



Town of Lake Park, Florida

Historic Preservation Board Meeting Minutes

Monday, October 06, 2025 at 6:30 PM

Commission Chamber, Town Hall, 535 Park Avenue, Lake Park, FL 33403

Richard Ahrens	—	Chair
Jon Buechele	—	Vice-Chair
Evelyn Harris Clark	—	Regular Member
Karen Lau	—	Regular Member
Patricia Leduc	—	Regular Member

PLEASE TAKE NOTICE AND BE ADVISED, that if any interested person desires to appeal any decision of the Historic Preservation Board, with respect to any matter considered at this meeting, such interested person will need a record of the proceedings, and for such purpose, may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based. Persons with disabilities requiring accommodations in order to participate in the meeting should contact the Town Clerk's office by calling 881-3311 at least 48 hours in advance to request accommodations.

CALL TO ORDER

6:33 P.M.

PLEDGE OF ALLEGIANCE

Vice-Chair Buechele lead the Pledge.

ROLL CALL

Richard Ahrens, Chair Absent

Jon Buechele, Vice-Chair

Patricia J Leduc, Regular Member

Evelyn C Harris, Regular Member

Karen Lau, Regular Member

APPROVAL OF AGENDA

Motion to approve the agenda made by Board Member Leduc; seconded by Board Member Harris Clark.

Voting Aye: All

APPROVAL OF MINUTES

1. Historic Preservation Board Meeting Minutes January 22, 2024

Motion to approve the January 22, 2024 meeting minutes made by Board Member Leduc; seconded by Board Member Lau. Voting Aye: All

PUBLIC COMMENTS ON AGENDA ITEMS:

Any person wishing to speak on an agenda item is asked to complete a Public Comment Card located on either side of the Commission Chambers, and provide it to the Recording Secretary. Cards must be submitted before the agenda item is discussed.

NONE

ORDER OF BUSINESS:

The normal order of business for Hearings on agenda items is as follows:

- Staff Presentation
- Applicant Presentation (when applicable)
- Board Member questions of Staff and Applicant
- Public Comments – 3 minute limit per speaker
- Rebuttal or closing arguments for quasi-judicial items
- Motion on floor
- Vote of Board

NEW BUSINESS:

2. Special Certificate of Appropriateness for Town of Lake Park Town Hall Renovations

Town Planner Anders Viane explained the item (Exhibit A). Mr. Tim Hullihan representing TFH Architectural presented to the Board (Exhibit B). Board Member Lau asked if it was complicated to maintain a historic building. Mr. Hullihan stated that it was not complicated, but suggested that the contractor hired to do the work at Town Hall be knowledgeable and specializes in historic structures. Board Member Lau asked if Mr. Hullihan had experience in this type of project. Mr. Hullihan offered his experience, including working in the West Palm Beach projects. Board Member Harris Clark asked if the building would look better upon completion. Mr. Hullihan stated that accessibility would be beneficial to the Town. Board Member Harris Clark asked if the hardening of the windows was expected. Town Planner Viane explained that yes, but it would be done as two separate projects. Vice-Chair Buechele asked would

the doors look the same. Mr. Hullihan explained that it would look the same as now, except that it would be accessible to everyone visiting Town Hall. They would simply press a button and one door would open to all them access. Vice-Chair Buechele asked if the front cast iron gate door would remain as an access point into Town Hall. Mr. Hullihan stated “yes”.

Motion to approve the special Certificate of Appropriateness for Town Hall renovations made by Board Member Leduc; seconded by Board Member Harris Clark.

Voting Aye: All

HISTORIC PRESERVATION BOARD MEMBER COMMENTS:

NONE

COMMUNITY DEVELOPMENT DIRECTOR COMMENTS AND PROJECT UPDATES:

NONE

ADJOURNMENT:

7:00 P.M.

FUTURE MEETING DATE: TBD

 Richard C. Ahern, Chair

Town of Lake Park Planning & Zoning Board

 Vivian Mendez

Town Clerk, Vivian Mendez, MMC



Approved on this 2 of March, 2026



Staff Report

Owner/Applicant:	Town of Lake Park Public Works Department ("Applicant")
Address:	535 Park Avenue ("Property")
Current Zoning:	Public District
FLUM land use category:	Other Public Facilities
Existing uses on site:	Town Hall Offices
Photos of Structure:	See Exhibits
Historic Property Survey 1981:	c. 1927, Municipal Building

SUMMARY OF NEW REQUEST AND BACKGROUND INFORMATION:

The Town’s property at 535 Park Avenue was listed in the National Register of Historic Places on September 3, 1981 and has been locally historically designated. The property, constructed in 1927, has served as a municipal building since the Kelsey City Era, a function that it still serves today for Lake Park staff. The structure’s notable design features include jack arches, open-bed pediments over the ground floor windows, and a rusticated frontispiece in the center bay of the seven-bay façade.

Because the Town (applicant) is seeking approval to make hurricane hardening renovations to exterior façade features as well as ADA upgrades on the grounds, a special certificate of appropriateness from the Historic Preservation Board is required.

The proposed scope of work includes replacing the double entry glass door at the east side of the Commission chambers with impacted rated materials, replacing the Town Hall conference room windows with impact rated windows, creating a new ADA accessible pathway to the commission chamber doors, and reconfiguring the parking lot. In summary, these renovations are proposed for hurricane hardening and ADA compliance. The Applicant has provided photo documentation demonstrating the current conditions for the affected areas under Exhibit B.

For a complete overview of the proposed changes, please refer to the Applicant’s plans prepared by the Town’s historical architectural consultant, TFH Architecture, and included in the Applicant’s special certificate of appropriateness application packet.

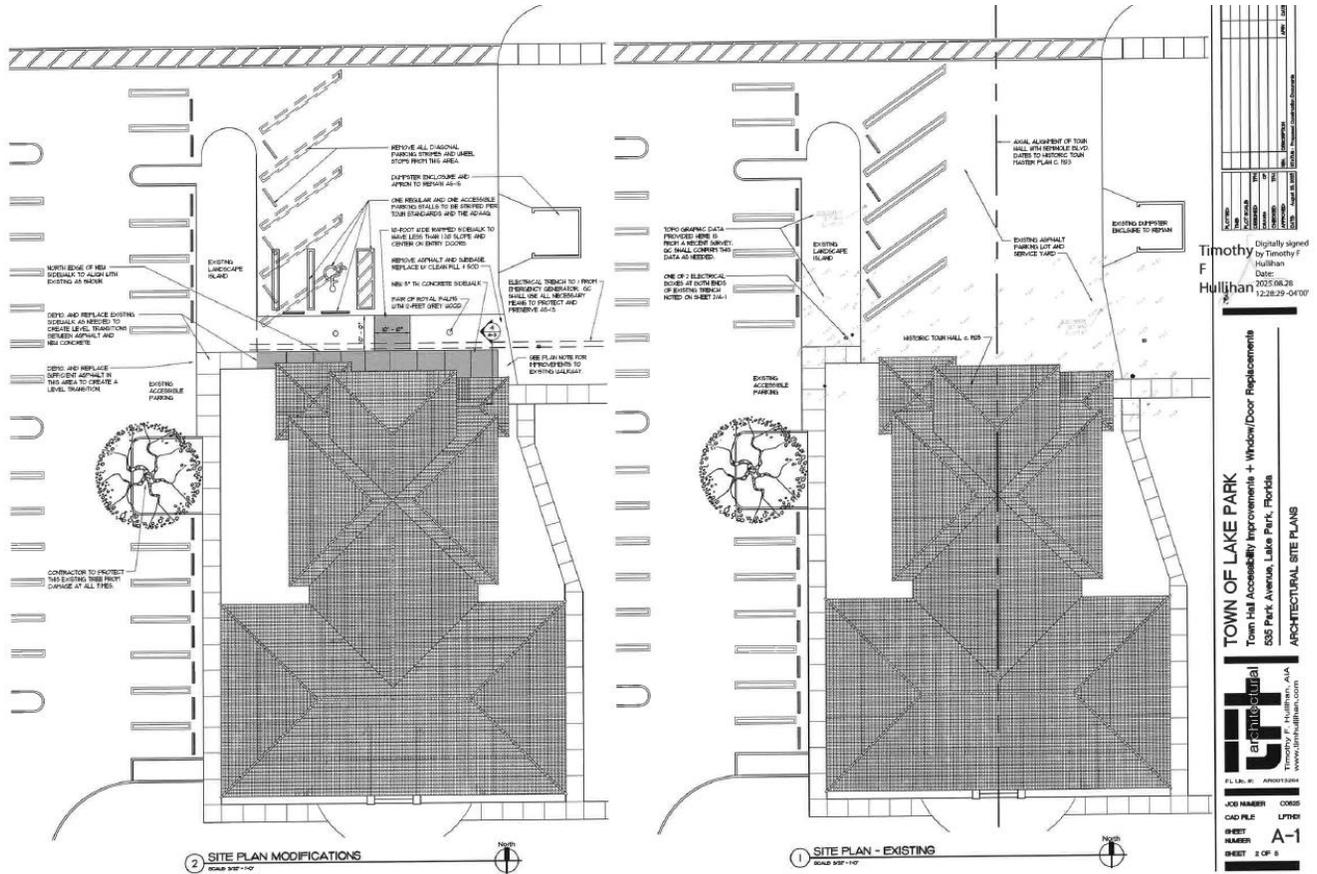
Staff has reviewed the proposed renovations for compliance with our zoning code procedures and has found TFH’s methodology to be in line with code requirements for a special certificate of appropriateness. All portions of this application pertaining to actions governed by the Florida Building Code will be subject to building permit review following the approval of this special certificate of appropriateness request.



Staff Report

Exhibits

Exhibit A – Site Plan





Staff Report

EXHIBIT B – Existing Conditions



*Double Door Entry at rear of Town Hall Commission Chambers
Doors to be replaced with similar door, Impact Rated with period correct aesthetics
Reuse existing hardware*



*Single Door Entry at rear of Town Hall into Public Information Office
Door to be replaced with similar door, Impact Rated with period correct aesthetics
Reuse existing hardware*



The sections of radius arched windows (above the casement windows) are not impact rated. Building exterior hardening plan is to change these openings to achieve an impact rating.





Staff Report



Modify the ADA pathway and access to the Commission Chambers door area



Alcove area just at Commission Chambers door area



Rear parking area leading alcove at rear Commission Chambers entry



Staff Report

APPLICABLE GUIDELINES:

Town Code Section 66-10(a) states that an application for a certificate of appropriateness is required to erect, alter, restore, renovate, excavate, move or demolish any structure, building or site that is historically designated.

Town Code Section 66-10(c) states that the Town has adopted the Secretary of Interior's Standards of Rehabilitation, which are guidelines on which applications for any certificate of appropriateness are to be measured and evaluated.

Town Code Section 66-10(e) states that any alteration to buildings or sites other than ordinary maintenance must apply for a Special Certificate of Appropriateness.

ANALYSIS AND STAFF DETERMINATION

This project proposal is being brought forward by the Town's historical architectural consultant TFH Architecture, who was retained by the Public Works Department to draft the renovation plans. In their September 15, 2025 letter, TFH has confirmed that the proposed renovations are in keeping with the applicable Secretary of the Interior's Standards of Rehabilitation, which are stated under Sec 66-10 (c) to be the adopted standards by which certificate of appropriateness applications are to be reviewed. Pertaining to the 4 relevant criteria, they offered the following responses:

1. The referenced property will be used as it was historically intended, and the proposed work will not diminish its current historic usage.
2. The historic character of the property will be retained and preserved. New materials introduced as part of the restoration work are necessary to harden the building against hurricanes and improve ADA accessibility. In every case, new materials will accurately replicate the original components.
3. The property is recognized as a physical record of its time, place and use. Work needed to stabilize, consolidate and conserve existing historic materials and features will be physically and visually compatible, identifiable upon close inspection and properly documented for future research.
4. No chemical or physical treatments are proposed. However, should they become necessary, only the gentlest means possible will be permitted. Treatments that could cause damage to historic materials are not proposed.

Based on these responses, staff is satisfied that TFH has complied with the requirements of our historic preservation ordinance pertaining to special certificates of appropriateness; for the full proposal details, please refer to TFH's plans.



**Town of Lake Park
Historic Preservation Board Meeting
Meeting Date: October 6, 2025
HPB 25-001**

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Staff Report

Staff concludes the requested actions are consistent with the Land Development Code and the Secretary of the Interior's Standards and recommends **APPROVAL**.

Hardening and Accessibility Improvements



535 Park Avenue, Lake Park, Florida

Historic Town Hall: Limited Exterior Modifications

*Presentation to the Historic Preservation Board
October 06, 2025*

Hardening an Accessibility Improvements



GENERAL NOTES:

IN ADDITION TO THE FOLLOWING REQUIREMENTS, IT SHALL BE THE HIGHEST PRIORITY IN ALL CASES TO FOLLOW THE SPECIFICATIONS OF THE APPLICABLE BUILDING CODE FOR EGRESS PATHS OF THESE STRUCTURES. SHOULD THE CONTRACTOR HAVE QUESTIONS OR CONCERNS, CONSULTATION WITH THE ARCHITECT SHOULD BE SOUGHT BEFORE PROCEEDING WITH A QUESTIONABLE APPROACH.

- THE INTENT OF THESE DRAWINGS IS TO SHOW THE OVERALL DESIGN INTENT AND PROVIDE THE BASIS FROM WHICH THE FINAL CONTRACT DOCUMENTS WILL BE PREPARED. ALL SUBCONTRACTORS SHALL BE RESPONSIBLE FOR PROVIDING A COMPLETE PROJECT OF THE HIGHEST QUALITY AND WORKMANSHIP. VENDOR, ALL ITEMS NECESSARY FOR THE COMPLETION OF THE WORK ARE REQUIRED, UNLESS NOTED OTHERWISE ON THE DRAWINGS. REVISIONS TO THE DRAWINGS SHALL BE MADE AS NECESSARY TO PROVIDE THE INTENDED RESULTS.
- THE CONTRACTOR FOR CONSTRUCTION SHALL BE AN INDIVIDUAL OR CORPORATION WITH GENERAL CONTRACTING.
- IT IS THE GC'S RESPONSIBILITY TO INSURE THAT HIS FORCES AND THOSE OF HIS SUBCONTRACTORS HAVE REVIEWED THE PROJECT PER THESE DOCUMENTS AND TO BE HELD RESPONSIBLE FOR THE BEFORE HAND WITH THE MOST SAFETY FIRST SHALL BE ADVISED AND ANY DISCREPANCIES OR CONCERNS BROUGHT TO THE ATTENTION OF THE ARCHITECT PRIOR TO COMMENCING WORK.
- THE GC SHALL VERIFY ALL DIMENSIONS. DRAWINGS SHALL NOT BE SCALED AS A BASIS FOR ANYTHING.
- THE GC SHALL INSURE THAT ALL MATERIALS ARE NEW UNLESS ALL WORK PERFORMED BY HIS SUBCONTRACTORS SHALL BE OF THE HIGHEST QUALITY.
- ALL MATERIALS AND SYSTEMS SHALL BE OF THE HIGHEST QUALITY AND SHALL BE COMPATIBLE WITH THE MANUFACTURER'S INSTRUCTIONS. SACS COUNTY LOCAL AREA PRODUCT APPROVALS WITH THE STATE OF FLORIDA.
- DELIVERY AND STORAGE SHALL BE AT ALL TIMES ACCEPTABLE TO THE MANUFACTURER AND PROVIDE COMPLETE PROTECTION.
- ALL MATERIALS AND WORKMANSHIP SHALL BE GUARANTEED FOR ONE YEAR AFTER SUBMITTAL. FINAL ACCEPTANCE IS DETERMINED BY THE ARCHITECT OR OWNER.
- THE GC SHALL MAINTAIN A CURRENT SET OF DRAWINGS ON SITE AT ALL TIMES AND OBTAIN A FINAL AS-BUILT DRAWING TO THE GENERAL CONTRACTOR, COMPLETION AND ACCEPTANCE.
- THE GC SHALL SUBMIT ALL NECESSARY SHOP DRAWINGS AND PRODUCT APPROVALS TO THE LOCAL BUILDING DEPARTMENT FOR REVIEW AND TO THE PROFESSIONAL OF RECORD, IF REQUIRED, FOR REVIEW.
- ALL SUBCONTRACTORS SHALL BE CURRENTLY LICENSED IN THE STATE OF FLORIDA AND IN THE LOCAL JURISDICTION.
- SUBSTITUTION OF ITEMS BY THE GC OR HIS SUBCONTRACTORS SHALL BE APPROVED BY THE ARCHITECT. AN EQUAL OR HIGHER QUALITY ITEM IS BEING OFFERED. APPROVAL BY THE OWNER WILL BE REQUIRED FOR ALL SUBSTITUTIONS UNLESS IT IS OTHERWISE APPROVED BY THE ARCHITECT. IT SHALL ALSO BE APPROVED BY THE LOCAL BUILDING OFFICIAL.
- THE GENERAL CONTRACTOR SHALL MAINTAIN ALL SAFETY MEASURES REQUIRED BY ANY REGULATORY BODY HAVING JURISDICTION TO PROTECT WORKMEN AND THE GENERAL PUBLIC.
- ALL NECESSARY FIRE PROTECTION EQUIPMENT AND SERVICES SHALL BE MAINTAINED IN A WORKING AND ACCESSIBLE STATE THROUGHOUT THE DURATION OF THE CONSTRUCTION CONTRACT.
- SHOULD THE ARCHITECT BE PROVIDED WITH ANY INFORMATION CONCERNING THESE SERVICES, THE OWNER AND THE GC ARE SOLELY RESPONSIBLE FOR COMPLIANCE WITH THE PRINTED PLANS AND SPECIFICATIONS. THE QUALITY OF WORKMANSHIP AND FINAL MATERIAL SELECTION, ALL PHASES OF THE PROJECT, THE WORK, THE WORK ACCESSIBILITY SHALL BE COORDINATED WITH THE OWNER.
- IMPREGNATION IS PART OF THESE DOCUMENTS WHETHER A SEPARATE BOOK OR WITHIN THE DRAWING. ALL DRAWINGS, SPECIFICATIONS AND NOTES WITHIN THESE DOCUMENTS ARE COMPLEMENTARY TO EACH OTHER. WHAT IS CALLED FOR HERE IS REFERRED TO ELSEWHERE.
- OPTIONAL MATERIALS SHALL BE INSTALLED IN ACCORDANCE WITH THE LATEST EDITION OF THE UNIFORM CODES OF ORDINANCES. ALL APPROVED PRODUCTS SHALL BE EQUAL AND TRUE HAVING NO VISIBLE GAPS OR IMPROPER FITS. PURCHASING AND INSTALLATION SHALL BE THE RESPONSIBILITY OF THE ARCHITECT.
- THE GC SHALL MAINTAIN ADEQUATE LIABILITY INSURANCE ON THE ACCOUNTS OWNED BY THE OWNER THROUGHOUT THE DURATION OF THE CONSTRUCTION CONTRACT.
- UPON FINAL COMPLETION, THE GC SHALL THROUGHOUT A CLEAN PREMISES TO THE SATISFACTION OF THE OWNER.
- ALL KITCHENWARE, FURNITURE AND FIXTURES SHALL BE BY THE OWNER OR UNDER CONTRACT. GC TO COORDINATE INSTALLATION WITH THE OWNER AND PROVIDE ASSISTANCE AS REQUESTED.
- ALL SURFACES TO BE FINISHED SHALL BE FINISHED PERMANENT. EACH SUCCESSIVE COAT SHALL BE APPLIED ONLY WHEN PREVIOUS COAT HAS THROUGHO DRYED.
- GC SHALL PROVIDE PROTECTION AND RECOMMENDATION FOR MAINTENANCE OF ALL MATERIALS AND EQUIPMENT INSTALLATIONS TO THE OWNER. PROPER MAINTENANCE OF SAID SHALL BE THE RESPONSIBILITY OF THE OWNER AND GC. FAILURE TO MAINTAIN PROPER MAINTENANCE SHALL BE THE RESPONSIBILITY OF THE OWNER AND GC. COORDINATE WITH THE OWNER. THE OWNER SHALL REMAIN THE SOLE RESPONSIBILITY OF THE OWNER AND/OR GC.
- A CERTIFICATE OF OCCUPANCY SHALL BE OBTAINED AT THE BUILDING STOP. PRIOR TO REQUESTING FINAL PAYMENT FROM THE OWNER.
- FREE CONSULTATION SHALL BE PROVIDED IN THE PROPER QUANTITY AND TYPES REQUIRED BY ALL APPLICABLE CODES.
- THE GC AND HIS SUBS SHALL REQUEST FROM THE ARCHITECT ANY ADDL INFORMATION AND/OR DETAILS THEY MAY NEED TO FULLY UNDERSTAND THE DESIGN INTENT. LACK OF APPROPRIATE DETAILS ON THE REQUESTED FOR INFO WILL NOT EXCUSE IMPROPER INSTALLATION AND CORRECTIONS SHALL BE MADE BY THE GC OR AS ADDITIONAL COST TO THE OWNER.
- AN ESTIMATE OF CONSTRUCTION DURATION SHALL BE PROVIDED TO THE OWNER BY THE GC FOR APPROVAL.
- WORK SHALL COMMENCE WITHIN NOT BE DELAYED ON THE INTERFERENCE OF AN INTERIOR WALL ANYTIME.
- THESE PLANS HAVE BEEN PREPARED TO COMPLY WITH APPLICABLE LOCAL PERMITS. ONLY ANY WORK BEYOND THE SCOPE OF THESE DRAWINGS NOT REVIEWED OR APPROVED BY THE ARCHITECT OR WRITING SHALL NOT BE THE ARCHITECT'S RESPONSIBILITY.
- THE GC SHALL COORDINATE THE INSTALLATION OF A RAIN WATER TO AVOID CONFLICTS. THE GC SHALL ENSURE THAT ALL PERMITS ARE OBTAINED AND ALL LAWS ARE MET. THE INSTALLATION OF RAIN WATER, DOWNSPUTTERS AND DRAINAGE SYSTEMS SHALL BE THE RESPONSIBILITY OF THE ARCHITECT AND ENGINEER. THE GC SHALL BE RESPONSIBLE FOR THE INSTALLATION OF THE RAIN WATER. THE ARCHITECT AND ENGINEER SHALL REVIEW SHOP DRAWINGS IF IT WILL BE A BURDEN TO THE CONTRACTOR APPROVAL. APPROVAL ALL CONTRACTS SHALL BE REVIEWED PRIOR TO COMMENCING THE WORK. REVISIONS SHALL BE MADE FROM A LACK OF COORDINATION SHALL BE MADE AT NO ADDITIONAL COST TO THE OWNER.
- GC SHALL COORDINATE, INSTALL ALL NECESSARY RAINWATER AND ACCESSORIES.
- ALL NEW CONSTRUCTION MUST MEET ANY APPLICABLE REQUIREMENTS. CONTACTS OR CONCERNS SHOULD BE REPORTED TO THE ARCHITECT'S ATTENTION PRIOR TO COMMENCING THE WORK. THE ARCHITECT SHALL BE RESPONSIBLE FOR THE STRUCTURE INTO COMPLIANCE WITH THE "AS-BUILT" PART OF THE FINISHED SCOPE OF WORK.
- NO ACCESSIBLE CONTIGUOUS MATERIALS SHALL BE PROVIDED TO THE GC.
- COPIES OF MATERIALS, SAFETY DATA SHEETS, MSDS, FOR ALL MATERIALS USED FOR OR ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT SHALL BE PROVIDED TO THE OWNER BY THE GC.
- WHENEVER SIMILAR MATERIALS MUST BE IN CONTACT WITH EACH OTHER, AND ARE SEPARATED ON THE BELOW SCALE BY INTERFERENCE FROM ANOTHER MATERIAL, THE CONTRACTOR SHALL BE RESPONSIBLE FOR EACH OTHER A METAL INTERFERENCE TO BE USED TO AVOID CONTACT.
- ALUMINUM, ZINC, GALVANIZED IRON, TIN OR STEEL, LEAD, WOOD, STAINLESS STEEL, COPPER, MONEL.
- ALL WOOD CONTACTS IN CONTACTED MATERIALS SHALL BE HELD IN CONTACT.
- ALL REQUIREMENTS AND EXIT PATHWAYS SHALL REMAIN OPEN AND FREE OF OBSTRUCTION AT ALL TIMES.
- SEE SPECIFICATIONS FOR NON-SMOKE REQUIREMENTS.
- ALL CONSTRUCTION ACTIVITY SHALL BE PERFORMED IN A MANNER THAT WILL NOT ADVERSELY IMPACT THE CONDITION OF ADJACENT PROPERTY. UNLESS SUCH ACTIVITY IS PERMITTED TO AFFECT SAID PROPERTY PURSUANT TO AN INTEREST AGREEMENT BETWEEN PROJECT OWNER AND ADJACENT PROPERTY OWNER.
- IT IS UNLAWFUL FOR ANY PERSON TO ALLOW CONSTRUCTION RELATED MATERIALS, EQUIPMENT AND DEBRIS TO REMAIN UNREMOVED AT A CONSTRUCTION SITE OR TO BE STORED IN A MANNER THAT IS UNLAWFUL UNDER ANY APPLICABLE LAW. ANY PERSON WHO VIOLATES THIS PROVISION SHALL BE SUBJECT TO A FINE OF UP TO \$500.00 PER VIOLATION. ANY PERSON WHO VIOLATES THIS PROVISION SHALL BE SUBJECT TO A FINE OF DISCIPLINARY ACTION PURSUANT TO FLORIDA STATUTES.
- ALL CONSTRUCTION, ALTERATION, OR DEMOLITION OPERATIONS SHALL COMPLY WITH NFPA 70E.

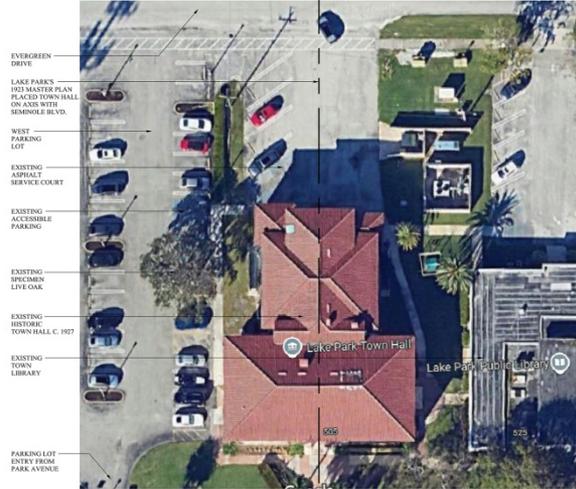
Exterior Improvements for: Town of Lake Park, Historic Town Hall

535 Park Avenue, Lake Park, Florida

FINAL CONSTRUCTION DOCUMENTS: AUGUST 25, 2025

TFH Architectural Services, LLC

640 U.S. HIGHWAY ONE, SUITE 18
north Palm Beach, Florida 33408
561.557.2607
tfh_architect@msn.com



KEY SITE PLAN - TOWN HALL, LAKE PARK, FLORIDA
SCALE: 1/4" = 1'-0"

PROJECT SCOPE:

EXTERIOR RESTORATION AND IMPROVEMENTS TO THE EXISTING TOWN HALL ARE LIMITED TO WINDOW AND DOOR REPLACEMENT, AND THE CREATION OF AN ACCESSIBLE ROUTE TO THE COMMERCIAL CHAMBER AND RELATED SITE WORK NOTATION. ALL CONSTRUCTION MEANS AND METHODS REASONABLY CONNECTED TO THIS SCOPE OF WORK SHALL BE INCLUDED.

BUILDING CODE CLASSIFICATION

2023 FLORIDA BUILDING CODE WITH REVISIONS & SUPPLEMENTS
NFPA 101 LIFE SAFETY CODE, LATEST EDITION
NFPA 70A STANDARD FOR SAFETY LIGHTING CONSTRUCTION, ALTERATION, AND DEMOLITION OPERATIONS
NFPA 70, LATEST EDITION, NATIONAL ELECTRIC CODE
NFPA-72, LATEST EDITION
NFPA-32, LATEST EDITION

SUMMARY OF NEW ACCESSIBLE ENTRANCE

1. THE NEW DOOR DOES NOT ALTER THE EXISTING COMBINED EGRESS WIDTH FROM THE COUNCIL CHAMBER.
2. THE POWER ASSISTED OPENING METHODOLOGY SHALL COMPLY WITH THE ADA WHILE REMAINING AN EMERGENCY EXIT. THESE IT SHALL BE INTERACTED WITH FIRE ALARM TO INSURE THAT IT DEFAULTS TO AN UNLOCKED AND FREE TO OPEN STATUS WHEN FIRE ALARMS IS TRIGGERED.

INTERIOR FINISHES

TABLE 903.5.3 FOR TYPE W OCCUPANCY, NON-SPRINKLERED, CLASS "B" IS ALLOWABLE. NFPA 90B SEC. 10.2.1.1 & 903.2.1.1.8 TABLE A.10.2.2

FIRE SPRINKLERS AND ALARMS

EXCEPT FOR THE INTERFACE MENTIONED ABOVE, FIRE ALARM SYSTEM ADDITIONS AND/OR MODIFICATIONS ARE NOT REQUIRED OR PROPOSED.

OCCUPANT LOAD CALCULATIONS

THE MODIFICATIONS PROPOSED HEREIN HAVE NO AFFECT OF THE EXISTING OCCUPANCY TYPE, LOAD OR EGRESS CAPACITY OF THE EXISTING FACILITY. THE SIZE AND LOCATION OF ALL INTERIOR USES WILL REMAIN THE SAME, AND THE WIDTH AND LOCATION OF ALL EGRESS POINTS WILL REMAIN AS-IS. THEREFORE, THE INGRESS / EGRESS CONFIGURATION REMAINS UNCHANGED.

THIS, NO OCCUPANCY CALCULATION HAS BEEN CREATED, NOR SHOULD ONE BE REQUIRED.

INDEX OF DRAWINGS

CVR KEY PLAN, LOCATION MAP AND GENERAL NOTES
ARCHITECTURAL:
A-1 SITE PLANS - NEW AND EXISTING
A-2 1ST FLOOR PLANS - NEW AND EXISTING
A-3 EXTERIOR ELEVATIONS AND SECTIONS
A-4 DETAILS AND SPECIFICATIONS

LOCATION MAP:



NO.	DATE	DESCRIPTION	BY	CHKD.

TOWN OF LAKE PARK
 Town Hall Accessibility Improvements + Window/Door Replacements
 535 Park Avenue, Lake Park, Florida
COVER SHEET

TFH
 architectural
 TFH ARCHITECTURAL
 640 U.S. HIGHWAY ONE, SUITE 18
 NORTH PALM BEACH, FLORIDA 33408
 561.557.2607
 www.tfharchitect.com

PL L-01-A 20250824
 JOB NUMBER: 0005
 CAD FILE: LPT01
 SHEET NUMBER: CVR
 SHEET 1 OF 5



Cover Sheet



Hardening and Accessibility Improvements



EXISTING SIDEWALK AT THIS LOCATION TO BE REPOURED AS NECESSARY TO MEET NEW ACCESSIBLE PATH. SEE PLAN ON THIS SHEET FOR ADDITIONAL INFORMATION.

CONTINUOUS UP FIBERGLASS EXPANSION STRIP TO BE CAPPIED BY A CONTINUOUS BEAD OF TRAFFIC GRADE SEALANT THAT CLOSELY MATCHES THE COLOR OF THE CONCRETE SIDEWALK.

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE REPOURED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

NORTH ENTRANCE TO COUNCIL CHAMBERS IS A NEW GASTON FABRICATED REPLICA OF THE ORIGINAL C. NET DOOR. IT SHALL NOT BE REPOURED IN ANY WAY AS PART OF THIS PROJECT. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT IT FROM INADEQUATE DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

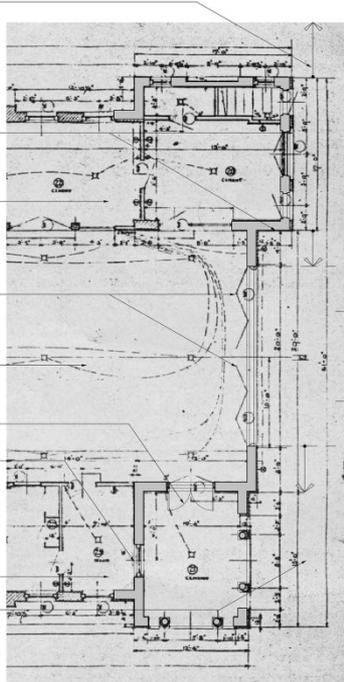
EXISTING COUNCIL CHAMBERS TO REMAIN AS-IS. CONTRACTOR LIMIT ACCESS TO THE INTERIOR TO THE GREATEST EXTENT POSSIBLE. PROTECT FROM COLLISION OR ALTERATION AT ALL TIMES DURING CONSTRUCTION.

EXISTING PAIR OF DOORS TO BE REPOURED AND REFINISHED. SEE PLAN ON THIS SHEET FOR ADDITIONAL INFORMATION.

ALUMINUM SILENT DOOR
THIS EXISTING DOOR IS A REPLACEMENT FROM A PREVIOUS PROJECT. IT APPEARS TO BE HURRICANE RESISTANT (G-1 VERIFY). IT SHALL BE REFINISHED AS THE AVAILABLE COLOR FOR ALL NEW WINDOWS AND DOORS IN THIS PROJECT, AND SHALL BE REFINISHED AS PART OF THIS PROJECT TO MATCH ADJACENT NEW ADA DOOR. IF IT IS DETERMINED AN EXISTING REPLACEMENT OR ALTERNATE SET UP SHALL BE REQUIRED, THE G-1 TO REPLACE IT TO THE FOLLOWING CRITERIA:
1. GASTON COLUMN ALUM. CLAD WOOD DOOR
2. EXACT REPLICATION OF EXISTING DOOR
3. MANUFACTURED BY KOLBE BROS. & CO. DOORS
4. INITIAL NEW G-1 PROOF APPLIC. PL. 10/0000

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE REPOURED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

EXISTING APPARATUS SERVICE DRIVE TO BE REPOURED TO ACCOMMODATE ACCESSIBLE ACCESS IMPROVEMENTS. SEE PLAN ON THIS SHEET FOR ADDITIONAL INFORMATION.



2 PARTIAL EXISTING FIRST FLOOR PLAN
SCALE 1/4" = 1'-0"

CONTINUOUS AND UNIFORM FLOORS AT LEAST 1/4" TO 3/8" TO ASPHALT PARKING LOT. SEE TOPIC NOTES FOR ADDITIONAL INFO.

SEE SITE PLAN FOR NEW SIDEWALKS — CONTINUATION AND REPAIRS, REPOUR OR REMOVE EXISTING SIDEWALK AS NEEDED TO ACHIEVE FULLY ACCESSIBLE ROUTE FROM GREAT PARKING LOT.

THE HEIGHT OF SIDEWALK LEVEL AT THE SOUTH EDGE AT AN ELEVATION EQUAL TO THE EXISTING THRESHOLD AT 0.0. THE NORTH EDGE IS 0.15" BELOW 0.0.

CONTINUOUS UP FIBERGLASS EXPANSION STRIP TO BE CAPPIED BY A CONTINUOUS BEAD OF TRAFFIC GRADE SEALANT THAT CLOSELY MATCHES THE COLOR OF THE CONCRETE SIDEWALK.

EXISTING INTERIOR OF TOWN HALL IS NOT TO BE REPOURED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

A SLIGHT RAMP DOWN IN THIS SHORT SECTION TO MAINTAIN THE SAME ELEVATION ALONG THE 0.0 ELEVATION AT THE THRESHOLD FOR MAIN ENTRY DOORS.

NORTH ENTRANCE TO COUNCIL CHAMBERS IS A NEW GASTON FABRICATED REPLICA OF THE ORIGINAL C. NET DOOR. IT SHALL NOT BE REPOURED IN ANYWAY AS PART OF THIS PROJECT. CONTRACTOR SHALL USE ALL MEANS NECESSARY TO PROTECT IT FROM INADEQUATE DAMAGE THROUGHOUT THE CONSTRUCTION PERIOD.

EXISTING COUNCIL CHAMBERS TO REMAIN AS-IS. CONTRACTOR LIMIT ACCESS TO THE INTERIOR TO THE GREATEST EXTENT POSSIBLE. PROTECT FROM COLLISION OR ALTERATION AT ALL TIMES DURING CONSTRUCTION.

REMOVE ACCESSIBLE ENTRANCE TO COUNCIL CHAMBERS. EXISTING PAIR OF DOORS TO BE REPOURED AND REFINISHED WITH A GASTON SINGLE LEAF REPLICA ASSEMBLY. SEE DOOR ELEVATION DETAILS AND NOTES FOR ADDITIONAL INFORMATION.

NEW DOOR THRESHOLD TO BE FROM DOOR MANUFACTURER AND HAVE MINIMUM ADA COMPLIANT PROFILE.

VERIFY IF EXISTING CIRCUIT CAN BE USED TO USE TO POWER DOOR OPERATION. NEW DOOR ASSEMBLY SHALL HAVE PUSH BUTTON ELECTRICALLY POWERED OPERATOR TO ACHIEVE FULL ADA COMPLIANCE. ALL NEW ELECTRICAL TO BE FULLY CONCEALED — NO EXPOSED CONDUIT.

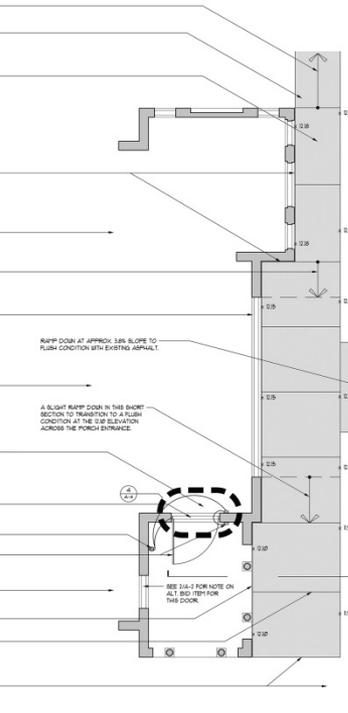
EXISTING INTERIOR OF TOWN HALL IS NOT TO BE REPOURED OR ALTERED IN ANYWAY AS PART OF THIS SCOPE OF WORK.

CREATE FLUSH ACCESSIBLE CONDITION BETWEEN NEW AND EXISTING CONCRETE. TYPE

LOCATE CONTROL JOINTS IN NEW CONCRETE WALKWAY TO ALLOW UP TO 3 OPENING CONTROLLED JOINTS OPERATE IN NORTH ELEVATION AS SHOWN. THEN ADD ADDITIONAL JOINTS AS SHOWN AT EQUAL SPACING.

NEW SIDE WALK ENDS UP TO 6" STEP DOWN TO EXISTING WALKWAY. REPOUR EXPAND AND/OR REPLACE PORTION OF EXISTING PAVEMENT TO MAINTAIN A MINIMUM 4'-0" WIDTH OF CONCRETE.

PLEASE NOTE:
EXCEPTS FROM THE ORIGINAL ARCHITECTURAL DRAWINGS PROVIDED BY BRUCE STODOLLA IN THE 2008 ARE USED HEREIN UPON EXPRESSION FROM THE TOWN OF LAKE PARK. THE GENERAL CONTRACTOR SHALL NOTIFY THE ARCHITECT OF ANY DISCREPANCIES BETWEEN THESE DRAWINGS AND THE ORIGINAL ARCHITECTURAL DRAWINGS SO ADJUSTMENTS CAN BE MADE PRIOR TO THE UTILIZATION OR BEFORE ANY PROBLEMS OR DELAYS.



1 PARTIAL NEW FIRST FLOOR AT NORTH ENTRY
SCALE 1/4" = 1'-0"

NO.	DATE	DESCRIPTION	BY	CHECKED

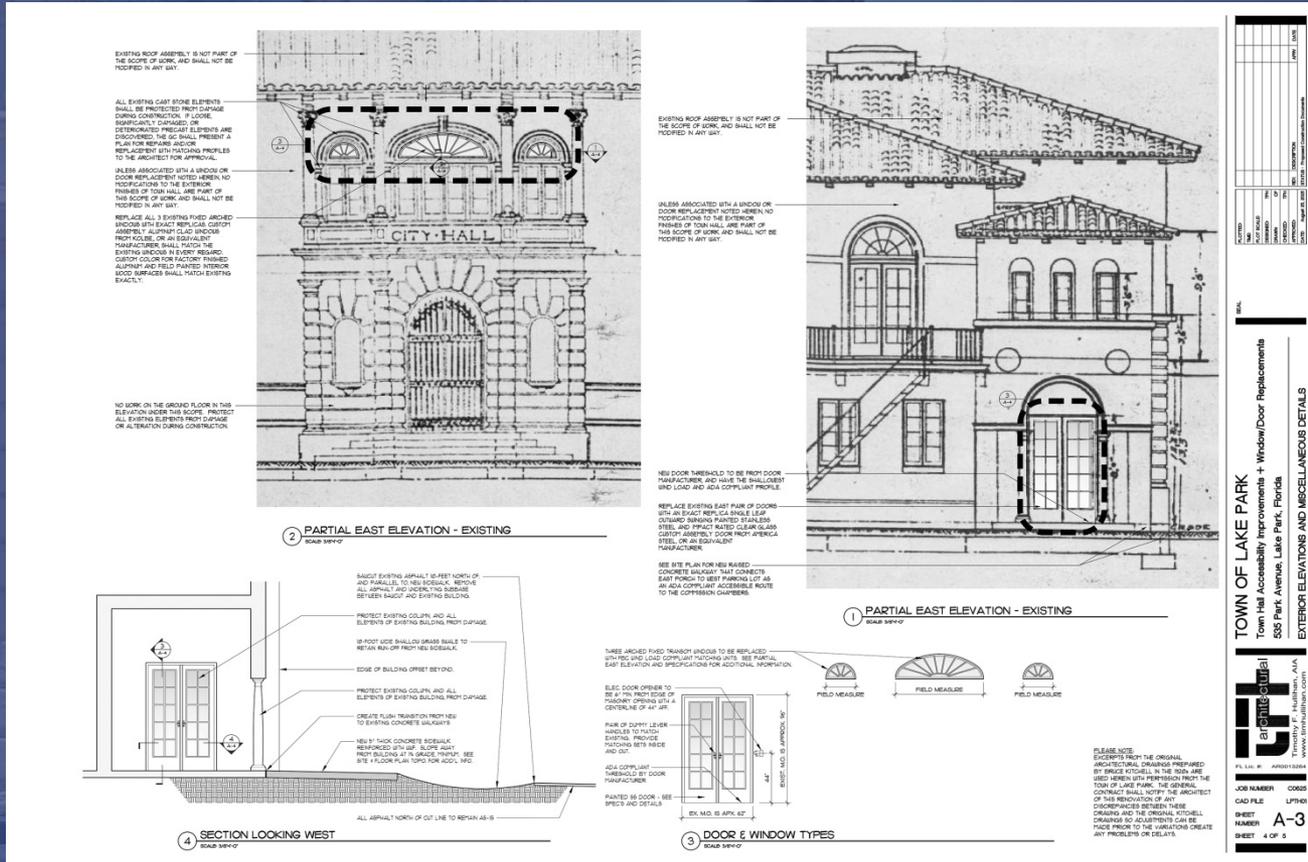
TOWN OF LAKE PARK
 Town Hall Accessibility Improvements + Window/Door Replacements
 635 Park Avenue, Lake Park, Florida
 PREPARED BY: **architectural**
 PROJECT NO.: 2023000004
 JOB NUMBER: 0005
 CAD FILE: LPT01
 SHEET NUMBER: **A-2**
 SHEET 3 OF 5



Floor Plans



Hardening and Accessibility Improvements



Hardening and Accessibility Improvements



535 Park Avenue, Lake Park, Florida

Historic Town Hall: Limited Exterior Modifications

*Presentation to the Historic Preservation Board
October 06, 2025*