALS USELY
CHILDREN OF SMALL 2 WHEEL ELECTRIC VEHICLES

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.



Town of Lake Park
PUBLIC COMMENT CARD

Commission

Item 7.

CIVILITY AND DECORUM

The Town of Lake Park is committed to civility and decorum to be applied and observed by its elected officials, advisory board members, employees and members of the public who attend Town meetings. The following rules are hereby established to govern the decorum to be observed by all persons attending public meetings of the Commission and its advisory boards:

- Those persons addressing the Commission or its advisory boards who wish to speak shall first be recognized by the presiding officer. No person shall interrupt a speaker once the speaker has been recognized by the presiding officer. Those persons addressing the Commission or its advisory boards shall be respectful and shall obey all directions from the presiding officer.
- Public comment shall be addressed to the Commission or its advisory board and not to the audience or to any individual member on the dais.
- Displays of disorderly conduct or personal derogatory or slanderous attacks of anyone in the assembly is discouraged. Any individual who does so may be removed from the meeting.
- Unauthorized remarks from the audience, stomping of feet, clapping, whistles, yells or any other type of demonstrations are discouraged.
- A member of the public who engages in debate with an individual member of the Commission or an advisory board is discouraged. Those individuals who do so may be removed from the meeting.
- All cell phones and/or other electronic devices shall be turned off or silenced prior to the start of the public meeting. An individual who fails to do so may be removed from the meeting.

Meeting Date 10/08/2028

Cards must be submitted before the item is discussed!!

***Three (3) minute limitation on all comments

Name: JAMES SULLIVAN
Address: 348 FLAGLER

If you are interested in receiving Town information through Email, please provide your E-mail address: _____

I would like to make comments on the following Agenda Item:

I would like to make comments on the following Non-Agenda Item(s):

TRAMC PROBLEM AT SOUTH WEST CORNER
OF 10TH ST.

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.



Town of Lake Park Town Commission

Agenda Request Form

Meeting Date: October 22, 2025
Originating Department: Community Development Department
Agenda Title: Resolution 85-10-25 - Proposed Northlake Promenade Outparcel Site Plan

Agenda Category (i.e., Consent, New Business, etc.): **New Business**

Approved by Town Manager: _____ **Date:** _____

Cost of Item: Consultant & Legal Reviews **Funding Source:** Applicant Escrow
Account Number: 03-00103-00 **Finance Signature:** Barbara Gould

Advertised:
Date: September 12, 2025 **Newspaper:** Palm Beach Post

Attachments: Staff Report, Final Resolution, Legal Notice, Certified Letter, All Plans and Apps Binder

Please initial one:
AV Yes I have notified everyone
 _____ Not applicable in this case

Summary Explanation/Background:

On behalf of OPV Northlake Promenade LLC ("Property Owner" and "Applicant"), Schmidt Nichols ("Agent") is requesting the Town Commission to consider approval of a site plan for a 7,578 SF retail building, located within the Northlake Promenade Shoppes area, adjacent to Northlake Boulevard (south side), between Helix Urgent Care and Wendy's.

The proposed development is consistent with the Town of Lake Park's adopted regulations for the C-3 Twin Cities Mixed Use District.

This proposed site plan was considered by the Town of Lake Park's Planning and Zoning Board

as well as the Town of North Palm Beach's Planning and Zoning Board of Adjustment during a joint meeting that was held on September 22, 2025. During this meeting both Boards found (unanimously) that the proposed site plan was consistent with the provisions of the C-3 Twin Cities Mixed Use District (which promotes cross-jurisdictional cooperation and review on projects in the C-3 District).

During the joint hearing, two (2) suggestions/recommendations were provided:

- 1) Incorporate additional ADA parking above the minimum requirement to accommodate handicapped vehicles
- 2) Incorporate paver crosswalks consistent with those used by the Northlake Promenade Apartments.

Note: Only one unique condition of approval is being recommended for this site plan - providing for a sidewalk easement along Northlake Boulevard to be granted by the Property Owner, OPV Northlake Promenade LLC to the Town of Lake Park.

Additionally, the proposed Northlake Promenade Outparcel site plan application and conditions of approval have been reviewed by the Town's consulting Engineers, Landscape Architect, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff's Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, Lake Park Community Development Department, the Village of North Palm Beach Community Development Department Staff and the Town Attorney.

As a result, it is recommended that the proposed project's site plan substantially complies with the Town's Land Development Regulations (LDR's) and Comprehensive Plan.

Recommended Motion:

I move to approve Resolution 85-10-25 and the proposed Northlake Promenade Outparcel site plan and incorporate the proposed Town of Lake Park's Planning and Zoning Board and the Town of North Palm Beach's Planning and Zoning Board of Adjustment recommendations along with the associated conditions of approval.



TOWN LAKE OF PARK
TOWN COMMISSION
STAFF REPORT
MEETING DATE: October 22, 2025

APPLICATION: Northlake Promenade Outparcel 3

SUMMARY OF APPLICANT’S REQUEST: On behalf of OPV Northlake Promenade LLC (“Property Owner” and “Applicant”), Schmidt Nichols (“Agent”) is requesting site plan approval for a 7,578 SF retail building. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-3 Twin Cities Mixed Use District.

The Subject Property is located south of Northlake Boulevard in the Town of Lake. It is comprised of the following parcel, which totals 0.858 acres:

- Parcel 1 – PCN: 36-43-42-21-29-003-0000

Joint Planning and Zoning Board Hearing (APPROVED 4-0):

This item was brought before the Lake Park Planning and Zoning Board and the Planning and Zoning Board of Adjustment of North Palm Beach on September 22, 2025 consistent with the provision of the C-3 Twin Cities Mixed Use District promoting cross-jurisdictional cooperation and review on project in the C-3 District. The Northlake Promenade Outparcel project received a unanimous vote of approval from the Lake Park Planning and Zoning Board. During the joint hearing, two suggestions were made: (1) to incorporate additional ADA parking above the minimum requirement to accommodate the handicapped; (2) to incorporate paver crosswalks consistent with those used by the Northlake Promenade Apartments. Only one unique condition of approval is being recommended for this site plan approval, providing for a sidewalk easement along Northlake, which is further detailed below the recommendation portion of this report.

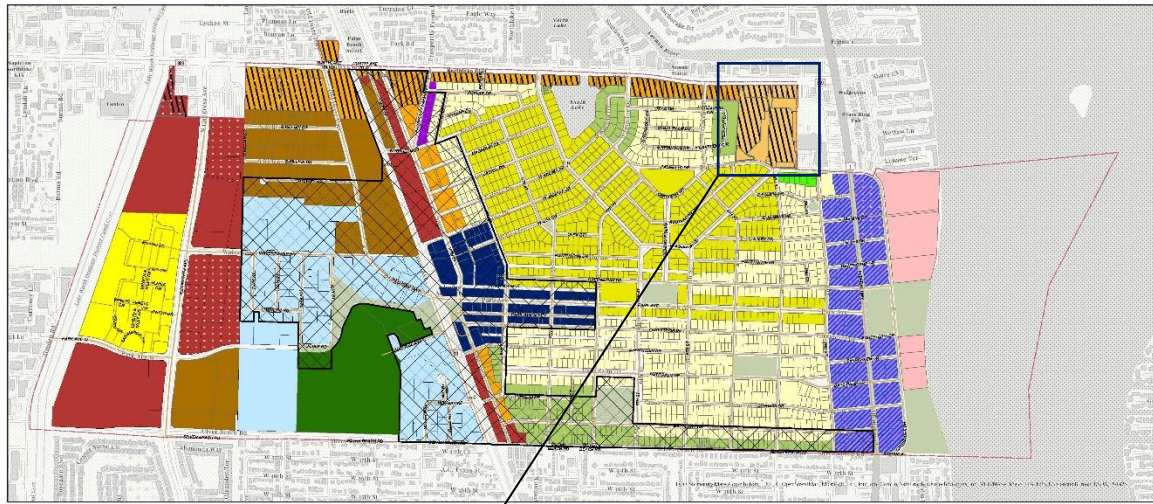
BACKGROUND:

Owner & Applicant(s):	OPV Northlake Promenade LLC
Agent and Consultant:	Schmidt Nichols
Location:	Parcel 1 – PCN: 36-43-42-21-29-003-0000
Net Acreage (total):	0.858 acres
Legal Description:	See survey enclosed in packet.
Existing Zoning:	C-3 Business District (NBOZ Overlay)
Future Land Use:	Twin Cities Mixed Use

Figure 1: Aerial View of Site (image not to scale; for visual purposes only)**LAKE PARK ZONING MAP**

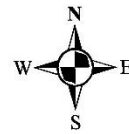


Town of Lake Park Zoning Map



Community Development Department
Town of Lake Park
535 Park Avenue, Lake Park FL 33403
Anders Viane - Planner
561-881-3320 (ext 320)
aviane@lakeparkflorida.gov
Nadia DiTommaso - Director
561-881-3319
nditommaso@lake

2,500 1,250 0 2,500 Feet



Date: 6/14/24

Subject
Site



Adjacent Zoning:

North: (North Palm Beach Jurisdiction Across Northlake Boulevard)

South: C-3 Twin Cities Mixed Use District

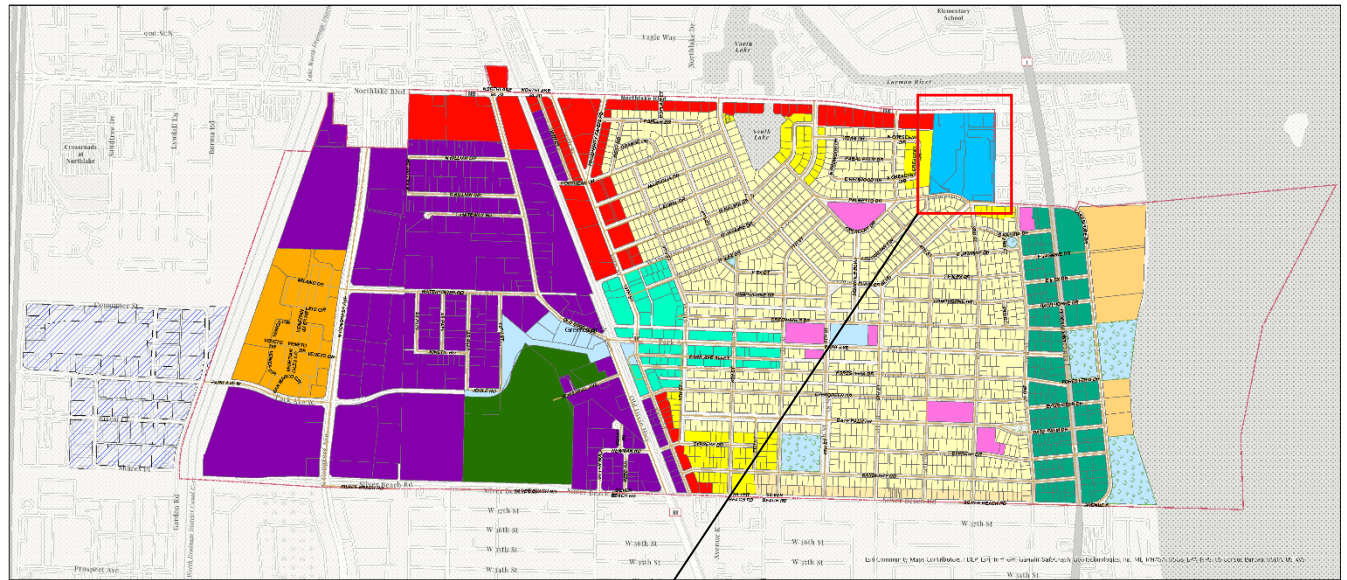
East: C-3 Twin Cities Mixed Use District

West: C-3 Twin Cities Mixed Use District

LAKE PARK FUTURE LAND USE MAP



Town of Lake Park Future Land Use Map 2017-2027



Community Development Department
Town of Lake Park
535 Park Avenue, Lake Park FL 33403
Anders Viane - Planner
561-881-3320 (ext 320)
aviane@lakeparkflorida.gov
Nadia DiTommaso - Director
561-881-3319
ndtommaso@lakeparkflorida.gov

2,500 1,250 0 2,500 Feet



Date: 6/14/24

Subject
Site



Adjacent Existing Land Use:

North: (North Palm Beach Jurisdiction Across Northlake Boulevard)
South: Twin Cities Mixed Use
East: Twin Cities Mixed Use
West: Twin Cities Mixed Use

PART I: SITE PLAN APPLICATION

The Northlake Promenade Outparcel site plan application has been reviewed by the Town's consulting Engineers, Landscape Architect, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff's Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, Lake Park Community Development Department and the Village of North Palm Beach Community Development Department Staff. Based on these reviews, the project substantially complies with our Land Development Regulations and Comprehensive Plan.

****This project has been noticed by certified mail to property owners within 300 feet and advertised in the Palm Beach Post 9/12/25 ****

SITE PLAN PROJECT DETAILS

Comprehensive Plan: The proposal is consistent with the goals, objectives and policies of the Town's Comprehensive Plan, including:

- ➔ **3.4.2 Objectives and Policies, Policy 1.5:** *The Town shall encourage development and redevelopment activities which will substantially increase the tax base while minimizing negative impacts on natural and historic resources, existing neighborhoods and development and adopted Levels of Service (LOS) standards.*

- ➔ **Future Land Use (FLU) Classification System 3.4.3:** *Lands located in the southwest quadrant of Northlake Boulevard and Federal Highway as shown on the Future Land Use Map shall be designated with the future land use of "Twin Cities Mixed Use." These lands, and adjoining lands to the east in the Village of North Palm Beach, are within the property formerly known as the Twin City Mall. The purpose of the Twin City Mixed Use Classification is to redevelop this site into a vibrant mixed-use place that combines residences, businesses, and civic spaces. The maximum density shall not exceed an average of 48 dwelling units per gross acre, as calculated for the entire Twin Cities Mixed Use area within the Town of Lake Park. The FAR for non-residential uses shall not exceed an average FAR of 2.0, as calculated for the entire Twin Cities Mixed Use area within the Town of Lake Park. The policies which are intended to implement the site's redevelopment are located under Objective 11 of the Future Land Use Element.*

- ➔ **Future Land Use Element, Policy 5.2:** *The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.*

- ➔ **Future Land Use Element, Policy 11.2:** *The new land development regulations for the proposed Twin Cities Mixed Use District shall provide for the development of new compact residential and non-residential buildings to complement the existing commercial buildings, all of which are supported by publicly accessible civic spaces, walkable and bikeable streets and served by varied forms of public and private transportation.*
- ➔ **Future Land Use Element, Policy 11.3:** *The new land development regulations for the proposed Twin Cities Mixed Use District shall provide for public plazas, urban or green open spaces or pocket parks that are accessible to the public and which form an integrated component of redevelopment with the Twin Cities Mixed Use District.*
- ➔ **Future Land Use Element, Policy 11.5:** *The new land development regulations for the Twin Cities Mixed Use District shall provide for a variety of non-residential uses that are internally compatible with and complementary to the residential uses provided for in the Twin Cities Mixed Use District.*

Zoning: The proposed project is generally consistent with the requirements of the C-3 Twin Cities Mixed Use District, including such aspects as use, building height, minimum required open space, and building site area. The project also substantially complies with the supplemental regulations of the general code and the Northlake Boulevard Overlay Zoning District, which will be further discussed as applicable in the sections below.

Architecture: The proposal meets the standards set forth under Section 3-1 (c) of the NBOZ for building articulation, façade paint colors, material variation, and decorative features. Additionally, for buildings within C-3 District, there are architectural consistency requirements. Applicants are required to create architectural harmony and consistency between their building and existing buildings in the C-3 District. To satisfy this requirement, the applicant has utilized design vernacular from the Northlake Promenade Apartment project, including matching roof tile, matching stone coquina, and stone veneer.

Building Site: The total site area is 37,396 SF; the impervious area for the project is 25,941 SF and the pervious area is 11,455 SF, or 31% of the total site. The development proposal consists one 7,578 SF building. Of note, this project's open space is configured in the "square" typology outlined in the C-3 District, consisting of a column of trees, a pergola, and a seating area.

Site Access and Roadways: This site has two driveway entrances on interior roadways. No new curb cuts on Northlake Boulevard are proposed. This project also does not impact any existing Internal Streets recognized by the C-3 District regulating plan.

Please note, subsequent to the P and Z Board meeting, the applicant has modified the driveway crosswalks to incorporate decorative pavers to match the Northlake Promenade Apartment project in response to feedback received at the meeting.

Traffic Concurrency: The applicant has provided Palm Beach County Traffic Performance Standards (TPS) approval in connection with their project. Palm Beach County Traffic recommended approval February 6, 2025. The Town's consultant traffic reviewer approved the applicant's traffic study January 17, 2025.

Landscaping: The proposed landscaping plans have been deemed code compliant by the Town's consulting Landscape Architect (JMorton) as of July 18, 2025.

Paving, Grading and Drainage: The Town's consulting Engineers, Engenuity Group, reviewed and approved the civil plans for this proposal on July 18, 2025.

Parking and Loading: The applicant's requested retail use is parked at the rate of 3 spaces per 1,000 SF. The required parking is 23 spaces and the applicant is proposing 34. The applicant has provided a loading zone with a nonstandard maneuvering apron; please refer to the applicant's autoturn analysis for details. In addition to the autoturn, the applicant has provided a justification statement noting this configuration will be sufficient for expected delivery needs of any potential tenants based on the C-3's allowed uses.

Please note, subsequent to the P and Z Board meeting, the applicant has modified the proposed number of ADA spaces from 2 to 3 in response to feedback received at the meeting.

Water/Sewer: Seacoast Utility Authority reviewed these plans for compliance with their best practices and issued their approval July 15, 2025.

Fire: PBC Fire Rescue reviewed the site plan and found it to be in compliance with PBC Fire Rescue best practices on July 11, 2025. An additional round of fire review will be conducted during the building permit phase, which is standard procedure.

PBSO: The Crime Prevention Through Environmental Design (CPTED) review was performed by Sgt. Adam Pozsonyi at the Palm Beach County Sheriff's Office and the proposal was found to be compliant with best-practice principles for CPTED on August 22, 2025. A high-definition security camera surveillance condition of approval is being recommended, which is a standard condition of approval.

North Palm Beach Planning: North Palm Beach's planning staff provided approval July 23, 2025.

PART II: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan Northlake Promenade Outparcel. In addition to all standard conditions, the following unique conditions of approval is recommended:

1. Prior to the issuance of a building permit, the Owner shall submit a proposed sidewalk easement, which shall be subject to the review and approval of the Town Attorney. Upon the approval of the Town Attorney, the Owner shall either record the easement or incorporate the same into the final plat prior to receiving to receiving a certificate of occupancy.

RESOLUTION NO. 85-10-25

A RESOLUTION OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA, APPROVING A SITE PLAN FOR A 7,578 SF RETAIL BUILDING ON THE PROPERTY GENERALLY LOCATED SOUTH OF NORTHLAKE BOULEVARD AND WEST OF FEDERAL HIGHWAY; PROVIDING FOR CONDITIONS ASSOCIATED WITH THE SITE PLAN; AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, OPV Northlake Promenade, LLC (“Owner”) is the owner of the property legally described in Exhibit “A”, which is attached hereto and incorporated herein; and

WHEREAS, the Owner’s property has a property control number (PCN) of 36-43-42-21-29-003-0000 (the Site); and

WHEREAS, Schmidt Nichols as the Owner’s agent (“Applicant”) has submitted an application seeking the approval of a site plan to construct a 7,578 SF retail development on the Site (“the Project”); and

WHEREAS, the Site has a future land use designation of Twin Cities Mixed Use; and

WHEREAS, the Site is located within C-3 Twin Cities Mixed Use District, which allows retail uses; and

WHEREAS, because of its location spanning two municipal jurisdictions, development on the Site must be reviewed and approved by both the Town of Lake Park and the Village of North Palm Beach (Village); and

WHEREAS, at a joint public hearing on September 22, 2025 the Town’s Planning and Zoning Board and the Planning Commission of the Village reviewed the Project and recommended its approval; and

WHEREAS, the Town Commission conducted a quasi-judicial hearing on October 15, 2025 to consider the Project; and

WHEREAS, at this quasi-judicial hearing, the Town Commission considered the evidence presented by the Town’s Community Development Department (Department) staff, the Owner, Applicant, and other interested parties and members of the public, regarding whether the Project meets the criteria of the Town’s Code for the approval of a site plan; and

WHEREAS, the Town Commission has determined that the Project is consistent with the Town’s Comprehensive Plan and meets the applicable Land Development Regulations of the Town Code.

NOW THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF LAKE PARK:

Section 1: The whereas clauses are incorporated herein as the findings of fact and conclusions of law of the Town Commission.

Section 2. The Town Commission hereby approves a site plan authorizes the development of a retail use on the Site, subject to the Owner's compliance with the following conditions:

1. The Applicant shall develop the Site consistent with the following plans. The title sheet shall be updated to reflect the following list of plans and their sign and seal dates:

Name	Sheet	Revision Date	Received on
Survey			
Boundary Survey	1 of 1	10/22/16	7/30/25
Site Plan			
Site Plan	SP-1	10/3/25	10/3/25
Architecture			
Untitled	A-1	06/12/25	7/30/25
Untitled	A-2	12/16/24	7/30/25
Photometric Site Plan	A-3	07/08/25	7/30/25
Landscape Plan			
Tree Disposition Plan	LP-1	06/18/25	7/30/25
Landscape Plan	LP-2	06/18/25	7/30/25
Landscape Plan	LP-3	06/18/25	7/30/25
Landscape Specifications	LP-4	06/18/25	7/30/25
Civil			
Title Sheet	1 of 8	07/25/25	7/30/25
Paving and Drainage Plan	2 of 8	07/25/25	7/30/25
Paving and Drainage Details	3 of 8	07/25/25	7/30/25
Paving and Drainage Details	4 of 8	07/25/25	7/30/25
Pollution Prevention Plan	5 of 8	07/25/25	7/30/25
Water and Wastewater Plan	6 of 8	07/25/25	7/30/25
Water and Wastewater Details	7 of 8	07/25/25	7/30/25
Water and Wastewater Details	8 of 8	07/25/25	7/30/25
Auto-Turn Exhibit			
Delivery Van Turning Exhibit	TT-1	7/30/25	7/30/25

2. Construction associated with the development of the Site is only permitted between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless an exception has been approved by the Town Commission.

3. Any proposed disruption to neighboring street access, surrounding parking areas, or the normal flow of traffic within the rights of way of Northlake Boulevard, Federal Highway, or any other right-of-way while the Project is being constructed shall be subject to the review and

approval of the Director and any governmental agency responsible for maintaining these roadways. Should there be any disruption to the normal flow of traffic occur during the construction of the Project, then upon written notice from the Director of the Community Development Department (Director), all construction shall cease until the Director has provided the Owner with a written notice to proceed.

4. All landscaping placed on the Site in accordance with the plans referenced herein shall be continuously maintained from the date of its installation. The Owner shall replace any and all dead or dying landscaping materials so as to meet and maintain the quantity and quality of the landscaping shown on the approved site and landscaping plans.

5. The Owner shall ensure that all contractors use best management practices to reduce airborne dust and particulates during the development of the Site.

6. All dumpsters and dumpster screening on the Site shall be kept closed at all times, except at such times as waste haulers are providing services on the designated pick-up day. All dumpsters placed on the Site shall be acquired from the approved franchise supplier for the Town.

7. Prior to issuance of the Certificate of Occupancy, the Owner shall provide certification from the Landscape Architect of record that the plant installations for the Site are in accordance with the approved site and landscaping plans (and any minor modifications that are approved through permitting) or are deemed to be equivalent by the Town's consulting landscape architect.

8. Prior to the issuance of any construction permits, the Applicant shall submit copies of all permits that are required with the approvals from all agencies having jurisdiction, including but not limited to the Palm Beach County Health Department, Palm Beach County Land Development Division, and the State of Florida Department of Environmental Protection.

9. Any revisions to the approved plans incorporated herein, shall be submitted to the Department, and shall be subject to its review and approval. The Department shall determine whether or not the revisions to the approved plans require further review by the Town's Planning & Zoning Board and/or the Town Commission.

10. At such time as an application for a building permit is submitted, the Applicant shall submit drawings indicating the proposed signage (window, wall, freestanding, or other) for the Site, which shall include a master sign plan that ensures consistency in the design and color scheme of the signs to be located on the Site. A sign package illustrating all signs and their colors shall be included as part of the master sign plan submitted to the Department and shall be subject to its review and approval prior to the placement of any signs on the Site.

11. Within 18 months of the effective date of this resolution, the Owner shall initiate bona fide development and shall continue with the development of the Site through completion. Failure to initiate bona fide development on the Site shall render this Development Order null and void. Once development has been initiated, the Owner shall continue development of the Site and complete the same within 18 months.

12. Prior to the issuance of a Certificate of Occupancy or Completion, the Owner shall install high-definition surveillance cameras, which capture clear facial features throughout the parking areas on the Site and along the exterior façades of the buildings on the Site. The location of the camera(s) shall be subject to the review and approval of the Department and the Palm Beach County Sheriff's Office (PBSO).

13. **Cost Recovery.** All professional consulting fees and costs, and legal fees incurred by the Town in reviewing the Application and in the preparation of this resolution billed to the Owner shall be paid to the Town within 10 days of the mailing of the invoice from the Town. The failure of the Applicant to reimburse the Town within the 10 days from the town's mailing of its invoice shall result in the suspension of any further review of plans or building activities, and may result in the revocation of the approved Development Order. A building permit or certificate of occupancy shall not be issued if any invoices are outstanding.

14. Prior to the issuance of a building permit, the Owner shall submit a proposed sidewalk easement, which shall be subject to the review and approval of the Town Attorney. Upon the approval of the Town Attorney, the Owner shall either record the easement or incorporate the same into the final plat prior to receiving to receiving a certificate of occupancy.

Section 3. This resolution shall become effective upon execution.

Exhibit A - Legal Description

PARCEL 3 OF 'NORTHLAKE PROMENADE SHOPPES, A PUD',
ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT
BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM
BEACH COUNTY, FLORIDA.

PUBLIC NOTICE TOWN OF LAKE PARK NOTICE OF PUBLIC HEARINGS

BE ADVISED THE PLANNING AND ZONING BOARD OF THE TOWN OF LAKE PARK AND THE PLANNING COMMISSION OF THE VILLAGE OF NORTH PALM BEACH WILL CONDUCT A JOINT, SPECIAL CALL PUBLIC HEARING AT 535 PARK AVENUE IN LAKE PARK TO CONSIDER THE AGENDA ITEM LISTED BELOW ON MONDAY, SEPTEMBER 22, 2025 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD. A QUORUM OF THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

THE TOWN COMMISSION WILL ALSO CONDUCT A QUASI-JUDICIAL MEETING AT 535 PARK AVENUE, LAKE PARK, TO CONSIDER THE AGENDA ITEM ON WEDNESDAY, OCTOBER 15, 2025 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD. (TENTATIVE DATE, PLEASE MONITOR <https://www.lakeparkflorida.gov/government/departments/town-clerk/agenda-packets> FOR ANY CHANGES). A QUORUM OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

AGENDA ITEM

On behalf of OPV Northlake Promenade LLC (“Property Owner” and “Applicant”), Schmidt Nichols (“Agent”) is requesting site plan approval for a 7,578 SF retail building. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-3 Twin Cities Mixed Use District.

The Subject Property is located south of Northlake Boulevard in the Town of Lake. It is comprised of the following parcel, which totals 0.858 acres:

- Parcel 1 – PCN: 36-43-42-21-29-003-0000

Records related to these items may be inspected by contacting the Community Development Department at 561-881-3320, or by emailing Anders Viane at aviane@lakeparkflorida.gov. If a person decides to appeal any decision made by the Planning and Zoning Board or Town Commission with respect to any hearing, they will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. For additional information, please contact Vivian Mendez, Town Clerk at 561-881-3311.

Town Clerk: Vivian Mendez

PUB: The Palm Beach Post – Friday, September 12, 2025



Notification of Public Meetings

9/12/2025

Dear Property Owner:

You are receiving this notice of public meetings because you are the legal owner of record for property that is located within 300 feet of the subject property discussed in this correspondence. The public meetings listed herein are being held to hear the applications described below the AGENDA ITEM portion of this letter.

Should you wish to attend the meetings or comment on the application please take note of the date, time, and the instructions for attending and commenting detailed below. If you do not wish to attend the meetings and do not have any comments, you may disregard this notice.

PUBLIC NOTICE TOWN OF LAKE PARK NOTICE OF PUBLIC HEARING AND QUASI-JUDICIAL PUBLIC HEARINGS

BE ADVISED THE PLANNING AND ZONING BOARD OF THE TOWN OF LAKE PARK AND THE PLANNING COMMISSION OF THE VILLAGE OF NORTH PALM BEACH WILL CONDUCT A JOINT, SPECIAL CALL PUBLIC HEARING AT 535 PARK AVENUE IN LAKE PARK TO CONSIDER THE AGENDA ITEM LISTED BELOW ON MONDAY, SEPTEMBER 22, 2025 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD. A QUORUM OF THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

THE TOWN COMMISSION WILL ALSO CONDUCT A QUASI-JUDICIAL MEETING AT 535 PARK AVENUE, LAKE PARK, TO CONSIDER THE AGENDA ITEM ON WEDNESDAY, OCTOBER 15, 2025 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD. (TENATIVE DATE, PLEASE MONITOR WWW.LAKEPARKFLORIDA.GOV FOR ANY CHANGES). A QUORUM OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

AGENDA ITEM

On behalf of OPV Northlake Promenade LLC (“Property Owner” and “Applicant”), Schmidt Nichols (“Agent”) is requesting site plan approval for a 7,578 SF retail building. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-3 Twin Cities Mixed Use District.

The Subject Property is located south of Northlake Boulevard in the Town of Lake. It is comprised of the following parcel, which totals 0.858 acres:

- Parcel 1 – PCN: 36-43-42-21-29-003-0000

PUBLIC HEARINGS

MEETING: JOINT SPECIAL CALL PLANNING AND ZONING BOARD &
VILLAGE PLANNING COMMISSION

LOCATION: 535 PARK AVENUE, LAKE PARK, FL. 33403.

DATE: MONDAY, SEPTEMBER 22, 2025

TIME: 6:30 P.M., OR AS SOON THEREAFTER AS CAN BE HEARD

MEETING: TOWN COMMISSION (QUASI-JUDICIAL) – TENTATIVE, MAY
CHANGE (SEE TOWN WEBSITE)

LOCATION: 535 PARK AVENUE, LAKE PARK, FL. 33403.

DATE: WEDNESDAY, OCTOBER 15, 2025

TIME: 6:30 P.M. , OR AS SOON THEREAFTER AS CAN BE HEARD

LOCATION MAP



Records related to this item may be inspected by contacting the Community Development Department at 561-881-3320, or by emailing Anders Viane at aviane@lakeparkflorida.gov. If a person decides to appeal any decision made by the Planning and Zoning Board or Town Commission with respect to any hearing, they will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. For additional information, please contact Vivian Mendez, Town Clerk at 561-881-3311.

CONSENT FORM**FROM PROPERTY OWNER AND DESIGNATION OF AUTHORIZED AGENT:**

Before me, the undersigned authority, personally appeared Soraya Tyriver, Vice President, OPV Northlake Promenade LLC,
who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he/she is requesting Site Plan Review in the Town of Lake Park, Florida;
3. That he/she is appointed Jon Schmidt, Schmidt Nichols to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: OPV Northlake Promenade LLC

Property Owner Signature

3200 N Military Trail, 4th Floor

Street Address

Soraya Tyriver, VP

By: Name/Title

Boca Raton, FL 33431

City, State, Zip Code

Telephone Number

Fax Number

E-Mail Address

Sworn and Subscribed before me on this 11 day of December, 20 24.



Lisa Marie Velazquez
NOTARY PUBLIC

MY COMMISSION EXPIRES:

6-28-28



PLEASE DO NOT DETACH FROM APPLICATION.

SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3318.

I, Soraya Tyriver, VP, OPV Northlake Promenade LLC, have read and understand the regulations above regarding cost recovery.

Property Owner Signature

Date

12/11/24



**TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT**

APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT

Please call (561)881-3319 for submittal fees

For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the Town Code of Ordinances for additional requirements

Project Name: Northlake Promenade Outparcel 3
 Project Address: Not Assigned
 Property Owner: OPV Northlake Promenade LLC

APPLICANT INFORMATION:

Applicant Name: OPV Northlake Promenade LLC
 Applicant Address: 3200 N Military Trail, 4th Floor
 Phone: Contact Agent Fax: N/A E-Mail: Contact Agent

SITE INFORMATION:

General Location: S side of Northlake Blvd., approx. 710' W of US 1
 Address: None Assigned
 Zoning District: C-3 Future Land Use: TCMU Acreage: 0.858
 Property Control Number (PCN): 36-43-42-21-29-003-0000

ADJACENT PROPERTY:

DIRECTION	ZONING	BUSINESS NAME	USE
North	C-NB (North Palm Beach)	See property owner list	Commercial
East	C-3	See property owner list	Commercial
South	C-3	See property owner list	Commercial
West	C-3	See property owner list	Commercial

JUSTIFICATION:

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

See Justification Statement.

2. What will be the impact of the proposed change to the surrounding area?

See Justification Statement.

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

See Justification Statement.

LEGAL DESCRIPTION:

The subject property is located approximately 0.13 mile(s) from the intersection of Northlake Blvd. & US 1, on the north, east, x south, west side of the Northlake Blvd. (street/road).

Legal Description:

See attached Legal Description

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.

OWNER/APPLICANT Signature

Date

12-11-24

Legal Description

Northlake Promenade Outparcel 3

PARCEL 3 OF "NORTHLAKE PROMENADE SHOPPES, A PUD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.



LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr. Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Northlake Promenade Out Parcel 3

Town of Lake Park, Florida

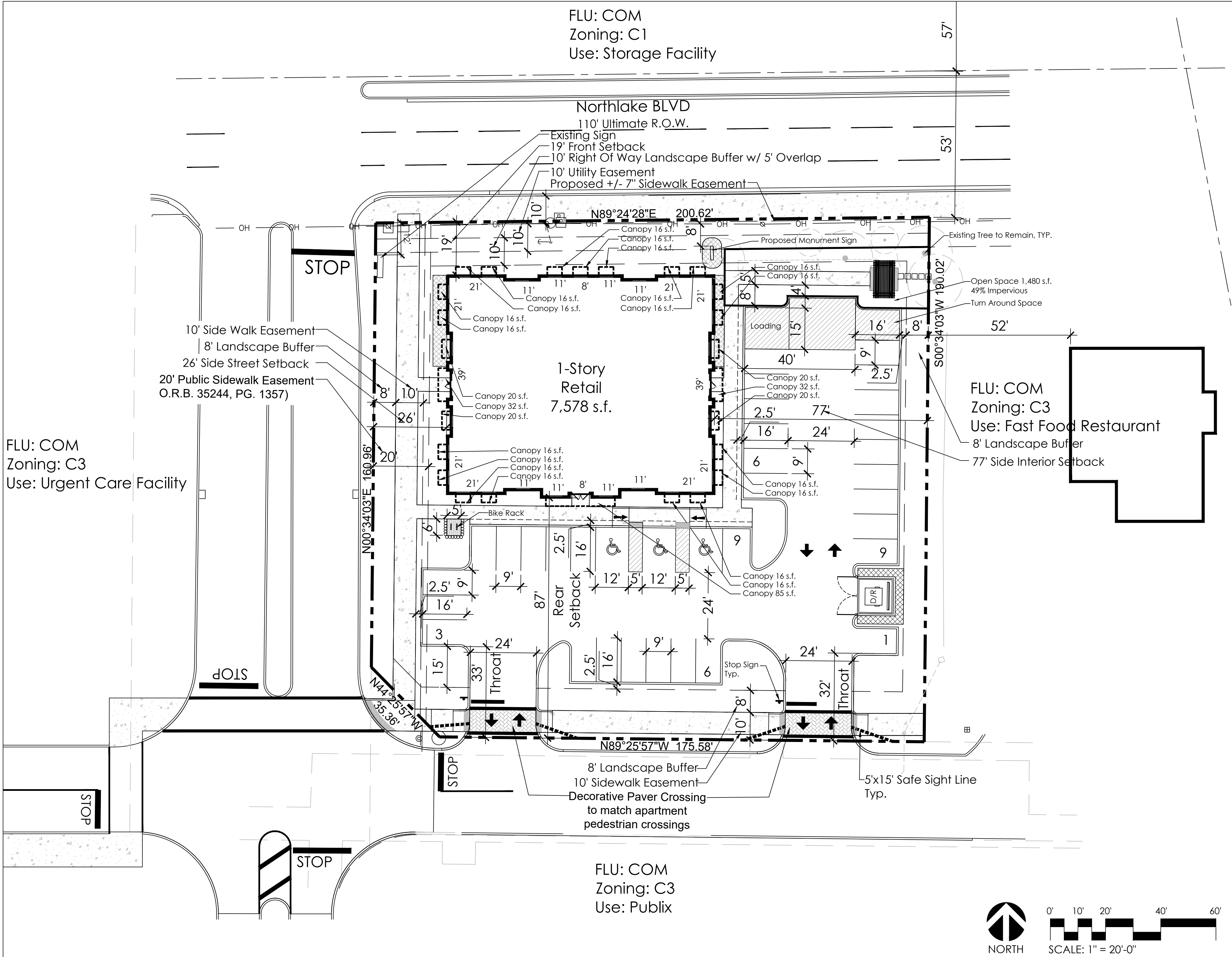
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Drawn By: AH
Checked By: JS
File No. 819.01B
Job No. 16-100

REVISIONS / SUBMISSIONS

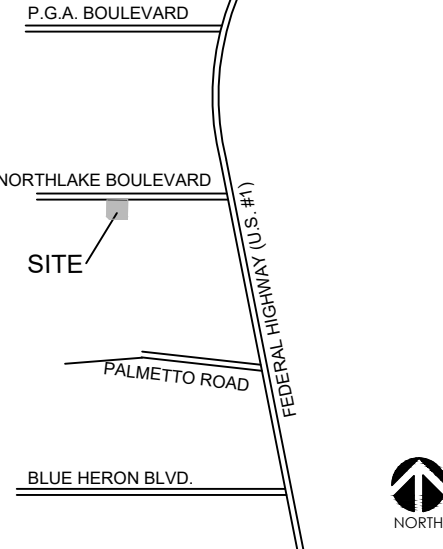
Original Submittal 12/20/24
Resubmittal 04/01/25
Resubmittal 07/30/25
Handicap & Paving Pattern 09/29/25
Visibility Triangle Revision 10/03/25

SITE PLAN

SP-1 of 1



LOCATION MAP



SITE TABULAR DATA

Application Name	Northlake Promenade Outparcel 3
Application Number	
Existing Future Land Use Designation	Twin Cities Mixed Use
Existing Zoning District	C-3
Section, Township, Range	21/42/43
Property Control Numbers	36-43-42-21-29-003-0000
Existing Use	Vacant
Proposed Use	Retail
Total Gross Site Area	0.858 AC. (37,396 s.f.)
Total Net Site Area	0.858 AC. (37,396 s.f.)
Total Gross Floor Area	7,578 s.f.
Retail	7,578 s.f.
Total Floor Area Ratio	0.2
Total Building Coverage	22% (8,079 s.f.)
(including canopy of 501 s.f.)	
Building Height	max. 28'-8"
Number of Stories	1
Max. Allowed Impervious Area	90%
Proposed Impervious Area	25,941 s.f. (69%)
Buildings - 7,578 s.f.	
Pavement/Walks - 18,344 s.f.	
Pervious Area	11,455 s.f. (31%)
Parking Required	23 SPACES
Retail (C-3 Rate) - 3 spaces/1,000 s.f. @ 7,578 s.f. =	23 spaces
Proposed Parking	34 SPACES
Handicap Spaces Required	2
Handicap Spaces Proposed	3
Loading Required (15' x 35' Min.)	1
Loading Provided	1
Traffic Analysis Zone	123
Concurrency Approval*	
Retail 7,578 s.f.	
*Concurrency is approved for the above uses and amounts shown on this plan	

PROPERTY DEVELOPMENT REQUIREMENTS											
ZONING DISTRICT	MINIMUM LOT DIMENSIONS	SIZE	WIDTH	DEPTH	MAX IMPERVIOUS US	MIN PREVIOUS US	MAX HEIGHT	SETBACKS/SEPARATIONS			
								FRONT	SIDE INTERIOR	SIDE STREET	REAR
CODE C-3	22,000 SF.	N/A	N/A	90'	90%	10%	112'	10'	10'	10'	0'
PROP C-3	37,396 SF.	200.62'	190.02'	69%	31%	22'	22'	19'	77'	26'	87'

DEVELOPMENT TEAM

DEVELOPER:	OPV NORTHLAKE PROMENADE LLC 3200 N MILITARY TR. STE 400 BOCA RATON, FL 33431
CIVIL/TRAFFIC ENGINEER:	SIMMONS & WHITE 2581 METROCENTRE BLVD. STE 3 WEST PALM BEACH, FL 33407 (561) 478-7848
PLANNER:	SCHMIDT NICHOLS 1551 N FLAGLER DRIVE, STE 102 WEST PALM BEACH, FL 33401 (561) 684-6141
SURVEYOR:	WALLACE SURVEYING 5553 VILLAGE BLVD. WEST PALM BEACH, FL 33407 (561) 640-4551

NOTES

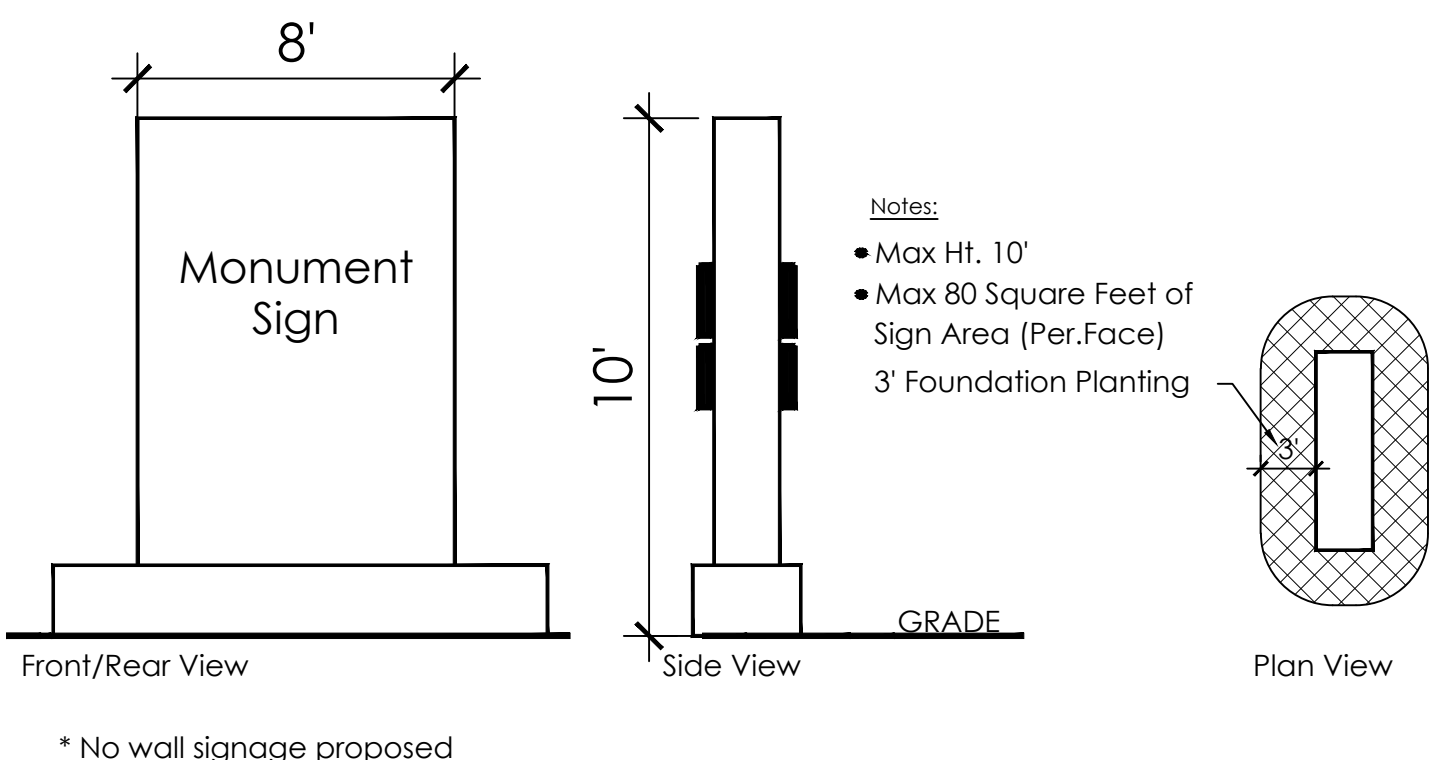
BASE INFORMATION FOR THIS PROJECT WAS OBTAINED FROM A SURVEY PREPARED BY WALLACE SURVEYING DATED 10/03/2024

DIR DUMPSTER WITH ENCLOSURES

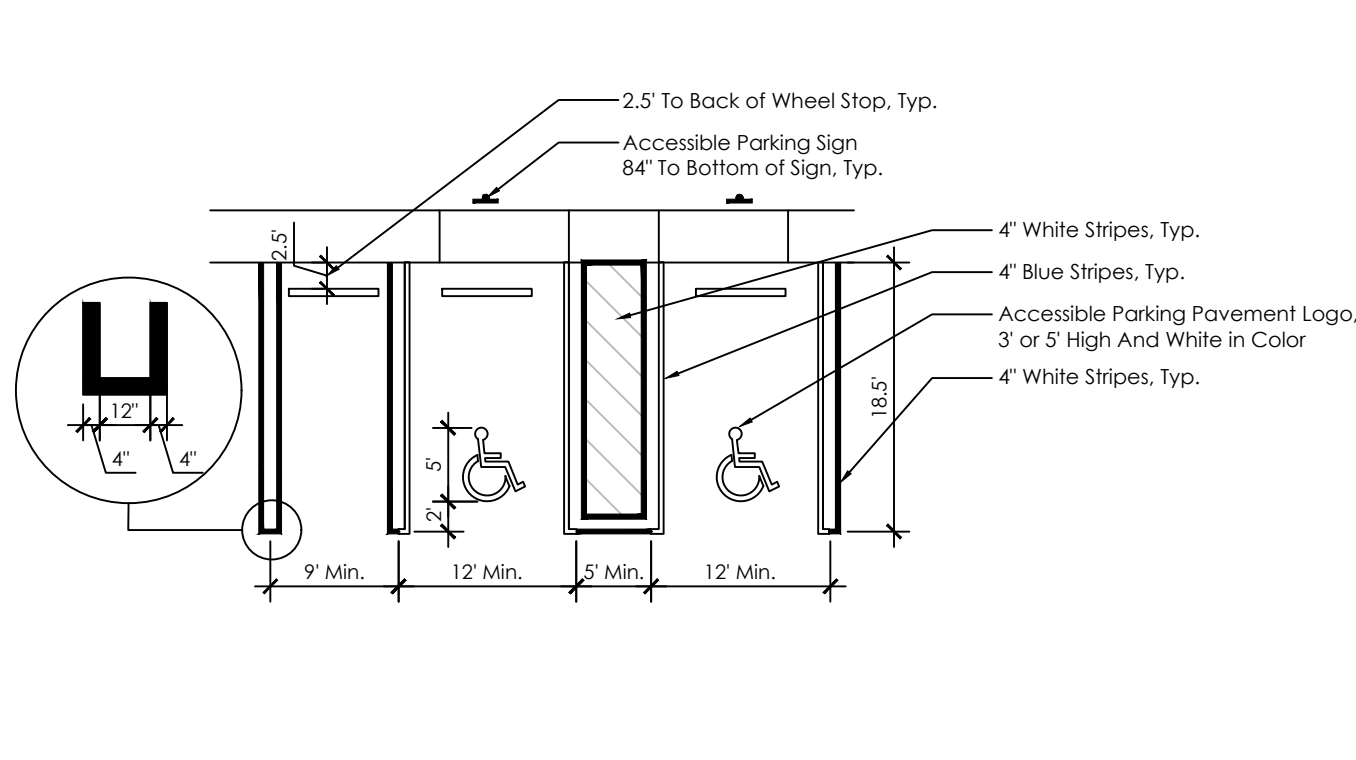
AMENDMENT STAMP

ZONING STAMP

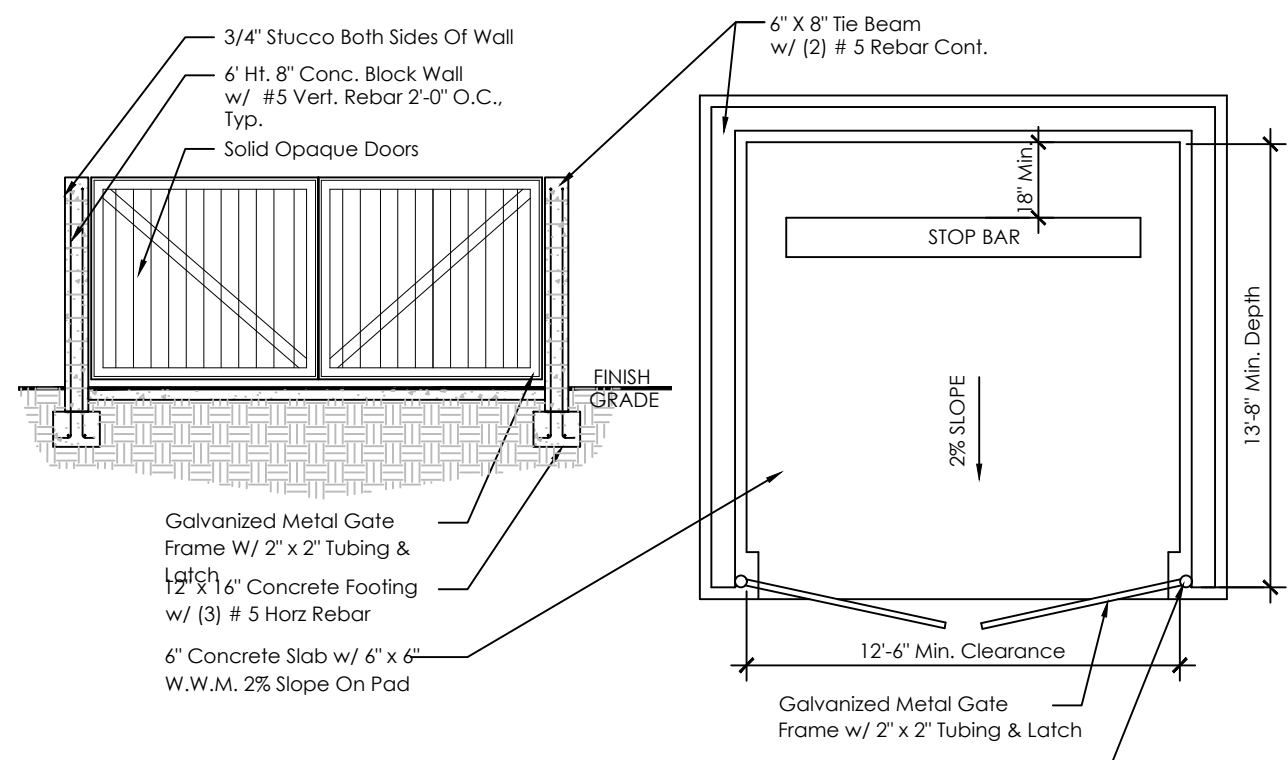
SIGN DETAIL



PARKING AND STRIPING



DUMPSTER DETAIL



CFN 20170007211
OR BK 28816 PG 1902
RECORDED 01/09/2017 13:21:03
Palm Beach County, Florida
AMT 300,000.00
DEED DOC 2,100.00
Sharon R. Bock
CLERK & COMPTROLLER
Pgs 1902-1907; (6Pgs)

Prepared by and return to:
JOHN F. HOTTE, ESQ.
KRINZMAN HUSS LUBETSKY
110 SE 6 Street - Floor 20
Fort Lauderdale, Florida 33301
Telephone: 954-761-3453

Tax Folio Numbers:
36-43-42-21-29-003-0000 (Parcel I)
36-43-42-21-29-007-0000 (Portion Parcel II)
68-43-42-21-29-007-0010 (Portion Parcel II)

WARRANTY DEED

THIS WARRANTY DEED (this “**Deed**”), executed as of the 16 day of December, 2016, by Developers of Northlake, Inc., a Florida Corporation (the “**Grantor**”), whose mailing address is c/o: Samuel J. Cantor, P.A., 426 S. Military Trail Deerfield Beach, FL 33442 to OPV Northlake Promenade LLC, a Florida limited liability company, whose mailing address is 2240 NW 19th Street, Suite 801, Boca Raton, Florida 33431 (the “**Grantee**”).

WITNESSETH:

That Grantor, for and in consideration of the sum of \$10.00 and other good and valuable consideration to Grantor in hand paid by Grantee, the receipt and sufficiency of which is hereby acknowledged, has granted, bargained, and sold and by these presents does grant, bargain and sell to Grantee and Grantee’s heirs and assigns forever, the real property situate, lying, and being in Palm Beach County, Florida, and described in **EXHIBIT “A”** attached to this Deed (the “**Property**”).

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor covenants with Grantee that, except as limited by the next sentence, at the time of the delivery of this Deed the Property was free from all encumbrances made by Grantor, and that Grantor hereby warrants the title to the Property and will defend it against the lawful claims and demands of all persons whomsoever.

SUBJECT TO the matters set forth in Exhibit “B” attached to this Deed (it being understood and agreed that reference to such matters shall not serve to reimpose any such Permitted Exceptions) and taxes for the year 2017 and the years subsequent thereto.

CFN 20170007211
BOOK 28816 PAGE 1903
2 OF 6

IN WITNESS WHEREOF, Grantor has caused this Deed to be executed in its name and its corporate seal hereunto affixed as of the day and year first above written.

Signed, sealed, and delivered
in the presence of:

Developers of Northlake, Inc., a Florida Corporation

Ferdie Laeneus
Signature of Witness 1

FERDIE LAENEUS
Print name of Witness 1

Nella Colombo
Signature of Witness 2

NELLA COLOMBO
Print name of Witness 2

By: [Signature]
Name: Robert Blatt, President
Title: President

Date: December 2, 2016

COUNTRY OF CANADA)
) ss.:
PROVINCE OF QUEBEC)

The foregoing instrument was acknowledged before me this 2nd day of December, 2016, by Robert Blatt, as President of Developers of Northlake, Inc., a Florida Corporation, who is personally known to me or who produced as identification.

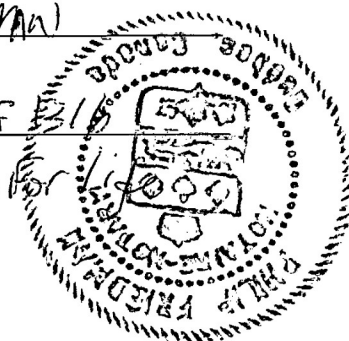
[Official Notarial Seal]

[Signature]
Notary Public

Philip Friedman
(Print or type name)

Commission No.: NF 216

My Commission Expires: for



CFN 20170007211
BOOK 28816 PAGE 1904
3 OF 6

EXHIBIT "A"

LEGAL DESCRIPTION

The land referred to herein below is situated in the County of Palm Beach, State of Florida, and is described as follows:

PARCEL I: (FEE SIMPLE ESTATE)

PARCEL 3 OF "NORTHLAKE PROMENADE SHOPPES, A PUD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

PARCEL II: (NON-EXCLUSIVE EASEMENT ESTATE)

TOGETHER WITH THOSE CERTAIN NON-EXCLUSIVE EASEMENT RIGHT(S) AS CREATED BY THAT CERTAIN DECLARATION OF RESTRICTIONS, COVENANTS AND CONDITIONS AND GRANT OF EASEMENTS RECORDED IN OFFICIAL RECORDS BOOK 11923, PAGE 861, AS AMENDED IN OFFICIAL RECORDS BOOK 13154, PAGE 1892; OFFICIAL RECORDS BOOK 17516, PAGE 1987; OFFICIAL RECORDS BOOK 17595, PAGE 1781, AND OFFICIAL RECORDS BOOK 21438, PAGE 1886 AND RE-RECORDED IN OFFICIAL RECORDS BOOK 22831, PAGE 89, PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

EXHIBIT "B"**PERMITTED EXCEPTIONS**

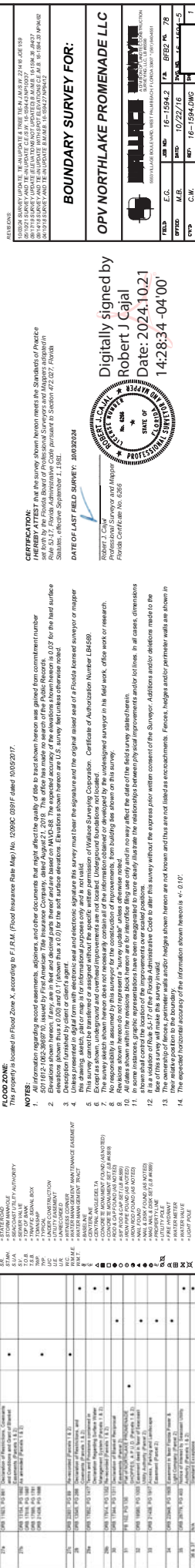
1. Agreement granted to North Palm Beach Utilities, Inc., recorded in Deed Book 1145, Page 135, as amended in Official Records Book 87, Page 317, as assigned to The John D. and Catherine T. MacArthur Foundation in Official Records Book 5542, Page 1399 and assigned to Seacoast Utility Authority by Assignment and Assumption Agreements in Official Records Book 6002, Page 62 and Official Records Book 6007, Page 1275. (As to Parcels I and II)
2. Dedication of Easement for Public Utilities recorded in Official Records Book 13, Page 475. (Parcel II)
3. Unrecorded Easement to Southern Bell Telephone & Telegraph Company over the Westerly 5 feet as evidenced in that Deed recorded in Official Records Book 90, Page 403. (Parcel II)
4. Dedication of Easement for public utilities recorded in Official Records Book 89, Page 392, assigned to The John D. and Catherine T. MacArthur Foundation in Official Records Book 5542, Page 1399 and assigned to Seacoast Utility Authority by Assignment and Assumption Agreements in Official Records Book 6002, Page 62, and Official Records Book 6007, Page 1275. (As to Parcels I and II)
5. Easement granted to Florida Power & Light Company recorded in Official Records Book 1267, Page 272. (As to Parcel II).
6. Easement granted to Florida Power & Light Company recorded in Official Records Book 2053, Page 706, and Partially Released in Official Records Book 11923, Page 954. (Parcels II)
7. Easement granted to Florida Power & Light Company recorded in Official Records Book 2867, Page 1584. (Parcel II)
8. Easement granted to Seacoast Utility Authority recorded in Official Records Book 6422, Page 239. (Parcel II).
9. Memorandum of Developer Agreement with Seacoast Utility Authority recorded in Official Records Book 9111, Page 1835. (As to Parcels I and II).
10. Easement granted to BellSouth Telecommunications, Inc., recorded in Official Records Book 9631, Page 136. (Parcels II).
11. Easement to BellSouth Telecommunications, Inc. recorded in Official Records Book 9631, Page 140. (As to Parcels I and II).

12. Terms, conditions, rights, obligations and restrictions contained in that certain Lease dated October 7, 1998 by and between Twin Cities Investors, Inc., a Florida corporation, as lessor, and Publix Super Markets, Inc., as lessee, as memorialized in Memorandum recorded December 28, 1998 in Official Records Book 10794, Page 719, affected by First Amendment to Memorandum of Lease recorded in Official Records Book 21438, Page 1843, and as affected by that Subordination, Non-disturbance Agreement recorded July 31, 2000 in Official Records Book 11923, Page 943, as re-recorded in Official Records Book 11949, Page 266, by and between Publix Super Markets, Inc. and The United States Life Insurance Company in the City of New York. (As to Parcel II).
13. Easement granted to Florida Power & Light Company recorded in Official Records Book 11439, Page 1177. (Parcel II).
14. Easement granted to Seacoast Utility Authority recorded in Official Records Book 11123, Page 1051. (Parcel II).
15. Easement granted to Florida Power & Light Company recorded in Official Records Book 11453, Page 1125. (Parcel II).
16. Indemnity Agreement by and between Twin Cities Investors, Inc. and Seacoast Utility Authority recorded in Official Records Book 11542, Page 1405. (Parcel II)
17. Easement granted to BellSouth Telecommunications, Inc. recorded in Official Records Book 11563, Page 1152. (Parcels II).
18. Easement granted to Seacoast Utility Authority recorded in Official Records Book 11820, Page 240, and corrected in Official Records Book 11864, Page 1954. (As to Parcel II).
19. Easement granted to Florida Power & Light Company recorded in Official Records Book 11851, Page 1822. (As to Parcel II).
20. Terms, provisions, restrictive covenants, conditions, reservations and easements, contained in Declaration of Restrictions, Covenants and Conditions and Grant of Easements recorded in Official Records Book 11923, Page 861, as amended in Official Records Book 13154, Page 1892; Official Records Book 17516, Page 1987; Official Records Book 17595, Page 1781, and Official Records Book 21438, Page 1886 and re-recorded in Official Records Book 22831, Page 89, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap, national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (As to Parcels I and II)
21. Declaration of Restrictions and Covenants recorded in Official Records Book 13545, Page 266, but omitting any covenants or restrictions, if any, based upon race, color, religion, sex, sexual orientation, familial status, marital status, disability, handicap,

CFN 20170007211
BOOK 28816 PAGE 1907
6 OF 6

national origin, ancestry, or source of income, as set forth in applicable state or federal laws, except to the extent that said covenant or restriction is permitted by applicable law. (As to Parcels I and II).

22. Terms and Provisions contained in Declaration Regarding Surface Water Management System recorded in Official Records Book 17852, Page 1417; as re-recorded in Official Records Book 17914, Page 1352. (As to Parcels I and II).
23. Terms and Provisions contained in Declaration of Reciprocal Easements recorded in Official Records Book 17344, Page 1311. (Parcel II).
24. Restrictions, covenants, easement(s), setback(s), if any, as may be shown on the Plat of Northlake Promenade Shoppes, a P.U.D., as recorded in Plat Book 102, Page 130. (As to Parcels I and II).
25. Easement Deed in favor of Seacoast Utility Authority recorded in Official Records Book 19580, Page 1003. (Parcel II).
26. Terms, provisions and easements contained in that certain Access, Parking and Landscape Easement recorded in Official Records Book 21438, Page 1917. (As to Parcel II).
27. Easement in favor of Florida Power & Light Company recorded in official Records Book 22948, Page 1605. (Parcel II).
28. Notice of Interest by Seacoast Utility Authority recorded in Official Records Book 26779, Page 403. (As to Parcels I and II)





**Engineering and
Public Works Department**

P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbc.gov



**Palm Beach County
Board of County
Commissioners**

Maria G. Marino, Mayor
Sara Baxter, Vice Mayor
Gregg K. Weiss
Joel Flores
Marci Woodward
Maria Sachs
Bobby Powell, Jr.

County Administrator

Verdenia C. Baker

*"An Equal Opportunity
Affirmative Action Employer"*

April 29, 2025

Bryan Kelley, P.E.
Simmons & White, Inc.,
2581 Metrocentre Blvd West, Ste 3
West Palm Beach, FL 33407

**RE: Northlake Promenade Outparcel # 3
Project #: 250204
Traffic Performance Standards (TPS) Review**

Dear Mr. Kelley:

The Palm Beach County Traffic Division has reviewed the above referenced project Traffic Impact Statement, dated February 6, 2025, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

Municipality:	Lake Park
Location:	Southside of Northlake Blvd, west of US-1
PCN:	36-43-42-21-29-003-0000
Access:	Site access for this facility via two driveway access points to existing east-west drive aisles. For entire Northlake Promenade and Village Place: Two right-in/right-out and one full access driveway connections onto Northlake Blvd, one right-in/right-out access driveway and one right-in, left-in and right-out access driveway connections onto US-1, and three full access driveway and one right-in/left-out access driveway connection onto Palmetto Drive <u>(As used in the study and is NOT necessarily an approval by the County through this TPS letter)</u>
Existing Uses:	Vacant
Proposed Uses:	Retail = 7,597 SF
New Daily Trips:	153
New Peak Hour Trips:	7 (4/3) AM; 18 (9/9) PM
Build-out:	December 31, 2029

Based on the review, the Traffic Division has determined the proposed development generates less than 21 peak hour trips. Therefore, a detailed traffic study is not required. The project **meets** the Traffic Performance Standards.

Based on our discussion and the determination that the outparcel # 3 was not included in the previously approved development, the prior conditions of approval do not apply to this parcel. Therefore, those conditions will not be carried forward as part of this approval.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided



Bryan Kelley, P.E.
April 29, 2025
Page 2 of 2

upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

No building permits are to be issued by the Town after the build-out date specified above, or as amended. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-478-5755 or email MRahman@pbc.gov.

Sincerely,

A handwritten signature in black ink that reads "Rahman".

Moshiur Rahman, Ph.D., P.E.
Professional Engineer
Engineering and Public Works Dept.
Traffic Division

MR:QB:ep

ec: Nadia Di Tommaso, Director of Community Development, Town of Lake Park
Quazi Bari, P.E., PTOE, Manager - Growth Management, Traffic Division
Alberto Lopez Tagle, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\MR\MUN\APPROVED\2025\250204 NORTHLAKE PROMENADE OUTPARCEL # 3.DOCX



NORTHLAKE PROMENADE OUTPARCEL #3

Town of Lake Park, Florida

TRAFFIC GENERATION STATEMENT

PREPARED FOR:

OPV Northlake Promenade, LLC
3200 North Military Trail, 4th Floor
Boca Raton, Florida 33431

JOB NO. 24-139

DATE: November 4, 2024

Revised: February 6, 2025

Revised: March 28, 2025

Bryan G. Kelley, Professional Engineer, State of Florida, License No. 74006

This item has been digitally signed and sealed by Bryan G. Kelley, P.E., on 03/28/25.

Printed Copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

TABLE OF CONTENTS

PAGE 3

1.0 SITE DATA

PAGE 4

2.0 TRAFFIC GENERATION

3.0 SITE RELATED IMPROVEMENTS

PAGE 5

4.0 TRAFFIC GENERATION

1.0 SITE DATA

The subject parcel is located on the south side of Northlake Boulevard, west of US Highway 1 in the Town of Lake Park, Florida and contains approximately 0.86 acres. The Property Control Number for the subject parcel is 36-43-42-21-29-003-0000. The proposed plan of development consists of 7,578 SF retail and is part of the overall Northlake Promenade shopping center and adjacent to the Village Place development in the Village of North Palm Beach. The overall Northlake Promenade shopping center is currently vested for the following uses:

Northlake Promenade Approved Development

- 279 multifamily dwelling units
- 7,511 SF medical office
- 67,434 SF retail

The overall Village Place (FKA Village Shoppes) is currently vested for the following uses:

Village Place Approved Development

- 1,080 multifamily dwelling units
- 206 55+ age restricted multifamily dwelling units
- 222-room hotel
- 131,100 SF shopping plaza
- 9,790 SF pharmacy with drive-through
- 5,000 SF drive-in bank
- 3,028 SF fast food restaurant with drive through
- 12 fuel position gas station with 2,410 SF convenience store

The subject parcel is owned by a separate entity than the rest of the Northlake Promenade and Village Place and is therefore not subject to the projection aggregation rules within the Palm Beach County Traffic Performance Standards. For the purpose of this traffic study, the subject 7,578 SF retail was considered as a standalone project. Site access specifically for the 7,578 SF retail facility will be internal to Northlake Promenade shopping center via two driveway access points to existing east-west drive aisles. For additional information regarding site location and layout, please refer to the Site Plan prepared by Schmidt Nichols.

Site access for the entirety of Northlake Promenade and Village Place is existing via one right in, right out only driveway connection to Northlake Boulevard, two full access driveway connections to Northlake Boulevard, two right in, right out driveway connections to Federal Highway, one directional driveway connection to Federal Highway, and multiple connections to Palmetto Drive. Modifications to the current access are proposed as part of the Northlake Apartments and Village Place projects. The driveway modifications include the following:

- New right in, left out only driveway connection to Palmetto Drive
- Eastern full access driveway connection to Northlake Boulevard modified to right in, right out only
- Traffic signal at existing western full access driveway connection to Northlake Boulevard
- Closure of southern driveway connection to US-1

Northlake Boulevard fronting the site is an east-west six-lane divided urban arterial roadway that is owned and maintained by Palm Beach County. Sidewalks are present on both sides of the road. US-1 fronting the site is a north-south four-lane divided urban arterial roadway that is owned and maintained by the FDOT. Paved shoulders and sidewalks are present on both sides of the road.

2.0 TRAFFIC GENERATION

The daily traffic generated by the proposed development was calculated in accordance with the traffic generation rates published on the Palm Beach County Traffic website and consistent with the ITE Trip Generation Manual, 11th Edition. Tables 1, 2 and 3 show the daily, A.M. peak hour, and P.M. peak hour traffic generation for the proposed development, respectively. Based on the proposed development consisting of 7,578 SF of retail, the traffic generation may be summarized as follows:

Proposed Development

Daily Traffic Generation	=	153 tpd
A.M. Peak Hour Traffic Generation (In/Out)	=	7 pht (4 In/3 Out)
P.M. Peak Hour Traffic Generation (In/Out)	=	18 pht (9 In/9 Out)

3.0 SITE RELATED IMPROVEMENTS

The overall A.M. and P.M. peak hour turning movement driveway volumes and directional distributions at the project entrances for the proposed development with no reduction for pass by credits are shown in Tables 2 and 3 attached with this report. The following summary applies:

		DIRECTIONAL DISTRIBUTION (TRIPS IN / OUT)
A.M. Peak Hour	=	11 / 7
P.M. Peak Hour	=	25 / 25

Tables 4-6 attached to this report document the trip generation for the entire combined Village Place and Northlake Promenade site including the proposed outparcel. The overall combined development includes the following uses and intensity:

Combined Northlake Promenade and Village Place Development

- 1,359 multifamily dwelling units
- 206 55+ age restricted multifamily dwelling units
- 222-room hotel
- 206,112 SF retail
- 9,790 SF pharmacy with drive-through
- 5,000 SF drive-in bank
- 3,028 SF fast food restaurant with drive through
- 12 fuel position gas station with 2,410 SF convenience store

As previously mentioned, site access for the combined Northlake Promenade and Village Place traffic study is existing via one right in, right out only driveway connection to Northlake Boulevard, two full access driveway connections to Northlake Boulevard, two right in, right out driveway connections to Federal Highway, one directional driveway connection to Federal Highway, and three full access driveway connections to Palmetto Drive. However, several modifications as documented previously are proposed as part of the Northlake Promenade Apartments and Village Place projects. Figure 2 attached to this report depicts the driveway volumes inclusive of all approved/proposed developments and access modifications.

4.0 CONCLUSION

The proposed development will result in 153 new daily trips, 7 AM peak hour trips, and 18 PM peak hour trips at buildout in 2029. Since the project generates less than 20 peak hour trips, no additional traffic analysis is required and the development meets the requirements of the Palm Beach County Traffic Performance Standards.

bk: x/docs/trafficdrainage/tgs.24139.rev2



Item 8.

N

SITE

Northlake
Promenade
Outparcel #3

Northlake
Promenade

Village Place

Palmetto Dr

Palmetto Dr

Flagler Blvd

Crescent Cr

Northlake Blvd

1

US-1

Shore Ct

1

Figure 1 - Trip Distribution
Northlake Promenade Outparcel #3
Project # 24-139

NORTHLAKE PROMENADE OUTPARCEL #3

11/04/2024
Revised: 02/06/2025
Revised: 03/28/2025

Item 8.

PROPOSED DEVELOPMENT

TABLE 1 - Daily Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation		In Out		Gross Trips	Internalization*		External Trips (Driveway Trips)	Pass-by		Net Trips
									%	Total		%	Trips	
Strip Retail Plaza (<40ksf)	822	7,578	S.F.	54.45				413		0	413	63%	260	153
			Grand Totals:					413	0.0%	0	413	63%	260	153

TABLE 2 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split In Out		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
							In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Strip Retail Plaza (<40ksf)	822	7,578	S.F.	2.36	0.60	0.40	11	7	18	0.0%	0	0	0	11	7	18	63%	11	4	3	7
			Grand Totals:				11	7	18	0.0%	0	0	0	11	7	18	61%	11	4	3	7

TABLE 3 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Strip Retail Plaza (<40ksf)	822	7,578	S.F.	6.59	0.50	0.50	25	25	50	0.0%	0	0	0	25	25	50	63%	32	9	9	18
			Grand Totals:				25	25	50	0.0%	0	0	0	25	25	50	64%	32	9	9	18

NORTHLAKE PROMENADE OUTPARCEL #3

11/04/2023 **Item 8.**
Revised: 02/06/2024
Revised: 03/28/2025

**VILLAGE PLACE + NORTHLAKE PROMENADE
PROPOSED DEVELOPMENT (USED FOR DRIVEWAY TRIPS)**

TABLE 4 - Daily Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips	Internalization*			External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out		%	In	Out	Total	In	Out	Total	%	Trips	In	Out
Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	1,359	Dwelling Units	4.54			6,170	15.0%		926		5,244	0%	0		5,244		
55+ SF Attached	252	206	Dwelling Units	3.24			667	15.0%		100		567	0%	0		567		
Hotel	310	222	Rooms	7.99			1,774	15.0%		266		1,508	10%	151		1,357		
Medical Office (Stand-Alone)	720	7,511	S.F.	T=42.97(X)-108.01			215	15.0%		32		183	10%	18		165		
Shop Center (>150ksf)	820	206,112	S.F.	37.01			7,628	15.0%		1,144		6,484	24%	1,556		4,928		
Pharmacy + DT	881	9,790	S.F.	108.40			1,061	15.0%		159		902	50%	451		451		
Drive-In Bank	912	5,000	S.F.	100.35			502	15.0%		75		427	47%	201		226		
Fast Food Rest. + DT	934	3,028	S.F.	467.48			1,416	15.0%		212		1,204	49%	590		614		
Gas Station w/ Convenience Store ^d	FDOT	12	Fuel Positions	14.3*PM Trips			2,646	15.0%		397	2,249	61%	1,372		877			
		2,410	S.F.															
			Grand Totals:				22,591	14.7%		3,311		19,280	24%	4,539		14,741		

TABLE 5 - AM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split In Out		Gross Trips In Out Total			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
										%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	1,359	Dwelling Units	0.37	0.23	0.77	116	387	503	15.0%	17	58	75	99	329	428	0%	0	99	329	428
55+ SF Attached	252	206	Dwelling Units	0.2	0.34	0.66	14	27	41	15.0%	2	4	6	12	23	35	0%	0	12	23	35
Hotel	310	222	Rooms	0.46	0.56	0.44	57	45	102	15.0%	9	6	15	48	39	87	10%	9	43	35	78
Medical Office (Stand-Alone)	720	7,511	S.F.	3.10	0.79	0.21	18	5	23	15.0%	3	0	3	15	5	20	10%	2	14	4	18
Shop Center (>150ksf)	820	206,112	S.F.	0.84	0.62	0.38	107	66	173	15.0%	16	10	26	91	56	147	24%	35	69	43	112
Pharmacy + DT	881	9,790	S.F.	3.74	0.52	0.48	19	18	37	15.0%	3	3	6	16	15	31	50%	16	8	7	15
Drive-In Bank	912	5,000	S.F.	9.95	0.58	0.42	29	21	50	15.0%	4	4	8	25	17	42	47%	20	13	9	22
Fast Food Rest. + DT	934	3,028	S.F.	44.61	0.51	0.49	69	66	135	15.0%	10	10	20	59	56	115	49%	56	30	29	59
Gas Station w/ Convenience Store ^d	FDOT	12	Fuel Positions	Note f	0.50	0.50	93	92	185	15.0%	14	14	28	79	78	157	61%	96	31	30	61
		2,410	S.F.																		
		Grand Totals:					530	732	1,262	14.8%	78	109	187	452	623	1,075	22%	239	324	512	836

TABLE 6 - PM Peak Hour Traffic Generation

Landuse	ITE Code	Intensity		Rate/Equation	Dir Split		Gross Trips			Internalization*				External Trips (Driveway Trips)			Pass-by		Net Trips		
					In	Out	In	Out	Total	%	In	Out	Total	In	Out	Total	%	Trips	In	Out	Total
Multifamily Mid-Rise Housing 4-10 story (Apartment/Condo/TH)	221	1,359	Dwelling Units	0.39	0.61	0.39	323	207	530	15.0%	48	32	80	275	175	450	0%	0	275	175	450
55+ SF Attached	252	206	Dwelling Units	0.25	0.56	0.44	29	23	52	15.0%	4	4	8	25	19	44	0%	0	25	19	44
Hotel	310	222	Rooms	0.59	0.51	0.49	67	64	131	15.0%	10	10	20	57	54	111	10%	11	51	49	100
Medical Office (Stand-Alone)	720	7,511	S.F.	3.93	0.30	0.70	9	21	30	15.0%	1	4	5	8	17	25	10%	3	7	15	22
Shop Center (>150ksf)	820	206,112	S.F.	3.4	0.48	0.52	336	365	701	15.0%	50	55	105	286	310	596	24%	143	217	236	453
Pharmacy + DT	881	9,790	S.F.	10.25	0.50	0.50	50	50	100	15.0%	8	7	15	42	43	85	50%	43	21	21	42
Drive-In Bank	912	5,000	S.F.	21.01	0.50	0.50	53	52	105	15.0%	8	8	16	45	44	89	47%	42	24	23	47
Fast Food Rest. + DT	934	3,028	S.F.	33.03	0.52	0.48	52	48	100	15.0%	8	7	15	44	41	85	49%	42	22	21	43
Gas Station w/ Convenience Store ^g	FDOT	12	Fuel Positions	12.3*FP+15.5*(X)	0.50	0.50	93	92	185	15.0%	14	14	28	79	78	157	61%	96	31	30	61
		2,410	S.F.																		
			Grand Totals:				1,031	942	1,973	14.8%	151	141	292	880	801	1,681	23%	395	685	601	1,286

Notes:

- * Used 15% internalization per the Palm Beach County Traffic email dated 09/08/23 with Hanane Akif.
- e) Use both Fueling Position and Convenience Store size in estimating trips using the provided equation. Note that no internalization between the gas pumps and convenience store, as per ULDC Article 12, should be applied to estimate the net trips.



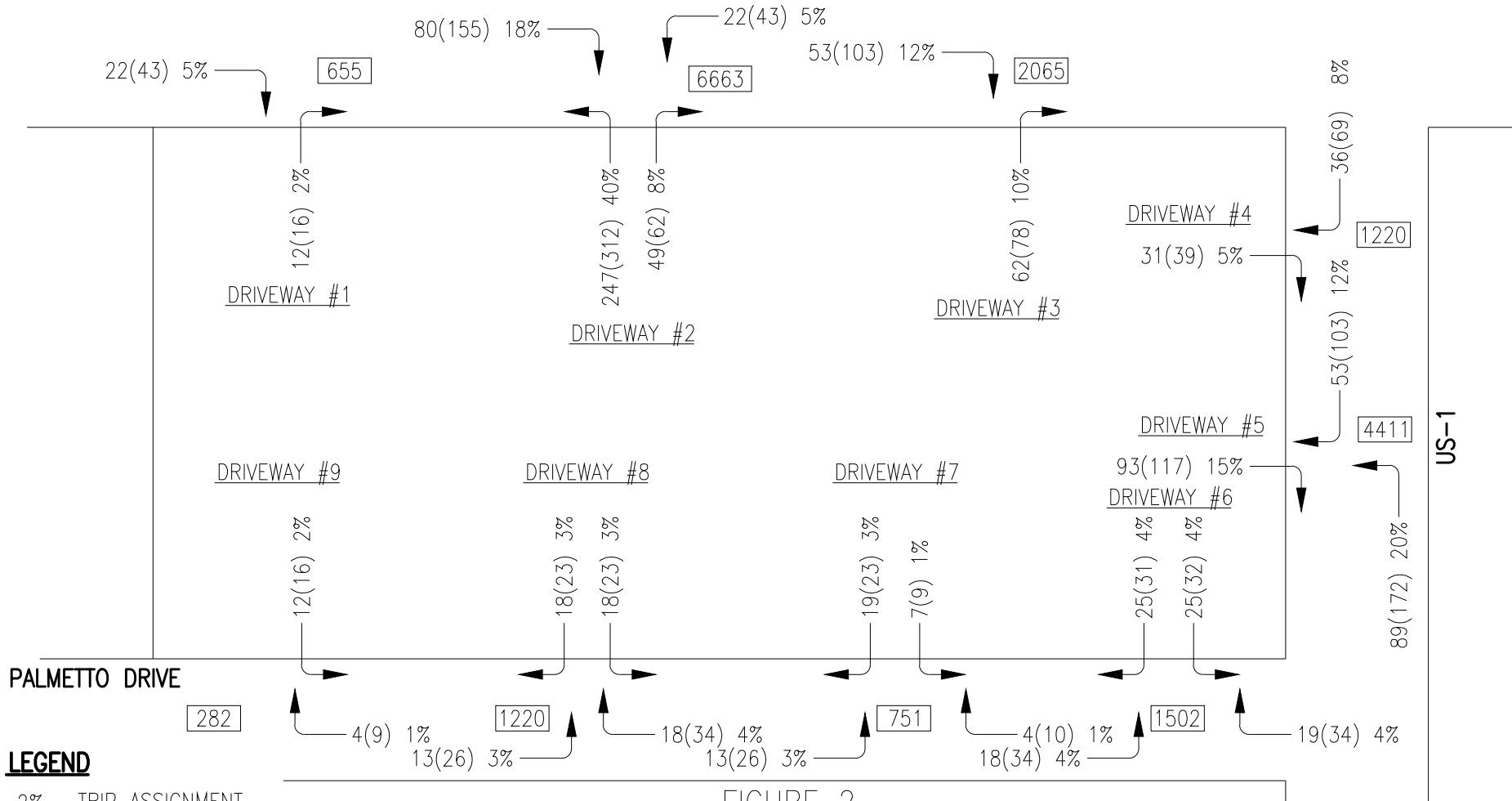
**SIMMONS
& WHITE**

2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407
Authorization # 3452 | 561.478.7848

Item 8.



NORHLAKE BOULEVARD



LEGEND

2% TRIP ASSIGNMENT

10 A.M. PEAK HOUR TURNING MOVEMENT

(20) P.M. PEAK HOUR TURNING MOVEMENT

[1049] A.A.D.T.

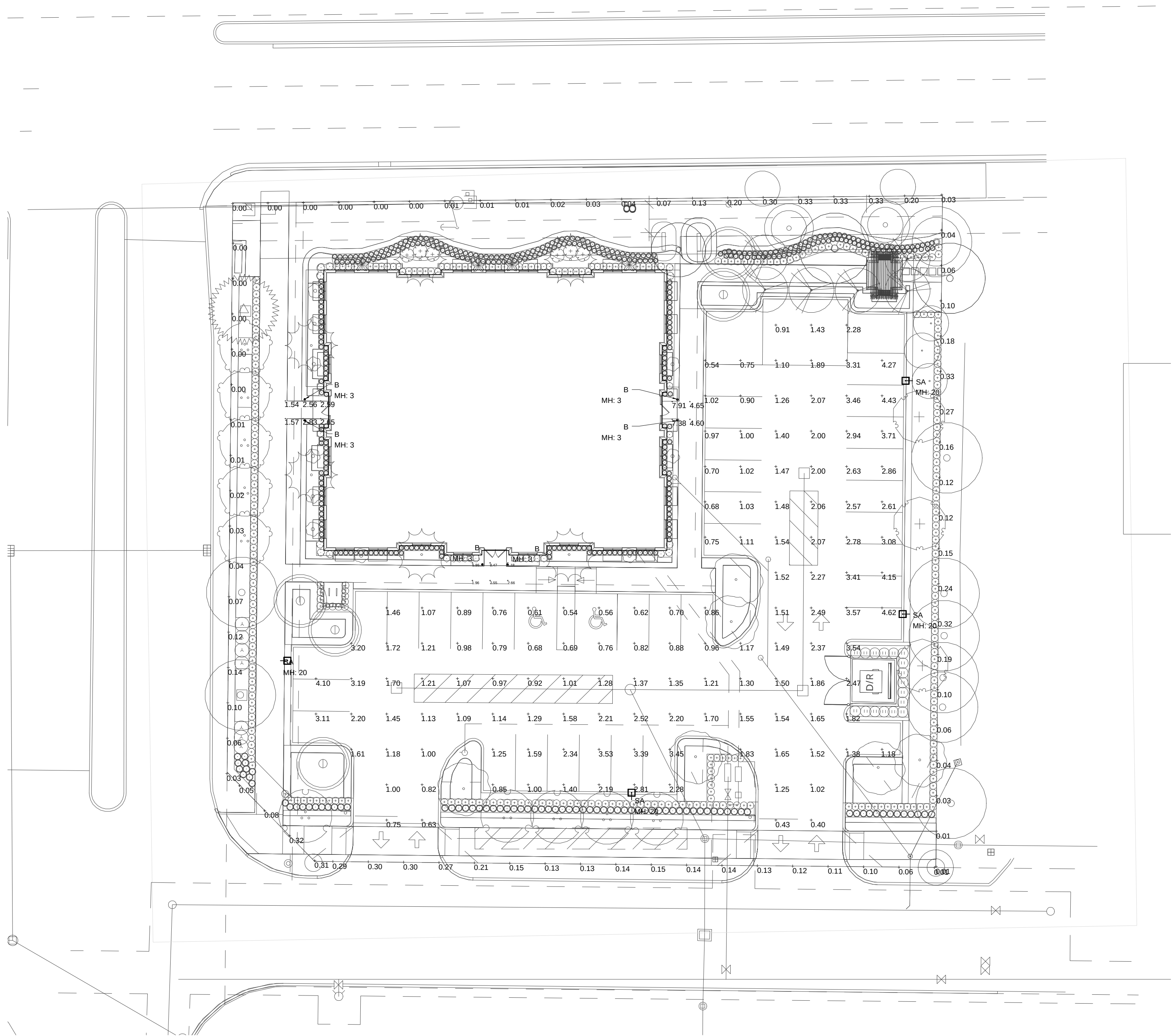
FIGURE 2

**TOTAL DRIVEWAY TURNING MOVEMENTS:
VILLAGE SHOPPES & NORHLAKE PROMENADE
(SEE TABLES 4-6)**

**NORHLAKE PROMENADE
OUTPARCEL #3**

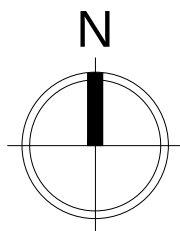
24-139 BK 11-4-24

NORTHLAKE PROMENADE										
TOWN OF LAKE PARK, FL										
LIGHTING FIXTURE SCHEDULE										
TYPE	IMAGE	MANUFACTURER	CATALOG NUMBER	DESCRIPTION	LAMP'S TYPE	DIMMING	VOLTAGE	MOUNTING	REMARKS	INPUT WATTS
SA		XTRALIGHT	VNFS-15000L-40K-IV-DIM-4M-N-XX-XX-HSS	ARCHITECTURAL LED AREA LIGHT, TYPE IV OPTICS W/BACK LIGHT SHIELDING	INTEGRATED LED	0-10V	TBC	TENON	MH-20'-0"	109W
B		PERFORMANCE IN LIGHTING	KHAS-35-14-IPINSH(CCT)UNV-NA	35" ARCHITECTURAL LED BOLLARD	INTEGRATED LED	NON-DIM	120-277V	ANCHOR BASE	ENTRANCE LIGHTING	14W
LIGHTING SCHEDULE NOTES:										
1. For pricing please email Genesis Lighting at quotes@genesislighting.net, for technical questions please contact Brian Meneses @ 772-919-5670 (B.meneses@genesislighting.net)										
2. No substitutions allowed without prior approval by architect, engineer or design team										
3. Contractor to verify all voltages, mounting and run lengths prior to final bid and installation of fixtures										
4. Verify correct mounting for each fixture with Architectural reflected ceiling plans and/or Site Plans										



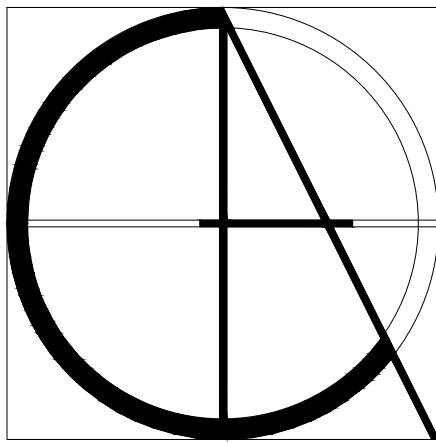
01 PHOTOMETRIC SITE PLAN

SCALE: 1" = 20'-0"



Luminaire Schedule							
Symbol	Qty	Label	Arrangement	Description	LLF	Luminaire Lumens	Luminaire Total Watts
	6	B	Single	076423	0.900	592	84
	4	SA	Single	Xtra Light VNFS-15000L-40K-DIM-4M-N-XX-XX-HSS	0.900	10366	436

Calculation Summary							
Label	Calc Type	Units	Avg	Max	Min	Avg/Min	Max/Min
East Entrance	Illuminance	Fc	6.14	7.91	4.60	1.33	1.72
Parking Lot	Illuminance	Fc	1.71	4.62	0.40	4.28	11.55
Property Line	Illuminance	Fc	0.10	0.33	0.00	N/A	N/A
South Entrance	Illuminance	Fc	3.78	8.47	1.18	3.20	7.18
West Entrance	Illuminance	Fc	2.29	2.83	1.54	1.49	1.84



Claren Architecture + Design, Inc.

AA26002865
6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884

New Building for:

Northlake Promenade
Outparcel 3

Town of Lake Park, Florida

PROJECT # 24-042

DATE 12-16-24

REV # DATE

1 06-12-25

2 07-08-25

SHEET #

A-3

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**SCHMIDT
NICHOLS**

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr., Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@nlandplan.com
Website: www.nlandplan.com
License No. LC26000232

Northlake Promenade Outparcel 3

Town of Lake Park, Florida

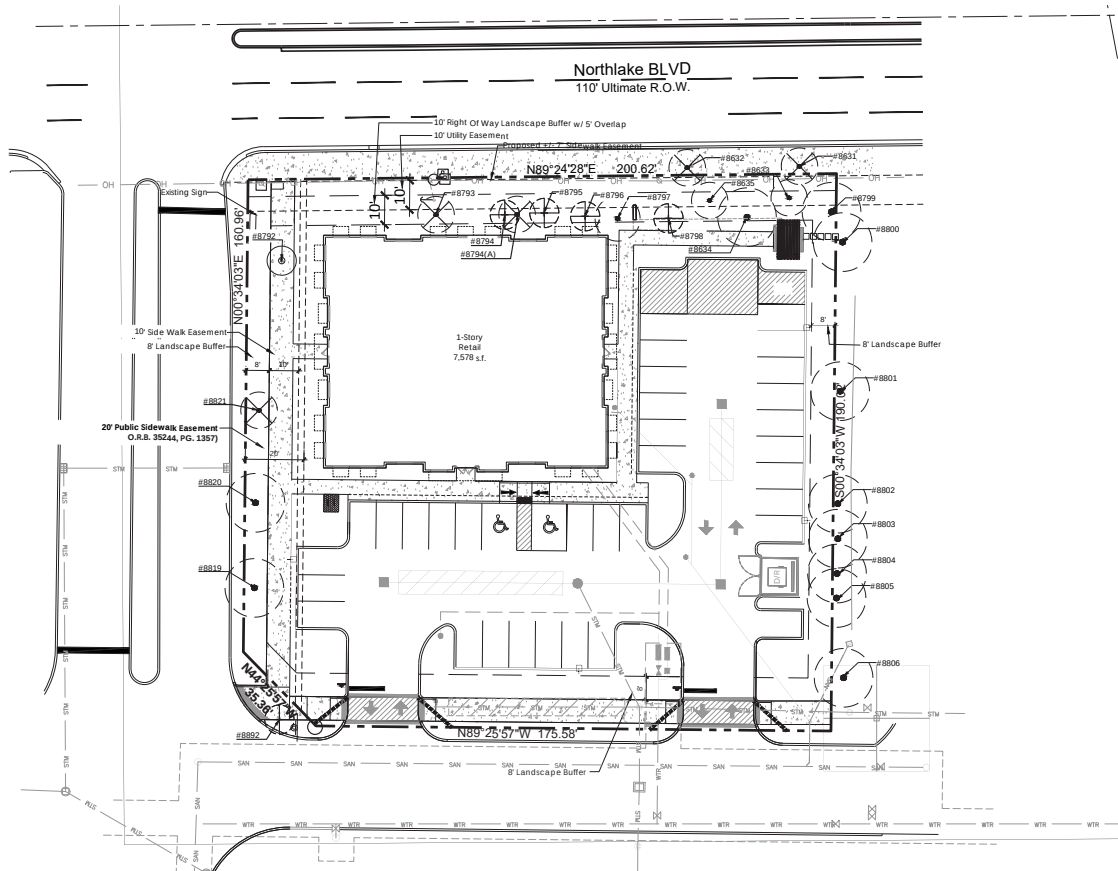


TREE TABLE

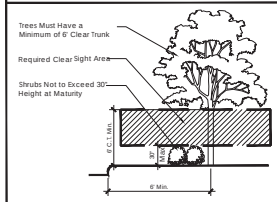
TREE #	COMMON NAME	BOTANICAL NAME	DBH	Disposition	Notes
8631	Magnolia	<i>Magnolia grandiflora</i>	4"	Remove	
8632	Magnolia	<i>Magnolia grandiflora</i>	4"	Remove	
8633	Oak	<i>Quercus</i> spp.	15"	Preserve	
8634	Oak	<i>Quercus</i> spp.	20"	Preserve	
8635	Oak	<i>Quercus</i> spp.	18"	Preserve	
8792	Medjool Date Palm	<i>Phoenix dactylifera</i>	12 HT	Relocate	
8793	Oak	<i>Quercus</i> spp.	6"	Remove	
8794	Washingtonia Palm	<i>Washingtonia robusta</i>	9 HT	Remove	
8794(A)	Oak	<i>Quercus</i> spp.		Remove	
8795	Oak	<i>Quercus</i> spp.	5"	Preserve	
8796	Washingtonia Palm	<i>Washingtonia robusta</i>	9 HT	Remove	
8797	Oak	<i>Quercus</i> spp.	10"	Preserve	
8798	Washingtonia Palm	<i>Washingtonia robusta</i>	10 HT	Remove	
8799	Oak	<i>Quercus</i> spp.		Preserve	
8800	Oak	<i>Quercus</i> spp.	5"	Preserve	
8801	Oak	<i>Quercus</i> spp.	16"	Preserve	
8802	Oak	<i>Quercus</i> spp.	9"	Preserve	
8803	Oak	<i>Quercus</i> spp.	12"	Preserve	
8804	Coconut Palm	<i>Cocos nucifera</i>	10 HT	Preserve	
8805	Coconut Palm	<i>Cocos nucifera</i>	10 HT	Preserve	
8806	Coconut Palm	<i>Cocos nucifera</i>	11 HT	Preserve	
8819	Japanese Privet	<i>Ligustrum japonicum</i>		Preserve	Cluster
8820	Japanese Privet	<i>Ligustrum japonicum</i>		Preserve	Cluster
8821	Japanese Privet	<i>Ligustrum japonicum</i>		Remove	Cluster (Poor Condition)
8892	Sabal Palm	<i>Sabal palmetto</i>	11" HT	Remove	

TREE SUMMARY

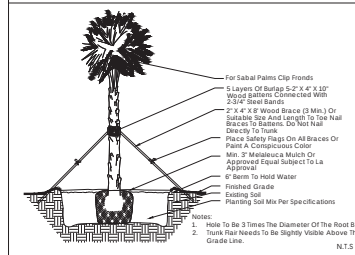
Category	Total Trees
Preserved Trees	16
Removed Trees	8
Relocated Trees	1



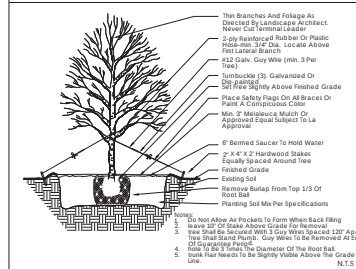
SAFE SIGHT DETAIL



PALM RELOCATION DETAIL



TREE RELOCATION DETAIL



VEGETATION NOTES

1. Tree protection barriers shall be installed and in place prior to any other construction activity on site. Tree protection barriers shall remain in place throughout the construction of the project until removal is approved by governing agency.
2. During land clearing and construction, protective barriers shall be maintained around all trees / palms or groups of trees / palms to be protected. The movement of equipment or the storage of equipment, materials, and placement of debris or fill within protective barriers is prohibited.
3. A permit to remove trees / palms must be applied for with the governing agency prior to tree removal.
4. All relocated trees and palms shall be staked and guyed as indicated in the details.
5. A permit to remove trees / palms must be applied for with the governing agency prior to tree removal.
6. All transplanted trees must be transplanted using best industry standards.
7. Provide irrigation to transplanted trees or trees within holding areas to ensure survivorship.
8. Vegetation to be preserved shall be banded with a 3-foot high plastic mesh (orange OSHA) supported by 5-foot long rebar or 2" x 2" wood stakes or equivalent.
9. Vegetation to be preserved at a lower final grade may be protected with a 24-inch high fill fence around the preserve area or vegetation with the addition of the 3-foot high plastic mesh, if needed.
10. If hand clearing is necessary within the preserve area or under the Vegetation canopy, Vegetation to be preserved can initially be delineated by plastic ribbon affixed to survey stakes (to avoid putting up and taking down fencing) and then protected with either plastic mesh and/or the fill fence.
11. Vegetation to be relocated can usually be delineated by plastic ribbon affixed to survey stakes unless their relocation is delayed due to root pruning. If root pruning is required, the Vegetation shall be protected with either plastic mesh and/or fill fence.



Know what's below.
Call before you dig.



NORTH



SCALE: 1" = 20'-0"

12/17/24 Revision
03/18/25 Revision
03/28/25 Revision
05/07/25 Resubmittal
06/04/25 Resubmittal
06/12/25 Revision
06/18/25 Revision

NOT VALID WITHOUT THE SIGNATURE AND SEAL OF A FLORIDA LICENSED LANDSCAPE ARCHITECT

Jon E. Schmidt
Digitally signed
Date: 2025.06.18
18:07:59 -04'00'

FLORIDA REGISTRATION NO.
Jon E. Schmidt LA 0001638

Tree Disposition
Plan

LP-1 of 4



**SCHMIDT
NICHOLS**

LANDSCAPE ARCHITECTURE
AND URBAN PLANNING

1551 N. Flagler Dr, Ste 102
West Palm Beach, FL 33401
Phone: 561.684.6141
Email: info@snlandplan.com
Website: www.snlandplan.com
License No: LC26000232

Northlake Promenade Outparcel 3

Town of Lake Park, Florida

Date: 11/11/24
Scale: AS SHOWN
Design By: CPC
Drawn By: CPC
Checked By: JES
File No. 819.01B
Job No. 24-66

REVISIONS / SUBMISSIONS

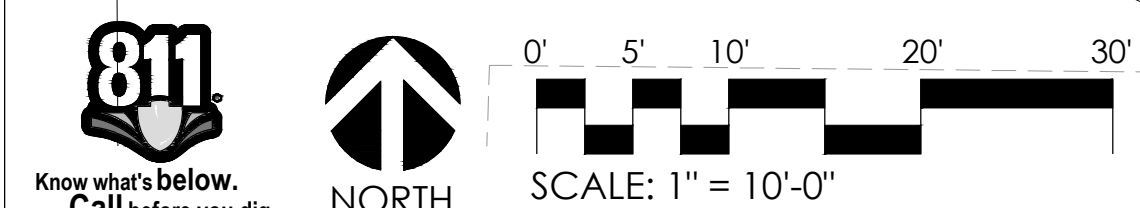
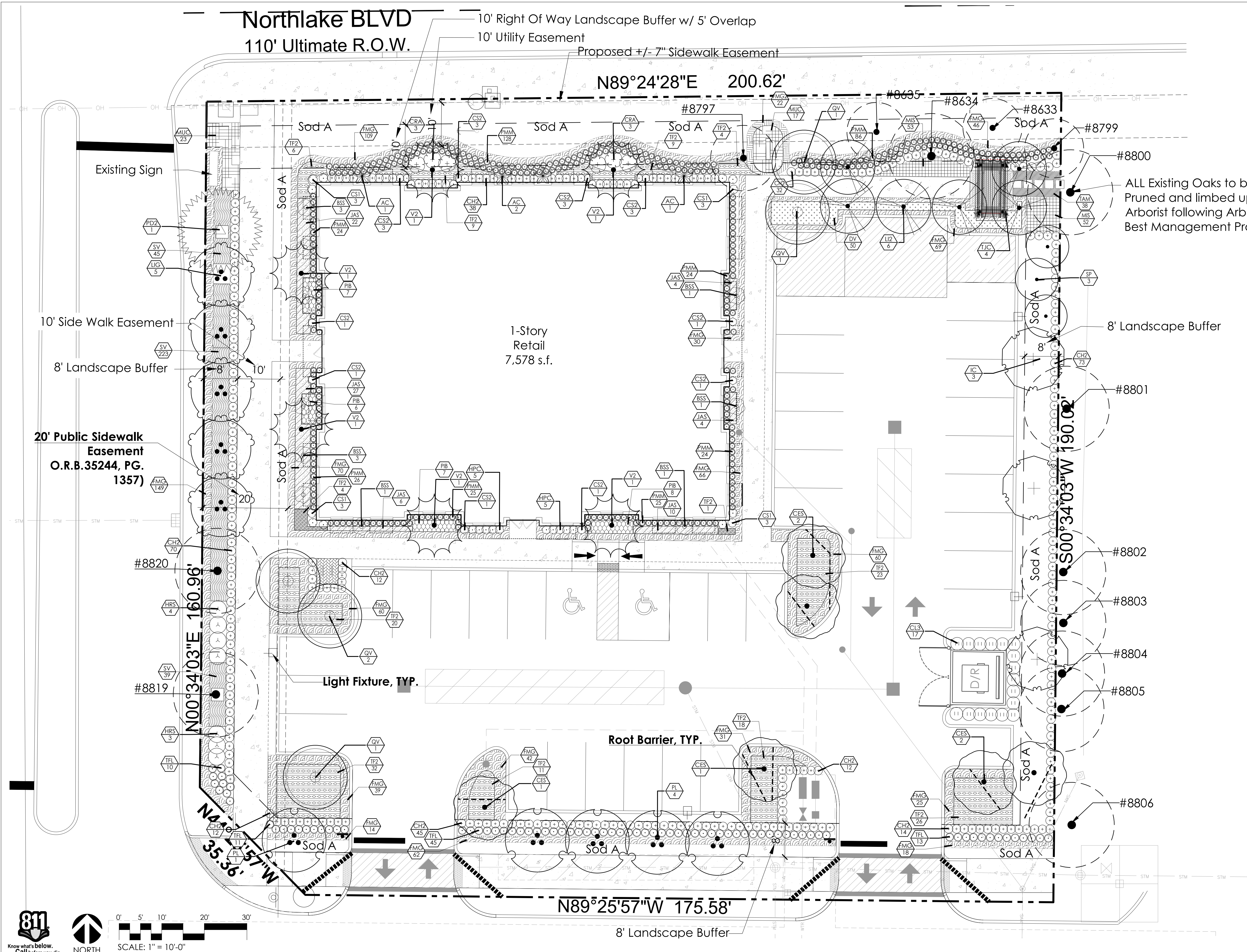
12/17/24 Revision
03/18/25 Revision
03/26/25 Revision
05/07/25 Resubmittal
05/14/25 Resubmittal
06/12/25 Revision
06/18/25 Revision

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FLORIDA REGISTRATION NO.
Jon Eric Schmidt LA 0001638

Landscape
Plan

LP-2 of 4



LANDSCAPE NOTES

1. Exemptions shall not encroach landscape buffers more than 5 feet.
2. 2FOOT Type D curb shall be provided along the perimeter of all landscape, open space, drainage and parking areas adjacent to parking areas. All other areas are provided.
3. 5. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between 30' and 100'.
4. Light poles, fire hydrants, electrical/mechanical systems, signs, drainage structures, etc., shall not interfere with landscaping in terminal stands, parking stands, medians, buffers or other landscaped areas.
5. All trees shall be planted in the "Tree Line" and "Open/Cul-de-sac" areas. The "Tree Line" contains trees as a suggestion only.
6. All mulch/grow good shall be installed in detention areas.
7. All landscape areas (including soil) that be irrigated with an underground automatic sprinkler system shall be covered with mulch.
8. Trees shown on this plan are for graphic representation only. Tree spacing is based on design requirements and trees shown on these plans represent attempts to accomplish that spacing while maintaining the required minimum tree spacing. Tree spacing shall be determined by the Engineer. Tree spacing shall be maintained in any case the trees shall be located in the field in accordance with the planting details shown herein.
9. All trees shall be installed in accordance with the following specifications:
 - a. All trees shall be installed in accordance with the following specifications:
 - b. Hydrants and IR stations if, a ten foot (10') separation cannot be achieved, the tree can be installed with a minimum of 5' from the hydrant or IR station.
 - c. All trees shall be installed in accordance with the following specifications:
 - d. Tree encroach into a PUCU within prior PUCU approval and only soil can be installed within 15' of a tree if approved otherwise approved by the Fire Marshal.
10. All trees shall be installed in accordance with the following specifications:
 - a. All trees shall be installed in accordance with the following specifications:
 - b. All trees shall be installed in accordance with the following specifications:
 - c. All trees shall be installed in accordance with the following specifications:
 - d. All trees shall be installed in accordance with the following specifications:
 - e. All trees shall be installed in accordance with the following specifications:
 - f. All trees shall be installed in accordance with the following specifications:
 - g. All trees shall be installed in accordance with the following specifications:
 - h. All trees shall be installed in accordance with the following specifications:
 - i. All trees shall be installed in accordance with the following specifications:
 - j. All trees shall be installed in accordance with the following specifications:
 - k. All trees shall be installed in accordance with the following specifications:
 - l. All trees shall be installed in accordance with the following specifications:
 - m. All trees shall be installed in accordance with the following specifications:
 - n. All trees shall be installed in accordance with the following specifications:
 - o. All trees shall be installed in accordance with the following specifications:
 - p. All trees shall be installed in accordance with the following specifications:
 - q. All trees shall be installed in accordance with the following specifications:
 - r. All trees shall be installed in accordance with the following specifications:
 - s. All trees shall be installed in accordance with the following specifications:
 - t. All trees shall be installed in accordance with the following specifications:
 - u. All trees shall be installed in accordance with the following specifications:
 - v. All trees shall be installed in accordance with the following specifications:
 - w. All trees shall be installed in accordance with the following specifications:
 - x. All trees shall be installed in accordance with the following specifications:
 - y. All trees shall be installed in accordance with the following specifications:
 - z. All trees shall be installed in accordance with the following specifications:
11. All ground mounted equipment shall be screened from view.
12. 100% to C.O. are the minimum 100% soil coverage, including grasses in the directly adjacent ROW.
13. All disturbed areas must be sodded including all areas used for staging and maneuvering that may not be covered by the landscape.
14. Any equipment (condemning units, transformers, etc.) must not interfere with proposed parking lot trees.

1. Exemptions shall not encroach landscape buffers more than 5 feet.
2. 20' type D or F curb shall be provided along the perimeter of all landscape, open space, drainage, and parking areas adjacent to the proposed building footprint. All other types of curbs shall be provided.
3. Safe sight triangles shall be maintained clear of vegetation to provide unobstructed visibility between the intersection of the proposed building footprint and the adjacent roadway.
4. Light poles, fire hydrants, electrical/mechanical equipment, signs, drainage structures, etc., shall not interfere with landscaping in terminal lands, parking stands, median, boulevards, or other landscaped areas.
5. The proposed landscape plan shall be consistent with the City of San Jose and SBC/Caltrans when the Planting Schedule is used as a suggestion only.
6. All trees grown and used shall be planted in detention areas.
7. All landscape areas (including soil) shall be irrigated with an underground automatic sprinkler system providing min. 150% coverage.
8. All trees shall be planted for graphic representation only. Tree spacing is based on design requirements and the trees shown on these plans attempt to accomplish that spacing while maintaining the required minimum canopy cover. Trees shall be planted in accordance with the following guidelines:
 - a. All trees shall be located in the field in accordance with the planting details shown hereon.
 - b. Trees to be installed with a 1' root ball (2' separation from any water or sewer main) or service, or utility lines shall be installed with a 2' root ball (4' separation from any water or sewer main) or service.
 - c. Trees shall be installed with a 2' root ball (4' separation from any water or sewer main) or service, or utility lines. Refer to the "Root Barrier" detail for installation requirements. However, in no case shall a 1' root ball (2' separation from any water or sewer main) or service be approved and only soil can be installed within 1/5' of a fire hydrant unless otherwise approved by the Fire Marshal.
9. All parking lot stands, and any other areas on site with baserock, shall be excavated to a minimum depth of 12" below the proposed finished grade and filled with a minimum of 12" of organic matter, well-mixed with native soil. Backfill material shall be free from rock, construction debris, or other foreign material.
10. All substitutions or modifications from the approved Landscape Plan must be submitted and approved by the Landscape Architect in writing.
11. All ground-mounted external signs shall be screened from view.
12. Prior to C.O.C., the site must have 100% soil coverage, including greencap in the directly adjacent ROW. All disturbed areas must be seeded including all areas used for staging and maneuvering that may not be covered by the approved Landscape Plan.
13. Any equipment (condensing units, transformers, etc.) must not interfere with proposed parking lot trees.

Legal Description

Northlake Promenade Outparcel 3

PARCEL 3 OF "NORTHLAKE PROMENADE SHOPPES, A PUD", ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 102, PAGE 130, OF THE PUBLIC RECORDS OF PALM BEACH COUNTY, FLORIDA.

**Justification Statement
Northlake Promenade Outparcel 3
Town of Lake Park Site Plan Review Application
Original Submittal: December, 20 2025
Resubmittal: May 16, 2025**

Introduction

The subject site is located on the south side of Northlake Boulevard approximately 680 feet west of US 1 and consists of 1 parcel totaling 0.85 acres (PCNs: 36-43-42-21-29-003-0000). The subject site has an existing C-3 Twin Cities Mixed Use zoning designation and is approved as part of the former Northlake Promenade Planned Unit Development. The site is designated as Twin Cities Mixed Use future land use. The subject site is currently vacant, cleared, and ready for development.

On behalf of the Owner and Applicant, OPV Northlake Promenade LLC, Schmidt Nichols requests Site Plan Approval for a Retail use on the subject site consisting of 7,578 s.f. in gross floor area situated in a one-story structure.

Below is a chart showing the surrounding properties and their Zoning, FLU, and existing land use:

	Uses	FLU	Zoning
Subject Property	Vacant (Existing) Retail (Proposed)	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use
North	Commercial	Commercial	C-NB (North Palm Beach)
South	Commercial	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use
East	Commercial	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use
West	Commercial	Twin Cities Mixed Use	C-3 Twin Cities Mixed Use

Overview of Requests

The applicant requests consideration of approval for the following request:

Request 1: Site Plan Approval – for a proposed 7,578 s.f. Retail building.

Request 1: Site Plan Review

Per the Site Plan Review application form, the following items shall be addressed in a satisfactory manner for the approval of the proposed Site Plan:

1. Please explain the nature of the request.

Response: The applicant proposes to develop the subject vacant parcel with a 7,578 s.f. retail building with 35 parking spaces. The proposed structure will be situated to the northwest corner of the site directly adjacent to Northlake Boulevard and the main entrance driveway into the plaza. The structure proposed is a “Flex Building” type as described in Section 78-73 of the Town of Lake Park land development code. The site design includes a 10-foot sidewalk easement that runs along the west and south property lines, within which will be an 8-foot sidewalk that connects to the rest of the plaza’s sidewalk system. Landscape buffers are provided around the perimeter of the site to screen the surface parking area from adjacent properties. The applicant is proposing the required 8-foot-wide landscape buffer along the western property line to be directly adjacent to the main access driveway into the plaza to provide a buffer between vehicles exiting the plaza and pedestrians walking on the adjacent sidewalk.

2. What will be the impact of the proposed change to the surrounding area?

Response: The proposed retail development will have a positive impact on the surrounding area. The site currently sits vacant and provides no value to the surrounding area, therefore, the proposed development will have a net positive impact.

3. How does the proposed project comply with the Town of Lake Park’s zoning requirements?

Response: The proposed development meets all the Town of Lake Park’s zoning requirements.

Intent

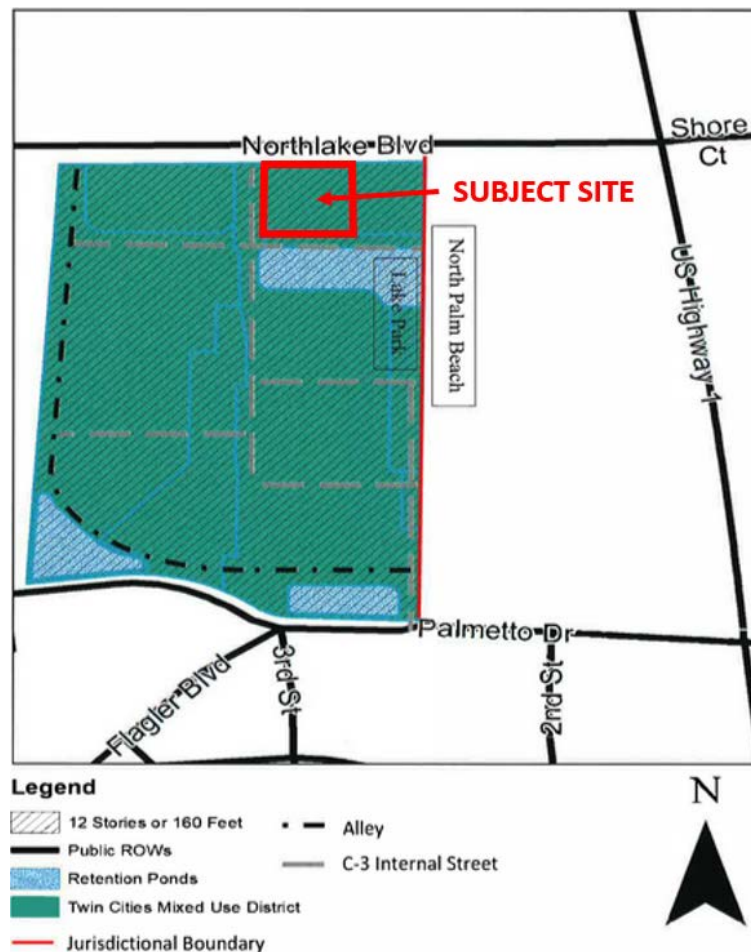
Per Section 78-73(a)(2) of the Town of Lake Park Land Development Code states “The intent of this district is to provide for a destination with complementary uses consisting of a mixture of retail and other commercial uses such as offices and lodging; civic and educational uses; and residential multifamily uses.” The proposed development meets this intent by providing a retail use on a lot that is currently vacant and will add to the mix of commercial uses within the plaza.

Permitted Uses

Table 1 in Section 78-73 indicates that Retail is a permitted use within the C-3 Twin Cities Mixed Use zoning district.

District Regulating Plan & Streetscapes

The proposed development meets the requirements of the District Regulating Plan, specifically the streetscape requirements. Below is a screenshot of District Regulating Plan from Section 78-73 of the town's Land Development Regulations, which identifies internal and public rights of way. The subject site is shown in red and is shown having frontage on two internal streets along the south and west sides. These internal streets require 10-foot sidewalk easements to connect the plaza's pedestrian circulation system between properties. The proposed site design incorporates these 10-foot sidewalk easements along the west and south sides of the property as required.



Parking & Standards

The proposed project meets the minimum number of parking spaces required by code. Per Table 9 in Sec. 78-73 of the Town's code, the minimum required off street parking for this site is calculated as follows:

Retail – 3 spaces/1,000 s.f. @ 7,578 s.f. = 23 spaces

Total Requirement: 23 spaces.

Total Proposed: 35 spaces.

Per Section 78-143 of the Town's Land Development Code, retail uses shall provide a minimum of 1 loading space for the first 10,000 s.f. of retail space. Therefore, the proposed development requires 1 loading space at 15 feet wide by 35 feet long. The proposed site design includes 1 loading space at 15 feet wide by 40 feet long.

The size of the loading berth meets the standards of the Town's code; however, Section 78-143(i)(3) requires a maneuvering apron equal in length to the required loading space, which in this case would be 35 feet. Therefore, the total dimensions of the required loading space, plus the maneuvering apron is 15 feet wide by 70 feet long. This requirement is far beyond what is necessary to accommodate a Retail or any other use allowed by right in the C-3 district of the size proposed. Therefore, the applicant requests a reduction of the required maneuvering area.

Section 78-143(o)(2) outlines the standards for reducing the loading berth size as follows:

Reduced stall dimensions shall be permitted upon a finding that all of the following standards have been met:

- a. *The manner of operation proposed is such that stalls of the required dimensions are unnecessary because, the size, character and operation of the use will not regularly involve service by motor vehicles which require the dimensions of an off-street loading berth, such as, but not limited to the following uses: Bowling alleys and other recreational establishment, financial institutions, funeral chapel and funeral homes, nursing homes, offices, and personal service establishments;*

Response: The proposed 7,578 s.f. Retail use does not typically require a 15' wide by 35' long berth plus an additional 35' long maneuvering area. The vehicles that would typically serve this type of use are smaller delivery vans which can easily maneuver into a loading berth of the 15' wide by 40' long size provided. An Autoturn exhibit has been provided which shows this.

- b. *The land uses are likely to continue or to be succeeded by others for which the same stall dimensions will be adequate, or that any additional loading space necessary could be provided in a logical location without creating violations of other requirements of these regulations*

Response: Other allowable land uses in the C-3 district, include, but are not limited to: General Offices, Personal Services, Coffee Shop, Animal Day Care, and Art Galleries. While these uses may also have loading needs, the size of the proposed use, at 7,578 s.f. is not large enough to warrant such a large

maneuvering area beyond the provided 15' wide by 40-foot-long berth. The required 35' of maneuvering area, in addition to the 15 wide by 35' long loading berth is more typical of significantly larger spaces, such as for big box retail stores, large scale supermarkets, and industrial facilities, all of which are typically several magnitudes larger in size than the proposed use and all of which typically received a large number of daily deliveries from semi-truck delivery vehicles. The proposed structure, at 7,578 s.f. could never reasonably house a use that would accommodate the type and volume of traffic that would warrant such a large maneuvering area in addition to the required berth size. Therefore, it is reasonable to allow the reduction of the maneuvering area to allow for the proposed 15' wide by 40' long loading space.

- c. *Any reduction provides for a minimum stall length of 15 feet, a stall width of at least 12 feet, and a vertical clearance of ten feet.*

Response: The proposed loading stall is 15' wide by 40' long, which not only meets this requirement, but also goes above the standard 15' wide by 35' long loading berth size requirements to ensure more than enough space is provided for the loading space traffic that is anticipated.

March 28, 2025
Job No. 24-139

DRAINAGE STATEMENT

Northlake Promenade Outparcel #3
Town of Lake Park, Florida

SITE DATA

The subject parcel is located on the south side of Northlake Boulevard, west of US Highway 1 in the Town of Lake Park, Florida and contains approximately 0.86 acres. The Property Control Number for the subject parcel is 36-43-42-21-29-003-0000. Proposed site development on the currently vacant parcel consists of a 7,578 SF retail building. For additional information concerning site location and layout, please refer to the site plan prepared by Schmidt Nichols.

PROPOSED DRAINAGE

The site is located within the boundaries of the previously permitted Northlake Promenade Shoppes, South Florida Water Management District Permit No. 50-04324-P and will be a modification to that permit. It is proposed that runoff be directed to on-site water management areas by means of paved swales and/or inlets and storm sewer. Legal positive outfall is available via existing culvert connection to the Master Surface Water Management System for the Northlake Promenade Shoppes. Drainage design to address the following:

1. Building floor elevations to be at or above the level listed in the previous South Florida Water Management District Permit.
2. Due consideration to water quality.

Drainage Statement
Job No. 24-139
March 28, 2025 – Page 2

PROPOSED DRAINAGE (CONTINUED)

Required permits/approvals shall include the following:

1. South Florida Water Management District – Environmental Resource Permit Modification
2. Town of Lake Park – On Site Drainage

Bryan G. Kelley, Professional Engineer, State of Florida, License No. 74006

This item has been digitally signed and sealed by Bryan G. Kelley, P.E., on 03/28/2025.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.



New Building for:
Northlake Promenade
Outparcel 3
Town of Lake Park, Florida

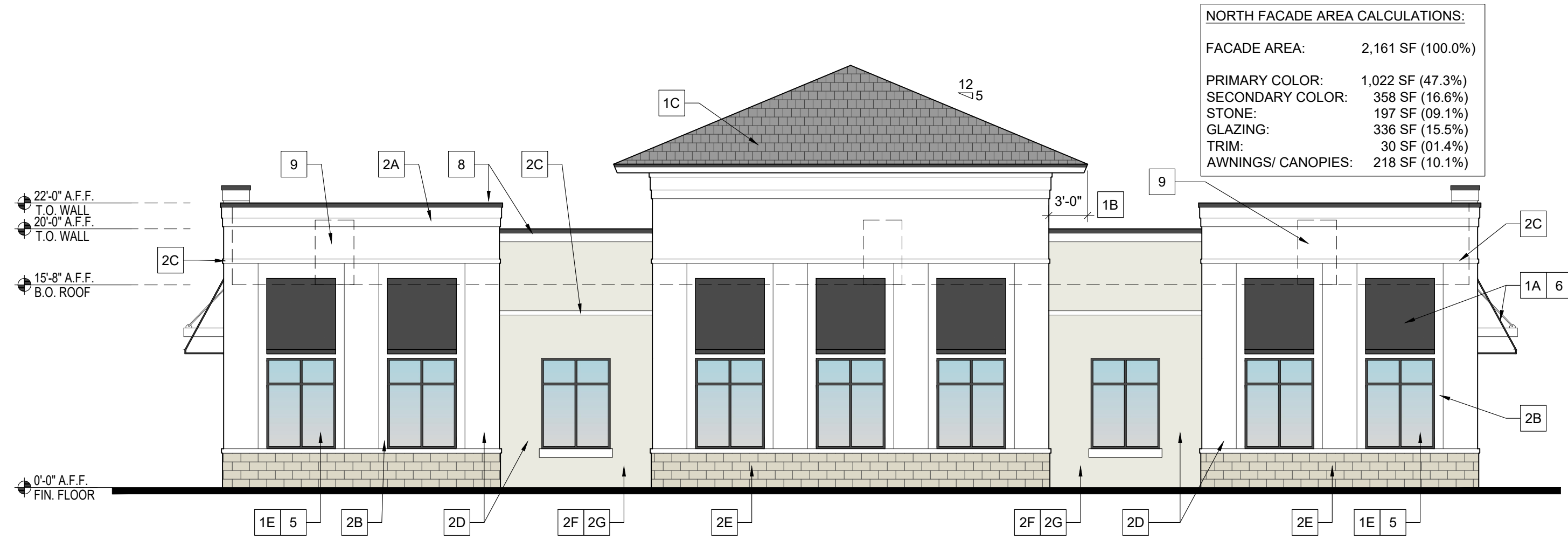


01 NORTHWEST VIEW

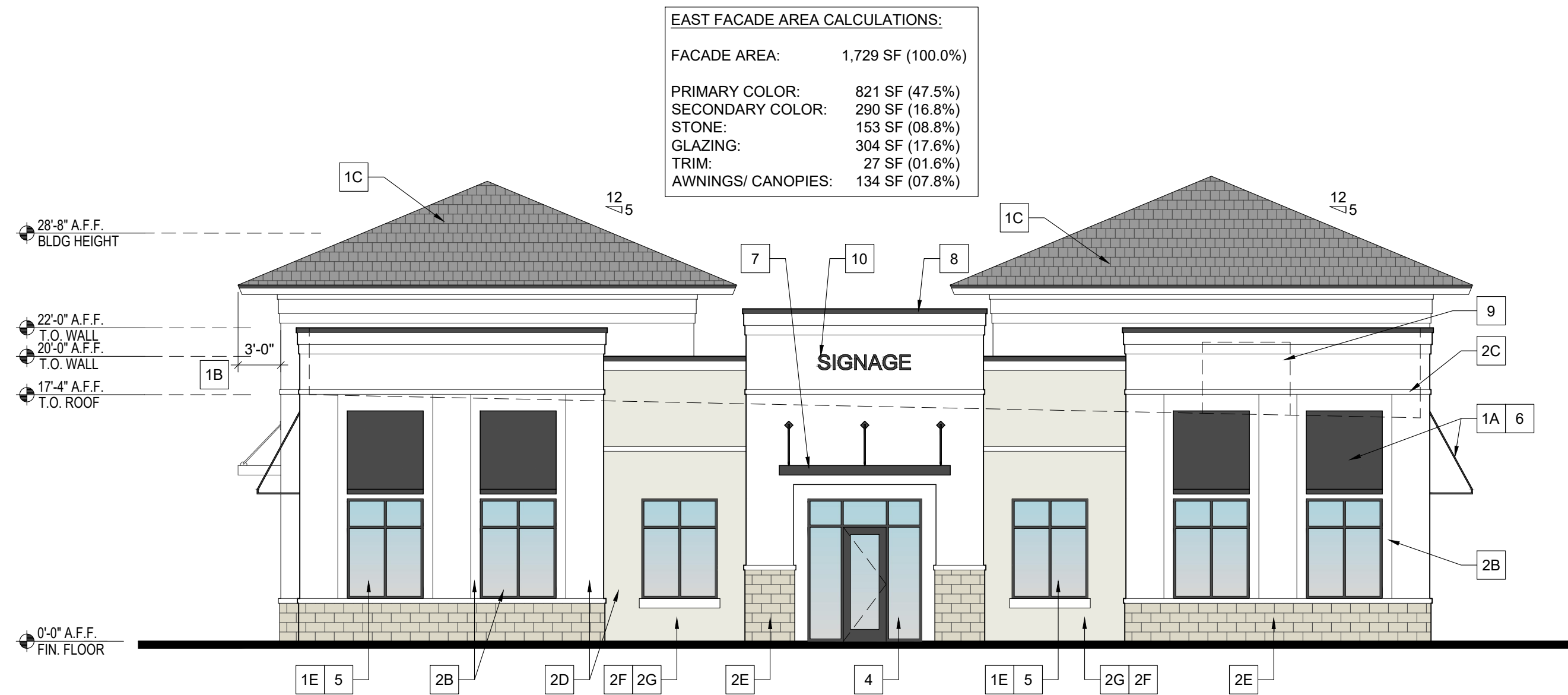
NORTH FACADE AREA CALCULATIONS:	
FACADE AREA:	2,161 SF (100.0%)
PRIMARY COLOR:	1,022 SF (47.3%)
SECONDARY COLOR:	358 SF (16.6%)
STONE:	197 SF (9.1%)
GLAZING:	336 SF (15.5%)
TRIM:	30 SF (01.4%)
AWNINGS/ CANOPIES:	218 SF (10.1%)

NORTH ELEVATION

SCALE: 1/8" = 1'-0"



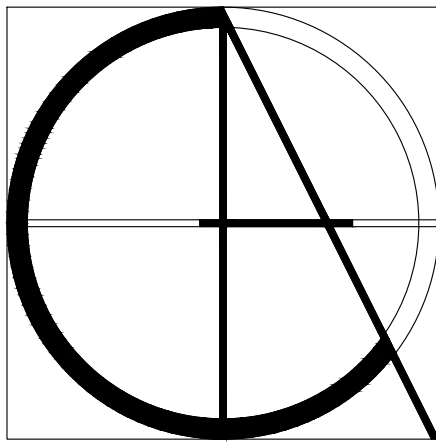
03 NORTH ELEVATION



05 EAST ELEVATION

[illegible]

A-1



Claren Architecture + Design, Inc.

AA26002865
6400 CONGRESS AVE, SUITE 2150
BOCA RATON, FL 33487
561.961.4884

New Building for:

Northlake Promenade
Outparcel 3

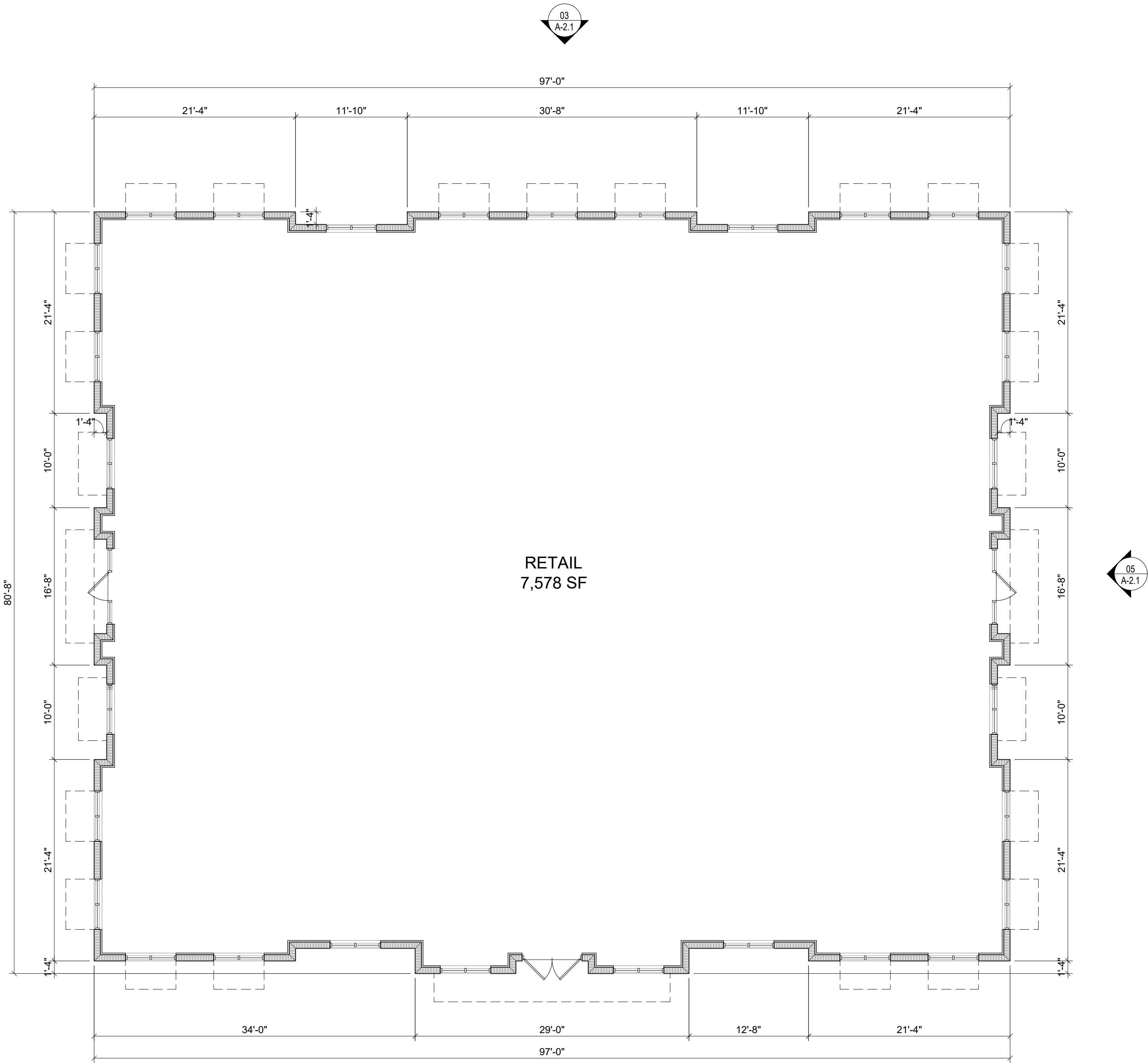
Town of Lake Park, Florida

PROJECT #	24-042
DATE	12-16-24
REV #	DATE
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SHEET #

A-2

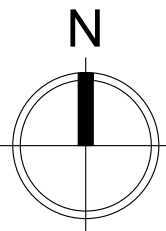
COPYRIGHT 2024



01

FLOOR PLAN

SCALE: 1/8" = 1'-0"

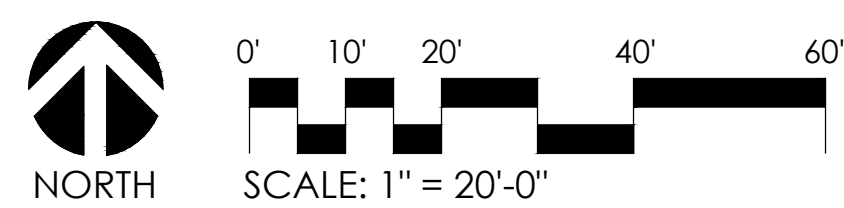




Date:	10/21/24
Scale:	1" = 20'
Design By:	JS
Drawn By:	AH
Checked By:	JS
File No.	819.01B
Job No.	16-100

Sprinter Van Turning Exhibit

158



Item 8.

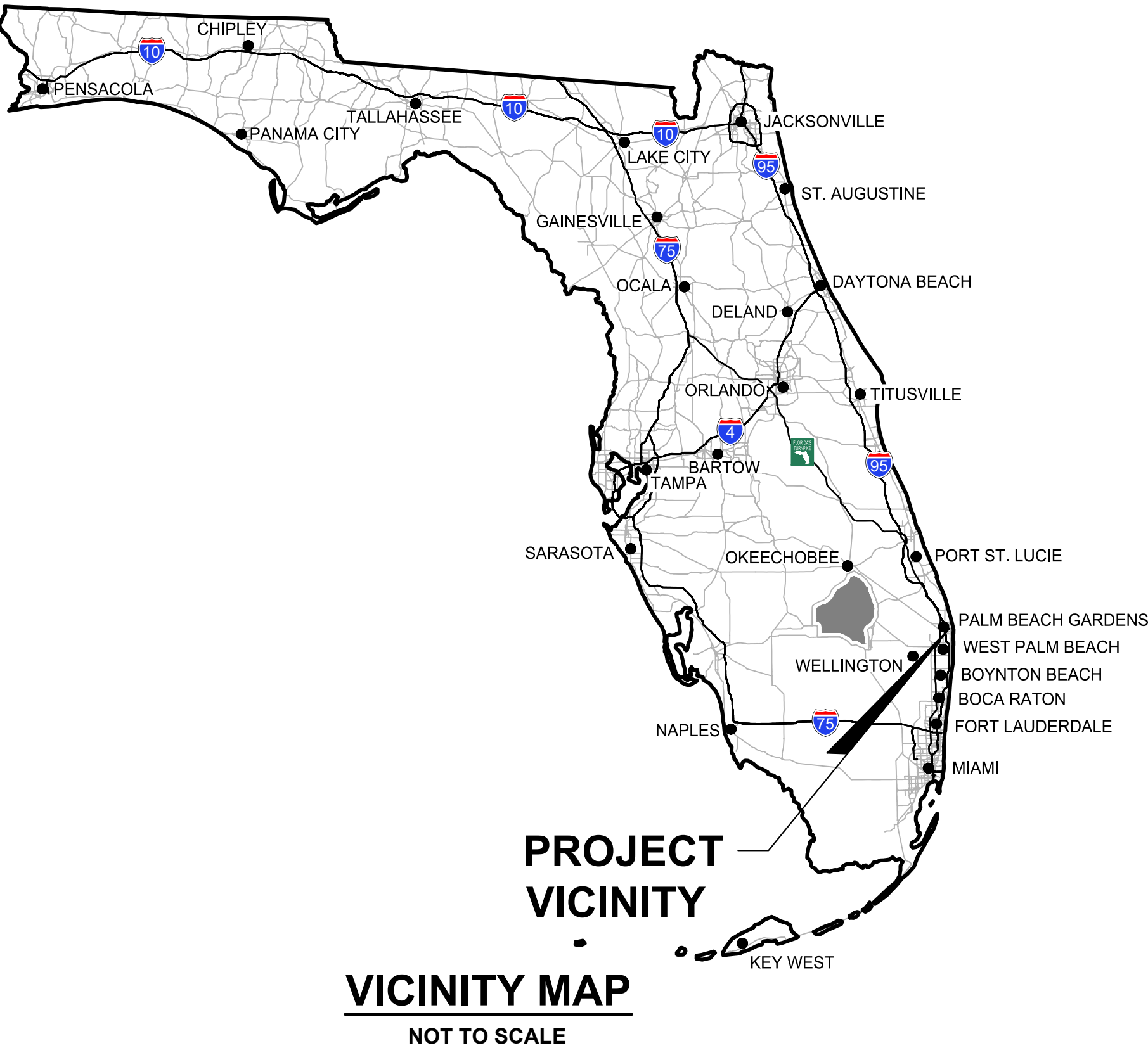
SITE DEVELOPMENT PLANS

NORTHLAKE PROMENADE

OUTPARCEL #3

SECTION 21, TOWNSHIP 42S., RANGE 43E.

TOWN OF LAKE PARK, FLORIDA



LOCATION MAP

NOT TO SCALE

INDEX OF SHEETS

SHEET NO.:	DESCRIPTION:
1	TITLE SHEET
2	PAVING AND DRAINAGE PLAN
3-4	PAVING AND DRAINAGE DETAILS
5	POLLUTION PREVENTION PLAN
6	WATER AND WASTEWATER PLAN
7-8	WATER AND WASTEWATER DETAILS

ERIK R. COOPER

FLORIDA

PROFESSIONAL ENGINEER

No. 56934

STATE OF

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ERIK R. COOPER, P.E. ON 7/25/2025.

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REVISIONS

SW

SIMMONS & WHITE

2581 Metrocentre Blvd West, Ste 3 | West Palm Beach, FL 33407

Authorization # 3452 | 561.478.7848

DESIGN	DRAWN	CHECKED	APPROVED	DATE
J.U.	B.L.			

NORTHLAKE PROMENADE—OUTPARCEL #3

SECTION 21, TOWNSHIP 42S., RANGE 43E.

TOWN OF LAKE PARK, FLORIDA

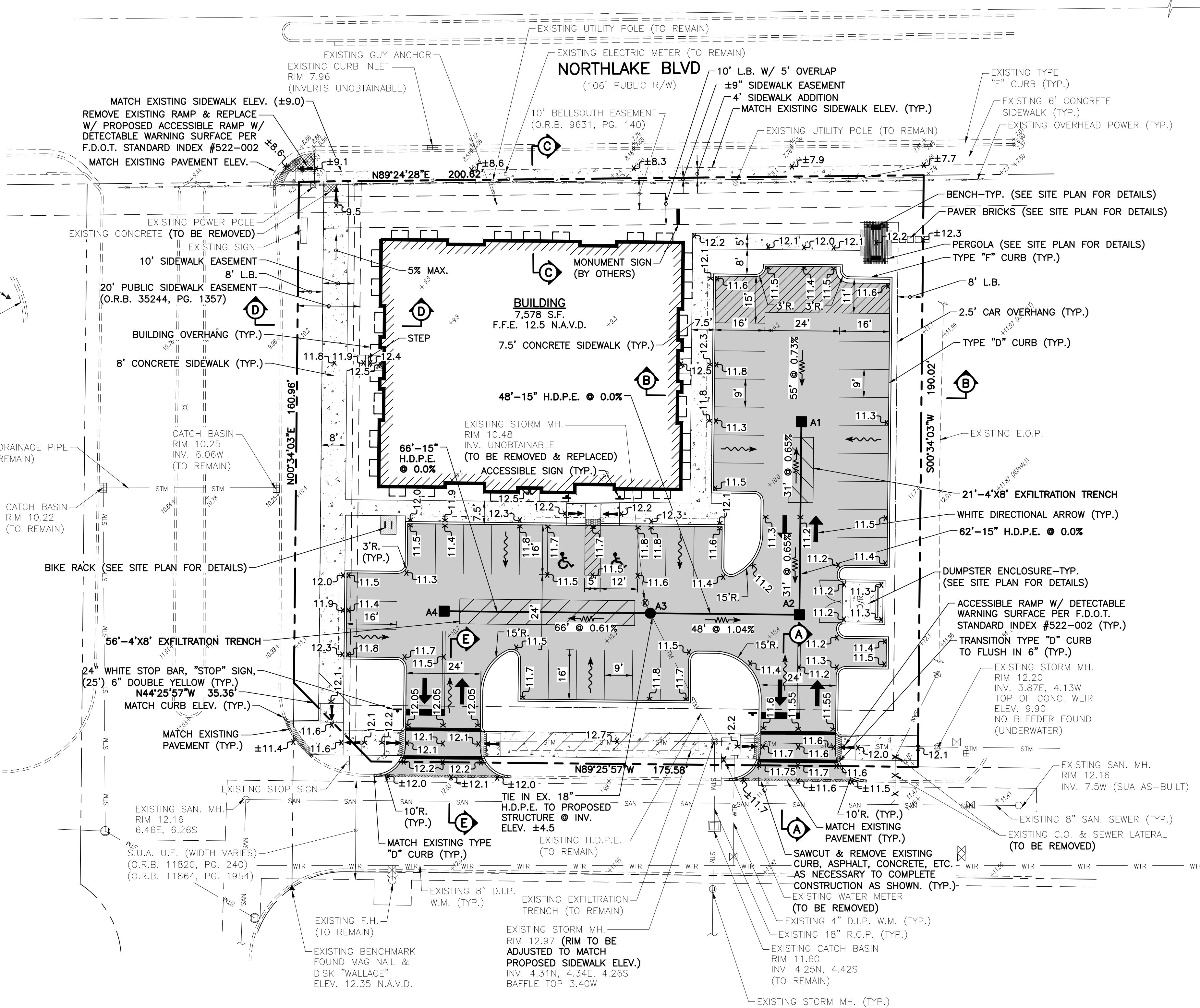
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JOB NO.	DRAWING NO.	SHEET	OF
24-139	24139S01	1	8

159

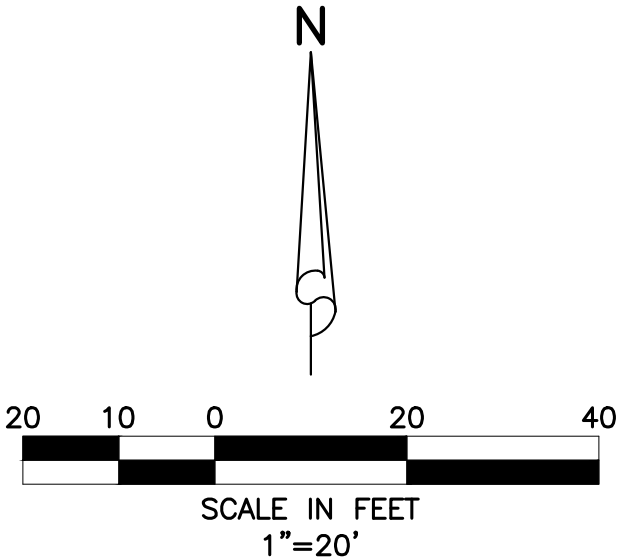
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DRAINAGE STRUCTURE TABLE			
STR. No.	RIM ELEV.	INV. ELEV.	STRUCTURE NOTES
A1	11.0	4.5	TYPE "C"
A2	11.0	4.5	TYPE "C" W/ BAFFLE TOP @ ELEV. 7.5N
A3	11.5	4.5	4' MH. W/ BAFFLE TOP @ ELEV. 7.5W
A4	11.1	4.5	TYPE "C"



LOCATION MAP

NOT TO SCALE

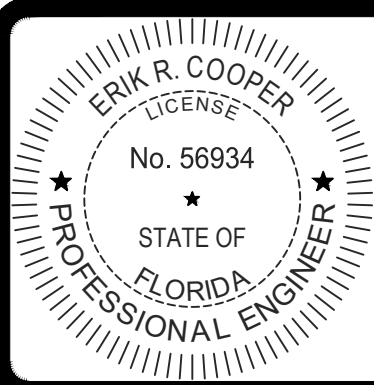


LEGEND

- A2 STRUCTURE NUMBER (SEE DRAINAGE STRUCTURE TABLE FOR INFORMATION)
- PROPOSED STORM SEWER AND CATCH BASIN
- PROPOSED STORM SEWER AND MANHOLE
- DIRECTION OF FLOW
- DIRECTION OF SWALE
- PROPOSED GRADE ELEVATION
- EXISTING GRADE ELEVATION
- ASPHALT PAVEMENT (ASPHALT OR CONCRETE, SEE SHEET 4 FOR SPECIFICATIONS)
- CONCRETE
- DECORATIVE PAVEMENT/BRICK PAVERS
- DETECTABLE WARNING SURFACE
- SAWCUT & REMOVE EXISTING PAVEMENT, CONCRETE, CURB, ETC.
- 4'X8' EXFILTRATION TRENCH W/ 6" P.V.C. VENT
- WHITE DIRECTIONAL ARROW
- BIKE RACK (SEE SITE PLAN FOR DETAILS)
- 24" WHITE STOP BAR, "STOP" SIGN & (25') 6" DOUBLE YELLOW STRIPING W/ BI-DIRECTIONAL AMBER R.P.M.'S
- EXISTING OVERHEAD POWER LINE & POWER POLE
- STM EXISTING STORM DRAINAGE PIPE (TO REMAIN)
- WTR EXISTING WATER MAIN (TO REMAIN)
- SAN EXISTING SEWER MAIN (TO REMAIN)
- FM EXISTING FORCE MAIN (TO REMAIN)
- X-X-X EXISTING STORM DRAINAGE PIPE (TO BE REMOVED)
- X-X-X EXISTING WATER MAIN (TO BE REMOVED)
- X-X-X EXISTING SEWER MAIN (TO BE REMOVED)
- X-X-X EXISTING FORCE MAIN (TO BE REMOVED)

48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST. LUCIE • MARTIN COUNTIES
1-800-432-4770
SUNSHINE STATE 1 CALL
UNDERGROUND UTILITIES
NOTIFICATION CENTER

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING (561) 640-4551.



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
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NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
PAVING AND DRAINAGE PLAN

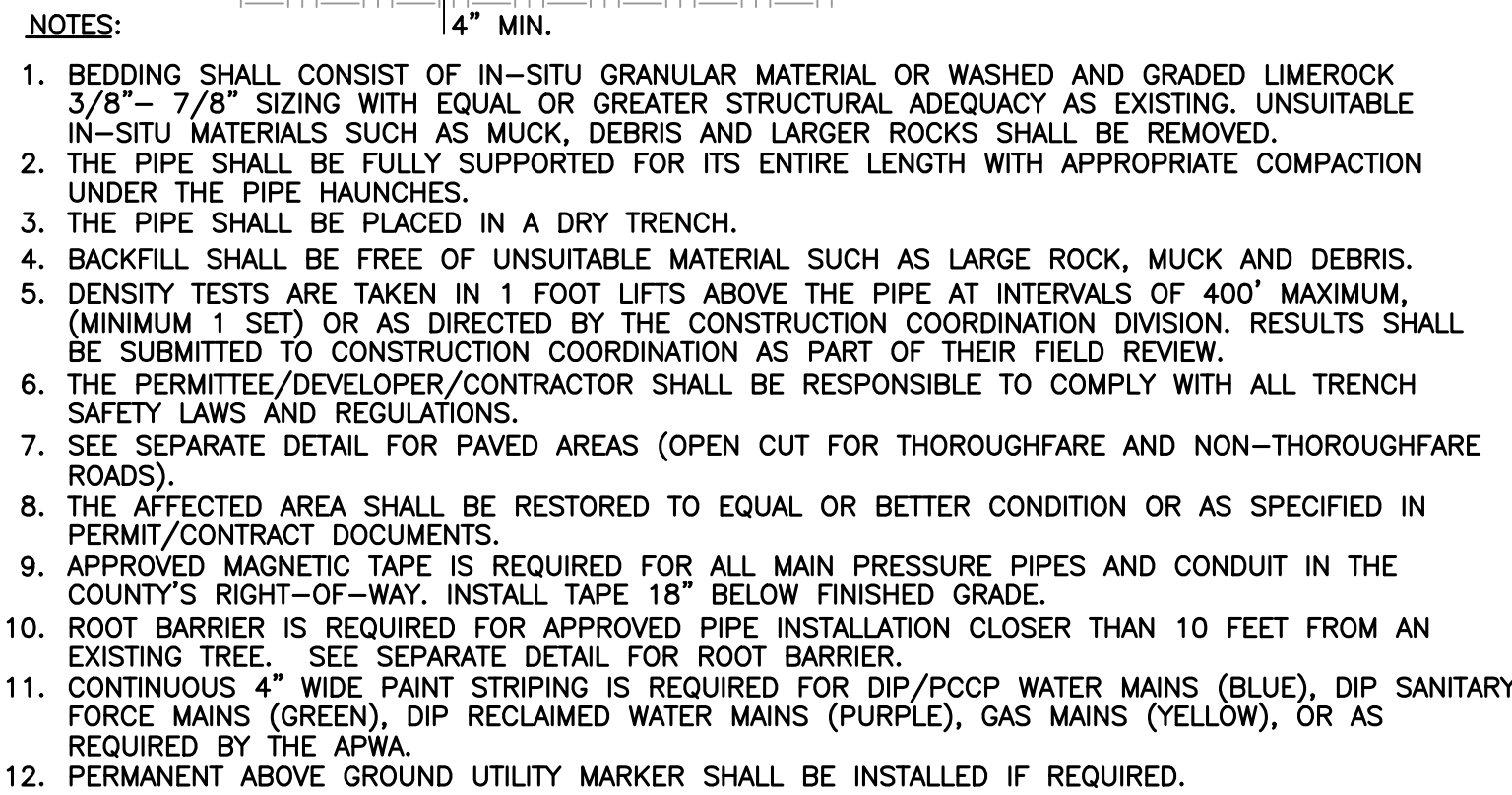
REVISIONS

DESIGN	DRAWN	CHECKED	APPROVED	DATE
J.U.	B.L.			

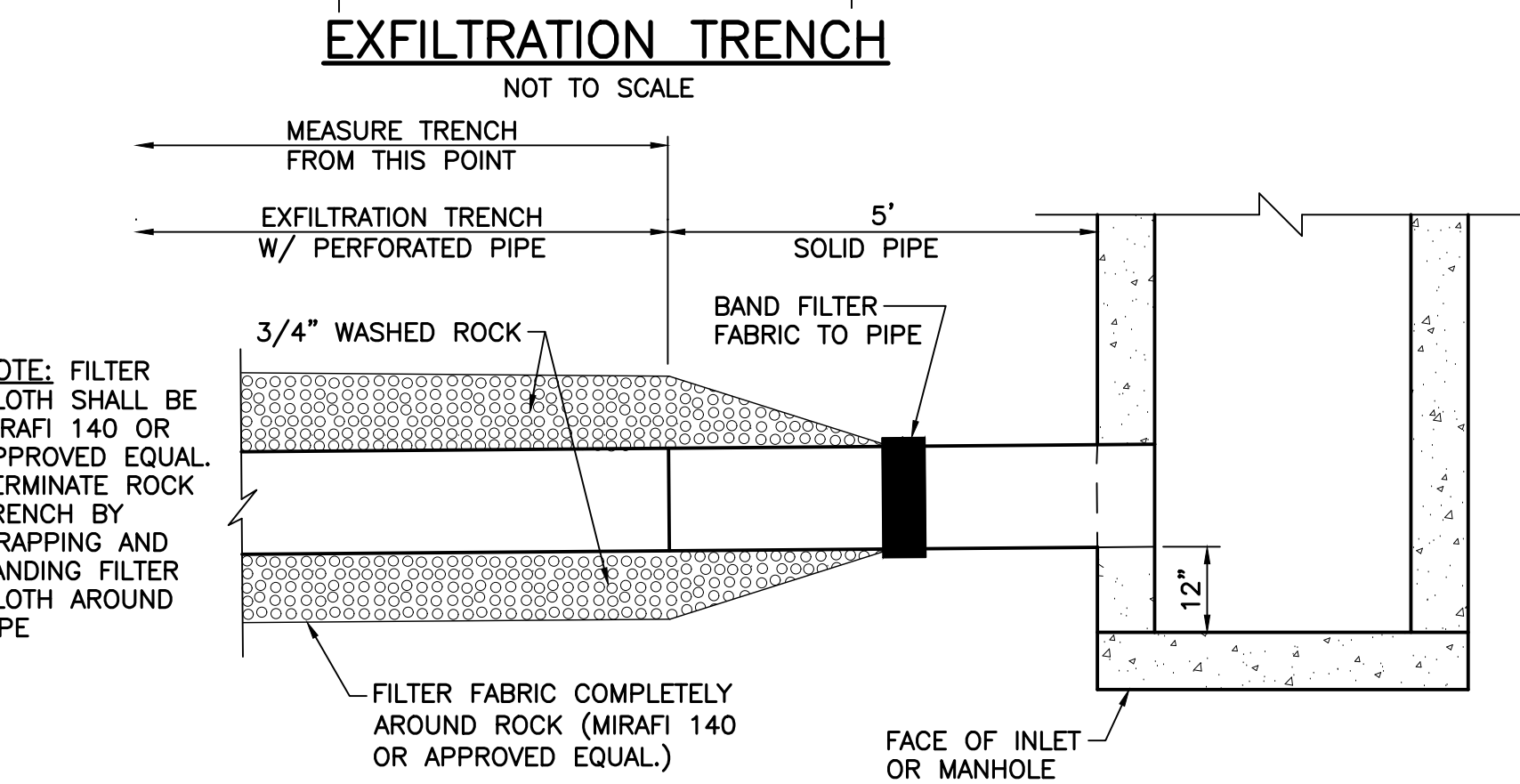
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24-139

DRAWING NO.
24139S02

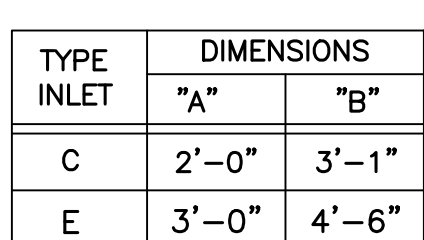
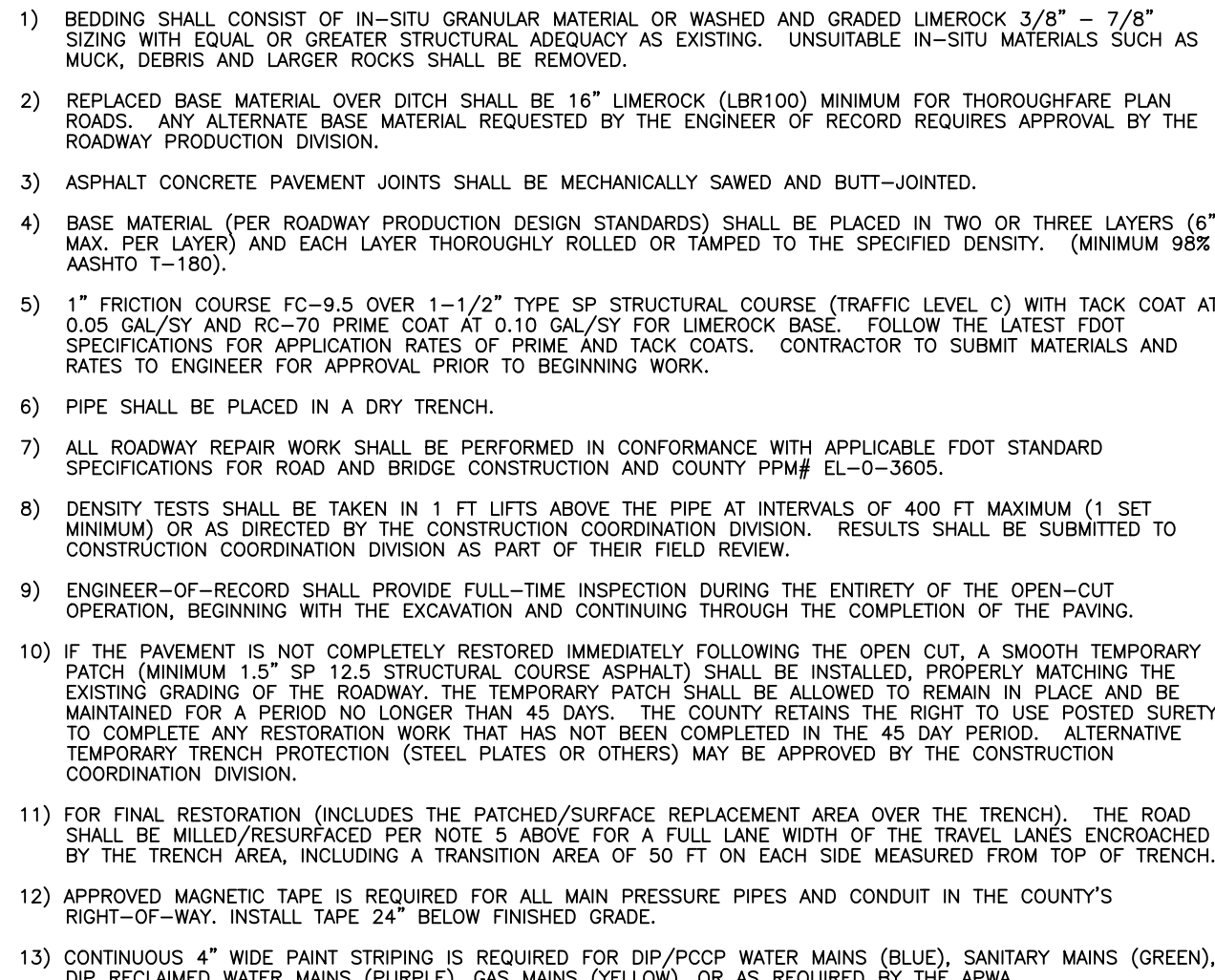
SHEET
2 OF 8



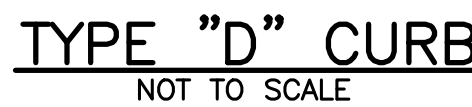
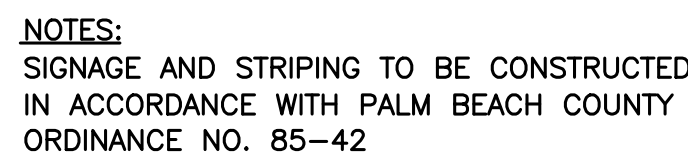
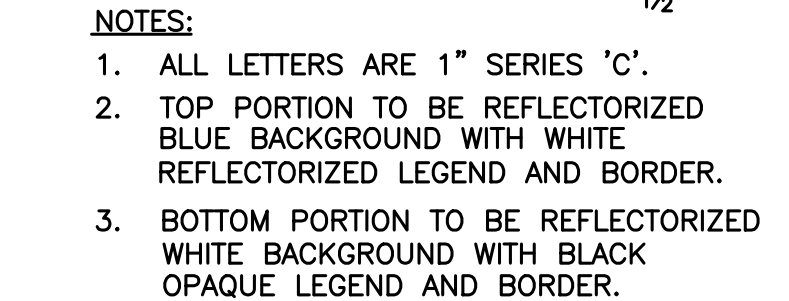
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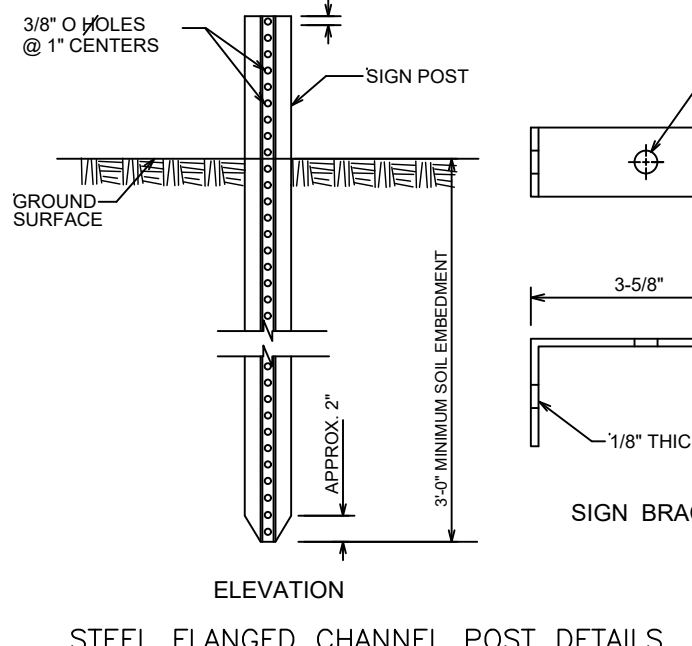
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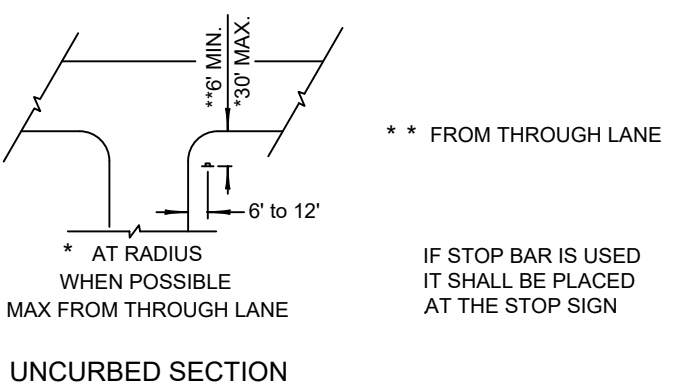
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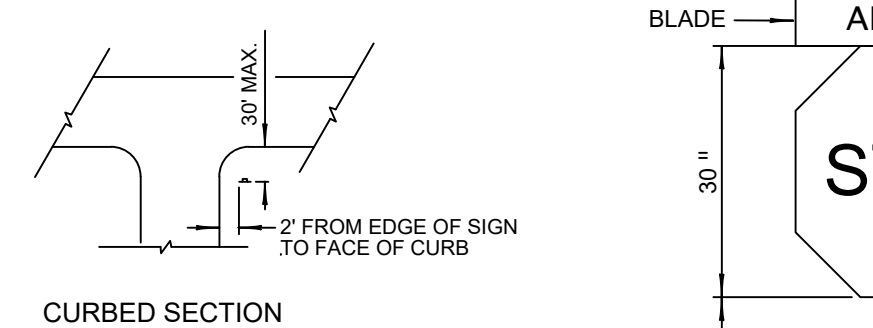
GENERAL SPECIFICATIONS:



STEEL FLANGED CHANNEL POST DETAILS



TYPICAL STOP SIGN PLACEMENT



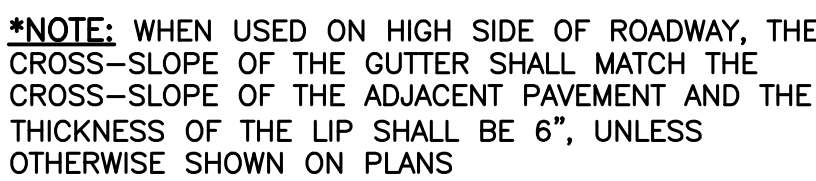
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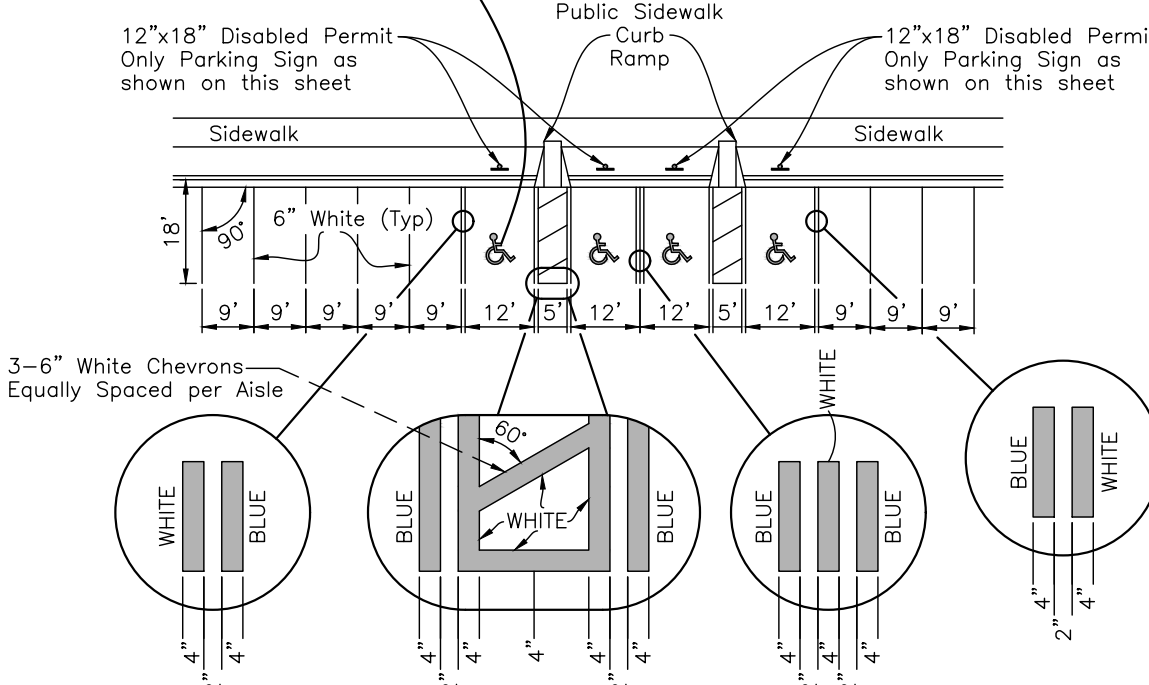
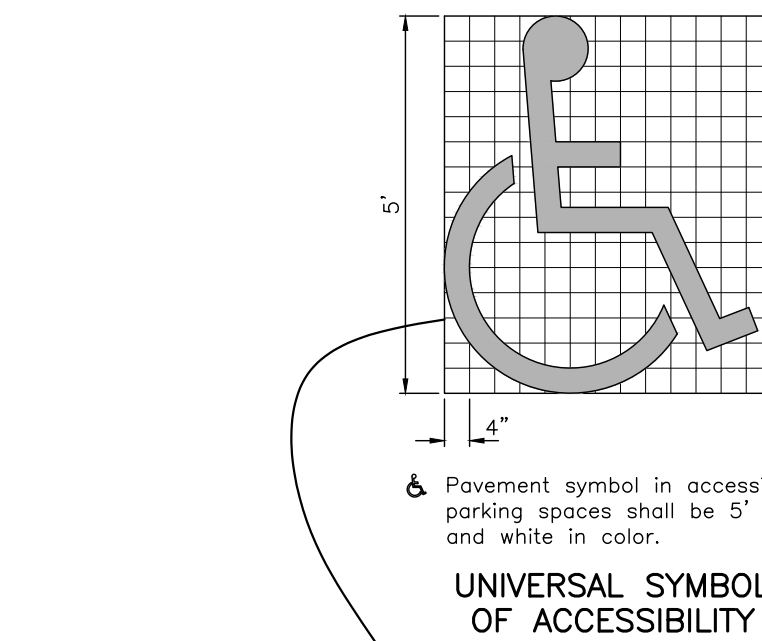
NOT TO SCALE

INLET AND MANHOLE NOTES

1. ALL EXPOSED CORNERS AND EDGES SHALL BE CHAMFERED 3/4".
2. INLETS AND MANHOLES SHALL BE PRECAST CLASS "A" 4,000 P.S.I., CONCRETE.
3. FRAMES AND GRATES SHALL BE CAST IRON AND IN ACCORDANCE WITH F.D.O.T. SPECIFICATIONS.
4. REINFORCING STEEL SHALL CONFORM TO A.S.T.M. 615 GRADE 60.
5. INLET GRATES SHALL BE U.S. FOUNDRY DWG. OR EQUAL. (USF 4155-6210 TYPE "C", USF 6290 TYPE "E") TYPE "E" GRATE CAST IN TWO SECTIONS.
6. SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER.

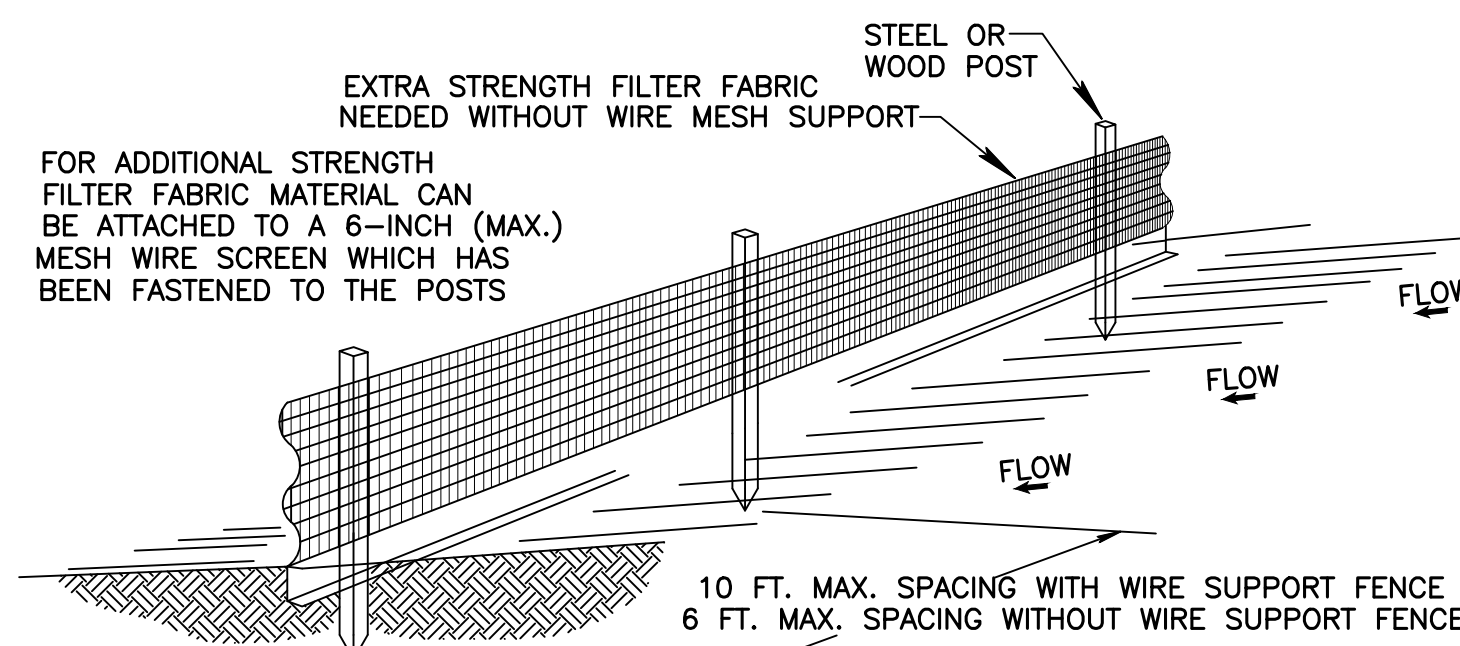


NOT TO SCALE



- NOTES:
1. Dimensions are to the centerline of markings.
 2. Criteria for pavement markings only, not public sidewalk curb ramp locations. For ramp locations refer to plans.
 3. Blue pavement markings shall be tinted to match shade 15180 of Federal Standards 595a.

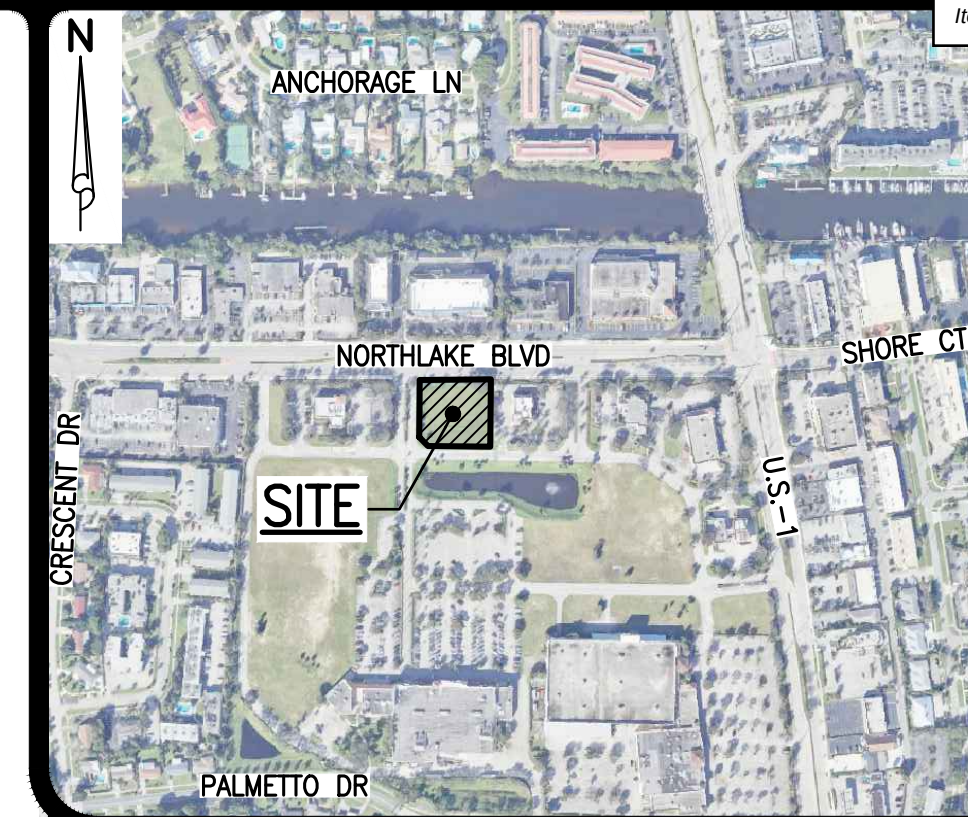
TYPICAL PARKING SPACES
NOT TO SCALE



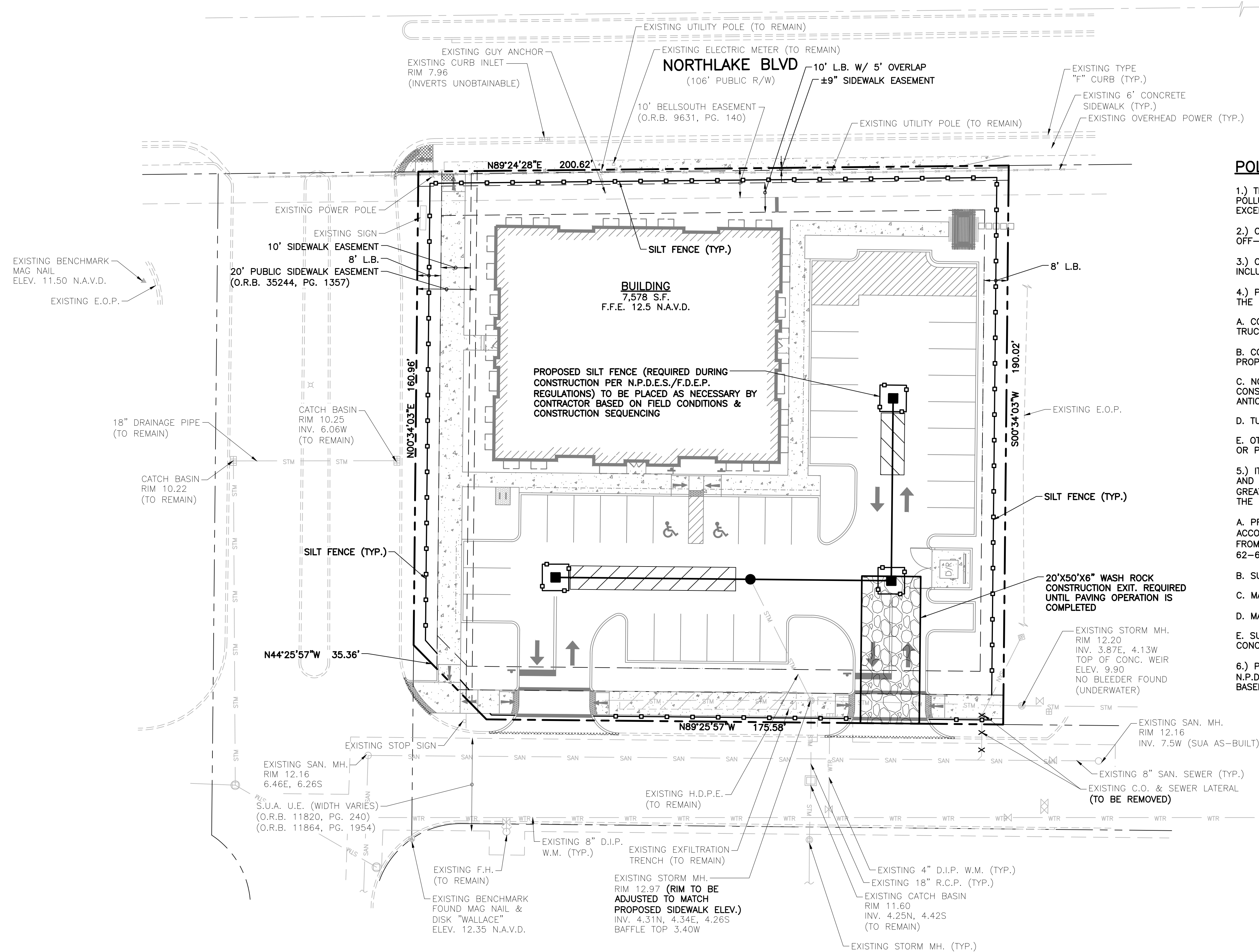
SILT FENCE INSTALLATION DETAIL
NOT TO SCALE.

SILT FENCE NOTES:

- 1.) THE HEIGHT OF A SILT FENCE SHALL NOT EXCEED 36 INCHES (90 CM).
- 2.) THE FILTER FABRIC SHALL BE PURCHASED IN A CONTINUOUS ROLL CUT TO THE LENGTH OF THE BARRIER TO AVOID THE USE OF JOINTS.
- 3.) POSTS SHALL BE SPACED A MAXIMUM OF 10 FEET (3 M) APART AT THE BARRIER LOCATION AND DRIVEN SECURELY INTO THE GROUND A MINIMUM OF 12 INCHES (30 CM). WHEN EXTRA STRENGTH FABRIC IS USED WITHOUT THE WIRE SUPPORT FENCE, POST SPACING SHALL NOT EXCEED 6 FEET (1.8 M).
- 4.) A TRENCH SHALL BE EXCAVATED APPROXIMATELY 4 INCHES (10 CM) WIDE AND 4 INCHES (10 CM) DEEP ALONG THE LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
- 5.) WHEN STANDARD STRENGTH FILTER FABRIC IS USED. A WIRE MESH SUPPORT FENCE SHALL BE FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY WIRE STAPLES AT LEAST 1 INCH (25 MM) LONG, TIE WIRES, OR HOG RINGS. THE WIRE SHALL EXTEND INTO THE TRENCH A MINIMUM OF 2 INCHES (5 CM) AND SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 6.) THE STANDARD STRENGTH FILTER FABRIC SHALL BE STAPLED OR WIRED TO THE FENCE, AND 8 INCHES (20 CM) OF THE FABRIC SHALL BE EXTENDED INTO THE TRENCH. THE FABRIC SHALL NOT EXTEND MORE THAN 36 INCHES (90 CM) ABOVE THE ORIGINAL GROUND SURFACE.
- 7.) THE TRENCH SHALL BE BACKFILLED AND THE SOIL COMPACTED OVER THE FILTER FABRIC.
- 8.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS AND CONSTRUCTION SEQUENCING.

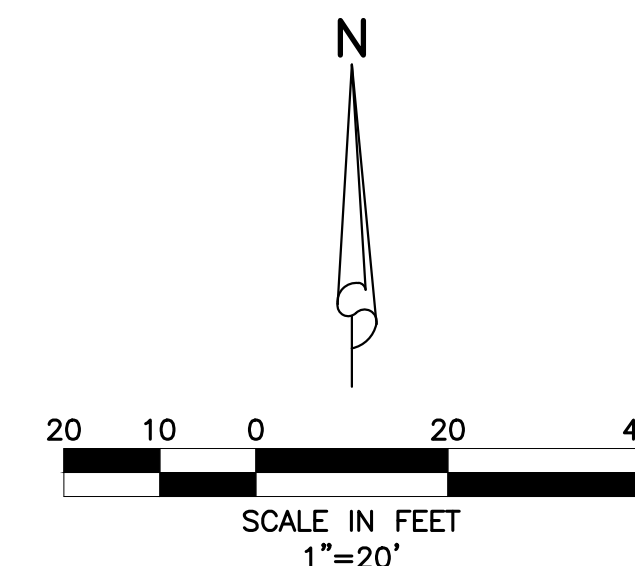


LOCATION MAP
NOT TO SCALE



POLLUTION PREVENTION NOTES:

- 1.) THIS PLAN SHOULD BE USED AS A GUIDE, A COMPLETE STORMWATER POLLUTION PLAN SHOULD BE DEVELOPED BY THE CONTRACTOR TO MEET OR EXCEED F.D.E.P. REQUIREMENTS.
- 2.) CONTRACTOR IS RESPONSIBLE TO ENSURE THAT NO DIRT BE TRACKED OFF-SITE OR LEAVES THE SITE BY WIND, RUNOFF, OR OTHER MEANS.
- 3.) CONTRACTOR SHALL BE RESPONSIBLE FOR ALL N.P.D.E.S. REQUIREMENTS INCLUDING FILING OF N.O.I., MONITORING REPORTS AND N.O.T.
- 4.) POLLUTION PREVENTION MEASURES SHALL CONSIST OF, BUT NOT LIMITED TO, THE FOLLOWING:
 - A. CONSTRUCT WASHROCK PAD AT ALL POINTS EGRESS FOR WASHDOWN OF TRUCK TIRES.
 - B. CONSTRUCT EROSION CONTROL FENCE AND/OR TURBIDITY SCREENS ALONG PROPERTY LINES AS NEEDED.
 - C. NO AREA SHALL BE LEFT BARREN OR SUBJECT TO EROSION DURING CONSTRUCTION. SEEDING AND MULCHING IS REQUIRED FOR ANY AREAS ANTICIPATED TO BE BARREN DURING CONSTRUCTION FOR MORE THAN 15 DAYS.
 - D. TURBIDITY BARRIERS TO BE UTILIZED AT PROJECT OUTFALL.
 - E. OTHER MEASURES AS DIRECTED BY THE ENGINEER, THE TOWN OF LAKE PARK, OR PALM BEACH COUNTY.
- 5.) IT IS THE CONTRACTORS RESPONSIBILITY TO COMPLY WITH ALL LOCAL, STATE AND FEDERAL POLLUTION PREVENTION REQUIREMENTS. FOR AFFECTED AREAS GREATER THAN 1 ACRE, COMPLIANCE SHALL INCLUDE (BUT IS NOT LIMITED TO) THE FOLLOWING:
 - A. PREPARATION OF A STORMWATER POLLUTION PREVENTION PLAN (S.W.P.P.P.) IN ACCORDANCE WITH THE D.E.P. "GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES" (D.E.P. DOCUMENT NO. 62-621.300(4)(A)).
 - B. SUBMITTAL OF THE NOTICE OF INTENT (N.O.I.) TO THE D.E.P.
 - C. MAINTENANCE AND INSPECTION OF THE ELEMENTS OF THE S.W.P.P.P.
 - D. MAINTENANCE OF RECORDS (INSPECTION REPORTS, N.O.I., S.W.P.P.P., ETC.)
 - E. SUBMITTAL OF THE NOTICE OF TERMINATION TO THE D.E.P. AT THE CONCLUSION OF THE PROJECT.
- 6.) PROPOSED SILT FENCE (REQUIRED DURING CONSTRUCTION PER N.P.D.E.S./F.D.E.P. REGULATIONS) TO BE PLACED AS NECESSARY BY CONTRACTOR BASED ON FIELD CONDITIONS & CONSTRUCTION SEQUENCING.

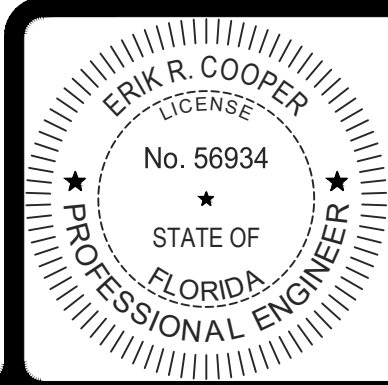


LEGEND



48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST. LUCIE • MARTIN COUNTIES
1-800-432-4770
SUNSHINE STATE 1 CALL
UNDERGROUND UTILITIES
NOTIFICATION CENTER

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING (561) 640-4551.



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NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
POLLUTION PREVENTION PLAN

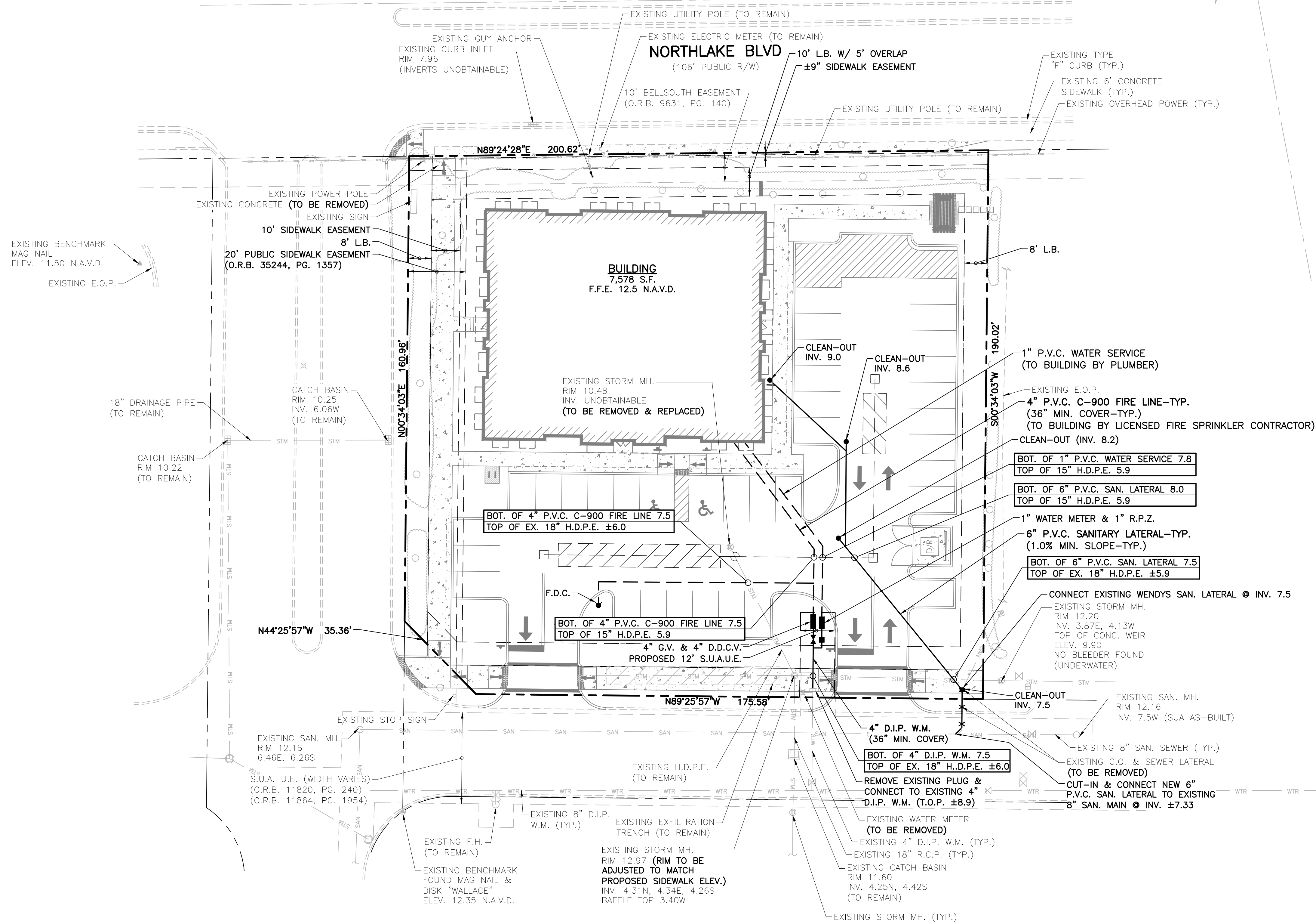
REVISIONS

DESIGN J.U.	DRAWN B.L.	CHECKED	APPROVED	DATE
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JOB NO.
24-139

DRAWING NO.
24139S05

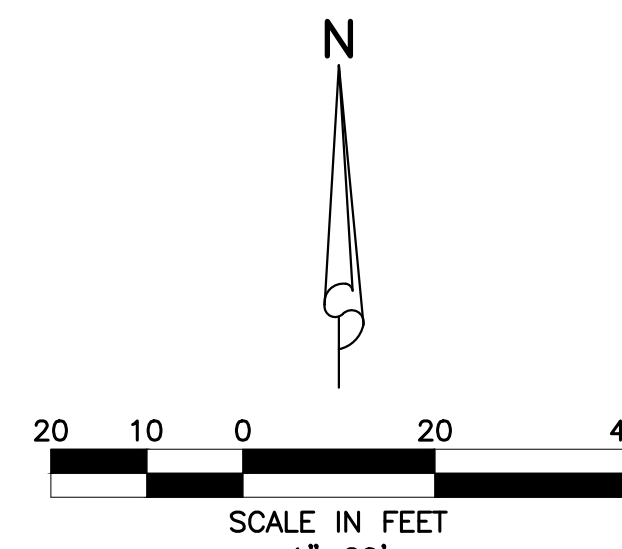
SHEET
5 OF 8



SECTION 21, TOWNSHIP 42S., RANGE 43E.

LOCATION MAP

NOT TO SCALE



LEGEND

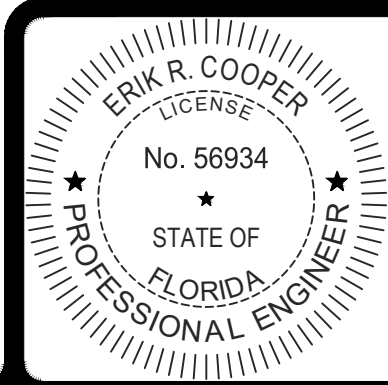
- SINGLE SEWER SERVICE W/ CLEAN-OUT
- WATER SERVICE, WATER METER & R.P.Z.
- WATER MAIN & GATE VALVE
- GATE VALVE & D.D.C.V. ASSEMBLY

NOTES:

- 1.) ON-SITE SEWER LATERALS ARE PRIVATELY OWNED AND MAINTAINED.
- 2.) CONTRACTOR TO FIELD VERIFY LOCATION AND DEPTH OF ALL EXISTING UTILITIES PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER OF ANY CONFLICTS. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO COORDINATE ALL EXISTING UTILITY LOCATES, SUPPORT, RELOCATIONS AND NOTIFICATIONS REQUIRED WITH ALL APPLICABLE UTILITY SERVICE PROVIDERS.
- 3.) SEWER CLEANOUTS MINI-MANHOLES ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.
- 4.) EXISTING WATER METER AND WATER SERVICE CONNECTIONS TO S.U.A. OWNED FACILITIES SHALL BE REMOVED/CAPPED/PLUGGED IN ACCORDANCE WITH ALL APPLICABLE S.U.A. STANDARDS AND PROPER COORDINATION SHALL BE TAKE PLACE PRIOR TO ANY CONSTRUCTION ON S.U.A. FACILITIES.

48 HOURS BEFORE DIGGING
BROWARD • PALM BEACH • INDIAN RIVER
ST. LUCIE • MARTIN COUNTIES
1-800-432-4770
SUNSHINE STATE 1 CALL
UNDERGROUND UTILITIES
NOTIFICATION CENTER

NOTE: ALL ELEVATIONS SHOWN HEREON ARE RELATIVE TO THE NORTH AMERICAN VERTICAL DATUM (N.A.V.D.) OF 1988 BASED ON A SURVEY PREPARED BY WALLACE SURVEYING (561) 640-4551.



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Authorization # 3452 | 561.478.7848

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J.U.	B.L.			

NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
WATER AND WASTEWATER PLAN

JOB NO.	DRAWING NO.	SHEET	OF
24-139	24139S06	6	8

STANDARD WATER, RECLAIMED WATER AND SEWER SEPARATION STATEMENT

1. STORM SEWER, GRAVITY WASTEWATER, FORCE MAINS AND RECLAIMED WATER MAINS CROSSING UNDER POTABLE WATER MAINS SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE CROWN OF THE LOWER PIPE. WHERE THIS MINIMUM SEPARATION CANNOT BE MAINTAINED BETWEEN GRAVITY SEWER OR STORM SEWER, THE CROSSING SHALL BE ARRANGED SO THAT THE STORM/GRAVITY SEWER PIPE JOINTS AND POTABLE WATER MAIN JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN SIX (6) FEET BETWEEN ANY TWO JOINTS. BOTH PIPES SHALL BE D.I.P., AND THE MINIMUM VERTICAL SEPARATION SHALL BE SIX (6) INCHES. WHERE THERE IS NO ALTERNATIVE TO STORM/WASTEWATER/FORCE MAIN/RECLAIMED WATER MAINS CROSSING OVER A POTABLE WATER MAIN, THE CRITERIA FOR MINIMUM TWELVE (12) INCH VERTICAL SEPARATION BETWEEN LINES AND JOINT ARRANGEMENT, AS STATED ABOVE, SHALL BE REQUIRED, AND BOTH PIPES SHALL BE D.I.P. IRRESPECTIVE OF SEPARATION, IN ALL OF THE ABOVE CASES D.I.P. IS NOT REQUIRED FOR STORM SEWER PIPE.
2. FORCE MAINS CROSSING RECLAIMED WATER MAINS OR STORM SEWER SHALL BE LAID TO PROVIDE A MINIMUM VERTICAL DISTANCE OF TWELVE (12) INCHES BETWEEN THE OUTSIDE OF THE FORCE MAIN AND THE OUTSIDE OF THE RECLAIMED WATER MAIN OR STORM SEWER AND THE RECLAIMED WATER MAIN SHALL CROSS OVER THE FORCE MAIN.
3. AT THE UTILITY CROSSING DESCRIBED IN ITEMS 1 AND 2 ABOVE, ONE FULL LENGTH OF DUCTILE IRON WATER MAIN PIPE SHALL BE CENTERED SO THE WATER MAIN JOINTS WILL BE AS FAR AS POSSIBLE FROM THE OTHER PIPELINE JOINTS. WHERE THIS IS NOT POSSIBLE, JOINTS SHALL BE AT LEAST THREE (3) FEET FROM STORM SEWERS AND SIX (6) FEET FROM GRAVITY SEWER MAINS, FORCE MAINS AND RECLAIMED WATER MAINS.
4. SEWER SERVICE LATERALS SHALL CROSS UNDER WATER MAINS WITH A MINIMUM VERTICAL SEPARATION OF TWELVE (12) INCHES. IF (12") VERTICAL SEPARATION CANNOT BE MAINTAINED, THEN THE WATER MAIN SHALL BE D.I.P. AND THE SEWER SERVICE LATERAL SHALL BE C-900 SDR 18 OR BETTER AND THE MINIMUM SEPARATION SHALL BE SIX (6) INCHES. WHEN IT IS NOT POSSIBLE FOR THE WATER MAIN TO CROSS OVER THE SEWER SERVICE LATERAL A MINIMUM VERTICAL SEPARATION OF AT LEAST TWELVE (12) INCHES MUST BE MAINTAINED, THE WATER MAIN SHALL BE D.I.P. AND THE SEWER LATERAL SHALL BE C-900 SDR 18 OR BETTER.
5. MAINTAIN MINIMUM TEN (10) FEET HORIZONTAL DISTANCE BETWEEN POTABLE WATER MAIN OR FORCE MAIN, RECLAIMED WATER MAIN, STORM SEWER OR GRAVITY SEWER MAIN OR ON SITE SEWAGE DISPOSAL SYSTEMS. ADDITIONAL SEPARATION MAY BE REQUIRED AS OUTLINED IN SECTION II OF SUA STANDARDS.

Water, Reclaimed Water, and Sewer and Separation Statement

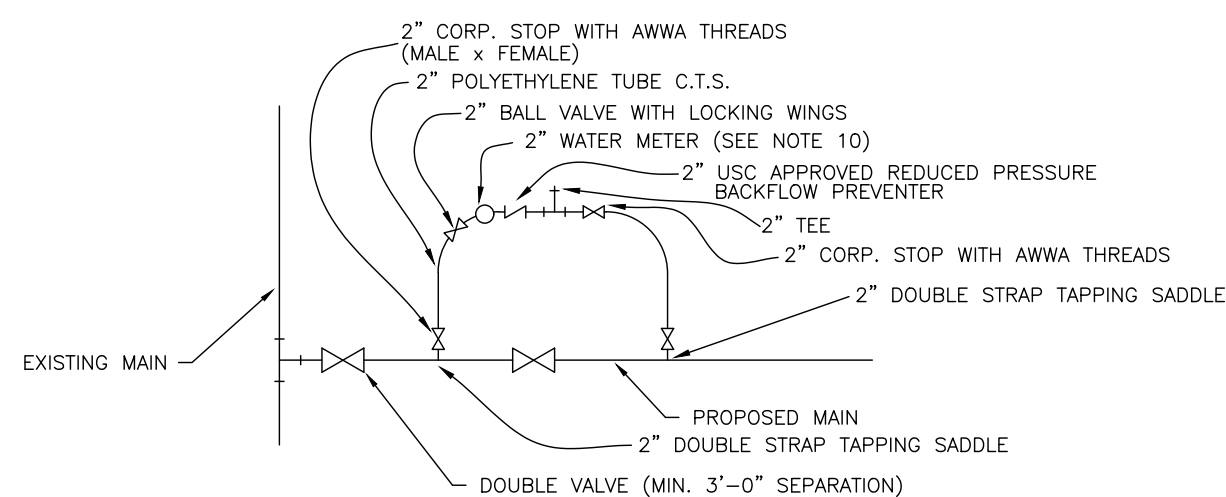
SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision B-18

DATE APPROVED:
FEB 26, 2025
DRAWING No. **2**

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. THIS METHOD SHALL BE COMPLIED WITH WHEN CONNECTING TO AN EXISTING WATER MAIN, (ONE THAT HAS ALREADY BEEN BACTERIOLOGICALLY CLEARED OR IS IN USE) WHETHER BY TEE AND VALVE OR BY CONTINUATION OF A PLUGGED STUB OUT WITH AN EXISTING GATE VALVE.
2. THESE REQUIREMENTS ARE BASED ON PALM BEACH COUNTY HEALTH DEPARTMENT REQUIREMENTS.
3. WHEN A TAPPING TEE AND VALVE IS INSTALLED, A PRESSURE/LEAKAGE TEST SHALL BE PERFORMED ON THE ASSEMBLY IN THE PRESENCE OF AN AUTHORIZED SUA REPRESENTATIVE PRIOR TO PERFORMING THE ACTUAL TAP.
4. DOUBLE VALVING PERMITS PHYSICAL CONNECTION TO AN EXISTING WATER MAIN WHEN USED IN CONJUNCTION WITH A BYPASS LINE.
5. A 2" BYPASS LINE (MAXIMUM) SHALL BE INSTALLED AS SHOWN BELOW PRIOR TO CANNON FLUSHING.
6. THE 2" TEE SHALL BE USED FOR FEEDING CHLORINE SOLUTION AND FOR ATMOSPHERIC VENT DURING PRESSURE/LEAKAGE TESTS.
7. UNDER NO CIRCUMSTANCES SHALL VALVES BE OPERATED WITHOUT AN AUTHORIZED SUA REPRESENTATIVE PRESENT.
8. ALL WATER MAINS SHALL BE FILLED WITH WATER UTILIZING JUMPER METER AND THEN BE THOROUGHLY CANNON FLUSHED IN ACCORDANCE WITH SEACOAST SPECIFICATIONS PRIOR TO PRESSURE/LEAKAGE TESTING. THE PROCEDURE SHALL BE DONE ONLY IN THE PRESENCE OF AN AUTHORIZED SUA REPRESENTATIVE.
9. FOLLOWING INITIAL CANNON FLUSHING, ALL WATER FOR PRESSURE/LEAKAGE TESTING AND BACTERIOLOGICAL CLEARANCES MUST BE DRAWN FROM THE BYPASS LINE WITH METER AND REDUCED PRESSURE BACKFLOW PREVENTER IN PLACE. THE 2" INCH WATER METER SHALL BE PROVIDED BY SUA UPON APPLICATION BY EITHER THE CONTRACTOR OR DEVELOPER. ALL WATER USED FOR THE CONSTRUCTION OF THE WATER AND SEWER MAINS SHALL BE PAID FOR BY THE ABOVE PARTIES PRIOR TO ANY SERVICE BEING PROVIDED. METER, BALL VALVE, REDUCED PRESSURE BACKFLOW PREVENTER AND TEE SHALL BE INSTALLED AT LEAST 18" ABOVE EXISTING GRADE, SUPPORTED, AND PROTECTED FROM DAMAGE. ANY DAMAGE SHALL BE APPLICANT'S RESPONSIBILITY AND SHALL BE CHARGED ACCORDINGLY.
10. EXCEPT DURING CANNON FLUSHING VALVES SHALL NOT BE OPENED UNTIL AFTER AN APPROVED PRESSURE/ LEAKAGE TEST, BACTERIOLOGICAL CLEARANCE. CERTIFICATION BY THE ENGINEER OF RECORD, RELEASE FROM THE PALM BEACH COUNTY HEALTH DEPARTMENT AND APPROVAL BY SUA.
11. DISINFECTION AND BACTERIOLOGICAL CLEARANCES SHALL COMPLY WITH CURRENT AWWA PROCEDURES, PALM BEACH COUNTY HEALTH DEPARTMENT, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS.
12. CORP STOPS AND TAPPING SADDLES FOR THE JUMPER METER ARE TO BE TAPPED ON TOP OF THE WATER MAIN.



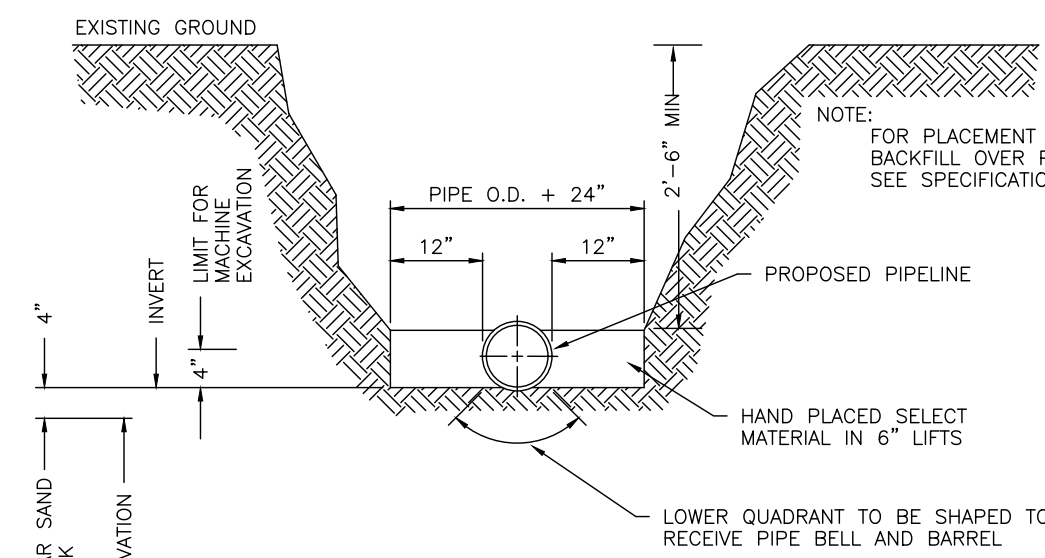
Tapping and Main Clearing Procedure

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision C-24

DATE APPROVED:
FEB 26, 2025
DRAWING No. **3**

(PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)



EXCAVATION SIDE SLOPE SHORING, ETC. SHALL CONFORM TO O.S.H.A. STANDARDS. COMPACT TRENCH BACKFILL TO 98% OF MAXIMUM DENSITY IN ACCORDANCE WITH AASHTO T-180. DENSITY TESTS SHALL BE TAKEN AT 12" LIFTS EVERY 100' IN PUBLIC RIGHT-OF-WAY AND 200' IN EASEMENTS

CONTRACTOR SHALL AT ALL TIMES COMPLY WITH THE REQUIREMENTS OF THE FLORIDA TRENCH SAFETY ACT.

Standard Trenching Procedure

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision C-20

DATE APPROVED:
FEB 26, 2025
DRAWING No. **4**

LENGTH OF PIPE RESTRAINT REQUIREMENTS AT ALL PIPE JOINTS

PIPE SIZE	90° BEND	45° BEND	22½° BEND	11¼° BEND	REDUCER	VALVE	DEAD END	TEE
4"	54'	54'	36'	36'	54'	72'	72'	72'
6"	54'	54'	36'	36'	54'	72'	72'	72'
8"	54'	54'	36'	36'	54'	72'	72'	72'
10"	54'	54'	36'	36'	54'	108'	108'	108'
12"	72'	72'	54'	54'	72'	108'	108'	108'
14"	72'	72'	54'	54'	72'	108'	108'	108'
16"	72'	72'	54'	54'	72'	154'	154'	154'
18"	72'	72'	54'	54'	72'	154'	154'	154'
20"	90'	90'	54'	54'	90'	154'	154'	154'
24"	90'	90'	54'	54'	90'	172'	172'	172'
30"	90'	90'	54'	54'	90'	180'	180'	180'
36"	90'	90'	54'	54'	90'	270'	270'	270'
42"	108'	108'	54'	54'	108'	270'	270'	270'
48"	108'	108'	54'	54'	108'	270'	270'	270'
54"	108'	108'	54'	54'	108'	270'	270'	270'

MINIMUM LENGTH OF PUSH ON JOINT PIPE WITH SPECIAL RESTRAINING GASKETS

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

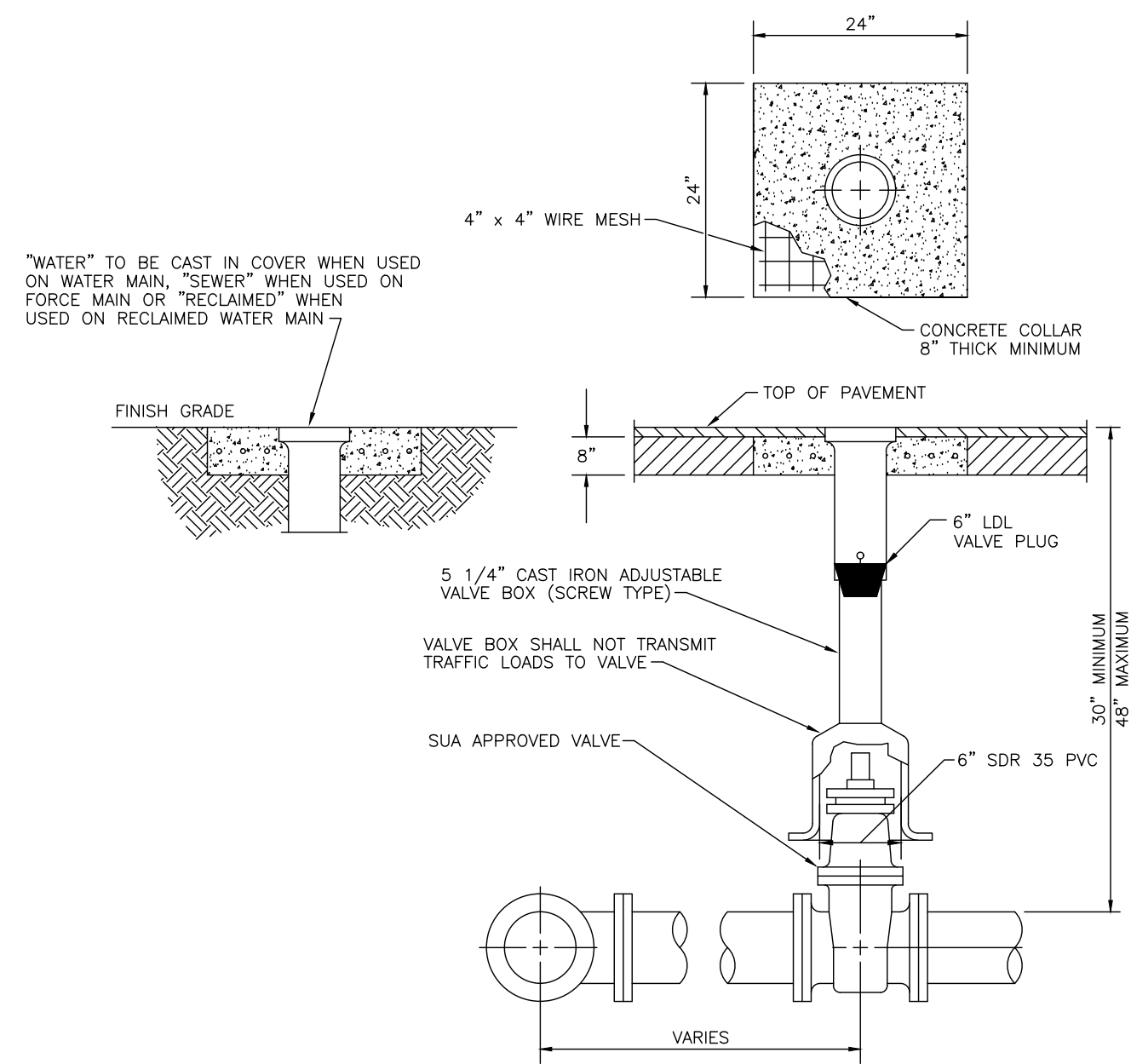
1. ALL BURIED PRESSURE MAINS SHALL INCLUDE A RESTRAINED JOINT SYSTEM. THE CONTRACTOR SHALL USE A DUCTILE IRON RESTRAINING SYSTEM AS MANUFACTURED BY EBA IRON, INC. (MEGALUG) OR APPROVED EQUAL FOR ALL MECHANICAL JOINT FITTINGS AND LOCKING GASKETS FOR PUSH-ON JOINT PIPE.
2. RESTRAINING LENGTHS SHOWN ARE THE MINIMUM LENGTH REQUIRED BASED ON A TEST PRESSURE OF 150 P.S.I.G.
3. THRUST BLOCKS, IN ADDITION TO THE ABOVE OUTLINED RESTRAINTS, SHALL ALSO BE REQUIRED AT ALL TIE-INS TO EXISTING LINES, ALL TAPPING TEES ON EXISTING LINES, ALL NEW HYDRANTS, ALL ABOVE-GROUND ASSEMBLIES 3" AND LARGER AND MAINS GREATER THAN 12" IN DIAMETER.
4. FOR ALL C900 PVC PIPE, ADD A SAFETY FACTOR OF 1.1 TO THE ABOVE LENGTHS

Pipe Restraint Table

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision D-23

DATE APPROVED:
FEB 26, 2025
DRAWING No. **6**



NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. CONCRETE COLLAR MAY NOT BE REQUIRED IN PAVED AREAS IF PAVEMENT SURFACE IS FINISHED PRIOR TO FINAL INSPECTION AND VALVE BOX LID IS AT FINISHED GRADE.
2. WHEN VALVE IS DEEPER THAN 48" AN EXTENSION WILL BE REQUIRED TO BRING OPERATING NUT TO 24" OF FINISHED GRADE.
3. TWO OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED WHEN PIPE IS GREATER THAN 12".
A.) APPROVED MECHANICAL JOINT RESTRAINT (i.e. MEGALUG)
B.) THE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.
4. 6" LDL VALVE PLUG BY USSJ USA TO BE INSTALLED IN VALVE BOX. COLOR TO MATCH SERVICE TYPE. (BLUE - WATER, GREEN - SEWER, PURPLE - RECLAIMED)

Typical Underground Valve Installation

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision C-24

DATE APPROVED:
FEB 26, 2025
DRAWING No. **10**

NOTES: (PLEASE REFER TO WRITTEN SPECIFICATIONS FOR ADDITIONAL REQUIREMENTS)

1. FOR VERTICAL SEPARATION SEE "WATER, RECLAIMED WATER AND SEWER SEPARATION STATEMENT" DRAWING #2.
2. ONE OF THE FOLLOWING FORMS OF RESTRAINT SHALL BE USED FROM FITTING TO FITTING FOR PIPE SIZES UP TO AND INCLUDING 12", FOR PIPE SIZES GREATER THAN 12" TWO FORMS OF RESTRAINT SHALL BE USED.
A.) APPROVED MECHANICAL JOINT RESTRAINT. (i.e. MEGALUG)
B.) THE RODS AND NUTS EQUAL IN DIA. TO TEE BOLTS AND NUTS, COATED WITH KOP-COAT 300-M OR APPROVED EQUAL.
C.) THRUST BLOCKS - ADVANCE APPROVAL BY SUA REQUIRED.
3. THE DEFLECTION TYPE CROSSING IS PREFERRED, BUT IN INSTANCES WHERE THE FITTING TYPE DEFLECTION IS USED, 22 1/2° BENDS ARE PREFERRED.
4. DEFLECTION SHALL NOT EXCEED 75% OF MANUFACTURERS RECOMMENDED MAXIMUM JOINT DEFLECTION.
5. PIPE SHALL BE RESTRAINED FOR EACH FITTING TYPE DEFLECTION PER "PIPE RESTRAINT TABLE" DETAIL.
6. ALL JOINTS IN DEFLECTIONS SHALL BE AS-BUILT ON THE RECORD DRAWINGS

Pressure Pipe Deflection

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

Revision D-23

DATE APPROVED:
FEB 26, 2025
DRAWING No. **14**

INSTALLATION PROTOCOL

1. ALL PIPE IS TO BE LAID IN A CLEAN DRY TRENCH.
2. ALL MUCK AND UNSUITABLE MATERIALS ENCOUNTERED IN TRENCH BOTTOM SHALL BE REMOVED AND REPLACED WITH COMPACTED GRANULAR MATERIAL TO 98% OF MAXIMUM DENSITY PER AASHTO T-180. PROCTOR AND DENSITY TEST RESULTS SHALL BE SUBMITTED TO EOR WITH A COPY TO AUTHORITY.
3. ALL BACKFILL SHALL BE PLACED IN 12 INCH LIFTS AND COMPACTED BY MECHANICAL MEANS TO 98% OF MAXIMUM DENSITY PER AASHTO T-180 OR AS OTHERWISE REQUIRED BY THE PERMITTING AGENCY.
4. UTILITIES CROSSING ROAD RIGHT-OF-WAY SHALL BE INSTALLED PRIOR TO ROAD CONSTRUCTION AND BACKFILLED AND COMPACTED WITHIN RIGHT-OF-WAY LIMITS IN STRICT ACCORDANCE WITH THE DIRECTIONS OF THE EOR AND REQUIREMENTS OF ALL AGENCIES OF JURISDICTION.
5. EMBEDMENT MATERIALS BELOW PIPE SHALL CONFORM TO UNIFIED SOIL CLASSIFICATION SYSTEM (U.S.C.S.) SOIL CLASSIFICATION CLASS I OR II AS NOTED IN ASTM D2321.
6. ALL LINES UNDER CONSTRUCTION SHALL BE PLUGGED WITH A WING PLUG, AND ALL PRESSURE PIPES ARE TO BE PLUGGED WITH A MECHANICAL PLUG OR CAP AT THE END OF THE WORKING DAY TO PREVENT GROUND WATER AND POTENTIAL CONTAMINANTS FROM ENTERING COMPLETED LINES AND LINES UNDER CONSTRUCTION.
7. ABOVE GROUND PIPING, INCLUDING BUT NOT LIMITED TO, AERIAL CROSSINGS, LIFT STATION PIPING, FIRE LINES, METER/BACKFLOW PREVENTION DEVICE ASSEMBLIES, ETC. SHALL BE FLANGED AND BE COATED IN ACCORDANCE WITH SECTION 2 OF SEACOAST UTILITY AUTHORITY CONSTRUCTION STANDARDS. THE FINISHED COAT OF PAINT SHALL BE GREEN IN COLOR FOR SANITARY SEWER, LAVENDER FOR RECLAIMED APPURTENANCES AND BLUE FOR POTABLE WATER APPURTENANCES.
8. ALL FLANGED PIPE SHALL BE CAULKED BETWEEN EACH FLANGE AND THREADS WITH SIKKA 1 A URETHANE CAULK AFTER BLASTING AND PRIOR TO PRIMING.
9. ALL TIE RODS, BOLTS, NUTS, ETC. INSTALLED UNDERGROUND MUST BE COR TEN OR APPROVED EQUAL AND SHALL BE PAINTED WITH KOPPERS 300-M OR AN AUTHORITY APPROVED EQUAL. BRASS AND STAINLESS STEEL HARDWARE IS EXEMPT FROM THIS REQUIREMENT.
10. COATINGS AND LININGS DAMAGED DUE MISHANDLING OR OTHERWISE, MUST BE REPLACED. COATING AND LININGS DAMAGED DUE TO FIELD CUTTING SHALL BE REPAIRED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. THIS INCLUDES, BUT IS NOT LIMITED TO, CEMENT MORTAR AND POLYETHYLENE PIPE LININGS, PROTECTO 401, GALVANIZED COATINGS, PVC FENCE COATINGS AND OTHER TYPE COATINGS. APPROVAL MUST BE OBTAINED FROM AUTHORITY PRIOR TO PERFORMING COATING AND LINING REPAIRS. INSPECTIONS OF ALL REPAIRS ARE REQUIRED.
11. ALL STAINLESS STEEL NUTS, BOLTS AND HARDWARE REFERENCED IN THESE STANDARDS, SHALL BE SS 316 GRADE AND SHALL BE SO STAMPED BY THE MANUFACTURER TO VERIFY ALLOY. THE USE OF ANY OTHER STAINLESS STEEL ALLOY WILL REQUIRE SPECIFIC APPROVAL BY AUTHORITY. IN GENERAL, STAINLESS STEEL NUTS, BOLTS AND HARDWARE ARE REQUIRED IN AND AROUND LIFT STATIONS AND FOR FACILITIES INSTALLED OVER OR UNDER BRACKISH OR MARINE WATERS. THIS REQUIREMENT APPLIES TO FLANGE BOLTS AND NUTS ON FLANGED PIPING, MOUNTING BRACKETS, ALL THREAD ROD, ANCHOR BOLTS, WASHERS, CLAMPS AND OTHER MISCELLANEOUS HARDWARE. ANTI-GALLING COMPOUND ANTI-SEIZE LUBRICANT SHALL BE APPLIED TO THE THREADS OF ALL STAINLESS STEEL BOLTS PRIOR TO INSTALLATION.

ANTI-SEIZE LUBRICANT SHALL BE GRAPHITE 50 ANTI-SEIZE BY LOTCITE CORPORATION, 1000 ANTI-SEIZE PASTE BY DOW CORNING OR 3M LUBE AND ANTI-SEIZE BY 3M.

12. ALL RUBBER AND SYNTHETIC ELASTOMERIC COMPONENTS OF PRODUCTS THAT COME IN CONTACT WITH POTABLE WATER SHALL BE MANUFACTURED WITH CHLORAMINE RESISTANT ELASTOMERS AND SHALL BEAR NSF APPROVAL.
13. ALL MAIN, INCLUDING FITTINGS, SHALL BE EASILY IDENTIFIABLE AS TO THEIR CONTENTS AND SHALL BE COLOR CODED OR MARKED USING THE UNIVERSAL COLOR CODE OF BLUE FOR WATER, GREEN FOR SEWER AND LAVENDER FOR RECLAIMED. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE THAT ARE LOCATED AT NO GREATER THAN 60-DEGREE INTERVALS AROUND THE PIPE AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE IS USED TO STRIPE PIPE DURING INSTALLATION OF THE PIPE, THE TAPE SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE. FOR PIPES WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE SHALL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE.

Pipe Installation Protocol

SEACOAST UTILITY AUTHORITY
CONSTRUCTION STANDARDS AND DETAILS

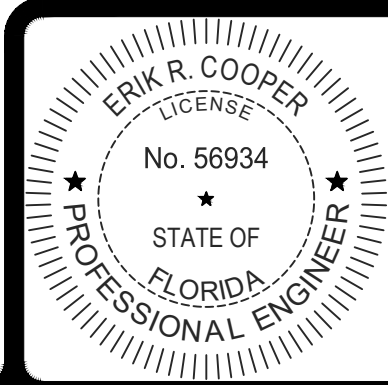
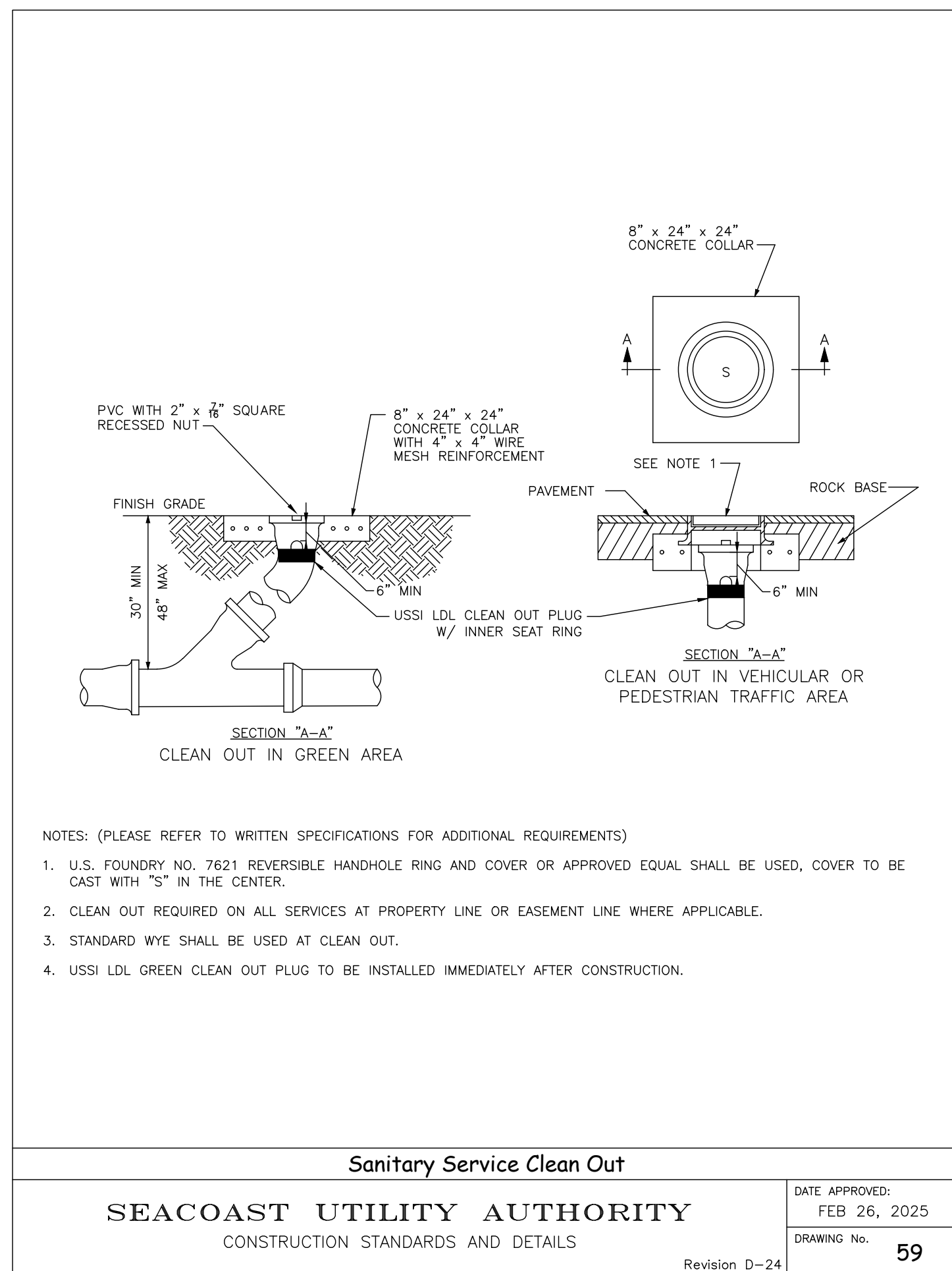
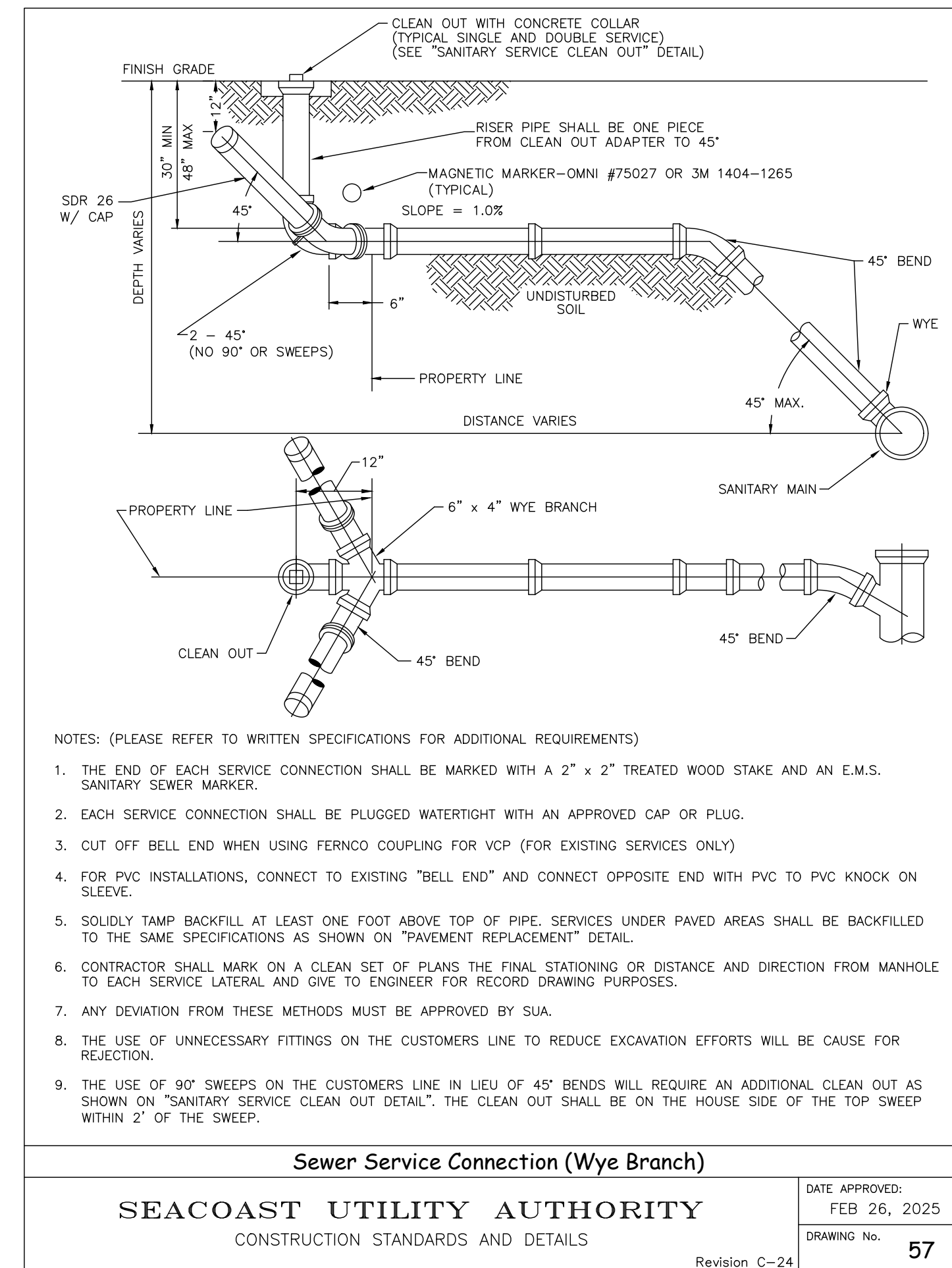
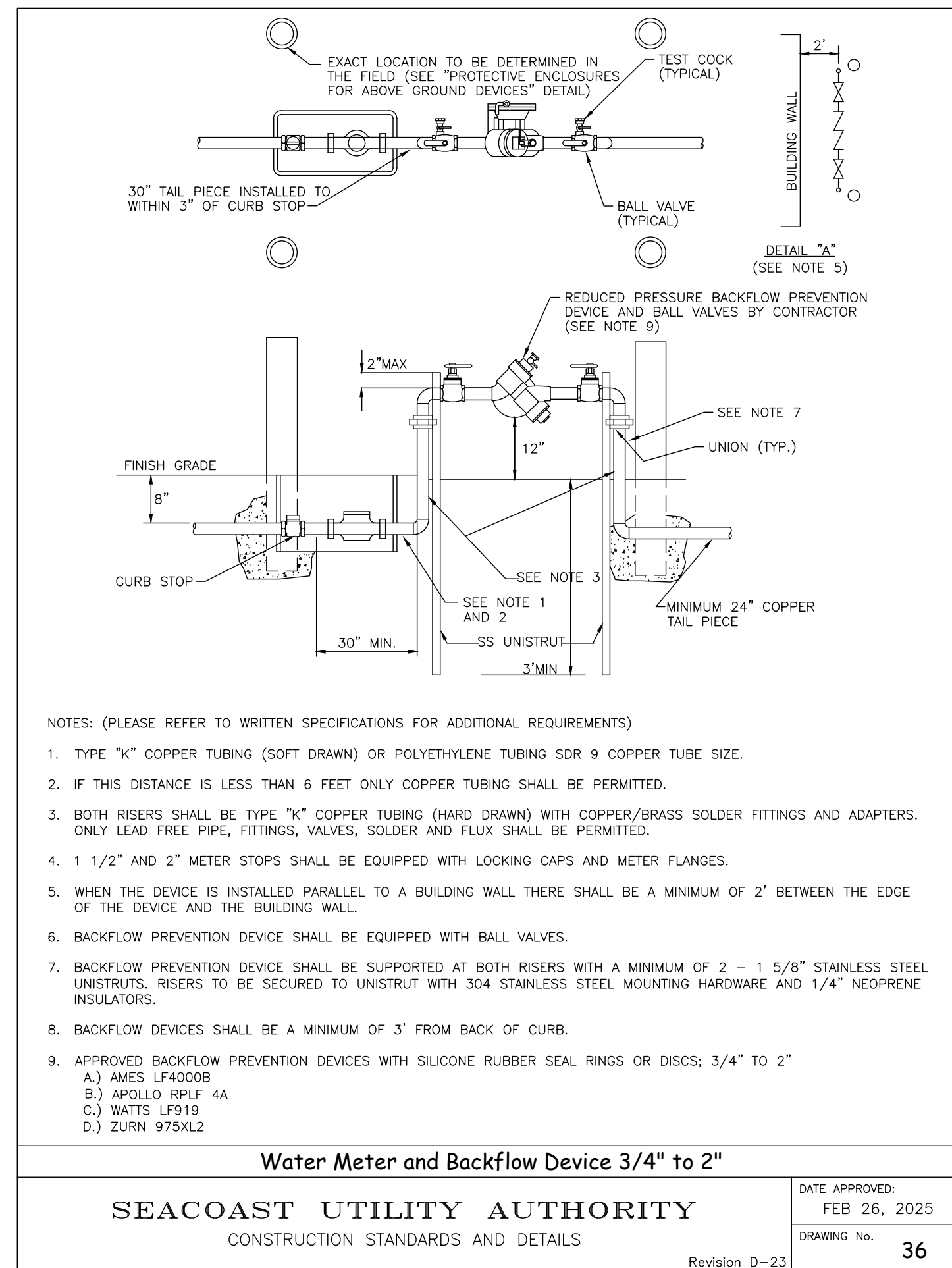
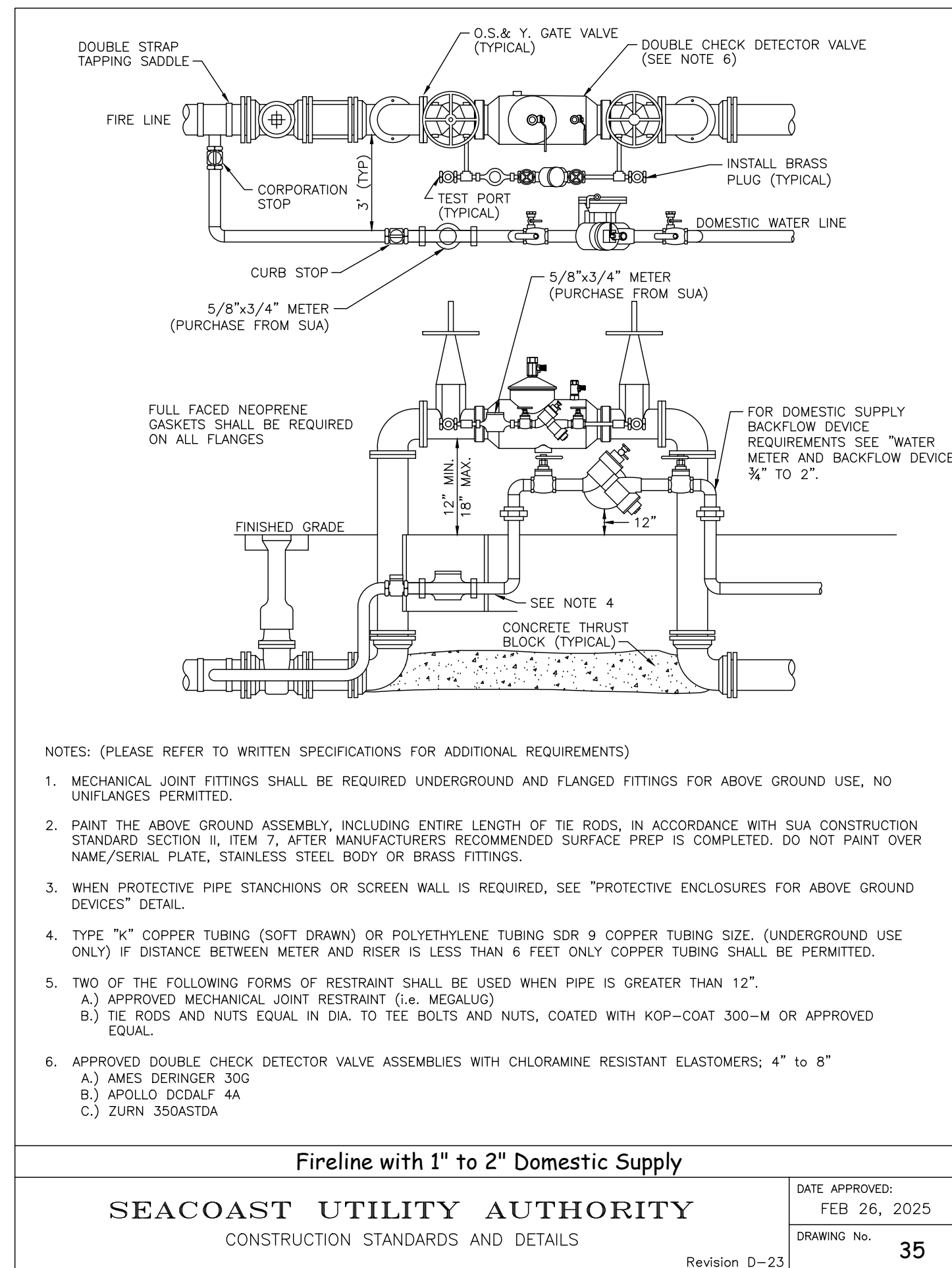
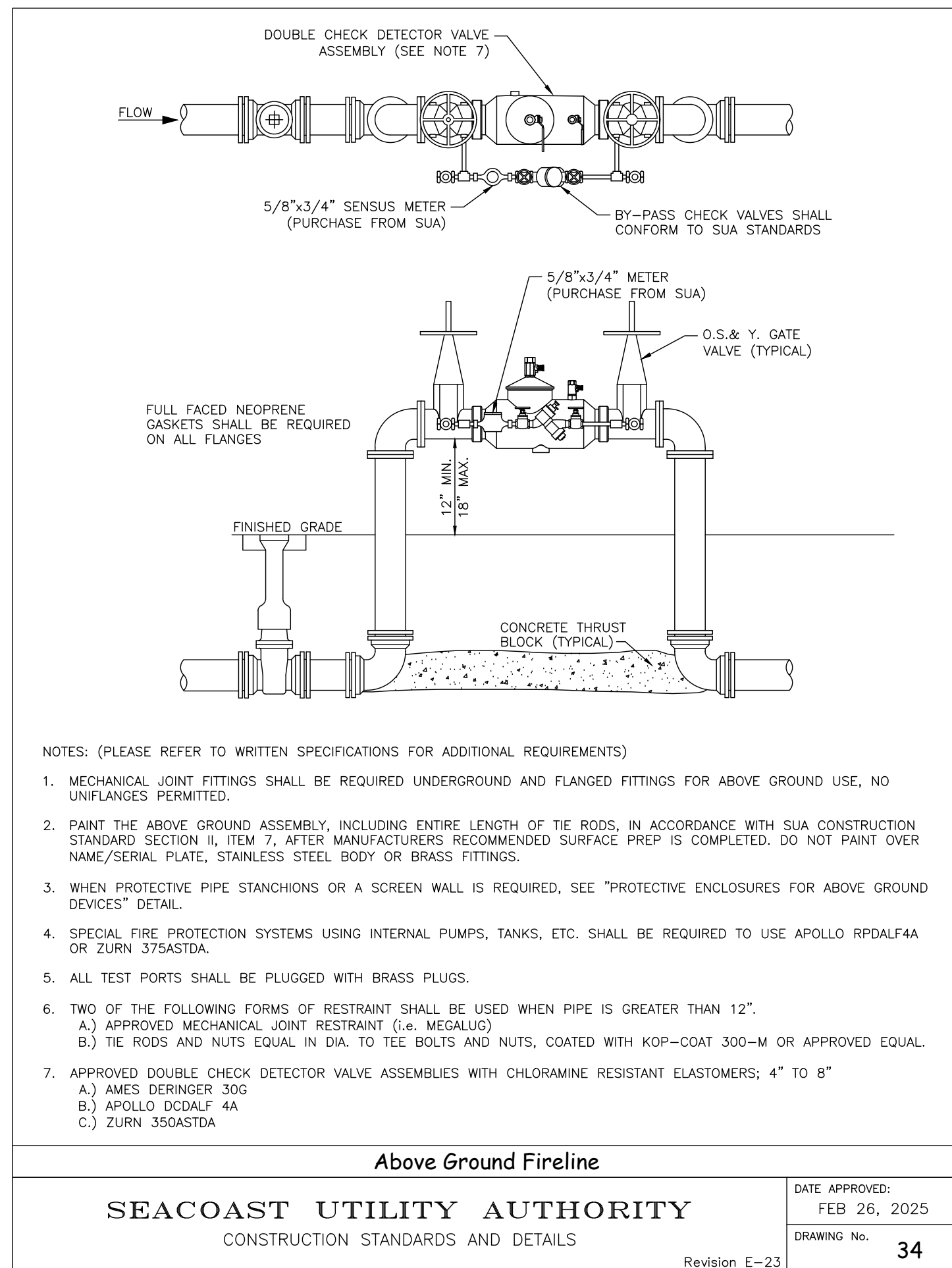
Revision D-23

DATE APPROVED:
FEB 26, 2025
DRAWING No. **15**

REVISIONS

DESIGN J.U. DRAWN B.L. CHECKED APPROVED DATE

JOB NO. 24-139 DRAWING NO. 24139S07 SHEET 7 OF 8



THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY
ERIK R. COOPER, P.E. ON
7/25/2025.

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.

REVISIONS



DESIGN J.U. DRAWN B.L. CHECKED APPROVED DATE

NORTHLAKE PROMENADE-OUTPARCEL #3
SECTION 21, TOWNSHIP 42S., RANGE 43E.
TOWN OF LAKE PARK, FLORIDA
WATER AND WASTEWATER DETAILS

JOB NO. 24-139 DRAWING NO. 24139S08 SHEET 8 OF 8



NORTHLAKE PROMENADE OUTPARCEL #3

Town of Lake Park, FL

WATER MANAGEMENT REPORT

PREPARED FOR:

**OPV Northlake Promenade, LLC
c/o Woolbright Development
3200 N. Military Trail, Suite 400
Boca Raton, Florida 33431**

JOB NO. 24-139

DATE: June 2025

Erik R. Cooper, Professional Engineer, State of Florida, License No. 56934 This item has been digitally signed and sealed by Erik R. Cooper, P.E., on 07/25/2025. Printed Copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.	
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TABLE OF CONTENTS

PAGE 4

- 1.0 Project Outline

PAGE 5

- 2.0 Project Summary
- 3.0 Pre vs. Post Land Use Comparison
- 4.0 Water Quality Calculations

APPENDICES

APPENDIX A

Exfiltration Trench: Attenuation and Water Quality

APPENDIX B

Previous SFWMD Permit No. 50-04324-P, Application No. 050609-13

1.0 Project Outline

Project Name:	Northlake Promenade Outparcel #3
	Previously Permitted under ERP 50-04324-P, Application Nos. 050609-13 and 171013-4. Construction permit has expired.
Application Type:	Environmental Resource (Individual/Construction of New Works)
Location:	Palm Beach County, S21/R43E/T42S
Permittee:	OPV Northlake Promenade, LLC
Operating Entity:	OPV Northlake Promenade, LLC
Project Area:	0.86 acres
Permitted Area:	0.86 acres
Project Land Use:	Commercial
Special Drainage District:	N/A
Water Body Classification:	Class III
FDEP Water Body ID:	3226W2
Conservation Easement to District:	No
Sovereign Submerged Lands:	No

There are no wetlands or other surface water location within the project area or affected by this project.

2.0 Project Summary

The proposed 0.86 acre project consists of development of a Retail Building known as Northlake Promenade Outparcel #3. The property is located at the southwest corner of US Highway One and Northlake Boulevard in the Town of Lake Park, Florida.

The project consists of a 7,527 SF retail building, associated parking and proposed drainage improvements. This parcel was previously permitted under South Florida Water Management District Application No. 050609-13. Per the previously approved applications, discharge to the Northlake Promenade Master Stormwater Management System was permitted after providing water quality for the site. Water quality treatment is to be provided in exfiltration trench. Due to the site being located in an impaired base, 150% of the required water quality volume has been provided. The minimum road and finished floor elevations are in line with the previously permitted elevations. The proposed land use is less intense than the permitted land use in Application #050609-13.

3.0 Pre vs. Post Land Use Comparison:

Land Use	Area		
	Proposed (Acres)	Previously Permitted under ERP App. No. 050609-13 (Acres)	Difference (Acres)
Building	0.17	0.12	+0.05
Impervious	0.43	0.50	-0.07
Pervious	0.26	0.24	+0.02
Total	0.86	0.86	-

4.0 Water Quality Calculations:

Project Site is within an impaired water body. The site is located in WBID 3226W2. 150% of the required water quality volume will be provided.

A) 1" Over Entire Site:

$$1'' * 0.86 \text{ ac} * 1' / 12''$$

$$= 0.46 \text{ ac-ft} * 1.50 = 0.07 \text{ ac-ft}$$

B) 2.5" * % Impervious:

$$\text{Site Area for WQ: [Total Site - (Building)] = [0.86 \text{ ac} - 0.17 \text{ ac}] = 0.69 \text{ ac}$$

$$\% \text{ Impervious for WQ: } 0.69 \text{ ac} / 0.86 \text{ ac} = 80.2\%$$

4.0 Water Quality Calculations (Cont.):

Treatment Depth: $2.5'' * 80.2\% = 2.0''$

Required Treatment Volume: $[(\text{Total Site}) * (\text{Treatment Depth})] = (0.86 \text{ ac}) * (2.0'') = 1.72 \text{ ac-in} * 1''/12' * 1.50 = 0.17 \text{ ac-ft (controls)}$

WQ Treatment Elevation = 7.5 NAVD (Top of Proposed Baffle)

Provided in Exfiltration Trench:

- 0.17 ac-ft met in 77 LF of Proposed Exfiltration Trench (67 LF Required for WQ)

1/2" Dry Pretreatment for commercial site only:

$1/2'' * 0.86 \text{ ac} * 1'/12''$

= 0.035 ac-ft (met in Proposed Exfiltration Trench)



APPENDIX A

Exfiltration Trench: Attenuation and Water Quality

SIMMONS & WHITE INC.
 2581 METROCENTRE BLVD WEST SUITE 3
 WEST PALM BEACH, FLORIDA 33407
 CERTIFICATE OF AUTHORIZATION #3452
EXFILTRATION TRENCH LENGTH CALCULATION

Northlake Promenade Outparcel 3

JOB NO: 24-139
 DATE: 6/6/2025

$$L = \frac{V}{K(H_2 W + 2 H_2 D_U - D_U^2 + 2 H_2 D_S) + (1.39 \times 10^{-4}) W D_U}$$

V= VOLUME TO BE TREATED

W= WIDTH OF TRENCH

K= HYDRAULIC CONDUCTIVITY*

H₂= DEPTH TO WATER TABLE FROM CONTROL ELEVATION

D_U= NON-SATURATED TRENCH DEPTH

D_S= SATURATED TRENCH DEPTH

L= REQUIRED TRENCH LENGTH

0.17 AC-FT

2.04 AC-IN

8 FT

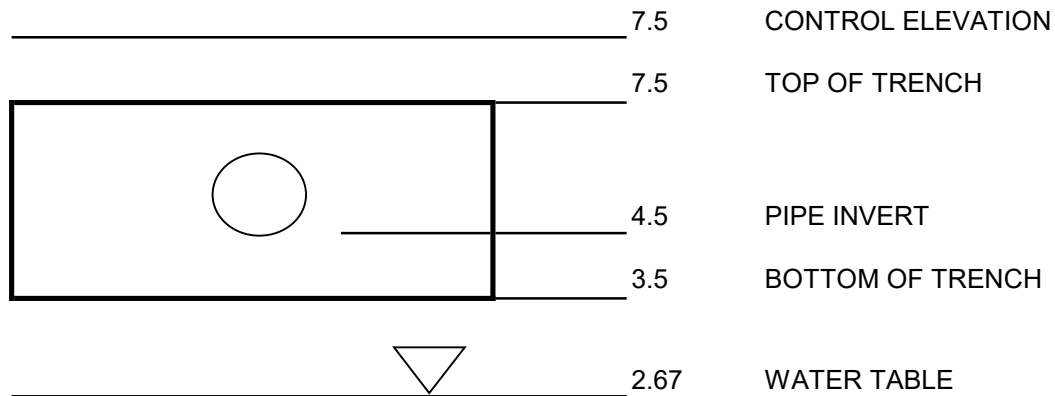
0.000538 CFS/SF-FT

4.0 FT

4 FT

0 FT

67 FT





APPENDIX B

Previous SFWMD Permit No. 50-04324-P
Application No. 050609-13



**SOUTH FLORIDA WATER MANAGEMENT DISTRICT
ENVIRONMENTAL RESOURCE
STANDARD GENERAL PERMIT NO. 50-04324-P
DATE ISSUED: February 3, 2006**

Item 8.

Form #0941
08/95

PERMITTEE: DEVELOPERS OF NORTHLAKE, INC.
C/O JEFF PUMA
6550 N FEDERAL HWY STE 240
FORT LAUDERDALE, FL 33308

PROJECT DESCRIPTION: Modification of a surface water management system to serve .86 acres of commercial development known as Hollywood Video (Phase 1A - Outparcels).

PROJECT LOCATION: PALM BEACH COUNTY, SEC 21 TWP 42S RGE 43E

PERMIT DURATION: See Special Condition No:1. See attached Rule 40E-4.321, Florida Administrative Code.

This is to notify you of the District's agency action concerning Notice of Intent for Permit Application No. 050609-13, dated June 9, 2005. This action is taken pursuant to Rule 40E-1.603 and Chapter 40E-40, Florida Administrative Code (F.A.C.).

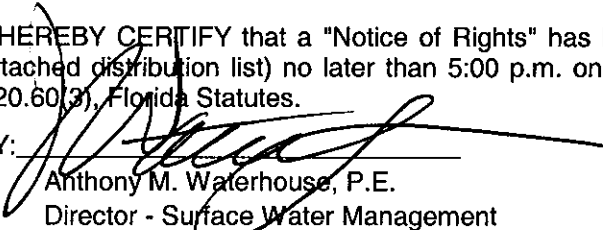
Based on the information provided, District rules have been adhered to and an Environmental Resource General Permit is in effect for this project subject to:

1. Not receiving a filed request for a Chapter 120, Florida Statutes, administrative hearing.
2. the attached 19 General Conditions (See Pages : 2 - 4 of 5),
3. the attached 12 Special Conditions (See Pages : 5 - 5 of 5) and
4. the attached 2.2 Exhibit(s).

Should you object to these conditions, please refer to the attached "Notice of Rights" which addresses the procedures to be followed if you desire a public hearing or other review of the proposed agency action. Please contact this office if you have any questions concerning this matter. If we do not hear from you in accordance with the "Notice of Rights," we will assume that you concur with the District's action.

CERTIFICATE OF SERVICE

I HEREBY CERTIFY that a "Notice of Rights" has been mailed to the Permittee (and the persons listed in the attached distribution list) no later than 5:00 p.m. on this 3rd day of February, 2006, in accordance with Section 120.60(3), Florida Statutes.

BY: 
Anthony M. Waterhouse, P.E.
Director - Surface Water Management
Palm Beach Service Center

Certified mail number 7002 3150 0000 8126 8018

Enclosures

GENERAL CONDITIONS

1. All activities authorized by this permit shall be implemented as set forth in the plans, specifications and performance criteria as approved by this permit. Any deviation from the permitted activity and the conditions for undertaking that activity shall constitute a violation of this permit and Part IV, Chapter 373, F.S.
2. This permit or a copy thereof, complete with all conditions, attachments, exhibits, and modifications shall be kept at the work site of the permitted activity. The complete permit shall be available for review at the work site upon request by District staff. The permittee shall require the contractor to review the complete permit prior to commencement of the activity authorized by this permit.
3. Activities approved by this permit shall be conducted in a manner which does not cause violations of State water quality standards. The permittee shall implement best management practices for erosion and pollution control to prevent violation of State water quality standards. Temporary erosion control shall be implemented prior to and during construction, and permanent control measures shall be completed within 7 days of any construction activity. Turbidity barriers shall be installed and maintained at all locations where the possibility of transferring suspended solids into the receiving waterbody exists due to the permitted work. Turbidity barriers shall remain in place at all locations until construction is completed and soils are stabilized and vegetation has been established. All practices shall be in accordance with the guidelines and specifications described in Chapter 6 of the Florida Land Development Manual; A Guide to Sound Land and Water Management (Department of Environmental Regulation, 1988), incorporated by reference in Rule 40E-4.091, F.A.C. unless a project-specific erosion and sediment control plan is approved as part of the permit. Thereafter the permittee shall be responsible for the removal of the barriers. The permittee shall correct any erosion or shoaling that causes adverse impacts to the water resources.
4. The permittee shall notify the District of the anticipated construction start date within 30 days of the date that this permit is issued. At least 48 hours prior to commencement of activity authorized by this permit, the permittee shall submit to the District an Environmental Resource Permit Construction Commencement Notice Form Number 0960 indicating the actual start date and the expected construction completion date.
5. When the duration of construction will exceed one year, the permittee shall submit construction status reports to the District on an annual basis utilizing an annual status report form. Status report forms shall be submitted the following June of each year.
6. Within 30 days after completion of construction of the permitted activity, the permittee shall submit a written statement of completion and certification by a professional engineer or other individual authorized by law, utilizing the supplied Environmental Resource/Surface Water Management Permit Construction Completion/Certification Form Number 0881A, or Environmental Resource/Surface Water Management Permit Construction Completion Certification - For Projects Permitted prior to October 3, 1995 Form No. 0881B, incorporated by reference in Rule 40E-1.659, F.A.C. The statement of completion and certification shall be based on onsite observation of construction or review of as-built drawings for the purpose of determining if the work was completed in compliance with permitted plans and specifications. This submittal shall serve to notify the District that the system is ready for inspection. Additionally, if deviation from the approved drawings are discovered during the certification process, the certification must be accompanied by a copy of the approved permit drawings with deviations noted. Both the original and revised specifications must be clearly shown. The plans must be clearly labeled as "as-built" or "record" drawings. All surveyed dimensions and elevations shall be certified by a registered surveyor.
7. The operation phase of this permit shall not become effective: until the permittee has complied with the requirements of condition (6) above, and submitted a request for conversion of Environmental Resource Permit from Construction Phase to Operation Phase, Form No. 0920; the District determines the system to be in compliance with the permitted plans and specifications; and the entity approved by the District in accordance with Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, accepts responsibility for operation and maintenance of the system. The permit shall not be transferred to such approved operation and

GENERAL CONDITIONS

maintenance entity until the operation phase of the permit becomes effective. Following inspection and approval of the permitted system by the District, the permittee shall initiate transfer of the permit to the approved responsible operating entity if different from the permittee. Until the permit is transferred pursuant to Section 40E-1.6107, F.A.C., the permittee shall be liable for compliance with the terms of the permit.

8. Each phase or independent portion of the permitted system must be completed in accordance with the permitted plans and permit conditions prior to the initiation of the permitted use of site infrastructure located within the area served by that portion or phase of the system. Each phase or independent portion of the system must be completed in accordance with the permitted plans and permit conditions prior to transfer of responsibility for operation and maintenance of the phase or portion of the system to a local government or other responsible entity.
9. For those systems that will be operated or maintained by an entity that will require an easement or deed restriction in order to enable that entity to operate or maintain the system in conformance with this permit, such easement or deed restriction must be recorded in the public records and submitted to the District along with any other final operation and maintenance documents required by Sections 9.0 and 10.0 of the Basis of Review for Environmental Resource Permit applications within the South Florida Water Management District, prior to lot or units sales or prior to the completion of the system, whichever comes first. Other documents concerning the establishment and authority of the operating entity must be filed with the Secretary of State, county or municipal entities. Final operation and maintenance documents must be received by the District when maintenance and operation of the system is accepted by the local government entity. Failure to submit the appropriate final documents will result in the permittee remaining liable for carrying out maintenance and operation of the permitted system and any other permit conditions.
10. Should any other regulatory agency require changes to the permitted system, the permittee shall notify the District in writing of the changes prior to implementation so that a determination can be made whether a permit modification is required.
11. This permit does not eliminate the necessity to obtain any required federal, state, local and special district authorizations prior to the start of any activity approved by this permit. This permit does not convey to the permittee or create in the permittee any property right, or any interest in real property, nor does it authorize any entrance upon or activities on property which is not owned or controlled by the permittee, or convey any rights or privileges other than those specified in the permit and Chapter 40E-4 or Chapter 40E-40, F.A.C..
12. The permittee is hereby advised that Section 253.77, F.S. states that a person may not commence any excavation, construction, or other activity involving the use of sovereign or other lands of the State, the title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund without obtaining the required lease, license, easement, or other form of consent authorizing the proposed use. Therefore, the permittee is responsible for obtaining any necessary authorizations from the Board of Trustees prior to commencing activity on sovereignty lands or other state-owned lands.
13. The permittee must obtain a Water Use permit prior to construction dewatering, unless the work qualifies for a general permit pursuant to Subsection 40E-20.302(3), F.A.C., also known as the "No Notice" Rule.
14. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities which may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any system authorized by the permit.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding, unless a specific condition of this permit or a formal determination under Section 373.421(2), F.S., provides otherwise.
16. The permittee shall notify the District in writing within 30 days of any sale, conveyance, or other transfer of

GENERAL CONDITIONS

ownership or control of a permitted system or the real property on which the permitted system is located. All transfers of ownership or transfers of a permit are subject to the requirements of Rules 40E-1.6105 and 40E-1.6107, F.A.C.. The permittee transferring the permit shall remain liable for corrective actions that may be required as a result of any violations prior to the sale, conveyance or other transfer of the system.

17. Upon reasonable notice to the permittee, District authorized staff with proper identification shall have permission to enter, inspect, sample and test the system to insure conformity with the plans and specifications approved by the permit.
18. If historical or archaeological artifacts are discovered at any time on the project site, the permittee shall immediately notify the appropriate District service center.
19. The permittee shall immediately notify the District in writing of any previously submitted information that is later discovered to be inaccurate.

SPECIAL CONDITIONS

1. The construction phase of this permit shall expire on February 3, 2011.
2. Operation of the surface water management system shall be the responsibility of PERMITTEE.
3. Minimum building floor elevation:
Basin: Outparcel #3 - 14.00 feet, NGVD
4. Minimum road crown elevation:
Basin: Outparcel #3 - 10.50 feet, NGVD
5. The permittee shall be responsible for the correction of any erosion, shoaling or water quality problems that result from the construction or operation of the surface water management system.
6. Measures shall be taken during construction to insure that sedimentation and/or turbidity violations do not occur in the receiving water.
7. The District reserves the right to require that additional water quality treatment methods be incorporated into the drainage system if such measures are shown to be necessary.
8. Facilities other than those stated herein shall not be constructed without an approved modification of this permit.
9. A stable, permanent and accessible elevation reference shall be established on or within one hundred (100) feet of all permitted discharge structures no later than the submission of the certification report. The location of the elevation reference must be noted on or with the certification report.
10. The permittee shall provide routine maintenance of all of the components of the surface water management system in order to remove all trapped sediments/debris. All materials shall be properly disposed of as required by law. Failure to properly maintain the system may result in adverse flooding conditions.
11. This permit is issued based on the applicant's submitted information which reasonably demonstrates that adverse water resource related impacts will not be caused by the completed permit activity. Should any adverse impacts caused by the completed surface water management system occur, the District will require the permittee to provide appropriate mitigation to the District or other impacted party. The District will require the permittee to modify the surface water management system, if necessary, to eliminate the cause of the adverse impacts.
12. All special conditions and exhibits previously stipulated by permit number 50-04324-P remain in effect unless otherwise revised and shall apply to this modification.

40E-4.321 Duration of Permits.

(1) Unless revoked or otherwise modified the duration of an environmental resource permit issued under this chapter or Chapter 40E-40, F.A.C., is as follows:

(a) For a conceptual approval, two years from the date of issuance or the date specified as a condition of the permit, unless within that period an application for an individual or standard general permit is filed for any portion of the project. If an application for an environmental resource permit is filed, then the conceptual approval remains valid until final action is taken on the environmental resource permit application. If the application is granted, then the conceptual approval is valid for an additional two years from the date of issuance of the permit. Conceptual approvals which have no individual or standard general environmental resource permit applications filed for a period of two years shall expire automatically at the end of the two year period.

(b) For a conceptual approval filed concurrently with a development of regional impact (DRI) application for development approval (ADA) and a local government comprehensive plan amendment, the duration of the conceptual approval shall be two years from whichever one of the following occurs at the latest date:

1. The effective date of the local government's comprehensive plan amendment,
2. The effective date of the local government development order,
3. The date on which the District issues the conceptual approval, or
4. The date on which the District issues a final order pertaining to the resolution of any Section 120.57, F.S., administrative proceeding or other legal appeals.

(c) For an individual or standard general environmental resource permit, the construction phase authorizing construction, removal, alteration or abandonment of a system shall expire five years from the date of issuance or such amount of time as made a condition of the permit.

(d) For an individual or standard general environmental resource permit, the operational phase of the permit is perpetual for operation and maintenance.

(e) For a noticed general permit issued pursuant to Chapter 40E-400, F.A.C., five years from the date the notice of intent to use the permit is provided to the District.

(2)(a) Unless prescribed by special permit condition, permits expire automatically according to the timeframes indicated in this rule. If application for extension is made in writing pursuant to subsection (3), the permit shall remain in full force and effect until:

1. The Governing Board takes action on an application for extension of an individual permit, or
2. Staff takes action on an application for extension of a standard general permit.

(b) Installation of the project outfall structure shall not constitute a vesting of the permit.

(3) The permit extension shall be issued provided that a permittee files a written request with the District showing good cause prior to the expiration of the permit. For the purpose of this rule, good cause shall mean a set of extenuating circumstances outside of the control of the permittee. Requests for extensions, which shall include documentation of the extenuating circumstances and how they have delayed this project, will not be accepted more than 180 days prior to the expiration date.

(4) Substantial modifications to Conceptual Approvals will extend the duration of the Conceptual Approval for two years from the date of issuance of the modification. For the purposes of this section, the term "substantial modification" shall mean a modification which is reasonably expected to lead to substantially different water resource or environmental impacts which require a detailed review.

(5) Substantial modifications to individual or standard general environmental resource permits issued pursuant to a permit application extend the duration of the permit for three years from the date of issuance of the modification. Individual or standard general environmental resource permit modifications do not extend the duration of a conceptual approval.

(6) Permit modifications issued pursuant to paragraph 40E-4.331(2)(b), F.A.C. (letter modifications) do not extend the duration of the permit.

(7) Failure to complete construction or alteration of the surface water management system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization in order to continue construction unless a permit extension is granted.

Specific Authority 373.044, 373.113 FS. Law Implemented 373.413, 373.416, 373.419, 373.426 FS. History--New 9-3-81, Amended 1-31-82, 12-1-82, Formerly 16K-4.07(4), Amended 7-1-86, 4-20-94, 10-3-95, 5-28-00..

NOTICE OF RIGHTS

Section 120.569(1), Fla. Stat. (1999), requires that "each notice shall inform the recipient of any administrative hearing or judicial review that is available under this section, s. 120.57, or s. 120.68; shall indicate the procedure which must be followed to obtain the hearing or judicial review, and shall state the time limits which apply." Please note that this Notice of Rights is not intended to provide legal advice. Not all the legal proceedings detailed below may be an applicable or appropriate remedy. You may wish to consult an attorney regarding your legal rights.

Petition for Administrative Proceedings

1. A person whose substantial interests are affected by the South Florida Water Management District's (SFWMD) action has the right to request an administrative hearing on that action. The affected person may request either a formal or an informal hearing, as set forth below. A point of entry into administrative proceedings is governed by Rules 28-106.111 and 40E-1.511, Fla. Admin. Code, (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109), as set forth below. Petitions are deemed filed upon receipt of the original documents by the SFWMD Clerk.

a. Formal Administrative Hearing: If a genuine issue(s) of material fact is in dispute, the affected person seeking a formal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(1), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.201(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

b. Informal Administrative Hearing: If there are no issues of material fact in dispute, the affected person seeking an informal hearing on a SFWMD decision which does or may determine their substantial interests shall file a petition for hearing pursuant to Sections 120.569 and 120.57(2), Fla. Stat. or for mediation pursuant to Section 120.573, Fla. Stat. within 21 days, except as provided in subsections c. and d. below, of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-106.301(2), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

c. Administrative Complaint and Order: If a Respondent objects to a SFWMD Administrative Complaint and Order, pursuant to Section 373.119, Fla. Stat. (1997), the person named in the Administrative Complaint and Order may file a petition for a hearing no later than 14 days after the date such order is served. Petitions must substantially comply with the requirements of either subsection a. or b. above.

d. State Lands Environmental Resource Permit: Pursuant to Section 373.427, Fla. Stat., and Rule 40E-1.511(3), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), a petition objecting to the SFWMD's agency action regarding consolidated applications for Environmental Resource Permits and Use of Sovereign Submerged Lands (SLERPs), must be filed within 14 days of the notice of consolidated intent to grant or deny the SLERP. Petitions must substantially comply with the requirements of either subsection a. or b. above.

e. Emergency Authorization and Order: A person whose substantial interests are affected by a SFWMD Emergency Authorization and Order, has a right to file a petition under Sections 120.569, 120.57(1), and 120.57(2), Fla. Stat., as provided in subsections a. and b. above. However, the person, or the agent of the person responsible for causing or contributing to the emergency conditions shall take whatever action necessary to cause immediate compliance with the terms of the Emergency Authorization and Order.

f. Order for Emergency Action: A person whose substantial interests are affected by a SFWMD Order for Emergency Action has a right to file a petition pursuant to Rules 28-107.005 and 40E-1.611, Fla. Admin. Code, copies of which are attached to this Notice of Rights, and Section 373.119(3), Fla. Stat., for a hearing on the Order. Any subsequent agency action or proposed agency action to initiate a formal revocation proceeding shall be separately noticed pursuant to section g. below.

g. Permit Suspension, Revocation, Annulment, and Withdrawal: If the SFWMD issues an administrative complaint to suspend, revoke, annul, or withdraw a permit, the permittee may request a hearing to be conducted in accordance with Sections 120.569 and 120.57, Fla. Stat., within 21 days of either written notice through mail or posting or publication of notice that the SFWMD has or intends to take final agency action. Petitions must substantially comply with the requirements of Rule 28-107.004(3), Fla. Admin. Code, a copy of the which is attached to this Notice of Rights.

2. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means that the SFWMD's final action may be different from the position taken by it previously. Persons whose substantial interests may be affected by

any such final decision of the SFWMD shall have, pursuant to Rule 40E-1.511(2), Fla. Admin. Code (also published as an exception to the Uniform Rules of Procedure as Rule 40E-0.109(2)(c)), an additional 21 days from the date of receipt of notice of said decision to request an administrative hearing. However, the scope of the administrative hearing shall be limited to the substantial deviation.

3. Pursuant to Rule 40E-1.511(4), Fla. Admin. Code, substantially affected persons entitled to a hearing pursuant to Section 120.57(1), Fla. Stat., may waive their right to such a hearing and request an informal hearing before the Governing Board pursuant to Section 120.57(2), Fla. Stat., which may be granted at the option of the Governing Board.

4. Pursuant to Rule 28-106.111(3), Fla. Admin. Code, persons may file with the SFWMD a request for extension of time for filing a petition. The SFWMD, for good cause shown, may grant the extension. The request for extension must contain a certificate that the petitioner has consulted with all other parties, if any, concerning the extension and that the SFWMD and all other parties agree to the extension.

CIRCUIT COURT

5. Pursuant to Section 373.617, Fla. Stat., any substantially affected person who claims that final agency action of the SFWMD relating to permit decisions constitutes an unconstitutional taking of property without just compensation may seek judicial review of the action in circuit court by filing a civil action in the circuit court in the judicial circuit in which the affected property is located within 90 days of the rendering of the SFWMD's final agency action.

6. Pursuant to Section 403.412, Fla. Stat., any citizen of Florida may bring an action for injunctive relief against the SFWMD to compel the SFWMD to enforce the laws of Chapter 373, Fla. Stat., and Title 40E, Fla. Admin. Code. The complaining party must file with the SFWMD Clerk a verified complaint setting forth the facts upon which the complaint is based and the manner in which the complaining party is affected. If the SFWMD does not take appropriate action on the complaint within 30 days of receipt, the complaining party may then file a civil suit for injunctive relief in the 15th Judicial Circuit in and for Palm Beach County or circuit court in the county where the cause of action allegedly occurred.

7. Pursuant to Section 373.433, Fla. Stat., a private citizen of Florida may file suit in circuit court to require the abatement of any stormwater management system, dam, impoundment, reservoir, appurtenant work or works that violate the provisions of Chapter 373, Fla. Stat.

DISTRICT COURT OF APPEAL

8. Pursuant to Section 120.68, Fla. Stat., a party who is adversely affected by final SFWMD action may seek judicial review of the SFWMD's final decision by filing a notice of appeal pursuant to Florida Rule of Appellate Procedure 9.110 in the Fourth District Court of Appeal or in the appellate district where a party resides and filing a second copy of the notice with the SFWMD Clerk within 30 days of rendering of the final SFWMD action.

LAND AND WATER ADJUDICATORY COMMISSION

9. A party to a "proceeding below" may seek review by the Land and Water Adjudicatory Commission (FLAWAC) of SFWMD's final agency action to determine if such action is consistent with the provisions and purposes of Chapter 373, Fla. Stat. Pursuant to Section 373.114, Fla. Stat., and Rules 42-2.013 and 42-2.0132, Fla. Admin. Code, a request for review of (a) an order or rule of the SFWMD must be filed with FLAWAC within 20 days after rendition of the order or adoption of the rule sought to be reviewed; (b) an order of the Department of Environmental Protection (DEP) requiring amendment or repeal of a SFWMD rule must be filed with FLAWAC within 30 days of rendition of the DEP's order, and (c) a SFWMD order entered pursuant to a formal administrative hearing under Section 120.57(1), Fla. Stat., must be filed no later than 20 days after rendition of the SFWMD's final order. Simultaneous with filing, a copy of the request for review must be served on the DEP Secretary, any person named in the SFWMD or DEP final order, and all parties to the proceeding below. A copy of Rule 42-2.013, Fla. Admin. Code is attached to this Notice of Rights.

PRIVATE PROPERTY RIGHTS PROTECTION ACT

10. A property owner who alleges a specific action of the SFWMD has inordinately burdened an existing use of the real property, or a vested right to a specific use of the real property, may file a claim in the circuit court where the real property is located within 1 year of the SFWMD action pursuant to the procedures set forth in Subsection 70.001(4)(a), Fla. Stat.

LAND USE AND ENVIRONMENTAL DISPUTE RESOLUTION

11. A property owner who alleges that a SFWMD development order (as that term is defined in Section 70.51(2)(a), Fla. Stat. to include permits) or SFWMD enforcement action is unreasonable, or unfairly burdens the use of the real property, may file a request for relief with the SFWMD within 30 days of receipt of the SFWMD's order or notice of agency action pursuant to the procedures set forth in Subsections 70.51(4) and (6), Fla. Stat.

MEDIATION

12. A person whose substantial interests are, or may be, affected by the SFWMD's action may choose mediation as an alternative remedy under Section 120.573, Fla. Stat. Pursuant to Rule 28-106.111(2), Fla. Admin. Code, the petition for mediation shall be filed within 21 days of either written notice through mail or posting

publication of notice that the SFWMD has or intends to take final agency action. Choosing mediation will not affect the right to an administrative hearing if mediation does not result in settlement.

Pursuant to Rule 28-106.402, Fla. Admin. Code, the contents of the petition for mediation shall contain the following information:

(1) the name, address, and telephone number of the person requesting mediation and that person's representative, if any;

(2) a statement of the preliminary agency action;

(3) an explanation of how the person's substantial interests will be affected by the agency determination; and

(4) a statement of relief sought.

As provided in Section 120.573, Fla. Stat. (1997), the timely agreement of all the parties to mediate will toll the time limitations imposed by Sections 120.569 and 120.57, Fla. Stat., for requesting and holding an administrative hearing. Unless otherwise agreed by the parties, the mediation must be concluded within 60 days of the execution of the agreement. If mediation results in settlement of the dispute, the SFWMD must enter a final order incorporating the agreement of the parties. Persons whose substantial interest will be affected by such a modified agency decision have a right to petition for hearing within 21 days of receipt of the final order in accordance with the requirements of Sections 120.569 and 120.57, Fla. Stat., and SFWMD Rule 28-106.201(2), Fla. Admin. Code. If mediation terminates without settlement of the dispute, the SFWMD shall notify all parties in writing that the administrative hearing process under Sections 120.569 and 120.57, Fla. Stat., remain available for disposition of the dispute, and the notice will specify the deadlines that then will apply for challenging the agency action.

VARIANCES AND WAIVERS

13. A person who is subject to regulation pursuant to a SFWMD rule and believes the application of that rule will create a substantial hardship or will violate principles of fairness (as those terms are defined in Subsection 120.542(2), Fla. Stat.) and can demonstrate that the purpose of the underlying statute will be or has been achieved by other means, may file a petition with the SFWMD Clerk requesting a variance from or waiver of the SFWMD rule. Applying for a variance or waiver does not substitute or extend the time for filing a petition for an administrative hearing or exercising any other right that a person may have concerning the SFWMD's action. Pursuant to Rule 28-104.002(2), Fla. Admin. Code, the petition must include the following information:

(a) the caption shall read:

Petition for (Variance from) or (Waiver of) Rule (Citation)

(b) The name, address, telephone number and any facsimile number of the petitioner;

(c) The name, address telephone number and any facsimile number of the attorney or qualified representative of the petitioner, (if any);

(d) the applicable rule or portion of the rule;

(e) the citation to the statute the rule is implementing;

(f) the type of action requested;

(g) the specific facts that demonstrate a substantial hardship or violation of principles of fairness that would justify a waiver or variance for the petitioner;

(h) the reason why the variance or the waiver requested would serve the purposes of the underlying statute; and

(i) a statement of whether the variance or waiver is permanent or temporary. If the variance or waiver is temporary, the petition shall include the dates indicating the duration of the requested variance or waiver.

A person requesting an emergency variance from or waiver of a SFWMD rule must clearly so state in the caption of the petition. In addition to the requirements of Section 120.542(5), Fla. Stat. pursuant to Rule 28-104.004(2), Fla. Admin. Code, the petition must also include:

a) the specific facts that make the situation an emergency; and

b) the specific facts to show that the petitioner will suffer immediate adverse effect unless the variance or waiver is issued by the SFWMD more expeditiously than the applicable timeframes set forth in Section 120.542, Fla. Stat.

WAIVER OF RIGHTS

14. Failure to observe the relevant time frames prescribed above will constitute a waiver of such right.

28-106.201

INITIATION OF PROCEEDINGS

(INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

(2) All petitions filed under these rules shall contain:

(a) The name and address of each agency affected and each agency's file or identification number, if known;

(b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;

(c) A statement of when and how the petitioner received notice of the agency decision;

(d) A statement of all disputed issues of material fact. If there are none, the petition must so indicate;

(e) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and

(f) A demand for relief.

28-106.301 INITIATION OF PROCEEDINGS
(NOT INVOLVING DISPUTED ISSUES OF MATERIAL FACT)

- (2) All petitions filed under these rules shall contain:
- (a) The name and address of each agency affected and each agency's file or identification number, if known;
 - (b) The name, address, and telephone number of the petitioner; the name, address, and telephone number of the petitioner's representative, if any, which shall be the address for service purposes during the course of the proceeding, and an explanation of how the petitioner's substantial interests will be affected by the agency determination;
 - (c) A statement of when and how the petitioner received notice of the agency decision;
 - (d) A concise statement of the ultimate facts alleged, as well as the rules and statutes which entitle the petitioner to relief; and
 - (e) A demand for relief.

28-107.004 SUSPENSION, REVOCATION, ANNULMENT, OR WITHDRAWAL

- (3) Requests for hearing filed in accordance with this rule shall include:
- (a) The name and address of the party making the request, for purposes of service;
 - (b) A statement that the party is requesting a hearing involving disputed issues of material fact, or a hearing not involving disputed issues of material fact; and
 - (c) A reference to the notice, order to show cause, administrative complaint, or other communication that the party has received from the agency.

42-2.013 REQUEST FOR REVIEW PURSUANT TO SECTION 373.114 OR 373.217

(1) In any proceeding arising under Chapter 373, F.S., review by the Florida Land and Water Adjudicatory Commission may be initiated by the Department or a party by filing a request for such review with the Secretary of the Commission and serving a copy on any person named in the rule or order, and on all parties to the proceeding which resulted in the order sought to be reviewed. A certificate of service showing completion of service as required by this subsection shall be a requirement for a determination of sufficiency under Rule 42-2.0132. Failure to file the request with the Commission within the time period provided in Rule 42-2.0132 shall result in dismissal of the request for review.

(2) The request for review shall identify the rule or order requested to be reviewed, the proceeding in which the rule or order was entered and the nature of the rule or order. A copy of the rule or order sought to be reviewed shall be attached. The request for review shall state with particularity:

- (a) How the order or rule conflicts with the requirements, provisions and purposes of Chapter 373, F.S., or rules duly adopted thereunder;

(b) How the rule or order sought to be reviewed affects the interests of the party seeking review;

(c) The oral or written statement, sworn or unsworn, which was submitted to the agency concerning the matter to be reviewed and the date and location of the statement, if the individual or entity requesting the review has not participated in a proceeding previously instituted pursuant to Chapter 120, F.S., on the order for which review is sought;

(d) If review of an order is being sought, whether and how the activity authorized by the order would substantially affect natural resources of statewide or regional significance, or whether the order raises issues of policy, statutory interpretation, or rule interpretation that have regional or statewide significance from a standpoint of agency precedent, and all the factual bases in the record which the petitioner claims support such determination(s); and

(e) The action requested to be taken by the Commission as a result of the review, whether to rescind or modify the order, or remand the proceeding to the water management district for further action, or to require the water management district to initiate rulemaking to adopt, amend or repeal a rule.

28-107.005 EMERGENCY ACTION

(1) If the agency finds that immediate serious danger to the public health, safety, or welfare requires emergency action, the agency shall summarily suspend, limit, or restrict a license.

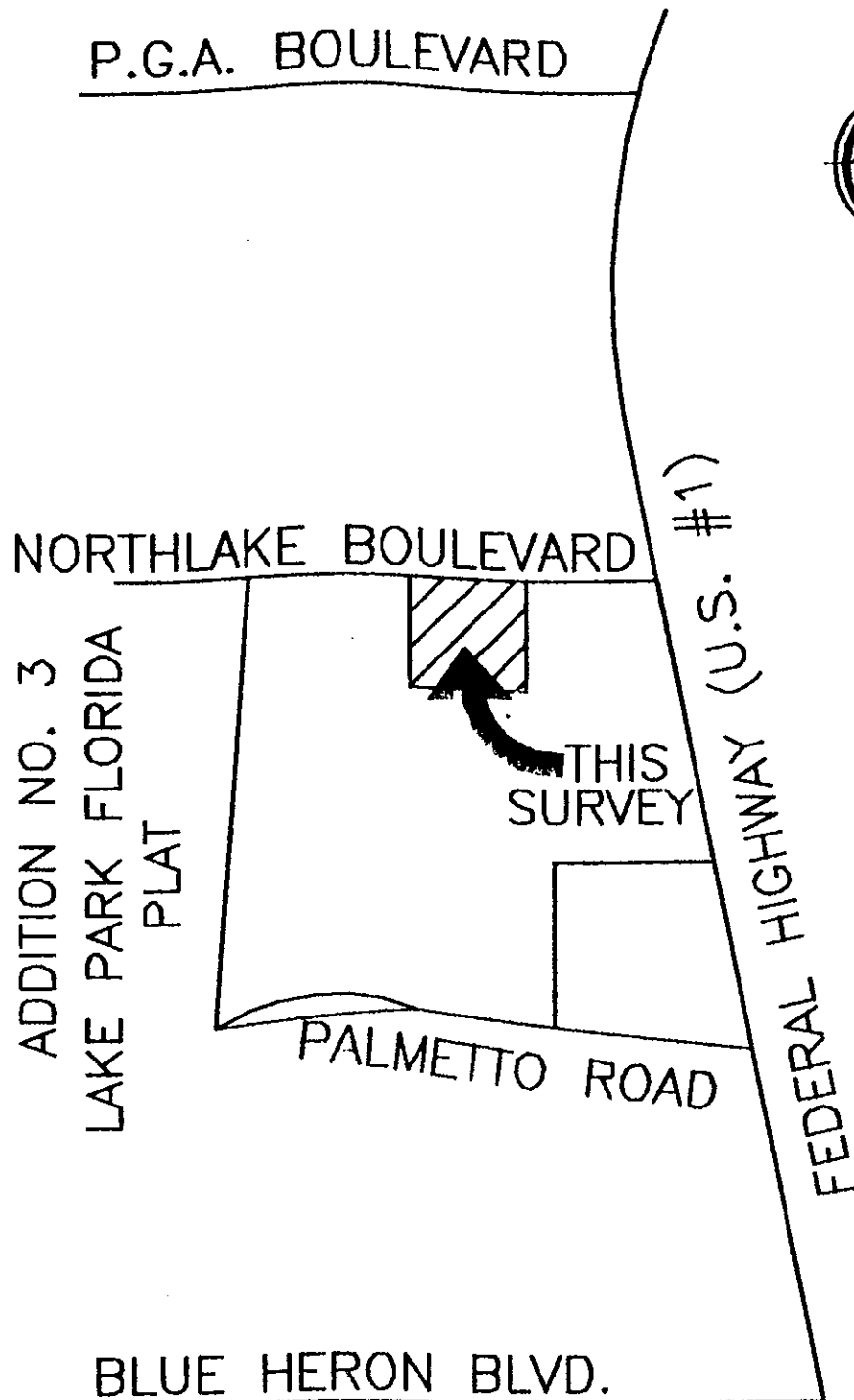
(2) the 14-day notice requirement of Section 120.569(2)(b), F. S., does not apply and shall not be construed to prevent a hearing at the earliest time practicable upon request of an aggrieved party.

(3) Unless otherwise provided by law, within 20 days after emergency action taken pursuant to paragraph (1) of this rule, the agency shall initiate a formal suspension or revocation proceeding in compliance with Sections 120.569, 120.57. and 120.60, F.S.

40E-1.611 EMERGENCY ACTION

(1) An emergency exists when immediate action is necessary to protect public health, safety or welfare; the health of animals, fish or aquatic life; the works of the District; a public water supply, or recreational, commercial, industrial, agricultural or other reasonable uses of land and water resources.

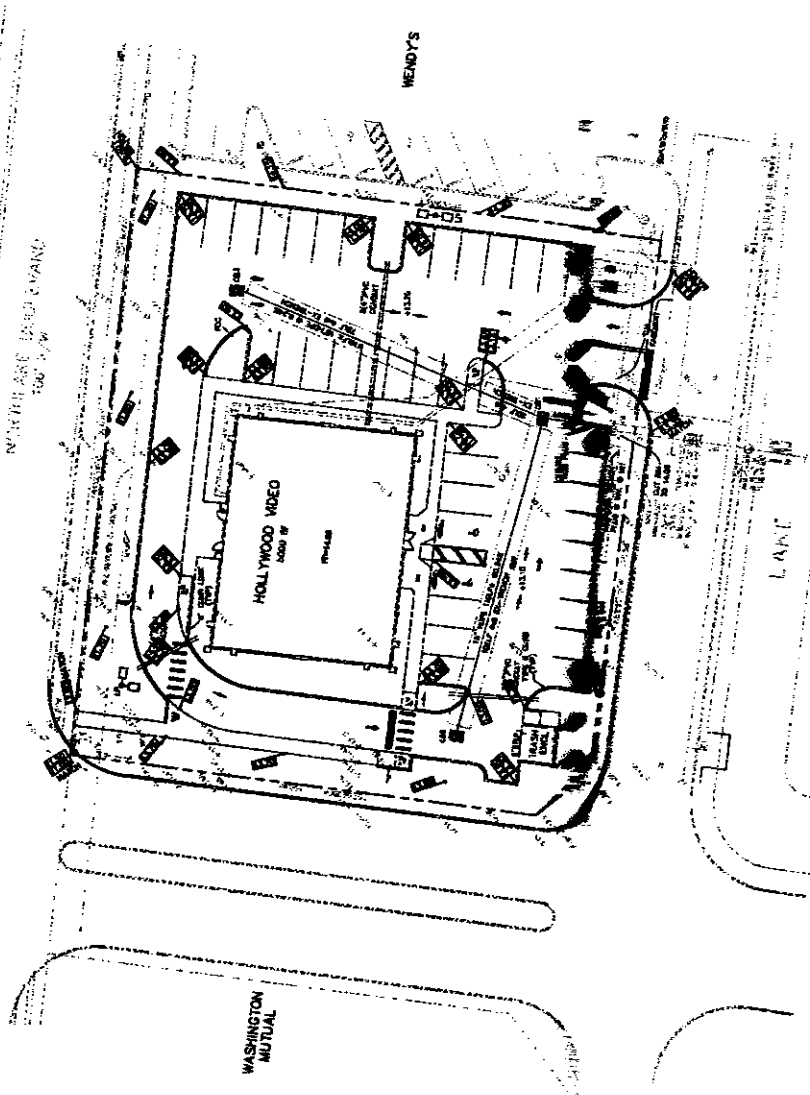
(2) The Executive Director may employ the resources of the District to take whatever remedial action necessary to alleviate the emergency condition without the issuance of an emergency order, or in the event an emergency order has been issued, after the expiration of the requisite time for compliance with that order.



LOCATION MAP
(NOT TO SCALE)

GENERAL NOTES:

1. SURVEY PROVIDED BY SHAW, BROTHERS & ASSOC. P.A.
2. ALL UTILITIES SHOWN ARE BASED ON RECORD DRAWINGS AND FIELD SURVEY. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION.
3. ALL CONSTRUCTION MATERIALS SHALL BE IN ACCORDANCE WITH CURRENT CITY, COUNTY, STATE, AND FEDERAL SPECIFICATIONS AND STANDARDS.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.
5. THE CONTRACTOR SHALL MAINTAIN ACCESS TO ALL ADJACENT PROPERTIES AND UTILITIES AT ALL TIMES.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES AND STRUCTURES NOT TO BE REMOVED.
7. THE CONTRACTOR SHALL MAINTAIN ADEQUATE DRAINAGE AND EROSION CONTROL MEASURES THROUGHOUT CONSTRUCTION.
8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL ADJACENT AREAS AND UTILITIES.
9. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDING AND DOCUMENTATION OF ALL CONSTRUCTION ACTIVITIES.
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17. THE CONTRACTOR SHALL MAINTAIN ADEQUATE RECORDING AND DOCUMENTATION OF ALL CONSTRUCTION ACTIVITIES.



STRUCTURES

No.	Type	Grav.	Size	Vol.	Grav.	Size	Vol.
1	CH	1	12.00	8.50	8.50	8.50	11.75
2	CH	2	12.00	8.50	8.50	8.50	11.75
3	CH	3	12.00	8.50	8.50	8.50	11.75

STORMWATER REQUIREMENTS

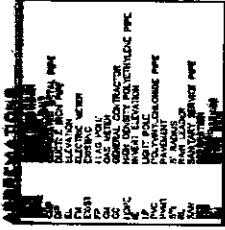
STORMWATER REQUIREMENTS SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE S.W. 800.00 (SEE SPECIFICATIONS) AND THE LATEST EDITION OF THE S.W. 800.00 (SEE SPECIFICATIONS).

NOTES

1. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION AND RESTORATION OF ALL ADJACENT AREAS AND UTILITIES.
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CIVIL LEGEND

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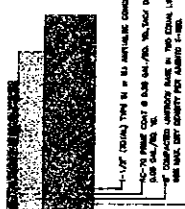
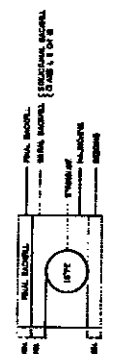
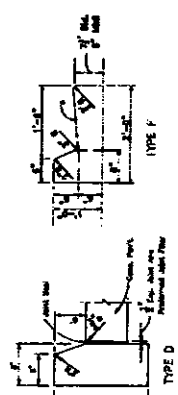
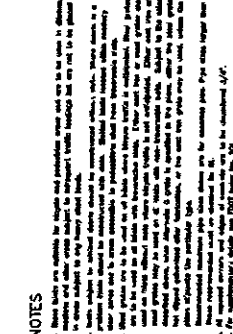
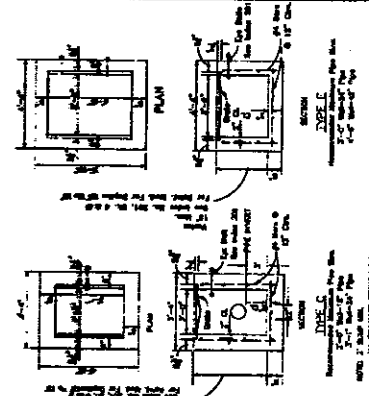
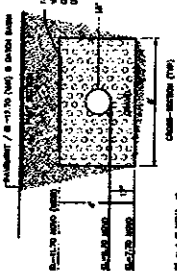
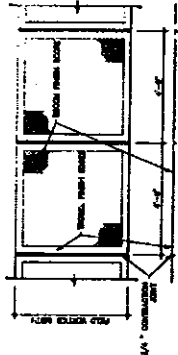
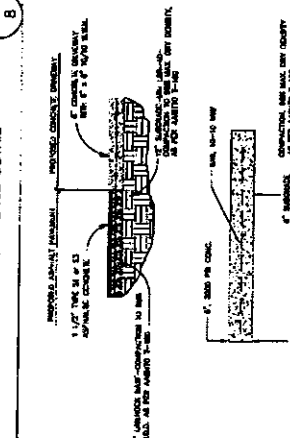
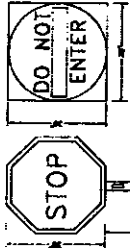
HOLLYWOOD VIDEO
(Parcel No. 3)
NORTHLAKE PROMENADE SHOPS
PAVING & DRAINAGE DETAILS

PERMITTING
BIDDING
CONSTRUCTION

SITE LOCATION:

NOTHING MORE SHORES
MORRIS BAY
LAKE, FLORIDA

8806 398	Item	408 40	0307
CBS			



THESE TWO COUNTRIES ARE THE ONLY COUNTRIES IN THE WORLD THAT HAVE A HIGH GROSS DOMESTIC PRODUCT PER CAPITA AND A LOW LIFE EXPECTANCY.

NOTES: 1. BANGZ Distribution Co. "ASK" FOR LAST. FIVE CODE

AS PER AASH TO T-142
LABORATORY, NEW YORK
6" BRICKWORK

100

E PIPE TRENCH (TYP) (ALT: SEE PIPE NOTE, C2)

EXPLORATION TRENCH

2

21

1

HANDICAP SPACE STR.B.C. (TV)

1995

STALL PAINTING (TP.)

PAVEMENT/CONCRETE JOINT & SIDEWALK SECTION

CONTROL STRUCTURE (CS)

SECTION (11F.2)

Last Date For Agency Action: 26-FEB-2006

GENERAL ENVIRONMENTAL RESOURCE PERMIT STAFF REPORT

Project Name: Hollywood Video (Phase 1a - Out Parcels)

Permit No.: 50-04324-P

Application No.: 050609-13

Application Type: Environmental Resource (General Permit Modification)

Location: Palm Beach County, S21/T42S/R43E

Permittee : Developers Of Northlake, Inc.

Operating Entity : Permittee

Project Area: .86 acres

Project Land Use: Commercial

Drainage Basin: INTRACOASTAL WATERWAY

Receiving Body: Master system

Class: N/A

Special Drainage District: NA

Conservation Easement To District : No

Sovereign Submerged Lands: No

PROJECT PURPOSE

This application is a request for modification of a surface water management system to serve a 0.86-acre commercial development known as Hollywood Video (Phase 1A - Outparcels) within the previously permitted Northlake Promenade development.

PROJECT EVALUATION:**PROJECT SITE DESCRIPTION:**

The site is out parcel #3 within the previously permitted Northlake Promenade Shoppes at the corner of Northlake Blvd and Federal Highway in north central Palm Beach County (See Exhibit 1). The site has been cleared, roughly graded, and sodded.

There are no wetlands or other surface waters located within or affected by the proposed project.

PROPOSED PROJECT:

Proposed is the modification of Permit No. 50-04324-P for the construction and operation of a surface water management system to serve a 0.86-acre outparcel within the Northlake Promenade Shoppes development. Proposed construction includes a video rental store with associated parking and utilities. Runoff will be directed to 200 LF of exfiltration trench for water quality treatment. A 4' wide sharp crested weir with a crest elevation of 11.7' NGVD keeps the runoff in the trench prior to overflowing to the master system.

LAND USE:**Construction:****Project:**

	This Phase	Total Project	
Building Coverage	.12	4.42	acres
Pavement	.50	15.85	acres
Pervious	.24	7.75	acres
Water Mgmt Acreage	.00	.94	acres
Total:	.86	28.96	

WATER QUANTITY:**Discharge Rate :**

The proposed project is consistent with the land use and site grading assumptions from the design of the surface water management system. Therefore, the surface water management system for this project has not been designed to limit discharge for the design event to a specified rate.

Control Elevation :

Basin	Area (Acres)	Ctrl Elev (ft, NGVD)	WSWT Ctrl Elev (ft, NGVD)	Method Of Determination
Out-Parcel #3	.86	2/2	2.00	Master System

WATER QUALITY:

Water quality treatment for 2.5" over the percent impervious will be provided in 200 LF of exfiltration trench.

Basin	Treatment Method		Vol Req.d (ac-ft)	Vol Prov'd (ac-ft)
Out-Parcel #3	Treatment	Exfiltration Trench	200 LF .12	.12

CERTIFICATION AND MAINTENANCE OF THE WATER MANAGEMENT SYSTEM

It is suggested that the permittee retain the services of a Professional Engineer registered in the State of Florida for periodic observation of construction of the surface water management (SWM) system. This will facilitate the completion of construction completion certification Form #0881 which is required pursuant to Section 10 of the Basis of Review for Environmental Resource Permit Applications within the South Florida Water Management District, and subsection 40E-4361(2), Florida Administrative Code (F.A.C.).

Pursuant to Chapter 40E-4 F.A.C., this permit may not be converted from the construction phase to the operation phase until certification of the SWM system is submitted to and accepted by this District. Subsection 40E-4.321(7) F.A.C. states that failure to complete construction of the SWM system and obtain operation phase approval from the District within the permit duration shall require a new permit authorization unless a permit extension is granted.

For SWM systems permitted with an operating entity who is different from the permittee, it should be noted that until the permit is transferred to the operating entity pursuant to Section 40E-1.6107, F.A.C., the permittee is liable for compliance with the terms of this permit.

The permittee is advised that the efficiency of a SWM system will normally decrease over time unless the system is periodically maintained. A significant reduction in flow capacity can usually be attributed to partial blockages of the conveyance system. Once flow capacity is compromised, flooding of the project may result. Maintenance of the SWM system is required to protect the public health, safety and the natural resources of the state. Therefore, the permittee must have periodic inspections of the SWM system performed to ensure performance for flood protection and water quality purposes. If deficiencies are found, it is the responsibility of the permittee to correct these deficiencies in a timely manner.

RELATED CONCERNS:**Water Use Permit Status:**

Water Use Permit Number 50-04506-W has been issued for this project. This permit does not release the permittee from obtaining all necessary Water Use authorization(s) prior to the commencement of activities which will require such authorization, including construction dewatering and irrigation, unless the work qualifies for a No-Notice Short-Term Dewatering permit pursuant to Chapter 40E-20.302(3) or is exempt pursuant to Section 40E-2.051, FAC.

Historical/Archeological Resources:

The District has received correspondence previously from the Florida Department of State, Division of Historical Resources indicating that the agency has no objections to the issuance of this permit.

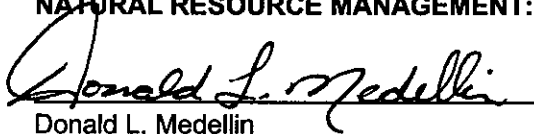
DCA/CZM Consistency Review:

The District has not received a finding of inconsistency from the Florida Department of Community Affairs regarding the provisions of the federal Coastal Zone Management Plan.

Enforcement:

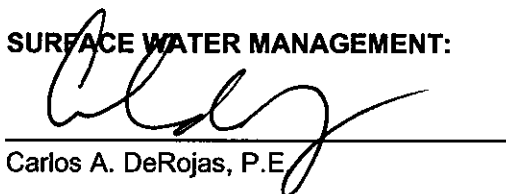
There has been no enforcement activity associated with this application.

STAFF REVIEW:**DIVISION APPROVAL:****NATURAL RESOURCE MANAGEMENT:**


Donald L. Medellin

DATE: 2/1/06

SURFACE WATER MANAGEMENT:


Carlos A. DeRojas, P.E.

DATE: 1/27/06

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HOLLYWOOD VIDEO (PHASE 1A - OUT PARCELS)

Application No: 050609-13

Permit No: 50-04324-P

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GOVERNMENT AGENCIES

- X Div of Recreation and Park - District 7 - FDEP
- X Florida Fish & Wildlife Conservation Commission -
Imperiled Species Mgmt Section
- X Palm Beach County - Building Div
- X Palm Beach County - Environmental Res Mgmt
- X Palm Beach County - Health Dept
- X Palm Beach County - Land Development Div
- X Palm Beach County - School Board Growth Mgmt
- X Palm Beach County Engineer

OTHER INTERESTED PARTIES

- X Rosa Durando
- X Water Catchment Area Advisory Committee - Ed
Dailey
- X Water Management Institute - Michael N. Vanatta