PLANNING AND ZONING BOARD MEETING

CITY OF LAKE CITY

June 07, 2022 at 5:30 PM
Venue: City Hall

AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

INVOCATION

ROLL CALL

MINUTES

i. May 3, 2022

OLD BUSINESS - None

NEW BUSINESS

ii. Comprehensive Plan Amendment - CPA-22-04 Florida Gateway Center (Agent: Daniel Crapps)

Zoning Change - Z-22-03 - Florida Gateway Center (Agent: Daniel Crapps)

iii. Comprehensive Plan Amendment - CPA-22-05 Schlimmer Housing (Agent: Isaac Schlimmer)

Zoning Change - Z-22-04 Schlimmer Housing (Agent: Isaac Schlimmer)

iv. Site Plan Review - SPR-22-13 - Frank and Lanes Heating and Air, LLC (Agent: Carol Chadwick)

v. Variance - V-22-01 - Dance Studio (Agent: Brian Pitman)

Special Exception - SE-22-01 - Dance Studio (Agent: Brian Pitman)

Site Plan Review - SPR-22-02 - Dance Studio (Agent: Brian Pitman)

WORKSHOP/DISCUSSION ITEMS

vi. Board I-Pads (Presenters: Planning and Zoning Technician Robert Angelo and Information Systems Specialist Matt Saylor)

vii. Sunshine Law, Public Records and Meeting Decorum Board Training (Presenter: Attorney Byron Flagg)

viii. Planning and Zoning Board Orientation Manual (Presenter: Planning and Zoning Technician Robert Angelo)

ADJOURNMENT

YouTube Channel Information

Members of the public may also view the meeting on our YouTube channel at: https://www.youtube.com/c/CityofLakeCity

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

File Attachments for Item:

i. May 3, 2022

Meeting Minutes
Planning and Zoning

Date: 05/03/2022

Roll Call:

Mr. Lydick-Present
Mr. Cooper-Present
Mr. Nelson-Present
Ms. Georgalis-Present
Mr. Carter-Present
Mrs. McKellum-Present
Mr. McMahon-Present

Approval of Past Minutes-Approve the minutes of the 04/05/2022 Meeting.
Motion By: Mr. Carter
Seconded By: Mr. Lydick

Comments or Revisions:
No comments or revisions

New Business:

Petition # CPA 22-03 Presented By: **Carol Chadwick**
As owner or agent and gives address of: **1208 SW Fairfax Glen Lake City FL 32025**

Petitioner is Sworn in by: Ms.Georgalis

Discussion:
Ms. Georgalis asked if **parcel 00-00-00-13752-000** was in the Historic District. Mr. Lydick confirmed that it is not. **Passed with a vote of six yes and one no.**

Motion to close Public Hearing: **Mr. Carter**
Motion Seconded By: **Mr. Lydick**

Motion to Approve/Deny By: Mr. Carter
Motion Seconded By: **Mr. McMahon**

Petition # Z 22-02 Presented by **Carol Chadwick**
As owner or agent and gives address of: **1208 SW Fairfax Glen Lake City FL 32025**

Petitioner is Sworn in by: Ms. Georgalis

Discussion:
Mr. Lydick asked Carol Chadwick why the choice for the Commercial Intensive zoning on **parcel 00-00-00-13752-000**. Carol had no specific reason for the choice of Commercial Intensive. Mr. Lydick asked what the other businesses around there were zoned. After reviewing the map by Mr. Angelo and Mr. Sova it was confirmed that the zoning of the businesses along Baya Ave. are zoned Commercial General or Commercial Intensive. Mr. Cooper asked why only four parking spots and were they going to have any gravel parking are. Carol Chadwick said that she is designing the business to have the least impact.
Passed with a vote of six yes and one no.

Motion to close Public Hearing: **Mr. Cooper**
Motion Seconded By: **Mr. Carter**

Motion to Approve/Deny By: Mr. Nelson
Motion Seconded By: **Mr. Carter**

Petition # SE22-02 Presented By: **Terry Forgie**
As owner or agent and gives address of:

Discussion:
SE22-02 Presented by Terry Forgie for Avis Budget Car Rental LLC. Applying for a special exception for parcel **35-3S-16-02585-006**. Mr. Forgie stated that the State of Florida is requesting this location. Mr. McMahon asked how many parking spots were going to be taking up. Mr. Forgie stated that they are going to be taking up five spots in the front and the over flow would be in the back. Mr. Lydick asked if the special exception was just for the use of the property. Mr Forgie confirmed. **Approved unanimously.**

Motion to close Public Hearing: Mr. McMahon
Motion Seconded By: **Mr. Nelson**

Motion to Approve/Deny By: Mr. McMahon
Motion Seconded By: **Mr. Carter**

Petition # SPR22-11 Presented By: Carl Chadwick
As owner or agent and gives address of: **1208 SW Fairfax Glen Lake City FL 32025**

Discussion:
SPR22-11, presented by Carol Chadwick for North FL Primary Care LLC. Applying for a site plan review for parcel **34-3S-16-02465-106 and 107.** Mr. Lydick asked about number of parcels being taken up for this property. Carol Chadwick stated that is was a little over two. Mr. Crater asked if it was approved by all departments. Mr. Angelo stated that it was approved. **Approved unanimously.**

Motion to close Public Hearing: **Mr. Carter**
Motion Seconded By: **Mr. Lydick**

Motion to Approve/Deny By: Mr. Nelson
Motion Seconded By: **Mrs. McKellum**

Motion to Adjourn by: **Mr. Carter**
Time:
Motion Seconded By: **Mr. Nelson**

_____ _____
Mavis Georgalis, Board Chairperson **Date Approved**

_____ _____
Robert Angelo, Secretary **Date Approved**

File Attachments for Item:

ii. Comprehensive Plan Amendment - CPA-22-04 Florida Gateway Center (Agent: Daniel Crapps)

Zoning Change - Z-22-03 - Florida Gateway Center (Agent: Daniel Crapps)

CITY OF LAKE CITY
Florida's Gateway

GROWTH MANAGEMENT
205 North Marion Ave.
Lake City, FL 32055
Telephone: (386) 719-5750
E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY
Application # CPA22-0004
Application Fee $ 250.00
Receipt No. 2022-00046640
Filing Date 4/18/22
Completeness Date _____

COMPREHENSIVE PLAN AMENDMENT

Small Scale: $750.00 Large Scale: $1,500.00

A. PROJECT INFORMATION

1. Project Name: Florida Gateway Center North
2. Address of Subject Property: NW Hall of Fame Drive/NW Huntsboro Street
3. Parcel ID Number(s): 34-3S-16-02463-147
4. Existing Future Land Use Map Designation: Commercial
5. Proposed Future Land Use Map Designation: Res Med Density (8 DU/Acre)
6. Zoning Designation: RMF-1 (Residential Multi-Family)
7. Acreage: 1.63 Acres
8. Existing Use of Property: Commercial
9. Proposed use of Property: Multi-Family

B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Daniel Crapps Title: Trustee
   Company name (if applicable): Northwest Quadrant Land Trust
   Mailing Address: 2806 W US-90 #101
   City: Lake City State: FL Zip: 32055
   Telephone: (386) 755-5110 Fax: (386) 755-7851 Email: dcrapps@danielcrapps.com
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): _____
   Mailing Address: _____
   City: _____ State: _____ Zip: _____
   Telephone: (____) _____ Fax: (____) _____ Email: _____
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved: N/A
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property? ☐Yes ☒No
   Future Land Use Map Amendment: ☐Yes_____ ☒No _____
   Future Land Use Map Amendment Application No. _____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ☒No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
   Variance: ☐Yes_____ ☒No_____
   Variance Application No. _____
   Special Exception: ☐Yes_____ ☒No_____
   Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
4. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. Proof of Ownership (i.e. deed).
7. Agent Authorization Form (signed and notarized).
8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
   a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = $750.00
   b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = $1,500.00 or actual city cos
   c. Text Amendment to the Comprehensive Plan = $750.00

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

DANIEL CRAPPS

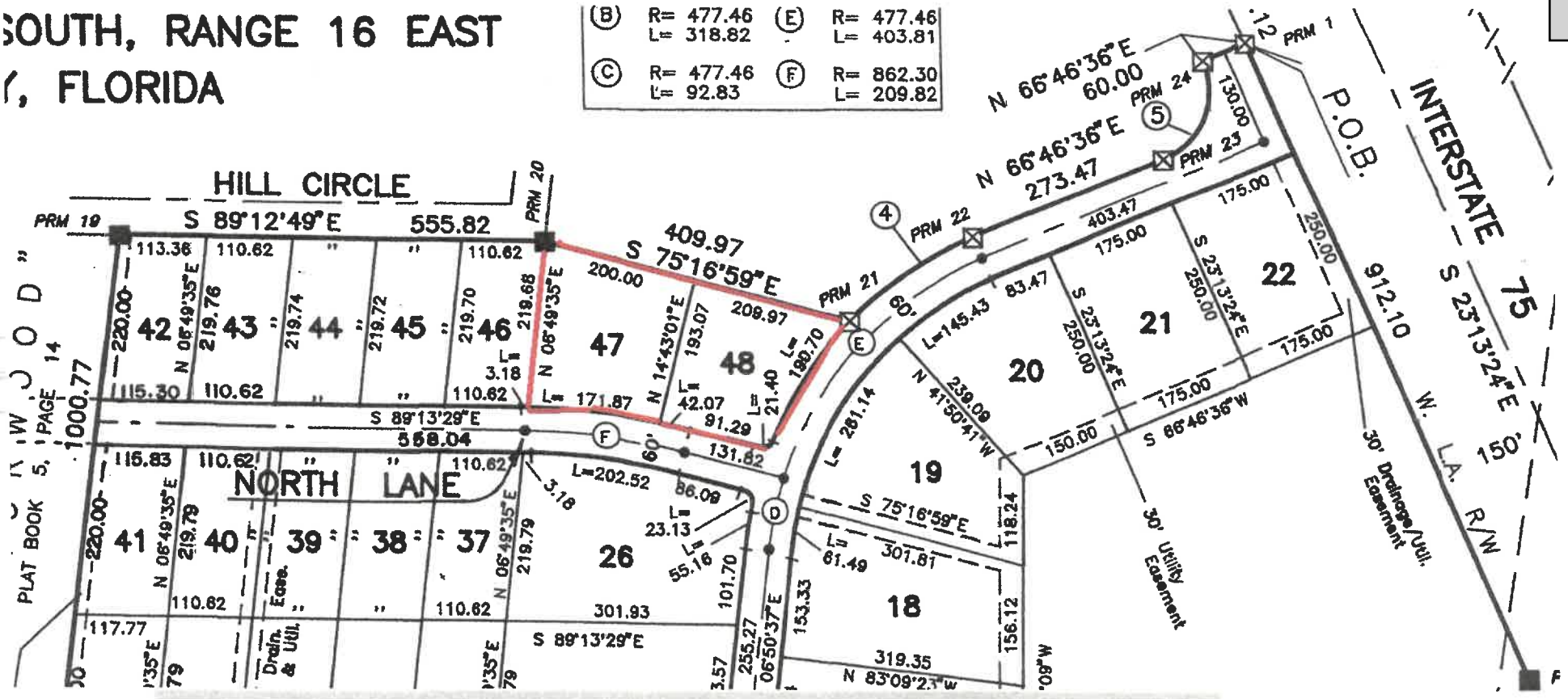
Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

04/18/2022

Date

SOUTH, RANGE 16 EAST
Y, FLORIDA



CENTER NORTH

IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST

COLUMBIA COUNTY, FLORIDA

CITY ATTORNEY'S CERTIFICATE

I HEREBY CERTIFY that I have examined the foregoing Plat and that it complies with the City of Lake City Subdivision Ordinance and Chapter 177 of the Florida Statutes

SIGNED _____
Herbert Darby, City Attorney

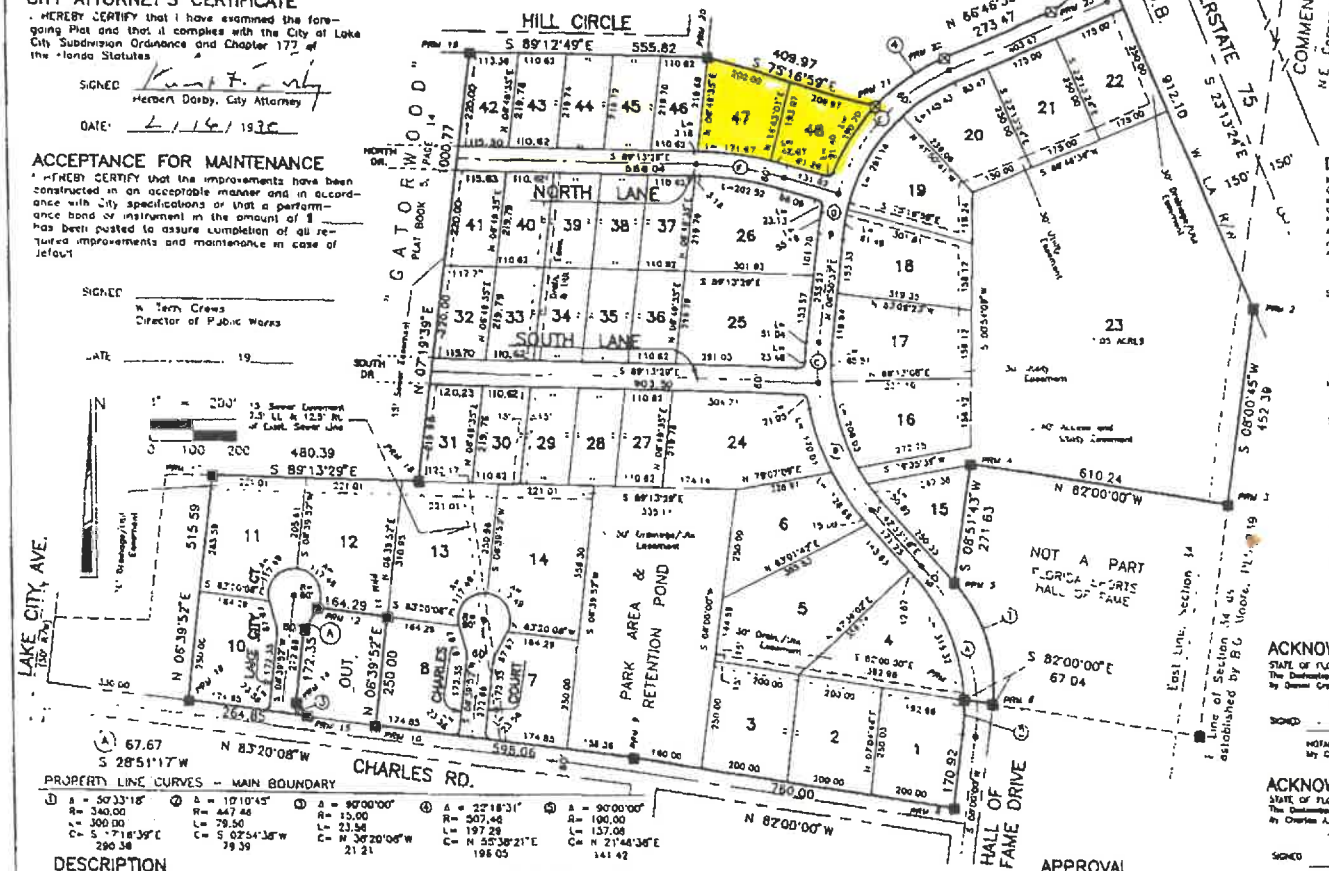
DATE: 2/14/1996

ACCEPTANCE FOR MAINTENANCE

I HEREBY CERTIFY that the improvements have been constructed in an acceptable manner and in accordance with City specifications or that a performance bond or instrument in the amount of $ _____ has been posted to assure completion of all required improvements and maintenance in case of default

SIGNED _____
N. Terry Crews
Director of Public Works

DATE _____ 19____



ROAD CENTERLINE CURVES	
(A) R= 477.46 L= 341.84	(D) R= 477.46 L= 95.47
(B) R= 477.46 L= 318.82	(E) R= 477.46 L= 403.81
(C) R= 477.46 L= 92.83	(F) R= 867.30 L= 209.62

LOT ACREAGE TABULATION									
1	1.13	13	1.53	25	1.52	37	0.56
2	1.15	14	1.85	26	1.40	38	0.56
3	1.16	15	2.74	27	0.56	39	0.56
4	1.36	16	1.26	28	0.56	40	0.56
5	1.95	17	1.36	29	0.56	41	0.59
6	1.24	18	1.24	30	0.56	42	0.57
7	1.07	19	1.15	31	0.61	43	0.56
8	1.07	20	1.00	32	0.60	44	0.55
9	OUT	21	1.00	33	0.56	45	0.55
10	1.07	22	1.15	34	0.56	46	0.55
11	1.30	23	11.03	35	0.56	47	0.57
12	1.42	24	1.69	36	0.56	48	0.56

EASEMENT NOTE

In addition to the Easements shown on the face of the Plat, other utility easements exist as follows:

1.) Easements 10.00 feet each side of all property lines dividing lots, and

2.) Easements 15.00 feet in width, adjacent to all Road Rights-of-Way

DEDICATION

KNOW ALL MEN BY THESE PRESENTS that Northwest Quadrant Land Trust, as owner, Charles A. and Harvey D. Devane, as first mortgagee and Mid-State Federal Savings and Loan Association, as second mortgagee, have caused the lands herein shown to be surveyed, subdivided and platted, to be known as FLORIDA'S GATEWAY CENTER NORTH, and that all Road Rights-of-Way and Easements, Retention Pond and Park Area are hereby dedicated to the perpetual use of the public for such purposes as noted herein.

NORTHWEST QUADRANT LAND TRUST

SIGNED _____ Witness _____
Daniel Craggs, Trustee

Witness _____

FIRST MORTGAGEE

SIGNED _____ Witness _____
Charles A. Devane

Witness _____

Harvey D. Devane

SECOND MORTGAGEE – MID-STATE FEDERAL SAVINGS & LOAN ASSOCIATION

SIGNED _____ Witness _____
Thomas F. Dorsey, Vice-President

Witness _____

ACKNOWLEDGEMENT 1 – OWNER

STATE OF FLORIDA, COUNTY OF COLUMBIA

The Dedication hereon was acknowledged before me this _____ day of _____, 19__, by Daniel Craggs, Trustee of Northwest Quadrant Land Trust, who has been affixed hereto

SIGNED _____

NOTARY PUBLIC, State of Florida at Large
My Commission Expires _____

ACKNOWLEDGEMENT 2 – FIRST MORTGAGEE

STATE OF FLORIDA, COUNTY OF _____

The Dedication hereon was acknowledged before me this _____ day of _____, 19__, by Charles A. and Harvey D. Devane, as first mortgagees, with their seals affixed hereto

SIGNED _____

NOTARY PUBLIC, State of Florida at Large
My Commission Expires _____

ACKNOWLEDGEMENT 3 – SECOND MORTGAGEE

STATE OF FLORIDA, COUNTY OF MARION

The Dedication hereon was acknowledged before me this _____ day of _____, 19__, by Thomas F. Dorsey, Vice-President of Mid-State Federal Savings and Loan Association as second mortgagee, with his seal affixed hereto

SIGNED _____

NOTARY PUBLIC, State of Florida at Large
My Commission Expires _____

PROPERTY LINE CURVES – MAIN BOUNDARY

(1) Δ = 50°33'18" R= 340.00 L= 300.00 C= S 17°18'39"E 290.38	(2) Δ = 10°10'45" R= 447.46 L= 79.50 C= S 02°54'38"W 79.39	(3) Δ = 90°00'00" R= 15.00 L= 23.56 C= N 36°20'06"W 21.21	(4) Δ = 22°18'31" R= 507.46 L= 197.29 C= N 55°38'21"E 196.05	(5) Δ = 90°00'00" R= 100.00 L= 157.08 C= N 71°46'34"E 141.42

DESCRIPTION

COMMENCE at the northeast corner of Section 34, Township 3 South, Range 16 East, Columbia County, Florida and run N 89°30'43"W along the North line of Section 34 a distance of 1074.95 feet to a point on the Westerly Right-of-Way line of Interstate highway No. 75, thence S 23°13'24"E along said Westerly Right-of-Way line 1150.12 feet to the POINT OF BEGINNING, thence continue S 23°13'24"E along said Westerly Right-of-Way line 912.10 feet to a point on the north line of Section 34 as established by B.G. Moore's P.L.S. # 438, thence S 06°00'45"W along said line 452.39 feet, thence N 82°00'00"W 610.24 feet, thence S 06°51'43"W 271.63 feet to a point on the arc of a curve concave to the Southeast having a radius of 340.00 feet, said curve being a chord bearing of S 17°18'39"E, thence Southerly along the arc of said curve 290.38 feet, thence N 82°00'00"W 67.04 feet to a point on the Westerly Right-of-Way line of Hall of Fame Drive, said point being on the arc of a curve concave to the East having a radius of 441.46 feet, said curve also having a chord bearing of S 02°54'38"W, thence Northwesterly along the arc of said curve being said Westerly Right-of-Way line 79.50 feet to the point of tangency of said curve, thence S 06°00'00"W along said Westerly Right-of-Way line 170.92 feet to the intersection of the Northerly Right-of-Way line of Charles Road, thence N 82°00'00"W along said Northerly Right-of-Way line 750.00 feet, thence N 82°20'08"W along said Northerly Right-of-Way line 595.06 feet, thence N 06°39'52"E 250.00 feet, thence N 83°20'08"W 164.29 feet, thence S 28°51'17"W 67.67 feet, thence S 06°39'52"E 172.33 feet to the point of curve of a curve concave to the Northwest having a radius of 15.00 feet said curve and having a chord bearing of S 36°20'06"W, thence Southwesterly along the arc of said curve 23.56 feet to a point on the Northerly Right-of-Way line of Charles Court, thence N 83°39'54"W along said Northerly Right-of-Way line 264.85 feet, thence N 06°39'52"E 515.59 feet to a point on the South line of GATORWOOD, Subdivision as recorded in Plat Book 5, Page 14 of the Public Records of Columbia County, Florida, thence S 89°13'29"E along said South line 480.40 feet, thence N 07°19'39"E along the East line of said GATORWOOD 1000.77 feet to a point on the Northerly Right-of-Way line of Hill Circle, thence S 89°12'49"E along said Northerly Right-of-Way line 555.82 feet, thence S 75°16'59"E 408.97 feet to a point on the arc of a curve concave to the Southeast having a radius of 30.00 feet, said curve also having a chord bearing of N 33°38'21"E, thence northeasterly along the arc of said curve 187.29 feet to the point of tangency of said curve, thence N 66°46'36"E 273.47 feet to the point of curve of a curve concave to the East having a radius of 60.00 feet, said curve also having a chord bearing of N 21°46'34"E, thence Northeasterly along the arc of said curve 157.08 feet, thence N 66°46'36"E 60.00 feet to the POINT OF BEGINNING.

LEGEND/NOTES

1) ⊠ = Permanent Reference Monument set, brass cap stamped PLS 3438 with monument number and date set.

2) ■ = Concrete monument found in place at time of Survey

3) Boundary and Bearings based on prior Survey by Donald F. Lee and Associates

4) Field data obtained precisely complies with Minimum Technical Standards

5) The described property does not lie within a Flood Zone "A" area, per F.I.A. Flood Hazard Boundary Maps (Community Panel No. 120070 0175 B)

6) Zoning: Lots 21-48 – Residential Multi-Family
Lots 1-20 & 49 & 50 – Commercial

NOTICE: There may be additional restrictions not recorded on this Plat that may be found in the Public Records of the County

NOTICE: All Utility Easements shown on this Plat shall constitute easements for the construction, installation, maintenance and operation of electricity, telephone, CATV and public utilities which may serve the lands encompassed by the Plat.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY this to be a true and correct Plat of the lands Surveyed and shown hereon, that the Survey was made under my responsible supervision (direction and control), that permanent reference monuments have been set as shown and that the Survey data complies with the Lake City Subdivision Ordinance and Chapter 177 of the Florida Statutes

SEAL

SIGNED _____
Donald F. Lee, P.L.S.
Florida Reg. Cert. No. 3438

DATE ____/____/ 19__

APPROVAL

PLANNING BOARD, CITY OF LAKE CITY

SIGNED _____

Chairman

ATTEST: _____

DATE ____/____/ 19__

APPROVAL

CITY COUNCIL, CITY OF LAKE CITY

SIGNED _____

T. Cecil Hall, Mayor

ATTEST: _____

DATE ____/____/ 19__

COUNTY CLERK'S CERTIFICATE

THIS PLAT having been approved by the City Council of the City of Lake City, Florida is accepted for filed this _____ day of _____, 19__

Plat Book No. _____, Page No. _____

SIGNED _____
Clerk of Circuit Court
Columbia County, Florida

SHEET 1 OF 1

FAD FILE: SATE-6
W.O. No. 87-492

Donald F. Lee and Associates, Inc.
LAKE CITY, FLORIDA

Columbia County Property Appraiser

Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 34-3S-16-02463-147 (10251) | VACANT COMMERCIAL (1000) | 1.63 AC

LOTS 47 & 48 FLORIDA GATEWAY CENTER NORTH S/D.

Owner: **CRAPPS DANIEL AS TRUSTEE**
NORTHWEST QUADRANT LAND TRUST
2806 W US 90 STE 101
LAKE CITY, FL 32055

Site:

Sales Info: N O N E

2021 Working Values

Mkt Lnd	$52,885	Appraised	$52,885
Ag Lnd	$0	Assessed	$52,885
Bldg	$0	Exempt	$0
XFOB	$0		county:$52,885
Just	$52,885	Total Taxable	city:$52,885
			other:$0
			school:$52,885

NOTES:

Columbia County, FL

Concurrency Impact Analysis
34-3S-16-02463-147

This proposed development will not have a negative impact on public facilities. The property is already zoned Commercial General which would allow for multiple businesses that would generate substantially more motor vehicle trips per day than the allowed 8 dwelling units (du) per acre multi-family complex on 1.63 acres (13 du max). As part of the commercial development, the subdivision is connected to the City of Lake City water system and sanitary sewer system. The solid waste impact for multiple businesses versus approximately 13du should not be substantially different, and/ may or be less, depending upon the type of commercial businesses allowed in the commercial general designation. Due to the size of the project, the impact on the public school system is minimal.

CONCURRENCY WORKSHEET

Northwest Quadrant Land Trust

3/22/2022

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Total Dwelling units*	Total ADT	Total PM Peak
230	Multi-Family Home	5.81	0.52	13.00	76.00	7.00

*8 Dwelling units per acre (i.e. 1.63 x 8)

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Multi-Family Home	300.00	13.00	3900.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Multi-Family Home	300.00	13.00	3900.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Dwelling Units*	Total (Lbs Per Day)
Multi-Family Home	10.00	13.00	130.00

*0.73 tons per person per year x 2.5 persons per dwelling unit= 10 lbs per dwelling unit per day

Comprehensive Plan Consistency Analysis
34-3S-16-02463-147

The following analysis identifies how this application is consistent with the County's Comprehensive Plan. Language from the comprehensive plan is provided in normal font, and the consistency statements are provided in bold and italics font.

Proposed Site Plan
The property is 1.63 acres and is located along NW Hall of Fame Drive and NW Huntsboro Street in Columbia County. The proposed development is to be rezoned from Commercial General to Residential- Multi-Family.
(34-3S-16-02463-147)

1.An Analysis of the Requirements of Section 16.2 of the Land Development Regulations:
(a.) Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.

The rezoning would have no adverse effect on the comprehensive plan. The surrounding areas have the same residential zoning.

(b.) The existing land use pattern.

The existing land use pattern is Commercial General.

(c.) Possible creation of an isolated district unrelated to adjacent and nearby districts.

There is no possible creation of an isolated district as the property surrounding the subject property is zoned Residential Multi-Family.

(d.) The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.

There is no expected significant change in the population density pattern

(e.) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

The existing district boundaries are consistent with the surrounding property and the existing conditions on the subject property.

(f.) Whether changed or changing conditions make the passage of the proposed amendment necessary.

The proposed future use of the property will be Residential Multi-Family.

(g.) Whether the proposed change will adversely influence living conditions in the neighborhood.

There is no negative influence to the living conditions expected.

(h.) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

No expected significant increase in traffic.

(i.) Whether the proposed change will create a drainage problem.

All excessive runoff created onsite with development will be supported by a proposed stormwater management facility.

(j.) Whether the proposed change will seriously reduce light and air to adjacent areas.

Any proposed development on the site will have no effect on lighting and/or air to the adjacent areas.

(k.) Whether the proposed change will adversely affect property values in the adjacent area.

There is no foreseen affects to property values in the area.

(l.) Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.

There is no foreseen reason why the proposed use would have any effect on the development of the adjacent properties.

(m.) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

The proposed rezoning is consistent with the current zoning in the area and the current characteristics of the NW Hall of Fame Drive and NW Huntsboro Street corridor.

(n.) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

The current zoning does not allow for residential use.

(o.) Whether the change suggested is out of scale with the needs of the neighborhood or the county.

The rezoning is in line with the current conditions surrounding the subject property and the NW Hall of Fame Drive and NW Huntsboro Street corridor.

(p.) Whether it is impossible to find other adequate sites in the county for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:

(i.) The need and justification for the change.

Along that section of NW Hall of Fame Drive and NW Huntsboro Street, there is many residential multi-family homes. The subject property is residential site and the proposed construction will be similar to what is already constructed within the area.

(ii.) The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the county's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the county's comprehensive plan.

Rezoning the subject property to Residential Multi-family is consistent with the surrounding zoning and the current makeup of the NW Hall of Fame DR and NW Huntboro corridor. It is also consistent with the current Comprehensive Land Use.

Parcel #34-3S-16-02463-147

Lots 47 and 48 – Florida Gateway Center North S/D

SAP:dbb KNTK
3-86-1780
12/2/86

BK 0609 PG 0074
OFFICIAL RECORDS

WARRANTY DEED

THIS WARRANTY DEED made this 8th day of December, 1986, CHARLES A. DeVANE and HARVEY D. DeVANE, both of whom are married persons not residing on the property hereafter described (herein "Grantor"), to DANIEL CRAPPS, as Trustee, under Trust Agreement dated November 25, 1986, and known as "Northwest Quadrant Land Trust" whose post office address is Route 13, Box 1166, Lake City, Florida 32055 (herein "Grantee").

W I T N E S S E T H:

That Grantor, for and in consideration of the sum of TEN AND NO/100 ($10.00) DOLLARS and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee, all that certain land situate in Columbia County, Florida, viz:

(See Schedule A attached hereto and by reference made a part hereof)

(herein "the property")

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple upon the trust and for the uses and purposes herein, and in said trust agreement set forth.

This deed is given and accepted in accordance with Section 689.071, Florida Statutes, and full power and authority is granted by this deed to Grantee, and his successors as trustee to protect, conserve, sell, lease, encumber and otherwise manage and dispose of the property or any part of it, and in addition thereto (and not in limitation thereof) Grantee, as Trustee, is hereby granted full power and authority to subdivide, manage and dispose of the property or any part thereof; to dedicate parks, streets, highways or alleys, and to vacate any subdivision or

This Instrument Prepared By:
S. AUSTIN PEELE
DARBY, PEELE, BOWDOIN, MANASCO & PAYNE
Attorneys at Law
327 North Hernando Street
Lake City, Florida 32055

DOCUMENTARY STAMP 2384.00
INTANGIBLE TAX
MARY B. CHILDS, CLERK OF COURTS, COLUMBIA COUNTY
BY _____ D.C.

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY, FL
1986 DEC -8 PM 3:48
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA

part thereof, and to resubdivide the property as often as desired; to contract to sell, grant options to purchase; to sell on any terms; to convey either with or without consideration; to convey said property and any part thereof to a successor or successors in trust and to grant to such successor or successors in trust all of the title, estate, powers and authorities vested in Grantee as trustee; to donate, dedicate, mortgage, pledge or otherwise encumber the property or any part therof; to lease the property or any part thereof from time to time, and upon terms and for periods of time as Trustee may determine and to renew and extend such leases upon any terms and for any such periods of time, and amend, change or modify the same; to partition or exchange the property or any part thereof for other real or personal property; to submit the property or any part thereof to condominium and execute such declarations of condominium or other documents necessary to do so; to grant easements or charges of any kind; to release, convey or assign any right, title or interest in and to the said easements appurtenant to the property or any part thereof, and to deal with the property and every part thereof in all of the ways, and for such other purposes and considerations as it would be lawful for any person owning the same to deal with the same, whether similar to or different from the ways above specified at any time and from time to time hereafter.

In no case shall any party dealing with Grantee in relation to the property or to whom the real property or any part of it shall be conveyed, contracted to be sold, leased or mortgaged by Grantee, be obliged to see to the application of any purchase money, rent or money borrowed or advanced on the premises, or be obliged to see that the terms of the trust have been complied with, or be obliged to inquire into the necessity or expediency of any act of Grantee, or be obliged or privileged to inquire into any of the terms of the Trust Agreement; and every deed, mortgage, lease or other instrument executed by Grantee in relation to the real estate shall be conclusive evidence in favor of

every person relying upon or claiming under any such conveyance, lease or other instrument: (a) that at the time of its delivery, the trust created by this deed and by the Trust Agreement was in full force and effect; (b) that the conveyance or other instrument was executed in accordance with the trusts, conditions and limitations contained in this deed and the Trust Agreement and is binding upon all beneficiaries under those instruments; (c) that Grantee was duly authorized and empowered to execute and deliver every such deed, lease, mortgage or other instrument; and (d) if the conveyance is made to a successor or successors in trust, that the successor or successors in trust have been appointed properly and vested fully with all the title, estate, rights, powers, duties and obligations of the predecessor in trust.

Any contract, obligation or indebtedness incurred or entered into by Grantee in connection with the above described real property may be entered into in his name, as trustee of an express trust, and not individually, and Grantee shall have no obligation whatsoever with respect to any such contract, obligation or indebtedness, except only as far as the trust property and funds in the actual possession of Grantee shall be applicable for its payment and discharge, and it shall be expressly understood that any representations, warranties, covenants, undertakings and agreements hereafter made on the part of Grantee while in form purporting to be representations, warranties, covenants and undertakings and agreements of Grantee are nevertheless made and intended not as personal representations, warranties, covenants and undertakings and agreements, or for the purpose or with the intention of binding Grantee personally, but are made and intended for the purpose of binding only the trust property specifically described herein; and that no personal liability or personal responsibility is assumed by, nor shall at any time be asserted or enforceable against Grantee, individually or personally, on account of any instrument executed by or account of

any representation, warranty, covenant, undertaking or agreement of Grantee as trustee, either expressly or implied, all such personal liability, if any, being expressly waived and released, and all persons and corporations whomsoever shall be charged with notice of these conditions from the date of the filing for record of this deed; provided, however, that Grantee acknowledges by the acceptance of this deed, that Grantee has simultaneously herewith executed and delivered to Grantor a promissory note and purchase money mortgage securing the same, which by the terms thereof impose upon Grantee personal liability in accordance with the respective terms and tenor thereof, and no part, provision or portion of this paragraph shall be construed to in any way relieve Grantee from such personal liability as may be otherwise imposed under the terms of said note and purchase money mortgage.

The interest of each beneficiary under this deed and under the Trust Agreement referred to herein, and of all persons claiming under them, or any of them, shall be only in the earnings, avails and proceeds arising from the sale or other disposition of the real property, and such interest is declared to be personal property, and no beneficiary shall have any title or interest, legal or equitable, in or to the real property as such, but only an interest in the earnings, avails and proceeds therefrom.

AND Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1986.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

Charles A. DeVane (SEAL)
CHARLES A. DeVANE

Witnesses

(SEAL)
HARVEY D. DeVANE

STATE OF FLORIDA

COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 8th day of December, 1986, by CHARLES A. DeVANE and HARVEY D. DeVANE, both of whom are married persons not residing on the property described herein.

Marabeth Norris
Notary Public, State of Florida

(NOTARIAL SEAL)

My commission expires:

Notary Public, State of Florida at Large
My Commission Expires August 12, 1990
Bonded thru Huckleberry, Sibley &
Harvey Insurance and Bonds, Inc.

BK 0609 PG0078
OFFICIAL RECORDS

SCHEDULE A

Columbia County, Florida

PARCEL 1

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: COMMENCE at the Northeast corner of said Section 34 and run N89°30'43"W along the North line of said Section 34 a distance of 1074.95 feet to a point on the Westerly Right-of-Way line of Interstate Highway No. 75 (a Limited Access Highway) and the POINT OF BEGINNING; thence S23°13'24"E along said Westerly Right-of-Way line 2062.22 feet to a point on the East line of said Section 34 as established by B.G. Moore, PLS No. 439; thence S08°00'45"W along said East line 986.55 feet; thence N82°00'00"W 550.22 feet to a point on the Westerly Right-of-Way line of DeVane Drive; thence S08°00'00"W along said Westerly Right-of-Way line 250.00 feet; thence N82°00'00"W 760.00 feet; thence N83°20'08"W 1367.75 feet to a point on the Easterly Right-of-Way line of Lake City Avenue; thence N07°19'27"E along said Easterly Right-of-Way line 150.00 feet to the Southwest corner of GATORWOOD, a Subdivision as recorded in Plat Book No. 5, Page No. 14 of the Public Records of Columbia County, Florida, said point lying on the South line of the NE 1/4 of said Section 34; thence S89°14'13"E along the South line of said GATORWOOD 219.95 feet to the Southeast corner of Lot No. 19, Block A of said GATORWOOD; thence N07°19'27"E along the East line of said GATORWOOD 332.11 feet to the Northeast corner of Lot No. 17, Block A of said GATORWOOD; thence S89°13'29"E along the South line of said GATORWOOD 586.62 feet to the Southeast corner of said GATORWOOD; thence N07°19'39"E along the East line of said GATORWOOD 1000.77 feet to the Northeast corner of said GATORWOOD, said point being on the South line of the N 1/2 of the NE 1/4 of said Section 34, being also the Southerly Right-of- Way line of Hill Circle; thence S89°12'49"E along said South line of the N 1/2 of the NE 1/4 a distance of 555.82 feet to the Southeast corner of WEST LAKE CITY HILLS, a Subdivision as recorded in Plat Book No. 3, Page No. 89 of the public records of Columbia County, Florida; thence N08°10'10"E along the Easterly Right-of-Way line of said Hill Circle 1341.68 feet to a point on the North line of said Section 34; thence S89°30'43"E along said North line 272.81 feet to the POINT OF BEGINNING. Containing 95.36 acres, more or less.

ALSO

PARCEL 2

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G. Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a Chord Bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the

arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive and the POINT OF BEGINNING; thence N08°00'00"E along said Easterly Right-of-Way line 449.87 feet; thence S82°00'00"E 10.00 feet; thence S08°00'00"W parallel with the Easterly Right-of-Way line of said DeVane Drive 449.60 feet to a point on the Northerly Right-of-Way line of said U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 00°10'40", said curve also having a Chord Bearing of N83°32'30"W and a Chord Distance of 10.00 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line 10.00 feet to the POINT OF BEGINNING.

ALSO

PARCEL 3

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G. Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a Chord Bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive; thence N08°00'00"E along said Easterly Right-of-Way line 1090.07 feet; thence N82°00'00"W 760.00 feet; thence S08°00'00"W 956.27 feet to the POINT OF BEGINNING; thence S82°00'00"E 10.00 feet; thence S08°00'00"W 76.46 feet to a point on the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 7589.44 feet and a central angle of 00°04'35", said curve also having a Chord Bearing of N73°41'23"W and a Chord Distance of 10.11 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line 10.11 feet; thence N08°00'15"E 75.00 feet to the POINT OF BEGINNING.

TOGETHER WITH a non-exclusive, perpetual Easement 60.00 feet in width for the purposes of ingress and egress for all kinds of vehicular traffic and pedestrian traffic over, across and upon the lands hereinafter described as Parcel 4, and a perpetual, non-exclusive Easement 60.00 feet in width for underground transmission or service utility lines for gas, water, sewer, telephone, electricity or other lawful purposes in, over, across, upon and under said Parcel 4 described as follows:

PARCEL 4

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: An Easement 60.00 feet in width lying 60 feet to the left of the following described line:

COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G.

Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a chord bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive; thence N08°00'00"E along said Easterly Right-of-Way line 1150.05 feet; thence N82°00'00"W 60.00 feet to a point on the Westerly Right-of-Way line of said DeVane Drive and the POINT OF BEGINNING of said line; thence continue N82°00'00"W 760.00 feet; thence S08°00'00"W 1082.26 feet to a point on the Northerly Right-of-Way line of said U.S. Highway No. 90 (State Road No. 10) and the TERMINAL POINT of said line.

ALSO TOGETHER WITH a non-exclusive, perpetual Easement 60.00 feet in width for the purposes of ingress and egress for all kinds of vehicular traffic and pedestrian traffic over, across and upon the lands hereinafter described as Parcel 5, and a perpetual, non-exclusive Easement 60.00 feet in width for underground transmission or service utility lines for gas, water, sewer, telephone, electricity or other lawful purposes in, over, across, upon and under said Parcel 5 described as follows:

PARCEL 5

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: An Easement 60.00 feet in width lying 60 feet to the left of the following described line:

COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G. Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a Chord Bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive; thence N08°00'00"E along said Easterly Right-of-Way line 1150.05 feet; thence N82°00'00"W 820.00 feet to the POINT OF BEGINNING of said line; thence N83°20'08"W 1367.75 feet to a point on the Easterly Right-of-Way line of Lake City Avenue and the TERMINAL POINT of said line, said point lying S07°19'27"W 150.00 feet from the Southwest corner of GATORWOOD, a Subdivision as recorded in Plat Book No. 5, Page No. 14 of the Public Records of Columbia County, Florida.

SUBJECT TO:
(a) Easement dated November 9, 1926, recorded in Deed Book 18, page 374 wherein C. C. Parker and Ida J. Parker granted an Easement to Florida Power & Light Company.
(b) Easement dated November 9, 1926, recorded in Deed Book 18, page 386, wherein N. W. Parker and Nina A. Parker granted an Easement to Florida Power & Light Company.
(c) Agreement dated November 19, 1926, recorded in Deed Book 18, page 389, wherein Anna F. Caldwell and Herbert Caldwell granted an Easement to Florida Power & Light Company.
(d) Easement dated March 17, 1976, recorded in Official Records Book 361, pages 503-505, wherein Florida Interstate Developers, Inc., Charles A. DeVane and Harvey D. DeVane granted an Easement to Florida Power & Light Company.
(e) Existing road rights-of-way.
(f) Easements shown by the plat of said property prepared by

Donald F. Lee & Associates, Inc. dated October 24, 1986 and identified under Work Order 86-431 and File No. B-1-35.

Columbia County Tax Collector

generated on 4/5/2021 3:45:40 PM EDT

Tax Record

Last Update: 4/5/2021 3:44:39 PM EDT

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02463-147	REAL ESTATE	2020

Mailing Address
CRAPPS DANIEL AS TRUSTEE
NORTHWEST QUADRANT LAND TRUST
2806 W US 90 STE 101
LAKE CITY FL 32055

Property Address

GEO Number
343S16-02463-147

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail
NO EXEMPTIONS

Millage Code
001

Escrow Code

Legal Description (click for full description)
34-3S-16 1000/10001.63 Acres LOTS 47 & 48 FLORIDA GATEWAY CENTER NORTH S/D.

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	52,885	0	$52,885	$259.14
BOARD OF COUNTY COMMISSIONERS	8.0150	52,885	0	$52,885	$423.87
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	52,885	0	$52,885	$39.56
LOCAL	3.7810	52,885	0	$52,885	$199.96
CAPITAL OUTLAY	1.5000	52,885	0	$52,885	$79.33
SUWANNEE RIVER WATER MGT DIST	0.3696	52,885	0	$52,885	$19.55
LAKE SHORE HOSPITAL AUTHORITY	0.0001	52,885	0	$52,885	$0.01

Total Millage	19.3137	Total Taxes	$1,021.42

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	$50.40

Total Assessments	$50.40
Taxes & Assessments	$1,071.82

If Paid By	Amount Due
	$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
1/26/2021	PAYMENT	2703495.0004	2020	$1,050.38

Prior Years Payment History

Prior Year Taxes Due

NO DELINQUENT TAXES

Payment Transaction

ZF:

LAST NAME: Crapps

FIRST NAME: David

STREET ADDRESS: 2806 W US Hwy 90 #101

PHONE NUMBER: 755-5110

For Growth Management
USE ONLY

Project ID# CPA22-00
(Florida Gateway Center)

Parcel ID: 34-35-16-02463-147

PAYMENT AMOUNTS 750.00

CASH ☐

CHECK# ☑

CC ☐

City of Lake City
205 N. Marion Ave
Lake City, FL 32055

Date:	04/18/2022
Receipt:	2022-00046640
Description:	Daniel Crapps CPA 22-00 Florida Gateway Center
Cashier:	Danyell Courson
Received From:	
ZF Daniel Crapps CPA 22-00 Florida Gateway Center	750.00
Receipt Total	750.00
Total Check	750.00
Total Remitted	750.00
Total Received	750.00

City of Lake City Utilities

GROWTH MANAGEMENT
205 North Marion Ave
Lake City, Florida 32055
Telephone (386) 719-5750
growthmanagement@lcfla.com

FOR PLANNING USE ONLY
Application # Z ~~CPA 22-00~~ Z 22-03
Application Fee $ 750.00
Receipt No. 2022-00046640
Filing Date 4/18/22
Completeness Date

Less Than or Equal to 10 Acres: $750.00 **Greater Than 10 Acres: $1,000.00 or actual cost**

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: Florida Gateway Center North
2. Address of Subject Property: NW Hall of Fame Drive/NW Huntsboro Street
3. Parcel ID Number(s): 34-3S-16-02463-147
4. Future Land Use Map Designation: Commercial
5. Existing Zoning Designation: CG (Commercial General)
6. Proposed Zoning Designation: RMF-1 (Residential Multi-Family)
7. Acreage: 1.63 Acres
8. Existing Use of Property: Commercial
9. Proposed use of Property: Multi-Family

B. APPLICANT INFORMATION

1. Applicant Status ☑ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Daniel Crapps Title: Trustee
   Company name (if applicable): Northwest Quadrant Land Trust
   Mailing Address: 2806 W US-90 #101
   City: Lake City State: FL Zip: 32055
   Telephone: (386) 755-5110 Fax: (386) 755-7851 Email: dcrapps@danielcrapps.com
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): _____
   Mailing Address: _____
   City: _____ State: _____ Zip: _____
   Telephone: (____) _____ Fax: (____) _____ Email: _____
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved: N/A
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property: ☐Yes ☑No
   Future Land Use Map Amendment: ☐Yes_____ ☑No _____
   Future Land Use Map Amendment Application No. CPA_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ☑No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
   Variance: ☐Yes_____ ☑No_____
   Variance Application No. _____
   Special Exception: ☐Yes_____ ☑No_____
   Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.

2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).

3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.

4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:

   a. Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.
   b. The existing land use pattern.
   c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
   d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
   e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
   f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
   g. Whether the proposed change will adversely influence living conditions in the neighborhood.
   h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
   i. Whether the proposed change will create a drainage problem.
   j. Whether the proposed change will seriously reduce light and air to adjacent areas.

k. Whether the proposed change will adversely affect property values in the adjacent area.

l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.

m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.

p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:

   i. The need and justification for the change.
   ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

5. Legal Description with Tax Parcel Number (In Microsoft Word Format).

6. Proof of Ownership (i.e. deed).

7. Agent Authorization Form (signed and notarized).

8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

9. Fee. The application fee for a Site Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Daniel Crapps

Applicant/Agent Name (Type or Print)

Daniel Crapps

Applicant/Agent Signature

04/18/2022

Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 18 day of Apr, 2022, by (name of person acknowledging).

Vera Lisa Hicks

Signature of Notary

(NOTARY SEAL or STAMP)

Vera Lisa Hicks

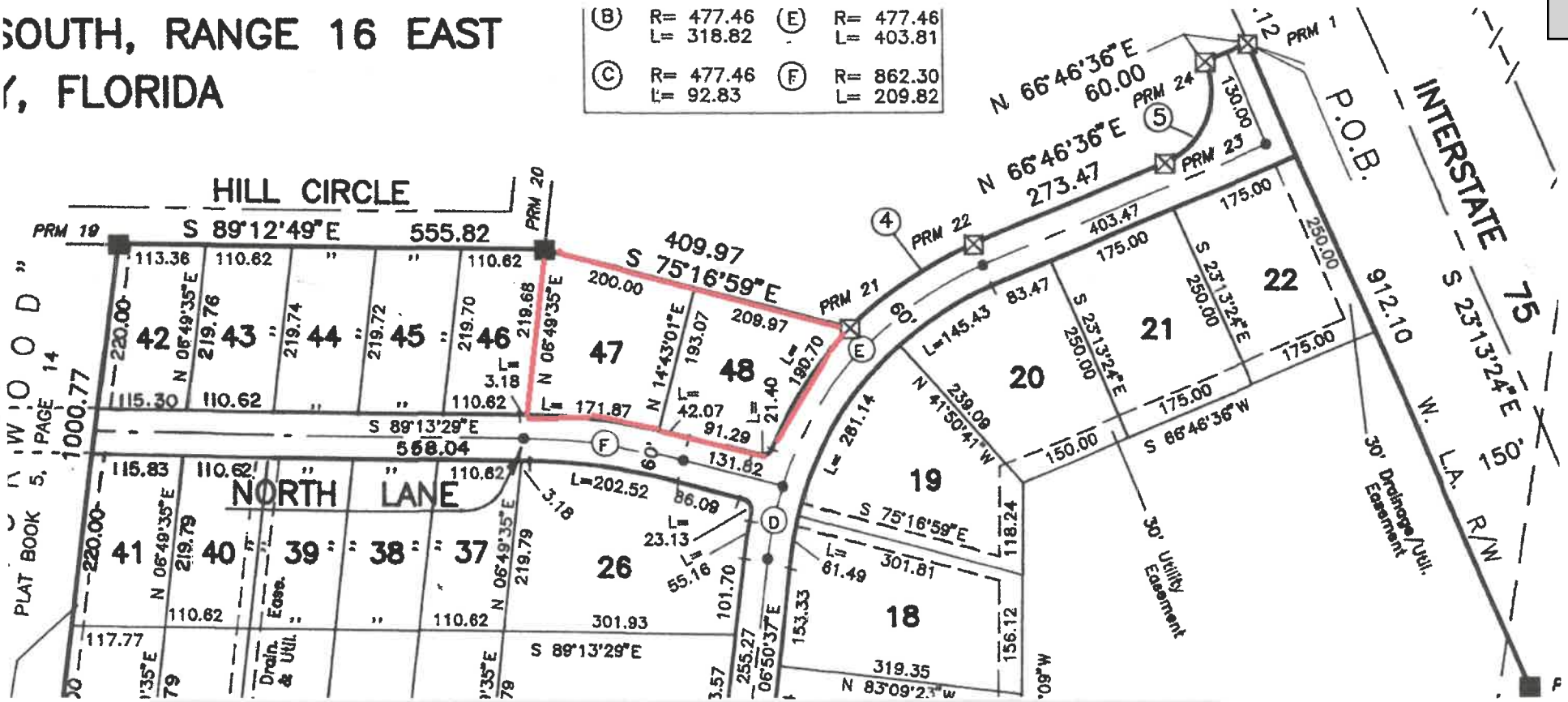
Printed Name of Notary

Personally Known XXX OR Produced Identification _____
Type of Identification Produced

VERA LISA HICKS
MY COMMISSION # GG 236506
EXPIRES: August 23, 2022
Bonded Thru Notary Public Underwriters

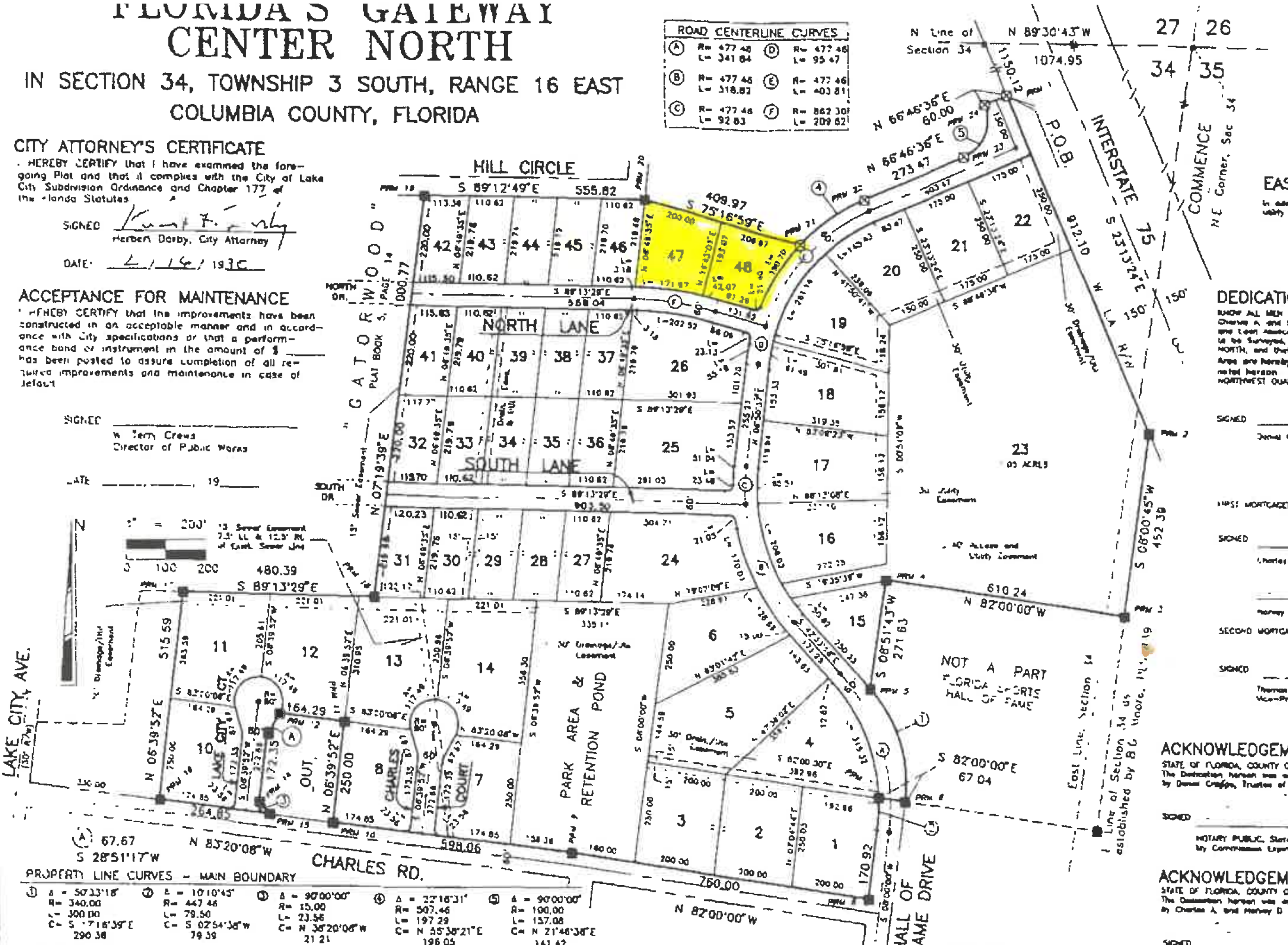
SOUTH, RANGE 16 EAST
Y, FLORIDA

(B)	R= 477.46 L= 318.82	(E)	R= 477.46 L= 403.81
(C)	R= 477.46 L= 92.83	(F)	R= 862.30 L= 209.82



FLORIDA'S GATEWAY CENTER NORTH

IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA



ROAD CENTERLINE CURVES			
Ⓐ	R= 477.46 L= 341.64	Ⓓ	R= 477.46 L= 95.47
Ⓑ	R= 477.46 L= 318.82	Ⓔ	R= 477.46 L= 403.81
Ⓒ	R= 477.46 L= 92.83	Ⓕ	R= 862.30 L= 209.82

LOT ACREAGE TABULATION							
1	1.13	13	1.53	25	1.52	37	0.56
2	1.15	14	1.82	26	1.40	38	0.56
3	1.16	15	2.74	27	0.56	39	0.56
4	1.38	16	1.26	28	0.56	40	0.56
5	1.95	17	1.36	29	0.56	41	0.53
6	1.24	18	1.74	30	0.56	42	0.57
7	1.07	19	1.75	31	0.40	43	0.58
8	1.07	20	[illegible]	32	0.80	44	0.55
9	OUT	21	1.00	33	0.56	45	0.55
10	1.07	22	[illegible]	34	0.56	46	0.55
11	1.30	23	11.05	35	0.56	47	[illegible]
12	1.42	24	1.69	36	0.56	48	[illegible]

CITY ATTORNEY'S CERTIFICATE

I HEREBY CERTIFY that I have examined the foregoing Plat and that it complies with the City of Lake City Subdivision Ordinance and Chapter 177 of the Florida Statutes

SIGNED ______________
Herbert Darby, City Attorney

DATE: 4 / 16 / 19 3C

ACCEPTANCE FOR MAINTENANCE

I HEREBY CERTIFY that the improvements have been constructed in an acceptable manner and in accordance with City specifications or that a performance bond or instrument in the amount of $ ______ has been posted to assure completion of all required improvements and maintenance in case of default

SIGNED ______________
W. Terry Crews
Director of Public Works

DATE ______, ______ 19____

PROPERTY LINE CURVES - MAIN BOUNDARY

①	②	③	④	⑤
Δ = 50°33'18"	Δ = 10°10'45"	Δ = 90°00'00"	Δ = 22°16'31"	Δ = 90°00'00"
R= 340.00	R= 447.46	R= 15.00	R= 507.46	R= 100.00
L= 300.00	L= 79.50	L= 23.56	L= 197.29	L= 157.08
C= S 17°16'39"E 290.38	C= S 02°54'38"W 79.39	C= N 38°20'08"W 21.21	C= N 55°38'21"E 196.05	C= N 21°46'38"E 141.42

DESCRIPTION

COMMENCE at the Northeast corner of Section 34, Township 3 South, Range 16 East, Columbia County, Florida and run N 89°30'43"W along the North line of Section 34 a distance of 1074.95 feet to a point on the Westerly Right-of-Way line of Interstate Highway No. 75, thence S 23°13'24"E along said Westerly Right-of-Way line 1150.12 feet to the POINT OF BEGINNING, thence continue S 23°13'40"E and along said Westerly Right-of-Way line 912.10 feet to a point on the East line of Section 34 as established by B.G. Moore P.L.S. # 439 thence S 08°00'45"W along said East line 452.39 feet, thence N 82°00'00"W 610.24 feet, thence S 08°51'43"W 271.63 feet to a point on the arc of a curve concave to the Southeast having a radius of 340.00 feet, said curve also having a chord bearing of S 17°16'39"E, thence Southerly along the arc of said curve 300.00 feet, thence N 82°00'00"W 67.04 feet to a point on the Westerly Right-of-Way line of Hall of Fame Drive, said point being on the arc of a curve concave to the East having a radius of 447.46 feet, said curve also having a chord bearing of S 02°54'38"W, thence Southerly along the arc of said curve being also said Westerly Right-of-Way line 79.50 feet to the point of tangency of said curve, thence S 08°00'00"W along said Westerly Right-of-Way line 170.92 feet to its intersection with the Northerly Right-of-Way line of Charles Road, thence N 82°00'00"W along said Northerly Right-of-Way line 760.00 feet, thence N 83°20'08"W and along said Northerly Right-of-Way line 598.06 feet, thence N 06°39'52"E 250.00 feet, thence N 83°20'08"W 164.29 feet, thence S 28°51'17"W 67.67 feet, thence S 06°39'52"W 172.35 feet to the point of curve of a curve concave to the Northwest having a radius of 15.00 feet said curve also having a chord bearing of S 38°20'08"E, thence Southwesterly along the arc of said curve 23.56 feet to a point on the Northerly Right-of-Way line of Charles Road, thence N 83°20'08"W along said Northerly Right-of-Way line 264.85 feet; thence N 06°39'52"E 515.59 feet to a point on the South line of GATORWOOD Subdivision as recorded in Plat Book 5, Page 14 of the Public Records of Columbia County, Florida, thence S 89°13'29"E along said South line 480.40 feet, thence N 07°19'39"E along the East line of said GATORWOOD 1000.77 feet to a point on the Southerly Right-of-Way line of Hill Circle, thence S 89°12'49"E along said Southerly Right-of-Way line 555.82 feet, thence S 75°16'59"E 409.97 feet to a point on the arc of a curve concave to the Southeast having a radius of 507.46 feet, said curve also having a chord bearing of N 55°38'21"E, thence Northeasterly along the arc of said curve 197.29 feet to the point of tangency of said curve, thence N 66°46'36"E 273.47 feet to the point of curve of a curve concave to the West having a radius of 100.00 feet, said curve also having a chord bearing of N 21°46'38"E, thence Northerly along the arc of said curve 157.08 feet, thence N 66°46'36"E 60.00 feet to the POINT OF BEGINNING.

LEGEND/NOTES

1) ☒ = Permanent Reference Monument set, brass cap stamped PLS 3428 with monument number and date set.

2) ■ = Concrete Monument found in place at time of Survey

3) Boundary and Bearings based on prior Survey by Donald F. Lee and Associates

4) Field data closure precision complies with Minimum Technical Standards

5) The described property does not lie within a Flood Zone "A" area, per F.I.A. Flood Hazard Boundary Maps (Community Panel No. 120070 0172 B)

6) Zoning Lots 27-46 - Residential Multi-Family
Lots 1-26, 47 & 48 - Commercial

NOTICE There may be additional restrictions not recorded on this Plat that may be found in the Public Records of the County

NOTICE All Utility Easements shown on this Plat shall constitute easements for the construction, installation, maintenance and operation of electricity, telephone, CATV and public utilities which may serve the lands encompassed by this Plat.

SURVEYOR'S CERTIFICATE

I HEREBY CERTIFY this to be a true and correct Plat of the lands Surveyed and shown hereon, that the Survey was made under my responsible supervision, direction and control, that permanent reference monuments have been set as shown and that the Survey data complies with the Lake City Subdivision Ordinance and Chapter 177 of the Florida Statutes

SIGNED ______________
Donald F. Lee, P.L.S.
Florida Reg. Cert. No. 3428

DATE ____/____/ 19____

APPROVAL

ZONING BOARD, CITY OF LAKE CITY

SIGNED

____
Chairman

____
ATTEST

DATE ____/____/ 19____

APPROVAL

CITY COUNCIL, CITY OF LAKE CITY

SIGNED

____
T. Gerald Witt, Mayor

____
ATTEST

DATE ____/____/ 19____

EASEMENT NOTE

In addition to the Easements shown on the face of the Plat, other utility easements exist as follows:

1) Easements 10.00 feet each side of all property lines dividing lots, and

2) Easements 15.00 feet in width, adjacent to all Road Rights-of-Way

DEDICATION

KNOW ALL MEN BY THESE PRESENTS that Northwest Quadrant Land Trust, as owner, Charles A. and Harvey D. Devane, as first mortgagees and Mid-State Federal Savings and Loan Association, as second mortgagee, have caused the lands hereon shown to be Surveyed, subdivided and platted, to be known as FLORIDA'S GATEWAY CENTER NORTH, and that all Road Rights-of-Way and Easements, Retention Pond and Park Area are hereby dedicated to the perpetual use of the public for uses shown or noted hereon.

NORTHWEST QUADRANT LAND TRUST

SIGNED ______________ ______________
Daniel Crapps, Trustee Witness

____
Witness

FIRST MORTGAGEE

SIGNED ______________ ______________
Charles A. Devane Witness

______________ ______________
Harvey D. Devane Witness

SECOND MORTGAGEE - MID-STATE FEDERAL SAVINGS & LOAN ASSOCIATION

SIGNED ______________ ______________
Thomas F. Dewey, Vice-President Witness

____
Witness

ACKNOWLEDGEMENT 1 - OWNER

STATE OF FLORIDA, COUNTY OF COLUMBIA
The Dedication hereon was acknowledged before me this ______ day of __________, 19__, by Daniel Crapps, Trustee of Northwest Quadrant Land Trust, with his seal affixed hereto

SIGNED ______________
NOTARY PUBLIC, State of Florida at Large
My Commission Expires ______________

ACKNOWLEDGEMENT 2 - FIRST MORTGAGEE

STATE OF FLORIDA, COUNTY OF ______________
The Dedication hereon was acknowledged before me this ______ day of __________, 19____ by Charles A. and Harvey D. Devane, as first mortgagees, with their seals affixed hereto

SIGNED ______________
NOTARY PUBLIC, State of Florida at Large
My Commission Expires ______________

ACKNOWLEDGEMENT 3 - SECOND MORTGAGEE

STATE OF FLORIDA, COUNTY OF MARION
The Dedication hereon was acknowledged before me this ______ day of __________, 19____ by Thomas F. Dewey, Vice-President of Mid-State Federal Savings and Loan Association, as second mortgagee, with his seal affixed hereto

SIGNED ______________
NOTARY PUBLIC, State of Florida at Large
My Commission Expires ______________

COUNTY CLERK'S CERTIFICATE

THIS PLAT having been approved by the City Council of the City of Lake City, Florida is accepted for filing this ______ day of ______, 19__
Plat Book No. ______, Page No. ______

SIGNED ______________
Clerk of Circuit Court,
Columbia County, Florida

SHEET 1 OF 1

CAD FILE GATE-F
W.O. No. 87-491

Donald F. Lee and Associates, Inc.
LAKE CITY, FLORIDA

Columbia County Property Appraiser

Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 34-3S-16-02463-147 (10251) | VACANT COMMERCIAL (1000) | 1.63 AC

LOTS 47 & 48 FLORIDA GATEWAY CENTER NORTH S/D.

Owner: **CRAPPS DANIEL AS TRUSTEE**
NORTHWEST QUADRANT LAND TRUST
2806 W US 90 STE 101
LAKE CITY, FL 32055

Site:

Sales Info: N O N E

2021 Working Values

Mkt Lnd	$52,885	Appraised	$52,885
Ag Lnd	$0	Assessed	$52,885
Bldg	$0	Exempt	$0
XFOB	$0		county:$52,885
Just	$52,885	Total Taxable	city:$52,885
			other:$0
			school:$52,885

NOTES:

Columbia County, FL

Concurrency Impact Analysis
34-3S-16-02463-147

This proposed development will not have a negative impact on public facilities. The property is already zoned Commercial General which would allow for multiple businesses that would generate substantially more motor vehicle trips per day than the allowed 8 dwelling units (du) per acre multi-family complex on 1.63 acres (13 du max). As part of the commercial development, the subdivision is connected to the City of Lake City water system and sanitary sewer system. The solid waste impact for multiple businesses versus approximately 13du should not be substantially different, and/ may or be less, depending upon the type of commercial businesses allowed in the commercial general designation. Due to the size of the project, the impact on the public school system is minimal.

CONCURRENCY WORKSHEET

Northwest Quadrant Land Trust

3/22/2022

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Total Dwelling units*	Total ADT	Total PM Peak
230	Multi-Family Home	5.81	0.52	13.00	76.00	7.00

*8 Dwelling units per acre (i.e. 1.63 x 8)

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Multi-Family Home	300.00	13.00	3900.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Multi-Family Home	300.00	13.00	3900.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Dwelling Units*	Total (Lbs Per Day)
Multi-Family Home	10.00	13.00	130.00

*0.73 tons per person per year x 2.5 persons per dwelling unit= 10 lbs per dwelling unit per day

Comprehensive Plan Consistency Analysis
34-3S-16-02463-147

The following analysis identifies how this application is consistent with the County's Comprehensive Plan. Language from the comprehensive plan is provided in normal font, and the consistency statements are provided in bold and italics font.

Proposed Site Plan
The property is 1.63 acres and is located along NW Hall of Fame Drive and NW Huntsboro Street in Columbia County. The proposed development is to be rezoned from Commercial General to Residential- Multi-Family.
(34-3S-16-02463-147)

1.An Analysis of the Requirements of Section 16.2 of the Land Development Regulations:
(a.) Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.

The rezoning would have no adverse effect on the comprehensive plan. The surrounding areas have the same residential zoning.

(b.) The existing land use pattern.

The existing land use pattern is Commercial General.

(c.) Possible creation of an isolated district unrelated to adjacent and nearby districts.

There is no possible creation of an isolated district as the property surrounding the subject property is zoned Residential Multi-Family.

(d.) The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.

There is no expected significant change in the population density pattern

(e.) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

The existing district boundaries are consistent with the surrounding property and the existing conditions on the subject property.

(f.) Whether changed or changing conditions make the passage of the proposed amendment necessary.

The proposed future use of the property will be Residential Multi-Family.

(g.) Whether the proposed change will adversely influence living conditions in the neighborhood.

There is no negative influence to the living conditions expected.

(h.) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

No expected significant increase in traffic.

(i.) Whether the proposed change will create a drainage problem.

All excessive runoff created onsite with development will be supported by a proposed stormwater management facility.

(j.) Whether the proposed change will seriously reduce light and air to adjacent areas.

Any proposed development on the site will have no effect on lighting and/or air to the adjacent areas.

(k.) Whether the proposed change will adversely affect property values in the adjacent area.

There is no foreseen affects to property values in the area.

(l.) Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.

There is no foreseen reason why the proposed use would have any effect on the development of the adjacent properties.

(m.) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.

The proposed rezoning is consistent with the current zoning in the area and the current characteristics of the NW Hall of Fame Drive and NW Huntsboro Street corridor.

(n.) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

The current zoning does not allow for residential use.

(o.) Whether the change suggested is out of scale with the needs of the neighborhood or the county.

The rezoning is in line with the current conditions surrounding the subject property and the NW Hall of Fame Drive and NW Huntsboro Street corridor.

(p.) Whether it is impossible to find other adequate sites in the county for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:

(i.) The need and justification for the change.

Along that section of NW Hall of Fame Drive and NW Huntsboro Street, there is many residential multi-family homes. The subject property is residential site and the proposed construction will be similar to what is already constructed within the area.

(ii.) The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the county's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the county's comprehensive plan.

Rezoning the subject property to Residential Multi-family is consistent with the surrounding zoning and the current makeup of the NW Hall of Fame DR and NW Huntboro corridor. It is also consistent with the current Comprehensive Land Use.

Parcel #34-3S-16-02463-147

Lots 47 and 48 – Florida Gateway Center North S/D

SAP:dhb
3-86-1780
12/2/86

BK 0609 PG 0074
OFFICIAL RECORDS

WARRANTY DEED

THIS WARRANTY DEED made this 8th day of December, 1986, CHARLES A. DeVANE and HARVEY D. DeVANE, both of whom are married persons not residing on the property hereafter described (herein "Grantor"), to DANIEL CRAPPS, as Trustee, under Trust Agreement dated November 25, 1986, and known as "Northwest Quadrant Land Trust" whose post office address is Route 13, Box 1166, Lake City, Florida 32055 (herein "Grantee").

W I T N E S S E T H:

That Grantor, for and in consideration of the sum of TEN AND NO/100 ($10.00) DOLLARS and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys and confirms unto Grantee, all that certain land situate in Columbia County, Florida, viz:

(See Schedule A attached hereto and by reference made a part hereof)

(herein "the property")

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple upon the trust and for the uses and purposes herein, and in said trust agreement set forth.

This deed is given and accepted in accordance with Section 689.071, Florida Statutes, and full power and authority is granted by this deed to Grantee, and his successors as trustee to protect, conserve, sell, lease, encumber and otherwise manage and dispose of the property or any part of it, and in addition thereto (and not in limitation thereof) Grantee, as Trustee, is hereby granted full power and authority to subdivide, manage and dispose of the property or any part thereof; to dedicate parks, streets, highways or alleys, and to vacate any subdivision or

This Instrument Prepared By:
S. AUSTIN PEELE
DARBY, PEELE, BOWDOIN, MANASCO & PAYNE
Attorneys at Law
327 North Hernando Street
Lake City, Florida 32055

DOCUMENTARY STAMP 2,384.00
INTANGIBLE TAX
MARY B. CHILDS, CLERK OF COURTS, COLUMBIA COUNTY
BY _____ D.C.

FILED AND RECORDED IN PUBLIC RECORDS OF COLUMBIA COUNTY
1986 DEC -8 PM 3:48
MARY B. CHILDS
CLERK OF COURTS
COLUMBIA COUNTY, FLORIDA

part thereof, and to resubdivide the property as often as desired; to contract to sell, grant options to purchase; to sell on any terms; to convey either with or without consideration; to convey said property and any part thereof to a successor or successors in trust and to grant to such successor or successors in trust all of the title, estate, powers and authorities vested in Grantee as trustee; to donate, dedicate, mortgage, pledge or otherwise encumber the property or any part therof; to lease the property or any part thereof from time to time, and upon terms and for periods of time as Trustee may determine and to renew and extend such leases upon any terms and for any such periods of time, and amend, change or modify the same; to partition or exchange the property or any part thereof for other real or personal property; to submit the property or any part thereof to condominium and execute such declarations of condominium or other documents necessary to do so; to grant easements or charges of any kind; to release, convey or assign any right, title or interest in and to the said easements appurtenant to the property or any part thereof, and to deal with the property and every part thereof in all of the ways, and for such other purposes and considerations as it would be lawful for any person owning the same to deal with the same, whether similar to or different from the ways above specified at any time and from time to time hereafter.

In no case shall any party dealing with Grantee in relation to the property or to whom the real property or any part of it shall be conveyed, contracted to be sold, leased or mortgaged by Grantee, be obliged to see to the application of any purchase money, rent or money borrowed or advanced on the premises, or be obliged to see that the terms of the trust have been complied with, or be obliged to inquire into the necessity or expediency of any act of Grantee, or be obliged or privileged to inquire into any of the terms of the Trust Agreement; and every deed, mortgage, lease or other instrument executed by Grantee in relation to the real estate shall be conclusive evidence in favor of

every person relying upon or claiming under any such conveyance, lease or other instrument: (a) that at the time of its delivery, the trust created by this deed and by the Trust Agreement was in full force and effect; (b) that the conveyance or other instrument was executed in accordance with the trusts, conditions and limitations contained in this deed and the Trust Agreement and is binding upon all beneficiaries under those instruments; (c) that Grantee was duly authorized and empowered to execute and deliver every such deed, lease, mortgage or other instrument; and (d) if the conveyance is made to a successor or successors in trust, that the successor or successors in trust have been appointed properly and vested fully with all the title, estate, rights, powers, duties and obligations of the predecessor in trust.

Any contract, obligation or indebtedness incurred or entered into by Grantee in connection with the above described real property may be entered into in his name, as trustee of an express trust, and not individually, and Grantee shall have no obligation whatsoever with respect to any such contract, obligation or indebtedness, except only as far as the trust property and funds in the actual possession of Grantee shall be applicable for its payment and discharge, and it shall be expressly understood that any representations, warranties, covenants, undertakings and agreements hereafter made on the part of Grantee while in form purporting to be representations, warranties, covenants and undertakings and agreements of Grantee are nevertheless made and intended not as personal representations, warranties, covenants and undertakings and agreements, or for the purpose or with the intention of binding Grantee personally, but are made and intended for the purpose of binding only the trust property specifically described herein; and that no personal liability or personal responsibility is assumed by, nor shall at any time be asserted or enforceable against Grantee, individually or personally, on account of any instrument executed by or account of

any representation, warranty, covenant, undertaking or agreement of Grantee as trustee, either expressly or implied, all such personal liability, if any, being expressly waived and released, and all persons and corporations whomsoever shall be charged with notice of these conditions from the date of the filing for record of this deed; provided, however, that Grantee acknowledges by the acceptance of this deed, that Grantee has simultaneously herewith executed and delivered to Grantor a promissory note and purchase money mortgage securing the same, which by the terms thereof impose upon Grantee personal liability in accordance with the respective terms and tenor thereof, and no part, provision or portion of this paragraph shall be construed to in any way relieve Grantee from such personal liability as may be otherwise imposed under the terms of said note and purchase money mortgage.

The interest of each beneficiary under this deed and under the Trust Agreement referred to herein, and of all persons claiming under them, or any of them, shall be only in the earnings, avails and proceeds arising from the sale or other disposition of the real property, and such interest is declared to be personal property, and no beneficiary shall have any title or interest, legal or equitable, in or to the real property as such, but only an interest in the earnings, avails and proceeds therefrom.

AND Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that Grantor has good right and lawful authority to sell and convey said land; that Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 1986.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

Charles A. DeVane (SEAL)
CHARLES A. DeVANE

Witnesses

(SEAL)
HARVEY D. DeVANE

STATE OF FLORIDA

COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 8th day of December, 1986, by CHARLES A. DeVANE and HARVEY D. DeVANE, both of whom are married persons not residing on the property described herein.

Marbeth Ainsworth
Notary Public, State of Florida

(NOTARIAL SEAL)

My commission expires:

Notary Public, State of Florida at Large
My Commission Expires August 12, 1990
Bonded thru Huckleberry, Sibley &
Harvey Insurance and Bonds, Inc.

BK 0609 PG 0078
OFFICIAL RECORDS

SCHEDULE A

Columbia County, Florida

PARCEL 1

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: COMMENCE at the Northeast corner of said Section 34 and run N89°30'43"W along the North line of said Section 34 a distance of 1074.95 feet to a point on the Westerly Right-of-Way line of Interstate Highway No. 75 (a Limited Access Highway) and the POINT OF BEGINNING; thence S23°13'24"E along said Westerly Right-of-Way line 2062.22 feet to a point on the East line of said Section 34 as established by B.G. Moore, PLS No. 439; thence S08°00'45"W along said East line 986.55 feet; thence N82°00'00"W 550.22 feet to a point on the Westerly Right-of-Way line of DeVane Drive; thence S08°00'00"W along said Westerly Right-of-Way line 250.00 feet; thence N82°00'00"W 760.00 feet; thence N83°20'08"W 1367.75 feet to a point on the Easterly Right-of-Way line of Lake City Avenue; thence N07°19'27"E along said Easterly Right-of-Way line 150.00 feet to the Southwest corner of GATORWOOD, a Subdivision as recorded in Plat Book No. 5, Page No. 14 of the Public Records of Columbia County, Florida, said point lying on the South line of the NE 1/4 of said Section 34; thence S89°14'13"E along the South line of said GATORWOOD 219.95 feet to the Southeast corner of Lot No. 19, Block A of said GATORWOOD; thence N07°19'27"E along the East line of said GATORWOOD 332.11 feet to the Northeast corner of Lot No. 17, Block A of said GATORWOOD; thence S89°13'29"E along the South line of said GATORWOOD 586.62 feet to the Southeast corner of said GATORWOOD; thence N07°19'39"E along the East line of said GATORWOOD 1000.77 feet to the Northeast corner of said GATORWOOD, said point being on the South line of the N 1/2 of the NE 1/4 of said Section 34, being also the Southerly Right-of-Way line of Hill Circle; thence S89°12'49"E along said South line of the N 1/2 of the NE 1/4 a distance of 555.82 feet to the Southeast corner of WEST LAKE CITY HILLS, a Subdivision as recorded in Plat Book No. 3, Page No. 89 of the public records of Columbia County, Florida; thence N08°10'10"E along the Easterly Right-of-Way line of said Hill Circle 1341.68 feet to a point on the North line of said Section 34; thence S89°30'43"E along said North line 272.81 feet to the POINT OF BEGINNING. Containing 95.36 acres, more or less.

ALSO

PARCEL 2

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G. Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a Chord Bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the

arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive and the POINT OF BEGINNING; thence N08°00'00"E along said Easterly Right-of-Way line 449.87 feet; thence S82°00'00"E 10.00 feet; thence S08°00'00"W parallel with the Easterly Right-of-Way line of said DeVane Drive 449.60 feet to a point on the Northerly Right-of-Way line of said U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 00°10'40", said curve also having a Chord Bearing of N83°32'30"W and a Chord Distance of 10.00 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line 10.00 feet to the POINT OF BEGINNING.

ALSO

PARCEL 3

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G. Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a Chord Bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive; thence N08°00'00"E along said Easterly Right-of-Way line 1090.07 feet; thence N82°00'00"W 760.00 feet; thence S08°00'00"W 956.27 feet to the POINT OF BEGINNING; thence S82°00'00"E 10.00 feet; thence S08°00'00"W 76.46 feet to a point on the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 7589.44 feet and a central angle of 00°04'35", said curve also having a Chord Bearing of N73°41'23"W and a Chord Distance of 10.11 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line 10.11 feet; thence N08°00'15"E 75.00 feet to the POINT OF BEGINNING.

TOGETHER WITH a non-exclusive, perpetual Easement 60.00 feet in width for the purposes of ingress and egress for all kinds of vehicular traffic and pedestrian traffic over, across and upon the lands hereinafter described as Parcel 4, and a perpetual, non-exclusive Easement 60.00 feet in width for underground transmission or service utility lines for gas, water, sewer, telephone, electricity or other lawful purposes in, over, across, upon and under said Parcel 4 described as follows:

PARCEL 4

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: An Easement 60.00 feet in width lying 60 feet to the left of the following described line:

COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G.

Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a chord bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive; thence N08°00'00"E along said Easterly Right-of-Way line 1150.05 feet; thence N82°00'00"W 60.00 feet to a point on the Westerly Right-of-Way line of said DeVane Drive and the POINT OF BEGINNING of said line; thence continue N82°00'00"W 760.00 feet; thence S08°00'00"W 1082.26 feet to a point on the Northerly Right-of-Way line of said U.S. Highway No. 90 (State Road No. 10) and the TERMINAL POINT of said line.

ALSO TOGETHER WITH a non-exclusive, perpetual Easement 60.00 feet in width for the purposes of ingress and egress for all kinds of vehicular traffic and pedestrian traffic over, across and upon the lands hereinafter described as Parcel 5, and a perpetual, non-exclusive Easement 60.00 feet in width for underground transmission or service utility lines for gas, water, sewer, telephone, electricity or other lawful purposes in, over, across, upon and under said Parcel 5 described as follows:

PARCEL 5

TOWNSHIP 3 SOUTH - RANGE 16 EAST

Section 34: An Easement 60.00 feet in width lying 60 feet to the left of the following described line:

COMMENCE at the point of intersection of the East line of said Section 34 as established by B.G. Moore, PLS No. 439, and the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10), said point being on the arc of a curve concave to the North having a radius of 3224.04 feet and a central angle of 08°45'41", said curve also having a Chord Bearing of N87°50'01"W and a Chord Distance of 492.53 feet; thence Westerly along the arc of said curve, being also said Northerly Right-of-Way line of U.S. Highway No. 90 a distance of 493.01 feet to its intersection with the Easterly Right-of-Way line of DeVane Drive; thence N08°00'00"E along said Easterly Right-of-Way line 1150.05 feet; thence N82°00'00"W 820.00 feet to the POINT OF BEGINNING of said line; thence N83°20'08"W 1367.75 feet to a point on the Easterly Right-of-Way line of Lake City Avenue and the TERMINAL POINT of said line, said point lying S07°19'27"W 150.00 feet from the Southwest corner of GATORWOOD, a Subdivision as recorded in Plat Book No. 5, Page No. 14 of the Public Records of Columbia County, Florida.

SUBJECT TO:

(a) Easement dated November 9, 1926, recorded in Deed Book 18, page 374 wherein C. C. Parker and Ida J. Parker granted an Easement to Florida Power & Light Company.
(b) Easement dated November 9, 1926, recorded in Deed Book 18, page 386, wherein N. W. Parker and Nina A. Parker granted an Easement to Florida Power & Light Company.
(c) Agreement dated November 19, 1926, recorded in Deed Book 18, page 389, wherein Anna F. Caldwell and Herbert Caldwell granted an Easement to Florida Power & Light Company.
(d) Easement dated March 17, 1976, recorded in Official Records Book 361, pages 503-505, wherein Florida Interstate Developers, Inc., Charles A. DeVane and Harvey D. DeVane granted an Easement to Florida Power & Light Company.
(e) Existing road rights-of-way.
(f) Easements shown by the plat of said property prepared by

Donald F. Lee & Associates, Inc. dated October 24, 1986 and identified under Work Order 86-431 and File No. B-1-35.

Columbia County Tax Collector

generated on 4/5/2021 3:45:40 PM EDT

Tax Record

Last Update: 4/5/2021 3:44:39 PM EDT

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02463-147	REAL ESTATE	2020

Mailing Address
CRAPPS DANIEL AS TRUSTEE
NORTHWEST QUADRANT LAND TRUST
2806 W US 90 STE 101
LAKE CITY FL 32055

Property Address

GEO Number
343S16-02463-147

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail
NO EXEMPTIONS

Millage Code
001

Escrow Code

Legal Description (click for full description)
34-3S-16 1000/10001.63 Acres LOTS 47 & 48 FLORIDA GATEWAY CENTER NORTH S/D.

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	52,885	0	$52,885	$259.14
BOARD OF COUNTY COMMISSIONERS	8.0150	52,885	0	$52,885	$423.87
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	52,885	0	$52,885	$39.56
LOCAL	3.7810	52,885	0	$52,885	$199.96
CAPITAL OUTLAY	1.5000	52,885	0	$52,885	$79.33
SUWANNEE RIVER WATER MGT DIST	0.3696	52,885	0	$52,885	$19.55
LAKE SHORE HOSPITAL AUTHORITY	0.0001	52,885	0	$52,885	$0.01
Total Millage	19.3137	Total Taxes			$1,021.42

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	$50.40
	Total Assessments	$50.40
	Taxes & Assessments	$1,071.82

If Paid By	Amount Due
	$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
1/26/2021	PAYMENT	2703495.0004	2020	$1,050.38

Prior Years Payment History

Prior Year Taxes Due

NO DELINQUENT TAXES

Payment Transaction

ZF:

LAST NAME: Crapps

FIRST NAME: Daniel

STREET ADDRESS: 2806 W US Hwy 90 #101

PHONE NUMBER: 755-5110

For Growth Management USE ONLY

Project ID# CPA22-00 (Florida Gateway Center)

Parcel ID: 34-35-16-02463-147

PAYMENT AMOUNTS 750.00

CASH ☐

CHECK# ☑

CC ☐

City of Lake City
205 N. Marion Ave
Lake City, FL 32055

Date: 04/18/2022
Receipt: 2022-00046640
Description: Daniel Crapps CPA
22-00 Florida Gateway Center
Cashier: Danyell Courson
Received From:

ZF Daniel Crapps CPA 22-00 Florida Gateway Center	750.00
Receipt Total	750.00
Total Check	750.00
Total Remitted	750.00
Total Received	750.00

City of Lake City Utilities

File Attachments for Item:

iii. Comprehensive Plan Amendment - CPA-22-05 Schlimmer Housing (Agent: Isaac Schlimmer)

Zoning Change - Z-22-04 Schlimmer Housing (Agent: Isaac Schlimmer)

CITY OF LAKE CITY
Florida's Gateway Est. 1859

GROWTH MANAGEMENT
205 North Marion Ave.
Lake City, FL 32055
Telephone: (386) 719-5750
E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY
Application # CPA 22-00 05
Application Fee $ ~~[illegible]~~ 0
Receipt No. 52133
Filing Date 5/9/22
Completeness Date _____

COMPREHENSIVE PLAN AMENDMENT

Small Scale: $750.00 Large Scale: $1,500.00

A. PROJECT INFORMATION

1. Project Name: Schlimmer housing
2. Address of Subject Property: NW Early / NW Fowler
3. Parcel ID Number(s): 00-00-00-11695-080
4. Existing Future Land Use Map Designation: Residential Medium
5. Proposed Future Land Use Map Designation: RMF-1
6. Zoning Designation: RSF-1
7. Acreage: 1.71
8. Existing Use of Property: Vacant
9. Proposed use of Property: 6 Duplex Buildings

B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Isaac Schlimmer Title: Owner
   Company name (if applicable): _____
   Mailing Address: 187 SW Old Cypress Way
   City: Lake City State: Fl Zip: 32024
   Telephone: (386) 965-9411 Fax:(____) _____ Email: ischlimmer92@gmail.com
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): _____
   Mailing Address: _____
   City: _____ State: _____ Zip: _____
   Telephone:(____) _____ Fax:(____) _____ Email: _____
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved: N/A
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property? ☒Yes ☐No
   Future Land Use Map Amendment: ☐Yes_____ ☐No _____
   Future Land Use Map Amendment Application No. _____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ☐No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
   Variance: ☐Yes_____ ☐No_____
   Variance Application No. _____
   Special Exception: ☐Yes_____ ☐No_____
   Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

✓ 1. Boundary Sketch or Survey with bearings and dimensions.

✓ 2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).

✓ 3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.

✓ 4. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.

✓ 5. Legal Description with Tax Parcel Number (In Microsoft Word Format).

✓ 6. Proof of Ownership (i.e. deed).

N/A 7. Agent Authorization Form (signed and notarized).

✓ 8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
   a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = $750.00
   b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = $1,500.00 or actual city cost
   c. Text Amendment to the Comprehensive Plan = $750.00

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

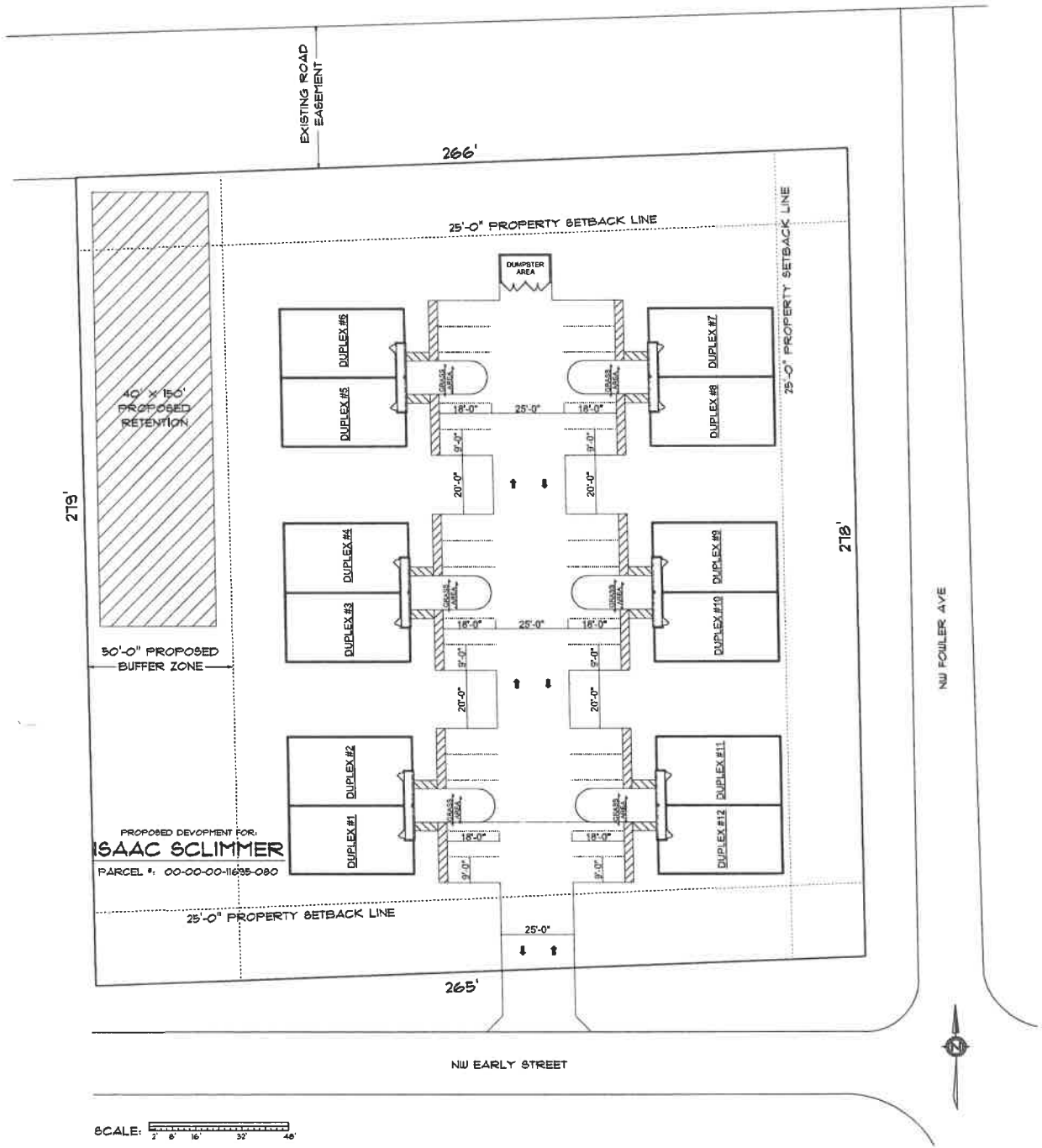
Isaac Schlimmer

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

5-8-22

Date


EXISTING ROAD EASEMENT
266'
25'-0" PROPERTY SETBACK LINE
25'-0" PROPERTY SETBACK LINE
DUMPSTER AREA
DUPLEX #6
DUPLEX #5
DUPLEX #7
DUPLEX #8
DUPLEX #4
DUPLEX #3
DUPLEX #9
DUPLEX #10
DUPLEX #2
DUPLEX #1
DUPLEX #11
DUPLEX #12
GRASS AREA
18'-0"
25'-0"
9'-0"
20'-0"
40' x 150' PROPOSED RETENTION
279'
278'
50'-0" PROPOSED BUFFER ZONE
PROPOSED DEVOPMENT FOR:
ISAAC SCLIMMER
PARCEL #: 00-00-00-116935-080
25'-0" PROPERTY SETBACK LINE
25'-0"
265'
NW FOULER AVE
NW EARLY STREET
SCALE: 2' 8' 16' 32' 48'

Columbia County Property Appraiser

Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 00-00-00-11695-080 (40236) | VACANT (0000) | 0.25 AC

NW DIV: ALL OF BLOCK 8, ALLINE THOMPSON S/D & E1/2 OF DYSON TERR VACATED BY CITY ORD 2012- 2021 LYING W OF LOTS 5 THRU 8 BLOCK 8. 982-1354,1357, WD 1

Owner: **SCHLIMMER ISAAC**
187 SW OLD CYPRESS WAY
LAKE CITY, FL 32024

Site:

Sales Info

9/28/2017	$100	V (U)
3/10/2016	$100	V (U)
3/14/2013	$100	V (U)

2022 Working Values

Mkt Lnd	$722	Appraised	$722
Ag Lnd	$0	Assessed	$722
Bldg	$0	Exempt	$0
XFOB	$0		county:$722
Just	$722	Total Taxable	city:$722
			other:$0
			school:$722

NOTES:

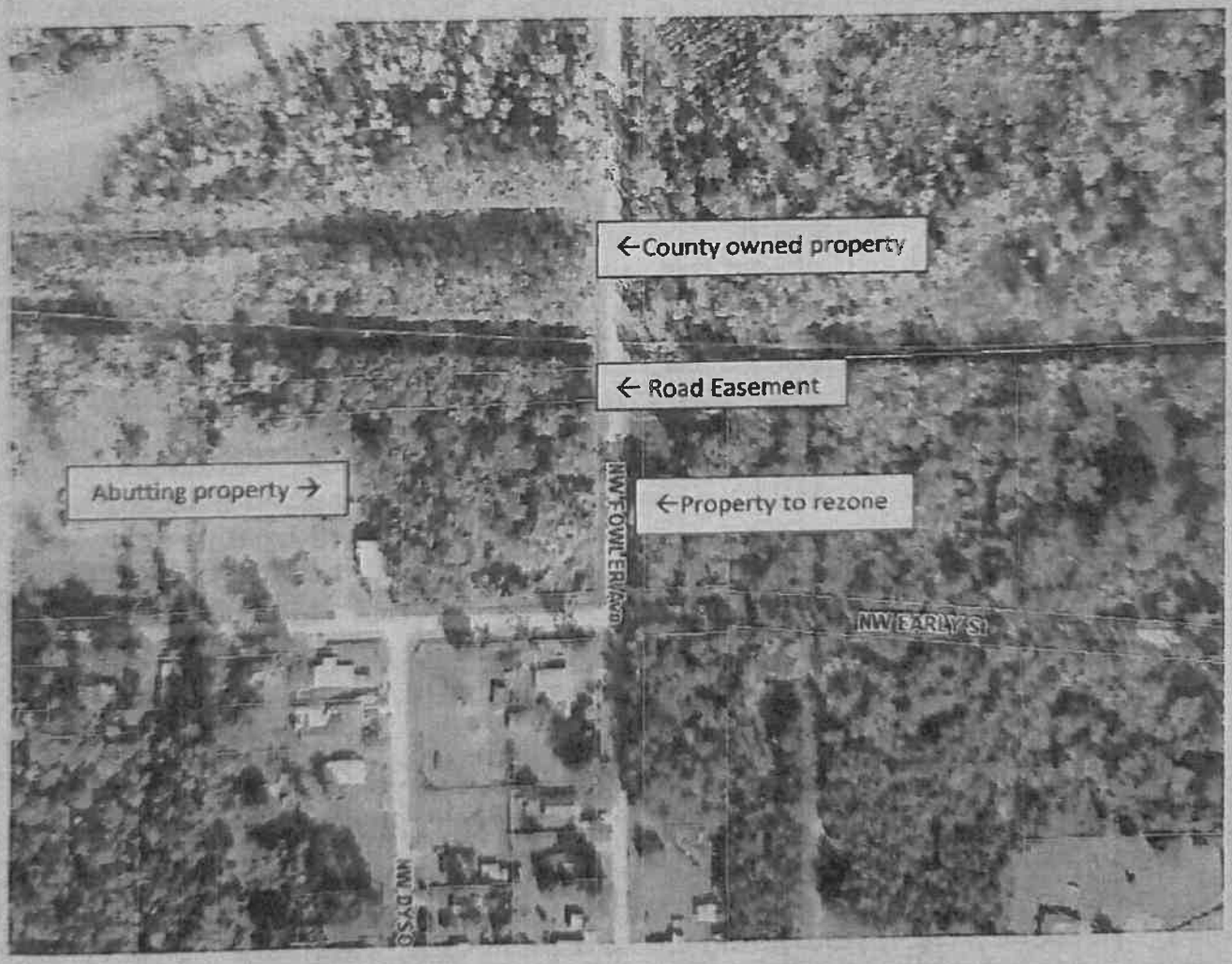
Columbia County, FL

We are proposing to rezone parcel 11695-080 from Residential Single Family to Residential Multi-Family.

The property is currently fully wood with no water sources such as ponds, creeks, etc.

The proposed plan for the property after getting rezoned will be to erect six duplex units (twelve dwelling units) at approximately 2,000 square feet per building and 1,000 square feet per dwelling unit as well as a parking lot with designated spots to each dwelling unit, a community trash receptacle and retention pond if needed.

We have inserted an aerial shot of the property below and within the folder you will find a detailed blueprint of the property and the proposed use of it. This blueprint is not in any way a final design, simply a rough draft to present our plan once it is rezoned.



CAROL CHADWICK, P.E.
Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

March 20, 2022

re: Schlimmer Housing Concurrency Impact Analysis

The site is currently vacant. Six duplexes with three bedrooms each will be constructed. The site will use public water and sewer systems.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 210
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Tampa Solid Waste Generation Rates

Summary of analyses:

- Trip generation: 115 ADT & 12 Peak PM trips
- Potable Water: 3600 gallons per day
- Potable Water: 3600 gallons per day
- Solid Waste: 19.80 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.03.20 11:35:49 -04'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL21237

REVISED CONCURRENCY WORKSHEET

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Dwelling Units	Total ADT	Total PM Peak
210	SingleFamily Homes	9.57	1.01	12.00	114.84	12.12

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
SingleFamily Homes	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
SingleFamily Homes	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Bedroom*	Households	Total (Tons Per Year)
SingleFamily Homes	0.55	36.00	19.80

*3 lbs/day x 365 days/year = 195 lbs/year = 0.55 tons per year

CAROL CHADWICK, P.E.
Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

March 20, 2022

re: Schlimmer Housing Comprehensive Plan Consistency Analysis

The Schlimmer Housing site is consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The city shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

  Consistency: The site is currently located in an area with residential zoning.

- Policy 1.1.1 The city shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the city shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

  Consistency: The subject property is located on the northwest corner of Fowler Avenue and Early Street. Fowler Avenue has direct access to NW Bascom Norris Drive. Early Street has direct access to Hwy. 41. Both routes travel through areas with very few homes.

- Policy 1.1.2 The city's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

  Consistency: There is a need for multi-family housing in the area. The site is currently used as residential in an area with many other residences.

- Policy 1.1.3 The city's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

  Consistency: The site is currently used as residential in an area with many other residences.

- Policy 1.1.4 The city shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

  Consistency: The proposed use of the subject property is consistent with other residential uses in the area and will not have any adverse environmental impacts on the existing land uses.

- Policy 1.1.5 The city shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

  Consistency: The site is currently used as residential in an area with many other residences.

- Policy 1.1.6 The city's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the city. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

  Consistency: The changes in zoning and FLU are compatible with other residential uses in the immediate area.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.03.20 11:35:34 -04'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL21237

Parcel number:
00-00-00-11695-080 (40236)

Description:

NW DIV: ALL OF BLOCK 8, ALLINE THOMPSON S/D & E1/2 OF DYSON TERR VACATED BY CITY ORD 2012- 2021 LYING W OF LOTS 5 THRU 8 BLOCK 8. 982-1354,1357, WD 1067-1877, WD 1151-376, QC 1251-2708, WD 1311-1996, WD 1348-1842,

This Instrument Prepared by & return to:
Name: *ISAAC SCHLIMMER*
Address: *229 SW ERIN GLEN*
LAKE CITY, FLORIDA 32024

Inst:201612004856 Date:3/22/2016 Time:3:02 PM
Doc Stamp-Deed 0.70
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1311 P:1996

Parcel I.D. #: *11695-080*

SPACE ABOVE THIS LINE FOR PROCESSING DATA | *SPACE ABOVE THIS LINE FOR RECORDING DATA*

THIS WARRANTY DEED *Made the 10th day of March, A.D. 2016, by* ***DAVID SCHLIMMER, CONVEYING NON-HOMESTEAD PROPERTY,*** *hereinafter called the grantor, to* ***ISAAC SCHLIMMER,*** *whose post office address is* ***229 SW ERIN GLEN, LAKE CITY, FL 32024,*** *hereinafter called the grantee:*

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: *That the grantor, for and in consideration of the sum of $10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in* ***Columbia County, State of Florida,*** *viz:*

ALL OF LOT 8, ALLINE THOMPSON SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 14, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

ALSO:

THE EAST ½ OF THAT PORTION OF NW DYSON TERRACE (FORMERLY DYSON STREET) VACATED BY CITY ORDINANCE NO. 2012-2021 LYING WEST OF LOTS 5, 6, 7, AND 8 OF BLOCK 8 OF ALLINE THOMPSON SUBDIVISION, ADDITION #1, A SUBDIVISION ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 25, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SUBJECT TO RESERVATION OF EASEMENT BY THE CITY OF LAKE CITY AS RECORDED IN OFFICIAL RECORDS BOOK 1251, PAGE 2708, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

Together *with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.*

To Have and to Hold *the same in fee simple forever.*

And the grantor hereby covenants with said grantee that he is lawfully seized of said land in fee simple; that he has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2016.

In Witness Whereof, *the said grantor has signed and sealed these presents, the day and year first above written.*

Signed, sealed and delivered in the presence of:

Witness Signature
Rebecca Kampmeyer
Printed Name

Witness Signature
Charles Fiorenza
Printed Name

David Schlimmer *L.S.*
DAVID SCHLIMMER
Address:
372 SW ERIN GLEN, LAKE CITY, FL 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10th day of March, 2016, by ***DAVID SCHLIMMER,*** *who is known to me or who has produced _____ as identification.*

Notary Public
My commission expires 12/10/2019

David C. Kampmeyer
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF913621
Expires 12/10/2019

Doc 704

PREPARED BY & RETURN TO:

Name: Marla Landin, an employee of Integrity Title Services, LLC
Address: 343 NW Cole Terrace, #101
Lake City, FL 32055

File No. 17-09012

Parcel No.: R11695-080

Inst: 201712021585 Date: 11/27/2017 Time: 11:30AM
Page 1 of 1 B: 1348 P: 1842, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy ClerkDoc Stamp-Deed: 0.70

SPACE ABOVE THIS LINE FOR PROCESSING DATA | *SPACE ABOVE THIS LINE FOR RECORDING DATA*

This **CORRECTIVE WARRANTY DEED**, made the 28th day of September, 2017, by **DAVID SCHLIMMER, CONVEYING NON-HOMESTEAD PROPERTY**, hereinafter called the Grantor, to **ISAAC SCHIMMER**, whose post office address is 229 SW Erin Glen, Lake City, FL 32024, hereinafter called the Grantee:

WITNESSETH: That the Grantor, for and in consideration of the sum of $10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate in County of COLUMBIA, State of Florida, viz:

All Of Block 8, ALLINE THOMPSON SUBDIVISION ADDITION NO. 1, According To The Plat Thereof, As Recorded In Plat Book 3, Page 25, Of The Public Records Of Columbia County, Florida.

Also:

The East 1/2 Of That Portion Of NW Dyson Terrace (Formerly Dyson Street) Vacated By City Ordinance No. 2012-2021 Lying West Of Lots 5, 6, 7, And 8 Of Block 8 Of ALLINE THOMPSON SUBDIVISION ADDITION NO. 1, A Subdivision According To Plat Thereof Recorded In Plat Book 3, Page 25, Public Records Of Columbia County, Florida.

THIS DEED IS GIVEN TO CORRECT THE LEGAL DESCRIPTION IN THAT CERTAIN WARRANTY DEED RECORDED March 22, 2016, IN O.R. BOOK 1311, PAGE 1996, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

And the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever. Grantor further warrants that said land is free of all encumbrances, except as noted herein and except taxes accruing subsequent to December 31, 2017.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Witness Signature
Printed Name: Tyler Rogers

Witness Signature
Printed Name: Marla M. Landin

David Schlimmer L.S.
DAVID SCHLIMMER
Address: 372 SW ERIN GLEN, LAKE CITY, FLORIDA 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 28th day of September, 2017, by **DAVID SCHLIMMER**, who is personally known to me or who has produced Driver's License as identification.

Signature of Notary
Printed Name: Marla M. Landin
My commission expires:

Notary Public State of Florida
Marla M Landin
My Commission FF 160171
Expires 09/16/2018

Columbia County Tax Collector

generated on 5/8/2022 3:29:02 PM EDT

Tax Record

Last Update: 5/8/2022 3:29:02 PM ET

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R11695-080	REAL ESTATE	2021

Payment History

Year	Folio	Date Paid	Temp Receipt	Amount Paid
2020	2776	5/8/2022	t 15234533	$129.92
	Paid By	ISAAC SCHLIMMER		

Year	Folio	Date Paid	Temp Receipt	Amount Paid
2019	2775	5/8/2022	t 15234533	$150.56
	Paid By	ISAAC SCHLIMMER		

Payment History

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2021	35824	11/16/2021	1800226.0001	$64.09	$61.53
	Owner Name	SCHLIMMER ISAAC			
	Paid By	SCHLIMMER ISAAC/IVR			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2018	2790	2/18/2019	9922168.0001	$65.36	$64.71
	Owner Name	SCHLIMMER ISAAC			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2017	2799	8/4/2018	9923487.0001	$65.45	$110.49
	Owner Name	SCHLIMMER ISAAC			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2016	2814	3/30/2017	9922294.0001	$61.32	$61.32
	Owner Name	SCHLIMMER ISAAC			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2015	2815	4/13/2016	9922205.0001	$60.95	$62.78
	Owner Name	SCHLIMMER DAVID			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2014	2813	4/29/2015	9921609.0001	$59.15	$60.92
	Owner Name	SCHLIMMER DAVID			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2013	2815	3/24/2014	9921059.0001	$51.61	$51.61
	Owner Name	SCHLIMMER DAVID			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2012	2811	4/29/2013	3210927.0001	$51.74	$53.29
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER DAVID			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2011	2822	4/30/2012	3211324.0001	$49.22	$50.70
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER ISAAC			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2010	133545	3/30/2011	2208286.0001	$49.48	$49.48
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER DAVID			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2009	133549	1/14/2010	3302690.0001	$50.14	$49.14
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER DAVID & AUDREY			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2008	133308	4/30/2009	2210083.0001	$122.13	$125.79
	Owner Name	SCHLIMMER DAVID			

CITY OF LAKE CITY
Florida's Gateway Est. 1859

GROWTH MANAGEMENT
205 North Marion Ave
Lake City, Florida 32055
Telephone (386) 719-5750
growthmanagement@lcfla.com

FOR PLANNING USE ONLY
Application # Z 22-00 04
Application Fee $ 750.00
Receipt No. 52133
Filing Date 5/2/22
Completeness Date _____

Less Than or Equal to 10 Acres: $750.00 **Greater Than 10 Acres: $1,000.00 or actual cost**

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: Schlimmer housing
2. Address of Subject Property: NW Early / NW Fowler
3. Parcel ID Number(s): 00-00-00-11695-080
4. Future Land Use Map Designation: Residential Medium
5. Existing Zoning Designation: [redacted] RSF-1
6. Proposed Zoning Designation: RMF-1
7. Acreage: 1.71
8. Existing Use of Property: Vacant
9. Proposed use of Property: 6 Duplex Buildings

B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Isaac Schlimmer Title: Owner
   Company name (if applicable): _____
   Mailing Address: 187 SW Old Cypress Way
   City: Lake City State: Fl Zip: 32024
   Telephone: (386) 965-9411 Fax: ( ) _____ Email: ischlimmer92@gmail.com
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): _____
   Mailing Address: _____
   City: _____ State: _____ Zip: _____
   Telephone: ( ) _____ Fax: ( ) _____ Email: _____
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved: N/A
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property: ☒Yes ☐No
   Future Land Use Map Amendment: ☐Yes_____ ☑No _____
   Future Land Use Map Amendment Application No. CPA_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ☑No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
   Variance: ☐Yes_____ ☑No_____
   Variance Application No. _____
   Special Exception: ☐Yes_____ ☑No_____
   Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

✓ 1. Boundary Sketch or Survey with bearings and dimensions.

✓ 2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).

✓ 3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.

✓ 4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:

   a. Whether the proposed change would be in conformance with the city's comprehensive plan or would have an adverse effect on the city's comprehensive plan.
   b. The existing land use pattern.
   c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
   d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
   e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
   f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
   g. Whether the proposed change will adversely influence living conditions in the neighborhood.
   h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
   i. Whether the proposed change will create a drainage problem.
   j. Whether the proposed change will seriously reduce light and air to adjacent areas.

k. Whether the proposed change will adversely affect property values in the adjacent area.
l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.

p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:

   i. The need and justification for the change.
   ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

✓ 5. Legal Description with Tax Parcel Number (In Microsoft Word Format).

✓ 6. Proof of Ownership (i.e. deed).

N/A 7. Agent Authorization Form (signed and notarized).

✓ 8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

✓ 9. Fee. The application fee for a Site-Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Isaac Schlimmer

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

5-8-22

Date

STATE OF FLORIDA
COUNTY OF _____

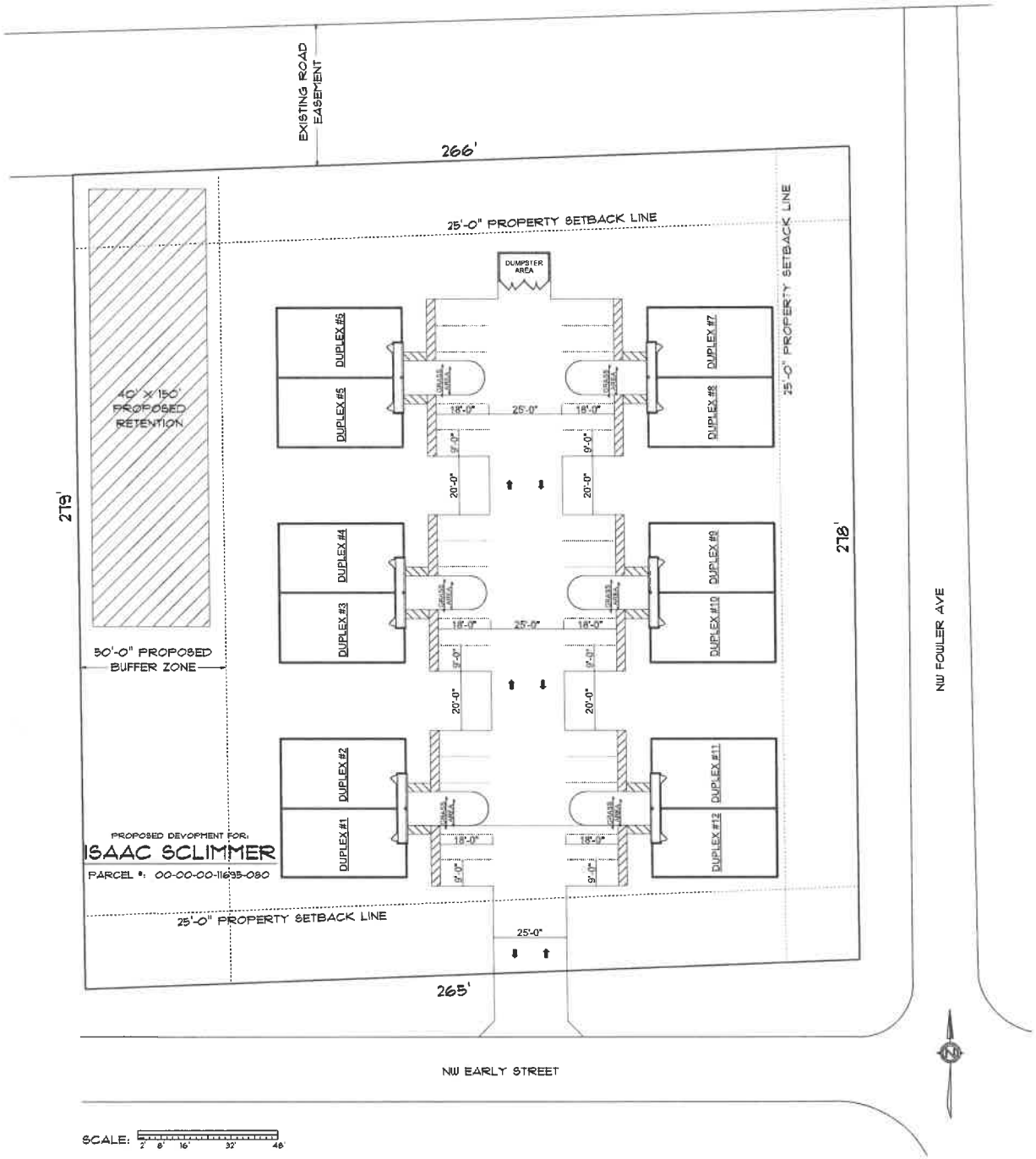
The foregoing instrument was acknowledged before me this _____day of _____, 20___, by (name of person acknowledging).

Signature of Notary

(NOTARY SEAL or STAMP)

Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced


EXISTING ROAD EASEMENT
266'
25'-0" PROPERTY SETBACK LINE
DUMPSTER AREA
DUPLEX #6
DUPLEX #5
DUPLEX #7
DUPLEX #8
DUPLEX #4
DUPLEX #3
DUPLEX #9
DUPLEX #10
DUPLEX #2
DUPLEX #1
DUPLEX #11
DUPLEX #12
18'-0"
25'-0"
9'-0"
20'-0"
40' X 150' PROPOSED RETENTION
279'
278'
30'-0" PROPOSED BUFFER ZONE
PROPOSED DEVOPMENT FOR:
ISAAC SCLIMMER
PARCEL #: 00-00-00-11635-050
265'
NW FOWLER AVE
NW EARLY STREET
SCALE: 2' 8' 16' 32' 48'

Columbia County Property Appraiser

Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 00-00-00-11695-080 (40236) | VACANT (0000) | 0.25 AC

NW DIV: ALL OF BLOCK 8, ALLINE THOMPSON S/D & E1/2 OF DYSON TERR VACATED BY CITY ORD 2012- 2021 LYING W OF LOTS 5 THRU 8 BLOCK 8. 982-1354,1357, WD 1

Owner: SCHLIMMER ISAAC
187 SW OLD CYPRESS WAY
LAKE CITY, FL 32024

Site:

Sales Info

6/28/2017	$100	V (U)
3/10/2016	$100	V (U)
3/14/2013	$100	V (U)

2022 Working Values

Mkt Lnd	$722	Appraised	$722
Ag Lnd	$0	Assessed	$722
Bldg	$0	Exempt	$0
XFOB	$0		county:$722
Just	$722	Total Taxable	city:$722
			other:$0
			school:$722

NOTES:

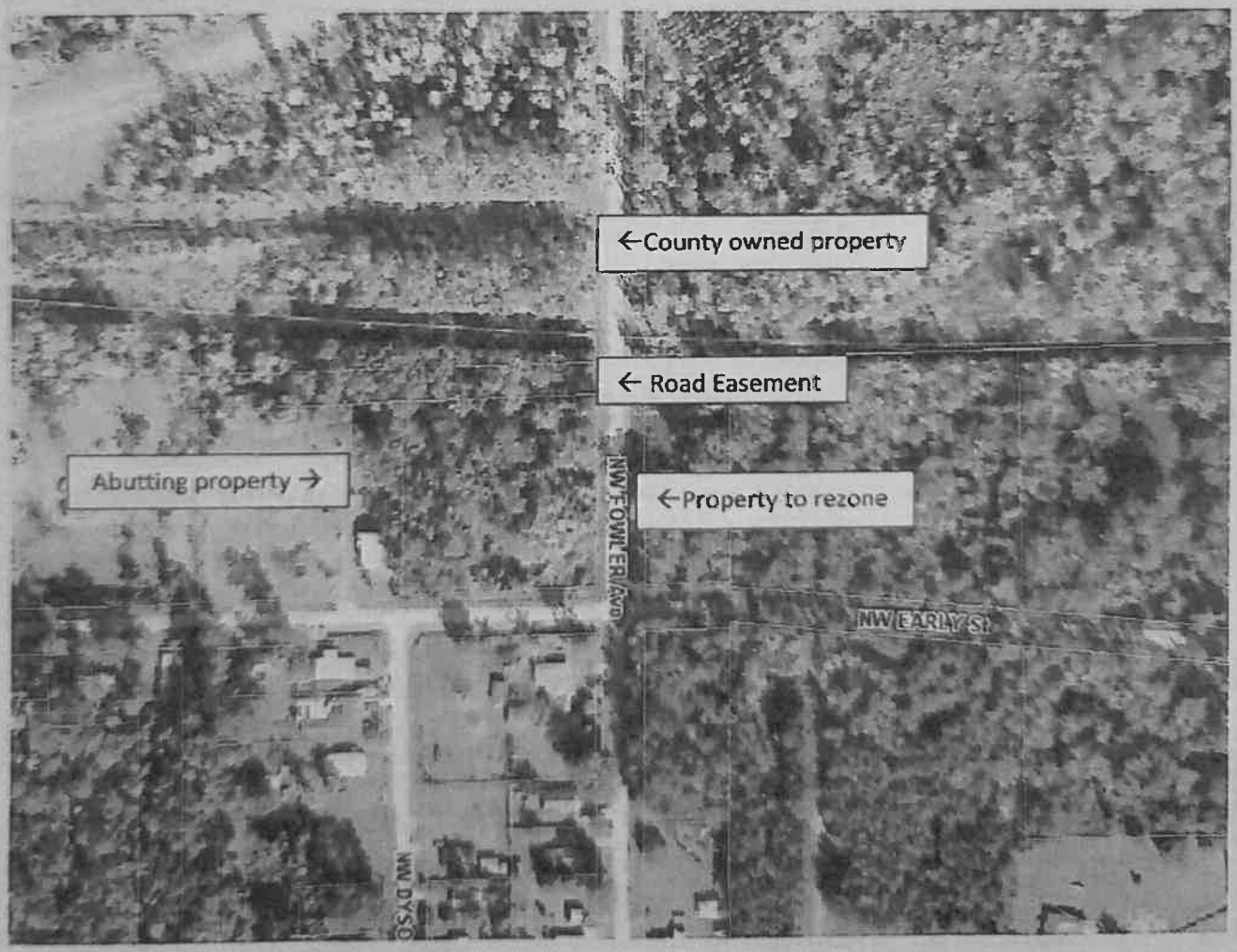
Columbia County, FL

We are proposing to rezone parcel 11695-080 from Residential Single Family to Residential Multi-Family.

The property is currently fully wood with no water sources such as ponds, creeks, etc.

The proposed plan for the property after getting rezoned will be to erect six duplex units (twelve dwelling units) at approximately 2,000 square feet per building and 1,000 square feet per dwelling unit as well as a parking lot with designated spots to each dwelling unit, a community trash receptacle and retention pond if needed.

We have inserted an aerial shot of the property below and within the folder you will find a detailed blueprint of the property and the proposed use of it. This blueprint is not in any way a final design, simply a rough draft to present our plan once it is rezoned.



CAROL CHADWICK, P.E.
Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

March 20, 2022

re: Schlimmer Housing Concurrency Impact Analysis

The site is currently vacant. Six duplexes with three bedrooms each will be constructed. The site will use public water and sewer systems.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 210
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Tampa Solid Waste Generation Rates

Summary of analyses:

- Trip generation: 115 ADT & 12 Peak PM trips
- Potable Water: 3600 gallons per day
- Potable Water: 3600 gallons per day
- Solid Waste: 19.80 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.03.20 11:35:49 -04'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL21237

REVISED CONCURRENCY WORKSHEET

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Dwelling Units	Total ADT	Total PM Peak
210	SingleFamily Homes	9.57	1.01	12.00	114.84	12.12

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
SingleFamily Homes	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
SingleFamily Homes	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Bedroom*	Households	Total (Tons Per Year)
SingleFamily Homes	0.55	36.00	19.80

*3 lbs/day x 365 days/year = 195 lbs/year = 0.55 tons per year

CAROL CHADWICK, P.E.
Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

March 20, 2022

re: Schlimmer Housing Analysis of the Requirements of Section 16.2 of the Land Development Regulations

The Schlimmer Housing proposed zoning change is consistent with Lake City's requirements of Article 12 of the Land Development Regulations.

a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan. The property has direct access to NW Bascom Norris Drive.

b) The existing land use pattern.

Analysis: The subject property has is located in an area that is residential.

c) Possible creation of an isolated district unrelated to adjacent and nearby districts.

Analysis: The subject property has is located in an area that is residential.

d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.

Analysis: The proposed zoning change will not overtax the load on public utilities, schools or streets.

e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

Analysis: The property is currently zoned RSF-1. The zoning change will allow the construction of 12 units in a multi-family residential development (six duplexes).

f) Whether changed or changing conditions make the passage of the proposed amendment necessary.

Analysis: The property is currently zoned RSF-1. The zoning change will allow the construction of 12 units in a multi-family residential development (six duplexes).

g) Whether the proposed change will adversely influence living conditions in the neighborhood.

Analysis: The subject property zoning change will not adversely affect living conditions in the area.

h) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

Analysis: The subject property has direct access to NW Bascom Norris Drive. The rezoning will result in a slight increase in traffic but no more than could be expected with a single family residential development.

i) Whether the proposed change create a drainage problem.

Analysis: No drainage problems will be created with the zoning change.

j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

Analysis: The site development will not reduction of light or air to adjacent areas.

k) Whether the proposed change will adversely affect the property values in the adjacent area.

Analysis: The zoning change will not adversely affect property values in the area.

l) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties.

m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

Analysis: The proposed change will not grant special privileges to the owner as it is located in a residential area.

n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

Analysis: There is a need for housing in the Lake City area. Duplexes offer an affordable option.

o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the City.

Analysis: There is a need for housing in the Lake City area. Duplexes offer an affordable option.

p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The Planning and Zoning Board shall consider and study:

1. The need and justification for the change.

11. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

Analysis: The owner wants to develop this site because he already has ownership.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.03.20 11:34:44 -04'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL21237

Parcel number:
00-00-00-11695-080 (40236)

Description:

NW DIV: ALL OF BLOCK 8, ALLINE THOMPSON S/D & E1/2 OF DYSON TERR VACATED BY CITY ORD 2012- 2021 LYING W OF LOTS 5 THRU 8 BLOCK 8. 982-1354,1357, WD 1067-1877, WD 1151-376, QC 1251-2708, WD 1311-1996, WD 1348-1842,

This Instrument Prepared by & return to:
Name: ***ISAAC SCHLIMMER***
Address: ***229 SW ERIN GLEN***
LAKE CITY, FLORIDA 32024

Parcel I.D. #: ***11695-080***

SPACE ABOVE THIS LINE FOR PROCESSING DATA

Inst:201612004856 Date:3/22/2016 Time:3:02 PM
Doc Stamp-Deed 0.70
DC,P.DeWitt Cason,Columbia County Page 1 of 1 B:1311 P:1996

SPACE ABOVE THIS LINE FOR RECORDING DATA

THIS WARRANTY DEED *Made the 10th day of March, A.D. 2016, by* ***DAVID SCHLIMMER, CONVEYING NON-HOMESTEAD PROPERTY,*** *hereinafter called the grantor, to* ***ISAAC SCHLIMMER,*** *whose post office address is* ***229 SW ERIN GLEN, LAKE CITY, FL 32024,*** *hereinafter called the grantee:*

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument, singular and plural, the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations, wherever the context so admits or requires.)

Witnesseth: *That the grantor, for and in consideration of the sum of $10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the grantee all that certain land situate in* ***Columbia County, State of Florida,*** *viz:*

ALL OF LOT 8, ALLINE THOMPSON SUBDIVISION, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 3, PAGE 14, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

ALSO:

THE EAST ½ OF THAT PORTION OF NW DYSON TERRACE (FORMERLY DYSON STREET) VACATED BY CITY ORDINANCE NO. 2012-2021 LYING WEST OF LOTS 5, 6, 7, AND 8 OF BLOCK 8 OF ALLINE THOMPSON SUBDIVISION, ADDITION #1, A SUBDIVISION ACCORDING TO PLAT THEREOF RECORDED IN PLAT BOOK 3, PAGE 25, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SUBJECT TO RESERVATION OF EASEMENT BY THE CITY OF LAKE CITY AS RECORDED IN OFFICIAL RECORDS BOOK 1251, PAGE 2708, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

Together *with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.*

To Have and to Hold *the same in fee simple forever.*

And *the grantor hereby covenants with said grantee that he is lawfully seized of said land in fee simple; that he has good right and lawful authority to sell and convey said land, and hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever, and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2016.*

In Witness Whereof, *the said grantor has signed and sealed these presents, the day and year first above written.*

Signed, sealed and delivered in the presence of:

Witness Signature
Rebecca Kampmeyer
Printed Name

Witness Signature
Charles Fiorenza
Printed Name

David Schlimmer *L.S.*
DAVID SCHLIMMER
Address:
372 SW ERIN GLEN, LAKE CITY, FL 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10th day of March, 2016, by ***DAVID SCHLIMMER,*** *who is known to me or who has produced _____ as identification.*

Notary Public
My commission expires 12/10/2019

David C. Kampmeyer
NOTARY PUBLIC
STATE OF FLORIDA
Comm# FF013621
Expires 12/10/2019

Doc 704

PREPARED BY & RETURN TO:

Name: Marla Landin, an employee of Integrity Title Services, LLC
Address: 343 NW Cole Terrace, #101
Lake City, FL 32055

File No. 17-09012

Parcel No.: R11695-080

Inst: 201712021585 Date: 11/27/2017 Time: 11:30AM
Page 1 of 1 B: 1348 P: 1842, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy ClerkDoc Stamp-Deed: 0.70

SPACE ABOVE THIS LINE FOR PROCESSING DATA | *SPACE ABOVE THIS LINE FOR RECORDING DATA*

This **CORRECTIVE WARRANTY DEED**, made the 28th day of September, 2017, by **DAVID SCHLIMMER, CONVEYING NON-HOMESTEAD PROPERTY**, hereinafter called the Grantor, to **ISAAC SCHIMMER**, whose post office address is 229 SW Erin Glen, Lake City, FL 32024, hereinafter called the Grantee:

WITNESSETH: That the Grantor, for and in consideration of the sum of $10.00 and other valuable consideration, receipt whereof is hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto the Grantee all that certain land situate in County of COLUMBIA, State of Florida, viz:

All Of Block 8, ALLINE THOMPSON SUBDIVISION ADDITION NO. 1, According To The Plat Thereof, As Recorded In Plat Book 3, Page 25, Of The Public Records Of Columbia County, Florida.

Also:

The East 1/2 Of That Portion Of NW Dyson Terrace (Formerly Dyson Street) Vacated By City Ordinance No. 2012-2021 Lying West Of Lots 5, 6, 7, And 8 Of Block 8 Of ALLINE THOMPSON SUBDIVISION ADDITION NO. 1, A Subdivision According To Plat Thereof Recorded In Plat Book 3, Page 25, Public Records Of Columbia County, Florida.

THIS DEED IS GIVEN TO CORRECT THE LEGAL DESCRIPTION IN THAT CERTAIN WARRANTY DEED RECORDED March 22, 2016, IN O.R. BOOK 1311, PAGE 1996, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

And the Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple, that the Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever. Grantor further warrants that said land is free of all encumbrances, except as noted herein and except taxes accruing subsequent to December 31, 2017.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents, the day and year first above written.

Signed, sealed and delivered in the presence of:

Witness Signature
Printed Name: Tyler Rogers

Witness Signature
Printed Name: Marla M. Landin

DAVID SCHLIMMER L.S.
Address: 372 SW ERIN GLEN, LAKE CITY, FLORIDA 32024

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 28th day of September, 2017, by **DAVID SCHLIMMER**, who is personally known to me or who has produced Driver's License as identification.

Signature of Notary
Printed Name: Marla M. Landin
My commission expires:

Notary Public State of Florida
Marla M Landin
My Commission FF 160171
Expires 09/16/2018

Columbia County Tax Collector

generated on 5/8/2022 3:29:02 PM ET

Tax Record

Last Update: 5/8/2022 3:29:02 PM ET

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R11695-080	REAL ESTATE	2021

Payment History

Year	Folio	Date Paid	Temp Receipt	Amount Paid
2020	2776	5/8/2022	t 15234533	$129.92
	Paid By	ISAAC SCHLIMMER		

Year	Folio	Date Paid	Temp Receipt	Amount Paid
2019	2775	5/8/2022	t 15234533	$150.56
	Paid By	ISAAC SCHLIMMER		

Payment History

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2021	35824	11/16/2021	1800226.0001	$64.09	$61.53
	Owner Name	SCHLIMMER ISAAC			
	Paid By	SCHLIMMER ISAAC/IVR			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2018	2790	2/18/2019	9922168.0001	$65.36	$64.71
	Owner Name	SCHLIMMER ISAAC			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2017	2799	8/4/2018	9923487.0001	$65.45	$110.49
	Owner Name	SCHLIMMER ISAAC			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2016	2814	3/30/2017	9922294.0001	$61.32	$61.32
	Owner Name	SCHLIMMER ISAAC			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2015	2815	4/13/2016	9922205.0001	$60.95	$62.78
	Owner Name	SCHLIMMER DAVID			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2014	2813	4/29/2015	9921609.0001	$59.15	$60.92
	Owner Name	SCHLIMMER DAVID			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2013	2815	3/24/2014	9921059.0001	$51.61	$51.61
	Owner Name	SCHLIMMER DAVID			
	Paid By	ISAAC SCHLIMMER			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2012	2811	4/29/2013	3210927.0001	$51.74	$53.29
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER DAVID			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2011	2822	4/30/2012	3211324.0001	$49.22	$50.70
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER ISAAC			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2010	133545	3/30/2011	2208286.0001	$49.48	$49.48
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER DAVID			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2009	133549	1/14/2010	3302690.0001	$50.14	$49.14
	Owner Name	SCHLIMMER DAVID			
	Paid By	SCHLIMMER DAVID & AUDREY			

Year	Folio	Date Paid	Receipt	Amount Billed	Amount Paid
2008	133308	4/30/2009	2210083.0001	$122.13	$125.79
	Owner Name	SCHLIMMER DAVID			

Payment Transactions

ZF:

LAST NAME: Schlimmer

FIRST NAME: Issac

STREET ADDRESS:

PHONE NUMBER:

For Growth Management USE ONLY

Project ID# CPA 22-

Parcel#: 11655-080

PAYMENT AMOUNTS 750.00

CASH ☐

CHECK# ☑

CC ☐

City of Lake City
205 N. Marion Ave
Lake City, FL 32055

Date:	05/11/2022
Receipt:	2022-00052133
Description:	CPA 22 Issac Schlimmer
Cashier:	Chanel Neff
Received From:	
ZF	750.00
CPA 22 Issac Schlimmer	
Receipt Total	750.00
Total Check	750.00
Total Remitted	750.00
Total Received	750.00

City of Lake City Utilities

File Attachments for Item:

iv. Site Plan Review - SPR-22-13 - Frank and Lanes Heating and Air, LLC (Agent: Carol Chadwick)

GROWTH MANAGEMENT
205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY
Application # SPR22-13
Application Fee $200.00
Receipt No.
Filing Date 5/05/22
Completeness Date

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Franks & Lane Heating & Air
2. Address of Subject Property: TBD
3. Parcel ID Number(s): 00-00-00-13752-001
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: Commercial Intensive
6. Acreage: 0.767
7. Existing Use of Property: Vacant
8. Proposed use of Property: Commercial
9. Type of Development (Check All That Apply):
   - [ ] Increase of floor area to an existing structure: Total increase of square footage
   - [x] New construction: Total square footage 1800
   - [ ] Relocation of an existing structure: Total square footage

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☑ Agent
2. Name of Applicant(s): Carol Chadwick PE Title: Civil Engineer
   Company name (if applicable):
   Mailing Address: 1208 SW Fair Oaks Glen
   City: Lake City State: FL Zip: 32025
   Telephone: (307) 688 1772 Fax: (____) Email: cpenyoe@gmail.com
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): Franks & Lane Heating & Air LLC
   Mailing Address: 219 SW Cypress Glen
   City: Lake City State: FL Zip: 32025
   Telephone: (386) 688 1139 Fax: (____) Email: franksandlaneac@gmail
   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved: NA
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☒ Yes ☐ No
   Future Land Use Map Amendment: ☒ Yes _____ ☐ No _____
   Future Land Use Map Amendment Application No. CPA 22-02
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☒ Yes _____ ☐ No _____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. Z 22-02
   Variance: ☐ Yes _____ ☒ No _____
   Variance Application No. _____
   Special Exception: ☐ Yes _____ ☒ No _____
   Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

✓ 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

✓ 2. Site Plan – Including, but not limited to the following:
   a. Name, location, owner, and designer of the proposed development.
   b. Present zoning for subject site.
   c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
   d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
   e. Area and dimensions of site (Survey).
   f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
   g. Access to utilities and points of utility hook-up.
   h. Location and dimensions of all existing and proposed parking areas and loading areas.
   i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
   j. Location and size of any lakes, ponds, canals, or other waters and waterways.
   k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
   l. Location of trash receptacles.
   m. For multiple-family, hotel, motel, and mobile home park site plans:
      i. Tabulation of gross acreage.
      ii. Tabulation of density.
      iii. Number of dwelling units proposed.
      iv. Location and percent of total open space and recreation areas.
      v. Percent of lot covered by buildings.

vi. Floor area of dwelling units.
vii. Number of proposed parking spaces.
viii. Street layout.
ix. Layout of mobile home stands (for mobile home parks only).

3. Stormwater Management Plan—Including the following:
   a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
   b. Proposed finished elevation of each building site and first floor level.
   c. Existing and proposed stormwater management facilities with size and grades.
   d. Proposed orderly disposal of surface water runoff.
   e. Centerline elevations along adjacent streets.
   f. Water management district surface water management permit.

4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

6. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

7. Legal Description with Tax Parcel Number (In Word Format).

8. Proof of Ownership (i.e. deed).

9. Agent Authorization Form (signed and notarized).

10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

11. Fee. The application fee for a Site and Development Plan Application is $200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

_____

Applicant/Agent Name (Type or Print)

_____

Applicant/Agent Signature

Applicant/Agent Name (Type or Print)

_____

Applicant/Agent Signature

CAROL J. CHADWICK LICENSE No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.05.20 17:28:29 -04'00'

Date

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____day of _____, 20___, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

_____
Signature of Notary

_____
Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced

FRANKS & LANE HEATING AND AIR

SECTION 32, TOWNSHIP 3 SOUTH, RANGE 17 EAST
LAKE CITY, COLUMBIA COUNTY, FLORIDA

PROJECT SITE

LOCATION MAP
NOT TO SCALE

OWNER:

FRANKS & LANE HEATING AND AIR LLC
219 SW CYPRESS GLEN
LAKE CITY, FL 32025

CIVIL ENGINEER:

CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

CONTRACTOR:

BRYAN ZECHER CONSTRUCTION
CONTACT: BRYAN ZECHER
386.752.8653
bzecher@comcast.net

SURVEYOR:

BRITT SURVEY & MAPPING, INC.
2086 S.W. MAIN BLVD., STE. 112
LAKE CITY, FL 32025
386.752.7163

SHEET INDEX

NOTES

1. SITE PARCEL: 00-00-00-13752-001
2. FUTURE LAND USE: COMMERCIAL
3. ZONING: CI: COMMERCIAL INTENSIVE
4. SITE ADDRESS: TBD, LAKE CITY, FL

CAROL J. CHADWICK LICENSE No 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.05.20 17:28:03 -04'00'

ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES

Sunshine811

CAROL CHADWICK, P.E.

STATE OF FLORIDA PROFESSIONAL ENGINEER

DATE	REVISION DESCRIPTION

PREPARED FOR
BRYAN ZECHER CONSTRUCTION
CONTACT: BRYAN ZECHER
386.752.8653
bzecher@comcast.net

FRANKS & LANE HEATING AND AIR

COVER SHEET

PROJECT No. FL21142
DATE MAY 20, 2022
REVISION DATE
SHEET 1 OF 7 SHEETS

C:\ACONSULT\NGJOB FILES\ZECHER\FL2.1142\DWG\SYPLANS\FL2.1142-01-COVER.dwg, 22 12:15:26 PM

ENGINEER'S NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, SUWANNEE RIVER WATER MANAGEMENT DISTRICT, COLUMBIA COUNTY, CITY OF LAKE CITY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

EXISTING LINETYPES, SYMBOLS, AND HATCH PATTERNS

SANITARY SEWER MAIN
SANITARY SEWER SERVICE
WATER MAIN
WATER SERVICE
STORM SEWER
SWALE/FLOWLINE
CULVERT
OVERHEAD POWER
UNDERGROUND POWER
GAS LINE
PHONE LINE
FIBER OPTIC
CABLE TV
PROPERTY LINE
R.O.W.
BUILDING SETBACK LINE
EASEMENT LINE
STRUCTURE
EXISTING CONCRETE
EXISTING ASPHALT
ROOF DRAIN
BENCHMARK
REFERENCE MONUMENT
CABLE TV RISER
TELEPHONE RISER
WATER METER PIT
FIRE HYDRANT
GATE VALVE
CURB STOP
CONIFEROUS TREE
DECIDUOUS TREE
BUSH
HEDGE/TREE LINE
1 POLE SIGN
BOREHOLE
MONITORING WELL
TRAFFIC SIGNAL
STORM SEWER MANHOLE
GRATED STORM INLET
STORM INLET
SANITARY SEWER MANHOLE
CLEAN OUT
GAS VALVE
GAS METER
STREET LIGHT
GUY WIRE ANCHOR
POWER POLE
GAS MARKER
ELECTRIC MARKER
TRANSFORMER SINGLE PHASE
TRANSFORMER 3 PHASE
ELECTRICAL VAULT
ELECTRICAL METER
FIBER OPTIC PEDISTAL
FIBER OPTIC VAULT
SPRINKLER HEAD
IRRIGATION CONTROL

PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

SANITARY SEWER MAIN
SANITARY SEWER SERVICE
WATER MAIN
WATER SERVICE
STORM SEWER
OVERHEAD POWER
UNDERGROUND POWER
GAS LINE
PHONE LINE
FIBER OPTIC
CABLE TV
PROPERTY LINE
STRIPING
BUILDING SETBACK LINE
EASEMENT LINE
SIDEWALK
SILT FENCE
PROPOSED STRUCTURE
PROPOSED CONCRETE
PROPOSED ASPHALT
CABLE TV RISER
TELEPHONE RISER
WATER METER PIT
FIRE HYDRANT
GATE VALVE
CURB STOP
11 1/4° BEND
22 1/2° BEND
45° BEND
CAP (END OF LINE PLUG)
COUPLER
CROSS
DEFLECTION COUPLER
TEE
REDUCER
1 POLE SIGN
GRASS
PROPOSED GRAVEL SURFACE
STORM SEWER MANHOLE
GRATED STORM INLET
STORM INLET
SANITARY SEWER MANHOLE
CLEAN OUT
GAS VALVE
GAS METER
STREET LIGHT
GUY WIRE ANCHOR
POWER POLE
TRANSFORMER SINGLE PHASE
TRANSFORMER 3 PHASE
ELECTRICAL VAULT
ELECTRICAL METER
FIBER OPTIC PEDISTAL
FIBER OPTIC VAULT
SPRINKLER HEAD
IRRIGATION CONTROL
CONIFEROUS TREE
DECIDUOUS TREE
BUSH

NOTE: ALL UTILITY PROVIDERS MUST BE CONTACTED PRIOR TO DIGGING IN ACCORDANCE TO CHAPTER 556 "SUNSHINE STATE ONE CALL" CALL 811 48 HOURS PRIOR TO DIGGING

Sunshine811

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CAROL CHADWICK, P.E.
LICENSE NUMBER 61542
STATE OF FLORIDA
PROFESSIONAL ENGINEER

DATE	REVISION DESCRIPTION

PREPARED FOR
BRYAN ZECHER CONSTRUCTION
CONTACT: BRYAN ZECHER
386.752.6653
bzecher@comcast.net

FRANKS & LANE HEATING AND AIR

NOTES & LEGEND

PROJECT NO. FL21142
DATE MAY 20, 2022
REVISION DATE
SHEET 2 OF 7 SHEETS

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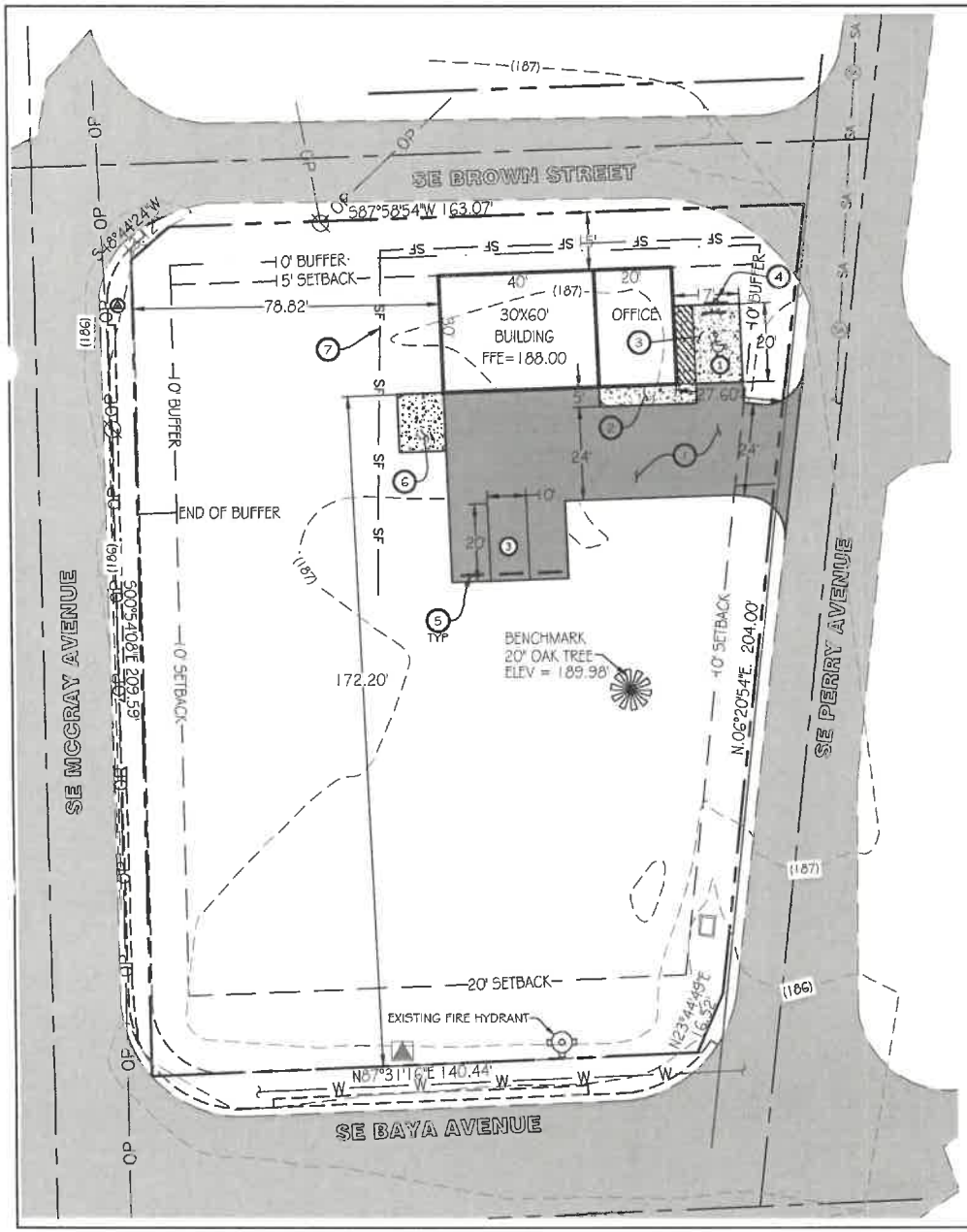

CONSTRUCTION NOTES & ESTIMATED QUANTITIES

1	1-1/2" AC PAVEMENT OVER 6" LIMEROCK BASE	3051 S.F.
2	4" CONCRETE	465 S.F.
3	HANDICAP PARKING STALL PER DETAILS ON SHEET 7	1 EA.
4	HANDICAP PARKING SIGN PER DETAIL ON SHEET 7	1 EA.
5	INSTALL WHEEL STOP PER DETAIL ON SHEET 7	4 EA.
6	DUMPSTER ENCLOSURE PER DETAIL ON SHEET 7	1 EA.
7	SILT FENCE PER DETAIL ON SHEET 7	185 L.F.

DEVELOPMENT INFORMATION			
NEW COMMERCIAL BUILDING FOR A HEATING AND AC BUSINESS			
[illegible]	[illegible]		
[illegible]	[illegible]		
[illegible]	[illegible]		
[illegible]	[illegible]		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	33410	0.77	100
[illegible]	7095	0.16	20.97
[illegible]	0	0.00	
TOTAL DRAINAGE AREA	7095	0.16	20.97
PROPOSED IMPERVIOUS AREA			
BUILDING	1980	0.04	5.93
[illegible]	635	0.01	1.88
ASPHALT PARKING & DRIVEWAY	2944	0.07	8.72
TOTAL IMPERVIOUS AREA	5359	0.12	15.94
LANDSCAPING			
REQUIRED	PER AN ORDINANCE TO AMENDED THE LAND DEVELOPMENT CODE, [illegible]		
PROVIDED AREA	[illegible] S.F. [illegible]		
PARKING			
REQUIRED SPACES	PER AN ORDINANCE TO AMENDED THE LAND DEVELOPMENT CODE, [illegible]		
PROPOSED SPACES	4 INCLUDING 1 HANDICAP SPACE		

STORMWATER MANAGEMENT NOTE

SITE IS EXEMPT FROM SRWMD STORM WATER MANAGEMENT:

TOTAL IMPERVIOUS SURFACE SUBJECT TO VEHICULAR TRAVEL: 3154 S.F.

TOTAL IMPERVIOUS SURFACE: 5359 S.F.

NOTES

1. SIGN PER SEPARATE PERMIT

0 15 30
SCALE 1"=30'

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REVISION DESCRIPTION | DATE

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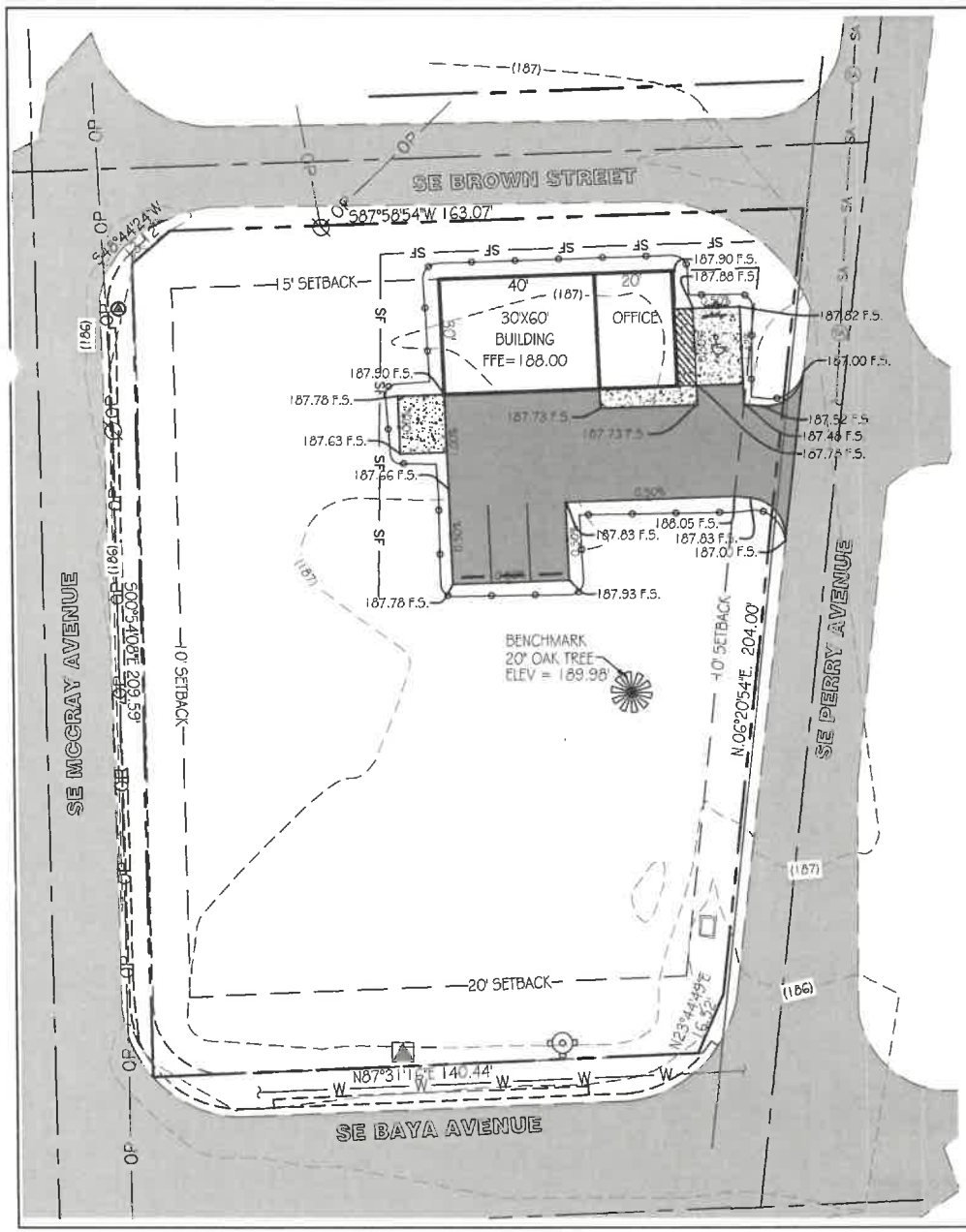
FRANKS & LANE HEATING AND AIR
SITE & DIMENSION PLAN

PROJECT No. FL21142
DATE MAY 20, 2022
REVISION DATE
SHEET 3 OF 7 SHEETS



SCALE 1"=30'

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CAROL CHADWICK, P.E.

PROJECT NO. FL21142

DATE MAY 20, 2022

REVISION DATE

SHEET 4 OF 7 SHEETS

FRANKS & LANE HEATING AND AIR
GRADING PLAN

PREPARED FOR
BRYAN ZECHER CONSTRUCTION
CONTACT: BRYAN ZECHER
386.752.8653
bzecher@comcast.net

REVISION DESCRIPTION

DATE

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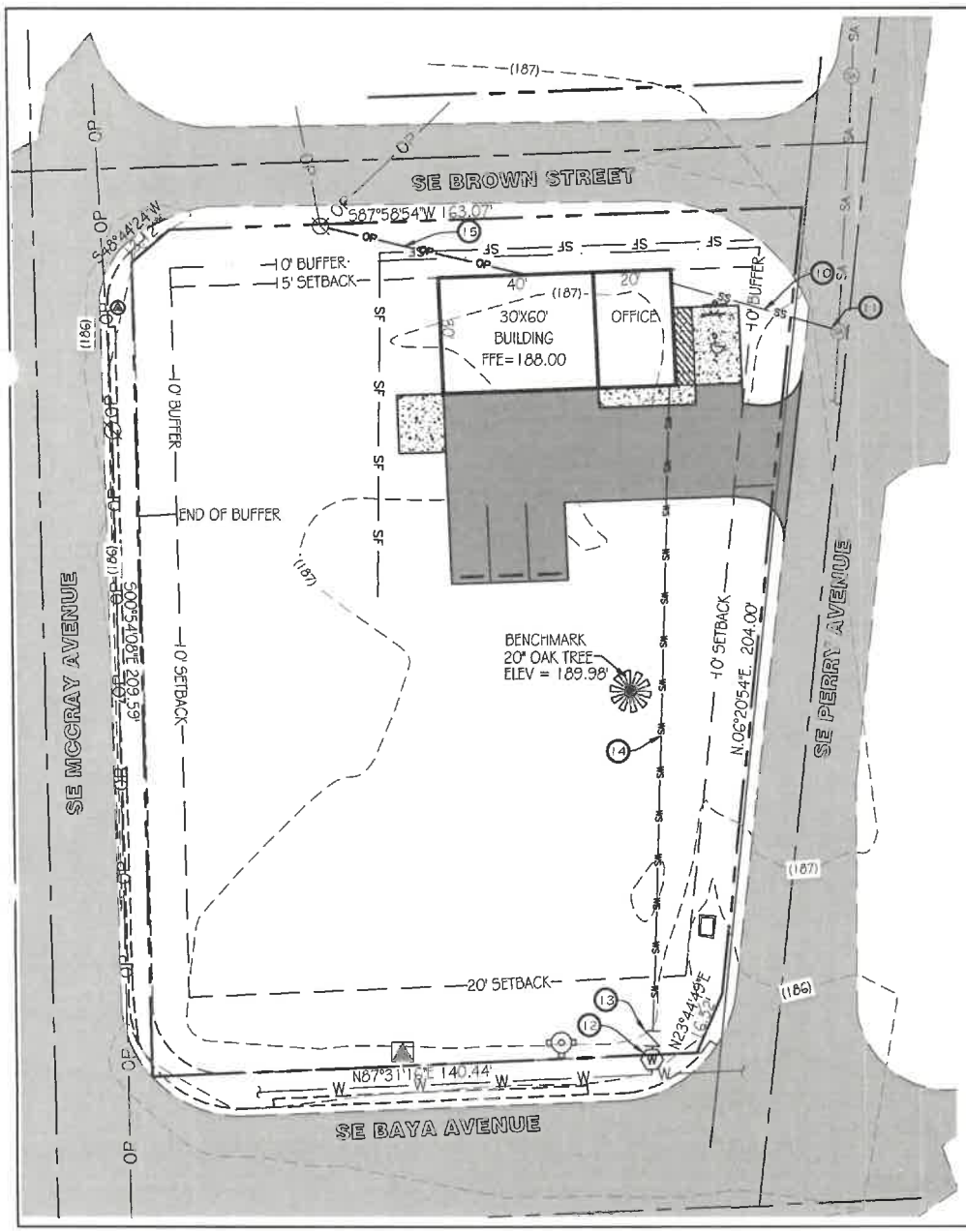

CONSTRUCTION NOTES & ESTIMATED QUANTITIES

10	6" SEWER LATERAL @ 2.00% MIN.	43 L.F.
11	CONNECT TO EXISTING MANHOLE	1 EA.
12	WATER METER	1 EA.
13	BACKFLOW PREVENTER	1 EA.
14	WATER SERVICE	173 L.F.
15	ELECTRIC SERVICE	1 EA.

SCALE 1"=30'

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CAROL CHADWICK, P.E.

REVISION DESCRIPTION | DATE

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FRANKS & LANE HEATING AND AIR
UTILITY PLAN

PROJECT NO. FL21142
DATE MAY 20, 2022
REVISION DATE
SHEET 5 OF 7 SHEETS

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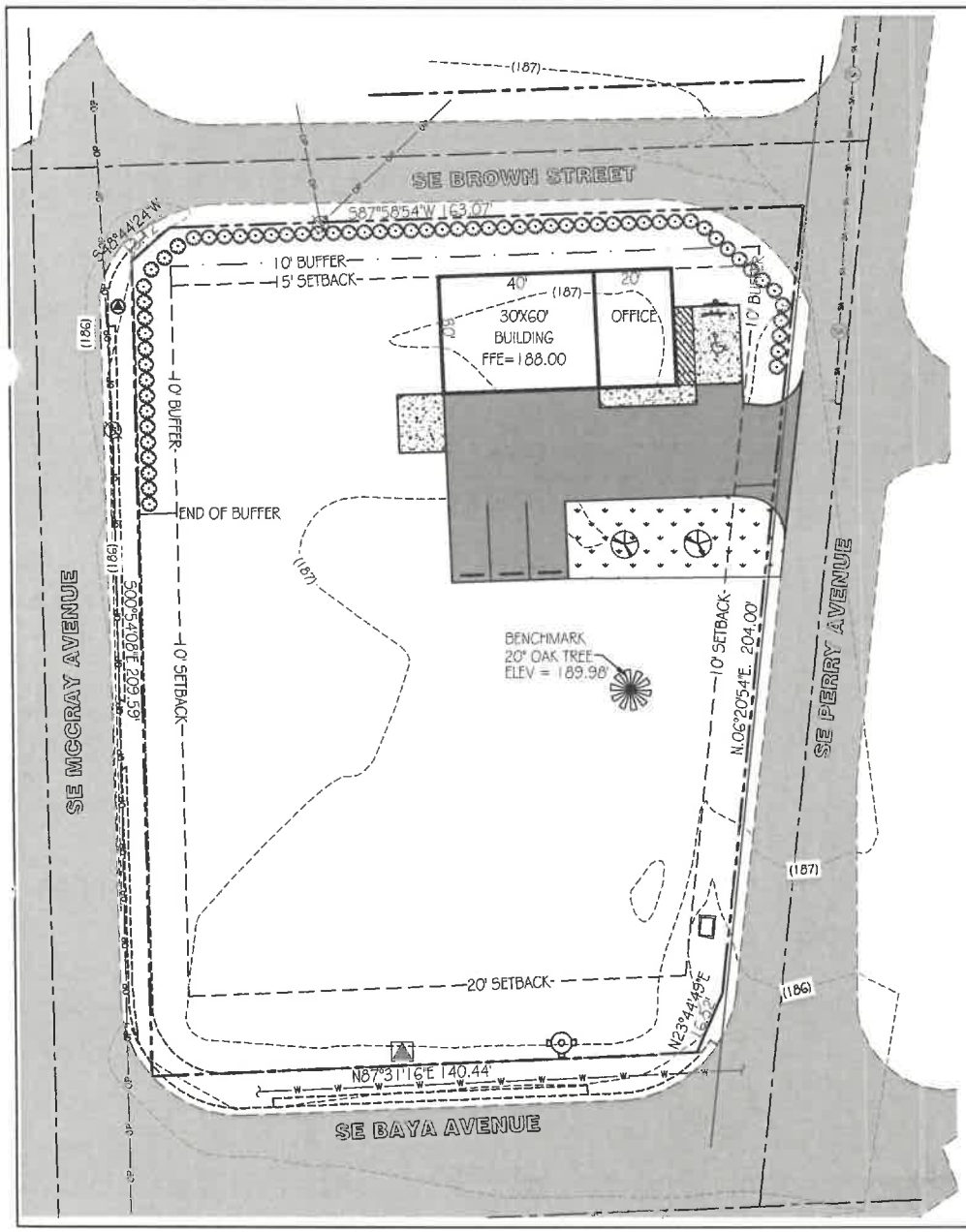

PLANT SCHEDULE

SYMBOL	PLANT TYPE	QTY
	LAURA PENDULUM	63
	MUSKOGEE CRAPE MYRTLE, 30 GALLON	1

LANDSCAPE NOTES

(a) ALL PLANT MATERIAL TO BE FLORIDA No. 1 QUALITY
(b) IRRIGATION TO BE ACHIEVED WITH AN AUTOMATIC LOW-PRESSURE DRIP SYSTEM
(c) 100% IRRIGATION COVERAGE REQUIRED
(d) STAKING REQUIRED FOR ALL SINGLE-TRUNK TREES
(e) A 3' "RING" OF MULCH TO BE MAINTAINED AROUND ALL TREES NOT INCORPORATED IN PLANT BEDS.
(f) LANDSCAPING REQUIRED AROUND ALL BACKFLOW DEVICES
(g) UNOBSTRUCTED VISIBILITY REQUIRED WITHIN SITE VISIBILITY TRIANGLE (INDICATE WITH DIAGRAM, FIGURE 33.01)
(i) ALL PLANT BEDS TO BE FREE OF LIME ROCK, CONSTRUCTION DEBRIS, AND ANY IMPERVIOUS MATERIAL. EXCAVATION AND BACKFILLING MAY BE REQUIRED
(j) THE OWNER/DEVELOPER IS RESPONSIBLE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. LANDSCAPE AREAS MUST BE MAINTAINED TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF TRASH AND DEBRIS

BUFFER NOTE

THE PORTION OF THE BUFFER NOT COVERED BY PLANTING SHALL BE LANDSCAPED WITH GRASS OR GROUND COVER.

IRRIGATION NOTE

IRRIGATION WILL BE ACHIEVED BY HAND WATER OR LOW-PRESSURE IRRIGATION SYSTEM.

0 15 30
SCALE 1"=30'

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CAROL CHADWICK P.E.
CAROL J. CHADWICK LICENSED No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

REVISION DESCRIPTION	DATE

PREPARED FOR
BRYAN ZECHER CONSTRUCTION
CONTACT: BRYAN ZECHER
386.752.8653
bzecher@comcast.net

FRANKS & LANE HEATING AND AIR
LANDSCAPING PLAN

PROJECT NO. FL21142
DATE MAY 20, 2022
REVISION DATE
SHEET 6 OF 7 SHEETS

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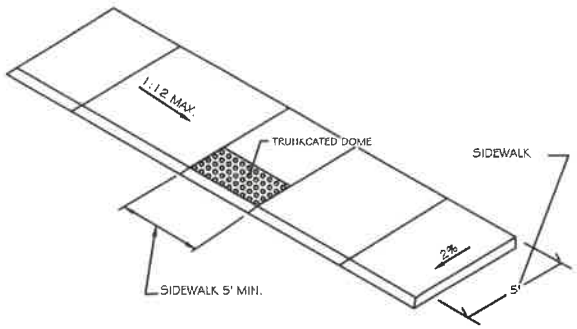
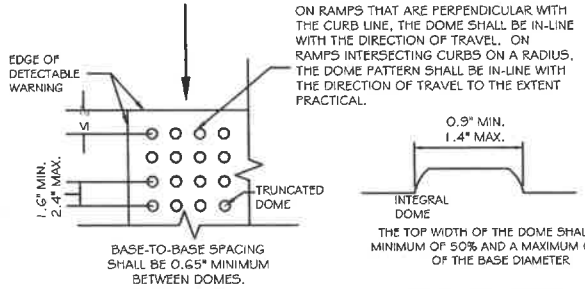
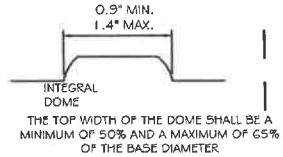




PLAN VIEW

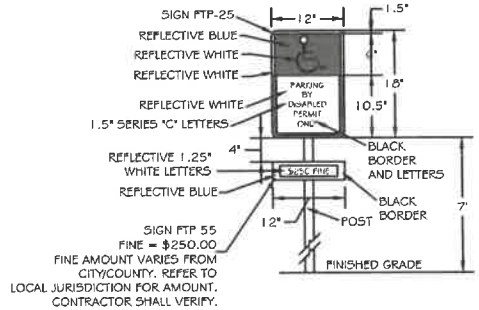


TRUNCATED DOME

ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" (610mm) FROM THE BACK OF CURB.

ADA RAMP WITH TRUNCATED DOME DETAIL

NOT TO SCALE

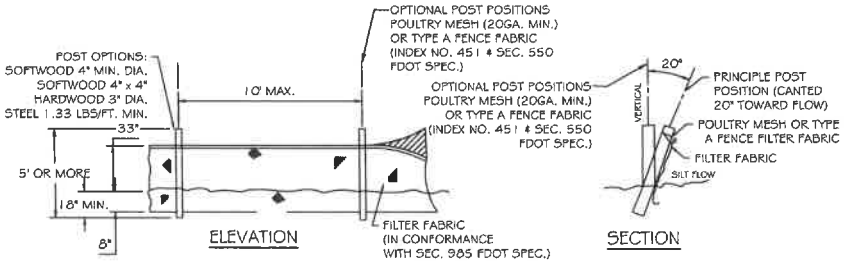


SIGN NOTES:

1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.

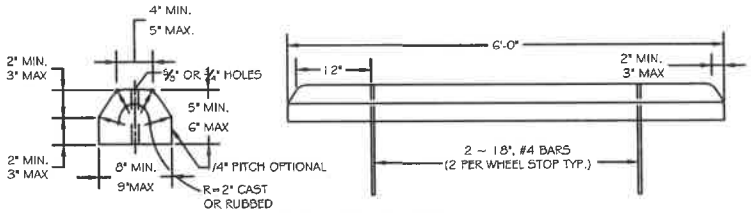
HANDICAP PARKING SIGN DETAIL

NOT TO SCALE



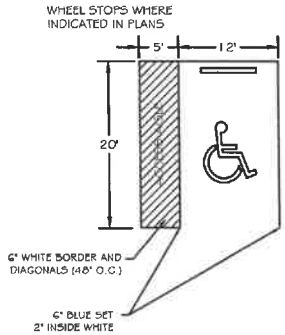
TYPE IV SILT FENCE

NOT TO SCALE



WHEEL STOP DETAIL

NOT TO SCALE



1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT. HIGH.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

HANDICAP PARKING STALL DETAIL

NOT TO SCALE

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Sunshine811

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CAROL CHADWICK, P.E.
LIC. CA-P.E. 53023
1204 SUN DRIVE
CRESTVIEW, FL 32539
CAROL J. CHADWICK
LICENSE NO. 82560
STATE OF FLORIDA
PROFESSIONAL ENGINEER

REVISION DESCRIPTION	DATE

PREPARED FOR
BRYAN ZECHER CONSTRUCTIO
CONTACT: BRYAN ZECHER
336.752.8653
bzecher@comcast.net

FRANKS & LANE HEATING AND AIR
DETAILS

PROJECT NO. FL21142
DATE MAY 20, 2022
REVISION DATE
SHEET 7 OF 7

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CAROL CHADWICK, P.E.
Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

May 20, 2022

re: Franks & Lane Heating and Air Drainage Memo

Site is exempt from SRWMD storm water management:

Total impervious surface subject to vehicular travel: 3154 s.f.

Total impervious surface: 5359 s.f.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK
LICENSE
No. 82560
STATE OF FLORIDA
PROFESSIONAL ENGINEER

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DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
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Carol Chadwick, P.E.

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CC Job #FL21142

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May 20, 2022

re: Franks & Lane Heating and Air Fire Flow Report

ISO: NFF = (C) (O) [1 + (X + P)] = 750*0.85[1 +(0+0)] = 637 → **750 gpm**

Where:

NFF = Needed Fire Flow
(C) = Construction factor, including effective area: C=750
(O) = Occupancy factor: C-2=0.85
(X + P) = Exposures and communication (openings) factor: 0

C = 18F√A = 18*0.8*√1800 = 611 → 750
Where:
F = the coefficient related to the construction type = 0.8
A = the effective building area = 1800 sf

NFPA: required flow **1500 gpm**

Per the attached Water Flow Report dated 04/08/2022, the water flow is **2834 gpm** at 20 psi.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No. 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

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Carol Chadwick, P.E.

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CC Job #FL21142

City of Lake City
Water flow report

HYDRANT # & LOCATION: C/O SE Baya Dr. & SE Perry Ave. DATE: 5/118/2022

TEST BY: Al/Daniel Day: Wednesday Time: 13:10 Minutes: 2

WATER SUPPLIED BY: Municipal

PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	40		
GPM:	943	0	0

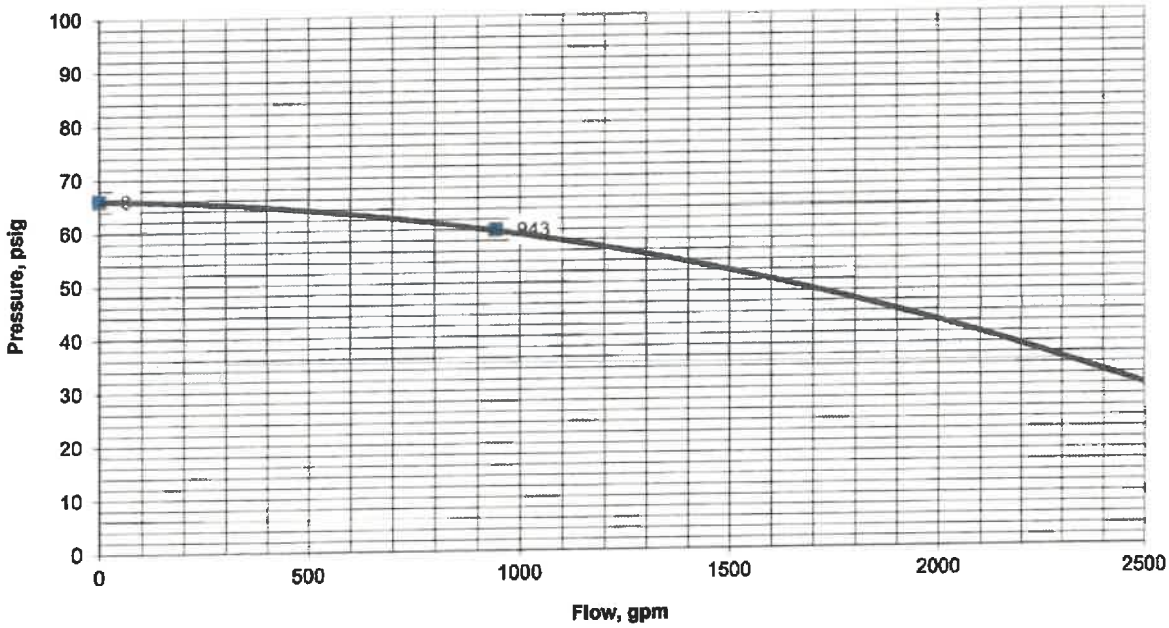
TOTAL FLOW DURING TEST: 943 GPM

STATIC READING: 66 PSI RESIDUAL: 60 PSI

RESULTS: AT 20 PSI RESIDUAL 2834 GPM AT 0 PSI 3444 GPM

ESTIMATED CONSUMPTION: 1887 GAL.

REMARKS:



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www.carolchadwickpe.com

May 20, 2022

re: Franks & Lane Heating and Air Concurrency Impact Analysis

The site is currently vacant. The proposed business will use City sewer and water, if available.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 110
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:

- Trip generation: 9.06 ADT & 1.26 Peak PM trips
- Potable Water: 45 gallons per day
- Potable Water: 45 gallons per day
- Solid Waste: 3.30 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

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Carol Chadwick, P.E.

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REVISED CONCURRENCY WORKSHEET

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Employees	Total ADT	Total PM Peak
110	General Light Industrial	3.02	0.42	3.00	9.06	1.26

*Per employee

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	15.00	3.00	45.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (3 EMPLOYEES)

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	15.00	3.00	45.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (3 EMPLOYEES)

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	S.F.	Total (Tons Per Year)
Office	1.00	1800.00	3.30

**1# per 100 s.f. per day

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May 20, 2022

re: Franks & Lane Heating and Air Comprehensive Plan Consistency Analysis

The Franks & Lane Heating and Air proposed site plan consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

  Consistency: The subject property fronts SE Baya Drive. The area is trending towards commercial uses with residential uses farther from SE Baya Drive.

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

  Consistency: The subject fronts SE Baya Drive which is and arterial road.

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

  Consistency: The properties fronting SE Baya are zoned RO.

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

  Consistency: The approval of the site planwill allow the immediate opening of a new business.

- Policy 1.1.4 The City shall continue to maintain standards for the coordination and siting of

proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proposed use of the subject property is consistent with commercial properties and will not have any adverse environmental impacts on the existing land uses.

- Policy 1.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

  Consistency: No impacts to adjacent land topography or soil conditions will result due to a zooming or land use change of the subject property.

- Policy 1.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

  Consistency: The proposed commercial development is compatible with other similar uses along SE Baya Drive and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

CAROL J. CHADWICK LICENSE No 82560 STATE OF FLORIDA PROFESSIONAL ENGINEER

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A01410D0000017EB6D924CE0005954C, cn=Carol Chadwick
Date: 2022.05.20 16:53:53 -04'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL21142

PARCEL: 00-00-00-13752-001

DESCRIPTION:
LOTS 47, 48, 49, 50, 51 AND 52 IN BLOCK L, "CANOVA SUBDIVISION", SOUTHERN DIVISION, CITY OF LAKE CITY, FLORIDA, ACCORDING TO THE PLAT THEREOF RECORDED IN PLAT BOOK A, PAGE 21 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.
LESS AND EXCEPT EXISTING ROAD RIGHT-OF-WAYS.

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values
updated: 12/2/2021

Parcel: << 00-00-00-13752-001 (42306) >>

Owner & Property Info

Owner	FRANKS & LANE HEATING AND AIR LLC 219 SW CYPRESS GLN LAKE CITY, FL 32025		
Site			
Description*	S DIV: LOTS 47 THRU 52 BLOCK L CANOVA S/D. QC 1023-2744, DC 1240-982, WD 1438-1998,		
Area	0.767 AC	S/T/R	32-3S-17
Use Code**	VACANT (0000)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Aerial Viewer | Pictometery | Google Maps

2019 2016 2013 2010 2007 2005 Sales

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	$83,625	Mkt Land	$83,625
Ag Land	$0	Ag Land	$0
Building	$0	Building	$0
XFOB	$0	XFOB	$0
Just	$83,625	Just	$83,625
Class	$0	Class	$0
Appraised	$83,625	Appraised	$83,625
SOH Cap [?]	$0	SOH Cap [?]	$0
Assessed	$83,625	Assessed	$83,625
Exempt	$0	Exempt	$0
Total Taxable	county:$83,625 city:$83,625 other:$0 school:$83,625	Total Taxable	county:$83,625 city:$83,625 other:$0 school:$83,625

Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
5/27/2021	$85,000	1438/1998	WD	V	Q	01
8/18/2004	$100	1023/2744	QC	V	U	06
5/15/1995	$0	0808/0519	TD	V	U	03
8/1/1986	$17,000	0600/0154	WD	I	U	01
11/1/1985	$10,000	0578/0191	WD	I	Q	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	33,450.000 SF (0.767 AC)	1.0000/1.0000 1.0000/ /	$3 /SF	$83,625

Prepared by and return to:

Norris & Norris, P.A.
253 NW Main Blvd.
Lake City, FL 32055
386-752-7240
File Number: **J277**

Inst: 202112010783 Date: 05/27/2021 Time: 4:45PM
Page 1 of 1 B: 1438 P: 1998, James M Swisher Jr, Clerk of Court
Columbia, County, By: VC
Deputy ClerkDoc Stamp-Deed: 595.00

[Space Above This Line For Recording Data]

Warranty Deed

This Warranty Deed made this 27th day of **May, 2021** between **Leandra G. Johnson, a married person not residing on the property, individually and as Trustee of the Flor M. Goyenechea Revocable Living Trust dated August 18, 2004,** whose post office address is **P.O. Box 2812, Lake City, FL 32056,** grantor, and **Franks & Lane Heating and Air, LLC, a Florida limited liability company,** whose post office address is **219 SW Cypress Glen, Lake City, FL 32025,** grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS ($10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **Columbia County, Florida** to-wit:

Lots 47, 48, 49, 50, 51, and 52, Block L, CANOVA SUBDIVISION, Southern Division of the City of Lake City, Florida, according to map or plat thereof recorded in Plat Book A, page 21, public records, Columbia County, Florida.

LESS AND EXCEPT road rights-of-way.

The property is not the homestead of the Grantor, and is not now nor has it ever been the primary residence or homestead of the Grantor, or the Grantor's spouse or any dependent child of the Grantor.

Subject to: Convenants, reservations, restrictions and easements of record; easements shown by a plat of the property and visible easements.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

To Have and to Hold, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor is lawfully seized of said land in fee simple; that the grantor has good right and lawful authority to sell and convey said land; that the grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to **December 31, 2020.**

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Witness Name: [illegible]

Witness Name: Leah Macha

By: _____ (Seal)
Leandra G. Johnson

STATE OF FLORIDA
COUNTY OF COLUMBIA
The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, this 27th day of May, 2021 by Leandra G. Johnson, individually and as Trustee of the Flor M. Goyenechea Revocable Living Trust dated August 18, 2004, who have produced a driver's license as identification.

LEAH MACHA
Commission # GG 268829
Expires October 17, 2022
Bonded Thru Troy Fain Insurance 800-385-7019

Notary Public – State of Florida

(NOTARIAL SEAL)

DoubleTime®

FLORIDA DEPARTMENT of STATE DIVISION OF CORPORATIONS

Sunbiz.org DIVISION of CORPORATIONS an official State of Florida website

Detail by Entity Name

Florida Limited Liability Company
FRANKS & LANE HEATING AND AIR, LLC

Filing Information

Document Number	L18000126940
FEI/EIN Number	83-0675430
Date Filed	05/21/2018
Effective Date	05/21/2018
State	FL
Status	ACTIVE

Principal Address

219 SW CYPRESSWOOD GLEN
LAKE CITY, FL 32025

Mailing Address

219 SW CYPRESS WOOD GLEN
LAKE CITY, FL 32025

Registered Agent Name & Address

LANE, MARK OWEN, Jr.
219 SW CYPRESSWOOD GLEN
LAKE CITY, FL 32025

Name Changed: 02/09/2021

Authorized Person(s) Detail

Name & Address

Title MGRM

FRANKS, ANTHONY
219 SW CYPRESSWOOD GLEN
LAKE CITY, FL 32025

Title MGRM

LANE, MARK, JR.
219 SW CYPRESSWOOD GLEN
LAKE CITY, FL 32025

Annual Reports

Report Year	Filed Date
2019	02/15/2019
2020	03/10/2020
2021	02/09/2021

Document Images

02/09/2021 -- ANNUAL REPORT	View image in PDF format
03/10/2020 -- ANNUAL REPORT	View image in PDF format
02/15/2019 -- ANNUAL REPORT	View image in PDF format
05/21/2018 -- Florida Limited Liability	View image in PDF format

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for Carol Chadwick, PE
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application

for Zoning and/or FLU applications
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: _____

Applicant/Owner's Title: _____

On Behalf of: _____
(Company Name, if applicable)

Telephone: _____ Date: _____

Applicant/Owner's Signature: Mark Lane

Print Name: Mark Lane

STATE OF FLORIDA
COUNTY OF Columbia

The Foregoing insturment was acknoeledged before me this 2nd day of December, 20 21. by Mark Lane, whom is personally known by me X OR produced identification ___.
Type of Identification Produced _____

Suzanne Stewart
(Notary Signature) (SEAL)

NOTARY PUBLIC STATE OF FLORIDA

SUZANNE STEWART
Commission # GG 932386
Expires November 17, 2023
Bonded Thru Budget Notary Services

Columbia County Tax Collector

generated on 12/3/2021 1:07:30 PM EST

Tax Record

Last Update: 12/3/2021 1:04:06 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R13752-001	REAL ESTATE	2021

Mailing Address
FRANKS & LANE HEATING AND AIR LLC
219 SW CYPRESS GLN
LAKE CITY FL 32025

Property Address

GEO Number
000000-13752-001

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail
NO EXEMPTIONS

Millage Code
001

Escrow Code

Legal Description (click for full description)
00-00-00 0000/0000.77 Acres S DIV: LOTS 47 THRU 52 BLOCK L CANOVA S/D. QC 1023-2744, DC 1240-982, WD 1438-1998,

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	83,625	0	$83,625	$653.53
CITY OF LAKE CITY	4.9000	83,625	0	$83,625	$409.76
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	83,625	0	$83,625	$62.55
LOCAL	3.6430	83,625	0	$83,625	$304.65
CAPITAL OUTLAY	1.5000	83,625	0	$83,625	$125.44
SUWANNEE RIVER WATER MGT DIST	0.3615	83,625	0	$83,625	$30.23
LAKE SHORE HOSPITAL AUTHORITY	0.0000	83,625	0	$83,625	$0.00

Total Millage	18.9675	Total Taxes	$1,586.16

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	$50.40

Total Assessments	$50.40
Taxes & Assessments	$1,636.56

If Paid By	Amount Due
	$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
11/17/2021	PAYMENT	6400763.0001	2021	$1,571.10

Prior Years Payment History

Prior Year Taxes Due

NO DELINQUENT TAXES

File Attachments for Item:

v. Variance - V-22-01 - Dance Studio (Agent: Brian Pitman)

Special Exception - SE-22-01 - Dance Studio (Agent: Brian Pitman)

Site Plan Review - SPR-22-02 - Dance Studio (Agent: Brian Pitman)

CITY OF LAKE CITY
Florida's Gateway

GROWTH MANAGEMENT
205 North Marion Ave
Lake City, FL 32055
Telephone: (386) 719-5750
E-mail: growthmanagement@lcfla.com

FOR PLANNING USE ONLY
Application # V22-01
Application Fee $200.00
Receipt No. 2022-00027126
Filing Date 3/7/22
Completeness Date

Variance Application

A. PROJECT INFORMATION

1. Project Name: Dance Studio
2. Address of Subject Property: 4417 NW American Lane
3. Parcel ID Number(s): 34-3S-16-02461-516
4. Future Land Use Map Designation: Residential - Moderate Density
5. Zoning Designation: Residential Office
6. Acreage: 0.46 AC
7. Existing Use of Property: Unimproved
8. Proposed use of Property: Dance Studio
9. Section of the Land Development Regulations ("LDRs") for which a Variance is requested (Provide a Detailed Description): 1) 4.10.7 YARD REQUIREMENTS: FRONT YARD REQ. IS 30 FT. FRONT GIVEN IS 23 FT. (7 FT SHORT); REAR YARD REQ. IS 20 FT. REAR YARD GIVEN IS 15 FT (5 FT SHORT)

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Brian Pitman, P.E. Title: Owner of PE
   Company name (if applicable): Pitman Engineering
   Mailing Address: 206 S Marion Ave
   City: Lake City State: FL Zip: 32025
   Telephone: (386) 965-5919 Fax:(____) Email: bpitman@pitmanengineering.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): Dalita Diaz de Arce
   Mailing Address: 1446 SW Couger Glen Apt. 102A
   City: Lake City State: Florida Zip: 32025
   Telephone:(____) Fax:(____) Email: dalita.dsdrc@gmail.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved:_____
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property? ☐Yes ☒No
   Future Land Use Map Amendment: ☐Yes_____ ☒No_____
   Future Land Use Map Amendment Application No. CP_____
   Rezoning Amendment: ☐Yes_____ ☒No_____
   Rezoning Amendment Application No._____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ☒No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No._____
   Variance: ☒Yes_____ ☐No_____
   Variance Application No. unknown at time of application
   Special Exception: ☒Yes_____ ☐No_____
   Special Exception Application No. unknown at time of application

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Analysis of Section 11.3 of the Land Development Regulations ("LDRs"):
   a. Special conditions and circumstances exist which are peculiar to the land, structure, or building involved and which are not applicable to other lands, structures, or buildings in the same zoning district.
   b. The special conditions and circumstances do not result from the actions of the applicant.
   c. Granting the variance requested will not confer on the applicant any special privilege that is denied by these land development regulations to other lands, buildings, or structures in the same zoning district.
   d. Literal interpretation of the provisions of these land development regulations would deprive the applicant of rights commonly enjoyed by other properties in the same zoning district under the terms of these land development and would work unnecessary and undue hardship on the applicant.
   e. The variance granted is the minimum variance that will make possible the reasonable use of the land, building, or structure.
   f. The grant of the variance will be in harmony with the general intent and purpose of these land development regulations, and that such variance will not be injurious to the area involved or otherwise detrimental to the public welfare.
   g. Limitations on subsequent written petition for a variance. No written petition by an owner of real property for a variance for a particular parcel of property, or part thereof, shall be filed with the land development regulation administrator until the expiration of 12 calendar months from the date of denial of a written petition for a variance for such property, or part thereof, unless the board of adjustment specially waives said waiting period based upon a consideration of the following factors:

i. The new written petition constituting a proposed variance different from the one proposed in the denied written petition.

ii. Failure to waive said 12-month waiting period constitutes a hardship to the applicant resulting from mistake, inadvertence, or newly discovered matters of consideration.

2. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

3. Site Plan – Including, but not limited to the following:

a. Name, location, owner, and designer of the proposed development.

b. Present zoning for subject site.

c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.

d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.

e. Area and dimensions of site (Survey).

f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.

g. Access to utilities and points of utility hook-up.

h. Location and dimensions of all existing and proposed parking areas and loading areas.

i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).

j. Location and size of any lakes, ponds, canals, or other waters and waterways.

k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.

l. Location of trash receptacles.

m. For multiple-family, hotel, motel, and mobile home park site plans:

i. Tabulation of gross acreage.

ii. Tabulation of density.

iii. Number of dwelling units proposed.

iv. Location and percent of total open space and recreation areas.

v. Percent of lot covered by buildings.

vi. Floor area of dwelling units.

vii. Number of proposed parking spaces.

viii. Street layout.

ix. Layout of mobile home stands (for mobile home parks only).

4. Stormwater Management Plan—Including the following:
   a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
   b. Proposed finished elevation of each building site and first floor level.
   c. Existing and proposed stormwater management facilities with size and grades.
   d. Proposed orderly disposal of surface water runoff.
   e. Centerline elevations along adjacent streets.
   f. Water management district surface water management permit.

15. Legal Description with Tax Parcel Number.

16. Proof of Ownership (i.e. deed).

17. Agent Authorization Form (signed and notarized).

18. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

9. Fee. The application fee for a Variance Application is $200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

The Board of Adjustment shall have the power to authorize, upon appeal, such variance from the terms of the Land Development Regulations as will not be contrary to the public interest where, owing to special conditions, a literal enforcement of the provisions of these land development regulations will result in unnecessary and undue hardship.

In granting any variance to the provisions of Article 4 of these land development regulations, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with such regulations, including but not limited to, reasonable time limits within which the action for which variance is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of these land development regulations.

Under no circumstances shall the Board of Adjustment grant a variance to permit a use not permitted under the terms of the Land Development Regulations in the Zoning District involved, or any use expressly or by implication prohibited by the terms of the Land Development Regulations in the Zoning District. No nonconforming use of neighboring lands, structures, or buildings in the same Zoning District and no permitted use of lands, structures, or buildings in other Zoning Districts shall be considered grounds for the authorization of a variance.

The Board of Adjustment requires that the applicant or representative be present at the public hearing to address and answer any questions the Board may have during the public hearing. The application may be continued to future dates if the applicant or representative is not present at the hearing.

Twelve (12) copies of a site plan must accompany an application for a Variance.

The City of Lake City Land Development Regulations require that a sign must be posted on the property ten (10) days prior to the Board to Adjustment hearing date. Once a sign has been posted, it is the property owner's responsibility to notify the Growth Management Department if the sign has been moved, removed from the property, torn down, defaced or otherwise disturbed so the property can be reposted. If the property is not properly posted until all public hearings before the Board of Adjustment are completed, the Board reserves the right to continue such public hearing until such time as the property can be property posted for the required period of time.

There is a thirty (30) day appeal period after the date of the decision. No additional permitting will be issued until that thirty (30) day period has expired.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

APPLICANT ACKNOWELDGES THAT THE APPLICANT OR REPRESENTATIVE MUST BE PESENT AT THE PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT. OTHERWISE THE REQUEST MAYBE CONTINUED TO A FUTURE HEARING DATE.

Brian Pitman, P.E.

Applicant/Agent Name (Type or Print)

Brian Pitman

Applicant/Agent Signature

11/23/21

Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 23 day of Nov, 2021, by (name of person acknowledging). Brian Pittman

DONALD G SHUGART
Notary Public - State of Florida
Commission # HH 135743
My Comm. Expires Aug 23, 2025
Bonded through National Notary Assn.

NOTARY SEAL or STAMP

Signature of Notary

DONALD G SHUGART

Printed Name of Notary

Personally Known _____ OR Produced Identification ✓
Type of Identification Produced FLDL

PITMAN ENGINEERING

VARIANCE APPLICATION – SECTION D – DANCE STUDIO

1. Analysis of Section 11.3 of the Land Development Regulations

   a. Lot is irregular in shape.

   b. Lot is irregular in shape.

   c. No special privilege is being given. Same variance(s) are allowed to be applied for by neighboring parcels.

   d. Agreed.

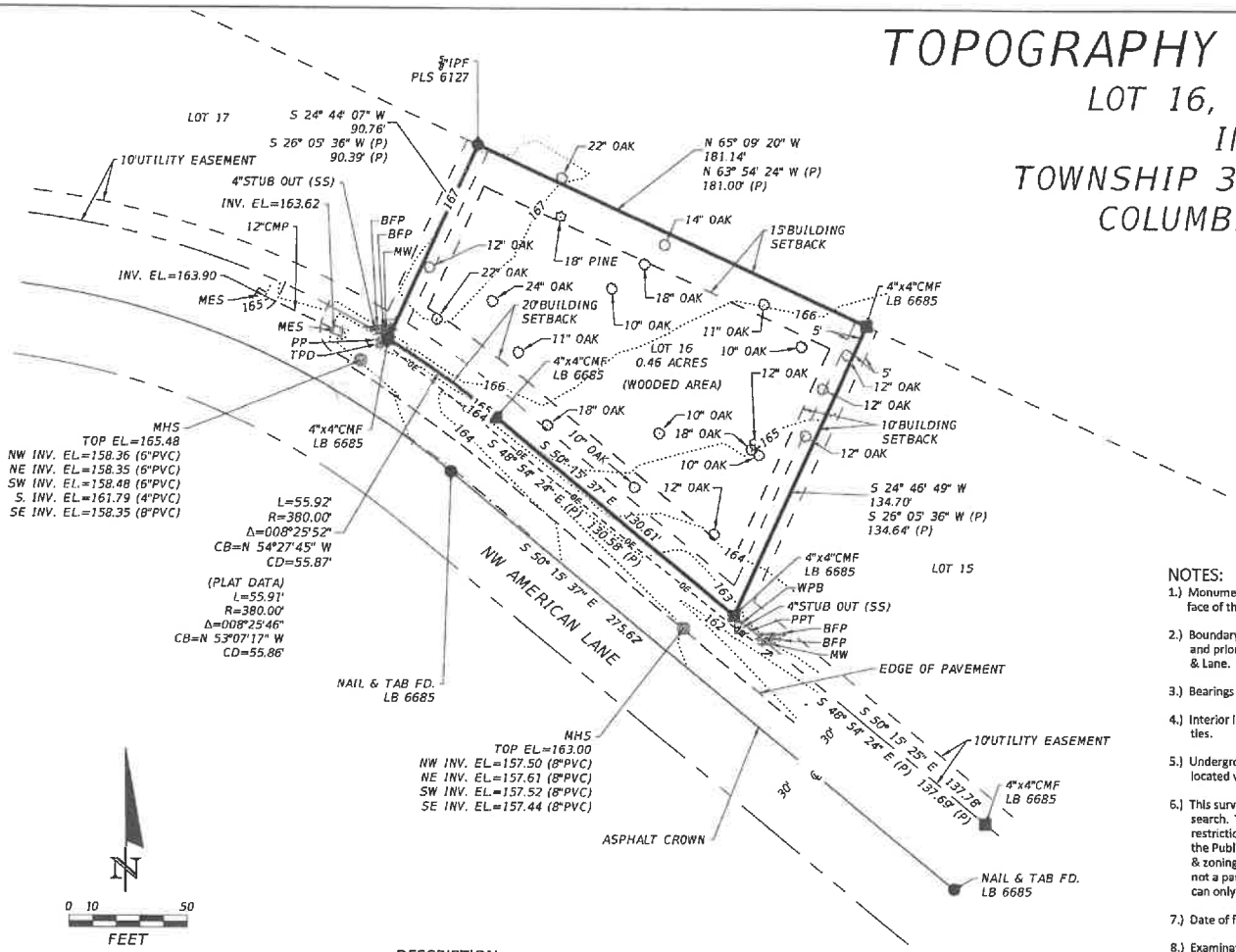
   e. Agreed.

   f. Agreed.

   g. Understood.

TOPOGRAPHY & BOUNDARY SURVEY

LOT 16, PLANTATION VILLAGE
IN SECTION 34
TOWNSHIP 3 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA



DESCRIPTION:

Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, Florida.

NOTES:

1.) Monumentation is as shown and designated on the face of the plat.

2.) Boundary based on monumentation found in place, and prior survey and subdivision by Bailey, Bishop & Lane.

3.) Bearings based on State Plane Coordinates.

4.) Interior improvements shown were located by field ties.

5.) Underground encroachments, if present, were not located with this survey.

6.) This survey was made without benefit of a title search. There may be additional easements, restrictions, etc. not shown hereon but found in the Public Records. Issues regarding title, land use & zoning, easements & other encumberances are not a part of the scope of a Boundary Survey and can only be revealed with a title search.

7.) Date of field survey completion: May 19, 2021.

8.) Examination of the Flood Insurance Rate Maps (FIRM) for Columbia County shows that, per said maps, the described parcel lies within Flood Zone "X", which according to said maps is outside of the 0.2% chance floodplain (ref: Map No. 12023C0290C).

LEGEND

CMF=CONCRETE MONUMENT FOUND
OE=OVERHEAD ELECTRIC LINE
PLS=PROFESSIONAL LAND SURVEYOR
NE=NORTHEAST
NW=NORTHWEST
℄ =CENTER LINE
SW=SOUTHWEST
SE=SOUTHEAST
PP=POWER POLE
LB=LICENSED BUSINESS
TPD=TELEPHONE PEDESTAL
Δ=DELTA ANGLE, CENTRAL ANGLE
R=RADIUS OF CURVE
FD.=FOUND
L=LENGTH OF CURVE
CB=CHORD BEARING
CD=CHORD DISTANCE
MES=MITERED END SECTION
CMP=CORRUGATED METAL PIPE
EL.=ELEVATION
BM=BENCHMARK
WPB=WIRE PULL BOX
BFP=BACKFLOW PREVENTOR
SS=SANITARY SEWER
MW=METER, WATER
PPT=POWER POLE WITH TRANSFORMER
(P)=PLAT MEASUREMENT
INV.=INVERT
IPF=IRON PIPE FOUND

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA REGISTERED PROFESSIONAL SURVEYOR AND MAPPER

N.S. Combass, P.S.M.
Florida Reg. No. 4093
DATE: 5/27/2021

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
PH. 386-752-4675
LIC NO. LB8356
2551 BLAIRSTONE PINES DR.
TALLAHASSEE, FL 32301
WWW.NFPS.NET

JOB NO. L210518PIT
CA# 29011

PITMAN ENGINEERING

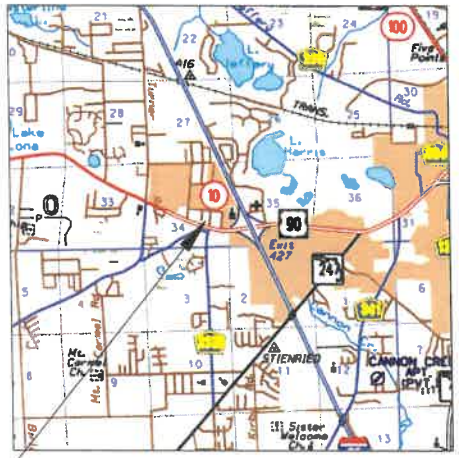
SHEET NO. 1

Alice Geiger 5/27/2021 10:44:53 AM X:\2021\L210518PIT\H-CADD\Survey\SURVRD01.dwg SINGLE PLAN (1-50)

DANCE STUDIO

PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

COLUMBIA COUNTY



PROJECT LOCATION

SHEET INDEX

CIVIL SHEETS

ATTACHMENTS BY OTHERS

SURVEY BY NORTH FLORIDA
PROFESSIONAL SERVICES, INC.

PLANS PREPARED FOR:
DANIEL DIAZ DE ARCY, OWNER
(386) 365-4163

CITY OF LAKE CITY PERMIT
NOT FOR CONSTRUCTION

ENGINEER OF RECORD
BRIAN JAMES PITMAN, P.E.
PE LICENSE NUMBER #7495
BPITMAN@PITMANENGINEERING.COM
(386) 965-5919

FIRM NAME AND CONTACT INFORMATION
PITMAN ENGINEERING
264 S MADISON AVE
LAKE CITY, FL 32025
(386) 965-5919
PITMAN@PITMANENGINEERING.COM
CERT. OF AUTHORIZATION # 30613

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME: COVER SHEET
DATE: 06/21
PROJECT NO.: 2021-10PEU
SHEET: C1

GENERAL

1. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), AND CITY OF LAKE CITY LAND DEVELOPMENT STANDARDS/CODES UNLESS OTHERWISE NOTED.
2. CONTRACTOR MUST GET PRIOR APPROVAL, FROM ENGINEER AND/OR OWNER, BEFORE STARTING WORK THAT WILL BE PAID FOR VIA CHANGE ORDER OR PRIOR TO USE OF ALTERNATIVE MATERIALS.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

PRIOR TO START OF CONSTRUCTION

1. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
2. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE PROJECT SITE TO ENSURE THAT ALL PROPOSED WORK WILL FIT AS PLANS INTENT. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY. THE CONTRACTOR, ENGINEER, AND OWNER SHALL WORK TO RESOLVE THE ISSUE AS QUICKLY AND ECONOMICALLY AS POSSIBLE.
5. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
6. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

SURVEY/EXISTING CONDITIONS NOTES

1. BOUNDARY INFORMATION SHOWN WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY NORTH FLORIDA PROFESSIONAL SERVICES, FLORIDA CERTIFICATE NO. 4093.
2. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
3. THE SITE IS LOCATED IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

DURING CONSTRUCTION

1. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
2. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
3. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE OWNER. ENGINEER SHALL APPROVE WASTE LOCATION TO ENSURE LOCATION DOES NOT CHANGE OR IMPEDE STORMWATER CONVEYANCE AS INTENDED BY THE GRADING PLAN.

EROSION CONTROL PLAN & NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO CITY OF LAKE CITY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP's FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS, OR IN ROADSIDE DITCHES.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

POST-CONSTRUCTION

1. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY WHICH INCLUDES HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.

ENGINEER OF RECORD
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CERT OF REGISTRY #: 30983

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
NOTES

DATE 06/21
JOB # 2021-109EU
SHEET # C2

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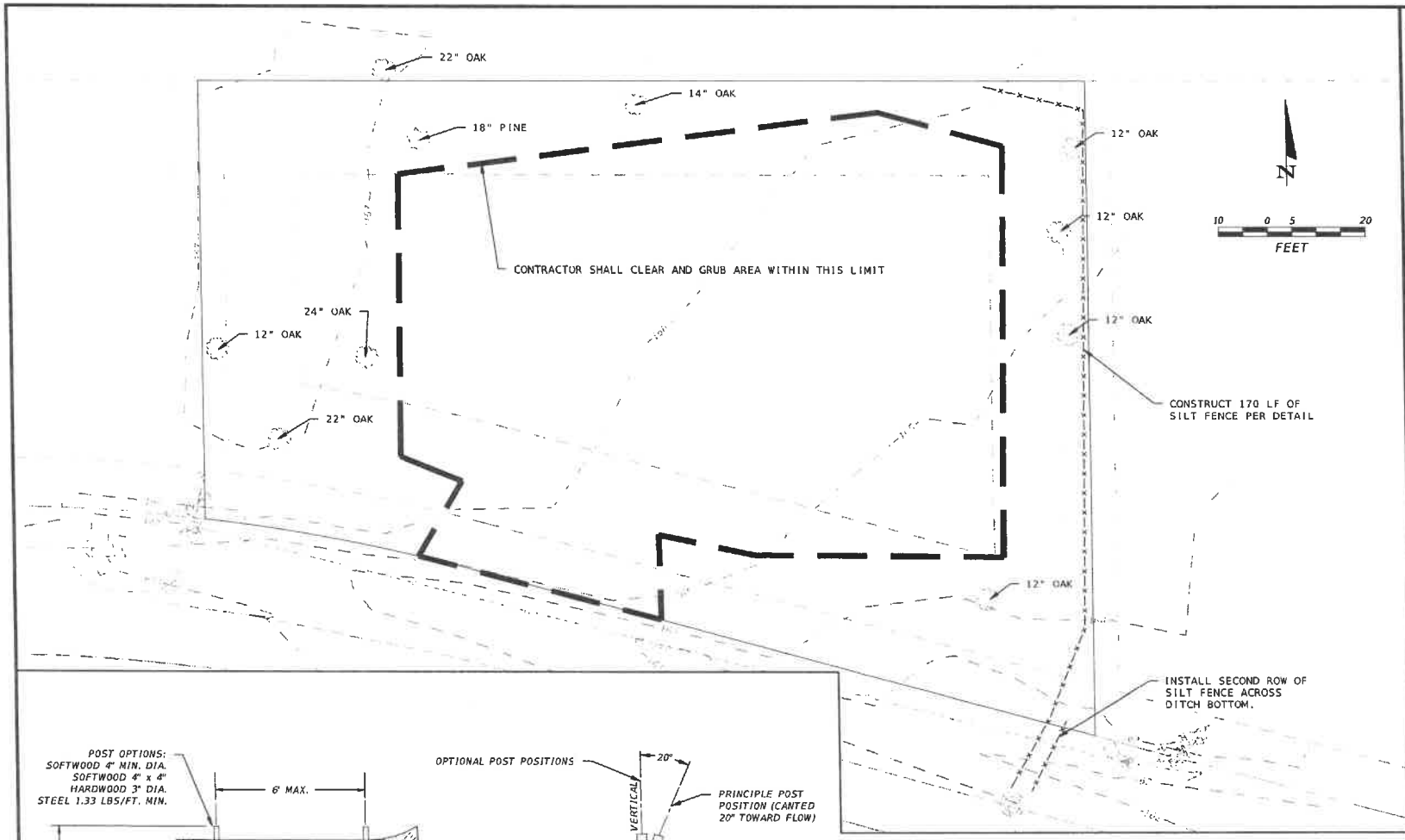

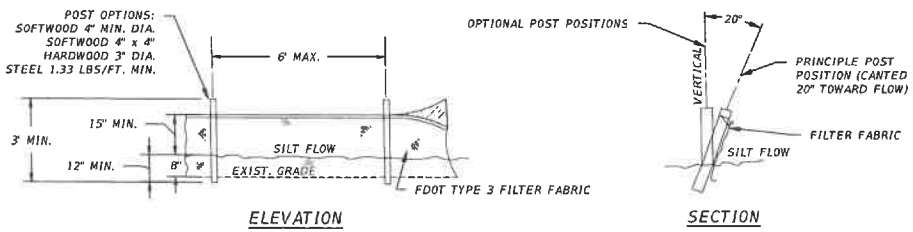

SILT FENCE DETAIL
N.T.S

DEMOLITION NOTES:

1. ALL TREES SHOWN SHALL BE PROTECTED AND REMAIN.
2. ALL BRUSH LOCATED WITHIN CLEARING LIMITS IS UNDER REGULATION SIZE AS STATED IN CITY OF LAKE CITY LAND DEVELOPMENT CODE.

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PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DEMOLITION PLAN
05/21
2021-110PEU
C3

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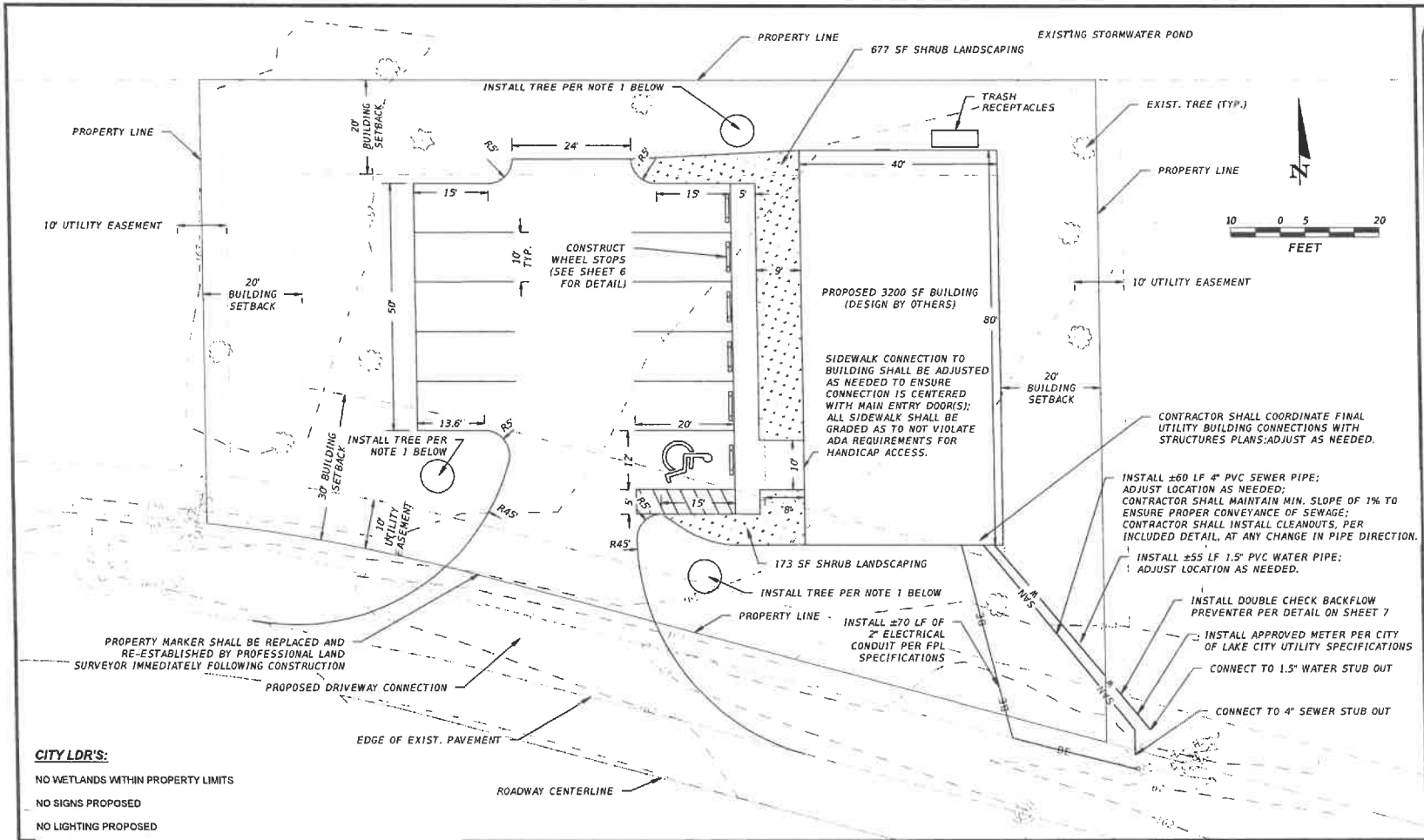

CITY LDR'S:

NO WETLANDS WITHIN PROPERTY LIMITS

NO SIGNS PROPOSED

NO LIGHTING PROPOSED

CURRENT ZONING: RESIDENTIAL OFFICE

TOTAL LOT SIZE: 0.46 AC
COLC LDR MAX BUILDING COVERAGE: 35%
MAX IMPERVIOUS LOT COVERAGE PER SRWMD PERMIT: 20%
PROPOSED LOT COVERAGE: 16%

OFF-STREET PARKING AREA: 5960 SF
LANSCAPING REQUIREMENT : 5960 X 10% = 600 SF
TREE REQUIREMENT: 600/200 = 3 TREES

PARKING REQUIREMENT: 1 SPACE PER 350 SF OF FLOOR AREA = 3000/350 = 9 SPACES
PARKING SPACES PROVIDED: 9
HANDICAP SPACES REQUIRED: 1
HANDICAP SPACES PROVIDED: 1

LANDSCAPING NOTES:

1. TREES SHALL BE A MINIMUM OF FOUR (4) FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING. TREES SHALL NOT BE PLANTED CLOSER THAN SIX (6) FEET TO ANY PUBLIC STREET OR OTHER PUBLIC WORKS, UNLESS THE TREE ROOT SYSTEM IS COMPLETELY CONTAINED WITHIN A BARRIER FOR WHICH THE MINIMUM INTERIOR DIMENSIONS SHALL BE FIVE (5) FEET SQUARE AND FIVE (5) FEET DEEP, AND FOR WHICH THE CONSTRUCTION REQUIREMENTS SHALL BE FOUR (4) INCH THICK CONCRETE REINFORCED WITH #6 ROAD MESH (6 X 6 X 6) OR EQUIVALENT
2. PROPOSED TREE TYPE SHALL BE CHOSEN BY CLIENT FROM THE FOLLOWING CITY OF LAKE CITY'S APPROVED TREE LIST:
   2.1. Live Oak, Laurel Oak, Shumard Oak, Magnolia, Allee Elm, Drake Elm, American Holly or similar cultivars, Sweet Gum, Red Maple, Florida Maple, Winged Elm, Green Ash, Foster's Holly or similar cultivars.
3. CLIENT SHALL PROVIDE DESIRED SHRUB TYPE TO CONTRACTOR FOR INSTALLATION WITHIN DESIGNATED SHRUB LANDSCAPING AREA.
4. LANDSCAPING SHOWN IS MINIMUM REQUIRED PER CITY OF LAKE CITY LAND DEVELOPMENT CODE. ADDITIONAL LANDSCAPING CAN BE ADDED AT THE CLIENT'S REQUEST. CLIENT SHALL COORDINATE ADDITIONALLY DESIRED LANDSCAPING WITH CONTRACTOR.

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DBPR #26000179 / 10611

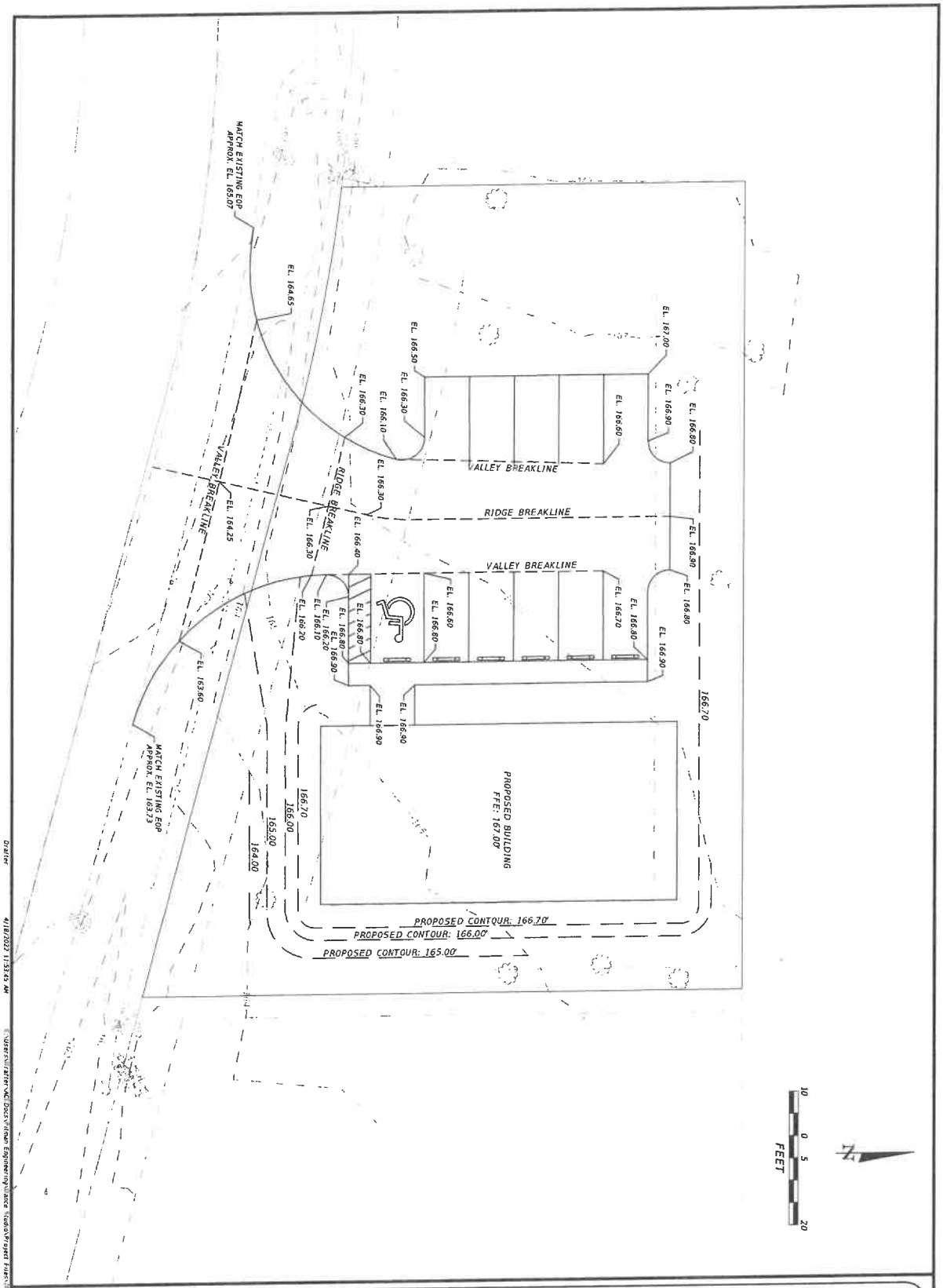
PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
SITE PLAN

SHEET NO.
C4

DATE
(6/21)

JOB NO.
2021-101PEU



SHEET NAME
GRADING PLAN

DATE 06/21
PROJECT # 2021-10PEU
SHEET # C5

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

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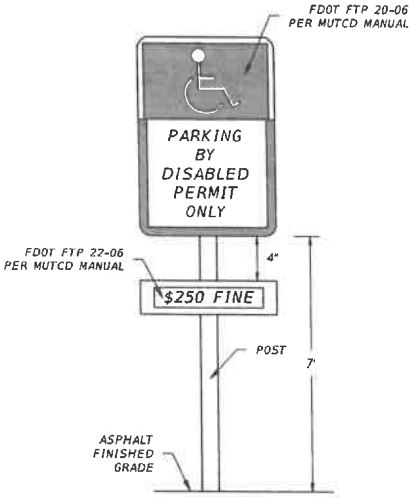
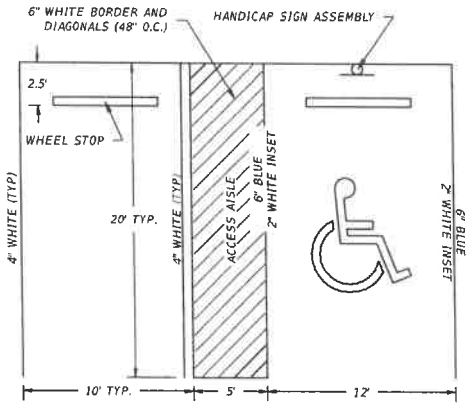


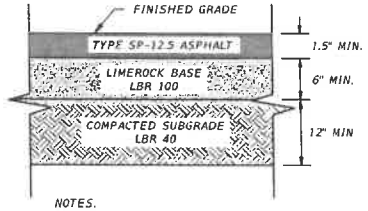


NOTES:

1. SIGN CONSTRUCTION AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.
2. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 FT. HIGH MIN.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

HANDICAP PARKING STALL & SIGN DETAIL

N.T.S

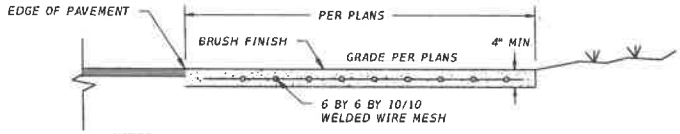


NOTES.

1. LIMEROCK BASE SHALL EXTEND 4" BEYOND EDGE OF ASPHALT

PAVEMENT PROFILE DETAIL

N.T.S

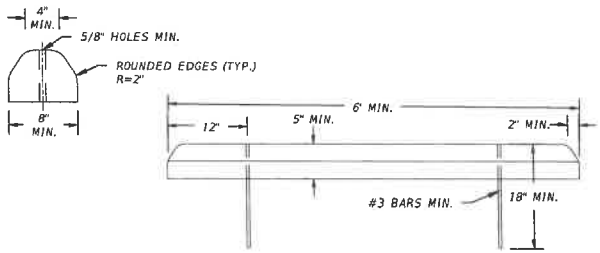


NOTES:

1. CONTRACTOR SHALL TROWEL OR SAW CUT 1/4" CONTRACTION JOINTS NO GREATER THAN 10 FEET APART, FROM CENTER OF JOINT TO CENTER OF JOINT; ALTERNATIVE CONTRACTION JOINT METHODS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

SIDEWALK DETAIL

N.T.S



WHEEL STOP DETAIL

N.T.S

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PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DETAILS
DATE 06/21
PROJECT NUMBER 2021-110PEU
SHEET C6

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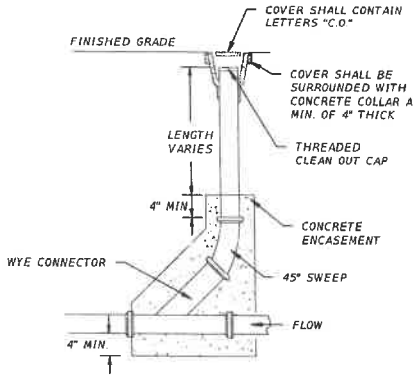
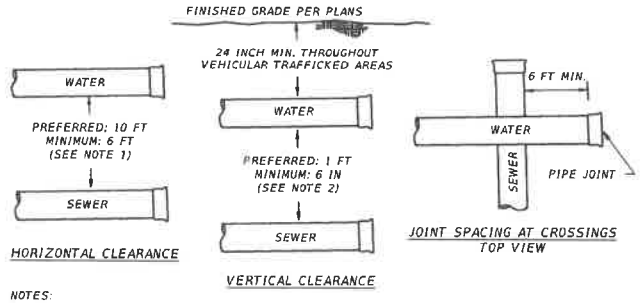


CLEANOUT DETAIL

N.T.S

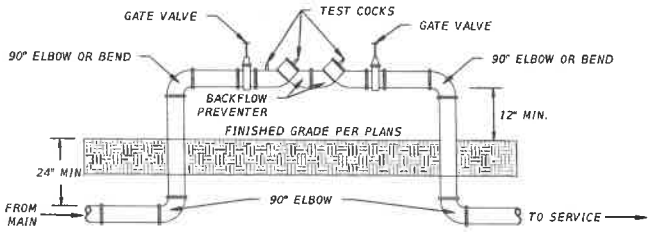


NOTES:

1. CONTRACTOR SHALL MAINTAIN 10 FT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 FT CAN BE USED ONLY WHEN 10 FT IS NOT POSSIBLE
2. CONTRACTOR SHALL MAINTAIN 24 INCH MIN. VERTICAL PIPE COVER THROUGHOUT VEHICULAR TRAFFICKED AREAS; ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT RECOMMENDED COVER IS NOT POSSIBLE.
3. CONTRACTOR SHALL MAINTAIN 1 FT VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 IN CAN BE USED ONLY WHEN 1 FT IS NOT POSSIBLE.
4. WATER PIPE JOINTS SHALL BE A MINIMUM OF 6 FEET FROM NEAREST SEWER PIPE CROSSING.
5. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.

WATER-SEWER SEPARATION DETAILS

N.T.S

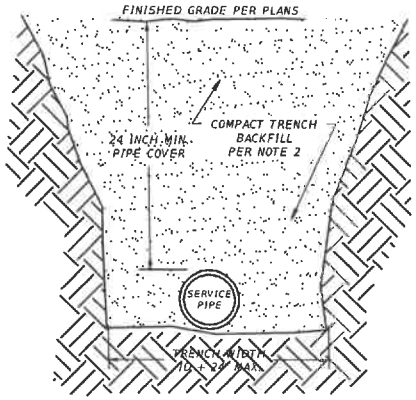


NOTES:

1. ALL PIPE USED FOR BACKFLOW PREVENTER SHALL BE DUCTILE IRON PIPE.
2. NO CONNECTION IS PERMITTED BETWEEN SERVICE METER AND BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF METER.

DOUBLE CHECK BACKFLOW PREVENTER DETAIL

N.T.S



NOTES:

1. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
2. BEDDING ROCK SHALL BE USED TO BACKFILL OVER-EXCAVATED AREAS.
3. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.
4. CONTRACTOR SHALL MAINTAIN DITCH STABILIZATION AND WATER FREE USING BEST MANAGEMENT PRACTICES.

TRENCH CONSTRUCTION DETAIL

N.T.S

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PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DETAILS

DATE 06/21
PROJECT NUMBER 2021-10PEU
SHEET NUMBER C7

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City of Lake City
Water flow report

HYDRANT # & LOCATION: 4424 NW American Lane — DATE: 10/4/2021

TEST BY: Al/Penny — Day: Monday — Time: 9:00 — Minutes: 2

WATER SUPPLIED BY: Municipal

PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	45		
GPM:	1001	0	0

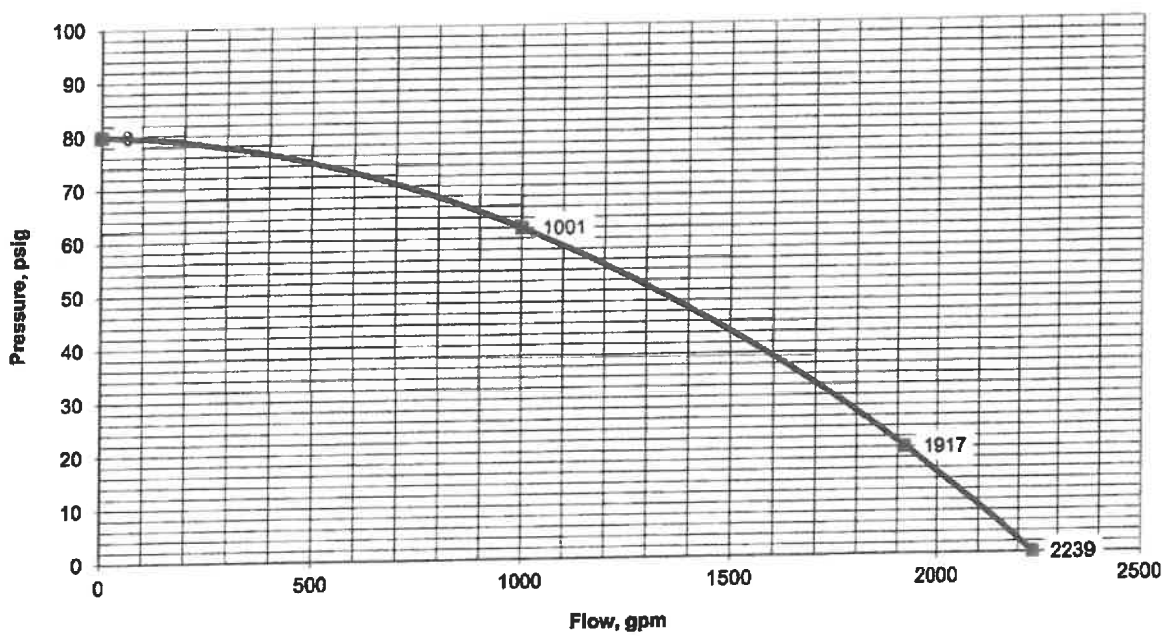
TOTAL FLOW DURING TEST: 1001 GPM

STATIC READING: 80 PSI — RESIDUAL: 62 PSI

RESULTS: AT 20 PSI RESIDUAL 1917 GPM — AT 0 PSI 2239 GPM

ESTIMATED CONSUMPTION: 2001 GAL.

REMARKS:



Fire Flow Requirement: NFPA - 1500 gpm @ 20 psi residual pressure

1917 gpm > 1500 gpm

fire flow sufficient

PITMAN ENGINEERING

SITE PLAN APPLICATION ITEMS 4-7 - DANCE STUDIO

5. Concurrency Impact Analysis

Each of the following are estimates on the predicted capacity required by the proposed development. Per discussions with City department heads, capacity is available for each usage as shown below.

- Water:

  50 students/day x 1.5 gallon/minute x 0.5 minutes of use/student = 37.5 gal/day
  + 2 teachers x 1.5 gal/min x 2 minutes use/teacher = 6.0 gal/day
  Total water used per day = **40.5 gallons per**

- Sewer:

  50 students/day x 1.6 gallon/flush x 1 flush/student = 80 gal/day
  + 2 teachers x 1.6 gal/min x 4 flushes/teacher = 12.8 gal/day
  Total sewage flow per day = **92.8 gallons**

- Transportation:

  50 students/weekday x 1 trip/student = 50 trips/day
  + 2 teachers/weekday x 4 trips/teacher = 8 trips/day
  Total trips generated per day = **58 trips**

- Solid Waste:

  Total solid waste per week = **62 gallons**

6. Comprehensive Plan Consistency Analysis:
The proposed development is consistent with all elements of the City's Comprehensive Plan. Activities to take place fall within the allowance of current Zoning and Land Use categories, via Special Exception. Proposed development will offer a recreational opportunity for the surrounding areas, which is a highlighted item of need within the Comprehensive Plan.

7. Legal Description with Parcel ID
Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, FL.

Columbia County Parcel ID: 34-3S-16-02461-516

Best Regards,

Brian Pitman

Brian Pitman, P.E.

Owner

PITMAN ENGINEERING
206 S Marion Ave • Lake City, FL 32025
386-965-5919
bpitman@pitmanengineering.com
pitmanengineering.com

Dance Studio

Tax Parcel Number: 34-3S-16-02461-516

Legal Description:

Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public record of Columbia county, FL.

Detail by Entity Name

Florida Limited Liability Company
SOUTHERN RHYTHM,LLC

Filing Information

Document Number	L21000357725
FEI/EIN Number	82-0869144
Date Filed	08/09/2021
Effective Date	08/09/2021
State	FL
Status	ACTIVE

Principal Address

1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Mailing Address

1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Registered Agent Name & Address

DIAZ DE ARCE, DALITA C
1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Authorized Person(s) Detail

NONE

Annual Reports

No Annual Reports Filed

Document Images

08/09/2021 -- Florida Limited Liability | View image in PDF format

Prepared by and return to:
Rob Stewart
Lake City Title
426 SW Commerce Drive, Ste 145
Lake City, FL 32025
(386) 758-1880
File No 2021-4245VB

Parcel Identification No 34-3S-16-02461-516

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the **18th day of August, 2021** between **A to Z Enterprises, LLC, a Florida Limited Liability Company**, whose post office address is **6614 NW 50th Lane, Gainesville, FL 32653**, of the County of Alachua, State of Florida, Grantor, to **Southern Rhythm, LLC, a Florida Limited Liability Company**, whose post office address is **1446 SW Cougar Glen Apt 102A, Lake City, FL 32025**, of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

Lot 16, Plantation Village, a subdivision according to the plat thereof recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESS
PRINT NAME: Robert Stewart

WITNESS
PRINT NAME: Susan B Weirich

A to Z Enterprises, LLC, a Florida Limited Liability Company

By: _____
Rizwana Thanawala, Manager

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of (✓) physical presence or ( ) online notarization this 18th day of August, 2021, *Rizwana Thanawala, Manager of A to Z Enterprises, LLC, who is/are personally known to me or has/have produced _____ as identification.

Signature of Notary Public

Notary Public State of Florida
Susan B Weirich
My Commission GG 337396
Expires 05/21/2023

Growth Management
205 North Marion Ave
Lake City, Fl 32055

AUTHORIZED AGENT AFFIDAVIT PLANNING AND ZONING

CITY OF LAKE CITY
Florida's Gateway Est. 1859

Date of acceptance by Growth Management:

I Dalita Diaz de Arce hereby grant authorization to BRIAN PITMAN
(Property Owner Print) (Authorized Agent Print)
to act in my behalf with the City of Lake City Growth Management Department while conducting activities related to Planning and Zoning activities. These specifically include representing the owner(s) of the property(s)

BRIAN PITMAN is to be considered an agent of my planning and
(Authorized Agent Printed Name) zoning activities and therefore, the signature of said agent is binding and causes me to assume all responsibilities connected to or associated with the signature as they may relate to my planning and zoning business.

I Dalita Diaz de Arce believe the City of Lake City of, and agree to
(Owner(s) Printed Name) hold the City of Lake City harmless from, any and all responsibility, claims or other actions arising from or related to the City's acceptance of the above agent's signature for planning and zoning-related activities. I further understand that it is my sole responsibility to grant and terminate any such authorization and to ensure that the City receives timely notice of any such grant or termination.

Dalita Diaz de Arce
Signature of Owner(s)

Brian Pitman
Signature of Agent

****PLEASE NOTE: BOTH SIGNATURES MUST BE NOTARIZED****

Notary for Owner's Signature:

State of Florida County of Columbia

The foregoing was acknowledged before me this 13th day of October, 2021, by Dalita Diaz de Arce, who is personally known to me, or who produced FL DL D236-163-87-552-1 as identification and appeared by means of physical presence ___
Or online notarization___

Therese Quiette Young
Notary Public Signature

THERESE QUIETTE YOUNG
MY COMMISSION EXPIRES
MARCH 10, 2024
#GG 932177
Bonded thru Notary Public Underwriters
NOTARY PUBLIC STATE OF FLORIDA

Print, Type, or Stamp Name of Notary

Notary for Agent's Signature:

State of Florida County of Columbia

The foregoing was acknowledged before me this 26th day of October, 2021, by Brian Pitman who is personally known to me, or who produced ___ as identification and appeared by means of physical presence ___
Or online notarization___

Stephanie A Ambros
Notary Public Signature

NOTARY PUBLIC
Stephanie A Ambros
Expires
06/02/2025
Commission #
HH 137115
STATE OF FLORIDA

Stephanie A Ambros
Print, Type, or Stamp Name of Notary

***The Growth Management Department, at its discretion, may require an owner(s) to personally apply for planning and zoning activities not withstanding any authorization allowing another person to apply for planning and zoning activities on behalf of an owner(s).*

Columbia County Tax Collector

generated on 11/15/2021 11:16:28 AM EST

Tax Record

Last Update: 11/15/2021 11:13:15 AM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02461-516	REAL ESTATE	2021

Mailing Address
A TO Z ENTERPRISES LLC
6614 NW 50TH LANE
GAINESVILLE FL 32653

Property Address
4417 AMERICAN LAKE CITY

GEO Number
343S16-02461-516

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail
NO EXEMPTIONS

Millage Code
001

Escrow Code

Legal Description (click for full description)
34-3S-16 1000/1000.46 Acres LOT 16 PLANTATION VILLAGE S/D. ORB 816-2412, 974-1860, WD 1054-2983.

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	48,142	0	$48,142	$376.23
CITY OF LAKE CITY	4.9000	48,142	0	$48,142	$235.90
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	48,142	0	$48,142	$36.01
LOCAL	3.6430	48,142	0	$48,142	$175.38
CAPITAL OUTLAY	1.5000	48,142	0	$48,142	$72.21
SUWANNEE RIVER WATER MGT DIST	0.3615	48,142	0	$48,142	$17.40
LAKE SHORE HOSPITAL AUTHORITY	0.0000	48,142	0	$48,142	$0.00

Total Millage	18.9675	Total Taxes	$913.13

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	$50.40

Total Assessments	$50.40
Taxes & Assessments	$963.53

If Paid By	Amount Due
11/30/2021	**$924.99**
12/31/2021	$934.62
1/31/2022	$944.26
2/28/2022	$953.89

3/31/2022	$963.53

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Click Here To Pay Now

PAYMENT DATE
01/25/2022

COLLECTION STATION
CustomerService1

RECEIVED FROM

City of Lake City
205 N. Marion Ave
Lake City, FL 32055

BATCH NO.
2022-00000715

RECEIPT NO.
2022-00027126

CASHIER
Chanel Neff

DESCRIPTION
Pitman Engineering LLC Application $200 Variance $200 Special Exemption $200.00

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT
ZF	Zoning Fees Pitman Engineering LLC Application $200 Variance $200 Special Exemption $200.00	$600.00

Payments:

Type	Detail	Amount
Check	1076	$600.00

Total Amount: **$600.00**

Customer Copy

Printed by: Miriam Williams

05/25/2022 01:30:31 PM

CITY OF LAKE CITY Florida's Gateway Est. 1859	GROWTH MANAGEMENT 205 North Marion Ave Lake City, FL 32055 Telephone: (386) 719-5750 E-mail: growthmanagement@lcfla.com	**FOR PLANNING USE ONLY** **Application #** SE-22-01 **Application Fee $200.00** **Receipt No.** 2022-00027126 **Filing Date** 3/7/22 **Completeness Date**

SPECIAL EXCEPTION

A. PROJECT INFORMATION

1. Project Name: Dance Studio
2. Address of Subject Property: 4417 NW American Lane
3. Parcel ID Number(s): 34-3S-16-02461-516
4. Future Land Use Map Designation: Residential - Moderate Density
5. Zoning Designation: Residential Office
6. Acreage: 0.46 AC
7. Existing Use of Property: Unimproved
8. Proposed use of Property: Dance Studio
9. Section of the Land Development Regulations ("LDRs") for which a Special Exception is requested (Provide a Detailed Description):
   LDR 4.10.5 #13 for dance studio in Residential Office zoning.

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Brian Pitman, P.E. Title: Owner of PE
   Company name (if applicable): Pitman Engineering
   Mailing Address: 206 S Marion Ave
   City: Lake City State: FL Zip: 32025
   Telephone (386) 965-5919 Fax:(____)_____ Email: bpitman@pitmanengineering.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): Dalita Diaz de Arce
   Mailing Address: 1446 SW Couger Glen Apt. 102A
   City: Lake City State: Florida Zip: 32025
   Telephone:(____)_____ Fax:(____)_____ Email: dalita.dsdrc@gmail.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved:_____
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property? ☐Yes ☒No
   Future Land Use Map Amendment: ☐Yes_____ ☒No _____
   Future Land Use Map Amendment Application No._____
   Rezoning Amendment: ☐Yes_____ ☒No _____
   Rezoning Amendment Application No. _____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____☒No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
   Variance:☒Yes_____☐No_____
   Variance Application No. unknown at time of application
   Special Exception: ☒Yes_____ ☐No_____
   Special Exception Application No. unknown at time of application

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Analysis of Section 11.3 of the Land Development Regulations ("LDRs"):
   a. Whether the proposed use would be in conformance with the city's comprehensive plan and would have an adverse effect on the comprehensive plan.
   b. Whether the proposed use is compatible with the established land use pattern.
   c. Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets.
   d. Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood.
   e. Whether the proposed use will adversely influence living conditions in the neighborhood.
   f. Whether the proposed use will create or excessively increase traffic congestion or otherwise affect public safety.
   g. Whether the proposed use will create a drainage problem.
   h. Whether the proposed use will seriously reduce light and air to adjacent areas.
   i. Whether the proposed use will adversely affect property values in the adjacent area.
   j. Whether the proposed use will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
   k. Whether the proposed use is out of scale with the needs of the neighborhood or the community

2. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

3. Site Plan – Including, but not limited to the following:
   a. Name, location, owner, and designer of the proposed development.
   b. Present zoning for subject site.
   c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
   d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
   e. Area and dimensions of site (Survey).
   f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
   g. Access to utilities and points of utility hook-up.
   h. Location and dimensions of all existing and proposed parking areas and loading areas.
   i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
   j. Location and size of any lakes, ponds, canals, or other waters and waterways.
   k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
   l. Location of trash receptacles.

4. Stormwater Management Plan—Including the following:
   a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
   b. Proposed finished elevation of each building site and first floor level.
   c. Existing and proposed stormwater management facilities with size and grades.
   d. Proposed orderly disposal of surface water runoff.
   e. Centerline elevations along adjacent streets.
   f. Water management district surface water management permit.

5. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

6. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

7. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

8. Legal Description with Tax Parcel Number (In Microsoft Word Format).

9. Proof of Ownership (i.e. deed).

10. Agent Authorization Form (signed and notarized).

11. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

12. Fee. The application fee for a Special Exception Application is $200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All twelve (12) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Board of Adjustment.

A total of ten (10) copies of proposed Special Exception Application and support material, and a PDF copy on a CD, are required at the time of submittal. See Columbia County submittal requirements for more detail.

Before any Special Exception shall be granted, the Board of Adjustment shall make a specific finding that it is empowered under Article 3 of the Land Development Regulations to grant the Special Exception described in the petition, and that the granting of the Special Exception will not adversely affect the public interest. Before any Special Exception shall be granted, the Board of Adjustment shall further make a determination that the specific rules governing the individual Special Exception, if any, have been met by the petitioner and that, further, satisfactory provision and arrangement has been made.

In granting any Special Exception to the provisions of Article 4 of the Land Development Regulations, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with such regulations, including but not limited to, reasonable time limits within which the action for which the Special Exception requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the Special Exception is granted, shall be deemed a violation of the Land Development Regulations.

The Board of Adjustment requires that the applicant or representative be present at the public hearing to address and answer any questions the Board may have during the public hearing. The application may be continued to future dates if the applicant or representative is not present at the hearing.

The City of Lake City Land Development Regulations require that a sign must be posted on the property ten (10) days prior to the Board to Adjustment hearing date. Once a sign has been posted, it is the property owner's responsibility to notify the Planning and Zoning Department if the sign has been moved, removed from the property, torn down, defaced or otherwise disturbed so the property can be reposted. If the property is not properly posted until all public hearings before the Board of Adjustment are completed, the Board reserves the right to continue such public hearing until such time as the property can be property posted for the required period of time.

There is a thirty (30) day appeal period after the date of the decision. No additional permitting will be issued until that thirty (30) day period has expired.

I (we) hereby certify that all of the above statements and the statements contained in any papers or plans submitted herewith are true and correct to the best of my (our) knowledge and belief.

APPLICANT ACKNOWELDGES THAT THE APPLICANT OR REPRESENTATIVE MUST BE PESENT AT THE PUBLIC HEARING BEFORE THE BOARD OF ADJUSTMENT, OTHERWISE THE REQUEST MAYBE CONTINUED TO A FUTURE HEARING DATE.

Brian Pitman, P.E.

Applicant/Agent Name (Type or Print)

Brian Pitman

Applicant/Agent Signature

11/23/21

Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 23 day of Nov, 2021, by (name of person acknowledging). Brian Pittman

(NOTARY SEAL OR STAMP)

DONALD G SHUGART
Notary Public - State of Florida
Commission # HH 135743
My Comm. Expires Aug 23, 2025
Bonded through National Notary Assn.

Signature of Notary

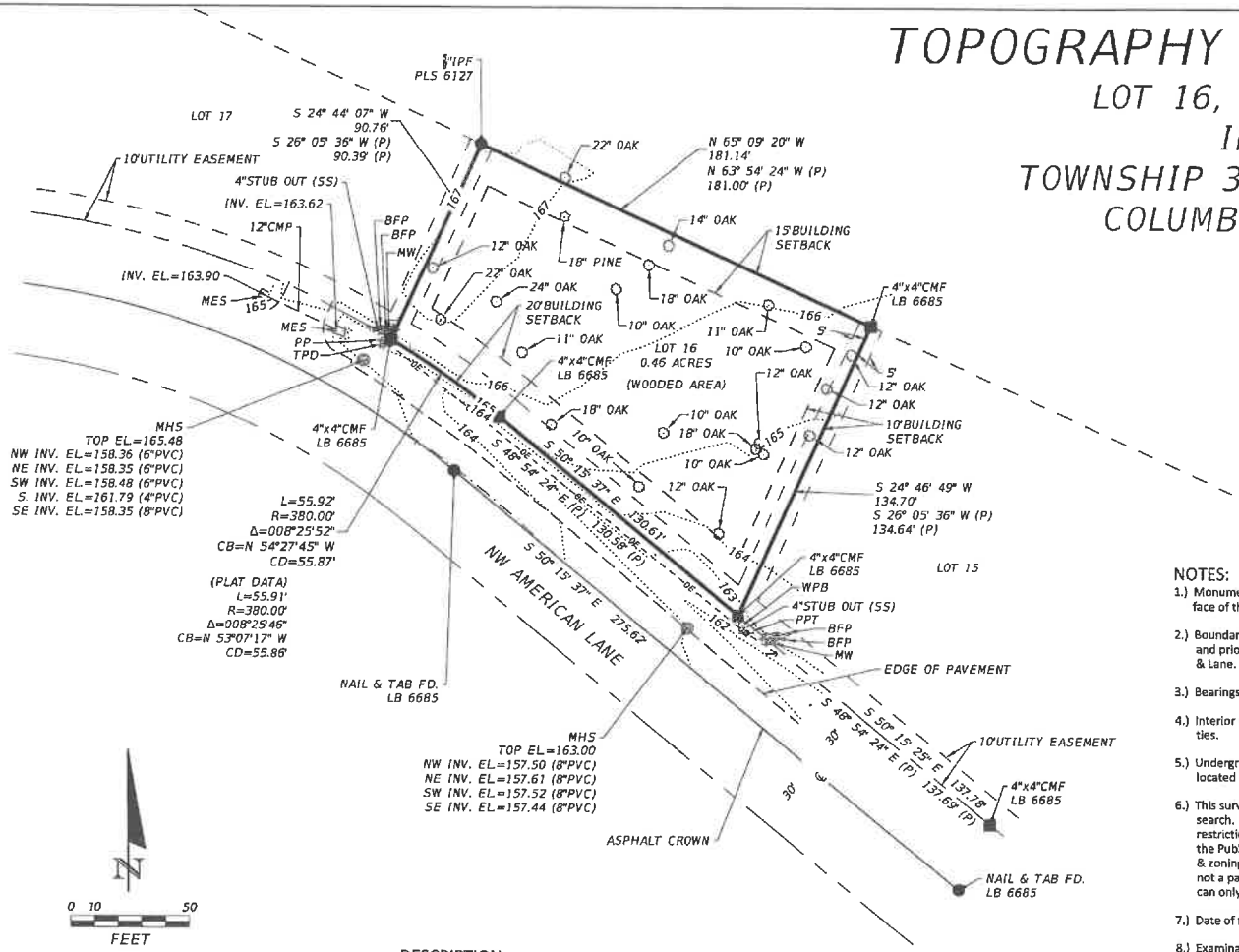
DONALD G SHUGART

Printed Name of Notary

Personally Known _____ OR Produced Identification ✓
Type of Identification Produced FDL

TOPOGRAPHY & BOUNDARY SURVEY

LOT 16, PLANTATION VILLAGE
IN SECTION 34
TOWNSHIP 3 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA



DESCRIPTION:

Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, Florida.

NOTES:

1.) Monumentation is as shown and designated on the face of the plat.

2.) Boundary based on monumentation found in place, and prior survey and subdivision by Bailey, Bishop & Lane.

3.) Bearings based on State Plane Coordinates.

4.) Interior improvements shown were located by field ties.

5.) Underground encroachments, if present, were not located with this survey.

6.) This survey was made without benefit of a title search. There may be additional easements, restrictions, etc. not shown hereon but found in the Public Records. Issues regarding title, land use & zoning, easements & other encumberances are not a part of the scope of a Boundary Survey and can only be revealed with a title search.

7.) Date of field survey completion: May 19, 2021.

8.) Examination of the Flood Insurance Rate Maps (FIRM) for Columbia County shows that, per said maps, the described parcel lies within Flood Zone "X", which according to said maps is outside of the 0.2% chance floodplain (ref: Map No. 12023C0290C).

LEGEND

CMF=CONCRETE MONUMENT FOUND
OE=OVERHEAD ELECTRIC LINE
PLS=PROFESSIONAL LAND SURVEYOR
NE=NORTHEAST
NW=NORTHWEST
℄ =CENTER LINE
SW=SOUTHWEST
SE=SOUTHEAST
PP=POWER POLE
LB=LICENSED BUSINESS
TPD=TELEPHONE PEDESTAL
Δ=DELTA ANGLE, CENTRAL ANGLE
R=RADIUS OF CURVE
FD.=FOUND
L=LENGTH OF CURVE
CB=CHORD BEARING
CD=CHORD DISTANCE
MES=MITERED END SECTION
CMP=CORRUGATED METAL PIPE
EL.=ELEVATION
BM=BENCHMARK
WPB=WIRE PULL BOX
BFP=BACKFLOW PREVENTOR
SS=SANITARY SEWER
MW=METER, WATER
PPT=POWER POLE WITH TRANSFORMER
(P)=PLAT MEASUREMENT
INV.=INVERT
IPF=IRON PIPE FOUND

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA REGISTERED PROFESSIONAL SURVEYOR AND MAPPER

N.S. Comboss, P.S.M.
Florida Reg. No. 4093
DATE: 5/27/2021

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
PH. 386-752-4675
LIC NO. LB8356
2551 BLAIRSTONE PINES DR.
TALLAHASSEE, FL 32301
WWW.NFPS.NET

JOB NO. L210518PIT
CA# 29011

PITMAN ENGINEERING

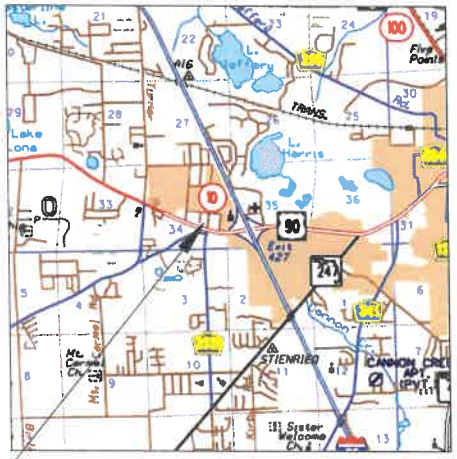
SHEET NO. 1

Alice Geiger 5/27/2021 10:44:53 AM X:\2021\L210518PIT\H.CADD\Survey\SURVRD01.dwg SINGLE PLAN (1-50)

DANCE STUDIO

PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

COLUMBIA COUNTY



PROJECT LOCATION

SHEET INDEX

CIVIL SHEETS

ATTACHMENTS BY OTHERS

SURVEY BY NORTH FLORIDA PROFESSIONAL SERVICES, INC.

PLANS PREPARED FOR:
DANIEL DIAZ DE ARCY, OWNER
(386) 365-4163

CITY OF LAKE CITY PERMIT
NOT FOR CONSTRUCTION

ENGINEER OF RECORD
BRIAN JAMES PITMAN, P.E.
PE LICENSE NUMBER 87495
BJPITMAN@PITMANENGINEERING.COM
(386) 965-9919

FIRM NAME AND CONTACT INFORMATION
PITMAN ENGINEERING
1389 SW ALLEN ST
LAKE CITY, FL 32024
(386) 965-9919
CERTIFICATE OF AUTHORIZATION
EBPR REGISTER # 30011

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
COVER SHEET
DATE 06/21
SHEET # C1
PROJECT # 2021-109EU

GENERAL

1. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), AND CITY OF LAKE CITY LAND DEVELOPMENT STANDARDS/CODES UNLESS OTHERWISE NOTED.
2. CONTRACTOR MUST GET PRIOR APPROVAL, FROM ENGINEER AND/OR OWNER, BEFORE STARTING WORK THAT WILL BE PAID FOR VIA CHANGE ORDER OR PRIOR TO USE OF ALTERNATIVE MATERIALS.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

PRIOR TO START OF CONSTRUCTION

1. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
2. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE PROJECT SITE TO ENSURE THAT ALL PROPOSED WORK WILL FIT AS PLANS INTENT. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY. THE CONTRACTOR, ENGINEER, AND OWNER SHALL WORK TO RESOLVE THE ISSUE AS QUICKLY AND ECONOMICALLY AS POSSIBLE.
5. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
6. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

SURVEY/EXISTING CONDITIONS NOTES

1. BOUNDARY INFORMATION SHOWN WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY NORTH FLORIDA PROFESSIONAL SERVICES, FLORIDA CERTIFICATE NO. 4093.
2. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
3. THE SITE IS LOCATED IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

DURING CONSTRUCTION

1. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
2. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
3. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE OWNER. ENGINEER SHALL APPROVE WASTE LOCATION TO ENSURE LOCATION DOES NOT CHANGE OR IMPEDE STORMWATER CONVEYANCE AS INTENDED BY THE GRADING PLAN.

EROSION CONTROL PLAN & NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO CITY OF LAKE CITY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP's FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS, OR IN ROADSIDE DITCHES.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

POST-CONSTRUCTION

1. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY WHICH INCLUDES HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.

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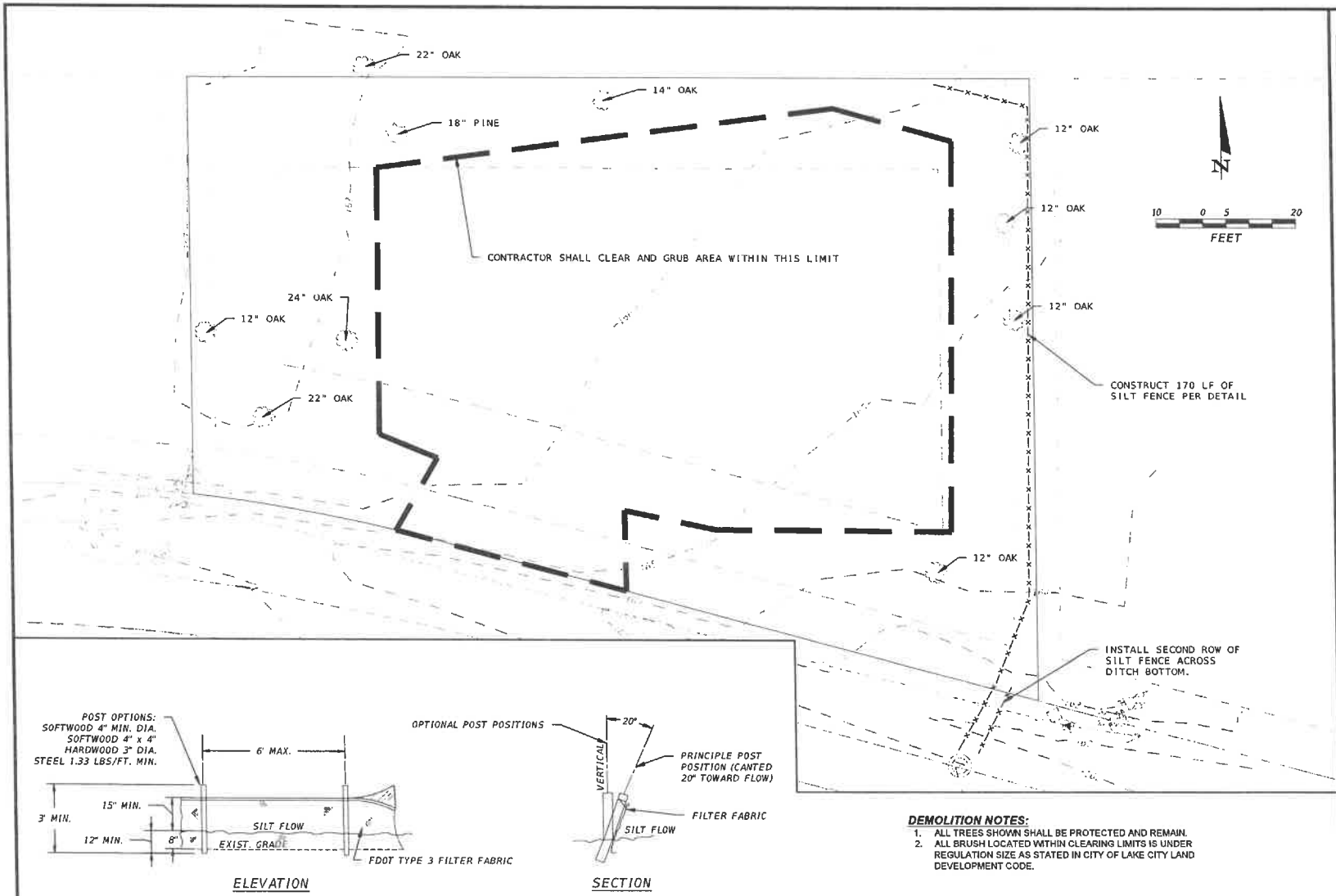
PITMANENGINEERING.COM
CERT. NUMBER: 27 9003

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
NOTES

DATE 06/21
PROJECT NUMBER 2021-10-PEU
SHEET C2



SILT FENCE DETAIL
N.T.S

DEMOLITION NOTES:

1. ALL TREES SHOWN SHALL BE PROTECTED AND REMAIN.
2. ALL BRUSH LOCATED WITHIN CLEARING LIMITS IS UNDER REGULATION SIZE AS STATED IN CITY OF LAKE CITY LAND DEVELOPMENT CODE.

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CERT. NUMBER: F-10615

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DEMOLITION PLAN

DATE	06-21
PROJECT	2021-10PEU
SHEET	C3

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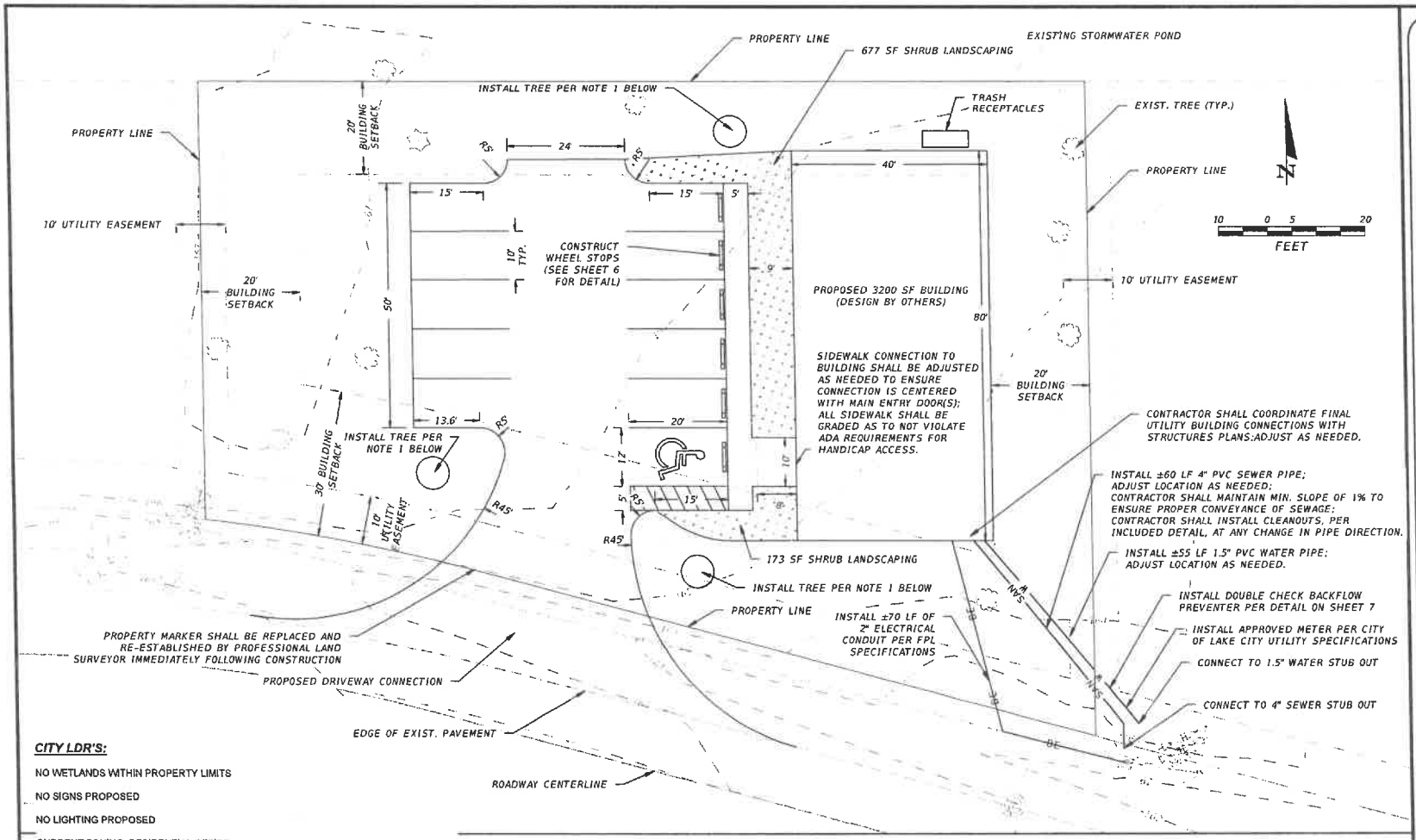

CITY LDR'S:

NO WETLANDS WITHIN PROPERTY LIMITS

NO SIGNS PROPOSED

NO LIGHTING PROPOSED

CURRENT ZONING: RESIDENTIAL OFFICE

TOTAL LOT SIZE: 0.46 AC
COLC LDR MAX BUILDING COVERAGE: 35%
MAX IMPERVIOUS LOT COVERAGE PER SRWMD PERMIT: 20%
PROPOSED LOT COVERAGE: 16%

OFF-STREET PARKING AREA: 5960 SF
LANSCAPING REQUIREMENT : 5960 X 10% = 600 SF
TREE REQUIREMENT: 600/200 = 3 TREES

PARKING REQUIREMENT: 1 SPACE PER 350 SF OF FLOOR AREA = 3000/350 = 9 SPACES
PARKING SPACES PROVIDED: 9
HANDICAP SPACES REQUIRED: 1
HANDICAP SPACES PROVIDED: 1

LANDSCAPING NOTES:

1. TREES SHALL BE A MINIMUM OF FOUR (4) FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING. TREES SHALL NOT BE PLANTED CLOSER THAN SIX (6) FEET TO ANY PUBLIC STREET OR OTHER PUBLIC WORKS, UNLESS THE TREE ROOT SYSTEM IS COMPLETELY CONTAINED WITHIN A BARRIER FOR WHICH THE MINIMUM INTERIOR DIMENSIONS SHALL BE FIVE (5) FEET SQUARE AND FIVE (5) FEET DEEP, AND FOR WHICH THE CONSTRUCTION REQUIREMENTS SHALL BE FOUR (4) INCH THICK CONCRETE REINFORCED WITH #6 ROAD MESH (6 X 6 X 6) OR EQUIVALENT
2. PROPOSED TREE TYPE SHALL BE CHOSEN BY CLIENT FROM THE FOLLOWING CITY OF LAKE CITY'S APPROVED TREE LIST:
   2.1. Live Oak, Laurel Oak, Shumard Oak, Magnolia, Allee Elm, Drake Elm, American Holly or similar cultivars, Sweet Gum, Red Maple, Florida Maple, Winged Elm, Green Ash, Foster's Holly or similar cultivars.
3. CLIENT SHALL PROVIDE DESIRED SHRUB TYPE TO CONTRACTOR FOR INSTALLATION WITHIN DESIGNATED SHRUB LANDSCAPING AREA.
4. LANDSCAPING SHOWN IS MINIMUM REQUIRED PER CITY OF LAKE CITY LAND DEVELOPMENT CODE. ADDITIONAL LANDSCAPING CAN BE ADDED AT THE CLIENT'S REQUEST. CLIENT SHALL COORDINATE ADDITIONALLY DESIRED LANDSCAPING WITH CONTRACTOR.

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(386) 965-5919
PITMANENGINEERING@YAHOO.COM
EMPR ACCREDITED # 1063

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
SITE PLAN

DATE (6/21)
2021-110PEU

SHEET
C4

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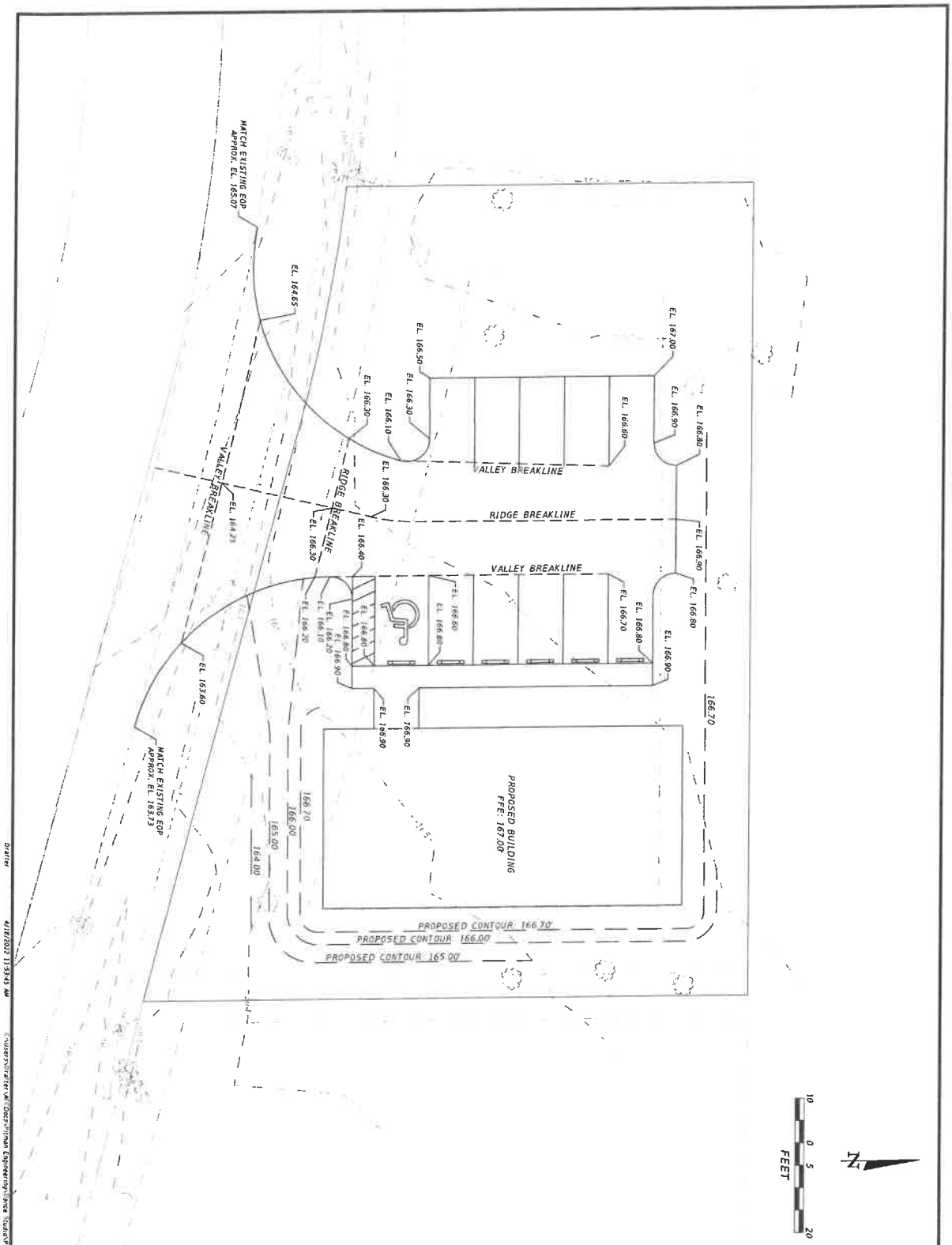

SHEET NAME	PROJECT NAME AND SITE ADDRESS	FIRM NAME AND CONTACT INFORMATION	ENGINEER OF RECORD
GRADING PLAN DATE 06/21 2021-10PEU SHEET C5	DANCE STUDIO PLANTATION VILLAGE SUBDIVISION LAKE CITY, FLORIDA	PITMAN ENGINEERING 206 S MARION AVE LAKE CITY, FL 32024 (386) 965-5919 PITMANENGINEERING.COM DBPR REGISTRY # 35013	BRIAN JAMES PITMAN, P.E. PE LICENSE NUMBER 87495 BPITMAN@PITMANENGINEERING.COM (386) 965-5919

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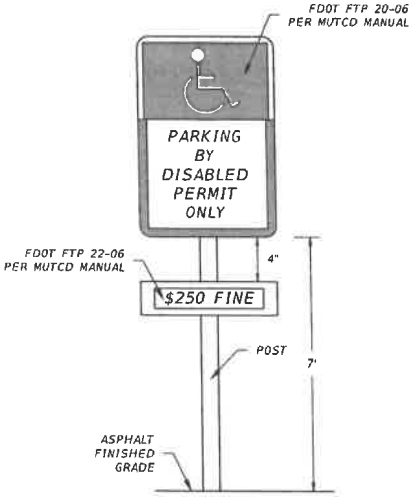
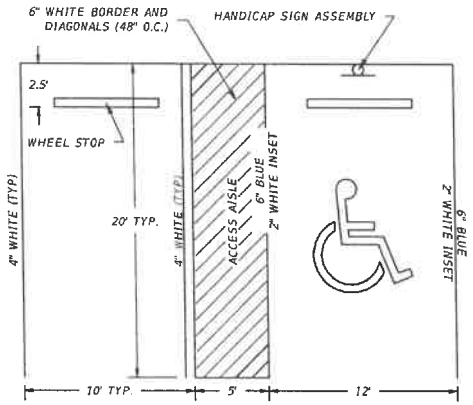


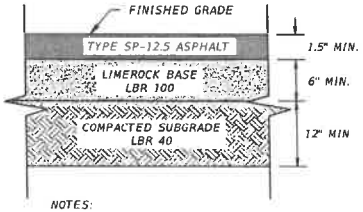


NOTES:

1. SIGN CONSTRUCTION AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.
2. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 FT. HIGH MIN.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

HANDICAP PARKING STALL & SIGN DETAIL

N.T.S

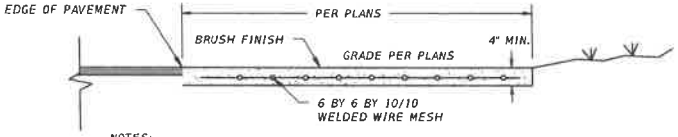


NOTES:

1. LIMEROCK BASE SHALL EXTEND 4" BEYOND EDGE OF ASPHALT

PAVEMENT PROFILE DETAIL

N.T.S

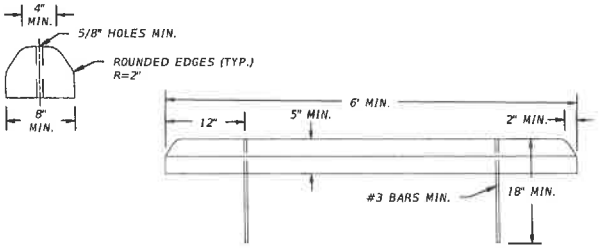


NOTES:

1. CONTRACTOR SHALL TROWEL OR SAW CUT 1/4" CONTRACTION JOINTS NO GREATER THAN 10 FEET APART, FROM CENTER OF JOINT TO CENTER OF JOINT; ALTERNATIVE CONTRACTION JOINT METHODS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

SIDEWALK DETAIL

N.T.S



WHEEL STOP DETAIL

N.T.S

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(386) 965-5919
PITMAN ENGINEERING CERTIFICATE OF AUTHORIZATION #5304
(FBPE CERTIFICATE # 5995)

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DETAILS
DATE 06/21
PROJECT NUMBER 2021-10PEU
SHEET C6

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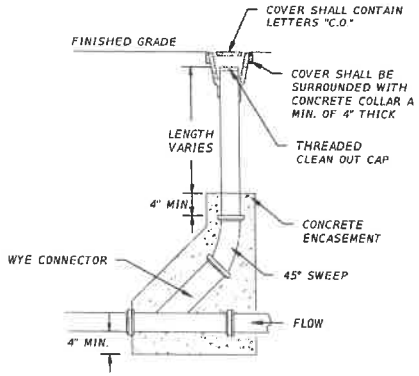
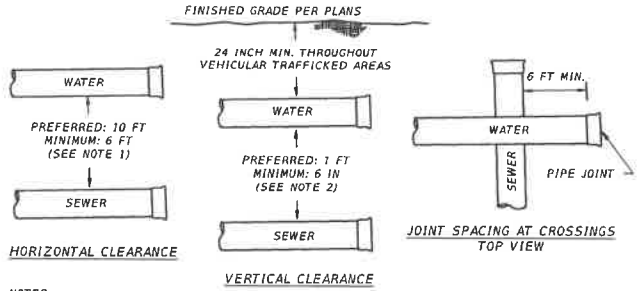


CLEANOUT DETAIL

N.T.S

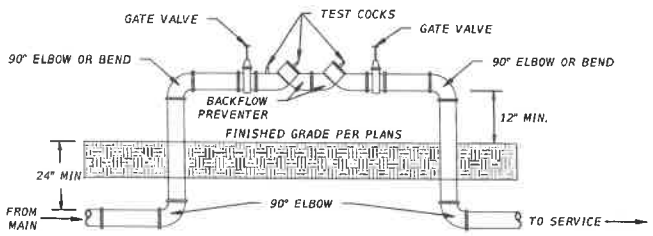


NOTES:

1. CONTRACTOR SHALL MAINTAIN 10 FT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 FT CAN BE USED ONLY WHEN 10 FT IS NOT POSSIBLE.
2. CONTRACTOR SHALL MAINTAIN 24 INCH MIN. VERTICAL PIPE COVER THROUGHOUT VEHICULAR TRAFFICKED AREAS; ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT RECOMMENDED COVER IS NOT POSSIBLE.
3. CONTRACTOR SHALL MAINTAIN 1 FT VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 IN CAN BE USED ONLY WHEN 1 FT IS NOT POSSIBLE.
4. WATER PIPE JOINTS SHALL BE A MINIMUM OF 6 FEET FROM NEAREST SEWER PIPE CROSSING.
5. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.

WATER-SEWER SEPARATION DETAILS

N.T.S

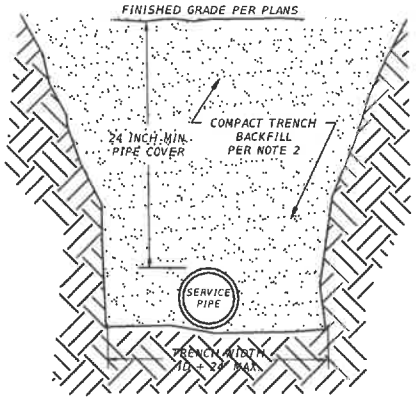


NOTES:

1. ALL PIPE USED FOR BACKFLOW PREVENTER SHALL BE DUCTILE IRON PIPE.
2. NO CONNECTION IS PERMITTED BETWEEN SERVICE METER AND BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF METER.

DOUBLE CHECK BACKFLOW PREVENTER DETAIL

N.T.S



NOTES:

1. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
2. BEDDING ROCK SHALL BE USED TO BACKFILL OVER-EXCAVATED AREAS.
3. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.
4. CONTRACTOR SHALL MAINTAIN DITCH STABILIZATION AND WATER FREE USING BEST MANAGEMENT PRACTICES.

TRENCH CONSTRUCTION DETAIL

N.T.S

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EBPR NUMBER EB 31911

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DETAILS

DATE 06/21
PROJECT 2021-109PEU

SHEET # C7

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City of Lake City
Water flow report

HYDRANT # & LOCATION: 4424 NW American Lane — DATE: 10/4/2021

TEST BY: Al/Penny — Day: Monday — Time: 9:00 — Minutes: 2

WATER SUPPLIED BY: Municipal

PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	45		
GPM:	1001	0	0

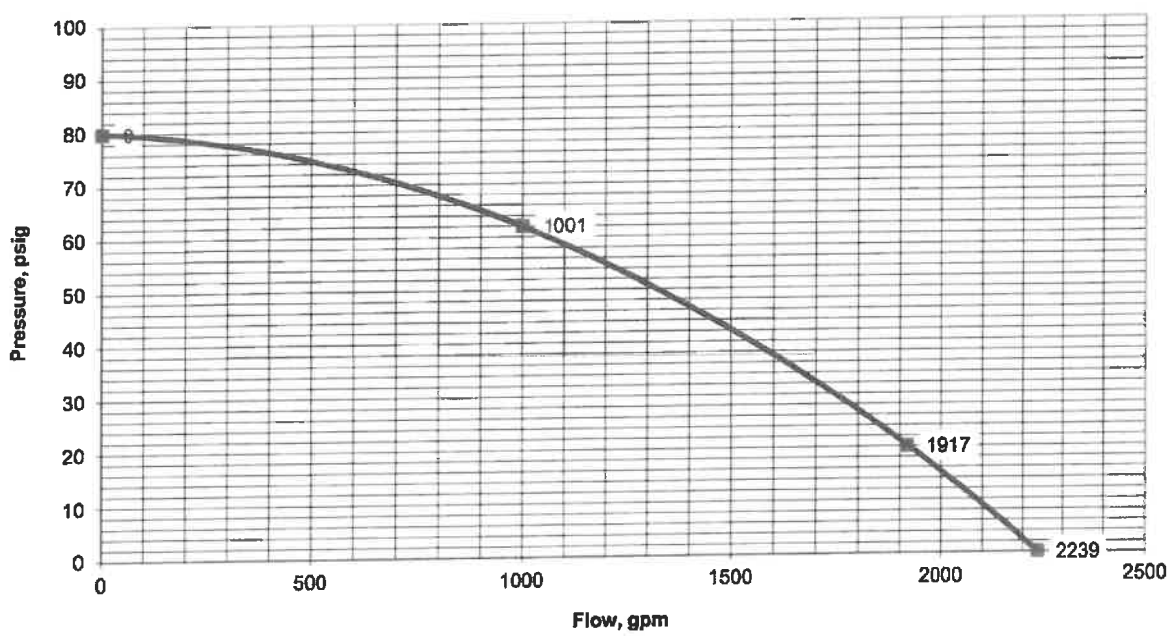
TOTAL FLOW DURING TEST: 1001 GPM

STATIC READING: 80 PSI — RESIDUAL: 62 PSI

RESULTS: AT 20 PSI RESIDUAL 1917 GPM — AT 0 PSI 2239 GPM

ESTIMATED CONSUMPTION: 2001 GAL.

REMARKS:



Fire Flow Requirement: NFPA - 1500 gpm @ 20 psi residual pressure

1917 gpm > 1500 gpm

fire flow sufficient

PITMAN ENGINEERING

SITE PLAN APPLICATION ITEMS 4-7 - DANCE STUDIO

5. Concurrency Impact Analysis

Each of the following are estimates on the predicted capacity required by the proposed development. Per discussions with City department heads, capacity is available for each usage as shown below.

- Water:

  50 students/day x 1.5 gallon/minute x 0.5 minutes of use/student = 37.5 gal/day
  + 2 teachers x 1.5 gal/min x 2 minutes use/teacher = 6.0 gal/day
  Total water used per day = **40.5 gallons per**

- Sewer:

  50 students/day x 1.6 gallon/flush x 1 flush/student = 80 gal/day
  + 2 teachers x 1.6 gal/min x 4 flushes/teacher = 12.8 gal/day
  Total sewage flow per day = **92.8 gallons**

- Transportation:

  50 students/weekday x 1 trip/student = 50 trips/day
  + 2 teachers/weekday x 4 trips/teacher = 8 trips/day
  Total trips generated per day = **58 trips**

- Solid Waste:

  Total solid waste per week = **62 gallons**

6. Comprehensive Plan Consistency Analysis:
The proposed development is consistent with all elements of the City's Comprehensive Plan. Activities to take place fall within the allowance of current Zoning and Land Use categories, via Special Exception. Proposed development will offer a recreational opportunity for the surrounding areas, which is a highlighted item of need within the Comprehensive Plan.

7. Legal Description with Parcel ID
Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, FL.

Columbia County Parcel ID: 34-3S-16-02461-516

Best Regards,

Brian Pitman

Brian Pitman, P.E.

Owner

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pitmanengineering.com

Planning and Zoning Board, the Planning and Zoning Board shall submit its report and recommendations concerning the proposed special exception to the Board of Adjustment. Before making a recommendation concerning the proposed special exception, the Planning and Zoning Board shall hold a public hearing to consider the proposed special exception. The Planning and Zoning Board shall fix a reasonable time for the hearing, give public notice thereof, as well as due notice to the parties involved. At the hearing, any party may appear in person or by agent.

Where the designated members of the Planning and Zoning Board perform the functions of the Board of Adjustment, the provisions of this Section shall not apply.

3. Findings. Before any special exception shall be granted, the Board of Adjustment shall make a specific finding that it is empowered under Article 4 of these land development regulations to grant the special exception described in the petition, and that the granting of the special exception would promote the public health, safety, morals, order, comfort, convenience, appearance, prosperity or the general welfare. Before any special exception shall be granted, the Board of Adjustment shall further make a determination that the specific rules governing the individual special exception, if any, have been met by the petitioner and that, further, satisfactory provision and arrangement has been made concerning the following matters, where applicable:

   a. Ingress and egress to property and proposed structures thereon with particular reference to automotive and pedestrian safety and convenience, traffic flow and control, and access in case of fire or catastrophe.

   b. Offstreet parking and loading areas, where required, with particular attention to the items in (a) above and the economic, noise, glare, or odor effects of the special exception on adjoining properties and properties generally in the district.

   c. Refuse and service areas, with particular reference to the items in (a) and (b) above.

   d. Utilities, with reference to locations, availability, and compatibility.

   e. Screening and buffering with reference to type, dimensions, and character.

   f. Signs, if any, and proposed exterior lighting with reference to glare, traffic safety, economic effects, and compatibility and harmony with properties in the district.

   g. Required yards and other open space.

   h. Considerations relating to general compatibility with adjacent properties and other property in the district including but not limited to:

      (1) Conformity with the Comprehensive Plan and the effects upon the Comprehensive Plan;

      (2) The existing land use pattern;

      (3) The impact of the proposed use upon the load on public facilities such as schools, utilities, and streets;

      (4) Changed or changing conditions which find the proposed use to be advantageous to the community and the neighborhood;

      (5) The impact of the proposed use upon living conditions in the neighborhood;

      (6) The impact of the proposed use upon traffic congestion or other public safety matters;

(7) The impact of the proposed use upon drainage;

(8) The impact of the proposed use upon light and air to adjacent area;

(9) The impact of the proposed use upon property values in the adjacent area;

(10) The impact of the proposed use upon the improvement or development of adjacent property in accordance with existing regulations; and

(11) The impact of the proposed use with regard to the scale of needs of the neighborhood or the community.

4. Limitations on subsequent written petition for a special exception. No written petition by an owner of real property for a special exception for a particular parcel of property, or part thereof, shall be filed with the Land Development Regulation Administrator until the expiration of twelve (12) calendar months from the date of denial of a written petition for a special exception for such property, or part thereof, unless the Board of Adjustment specifically waives said waiting period based upon a consideration of the following factors:

a. The new written petition constitutes a proposed special exception different from the one (1) proposed in the denied written petition.

b. Failure to waive said twelve (12) month waiting period constitutes a hardship to the applicant resulting from mistake, inadvertence, or newly discovered matters of consideration.

SECTION 11.3 VARIANCES, GENERAL

The specific provisions of this Section apply to the following portions of these land development regulations. Not all portions of these land development regulations provide for variances to the requirements contained therein. This is due to the inappropriateness of granting variances to such specific regulations as, but not limited to, the use of land, hazardous building requirements and historic site designation.

11.3.1 Variances to Zoning Regulations. The Board of Adjustment shall have power to authorize upon appeal such variance from the terms of these land development regulations as will not be contrary to the public interest and where, owing to conditions peculiar to the property and not the result of the actions of the applicant, a literal enforcement of these land development regulations would result in unnecessary and undue hardship on the land.

In granting any variance to the provisions of Article 4 of these land development regulations, the Board of Adjustment may prescribe appropriate conditions and safeguards in conformity with such regulations, including but not limited to, reasonable time limits within which the action for which variance is requested shall be begun or completed, or both. Violation of such conditions and safeguards, when made a part of the terms under which the variance is granted, shall be deemed a violation of these land development regulations.

Under no circumstance shall the Board of Adjustment grant a variance to permit a use not permitted under the terms of these land development regulations in the zoning district involved, or any use expressly or by implication prohibited by the terms of these land development regulations in the zoning district.

No nonconforming use of neighboring lands, structures, or buildings in the same zoning district and no permitted use of lands, structures, or buildings in other zoning districts shall be considered grounds for the authorization of a variance.

PITMAN ENGINEERING

SPECIAL EXCEPTION APPLICATION – SECTION D – DANCE STUDIO

1. Comprehensive Plan Consistency Analysis:

   a. Proposed development is an approved use under existing land use and zoning.

   b. Proposed development is an approved use under existing land use and zoning.

   c. Proposed use will not alter population density pattern.

   d. Proposed use will provide youth with extracurricular activities and exercise.

   e. Parcel under proposed use is within commercial subdivision geared for generating similar type businesses.

   f. Proposed use is not expected to create enough traffic to adversely alter roadway level of service.

   g. Proposed design utilizes existing stormwater pond where development and water treatment has previously been accounted for.

   h. Proposed use will not reduce light or air quality to adjacent areas.

   i. Proposed use expected to improve adjacent property values.

   j. Proposed use not expected to be a deterrent to adjacent properties' development(s).

   k. Proposed use provides a much needed alternative for physical exercise and study of the performing arts.

Dance Studio

Tax Parcel Number: 34-3S-16-02461-516

Legal Description:

Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public record of Columbia county, FL.

Prepared by and return to:
Rob Stewart
Lake City Title
426 SW Commerce Drive, Ste 145
Lake City, FL 32025
(386) 758-1880
File No 2021-4245VB

Parcel Identification No 34-3S-16-02461-516

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the **18th day of August, 2021** between **A to Z Enterprises, LLC, a Florida Limited Liability Company**, whose post office address is **6614 NW 50th Lane, Gainesville, FL 32653**, of the County of Alachua, State of Florida, Grantor, to **Southern Rhythm, LLC, a Florida Limited Liability Company**, whose post office address is **1446 SW Cougar Glen Apt 102A, Lake City, FL 32025,** of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

Lot 16, Plantation Village, a subdivision according to the plat thereof recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESS
PRINT NAME: Robert Stewart

WITNESS
PRINT NAME: Susan B Weirich

A to Z Enterprises, LLC, a Florida Limited Liability Company

By: _____
Rizwana Thanawala, Manager

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of (✓) physical presence or ( ) online notarization this 18th day of August, 2021, *Rizwana Thanawala, Manager of A to Z Enterprises, LLC, who is/are personally known to me or has/have produced _____ as identification.

Signature of Notary Public

Notary Public State of Florida
Susan B Weirich
My Commission GG 337396
Expires 05/21/2023

Detail by Entity Name

Florida Limited Liability Company
SOUTHERN RHYTHM,LLC

Filing Information

Document Number	L21000357725
FEI/EIN Number	82-0869144
Date Filed	08/09/2021
Effective Date	08/09/2021
State	FL
Status	ACTIVE

Principal Address

1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Mailing Address

1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Registered Agent Name & Address

DIAZ DE ARCE, DALITA C
1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Authorized Person(s) Detail

NONE

Annual Reports

No Annual Reports Filed

Document Images

08/09/2021 -- Florida Limited Liability | View image in PDF format

Growth Management
205 North Marion Ave
Lake City, Fl 32055

AUTHORIZED AGENT AFFIDAVIT PLANNING AND ZONING

CITY OF LAKE CITY
Florida's Gateway Est. 1859

Date of acceptance by Growth Management:

I Dalita Diaz de Arce hereby grant authorization to BRIAN PITMAN
(Property Owner Print) (Authorized Agent Print)
to act in my behalf with the City of Lake City Growth Management Department while conducting activities related to Planning and Zoning activities. These specifically include representing the owner(s) of the property(s)

BRIAN PITMAN is to be considered an agent of my planning and
(Authorized Agent Printed Name) zoning activities and therefore, the signature of said agent is binding and causes me to assume all responsibilities connected to or associated with the signature as they may relate to my planning and zoning business.

I, Dalita Diaz de Arce, believe the City of Lake City of, and agree to
(Owner(s) Printed Name) hold the City of Lake City harmless from, any and all responsibility, claims or other actions arising from or related to the City's acceptance of the above agent's signature for planning and zoning-related activities. I further understand that it is my sole responsibility to grant and terminate any such authorization and to ensure that the City receives timely notice of any such grant or termination.

Dalita Diaz de Arce
Signature of Owner(s)

Brian Pitman
Signature of Agent

****PLEASE NOTE: BOTH SIGNATURES MUST BE NOTARIZED****

Notary for Owner's Signature:

State of Florida County of Columbia

The foregoing was acknowledged before me this 13th day of October, 2021, by Dalita Diaz de Arce, who is personally known to me, or who produced FL DL D236-163-87-552-1 as identification and appeared by means of physical presence ___
Or online notarization___

Therese Quiette Young
Notary Public Signature

THERESE QUIETTE YOUNG
MY COMMISSION EXPIRES MARCH 10, 2024
#GG 932177
Bonded thru Notary Public Underwriters
NOTARY PUBLIC STATE OF FLORIDA

Print, Type, or Stamp Name of Notary

Notary for Agent's Signature:

State of Florida County of Columbia

The foregoing was acknowledged before me this 26th day of October, 2021, by Brian Pitman who is personally known to me, or who produced ___ as identification and appeared by means of physical presence

Or online notarization___

Stephanie A. Ambros
Notary Public Signature

NOTARY PUBLIC
Expires 06/02/2025
Stephanie A. Ambros
My Commission # HH 137115
STATE OF FLORIDA

Stephanie A. Ambros
Print, Type, or Stamp Name of Notary

*****The Growth Management Department, at its discretion, may require an owner(s) to personally apply for planning and zoning activities not withstanding any authorization allowing another person to apply for planning and zoning activities on behalf of an owner(s).***

Columbia County Tax Collector

generated on 11/15/2021 11:16:28 AM EST

Tax Record

Last Update: 11/15/2021 11:13:15 AM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02461-516	REAL ESTATE	2021

Mailing Address
A TO Z ENTERPRISES LLC
6614 NW 50TH LANE
GAINESVILLE FL 32653

Property Address
4417 AMERICAN LAKE CITY

GEO Number
343S16-02461-516

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail
NO EXEMPTIONS

Millage Code
001

Escrow Code

Legal Description (click for full description)
34-3S-16 1000/1000.46 Acres LOT 16 PLANTATION VILLAGE S/D. ORB 816-2412, 974-1860, WD 1054-2983.

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	48,142	0	$48,142	$376.23
CITY OF LAKE CITY	4.9000	48,142	0	$48,142	$235.90
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	48,142	0	$48,142	$36.01
LOCAL	3.6430	48,142	0	$48,142	$175.38
CAPITAL OUTLAY	1.5000	48,142	0	$48,142	$72.21
SUWANNEE RIVER WATER MGT DIST	0.3615	48,142	0	$48,142	$17.40
LAKE SHORE HOSPITAL AUTHORITY	0.0000	48,142	0	$48,142	$0.00

Total Millage	18.9675	Total Taxes	$913.13

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	$50.40

Total Assessments	$50.40
Taxes & Assessments	$963.53

If Paid By	Amount Due
11/30/2021	**$924.99**
12/31/2021	$934.62
1/31/2022	$944.26
2/28/2022	$953.89

3/31/2022	$963.53

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Click Here To Pay Now

PAYMENT DATE
01/25/2022

COLLECTION STATION
CustomerService1

RECEIVED FROM

City of Lake City
205 N. Marion Ave
Lake City, FL 32055

BATCH NO.
2022-00000715

RECEIPT NO.
2022-00027126

CASHIER
Chanel Neff

DESCRIPTION
Pitman Engineering LLC Application $200 Variance $200 Special Exemption $200.00

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT
ZF	Zoning Fees Pitman Engineering LLC Application $200 Variance $200 Special Exemption $200.00	$600.00

Payments:

Type	Detail	Amount
Check	1076	$600.00

Total Amount: **$600.00**

Customer Copy

Printed by: Miriam Williams

05/25/2022 01:30:31 PM

GROWTH MANAGEMENT
205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY
Application # SPR 22-02
Application Fee: $200.00
Receipt No. 2022-00027126
Filing Date 3/7/22
Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Dance Studio
2. Address of Subject Property: 4417 NW American Lane
3. Parcel ID Number(s): 34-3S-16-02461-516
4. Future Land Use Map Designation: Residential - Moderate Density
5. Zoning Designation: Residential Office
6. Acreage: 0.46 AC
7. Existing Use of Property: Unimproved
8. Proposed use of Property: Dance Studio
9. Type of Development (Check All That Apply):
   - ( ) Increase of floor area to an existing structure: Total increase of square footage _____
   - (X) New construction: Total square footage 3200 SF
   - ( ) Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Brian Pitman, P.E. Title: Owner of PE
   Company name (if applicable): Pitman Engineering
   Mailing Address: 206 S Marion Ave
   City: Lake City State: FL Zip: 32025
   Telephone: (386) 965-5919 Fax: (____) _____ Email: bpitman@pitmanengineering.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
3. If the applicant is agent for the property owner*.
   Property Owner Name (title holder): Dalita Diaz de Arce
   Mailing Address: 1446 SW Couger Glen Apt. 102A
   City: Lake City State: Florida Zip: 32025
   Telephone: (____) _____ Fax: (____) _____ Email: dalita.dsdrc@gmail.com

   PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.
   ***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
   If yes, list the names of all parties involved:_____
   If yes, is the contract/option contingent or absolute: ☐ Contingent ☐Absolute
2. Has a previous application been made on all or part of the subject property? ☐Yes ☒No
   Future Land Use Map Amendment: ☐Yes_____ ☒No_____
   Future Land Use Map Amendment Application No._____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐Yes_____ ☒No_____
   Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No._____
   Variance:☒Yes_____ ☐No_____
   Variance Application No. unknown at time of application
   Special Exception: ☒Yes_____ ☐No_____
   Special Exception Application No. unknown at time of application

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.

2. Site Plan – Including, but not limited to the following:
   a. Name, location, owner, and designer of the proposed development.
   b. Present zoning for subject site.
   c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
   d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
   e. Area and dimensions of site (Survey).
   f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
   g. Access to utilities and points of utility hook-up.
   h. Location and dimensions of all existing and proposed parking areas and loading areas.
   i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
   j. Location and size of any lakes, ponds, canals, or other waters and waterways.
   k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
   l. Location of trash receptacles.
   m. For multiple-family, hotel, motel, and mobile home park site plans:
      i. Tabulation of gross acreage.
      ii. Tabulation of density.
      iii. Number of dwelling units proposed.
      iv. Location and percent of total open space and recreation areas.
      v. Percent of lot covered by buildings.

vi. Floor area of dwelling units.
vii. Number of proposed parking spaces.
viii. Street layout.
ix. Layout of mobile home stands (for mobile home parks only).

3. Stormwater Management Plan—Including the following:
   a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
   b. Proposed finished elevation of each building site and first floor level.
   c. Existing and proposed stormwater management facilities with size and grades.
   d. Proposed orderly disposal of surface water runoff.
   e. Centerline elevations along adjacent streets.
   f. Water management district surface water management permit.

4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

6. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

7. Legal Description with Tax Parcel Number (In Word Format).

8. Proof of Ownership (i.e. deed).

9. Agent Authorization Form (signed and notarized).

10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

11. Fee. The application fee for a Site and Development Plan Application is $200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Brian Pitman, P.E.

Applicant/Agent Name (Type or Print)

Brian Pitman — 11/23/21

Applicant/Agent Signature — Date

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature — Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 23 day of NOV, 20 21, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

DONALD G SHUGART
Notary Public - State of Florida
Commission # HH 135743
My Comm. Expires Aug 23, 2025
Bonded through National Notary Assn.

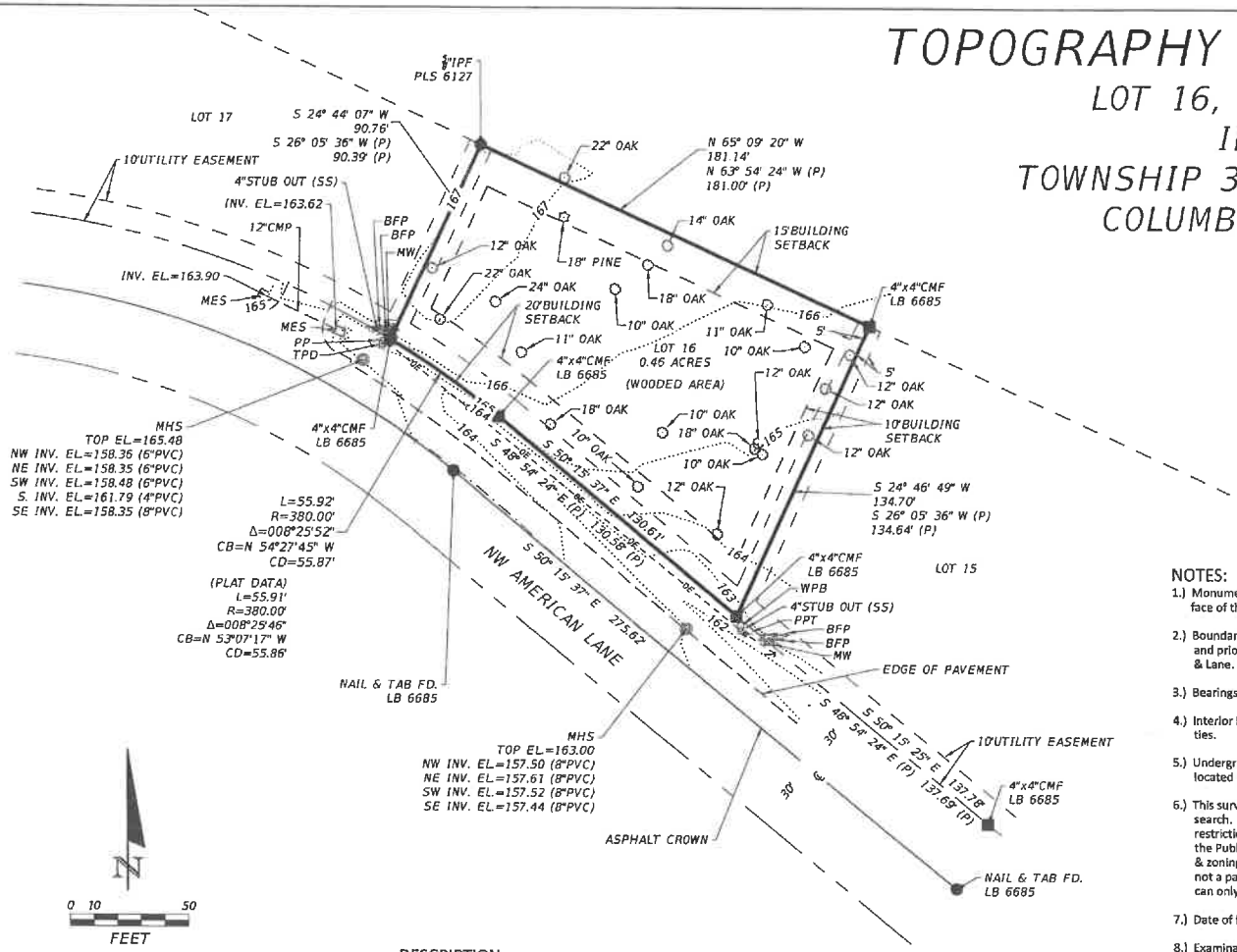
Signature of Notary

DONALD G SHUGART
Printed Name of Notary

Personally Known _____ OR Produced Identification ✓
Type of Identification Produced FL DL

TOPOGRAPHY & BOUNDARY SURVEY

LOT 16, PLANTATION VILLAGE
IN SECTION 34
TOWNSHIP 3 SOUTH, RANGE 16 EAST
COLUMBIA COUNTY, FLORIDA



LEGEND

CMF=CONCRETE MONUMENT FOUND
OE=OVERHEAD ELECTRIC LINE
PLS=PROFESSIONAL LAND SURVEYOR
NE=NORTHEAST
NW=NORTHWEST
℄ =CENTER LINE
SW=SOUTHWEST
SE=SOUTHEAST
PP=POWER POLE
LB=LICENSED BUSINESS
TPD=TELEPHONE PEDESTAL
Δ=DELTA ANGLE, CENTRAL ANGLE
R=RADIUS OF CURVE
FD.=FOUND
L=LENGTH OF CURVE
CB=CHORD BEARING
CD=CHORD DISTANCE
MES=MITERED END SECTION
CMP=CORRUGATED METAL PIPE
EL.=ELEVATION
BM=BENCHMARK
WPB=WIRE PULL BOX
BFP=BACKFLOW PREVENTOR
SS=SANITARY SEWER
MW=METER, WATER
PPT=POWER POLE WITH TRANSFORMER
(P)=PLAT MEASUREMENT
INV.=INVERT
IPF=IRON PIPE FOUND

NOTES:

1.) Monumentation is as shown and designated on the face of the plat.

2.) Boundary based on monumentation found in place, and prior survey and subdivision by Bailey, Bishop & Lane.

3.) Bearings based on State Plane Coordinates.

4.) Interior improvements shown were located by field ties.

5.) Underground encroachments, if present, were not located with this survey.

6.) This survey was made without benefit of a title search. There may be additional easements, restrictions, etc. not shown hereon but found in the Public Records. Issues regarding title, land use & zoning, easements & other encumberances are not a part of the scope of a Boundary Survey and can only be revealed with a title search.

7.) Date of field survey completion: May 19, 2021.

8.) Examination of the Flood Insurance Rate Maps (FIRM) for Columbia County shows that, per said maps, the described parcel lies within Flood Zone "X", which according to said maps is outside of the 0.2% chance floodplain (ref: Map No. 12023C0290C).

DESCRIPTION:

Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, Florida.

NOT VALID WITHOUT THE SIGNATURE AND ORIGINAL RAISED SEAL OF A FLORIDA REGISTERED PROFESSIONAL SURVEYOR AND MAPPER

N.S. Combass, P.S.M.
Florida Reg. No. 4093
DATE: 5/27/2021

REVISIONS			
DATE	DESCRIPTION	DATE	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC.
P.O. BOX 3823
LAKE CITY, FL 32056
PH. 386-752-4675
LIC NO. LB8356
2551 BLAIRSTONE PINES DR.
TALLAHASSEE, FL 32301
WWW.NFPS.NET

JOB NO. L210518PIT
CA# 29011

PITMAN ENGINEERING

SHEET NO. 1

Alice Geiger 5/27/2021 10:44:53 AM X:\2021\L210518PIT\H.CADD\Survey\SURVRD01.dwg SINGLE PLAN (1-50)

DANCE STUDIO

PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

COLUMBIA COUNTY

PROJECT LOCATION

SHEET INDEX

CIVIL SHEETS

ATTACHMENTS BY OTHERS

SURVEY BY NORTH FLORIDA PROFESSIONAL SERVICES, INC.

PLANS PREPARED FOR:
DANIEL DIAZ DE ARCY, OWNER
(386) 365-4163

CITY OF LAKE CITY PERMIT
NOT FOR CONSTRUCTION

ENGINEER OF RECORD
BRIAN JAMES PITMAN, P.E.
PE LICENSE NUMBER 74495
BPITMAN@PITMANENGINEERING.COM
(386) 965-5919

FIRM NAME AND CONTACT INFORMATION
PITMAN ENGINEERING
344 S HARLOW AVE
LAKE CITY, FL 32024
(386) 965-5919
PITMANENGINEERING@YAHOO.COM
EBPR REGISTER # 30803

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
COVER SHEET
DATE 06/21
PROJECT NUMBER 2021-10PEU
SHEET NUMBER C1

GENERAL

1. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), AND CITY OF LAKE CITY LAND DEVELOPMENT STANDARDS/CODES UNLESS OTHERWISE NOTED.
2. CONTRACTOR MUST GET PRIOR APPROVAL, FROM ENGINEER AND/OR OWNER, BEFORE STARTING WORK THAT WILL BE PAID FOR VIA CHANGE ORDER OR PRIOR TO USE OF ALTERNATIVE MATERIALS.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

PRIOR TO START OF CONSTRUCTION

1. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
2. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE PROJECT SITE TO ENSURE THAT ALL PROPOSED WORK WILL FIT AS PLANS INTENT. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY. THE CONTRACTOR, ENGINEER, AND OWNER SHALL WORK TO RESOLVE THE ISSUE AS QUICKLY AND ECONOMICALLY AS POSSIBLE.
5. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
6. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

SURVEY/EXISTING CONDITIONS NOTES

1. BOUNDARY INFORMATION SHOWN WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY NORTH FLORIDA PROFESSIONAL SERVICES, FLORIDA CERTIFICATE NO. 4093.
2. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
3. THE SITE IS LOCATED IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

DURING CONSTRUCTION

1. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
2. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
3. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE OWNER. ENGINEER SHALL APPROVE WASTE LOCATION TO ENSURE LOCATION DOES NOT CHANGE OR IMPEDE STORMWATER CONVEYANCE AS INTENDED BY THE GRADING PLAN.

EROSION CONTROL PLAN & NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO CITY OF LAKE CITY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP's FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS, OR IN ROADSIDE DITCHES.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES. THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

POST-CONSTRUCTION

1. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY WHICH INCLUDES HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.

ENGINEER OF RECORD
BRIAN JAMES PITMAN, P.E.
PE LICENSE NUMBER #1995
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(386) 965-5919

FIRM NAME AND CONTACT INFORMATION
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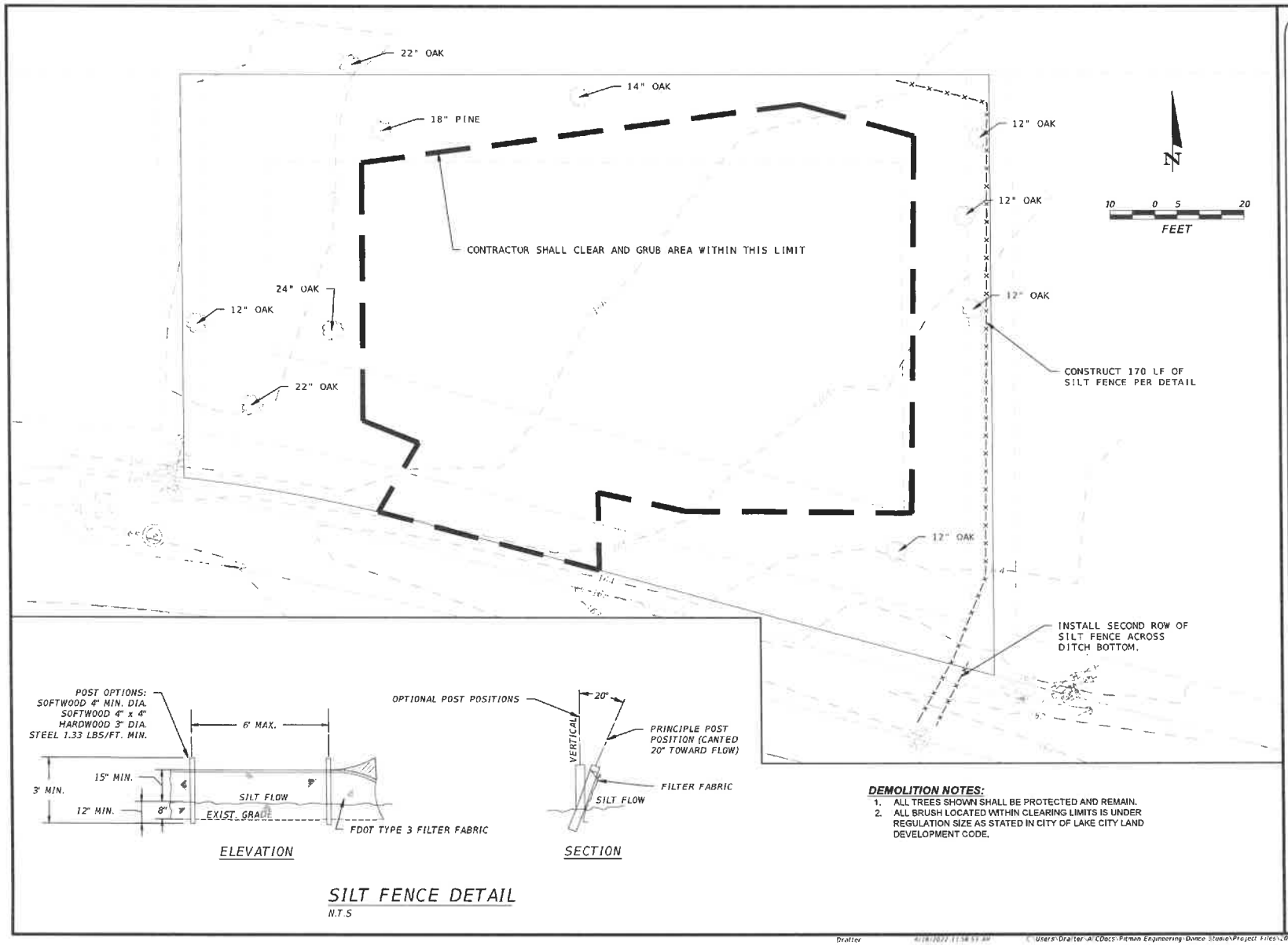
308 S HAMILTON AVE
LAKE CITY, FL 32024
(386) 965-5919
PITMANENGINEERING.COM
EMPR REGISTRY # 30613

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
NOTES
DATE 06/21
PROJECT NUMBER 2021-10PEU
SHEET # C2



SILT FENCE DETAIL
N.T.S

DEMOLITION NOTES:

1. ALL TREES SHOWN SHALL BE PROTECTED AND REMAIN.
2. ALL BRUSH LOCATED WITHIN CLEARING LIMITS IS UNDER REGULATION SIZE AS STATED IN CITY OF LAKE CITY LAND DEVELOPMENT CODE.

ENGINEER OF RECORD
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FBL LICENSE NUMBER #8495
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204 S HARLEM AVE
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DOPR REGISTRY # 8821

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DEMOLITION PLAN
DATE 06/21
PROJ. NO. 2021-10PEU
SHEET C3

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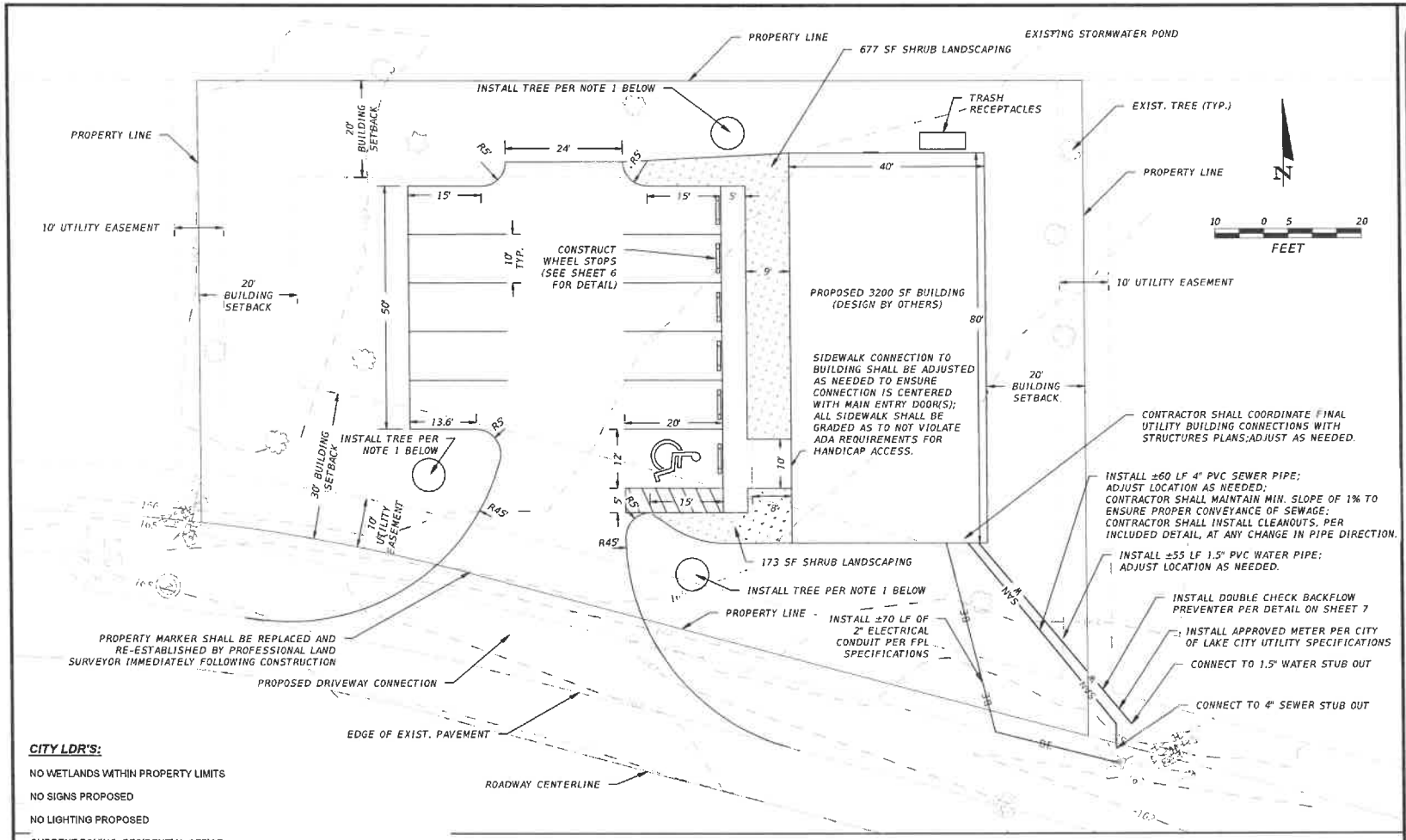

CITY LDR'S:

NO WETLANDS WITHIN PROPERTY LIMITS

NO SIGNS PROPOSED

NO LIGHTING PROPOSED

CURRENT ZONING: RESIDENTIAL OFFICE

TOTAL LOT SIZE: 0.46 AC
COLC LDR MAX BUILDING COVERAGE: 35%
MAX IMPERVIOUS LOT COVERAGE PER SRWMD PERMIT: 20%
PROPOSED LOT COVERAGE: 16%

OFF-STREET PARKING AREA: 5980 SF
LANSCAPING REQUIREMENT : 5980 X 10% = 600 SF
TREE REQUIREMENT: 600/200 = 3 TREES

PARKING REQUIREMENT: 1 SPACE PER 350 SF OF FLOOR AREA = 3000/350 = 9 SPACES
PARKING SPACES PROVIDED: 9
HANDICAP SPACES REQUIRED: 1
HANDICAP SPACES PROVIDED: 1

LANDSCAPING NOTES:

1. TREES SHALL BE A MINIMUM OF FOUR (4) FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING. TREES SHALL NOT BE PLANTED CLOSER THAN SIX (6) FEET TO ANY PUBLIC STREET OR OTHER PUBLIC WORKS, UNLESS THE TREE ROOT SYSTEM IS COMPLETELY CONTAINED WITHIN A BARRIER FOR WHICH THE MINIMUM INTERIOR DIMENSIONS SHALL BE FIVE (5) FEET SQUARE AND FIVE (5) FEET DEEP, AND FOR WHICH THE CONSTRUCTION REQUIREMENTS SHALL BE FOUR (4) INCH THICK CONCRETE REINFORCED WITH #6 ROAD MESH (6 X 6 X 6) OR EQUIVALENT
2. PROPOSED TREE TYPE SHALL BE CHOSEN BY CLIENT FROM THE FOLLOWING CITY OF LAKE CITY'S APPROVED TREE LIST:
   2.1. Live Oak, Laurel Oak, Shumard Oak, Magnolia, Allee Elm, Drake Elm, American Holly or similar cultivars, Sweat Gum, Red Maple, Florida Maple, Winged Elm, Green Ash, Foster's Holly or similar cultivars.
3. CLIENT SHALL PROVIDE DESIRED SHRUB TYPE TO CONTRACTOR FOR INSTALLATION WITHIN DESIGNATED SHRUB LANDSCAPING AREA.
4. LANDSCAPING SHOWN IS MINIMUM REQUIRED PER CITY OF LAKE CITY LAND DEVELOPMENT CODE. ADDITIONAL LANDSCAPING CAN BE ADDED AT THE CLIENT'S REQUEST. CLIENT SHALL COORDINATE ADDITIONALLY DESIRED LANDSCAPING WITH CONTRACTOR.

ENGINEER OF RECORD
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PITMAN ENGINEERING
295 S MARION AVE
LAKE CITY, FL 32024
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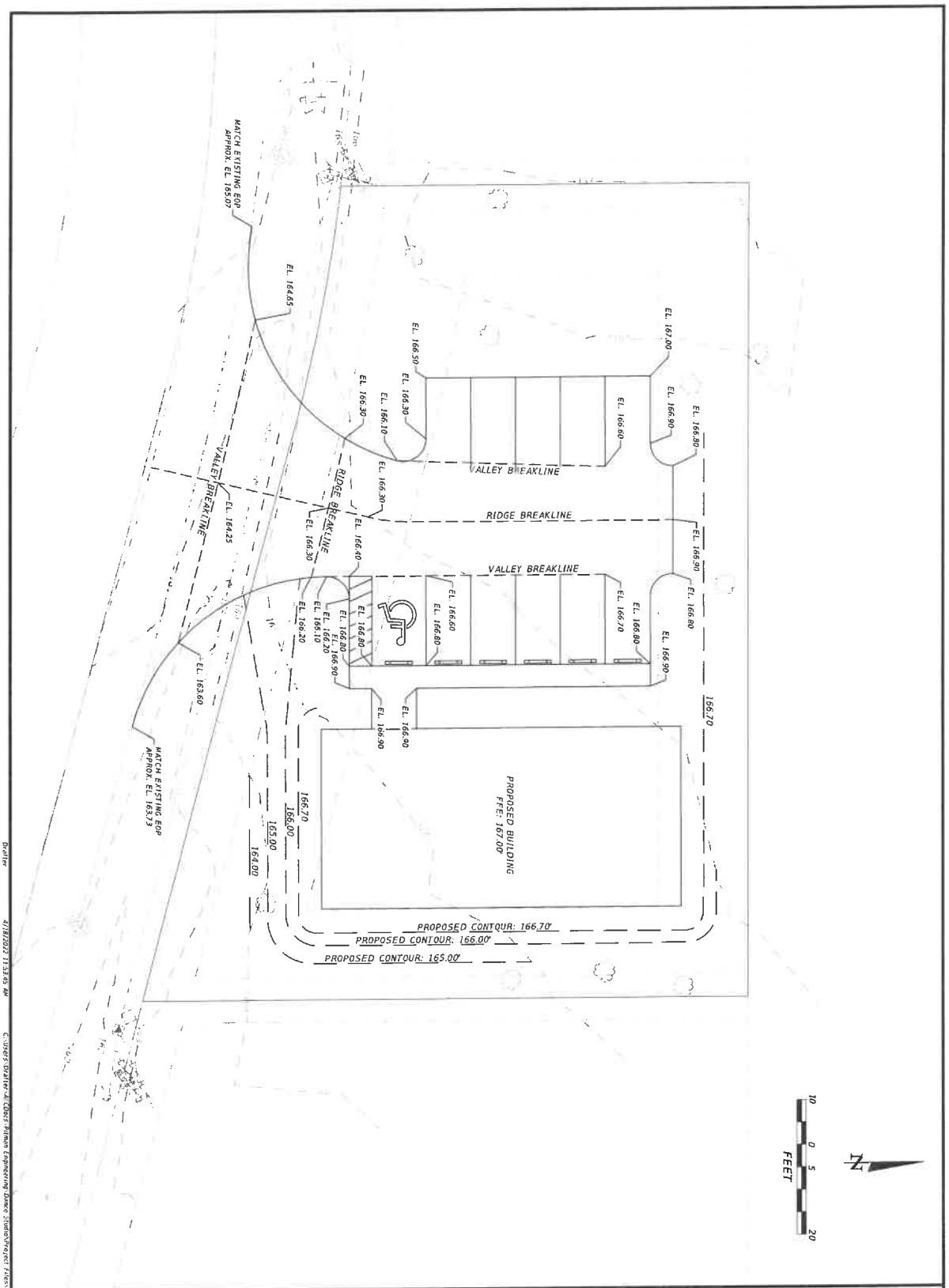
PITMAN@PITMANENGINEERING.COM
DBPR REGISTRY # 9861

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME: SITE PLAN
DATE: 06/21
JOB NO.: 2021-10PEU
SHEET: C4



SHEET NAME	PROJECT NAME AND SITE ADDRESS	FIRM NAME AND CONTACT INFORMATION	ENGINEER OF RECORD
GRADING PLAN DATE 06/21 2021-10PEU C5	DANCE STUDIO PLANTATION VILLAGE SUBDIVISION LAKE CITY, FLORIDA	PITMAN ENGINEERING 206 S MARION AVE LAKE CITY, FL 32024 (386) 965-5919 PITMANENGINEERING.COM DBPR REGISTRY # 35015	BRIAN JAMES PITMAN, P.E. PE LICENSE NUMBER 87495 BPITMAN@PITMANENGINEERING.COM (386) 965-5919

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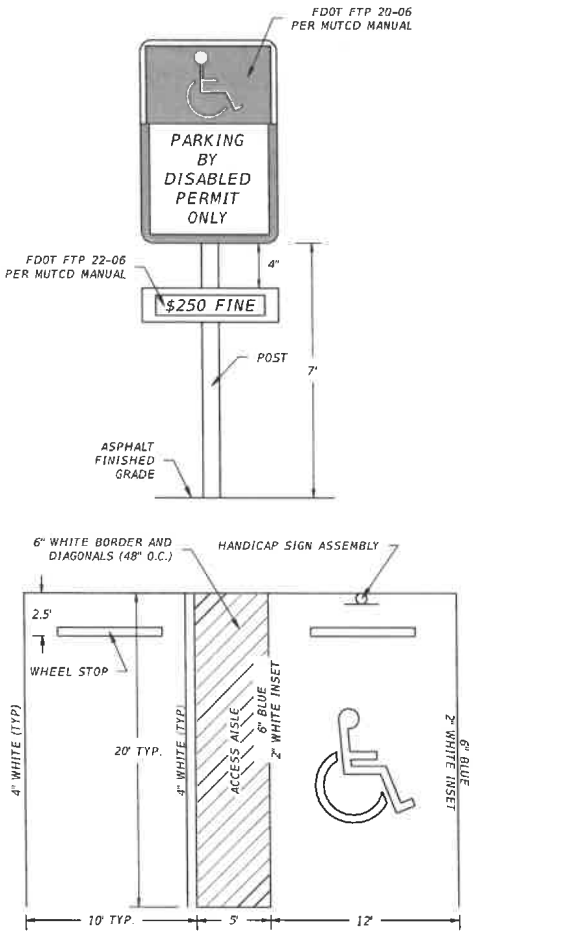
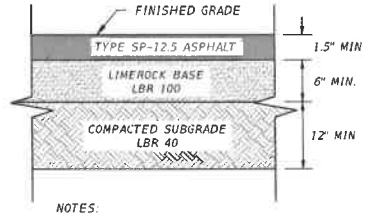


NOTES:

1. SIGN CONSTRUCTION AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.
2. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3 FT. HIGH MIN.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

HANDICAP PARKING STALL & SIGN DETAIL

N.T.S

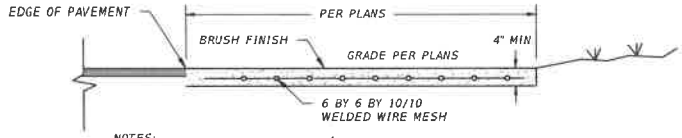


NOTES:

1. LIMEROCK BASE SHALL EXTEND 4" BEYOND EDGE OF ASPHALT

PAVEMENT PROFILE DETAIL

N.T.S

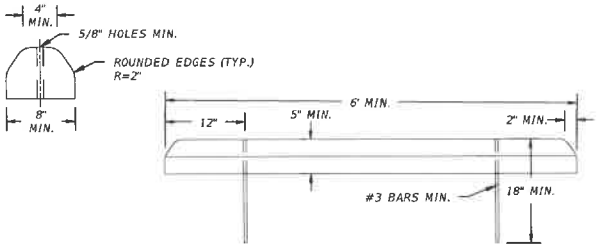


NOTES:

1. CONTRACTOR SHALL TROWEL OR SAW CUT 1/4" CONTRACTION JOINTS NO GREATER THAN 10 FEET APART, FROM CENTER OF JOINT TO CENTER OF JOINT; ALTERNATIVE CONTRACTION JOINT METHODS SHALL BE APPROVED BY ENGINEER PRIOR TO USE.

SIDEWALK DETAIL

N.T.S



WHEEL STOP DETAIL

N.T.S

ENGINEER OF RECORD
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(386) 965-5919
PITMANENGINEERING.COM
DBPR REGISTRY # 9965

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DETAILS
SHEET NO.
C6
DATE
06/21
PROJECT NO.
2021-10PEU

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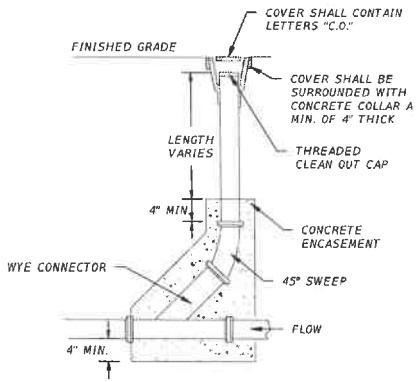
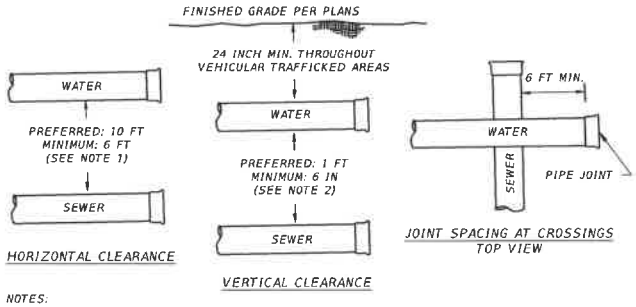


CLEANOUT DETAIL

N.T.S

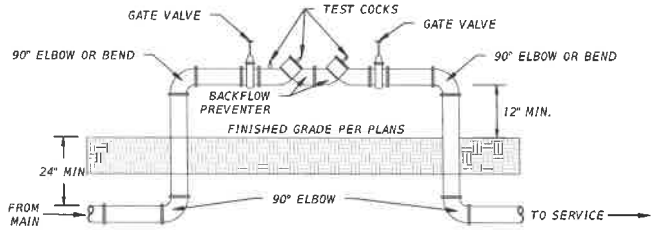


NOTES:

1. CONTRACTOR SHALL MAINTAIN 10 FT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 FT CAN BE USED ONLY WHEN 10 FT IS NOT POSSIBLE.
2. CONTRACTOR SHALL MAINTAIN 24 INCH MIN. VERTICAL PIPE COVER THROUGHOUT VEHICULAR TRAFFICKED AREAS; ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT RECOMMENDED COVER IS NOT POSSIBLE.
3. CONTRACTOR SHALL MAINTAIN 1 FT VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 IN CAN BE USED ONLY WHEN 1 FT IS NOT POSSIBLE.
4. WATER PIPE JOINTS SHALL BE A MINIMUM OF 6 FEET FROM NEAREST SEWER PIPE CROSSING.
5. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW

WATER-SEWER SEPARATION DETAILS

N.T.S

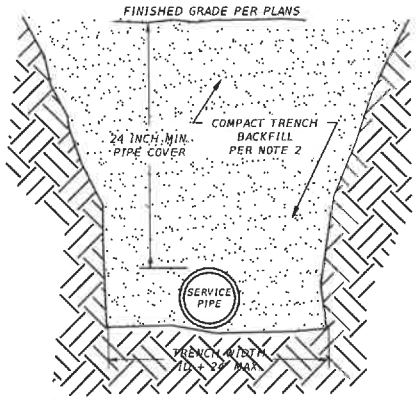


NOTES:

1. ALL PIPE USED FOR BACKFLOW PREVENTER SHALL BE DUCTILE IRON PIPE.
2. NO CONNECTION IS PERMITTED BETWEEN SERVICE METER AND BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF METER.

DOUBLE CHECK BACKFLOW PREVENTER DETAIL

N.T.S



NOTES:

1. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
2. BEDDING ROCK SHALL BE USED TO BACKFILL OVER-EXCAVATED AREAS.
3. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.
4. CONTRACTOR SHALL MAINTAIN DITCH STABILIZATION AND WATER FREE USING BEST MANAGEMENT PRACTICES.

TRENCH CONSTRUCTION DETAIL

N.T.S

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FIRM NAME AND CONTACT INFORMATION
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(386) 965-5919
PITMANENGINEERING.COM
EB#26 REGISTER # 10615

PROJECT NAME AND SITE ADDRESS
DANCE STUDIO
PLANTATION VILLAGE SUBDIVISION
LAKE CITY, FLORIDA

SHEET NAME
DETAILS
DATE 10/21
JOB NUMBER 2021-10PEU
SHEET C7

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City of Lake City
Water flow report

HYDRANT # & LOCATION: 4424 NW American Lane — DATE: 10/4/2021

TEST BY: Al/Penny — Day: Monday — Time: 9:00 — Minutes: 2

WATER SUPPLIED BY: Municipal

PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	45		
GPM:	1001	0	0

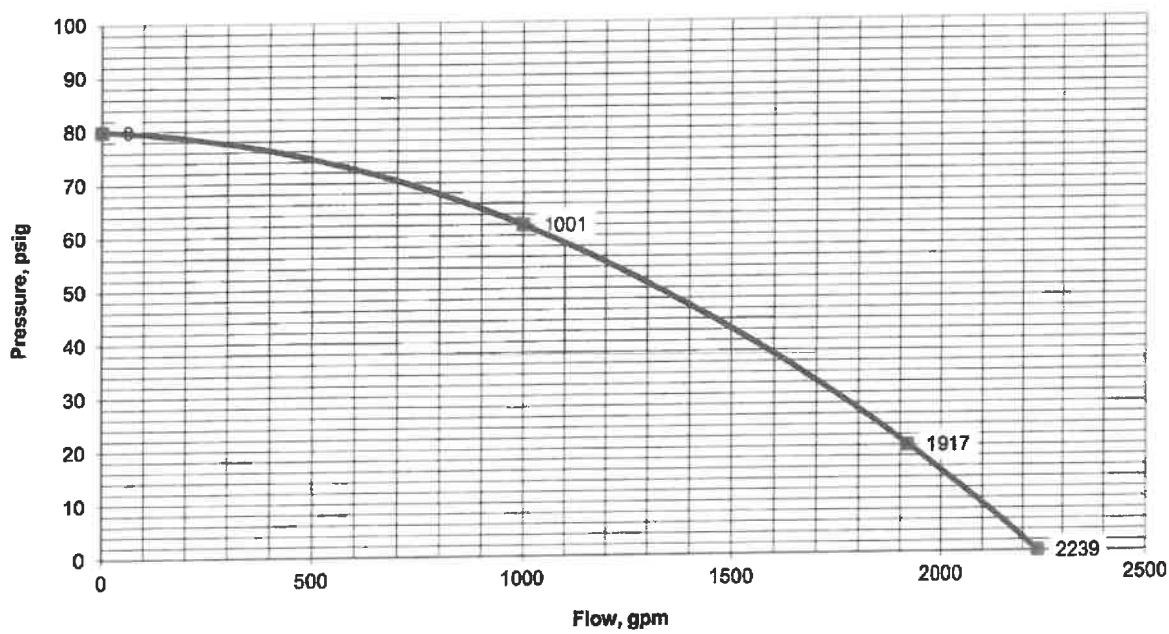
TOTAL FLOW DURING TEST: 1001 GPM

STATIC READING: 80 PSI — RESIDUAL: 62 PSI

RESULTS: AT 20 PSI RESIDUAL 1917 GPM — AT 0 PSI 2239 GPM

ESTIMATED CONSUMPTION: 2001 GAL.

REMARKS:



Fire Flow Requirement: NFPA - 1500 gpm @ 20 psi residual pressure

1917 gpm > 1500 gpm

fire flow sufficient

PITMAN ENGINEERING

SITE PLAN APPLICATION ITEMS 4-7 - DANCE STUDIO

5. Concurrency Impact Analysis

Each of the following are estimates on the predicted capacity required by the proposed development. Per discussions with City department heads, capacity is available for each usage as shown below.

- Water:

  50 students/day x 1.5 gallon/minute x 0.5 minutes of use/student = 37.5 gal/day
  + 2 teachers x 1.5 gal/min x 2 minutes use/teacher = 6.0 gal/day
  Total water used per day = **40.5 gallons per**

- Sewer:

  50 students/day x 1.6 gallon/flush x 1 flush/student = 80 gal/day
  + 2 teachers x 1.6 gal/min x 4 flushes/teacher = 12.8 gal/day
  Total sewage flow per day = **92.8 gallons**

- Transportation:

  50 students/weekday x 1 trip/student = 50 trips/day
  + 2 teachers/weekday x 4 trips/teacher = 8 trips/day
  Total trips generated per day = **58 trips**

- Solid Waste:

  Total solid waste per week = **62 gallons**

6. Comprehensive Plan Consistency Analysis:
The proposed development is consistent with all elements of the City's Comprehensive Plan. Activities to take place fall within the allowance of current Zoning and Land Use categories, via Special Exception. Proposed development will offer a recreational opportunity for the surrounding areas, which is a highlighted item of need within the Comprehensive Plan.

7. Legal Description with Parcel ID
Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, FL.

Columbia County Parcel ID: 34-3S-16-02461-516

Best Regards,

Brian Pitman

Brian Pitman, P.E.

Owner

PITMAN ENGINEERING
206 S Marion Ave • Lake City, FL 32025
386-965-5919
bpitman@pitmanengineering.com
pitmanengineering.com

Dance Studio

Tax Parcel Number: 34-3S-16-02461-516

Legal Description:

Lot 16, PLANTATION VILLAGE, a subdivision recorded in Plat Book 6, Pages 210-211, of the public record of Columbia county, FL.

Prepared by and return to:
Rob Stewart
Lake City Title
426 SW Commerce Drive, Ste 145
Lake City, FL 32025
(386) 758-1880
File No 2021-4245VB

Parcel Identification No 34-3S-16-02461-516

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the **18th day of August, 2021** between **A to Z Enterprises, LLC, a Florida Limited Liability Company**, whose post office address is **6614 NW 50th Lane, Gainesville, FL 32653**, of the County of Alachua, State of Florida, Grantor, to **Southern Rhythm, LLC, a Florida Limited Liability Company**, whose post office address is **1446 SW Cougar Glen Apt 102A, Lake City, FL 32025**, of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

Lot 16, Plantation Village, a subdivision according to the plat thereof recorded in Plat Book 6, Pages 210-211, of the public records of Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

WITNESS
PRINT NAME: Robert Stewart

WITNESS
PRINT NAME: Susan B Weirich

A to Z Enterprises, LLC, a Florida Limited Liability Company

By: _____
Rizwana Thanawala, Manager

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of (✓) physical presence or ( ) online notarization this 18th day of August, 2021, *Rizwana Thanawala, Manager of A to Z Enterprises, LLC, who is/are personally known to me or has/have produced _____ as identification.

Signature of Notary Public

Notary Public State of Florida
Susan B Weirich
My Commission GG 337396
Expires 05/21/2023

Detail by Entity Name

Florida Limited Liability Company
SOUTHERN RHYTHM,LLC

Filing Information

Document Number	L21000357725
FEI/EIN Number	82-0869144
Date Filed	08/09/2021
Effective Date	08/09/2021
State	FL
Status	ACTIVE

Principal Address

1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Mailing Address

1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Registered Agent Name & Address

DIAZ DE ARCE, DALITA C
1446 SW COUGAR GLEN
APT 102A
LAKE CITY, FL 32024

Authorized Person(s) Detail

NONE

Annual Reports

No Annual Reports Filed

Document Images

08/09/2021 -- Florida Limited Liability | View image in PDF format

Growth Management
205 North Marion Ave
Lake City, Fl 32055

AUTHORIZED AGENT AFFIDAVIT PLANNING AND ZONING

CITY OF LAKE CITY
Florida's Gateway Est. 1859

Date of acceptance by Growth Management:

I Dalita Diaz de Arce hereby grant authorization to BRIAN PITMAN
(Property Owner Print) (Authorized Agent Print)
to act in my behalf with the City of Lake City Growth Management Department while conducting activities related to Planning and Zoning activities. These specifically include representing the owner(s) of the property(s)

BRIAN PITMAN is to be considered an agent of my planning and
(Authorized Agent Printed Name) zoning activities and therefore, the signature of said agent is binding and causes me to assume all responsibilities connected to or associated with the signature as they may relate to my planning and zoning business.

I Dalita Diaz de Arce believe the City of Lake City of, and agree to
(Owner(s) Printed Name) hold the City of Lake City harmless from, any and all responsibility, claims or other actions arising from or related to the City's acceptance of the above agent's signature for planning and zoning-related activities. I further understand that it is my sole responsibility to grant and terminate any such authorization and to ensure that the City receives timely notice of any such grant or termination.

Dalita Diaz de Arce
Signature of Owner(s)

Brian Pitman
Signature of Agent

****PLEASE NOTE: BOTH SIGNATURES MUST BE NOTARIZED****

Notary for Owner's Signature:

State of Florida County of Columbia

The foregoing was acknowledged before me this 13th day of October, 2021, by Dalita Diaz de Arce, who is personally known to me, or who produced FL DL D236-165-87-552-1 as identification and appeared by means of physical presence ___
Or online notarization___

Therese Quiette Young
Notary Public Signature

THERESE QUIETTE YOUNG
MY COMMISSION EXPIRES
MARCH 10, 2024
#GG 932177
Bonded thru Notary Public Underwriters
NOTARY PUBLIC STATE OF FLORIDA

Print, Type, or Stamp Name of Notary

Notary for Agent's Signature:

State of Florida County of Columbia

The foregoing was acknowledged before me this 26th day of October, 2021, by Brian Pitman who is personally known to me, or who produced ___ as identification and appeared by means of physical presence ___
Or online notarization___

Stephanie A Ambros
Notary Public Signature

NOTARY PUBLIC
Expires 06/02/2025
Stephanie A Ambros
Commission # HH 137115
STATE OF FLORIDA

Stephanie A Ambros
Print, Type, or Stamp Name of Notary

***The Growth Management Department, at its discretion, may require an owner(s) to personally apply for planning and zoning activities not withstanding any authorization allowing another person to apply for planning and zoning activities on behalf of an owner(s).*

Columbia County Tax Collector

generated on 11/15/2021 11:16:28 AM EST

Tax Record

Last Update: 11/15/2021 11:13:15 AM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02461-516	REAL ESTATE	2021

Mailing Address
A TO Z ENTERPRISES LLC
6614 NW 50TH LANE
GAINESVILLE FL 32653

Property Address
4417 AMERICAN LAKE CITY

GEO Number
343S16-02461-516

Exempt Amount	Taxable Value
See Below	See Below

Exemption Detail NO EXEMPTIONS

Millage Code 001

Escrow Code

Legal Description (click for full description)
34-3S-16 1000/1000.46 Acres LOT 16 PLANTATION VILLAGE S/D. ORB 816-2412, 974-1860, WD 1054-2983.

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	48,142	0	$48,142	$376.23
CITY OF LAKE CITY	4.9000	48,142	0	$48,142	$235.90
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	48,142	0	$48,142	$36.01
LOCAL	3.6430	48,142	0	$48,142	$175.38
CAPITAL OUTLAY	1.5000	48,142	0	$48,142	$72.21
SUWANNEE RIVER WATER MGT DIST	0.3615	48,142	0	$48,142	$17.40
LAKE SHORE HOSPITAL AUTHORITY	0.0000	48,142	0	$48,142	$0.00

Total Millage	18.9675	Total Taxes	$913.13

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	$50.40

Total Assessments	$50.40
Taxes & Assessments	$963.53

If Paid By	Amount Due
11/30/2021	**$924.99**
12/31/2021	$934.62
1/31/2022	$944.26
2/28/2022	$953.89

3/31/2022	$963.53

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Click Here To Pay Now

PAYMENT DATE
01/25/2022
COLLECTION STATION
CustomerService1
RECEIVED FROM

City of Lake City
205 N. Marion Ave
Lake City, FL 32055

BATCH NO.
2022-00000715
RECEIPT NO.
2022-00027126
CASHIER
Chanel Neff

DESCRIPTION
Pitman Engineering LLC Application $200 Variance $200 Special Exemption $200.00

PAYMENT CODE	RECEIPT DESCRIPTION	TRANSACTION AMOUNT
ZF	Zoning Fees Pitman Engineering LLC Application $200 Variance $200 Special Exemption $200.00	$600.00

Payments:

Type	Detail	Amount
Check	1076	$600.00

Total Amount: **$600.00**

Customer Copy

Printed by: Miriam Williams

05/25/2022 01:30:31 PM