

TOWN OF LAKE LURE

Zoning And Planning Board Regular Meeting

Tuesday, July 16, 2024 at 9:30 AM

Meeting to be held at Town Hall



Agenda

I. Roll Call

II. Approval of Agenda

III. Approval of June 18 meeting minutes

IV. Public comments

V. Old Business

VI. New Business

A. Review of submitted 9 lot, single family residential subdivision Preliminary Plat for Awen, LLC, with town staff approvals, for approval decision by Zoning & Planning Board. Site location between Quail Ridge Road and Kings Drive.

B. Discussion regarding "Protected Mountain Ridges" overlay zones as regulated by section 36-71.

C. Discussion regarding permit eligibility of accessory building without a primary building as defined in section 36-5.

VII. Monthly Department Report

VIII. Adjournment



**MINUTES OF THE REGULAR MEETING OF THE TOWN OF
LAKE LURE ZONING AND PLANNING BOARD**

TUESDAY, JUNE 18, 2024
9:30 A.M.

Present: Randall Nelson, Chair
Dave Keenan
Ken Williams
Charlie Ellis
Scott Doster, Town Council Liaison

Absent: **Mac Hillabush**

Staff: Michael Williams, Community Development Director
Richard Carpenter, Development and Environmental Review Specialist

The meeting was called to order at 9:33 a.m.

I. ROLL CALL

Pledge of allegiance

II. APPROVAL OF THE AGENDA

Dave Keenan made a motion to approve the agenda as presented, Ken Williams second it, and all voted in favor.

III. APPROVAL OF THE MINUTES

Charlie Ellis Made a Motion to approve the minutes from May 21, 2024 as presented Dave Keenan Seconded and all were in favor.

IV. PUBLIC COMMENT

No public comments

V. OLD BUSINESS

- A. Status of Board's recommendation re: amending code of ordinances Chapter 4 (public school to keep goats for educational purposes).

Mike Williams –Addressed the board in regards to the recommendation that was made at the last meeting, for the animals to be used in public schools of Lake Lure was approved by town council – there were some discussions at the regular town council meeting and comments from the audience asking if it was allowed everywhere in the town and the council members specified that the use of the animals were being allowed for educational purposes only. There is only one in town right now and don't anticipate any others and they will have goats and chickens. The chickens are permitted to be there but they don't have any permits yet, they need to be added to the permitted system which Mr. Williams said he is working on that and has been in communications with the school to find out how many chickens they will need.

- B. Status of pending AWEN subdivision proposal.

Mike Williams, informed the board that the subdivision was not a review but talk to Carolina water systems, they said that they don't have the capacity, they can't serve them water but they can give them a fire hydrant – they have septic. They are going to put a six inch line which it's required by our code for future availability they are going to put a water tab, for water storage so they can have the capacity for fire hydrants, because one of the issues that came up were if they go in there without adequate fire protection without hydrants that can potentially can affect he whole town, so they agreed to putting wells and septic's as well as the fire hydrants. And as soon as all of that in in writing then there will be something for the board to review.

- C. Follow-up report relating to last month's "historic overlay" discussion.

Mike Williams shared that there is a group attempting to buy the historic Lake Lure Inn that is evaluating potential historic registration for the property. He reminded board of their discussion at the last meeting regarding "historic overlays" and the consensus was that the Town may want to wait and see what that groups thoughts were since they would own a very significant portion of the overlay area that the board had discussed.

VI. NEW BUSINESS

- A. SUP2024003 for new commercial building at 1804 Memorial Highway

Mike Williams said that Mr. Frank Butera, it still building the previously approved work shop but the building currently does have metal siding. It is not finished yet and he is in the process of making the necessary changes to sheath the metal. The finished siding will be approved hardi-board, because the metal siding is in violation with the towns ordinances. We can't finalize anything until the building is finished. In the meantime, Mr. Butera has purchased a storage shipping container and is using it as a storage building, which is not in compliance with the code. Mr. Frank Butera, mentioned that he will do what the town ask of him to make sure he meets the town ordinances, to be able to establish his business there.

Mike Williams, speaking on the new application, stated that the plans they have so far don't meet the ordinance requirements. His recommendation to the board was to not approve that application because metal storage containers are not permitted under Town Code.

Charlie Ellis Made a motion that permit number SUP2024003 not be considered because the application is incomplete and therefore it cannot be considered at this time, Ken Williams seconded and all voted in favor.

B. SUP2024004 for new commercial building at 2550 Memorial Highway

Mike Williams, reports that the request is to approve a 42' by 70' commercial office building. The building would have a metal frame and similar to the Butera workshop building, but the plans are to have it match the Gorge Outreach building on adjacent property. Board reviewed the copy of the plans, the Development Review recommendation that they get a DOT driveway permit, and Williams reminded the board that their specific consideration should focus on the ordinance design and appearance standards. Williams reviewed a copy of those standards from the Code Book. He stated that the building is a permitted use and that the only reason for the Special Use permit is because our code says that all new commercial buildings should be reviewed.

Dave Keenan made a motion to approve the permit for SUP2024004 for new commercial building at 2550 Memorial. Charlie Ellis seconded – all voted in favor.

VII. MONTHLY DEPARTMENT REPORT

Mike Williams reported that cell tower is projected to be within weeks of breaking ground, probably in July. Also reported that we have two Appalachian State interns working in the town – Megan Pitts is working in our department and with Public Works. She is doing research to update our street right of way information, we have limited information on them. She is also using her Arc GIS skills to help us and Public works with mapping projects. Trey Blackwood – is an intern who is working with the Town Manager. He is in the Master's program, pursuing a career as a Town Manager.

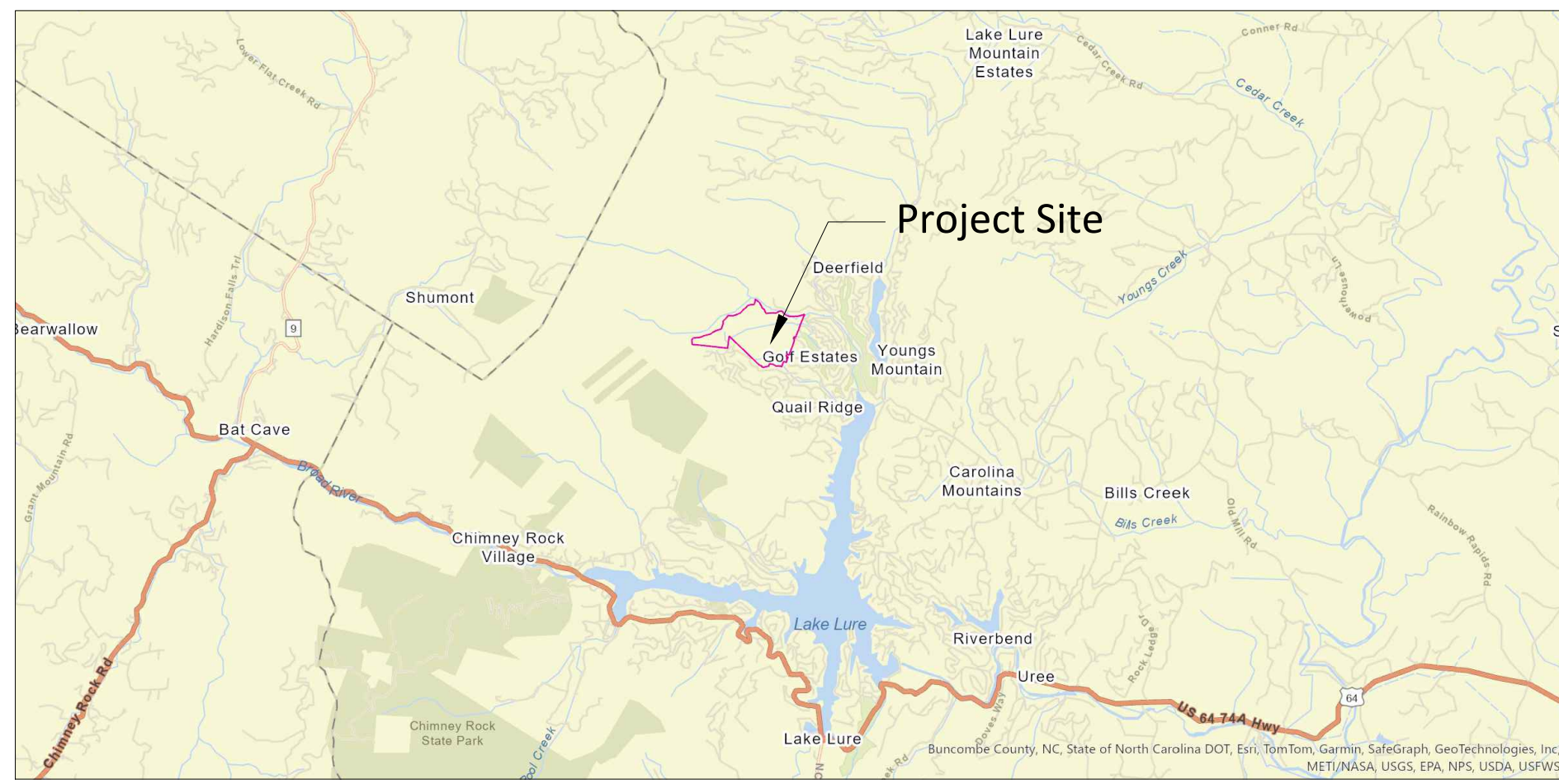
VIII. ADJOURN

Dave Keenan made a motion to adjourn the meeting, Ken Williams seconded all in favor, the meeting ended at 10:22 a.m.

ATTEST

Elba A. Willette, Town Clerk

Randall Nelson, Board Chair



VICINITY MAP

I hereby certify that the rights-of-way and design of all streets represented on this plat have been approved by the Town of Lake Lure and that said streets have been or will be constructed in accordance with town requirements for public streets. I hereby dedicate said rights-of-way to the town for use as public streets. Further, until such time that the town, by resolution, accepts said dedication, the responsibility for maintenance shall rest with .

Date	Owner
------	-------

Preliminary Plat Submittal for Awen LLC Lots 1-10 PIN # 9536-57-5870 82' 12.5627607° W 35' 37.8819003° N

Owner:
AWEN, LLC
490 Lakewood Drive
Lake Lure, NC 28746
404-859-4046

Plan Set prepared by
Greg Gotsch PLA
Box 9251
Asheville, NC 28815
(828) 900-8700

Zoning Data:
R3 : Resort Residential District Primary Use :
Single Family Residential Town of Lake Lure,
Chimney Rock Township
Rutherford County, North Carolina

Adjacent Parcels : R3
Primary Use : Single Family Residential

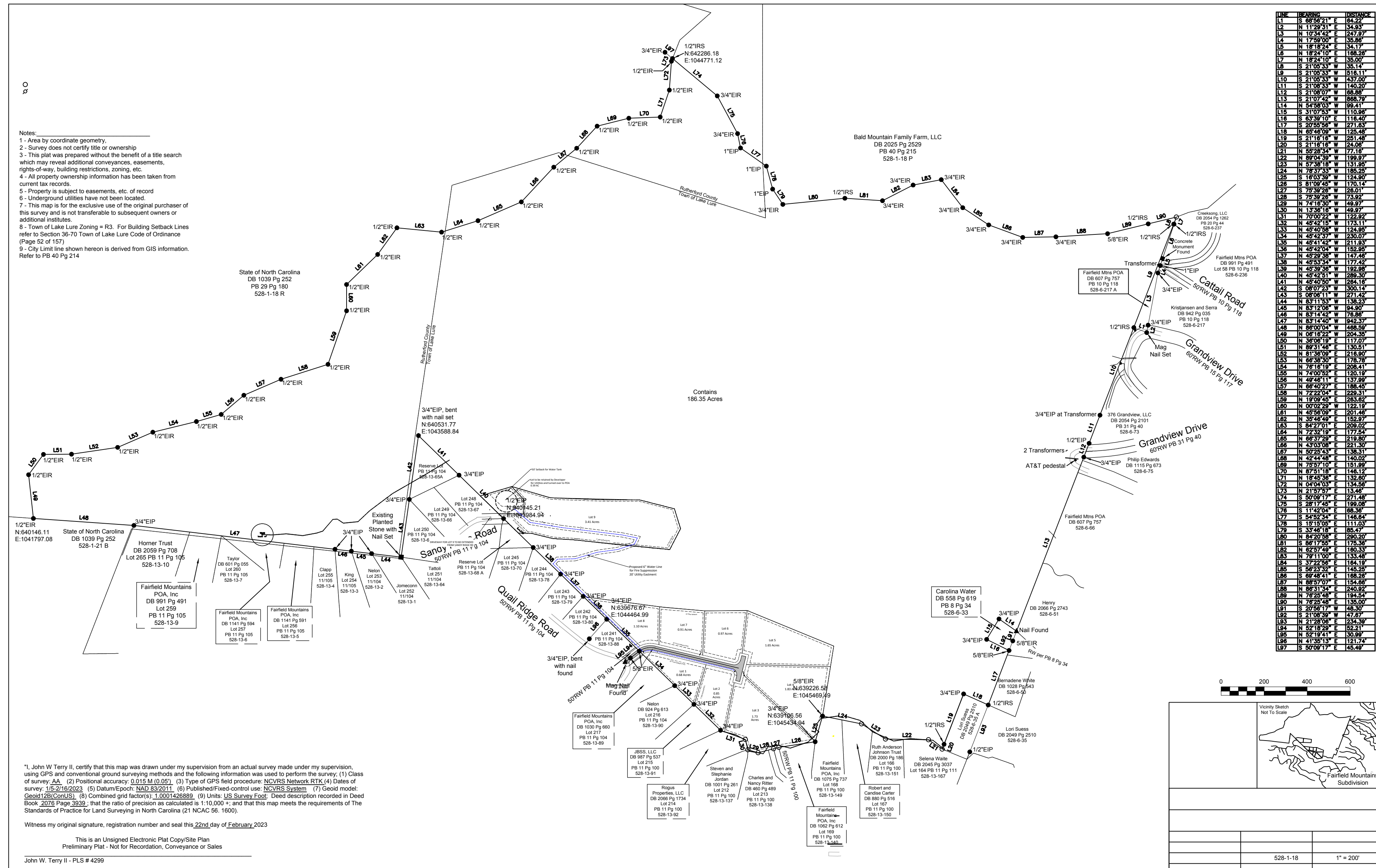
Date	03/26/2024
Submissions	Preliminary Plat Submittal 3/25/2024
	Preliminary Plat Submittal Comments 05/20/2024
	Preliminary Plat Re-Submittal 07/03/2024



LRM
P.O. BOX 9251
ASHEVILLE, N.C. 28815
Phone: (828) 900-8700
www.landrm.com

- DRAWING INDEX:**
- T1 TITLE SHEET
 - SR1 SURVEY
 - S1 SITE PLAN
 - ESC2 EROSION CONTROL
 - P1 PLAN AND PROFILE
 - U1 UTILITY PLAN
 - D1 DETAILS
 - D2 DETAILS
 - D3 DETAILS
 - D4 NOTES
 - D5 NOTES
 - EXH1 AVERAGE SLOPE EXHIBIT

- T1
- SR1
- S1
- ESC2
- P1
- U1
- D1
- D2
- D3
- D4
- D5
- EXH1



AWEN LLC Lots 1-10 Lake Lure, North Carolina AWEN LLC

Project Number:
412523

Scale= As Noted

Drawn By
G/MC

Checked By

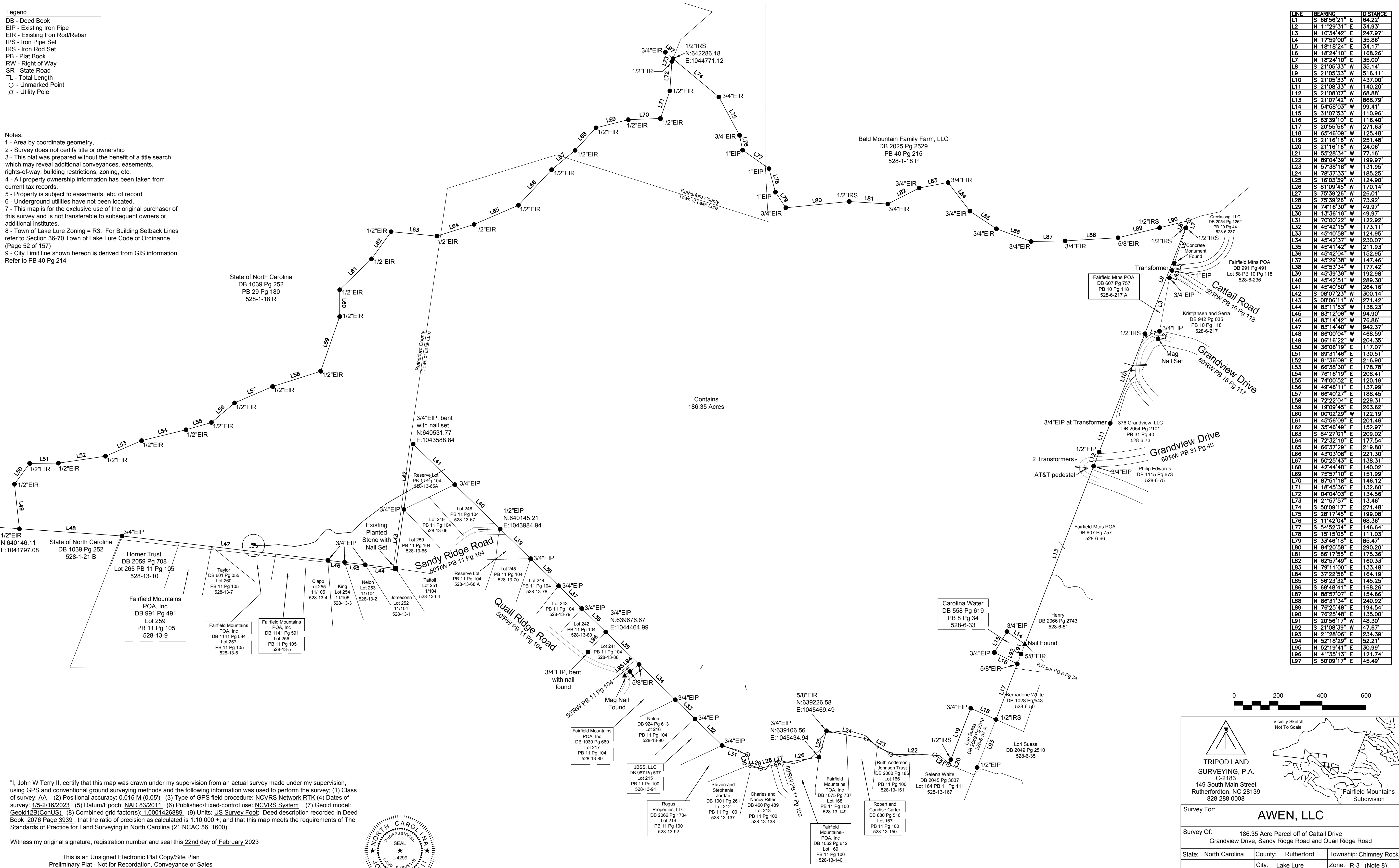
Date:
07-02-2024

T1

Title Sheet

Legend
 DB - Deed Book
 EIP - Existing Iron Pipe
 EIR - Existing Iron Rod/Rebar
 IPS - Iron Pipe Set
 IRS - Iron Rod Set
 PB - Plat Book
 RW - Right of Way
 SR - State Road
 TL - Total Length
 U - Unmarked Point
 U - Utility Pole

Notes:
 1 - Area by coordinate geometry.
 2 - Survey does not certify title or ownership
 3 - This plat was prepared without the benefit of a title search which may reveal additional conveyances, easements, rights-of-way, building restrictions, zoning, etc.
 4 - All property ownership information has been taken from current tax records.
 5 - Property is subject to easements, etc. of record
 6 - Underground utilities have not been located.
 7 - This map is for the exclusive use of the original purchaser of this survey and is not transferable to subsequent owners or additional institutes.
 8 - Town of Lake Lure Zoning = R3. For Building Setback Lines refer to Section 36-70 Town of Lake Lure Code of Ordinance (Page 52 of 157)
 9 - City Limit line shown hereon is derived from GIS information. Refer to PB 40 Pg 214



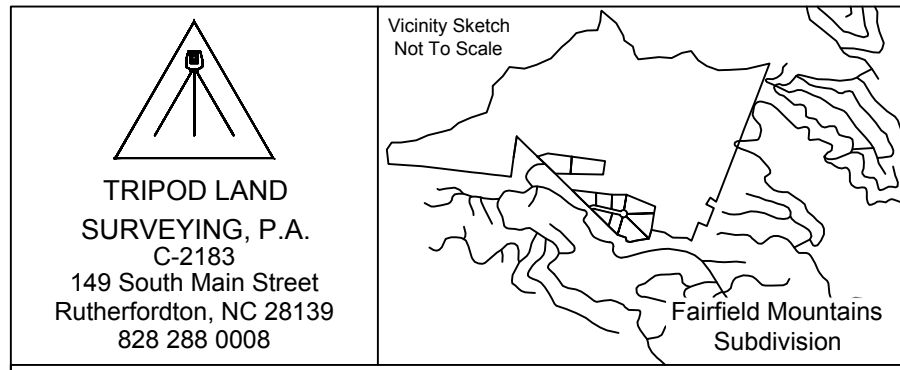
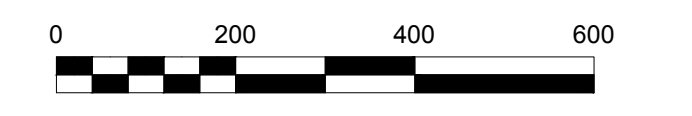
LINE	BEARING	DISTANCE
L1	S 68°56'21" E	64.22
L2	N 11°29'31" E	34.93
L3	N 10°34'42" E	24.97
L4	N 17°59'00" E	35.86
L5	N 18°18'24" E	34.17
L6	N 18°24'10" E	168.26
L7	N 18°24'10" E	35.00
L8	S 21°05'33" W	35.14
L9	S 21°05'33" W	516.11
L10	S 21°05'33" W	437.00
L11	S 21°05'33" W	140.20
L12	S 21°08'07" W	68.88
L13	S 21°07'42" W	868.79
L14	N 54°58'03" W	99.41
L15	S 1°07'53" W	110.98
L16	S 63°39'10" E	118.40
L17	S 20°55'56" W	271.63
L18	N 65°46'09" W	125.48
L19	S 21°16'18" W	251.48
L20	S 21°16'18" W	24.08
L21	N 55°28'34" W	77.16
L22	N 89°04'39" W	199.97
L23	S 73°35'26" W	131.95
L24	N 78°37'33" W	183.25
L25	S 16°03'39" W	124.90
L26	S 81°09'45" W	170.14
L27	S 75°39'26" W	26.01
L28	S 75°39'26" W	174.92
L29	N 74°16'30" W	49.97
L30	N 13°36'16" W	49.97
L31	N 70°00'22" W	122.92
L32	N 45°42'15" W	173.11
L33	N 45°42'37" W	230.07
L34	N 45°42'37" W	230.07
L35	N 45°41'42" W	211.93
L36	N 45°42'04" W	152.98
L37	N 45°29'38" W	147.46
L38	N 45°33'34" W	177.42
L39	N 45°39'36" W	192.98
L40	N 45°42'25" W	283.30
L41	N 45°40'50" W	264.18
L42	S 08°07'23" W	300.14
L43	S 08°06'11" W	271.42
L44	N 83°11'53" W	138.23
L45	N 83°12'08" W	94.30
L46	N 83°14'42" W	76.86
L47	N 83°14'40" W	942.37
L48	N 86°00'04" W	463.59
L49	N 06°16'22" W	204.35
L50	N 36°08'19" E	117.07
L51	N 89°31'46" E	130.51
L52	N 81°36'09" E	216.90
L53	N 66°38'30" E	173.78
L54	N 76°16'19" E	208.41
L55	N 74°00'52" E	120.19
L56	N 48°46'11" E	137.99
L57	N 68°40'23" E	183.45
L58	N 72°22'04" E	229.31
L59	N 19°09'45" E	263.62
L60	N 00°02'29" W	122.19
L61	N 45°50'09" E	201.48
L62	N 35°46'49" E	152.97
L63	S 84°27'01" E	209.02
L64	N 72°32'19" E	177.54
L65	N 66°37'29" E	215.80
L66	N 43°03'08" E	221.30
L67	N 50°25'43" E	138.31
L68	N 42°44'48" E	140.02
L69	N 75°57'10" E	151.99
L70	N 87°51'18" E	146.12
L71	N 18°45'36" E	132.60
L72	N 04°04'03" E	134.56
L73	N 21°57'57" E	13.46
L74	S 50°09'17" E	271.48
L75	S 28°17'45" E	199.08
L76	S 11°42'04" E	68.36
L77	S 54°52'34" E	146.64
L78	S 15°15'05" E	111.03
L79	S 33°46'18" E	85.47
L80	N 84°20'58" E	290.20
L81	N 86°17'55" E	175.38
L82	N 62°57'49" E	160.33
L83	N 79°11'00" E	133.48
L84	S 37°22'56" E	164.19
L85	S 56°23'38" E	145.23
L86	N 69°48'41" E	168.28
L87	N 88°57'07" E	154.66
L88	N 86°31'34" E	240.92
L89	N 78°25'48" E	194.54
L90	N 78°25'48" E	135.00
L91	S 20°56'17" W	48.30
L92	S 21°08'39" W	47.67
L93	S 21°28'06" W	234.39
L94	N 52°19'29" E	32.21
L95	N 52°19'41" E	30.99
L96	N 41°35'13" E	121.74
L97	S 50°09'17" E	45.49

"I, John W Terry II, certify that this map was drawn under my supervision from an actual survey made under my supervision, using GPS and conventional ground surveying methods and the following information was used to perform the survey. (1) Class of survey: AA (2) Positional accuracy: 0.015 M (0.05') (3) Type of GPS field procedure: NCVRS Network RTK (4) Dates of survey: 1/5-2/16/2023 (5) Datum/Epoch: NAD 83/2011 (6) Published/Fixed-control use: NCVRS System (7) Geoid model: Geoid12B(ConUS) (8) Combined grid factor(s): 1.0001426889 (9) Units: US Survey Foot; Deed description recorded in Deed Book 2076 Page 3939 - that the ratio of precision as calculated is 1:10,000 +; and that this map meets the requirements of The Standards of Practice for Land Surveying in North Carolina (21 NCAC 56.1600).

Witness my original signature, registration number and seal this 22nd day of February 2023

This is an Unsigned Electronic Plat Copy/Site Plan
 Preliminary Plat - Not for Recordation, Conveyance or Sales

John W. Terry II - PLS # 4299



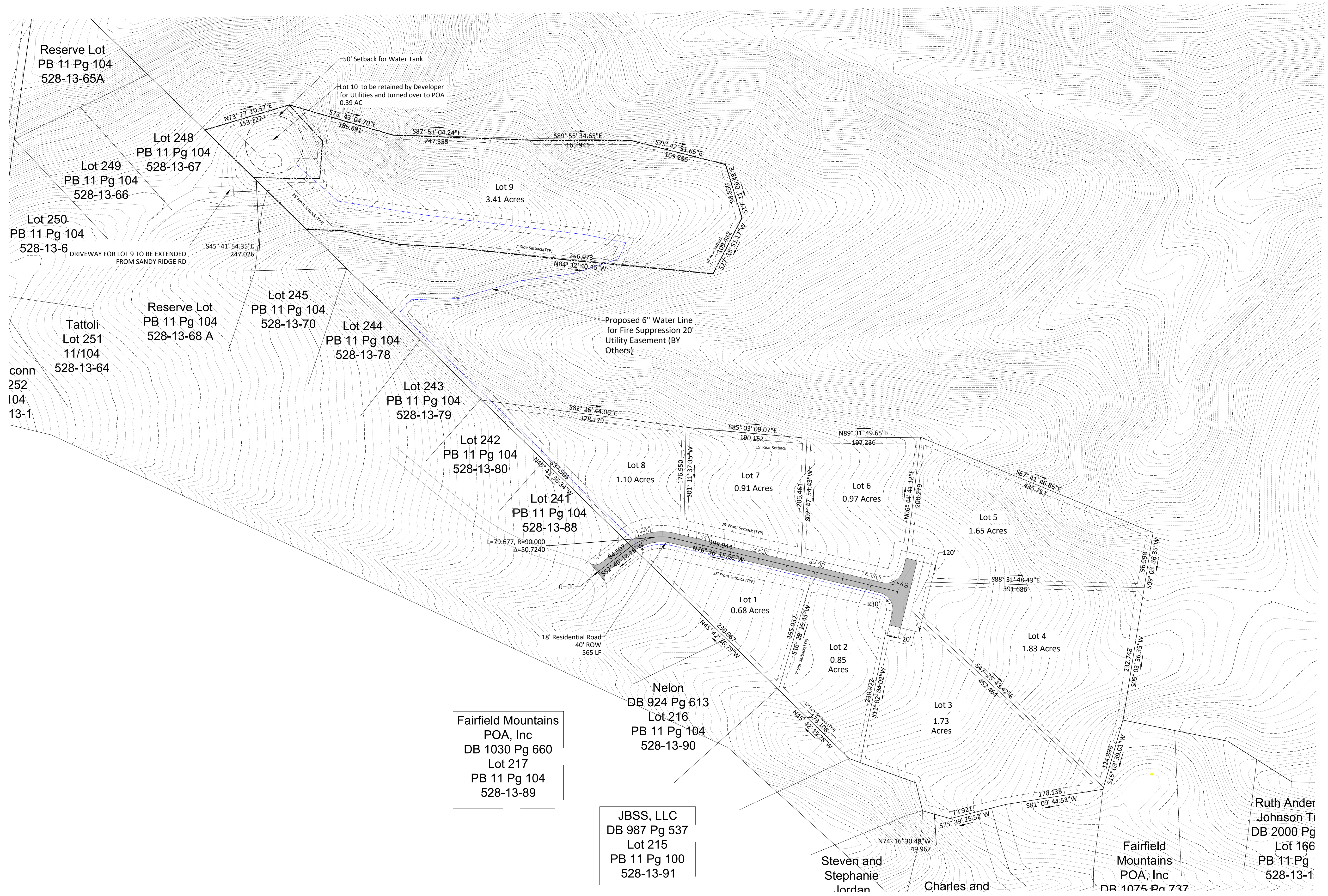
TRIPOD LAND SURVEYING, P.A.
 C-2183
 149 South Main Street
 Rutherfordton, NC 28139
 828 288 0008

Survey For: **AWEN, LLC**

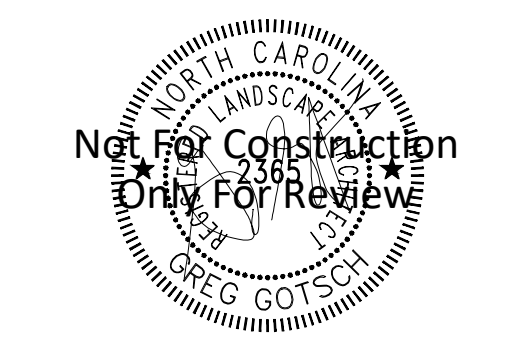
Survey Of: 186.35 Acre Parcel off of Cattail Drive
 Grandview Drive, Sandy Ridge Road and Quail Ridge Road

State: North Carolina	County: Rutherford	Township: Chimney Rock
City: Lake Lure	Zone: R-3 (Note 8)	
DB 2076 Pg 3939	Tax Map# 528-1-18	Scale: 1" = 200'
PB 40 Pg 214	Date: 1/5-2/16/2023	Drawing # 2252 A
Owner(s): John Doe and wife, Jane Doe		

Date 03/25/2024	Submissions Preliminary Plat Submission	 For Regulatory Review 	 P.O. BOX 9251 ASHEVILLE, N.C. 28815 Phone: (828) 900-8700 www.landrm.com
<h1 style="margin: 0;">AWEN LLC Lots 1-10</h1> <h2 style="margin: 0;">Lake Lure, North Carolina</h2> <p style="margin: 0;">AWEN LLC</p>		Survey	
Project Number: 412523	Scale= As Noted	Checked By G/MC	Date: 02-09-2024 EX1



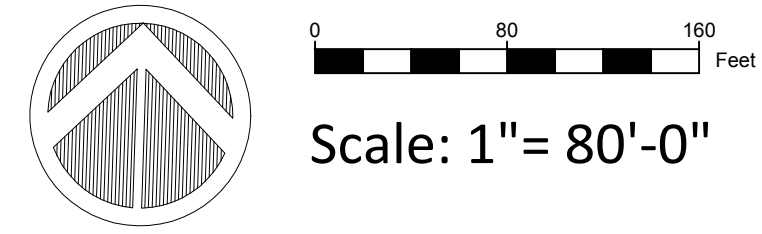
Date	Submissions
03/24/2024	Preliminary Plat Submittal
07/03/2024	Preliminary Plat Submittal



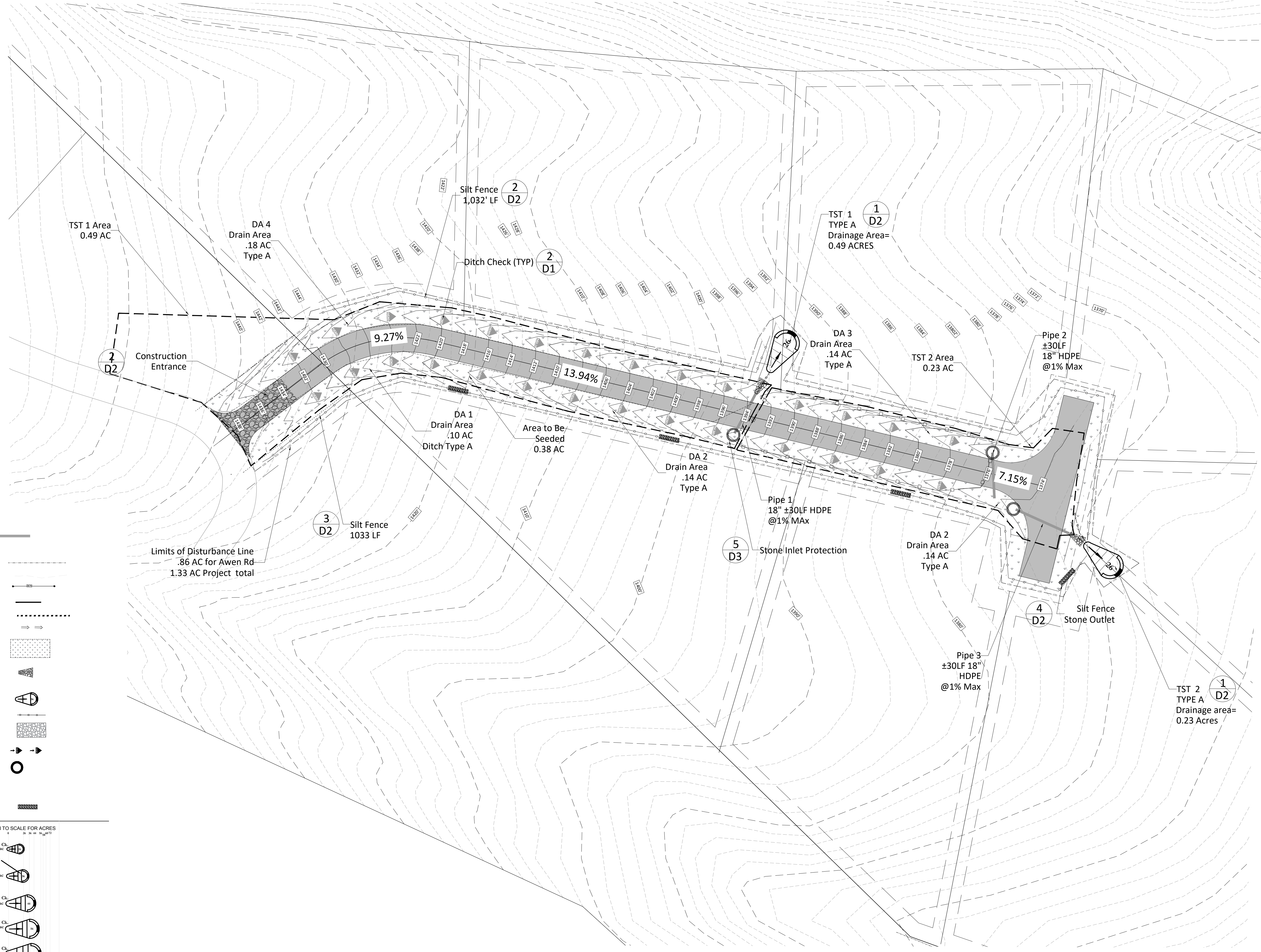
LRM

P.O. BOX 9251
 ASHEVILLE, N.C. 28815
 Phone: (828) 900-8700
 www.landrm.com

Awen LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC
 Preliminary Plat Site Plan



Project Number: 412523	Scale: As Noted	Drawn By: GMG	Checked By:	Date: 03-08-2024
S1				



LEGEND

ITEM:

- EXISTING PROPERTY LINE
- LIMIT OF DISTURBANCE
- EXISTING CONTOUR
- FINISH CONTOUR
- DRAINAGE PIPE (HDPE DBL. WALL)
- DRAINAGE AREAS
- DRAINAGE FLOW DIRECTIONS
- AREA TO STABILIZED WITH GRASS SEED
- 6.41 OUTLET STABILIZATION STRUCTURE
- 6.60 TEMP. SEDIMENT TRAP WITH BAFFLES
- 6.61 SEDIMENT FENCE
- 6.06 TEMP. GRAVEL CONST. ENTER/EXIT
- 6.87 CHECK DAM WITH WEIR
- ROCK INLET PROTECTION
- TEMPORARY DIVERSION DITCH
- SILT FENCE OUTLET

6.60 TEMP. SEDIMENT TRAP (TST)
ALL TST WILL HAVE BAFFLES
(SIZE, CAPACITY, & TYPE CHART)

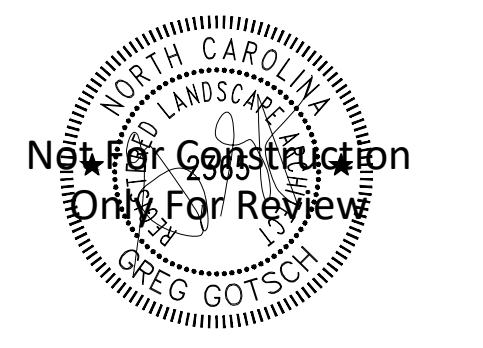
DRAWN TO SCALE FOR ACRES

TYP.	Cl.	max. ac.
TYP. "A"	Cl.	max. 0.5 ac.
TYP. "B"	Cl.	max. 1.0 ac.
TYP. "B"	Cl.	max. 1.5 ac.
TYP. "B"	Cl.	max. 2.0 ac.
TYP. "C"	Cl.	max. 2.5 ac.
TYP. "C"	Cl.	max. 3.0 ac.
TYP. "D"	Cl.	max. 4.0 ac.
TYP. "E"	Cl.	max. 5.0 ac.

BAFFLES TYP. ALL TST
TAP TYPE AND CHECK LENGTH

SEE DESIGN AND DETAILS D-2

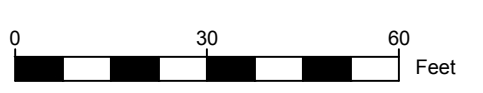
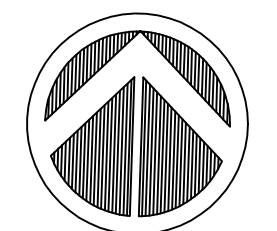
Date	Submissions
02/09/2024	Sediment and Erosion Control Application
02/19/2024	Sediment and Erosion Control Comments
02/26/2024	Sediment and Erosion Control Comments
03/04/2024	Preliminary Plat Submittal



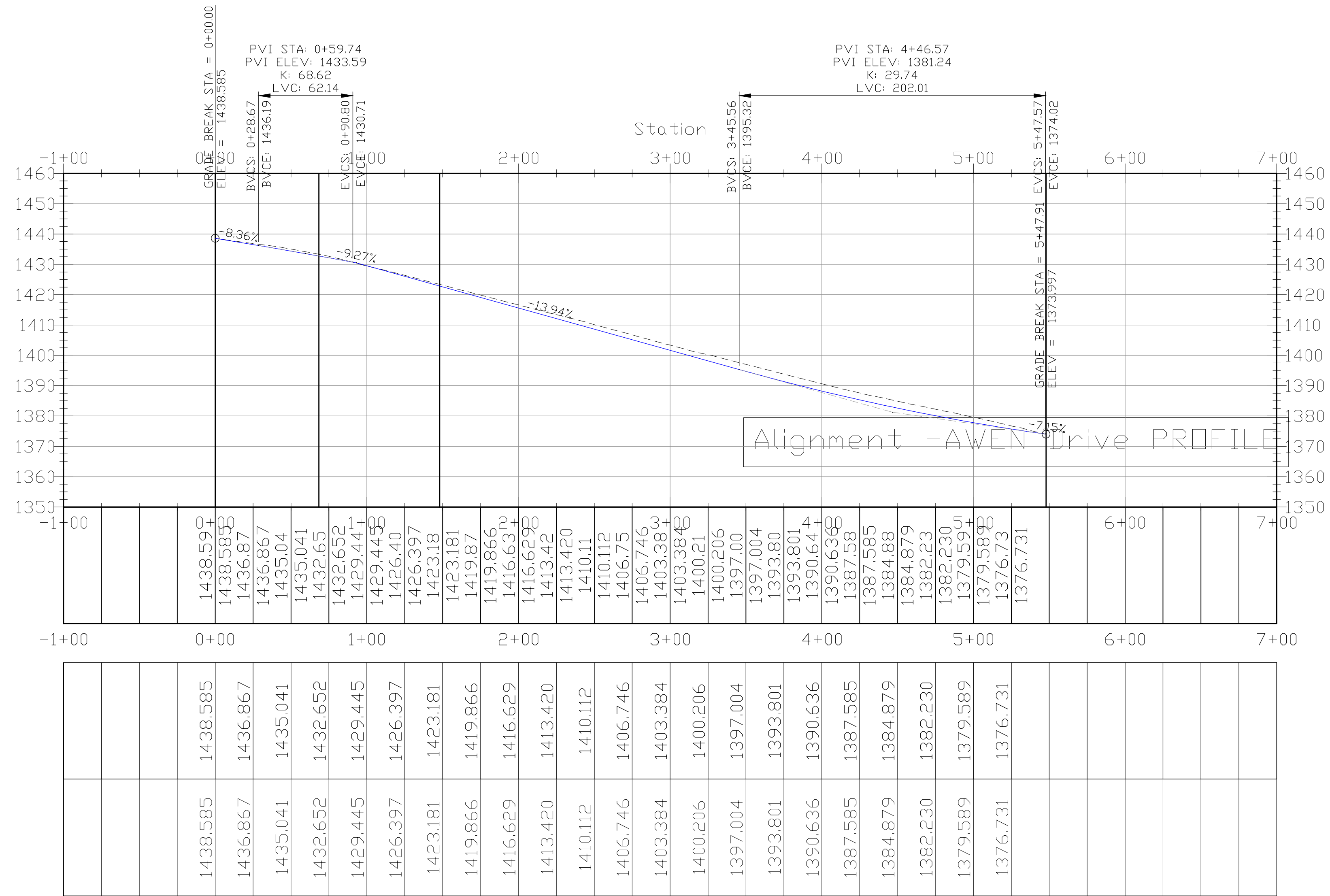
LRM
P.O. BOX 9251
ASHEVILLE, N.C. 28815
Phone: (828) 900-8700
www.landrm.com

Awen LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC
Erosion Control Awen Dr

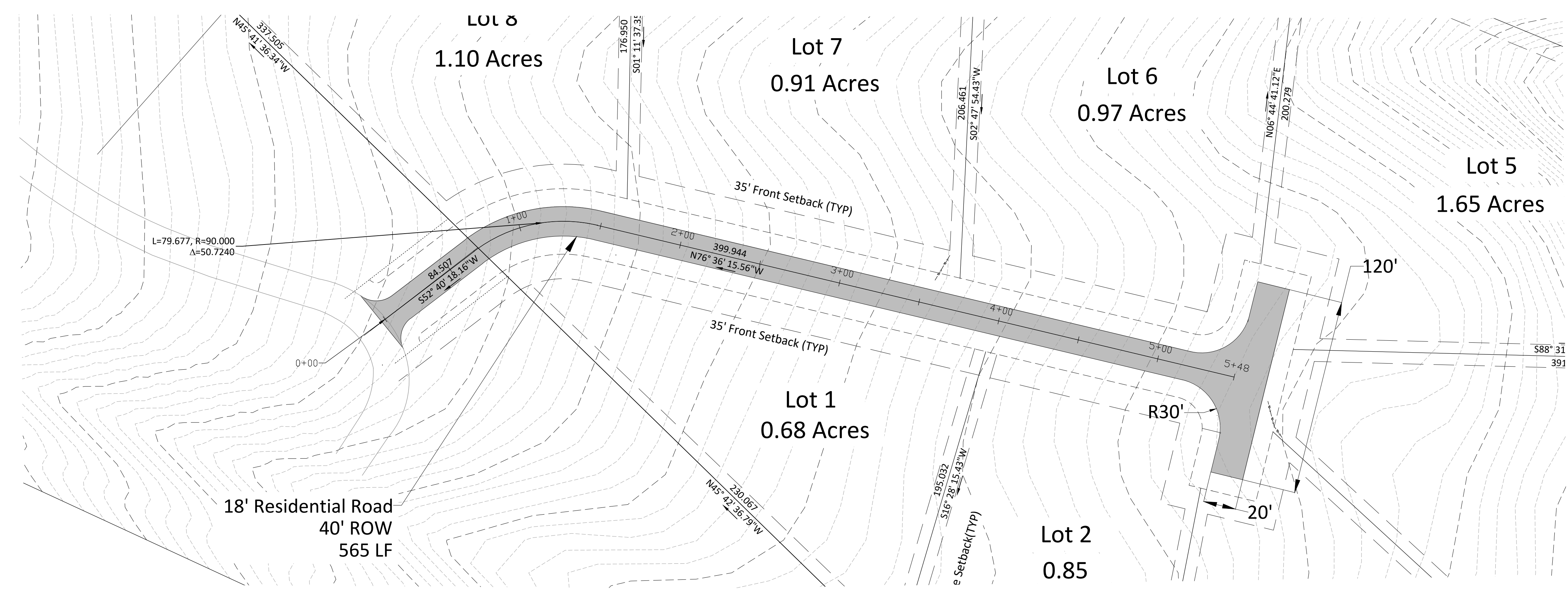
Project Number: 330323	Scale: As Noted	Checked By: GMG	Date: 02-02-2024
		ESC 2	



Scale: 1" = 30'-0"

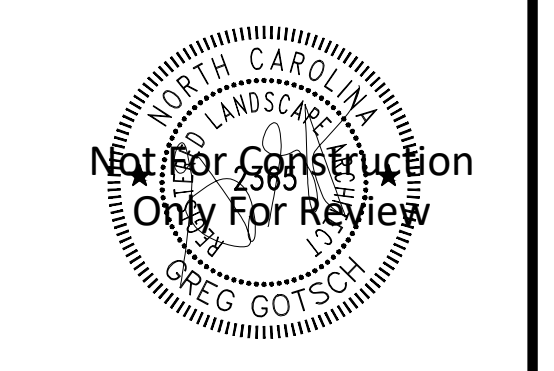


VERTICAL ROAD PROFILE



HORIZONTAL ALIGNMENT

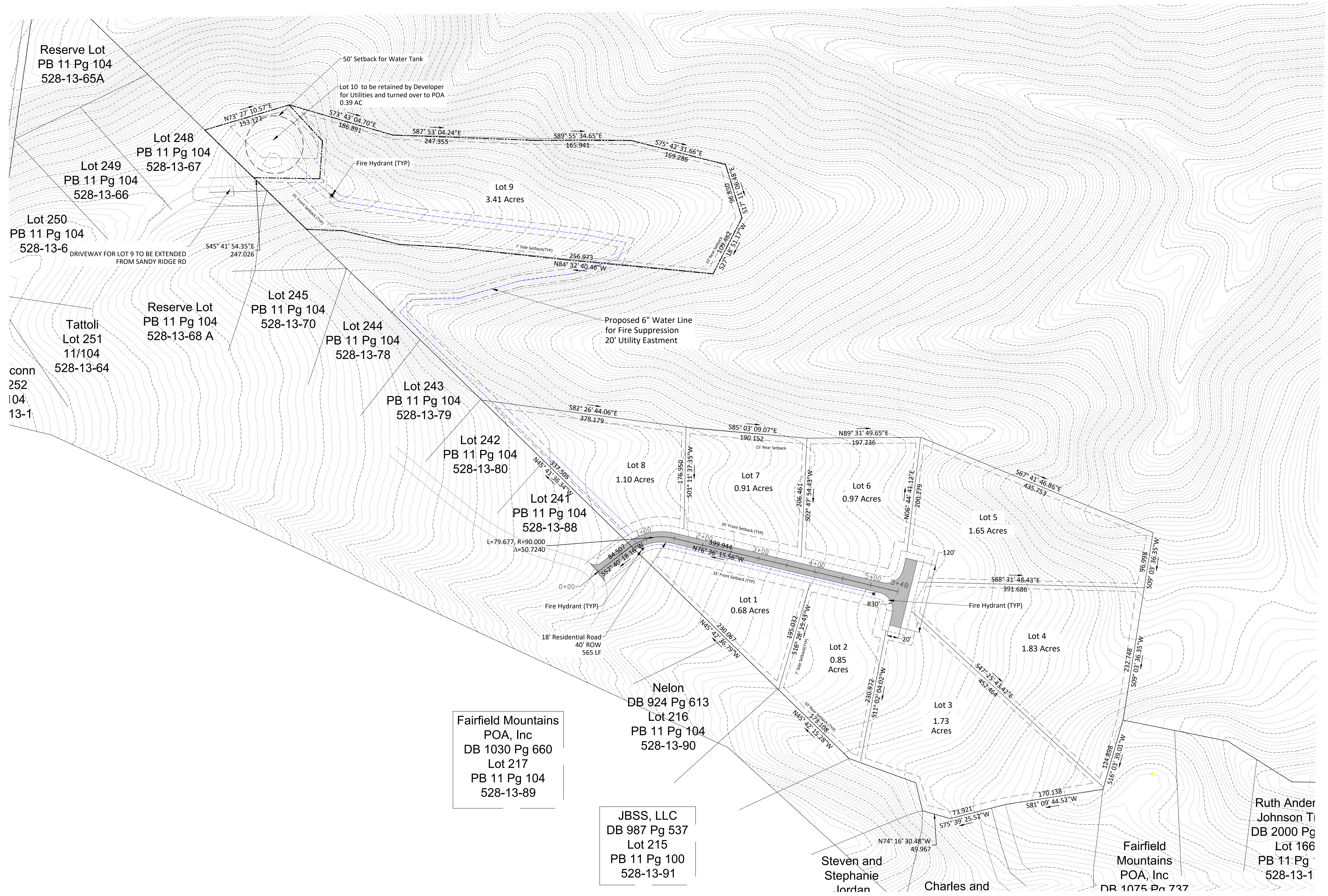
Date	
Submissions	Preliminary Plat Submittal
	09/24/2024



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 ASHEVILLE, N.C. 28815
 Phone: (828) 900-8700
 www.landrm.com

AWEN LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC
 Road Profile and Alignment Awen Drive

Project Number:	330323
Scale:	As Noted
Drawn By:	GMG
Checked By:	
Date:	02-09-2024
	PR1



Reserve Lot
PB 11 Pg 104
528-13-65A

Lot 248
PB 11 Pg 104
528-13-67

Lot 249
PB 11 Pg 104
528-13-66

Lot 250
PB 11 Pg 104
528-13-6

DRIVEWAY FOR LOT 9 TO BE EXTENDED
FROM SANDY RIDGE RD

Tattoli
Lot 251
11/104
528-13-64

conn
252
104
13-1

50' Setback for Water Tank

Lot 10 to be retained by Developer
for Utilities and turned over to POA
0.39 AC

Fire Hydrant (TYP)

Lot 9
3.41 Acres

Proposed 6" Water Line
for Fire Suppression
20' Utility Eastment

Lot 245
PB 11 Pg 104
528-13-70

Lot 244
PB 11 Pg 104
528-13-78

Lot 243
PB 11 Pg 104
528-13-79

Lot 242
PB 11 Pg 104
528-13-80

Lot 241
PB 11 Pg 104
528-13-88

Fire Hydrant (TYP)

18' Residential Road
40' ROW
565 LF

Fairfield Mountains
POA, Inc
DB 1030 Pg 660
Lot 217
PB 11 Pg 104
528-13-89

JBSS, LLC
DB 987 Pg 537
Lot 215
PB 11 Pg 100
528-13-91

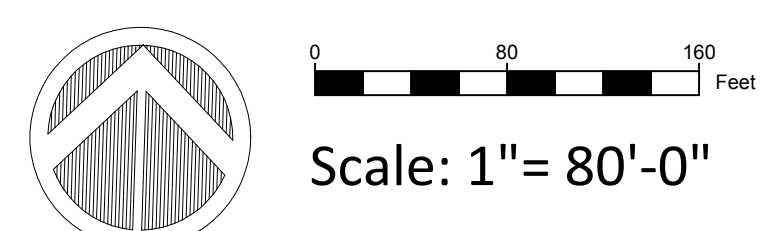
Nelon
DB 924 Pg 613
Lot 216
PB 11 Pg 104
528-13-90

Steven and
Stephanie
Jordan

Charles and

Fairfield
Mountains
POA, Inc
DR 1075 Pg 737

Ruth Ander
Johnson Tl
DB 2000 Pg
Lot 166
PB 11 Pg
528-13-1



Date		09/24/2024
Submissions		Preliminary Plat Submittal Preliminary Plat Re-Submittal
P.O. BOX 9251 ASHEVILLE, N.C. 28815 Phone: (828) 900-8700 www.landrm.com		
<h1 style="margin: 0;">Awen LLC Lots 1-10</h1> <h2 style="margin: 0;">Rutherford County, North Carolina</h2> <h3 style="margin: 0;">AWEN LLC</h3> <p style="margin: 0;">Schematic Utility Plan</p>		
Project Number:	412523	Date:
Scale:	As Noted	07-03-2024
Drawn By:	GMG	U1
Checked By:		

GRASSING

- AREAS TO BE GRASSED SHALL BE DEFINED AS ALL AREAS OF SITE WITHIN THE GRADING LIMITS AND NOT OCCUPIED BY PAVING, CRUSHED STONE SURFACING OR STRUCTURES. GRASSING SHALL INCLUDE FINAL SHAPING, LIMING, FERTILIZING AND SEEDING.
- LIME SHALL BE AGRICULTURAL GRADE, GROUND LIMESTONE. GROUND LIMESTONE SHALL CONTAIN NOT LESS THAN 85% OF CALCIUM CARBONATE CONTENT EQUIVALENT AND SHALL BE SUCH A FINENESS THAT 90% WILL PASS THROUGH A NO. 10 SIEVE AND NOT LESS THAN 50% THROUGH A NO. 50 SIEVE. APPLY A MINIMUM OF 1.5 TONS PER ACRE.
- FERTILIZER SHALL BE GRADE 10-10-10 COMPLETE FERTILIZER OF UNIFORM COMPOSITION, FREE-FLOWING AND SUITABLE FOR APPLICATION WITH EQUIPMENT, DELIVERED TO SITE IN BAGS LABELED WITH MANUFACTURER'S GUARANTEED ANALYSIS, AND SHALL CONFORM TO ALL STATE AND FEDERAL REGULATIONS.
- SEEDS SHALL BE MIXTURE AS APPROVED BY THE ENGINEER AND SHALL MEET REQUIREMENTS OF SEED LAWS OF THE STATE OF NORTH CAROLINA AND THE U.S. DEPARTMENT OF AGRICULTURE RULES AND REGULATIONS UNDER FEDERAL SEED ACT IN EFFECT ON DATE BIDS ARE RECEIVED. SEED SHALL BE DELIVERED IN STANDARD CONTAINERS. SEED WHICH HAS BECOME WET, MOLDY OR DAMAGED IN TRANSIT OR STORAGE WILL NOT BE ACCEPTABLE.
- MULCH SHALL CONSIST OF SMALL GRAIN STRAW OF GOOD QUALITY, CLEAN, FREE OF NOXIOUS WEEDS, AND REASONABLY FREE OF OTHER WEEDS.
- IRRIGATION MAY BE REQUIRED IF NORMAL RAINFALL IS NOT ADEQUATE.
- FERTILIZER 10-10-10 SHALL BE DISTRIBUTED UNIFORMLY AT A RATE OF 500 LBS. PER ACRE AND SHALL BE INCORPORATED INTO SOIL TO A DEPTH OF AT LEAST 2" BY DISCING AND HARROWING.
- SPREAD SEED AT RATE NOTED TABLES BELOW.
- SPREAD MULCH AT 2 TONS/ACRE.
- IMMEDIATELY AFTER FERTILIZING AND SEEDING HAVE BEEN COMPLETED, ENTIRE AREA SHALL BE COMPACTED BY MEANS OF A CULTIPACKER, ROLLER, OR APPROVED EQUIPMENT WEIGHING APPROXIMATELY 90 LBS. PER LINEAR FOOT OF ROLLER. USE OF SPECIFIED MULCH, APPLIED WITH ASPHALT EMULSION TYPE SS-1, MS-2, RS-1, OR RS-2, SHALL BE USED TO PROTECT SITE AGAINST EROSION.
- AREAS THAT REQUIRE REFERTILIZATION AND/OR RESEEDING WILL BE DESIGNATED BY THE ENGINEER. WHEN ANY PORTION OF SURFACE BECOMES GULLIED OR OTHERWISE DAMAGED FOLLOWING SEEDING, OR SEEDLINGS HAVE BEEN WINTER-KILLED OR OTHERWISE DESTROYED, AFFECTED PORTION SHALL BE REPAIRED TO RE-ESTABLISH CONDITION AND GRADE OF SOIL PRIOR TO SEEDLING AND SHALL BE RESEED AS SPECIFIED ABOVE.
- ALL DISTURBED AREAS ARE TO BE GRASSED IMMEDIATELY AFTER CONSTRUCTION IN THE AREA. AT NO TIME WILL AN AREA BE LEFT BARE FOR MORE THAN 14 DAYS AFTER COMPLETION OF CONSTRUCTION.

PERMANENT SEEDING

SEEDING MIXTURES	PLANTING RATE	PLANTING DATE
BAHIA GRASS (ALONE)	40 LBS/AC	MARCH 20 – JUNE 15.
BAHIA GRASS (MIX)*	30 LBS/AC	MARCH 20 – JUNE 15
BERMUDA GRASS (HULLED) (ALONE)	8-12 LBS/AC	APRIL – JULY 15.
BERMUDA GRASS (HULLED) (MIX)*	4-6 LBS/AC	APRIL – JULY 15
FESCUE (KY31) (ALONE)	40 LBS/AC	AUGUST 15 – OCTOBER
FESCUE (KY31) (MIX)*	20 LBS/AC	AUGUST 15 – OCTOBER

TEMPORARY SEEDING

SEEDING MIXTURES	PLANTING RATE	PLANTING DATE
BROWN TOP MILLET (ALONE)	40 LBS/AC	APRIL 20 – AUGUST 15.
BROWN TOP MILLET (MIX)*	10 LBS/AC	APRIL 20 – AUGUST 15.
RYE GRAIN (ALONE)	56 LBS/AC	FEB.-MAR. AUG. 15-NOV. 20.
RYE GRAIN (MIX)*	10 LBS/AC	FEB.-MAR. AUG. 15-NOV. 20..
BROWN TOP MILLET (ALONE)	50 LBS/AC	AUGUST 10 – OCTOBER 10
BROWN TOP MILLET (MIX)*	10 LBS/AC	AUGUST 10 – OCTOBER 10

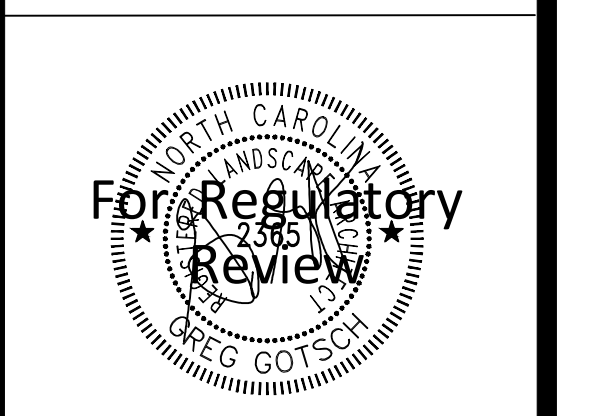
EROSION CONTROL NOTES

- IF NECESSARY, SLOPES, WHICH EXCEED EIGHT (8) VERTICAL FEET SHOULD BE STABILIZED WITH SYNTHETIC OR VEGETATIVE MATS, IN ADDITION TO HYDROSEEDING. IT MAY BE NECESSARY TO INSTALL TEMPORARY SLOPE DRAINS DURING CONSTRUCTION. TEMPORARY BERMS MAY BE NEEDED UNTIL THE SLOPE IS BROUGHT TO GRADE.
- STABILIZATION MEASURES SHALL BE INSTALLED AS SOON AS PRACTICABLE IN PORTIONS OF THE SITE WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED, BUT IN NO CASE MORE THAN FOURTEEN (14) DAYS AFTER WORK HAS CEASED, EXCEPT AS STATED BELOW.
 - WHERE STABILIZATION BY THE 14TH DAY IS PRECLUDED BY SNOW COVER OR FROZEN GROUND CONDITIONS STABILIZATION MEASURES MUST BE INITIATED AS SOON AS PRACTICABLE.
 - WHERE CONSTRUCTION ACTIVITY ON A PORTION OF THE SITE IS TEMPORARILY CEASED, AND EARTH-DISTURBING ACTIVITIES WILL BE RESUMED WITHIN 14 DAYS, TEMPORARY STABILIZATION MEASURES DO NOT HAVE TO BE INITIATED ON THAT PORTION OF THE SITE.
- ALL SEDIMENT AND EROSION CONTROL DEVICES SHALL BE INSPECTED ONCE EVERY CALENDAR WEEK. IF PERIODIC INSPECTION OR OTHER INFORMATION INDICATES THAT A BMP HAS BEEN INAPPROPRIATELY OR INCORRECTLY INSTALLED, THE PERMITTEE MUST ADDRESS THE NECESSARY REPLACEMENT OR MODIFICATION REQUIRED TO CORRECT THE BMP WITHIN 48 HOURS OF IDENTIFICATION.
- PROVIDE SILT FENCE AND/OR OTHER CONTROL DEVICES, AS MAY BE REQUIRED, TO CONTROL SOIL EROSION DURING UTILITY CONSTRUCTION. ALL DISTURBED AREAS SHALL BE CLEANED, GRADED, AND STABILIZED WITH GRASSING IMMEDIATELY AFTER THE UTILITY INSTALLATION. FILL, COVER, AND TEMPORARY SEEDING AT THE END OF EACH DAY ARE RECOMMENDED. IF WATER IS ENCOUNTERED WHILE TRENCHING, THE WATER SHOULD BE FILTERED TO REMOVE SEDIMENT BEFORE BEING PUMPED BACK INTO ANY WATERS OF THE STATE.
- ALL EROSION CONTROL DEVICES SHALL BE PROPERLY MAINTAINED DURING ALL PHASES OF CONSTRUCTION UNTIL THE COMPLETION OF ALL CONSTRUCTION ACTIVITIES AND ALL DISTURBED AREAS HAVE BEEN STABILIZED. ADDITIONAL CONTROL DEVICES MAY BE REQUIRED DURING CONSTRUCTION IN ORDER TO CONTROL EROSION AND/OR OFFSITE SEDIMENTATION. ALL TEMPORARY CONTROL DEVICES SHALL BE REMOVED ONCE CONSTRUCTION IS COMPLETE AND THE SITE IS STABILIZED.
- THE CONTRACTOR MUST TAKE NECESSARY ACTION TO MINIMIZE THE TRACKING OF MUD ONTO PAVED ROADWAY(S) FROM CONSTRUCTION AREAS AND THE GENERATION OF DUST. THE CONTRACTOR SHALL DAILY REMOVE MUD/SOIL FROM PAVEMENT, AS MAY BE REQUIRED.
- RESIDENTIAL SUBDIVISIONS REQUIRE EROSION CONTROL FEATURES FOR INFRASTRUCTURE AS WELL AS FOR INDIVIDUAL LOT CONSTRUCTION. INDIVIDUAL PROPERTY OWNERS SHALL FOLLOW THESE PLANS DURING CONSTRUCTION.
- TEMPORARY DIVERSION BERMS AND/OR DITCHES WILL BE PROVIDED AS NEEDED DURING CONSTRUCTION TO PROTECT WORK AREAS FROM UPSLOPE RUNOFF AND/OR TO DIVERT SEDIMENT-LADEN WATER TO APPROPRIATE TRAPS OR STABLE OUTLETS.
- ALL WATERS OF THE STATE (WOS), INCLUDING WETLANDS, ARE TO BE FLAGGED OR OTHERWISE CLEARLY MARKED IN THE FIELD. A DOUBLE ROW OF SILT FENCE IS TO BE INSTALLED IN ALL AREAS WHERE A 50-FOOT BUFFER CAN'T BE MAINTAINED BETWEEN THE DISTURBED AREA AND ALL WOS. A 10-FOOT BUFFER SHOULD BE MAINTAINED BETWEEN THE LAST ROW OF SILT FENCE AND ALL WOS.
- LITTER, CONSTRUCTION DEBRIS, OILS, FUELS, AND BUILDING PRODUCTS WITH SIGNIFICANT POTENTIAL FOR IMPACT (SUCH AS STOCKPILES OF FRESHLY TREATED LUMBER) AND CONSTRUCTION CHEMICALS THAT COULD BE EXPOSED TO STORM WATER MUST BE PREVENTED FROM BECOMING A POLLUTANT SOURCE IN STORM WATER DISCHARGES.
- A COPY OF THE SWPPP, INSPECTIONS RECORDS, AND RAINFALL DATA MUST BE RETAINED AT THE CONSTRUCTION SITE OR A NEARBY LOCATION EASILY ACCESSIBLE DURING NORMAL BUSINESS HOURS, FROM THE DATE OF COMMENCEMENT OF CONSTRUCTION ACTIVITIES TO THE DATE THAT FINAL STABILIZATION IS REACHED.
- INITIATE STABILIZATION MEASURES ON ANY EXPOSED STEEP SLOPE (3H:1V OR GREATER) WHERE LAND-DISTURBING ACTIVITIES HAVE PERMANENTLY OR TEMPORARILY CEASED, AND WILL NOT RESUME FOR A PERIOD OF 7 CALENDAR DAYS.
- MINIMIZE SOIL COMPACTION AND, UNLESS INFEASIBLE, PRESERVE TOPSOIL.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM EQUIPMENT AND VEHICLE WASHING, WHEEL WASH WATER, AND OTHER WASH WATERS. WASH WATERS MUST BE TREATED IN A SEDIMENT BASIN OR ALTERNATIVE CONTROL THAT PROVIDES EQUIVALENT OR BETTER TREATMENT PRIOR TO DISCHARGE.
- MINIMIZE THE DISCHARGE OF POLLUTANTS FROM DEWATERING OF TRENCHES AND EXCAVATED AREAS. THESE DISCHARGES ARE TO BE ROUTED THROUGH APPROPRIATE BMPS (SEDIMENT BASIN, FILTER BAG, ETC.).
- THE FOLLOWING DISCHARGES FROM SITES ARE PROHIBITED:
 - WASTEWATER FROM WASHOUT OF CONCRETE, UNLESS MANAGED BY AN APPROPRIATE CONTROL;
 - WASTEWATER FROM WASHOUT AND CLEANOUT OF STUCCO, PAINT, FORM RELEASE OILS, CURING COMPOUNDS AND OTHER CONSTRUCTION MATERIALS; FUELS, OILS, OR OTHER POLLUTANTS USED IN VEHICLE AND EQUIPMENT OPERATION AND MAINTENANCE; AND
 - SOAPS OR SOLVENTS USED IN VEHICLE AND EQUIPMENT WASHING.
- AFTER CONSTRUCTION ACTIVITIES BEGIN, INSPECTIONS MUST BE CONDUCTED AT A MINIMUM OF AT LEAST ONCE EVERY CALENDAR WEEK AND MUST BE CONDUCTED UNTIL FINAL STABILIZATION IS REACHED ON ALL AREAS OF THE CONSTRUCTION SITE.
- IF EXISTING BMPS NEED TO BE MODIFIED OR IF ADDITIONAL BMPS ARE NECESSARY TO COMPLY WITH THE REQUIREMENTS OF THIS PERMIT AND/OR SC'S WATER QUALITY STANDARDS, IMPLEMENTATION MUST BE COMPLETED BEFORE THE NEXT STORM EVENT WHENEVER PRACTICABLE. IF IMPLEMENTATION BEFORE THE NEXT STORM EVENT IS IMPRACTICABLE, THE SITUATION MUST BE DOCUMENTED IN THE SWPPP AND ALTERNATIVE BMPS MUST BE IMPLEMENTED AS SOON AS REASONABLY POSSIBLE.
- A PRE-CONSTRUCTION CONFERENCE MUST BE HELD FOR EACH CONSTRUCTION SITE WITH AN APPROVED ON-SITE SWPPP PRIOR TO THE IMPLEMENTATION OF CONSTRUCTION ACTIVITIES. FOR NON-LINEAR PROJECTS THAT DISTURB 10 ACRES OR MORE THIS CONFERENCE MUST BE HELD ON-SITE UNLESS THE DEPARTMENT HAS APPROVED OTHERWISE.
- CONSTRUCTION ENTRANCES TO BE PROVIDED AT ALL LOCATIONS WHERE CONSTRUCTION TRAFFIC ACCESSES PAVED ROADWAYS.
- INLET PROTECTION WILL BE PROVIDED AT ALL EXISTING INLETS THAT RECEIVED FLOWS FROM THE DISTURBED AREAS.
- ALL OFF-SITE BORROW SITES MUST HAVE A SEPARATE NPDES PERMIT.
- THE CONTRACTOR WILL PROVIDE A PORTABLE TOILET IN AN AREA THAT IS NOT ADJACENT TO A WATERWAY OR STORM DRAINAGE.
- THE CONTRACTOR WILL PROVIDE A PLACE FOR CONCRETE TRUCKS TO WASHOUT IS TO BE BURIED ONSITE UNTIL CONSTRUCTION IS COMPLETE. WHEN CONSTRUCTION IS COMPLETE THE WASTE IS TO BE HAULED OFF TO A LANDFILL.

GENERAL NOTES - SITEWORK

- TOPOGRAPHICAL INFORMATION PROVIDED BY NC ONE MAP
- THE CONTRACTOR SHALL VERIFY THE LOCATION AND INVERT ELEVATION OF ALL UNDERGROUND UTILITIES, AND VERIFY PROPERTY CORNERS AND TOP BEFORE ANY CONSTRUCTION IS BEGUN. CALL UTILITY COMPANIES BEFORE EXCAVATION TO LOCATE ALL BURIED CABLES AND UNDERGROUND UTILITIES.
- THE CONTRACTOR SHOULD NOTIFY THE ENGINEERS FOR A REVIEW SHOULD DISCREPANCIES BE DISCOVERED AT THE SITE OR ON THE DRAWINGS.
- ALL REFERENCE TO SPECIFICATIONS FOR HIGHWAY CONSTRUCTION OR MATERIALS ARE MADE FROM SOUTH CAROLINA STATE HIGHWAY DEPARTMENT'S STANDARD SPECIFICATION, LATEST EDITION.
- ALL DIMENSIONS SHOWN ARE MEASURED FROM OUTSIDE FACE OF BUILDING WALL AND TO FACE OF CURB LINE.
- EARTHWORK SHALL BE TO THE LINES AND GRADES SHOWN. PROOF-ROLLING AND COMPACTION TEST SHALL BE ACCOMPLISHED IN THE FIELD TO TEST ALL AREAS. THE CONTRACTOR SHALL RETAIN THE SERVICES OF A TESTING COMPANY TO TEST ALL AREAS.
- CONTRACTOR SHALL PROTECT ALL TREES THAT ARE TO REMAIN AS MARKED IN THE FIELD BY OWNERS REPRESENTATIVE.
- THE GRADING CONTRACTOR SHALL PROOF-ROLL THE CONSTRUCTION AREA WITH A FULLY-LOADED TANDEM-AXEL DUMP TRUCK, OR APPROVED EQUAL, BY MAKING 2 COMPLETE PASSES IN EACH OF 2 PERPENDICULAR DIRECTIONS. ALL SOFT SPOTS SHALL BE UNDERCUT AND RE-COMPACTED WITH SUITABLE STRUCTURAL FILL MATERIAL.
- THE CONTRACTOR SHALL BE SOLELY AND COMPLETELY RESPONSIBLE FOR CONDITIONS OF THE JOB SITE, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY DURING PERFORMANCE OF THE WORK. THIS REQUIREMENT WILL APPLY CONTINUOUSLY AND WILL NOT BE LIMITED TO NORMAL WORKING HOURS. THE DUTY OF THE ENGINEER TO CONDUCT CONSTRUCTION REVIEW OF THE CONTRACTOR'S PERFORMANCE IS NOT INTENDED TO INCLUDE REVIEW OF THE ADEQUACY OF THE CONTRACTOR'S SAFETY MEASURES, IN, ON, OR NEAR THE CONSTRUCTION SITE. THE CONTRACTOR WILL BE RESPONSIBLE FOR PROVIDING AND MAINTAINING ALL BARRICADES, WARNING SIGNS, FLASHING LIGHTS, AND TRAFFIC CONTROL DEVICES DURING CONSTRUCTION. THE CONTRACTOR IS TO COMPLY WITH ALL OSHA REGULATIONS, REQUIREMENTS, AND SAFETY MEETING REQUIREMENTS.
- THE CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION THAT INTERFERE WITH NEW CONSTRUCTION. REMOVE DEBRIS FROM SITE OR BURN IN ACCORDANCE WITH LOCAL LAWS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING NECESSARY BURNING PERMITS. PROTECT ALL TREES THAT ARE TO REMAIN.
- TOPSOIL SHALL BE STRIPPED TO A DEPTH AS REQUIRED AND STOCKPILED AS DIRECTED BY THE OWNER'S REPRESENTATIVE.
- THE TOP 18" OF FILL SHALL BE COMPACTED TO 98% OF MAXIMUM DRY DENSITY BY THE STANDARD PROCTOR METHOD ASTM D-698. ALL OTHER FILL SHALL BE COMPACTED TO 95% MAXIMUM DRY DENSITY.
- ALL EXCAVATION SHALL BE "CLASSIFIED EXCAVATION". EXCAVATION SHALL BE "CLASSIFIED" AS "COMMON EXCAVATION" OR "ROCK EXCAVATION". ROCK EXCAVATION SHALL BE SUCH MATERIAL WHICH CANNOT BE REMOVED BY MEANS OTHER THAN BY BLASTING OR WITH AN AIR HAMMER. COMMON EXCAVATION SHALL INCLUDE ALL MATERIALS THAT CAN BE RIPPED, BOULDERS, AND ALL OTHER MATERIALS THAT DO NOT FALL IN THE CATEGORY OF ROCK EXCAVATION AS DEFINED ABOVE.
- ROCK EXCAVATION SHALL BE CLASSIFIED AS FOLLOWS:
 - MASSIVE ROCK EXCAVATION - ANY MATERIAL WHICH CANNOT BE EXCAVATED WITH A SINGLE TOOTH RIPPER DRAWN BY A CRAWLER TRACTOR HAVING A MINIMUM DRAW BAR RATED AT NOT LESS THAN 53,000 POUNDS (CATERPILLAR D-8 OR EQUIVALENT) AND OCCUPYING AN ORIGINAL VOLUME OF AT LEAST ONE CUBIC YARD OR MORE.
 - TRENCH EXCAVATION - ANY MATERIAL WHICH CANNOT BE EXCAVATED WITH A POWER SHOVEL HAVING THE CAPACITY OF AT LEAST THAT OF A CATERPILLAR 225 AND OCCUPYING AN ORIGINAL VOLUME OF AT LEAST 1/2 CUBIC YARD OR MORE.
- THE CLASSIFICATION OF SOILS INCLUDE TOPSOIL, FILL MATERIAL, UNSUITABLE MATERIAL, ROCK EXCAVATION IS THE RESPONSIBILITY OF THE OWNERS SOIL TESTING FIRM.
- ALL FILL MATERIAL SHALL BE FROM A SOURCE APPROVED BY THE TESTING COMPANY AND SHALL BE FREE OF ROOTS, ORGANICS AND BOULDERS LARGER THAN 1 CUBIC FOOT. FILL SHALL BE PLACED IN 8" LIFTS AND COMPACTED AS SPECIFIED.
- ALL EXISTING SLOPES STEEPER THAN 4:1 THAT WILL RECEIVE FILL SHALL BE PLOWED AND SCARIFIED SO NEW FILL WILL BOND WITH EXISTING SURFACE.
- CONTRACTOR SHALL SCARIFY ALL EXISTING ASPHALT PAVEMENT BEFORE PLACING FILL.
- THE GRADING CONTRACTOR SHALL CONFORM TO ELEVATIONS AND DIMENSIONS SHOWN WITHIN A TOLERANCE OF PLUS OR MINUS 0.10 FEET. (FINAL GRADED SURFACE UNDER BUILDING SLABS SHALL BE WITHIN A TOLERANCE OF 3/8" WHEN MEASURED WITH A 10' STRAIGHT EDGE).
- ALL REINFORCED CONCRETE PIPE (RCP) SHALL BE CLASS III, UNLESS NOTED ON DRAWINGS WITH BELL & SPIGOT ENDS AND SHALL CONFORM TO ALL REQUIREMENTS OF ASTM C 76, LATEST EDITION, INSTALLED WITH FLEXIBLE PLASTIC (BITUMEN) GASKETS AT ALL JOINTS. GASKETS SHALL COMPLY WITH AASHTO M-198 751, TYPE B, AND SHALL BE INSTALLED IN STRICT ACCORDANCE WITH PIPE MANUFACTURER'S RECOMMENDATIONS.
- ALL UTILITY TRENCHES SHALL BE THOROUGHLY COMPACTED AND TESTED TO PREVENT SETTLEMENT AND DAMAGE TO FUTURE PAVEMENT AND STRUCTURES.
- ASPHALT PAVING FOR LIGHT DUTY AREAS SHALL BE CONSTRUCTED ON A PREPARED AND WELL-DRAINED SUBGRADE COMPACTED AS SPECIFIED. THE BASE COURSE SHALL BE CONSTRUCTED WITH 6" COMPACTED THICKNESS STONE BASE. THE SURFACE SHALL BE 2" COMPACTED THICKNESS ASPHALT BINDER AND 2" OF COMPACTED THICKNESS ASPHALT CONCRETE. ALL PAVING WORK (MATERIALS AND CONSTRUCTION) SHALL COMPLY WITH STATE SPECIFICATIONS.
- ALL AREAS NOT COVERED BY BUILDINGS AND PAVEMENT SHALL RECEIVE TOPSOIL AND BE GRASSED IN ACCORDANCE WITH STATE SPECIFICATIONS (OR GRASSED IN ACCORDANCE WITH OWNER'S SPECIFICATIONS).
- CONCRETE CURB AND GUTTER SHALL BE 18" WIDE WITH 6" CURB CONSTRUCTED WITH 3,000 PSI CONCRETE WITH EXPANSION JOINTS AND CONTRACTION JOINTS INSTALLED TO COMPLY WITH S.C.D.H. & P.T. STANDARD SPECIFICATION FOR MATERIALS AND CONSTRUCTION OF CURB AND GUTTER.
- THE GRADING CONTRACTOR SHALL MAINTAIN POSITIVE DRAINAGE AWAY FROM BUILDING AT ALL TIMES. CONTRACTOR SHALL BRING TO THE ATTENTION OF THE ENGINEER ANY AREAS THAT MAY NOT DRAIN PROPERLY DURING CONSTRUCTION.
- GRADING CONTRACTOR SHALL INCLUDE IN COST ALL CUT/FILL NECESSARY FOR EARTHWORK BALANCE. CONTRACTOR SHALL INCLUDE IN COST ALL WETTING/DRYING OF SOILS NECESSARY TO ACHIEVE COMPACTION PER SPECIFICATIONS.
- THE SEQUENCE OF WORK SHALL CONFORM TO THE EROSION CONTROL NARRATIVE.
- THE CONTRACTOR SHALL RETAIN THE SERVICES OF A REGISTERED LAND SURVEYOR TO PROVIDE TO THE OWNER'S REPRESENTATIVE AN AS-BUILT TOPOGRAPHIC MAP DEPICTING ALL GRADES, ALIGNMENTS, AND STRUCTURAL INFORMATION INVOLVED IN THE DETENTION POND.
- THE CONTRACTOR SHALL NOTIFY THE OWNER'S REPRESENTATIVE WHEN INSTRUCTIONS FROM REGULATORY AGENCIES ARE RECEIVED AND COMPLY WITH INSTRUCTIONS AS DIRECTED BY THE OWNERS REPRESENTATIVE.
- THE CONTRACTOR SHALL CAREFULLY STUDY AND COMPARE THE CONSTRUCTION DOCUMENTS AND SHALL AT ONCE REPORT TO THE ENGINEER ANY INCONSISTENCIES OR OMISSIONS DISCOVERED. THE CONTRACTOR SHALL TAKE FIELD MEASUREMENTS TO VERIFY THAT ALL LOCATIONS ARE CORRECT PRIOR TO COMMENCING CONSTRUCTION.
- THE CONTRACTOR SHALL NOT PERFORM ANY WORK ON ANY UTILITIES OR IN ANY PUBLIC RIGHT-OF-WAYS UNTIL HE HAS OBTAINED COPIES OF ALL NECESSARY ENCROACHMENT AND CONSTRUCTION PERMITS.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR RELOCATING ANY EXISTING UTILITIES NECESSARY FOR SITE CONSTRUCTION INCLUDING ALL PERMITS AND FEES.
- THE CONTRACTOR SHALL VERIFY BENCH MARK LOCATION AND ELEVATION WITH SURVEYOR BEFORE BEGINNING CONSTRUCTION.
- THE CONTRACTOR SHALL VERIFY THE LOCATIONS OF ALL EASEMENTS ON THE SITE BEFORE PROCEEDING WITH CONSTRUCTION.

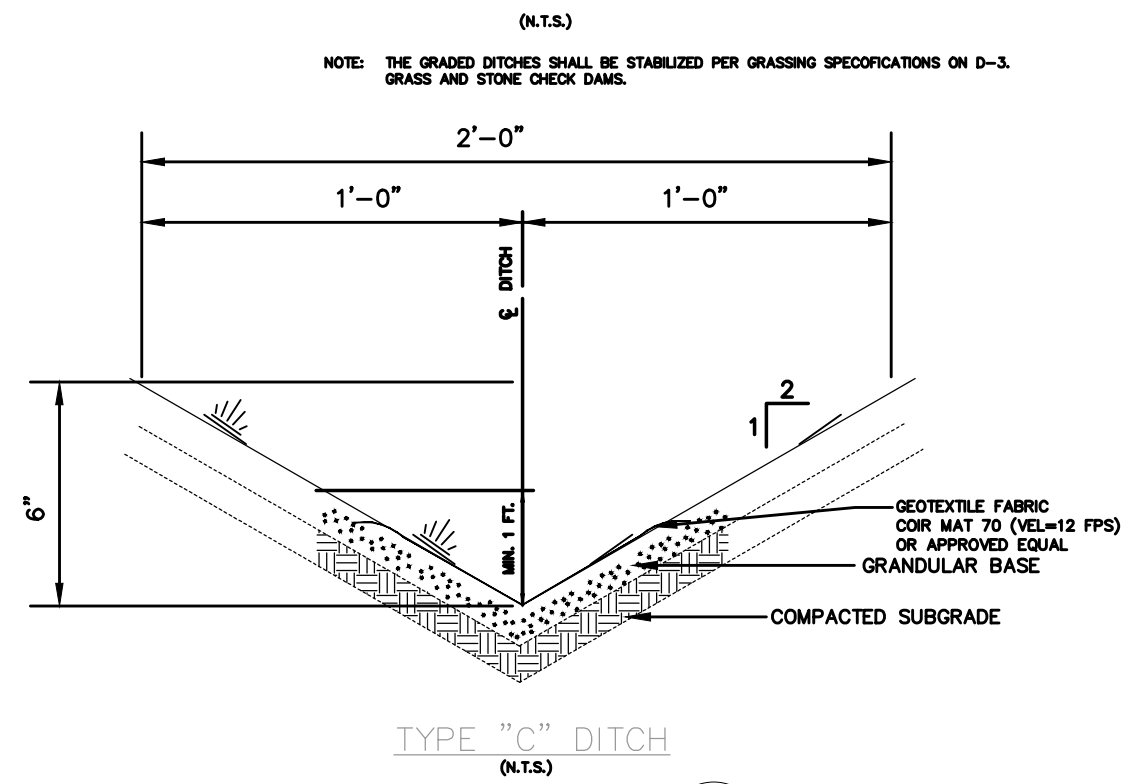
Date	09/09/2023	02/19/2024	02/26/2024	03/24/2024
Submissions	Sediment and Erosion Control Application	Sediment and Erosion Control Comments	Sediment and Erosion Control Comments	Preliminary Plan Submittal



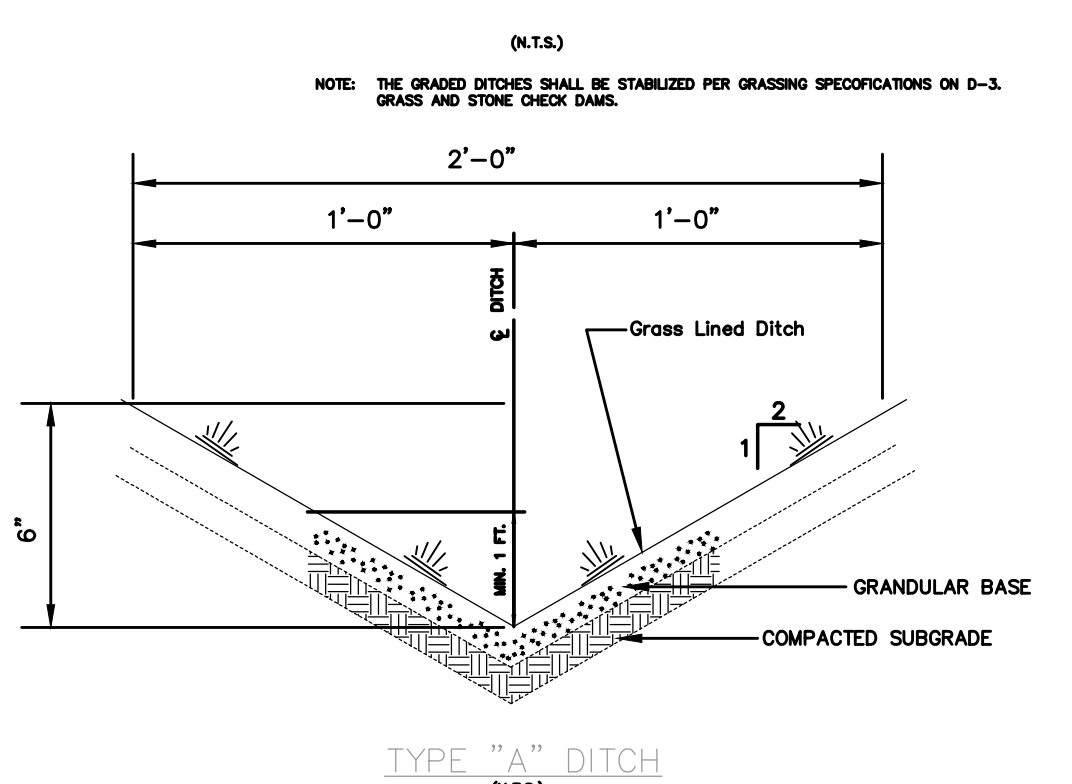
LRM
 P.O. BOX 9251
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 Phone: (828) 900-8700
 www.landrm.com

AWEN LLC Lots 1-10
Rutherford County, North Carolina
 AWEN LLC
 Detail Sheet 1

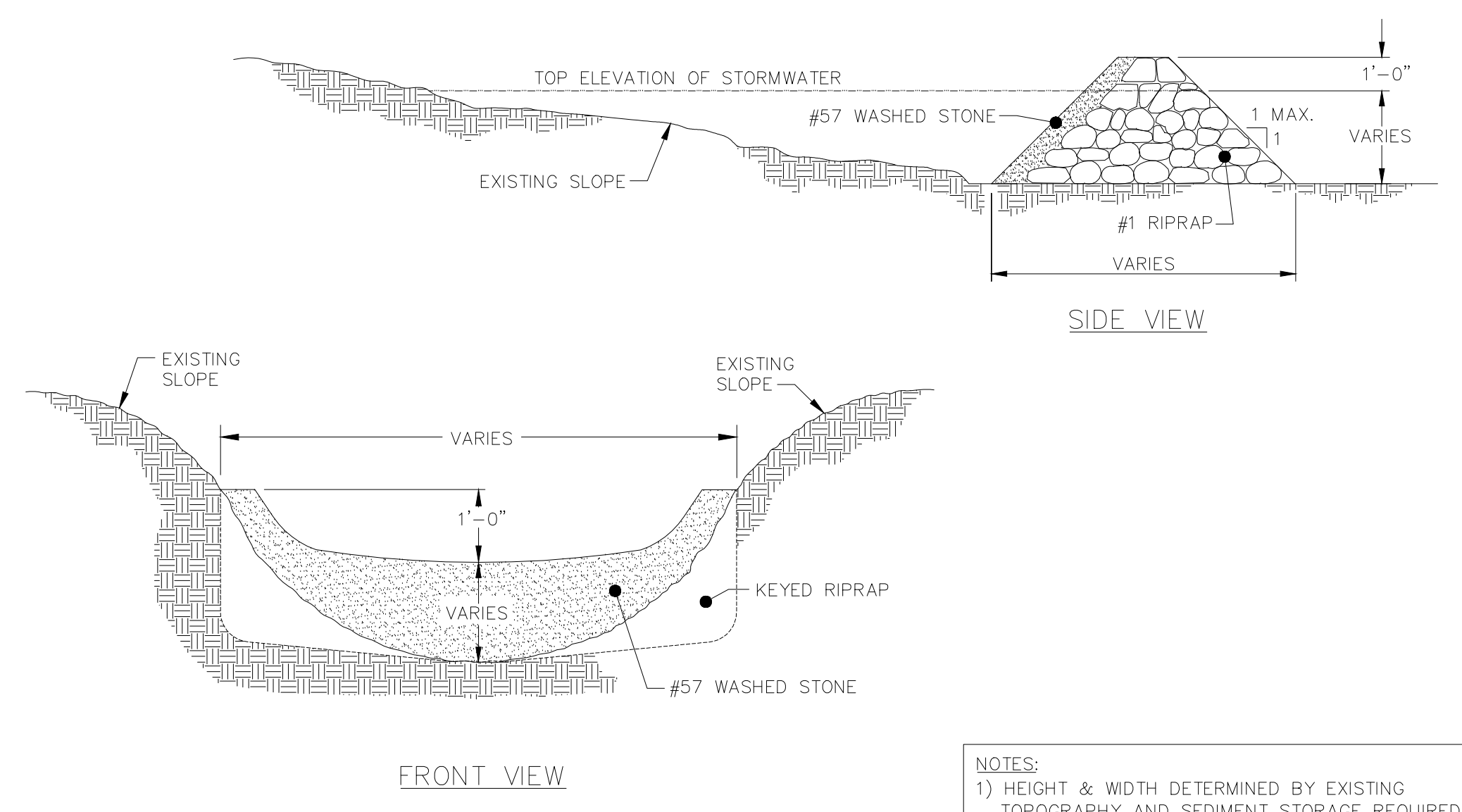
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1
D1 DITCH DETAIL
 NTS



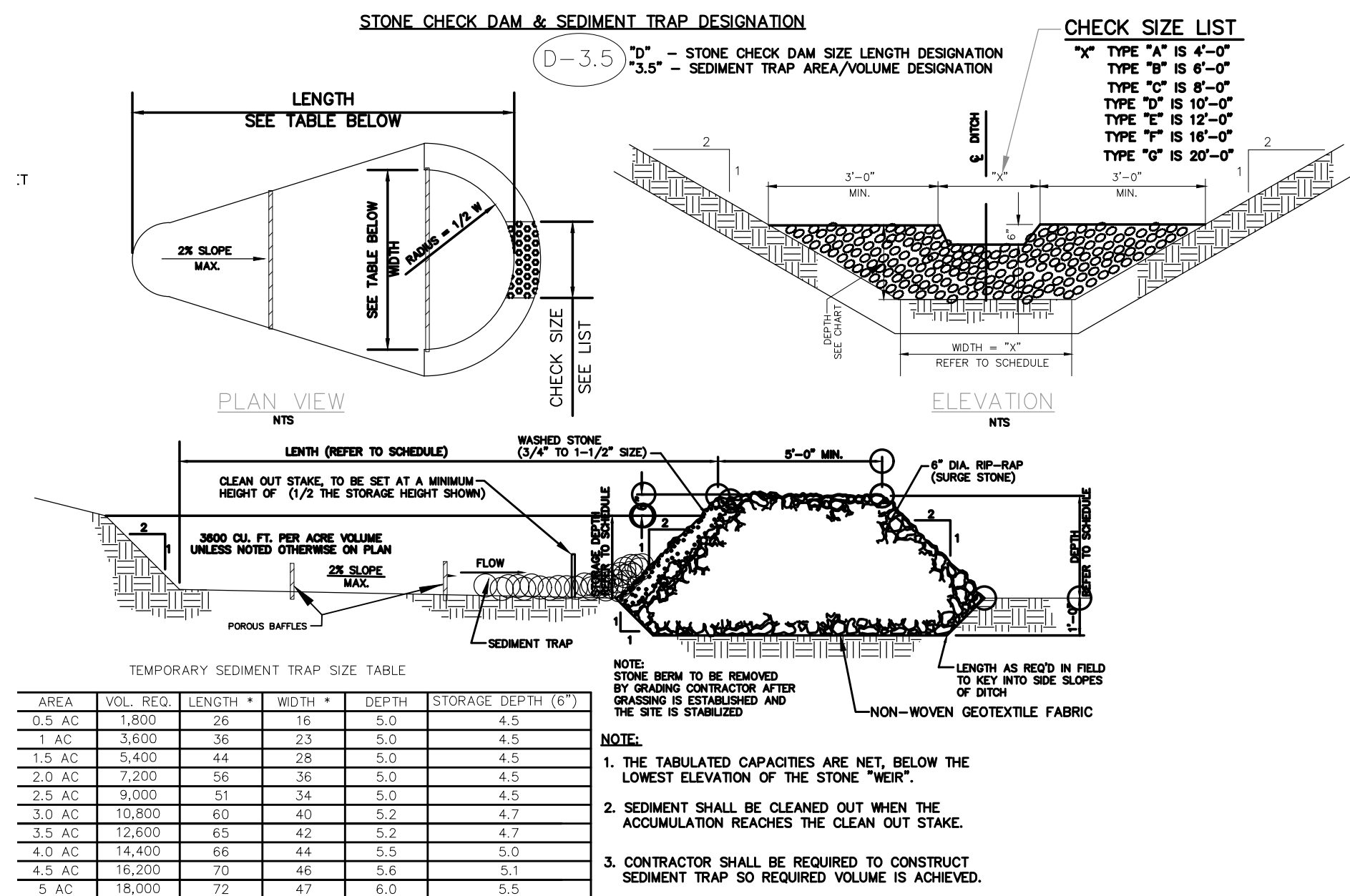
2
D1 DITCH CHECK
 NTS



- NOTES:**
- HEIGHT & WIDTH DETERMINED BY EXISTING TOPOGRAPHY AND SEDIMENT STORAGE REQUIRED.
 - KEY RIPRAP INTO THE DAM FOR STABILIZATION.

2
D1 DITCH CHECK
 NTS

NOTE: DITCH PROFILE FOLLOWS ROAD PROFILE



INSPECTION OF THE TEMPORARY SEDIMENT TRAP SHALL BE ACCOMPLISHED BY A CERTIFIED INSPECTOR OR BY AN AGENT OF THE DESIGN ENGINEER, AS PER REQUIREMENTS SET FORTH IN THE EROSION CONTROL NOTES.

NOTE: STONE BENCH TO BE REMOVED BY GRADING CONTRACTOR AFTER GRADING IS ESTABLISHED AND THE SITE IS STABILIZED.

NOTE: 1. THE TABULATED CAPACITIES ARE NET, BELOW THE LOWEST ELEVATION OF THE STONE "HEAD".

NOTE: 2. SEDIMENT SHALL BE CLEANED OUT WHEN THE ACCUMULATION REACHES THE CLEAN OUT STAKE.

NOTE: 3. CONTRACTOR SHALL BE REQUIRED TO CONSTRUCT SEDIMENT TRAP SO REQUIRED VOLUME IS ACHIEVED.

SEDIMENT TRAP

Installation:

Rock Outlet Structure Requirements:

The maximum sediment trap height shall be 5-feet.
 The maximum stone height of the outlet weir shall be 3.5-feet.
 The minimum bottom flow width of the structure shall be 3-feet.
 The minimum top flow length of the structure shall be 2-feet.

The main body of the outlet structure shall consist of 12-inch D50 class III riprap. The upstream face of the outlet structure shall consist of a 1-foot thick layer of 1-inch D50 washed stone. The maximum sideslope of the rock structure shall be 2:1.

Install a non-woven geotextile filter fabric before installing the stone for the outlet structure. Allow the stone to extend downstream past the toe of the embankment.

All inside sediment trap slopes should be 3:1 or flatter.

Mark the sediment cleanout level of trap with a stake in the field. Seed and mulch all disturbed areas.

Inspection and Maintenance:

The key to a functional sediment trap is

Remove sediment when it reaches 50% of storage volume or reaches the top of cleanout stake.

Regular inspections should be done every week and within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.

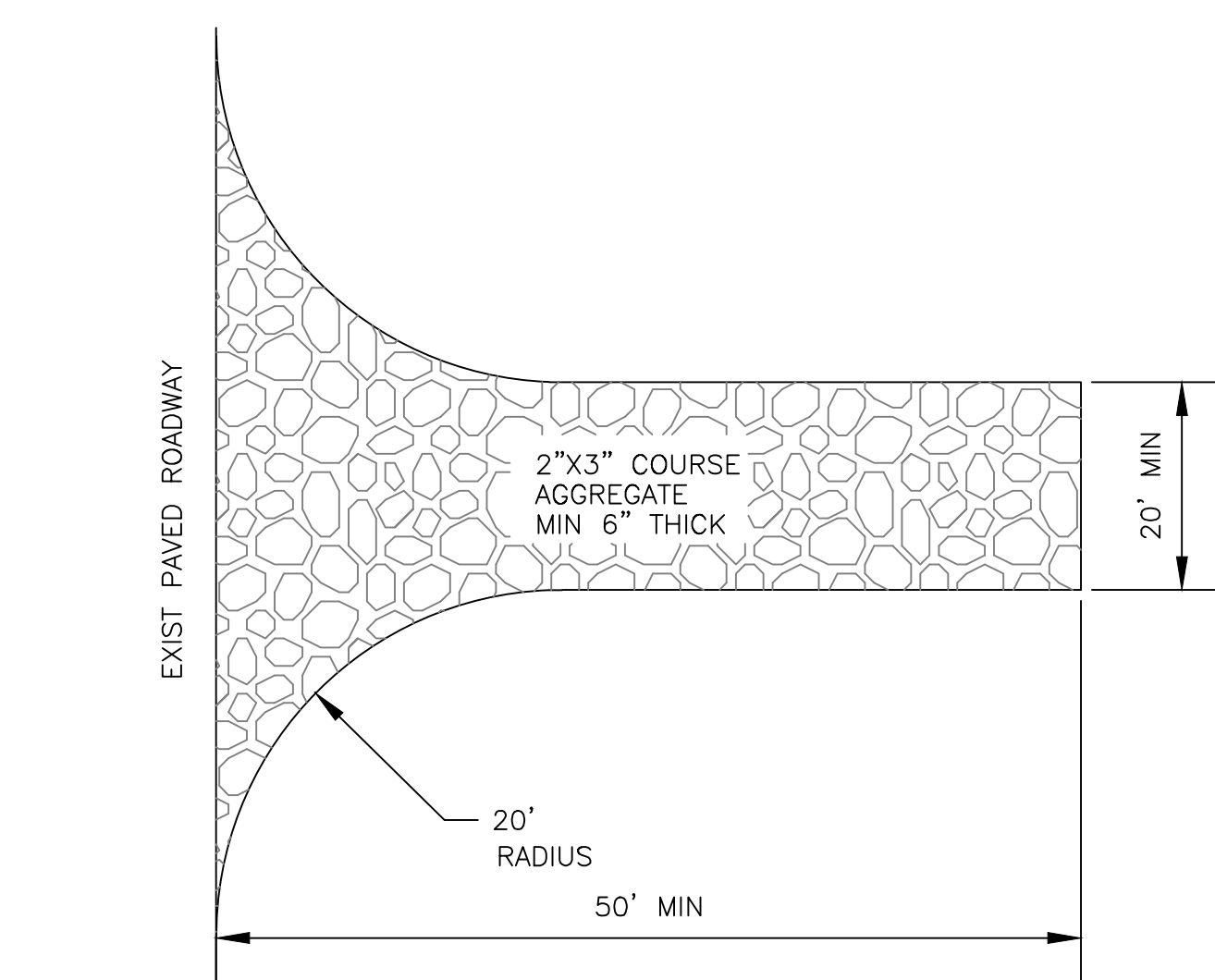
All temporary sediment traps should be removed within 30 days after final site stabilization is achieved or after it is no longer needed.

Trapped sediment should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

Inspection and Maintenance Porous Baffles

- Inspect Porous Baffle systems every seven (7) days. Immediately correct any deficiencies.
- Check for sediment buildup and structure integrity.
- Remove sediment when it reaches 50% of the height of the first baffle row.
- Check where runoff has eroded a channel beneath the Porous Baffle, or where the Porous Baffle has sagged or collapsed.
- Ensure that Porous Baffle material stays securely installed along the basin sides and in the bottom.
- Ensure the Porous Baffle system does not sag across the top of the Porous Baffle system.
- Replace Porous Baffle material if torn or if evidence of deterioration is noted.
- Remove Porous Baffles and replace whenever it has deteriorated to the extent that it reduces the effectiveness of the Porous Baffle system.
- Maintain access to the Porous Baffles and replace promptly if the baffle collapses, tears, decomposes or becomes ineffective.
- Remove sediment deposits when it reaches 1/2 the Porous Baffle height in the first baffle cell. Remove sediment deposits with care to avoid damage during cleanout. Install additional porous systems as directed by the RCE where deficiencies exist.

1 D2 Temporary Sediment Trap NTS



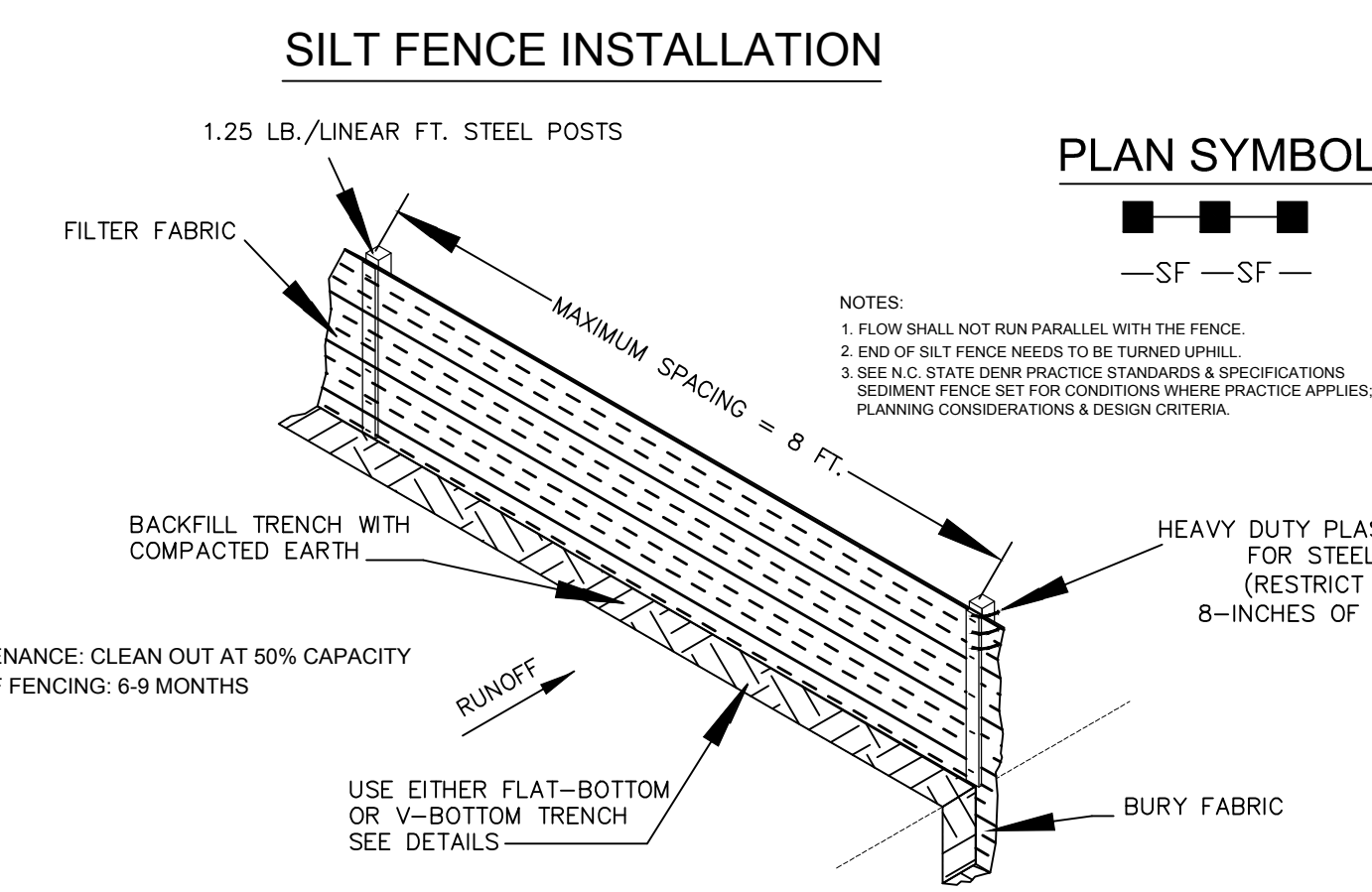
CONSTRUCTION SPECIFICATIONS:

- CLEAR THE ENTRANCE AND EXIT AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL AND PROPERLY GRADE IT.
- PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON PLANS, AND SMOOTH IT.
- PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET.
- USE GEOTEXTILE FABRICS BECAUSE THEY IMPROVE STABILITY OF THE FOUNDATION IN LOCATIONS SUBJECT TO SEEPAGE OR HIGH WATER TABLE.

MAINTENANCE:

MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH 2" STONE. AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY. IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.

2 D2 CONSTRUCTION ENTRANCE NTS



SILT FENCE - GENERAL NOTES

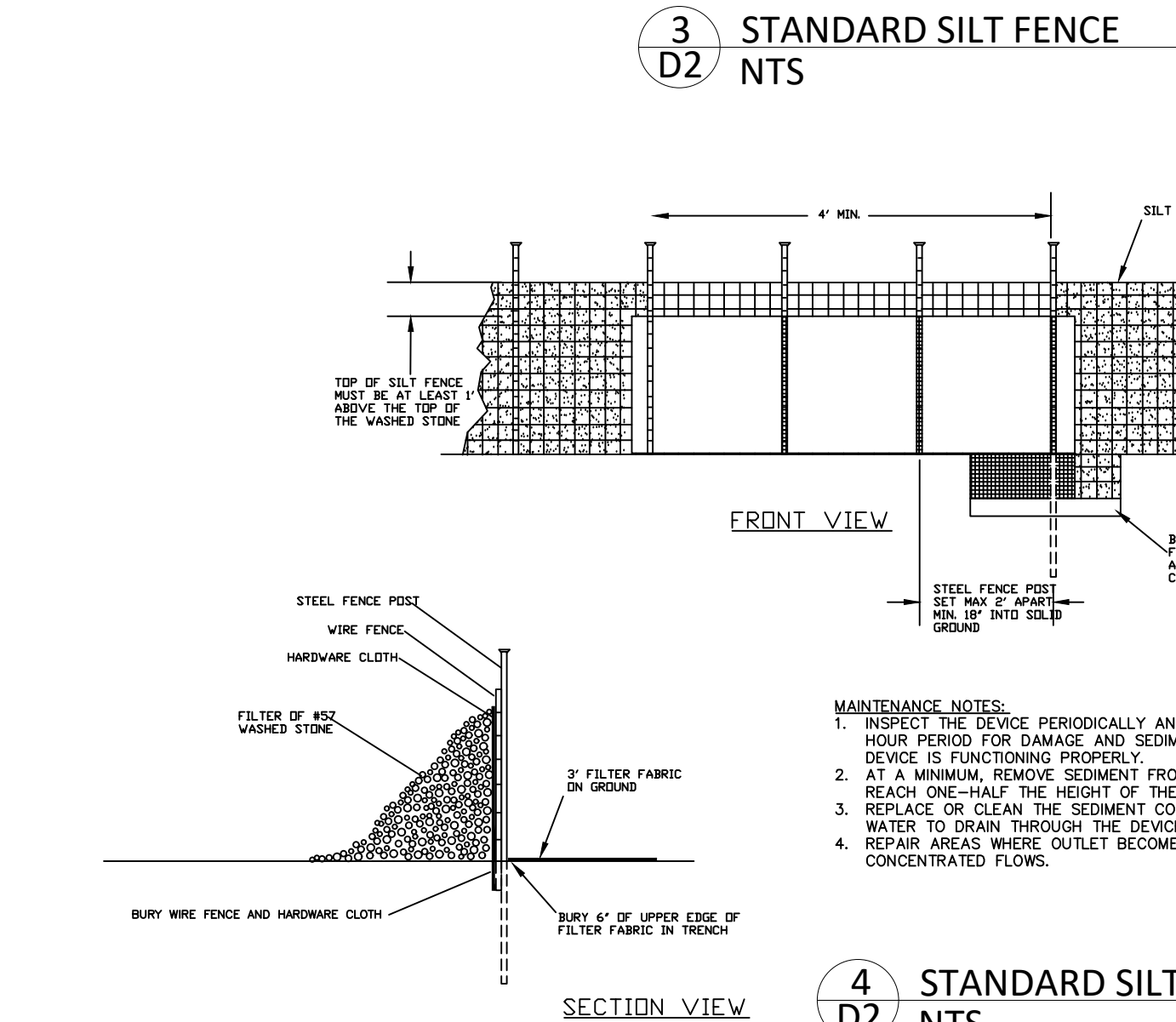
- Do not place silt fence across channels or in other areas subject to concentrated flows. Silt fence should not be used as a velocity control BMP. Concentrated flows are any flows greater than 0.5 cfs.
- Maximum sheet or overland flow path length to the silt fence shall be 100-feet.
- Maximum slope steepness (normal [perpendicular] to the fence line) shall be 2:1.
- Silt fence joints, when necessary, shall be completed by one of the following options:
 Wrap each fabric together at a support post with both ends fastened to the post, with a 1-foot minimum overlap;
 Overlap silt fence by installing 3-feet passed the support post to which the new silt fence roll is attached. Attach old roll to new roll with heavy-duty plastic ties; or,
 Overlap entire width of each silt fence roll from one support post to the next support post.
- Attach filter fabric to the steel posts using heavy-duty plastic ties that are evenly spaced within the top 8-inches of the fabric.
- Install the silt fence perpendicular to the direction of the stormwater flow and place the silt fence the proper distance from the toe of steep slopes to provide sediment storage and access for maintenance and cleanout.
- Install Silt Fence Checks (Tie-Backs) every 50-100 feet, dependent on slope, along silt fence that is installed with slope and where concentrated flows are expected or are documented along the proposed/installed silt fence.

SILT FENCE - POST REQUIREMENTS

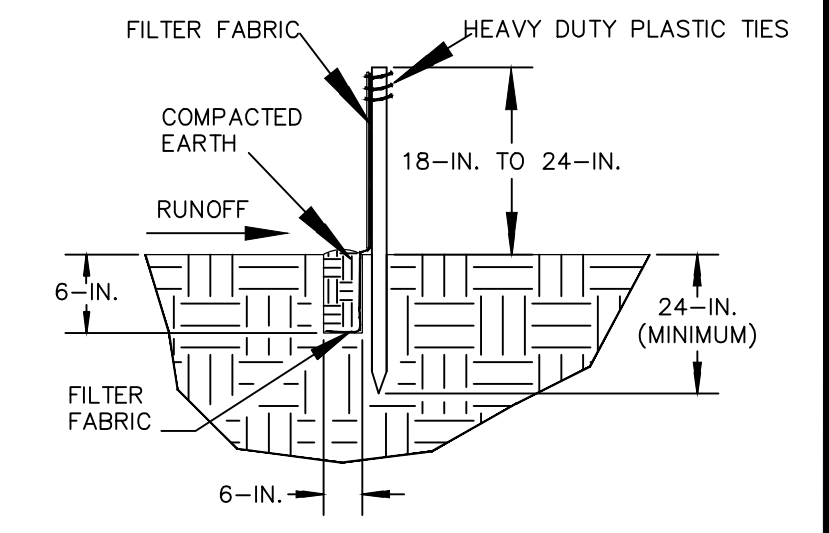
- Silt Fence posts must be 48-inch long steel posts that meet, at a minimum, the following physical characteristics:
 - Composed of a high strength steel with a minimum yield strength of 50,000 psi.
 - Include a standard "T" section with a nominal face width of 1.38-inches and a nominal "T" length of 1.48-inches.
 - Weigh 1.25 pounds per foot (± 8%)
- Posts shall be equipped with projections to aid in fastening of filter fabric.
- Steel posts may need to have a metal soil stabilization plate welded near the bottom when installed along steep slopes or installed in loose soils. The plate should have a minimum cross section of 17-square inches and be composed of 15 gauge steel, at a minimum. The metal soil stabilization plate should be completely buried.
- Install posts to a minimum of 24-inches. A minimum height of 1- to 2-inches above the fabric shall be maintained, and a maximum height of 3 feet shall be maintained above the ground.
- Post spacing shall be at a maximum of 6-feet on center.

SILT FENCE - FABRIC REQUIREMENTS

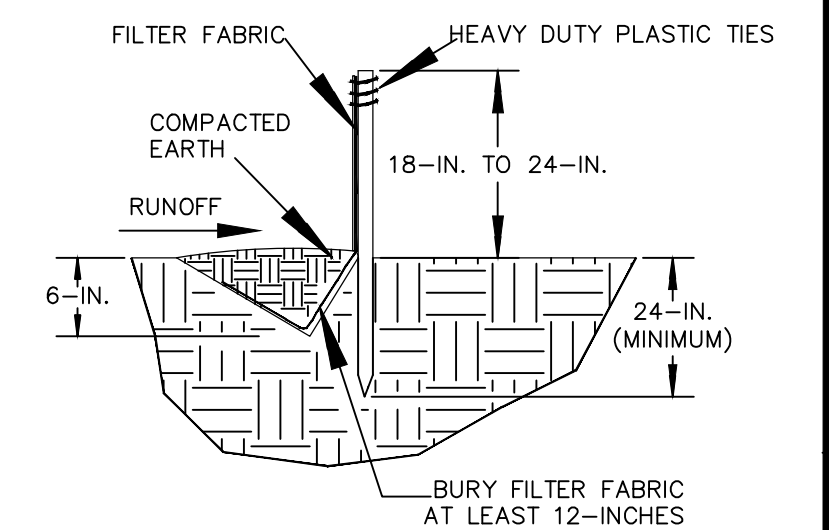
- Silt fence must be composed of woven geotextile filter fabric that consists of the following requirements:
 - Composed of fibers consisting of long chain synthetic polymers of at least 85% by weight of polyolefins, polyesters, or polyamides that are formed into a network such that the filaments or yarns retain dimensional stability relative to each other;
 - Free of any treatment or coating which might adversely alter its physical properties after installation;
 - Free of any defects or flaws that significantly affect its physical and/or filtering properties; and,
 - Have a minimum width of 36-inches.
- Use only fabric appearing on SC DOT's Qualified Products Listing (QPL), Approval Sheet #34, meeting the requirements of the most current edition of the SC DOT Standard Specifications for Highway Construction.
- 12-inches of the fabric should be placed within excavated trench and toed in when the trench is backfilled.
- Filter Fabric shall be purchased in continuous rolls and cut to the length of the barrier to avoid joints.
- Filter Fabric shall be installed at a minimum of 24-inches above the ground.



FLAT-BOTTOM TRENCH DETAIL



V-SHAPED TRENCH DETAIL



SILT FENCE - INSPECTION & MAINTENANCE

- The key to functional silt fence is weekly inspections, routine maintenance, and regular sediment removal.
- Regular inspections of silt fence shall be conducted once every calendar week and, as recommended, within 24-hours after each rainfall event that produces 1/2-inch or more of precipitation.
- Attention to sediment accumulations along the silt fence is extremely important. Accumulated sediment should be continually monitored and removed when necessary.
- Remove accumulated sediment when it reaches 1/3 the height of the silt fence.
- Removed sediment shall be placed in stockpile storage areas or spread thinly across disturbed area. Stabilize the removed sediment after it is relocated.
- Check for areas where stormwater runoff has eroded a channel beneath the silt fence, or where the fence has sagged or collapsed due to runoff overlapping the silt fence. Install checks/tie-backs and/or reinstall silt fence, as necessary.
- Check for tears within the silt fence, areas where silt fence has begun to decompose, and for any other circumstance that may render the silt fence ineffective. Removed damaged silt fence and reinstall new silt fence immediately.
- Silt fence should be removed within 30 days after final stabilization is achieved and once it is removed, the resulting disturbed area shall be permanently stabilized.

Date	02/09/2024	02/19/2024	02/26/2024	03/24/2024
Submissions				
Sediment and Erosion Control Application				
Sediment and Erosion Control Comments				
Sediment and Erosion Control Comments				
Preliminary Plat Submittal				

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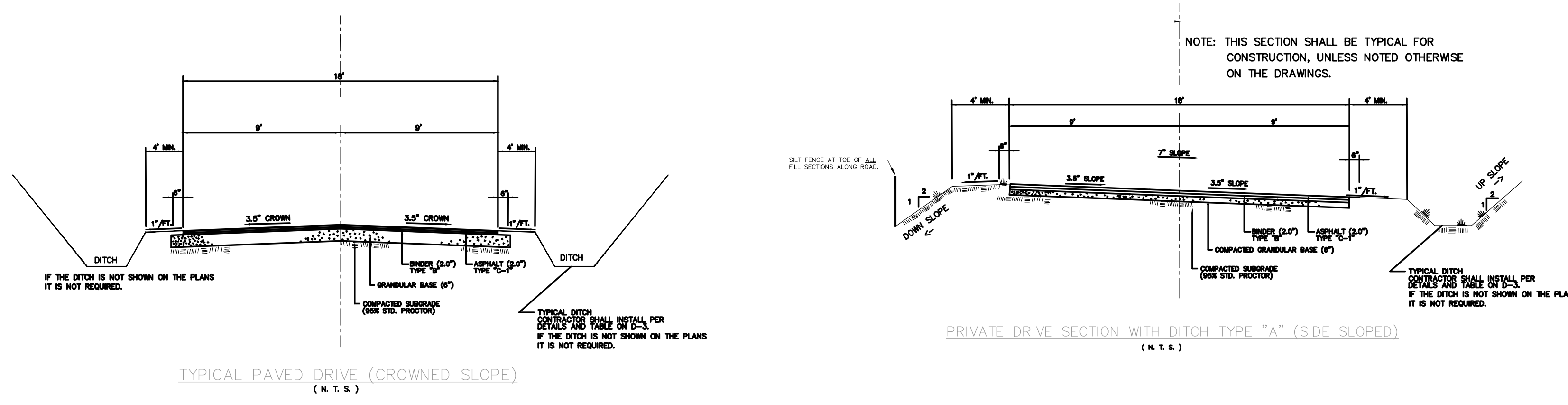


LRM

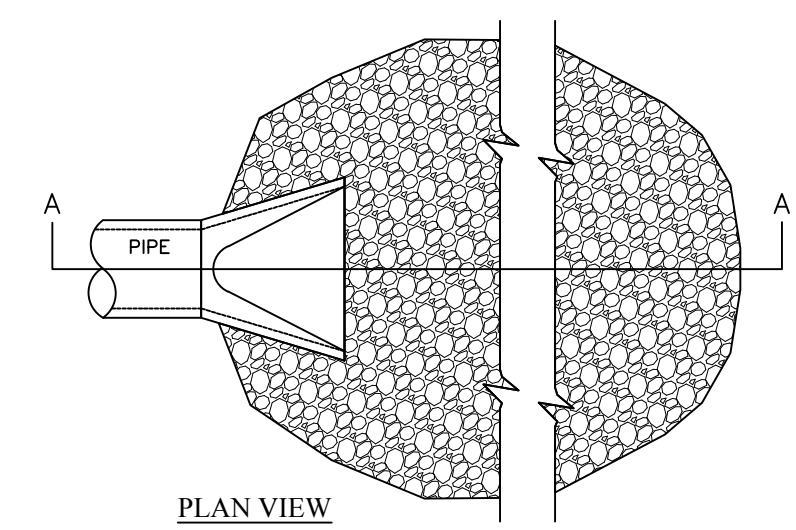
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Rutherford County, North Carolina
AWEN LLC
 Detail Sheet 1

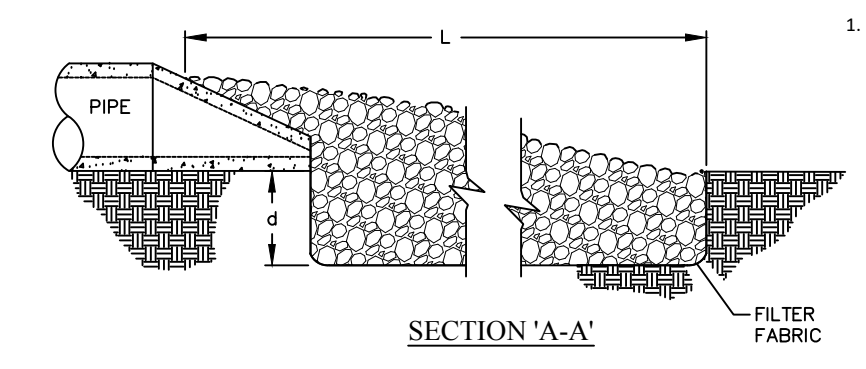
Project Number:	412523	Checked By:	G/MG	Date:	02-09-2024
Scale:	As Noted	Drawn By:	G/MG		
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3
D3 TYPICAL ROAD SECTION
NTS



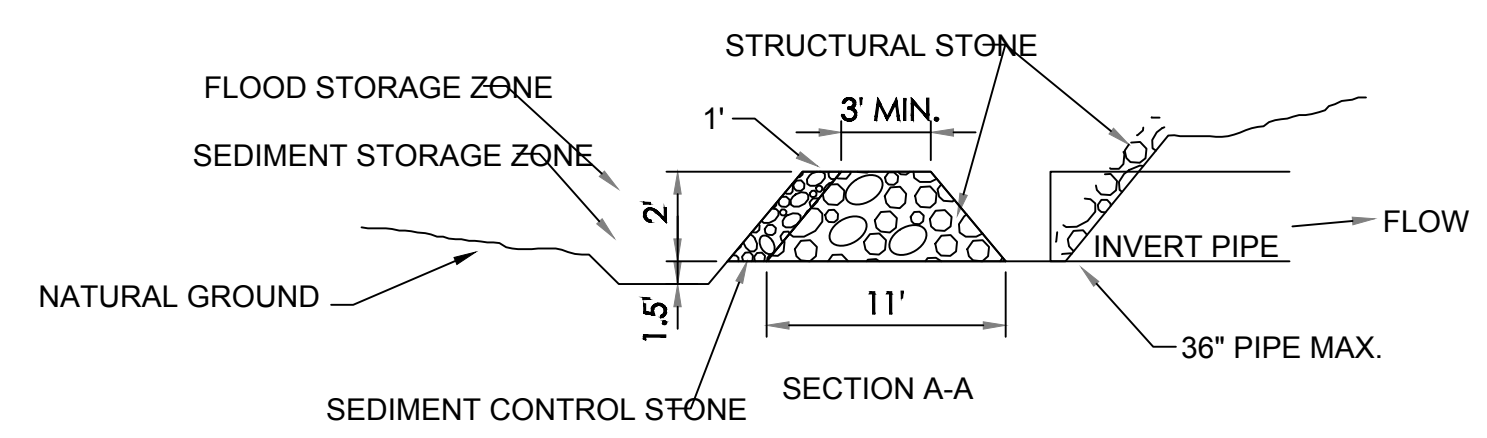
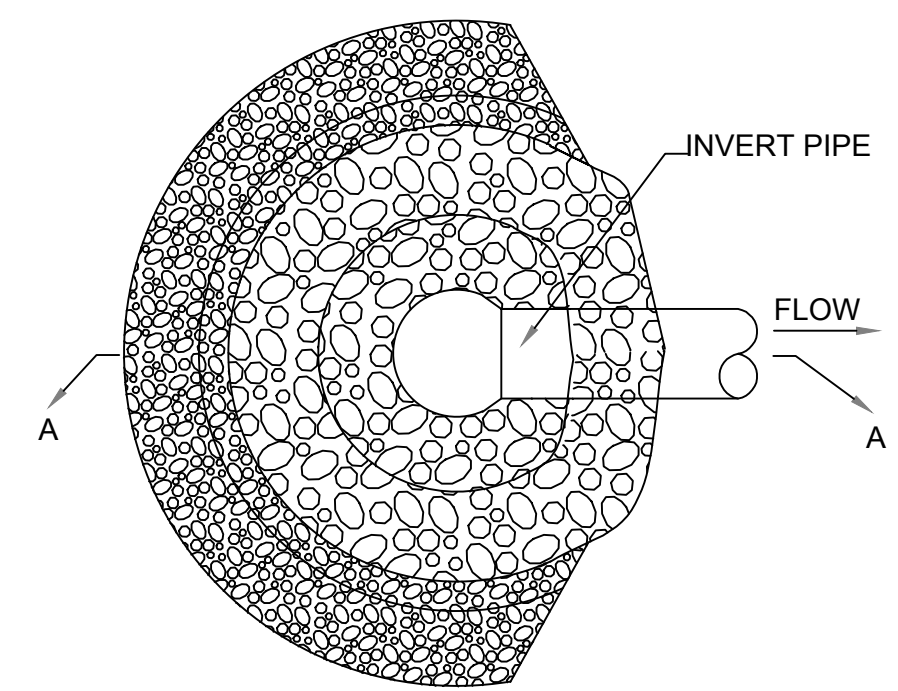
- NOTES:
- L = THE LENGTH OF THE RIPRAP APRON.
 - d = 1.5 TIMES THE MAXIMUM STONE DIAMETER BUT NOT LESS THAN 6" (INCHES)
 - IN A WELL DEFINED CHANNEL EXTEND THE APRON UP THE CHANNEL BANKS TO AN ELEVATION OF 6" (INCHES) ABOVE THE MAXIMUM TAILWATER DEPTH OR TO THE TOP OF THE BANK, WHICHEVER IS LESS.
 - A FILTER BLANNET OR FILTER FABRIC SHOULD BE INSTALLED BETWEEN THE RIPRAP AND SOIL FOUNDATION.



- MAINTENANCE NOTES:
- INSPECT RIPRAP OUTLET STRUCTURES WEEKLY AND AFTER SIGNIFICANT (1 INCH OR GREATER) RAINFALL EVENTS TO SEE IF ANY EROSION AROUND OR BELOW THE RIPRAP HAS TAKEN PLACE, OR IF STONES HAVE BEEN DISLODGED. IMMEDIATELY MAKE ALL NEEDED REPAIRS TO PREVENT FURTHER DAMAGE.

4
D3 RIP RAP APRON
NTS

- NOTES:
- STRUCTURAL STONE SHALL BE CLASS B STONE.
 - SEDIMENT CONTROL STONE SHALL BE NO. 5 OR NO. 57 STONE.
 - DIMENSIONS ARE MINIMUM ACCEPTABLE UNLESS OTHERWISE SPECIFIED BY THE ENGINEER.



5
D3 INLET PROTECTION DETAIL
NTS



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AWEN LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC

Detail Sheet 3

Submissions	Date
Sediment and Erosion Control Application	02/09/2024
Sediment and Erosion Control Comments	02/19/2024
Sediment and Erosion Control Comments	02/26/2024
Preliminary Plat Submittal	03/14/2024

Project Number:
412523

Scale= As Noted

Drawn By
GMG

D3

Date:

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

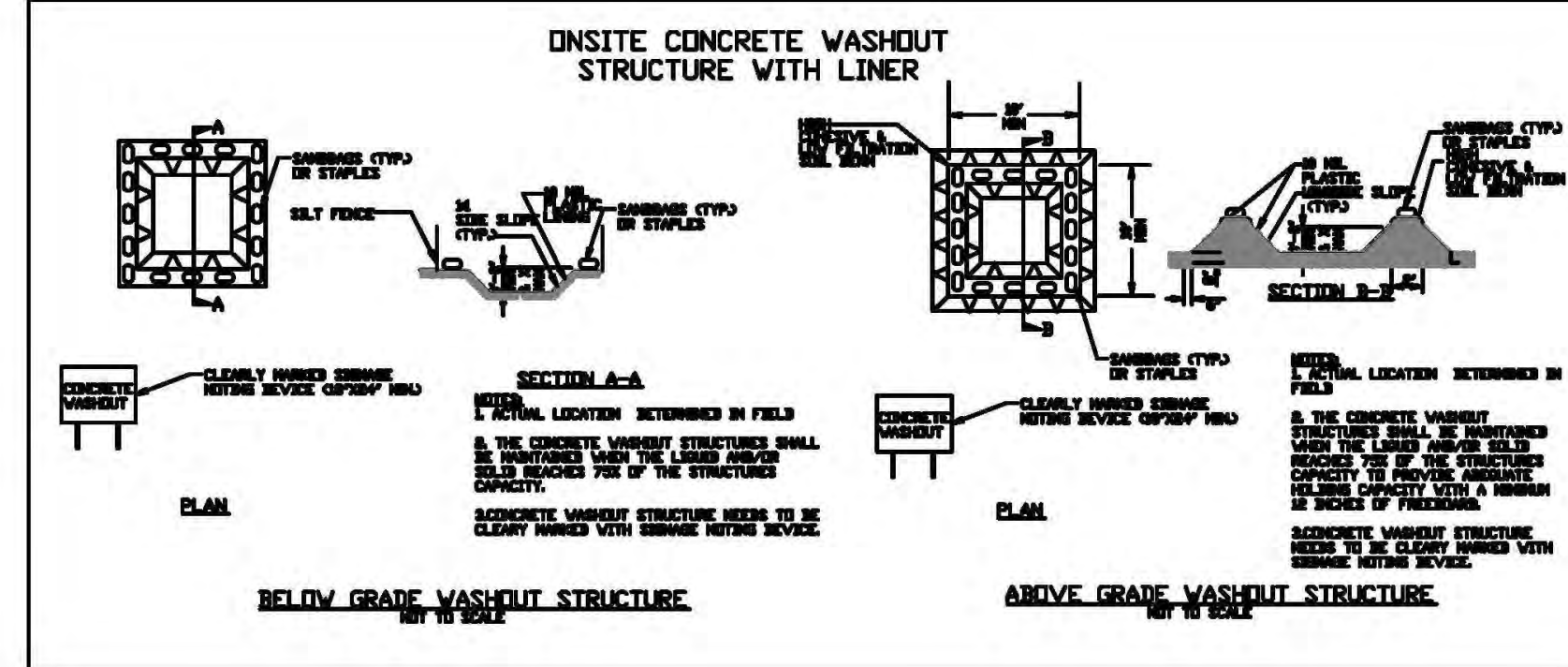
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

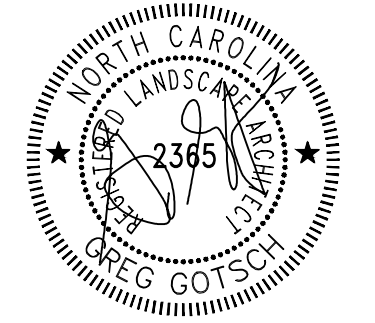


NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

Date	Submissions
02/09/2024	Sediment and Erosion Control Application
02/19/2024	Sediment and Erosion Control Comments
02/26/2024	Sediment and Erosion Control Comments
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For Regulatory Review



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AWEN LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC

Detail Sheet 4

Project Number: 412523	Scale= As Noted	Drawn By: G/M/C	Checked By:	Date:
				D4

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections were delayed shall be noted in the Inspection Record.

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDCs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be kept on site and available for inspection at all times during normal business hours.

Item to Document	Documentation Requirements
(a) Each E&SC measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC plan.	Initial and date each E&SC measure on a copy of the approved E&SC plan or complete, date and sign an inspection report that lists each E&SC measure shown on the approved E&SC plan. This documentation is required upon the initial installation of the E&SC measures or if the E&SC measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC plan.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC measures.	Initial and date a copy of the approved E&SC plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation to be Kept on Site

In addition to the E&SC plan documents above, the following items shall be kept on the site and available for inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This General Permit as well as the Certificate of Coverage, after it is received.
- (b) Records of inspections made during the previous twelve months. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.

3. Documentation to be Retained for Three Years

All data used to complete the e-NOI and all inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION C: REPORTING

1. Occurrences that Must be Reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (c) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (d) Anticipated bypasses and unanticipated bypasses.
- (e) Noncompliance with the conditions of this permit that may endanger health or the environment.

2. Reporting Timeframes and Other Requirements

After a permittee becomes aware of an occurrence that must be reported, he shall contact the appropriate Division regional office within the timeframes and in accordance with the other requirements listed below. Occurrences outside normal business hours may also be reported to the Department's Environmental Emergency Center personnel at (800) 858-0368.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6)]. • Division staff may waive the requirement for a written report on a case-by-case basis.



PART II, SECTION G, ITEM (4)

DRAW DOWN OF SEDIMENT BASINS FOR MAINTENANCE OR CLOSE OUT

Sediment basins and traps that receive runoff from drainage areas of one acre or more shall use outlet structures that withdraw water from the surface when these devices need to be drawn down for maintenance or close out unless this is infeasible. The circumstances in which it is not feasible to withdraw water from the surface shall be rare (for example, times with extended cold weather). Non-surface withdrawals from sediment basins shall be allowed only when all of the following criteria have been met:

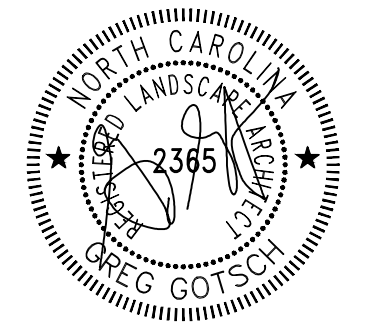
- (a) The E&SC plan authority has been provided with documentation of the non-surface withdrawal and the specific time periods or conditions in which it will occur. The non-surface withdrawal shall not commence until the E&SC plan authority has approved these items,
- (b) The non-surface withdrawal has been reported as an anticipated bypass in accordance with Part III, Section C, Item (2)(c) and (d) of this permit,
- (c) Dewatering discharges are treated with controls to minimize discharges of pollutants from stormwater that is removed from the sediment basin. Examples of appropriate controls include properly sited, designed and maintained dewatering tanks, weir tanks, and filtration systems,
- (d) Vegetated, upland areas of the sites or a properly designed stone pad is used to the extent feasible at the outlet of the dewatering treatment devices described in Item (c) above,
- (e) Velocity dissipation devices such as check dams, sediment traps, and riprap are provided at the discharge points of all dewatering devices, and
- (f) Sediment removed from the dewatering treatment devices described in Item (c) above is disposed of in a manner that does not cause deposition of sediment into waters of the United States.

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

Date	Submissions
09/11/2023	Sediment and Erosion Control Application
01/02/2024	Sediment and Erosion Control Application
02/26/2024	Sediment and Erosion Control Comments
03/24/2024	Preliminary Plat Submittal

For Regulatory Review



P.O. BOX 9251
ASHEVILLE, N.C. 28815
Phone: (828) 900-8700
www.landrm.com

**AWEN LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC**

Detail Sheet 5

Project Number:
412523

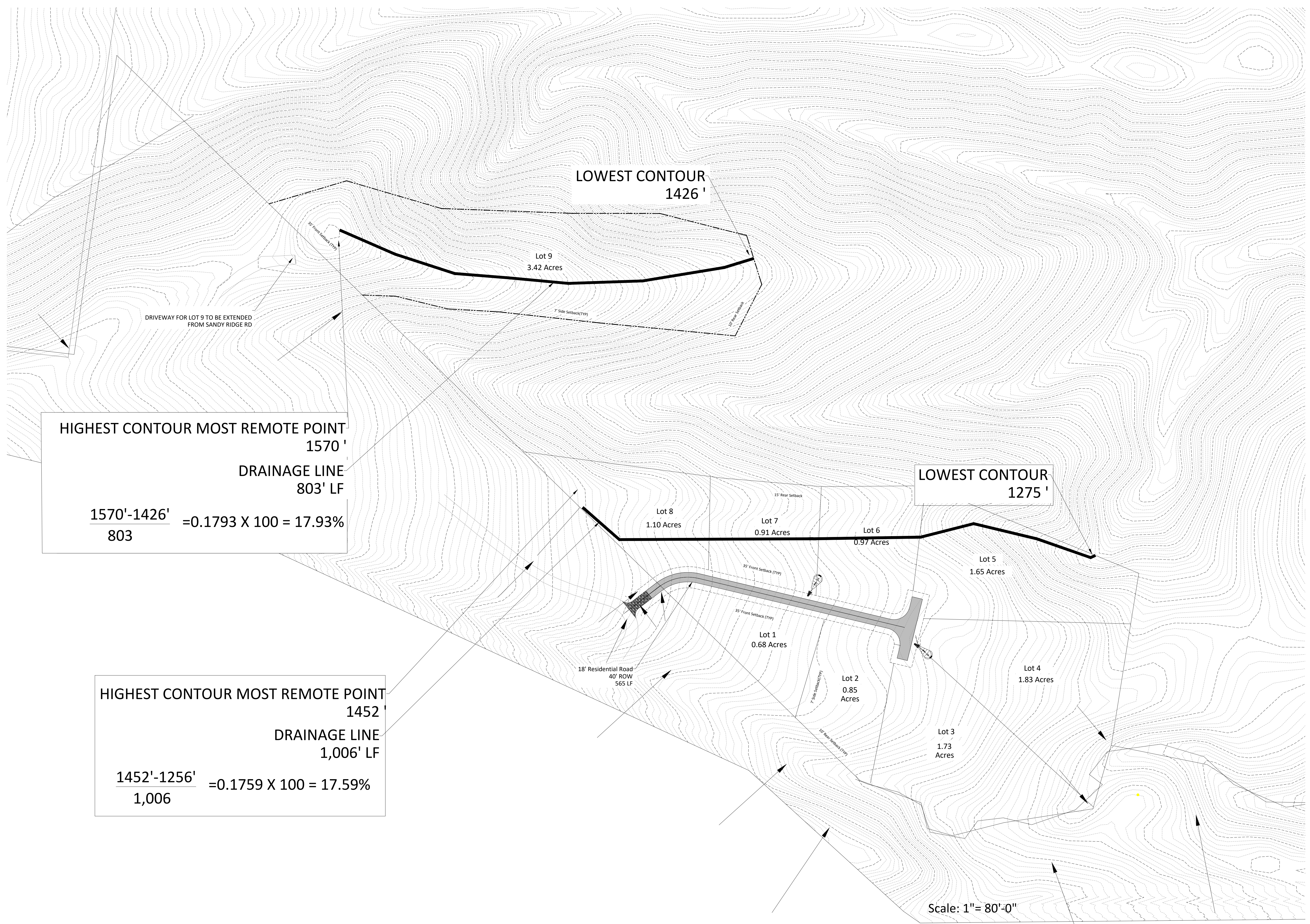
Scale= As Noted

Drawn By
G/M/G

Checked By

Date:

D5



HIGHEST CONTOUR MOST REMOTE POINT
1570'

DRAINAGE LINE
803' LF

$\frac{1570' - 1426'}{803} = 0.1793 \times 100 = 17.93\%$

HIGHEST CONTOUR MOST REMOTE POINT
1452'

DRAINAGE LINE
1,006' LF

$\frac{1452' - 1256'}{1,006} = 0.1759 \times 100 = 17.59\%$

LOWEST CONTOUR
1426'

LOWEST CONTOUR
1275'

Scale: 1" = 80'-0"

Submissions	Date
Sediment and Erosion Control Application	02/09/2024
Sediment and Erosion Control Comments	02/19/2024
Sediment and Erosion Control Comments	02/26/2024



LRM

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Awen LLC Lots 1-10
Rutherford County, North Carolina
AWEN LLC

NATURAL AVERAGE SLOPE

Project Number: 412523	Drawn By: GMG	Checked By:	Date:
Scale= As Noted	EXH-1		



Canopy Coverage Calculation

x= 385
 a= 375 97%
 b= 5 1%
 c = 0
 d = 0
 e = 5 1%

Total Canopy 99% Pre Development
 69 % Canopy Require Post Development
 8 Lot Phase Total = 10.32 AC
 Protection Area= 8.42
 81% Post Development Canopy Coverage

75

Date
03/25/2024

Submissions
 Preliminary Plat Submission



LRM 

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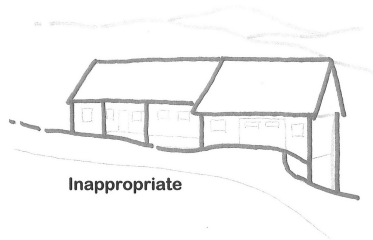
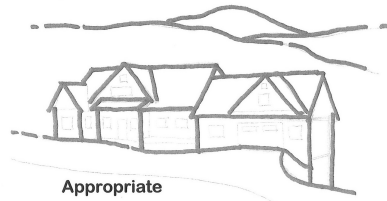
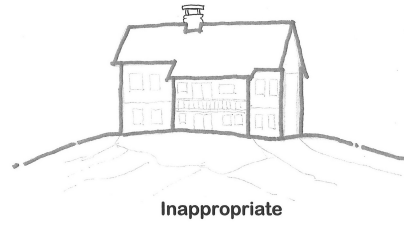
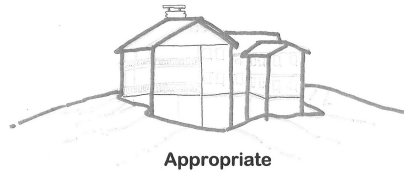
AWEN LLC Lots 1-10
Lake Lure, North Carolina
AWEN LLC

Tree Protection / Canopy Coverage

Project Number: 412523	Scale= As Noted	Drawn By: GM/G	Checked By:	Date: 05-20-2024
TR1				

Sec. 36-71. - Protected mountain ridge overlay zones.

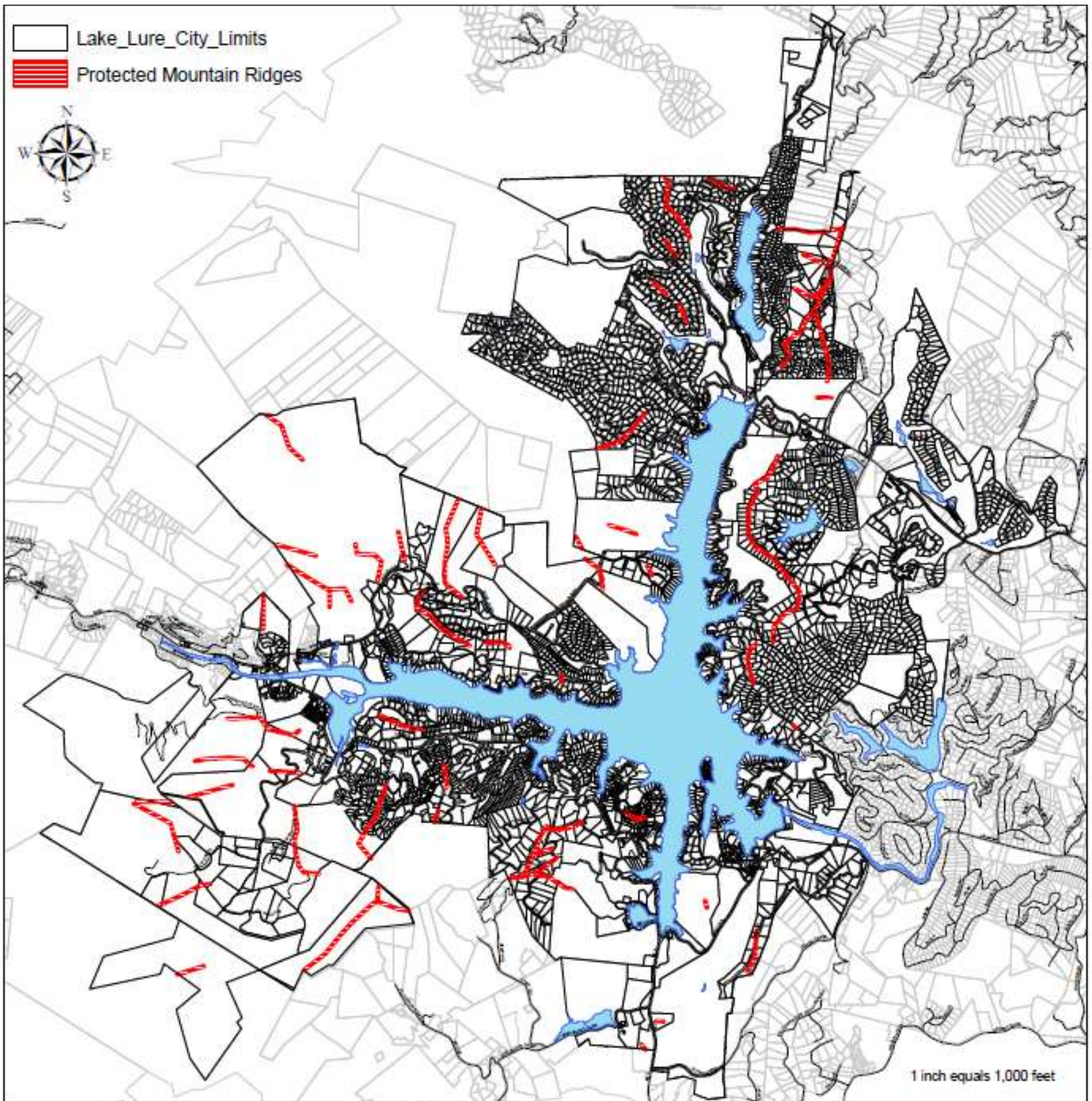
- (a) *Intent.* Mountain ridges provide a key sense of place and are a key economic asset for the people of the town. Certain mountain ridges, by virtue of their topography, are particularly visible, and, thus, have greater potential to impact the values listed above. Protected Mountain Ridge Overlay Zones are intended to protect viewsheds associated with prominent mountain ridges from development activities which are likely to adversely impact these assets.
- (b) *Applicability.* There are hereby created the Protected Mountain Ridge Overlay Zones as depicted on the map entitled "Protected Mountain Ridge Overlay Zone Map," which is attached to the ordinance from which this section is derived and which is hereby adopted as if fully set forth in this chapter. Said map shall be attached to the town clerk's copy of this chapter upon adoption and shall be duly incorporated into the zoning map of the town. In addition to complying with all applicable standards of the underlying zoning district, development on lands situated within such overlay zones shall also comply with the standards contained in this section.
- (c) *Building location.* To the extent practicable, each building shall be located so as to minimize its visual impact.
- (d) *Partial screening.* A portion of natural on-site vegetation shall be retained sufficient to partially screen (along 50 percent of the building face, or that achieves 50 percent opacity or more along the building face) the building, structure, use, or activity from views from public roads not serving the building, or landscaping shall be installed and designed to partially screen the building, structure, use, or activity from views from public roads, or other measures have been included in the project and approved by the director to reduce the visual impacts of such development from views from public roads. View corridors from the proposed building to surrounding areas may be provided, but such corridors shall not extend for more than 50 percent of the width of building face between the view sought and the building face from which the view is sought.
- (e) *Tree protection.* Trees which are part of the tree canopy or required screening shall not be removed unless they constitute a danger to person or property and only with written authorization of the tree protection officer.
- (f) *Roofs.* Roof forms and rooflines for new structures shall be broken into a series of smaller building components to reflect the irregular forms of the surrounding mountain or hillside. The slope of the roof shall be oriented in the same direction as the natural slope of the lot. Only nonreflective roofing materials shall be used.



Roof Forms and Roof Lines

(Code 1989, § 92.041; Ord. of 11-18-2008; Ord. of 3-10-2009; Ord. of 10-9-2012; Ord. of 12-9-2014; Ord. of 3-16-2015)

Town of Lake Lure Protected Mountain Ridges



Date Printed: June 20, 2022
Printed by: Town of Lake Lure
Community Development Department

This map was prepared from existing Rutherford County property parcel maps as of June 14, 2022 for the sole purpose of presenting information on Protected Mountain Ridges within the Town of Lake Lure, NC and should not be used for the transfer of property, easements, or conveyances.

Protected Mountain Ridges were identified using historic view locations (including the Lake, NC 9 and 64/74 intersection, Buffalo Shoals and & 64/74 intersection, and areas in Rumbling Bald Resort) processed using the Town's GIS. Visible ridgelines above 1200' MSL were identified for protection. A ridgeline zone was established by creating a buffer zone of 50 feet from each side of the delineated centerline of the ridge. The Protected Mountain Ridges ordinance can be located in Section 36-71 of the Town Ordinances.

Sec. 36-5. - Definitions.



The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Access structure means a uncovered staircase, walkway or handicap access way no greater than four feet in width and constructed above grade at an elevation no greater than reasonably required by topography to connect the principal structure to the street or shoreline.

Accessory building means a detached building subordinate to the principal building on a lot and used for purposes customarily incidental to the principal building and located on the same lot.



NAME: Mike Williams

POSITION: Community Development Director

REPORT DATE: 7/4/24

PREPARED FOR: Town Manager & Council

SUMMARY OF THE MONTH

*CDD issued 31 permits in June (31 in May, 34 in Apr, 62 in Mar, 43 in Feb, 39 in Jan, 31 in Dec, 31 in Nov, 35 in Oct, 34 in Sept, 39 in Aug, 28 in July, 22 in June, 60 in May Includes 12 Zoning (May=12, Apr=12, Mar=19, 10=Feb, Jan=19, Dec=16, Nov=12, Oct=12, Sep=7, Aug=13, Jul=13, Jun=9, May=22
5 Lake Structure-inc. shoreline stabilization (May=4, Apr=8, Mar=16, Feb=9, Jan=8, Dec=1, Nov=1, Oct=2, Sept=4, Aug=4, Jul=2, Jun=2, May=9
4 Land Disturbance (May=3, Apr=7, 9=Mar, Feb=4, Jan=4, Dec=1, Nov=1, Oct=3, Sept=3, Aug=3, Jul=2, Jun=3, May=3
and 11 Vacation Rental Operator permit (May=2, Apr=2, Mar=9, Feb=6, Jan=5, Dec=1, Nov=1, Oct=2, Sept=4, Aug=2; Jul=5, Jun=4, May=12, Apr=2, Mar=2, Feb=2, Jan=2, Dec=2, Nov=5, Oct=5, Sept=5, Aug=2, Jul=6, Jun=7). Active VROP's = 467 (total active permits based on our updated permit data)
*Did Final Inspection/issued Certificates of Completion for 17 zoning or lake structure permits. (May=15, Apr=16, Mar=16, Feb=7, Jan=11, Dec=13, Nov=13, Oct=14, Sept=13, Aug=12, Jul=14, Jun=16)

TOP ACCOMPLISHMENTS / PROJECT UPDATES

- 1) Zoning and Planning Board conducted a review of KML Investments, LLC's Special Use Permit package regarding a 2,940sf office building with two office spaces and open area for storage. The board reviews site treatment, building design, relationship of building to site and neighborhood character and other considerations reasonably affecting the appearance of the proposed project. The board approved a recommendation to the Board of Adjustments for approval.
- 2) Board of Adjustments conducted quasi-judicial reviews of two variance requests. First was to reduce setbacks and other an increase in the maximum building height. Both were approved as presented. The board also reviewed the Special Use Permit package for the 2,940sf office building to be located within the Commercial General district that had been recommended for approval by Zoning & Planning. The board approved the Special Use Permit.
- 3) Lake Structure Appeals Board had no new business in June.
- 4) Continued working with Tillman Construction (for AT&T) on the cell tower project. It is still under review of the FCC and construction held pending their release.
- 5) Our college intern has helped our department with GIS mapping projects including zoning and protected mountain ridge mapping and continues researching street right of way information. This has been/will be a great collection of information for permitting and public use. She has also worked with public works on sewer and other infrastructure mapping including physical collection of data points, recording information and mapping.
- 6) We are also working on office space planning in preparation for a staff addition that would require a work space, and means to make the space more functional for our use.