



Town of Lake Park, Florida

Planning and Zoning Board Meeting Agenda

Monday, June 01, 2026 at 6:30 PM

535 Park Avenue Lake Park, Florida

Richard Ahrens	—	Chair
Jon Buechele	—	Vice Chair
Evelyn Harris Clark	—	Regular Member
Karen Lau	—	Regular Member
Patricia Leduc	—	Regular Member

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Planning & Zoning Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk’s office by calling 881-3311 at least 48 hours in advance to request accommodations.

CIVILITY AND DECORUM

The Town of Lake Park is committed to civility and decorum to be applied and observed by its elected officials, advisory board members, employees and members of the public who attend Town meetings. The following rules are hereby established to govern the decorum to be observed by all persons attending public meetings of the Commission and its advisory boards:

- Those persons addressing the Commission or its advisory boards who wish to speak shall first be recognized by the presiding officer. No person shall interrupt a speaker once the speaker has been recognized by the presiding officer. Those persons addressing the Commission or its advisory boards shall be respectful and shall obey all directions from the presiding officer.
- Public comment shall be addressed to the Commission or its advisory board and not to the audience or to any individual member on the dais.
- Displays of disorderly conduct or personal derogatory or slanderous attacks of anyone in the assembly is discouraged. Any individual who does so may be removed from the meeting.
- Unauthorized remarks from the audience, stomping of feet, clapping, whistles, yells or any other type of demonstrations are discouraged.
- A member of the public who engages in debate with an individual member of the Commission or an advisory board is discouraged. Those individuals who do so may be removed from the meeting.
- All cell phones and/or other electronic devices shall be turned off or silenced prior to the start of the public meeting. An individual who fails to do so may be removed from the meeting.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA:

APPROVAL OF MINUTES:

1. P & Z Meeting Minute 5/4/2026

PUBLIC COMMENTS ON AGENDA ITEMS:

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located on either side of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

ORDER OF BUSINESS:

The normal order of business for Hearings on agenda items as follows:

- Staff Presentation
- Applicant Presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments -3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on the floor
- Vote of Board

NEW BUSINESS:

2. Twiggs Academy Rezoning Request
3. Twiggs Academy Site Plan and Special Exception Request

PLANNING & ZONING BOARD MEMBER COMMENTS:

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS AND PROJECT UPDATES:

ADJOURNMENT:

FUTURE MEETING DATE: P & Z Meeting– July, 06, 2026 at 6:30 PM



Town of Lake Park, Florida

Planning and Zoning Board Meeting Minutes

Monday, May 04, 2026 at 6:30 PM
535 Park Avenue Lake Park, Florida

-
- | | | |
|----------------------------|---|-----------------------|
| Richard Ahrens | — | Chair |
| Jon Buechele | — | Vice Chair |
| Evelyn Harris Clark | — | Regular Member |
| Karen Lau | — | Regular Member |
| Patricia Leduc | — | Regular Member |

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Planning & Zoning Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk’s office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

6:33 P.M

PLEDGE OF ALLEGIANCE

Chair Richard Ahrens

ROLL CALL

PRESENT

Chair Richard Ahrens

Vice Chair Jon Buechele

Board Member Evelyn Harris Clark

Board Member Karen Lau

Board Member Patricia Leduc

APPROVAL OF AGENDA:

Motion made by Board Member Harris Clark, Seconded by Board Member Leduc

Voting Yea: All

APPROVAL OF MINUTES:

Motion made by Board Member Leduc, Seconded by Board Member Lau

Voting Yea: All

PUBLIC COMMENTS ON AGENDA ITEMS:

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located on either side of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

1. Commissioner Michael O'Rourke stated that Senate Bill 180 is a piece of legislation focused on emergency management and disaster recovery.

He is requesting that the Board refrain from granting blanket approval and instead allow the Commission Board to make that decision.

2. Commissioner Michael O'Rourke objects to legislation that should not tell the Commissioner that they will be undertaking the administrative process of the platting approval.

ORDER OF BUSINESS:

The normal order of business for Hearings on agenda items as follows:

- Staff Presentation
- Applicant Presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments -3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on the floor
- Vote of Board

NEW BUSINESS:

2. PADD Use Table Amendments

The Director of the Community Development Department, Nadia DiTommaso, is seeking approval and stated the item is being presented in accordance with the directives provided to staff following the Town Commission's review of the Park Avenue Downtown District (PADD)

throughout 2025. This review coincides with the Kimberly Horne studies conducted during the same period. The staff is recommending the implementation of selected changes to the PADD use table, which outlines the uses permitted by right or by special exception in the two sub-districts of the PADD. Additionally, the Community Redevelopment Area Plan promotes business-friendly initiatives aimed at attracting, retaining, and expanding business ventures, as well as encouraging restaurant and entertainment uses within the PADD area.

Ms. DiTommaso indicated that the usage table provided to the Board Member for review demonstrates that the current uses listed are special exception uses, and the proposal aims to convert these into permitted uses. She further noted that not all recommendations from the Kimberly Horne study can't be actively implemented at this time due to the ongoing restrictions imposed by Senate Bill 180; however, aspects that are less restricted may be advanced. The text amendments that meet this criteria are being recommended and, as indicated, include a variety of special exception uses alongside permitted uses. This proposed Ordinance was prepared by the Community Development Department in accordance with the Kimberly Horne studies conducted at that time. These documents have been reviewed by the CDD, Town Manager, CRA, and Town Attorney. She also stated, that these document may be subject to change at any time due to alterations in uses. Additionally, this item will be brought to our Commissioner on the May 20th, 2026.

Board Member Harris-Clark sought clarification regarding the staff's proposals and the reasons behind them.

Chair, Ahrens expressed his belief that the Commissioner was stating that the Commissioners are better suited to determine if a use can be a special exception or permitted under certain conditions.

Town Attorney Tom Braid clarifies the distinction between a special exception use and a permitted use. He mentioned that the staff indicated it would be less burdensome and less restrictive. He used a gas station with a convenience store as an example of a special exception use, as it would meet the standard requirements that a permitted use would not. He also mentioned that it would be more difficult to get a special exception use than a permitted use.

Board Member Leduc mentioned that the Community should be more informed and updated about the PADD, as the changes will impact the residents and neighborhoods within the Community. She also mentioned that she should be provided the accurate documents so she can have a reasonable amount of time for review.

Community Development Director, Nadia DiTommaso has taken note of the concerns from bored members and will make sure to provide any necessary information. As for the Town notifying the public we go base on the Town ordinance for what is required for advertisement.

Motion made by Vice- Chair Buechele, Seconded by Board Member Harris Clark

Voting Yea: Chair, Ahrens, Vice Chair Buechele, and Lau

Voting Nay: Board Member Leduc, and Harris Clark

3. Platting Procedure Amendments

Town Planning, Anders Vaines is seeking approval for amendments to the platting procedure. This amendment is being presented due to Senate Bill 784, which implements several changes in the processing and approval of plats. Plates are process and approved by the administrative rather than being approved by the Town Commissioners. Additionally, modifications to Chapter 67 of the Land Development Code are include the language of senate bill 78 making those changes that were amending indicating that the Commissioner should be the one to approve, With detailing the process.

Chair, Ahrens inquired whether the state implemented any stipulations to expedite the process. Since there been some case that it taken quite a while for a plats to be approved. Town Planner, replied, yes!

Motion made by Vice- Chair Buechele, Seconded by Board Member Leduc

Voting Yea: All

PLANNING & ZONING BOARD MEMBER COMMENTS:

None

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS AND PROJECT UPDATES:

ADJOURNMENT: 7:17 P.M

FUTURE MEETING DATE: P & Z Meeting – July 06, 2026 at 6:30 PM

meeting date 5/4/26

Cards must be submitted before the item is discussed!!
*****Three (3) minute limitation on all comments**

Name: Michael O'Rourke
Address: 535 Park Ave

If you are interested in receiving Town information through Email, please provide your E-mail address: _____

I would like to make comments on the following Agenda Item: # 2
PADD Table Amendments

I would like to make comments on the following Non-Agenda Item(s):

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.

meeting date 5/4/26

Cards must be submitted before the item is discussed!!
*****Three (3) minute limitation on all comments**

Name: Michael O'Rourke
Address: 535 Park Ave

If you are interested in receiving Town information through Email, please provide your E-mail address: _____

I would like to make comments on the following Agenda Item: # 3
Platting Procedures

I would like to make comments on the following Non-Agenda Item(s):

Instructions: Please complete this card, including your name and address; once the card has been completed, give it to the Town Clerk. The Mayor will call your name when it is time for you to speak. Comments are limited to three (3) minutes per individual.



AGENDA ITEM TITLE:

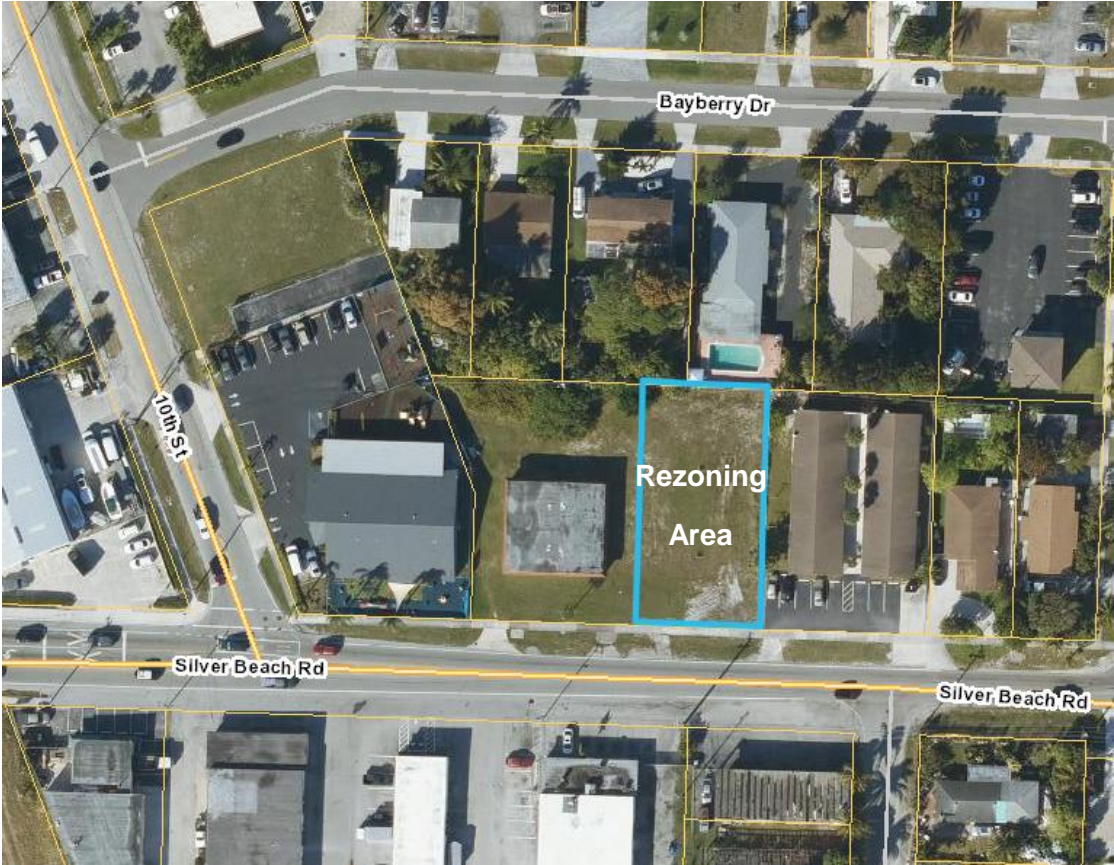
AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA REZONING A PARCEL OF REAL PROPERTY AS SHOWN IN FIGURE 1 AND HAVING THE PARCEL CONTROL NUMBER AS LISTED IN EXHIBIT "A" FROM RESIDENTIAL (R-2) TO COMMERCIAL (C-2); PROVIDING FOR AN AMENDMENT TO THE OFFICIAL ZONING MAP TO REFLECT THE REZONING TO C-2; AND PROVIDING FOR AN EFFECTIVE DATE

On behalf of Michel Invest LLC ("Property Owner" and "Applicant"), Imtiaz Ahmed of Atlantic Engineering Services ("Agent") is requesting a rezoning of 0.25 acres from residence district (R-2) to business district (C-2) as depicted on the map below. The proposed rezoning is consistent with the Town of Lake Park's adopted regulations for rezonings and is actually required in order to render the zoning district consistent with the land use designation of *commercial* that is already in place. Currently, the zoning is inconsistent with the land use and requires updating.

This proposed rezoning accompanies a request for site plan and special exception approval for a one-story, 7,424 SF childcare/educational facility, the details of which are available in the separate Site Plan and Special Exception Staff Report. The overall development site (that is being proposed separately) is depicted in Map 2 and consists of 3 parcels in total. The rezoning would serve to expand the C-2 from along 10th Street to incorporate one additional parcel along Silver Beach, allowing for the unified redevelopment of the site as a childcare/educational facility.

Map 3 contextualizes the rezoning relative to our other zoning districts. As proposed, the rezoning would not create "spot" zoning, with the C-2 district remaining contiguous. Additionally, as depicted on Map 4, the underlying future land use designation for the proposed rezoning parcel is already Commercial. Hence the rezoning request is consistent with the underlying FLU and is required despite the outcome of the site plan and special exception use application under separate cover.

Map 1: Proposed Rezoning Area.



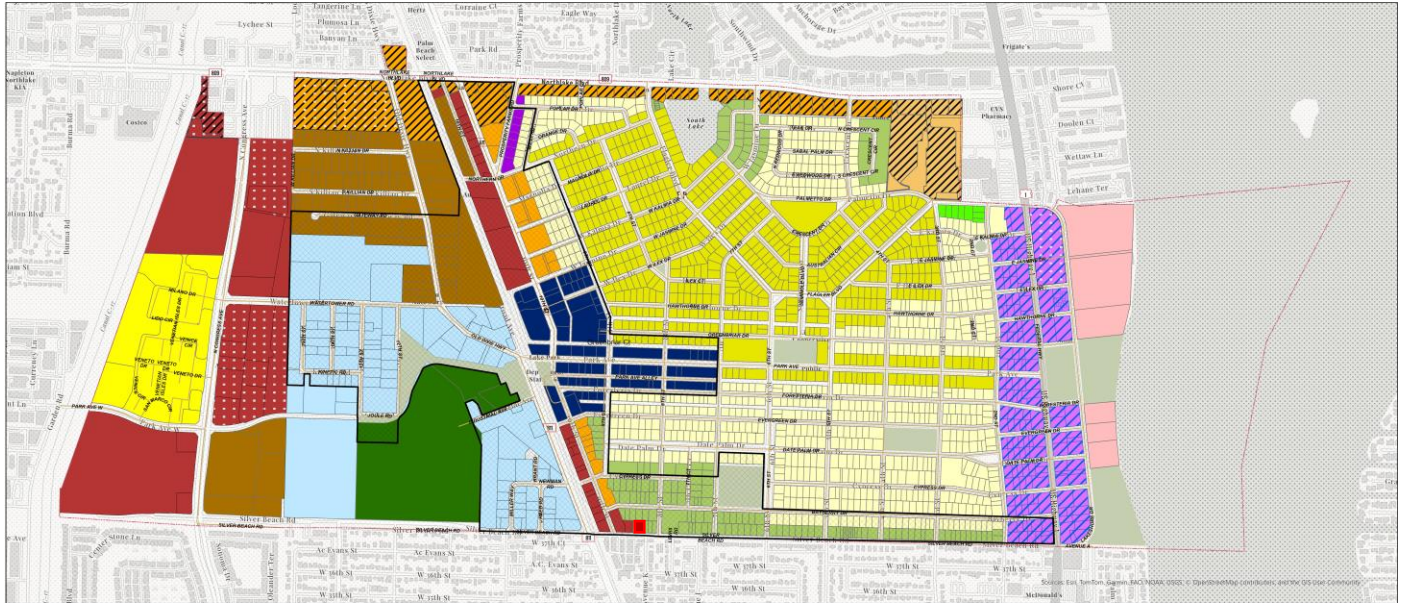
Map 2: Overall Redevelopment Site



Map 3: Zoning Context



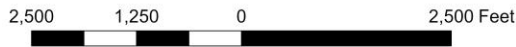
Town of Lake Park Zoning Map



	NB02 Overlay		C1 BUSINESS DISTRICT		CLIC CAMPUS LIGHT INDUSTRIAL & COMMERCIAL		R1A SINGLE FAMILY RESIDENCE DISTRICT
	PUD Overlay		C1B NEIGHBORHOOD COMMERCIAL DISTRICT		CONSERVATION		R1AA RESIDENCE DISTRICT
	Town Boundary		C2 BUSINESS DISTRICT		MU MIXED USE		R1B TWO FAMILY RESIDENCE DISTRICT
	Town Roads		C3 TWIN CITIES MIXED USE DISTRICT		P PUBLIC DISTRICT		R2 MULTIPLE FAMILY RESIDENCE DISTRICT
	FHM/DO Overlay		C4 BUSINESS DISTRICT		PADD PARK AVENUE DOWNTOWN DISTRICT		TND TOWNHOME DEVELOPMENT
					R1 SINGLE FAMILY RESIDENCE DISTRICT		CRA District



Anders Viane - Planner
 Community Development Department
 Town of Lake Park
 535 Park Avenue, Lake Park FL 33403
 561-881-3320 (ext 320)
 aviane@lakeparkflorida.gov

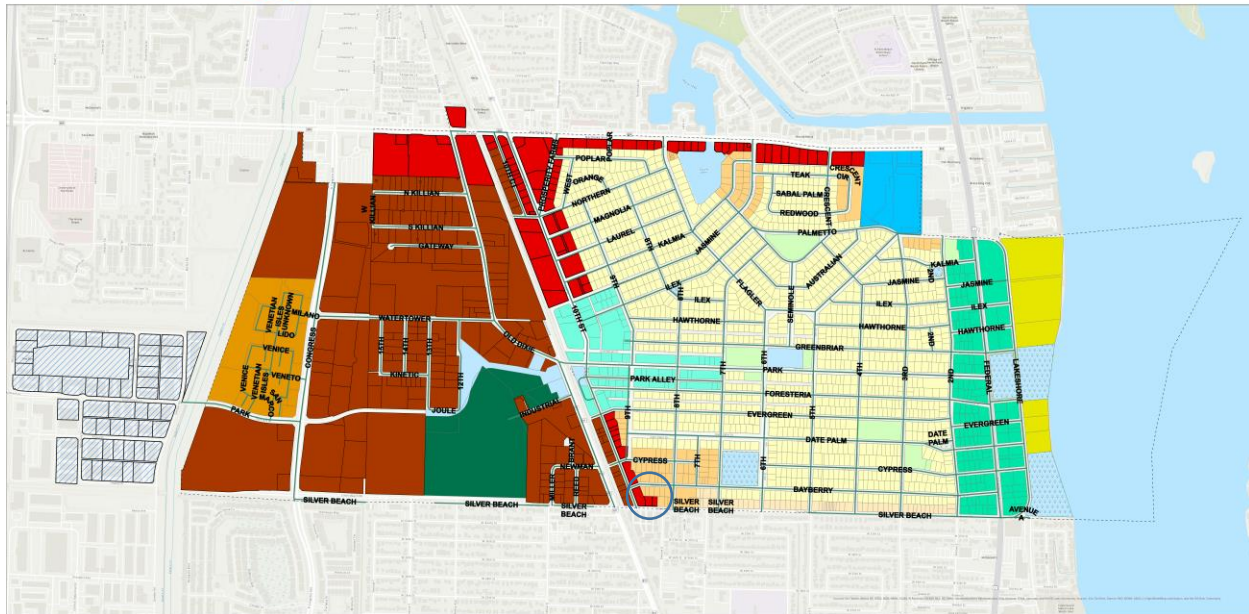


Date: 3/18/2026

Map 4: FLU Context



Town of Lake Park Future Land Use (FLU) Map 2017-2027



- Legend**
- Town Boundary
 - Town Parks
 - FLU Categories**
 - COMMERCIAL
 - CONSERVATION
 - DOWNTOWN
 - FEDERAL HIGHWAY MIXED USE DISTRICT
 - MIXED COMMERCIAL AND LIGHT INDUSTRIAL
 - MIXED RESIDENTIAL AND COMMERCIAL
 - OTHER PUBLIC FACILITIES
 - PUBLIC BUILDINGS & GROUNDS
 - RESIDENTIAL HIGH DENSITY
 - RESIDENTIAL LOW DENSITY
 - RESIDENTIAL MEDIUM DENSITY
 - SINGLE-FAMILY RESIDENTIAL
 - TWIN CITIES MIXED USE
 - Future Annexation Area
 - Lake Park Streets

Community Development Department
 Town of Lake Park
 535 Park Avenue, Lake Park FL 33403
 Anders Viane - Planner
 561-881-3320 (ext. 320)
 aviane@lakeparkflorida.gov
 Nadia DiTommaso - Director
 561-881-3319
 nditommaso@lakeparkflorida.gov

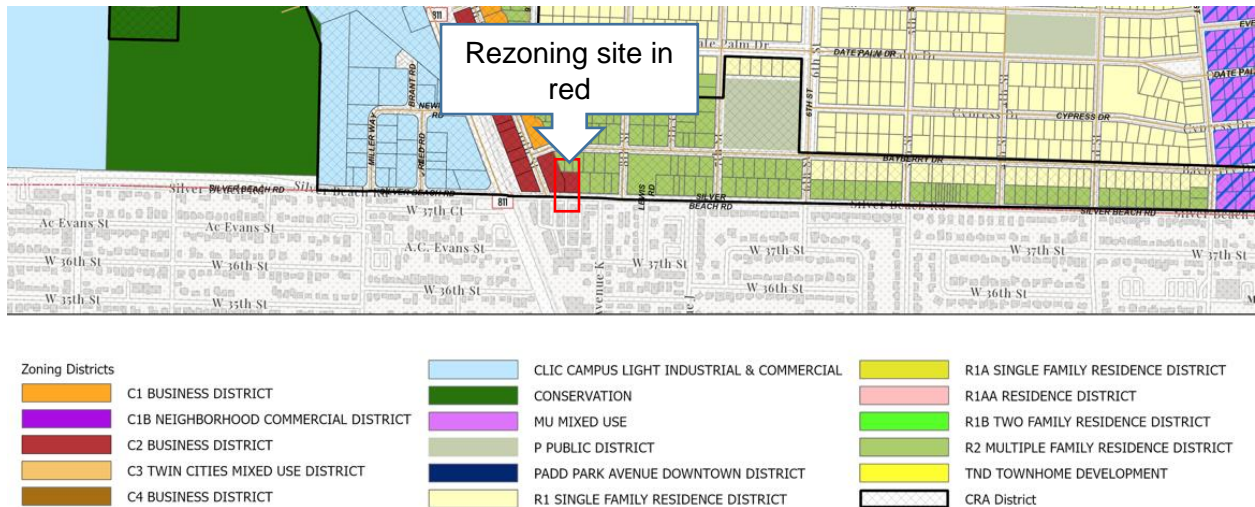


0 0.25 0.5 1 Miles

Analysis of Rezoning

The Applicant is proposing to rezone 0.25 acres of land from the R-2 residence district to the C-2 business district, as more precisely illustrated on Map 5 and elaborated under Table 1. As previously noted, the proposed change does not create spot zoning and will help facilitate the unified redevelopment of the site as childcare. There was briefly some consideration of rezoning the site to R-2, which allows nurseries by right, however given the impacts of a childcare facility, the need for additional future land use changes to rezone to R-2, and the current consistent underlying Commercial FLU, C-2 seemed like the more logical and consistent choice. In the R-2, nurseries were more likely envisioned as accessory uses to churches or other institutions more typically customary in the R-2 whereas the C-2 evaluation criteria are more stringent, including both the standard special exception criteria as well as several unique to the C-2, and are designed to mitigate the impacts of educational facilities to the greatest extent possible.

Map 5: Rezoning Context Detail



In conducting our review of the proposed rezoning, staff followed the procedures set forth under Sec. 78-181 pertaining to rezonings initiated by requestors as well as the standards set forth by our rezoning application. Staff and the applicant have followed the statutory requirements of the process as described in our code, including our noticing requirement. Public Notice of this change was provided on Friday, May 22nd.

Table 1

Area Proposed for Rezoning			
Current Zoning District	Current Uses	Parcel Numbers	Acres
R-2	Vacant	36-43-42-20-01-048-0300	0.25

Review Criteria:

The criteria reviewed for the rezoning application are listed below along with Staff’s determinations. The standards set forth for our review process are as follows:

- 1) That the requested change would be consistent with the land use plan and would not have an adverse effect on the comprehensive plan.

Applicant Justification: The proposed rezoning is to rezone the one parcel zoned R-2 to C-2 to allow for the development of our proposed site plan and make the existing zoning of this R-2 parcel consistent with the Commercial underlying future land use category.

Staff Assessment: Staff concurs with the applicant’s justification. Rezoning the R-2 parcel to C-2 is consistent with the underlying Commercial Future Land Use Designation. Thus, we find that the requested change is consistent with the land use plan and would not have an adverse effect on the comprehensive plan.

- 2) That the requested change is consistent with the existing land use pattern.

Applicant Justification: The proposed land use of commercial will result in the properties being consistent with the commercial use of properties to the west (across Tenth St.) and to the south (across Silver Beach Road).

Staff Assessment: Staff concurs with the applicant's justification. Currently, Twiggs Academy occupies one of the parcels to the west of the rezoning subject property. The properties to the west and to the south in Riviera Beach are commercial or light industrial uses. To the north are single-family or duplex/triplex residential homes. To the east is a multifamily property. These neighbors to the north and east will be separated from the proposed educational facility by a 6' concrete wall and landscape buffers, ensuring adequate buffering for compatibility.

- 3) That the requested change will not result in increase or overtaxing of public facilities (schools, streets, utilities, etc.). Acceptable documentation may include, but not be limited to, traffic impact studies, concurrency reviews, letters from service providers indicating the availability of capacity, etc.

Applicant Justification: The requested land use change does not adversely effect public facilities since it represents a form of corrective change to the actual use of the property from a medium density residential to the low use commercial of a child care facility. This change will result in a lessening of public school children, a lessening of utility use a minimal traffic impact.

Staff Assessment: As part of the applicant's site plan submittal, a traffic study was performed by Atlantic Engineering Services and evaluated by the Town's consultant Traffic and Mobility Consultants (TMC). TMC concluded that the proposal is consistent with the Town's concurrency standards as well as the County's TPS standards. Furthermore, special recommendations are being made to reduce traffic impacts on Silver Beach, including closing the Silver Beach entrance during peak drop-off and pick-up hours to prevent excessive queuing on Silver Beach Road and a channelized median on Silver Beach to prevent left turn movements when exiting. The applicant has agreed with these conditions and preferred them over other suggested alternatives such as "out-only" traffic on Silver Beach. Further review of documentation provided includes the County's Traffic Performance Standards approval, approval by Seacoast Utility Authority, Public Works, and approval by the Town's consultant engineering reviewer. The proposal increases pre-k educational services in the Town. Based on the analysis of these reviewers, staff finds this project will not result in increase or overtaxing of public facilities.

- 4) That the requested change will not adversely impact public safety.

Applicant Justification: The requested change from medium density residential to commercial has minimal impact on and will not adversely effect public safety. The property is currently improved and utilized and does not require the expansion or extension of public safety services.

Staff Assessment: Staff finds no evidence to suggest the act of rezoning from R-2 to C-2 poses a threat to public safety. As it pertains to the site plan review, Crime Prevention Through Environmental Design analysis is conducted by the Palm Beach County Sheriff's office. Several safety related recommendations have been made during the site

plan review process by staff and consultant reviewers including the following: anti-traffic bollards along the rights-of-way to insulate play areas, security lighting, and landscape privacy screening of play areas. The site plan also underwent several revisions to optimize and improve the drop-off/pick-up user experience to prevent conflicts.

- 5) That the requested change will not adversely impact living conditions in the neighborhood or other surrounding areas.

Applicant Justification: The requested change will not adversely impact living conditions on adjacent properties. - it will, in fact, provide a needed and close by child care facility to families in the area, eliminating long drives. The property will be maintained in a residential manner and will provide a 6' barrier wall along with an 8' landscape buffer along the residential side of our property. This will minimize any noise and other disturbances to the other neighboring properties.

Staff Assessment: As previously noted, as part of the site plan review process, staff paid special attention to buffering the residential properties to the north and west when evaluating the site plan request associated with this rezoning. The full 8' landscape buffer is being provided on the property lines to the north and west, in addition to the 6' concrete wall. The applicant furthermore provided the following statement on noise impacts: "SUPERVISING TEACHERS WILL ENSURE THAT CHILDREN WILL NOT BECOME TOO NOISY. THE BUILDING IS A CBS BUILDING WITH 1/2 INCH DRYWALL. ALL THE WINDOWS ARE FIXED IMPACT WINDOWS AND ACCOUSTICAL CEILINGS THROUGHOUT. THIS WILL MINIMIZE THE NOISE FROM INDOORS."

- 6) That there are substantial reasons why the property cannot be used in accord with existing zoning.

Applicant Justification: The current land use category allows residential uses, which, by zoning, permits child care use. However, the land use designation of commercial is generally not compatible with a residential zoning district and does not allow any commercial uses, as intended by the existing land use designation. This conflict prevents the child care use allowed under R-2 zoning. The rezoning to C-2 will create consistency with the underlying Commercial land use designation so that the applicant's special exception request for educational facility can move forward for consideration.

Staff Assessment: Staff concurs that rezoning the subject property from R-2 to C-2 creates greater consistency with the underlying FLU and allows for the site to redevelop as a unified whole under one set of regulations.

- 7) Whether or not the requested change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

Applicant Justification: No special privilege will be granted

Staff Assessment: The proposed rezoning does not grant the applicant a special privilege at the expense of public welfare. The site plan is also subject to a separate review and public hearing approval process.

Public Notice

In accordance with state statute and the Town Code for rezonings of land initiated by requestors other than the Town, a legal ad providing the ordinance title and summarizing the proposed changes was published in the May 22nd edition of the Palm Beach Post.

RECOMMENDATION:

STAFF RECOMMENDS APPROVAL OF THE PROPOSED REZONING OF .25 ACRES TO C-2 BUSINESS DISTRICT (C-2) AS PER THE SUBJECT ORDINANCE.

ORDINANCE NO. 2026

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA REZONING A PARCEL OF REAL PROPERTY AS SHOWN IN FIGURE 1 AND HAVING THE PARCEL CONTROL NUMBER AS LISTED IN EXHIBIT "A" FROM RESIDENTIAL (R-2) TO COMMERCIAL (C-2); PROVIDING FOR AN AMENDMENT TO THE OFFICIAL ZONING MAP TO REFLECT THE REZONING TO C-2; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Town of Lake Park, Florida ("Town") is a duly constituted municipality having such power and authority conferred upon it by the Florida Constitution and Chapter 166, Florida Statutes; and

WHEREAS, the Town has adopted a Zoning Code which establishes zoning districts and an Official Zoning Map which is illustrated in Chapter 78 of the Code of Ordinances of the Town (Code); and

WHEREAS, Imtiaz Ahmed ("Agent") on behalf of Michel Invest LLC ("Property Owner") , has requested the rezoning of .25 acres of real property (the Property) from R-2 residence district to C-2 business district; and

WHEREAS, Code Section 78-181 (1) sets forth procedures for rezonings of land requested by petitioners other than the Town; and

WHEREAS, the Agent has complied with the application requirements set forth under 78-181 (1); and

WHEREAS, the Town has complied with the noticing requirements set forth in Code §78-181 (3); and

WHEREAS, the Property is located as shown on the map in **Figure 1**, attached hereto and incorporated herein; and

WHEREAS the Property is legally described by the Palm Beach County property control number, in **Exhibit "A"**, which is attached hereto and incorporated herein; and

WHEREAS, the Town's Planning and Zoning Board conducted a public hearing and has provided a recommendation to the Commission on the proposed rezoning; and

WHEREAS, the Town Commission has conducted a duly noticed public hearing on the proposed rezoning.

NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA THAT:

Section 1. The whereas clauses are incorporated herein as the findings of fact and

conclusions of law of the Town Commission.

Item 2.

Section 2. The Town Commission hereby approves a rezoning of the Property from the R-2, residence district to the C-2, business district and directs that the Town's Official Zoning Map be amended to reflect the change of the Property's zoning.

Section 3. This ordinance shall take effect upon execution.

Figure 1
Highlighted property to be rezoned to C-2 District

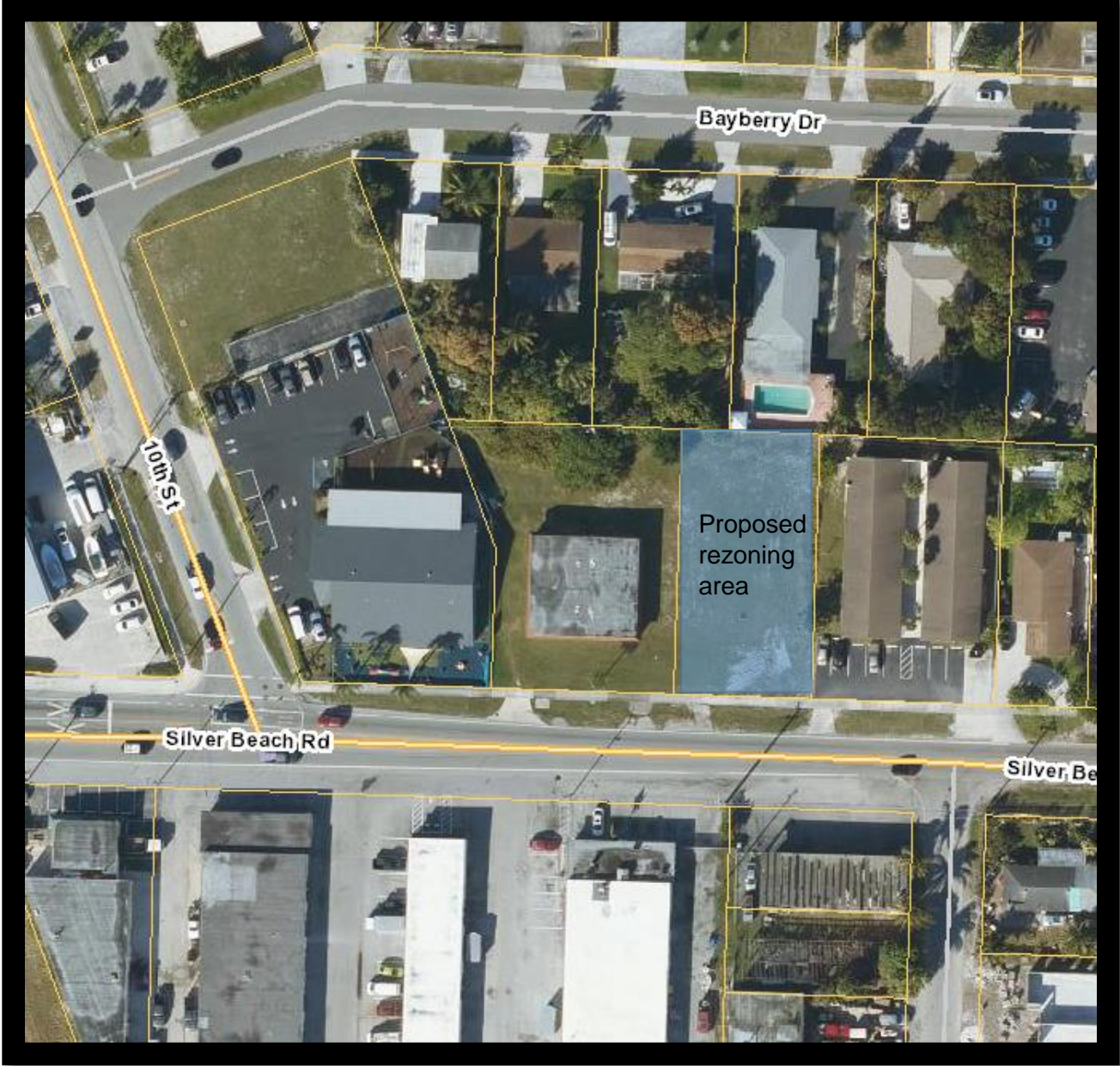


Exhibit A
Parcel with Change in Zoning
by property control number

Parcel being rezoned from R-2 to C-2:

Parcel 1: 36-43-42-20-01-048-0300

Total: 1 Parcel

ORDINANCE NO. 2026

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA REZONING A PARCEL OF REAL PROPERTY AS SHOWN IN FIGURE 1 AND HAVING THE PARCEL CONTROL NUMBER AS LISTED IN EXHIBIT "A" FROM RESIDENTIAL (R-2) TO COMMERCIAL (C-2); PROVIDING FOR AN AMENDMENT TO THE OFFICIAL ZONING MAP TO REFLECT THE REZONING TO C-2; AND PROVIDING FOR AN EFFECTIVE DATE

WHEREAS, the Town of Lake Park, Florida ("Town") is a duly constituted municipality having such power and authority conferred upon it by the Florida Constitution and Chapter 166, Florida Statutes; and

WHEREAS, the Town has adopted a Zoning Code which establishes zoning districts and an Official Zoning Map which is illustrated in Chapter 78 of the Code of Ordinances of the Town (Code); and

WHEREAS, Imtiaz Ahmed ("Agent") on behalf of Michel Invest LLC ("Property Owner") , has requested the rezoning of .25 acres of real property (the Property) from R-2 residence district to C-2 business district; and

WHEREAS, Code Section 78-181 (1) sets forth procedures for rezonings of land requested by petitioners other than the Town; and

WHEREAS, the Agent has complied with the application requirements set forth under 78-181 (1); and

WHEREAS, the Town has complied with the noticing requirements set forth in Code §78-181 (3); and

WHEREAS, the Property is located as shown on the map in **Figure 1**, attached hereto and incorporated herein; and

WHEREAS the Property is legally described by the Palm Beach County property control number, in **Exhibit "A"**, which is attached hereto and incorporated herein; and

WHEREAS, the Town's Planning and Zoning Board conducted a public hearing and has provided a recommendation to the Commission on the proposed rezoning; and

WHEREAS, the Town Commission has conducted a duly noticed public hearing on the proposed rezoning.

**NOW, THEREFORE, BE IT RESOLVED BY THE TOWN COMMISSION OF
THE TOWN OF LAKE PARK, FLORIDA THAT:**

Section 1. The whereas clauses are incorporated herein as the findings of fact and conclusions of law of the Town Commission.

Section 2. The Town Commission hereby approves a rezoning of the Property from the R-2, residence district to the C-2, business district and directs that the Town's Official Zoning Map be amended to reflect the change of the Property's zoning.

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Figure 1
Highlighted property to be rezoned to C-2 District

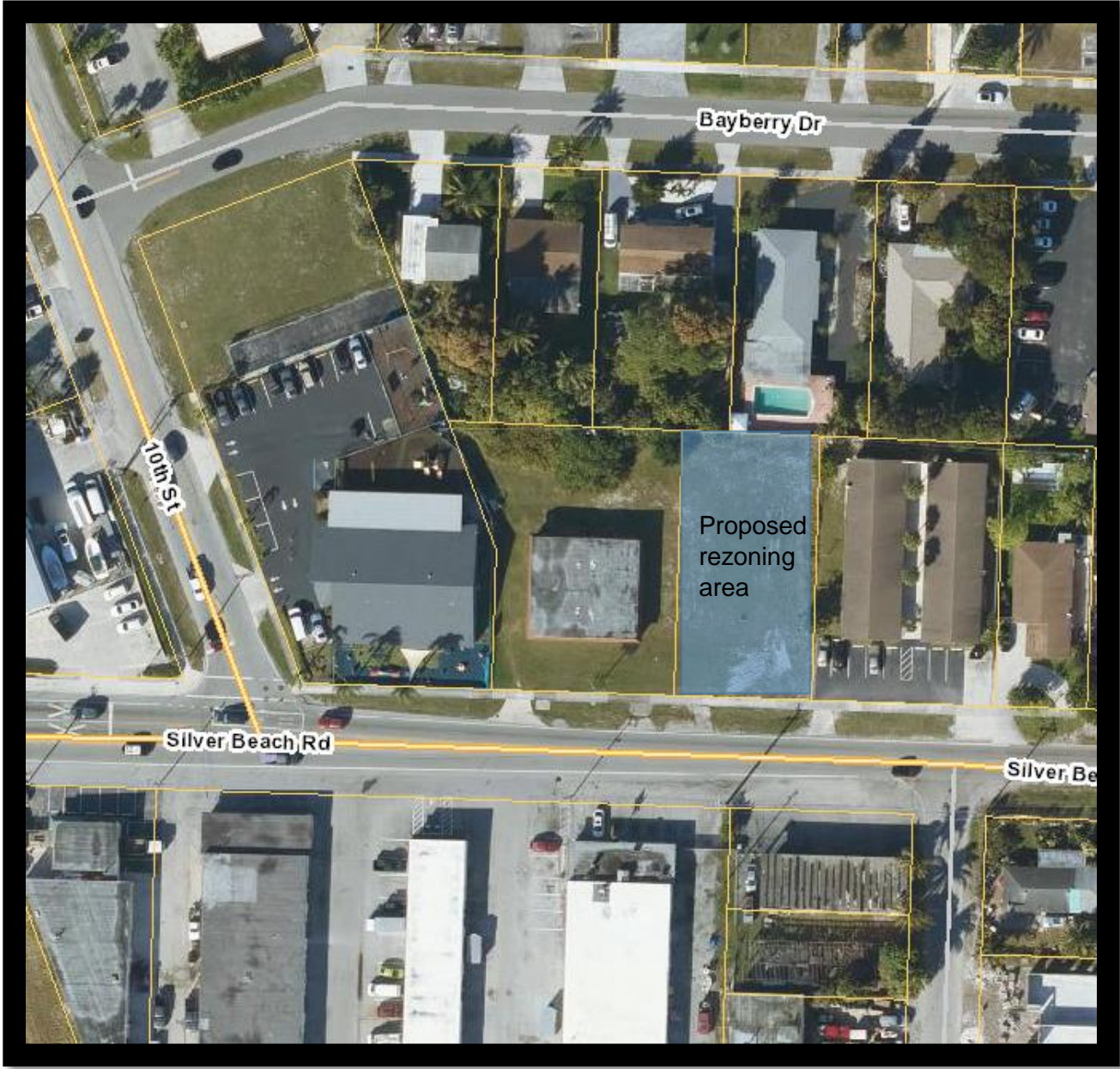
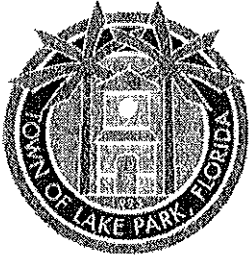


Exhibit A – Parcel with Change in Zoning by property control number

Parcel being rezoned from R-2 to C-2:

Parcel 1: 36-43-42-20-01-048-0300

Total: 1 Parcel



The Town of Lake Park

TOWN OF LAKE PARK APPLICATION FOR REZONING

Please note: The process to rezone property and associated informational requirements are governed by the Town of Lake Park Code of Ordinances, Chapter 32 - Rezoning and Chapter 33 - Land Development Regulations and provisions of other chapters in the Code. It is suggested that applicants schedule a meeting with the Town of Lake Park Community Development Director to discuss the information needed.

DATE Received by Town of Lake Park: _____

This application must be completed and returned with all required enclosures to be accepted by the Town Commission of the Town of Lake Park. The application will then be referred to the Town Planning and Zoning Board and the Town Staff for study and recommendations.

(Please Print)

Name of Applicant Dr. Pierre Michel

Name of Agent (if applicable): _____

(Required to attach Town of Lake Park Agent Authorization Form)

Mailing Address 5030 Sabrelane Terrace

(This is the address to which all letters, agendas and other materials will be sent)

City Lake Worth State FL Zip Code 33463

Telephone (561) 289-6414 Fax () _____

Legal description of property covered by petition

Lot 30-32 Block 48 Plat _____ (Attach separate sheet if necessary)

Property I. D. No. 36-43-42-20-01-048-0170, 36-43-42-20-01-048-0270, 36-43-42-20-01-048-0300

GENERAL INFORMATION ABOUT PROPERTY AND REQUEST

1. Size of property (square feet or acreage): 1.385 acres
2. Highway and street boundaries or address: Tenth Street
Silver Beach Road
3. Existing Comprehensive Plan Land Use classification: Commercial
4. Existing Zoning District classification: R2
5. Requested Zoning District classification: C2 - Business District
6. Describe any structures or uses currently located on the property:
There is currently an existing 5,134 SF daycare and a 3,186 SF vacant building on site.

THE INFORMATION/ENCLOSURES LISTED ON THE FOLLOWING PAGE(S) MUST BE

SUBMITTED IN CONJUNCTION WITH THIS APPLICATION.

7. Specific Information on Requested Zoning Change:

- Map showing property subject to this application.
- List of names and mailing addresses of property owners within 300 feet of the property subject to this application
- Notarized affidavit of owner authorizing applicant to act as his/her agent to submit application for Rezoning
- Ten (10) copies of Site Plan(s), if applicable
- Building plans of structures to be erected
- Certified survey of property
- Tentative Sub-Division Plat

8. Applicant's statement of explanation, needs and reasons for the requested rezoning:
Michel Invest LLC., as owner, requests a zoning district amendment for lots 30 thru 32, block 48, plat of Kelsey City, Lake Park, Florida. The property is located at the northeast corner of Tenth Street and Silver Beach Road and is comprised of an existing day care building to remain and the vacant existing daycare building which will be demolished and a new daycare building will be constructed per the site plan.

9. Applicant's Response to the Following: (Attach additional sheets as necessary.)

a. That the requested change would be consistent with the land use plan and would not have an adverse effect on the comprehensive plan;

The proposed rezoning is to rezone the one parcel zoned R-2 to C-2 to allow for the development of our proposed site plan and make the existing zoning of this R-2 parcel consistent with the Commercial underlying future land use category

b. That the requested change is consistent with the existing land use pattern;

The proposed land use of commercial will result in the properties being consistent with the commercial use of properties to the west (across Tenth St.) and to the south (across Silver Beach Road).

c. That the requested change will not result in increase or overtaxing of public facilities (schools, streets, utilities, etc.). Acceptable documentation may include, but not be limited to, traffic impact studies, concurrency reviews, letters from service providers indicating the availability of capacity, etc.

The requested land use change does not adversely effect public facilities since it represents a form of corrective change to the actual use of the property from a medium density residential to the low use commercial of a child care facility. This change will result in a lessening of public school children, a lessening of utility use a minimal traffic impact.

d. That the requested change will not adversely impact public safety:

The requested change from medium density residential to commercial has minimal impact on and will not adversely effect public safety. The property is currently improved and utilized and does not require the expansion or extension of public safety services.

- e. That the requested change will not adversely impact living conditions in the neighborhood or other surrounding areas;

The requested change will not adversely impact living conditions on adjacent properties. - it will, in fact, provide a needed and close by child care facility to families in the area, eliminating long drives. The property will be maintained in a residential manner and will provide a 6' barrier wall along with an 8' landscape buffer along the residential side of our property. This will minimize any noise and other disturbances to the other neighboring properties.

- f. That there are substantial reasons why the property cannot be used in accord with existing zoning (explain the reasons);

The current land use category allows residential uses, which, by zoning, permits child care use. However the land use designation does not allow any commercial use in residential areas. This conflict prevents the child care use allowed under r-2 zoning. The rezoning to will create consistency with the underlying Commercial future land use so that the appli special exception request for educational facility can move forward for consideration.

- g. Whether or not the requested change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

No special privilege will be granted

FOR ADMINISTRATIVE USE ONLY:

Application and filing fee of \$250.00 received by Town Clerk on 9/17/2025

Mailing labels for all property owners within 300 feet of subject property supplied to applicant on 4/24/2026.

Applicant informed that he/she is responsible for cost of legal publication as required herein or he/she is to be taken off the agenda on Yes

STAFF RECOMMENDATION: APPROVAL DENIAL

PLANNING AND ZONING BOARD RECOMMENDATION:
 APPROVAL DENIAL

AV 5/14/2026

D:\Application Forms\rezone.frm

PUBLIC NOTICE TOWN OF LAKE PARK NOTICE OF PUBLIC HEARINGS

BE ADVISED THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONDUCT A PUBLIC MEETING AT 535 PARK AVENUE TO CONSIDER THE AGENDA ITEMS LISTED BELOW ON MONDAY, JUNE 1 AT 6:30 PM, OR AS SOON THEREAFTER AS CAN BE HEARD FOR AGENDA ITEMS 1 AND 2. A QUORUM OF THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

THE TOWN COMMISSION WILL ALSO CONDUCT A QUASI-JUDICIAL MEETING AT 535 PARK AVENUE, LAKE PARK, TO CONSIDER THE AGENDA ITEM 1 AND FINAL ADOPTION OF AGENDA ITEM 2 ON WEDNESDAY, JUNE 17, 2026 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD (the 1st reading of Agenda Item 2 will be considered by the Town Commission on June 3, 2026 at 6:30 PM, same location as described above). (DATES SUBJECT TO CHANGE, PLEASE MONITOR WWW.LAKEPARKFLORIDA.GOV FOR ANY CHANGES, OR CALL 561-881-3320). A QUORUM OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

Agenda Item 1:

On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting site plan and special exception approval for a one-story 7,424 SF educational facility. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-2 commercial district. **Meeting Dates: June 1, 2026 (P&Z Board) and June 17, 2026 (Town Commission for final approval) - see additional details above.**

The subject property is located east of 10th Street and north of Silver Beach Road in the Town of Lake Park. It is comprised of the following parcels, totaling 1.385 acers.

- 36-43-42-20-01-048-0170
- 36-43-42-20-01-048-0270
- 36-43-42-20-01-048-0300 (*subject to Rezoning – see Agenda Item 2 below*)

Agenda Item 2:

Ordinance Title:

“AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA REZONING A PARCEL OF REAL PROPERTY AS SHOWN IN FIGURE 1 AND HAVING THE PARCEL CONTROL NUMBER AS LISTED IN EXHIBIT "A" FROM RESIDENTIAL (R-2) TO COMMERCIAL (C-2); PROVIDING FOR AN AMENDMENT TO THE OFFICIAL ZONING MAP TO REFLECT THE REZONING TO C-2; AND PROVIDING FOR AN EFFECTIVE DATE.”

On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting a rezoning of .25 acres from residence district (R-2) to business district (C-2). The proposed rezoning is consistent with the Town of Lake Park’s adopted regulations for rezonings. **Meeting Dates: June 1, 2026 (P&Z Board) and June 3, 2026 (Town Commission 1st reading) and June 17, 2026 (Town Commission 2nd reading for adoption) - see additional details above.**

The subject property is located east of 10th Street and north of Silver Beach Road in the Town of Lake Park Item 2.
comprised of the following parcel, totaling .25 acres.

- 36-43-42-20-01-048-0300 *(subject to Rezoning – see Agenda Item 2 below)*

Records related to these items may be inspected by contacting the Community Development Department at 561-881-3320, or by emailing Anders Viane at aviane@lakeparkflorida.gov. If a person decides to appeal any decision made by the Planning and Zoning Board or Town Commission with respect to any hearing, they will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. For additional information, please contact Vivian Mendez, Town Clerk at 561-881-3311.

Town Clerk: Vivian Mendez

PUB: The Palm Beach Post – Friday, May 22, 2026



Town of Lake Park Business Impact Estimate Form

*This Business Impact Estimate Form is provided in accordance with **Section 166.041(4), Florida Statutes** and must be **included in the agenda item backup for each proposed ordinance on first reading. A Business Impact Estimate Form must be prepared and posted on the Town’s website** for each ordinance by the date that the notice of the proposed ordinance is published, regardless of whether the ordinance is exempted under Section A below. This Business Impact Estimate Form may be revised following its initial posting.*

Title of Proposed Ordinance

AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA REZONING A PARCEL OF REAL PROPERTY AS SHOWN IN FIGURE 1 AND HAVING THE PARCEL CONTROL NUMBER AS LISTED IN EXHIBIT "A" FROM RESIDENTIAL (R-2) TO COMMERCIAL (C-2); PROVIDING FOR AN AMENDMENT TO THE OFFICIAL ZONING MAP TO REFLECT THE REZONING TO C-2; AND PROVIDING FOR AN EFFECTIVE DATE

Section A

Based on a review of the proposed ordinance (choose one):

- _____ The Town has determined that the statutory exemption(s) identified below apply to the proposed ordinance and no Business Impact Estimate is required.
- _____ The Town has determined that the statutory exemption(s) identified below apply to the proposed ordinance; however, the Town has prepared the Business Impact Estimate as a courtesy and to avoid any procedural issues that could impact the enactment of the proposed ordinance.
- _____ The Town has prepared a Business Impact Estimate pursuant to section 166.041(4), Florida Statutes.

Exemptions

If one or more boxes are checked below, this means that the Town has determined that a Business Impact Estimate is not required by state law for the proposed ordinance:

- The proposed ordinance is required for compliance with Federal or State law or regulation;
- The proposed ordinance relates to the issuance or refinancing of debt;
- The proposed ordinance relates to the adoption of budgets or budget amendments, including revenue sources necessary to fund the budget;
- The proposed ordinance is required to implement a contract or an agreement, including, but not limited to, any Federal, State, local, or private grant or other financial assistance accepted by the municipal government;
- The proposed ordinance is an emergency ordinance;
- The ordinance relates to procurement; or
- X** The proposed ordinance is enacted to implement one of the following:
 - a. Development orders and development permits, as those terms are defined in s. 163.3164, F.S., and development agreements as authorized by the Florida Local Government Development Agreement Act (ss. 163.3220-163.3243, FS);
 - b. Comprehensive plan amendments and land development regulation amendments initiated by an application by a private party other than the municipality.
 - c. Sections 190.005 and 190.046, Florida Statutes, regarding community development districts;
 - d. Section 553.73, Florida Statutes, relating to the Florida Building Code; Section 633.202, Florida Statutes, relating to the Florida Fire Prevention Code.

*If an exemption in Section A is applicable, then only Section A needs to be completed.
If there is no exemption in Section A, Section B must be completed.*

Section B

This section with the business impact estimate must be completed if the proposed ordinance does not meet any of the exemptions in Section A.

1. A summary of the proposed ordinance which must include a statement of the public purpose (e.g., public health, safety, morals and welfare).

N/A

2. An estimate of the direct economic impact of the proposed ordinance on private, for-profit businesses in the Town, if any:

- a) An estimate of direct compliance costs that businesses may reasonably incur.

N/A

- b) Any new charge or fee on businesses subject to the proposed ordinance, or for which businesses will be financially responsible; and

N/A

3. An estimate of the Town's regulatory costs, including an estimate of revenues from any new charges or fees to cover such costs.

N/A

4. Good faith estimate of the number of businesses likely to be impacted by the proposed ordinance:

N/A

5. Additional information/methodology for preparation, if any:

N/A

Prepared by:

____Anders Viane, Town Planner____ 5/26/2026____

Print name and title Date

AV

Signature

Copy Uploaded to the Web on _____with packet_____ Initials____AV____



**TOWN LAKE OF PARK
PLANNING AND ZONING BOARD
MEETING DATE: June 1, 2026
PZ 26-09**

APPLICATION: Twiggs Academy

AGENDA ITEM TITLE: PZ 26-09: On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting site plan and special exception use approval for a one-story 7,424 SF educational facility. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-2 commercial district.

Additionally: The Applicant is also requesting a rezoning of 0.25 acres from residence district (R-2) to business district (C-2) for parcel 36-43-42-20-01-048-0300. This application is presented under separate cover.

Questions? Comments? Concerns? Please call 561-881-3320 (EXT 320) or email aviane@lakeparkflorida.gov for clarity and context ahead of the meeting, as needed.

STAFF REPORT

BACKGROUND:

Owner & Applicant(s):	Michel Invest LLC
Agent and Consultant:	Atlantic Engineering Services
Location:	36-43-42-20-01-048-0170, 36-43-42-20-01-048-0270, 36-43-42-20-01-048-0300
Net Acreage (total):	1.385 acres
Legal Description:	See survey enclosed in packet.
Existing Zoning:	C-2 and R-2
Proposed Zoning:	C-2
Future Land Use:	Commercial

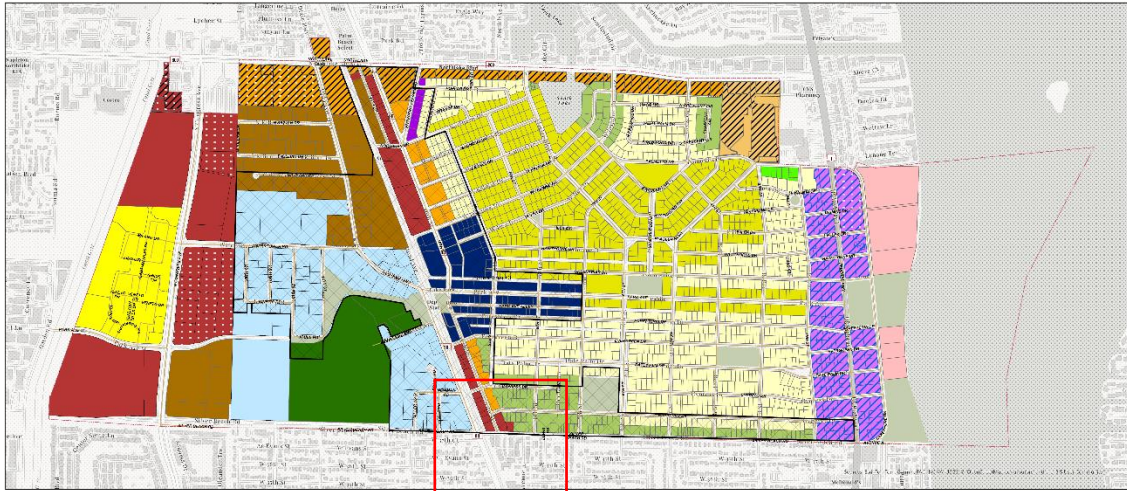
Figure 1: Aerial View of Site (image not to scale; for visual purposes only)



LAKE PARK ZONING MAP

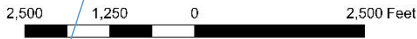


Town of Lake Park Zoning Map



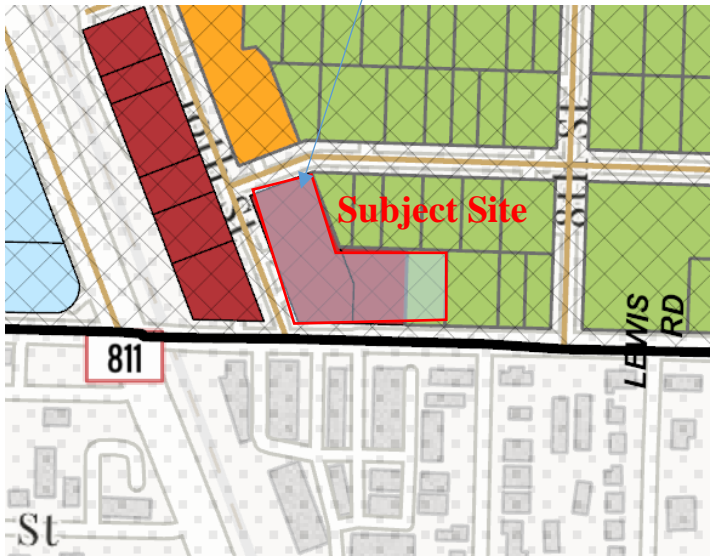
	NADP Overlay		PLA DISTRICT		C-2C CAMPUS LIGHT INDUSTRIAL & COMMERCIAL CONCENTRATION		R-1A SINGLE FAMILY RESIDENCE DISTRICT
	PLA Overlay		C-1 BUSINESS DISTRICT		INDUSTRIAL		R-1B RESIDENCE DISTRICT
	Urban Boundary		C-1B LIMITED-BUSINESS COMMERCIAL DISTRICT		INDUSTRIAL		R-2 TWO-FAMILY RESIDENCE DISTRICT
	Urban Boundary		C-2 BUSINESS DISTRICT		INDUSTRIAL		R-2A FLEXIBLE FAMILY RESIDENCE DISTRICT
	Urban Boundary		C-3 TOWN CENTER MIXED USE DISTRICT		INDUSTRIAL		T-2 ECONOMIC DEVELOPMENT
	Urban Boundary		C-4 BUSINESS DISTRICT		INDUSTRIAL		U-2 OFFICE
	Urban Boundary		C-4B BUSINESS DISTRICT		INDUSTRIAL		U-3 SMALL FAMILY RESIDENCE DISTRICT

Anders Viane - Planner
 Community Development Department
 Town of Lake Park
 535 Park Avenue, Lake Park FL 33403
 561-881-3320 (ext 320)
 aviane@lakeparkflorida.gov



Date: 3/18/2026

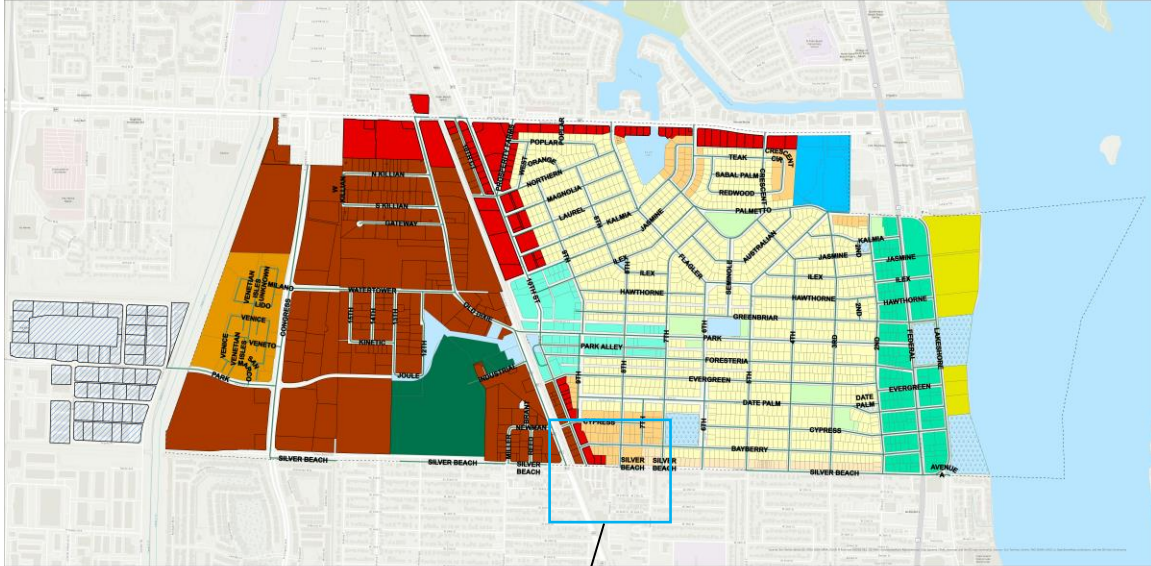
Adjacent Zoning:
 North: R-2
 South: IL – Limited Industrial (Riviera Beach)
 East: R-2
 West: C-2



LAKE PARK FUTURE LAND USE MAP



**Town of Lake Park Future Land Use (FLU) Map
2017-2027**

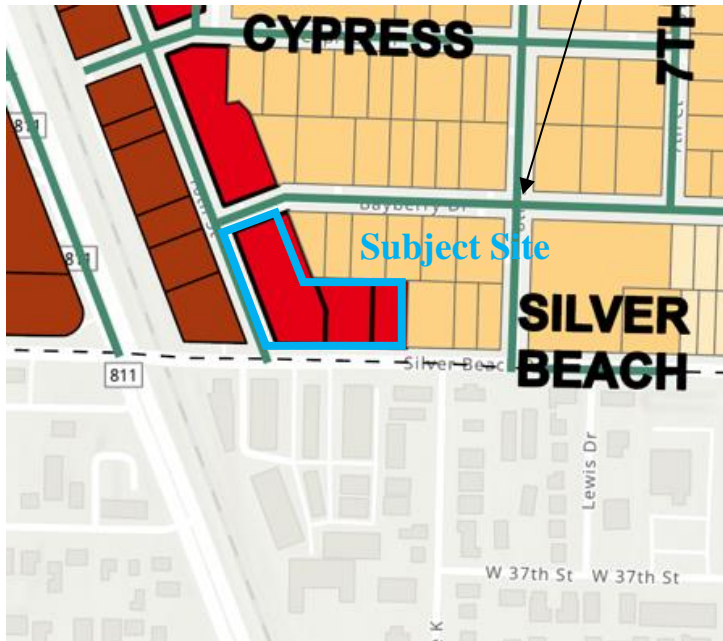


- Legend**
- Town Boundary
 - Town Parks
 - FLU Categories**
 - COMMERCIAL
 - CONSERVATION
 - DOWNTOWN
 - FEDERAL HIGHWAY MIXED USE DISTRICT
 - MIXED COMMERCIAL AND LIGHT INDUSTRIAL
 - MIXED RESIDENTIAL AND COMMERCIAL
 - OTHER PUBLIC FACILITIES
 - PUBLIC BUILDINGS & GROUNDS
 - RESIDENTIAL HIGH DENSITY
 - RESIDENTIAL LOW DENSITY
 - RESIDENTIAL MEDIUM DENSITY
 - SINGLE-FAMILY RESIDENTIAL
 - TWIN CITIES MIXED USE
 - Future Annexation Area
 - Lake Park Streets

Community Development Department
 Town of Lake Park
 535 Park Avenue, Lake Park FL 33403
 Anders Viane - Planner
 561-881-3320 (ext. 320)
 aviane@lakeparkflorida.gov
 Nadia DiTommaso - Director
 561-881-3319
 nditommaso@lakeparkflorida.gov



0 0.25 0.5 1 Miles



Adjacent Existing Land Use
 North: Commercial / Residential Medium Intensity
 South: Single Family Residential: Up to 6 dwelling units per acre (Riviera Beach)
 East: Residential Medium Intensity
 West: Mixed Commercial and Light Industrial

PART I: SITE PLAN APPLICATION

The Site Plan for Twiggs Academy has been reviewed by the Town’s consulting Engineers, Landscape Architect, along with the Palm Beach County Traffic Division, Palm Beach County Fire Rescue, Seacoast Utility Authority, Palm Beach County Sheriff’s Office (PBSO) for Crime Prevention Through Environmental Design (CPTED), Lake Park Public Works Staff, Lake Park Community Development Department Staff, and the Palm Beach County Department of Housing and Economic Development. Based upon this exhaustive review, Town Staff finds that the Site Plan meets the Town’s Comprehensive Plan and the Land Development Regulations of the Town Code.

****This project has been noticed by certified mail to property owners within 300 feet and with an advertisement in the Palm Beach Post – all completed on May 22, 2026****

SITE PLAN PROJECT DETAILS

Comprehensive Plan: The proposal is consistent with the goals, objectives and policies of the Town’s Comprehensive Plan. Most importantly:

- ➔ **Objective 5:** *As a substantially built-out community in an urbanized area, the Town shall promote redevelopment and infill development in a manner that is considerate to existing neighborhoods and uses, the built and natural environments, and neighboring jurisdictions.*
- ➔ **Future Land Use Element, Policy 5.2:** *The Town shall foster the redevelopment of declining neighborhoods, underutilized parcels, and areas that demonstrate substandard and/or slum and blight conditions.*
- ➔ **Policy 5.6:** *The Town, through its Land Development Regulations, shall require mitigation for landscaping off-site if development or redevelopment is unable to meet landscaping requirements on-site.*
- ➔ **Future Land Use Classification 3.4.3 – Commercial:** *Lands and structures devoted primarily to the delivery, sale or otherwise transfer of goods or services on a retail basis, with a maximum F.A.R. of 2.0. This category also includes personal and professional services. Public schools are a permitted use within this land use designation.*

Zoning: As noted in the introduction, the Applicant has concurrently requested a rezoning of 1 of the 3 subject parcels within their development site from R-2 to C-2, which is briefly summarized under Part III of this report and more fully detailed in the Rezoning Staff Report. Staff supports the Applicant’s rezoning request and accordingly the proposed project has been reviewed based on

standards of the C-2 District, including purpose and intent, setbacks, maximum lot coverage, and use. Please note the use of “educational facility” under which the applicant is classified is subject to special exception, which is detailed under Part II of this report. Additionally, this project was reviewed for consistency with all applicable supplemental zoning regulations for parking, loading, screening, and site design. Staff found that the development proposal meets both the standards of the proposed C-2 zoning as well as our supplemental zoning standards.

Architecture: The project’s architecture complies with the Town’s standards for nonresidential architectural design detailed under Chapter 78, Article XII. Reviews by Town Staff find the proposal to comply with the standards set forth for building articulation, façade paint colors, material variation, and decorative features. Of note with this project, the existing Twiggs Daycare facility will be repainted to match the color scheme of the new building.

Building Site: The total impervious area for the project is 41,743 SF (69.2%) and the pervious area is 18,596 SF (30.8%). The development proposal consists of a one-story building with 7,424 SF of ground floor area; this will be in addition to the existing Twiggs Academy building, which will remain and totals 5,134 SF. In sum, both buildings will result in 12,558 SF of built coverage.

Site Access and Roadways: Staff has worked with the applicant extensively on matters of site circulation and access points. The applicant has undertaken several redesigns to ensure consistent traffic flows into and within the site. These included: consolidating drop-off parking in front of the new building, constructing a pedestrian pathway connecting the parking area to the north to the entrance of the new building, and a channelized curb cut on Silver Beach. Additionally, the Silver Beach driveway will be access-restricted by time of day during peak hours to minimize impacts on Silver Beach Road. The entry and exit gates will be closed from 7AM to 9AM and 4PM to 6PM and a parking space will be reserved during that time exclusively for the purposes of a turnaround space so drivers may circulate through the site and exit on 10th Street or Bayberry Drive. This will need to be included as a condition of approval.

Traffic Concurrency: See above site access and roadways section. The Applicant has received Traffic Performance Standard (TPS) concurrency approval from Palm Beach County’s Traffic Division on April 18.

The project was also reviewed for traffic impacts by the Town’s consulting engineer at Traffic Mobility Consultants (TMC). Staff discussed traffic and the aforementioned site circulation considerations with TMC consultants. TMC provided their approval April 28. A copy of their approval has been included in the packet.

Landscaping: The proposed landscaping plans have been deemed code compliant by the Town’s consulting Landscape Architect (JMorton). Of note, this redevelopment project is utilizing the provisions of 78-253 (a) (4), which reads: “Where redevelopment projects are unable to meet the landscape or open space requirements as stated in this section, required landscaping may be transferred to other lands (i.e., public lands, parks, road rights-of-way) **or an assessment can be levied by the town commission.** The assessment shall be based on the share of the landscape budget that cannot be installed on the site. The assessment shall be calculated at a rate equal to two times the total caliper of plants required. Monies collected shall be used for landscaping public lands.”

The Town's consultant, J Morton Landscape Architects, performed this calculation based on the required landscaping that the applicant is proposing to mitigate. The mitigation calculation from the LA provided is:

“The proposed landscape plan is deficient in providing trees for the north perimeter buffer, a portion of the Silver Reach Road right-of-way, and a portion of the interior parking area shade tree requirements. The number of deficient trees is 15 at the minimum required caliper at DBH of 3”.

Total caliper calculation is $(2(15)(3\text{” Cal.})) = 90\text{”}$, or 30 trees at the minimum 3” caliper.

The total assessment is $(30(\$813)) = \$24,390.00$

The unit tree price is based on a current local market average price as found in the Plant Finder data base, multiplied by a constant of 2.5 to determine the installed cost for one tree.”

Based on preliminary discussions with the Public Works Department, it is recommended the Commission request mitigation Funds. The Finance Director has confirmed we have an account set up to receive and disperse these monies for landscape project purposes throughout the Town. The expenditure of these monies may also be a subject for a future Tree Board meeting. This will need to be included as a condition of approval.

Paving, Grading and Drainage: The Town's consulting Engineers and the Public Works Department have reviewed paving, grading, and drainage for this project and approved on April 28 and April 20, respectively.

Parking and Loading: This project meets the required parking based on the applicable parking code assignment of daycare (closest educational facility category based on proposal). The required parking for this category is: one space per 250 of ground floor area $12,558 / 250 (50)$ and five drop-off parking spaces (5) for a combined total of 55 required spaces. While this parking demand was the subject of much discussion throughout the site plan review, as the applicant struggled to meet it without being deficient in landscape buffers and minimum queuing onto the site, a solution was finally arrived at by utilizing the provisions for 78-253 (a) (4) for landscape mitigation as detailed above.

Signage: The applicant is proposing a new monument sign on Silver Beach Road. A full review of this project's signage will be conducted during the signage permitting review of the building permitting phase.

Water/Sewer: Seacoast Utility Authority reviewed these plans for compliance with their best practices and provided conditional approval on April 22, 2026.

Fire: PBC Fire Rescue reviewed the site plan and found it to be in compliance with PBC Fire Rescue best practices on April 22, 2026. An additional round of fire review will be conducted during the building permit phase per the typical permitting process.

Public Works: Provided approval for storm water on March 18th and sanitation location on April 20th.

CRA: Outgoing CRA Administrator Allison Justice provided comment on building colors and traffic prior to her resignation. No CRA funding is being considered for this project. The project, once completed, is intended to be tax exempt.

Palm Beach County Department of Housing and Economic Development(PBC DHED): Palm Beach County DHED staff and County administrative staff requested several meetings with the Community Development Department in an attempt to help facilitate the resolution of pending site plan comments. Community Development understands PBC DHED has monies obligated to assist in funding the Twiggs Daycare expansion.

PBSO: The Crime Prevention Through Environmental Design (CPTED) review was performed by D/S Adam Pozsonyi and D/S Eric Van Hoosier at the Palm Beach County Sheriff’s Office. CPTED review produced several recommendations, including:

- Increased lighting levels recommended in parking areas.
- Revising the landscape plan to favor lighting,
- Installing anti-vehicle bollards at the 10th and Silver Beach intersection.
- Security lighting in the playgrounds (though these will not operate after hours).

A high-definition security camera surveillance condition of approval (which is standard) is also being recommended.

PART II: SPECIAL EXCEPTION REQUEST

As it pertains to the special exception request, these are evaluated using the criteria of 78-184 (b). The evaluation criteria are identified below along with the applicant’s responses.

(1) The proposed special exception use is consistent with the goals, objectives, and policies of the town's comprehensive plan.

Applicant Response: “The proposed special exception is consistent with the Commercial FLU and comprehensive plan.”

Staff Evaluation: We are in agreement. Relevant comprehensive plan objectives are identified under Part I, Site Plan Project Details. The underlying Commercial FLU aligns with the proposal and the application is consistent with comprehensive plan objectives related to redevelopment and mitigation.

(2) The proposed special exception is consistent with the land development and zoning regulations and all other portions of this Code.

Applicant Response: “The project has been designed to meet all applicable zoning and land development standards, including setbacks, parking, circulation, landscaping, and buffering. The use is compatible with the residential character of the district by providing a community-serving function with minimum impact on surrounding properties, and all operational elements such as

traffic, noise, and outdoor play areas, will comply with the Town's performance and safety requirements."

Staff Evaluation: Again, staff is in agreement. Landscaping is as detailed in the Landscape Architect's comments under Part I due to site constraints, but mitigation is proposed consistent with the methodology prescribed in the landscape code, the comprehensive plan, and evaluated by the Town's Landscape Architect.

(3) The proposed special exception use is compatible with the character and use (existing and future) of the surrounding properties in its function; hours of operation; type and amount of traffic to be generated; building location, mass, height and setback; and other relevant factors peculiar to the proposed special exception use and the surrounding property.

Applicant Response: "The proposed daycare special exception is compatible with the surrounding residential properties because it provides a low-intensity, neighborhood-serving use that fits the character of the [adjacent] R-2 district. The facility will operate during typical daytime hours (6:30 AM to 7PM) and traffic will be limited to short, staggered drop-off and pick-up periods that will not impact nearby streets. The buildings location, mass, height and setbacks comply with the C-2 requirements and the site layout including parking, circulation, and outdoor play areas has been designed to ensure safety minimize noise and maintain appropriate buffering. Together, these elements ensure the use integrates smoothly with both existing and future surrounding development."

Staff Evaluation: We are generally in agreement. Staff and consultants worked with the applicant to minimize impacts by proposing restricted access on Silver Beach, staggered pick-up and drop-off times, the safe and logical placement of drop-off spaces adjacent to the new building, the installation of concrete walls and landscaping to buffer the property to the north and east. Just short of a complete redesign, which we were informed is not possible, accommodated options are being proposed.

(4) The establishment of the proposed special exception use in the identified location does not create a concentration or proliferation of the same or similar type of special exception use, which may be deemed detrimental to the development or redevelopment of the area in which the special exception use is proposed to be developed.

Applicant Response: We have assessed the concentration of similar daycare centers in the vicinity of the subject property and determined that granting this special exception will not result in an over-saturation of clustering that would be detrimental to area character or development potential. A review of the Lake Park zoning map and a survey of existing daycare facilities shows few, if any, comparable day cares within a reasonable walk/driving radius. This project fills a local need for community-serving childcare without duplicating an existing concentration of such uses. Furthermore, the site and design have been carefully laid out to minimize neighborhood impacts, including thoughtful buffering, limited traffic peak overlap and adherence to all Town development standards.

Staff Evaluation: We are generally in agreement. Staff notes there does exist several other facilities within a half-mile radius including First Learning Academy, Every Little Step Academy, and Bright Futures Child Development Center, though the applicant maintains their curriculum and educational offerings are sufficiently different from these other similar businesses. These facilities are spaced at about one per block along 10th Street going north to Park Avenue. The expansion of the Twiggs Daycare facility will mean some additional competition for these businesses, but this will be balanced against the new service demand added by residents from the Nautilus 220 development and the Northlake Promenade Apartments. The Applicant also received funding agreements based on the need in the area.

(5) The proposed special exception use does not have a detrimental impact on surrounding properties based on:

- a. The number of persons anticipated to be using, residing, or working on the property as a result of the special exception use;
- b. The degree of noise, odor, visual, or other potential nuisance factors generated by the special exception use; and
- c. The effect on the amount and flow of traffic within the vicinity of the proposed special exception use.

Applicant Response: “The daycare will accommodate a limited number of children and staff consistent with the scale of the building and site, ensuring that the number of persons on the property will not overwhelm the surrounding neighborhood. Any noise, visual, or other potential nuisance factors are minimized by the building’s orientation, landscaping buffers and the location of outdoor play areas, which are set back from adjacent properties. The use does not generate odors or other disruptive effects, and all operations are designed to be compatible with the residential character of the surrounding area.”

Staff Evaluation: We are in agreement. The applicant anticipates a total of 135 students with the new addition buildout and 12 employees. Operationally, the majority of these students will be dropped-off in the parking area and escorted into the building through the site.

Noise specifically was addressed during review and the applicant states outdoor noise will be monitored by supervisory staff; the applicant further stated: “THE BUILDING IS A CBS BUILDING WITH 1/2 INCH DRYWALL. ALL THE WINDOWS ARE FIXED IMPACT WINDOWS AND ACCOUSTICAL CEILINGS THROUGHOUT. THIS WILL MINIMIZE THE NOISE FROM INDOORS.” Additionally, the 6’ concrete wall and landscape buffers should help reduce noise to the north and eastern residential properties.

Traffic flow will be controlled by restricting entrance and exit access along Silver Beach Road during peak hours, staggered pick-up and drop-off times for students to avoid an overconcentration of traffic on site at one time, and the promotion of carpooling in educational materials to parents.

- (6) That the proposed special exception use:
- a. Does not significantly reduce light and air to adjacent properties.

- b. Does not adversely affect property values in adjacent areas.
- c. Would not be a deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations.
- d. Does not negatively impact adjacent natural systems or public facilities, including parks and open spaces.
- e. Provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.

Applicant Response: (a) the proposed daycare is a single-story building with appropriate setbacks, ensuring it does not significantly reduce light or air to adjacent properties. (b) The use is compatible with the surrounding residential neighborhood and is designed to maintain the aesthetic and functional character of the area so it is not expect to adversely affect property values. (c) The project supports neighborhood-serving uses without creating conflicts and its scale and design would not deter improvement, development, or redevelopment of surrounding properties in accordance with existing regulations. (d) the site design preserves existing landscaping and storm water systems and does not impact natural systems or public facilities including nearby parks and open spaces. (e) The project provides pedestrian amenities consistent with the Town standards, including designated walkways, trash receptacles and bicycle parking to support safe and convenient pedestrian access.”

Staff Evaluation: The proposal, by virtue of its proposed northern wall and eastern wall and new structure, will result in some reduction of airflow to adjacent properties, but not at a level we would deem significant given the wall will be 6’, which is a permitted wall height in residential districts, and the structure will not exceed one story and complies with setbacks. It is staff’s intent that this wall will buffer adjacent properties and not have adverse impacts as described under (b). We find no evidence to suggest a conflict with criteria (c) or (d), given the project will create new playgrounds for Twiggs Academy students. The project does provide required pedestrian facilities per (e) and provides an adequate internal site circulation sidewalk network. However, staff believes it would be beneficial to increase safe pedestrian connections and permeability through the site from Bayberry and 10th Street and asks this be examined, though it may require further reducing landscape buffers.

PART III: REZONING REQUEST
(under separate cover – details provided here for context)

On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting a rezoning of 0.25 acres from residence district (R-2) to business district (C-2) as depicted on Map 1 below. The proposed rezoning is consistent with the Town of Lake Park’s adopted regulations for rezonings and is actually required in order to render the zoning district consistent with the land use designation of commercial that is already in place. Currently, the zoning is inconsistent with the land use and requires updating.

This proposed rezoning accompanies the request for site plan and special exception approval for the Twiggs one-story, 7,424 SF childcare/educational facility. The overall development site is again depicted in Map 2 and Figure 1 above and consists of 3 parcels in total. The rezoning would serve to expand the C-2 from along 10th Street to incorporate one additional

parcel along Silver Beach, allowing for the unified redevelopment of the site as a childcare/educational facility under the regulations of the C-2 district.

The Zoning Map above contextualizes the rezoning relative to our other zoning districts. As proposed, the rezoning would not create “spot” zoning, with the C-2 district remaining contiguous. Additionally, as depicted in the FLU Map, the underlying future land use designation for the proposed rezoning parcel is already Commercial. Hence the rezoning request is consistent with the underlying FLU and is required despite the outcome of the site plan and special exception use application under separate cover.

In our review of the rezoning, staff found the proposal to meet our administrative review criteria for rezoning and is recommending **approval**. More information on the rezoning is available in the full rezoning staff report.

Map 1: Proposed Rezoning Area.



Map 2: Overall Redevelopment Site



PART IV: STAFF RECOMMENDATION

Staff recommends **APPROVAL** of the Site Plan and Special Exception requests with the following standard conditions of approval:

1. The Applicant shall develop the Site consistent with the following Plans (include plan references available with the packet, with final sign and seal dates, for Town Commission meeting)
2. Construction on the Site is permitted only between the hours of 7:00 a.m. and 7:00 p.m., Monday through Saturday, except holidays, unless an exception is approved in writing by the Community Development Director (the Director).
3. Any proposed disruption to neighboring street access, surrounding parking areas, or the normal flow of traffic within the rights of way of Silver Beach Road, 10th Street, Bayberry Drive, or any other right-of-way during the construction on the Site shall be subject to the review and approval of the Director and/or any other agencies responsible for maintaining these roadways. Should any disruption to the normal flow of traffic occur during construction on the Site shall cease until the Director has provided the Owner with a written notice to proceed.
4. All landscaping shown on the approved Site Plan and the Landscaping Plan shall be continuously maintained from the date of its installation and the issuance of the Certificate of Occupancy by the Town. The Owner shall replace any and all dead

or dying landscaping materials so as to maintain the quantity and quality of the landscaping shown on the approved Site Plan and Landscaping Plan.

5. The Owner shall ensure that all contractors use best management practices to reduce airborne dust and particulates during the construction on the Site.
6. All onsite dumpsters and dumpster screening shall be kept closed at all times. Owner is not responsible for waste haulers leaving doors open temporarily on pick-up day. All required dumpsters shall be acquired from the approved franchise supplier for the Town.
7. Prior to issuance of the Certificate of Occupancy, the Agent shall provide certification from the Landscape Architect of record that the plant installations for the Site are in accordance with the approved Site Plan (and any minor modifications that are approved through permitting) and the Landscaping Plan or have been determined to be equivalent to those shown on the approved Site Plan by the Town's consulting landscape architect.
8. Prior to the issuance of any construction permits, the Agent shall submit copies of all permits that are required and have been obtained from any agencies having jurisdiction over the Site, including but not limited to the Palm Beach County Health Department, Palm Beach County Land Development Division, South Florida Water Management District and the State of Florida Department of Environmental Protection.
9. Any revisions to any approved plans associated with the development of the Site, shall be submitted to the Department, and shall be subject to its review and approval.
10. During the building permit phase, signage permitting (window, wall, freestanding, or other) for the Project shall be submitted through the Town's permitting process with a master sign plan that ensures signage consistency in design and color scheme of the signs to be located on the Site. A sign package illustrating all signs and their colors shall be submitted to the Department through the regular signage permitting process and shall be subject to its review and approval prior to their placement on the Site. Signage will be subject to final review at permitting and approval pursuant to the Codes in place when permits are applied for and reviewed.
11. Within 18 months of the effective date of this Resolution, the Owner shall initiate bona fide development and shall continue with the development of the Site until completed. Failure to do so shall during the 18 month time frame shall render the Development Order null and void.
12. Prior to the issuance of a Certificate of Occupancy or Completion, the Owner shall install high-definition surveillance cameras, which capture clear facial features throughout the parking areas of the Site and along the exterior façades of

the buildings on the Site. The location of the camera(s) shall be subject to the review and approval of the Department and the Palm Beach Sherriff's Office.

13. **Cost Recovery.** All professional consulting fees and costs, including legal fees incurred by the Town in reviewing the Application and in the preparation of this Resolution billed to the Owner shall be paid to the Town within 10 days of receipt of an invoice from the Town. The failure of the Owner to reimburse the Town within the 10 days from the Department's mailing of its invoice will result in the suspension of any further review of plans or building activities, and may result in the revocation of the approved Development Order. A Certificate of Occupancy will not be issued if invoices are outstanding.

*****final wording is subject to the Town Attorney's review prior to the Town Commission meeting*****

Additional conditions should include:

14. A condition for a tree fund contribution of \$24,390 as mitigation for Town Code required landscaping that cannot be accommodated onsite [enabled by Town Code Section 78-253(a)(4)] shall be paid to the Town prior to the issuance of the first construction permit for the Project.
15. Traffic condition: The Silver Beach driveway will be access-restricted by time of day during peak hours to minimize impacts on Silver Beach Road. The entry and exit gates will be closed from 7AM to 9AM and 4PM to 6PM and a parking space will be reserved during that time exclusively for the purposes of a turnaround space so drivers may circulate through the site and exit on 10th Street or Bayberry Drive.
16. Additional CPTED conditions based on recommendations:
- Increased lighting levels recommended in parking areas.
 - Revising the landscape plan to favor lighting,
 - Installing anti-vehicle bollards at the 10th and Silver Beach intersection.
 - Security lighting in the playgrounds (though these will not operate after hours).

****** Staff and Town consultants have worked extensively with the applicant on matters of site circulation, access points, design, parking, architecture, outdoor areas, pedestrian connections, and so on. Additional recommendations that may lead to conditions of approval will be added at the discretion of the Planning & Zoning Board and/or Town Commission pursuant to the public hearing process******



Notification of Public Meetings

5/22/2026

Dear Property Owner:

You are receiving this notice of public meetings because you are the legal owner of record for property that is located within 300 feet of the subject property discussed in this correspondence. The public meetings listed herein are being held to hear the applications described below the AGENDA ITEM portion of this letter.

Should you wish to attend the meetings or comment on the application please take note of the date, time, and the instructions for attending and commenting detailed below. If you do not wish to attend the meetings and do not have any comments, you may disregard this notice.

**PUBLIC NOTICE
TOWN OF LAKE PARK
NOTICE OF PUBLIC HEARING AND QUASI-JUDICIAL PUBLIC HEARINGS**

BE ADVISED THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONDUCT A PUBLIC MEETING AT 535 PARK AVENUE TO CONSIDER THE AGENDA ITEM LISTED BELOW ON MONDAY, JUNE 1 AT 6:30 PM, OR AS SOON THEREAFTER AS CAN BE HEARD. A QUORUM OF THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

THE TOWN COMMISSION WILL ALSO CONDUCT A QUASI-JUDICIAL MEETING AT 535 PARK AVENUE, LAKE PARK, TO CONSIDER THE AGENDA BELOW ON WEDNESDAY, JUNE 17, 2026 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD (DATES SUBJECT TO CHANGE, PLEASE MONITOR WWW.LAKEPARKFLORIDA.GOV FOR ANY CHANGES, OR CALL 561-881-3320). A QUORUM OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

AGENDA ITEM

On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting site plan and special exception approval for a one-story 7,424 SF educational facility. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-2 commercial district.

The subject property is located east of 10th Street and north of Silver Beach Road in the Town of Lake Park. It is comprised of the following parcels, totaling 1.385 acers.

- 36-43-42-20-01-048-0170
- 36-43-42-20-01-048-0270
- 36-43-42-20-01-048-0300

PUBLIC HEARINGS

MEETING: PLANNING AND ZONING BOARD
LOCATION: 535 PARK AVENUE, LAKE PARK, FL. 33403.
DATE: MONDAY, JUNE 1, 2026
TIME: 6:30 P.M., OR AS SOON THEREAFTER AS CAN BE HEARD

MEETING: TOWN COMMISSION (QUASI-JUDICIAL) – TENTATIVE, MAY CHANGE (SEE TOWN WEBSITE)
LOCATION: 535 PARK AVENUE, LAKE PARK, FL. 33403.
DATE: WEDNESDAY, JUNE 17, 2026
TIME: 6:30 P.M., OR AS SOON THEREAFTER AS CAN BE HEARD

LOCATION MAP



Records related to this item may be inspected by contacting the Community Development Department at 561-881-3320, or by emailing Anders Viane at aviane@lakeparkflorida.gov. If a person decides to appeal any decision made by the Planning and Zoning Board or Town Commission with respect to any hearing, they will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. For additional information, please contact Vivian Mendez, Town Clerk at 561-881-3311.

PUBLIC NOTICE

TOWN OF LAKE PARK

NOTICE OF PUBLIC HEARINGS

BE ADVISED THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONDUCT A PUBLIC MEETING AT 535 PARK AVENUE TO CONSIDER THE AGENDA ITEMS LISTED BELOW ON MONDAY, JUNE 1 AT 6:30 PM, OR AS SOON THEREAFTER AS CAN BE HEARD FOR AGENDA ITEMS 1 AND 2. A QUORUM OF THE PLANNING & ZONING BOARD OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

THE TOWN COMMISSION WILL ALSO CONDUCT A QUASI-JUDICIAL MEETING AT 535 PARK AVENUE, LAKE PARK, TO CONSIDER THE AGENDA ITEM 1 AND FINAL ADOPTION OF AGENDA ITEM 2 ON WEDNESDAY, JUNE 17, 2026 AT 6:30PM, OR AS SOON THEREAFTER AS CAN BE HEARD (the 1st reading of Agenda Item 2 will be considered by the Town Commission on June 3, 2026 at 6:30 PM, same location as described above). (DATES SUBJECT TO CHANGE, PLEASE MONITOR WWW.LAKEPARKFLORIDA.GOV FOR ANY CHANGES, OR CALL 561-881-3320). A QUORUM OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA WILL CONVENE AND PUBLIC PARTICIPATION WILL OCCUR IN-PERSON AT TOWN HALL.

Agenda Item 1:

On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting site plan and special exception approval for a one-story 7,424 SF educational facility. The proposed development is consistent with the Town of Lake Park’s adopted regulations for the C-2 commercial district. **Meeting Dates: June 1, 2026 (P&Z Board) and June 17, 2026 (Town Commission for final approval) - see additional details above.**

The subject property is located east of 10th Street and north of Silver Beach Road in the Town of Lake Park. It is comprised of the following parcels, totaling 1.385 acers.

- 36-43-42-20-01-048-0170
- 36-43-42-20-01-048-0270
- 36-43-42-20-01-048-0300 (*subject to Rezoning – see Agenda Item 2 below*)

Agenda Item 2:

Ordinance Title:

“AN ORDINANCE OF THE TOWN COMMISSION OF THE TOWN OF LAKE PARK, FLORIDA REZONING A PARCEL OF REAL PROPERTY AS SHOWN IN FIGURE 1 AND HAVING THE PARCEL CONTROL NUMBER AS LISTED IN EXHIBIT "A" FROM RESIDENTIAL (R-2) TO COMMERCIAL (C-2); PROVIDING FOR AN AMENDMENT TO THE OFFICIAL ZONING MAP TO REFLECT THE REZONING TO C-2; AND PROVIDING FOR AN EFFECTIVE DATE.”

On behalf of Michel Invest LLC (“Property Owner” and “Applicant”), Imtiaz Ahmed of Atlantic Engineering Services (“Agent”) is requesting a rezoning of .25 acres from residence district (R-2) to business district (C-2). The proposed rezoning is consistent with the Town of Lake Park’s adopted regulations for rezonings. **Meeting Dates: June 1, 2026 (P&Z Board) and June 3, 2026 (Town Commission 1st reading) and June 17, 2026 (Town Commission 2nd reading for adoption) - see additional details above.**

The subject property is located east of 10th Street and north of Silver Beach Road in the Town of Lake Park Item 3.
comprised of the following parcel, totaling .25 acres.

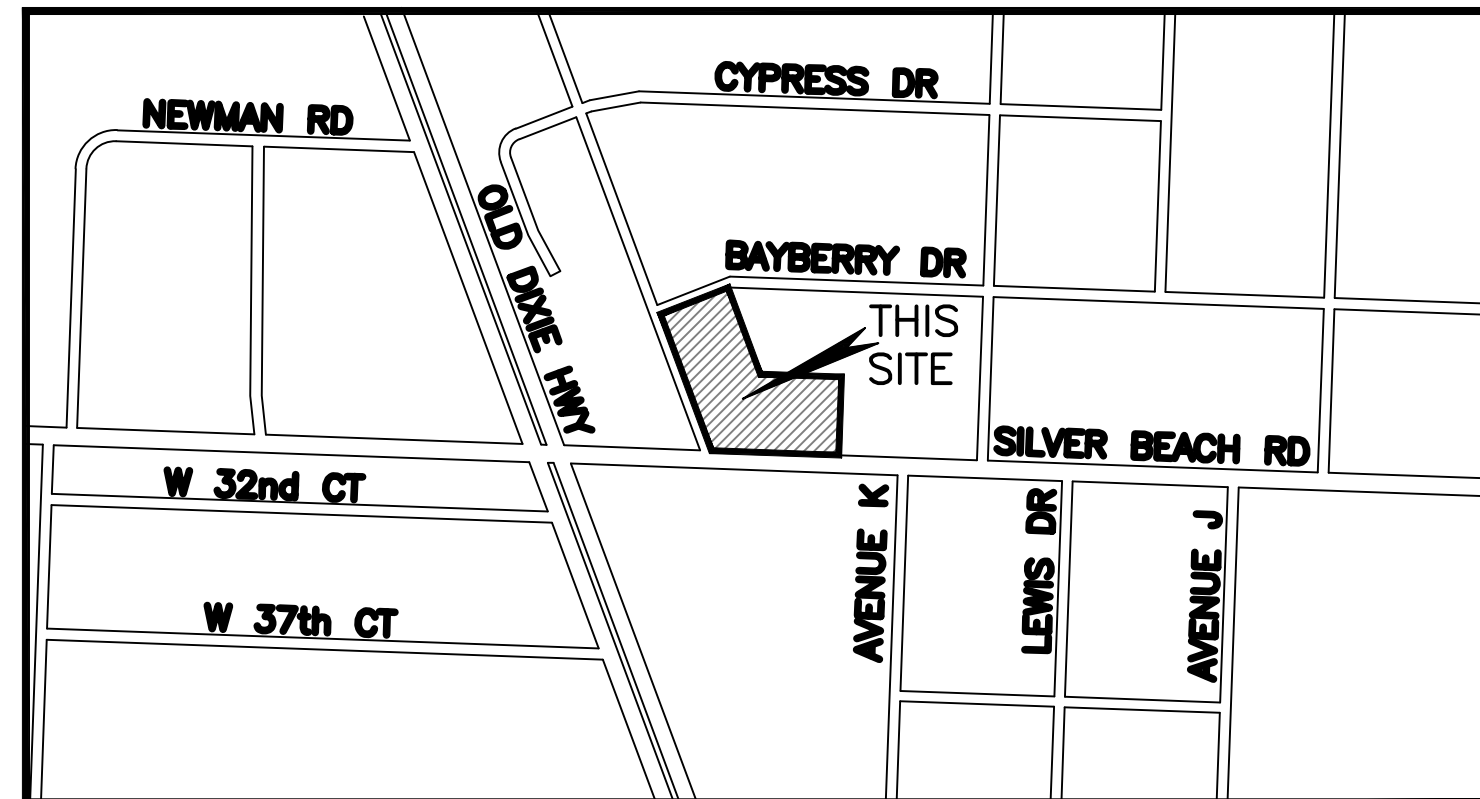
- 36-43-42-20-01-048-0300 *(subject to Rezoning – see Agenda Item 2 below)*

Records related to these items may be inspected by contacting the Community Development Department at 561-881-3320, or by emailing Anders Viane at aviane@lakeparkflorida.gov. If a person decides to appeal any decision made by the Planning and Zoning Board or Town Commission with respect to any hearing, they will need a record of the proceedings and for such purpose may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. For additional information, please contact Vivian Mendez, Town Clerk at 561-881-3311.

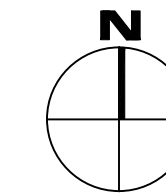
Town Clerk: Vivian Mendez

PUB: The Palm Beach Post – Friday, May 22, 2026

TWIGGS ACADEMY PROPOSED DAY CARE BUILDING AND PARKING IMPROVEMENTS 829 SILVER BEACH ROAD, LAKE PARK, FL



LOCATION MAP

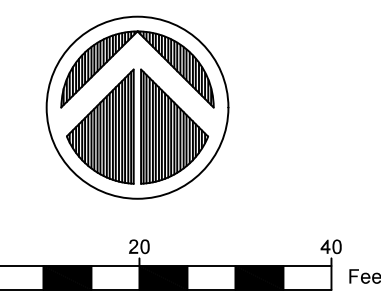
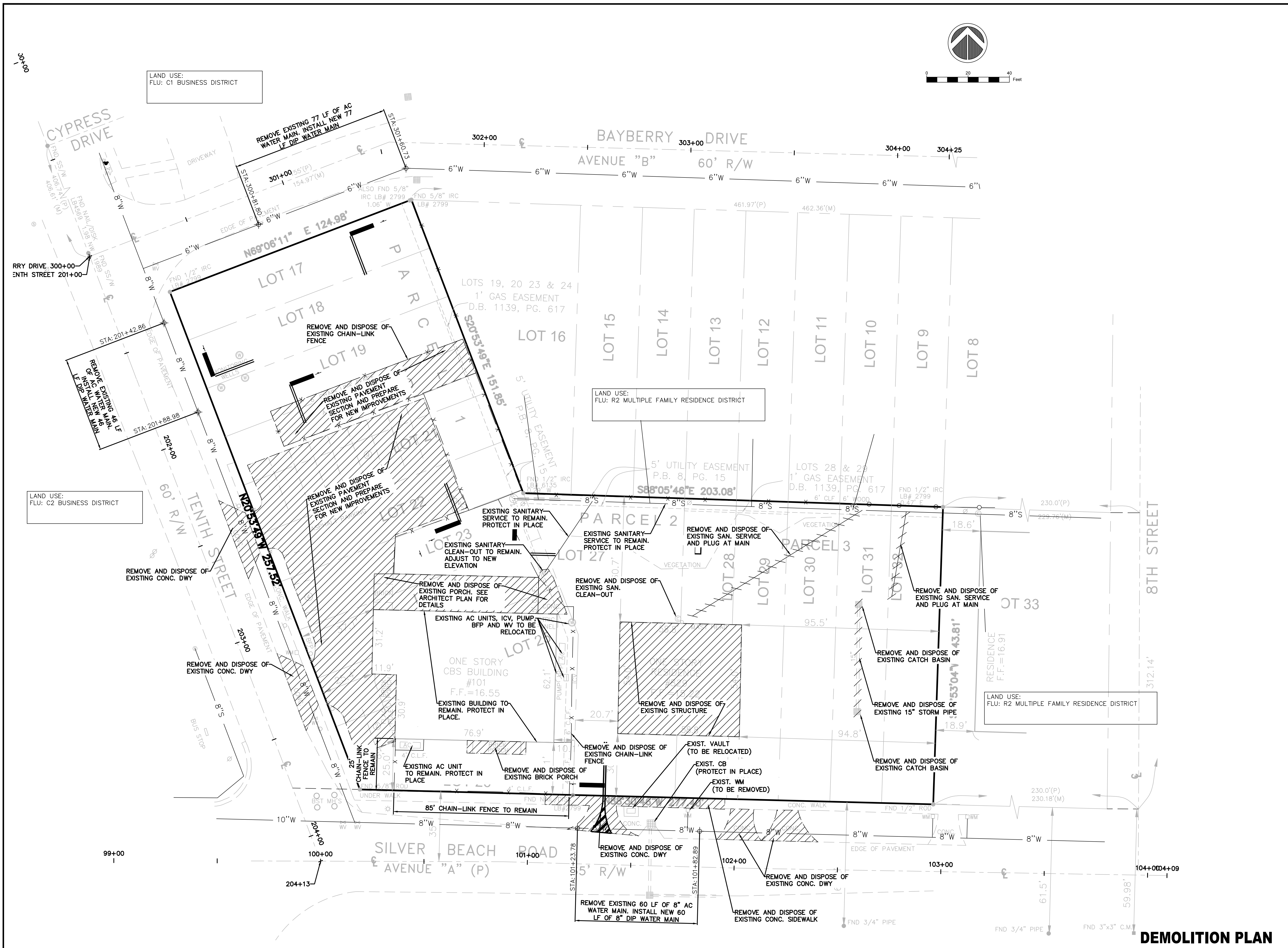


SHEET INDEX

CS	COVER SHEET
D1	DEMOLITION PLAN
SP1	SITE PLAN
SP2	SITE PLAN DETAILS
A1	FLOOR PLAN
A2	FRONT AND REAR ELEVATIONS
A3	SIDE ELEVATIONS
CE1	PAVING, GRADING AND DRAINAGE PLAN
CE2	SECTIONS
CE3	PAVING, GRADING AND DRAINAGE DETAILS
CE4	WATER AND SEWER PLAN
CE5-CE6	WATER AND SEWER DETAILS
CE7a	EMERGENCY VEHICLE TRACKING
CE7b	GARBAGE VEHICLE TRACKING
L0-0	TREE DISPOSITION PLAN
L1.0	LANDSCAPE PLAN
L1.1	LANDSCAPE DETAILS AND QUANTITIES
I1.0	IRRIGATION PLAN
I1.1	IRRIGATION DETAILS AND QUANTITIES
PH1	PHOTOMETRIC PLAN
PH2	PHOTOMETRIC DETAILS

ATLANTIC ENGINEERING SERVICES, INC.

2826 WATERS EDGE CIRCLE
 GREENACRES, FLORIDA 33413
 PHONE - (561) 358-4140
 FAX - (561) 966-9242
 CERTIFICATE OF AUTHORIZATION NO.: 9390



REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		

IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA

SEAL

TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

ATLANTIC ENGINEERING SERVICES, INC.
 2822 WATERS EDGE CIRCLE
 GREENACRES, FLORIDA 33413
 PHONE - (561) 358-4140
 FAX - (561) 966-9242
 CERTIFICATE OF AUTHORIZATION NO.: 9390

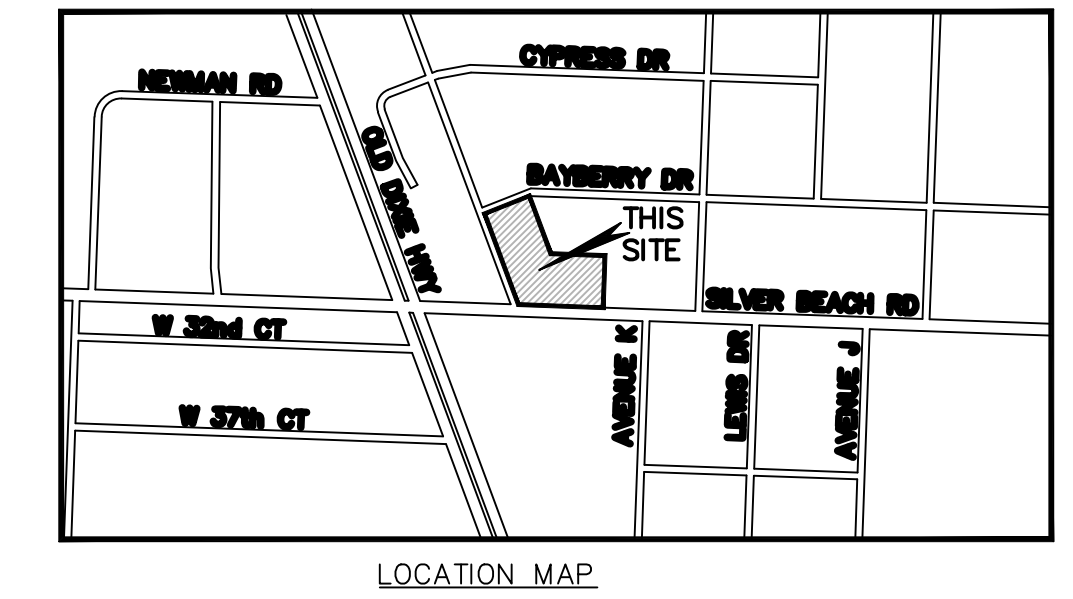
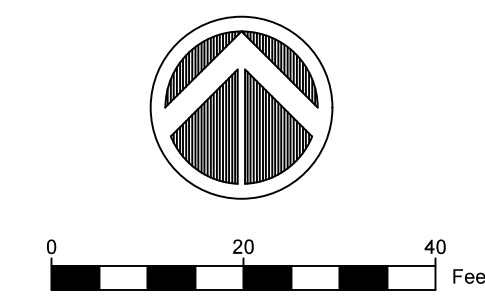
PROJ. NO.
 SCALE:

DES.	DWN.	CHK.

SHEET NUMBER
D1

DATE DRAWN
 JULY 2025

DEMOLITION PLAN



REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		

IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

SEAL

TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

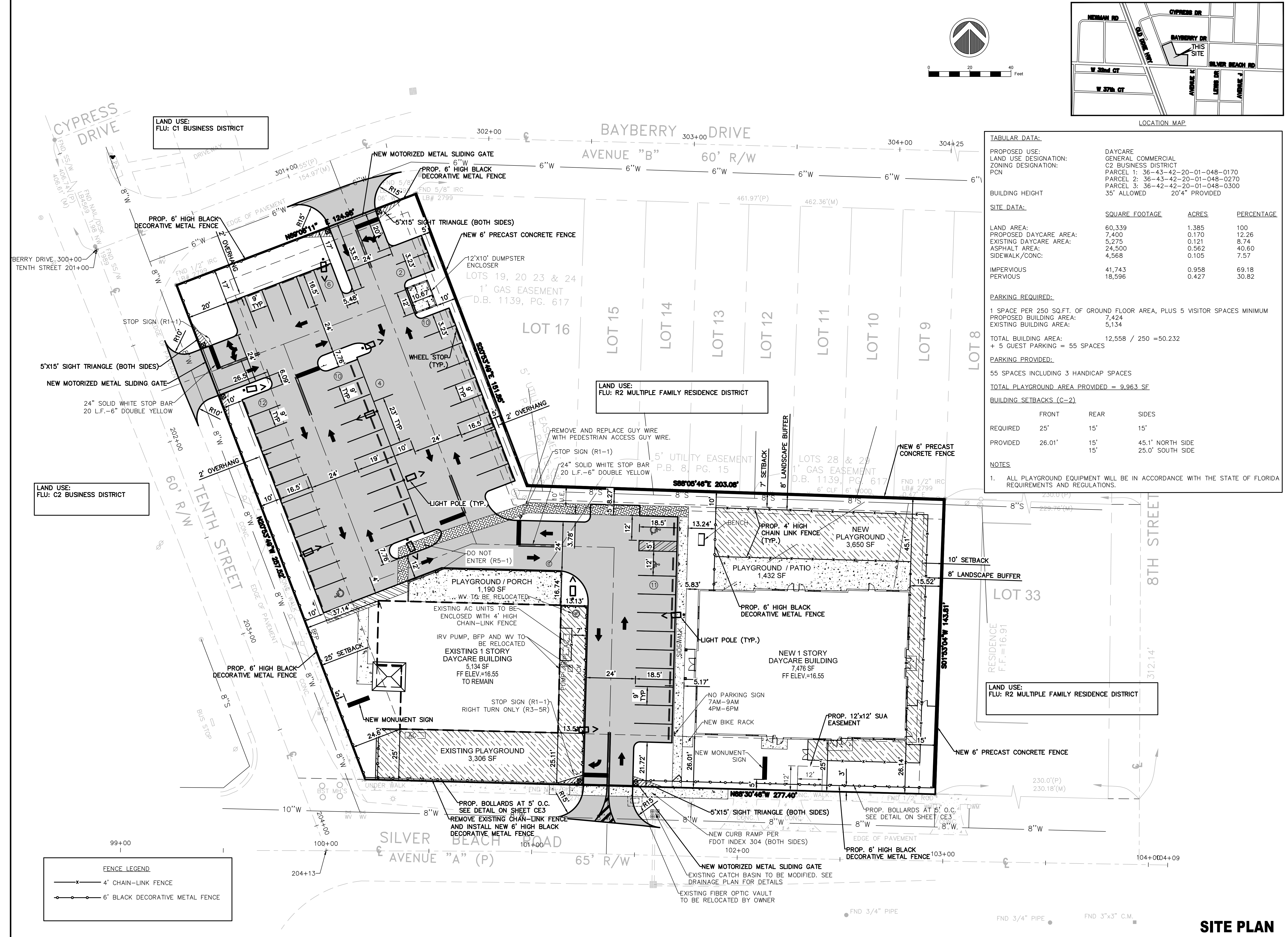
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2822 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO.
SCALE:

DES. DWN. CHK.
SHEET NUMBER
SP1
DATE DRAWN
JULY 2025

TABULAR DATA:

PROPOSED USE:	DAYCARE		
LAND USE DESIGNATION:	GENERAL COMMERCIAL		
ZONING DESIGNATION:	C2 BUSINESS DISTRICT		
PCN			
BUILDING HEIGHT	35' ALLOWED 20'4" PROVIDED		
SITE DATA:			
	SQUARE FOOTAGE	ACRES	PERCENTAGE
LAND AREA:	60,339	1.385	100
PROPOSED DAYCARE AREA:	7,400	0.170	12.26
EXISTING DAYCARE AREA:	5,275	0.121	8.74
ASPHALT AREA:	24,500	0.562	40.60
SIDEWALK/CONC:	4,568	0.105	7.57
IMPERVIOUS PERVIOUS	41,743	0.958	69.18
	18,596	0.427	30.82
PARKING REQUIRED:			
1 SPACE PER 250 SQ.FT. OF GROUND FLOOR AREA, PLUS 5 VISITOR SPACES MINIMUM			
PROPOSED BUILDING AREA:	7,424		
EXISTING BUILDING AREA:	5,134		
TOTAL BUILDING AREA:	12,558	12,558 / 250 = 50.232	
+ 5 GUEST PARKING = 55 SPACES			
PARKING PROVIDED:			
55 SPACES INCLUDING 3 HANDICAP SPACES			
TOTAL PLAYGROUND AREA PROVIDED = 9,963 SF			
BUILDING SETBACKS (C-2)			
	FRONT	REAR	SIDES
REQUIRED	25'	15'	15'
PROVIDED	26.01'	15'	45.1' NORTH SIDE 25.0' SOUTH SIDE
NOTES			
1. ALL PLAYGROUND EQUIPMENT WILL BE IN ACCORDANCE WITH THE STATE OF FLORIDA REQUIREMENTS AND REGULATIONS.			

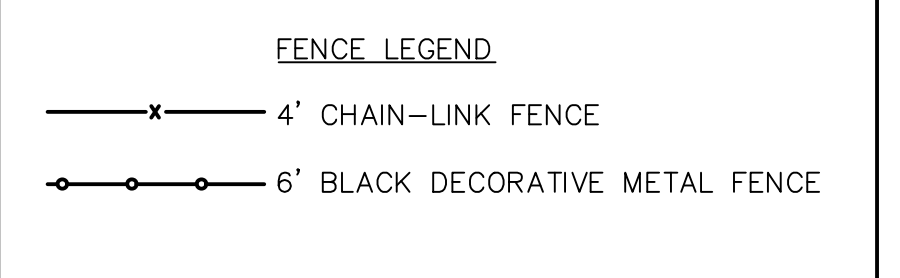


LAND USE:
FLU: C2 BUSINESS DISTRICT

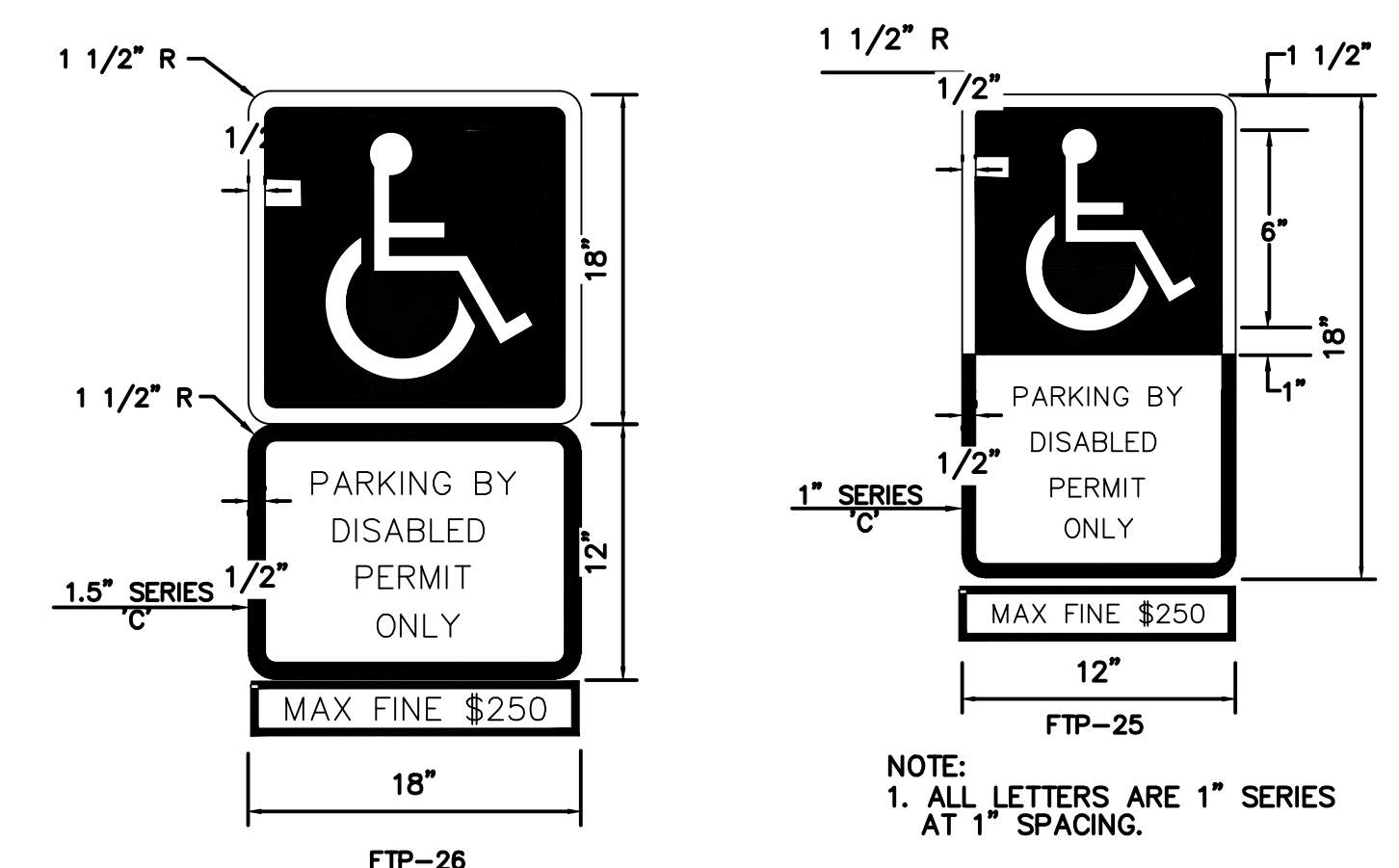
LAND USE:
FLU: C1 BUSINESS DISTRICT

LAND USE:
FLU: R2 MULTIPLE FAMILY RESIDENCE DISTRICT

LAND USE:
FLU: R2 MULTIPLE FAMILY RESIDENCE DISTRICT

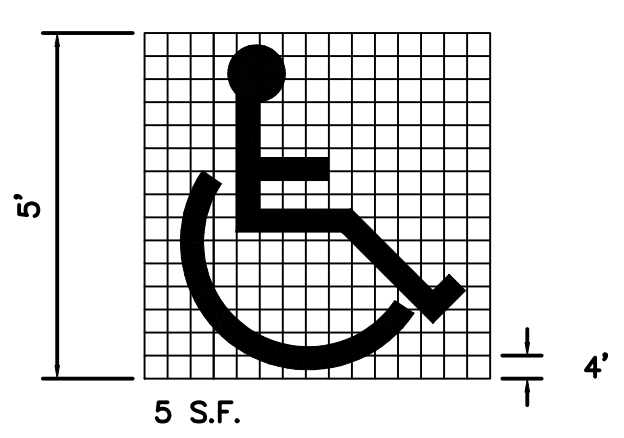


SITE PLAN

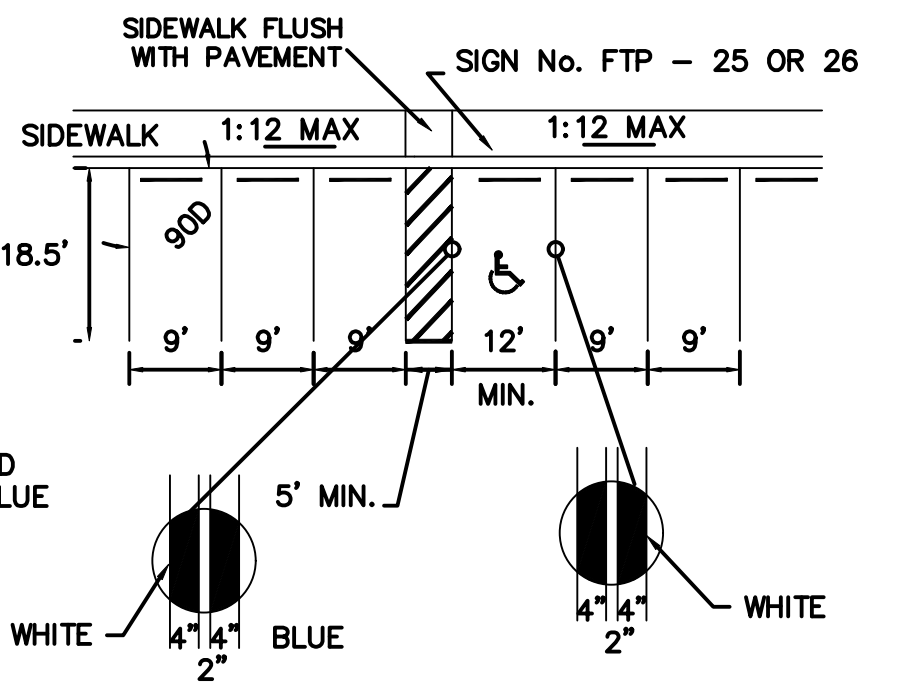


NOTE:
1. ALL LETTERS ARE 1.5" SERIES AT 1.5" SPACING.

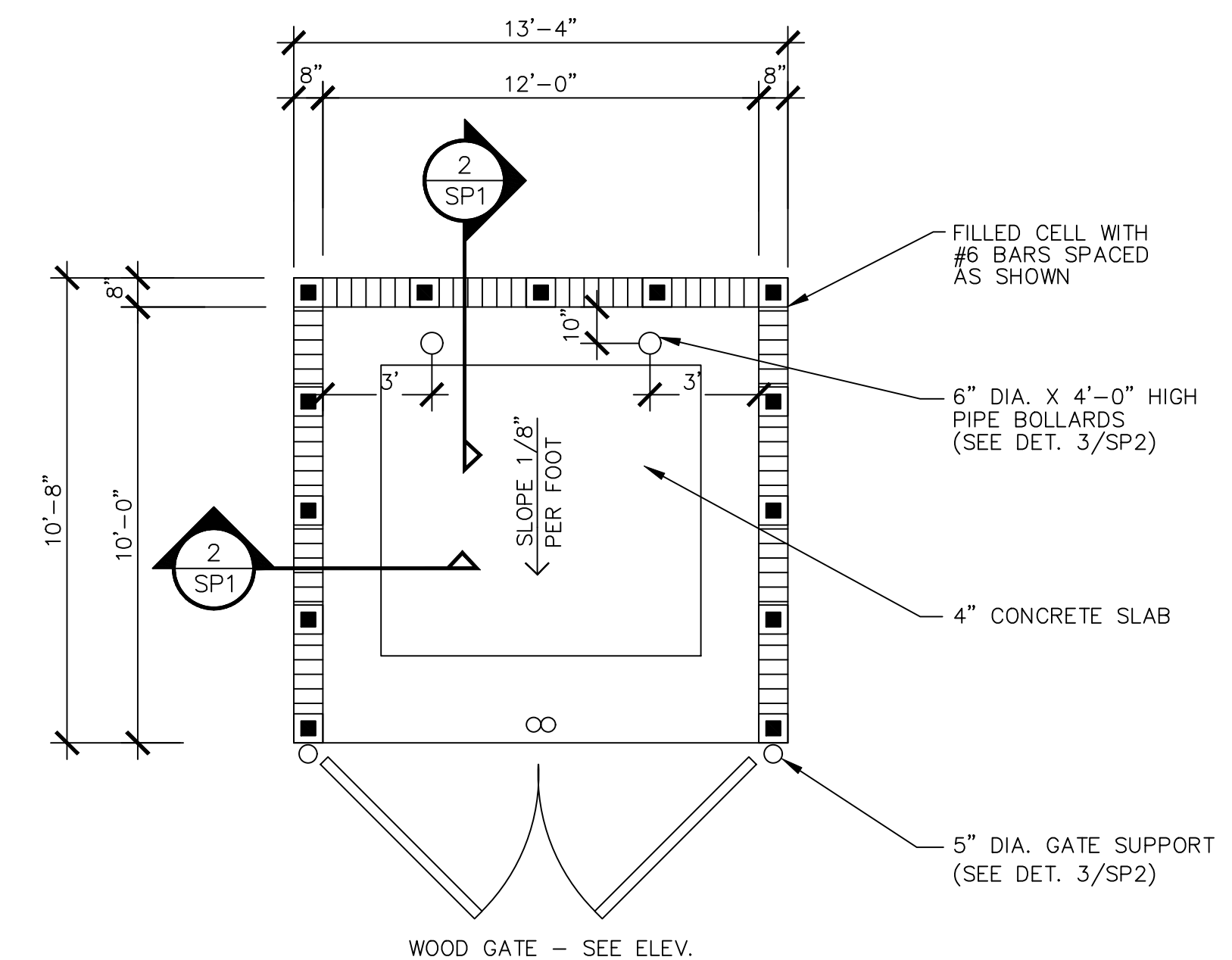
NOTE:
1. ALL LETTERS ARE 1" SERIES AT 1" SPACING.



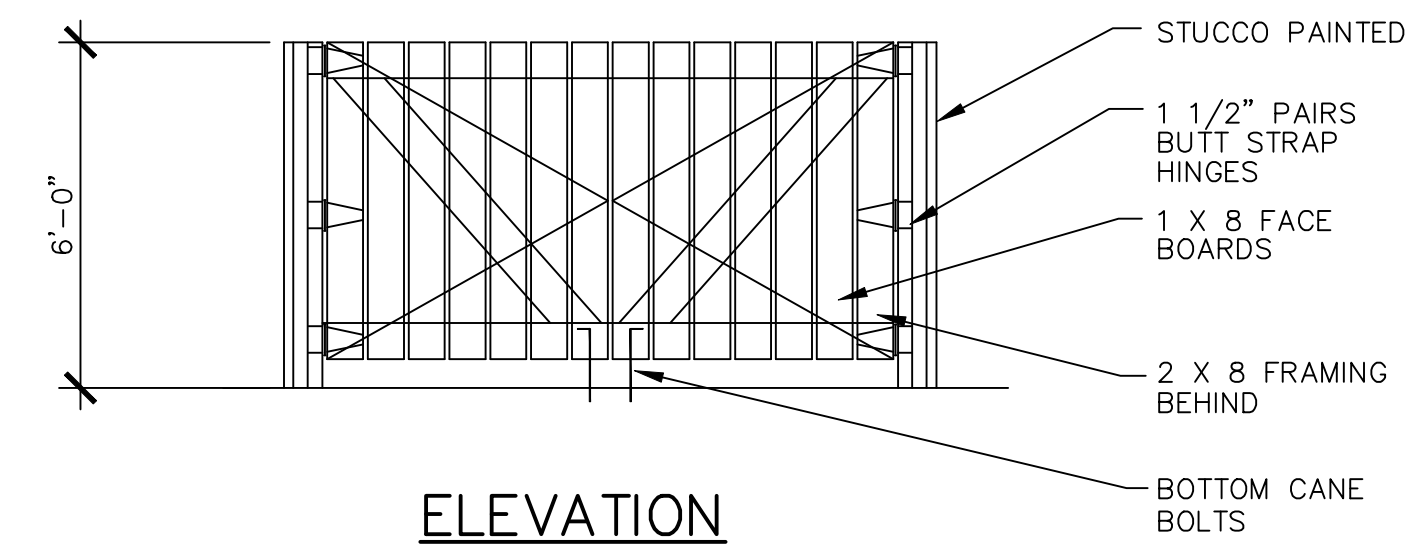
- NOTE:
1. PROVIDE PAVEMENT SYMBOL IN HANDICAPPED PARKING SPACES, THE SYMBOL SHALL BE BLUE IN COLOR.
 2. ALL RAMPS / SPACES TO MEET A.D.A
 3. NO BUILT UP RAMPS ALLOWED



PARKING SPACE DETAIL



PLAN

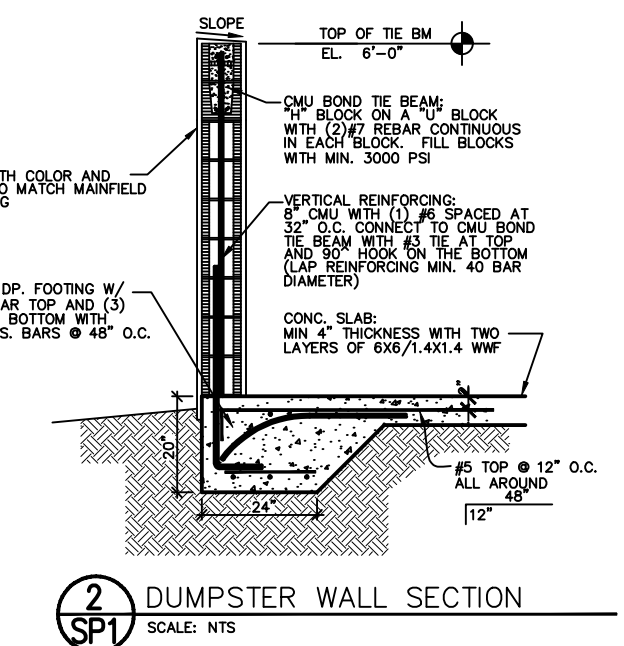


ELEVATION

NOTE: DUMPSTER GATES SHALL BE PAINTED TO MATCH THE BUILDING. DUMPSTER ENCLOSURE WALLS SHALL BE FINISHED SMOOTH STUCCO.

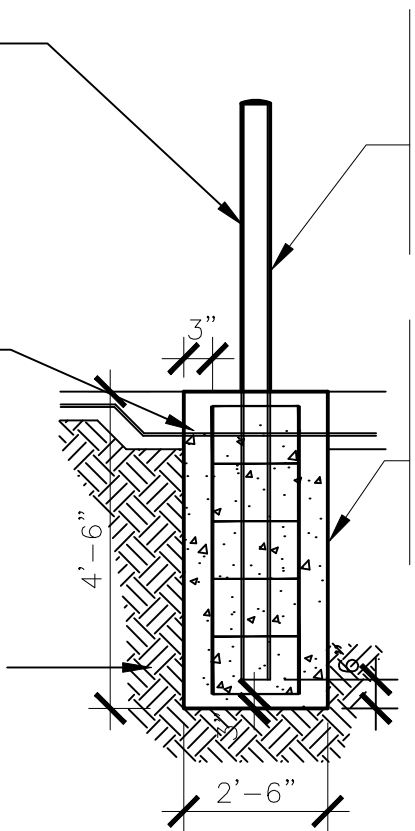
1 DUMPSTER ENCLOSURE
SCALE: NTS

DUMPSTER DETAIL



2 DUMPSTER WALL SECTION
SCALE: NTS

ALLOW SLAB REINFCING TO BE INTEGRATED INTO THE BOLLARD/POST FOOTING AND THICKEN THE EDGE OF THE SLAB AROUND THE FOOTING--CREATE THE ADJACENT SLAB AND THE FOOTING W/ ONE CONTINUOUS CONC. POUR

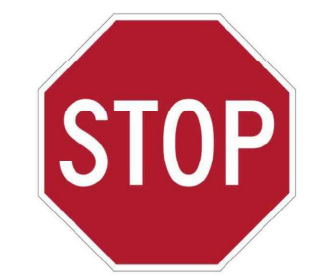


FOR GATE SUPPORT:
5" DIA. X 3/16" THK. X 6'-0" HIGH STL. POST FILLED WITH CONC.

FOR BOLLARDS IN DUMPSTER:
6" DIA. X 3/16" THK. X 4'-0" HIGH STL. POST FILLED WITH CONC.

FOOTING:
FOR GATE POST OR DUMPSTER BOLLARD - USE 30" DIAMETER X 4'-6" H. 3000 PSI CONC. WITH (4) #5 VERTICAL REINFORCING AND TIED TOGETHER WITH #3 TIES SPACED AT 12" O.C.

3 BOLLARD/POST FTG. DET.
SCALE: NTS



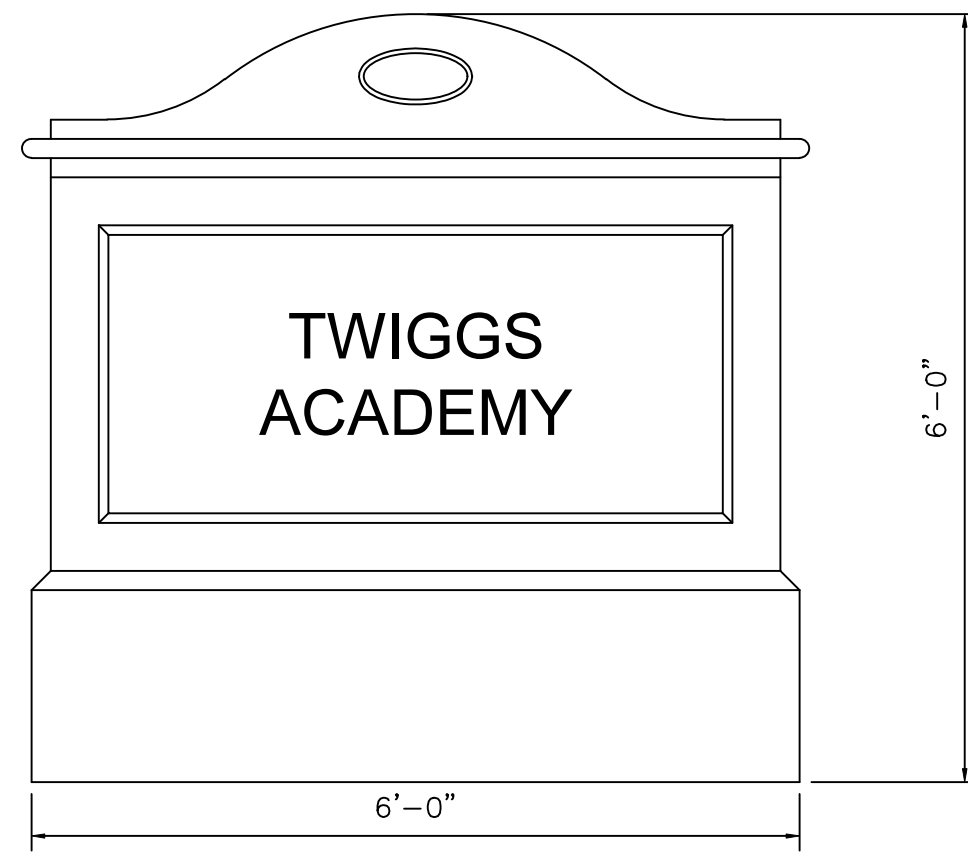
STOP SIGN (R1-)



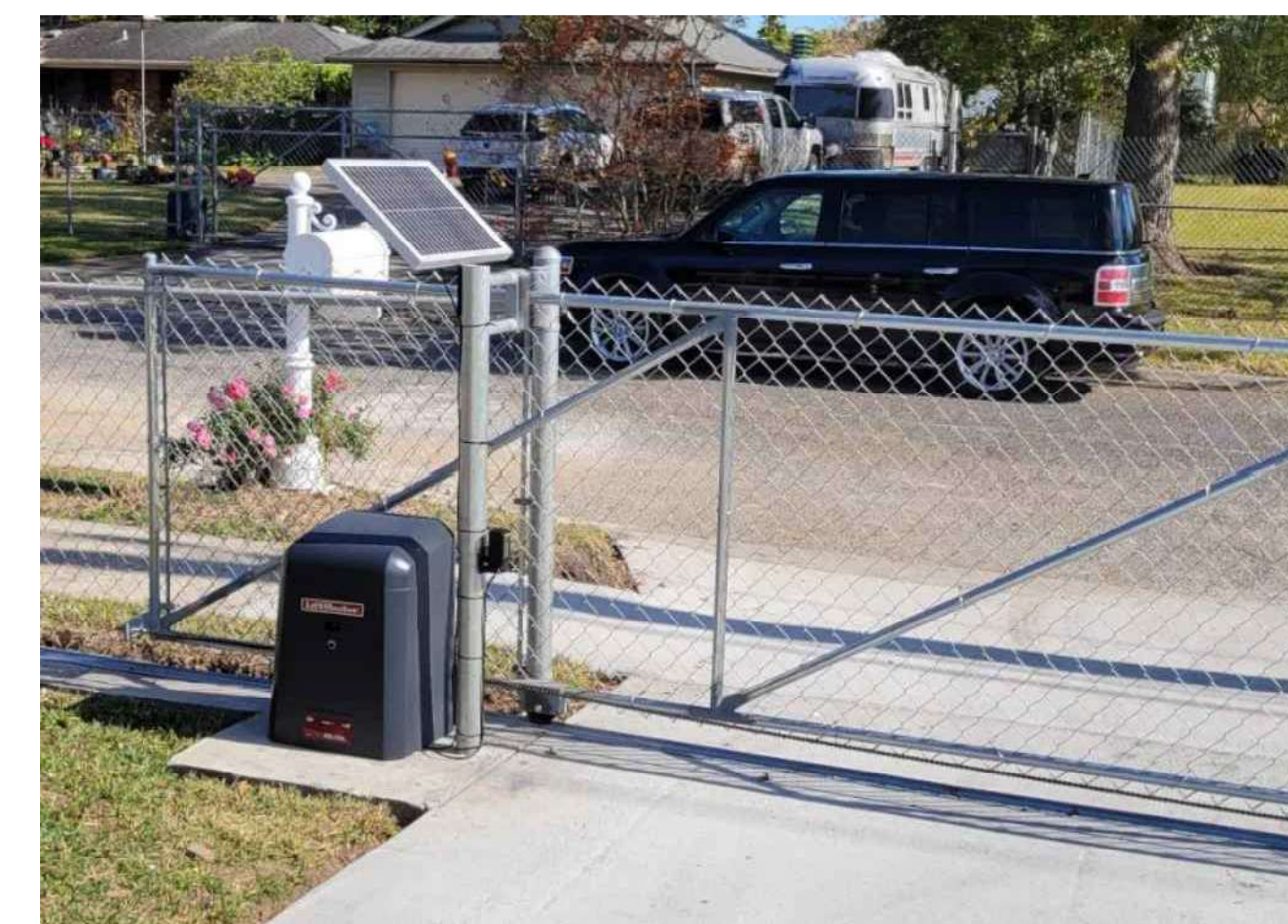
RIGHT TURN ONLY SIGN (R3-5R)



NO PARKING SIGN



MONUMENT SIGN DETAIL



AUTOMATIC ROLLING GATE DETAIL



6' HIGH BLACK DECORATIVE METAL FENCE DETAIL

REV.	DESCRIPTION	DATE
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IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

SEAL

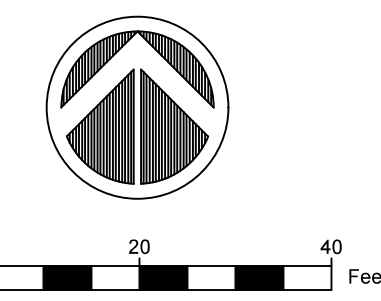
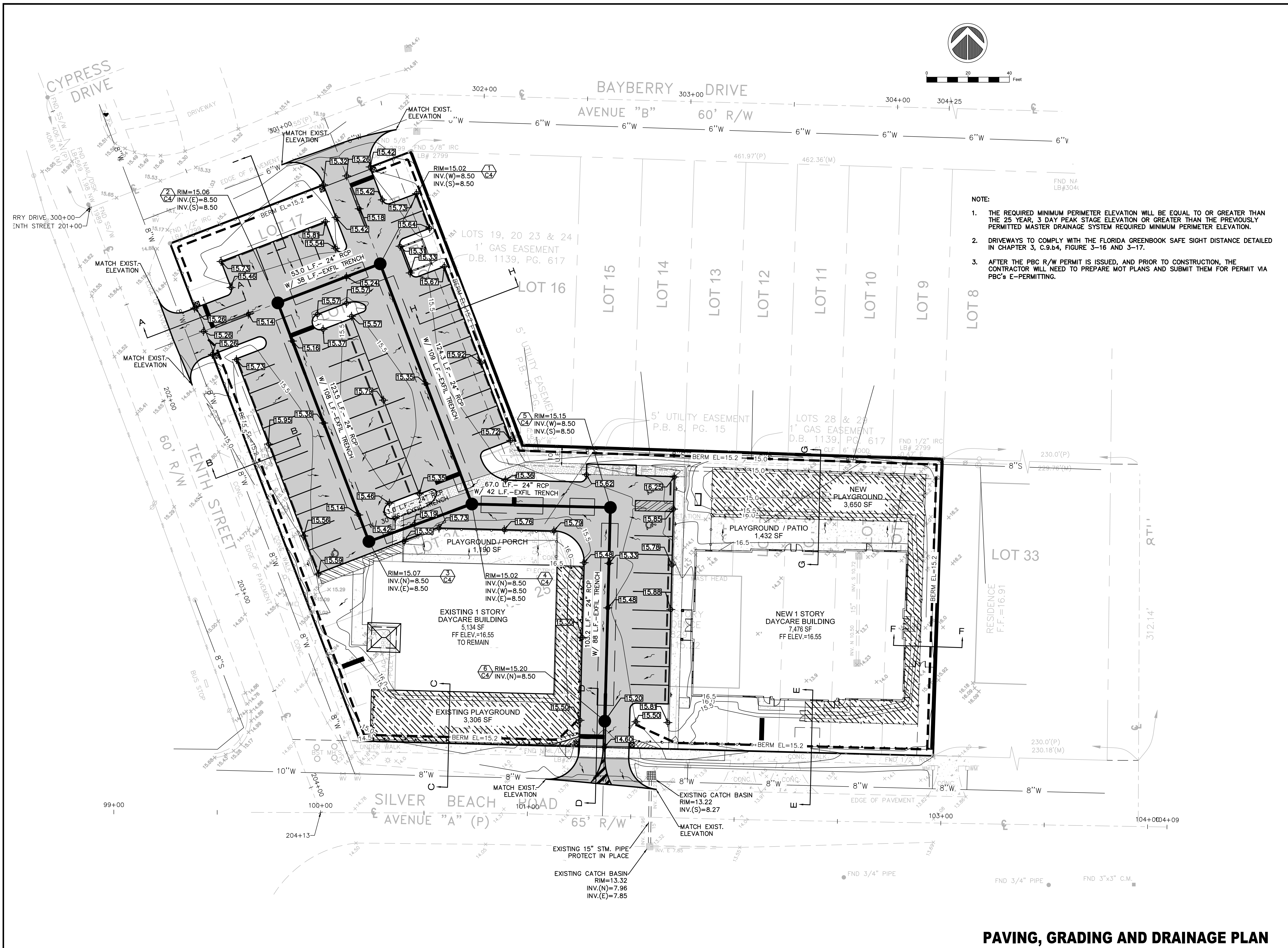
TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

ATLANTIC ENGINEERING SERVICES, INC.
2822 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO.
SCALE:

DES.	DWN.	CHK.
SHEET NUMBER		
SP2		
DATE DRAWN JULY 2025		

SITE PLAN DETAILS



- NOTE:**
1. THE REQUIRED MINIMUM PERIMETER ELEVATION WILL BE EQUAL TO OR GREATER THAN THE 25 YEAR, 3 DAY PEAK STAGE ELEVATION OR GREATER THAN THE PREVIOUSLY PERMITTED MASTER DRAINAGE SYSTEM REQUIRED MINIMUM PERIMETER ELEVATION.
 2. DRIVEWAYS TO COMPLY WITH THE FLORIDA GREENBOOK SAFE SIGHT DISTANCE DETAILED IN CHAPTER 3, C.9.b.4, FIGURE 3-16 AND 3-17.
 3. AFTER THE PBC R/W PERMIT IS ISSUED, AND PRIOR TO CONSTRUCTION, THE CONTRACTOR WILL NEED TO PREPARE MOT PLANS AND SUBMIT THEM FOR PERMIT VIA PBC'S E-PERMITTING.

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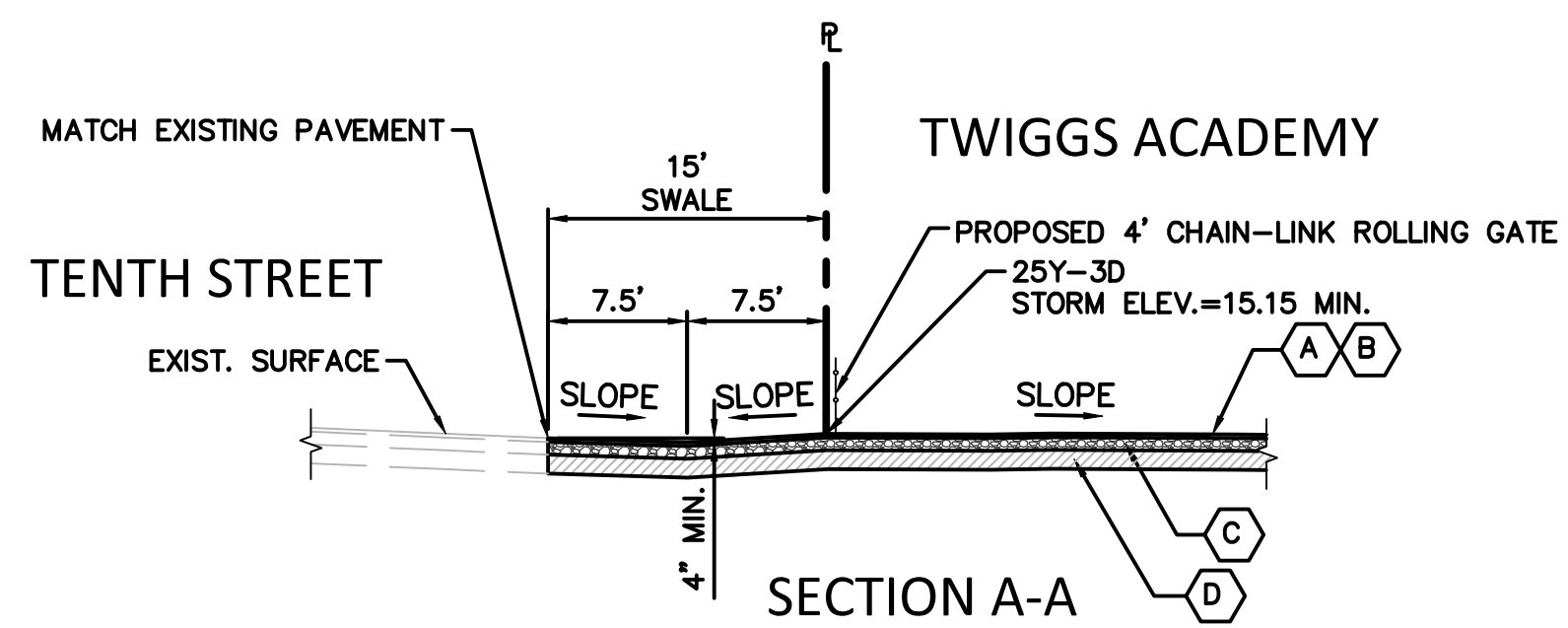
TWIGGS ACADEMY
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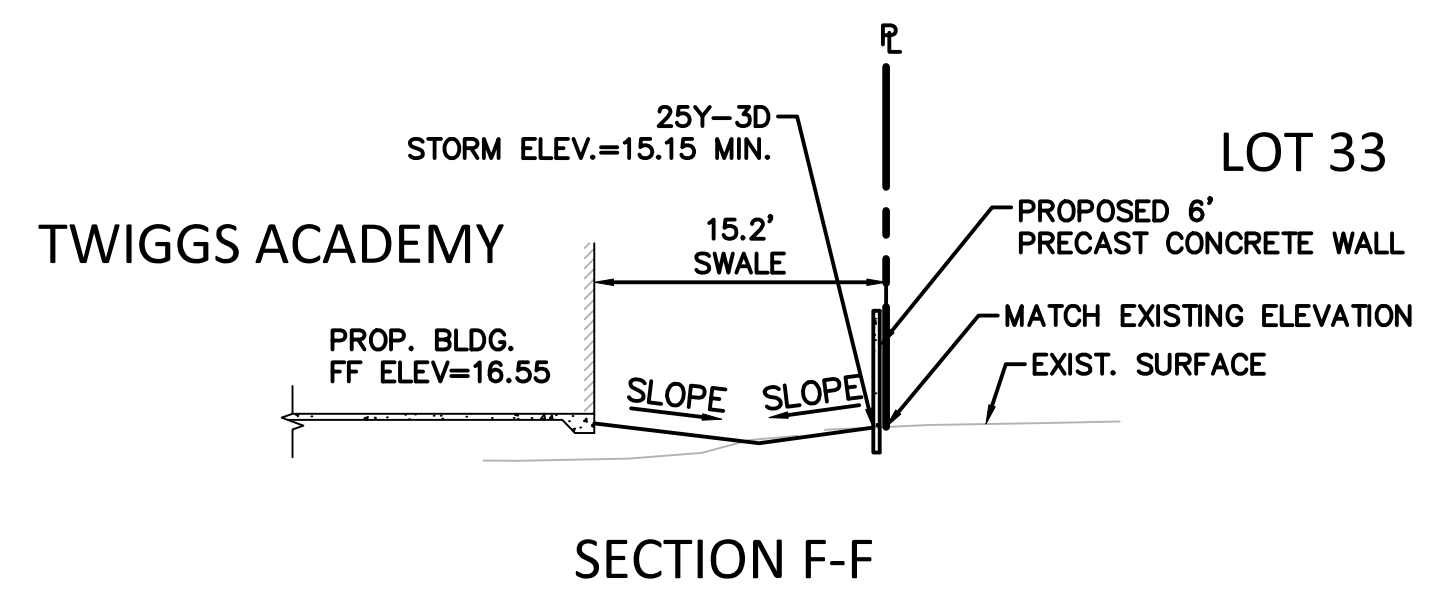
PROJ. NO.
 SCALE:

DES.	DWN.	CHK.
SHEET NUMBER		
CE1		
DATE DRAWN JULY 2025		

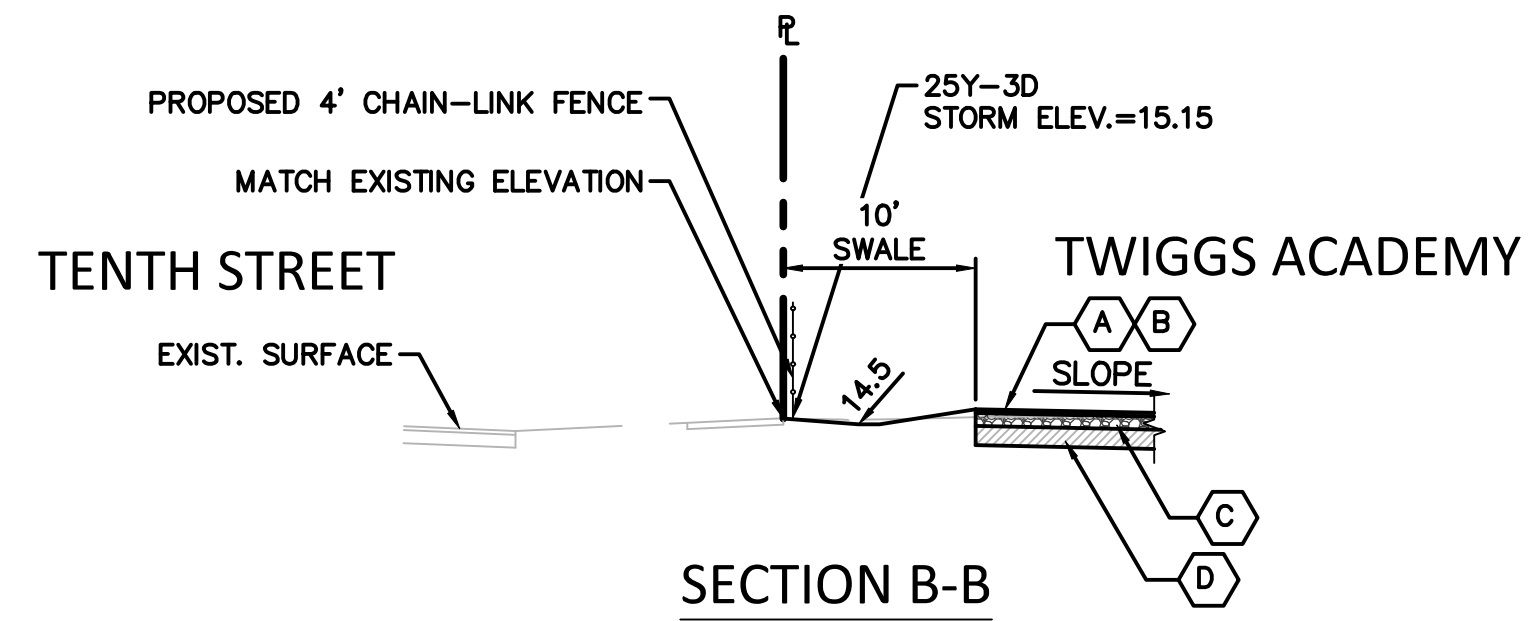
PAVING, GRADING AND DRAINAGE PLAN



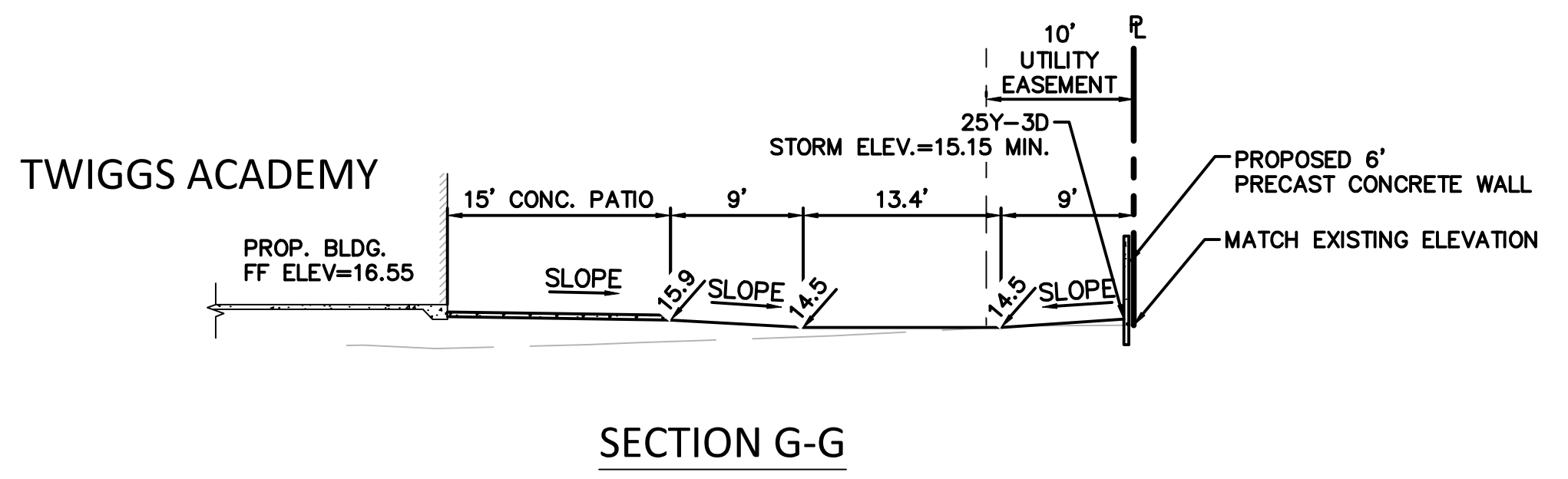
SECTION A-A



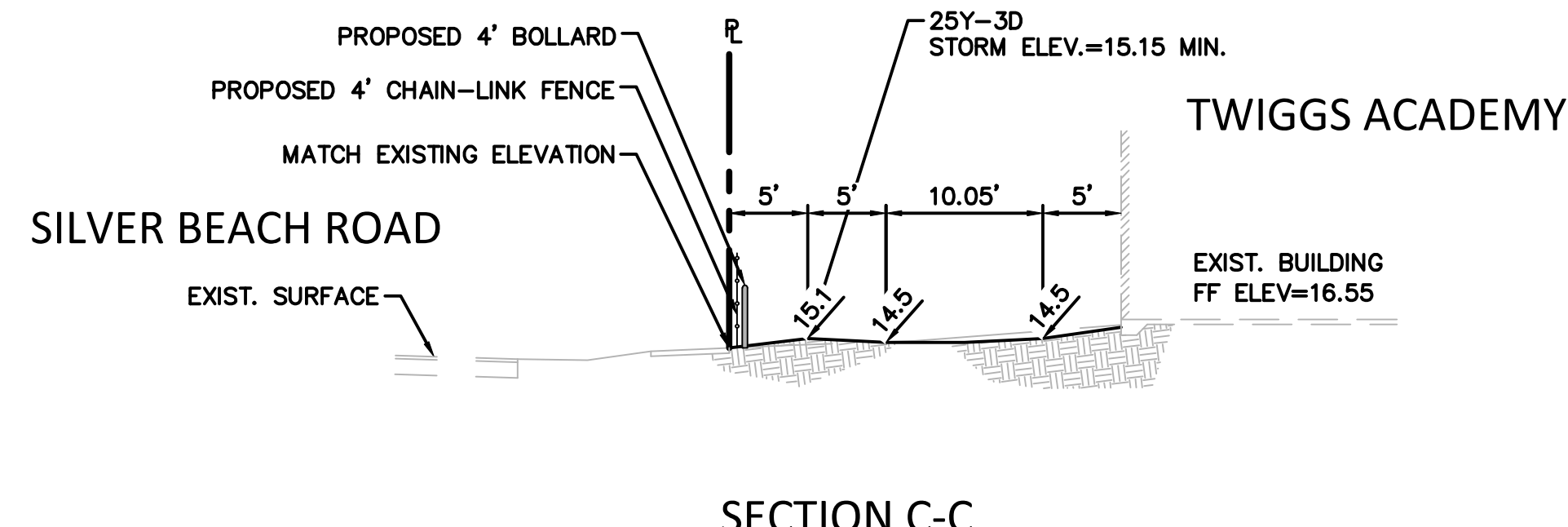
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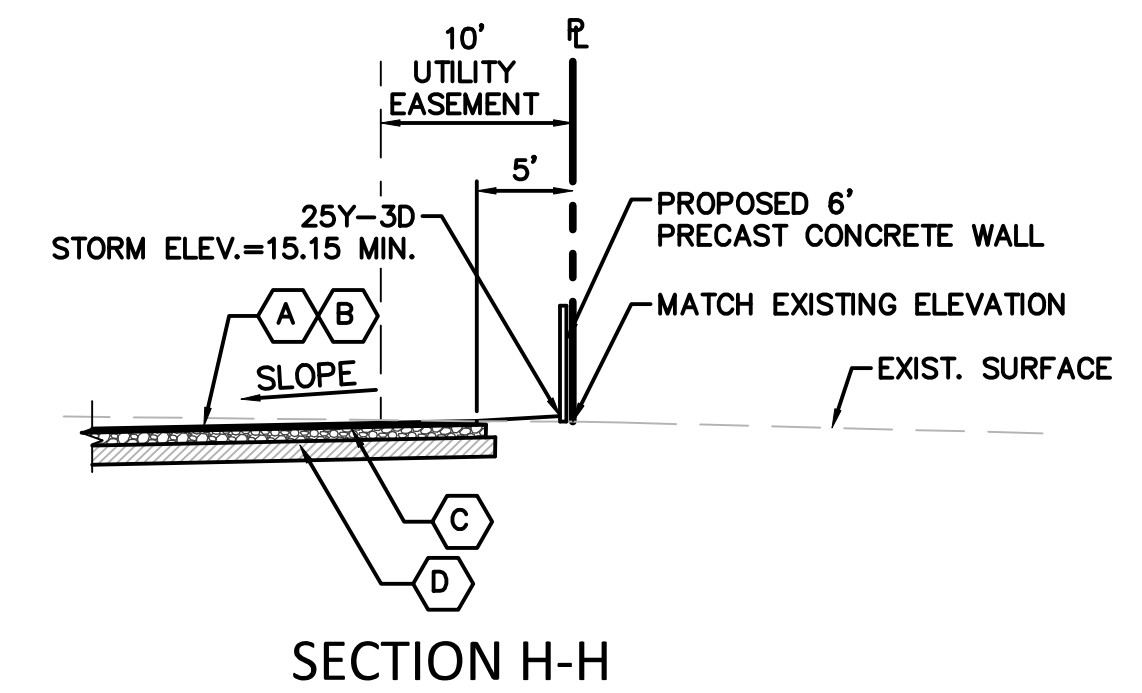
SECTION B-B



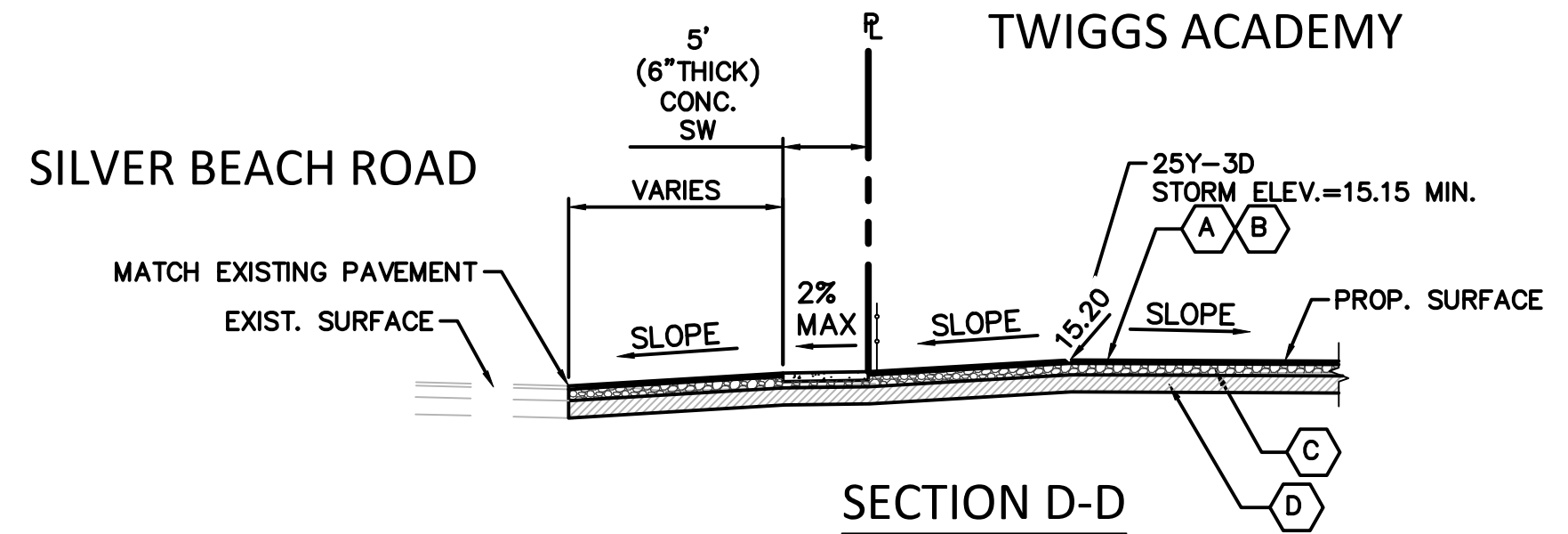
SECTION G-G



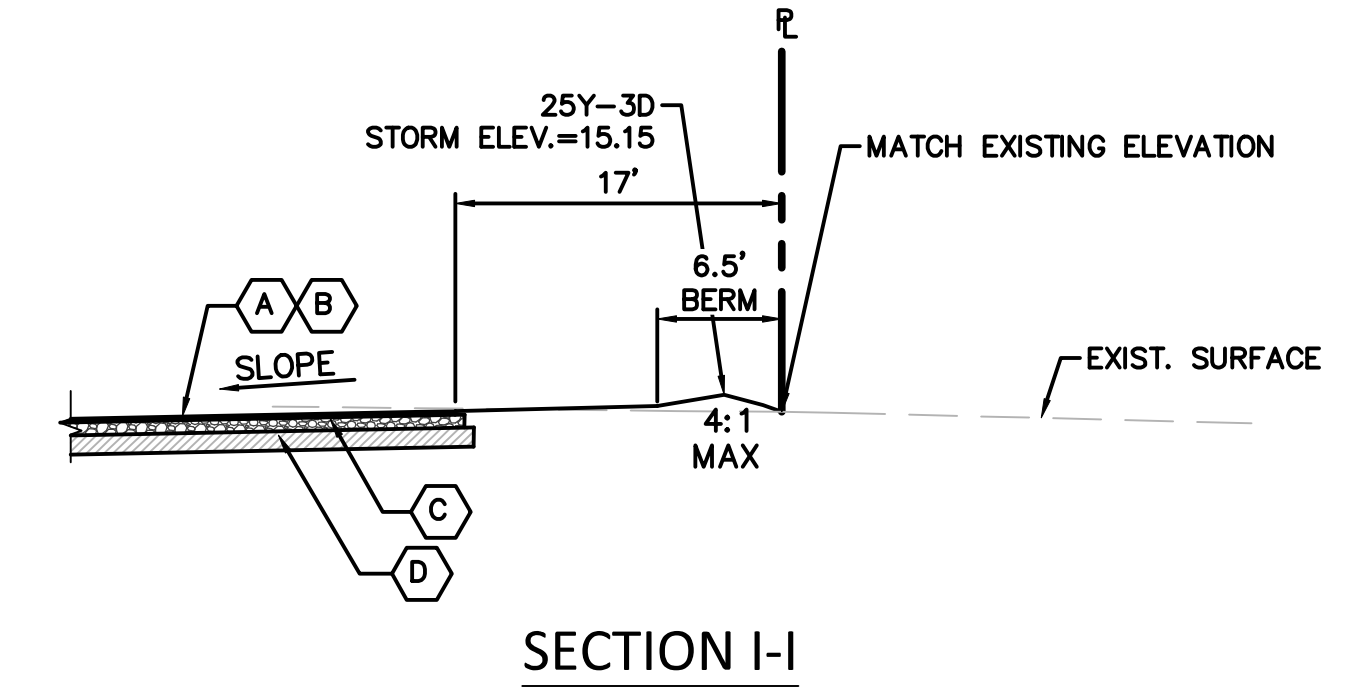
SECTION C-C



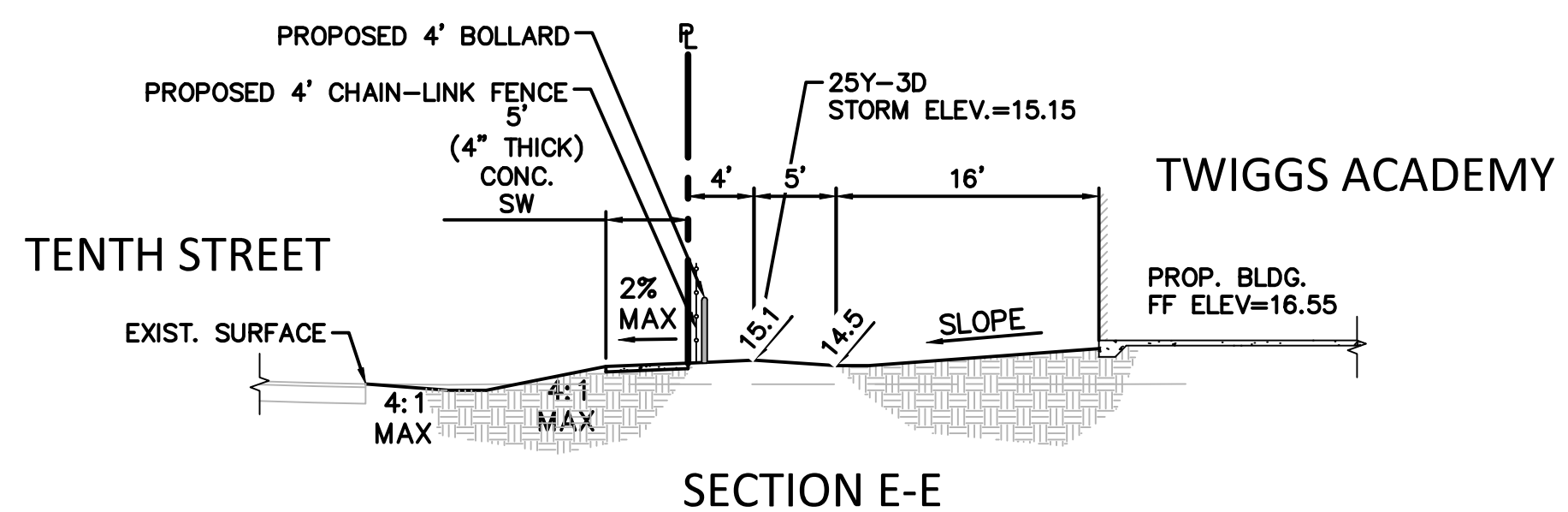
SECTION H-H



SECTION D-D



SECTION I-I



SECTION E-E

- (A) FINISH COURSE: 1 1/2" TYPE SP 9.5
STRUCTURAL COURSE: 1 1/2" TYPE SP-12.5 ASPHALTIC CONCRETE
- (B) BASE COURSE: OPTIONAL BASE GROUP 5 PER FDOT
STANDARD SPECIFICATION SECTION 285
- (C) 12" SUBGRADE COMPACTED TO 98% MAX
DENSITY AASHTO T-180, STABILIZE TO
LBR 40.

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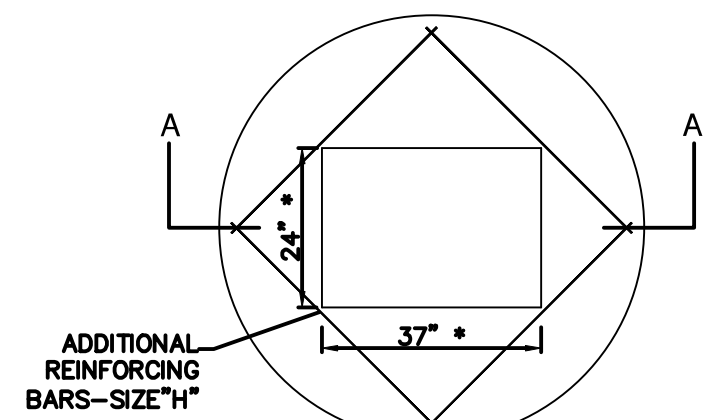
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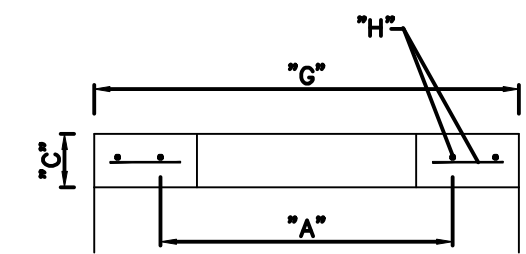
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DATE DRAWN JULY 2025		

SECTIONS



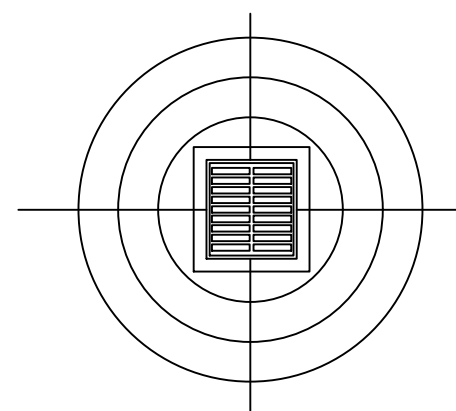
ADJUST TO 24" X 24" OPENING FOR VALLEY GUTTER INLETS



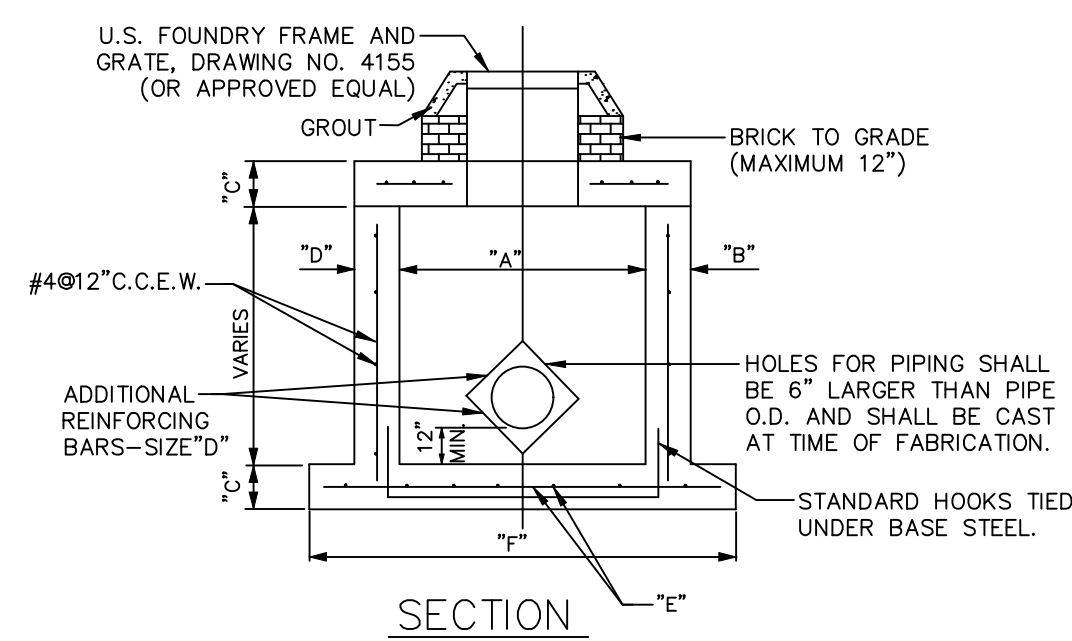
SECTION A-A

"A"	"C"	"G"	"H"
4'-0" Ø	8"	5'-4" Ø	#4 @ 6" CCEW
5'-0" Ø	8"	6'-4" Ø	#5 @ 8" CCEW
6'-0" Ø	10"	7'-4" Ø	#5 @ 6" CCEW
7'-0" Ø	10"	8'-4" Ø	#5 @ 6" CCEW
8'-0" Ø	10"	9'-8" Ø	#5 @ 6" CCEW

PRECAST CONCRETE – TOP SLAB FOR CATCH BASIN



PLAN



SECTION

NOTE: SQUARE STRUCTURES MAY BE USED AS AN ALTERNATE EXCEPT FOR CURB INLETS UNLESS STRUCTURE CONTAINS A POLLUTION RETARDANT BAFFLE. SQUARE STRUCTURES MUST BE USED FOR POLLUTION RETARDANT STRUCTURES.

TYPE	"A"	"B"	"C"	"D"	"E"	"F"
C-4	4'-0"	8"	8"	#4@12" CCEW	#4@12" CCEW	6'-4" Ø
C-5	5'-0"	8"	8"	#5@12" CCEW	#5@12" CCEW	7'-4" Ø
C-6	6'-0"	8"	8"	#5@12" CCEW	#5@6" CCEW	8'-4" Ø
C-7	7'-0"	8"	8"	#5@12" CCEW	#5@6" CCEW	9'-4" Ø
C-8	8'-0"	10"	10"	2-W.W.M. w/#4 @ 12" C.C. VERT.	#5@6" CCEW	10'-4" Ø

PRECAST CIRCULAR CATCH BASIN

ON-SITE PAVING AND DRAINAGE SPECIFICATIONS:

- ALL ORGANIC OR DELETERIOUS MATERIAL SHALL BE REMOVED FROM WITHIN 5 FEET OF ANY EDGE OF PAVEMENT. ANY SUCH MATERIAL SHALL BE REPLACED BY APPROVED GRANULAR FILL WHICH SHALL BE PLACED AND IN ACCORDANCE WITH THE GEOTECHNICAL ENGINEERING REPORT FOR THE SITE.
- STABILIZED SUBGRADE SHALL HAVE A LIMEROCK BEARING RATIO (LBR) OF 40 AND SHALL BE COMPACTED TO 98% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-180.
- LIMEROCK BASE COURSE SHALL CONFORM TO THE REQUIREMENTS OF SECTION 311 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. THE MINIMUM PERCENTAGE OF CARBONATES OF CALCIUM AND MAGNESIUM SHALL BE 70%. LIQUID LIMIT 35 PLASTICITY 6, MIN LBR 100 OR ACCEPTABLE FDOT PRODUCT APPROVAL.
- ASPHALTIC CONCRETE TYPE S-3 SHALL CONFORM TO THE REQUIREMENTS OF SECTION 331 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS.
- PRIME COAT AND TACK COAT FOR BASE COURSES SHALL CONFORM TO THE REQUIREMENTS OF SECTIONS 300-1 THROUGH 300-7 OF FLORIDA D.O.T. STANDARD SPECIFICATIONS. PRIME COAT SHALL BE APPLIED AT A RATE OF 0.25 GALLONS PER SQUARE YARD AND TACK COAT AT A RATE OF 0.08 GALLONS PER SQUARE YARD UNLESS A VARIATION RATE IS APPROVED BY THE ENGINEER.
- ALL CONCRETE SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI AT 28 DAYS, EXCEPT DRAINAGE STRUCTURES.
- PRECAST CONCRETE MANHOLES AND CATCH BASINS SHALL MEET THE REQUIREMENTS OF A.S.T.M. SPECIFICATIONS C-478 AND 64T.
- CONCRETE FOR PRECAST MANHOLES AND CATCH BASINS SHALL HAVE MINIMUM COMPRESSIVE STRENGTH OF 4000 PSI AT 28 DAYS.
- REINFORCING STEEL FOR MANHOLES AND CATCH BASINS SHALL CONFORM TO A.S.T.M. SPECIFICATIONS A-615 AND A-305, LATEST REVISION. GRADE 60 STEEL SHALL BE USED FOR TOP AND BOTTOM SLABS.
- ALL RE-BAR SPLICES IN CONCRETE STRUCTURES SHALL HAVE A MINIMUM LAP OF 24 BAR DIAMETERS.
- ALL JOINTS IN CONCRETE STRUCTURES SHALL BE FINISHED WATER TIGHT.
- ALL SPACES AROUND PIPING ENTERING OR LEAVING MANHOLES AND CATCH BASINS SHALL BE COMPLETELY FILLED WITH 2:1 WATERPROOF, NON-SHRINKING CEMENT MORTAR.
- REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO THE REQUIREMENTS OF A.S.T.M. SPECIFICATION C-76, FOR CLASS III, WALL THICKNESS "B" REINFORCED CONCRETE PIPE, AND AS MODIFIED IN SECTION 941 OF FLORIDA D.O.T. STANDARD SPECIFICATION.
- ALL LABOR, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE MINIMUM ENGINEERING AND CONSTRUCTION STANDARDS ADOPTED BY CITY OF VILLAGE OF PALM SPRINGS PUBLIC WORKS AND THE PLANS AND CONSTRUCTION SPECIFICATIONS. WHERE CONFLICTS OR OMISSIONS EXIST, THE CITY OF PORT ST LUCIE PUBLIC WORKS STANDARDS SHALL DICTATE. SUBSTITUTIONS AND DEVIATIONS FROM PLANS AND SPECIFICATIONS SHALL BE PERMITTED ONLY WHEN WRITTEN APPROVAL HAS BEEN ISSUED BY THE ENGINEER.
- THE EXISTING ELEVATIONS SHOWN ON THE GRADING PLAN INDICATES THE ELEVATION AT THE POINT DEPICTED ONLY, AND SHOULD NOT BE INTERPRETED AS INDICATING THE ELEVATIONS OF ANY OTHER POINT. THESE EXISTING ELEVATIONS ARE IN NO WAY AN INDICATOR OF SURFACE OR SUBSURFACE SOIL CONDITIONS.
- BITUMINOUS COATING REQUIRED FOR ALL CORRUGATED METAL PIPE (CMP).
- THE PROPERTY OWNER IS RESPONSIBLE FOR THE PERPETUAL MAINTENANCE OF ALL FEATURES OF THE SURFACE WATER MANAGEMENT SYSTEM AS OUTLINED BY THE DESIGN ENGINEER ON THE DRAWINGS. THE PROPERTY OWNER IS ALSO RESPONSIBLE FOR THE MAINTENANCE OF ALL INFRASTRUCTURES ON THE SITE.
- THE SITE CONTRACTOR SHALL APPLY FOR A COUNTY R-O-W PERMIT FOR ANY PROPOSED WORK WITHIN THE R-O-W OF SHIRLEY STREET.

DATE	DESCRIPTION	REV.
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IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

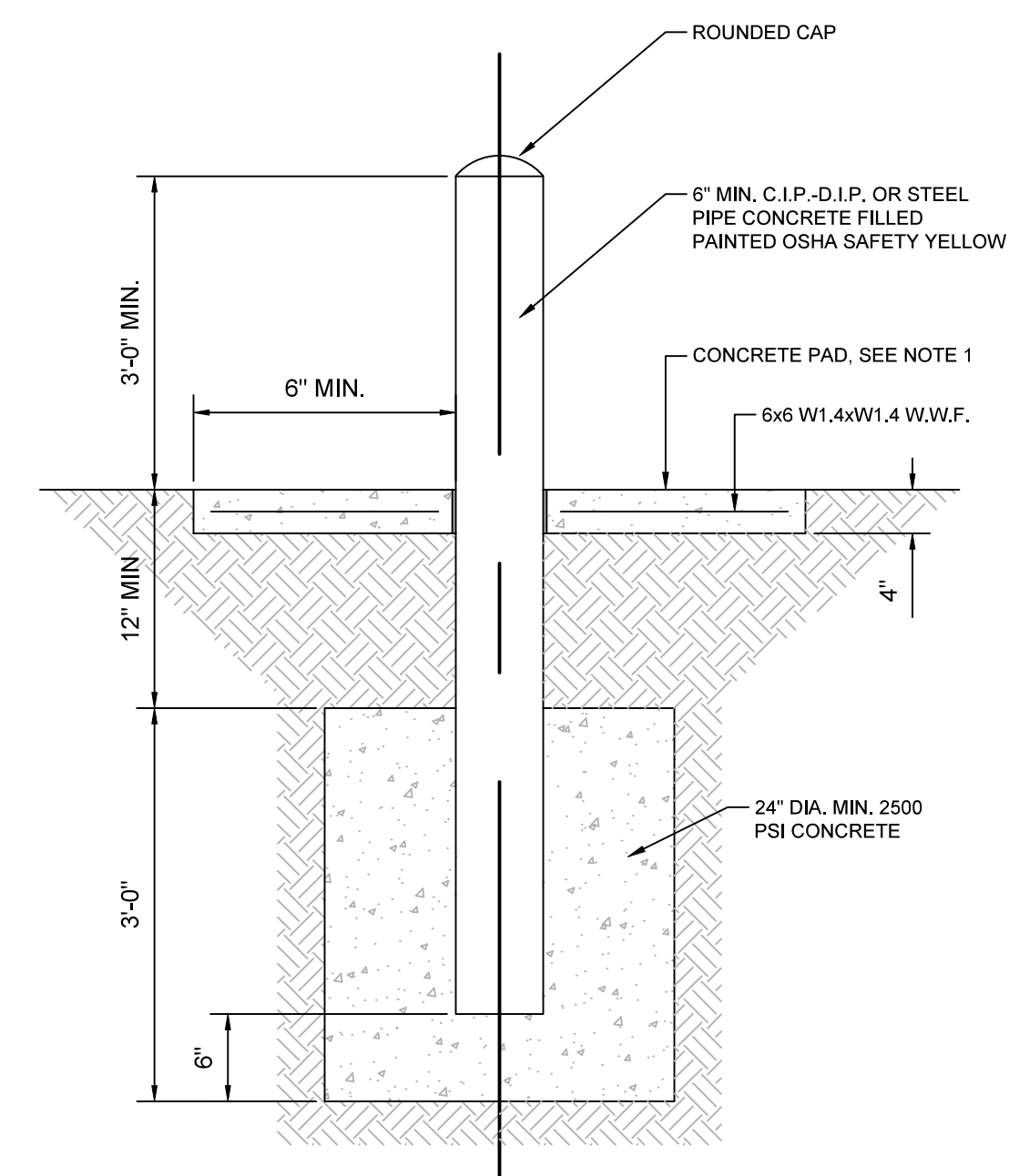
SEAL

TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

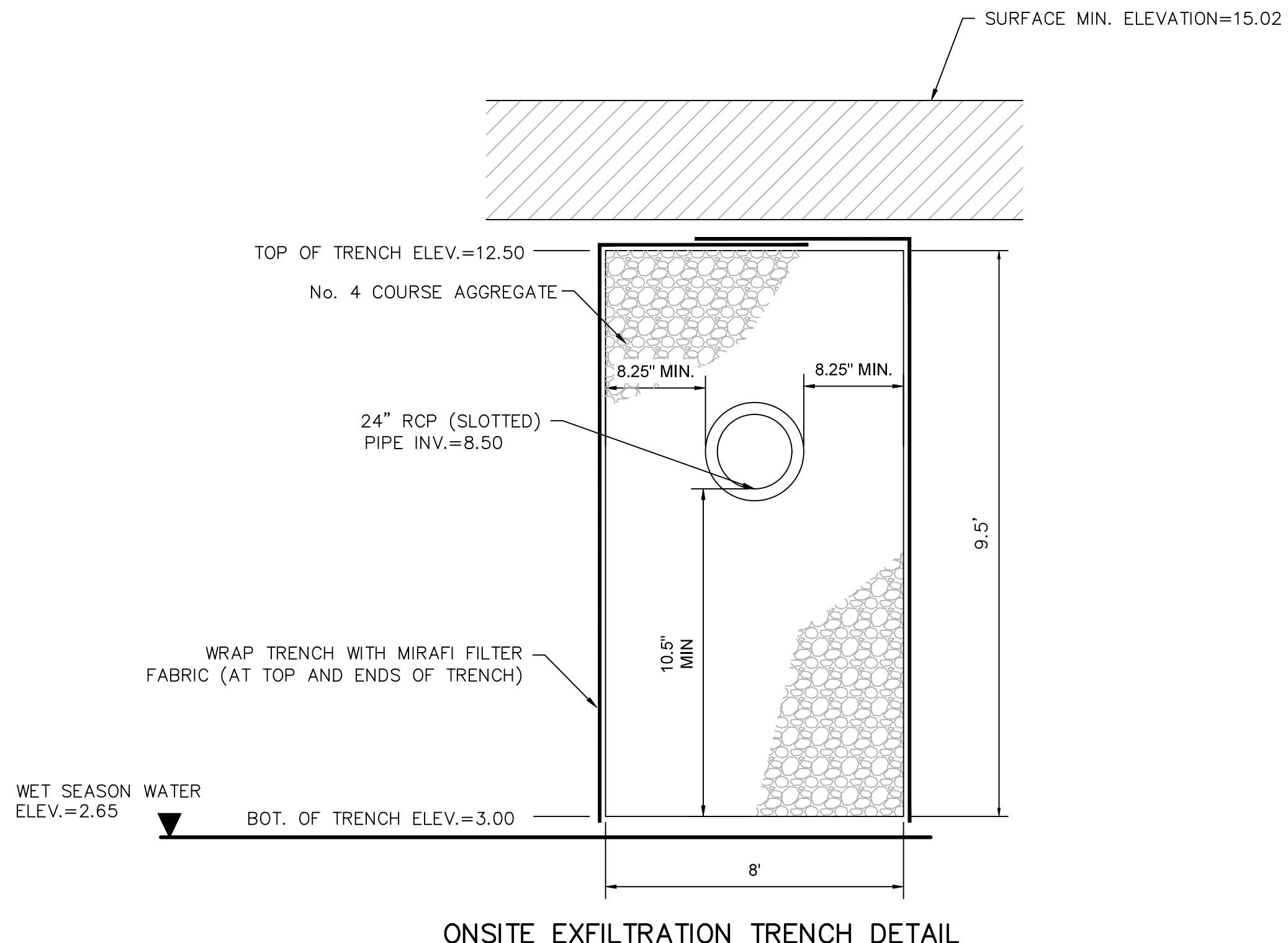
ATLANTIC ENGINEERING SERVICES, INC.
2822 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO.
SCALE:

DES.	DWN.	CHK.
SHEET NUMBER		
CE3		
DATE DRAWN JULY 2025		

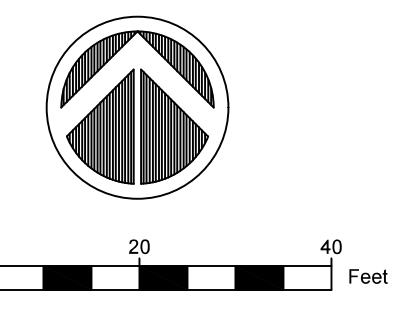
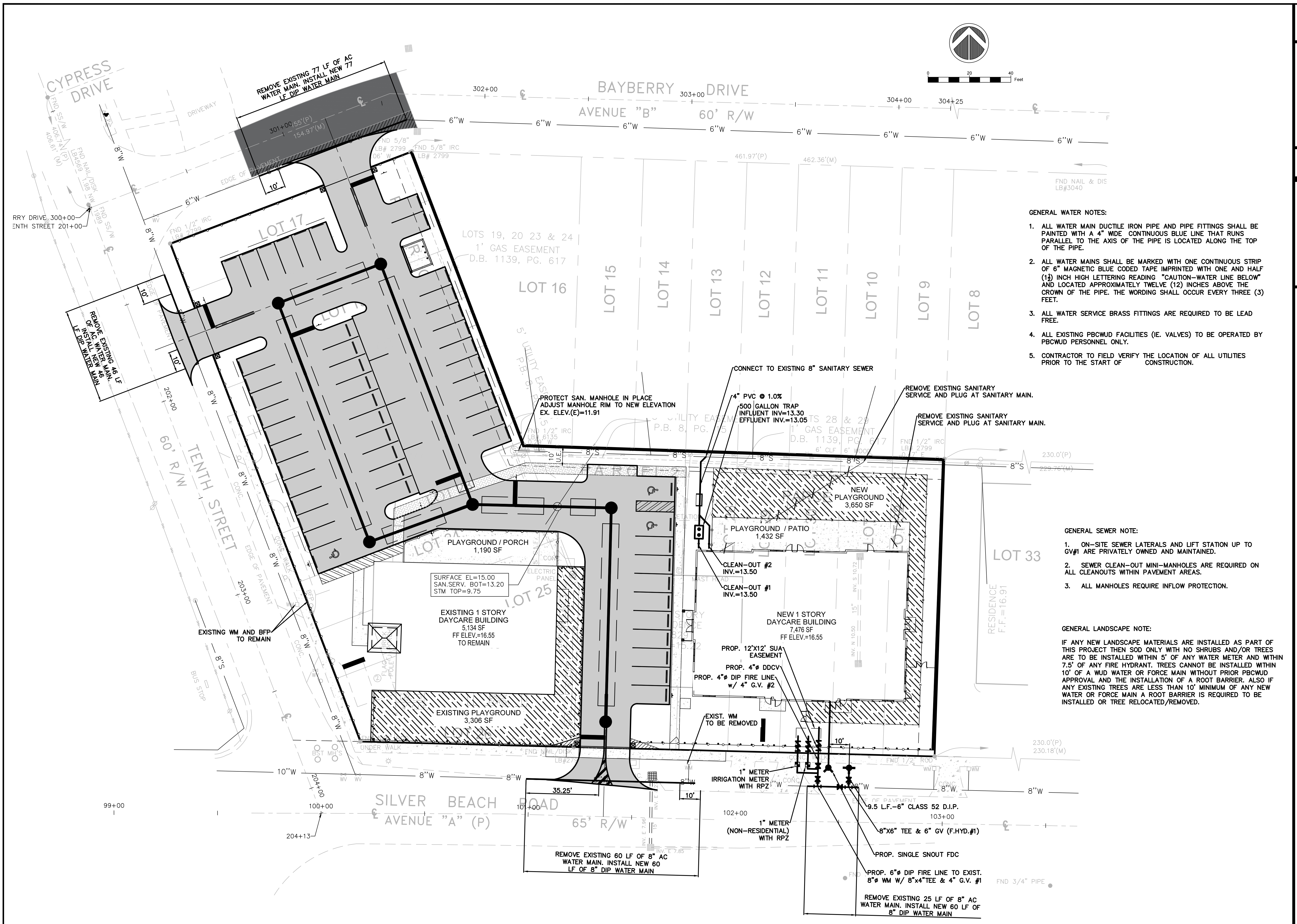


NOTES:
1. PROVIDE SQUARE OR ROUND HOUSEKEEPING PAD AROUND BOLLARD IN UNPAVED AREAS



ON-SITE EXFILTRATION TRENCH DETAIL

PAVING, GRADING AND DRAINAGE DETAILS



GENERAL WATER NOTES:

1. ALL WATER MAIN DUCTILE IRON PIPE AND PIPE FITTINGS SHALL BE PAINTED WITH A 4" WIDE CONTINUOUS BLUE LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE IS LOCATED ALONG THE TOP OF THE PIPE.
2. ALL WATER MAINS SHALL BE MARKED WITH ONE CONTINUOUS STRIP OF 6" MAGNETIC BLUE CODED TAPE IMPRINTED WITH ONE AND HALF (1 1/2) INCH HIGH LETTERING READING "CAUTION-WATER LINE BELOW" AND LOCATED APPROXIMATELY TWELVE (12) INCHES ABOVE THE CROWN OF THE PIPE. THE WORDING SHALL OCCUR EVERY THREE (3) FEET.
3. ALL WATER SERVICE BRASS FITTINGS ARE REQUIRED TO BE LEAD FREE.
4. ALL EXISTING PBCWUD FACILITIES (IE. VALVES) TO BE OPERATED BY PBCWUD PERSONNEL ONLY.
5. CONTRACTOR TO FIELD VERIFY THE LOCATION OF ALL UTILITIES PRIOR TO THE START OF CONSTRUCTION.

GENERAL SEWER NOTE:

1. ON-SITE SEWER LATERALS AND LIFT STATION UP TO GV#1 ARE PRIVATELY OWNED AND MAINTAINED.
2. SEWER CLEAN-OUT MINI-MANHOLES ARE REQUIRED ON ALL CLEANOUTS WITHIN PAVEMENT AREAS.
3. ALL MANHOLES REQUIRE INFLOW PROTECTION.

GENERAL LANDSCAPE NOTE:

IF ANY NEW LANDSCAPE MATERIALS ARE INSTALLED AS PART OF THIS PROJECT THEN SOD ONLY WITH NO SHRUBS AND/OR TREES ARE TO BE INSTALLED WITHIN 5' OF ANY WATER METER AND WITHIN 7.5' OF ANY FIRE HYDRANT. TREES CANNOT BE INSTALLED WITHIN 10' OF A MUD WATER OR FORCE MAIN WITHOUT PRIOR PBCWUD APPROVAL AND THE INSTALLATION OF A ROOT BARRIER. ALSO IF ANY EXISTING TREES ARE LESS THAN 10' MINIMUM OF ANY NEW WATER OR FORCE MAIN A ROOT BARRIER IS REQUIRED TO BE INSTALLED OR TREE RELOCATED/REMOVED.

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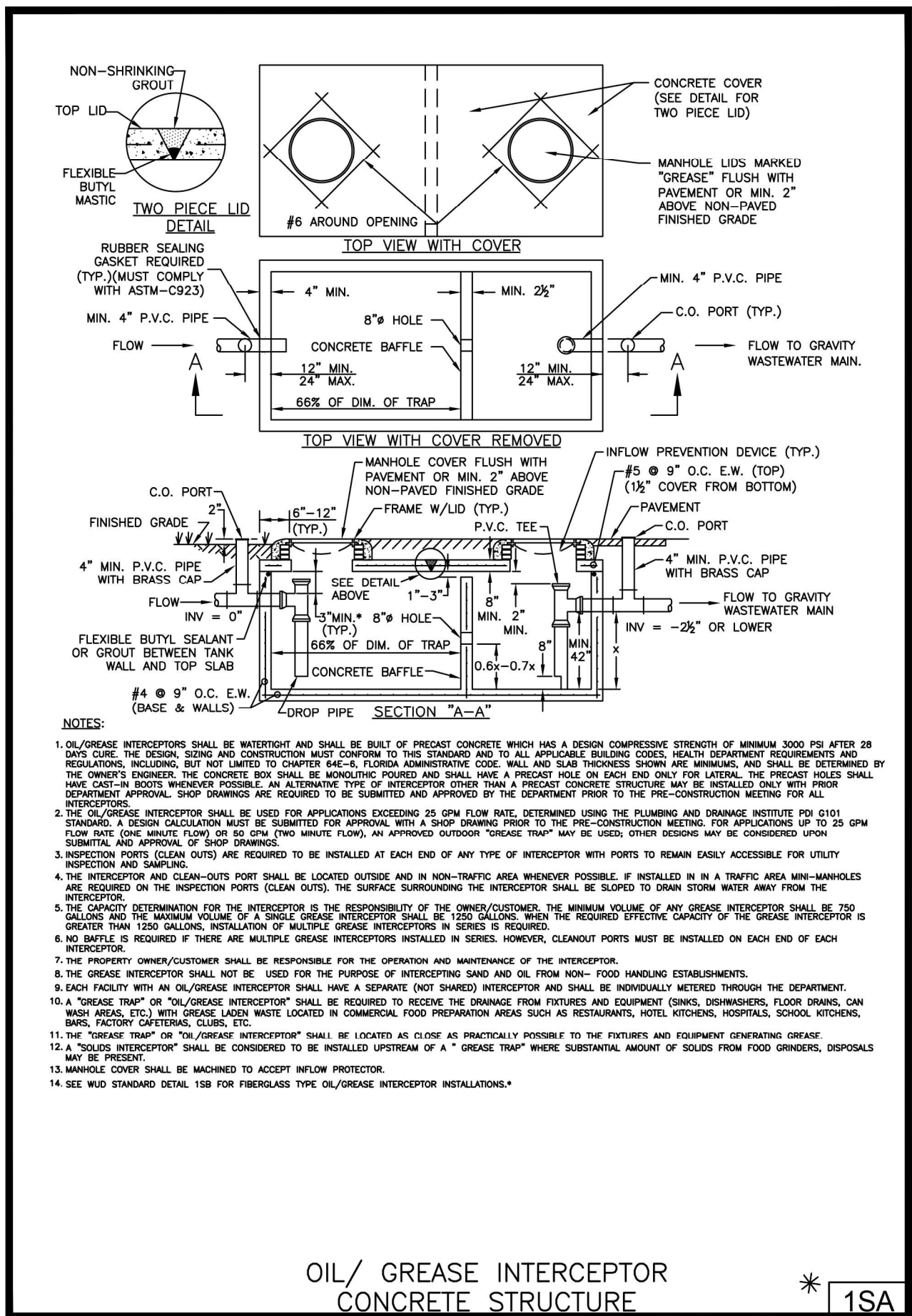
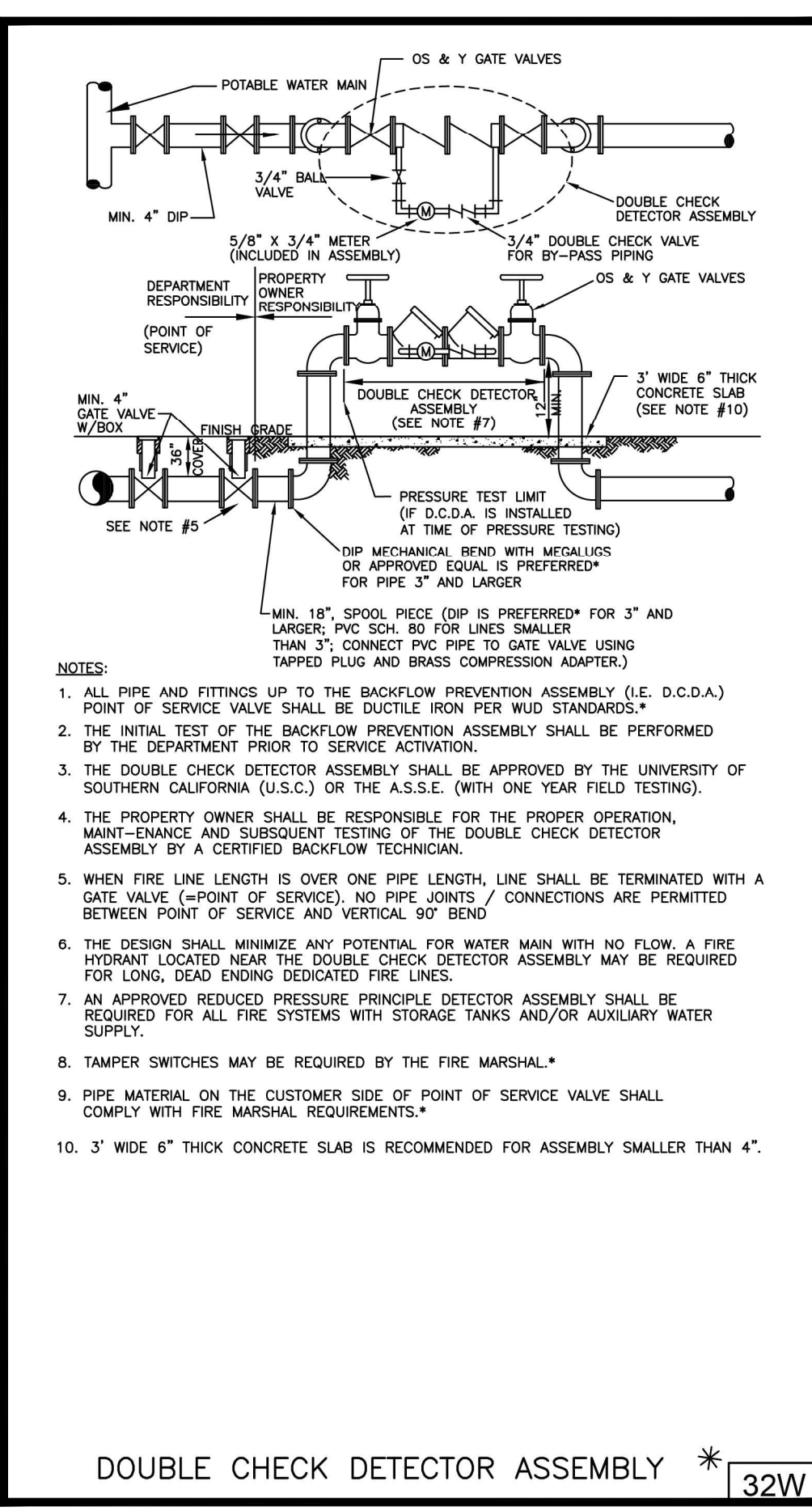
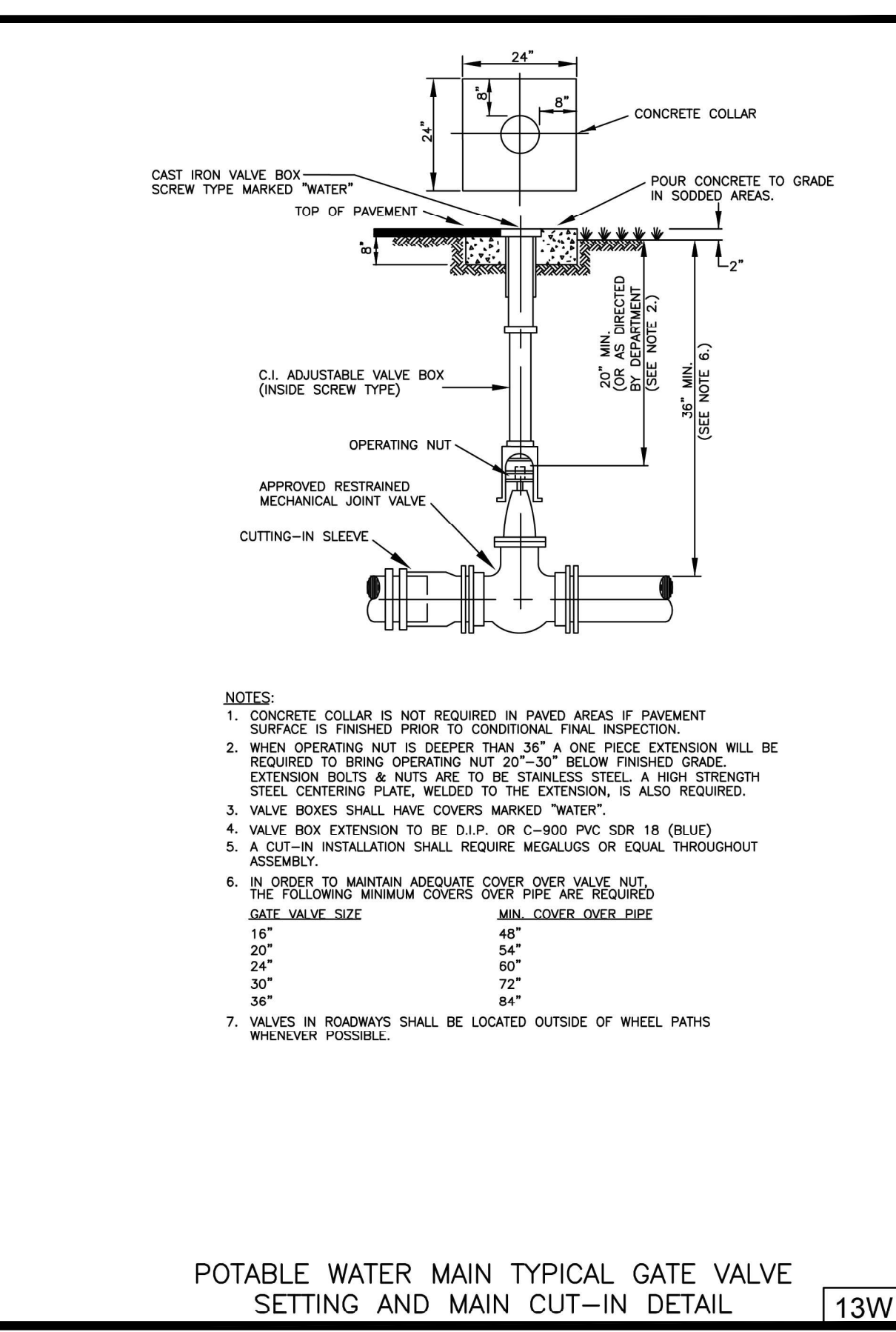
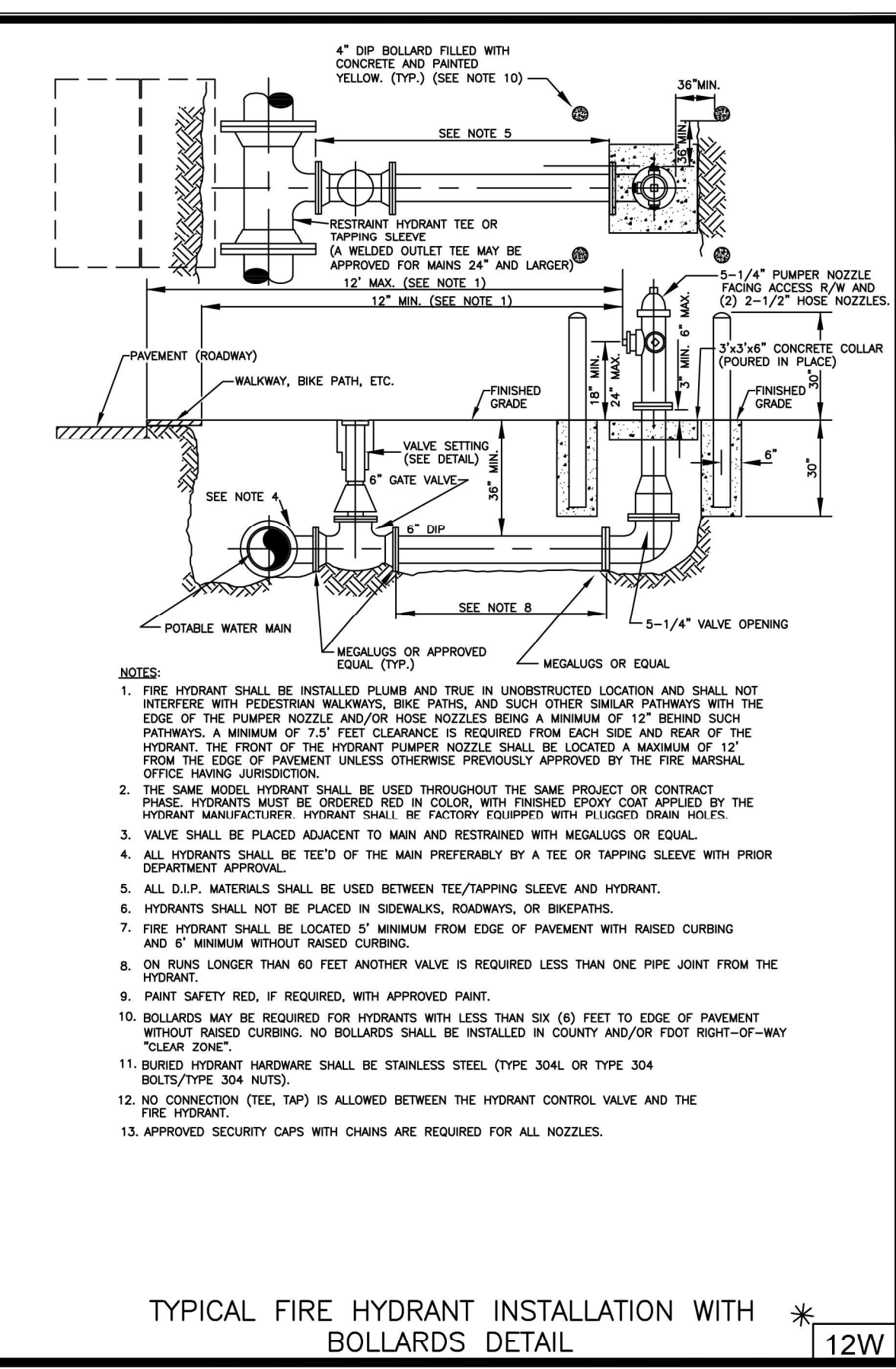
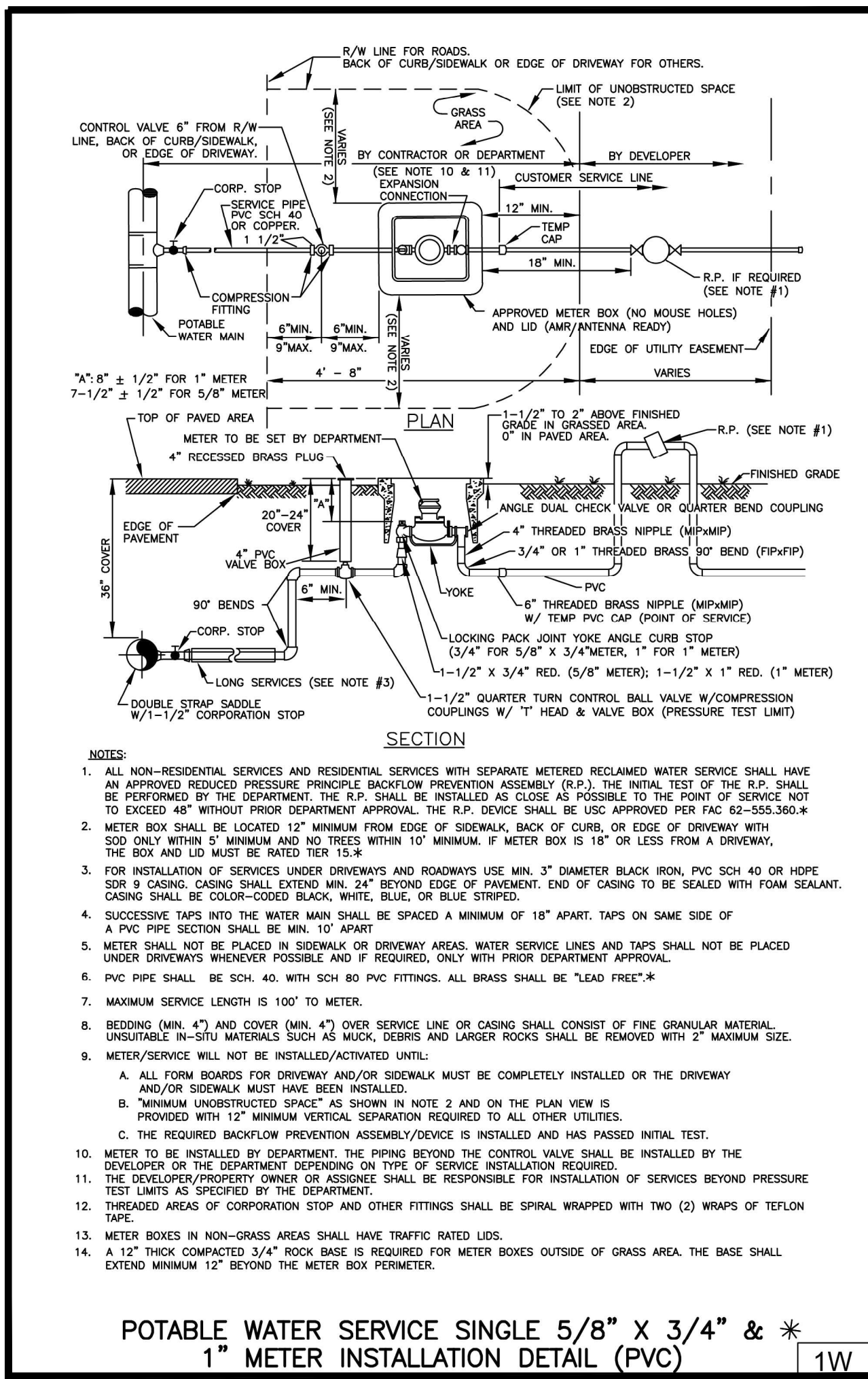
TWIGGS ACADEMY
829 SILVER BEACH ROAD
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SHEET NUMBER		
CE4		
DATE DRAWN JULY 2025		

WATER AND SEWER PLAN



REV.	DESCRIPTION	DATE
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SEAL

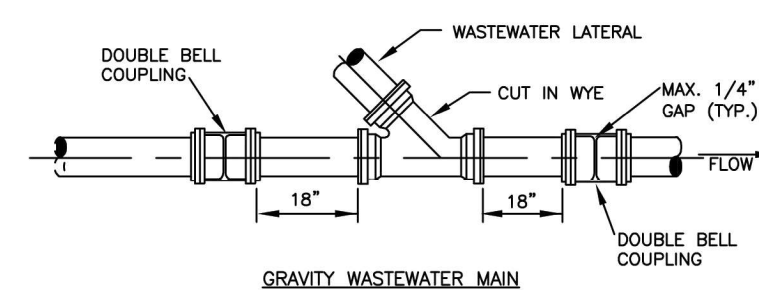
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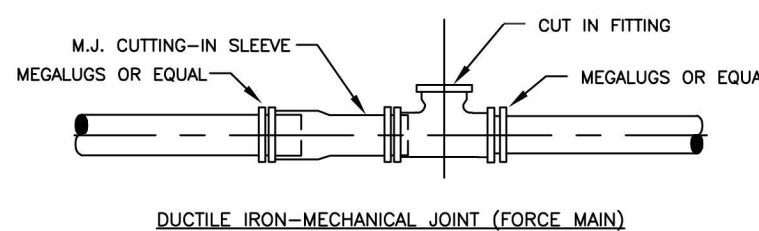
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SCALE:

DES.	DWN.	CHK.
SHEET NUMBER		
CE5		
DATE DRAWN MARCH 2026		

WATER AND SEWER DETAILS



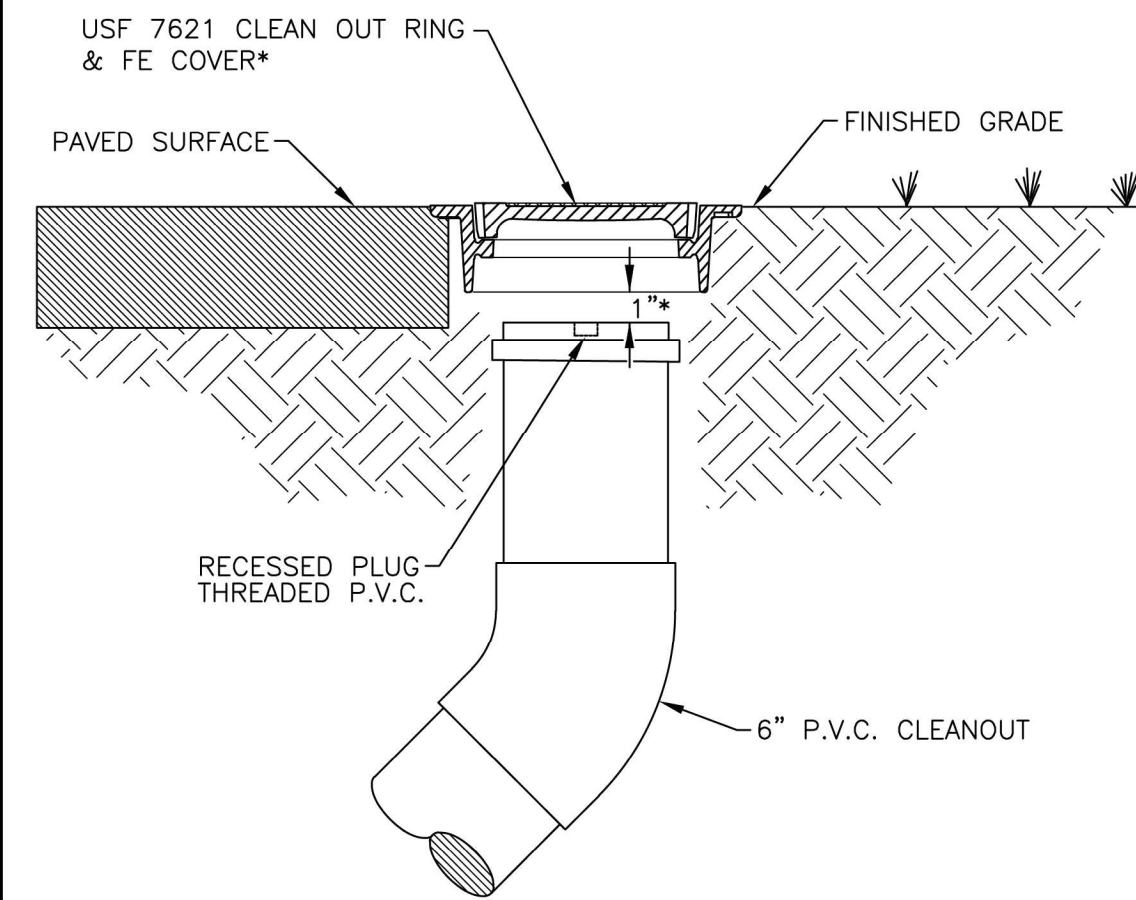
NOTE:
DUCTILE IRON FITTINGS (WYE, TEE, SLEEVES) ARE REQUIRED FOR DUCTILE IRON AND/OR C-900 PVC MAIN.



NOTE:
MEGALUGS OR EQUAL ARE REQUIRED THROUGHOUT ASSEMBLY.

WASTEWATER SYSTEM STANDARD CUT-IN DETAILS

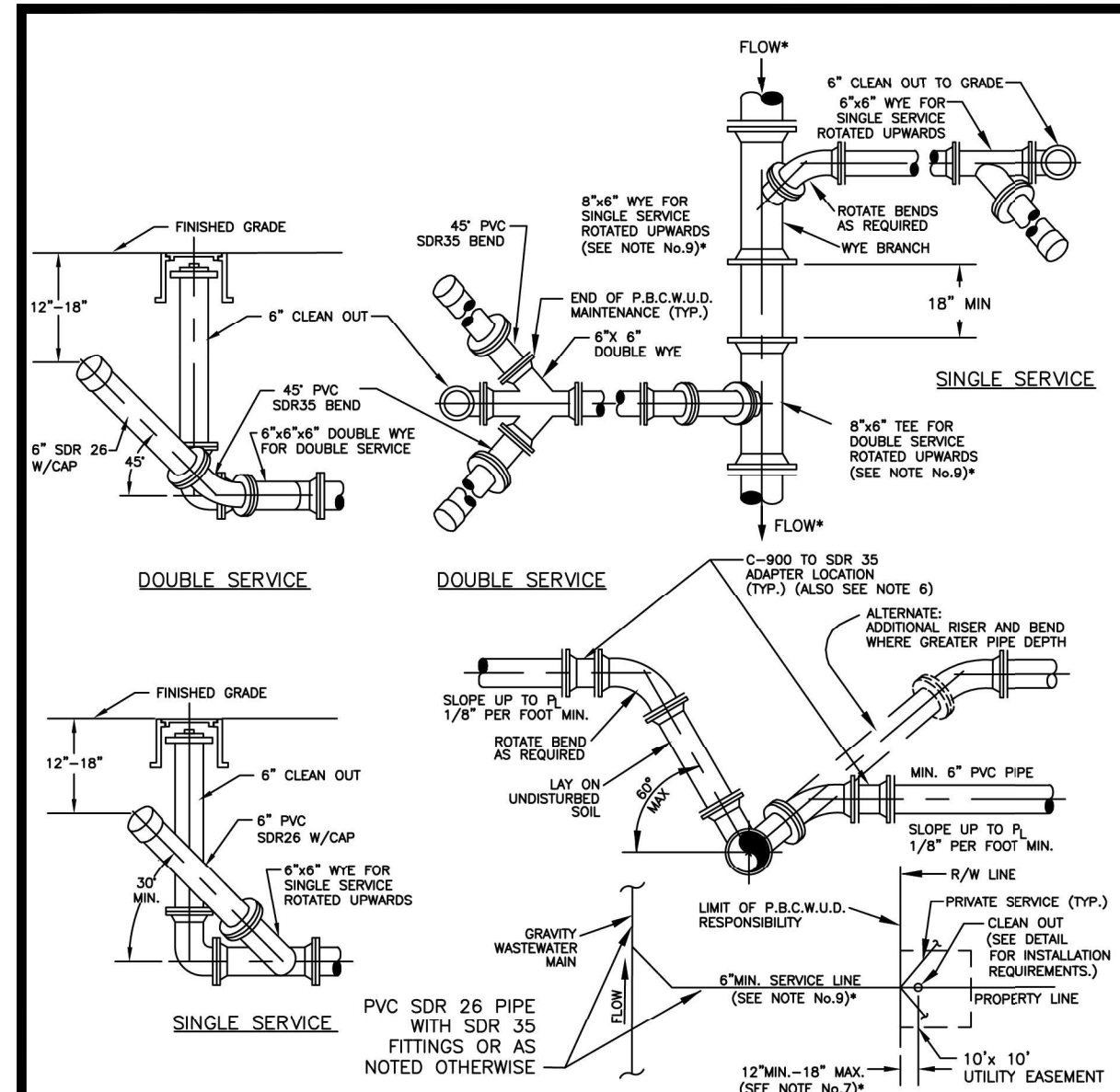
9S



- CLEANOUTS TO BE LOCATED IN GRASS AREA WHENEVER POSSIBLE WITH A MINIMUM OF THREE (3) FEET FROM EDGE OF PAVEMENT, BACK OF CURB, EDGE OF DRIVEWAY, AND TRANSFORMERS ON RESIDENTIAL AND NON-RESIDENTIAL LOTS UNLESS LOTS ARE ASSOCIATED WITH TOWNHOME OR ZERO LOT LINE LOTS. ON ZERO LOT LINE LOTS THE MINIMUM DIMENSION SHALL BE ONE (1) FOOT INSTEAD OF THREE (3) FOOT MINIMUM UNLESS OTHERWISE APPROVED BY THE DEPARTMENT.*
- CLEANOUTS SHALL NOT BE INSTALLED IN TRAFFIC LANES OR AREAS UNDER HEAVY TRAFFIC LOADS.
- THE COVER TO BE MARKED "S".
- CLEANOUTS TO BE INSTALLED PRIOR TO WATER METER RELEASE.
- THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR CLEANOUT INSTALLATION PRIOR TO WATER METER INSTALLATION AS SPECIFIED BY THE DEPARTMENT.
- A CONCRETE COLLAR MAY BE REQUIRED IF CLEANOUT IS LOCATED BETWEEN DRIVEWAYS. SPECIAL CONSTRUCTION DETAIL WILL BE REQUIRED.
- ALONG STREETS WITH ADJACENT NON-EXCLUSIVE UTILITY EASEMENT, THE CLEANOUTS ENDING P.B.C.W.U.D. MAINTENANCE RESPONSIBILITY SHALL BE INSTALLED MIN. 12", MAX. 18" INTO THE EASEMENT.

TYPICAL CLEANOUT INSTALLATION

* 11SA



NOTES:

- MIN. 3' AND 5' MAX. DEPTH IS REQUIRED, UNLESS PLANS SHOW OTHERWISE, FOR SERVICE LATERAL WYE AT THE CLEAN OUT ENDING P.B.C.W.U.D. OWNERSHIP AND MAINTENANCE RESPONSIBILITY.
- CLEAN OUT IS TO BE INSTALLED PER DEPARTMENT STANDARDS PRIOR TO WATER METER INSTALLATION.
- WASTEWATER MAIN WYE BRANCH TO MATCH MAIN PIPE MATERIAL.
- CLEAN OUTS DESIGNATING THE END OF THE DEPARTMENT'S MAINTENANCE RESPONSIBILITY SHALL BE LOCATED WITHIN AN UTILITY EASEMENT OR RIGHT-OF-WAY DESIGNATED FOR UTILITIES.
- THE DEVELOPER/PROPERTY OWNER OR ASSIGNEE SHALL BE RESPONSIBLE FOR CLEAN OUT INSTALLATION PRIOR TO WATER METER INSTALLATION AS SPECIFIED BY THE DEPARTMENT.
- SEE MINIMUM SEPARATION STATEMENT FOR P.V.C. C-900 SDR 18 PIPE MATERIAL REQUIREMENTS AT WASTEWATER LATERAL/POTABLE WATER MAIN CROSSINGS.
- ALONG STREETS WITH ADJACENT NON-EXCLUSIVE UTILITY EASEMENT, THE CLEANOUT ENDING P.B.C.W.U.D. MAINTENANCE RESPONSIBILITY SHALL BE INSTALLED 12" MIN. TO 18" MAX. INTO THE UTILITY EASEMENT.*
- MIN. 3' HORIZONTAL SEPARATION MUST BE MAINTAINED BETWEEN CLEANOUTS AND EDGE OF PAVEMENT, BACK OF CURB, EDGE OF DRIVEWAY, LIGHTPOLES, TRANSFORMERS, POWER POLES.
- GRAVITY SEWER MAINS ARE 8" DIAMETER WITH ALL SEWER LATERAL CONNECTIONS TO A GRAVITY SEWER MAINS REQUIRED TO BE 6" DIAMETER IN SIZE UNLESS OTHERWISE PREVIOUSLY APPROVED BY THE DEPARTMENT.

TYPICAL WASTEWATER SERVICE CONNECTION

* 12S

DEFINITIONS GENERAL NOTES

- DEPARTMENT - THE PALM BEACH COUNTY WATER UTILITIES DEPARTMENT.
 - CONTRACTOR - UTILITY CONTRACTOR AND ALL UTILITY SUBCONTRACTORS.
 - ENGINEER - ENGINEER RESPONSIBLE FOR INSPECTION AND CERTIFICATION.
- PROCEDURE
- A PRE-CONSTRUCTION MEETING IS TO BE HELD PRIOR TO DELIVERY OF MATERIALS AND INITIATION OF ANY POTABLE WATER, RECLAIMED WATER AND/OR WASTEWATER SYSTEM CONSTRUCTION. THE MEETING SHALL BE ATTENDED BY THE DEPARTMENT, CONTRACTOR, ENGINEER AND OTHER INTERESTED PARTIES.
 - ANY REVISIONS TO THE APPROVED PLANS SHALL BE CALLED TO THE ATTENTION OF THE DEPARTMENT PRIOR TO THE PRE-CONSTRUCTION MEETING. REVISED PLANS MUST BE APPROVED PRIOR TO THE MEETING.
 - FIVE (5) COPIES OF THE CURRENT APPROVED MATERIAL LIST AND ALL NECESSARY SHOP DRAWINGS SHALL BE SUBMITTED FOR APPROVAL PRIOR TO SCHEDULING OF THE PRE-CONSTRUCTION MEETING.
 - ALL APPLICABLE PERMITS MUST BE OBTAINED PRIOR TO PRECONSTRUCTION MEETING (DOT, HEALTH DEPARTMENT, COUNTY ENGINEER, ETC.).
 - THE CONTRACTOR SHALL MAINTAIN A CURRENT APPROVED SET OF CONSTRUCTION PLANS ON JOB SITE.
 - ALL MATERIALS SUPPLIED SHALL CONFORM TO PRODUCT LIST AND SHOP DRAWINGS AS APPROVED PRIOR TO CONSTRUCTION. SUBSTITUTE MATERIALS SHALL NOT BE APPROVED AFTER DELIVERY TO THE JOB SITE. ALL REQUESTS FOR MATERIAL SUBSTITUTION SHALL BE APPROVED PRIOR TO DELIVERY OF THESE MATERIALS TO THE JOB SITE.
 - THE LOCATIONS OF EXISTING UTILITIES SHOWN ON THE APPROVED PLANS ARE TO BE VERIFIED IN THE FIELD BY THE CONTRACTOR. APPROVAL OF DEVELOPMENT PLANS BY THE DEPARTMENT IN NO WAY IMPLIES VERIFICATION OF THE ACCURACY OF THOSE PLANS OR FEATURES DEPICTED THEREON. ANY DISCREPANCY IN OR VARIATION FROM THE APPROVED PLANS IS TO BE BROUGHT TO THE ATTENTION OF THE DEPARTMENT BY THE ENGINEER AND CONTRACTOR. THE CONTRACTOR SHALL CONFIRM AND INSTALL (IF NECESSARY) ADEQUATE MECHANICAL PIPE / JOINT RESTRAINT ON EXISTING PIPES PRIOR TO CONNECTION.
 - THE CONTRACTOR SHALL BE RESPONSIBLE AT ALL TIMES THROUGHOUT THE DURATION OF CONSTRUCTION FOR THE PROTECTION OF EXISTING AND NEWLY INSTALLED UTILITIES FROM DAMAGE OR DISRUPTION OF SERVICE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR TAKING SUCH MEASURES AS NECESSARY TO PROTECT THE HEALTH, SAFETY AND WELFARE OF THOSE PERSONS HAVING ACCESS TO THE WORK SITE.
 - THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING LOCATIONS FROM ALL OTHER UTILITY FACILITIES.
 - THE CONTRACTOR OR ENGINEER SHALL SCHEDULE INSPECTIONS AND TESTS A. MINIMUM OF 24-48 HOURS IN ADVANCE.
 - NO CONNECTION TO OR ANY OTHER CONSTRUCTION SHALL BE PERFORMED ON AN EXISTING DEPARTMENT OWNED OR MAINTAINED MAIN OR STRUCTURE WITHOUT THE PRESENCE OF A DEPARTMENT INSPECTOR.
 - FACILITIES PROPOSED HEREIN SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE APPROVED PLANS AND THE DEPARTMENT'S MINIMUM STANDARDS. CONFLICTS BETWEEN THE PRECEDING DOCUMENTS SHOULD BE CALLED TO THE ATTENTION OF THE DEPARTMENT FOR RESOLUTION. DEVIATIONS FROM THE APPROVED PLANS MUST BE APPROVED IN ADVANCE BY THE DEPARTMENT.
 - UPON COMPLETION OF CONSTRUCTION, A FINAL INSPECTION SHALL VERIFY PROPER ADHERENCE TO ALL FACETS OF THE PLANS AND SPECIFICATIONS.

PRESSURE PIPE NOTES

- THERE SHALL BE 36" MINIMUM COVER FROM FINISHED GRADE TO TOP OF PIPE.
 - DUCTILE IRON PIPE (DIP) THICKNESS SHALL CONFORM TO THE DEPARTMENT'S APPROVED MATERIAL LIST. POTABLE WATER AND RECLAIMED WATER MAINS DIP SHALL BE CEMENT LINED. FORCE MAIN DIP SHALL BE CERAMIC EPOXY LINED.
 - PVC PRESSURE PIPE SHALL BE C-900, SDR-18, 150 PSI.
 - ALL FITTINGS SHALL BE DUCTILE IRON WITH MECHANICAL JOINTS AND CEMENT OR APPROVED EPOXY LINING.
 - POTABLE WATER, RECLAIMED WATER AND WASTEWATER FORCE MAIN VALVES 10 INCHES AND SMALLER SHALL BE RESILIENT SEAT GATE VALVES. TWELVE-INCH (12") OR LARGER FORCE MAIN VALVES SHALL BE RESILIENT SEAT GATE VALVES OR COCKING PLUG VALVES (IF APPROVED IN ADVANCE BY DEPARTMENT). POTABLE WATER AND RECLAIMED WATER MAIN VALVES LARGER THAN 10 INCHES SHALL BE BUTTERFLY VALVES.
 - ALL TRENCHING, PIPE-LAYING, BACKFILL, PRESSURE TESTING, AND DISINFECTION MUST COMPLY WITH ALL APPLICABLE FEDERAL, STATE, COUNTY AND HEALTH DEPARTMENT STANDARDS AND REGULATIONS.
- GRAVITY SEWER NOTES
- MANHOLES AND OTHER CASTINGS SHALL BE INSPECTED BY THE DEPARTMENT BEFORE PLACEMENT AND BEFORE APPLICATION OF THE CORROSION BARRIER SYSTEM (IF APPLICABLE).
 - ALL OPENINGS IN PRECAST MANHOLES SHALL BE CAST AT TIME OF MANUFACTURE OR CORED IN FIELD.
 - ALL MANHOLES SHALL BE SET PLUMB TO LINE AND GRADE, AND SHALL REST ON A FIRM CAREFULLY GRADED SUBGRADE, WHICH SHALL PROVIDE UNIFORM BEARING UNDER BASE.
 - PVC WASTEWATER GRAVITY PIPE SHALL CONFORM TO ASTM D-3034, SDR 26 WITH PVC SDR 35 FITTINGS, OR PVC C-900 SDR 18, PIPE AND FITTINGS, WITH PUSH-ON RUBBER GASKET JOINTS.
 - D.I.P. GRAVITY SEWER PIPE SHALL BE PRESSURE CLASS 350, EPOXY LINED.
 - THE COMPLETED GRAVITY WASTEWATER SYSTEM SHALL BE INSPECTED BY THE DEPARTMENT TO VERIFY ALIGNMENT AND INTEGRITY. THERE SHALL BE NO LEAKAGE. ALL MAINS SHALL BE LAMPED, SHOWING A FULL CIRCLE OF LIGHT. DURING THESE INSPECTIONS, THE MAIN SHALL BE CLEAN AND DRY.

DATE	DESCRIPTION	REV.
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		5

IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

SEAL

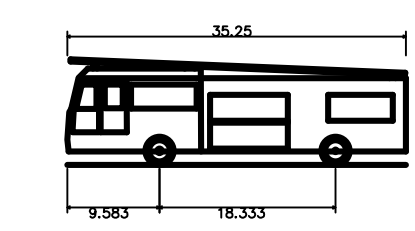
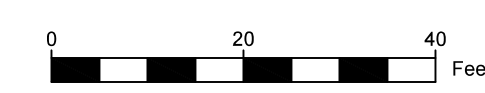
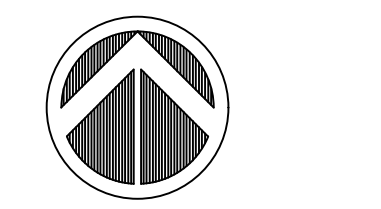
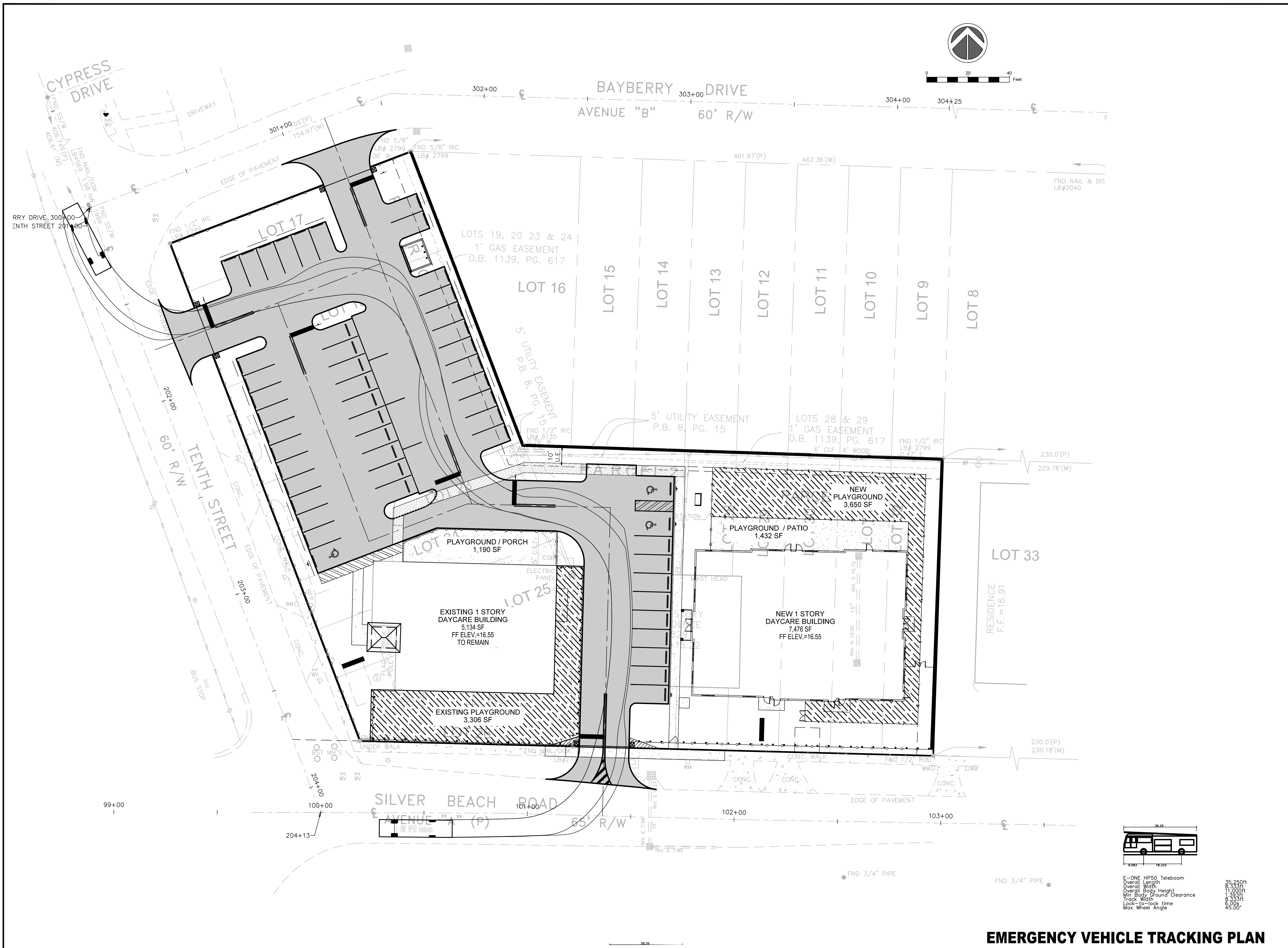
TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

ATLANTIC ENGINEERING SERVICES, INC.
2822 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO.
SCALE:

DES.	DWN.	CHK.
SHEET NUMBER		
CE5		
DATE DRAWN MARCH 2026		

WATER AND SEWER DETAILS



E-ONE HP50 Teleboom
 Overall Length 35.250ft
 Overall Width 8.333ft
 Overall Body Height 11.000ft
 Min Body Ground Clearance 1.333ft
 Track Width 8.333ft
 Lock-to-lock Time 6.000
 Max Wheel Angle 45.00°

EMERGENCY VEHICLE TRACKING PLAN

REV.	DESCRIPTION	DATE
1		
2		
3		
4		
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IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA

SEAL

TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

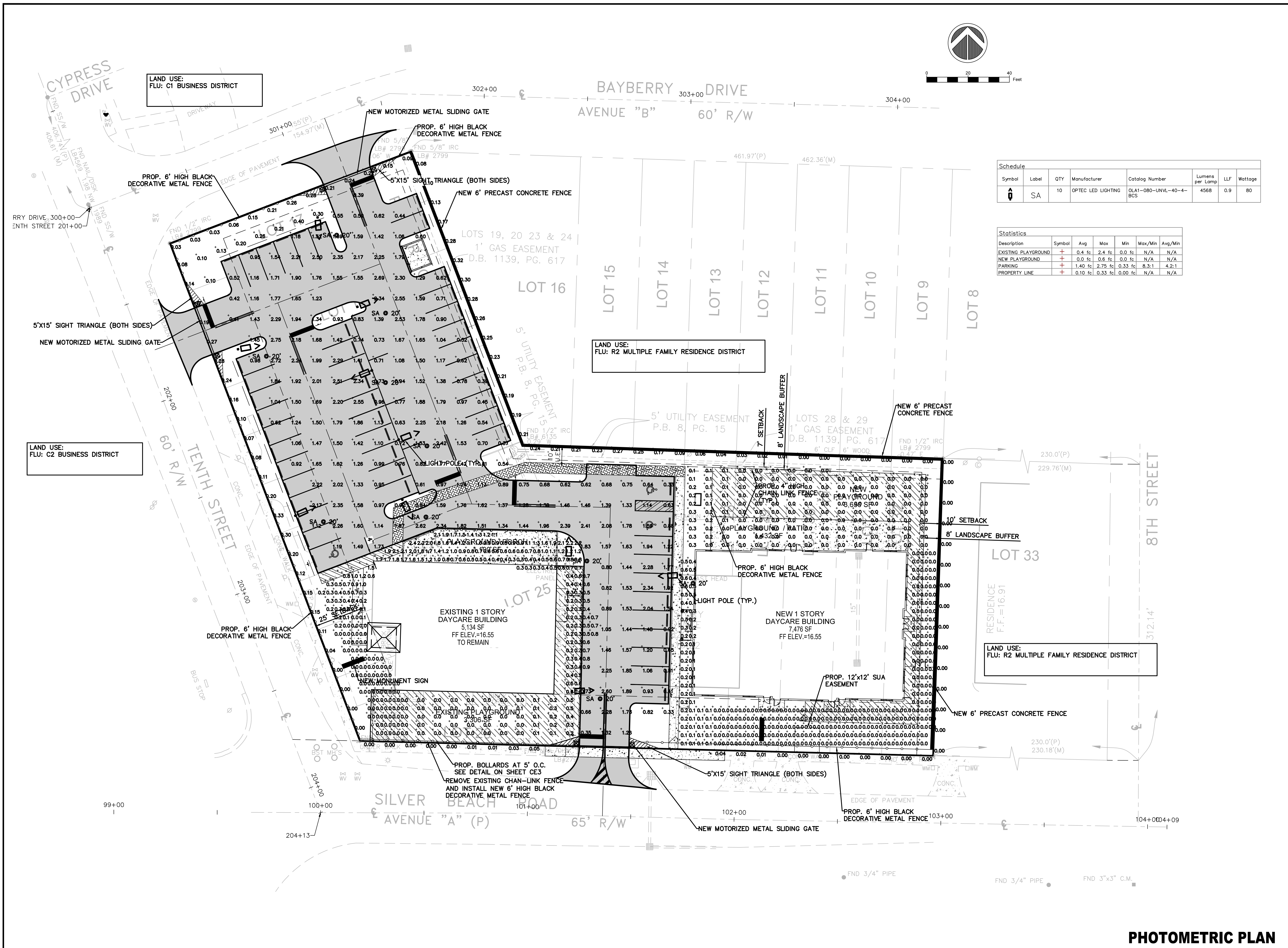
ATLANTIC ENGINEERING SERVICES, INC.
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PROJ. NO.
 SCALE:

DES.	DWN.	CHK.

SHEET NUMBER
CE7a

DATE DRAWN
 OCT 2025



REV.	DESCRIPTION	DATE
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IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

TWIGGS ACADEMY
829 SILVER BEACH ROAD
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PHONE - (561) 358-4140
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CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO.
SCALE:

DES.	DWN.	CHK.

SHEET NUMBER
PH1
DATE DRAWN
JULY 2025

PHOTOMETRIC PLAN

REVO LIGHTING

SPARTAN LED AREA LIGHTER

Client: _____
Order #: _____
Project: _____
Type: _____



PERFORMANCE DATA

EFFICACY
134 - 164 Lumens per Watt (LPW)

CCT/CRI
30K, 40K, 50K, 70+ CRI

RATED LIFE
>100,000 Hours (L70)

LUMEN OUTPUT
Lumen Output Ranges from 6,500 to 60,000 Lumens

OPERATING TEMPS
-40°C to +45°C Ambient (40°C for 400W)

WARRANTY
5 Year Standard
10 Year Extended with Labor

FEATURES

- Wide variety of options for power and CCT selections to meet your application requirements more easily.
- Four optical distributions to put the light where you need it most without wasted light and energy.
- Available control options for both dusk to dawn operation and Bi-level occupancy to save energy while still meeting security and safety lighting levels.
- 134,000 hours to reach a 70% lumen maintenance ensures that this long lasting fixture will operate for years maintenance free.
- Dark Sky compliant options available.

CONSTRUCTION & ELECTRICAL

- Rugged Die Cast one piece aluminum housing.
- TAA assembly options available.
- Flexible mounting options to suit your project.
- Low profile, 3G rated design reduces wind loading requirements.
- Universal 120-277VAC 50/60 Hz or 347-480VAC input voltage options.
- 0-10V Dimming (10%-100%) Driver
- Standard Surge Protection
 - 20kV - (120-277VAC)
 - 20kV - (347-480VAC)
- Power Factor > 0.9
- THD < 2.0%

ORDERING INFORMATION

SPARTAN SERIES	SIZE	WATTAGE	CCT	OPTICAL DISTR.	VOLTAGE	DRIVER FEATURES	FINISH	PHOTOCELL	CONTROLS	MOUNTING ACCESSORIES	SHIELDING	BUY AMERICA	WARRANTY
SPARTAN LED Area Lighter													

FIXTURE SERIES

VOLTAGE

DRIVER FEATURES

FINISH

PHOTOCELL

CONTROLS

MOUNTING ACCESSORIES

SHIELDING

BUY AMERICA

WARRANTY

REVO LIGHTING

SPARTAN LED AREA LIGHTER

MOUNTING ACCESSORIES

APB - Arm Pole Bracket
Flange and 4 inch Round and Square base mounting options.

SFF - Slip Filter for 2 1/4 in Tenon
Allows for angle adjustment and installation into existing 2 1/4 inch pole top adapters.

WMB - Wall Mount Bracket
Wall mount is easy to install for direct wall mounting with 1/2 inch tenon or standard 2 inch tenon.

YMK - Yoke Mount
Wall mount is easy to install for direct wall mounting with 1/2 inch tenon or standard 2 inch tenon.

AAPB - Adjustable Arm Bracket
Die cast aluminum pole mount easily adjusts to accommodate any pole size for retrofitting existing lighting to new arm type (40°C F70).

APB/AAPB - MOUNTING DIAGRAMS

Drilling Template

Dimension unit: inch/mm

BUY AMERICA
Standard Production and Assembly

TAA Trade America Act Compliant (each Component)

REVO LIGHTING

SPARTAN LED AREA LIGHTER

STRUCTURAL DESIGN

ACCESSORIES (Optional)

Spartan comes features a backlight control which provides reduced pilation and increased visual comfort without compromising performance. External Glare Shield: sold separately or as an accessory.

Back Light Glare Shield

Full View Glare Shield

Plug-and-Play PIR Sensor

Plug-and-Play Microwave Sensor

120-277V PIR Sensor

NEMA Protocol

Back Light Control Shield

RTSP - Round Tapered Steel Poles

PROJECT NAME: _____ GENERATION DATE: 4/23/2026

CATALOG NUMBER: RTSP20 - 6.5 - 11 - KZ13 - 2

A - POLE SHAFT
The pole shaft is one or two section design and constructed of weldable grade hot rolled commercial quality carbon steel with a guaranteed minimum yield strength of 55,000 psi after cross-section having a uniform taper of 0.14 inches of diameter change per foot of length.

B - MOUNTING DESIGNATION
2 3/8" x 4" TENON

C - FINISH
K-KLAD Over Galvanizing - In areas where superior performance is required, K-KLAD powder coating applied over hot dip galvanized steel provides an additional surface barrier, encapsulating the cathodic protective zinc surface.

D - HAND HOLE
An oval reinforced gasketed handhole is located 1'-0" above base with a grounding provision located inside the ring.

E - BASE PLATE
The anchor base is fabricated from structural quality hot rolled carbon steel plate that meets or exceeds a minimum yield strength of 36,000 psi. All welds are performed in accordance with AWS D1.1, latest edition.

F - ANCHOR BOLTS
Anchor bolts are of commercial quality hot rolled carbon steel that meets or exceeds yield strength of 55,000 psi. Four properly sized anchor bolts come with all poles unless otherwise specified. Anchor bolts have the threaded end galvanized a minimum of 8 inches per ASTM A153.

COMMENTS

AREA LIGHTING

RTSP (Round Tapered Steel Pole) | PAGE 02 P

REVO LIGHTING

SPARTAN LED AREA LIGHTER

ADDITIONAL MOUNTING ACCESSORIES

POLE BRACKET - For mounting on fixed or existing pole

WALL BRACKET - Attached to any flat surface

Round External Mount Horizontal Tenon - To mount 2 3/8" fixtures on a existing pole

PERFORMANCE DATA

SETTING	SYSTEM WATTS	DIST. TYPE	CRI	SPARTAN 100W			
				LUMENS	LPW	LUMENS	LPW
100%	100W	100%	90	2 70 14500lm	145 lm/W	15800lm	158 lm/W
				3 70 14500lm	145 lm/W	15800lm	158 lm/W
				4 70 14500lm	145 lm/W	15800lm	158 lm/W
				5 70 15100lm	151 lm/W	16000lm	160 lm/W
				2 70 15000lm	150 lm/W	16300lm	163 lm/W

SPARTAN 140W

SPARTAN 180W

REVO LIGHTING

SPARTAN LED AREA LIGHTER

PERFORMANCE DATA

SETTING	SYSTEM WATTS	DIST. TYPE	CRI	SPARTAN 140W			
				LUMENS	LPW	LUMENS	LPW
100%	140W	100%	90	2 70 20000lm	147 lm/W	23000lm	164 lm/W
				3 70 20000lm	147 lm/W	23000lm	164 lm/W
				4 70 21000lm	150 lm/W	23500lm	169 lm/W
				3 70 18000lm	150 lm/W	20000lm	147 lm/W
				4 70 18000lm	150 lm/W	20000lm	147 lm/W

SPARTAN 190W

REVO LIGHTING

SPARTAN LED AREA LIGHTER

Client: _____
Order #: _____
Project: _____
Type: _____



PERFORMANCE DATA

EFFICACY
134 - 164 Lumens per Watt (LPW)

CCT/CRI
30K, 40K, 50K, 70+ CRI

RATED LIFE
>100,000 Hours (L70)

LUMEN OUTPUT
Lumen Output Ranges from 6,500 to 60,000 Lumens

OPERATING TEMPS
-40°C to +45°C Ambient (40°C for 400W)

WARRANTY
5 Year Standard
10 Year Extended with Labor

ORDERING INFORMATION

SPARTAN SERIES	SIZE	WATTAGE	CCT	OPTICAL DISTR.	VOLTAGE	DRIVER FEATURES	FINISH	PHOTOCELL	CONTROLS	MOUNTING ACCESSORIES	SHIELDING	BUY AMERICA	WARRANTY
SPARTAN LED Area Lighter													

FIXTURE SERIES

VOLTAGE

DRIVER FEATURES

FINISH

PHOTOCELL

CONTROLS

MOUNTING ACCESSORIES

SHIELDING

BUY AMERICA

WARRANTY

REVO LIGHTING

SPARTAN LED AREA LIGHTER

BUG #5000K

SYSTEM WATTS	VOLTAGE	DIST. TYPE	B	U	D
100W	120-277V/347-480V	100%	3	3	0
			4	3	0
			5	4	0
			2	3	0
			3	4	0

ELECTRICAL DATA

Number Of Drivers	Driver Current (mA)	Nominal Power (W)	INPUT VOLTAGE (V)	CURRENT (amps)
1	850	100	100	0.83
			100	0.48
			100	0.42
			100	0.36
			100	0.29

REVO LIGHTING

SPARTAN LED AREA LIGHTER

POWERED BY ESPEN

REVO LIGHTING

SPARTAN LED AREA LIGHTER

POWERED BY ESPEN

REVO LIGHTING

SPARTAN LED AREA LIGHTER

POWERED BY ESPEN

REVO LIGHTING

SPARTAN LED AREA LIGHTER

POWERED BY ESPEN

DATE

DESCRIPTION

REV.

IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

SEAL

TWIGGS ACADEMY
829 SILVER BEACH ROAD
LAKE PARK, FL

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2822 WATERS EDGE CIRCLE
GREENACRES, FLORIDA 33413
PHONE - (561) 358-4140
FAX - (561) 966-9242
CERTIFICATE OF AUTHORIZATION NO.: 9390

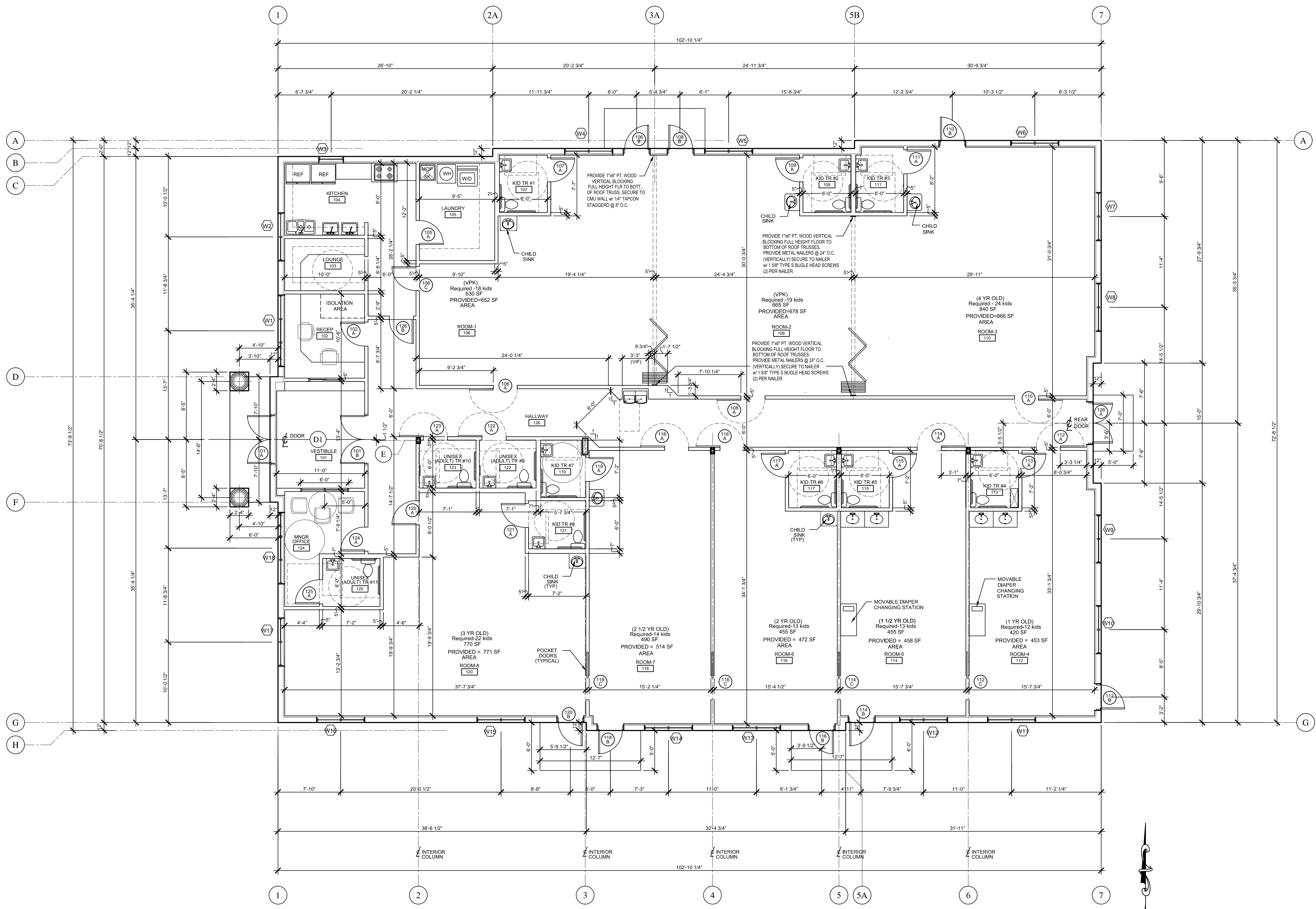
PROJ. NO. _____
SCALE: _____

DES. DWN. CHK.

SHEET NUMBER

PH2

DATE DRAWN
JULY 2025



1 FLOOR PLAN
 SCALE: 3/16" = 1'-0"

REV.	DESCRIPTION	DATE
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IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA

SEAL

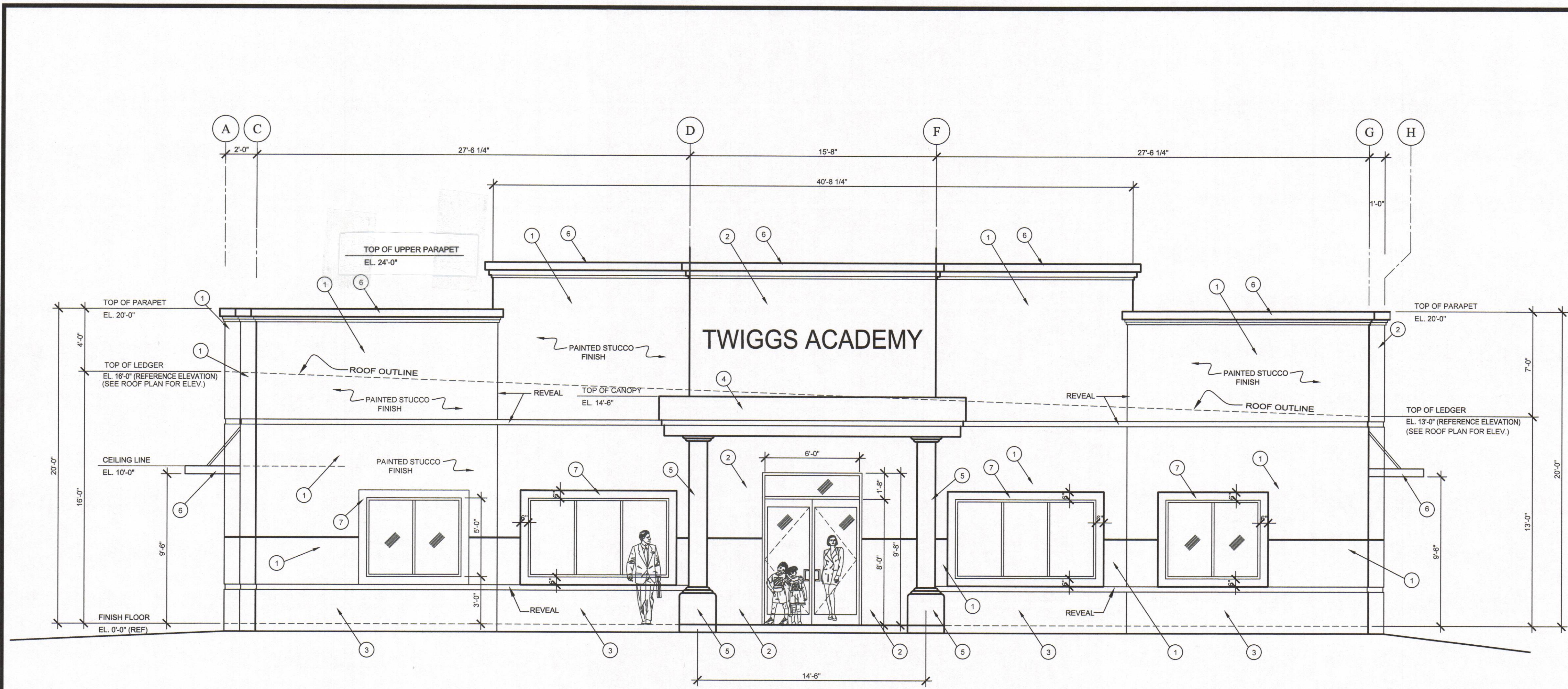
TWIGGS ACADEMY
101 10th STREET
LAKE PARK, 33403

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 GREENWICH, FLORIDA 33413
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PROJ. NO. 0000
 SCALE: AS SHOWN

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DES.	DWN.	CHK.
SHEET NUMBER		
A1		
11/19/2025		
DATE DRAWN		

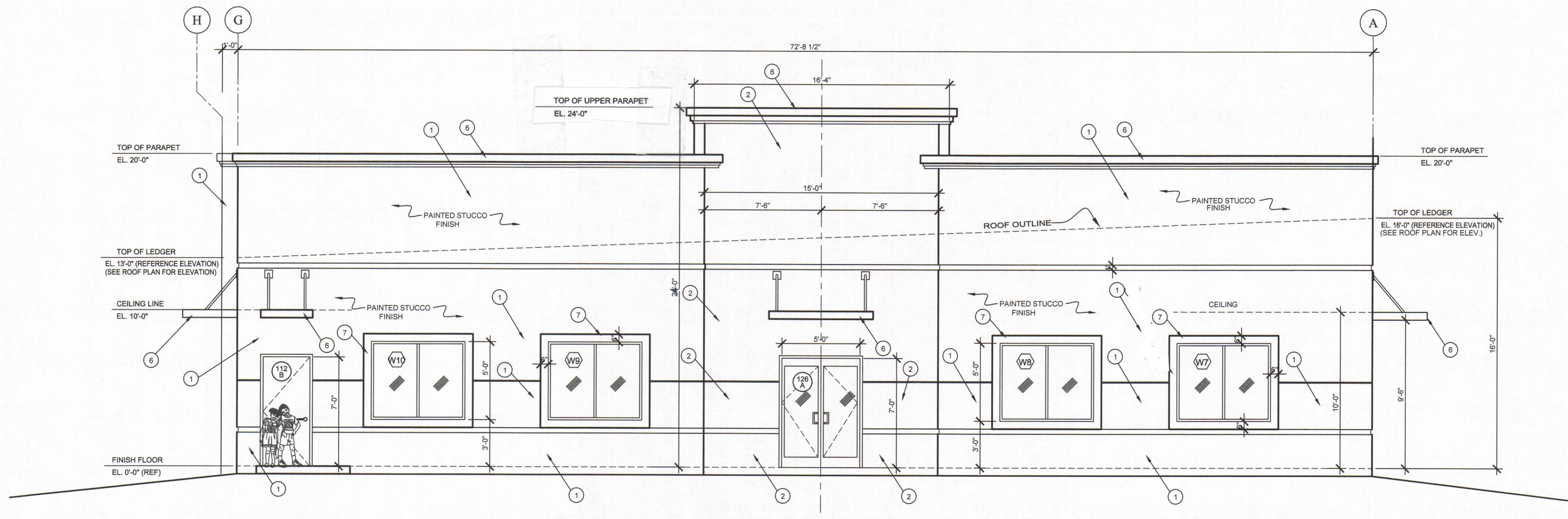
FLOOR PLAN



1 FRONT ELEVATION (WEST)
SCALE: 1/4" = 1'-0"

COLOR LEGEND

1	SW 1666 VENETIAN YELLOW	70%
2	SW 6655 ADVENTURE ORANGE	22%
3	SW 6825 IZMIR PURPLE	9%
4	SW 7076 CYBERSPACE	5%
5	SW 7660 EARL GRAY	6%
6	SW 6258 TRICORN BLACK	5%
7	SW 7006 EXTRA WHITE	3.5%



2 REAR ELEVATION (EAST)
SCALE: 1/4" = 1'-0"

COLOR LEGEND

1	SW 1666 VENETIAN YELLOW	76%
2	SW 6655 ADVENTURE ORANGE	24%
3		0%
4		0%
5		0%
6	SW 6258 TRICORN BLACK	6%
7	SW 7006 EXTRA WHITE	3%

REV.	DESCRIPTION	DATE
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SEAL

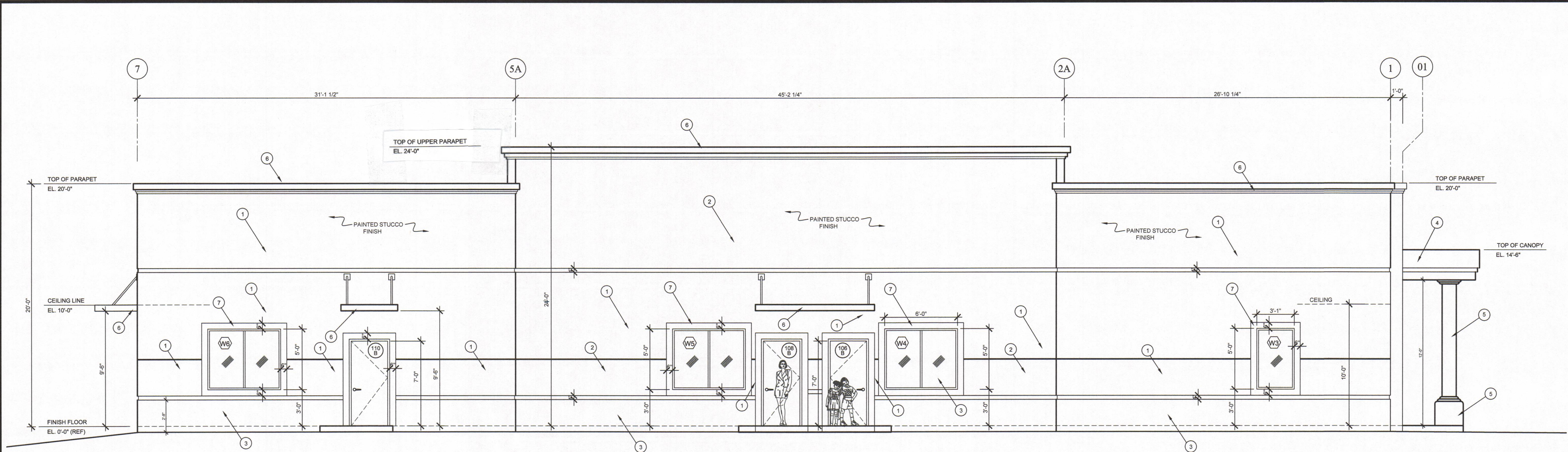
TWIGGS ACADEMY
101 10th STREET
LAKE PARK, 33403

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PHONE - (561) 358-4140
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CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO. 0000
SCALE: AS SHOWN

ddt		
DES.	DWN	CHK
SHEET NUMBER		
A2		
11/19/2025		
DATE DRAWN		

FRONT and REAR ELEVATIONS



1 SIDE ELEVATION (NORTH)
SCALE: 1/4" = 1'-0"

COLOR LEGEND

1	SW 1666 VENETIAN YELLOW-----72%	4	-----0%
2	SW 6655 ADVENTURE ORANGE-----18%	5	-----0%
3	SW 6825 IZMIR PURPLE-----9.5%	6	SW 6258 TRICORN BLACK-----5%
		7	SW 7006 EXTRA WHITE-----2%



2 SIDE ELEVATION (SOUTH)
SCALE: 1/4" = 1'-0"

COLOR LEGEND

1	SW 1666 VENETIAN YELLOW-----78%	4	-----0%
2	SW 6655 ADVENTURE ORANGE-----16%	5	-----0%
3	SW 6825 IZMIR PURPLE-----9.4%	6	SW 6258 TRICORN BLACK-----5%
		7	SW 7006 EXTRA WHITE-----2%

REV	DESCRIPTION	DATE
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IMTIAZ AHMED, P.E.
LICENSED ENGINEER NO. 46102
STATE OF FLORIDA

SEAL

TWIGGS ACADEMY
101 10th STREET
LAKE PARK, 33403

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PHONE - (561) 358-4140
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SIDE ELEVATIONS

PROJ. NO. 0000
SCALE: AS SHOWN

ddt	CHK
DES.	DWN.
SHEET NUMBER	
A3	
11/19/2025 DATE DRAWN	



Twiggs Academy
829 Silver Beach Road
Lake Park, FL 33403

Date Created:
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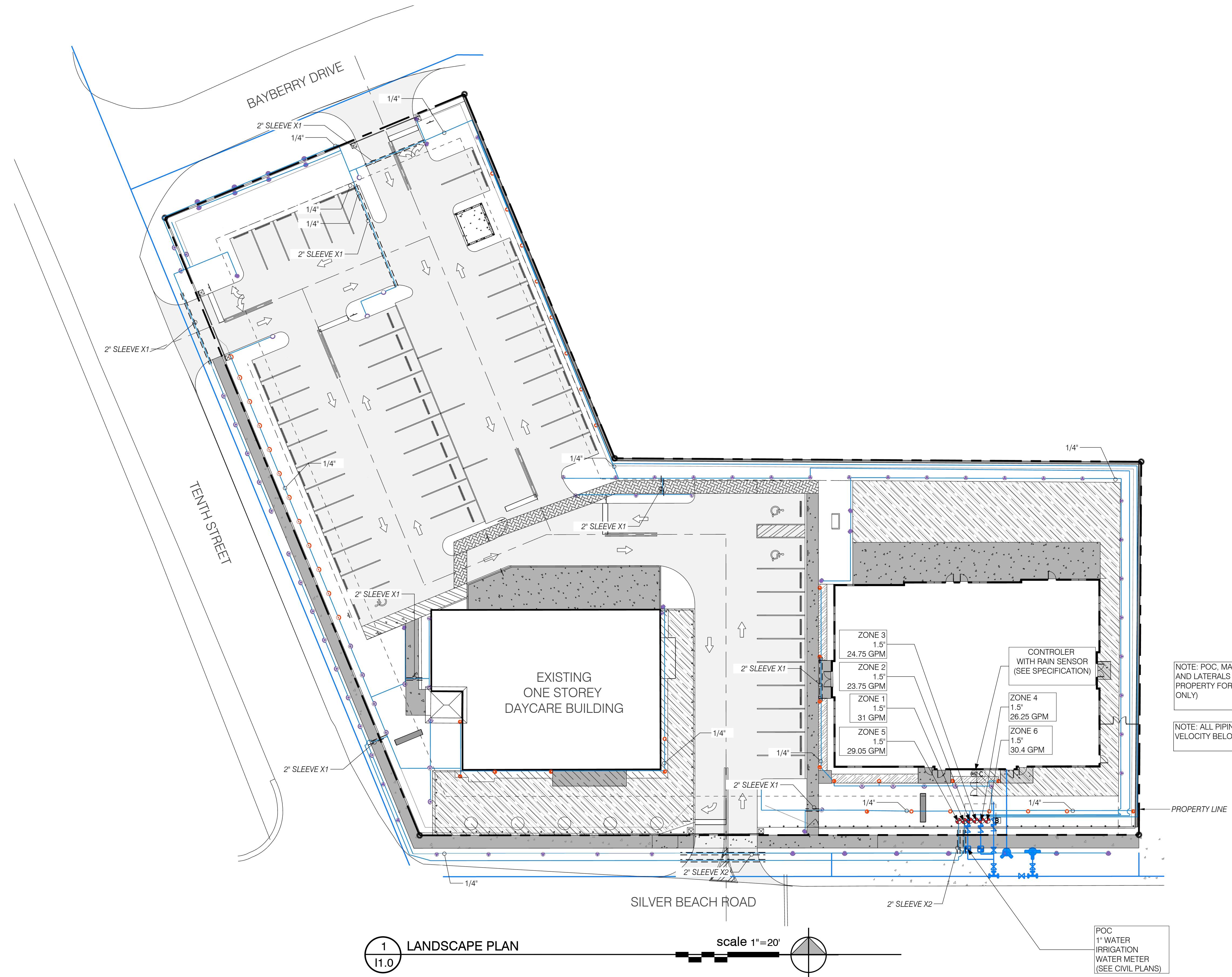
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Permitting

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07/23/25	ISSUED FOR REVIEW
12/15/25	UPDATED AS PER TOWN OF LAKE PARK REVIEW
03/10/26	REVISED PER NEW SITE PLAN
04/21/26	REVISED PER NEW SITE PLAN
05/12/26	REVISED PER CONSULTANT REVIEW

PROJECT NO. 325LKP

IRRIGATION PLAN

11.0



NOTE: POC, MAINLINE, BACKFLOW PREVENTER AND LATERALS SHOWN OUTSIDE OF THE PROPERTY FOR GRAPHIC CLARITY ONLY)

NOTE: ALL PIPING SHALL MAINTAIN A FLOW VELOCITY BELOW 5FPS

- ZONE 3
1.5"
24.75 GPM
- ZONE 2
1.5"
23.75 GPM
- ZONE 1
1.5"
31 GPM
- ZONE 5
1.5"
29.05 GPM
- ZONE 4
1.5"
26.25 GPM
- ZONE 6
1.5"
30.4 GPM

CONTROLLER WITH RAIN SENSOR (SEE SPECIFICATION)

1 LANDSCAPE PLAN
11.0

scale 1"=20'

POC 1" WATER IRRIGATION WATER METER (SEE CIVIL PLANS)

THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX F, CONSTRUCTION AND BUILDING CODES FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS, OF THE FLORIDA BUILDING CODE.





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829 Silver Beach Road
Lake Park, FL 33403

Date Created:
05202025

Document Phase:
Permitting

date	remark
06/20/25	ISSUED FOR CLIENT REVIEW
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12/15/25	UPDATED AS PER TOWN OF LAKE PARK REVIEW
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PROJECT NO. 325LKP

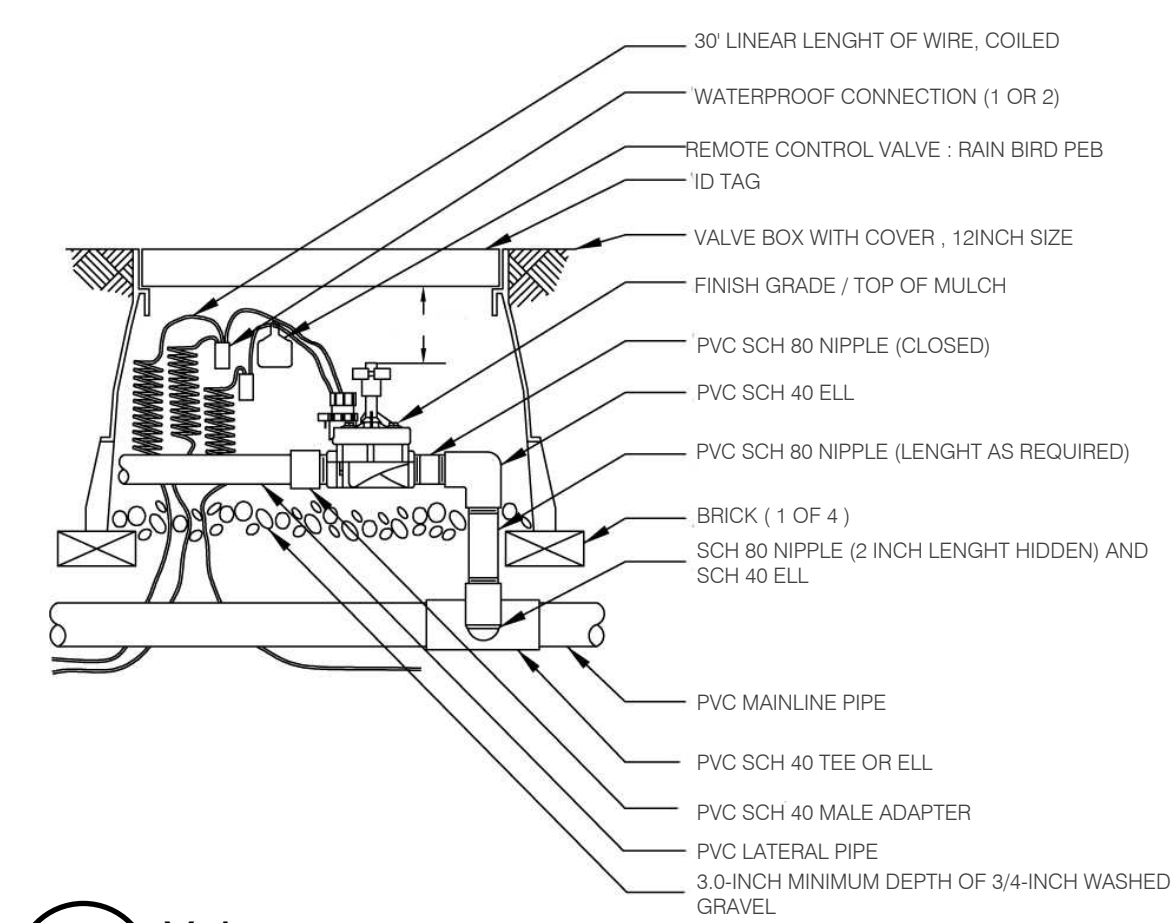
IRRIGATION DETAILS & QUANTITIES
11.1

IRRIGATION MATERIALS SCHEDULE

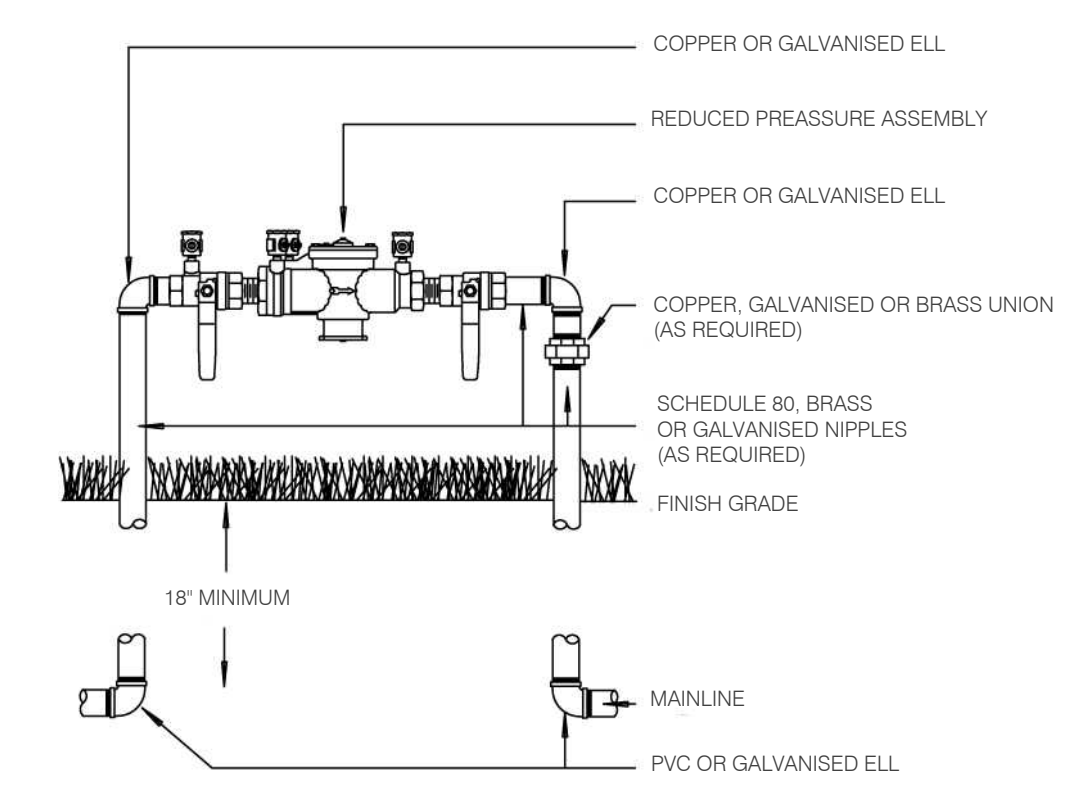
SYMBOL	DESCRIPTION	SPECIFICATION	
Poc	POINT OF CONNECTION	PUMP 1.5 HP	
B	BACKFLOW PREVENTER	Watts 007 1"	
	REMOTE CONTROL VALVE	Plastic Electric Remote Control Valves, Globe Configuration with NPT Threaded Inlet/Outlet	
C	CONTROLLER	Hunter X CORE	
	RAIN SENSOR	Mini-клик	
	MAINLINE	Sched 40 PVC Sleeve	
	LATERAL LINE	Sched 40 PVC Sleeve	
	SLEEVE	Sched 40 PVC Sleeve	
	SHRUB 12" Pop-Up		PATTERN
	S SS	Hunter PROS-06 Shrub Spray 12"	SIDE SPRAY HALF
	S 10H	S 10Q	10' R HALF
	S 10Q	S 10Q	10' R QUARTER
	S CS	Hunter PROS-06 Shrub Spray 12"	CENTER STRIP 30X5
	TURF 6" Pop-Up		PATTERN
	T 15H	Hunter PROS-06 Turf Spray 6"	15' R HALF
	T 15Q	Hunter PROS-06 Turf Spray 6"	15' R QUARTER
	T 8H	Hunter PROS-06 Turf Spray 6"	8' R HALF
	T 10Q	Hunter PROS-06 Turf Spray 6"	10' R QUARTER
	T 12H	Hunter PROS-06 Turf Spray 6"	12' R 180 DEG
	T 12Q	Hunter PROS-06 Turf Spray 6"	12' R QUARTER
	T CS	Hunter PROS-06 Turf Spray 6"	CENTER STRIP 30X5

IRRIGATION NOTES

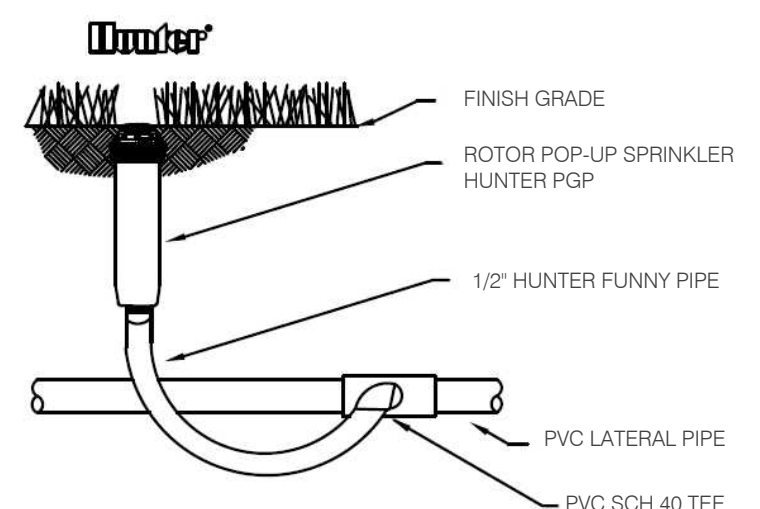
- The Irrigation Contractor shall be responsible for contacting the utility companies to verify locations off all underground facilities.
- The Irrigation Contractor shall visit the site prior to bidding to verify all existing equipment and bring any discrepancies to the irrigation designers' attention prior to bidding.
- The Irrigation Contractor is responsible for installing a fully operational system in accordance with the all the various manufacturer's specifications and site-specific conditions.
The Irrigation Contractor shall ensure that the existing and the new systems functions optimally.
- The Irrigation Contractor shall adhere to the Florida Building Code (Appendix F).
- The Irrigation Plans are schematic and drawn for graphic clarity. All piping below pavement shall be sleeved. The layout for the irrigation system shall be coordinated with the Landscape Plan.
- Sprinkler locations adjacent to pavement, structures, fences, etc. shall be offset as follows: 6" min. for pop-ups, 12" for shrub risers. All sprinkler heads to be set perpendicular to the finished grade.
- The Irrigation Contractor shall familiarize himself with all grade differences, location of walls, structures and utilities.
- The Irrigation Contractor shall repair and replace all items damaged by his work. The Contractor shall coordinate his/her work with all other contractors for the location of sleeves through walls and under roadways and walks. The Irrigation Contractor shall not willingly install any equipment as shown on the drawings when it is obvious in the field that unknown obstructions, grade differences or differences in area dimensions exist that may not have been considered in the design of the system. Any such discrepancies should be brought to the attention on the owner's representative. In the event of this notification not performed, the irrigation contractor shall assume full responsibility for any revisions necessary.
- All sprinkler equipment not otherwise detailed shall be installed as per the manufacturer's recommendations and specifications.
- The Irrigation Contractor shall install check valves on all heads in areas where finished grade exceeds 4:1, where post valve shut-off draining of the irrigation head occurs or as directed by the owner's representative. The Irrigation Contractor to provide 1800 PCS (pressure compensating screens) as necessary to reduce or eliminate overspray onto streets, walks or other areas as directed by the owner's representative.
- Piping in narrow planting spaces shall be offset to one side to allow for tree and shrub planting.
- All piping shall be sized to maintain flow velocity below 5 FPS.
- All sleeving to be SCH40 PVC, sizes indicated on plan. Sleeves shall always be 2X larger than the pipe. Refer see sleeving detail on the Specification sheet.
- The Irrigation controller shall be installed in accordance with local codes and manufacturers recommendations. Proper surge protection and grounding equipment shall be provided. A rain sensor shall be provided and installed per the manufacturer's specifications, to over-ride the system. See plan for specification.
- Control wires shall be UL approved PE control wire. Use 14 gage control wire and 12 gage ground wire. Wire shall be bundled and attached to the main line in the trench or through wire sleeves at pavement crossings 24" below final grade. All splices shall be made with waterproof direct burial splice kits and contained in valve boxes. Two extra control wires shall be installed to the furthest valves in each direction from the controller.
- Valve locations are schematic only and will be adjusted for site conditions. Each valve shall be installed in an Amtek or Carson valve box. The flow adjustment feature will be used to balance the pressure throughout the system.
- All glue joints shall be cleaned, sanded and treated with a colored high etch primer and joined using a solvent conforming with ASTM D2564
- As-built drawings shall be prepared by the contractor and given to the owner prior to final acceptance. Watering time per station shall be determined in the field and per local requirements. The Irrigation Contractor to request a system hand-over and wet check to be performed with the owner's representative to demonstrate operational functionality prior to completion.



1 Valve
11.1 NTS



2 Backflow Preventer
11.1 NTS



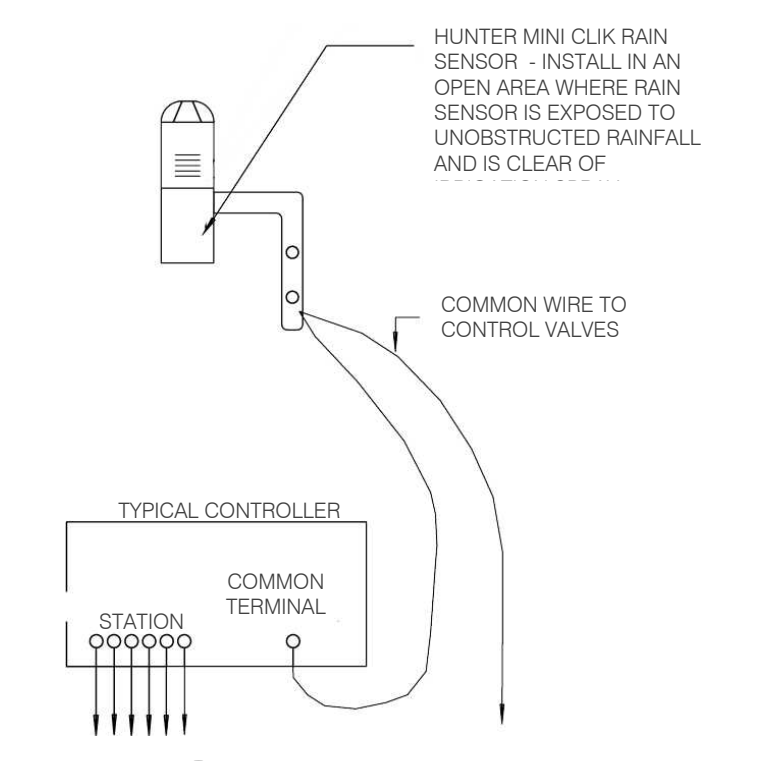
3 Rotor Hunter
11.1 NTS

DEPTH OF COVERAGE PER FLORIDA BUILDING CODE AMENDED APPENDIX F
FOR NONTRAFFIC AND NONCULTIVATED AREAS

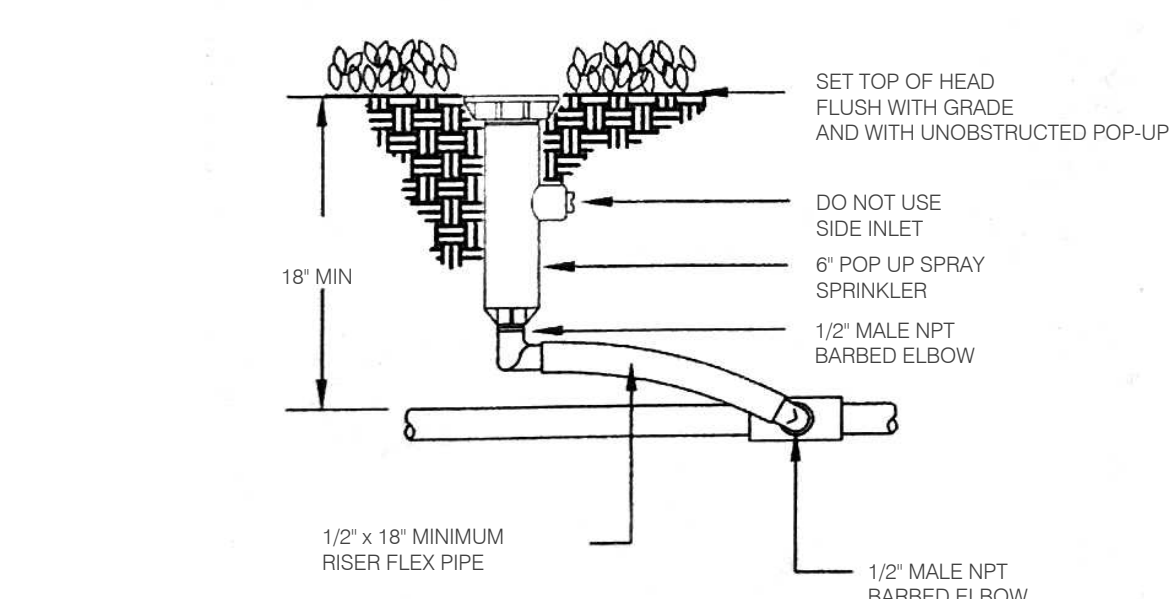
PIPE DIAMETER	MINIMUM DEPTH OF COVER
1/2" THROUGH 1 1/4"	6" - 12"
1 1/2" THROUGH 2"	12" - 18"
2 1/2" THROUGH 3"	18" - 24"
6" AND LARGER	24" - 36"

FOR VEHICLE TRAFFIC AREAS

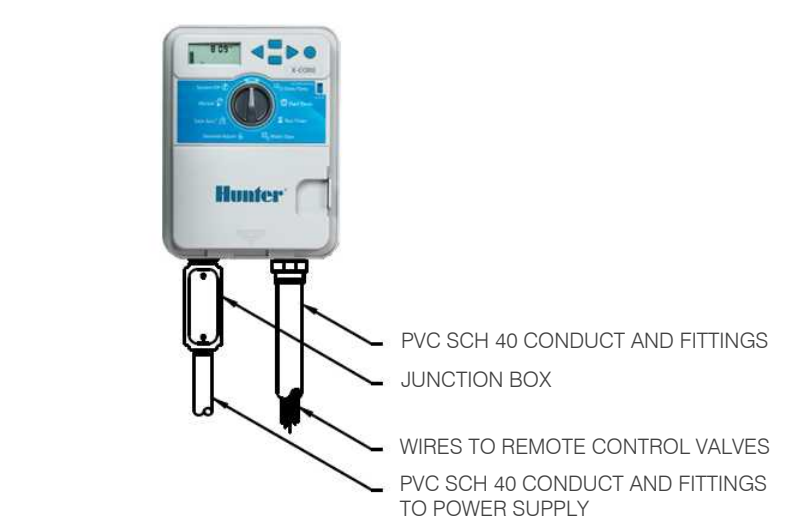
PIPE DIAMETER	MINIMUM DEPTH OF COVER
1/2" THROUGH 2 1/2"	18" - 24"
3" THROUGH 5"	24" - 30"
6" AND LARGER	30" - 36"



4 Rain Sensor
11.1 NTS



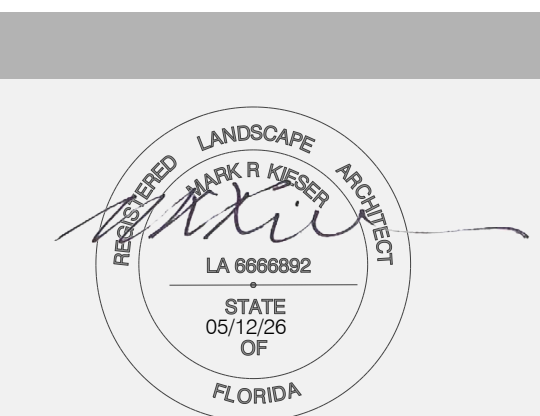
5 Pop Up Spray 6"
11.0 NTS



6 Controller X-Core
11.1 NTS

THIS SYSTEM HAS BEEN DESIGNED AND SHALL BE INSTALLED IN ACCORDANCE WITH ALL THE REQUIREMENTS OF APPENDIX F, CONSTRUCTION AND BUILDING CODES FOR TURF AND LANDSCAPE IRRIGATION SYSTEMS, OF THE FLORIDA BUILDING CODE.





Twiggs Academy
829 Silver Beach Road
Lake Park, FL 33403

Date Created:
05202025

Document Phase:
Permitting

date	remark
06/20/25	ISSUED FOR CLIENT REVIEW
07/23/25	ISSUED FOR REVIEW
12/15/25	UPDATED AS PER TOWN OF LAKE PARK REVIEW
03/10/26	REVISED PER NEW SITE PLAN
04/21/26	REVISED PER NEW SITE PLAN
05/12/26	REVISED PER CONSULTANT REVIEW

PROJECT NO. 325LKP

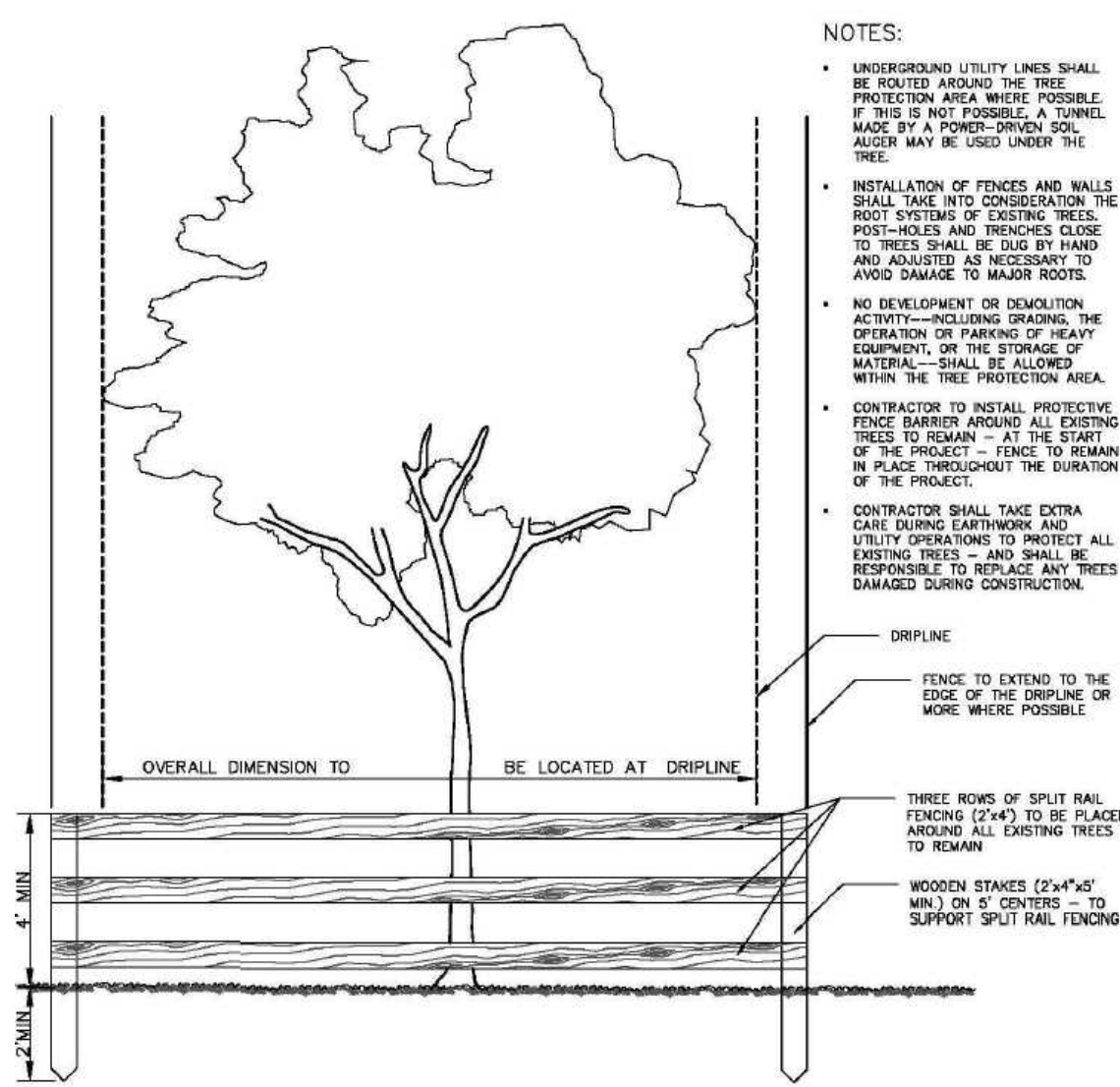
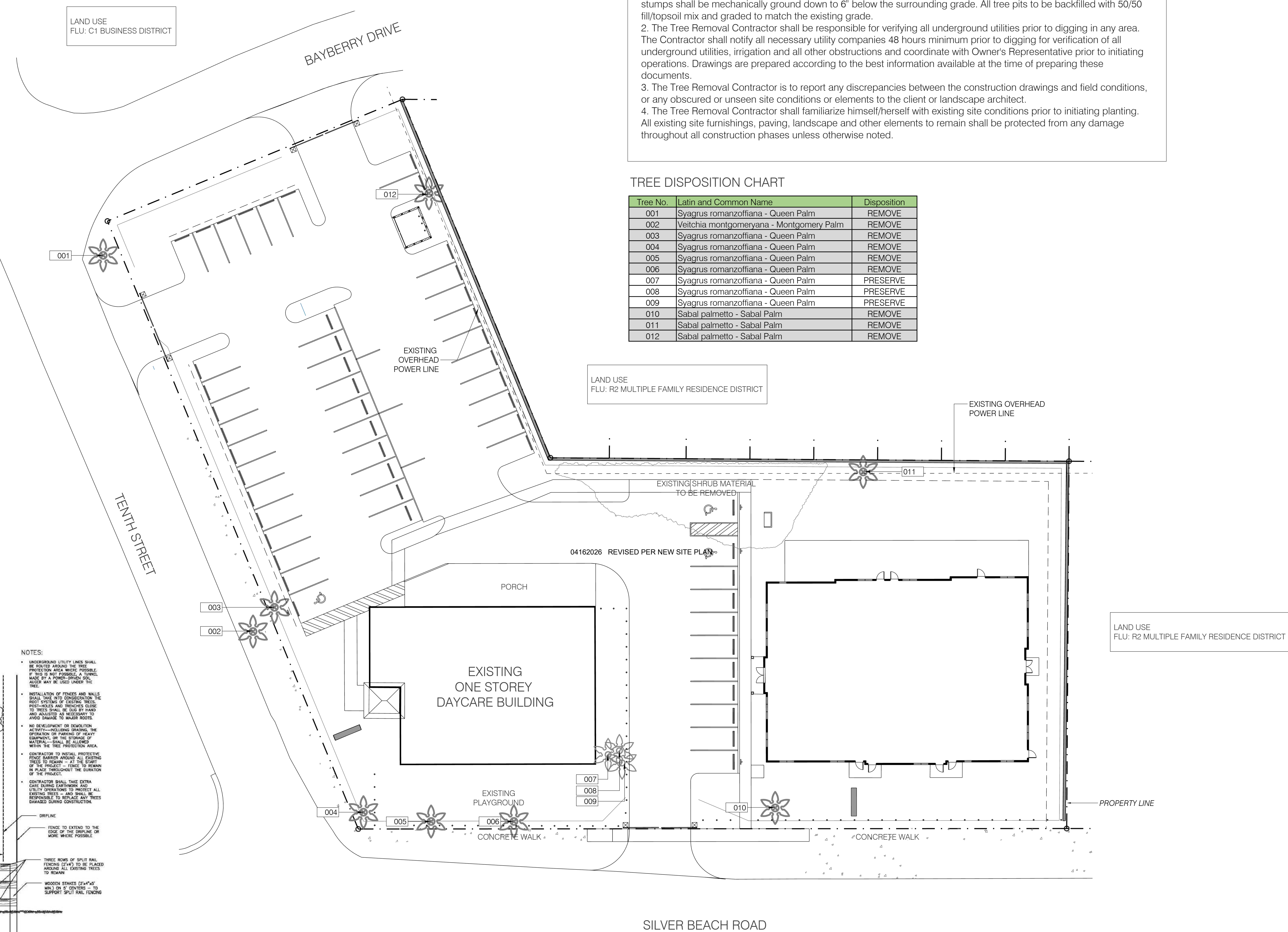
TREE DISPOSITION PLAN
L0.0

GENERAL NOTES - TREE REMOVAL

- All trees and palms designated for removal to be removed from site prior to landscape installation. All tree and palm stumps shall be mechanically ground down to 6" below the surrounding grade. All tree pits to be backfilled with 50/50 fill/topsoil mix and graded to match the existing grade.
- The Tree Removal Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- The Tree Removal Contractor is to report any discrepancies between the construction drawings and field conditions, or any obscured or unseen site conditions or elements to the client or landscape architect.
- The Tree Removal Contractor shall familiarize himself/herself with existing site conditions prior to initiating planting. All existing site furnishings, paving, landscape and other elements to remain shall be protected from any damage throughout all construction phases unless otherwise noted.

TREE DISPOSITION CHART

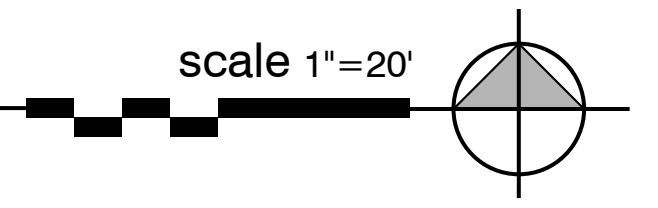
Tree No.	Latin and Common Name	Disposition
001	Syagrus romanzoffiana - Queen Palm	REMOVE
002	Veitchia montgomeryana - Montgomery Palm	REMOVE
003	Syagrus romanzoffiana - Queen Palm	REMOVE
004	Syagrus romanzoffiana - Queen Palm	REMOVE
005	Syagrus romanzoffiana - Queen Palm	REMOVE
006	Syagrus romanzoffiana - Queen Palm	REMOVE
007	Syagrus romanzoffiana - Queen Palm	PRESERVE
008	Syagrus romanzoffiana - Queen Palm	PRESERVE
009	Syagrus romanzoffiana - Queen Palm	PRESERVE
010	Sabal palmetto - Sabal Palm	REMOVE
011	Sabal palmetto - Sabal Palm	REMOVE
012	Sabal palmetto - Sabal Palm	REMOVE



- NOTES:**
- UNDERGROUND UTILITY LINES SHALL BE LOCATED AROUND THE TREE PROTECTION AREA WHERE POSSIBLE. IF NOT, A PROBING OR SONAR MADE BY A POWER-DRAWN TOOL, ALSO MAY BE USED UNDER THE TREE.
 - INSTALLATION OF FENCES AND WALLS SHALL TAKE INTO CONSIDERATION THE ROOT SYSTEM OF EXISTING TREES. PRE-DRILLS AND NOTCHES CLOSE TO TREES SHALL BE CUT BY HAND AND ANALYZED AS NECESSARY TO AVOID DAMAGE TO MAJOR ROOTS.
 - NO DEVELOPMENT OR DEMOLITION ACTIVITY—INCLUDING GRADING, THE OPERATION OR PARKING OF HEAVY EQUIPMENT, OR THE STORAGE OF MATERIALS—SHALL BE ALLOWED WITHIN THE TREE PROTECTION AREA.
 - CONTRACTOR TO MAINTAIN PROTECTIVE FENCE BARRIER AROUND ALL EXISTING TREES TO REMAIN AT THE SCOUT OF THE PROJECT - FENCE TO REMAIN IN PLACE THROUGHOUT THE DURATION OF THE PROJECT.
 - CONTRACTOR SHALL TAKE EXTRA CARE DURING EARTHWORK AND UTILITY OPERATIONS TO PROTECT ALL EXISTING TREES - AND SHALL BE RESPONSIBLE TO REPLACE ANY TREES DAMAGED DURING CONSTRUCTION.

NOTE: BARRIER TO FORM CONTINUOUS CIRCLE AROUND THE TREE OR GROUP OF TREES. SEE LANDSCAPE PLAN FOR LOCATION OF TREES TO REMAIN.

1 TREE DISPOSITION PLAN
L0.0





Twiggs Academy
829 Silver Beach Road
Lake Park, FL 33403

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03/10/26	REVISED PER NEW SITE PLAN
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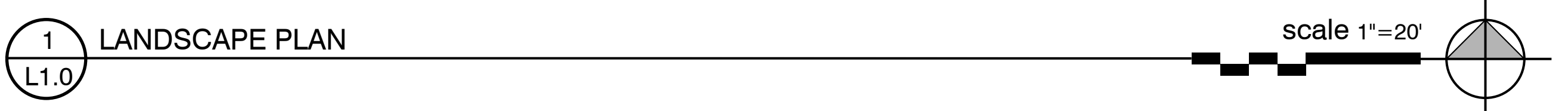
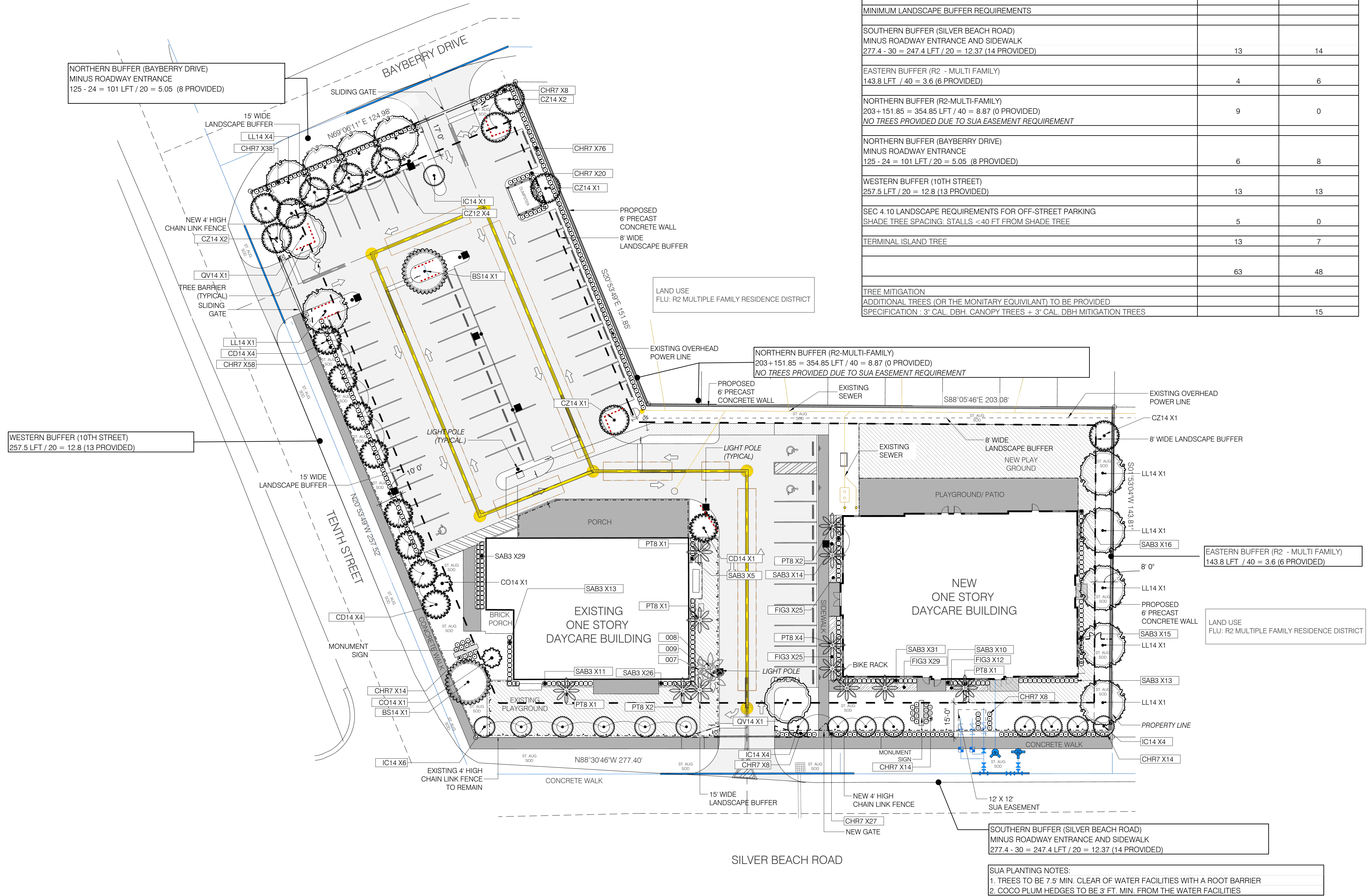
PROJECT NO. 325LKP

LANDSCAPE PLAN

L1.0

LAND DEVELOPMENT CODE

TOWN OF LAKE PARK LANDSCAPE REQUIREMENTS	TREES REQUIRED	TREES PROVIDED
MINIMUM LANDSCAPE BUFFER REQUIREMENTS		
SOUTHERN BUFFER (SILVER BEACH ROAD) MINUS ROADWAY ENTRANCE AND SIDEWALK 277.4 - 30 = 247.4 LFT / 20 = 12.37 (14 PROVIDED)	13	14
EASTERN BUFFER (R2 - MULTI FAMILY) 143.8 LFT / 40 = 3.6 (6 PROVIDED)	4	6
NORTHERN BUFFER (R2-MULTI-FAMILY) 203+151.85 = 354.85 LFT / 40 = 8.87 (0 PROVIDED) NO TREES PROVIDED DUE TO SUA EASEMENT REQUIREMENT	9	0
NORTHERN BUFFER (BAYBERRY DRIVE) MINUS ROADWAY ENTRANCE 125 - 24 = 101 LFT / 20 = 5.05 (8 PROVIDED)	6	8
WESTERN BUFFER (10TH STREET) 257.5 LFT / 20 = 12.8 (13 PROVIDED)	13	13
SEC 4.10 LANDSCAPE REQUIREMENTS FOR OFF-STREET PARKING SHADE TREE SPACING: STALLS <40 FT FROM SHADE TREE	5	0
TERMINAL ISLAND TREE	13	7
	63	48
TREE MITIGATION ADDITIONAL TREES (OR THE MONITARY EQUIVILANT) TO BE PROVIDED SPECIFICATION : 3" CAL. DBH. CANOPY TREES + 3" CAL. DBH. MITIGATION TREES		15



1 LANDSCAPE PLAN
L1.0

SUA PLANTING NOTES:
1. TREES TO BE 7.5' MIN. CLEAR OF WATER FACILITIES WITH A ROOT BARRIER
2. COCO PLUM HEDGES TO BE 3' FT. MIN. FROM THE WATER FACILITIES



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PROJECT NO. 325LKP

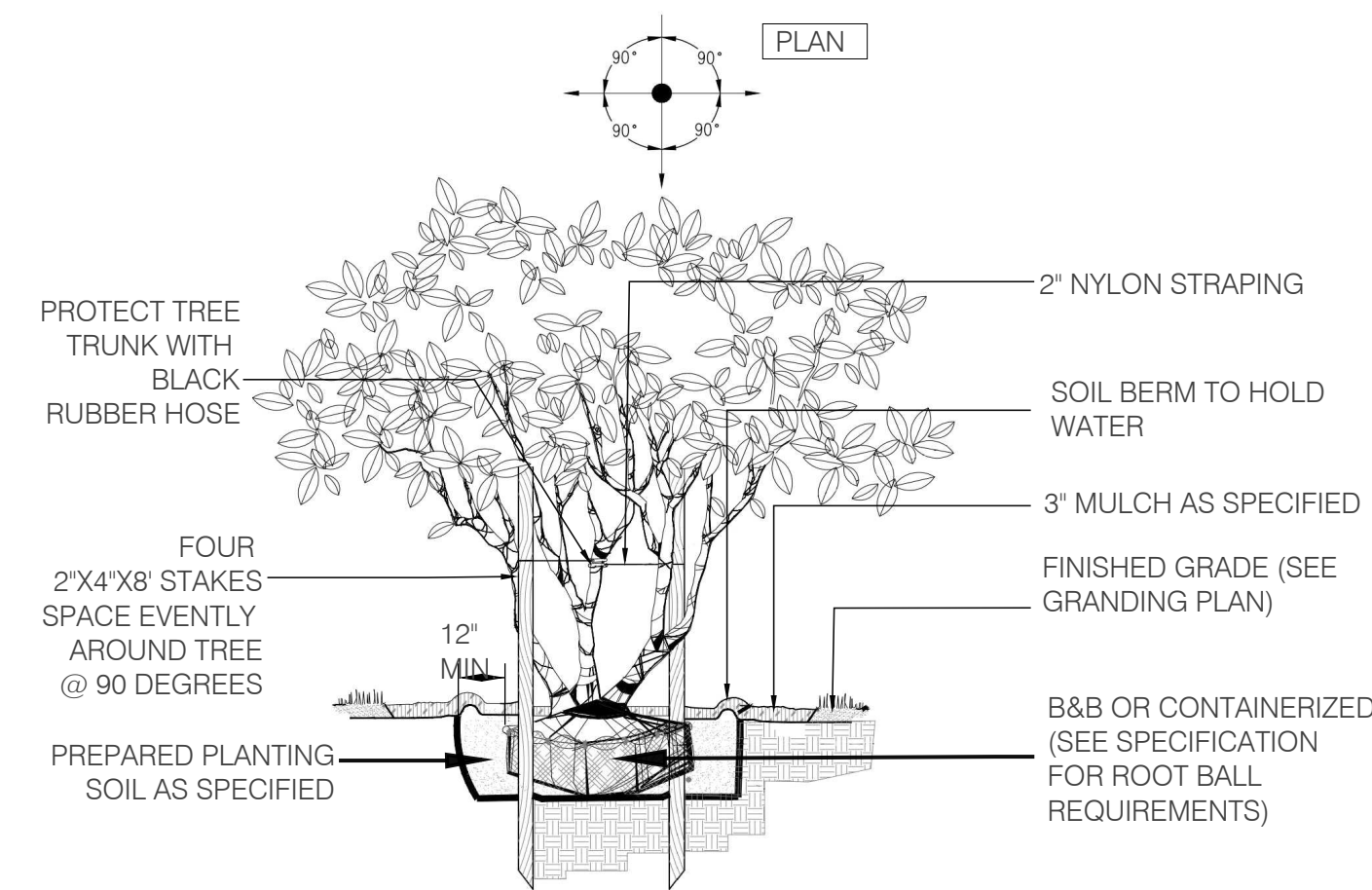
**LANDSCAPE
DETAILS &
QUANTITIES**
L1.1

LANDSCAPE MATERIAL SCHEDULE

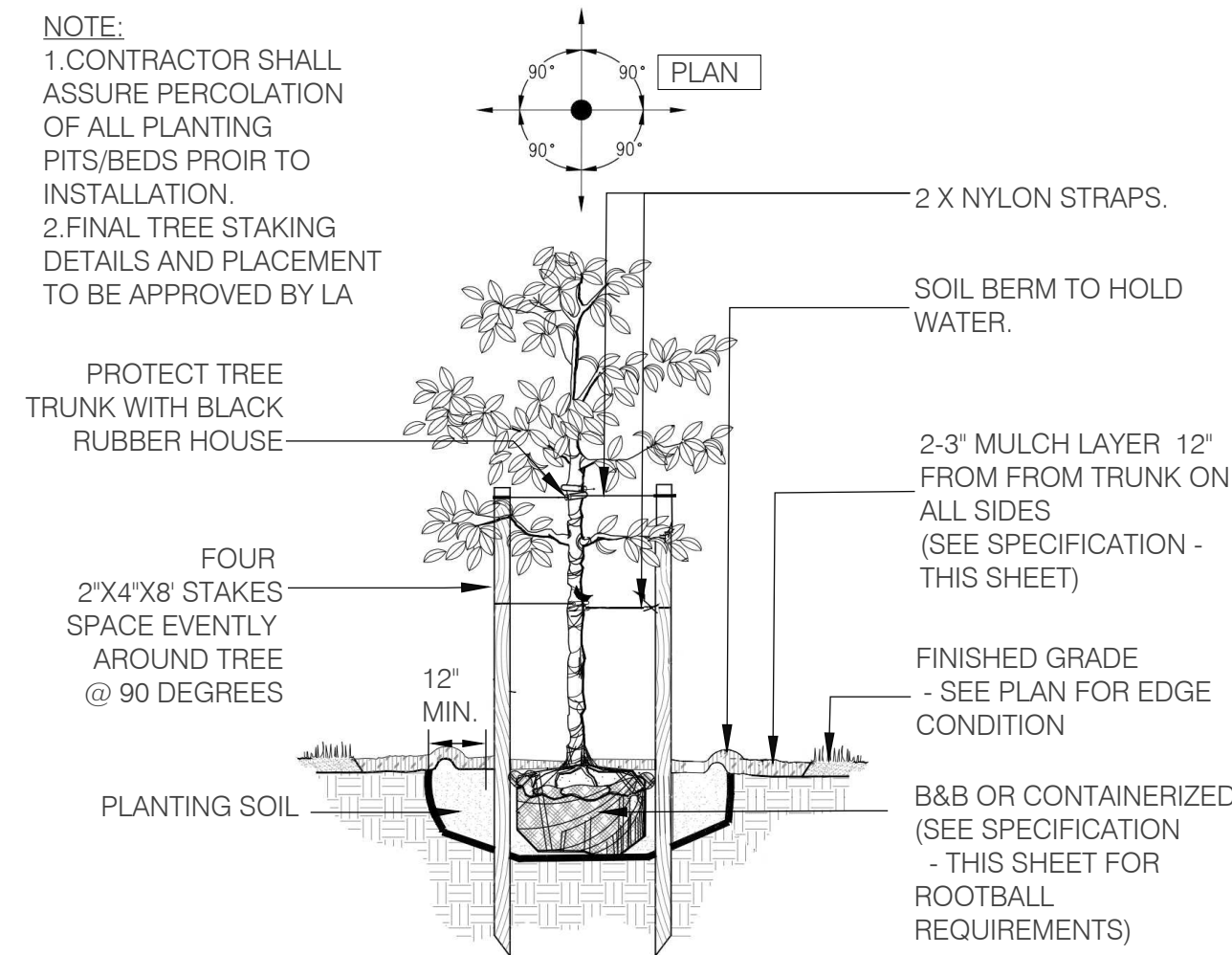
SYMBOL	QTY	BOTANIC AND COMMON NAME	SPECIFICATION	NATIVE	NOTES
TREES					
BS14	2	Bursera simaruba - Gumbo Limbo	14' OA. HT. 3" CAL. DBH.	FL NATIVE	
CD14	9	Coccoloba diversifolia- Pigeon plum	14' OA. MIN. 3" CAL. DBH.	FL NATIVE	
CO14	2	Chrysophyllum oliviforme - Satin Leaf Tree	14' OA. MIN. 3" CAL. DBH.	FL NATIVE	
CZ14	11	Conucarpus erectus 'sericea' - Silver Buttonwood	12' OA. HT. 3" CAL. DBH.	FL NATIVE	
IC14	15	Ilex x attuanata 'Eagleston' - Eagleston Holly	14' OA. HT. 3" CAL. DBH.	FL NATIVE	
LL14	10	Lysiloma latisiliquum - Wild Tamarind	14' OA. HT. 3" CAL. DBH.	FL NATIVE	
OV14	2	Quercus virginiana - Live Oak	14' OA. HT. 3" CAL. DBH.	FL NATIVE	
PALMS					
PT8	12	Ptychosperma elegans - Solitaire Palm	8' CT SINGLE TRUNK		
SHRUB					
CHR7	295	Chrysobalanus icaco 'Red Tip' - Red Tip Coco Plum Hedge	30' MIN. OA. 24" O.C	FL NATIVE	
SAB3	183	Schleffera aboricola - Green Aboricola Hedge	24" SPRD. 24" O.C	HEDGE	
GROUND COVER					
FIG3	91	Ficus microcarpa 'Green Island' - Ficus 'Green Island'	12" HT., 24" O.C		
SOD					
	5,000	SFT	ST. AUGUSTINE 'FLORATAM'	*EST. QUANTITY	

LANDSCAPE - GENERAL NOTES

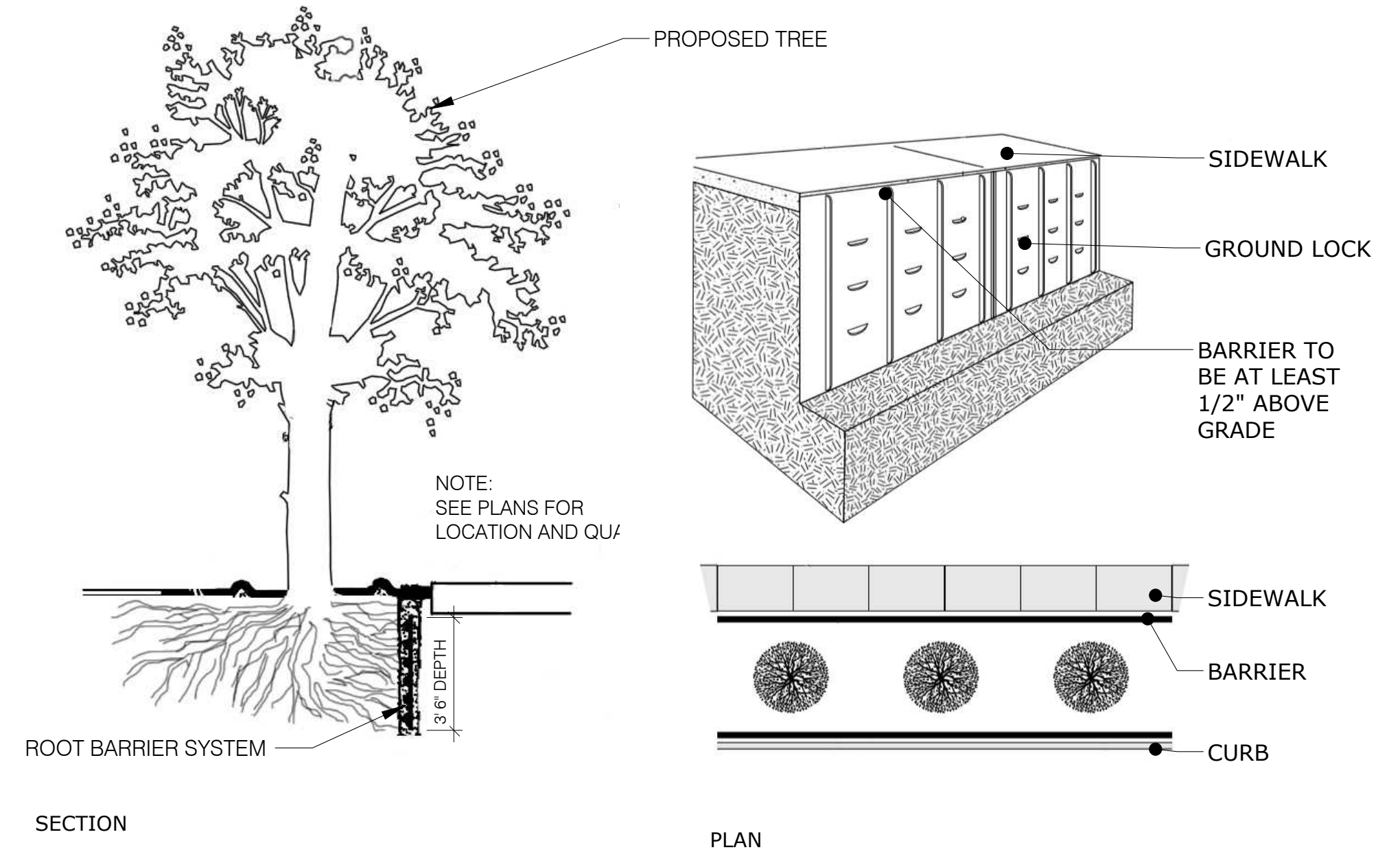
- All existing trees to remain and all relocated plant material shall be protected from damage or injury and shall be barricaded or otherwise suitably flagged and protected from damage.
- The Contractor shall be responsible for verifying all underground utilities prior to digging in any area. The Contractor shall notify all necessary utility companies 48 hours minimum prior to digging for verification of all underground utilities, irrigation and all other obstructions and coordinate with Owner's Representative prior to initiating operations. Drawings are prepared according to the best information available at the time of preparing these documents.
- All plant material is to be Florida Number 1 or better according to the latest version of the Florida Department of Agriculture's Grades and Standards for Nursery Plants.
- Sod is to be grade "A" weed free. All sodded areas are to be provided with St. Augustine "Floritam" solid sod. All sod is to be laid level, tight, and even along planting beds.
- All plants are to be top dressed with a minimum 3" layer of Melaleuca mulch or equal.
- All landscape areas are to be provided with automatic sprinkler system which provide 100% coverage, and 50% overlap
- All landscape material is to be Florida #1 grade or better.
- All asphalt, road rock, and other non-natural materials shall be removed and refilled to the undisturbed lot level with clean soil before any planting or installation of the required drought-resistant sod or ground cover.



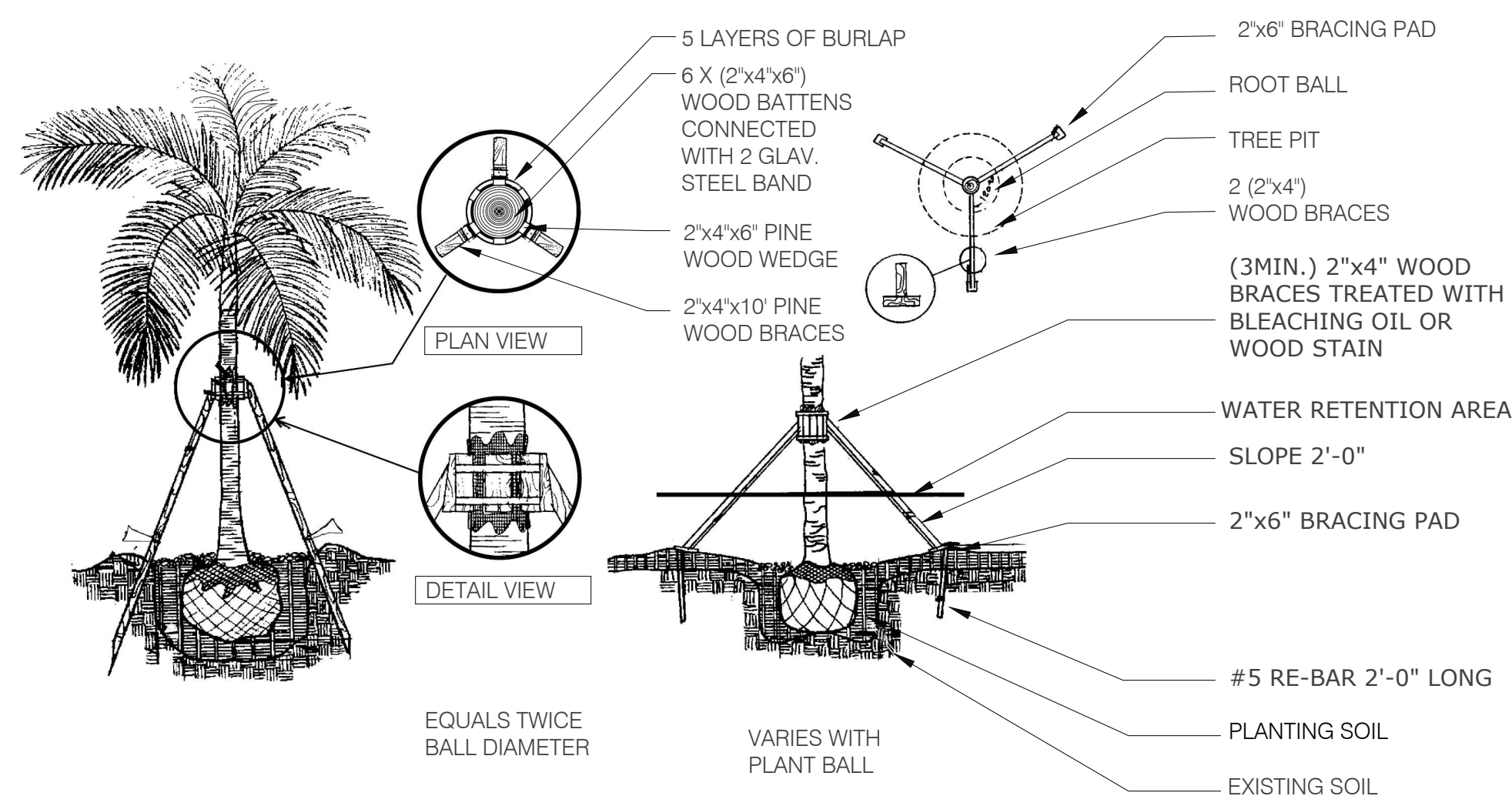
2 Multi-Trunk Tree (Typical)
L1.1



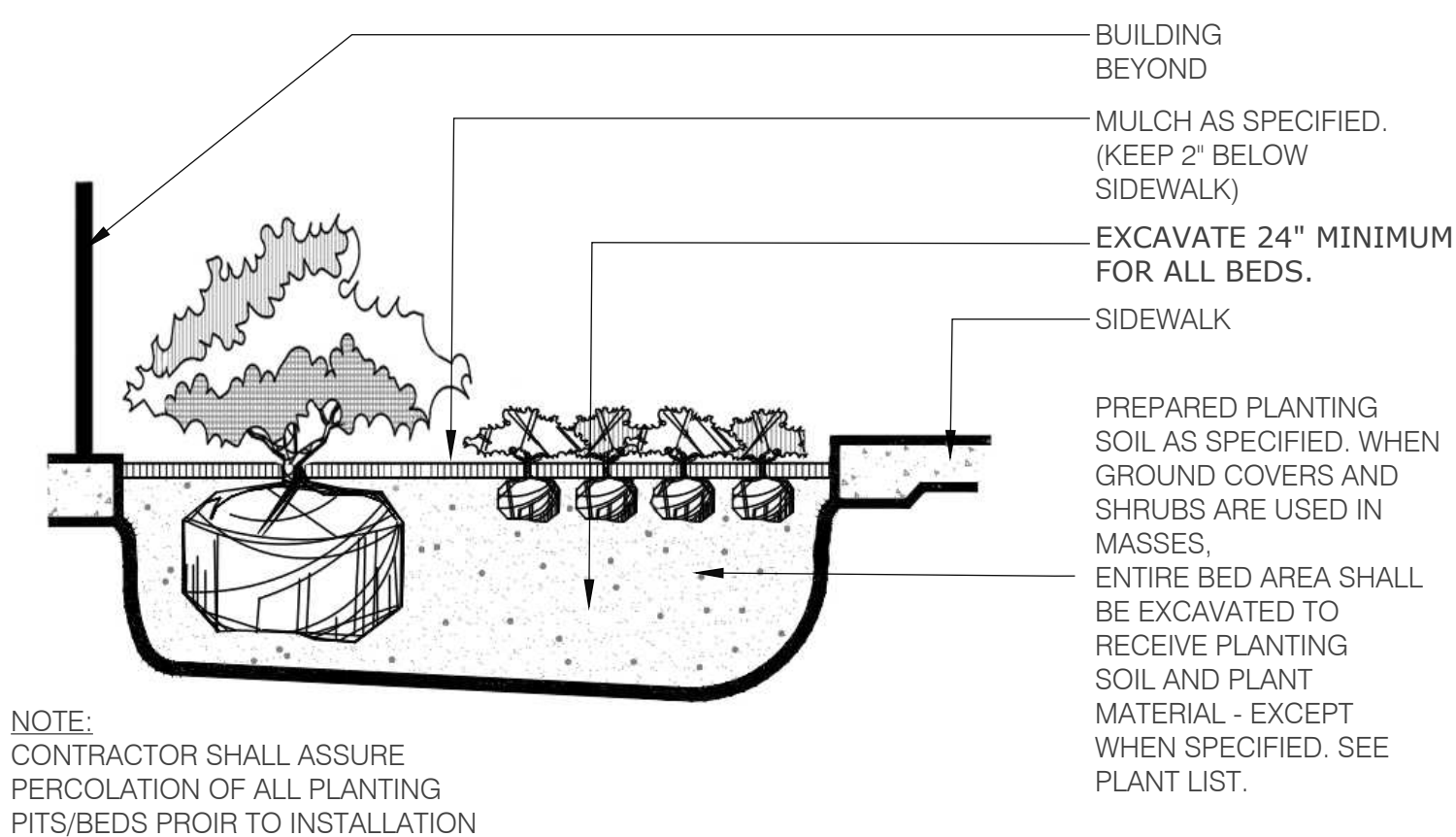
4 Tree Planting Detail (Typical)
L1.1 NTS



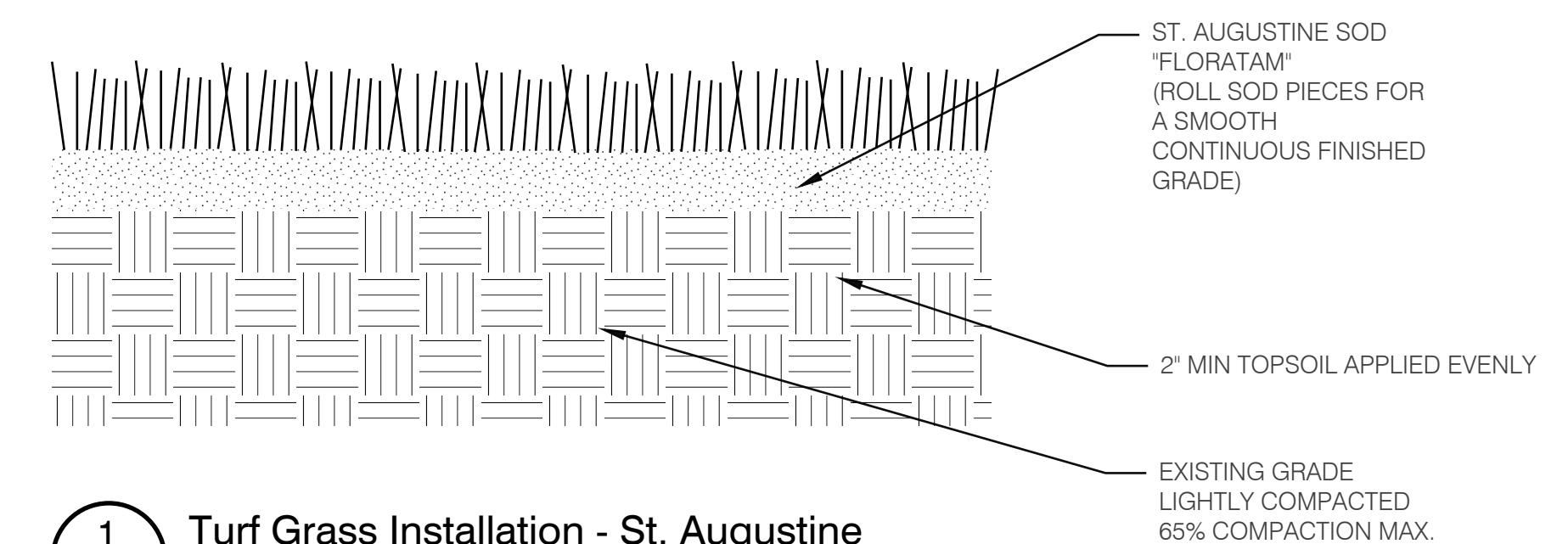
6 Root Barrier Detail - Proposed Tree
L1.1 NTS



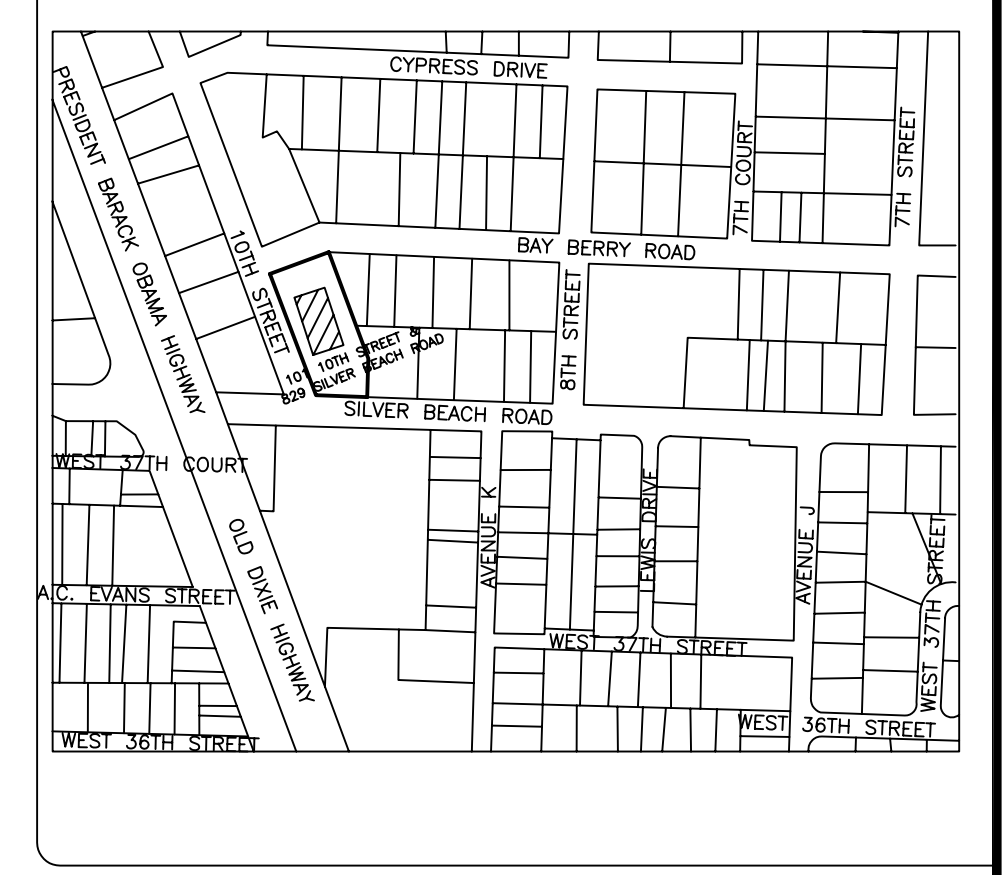
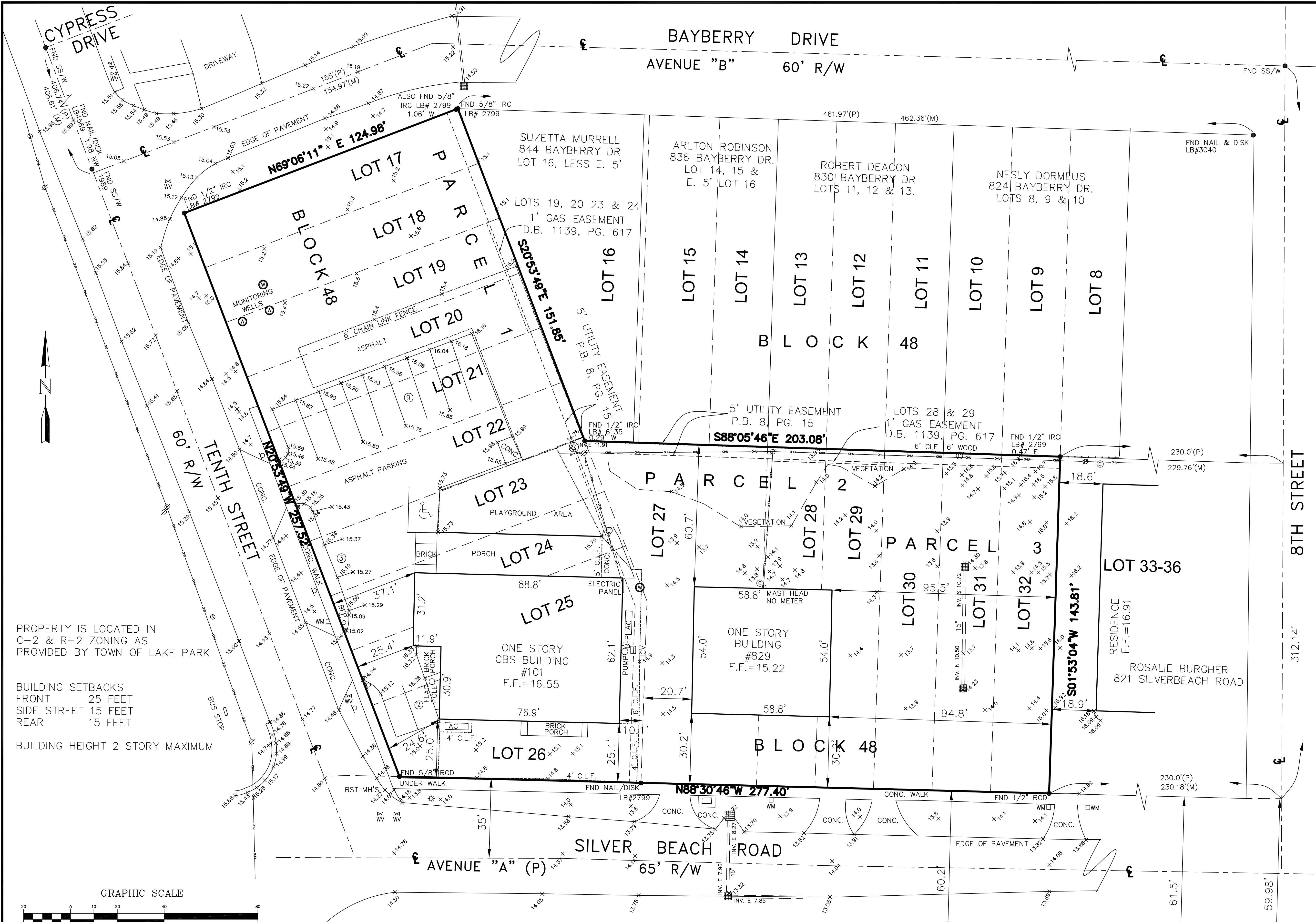
3 Palm Planting Detail (Typical)
L1.1



5 Shrub & Groundcover Planting Detail (Typical)
L1.1 NTS



1 Turf Grass Installation - St. Augustine
L1.1 NTS



LOCATION MAP

DESCRIPTION:

Parcel 1: 36-43-42-20-01-048-0170 (101 10th Street)
 Lots 17,18,19,20,21,22,23,24,25 and 26, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Parcel 2: 36-43-42-20-01-048-0270 (829 Silver Beach Road)
 Lots 27,28 and 29, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Parcel 3: 36-43-42-20-01-048-0300 (823 Silver Beach Road)
 Lots 30,31 and 32, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Containing 60,339 square feet or 1.35 Acres more or less.

NOTE: LOTS 20-26, BLOCK 48, AFFECTED BY UNITY OF TITLE IN ORB 5578, PG. 322

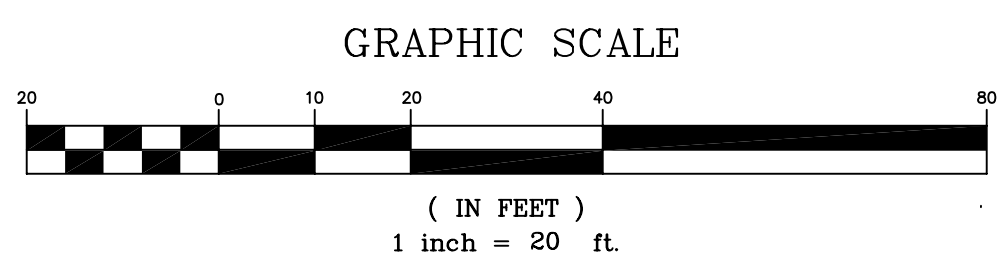
SURVEYOR'S NOTES:

1. THIS BOUNDARY SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT NO 1205303, DATED 1-7-2022 PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY. THE DESCRIPTION AND EASEMENTS AS STATED THEREIN ARE AS SHOWN HEREON.
2. THIS BOUNDARY & TOPOGRAPHIC SURVEY MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE IN CHAPTER 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODES & ALTA 2021 STANDARDS.
3. SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT ADDRESSED AS A PART OF THIS SURVEY. ONLY VISIBLE ABOVE GROUND IMPROVEMENTS HAVE BEEN SHOWN. THERE MAY EXIST UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER MATTERS WHICH HAVE NOT BEEN REFLECTED ON THIS SURVEY.
4. ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THIS OFFICE.
5. WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DISTANCES ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DESIGN PURPOSES.
6. THIS MAP, AS DEPICTED IN ITS GRAPHIC FORM, BEARING THE SIGNATURE AND SEAL OF THE SURVEYOR, IS THE OFFICIAL DOCUMENT OF THE LANDS AS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE MAP.
7. THIS SURVEY IS PREPARED FOR THE PARTIES AS STATED HEREON AND IS NOT ASSIGNABLE TO OTHER PARTIES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.
8. THIS SURVEY DOCUMENT, AS AN INSTRUMENT OF SERVICE, IS INTENDED FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED AND CERTIFIED. REUSE AND/OR RELIANCE UPON THIS DOCUMENT FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION AND ADAPTION BY DEAN SURVEYING & MAPPING, INC., SHALL BE WITHOUT LIABILITY TO DEAN SURVEYING & MAPPING, INC.
9. ELEVATIONS AS SHOWN HEREON ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988. REFERENCE BENCHMARK IS N.G.S. STEEL ROD DESIGNATED "U-402" WHICH HAS A PUBLISHED ELEVATION OF 20-735.
10. THE ORIGINAL PLAT OF "KELSEY CITY" (NOW KNOWN AS LAKE PARK) CONSISTS OF EIGHT (8) SHEETS, WHICH ARE NOT CONSECUTIVELY NUMBERED. THE COVER SHEET SHEET CONTAINS THE DEDICATION, KEY MAP AND NOTES AND IS RECORDED AS PAGE 15 OF PLAT BOOK 8. SHEET 1 ENCOMPASSES THE AREA IN WHICH BLOCK 48 LIES AND IS RECORDED AS PAGE 27 OF PLAT BOOK OF PLAT BOOK 8.

PROPERTY IS LOCATED IN C-2 & R-2 ZONING AS PROVIDED BY TOWN OF LAKE PARK

BUILDING SETBACKS
 FRONT 25 FEET
 SIDE STREET 15 FEET
 REAR 15 FEET

BUILDING HEIGHT 2 STORY MAXIMUM



Legend

- Indicates Set 1/2" Iron Rod & Cap #LB6936
- Indicates Found Iron Rod & Cap
- Indicates Found Concrete Monument
- Indicates Wood Utility Pole
- Indicates Concrete Power Pole
- Indicates Pole Anchor
- Indicates Catch Basin
- (P) Indicates Plat Dimension
- (G) Indicates Grid Bearing
- Indicates Water Meter
- Indicates Sanitary Cleanout
- Indicates Overhead Utility Lines
- Indicates Water Valve
- Indicates FIRE HYDRANT
- Indicates Storm Drainage Manhole
- Indicates Light Pole
- Indicates Bollard
- Indicates Sign
- Indicates Well
- Indicates Sanitary Manhole

2021 ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

TO: MICHEL INVEST LLC
 CHICAGO TITLE COMPANY
 BANK FIVE NINE
 FLORIDA FIRST CAPITAL FINANCE CORPORATION
 SMALL BUSINESS ADMINISTRATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,6b,7a,7b,8,9,11a,13,16,17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 21, 2025

DATE OF MAP OR PLAT 3/18/2025

UPDATE SURVEY TO ALTA	1/21/25	RICHARD N. DEAN
REVISIONS	DATE	Professional Surveyor & Mapper Florida Certificate No. 4496 LB. 6936

BOUNDARY AND TOPOGRAPHIC SURVEY Prepared For & certified to:
MICHEL INVEST LLC

101 10TH STREET &
 829 SILVER BEACH ROAD
 LAKE PARK, FL 33403

PROPERTY LIES IN FLOOD ZONE "X" AS PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP 12099C03876

Dean Surveying and Mapping, Inc.
 "The Measuring Line Shall Go Forth" Jeremiah 31:39
 4201 Westgate Avenue
 Suite A3
 West Palm Beach, Florida 33409
 Tel:(561)625-8748

FIELD: R.N.D./L.L. DATE: 11-12-24
 DRAWN: M.R. SCALE: 1" = 20'
 SHEET: 1 of 1 JOB No.: 024-1102









December 17, 2025

TRAFFIC STATEMENT

Twiggs Daycare
101 10th Street and 829 Silver Beach Road
Lake Park, FL 33403

Project Description

The proposed project consists of the construction of an approximately new 7,476 square foot daycare center after demolishing the existing 3,186 square foot daycare building located on 829 Silver Beach Road in the City of Lake Park, Palm Beach County, Florida (Parcel Number 36-43-42-20-01-048-0270). The other existing daycare building of approximately 4,588 square feet located on 101 10th Street (Parcel Number 36-43-42-20-01-048-0170) will remain as is. The parcel located at 823 Silver Beach Road (Parcel Number 36-42-42-20-01-048-0300) is currently vacant and zoned residential. This parcel will be rezoned and incorporated into the new project. The total site after combining all three parcels is approximately 1.385 acres. Site access is proposed via one existing driveway off Silver Beach Road which will be a right-in/right-out only driveway, one existing full access driveway at the northern end of the property off Tenth Street. The existing one-way egress right-turn only access to Tenth Street will be closed because of its close proximity to Silver Beach Road. A new access to Bayberry Drive will be constructed. Please see attached location map (Exhibit A), site plan (Exhibit B), and survey (Exhibit C). The buildout date for this project is December 2027.

Project Traffic

Daily and peak-hour vehicular trips generated by the subject development plan were estimated utilizing Palm Beach County approved trip generation rates as follows:

Trip Generation - Daycare

DAILY

NEW DAYCARE				
Land Use	ITE Code	Intensity	Trip Generation Rate	Total Trips
New Daycare	565	140 Students	4.09	573
TOTAL NEW TRIPS				573

AM Peak Hour

NEW DAYCARE						
Land Use	ITE Code	Intensity	Trip Generation Rate	Total Trips		
				In	Out	Total
Daycare	565	140 Students	0.78	58	52	110
TOTAL NEW TRIPS				58	52	110

PM Peak Hour

NEW DAYCARE						
Land Use	ITE Code	Intensity	Trip Generation Rate	Total Trips		
				In	Out	Total
Daycare	565	140 Students	0.79	52	58	110
TOTAL NEW TRIPS				52	58	110

(1) Source: Institute of Transportation Engineers (ITE), Trip Generation, 11th Edition

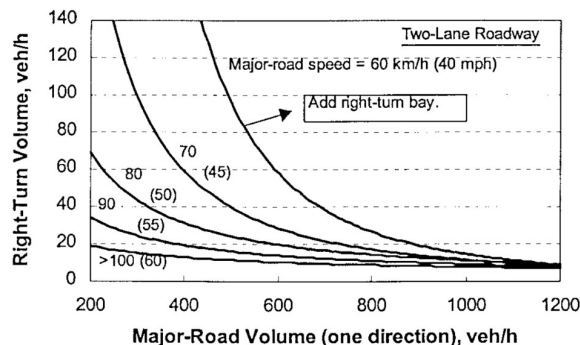
As per the above trip generation analysis, based on the adopted trip generation rates, the proposed new construction will result in a gross increase to the average daily trips of 573 trips, 110 trips during the AM peak hour, and 110 trips during the PM peak hour without taking the pass-through trips into account. This is to demonstrate the driveway trips. We have assumed that 40% of the traffic will ingress and egress from Silver Beach Road, 35% will be using the Tenth Street driveways, and the other 25% will be using the Bayberry Drive access. In this study, we are determining the impact of traffic to the roadway network around the project. Exhibit D shows the project traffic distribution. We also developed project driveway volumes which are shown on Exhibit E.

Based on the above project assignment, it is clear that this development has less than one percent (1%) impact of the adopted level of service, therefore no further analysis is required and the new development meets concurrency.

Access Analysis and Conclusion

Site access is proposed via one existing driveway off Silver Beach Road which will be a right-in/right-out only driveway, one existing full access driveway at the northern end of the property off Tenth Street. The existing one-way egress right-turn only access to Tenth Street will be closed because of its close proximity to Silver Beach Road. A new access to Bayberry Drive will be constructed.

Turning movements into the project were reviewed as per the Project Driveway Volumes (Exhibit E). As per this exhibit, we show 22 vehicles turning right into the project off Silver Beach Road, 4 vehicles turning right into the project off 10th Street, and 10 vehicles turning right into the project off Bayberry Drive during the peak hour. Based on the NCHRP 457 graph for Major Road Volume (one direction) seen below, which shows that none of our driveways have volumes that warrant a right turn lane. In addition, we have included Excel Spreadsheets for the three individual driveways based on NCHRP 457.



Twiggs Daycare
Page 3

In addition, we have reviewed the Palm Beach County Land Development Code which states that: “a 12 foot wide right turn lane with appropriate storage and transition shall be provided at each driveway where the street average daily traffic volumes exceed 10,000 vehicles per day and driveway volume exceeds 1,000 trips per day or 75 right turns inbound in the peak hour.”

Based on the trip generation and the driveway turning movements of this site, it is our opinion that accessibility to the site is adequate and no improvements are needed.

Sincerely,

Imtiaz Ahmed, P.E.
FL License No.: 46102

EXHIBIT A
LOCATION MAP

LOCATION MAP

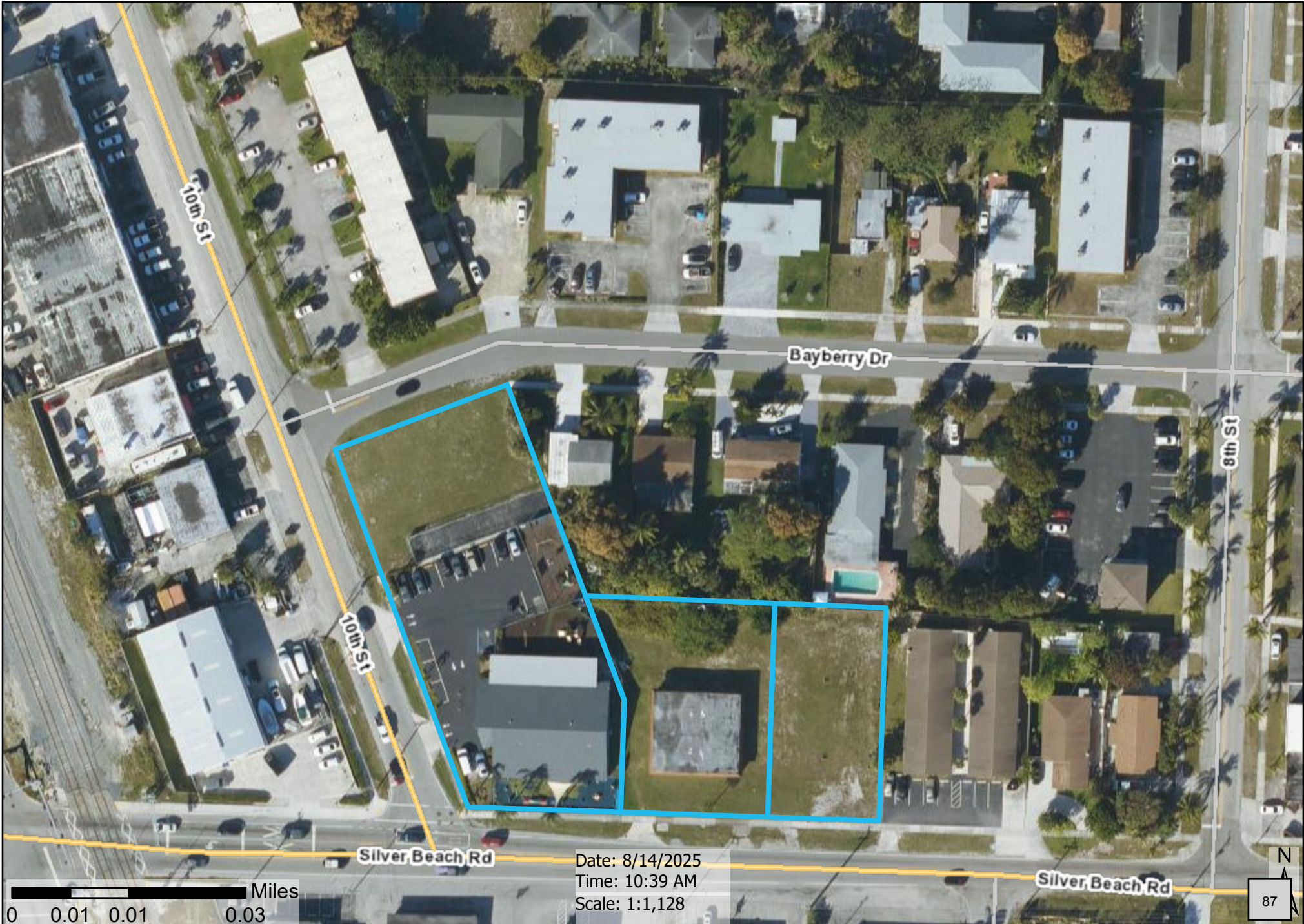
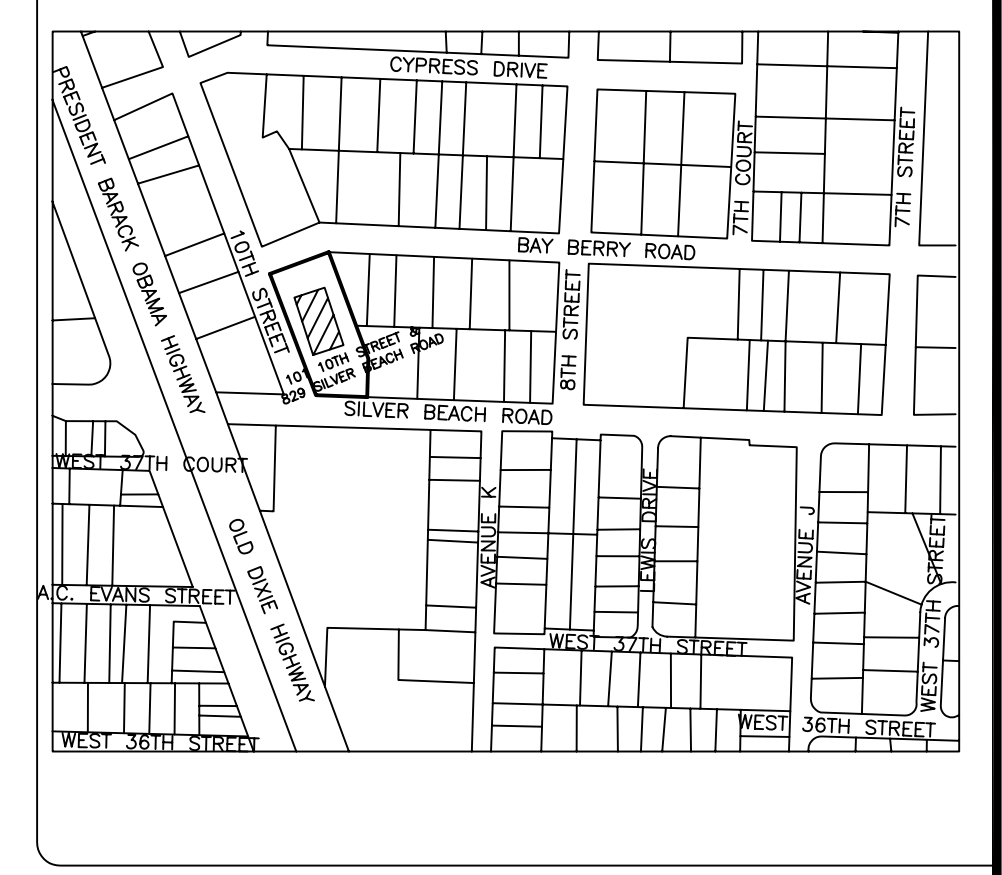
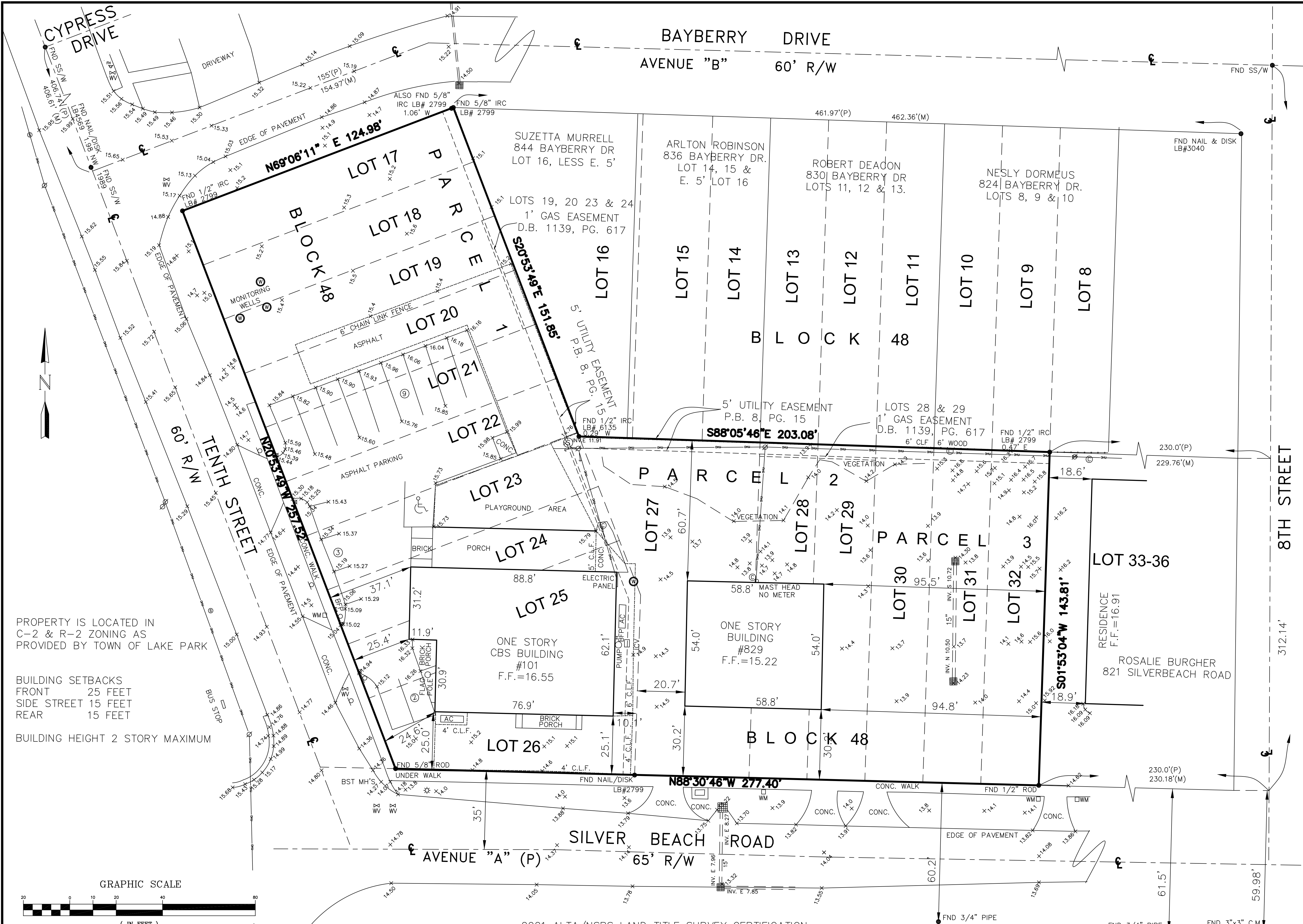


EXHIBIT B
SURVEY



LOCATION MAP

DESCRIPTION:

Parcel 1: 36-43-42-20-01-048-0170 (101 10th Street)
 Lots 17,18,19,20,21,22,23,24,25 and 26, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Parcel 2: 36-43-42-20-01-048-0270 (829 Silver Beach Road)
 Lots 27,28 and 29, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Parcel 3: 36-43-42-20-01-048-0300 (823 Silver Beach Road)
 Lots 30,31 and 32, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Containing 60,339 square feet or 1.35 Acres more or less.
 NOTE: LOTS 20-26, BLOCK 48, AFFECTED BY UNITY OF TITLE IN ORB 5578, PG. 322

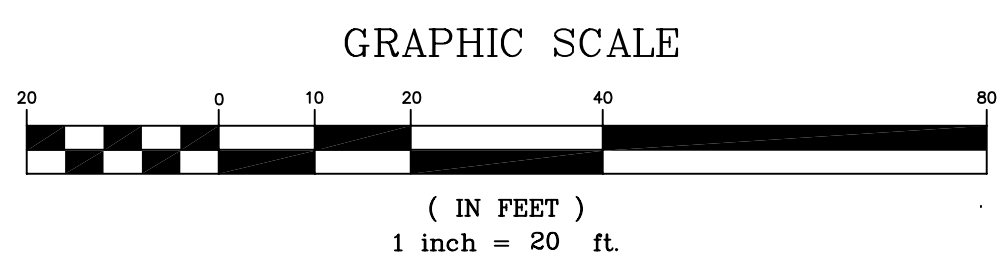
SURVEYOR'S NOTES:

- THIS BOUNDARY SURVEY WAS PERFORMED IN ACCORDANCE WITH TITLE COMMITMENT NO 1205303, DATED 1-7-2022 PREPARED BY OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY. THE DESCRIPTION AND EASEMENTS AS STATED THEREIN ARE AS SHOWN HEREON.
- THIS BOUNDARY & TOPOGRAPHIC SURVEY MEETS THE REQUIREMENTS OF THE STANDARDS OF PRACTICE IN CHAPTER 5J-17.052 OF THE FLORIDA ADMINISTRATIVE CODES & ALTA 2021 STANDARDS.
- SUBSURFACE AND ENVIRONMENTAL CONDITIONS WERE NOT ADDRESSED AS A PART OF THIS SURVEY. ONLY VISIBLE ABOVE GROUND IMPROVEMENTS HAVE BEEN SHOWN. THERE MAY EXIST UNDERGROUND UTILITIES, FOUNDATIONS OR OTHER MATTERS WHICH HAVE NOT BEEN REFLECTED ON THIS SURVEY.
- ADDITIONS AND/OR DELETIONS TO THIS SURVEY MAP BY OTHER THAN THE SIGNING SURVEYOR IS PROHIBITED WITHOUT THE WRITTEN CONSENT OF THIS OFFICE.
- WRITTEN DIMENSIONS TAKE PRECEDENCE OVER SCALED DIMENSIONS AND DISTANCES ARE NOT TO BE SCALED FOR CONSTRUCTION AND/OR DESIGN PURPOSES.
- THIS MAP, AS DEPICTED IN ITS GRAPHIC FORM, BEARING THE SIGNATURE AND SEAL OF THE SURVEYOR, IS THE OFFICIAL DOCUMENT OF THE LANDS AS DESCRIBED HEREIN AND WILL IN NO CIRCUMSTANCE BE SUPPLANTED IN AUTHORITY BY ANY OTHER GRAPHIC OR DIGITAL FORM OF THE MAP.
- THIS SURVEY IS PREPARED FOR THE PARTIES AS STATED HEREON AND IS NOT ASSIGNABLE TO OTHER PARTIES WITHOUT THE WRITTEN CONSENT OF THE SURVEYOR.
- THIS SURVEY DOCUMENT, AS AN INSTRUMENT OF SERVICE, IS INTENDED FOR THE SPECIFIC PURPOSE AND CLIENT FOR WHICH IT WAS PREPARED AND CERTIFIED. REUSE AND/OR RELIANCE UPON THIS DOCUMENT FOR ANY OTHER PURPOSE WITHOUT WRITTEN AUTHORIZATION AND ADAPTION BY DEAN SURVEYING & MAPPING, INC., SHALL BE WITHOUT LIABILITY TO DEAN SURVEYING & MAPPING, INC.
- ELEVATIONS AS SHOWN HEREON ARE SHOWN IN FEET AND DECIMAL PARTS THEREOF AND ARE BASED UPON THE NORTH AMERICAN VERTICAL DATUM OF 1988. REFERENCE BENCHMARK IS N.G.S. STEEL ROD DESIGNATED "U-402" WHICH HAS A PUBLISHED ELEVATION OF 20-735.
- THE ORIGINAL PLAT OF "KELSEY CITY" (NOW KNOWN AS LAKE PARK) CONSISTS OF EIGHT (8) SHEETS, WHICH ARE NOT CONSECUTIVELY NUMBERED. THE COVER SHEET SHEET CONTAINS THE DEDICATION, KEY MAP AND NOTES AND IS RECORDED AS PAGE 15 OF PLAT BOOK 8. SHEET 1 ENCOMPASSES THE AREA IN WHICH BLOCK 48 LIES AND IS RECORDED AS PAGE 27 OF PLAT BOOK OF PLAT BOOK 8.

PROPERTY IS LOCATED IN C-2 & R-2 ZONING AS PROVIDED BY TOWN OF LAKE PARK

BUILDING SETBACKS
 FRONT 25 FEET
 SIDE STREET 15 FEET
 REAR 15 FEET

BUILDING HEIGHT 2 STORY MAXIMUM



Legend

- Indicates Set 1/2" Iron Rod & Cap #LB6936
- Indicates Found Iron Rod & Cap
- Indicates Found Concrete Monument
- Indicates Wood Utility Pole
- Indicates Concrete Power Pole
- Indicates Pole Anchor
- Indicates Catch Basin
- (P) Indicates Plat Dimension
- (G) Indicates Grid Bearing
- Indicates Water Meter
- Indicates Sanitary Cleanout
- Indicates Overhead Utility Lines
- Indicates Water Valve
- Indicates FIRE HYDRANT
- Indicates Storm Drainage Manhole
- Indicates Light Pole
- Indicates Bollard
- Indicates Sign
- Indicates Well
- Indicates Sanitary Manhole

2021 ALTA/NSPS LAND TITLE SURVEY CERTIFICATION

TO: MICHEL INVEST LLC
 CHICAGO TITLE COMPANY
 BANK FIVE NINE
 FLORIDA FIRST CAPITAL FINANCE CORPORATION
 SMALL BUSINESS ADMINISTRATION

THIS IS TO CERTIFY THAT THIS MAP OR PLAT AND THE SURVEY ON WHICH IT IS BASED WERE MADE IN ACCORDANCE WITH THE 2021 MINIMUM STANDARD DETAIL REQUIREMENTS FOR ALTA/NSPS LAND TITLE SURVEYS, JOINTLY ESTABLISHED AND ADOPTED BY ALTA AND NSPS, AND INCLUDES ITEMS 1,2,3,4,6b,7a,7c,8,9,11a,13,16,17 AND 18 OF TABLE A THEREOF. THE FIELD WORK WAS COMPLETED ON JANUARY 21, 2025

DATE OF MAP OR PLAT 3/18/2025

REVISIONS	DATE	DESCRIPTION
UPDATE SURVEY TO ALTA	1/21/25	RICHARD N. DEAN Professional Surveyor & Mapper Florida Certificate No. 4496 LB. 6936

BOUNDARY AND TOPOGRAPHIC SURVEY Prepared For & certified to:
MICHEL INVEST LLC

101 10TH STREET &
 829 SILVER BEACH ROAD
 LAKE PARK, FL 33403

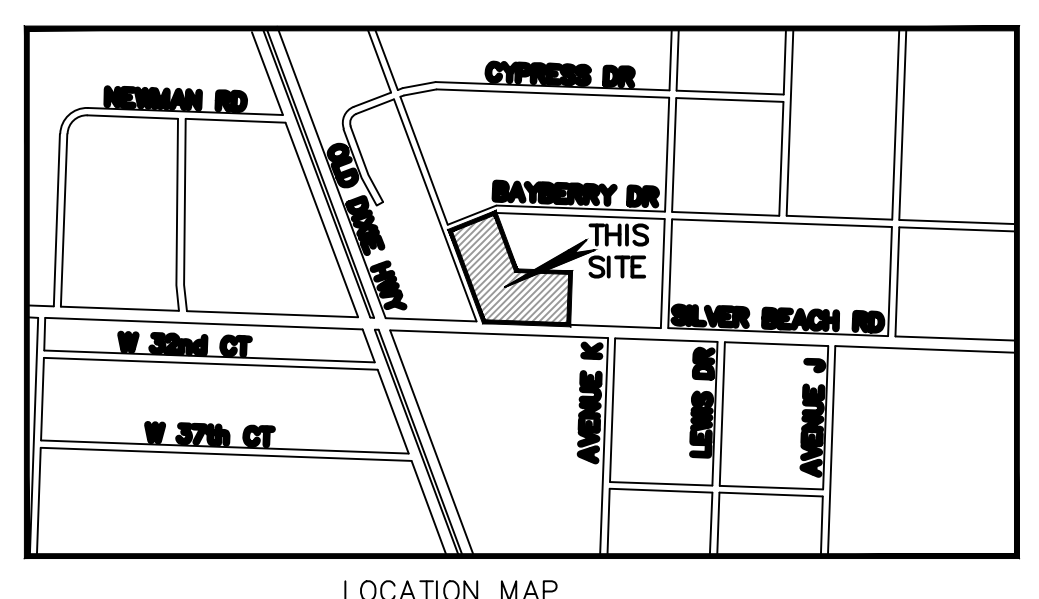
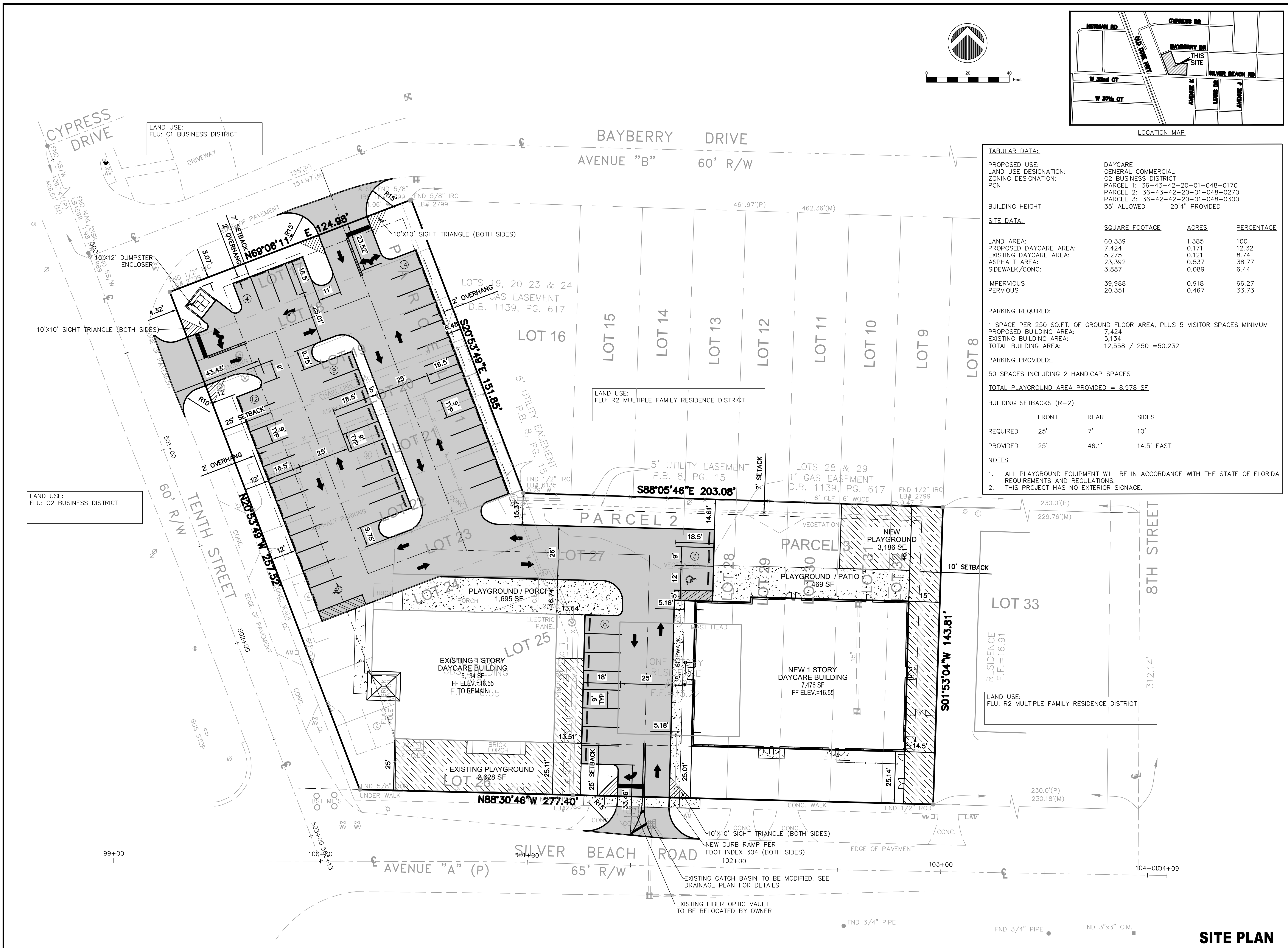
Richard N Dean
 Professional Surveyor & Mapper
 Florida Certificate No. 4496
 LB. 6936

Dean Surveying and Mapping, Inc.
 "The Measuring Line Shall Go Forth" Jeremiah 31:39
 4201 Westgate Avenue
 Suite A3
 West Palm Beach, Florida 33409
 Tel:(561)625-8748

FIELD: R.N.D./L.L. DATE: 11-12-24
 DRAWN: M.R. SCALE: 1" = 20'
 SHEET: 1 of 1 JOB No.: 024-1102

PROPERTY LIES IN FLOOD ZONE "X" AS PER NATIONAL FLOOD INSURANCE PROGRAM RATE MAP 12099C03876

EXHIBIT C
SITE PLAN



TABULAR DATA:

PROPOSED USE: DAYCARE
 LAND USE DESIGNATION: GENERAL COMMERCIAL
 ZONING DESIGNATION: C2 BUSINESS DISTRICT
 PCN

BUILDING HEIGHT: 35' ALLOWED 20'4" PROVIDED

SITE DATA:

	SQUARE FOOTAGE	ACRES	PERCENTAGE
LAND AREA:	60,339	1.385	100
PROPOSED DAYCARE AREA:	7,424	0.171	12.32
EXISTING DAYCARE AREA:	5,275	0.121	8.74
ASPHALT AREA:	23,392	0.537	38.77
SIDEWALK/CONC:	3,887	0.089	6.44
IMPERVIOUS PERVIOUS	39,988	0.918	66.27
	20,351	0.467	33.73

PARKING REQUIRED:
 1 SPACE PER 250 SQ.FT. OF GROUND FLOOR AREA, PLUS 5 VISITOR SPACES MINIMUM
 PROPOSED BUILDING AREA: 7,424
 EXISTING BUILDING AREA: 5,134
 TOTAL BUILDING AREA: 12,558 / 250 = 50.232

PARKING PROVIDED:
 50 SPACES INCLUDING 2 HANDICAP SPACES

TOTAL PLAYGROUND AREA PROVIDED = 8,978 SF

BUILDING SETBACKS (R-2)

	FRONT	REAR	SIDES
REQUIRED	25'	7'	10'
PROVIDED	25'	46.1'	14.5' EAST

NOTES

- ALL PLAYGROUND EQUIPMENT WILL BE IN ACCORDANCE WITH THE STATE OF FLORIDA REQUIREMENTS AND REGULATIONS.
- THIS PROJECT HAS NO EXTERIOR SIGNAGE.

REV.	DESCRIPTION	DATE
1		
2		
3		
4		
5		

IMTIAZ AHMED, P.E.
 LICENSED ENGINEER NO. 46102
 STATE OF FLORIDA

TWIGS ACADEMY
101 10th STREET, LAKE PARK, FL

ATLANTIC ENGINEERING SERVICES, INC.
 2822 WATERS EDGE CIRCLE
 GREENACRES, FLORIDA 33413
 PHONE - (561) 358-4140
 FAX - (561) 966-9242
 CERTIFICATE OF AUTHORIZATION NO.: 9390

PROJ. NO.
 SCALE:

DES.	DWN.	CHK.

SHEET NUMBER
SP1

DATE DRAWN
 JULY 2025

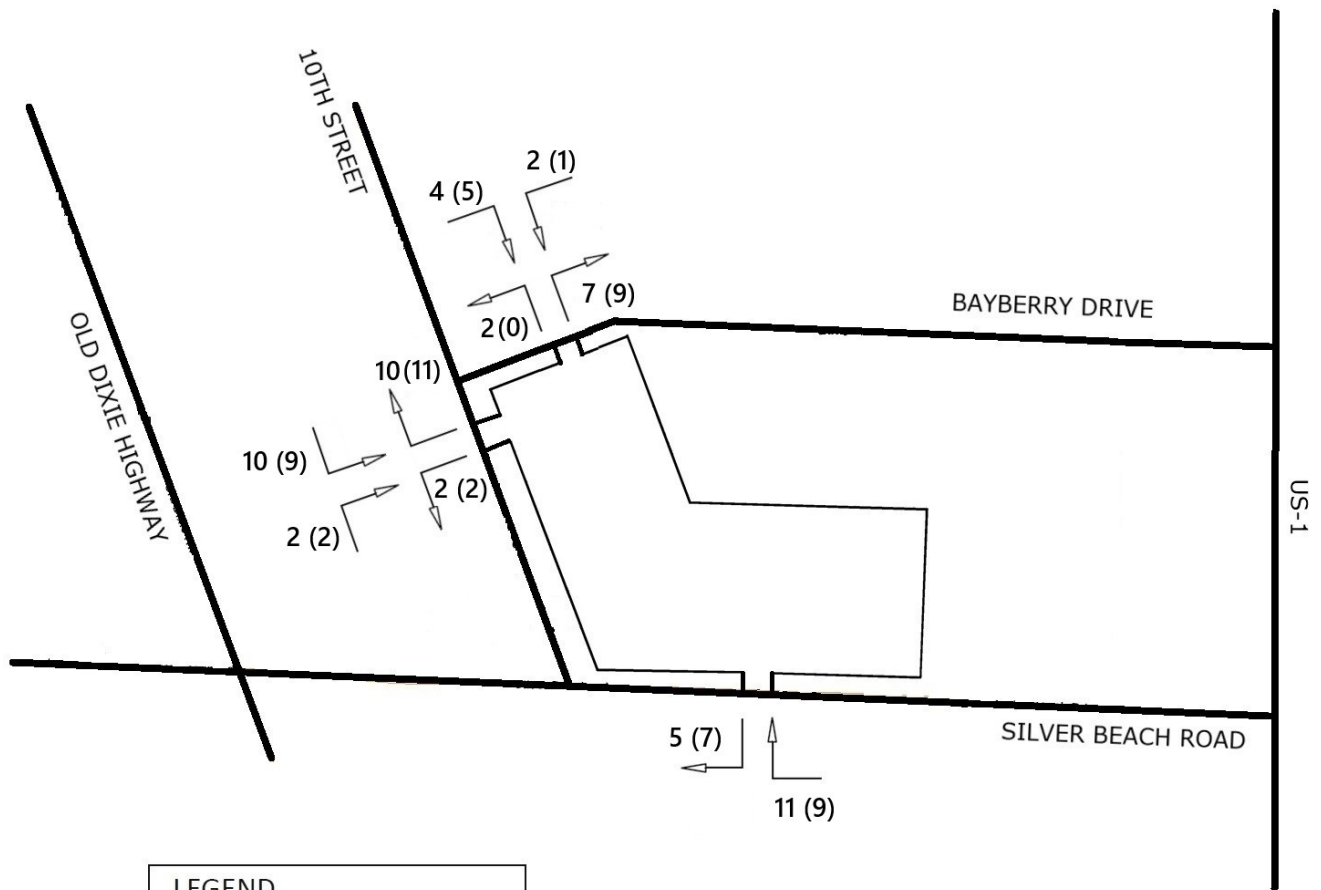
SITE PLAN



TWIGGS DAYCARE

EXHIBIT D
PROJECT TRAFFIC DISTRIBUTION

AES



LEGEND

55 -AM PEAK HOUR

(55) -PM PEAK HOUR

286 -AADT

TWIGGS DAYCARE

EXHIBIT E
PROJECT DRIVEWAY VOLUMES

AES

BAYBERRY DRIVE RIGHT TURN ANALYSIS

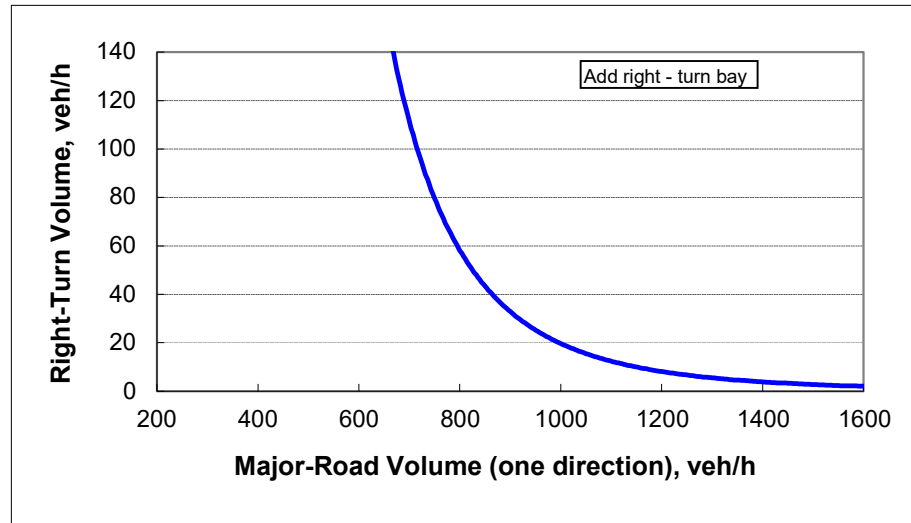
Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

INPUT

Roadway geometry:	2-lane roadway
Variable	Value
Major-road speed, km/h:	48
Major-road volume (one direction), veh/h:	100
Right-turn volume, veh/h:	10

OUTPUT

Variable	Value
Limiting right-turn volume, veh/h:	1430082
Guidance for determining the need for a major-road right-turn bay for a 2-lane roadway:	
Do NOT add right-turn bay.	



10TH STREET RIGHT TURN ANALYSIS

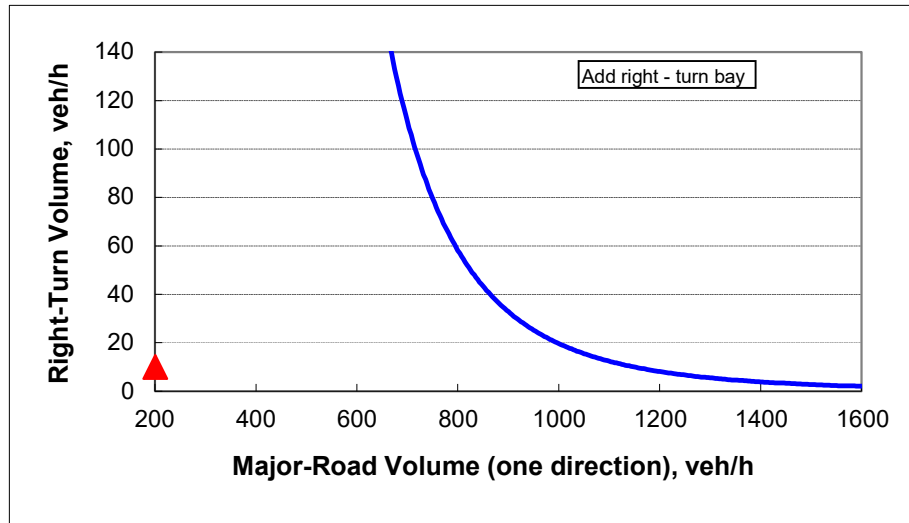
Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

INPUT

Roadway geometry:	2-lane roadway
Variable	Value
Major-road speed, km/h:	48
Major-road volume (one direction), veh/h:	200
Right-turn volume, veh/h:	10

OUTPUT

Variable	Value
Limiting right-turn volume, veh/h:	49177
Guidance for determining the need for a major-road right-turn bay for a 2-lane roadway:	
Do NOT add right-turn bay.	



SILVER BEACH ROAD RIGHT TURN ANALYSIS

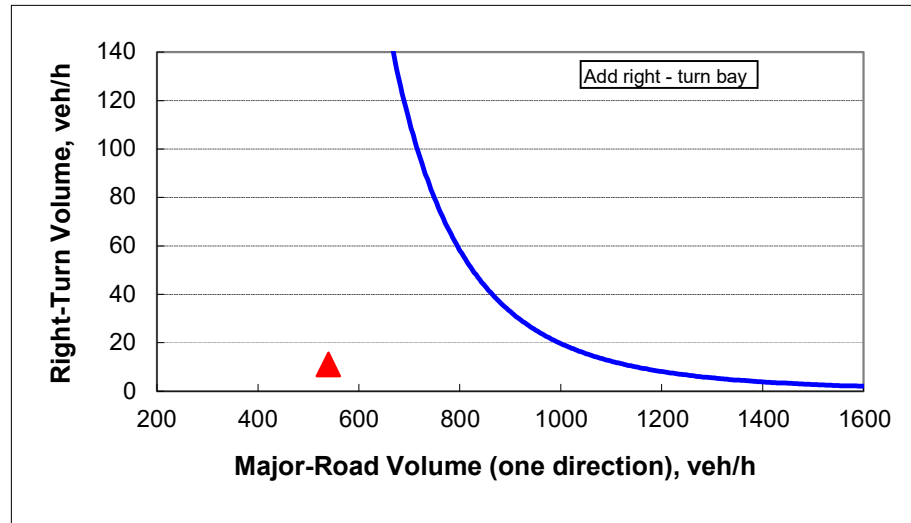
Figure 2 - 6. Guideline for determining the need for a major-road right-turn bay at a two-way stop-controlled intersection.

INPUT

Roadway geometry:	2-lane roadway
Variable	Value
Major-road speed, km/h:	48
Major-road volume (one direction), veh/h:	539
Right-turn volume, veh/h:	11

OUTPUT

Variable	Value
Limiting right-turn volume, veh/h:	397
Guidance for determining the need for a major-road right-turn bay for a 2-lane roadway:	
Do NOT add right-turn bay.	





September 5, 2025

Imtiaz Ahmed, P.E.
Atlantic Engineering Services, Inc.,
2826 Waters Edge Circle,
Greenacres, FL 33413

**RE: Twiggs Daycare
Project #: 250701
Traffic Performance Standards (TPS) Review**

Dear Mr. Ahmed:

The Palm Beach County Traffic Division has reviewed the above reference project Traffic Impact Statement, dated July 14, 2025, and supplemental changes and information provided in an email to the Traffic Division, dated 9/2/2025, pursuant to the Traffic Performance Standards in Article 12 of the Palm Beach County (PBC) Unified Land Development Code (ULDC). The project is summarized as follows:

- Municipality:** Lake Park
- Location:** NEC of Silver Beach Road and 10th Street
- PCN:** 36-43-42-20-01-048-0270/-0170/-0300
- Access:** One right-in/right-out access connection onto Silver Beach Road, one full access connection onto 10th Street, and one full access connection onto Bayberry Drive (As used in the study and is NOT necessarily an approval by the County through this TPS letter)
- Existing Uses:** Daycare = 75 Students, and Single Family Residential Detached = 1 DU
- Proposed Uses:** Daycare =140 Students
- Net Daily Trips:** 123 (Existing – Proposed)
- Net Peak Hour Trips:** 25 (14/11) AM; 24 (11/13) PM (Existing – Proposed)
- Proj Daily Trips:** 286
- Proj Peak Hour Trips:** 55 (29/26) AM; 55 (26/29) PM
- Build-out:** December 31, 2027

Based on our review, the Traffic Division has determined the proposed use will have an insignificant impact on the area roadways within the Radius of Development Influence. Therefore, it **meets** the TPS of Palm Beach County.

Please note the receipt of a TPS approval letter does not constitute the review and issuance of a Palm Beach County Right-of-Way (R/W) Construction Permit nor does it eliminate any requirements that may be deemed as site related. For work within Palm Beach County R/W, a detailed review of the project will be provided upon submittal for a R/W permit application. The project is required to comply with all Palm Beach County standards and may include R/W dedication.

No building permits are to be issued by the Town after the build-out date specified above, or as amended. The County traffic concurrency approval is subject to the Project Aggregation Rules set forth in the Traffic Performance Standards Ordinance.

**Engineering and
Public Works Department**
P.O. Box 21229
West Palm Beach, FL 33416-1229
(561) 684-4000
FAX: (561) 684-4050
www.pbc.gov



**Palm Beach County
Board of County
Commissioners**

- Maria G. Marino, Mayor
- Sara Baxter, Vice Mayor
- Gregg K. Weiss
- Joel G. Flores
- Marci Woodward
- Maria Sachs
- Bobby Powell Jr.

County Administrator

Joseph Abruzzo

"An Equal Opportunity Employer"



Imtiaz Ahmed, P.E.
September 5, 2025
Page 2 of 2

The approval letter shall be valid no longer than one year from date of issuance, unless an application for a Site Specific Development Order has been approved, an application for a Site Specific Development Order has been submitted, or the approval letter has been superseded by another approval letter for the same property.

If you have any questions regarding this determination, please contact me at 561-478-5755 or email MRahman@pbc.gov.

Sincerely,

A handwritten signature in blue ink that reads "Rahman".

Moshir Rahman, Ph.D., P.E.
Professional Engineer
Engineering and Public Works Dept.
Traffic Division

MR:QB:ep

cc: Nadia Di Tommaso, Director of Community Development, Town of Lake Park
Quazi Bari, P.E., PTOE, Manager - Growth Management, Traffic Division
Alberto Lopez Tagle, Technical Assistant III, Traffic Division

File: General - TPS - Mun - Traffic Study Review
F:\TRAFFIC\MR\MUN\APPROVED\2025\250701 TWIGGS DAYCARE.DOCX

Atlantic Engineering Services, Inc.

Contact:

Imtiaz Ahmed, P.E.

**2826 Waters Edge Circle
Green Acres, FL 33413
Phone: 561.358.4140**

TWIGGS ACADEMY

Stormwater Management Report

March 2026

PRE CONSTRUCTION CALCULATIONS

TWIGGS PRE

SFWMD 72-hr 100Y - 72H Rainfall=18.40"

Prepared by Spectrum Designs

Printed 3/6/2026

HydroCAD® 10.20-7a s/n 14025 © 2025 HydroCAD Software Solutions LLC

Summary for Subcatchment 1S: (new Subcat)

Runoff = 15.24 cfs @ 59.89 hrs, Volume= 1.896 af, Depth>16.43"

Routed to Pond 2P : STORAGE

Runoff by SCS TR-20 method, UH=SCS, Weighted-CN, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 SFWMD 72-hr 100Y - 72H Rainfall=18.40"

	Area (sf)	CN	Description
*	20,004	98	
	40,335	79	50-75% Grass cover, Fair, HSG C
	60,339	85	Weighted Average
	40,335		66.85% Pervious Area
	20,004		33.15% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, Minimum

TWIGGS PRE

SFWMD 72-hr 100Y - 72H Rainfall=18.40"

Prepared by Spectrum Designs

Printed 3/6/2026

HydroCAD® 10.20-7a s/n 14025 © 2025 HydroCAD Software Solutions LLC

Summary for Pond 2P: STORAGE

Inflow Area = 1.385 ac, 33.15% Impervious, Inflow Depth > 16.43" for 100Y - 72H event
 Inflow = 15.24 cfs @ 59.89 hrs, Volume= 1.896 af
 Outflow = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Atten= 100%, Lag= 0.0 min

Routing by Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 Peak Elev= 15.83' @ 72.00 hrs Surf.Area= 60,339 sf Storage= 82,569 cf

Plug-Flow detention time= (not calculated: initial storage exceeds outflow)
 Center-of-Mass det. time= (not calculated: no outflow)

Volume	Invert	Avail.Storage	Storage Description
#1	14.00'	59,406,308 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
14.00	5,125	0	0
15.00	60,339	32,732	32,732
999.00	60,339	59,373,576	59,406,308

TWIGGS PRE

Prepared by Spectrum Designs

HydroCAD® 10.20-7a s/n 14025 © 2025 HydroCAD Software Solutions LLC

SFWMD 72-hr 100Y - 72H Rainfall=18.40"

Printed 3/6/2026

Events for Pond 2P: STORAGE

Event	Inflow (cfs)	Elevation (feet)	Storage (cubic-feet)
3Y - 1H	3.84	14.17	1,670
5Y - 1H	5.24	14.24	2,752
5Y - 24H	4.99	14.88	25,758
25Y - 72H	10.85	15.41	57,221
100Y - 72H	15.24	15.83	82,569

TWIGGS PRE-DEVELOPMENT DATA

Acreage

Basin Name	Basin 01	
Total Acreage	1.39	ac
Building	0.19	ac
Pavement	0.27	ac
Pond (NWL)	0.00	ac
Pervious	0.93	ac

Area Data	sq ft	acres
Drainage Area	60,339	1.39
Total Impervious Area Breakdown		
Building	8,330	0.19
Pavement	11,676	0.27
Sidewalks	NA	NA
Total	20,006	0.46
Open Area / Landscape Area		
Total open area	40,333	0.93

Runoff Coefficient (C)

Coverage	C	Percentage of Total	C x Percentage
Pond	0.00	0%	0.00
Pervious	0.93	67%	0.62
Impervious	0.46	33%	0.15
Composite		100%	0.77

Curve Number (CN) Calculations

Coverage	CN	Acreage	C x Acreage
Pond	100	0.00	0.00
Pervious	60	0.93	55.56
Impervious	98	0.46	45.01
Sum of CN x Acreage			100.56
Composite CN			73

Time of Concentration

#1 Sheet Flow (< 300 linear feet)

Manning's n	0.15	(From Table 3-1)
2YR-24HR Rainfall (in)	5.63	(P2)
Length (ft)	200	
Slope (ft/ft)	0.50%	<i>*Remember that 2% is the same as 0.02 ft/ft, 5% is 0.05 ft/ft, and so on...</i>
Tt (mins)	22.4	

#2 Unpaved Concentrated Flow

Length (ft)	0
Slope (ft/ft)	0.01
Tt (mins)	0.00

#3 Paved Concentrated Flow

Length (ft)	0
Slope (ft/ft)	0.005
Tt (mins)	0.00

#4 Total Time of Concentration (Sum of #1-3)	22.4	mins
---	-------------	-------------

Minimum Tc used = 10 minutes

POST CONSTRUCTION CALCULATIONS

TWIGGS POST DEVELOPMENT DATA

Acreage

Basin Name	Basin 01	
Total Acreage	1.39	ac
Building	0.29	ac
Pavement/Conc	0.64	ac
Pond (NWL)	0.00	ac
Pervious	0.45	ac

Area Data	sq ft	acres
Drainage Area	60,339	1.39
Total Impervious Area Breakdown		
Building	12,676	0.29
Pavement	24,500	0.56
Sidewalks	4,568	0.10
Total	41,744	0.96
Open Area / Landscape Area		
Total open area	18,595	0.43

Runoff Coefficient (C)

Coverage	C	Percentage of Total	C x Percentage
Pond	0.00	0%	0.00
Pervious	0.45	33%	0.15
Impervious	0.93	67%	0.63
Composite		100%	0.77

Curve Number (CN) Calculations

Coverage	CN	Acreage	C x Acreage
Pond	100	0.00	0.00
Pervious	60	0.45	27.25
Impervious	98	0.93	91.24
Sum of CN x Acreage			118.49
Composite CN			86

Time of Concentration

#1 Sheet Flow (< 300 linear feet)

Manning's n	0.15	(From Table 3-1)
2YR-24HR Rainfall (in)	5.63	(P2)
Length (ft)	92	
Slope (ft/ft)	0.48%	<i>*Remember that 2% is the same as 0.02 ft/ft, 5% is 0.05 ft/ft, and so on....</i>
Tt (mins)	12.2	

#2 Unpaved Concentrated Flow

Length (ft)	0
Slope (ft/ft)	0.01
Tt (mins)	0.00

#3 Paved Concentrated Flow

Length (ft)	150
Slope (ft/ft)	0.005
Tt (mins)	1.74

#4 Total Time of Concentration (Sum of #1-3)	14.0	mins
---	-------------	-------------

Minimum Tc used = 10 minutes

TWIGGS POST DEVELOPMENT DATA

Water Quality Treatment Volumes SFWMD

		sq ft	acres
Total Drainage Area		60,339	1.39
Impervious Area Breakdown (Total Site-Roof Areas)		41,744	0.96
WQTV Impervious Area Breakdown (Total Impervious-Open Area)		23,149	0.53
Percentage of Impervious Area		69.18%	
Percentage of Impervious to be treated (%Imp x 2.5 inches)		1.73	Inches

(Total Drainage Area) x (1.0 inches)= 5,028 cf
 or
 (Impervious Area) x (2.5 Inches)= 8,697 cf
 100% of Water Quality Treatment Volume= 8,697 cf
 0.200 ac-ft

FINAL WQTV with Volume Reduction (100% for Wet Detention,	8,697	cf
75% for Dry Detention, 50% for Retention)	0.200	ac-ft

Exfiltration Trench has 0 reduction in this formula since the SFWMD already accounts for this reduction in the Trench Design Formula.

Refers to the Stormwater Water Quality criteria. Part 4.2.1 - SFWMD ERP Handbook Volume 2 and Example I in Part III Section W (Pages W-1 thru w-5)

TWIGGS POST DEVELOPMENT DATA

Water Storage - 3Yr-1Hr Storm

3 Year - 1 Hour Depth (in)=	2.41		
Curve Number (Pre)=	73		
Curve Number (Post)=	86		
Drainage Area (ft ²)=	60,339.00	SqFt	
Runoff (Q-Pre)=	0.98	Inches	From HydoCad
Runoff (Q-Post)=	2.35	Inches	From HydoCad
Delta Q=	1.37	Inches	
	(ft ³)	(Ac-ft)	
Pre Water Storage Volume	887.00	0.020	From HydoCad
Post Water Storage Volume	2831.40	0.065	From HydoCad
Delta (Post-Pre) Water Volume	1944.40	0.045	

Water Storage - 5Yr-1Hr Storm

5 Year - 1 Hour Depth (in)=	2.94		
Curve Number (Pre)=	63		
Curve Number (Post)=	92		
Drainage Area (ft ²)=	60,339.00	SqFt	
Runoff (Q-Pre)=	1.21	Inches	From HydoCad
Runoff (Q-Post)=	2.68	Inches	From HydoCad
Delta Q=	1.47	Inches	
	(ft ³)	(Ac-ft)	
Pre Water Storage Volume	1165.00	0.027	From HydoCad
Post Water Storage Volume	3223.44	0.074	From HydoCad
Delta (Post-Pre) Water Volume	2058.44	0.047	

Water Storage - 5Yr-24Hr Storm

5 Year - 24 Hour Depth (in)=	7.48		
Curve Number (Pre)=	63		
Curve Number (Post)=	92		
Drainage Area (ft ²)=	60,339.00	SqFt	
Runoff (Q-Pre)=	3.94	Inches	From HydoCad
Runoff (Q-Post)=	6.05	Inches	From HydoCad
Delta Q=	2.11	Inches	
	(ft ³)	(Ac-ft)	
Pre Water Storage Volume	4642.00	0.107	From HydoCad
Post Water Storage Volume	7274.52	0.167	From HydoCad
Delta (Post-Pre) Water Volume	2632.52	0.060	

Water Storage - 25Yr-72Hr Storm

25 Year - 72 Hour Depth (in)=	13.30		
Curve Number (Pre)=	63		
Curve Number (Post)=	92		
Drainage Area (ft ²)=	60,339.00	SqFt	
Runoff (Q-Pre)=	10.35	Inches	From HydoCad
Runoff (Q-Post)=	13.00	Inches	From HydoCad
Delta Q=	2.65	Inches	
	(ft ³)	(Ac-ft)	
Pre Water Storage Volume	12211.00	0.280	From HydoCad
Post Water Storage Volume	15550.92	0.357	From HydoCad
Delta (Post-Pre) Water Volume	3339.92	0.077	

Water Storage - 100Yr-72Hr Storm

100 Year - 72 Hour Depth (in)=	18.40		
Curve Number (Pre)=	63		
Curve Number (Post)=	92		
Drainage Area (ft ²)=	60,339.00	SqFt	
Runoff (Q-Pre)=	12.75	Inches	From HydoCad
Runoff (Q-Post)=	15.49	Inches	From HydoCad
Delta Q=	2.74	Inches	
	(ft ³)	(Ac-ft)	
Pre Water Storage Volume	15035.00	0.345	From HydoCad
Post Water Storage Volume	18556.56	0.426	From HydoCad
Delta (Post-Pre) Water Volume	3521.56	0.081	

Pre Water Storage Volume=	15035.00	0.345
Post Water Storage Volume=	13496.84	0.310

TWIGGS POST DEVELOPMENT DATA

Exfiltration Min. Size

Total Drainage Area (A) =	1.39 Acres	
Weighted Curve Number (C)=	86	
Time of Concentration (Tc)=	10 Minutes	
Water volume Required to Retain the Max of the WQTV or Delta Post Development -Pre Development		
3YR-1HR Storm	0.0446	Ac-ft

Calculations

Assumption that the first 1" runoff is completely polluted

Time to Generate 1-inch Runoff (T1) =	10.60	MIN
Design Frequency (F)=	10	YR

POLLUTED RUNOFF DURATION Tt

Time of Concentration =	10 MIN
Time to Generate 1-Inch Runoff (T1)	10.60 MIN
Total Storm Duration (Tt)	20.60 MIN

STORM INTENSITY FORMULA

Storm Intensity (i)=	6.58 INCH/HR
----------------------	--------------

PEAK DISCHARGE

Peak Discharge (Q)=	780.19 CFS
---------------------	------------

TWIGGS POST DEVELOPMENT DATA

MAXIMUM POLLUTED (TREATMENT) VOLUME		V'=600QTt
Maximum Polluted Volume (V')=	964,325	CF
	22.1379	Ac-ft
Volume of 3YR-1HR Storm=	0.045	Ac-ft
Volume of Storage (Vatt)=	0.045	Ac-ft
Volume Water Quality (Vwq)=	0.200	Ac-ft
Volume to be Retained on Trench (Vtotal)=	0.200	Ac-ft

DETERMINING TRENCH STORAGE		
Average Ground Elevation=	15.50	FT
Seasonal High Water Table (SWHT)=	2.65	FT
Exfiltration Trench Pipe Diameter=	2.00	FT
Pipe Invert Elevation=	8.50	FT
Pipe Area Above SHWT (A _{pipe})=	4.91	SF
Top of Trench Elevation=	12.5	FT
Height of Trench Above SHWT (D _u)=	9.50	FT
Height of Trench Below SHWT (D _s)=	0.00	FT
Width of Trench (W)=	8.00	FT
Height of Trench (H)=	9.50	FT
Exfiltration Trench Aggregate Porosity (f)=	0.30	
A _{trench} =f(W*D _u -A _{pipe})		
Exfiltration Trench Storage Area (A _{trench})=	21.327	SF
S=A _{trench} +A _{pipe}		
Storage in Trench (S)=	26.236	FT ³ /FT

DETERMINING LENGTH OF EXFILTRATION TRENCH

FDOT DISTRICT VI METHOD

$$E_T = 2K_{10} \left(\frac{D_U}{2} + D_S \right) H_2 + 2K_{15} d_2 H_2 + 2K_{20} d_3 H_2$$

$$L = \frac{V_T}{S + 60 * E_T T_T}$$

FDOT EMPIRICAL METHOD

Eq.2- Use Eq.2 if trench width is twice the depth of exfiltration trench or if saturated depth (Ds) is greater than non-saturated thench depth (Du).

$$L = \frac{FS[(\%WQ)(Vwq) + Vadd]}{K(2 \times H_2 \times D_U - D_U^2 + 2 \times H_2 \times D_S) + 1.39 \times 10^{-4} \times W \times D_U}$$

2.396 Convert storage to ac-in
0.00 0.01056 0.01370

Using Eq.2

174.91

Average Hydraulic Conductivity (K)=	7.33E-05	CFS-/FT^2-FT
Height of Trench Below SHWT (Ds)=	0.00	FT
Height of Trench Above SHWT (Du)=	9.50	FT

Average Ground Elevation=	15.50	FT
Seasonal High Water Table (SHWT)=	2.65	FT
Current Head (H2)=	7.00	FT
Volume to be Retained in Trench Under Formula (Vt)=		Acre-in
Storage in Trench (S)=	26.24	FT^3/FT
Width of Trench (W)=	8.00	FT

Required Length of Trench (L)=	174.91	FT
Safety Factor (SF)=	2	
Proposed Length of Trench Based on Formula	349.81	FT
Proposed Length of Trench Based on Excess Volume	65.19	FT
Proposed Length of Trench (L)=	415	FT

TWIGGS POST DEVELOPMENT DATA

SITE PARAMETERS - EXFILTRATION MAX VOLUME

From initial Storage Calculations

Total Drainage Area (A)=	1.385	Ac
Weighted Curve Number (C)=	86	
Time of Concentration (Tc)=	10	Minutes

Max Volume for Design Length (Volume Manually Entered to Generate Exact Exfiltration	0.235000	Ac-ft
---	----------	-------

CALCULATIONS

Assumption that the First 1" of Runoff is Completely Polluted.

$$t_1 = \frac{2940F^{-0.11}}{308.5C - 60.5(0.5895 + F^{-0.67})}$$

	2282.17
	215.29
	10.60

Time to Generate 1-Inch Run-off (t1)=	10.60	Minutes
Design Frequency (F)=	10	YR

*Formula Developed by FDOT Distric VI

Polluted Run-off Duration (Tt)

$$T_T = t_C + t_1$$

Time of Concentration (Tc)=	10	Minutes
Time to Generate 1-Inch Run-off (t1)=	10.60	Minutes
Total Storm Duration (Tt)=	20.60	Minutes

Storm Intensity Formula

$$i = \frac{308.5}{48.6 * F^{-0.11} + T_T(0.5895 + F^{-0.67})}$$

	308.50
	54.27
	5.68

Storm Intensity (i)=	5.68	Inch/hr
----------------------	------	---------

Peak Discharge

$$Q = CiA$$

Peak Discharge (Q)=	674	CFS
---------------------	-----	-----

Maximum Polluted (Treatment) Volume

$$V' = 60QT_T$$

Maximum Polluted (Treatment) Volume (V')=	832,474.35
---	------------

Volume to be retained in Trench (Vtotal)=

Max Volume That Trench Can Retain within formula (Vformula)=

Excess Volume to be Retained in Trench (Vexcess)=

DETERMING TRENCH STORAGE

Average Ground Elevation=	15.50	FT
Seasonal High Water Table (SHWT)=	2.65	FT
Exfiltration Trench Pipe Diameter=	2.00	FT
Pipe Invert Elevation=	8.50	FT
Pipe Area Above SHWT (A _{pipe})=	4.91	SF
Trench Top Elevation	12.5	FT
Height of Trench Above SHWT (D _u)=	9.50	FT
Height of Trench Below SHWT (D _s)=	0.00	FT
Width of Trench (W)=	8.00	FT
Exfiltration Trench Aggregate Porosity (f)=	0.30	

EXFILTRATION TRENCH CALCULATIONS - ACTUAL MAX STORAGE VOLUME CALCULATIONS

$$A_{trench} = f(W * D_u - A_{pipe})$$

Exfiltration Trench Storage Area (A _{trench})=	21.33	SF
--	-------	----

$$S = A_{trench} + A_{pipe}$$

Storage in Trench (S)=	26.24	FT ³ /FT
------------------------	-------	---------------------

DETERMING LENGTH OF EXFILTRATION TRENCH

FDOT DISTRICT VI METHOD

$$E_T = 2K_{10} \left(\frac{D_U}{2} + D_S \right) H_2 + 2K_{15} d_2 H_2 + 2K_{20} d_3 H_2$$

$$L = \frac{V_T}{S + 60 * E_T T_T}$$

FDOT EMPIRICAL METHOD

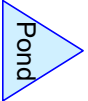
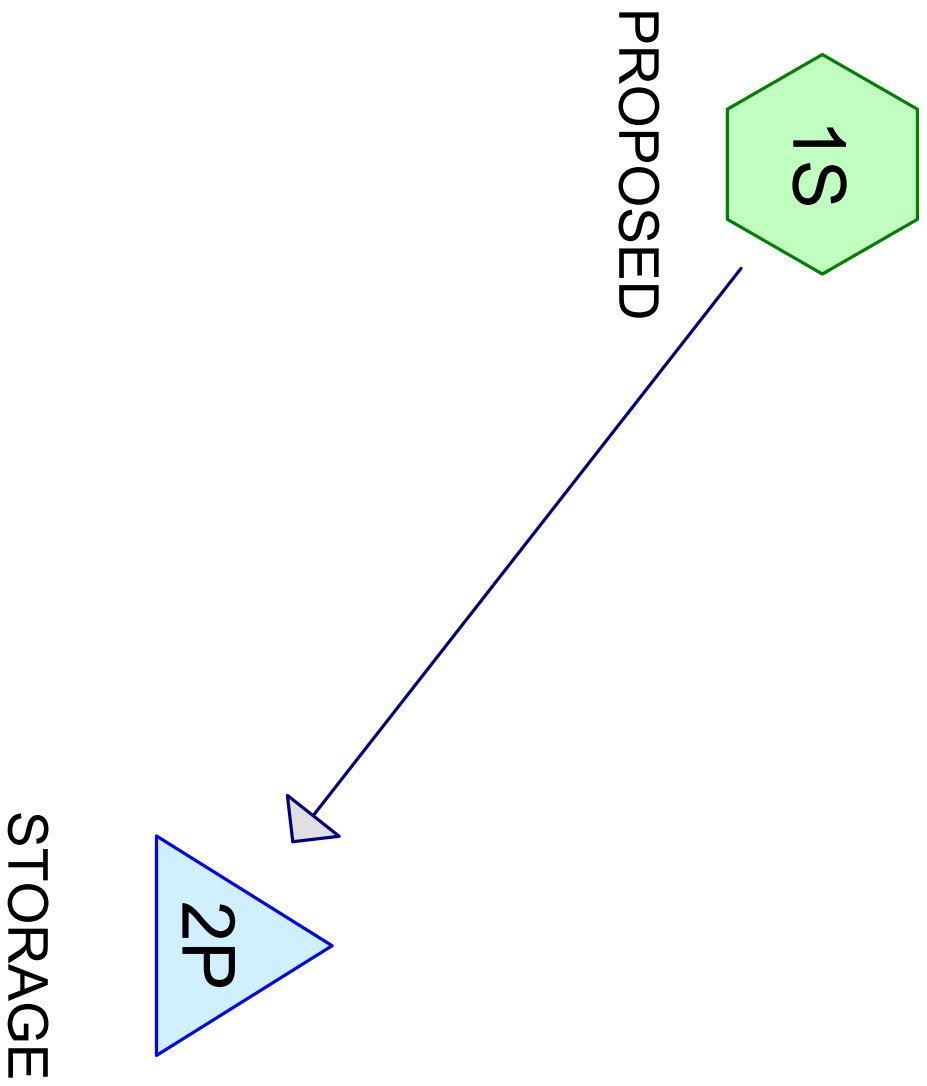
Eq.2- Use Eq.2 if trench width is twice the depth of exfiltration trench or if saturated depth (D_s) is greater than non-saturated trench depth (D_u).

$$L = \frac{FS[(\%WQ)(Vwq) + V_{add}]}{K(2 \times H_2 \times D_U - D_U^2 + 2 \times H_2 \times D_S) + 1.39 \times 10^{-4} \times W \times D_U}$$

2.820
0.01

Using Eq.2 205.88

Average Hydraulic Conductivity (K)=	7.33E-05	CFS-/FT ² -FT
Height of Trench Below SHWT (D _s)=	0.00	FT
Height of Trench Above SHWT (D _u)=	9.50	FT
Average Ground Elevation=	15.50	FT
Seasonal High Water Table (SHWT)=	2.65	FT
Current Head (H ₂)=	7.00	FT
Volume to be Retained in Trench Under Formula (V _t)=		Acre-in
Storage in Trench (S)=	26.24	FT ³ /FT
Width of Trench (W)=	8.00	FT
Required Length of Trench (L)=	205.88	FT
Safety Factor (SF)=	2	
Length of Trench Based on Formula (L _{formula})=	411.75	FT
Length of Trench Based on Excess Volume (L _{excess})=	3.25	FT
Actual Length of Trench to be Built on Plans (L)=	415	FT



Routing Diagram for TWIGGS POST
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TWIGGS POST

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Page 1

Rainfall Events Listing (selected events)

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	5Y - 1H	FDOT 1-hr		Default	1.00	1	3.55	2
2	5Y - 24H	Type II FL 24-hr		Default	24.00	1	7.00	2
3	25Y - 72H	SFWMD 72-hr		Default	72.00	1	14.00	2
4	100Y - 72H	SFWMD 72-hr		Default	72.00	1	16.50	2

TWIGGS POST

FDOT 1-hr 5Y - 1H Rainfall=3.55"

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Page 2

Summary for Pond 2P: STORAGE

[42] Hint: Gap in defined storage above volume #1 at 12.50'

Inflow Area = 1.490 ac, 61.74% Impervious, Inflow Depth = 1.34" for 5Y - 1H event
 Inflow = 5.12 cfs @ 0.72 hrs, Volume= 0.166 af
 Outflow = 1.64 cfs @ 1.00 hrs, Volume= 0.166 af, Atten= 68%, Lag= 16.8 min
 Discarded = 1.64 cfs @ 1.00 hrs, Volume= 0.166 af

Routing by Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 Peak Elev= 8.22' @ 1.00 hrs Surf.Area= 0.076 ac Storage= 0.119 af

Plug-Flow detention time= 67.9 min calculated for 0.166 af (100% of inflow)
 Center-of-Mass det. time= 68.5 min (114.2 - 45.7)

Volume	Invert	Avail.Storage	Storage Description
#1	3.00'	0.208 af	8.00'W x 415.00'L x 9.50'H EXFIL TRENCH 0.724 af Overall - 0.031 af Embedded = 0.693 af x 30.0% Voids
#2	8.50'	0.030 af	24.0" Round RCP_Round 24" Inside #1 L= 415.0' 0.031 af Overall - 0.2" Wall Thickness = 0.030 af
#3	15.00'	0.138 af	PAVEMENT (Prismatic) Listed below (Recalc) -Impervious
#4	14.50'	0.085 af	RETENTION (Conic) Listed below (Recalc)
		0.462 af	Total Available Storage

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)
15.00	0.087	0.000	0.000
15.20	0.379	0.047	0.047
15.40	0.540	0.092	0.138

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
14.50	0.052	0.000	0.000	0.052
15.33	0.164	0.085	0.085	0.164

Device	Routing	Invert	Outlet Devices
#1	Discarded	3.00'	5.700 in/hr Exfiltration over Wetted area from 3.00' - 12.50' Conductivity to Groundwater Elevation = 2.65' Excluded Wetted area = 0.076 ac

Discarded OutFlow Max=1.64 cfs @ 1.00 hrs HW=8.22' (Free Discharge)
 ↳1=Exfiltration (Controls 1.64 cfs)

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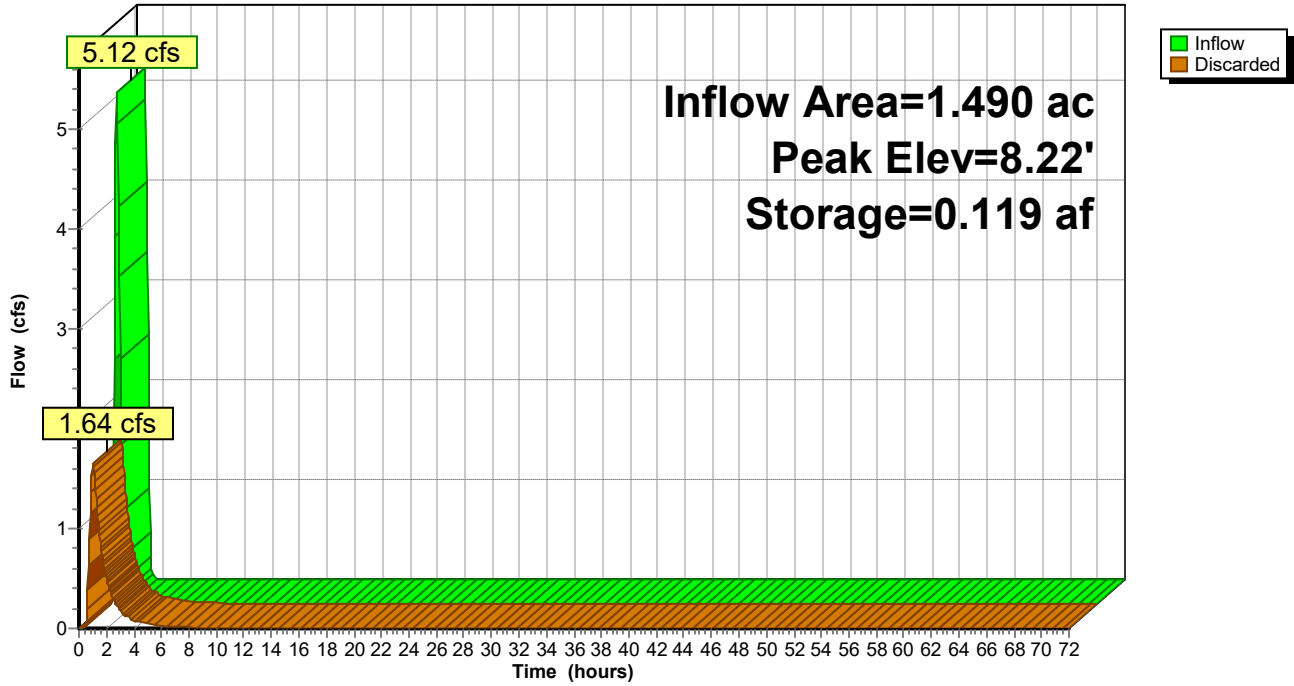
FDOT 1-hr 5Y - 1H Rainfall=3.55"

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Page 3

Pond 2P: STORAGE

Hydrograph



TWIGGS POST

Type II FL 24-hr 5Y - 24H Rainfall=7.00"

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Page 4

Summary for Pond 2P: STORAGE

[42] Hint: Gap in defined storage above volume #1 at 12.50'

Inflow Area = 1.490 ac, 61.74% Impervious, Inflow Depth = 4.15" for 5Y - 24H event
 Inflow = 3.95 cfs @ 12.19 hrs, Volume= 0.515 af
 Outflow = 2.07 cfs @ 12.63 hrs, Volume= 0.515 af, Atten= 48%, Lag= 26.6 min
 Discarded = 2.07 cfs @ 12.63 hrs, Volume= 0.515 af

Routing by Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 Peak Elev= 9.24' @ 12.63 hrs Surf.Area= 0.076 ac Storage= 0.150 af

Plug-Flow detention time= 68.4 min calculated for 0.515 af (100% of inflow)
 Center-of-Mass det. time= 68.8 min (907.3 - 838.5)

Volume	Invert	Avail.Storage	Storage Description
#1	3.00'	0.208 af	8.00'W x 415.00'L x 9.50'H EXFIL TRENCH 0.724 af Overall - 0.031 af Embedded = 0.693 af x 30.0% Voids
#2	8.50'	0.030 af	24.0" Round RCP_Round 24" Inside #1 L= 415.0' 0.031 af Overall - 0.2" Wall Thickness = 0.030 af
#3	15.00'	0.138 af	PAVEMENT (Prismatic) Listed below (Recalc) -Impervious
#4	14.50'	0.085 af	RETENTION (Conic) Listed below (Recalc)
		0.462 af	Total Available Storage

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)
15.00	0.087	0.000	0.000
15.20	0.379	0.047	0.047
15.40	0.540	0.092	0.138

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
14.50	0.052	0.000	0.000	0.052
15.33	0.164	0.085	0.085	0.164

Device	Routing	Invert	Outlet Devices
#1	Discarded	3.00'	5.700 in/hr Exfiltration over Wetted area from 3.00' - 12.50' Conductivity to Groundwater Elevation = 2.65' Excluded Wetted area = 0.076 ac

Discarded OutFlow Max=2.07 cfs @ 12.63 hrs HW=9.24' (Free Discharge)
 ↳1=Exfiltration (Controls 2.07 cfs)

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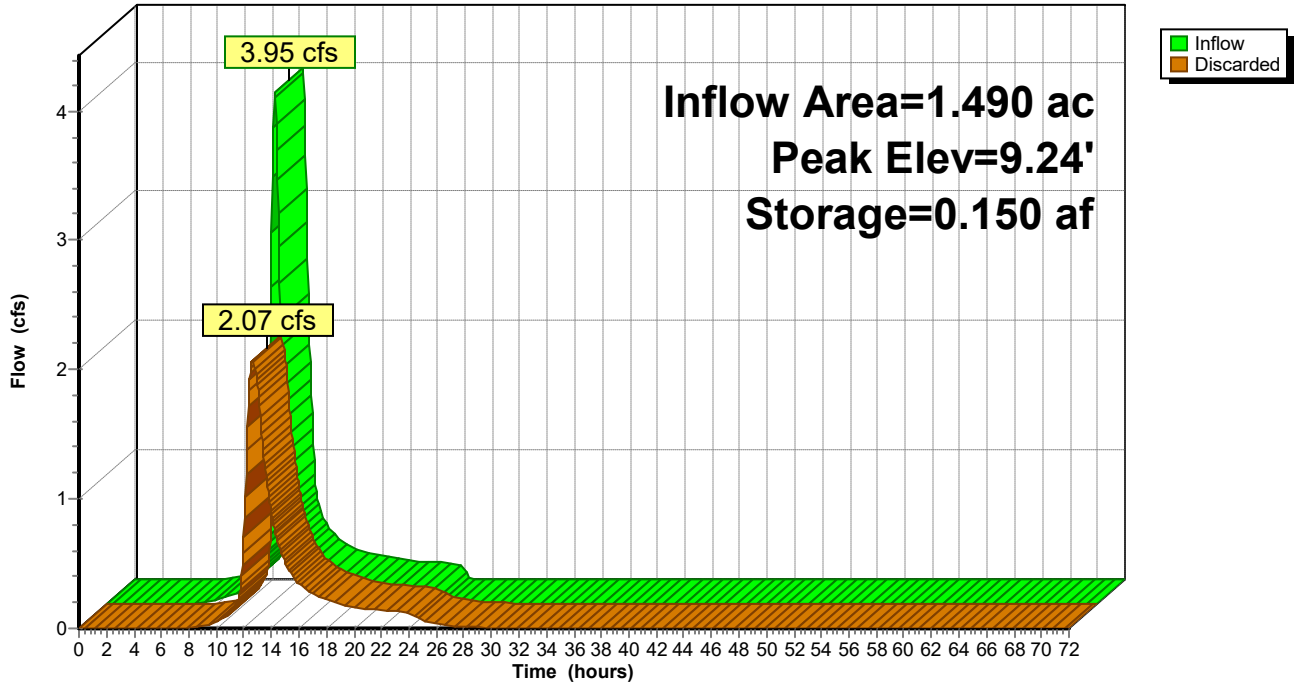
Type II FL 24-hr 5Y - 24H Rainfall=7.00"

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Pond 2P: STORAGE

Hydrograph



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SFWMD 72-hr 25Y - 72H Rainfall=14.00"

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Page 6

Summary for Pond 2P: STORAGE

[42] Hint: Gap in defined storage above volume #1 at 12.50'

Inflow Area = 1.490 ac, 61.74% Impervious, Inflow Depth > 10.65" for 25Y - 72H event
 Inflow = 11.62 cfs @ 59.90 hrs, Volume= 1.323 af
 Outflow = 4.48 cfs @ 60.16 hrs, Volume= 1.301 af, Atten= 61%, Lag= 16.0 min
 Discarded = 4.48 cfs @ 60.16 hrs, Volume= 1.301 af

Routing by Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 Peak Elev= 15.15' @ 60.16 hrs Surf.Area= 0.211 ac Storage= 0.326 af

Plug-Flow detention time= 67.7 min calculated for 1.301 af (98% of inflow)
 Center-of-Mass det. time= 53.0 min (3,461.5 - 3,408.5)

Volume	Invert	Avail.Storage	Storage Description
#1	3.00'	0.208 af	8.00"W x 415.00"L x 9.50"H EXFIL TRENCH 0.724 af Overall - 0.031 af Embedded = 0.693 af x 30.0% Voids
#2	8.50'	0.030 af	24.0" Round RCP_Round 24" Inside #1 L= 415.0' 0.031 af Overall - 0.2" Wall Thickness = 0.030 af
#3	15.00'	0.138 af	PAVEMENT (Prismatic) Listed below (Recalc) -Impervious
#4	14.50'	0.085 af	RETENTION (Conic) Listed below (Recalc)
		0.462 af	Total Available Storage

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)
15.00	0.087	0.000	0.000
15.20	0.379	0.047	0.047
15.40	0.540	0.092	0.138

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
14.50	0.052	0.000	0.000	0.052
15.33	0.164	0.085	0.085	0.164

Device	Routing	Invert	Outlet Devices
#1	Discarded	3.00'	5.700 in/hr Exfiltration over Wetted area from 3.00' - 12.50' Conductivity to Groundwater Elevation = 2.65' Excluded Wetted area = 0.076 ac

Discarded OutFlow Max=4.48 cfs @ 60.16 hrs HW=15.15' (Free Discharge)
 ↳1=Exfiltration (Controls 4.48 cfs)

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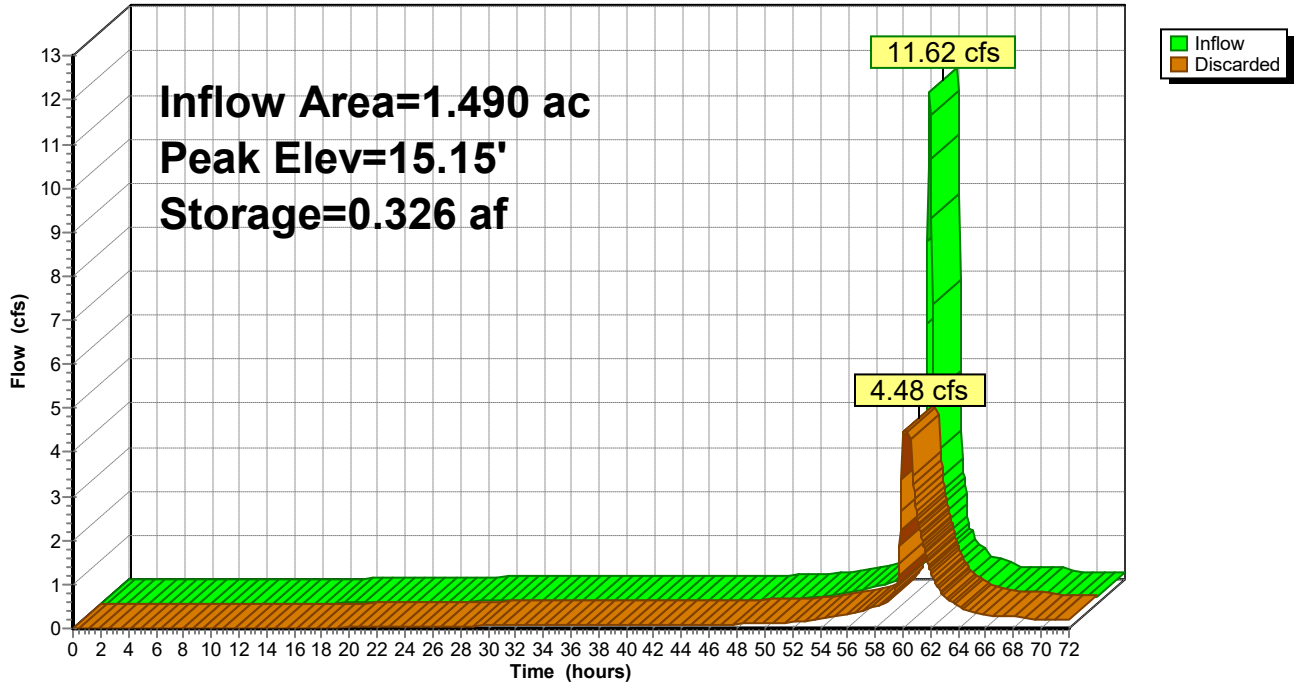
SFWMD 72-hr 25Y - 72H Rainfall=14.00"

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Pond 2P: STORAGE

Hydrograph



TWIGGS POST

SFWMD 72-hr 100Y - 72H Rainfall=16.50"

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Summary for Pond 2P: STORAGE

[42] Hint: Gap in defined storage above volume #1 at 12.50'

Inflow Area = 1.490 ac, 61.74% Impervious, Inflow Depth > 13.06" for 100Y - 72H event
 Inflow = 13.98 cfs @ 59.90 hrs, Volume= 1.622 af
 Outflow = 4.54 cfs @ 60.19 hrs, Volume= 1.597 af, Atten= 68%, Lag= 17.6 min
 Discarded = 4.54 cfs @ 60.19 hrs, Volume= 1.597 af

Routing by Stor-Ind method, Time Span= 0.00-72.00 hrs, dt= 0.05 hrs
 Peak Elev= 15.30' @ 60.19 hrs Surf.Area= 0.235 ac Storage= 0.405 af

Plug-Flow detention time= 67.8 min calculated for 1.596 af (98% of inflow)
 Center-of-Mass det. time= 53.7 min (3,433.9 - 3,380.2)

Volume	Invert	Avail.Storage	Storage Description
#1	3.00'	0.208 af	8.00"W x 415.00"L x 9.50"H EXFIL TRENCH 0.724 af Overall - 0.031 af Embedded = 0.693 af x 30.0% Voids
#2	8.50'	0.030 af	24.0" Round RCP_Round 24" Inside #1 L= 415.0' 0.031 af Overall - 0.2" Wall Thickness = 0.030 af
#3	15.00'	0.138 af	PAVEMENT (Prismatic) Listed below (Recalc) -Impervious
#4	14.50'	0.085 af	RETENTION (Conic) Listed below (Recalc)
		0.462 af	Total Available Storage

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)
15.00	0.087	0.000	0.000
15.20	0.379	0.047	0.047
15.40	0.540	0.092	0.138

Elevation (feet)	Surf.Area (acres)	Inc.Store (acre-feet)	Cum.Store (acre-feet)	Wet.Area (acres)
14.50	0.052	0.000	0.000	0.052
15.33	0.164	0.085	0.085	0.164

Device	Routing	Invert	Outlet Devices
#1	Discarded	3.00'	5.700 in/hr Exfiltration over Wetted area from 3.00' - 12.50' Conductivity to Groundwater Elevation = 2.65' Excluded Wetted area = 0.076 ac

Discarded OutFlow Max=4.53 cfs @ 60.19 hrs HW=15.30' (Free Discharge)
 ↳1=Exfiltration (Controls 4.53 cfs)

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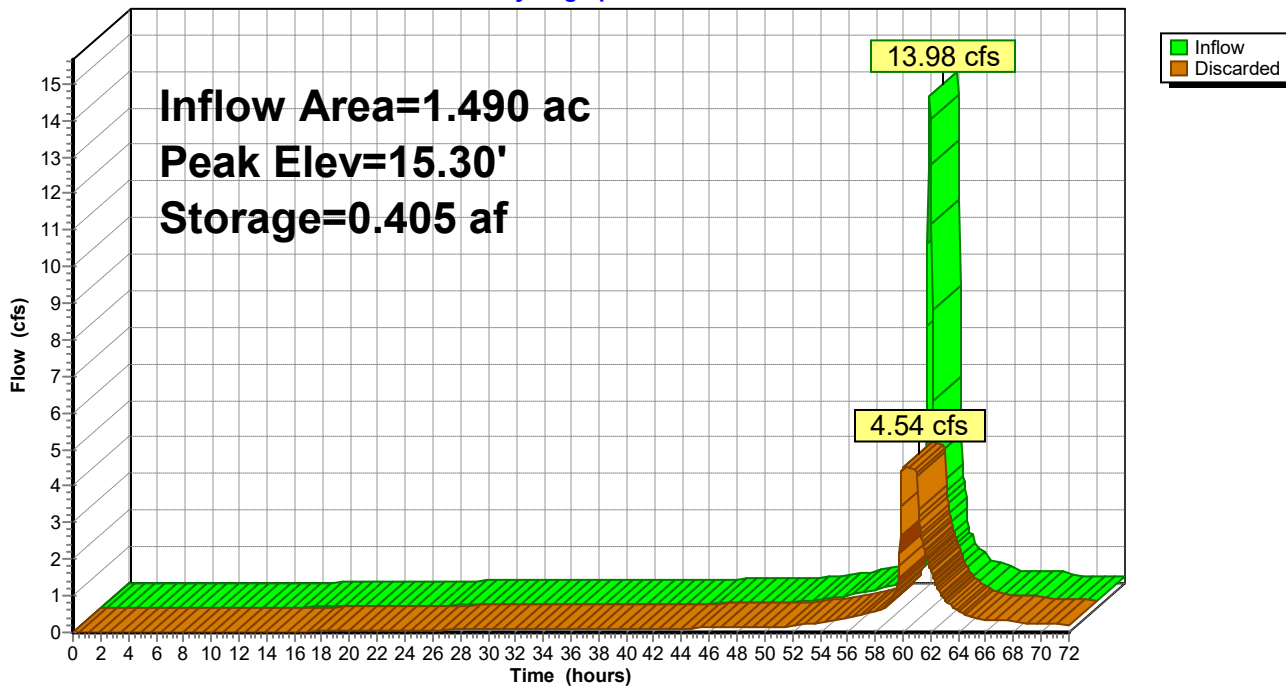
SFWMD 72-hr 100Y - 72H Rainfall=16.50"

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Page 9

Pond 2P: STORAGE

Hydrograph



TWIGGS POST

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Stage-Area-Storage for Pond 2P: STORAGE

Elevation (feet)	Wetted (acres)	Storage (acre-feet)	Elevation (feet)	Wetted (acres)	Storage (acre-feet)
3.00	0.076	0.000	13.40	0.261	0.238
3.20	0.080	0.005	13.60	0.261	0.238
3.40	0.084	0.009	13.80	0.261	0.238
3.60	0.088	0.014	14.00	0.261	0.238
3.80	0.092	0.018	14.20	0.261	0.238
4.00	0.096	0.023	14.40	0.261	0.238
4.20	0.100	0.027	14.60	0.323	0.244
4.40	0.103	0.032	14.80	0.346	0.258
4.60	0.107	0.037	15.00	0.373	0.278
4.80	0.111	0.041	15.20	0.403	0.350
5.00	0.115	0.046	15.40	0.425	0.462
5.20	0.119	0.050			
5.40	0.123	0.055			
5.60	0.127	0.059			
5.80	0.131	0.064			
6.00	0.134	0.069			
6.20	0.138	0.073			
6.40	0.142	0.078			
6.60	0.146	0.082			
6.80	0.150	0.087			
7.00	0.154	0.091			
7.20	0.158	0.096			
7.40	0.162	0.101			
7.60	0.166	0.105			
7.80	0.169	0.110			
8.00	0.173	0.114			
8.20	0.177	0.119			
8.40	0.181	0.123			
8.60	0.185	0.128			
8.80	0.189	0.135			
9.00	0.193	0.141			
9.20	0.197	0.148			
9.40	0.201	0.155			
9.60	0.204	0.163			
9.80	0.208	0.170			
10.00	0.212	0.177			
10.20	0.216	0.183			
10.40	0.220	0.190			
10.60	0.224	0.194			
10.80	0.228	0.199			
11.00	0.232	0.204			
11.20	0.235	0.208			
11.40	0.239	0.213			
11.60	0.243	0.217			
11.80	0.247	0.222			
12.00	0.251	0.226			
12.20	0.255	0.231			
12.40	0.259	0.236			
12.60	0.261	0.238			
12.80	0.261	0.238			
13.00	0.261	0.238			
13.20	0.261	0.238			

TWIGGS POST

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SFWMD 72-hr 100Y - 72H Rainfall=16.50"

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Events for Pond 2P: STORAGE

Event	Inflow (cfs)	Discarded (cfs)	Elevation (feet)	Storage (acre-feet)
3Y - 1H	4.23	1.30	7.34	0.099
5Y - 1H	5.12	1.64	8.22	0.119
5Y - 24H	3.95	2.07	9.24	0.150
25Y - 72H	11.62	4.48	15.15	0.326
100Y - 72H	13.98	4.54	15.30	0.405

GEOTECHNICAL REPORT

ATM Engineering

TESTING LABORATORIES - ENGINEERING INSPECTION SERVICES - DRILLING - ENVIRONMENTAL SERVICES.

Aubrey Engineering, LLC d/b/a ATM Engineering

1950 W 84th Street, Hialeah, FL 33014 Phone: 305-646-1888 Fax: 305-646-1887

April 25, 2025

Atlantic Engineering Services, Inc.
2826 Waters Edge Circle,
Greenacres, FL 33413

RE: **Subsurface Investigation for Proposed One-Story Building**
 Located at: 101 10th Street, Lake Park, FL

Dear Sir.:

Pursuant to your authorization, **ATM ENGINEERING** conducted a subsurface investigation at the above referenced project. The investigation was performed **April 24th, 2025**.

The purpose of the investigation was to develop preliminary information about the site and the subsurface conditions existing in the vicinity of the proposed construction.

To achieve the desired objective **two (2) standard penetration test borings and one (1) percolation test** were performed and the logs are enclosed in this report.

TEST METHOD:

The borings were conducted in accordance with the procedures outlined for the standard penetration test and split spoon sampling of soils by ASTM Method D-1586.

A two (2) foot long two (2) inches O.D. Split Spoon Sampler was driven into the ground by successive blows with 140 lbs. The hammer drops thirty (30) inches. The soil sampler was driven two (2) feet at a time, then extracted for visual examination and classification of the retained soil samples.

The number of blows required for a one (1) foot penetration of the sampler is designated as "N" (known as the standard penetration resistance value). The "N" value provides an indication of the relative density of non-cohesive soils and the consistency of cohesive soils.

Suitable corrections are applied to this number in order to include the effects of soil overburden pressure and other factors. A general evaluation of soils is made from the established correlation between "N" and the relative density or consistency of soils.

This dynamic method of soil testing has been widely accepted by foundation engineers and architects to conservatively evaluate the bearing capacity of soils. A continuous drilling and sampling procedure was used therefore, the samples were taken at intervals of two (2) feet or at every change in soil characteristics.

ATM Engineering

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Page 2 of 3

April 25, 2025

Atlantic Engineering Services, Inc.

The types of foundation material encountered have been visually classified and are described in detail in the boring logs. The results of the field penetration tests are presented in the boring logs in numerical forms. The average ground water level at the site was found at **twelve (12) feet, two (2) inches** below the existing surface (see logs). Fluctuation in the observed ground water level should be expected due to seasonal climatic changes, rainfall variation, surface water run-off and other specific factors related to the site in question.

FOUNDATION RECOMMENDATIONS FOR THE PROPOSED ONE-STORY BUILDING:

Our recommendations are based on the information provided by the client as to the type of structure planned and on our subsurface investigation performed on the proposed site. Our recommendations are as follows:

1. Clear the entire building area plus 5'-0" outside the perimeter of construction and remove all top soil, and unsuitable subsurface material to the necessary depth. We anticipate an average clearance depth of approximately six (6) inches.
2. Compact cleared area to a minimum compaction of 98% of the optimum dry density as per AASHTO T-180. Verify densification procedures by taking an adequate number of field density compaction tests. The cleared area should be inspected prior to the commencement of the backfilling operation to ensure that all the unsuitable material has been removed.
3. Backfill building area, plus 5'-0" outside the perimeter of the structure to the required elevation with a clean mixture of sand, lime rock and lime sand fill (or approved fill material) in compacted layers not to exceed 12" in thickness. Compact each layer to a minimum of 98% of the optimum dry density as per AASHTO T180. Verify densification procedures by taking an adequate number of field density tests, especially in the footing area.
4. Excavate footing trenches to the required depth from the ground elevation.
5. Compact the bottom of the footing trench to a minimum compaction of 98% of the optimum dry density as per AASHTO T-180. Verify densification procedures by taking an adequate number of field density compaction tests.

DESIGN RECOMMENDATIONS:

The above foundation recommendation having been achieved and verified, we anticipate that the foundation and footings may be appropriately proportioned for a safe soil bearing capacity not to exceed **2500 pounds per square foot**. The use of spread footings and single column pads is suggested. A monolithic slab foundation may also be adopted.

ATM Engineering

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April 25, 2025

Atlantic Engineering Services, Inc.

CONCLUSION:

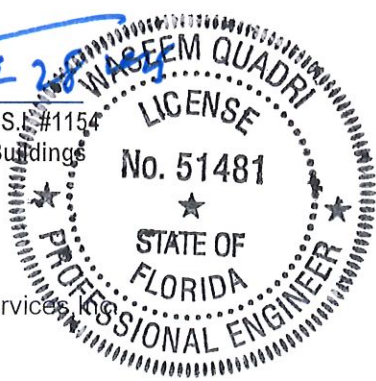
Regardless of the thoroughness of our Geotechnical exploration there is always a possibility that conditions on the subject property (site) may be different from those at the test locations. Therefore, should any subsoil condition different from those reported in our boring logs be encountered during construction, **ATM ENGINEERING**, should be notified immediately.

This report was prepared exclusively for the use of **Atlantic Engineering Services, Inc.** The conclusions provided by **ATM ENGINEERING** are based solely on the information presented in this report. As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statements, conclusions or extracts from or regarding our reports is reserved pending our written approval.

We appreciate the opportunity to have been of service to your company. Please feel free to contact us if there are any questions or comments pertaining to this report.

Sincerely yours,

Waseem Quadri, P.E. #51481 & S.I. #1154
Special Inspector - Threshold Buildings
ATM Engineering



RS/jtlAtlanticEngineeringServices, Inc.

ATM Engineering

Item 3.

Testing Laboratories - Engineering Inspection Services - Chemist - Drilling - Environmental Services
 Aubrey Engineering, LLC d/b/a ATM Engineering
 1950 West 84th Street, Hialeah, Florida 33014/Phone: 305-646-1888/Fax: 305-646-1887

SOIL BORING LOG

CLIENT	Atlantic Engineering Services, Inc.	Order No	25-0424
ADDRESS	2826 Waters Edge Circle, GreenAcres, FL 33413	Report No.	1
PROJECT	Proposed One-Story Building	Boring No.	B-1
ADDRESS	101 10th Street, Lake Park, FL	Date	4/24/2025
LOCATION	As Marked on Aerial Photography	Driller	AG
		Helper	MP

Depth (feet)	DESCRIPTION OF MATERIALS	Sample No.	Hammer blows on sampler		"N"	"N" Curve						
						10	20	30	40	50+		
Soil Boring from 0' to 20'												
1	0'-0" to 0'-2" Top soil	0'-2'	2	3	6	●						
2			3	3								
3	0'-2" to 5'-8" Backfill - light brown silica sand with shells	2'-4'	4	4	7	●						
4			3	4								
5			4	6		11	●					
6			5	5								
7	5'-8" to 8'-0" Light brown silica sand	6'-8'	6	6	13	●						
8			7	6								
9	8'-0" to 10'-0" Dark brown silica sand	8'-10'	8	7	14	●						
10			7	9								
11	10'-0" to 20'-0" Brown medium silica sand	10'-12'	11	10	23	●						
12			13	12								
13			12'-14'	13	15	14	27	●				
14					13	12						
15			14'-16'	12	12	11	24	●				
16					13	16						
17					12	18		31	●			
18					13	19						
19	16'-18'	15	15	20	38	●						
20			18	22								
21	End Of Boring @ 20'											
22												
23												
24												
25												
26												
27												
28												
29												
30												

Water Level: (▼) 12'-0"
 Sample Type: Split Spoon (SS)
 At Date: 4/24/2025


 Robert Shank, President

Respectfully submitted,

 Waseem Quadri, P.E. #51481 & S.I. #1154
 Threshold Building - Special Inspector



ATM Engineering

Item 3.

Testing Laboratories - Engineering Inspection Services - Chemist - Drilling - Environmental Services
 Aubrey Engineering, LLC d/b/a ATM Engineering
 1950 West 84th Street, Hialeah, Florida 33014/Phone: 305-646-1888/Fax: 305-646-1887

SOIL BORING LOG

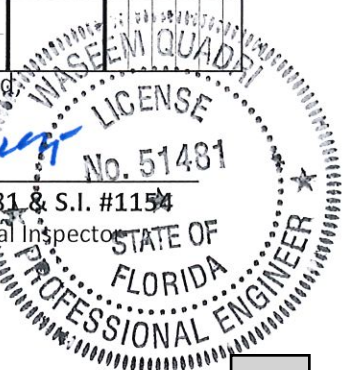
CLIENT	Atlantic Engineering Services, Inc.	Order No	25-0424
ADDRESS	2826 Waters Edge Circle, GreenAcres, FL 33413	Report No.	1
PROJECT	Proposed One-Story Building	Boring No.	B-2
ADDRESS	101 10th Street, Lake Park, FL	Date	4/24/2025
LOCATION	As Marked on Aerial Photography	Driller	AG
		Helper	MP

Depth (feet)	DESCRIPTION OF MATERIALS	Sample No.	Hammer blows on sampler		"N"	"N" Curve				
						10	20	30	40	50+
Soil Boring from 0' to 20'										
1	0'-0" to 0'-2" Top soil	0'-2'	1	2	5	●				
2	0'-2" to 2'-8" Backfill - brown sand with some shells		3	3		●				
3		2'-4'	3	4	7	●				
4	3		4	●						
5	2'-8" to 7'-0" Light brown silica sand	4'-6'	4	5	9	●				
6			4	4		●				
7	6'-8'	6'-8'	6	7	15	●				
8			8	7		●				
9	7'-0" to 12'-0" Dark brown silica sand	8'-10'	7	9	17	●				
10			8	10		●				
11	10'-12'	10'-12'	11	10	20	●				
12			10	13		●				
13	12'-14'	12'-14'	12	11	22	●				
14			11	13		●				
15	14'-16'	14'-16'	15	16	28	●				
16			12	11		●				
17	12'-0" to 20'-0" Brown medium silica sand	16'-18'	13	17	33	●				
18			16	15		●				
19	18'-20'	18'-20'	12	16	34	●				
20			18	18		●				
21	End of Boring @ 20'									
22										
23										
24										
25										
26										
27										
28										
29										
30										

Water Level: (▼) 12'-3"
 Sample Type: Split Spoon (SS)
 At Date: 4/24/2025

Respectfully submitted,

Waseem Quadri
 Waseem Quadri, P.E. #51481 & S.I. #1154
 Threshold Building - Special Inspector



Robert Shank
 Robert Shank, President

ATM Engineering

Testing Laboratories - Engineering Inspection Services - Chemist - Drilling - Environmental Services
 Aubrey Engineering, LLC d/b/a ATM Engineering
 1950 W 84th Street, Hialeah, Florida 33014 - Phone: 305-646-1888/Fax: 305-646-1887

PERCOLATION TEST USUAL OPEN HOLE TEST (CONSTANT HEAD)

CLIENT:	Atlantic Engineering Services, Inc.	Date: 4/24/2025
CLIENT ADDRESS:	2826 Waters Edge Circle, GreenAcres, FL 33413	TEST #: P-1
PROJECT NAME:	Proposed One-Story Building	
PROJECT ADDRESS:	101 10th Street, Lake Park, FL	

LOCATION OF TEST	As Marked on Aerial Photography		
DIAMETER OF HOLE (IN)	6	LAT:	LON:
DEPTH HOLE (FEET)	15		
WATER TABLE BELOW GROUND SURFACE:	12 ft	3 in	

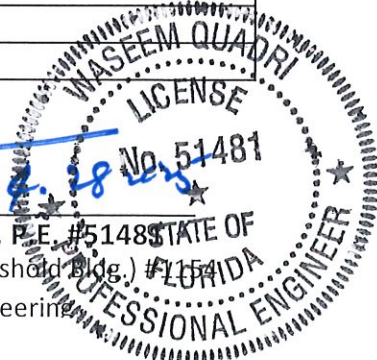
No.	Elapse Time (minute)	GPM
1	1	6.0
2	1	6.0
3	1	6.0
4	1	6.0
5	1	6.0
6	1	6.0
7	1	6.0
8	1	5.0
9	1	5.0
10	1	5.0

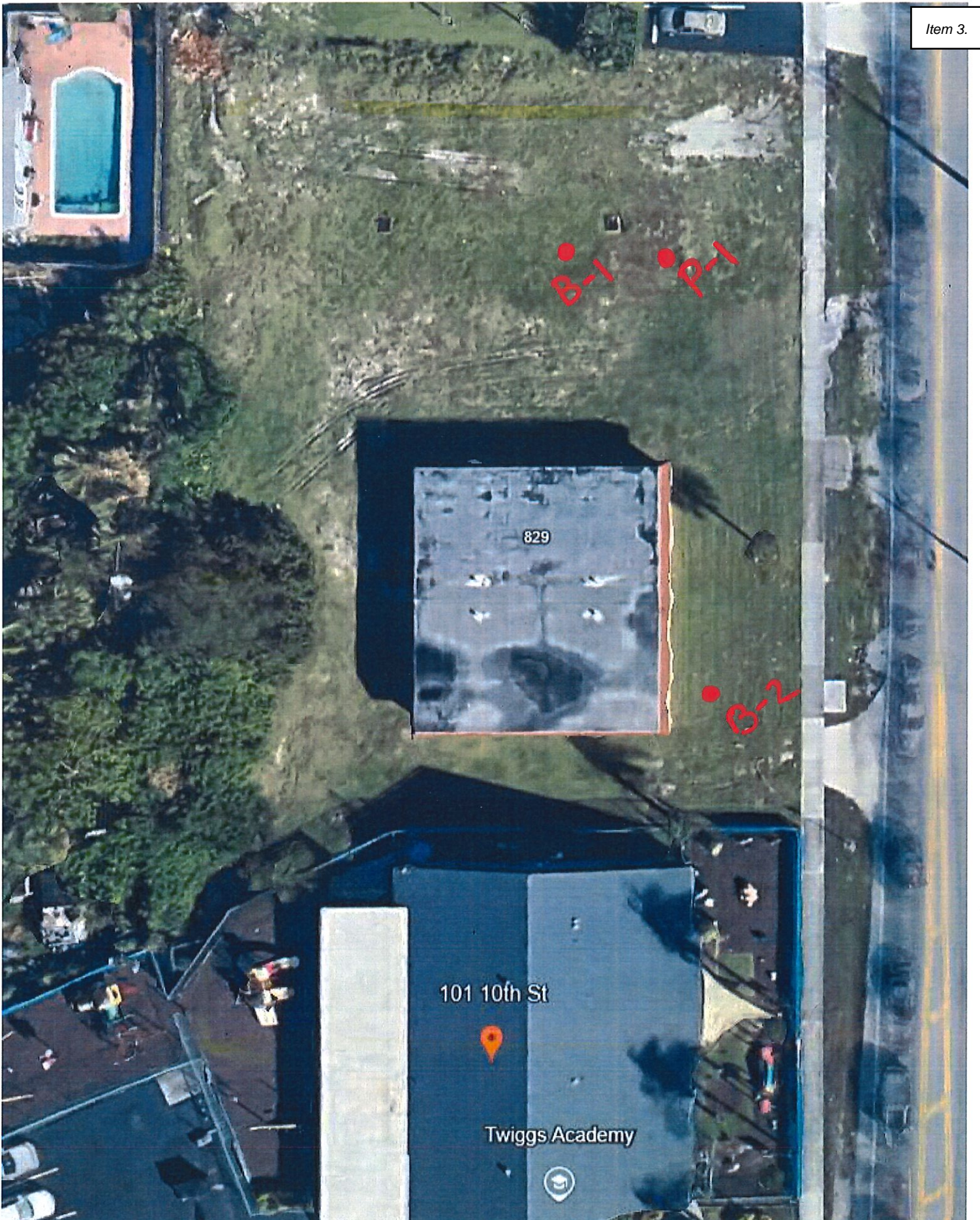
PERCOLATION RATE :	5.7
K-VALUE:	7.337E-05

SOIL DEPTH	SOIL DESCRIPTION
0'-0" to 0'-2"	Top Soil
0'-2" to 3'-0"	Backfill - light brown silica sand with shells
3'-0" to 6'-6"	Light brown silica sand
6'-6" to 10'-0"	Dark brown silica sand
10'-0" to 15'-0"	Brown medium silica sand

FIELD TECH.	AG/MP
TYPE BY:	jt


 Robert Shank, President


 Waseem Quadri, P.E. #51481
 Special Inspector (Threshold Eng.) #1574
 ATM Engineering




Item 3.

Purpose of the Business

The purpose of *Twiggs Academy Preschool* is to provide a safe, nurturing, and developmentally appropriate early learning environment for children from infancy through four years old. The school is committed to supporting the whole child—socially, emotionally, physically, and cognitively—by offering high-quality care and structured learning experiences aligned with Florida’s Early Learning and VPK standards.

Twiggs Academy exists to partner with families in the critical early years of childhood, ensuring that every child receives the foundational skills, guidance, and support needed for long-term academic success and healthy development. Through research-based curriculum, individualized instruction, and intentional play, the preschool aims to foster curiosity, creativity, and a lifelong love of learning.

Impact on Children, Families, and the Community

1. Impact on Children

- **School Readiness:** Children gain early literacy, math, language, and social-emotional skills that prepare them for kindergarten and future academic success.
- **Developmental Growth:** Age-appropriate learning opportunities support fine and gross motor skills, cognitive development, problem-solving, and independence.
- **Safe & Supportive Environment:** A consistent, nurturing setting builds confidence, emotional security, and positive peer relationships.
- **Early Intervention & Support:** Staff can identify developmental needs early, helping children receive timely support and improving long-term outcomes.

2. Impact on Families

- **Reliable and High-Quality Childcare:** Families benefit from dependable early care from 6:30 a.m. to 5:30 p.m. (93 enrollment) and 7 a.m. to 6 p.m.(expansion school - 135 enrollment), supporting working parents and guardians.
- **Parent Partnership & Communication:** Regular updates, progress reports, and family involvement create a strong home-school connection.
- **Peace of Mind:** Parents feel confident that their children are in a safe, licensed, and enriching learning environment that meets Florida's childcare standards.

3. Impact on the Community

- **Strengthens Local Workforce:** By offering full-day childcare, Twiggs Academy helps parents maintain employment and stability.
- **Promotes Early Education Access:** Twiggs Academy increases availability of VPK services, supporting equitable school readiness for all children.
- **Supports Long-Term Community Outcomes:** High-quality early learning programs contribute to higher graduation rates, reduced remediation in schools, and overall healthier communities.

To minimize car traffic for parents at Twiggs Academy Preschool, an effective plan involves a combination of clearly defined traffic flow, staggered timing for pickup and drop off , designated staff assistance, designated parking for expanded school, and the active promotion of the new technology system. carpooling. The plan will be a collaborative effort between the school and parents.

1. Traffic Flow and Zone Management

- **Two-Way Traffic System:**

Access from Silver Beach will be controlled by an electric security gate, which will remain closed during peak traffic hours (7:00–10:00 AM and 4:00–7:00 PM). This system is designed to eliminate parent vehicles from entering or exiting during high-congestion periods on Silver Beach, thereby improving both safety and traffic flow. The approach is comparable to the traffic design used at *Oceana Coffee, but with more stringent controls and operational guidelines.*

- **Designated Drop-Off/Pick-Up (DO/PU) Zone:**

The school will include a clearly defined DO/PU area with marked parking spaces, high-visibility signage, and painted pavement indicators (e.g., yellow curbs reserved for immediate loading and unloading). The design accommodates multiple vehicles simultaneously, enabling parents to move efficiently in and out throughout the day. Due to the extended pick-up window—beginning at 12:30 PM for VPK students and spanning approximately five hours—There is NO queuing.

- **Parking Requirements within the DO/PU Zone:**

Parents will be required to park in the designated DO/PU spaces when dropping off or picking up their children. A separate DO/PU section will be allocated specifically for VPK students, who are developmentally able to walk safely with a parent to and from their vehicle.

- **Separated Pedestrian Pathways:**

To ensure the safety of children and families, the site plan includes distinct, dedicated pedestrian walkways leading directly to the school entrance. These pathways help eliminate pedestrian–vehicle conflict points.

- **Enhanced Signage:**

The traffic system will be supported by simple, highly visible signage and optional color-coded markers to clearly direct both drivers and pedestrians. Signage will include instructions for navigating the site as well as posted DO/PU rules.

2. Operational Procedures

Efficient traffic and safety management will depend on consistent staff oversight and clear expectations for families.

- **Staff Support:**

During periods of inclement weather and peak DO/PU times, trained staff members—equipped with high-visibility safety vests—will be stationed in the DO/PU zone to assist children safely entering or exiting vehicles.

- **Staggered Scheduling:**

Arrival and dismissal times will be strategically staggered, aligned with the school's operating hours (7:00 AM–6:00 PM), to distribute traffic more evenly and minimize congestion.

- **Efficient Loading and Unloading Expectations:**

Parents will be encouraged to have all student belongings (backpacks, diapers, wipes, clothing, and other supplies) fully prepared prior to entering the DO/PU area. This practice reduces the time each vehicle spends in the zone and maintains a continuous, efficient flow of traffic.

3. Parent Communication and Alternatives

A successful plan requires parental cooperation, which is achieved through clear communication and providing alternatives to single-family car use.

- **Communication Plan:** Twiggs Academy will develop a comprehensive communication plan detailing the new procedures, traffic map, and timing. Share this information via email, the school website, newsletters, and a dedicated parent portal.
- **Encourage Carpooling:** Twiggs Academy will actively promote and help facilitate carpooling among families who live in the same neighborhood. The school could provide resources or use carpool-matching apps to connect interested parents. Carpoolers could be given access to a priority or preferred lane to incentivize participation.

- **"Walk or Bike" Initiatives:** If feasible and safe for the surrounding area, encourage walking or biking by partnering with programs like [Safe Routes to School](#).
- The number of persons anticipated to be using or working on the property as a result of the Special Exception use will be Twelve teachers and one director
- The proposed preschool is designed and intended to operate as a **low-impact educational use** that is fully compatible with the surrounding business and offices. The following measures ensure minimal nuisance impact:
 - **Noise Impacts**

The preschool will generate minimal noise comparable to a standard professional office use. No outdoor instruction, outdoor play, or amplified sound will occur on the site. All educational activities will take place indoors within acoustically controlled classrooms. Drop-off and pick-up procedures will be managed efficiently to prevent excessive vehicle idling or congestion-related noise.
 - **Visual Impacts**

The exterior appearance of the building will maintain a professional and aesthetically appropriate design consistent with the character of the surrounding district. Required landscaping and buffering will be installed and maintained in accordance with applicable code requirements to minimize visual impacts on adjacent and nearby properties.
 - **Other Potential Nuisance Factors**

The preschool will operate strictly within approved hours and enrollment limits established in coordination with the Community Development Director. Traffic circulation and parking will be managed to prevent congestion, and all operations will comply with local ordinances related to safety, sanitation, and property maintenance. No activities will be conducted that create glare, vibration, odors, or other disturbances.
- Based on the above, the proposed use will not create noise, visual, or other nuisance conditions that would adversely affect neighboring properties. Twiggs Academy Preschool will function as a well-managed, orderly, and compatible use within the Town.

4. Key Technology Solutions

- **Mobile Apps for Parents and Staff:** These are the core of most solutions, allowing parents and staff to manage various tasks from their smartphones.
- **Contactless Check-in/out:** Parents will be able to use their own devices to check children in and out via GPS, a unique 4-digit PIN, or scanning a QR code at a physical kiosk, eliminating shared surfaces and paper sign-in sheets.
- **Real-Time Attendance Tracking:** The system automatically updates attendance records in real-time, allowing staff to instantly see who is on site and monitor room ratios to ensure compliance with regulations.

5. Safety and security measures

- **Authorized pick-up list:** Parents must provide a list of authorized adults who can pick up their child.
- **Photo ID:** Twiggs Academy will require a valid photo ID for individuals who are not on the authorized list.
- **Emergency contact information:** Emergency contact information will be kept up to date.
- **Security measures:** Twiggs Academy will have security measures like a password system or a secure entry system with key fobs or fingerprint readers.
- **Communication:** If an unauthorized person is dropping off or picking up a child, they will not be authorized to do so without prior notification or being added to the authorization record.

6. Ongoing Evaluation

- **Feedback and Adjustment:** Management of Twiggs Academy will regularly seek feedback from parents and staff to identify potential issues and fine-tune the procedures as needed.

- By implementing this structured and well-communicated plan, Twiggs Academy Preschool can significantly reduce traffic congestion, improve safety, and create a less stressful experience for everyone involved.

Frog Street Curriculum at Twiggs Academy Preschool

At Twiggs Academy Preschool, we use the **Frog Street Early Childhood Curriculum**, a nationally recognized, research-based program designed to support young children’s growth in every area of development—from infancy through Pre-K/VPK. Frog Street provides a joyful, structured, and purposeful learning experience that aligns with Florida Early Learning and VPK Standards.

Why Frog Street?

Frog Street was created by early childhood experts who specialize in brain development, literacy, early math, and social-emotional learning. The curriculum intentionally blends academic readiness with nurturing relationships, play-based exploration, and routines that build confidence and independence.

Key Features of Frog Street at Twiggs Academy

1. Comprehensive Developmental Learning

Frog Street supports **all domains of early learning**, including:

- Language & literacy
- Early math & problem-solving
- Science inquiry
- Fine & gross motor development
- Social–emotional development
- Physical health & safety
- Cognitive and brain-based learning skills

Each classroom—infants, toddlers, 2’s, 3’s, and VPK—uses age-appropriate materials, lessons, and routines aligned with developmental milestones.

2. Social–Emotional Learning Through Conscious Discipline

A core component of Frog Street is **Conscious Discipline**, a positive behavior-guidance system that helps children:

- Build self-regulation skills
- Understand emotions
- Develop empathy
- Solve conflicts in healthy ways

Teachers model calm behavior, use consistent routines, and teach children strategies for expressing feelings and building friendships.

3. Language-Rich, Literacy-Rich Environment

Frog Street integrates literacy throughout the day with:

- Daily read-alouds
- Vocabulary-rich conversations
- Alphabet and phonological awareness activities
- Storytelling, music, and rhymes

These experiences help build strong early language skills essential for kindergarten readiness.

4. Structured Daily Learning Through Play

Hands-on, play-based learning is central to Frog Street. Children rotate through engaging learning centers that may include:

- Blocks
- Dramatic play
- Science and discovery
- Sensory tables
- Writing and art centers
- Manipulatives and puzzles

Teachers guide exploration, introduce new concepts, and support children's individual learning styles.

5. Strong Alignment With Florida Standards

Frog Street meets or exceeds:

- **Florida Early Learning and Developmental Standards Birth–Five**
- **Florida VPK Standards**
- Literacy and math readiness skills required for kindergarten entry

The curriculum includes ongoing assessment tools that help teachers track progress and tailor instruction for each child.

6. Family Engagement

Frog Street provides:

- Monthly theme guides
- At-home activity suggestions

- Family letters and resources
- Progress updates

Twiggs Academy uses these tools to ensure parents are active partners in their child's learning journey.

Our Commitment at Twiggs Academy

By using Frog Street, Twiggs Academy ensures:

- Consistent, high-quality instruction across all age groups
- A nurturing environment based on emotional safety and positive discipline
- Developmentally appropriate activities that prepare children academically, socially, and emotionally for kindergarten success

Frog Street helps Twiggs Academy create a joyful classroom community where children feel safe, loved, and excited to learn each day.

APPLE Accreditation for Twiggs Academy Preschool

Twiggs Academy Preschool is proud to have earned **A.P.P.L.E. (Accredited Professional Preschool Learning Environment) Accreditation**, a distinguished recognition awarded by the **Florida Association for Child Care Management (FACCM)**. This accreditation demonstrates that our preschool meets or exceeds high standards of quality in early childhood education.

APPLE Accreditation is one of Florida's most respected accreditations for early learning programs. To achieve this status, Twiggs Academy underwent a comprehensive evaluation process that assessed multiple areas of program excellence, including:

- **Health and Safety Standards:** Ensuring children learn in a safe, well-maintained, and developmentally appropriate environment.
- **Teacher Qualifications and Professional Development:** Demonstrating that our educators are trained, supported, and continually improving in early childhood best practices.
- **Curriculum and Learning Environment:** Providing a rich, developmentally appropriate curriculum that supports cognitive, physical, social–emotional, and language development.
- **Family and Community Engagement:** Maintaining strong communication with families and building collaborative relationships that support children's learning.
- **Program Administration and Leadership:** Upholding strong operational policies, ethical practices, and effective management.

By earning APPLE Accreditation, Twiggs Academy Preschool shows its commitment to delivering **high-quality early education**, maintaining accountability, and creating a nurturing environment where infants through VPK students can grow, explore, and thrive.

This accreditation reflects our dedication to excellence and assures families that Twiggs Academy meets rigorous standards that go above and beyond Florida's minimum licensing requirements.

Twiggs Academy Preschool

Daily Operations Schedule (6:30 AM – 5:30 PM)(7 AM- 6PM expansion)**

Overview

Twiggs Academy Preschool operates Monday through Friday from **6:30 AM to 5:30 PM (7 AM- 6 PM expansion)**, serving children from **infants through 4 years old (VPK)**. The daily schedule supports developmental needs, safety, routine, exploration, and nurturing care across all age groups.

Daily Operations

7AM – 8:00 AM | Arrival & Early Morning Care

- School opens; staff greet children and families.
 - Health and wellness checks conducted during drop-off.
 - Children placed in mixed-age early arrival classrooms.
 - Quiet choice activities: books, manipulatives, soft music, sensory play (age-appropriate).
 - Teachers review individual infant schedules and needs.
-

8:00 AM – 8:30 AM | Classroom Transition & Breakfast

- Children transition to their assigned age-level classrooms.
 - Breakfast is served (infants fed on individual feeding schedules).
 - Handwashing routines before and after meals.
 - Daily goals and activities are reviewed with the children.
-

8:30 AM – 9:00 AM | Morning Circle Time

Age-adjusted activities may include:

- Songs, fingerplays, and movement
- Weather and calendar
- Introduction to daily theme or learning topic
- Language-building activities

Infants participate in floor time, language interactions, and tummy time instead of structured circle time.

9:00 AM – 10:30 AM | Learning Centers & Structured Curriculum

Infants: developmental play, sensory exploration, bonding activities

Toddlers: centers such as dramatic play, blocks, art, sensory bins, music

Preschool/VPK:

- Literacy and language centers
- Math and problem-solving activities
- Science and discovery time

- Fine motor activities
Teachers rotate small groups and conduct individualized instruction or VPK-required lessons.
-

10:30 AM – 11:30 AM | Outdoor Play / Gross Motor Development

- Outdoor playground time (weather permitting) or indoor gross-motor substitute.
 - Activities: running, climbing, ball play, trikes, nature exploration.
 - Infants may enjoy stroller walks, tummy time on outdoor mats, or shaded fresh-air time.
 - Hydration breaks provided.
-

11:30 AM – 12:15 PM | Lunch

- Catered or brought-from-home meals served (depending on center policy).
 - Teachers model family-style dining for older groups.
 - Infants fed according to schedule (bottles, solids).
 - Handwashing and diaper checks/potty routines.
-

12:15 PM – 2:30 PM | Rest & Nap Time

- Lights lowered, quiet music or soft sound machine.
- All children rest; infants follow their individualized routines.
- Teachers maintain required visual checks every 15 minutes for napping children.

- Quiet activities available for early wakers (books, puzzles, table toys).
-

2:30 PM – 3:00 PM | Afternoon Snack

- Healthy snacks provided.
 - sanitation procedures followed.
 - Infants fed on demand or according to schedule.
-

3:00 PM – 4:00 PM | Afternoon Learning & Enrichment

Activities vary by age group:

- Art and creative expression
- Music and movement
- STEM centers
- Outdoor play rotation
- VPK skill reinforcement
- Social–emotional learning activities

Infants enjoy sensory time, social interaction, and developmental floor play.

4:00 PM – 6 PM | End-of-Day Care & Pick-Up

- Mixed-age classrooms combine as enrollment decreases.

- Quiet play activities: blocks, manipulatives, dramatic play, reading corner.
 - Teachers conduct final diaper changes and restroom reminders.
 - Daily communication shared with parents (behavior notes, meals, naps, incidents, achievements).
 - The center will close promptly at 6 PM.
-

Additional Operational Notes

- **Diapering & Potty Training:** Every 2 hours or as needed; ongoing potty-training support for 2–3-year-olds.
- **Sanitation:** Toys sanitized throughout the day; classrooms cleaned during nap time and after closing.
- **Inclement Weather:** Indoor gross motor activities provided in multipurpose room.
- **Infant Care:** Feedings, diapering, and naps follow individual schedules communicated by the family.
- **Safety & Compliance:** All staff maintain ratios and supervision at all times, following state licensing guidelines.

Major Florida Child Care Licensing Requirements

1. Licensing Authority

- Child care centers are typically licensed by the **Florida Department of Children & Families (DCF)**.

2. Staff Screening & Background Checks

- All child care personnel must undergo **level-2 background screening**, which includes criminal history checks, employment history, and checks of registries (sexual predator/offender, abuse/neglect) per Florida Statute.
- Fingerprint submission is required.

3. Staff Training & Qualifications

- New child care personnel must start training within **90 days of employment** and must complete a 40-hour introductory course within one year.
- The introductory course must cover: state rules, health/safety/nutrition, identifying/reporting child abuse, child development (typical and atypical), observation techniques, and working with early literacy, among other topics.
- Annual continuing education is required.

- There is also a training requirement regarding serving children with disabilities (within 5 years of employment).
- For credentialing: a director must have a **child care professional credential** or a **Child Development Associate (CDA)**, or an equivalent credential.

4. Staff-to-Child Ratios

Under Florida Statutes, the minimum required ratios are:

- **Birth – 1 year:** 1 staff per 4 children
- **1 – under 2 years:** 1 staff per 6 children
- **2 – under 3 years:** 1 staff per 11 children
- **3 – under 4 years:** 1 staff per 15 children
- **4 – under 5 years:** 1 staff per 20 children
- For children older than 5, different ratios apply, but not necessarily relevant for a preschool (unless you also serve school-age).

5. preschool Requirements (Physical Space)

- There are minimum standards for **indoor space per child** and **outdoor play area**.
- According to the statute: if the preschool was newly licensed (after Oct 1, 1992), there must be at least **35 sq ft of usable indoor floor space per child**, plus **45 sq ft of usable outdoor play area per child** for the children using that space.
- The rules also cover building conditions, napping space, bathroom facilities, food-prep areas, equipment, and more.
-

6. Health, Safety & Sanitation

- Licensing standards must address health, sanitation, safety, and adequate physical surroundings.
- Facilities must comply with fire safety rules (State Fire Marshal) for child-care facilities.

- For nap times, there are requirements about supervision, nap space, etc., laid out in rule (65C-22).

7. Licensing Application

- To apply for or renew a license, Twiggs Academy must use the **DCF form CF-FSP 5017**.
- The application must include: background screening clearance, an approved fire inspection, and other documentation.
- Renewal: license renewal applications must be submitted **at least 45 days before** expiration.

8. Capacity & Director Requirements

- The statute requires a **credentialed director** for a licensed preschool.
- There are also minimum age and moral-character requirements for child care personnel.

9. Inspections & Ongoing Compliance

- DCF (or the local licensing agency) is responsible for **inspections** to ensure compliance with licensing standards.
- They monitor ongoing compliance with staff ratios, health and safety, training, and preschool standards.

2. Personnel / Staff Requirements

- **Background Checks:** All child-care personnel must undergo **Level-2 screening** (criminal history, employment history, sexual predator/offender registry, child abuse registry).
- **Fingerprinting** required consistent with Florida law.

- **Minimum Age:** The preschool operator must be at least 21; employees under 16 must be under direct supervision.
- **Introductory Training:** All new personnel must complete a **40-hour child-care training course**, covering:
 - Florida child-care rules/regulations
 - Health, safety, nutrition
 - Child abuse / neglect identification & reporting
 - Child development (typical/atypical)
 - Observational tools / developmental checklists
 - Early literacy, language development
 - Working with children with disabilities (e.g., autism, Down syndrome)
- **Ongoing Training:** Annual or in-service training required (statute mandates in-service).
- **Special Disabilities Training:** Personnel must complete training about serving children with disabilities within 5 years of employment.
- **Credentials:** For every 20 children, at least one staff must hold a:
 - Child Development Associate (CDA) credential, **or**
 - Child Care Professional Credential, **or**
 - Equivalent/greater credential.

3. Staff-to-Child Ratios

As required by Florida Statute 402.305:

- Birth – 1 year: 1 staff : 4 children
 - 1 – under 2: 1 : 6
 - 2 – under 3: 1 : 11
 - 3 – under 4: 1 : 15
 - 4 – under 5: 1 : 20
 - When multiple age groups are mixed, the ratio is based on the group with **the highest number of children** (oldest group ratio applies).
-

4. preschool / Physical Environment

- **Indoor Space:** Must meet minimum standards for usable indoor floor space.
 - **Outdoor Play Area:** Must have adequate, usable outdoor play space per child.
 - **Napping Space:** Dedicated space for naps that meets safety standards.
 - **Bathrooms:** Must have sufficient bathroom facilities suitable for children.
 - **Food Preparation Area:** If providing meals/snacks, must meet sanitation and food prep requirements.
 - **Equipment:** Indoor and outdoor equipment must be safe, maintained, age-appropriate.
 - **Fire / Safety Compliance:** Must pass fire inspection before licensing.
-

5. Health, Sanitation & Safety

- Twiggs Academy will follow health-related requirements (immunizations, illness policies, first-aid).
- Sanitation: Toys, surfaces, restrooms, food areas must be regularly cleaned.
- Supervision: Adequate supervision must be maintained when children arrive, depart, and during all activities.

- Reporting & Documentation: Must maintain health, accident, incident records, and report required issues.
-

6. Food & Nutrition

- Twiggs Academy will provide nutritious meals and snacks if the preschool serves food.
- Ensure proper handwashing before/after meals.
- If using outside food providers or cooking on-site, maintain food safety standards consistent with the local health department.

7. Record Keeping- Twiggs Academy will-

- Maintain **attendance records** for each child.
- Maintain **personnel records**, including training certificates, background checks, credentials.
- Keep **health records** for each child: immunizations, health check-ups, incident reports.
- Maintain **incident / accident reports** with appropriate documentation.
- Licensing documents, inspection reports, and licensing certificate should be posted or readily available.

Playground Requirements for Twiggs Academy Preschool

At Twiggs Academy Preschool, ensuring a safe, engaging, and developmentally appropriate outdoor play environment is a top priority. To comply with Florida's licensing regulations and best practices, we follow these playground requirements:

1. Minimum Outdoor Play Space

- According to Florida Statutes, each child (1 year of age and older) must have a **minimum of 45 square feet** of usable outdoor play area per child.
- The outdoor play area should accommodate at least **half (½) of our licensed capacity** at any one time.
- For infants (under 1 year), the standard of 45 sq ft per child doesn't apply, but we must provide **appropriate outdoor infant play equipment** instead.

2. Surface and Drainage

- The ground surface must be **adequately drained** to prevent standing water.
- The surfacing under and around play equipment should be safe and provide **fall protection** (e.g., resilient material or properly maintained loose-fill surfaces).

3. Emergency and Health Preparedness

- At Twiggs Academy, at least one staff member trained in **pediatric CPR** must be on-site whenever children are present.

- The outdoor play area must follow

4. Program Planning

- Twiggs Academy will maintain a **written plan** for daily activities that includes both active and quiet play, tailored to the age of the children.
- Outdoor play is integrated into our schedule to support children’s physical development, social interaction, and exploration.

5. Local Considerations

- Twiggs Academy will also comply with **local (Palm Beach County) licensing** or health department rules. For example, county regulations require that the outdoor play area be free of litter, hazards, and provide shade.
- If there are any site-specific constraints (e.g., limited space, urban environment), Twiggs Academy will work with licensing authorities to ensure compliance or make required substitutions (e.g., additional indoor play space if outdoor space is limited).

Why These Requirements Matter for Twiggs Academy-

- **Safety:** Proper fencing, surfacing, and supervision reduce risk of injury.
- **Development:** A well-designed outdoor area supports physical, social, and emotional growth.
- **Regulatory Compliance:** Meeting state and county licensing standards is essential for legal operation and for maintaining our license.
- **Well-being:** Daily outdoor play helps children get fresh air, engage in active play, and develop healthy habits.

a. Compliance with Applicable Codes and Regulations

The proposed development will fully comply with all applicable provisions of the Code, including this chapter, Subpart B land development regulations, parking requirements, and landscaping standards. All site plans have been prepared in accordance with current zoning, engineering, and planning requirements and will be implemented as approved.

b. Outdoor Instruction and Recreational Activities

Twiggs Academy acknowledges and agrees that no outdoor instruction will be conducted on the site. All educational and enrichment activities will occur indoors in compliance with approved use conditions.

c. Enrollment Limitations

Enrollment capacity will be 135 children. The preschool will not exceed a limit mutually agreed upon by the property owner and the Community Development Director. This enrollment cap will be established to ensure minimal traffic congestion and to prevent adverse impacts on adjacent and nearby properties, with particular consideration given to properties located within 300 feet of the site.

d. Compliance with Educational Laws and Regulations

The preschool will operate in full compliance with all applicable local, state, and federal laws and regulations governing educational facilities, including licensing requirements, safety standards, and operational regulations.

e. Neighborhood Notification and Opportunity for Comment

Owners of all properties located within 300 feet of the site will be provided an opportunity to submit comments regarding the appropriateness of the proposed use, consistent with the general business/office character of the district and in accordance with required public notice procedures.

Twiggs Academy remains committed to operating as a low-impact, professionally managed educational preschool that is compatible with the surrounding area.

ATM Engineering

TESTING LABORATORIES - ENGINEERING INSPECTION SERVICES - DRILLING - ENVIRONMENTAL SERVICES.

Aubrey Engineering, LLC d/b/a ATM Engineering

1950 W 84th Street, Hialeah, FL 33014 Phone: 305-646-1888 Fax: 305-646-1887

April 25, 2025

Atlantic Engineering Services, Inc.
2826 Waters Edge Circle,
Greenacres, FL 33413

RE: **Subsurface Investigation for Proposed One-Story Building**
Located at: 101 10th Street, Lake Park, FL

Dear Sir.:

Pursuant to your authorization, **ATM ENGINEERING** conducted a subsurface investigation at the above referenced project. The investigation was performed **April 24th, 2025**.

The purpose of the investigation was to develop preliminary information about the site and the subsurface conditions existing in the vicinity of the proposed construction.

To achieve the desired objective **two (2) standard penetration test borings and one (1) percolation test** were performed and the logs are enclosed in this report.

TEST METHOD:

The borings were conducted in accordance with the procedures outlined for the standard penetration test and split spoon sampling of soils by ASTM Method D-1586.

A two (2) foot long two (2) inches O.D. Split Spoon Sampler was driven into the ground by successive blows with 140 lbs. The hammer drops thirty (30) inches. The soil sampler was driven two (2) feet at a time, then extracted for visual examination and classification of the retained soil samples.

The number of blows required for a one (1) foot penetration of the sampler is designated as "N" (known as the standard penetration resistance value). The "N" value provides an indication of the relative density of non-cohesive soils and the consistency of cohesive soils.

Suitable corrections are applied to this number in order to include the effects of soil overburden pressure and other factors. A general evaluation of soils is made from the established correlation between "N" and the relative density or consistency of soils.

This dynamic method of soil testing has been widely accepted by foundation engineers and architects to conservatively evaluate the bearing capacity of soils. A continuous drilling and sampling procedure was used therefore, the samples were taken at intervals of two (2) feet or at every change in soil characteristics.

ATM Engineering

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1950 W 84th Street, Hialeah, FL 33014 Phone: 305-646-1888 Fax: 305-646-1887

Page 2 of 3

April 25, 2025

Atlantic Engineering Services, Inc.

The types of foundation material encountered have been visually classified and are described in detail in the boring logs. The results of the field penetration tests are presented in the boring logs in numerical forms. The average ground water level at the site was found at **twelve (12) feet, two (2) inches** below the existing surface (see logs). Fluctuation in the observed ground water level should be expected due to seasonal climatic changes, rainfall variation, surface water run-off and other specific factors related to the site in question.

FOUNDATION RECOMMENDATIONS FOR THE PROPOSED ONE-STORY BUILDING:

Our recommendations are based on the information provided by the client as to the type of structure planned and on our subsurface investigation performed on the proposed site. Our recommendations are as follows:

1. Clear the entire building area plus 5'-0" outside the perimeter of construction and remove all top soil, and unsuitable subsurface material to the necessary depth. We anticipate an average clearance depth of approximately six (6) inches.
2. Compact cleared area to a minimum compaction of 98% of the optimum dry density as per AASHTO T-180. Verify densification procedures by taking an adequate number of field density compaction tests. The cleared area should be inspected prior to the commencement of the backfilling operation to ensure that all the unsuitable material has been removed.
3. Backfill building area, plus 5'-0" outside the perimeter of the structure to the required elevation with a clean mixture of sand, lime rock and lime sand fill (or approved fill material) in compacted layers not to exceed 12" in thickness. Compact each layer to a minimum of 98% of the optimum dry density as per AASHTO T180. Verify densification procedures by taking an adequate number of field density tests, especially in the footing area.
4. Excavate footing trenches to the required depth from the ground elevation.
5. Compact the bottom of the footing trench to a minimum compaction of 98% of the optimum dry density as per AASHTO T-180. Verify densification procedures by taking an adequate number of field density compaction tests.

DESIGN RECOMMENDATIONS:

The above foundation recommendation having been achieved and verified, we anticipate that the foundation and footings may be appropriately proportioned for a safe soil bearing capacity not to exceed **2500 pounds per square foot**. The use of spread footings and single column pads is suggested. A monolithic slab foundation may also be adopted.

ATM Engineering

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1950 W 84th Street, Hialeah, FL 33014 Phone: 305-646-1888 Fax: 305-646-1887

Page 3 of 3

April 25, 2025

Atlantic Engineering Services, Inc.

CONCLUSION:

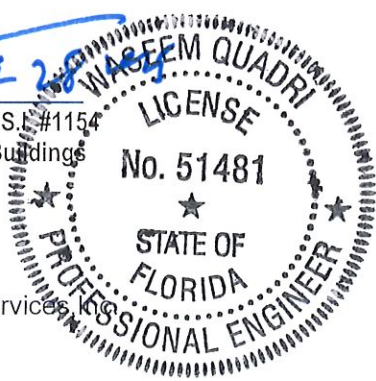
Regardless of the thoroughness of our Geotechnical exploration there is always a possibility that conditions on the subject property (site) may be different from those at the test locations. Therefore, should any subsoil condition different from those reported in our boring logs be encountered during construction, **ATM ENGINEERING**, should be notified immediately.

This report was prepared exclusively for the use of **Atlantic Engineering Services, Inc.** The conclusions provided by **ATM ENGINEERING** are based solely on the information presented in this report. As a mutual protection to clients, the public and ourselves, all reports are submitted as the confidential property of clients, and authorization for publication of statements, conclusions or extracts from or regarding our reports is reserved pending our written approval.

We appreciate the opportunity to have been of service to your company. Please feel free to contact us if there are any questions or comments pertaining to this report.

Sincerely yours,

Waseem Quadri, P.E. #51481 & S.I. #1154
Special Inspector - Threshold Buildings
ATM Engineering



RS/jtlAtlanticEngineeringServices, Inc.

ATM Engineering

Item 3.

Testing Laboratories - Engineering Inspection Services - Chemist - Drilling - Environmental Services
 Aubrey Engineering, LLC d/b/a ATM Engineering
 1950 West 84th Street, Hialeah, Florida 33014/Phone: 305-646-1888/Fax: 305-646-1887

SOIL BORING LOG

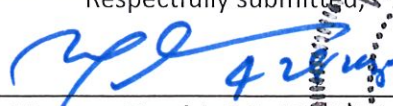
CLIENT	Atlantic Engineering Services, Inc.	Order No	25-0424
ADDRESS	2826 Waters Edge Circle, GreenAcres, FL 33413	Report No.	1
PROJECT	Proposed One-Story Building	Boring No.	B-1
ADDRESS	101 10th Street, Lake Park, FL	Date	4/24/2025
LOCATION	As Marked on Aerial Photography	Driller	AG
		Helper	MP

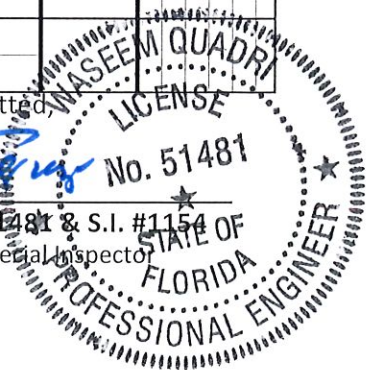
Depth (feet)	DESCRIPTION OF MATERIALS	Sample No.	Hammer blows on sampler		"N"	"N" Curve						
						10	20	30	40	50+		
Soil Boring from 0' to 20'												
1	0'-0" to 0'-2" Top soil	0'-2'	2	3	6	●						
2			3	3								
3	0'-2" to 5'-8" Backfill - light brown silica sand with shells	2'-4'	4	4	7	●						
4			3	4								
5			4	6		11	●					
6			5	5								
7	5'-8" to 8'-0" Light brown silica sand	6'-8'	6	6	13	●						
8			7	6								
9	8'-0" to 10'-0" Dark brown silica sand	8'-10'	8	7	14	●						
10			7	9								
11	10'-0" to 20'-0" Brown medium silica sand	10'-12'	11	10	23	●						
12			13	12								
13			12'-14'	13	15	14	27	●				
14					13	12						
15			14'-16'	12	12	11	24	●				
16					13	16						
17					12	18		31	●			
18					13	19						
19	18'-20'	15	15	20	38	●						
20			18	22								
21	End Of Boring @ 20'											
22												
23												
24												
25												
26												
27												
28												
29												
30												

Water Level: (▼) 12'-0"
 Sample Type: Split Spoon (SS)
 At Date: 4/24/2025


 Robert Shank, President

Respectfully submitted,


 Waseem Quadri, P.E. #51481 & S.I. #1154
 Threshold Building - Special Inspector



ATM Engineering

Item 3.

Testing Laboratories - Engineering Inspection Services - Chemist - Drilling - Environmental Services
 Aubrey Engineering, LLC d/b/a ATM Engineering
 1950 West 84th Street, Hialeah, Florida 33014/Phone: 305-646-1888/Fax: 305-646-1887

SOIL BORING LOG

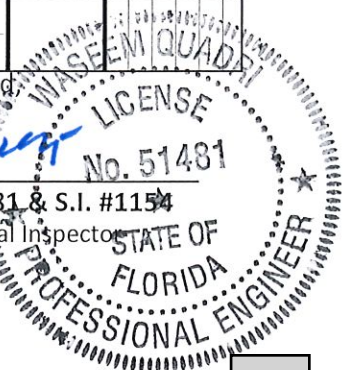
CLIENT	Atlantic Engineering Services, Inc.	Order No	25-0424
ADDRESS	2826 Waters Edge Circle, GreenAcres, FL 33413	Report No.	1
PROJECT	Proposed One-Story Building	Boring No.	B-2
ADDRESS	101 10th Street, Lake Park, FL	Date	4/24/2025
LOCATION	As Marked on Aerial Photography	Driller	AG
		Helper	MP

Depth (feet)	DESCRIPTION OF MATERIALS	Sample No.	Hammer blows on sampler		"N"	"N" Curve				
						10	20	30	40	50+
Soil Boring from 0' to 20'										
1	0'-0" to 0'-2" Top soil	0'-2'	1	2	5	●				
2	0'-2" to 2'-8" Backfill - brown sand with some shells		3	3		●				
3		2'-4'	3	4	7	●				
4	3		4	●						
5	2'-8" to 7'-0" Light brown silica sand	4'-6'	4	5	9	●				
6			4	4		●				
7	6'-8'	6'-8'	6	7	15	●				
8			8	7		●				
9	7'-0" to 12'-0" Dark brown silica sand	8'-10'	7	9	17	●				
10			8	10		●				
11	10'-12'	10'-12'	11	10	20	●				
12			10	13		●				
13	12'-14'	12'-14'	12	11	22	●				
14			11	13		●				
15	14'-16'	14'-16'	15	16	28	●				
16			12	11		●				
17	12'-0" to 20'-0" Brown medium silica sand	16'-18'	13	17	33	●				
18			16	15		●				
19	18'-20'	18'-20'	12	16	34	●				
20			18	18		●				
21	End of Boring @ 20'									
22										
23										
24										
25										
26										
27										
28										
29										
30										

Water Level: (▼) 12'-3"
 Sample Type: Split Spoon (SS)
 At Date: 4/24/2025

Respectfully submitted,

Waseem Quadri
 Waseem Quadri, P.E. #51481 & S.I. #1154
 Threshold Building - Special Inspector



Robert Shank
 Robert Shank, President

ATM Engineering

Testing Laboratories - Engineering Inspection Services - Chemist - Drilling - Environmental Services
 Aubrey Engineering, LLC d/b/a ATM Engineering
 1950 W 84th Street, Hialeah, Florida 33014 - Phone: 305-646-1888/Fax: 305-646-1887

PERCOLATION TEST USUAL OPEN HOLE TEST (CONSTANT HEAD)

CLIENT:	Atlantic Engineering Services, Inc.	Date: 4/24/2025
CLIENT ADDRESS:	2826 Waters Edge Circle, GreenAcres, FL 33413	TEST #: P-1
PROJECT NAME:	Proposed One-Story Building	
PROJECT ADDRESS:	101 10th Street, Lake Park, FL	

LOCATION OF TEST	As Marked on Aerial Photography		
DIAMETER OF HOLE (IN)	6	LAT:	LON:
DEPTH HOLE (FEET)	15		
WATER TABLE BELOW GROUND SURFACE:	12 ft	3 in	

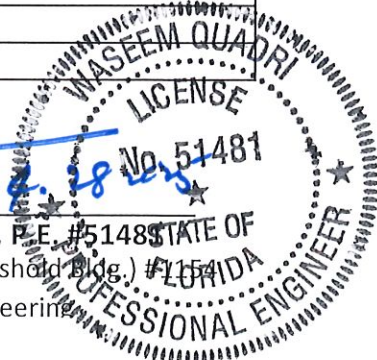
No.	Elapse Time (minute)	GPM
1	1	6.0
2	1	6.0
3	1	6.0
4	1	6.0
5	1	6.0
6	1	6.0
7	1	6.0
8	1	5.0
9	1	5.0
10	1	5.0

PERCOLATION RATE :	5.7
K-VALUE:	7.337E-05

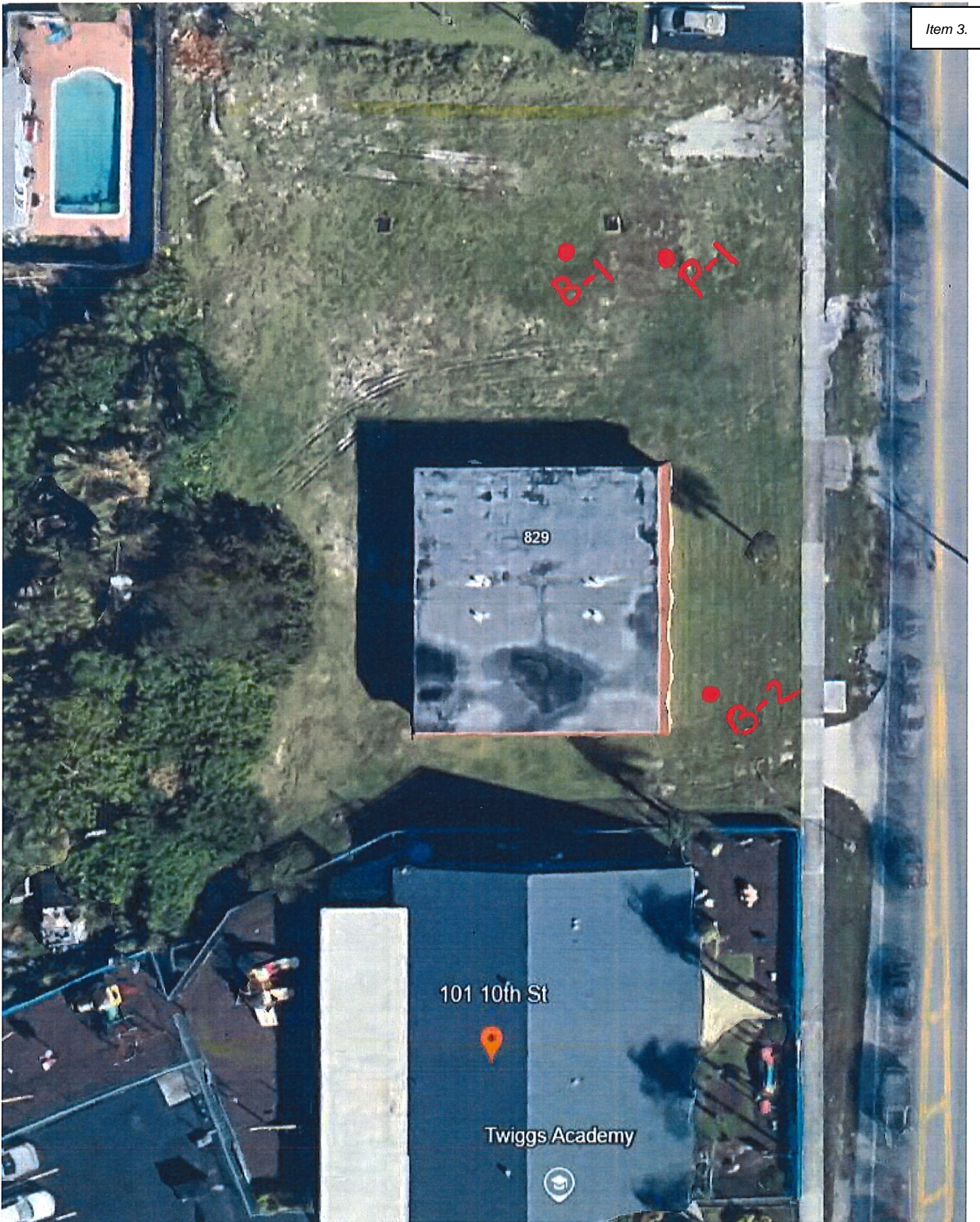
SOIL DEPTH	SOIL DESCRIPTION
0'-0" to 0'-2"	Top Soil
0'-2" to 3'-0"	Backfill - light brown silica sand with shells
3'-0" to 6'-6"	Light brown silica sand
6'-6" to 10'-0"	Dark brown silica sand
10'-0" to 15'-0"	Brown medium silica sand

FIELD TECH.	AG/MP
TYPE BY:	jt


 Robert Shank, President


 Waseem Quadri, P.E. #51481
 Special Inspector (Threshold Eng.) #1574
 ATM Engineering


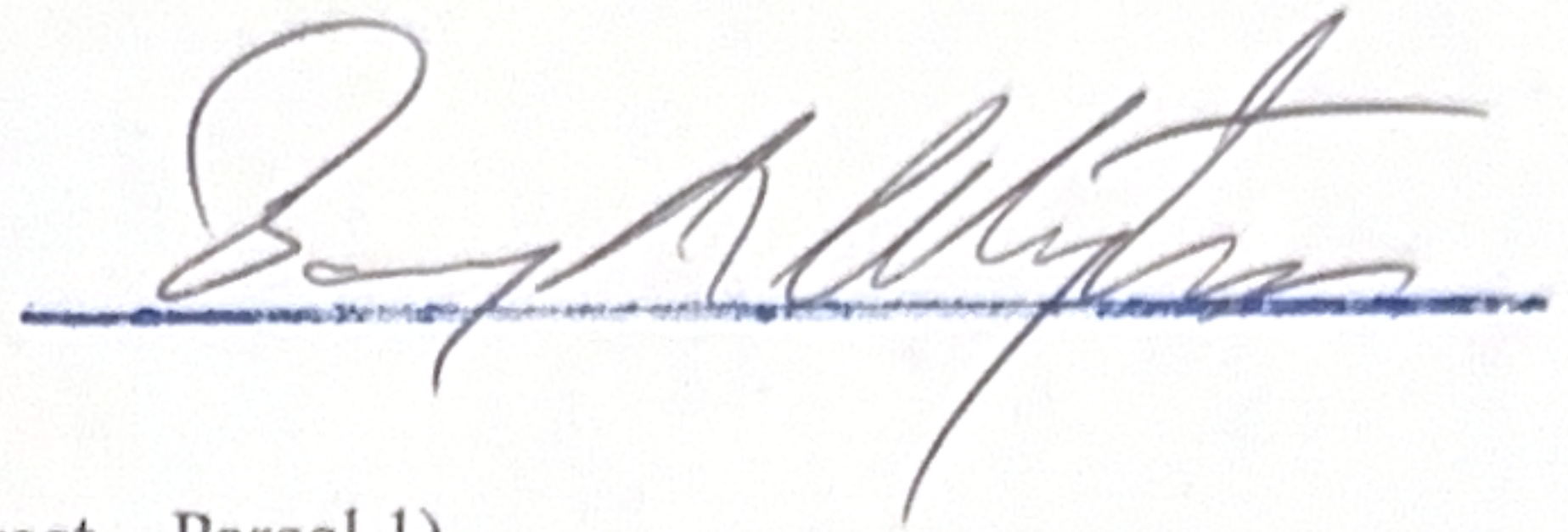
Item 3.



HEREBY CERTIFY THIS COPY
TO BE A TRUE AND CORRECT
COPY OF THE ORIGINAL

This instrument was prepared by and return to:

Barry L. Clayton, Esq.
18314 Little Oaks Drive
Jupiter, Florida 33458



Folio Nos.: 36-43-42-20-01-048-0170 (101 10th Street – Parcel 1)
36-43-42-20-01-048-0270 (829 Silver Beach Road – Parcel 2)
36-43-42-20-01-048-0300 (823 Silver Beach Road – Parcel 3)

WARRANTY DEED
(STATUTORY FORM - SECTION 689.02, F.S.)

THIS INDENTURE, made this 25th day of March, 2022, between **JM WILSON CORP, a Florida corporation**, whose address is PO Box 210096, Royal Palm Beach, Florida 33421, Grantor*, and **MICHEL INVEST LLC, a Florida limited liability company**, whose mailing address is 5030 Sabreline Terrace, Greenacres, Florida 33463, Grantee*,

WITNESSETH that said Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars, and other good and valuable consideration to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said Grantee, and Grantee’s successors and assigns forever, the following described land, situate, lying and being in Palm Beach County, Florida, to-wit:

Parcel 1:

Lots 17, 18, 19, 20, 21, 22, 23, 24, 25 and 26, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Parcel 2:

Lots 27, 28 and 29, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

Parcel 3:

Lots 30, 31 and 32, Block 48, KELSEY CITY (n/k/a Lake Park), according to the Plat thereof, as recorded in Plat Book 8, Page 27, Public Records of Palm Beach County, Florida.

and said Grantor does hereby fully warrant the title to its interest in said land and will defend the same against lawful claims of all persons whomsoever. Grantor represents that it has fully complied with all requirements of Section 607.1202, Florida Statutes. * “Grantor” and “Grantee” are used for singular or plural, as context requires.

IN WITNESS WHEREOF, Grantor has hereunto set its hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

[Signature]
Printed Name: Barry L. Clayton

Wayne S. Evans
Printed Name: WAYNE S. EVANS

JM WILSON CORP.,
a Florida corporation

By: *[Signature]*
Johnetta Wilson, President

Attest: *[Signature]*
Johnetta Wilson, Secretary

STATE OF FLORIDA
COUNTY OF PALM BEACH

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 25th day of March, 2022, by **Johnetta Wilson**, as President and Secretary, of JM Wilson Corp, a Florida corporation, on behalf of the corporation. She is personally known to me or has produced her Florida driver's license as identification, and she took an oath.

[Signature]
NOTARY PUBLIC
Name (printed): Barry L. Clayton



BARRY L. CLAYTON
Commission # HH 186408
Expires December 18, 2025
Bonded Thru Budget Notary Services



TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT

APPLICATION FOR SITE PLAN REVIEW OR AMENDMENT

Please call (561)881-3319 for submittal fees

****For Planned Unit Development (PUD) applications, please refer to Section 78-77 of the Town Code of Ordinances for additional requirements****

Project Name: Twiggs Academy

Project Address: 101 10th Street, Lake Park, FL 33403

Property Owner: MICHEL INVEST LLC

APPLICANT INFORMATION:

Applicant Name: Dr. Pierre Michel

Applicant Address: 5030 SABRELINE TER, LAKE WORTH, FL 33463

Phone: 561-289-6414 Fax: _____ E-Mail: 4drmichel@gmail.com

SITE INFORMATION:

General Location: Northeast corner of Silverbeach Road and Tenth Street

Address: 101 10th Street, Lake Park, FL 33403

Zoning District: C2 - Business Future Land Use: C2 - Business Acreage: 1.385

Property Control Number (PCN): 36-43-42-20-01-048-0170
36-43-42-20-01-048-0270
36-42-42-20-01-048-0300

ADJACENT PROPERTY:

DIRECTION	ZONING	BUSINESS NAME	USE
North	R2		MULTIFAMILY
East	R2		MULTIFAMILY
South			
West	C2		BUSINESS

JUSTIFICATION:

Information concerning all requests (attach additional sheets if needed)

1. Please explain the nature of the request:

Proposed construction of a daycare building of approximately 7,476 SF after the demolition of the existing structure just east of the existing daycare building abutting Silverbeach Road and a new parking lot will be constructed north of the existing daycare building abutting Tenth Street.

2. What will be the impact of the proposed change to the surrounding area?

There will be no impact on the surrounding area as there will be three proposed driveways to access the site. The new construction along with updated landscaping will enhance the neighborhood.

3. How does the proposed Project comply with the Town of Lake Park's zoning requirements?

The proposed project complies with the Town of Lake Park's zoning requirements as the entire site except for 1 lot to the east is zoned business. The single lot to the east which is zoned multifamily will be rezoned.

LEGAL DESCRIPTION:

The subject property is located approximately 0 mile(s) from the intersection of Silverbeach Rd and Tenth St, on the north, east, south, west side of the (street/road).

Legal Description:

KELSEY CITY LTS 17 TO 26 INC BLK 48

KELSEY CITY IN PB 8 PGS 15 TO 18, 23, 27 & 34 TO 37 INC

I hereby certify that I am the owner(s) of record of the above described property or that I/we have written permission from the owner(s) of record to request this action.


OWNER/APPLICANT Signature

7-22-25
Date

CONSENT FORM

FROM PROPERTY OWNER AND DESIGNATION OF AUTHORIZED AGENT:

Before me, the undersigned authority, personally appeared Pierre Michel, who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he/she is requesting _____ in the Town of Lake Park, Florida;
3. That he/she is appointed Imtiaz Ahmed to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: Pierre Michel

Property Owner Signature [Signature]

By: Name/Title Manager

Street Address 101 Tenth Street

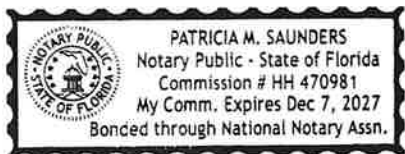
City, State, Zip Code Lake Park FL 33403

Telephone Number 561-289-6414

Fax Number _____

E-Mail Address 4drmichel@gmail.com

Sworn and Subscribed before me on this 22 day of July, 2025,



Patricia M. Saunders
NOTARY PUBLIC

MY COMMISSION EXPIRES:
12/7/2027



TOWN OF LAKE PARK
COMMUNITY DEVELOPMENT DEPARTMENT

APPLICATION FOR SPECIAL EXCEPTION REVIEW

Applicant/Agent: Dr. Pierre Michel

Address: 5030 Sabrelane Terrace, Lake Worth, FL 33463

Telephone: 561-289-6414 Fax: _____

E-mail : 4drmichel@gmail.com

- Owner
- Agent (Attach Agent Authorization Form)

Owner's Name
(if not Applicant): _____

Address: _____

Telephone: _____ Fax: _____

E-Mail : _____

Property Location: 101 10th St, Lake Park, FL 33403

Legal Description: KELSEY CITY LTS 17 TO 32 INC BLK 48

Property Control Number: 36-43-42-20-01-048-0170, 36-43-42-20-01-048-0270,
36-43-42-20-01-048-0300

Future Land Use: Commercial Zoning: C2 - Business District

Acreeage: 1.385 Square Footage of Use: 7,424

Proposed Use: Daycare

- 4. Please explain how the establishment of the proposed Special Exception use in the identified location does not create a concentration or proliferation of the same or similar type of Special Exception use, which may be deemed detrimental to the development or redevelopment of the area in which the Special Exception use is proposed to be developed.

We have assessed the concentration of similar Special Exception uses (daycare centers) in the vicinity of the subject property and determined that granting this Special Exception will not result in an over-saturation or "clustering" that would be detrimental to area character or redevelopment potential. A review of the Lake Park zoning map and a survey of existing daycare facilities shows few, if any, comparable daycare Special Exceptions within a reasonable walking/driving radius. This project fills a local need for community-serving childcare without duplicating an existing concentration of such uses. Furthermore, the site and design have been carefully laid out to minimize neighborhood impacts, including thoughtful buffering, limited traffic peak overlap, and adherence to all Town development standards.

- 5. Please explain how the Special Exception use does not have a detrimental impact on surrounding properties based on; (a) The number of persons anticipated to be using, residing, or working on the property as a result of the Special Exception use; (b) The degree of noise, odor, visual, or other potential nuisance factors generated by the Special Exception use; (c) The effect on the amount and flow of traffic within the vicinity of the proposed Special Exception use.

The proposed daycare will accommodate a limited number of children and staff consistent with the scale of the building and site, ensuring that the number of persons on the property will not overwhelm the surrounding neighborhood. Any noise, visual, or other potential nuisance factors are minimized by the building's orientation, landscaping buffers, and the location of outdoor play areas, which are set back from adjacent properties. The use does not generate odors or other disruptive effects, and all operations are designed to be compatible with the residential character of the surrounding area

- 6. Please explain how the proposed Special Exception use meets the following requirements; (a) does not significantly reduce light and air to adjacent properties; (b) does not adversely affect property values in adjacent areas; (c) would not be deterrent to the improvement, development or redevelopment of surrounding properties in accord with existing regulations; (d) does not negatively impact adjacent natural systems or public facilities, including parks and open spaces; and (e) provides pedestrian amenities, including, but not limited to, benches, trash receptacles, and/or bicycle parking.

(a) The proposed daycare is a single-story building with appropriate setbacks, ensuring it does not significantly reduce light or air to adjacent properties.
(b) The use is compatible with the surrounding residential neighborhood and is designed to maintain the aesthetic and functional character of the area, so it is not expected to adversely affect property values.
(c) The project supports neighborhood-serving uses without creating conflicts, and its scale and design would not deter improvement, development, or redevelopment of surrounding properties in accordance with existing regulations.
(d) The site design preserves existing landscaping and stormwater systems and does not impact natural systems or public facilities, including nearby parks and open spaces.
(e) The project provides pedestrian amenities consistent with Town standards, including designated walkways, trash receptacles, and bicycle parking to support safe and convenient pedestrian access.

Please provide the following:

- | | |
|---|---|
| 1. Fees: | <p>1. Special Exception Fees:</p> <p>Structure Size:
 0 - 14,999 sq. ft. = \$1,500.00
 + 15,000 sq. ft. = \$3,000.00</p> <p>2. Minimum Initial Escrow Fee: \$1,500.00</p> <p>Advertising costs:
 The petitioner shall pay all costs of publication of Public Hearing required in a newspaper of general circulation within the Town. This cost will be deducted from the escrow.</p> |
| 2. Property Owners List: | A complete list of property owners and mailing addresses of all property owners within 300 feet of the subject parcel as recorded in the latest official Palm Beach County Tax Roll. Certified Mail will be sent to all owners within 300 feet; postage will be deducted from escrow. |
| 3. Location Map | |
| 4. Site Plan, Landscape Plan
Architectural Plans | <p>A. Site plan drawn to scale indicating:</p> <ol style="list-style-type: none"> 1. size of the buildings; 2. intended floor area ratios; 3. quantity of parking spaces; 4. intended access road(s); 5. the general type of construction in accordance with the Florida Building Code and the Codes of the Town of Lake Park; and, 6. availability and approximate location of utilities <p>B. Landscape Plan showing proposed improvements, to scale</p> <p>C. Architectural plans including floor plan and building elevations, to scale</p> |
| 5. Site Survey: | A certified boundary survey by a surveyor registered in the State of Florida containing an accurate legal description of the property and a computation of the total acreage of the parcel. |
| 6. Applicants statement: | On the Applicants letterhead please provide a statement of interest in the property. |
| 7. Warranty Deed: | A Warranty Deed with an affidavit from the Applicant stating that the Deed represents the current ownership. |
| 8. Traffic Analysis: | A Traffic Impact Analysis, if required by the Town Engineer or Staff. |

***If special exception is for new development on a vacant parcel, please refer to requirements for site plan approval and site plan checklist as well.

STAFF REVIEW: SUBMIT ONE COMPLETE SET IN HARD COPY AND ONE AS AN ELECTRONIC COPY.

PLANNING BOARD REVIEW: UPON THE APPROVAL OF ALL GOVERNING AGENCIES, PLEASE SUBMIT ONE ELECTRONIC COPY AND SIX (6) COMPLETE SETS OF THE REQUIRED DOCUMENTS FOR FINAL REVIEW



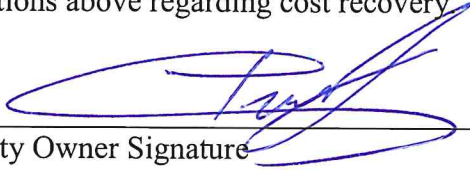
PLEASE DO NOT DETACH FROM APPLICATION.

SIGNATURE REQUIRED BELOW.

Please be advised that Section 51-6 of the *Town of Lake Park Code of Ordinances* provides for the Town to be reimbursed, in addition to any application or administrative fees, for any supplementary fees and costs the Town incurs in processing development review requests.

These costs may include, but are not limited to, advertising and public notice costs, legal fees, consultant fees, additional Staff time, cost of reports and studies, NPDES stormwater review and inspection costs, and any additional costs associated with the building permit and the development review process.

For further information and questions, please contact the Community Development Department at 561-881-3320. 9/13/21

I, <u>Dr. Pierre Michel</u> , have read and understand the regulations above regarding cost recovery	
<u></u> Property Owner Signature	<u>12-17-25</u> Date