



Town of Lake Park, Florida

Historic Preservation Board Meeting Agenda

Monday, October 02, 2023 at 6:30 PM

Commission Chamber, Town Hall, 535 Park Avenue, Lake Park, FL 33403

Richard Ahrens	—	Chair
Jon Buechele	—	Vice-Chair
Evelyn Harris Clark	—	Regular Member
Gustavo Rodriguez	—	Regular Member
Patricia Leduc	—	Regular Member

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Historic Preservation Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

PLEDGE OF ALLEGIANCE

ROLL CALL

APPROVAL OF AGENDA

APPROVAL OF MINUTES

[JULY](#) 10, 2023 SPECIAL CALL HISTORIC PRESERVATION BOARD MEETING MINUTES

PUBLIC COMMENTS

ORDER OF BUSINESS

NEW BUSINESS: QUASI-JUDICIAL PUBLIC HEARING

[23-002](#): QUASI-JUDICIAL PUBLIC HEARING ON A PETITION TO RESCIND THE LOCAL HISTORIC DESIGNATION, GRANTED IN 1998, FOR THE ARNOLD BUILDING LOCATED AT 918 PARK AVENUE, LAKE PARK, FLORIDA, 33403 (8PB9607), AND TO REMOVE IT FROM THE HISTORIC DESIGNATION SURVEY AND FLORIDA MASTER SITE FILE.

BOARD COMMENTS

ADJOURNMENT



Town of Lake Park, Florida
Special Call Historic Preservation Board Meeting
Minutes

Monday, July 10, 2023 at 6:30 PM
535 Park Avenue Lake Park, Florida

Richard Ahrens	—	Chair
Jon Buechele	—	Vice-Chair
Evelyn Harris Clark	—	Regular Member
Gustavo Rodriguez	—	Regular Member
Patricia Leduc	—	Regular Member
Brett Langley	—	Town Attorney
Vivian Mendez, MMC	—	Town Clerk

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Planning & Zoning Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

6:30 P.M.

PLEDGE OF ALLEGIANCE

Vice-Chair Buechele

ROLL CALL

PRESENT

Jon Buechele

Patricia Leduc

Gustavo Rodriguez

ABSENT

Richard Ahrens

Evelyn Harris Clark

APPROVAL OF AGENDA:

Motion made to approve the agenda by Board Member Rodriguez.

Seconded by Board Member Leduc.

Aye: Vice-Chair Buechele.

APPROVAL OF MINUTES:

Motion made to approve the November 7, 2022 Historic Preservation Board Meeting minutes by Board Member Leduc. Seconded by Board Member Rodriguez.

Aye: Vice-Chair Buechele.

PUBLIC COMMENTS ON AGENDA ITEMS: None

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located on either side of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

ORDER OF BUSINESS:

The normal order of business for Hearings on agenda items as follows:

- Staff Presentation
- Applicant Presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments -3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on the floor
- Vote of Board

NEW BUSINESS:

HPB 23-001 - AN APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR 535 PARK AVENUE FOR TOWN HALL PRESERVATION WORK, INCLUDING BALCONY RESTORATION/ROOF REPLACEMENT/PAINTING. OWNER/APPLICANT: ROBERTO F. TRAVIESO, PUBLIC WORKS DIRECTOR, TOWN OF LAKE PARK, FLORIDA.

Town Clerk Mendez swore in all witnesses. The Board Members had no Exparte Disclosures.

Town Planner Anders Viane explained the item. Public Works Director Roberto Travieso presented to the Board (see Exhibit "A"). Board Member Rodriguez asked about the egress on the balconies. Public

Works Director Travieso explained that the balconies are not currently being used as an egress. Board Member Rodriguez also asked if the work would be completed in phases or all at once. Public Works Director Travieso explained that the work would be completed in phases in the same order as presented. Board Member Rodriguez also asked about the timber in the ceilings and how would that be repaired. REG Representative Brian Laura explained that the truss system will be reinforced with steel as needed to fix the sagging.

Board Member Leduc asked about the safety of employees and staff during the repairs and how will those staff members be impacted. Public Works Director Travieso explained that Town Hall would remain fully functional. She also asked what the timeframe would be for each phase. He stated that all of the work would be completed within one year beginning with the balcony repairs. Vice-Chair Buechele gave thanks to Public Works Director Travieso for securing the grant for this project.

Motion to approve HPB 23-001 - AN APPLICATION FOR A CERTIFICATE OF APPROPRIATENESS FOR 535 PARK AVENUE FOR TOWN HALL PRESERVATION WORK, INCLUDING BALCONY RESTORATION/ROOF REPLACEMENT/PAINTING by Board member Rodriguez. Seconded by Board Member Leduc.

Voting aye: Vice-Chair Buechele.

HISTORIC PRESERVATION BOARD MEMBER COMMENTS: None

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS AND PROJECT UPDATES: None

ADJOURNMENT: 7:27pm

_____, Chair

Town of Lake Park Planning & Zoning Board

Town Clerk, Vivian Mendez, MMC

Town Seal

Deputy Town Clerk, Laura Weidgans

Approved on this _____ day of _____, 20_____.

Lake Park Historic Preservation Board: Presentation on the Town Hall Preservation Projects

Roberto Travieso
Public Works Director

Brian Laura, D.Arch
Senior Project Manager, REG Architects



Presentation Agenda



Historic Town Hall Preservation Projects

(in chronological order):

1. Exterior Balcony Repairs
2. Roof Replacement
3. Water Proofing and Painting
4. Ceiling Truss Repair



Objective



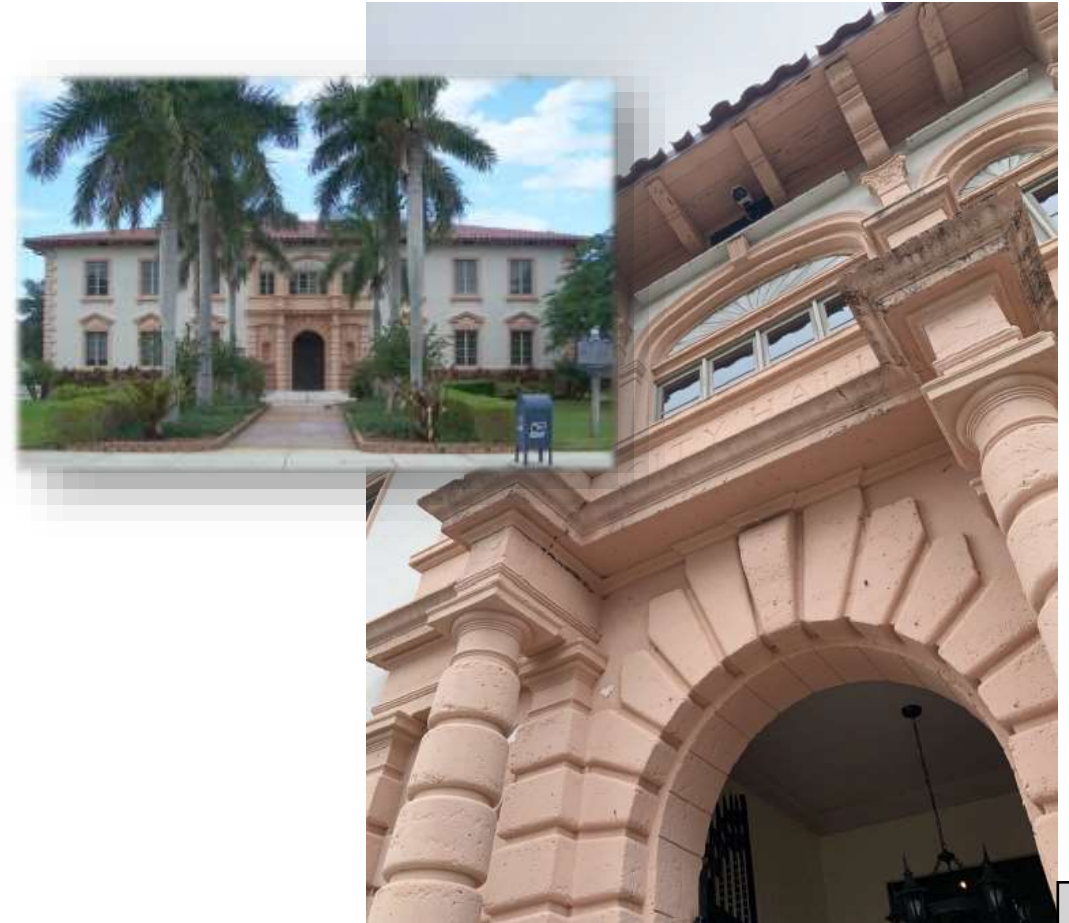
Approval of the Town's application for a Certificate of Appropriateness to facilitate completion of four (4) time-sensitive Town Hall preservation projects.

Historic Town Hall



Background:

- Designed/Constructed Late 1920's
- Facility served many uses over the years; in need of restoration
- Several rehabilitation projects have previously been completed
- Proposed projects funded by grant/Town Funds



I. Exterior Balcony Repairs



A. Background/Existing Conditions

- Structural deficiencies
- Safety Concerns

B. Objective/Strategy

- Condition Assessment
- Engineering and Architectural design



I. Exterior Balcony Repairs (Cont.)



2. Roof Replacement



A. Background/Existing Conditions

- Structural deficiencies
- Safety Concerns

B. Objective/Strategy

- Condition Assessment
- Architectural design



2. Roof Replacement (Cont.)



2. Roof Replacement (Cont.)

- Style: “**True Barrell**” tile
- Color specification: “**Blended**”
- As seen at Harriet Himmel Theater in WPB



3. Water Proofing and Painting



A. Background/Existing Conditions

- Structural deficiencies
- Safety Concerns

B. Objective/Strategy

- Condition Assessment
- Architectural design



3. Water Proofing and Painting (Cont.)



4. Ceiling Truss Repairs



A. Background/Existing Conditions

- Structural deficiencies
- Safety Concerns

B. Objective/Strategy

- Condition Assessment
- Architectural design



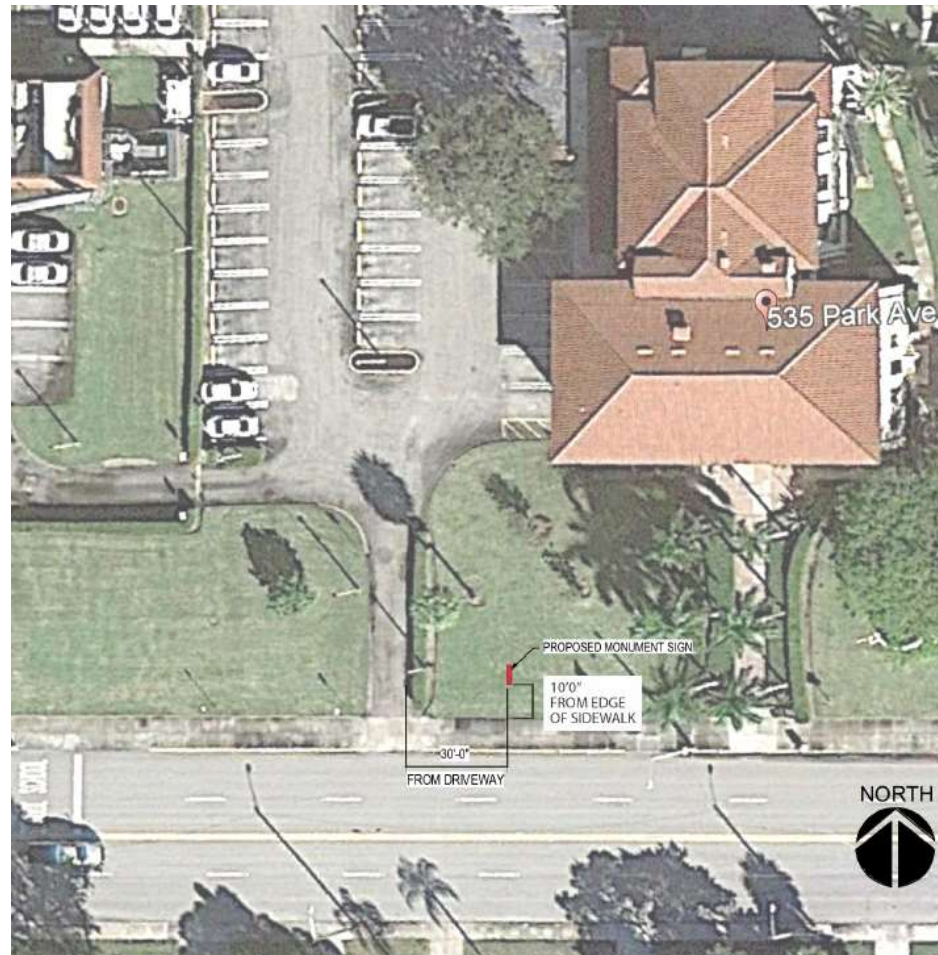
4. Ceiling Truss Repairs (Cont.)



4. Ceiling Truss Repairs (Cont.)



Town Hall Monument Sign



NIGHT LOOK:





Discussion/Questions



PRESENTATION TO THE HISTORIC PRESERVATION BOARD

Town Hall Preservation Projects

July 10, 2023

**TOWN OF LAKE PARK
HISTORIC PRESERVATION BOARD**

Meeting Date: October 2, 2023

Agenda Item # 23-002

DESCRIPTION: QUASI-JUDICIAL PUBLIC HEARING ON A PETITION TO RESCIND THE LOCAL HISTORIC DESIGNATION, GRANTED IN 1998, FOR THE ARNOLD BUILDING LOCATED AT 918 PARK AVENUE, LAKE PARK, FLORIDA, 33403 (8PB9607), AND TO REMOVE IT FROM THE HISTORIC DESIGNATION SURVEY AND FLORIDA MASTER SITE FILE.

A. SUMMARY OF REQUEST

Request: Petition to rescind the local historic designation in accordance with section 66-9 (d) (7) of the Town Code of Ordinances, of the designation granted in 1998, for the Arnold building located at 918 Park Avenue (8pb9607), and to remove it from the Town's historic designation survey and Florida master site file.

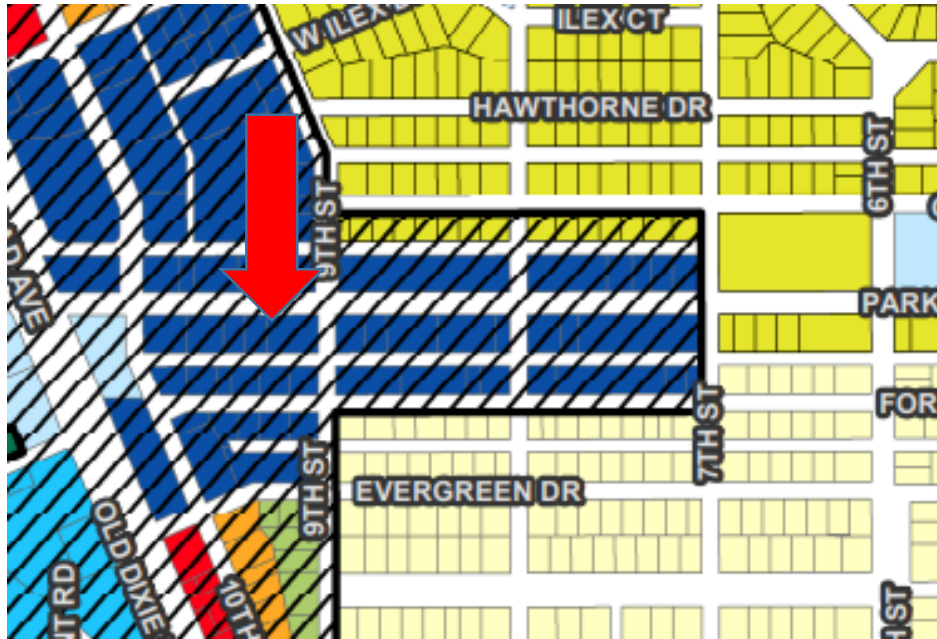
<u>Owner/applicant:</u>	The Adler at Lake Park LLC
<u>Property Address:</u>	918 Park Ave.
<u>Current Zoning:</u>	Park Avenue Downtown District (PADD)
<u>Future Land Use:</u>	Downtown
<u>Existing use:</u>	Vacant
<u>Historic Property:</u>	Mediterranean Revival
<u>Type of structure:</u>	Two story stucco.

The applicant's stated grounds for the petition to rescind the designation are based on the following:

- "1. The property has ceased to meet the criteria for listing as a designated historic landmark because the qualities which caused it to be originally listed have been lost or destroyed, or such qualities were lost subsequent to nomination.
2. Additional information shows that the property does not meet the historic landmark designation criteria for evaluation. "

Removal of the designation is requested so the building may then be demolished. The present owner has packaged together lots on Park and Foresteria, including the subject building for the purposes of redevelopment and construction of a high-rise mixed-use project. Once the designation is removed, the owner intends to demolish the building to make way for the project.

Location



Current Photo



B. ROLE OF HISTORIC PRESERVATION BOARD (HPB)

The HPB will be conducting a quasi-judicial Public Hearing. **The issue before the Board is to determine whether sufficient evidence has been presented by the applicant to justify removal of the local historic designation adopted by the Town in 1998.**

The Board shall consider the report submitted by REG Architects on behalf of the applicant and the Report submitted by the Town's consultant, RJ Heisenbottle Architects (RJHA). RJHA was tasked with analyzing the information presented by REG and to determine whether the stated grounds for the de-designation are valid.

The role of the HPB to review both reports, any other submitted pertinent materials, and staff recommendation to determine whether the applicant's petition should be granted.

(Note: In the reports the terms "rescind the designation" and "de-designate" have the same meaning and have been used interchangeably.)

Section 66-9 (d) (7) of Chapter 26-Historic Preservation in the Town Code states that the same criteria and process used for local historic designation shall also be followed to rescind the designation. This process, shown below, requires basically the same justification as if the applicant had applied for a special certificate of appropriateness to demolish the structure, as both focus on the historic character, significance and nature of the building itself, and should the building be de-designated it will be demolished by the applicant. (The applicant's consultant REG Architects has actually formatted their report as if it was an application for a special certificate of appropriateness) Therefore, as it relates to the historic character, significance and nature of the building, the Board will determine, based on both reports, whether the applicant has demonstrated that the criteria below no longer apply to the building, hence warranting de-designation. **The Board members do not need to conduct their own independent review, but rather analyze the two conclusions of the architectural firms.** The Town Code also provides for the following:

Sec. 66-9. Designation process and procedure.

(a) **Criteria.** Consistent with the criteria established by the National Register of Historic Places, the historic preservation board shall have the authority to designate areas, places, buildings, structures, landscape features, archeological sites and other improvements or physical features, as individual sites, districts or archeological zones that are significant in town's history, architecture, archeology or culture and possess an integrity of location, design, setting, materials, workmanship or association, or:

- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric and architectural history that have contributed to the pattern of history in the community, the county, South Florida, the state or the nation;
- (2) Are associated with the lives of persons significant in our past;

- (3) Embody the distinctive characteristics of a type, period, style or method of construction or work of a master, or that possess high artistic value; or that represent a distinguishable entity whose components may lack individual distinction;
- (4) Have yielded, or are likely to yield information in history or prehistory; or
- (5) Are listed in the National Register of Historic Places.

the full chapter 66 can be found in **attachment 5 of the staff report

The only decision before the Board is whether the applicant has adequately demonstrated that the historic designation should be removed.

The applicant has also submitted an engineer's report on the condition of the building. This report reviews structural issues necessary to bring it up to code. The Board may review the material, but only take into consideration what relates specifically to the historic designation, not the structural condition.

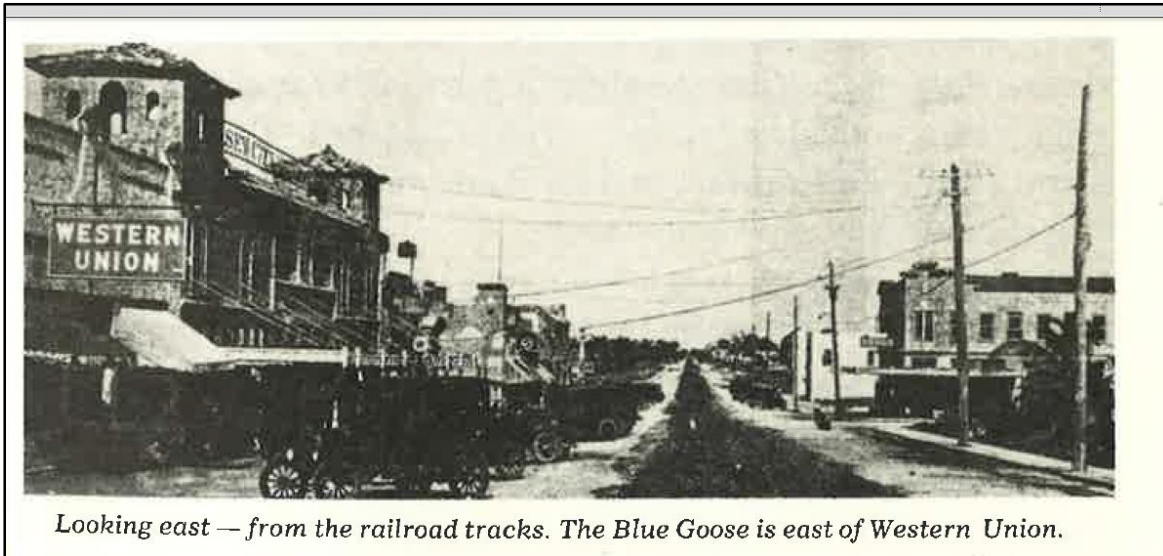
At the Hearing, the Board will hear the presentation from the applicant and REG Architects and Heisenbottle Architects. The Board will have the opportunity to question them, and of course take any public comment.

At the conclusion, based upon the evidence submitted, the Board has the following options:

- a) grant the applicant's request to rescind the designation, or**
- b) deny the request and provide a reasoning.**

Should the Board approve rescinding the designation, the applicant may then proceed to pull a permit for demolition of the building.

Should the Board deny the request, the applicant may appeal the decision to the Town Commission per section 66-14 Appeals.



Early downtown on Park Avenue, viewed east from the railroad.

C. BACKGROUND ON THE 918 BUILDING

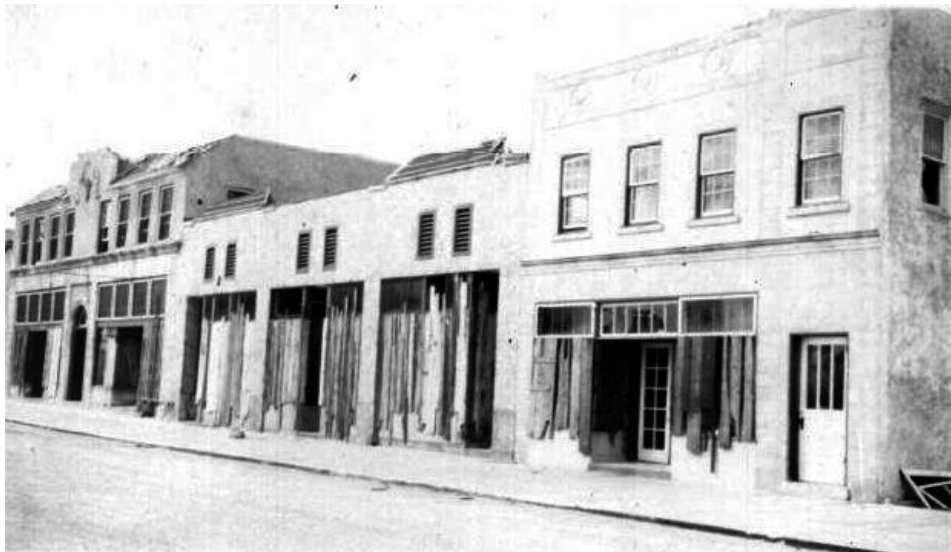
The 918 Building is easy to spot on Park Avenue. Abutting the street without a sea of parking in front, it speaks to a time before the auto dominated the landscape.

Early history:

The building was originally constructed in 1925 in the Mediterranean Revival Architecture style popular at the time, as part of thriving downtown. The building was initially built by the Arnold Construction Company to be their headquarters and was one of many buildings in the downtown constructed in the Land-boom era. The Arnold Company built numerous homes in the Town.

The building suffered damage during the hurricane of 1928. Whether immediately following the hurricane or sometime after in the 30's or 40's the façade was modified. It still retained the Mediterranean Revival architectural style, similar to Town Hall.

A detailed history and architectural review is contained in the "National Register of Historic Places Registration Form", attached as **Attachment 1.**



918 Dixie Way (Park Ave.) is the far left building. This is just after the 28 hurricane. This building housed Arnold grocery, Dr Pearson, and rental rooms. 1928/29 show the Easterly part of building as Atlantic Lumber and Supply. In reality, it was probably the ground floor that was Atlantic Lumber and the 2nd floor as Mrs Woodbury.

Over time the building was also used for various businesses including a grocery store and a US Post Office.

Recent history:

A review of Town business records indicates the last commercial business licenses were in 2005. The property has been vacant for a number of years, with various owners.

In 2017 the then-owner received approval for a site plan and a certificate of appropriateness to renovate the building for commercial purposes. At that time the Town's consultant (REG) determined the building had moderate historic value and reviewed the request for conformance to Mediterranean Revival architecture. The plans were never carried out, and the building has continued to suffer from neglect. In 2021 new owners purchased with the intention of pursuing those plans, however they recently sold the building to the present owner The Adler at Lake Park LLC.

Historic Designation - 1998

The building was locally historically designated by the Town's Historic Preservation Board on Sept 9, 1998, at the request of the then owner Charles Watkins. This designation was based on the findings by Janus Research who was engaged by the Town to survey all possible historic structures, as well as information the contained in the National Register application. (Attachment 1)

It also appears the owner intended to file for consideration to be listed on the National Historic Register but did not complete the process.

The staff report and Historical Structure Form Florida Master Site File are attached as **Attachment 2**

From the Master Site File:

This is the last remaining commercial building from the Boom Times- era. It retains most of its historic physical integrity and modifications are limited to the replacement of some original windows. Based on architectural significance and associations with the early history of Kelsey City, this resource is considered to be potentially eligible for listing on the National Register of Historic Place as part of the Kelsey City Multiple Property Listing.

In addition to the recognition of the building's importance related to the early history of Kelsey City, it appears the architectural significance was based on the building's general appearance in 1998, as characteristic of Mediterranean Revival.

Attachment 3 contains the Resolution assigning the local historic designation and **Attachment 5** contains the minutes of the 1998 HPB Meeting.

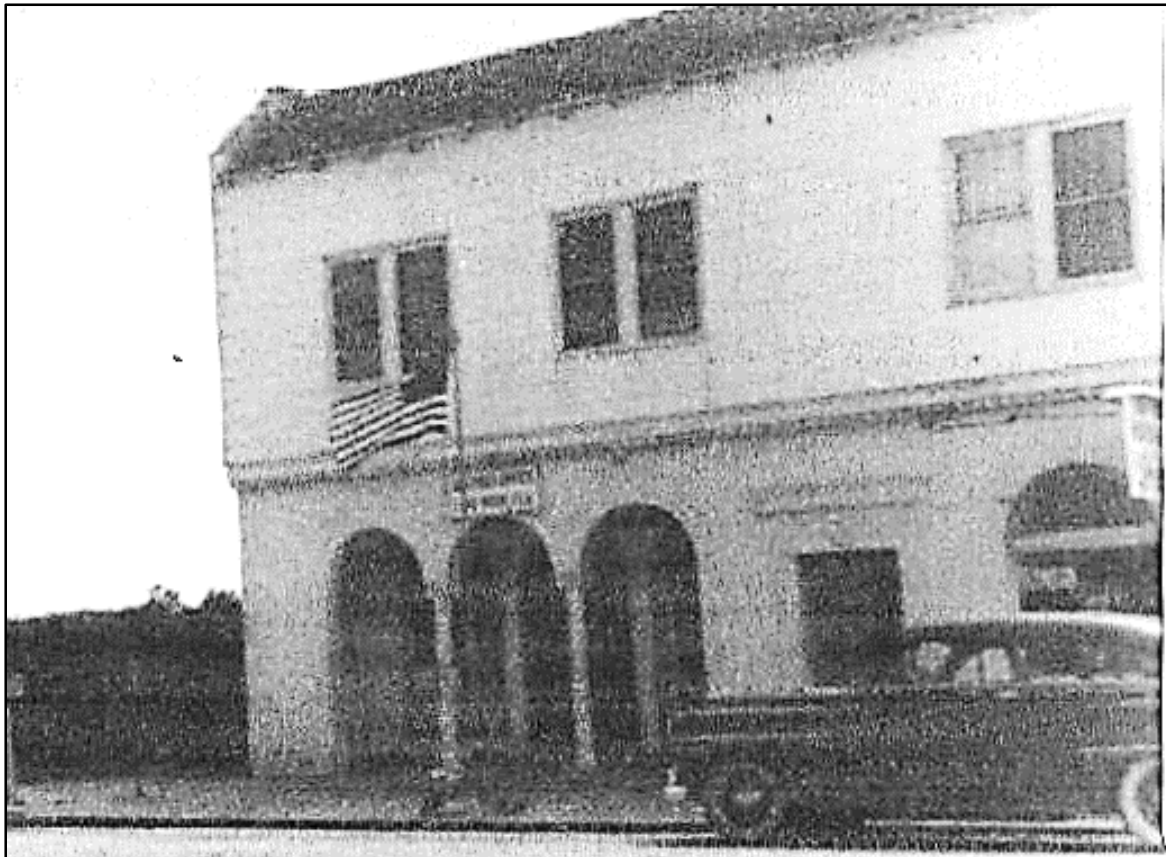
Comparison through time

The following four photos provide a comparison over time of changes to the façade, referenced in this staff report and the architects' reports.

918 PARK - COMPARATIVE FACADES OVER TIME



circa 1925



Circa 1950

8



Circa 2001-2005 (probably how building looked when the local historic designation was considered)



Present day

D. SUMMARY OF ASSESSMENT REPORTS

The two architectural firms come to **differing conclusions** regarding the historical significance of the building. Staff has briefly summarized their conclusions as well as the apparent reason for the differing opinions.

REG Report

The general premise of the REG report is that there have been many significant changes since the building was constructed in 1925, and the property no longer meets the criteria for a local historic designation.

These changes include window and storefront changes, changes to the roof, inappropriate rear alterations, among others. Please refer to the **REG Report**, where **figures (photos) 7, 8, and 9** provide a visual comparison of the building in 1925 and today and identify numerous changes to the façade.



The REG report (pages 2-3) states that

"Many significant changes have occurred to the exterior. Items such as window/storefront replacements, stucco repair and re-coat, enclosure/ infill of rear sleeping and eating porches, inappropriate and insensitive rear (South) alterations, infills and additions.

Therefore, the Property has ceased to meet the criteria for being listed as a historic landmark in the downtown retail district of the Town of Lake Park. This is due to alterations and additions which have destroyed the historic integrity and significance.

This report found the property does not meet or possess historic significance and does not retain a high degree of integrity. Thus, the existing building does not retain any degree of historic integrity of location, setting, materials, design, proportion, massing, feeling, and association with the existing context."

However, in 2017 when REG was hired by the Town to review a development application for the property, they concluded:

“Several minor changes have occurred to the exterior. Items such as window replacement, stucco repair and recoat, storefront alteration, enclosure/ infill of rear sleeping and eating porches, inappropriate and insensitive rear (South) alterations, infills and additions. Overall, the existing building retains a moderate degree of historic integrity of location, setting, materials, design, proportion, massing, feeling, and association. Per the landmark’s Florida Maser Site File it is the last remaining Commercial building from the Boom Times era.”

The Board may wish to have REG explain the apparent inconsistencies between their 2017 and 2023 reports.

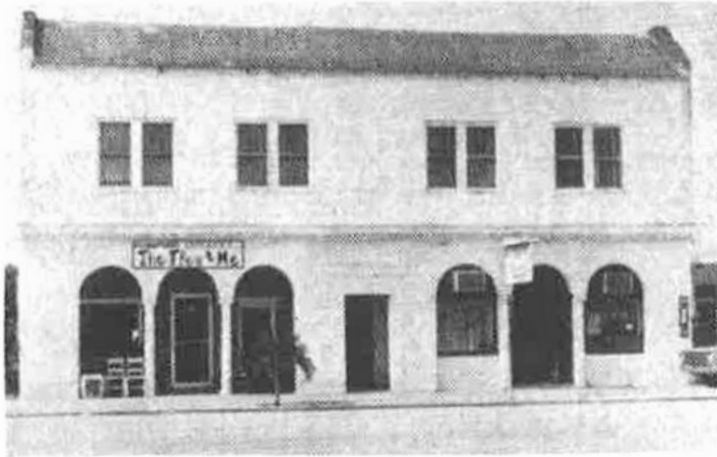
RJ Heisenbottle (RJHA) Report

The RJHA report concludes that in 1998 the Town’s Historic Preservation Board (HPB) based its finding of historical significance on a version of the building much like we see today, not on the 1925 building. The building façade was likely modified in the 30’s or 40’s, as the newer version was in place by 1950. Thus for at least the last 75 years the building has generally retained the same elements. **Heisenbottle contends that the building has actually changed little since it’s designation in 1998**, and therefore does not find that the justification for de-designation is valid.

The report also stresses the building’s ties to the history of Lake Park- its early residents and downtown, as the last remaining historically designated commercial building of the Kelsey City/Boom time era in Lake Park.



918 PARK AVE, LAKE PARK, FL. *1950



The old post office, the oldest building now standing in Lake Park.

Their report stated, **“While RJHA can appreciate the completed comparative analysis, it is essential to reiterate that the building retains the historical integrity for which it was nominated and continues to meet the criteria for designation.”**

E. CONCLUSION AND STAFF RECOMMENDATION

The 918 building is the last commercial building in the Town from the “Boom time Era”. Information on the National Register Application documents its historical significance related to the Town’s history and associated occupants of the building.

The issues of “what time period is appropriate period that the architectural significance should be applied to, and to what extent has the building has lost its architectural integrity” are viewed differently by the two architectural firms. The Board should carefully review the reports to conclude whether there is adequate justification for de-designating the building.

Based on the information provided by our architectural consultant RJ Heisenbottle, staff cannot support the de-designation.

RJHA has made a compelling argument that the building was originally designated in 1998 for the Mediterranean Revival architectural that the building still has today, and which reflects an architectural period in the history of Florida and the Town. Additionally, 918 Park represents the last commercial building in Town from the “Boom time era”, and has played a role in the Town’s early development.

F. Board Action

To reiterate the Historic Preservations Board's options are:

- a) Grant the applicant's request to rescind the designation, or
- b) Deny the request and provide a reasoning.

The Board should specifically state the reason for their decision such that a "Findings of Fact" can be prepared to reflect the Board Decision.

Should the Board approve rescinding the designation, the applicant may then proceed to pull a permit for demolition of the building.

Should the Board deny the request, the applicant may appeal the decision to the Town Commission per section 66-14 Appeals.

(The REG Report is structured in the format not of a request for de-designation, but as a request for an amendment to the existing COA, to allow for the demolition of the building as it no longer has local significance. While this is a different process in the code, the criteria are the same. The outcomes would also be the same. Therefore this report is considered consistent with the actual Request for De-designation)

Attachments to staff report

- Attachment 1: Florida Master Site File, staff report from 1998
- Attachment 2: National Register of Historic Places Registration Form
- Attachment 3: Resolution of Designation, 1998
- Attachment 4: Chapter 66 Historic Preservation
- Attachment 5: Minutes of the August 31 HPB Meeting

Separate documents

- Application for De-designation and Report from REG Architects
- Report from RJ Heisenbottle Architects
- Report from Accord Engineering

United States Department of the Interior
National Park Service

ATTACHMENT 1

**NATIONAL REGISTER OF HISTORIC PLACES
REGISTRATION FORM**

This form is for use in nominating or requesting determinations for individual properties and districts. See instructions in How to Complete the National Register of Historic Places Registration Form (National Register Bulletin 16A). Complete each item by marking "x" in the appropriate box or by entering the information requested. If any item does not apply to the property being documented, enter "N/A" for "not applicable." For functions, architectural classification, materials, and areas of significance, enter only categories and subcategories from the instructions. Place additional entries and narrative items on continuation sheets (NPS Form 10-900a). Use a typewriter, word processor, or computer, to complete all items.

1. Name of Property

historic name Park Building

other names/site number 8PB9607

2. Location

street & number 918 Park Avenue ☐ not for publication

city or town Lake Park ☐ vicinity

state FLORIDA code FL county Palm Beach code 099 zip code N/A

3. State/Federal Agency Certification

As the designated authority under the National Historic Preservation Act, as amended, I hereby certify that this ☐ nomination ☐ request for determination of eligibility meets the documentation standards for registering properties in the National Register of Historic Places and meets the procedural and professional requirements set forth in 36 CFR Part 60. In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. I recommend that this property be considered significant ☐ nationally ☐ statewide ☐ locally. (☐ See continuation sheet for additional comments.)

Signature of certifying official/Title _____ Date _____

Florida State Historic Preservation Officer, Division of Historical Resources
State or Federal agency and bureau

In my opinion, the property ☐ meets ☐ does not meet the National Register criteria. (☐ See continuation sheet for additional comments.)

Signature of certifying official/Title _____ Date _____

State or Federal agency and bureau _____

4. National Park Service Certification

I hereby certify that the property is:

☐ entered in the National Register
☐ See continuation sheet

☐ determined eligible for the
National Register
☐ See continuation sheet.

☐ determined not eligible for the
National Register
☐ See continuation sheet.

☐ removed from the National
Register.

☐ other, (explain) _____

Signature of the Keeper

Date of Action

Park Building
Name of Property

Palm Beach County, Florida
County and State

5. Classification

Ownership of Property
(Check as many boxes as apply)

- ☒ private
☐ public-local
☐ public-State
☐ public-Federal

Category of Property
(Check only one box)

- ☒ buildings
☐ district
☐ site
☐ structure
☐ object

Number of Resources within Property
(Do not include any previously listed resources in the count)

Contributing

Noncontributing

1	0	buildings
		sites
		structures
		objects
1	0	total

Name of related multiple property listings

(Enter "N/A" if property is not part of a multiple property listing.)

**Number of contributing resources previously
listed in the National Register**

Historic and Architectural Resources of Kelsey City, FL

0

6. Function or Use

Historic Functions

(Enter categories from instructions)

COMMERCE/TRADE: business

Current Functions

(Enter categories from instructions)

COMMERCE/TRADE: business

7. Description

Architectural Classification

(Enter categories from instructions)

LATE 19TH AND 20TH CENTURY REVIVALS:

Mediterranean Revival

Materials

(Enter categories from instructions)

foundation Concrete

walls Stucco

roof Barrel Tile

other

Narrative Description

(Describe the historic and current condition of the property on one or more continuations sheets.)

8. Statement of significance

Applicable National Register Criteria

(Mark "X" in one or more boxes for the criteria qualifying the property for National Register listing.)

- ☒ **A** Property is associated with events that have made a significant contribution broad patterns of our history.
- ☐ **B** Property is associated with the lives of persons significant in our past.
- ☒ **C** Property embodies the distinctive characteristics of a type, period, or method of construction of represents the work of a master, or possesses high artistic values, or represents a significant and distinguishable entity whose components lack individual distinction.
- ☐ **D** Property has yielded, or is likely to yield information important in prehistory or history.

Criteria Considerations

(Mark "X" in all the boxes that apply.)

Property is:

- ☐ **A** owned by a religious institution or used for religious purposes.
- ☐ **B** removed from its original location.
- ☐ **C** a birthplace or grave.
- ☐ **D** a cemetery.
- ☐ **E** a reconstructed building, object, or structure.
- ☐ **F** a commemorative property.
- ☐ **G** less than 50 years of age or achieved significance within the past 50 years

Narrative Statement of Significance

(Explain the significance of the property on one or more continuation sheets.)

9. Major Bibliographical References

Bibliography

Cite the books, articles, and other sources used in preparing this form on one or more continuation sheets.)

Previous documentation on file (NPS):

- ☐ preliminary determination of individual listing (36 CFR 36) has been requested
- ☐ previously listed in the National Register
- ☐ previously determined eligible by the National Register
- ☐ designated a National Historic Landmark
- ☐ recorded by Historic American Buildings Survey # _____
- ☐ recorded by Historic American Engineering Record

Areas of Significance

(Enter categories from instructions)

ARCHITECTURE

COMMUNITY PLANNING AND DEVELOPMENT

Period of Significance

C1919-1929

Significant Dates

C1925

Significant Person

Cultural Affiliation

Architect/Builder

Arnold Construction Company

Primary location of additional data:

- ☐ State Historic Preservation Office
- ☐ Other State Agency
- ☐ Federal agency
- ☒ Local government
- ☐ University
- ☒ Other

Name of Repository

Lake Park Town Hall, Historical Society of Palm Beach Co.

10. Geographical DataAcreage of Property Less than one acre**UTM References**

(Place additional references on a continuation sheet.)

1	1	7	5	9	2	2	1	0	2	9	6	4	4	2	0
Zone			Easting			Northing									
2															

3															
Zone			Easting			Northing									
4															

☐ See continuation sheet**Verbal Boundary Description**

(Describe the boundaries of the property on a continuation sheet.)

Boundary Justification

(Explain why the boundaries were selected on a continuation sheet.)

11. Form Prepared Byname/title Amy Groover, Architectural Historianorganization Janus Researchdate May 31, 1998street & number P.O. Box 919telephone 813-821-7600city or town St. Petersburgstate Floridazip code 33731**Additional Documentation**

Submit the following items with the completed form:

Continuation Sheets**Maps**

A USGS map (7.5 or 15 minute series) indicating the property's location.

A Sketch map for historic districts and properties having large acreage or numerous resources.

Photographs

Representative black and white photographs of the property.

Additional items

(check with the SHPO or FPO for any additional items)

Property Owner

(Complete this item at the request of SHPO or FPO.)

name Mr. Chuck Watsonstreet & number 918 Park Avenue

telephone _____

city or town Lake Parkstate FL

zip code _____

Paperwork Reduction Act Statement: This information is being collected for applications to the National Register of Historic Places to nominate properties for listing or determine eligibility for listing, to list properties, and amend listings. Response to this request is required to obtain a benefit in accordance with the National Historic Preservation Act, as amended (16 U.S.C. 470 et seq.).

Estimated Burden Statement: Public reporting burden for this form is estimated to average 18.1 hours per response including time for reviewing instructions, gathering and maintaining data, and completing and reviewing the form. Direct comments regarding this burden estimate or any aspect of this form to the Chief, Administrative Services Division, National Park Service, P.O. Box 37127, Washington, DC 20013-7127; and the Office of Management and Budget, Paperwork Reduction Projects (1024-0018), Washington, DC 20503.

**United States Department of the Interior
National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 1

Park Building/918 Park Avenue
Lake Park, Palm Beach County
Kelsey City Multiple Property Submission

Section 7:

Summary

The Park Building, 918 Park Avenue, is located on the south side of Park Avenue, between 9th and 10th Streets in Township 42 South, Range 43 East, Section 20 (Riviera Beach USGS Quadrangle, 1946, PR 1983) in Lake Park, Florida. The two-story rectangular building was constructed circa-1925. The hollow tile structural system is concealed by stucco and rests on a concrete slab foundation. The building has a pent roof sheathed with barrel tiles on the north elevation. Fenestration includes metal awning and wood fixed storefront windows. This Mediterranean Revival commercial building expresses features of the style including arched openings, twisted cast stone columns, and quoins on the first floor. Pecky cypress brackets are located underneath the pent roof's eave. As the last remaining intact example of an early twentieth century commercial structure within the Town of Lake Park (formerly known as Kelsey City), the Park Building retains the overall integrity of its design and individual architectural features.

Setting

The Park Building occupies an interior lot on the south side of Park Avenue (formerly known as Dixie Way) in the central commercial district of Lake Park. The building is the only extant historic commercial structure remaining from the original Kelsey City commercial district. The present setback of the building from Park Avenue is approximately 6 to 8 feet. This setback is much less than the setbacks exhibited by the surrounding nonhistoric structures. Strip shopping centers with frontal parking lots are located to the east and west of the Park Building. Across Park Avenue is another strip shopping center fronted by a parking lot. To the rear of the building is a small parking lot, which accommodates tenant parking.

When the Park Building was constructed around 1925, it was one of numerous commercial buildings located along Park Avenue. In the 1920s, both sides of Park Avenue were lined with commercial structures. Kelsey City's commercial area was typical of Land Boom-era commercial districts throughout Florida. The predominantly two-story buildings exhibited Mediterranean Revival or Spanish influences, flat roofs, hollow tile construction, and were constructed directly adjacent to one another. In order to utilize the expensive land to the fullest extent, these buildings were built to cover most of the lots and usually had common walls with the neighboring buildings. Historically, the buildings' setbacks from the road were comparable to the present setback of the Park Building. Unfortunately, the September 1928 hurricane destroyed the majority of the commercial buildings along Park Avenue.

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National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
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Section number _____ Page 2

Park Building/918 Park Avenue
Lake Park, Palm Beach County
Kelsey City Multiple Property Submission

Narrative Description: Exterior

The main (north) facade of the Park Building faces Park Avenue (Photograph One). The first floor is divided into seven bays. The entrance is located in the center bay; the rectangular entrance opening has a classically-inspired cast stone door surround of stucco scored to resemble stone blocks. A circular cast stone medallion is located above the central entrance. On the first floor, the entrance is flanked on each side by three arched openings. The arches are supported by cast stone turned columns; ornate capitals top the columns. The arched openings are also surrounded by stucco scored to resemble stone blocks. Beyond the archways located to the left of the main entrance is a recessed storefront. The storefront features a wood frame fixed window and two doors; one door is a modern metal frame type and the other is an original wood frame fully-glazed door. The three archways to the right of the central entrance feature a recessed entrance in the middle archway and fixed storefront windows in the flanking archways. It appears a portion of the arches may have been enclosed. On the north elevation, the second floor slightly cantilevers over the first floor. Four pairs of windows are located on the second floor of this elevation. Although metal awning windows have replaced the original wood frame double-hung windows, the original window openings have been maintained. Pecky cypress brackets are evident underneath the roof eave on the second floor.

The east elevation features a single door and metal awning window on the first floor. Four pairs of metal awning windows and a smaller single metal awning window are present on the second floor. This elevation possesses a stepped parapet with barrel tiles along the roof edge. The west elevation exhibits a single metal frame window on the first floor. A portion of the second floor is recessed and acts as a balcony. Several metal frame awning windows are located within the recessed area and a metal fence extends across this portion of the west facade. Vents are visible near the roofline.

Alterations

The Park Building has undergone minor modifications over the years. It appears the archways to the west of the main entrance have been partially enclosed with removable materials. Fixed storefront windows are also located within the archways. Throughout the building, the original second floor windows have been replaced with metal awning windows. On the east elevation, several of the windows have air conditioning units placed in them. The west elevation features an air conditioning unit placed within the wall. Nevertheless, the majority of the historic features and fabric remain intact. Therefore, the modifications to the building do not compromise its historic physical integrity.

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National Park Service**

**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 3

Park Building/918 Park Avenue
Lake Park, Palm Beach County
Kelsey City Multiple Property Submission

Section 8:

Narrative Statement of Significance

Summary-Areas of Significance

The Park Building is eligible for inclusion within the Kelsey City Multiple Property Submission as it fulfills Criteria A and C for listing in the **National Register of Historic Places**. This building possesses local significance in the areas of Architecture and Community Planning and Development. Its Community Planning and Development significance is based on its association with the Arnold Construction Company and their contributions to the development of Kelsey City during the Florida Land Boom era in the 1920s, when South Florida was a major center of business and real estate activity. The building is architecturally significant because it represents the popular Mediterranean Revival style of the 1920s. The early twentieth century commercial buildings previously located within the former Kelsey City central business district are no longer extant. Because the Park Building is the last remaining intact historic commercial building within Lake Park and it maintains associations with the early development of Kelsey City, this structure is considered to be a significant local resource.

Summary-Historic Context

*Please see cover nomination for the Kelsey City Multiple Property Submission for the complete Statement of Historic Context.

The Town of Lake Park is located in Palm Beach County and is adjacent to the City of Riviera Beach to the south and the Village of North Palm Beach to the north. Lake Park was originally conceived in 1919 as Kelsey City by Harry Seymour Kelsey, a multi-millionaire from Massachusetts. Kelsey acquired a vast fortune from the sale of his restaurant business, the Waldorf Lunch System. With his new found wealth, Kelsey purchased over 100,000 acres of land from the estate of J.M. Barr, a real estate investor from Jacksonville, Henry Flagler's Model Land Company, and the Silver Beach tract, also known as the Peck Aviation Field. From his land holdings, Kelsey established a community platted and planned by the internationally known Olmstead brothers, landscape architects and planners from Boston. The adopted town plan included a waterfront park and designated sites for a civic center, recreational areas, public buildings, schools, and churches. The progressive plan also divided Kelsey City by use into three districts: residential, light business, and industrial. During the Florida Land Boom years of the early 1920s, the Kelsey City development was a success. At this time, Mission, Mediterranean Revival, and Bungalow residences were constructed throughout the Town. Additionally, a commercial area with two banks, restaurants, and grocery stores developed on Dixie Way (known today as Park Avenue), and the industrial section featured a brick manufacturer, decorative stone and tile works, a tire factory, and lumber mill. Despite its early years of prosperity, the end of the 1920s brought development and growth in Kelsey City to a halt. In 1928, a devastating hurricane

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**NATIONAL REGISTER OF HISTORIC PLACES
CONTINUATION SHEET**

Section number _____ Page 4

Park Building/918 Park Avenue
Lake Park, Palm Beach County
Kelsey City Multiple Property Submission

damaged the majority of the Town's building stock, causing many people to abandon their homes and businesses. In addition, the stock market crash of 1929 and debt to the federal government for back taxes left Harry Kelsey in a state of financial ruin. Following the Bust, the Kelsey City property changed owners several times. At the request of the Kelsey City Garden Club, the Town's name was changed to Lake Park in 1939. The Town, however, did witness another building boom in the 1940s, which resulted in the construction of numerous Masonry Vernacular residential buildings. Today, the remaining historic building stock illustrates the historical and architectural evolution of the Town of Lake Park.

Criterion A: Community Planning and Development Significance

The Park Building is significant under Criterion A for its association with the development of Kelsey City during the 1920s, the Town's most important period of growth and progress. The building was a direct response to the rapidly increasing population of new residents and expansion of business occurring in Kelsey City in the 1920s. Located in the commercial core of Lake Park (formerly Kelsey City), the Park Building served the community as a center of commercial and construction activity. The building is also associated with important citizens who were notably involved in the development of Kelsey City.

When Kelsey City was established in 1919, town founder, Harry Kelsey and his East Coast Finance Corporation were the primary land owners throughout the area. During the first few years of the Town's development, Kelsey encouraged and regularly financed the construction of residential and commercial buildings as well as industrial enterprises. However, as the excitement of the Land Boom increased and news of Kelsey City's progressive development and rapid growth spread, many people began to get involved in speculative real estate deals. The Kelsey City tax rolls from the early-1920s reveal that great numbers of residents from the neighboring city of West Palm Beach owned lots within the Town. Because Harry Kelsey lived part of the year in Boston and advertised his development in northern newspapers, investors from the North were also purchasing property in the Town.

From the time Kelsey City was founded until 1924, the East Coast Finance Corporation owned all the property in the Town's central business district. In 1924, the Town's tax rolls indicate that Percy E. Woodward from Boston, Massachusetts was paying taxes on several lots in Block 2. Block 2 was located within the area designated for light business use in the Olmstead brothers' plan of Kelsey City. In 1925, the Arnold Construction Company purchased the lots along Dixie Way and built a commercial building on the property. This building served as the headquarters for their building and contracting business. Several years later, following the bust of the Florida real estate market, the building was sold to the Atlantic Lumber and Supply Company (Town of Lake Park Tax Rolls).

The Arnold Construction Company was instrumental to the growth and development of Kelsey City. The company was started by two brothers, Herman and J.Y. Arnold. Originally from Elberton, Georgia, the brothers came to Florida to join their parents, "Mama and Papa" Arnold, owners of Kelsey City's local grocery store. Aware of the

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Park Building/918 Park Avenue
Lake Park, Palm Beach County
Kelsey City Multiple Property Submission

unprecedented building activity generated by the Florida Land Boom, Herman and J.Y. traveled south to make their fortune in the construction industry. When the brothers arrived in Kelsey City, they contacted Mr. Kelsey and arranged a building contract. Kelsey provided the land and the Arnolds were contracted to build 100 houses. The arrangement stipulated that the builders would provide all of the labor and the lumber at ten percent less than the materials at the local lumber mills. Once the houses were completed, the Arnolds could sell them for a profit and reimburse Kelsey for the land. However, if the houses did not sell, Kelsey would compensate them for their costs plus an additional ten percent. Once the agreement between the Arnolds and Kelsey was formalized, carloads of their former Georgia employees and lumber began arriving in Kelsey City (Branch 105, 106).

After establishing their business in Kelsey City, the brothers immediately began construction on "spec" houses as well as residences for their employees. Additionally, their construction company was responsible for numerous public and commercial buildings throughout the Town including the Town Hall (National Register of Historic Places 1981), the Florida East Coast Railroad Station, and the Kelsey City School. The buildings they constructed were primarily Mediterranean Revival or Mission in style. These architectural styles were popular throughout Florida in the 1920s and advocated by Kelsey and the East Coast Finance Company. Many of the structures they built were designed by notable local architects from West Palm Beach and Palm Beach such as William Manly King and Bruce Kitchell. The Arnolds also recognized and adhered to the zoning restrictions incorporated within the town's charter. In his history of Kelsey City, former manager of Mr. Kelsey's interests, Charles Branch, stated the brothers would always provide drainage, curb cuts, and sidewalks and then include the cost of these improvements within the price of the building (Branch 106).

Besides being prominent businessmen, the Arnold brothers and their wives were active in the community. The families participated in the Kelsey City Community Club, contributed to the school, and were founding members of the Community Church. Following their involvement in the construction of buildings within Kelsey City, the Arnold Construction Company continued to work throughout the Palm Beaches in the 1930s and 1940s.

At the time the Park Building was constructed, Kelsey City was experiencing a period of exceptional growth. Responding to the increase in population and business, the Arnold brothers decided to create a building prominently sited along Dixie Way, the Town's main commercial thoroughfare. Serving as the business' headquarters, the Park Building accommodated their company during a notable era of building activity. The Park Building characterizes the early Land Boom years when Kelsey City and the State of Florida were rapidly growing. The demand for commercial and residential buildings was urgent as the influx of new residents coming to South Florida placed a strain on the existing building stock. Recognizing the area's building needs, the Arnold Construction Company established their business in Kelsey City and got to work producing the essential buildings. As the last remaining intact 1920s commercial building in the central business district, the Park Building is a significant remnant of Kelsey City's architectural history and heritage. The building's associations with the Arnold

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Park Building/918 Park Avenue
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Kelsey City Multiple Property Submission

Construction Company and their role in the early developmental history of Kelsey City also contributes to its historical significance.

Criterion C: Architectural Significance

In addition to possessing historical significance in the area of Community Planning and Development, the Park Building maintains architectural significance for its type and architectural style; therefore, the Park Building is also significant under Criterion C. As an early twentieth century structure, the Park Building symbolizes 1920s commercial architecture in Kelsey City. The building's design demonstrates the importance of Mediterranean Revival architecture during this period of time.

The Park Building is noteworthy because it is a mid-1920s Mediterranean Revival structure which was adapted for use in Kelsey City's central business district. The Mediterranean Revival style was popular in Florida from the 1880s through the 1930s. In 1918, Addison Mizner built Palm Beach's first Mediterranean structure, the Everglades Club. Mizner's Everglades Club and subsequent building designs established an architectural precedent for structures throughout the Palm Beaches and surrounding areas. Newspaper articles from the early 1920s document Harry Kelsey's choice of local architects such as Addison Mizner, William Manly King, Bruce Kitchell, and Harvey and Clarke to design buildings in his Town. These same articles also recorded Kelsey's desire for Kelsey City's buildings to express Mediterranean influences similar to the buildings found in Palm Beach.

The Park Building possesses many of the key features found in Mediterranean Revival architecture. The main characteristics exhibited by the Park Building include the stucco exterior walls, arched openings, cast stone columns, and pecky cypress brackets underneath the roof eaves. The flat roof obscured by the parapets and pent roof is also an expression of the style.

The Park Building embodies the tremendous building boom that occurred in Kelsey City and throughout Florida during the 1920s. Kelsey City rapidly developed during this era, and this building contributed to the growth of the central commercial core. The Park Building captures the spirit of Mediterranean Revival and Spanish influenced architecture popularized during the Florida Land Boom. It also provides evidence of Kelsey City's past as a prosperous business center. As the last intact historic commercial building in the primary business corridor, the Park Building remains an important part of the Town's architectural and developmental history. Presently, the Park Building accommodates businesses on the first floor and the second floor houses residential units.

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Park Building/918 Park Avenue
Lake Park, Palm Beach County
Kelsey City Multiple Property Submission

Section 9: Bibliography

See cover nomination for the Kelsey City Multiple Property Submission

Section 10: Geographical Data

Verbal Boundary Description

The Park Building at 918 Park Avenue includes property within the Kelsey City Plat Block 2 Lots 8, 9, 10.

Boundary Justification

This boundary includes the current legal property attached to the Park Building.

Photograph Inventory

- 1
 1. Park Building
 2. Lake Park, Palm Beach County, Florida
 3. Kathleen Slesnick
 4. 2000
 5. Janus Research
 6. Front elevation, camera facing southwest
 7. 1 of 2

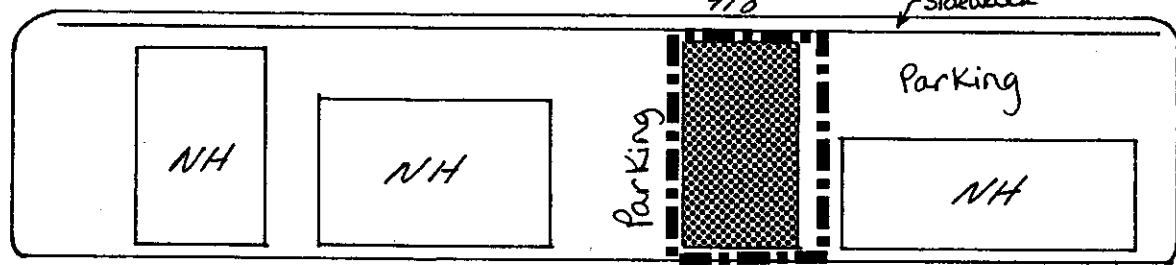
- 2
 - 1-5. same as Photograph One
 6. Interior first floor space, camera facing north
 7. 2 of 2



10th St.

Park Ave.

9th St.



Alley

Foresteria Dr.

Scale = 1" = 400'
NH = Nonhistoric

Site Sketch of 918 Park Ave.,
Park Building (8PB9607)

Page 1
X original
___ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Site 8PB9607
Recorder# 51

SITE NAME Park Building
HISTORIC CONTEXTS Boom Times
NAT. REGISTER CATEGORY Building
OTHER NAMES OR MSF NOS None
COUNTY Palm Beach OWNERSHIP TYPE Private--Individual
PROJECT NAME Lake Park Survey DHR NO 50520
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 918 Park Ave CITY Lake Park
VICINITY OF / ROUTE TO South side of Park Ave. between 9th and 10th Streets
SUBDIVISION N/A BLOCK NO _____ LOT NO _____
PLAT OR OTHER MAP County Aerial Photographs
TOWNSHIP 42S RANGE 43E SECTION 20 1/4 SE 1/4-1/4 NW
IRREGULAR SEC? ___ y X n LAND GRANT Unknown
USGS 7.5' MAP Riviera Beach USGS, 1946 PR 1983
UTM: ZONE 17 EASTING 592210 NORTHING 2964420
COORDINATES: LATITUDE ___ D ___ M ___ S LONGITUDE ___ D ___ M ___ S

HISTORY

ARCHITECT: Unknown
BUILDER: Unknown
CONST DATE 1925 CIRCA C RESTORATION DATE(S): N/A
MODIFICATION DATE(S): 1970s
MOVE: DATE N/A ORIG LOCATION N/A
ORIGINAL USE(S) Commercial
PRESENT USE(S) Commercial

DESCRIPTION

STYLE Mediterranean Revival
PLAN: EXTERIOR Rectangular
INTERIOR Unknown
NO.: STORIES 2.0 OUTBLDGs 0 PORCHES 4 DORMERS 0
STRUCTURAL SYSTEM(S) Hollow tile
EXTERIOR FABRIC(S) Stucco
FOUNDATION: TYPE Slab MATLS Concrete
INFILL N/A
PORCHES N/inset entrances/1st floor/turned supports/arches/N
ROOF: TYPE Flat, shed SURFACING Unknown, barrel tile
SECONDARY STRUCS. N/A
CHIMNEY: NO 0 MTLs N/A LOCNS N/A
WINDOWS Awning, metal, 4; Fixed, wood, storefronts, 1
EXTERIOR ORNAMENT Cast stone, wood
CONDITION Good SURROUNDINGS Residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
See continuation sheet.

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? ___ y X n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS None observed.

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE Architecture/Community Planning/Development

ELIGIBLE FOR NAT. REGISTER? ☒ y ☐ n ☐ likely, need info ☐ insf inf
 SIGNIF. AS PART OF DISTRICT? ☐ y ☒ n ☐ likely, need info ☐ insf inf
 SIGNIFICANT AT LOCAL LEVEL? ☒ y ☐ n ☐ likely, need info ☐ insf inf

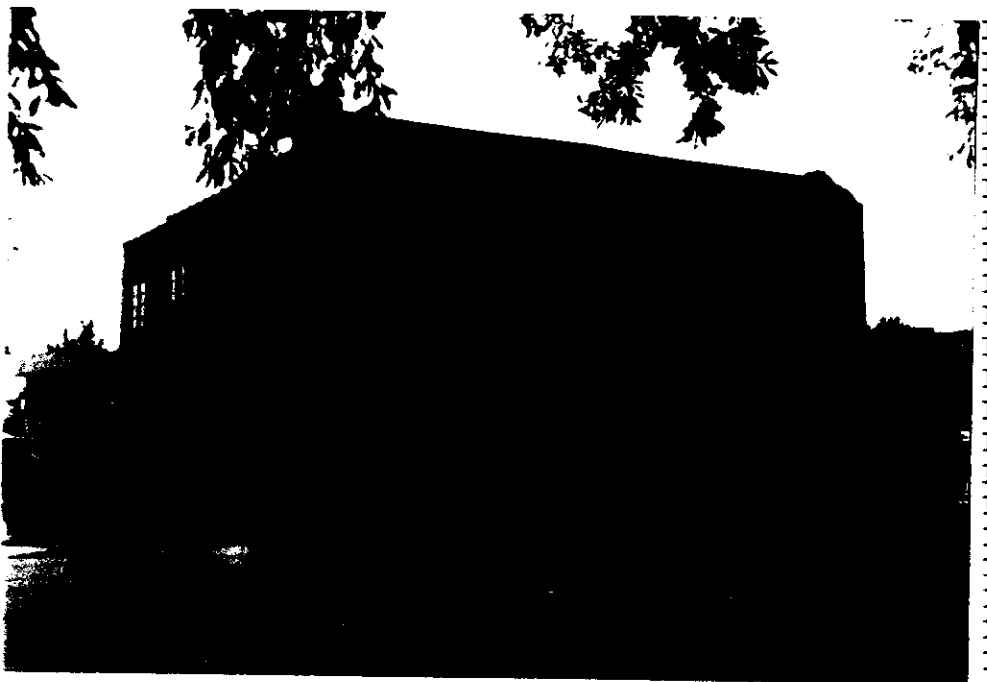
SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)
See continuation sheet.

* * *DHR USE ONLY* * * * * *DHR USE ONLY* * *
 *
 * DATE LISTED ON NR *
 * KEEPER DETERMINATION OF ELIG. (DATE): YES NO *
 * SHPO EVALUATION OF ELIGIBILITY (DATE): YES NO *
 * LOCAL DETERMINATION OF ELIG. (DATE): YES NO *
 * OFFICE *
 * *DHR USE ONLY* * * * * *DHR USE ONLY* * *

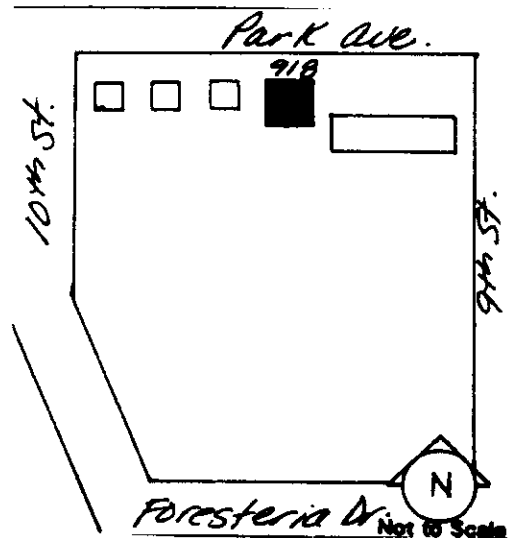
RECORDER INFORMATION: NAME Amy Groover, Dawn Van De Putte
 DATE: 19971121 AFFILIATION Janus Research/Piper Archaeology

PHOTOGRAPHS (Attach a labeled print bigger than contact size)

LOCATION OF NEGATIVES Janus Research/Piper Archaeology
 NEGATIVE NUMBERS Roll 9782-4, Exp. 8 Facing SW



M A P
 Street/plat map, not
 USGS



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

SITE NAME Park Building

A. NARRATIVE DESCRIPTION OF SITE (Use back of page and continuations)

This commercial Mediterranean Revival building is located on the south side of Park Avenue, between 9th and 10th Streets in Township 42 South, Range 43 East, Section 20 (Riviera Beach USGS Quadrangle, 1946, PR 1983) in Lake Park, Florida. Built in 1925, the two-story masonry structural system rests on a concrete slab foundation. Exterior walls are surfaced with stucco and the first floor features corner quoining. The flat portion of the roof features shaped parapets and barrel tile trim. The shed portion of the roof is covered in barrel tile and features pecky cypress brackets. Fenestration includes metal awning and wood fixed storefront windows. The north facade features inset entrances with arched openings and cast stone turned columns. The west elevation features a second-story rectangular cut-out which exhibits a balcony and a railing.

B. DISCUSSION OF SIGNIFICANCE (Use back of page and continuations)

The Mediterranean Revival style is most often found in states with Spanish colonial heritage. In Florida, this style is closely linked with the 1920s Florida Land Boom era. The style has its origin in Beaux Arts-trained architects' desire to create a building style appropriate to the history of the Sun Belt area of the United States. The Mediterranean Revival style flourished in Florida during the 1920s and 1930s, as it captured the picturesque resort image the State was promoting to its winter visitors. Mediterranean Revival domestic buildings are chiefly associated with middle and upper class suburban housing developments. The style was also applied to commercial, hotel, club, and school buildings. Features of the style include stuccoed wall surfaces and low-pitched red barrel tile roofs. Arched windows and doors are often found in Mediterranean Revival style buildings. Decorative elements such as inset tiles, cast stone columns or pilasters, balconies, and window grilles are incorporated in the building designs as well.

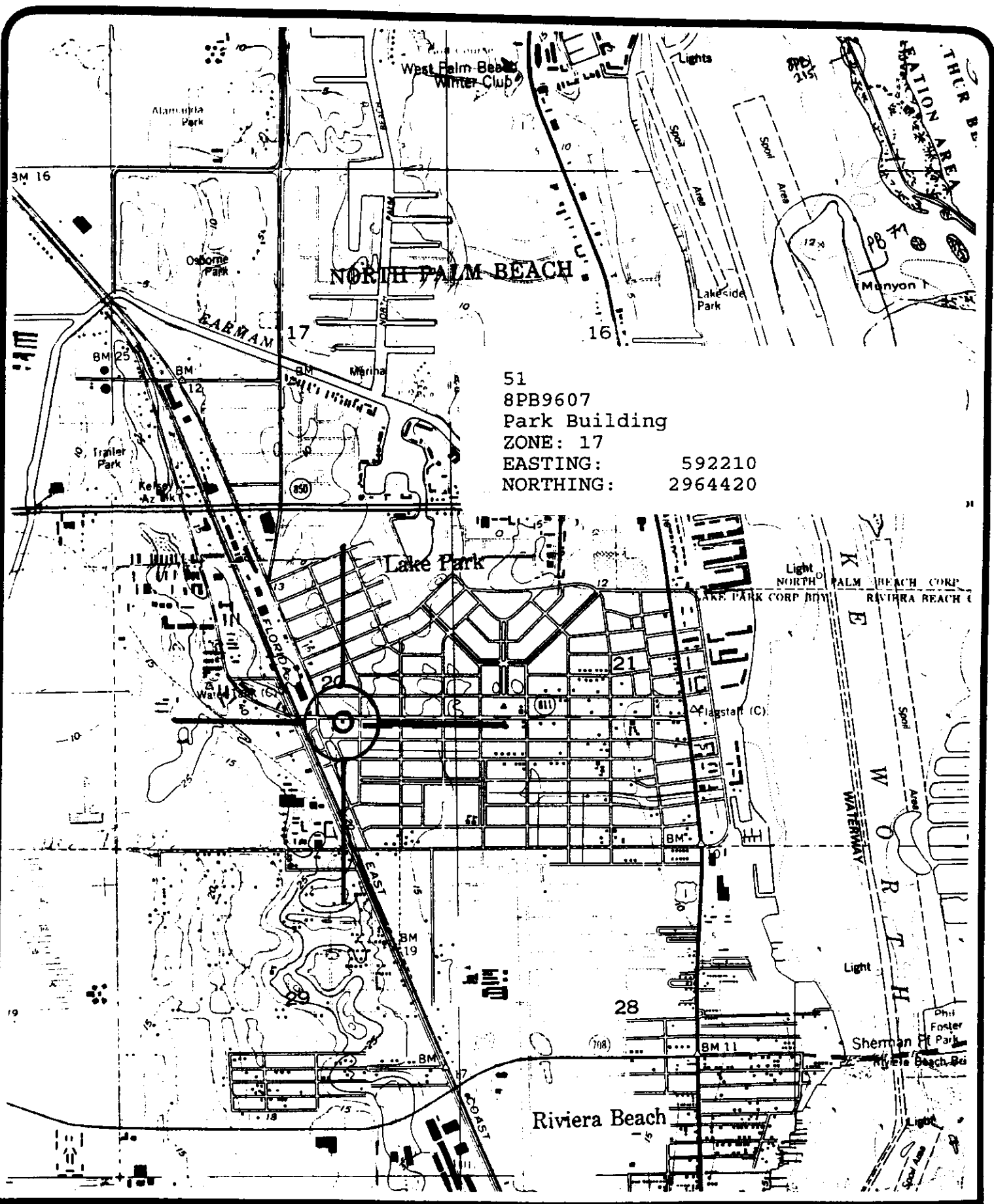
The Town of Lake Park is located in Palm Beach County and is adjacent to the City of Riviera Beach to the south and the Village of North Palm Beach to the north. Lake Park was originally conceived in 1919 as Kelsey City by Harry Seymor Kelsey, a multimillionaire from Massachusetts. Kelsey acquired a vast fortune from the sale of his restaurant business, the Waldorf Lunch System. With his new found wealth, Kelsey purchased over 100,000 acres of land from the estate of J.M. Barr, a real estate investor from Jacksonville, Henry Flagler's Model Land Company, and the Silver Beach tract, also known as the Peck Aviation Field. From his land holdings, Kelsey established a community platted and planned by the

SITE NAME Park Building

internationally known Olmstead Brothers, landscape architects and planners from Boston. The adopted town plan included a waterfront park and designated sites for a civic center, recreational areas, public buildings, schools, and churches. The progressive plan also divided Kelsey City by use into three districts: residential, light business, and industrial. During the Florida Land Boom years of the early 1920s, the Kelsey City development was a success. At this time, Mission, Mediterranean Revival, and Bungalow residences were constructed throughout the town. Additionally, a commercial area with two banks, restaurants, and grocery stores developed on Dixie Way (known today as Park Avenue), and the industrial section featured a brick manufacturer, decorative stone and tile works, a tire factory, and lumber mill. Despite its early years of prosperity, the end of the 1920s brought development and growth in Kelsey City to a halt. In 1928, a devastating hurricane damaged the majority of the town's building stock, causing many people to abandon their homes and businesses. In addition, the stock market crash of 1929 and debt to the federal government for back taxes left Harry Kelsey in a state of financial ruin. Following the Bust, the Kelsey City property changed owners several times. At the request of the Kelsey City Garden Club, the town's name was changed to Lake Park in 1939. The town, however, did witness another building boom in the 1940s, which resulted in the construction of numerous Masonry Vernacular residential buildings. Today, the remaining historic building stock illustrates the historical and architectural evolution of the Town of Lake Park.

This is the last remaining commercial building from the Boom Times-era. It retains most of its historic physical integrity and modifications are limited to the replacement of some original windows. Based on architectural significance and associations with the early history of Kelsey City, this resource is considered to be potentially eligible for listing on the **National Register of Historic Place** as part of the Kelsey City Multiple Property Listing.

- C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE (Use back of page and continuation sheets if necessary)



51
 8PB9607
 Park Building
 ZONE: 17
 EASTING: 592210
 NORTHING: 2964420

Riviera Beach, Florida
 USGS 7.5' Series (Topographic)
 1946 (PR 1983)
 Scale 1:24,000









DESIGNATION OF SIGNIFICANT HISTORICAL SITE

THE TOWN OF LAKE PARK PER CHAPTER 34 OF THE LAKE PARK CODE

INITIATED :-XX———STAFF ———BOARD———OWNER

DATE August 3, 1998

LOCATION OF PROPERTY 918 Park Avenue, Lake Park, Florida South side of Park Avenue in 900 Block "Park Building" Original Kelsey City Post Office

NAME AND MAILING ADDRESS OF OWNER Chuck Watkins

North Palm Beach, Florida

PHONE _____

STAFF REPORT This only remaining building of the original Kelsey City downtown on Park Avenue (formerly Dixie Way) is presently under renovation. The Town has already approved the renovations which includes replacement of shingle roof back to barrel tile, paint and awnings. Mr. Watkins has already made application for designation on the National Register, which it qualifies for. The Florida Master Site file report is enclosed as well as the designation report that has been submitted to the National Register. This building is of great local significance and the willingness of the owner to enhance this property is much appreciated.

STAFF RECOMMENDATION: That the Historical Preservation Board set a public hearing within the next 60 days and designate this site for local significance with a recommendation that it also be accepted by the National Register of Historic Places.

Attach additional sheets and documentation

Page 1
X original
___ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Site 8PB9607
Recorder# 51

"918 Park Avenue"

SITE NAME Park Building
HISTORIC CONTEXTS Boom Times
NAT. REGISTER CATEGORY Building
OTHER NAMES OR MSF NOS None
COUNTY Palm Beach OWNERSHIP TYPE Private--Individual
PROJECT NAME Lake Park Survey DHR NO _____
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 918 Park Ave CITY Lake Park
VICINITY OF / ROUTE TO South side of Park Ave, between 9th and 10th Streets
SUBDIVISION N/A BLOCK NO _____ LOT NO _____
PLAT OR OTHER MAP County Aerial Photographs
TOWNSHIP 42S RANGE 43E SECTION 20 1/4 SE 1/4-1/4 NW
IRREGULAR SEC? ___ y X n LAND GRANT Unknown
USGS 7.5' MAP Riviera Beach USGS, 1946 PR 1983
UTM: ZONE 17 EASTING 592210 NORTHING 2964420
COORDINATES: LATITUDE ___ D ___ M ___ S LONGITUDE ___ D ___ M ___ S

HISTORY

ARCHITECT: Unknown
BUILDER: Unknown
CONST DATE 1925 CIRCA C RESTORATION DATE(S): N/A
MODIFICATION DATE(S): 1970s
MOVE: DATE N/A ORIG LOCATION N/A
ORIGINAL USE(S) Commercial
PRESENT USE(S) Commercial

DESCRIPTION

STYLE Mediterranean Revival
PLAN: EXTERIOR Rectangular
INTERIOR Unknown
NO.: STORIES 2.0 OUTBLDGS 0 PORCHES 4 DORMERS 0
STRUCTURAL SYSTEM(S) Hollow tile
EXTERIOR FABRIC(S) Stucco
FOUNDATION: TYPE Slab MATLS Concrete
INFILL N/A
PORCHES N/inset entrances/1st floor/turned supports/arches/N
ROOF: TYPE Flat, shed SURFACING Unknown, barrel tile
SECONDARY STRUCS. N/A
CHIMNEY: NO 0 MTLs N/A LOCNS N/A
WINDOWS Awning, metal, 4; Fixed, wood, storefronts, 1
EXTERIOR ORNAMENT Cast stone, wood
CONDITION Good SURROUNDINGS Residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
See continuation sheet.

ARCHAEOLOGICAL REMAINS AT THE SITE

FMSF ARCHAEOLOGICAL FORM COMPLETED? ___ y X n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS None observed.

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE Architecture/Community Planning/Development

ELIGIBLE FOR NAT. REGISTER? ☒ y ☐ n likely, need info insf inf
 SIGNIF. AS PART OF DISTRICT? ☐ y ☒ n likely, need info insf inf
 SIGNIFICANT AT LOCAL LEVEL? ☒ y ☐ n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)
See continuation sheet.

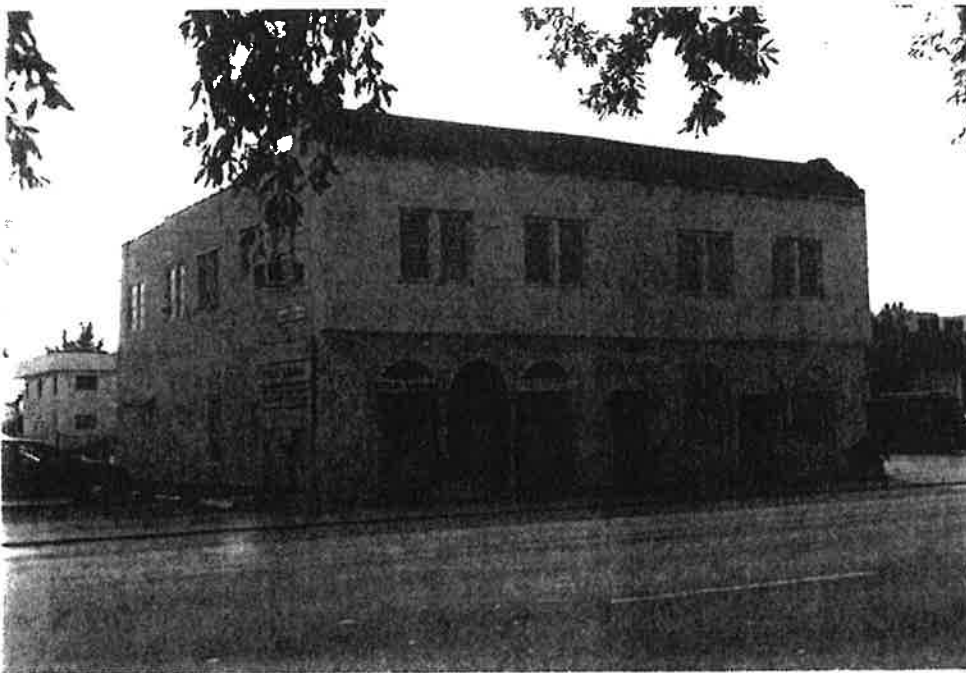
* * *DHR USE ONLY* * * * * *DHR USE ONLY* * *
 *
 * DATE LISTED ON NR _____ *
 * KEEPER DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____ *
 * SHPO EVALUATION OF ELIGIBILITY (DATE): -YES _____ -NO _____ *
 * LOCAL DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____ *
 * OFFICE _____ *
 * *DHR USE ONLY* * * * * *DHR USE ONLY* * *

RECORDER INFORMATION: NAME Amy Groover, Dawn Van De Putte
 DATE: 19971121 AFFILIATION Janus Research/Piper Archaeology

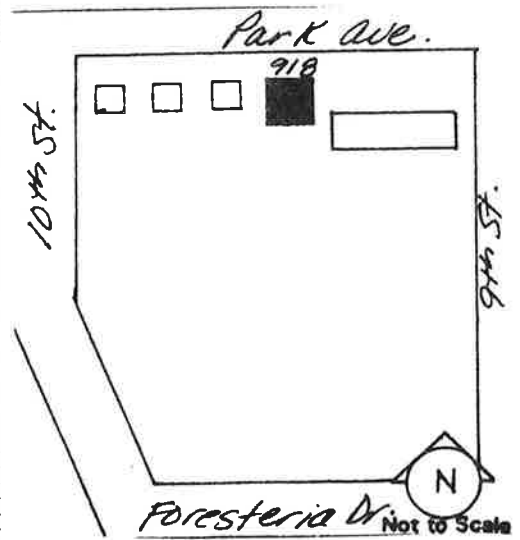
PHOTOGRAPHS (Attach a labeled print bigger than contact size)

LOCATION OF NEGATIVES Janus Research/Piper Archaeology

NEGATIVE NUMBERS Roll 9782-4, Exp. 8 Facing SW



M A P
 Street/plat map, not
 USGS



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

SITE NAME Park Building

A. NARRATIVE DESCRIPTION OF SITE (Use back of page and continuations)

This commercial Mediterranean Revival building is located on the south side of Park Avenue, between 9th and 10th Streets in Township 42 South, Range 43 East, Section 20 (Riviera Beach USGS Quadrangle, 1946, PR 1983) in Lake Park, Florida. Built in 1925, the two-story masonry structural system rests on a concrete slab foundation. Exterior walls are surfaced with stucco and the first floor features corner quoining. The flat portion of the roof features shaped parapets and barrel tile trim. The shed portion of the roof is covered in barrel tile and features pecky cypress brackets. Fenestration includes metal awning and wood fixed storefront windows. The north facade features inset entrances with arched openings and cast stone turned columns. The west elevation features a second-story rectangular cut-out which exhibits a balcony and a railing.

B. DISCUSSION OF SIGNIFICANCE (Use back of page and continuations)

The Mediterranean Revival style is most often found in states with Spanish colonial heritage. In Florida, this style is closely linked with the 1920s Florida Land Boom era. The style has its origin in Beaux Arts-trained architects' desire to create a building style appropriate to the history of the Sun Belt area of the United States. The Mediterranean Revival style flourished in Florida during the 1920s and 1930s, as it captured the picturesque resort image the State was promoting to its winter visitors. Mediterranean Revival domestic buildings are chiefly associated with middle and upper class suburban housing developments. The style was also applied to commercial, hotel, club, and school buildings. Features of the style include stuccoed wall surfaces and low-pitched red barrel tile roofs. Arched windows and doors are often found in Mediterranean Revival style buildings. Decorative elements such as inset tiles, cast stone columns or pilasters, balconies, and window grilles are incorporated in the building designs as well.

The Town of Lake Park is located in Palm Beach County and is adjacent to the City of Riviera Beach to the south and the Village of North Palm Beach to the north. Lake Park was originally conceived in 1919 as Kelsey City by Harry Seymor Kelsey, a multimillionaire from Massachusetts. Kelsey acquired a vast fortune from the sale of his restaurant business, the Waldorf Lunch System. With his new found wealth, Kelsey purchased over 100,000 acres of land from the estate of J.M. Barr, a real estate investor from Jacksonville, Henry Flagler's Model Land Company, and the Silver Beach tract, also known as the Peck Aviation Field. From his land holdings, Kelsey established a community platted and planned by the

SITE NAME Park Building

internationally known Olmstead Brothers, landscape architects and planners from Boston. The adopted town plan included a waterfront park and designated sites for a civic center, recreational areas, public buildings, schools, and churches. The progressive plan also divided Kelsey City by use into three districts: residential, light business, and industrial. During the Florida Land Boom years of the early 1920s, the Kelsey City development was a success. At this time, Mission, Mediterranean Revival, and Bungalow residences were constructed throughout the town. Additionally, a commercial area with two banks, restaurants, and grocery stores developed on Dixie Way (known today as Park Avenue), and the industrial section featured a brick manufacturer, decorative stone and tile works, a tire factory, and lumber mill. Despite its early years of prosperity, the end of the 1920s brought development and growth in Kelsey City to a halt. In 1928, a devastating hurricane damaged the majority of the town's building stock, causing many people to abandon their homes and businesses. In addition, the stock market crash of 1929 and debt to the federal government for back taxes left Harry Kelsey in a state of financial ruin. Following the Bust, the Kelsey City property changed owners several times. At the request of the Kelsey City Garden Club, the town's name was changed to Lake Park in 1939. The town, however, did witness another building boom in the 1940s, which resulted in the construction of numerous Masonry Vernacular residential buildings. Today, the remaining historic building stock illustrates the historical and architectural evolution of the Town of Lake Park.

This is the last remaining commercial building from the Boom Times-era. It retains most of its historic physical integrity and modifications are limited to the replacement of some original windows. Based on architectural significance and associations with the early history of Kelsey City, this resource is considered to be potentially eligible for listing on the **National Register of Historic Place** as part of the Kelsey City Multiple Property Listing.

- C. HISTORY AND BIBLIOGRAPHY OF PAST WORK AT SITE (Use back of page and continuation sheets if necessary)



Riviera Beach, Florida
USGS 7.5' Series (Topographic)
1946 (PR 1983)
Scale 1:24,000

Sep-03-1998 03:58pm 98-352046
 ORB 10627 Pg 1896
 JUDITH H. WILKEN, CLERK PB COUNTY, FL


**TOWN OF LAKE PARK HISTORIC PRESERVATION BOARD
 RESOLUTION OF DESIGNATION OF**

**WATKINS, CHARLES N. AND DOLORES A., 918 PARK AVE.
KELSEY CITY BLOCK 2 LOTS 8-10**

WHEREAS, 918 Park Avenue, Lake Park, Florida is significant to the early history of Kelsey City; and,

WHEREAS, 918 Park Avenue is in excellent condition and is the last remaining commercial building of the old Kelsey City downtown; and,

WHEREAS, 918 Park Avenue possesses the Mediterranean Revival architectural features of the Boom Times in Florida in the early 1920s and was built for the Kelsey City development; and,

WHEREAS, 918 Park Avenue meets the requirements for designation as described in the Lake Park Historic Preservation Ordinance Chapter 34.10 (Criteria).

WHEREAS, the people of Lake Park desire to protect and preserve in perpetuity those sites of outstanding historic and archeological character,

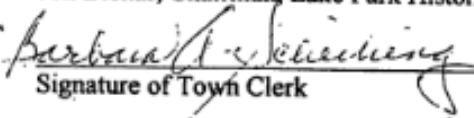
NOW, THEREFORE, BE IT RESOLVED, that the Historic Preservation Board on Monday, August 31, 1998, has designated 918 Park Avenue as a locally significant site and pursuant to the Lake Park Historic Preservation Ordinance (Chapter 34) and that the 918 Park Avenue Building is subject to all rights, privileges and requirements of that ordinance.


 Jon Blehar, Chairman

9/9/98
 DATE

Designation is approved as evidenced by the signature of the Lake Park Historic Preservation Board Chairman

The foregoing instrument was acknowledged before me this 9th day of September, 1998 by Jon Blehar, Chairman, Lake Park Historic Preservation Board.


 Signature of Town Clerk



TOWN OF LAKE PARK
 535 PARK AVENUE
 LAKE PARK, FL 33403-2603

Chapter 66 HISTORIC PRESERVATION¹

Sec. 66-1. Declaration of legislative intent.

It is hereby declared as a matter of public policy that the protection, enhancement and perpetuation of properties of historical, cultural, archeological, aesthetic and architectural merit are in the interests of the health, prosperity and welfare of the people of the town. Therefore, this chapter is intended to:

- (1) Effect and accomplish the protection, enhancement and perpetuation of buildings, structures, improvements, landscape features and archeological resources of sites and districts which represent distinctive elements of the town's cultural, social, economic, political, scientific, religious, prehistoric and architectural history;
- (2) Safeguard the town's historical, cultural, archeological and architectural heritage, as embodied and reflected in such individual sites, districts and archeological zones;
- (3) Foster civic pride in the accomplishments of the past and maintain examples of quality structures for the future;
- (4) Protect and enhance the town's attraction to visitors and the support and stimulus to the economy thereby provided; and
- (5) Promote the use of individual sites and districts for the education, pleasure and welfare of the people of the town.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-2)

Sec. 66-2. Scope of regulations.

- (a) This chapter is intended to and shall govern and be applicable to all property located in the incorporated town limits. Nothing contained herein shall be deemed to supersede or conflict with applicable building and zoning codes. Provisions contained herein shall be cumulative and read in conjunction with other provisions of the town Code.
- (b) This chapter shall be filed, and it shall address the following sections: The establishment of an historic preservation board with powers and duties; the creation of a process to designate individual sites, districts and archeological zones; a process of review of certificates of appropriateness and certificates to dig; and an appeal process. The town shall also submit the proposed ordinance to the National Register of Historic Places for certification by the National Register to be eligible for the 1981 Economic Recovery Tax Act as amended.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-3)

¹Cross reference(s)—Environment, ch. 10; utilities, ch. 32; buildings and building regulations, ch. 54; special historic buildings and districts, § 54-66; environmentally significant lands, ch. 58; land development code, ch. 67; zoning, ch. 78.

State law reference(s)—Historic preservation boards, F.S. ch. 266, historic resources, F.S. ch. 267.

Sec. 66-3. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Archeological zone means an area designated by this chapter which is likely to yield information on the history and prehistory of the town based on prehistoric settlement patterns in the town as determined by the results of the town historic survey. These zones will tend to conform to natural physiographic features which were the focal points for prehistoric and historic activities.

Certificate of appropriateness means a certificate issued by the historic preservation board permitting certain alterations or improvements to a designated individual site or property in a designated district.

- (1) *Regular certificate of appropriateness.* A regular certificate of appropriateness shall be issued by the staff of the historic preservation board, based on the guidelines for preservation approved by the historic preservation board.
- (2) *Special certificate of appropriateness.* For all applications for a special certificate of appropriateness involving the demolition, removal, reconstruction or new construction at an individual site or in a district, a special certificate of appropriateness is required that is issued directly by the historic preservation board.

Certificate of recognition means a certificate issued by the board recognizing properties designated pursuant to this chapter.

Certificate to dig means a certificate that gives the board's permission for certain digging projects that may involve the discovery of as yet unknown or known archeological sites in an archeological zone. This certificate is issued by staff of the board based on the guidelines for preservation approved by the board.

Certified local government means a government satisfying the requirements of the United States National Historic Preservation Act Amendments of 1980 (P.L. 96-515; 16 USC 470 et seq.) and the implementing of regulations of the U.S. Department of the Interior and the state. A government which is certified will review all nominations to the National Register of Historic Places within its jurisdiction prior to reviews at the state and federal levels.

Demolition means the complete constructive removal of a building on any site.

Districts means a collection of archeological sites, buildings, structures, landscape features or other improvements that are concentrated in the same area and have been designated as a district pursuant to this chapter.

Exterior means all outside surfaces of a building or structure.

Guidelines for preservation means criteria established by the preservation board to be used by staff in determining the validity of applications for a regular certificate of appropriateness and any certificate to dig and to establish a set of guidelines for the preservation of buildings in South Florida.

Historic preservation board means the town historic preservation board.

Historic survey means a comprehensive survey and listing of the cultural, architectural or archeological resources of the town prepared by a knowledgeable historic preservation authority, following standards set forth in federal, state and town regulations for evaluation of such resources and their importance to the town.

Individual site means an archeological site, building, structure, place or other improvement that has been designated as an individual site pursuant to this chapter including auxiliary buildings of an individual site. Auxiliary or appurtenance buildings is subordinate to or adjoins the principal use of the structure, e.g., fences, walls, steps, paving, sidewalks, signs, light fixtures, street furniture, parking areas, public art, fountains, etc. Under the

provisions of this chapter, interior spaces may be regulated only where a building or structure is a designated individual site.

Landscape feature means any improvement or vegetation including, but not limited to outbuildings, walls, courtyards, fences, shrubbery, trees, sidewalks, planters, plantings, gates, street furniture and exterior lighting.

Local register of historic places means the official list maintained by the town of buildings, structures, sites, districts and objects significant to town history, architecture, archeology, engineering and culture, which have been designated by the historic preservation board ("town register").

National Register of Historic Places means a federal listing maintained by the U.S. Department of the Interior of buildings, sites, structures and districts that have attained a quality of significance as determined by the Historic Preservation Act of 1966, as amended, 16 USC 470 et seq. ("National Register").

Noncontributing resource means a resource or building that does not add to the cultural, historical, social, economic, political, aesthetic, architectural or archeological significance of a designated landmark or a designated historic district.

Ordinary repairs or maintenance means work done on any building, structure or site to real property for which a building permit is not required, the purpose and effect of which is to correct or prevent deterioration of a building or structure or decay of or damage to a building or structure or any part thereof by restoring the building or structure as nearly as practicable to its condition prior to such deterioration, decay or damage, using the same materials or those materials available which are as close as possible to the original.

Owner of a designated property means as reflected on the current county tax rolls or current title holder.

Secretary of the Interior's Standards for Rehabilitation means a federal document currently set forth in 36 CFR 68 establishing standards and guidelines for the appropriate rehabilitation and preservation of historic resources, as it may be amended from time to time.

Site of exceptional importance means a site or structure that is of exceptional importance because it is: (i) one of a kind; (ii) directly related to a major theme in the town's or region's development; (iii) significant in multiple areas which can include history, architecture, landscape design, and archaeology.

Undue economic hardship means failure to issue a certificate would place an onerous and excessive financial burden upon the owner that would amount to the taking of the owner's property without just compensation.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-4)

Cross reference(s)—Definitions generally, § 1-2.

Sec. 66-4. Historic preservation board—Created and established.

The planning and zoning board is designated as the historic preservation board. It is hereby established that the town planning and zoning board shall serve as the town historical preservation board as an agency of the town government in and for the town. The historic preservation board is hereby vested with the power, authority and jurisdiction to designate, regulate and administer historical, cultural, archeological and architectural resources in the town, as prescribed by this chapter under the direct jurisdiction and legislative control of the town commissioners. To meet the requirements of the certified local government program and to carry out its responsibilities under this chapter, the membership of the historic preservation board shall include, to the extent available, members from the disciplines of architecture, architectural history, law, investment banking, planning, engineering, archeology and related fields. The town commission shall decide whether or not the existing members of the planning and zoning board meet the requirements of the historic preservation board and other programs and may appoint up to two additional members to the historic preservation board if needed. Whenever a new member is appointed to the historic preservation board, the town commission shall consider the

professional requirements of the new member to ensure that the requirements of the certified local government program are met. When a vacancy occurs on the historic preservation board, it shall be filled within 60 days. When necessary, persons serving on the historic preservation board shall attend educational meetings to develop a special interest, expertise, experience or knowledge in history, architecture or related disciplines.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-5)

Cross reference(s)—Boards and commissions, § 2-111 et seq.

State law reference(s)—Historic preservation boards, F.S. ch. 266.

Sec. 66-5. Same—Members.

The historic preservation board shall consist of five or seven members appointed by the town commission. Each member of the historic preservation board shall be qualified pursuant to section 2-112. Appointments shall be made on the basis of civic pride, integrity, experience and interest in the field of historic preservation. The term of office of membership shall follow the guidelines of the town planning and zoning board. Any vacancy occurring on the historic preservation board shall be filled by the town commission for the remainder of the unexpired term, at the earliest possible date. Members of the historic preservation board shall be eligible for reappointment, and shall hold office until their successors have been duly appointed and qualified. Members of the historic preservation board shall serve without compensation but shall be reimbursed for necessary expenses incurred in the performance of their official duties, as shall be determined and approved by the town commission. Before entering upon the duties of office, each member of the historic preservation board shall file written acceptance of appointment and take and subscribe to the oath of office prescribed by law, which shall be filed in the office of the town clerk.

(Ord. No. 6-1998, § I, 7-1-1998; Ord. No. 13-2001, § 1, 10-3-2001; Ord. No. 1-2002, § 1, 1-16-2002; Code 1978, § 34-6)

Sec. 66-6. Organization.

The chairperson of the planning and zoning board shall serve as chairperson of the historic preservation board. The town manager shall provide adequate personnel to provide technical expertise to and fulfill the administrative responsibilities of the board, including but not limited to representatives from the community development department, which shall be deemed the staff of the board. Minutes of each historic preservation board meeting shall be kept and prepared under the supervision and direction of the board, and copies of such minutes shall be filed with the town clerk.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-7)

Sec. 66-7. Rules and regulations.

The historic preservation board shall make and prescribe such rules and regulations reasonably necessary and appropriate for the proper administration and enforcement of the provisions of this chapter. Such rules and regulations shall conform to the provisions of this chapter and shall not conflict with the constitution and general laws of the state. The historic preservation board shall prescribe forms for use by applicants in compliance with the provisions of this chapter.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-8)

Sec. 66-8. Powers and duties.

- (a) The historic preservation board shall have the following enumerated powers and duties:
- (1) Adopt or amend rules of procedure.
 - (2) Recommend designation of individual sites, districts and archeological zones.
 - (3) Issue or deny certificates of appropriateness or special appropriateness and certificates to dig.
 - (4) Recommend or approve historical markers and issue certificates of recognition for individual sites and designated properties in a district.
 - (5) Recommend zoning and building code amendments to the proper authorities.
 - (6) Establish guidelines for preservation and criteria for issuance by staff of regular certificates of appropriateness.
 - (7) Promote the awareness of historic preservation and its community benefits.
 - (8) Review and update the historic survey for its quality and professional merit, and validate the findings of the survey as bona fide and sincere which shall be compatible with the Florida Master Site File and planning for their conservation and preservation.
 - (9) Implement the authority of this chapter and fulfill the tasks set forth for the historic preservation board by the town commission in this chapter and other ordinances.
 - (10) Record and maintain records of the historic preservation board's actions and decisions.
 - (11) Follow and abide by the laws of the United States of America, the state, county and the town.
 - (12) Review and recommend sites and structures for nomination to the National Historic Register.
 - (13) Provide an annual report to the mayor and town commission.
- (b) No actions of the historic preservation board will supersede or be construed as superseding the authority of the town commission.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-9)

Sec. 66-9. Designation process and procedure.

- (a) *Criteria.* Consistent with the criteria established by the National Register of Historic Places, the historic preservation board shall have the authority to designate areas, places, buildings, structures, landscape features, archeological sites and other improvements or physical features, as individual sites, districts or archeological zones that are significant in town's history, architecture, archeology or culture and possess an integrity of location, design, setting, materials, workmanship or association, or:
- (1) Are associated with distinctive elements of the cultural, social, political, economic, scientific, religious, prehistoric and architectural history that have contributed to the pattern of history in the community, the county, South Florida, the state or the nation;
 - (2) Are associated with the lives of persons significant in our past;
 - (3) Embody the distinctive characteristics of a type, period, style or method of construction or work of a master, or that possess high artistic value; or that represent a distinguishable entity whose components may lack individual distinction;
 - (4) Have yielded, or are likely to yield information in history or prehistory; or

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- (5) Are listed in the National Register of Historic Places.
- (b) *Properties not generally considered; exceptions.* Certain properties, which include cemeteries, birthplaces, properties owned by religious institutions or used for religious purposes, structures that have been moved from their original locations, properties commemorative in nature and properties that have achieved significance within the last 50 years, will not normally be considered for designation. However, such properties may qualify if they are integral parts of districts that do meet the criteria, or if they fall within the following categories:
- (1) A religious property deriving primary significance from architectural or artistic distinction of historical importance.
 - (2) A building or structure removed from its location but which is primarily significant for architectural value, or is the surviving structure most importantly associated with a historic event or person.
 - (3) A birthplace or grave of a historical figure of outstanding importance if there is no other appropriate site or building directly associated with such historic figure's productive life.
 - (4) A cemetery which derives its primary significance from graves of persons of transcendent importance, from age, distinctive design features, or from association with historic events.
 - (5) A property primarily commemorative in intent if design, age, tradition or symbolic value has invested it with its own historical significance.
 - (6) A property or district achieving significance within the past 50 years if it is of exceptional importance.
- (c) *Investigation and designation report.* Prior to the designation of an individual site, a district, or an archeological zone, an investigation and designation report must be filed with the historic preservation board. The format of these reports may vary according to the type of designation; however, all reports must address the following:
- (1) The historical, cultural, architectural or archeological significance of the property or properties being recommended for designation;
 - (2) A recommendation of boundaries for districts and archaeological zones and identification of boundaries of individual sites being designated;
 - (3) A recommendation of standards to be adopted by the board in carrying out its regulatory function under this chapter with respect to certificates of appropriateness and certificates to dig.

Where a report is filed recommending designation of a district, the report must identify those properties, if any, within the district which are not historically or architecturally compatible with structures in the district. The standards for regulating such nonconforming properties shall provide that a certificate of appropriateness may be required only for new construction on such properties. All reports shall take into consideration projected, proposed or existing public improvements and developmental or renewal plans.

- (d) *Procedure.*
- (1) *Petition of the owner.* The owner of any property in incorporated Lake Park may petition this board for designation of the owner's property as an individual site, district or archeological zone provided that the owner appears before the historic preservation board with sufficient information to warrant the investigation of the property for future designation and the historic preservation board finds that the property may be worthy of designation. The historic preservation board shall, based on its findings, either direct the staff to begin the designation process or deny the petition. Nothing in this subsection shall be deemed to restrict the power of the historic preservation board to initiate the designation process pursuant to this section, however, written permission of the property owner shall be obtained prior to the submission of the application for designation, and such written permission shall be made a part of the application packet.

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- (2) *Directive of the historic preservation board.* The historic preservation board shall, upon recommendations from staff or the acceptance of petitions pursuant to subsection (d)(1) of this section, direct staff to begin the designation process by preparing a designation report, pursuant to subsection (c) of this section and any other standards the board may deem necessary, and submitting this report according to the procedures described herein.
- (3) *Notification of owner.* For each proposed designation of an individual site, the historic preservation board shall obtain the permission of the property owner. For each proposed district or archeological zone, the historic preservation board is encouraged to obtain the permission of the property owner within the designated area, and is responsible for mailing a copy of the designation report to the owner as notification of the intent of the historic preservation board to consider designation of the property at least 15 days prior to a public hearing held pursuant to this section.
- (4) *Notification of government agencies.* Upon filing of a designation report, the secretary of the historic preservation board shall immediately notify the community development department and any other county or municipal agency, including agencies with demolition powers, that may be affected by said filing.
- (5) *Notification of a public hearing.* For each individual site, district or archeological zone proposed for designation, a public hearing must be held no sooner than 15 days and within 60 days from the date a designation report has been filed with the historic preservation board. Owners of record or other parties having an interest in the proposed designated properties, if known, shall be notified of the public hearing by certified mail to the last known address of the party being served, according to the county property appraiser's records; however, failure to receive such notice shall not invalidate the same as such notice shall also be perfected by publishing a copy thereof in a newspaper of general circulation at least ten days prior to the hearing. Owners shall be given an opportunity at the public hearing to object to the proposed designation.
- (6) *Requirement of prompt decision and notification.* Within seven days of a public hearing on a proposed individual site, district or archeological zone, the board shall by written resolution state its decision to approve, deny or amend the proposed designation and shall direct the secretary of the historic preservation board to notify the following of its actions with a copy of the resolution:
- a. The community development department;
 - b. The town clerk;
 - c. The appropriate county officials;
 - d. The owner of the affected property and other parties having an interest in the property, if known;
 - e. Any other county or municipal agency, including agencies with demolition powers, that may be affected by this action; and
 - f. The county property appraiser.
- (7) *Amendment or rescission.* The historic preservation board may amend or rescind any designation provided it complies with the same manners and procedures used in the original designation.
- (8) *Moratorium.* Upon the filing of a designation report by the staff, the owner of the real property which is the subject matter of the designation report or any individual or private or public entity shall not:
- a. Erect any structure on the subject property.
 - b. Alter, restore, renovate, move or demolish any structure on the subject property until such time as final administrative action, as provided by this chapter, is completed.

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- (9) *Recording of designation.* The historic preservation board shall provide the clerk of the circuit court with all designations for the purpose of recording such designation and the clerk of the circuit court shall thereupon record the designation according to law.

(Ord. No. 6-1998, § I, 7-1-1998; Ord. No. 13-2001, § 1, 10-3-2001; Code 1978, § 34-10)

Sec. 66-10. Application for certificate of appropriateness.

- (a) *Certificate required as prerequisite to alteration, etc.* No building, structure, improvement, landscape feature or archeological site within the town which is designated pursuant to section 66-9 may be erected, altered, restored, renovated, excavated, moved or demolished until an application for a certificate of appropriateness regarding any architectural features, landscape features or site improvements has been submitted to and approved pursuant to the procedures in this section. As a prerequisite to the alteration, etc., of a single-family home which has been identified as being 50 years or older in the Lake Park Historical Structure Survey, dated June 1998, the community development director shall notify the owner that the home is one of the sites identified in the Lake Park Historical Structure Survey, dated 1998, as being eligible for listing on the local historic register. The community development director shall notify the owner of their eligibility for designation, and seek designation with the owner's consent. All collateral materials, including incentive opportunities, shall be provided to the homeowner. Architectural features shall include, but not be limited to, the architectural style, scale, massing, siting, general design and general arrangement of the exterior of the building or structure, including the type, style and color of facades, roofs, windows, doors and appurtenances. Architectural features shall include, when applicable, interior spaces where interior designation has been given pursuant to section 66-9. Landscape features and site improvements shall include, but are not limited to, site regrading, subsurface alterations, fill deposition, paving, landscaping, walls, fences, courtyards, signs and exterior lighting. No certificate of appropriateness shall be approved unless the architectural plans for said construction, alteration, excavation, restoration, renovation, relocation or demolition are approved by the historic preservation board.
- (b) *Board to develop procedures.* The historic preservation board shall set the fees needed and develop procedures for making application for both a regular and special certificate of appropriateness.
- (c) *Standards for issuance.* The town hereby adopts the Secretary of Interior's Standards of Rehabilitation. The historic preservation board shall also adopt supplemental guidelines which may be amended from time to time. These standards by which applications for any certificate of appropriateness are to be measured and evaluated. In adopting these guidelines, are intended by the historic preservation board to promote maintenance, restoration, adaptive reuses appropriate to the property, and compatible contemporary designs which are harmonious with the exterior architectural and landscape features of neighboring buildings, sites and streetscape. These guidelines shall also serve as criteria for staff to make decisions regarding applications for regular certificates of appropriateness.
- (d) *Regular certificates of appropriateness.*
- (1) Based on the guidelines for preservation, the designation report, a complete application for a regular certificate of appropriateness, any additional plans, drawings or photographs to fully describe the proposed alteration and any other guidelines the board may deem necessary, the staff of the historic preservation board shall, within ten days from the date a complete application has been filed, approve or deny the application for a regular certificate of appropriateness by the owner of a designated individual site, or property within a designated district.
 - (2) Regular certificates of appropriateness may be issued by staff for ordinary repair and maintenance for which a building permit is not required, the purpose and effect of which is to correct or prevent any deterioration of, decay of or damage to the exterior of such building, structure or site or any part thereof, and to restore the same as nearly as may be practicable to its condition prior to such

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- deterioration, decay or damage, using the same materials or those materials available which are as close as possible to the original.
- (3) The findings of the staff shall be mailed to the applicant within three days of staff decision accompanied by a statement in full regarding the staff's decision. The applicant shall have an opportunity to challenge the staff decision by applying for a special certificate of appropriateness within 30 days of the staff's findings.
- (e) *Special certificates of appropriateness.* Special certificates of appropriateness are required for any alteration to buildings or sites other than ordinary maintenance.
- (1) An applicant for a special certificate of appropriateness shall submit his fees and application to the board pursuant to this section and accompany such application to the historic preservation board with full plans and specifications, site plan and samples of materials as deemed appropriate by the board to fully describe the proposed appearance, color, texture or materials, and architectural design of the building and any outbuilding, wall, courtyard, fence, landscape feature, paving, signage and exterior lighting. The applicant shall provide adequate information to enable the historic preservation board to visualize the effect of the proposed action on the applicant's building and its adjacent buildings and streetscape. If such application involves a designated archeological site, the applicant shall provide full plans and specifications of work that may affect the surface and subsurface of the archeological site.
- (2) The historic preservation board shall hold a public hearing upon an application for a special certificate of appropriateness affecting property under its control. In such instances, notice and procedure of the public hearing shall be given to the property owner by certified mail and to other interested parties by an advertisement in a newspaper of general circulation at least ten days prior to the hearing.
- (3) The historic preservation board shall act upon an application within 60 days of receipt of application materials adequately describing the proposed action. The historic preservation board shall approve, deny or approve in modified form an application, subject to the acceptance of the modification by the applicant, or suspend action on the application for a period not to exceed 30 days in order to seek technical advice from outside its members or to meet further with the applicant to revise or modify the application.
- (4) The decision of the historic preservation board shall be issued in writing. Evidence of approval of the application shall be by certificate of appropriateness issued by the historic preservation board or the board's designated staff representative to the applicant and, whatever its decision, notice in writing shall be given to the applicant and the community development department. When an application is denied, the historic preservation board's notice shall provide an adequate written explanation of its decision to disapprove the application. The historic preservation board shall keep a record of its actions under this chapter.
- (f) *Demolition.*
- (1) Demolition of a designated building, structure, improvement or site may occur pursuant to an order of a government agency or a court of competent jurisdiction or pursuant to an approved application by the owner for a special certificate of appropriateness.
- (2) Government agencies having the authority to demolish unsafe structures shall receive notice of designation of individual sites, districts or archeological zones pursuant to section 66-9(d)(6). The historic preservation board shall be deemed an interested party and shall be entitled to receive notice of any public hearings conducted by said government agency regarding demolition of any designated property. The historic preservation board may make recommendations and suggestions to the government agency and the owner relative to the feasibility of and the public interest in preserving the designated property.

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- (3) No permit for voluntary demolition of a designated building, structure, improvement or site shall be issued to the owner thereof until an application for a special certificate of appropriateness has been submitted and approved pursuant to the procedures in this section. Refusal by the historic preservation board to grant a special certificate of appropriateness shall be evidenced by written order detailing the public interest which is sought to be preserved. The historic preservation board shall be guided by the criteria contained in subsection (f)(4) of this section. The historic preservation board may grant a special certificate of appropriateness which may provide for a delayed effective date of up to six months. The effective date shall be determined by the historic preservation board based upon the relative significance of the structure and the probable time required to arrange a possible alternative to demolition. During the demolition delay period, the historic preservation board may take such steps as it deems necessary to preserve the structure concerned, in accordance with the purposes of this chapter. Such steps may include, but shall not be limited to, consultation with civic groups, public agencies and interested citizens, recommendations for acquisition of property by public or private bodies or agencies, and exploration of the possibility of moving one or more structures or other features.
- (4) In addition to all other provisions of this chapter, the historic preservation board shall consider the following criteria in evaluating applications for a special certificate of appropriateness for demolition of designated properties:
- a. Is the structure of such interest or quality that it would reasonably meet national, state or local criteria for designation as an historic or architectural landmark?
 - b. Is the structure of such design, craftsmanship, or material that it could be reproduced only with great difficulty and/or expense?
 - c. Is the structure one of the last remaining examples of its kind in the town, neighborhood, the county or the region?
 - d. Does the structure contribute significantly to the historic character of a designated district?
 - e. Would retention of the structure promote the general welfare of the town, county or region by providing an opportunity for study of local history, architecture and design or by developing an understanding of the importance and value of a particular culture and heritage?
 - f. Are there definite plans for reuse of the property if the proposed demolition is carried out, and what will be the effect of those plans on the character of the surrounding area?
 - g. Building permit not to issue without certificate. No building permit shall be issued by the community development director which affects any designated property in the town without a certificate of appropriateness.
 - h. Compliance of work with certificate standards. All work performed pursuant to the issuance of any certificate of appropriateness shall conform to the requirements of the certificate. The town manager shall designate an appropriate official to assist the historic preservation board by making necessary inspections in connection with enforcement of this chapter and the manager or the community development director shall be empowered to issue a stop work order if performance is not in accordance with the issued certificate. No work shall proceed as long as a stop work order continues in effect. Copies of inspection reports shall be furnished to the historic preservation board and copies of any stop work orders both to the board and the applicant. The community development director and staff for the historic preservation board shall be responsible for ensuring that any work not in accordance with an issued certificate of appropriateness shall be corrected to comply with the certificate of appropriateness prior to withdrawing the stop work order.

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- i. Emergency, temporary measures. For the purpose of remedying emergency conditions determined to be dangerous to life, health or property, nothing contained herein shall prevent the making of any temporary construction, reconstruction or other repairs to a building or site in the town, pursuant to an order of a government agency or a court of competent jurisdiction. The owner of a building damaged by fire or natural calamity shall be permitted to stabilize the building immediately without historic preservation board approval, and to rehabilitate it later under the normal review procedures to this chapter.
 - j. No action to constitute approval. If no action upon an application is taken within 60 days from the date of application, such application shall be deemed to have been approved and no other evidence of approval shall be needed. This time limit may be waived by mutual written consent of the applicant and the historic preservation board.
 - k. Power of review. The historic preservation board shall have the authority to review applications for certificates of appropriateness for all property in the town, however owned, by either private or public parties. The purposes of this chapter shall apply equally to plans, projects or work executed or assisted by any private party, governmental body or agency, department, authority or board of the town, county or state.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-11; Ord. No. 03-2007, § 2, 7-18-2007)

Sec. 66-11. Variances.

Where, by reason of particular site conditions and restraints, or because of unusual circumstances applicable solely to the particular applicant, strict enforcement of the provisions of this chapter would result in serious undue economic hardship to the applicant, the historic preservation board shall have the power to vary or modify adherence to this chapter; provided always that its requirements ensure harmony with the general purposes hereof and will not adversely affect the town.

- (1) In any instance where there is a claim of undue economic hardship, the owner may submit, by affidavit, to the board at least 15 days prior to the public hearing, the following information:
 - a. For all property:
 - 1. The amount paid for the property, the date of purchase and the party from whom purchased;
 - 2. The assessed value of the land and improvements thereon according to the two most recent assessments;
 - 3. Real estate taxes for the previous two years;
 - 4. Annual debt service, if any, for the previous two years;
 - 5. All appraisals obtained within the previous two years by the owner or applicant in connection with his purchase, financing or ownership of the property;
 - 6. Any listing of the property for sale or rent, price asked and offers received, if any; and
 - 7. Any consideration by the owner as to profitable adaptive uses for the property; and
 - b. For income-producing property:
 - 1. Annual gross income from the property for the previous two years;
 - 2. Itemized operating and maintenance expenses for the previous two years; and
 - 3. Annual cash flow, if any, for the previous two years.

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- (2) The board may require that an applicant furnish such additional information as the historic preservation board believes is relevant to its determination of undue economic hardship and may provide in appropriate instances that such additional information be furnished under seal. In the event that any of the required information is not reasonably available to the applicant and cannot be obtained by the applicant, the applicant shall file with such applicant's affidavit a statement of the information which cannot be obtained and shall describe the reasons why such information cannot be obtained.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-12)

Sec. 66-12. Maintenance of designated properties.

Nothing in this chapter shall be construed to prevent the ordinary maintenance or repair of any exterior elements of any building or structure which does not involve a change of design, appearance or material, and which does not require a building permit.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-13)

Sec. 66-13. Certificates to dig.

- (a) *When required; how granted.* Within an archeological zone, new construction, filling, digging, the removal of trees, or any other activity that may alter or reveal an interred archeological site shall be prohibited without a certificate to dig. All applications to the town involving new construction, large-scale digging, the removal of trees or any other activity that may reveal or disturb an interred archeological site, in an archeological zone shall require a certificate to dig before approval. Based on the designation report for the archeological zone, a complete application for a certificate to dig and any additional guidelines the historic preservation board may deem necessary, the staff of the board shall, within ten days from the date the completed application has been filed, approve the application for a certificate to dig by the owners of a property in a designated archeological zone. The certificate to dig may be made subject to specified conditions, including but not limited to conditions regarding site excavation. In order to comply with the site excavation requirements of the certificate to dig, the applicant may agree to permit the town or its designee to conduct archeological excavation from the time of the approval of the certificate to dig until the effective date thereof. The findings of the staff shall be mailed to the applicant by registered mail promptly. The applicant shall have the opportunity to challenge the staff decision or any conditions attached to the certificate to dig by requesting a meeting of the historic preservation board. The historic preservation board shall convene within 35 days after such a request and shall make every effort to review and reconsider the original staff decision to arrive at an equitable decision. The decision of the historic preservation board shall be reduced to writing within seven days from the date of the meeting.
- (b) *Approved certificates to dig.* Approved certificates to dig shall contain an effective date not to exceed 60 days at which time the proposed activity may begin, unless the board decides to designate the site in question as an individual site or district pursuant to section 66-9 in which all the rules and regulations pertaining to the designation process shall apply from the date the designation report has been filed.
- (c) *Work to conform to certificate; stop work order.* All work performed pursuant to the issuance of a certificate to dig shall conform to the requirements of such certificate. It shall be the duty of the appropriate government agencies and the staff of the board to inspect from time to time any work pursuant to such certificate to ensure compliance. In the event work is performed not in accordance with such certificate, the official designated by the town manager pursuant to section 66-10(f)(4)h. shall be empowered to issue a stop work order and all work shall cease. No person, firm or corporation shall undertake any work on such projects as long as such stop work order shall continue in effect.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-14)

Sec. 66-14. Appeals.

- (a) Within 20 days of the written decision of the historic preservation board, an aggrieved party may appeal the decision by filing a written notice of appeal with the town clerk. The notice of appeal shall state the decision which is being appealed, the grounds for the appeal, and a brief summary of the relief which is sought. Within 60 days of the filing of the appeal or the first regular town commission meeting which is scheduled, whichever is later in time, the town commission shall conduct a public hearing at which time it may affirm, modify or reverse the decision of the board. Nothing contained herein shall preclude the town commission from seeking additional information prior to rendering a final decision. The decision of the town commission shall be in writing and a copy of the decision shall be forwarded to the board and the appealing party. Within the time prescribed by the appropriate Florida Rules of Appellate Procedure, a party aggrieved by a decision of the town commission may appeal an adverse decision to the circuit court in and for the county. The party taking the appeal shall be required to pay to the town clerk the sum of \$200.00 to defray the costs of preparing the record on appeal.
- (b) Certain properties in the town were given historic designation against the wishes of their owners. Because nonconsensual designation is hereby abolished in the ordinance from which this section derives, the town commission finds that it is appropriate to allow those property owners an opportunity to resume the control of their property. As such, during a period of time not more than 180 days from the effective date of this section, owners of those properties which were designated without their permission or consent may apply directly to the town commission for a de-designation of those properties. The list of addresses which were so designated is available at town hall.
- (c) In the event of a plan to demolish any such properties which are de-designated in this time frame pursuant to subsection (b) of this section shall follow the following procedure: not less than 90 days prior to making an application for demolition, the owner shall notify the town commission in writing of the owner's intent to apply for a demolition permit. Such written notice shall be placed on the next available agenda of the town commission, however, no action is required of the commission regarding such written notice.

(Ord. No. 6-1998, § I, 7-1-1998; Ord. No. 13-2001, § 1, 10-3-2001; Code 1978, § 34-15)

Sec. 66-15. Penalties.

Failure by an owner of record or any individual or private or public entity to comply with any provisions of this chapter shall constitute a violation hereof and shall be punishable by civil or criminal penalties including a fine of not more than \$500.00 per day for each day the violation continues and including a requirement that any work performed contrary to this chapter must be removed and the property returned to its condition prior to commencement of said action. The code compliance board shall have jurisdiction to enforce the codes and ordinances of the town.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-16)

Sec. 66-16. Incentives.

All properties designated as individual sites or as designated properties within a district shall be eligible, upon application by the owner, for any available financial assistance set aside for historic preservation by the town contingent on the availability of funds and the scope of the project as described in the application.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-17)

Sec. 66-17. Tax exemptions for historic properties.

- (a) *Scope of tax exemptions.* A method is hereby created for the town commissioner, at its discretion, to allow tax exemptions for the restoration, renovation, or rehabilitation of historic properties. The exemption shall apply to 100 percent of the assessed value of all improvements to historic properties which result from restoration, renovation, or rehabilitation made on or after the effective date of this chapter. The exemption applies only to taxes levied by the town. The exemption does not apply to taxes levied for the payment of bonds or to taxes authorized by a vote of the electors pursuant to section 9(b) or section 12, Article VII of the Florida Constitution (Fla. Const. art. VII, §§ 9(b), 12). The exemption does not apply to personal property. The exemption under this chapter does not apply to properties within a community redevelopment area previously or hereafter established pursuant to F.S. ch. 163, pt. III (F.S. §§ 163.330—163.463), by either the Board of County Commissioners of Palm Beach County or the town commission.
- (b) *Duration of tax exemptions.* Any exemption granted under this section to a particular property shall remain in effect for ten years. The town commission shall have the discretion to set a lesser term. The term of the exemption shall be specified in the resolution approving the exemption. The duration of the exemption as established in the resolution granting the exemption shall continue regardless of any change in the authority of the town to grant such exemptions or any change in ownership of the property. In order to retain an exemption, however, the historic character of the property, and improvements which qualified the property for an exemption, must be maintained in their historic state over the period for which the exemption was granted.
- (c) *Eligible properties and improvements.*
- (1) Property is qualified for an exemption under this section if:
- a. At the time the exemption is granted the property:
1. Is individually listed in the National Register of Historic Places pursuant to the National Historic Preservation Act of 1966, as amended, 16 USC 470 et seq.;
 2. Is a contributing property to a National Register-listed district; or
 3. Is designated as a historic property, or as a contributing property to a historic district, under the terms of a local preservation chapter; and
- b. The historic preservation board has certified to the town commission that the property for which an exemption is requested satisfies subsection (c)(1)a of this section.
- (2) In order for an improvement to a historic property to qualify the property for an exemption, the improvement must:
- a. Be consistent with the United States Secretary of Interior's Standards for Rehabilitation; and
- b. Be determined by the historic preservation board to meet criteria established in rules adopted by the department of state.
- (d) *Applications.* Any person, firm, or corporation that desires an ad valorem tax exemption for the improvement of a historic property must, in the year the exemption is desired to take effect, file with the town commission a written application on a form prescribed by the department of state. The application must include the following information:
- (1) The name of the property owner and the location of the historic property;
- (2) A description of the improvements to real property for which an exemption is requested and the date of commencement of construction of such improvements;

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- (3) Proof, to the satisfaction of the historic preservation board, that the property to be rehabilitated or renovated is a historic property under this section;
 - (4) Proof, to the satisfaction of the historic preservation board, that the improvements to the property will be consistent with the United States Secretary of Interior's Standards for Rehabilitation and will be made in accordance with guidelines developed by the department of state;
 - (5) Other information identified in appropriate department of state regulations, or requested by the historic preservation board; and
 - (6) The property within the jurisdiction of the historic preservation board has filed a completed application for a certificate of appropriateness for the qualifying restoration, renovation, or rehabilitation.
- (e) *Required covenant.* To qualify for an exemption, the property owner must enter into a covenant or agreement with the town commission for the term for which the exemption is granted. The form of the covenant or agreement must be established by the department of state and must require that the character of the property, and the qualifying improvements to the property, be maintained during the period that the exemption is granted. The covenant or agreement shall be binding on the current property owner, transferees, and their heirs, successors, or assigns. Violation of the covenant or agreement results in the property owner being subject to the payment of the differences between the total amount of taxes which would have been due in March in each of the previous years in which the covenant or agreement was in effect had the property not received the exemption and the total amount of taxes actually paid in those years, plus interest on the difference calculated as provided in F.S. § 212.12(3).
- (f) *Review by historic preservation board.* The historic preservation board, or its successor, is designated to review applications for exemptions. The historic preservation board must recommend that the town commission grant or deny the exemption. Such reviews must be conducted in accordance with rules adopted by the department of state. The recommendation, and the reasons therefor, must be provided to the applicant and to the town commissioners before consideration of the application at an official meeting of the town commission.
- (g) *Approval by town commission.* A majority vote of the town commissioners shall be required to approve a written application for exemption. Such exemption shall take effect on the January 1 following substantial completion of the improvement. The town commission shall include the following in the ordinance approving the written application for exemption:
- (1) The name of the owner and the address of the historic property for which the exemption is granted.
 - (2) The period of time for which the exemption will remain in effect and the expiration date of the exemption.
 - (3) A finding that the historic property meets the requirements of this section.
- (h) *Recording in public record.* The covenant evidencing the tax exemption shall be recorded by the town at the owner's expense in the public records of the county.

(Ord. No. 6-1998, § I, 7-1-1998; Code 1978, § 34-18)

TOWN OF LAKE PARK
HISTORIC PRESERVATION BOARD
AUGUST 31, 1998
7:00 P.M.

PRESENT: Jon Blehar, Chair
Mike Scheihing, Vice Chair
Jeff Blakley
Cindy Lindskoog
Jeff Baumer, Alt.
Mae Siders, Alt.

ALSO PRESENT: Terry Leary, Town Manager
Barbara Scheihing, Town Clerk
David Thatcher, Community Development Director

I. CALL TO ORDER:

Chair Blehar called the meeting to order at 7:10 P.M.

II. ROLL CALL:

The Town Clerk called the roll. All members were present.

III. APPROVAL OF MINUTES - AUGUST 3, 1998:

Chair Blehar asked if there was any discussion or correction of the minutes.

Chair Blehar asked for a motion to approve the minutes of the August 3, 1998 meeting.

Motion was made by Mike Scheihing and seconded by Jeff Blakley. Vote was taken and the motion was passed unanimously.

IV. OLD BUSINESS:

Mike Scheihing asked about the signage of the 918 Park Building and the TCC district. David Thatcher advised that the sign/s were being worked on by Baron Signs as part of their deal with Code Enforcement. They have put together some attractive designs and ideas, and are putting together an outline of costs. We have a town wide sign code and a section of the TCC code that is supplemental to the overall sign code. Baron's is working on a common design theme for signage downtown and conceptual color drawings of individual businesses. They will also work with the businesses to assist them with sign design. Ms. Leary said that once a building is designated, the owner would need to obtain a certificate of appropriateness to do any work to the building. This would be obtained at the Staff level, if it were simplistic and if not, they would make their application before the Board and they would have to agree or not agree to give them a letter of appropriateness, based on their project.

Chair Blehar asked if there was any other old business. There was none.

V. NEW BUSINESS:
None

VI. PUBLIC HEARING:

A. The designation of 918 Park Avenue. Ms. Leary advised that the town was in the second phase of the process, the Public Hearing point. Mr. Thatcher advised that the last page of the handout for the meeting showed the process. Chair Blehar asked if anyone wished to make a motion regarding the designation of 918 Park Avenue as a historic property.

MOTION: Mike Scheihing made the motion to designate 918 Park Avenue and the motion was seconded by Jeff Blakley.

Chair Blehar then asked for discussion. Ms. Leary said she would make a statement for the record. She advised that it had been the original Post Office, dating back to the 1920's, a Mediterranean revival style, it was presently in our downtown and was the last remaining building from the Kelsey City days. Mr. Blakley stated that half of the building was the Post Office and the other half was Lake Park Sundries. Chair Blehar asked for any other comments from the Board. There were none. Chair Blehar opened the discussion to the public. Roger Grunke, architect and property owner who resides at 123 Hawthorne Dr., Lake Park, was recognized. Mr. Grunke asked if there would be design guidelines when a building is nominated as a historic structure. Mr. Thatcher said that Staff and the Historic Preservation Ordinance, adopted, by reference, the U.S. Department of the Secretary of the Interior's guidelines. Mr. Grunke then asked, with the building being nominated, will such things as the windows and decorative features be in line with the Secretary of Interior's guidelines. Chair Blehar asked for clarification. Mr. Grunke wanted to know if the building would be returned to certain standards such as, windows. Chair Blehar stated that it was unknown. Mr. Grunke then inquired if designating a building a landmark did not require these things. Chair Blehar responded no, the designation of historic landmark did not require the owner to do the restoration. Ms. Leary confirmed that statement. Chair Blehar said it just states the building is historic. Mr. Thatcher advised that the requirements became applicable when someone proposes to do a renovation. Mayor Wagner advised that he had worked with Dale Waters in West Palm Beach when Mr. Waters developed a handbook on historic designations. One of the things in the handbook was, depending on the district classification, the building can receive both grant monies and low interest loans for restoration to it's original condition. The limitations placed on buildings, in the West Palm Beach guidelines, were that windows and doors and things of that nature must meet the current hurricane codes. They could not replace the old 1920's windows to meet current codes. There were replacement windows that were aesthetically consistent with that design and meet current code. Loans could be applied for, specific to a renovation, and applicants could receive the monies to make those changes. That thick yellow book should be available to all Board members. The book gave step by step instruction on how

to restore a building, to develop a historic district and is located in Town Hall. The changes are not required, but you do have the ability to make the changes. **Ms. Leary** advised that once the designation is done and the person comes in for a building permit, the property is flagged and the review process begins. **Mr. Thatcher** advised that the consultant stated that this property recommendation\designation would also be accepted by the National Register; it is that significant in Town. **Chair Blehar** asked for any other comments from the public. There were none.

Chair Blehar called the question. Chair Blehar asked all those in favor of the motion to designate 918 Park Avenue as a historic property signify by saying ave. There was no opposition. Motion passed unanimously.

B. Designation of 412 Evergreen Drive, owned by the Palm Beach County School Board, as a historic property. **Chair Blehar** asked if the Staff had any other information to bring before the Board. **Ms. Leary** advised that she didn't have a great deal to add, other than the information that was previously supplied. The School Board has gained title to the property and the Commission, Mayor, Staff and the Education Committee went to the School Board last week and asked if they were not going to use the property for the expansion of their campus, requesting that they give the Town financial assistance in moving the house. The School Board agreed, in concept, to give the Town \$8,000 toward the move. That money would come from the cost of demolition \$4,000 and the \$4,000 that the School Board owed the Town for the last house. It had not been voted on or approved by the School Board yet, but that they felt they had reached a consensus and it would appear on their agenda for September 23, 1998. **Chair Blehar** asked for any other comments from staff. **Mae Siders** stated that she worked for the School Board and wanted to know if there was a conflict of interest for her. **Mayor Wagner** stated no, as she did not stand to realize personal gain, as determined by the Town Attorney.

MOTION: Cindy Lindskoog made the motion that the Board designate 412 Evergreen Drive, Lake Park, Florida as a historic landmark. Chair Blehar asked for a second. The motion was seconded by Mike Scheihing.

Chair Blehar asked for discussion by the Board. **Mr. Blakley** stated he wasn't present at the last meeting and missed a little bit of the administrative procedure used to determine the historic designation. The information that he received stated that owner issue is part of the process. **Mr. Thatcher** advised that it was an option but could be either one. (1) The Staff or Town could take the initiative or (2) the owner could take the initiative. **Mr. Blakley** questioned going through the steps. **Mr. Thatcher** advised that to clarify, steps one and two were options. **Ms. Leary** said that steps three through seven must be taken no matter who initiated the process. **Chair Blehar** advised that the Board was in the midst of that process. **Ms. Leary** said that the owner had been notified. **Mr. Blakley** stated that it did not say owner notified, it said owner initiative, which to him meant that the owner initiated the process. **Mrs. Lindskoog** stated or Staff. It had to be one or the other. **Chair Blehar** asked if Staff clarified that it could be one or two. **Mr. Thatcher** advised that it was according to the ordinance that was adopted by the town. **Ms. Leary**

further advised that the owner was notified of the hearing. If they had any objection they would have been at the meeting. **Mr. Blakley** was concerned that correct procedure was followed. **Ms. Leary** and **Mr. Thatcher** advised that it was being followed according to the ordinance. **Mr. Thatcher** stated that the wording needed to be corrected to reflect that one and two were alternatives. **Chair Blehar** stated that his experience had been that since the mid 60's, when questions came up concerning historic properties, often the owner was opposed to historic designation and that did not make it illegal to declare the property historic. **Chair Blehar** asked for any other questions from Staff. There were none. **Mr. Blehar** asked for public comments or questions. **Mayor Wagner** advised that the building could be purchased by a commercial operator for a location somewhere in our commercial district. The Town would want to maintain the facade and the exterior as authentic as possible to be consistent with plans for the downtown. That, needs of a commercial establishment were very different from the needs of a residence. **Mayor Wagner** asked if it would restrict the utilization of this building by giving it a historical designation, making it very difficult to do the internal remodeling that needed to be done. He also asked if there were any limitations in the ordinance that would inhibit the owner from making those changes to operate it as a commercial establishment? **Ms. Leary** replied "no," the ordinance only dealt with facade and exterior. There were instances that would require a lot of input or significance on the interior (Town Hall). But interior was not a subject of this designation. The **Mayor** asked if the ordinance dealt with the interior at all. **Ms. Leary** said no. **Mr. Thatcher** said the exterior would need the certificate of appropriateness which would consider all facets of the redevelopment, the fact that the building was being saved and not demolished. **Chair Blehar** asked for any other comments from the public. There were none.

VOTE: All those in favor of the designation of 412 Evergreen Dr. as a historic designation signify by saying aye. All opposed, none. Motion passed unanimously.

C. Designation of Lake Park Elementary School as a historic property. **Chair Blehar** asked if the Staff cared to add any comments or bring the Board up to date regarding Lake Park Elementary School.

MOTION: Mr. Blakley made the motion to designate Lake Park Elementary School a historic property. Mr. Scheihing seconded the motion.

Chair Blehar asked for discussion. **Mrs. Lindskoog** said she hoped that this action did what the Board intended it to do and that it would hold some kind of credence with the School Board. **Mayor Wagner** said that it should, based on the meeting the other night, cause them to take a good hard look at preserving the main building interior materials. There was a sentiment on the School Board, and there was more than a majority there, so there was a consensus to try to preserve as much of it as they could. They said they had done it before, with Northwood and Northgrade Elementary, and some of the other schools. **Mrs. Lindskoog** stated that her concern with our previous dealings with the School Board was what recourse the town would have if one day they just backed down.

Mayor Wagner said none really, but maybe next year things would be such that the Legislature acts in the direction they expected it to, but that could not be predicted. The cities, municipalities and counties would have much more influence on what happened to schools within their boundaries. The Florida League of Cities had made that one of their legislative priorities. **Ms. Leary** advised case law on historic preservation, in this case especially, would give the town injunctive relief which could stop them from demolishing the building. **Mr. Blakley** voiced a concern. He said there was an election coming up. The school had been on TV recently as being more than 100% over capacity. **Mayor Wagner** and **Ms. Leary** advised the figure was 182%. **Mr. Blakley** said he wouldn't want the School Board to view the town as obstreperous and have that used against all of them, particularly the current administration, as standing in the way of progress. So he thought that it needed to be reported to the press, in the manner in which it was intended, rather than be construed as somehow standing in the way of progress. **Mr. Thatcher** said a press release could be done. **Mayor Wagner** agreed and further advised that a plaque could be done with the historic designation. **Ms. Leary** agreed. **Mayor Wagner** advised that it would be a way to get the press to come out. **Ms. Leary** said that the School Board was in the process of construction of the other building. Theoretically the town could stop that and say it was a designated property and they must obtain a certificate of appropriateness. But the town was not talking about doing that. That to construe the town as stopping progress was ridiculous. What the town was trying to preserve the original part of this building. That knocking the building down would not eliminate their overcrowding problem. **Mr. Thatcher** said it was still a good idea and an important thing that the Town was doing for all three buildings and the press release of that action, including the school, was a good idea. **Mayor Wagner** advised trying to get national designation for the school. **Ms. Leary** advised that two of the buildings were eligible, the house and the 918 building. She explained that the School Board had been advised that this meeting was going to take place to attempt to obtain historical designation for the school property. **Mike Scheihing** advised applying for national designation for the 918 building, and the Evergreen house along with the school building. **Mr. Thatcher** agreed, along with **Ms. Leary**. **Chair Blehar** asked for further comments from the Board. **Mr. Blakley** asked if the School Board had said that they were going to knock down part of the existing school. **Mayor Wagner** responded no, they are said that they were going to knock down the whole thing, except for the new building. That was the recommendation of their engineer, after he toured the site, and was stated again last Wednesday. **Mr. Blakley** said that was probably a recommendation from a structural standpoint. **Mayor Wagner** advised recommendations had been made before regarding other schools and that it was more expensive, but it was possible to go in and strip out the structure and rehabilitate the building without disturbing the facade. **Mr. Blakley** advised that the School Board was at the June or July meeting (P & Z) and that the commission approved what they were doing now, as far as construction went. He thought that if the School Board was going to do something like tearing the place down, they would have to go through proper channels. The Mayor stated "no". Under current law, the School Board is exempt from municipal and county regulation. That was modified by the last

Legislature and they hoped to get it modified even further. **Ms. Leary** said that the ordinance could be enforced by an injunction. **Mrs. Lindskoog** advised that the School Board was at the meeting and that they had stated that they were there strictly out of courtesy. **Mr. Blakley** stated that the other thing on record was that the School Board was going to get someone in June, or a couple of weeks after, to do a study on what they wanted to do there. They did say that they were going to work with our Staff on that. **Mayor Wagner** advised that the School Board designated \$249,000 to do a Needs Assessment at the school and that included a structural analysis and so forth. The differences in dealing with staff and elected officials was; that staff made recommendations and elected officials, if they all agree, gave direction to staff as to what they will do. The studies would then fall into place. One of the problems the town had over the last several years in communicating with them was working with staff and then going to a School Board Meeting or speaking with a School Board member and being told that they did not know what the town was talking about. They had no knowledge that any negotiations were going on so the town decided to go at it the other way. The town is still maintaining the staff communication but is now communicating with the School Board Members and have found that this procedure brings quicker results.. **Mr. Thatcher** gave an illustration of the cooperation given by the School Board. **Mr. Blakley** said that they had already done some of the work on that site plan that had been shown to the Board that night and he had gone down a night or two later and the work was already done. **Mr. Blehar** asked for any other comments. **Mr. Baumer** said that the map attached next to the photograph showed what was known as the old gymnasium also blackened in, but the application had no reference to the gymnasium, which was very old and had a very ornate and almost as nice ceiling as the Commission Chambers. He asked if the town was also trying to incorporate that building as part of this designation? **Ms. Leary** advised that the Historic Boards' job was to approve, amend or deny the information presented to them. **Mr. Thatcher** stated that the text, after the page with the map on it, the narrative description of site, A. the last couple of sentences; A historic one story outbuilding, featuring stuccoed exterior walls, etc. situated in the northwest. **Mr. Baumer** stated that he thought the description should be more specific and suggested that an amendment to the motion be made.

AMENDMENT TO MOTION: Mr. Blakley amended his motion to include the existing gymnasium. Chair Blehar stated that the motion had been amended by Mr. Blakley and seconded by Mr. Scheihing. Chair Blehar called for a vote. There was no opposition. The motion passed unanimously.

Chair Blehar stated that the amendment was now part of the original motion and should make it clear that the Board meant both buildings. **Chair Blehar** asked for comments from the Public regarding Lake Park Elementary School. There were none. **Mr. Scheihing** stated that a correction should be made to the location of the school on the street review. That the map showed the school location between Date Palm and Evergreen and not Evergreen and Foresteria. **Chair Blehar** advised that it was changed on one form but was missed on this form. **Chair Blehar** asked Staff to make those

corrections. Ms. Leary and Mr. Thatcher agreed.

VOTE: Chair Blehar took a vote on the Historic Designation of the property. There was no opposition. The motion passed unanimously.

Will Wagner of 1600 Flagler Blvd. stated that he was not clear as to the 101 structures, what the schedule was to designate the balance of the structures. There was construction, and he knew Staff was aware, on a historic building on Lakeshore Drive that was the former Dupont House. The house had a wine cellar and was one of the very few buildings like it anywhere in Palm Beach County, or the Town of Lake Park. The gentleman that bought it is very anxious to restore it and has already done some very nice things in terms of remodeling it. **Mr. Wagner** said that if the Town was going to pick significant houses for historic preservation, the house on Evergreen was the low end of the spectrum, whereas the Dupont house was probably one of the very few that in the north county that certainly deserved some designation. **Mr. Wagner** said that it was one worth investigating and determining what the priority would be. **Chair Blehar** said that in the first meeting of the Board procedure was explained but he wasn't aware of any priority of designation being set. **Mr. Wagner** advised that there was on-going construction on the property at the present time, and that things might be lost. **Ms. Leary** advised that the process was just being developed and everyone was new to it. Staff felt that these two buildings were under threat. She said that she thought the Chuck Watkins building was a good place to start because it was already under renovation, and because he was so willing, I thought that would be a good place to start. Mr. Knox owns the house on Lake Shore Drive and she had watched with great interest what he was doing. He put a new barrel tile roof on the house and painted it. He replaced the windows with wood casement. **Ms. Leary** said that she would bring Lake Shore Drive up next time. She said she chose the Evergreen property because the bulldozer was on the way. **Chair Blehar** asked if everyone received the 101 addresses in the mail. The members of the Board could, if they knew of houses that they had a particular fondness for or particular appreciation for, could initiate properties for Staff to consider the appropriateness of. Then Staff would know which properties might be next in line. **Mrs. Siders** advised Dale Dougherty was working on a bicycle tour of these 101 buildings and that the Board members would be invited to attend. **Mr. Thatcher** advised that the thick resource book containing all of the individual building description pages and maps for each of the 101 houses/buildings was available. Mr. Thatcher considered making copies of the book, but the cost was prohibitive. We could have a couple made and they could be circulated amongst the Board for review. He felt that of the 101 properties there were probably 25 that were top notch. Recommendations are based on the Architectural Historian looking at the structure; the windows that have been changed or not changed, the additions, and all of those factors. Had the building been changed beyond recognition, beyond historical significance, and what would be involved in returning the building to it's original state. The Architectural Historian would make a judgement as to what it was worth in the building. **Chair Blehar** said that it would be up to two main bodies, the Historic Board and Staff to determine. He did not think that there was anything to prevent either from

making the initial presentation. **Mr. Blakley** stated that he thought that the Harry Kelsey house should be done first, also the Knox house, Dr. Crape and 4th and Date Palm. **Mrs. Lindskoog** said that she understood that some kind of notification was going to be given to the owners of all of those homes. **Ms. Leary** advised that notification had been done and further advised that her secretary had sent a letter to each of the addresses, making sure the correct owners received it. The letter welcomed the owners to come in and ask questions, to sit through the meetings and to go through the process, advising them that Staff would assist them. **Chair Blehar** then asked for any other comments from the Board or the Public. A resident stated that he would like to back up Jeff's suggestion about the Kelsey house and the other three or four on the corner there, because they would gain greater importance as a result of being in a little group. They were not significant buildings like the Town Hall, but because they create a small neighborhood, they had a special importance and were also under a certain amount of pressure / threat because they were prime commercial locations. He said that he would like to see the City Architect or the City do something to help the individual owners address their modern needs, while accommodating whatever would be appropriate as a historic building. In other words a dentist office, restaurant, or whatever it may be, certainly can and all over the world, are put into historic buildings. How the Town did it would make it successful or unsuccessful. The building could still be preserved and the ambiance of the space could be destroyed by inappropriate parking or whatever. That was something I would like to see the design segment address. **Chair Blehar** advised that as Staff said earlier, the Town was in the process of developing historic guidelines and thought that it would just take some time. **Chair Blehar** asked if there were any other matters regarding the Historic Board. **Ms. Leary** stated that the Town Clerk had prepared a draft of the resolution and the resolution needed to be recorded in the property records as well as sent to several different agencies. **Mr. Thatcher** asked if each property would require a separate resolution. **Ms. Leary** stated "yes." The resolution that she had was just a sample for the 918 building. She further asked if **Chair Blehar** could come in to Town Hall during the week and sign the resolutions once the preparation was completed. **Chair Blehar** asked if there was any other business regarding the Historic Preservation Board. There was none and **Chair Blehar** asked for a motion to adjourn.

MOTION: Mr. Blakley made the motion to adjourn. The motion was seconded by Mrs. Lindskoog. A vote was taken and the motion passed unanimously.

Meeting was adjourned.

September 14, 2023

Karen Golonka, Planner
Planning and Zoning
Community Development Department
Town of Lake Park
535 Park Avenue, Lake Park, FL 33403

**RE: Park Building, 918 Lake Park Avenue
Historic Preservation Consulting Services for the Town of Lake Park**

Dear Ms. Golonka:

The Town of Lake Park has engaged R.J. Heisenbottle Architects, PA (RJHA), to conduct a review of the Petition for Removal Report ("Report") for 918 Park Avenue prepared by REG Architects on March 1, 2023. It is our understanding that The Alder at Lake Park LLC ("the Applicant") has submitted a Historic Preservation De-Designation Application for the de-designation of the Park Building at 918 Park Avenue and that the accompanying Report demonstrates that the building no longer meets the criteria under which it was initially designated.

Our review focused on analyzing the information presented in the Report, assessing whether the grounds for de-designation are valid, and making alternate recommendations, if appropriate.

Our analysis concludes that the building has changed little since it was designated in 1998. It maintains its architectural integrity and qualities for which it was listed locally and, therefore, continues to meet the criteria for designation. Our conclusion is based on two critical pieces of information:

1. Photographic evidence from 1950 and;
2. the photographs accompany the National Register Nomination form and the Florida Master Site File.

RJHA does not believe the justifications for de-designation are valid. Although changes were made to the original building, the building was locally designated for its current architectural appearance, except for replacing the second-floor windows with paired six-over-six. The Report references a pre-1928 (hurricane) historic image that represents the original version of the building and compares it to the building designated in 1998. The extant building and its Mediterranean enhancements have looked this way since 1950.

The National Register Bulletin: How to Apply the National Register Criteria for Evaluation states that "buildings can be significant not only for the way it was originally constructed or crafted, but also for the way it was adapted at a later period, or for the way it illustrates changing tastes, attitudes, and used over a period of time."

The Secretary of the Interior's Standards for Rehabilitation provides general guidance for work on historic properties. Standard #4 supports the notion above, "changes to a property that have acquired historic significance in their own right will be retained and preserved."

2199
PONCE
DE LEON
BOULEVARD
SUITE 400
CORAL
GABLES
FLORIDA
33134
305-446-7799
305-446-9275 FAX



Analysis

RJHA requested the Local Designation Report from the Town of Lake Park and was told that the correspondence from when it was locally designated in 1998 references a staff report, which seems limited to the Florida Master Site File. Therefore, RHJA obtained the complete Master Site File from the Florida Division of Historical Resources ("Division") for the Park Building (ID PB9607).

The Florida Master Site File was attached to the National Register of Historic Places Registration Form for the Park Building, prepared on May 31, 1998, as part of the Kelsey City Multiple Property Submission. Division staff noted that the Park Building is not tagged in their database as being listed in the National Register, but the nomination process was initiated at some point. This twenty-one (21) page document includes three (3) photos of the building that demonstrate that it was nominated for its current architectural appearance.

Furthermore, the Narrative of Description of Site section in the Florida Master Site File describes the building as it appears in the photos,

"Built in 1925, the two-story masonry structural system rests on a concrete slab foundation. Exterior walls are surfaced with stucco, and the first floor features corner quoining. The flat portion of the roof features shaped parapets and barrel tile trim. The shed portion of the roof is covered in barrel tile and features pecky cypress brackets. Fenestration includes metal awning and wood-fixed storefront windows. The north façade features inset entrances with arched openings and cast stone-turned columns. The west elevation features a second-story rectangular cut-out which exhibits a balcony and a railing."

The Discussion of Significance notes that the building "retains most of its historic physical integrity and modifications are limited to replacing some original windows." The above narrative describes the existing building as having pecky cypress (wood brackets), inset entrances with arched openings, and cast stone-turned columns.

The Report serves as a formal request and petition to de-designate the Park Building based on the following criteria for removing properties from the National Register (36 CFR Section 60.15):

1. The property has ceased to meet the criteria for listing as a designated historic landmark because the qualities which caused it to be originally listed have been lost or destroyed, or such qualities were lost subsequent to nomination.
2. Additional information shows that the property does not meet the historic landmark designation criteria for evaluation.

The criteria listed above are specifically for removing a property from the National Register. According to the Division, the park Building is not listed in the National Register of Historic Places. If the criteria were to be applied to the existing building, the property would retain the qualities for which it was listed locally and, therefore, continue to meet the criteria.

According to Chapter 66, Historic Preservation of the Town of Lake Park Code of Ordinances, Section 66-9 allows for Amendment or rescission: "The historic preservation board may amend or rescind any designation provided it complies with the same manners and procedures used in the original designation." While the procedures for designation are clear, the Town needs to define the criteria for local

de-designation. If they are the NR criteria (36 CFR Section 60.15), that should be made clear, and the full Regulation should be provided.

Per the Lake Park Historic Preservation Board Resolution of Designation of 918 Park Avenue dated September 9, 1998, the building was designated for its significance to the early history of Kelsey City; it is the last remaining commercial building of the Old Kelsey City downtown; possesses the Mediterranean Revival architectural features of the Boom Times in Florida in the early 1920s and was built for the Kelsey City development; meets the requirements for designation as described in the Lake Park Historic Preservation Ordinance; and that the people of Lake Park desire to protect and preserve in perpetuity those sites of outstanding historical character.

The Park Building is significant to the Town's history. It possesses its integrity of location, design, setting, materials, workmanship, and association for which it was nominated, and all of the Resolutions are still true.

The Report claims that many significant changes have occurred to the exterior and have destroyed the historic integrity and significance of the building. There is a reference on page 3 that the majority of alterations and additions were built in the 1970s to facilitate the mixed-use commercial aspect of the property. This includes the elimination and disturbance of the original façade facing Park Avenue. However, no primary source information or dates are provided to support these claims. The Report then refers to a historic image on page 8, referred to as a Historic Image Front Façade and uses it to compare the changes between the original façade and the existing façade.

No source information is provided for the image to give the reader confidence and confirm that this is the Park Building. Therefore, RJHA tracked down the source of the image, which is from the Lake Park Historical Society (LPHS). L.J. Parker, President of the LPHS, confirmed that this is the Park Building at 918 Lake Park.

While RJHA can appreciate the completed comparative analysis, it is essential to reiterate that the building retains the historical integrity for which it was nominated and continues to meet the criteria for designation.

Regarding the changes over time, RJHA requested the permit history for the property to understand the façade changes better. There was no information on when the initial changes were made; however, there was information on various repairs and improvements made to the property from 1999 to 2010, including reroofing, structural reinforcing, signage, etc. This research also revealed that two Special Certificate of Appropriateness (COA) approvals were issued for the property on the merits that the changes were consistent with the Mediterranean Revival style described at the time of listing. All changes appear to have been completed, except for returning the second-floor façade fenestration to its original eight-bay configuration with eight separate windows and reconstructing the center roof parapet.

RJHA asked Mr. Parker if he knew when the changes were made to the storefront. He provided a document outlining a timeline of Ownership for the building that includes historic photos, and one of those images is from 1950. Therefore, the changes to the façade were made sometime between 1928 (post-hurricane) and 1950, within twenty-two years of the building being constructed. More research needs to be conducted to understand precisely when the façade was remodeled.

There has been consistent messaging to date with the issuance of approvals for the Special COAs and decisions that have been made on the building's current physical appearance. To change the approach now and allow the de-designation of the building would send mixed and inconsistent messaging to the public.

Should you have any questions or need further clarification of the review, please feel free to contact me.

Sincerely,

R.J. HEISENBOTTLE ARCHITECTS, P.A.



Nina Caruso
Director of Historic Preservation Services

Early House Data Base

918 Dixie Way (Park Avenue)

Block 2, Lots 8,9,10

1928/29 owner: Mrs M Woodbury

1927 Business Paint Distribution Company, Pappy Arnold Grocery

1947 Business – Lake Park Sundries (Phone 3081)

1955/7 Resident – Lisle C Williams

1959 Businesses U S Post Office, Frank J Maynard, atty., Lake Park Sundries

1974/1975 Resident – Bruce Bower, Mrs Foster Carroll

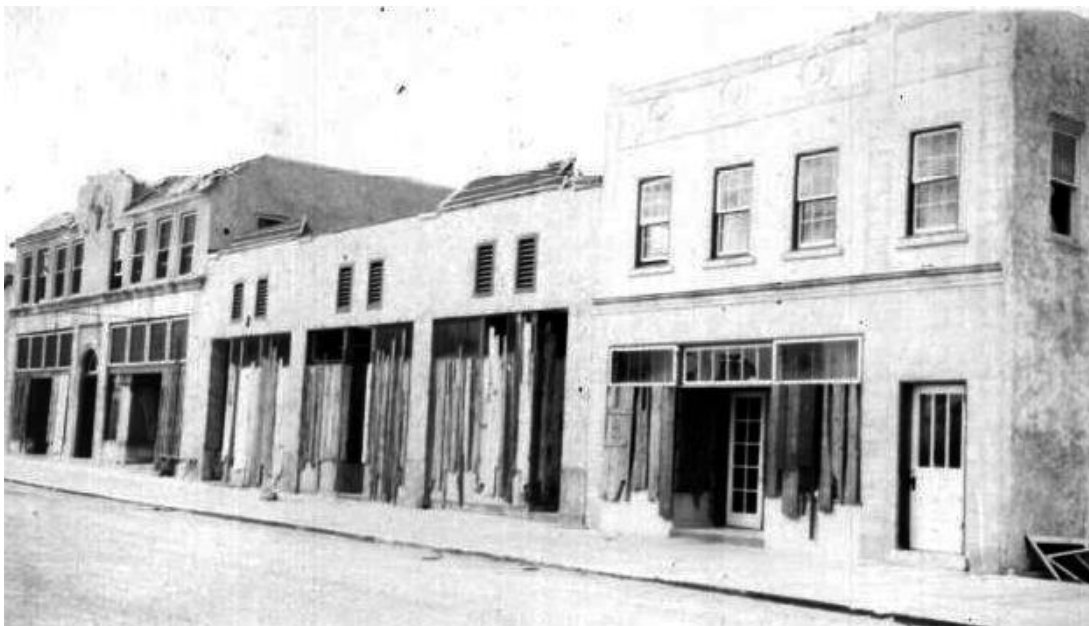
1998 Owner/Resident – Chuck Watkins











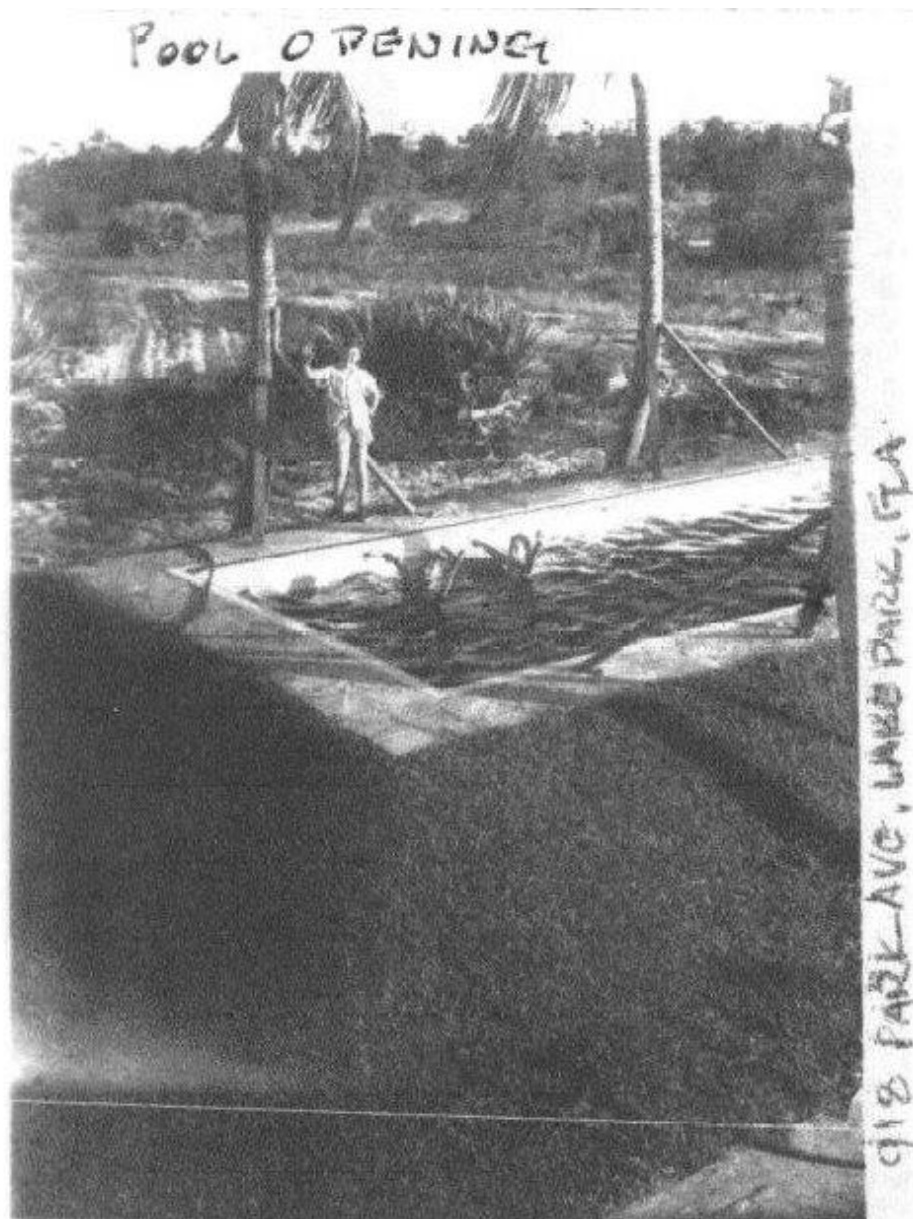
918 Dixie Way is the far left building. This is just after the 28 hurricane. This building housed Arnold grocery, Dr Pearson, and rental rooms. 1928/29 show the Easterly part of building as Atlantic Lumber and Supply. In reality, it was probably the ground floor that was Atlantic Lumber and the 2nd floor as Mrs Woodbury.

47. 918 Building—918 Park Avenue—
Mediterranean Revival, ca. 1924



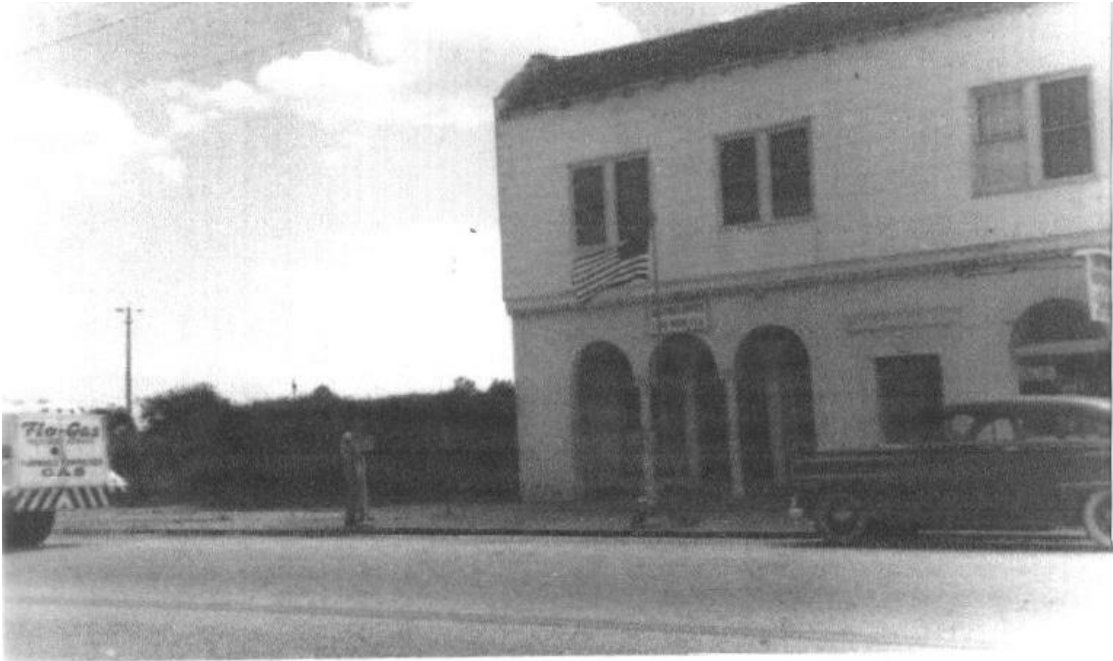
The 918 Park Building was constructed about 1924 as one of the commercial buildings in the business zone of Kelsey City, as well as the post

office. It served as the office building for the J. Y. Arnold Construction Company, one of the primary builders of Kelsey City. It was one of the few buildings in this area to survive the 1928 hurricane. The building is Mediterranean Revival in style, as can be seen by the arched openings, spiral cast stone columns and quoins at the corners. Pecky cypress brackets support the pent roof which obscures the flat roof of the building.



just behind 918.

pool was built



919 PARK AVE, LAKE PARK, FL. * 1950



TOWN OF LAKE PARK

Community Development Department

HISTORIC PRESERVATION DE-DESIGNATION APPLICATION

Filing Requirements:

1. A complete application
2. Pictures of the property and surrounding area
3. Filing fee and required escrow

General Information (print or type)

Property Owner/Applicant: The Adler at Lake Park LLC

Address: 301 Central Ave Suite A

City, State, Zip Code: Lawrence NY 11559

Telephone Number: 516-239-4600

E-mail: aron@bosfamangement.com

Original applicant for designation: yes: YES no:

Applicant's Representative. Glen L Spiritis

Address: 5540 N Ocean Drive, PH-B

City, State. Zip code: Riviera Beach, FL 33404

Telephone Number: 516-510-4363

E-mail: dokspirit@aol.com

2. Property Location (individual properties)

Street Address of Property: 918 Park Avenue, Lake Park, Florida 33408

Parcel Control Number: 36-43-42-20-01-002-0080

Legal Description: KELSEY CITY LTS 8 TO 10 INC BLK 2

Present Use: 1200 - STORE/OFFICE/RESIDENTIAL
(Vacant)

Original Use: MIX-USE COMMERCIAL BUILDING

3. Architectural Description

Architectural Style: Mediterranean Revival Style

4. Construction History and Condition

Construction Date: 1925 Factual ☒ Estimated ☐

Architect/Designer: UNKNOWN

Builder: UNKNOWN

Condition: Excellent ☐ Good ☐ Fair ☐

Poor ☐ Deteriorated ☒ Dangerous ☐

Alterations (list all alterations to property) _____

Front (North) façade has a sloped clay barrel tile roof with ornamental parapet wall ends, and all windows/storefronts openings were altered from the original. Many significant changes have occurred to the exterior. Items such as window/storefront replacements, stucco repair and re-coat, enclosure/infill of rear sleeping and eating porches, inappropriate and insensitive rear (South) alterations, infills and additions.

Historical Significance:

Is this property eligible for National Historic Designation? Yes ☐ No ☒

Is this property eligible for Local Historic Designation? Yes ☐ No ☒

Does property still meet criteria under which it was originally designated, per section 66-9 (a) of Town Code? Yes ☐ No ☒ If no, please elaborate below or on a separate

sheet.

PLEASE FIND ATTACHED REPORT THAT ELABORATES FURTHER WITH REGARD TO NOT MEETING CRITERIA THAT IT WAS ORIGINALLY DESIGNATED, PER SECTION 66-9 (A) OF TOWN CODE.

Has the property been the subject of a request for variance under Chapter 66- Historic Preservation, section 66-11 of the Town Code? Yes ☐ no ☒

Has the property received a tax exemption under" section 66-17 Tax Exemptions for historic properties"? yes ☒ no ☐

4. Reason for Request

(Please provide detailed justification on separate sheet if needed)

PLEASE FIND ATTACHED REPORT THAT ELABORATES FURTHER WITH REGARD TO NOT MEETING CRITERIA THAT IT WAS ORIGINALLY DESIGNATED, PER SECTION 66-9 (A) OF TOWN CODE.

Fees: Application fee: \$200

Cost Recovery Escrow fee: \$2500

Used for cost of notice requirements, any attorney fees, review by historic preservation consultant. Should final amount be higher, the applicant will be billed the balance, if lower the remaining balance will be returned.

NOTE: Copy of Chapter 66 – Historic Preservation may be found at
https://library.municode.com/fl/lake_park/codes/code_of_ordinances?nodeId=SPBLADERE_CH66_HIPR



**CONSENT FORM FROM PROPERTY OWNER
AND DESIGNATION OF AUTHORIZED AGENT**

Before me, the undersigned authority, personally appeared Aron Goldstein,
who, being by me first duly sworn, on Oath deposed and says:

1. That he/she is the fee simple title owner of the property described in the attached Legal Description;
2. That he is requesting De-listing of Historic Designation for 918 Park Ave in the Town of Lake Park, Florida;
3. That he has appointed Glen Spiritis PhD to act as authorized on his/her behalf to accomplish the above Project.

Property Owner Name: The Adler at Lake Park LLC

<u>[Signature]</u> Property Owner Signature	<u>Daniel Aron Goldstein/ Partner</u> By: Name/Title
--	---

Street Address, City, State, Zip Code 301 Central Ave, Lawrence NY 11559

Telephone Number 516-239-4600

E-Mail Address aron@bosfamanagement.com

Sworn and Subscribed before me on this 14th day of August, 2023,

[Signature]

NOTARY PUBLIC

MY COMMISSION EXPIRES:

Aron Goldstein
Notary Public, State of New York
No. 01GO6355808
Qualified in Nassau County
Commission Expires March 13, 2025

STATEMENT AND AFFIDAVIT OF REMOVAL

I, ^{Daniel}~~Aron~~ Goldstein, owner of the real property at 918 Park Ave in the Town of Lake Park, Florida, being duly sworn, do hereby revoke and withdraw any previously grant permission, as required by the Town of Lake Park Code of Ordinances Section 66-9, given to the Lake Park Historic Preservation Board that designated as historic the building and appurtenances located at 918 Park Ave, Lake Park, Florida 33403.

Owner Signature _____

Sworn and Subscribed before me on this 14th day of August, 2023,

NOTARY PUBLIC

Aron Goldstein
Notary Public, State of New York
No. 01GO6355808

MY COMMISSION EXPIRES:

Qualified in Nassau County
Commission Expires March 13, 2025

TO BE COMPLETED BY STAFF

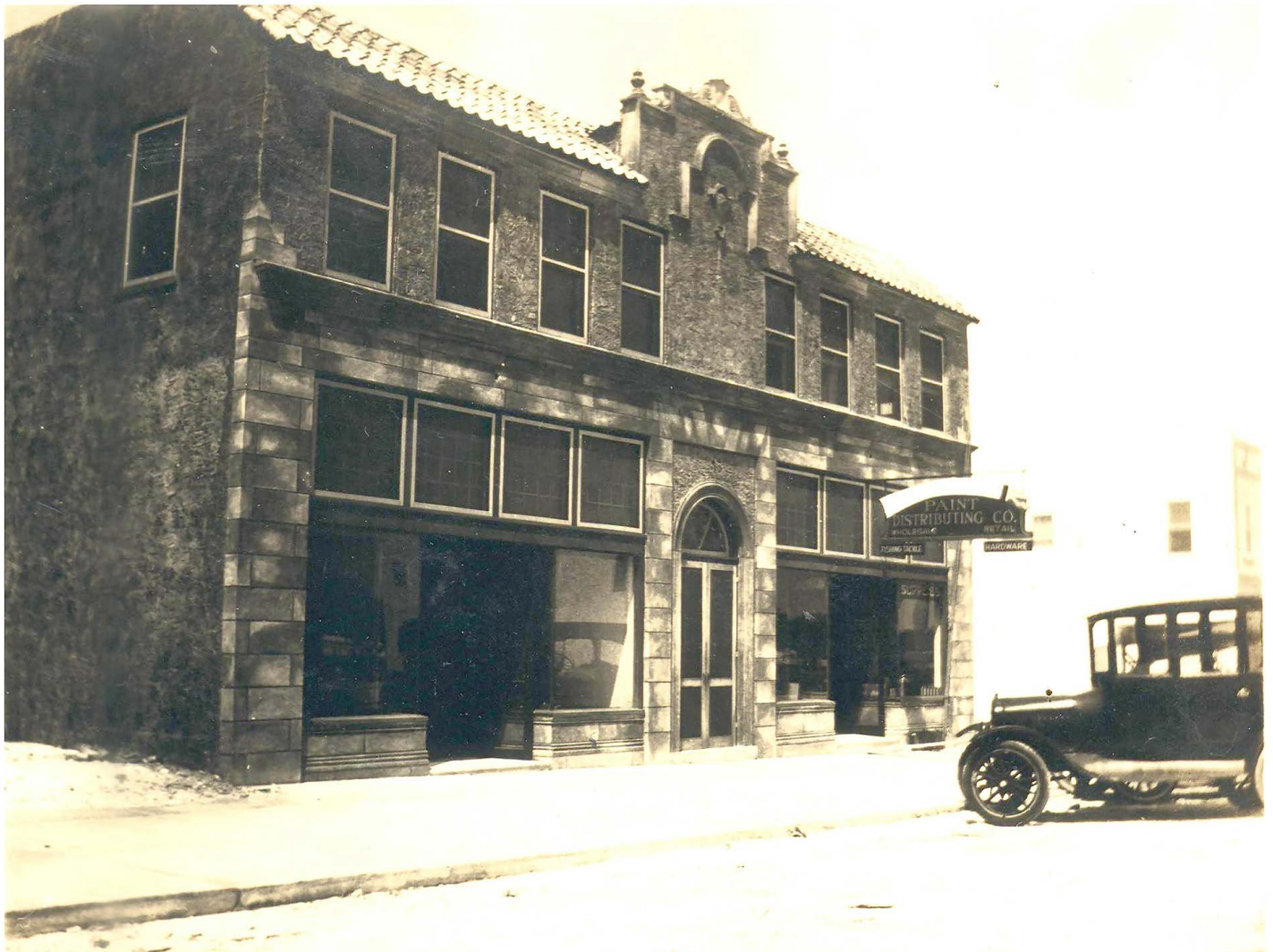
Historic Preservation Review

Removal:

Last review date:

Last survey date: _____

REVISED 8/29/22



Petition for Removal

918 Park Avenue, 8PB9607, as a locally designated historic landmark in the downtown retail district of the Town of Lake Park.

03.01.2023

918 LAKE PARK, FLORIDA
HISTORIC IMAGE

March 1, 2023

TO:
Historic Preservation Board
Town Hall Commission Chamber
535 Park Avenue
Lake Park, Florida 33403

RE:
918 Park Avenue, Lake Park FL 33408
Historic Preservation Consultant

From:
REG Architects, Inc. (Consultant)
Brian Laura, D. Arch, Sr. Project Manager
Rick Gonzalez, A.I.A., President

Petition for Removal of 918 Park Avenue, 8PB9607, as a locally designated historic landmark in the downtown retail district of the Town of Lake Park.

Project Description & Location:

This letter is regarding Historic Resource, FMSF #8PB9607, 918 Park Avenue of Lake Park, Florida in Kelsey City downtown, which is currently listed as a locally designated historic landmark in the downtown retail district of the Town of Lake Park. Therefore, this report serves as a formal request and petition to remove resource 8PB9607 from the historic landmark designation survey and Florida Master Site File, (per 36 CFR § 60.15). Grounds for the petition are based on the following:

1. The property has ceased to meet the criteria for listing as a designated historic landmark because the qualities which caused it to be originally listed have been lost or destroyed, or such qualities were lost subsequent to nomination.
2. Additional information shows that the property does not meet the historic landmark designation criteria for evaluation.

Background & Date of Development:

The subject property is a locally designated historic landmark in the downtown retail district of the Town of Lake Park. It was originally built in the Mediterranean Revival Style c.1925 as a mixed-use commercial building. The first floor use to contain retail space and the second floor contained two apartments (now removed). The two-story, mostly flat roofed building has stucco finish, recessed storefront (arcade), and ground level front residential entrance.

The rear (South) appears to have been sleeping and eating porches with stairway. Front (North) façade has a sloped clay barrel tile roof with ornamental parapet wall ends, and all windows/storefronts openings were altered from the original (Refer to Figure 8 and Figure 9). Many significant changes have occurred to the exterior. Items such as window/storefront replacements, stucco repair and re-coat, enclosure/ infill of rear sleeping and eating porches, inappropriate and insensitive rear (South) alterations, infills and additions.

Therefore, the Property has ceased to meet the criteria for being listed as a historic landmark in the downtown retail district of the Town of Lake Park. This is due to alterations and additions which have destroyed the historic integrity and significance. This report found the property does not meet or possess historic significance and does not retain a high degree of integrity. Thus, the existing building does not retain any degree of historic integrity of location, setting, materials, design, proportion, massing, feeling, and association with the existing context.

The property was designated as a locally significant by Town of Lake Park Historic Preservation Board in 1998. However, due to significant alterations and additions the historic core of the building no longer exhibits a period of significance, nor does it embody the distinctive characteristics of an academic architectural type, style, or method of construction; and it does not possess unique components that make it a distinguishable historic entity. The loss of original materials is extensive on the building's exterior (Refer to Figure 7 and Figure 9). Significant changes to the front façade have obscured/destroyed the original design, materials, and workmanship. The submitted FMSF and additional information indicate 918 Park Avenue (Arnold Building) no longer meets the historic designation criteria for significant sites. Moreover, the value of truly eligible properties within a district may be harmed by including a structure which lacks significance and a high degree of integrity. This can hinder the public perception of the quality and significance of the historic Town of Lake Park designation, criteria, and evalu-

ation. Furthermore, the removal of the resource FMSF #8PB9607 will increase the integrity and value of the existing Kelsey City downtown.

Addendum

This report consists of an update to the original FMSF submitted for 918 Park Avenue, Lake Park Florida in 1998. The update for FMSF 8PB9607 is necessitated due to the change in historic significance, integrity, and character. The empirical methodology for the update included reproduced plans, historic and existing photography, historic zoning map, conversations with current owner, city staff, FMSF review, and other local publications. The property was evaluated with The Secretary of the Interior's Standards (36 CFR § 67.7).

Resource 8PB9607 was surveyed for historic properties in compliance with the Florida Administrative Code Chapter 1A-46 Archaeological and Historical Report Standards and the Criteria for Evaluation for the National Register of Historic Places as set forth in 36 CFR 60 and amendments thereto. The survey methodology was established using the Guide to the Historical Structure Form Version 4.0.

The majority of alterations and additions were built in the 1970's to facilitate the mix-use commercial aspect of the property. This includes the elimination and disturbance of the main street historic façade of the building (Refer to Figure 7) and a non-historic large addition at the rear (Refer to Figure 12).

The Secretary of the Interior's Standards states the following, "A property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment." Thus, the changes in setting and feeling further detract from the original design and function of the property.

The non-historic addition (rear) uses historic materials that have been salvaged or re-purposed from other buildings. The mix of historic and non-historic materials does not allow the additions to be distinguished as non-historic (Refer to Figure 12). Following the Standards, "To preserve a property's historic character, a new addition must be visually distinguishable from the historic building."

For a street-side observer, the mix of historic and new materials on later additions to the structure makes it hard to discern which parts of the building are truly historic (Refer to Figure 7). The Standards also provide the following guidance, "New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired." The addition (rear) to the building has compromised the original structure and removal of significant architectural elements from the main north elevation, which includes altered and removal of historic fenestration, exterior stone, removal of storefronts, double hung windows, first floor transom windows, decorative gable end, quoining, and roofing materials (Refer to Figure 7 and Figure 8).

Historic Preservation

Alterations to building's facade in a local historic district is subject to specific criteria for visual compatibility as set forth in Historic Preservation, Chapter 66 of the Town's Code of Ordinances. As required by Historic Preservation the project was also reviewed using the Secretary of Interior's Standards for the Treatment of Historic Properties with Guidelines for Preserving, Rehabilitating, Restoring & Reconstructing Historic Buildings, 2017 Edition.

Consultant's Analysis:

It is the Consultant's analysis that the proposed demolition is compatible with the regulations set forth in Chapter 66 Historic Preservation Ordinance and the Standards and Guidelines.

Consequent Action:

The Board can approve the application; approve the application with conditions; continue the hearing to a date certain to request additional information; or deny the application.

Recommendation:

Consultant recommends that the Board approve the amendment for the request of proposed demolition for the following Conditions:

1. Refer to Historic Image (Figure 8)
2. Refer to Non-Historic Facade (Figure 7)
3. Refer to Non-Historic Addition (Figure 12)

Potential Motion:

I MOVE TO APPROVE Project Number 8PB9607:

Consideration of an amendment to the Certificate of Appropriateness (COA) for 918 Park Avenue of Lake Park, Florida, based upon the competent substantial evidence for demolition as recommended by Consultant.

I MOVE TO DENY Project Number 8PB9607:

Consideration of an amendment to the Certificate of Appropriateness (COA) for 918 Park Avenue of Lake Park, Florida.

Figure 1: Lake Park Zoning Map

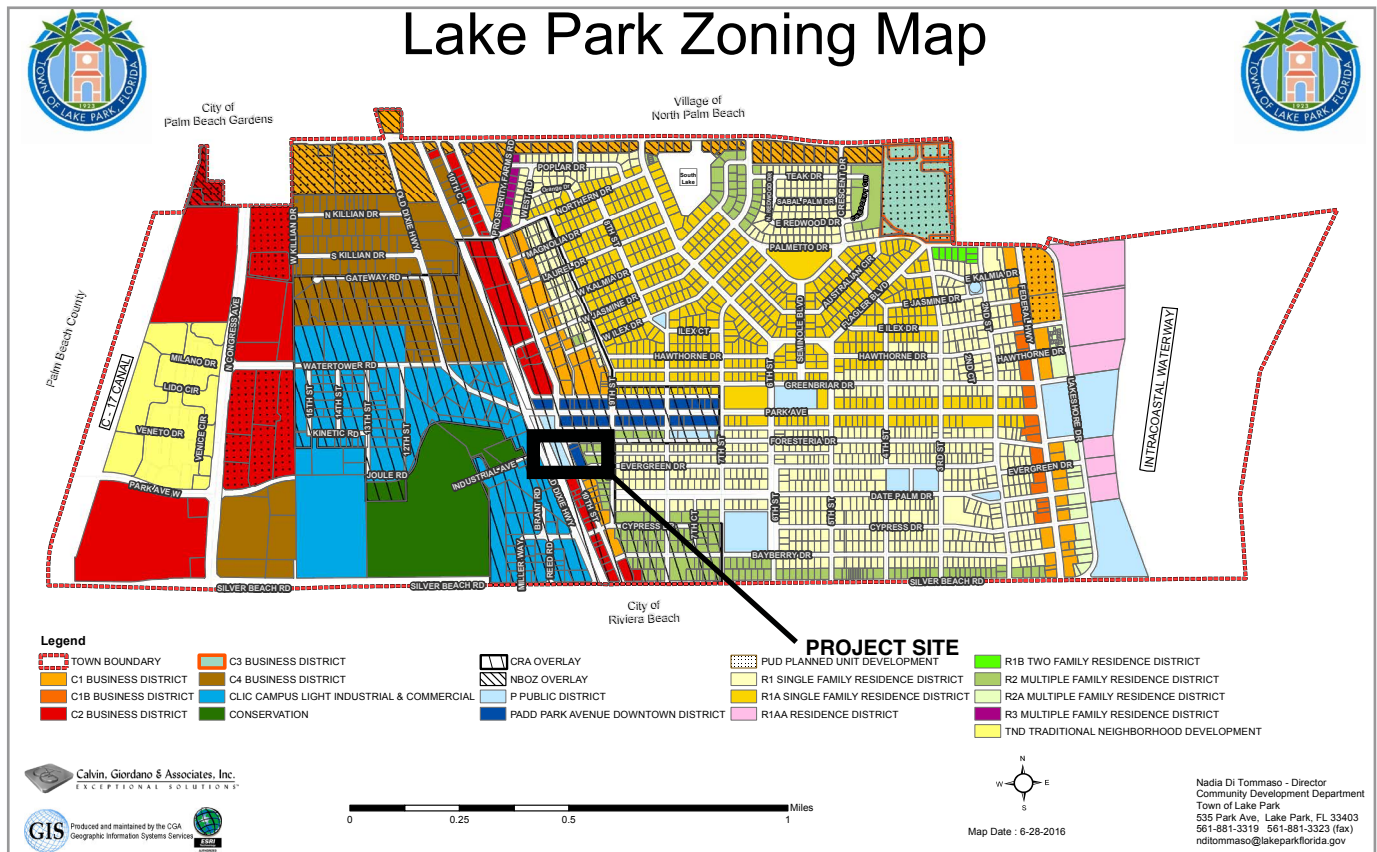


Figure 2: Existing Aerial Plan

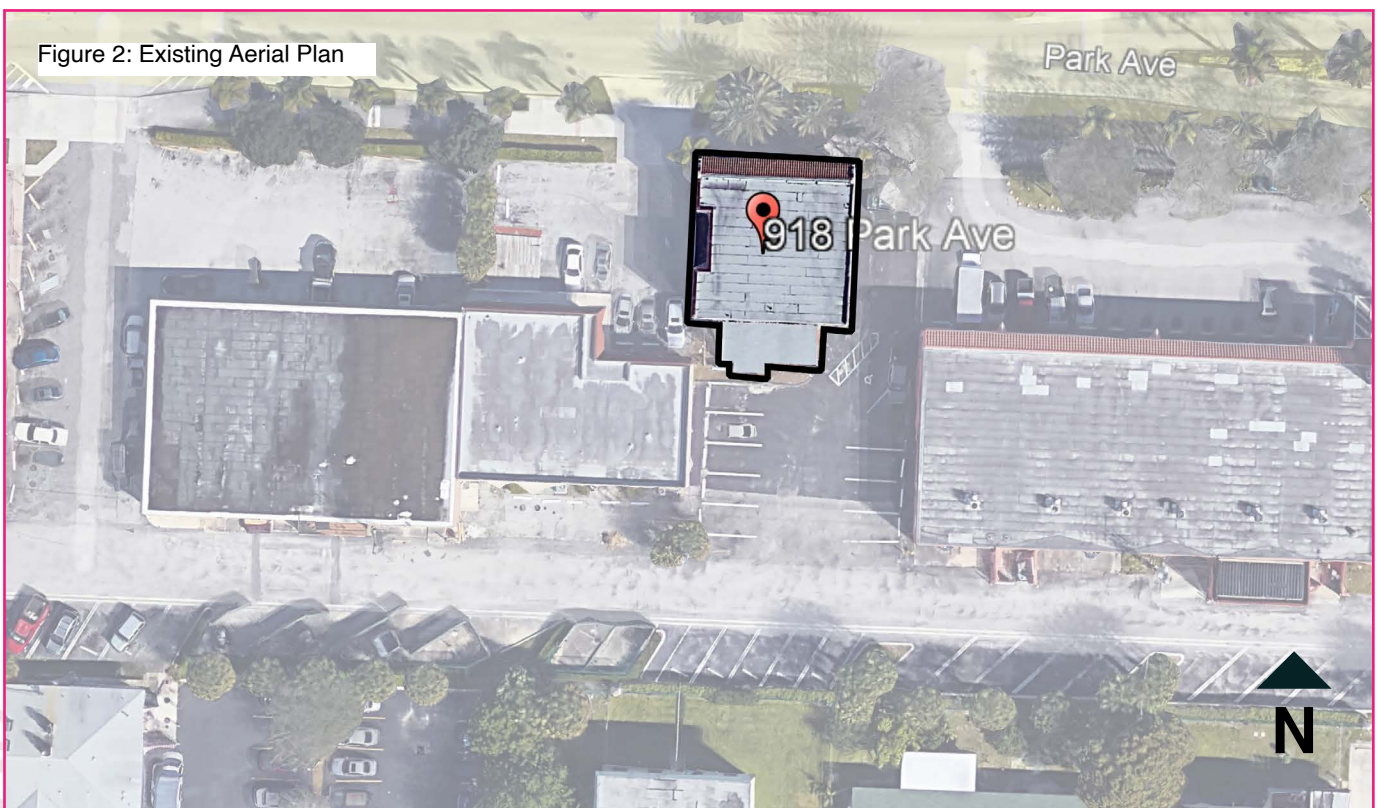


Figure 3: Existing Aerial Plan



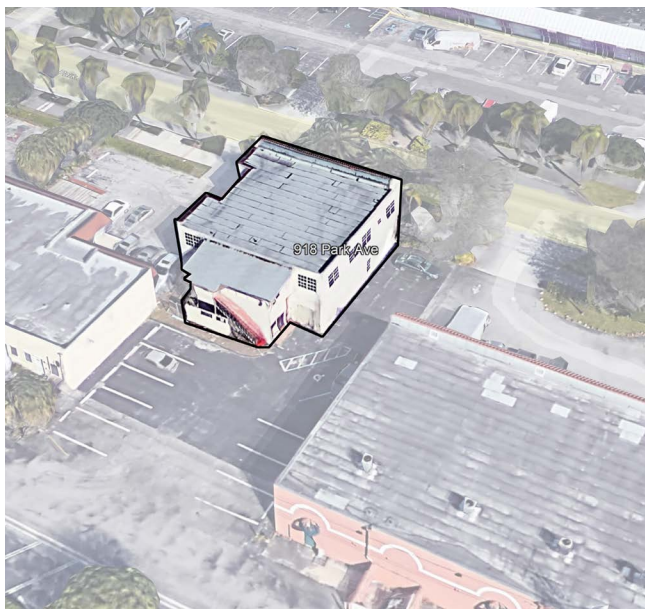
EXISTING SITE AERIAL - LOOKING
NORTH EAST ELEVATION

Figure 4: Existing Aerial Plan



EXISTING SITE AERIAL - LOOKING
NORTH WEST ELEVATION

Figure 5: Existing Aerial Plan



EXISTING SITE AERIAL - LOOKING
SOUTH EAST ELEVATION

Figure 6: Existing Aerial Plan



EXISTING SITE AERIAL - LOOKING
SOUTH WEST ELEVATION

Figure 7: Existing - Front Facade



Figure 02:
Historic Image
Front Facade

Figure 8: Historic Photo of Fenestration



Figure 9: Existing Front Facade



Figure 10: Existing Non-Historic Arch Colonnade

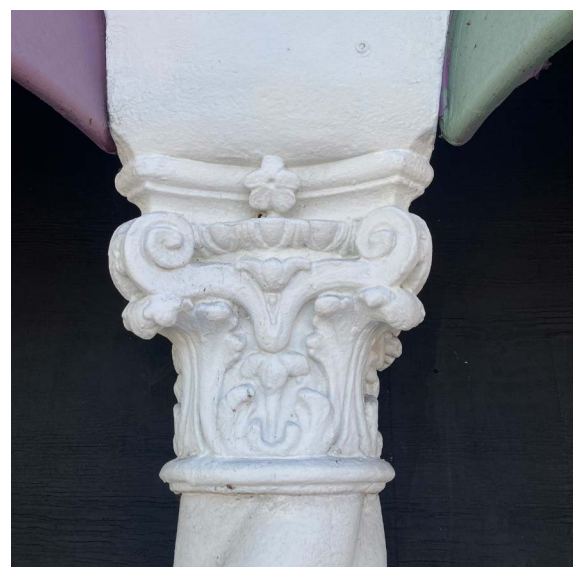


Figure 11: Existing Non-Historic Composite Order Column Capital



Figure 12: Existing Non-Historic Addition, south west elevation

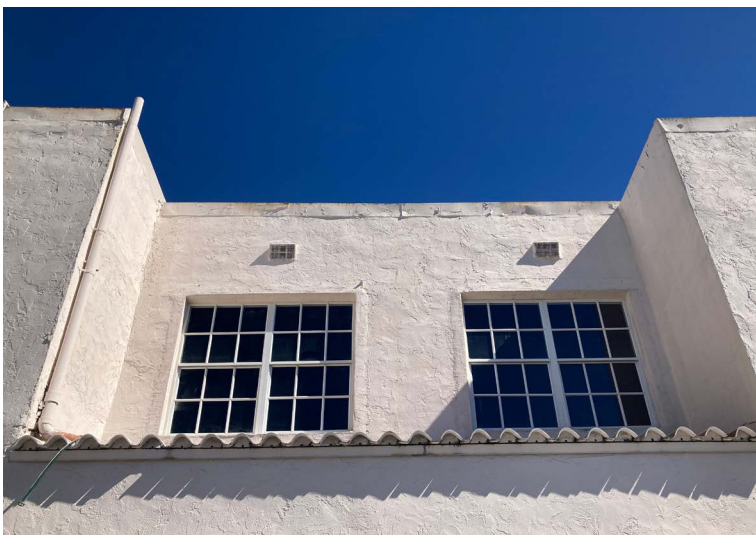


Figure 13: Existing Recessed East Elevation

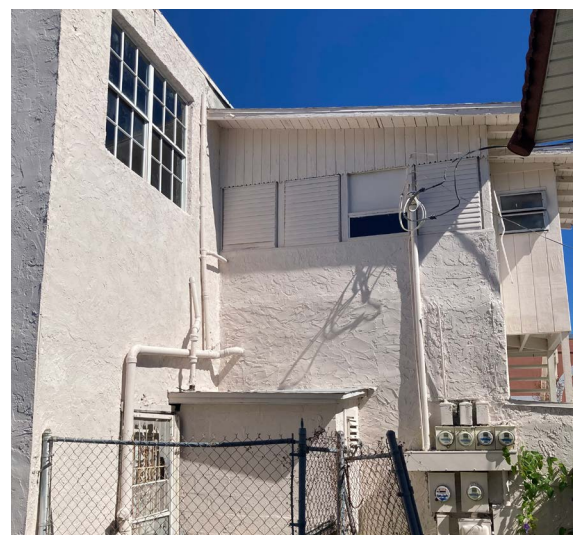


Figure 14: Existing Non-Historic Addition, East Elevation

Figure 15: Historical Structure Form

Page 1
X original
___ update

HISTORICAL STRUCTURE FORM
FLORIDA MASTER SITE FILE

Site 8PB9607
Recorder# 51

SITE NAME Park Building
HISTORIC CONTEXTS Boom Times
NAT. REGISTER CATEGORY Building
OTHER NAMES OR MSF NOS None
COUNTY Palm Beach OWNERSHIP TYPE Private--Individual
PROJECT NAME Lake Park Survey DHR NO _____
LOCATION (Attach copy of USGS map, sketch-map of immediate area)
ADDRESS 918 Park Ave CITY Lake Park
VICINITY OF / ROUTE TO South side of Park Ave, between 9th and 10th Streets
SUBDIVISION N/A BLOCK NO _____ LOT NO _____
PLAT OR OTHER MAP County Aerial Photographs
TOWNSHIP 42S RANGE 43E SECTION 20 1/4 SE 1/4-1/4 NW
IRREGULAR SEC? ___ y X n LAND GRANT Unknown
USGS 7.5' MAP Riviera Beach USGS, 1946 PR 1983
UTM: ZONE 17 EASTING 592210 NORTHING 2964420
COORDINATES: LATITUDE ___ D ___ M ___ S LONGITUDE ___ D ___ M ___ S

HISTORY
ARCHITECT: Unknown
BUILDER: Unknown
CONST DATE 1925 CIRCA C RESTORATION DATE(S): N/A
MODIFICATION DATE(S): 1970s
MOVE: DATE N/A ORIG LOCATION N/A
ORIGINAL USE(S) Commercial
PRESENT USE(S) Commercial

DESCRIPTION
STYLE Mediterranean Revival
PLAN: EXTERIOR Rectangular
INTERIOR Unknown
NO.: STORIES 2.0 OUTBLDGS 0 PORCHES 4 DORMERS 0
STRUCTURAL SYSTEM(S) Hollow tile
EXTERIOR FABRIC(S) Stucco
FOUNDATION: TYPE Slab MATLS Concrete
INFILL N/A
PORCHES N/inset entrances/1st floor/turned supports/arches/N
ROOF: TYPE Flat, shed SURFACING Unknown, barrel tile
SECONDARY STRUCS. N/A
CHIMNEY: NO 0 MTLs N/A LOCNS N/A
WINDOWS Awning, metal, 4; Fixed, wood, storefronts, 1
EXTERIOR ORNAMENT Cast stone, wood
CONDITION Good SURROUNDINGS Residential
NARRATIVE (general, interior, landscape, context; 3 lines only)
See continuation sheet.

ARCHAEOLOGICAL REMAINS AT THE SITE
FMSF ARCHAEOLOGICAL FORM COMPLETED? ___ y X n (IF Y, ATTACH)
ARTIFACTS OR OTHER REMAINS None observed.

Page 2

FMSF HISTORICAL STRUCTURE FORM

Site 8PB9607

RECORDER'S EVALUATION OF SITE

AREAS OF SIGNIFICANCE Architecture/Community Planning/Development

ELIGIBLE FOR NAT. REGISTER? ☒ y ☐ n likely, need info insf inf
SIGNIF. AS PART OF DISTRICT? ☒ y ☒ n likely, need info insf inf
SIGNIFICANT AT LOCAL LEVEL? ☒ y ☐ n likely, need info insf inf

SUMMARY ON SIGNIFICANCE (Limit to three lines provided; see page 3)
See continuation sheet.

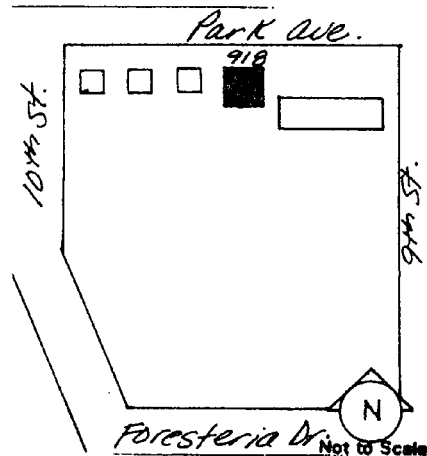
* * *DHR USE ONLY* * * * * *DHR USE ONLY* * *
*
* DATE LISTED ON NR _____ *
* KEEPER DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____ *
* SHPO EVALUATION OF ELIGIBILITY (DATE): -YES _____ -NO _____ *
* LOCAL DETERMINATION OF ELIG.(DATE): -YES _____ -NO _____ *
* OFFICE _____ *
* *DHR USE ONLY* * * * * *DHR USE ONLY* * *

RECORDER INFORMATION: NAME Amy Groover, Dawn Van De Putte
DATE: 19971121 AFFILIATION Janus Research/Piper Archaeology

PHOTOGRAPHS (Attach a labeled print bigger than contact size)
LOCATION OF NEGATIVES Janus Research/Piper Archaeology
NEGATIVE NUMBERS Roll 9782-4, Exp. 8 Facing SW



M A P
Street/plat map, not
USGS



REQUIRED: USGS MAP OR COPY WITH SITE LOCATION MARKED

Page 3

SUPPLEMENT FOR SITE FORMS

Site 8PB9607

SITE NAME Park Building

A. NARRATIVE DESCRIPTION OF SITE (Use back of page and continuations)

This commercial Mediterranean Revival building is located on the south side of Park Avenue, between 9th and 10th Streets in Township 42 South, Range 43 East, Section 20 (Riviera Beach USGS Quadrangle, 1946, PR 1983) in Lake Park, Florida. Built in 1925, the two-story masonry structural system rests on a concrete slab foundation. Exterior walls are surfaced with stucco and the first floor features corner quoining. The flat portion of the roof features shaped parapets and barrel tile trim. The shed portion of the roof is covered in barrel tile and features pecky cypress brackets. Fenestration includes metal awning and wood fixed storefront windows. The north facade features inset entrances with arched openings and cast stone turned columns. The west elevation features a second-story rectangular cut-out which exhibits a balcony and a railing.

B. DISCUSSION OF SIGNIFICANCE (Use back of page and continuations)

The Mediterranean Revival style is most often found in states with Spanish colonial heritage. In Florida, this style is closely linked with the 1920s Florida Land Boom era. The style has its origin in Beaux Arts-trained architects' desire to create a building style appropriate to the history of the Sun Belt area of the United States. The Mediterranean Revival style flourished in Florida during the 1920s and 1930s, as it captured the picturesque resort image the State was promoting to its winter visitors. Mediterranean Revival domestic buildings are chiefly associated with middle and upper class suburban housing developments. The style was also applied to commercial, hotel, club, and school buildings. Features of the style include stuccoed wall surfaces and low-pitched red barrel tile roofs. Arched windows and doors are often found in Mediterranean Revival style buildings. Decorative elements such as inset tiles, cast stone columns or pilasters, balconies, and window grilles are incorporated in the building designs as well.

The Town of Lake Park is located in Palm Beach County and is adjacent to the City of Riviera Beach to the south and the Village of North Palm Beach to the north. Lake Park was originally conceived in 1919 as Kelsey City by Harry Seymour Kelsey, a multimillionaire from Massachusetts. Kelsey acquired a vast fortune from the sale of his restaurant business, the Waldorf Lunch System. With his new found wealth, Kelsey purchased over 100,000 acres of land from the estate of J.M. Barr, a real estate investor from Jacksonville, Henry Flagler's Model Land Company, and the Silver Beach tract, also known as the Peck Aviation Field. From his land holdings, Kelsey established a community platted and planned by the

STRUCTURAL ASSESSMENT



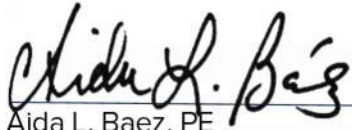
230606-FL

918 Park Avenue

accord
ENGINEERING

SIGNATURES

PREPARED BY



Aida L. Baez, PE

Co-Owner / Senior Structural Engineer

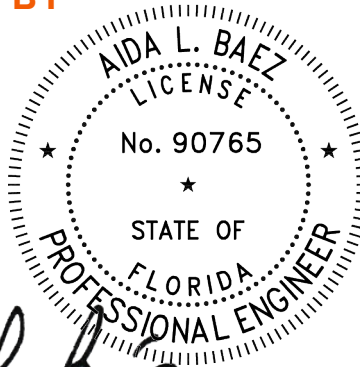
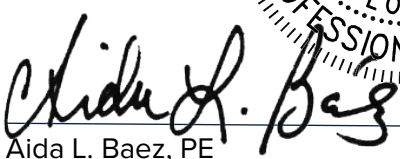
REVIEWED BY



Clifton Newkirk, PE

Co-Owner / Senior Structural Engineer

APPROVED BY



2023.08.07 16:57:09-04'00'

Aida L. Baez, PE

Co-Owner / Senior Structural Engineer

Professional Engineer No. 90765

State of Florida

This report was prepared by ACcord Engineering for Kelsey on Park, in accordance with the approved professional services agreement. The material in it reflects ACcord Engineering best judgement in light of the information available to it at the time of preparation

The original of the technology-based document sent herewith has been authenticated and will be retained by ACcord Engineering for a minimum of seven years. Since the file transmitted is now out of ACcord Engineering's control and its integrity can no longer be ensured, no guarantee may be given with regards to any modifications made to this document.

INTRODUCTION

General Description

This structural assessment report is for the building located in the downtown retail district of the Town of Lake Park at 918 Park Avenue, Lake Park, Florida. The original building was constructed in 1925 as a mixed-use commercial building. The 2-story building structure is composed of wood vertical and horizontal framing, with steel interior columns, and concrete slab-on-grade. The foundation was not identified during the field investigation but is presumed to be shallow concrete. The exterior walls are finished with stucco and are sheathed with diagonal or batten boards (see photos 005 and 028), consisting with the framing method preferred before World War II, instead of plywood panel sheathing, which is the recommended method in today's Florida Building Code (FBC), the National Design Specifications (NDS) for wood construction, and the APA – Engineered Wood Association, especially for High Wind Resistance wood construction.

ACcord Engineering was hired by The Kelsey on Park Group to perform a structural assessment of the existing structure. The field evaluation was performed during the afternoon of July 10, 2023, by Aida Baez, PE and Roshaun Wisdom, both from ACCord Engineering. The weather was Fair, with temperature at 95° F.

Purpose and Scope

This report gives overall representative observations and preliminary assessment on the condition of the easily visible areas of the building envelope and structure with details on the types of deteriorations noted, possible causes, the effects of the deterioration, suggested remedies, if applicable, and any noticeable safety concerns.

The observation was limited to the readily accessible and easily visible portions of the building envelope and structural members. The condition assessment is not technically exhaustive and additional field observations, measurements, or testing are likely required to determine the total scope of repairs required, if applicable, and the cost associated with them. As such, this document is not to be used for bidding or execution of repairs and should only serve as a guide in determining the building's structural conditions and assessing the probability for repairs.

General Physical Condition

The exterior of the building needs extensive repairs. For example, delaminated and buckling stucco, shattered windows, inappropriately boarded storefronts with open gaps, leaving the interior of the structure exposed to the elements and susceptible to water intrusion. Also, the exterior door frames display gaps and reveal sealant cohesion failure around the door openings. The exterior stairs and railings are fastened with toe nails which is not allowed in the building code and would need to be analyzed to verify if they're able to sustain the live load requirements for a commercial building, per the FBC minimum requirements.

The interior walls of the building do not have sheathing, leaving the structure susceptible to collapse for lack of lateral resistance, due to the reduction in shear wall capacity. Blocking was not observed preventing continuity at bearing walls, limiting the transfer of lateral loads from the roof and floor diaphragms to the shear walls and down to the foundation. It is critical that these conditions be repaired immediately and without reservations, since the building as it stands may not be able to resist a major hurricane, and do not meet any fire-rating requirements per the FBC and the ASTM E119 or UL 263.

Evident and substantial mold and water damage was noticed in the rear portion of the building, where wood decay is prominent and requires complete replacement.

The bottom of the interior stair is immediately adjacent to the exterior door, and does not provide the necessary landing space as required by the FBC and the American with Disabilities Act (ADA). The stairs are not properly supported and fastened at the top bearing condition to meet the minimum requirements of the FBC. These conditions would require code analysis to determine if redesigning the stairs would be deemed necessary.

The second floor was found to be extremely hot, since it's not properly sheathed nor insulated. Prolonged exposure to such temperatures is not adequate for wood framing since it can cause a permanent loss in strength when cooled and loaded at normal temperatures. A significant amount of the framing seems to be decaying and would require replacement.

The second floor and roof framing display numerous inappropriate and insufficient conditions, causing some to demand temporary shoring, refer to the roof portion of the Observations section below. These framing anomalies warrant immediate repair, since some of the conditions are critically unsafe.

OBSERVATIONS

Exterior Facade

The exterior stucco is delaminating and spalling (see photos 002 and 009), loss of bonding to the structural frame, damage from water penetration, failed lath attachments, or damage to the wood framing from termites or dry rot. Significant exterior finish damage was observed by the entrance of the building, where pieces of stucco were severely damaged and cracked, or completely missing (see photos 005, 006 and 007). A significant indentation on the West side of the building was observed on the wall (see photo 010). This may have been caused by a vehicle crashing into the wall since parking stalls are noted perpendicular to the wall. The stucco finish at this location has been improperly patched and would require repair and further assessment of the existing wall framing.

The storefronts are missing, and their openings are boarded up, but do not provide proper enclosure since there are significant gaps allowing for pest and water intrusion into the interior of the building (see photo 004).

The windows seem to have been installed in recent times, but some are shattered (see photo 011) indicating that they are not impact resistant. Some exterior door frames show a large gap around the opening which allows for pest and water intrusion (see photos 013 and 024).

Interior Structural Framing

From the inside of the building, the exterior walls are noticed to be sheathed with diagonal or batten boards (see photos 005 and 028). Along the East/West direction of the building, the diagonal boards are seemed spaced at $\pm 16"$ OC (see photo 029) and not directly abutting each other as were noted along the North/South direction exterior walls. This framing condition does not provide continuous lateral resistance to the exterior shear walls, making them inadequate to sustain the lateral forces produced by a major hurricane. Figure 1 shows the proper assembly for diagonal lumber shear wall sheathing, to be able to resist in-plane lateral forces.

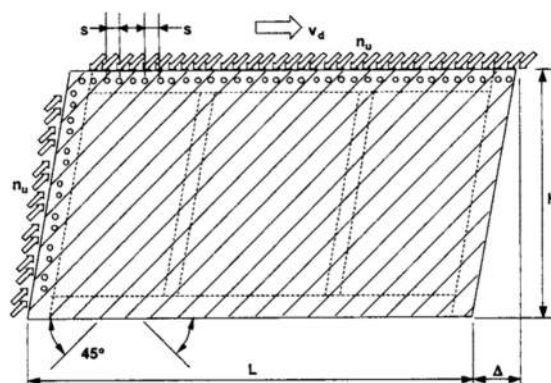


Figure 1 - Diagonal Lumber Shear Wall Sheathing Diagram

The interior bearing/shear wall is not sheathed, the bearing studs are completely exposed (see photo 027). In its current condition, this wall is subjected to combined bending and in-plane structural failure, since it's missing the wall sheathing, which provides lateral resistance and out-of-plane bracing. A continuously anchored bottom sill was not noticed on the interior bearing/shear wall, leaving the structure vulnerable and undermined. Also, it was observed that in some locations the bottom and top plate of the wall had been cut to allow for plumbing. Without proper splicing of the top and bottom plates the shear wall is deemed structurally inadequate.

The front and back interior walls are missing headers above the openings (see photos 025 and 029). This condition renders the wall inadequate for proper door/window framing, gravity support, and for lateral resistance, since there is no transfer of the in-plane forces along the North and South walls.

Significant mold and water damage is present at the rear/South area of the building (see photos 019 and 020). This area of the structure seems to be an addition to the original building. The structural framing elements are substantially rotted and damaged; they are viewed as unsafe and will require complete demolition and replacement.

Partial slab demolition was noted towards the back of the interior space. The partial slab demo seems to be for utility repair reasons. The concrete slab will need to be properly repaired.

The interior stair does not seem to comply with today's FBC and ADA requirements/standards. The stringers top bearing end is be notched more than $\frac{1}{4}$ the depth of the stringer, which is not permitted by the NDS. The wall adjacent to the stair is a bearing wall, supporting the floor joists (see photo 030). It was observed that the wall ends near the top 3rd of the staircase, and two of the floor joists are supported by a 2x8 girder, which is supported on top of the bearing wall by less than 1 inch. This bearing condition of the girder seems insufficient and would require further investigation to validate if it allows for the proper transfer of lateral forces distributed by the floor diaphragm. A small lateral force applied to the building may cause the girder to move and lose its bearing, prompting a collapse of the floor joists. It is imperative that this condition is repaired as soon as possible, since a tropical storm or hurricane can apply enough lateral force to the building that could potentially cause this failure.

The second-floor deck diaphragm was observed to have different types of materials and changes in span direction, without proper fastening to allow for lateral load transfer (see photos 034 and 035). At the back portion of the building the floor was covered with a green rug. The floor deflected a lot as one walked on it, indicating probable water damage due or deficient deck/joist spans. In this area mold was very noticeable on the walls, and bathroom shower.

Near the Northwest corner of the roof framing, a temporary steel-shoring-column has been placed to support a joist bearing line (see photo 031). It is presumed that the joists were bearing over a wall, that since then has been

removed and the top plate of the wall is too shallow to span the unsupported distance. Also, near this area a post installed roof girder has been added and it is improperly supported by a 2x ledge nailed to the face of a timber column (see photo 032). In general, the roof framing does not present a proper load path to transfer the roof diaphragm forces down to the shear walls (see photo 033).

RECOMMENDATIONS

It must be noted that the recommendations that follow are general in nature and are not to be utilized during repairs except as a guide for specification of repair processes and materials. Repair details and material specification shall be done by a licensed Florida professional engineer in accordance with local building codes, the Florida Building Code (FBC), and other professionally accepted standards such as those from the American Wood Council (AWC), the National Design Specification (NDS) for Wood Construction and the American Society of Testing Materials (ASTM) International among others.

The recommendations set forth in the following sections are to be evaluated on a case-by-case basis as further investigation is conducted during the repair process. Some of the recommendations may be deemed unnecessary or other forms of remediation may be required dependent on the findings of during repair.

The following is a list of structural items we recommend be repaired and their urgency level, for the structural integrity of the structure and for human safety.

NO	STRUCTURAL ITEM	REPAIR RECOMMENDATION	URGENCY LEVEL
1	Assess all existing wood vertical and horizontal structural members for lack of strength capacity, decay, or defectiveness (studs, columns, floor and roof joists and girders, headers, etc.)	Remove and replace all structural members compromised	Immediate
2	Missing or compromised framing around openings (doors and windows)	Remove and replace opening wood framing	Immediate
3	Mold and decayed wood member	Remove and replace wood members	Immediate
4	Provide structural sheathing to the North, South, and interior shear walls	Remove all exterior stucco finishes. Remove diagonal (spaced) boards, replace with new sheathing.	Immediate
5	Exterior stairs	Remove, redesign and replace	Immediate
6	Interior stairs	Remove, redesign, reframe support, and replace	Immediate
7	Shattered windows	Remove and replace shattered windows with impact resistant and Miami Dade NOA or Florida Product Approval windows	Immediate
8	Storefronts	Install new impact resistant Miami Dade NOA or Florida Product Approval storefronts	Immediate
9	Repair exterior stucco finish	Remove and replace existing stucco, lath and fasteners	Immediate
10	Waterproofing	Recommend application of elastomeric waterproofing surface coating. This will provide a water-tight seal on the surface, expand and contract with the stucco and concrete surfaces.	Immediate

<p>11 Sealants around fenestrations should be evaluated and if replacement is necessary. Any indication of adhesive failure, cohesive failure, substrate failure, or loss of sealant properties would require replacement of fenestration sealant.</p>	<p>Complete removal of the sealant around door and window openings and a thorough cleaning with a chemical cleaner as approved by the manufacturer of the new sealant would be required. Once the surface has been cleaned of all existing sealant and debris, it is recommended that a structural silicone sealant be applied. The use of a backer rod and bond breaker might be necessary depending on the requirements of the sealant manufacturer.</p> <p>Immediate</p>
--	---

Due to the assessed conditions of the structural elements, the building is deemed unsafe and extensive structural repairs or complete demolition and reconstruction are eminent prior to occupancy. We anticipate the cost for repairs as outlined herein to be cost prohibitive, given the quantity of the repairs and the distressed condition of the existing building. We recommend the client obtains an estimate of the outlined repairs necessary to bring the existing structure up to code and performs a cost analysis comparison for a complete demolition and construction of a new building.

QUALIFICATIONS

Aida Baez, PE is a licensed Professional Engineer in the state of Florida, with more than two decades of structural design experience in multiple regions of the country and worldwide. Her experience includes structural assessment of existing structures and inspections during construction. Assessment of mild-steel reinforced cast-in-place, post-tensioned, and pre-cast concrete for low and high-rise residential buildings, and commercial buildings, including parking garages, has been common throughout her 23-year career span. Conducting structural assessment, documenting existing conditions and implementing construction specifications and repair procedures has been customary throughout her career.

APPENDIX A – FIELD PHOTOGRAPHS

Photo No. 001
Date Taken: 07/10/2023
File Name: 20230710_173023225
Description: Exterior front façade

Comments: Overall front view of building



Photo No. 002
Date Taken: 07/10/2023
File Name: 20230710_173333447
Description: Cracked stucco at top of Northeast corner of building

Comments: Cracked stucco allows for water infiltration, allowing for structural water damage to wood framing members



Photo No. 003
Date Taken: 07/10/2023
File Name: 20230710_173546857
Description: Entrance doorway

Comments: Exposed electrical wires on the exterior of the building should be capped.



Photo No. 004
Date Taken: 07/10/2023
File Name: 20230710_173527910
Description: Boarded storefront openings.

Comments: Boards do not fully enclose the openings allowing for water and pest infiltration into the building.



Photo No. 005
Date Taken: 07/10/2023
File Name: 20230710_173640515
Description: Front entrance vestibule with spalled stucco and exposed framing

Comments: Spalled stucco finish allows for water and pest infiltration into the building.



Photo No. 006
Date Taken: 07/10/2023
File Name: 20230710_173848196
Description: Front entrance vestibule with cracked stucco

Comments: Full horizontal stucco crack may indicate in-plane lateral distress



Photo No. 007
Date Taken: 07/10/2023
File Name: 20230710_173938121
Description: Front entrance vestibule with spalled stucco and exposed framing

Comments: Spalled stucco finish allows for water and pest infiltration into the building.



Photo No. 008
Date Taken: 07/10/2023
File Name: 20230710_173954446
Description: Detached faux column

Comments: Susceptible to falling and injuring a pedestrian.



Photo No. 009
Date Taken: 07/10/2023
File Name: 20230710_174418143
Description: Exterior overall West elevation

Comments: Overall view of West elevation of the building



Photo No. 010
Date Taken: 07/10/2023
File Name: 20230710_174453683
Description: Large indentation on stucco finish

Comments: Presumed vehicle impact. Wall framing needs to be inspected for damage.



Photo No. 011
Date Taken: 07/10/2023
File Name: 20230710_174515638
Description: Broken window on West side of building

Comments: Broken glass window allows for water and pest infiltration into the building



Photo No. 012
Date Taken: 07/10/2023
File Name: 20230710_174714749
Description: Overall West elevation of rear expansion area

Comments:



Photo No. 013
Date Taken: 07/10/2023
File Name: IMG_7937
Description: Broken screen door and exposed door frame at Southwest corner of building

Comments: Dangerous debris needs to be removed



Photo No. 014
Date Taken: 07/10/2023
File Name: 20230710_174904543
Description: Overall South elevation of rear expansion area

Comments:



Photo No. 015
Date Taken: 07/10/2023
File Name: 20230710_174932538
Description: Underside of exterior wood-framed stairs

Comments: Toenailing of threads and stringers is not acceptable per the FBC. Railing does not meet FBC height and spacing requirements

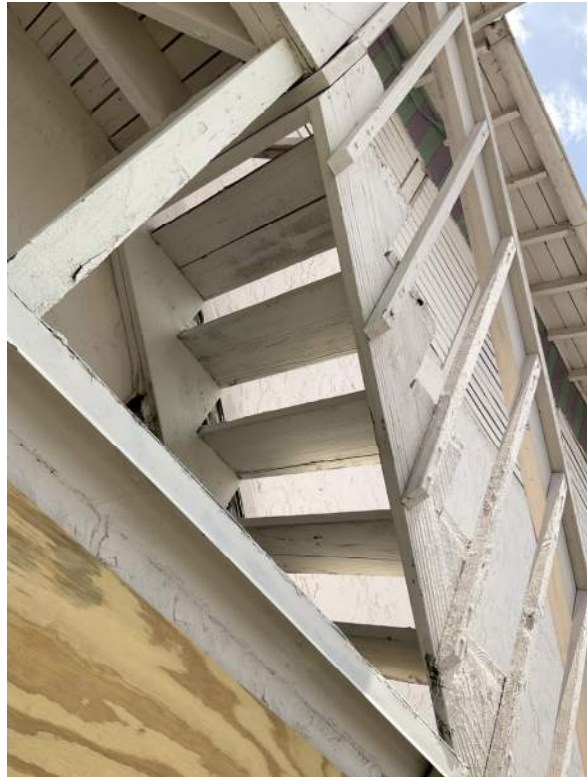


Photo No. 016
Date Taken: 07/10/2023
File Name: 20230710_175010839
Description: Exterior wood-framed stairs

Comments:



Photo No. 017
Date Taken: 07/10/2023
File Name: 20230710_175053193
Description: Overall East elevation of rear expansion area

Comments:



Photo No. 018
Date Taken: 07/10/2023
File Name: 20230710_175225471
Description: Exterior overall East elevation

Comments:



Photo No. 019
Date Taken: 07/10/2023
File Name: 20230710_175620887
Description: Interior of rear expansion framing

Comments: Extensive water damage and mold



Photo No. 020
Date Taken: 07/10/2023
File Name: 20230710_175943565
Description: Interior of rear expansion framing

Comments: Extensive water damage and mold



Photo No. 021
Date Taken: 07/10/2023
File Name: IMG_7961
Description: Interior of rear expansion - uncapped drain hole and unfinished floor

Comments: Extensive water damage, mold, paint delamination and loose debris



Photo No. 022
Date Taken: 07/10/2023
File Name: 20230710_180136250
Description: Interior of rear expansion – Opening

Comments: Infill framing and finish required in existing opening



Photo No. 023
Date Taken: 07/10/2023
File Name: 20230710_180047399
Description: Interior of rear expansion –
Un-blocked roof framing
over masonry wall

Comments: An unblocked gap allows
for water and pest
infiltration into the building.
There is not lateral load
transfer from the roof
framing onto the wall.



Photo No. 024
Date Taken: 07/10/2023
File Name: 20230710_180212710
Description: Southwest corner of
building – Gapped door
frame, unsheathed walls,
missing door headers,
water damage, debris

Comments:



Photo No. 025
Date Taken: 07/10/2023
File Name: 20230710_180559152
Description: Original building rear wall

Comments: Missing door header,
exposed stucco lath,
spaced diagonal exterior
sheathing, missing interior
wall finish

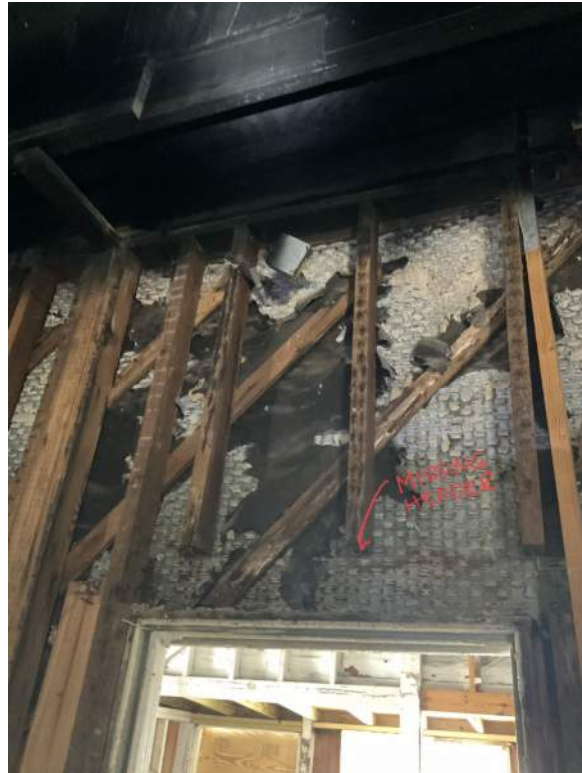


Photo No. 026
Date Taken: 07/10/2023
File Name: IMG_7970
Description: Slab demolition at rear of building

Comments: Exposed utilities should be capped. Sill plate for interior shear wall should not be cut



Photo No. 027
Date Taken: 07/10/2023
File Name: 20230710_180253426
Description: Interior wall framing

Comments: Unsheathed bearing shear wall. Interrupted sill plate, and missing hold-downs.



Photo No. 028
Date Taken: 07/10/2023
File Name: 20230710_180913972
Description: Interior Southeast corner

Comments:

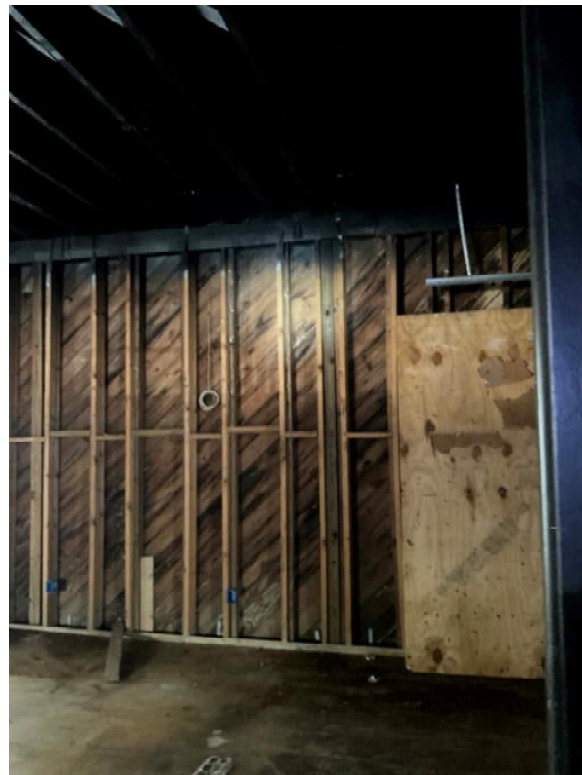


Photo No. 029
Date Taken: 07/10/2023
File Name: IMG_7974
Description: Interior front wall at
Northeast side of building

Comments: Missing sheathing, missing
headers over arched
openings



Photo No. 030
Date Taken: 07/10/2023
File Name: 20230710_181856779
Description: Floor girder by top of stairs

Comments: Bearing of girder is less
than 1 inch.



Photo No. 031
Date Taken: 07/10/2023
File Name: 20230710_183906548
Description: Roof framing temporarily shored

Comments: Near the Northwest corner of the 2nd floor a shallow roof girder is temporarily shored



Photo No. 032
Date Taken: 07/10/2023
File Name: 20230710_182541168
Description: Roof framing girder bearing over nailed stub

Comments: Framing of girder is unconventional and needs to be analyzed. Water stains on roof deck sheathing.



Photo No. 033
Date Taken: 07/10/2023
File Name: 20230710_183444030
Description: Northeast corner of building

Comments: Diagonal board sheathing spaced, exposed stucco lath, unconventional framing at top of wall to be analyzed



Photo No. 034
Date Taken: 07/10/2023
File Name: 20230710_183718585
Description: Window vertical framing at West side of building

Comments: Roof and 2nd floor wall framing bearing over unblocked floor joists



Photo No. 035
Date Taken: 07/10/2023
File Name: 20230710_183145784
Description: Decayed wood framing and discontinuous deck framing
Comments:



Photo No. 036
Date Taken: 07/10/2023
File Name: 20230710_184057412
Description: Interior stair – Bottom door is immediately adjacent to bottom step
Comments:



Photo No. 037
Date Taken: 07/10/2023
File Name: 20230710_183316911
Description: Rear expansion – Mold at shower

Comments:



Photo No. 038
Date Taken: 07/10/2023
File Name: IMG_8018
Description: Rear expansion – Mold at wall top corner

Comments:



Photo No. 039
Date Taken: 07/10/2023
File Name: IMG_8025
Description: Threshold at rear
expansion

Comments:



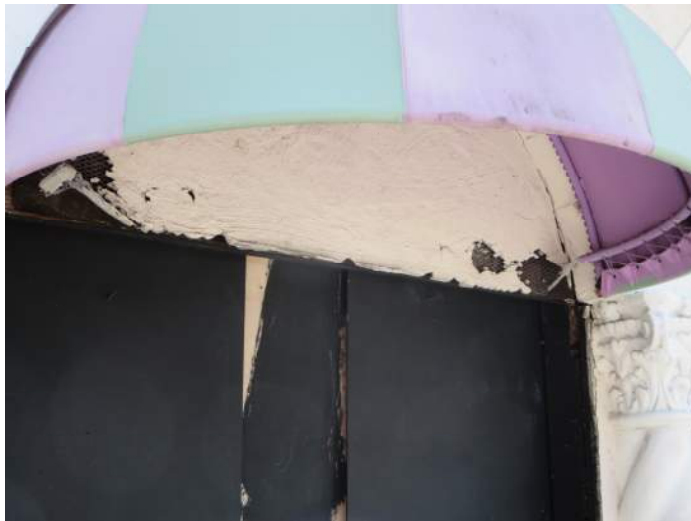
Additional Photos



Finish separation
PHOTO NO. IMG_7919



Awning framing
PHOTO NO. IMG_7920



Boarded opening
PHOTO NO. IMG_7926



Stucco finish indentation
PHOTO NO. IMG_7931



Unfastened board at wall opening
PHOTO NO. IMG_7946



Stucco repair transition around window
PHOTO NO. 20230710_175305873



Rear expansion floor framing from underside
PHOTO NO. 20230710_175601186



Rear expansion masonry wall
PHOTO NO. 20230710_180038560



Rear expansion masonry wall
PHOTO NO. 20230710_180036624



Broken top of bearing wall, joist not supported
PHOTO NO. 20230710_180056949



Original back wall, water damage, unfastened stucco finished
PHOTO NO. 20230710_180139050



1st floor interior Northwest side wall framing
PHOTO NO. 20230710_180225366



Underside of 2nd floor framing
PHOTO NO. 20230710_180258452



Underside of 2nd floor framing, discontinued top plate
PHOTO NO. 20230710_180448544



Original rear wall framing, exposed stucco lath, unfinished
PHOTO NO. 20230710_180812979



Original rear wall framing, exposed stucco lath, unfinished
PHOTO NO. 20230710_180851909



Spalled stucco finish
PHOTO NO. 20230710_181632154



Missing header over arched openings
PHOTO NO. 20230710_181658453



2nd Floor interior wall framing
PHOTO NO. 20230710_182257563



2nd Floor wall framing
PHOTO NO. 20230710_182322393



Unconventional top of wall framing
PHOTO NO. 20230710_182333863



Unconventional roof framing by the North wall
PHOTO NO. 20230710_182644649



Spliced roof joist framing at bearing ends
PHOTO NO. 20230710_182352450



Unconventional roof framing
PHOTO NO. IMG_7993



Roof framing and water stains at roof deck sheathing
PHOTO NO. IMG_7999



Discontinuous floor deck sheathing
PHOTO NO. IMG_8002



Interior wall framing at 2nd floor
PHOTO NO. IMG_8003



Discontinuous floor deck sheathing
PHOTO NO. IMG_8011