

LAKE LURE TOWN COUNCIL MEETING PACKET

Wednesday, May 27, 2026

8:30 a.m.



**Mayor Carol C. Pritchett
Mayor Pro Tem David DiOrio
Commissioner Patrick Bryant
Commissioner Scott Doster
Commissioner Jim Proctor**

I Call to Order

II

Agenda Adoption

**TOWN OF LAKE LURE
TOWN COUNCIL WORK SESSION AND ACTION MEETING**

Wednesday, May 27, 2026 at 8:30 a.m.

Town Hall at The Landings



Agenda

- I. Call to Order**
- II. Agenda Adoption**
- III. Review Proposed FY26-27 Budget Information**
- IV. Resolution No. 26-05-27 Setting Public Hearing for June 9, 2026 to Receive Comments Regarding Proposed Fiscal Year 2026-2027 Budget**
- V. Discuss 2026-2027 Drawdown Schedule**
- VI. Permission for Encroachment into the Town Right of Way (ROW) along Tryon Bay Circle**
- VII. Request for Injunctive Relief Against Parcels 1611501 and 1600457 for Failure to Follow Approved Plans and Abate Code Violations**
- VIII. Failed Seawall at 0 Conroy Ct. (Parcel 1636292) Request to condemn the Seawall and Remediate the Hazard**
- IX. Resolution No. 26-05-27A Setting Public Hearing for June 9, 2026 to Receive Comments Regarding Proposed Text Amendment to Chapter 36 Zoning Regarding Accessory Buildings in Residential Districts**
- X. Budget Amendment #382 for Fire Station 2 Remodel**
- XI. Hager Strategic Solutions Updates**
- XII. Town Manager/Project Updates**
- XIII. Public Comment**
- XIV. Closed Session in Accordance with G.S. 143-318.11(a) (5) for the Purpose of Discussing Property Acquisition.**
- XV. Adjournment**

III.

Review Proposed FY 26-27 Budget Information

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026**

SUBJECT: Review Proposed FY26-27 Budget Information

AGENDA INFORMATION:

Item Number: III
Department: Finance
Contact: Steve Ford, Finance Director
Presenter: Olivia Stewman, Town Manager

BRIEF SUMMARY:

Town Council will review updated materials for the proposed FY26-27 budget.

ATTACHMENTS:

FY26-27 Budget Message; Draft Budget Ordinance; Updated General Fund Revenues and Expenditures (no proposed changes to water/sewer and hydroelectric this year)

ORDINANCE NO. 26-06-09A

AN ORDINANCE ADOPTING THE FISCAL YEAR 2026-2027 BUDGET FOR THE TOWN OF LAKE LURE, NORTH CAROLINA

SECTION 1. In accordance with G.S. 159-13 (a), the Town Council of the Town of Lake Lure adopts this ordinance entitled Town of Lake Lure 2026-2027 Budget.

SECTION 2. This ordinance includes revenues and expenditures in the General Fund, Water/Sewer Fund and Electric Fund. Revenues and expenditures in those funds are as follows:

<u>REVENUES</u>	
I. GENERAL FUND	
Ad Valorem and Vehicle Taxes	5,091,055
State Shared Revenues & Grants	2,332,315
Land Use Fees	66,500
Cultural and Recreation	1,234,617
Miscellaneous Revenues	105,000
Transfer from Capital Reserve	-
Installment Agreement Proceeds	-
TOTAL GENERAL	8,829,487
II. WATER/SEWER FUND	
TOTAL WATER/SEWER	1,650,360
III. ELECTRIC FUND	
TOTAL ELECTRIC	1
<u>GRAND TOTAL - ALL FUNDS</u>	10,479,848

EXPENDITURES

I. GENERAL FUND

Governing Board	38,750
Administration	1,149,588
IT/Telecommunications	135,490
Police	1,181,834
Fire	1,334,701
Sanitation	240,000
Public Works	952,929
Economic Development	116,687
Community Development	310,483
Beach & Marina	17,399
Dam/Watershed Protection	25,000
Non-Governmental	220,000
Capital Outlay & Projects	1,185,226
Debt Service	321,400
Transfer to Dam Capital Reserve Fund	1,600,000
TOTAL GENERAL	8,829,487

II. WATER/SEWER FUND

Water Operations	386,200
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Sewer Operations	598,800
Capital Outlay and Bonus	145,415
Debt Service	119,945
Transfer to Fund Balance (Equity)	400,000
TOTAL WATER/SEWER	1,650,360

III. ELECTRIC FUND

Operations	1
Capital Outlay	-

TOTAL HYDRO-ELECTRIC FUND 1

GRAND TOTAL – ALL FUNDS 10,479,848

SECTION 3. To achieve this budget program, the Town Council of the Town of Lake Lure, in accordance with G.S. 159-13(c), the tax rate shall be 0.377 per \$100.00 of property valuation (municipal services at 0.137 per \$100.00, dam capital at 0.127 per \$100.00, and fire district tax at 0.113 per \$100.00 of property valuation).

SECTION 4. Pursuant to the authority set forth in Article 20, Chapter 160A of the North Carolina General Statutes, the Town of Lake Lure and Rutherford County have entered into a contractual agreement to provide for centralized and systemized billing and collection of property taxes in Rutherford County. Under this agreement the County will perform for itself and the Town all of the tax collection functions prescribed in Subchapter 50 of Chapter 105 of the North Carolina General Statutes (often referred to as the Machinery Act). This joint tax collection system shall commence with the tax levy for the fiscal year beginning July 1, 2026. In accordance with section V. of this agreement, the Town of Lake Lure hereby adopts the same tax discount schedule as the County for the Town's tax levy for the fiscal year commencing July 1, 2026.

Adopted the 9th day of June, 2026.

Mayor Carol C. Pritchett

Ordinance No. 26-06-09

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ATTEST:

Kimberly Martin, Town Clerk

APPROVED AS TO FORM:

Marty Benson, Town Attorney
Allen Stahl + Kilbourne

DRAFT

**TOWN OF LAKE LURE, NORTH CAROLINA
BUDGET WORKPAPER
FOR THE YEAR ENDED JUNE 30, 2027**

<u>Fund</u>	<u>Fund Description</u>	<u>Account Number</u>	<u>Account Description</u>	<u>2026-2027 Recommended Budget</u>
10	GENERAL FUND	10.311213	Ad Valorem Taxes-2023	(5,091,055.00)
10	GENERAL FUND	10.332200	Beer & Wine Tax	(5,010.00)
10	GENERAL FUND	10.332300	Court Costs, Fees and Chrgs	(550.00)
10	GENERAL FUND	10.332400	Utlities Franchise Tax	(275,000.00)
10	GENERAL FUND	10.332600	Powell Bill - Tax on Gas	(85,000.00)
10	GENERAL FUND	10.332930	State Shared Sales Tax	(1,950,000.00)
10	GENERAL FUND	10.332933	Solid Waste Disposal Tax	(780.00)
10	GENERAL FUND	10.332942	Video Programming Tax	(15,975.00)
10	GENERAL FUND	10.347100	Zoning Permits	(52,745.00)
10	GENERAL FUND	10.347200	Land Disturbance Permit	(6,600.00)
10	GENERAL FUND	10.347300	Sign Permit	(500.00)
10	GENERAL FUND	10.347550	Vacation Rental Fees	(500.00)
10	GENERAL FUND	10.347600	Lake Structure Permit/LSA	(5,255.00)
10	GENERAL FUND	10.347800	Fire Inspection	(50.00)
10	GENERAL FUND	10.347900	Fines/Penalties - Land Use	(850.00)
10	GENERAL FUND	10.361201	Lake Lure Tours	(60,000.00)
10	GENERAL FUND	10.361202	Lake Fines	(300.00)
10	GENERAL FUND	10.361203	Lake Comm License Fees	(15,000.00)
10	GENERAL FUND	10.361204	Boat Permits	(675,000.00)
10	GENERAL FUND	10.361205	RBR CONCESSIONS	(25,000.00)
10	GENERAL FUND	10.361207	Cluster Mooring Fees	(24,000.00)
10	GENERAL FUND	10.363801	Beach-Admission Fee-Adult	(65,000.00)
10	GENERAL FUND	10.363804	Beach-Concessions	(10,000.00)
10	GENERAL FUND	10.364902	Marina-Open Slip Rental	(287,817.00)
10	GENERAL FUND	10.364905	Marina-Concessions	(18,500.00)
10	GENERAL FUND	10.364908	Marina-Rentals	(50,000.00)
10	GENERAL FUND	10.383100	Interest Earned on Investments	(4,000.00)
10	GENERAL FUND	10.383500	Sale of Assets	(105,000.00)
10	411000 COMMISSION	10.411000.102	Salaries-Part Time	14,000.00
10	411000 COMMISSION	10.411000.109	FICA	1,250.00
10	411000 COMMISSION	10.411000.214	Supplies-Dept	3,000.00
10	411000 COMMISSION	10.411000.215	Supplies-Materials	20,000.00
10	411000 COMMISSION	10.411000.310	Travel and Transportation	500.00
10	413000 ADMINISTRATION	10.413000.100	SALARIES	571,152.00
10	413000 ADMINISTRATION	10.413000.109	FICA	43,693.00
10	413000 ADMINISTRATION	10.413000.110	Retirement	47,700.00
10	413000 ADMINISTRATION	10.413000.111	Group Insurance	5,250.00
10	413000 ADMINISTRATION	10.413000.120	401 (K) Contribution	28,558.00
10	413000 ADMINISTRATION	10.413000.103	Professional Services	55,000.00
10	413000 ADMINISTRATION	10.413000.180	Legal Services	80,000.00
10	413000 ADMINISTRATION	10.413000.190	Engineering Services	2,735.00
10	413000 ADMINISTRATION	10.413000.214	Supplies-Dept	30,000.00
10	413000 ADMINISTRATION	10.413000.215	Supplies-Materials	3,500.00
10	413000 ADMINISTRATION	10.413000.310	Travel and Transportation	5,000.00

10	413000 ADMINISTRATION	10.413000.320	Postage	3,000.00
10	413000 ADMINISTRATION	10.413000.322	Printing	2,000.00
10	413000 ADMINISTRATION	10.413000.324	Dues and Subscriptions	5,000.00
10	413000 ADMINISTRATION	10.413000.330	Utilities	70,000.00
11	413000 ADMINISTRATION	10.413000.353	Repairs and Maint-Equipment	1,000.00
10	413000 ADMINISTRATION	10.413000.370	Advertising	3,000.00
10	413000 ADMINISTRATION	10.413000.614	Lobbyist	48,000.00
9	413000 ADMINISTRATION	10.413000.687	Contractual - County Tax Collection	15,000.00
10	413000 ADMINISTRATION	10.413000.691	Contractual Services	130,000.00
10	420000 CENTRAL SERVICES-Technology & Tel	10.420000.321	Telephone	29,350.00
10	420000 CENTRAL SERVICES-Technology & Tel	10.420000.325	Internet Services	5,200.00
10	420000 CENTRAL SERVICES-Technology & Tel	10.420000.380	IT Support Services	95,940.00
10	420000 CENTRAL SERVICES-Technology & Tel	10.420000.527	TECH-Website Update	5,000.00
10	431000 POLICE	10.431000.100	SALARIES	621,285.00
10	431000 POLICE	10.431000.101	OVERTIME	10,000.00
10	431000 POLICE	10.431000.102	Salaries-Part Time	30,000.00
10	431000 POLICE	10.431000.104	Separation Allowance-Law Enfor	100,027.00
10	431000 POLICE	10.431000.109	FICA	47,528.00
10	431000 POLICE	10.431000.110	Retirement	118,044.00
10	431000 POLICE	10.431000.111	Group Insurance	95,400.00
10	431000 POLICE	10.431000.112	Special Benefit Fund-Police	30,000.00
10	431000 POLICE	10.431000.212	Supplies-Fuel	30,000.00
10	431000 POLICE	10.431000.214	Supplies-Dept	10,000.00
10	431000 POLICE	10.431000.217	Supplies-Uniforms	10,000.00
10	431000 POLICE	10.431000.220	Alcohol & Drug Ed.	1,000.00
10	431000 POLICE	10.431000.310	Travel and Transportation	2,000.00
10	431000 POLICE	10.431000.324	Dues and Subscriptions	1,500.00
10	431000 POLICE	10.431000.333	Utilities-Boat House and Range	-
10	431000 POLICE	10.431000.353	Repairs and Maint-Equipment	4,000.00
10	431000 POLICE	10.431000.354	Repairs and Maint-Vehicles	35,000.00
10	431000 POLICE	10.431000.490	Miscellaneous	1,000.00
10	431000 POLICE	10.431000.524	Computers	15,000.00
10	431000 POLICE	10.431000.691	Contractual Services	20,050.00
10	434000 FIRE	10.434000.100	SALARIES	661,862.00
10	434000 FIRE	10.434000.101	OVERTIME	35,000.00
10	434000 FIRE	10.434000.102	Salaries-Part Time	45,000.00
10	434000 FIRE	10.434000.109	FICA	56,752.00
10	434000 FIRE	10.434000.110	Retirement	125,754.00
10	434000 FIRE	10.434000.111	Group Insurance	104,940.00
10	434000 FIRE	10.434000.120	401 (K) Contribution	33,093.00
10	434000 FIRE	10.434000.212	Supplies-Fuel	30,000.00
10	434000 FIRE	10.434000.215	Supplies-Materials	20,000.00
10	434000 FIRE	10.434000.217	Supplies-Uniforms	10,000.00
10	434000 FIRE	10.434000.218	Supplies-Equipment	30,000.00
10	434000 FIRE	10.434000.310	Travel and Transportation	5,000.00
10	434000 FIRE	10.434000.324	Dues and Subscriptions	9,500.00
10	434000 FIRE	10.434000.353	Repairs and Maint-Equipment	20,000.00
10	434000 FIRE	10.434000.354	Repairs and Maint-Vehicles	28,000.00
10	434000 FIRE	10.434000.490	Miscellaneous	5,000.00
10	434000 FIRE	10.434000.514	Protective Clothing	25,000.00
10	434000 FIRE	10.434000.553	RADIO REPLACEMENT	12,000.00
10	434000 FIRE	10.434000.694	Chimney Rock Volunteer Fire De	35,000.00

10	434000 FIRE	10.434000.695	Bills Creek Volunteer Fire Dep	42,800.00
10	451000 PUBLIC WORKS-STREETS	10.451000.100	SALARIES	414,036.00
10	451000 PUBLIC WORKS-STREETS	10.451000.101	OVERTIME	20,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.109	FICA	33,204.00
10	451000 PUBLIC WORKS-STREETS	10.451000.110	Retirement	78,667.00
10	451000 PUBLIC WORKS-STREETS	10.451000.111	Group Insurance	76,320.00
10	451000 PUBLIC WORKS-STREETS	10.451000.120	401 (K) Contribution	20,702.00
10	451000 PUBLIC WORKS-STREETS	10.451000.211	Supplies-Automotive	25,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.212	Supplies-Fuel	5,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.215	Supplies-Materials	25,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.217	Supplies-Uniforms	8,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.310	Travel and Transportation	2,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.350	Repairs and Maint-Buildings	10,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.351	Repairs and Maint-Grounds	110,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.353	Repairs and Maint-Equipment	65,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.354	Repairs and Maint-Vehicles	30,000.00
10	451000 PUBLIC WORKS-STREETS	10.451000.691	Contractual Services	30,000.00
10	472000 SANITATION	10.472000.691	Contractual Services	185,000.00
10	472000 SANITATION	10.472000.692	Contractual Services-Recycling	15,000.00
10	472000 SANITATION	10.472000.696	Tipping Fees	40,000.00
10	473000 DAM/Watershed Protection	10.473000.351	Repairs and Maint-Grounds	10,000.00
11	473000 DAM/Watershed Protection	10.473000.352	Repairs and Maint-Dam	15,000.00
10	492000 ECONOMIC DEVELOPMENT	10.492000.100	SALARIES	66,196.00
10	492000 ECONOMIC DEVELOPMENT	10.492000.109	FICA	5,064.00
10	492000 ECONOMIC DEVELOPMENT	10.492000.110	Retirement	12,577.00
10	492000 ECONOMIC DEVELOPMENT	10.492000.111	Group Insurance	9,540.00
10	492000 ECONOMIC DEVELOPMENT	10.492000.120	401 (K) Contribution	3,310.00
10	492000 ECONOMIC DEVELOPMENT	10.492000.585	Community Branding	20,000.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.100	SALARIES	202,707.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.109	FICA	15,507.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.110	Retirement	38,514.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.111	Group Insurance	28,620.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.120	401 (K) Contribution	10,135.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.212	Supplies-Fuel	1,000.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.310	Travel and Transportation	4,000.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.324	Dues and Subscriptions	1,000.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.370	Advertising	1,000.00
10	493000 COMMUNITY DEVELOPMENT	10.493000.691	Contractual Services	8,000.00
10	615000 BEACH & MARINA	10.615000.214	Supplies-Dept	2,000.00
10	615000 BEACH & MARINA	10.615000.350	Repairs and Maint-Buildings	4,000.00
10	615000 BEACH & MARINA	10.615000.351	Repairs and Maint-Grounds	10,200.00
10	615000 BEACH & MARINA	10.615000.353	Repairs and Maint-Equipment	1,199.00
10	910000 DEBT SERVICE	10.800000.503	Fire QRVs	230,000.00
10	800000 CAPITAL OUTLAY/SPECIAL PROJECTS	10.800000.516	PUBLIC SERVICES BLDG	342,000.00
10	800000 CAPITAL OUTLAY/SPECIAL PROJECTS	10.800000.550	Other Equipment	438,226.00
10	800000 CAPITAL OUTLAY/SPECIAL PROJECTS	10.800000.592	PW-Street Paving	175,000.00
10	910000 DEBT SERVICE	10.910000.502	Fire Engine Debt Service	100,000.00
10	910000 DEBT SERVICE	10.910000.561	Brdwalk-Marina Bay	221,400.00
10	920000 Non-Governmental	10.920000.130	Unemployment	6,850.00
10	920000 Non-Governmental	10.920000.450	Insurance	210,000.00
10	920000 Non-Governmental	10.920000.751	Bank Fees	3,150.00

IV.

Resolution No. 26-05-27 Setting Public
Hearing for June 9, 2026 to Receive
Comments Regarding Proposed Fiscal
Year 2026-2027 Budget

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026**

SUBJECT: Resolution No. 26-05-27 Setting Public Hearing for June 9, 2026 to Receive Comments Regarding Proposed Fiscal Year 2026-2027 Budget

AGENDA INFORMATION:

Item Number: IV
Department: Finance
Contact: Olivia Stewman, Town Manager
Presenter: Olivia Stewman, Town Manager

BRIEF SUMMARY:

The Town is required to adopt the annual budget prior to the beginning of the new Fiscal Year on July 1st. Staff recommends setting a public hearing for the budget ordinance for the June 9th regular meeting.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

To adopt Resolution No. 26-05-27 Setting Public Hearing for June 9, 2026 to Receive Comments Regarding Proposed Fiscal Year 2026-2027 Budget

ATTACHMENTS:

Resolution No. 26-05-27 Setting Public Hearing for June 9, 2026 to Receive Comments Regarding Proposed Fiscal Year 2026-2027 Budget

STAFF'S COMMENTS AND RECOMMENDATIONS:

Staff recommends adoption.



RESOLUTION NO. 26-05-27

RESOLUTION BY THE TOWN OF LAKE LURE TOWN COUNCIL SETTING PUBLIC HEARING FOR JUNE 9, 2026 TO RECEIVE COMMENTS REGARDING PROPOSED FISCAL YEAR 2026-2027 BUDGET

WHEREAS, the Town is required to adopt an annual budget ordinance prior to July 1st in accordance with North Carolina General Statutes; and

WHEREAS, North Carolina General Statute § 159-12 mandates that the Town must hold a public hearing prior to adopting the budget ordinance.

NOW, THEREFORE BE IT RESOLVED, that the Town of Lake Lure will hold a public hearing, in accordance with North Carolina General Statutes, during its regular meeting on June 9, 2026 beginning at 5:00 p.m. or shortly thereafter at the Lake Lure Municipal Center to receive comments in regard to Fiscal Year 2026-2027 Budget.

READ, APPROVED AND ADOPTED this the 27th day of May, 2026.

ATTEST:

Kimberly Martin, Town Clerk

Mayor Carol C. Pritchett

V.
Discuss 2026-2027
Drawdown Schedule

LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026

SUBJECT: Discuss 2026-2027 Drawdown Schedule

AGENDA INFORMATION:

Item Number: V
Department: Administration
Contact: Olivia Stewman, Town Manager
Presenter: Olivia Stewman, Town Manager

BRIEF SUMMARY:

The Town is returning to regular operational practices, which includes implementing lake drawdowns when necessary to support maintenance, repair, and capital improvement activities that cannot be completed under normal lake levels. Staff is requesting Council discussion and direction regarding a short drawdown during the upcoming off-season to allow for several planned and anticipated projects. These include completion of a deep-water access ramp, concrete work to repair public boat ramps, access for contractors to complete seawall repairs, mechanical dredging operations, and any sewer infrastructure repairs that may be identified during the drawdown period. Staff is recommending a drawdown period of approximately 2–3 months. The majority of the identified work can be completed with a drawdown of approximately 12–15 feet; however, the deep-water access ramp project would require a maximum drawdown of up to 20 feet. Potential timing for the drawdown will depend on Council direction; however, the recommendation is that it take place during the off-season to minimize impacts on lake use. Based on Council discussion and input, staff will develop a proposed drawdown schedule for Council consideration in June.

VI.

Permission for Encroachment into the
Town Right of Way (ROW) along
Tryon Bay Circle

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026**

SUBJECT: Permission for encroachment into the town right-of-way (ROW) along Tryon Bay Circle.

AGENDA INFORMATION:

Agenda Location: New Business

Item Number: VI

Department: Community Development

Contact: Richard Carpenter, Dev. and Environ. Review Specialist/Trails Planner

Presenter: Randy Rollins, Public Services Director

BRIEF SUMMARY:

Peyton Peters is seeking approval for their phase 2 construction. This portion of their project would require the construction of a soil nail wall with nails extending underneath the town roadway. The depth of the wall from the edge of the ROW is 24'. Per the applicant, the road will be left partially open throughout the day during work time (11ft of travel way) and fully opened at the end of the workday. The applicant has stated that short term road closures may be required. Staff do not have a timeline for possible road closures. Applicant has proposed using plastic barricades as a safety barrier while the wall is being constructed. Concrete barricades have been proposed after the wall is constructed and will be removed once the houses are constructed.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

A motion to approve or deny the requested ROW encroachment.

ATTACHMENTS:

AIRF

Pictures

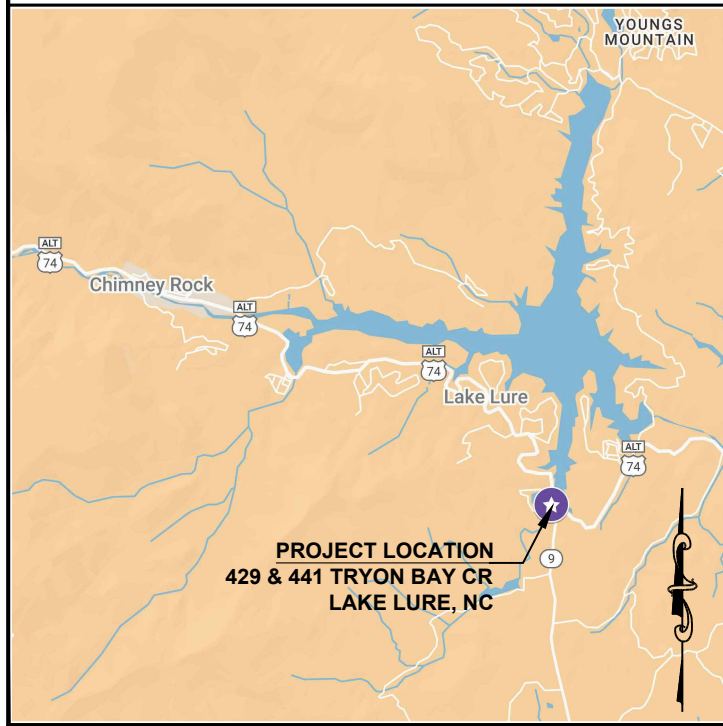
STAFF'S COMMENTS AND RECOMMENDATIONS:

Staff have reviewed the plans and found the following concerns:

1. Will the proposed dwellings be tied into the soil nail wall?
2. What is the proposed timeline for any potential road closure?
3. Will 11ft of driving lane be available post wall installation with the inclusion of the concrete safety barricade?
4. Will the applicant be able to leave the road open while staging equipment, materials, and personnel throughout the life of the project?
5. Confirm top layer of soil nails will not conflict with utilities.

VICINITY MAP

NOT TO SCALE



ABBREVIATIONS

AFG	ABOVE FINISH GRADE	MAX	MAXIMUM
B/O	BY OTHERS	MIN	MINIMUM
BW	BOTTOM OF WALL	NTS	NOT TO SCALE
CLR	CLEAR	OC	ON CENTER
DWG	DRAWING	SRW	SEGMENTAL RETAINING WALL
ENG	ENGINEER	TW	TOP OF WALL
EQ	EQUAL	TYP	TYPICAL
GC	GENERAL CONTRACTOR	TBD	TO BE DETERMINED
H	HEIGHT	UNO	UNLESS NOTED OTHERWISE

SYMBOL LEGEND

±0" VERTICAL ELEV	DWG # FACING ELEV REFERENCE TAG
DWG # SHEET #	TYP. DETAIL REFERENCE TAG

SHEET INDEX

1.01	COVER SHEET
1.02	SITE PLAN
1.03	SOIL NAIL WALL ENVELOPE
1.04	SOIL NAIL RETAINING WALL CROSS SECTION & DETAIL DESIGN REQUIREMENTS
1.05	TEST NAIL DETAIL
1.06	VERTI-BLOCK RETAINING WALL SECTION
2.01	SOIL NAIL SPECIFICATIONS
2.02	SOIL NAIL SPECIFICATIONS
2.03	SPECIFICATIONS
2.04	SPECIFICATIONS
2.05	SPECIFICATIONS

SOIL NAIL WALL

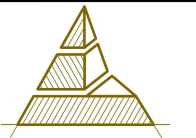
AT

DEESE RESIDENCE

429 & 441 TRYON BAY CIRCLE
LAKE LURE, NORTH CAROLINA

FOR

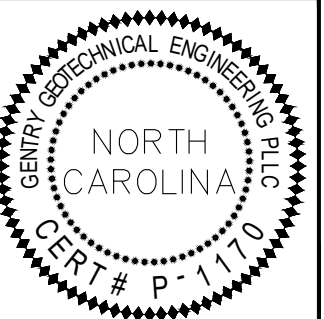
DWAYNE DEESE
2026 GREENWAY AVENUE
CHARLOTTE, NORTH CAROLINA



GENTRY

geotechnical engineering

819 Haywood Road
Asheville, NC 28806
Ph: 828.232.8932
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DATE 16 APR 2026

No.	REVISION/S	DATE

DRAWN BY	MAR
REVIEWED BY	WTG
APPROVED BY	WTG

PROJECT No.
24G - 0154 - 05

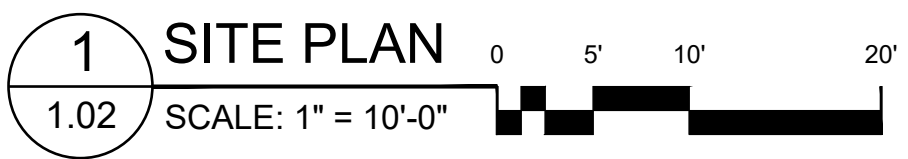
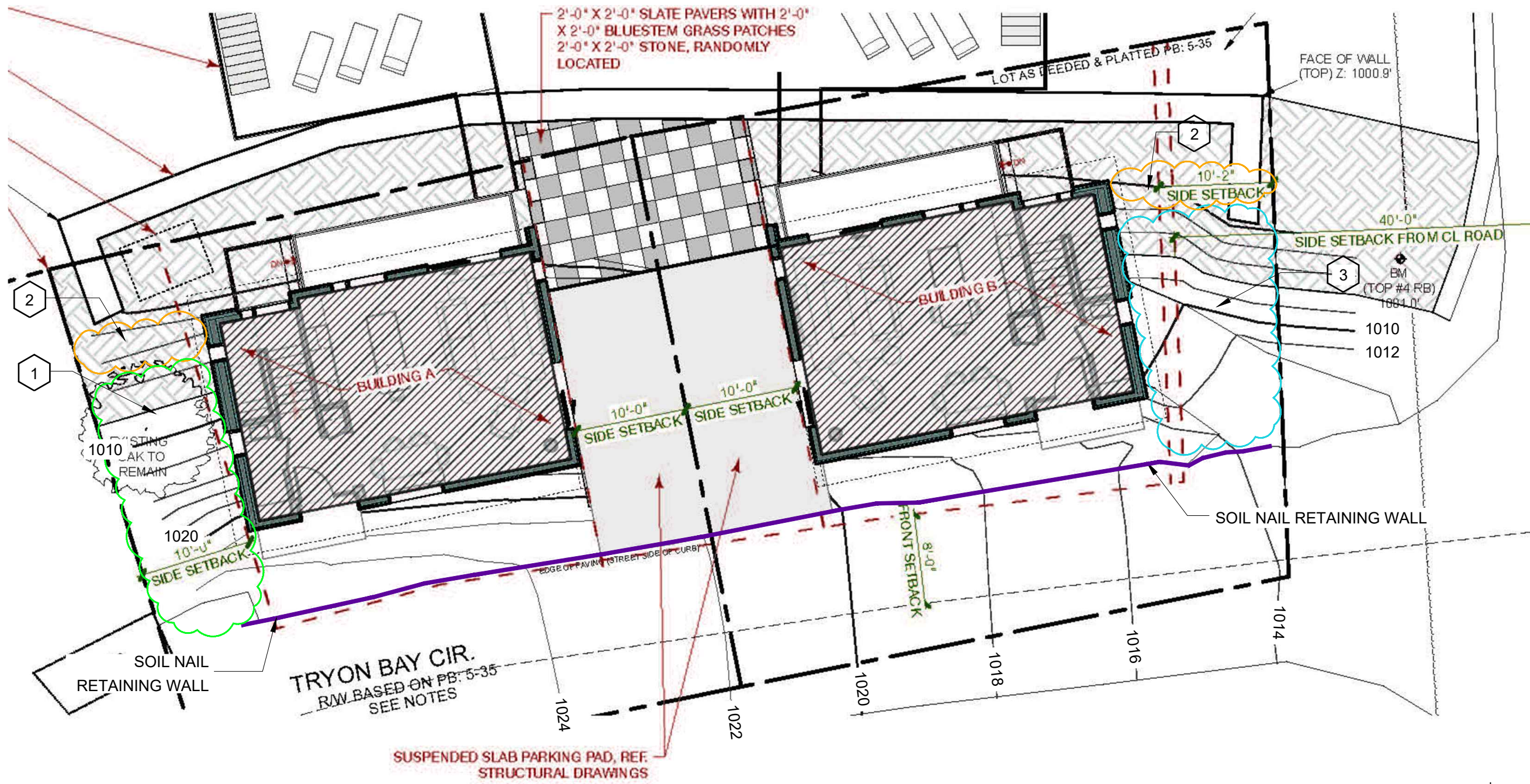
SHEET CONTENTS

- VICINITY MAP
- SHEET INDEX
- LEGENDS/NOTES

SHEET No.
1.01
01 OF 11 SHEETS

KEYED NOTES:

- 1 WEST SIDE EXCAVATION WING WALL ANTICIPATED TO REQUIRE 3' OFFSET FROM FACE OF FOUNDATION WALL AND TEMPORARILY STABILIZED WITH 7-FT LONG T40/20 HOLLOW BAR SOIL NAILS ON A 4' x 4' GRID PATTERN AND 4 INCHES OF SHOTCRETE. SOIL NAIL DETAIL AND FACING REINFORCEMENT CONSTRUCTED IN ACCORDANCE WITH DETAILS ON SHEET 1.04.
- 2 LOWER VERTI-BLOCK WALLS ANTICIPATED TO RETAIN No. 57 STONE BACKFILLED AND COMPACTED IN 1-FT LIFTS WRAPPED IN A 4-OZ, NON-WOVEN GEOTEXTILE FABRIC WITH UPPER SOIL LAYER COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY OF THE STANDARD PROCTOR (ASTM D698) WITHIN 3% OF OPTIMUM MOISTURE CONTENT WITH A MAXIMUM SLOPE ANGLE OF 2H:1V. STEEPER SLOPE ANGLE WILL NEED TO BE REINFORCED WITH MIRAGRID 3XT, STRATGRID SGU60, OR EQUIVALENT.
- 3 EAST SIDE EXCAVATION WING WALL ANTICIPATED TO REQUIRE 3' OFFSET FROM FACE OF FOUNDATION WALL AND TEMPORARILY STABILIZED WITH VERTI-BLOCK RETAINING WALL.



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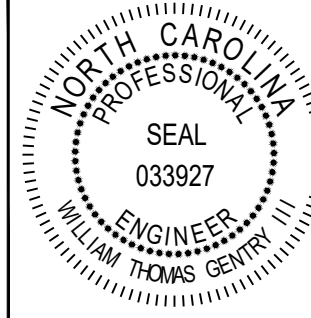
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SOIL NAIL WALL
 AT
DEESE RESIDENCE
 429 & 441 TRYON BAY CIRCLE
 LAKE LURE, NORTH CAROLINA
 FOR
DWAYNE DEESE
 2026 GREENWAY AVENUE
 CHARLOTTE, NORTH CAROLINA
 PROJECT No: 24G - 0154 - 05

SHEET CONTENTS
 • SITE PLAN

SCALE: 1" = 10'-0"

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1.02
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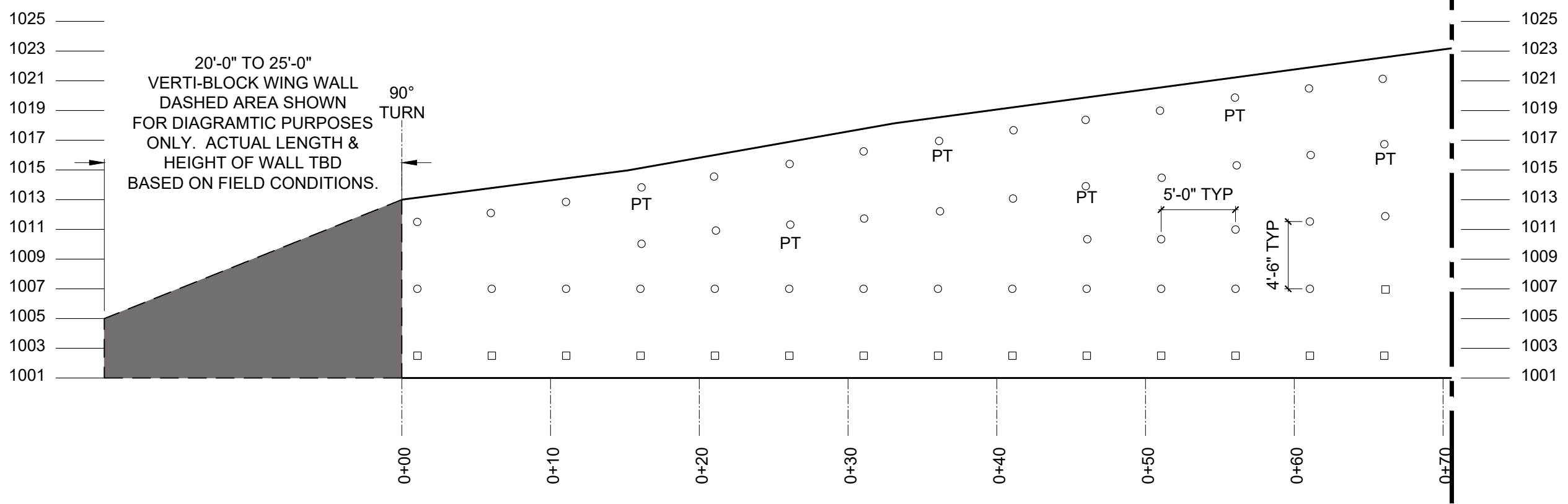
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SOIL NAIL WALL
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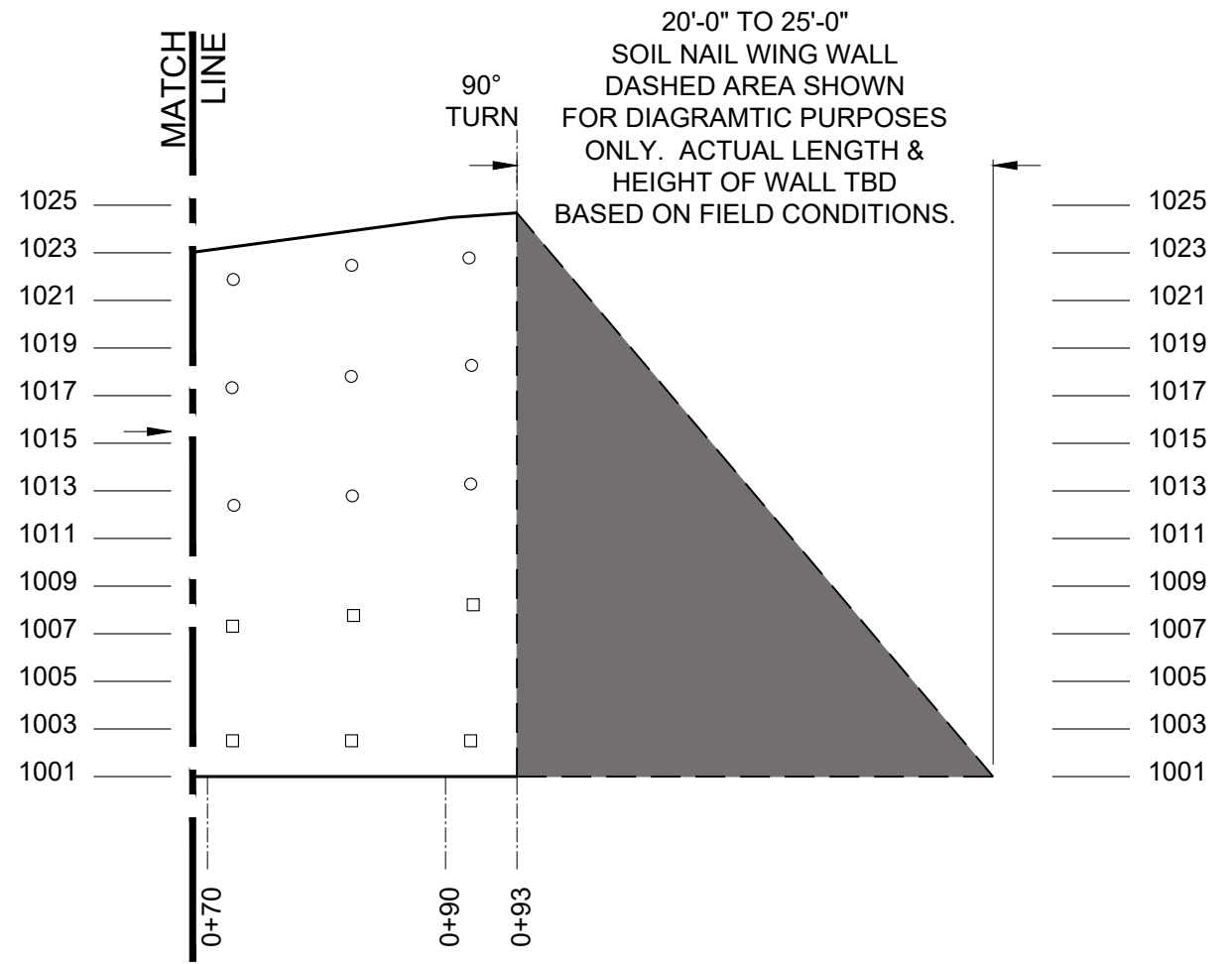
SHEET CONTENTS
• SOIL NAIL WALL ENVELOPE

SCALE: 1/8" = 1'-0"

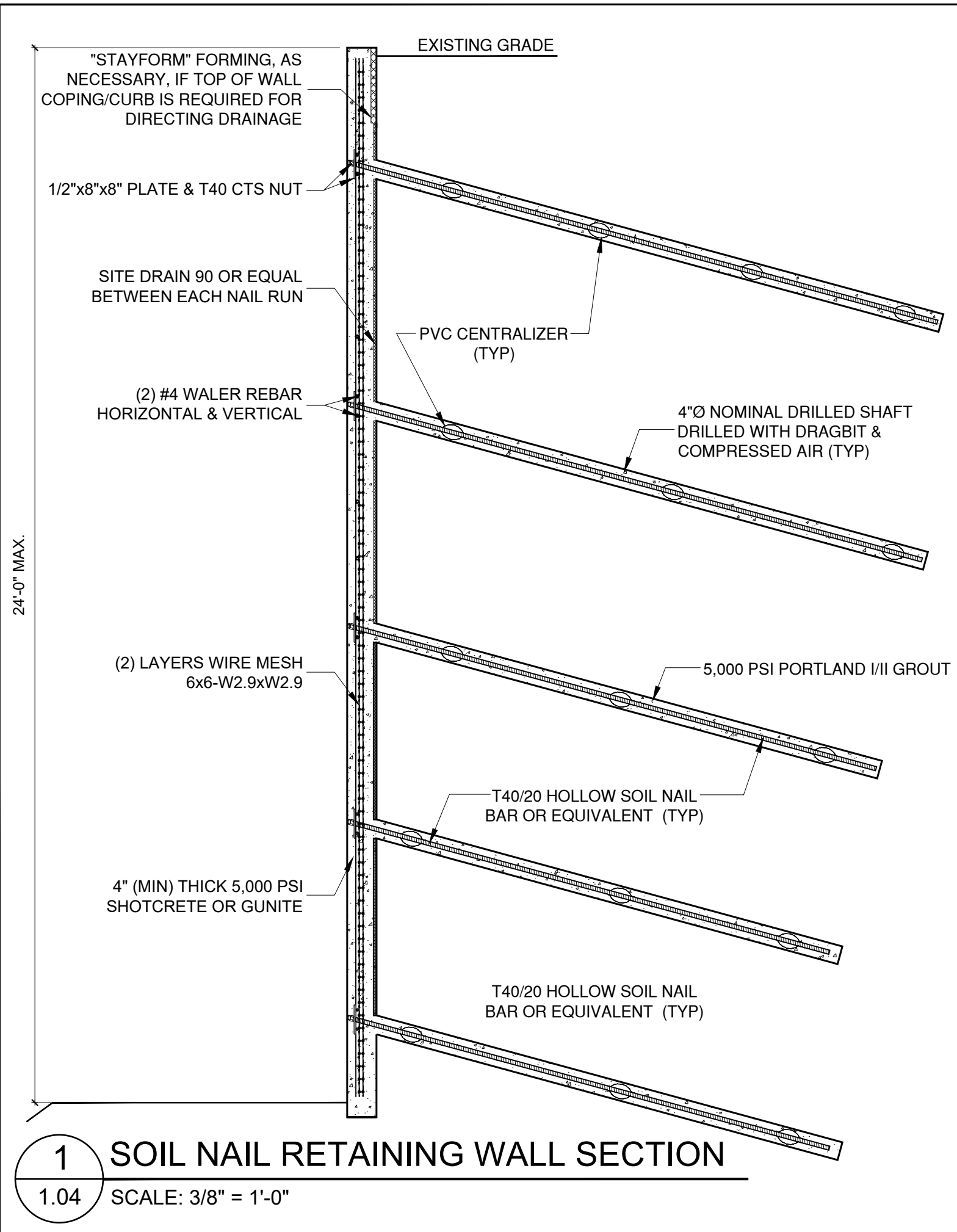
SHEET No.
1.03
03 OF 11 SHEETS



LEGEND:
○ 15' SOIL NAIL NOT TO EXCEED 23' LONG
□ 10' SOIL NAIL
PT PROOF TEST TO 67.5KIP ULTIMATE



1 SOIL NAIL WALL ENVELOPE
1.03 SCALE: 1/8" = 1'-0"

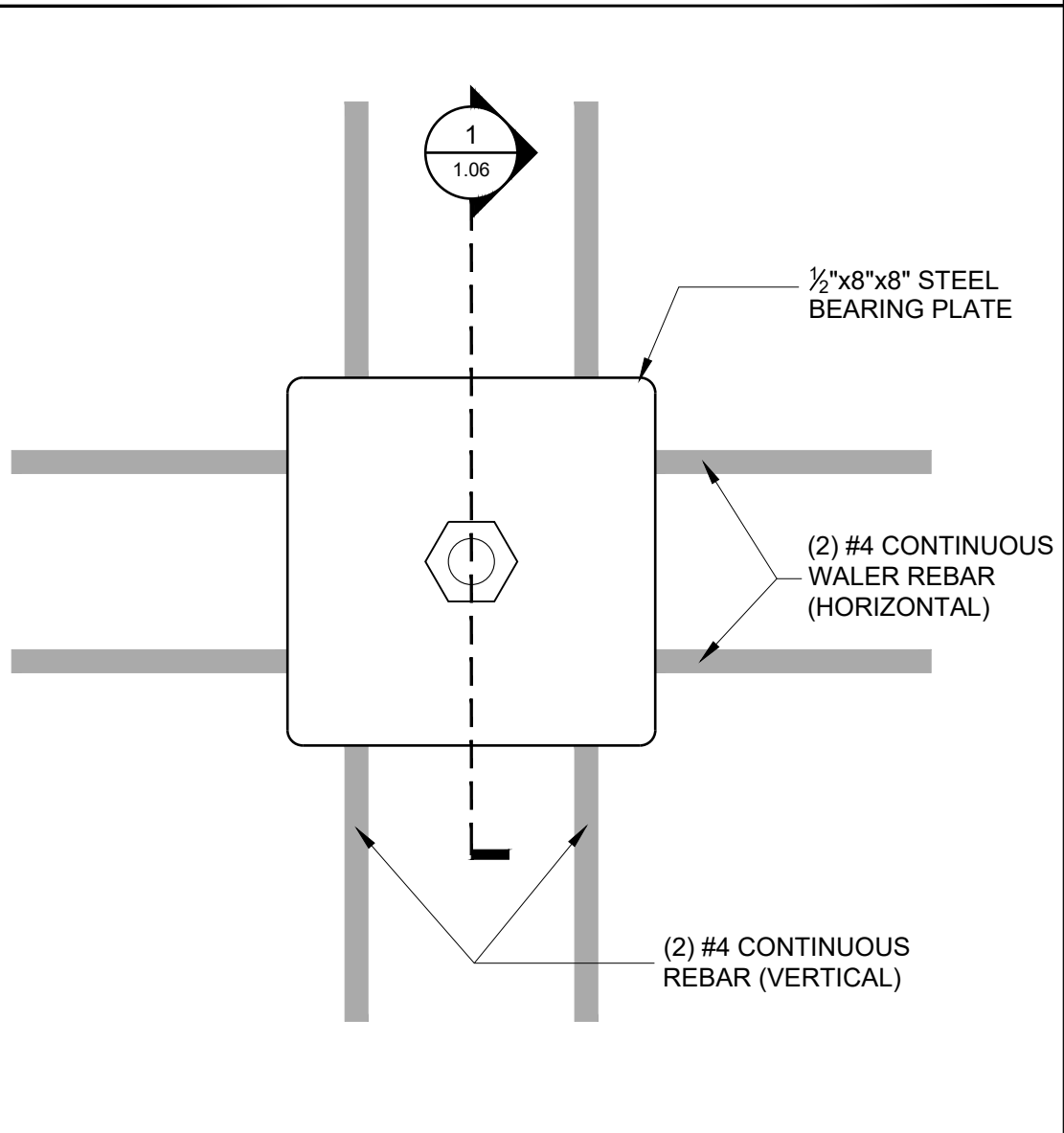


1 SOIL NAIL RETAINING WALL SECTION
 1.04 SCALE: 3/8" = 1'-0"

DESIGN REQUIREMENTS:
 THE FOLLOWING GEOTECHNICAL ASSUMPTIONS WERE MADE FOR DESIGN PURPOSES

ENGINEERING STRENGTH PARAMETERS				
SOIL TYPE	COHESION (PSF)	FRICTION ANGLE (DEG)	UNIT WEIGHT (PCF)	ULTIMATE BOND STRENGTH (PSI)
FILL	0	28	120	0
RESIDUAL SOILS	100	33	125	20
PARTIALLY WEATHERED ROCK	250	37	135	60

PARAMETERS TO BE VERIFIED IN THE FIELD BY GENTRY DURING CONSTRUCTION. GENTRY RESERVES THE RIGHT TO MODIFY THIS DESIGN BASED ON FIELD VERIFIED PARAMETERS.
 A FACTOR OF SAFETY OF 2.0 WAS APPLIED TO THE ULTIMATE BOND STRENGTH.



2 SOIL NAIL DETAIL
 1.04 SCALE: 3" = 1'-0"

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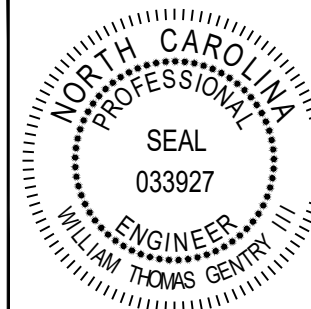
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SOIL NAIL WALL
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 FOR
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 2026 GREENWAY AVENUE
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 PROJECT No: 24G - 0154 - 05

SHEET CONTENTS
 • SOIL NAIL CROSS SECTION & DETAIL
 • DESIGN REQUIREMENTS

SCALE: AS NOTED

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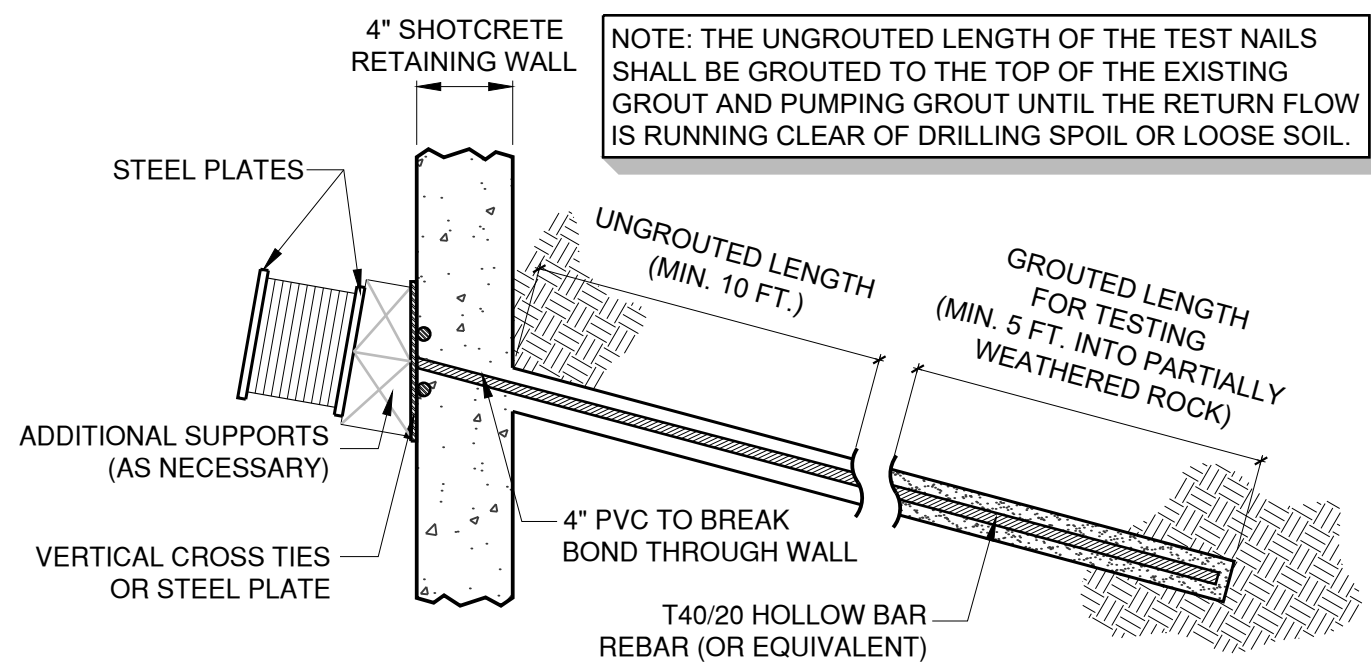
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SOIL NAIL WALL
AT
DEESE RESIDENCE
429 & 441 TRYON BAY CIRCLE
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DWAYNE DEESE
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SHEET CONTENTS
• TEST NAIL DETAIL

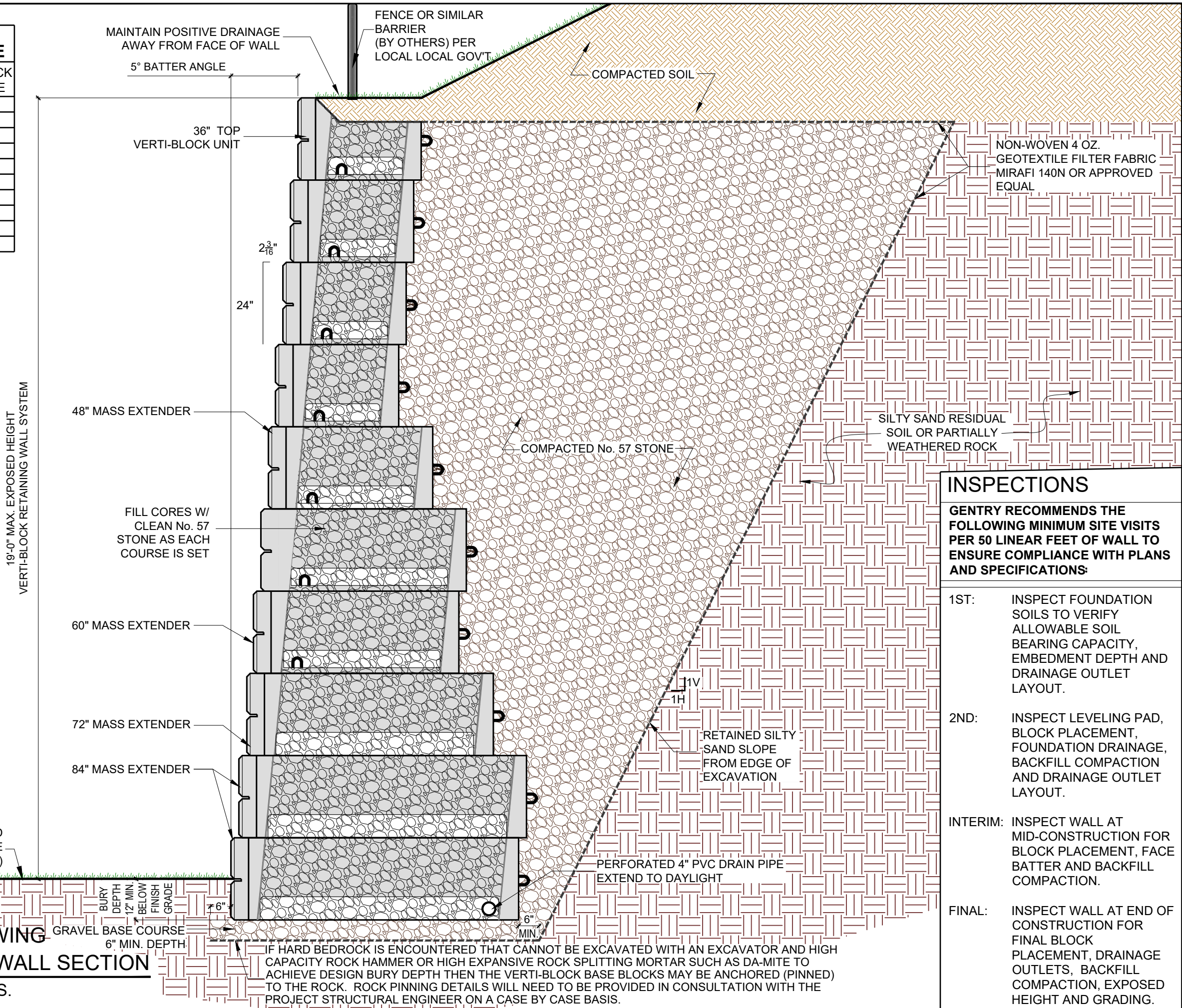
SCALE: AS NOTED

SHEET No.
1.05
05 OF 11 SHEETS



1 TEST NAIL DETAIL
1.05 SCALE: 3/4" = 1'-0"

VERTI-BLOCK WALL SCHEDULE		
TOTAL HEIGHT	EXPOSED HEIGHT	BLOCK SIZE
2 FT.	1 FT.	36
4 FT.	3 FT.	36
6 FT.	5 FT.	36
8 FT.	7 FT.	36
10 FT.	9 FT.	48
12 FT.	11 FT.	60
14 FT.	13 FT.	60
16 FT.	15 FT.	72
18 FT.	17 FT.	84
20 FT.	19 FT.	84




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INSPECTIONS

GENTRY RECOMMENDS THE FOLLOWING MINIMUM SITE VISITS PER 50 LINEAR FEET OF WALL TO ENSURE COMPLIANCE WITH PLANS AND SPECIFICATIONS:

- 1ST: INSPECT FOUNDATION SOILS TO VERIFY ALLOWABLE SOIL BEARING CAPACITY, EMBEDMENT DEPTH AND DRAINAGE OUTLET LAYOUT.
- 2ND: INSPECT LEVELING PAD, BLOCK PLACEMENT, FOUNDATION DRAINAGE, BACKFILL COMPACTION AND DRAINAGE OUTLET LAYOUT.
- INTERIM: INSPECT WALL AT MID-CONSTRUCTION FOR BLOCK PLACEMENT, FACE BATTER AND BACKFILL COMPACTION.
- FINAL: INSPECT WALL AT END OF CONSTRUCTION FOR FINAL BLOCK PLACEMENT, DRAINAGE OUTLETS, BACKFILL COMPACTION, EXPOSED HEIGHT AND GRADING.

VERTI-BLOCK SEAWALL
 AT
 429 & 441 TRYON BAY CIRCLE
 LAKE LURE, NORTH CAROLINA
 FOR
DWAYNE DEESE
 CHARLOTTE, NORTH CAROLINA
 PROJECT No: 24G-0154-02

SHEET CONTENTS
 • GRAVITY WALL SECTION

SCALE: N.T.S.

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GRAVITY WING & LOWER WALL SECTION
 SCALE: N.T.S.

IF HARD BEDROCK IS ENCOUNTERED THAT CANNOT BE EXCAVATED WITH AN EXCAVATOR AND HIGH CAPACITY ROCK HAMMER OR HIGH EXPANSIVE ROCK SPLITTING MORTAR SUCH AS DA-MITE TO ACHIEVE DESIGN BURY DEPTH THEN THE VERTI-BLOCK BASE BLOCKS MAY BE ANCHORED (PINNED) TO THE ROCK. ROCK PINNING DETAILS WILL NEED TO BE PROVIDED IN CONSULTATION WITH THE PROJECT STRUCTURAL ENGINEER ON A CASE BY CASE BASIS.

SPECIFICATIONS: SOIL NAIL WALL

DESIGN CRITERIA

1. THE SOIL NAIL WALL STRUCTURE HAS BEEN DESIGNED IN GENERAL ACCORANCE WITH SERVICE LOAD DESIGN (SLD) PROCEDURES CONTAINED IN THE FHWA "MANUAL FOR DESIGN AND CONSTRUCTION MONITOIRNG OF SOIL NAIL WALLS" REPORT NO. FHWA-SA-96-069.
2. THIS DESIGN IS BASED UPON THE FOLLOWING:

SOIL NAIL WALL DESIGN AT 429 & 441 TRYON BAY CIRCLE IN LAKE LURE, NORTH CAROLINA FOR DWAYNE DEESE.
3. SOIL PARAMETERS USED IN DESIGN CONSIST OF:

ENGINEERING STRENGTH PARAMETERS				
SOIL TYPE	COHESION (PSF)	FRICTION ANGLE (DEG)	UNIT WEIGHT (PCF)	ULTIMATE BOND STRENGTH (PSI)
FILL	0	28	120	0
RESIDUAL SOILS	100	33	125	20
PARTIALLY WEATHERED ROCK	250	37	135	60

4. SOIL NAIL WALL REVISIONS MAY BE MADE DURING CONSTRUCTION WITH APPROVAL OF GENTRY. REVISIONS WILL BE SUBMITTED ON AS-BUILT DRAWINGS.

TYPICAL CONSTRUCTION SEQUENCE

1. THE GENERAL CONTRACTOR WILL BE RESPONSIBLE FOR ALL LAYOUT LINES AND GRADE CONTROL OF THE WALL. LAYOUT WILL INCLUDE LOCATING AN OFFSET ALONG THE WALL FACE ALIGNMENT EVERY 10 FEET FOR SOIL NAILING.
2. GENERAL CONTRACTOR IS RESPONSIBLE FOR PROPER ALIGNMENT AND VERTICALLY/BATTER OF THE WALL AND WALL PLANENESS. THE SOIL NAIL WALL WILL BE CONSTRUCTED ALONG THE CUT SLOPE FACE.
3. CONTRACTOR MOBILIZES CREW, EQUIPMENT AND MATERIALS TO SITE (COORDINATED WITH ITEM 2).
4. CONTRACTOR INSTALLS VERIFICATION TEST NAILS TO VALIDATE BOND VALUES USED IN DESIGN.
5. AFTER GENTRY EVALUATES THE VERIFICATION TEST RESULTS, CONTRACTOR DRILLS, INSTALLS, AND GROUTS SOIL NAILS ALONG THE CUT SLOPE.
6. INSTALL MINIMUM 12 INCH WIDE PREFABRICATED SYNTHETIC DRAINAGE MAT, PLACED IN VERTICAL STRIPS BETWEEN THE NAIL HEADS ON A HORIZONTAL SPACING MAXIMUM OF 10 FEET. THE DRAINAGE STRIPS ARE EXTENDED DOWN TO THE BASE OF THE WALL AND CONNECTED TO WEEP HOLES THAT PENETRATE THE WALL FACING.
7. CONTRACTOR CONSTRUCTS THE FACING.
8. CONTRACTOR PROCEEDS WITH SECOND LIFT ONCE PREVIOUS ROW OF NAILS IS ACCEPTED.
9. CONTRACTOR PROCEEDS TO THE NEXT LIFT OF SOIL NAILS.
10. SEQUENCE FROM 5 TO 9 ARE REPEATED UNTIL STABILIZATION OF THE CUT SLOPE IS COMPLETED.
11. INSTALL PVC CONNECTOR PIPES DURING CONSTRUCTION OF THE FINAL SHOTCRETE LIFT TO PROVIDE DRAINAGE OF THE GEOCOMPOSITE DRAINAGE STRIPS INTO THE WALL BASE AS SHOWN ON SHEET 1.05.

MATERIAL SPECIFICATIONS

1. PROVIDE REBAR CONFORMING TO ASTM A615 GRADE 80 KSI FOR SOIL NAILS. ALL PRODUCTION SOIL NAILS SHALL BE SKYLINE (OR EQUAL) T40/20 HOLLOW BAR.
2. NUTS, BOLTS, ADAPTORS, AND COUPLERS SHALL BE CAPABLE OF DEVELOPING THE ULTIMATE STRENGTH OF THE SOIL NAIL.
3. PROVIDE REBAR CONFORMING TO ASTM A615, GRADE 60 KSI.
4. PROVIDE MESH CONFORMING TO ASTM 185.
5. PROVIDE STEEL PLATES CONFORMING TO ASTM A572 GRADE 50 KSI.
6. PROVIDE CEMENT GROUT MADE WITH CEMENT CONFORMING TO ASTM C150 TYPE I/II OR II, WITH 5 TO 6 GAL. WATER TO 94 LB. BAG OF CEMENT WITH A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF 4000 PSI.
7. DRAINAGE COMPOSITE SHOULD CONSIST OF 12 IN. WIDE PREFABRICATED SYNTHETIC DRAINAGE MAT.

QUALITY CONTROL PROCEDURES

1. SOIL NAIL DESIGN TEST LOAD (DTL) SHALL BE 45 KIPS ON A 5 FT. BOND INTO PARTIALLY WEATHER ROCK, 4.0 IN. DIA. (9 KIPS PER FT.) BOND ZONE FOR THE WALL (SEE TEST PROCEDURE).
2. GENTRY SHOULD BE RETAINED BY OWNER FOR TESTING AND INSPECTION SERVICES OF SOIL NAIL INSTALLATION.

NOTE: VERIFICATION TESTING SHALL BE COMPLETED AND ACCEPTED PRIOR TO BEGINNING PRODUCTION WORK.

TESTING EQUIPMENT

1. FURNISH A DIAL GUAGE, DIAL GAUGE SUPPORT, JACK AND PRESSURE GAUGE. THE JACK AND PRESSURE GAUGES SHALL HAVE BEEN CALIBRATED WITHIN 12 MONTHS FROM START OF CONSTRUCTION.
2. USE PRESSURE GAUGES GRADUATED IN NO GREATER THAN 100 PSI INCREMENTS.
3. MEASURE THE NAIL HEAD MOVEMENT TO 0.001 INCH ACCURACY.

SOIL NAIL VERIFICATION TEST PROCEDURE

1. PERFORM VERIFICATION TESTING ON A MINIMUM OF TWO PERCENT OF TEST NAILS (HORIZONTAL OR VERTICAL) AT LOCATIONS APPROVED BY THE ENGINEER.
2. LOAD EACH TEST NAIL IN ACCORDANCE WITH FOLLOWING SCHEDULE:

LOAD	HOLD TIME
AL	1 MINUTE
0.250 DTL	10 MINUTES
0.500 DTL	10 MINUTES
0.750 DTL	10 MINUTES
1.000 DTL	10 MINUTES
1.250 DTL	10 MINUTES
1.500 DTL	HOLD FOR CREEP (SEE ITEM 8)
1.750 DTL	10 MINUTES
2.000 DTL	10 MINUTES

WHERE AL = ALIGNMENT LOAD (0.05 DTL)
AND DTL = DESIGN TEST LOAD



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SOIL NAIL WALL
AT
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429 & 441 TRYON BAY CIRCLE
LAKE LURE, NORTH CAROLINA
FOR
DWAYNE DEESE
2026 GREENWAY AVENUE
CHARLOTTE, NORTH CAROLINA
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- SPECIFICATIONS

SCALE: N.T.S.

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SPECIFICATIONS: SOIL NAIL WALL

3. INCREASE AT INCREMENTS OF 50% OF DTL TO 80% OF THE BAR YIELD OR UNTIL SOIL NAIL PULLOUT FAILURE.
4. THE ALIGNMENT LOAD IS THE MINIMUM LOAD REQUIRED TO ALIGN THE TESTING APPARATUS AND SHOULD NOT EXCEED 10% OF THE DTL.
5. SET DIAL GAUGES TO "ZERO" AFTER APPLYING THE ALIGNMENT LOAD.
6. RECORD NAIL MOVEMENT AT EACH INCREMENT OF LOADING TO THE NEAREST 0.001 INCHES.
7. HOLD EACH LOAD FOR AT LEAST 10 MINUTES.
8. RECORD TOTAL MOVEMENT AT 1, 2, 3, 4, 5, 6, 10, 20, 30, 50 AND 60 MINUTES.

SOIL NAIL PROOF TEST PROCEDURE

1. PERFORM PRODUCTION PROOF TESTING ON AT LEAST FIVE PERCENT OF PRODUCTION SOIL NAILS.
2. LOAD EACH PROOF SOIL NAIL IN ACCORDANCE WITH THE LOADING SEQUENCE THAT FOLLOWS:

<u>LOAD</u>	<u>HOLD TIME</u>
AL	UNTIL STABLE
0.250 DTL	UNTIL STABLE
0.500 DTL	UNTIL STABLE
0.750 DTL	UNTIL STABLE
1.000 DTL	UNTIL STABLE
1.250 DTL	UNTIL STABLE
1.500 DTL	HOLD FOR CREEP

WHERE AL = ALIGNMENT LOAD (0.05 DTL)
AND DTL = DESIGN TEST LOAD

3. THE ALIGNMENT LOAD IS THE MINIMUM LOAD REQUIRED TO ALIGN THE TESTING APPARTUS AND SHOULD NOT EXCEED 10% OF THE DTL.
4. SET DIAL GAUGE TO "ZERO" AFTER APPLYING THE ALIGHMENT LOAD.
5. RECORD TOTAL MOVEMENT AT THE CREEP TEST LOAD OF 1.500 DTL. AT 1, 2, 3, 4, 5, 6 AND 10 MINUTES IF THE CREEP BETWEEN THE 1- AND 10-MINUTE READINGS EXCEEDS 0.040 INCHES. HOLD THE CREEP TEST LOAD AN ADDITIONAL 50 MINUTES AND RECORD MOVEMENTS AT 20, 30, 40, 50 AND 60 MINUTES.

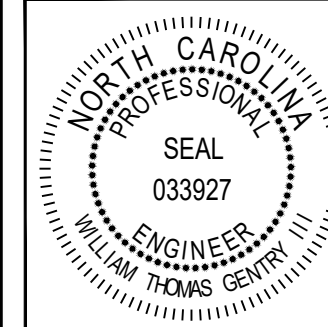
TEST NAIL ACCEPTANCE CRITERIA

A TEST NAIL SHALL BE CONSIDERED ACCEPTABLE WHEN:

1. FOR VERIFICATION TESTS, A TOTAL CREEP MOVEMENT OF LESS THAN 0.08 INCHES PER LOG CYCLE OF TIME BETWEEN THE 6- AND 60-MINUTE READINGS IS MEASURED DURING CREEP TESTING AND THE CREEP RATE IS LINEAR OR DECREASING THROUGHOUT THE CREEP TEST LOAD HOLD PERIOD.
2. FOR PROOF TESTS, A TOTAL CREEP MOVEMENT OF LESS THAN 0.04 INCHES IS MEASURED BETWEEN THE 1- AND 10-MINUTE READINGS OR A TOTAL CREEP MOVEMENT OF LESS THAN 0.08 INCHES IS MEASURED BETWEEN THE 6- AND 60-MINUTE READINGS AND THE CREEP RATE IS LINEAR OR DECREASING THROUGHOUT THE CREEP TEST LOAD HOLD PERIOD.
3. THE TOTAL MEASURED MOVEMENT AT THE MAXIMUM TEST LOAD EXCEEDS 80 PERCENT OF THE THEORETICAL ELASTIC ELONGATION OF THE TEST NAIL UNBONDED LENGTH.
4. A PULLOUT FAILURE DOES NOT OCCUR AT THE MAXIMUM TEST LOAD. PULLOUT FAILURE IS DEFINED AS THE LOAD AT WHICH ATTEMPTS TO FURTHER INCREASE THE TEST LOAD SIMPLY RESULT IN CONTINUED PULLOUT MOVEMENT OF THE TEST NAIL. THE PULLOUT FAILURE LOAD SHALL BE RECORDED AS PART OF THE TEST DATA.

GENERAL NOTES

1. GENERAL CONTRACTOR SHALL INSTALL BOTH TEMPORARY AND PERMANENT FALL PROTECTION SYSTEM AT THE TOP OF THE WALL.
2. GENERAL CONTRACTOR SHALL LOCATE THE ALIGNMENT AND DEPTH OF ALL UTILITES AND PROPERTY LINE. ENGINEER SHALL BE NOTIFIED OF ANY UTILITIES OR PROPERTY LINE, WHICH INTERFERE WITH THE WALL CONSTRUCTION.
3. AN ADEQUATE SUPPLY OF CLEAN FRESH POTABLE WATER SHALL BE SUPPLIED TO WITHIN 200 FEET OF CONTRACTOR'S OPERATIONS AT THE RATE 100 GPM AT 75 PSI (A 2 INCH FIRE HOSE IS GENERALLY ADEQUATE).
4. GENERAL CONTRACTOR WILL PROVIDE DE-WATERING IF GROUNDWATER IS ENCOUNTERED.
5. GENERAL CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AND JOB SITE CONDITONS PRIOR TO BEGINNING WORK.
6. GENERAL CONTRACTOR SHALL INSTALL AND MAINTAIN SLOPES, EROSION, SEDIMENT, AND DUST CONTROL.
7. CONSTRUCTION SURVEYS AND/OR INSTRUMENTATION MONITORING OF ANY KIND SHALL BE PERFORMED BY GENERAL CONTRACOR.
8. ANY SAMPLING OR TESTING OF MATERIALS (GROUT CUBES, SHOTCRETE CORE TESTING, ETC.) AND MONITORING OF SOIL NAIL INSTALLATION AND TESTING SHALL BE PERFORMED BY GENTRY.
9. OVER EXCAVATION, GROUND STABILITY, BOULDERS, LEFT IN PLACE FOUNDATOINS, ETC. THAT COULD REQUIRE ADDITIONAL FACING MEASURES AND TIME WILL BE CONSIDERED EXTRA WORK.
10. CONTROL AND DISPOSAL OF ALL LIQUID AND SOLID WASTE, INCLUDING BUT NOT LIMITED TO DRILL WASH WATER, SEDIMENTS, DRILL CUTTINGS AND GROUT WASTE SHALL BE PERFORMED BY GENERAL CONTRACOR.
11. ANY SPECIAL CONSTRUCTION AND/OR EASEMENT PERMITS, LICENSURE, ETC. REQUIRIED BY REGULATORY AGENCIES SHALL BE OBTAINED BY GENERAL CONTRACTOR OR OWNER.
12. GENERAL CONTRACTOR WILL PROVIDE TRAFFIC CONTROL, LANE CLOSURES, AND OTHER MEASURES NECESSARY TO PROVIDE ADEQUATE WORK AREA TO PERFORM THE SOIL NAILING SAFELY.



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- SPECIFICATIONS

SCALE: N.T.S.

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SPECIFICATIONS: VERTI-BLOCK WALL

PART 1 GENERAL

1.1 DESCRIPTION

Work shall consist of furnishing all material, labor, equipment, and supervision to install a precast concrete modular block (PMB) retaining wall in accordance with these specifications and in reasonably close conformity with the lines, grades, design, and dimensions shown on the plans, or as established by the owner or owner's engineer. Precast modular block retaining wall blocks shall be cast utilizing a wet-cast concrete mix and exhibit a final handling weight in excess of 1,000 pounds per unit.

1.2 REFERENCE STANDARDS

- A. American Society for Testing and Materials (ASTM)
1. ASTM C-1776 Wet-Cast Precast Modular Retaining Wall Units
 2. ASTM D6916 Determining Shear Strength Between Segmental Concrete Units
 2. ASTM D-422 Particle Size Analysis
 3. ASTM D-698 Laboratory Compaction Characteristics of Soil Standard Effort (Standard Proctor)
 4. ASTM D-4318 Liquid Limit, Plastic Limit and Plasticity Index of Soils
 5. NOT USED
 6. NOT USED
 7. ASTM D-3034 Polyvinyl Chloride Pipe (PVC)
 8. NOT USED
- B. Geosynthetic Research Institute (GRI)
- NOT USED
- C. National Concrete Masonry Association (NCMA)
1. NCMA Design Manual for Segmental Retaining Wall –Third Edition
 2. NOT USED
 3. NOT USED
- D. Where reference standards and project plans or specifications conflict, the owner's engineer shall make the determination of the applicable document.

1.3 DEFINITIONS

- A. Owner - In these specifications the word "owner" shall mean Mr. Dwayne Deese.
- B. Owner's Engineer - In these specifications the words "owner's engineer" shall mean the designated representative of the owner who is experienced in PMB construction, geology, and geotechnical engineering. The Design Engineer may also serve as the Owner's Engineer.
- C. Design Engineer - In these specifications the words "design engineer" shall mean Gentry Geotechnical Engineering, PLLC in Asheville, North Carolina.
- D. Contractor - In these specifications the word "contractor" shall mean the designated representative of the owner who is experienced in PMB construction, undertaking execution of the work under the terms of these specifications.
1. Suppliers of PMB material components shall have demonstrated experience in the supply of similar size and types of PMB retaining walls on previous projects and shall be approved by the owner's engineer.
 2. The contractor shall provide the owner with a list of successful projects with references showing the installer for the PMB retaining wall is qualified and has a record of successful performance.

1.4 SUBMITTALS

- A. The contractor shall provide the owner with a minimum of 14 days prior to the anticipated start date for the PMB retaining wall a submittal package including the following:
 - B. Product literature indicating specifically which PMB units are proposed for use on the project including color, face style and texture.
 - C. Documentation for the PMB units demonstrating compliance with the requirements of this specification including but not limited to PMB compressive strength and absorption; PMB shear; and reinforcement strength.
 - D. Manufacturer's certification that the PMB units meet the requirements of this specification.

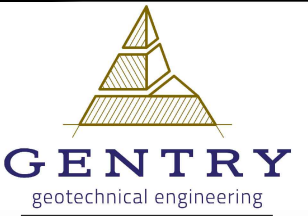
PART 2 MATERIALS

2.1 DELIVERY, STORAGE AND HANDLING

The contractor shall check all materials upon delivery to ensure that the proper type, grade, color, and material certification have been received. Contractor shall protect materials from damage due to jobsite conditions and in accordance with the manufacturer's recommendations. Damaged materials shall not be incorporated into the work.

2.2 DEFINITIONS

- A. **Precast Modular Block Units**
1. All units shall be wet-cast precast modular retaining wall units conforming to ASTM C1776 and have a minimum 28-day compressive strength of 4000 psi. The concrete shall have adequate freeze-thaw protection to meet ASTM C-1262.
 2. Concrete used in the production of the PMB units shall be first-purpose, fresh concrete. It shall not consist of returned, reconstituted, surplus, or waste concrete. It shall be an original production mix meeting the requirements of ASTM C94.
 3. The PMB units shall have an interlocking system between any two vertically stacked units.
 4. All PMB units shall be sound and free of cracks or other defects that would interfere with the proper placement of the unit or significantly impair the strength and performance of the construction.
 5. Any adhesive used with the cap block units shall be used in accordance with the manufacturer's recommendations.
 6. The PMB unit face texture, color, and minimal repeatability shall be selected by the owner from the available range of textures available from the PMB manufacturer.
 7. PMB blocks used are to be approved by the owner and design engineer.
- B. **Geosynthetic Soil Reinforcement, Walls** – NOT USED
- C. **Drainage Pipe**
1. The drainage pipes shall be PVC or HDPE pipe. The drainage pipe shall be manufactured in accordance with ASTM D-3034 and/or ASTM D-1248.
 2. The collection pipe shall be perforated or slotted, and may be covered with a geotextile sock or wrapped in filter fabric to provide additional filtration. If perforated the maximum diameter of perforations shall be 3/8 inch.



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NC FIRM LIC No: P-1170

DATE: 16 APR 2026

DRAWN BY: MAR

DESIGNED BY: WTG

APPROVED BY: WTG

VERTI-BLOCK SEAWALL
AT
429 & 441 TRYON BAY CIRCLE
LAKE LURE, NORTH CAROLINA
FOR
DWAYNE DEESE
CHARLOTTE, NORTH CAROLINA
PROJECT No: 24G-0154-02

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• SPECIFICATIONS

SCALE: N.T.S.

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SPECIFICATIONS: VERTI-BLOCK WALL

3. The outlet pipe shall be non-perforated. The outlet pipe does not need to be covered with a geotextile sock or wrapped in filter fabric.

4. The drainage pipes used are to be approved by the design engineer.

D. **Geotextile Filter Fabric** - The drainage geotextile separating the retained soils and drainage aggregate shall be a non-woven geotextile with a weight of at least 4 ounces per square yard. The geotextile filter fabric is to be approved by the design engineer.

E. **Drainage Aggregate** - The drainage aggregate that is placed within and behind the PMB units and around the drainage outlet pipe shall be a durable, crushed stone or granular soil less than 1.5 inches in diameter and with less than 10 percent by weight passing the US No. 40 sieve. No. 57 stone shall meet this specification. The drainage aggregate used is to be approved by the design engineer.

F. **Backfill**

1. The backfill shall consist of compacted No. 57 stone.

2. The pH of the backfill shall be between 3 and 9 when tested in accordance with ASTM G-51.

3. The backfill is to be approved by the design engineer.

G. **Foundation Soil & Retained Soil**

1. The foundation soil shall consist of suitable bearing in-situ soil or engineered fill beneath the entire wall. The subgrade shall provide an allowable bearing capacity of at least 4,500 psf.

2. Stability analyses in the design of the PMB were performed using long-term shear strength parameters. These assumed values shall be confirmed by laboratory or field test by the owner's engineer prior to construction of the retaining wall.

ENGINEERING STRENGTH PARAMETERS			
SOIL TYPE	MOIST UNIT WEIGHT (PCF)	COHESION (PSF)	FRICTION ANGLE (DEG)
Retained, Silty Sand Residual Soil	125	100	33
Foundation, Silty Sand Residual	125	100	33
Drainage, Leveling Pad and No. 57 Stone Backfill	105	0	38

H. **Base Leveling Pad** - The base leveling pad shall consist of durable, crushed stone or granular soil less than 1.5 inches in diameter and with less than 10 percent by weight passing the US No. 40 sieve upon which the first course of PMB units is placed.

I. **Compacted Fill Placement (if needed)**

1. The compacted fill shall be placed in loose lifts not thicker than eight (8) inches and shall be compacted in-place to at least 95 percent of the standard Proctor maximum dry density, with moisture content within three percentage points of the soil's optimum moisture content.

2. At the end of each day's operation, the contractor shall slope the last level of the fill to direct runoff away from the wall face. The contractor shall not allow runoff from adjacent areas to enter the wall construction site.

PART 3 CONSTRUCTION

3.1 ASSESSMENT

1. The owner or owner's engineer shall review the submittals prepared by the contractor to confirm the proposed materials meet the requirements of this specification.

2. If requested by the owner or owner's engineer, the contractor shall have a qualified and experienced representative of the PMB retaining wall system supplier on site for up to three days to assist the contractor regarding proper wall installation. This assistance shall be provided at no additional cost to the owner.

3. The contractor's field construction supervisor shall have demonstrated experience and be qualified to direct all work at the site.

4. The owner or owner's engineer may perform field observations to confirm the contractor's compliance with these specifications. These observations do not relieve the contractor of the obligation to perform the work in accordance with these specifications.

3.2 EXCAVATION

1. The contractor shall excavate and fill to the lines and grades as provided on the project plans. The contractor shall take precautions to reduce over-excavation to the minimum practical.

2. Any unsuitable soils shall be removed beneath the footprint of the entire wall.

3. Excavation support, if required, shall be designed and installed by the contractor.

3.3 FOUNDATION PREPARATION

Following excavation for the leveling pad and the fill zone foundation, the subgrade shall be evaluated by the owner's engineer to verify the actual foundation soil strength meets or exceeds the assumed design strength. Soils not meeting the required strength shall be removed and replaced with soil meeting the design criteria, as recommended by the owner's engineer.

Any unsuitable soils shall be removed beneath the entire wall.

3.4 LEVELING PAD PREPARATION

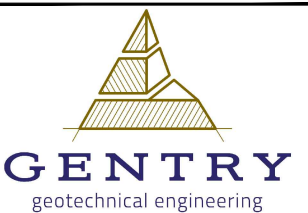
A minimum 6-inch thick layer of compacted granular material or unreinforced concrete shall be placed for use as a leveling pad up to the grades and locations shown on the plans. The granular base shall be compacted to provide a firm, level bearing pad on which to place the first course of concrete segmental block units. Compaction should be performed using a lightweight compactor, such as a mechanical plate compactor.

3.5 PRECAST MODULAR BLOCK

1. All materials shall be installed at the proper elevation and orientation as shown in the wall details on the plans, or as directed by the owner's engineer. The PMB units shall be installed in general accordance with the manufacturer's recommendations.

2. The overall tolerance relative to the wall design vertically or batter shall not exceed **1.25** inches over a **10-foot** distance, with a 3-inch maximum limit.

3. Broken, chipped, stained or otherwise damaged block units shall not be placed in the wall unless they are repaired. The repair method and results are to be approved by the owner's engineer.



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VERTI-BLOCK SEAWALL
AT
429 & 441 TRYON BAY CIRCLE
LAKE LURE, NORTH CAROLINA
FOR
DWAYNE DEESE
CHARLOTTE, NORTH CAROLINA
PROJECT No: 24G-0154-02

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• SPECIFICATIONS

SCALE: N.T.S.

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SPECIFICATIONS VERTI-BLOCK WALL

3.6 BACKFILL PLACEMENT

- Any No. 57 stone backfill shall be placed as shown on the plans in loose lifts not thicker than 12-inches and shall be compacted in-place with a vibrating plate compactor until visibly densified.
- At the end of each day's operation, the contractor shall slope the last level of the backfill away from the wall facing to direct runoff away from the wall face. The contractor shall not allow runoff from adjacent areas to enter the wall construction site.

3.7 BLANKET DRAIN & DRAINAGE FILL PLACEMENT

- Drainage fill shall be placed to the minimum finished thickness and widths shown on the plans, or as modified by the owner's engineer.
- Drainage collection pipes shall be installed to maintain gravity flow toward a clear and unblocked outlet. The drainage collection pipes should be installed as shown on the plans.
- The collection pipes and outlet pipes shall be a minimum of 4 inches in diameter.
- Outlet pipes shall be run out beyond fill slopes onto the natural ground. A rip rap splash pad should also be used at the outlet.

3.8 CAP BLOCK PLACEMENT

- The cap block shall be epoxy bonded to the upper segmental block unit in accordance with the segmental wall system manufacturer's recommendations.

3.9 OTHER

- The contractor shall be responsible for observing all applicable safety laws and regulations during construction. The owner's engineer or the design engineer shall not be assumed responsible for site safety.
- The contractor and owner shall be responsible for installing handrails, fences, and/or guardrails needed to satisfy safety concerns and governmental regulations.
- Utilities such as light poles or drainage structures to be installed in the vicinity of the retaining wall must be constructed so that they do not add to the lateral forces to be resisted by the wall. Excavations made in the vicinity of the wall after the wall is constructed must be done without undermining the wall.
- Surface drainage during and after installation of the wall shall be provided to prevent the ponding of water above the wall. The ground surface in front of the wall shall be graded or protected to preclude erosion at the toe of the wall.
- If the contractor discovers any errors, omissions, or discrepancies, the contractor shall contact the design engineer. The design engineer will then issue instructions as to how to proceed with the work. Should the contractor not contact the design engineer, the contractor shall be responsible for the cost of any additional work.
- The design of the wall was based on information provided by the client

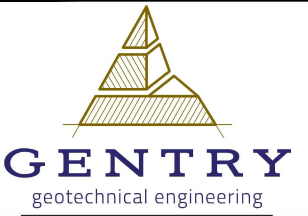
PART 4 INSPECTION

Gentry recommends the following minimum (4) site visits per 50 linear feet of wall to ensure compliance with plans and specifications:

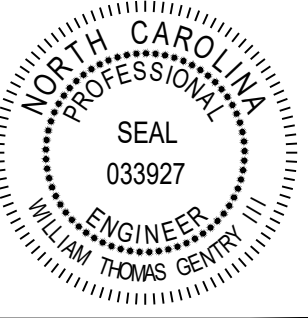
- 1st: Inspect foundation soils to verify allowable soil bearing capacity, embedment depth, and drainage layout.
- 2nd: Inspect leveling pad, block placement, foundation drain, backfill placement, and drainage layout.
- Interim: Inspect wall at mid-construction for block placement, face batter, and backfill placement.
- 4th: Inspect wall at end of construction for final block placement, drainage outlets, backfill placement, exposed height, and grading.

PART 5 MEASUREMENT

The unit of measurement for furnishing and fabricating the PMB Retaining Wall shall be the vertical area (in square feet) of wall surface from the top of the leveling pad to the top of the wall. The quantity to be paid shall include supply and installation of the wall and all appurtenances as shown on the plans. Excavation of unsuitable materials (e.g., organic, or soft soils, or rock) and replacement with select fill, as directed and approved in writing by the owner or owner's engineer shall be paid as a separate pay item.



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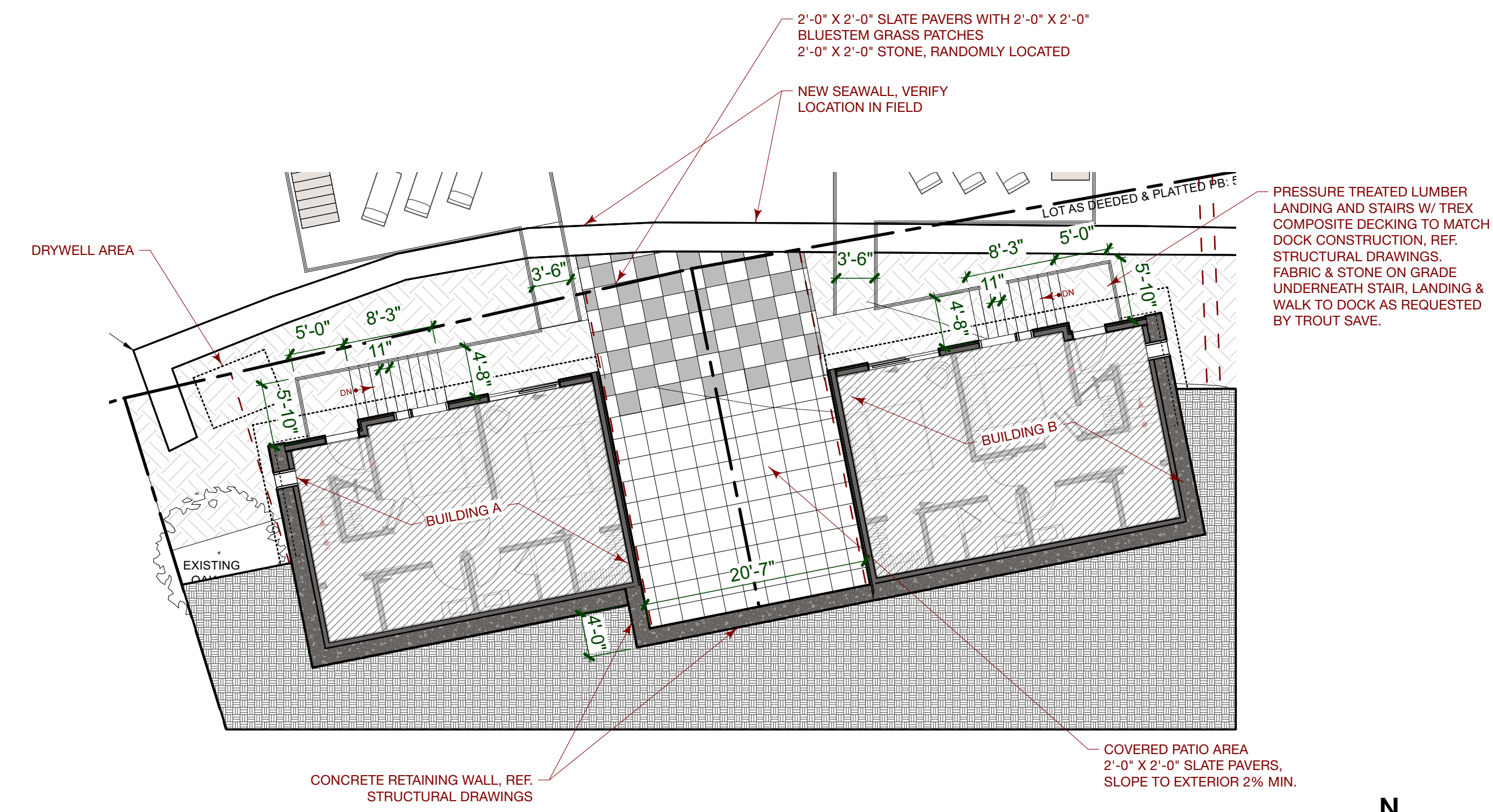
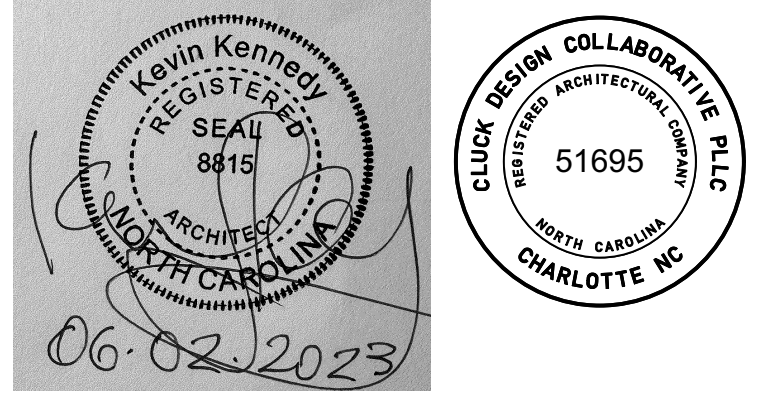
- SPECIFICATIONS

SCALE: N.T.S.

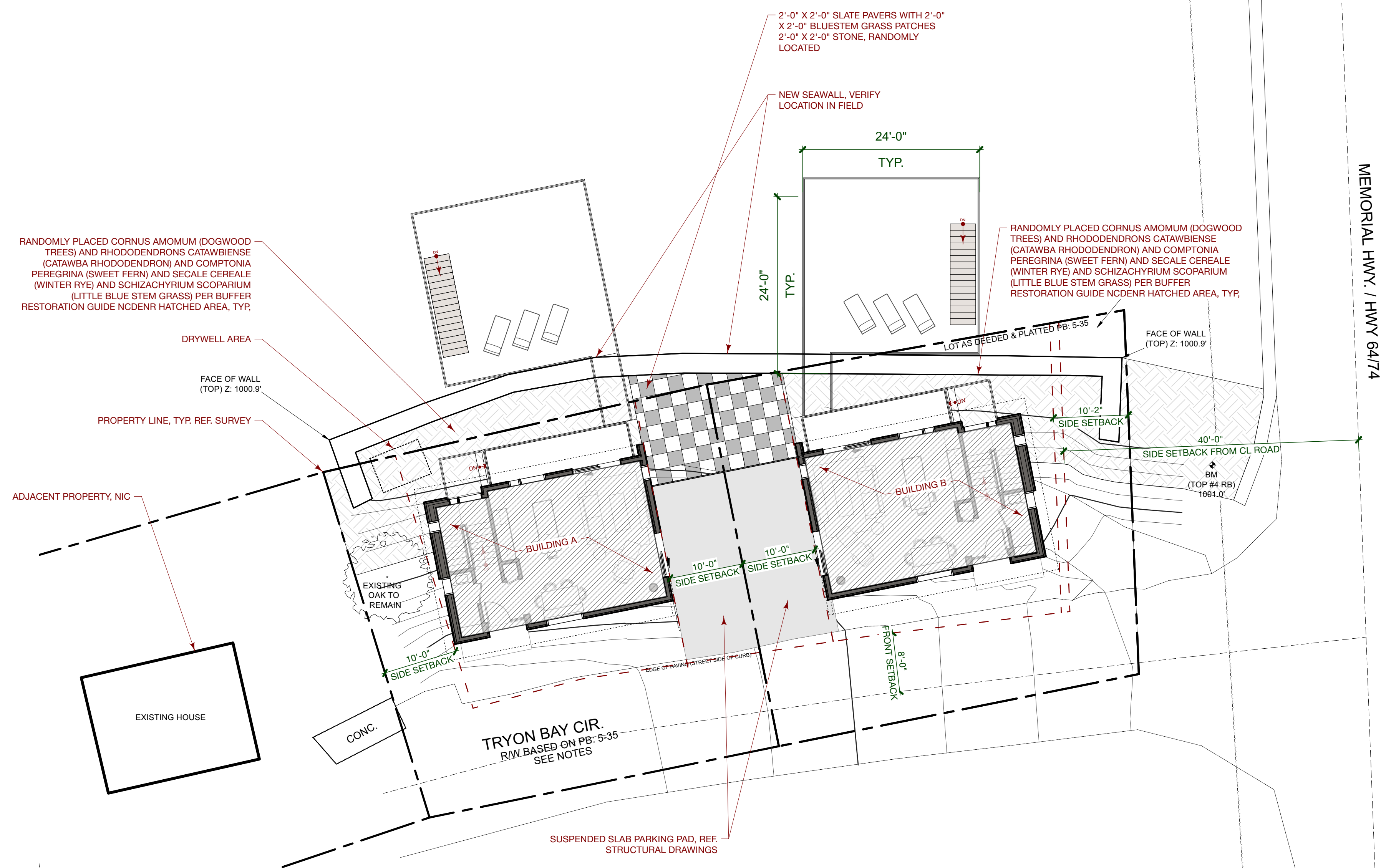
SHEET No.

2.05

11 OF 11 SHEETS



C3 Partial First Floor Level Site Plan
Scale: 1" = 10'-0"



A1 Third Floor Level Site Plan
Scale: 1" = 10'-0"



429 (Lot 1) & 441 (Lot 2)
Tryon Bay Circle
Lake Lure, NC 28746

Prepared for: Dwayne Deese
2026 Greenway Avenue
Charlotte, NC 28204

Mark	Date	Description
1	6/5/23	FOR CONSTRUCTION

This Drawing is the property of Cluck and is not to be reproduced in whole or in part. It is to be used for the project and site specifically identified herein and is not to be used on any other project. This drawing is to be returned upon the written request of Cluck.

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Project Name/#: 21_154_Lake Lure House_CD_Site
CAD File Name: Main.vwx

Architectural Site Plan

A001

VII.

Request for Injunctive Relief Against
Parcels 1611501 and 1600457 for
Failure to Follow Approved Plans and
Abate Code Violations

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026**

SUBJECT: Request to seek injunctive relief – Mintwood Ct. Parcels 1611501 & 1600457

AGENDA INFORMATION:

Agenda Location: New Business

Item Number: VII

Department: Community Development

Contact: Richard Carpenter, Dev. and Environ. Review Specialist

Presenter: Richard Carpenter, Dev. and Environ. Review Specialist

BRIEF SUMMARY:

There are two abutting properties located along Mintwood Ct. (parcels 1611501 & 1600457). The property owner obtained permits to construct two dwellings in 2025. However, the owner deviated from the approved plans and the general contractor, and financially responsible party (FRP), left the project. The permits were revoked after the deviation & the FRP leaving the project.

The plan deviation consisted of tree removal that exceeded the approved plans. The deviation is something that the town can work around if there is a re-planting plan following house construction. However, the property owner has failed to provide updated plans that illustrate the deviation and re-planting plans. The property owner has obtained a new land disturbance permit, with a new FRP, to remove the downed trees on 05/06/2026. However, the property owner has indicated they do not know when they will begin work.

The downed trees may constitute a fire hazard, but staff do not believe they rise to the level of a nuisance code violation as written.

Per the Nuisance ordinance:

- Sec. 18-2. Certain conditions declared as public nuisances. The following enumerated and described conditions, or any combination thereof, are hereby found, deemed, and declared to constitute a detriment, danger and hazard to the health, safety, morals and general welfare of the inhabitants of the town and are found, deemed and declared to be public nuisances wherever the conditions may exist and the creation, maintenance or failure to abate any nuisances is hereby declared unlawful:
 - (1) Any weeds or other vegetation having an overall height of more than 24 inches above the surrounding ground, provided that the following shall not be considered to be a part of this condition: trees and ornamental shrubs; cultured plants; natural vegetation on undeveloped property that is not a threat to the character of surrounding properties; and flowers and growing and producing vegetable plants.
 - (15) A collection place for tree limbs, dried brush, dead vegetation, stumps or other decayed wood and materials or other similar rubbish that is offensive by virtue of odors or vapors or by the inhabitation therein of rats, mice, snakes, or vermin of any kind which is or may be dangerous or prejudicial to the public health.

Per the Land Disturbance Ordinance:

- Sec. 22-37. Injunctive relief. (a) Whenever the town council has reasonable cause to believe that any person is violating or threatening to violate this article or any rule or order adopted or issued

pursuant to this article, or any term, condition, or provision of an approved erosion control plan, it may, either before or after the institution of any other action or proceeding authorized by this article, institute a civil action in the name of the town for injunctive relief to restrain the violation or threatened violation. The action shall be brought in the superior court of the county.

- (b) Upon determination by a court that an alleged violation is occurring or is threatened, the court shall enter any order or judgment that is necessary to abate the violation, to ensure that restoration is performed, or to prevent the threatened violation. The institution of an action for injunctive relief under this section shall not relieve any party to the proceedings from any civil or criminal penalty prescribed for violations of this article.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

To approve/deny the request to seek injunctive relief.

ATTACHMENTS:

AIRF

Photographs

Plans

STAFF'S COMMENTS AND RECOMMENDATIONS:

1. Staff have been in constant communication with the property owner. Staff believe that the owner may resolve the issue on their own as they have made some progress towards compliance. However, they may need a strict timeline imposed by council and/or superior court to abate the issues present.





VIII.

Failed Seawall at 0 Conroy Ct. (Parcel
1636292) Request to condemn the
Seawall and Remediate the Hazard

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: **March 27, 2026****

SUBJECT: Failed seawall at 0 Conroy CT (Parcel 1636292). Request to condemn the seawall and remediate the hazard.

AGENDA INFORMATION:

Agenda Location: New Business

Item Number: VIII

Department: Community Development

Contact: Richard Carpenter, Dev. and Environ. Review Specialist/Trails Planner

Presenter: Richard Carpenter, Dev. and Environ. Review Specialist/Trails Planner

BRIEF SUMMARY:

The seawall in question failed post Helene due to erosive collapse. The seawall has failed here in the past (not as severe) due to erosion issues. The boathouse adjacent suffered significant damage due to the collapsed block. Due to the hazard, the community development department issued a notice of violation on February 12th 2026. The boathouse was demolished, without permit, sometime between February & March. However, the failed seawall was not removed. Steel cables were attached to the sections of failed wall without permit(s).

Staff are concerned that the hanging blocks may rupture a sewer line directly below, or the anchors may fail taking shoreline into the water. Staff have been communicating with the property owner throughout the process but have been unable to obtain a timeline for removal.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

A motion to condemn the structure and require the removal of the collapsed wall and the installation of riprap to stabilize the shoreline. Failure to repair or remove the structure within 90 days will result in the town removing the structure at the property owner's expense.

ATTACHMENTS:

AIRF

Pictures

STAFF'S COMMENTS AND RECOMMENDATIONS:

Staff have issued violations and attempted to obtain compliance since early 2026. As this issue has not been resolved, staff believe condemnation is the best next step to obtain compliance.





IX.

Resolution No. 26-05-27A Setting
Public Hearing for June 9, 2026 to
Receive Comments Regarding Proposed
Text Amendment to Chapter 36 Zoning
Regarding Accessory Buildings in
Residential Districts

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026**

SUBJECT: RESOLUTION BY THE TOWN OF LAKE LURE TOWN COUNCIL SETTING PUBLIC HEARING FOR JUNE 09, 2026 TO RECEIVE COMMENTS REGARDING PROPOSED TEXT AMENDMENT TO CHAPTER 36 ZONING REGARDING ACCESSORY BUILDINGS IN RESIDENTIAL DISTRICTS

AGENDA INFORMATION:

Item Number: IV
Department: Community Development
Contact: Michael Williams, CDD Director
Presenter: Michael Williams, CDD Director

BRIEF SUMMARY:

Town staff and the Zoning and Planning Board have provided the Town Council with recommended text amendments to Code of Ordinances Chapter 6 (“Lake Structure Regulations”) and Chapter 36 (“Zoning”);

ATTACHMENTS:

Proposed text amendment and resolution

**PROPOSED TEXT AMENDMENT TO CHAPTER 36 ZONING REGARDING ACCESSORY BUILDINGS
IN RESIDENTIAL DISTRICTS**

[ADDITIONS TO TEXT ARE UNDERLINED; DELETIONS ARE ~~STRUCK THROUGH~~, CHANGES IN
RED]

Sec. 36-5. Definitions.

The following words, terms and phrases, when used in this chapter, shall have the meanings ascribed to them in this section, except where the context clearly indicates a different meaning:

Accessory building means a detached building subordinate to the principal building on a lot and used for purposes customarily incidental to the principal building and located on the same lot. ~~The total cumulative square footage (or footprint) of accessory buildings shall not exceed 50% of the primary building and in no case shall the total footprint of accessory buildings exceed 1,200 square feet.~~

ARTICLE III. USE REQUIREMENTS

Sec. 36-55. Intent.

It is the intent of this article that if any use or class of use is not specifically permitted in a district as set forth below, it shall be prohibited in that district. Special uses shall comply with article IV of this chapter and all other applicable sections of these regulations.

(Code 1989, § 92.025; Ord. of 1-22-1991; Ord. of 4-10-2007; Ord. No. 21-05-11, 5-11-2021)

Sec. 36-56. R-1 Residential District.

- (a) *Intent.* The R-1 Residential District is established as a district in which the principal use of land is for single-family dwellings. It is the intention of these regulations to discourage any use which would be detrimental to the low density, single-family residential nature of the areas included within the district.
- (b) *Permitted uses.* Within the R-1 Residential District, a building or land shall be used only for the following purpose:
 - (1) Single-family dwellings, excluding mobile homes.
 - (2) Family care homes.
 - (3) Customary accessory buildings, including private garages, storage buildings, and noncommercial workshops, shall be allowed for home occupations subject to all provisions of section 36-232.
 - (4) For lots less than two acres ~~The the~~ the cumulative footprint of all accessory buildings shall not exceed 50% of the footprint of the principal building residence, or 1,200 square feet, whichever is greater. ~~and in no case shall the total footprint of accessory buildings exceed 1,200 square feet.~~
 - (5) Residential vacation rentals subject to special requirements contained in section 36-72(1).

PART II - CODE OF ORDINANCES
Chapter 36 ZONING

- (6) Telecommunications facilities and antennae (see section 36-72(4)).
- (c) *Special use permit.* The following uses require a special use permit subject to a finding by the board of adjustment that all applicable provisions of article IV of this chapter have been met:
- (1) Basement or garage apartments, one per lot.
 - (2) Duplexes.
 - (3) Non-customary accessory uses.
 - (4) Public utility buildings and facilities if such use is essential for the service of the immediate area and provided that:
 - a. All buildings shall be located at least 35 feet from any lot line.
 - b. Fences and/or other appropriate safety devices are installed to protect the public safety and welfare.
 - c. No vehicles or equipment are stored, maintained or repaired on the premises.
 - d. All structures are in keeping with the residential character of the neighborhood.
 - e. Adequate landscaping, screening and/or buffering shall be provided to ensure compatibility with the neighborhood.
 - (5) Home occupations as defined in section 36-5 and subject to all conditions stated therein.
 - (6) Planned unit developments. No building located in a planned unit development shall contain more than two dwelling units.
 - (7) Bed and breakfast establishments. There shall not be any type of cooking instrument provided to any room in these structures. The number of rooms allowed in these uses in this district shall be limited to four per dwelling unit. The owner/proprietor shall maintain their primary residence on the property. One parking space is mandated for each room, and one parking space for each employee of the facility, as provided in section 36-218.
 - (8) Accessory residential event venue. In issuing a special use permit for an accessory residential event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.

(Code 1989, § 92.026; Ord. of 1-22-1991; Ord. of 9-27-1994; Ord. of 1-28-1997; Ord. of 7-10-2001; Ord. of 4-10-2012; Ord. of 2-12-2019; Ord. No. 21-05-11, 5-11-2021)

Sec. 36-57. R-1A, R-1B and R-1C Residential Districts.

- (a) *Intent.* The R-1A, R-1B and R-1C Residential Districts are established as districts in which the principal use of land is for single-family dwellings. Large lot size and low density residential land use are encouraged in this area. It is the intention of these regulations to discourage any use which would be detrimental to the low density, single-family residential nature of the area included within the district.
- (b) *Permitted uses.* Within the R-1A, R-1B and R-1C Residential Districts, a building or land shall be used only for any of the permitted uses listed in the R-1 Residential District.

- (c) *Special use permit.* The following uses require a special use permit subject to a finding by the board of adjustment that all applicable provisions of article IV of this chapter have been met:
- (1) All special uses listed in the R-1 Residential District.
 - (2) Common amenities for residential developments provided that they are situated within the residential development so as not to adversely impact existing and/or reasonably foreseeable uses on adjoining properties. Such amenities shall be set back a minimum of 30 feet from such adjoining properties and a minimum of 60 feet from Lake Lure. Buffering may be utilized to ensure compatibility with adjoining uses.
 - (3) Accessory residential event venue. In issuing a special use permit for an accessory residential event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.
- (d) *Large estate lots.* Lots that are in the R-1A or R-1B zoning district that are ten acres or more shall be allowed two single-family principal buildings (see section 36-222), provided the owner executes and records a unity of title satisfactory to the town. Furthermore, garage apartments located on lots in the R-1A or R-1B zoning district that are ten acres or more in size shall be considered a permitted use, and the application for a certificate of zoning compliance permit shall be processed as such.

(Code 1989, § 92.027; Ord. of 1-22-1991; Ord. of 1-8-2008; Ord. of 4-10-2012; Ord. of 4-8-2014; Ord. No. 21-05-11, 5-11-2021)

Sec. 36-58. R-1D Residential District.

- (a) *Intent.* The R-1D Residential District is established as a district in which the principal use of land is for single-family dwellings.
- (b) *Permitted uses.* Within the R-1D Residential District, a building or land shall be used only for the following purposes:
- (1) Single-family dwellings, excluding mobile homes.
 - (2) Family care homes.
 - (3) Customary accessory buildings, including private garages, storage buildings, and noncommercial workshops, shall be allowed for home occupations subject to all provisions of section 36-232.
 - (4) Residential vacation rentals subject to special requirements contained in section 36-72(1).
 - (5) For lots less than two acres the cumulative footprint of all accessory buildings shall not exceed 50% of the footprint of the principal residence, or 1,200 square feet, whichever is greater.
 - (6) Telecommunications facilities and antennae (see section 36-72(4)).
- (c) *Special use permit.* The following uses require a special use permit subject to a finding by the board of adjustment that all applicable provisions of article IV of this chapter have been met:
- (1) Non-customary accessory uses.
 - (2) Common amenities for residential developments provided that they are situated within the residential development so as not to adversely impact existing and/or reasonably foreseeable uses on adjoining properties. Such amenities shall be set back a minimum of 30 feet from such adjoining properties and a

minimum of 60 feet from Lake Lure. Buffering may be utilized to ensure compatibility with adjoining uses.

- (3) Accessory residential event venue. In issuing a special use permit for an accessory residential event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.

(Code 1989, § 92.028; Ord. of 1-22-1991; Ord. of 9-27-1994; Ord. of 5-11-2004; Ord. of 1-8-2008; Ord. of 10-13-2009; Ord. of 4-10-2012; Ord. No. 21-05-11, 5-11-2021)

Sec. 36-59. R-2 General Residential District.

- (a) *Intent.* The R-2 General Residential District is established as a district in which the principal use of land is for residential purposes. A greater coverage of lot area and densities of land use are permitted in this district. It is the intention of these regulations to discourage any use which would be detrimental to the residential nature of the areas included within this district.
- (b) *Permitted uses.* Within the R-2 General Residential District, a building or land shall be used only for the following purposes:
 - (1) Single-family dwellings.
 - (2) Duplexes.
 - (3) Family care homes.
 - (4) Customary accessory buildings, including private garages, storage buildings, and noncommercial workshops, shall be allowed for home occupations subject to all provisions of section 36-232.
 - (5) For lots less than two acres the cumulative footprint of all accessory buildings shall not exceed 50% of the footprint of the principal residence, or 1,200 square feet, whichever is greater.
 - (6) Residential vacation rentals subject to special requirements contained in section 36-72(1).
 - (7) Telecommunications facilities and antennae (see section 36-72(4)).
- (c) *Special use permit.* The following uses require a special use permit subject to a finding by the board of adjustment that all applicable provisions of article IV of this chapter have been met:
 - (1) Non-customary accessory uses.
 - (2) Home occupations as defined in section 36-5 and subject to all conditions stated therein.
 - (3) Cemeteries.
 - (4) Churches or similar places of worship, including convents and dormitories.
 - (5) Child care centers.
 - (6) Golf courses, parks, playgrounds, swimming pools, community centers, country clubs, civic clubs, private social clubs, lodges, travel trailer parks and other recreational uses.
 - (7) Public elementary and high schools, trade schools, and private schools having similar curricula.
 - (8) Public utility buildings and facilities if such use is essential for the service of the immediate area, provided that:

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- a. All buildings shall be located at least 35 feet from any lot line.
 - b. Fences and/or other appropriate safety devices are installed to protect the public safety and welfare.
 - c. No vehicles or equipment are stored, maintained or repaired on the premises.
 - d. All structures are in keeping with the residential character of the neighborhood.
 - e. Adequate landscaping, screening and/or buffering shall be provided to ensure compatibility with the neighborhood.
- (9) Radio and television transmitting stations and studios, provided that:
- a. Such facilities shall be housed in structures which are in keeping with the character of the residential neighborhood.
 - b. No structure shall be located within 35 feet of any lot line.
 - c. Adequate landscaping, screening and/or buffering shall be provided to ensure compatibility with the neighborhood.
- (10) Mobile home parks, provided that:
- a. The location shall be suitable for residential use. It shall not be subject to hazards such as insect or rodent infestation, objectionable smoke, noxious odors, unusual noise, subsidence, or the probability of flooding or erosion. No part of any park shall be used for nonresidential uses, except such uses that are required for the maintenance of the park to include laundry facilities and storage buildings.
 - b. The soil, groundwater level, drainage, rock formations, and topography shall not create hazards to the property or to the health and safety of occupants.
 - c. The minimum area for any mobile home park shall be two acres.
 - d. The minimum lot size for individual mobile home sites shall be 4,000 square feet, with a width of at least 40 feet, exclusive of common driveways. The minimum lot size for a double wide mobile home shall be 4,700 square feet, with a width of at least 40 feet, exclusive of common driveways.
 - e. The maximum density shall be nine mobile home sites per acre.
 - f. Each mobile home space shall abut a driveway within the park. Said driveway shall be graded and surfaced with not less than four inches of crushed stone or other suitable material on a well compacted sub-base to a continuous width of 25 feet, exclusive of required parking space.
 - g. Two off-driveway parking spaces with not less than four inches of crushed stone or other suitable material on a well-compacted sub-base shall be provided for each mobile home space. Required parking spaces may be included within the 4,000 square feet required for each mobile home space and 4,700 square feet for each double-wide mobile home.
 - h. No mobile homes or other structures within a mobile home park shall be closer to each other than 20 feet, except that storage or other auxiliary structures for the exclusive use of the mobile home may be closer to that mobile home than 20 feet.
 - i. No mobile home shall be located closer than 20 feet to the exterior boundary of the park or a bounding street or highway right-of-way. Buildings used for laundry or recreation purposes shall be located no closer than 40 feet to the exterior boundary of the park or the right-of-way of a bounding street or highway.

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- j. Proposed water supply and waste disposal facilities for each mobile home in the park shall be approved in writing by the appropriate state and/or local agency.
 - k. Not less than five percent of the gross site area shall be devoted to open space, which may be devoted to recreation facilities, generally provided in a central location.
 - l. All mobile home units must comply with HUD's minimum housing standards.
 - m. Every mobile home park owner or operator shall maintain an accurate register. The register shall be on file with the zoning administrator. The register shall contain the following information on forms provided by the zoning administrator: name of owner and/or occupant; make, model and registration number of the mobile home; and date of arrival and departure of the mobile home. These records shall be available for inspection and shall be maintained for three years.
 - n. The storage, collection and disposal of solid waste in the mobile home park shall be conducted so as to create no health hazards, rodent harborage, insect breeding areas, accident hazards, fire hazards, and pollution.
 - o. Plans clearly indicating the developer's intention to comply with the provisions of this chapter concerning mobile home parks shall be submitted to and approved by the zoning administrator prior to submission to the board of adjustment for consideration of granting a special use permit. Plans shall include the areas to be used for the mobile home park; the ownership and use of neighboring properties; all proposed entrances, exits, driveways, open space areas, and service buildings; the proposed plan for water supply and sewage disposal; and the location and size of individual mobile home lots.
 - p. Any expansion of mobile home parks in existence as of the effective date of the ordinance from which is section is derived shall comply with the provisions concerning mobile home parks so described in this chapter.
 - q. A densely planted buffer strip, consisting of evergreen trees or shrubs, shall be located along all sides of the mobile home park, but shall not extend beyond the established setback line along any street. Such buffer strip shall be not less than ten feet in width and shall be composed of trees or shrubs of a type which at maturity shall be not less than 12 feet in height. This planting requirement may be modified by the board of adjustment where adequate buffering exists in the form of vegetation and/or terrain.
- (11) Planned unit developments.
 - (12) Nursing homes.
 - (13) Hospitals, but not animal hospitals.
 - (14) [Repealed by Ordinance 19-02-12.]
 - (15) Multifamily dwellings.
 - (16) Common amenities for residential developments provided that they are situated within the residential development so as not to adversely impact existing and/or reasonably foreseeable uses on adjoining properties. Such amenities shall be set back a minimum of 30 feet from such adjoining properties and a minimum of 60 feet from Lake Lure. Buffering may be utilized to ensure compatibility with adjoining uses.
 - (17) Accessory residential event venue. In issuing a special use permit for an accessory residential event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of

parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.

(18) Campgrounds.

(Code 1989, § 92.029; Ord. of 5-11-2004; Ord. of 1-9-2007; Ord. of 1-8-2008; Ord. of 10-13-2009; Ord. of 4-10-2012; Ord. of 6-12-2012; Ord. of 7-14-2015; Ord. of 2-12-2019; Ord. No. 21-05-11, 5-11-2021)

Sec. 36-60. R-3 Resort Residential District.

- (a) *Intent.* The R-3 Resort Residential District is established as a district in which the principal use of land is for residential and commercial hospitality purposes to include multifamily structures, hotels, motels, and lodges. Uses in conjunction with hotels, motels, and lodges may also be allowed when approved as a special use.
- (b) *Permitted uses.* Within the R-3 Resort Residential District, a building or land shall be used only for the following purposes:
- (1) Single-family dwellings, excluding mobile homes.
 - (2) Multifamily dwellings, including duplexes.
 - (3) Family care homes.
 - (4) Hotels, lodges, motels, boardinghouses, roominghouses, bed and breakfast establishments, private clubs to provide lodging, services and board for the general public.
 - (5) Customary accessory buildings, including private garages, storage buildings, and noncommercial workshops, shall be allowed for home occupations subject to all provisions of section 36-232.
 - (6) For lots less than two acres the cumulative footprint of all accessory buildings shall not exceed 50% of the footprint of the principal residence, or 1,200 square feet, whichever is greater.
 - (7) Residential vacation rentals subject to special requirements contained in section 36-72(1).
 - (8) Basement or garage apartments, one per lot.
 - (9) Telecommunications facilities and antennae (see section 36-72(4)).
- (c) *Special use permit.* The following uses require a special use permit subject to a finding by the board of adjustment that all applicable provisions of article IV of this chapter have been met:
- (1) Non-customary accessory uses.
 - (2) Home occupations as defined in section 36-5 and subject to all conditions stated therein.
 - (3) Public utility buildings and facilities as previously described in section 36-56(c)(4).
 - (4) Planned unit developments.
 - (5) Restaurants, golf courses, and other uses designed in response to the unique natural setting of the area, when in conjunction with a hotel, motel or lodge.
 - (6) All telecommunications tower requirements listed in section 36-72(4).
 - (7) Camps.
 - (8) All new commercial buildings; new building additions with a gross floor area of 1,000 square feet, or more, to an existing commercial building; or any new addition to an existing commercial building

where the building facade length, as existing in December 2005, will be increased by more than 50 percent as a result of an addition or multiple additions.

- (9) Common amenities for residential developments provided that they are situated within the residential development so as not to adversely impact existing and/or reasonably foreseeable uses on adjoining properties. Such amenities shall be set back a minimum of 30 feet from such adjoining properties and a minimum of 60 feet from Lake Lure. Buffering may be utilized to ensure compatibility with adjoining uses.
- (10) Accessory residential event venue. In issuing a special use permit for an accessory residential event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.
- (11) Primary event venue. In issuing a special use permit for a primary event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.
- (12) Campgrounds.

(Code 1989, § 92.029; Ord. of 1-22-1991; Ord. of 9-27-1994; Ord. of 1-28-1997; Ord. of 11-15-2005; Ord. of 1-8-2008; Ord. of 10-13-2009; Ord. of 4-10-2012; Ord. of 7-14-2015; Ord. of 11-10-2015; Ord. No. 21-05-11, 5-11-2021)

Sec. 36-61. R-4 Residential/Office District.

- (a) *Intent.* The R-4 Residential/Office District is established along U.S. 64/74A from the western town limit line to the intersection of N.C. Highway 9 with U.S. Highway 64/74A, excluding those areas currently zoned R-2 and R-3, to provide limited nonresidential uses which will have little impact on the neighboring residential areas. In many cases nonresidential uses may occupy buildings which have been used as residences. If new buildings are constructed, the town recommends that they be of a residential character design.
- (b) *Permitted uses.* Within the R-4 Residential/Office District, a building or land shall be used only for the following purposes:
 - (1) Any of the permitted uses listed in the R-1 Residential District.
 - (2) Business and professional offices limited to licensed practice of law, property appraisal and surveying, building contractor, real estate, insurance, accountancy, financial advisement, architecture and building, land development, and notary. Buildings occupied by such uses may not exceed 3,000 square feet total heated area.
 - (3) No more than two accessory buildings with a total combined area not to exceed 600 square feet.
 - (4) Customary accessory buildings, including private garages, storage buildings, and noncommercial workshops, shall be allowed for home occupations subject to all provisions of section 36-232.
 - (5) For lots less than two acres the cumulative footprint of all accessory buildings shall not exceed 50% of the footprint of the principal residence, or 1,200 square feet, whichever is greater.
 - (6) Residential vacation rentals subject to special requirements contained in section 36-72(1).
 - (6) Telecommunications facilities and antennae (see section 36-72(4)).

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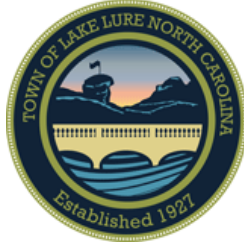
- (c) *Prohibited uses.* Outside storage of any type including the parking or storage of heavy trucks, machinery, or equipment is prohibited in the R-4 district.
- (d) *Special use permits.* The following uses require a special use permit subject to a finding by the board of adjustment that all applicable provisions of article IV of this chapter have been met:
- (1) All special uses listed in the R-1 Residential District, except that planned unit developments (PUDs) may include any uses permitted in this district.
 - (2) Bed and breakfast establishments; provided the owner/proprietor maintains a permanent, primary residence on site. Number of rooms available for rent at any time shall be limited to five.
 - (3) Lodges.
 - (4) All new commercial buildings; new building additions with a gross floor area of 1,000 square feet, or more, to an existing commercial building; or any new addition to an existing commercial building where the building facade length, as existing on December 2005, will be increased by more than 50 percent as a result of an addition or multiple additions.
 - (5) Produce stands.
 - (6) Accessory residential event venue. In issuing a special use permit for an accessory residential event venue, the board of adjustment may impose reasonable conditions, including a maximum number of events per year and a maximum number of attendees which shall be based on the availability of parking, safe ingress and egress, sanitary facilities, potential impacts to adjacent properties and similar site-specific conditions.
- (e) *Site requirements.* All sites must have a minimum of 10,000 square feet. Lots which abut the street must have 50 feet of frontage on the street.
- (f) *Front, rear, and side yard requirements.*
- (1) For lots which abut the street, the building setback shall be not less than 35 feet from the street right-of-way.
 - (2) For lots which abut the lake, the building setback shall be not less than 35 feet from the lake shoreline.
 - (3) Side yards shall be not less than 12 feet in depth.
 - (4) Rear yards shall be not less than 15 feet in depth.
 - (5) When the lot is used for any nonresidential use, a buffer strip shall be provided along the side and/or rear lot line of any abutting residential use. If a fence or wall is used, such fence or wall shall be opaque and not less than eight feet in height. If a planted buffer is used, such buffer strip shall be composed of evergreen trees or shrubs which at planting will be at least four feet high and at maturity will be not less than eight feet high. This requirement may be modified by the board of adjustment where sufficient natural buffering exists.
- (g) *Ingress/egress.* All nonresidential uses in this district shall be allowed only one means of ingress/egress for each 150 feet of frontage or fraction thereof. All ingress/egress openings for both one-way or two-way traffic shall be a minimum of 20 feet wide and a maximum of 50 feet wide unless otherwise required by the state department of transportation. Landscaped traffic delineators are required between the street and the front yard of the nonresidential use extending the full width of the front yard excepting to allow for entrances and exits. Delineators shall begin at the edge of the right-of-way or six feet from the edge of the pavement, whichever is greater, and shall extend a minimum of two feet toward the front of the structure. The area

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should be filled with grass, flowers, and/or shrubs not high enough to obstruct a driver's view of traffic. The zoning administrator may modify this requirement where warranted by safety considerations.

- (h) *Frontage.* For purposes of this section, all sites that are double frontage lots or corner lots shall be deemed to have frontage on all such streets. All fronts must adhere to ingress/egress requirements.
- (i) *Parking.* All parking and loading must be in compliance with sections 36-217 through 36-219.

(Code 1989, § 92.030; Ord. of 12-12-1995; Ord. of 7-10-2001; Ord. of 5-11-2004; Ord. of 11-15-2005; Ord. of 2-13-2009; Ord. of 4-13-2010; Ord. of 12-14-2010; Ord. of 4-10-2012; Ord. of 2-12-2019; Ord. No. 21-05-11, 5-11-2021)



RESOLUTION NO. 26-05-27A

RESOLUTION BY THE TOWN OF LAKE LURE TOWN COUNCIL SETTING PUBLIC HEARING FOR JUNE 09, 2026 TO RECEIVE COMMENTS REGARDING PROPOSED TEXT AMENDMENT TO CHAPTER 36 ZONING REGARDING ACCESSORY BUILDINGS IN RESIDENTIAL DISTRICTS

WHEREAS, the Town staff and the Zoning and Planning Board have provided the Town Council with recommended text amendments to Code of Ordinances Chapter 36 (“Zoning”);

WHEREAS, North Carolina General Statute § 160D-605 mandates that the Town must hold a public hearing prior to amending any development regulations.

NOW, THEREFORE BE IT RESOLVED, that the Town of Lake Lure will hold a public hearing, in accordance with North Carolina General Statutes, during its regular meeting on June 9, 2026 beginning at 5:00 p.m. or shortly thereafter to receive comments in regard to the recommended text amendments to Code of Ordinances Chapter 6 (“Lake Structure Regulations”) and Chapter 36 (“Zoning”).

READ, APPROVED AND ADOPTED this the _____ day of _____, 2026.

ATTEST:

Kimberly Martin, Town Clerk

Mayor Carol C. Pritchett

X.

Budget Amendment #382
for Fire Station 2 Remodel

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: May 27, 2026**

SUBJECT: Budget Amendment #382 for Fire Station 2 Remodel

AGENDA INFORMATION:

Item Number: X
Department: Finance
Contact: Steve Ford, Finance Director
Presenter: Olivia Stewman, Town Manager

BRIEF SUMMARY:

Budget Amendment 382 provides funding adjustments for the Fire Station 2 Renovation Project. The amendment transfers \$150,000 from fund balance to begin project implementation. It also records committed external revenues totaling \$335,000, including \$185,000 from the Rutherford County TDA Back to Beautiful Fund, \$100,000 from the remaining Fairfield Volunteer Department contribution, and \$50,000 from the Office of the State Fire Marshal. Additional funding needed to fully complete the project will be addressed in the upcoming fiscal year. This amendment is being brought forward prior to the new fiscal year in order to allow the project to begin promptly, as an ISO inspection is scheduled for this summer and timely progress is necessary to support compliance and rating considerations.

RECOMMENDED MOTION AND REQUESTED ACTIONS:

To approve Budget Amendment #382 for Fire Station 2 Remodel.

ATTACHMENTS:

Budget Amendment #382

STAFF'S COMMENTS AND RECOMMENDATIONS:

Staff recommends approval

**TOWN OF LAKE LURE
BUDGET AMENDMENT**

Be it ordained by the Board of Commissioners of the Town of Lake Lure that the following amendment be made to the budget ordinance for the fiscal year ending June 30, 2026:

Department: General-Capital

Purpose: To provide funding for Public Safety upgrades to Lake Lure Station (2) –*FKA Fairfield*

Section 1. To amend Fund 10, the revenues and expenditure are to be changed as follows:

Line Item	Account Number	Amount Decrease	Amount Increase	Amended Budget
516	800000		\$250,000	

*

To provide the additional expenditure for the above, the following revenues will be increased:

Account Name: Transfer from Fund Balance
Account Number: 10-398600
Amount: \$250,000

Section 2. I certify that the accounting records provide for this budget amendment, and that the revenue source(s) are available:

Finance Officer

Date

Section 3. Copies of this amendment shall be delivered to the Budget/Finance Officer and Town Auditor for their direction.

Adopted this _____ day of _____, 2026.

XI.
Hager Strategic Solutions
Updates

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: April 22, 2026**

SUBJECT: Hager Strategic Solutions Updates

AGENDA INFORMATION:

Item Number: XI
Department: Administration
Contact: Bre Wilhelm, Lobbyist
Presenter: Bre Wilhelm, Lobbyist

BRIEF SUMMARY:

The Town works with Bre Wilhelm of Hager Strategic Solutions for lobbyist services. Ms. Wilhelm will provide a legislative update.

XII.
Town Manager/Project
Updates

**LAKE LURE TOWN COUNCIL
AGENDA ITEM REQUEST FORM
Meeting Date: April 22, 2026**

SUBJECT: Town Manager/Project Updates

AGENDA INFORMATION:

Item Number: XII
Department: Administration
Contact: Olivia Stewman, Town Manager
Presenter: Olivia Stewman, Town Manager

BRIEF SUMMARY:

Town Manager Olivia Stewman will provide Council with project and any other updates that are not included on the meeting agenda. Council will also have the opportunity to ask any questions.

ATTACHMENT(S):

Town Manager/Project Updates to be provided at the time of the meeting.

XIII.
Public Comment

XIV.

Closed Session in Accordance with
G.S. 143-318.11(a) (5) for the Purpose
of Discussing Property Acquisition.

XV.
Adjournment