

PLANNING AND ZONING BOARD MEETING

CITY OF LAKE CITY

February 15, 2022 at 5:30 PM

Venue: City Hall

AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting live on our YouTube channel. YouTube channel information is located at the end of this agenda.

INVOCATION

ROLL CALL

MINUTES

- [i.](#) January 4, 2022

OLD BUSINESS

NEW BUSINESS

- [ii.](#) Site Plan Review - SPR-22-01 Lake City Self Storage Phase 2
- [iii.](#) Site Plan Review - SPR-22-03 Sun Stop 337
- [iv.](#) Site Plan Review SPR-22-04 F/K/A SPR18-05 Lake City Hotels
- [v.](#) Site Plan Review - SPR-22-05 Lake City Medical Center Emergency and Dietary Expansion and Site Plan Review - SPR-22-07 Lake City Medical Center Ancillary Building
- [vi.](#) Site Plan Review - SPR-22-06 Walmart #767 OGP Expansion
- [vii.](#) Site Plan Review - SPR-22-08 City of Lake City - West Fire Station

WORKSHOP/DISCUSSION ITEMS

- viii. Discussion on Land Development Regulations (Mavis Georgalis)
- ix. Discussion Item - Schoolboard Member Keith Hatcher attendance at meetings (Mavis Georgalis)

Per City Code: Sec. 2-82. - Creation; appointment of members; terms.

There is hereby established and created the city planning and zoning board which shall consist of seven members appointed by the council. All members shall be appointed for staggered terms of four years each and shall hold office until their successors have been appointed and qualify. All members of the board shall be residents of the city. Vacancies shall be filled for the unexpired term of any member whose term becomes vacant. All appointment of members to the board shall be made by resolution adopted by the council.

(Code 1968, § 2-36)

ADJOURNMENT

YouTube Channel Information

Members of the public may also view the meeting live on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

File Attachments for Item:

i. January 4, 2022

MINUTES

CITY OF LAKE CITY PLANNING AND ZONING

SESSION JANUARY 4, 2022

CALL TO ORDER: Meeting was called to order by Ms. Mavis Georgalis at 5:30pm.

INVOCATION: Invocation was given by Mr. Chris Lydick.

ROLL CALL: Mr. Daniel Adel – present Mr. Chris Lydick-present
Mr. Gregory Cooper-present Mr. Larry Nelson-present
Ms. Mavis Georgalis – present

MINUTES: Minutes of the Planning and Zoning meeting from December 7, 2021, were approved. Motion by Mr. Lydick and seconded by Mr. Adel. Passed unanimously.

OLD BUSINESS: None

NEW BUSINESS: **SPR-21-05** an application submitted by Dalton Kurtz (agent) of North Florida Professional Services for (Sun Stop 303), Site Plan review for Parcel 33-3s-17-06555-001 to construct a two-lane tractor trailer fueling area. Motion by Mr. Lydick and seconded by Mr. Adel. Passed unanimously.

SPR-21-06 an application submitted by V. Todd Ferreira (owner) of V. Todd Ferreira Funeral Home, Site Plan review for Parcel 00-00-0013855-000 (42411), located in the Historical District as provisioned in LDR Article 10. Proposed work repainting shutters black, Resurface and Rename business sign. Per Mr. Lydick a Certificate of Appropriateness for Historic Preservation was completed so there is no need for Mr. Ferreira to come back and present it to the Historic Preservation Agency Board. Motion by Mr. Adel and seconded by Mr. Lydick. Passed unanimously.

SPR-21-07 an application submitted by Logan Peters (agent) presented by Jay Brown of JB Pro, Gateway Crossing A Replat of Lots 2,3 & 11, Site Plan review for Parcels 35-3s-16-02524-102, 35-3s-16-02524-103 & 35-3s-16-02524-111- vacant parcels Replat of Commercial Highway Interchange. The Replat is combining lots 2, 3 and 11. Motion by Mr. Adel and seconded by Mr. Lydick. Passed unanimously.

SPR -21-08 an application submitted by Norbie Ronsonet (owner) of lake City Buick GMC for an expansion of their facilities. Site Plan review for the Southeast Quadrant of SE McCray Avenue and SE Nassau Street- vacant parcel in the Commercial Intensive zoning. Presented by Bill Menadier (Senior Project Manager) of Dewberry. Mr. Lydick advised that additional vegetation needed to be added around the expansion. Motion by Mr. Adel and seconded by Mr. Lydick. Passed unanimously.

Z-21-08 a zoning change application submitted by Dalton Kurtz (agent) of North Florida Professional Services for owner: Daniel Crapps located at Parcel 02-4s-16-02714-000

(11108) – requesting a zoning change from commercial intensive to commercial highway interchange. Motion by Mr. Lydick and seconded by Mr. Adel. Passed unanimously.

WORKSHOP: None

ADJOURN: Motion to adjourn by Ms. Mavis Georgalis 6:12 pm

Mavis Georgalis, Board Chairperson

Date Approved

Marshall Sova, Acting Secretary

Date Approved

File Attachments for Item:

ii. Site Plan Review - SPR-22-01 Lake City Self Storage Phase 2



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 22-01

Application Fee \$200.00

Receipt No. _____

Filing Date _____

Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Lake City Self Storage Phase 2
2. Address of Subject Property: 1143 NW Lake Jeffery Rd, Lake City
3. Parcel ID Number(s): 30-35-17-05842-002
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: CI
6. Acreage: 2.31
7. Existing Use of Property: Storage Units
8. Proposed use of Property: Storage Units
9. Type of Development (Check All That Apply):
 - ☐ Increase of floor area to an existing structure: Total increase of square footage _____
 - ☒ New construction: Total square footage 8400 SF
 - ☐ Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Carol Cudwizk, PE Title: Civil Engineer
Company name (if applicable): _____
Mailing Address: 1208 SW Fairfax Glen
City: Lake City State: FL Zip: 32025
Telephone: 807 680-1772 Fax: (____) _____ Email: ccudwizk@gmail

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): Chude Stringham, Citadel 1 Holdings Co. LLC
Mailing Address: 726 Somerset Landing Lane
City: League City State: TX Zip: 77573
Telephone: 413 388-5480 Fax: (____) _____ Email: info@lakecityselfstorage.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: N/A
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☐ Yes ☒ No
Future Land Use Map Amendment: ☐ Yes ☒ No
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes ☒ No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: ☐ Yes ☒ No
Variance Application No. _____
Special Exception: ☐ Yes ☒ No
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- ✓ 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- ✓ 2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
- ✓ 3. Stormwater Management Plan—Including the following:
- a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
- ✓ 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
- ✓ 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
- ✓ 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
- ✓ 7. Legal Description with Tax Parcel Number (In Word Format).
- ✓ 8. Proof of Ownership (i.e. deed).
- ✓ 9. Agent Authorization Form (signed and notarized).
- ✓ 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

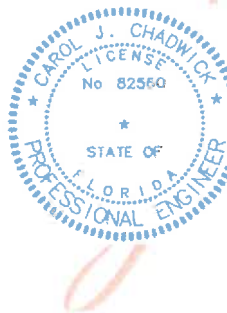
I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature



Digitally signed by
Carol Chadwick
DN: c=US,
o=Unaffiliated,
ou=A01410D0000
01711349D4A700
01621F, cn=Carol
Chadwick Date
Date: 2021.11.04
13:28:23 -04'00'

Date

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Signature of Notary

Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

November 4, 2021

re: Lake City Self Storage Phase 2 Drainage Permit

The existing site was previously permitted by SRWMD per Project Number 203156-1. The site was permitted for 1.62 acres of impervious surface. The site currently contains 1.18 acres of impervious surface. Phase 2 will contain 0.44 acres of impervious surface; therefore, the existing basin was previously designed with the capacity for Phase 2.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by
Carol Chadwick

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1621F, cn=Carol

Chadwick

Date: 2021.11.04

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Carol Chadwick, P.E.

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Civil Engineer

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November 4, 2021

re: Lake City Self Storage Phase 2 Fire Department Access and Water Supply Plan

The fire protection for this project will be provided by an existing fire hydrant located approximately 250 feet west of the entrance to the site.

The new building will not require any water connections.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol
Chadwick

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Carol Chadwick, P.E.

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November 4, 2021

re: Lake City Self Storage Phase 2 Concurrency Impact Analysis

Lake City Self Storage Phase 2 is an expansion of a current storage unit facility. The site will have no water or sewer connections. No trash disposal is available on-site.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 8th edition, ITE code 151
- Potable Water Analysis for a residence per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis for a residence per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Solid Waste Analysis

Summary of analyses:

- Trip generation: 107.70 ADT & 1.04 Peak PM trips
- Potable Water: 0 gallons per day
- Potable Sewer: 0 gallons per day
- Solid Waste: 0 pounds per day


See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Carol Chadwick, P.E.

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Carol Chadwick
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CONCURRENCY WORKSHEET

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Total Units in Phase 2	Total ADT	Total PM Peak
151	Mini Warehouse	0.25	0.02	54.00	13.50	1.08

*storage unit

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Storage Units	0.00	0.00	0.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Storage Units	0.00	0.00	0.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Total Floor Area*	Total (Lbs Per Day)
Storage Units	0.00	0.00	0.00

*Per thousand square feet (i.e. 3,560 sq ft / 1,000 = 3.56)

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Lake City, FL 32025

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ccpewyo@gmail.com

www.carolchadwickpe.com

November 4, 2021

re: Lake City Self Storage Phase 2 Comprehensive Plan Consistency Analysis

Lake City Self Storage Phase 2 is an expansion of a current storage unit facility.

Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The city shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject property is currently used as a storage unit rental facility. Phase 2 is an expansion of the current site.

- Policy 1.1.1 The city shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the city shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject property is located with direct access to NW Lake Jeffery Road. The proposed site will have no water or sewer connections.

- Policy 1.1.2 The city's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The subject property is currently used as a commercial site.

- Policy 1.1.3 The city's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: Construction will be completed in 2022.

- Policy I.1.4 The city shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: No wetlands are located on the subject property.

- Policy I.1.5 The city shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: No impacts to adjacent land topography or soil conditions will result due to the change in use.

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the city. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The subject property is currently commercial.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol
Chadwick
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ou=A01410D000001711349D4A
70001621F, cn=Carol Chadwick
Date: 2021.11.04 13:24:54 -04'00'

Carol Chadwick, P.E.

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/28/2021

Parcel: << 30-3S-17-05842-002 (25910) >>

Owner & Property Info

Owner	CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY, TX 77573		
Site	1143 NW LAKE JEFFERY Rd, LAKE CITY		
Description	COMM 25.20 FT E OF NW COR OF SE1/4 OF NW1/4, S 1264.50 FT TO N R/W CR-250, E'LY ALONG R/W 188.93 FT FOR POB, CONT E ALONG R/W 143 FT, N 209.99 FT, E 105.20 FT, N 276.76 FT, W 253 FT, S 479.42 FT TO POB. 330-565, 630-692, DC 743-1895, WD 821-1677, WD 963-1...more>>>		
Area	2.31 AC	S/T/R	30-3S-17
Use Code	MINI STORAGE (4810)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$18,480	Mkt Land	\$18,480
Ag Land	\$0	Ag Land	\$0
Building	\$248,134	Building	\$242,901
XFOB	\$28,572	XFOB	\$28,572
Just	\$295,186	Just	\$289,953
Class	\$0	Class	\$0
Appraised	\$295,186	Appraised	\$289,953
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$295,186	Assessed	\$289,953
Exempt	\$0	Exempt	\$0
Total	county:\$295,186 city:\$295,186	Total	county:\$289,953 city:\$289,953
Taxable	other:\$0 school:\$295,186	Taxable	other:\$0 school:\$289,953

Aerial Viewer Pictometry Google Maps

2019 2016 2013 2010 2007 2005 Sales



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
8/8/2018	\$500,000	1366/0947	WD	I	Q	01
10/23/2014	\$269,000	1283/1581	WD	I	U	12
10/14/2014	\$100	1283/1579	QC	I	U	11
2/20/2013	\$100	1251/0089	WD	I	U	11
7/25/2012	\$100	1239/2222	CT	I	U	18
8/30/2006	\$100,200	1095/1691	WD	I	U	03
9/25/2002	\$210,000	0963/1586	WD	I	Q	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	WAREH MINI (8300)	1999	2000	2000	\$30,266
Sketch	WAREH MINI (8300)	1999	3000	3000	\$45,924
Sketch	WAREH MINI (8300)	1999	3000	3000	\$45,924
Sketch	WAREH MINI (8300)	1999	2000	2000	\$30,616
Sketch	WAREH MINI (8300)	2006	2000	2000	\$36,068
Sketch	WAREH MINI (8300)	2006	3000	3000	\$54,103

*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
0260	PAVEMENT-ASPHALT	1999	\$10,620.00	25934.00	0 x 0
0140	CLFENCE 6	1999	\$5,662.00	1490.00	0 x 0
0260	PAVEMENT-ASPHALT	2006	\$12,290.00	9490.00	0 x 0

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
4810	MINI STORAGE (MKT)	2.310 AC	1.0000/1.0000 1.0000/ /	\$8,000 /AC	\$18,480

© Columbia County Property Appraiser | Jeff Hampton | Lake City, Florida | 386-758-1083

by: GrizzlyLogic.com

THIS INSTRUMENT PREPARED BY
AND RECORD AND RETURN TO:
BERT C. SIMON, ESQUIRE
GARTNER, BROCK AND SIMON, LLP
1300 RIVERPLACE BLVD., SUITE 525
JACKSONVILLE, FLORIDA 32207

Parcel 30-3S-17-05842-002

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of August 8, 2018, by and between **LAKE CITY SELF STORAGE, LLC**, a Florida limited liability company, whose address is 12146 Mandarin Road, Jacksonville, Florida 32223 ("Grantor"), and **CITADEL I HOLDING COMPANY LLC**, a Texas limited liability company, whose address is 726 Somerset Landing Lane, League City, Texas 77573 ("Grantee").

WITNESSETH:

That Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, paid in hand to Grantor by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold to the Grantee, its heirs, successors and assigns, forever, the following described real property, situate, lying and being in the County of Columbia, State of Florida, as more particularly described on Exhibit "A" attached hereto and incorporated by this reference (the "Property").

SUBJECT TO taxes and assessments for the year 2018 and subsequent years.

TOGETHER with all improvements located thereon and all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, Grantor hereby warrants title to the Property, and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor, but none others.


{Signature on the following page}

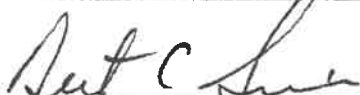
IN WITNESS WHEREOF, the said Grantor has hereunto set hand and seal, the day and year first above written.

Signed, sealed and delivered
in the presence of:

GRANTOR:

LAKE CITY SELF STORAGE, LLC, a
Florida limited liability company



Print Name: HARRY M. WILSON IV


Print Name: BERT C. SIMON

By: 
Name: Jack Barnette
Title: Manager

STATE OF FLORIDA)
COUNTY OF DUVAL)

The foregoing instrument was acknowledged before me this 31st day of July, 2018, by Jack Barnette, as Manager of **LAKE CITY SELF STORAGE, LLC**, a Florida limited liability company, on behalf of the company, who is personally known to me or who has produced _____ as identification.


Notary Public, State of Florida
Print Name: HARRY M. WILSON IV
My Commission Expires: 6/4/21

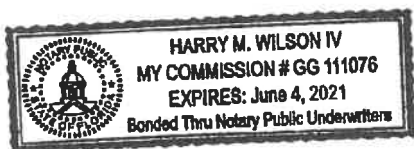


Exhibit "A"

The land referred to hereinbelow is situated in the County of COLUMBIA, State of Florida, and is described as follows:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE NORTH 88 DEG.35'37" EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, 25.20 FEET, THENCE SOUTH 00 DEG.12'00" EAST, 1264.50 FEET TO THE NORTH RIGHT OF WAY LINE OF COUNTY ROAD NO. C-250 AND A POINT ON A CURVE, THENCE EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE, ALONG SAID CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 1859.86 FEET AND A CENTRAL ANGLE OF 05 DEG.49'13", AN ARC DISTANCE OF 188.93 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE EASTERLY, STILL ALONG SAID NORTH RIGHT OF WAY LINE, STILL ALONG SAID CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 1859.86 FEET AND A CENTRAL ANGLE OF 04 DEG.24'19", AN ARC DISTANCE OF 143.00 FEET, THENCE NORTH 01 DEG.14'12" EAST, 209.99 FEET, THENCE NORTH 88 DEG.36'24" EAST, 105.20 FEET, THENCE NORTH 00 DEG.10'36" WEST, 276.76 FEET, THENCE SOUTH 89 DEG.49'24" WEST, 253.00 FEET, THENCE SOUTH 00 DEG.10'36" EAST, 479.42 FEET TO THE POINT OF BEGINNING.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Limited Liability Company
CITADEL I HOLDING COMPANY LLC

Filing Information

Document Number M18000005871
FEI/EIN Number 82-2954519
Date Filed 06/22/2018
State TX
Status ACTIVE

Principal Address

28648 Bull Gate
fair oaks ranch, TX 78015

Changed: 04/15/2021

Mailing Address

28648 Bull Gate
fair oaks ranch, TX 78015

Changed: 04/15/2021

Registered Agent Name & Address

LAKE CITY SELF STORAGE, LLC
1143 NW LAKE JEFFERY RD
LAKE CITY, FL 32055

Authorized Person(s) Detail

Name & Address

Title PARTNER

STRINGHAM, CHARLES T
2121 COLDWATER BRIDGE LANE
LEAGUE CITY, TX 77573

Title PARTNER/MBR

FORE, ROBERT A
28648 Bull Gate
fair oaks ranch, TX 78015

Title PARTNER

ARROYO, ANNA
28648 Bull Gate
fair oaks ranch, TX 78015

Annual Reports

Report Year	Filed Date
2019	06/24/2019
2020	05/07/2020
2021	04/15/2021

Document Images

04/15/2021 -- ANNUAL REPORT	View image in PDF format
05/07/2020 -- ANNUAL REPORT	View image in PDF format
06/24/2019 -- ANNUAL REPORT	View image in PDF format
06/22/2018 -- Foreign Limited	View image in PDF format

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint CAROL CHADWICK, PE
(Name of Person to Act as my Agent)

for Lake City Self Storage
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for SITE PLAN
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: Charles Stringham

Applicant/Owner's Title: Owner

On Behalf of: Citadel 1 Holding Co. LLC
(Company Name, if applicable)

Telephone: 413-388-5480 Date: 10/5/2021

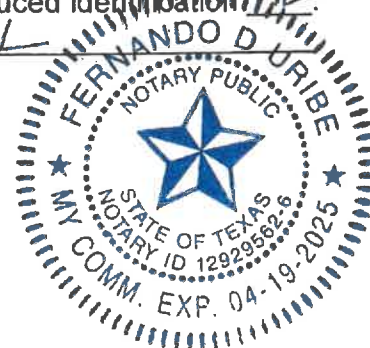
Applicant/Owner's Signature: [Signature]

Print Name: Charles Stringham

STATE OF ~~FLORIDA~~ Texas
COUNTY OF _____

The Foregoing instrumnet was acknoelged before me this 7 day of October, 20 21, by CHARLES T. STRINGHAM,
whom is personally known by me ☒ OR produced identification ☐
Type of Identification Produced TX DL

[Signature]
(Notary Signature) (SEAL)



Columbia County Tax Collector

Generated on 11/3/2021 9:32:43 PM EDT

Tax Record

Last Update: 11/3/2021 9:29:36 PM EDT

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R05842-002	REAL ESTATE	2021
Mailing Address CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY TX 77573		Property Address 1143 LAKE JEFFERY LAKE CITY GEO Number 303S17-05842-002
Exempt Amount	Taxable Value	
See Below	See Below	
Exemption Detail Millage Code Escrow Code NO EXEMPTIONS 001		
Legal Description (click for full description) 30-3S-17 /4810 COMM 25.20 FT E OF NW COR OF SE1/4 OF NW1/4, S 1264.50 FT TO N R/W CR-250, E'LY ALONG R/W 188.93 FT FOR POB, CONT E ALONG R/W 143 FT, N 209.99 FT, E 105.20 FT, N 276.76 FT, W 253 FT, S 479.42 FT TO POB. 330-565, 630-692, DC 743-1895, See Tax Roll For Extra Legal		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Value
BOARD OF COUNTY COMMISSIONERS	7.8150	295,186
CITY OF LAKE CITY	4.9000	295,186
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	295,186
LOCAL	3.6430	295,186
CAPITAL OUTLAY	1.5000	295,186
SUWANNEE RIVER WATER MGT DIST	0.3615	295,186
LAKE SHORE HOSPITAL AUTHORITY	0.0000	295,186
Total Millage	18.9675	Total Taxes
		\$5,598.94
Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	\$603.00
Total Assessments		\$603.00
Taxes & Assessments		\$6,201.94
If Paid By	Amount Due	
11/30/2021	\$5,953.86	
12/31/2021	\$6,015.88	
1/31/2022	\$6,077.90	
2/28/2022	\$6,139.92	
3/31/2022	\$6,201.94	

[Prior Years Payment History](#)

Prior Year Taxes Due
NO DELINQUENT TAXES

[Click Here To Pay Now](#)

PARCEL NUMBER: 30-3S-17-05842-002

DESCRIPTION

PARCEL 1

COMMENCE AT THE NW CORNER OF THE SE 1/4 OF THE NW 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE N88°35'37"E, ALONG THE NORTH LINE OF SAID SE 1/4 OF THE NW 1/4, 25.20', THENCE S00°12'00"E, 1264.50' TO THE N. RIGHT OF WAY LINE, ALONG SAID CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 1859.86' AND A CENTRAL ANGLE OF 5°49'13", AN ARC DISTANCE OF 188.93' TO THE POINT OF BEGINNING, THENCE CONTINUE EASTERLY, STILL ALONG SAID N. RIGHT OF WAY LINE, STILL ALONG SAID CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 1859.86', AND A CENTRAL ANGLE OF 4°24'19", AN ARC DISTANCE OF 143.00', THENCE N01°14'12"E, 209.99', THENCE N88°36'24"E, 105.20', THENCE N00°10'36"W, 276.76', THENCE S89°49'24"W, 253.00', THENCE S00°10'36"E, 479.42' TO THE POINT OF BEGINNING.

PARCEL 2,

COMMENCE AT THE SW CORNER OF THE SE 1/4 OF THE NW 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, RUN THENCE ALONG THE S. LINE OF SAID SE 1/4 OF THE NW 1/4, N°88'44"E, 326.7'; RUN THENCE N00°37'E, 1.88' TO THE NORTH RIGHT OF WAY LINE OF S-250; CONTINUE N00°37'E, 210.00'; RUN THENCE N88°33'E, 200.00'; RUN THENCE S00°59'W, 212.27' TO THE N. RIGHT OF WAY LINE OF SR 250; RUN THENCE ALONG SAID NORTH RIGHT OF WAY LINE S88°44'W, 115.91' TO THE POINT OF CURVATURE, RUN THENCE ON A CORD BEARING S88°59'W, A CHORD DISTANCE OF 84.09' TO POINT OF BEGINNING, COLUMBIA COUNTY, FLORIDA.

DOUG GEIGER CUSTOM FRAMING, LLC

554 NW Armadillo Lane
Lake City, FL 32055

First Federal Bank of Florida

63-8448/2631

8015

PAY TO THE
ORDER OF

City of Lake City

Two hundred & 00/100

00

\$ 200

DOLLARS



MEMO Lake City Self Storage Site Plan

Ingrid Geiger
AUTHORIZED SIGNATURE MP

Security features included. Details on back.

**Miscellaneous Revenue/
Other Transactions**

PLEASE PRINT YOUR NAME:

LAST NAME: GEIGER

FIRST NAME: DOUG

STREET ADDRESS: 554 NW Armadillo Ln.

PHONE NUMBER: Lake City, FL 32055

For Growth Management USE

ONLY

Type of Project# SPR 22-01

DESCRIPTION: Lake City Self

Storage Site Plan

PAYMENT AMOUNTS 200.00

CASH ☐

CHECK ☒

CC ☐

SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST
LAKE CITY, COLUMBIA COUNTY, FLORIDA



LOCATION MAP
NOT TO SCALE

1. SITE PARCEL: 30-35-17-05842-002
2. FUTURE LAND USE: COMMERCIAL
3. ZONING: CI: COMMERCIAL INTENSIVE
4. SITE ADDRESS: 1143 LAKE JEFFERY ROAD, LAKE CITY, FL 32055

CITADEL I HOLDING CO., LLC
726 SOMERSET LANDING LN.
LEAGUE CITY, TX 77573
CONTACT: CHUCK STRINGHAM
413.388.5480
info@lakecityselfstorage.com

CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

BRITT SURVEY & MAPPING, INC.
2086 S.W. MAIN BLVD., STE. 112
LAKE CITY, FL 32025
386.752.7163

1	COVER SHEET
2	NOTES, LEGEND & DETAILS
3	SITE PLAN
4	GRADING PLAN

Digitally signed
by Carol
Chadwick
DN: c=US,
o=Unaffiliated,
ou=A01410D0000
01711349D4A700
01621F, cn=Carol
Chadwick
Date: 2021.11.04
13:27:56 -04'00'



ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560



ENGINEER'S NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, SUWANNEE RIVER WATER MANAGEMENT DISTRICT, CITY OF LAKE CITY, COLUMBIA COUNTY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE. IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

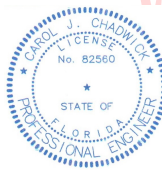
LEGEND

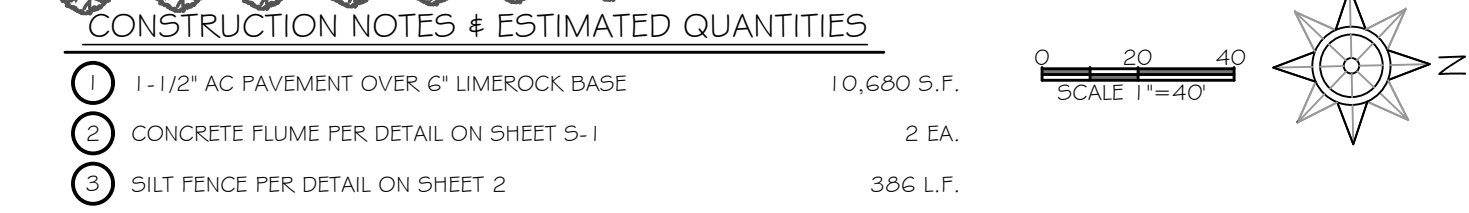
F.S.	-	FINISHED SURFACE
E.S.	-	EXISTING SURFACE
	-	PROPOSED CONTOUR (2' INTERVALS)
	-	EXISTING CONTOUR (2' INTERVALS)
	-	DAYLIGHT LINE
	-	EXISTING FENCE
	-	PROPERTY LINE
	-	CENTER LINE
	-	SILT FENCE
	-	EXISTING OVERHEAD UTILITIES
	-	EXISTING OVERHEAD ELECTRIC

NOTE: ALL UTILITY PROVIDERS
MUST BE CONTACTED PRIOR
TO DIGGING IN ACCORDANCE
TO CHAPTER 556 "SUNSHINE
STATE ONE CALL"
CALL 811 48 HOURS PRIOR
TO DIGGING



Digitally signed
by Carol
Chadwick
DN: c=US,
o=Unaffiliated,
ou=A01410D0000
01711349D4A700
01621F, cn=Carol
Chadwick
Date: 2021.11.04
13:27:34 -04'00'

[illegible]



EDGE OF PAVEMENT

2'-0"

MINIMUM 4'

3'

6"

3'

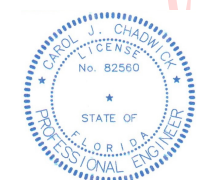
6x6x10/10 W.W.F.

SECTION

CONCRETE FLUME DETAIL

BASIN WAS ORIGINALLY PERMITTED FOR 1.62 ACRES IMPERVIOUS. PHASE CONTAINED 1.18 ACRES IMPERVIOUS. IMPERVIOUS REMAINING IS 0.44 ACRES. SITE CONTAINS 0.44 ACRES IMPERVIOUS SURFACE.

Digitally signed by
Carol Chadwick
DN: c=US,
o=Unaffiliated,
ou=A01410D0000
01711349D4A7000
1621F, cn=Carol
Chadwick
Date: 2021.11.04
13:27:15 -04'00'



PROJECT NO. <div style="border: 1px solid black; padding: 2px;">FL21227</div>	<div style="text-align: center; font-size: 24pt; font-weight: bold; margin-bottom: 10px;">LAKE CITY SELF STORAGE PHASE 2</div> <div style="text-align: center; font-size: 36pt; font-weight: bold; margin-bottom: 10px;">SITE & LANDSCAPE PLAN</div> <div style="text-align: center;"> <div style="border: 1px solid black; padding: 5px; display: inline-block; margin-bottom: 5px;"> PREPARED FOR CITADEL I HOLDING CO., LLC 726 SOMERSET LANDING LN. LEAGUE CITY, TX 77573 </div> <div style="border: 1px solid black; padding: 5px; display: inline-block;"> CONTACT: CHUCK STRINGHAM 413.388.5480 info@lakecityselfstorage.com </div> </div>
DATE <div style="border: 1px solid black; padding: 2px;">NOV. 4, 2021</div>	<div style="border: 1px solid black; height: 40px; margin-bottom: 5px;"></div>
REVISION DATE <div style="border: 1px solid black; height: 40px;"></div>	<div style="border: 1px solid black; height: 40px;"></div>
SHEET # <div style="border: 1px solid black; padding: 2px;">3</div>	SHEETS <div style="border: 1px solid black; padding: 2px;">OF 4</div>

29

File Attachments for Item:

iii. Site Plan Review - SPR-22-03 Sun Stop 337



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 22-03
Application Fee: \$200.00
Receipt No. _____
Filing Date _____
Completeness Date _____

A. PROJECT INFORMATION

1. Project Name: SUNSTOP 337
2. Address of Subject Property: 3519 N HWY 441, LAKE CITY, FL 32055
3. Parcel ID Number(s): 08-3S-17-04909-000, 08-3S-17-04910-000, 08-3S-17-04910-001
4. Future Land Use Map Designation: COMMERCIAL
5. Zoning Designation: CI
6. Acreage: 15.77
7. Existing Use of Property: GAS STATION/CONVENIENCE STORE
8. Proposed use of Property: GAS STATION/CONVENIENCE STORE & FAST FOOD
9. Type of Development (Check All That Apply):
() Increase of floor area to an existing structure: Total increase of square footage _____
() New construction: Total square footage _____
() Relocation of an existing structure: Total square footage _____
(X) Increase in impervious area: Total Square Footage 251,381

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): DALTON KURTZ Title: PROJECT MANAGER
Company name (if applicable): NORTH FLORIDA PROFESSIONAL SERVICES, INC
Mailing Address: 1450 SW SR-47
City: LAKE CITY State: FL Zip: 32025
Telephone: () 386-752-4675 Fax: () 386-752-4674 Email: DKURTZ@NFPS.NET

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): SOUTH WEST GEORGIA OIL
Mailing Address: 1711 SHOTWELL ST.
City: BAINBRIDGE State: GA Zip: 39819
Telephone: () 229-246-1553 Fax: () Email: DARRYL@INLAND-STORES.COM

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property:
Future Land Use Map Amendment: ☐ Yes _____ ☒ No _____
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes _____ ☒ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. Z _____
Variance: ☐ Yes _____ ☒ No _____
Variance Application No. V _____
Special Exception: ☐ Yes _____ ☒ No _____
Special Exception Application No. SE _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$500. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

For submittal requirements, please see the Columbia County Building and Zoning Development Application Submittal Guidelines.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Dalton Kurtz

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

12-23-2021
Date

Trip Generation Analysis per Fueling Position

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Fueling Positions	Total ADT	Total PM Peak
945	Gasoline/Service Station with Convenience Market	162.78	13.57	33.00	5371.74	447.81

Potable Water Analysis

Ch. 62-6.008, F.A.C. Use	Ch. 62-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 62-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)	Dwelling Unit*	Total Development (GPD)
Gasoline/Service Station w/ Market	5352.00	4.00	21408.00	1.00	21408.00

Sanitary Sewer Analysis

Ch. 62-6.008, F.A.C. Use	Ch. 62-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 62-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)	Dwelling Unit*	Total Development (GPD)
Gasoline/Service Station w/ Market	5352.00	4.00	21408.00	1.00	21408.00

Solid Waste Analysis

Use	Pounds Per Thousand Sq Ft	Total Floor Area*	Total (Lbs Per Day)	Dwelling Unit*	Total Development (Lbs Per Day)
Private	0.00	0.00	0.00	0.00	0.00

**CONCURRENCY
WORKSHEET**

Suntop 337
12-20-2021

*No additional solid waste being added



Comprehensive Plan Consistency Analysis SunStop 337

The following analysis identifies how this application is consistent with the City's Comprehensive Plan. Language from the comprehensive plan is provided in normal font, and the consistency statements are provided in bold and italics font.

Proposed Site Plan

The property is 15.54 acres and is located along US Highway 441 in Lake City. The proposed development is to be a complete rebuild of the existing gas station that is there.
(Tax Parcel 08-3S-17-04909-000, 08-3S-17-04910-000, 08-3S-17-04910-001)

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

Objective I.1 The city shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The proposed commercial use is consistent with the types of uses allowed by the CI category. The property is located along US Highway 441 in an urban development area and is surrounded by other urban developments similar to what is proposed on the commercial site.

Policy I.1.1 The city shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the city shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The proposed commercial site is located along US Highway 441 and there are public facilities available to support the low density and intensity.

Policy I.1.2 The city's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The subject property is located within an area that currently has CI designations to the east and the north. There are also public facilities provided to sufficiently serve the proposed commercial development.

Policy I.1.3 The city's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: The subject property is located along US Highway 441. This section of land has increasing residential developments that shall be completed by 2023.

Policy I.1.4 The city shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The subject property is located along US Highway 441 and will have no adverse impacts on the existing land uses.

Policy I.1.5 The city shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: The commercial development on the subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies within their jurisdiction.

Policy I.1.6 The city's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the county. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively Impacted directly or indirectly by the use.

Consistency: The proposed commercial development will meet the City's LDR's for Commercial land use .

Prepared by and return to:

Benjamin B. Bush
Gardner, Bist, Bowden, Bush,
Dec, LaVia & Wright, P.A.
1300 Thomaswood Drive
Tallahassee, FL 32308
850-385-0070

File Number: SOWEGO-Scaff (Columbia County)

Inst: 201512007743 Date: 5/1/2015 Time: 10:02 AM
Doc Stamp Deed: 138688.20
DC, P.DeWitt Cason, Columbia County Page 1 of 13 B:1293 P:2074

[Space Above This Line For Recording Data]

NOTE TO CLERK: Documentary Stamp Taxes are being paid in conjunction with the recordation of this Warranty Deed in the amount of \$138,688.20 based on the consideration paid by Buyer to Seller for the real property and improvements conveyed herein in the amount of \$19,812,576.04.

Warranty Deed

This Indenture made this 28th day of April, 2015 between **STAFFORD L. SCAFF, JR.**, the unmarried widower of Anne C. Scaff, whose post office address is 134 SE Colburn Avenue, Lake City, Florida 32025 ("grantor") and **SOUTHWEST GEORGIA OIL COMPANY, INC.**, a Georgia corporation, whose mailing address is P.O. Box 1510, Bainbridge, Georgia 39818 ("grantee").

WITNESSETH, that said grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in **COLUMBIA COUNTY, FLORIDA**, to-wit:

See attached Exhibit "A"

SUBJECT TO covenants, conditions, restrictions, reservations and easements of record; oil, gas and mineral rights of record; riparian rights; sovereignty submerged land rights; and taxes for the year 2015 and subsequent years; and

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining, subject to the reservation herein made;

TO HAVE AND TO HOLD, the same in fee simple forever;

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

* "Grantor" and "Grantee" are used for singular or plural, as context requires.

THE LAND DESCRIBED HEREIN IS NOT THE HOMESTEAD OF GRANTOR, AND NEITHER GRANTOR, NOR GRANTOR'S SPOUSE, NOR ANYONE FOR WHOSE SUPPORT GRANTOR IS RESPONSIBLE, RESIDES ON OR ADJACENT TO SAID LAND.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Cynthia T. Ragans
Witness Name: Cynthia T. Ragans

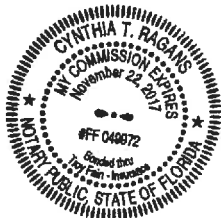
John T. LaVia, III
Witness Name: John T. LaVia, III

STAFFORD L. SCAFF, JR.

STATE OF FLORIDA,
COUNTY OF COLUMBIA.

The foregoing instrument was acknowledged before me this 28th day of April, 2015, by **STAFFORD L. SCAFF, JR.** He ☒ is personally known to me or ☐ has produced _____ as identification.

[Notary Seal]



Cynthia T. Ragans
Notary Public
Printed Name: Cynthia T. Ragans
My Commission Expires: 11/24/17

Exhibit "A"

The Property

Columbia County, Florida

OFFICE:

COMMENCE AT THE INTERSECTION OF THE SOUTH LINE OF DUVAL STREET WITH THE EAST LINE OF WALDRON STREET AND RUN THENCE N 86°16' E ALONG THE SOUTH LINE OF DUVAL STREET 70 FEET TO THE POINT OF BEGINNING; RUN THENCE N 86°16' E ALONG THE SOUTH LINE OF DUVAL STREET 127.30 FEET TO THE WEST LINE OF COLBURN STREET; RUN THENCE S 7°32' W ALONG THE WEST LINE OF COLBURN STREET 374 FEET; RUN THENCE N 81°53' W 95 FEET; RUN THENCE N 7°32' E 138 FEET; RUN THENCE N 89°00' W A DISTANCE OF 100 FEET TO THE EAST LINE OF WALDRON STREET; RUN THENCE N 7°48' E ALONG THE EAST LINE OF WALDRON STREET A DISTANCE OF 207.83 FEET TO THE SOUTH LINE OF DUVAL STREET; RUN THENCE N 86°16' E ALONG THE SOUTH LINE OF DUVAL STREET 70 FEET TO THE POINT OF BEGINNING; SAID LAND BEING LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

ALSO:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF DUVAL STREET (U.S. HIGHWAY 90) AND THE EAST RIGHT OF WAY OF WALDRON STREET AND RUN S 8°41'21" W ALONG SAID EAST RIGHT OF WAY LINE OF WALDRON STREET, 208.14 FEET; THENCE S 88°00'52" E A DISTANCE OF 69.83 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S 88°00'52" E A DISTANCE OF 30.00 FEET; THENCE RUN S 8°36'19" W A DISTANCE OF 137.72 FEET; THENCE RUN N 81°53'00" W A DISTANCE OF 30.30 FEET; THENCE RUN N 8°48'58" E A DISTANCE OF 134.52 TO THE POINT OF BEGINNING. SAID LAND BEING LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

LESS AND EXCEPT:

COMMENCE AT THE SOUTH LINE OF DUVAL STREET AT ITS INTERSECTION WITH THE WEST LINE OF COLBURN AVENUE AND RUN THENCE S 86°16' W ALONG THE SOUTH LINE OF DUVAL STREET A DISTANCE OF 127.3 FEET FOR A POINT OF BEGINNING; AND THENCE RUN S 86°16' W ALONG THE SOUTH LINE OF DUVAL STREET A DISTANCE OF 70 FEET; THENCE RUN S 07°48' W ALONG THE EAST LINE OF WALDRON STREET A DISTANCE OF 170 FEET; THENCE RUN N 86°16' E 70 FEET; THENCE RUN N 07°48' E 170 FEET TO THE SOUTH LINE OF DUVAL STREET AND THE POINT OF BEGINNING. SAID LAND BEING LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

ALSO, LESS AND EXCEPT:

COMMENCE AT THE INTERSECTION OF THE SOUTH RIGHT OF WAY LINE OF DUVAL STREET (U.S. HIGHWAY 90) AND THE EAST RIGHT OF WAY OF WALDRON STREET AND RUN S 8°41'21" W ALONG SAID EAST RIGHT OF WAY LINE OF WALDRON STREET, 170.49 FEET TO THE POINT OF BEGINNING; THENCE N 86°48'31" E A DISTANCE OF 70.97 FEET; THENCE RUN S 8°48'58" W A DISTANCE OF 44.11 FEET; THENCE RUN N 88°00'52" W A DISTANCE OF 69.83 FEET TO THE EAST RIGHT OF WAY LINE OF WALDRON STREET; THENCE RUN N 8°41'21" E ALONG SAID EAST RIGHT OF WAY LINE 37.65 FEET TO THE POINT OF BEGINNING. SAID LAND BEING LOCATED IN THE SE 1/4 OF THE NW 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

ALSO, LESS AND EXCEPT:

BEGINNING AT THE POINT OF INTERSECTION OF THE SOUTH LINE OF DUVAL STREET (U.S. 90) AND THE WEST LINE OF COLBURN AVENUE AND RUN THENCE WESTERLY ALONG THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 10 (U.S. 90) A DISTANCE OF 18 FEET, RUN THENCE SOUTHEASTERLY 20 FEET MORE OR LESS TO THE WEST LINE OF COLBURN AVENUE AT A POINT 10 FEET SOUTHERLY FROM THE POINT OF BEGINNING, RUN THENCE NORTHERLY ALONG THE WEST LINE OF COLBURN AVENUE 10 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT ADDITIONAL RIGHT OF WAY CONVEYED IN OFFICIAL RECORDS BOOK 772, PAGE 820 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

THE ABOVE DESCRIBED PROPERTY BEING MORE PARTICULARLY DESCRIBED BY RECENT SURVEY AS FOLLOWS:

A parcel of land in Section 33, Township 3 South, Range 17 East, Columbia County, Florida, being described as follows: COMMENCE at the point of intersection of the original Southerly Right-of-Way line of E. Duval Street (U.S. Highway 90) and the original Westerly Right-of-Way line of SE Colburn Avenue

and run thence S.09°05'49"W. along said original Westerly Right-of-Way line of SE Colburn Avenue a distance of 71.11 feet to a point on the current Westerly Right-of-Way line of SE Colburn Avenue and the POINT OF BEGINNING; thence continue S.09°05'49"W. along said current Westerly Right-of-Way line of SE Colburn Avenue 302.79 feet to the Southeast corner of a parcel of land described in O.R. Book 601, Page 299 of the Public Records of Columbia County, Florida; thence N.81°05'53"W. along the South line of said parcel of land and along the South line of a parcel of land described in O.R. Book 933, Page 2377 of said Public Records a distance of 124.00 feet the Southwest corner of said parcel of land described in O.R. Book 933, Page 2377; thence N.08°48'58"E. along the West line of said parcel of land 134.53 feet to the Northwest corner of said parcel of land; thence continue N.08°48'58"E. 12.09 feet to the Southwest corner of a parcel of land described in O.R. Book 601, Page 297 of the Public Records of Columbia County, Florida; thence continue N.08°48'58"E. along the West line of said parcel of land 201.78 feet to a point on the Southerly Right-of-Way line of E. Duval Street (U.S. Highway 90), as now exists, said point being on the arc of a curve concave to the South, having a radius of 1862.36 feet and a central angle of 03°12'30", said curve also have a Chord Bearing and Distance of N.89°49'33"E. 104.27 feet; thence Easterly along the arc of said curve, being also said Southerly Right-of-Way line of E. Duval Street (U.S. Highway 90) a distance of 104.29 feet to its intersection with the Westerly Right-of-Way line of SE Colburn Avenue, as now exists; thence S.22°24'08"E. along said Westerly Right-of-Way line 18.75 feet; thence S.06°41'02"E. still along said Westerly Right-of-Way line 47.80 feet to the POINT OF BEGINNING.

STORE 3:

COMMENCE at the point of intersection of the North right of way line of St. Johns Street and the West line of Block 25 of CAMPHOR KNOLL ESTATES, a subdivision recorded in Plat Book 1, Page 43 of the Public Records of Columbia County, Florida and run North 07°16'25" East along the Easterly right of way of Colburn Avenue (formerly Colburn Street) a distance of 260.13 feet to the POINT OF BEGINNING; thence continue North 07°16'25" East along said West line of Block 25, being also the Easterly Right-of-Way line of Colburn Street a distance of 268.28 feet to a point on the Southerly Right-of-Way line of Duval Street and a point on a curve concave to the South having a radius of 1859.86 feet and a central angle of 07°46'12"; thence Easterly along the arc of said curve, being said Southerly Right-of-Way line of Duval Street, a distance of 252.22 feet to the end of said curve; thence South 04°34'46" West a distance of 274.60 feet; thence North 84°56'46" West a distance of 264.61 feet to the POINT OF BEGINNING. Containing 1.62 acres, more or less.

STORE 4:

The land referred to herein below is situated in the County of Columbia, State of Florida, and is described as follows:

COMMENCE AT THE NORTHWEST CORNER OF THE NE 1/4 OF SE 1/4, SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST, AND RUN THENCE S 8°41'30" W, ALONG THE WEST LINE OF SAID NE 1/4 OF SE 1/4, 911.67 FEET, THENCE N 88°40' E, 424.40 FEET, THENCE S 8°42'30" W, 187.70 FEET, THENCE N 83°15'30" E, 29.83 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD NO. 10-A, THENCE EASTERLY ALONG A CURVE CONCAVE TO THE RIGHT WITH A RADIUS OF 1867.86 FEET, AN ARC DISTANCE OF 652.83 FEET TO THE POINT OF BEGINNING, THENCE CONTINUE EASTERLY ALONG SAID CURVE CONCAVE TO THE RIGHT WITH A RADIUS OF 1867.86 FEET, AN ARC DISTANCE OF 236.46 FEET TO THE POINT OF INTERSECTION OF SAID SOUTH LINE WITH THE WEST LINE OF AVALON AVENUE, THENCE S 8°27'10" W, ALONG SAID WEST LINE 48.84 FEET, THENCE S 88°16'50" W, 136.48 FEET, THENCE S 8°27'10" W, 135.52 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BAYA AVENUE, THENCE S 88°16'50" W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 103.57 FEET, THENCE N 8°27'10" E, 208.83 FEET TO THE POINT OF BEGINNING.

ALSO:

COMMENCE AT THE SOUTHEAST CORNER OF BLOCK 4, ODOM'S SPRINGBROOK ADDITION, AND RUN THENCE SOUTH 8 DEGREES 24 MINUTES WEST ALONG THE WEST LINE OF AVALON AVENUE, 306.8 FEET FOR A POINT OF BEGINNING; THENCE CONTINUE SOUTH 8 DEGREES 24 MINUTES WEST ALONG SAID WEST LINE, 135.52 FEET TO THE NORTH LINE OF BAYA AVENUE; THENCE RUN SOUTH 88 DEGREES 23 MINUTES WEST ALONG SAID NORTH LINE OF BAYA AVENUE, 136.48 FEET; THENCE RUN NORTH 8 DEGREES 24 MINUTES EAST PARALLEL TO SAID WEST LINE 135.52 FEET; THENCE RUN NORTH 88 DEGREES 23 MINUTES EAST PARALLEL TO SAID NORTH LINE, 136.48 FEET TO THE POINT OF BEGINNING. SAID LAND LYING IN THE NE1/4 OF SE1/4, SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST.

LESS AND EXCEPT:

A PARCEL OF LAND IN THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE POINT OF INTERSECTION OF THE SURVEY BASELINE OF OLD COUNTRY CLUB ROAD (STA. 355+57.27) AND THE SURVEY BASELINE OF STATE ROAD 10-A (BAYA AVENUE) (STA.

240+08.41) AS PER FLORIDA DEPARTMENT OF TRANSPORTATION SECTION 29002, F.P. NO. 2083401; THENCE RUN N 82°27'51" W, ALONG THE SURVEY BASELINE OF SAID STATE ROAD 10-A (BAYA AVENUE), A DISTANCE OF 15.67 FEET TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 1,909.86 FEET AND A CENTRAL ANGLE OF 00°34'48"; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID SURVEY BASELINE, A DISTANCE OF 19.33 FEET; THENCE DEPARTING SAID CURVE AND SAID SURVEY BASELINE, RUN S 07°25'40" W, A DISTANCE OF 47.00 FEET FOR A POINT OF BEGINNING, SAID POINT LYING ON THE SOUTHERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD 10-A (BAYA AVENUE); THENCE DEPARTING SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, RUN N 83°15'36" W, A DISTANCE OF 13.12 FEET; THENCE RUN N 06°32'27" E, A DISTANCE OF 5.00 FEET TO THE AFOREMENTIONED SOUTHERLY EXISTING RIGHT OF WAY LINE, SAID POINT LYING ON A CURVE, CONCAVE SOUTHWESTERLY, HAVING A RADIUS OF 1,867.86 FEET AND A CENTRAL ANGLE OF 00°15'05"; THENCE FROM A CHORD BEARING OF S 83°20'02" E, RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 8.20 FEET; THENCE DEPARTING SAID CURVE, RUN S 37°51'08" E, ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 7.04 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PROPERTY BEING MORE PARTICULARLY DESCRIBED BY RECENT SURVEY AS FOLLOWS:

COMMENCE at the Southeast corner of Block No. 4, Odom's Springbrook Addition, as recorded in Plat Book No. 3, Page No. 34A of the Public Records of Columbia County, Florida and run thence S. 08°24'00" W. along the Westerly Right-of-Way line of Avalon Avenue 258.17 feet to the POINT OF BEGINNING; thence continue S. 08°24'00" W. along said Westerly Right-of-Way line 157.88 feet to its intersection with the Northerly Right-of-Way line of Old Baya Avenue, said point being the point of curve of a curve concave to the Northwest having a radius of 50.00 feet and a central angle of 80°00'57"; thence Southwesterly along the arc of said curve (also said Northerly Right-of-Way line) 47.53 feet to the point of tangency of said curve; thence S. 88°24'57" W. along said Northerly Right-of-Way line 203.79 feet to a concrete monument; thence N. 08°47'37" E. 208.91 feet to a point on the Southerly Right-of-Way line of Baya Avenue (State Road No. 10-A), said point being on the arc of a curve concave to the South having a radius of 1867.86 feet and a central angle of 07°06'01"; thence Southeasterly along the arc of said curve (also said Southerly Right-of-Way line) 231.46 feet; thence S. 36°53'14" E. still along said Right-of-Way line 7.04 feet to the POINT OF BEGINNING.

LESS AND EXCEPT

A parcel of land in the Southeast 1/4 of Section 33, Township 3 South, Range 17 East, Columbia County, Florida, being more particularly described as follows:

COMMENCE at the point of intersection of the survey baseline of Old Country Club Road (Sta. 355+57.27) and the survey baseline of State Road 10-A (Baya Avenue) (Sta. 240+08.41) as per Florida Department of Transportation Section 29002, F.P. No. 2083401; thence run N 82°27'51" W, along the survey baseline of said State Road 10-A (Baya Avenue), a distance of 15.67 feet to the point of curvature of a curve, concave Southwesterly having a radius of 1909.86 feet and a central angle of 00°34'48", thence run Northwestersly along the arc of said curve and along said survey baseline, a distance of 19.33 feet; thence departing said curve and said survey baseline, run S 07°25'40" W, a distance of 47.00 feet for a POINT OF BEGINNING; said point lying on the Southerly existing right of way line of said State Road 10-A (Baya Avenue); thence departing said Southerly existing right of way line, run N 83°15'36" W, a distance of 13.12 feet; thence run N 06°32'27" E, a distance of 5.00 feet to the aforementioned Southerly existing right of way line, said point lying on a curve, concave Southwesterly, having a radius of 1867.86 feet and a central angle of 00°15'05"; thence from a chord bearing of S 83°20'02" E, run Southeasterly along the arc of said curve and along said Southerly existing right of way line, a distance of 8.20 feet; thence departing said curve, run S 37°51'08" E, along said Southerly existing right of way line, a distance of 7.04 feet to the POINT OF BEGINNING.

STORE 5:

Parcel 1:

Lots No. 1 and 2, Block 7 of Ashurst Subdivision as recorded in Plat Book No. A, Page No. 1 of the Public Records of Columbia County, Florida and the East 1/2 of Lot No. 1, Block No. 1, Avondale Subdivision as recorded in Plat Book No. 2, Page No. 110 of the Public Records of Columbia County, Florida, also a part of Block No. 306, Southern Division, City of Lake City, Florida being more particularly described as follows:

BEGIN at the Southeast corner of Lot No. 1, Block No. 1, Avondale Subdivision and run South 88°34'46" West along the South line of said Lot No. 1, a distance of 75.00 feet to the Northeast corner of Lot No. 2, Block No. 1, Avondale Subdivision; thence South 1°14'00" East along the East line of said Lot No. 2, 100.18 feet to the North Right-of-Way line of Park Street (Baya Avenue); thence North 88°30'30" East along said North Right-of-Way line 51.41 feet to the point of curve of a curve concave to the left having a radius of 34.50 feet and a central angle of 68°01'45"; thence Northeasterly and Northerly along the arc of

said curve, also said Right-of-Way line 40.96 feet to the point of tangency of said curve, said point being also on the Westerly Right-of-Way line of Marion Street (U.S. No. 441); thence North 01°51'34" East along said Westerly Right-of-Way line 37.07 feet; thence North 01°14'00" West still along said Westerly Right-of-Way line 31.09 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE at the Southeast corner of Lot 1, Block 1, Avondale Subdivision, as per plat thereof as recorded in Plat Book 2, Page 110, Public Records of Columbia County, Florida; thence run South 02°35'27" East along the Westerly right-of-way line of State Road 25-A (SW Marion Avenue), a distance of 30.94 feet; thence run South 01°04'55" West, along said Westerly Right-of-Way line, a distance of 37.07 feet to the point of curvature of a curve concave Northwesterly, having a radius of 34.50 and a central angle of 51°49'43"; thence run Southwesterly along the arc of said curve, a distance of 31.20 feet for a POINT OF BEGINNING; thence from a chord bearing of South 57°48'50" West, continue along the arc of said curve and along said Westerly existing Right-of-Way line, through a central angle of 16°24'01" a distance of 9.88 feet to the Northerly existing Right-of-Way line of State Road 10-A (Baya Avenue); thence departing said curve, run South 87°48'32" West, along said Northerly existing Right-of-Way line, a distance of 6.25 feet; thence departing said Northerly existing Right-of-Way line, run North 02°11'28" West, a distance of 4.92 feet; thence run North 87°48'32" East, a distance of 14.77 feet to the POINT OF BEGINNING.

Parcel 2:

All of Lot No. 2 in Block No. 1 of Avondale, all according to the official map or plat thereof filed and recorded in the public records of said Columbia County and State of Florida in Plat Book 2, Page 110, LESS AND EXCEPT the West 100 feet of Lot No. 2, Block No. 1 of Avondale.

STORE 7:

COMMENCE AT THE NORTHEAST CORNER OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE SOUTH 85°49'40" WEST ALONG THE NORTH LINE OF SAID SECTION 7, 586.20 FEET, THENCE SOUTH 1°26'55" EAST, 30.03 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE CONTINUE SOUTH 1°26'55" EAST, 140.0 FEET, THENCE NORTH 85°49'40" EAST, 305.72 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47, THENCE NORTH 19°26'30" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE, 132.20 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF MCFARLANE AVENUE, THENCE NORTH 70°26'30" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 16.01 FEET TO THE P.C. OF A CURVE, THENCE WESTERLY ALONG SAID CURVE CONCAVE TO THE RIGHT HAVING A RADIUS OF 421.97 FEET ALONG A CHORD BEARING NORTH 68°40'36" WEST, 28.50 FEET TO THE SOUTH RIGHT-OF-WAY LINE OF BROWN LANE, THENCE SOUTH 85°49'40" WEST ALONG SAID SOUTH RIGHT-OF-WAY LINE, 311.64 FEET TO THE POINT OF BEGINNING. SAID LANDS BEING IN THE NORTHEAST 1/4 OF THE NORTHEAST 1/4 OF SECTION 7.

LESS AND EXCEPT

A PARCEL OF LAND IN THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHEAST QUARTER OF SECTION 7, TOWNSHIP 4 SOUTH, RANGE 17 EAST; THENCE RUN SOUTH 84°54'56" WEST, ALONG THE NORTH LINE OF SAID NORTHEAST QUARTER, A DISTANCE OF 48.654 METERS (159.63 FEET) TO THE BASELINE OF SURVEY OF STATE ROAD NO. 47 AS PER SECTION 29020-2501; THENCE DEPARTING SAID NORTH LINE, SOUTH 18°32'02" WEST, ALONG SAID BASELINE OF SURVEY, A DISTANCE OF 63.157 METERS (207.21 FEET); THENCE DEPARTING SAID BASELINE OF SURVEY, NORTH 71°27'58" WEST, A DISTANCE OF 15.240 METERS (50.00 FEET) TO THE WESTERLY EXISTING RIGHT OF WAY LINE OF SAID STATE ROAD NO. 47 FOR A POINT OF BEGINNING; THENCE SOUTH 84°54'56" WEST, A DISTANCE OF 14.316 METERS (46.97 FEET); THENCE NORTH 18°32'02" EAST, A DISTANCE OF 38.870 METERS (127.53 FEET) TO THE POINT OF CURVATURE OF A CURVE, CONCAVE SOUTHWESTERLY, HAVING A CENTRAL ANGLE OF 113°36'59" AND A RADIUS OF 5.000 METERS (16.40 FEET); THENCE NORTHEASTERLY, NORTHERLY, NORTHWESTERLY, WESTERLY, AND SOUTHWESTERLY ALONG THE ARC OF SAID CURVE, A DISTANCE OF 9.915 METERS (32.53 FEET); THENCE NORTH 84°54'56" EAST, A DISTANCE OF 6.963 METERS (22.84 FEET) TO THE SOUTHERLY EXISTING RIGHT OF WAY LINE OF MCFARLANE AVENUE, SAID POINT LYING ON A CURVE, CONCAVE NORTHEASTERLY, HAVING A CENTRAL ANGLE OF 03°53'49" AND A RADIUS OF 128.617 METERS (421.97 FEET); THENCE FROM A CHORD BEARING OF SOUTH 69°23'26" EAST, RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 8.748 METERS (28.70 FEET); THENCE SOUTH 71°20'20" EAST, ALONG SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 5.000 METERS (16.40 FEET) TO SAID WESTERLY EXISTING RIGHT OF WAY LINE; THENCE DEPARTING SAID SOUTHERLY EXISTING RIGHT OF WAY LINE, SOUTH 18°32'02" WEST, ALONG SAID WESTERLY EXISTING RIGHT OF WAY LINE, A DISTANCE OF 40.177 METERS (131.82 FEET) TO THE POINT OF BEGINNING.

SUBJECT TO: AN EASEMENT FOR INGRESS AND EGRESS ACROSS THE WEST 32.00 FEET THEREOF.

STORE 9:

COMMENCE AT THE NORTHEAST CORNER OF THE SOUTHWEST 1/4, SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN NORTH 89°04' 51" WEST, ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 A DISTANCE OF 26.06 FEET TO A 12" POST AT ITS INTERSECTION WITH THE WEST RIGHT-OF-WAY LINE OF WEST LAKE CITY AVENUE; THENCE SOUTH 07°11'32" WEST, ALONG SAID WEST RIGHT-OF-WAY LINE 641.20 FEET TO A CONCRETE MONUMENT AND THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 07°11'32" WEST, STILL ALONG SAID WEST RIGHT-OF-WAY LINE 236.74 FEET TO A CONCRETE MONUMENT AT ITS INTERSECTION WITH THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 90, SAID POINT ALSO BEING ON THE ARC OF A CURVE CONCAVE TO THE RIGHT HAVING A RADIUS OF 11,409.156 FEET AND A TOTAL CENTRAL ANGLE OF 06°35'00"; THENCE NORTHWESTERLY ALONG THE ARC OF SAID CURVE (ALSO THE NORTHERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 90), A DISTANCE OF 125.00 FEET TO A CONCRETE MONUMENT; THENCE NORTH 07°11'32" EAST, 200.00 FEET TO A CONCRETE MONUMENT; THENCE SOUTH 82°48'32" EAST, 119.48 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

THAT PART OF THE SOUTHWEST QUARTER (SW 1/4) OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT A 4" X 4" CONCRETE MONUMENT LOCATED AT THE SOUTHWEST CORNER OF THE NORTHWEST QUARTER (NW 1/4) OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA; THENCE RUN NORTH 04°42'10" EAST, ALONG THE WEST LINE THEREOF, A DISTANCE OF 268.13 FEET TO THE CENTERLINE OF SURVEY OF STATE ROAD NO. 10 (U.S. 90), (A 100.00 FOOT RIGHT-OF-WAY AT THIS POINT, AS PER FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT-OF-WAY MAP, SECTION 29010); THENCE DEPARTING SAID WEST LINE, RUN SOUTH 65°20'55" EAST, ALONG THE CENTERLINE OF SAID STATE ROAD NO. 10 (U.S. 90), A DISTANCE OF 2,366.36 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 11,468.83 FEET, AND A CENTRAL ANGLE OF 02°01'35"; THENCE RUN SOUTHEASTERLY, ALONG SAID CENTERLINE, AND THE ARC OF SAID CURVE, AN ARC DISTANCE OF 405.62 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF SOUTH 66°21'43" EAST, 405.66 FEET; THENCE DEPARTING SAID CENTERLINE, RUN NORTH 22°37'29" EAST, A DISTANCE OF 50.00 FEET TO A POINT ON THE NORTHERLY EXISTING RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. 10 (U.S. 90), FOR A POINT OF BEGINNING; THENCE DEPARTING SAID NORTHERLY EXISTING RIGHT-OF-WAY LINE, RUN NORTH 59°15'44" EAST, A DISTANCE OF 35.82 FEET TO A POINT ON THE WESTERLY EXISTING RIGHT-OF-WAY LINE OF WEST LAKE CITY AVENUE (A 50.00 FOOT RIGHT-OF-WAY); THENCE RUN SOUTH 05°44'14" WEST, ALONG SAID WESTERLY EXISTING RIGHT-OF-WAY LINE, A DISTANCE OF 30.00 FEET TO ITS INTERSECTION WITH THE NORTHERLY EXISTING RIGHT-OF-WAY LINE OF SAID STATE ROAD NO. 10 (U.S. 90), SAID POINT BEING ON A CURVE CONCAVE NORTHEASTERLY, HAVING A RADIUS OF 11,418.83 FEET, AND A CENTRAL ANGLE OF 00°09'04"; THENCE RUN NORTHWESTERLY, ALONG SAID NORTHERLY EXISTING RIGHT-OF-WAY LINE, AND THE ARC OF SAID CURVE, AN ARC DISTANCE OF 30.09 FEET, SAID ARC BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF NORTH 67°27'03" WEST, 30.09 FEET TO THE POINT OF BEGINNING.

STORE 10:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN SOUTH 00°26'30" EAST ALONG THE WEST LINE OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4, 260 FEET; THENCE NORTH 86°57'30" EAST, 317.10 FEET TO THE POINT OF BEGINNING; THENCE NORTH 04°05'20" WEST, 228.54 FEET TO A POINT ON THE SOUTH RIGHT-OF-WAY LINE OF STATE ROAD NO. S-240; THENCE NORTH 85°24'45" EAST ALONG THE SOUTH RIGHT-OF-WAY LINE, 168.88 FEET; THENCE SOUTHEASTERLY STILL ALONG THE SOUTH RIGHT-OF-WAY LINE ALONG THE ARC OF A CURVE HAVING A RADIUS OF 50.00 FEET, AN ARC LENGTH OF 79.02 FEET, A CHORD DISTANCE OF 71.04 FEET AND A CHORD BEARING OF SOUTH 49°18'53" EAST TO THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 41 AND 441 (STATE ROAD NO. 25); THENCE SOUTH 04°02'30" EAST ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 41 AND 441 (STATE ROAD NO. 25) A DISTANCE OF 183.95 FEET; THENCE SOUTH 86°57'30" WEST, 219.35 FEET TO THE POINT OF BEGINNING.

AND ALSO:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 00°26'30" EAST, ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 A DISTANCE OF 260.00 FEET; THENCE NORTH 86°57'30" EAST, 342.10 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE NORTH 86°57'30" EAST, 194.35 FEET TO A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY NO. 41 AND 441 (STATE ROAD NO. 25); THENCE SOUTH

04°02'30" EAST, ALONG SAID WESTERLY RIGHT-OF-WAY LINE 30.00 FEET; THENCE SOUTH 86°57'30" WEST, 194.32 FEET; THENCE NORTH 04°05'20" WEST, 30.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 10, TOWNSHIP 5 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN SOUTH 00°26'30" EAST, ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 A DISTANCE OF 260.00 FEET; THENCE NORTH 86°57'30" EAST, 317.10 FEET TO THE POINT OF BEGINNING, THENCE NORTH 04°05'20" WEST, 228.54 FEET TO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 240, THENCE NORTH 85°24'45" EAST, ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 25.00 FEET; THENCE SOUTH 04°05'20" EAST, 229.21 FEET; THENCE SOUTH 86°57'30" WEST, 25.00 FEET TO THE POINT OF BEGINNING.

STORE 11:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN NORTH 00 DEG. 22 MIN. 46 SEC. EAST 40.00 FEET TO THE NORTH RIGHT OF WAY LINE OF STATE ROAD S-242; THENCE NORTH 89 DEG. 03 MIN. 30 SEC. EAST ALONG SAID NORTH RIGHT OF WAY LINE, 1644.80 FEET TO THE POINT OF BEGINNING; AND RUN THENCE NORTH 00 DEG. 22 MIN. 46 SEC. WEST, 210.00 FEET; THENCE NORTH 89 DEG. 03 MIN. 30 SEC. EAST, 433.04 FEET TO THE NORTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD NO. 247; THENCE SOUTH 41 DEG. 30 MIN. WEST, ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE, 284.55 FEET TO THE POINT OF INTERSECTION OF SAID NORTHWESTERLY RIGHT OF WAY LINE WITH THE NORTH RIGHT OF WAY LINE OF SAID STATE ROAD NO. S. 242; THENCE SOUTH 89 DEG. 03 MIN. 30 SEC. WEST, ALONG THE SAID NORTH RIGHT OF WAY LINE 243.07 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF SECTION 20, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN NORTH 00 DEG. 22 MIN. 46 SEC. EAST A DISTANCE OF 40.00 FEET TO THE NORTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 242; THENCE RUN NORTH 89 DEG. 03 MIN. 30 SEC. EAST ALONG SAID NORTH RIGHT OF WAY LINE 1644.80 FEET TO THE SOUTHWEST CORNER OF A PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 365, PAGE 680, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, ALSO BEING THE POINT OF BEGINNING; THENCE RUN NORTH 00 DEG. 25 MIN. 41 SEC. WEST, ALONG THE WEST LINE OF SAID PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 365, PAGE 680, BEING ALSO THE EASTERLY RIGHT OF WAY LINE OF ELM STREET A DISTANCE OF 210.00 FEET TO THE NORTH LINE OF SAID PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 365, PAGE 680; THENCE RUN NORTH 89 DEG. 03 MIN. 30 SEC. EAST ALONG SAID NORTH LINE, BEING ALSO THE SOUTH LINE OF LOT 1, BLOCK 5 OF SHADY OAKS ACRES UNIT 2 ADDITION A DISTANCE OF 104.92 FEET; THENCE SOUTH 00 DEG. 28 MIN. 25 SEC. EAST ALONG AN EXISTING FENCE LINE 210.03 FEET TO THE SOUTH LINE OF SAID PARCEL OF LAND AS DESCRIBED IN OFFICIAL RECORDS BOOK 365, PAGE 680, ALSO BEING THE NORTH RIGHT OF WAY LINE OF COUNTY ROAD NO. 242; THENCE RUN SOUTH 89 DEG 03 MIN. 30 SEC. WEST ALONG SAID SOUTH LINE AND ALSO ALONG SAID NORTH RIGHT OF WAY LINE 105.09 FEET TO THE POINT OF BEGINNING.

ALSO LESS AND EXCEPT THAT PART WITHIN THE ROAD RIGHT OF WAY PER FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS OF STATE ROAD 247.

STORE 14:

BEGIN AT THE POINT OF INTERSECTION OF THE EAST LINE OF THE WEST 1/2 OF THE WEST 1/4 OF THE NORTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND THE NORTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 100 AND RUN N.52°11'08"W ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE 47.00 FEET TO A POINT ON THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF BAYA AVENUE (STATE ROAD NO. 10-A); THENCE N.13°22'41" W ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE 39.30 FEET; THENCE N.47°57'03"E STILL ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE 435.73 FEET; THENCE S.05°25'10"W 196.26 FEET; THENCE S.31°21'17"W 289.64 FEET TO A POINT ON THE NORTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 100; THENCE N.52°11'08"W ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE 136.81 FEET TO THE POINT OF BEGINNING.

AND ALSO:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN N.07°13'05"E ALONG THE EAST LINE OF SAID SECTION 34 A DISTANCE OF 48.13 FEET TO THE NORTHEASTERLY RIGHT OF WAY LINE, STATE ROAD NO. 100; THENCE N.52°08'30"W ALONG SAID RIGHT-OF-WAY LINE 2337.57 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.52°08'30"W ALONG SAID RIGHT OF WAY LINE 150.00 FEET; THENCE

N.31°19'04"E 289.55 FEET; THENCE S.05°23'55"W 340.93 TO THE POINT OF BEGINNING, SAID LANDS LYING IN THE SE ¼ OF SECTION 34, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

TOGETHER WITH RIGHTS GRANTED IN EASEMENT RECORDED IN OFFICIAL RECORDS BOOK 160, PAGE 203 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

STORE 15:

The land referred to herein below is situated in the County of Columbia, State of Florida, and is described as follows:

Commence at the Northeast corner of Block X, of the W.H.C. Collins survey of the Town of Fort White, an unrecorded plat dated May, 1890 and run thence S 40°18'32" W, along the Southeasterly line of said Block X, 282.92 feet to the Point of Intersection of said Southeasterly line with the West line of Third Street and to the POINT OF BEGINNING, and run thence S 2°21'28" E, along said West line 221.03 feet to the North right-of-way line of State Road No. 20, thence Westerly along a curve, concave to the right along a chord bearing N 75°46'30" W, a distance of 151.71 feet, thence N 2°21'28" W, 200.00 feet, thence N 87°38'32" E, 150 feet to the West line of said Third Street, thence S 2°21'28" E, 23.64 feet to the POINT OF BEGINNING. Said lands being a part of Block 41 and a part of Block X, of the Town of Fort White, Florida.

STORE 17:

Lots 21 and 22, COUNTRY CREEK SUBDIVISION, according to the Plat thereof as recorded in Plat Book 4, Page(s) 81, of the Public Records of Columbia County, Florida.

STORE 23:

A part of the Northeast 1/4 of Section 10, Township 5 South, Range 16 East, more particularly described as follows: COMMENCE at the Northeast Corner of said Section 10 and run South 89°28' West along the North Line of said Section 10, 593.01 feet to the Westerly Right-of-Way line of State Road No. 47; thence South 15°29'30" West along said Right-of-Way line 1335.42 feet to the POINT OF BEGINNING; thence North 84°35'45" West, 368.35 feet; thence South 03°01'30" West, 240.55 feet; thence South 87°22'30" East, 318.31 feet to the West Right-of-Way line of said State Road No. 47; thence North 15°29'30" East, 228.14 feet to the POINT OF BEGINNING. Columbia County, Florida.

SUBJECT TO:

Ingress and egress over and across the South 20 feet of the following described property: COMMENCE at the Northeast Corner of said Section 10 and run South 89°28' West along the North Line of said Section 10, 593.01 feet to the Westerly Right-of-Way line of State Road No. 47; thence South 15°29'30" West along said Right-of-Way line 1335.42 feet to the POINT OF BEGINNING; thence North 84°35'45" West, 368.35 feet; thence South 03°01'30" West, 240.55 feet; thence South 87°22'30" East, 318.31 feet to the West Right-of-Way line of said State Road No. 47; thence North 15°29'30" East, 228.14 feet to the POINT OF BEGINNING. Columbia County, Florida.

STORE 27:

PARCEL ONE

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN S 00°17'22" E ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 30 A DISTANCE OF 21.65 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242; THENCE N 89°08'24" W ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 630.00 FEET TO THE NORTHWEST CORNER OF LANDS OWNED BY NEVIN AND SHIRLEY NETTLES, ALSO BEING THE POINT OF BEGINNING; THENCE S 00°17'22" E ALONG THE WEST LINE OF SAID LANDS OWNED BY NEVIN AND SHIRLEY NETTLES 275.00 FEET; THENCE S 89°15'15" W, 156.95 FEET TO A LINE BEING PARALLEL WITH THE WEST LINE OF SAID LANDS OWNED BY NEVIN AND SHIRLEY NETTLES; THENCE N 00°17'22" W ALONG SAID PARALLEL LINE 279.39 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242; THENCE S 89°08'24" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 156.97 FEET TO THE POINT OF BEGINNING.

PARCEL TWO

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN S 00°17'22" E ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 30 A DISTANCE OF 21.65 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242; THENCE N 89°08'24" W ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 846.98 FEET TO THE POINT OF BEGINNING; THENCE S 00°17'22" E, 281.08 FEET; THENCE S 89°15'15" W, 211.91 FEET TO A POINT ON THE EASTERLY LIMITED ACCESS RIGHT-OF-WAY

LINE OF INTERSTATE HIGHWAY 75; THENCE N 05°34'38"W ALONG SAID LIMITED ACCESS RIGHT-OF-WAY LINE 35.35 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 132.19 FEET AND A CENTRAL ANGLE OF 19°41'17", SAID CURVE ALSO HAVING A CHORD BEARING AND DISTANCE OF N 04°16'03"E 45.20 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID EASTERLY LIMITED ACCESS RIGHT-OF-WAY LINE 45.42 FEET TO THE SOUTH LINE OF A PARCEL OF LAND AS RECORDED IN OFFICIAL RECORD BOOK 895, PAGE 106 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N 89°15'15"E ALONG SAID SOUTH LINE 159.36 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL OF LAND; THENCE N 14°14'39"E ALONG THE EAST LINE OF SAID PARCEL OF LAND 207.91 FEET TO THE NORTHEAST CORNER OF SAID PARCEL OF LAND AND THE POINT OF BEGINNING.

INGRESS/EGRESS EASEMENT

COMMENCE AT THE NORTHEAST CORNER OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN S 00°17'22" E ALONG THE EAST LINE OF THE NORTHWEST 1/4 OF SAID SECTION 30 A DISTANCE OF 21.65 FEET TO THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242; THENCE N 89°08'24" W ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 786.97 FEET TO THE POINT OF BEGINNING; THENCE S 00°17'22" E PARALLEL TO THE WEST LINE OF LANDS OWNED BY NEVIN AND SHIRLEY NETTLES 279.39 FEET; THENCE S 89°15'15" W. 60.00 FEET TO A LINE BEING PARALLEL WITH THE WEST LINE OF SAID LANDS OWNED BY NEVIN AND SHIRLEY NETTLES; THENCE N 00°17'22" W ALONG SAID LINE 281.08 FEET TO THE NORTHEAST CORNER OF A PARCEL OF LAND AS RECORDED IN OFFICIAL RECORD BOOK 895, PAGE 106 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, BEING ALSO A POINT ON THE SOUTHERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242; THENCE S 89°08'24" E ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 60.01 FEET TO THE POINT OF BEGINNING.

STORE 28:

COMMENCE AT THE SOUTHWEST CORNER OF DIXIE VILLA, A SUBDIVISION IN THE SOUTHWEST QUARTER OF SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 17 EAST, IN COLUMBIA COUNTY, FLORIDA, ACCORDING TO PLAT ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE SOUTH 1377 FEET; THENCE RUN EAST 850 FEET FOR A POINT OF BEGINNING, SAID POINT BEING THE NORTHEAST CORNER OF THE SEROKI PROPERTY; RUN THENCE EAST 490 FEET, MORE OR LESS, TO THE WEST LINE OF RIGHT-OF-WAY OF STATE ROAD NO. 25 (U.S. HIGHWAY NO. 41); THENCE SOUTHERLY ALONG THE WEST LINE OF SAID RIGHT-OF-WAY 331 FEET; THENCE WEST 640 FEET; THENCE NORTHWEST PARALLEL TO THE CENTERLINE OF SAID HIGHWAY 198 FEET; THENCE EAST 75.8 FEET; THENCE NORTH 102.3 FEET TO POINT OF BEGINNING; LESS AND EXCEPT THAT PORTION ACQUIRED BY COLUMBIA COUNTY FOR ROAD RIGHTS-OF-WAY, ALL LYING AND BEING IN SECTION 17, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.

SUBJECT TO:

AN EASEMENT FOR INGRESS AND EGRESS IN SECTION 17, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SOUTHWEST CORNER OF DIXIE VILLA, A SUBDIVISION IN THE SOUTHWEST QUARTER OF SOUTHWEST QUARTER OF SECTION 8, TOWNSHIP 4 SOUTH, RANGE 17 EAST, IN COLUMBIA COUNTY, FLORIDA, ACCORDING TO PLAT ON FILE IN THE OFFICE OF THE CLERK OF THE CIRCUIT COURT, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE SOUTH 1377 FEET; THENCE RUN EAST 850 FEET TO THE NORTHWEST CORNER OF A PARCEL OF LAND DESCRIBED IN O.R. BOOK 907, PAGE 1291 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.86°11'40"E, ALONG THE NORTH LINE OF SAID PARCEL OF LAND 392.12 FEET TO THE CURRENT WESTERLY RIGHT-OF-WAY LINE OF SW MAIN BOULEVARD (U.S. HIGHWAY NO. 41); THENCE S.35°19'44"E, ALONG SAID WESTERLY RIGHT-OF-WAY LINE 201.60 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.35°19'44"E, STILL ALONG SAID WESTERLY RIGHT-OF-WAY LINE 130.00 FEET TO THE SOUTHEAST CORNER OF SAID PARCEL OF LAND DESCRIBED IN O.R. BOOK 907, PAGE 1291; THENCE S.87°38'12"W, ALONG THE SOUTH LINE OF SAID PARCEL OF LAND 95.35 FEET; THENCE N.35°19'44"W, ALONG A LINE 80.00 FEET WESTERLY OF AND PARALLEL TO THE WESTERLY RIGHT-OF-WAY LINE OF SW MAIN BOULEVARD (U.S. HIGHWAY NO. 41) A DISTANCE OF 78.12 FEET; THENCE N.54°40'16"E, 80.00 FEET TO THE POINT OF BEGINNING.

STORE 29:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN N 88°48'11" E, ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5 A DISTANCE OF 12.02 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N 88°48'11" E, ALONG THE NORTH LINE OF SAID SOUTHWEST 1/4 OF THE SOUTHEAST 1/4 OF SECTION 5 A DISTANCE OF 381.44 FEET; THENCE SOUTH 01°03'07" EAST A DISTANCE OF 261.86 FEET TO A POINT ON THE NORTHWESTERLY RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD (A.K.A. CR-250); THENCE SOUTH 61°11'29" WEST ALONG SAID NORTHWESTERLY RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD A DISTANCE OF 395.28 FEET TO THE POINT OF INTERSECTION OF SAID NORTHWESTERLY

RIGHT-OF-WAY LINE OF SW PINEMOUNT ROAD AND THE EASTERLY RIGHT-OF-WAY LINE OF SW BIRLEY AVENUE; THENCE NORTH 60°31'39" WEST ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF SW BIRLEY AVENUE A DISTANCE OF 26.29 FEET; THENCE NORTH 02°14'48" WEST STILL ALONG SAID EASTERLY RIGHT-OF-WAY LINE OF SW BIRLEY AVENUE A DISTANCE OF 431.73 FEET TO THE POINT OF BEGINNING.

STORE 33:

COMMENCE at the Southwest corner of the Northeast 1/4 of the Northwest 1/4 of Section 29, Township 3 South, Range 17 East, Columbia County, Florida, as shown on a survey by Curtis Keene, PLS No. 3712 (dated 4/6/1986) and run thence N.86°33'19"E. along the South line of said Northeast 1/4 of the Northwest 1/4, per said Keen survey, a distance of 78.46 feet to its intersection with the Southerly extension of the Easterly Right-of-Way line of N. Marion Ave. (U.S. Highway 441); thence N.01°38'35" W. along said Southerly extension of said Right-of-Way line 51.68 feet to the POINT OF BEGINNING; thence continue N.01°38'35"W. along the Easterly Right-of-Way line of N. Marion Ave. (U.S. Highway 441) a distance of 319.31 feet; thence S.88°38'59"E. 370.12 feet; thence S.01°38'35"E. parallel to the Easterly Right-of-Way line of N. Marion Ave. (U.S. Highway 441) a distance of 255.34 feet to the Northwest corner of a parcel of land, occupied by a sewer lift station, and owned by the City of Lake City, Florida; thence S.02°24'08"E. along the West line of said sewer lift station parcel, a distance of 65.00 feet to the Southwest corner of said sewer lift station parcel and a point on the Northerly Right-of-Way line of NE Bascom Norris Drive (f.k.a. County Road 100-A); thence N.88°38'59"W. along said Northerly Right-of-Way line 347.66 feet; thence S.85°37'18"W. still along said Northerly Right-of-Way line 6.21 feet to the Point of Curve of a curve concave to the North having a radius of 45.00 feet and a central angle of 22°06'57"; thence Westerly along the arc of said curve, being also the Northerly Right-of-Way line of NE Bascom Norris Drive (f.k.a. County Road 100-A) a distance of 17.37 feet to the POINT OF BEGINNING.

SUBJECT TO: A Utility Easement to Florida Power & Light Company, dated June 19, 2007, along the Westerly 16.00 feet thereof.

STORE 37:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 87°51'21" EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 8 A DISTANCE OF 76.50 FEET TO A POINT ON THE CENTERLINE OF U.S. HIGHWAY 441; THENCE SOUTH 00°42'00" WEST ALONG SAID CENTERLINE OF U.S. HIGHWAY 441 A DISTANCE OF 1394.45 FEET; THENCE SOUTH 89°18'00" EAST A DISTANCE OF 100.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, SAID POINT BEING A POINT ON A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 28547.89 FEET, A CENTRAL ANGLE OF 00°10'55", A CHORD BEARING OF SOUTH 00°36'33" WEST AND A CHORD DISTANCE OF 90.59 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 90.59 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°28'55" EAST A DISTANCE OF 457.66 FEET; THENCE SOUTH 02°37'28" WEST A DISTANCE OF 392.40 FEET; THENCE SOUTH 89°43'08" WEST A DISTANCE OF 440.50 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, SAID POINT BEING A POINT ON A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 28547.89 FEET, A CENTRAL ANGLE OF 00°47'58", A CHORD BEARING OF NORTH 00°07'06" EAST AND A CHORD DISTANCE OF 398.29 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 398.30 FEET TO THE POINT OF BEGINNING.

SUBJECT TO: AN EASEMENT FOR INGRESS AND EGRESS MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE NORTHEAST 1/4 OF THE SOUTHWEST 1/4 OF SECTION 8, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NORTH 87°51'21" EAST ALONG THE NORTH LINE OF THE SOUTHWEST 1/4 OF SECTION 8 A DISTANCE OF 76.50 FEET TO A POINT ON THE CENTERLINE OF U.S. HIGHWAY 441; THENCE SOUTH 00°42'00" WEST ALONG SAID CENTERLINE OF U.S. HIGHWAY 441 A DISTANCE OF 1394.45 FEET; THENCE SOUTH 89°18'00" EAST A DISTANCE OF 100.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, SAID POINT BEING A POINT ON A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 28547.89 FEET, A CENTRAL ANGLE OF 00°10'55", A CHORD BEARING OF SOUTH 00°36'33" WEST AND A CHORD DISTANCE OF 90.59 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 90.59 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°28'55" EAST A DISTANCE OF 105.00 FEET TO A POINT ON A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 28442.89 FEET, A CENTRAL ANGLE OF 00°19'20", A CHORD BEARING OF SOUTH 00°21'25" WEST, AND A CHORD DISTANCE OF 160.00 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 160.00 FEET; THENCE NORTH 89°28'55" WEST A DISTANCE OF 105.00 FEET TO A POINT ON THE EASTERLY RIGHT-OF-WAY LINE OF U.S. HIGHWAY 441, SAID POINT BEING A POINT ON A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 28547.89 FEET, A CENTRAL ANGLE OF 00°19'16", A CHORD BEARING OF NORTH 00°21'27" EAST AND A CHORD DISTANCE OF 160.00 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE A DISTANCE OF 160.00 FEET TO THE POINT OF BEGINNING.

STORE 38:

COMMENCE at the Northwest corner of the Southeast ¼ of Section 3, Township 6 South, Range 17 East, Columbia County, Florida and run North 88°19'29" East 1177.29 feet to a point on the West Right-of-Way line of State Road No. 25 (U.S. Highway No. 41 & 441); thence South 00°56'01" East along said West Right-of-Way line 14.00 feet for a POINT OF BEGINNING; thence South 00°56'01" East still along said West Right-of-Way line 467 feet; thence South 88°03'07" West 467 feet; thence North 00°56'01" West 467 feet; thence North 88°03'07" East 467 feet to the POINT OF BEGINNING.

SUBJECT TO that part within the maintained Right-of-Way of a County Road.

ALSO SUBJECT TO an electric utility Easement 15 feet in width along the South and West property lines thereof.

Store 41:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 00°33'37" WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 A DISTANCE OF 45.58 FEET TO THE NORTHEAST CORNER OF PLANTATION ESTATES, A SUBDIVISION RECORDED IN PLAT BOOK 3, PAGE 77 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, SAID POINT BEING ALSO ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW COREY PLACE (F.K.A. COUNTY ROAD 242) AND ON THE ARC OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 22878.31 FEET AND A CHORD BEARING AND DISTANCE OF S 89°25'56" EAST 424.21 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID SOUTHERLY RIGHT-OF-WAY LINE OF SW COREY PLACE, A DISTANCE OF 424.22 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°52'00" EAST STILL ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 365.01 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE SOUTH 88°52'00" EAST STILL ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE OF SW COREY PLACE A DISTANCE OF 146.35 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 115°40'13", SAID CURVE ALSO HAVING A CHORD BEARING AND DISTANCE OF S.31°26'18"E. 84.65 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID RIGHT-OF-WAY LINE 100.94 FEET TO THE POINT OF TANGENCY OF SAID CURVE AND A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S.26°17'48"W. ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47 A DISTANCE OF 366.38 FEET TO ITS INTERSECTION WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 242; THENCE N.00°05'06"E. 74.10 FEET; THENCE S.89°25'57"W. 116.12 FEET TO A POINT ON SAID NORTHEASTERLY RIGHT-OF-WAY OF SW COUNTY ROAD NO. 242; THENCE N.48°00'23"W. ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE 34.38 FEET; THENCE N.10°07'52"E. 164.23 FEET; THENCE S.88°54'10"E. 81.60 FEET; THENCE N.01°08'00"E. 147.64 FEET TO THE POINT OF BEGINNING.

TOGETHER WITH:

AN EASEMENT, 10 FEET IN WIDTH, FOR A SEWER LINE, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 00°33'37" WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 A DISTANCE OF 45.58 FEET TO THE NORTHEAST CORNER OF PLANTATION ESTATES, A SUBDIVISION RECORDED IN PLAT BOOK 3, PAGE 77 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, SAID POINT BEING ALSO ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW COREY PLACE (F.K.A. COUNTY ROAD 242) AND ON THE ARC OF A CURVE CONCAVE TO THE SOUTH HAVING A RADIUS OF 22878.31 FEET AND A CHORD BEARING AND DISTANCE OF S 89°25'56" EAST 424.21 FEET; THENCE EASTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID SOUTHERLY RIGHT-OF-WAY LINE OF SW COREY PLACE, A DISTANCE OF 424.22 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE SOUTH 88°52'00" EAST STILL ALONG SAID SOUTHERLY RIGHT-OF-WAY LINE 511.36 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 50.00 FEET AND A CENTRAL ANGLE OF 115°40'13", SAID CURVE ALSO HAVING A CHORD BEARING AND DISTANCE OF S.31°26'18"E. 84.65 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID RIGHT-OF-WAY LINE 100.94 FEET TO THE POINT OF TANGENCY OF SAID CURVE AND A POINT ON THE WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47; THENCE S.26°17'48"W. ALONG SAID WESTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 47 A DISTANCE OF 366.38 FEET TO ITS INTERSECTION WITH THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SW COUNTY ROAD NO. 242; THENCE N.00°05'06"E. 74.10 FEET; THENCE S.89°25'57"W. 116.12 FEET TO A POINT ON SAID NORTHEASTERLY RIGHT-OF-WAY OF SW COUNTY ROAD NO. 242; THENCE N.48°00'23"W. ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE 34.38 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N.48°00'23"W. STILL SAID NORTHEASTERLY RIGHT-OF-WAY LINE 132.73 FEET; THENCE N.41°59'37"E. 10.00 FEET; THENCE S.48°00'23"E. ALONG A LINE 10.00 FEET NORTH OF AND PARALLEL TO SAID NORTHEASTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242 A DISTANCE OF 126.52 FEET; THENCE S.10°07'52"W. 11.77 FEET TO THE POINT OF BEGINNING.

ALSO TOGETHER WITH:

AN EASEMENT, FOR A SEWER DRAINFIELD, DESCRIBED AS FOLLOWS:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN SOUTH 00°33'37" WEST ALONG THE WEST LINE OF SAID SOUTHWEST 1/4 OF THE NORTHWEST 1/4 A DISTANCE OF 45.58 FEET TO THE NORTHEAST CORNER OF PLANTATION ESTATES, A SUBDIVISION RECORDED IN PLAT BOOK 3, PAGE 77 OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, SAID POINT BEING ALSO ON THE SOUTHERLY RIGHT-OF-WAY LINE OF SW COREY PLACE; THENCE CONTINUE S.00°33'37"W. STILL ALONG SAID WEST LINE OF THE SOUTHWEST 1/4 OF THE NORTHWEST 1/4 A DISTANCE OF 19.90 FEET TO A POINT ON THE SOUTHWESTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242, SAID POINT BEING ON THE ARC OF A CURVE CONCAVE TO THE SOUTHWEST HAVING A RADIUS OF 465.88 FEET AND A CENTRAL ANGLE OF 40°35'11", SAID CURVE ALSO HAVING A CHORD BEARING AND DISTANCE OF S.68°16'05"E. 323.16 FEET; THENCE SOUTHEASTERLY ALONG THE ARC OF SAID CURVE, BEING ALSO SAID SOUTHWESTERLY RIGHT-OF-WAY LINE OF COUNTY ROAD NO. 242 A DISTANCE OF 330.01 FEET TO THE POINT OF TANGENCY OF SAID CURVE; THENCE S.47°53'13"E. STILL ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE 159.31 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE S.47°53'13"E. STILL ALONG SAID SOUTHWESTERLY RIGHT-OF-WAY LINE 145.13 FEET; THENCE S.89°38'24"W. 192.44 FEET; THENCE N.00°21'36"W. 98.00 FEET; THENCE N.89°38'24"E. 85.39 FEET TO THE POINT OF BEGINNING.

STORE 42:

COMMENCE at the Southwest corner of the Northwest 1/4 of Section 34, Township 3 South, Range 16 East, Columbia County, Florida, and run North 05°35'13" East, along the West line of said Section 34 a distance of 321.20 feet to a point on the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10); thence South 64°28'00" East along said Northerly Right-of-Way line 19.47 feet to its intersection with the Easterly maintained Right-of-Way line of Turner Road (a county maintained paved road) and the POINT OF BEGINNING; thence North 05°47'15" East along said Easterly maintained Right-of-Way line of Turner Road 300.00 feet; thence East 141.90 feet; thence South 05°47'15" West parallel to the Easterly maintained Right-of-Way line of Turner Road 364.99 feet to a point on the Northerly Right-of-Way line of U.S. Highway No. 90 (State Road No. 10); thence North 64°28'00" West along said Northerly Right-of-Way line 150.00 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE at the Southwest corner of the Northwest 1/4 of said Section 34 and run North 05°35'13" East along the West line of said Section 34 a distance of 321.20 feet to a point on the Southerly Right-of-Way line of U.S. Highway No. 90; thence South 64°28'00" East along said Southerly Right-of-Way line 19.47 feet to its intersection with the Easterly maintained Right-of-Way line of Turner Road the POINT OF BEGINNING; thence North 05°47'15" East along said Easterly maintained Right-of-Way line 25.00 feet; thence South 38°33'40" East 53.86 feet to a point on the Northerly Right-of-Way line of said U.S. Highway No. 90; thence North 64°28'00" West along said Northerly Right-of-Way line 40.00 feet to the POINT OF BEGINNING.

LESS AND EXCEPT:

That part of the Northwest quarter (NW 1/4) of Section 34, Township 3 South, Range 16 East, Columbia County, Florida, being more particularly described as follows:

COMMENCE at a 4" x 4" concrete monument located at the Southwest corner of the Northwest Quarter (NW 1/4) of Section 34, Township 3 South, Range 16 East, Columbia County, Florida; thence run North 04°42'10" East, along the West line thereof, a distance of 268.13 feet to the centerline of survey of State Road No. 10 (U.S. 90), (a 100.00 foot Right-of-Way at this point, as per Florida Department of Transportation Right-of-Way Map, Section 29010); thence departing said West line, run South 65°20'55" East, along the centerline of said State Road No. 10 (U.S. 90), a distance of 151.87 feet; thence departing said centerline, run North 24°39'05" East, a distance of 50.00 feet to a point on the Northerly existing Right-of-Way line of said State Road No. 10 (U.S. 90), for a POINT OF BEGINNING; thence run North 65°20'55" West, along said Northerly existing Right-of-Way line, a distance of 110.09 feet; thence run North 39°28'14" West, a distance of 53.88 feet to a point on the Easterly Right-of-Way line of Turner Road (a variable width Right-of-Way); thence run North 04°49'22" East, along said Easterly existing Right-of-Way line, a distance of 275.01 feet; thence departing said Easterly Right-of-Way line, run North 89°06'47" East, a distance of 14.01 feet; thence run South 05°16'52" West, a distance of 213.09 feet; thence run South 12°40'30" East, at distance of 94.62 feet; thence run South 65°20'55" East, a distance of 106.84 feet; thence run South 04°49'22" West, a distance of 12.76 feet to the POINT OF BEGINNING.

STORE 44:

COMMENCE AT THE SOUTHWEST CORNER OF SECTION 11, TOWNSHIP 5 SOUTH, RANGE 15 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE N 89 DEG. 19'04" E ALONG THE SOUTH LINE OF SAID

SECTION 11, 357.78 FEET, THENCE N 0 DEG. 40'56" W, 34.21 FEET TO THE NORTH RIGHT OF WAY LINE OF MARKET ROAD (A COUNTY PAVED ROAD) AND TO THE POINT OF BEGINNING, THENCE N 44 DEG. 35'24" E, 638.00 FEET, THENCE S 45 DEG. 24'36" E, 259.30 FEET TO THE NORTHWESTERLY RIGHT OF WAY LINE OF STATE ROAD NO-247, THENCE S 44 DEG. 35'24" W ALONG SAID NORTHWESTERLY RIGHT OF WAY LINE, 370.00 FEET TO THE SAID NORTH RIGHT OF WAY LINE OF MARKET ROAD, THENCE S 88 DEG. 38'42" W ALONG SAID NORTH RIGHT OF WAY LINE, 372.91 FEET TO THE POINT OF BEGINNING.

STORE 52:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST QUARTER OF NORTHWEST QUARTER OF SAID SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN SOUTH 02°04'00" EAST, 326.60 FEET TO THE SOUTHERLY RIGHT OF WAY LINE OF STATE ROAD 247; THENCE NORTH 41°30'00" EAST, ALONG SAID RIGHT OF WAY 480.00 FEET FOR A POINT OF BEGINNING; THENCE SOUTH 48°30'00" EAST, 210.00 FEET; THENCE NORTH 41°30'00" EAST, 210.00 FEET; THENCE NORTH 48°30'00" WEST, 210.00 FEET TO THE SOUTH RIGHT OF WAY LINE OF STATE ROAD 247; THENCE SOUTH 41°30'00" WEST, ALONG SAID RIGHT OF WAY 210.00 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

A PARCEL OF LAND LYING IN THE NW 1/4 OF SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
BEGIN AT THE POINT OF INTERSECTION OF THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SHATNER PLACE (F/K/A TROY ROAD) AND THE SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 247 AND RUN NORTH 40°25'32" EAST ALONG SAID SOUTHEASTERLY RIGHT-OF-WAY LINE OF STATE ROAD NO. 247 A DISTANCE OF 25.00 FEET TO POINT OF CURVATURE OF A CURVE CONCAVE TO THE EAST HAVING A RADIUS OF 25.00 FEET AND A CENTRAL ANGLE OF 89°59'05"; THENCE RUN SOUTHERLY AND EASTERLY ALONG ARC OF SAID CURVE 39.26 FEET TO THE NORTHEASTERLY RIGHT-OF-WAY LINE OF SHATNER PLACE (F/K/A TROY ROAD), ALSO BEING THE POINT OF TANGENCY; THENCE RUN NORTH 49°33'33" WEST ALONG SAID NORTHEASTERLY RIGHT-OF-WAY LINE 25.00 FEET TO THE POINT OF BEGINNING.



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Detail by Entity Name

Foreign Profit Corporation

SOUTHWEST GEORGIA OIL COMPANY, INC.

Filing Information

Document Number 830688
FEI/EIN Number 58-0976116
Date Filed 09/21/1973
State GA
Status ACTIVE
Last Event REINSTATEMENT
Event Date Filed 12/23/2002

Principal Address

1711 E SHOTWELL ST
BAINBRIDGE, GA 39819

Changed: 01/12/2006

Mailing Address

PO BOX 1510
BAINBRIDGE, GA 39818

Changed: 07/14/2004

Registered Agent Name & Address

BIST, MICHAEL P.
1300 THOMASWOOD DR
TALLAHASSEE, FL 32312

Name Changed: 03/30/1989

Address Changed: 03/30/1989

Officer/Director Detail

Name & Address

Title CEO

HARRELL, MICHAEL W.
1711 E. SHOTWELL ST
BAINBRIDGE, GA 39819

Title President, COO

BENCH, GLENNIE
1711 E. SHOTWELL ST.
BAINBRIDGE, GA 39819

Title Treasurer

Hutchins, Keith
1711 E SHOTWELL ST
BAINBRIDGE, GA 39819

Annual Reports

Report Year	Filed Date
2020	01/22/2020
2020	10/01/2020
2021	01/13/2021

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01/04/2010 -- ANNUAL REPORT	View image in PDF format
03/19/2009 -- ANNUAL REPORT	View image in PDF format
01/15/2008 -- ANNUAL REPORT	View image in PDF format
01/23/2007 -- ANNUAL REPORT	View image in PDF format
01/12/2006 -- ANNUAL REPORT	View image in PDF format
04/14/2005 -- ANNUAL REPORT	View image in PDF format
07/14/2004 -- ANNUAL REPORT	View image in PDF format
03/06/2003 -- ANNUAL REPORT	View image in PDF format
12/23/2002 -- REINSTATEMENT	View image in PDF format
08/29/2001 -- ANNUAL REPORT	View image in PDF format
08/17/2000 -- ANNUAL REPORT	View image in PDF format
05/04/1999 -- ANNUAL REPORT	View image in PDF format
03/18/1998 -- ANNUAL REPORT	View image in PDF format
05/18/1997 -- ANNUAL REPORT	View image in PDF format
05/01/1996 -- ANNUAL REPORT	View image in PDF format
04/20/1995 -- ANNUAL REPORT	View image in PDF format

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint Dalton Kurtz (NFPS)
(Name of Person to Act as my Agent)

for Southwest Georgia Oil Company
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Minor Site Plan Application
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: Glennie C. Bench

Applicant/Owner's Title: President/COO

On Behalf of: Southwest Georgia Oil Company
(Company Name, if applicable)


Telephone: (229) 246-1553 Date: 12-7-2021

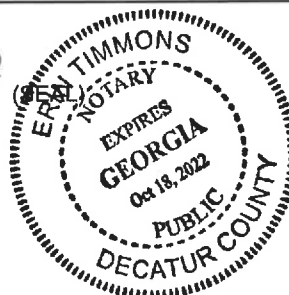
Applicant/Owner's Signature: 

Print Name: Glennie C. Bench

STATE OF ~~FLORIDA~~ GEORGIA
COUNTY OF ~~Columbia~~ Decatur

The Foregoing instrument was acknowledged before me this 20 day of
December, 20 21, by Glennie C. Bench,
whom is personally known by me ☒ OR produced identification ☒.
Type of Identification Produced


(Notary Signature)



Columbia County Tax Collector

generated on 12/20/2021 10:26:38 AM EST

Tax Record

Last Update: 12/20/2021 10:23:03 AM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R04909-000	REAL ESTATE	2021
Mailing Address SOUTHWEST GEORGIA OIL COMPANY INC P O BOX 1510 BAINBRIDGE GA 39818		Property Address 3519 US HIGHWAY 441 LAKE CITY GEO Number 083S17-04909-000
Exempt Amount	Taxable Value	
See Below	See Below	
Exemption Detail Millage Code Escrow Code NO EXEMPTIONS 003		
Legal Description (click for full description) 08-3S-17 1126/11264.08 Acres COMM NW COR OF NE1/4 OF SW1/4, RUN E 76.50 FT TO C/L US-441, RUN S ALONG C/L 1394.45 FT, E 100 FT TO E R/W US-441, S'ERLY ALONG ARC OF A CURVE ON E R/W 90.59 FT TO POB. THENCE RUN E 457.66 FT, S 392.40 FT, WEST 440.50 FT TO E R/W OF 441, See Tax Roll For Extra Legal		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Value Exemption Amount Taxable Value Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	511,351 0 \$511,351 \$3,996.21
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	511,351 0 \$511,351 \$382.49
LOCAL	3.6430	511,351 0 \$511,351 \$1,862.85
CAPITAL OUTLAY	1.5000	511,351 0 \$511,351 \$767.03
SUWANNEE RIVER WATER MGT DIST	0.3615	511,351 0 \$511,351 \$184.85
LAKE SHORE HOSPITAL AUTHORITY	0.0000	511,351 0 \$511,351 \$0.00
Total Millage	14.0675	Total Taxes \$7,193.43
Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
FFIR	FIRE ASSESSMENTS	\$931.02
Total Assessments		\$931.02
Taxes & Assessments		\$8,124.45
If Paid By		Amount Due
		\$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
11/30/2021	PAYMENT	1800460.0033	2021	\$7,799.47

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Columbia County Tax Collector

generated on 12/20/2021 10:27:32 AM EST

Tax Record

Last Update: 12/20/2021 10:23:57 AM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R04910-000	REAL ESTATE	2021
Mailing Address COMPANY INC SOUTHWEST GEORGIA OIL 1511 E SHOTWELL ST BAINBRIDGE GA 38919		Property Address GEO Number 083S17-04910-000
Exempt Amount	Taxable Value	
See Below	See Below	
Exemption Detail	Millage Code	Escrow Code
NO EXEMPTIONS	003	
Legal Description (click for full description) 08-3S-17 1000/10008.50 Acres COMM NW COR OF E1/2 OF SW1/4, RUN E 90.5 FT TO C/L US-441, RUN S ALONG C/L 1388.27 FT, E 100 FT TO E R/W US-441 FOR POB, RUN S ALONG RD 598.04 FT, W 50 FT, S 198.28 FT, E 679.44 FT, N 1182.88 FT TO S R/W OF SE RAMP OF I-10, SW & S ALONG RD 808.92 See Tax Roll For Extra Legal		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Value
BOARD OF COUNTY COMMISSIONERS	7.8150	131,750
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	131,750
LOCAL	3.6430	131,750
CAPITAL OUTLAY	1.5000	131,750
SUWANNEE RIVER WATER MGT DIST	0.3615	131,750
LAKE SHORE HOSPITAL AUTHORITY	0.0000	131,750
		Exemption Amount
		0
		Taxable Value
		\$131,750
		Taxes Levied
		\$1,029.63
		\$98.54
		\$479.97
		\$197.63
		\$47.63
		\$0.00
Total Millage	14.0675	Total Taxes
		\$1,853.40
Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
FFIR	FIRE ASSESSMENTS	\$60.78
Total Assessments		\$60.78
Taxes & Assessments		\$1,914.18
If Paid By		Amount Due
		\$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
11/30/2021	PAYMENT	1800460.0006	2021	\$1,837.61

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES



STATE OF FLORIDA

COUNTY OF COLUMBIA

Inst: 202112022538 Date: 11/04/2021 Time: 2:51PM
Page 1 of 9 B: 1451 P: 2108, James M Swisher Jr, Clerk of Court
Columbia, County, By: BR
Deputy Clerk

STEPHEN M. WITT

JAKE HILL, JR.
EUGENE JEFFERSON
TODD SAMPSON

MICHAEL D. WILLIAMS

AUDREY E. SIKES

FRED KOBERLEIN, JR.

I, Audrey Sikes, City Clerk of the City of Lake City, DO
HEREBY CERTIFY the attached to be a true and correct copy
of City of Lake City Ordinance 2021-2207 (8 pages), as
promulgated and on file in the City Clerk's office and the
official records of the City of Lake City, Florida.

IN WITNESS WHEREOF, I have hereunto subscribed
my name and affixed the Corporate Seal of this City this 4th day
of November 2021.

SEAL OF THE CITY OF LAKE CITY, FLORIDA.

AUDREY E. SIKES, MMC
City Clerk

ORDINANCE NO. 2021-2207

AN ORDINANCE OF THE CITY OF LAKE CITY, FLORIDA, PURSUANT TO PETITION NO. ANX 21-03, RELATING TO VOLUNTARY ANNEXATION; MAKING FINDINGS; ANNEXING CERTAIN REAL PROPERTY LOCATED IN COLUMBIA COUNTY, FLORIDA, WHICH IS REASONABLY COMPACT, AND CONTIGUOUS TO THE BOUNDARIES OF THE CITY OF LAKE CITY, FLORIDA, INTO THE BOUNDARIES OF THE CITY OF LAKE CITY, FLORIDA; PROVIDING SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE

WHEREAS, the owner of certain real property more particularly described herein below, has petitioned that the same be voluntarily annexed and incorporated into the boundaries of the City of Lake City, Florida, hereinafter referred to as the City.

NOW, THEREFORE, BE IT ORDAINED BY THE PEOPLE OF THE CITY OF LAKE CITY, FLORIDA, AS FOLLOWS:

Section 1. Pursuant to a petition, ANX 21-03, by Southwest Georgia Oil Company, Inc., the owner of real property, as described below and depicted on Schedule A: Location Map, attached hereto and incorporated as part of this ordinance, which real property is contiguous to the existing boundaries of the City and is reasonably compact, has petitioned the City to have said real property annexed into the City.

A parcel of land lying in Section 8, Township 3 South, Range 17 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Northwest corner of the East 1/2 of the Southwest 1/4 of said Section 8; thence North 87°51'21" East 90.50 feet, along the Southwest 1/4 of said Section 8 to the centerline of U.S. Highway 441 (State Road 47); thence South 0°39'21" West 1,388.27 feet, along the centerline of said U.S. Highway 441 (State Road 47); thence South 89°20'39" East 100.00 feet to the East right-of-way line of said U.S. Highway 441 (State Road 47) and the Point of Beginning; thence Southerly, along the East right-of-way line of said U.S. Highway 441 (State Road 47), on a curve concave to the left with a radius of 29,547.89 feet, 598.04 feet; thence South 89°12'51" West 50.00 feet; thence Southerly, along the East right-of-way line of said U.S. Highway 441 (State Road 47), a distance of 198.28 feet; thence North 89°14'51" East 679.44 feet; thence North 00°45'09" West 1,182.88 feet to the South right-of-way line of the Southeast Ramp of Interstate Highway 10 (State Road 8); thence South 72°40'21" West 509.35 feet, along the South right-of-way line of the Southeast Ramp of said Interstate Highway 10 (State Road 8) to a point of curve to the left; thence Southwesterly, along said curve to the left with a radius of 180.00 feet, and an arc distance of 226.08 feet to a point of tangent on the East right-of-way line of said U.S. Highway 441 (State Road 47); thence South 0°39'21" West 73.49 feet, along the East right-of-way line of said U.S. Highway 441 (State Road 47) to the Point of Beginning.

Containing 15.77 acres, more or less.

LESS AND EXCEPT

A parcel of land lying in Section 8, Township 3 South, Range 17 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Northwest corner of the Northeast 1/4 of the Southwest 1/4 of said Section 8; thence North 87°51'21" East 76.50 feet, along the North line of the Southwest 1/4 of said Section 8 to the centerline of U.S. Highway 441 (State Road 47); thence South 00°42'00" West 1,394.45 feet, along the centerline of said U.S. Highway 441 (State Road 47); thence South 89°18'00" East 100.00 feet to a point on the Easterly right-of-way line of said U.S. Highway 441 (State Road 47), said point being a point on a curve concave to the East having a radius of 28,547.89 feet, a central angle of 00°10'55", a chord bearing of South 00°36'33" West and a

chord distance of 90.59 feet; thence Southerly, along the arc of said curve a distance of 90.59 feet to the Point of Beginning; thence South 89°28'55" East 457.66 feet; thence South 02°37'28" West 392.40 feet; thence South 89°43'08" West 440.50 feet to a point on the Easterly right-of-way line of said U.S. Highway 441 (State Road 47), said point being a point on a curve concave to the East having a radius of 28,547.89 feet, a central angle of 00°47'58", a chord bearing of North 00°07'06" East and a chord distance of 398.29 feet; thence Northerly along the arc of said curve a distance of 398.30 feet to the Point of Beginning.

Containing 2.96 acres, more or less.

LESS AND EXCEPT

A parcel of land lying in Section 8, Township 3 South, Range 17 East, Columbia County, Florida. Being more particularly described, as follows: Commence at the Northwest corner of the Northeast 1/4 of the Southwest 1/4 of said Section 8; thence North 87°51'21" East 76.50 feet, along the North line of the Southwest 1/4 of said Section 8 to the centerline of U.S. Highway 441 (State Road 47); thence South 00°42'00" West 1,394.45 feet, along the centerline of said U.S. Highway 441 (State Road 47); thence South 89°18'00" East 100.00 feet to a point on the Easterly right-of-way line of said U.S. Highway 441 (State Road 47), said point being a point on a curve concave to the East having a radius of 28,547.89 feet, a central angle of 00°10'55", a chord bearing of South 00°36'33" West and a chord distance of 90.59 feet; thence Southerly, along the arc of said curve a distance of 90.59 feet; thence South 89°28'55" East 457.66 feet; thence South 02°37'28" West 392.40 feet; thence South 89°43'08" West 42.44 feet; thence South 00°00'24" East 23.03 feet to the Point of Beginning; thence continue South 00°00'24" East 100.20 feet; thence North 89°37'14" East 100.97 feet; thence North 00°30'27" West 100.75 feet; thence South 89°18'32" West 100.30 feet to the Point of Beginning.

Containing 0.23 acre, more or less.

All said lands containing 12.58 acres, more or less.

Section 2. The City Council of the City of Lake City, Florida, hereinafter referred to as the City Council, finds that the petition bears the signatures of all owners of the real property in the area proposed to be annexed.

Section 3. The City Council finds that the real property, described in Section 1 above, presently is contiguous to the boundaries of the City that said real property meets the criteria established by Chapter 171, Florida Statutes, as amended, and that said real property should be annexed to the boundaries of the City.

Section 4. The real property, described in Section 1 above and depicted on Schedule A: Location Map, attached hereto and incorporated as part of this ordinance, is hereby annexed to the boundaries of the City, and said real property in every way is a part of the City.

Section 5. The boundaries of the City are hereby redefined to include the real property described in Section 1 hereof.

Section 6. Annexation. The real property, described in Section 1 above, shall continue to be classified as follows:

COMMERCIAL under the land use classifications as designated on the Future Land Use Plan Map of the County Comprehensive Plan and classified as COMMERCIAL, HIGHWAY INTERCHANGE (CHI) under the zoning districts as designated on the Official Zoning Atlas of the County Land Development Regulations until otherwise changed or amended by appropriate ordinance of the City.

Section 7. Effective January 1, 2022, all real property lying within the boundaries of the City, as hereby redefined, shall be assessed for payment of municipal ad valorem taxes, and shall be subject to all general and special assessments.

Section 8. All persons who have been lawfully engaged in any occupation, business, trade or profession, within the area, described in Section 1 above, upon the effective date of this ordinance under a valid license or permit issued by the County and all other necessary state or federal regulatory agencies, may continue such occupation, business, trade or profession within the entire boundaries of the City, as herein defined, upon securing a valid occupational license from the City, which shall be issued upon payment of the appropriate fee, without the necessity of taking or passing any additional examination or test which otherwise is required relating to the qualification of such occupations, businesses, trades or professions.

Section 9. The City Clerk is hereby directed to file, within seven (7) days of the effective date of this ordinance, a certified copy of this ordinance with the following:

- a) Florida Department of State, Tallahassee, Florida;
- b) Florida Office of Economic and Demographic Research, Tallahassee, Florida;
- c) Clerk of the Circuit Court of the County;
- d) Chief Administrative Officer of the County;
- e) Property Appraiser of the County;
- f) Tax Collector of the County; and
- g) All public utilities authorized to conduct business within the City.

Section 10. Severability. If any provision or portion of this ordinance is declared by any court of competent jurisdiction to be void, unconstitutional or unenforceable, then all remaining provisions and portions of this ordinance shall remain in full force and effect.

Section 11. Conflict. All ordinances or portions of ordinances in conflict with this ordinance are hereby repealed to the extent of such conflict.

Section 12. Effective Date. This ordinance shall become effective upon adoption.

PASSED UPON FIRST READING on the 4th day of October 2021.

PASSED AND DULY ADOPTED UPON SECOND AND FINAL READING, in regular session with a quorum present and voting, by the City Council this 1st day of November 2021.

Attest:

CITY COUNCIL OF THE
CITY OF LAKE CITY, FLORIDA

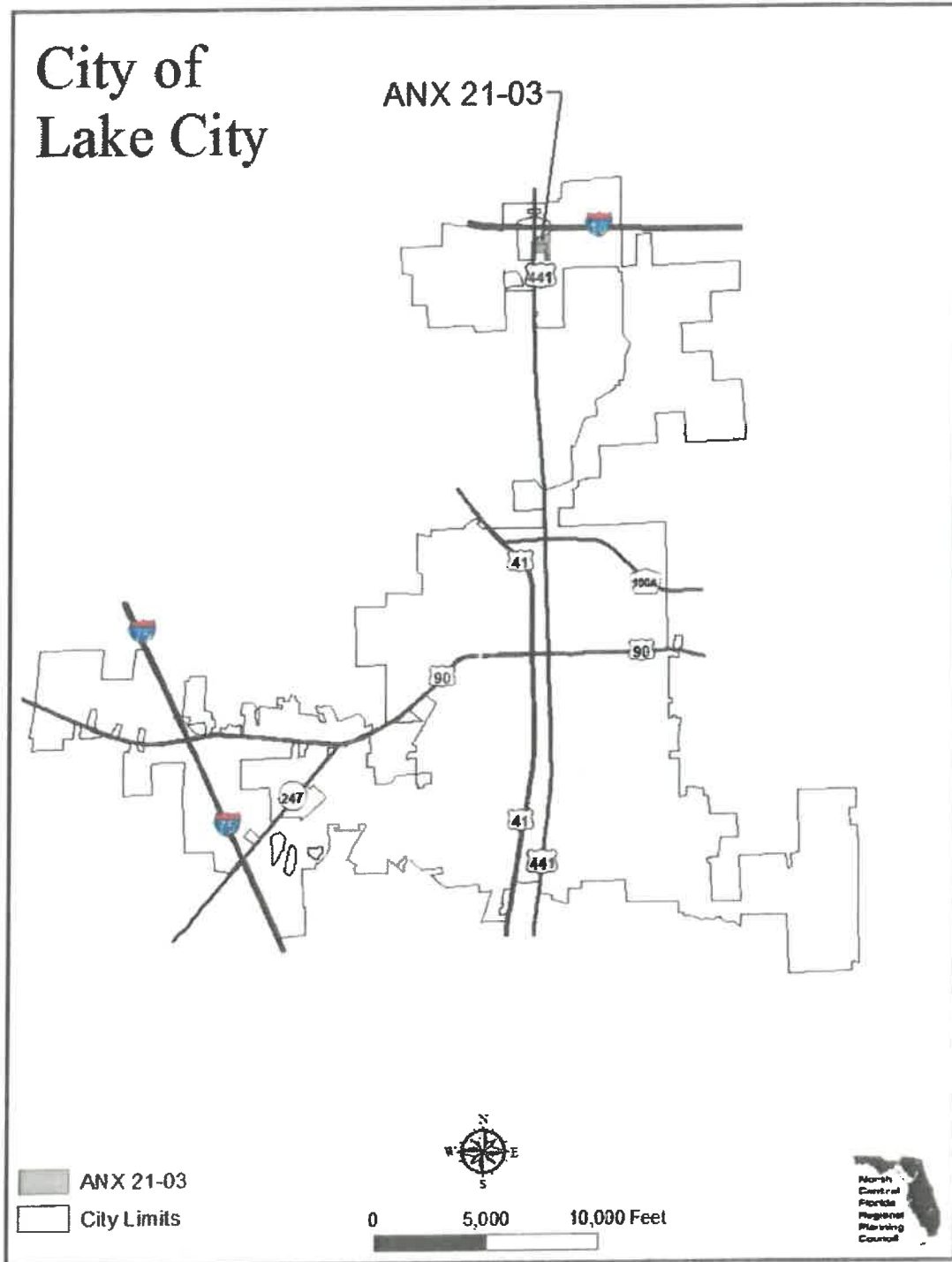

Audrey Sikes, City Clerk


Stephen M. Witt, Mayor

APPROVED AS TO FORM AND LEGALITY:


Fred Koberlein Jr., City Attorney

Schedule A: Location Map



Ordinance Number: 2021-2207
Passed on first reading on October 4, 2021

Record of Vote on First Reading

	For	Against	Absent	Abstain
Stephen Witt, Mayor/Council Member	<u>✓</u>	_____	_____	_____
Jake Hill, Jr., Council Member	<u>✓</u>	_____	_____	_____
Eugene Jefferson, Council Member	<u>✓</u>	_____	_____	_____
Todd Sampson, Council Member	<u>✓</u>	_____	_____	_____

Certification

I, Audrey Sikes, City Clerk for the City of Lake City, Florida, hereby certify that the above record vote is an accurate and correct record of the votes taken on the Ordinance by the City Council of the City of Lake City.



AUDREY E. SIKES, MMC
City Clerk


Ordinance Number: 2021-2207
Passed on second and final reading on November 1, 2021

Record of Vote on Second and Final Reading

	For	Against	Absent	Abstain
Stephen Witt, Mayor/Council Member	<u>✓</u>	<u> </u>	<u> </u>	<u> </u>
Jake Hill, Jr., Council Member	<u>✓</u>	<u> </u>	<u> </u>	<u> </u>
Eugene Jefferson, Council Member	<u>✓</u>	<u> </u>	<u> </u>	<u> </u>
Todd Sampson, Council Member	<u>✓</u>	<u> </u>	<u> </u>	<u> </u>

Certification

I, Audrey Sikes, City Clerk for the City of Lake City, Florida, hereby certify that the above record vote is an accurate and correct record of the votes taken on the Ordinance by the City Council of the City of Lake City.



AUDREY E. SIKES, MMC
City Clerk

THE LAKE CITY REPORTER
Lake City, Columbia County, Florida

Legal Copy
As Published

STATE OF FLORIDA,
COUNTY OF COLUMBIA,

Before the undersigned authority personally appeared Todd Wilson who on oath says that he is Publisher of the Lake City Reporter, a newspaper published at Lake City, Columbia County, Florida; that the attached copy of advertisement, being a

in the matter of

Legal Notice of Enactment of Ordinances

in the _____ Court, was published in said newspaper in the issues of

October 22, 2021

Affiant further says that The Lake City Reporter is a newspaper published at Lake City in said Columbia County, Florida, and that the said newspaper has heretofore been continuously published in said Columbia County, Florida, and has been entered as second class mail matter at the post office in Lake City, in said Columbia County, Florida, for a period of one year next preceding the first publication of the attached copy of advertisement; and affiant further says that he has neither paid nor promised any person, firm or corporation any discount, rebate, commission or refund for the purpose of securing this advertisement for publication in the said newspaper.

Sworn to and subscribed before me this 22 day of

October, A.D. 20 21

Kathleen A. Riotta
Notary Public



KATHLEEN A RIOTTO
Commission # GG 229945
Expires August 20, 2022
Bonded Thru Budget Notary Services

NOTICE OF ENACTMENT OF
ORDINANCES
BY THE CITY COUNCIL OF
THE
CITY OF LAKE CITY, FLORI-
DA

NOTICE IS HEREBY GIVEN that the ordinances, which titles hereinafter appear, will be considered for enactment by the City Council of the City of Lake City, Florida, at public hearings to be held on November 1, 2021 at 6:00 p.m., as soon thereafter as the matters can be heard in the City Council Meeting Room, Second Floor, City Hall located at 205 North Marion Avenue, Lake City, Florida. At the aforementioned public hearings, all interested parties may appear and be heard with respect to the petitions and the ordinances adopting the petitions. Copies of the petitions and the ordinances adopting the petitions are available for public inspection by contacting the Office of the City Clerk at clerk@lccfla.com or 386.719.5826. The titles of said ordinances read as follows:

ORDINANCE NO. 2021-2205
AN ORDINANCE OF THE CITY OF LAKE CITY, FLORIDA, PURSUANT TO PETITION NO. ANX 21-02 RELATING TO VOLUNTARY ANNEXATION, MAKING FINDINGS, ANNEXING CERTAIN REAL PROPERTY LOCATED IN COLUMBIA COUNTY, FLORIDA, WHICH IS REASONABLY COMPACT AND CONTIGUOUS TO THE BOUNDARIES OF THE CITY OF LAKE CITY, FLORIDA, INTO THE BOUNDARIES OF THE CITY OF LAKE CITY, FLORIDA; PROVIDING SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

ORDINANCE NO. 2021-2207
AN ORDINANCE OF THE CITY OF LAKE CITY, FLORIDA, PURSUANT TO PETITION NO. ANX 21-03 RELATING TO VOLUNTARY ANNEXATION, MAKING FINDINGS, ANNEXING CERTAIN REAL PROPERTY LOCATED IN COLUMBIA COUNTY, FLORIDA, WHICH IS REASONABLY COMPACT AND CONTIGUOUS TO THE BOUNDARIES OF THE CITY OF LAKE CITY, FLORIDA, INTO THE BOUNDARIES OF THE CITY OF LAKE CITY, FLORIDA; PROVIDING SEVERABILITY; REPEALING ALL ORDINANCES IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

Members of the public may also view the meeting live on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

Those attendees wishing to share a document must email the item to submissions@lccfla.com.

day of the meeting. To receive a copy of the agenda packet with supporting documentation, please contact the City Clerks Office at clerk@l-cfla.com or 386.719.5826.

The public hearings may be continued to one or more future dates. Any interested party shall be advised that the date, time and place of any continuation of the public hearings shall be announced during the public hearings and that no further notice concerning the matters will be published, unless said continuation exceeds six calendar weeks from the date of the above referenced public hearings.

All persons are advised that if they decide to appeal any decision made at the above referenced public hearings, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which, record includes the testimony and evidence upon which the appeal is to be based.

Persons with disabilities requesting reasonable accommodations to participate in these proceedings should contact Joyce Bruner, Office of City Manager, 386.719.5768 at least 48 hours prior to the proceedings. If you are hearing or speech impaired, please contact the Florida Relay Service at 800.955.8770 (voice) or 800.955.8771 (TTY).

668533

October 22, 2021

File Attachments for Item:

iv. Site Plan Review SPR-22-04 F/K/A SPR18-05 Lake City Hotels

SPK 22-04
(SPK 18-05)

CITY OF LAKE CITY
SITE & DEVELOPMENT PLAN APPROVAL
APPLICATION

Name of Applicant(s): Shaku M Patel Family Trust & ERA Investments LLC

Address: 162 NW Birdie PL & 3010 US Hwy 90 West

Telephone: (386) 984-0732 Fax: _____

City: Lake City State: FL Zip Code: 32055

Name of Applicant's Agent (if applicable): Christopher Gmuer, Gmuer Engineering, LLC

Agent's Address: 2603 NW 13th ST Box 314

City: Gainesville State: FL Zip Code: 32609

Telephone: (352) 281-4928 Fax: _____

Site & Development Plan Approval is requested in conformity with the Land
Development Regulations to permit (Check as appropriate):

☐ **Alteration** of a site –

Square footage of gross floor area of alteration: _____

Total Square Ft. of Proposed Site Impervious Area: _____

☒ **New Construction** on a site –

Square footage of gross floor area of new construction: 45,000 sf GFA

Total Square Ft. of Proposed Site Impervious Area: 130,000 sf

☐ **Relocation** of structure –

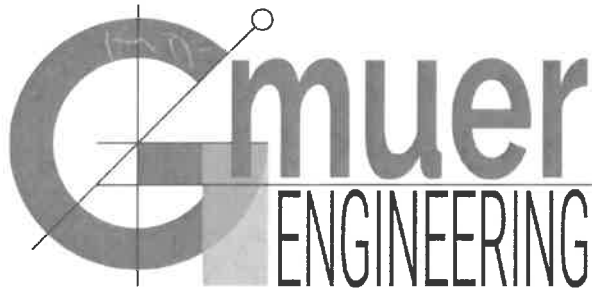
Square footage of gross floor area of structure: _____

On property described below, and in conformity with a site plan dated: _____

Legal Description: See attached deeds.

Total acreage of land to be considered under this application: 20.67 Acres

Future Land Use Plan Map Category: Commercial



2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

January 28, 2022

Growth Management - City of Lake City
205 North Marion Avenue, Lake City, FL 32055

Re: Lake City Hotels – Phase 1

Dear Staff,

This package is submitted as a Site and Development Plan Approval Application to Lake City. The project involves the construction of the first hotel on the master planned site with parking and utility connections. The site was formerly the Inn & Out RV Park located at 3010 W US Hwy 90, Lake City, FL 32025 and was demolished in 2019 and the infrastructure of the master plan was completed including water, sewer, and stormwater piping, concrete structures, and master stormwater management facility. The master plan was permitted with the SRWMD under ERP-209165-3 and FDOT under 2017-A-292-023. Please see the list below of items included with this application.

Attachments:

- Site and Development Plan Approval Application
- \$200 Fee made out to Lake City
- Warrantee Deed to the property
- Corporate Charter and Articles of Incorporation
- SRWMD Permit ERP-209165-3
- FDOT Permit 2017-A-292-023
- 4 Sets of Plans Signed and Sealed

Please let us know if you need any additional information for your review and we look forward to being scheduled for the board meeting and their approval.

Sincerely,
Gmuer Engineering, LLC

Christopher A Gmuer, PE
President

1 of 1

elegant solutions | **technology driven** | **civil engineering**

_____ was not made with respect to these premises.

If the title holder(s) are represented by an agent, a letter of such designation from the title holder(s) must be attach to the application and addressed to:

Robert Hathcox, Director
Department of Growth Management
City of Lake City
205 North Marion Avenue
Lake City, Florida. 32024

[illegible]

1001-155-0-1

Date Filed: _____

Site & Development Plan Application Number: _____

Fee Amount. _____

Receipt Number: _____

Date of Planning & Zoning Board Meeting: _____

1)

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID
POST OFFICE BOX 1328
LAKE CITY, FL 32056-1328

File No. 05-195

Inst:2005013981 Date:06/15/2005 Time:11:50
Doc Stamp-Deed : 17500.00
YAK DC, P. DeWitt Cason, Columbia County B:1048 P:2678

Property Appraiser's
Parcel Identification Nos.
35-3S-
[REDACTED]

WARRANTY DEED

THIS INDENTURE, made this 14th day of June 2005, BETWEEN BEHRENWALD ENTERPRISES, INC., a corporation existing under the laws of the State of Florida, whose post office address is Post Office Box 3655, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the first part, and ERA INVESTMENTS, LLC, a Florida Limited Liability Company, whose document number assigned by the Secretary of State of Florida is L [REDACTED] and whose Federal Tax I.D. Number is [REDACTED]*, whose post office address is 162 NW Birdie Place, Lake City, Florida 32055, of the County of Columbia, State of Florida, party of the second part.

WITNESSETH: that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said party of the second part, and its successors and assigns forever, all that certain parcel of land lying and being in the County of Columbia and State of Florida, more particularly described as follows:

PARCEL NO. 1:

Lot or Block 8, Lake Harris Farms Subdivision, Unit "A", according to Plat thereof recorded in Plat Book 1, Page 22, public records of Columbia County, Florida, EXCEPT THAT PORTION deeded to the State of Florida for Road Right-of-Way purposes by conveyance recorded in Deed Book 78, Page 275, public records of Columbia County, Florida. Said lands being situate in the SW 1/4 of the SE 1/4 of Section 35, Township 3 South, Range 16 East, Columbia County, Florida.

PARCEL NO. 2:

Begin at the Northeast Corner of the NW 1/4 of NE 1/4, Section 2, Township 4 South, Range 16 East, Columbia County, Florida and run S 87°54'48"W along the North line of said Section 2, 452.80 feet;

Rdc, 27.00
Dr, 17,500.00

thence S 02°27'06"E, 481.01 feet; thence N 87°54'48"E, 452.80 feet to the East line of said NW 1/4 of NE 1/4; thence N 02°27'06"W along said East line, 481.01 feet to the POINT OF BEGINNING. COLUMBIA COUNTY, FLORIDA.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

TOGETHER WITH: A 1998 HARB Doublewide Mobile Home, ID No. GAFLV35A13975HL21 and ID No. GAFLV35B13975HL21, which said mobile home is attached to and is a part of the above described Parcel No. 1.

*N.B.: THE PURPOSE OF INCLUDING THE DOCUMENT NUMBER AND THE FEDERAL TAX I.D. NUMBER OF THIS GRANTEE IS TO AVOID CONFUSION BETWEEN THIS GRANTEE AND ANY OTHER LIMITED LIABILITY COMPANY OF THE SAME OR SIMILAR NAME.

TOGETHER WITH all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining.


TO HAVE AND TO HOLD the same in fee simple forever.

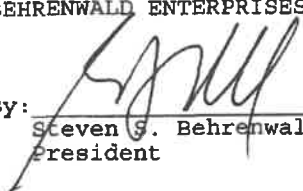
And the said party of the first part doth covenant with said party of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.


IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President and its corporate seal to be affixed the day and year above written.

Signed, sealed and delivered
in our presence:

BEHRENWALD ENTERPRISES, INC.


(First Witness)
Terry McDavid
Printed Name

By: 
Steven S. Behrenwald
President


(Second Witness)
Myrtle Ann McElroy
Printed Name

Inst:2005013981 Date:06/15/2005 Time:11:50

Doc Stamp-Deed : 17500.00

DC,P.DeWitt Cason,Columbia County B:1048 P:2679

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 14th day of June 2005, by STEVEN S. BEHRENWALD, President of BEHRENWALD ENTERPRISES, INC., a Florida corporation, on behalf of said corporation. He is personally known to me and did not take an oath.



Notary Public

My Commission Expires: _____



Inst: [REDACTED] Date: 06/15/2005 Time: 11:50
Doc Stamp-Deed : 17500.00
DC, P. DeWitt Cason, Columbia County B: 1048 P: 2680

Prepared by and return to:

Scott G. Miller, Esq.
BROAD AND CASSEL
390 North Orange Avenue, Suite 1400
Orlando, Florida 32801

Inst: 201212012504 Date: 8/21/2012 Time: 12:26 PM
Doc Stamp-Deed: 0.70
DC, P. DeWitt Cason, Columbia County Page 1 of 3 B: 1240 P: 658

Parcel Identification Number: 31-22-32-9797-01210

WARRANTY DEED

THIS INDENTURE, made and executed on 4/9/12, by MINESH PATEL, Individually and KETNA M. PATEL, Individually, whose mailing address is 162 NW Birdie Place, Lake City, Florida 32055 (hereinafter collectively referred to as "Grantor") to MINESH A. PATEL and KETNA M. PATEL, AS CO-TRUSTEES OF THE KETNA M. PATEL FAMILY TRUST dated October 14, 2011 (hereinafter referred to as "Grantee").

WITNESSETH:

THAT Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other valuable consideration, the receipt and adequacy of which is hereby acknowledged, hereby grant, bargain, sell, alien, remise, release, convey and confirm unto Grantee an undivided forty percent (40%) in certain real property located in Columbia County, Florida ("Property") which is more particularly described on Exhibit "A" attached hereto.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND Grantor hereby fully warrants the title to the Property and will defend the same against the lawful claims of all persons whomsoever; and that the Property is free of all encumbrances, except taxes accruing subsequent to December 31, 2011, and other reservations, easements or matters of public record, provided, however, that this reference shall not serve to reimpose same.

IN WITNESS WHEREOF, Grantors have executed this Warranty Deed as of the day and year set forth above.

Signed, sealed and delivered in the presence of:

1

Hesther Jennings →

Print Name:

Minesh Patel

162 NE Birdie Place
Lake City, FL 32055

2

Holly Garner

Print Name:

1

Hesther Jennings →

Print Name

Ketna M. Patel

162 NW Birdie Place
Lake City, FL 32055

2

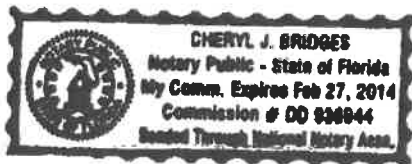
Holly Garner

Print Name:

STATE OF FLORIDA

COUNTY OF Columbia

The foregoing instrument was acknowledged before me on 4-9-12,
MINESH PATEL and KETNA M. PATEL. Said persons are both personally known to me, or
each produced Personally Known as identification.



Cheryl J. Bridges
Notary Public

EXHIBIT "A"

Township 3 South – Range 16 East

SECTION 35: Beginning at a point which is the SE corner of Lot 9 of "Lake Harris Farms" as per plat thereof recorded in Plat Book 1, Page 21, of the public records of Columbia County, Florida, said point being N 87°55' 17" E 868.20 feet from the SW corner of the SW ¼ of the NE ¼ of Section 35, Township 3 South, Range 16 East; thence N 7°03'47" E along the East boundary of said Lot 9 718.40 feet; thence N 84°41'43" W 360.00 feet; thence S 7°03'47" W parallel to the East Boundary of said Lot 9 765.25 feet to the South boundary of Lot 10 of said "Lake Harris Farms"; thence N 87°55'17" E along the South boundary of Lots 10 and 9 of said "Lake Harris Farms" 364.46 feet to the POINT OF BEGINNING – Columbia County, Florida.

~~TOGETHER with a non-exclusive perpetual easement for ingress and egress over and across the~~
West 30 feet of the following described property:

Township 3 South – Range 16 East

SECTION 35: Commencing at a point which is the SE corner of Lot 9 of "Lake Harris Farms" as per plat thereof recorded in Plat Book 1, Page 21 of the public records of Columbia County, Florida, said point being N 87°55'17" E 868.20 feet from the SW corner of the SW ¼ of the SE ¼ of Section 35, Township 3 South, Range 16 East; thence N 7°03'47" E along the East boundary of said Lot 9 718.40 feet for the POINT OF BEGINNING; thence continue N 7°02'47" E along said East boundary 310.00 feet to the South right-of-way line of State Road No. 10 (U.S. Highway No. 90), said point being 87.00 feet from and at right angle to the survey center line of said State Road; thence N 84°41'43" W along said South right-of-way line 312.61 feet to the point of curvature of a right-of-way line curve being concave Southwesterly and having a radius of 3276.57 feet; thence Northwesterly along said South right-of-way line curve, a chord bearing and distance of N 85°06'35" W 47.40 feet; thence S 7°03'47" W parallel to the East boundary of said Lot 9 309.66 feet; thence S 84°41'43" E 360.00 feet to the POINT OF BEGINNING – Columbia County, Florida.

N.B. – Neither the Grantor, nor any member of his family live or reside on the property ~~described herein or any land adjacent thereto or claim any part thereof or any land adjacent~~
thereto as their homestead.

Prepared by and return to:
ERA Investments, LLC
Attn: Minesh Patel
3004 US Highway 90 West
Lake City, Florida 32055

Inst: 201712086642 Date: 04/12/2017 Time: 10:58AM
Page 1 of 3 B: 1334 P: 1568, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy ClerkDoc Stamp-Deed: 7.70

Columbia County Parcel ID:
02-4S-16-02714-005

Consideration: \$1,100.00

SPECIAL WARRANTY DEED

This Special Warranty Deed is made as of this 31 day of March, 2017 by RIA, LLC, a Florida limited liability company (the "Grantor") whose address is 3004 US Highway 90 West, Lake City, Florida 32055, to ERA INVESTMENTS, LLC, a Florida limited liability company, whose address is 3010 US Highway 90 West, Lake City, Florida 32055 (hereinafter the "Grantee"). Whenever used in this Deed, the terms "Grantor" and "Grantee" include the respective heirs, personal representatives, successors and assigns of the parties hereto.

WITNESSETH, that Grantor, for and in consideration of the sum of Ten and No/100 Dollars (\$10.00) and other good and valuable consideration, the receipt and sufficiency of which is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee, all of Grantor's entire interest in that certain land situate in Columbia County, Florida, being more particularly described on EXHIBIT "A" attached hereto and incorporated herein (the "Property").

TOGETHER WITH all tenements, hereditaments, and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder, and easement thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the above described Property, with all improvements thereon, unto Grantee in fee simple forever.

Grantor hereby covenants with Grantee that Grantor is lawfully seized of said Property in fee simple; that the Grantor has good right and lawful authority to sell and convey said Property; that Grantor will warrant and defend the same against the lawful claims and demands of all persons or entities claiming by, through or under Grantor, but not against the claims and demands of any others; and that the said Property is free of encumbrances except taxes for the current year and subsequent years, and easements and restrictions of record, except that this reference shall not serve to re-impose same.

[Remainder of Page Intentionally Left Blank]

IN WITNESS WHEREOF, Grantor has executed and delivered this Special Warranty Deed the date first stated above.

Witnesses:

Grantor:

Sign: [Signature]

RIA, LLC, a Florida limited liability company

Print Name: Bigu Patel

By: J. R. Shukla
Janak Shukla, Managing Member

Sign: [Signature]

Print Name: Minesh Patel

STATE OF FLORIDA]

COUNTY OF Columbia]

THE FOREGOING INSTRUMENT was acknowledged before me this 31 day of March, 2017, by JANAK SHUKLA as Managing Member of RIA, LLC, a Florida limited liability company, and on behalf of the company and who produced a valid FL DL as identification and did not take an oath.

[Signature]
NOTARY PUBLIC

My Commission Expires: 6/22/2019



EXHIBIT "A"

Lot 4, INTERSTATE COMMERCE CENTER, a subdivision according to the plat thereof recorded in Plat Book 5, Page 37 of the public records of Columbia County, Florida.

2016 FLORIDA LIMITED LIABILITY COMPANY ANNUAL REPORT

DOCUMENT# L05000041345

Entity Name: ERA INVESTMENTS, LLC

Current Principal Place of Business:

3010 US HWY 90 WEST
LAKE CITY, FL 32055

Current Mailing Address:

3004 US HWY 90 WEST
LAKE CITY, FL 32055

FEI Number: 26-0119061

Certificate of Status Desired: No

Name and Address of Current Registered Agent:

SHUKLA, JANAK
3010 US HWY 90 WEST
LAKE CITY, FL 32055 US

The above named entity submits this statement for the purpose of changing its registered office or registered agent, or both, in the State of Florida.

SIGNATURE:

Electronic Signature of Registered Agent

Date

Authorized Person(s) Detail :

Title MGR
Name SHUKLA, JANAK R
Address 3004,US HWY 90 WEST
City-State-Zip: LAKECITY FL 32055

I hereby certify that the information indicated on this report or supplemental report is true and accurate and that my electronic signature shall have the same legal effect as if made under oath; that I am a managing member or manager of the limited liability company or the receiver or trustee empowered to execute this report as required by Chapter 605, Florida Statutes; and that my name appears above, or on an attachment with all other like empowered.

SIGNATURE: JANAK R SHUKLA

GM

02/04/2016

Electronic Signature of Signing Authorized Person(s) Detail

Date



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

9225 CR 49 • LIVE OAK, FLORIDA 32060 • TELEPHONE 386/362-1001 • 800/226-1066 • FAX 386/362-1056
mysuwanneeriver.com

January 4, 2018

Mahendra Patel
AURUM, L.L.C.
162 NW Birdie Lane
Lake City, FL 32056-0575

SUBJECT: Permit Number ERP-023-209165-3
Lake City Hotels

Dear Mahendra Patel:

Enclosed is your individual permit issued by the Suwannee River Water Management District on January 04, 2018. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

Noticing Your Permit:

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk.

Compliance with Permit Conditions:

To submit your required permit compliance information, go to the District's website at <https://permitting.sjrwmd.com/srepermitting/jsp/start.jsp>. Click to sign-in to your existing account or to create a new account. Select the "Apply/Submit" tab, select "Submit Compliance Data", enter your permit number, and select "No Specific Date" for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your project. Select "the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at floridaswater.com/permitting under the section "Handbooks, forms, fees, final orders". Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need copies of the appropriate forms, please contact the Resource Management Division at (386) 362-1001.

Transferring Your Permit:

Your permit requires you to notify the District in writing within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit".

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in

DON QUINCEY Chair
Chiefland, Florida

ALPHONAS ALEXANDER Vice Chair
Madison, Florida

VIRGINIA H. JOHNS Secretary/Treasurer
Alachua, Florida

KEVIN BROWN
Alachua, Florida

GARY F. JONES
Old Town, Florida

CHARLES KEITH
Lake City, Florida

VIRGINIA M. SANCHEZ
Old Town, Florida

RICHARD SCHWAB
Perry, Florida

BRADLEY WILLIAMS
Monticello, Florida

HUGH THOMAS
Executive Director

accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact us at (386) 362-1001.

Sincerely,

A handwritten signature in black ink, appearing to read "Hugh Thomas", with a long, sweeping horizontal line extending to the right.

Hugh Thomas
Executive Director

Enclosures: Permit

cc: District Permit File



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

9225 CR 49 • LIVE OAK, FLORIDA 32060 • TELEPHONE 386/362-1001 • 800/226-1066 • FAX 386/362-1056
mysuwanneeriver.com

ERP Individual Permit

PERMITTEE:

Mahendra Patel
AURUM, L.L.C.
162 NW Birdie Lane
Lake City, FL 32056-0575

PERMIT NUMBER: ERP-023-209165-3**DATE ISSUED:** January 04, 2018**DATE EXPIRES:** January 04, 2023**COUNTY:** Columbia**TRS:** S35 T3S R16E, S2 T4S R16E**PROJECT:** Lake City Hotels

Upon completion, the approved entity to which operation and maintenance maybe transferred pursuant to rule 62-330.310 and 62-330.340 or 40B-4.1130, Florida Administrative Code (F.A.C) shall be:

Mahendra Patel
AURUM, L.L.C.
162 NW Birdie Lane
Lake City, FL 32056-0575

Based on the information provided to the Suwannee River Water Management District (District), the above mentioned project has met the conditions of issuance as found in subsection 62-330.301, subsections 62-330.407 through 62-330.635, or subsection 40B-4.3030, F.A.C. The permit is hereby in effect for the activity description below:

Previous permit was for the construction and operation of a surface water management system serving 6.10 acres of impervious surface on a total project area of 10.10 acres. This modification consists of relocating the master stormwater facility and the addition of 8.25 acres of impervious on a total project area of 17.61 acres. When constructed the project shall be in accordance with the application package submitted by Mahendra Patel, of Aurum, LLC., as an authorized agent for the Columbia County Board of County Commissioners, and the signed and sealed plans certified on October 31, 2017, by Christopher Gmuer, P.E., of Gmuer Engineering, LLC.

As the permittee and/or operation and maintenance entity, it is your responsibility to ensure that adverse off-site impacts do not occur either during or after the construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You and any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to the enclosed notice of rights.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice,"[10-1-13], incorporated by reference herein (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C. If available, an District website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 1. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
 2. For all other activities — "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].

3. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 1. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 2. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
 1. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 2. Convey to the permittee or create in the permittee any interest in real property;
 3. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 4. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
 1. Immediately if any previously submitted information is discovered to be inaccurate; and
 2. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C.

This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

AUTHORIZED BY: Suwannee River Water Management District

By:



Hugh Thomas
Executive Director

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, (F.S.), before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 F.S. Pursuant to Rule 28-106.111, Florida Administrative Code, (F.A.C.), the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, F.A.C.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may choose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, F.A.C., the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, F.A.C.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), F.S., where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, F.A.C.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), F.S., where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, F.A.C.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, F.A.C.
7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, F.A.C.
8. Pursuant to Section 120.68, F.S., a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
9. A party to the proceeding before the District who claims that a District order is inconsistent with the provisions and purposes of Chapter 373, F.S., may seek review of the order pursuant to Section 373.114, F.S., by the Florida Land and Water Adjudicatory Commission, by filing a request for review with the Commission and serving a copy of the Department of Environmental Protection and any person named in the order within 20 days of adoption of a rule or the rendering of the District order.
10. For appeals to the District Courts of Appeal, a District action is considered rendered after it is signed on behalf of the District, and is filed by the District Clerk.

11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent to:

Mahendra Patel
AURUM, L.L.C.
162 NW Birdie Lane
Lake City, FL 32056-0575
(386) 752-2209

This January 04, 2018



Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49
Live Oak, Florida 32060
386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP-023-209165-3

NOTICING INFORMATION

Dear Permittee:

Please be advised that the Suwannee River Water Management District (District) has not published a notice in the newspaper advising the public that it has issued a permit for this project.

Newspaper publication, using the District's form, notifies members of the public of their right to challenge the issuance of the permit. If proper notice is given by newspaper publication, then there is a 21-day time limit to file a petition challenging the issuance of the permit.

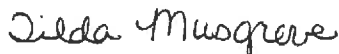
To close the point of entry for filing a petition, you may publish (at your own expense) a onetime notice of the District's decision in a newspaper of general circulation within the affected area as defined in Section 50.011 of the Florida Statutes. If you do not publish a newspaper notice, the time to challenge the issuance of your permit will not expire.

A copy of the notice and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit as proof of publication. In accordance with 40B-1.1010(4), F.A.C., a copy of the affidavit shall be provided to the District within 14 days of publication. A scanned copy of the affidavit may be forwarded to Tilda Musgrove by email at tjm@srwmd.org (preferred method) or send the original affidavit of publication to:

Tilda Musgrove
Resource Management
9225 CR 49
Live Oak, FL 32060

If you have any questions, please contact me at 386.362.1001.

Sincerely,



Tilda Musgrove
Business Resource Specialist
Resource Management

NOTICE OF AGENCY ACTION TAKEN BY THE
SUWANNEE RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on _____:
(Name and address of applicant) _____
permit# _____. The project is located in _____ County, Section
_____, Township _____ South, Range _____ East. The permit authorizes a surface
water management system on _____ acres for _____ known as
_____. The receiving water body is _____.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40BB-1.1010, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the Resource Management Business Resource Specialist at District Headquarters, 9225 CR 49, Live Oak FL 32060 or by e-mail to tjm@srwmd.org, within twenty-one (21) days of newspaper publication of the notice of intended District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., is not available.

A petition for an administrative hearing is deemed filed upon receipt of the complete petition by the District Clerk at the District Headquarters in Live Oak, FL during the District's regular business hours. The District's regular business hours are 8 a.m. – 5 p.m., excluding weekends and District holidays. Petitions received by the District Clerk after the District's regular business hours shall be deemed filed as of 8 a.m. on the next regular District business day.

The right to an administrative hearing and the relevant procedures to be followed are governed by Chapter 120, Florida Statutes, Chapter 28-106, Florida Administrative Code, and Rule 40B-1.1010, Florida Administrative Code. Because the administrative hearing process is designed to formulate final agency action, the filing of a petition means the District's final action may be different from the position taken by it in this notice. **Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing. (Rule 28-106.111, F.A.C.).**

If you wish to do so, you may request the Notice of Rights for this permit by contacting the Business Resource Specialist in the Division of Resource Management (RM), 9225 CR 49, Live Oak,, FL 32060, or by phone at 386.362.1001.

NEWSPAPER ADVERTISING**ALACHUA**

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PO Box 14747
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352.372.4222

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Bradford County Telegraph, Legal Advertising
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Starke, FL 32901
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COLUMBIA

Lake City Reporter
180 E Duval Street
Lake City, FL 32055
386.754.0401

DIXIE

Dixie County Advocate
174 County Road 351
Cross City, FL 32628
352.498.3312

GILCHRIST

Gilchrist County Journal
207 N Main St
Trenton, FL 32693
352.463.7135

HAMILTON

Jasper News
521 Demorest Street SE
Live Oak, FL 32064
386.362.1734

JEFFERSON

Monticello News
PO Drawer 772
Madison, FL 32344
850.997.3568

LAFAYETTE

Mayo Free Press
521 Demorest Street SE
Live Oak, FL 32064
386.362.1734

LEVY

Levy County Journal
PO Box 159
Bronson, FL 32621
352.486.2312

MADISON

Madison Carrier
PO Drawer 772
Madison, FL 32344
850.973.4141

SUWANNEE

Suwannee Democrat
521 Demorest Street SE
Live Oak, FL 32064
386.364.1734

TAYLOR

Taco Times
PO Box 888
Perry, FL 32348
850.584.5513

UNION

Union County Times
125 E Main Street
Lake Butler, FL 32054
386.496.2261



SUWANNEE RIVER WATER MANAGEMENT DISTRICT

9225 CR 49 • LIVE OAK, FLORIDA 32060 • TELEPHONE 386/362-1001 • 800/226-1066 • FAX 386/362-1056
mysuwanneeriver.com

January 4, 2018

Janak Shukla
ERA INVESTMENTS LLC
3010 W Us Highway 90
Lake City, FL 32055-7711

SUBJECT: Permit Number ERP-023-209165-3
Lake City Hotels

Dear Janak Shukla:

Enclosed is your individual permit issued by the Suwannee River Water Management District on January 04, 2018. This permit is a legal document and should be kept with your other important documents. Permit issuance does not relieve you from the responsibility of obtaining any necessary permits from any federal, state, or local agencies for your project.

Noticing Your Permit:

For noticing instructions, please refer to the noticing materials in this package regarding closing the point of entry for someone to challenge the issuance of your permit. Please note that if a timely petition for administrative hearing is filed, your permit will become non-final and any activities that you choose to undertake pursuant to your permit will be at your own risk.

Compliance with Permit Conditions:

To submit your required permit compliance information, go to the District's website at <https://permitting.sjrwmd.com/srepermitting/jsp/start.jsp>. Click to sign-in to your existing account or to create a new account. Select the "Apply/Submit" tab, select "Submit Compliance Data", enter your permit number, and select "No Specific Date" for the Compliance Due Date Range. You will then be able to view all the compliance submittal requirements for your project. Select "the compliance item that you are ready to submit and then attach the appropriate information or form. The forms to comply with your permit conditions are available at floridaswater.com/permitting under the section "Handbooks, forms, fees, final orders". Click on forms to view all permit compliance forms, then scroll to the ERP application forms section and select the applicable compliance forms. Alternatively, if you have difficulty finding forms or need copies of the appropriate forms, please contact the Resource Management Division at (386) 362-1001.

Transferring Your Permit:

Your permit requires you to notify the District in writing within 30 days of any change in ownership or control of the project or activity covered by the permit, or within 30 days of any change in ownership or control of the real property on which the permitted project or activity is located or occurs. You will need to provide the District with the information specified in rule 62-330.340, Florida Administrative Code (F.A.C.). Generally, this will require you to complete and submit Form 62-330.340(1), "Request to Transfer Permit".

Please note that a permittee is liable for compliance with the permit before the permit is transferred. The District, therefore, recommends that you request a permit transfer in advance in

DON QUINCEY Chair
Chiefland, Florida

ALPHONAS ALEXANDER Vice Chair
Madison, Florida

VIRGINIA H. JOHNS Secretary/Treasurer
Alachua, Florida

KEVIN BROWN
Alachua, Florida

GARY F. JONES
Old Town, Florida

CHARLES KEITH
Lake City, Florida

VIRGINIA M. SANCHEZ
Old Town, Florida

RICHARD SCHWAB
Perry, Florida

BRADLEY WILLIAMS
Monticello, Florida

HUGH THOMAS
Executive Director

accordance with the applicable rules. You are encouraged to contact District staff for assistance with this process.

Thank you and please let us know if you have additional questions. For general questions contact us at (386) 362-1001.

Sincerely,

A handwritten signature in dark ink, appearing to read 'Hugh Thomas', followed by a long, horizontal, slightly wavy line that extends to the right.

Hugh Thomas
Executive Director

Enclosures: Permit

cc: District Permit File

ERP Individual Permit

PERMITTEE:

Janak Shukla
ERA INVESTMENTS LLC
3010 W Us Highway 90
Lake City, FL 32055-7711

PERMIT NUMBER: ERP-023-209165-3**DATE ISSUED:** January 04, 2018**DATE EXPIRES:** January 04, 2023**COUNTY:** Columbia**TRS:** S35 T3S R16E, S2 T4S R16E**PROJECT:** Lake City Hotels

Upon completion, the approved entity to which operation and maintenance maybe transferred pursuant to rule 62-330.310 and 62-330.340 or 40B-4.1130, Florida Administrative Code (F.A.C) shall be:

Mahendra Patel
AURUM, L.L.C.
162 NW Birdie Lane
Lake City, FL 32056-0575

Based on the information provided to the Suwannee River Water Management District (District), the above mentioned project has met the conditions of issuance as found in subsection 62-330.301, subsections 62-330.407 through 62-330.635, or subsection 40B-4.3030, F.A.C. The permit is hereby in effect for the activity description below:

Previous permit was for the construction and operation of a surface water management system serving 6.10 acres of impervious surface on a total project area of 10.10 acres. This modification consists of relocating the master stormwater facility and the addition of 8.25 acres of impervious on a total project area of 17.61 acres. When constructed the project shall be in accordance with the application package submitted by Mahendra Patel, of Aurum, LLC., as an authorized agent for the Columbia County Board of County Commissioners, and the signed and sealed plans certified on October 31, 2017, by Christopher Gmuer, P.E., of Gmuer Engineering, LLC.

As the permittee and/or operation and maintenance entity, it is your responsibility to ensure that adverse off-site impacts do not occur either during or after the construction. Any additional construction or alterations not authorized by this permit may result in flood control or water quality problems both on and off site and will be a violation of District rule.

You and any other substantially affected persons are entitled to request an administrative hearing or mediation. Please refer to the enclosed notice of rights.

1. All activities shall be implemented following the plans, specifications and performance criteria approved by this permit. Any deviations must be authorized in a permit modification in accordance with Rule 62-330.315, F.A.C. Any deviations that are not so authorized may subject the permittee to enforcement action and revocation of the permit under Chapter 373, F.S.
2. A complete copy of this permit shall be kept at the work site of the permitted activity during the construction phase, and shall be available for review at the work site upon request by the District staff. The permittee shall require the contractor to review the complete permit prior to beginning construction.
3. Activities shall be conducted in a manner that does not cause or contribute to violations of state water quality standards. Performance-based erosion and sediment control best management practices shall be installed immediately prior to, and be maintained during and after construction as needed, to prevent adverse impacts to the water resources and adjacent lands. Such practices shall be in accordance with the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008), which are both incorporated by reference in subparagraph 62-330.050(9)(b)5, F.A.C., unless a project-specific erosion and sediment control plan is approved or other water quality control measures are required as part of the permit.
4. At least 48 hours prior to beginning the authorized activities, the permittee shall submit to the District a fully executed Form 62-330.350(1), "Construction Commencement Notice,"[10-1-13], incorporated by reference herein (<http://www.flrules.org/Gateway/reference.asp?No=Ref-02505>), indicating the expected start and completion dates. A copy of this form may be obtained from the District, as described in subsection 62-330.010(5), F.A.C. If available, an District website that fulfills this notification requirement may be used in lieu of the form.
5. Unless the permit is transferred under Rule 62-330.340, F.A.C., or transferred to an operating entity under Rule 62-330.310, F.A.C., the permittee is liable to comply with the plans, terms and conditions of the permit for the life of the project or activity.
6. Within 30 days after completing construction of the entire project, or any independent portion of the project, the permittee shall provide the following to the Agency, as applicable:
 1. For an individual, private single-family residential dwelling unit, duplex, triplex, or quadruplex — "Construction Completion and Inspection Certification for Activities Associated With a Private Single-Family Dwelling Unit" [Form 62-330.310(3)]; or
 2. For all other activities — "As-Built Certification and Request for Conversion to Operational Phase" [Form 62-330.310(1)].

3. If available, an Agency website that fulfills this certification requirement may be used in lieu of the form.
7. If the final operation and maintenance entity is a third party:
 1. Prior to sales of any lot or unit served by the activity and within one year of permit issuance, or within 30 days of as-built certification, whichever comes first, the permittee shall submit, as applicable, a copy of the operation and maintenance documents (see sections 12.3 thru 12.3.3 of Volume I) as filed with the Department of State, Division of Corporations and a copy of any easement, plat, or deed restriction needed to operate or maintain the project, as recorded with the Clerk of the Court in the County in which the activity is located.
 2. Within 30 days of submittal of the as- built certification, the permittee shall submit "Request for Transfer of Environmental Resource Permit to the Perpetual Operation Entity" [Form 62-330.310(2)] to transfer the permit to the operation and maintenance entity, along with the documentation requested in the form. If available, an Agency website that fulfills this transfer requirement may be used in lieu of the form.
8. The permittee shall notify the District in writing of changes required by any other regulatory District that require changes to the permitted activity, and any required modification of this permit must be obtained prior to implementing the changes.
9. This permit does not:
 1. Convey to the permittee any property rights or privileges, or any other rights or privileges other than those specified herein or in Chapter 62-330, F.A.C.;
 2. Convey to the permittee or create in the permittee any interest in real property;
 3. Relieve the permittee from the need to obtain and comply with any other required federal, state, and local authorization, law, rule, or ordinance; or
 4. Authorize any entrance upon or work on property that is not owned, held in easement, or controlled by the permittee.
10. Prior to conducting any activities on state-owned submerged lands or other lands of the state, title to which is vested in the Board of Trustees of the Internal Improvement Trust Fund, the permittee must receive all necessary approvals and authorizations under Chapters 253 and 258, F.S. Written authorization that requires formal execution by the Board of Trustees of the Internal Improvement Trust Fund shall not be considered received until it has been fully executed.
11. The permittee shall hold and save the District harmless from any and all damages, claims, or liabilities that may arise by reason of the construction, alteration, operation, maintenance, removal, abandonment or use of any project authorized by the permit.
12. The permittee shall notify the District in writing:
 1. Immediately if any previously submitted information is discovered to be inaccurate; and
 2. Within 30 days of any conveyance or division of ownership or control of the property or the system, other than conveyance via a long-term lease, and the new owner shall request transfer of the permit in accordance with Rule 62-330.340, F.A.C.

This does not apply to the sale of lots or units in residential or commercial subdivisions or condominiums where the stormwater management system has been completed and converted to the operation phase.

13. Upon reasonable notice to the permittee, District staff with proper identification shall have permission to enter, inspect, sample and test the project or activities to ensure conformity with the plans and specifications authorized in the permit.
14. If any prehistoric or historic artifacts, such as pottery or ceramics, stone tools or metal implements, dugout canoes, or any other physical remains that could be associated with Native American cultures, or early colonial or American settlement are encountered at any time within the project site area, work involving subsurface disturbance in the immediate vicinity of such discoveries shall cease. The permittee or other designee shall contact the Florida Department of State, Division of Historical Resources, Compliance and Review Section, at (850) 245-6333 or (800) 847-7278, as well as the appropriate permitting agency office. Such subsurface work shall not resume without verbal or written authorization from the Division of Historical Resources. If unmarked human remains are encountered, all work shall stop immediately and notification shall be provided in accordance with Section 872.05, F.S.
15. Any delineation of the extent of a wetland or other surface water submitted as part of the permit application, including plans or other supporting documentation, shall not be considered binding unless a specific condition of this permit or a formal determination under Rule 62-330.201, F.A.C., provides otherwise.
16. The permittee shall provide routine maintenance of all components of the stormwater management system to remove trapped sediments and debris. Removed materials shall be disposed of in a landfill or other uplands in a manner that does not require a permit under Chapter 62-330, F.A.C., or cause violations of state water quality standards.
17. This permit is issued based on the applicant's submitted information that reasonably demonstrates that adverse water resource-related impacts will not be caused by the completed permit activity. If any adverse impacts result, the District will require the permittee to eliminate the cause, obtain any necessary permit modification, and take any necessary corrective actions to resolve the adverse impacts.
18. A Recorded Notice of Environmental Resource Permit may be recorded in the county public records in accordance with Rule 62-330.090(7), F.A.C. Such notice is not an encumbrance upon the property.

WITHIN 30 DAYS AFTER COMPLETION OF THE PROJECT, THE PERMITTEE SHALL NOTIFY THE DISTRICT, IN WRITING, THAT THE FACILITIES ARE COMPLETE.

AUTHORIZED BY: Suwannee River Water Management District

By:



Hugh Thomas
Executive Director

NOTICE OF RIGHTS

1. A person whose substantial interests are or may be determined has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District), or may choose to pursue mediation as an alternative remedy under Section 120.569 and 120.573, Florida Statutes, (F.S.), before the deadline for filing a petition. Choosing mediation will not adversely affect the right to a hearing if mediation does not result in a settlement. The procedures for pursuing mediation are set forth in Sections 120.569 and 120.57 F.S. Pursuant to Rule 28-106.111, Florida Administrative Code, (F.A.C.), the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). A petition must comply with Chapter 28-106, F.A.C.
2. If the Governing Board takes action which substantially differs from the notice of District decision to grant or deny the permit application, a person whose substantial interests are or may be determined has the right to request an administrative hearing or may choose to pursue mediation as an alternative remedy as described above. Pursuant to Rule 28-106.111, F.A.C., the petition must be filed at the office of the District Clerk at District Headquarters, 9225 C.R. 49, Live Oak, Florida 32060 within twenty-one (21) days of receipt of written notice of the decision or within twenty-one (21) days of newspaper publication of the notice of District decision (for those persons to whom the District does not mail actual notice). Such a petition must comply with Chapter 28-106, F.A.C.
3. A substantially interested person has the right to a formal administrative hearing pursuant to Section 120.569 and 120.57(1), F.S., where there is a dispute between the District and the party regarding an issue of material fact. A petition for formal hearing must comply with the requirements set forth in Rule 28-106.201, F.A.C.
4. A substantially interested person has the right to an informal hearing pursuant to Section 120.569 and 120.57(2), F.S., where no material facts are in dispute. A petition for an informal hearing must comply with the requirements set forth in Rule 28-106.301, F.A.C.
5. A petition for an administrative hearing is deemed filed upon receipt of the petition by the Office of the District Clerk at the District Headquarters in Live Oak, Florida.
6. Failure to file a petition for an administrative hearing within the requisite time frame shall constitute a waiver of the right to an administrative hearing pursuant to Rule 28-106.111, F.A.C.
7. The right to an administrative hearing and the relevant procedures to be followed is governed by Chapter 120, Florida Statutes, and Chapter 28-106, F.A.C.
8. Pursuant to Section 120.68, F.S., a person who is adversely affected by final District action may seek review of the action in the District Court of Appeal by filing a notice of appeal pursuant to the Florida Rules of Appellate Procedure, within 30 days of the rendering of the final District action.
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11. Failure to observe the relevant time frames for filing a petition for judicial review, or for Commission review, will result in waiver of the right to review.

CERTIFICATE OF SERVICE

I hereby certify that a copy of the foregoing Notice of Rights has been sent to:

Janak Shukla
ERA INVESTMENTS LLC
3010 W Us Highway 90
Lake City, FL 32055-7711

This January 04, 2018



Deputy Clerk
Suwannee River Water Management District
9225 C.R. 49
Live Oak, Florida 32060
386.362.1001 or 800.226.1066 (Florida only)

cc: File Number: ERP-023-209165-3

NOTICING INFORMATION

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Please be advised that the Suwannee River Water Management District (District) has not published a notice in the newspaper advising the public that it has issued a permit for this project.

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A copy of the notice and a partial list of newspapers of general circulation are attached for your convenience. However, you are not limited to those listed newspapers. If you choose to close the point of entry and the notice is published, the newspaper will return to you an affidavit as proof of publication. In accordance with 40B-1.1010(4), F.A.C., a copy of the affidavit shall be provided to the District within 14 days of publication. A scanned copy of the affidavit may be forwarded to Tilda Musgrove by email at tjm@srwmd.org (preferred method) or send the original affidavit of publication to:

Tilda Musgrove
Resource Management
9225 CR 49
Live Oak, FL 32060

If you have any questions, please contact me at 386.362.1001.

Sincerely,



Tilda Musgrove
Business Resource Specialist
Resource Management

NOTICE OF AGENCY ACTION TAKEN BY THE
SUWANNEE RIVER WATER MANAGEMENT DISTRICT

Notice is given that the following permit was issued on _____:
(Name and address of applicant) _____
permit# _____. The project is located in _____ County, Section
_____, Township _____ South, Range _____ East. The permit authorizes a surface
water management system on _____ acres for _____
_____ known as
_____. The receiving water body is _____.

A person whose substantial interests are or may be affected has the right to request an administrative hearing by filing a written petition with the Suwannee River Water Management District (District). Pursuant to Chapter 28-106 and Rule 40BB-1.1010, Florida Administrative Code (F.A.C.), the petition must be filed (received) either by delivery at the office of the Resource Management Business Resource Specialist at District Headquarters, 9225 CR 49, Live Oak FL 32060 or by e-mail to tjm@srwmd.org, within twenty-one (21) days of newspaper publication of the notice of intended District decision (for those persons to whom the District does not mail or email actual notice). A petition must comply with Sections 120.54(5)(b)4. and 120.569(2)(c), Florida Statutes (F.S.), and Chapter 28106, F.A.C. The District will not accept a petition sent by facsimile (fax). Mediation pursuant to Section 120.573, F.S., is not available.

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If you wish to do so, you may request the Notice of Rights for this permit by contacting the Business Resource Specialist in the Division of Resource Management (RM), 9225 CR 49, Live Oak, FL 32060, or by phone at 386.362.1001.

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Gainesville, FL 32614
352.372.4222

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Bradford County Telegraph, Legal Advertising
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Starke, FL 32901
904-964-6305/ fax 904-964-8628

COLUMBIA

Lake City Reporter
180 E Duval Street
Lake City, FL 32055
386.754.0401

DIXIE

Dixie County Advocate
174 County Road 351
Cross City, FL 32628
352.498.3312

GILCHRIST

Gilchrist County Journal
207 N Main St
Trenton, FL 32693
352.463.7135

HAMILTON

Jasper News
521 Demorest Street SE
Live Oak, FL 32064
386.362.1734

JEFFERSON

Monticello News
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386.364.1734

TAYLOR

Taco Times
PO Box 888
Perry, FL 32348
850.584.5513

UNION

Union County Times
125 E Main Street
Lake Butler, FL 32054
386.496.2261

STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION
**DRIVEWAY CONNECTION PERMIT
 FOR ALL CATEGORIES**

PART 1: PERMIT INFORMATION

APPLICATION NUMBER: 2017-A-292-023

Permit Category: E - 4,001 to 10,000 VTPD

Access Classification: _____

Project: Lake City Hotels

Permittee: CHRISTOPHER GMUER

Section/Mile Post: /

State Road: _____

Section/Mile Post: /

State Road: _____

PART 2: PERMITTEE INFORMATION

Permittee Name: CHRISTOPHER GMUER

Permittee Mailing Address: 2603 NW 13th ST Box 314

City, State, Zip: Gainesville, Florida 32609

Telephone: (352) 281-4928 ext. _____

Engineer/Consultant/or Project Manager: _____

Engineer responsible for construction inspection: _____

NAME

P.E. #

Mailing Address: _____

City, State, Zip: _____

Telephone: _____ FAX, Mobile Phone, etc. Fax: / Mobile: _____

PART 3: PERMIT APPROVAL

The above application has been reviewed and is hereby approved subject to all Provisions as attached.

Permit Number: 2017-A-292-023

Department of Transportation

Signature: Troy Register

Title: MAINTENANCE MANAGER/PERMITS

Department Representative's Printed Name Troy Register

Temporary Permit ☐ YES ☒ NO (If temporary, this permit is only valid for 6 months)

Special provisions attached ☐ YES ☒ NO

Date of Issuance: 8/14/2019

If this is a normal (non-temporary) permit it authorizes construction for one year from the date of issuance. This can only be extended by the Department as specified in 14-96.007(6).

See following pages for General and Special Provisions

PART 4: GENERAL PROVISIONS

1. Notify the Department of Transportation Maintenance Office at least 48 hours in advance of starting proposed work.
Phone: 3869617153 , Attention: Troy Register
2. A copy of the approved permit must be displayed in a prominent location in the immediate vicinity of the connection construction.
3. Comply with Rule 14-96.008(1), F.A.C., Disruption of Traffic.
4. Comply with Rule 14-96.008(7), F.A.C., on Utility Notification Requirements.
5. All work performed in the Department's right of way shall be done in accordance with the most current Department standards, specifications and the permit provisions.
6. The permittee shall not commence use of the connection prior to a final inspection and acceptance by the Department.
7. Comply with Rule 14-96.003(3)(a), F.A.C., Cost of Construction.
8. If a Significant Change of the permittee's land use, as defined in Section 335.182, Florida Statutes, occurs, the Permittee must contact the Department.
9. Medians may be added and median openings may be changed by the Department as part of a Construction Project or Safety Project. The provision for a median might change the operation of the connection to be for right turns only.
10. All conditions in NOTICE OF INTENT WILL APPLY unless specifically changed by the Department.
11. All approved connection(s) and turning movements are subject to the Department's continuing authority to modify such connection(s) or turning movements in order to protect safety and traffic operations on the state highway or State Highway System.
12. **Transportation Control Features and Devices in the State Right of Way.** Transportation control features and devices in the Department's right of way, including, but not limited to, traffic signals, medians, median openings, or any other transportation control features or devices in the state right of way, are operational and safety characteristics of the State Highway and are not means of access. The Department may install, remove or modify any present or future transportation control feature or device in the state right of way to make changes to promote safety in the right of way or efficient traffic operations on the highway.
13. The Permittee for him/herself, his/her heirs, his/her assigns and successors in interest, binds and is bound and obligated to save and hold the State of Florida, and the Department, its agents and employees harmless from any and all damages, claims, expense, or injuries arising out of any act, neglect, or omission by the applicant, his/her heirs, assigns and successors in interest that may occur by reason of this facility design, construction, maintenance, or continuing existence of the connection facility, except that the applicant shall not be liable under this provision for damages arising from the sole negligence of the Department.
14. The Permittee shall be responsible for determining and notify all other users of the right of way.
15. Starting work on the State Right of Way means that I am accepting all conditions on the Permit.

Approved
2017-A-292-023
Troy Register
8/14/2019

PART 5: SPECIAL PROVISIONSNON-CONFORMING CONNECTIONS: ☐ YES ☐ NO

If this is a non-conforming connection permit, as defined in Rule Chapters 14-96 and 14-97, then the following shall be a part of this permit.

1. The non-conforming connection(s) described in this permit is (are) not permitted for traffic volumes exceeding the Permit Category on page 1 of this permit, or as specified in "Other Special Provisions" below.
2. All non-conforming connections will be subject to closure or relocation when reasonable access becomes available in the future.

OTHER SPECIAL PROVISIONS:

Night time work required for median modifications.

PART 6: APPEAL PROCEDURES

You may petition for an administrative hearing pursuant to sections 120.569 and 120.57, Florida Statutes. If you dispute the facts stated in the foregoing Notice of Intended Department Action (hereinafter Notice), you may petition for a formal administrative hearing pursuant to section 120.57 (1), Florida Statutes. If you agree with the facts stated in the Notice, you may petition for an informal administrative hearing pursuant to section 120.57(2), Florida Statutes. You must file the petition with:

Clerk of Agency Proceedings
Department of Transportation
Haydon Burns Building
605 Suwannee Street, M.S. 58
Tallahassee, Florida 32399-0458

The petition for an administrative hearing must conform to the requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code, and be filed with the Clerk of Agency Proceedings by 5:00 p.m. no later than 21 days after you received the Notice. The petition must include a copy of the Notice, be legible, on 8 1/2 by 11 inch white paper, and contain:

1. Your name, address, telephone number, any Department of Transportation identifying number on the Notice, if known, the name and identification number of each agency affected, if known, and the name, address, and telephone number of your representative, if any, which shall be the address for service purposes during the course of the proceeding.
2. An explanation of how your substantial interests will be affected by the action described in the Notice;
3. A statement of when and how you received the Notice;
4. A statement of all disputed issues of material fact. If there are none, you must so indicate;
5. A concise statement of the ultimate facts alleged, including the specific facts you contend warrant reversal or modification of the agency's proposed action, as well as an explanation of how the alleged facts relate to the specific rules and statutes you contend require reversal or modification of the agency's proposed action;
6. A statement of the relief sought, stating precisely the desired action you wish the agency to take in respect to the agency's proposed action.

If there are disputed issues of material fact a formal hearing will be held, where you may present evidence and argument on all issues involved and conduct cross-examination. If there are no disputed issues of material fact an informal hearing will be held, where you may present evidence or a written statement for consideration by the Department.

Mediation, pursuant to section 120.573, Florida Statutes, may be available if agreed to by all parties, and on such terms as may be agreed upon by all parties. The right to an administrative hearing is not affected when mediation does not result in a settlement.

Your petition for an administrative hearing shall be dismissed if it is not in substantial compliance with the above requirements of Rule 28-106.201(2) or Rule 28-106.301(2), Florida Administrative Code. If you fail to timely file your petition in accordance with the above requirements, you will have waived your right to have the intended action reviewed pursuant to chapter 120, Florida Statutes, and the action set forth in the Notice shall be conclusive and final.

LAKE CITY HOTELS

PHASE 1

PROJECT INFORMATION

PROJECT NAME: LAKE CITY HOTELS - PHASE 1

OWNER: LAKE CITY HOTELS, LLC

ARCHITECT: BAKER & BAKER, P.A.

DATE: 04-15-2010

WATER: CHANDLER

PARCELS: 04-00-00-00000000

04-00-00-00000000

04-00-00-00000000

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SUMMARY OF APPLICABLE ZONING REQUIREMENTS

ENTIRELY CORRECTION 4.2.1.1

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OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

OUR 8.8 Acre WITH 4.2.1.1

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OUR 8.8 Acre WITH 4.2.1.1

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OUR 8.8 Acre WITH 4.2.1.1

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SHEET INDEX

C-000 COVER & SHEET INDEX

C-001 MASTER DEVELOPMENT PLAN

C-010 NOTES & LEGEND

C-051 TO C-054 EROSION CTRL. DEMO.

C-101 TO C-106 SITE & HORIZONTAL CONTROL PLAN

C-201 TO C-206 PAVING, GRADING, & DRAINAGE PLAN

C-301 TO C-306 MASTER UTILITY PLAN

C-310 TO C-316 UTILITY PLAN AND PROFILE

C-400 TO C-401 UTILITY DETAILS

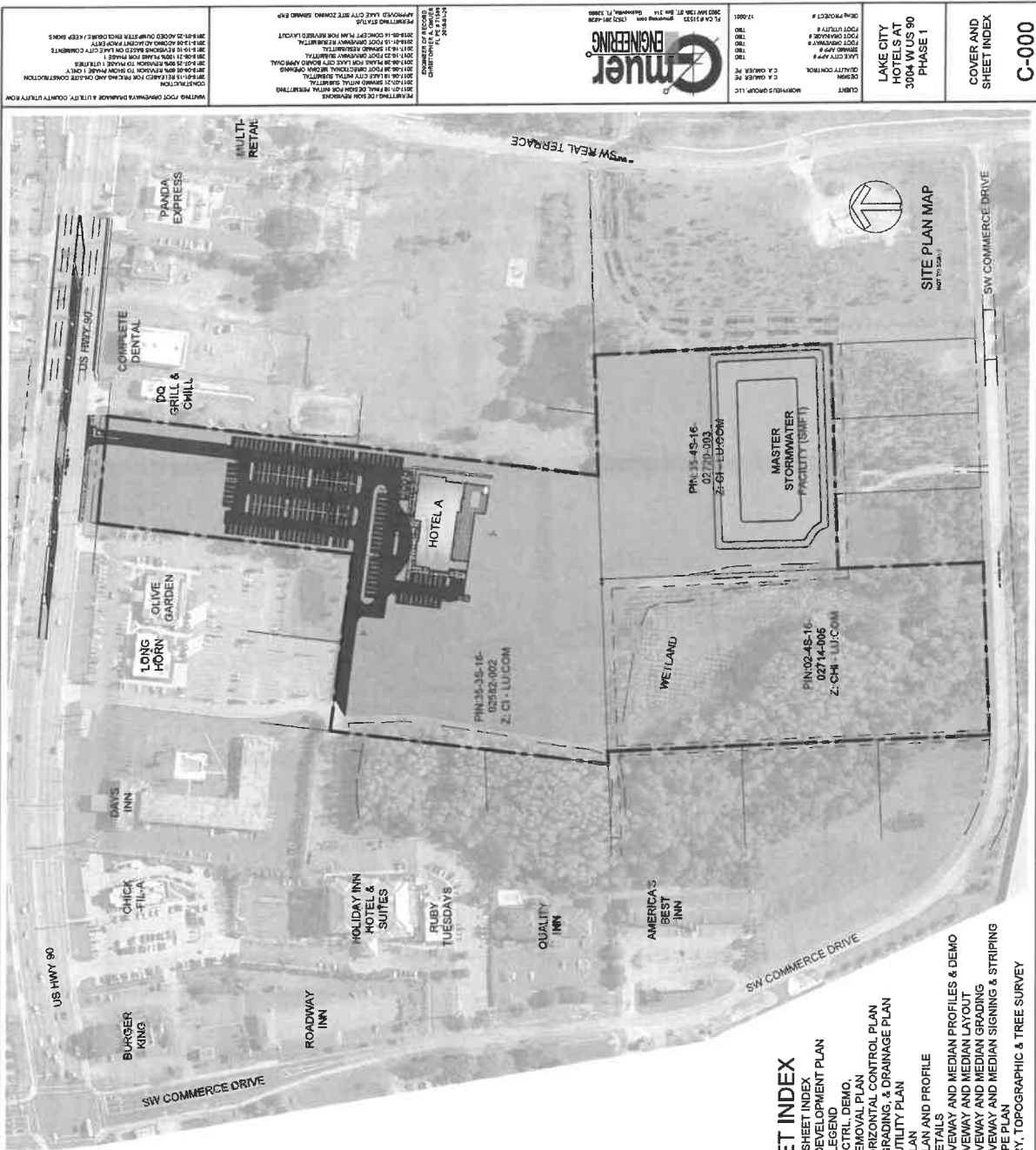
C-410 TO C-411 FOOT DRIVEWAY AND MEDIAN LAYOUT

C-420 TO C-421 FOOT DRIVEWAY AND MEDIAN GRADING

C-430 TO C-431 FOOT DRIVEWAY AND MEDIAN SIGNING & STRIPING

LS-01 TO LS-08 LANDSCAPE PLAN

1 to 8 OF 8 BOUNDARY, TOPOGRAPHIC & TREE SURVEY

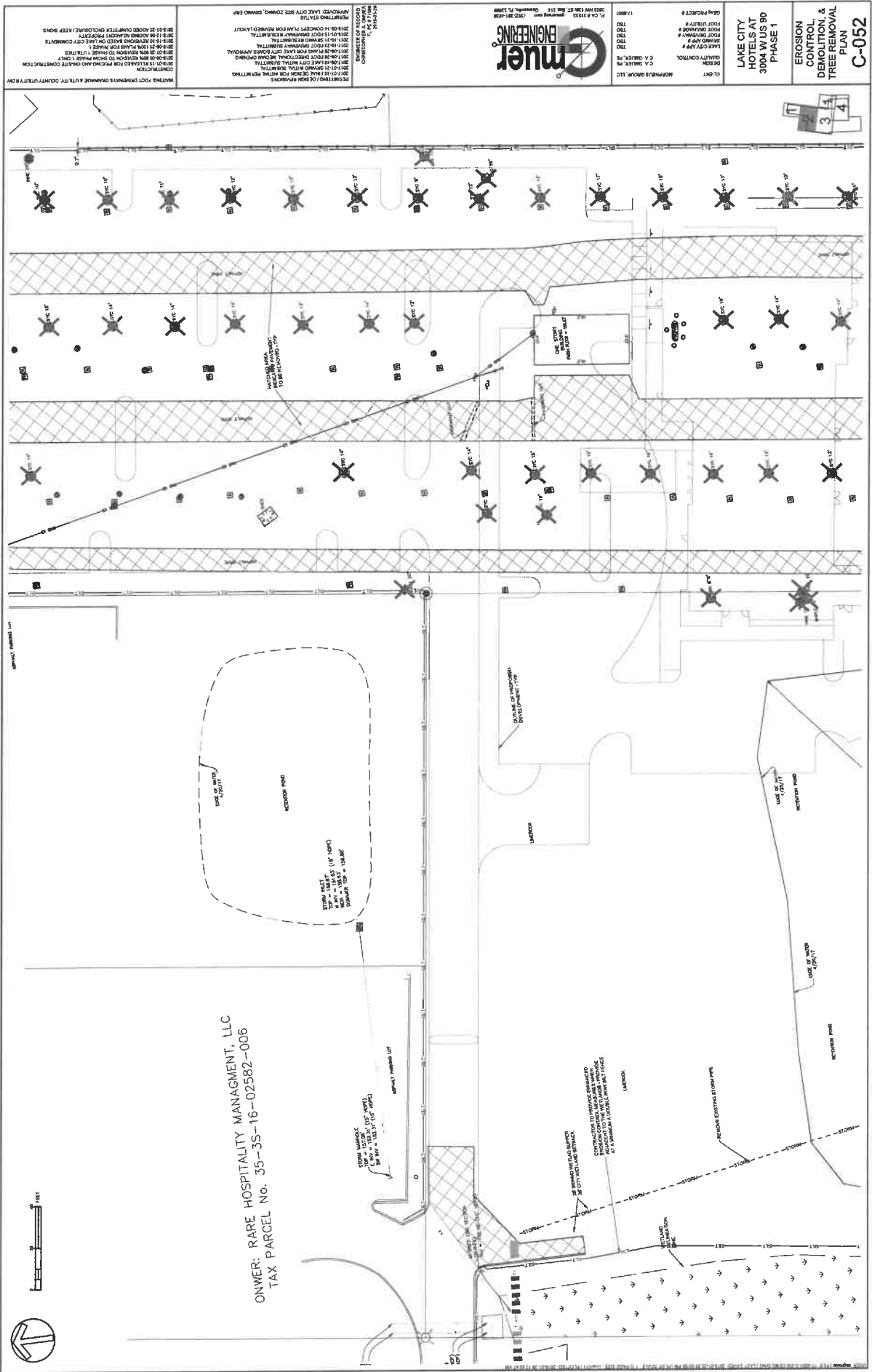


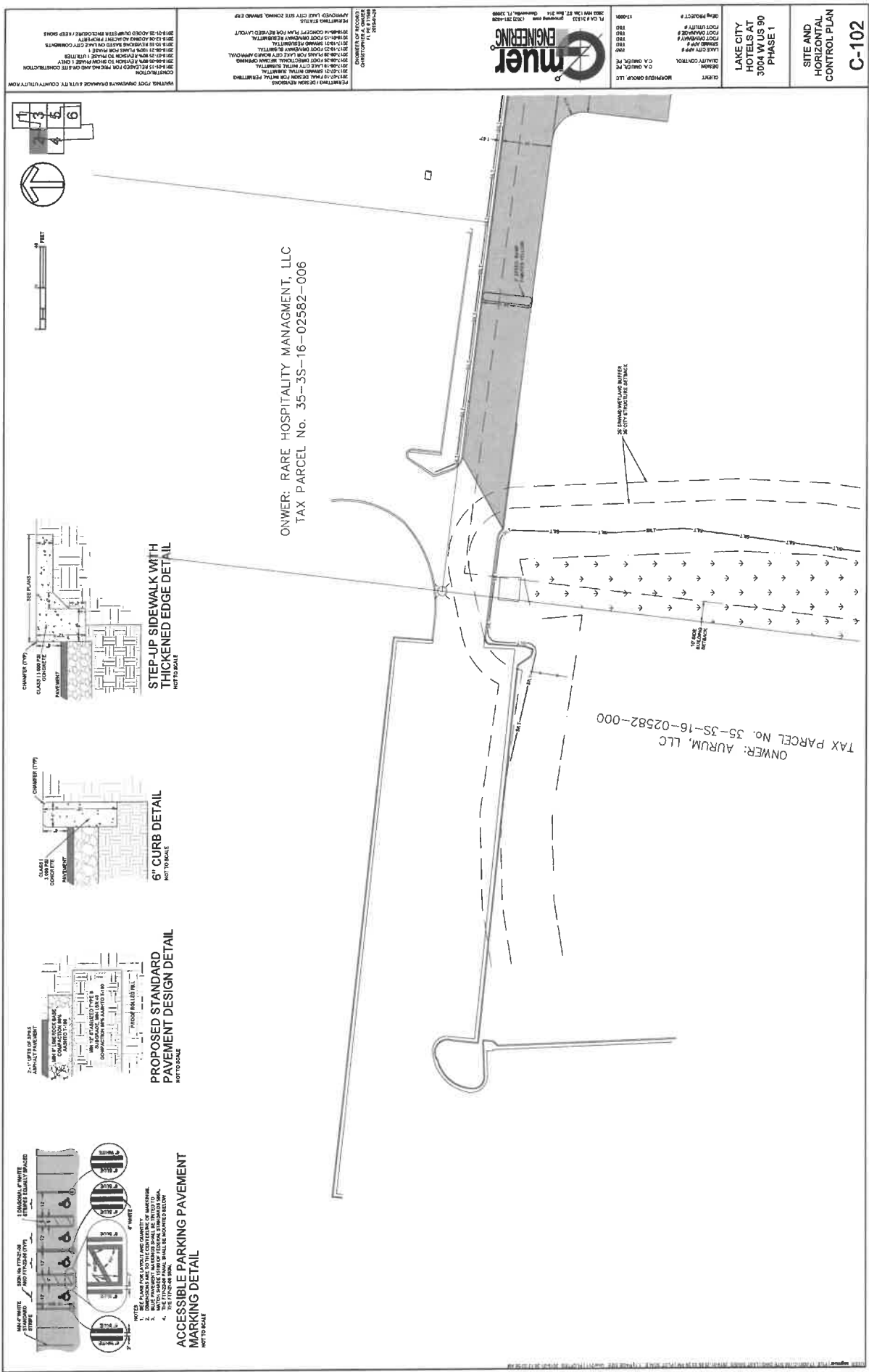
CLIENT	LAKE CITY HOTELS, LLC
DESIGN	LAKE CITY HOTELS, LLC
PROJECT #	3004 W US 90
PHASE 1	PHASE 1
COVER AND SHEET INDEX	C-000

LAKE CITY HOTELS, LLC
3004 W US 90
PHASE 1
COVER AND SHEET INDEX
C-000

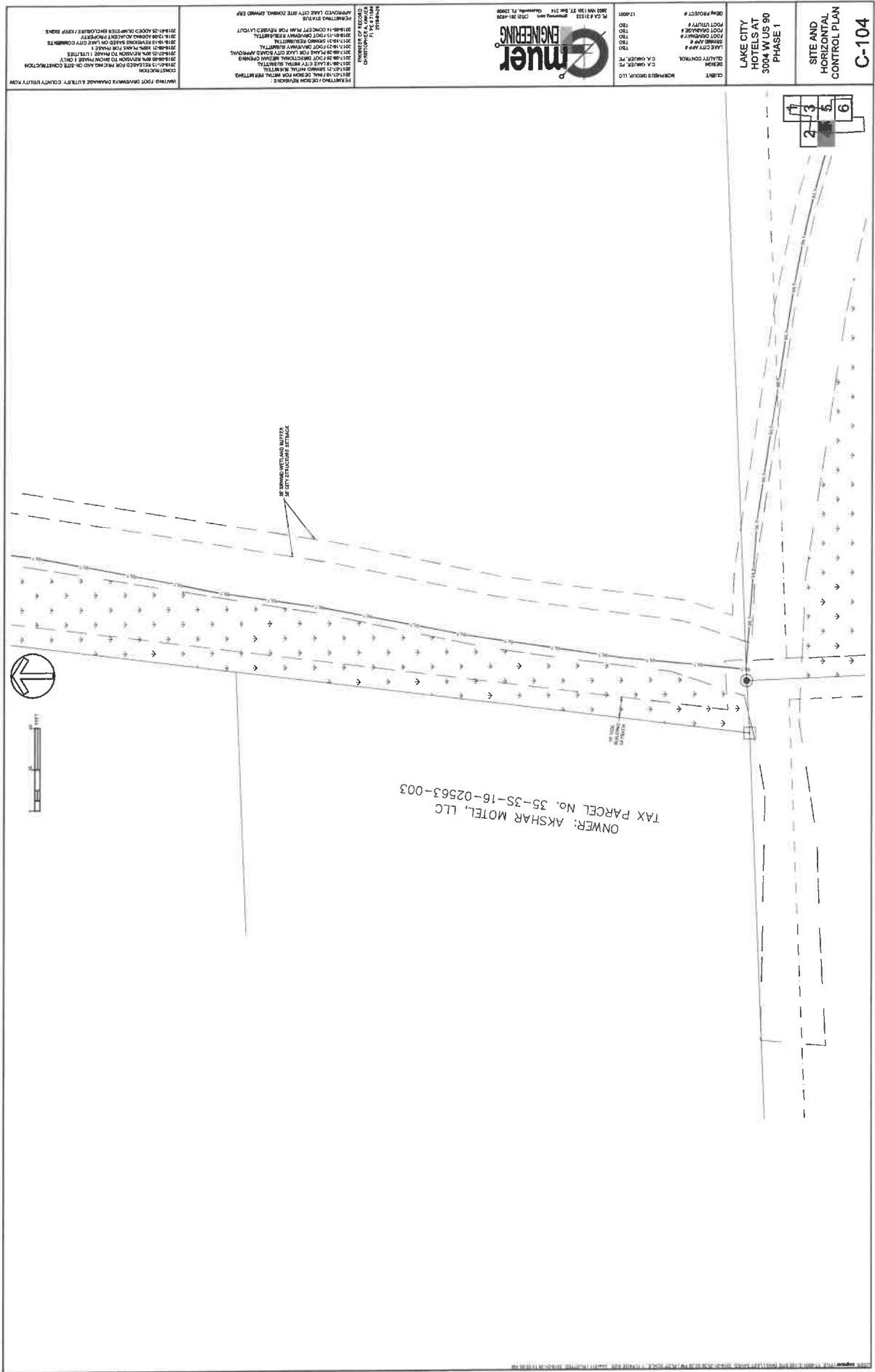
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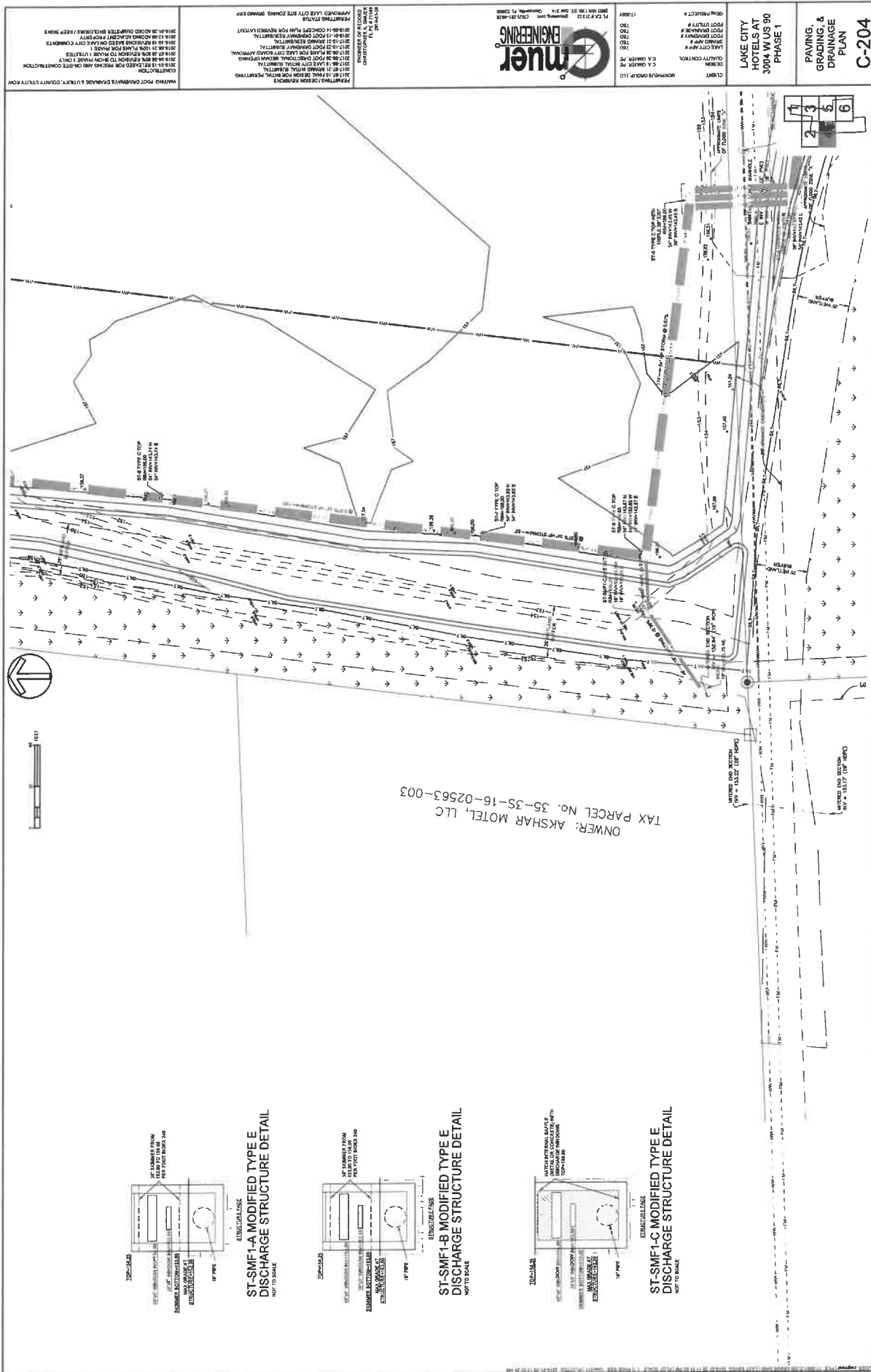


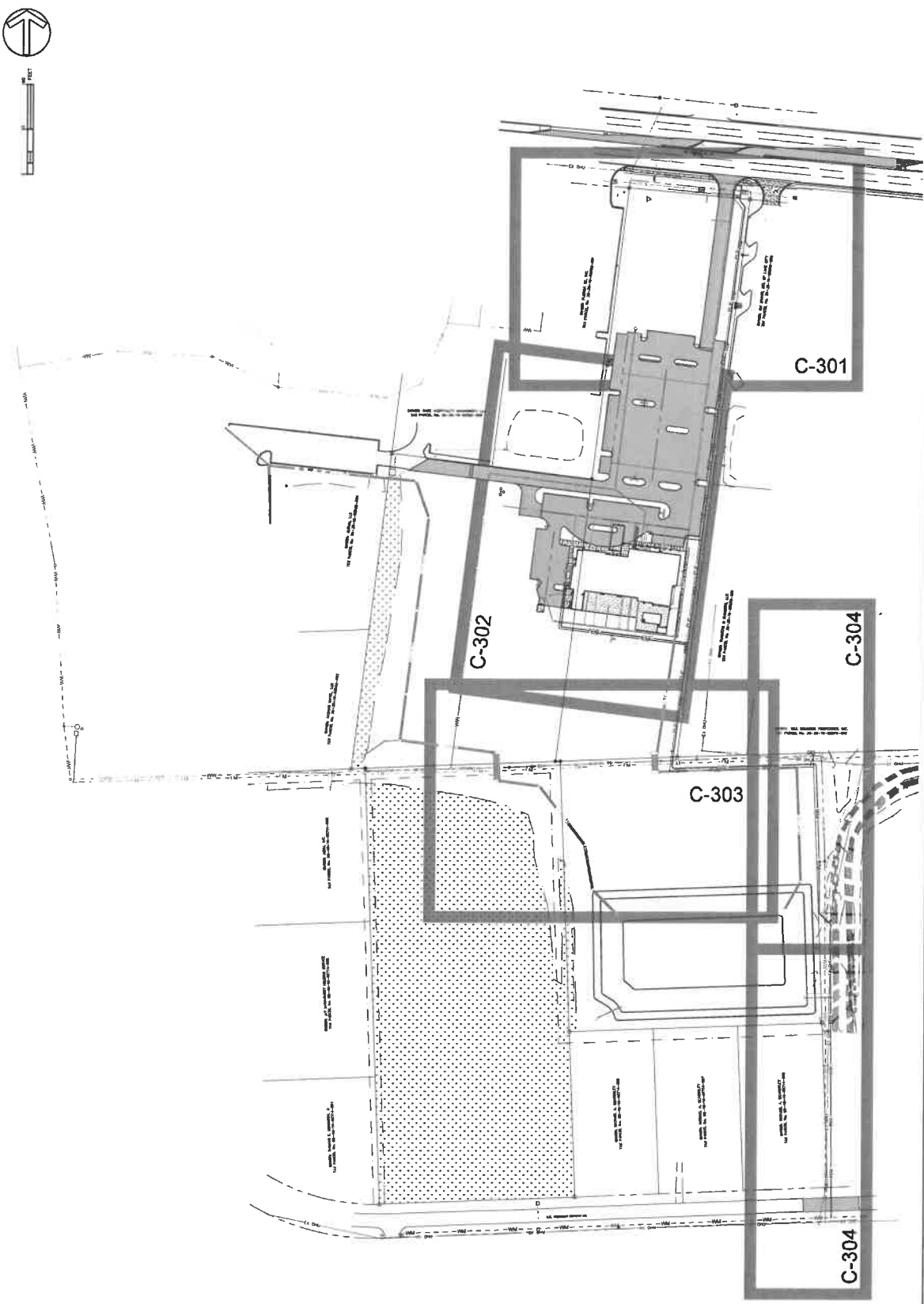


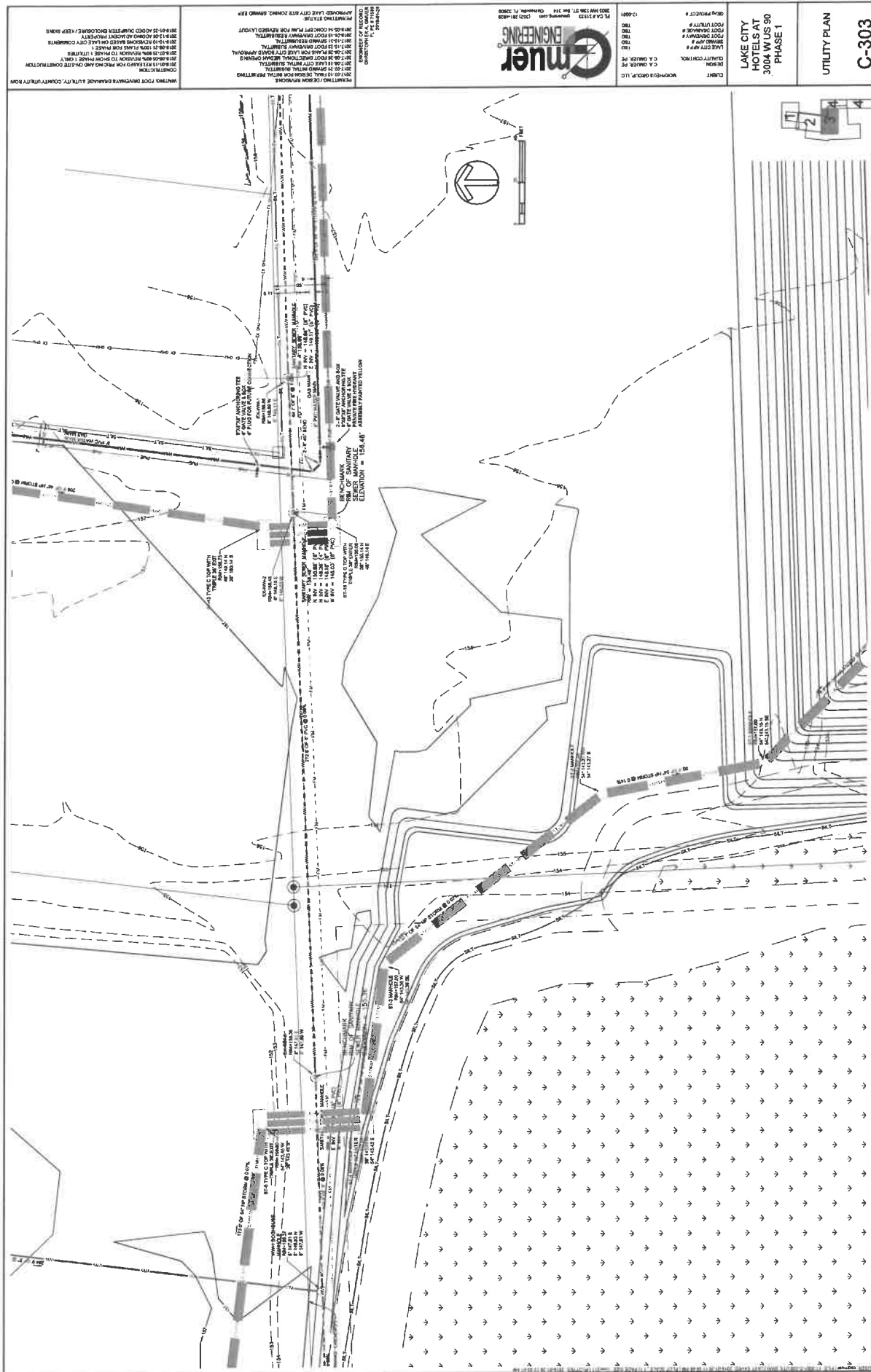


<p>CLIENT: RICHMOND GROUP, LLC DESIGN: RICHMOND GROUP, LLC CITY: RICHMOND, VA PROJECT #</p>	<p>DATE: 11/14/2018 DRAWN BY: J. HARRIS CHECKED BY: J. HARRIS SCALE: AS SHOWN</p>	<p>PROJECT: LAKE CITY HOTELS AT 3004 W US 90 PHASE 1 SHEET: 1 OF 1</p>	<p>OWNER: RARE HOSPITALITY MANAGEMENT, LLC TAX PARCEL No. 35-3S-16-02582-006</p>	<p>OWNER: AURUM, LLC TAX PARCEL No. 35-3S-16-02582-000</p>
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C-303

UTILITY PLAN

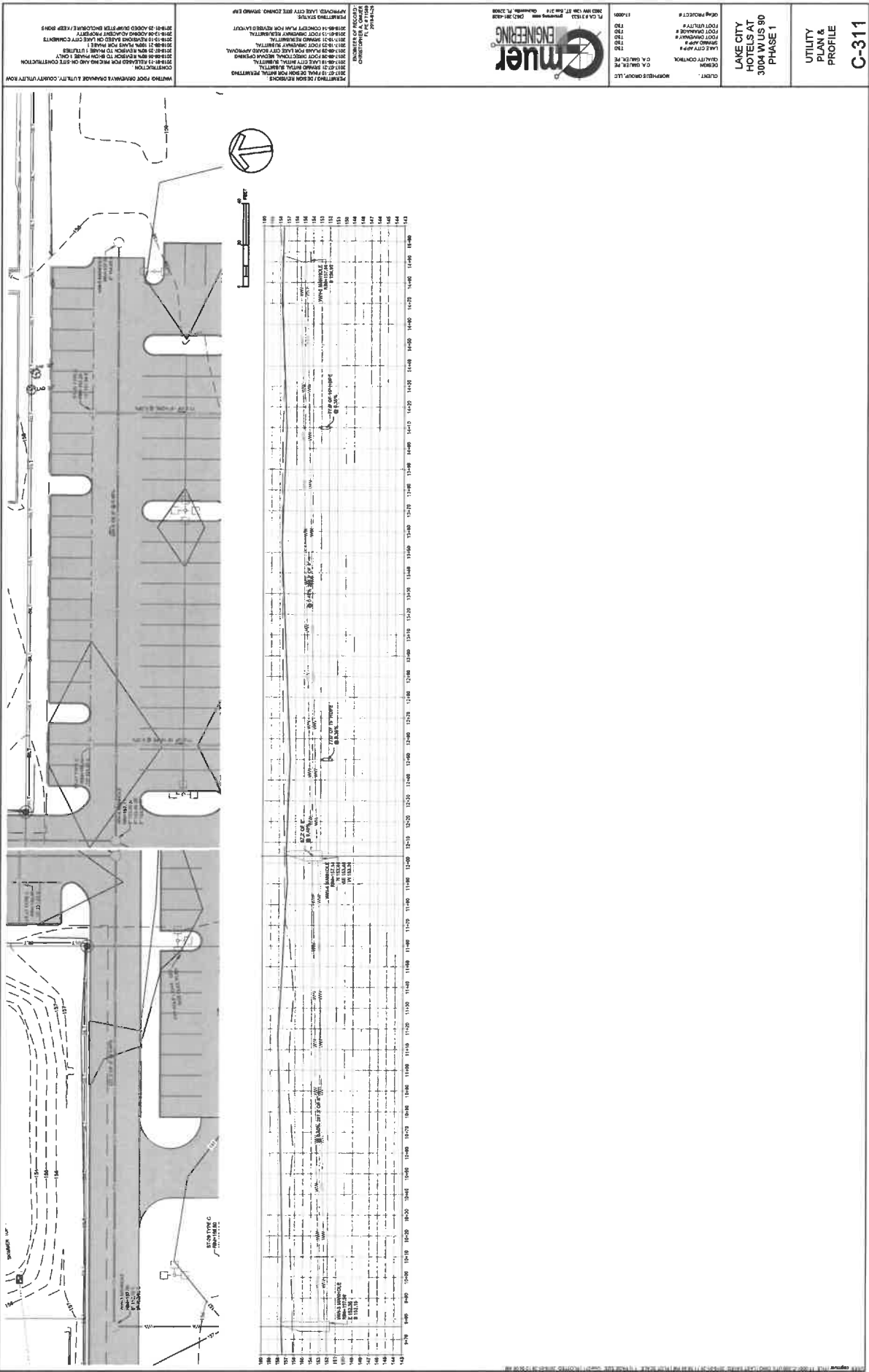
LAKE CITY
HOTELS AT
3004 W US 90
PHASE 1

CLIENT: WORTHEN GROUP, LLC
DESIGN: C.A. OHLER, P.E.
CHECK: C.A. OHLER, P.E.
DATE: 12/08/2011
PROJECT # 12-0001

ENGINEERING
C.A. OHLER, P.E.
2003 HWY 120 ST. 314
CHANDLER, AZ 85226

REVISIONS:
1. 12/08/2011: INITIAL DESIGN
2. 12/08/2011: REVISED LAYOUT
3. 12/08/2011: REVISED LAYOUT
4. 12/08/2011: REVISED LAYOUT
5. 12/08/2011: REVISED LAYOUT
6. 12/08/2011: REVISED LAYOUT
7. 12/08/2011: REVISED LAYOUT
8. 12/08/2011: REVISED LAYOUT
9. 12/08/2011: REVISED LAYOUT
10. 12/08/2011: REVISED LAYOUT

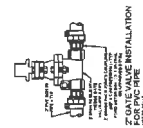
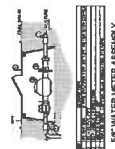
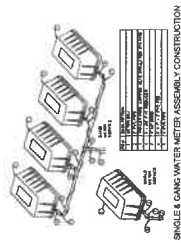
NOTES:
1. ALL UTILITIES SHOWN ARE BASED ON FIELD SURVEY AND EXISTING RECORDS.
2. ALL UTILITIES SHOWN ARE BASED ON FIELD SURVEY AND EXISTING RECORDS.
3. ALL UTILITIES SHOWN ARE BASED ON FIELD SURVEY AND EXISTING RECORDS.
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NOTES:
1. ALL ELEVATIONS ARE IN FEET AND DECIMALS THEREOF.
2. ALL DISTANCES ARE IN FEET AND DECIMALS THEREOF.
3. ALL DIMENSIONS ARE IN FEET AND DECIMALS THEREOF.
4. ALL ANGLES ARE IN DEGREES AND MINUTES.
5. ALL CURVES ARE TO BE LOCATED BY THE METHOD OF TANGENTS AND CHORDS.
6. ALL SLOPES ARE TO BE SHOWN BY A DASHED LINE WITH A TRIANGLE AT THE END.
7. ALL SLOPES ARE TO BE SHOWN BY A DASHED LINE WITH A TRIANGLE AT THE END.
8. ALL SLOPES ARE TO BE SHOWN BY A DASHED LINE WITH A TRIANGLE AT THE END.
9. ALL SLOPES ARE TO BE SHOWN BY A DASHED LINE WITH A TRIANGLE AT THE END.
10. ALL SLOPES ARE TO BE SHOWN BY A DASHED LINE WITH A TRIANGLE AT THE END.

WATER CONSTRUCTION STANDARDS

1. TRENCH PREPARATION
 - a. Trenches shall be excavated to the required depth and width, and the bottom shall be compacted to the required density.
 - b. Trenches shall be lined with a minimum of 12 inches of compacted material.
 - c. Trenches shall be backfilled with a minimum of 12 inches of compacted material.
2. PAVING CURB CUTTER AND WALKWAY WORK
 - a. Paving shall be done to the required depth and width, and the surface shall be compacted to the required density.
 - b. Paving shall be backfilled with a minimum of 12 inches of compacted material.
3. HANDLING AND CUTTING PIPE
 - a. Pipes shall be handled and cut to the required length, and the ends shall be beveled.
 - b. Pipes shall be stored in a secure and dry location.
4. PIPELINE CONSTRUCTION
 - a. Pipes shall be installed to the required depth and width, and the joints shall be sealed.
 - b. Pipes shall be supported by a minimum of 12 inches of compacted material.
 - c. Pipes shall be backfilled with a minimum of 12 inches of compacted material.
5. TESTING
 - a. Pipes shall be tested to the required pressure and for a minimum of 24 hours.
 - b. Pipes shall be inspected for leaks and damage.
6. FINAL ACCEPTANCE
 - a. Pipes shall be accepted by the owner and the contractor.
 - b. Pipes shall be maintained in good condition.



SUMMARY OF CONTRACTOR RESPONSIBILITIES

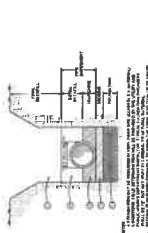
1. The contractor shall be responsible for the design, construction, and maintenance of the water system.
2. The contractor shall be responsible for the procurement of materials and labor.
3. The contractor shall be responsible for the installation and testing of the water system.
4. The contractor shall be responsible for the operation and maintenance of the water system.
5. The contractor shall be responsible for the safety of the water system.
6. The contractor shall be responsible for the environmental protection of the water system.
7. The contractor shall be responsible for the public relations of the water system.
8. The contractor shall be responsible for the financial management of the water system.
9. The contractor shall be responsible for the legal compliance of the water system.
10. The contractor shall be responsible for the overall management of the water system.

SCHEDULE OF MATERIALS

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Water Meter	1	Each	100.00
2	Valves	2	Each	50.00
3	Piping	10	Feet	10.00
4	Backfill	10	Cu Yd	5.00
5	Compaction	10	Linear Ft	1.00
6	Testing	1	Hour	100.00
7	Final Acceptance	1	Hour	100.00

BACKFILLING REQUIREMENTS

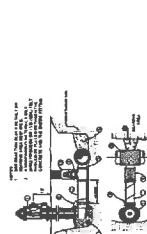
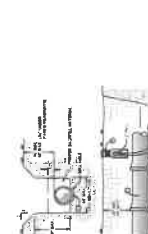
1. Backfilling shall be done to the required depth and width, and the surface shall be compacted to the required density.
2. Backfilling shall be backfilled with a minimum of 12 inches of compacted material.
3. Backfilling shall be tested to the required pressure and for a minimum of 24 hours.
4. Backfilling shall be inspected for leaks and damage.



WATER METER ASSEMBLY

WATER MAIN CONSTRUCTION

1. Water main construction shall be done to the required depth and width, and the surface shall be compacted to the required density.
2. Water main construction shall be backfilled with a minimum of 12 inches of compacted material.
3. Water main construction shall be tested to the required pressure and for a minimum of 24 hours.
4. Water main construction shall be inspected for leaks and damage.



WATER MAIN CONSTRUCTION

VALVE BOX INSTALLATION - VALVES 2" AND LARGER

VALVE BOX INSTALLATION - VALVES 2" AND LARGER



VALVE BOX INSTALLATION

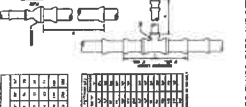
PRE-INSTANT PERPENDICULAR TO THE MAIN

PRE-INSTANT PERPENDICULAR TO THE MAIN



PRE-INSTANT PERPENDICULAR TO THE MAIN

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Water Meter	1	Each	100.00
2	Valves	2	Each	50.00
3	Piping	10	Feet	10.00
4	Backfill	10	Cu Yd	5.00
5	Compaction	10	Linear Ft	1.00
6	Testing	1	Hour	100.00
7	Final Acceptance	1	Hour	100.00



PRE-INSTANT PERPENDICULAR TO THE MAIN

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Water Meter	1	Each	100.00
2	Valves	2	Each	50.00
3	Piping	10	Feet	10.00
4	Backfill	10	Cu Yd	5.00
5	Compaction	10	Linear Ft	1.00
6	Testing	1	Hour	100.00
7	Final Acceptance	1	Hour	100.00



PRE-INSTANT PERPENDICULAR TO THE MAIN

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Water Meter	1	Each	100.00
2	Valves	2	Each	50.00
3	Piping	10	Feet	10.00
4	Backfill	10	Cu Yd	5.00
5	Compaction	10	Linear Ft	1.00
6	Testing	1	Hour	100.00
7	Final Acceptance	1	Hour	100.00



PRE-INSTANT PERPENDICULAR TO THE MAIN

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Water Meter	1	Each	100.00
2	Valves	2	Each	50.00
3	Piping	10	Feet	10.00
4	Backfill	10	Cu Yd	5.00
5	Compaction	10	Linear Ft	1.00
6	Testing	1	Hour	100.00
7	Final Acceptance	1	Hour	100.00



PRE-INSTANT PERPENDICULAR TO THE MAIN

ITEM	DESCRIPTION	QUANTITY	UNIT	PRICE
1	Water Meter	1	Each	100.00
2	Valves	2	Each	50.00
3	Piping	10	Feet	10.00
4	Backfill	10	Cu Yd	5.00
5	Compaction	10	Linear Ft	1.00
6	Testing	1	Hour	100.00
7	Final Acceptance	1	Hour	100.00



PRE-INSTANT PERPENDICULAR TO THE MAIN

Emuer
ENGINEERING

1100 W. 12th St. Suite 110
Orem, UT 84401
Phone: (435) 225-1234
Fax: (435) 225-1235
Email: info@emuereng.com

CLIENT
KORNER'S GROUP, LLC

DESIGN PROJECT #
11000

PROJECT NAME
LAKE CITY HOTELS AT 3004 W US 90 PHASE 1

DESIGNER
C.A. GARDNER, P.E.

DATE
11/15/2011

SCALE
AS SHOWN

QUALITY CONTROL
C.A. GARDNER, P.E.

REVISIONS
1. 11/15/2011: Initial Design

C-320

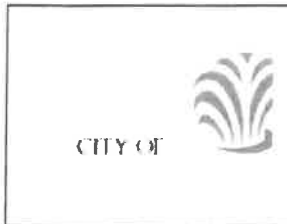
UTILITY DETAILS

LAKE CITY HOTELS AT 3004 W US 90 PHASE 1

WATER MAIN CONSTRUCTION

File Attachments for Item:

v. Site Plan Review - SPR-22-05 Lake City Medical Center Emergency and Dietary Expansion and
Site Plan Review - SPR-22-07 Lake City Medical Center Ancillary Building



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 22-05
Application Fee: \$200.00
Receipt No. _____
Filing Date _____
Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Lake City Medical Center - ED Expansion, Pharmacy and Dietary Renovation
2. Address of Subject Property: 340 NW Commerce Dr., Lake City, FL 32055
3. Parcel ID Number(s): 35-3S-16-02556-003
4. Future Land Use Map Designation: Commercial - Columbia County
5. Zoning Designation: CG (Commercial General Columbia County)
6. Acreage: +/-41.25 ac
7. Existing Use of Property: Medical
8. Proposed use of Property: Medical
9. Type of Development (Check All That Apply):
 - ☒ Increase of floor area to an existing structure: Total increase of square footage 11,130 SF
 - ☐ New construction: Total square footage _____
 - ☐ Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Jill Adams Title: _____
Company name (if applicable): Notami Hospitals of Florida, Inc. dba Lake City Medical Center
Mailing Address: 340 NW Commerce Dr., Lake City, FL 32055
City: Lake City State: FL Zip: 32055
Telephone: (386) 719-9000 Fax: () Email: Jill.Adams@HCAHealthcare.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.

Property Owner Name (title holder): _____
Mailing Address: _____
City: _____ State: _____ Zip: _____
Telephone: () _____ Fax: () _____ Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☒ Yes ☐ No
Future Land Use Map Amendment: ☐ Yes ☒ No
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes ☒ No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: ☐ Yes ☒ No
Variance Application No. _____
Special Exception: ☐ Yes ☒ No
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. **Stormwater Management Plan—Including the following:**
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. **Comprehensive Plan Consistency Analysis:** An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. **Legal Description with Tax Parcel Number (In Word Format).**
 8. **Proof of Ownership (i.e. deed).**
 9. **Agent Authorization Form (signed and notarized).**
 10. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector's Office).
 11. **Fee.** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

City of Lake City – Growth Management Department
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NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Jill Adams, Chief Executive Officer

Applicant/Agent Name (Type or Print)

J Adams
Applicant/Agent Signature

2/2/2022
Date

Applicant/Agent Name (Type or Print)

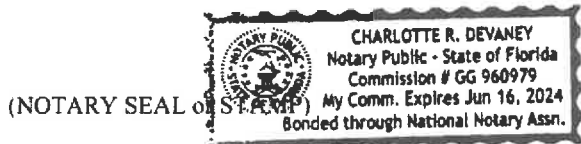
Applicant/Agent Signature

Date

STATE OF FLORIDA

COUNTY OF Columbia

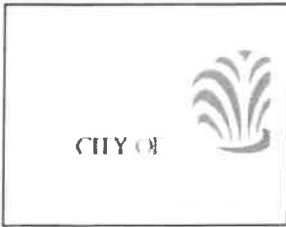
The foregoing instrument was acknowledged before me this 2 day of Feb, 2022, by (name of person acknowledging).



Charlotte R. DeVane
Signature of Notary
Charlotte R. DeVane
Printed Name of Notary

Personally Known ☒ OR Produced Identification ☐
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 22-07

Application Fee: \$200.00

Receipt No. _____

Filing Date _____

Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Lake City Medical Center - Ancillary Building
2. Address of Subject Property: 340 NW Commerce Dr., Lake City, FL 32055
3. Parcel ID Number(s): 35-3S-16-02556-003
4. Future Land Use Map Designation: Commercial - Columbia County
5. Zoning Designation: CG (Commercial General Columbia County)
6. Acreage: +/-41.25 ac
7. Existing Use of Property: Medical
8. Proposed use of Property: Medical
9. Type of Development (Check All That Apply):
 - ☐ Increase of floor area to an existing structure: Total increase of square footage _____
 - ☒ New construction: Total square footage 13,800 SF
 - ☐ Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Jill Adams Title: _____
Company name (if applicable): Notami Hospitals of Florida, Inc. dba Lake City Medical Center
Mailing Address: 340 NW Commerce Dr., Lake City, FL 32055
City: Lake City State: FL Zip: 32055
Telephone: (386) 719-9000 Fax: () Email: Jill.Adams@HCAHealthcare.com

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3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): _____
Mailing Address: _____
City: _____ State: _____ Zip: _____
Telephone: () Fax: () Email: _____

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 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
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- m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
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 - d. Proposed orderly disposal of surface water runoff.
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THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Jill Adams, Chief Executive Officer

Applicant/Agent Name (Type or Print)

J Adams

Applicant/Agent Signature

2/2/2022

Date

Applicant/Agent Name (Type or Print)

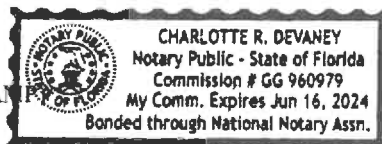
Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 2 day of Feb, 2022 by (name of person acknowledging).

(NOTARY SEAL or STATE OF FLORIDA)



Charlotte R. Devaney
Signature of Notary

Charlotte R. Devaney
Printed Name of Notary

Personally Known ☒ OR Produced Identification ☐
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

generated on 2/4/2022 11:10:28 AM EST

Last Update: 2/4/2022 11:10:16 AM EST

Ad Valorem Taxes and Non-Ad Valorem Assessments

[illegible]

fl-columbia-taxcollector.governmentmax.com/collectmax/tab_collect_mvptaxV5.65a.asp?PrintView=True&r_nm=tab_report&t_nm=collect_mvptax&sid=6D1...

Prior Year Taxes Due

NO DELINQUENT TAXES

Lake City Medical Center

340 NW Commerce Drive, Lake City, FL 32055

Columbia County Tax Parcel No. 35-3S-16-02556-003

Area: +/- 41.25 ac

Owner: Notami Hospitals of FL Inc

Legal description from Columbia County GIS:

COMM NW COR OF SW1/4 OF NW1/4, RUN E 1223.10 FT FOR POB, CONT E 715 FT, S 1570.49 FT, S 83 83 DG E 353.97 FT, S 7 DG W 197.96 FT, W 15 FT, S 7 DG W 244.15 FT, S 84 DG W 257.88 FT, S 80 DG W 719.17 FT, RUN N 310.89 FT TO S LINE OF A PROPOSED 60-FOOT RD, RUN SW ALONG R/W 239.30 FT TO A CURVE RUN SW'RLY ALONG CURVE 46.23 FT TO E R/W OF CO RD, NW 25 DG W ALONG R/W 113.36 FT TO A CURVE, RUN N'RLY ALONG CURVE 107.57 FT, N 05 DG E 1367.72 FT TO PT OF CURVE, RUN N'RLY ALONG CURVE 131.69 FT, E 203.43 FT, N 5 DG E 212.31 FT TO POB, EX 5.27 AC TO CO FOR PROPOSED RD AS DESC ORB 836-1372 & EX A PARCEL TO CITY OF LAKE CITY DESC ORB 877-2446 & EX 0.60 AC PER LETTER DATED 12/14/01. ORB 633-183, 679-644, 776-872, 836-468 THRU 508, & EAST 1/2 OF RD CLOSED AS DESC IN RESOL NO 98-R-29 IN ORB 865-2213

SAP:wt.
03/02/97
4250.03-96-487

0492
This Instrument Prepared by
DANIEL J. WILSON & PAUL
Attorneys at Law
827 North Main Street
Lake City, Florida 32809
OFFICE

97-03324

Documentary Stamp
Intangible Tax
P. DeWitt Cason
Clerk of Court
By D.C.

TRUSTEE'S DEED

THIS INDENTURE made this 5 day of March, 1997, between MILLER M. COOPER, as Trustee of Sentry Profit Sharing Trust, who does not reside on the property hereafter described, whose mailing address is 2727 Ulmerton Road, Suite 230, Clearwater, Florida 34622, (herein "Grantor") to NOTAMI HOSPITALS OF FLORIDA, INC., a Florida corporation, whose mailing address is One Park Plaza, Post Office Box 550, Nashville, Tennessee 37202-0550, (herein "Grantee").

W I T N E S S E T H:

That Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto Grantee, all of Grantor's right, title and interest in and to the following described property situate in Columbia County, Florida, viz:

TOWNSHIP 3 SOUTH, RANGE 16 EAST

Section 35: COMMENCE at the Northwest corner of the Southwest 1/4 of the Northwest 1/4 of said Section 35, Columbia County, Florida, and run N 87°20'18"E. along the North line of the South 1/2 of the Northwest 1/4 a distance of 1223.10 feet to the POINT OF BEGINNING; thence continue N 87°20'18" E. still along said North line 715.00 feet; thence S 02°14'18"W. 1570.49 feet; thence S 83°56'38"E. 353.97 feet to a point on the Westerly line of a 30 foot ingress/egress easement; thence S 07°26'25"W. along said Westerly line 197.96 feet to a point on the Northerly end of the Right-of-Way of a 60 foot County Road; thence N 83°55'31" W. along said Northerly end of the Right-of-Way of a 60 foot County Road 15.00 feet to a point on the Westerly Right-of-Way line of said 60 foot County Road; thence S 07°42'22"W. along said Westerly Right-of-Way line 244.15 feet; thence S 84°45'48"W. 257.88 feet; thence S.80°55'18"W. 575.38 feet; thence N 05°55'16"E. 663.14 feet; thence N 84°02'56"W. 322.54 feet to a point on a line formerly dividing lands of James Moore and L.B.Turner; thence S 05°48'54"W along said line 174.55 feet; thence N 84°11'06"W. 150.00 feet to a point on the Easterly Right-of-Way line of a 60 foot County Road; thence N 05°48'54"E. along said Easterly

EX 0836 PG 0493

OFFICIAL RECORDS

Right-of-Way line 1253.72 feet to the Point of Curve of a curve concave to the Southwest having a radius of 160.00 feet and a central angle of 47°09'31", said curve also having a Chord bearing and distance of N 17°45'53"W. 128.01 feet; thence Northerly along the arc of said curve, being also the Easterly Right-of-Way line of said 60 foot County Road 131.69 feet; thence N 87°20'18"E. 203.43 feet to a point on a line formerly dividing lands of James Moore and L.B. Turner; thence N 05°48'54"E. along said line 212.31 feet to the POINT OF BEGINNING.

TAX PARCEL NO: Parts of 35-3S- [REDACTED] and
35-3S- [REDACTED].

TOGETHER with all the tenements, hereditaments, and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same unto Grantee and to the proper use, benefit and behoove of Grantee, its successors and assigns, in fee simple forever. This deed is executed pursuant to and in the exercise of the power and authority vested in Grantor, as Trustee of Sentry Profit Sharing Trust, as evidenced by affidavit and excerpts from said Profit Sharing Trust Agreement attached hereto as Exhibit "A" and Grantor further warrants and represents to Grantee, that Grantor has full power and lawful authority to execute and deliver this deed; that Grantor is the owner of undivided one-half (1/2) interest in and to the above described property in fee simple; and Grantor will warrant and defend the title to said property against the claims of all persons whomsoever, provided, however, this deed is made subject to all restrictions and easements, if any, of record, and the lien and encumbrance of taxes accruing subsequent to December 31, 1996.

EX 0836 PG 0494

IN WITNESS WHEREOF, Grantor has executed and delivered this instrument the day and year first above written.

Signed, sealed and delivered
in the presence of:

Lynn H. Edwards
Lynn H. Edwards
(Print or Type Name)

MILLER M. COOPER
MILLER M. COOPER, as Trustee
of Sentry Profit Sharing Plan

Theresa M. Johnson
Theresa M. Johnson
(Print or Type Name)

STATE OF FLORIDA

COUNTY OF Hillsborough

The foregoing instrument was acknowledged before me this
5 day of March, 1997, by MILLER M. COOPER, as Trustee of
Sentry Profit Sharing Trust, who is personally known to me, or who
has produced _____ as
identification.

(NOTARIAL
SEAL)

Theresa Marie L. Johnson
Notary Public, State of Florida
Theresa Marie L. Johnson
(Print or Type Name)
My commission expires:



THERESA MARIE L. JOHNSON
My Commission CC543871
Expires Mar 28 2000

AFFIDAVIT AS TO EXISTENCE OF TRUST

STATE OF FLORIDA

COUNTY OF PINELLAS

EX 836 PG0495

OFFICIAL RECORDS

BEFORE ME, the undersigned authority, personally appeared MILLER M. COOPER ("Affiant"), who is personally known to me, and who, after being duly sworn, deposes and says:


1. Affiant is the sole trustee under and pursuant to Profit Sharing Plan and Trust Agreement dated December 29, 1980, having an effective date of January 1, 1980, established by Sentry Engineering & Construction, Inc., a Georgia Corporation, and known as Sentry Profit Sharing Plan (herein "the Plan").

2. The Trust created pursuant to the terms of the Plan is an active, ongoing trust which has continuously been active since the date of its inception for the benefit of the participants (as defined in the Plan), and Affiant has been actively engaged as Trustee under and pursuant to the terms of the Plan since its inception.

3. Attached hereto as Exhibit "A" are excerpts from Article IX of the Plan showing the power and authority of Affiant as Trustee to act for and on behalf of the Plan and the Trust created thereby for the purpose of buying, selling, exchanging, and managing property owned or held by the Trust. Affiant affirms that the attached Exhibit "A" is a true, correct and accurate copy of those excerpts from Article IX of the Plan showing the authority of Affiant as Trustee, and such remains unrevoked, unamended, and not modified.

4. The Plan and the Trust created thereby have never been amended, modified, or revoked, and the same remain in full force and effect as of the date of this affidavit.

FURTHER AFFIANT SAYETH NAUGHT.


MILLER M. COOPER

SWORN TO AND SUBSCRIBED before me this 5 day of March, 1997, by MILLER M. COOPER, who is personally known to me.

(NOTARIAL
SEAL)



THERESA MARIE JOHNSON
My Commission C0541821
Expires Mar 28 2001



Notary Public, State of Florida
Theresa M. Johnson
(Print or Type Name)
My Commission Expires:

EXHIBIT "A"

ARTICLE IX
MANAGEMENT OF TRUST FUND

The Trustee and his successors shall have the power to do all things and execute such instruments as may be deemed necessary or proper, including the following powers, all of which may be exercised without order of or report to any court and without bond:

[1] To sell, exchange or otherwise dispose of any property at any time held or acquired under this Trust, at public or private sale, for cash or on terms, without advertisement, including the right to lease for any term notwithstanding the period of the Trust;

[2] To vote in person or by proxy any corporate stock or other security and to agree to or take any other action in regard to any reorganization, merger, consolidation, liquidation, bankruptcy or other procedure or proceeding affecting any stock, bond, note or other property;

[3] To compromise, settle and/or adjust any claim or demand by or against the Trust and to agree to any rescission or modification of any contract or agreement affecting such Trust;

[4] To borrow money and to secure the same by mortgaging, pledging and/or conveying any property of the Trust, including the acquisition of stocks and other securities on margin; and to lend money on good security;

[5] To register any stock, bond or other security in the name of a nominee, without the addition of words indicating that such security is held in a fiduciary capacity, but accurate records shall be maintained showing that such security is a Trust asset and the Trustee shall be responsible for the acts of such nominee;

[6] To hold cash in such amounts as may be in his opinion reasonable for the proper operation of this Trust;

[7] To invest all monies in such stocks, bonds, securities, investment company or trust shares, puts and calls, options, mutual funds, mortgages, notes, choses in action, real estate, improvements thereon, and other property including any common trust fund maintained by any Trustee;

[8] To invest and reinvest a portion of a Participant's account in whole life, term or income endowment-type life insurance policy contracts

issued by a legal reserve life insurance company on his life. The Trustee shall be the owner of such ordinary life insurance contracts, and as such shall have, exercise and enjoy all of the rights, powers, options, privileges and benefits usually referred to as "incidents of ownership" and normally vested in the insured or owner of such contracts, provided that any death benefits received by the Trustee under such contracts shall be paid to the Beneficiary designated by the Participant, it being further agreed that the issuing insurance company shall not be deemed to be a party to this Trust or to the Plan. Any dividend payable under any insurance contract issued hereunder shall be used to increase the value of the contract or paid under such other available option as the Trustee may elect. If a Participant is insurable only at substandard rates, a life insurance contract may provide (i) for an appropriately lesser death benefit or (ii) for the full death benefit, in the Trustee's discretion. If a Participant is uninsurable, application may be made for an annuity contract.

The amount invested or reinvested on such insurance contracts shall not exceed the following stated percentages of Employer and Employee contributions allocated to a Member's account at any particular time.

<u>Type of Contract</u>	<u>Employer's Contribution (plus forfeitures)</u>	<u>Employee's Contribution</u>
[a] Whole life or limited pay life	49.9%	100%
[b] Term life	25.0%	100%
[c] Income endowment [involving life insurance]	100.0%	100%

NOTE: If both contract types [a] and [b] are purchased on one life, the sum of type [a] premium, plus twice the type [b] premium must satisfy the 49.9% limit.

The Trustee may establish a smaller maximum life insurance investment or a maximum life insurance face amount, both subject to the above-described percentage limitations, provided the formulas established by the Trustee are applied uniformly to all Participants.

The foregoing limits do not preclude the use on any contract of the disability waiver of premium benefit. No life insurance contract purchased by the Trustee for a Participant shall be allowed to continue after a Participant's retirement.

[9] To make such investments as the Trustee in his discretion shall deem best without regard to any law now or hereafter in force limiting the investment of trustees of other fiduciaries.

[10] In addition to the powers herein stated, the Trustee shall have all of the rights granted to fiduciaries under Sec. 4 of the Act numbered 433 published in 1973 Georgia laws, pages 846-856, which statute is hereby incorporated by reference and made a part hereof.

BK 0896 PG 0498
OFFICIAL RECORDS



**21 1000B Hydraulic Calculations First Floor Ancillary Building
AMENDMENT NO. 1-1- 01/28/2022**



HYDRAULIC CALCULATIONS

FOR

Lake City MC ED & Ancillary
Addition & Renovation

FILE NUMBER: 210404
DATE: JAN 26, 2022

-DESIGN DATA-

OCCUPANCY CLASSIFICATION:	Light Hazard
DENSITY:	0.1 gpm/sq. ft.
AREA OF APPLICATION:	1500 sq. ft.
COVERAGE PER SPRINKLER:	185 sq. ft.
NUMBER OF SPRINKLERS CALCULATED:	12 sprinklers
TOTAL SPRINKLER WATER FLOW REQUIRED:	262 gpm
TOTAL WATER REQUIRED (including hose):	362 gpm
FLOW AND PRESSURE (@ BOR):	262 gpm @ 58.2 psi
SPRINKLER ORIFICE SIZE:	1/2 inch
DESIGN/LAYOUT BY:	IC Thomasson
AUTHORITY HAVING JURISDICTION:	AHCA

CALCULATIONS BY HASS COMPUTER PROGRAM (LICENSE # 64836407)

HRS SYSTEMS, INC.

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 3

DATE: 1/26/2022O\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF
JOB TITLE: First Floor

WATER SUPPLY DATA

SOURCE NODE TAG	STATIC PRESS. (PSI)	RESID. PRESS. (PSI)	FLOW @ (GPM)	AVAIL. PRESS. (PSI)	TOTAL @ DEMAND (GPM)	REQ'D PRESS. (PSI)
SRC	84.0	73.0	1055.0	82.5	362.0	58.2

AGGREGATE FLOW ANALYSIS:

TOTAL FLOW AT SOURCE	362.0 GPM
TOTAL HOSE STREAM ALLOWANCE AT SOURCE	100.0 GPM
OTHER HOSE STREAM ALLOWANCES	0.0 GPM
TOTAL DISCHARGE FROM ACTIVE SPRINKLERS	262.0 GPM

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
A	13.0	K= 5.60	13.5	20.6
B	9.0	K= 5.60	16.1	22.5
C	13.0	K= 5.60	16.5	22.8
D	13.0	K= 5.60	20.2	25.2
E	13.0	K= 5.60	11.0	18.5
F	13.0	K= 5.60	10.9	18.5
G	9.0	K= 5.60	13.7	20.7
H	13.0	K= 5.60	13.9	20.9
I	13.0	K= 5.60	16.2	22.5
J	13.0	K= 5.60	16.0	22.4
K	9.0	K= 5.60	18.3	23.9
L	9.0	K= 5.60	17.5	23.4
1	13.0	- - - -	15.7	- - -
2	13.0	- - - -	34.1	- - -
3	13.0	- - - -	11.6	- - -
4	13.0	- - - -	13.4	- - -
5	13.0	- - - -	14.9	- - -
6	13.0	- - - -	17.3	- - -
7	13.0	- - - -	34.2	- - -
8	13.0	- - - -	18.1	- - -
9	13.0	- - - -	20.2	- - -
10	13.0	- - - -	34.4	- - -
11	13.0	- - - -	37.1	- - -
12	2.0	- - - -	45.0	- - -
13	-3.0	- - - -	47.4	- - -
14	-3.0	- - - -	50.6	- - -
15	2.5	- - - -	48.5	- - -

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 4

DATE: 1/26/2022O\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF

JOB TITLE: First Floor

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
16	2.5	- - - -	53.5	- - -
17	-3.0	- - - -	56.1	- - -
18	-3.0	- - - -	58.0	- - -
SRC	-3.0	SOURCE	58.2	262.0

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 5

DATE: 1/26/2020\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF
JOB TITLE: First Floor

PIPE DATA

PIPE TAG	END NODES	ELEV. (FT)	NOZ. (K)	PT (PSI)	DISC. (GPM)	Q (GPM) VEL (FPS)	DIA (IN) HW (C) FL/FT	LENGTH (FT)	PRESS. SUM. (PSI)	
Pipe: 1										
A		13.0	5.6	13.5	20.6	-20.6 7.6	1.049 PL 120 FTG	13.58 L	PF PE	2.1 0.0
1		13.0	0.0	15.7	0.0		0.137 TL	15.58	PV	
Pipe: 2										
B		9.0	5.6	16.1	22.5	-22.5 8.3	1.049 PL 120 FTG	2.75 T	PF PE	1.3 -1.7
1		13.0	0.0	15.7	0.0		0.162 TL	7.75	PV	
Pipe: 3										
1		13.0	0.0	15.7	0.0	-43.1 9.2	1.380 PL 120 FTG	6.17 ----	PF PE	0.9 0.0
C		13.0	5.6	16.5	22.8		0.141 TL	6.17	PV	
Pipe: 4										
C		13.0	5.6	16.5	22.8	-65.8 14.1	1.380 PL 120 FTG	12.00 ----	PF PE	3.7 0.0
D		13.0	5.6	20.2	25.2		0.310 TL	12.00	PV	
Pipe: 5										
D		13.0	5.6	20.2	25.2	-91.0 14.3	1.610 PL 120 FTG	44.08 T	PF PE	13.9 0.0
2		13.0	0.0	34.1	0.0		0.267 TL	52.08	PV	
Pipe: 6										
2		13.0	0.0	34.1	0.0	-91.0 2.3	4.026 PL 120 FTG	14.00 ----	PF PE	0.0 0.0
7		13.0	0.0	34.2	0.0		0.003 TL	14.00	PV	
Pipe: 7										
E		13.0	5.6	11.0	18.5	-18.5 6.9	1.049 PL 120 FTG	5.17 ----	PF PE	0.6 0.0
3		13.0	0.0	11.6	0.0		0.113 TL	5.17	PV	
Pipe: 8										
F		13.0	5.6	10.9	18.5	-18.5 6.9	1.049 PL 120 FTG	5.67 ----	PF PE	0.6 0.0
3		13.0	0.0	11.6	0.0		0.113 TL	5.67	PV	
Pipe: 9										
3		13.0	0.0	11.6	0.0	-37.0 7.9	1.380 PL 120 FTG	10.83 T	PF PE	1.8 0.0
4		13.0	0.0	13.4	0.0		0.107 TL	16.83	PV	
Pipe: 10										
G		9.0	5.6	13.7	20.7	-20.7 7.7	1.049 PL 120 FTG	5.17 T	PF PE	1.4 -1.7
4		13.0	0.0	13.4	0.0		0.139 TL	10.17	PV	
Pipe: 11										
4		13.0	0.0	13.4	0.0	-57.8 12.4	1.380 PL 120 FTG	6.17 ----	PF PE	1.5 0.0
5		13.0	0.0	14.9	0.0		0.243 TL	6.17	PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 6

DATE: 1/26/2022O\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF
JOB TITLE: First Floor

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.	
	NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	(FT)	SUM.	
							FL/FT		(PSI)	
Pipe: 12										
H		13.0	5.6	13.9	20.9	7.8	1.049 PL	1.75	PF	1.0
5		13.0	0.0	14.9	0.0		120 FTG	T	PE	0.0
							0.141 TL	6.75	PV	
Pipe: 13										
5		13.0	0.0	14.9	0.0	12.4	1.610 PL	12.00	PF	2.4
6		13.0	0.0	17.3	0.0		120 FTG	----	PE	0.0
							0.203 TL	12.00	PV	
Pipe: 14										
I		13.0	5.6	16.2	22.5	8.4	1.049 PL	1.75	PF	1.1
6		13.0	0.0	17.3	0.0		120 FTG	T	PE	0.0
							0.162 TL	6.75	PV	
Pipe: 15										
6		13.0	0.0	17.3	0.0	15.9	1.610 PL	44.08	PF	16.9
7		13.0	0.0	34.2	0.0		120 FTG	T	PE	0.0
							0.324 TL	52.08	PV	
Pipe: 16										
7		13.0	0.0	34.2	0.0	4.8	4.026 PL	16.75	PF	0.2
10		13.0	0.0	34.4	0.0		120 FTG	----	PE	0.0
							0.012 TL	16.75	PV	
Pipe: 17										
J		13.0	5.6	16.0	22.4	8.3	1.049 PL	10.83	PF	2.1
8		13.0	0.0	18.1	0.0		120 FTG	L	PE	0.0
							0.161 TL	12.83	PV	
Pipe: 18										
K		9.0	5.6	18.3	23.9	8.9	1.049 PL	3.50	PF	1.5
8		13.0	0.0	18.1	0.0		120 FTG	T	PE	-1.7
							0.181 TL	8.50	PV	
Pipe: 19										
L		9.0	5.6	17.5	23.4	8.7	1.049 PL	8.50	PF	2.3
8		13.0	0.0	18.1	0.0		120 FTG	T	PE	-1.7
							0.174 TL	13.50	PV	
Pipe: 20										
8		13.0	0.0	18.1	0.0	15.0	1.380 PL	6.08	PF	2.1
9		13.0	0.0	20.2	0.0		120 FTG	----	PE	0.0
							0.345 TL	6.08	PV	
Pipe: 21										
9		13.0	0.0	20.2	0.0	11.0	1.610 PL	71.17	PF	14.2
10		13.0	0.0	34.4	0.0		120 FTG	T4L	PE	0.0
							0.163 TL	87.17	PV	
Pipe: 22										
10		13.0	0.0	34.4	0.0	6.6	4.026 PL	114.00	PF	2.7
11		13.0	0.0	37.1	0.0		120 FTG	2L	PE	0.0
							0.022 TL	126.00	PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 7

DATE: 1/26/2022O\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF
 JOB TITLE: First Floor

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	VEL (FPS)	DIA (IN)	HW (C)	LENGTH	PRESS.	SUM.
	NODES	(FT)	(K)	(PSI)	(GPM)			FL/FT		(FT)	(PSI)	(PSI)
Pipe: 23						-262.0		4.026 PL		119.50	PF	3.2
11		13.0	0.0	37.1	0.0	6.6		120 FTG		LA	PE	4.8
12		2.0	0.0	45.0	0.0			0.022 TL		145.50	PV	
Pipe: 24						-262.0		4.026 PL		5.00	PF	0.2
12		2.0	0.0	45.0	0.0	6.6		120 FTG		L	PE	2.2
13		-3.0	0.0	47.4	0.0			0.022 TL		11.00	PV	
Pipe: 25						-262.0		4.026 PL		119.50	PF	3.2
13		-3.0	0.0	47.4	0.0	6.6		120 FTG		E3L	PE	0.0
14		-3.0	0.0	50.6	0.0			0.022 TL		147.50	PV	
Pipe: 26						-262.0		4.026 PL		5.50	PF	0.2
14		-3.0	0.0	50.6	0.0	6.6		120 FTG		L	PE	-2.4
15		2.5	0.0	48.5	0.0			0.022 TL		11.50	PV	
Pipe: 27												
16		2.5	0.0	53.5	0.0							
15		2.5	0.0	48.5	0.0							
Pipe: 28						-262.0		4.026 PL		5.50	PF	0.2
16		2.5	0.0	53.5	0.0	6.6		150 FTG		L	PE	2.4
17		-3.0	0.0	56.1	0.0			0.014 TL		14.57	PV	
Pipe: 29						-262.0		4.026 PL		57.00	PF	1.9
17		-3.0	0.0	56.1	0.0	6.6		120 FTG		ETG	PE	0.0
18		-3.0	0.0	58.0	0.0			0.022 TL		89.00	PV	
Pipe: 30						-262.0		7.981 PL		220.00	PF	0.1
18		-3.0	0.0	58.0	0.0	1.7		150 FTG		----	PE	0.0
SRC		-3.0	SRCE	58.2	(N/A)			0.001 TL		220.00	PV	

NOTES (HASS):

- Calculations were performed by the HASS 2021 D computer program in accordance with NFPA13 (2020) under license no. 64836407 granted by
 HRS Systems, Inc.
 208 Southside Square
 Petersburg, TN 37144
 (931) 659-9760
- The system has been calculated to provide an average imbalance at each node of 0.002 gpm and a maximum imbalance at any node of 0.070 gpm.

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 8

DATE: 1/26/2022O\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF
JOB TITLE: First Floor

(3) Total pressure at each node is used in balancing the system.
Maximum water velocity is 15.9 ft/sec at pipe 15.

(4) Items listed in bold print on the cover sheet

are automatically transferred from the calculation report.

(5) Available pressure at source node SRC under full flow conditions is
81.95 psi with a flow of 425.27 gpm.

(6) PIPE FITTINGS TABLE

HASS Pipe Table Name: standard

PAGE: A		MATERIAL: S40		HWC: 120						
Diameter		Equivalent Fitting Lengths in Feet								
(in)		E	T	L	C	B	G	A	D	N
		Ell	Tee	LngEll	ChkVlv	BfyVlv	GatVlv	AlmChk	DPVlv	NTEE

	F									
	F45Ell									
1.049	2.00	5.00	2.00	5.00	6.00	1.00	10.00	2.00	5.00	
	1.00									
1.380	3.00	6.00	2.00	7.00	6.00	1.00	10.00	10.00	6.00	
	1.50									
1.610	4.00	8.00	2.00	9.00	6.00	1.00	10.00	10.00	8.00	
	2.00									
4.026	10.00	20.00	6.00	22.00	12.00	2.00	20.00	20.00	20.00	
	5.00									
7.981	18.00	35.00	13.00	45.00	12.00	4.00	31.00	31.00	35.00	
	9.00									

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

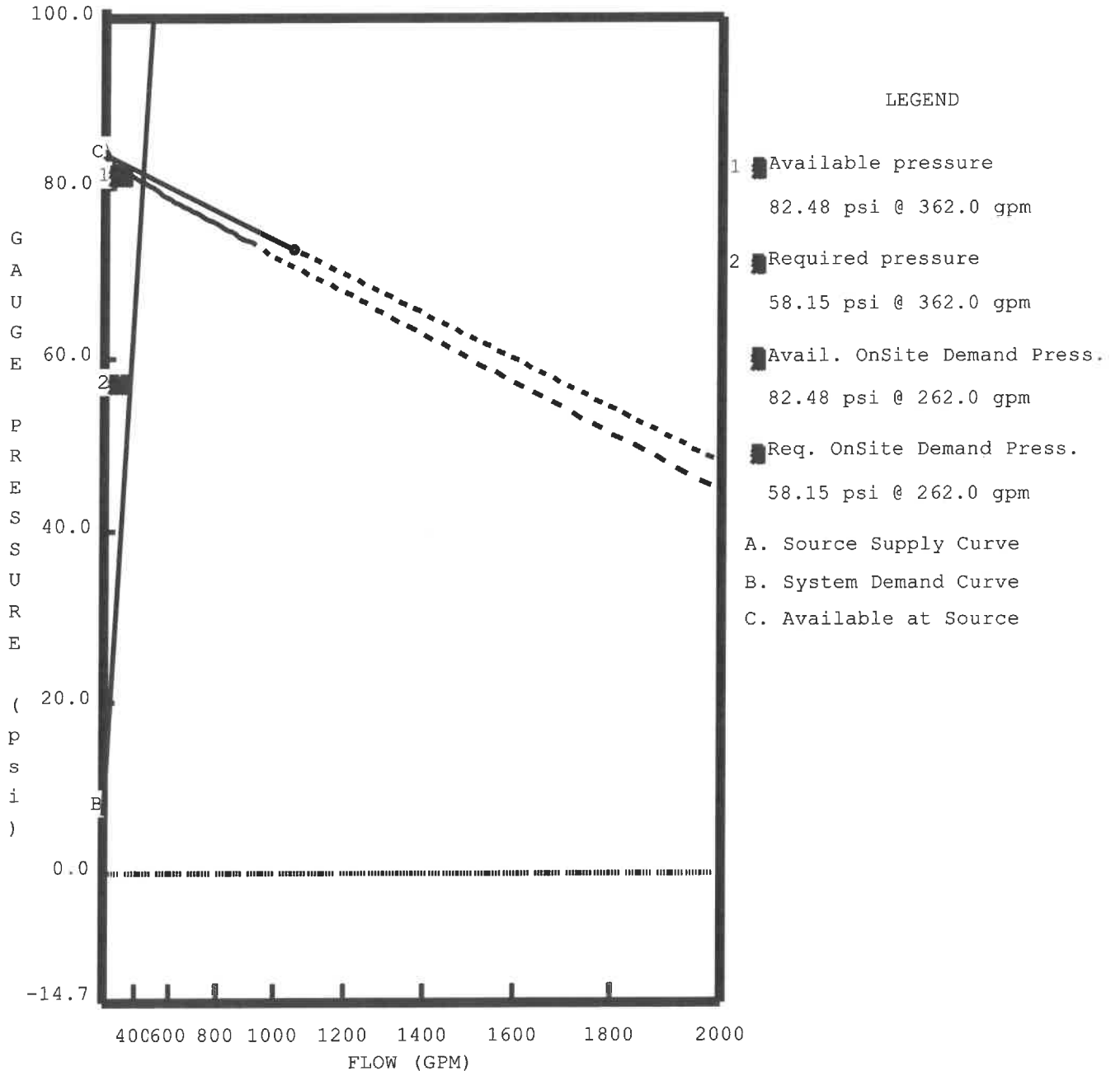
Page 9

DATE: 1/26/2022\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF

JOB TITLE: First Floor

WATER SUPPLY ANALYSIS

Static: 84.00 psi Resid: 73.00 psi Flow: 1055.0 gpm



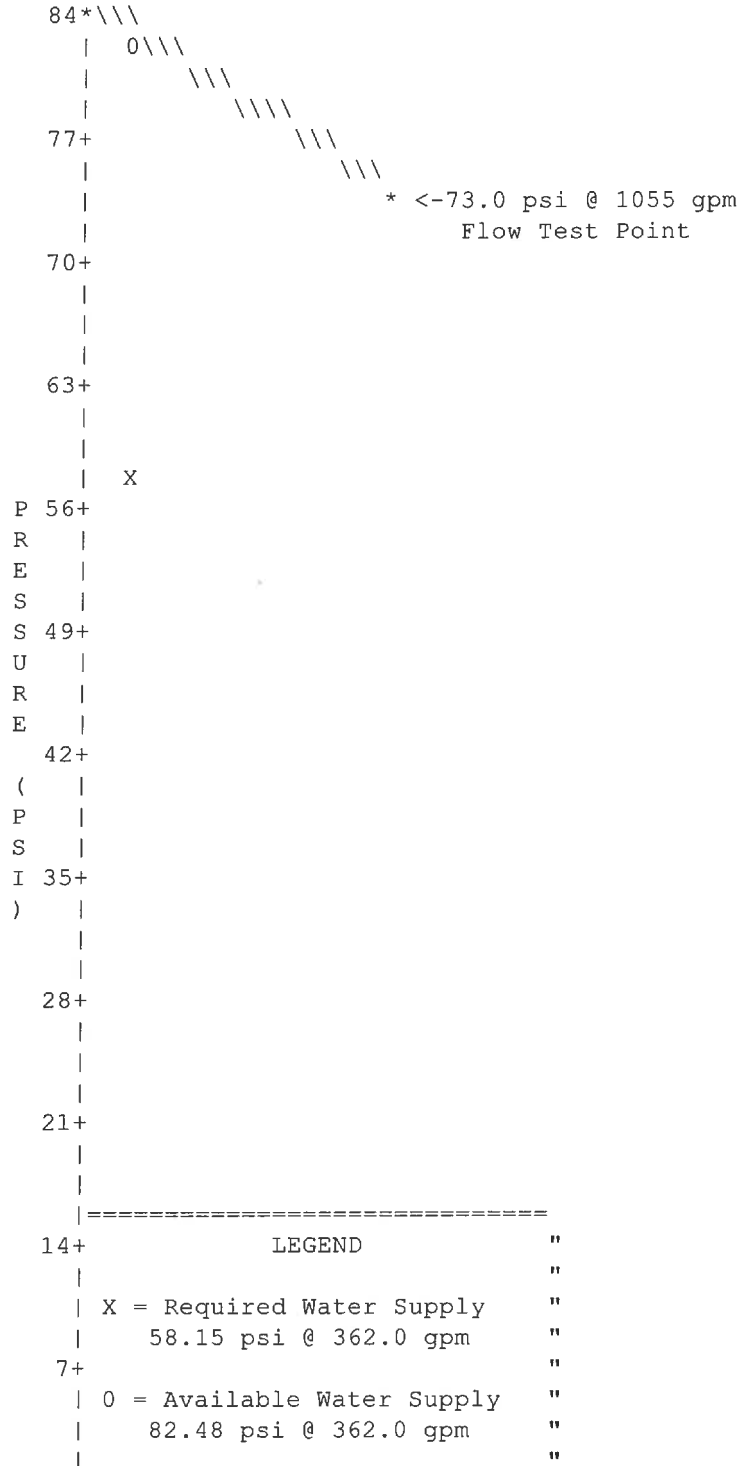
Note: (1) Dashed Lines indicate extrapolated values from Test Results

(2) On Site pressures are based on hose stream deduction at the source

DATE: 1/26/20220\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF

JOB TITLE: First Floor

WATER SUPPLY CURVE



SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 11

DATE: 1/26/2022O\ADMIN\FIRE PROTECTION\FIRST FLOOR ANCILLARY BUILDING.SDF

JOB TITLE: First Floor

0+--+---+---+---+---+---+---+---+---+---+
400 600 800 1000 1200 1400 1600 1800 2000
FLOW (GPM)

**21 1000C Hydraulic Calculations Loading Dock
AMENDMENT NO. 1-1- 01/28/2022**



HYDRAULIC CALCULATIONS

FOR

Lake City MC ED & Ancillary
Addition & Renovation

Loading Dock

FILE NUMBER: 210404>

DATE: JAN 26, 2022

-DESIGN DATA-

OCCUPANCY CLASSIFICATION:	Ordinary hazard Group 2
DENSITY:	0.17 gpm/sq. ft.
AREA OF APPLICATION:	1700 sq. ft. (Entire Area)
COVERAGE PER SPRINKLER:	66 sq. ft.
NUMBER OF SPRINKLERS CALCULATED:	23 sprinklers
TOTAL SPRINKLER WATER FLOW REQUIRED:	363.8 gpm
TOTAL WATER REQUIRED (including hose):	613.8 gpm
FLOW AND PRESSURE (@ BOR):	363.8 gpm @ 41.1 psi
SPRINKLER ORIFICE SIZE:	1/2 inch
DESIGN/LAYOUT BY:	IC Thomasson
AUTHORITY HAVING JURISDICTION:	AHCA

CALCULATIONS BY HASS COMPUTER PROGRAM (LICENSE # 64836407)
HRS SYSTEMS, INC.

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 3

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF

JOB TITLE: Loading Dock

WATER SUPPLY DATA

SOURCE NODE TAG	STATIC PRESS. (PSI)	RESID. PRESS. (PSI)	FLOW @ (GPM)	AVAIL. PRESS. (PSI)	TOTAL @ DEMAND (GPM)	REQ'D PRESS. (PSI)
SRC	84.0	73.0	1055.0	80.0	613.8	41.1

AGGREGATE FLOW ANALYSIS:

TOTAL FLOW AT SOURCE	613.8 GPM
TOTAL HOSE STREAM ALLOWANCE AT SOURCE	250.0 GPM
OTHER HOSE STREAM ALLOWANCES	0.0 GPM
TOTAL DISCHARGE FROM ACTIVE SPRINKLERS	363.8 GPM

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
A	9.0	K= 5.60	8.1	16.0
B	9.0	K= 5.60	8.1	16.0
C	9.0	K= 5.60	8.2	16.0
D	9.0	K= 5.60	8.2	16.0
E	9.0	K= 5.60	8.0	15.9
F	9.0	K= 5.60	8.0	15.8
G	9.0	K= 5.60	8.0	15.8
H	9.0	K= 5.60	7.0	14.8
I	9.0	K= 5.60	7.0	14.8
J	9.0	K= 5.60	7.1	14.9
K	9.0	K= 5.60	7.2	15.0
L	9.0	K= 5.60	7.2	15.0
M	9.0	K= 5.60	7.1	14.9
N	9.0	K= 5.60	7.0	14.8
O	9.0	K= 5.60	7.0	14.8
P	9.0	K= 5.60	8.8	16.6
Q	9.0	K= 5.60	8.8	16.6
R	9.0	K= 5.60	8.9	16.7
S	9.0	K= 5.60	9.0	16.8
T	9.0	K= 5.60	9.0	16.8
U	9.0	K= 5.60	8.9	16.7
V	9.0	K= 5.60	8.8	16.6
W	9.0	K= 5.60	8.8	16.6
L1	13.0	- - - -	7.6	- - -
L2	9.0	- - - -	8.5	- - -
L3	13.0	- - - -	7.6	- - -
L4	9.0	- - - -	8.5	- - -

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 4

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
JOB TITLE: Loading Dock

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
L5	13.0	- - - -	7.6	- - -
L6	9.0	- - - -	8.6	- - -
L7	13.0	- - - -	7.6	- - -
L8	9.0	- - - -	8.5	- - -
L9	13.0	- - - -	7.4	- - -
L10	9.0	- - - -	8.4	- - -
L11	13.0	- - - -	7.4	- - -
L12	9.0	- - - -	8.4	- - -
L13	13.0	- - - -	7.4	- - -
L14	9.0	- - - -	8.3	- - -
L15	13.0	- - - -	6.3	- - -
L16	9.0	- - - -	7.3	- - -
L17	13.0	- - - -	6.3	- - -
L18	9.0	- - - -	7.4	- - -
L19	13.0	- - - -	6.4	- - -
L20	9.0	- - - -	7.4	- - -
L21	13.0	- - - -	6.5	- - -
L22	9.0	- - - -	7.5	- - -
L23	13.0	- - - -	6.5	- - -
L24	9.0	- - - -	7.5	- - -
L25	13.0	- - - -	6.4	- - -
L26	9.0	- - - -	7.4	- - -
L27	13.0	- - - -	6.3	- - -
L28	9.0	- - - -	7.4	- - -
L29	13.0	- - - -	6.3	- - -
L30	9.0	- - - -	7.3	- - -
L31	13.0	- - - -	8.3	- - -
L32	9.0	- - - -	9.2	- - -
L33	13.0	- - - -	8.3	- - -
L34	9.0	- - - -	9.2	- - -
L35	13.0	- - - -	8.4	- - -
L36	9.0	- - - -	9.3	- - -
L37	13.0	- - - -	8.5	- - -
L38	9.0	- - - -	9.4	- - -
L39	13.0	- - - -	8.5	- - -
L40	9.0	- - - -	9.4	- - -
L41	13.0	- - - -	8.4	- - -
L42	9.0	- - - -	9.3	- - -
L43	13.0	- - - -	8.3	- - -
L44	9.0	- - - -	9.2	- - -
L45	13.0	- - - -	8.3	- - -
L46	9.0	- - - -	9.2	- - -
L47	13.0	- - - -	11.8	- - -
L48	13.0	- - - -	14.1	- - -
L49	13.0	- - - -	7.7	- - -
L50	13.0	- - - -	6.6	- - -

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 5

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
 JOB TITLE: Loading Dock

NODE ANALYSIS DATA

NODE TAG	ELEVATION (FT)	NODE TYPE	PRESSURE (PSI)	DISCHARGE (GPM)
L51	13.0	- - - -	13.1	- - -
L52	13.0	- - - -	8.7	- - -
12	13.0	- - - -	17.8	- - -
13	-3.0	- - - -	25.6	- - -
14	-3.0	- - - -	31.5	- - -
15	2.5	- - - -	29.5	- - -
16	2.5	- - - -	34.5	- - -
17	-3.0	- - - -	37.3	- - -
18	-3.0	- - - -	40.9	- - -
SRC	-3.0	SOURCE	41.1	363.8

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 6

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
JOB TITLE: Loading Dock

PIPE DATA

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM.
									(PSI)
Pipe: 1									
A		9.0	5.6	8.1	16.0	-16.0	1.049 PL	2.50	PF 0.4
L2		9.0	0.0	8.5	0.0	5.9	120 FTG	L	PE 0.0
							0.086 TL	4.50	PV
Pipe: 2									
B		9.0	5.6	8.1	16.0	-16.0	1.049 PL	2.50	PF 0.4
L4		9.0	0.0	8.5	0.0	5.9	120 FTG	L	PE 0.0
							0.086 TL	4.50	PV
Pipe: 3									
C		9.0	5.6	8.2	16.0	-16.0	1.049 PL	2.50	PF 0.4
L6		9.0	0.0	8.6	0.0	6.0	120 FTG	L	PE 0.0
							0.086 TL	4.50	PV
Pipe: 4									
D		9.0	5.6	8.2	16.0	-16.0	1.049 PL	2.50	PF 0.4
L8		9.0	0.0	8.5	0.0	5.9	120 FTG	L	PE 0.0
							0.086 TL	4.50	PV
Pipe: 5									
E		9.0	5.6	8.0	15.9	-15.9	1.049 PL	2.50	PF 0.4
L10		9.0	0.0	8.4	0.0	5.9	120 FTG	L	PE 0.0
							0.085 TL	4.50	PV
Pipe: 6									
F		9.0	5.6	8.0	15.8	-15.8	1.049 PL	2.50	PF 0.4
L12		9.0	0.0	8.4	0.0	5.9	120 FTG	L	PE 0.0
							0.084 TL	4.50	PV
Pipe: 7									
G		9.0	5.6	8.0	15.8	-15.8	1.049 PL	2.50	PF 0.4
L14		9.0	0.0	8.3	0.0	5.9	120 FTG	L	PE 0.0
							0.084 TL	4.50	PV
Pipe: 8									
L2		9.0	0.0	8.5	0.0	-16.0	1.049 PL	4.00	PF 0.8
L1		13.0	0.0	7.6	0.0	5.9	120 FTG	T	PE -1.7
							0.086 TL	9.00	PV
Pipe: 9									
L4		9.0	0.0	8.5	0.0	-16.0	1.049 PL	4.00	PF 0.8
L3		13.0	0.0	7.6	0.0	5.9	120 FTG	T	PE -1.7
							0.086 TL	9.00	PV
Pipe: 10									
L6		9.0	0.0	8.6	0.0	-16.0	1.049 PL	4.00	PF 0.8
L5		13.0	0.0	7.6	0.0	6.0	120 FTG	T	PE -1.7
							0.086 TL	9.00	PV
Pipe: 11									
L8		9.0	0.0	8.5	0.0	-16.0	1.049 PL	4.00	PF 0.8
L7		13.0	0.0	7.6	0.0	5.9	120 FTG	T	PE -1.7
							0.086 TL	9.00	PV

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 7

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
JOB TITLE: Loading Dock

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q(GPM)	DIA (IN)	LENGTH	PRESS.	
NODES	(FT)	(K)	(PSI)	(GPM)	VEL(FPS)	HW (C)	FL/FT	(FT)	SUM.	
									(PSI)	
Pipe: 12					-15.9	1.049	PL	4.00	PF	0.8
L10	9.0	0.0	8.4	0.0	5.9	120	FTG	T	PE	-1.7
L9	13.0	0.0	7.4	0.0		0.085	TL	9.00	PV	
Pipe: 13					-15.8	1.049	PL	4.00	PF	0.8
L12	9.0	0.0	8.4	0.0	5.9	120	FTG	T	PE	-1.7
L11	13.0	0.0	7.4	0.0		0.084	TL	9.00	PV	
Pipe: 14					-15.8	1.049	PL	4.00	PF	0.8
L14	9.0	0.0	8.3	0.0	5.9	120	FTG	T	PE	-1.7
L13	13.0	0.0	7.4	0.0		0.084	TL	9.00	PV	
Pipe: 15					-16.0	2.067	PL	6.00	PF	0.0
L1	13.0	0.0	7.6	0.0	1.5	120	FTG	----	PE	0.0
L3	13.0	0.0	7.6	0.0		0.003	TL	6.00	PV	
Pipe: 16					-31.9	2.067	PL	6.00	PF	0.1
L3	13.0	0.0	7.6	0.0	3.1	120	FTG	----	PE	0.0
L5	13.0	0.0	7.6	0.0		0.011	TL	6.00	PV	
Pipe: 17					-48.0	2.067	PL	3.00	PF	0.1
L5	13.0	0.0	7.6	0.0	4.6	120	FTG	----	PE	0.0
L49	13.0	0.0	7.7	0.0		0.024	TL	3.00	PV	
Pipe: 18					-15.8	2.067	PL	6.00	PF	0.0
L13	13.0	0.0	7.4	0.0	1.5	120	FTG	----	PE	0.0
L11	13.0	0.0	7.4	0.0		0.003	TL	6.00	PV	
Pipe: 19					-31.6	2.067	PL	6.00	PF	0.1
L11	13.0	0.0	7.4	0.0	3.0	120	FTG	----	PE	0.0
L9	13.0	0.0	7.4	0.0		0.011	TL	6.00	PV	
Pipe: 20					-47.5	2.067	PL	6.00	PF	0.1
L9	13.0	0.0	7.4	0.0	4.5	120	FTG	----	PE	0.0
L7	13.0	0.0	7.6	0.0		0.024	TL	6.00	PV	
Pipe: 21					-63.5	2.067	PL	3.00	PF	0.1
L7	13.0	0.0	7.6	0.0	6.1	120	FTG	----	PE	0.0
L49	13.0	0.0	7.7	0.0		0.041	TL	3.00	PV	
Pipe: 22					-111.5	2.469	PL	57.00	PF	4.1
L49	13.0	0.0	7.7	0.0	7.5	120	FTG	2TL	PE	0.0
L47	13.0	0.0	11.8	0.0		0.048	TL	85.00	PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 8

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
JOB TITLE: Loading Dock

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q(GPM)	DIA(IN)	LENGTH	PRESS.	
NODES	(FT)	(K)	(PSI)	(GPM)	VEL(FPS)	HW(C)	FL/FT	(FT)	SUM.	
									(PSI)	
Pipe: 23						-111.5	2.067 PL	11.50	PF	1.3
L47	13.0	0.0	11.8	0.0	10.7	120	FTG	----	PE	0.0
L51	13.0	0.0	13.1	0.0		0.115	TL	11.50	PV	
Pipe: 24						-14.8	1.049 PL	2.50	PF	0.3
H	9.0	5.6	7.0	14.8	5.5	120	FTG	L	PE	0.0
L16	9.0	0.0	7.3	0.0		0.075	TL	4.50	PV	
Pipe: 25						-14.8	1.049 PL	2.50	PF	0.3
I	9.0	5.6	7.0	14.8	5.5	120	FTG	L	PE	0.0
L18	9.0	0.0	7.4	0.0		0.075	TL	4.50	PV	
Pipe: 26						-14.9	1.049 PL	2.50	PF	0.3
J	9.0	5.6	7.1	14.9	5.5	120	FTG	L	PE	0.0
L20	9.0	0.0	7.4	0.0		0.075	TL	4.50	PV	
Pipe: 27						-15.0	1.049 PL	2.50	PF	0.3
K	9.0	5.6	7.2	15.0	5.6	120	FTG	L	PE	0.0
L22	9.0	0.0	7.5	0.0		0.076	TL	4.50	PV	
Pipe: 28						-15.0	1.049 PL	2.50	PF	0.3
L	9.0	5.6	7.2	15.0	5.6	120	FTG	L	PE	0.0
L24	9.0	0.0	7.5	0.0		0.076	TL	4.50	PV	
Pipe: 29						-14.9	1.049 PL	2.50	PF	0.3
M	9.0	5.6	7.1	14.9	5.5	120	FTG	L	PE	0.0
L26	9.0	0.0	7.4	0.0		0.075	TL	4.50	PV	
Pipe: 30						-14.8	1.049 PL	2.50	PF	0.3
N	9.0	5.6	7.0	14.8	5.5	120	FTG	L	PE	0.0
L28	9.0	0.0	7.4	0.0		0.075	TL	4.50	PV	
Pipe: 31						-14.8	1.049 PL	2.50	PF	0.3
O	9.0	5.6	7.0	14.8	5.5	120	FTG	L	PE	0.0
L30	9.0	0.0	7.3	0.0		0.075	TL	4.50	PV	
Pipe: 32						-14.8	1.049 PL	4.00	PF	0.7
L16	9.0	0.0	7.3	0.0	5.5	120	FTG	T	PE	-1.7
L15	13.0	0.0	6.3	0.0		0.075	TL	9.00	PV	
Pipe: 33						-14.8	1.049 PL	4.00	PF	0.7
L18	9.0	0.0	7.4	0.0	5.5	120	FTG	T	PE	-1.7
L17	13.0	0.0	6.3	0.0		0.075	TL	9.00	PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 9

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
JOB TITLE: Loading Dock

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	VEL (FPS)	DIA (IN)	HW (C)	LENGTH	PRESS.	SUM.
NODES	(FT)	(K)	(PSI)	(GPM)				FL/FT		(FT)	(PSI)	(PSI)
Pipe: 34						-14.9		1.049 PL		4.00	PF	0.7
L20	9.0	0.0	7.4	0.0	5.5			120 FTG		T	PE	-1.7
L19	13.0	0.0	6.4	0.0				0.075 TL		9.00	PV	
Pipe: 35						-15.0		1.049 PL		4.00	PF	0.7
L22	9.0	0.0	7.5	0.0	5.6			120 FTG		T	PE	-1.7
L21	13.0	0.0	6.5	0.0				0.076 TL		9.00	PV	
Pipe: 36						-15.0		1.049 PL		4.00	PF	0.7
L24	9.0	0.0	7.5	0.0	5.6			120 FTG		T	PE	-1.7
L23	13.0	0.0	6.5	0.0				0.076 TL		9.00	PV	
Pipe: 37						-14.9		1.049 PL		4.00	PF	0.7
L26	9.0	0.0	7.4	0.0	5.5			120 FTG		T	PE	-1.7
L25	13.0	0.0	6.4	0.0				0.075 TL		9.00	PV	
Pipe: 38						-14.8		1.049 PL		4.00	PF	0.7
L28	9.0	0.0	7.4	0.0	5.5			120 FTG		T	PE	-1.7
L27	13.0	0.0	6.3	0.0				0.075 TL		9.00	PV	
Pipe: 39						-14.8		1.049 PL		4.00	PF	0.7
L30	9.0	0.0	7.3	0.0	5.5			120 FTG		T	PE	-1.7
L29	13.0	0.0	6.3	0.0				0.075 TL		9.00	PV	
Pipe: 40						-14.8		2.067 PL		6.00	PF	0.0
L15	13.0	0.0	6.3	0.0	1.4			120 FTG		----	PE	0.0
L17	13.0	0.0	6.3	0.0				0.003 TL		6.00	PV	
Pipe: 41						-29.6		2.067 PL		6.00	PF	0.1
L17	13.0	0.0	6.3	0.0	2.8			120 FTG		----	PE	0.0
L19	13.0	0.0	6.4	0.0				0.010 TL		6.00	PV	
Pipe: 42						-44.5		2.067 PL		6.00	PF	0.1
L19	13.0	0.0	6.4	0.0	4.3			120 FTG		----	PE	0.0
L21	13.0	0.0	6.5	0.0				0.021 TL		6.00	PV	
Pipe: 43						-59.5		2.067 PL		3.00	PF	0.1
L21	13.0	0.0	6.5	0.0	5.7			120 FTG		----	PE	0.0
L50	13.0	0.0	6.6	0.0				0.036 TL		3.00	PV	
Pipe: 44						-14.8		2.067 PL		6.00	PF	0.0
L29	13.0	0.0	6.3	0.0	1.4			120 FTG		----	PE	0.0
L27	13.0	0.0	6.3	0.0				0.003 TL		6.00	PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 10

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
 JOB TITLE: Loading Dock

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	DIA (IN)	LENGTH	PRESS.	
NODES	(FT)	(K)	(PSI)	(GPM)	VEL (FPS)	HW (C)	FL/FT	(FT)	SUM.	
									(PSI)	
Pipe: 45						-29.6	2.067 PL	6.00	PF	0.1
L27	13.0	0.0	6.3	0.0	2.8	120 FTG	----		PE	0.0
L25	13.0	0.0	6.4	0.0		0.010 TL	6.00		PV	
Pipe: 46						-44.5	2.067 PL	6.00	PF	0.1
L25	13.0	0.0	6.4	0.0	4.3	120 FTG	----		PE	0.0
L23	13.0	0.0	6.5	0.0		0.021 TL	6.00		PV	
Pipe: 47						-59.5	2.067 PL	3.00	PF	0.1
L23	13.0	0.0	6.5	0.0	5.7	120 FTG	----		PE	0.0
L50	13.0	0.0	6.6	0.0		0.036 TL	3.00		PV	
Pipe: 48						-119.1	2.469 PL	88.00	PF	6.6
L50	13.0	0.0	6.6	0.0	8.0	120 FTG	2T2L		PE	0.0
L51	13.0	0.0	13.1	0.0		0.055 TL	120.00		PV	
Pipe: 49						-230.5	4.026 PL	56.60	PF	1.0
L51	13.0	0.0	13.1	0.0	5.8	120 FTG	----		PE	0.0
L48	13.0	0.0	14.1	0.0		0.017 TL	56.60		PV	
Pipe: 50						-16.6	1.049 PL	2.50	PF	0.4
P	9.0	5.6	8.8	16.6	6.2	120 FTG	L		PE	0.0
L32	9.0	0.0	9.2	0.0		0.092 TL	4.50		PV	
Pipe: 51						-16.6	1.049 PL	2.50	PF	0.4
Q	9.0	5.6	8.8	16.6	6.2	120 FTG	L		PE	0.0
L34	9.0	0.0	9.2	0.0		0.092 TL	4.50		PV	
Pipe: 52						-16.7	1.049 PL	2.50	PF	0.4
R	9.0	5.6	8.9	16.7	6.2	120 FTG	L		PE	0.0
L36	9.0	0.0	9.3	0.0		0.093 TL	4.50		PV	
Pipe: 53						-16.8	1.049 PL	2.50	PF	0.4
S	9.0	5.6	9.0	16.8	6.2	120 FTG	L		PE	0.0
L38	9.0	0.0	9.4	0.0		0.094 TL	4.50		PV	
Pipe: 54						-16.8	1.049 PL	2.50	PF	0.4
T	9.0	5.6	9.0	16.8	6.2	120 FTG	L		PE	0.0
L40	9.0	0.0	9.4	0.0		0.094 TL	4.50		PV	
Pipe: 55						-16.7	1.049 PL	2.50	PF	0.4
U	9.0	5.6	8.9	16.7	6.2	120 FTG	L		PE	0.0
L42	9.0	0.0	9.3	0.0		0.093 TL	4.50		PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 11

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
JOB TITLE: Loading Dock

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q(GPM)	DIA(IN)	LENGTH	PRESS.
NODES	(FT)	(K)	(PSI)	(GPM)	VEL(FPS)	HW(C)	FL/FT	(FT)	SUM.
									(PSI)
Pipe: 56					-16.6	1.049 PL		2.50	PF 0.4
V	9.0	5.6	8.8	16.6	6.2	120 FTG		L	PE 0.0
L44	9.0	0.0	9.2	0.0		0.092 TL		4.50	PV
Pipe: 57					-16.6	1.049 PL		2.50	PF 0.4
W	9.0	5.6	8.8	16.6	6.2	120 FTG		L	PE 0.0
L46	9.0	0.0	9.2	0.0		0.092 TL		4.50	PV
Pipe: 58					-16.6	1.049 PL		4.00	PF 0.8
L46	9.0	0.0	9.2	0.0	6.2	120 FTG		T	PE -1.7
L45	13.0	0.0	8.3	0.0		0.092 TL		9.00	PV
Pipe: 59					-16.6	1.049 PL		4.00	PF 0.8
L44	9.0	0.0	9.2	0.0	6.2	120 FTG		T	PE -1.7
L43	13.0	0.0	8.3	0.0		0.092 TL		9.00	PV
Pipe: 60					-16.7	1.049 PL		4.00	PF 0.8
L42	9.0	0.0	9.3	0.0	6.2	120 FTG		T	PE -1.7
L41	13.0	0.0	8.4	0.0		0.093 TL		9.00	PV
Pipe: 61					-16.8	1.049 PL		4.00	PF 0.8
L40	9.0	0.0	9.4	0.0	6.2	120 FTG		T	PE -1.7
L39	13.0	0.0	8.5	0.0		0.094 TL		9.00	PV
Pipe: 62					-16.6	1.049 PL		4.00	PF 0.8
L32	9.0	0.0	9.2	0.0	6.2	120 FTG		T	PE -1.7
L31	13.0	0.0	8.3	0.0		0.092 TL		9.00	PV
Pipe: 63					-16.6	1.049 PL		4.00	PF 0.8
L34	9.0	0.0	9.2	0.0	6.2	120 FTG		T	PE -1.7
L33	13.0	0.0	8.3	0.0		0.092 TL		9.00	PV
Pipe: 64					-16.7	1.049 PL		4.00	PF 0.8
L36	9.0	0.0	9.3	0.0	6.2	120 FTG		T	PE -1.7
L35	13.0	0.0	8.4	0.0		0.093 TL		9.00	PV
Pipe: 65					-16.8	1.049 PL		4.00	PF 0.8
L38	9.0	0.0	9.4	0.0	6.2	120 FTG		T	PE -1.7
L37	13.0	0.0	8.5	0.0		0.094 TL		9.00	PV
Pipe: 66					-16.6	2.067 PL		6.00	PF 0.0
L31	13.0	0.0	8.3	0.0	1.6	120 FTG		----	PE 0.0
L33	13.0	0.0	8.3	0.0		0.003 TL		6.00	PV

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 12

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF

JOB TITLE: Loading Dock

PIPE TAG	END	ELEV.	NOZ.	PT	DISC.	Q (GPM)	VEL (FPS)	DIA (IN)	LENGTH	PRESS.	SUM.
	NODES	(FT)	(K)	(PSI)	(GPM)			HW (C)	(FT)		(PSI)
	Pipe: 67					-33.2		2.067 PL	6.00	PF	0.1
L33		13.0	0.0	8.3	0.0	3.2		120 FTG	----	PE	0.0
L35		13.0	0.0	8.4	0.0			0.012 TL	6.00	PV	
	Pipe: 68					-49.8		2.067 PL	6.00	PF	0.2
L35		13.0	0.0	8.4	0.0	4.8		120 FTG	----	PE	0.0
L37		13.0	0.0	8.5	0.0			0.026 TL	6.00	PV	
	Pipe: 69					-66.6		2.067 PL	3.00	PF	0.1
L37		13.0	0.0	8.5	0.0	6.4		120 FTG	----	PE	0.0
L52		13.0	0.0	8.7	0.0			0.044 TL	3.00	PV	
	Pipe: 70					-16.6		2.067 PL	6.00	PF	0.0
L45		13.0	0.0	8.3	0.0	1.6		120 FTG	----	PE	0.0
L43		13.0	0.0	8.3	0.0			0.003 TL	6.00	PV	
	Pipe: 71					-33.2		2.067 PL	6.00	PF	0.1
L43		13.0	0.0	8.3	0.0	3.2		120 FTG	----	PE	0.0
L41		13.0	0.0	8.4	0.0			0.012 TL	6.00	PV	
	Pipe: 72					-49.8		2.067 PL	6.00	PF	0.2
L41		13.0	0.0	8.4	0.0	4.8		120 FTG	----	PE	0.0
L39		13.0	0.0	8.5	0.0			0.026 TL	6.00	PV	
	Pipe: 73					-66.6		2.067 PL	3.00	PF	0.1
L39		13.0	0.0	8.5	0.0	6.4		120 FTG	----	PE	0.0
L52		13.0	0.0	8.7	0.0			0.044 TL	3.00	PV	
	Pipe: 74					-133.3		2.469 PL	57.00	PF	5.4
L52		13.0	0.0	8.7	0.0	8.9		120 FTG	2T	PE	0.0
L48		13.0	0.0	14.1	0.0			0.067 TL	81.00	PV	
	Pipe: 75					-363.8		4.026 PL	80.25	PF	3.7
L48		13.0	0.0	14.1	0.0	9.2		120 FTG	2L	PE	0.0
12		13.0	0.0	17.8	0.0			0.040 TL	92.25	PV	
	Pipe: 76					-363.8		4.026 PL	16.00	PF	0.9
12		13.0	0.0	17.8	0.0	9.2		120 FTG	L	PE	6.9
13		-3.0	0.0	25.6	0.0			0.040 TL	22.00	PV	
	Pipe: 77					-363.8		4.026 PL	119.50	PF	5.9
13		-3.0	0.0	25.6	0.0	9.2		120 FTG	E3L	PE	0.0
14		-3.0	0.0	31.5	0.0			0.040 TL	147.50	PV	

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 13

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF
 JOB TITLE: Loading Dock

PIPE TAG					Q (GPM)	DIA (IN)	LENGTH	PRESS.	
END	ELEV.	NOZ.	PT	DISC.	VEL (FPS)	HW (C)	(FT)	SUM.	
NODES	(FT)	(K)	(PSI)	(GPM)		FL/FT		(PSI)	
Pipe: 78					-363.8	4.026 PL	5.50	PF	0.5
14	-3.0	0.0	31.5	0.0	9.2	120 FTG	L	PE	-2.4
15	2.5	0.0	29.5	0.0		0.040 TL	11.50	PV	
Pipe: 79									
						FIXED PRESSURE LOSS DEVICE			
16	2.5	0.0	34.5	0.0		5.0 psi,	363.8 gpm		
15	2.5	0.0	29.5	0.0					
Pipe: 80					-363.8	4.026 PL	5.50	PF	0.4
16	2.5	0.0	34.5	0.0	9.2	150 FTG	L	PE	2.4
17	-3.0	0.0	37.3	0.0		0.026 TL	14.57	PV	
Pipe: 81					-363.8	4.026 PL	57.00	PF	3.5
17	-3.0	0.0	37.3	0.0	9.2	120 FTG	ETG	PE	0.0
18	-3.0	0.0	40.9	0.0		0.040 TL	89.00	PV	
Pipe: 82					-363.8	7.981 PL	220.00	PF	0.2
18	-3.0	0.0	40.9	0.0	2.3	150 FTG	----	PE	0.0
SRC	-3.0	SRCE	41.1	(N/A)		0.001 TL	220.00	PV	

NOTES (HASS):

- (1) Calculations were performed by the HASS 2021 D computer program in accordance with NFPA13 (2020) under license no. 64836407 granted by
 HRS Systems, Inc.
 208 Southside Square
 Petersburg, TN 37144
 (931) 659-9760
- (2) The system has been calculated to provide an average imbalance at each node of 0.001 gpm and a maximum imbalance at any node of 0.065 gpm.
- (3) Total pressure at each node is used in balancing the system. Maximum water velocity is 10.7 ft/sec at pipe 23.
- (4) Items listed in bold print on the cover sheet
 are automatically transferred from the calculation report.
- (5) Available pressure at source node SRC under full flow conditions is 77.42 psi with a flow of 799.17 gpm.

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 14

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF

JOB TITLE: Loading Dock

(6) PIPE FITTINGS TABLE

HASS Pipe Table Name: standard

PAGE: A MATERIAL: S40 HWC: 120

Diameter (in)	Equivalent Fitting Lengths in Feet								
	E Ell	T Tee	L LngEll	C ChkVlv	B BfyVlv	G GatVlv	A AlmChk	D DPVlv	N NTee

	F								
	F45Ell								
1.049	2.00	5.00	2.00	5.00	6.00	1.00	10.00	2.00	5.00
	1.00								
2.067	5.00	10.00	3.00	11.00	6.00	1.00	10.00	10.00	10.00
	2.50								
2.469	6.00	12.00	4.00	14.00	7.00	1.00	10.00	10.00	12.00
	3.00								
4.026	10.00	20.00	6.00	22.00	12.00	2.00	20.00	20.00	20.00
	5.00								
7.981	18.00	35.00	13.00	45.00	12.00	4.00	31.00	31.00	35.00
	9.00								

SPRINKLER SYSTEM HYDRAULIC ANALYSIS

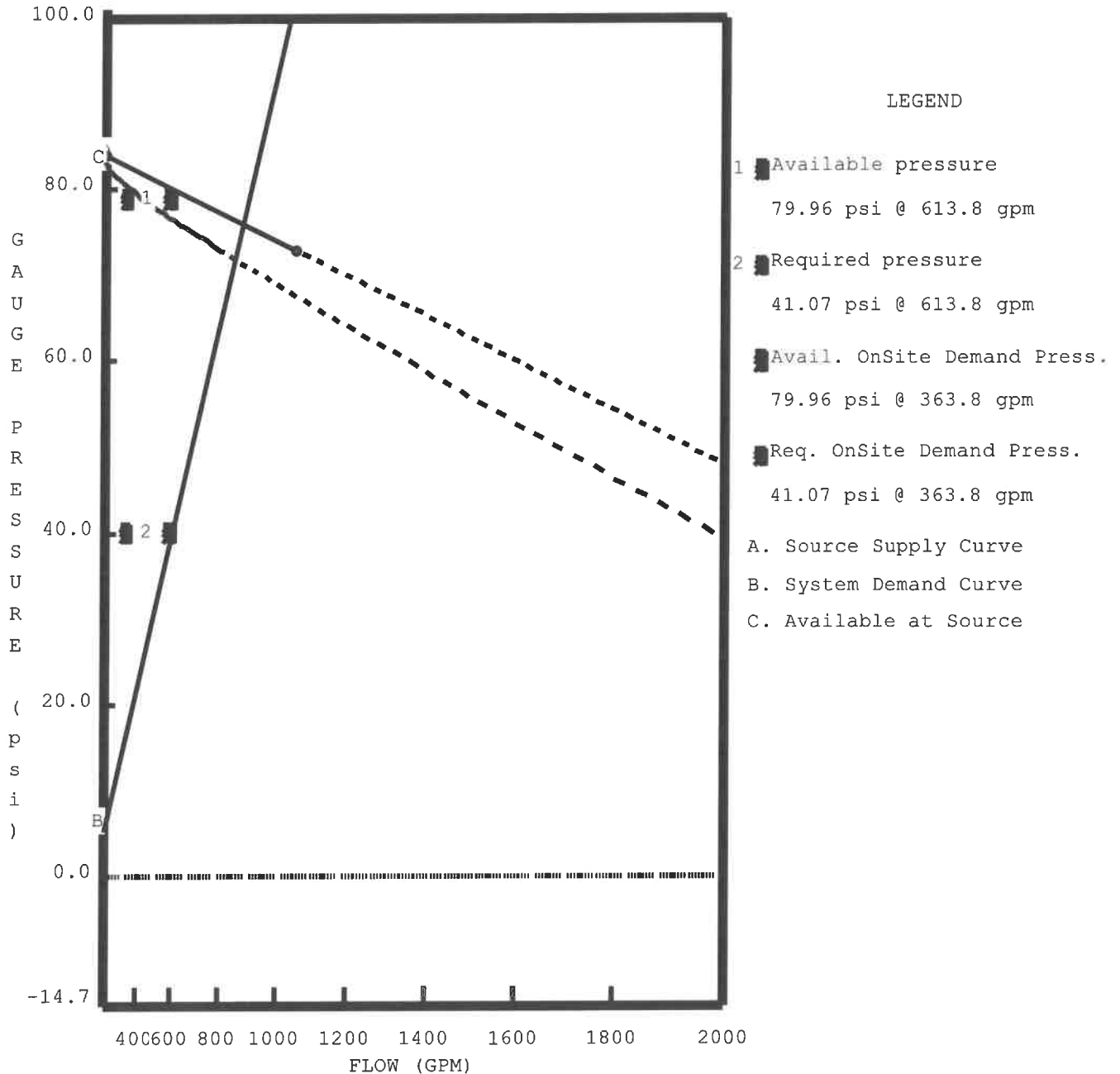
Page 15

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF

JOB TITLE: Loading Dock

WATER SUPPLY ANALYSIS

Static: 84.00 psi Resid: 73.00 psi Flow: 1055.0 gpm



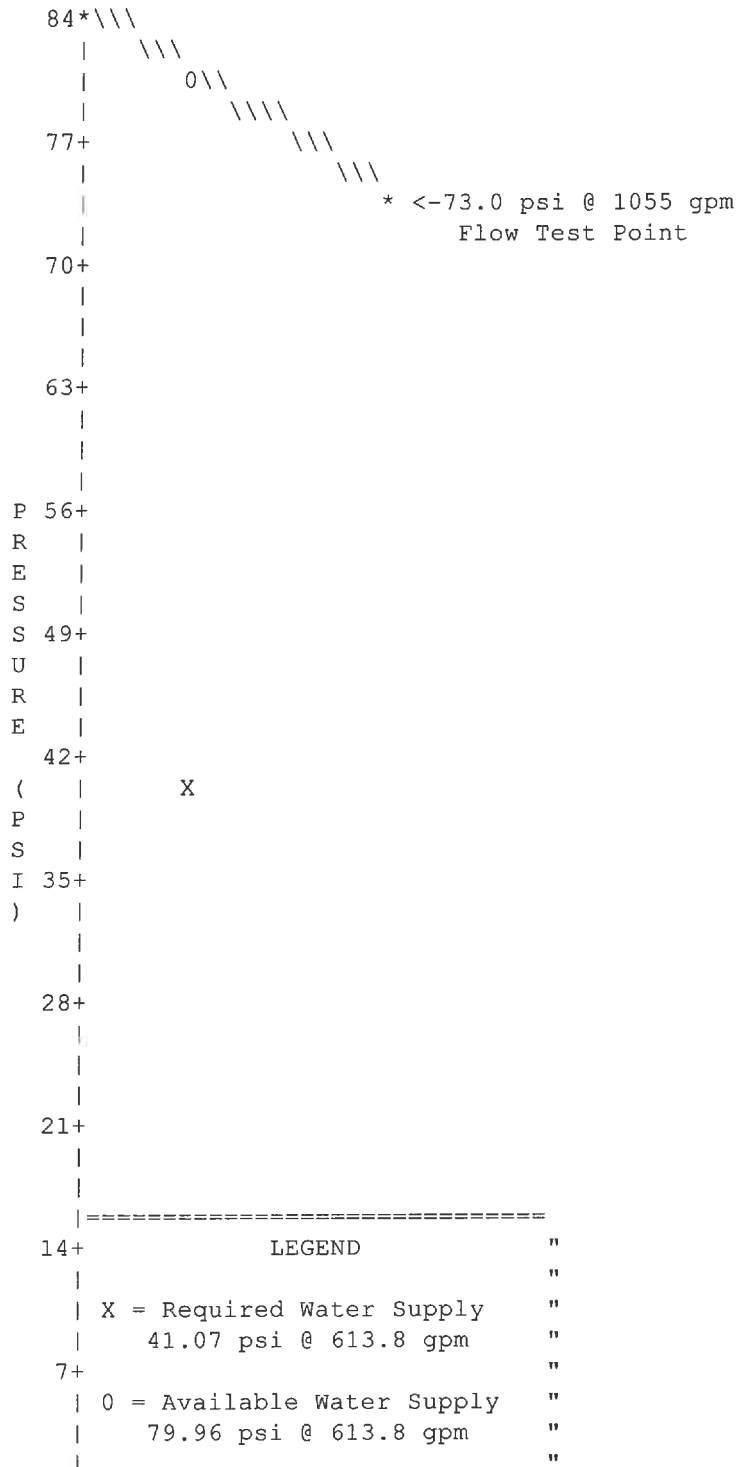
Note: (1) Dashed Lines indicate extrapolated values from Test Results

(2) On Site pressures are based on hose stream deduction at the source

DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF

JOB TITLE: Loading Dock

WATER SUPPLY CURVE

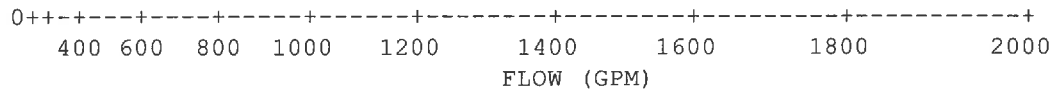


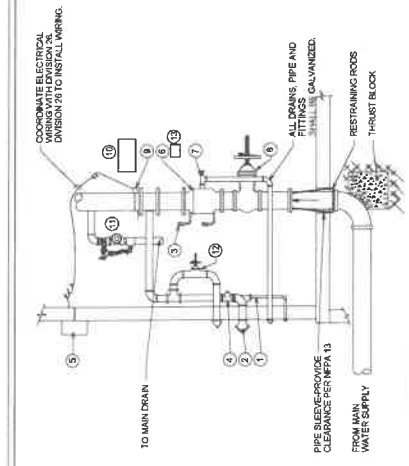
SPRINKLER SYSTEM HYDRAULIC ANALYSIS

Page 17

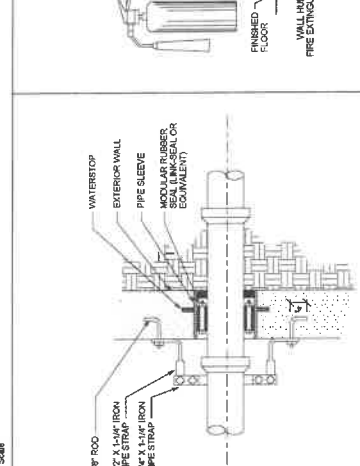
DATE: 1/26/2022 NCILLARY ADD & RENO\ADMIN\FIRE PROTECTION\LOADING DOCK.SDF

JOB TITLE: Loading Dock





WET SPRINKLER RISER DIAGRAM WITH ELECTRIC BELL
No Scale



PIPE PENETRATION AT FOUNDATION WALL
No Scale

PIPE PENETRATION AT FOUNDATION WALL
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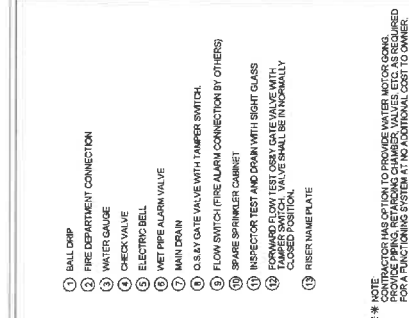
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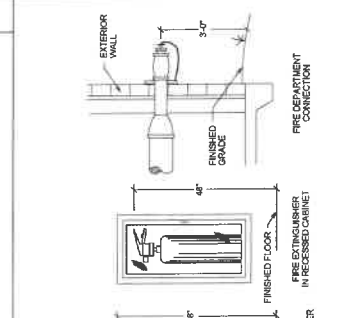
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PIPE PENETRATION AT FOUNDATION WALL
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SPRINKLER HEAD DETAILS
No Scale



PIPE PENETRATION AT FOUNDATION WALL
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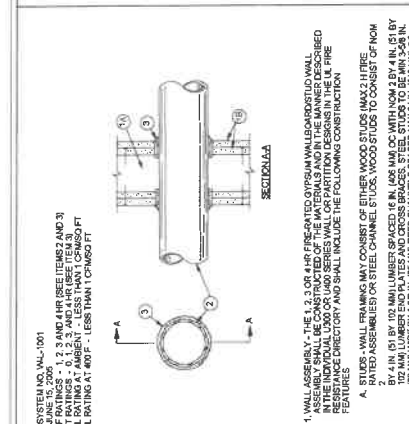
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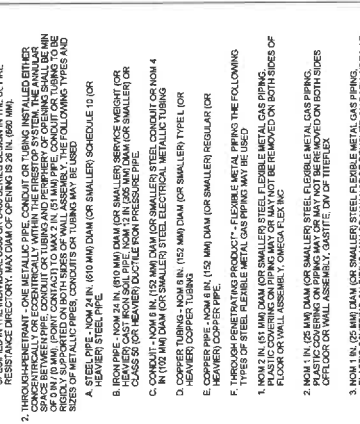
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THROUGH-PENETRATION FIRESTOP SYSTEMS
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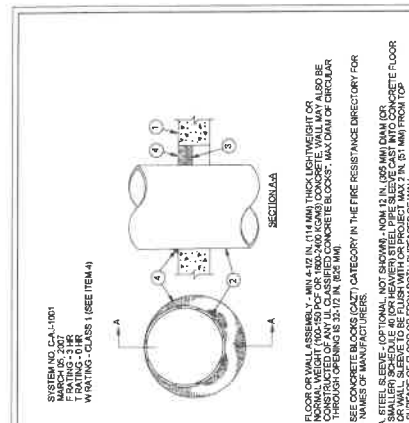
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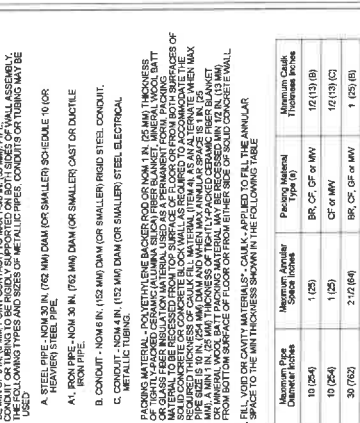
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THROUGH-PENETRATION FIRESTOP SYSTEMS
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EXISTING TYPE A-1 HOUR FIRE BARRIERS TO REMAIN
EXISTING TYPE B-1 HOUR SMOKE BARRIERS TO REMAIN
EXISTING TYPE C-1 HOUR FIRE BARRIERS TO REMAIN
EXISTING TYPE D-2 HOUR SMOKE BARRIERS TO REMAIN
EXISTING TYPE N-1 HOUR FIRE BARRIERS TO REMAIN
EXISTING TYPE N-2 HOUR FIRE BARRIERS TO REMAIN
EXISTING TYPE N-3 SMOKE RESISTANT PARTITION TO REMAIN
TYPE A-1 HOUR FIRE BARRIERS
TYPE B-1 HOUR SMOKE BARRIERS
TYPE C-1 HOUR FIRE BARRIERS
TYPE D-2 HOUR SMOKE BARRIERS
TYPE N-1 HOUR FIRE BARRIERS
TYPE N-2 SMOKE RESISTANT PARTITION

	HYDRAULIC NODE LEGEND
	HYDRAULIC REFERENCE NODE REFERS TO HYDRAULIC CALCULATIONS FOR DETAILS
	AREA PAVING LEGEND
	NO DRIVING OR EQUIPMENT ALLOWED ABOVE THIS AREA.

NEW WORK LEGEND

— EXISTING TO REMAIN
— NEW CONSTRUCTION

[illegible]

FIRE PROTECTION -
FIRST FLOOR
ANCILLARY PLAN

FP201C

LINE IS 5 INCHES WHEN PRINTED FULL SIZE
FULL SHEET SIZE = 36"X42"

PROJECT 45057.00
DATE 12/06/2021

LAKE CITY MEDICAL CENTER
340 NW Commerce Dr.
Lake City, FL 32055
HCA Project No. 3759400011

ANCILLARY BUILDING

Digitally signed by Shawn FL
Date: 2022.01.28 14:32:59-06'00'

HCA+ Healthcare

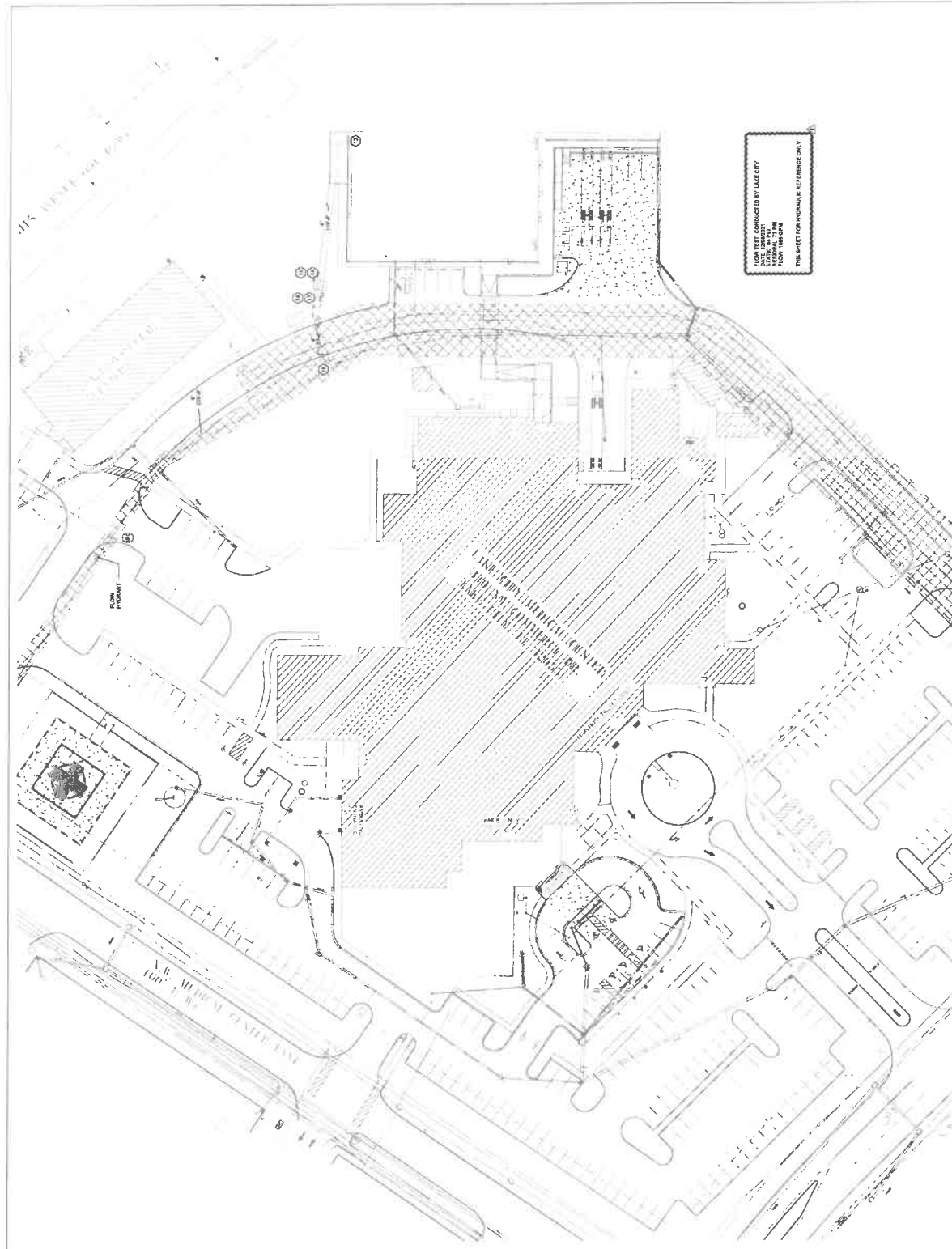
Kimley»»Horn
2815 Connecticut Blvd. Suite 300



I.C. Thomsson Associates, Inc.

GrahamSmith.com

**Gresham
Smith**



1 FIRE PROTECTION - SITE PLAN
1"=300'

FLOW TEST CONDUCTED BY LAKE CITY
ON 08/11/2021
FLOW 198 GPM
THIS SHEET FOR HYDRAULIC REFERENCE ONLY

HYDRAULIC NOSE LEAKS
HYDRAULIC REFERENCE MAPS REFER TO
HYDRAULIC CALCULATIONS FOR DETAILS



Gresham Smith
GreshamSmith.com

ARCHITECT: GRESHAM SMITH
PROJECT: LAKE CITY MEDICAL CENTER
SHEET: 1014-02
DATE: 12/02/2021
PROJECT NO.: 2785800011
HCA PROJECT NO.: 2785800011
LAKE CITY MEDICAL CENTER
LAKE CITY, FL 33005
HCA PROJECT NO.: 2785800011



ICT
L.C. Thompson Associates, Inc.
ARCHITECTURAL
STRUCTURAL
MECHANICAL
ELECTRICAL
PLUMBING
HVAC
SPEECH, AUDIO, VISUAL
TELEVISION
TELEPHONE
FIRE PROTECTION
TRANSPORTATION
LANDSCAPE ARCHITECTURE
HISTORIC PRESERVATION
INTERIOR DESIGN
EXTERIOR DESIGN
ENVIRONMENTAL DESIGN
GENERAL CONTRACTOR
MECHANICAL CONTRACTOR
ELECTRICAL CONTRACTOR
PLUMBING CONTRACTOR
HVAC CONTRACTOR
SPEECH, AUDIO, VISUAL
TELEVISION CONTRACTOR
FIRE PROTECTION CONTRACTOR
TRANSPORTATION CONTRACTOR
LANDSCAPE ARCHITECTURE
HISTORIC PRESERVATION CONTRACTOR
INTERIOR DESIGN CONTRACTOR
EXTERIOR DESIGN CONTRACTOR
ENVIRONMENTAL DESIGN CONTRACTOR



SDL
STRUCTURAL
DESIGN
LIMITED
177 Project Rd. 11000
Tampa, FL 33613



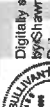
Kimley-Horn
11111 N. 22nd Ave. Suite 200
Tampa, FL 33613



HCA Healthcare
One Park Plaza, Suite 500
Nashville, TN 37203
HCA Project No.: 2785800011



Digitally signed
By: Shawn FL
Date: 2022.01.28
14:33:28-0600



LAKE CITY MEDICAL CENTER
LAKE CITY, FL 33005
HCA Project No.: 2785800011



ANCILLARY BUILDING



LAKE CITY MEDICAL CENTER
LAKE CITY, FL 33005
HCA Project No.: 2785800011



FIRE PROTECTION -
SITE ANCIARY
BUILDING PLAN



FP202C



Revision
No. Date Description
1 11/27/22 Amendment 1-1



PROJECT: 12/02/2021
DATE: 12/02/2021
PROJECT NO.: 2785800011
HCA PROJECT NO.: 2785800011



LAKE CITY MEDICAL CENTER
LAKE CITY, FL 33005
HCA PROJECT NO.: 2785800011



194

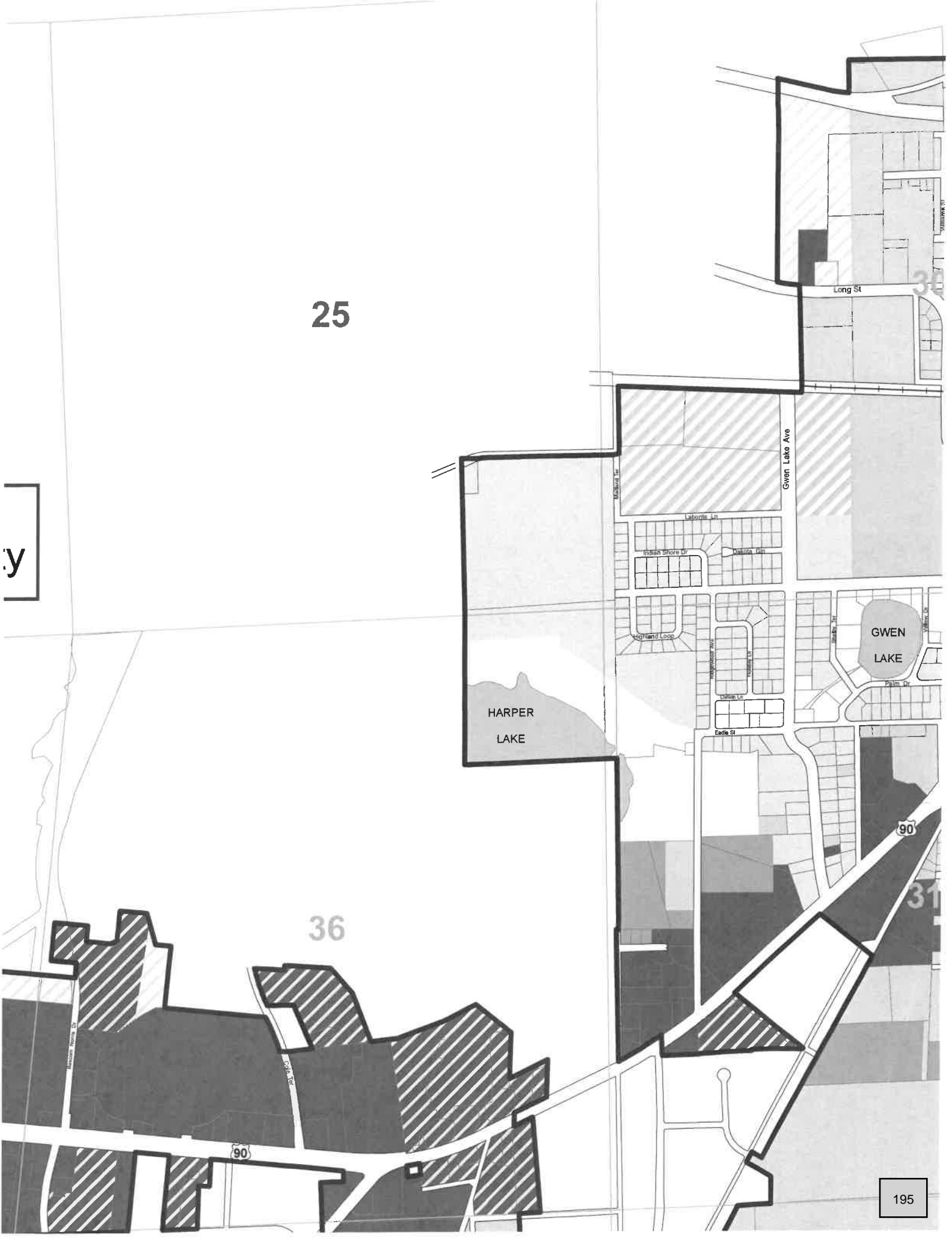
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25

36

30

31



File Attachments for Item:

vi. Site Plan Review - SPR-22-06 Walmart #767 OGP Expansion



GROWTH MANAGEMENT

205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 22-06
Application Fee: \$200.00
Receipt No. _____
Filing Date _____
Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Walmart #767 OGP Expansion
2. Address of Subject Property: 2767 W US Hwy 90, Lake City, FL 32055
3. Parcel ID Number(s): 35-3S-16-02519-001
4. Future Land Use Map Designation: LG
5. Zoning Designation: _____
6. Acreage: _____
7. Existing Use of Property: Retail-Grocery
8. Proposed use of Property: Retail-Grocery
9. Type of Development (Check All That Apply):
 - ☒ Increase of floor area to an existing structure: Total increase of square footage 8,467
 - ☐ New construction: Total square footage _____
 - ☐ Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): Clarence Almonor Title: Agent
Company name (if applicable): Cuhaci Peterson
Mailing Address: 930 Woodcock Road, Suite 101, Orlando, FL 32803
City: Orlando State: FL Zip: 32803
Telephone: (407) 745-9087 Fax: () Email: ClarenceA@c-p.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): Walmart Stores East LP
Mailing Address: PO Box 8050
City: Bentonville State: AR Zip: 72712
Telephone: (407) 745-9087 Fax: () Email: ClarenceA@c-p.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☐ Yes ☐ No
Future Land Use Map Amendment: ☐ Yes _____ ☐ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes _____ ☐ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: ☐ Yes _____ ☐ No _____
Variance Application No. _____
Special Exception: ☐ Yes _____ ☐ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. **Stormwater Management Plan—Including the following:**
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. **Comprehensive Plan Consistency Analysis:** An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. **Legal Description with Tax Parcel Number (In Word Format).**
 8. **Proof of Ownership (i.e. deed).**
 9. **Agent Authorization Form (signed and notarized).**
 10. **Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).**
 11. **Fee.** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

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205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Clarence Almonor

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

2/3/2022

Date

Applicant/Agent Name (Type or Print)

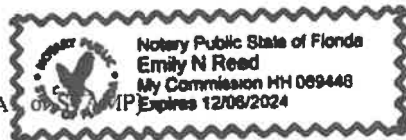
Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Orange

The foregoing instrument was acknowledged before me this 3rd day of Feb., 2022, by (name of person acknowledging).

(NOTARY SEAL)



Signature of Notary


Emily Reed
Printed Name of Notary

Personally Known ☒ OR Produced Identification _____
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

ADDITION SQFT:	8,467
EXISTING SQFT:	201,789
PROTO CYCLE:	09/24/21
DATE:	11/22/21
PROTO:	188 PROTO SC

DRAWING INDEX

[illegible][illegible]

NOTE: EIGHTY-FOUR FOOTBALL STADIUMS AND TWO EIGHTY-FOUR FOOTBALL STADIUMS ARE NOT IN THE LIST.	NOTE: THE STADIUMS ARE NOT IN THE LIST. THE STADIUMS ARE NOT IN THE LIST. THE STADIUMS ARE NOT IN THE LIST.	NOTE: THE STADIUMS ARE NOT IN THE LIST. THE STADIUMS ARE NOT IN THE LIST. THE STADIUMS ARE NOT IN THE LIST.
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INTERIOR WALL AND CEILING FINISH				
REQUIREMENTS BY OCCUPANCY TABLE 803.11				
GROUP	INTERIOR ELEVATOR SHAFTS AND PASSENGERWAY	CORRIDORS AND STAIRWAYS	STAIRWELL ENCLOSURES	ROOMS AND ENCLOSED SPACES
A1 & A2	B	B	C	C
B & B-1	B	C	C	C
B-2	C	C	C	C
B-3	C	C	C	C
B-4	C	C	C	C
B-5	C	C	C	C
B-6	C	C	C	C
B-7	C	C	C	C
B-8	C	C	C	C
B-9	C	C	C	C
B-10	C	C	C	C
B-11	C	C	C	C
B-12	C	C	C	C
B-13	C	C	C	C
B-14	C	C	C	C
B-15	C	C	C	C
B-16	C	C	C	C
B-17	C	C	C	C
B-18	C	C	C	C
B-19	C	C	C	C
B-20	C	C	C	C
B-21	C	C	C	C
B-22	C	C	C	C
B-23	C	C	C	C
B-24	C	C	C	C
B-25	C	C	C	C
B-26	C	C	C	C
B-27	C	C	C	C
B-28	C	C	C	C
B-29	C	C	C	C
B-30	C	C	C	C
B-31	C	C	C	C
B-32	C	C	C	C
B-33	C	C	C	C
B-34	C	C	C	C
B-35	C	C	C	C
B-36	C	C	C	C
B-37	C	C	C	C
B-38	C	C	C	C
B-39	C	C	C	C
B-40	C	C	C	C
B-41	C	C	C	C
B-42	C	C	C	C
B-43	C	C	C	C
B-44	C	C	C	C
B-45	C	C	C	C
B-46	C	C	C	C
B-47	C	C	C	C
B-48	C	C	C	C
B-49	C	C	C	C
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B-75	C	C	C	C
B-76	C	C	C	C
B-77	C	C	C	C
B-78	C	C	C	C
B-79	C	C	C	C
B-80	C	C	C	C
B-81	C	C	C	C
B-82	C	C	C	C
B-83	C	C	C	C
B-84	C	C	C	C
B-85	C	C	C	C
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B-87	C	C	C	C
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B-89	C	C	C	C
B-90	C	C	C	C
B-91	C	C	C	C
B-92	C	C	C	C
B-93	C	C	C	C
B-94	C	C	C	C
B-95	C	C	C	C
B-96	C	C	C	C
B-97	C	C	C	C
B-98	C	C	C	C

NOTICE OF ACCEPTANCE				
PRODUCT CATEGORY	218 CATEGORY	FEDRA PRODUCT #	FEDRA PRODUCT EXPIRATION DATE	NCA #
DOORS	AUTOMATIC SLIDING DOORS	FL 18023	APRIL 1, 2023	26-21127
			APRIL 1, 2023	

REF. ABBREVIATION	ELECTRICAL	MAILING OFFICE
MTI-4299	CUMMIS & PETERSON 10000 W. 13TH STREET, SUITE 400 TULSA, OK 74119	CITY OF LAKE CITY 300 N. W. 10TH AVE. LAKE CITY, FL 32060 386-541-1111

VICINITY MAP	GENERAL NOTES
	<ol style="list-style-type: none"> 1. THE SUBJECT LOCATION, LESTER, IS LOCATED IN THE UNINCORPORATED AREA OF THE CITY OF LESTER, MISSOURI. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. 2. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. 3. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. 4. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI. THE PROPERTY IS LOCATED APPROXIMATELY 1/2 MILE NORTH OF THE CITY CENTER OF LESTER, MISSOURI.

GENERAL

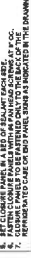
SCOPE OF WORK

- PLACE NEW AIR COOLERS AS NOTED
- REPLACE OLD WALLPAPER AND PEELERS AS NOTED
- INSTALL NEW DOOR
- PLACE OIL EQUIPMENT AS NOTED
- REPAIR CRACKS IN WALLS AND STALLS
- NEW BRICKS AND RTU
- NEW LOG DOOR

INTERIOR WALL AND CEILING FINISH REQUIREMENTS BY OCCUPANCY TABLE 803.13					
GROUP	INTERIOR DRY STAIRWAY AND EXITS	DOORCASES AND TRANSOMS	DOOR CASES FOR EXITS TRANSOMS	ROOMS AND ENCLOSED SPACES	ROOMS AND ENCLOSED SPACES
A.1 & 2	B	B	B	C	C
B.1 & 3.1	B	C	C	C	C
C	C	C	C	C	C
CLASS A. FLAME SPREAD INDEX 0-25. SMOKE DEVELOPED INDEX 0-50					
CLASS B. FLAME SPREAD INDEX 26-75. SMOKE DEVELOPED INDEX 51-100					
CLASS C. FLAME SPREAD INDEX 76-100. SMOKE DEVELOPED INDEX 101-150					

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653

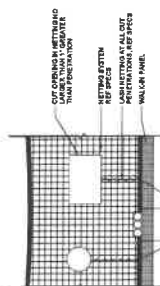


KEYNOTE

1. INSTALLATION SHALL NOT COMMENCE UNTIL WALLS ARE AND ALL WORK IS IN PLACE. CONTRACTOR SHALL OBTAIN APPROVAL FROM THE CITY ENGINEER, CONSTRUCTION MANAGER AND ALL TRADER AND MOBE BY OTHERS.
2. MEASURE, CUT, AND INSTALL ALL NETTING AND ACCESSORIES TO BE USED FOR THE TURNER'S INSTRUCTION AND THE CITY ENGINEER'S. THE TURNER'S CENTER SHALL BE PROTECTED BY A WALL 1" IN THICK BUT SHALL NOT LEAN OUTWARD (BEYOND PARALLEL TO FACE OF BOX).
3. WHERE DUCTS OR PIPING REQUIRE PENETRATION OF WALLS, CONTRACTOR SHALL PROVIDE SOUND DUCTS OR PIPES AND SEALING TO BE APPROVED BY THE CITY ENGINEER AND THE TURNER'S CENTER. (SEE ATTACHED DRAWING FOR APPROVAL).
4. NOT USED

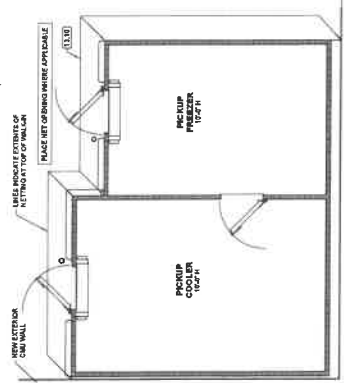
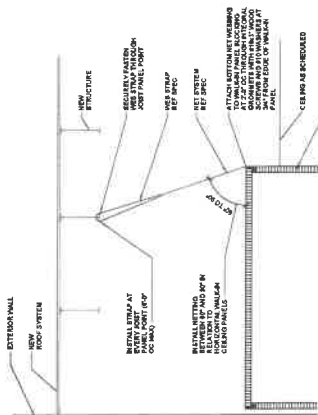
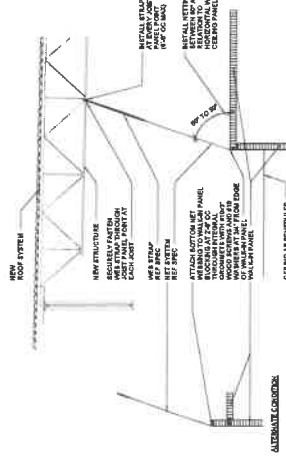
1. ROUTE CONDUITS, UTILITIES, AND SUPPORTS 5' MIN AWAY FROM WALL-IN PANEL EDGES TO ALLOW FOR NET INSTALLATION.
2. ATTACH BOTTOM WIRE OF NET #1 AT THROUGH HORIZONTAL DIMENSIONS WITH 21/2" X 3/4" WOOD SCREWS AND 810 WASHERS 24" FROM EDGE OF WALL-IN PANEL.
3. CONTINUE STRAP FROM WALL-IN PANEL TO JOIST PANEL PORT OR GROUND AT CORNER. ADDITIONAL STRAP REQUIRED.
4. NET SPECIFICATION 13000 FOR VERTICAL BARRIER.

④

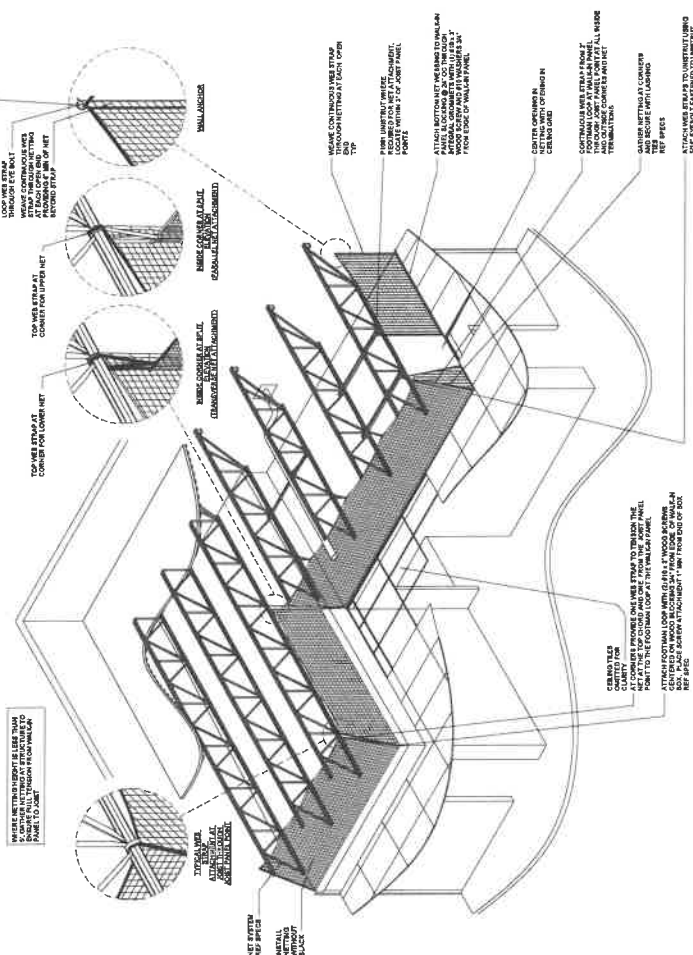


- ATTACH BOTTOM OF NETTING AT EACH END OF SPLICE WITH #10 X 3" WOOD SCREWS AND ITS WASHERS THROUGH GROMMETS.

1744

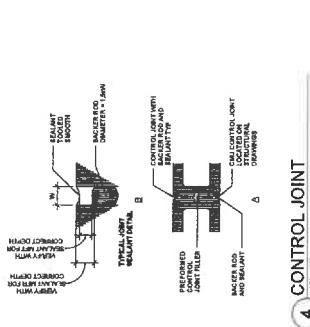
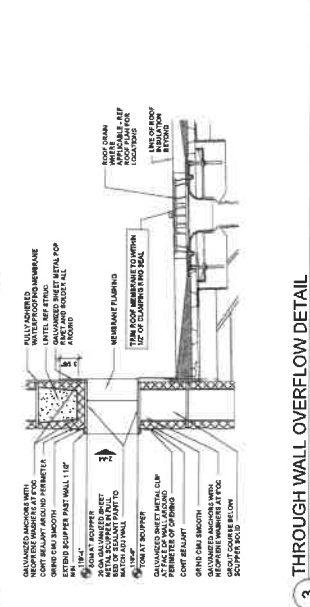
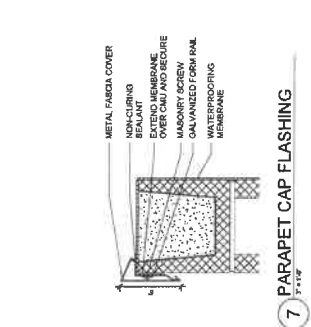
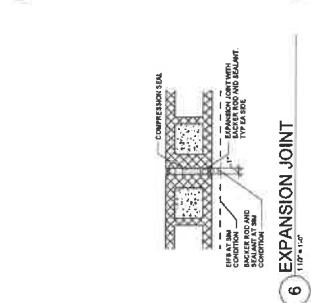
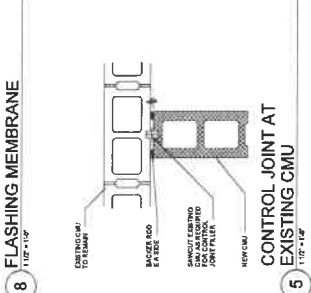
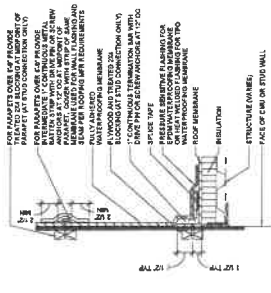

$$\frac{1}{1.75} = 0.5714$$
 $\Delta\sigma_{11} = 0.58$ 

131



- OMITTED FOR CLARITY
- AT CORNERS PROVIDE ONE WIRE STRAP TO TENSION THE NET AT THE TOP CHORD AND ONE FROM THE JOIST PANEL POINT TO THE FOOTMAN LOOP AT THE WALL/CAN PAVEL.
- ATTACH FOOTMAN LOOP WITH (2) #10 x 3" WOOD SCREWS CENTERED ON WOOD BLOCKS 3/4" FROM EDGE OF WALL/CAN BOX. PLACE SCREW ATTACHMENT 1" MIN FROM END OF BOX. SEE SPEC.

WHERE NETTING HEIGHT IS LESS THAN 2', GATHER NETTING AT STRUCTURE TO ENSURE FULL TENSION FROM WALL OR PANEL TO JOIST

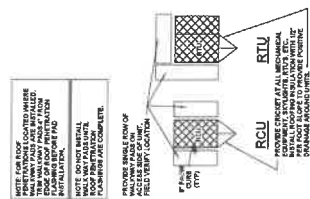


1 SIDE WALL SECTION
 1/12" x 1/2"

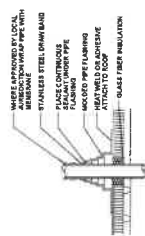
2 EXISTING WALL SECTION
 1/12" x 1/2"

3 THROUGH WALL OVERFLOW DETAIL
 1/12" x 1/2"

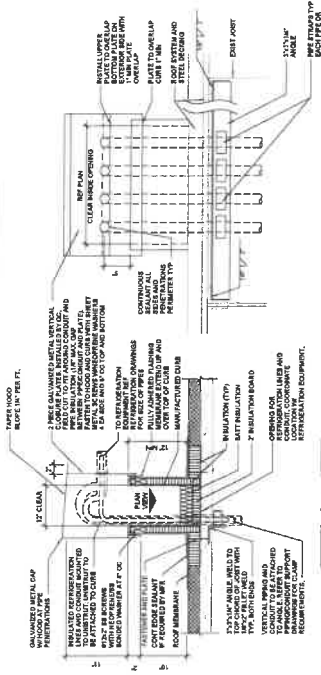
4 CONTROL JOINT
 1/12" x 1/2"

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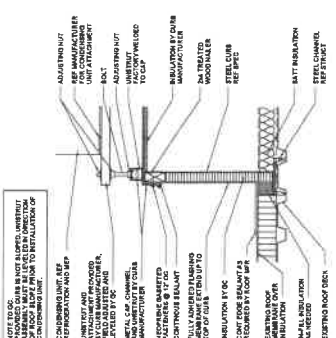
2 PAD LAYOUT



ROOF PENETRATION

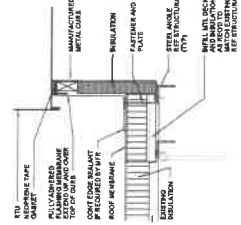


7 REFRIGERATION LINE ROOF PENETRATION



5 CONDENSER UNIT CURB
1 1/2" x 1/4"

4 ROOF TOP UNIT



4 ROOF TOP UNIT

ROOFTOP AND AIR HANDLING UNIT (RTU & AHU)

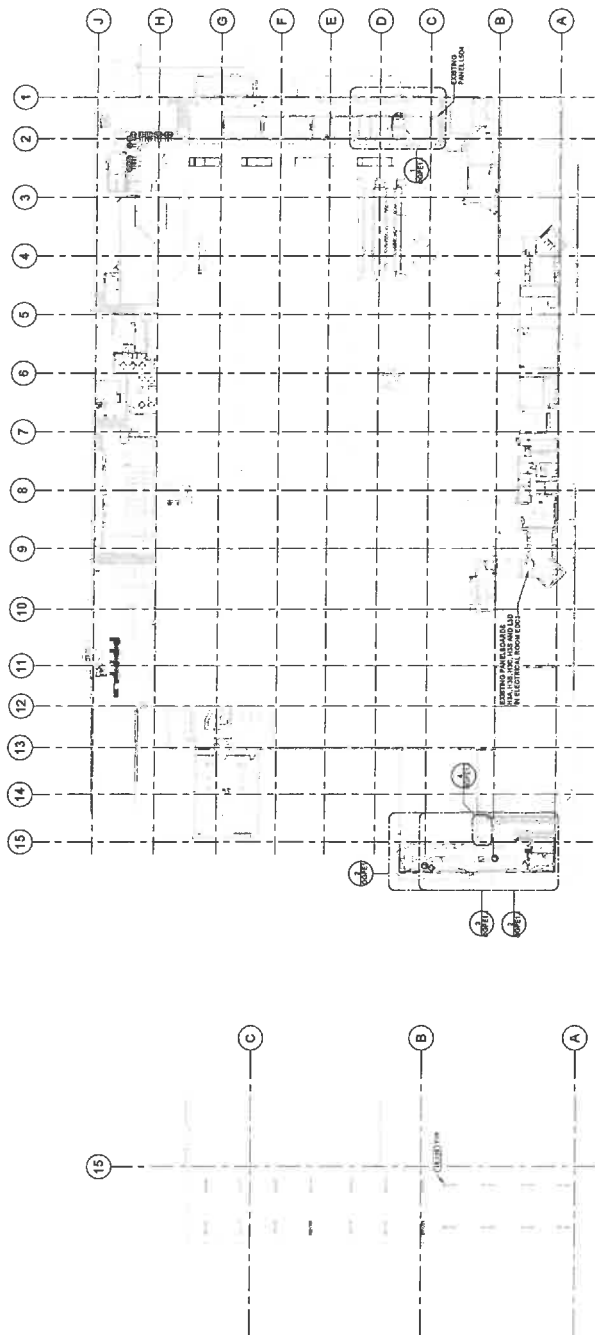
RELEASE UNDER THE PRESIDENT JOHN F. KENNEDY ACT THIS DOCUMENT CONTAINS NEITHER RECOMMENDATIONS NOR CONCLUSIONS OF THE FBI. IT IS THE PROPERTY OF THE FBI AND IS LOANED TO YOUR AGENCY; IT AND ITS CONTENTS ARE NOT TO BE DISTRIBUTED OUTSIDE YOUR AGENCY.		FBI DEPARTMENT OF JUSTICE 100 PHOTO 50 2701318 19601010 STORE NO. 0987 345 2707 W. US HIGHWAY 90 LAKE CITY, FL Walmart*		JOB NUMBER 100 PHOTO 50 2701318 19601010 STORE NO. 0987 345 2707 W. US HIGHWAY 90 LAKE CITY, FL Walmart*		CHANGED BY DRAWN BY PHOTO CYCLE DOCUMENT DATE		11/01/01	
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SEARCH	ABBREVIATION LEGEND
DESCRIPTION	
DC	PERFORMANCE CONTRACTS AND SUB-CONTRACTORS
RC	GENERAL CONTRACTOR AND SUB-CONTRACTORS
EMP	EMPLOYER
CRM	INTERNAL CASES (COMPONENT MANUFACTURERS, ORIGINAL CASES EQUIPMENT MANUFACTURER, AND MANUFACTURER IT'S MANUFACTURER
FE	1- CAN NOT PANEL BUYER
MA	1- CAN NOT PANEL BUYER
WAT	1- CAN NOT PANEL BUYER
WRT	1- CAN NOT PANEL BUYER
WTO	1- CAN NOT PANEL BUYER

[illegible][illegible][illegible]

ELECTRICAL SYMBOLS		LEGEND
	GROUND (AMP) WIRE	GROUND OR COMMON
	UNGROUND (AMP) WIRE	UNGROUND
	LIGHT SWITCH	SWITCH
	DOUBLE THROW SWITCH	SWITCH
	SINGLE THROW SWITCH	SWITCH
	MOTOR	MOTOR
	TRANSFORMER	TRANSFORMER
	RELAY	RELAY
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
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	ALARM	ALARM
	BUZZER	BUZZER
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	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
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	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
	SOLENOID	SOLENOID
	VALVE	VALVE
	BELL	BELL
	HORN	HORN
	ALARM	ALARM
	BUZZER	BUZZER
	LAMP	LAMP
	HEATER	HEATER
	RADIATOR	RADIATOR
	FAN	FAN
	MOTOR	MOTOR
</		

2 GARDEN CENTER LIGHTING DEMO PLAN



1 KEY PLAN

VOICE/DATA ROUGH-IN SCHEDULE

GROUP	ROUGH-IN NOTES
1	FLUSH MOUNT JUNCTION BOX AT 40" (MIN) WITH 1/2" CONDUIT. FINISHED 1/2" ABOVE LANE CRENO.
2	FLUSH MOUNT JUNCTION BOX AT 40" (MIN) WITH 1/2" CONDUIT. FINISHED TO MATCH EXISTING CEMENT BASE.
3	FLUSH MOUNT JUNCTION BOX AT 40" (MIN) WITH 1/2" CONDUIT. FINISHED TO ACCESSIBLE CEMENT BASE.

SCHEMATIC GENERAL NOTES

- ALL JUNCTION BOXES SHALL BE DOUBLE GROUND WITH SINGLE GROUND PLATES (2) AND UNLESS NOTED OTHERWISE ON AS-BUILDING.
- ALL JUNCTION BOXES TO BE LOCATED IN A SCHEDULED HEIGHT AREA AS NOTED OTHERWISE ON DRAWINGS.
- ALL CONDUITS SHALL BE TERMINATED WITH BUSHINGS.
- PROVIDE PULL WIRE WITH EACH EMPTY RACEWAY (JUNCTION BOX/CONDUIT) INSTALLED.
- CONDUIT RUNS SHALL HAVE NO MORE THAN 3 JOINTS OR SEGMENTS OF TRANSITION BETWEEN PULLS.
- WELDED CONDUITS TRANSVERSE AREA WITH CEILING JOINTS TO BE STRUCTURAL. CONDUITS SHALL BE CONCEALED AS WELL AS POSSIBLE FROM VIEW.
- CONDUIT SHALL BE CONCEALED WITH A TOP OF LAMINAR CONDUIT FINGER BOARD NEARER TO POINTS OF TRANSITION.
- ACCESSIBLE TRANSITION SHALL BE CONSIDERED 1' NEARER AFTER LAMINAR BOARD NEARER TO ACCESSIBLE TO A CROSSBUT LIFT FOR REPAIR OPEN TO STRUCTURE.

VOICE/DATA ROUGH-IN SCHEDULE

VOICE/DATA ROUGH-IN SCHEDULE

GROUP	ROUGH-IN NOTES
1	FLUSH MOUNT JUNCTION BOX AT 40" (MIN) WITH 1/2" CONDUIT. FINISHED 1/2" ABOVE LANE CRENO.
2	FLUSH MOUNT JUNCTION BOX AT 40" (MIN) WITH 1/2" CONDUIT. FINISHED TO MATCH EXISTING CEMENT BASE.
3	FLUSH MOUNT JUNCTION BOX AT 40" (MIN) WITH 1/2" CONDUIT. FINISHED TO ACCESSIBLE CEMENT BASE.

SCHEMATIC GENERAL NOTES

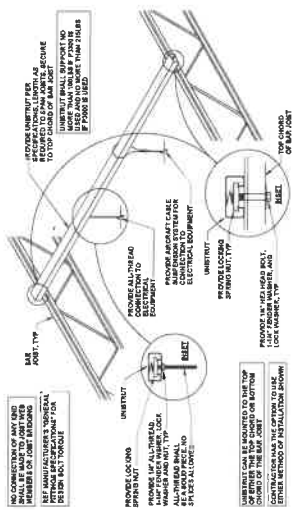
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- ACCESSIBLE TRANSITION SHALL BE CONSIDERED 1' NEARER AFTER LAMINAR BOARD NEARER TO ACCESSIBLE TO A CROSSBUT LIFT FOR REPAIR OPEN TO STRUCTURE.

GENERAL NOTES

- [illegible]

OVERALL

OGPF1

[illegible]

ONE-LINE DIAGRAM LEGEND

[illegible]

1. The first step is to identify the problem.

LIGHT FIXTURE SCHEDULE

[illegible]

PANELBOARD: L5D4	(EXISTING)
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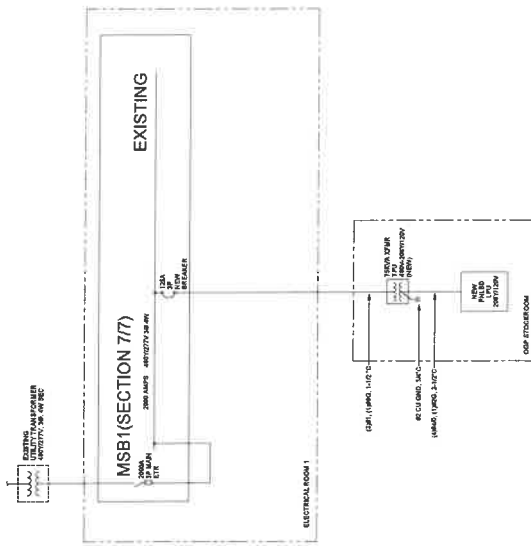
[illegible]

PANELBOARD: LPU	(NEW)
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16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.00		49.00		50.00		51.00		52.00		53.00		54.00		55.00		56.00		57.00		58.00		59.00		60.00		61.00		62.00		63.00		64.00		65.00		66.00		67.00		68.00		69.00		70.00		71.00		72.00		73.00		74.00		75.00		76.00		77.00		78.00		79.00		80.00		81.00		82.00		83.00		84.00		85.00		86.00		87.00		88.00		89.00		90.00		91.00		92.00		93.00		94.00		95.00		96.00		97.00		98.00		99.00		100.00	
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16. NAME		25.00		26.00		27.00		28.00		29.00		30.00		31.00		32.00		33.00		34.00		35.00		36.00		37.00		38.00		39.00		40.00		41.00		42.00		43.00		44.00		45.00		46.00		47.00		48.0																																																																																																									

Total Expenditure	Rs. A
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PARTIAL ONE-LINE DIAGRAM



CHECKED BY	CM
DRAWN BY	MAX
PHOTO CYCLE	06/27/21

ARC FLASH

POWER INTERRUPTION NOTICE

[illegible][illegible]

1. The first step is to identify the problem.

REFER TO ONE-LINE DIAGRAMS FOR WIRE SIZES.

[illegible]

1. The first step is to identify the problem.

[illegible]

1. The first step is to identify the problem.

Walmart
LAKE CITY, FL
2757 W US HIGHWAY 90
STORE NO. 0767-247
PACFO: 2216035
IN PROTO

ISSUE BLOCK

[illegible]

CHECKED BY	CM
DRAWN BY	MAX
PHOTO CYCLE	06/27/21

ARC FLASH

POWER INTERRUPTION NOTICE

TRADE-UP

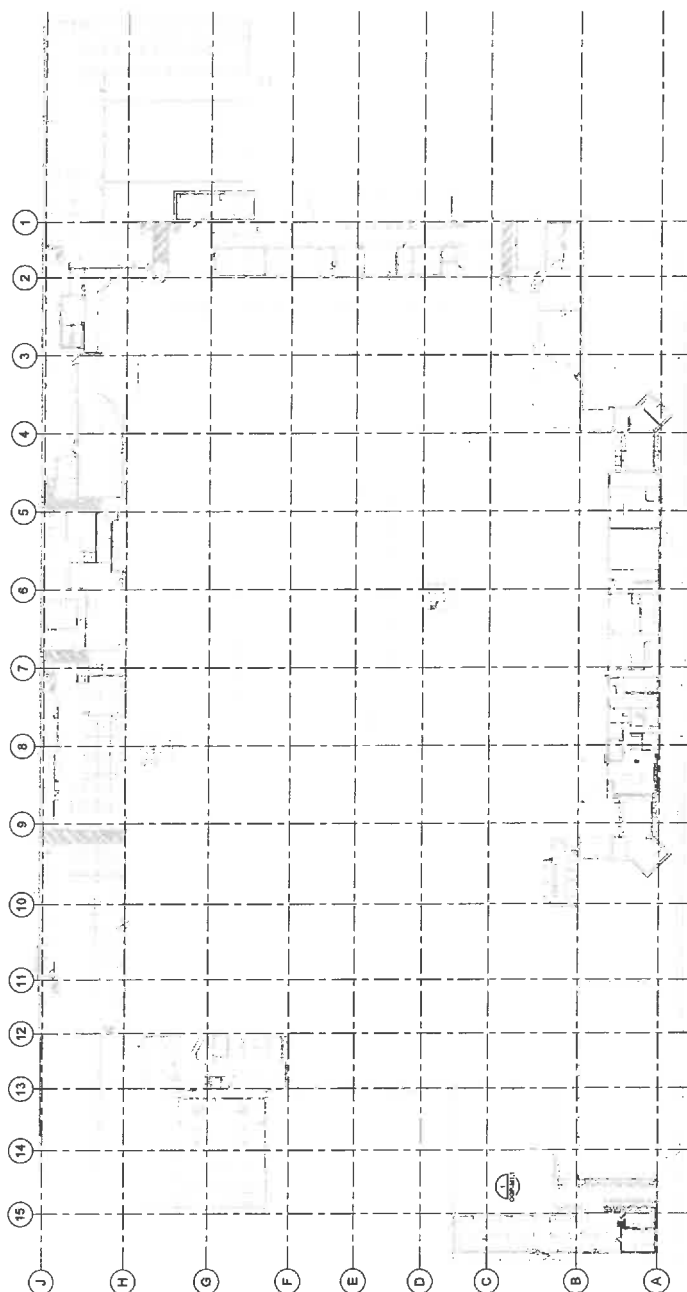
ONE LINE
DIAGRAM,
LIGHTING &
PANEL
SCHEDULE

OGPE1.3

GENERAL NOTES

GENERAL NOTES

- [illegible]



1 QGP OVERALL MECHANICAL PLAN

EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND MAY NOT REFLECT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. CONTRACTOR SHALL CAREFULLY COORDINATE NEW WORK AND MODIFICATION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.

EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT EXEMPT THEM FROM THE RESPONSIBILITY OF PERFORMING THE WORK PROPERLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.

18.72 COORDINATE DUCT PENETRATIONS THROUGH ROOF, AND ROUTING OF DUCTWORK WITH CONDUITS, FIRE PROTECTION PIPING, LIGHTS AND STRUCTURE.

STIMULATION FOR RELEASE

CONSULTANTS

Walmart
LAKE CITY, FL
2767 W US HIGHWAY 90
STORE NO: 02767247
2210355 PROTO
100 PROTO

ISSUE BLOCK

CHECKED BY:	JM
DRAWN BY:	HCM
PROTO CYCLE:	0622/21
EXPIRATION DATE:	11/22/21

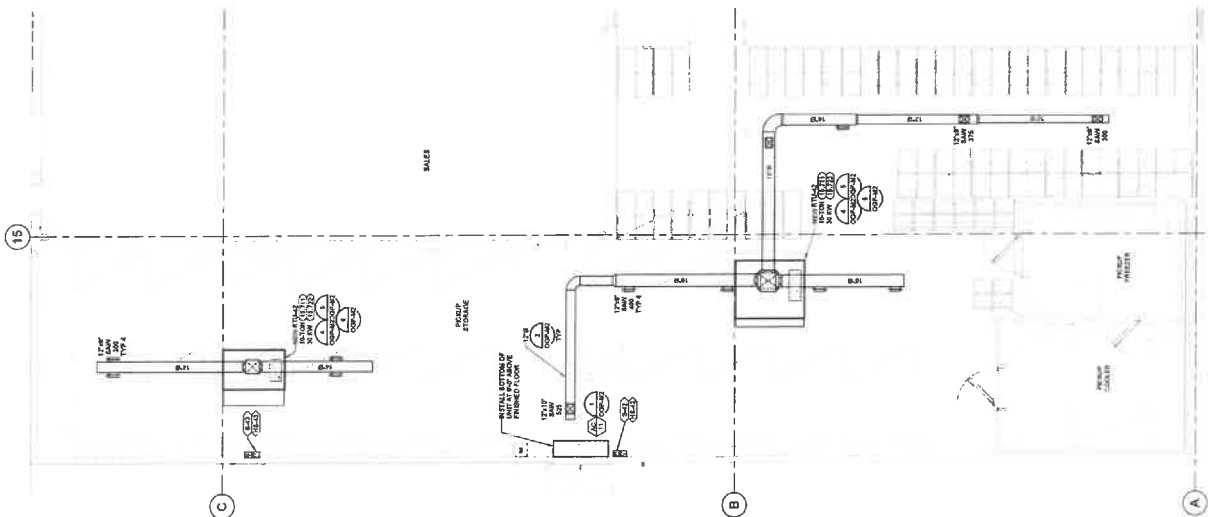
1. The first step is to identify the problem or question that needs to be answered. This involves understanding the context and the specific requirements of the task.



CODE

ENLARGED
MECHANICAL
PLANS

OGP-M1.1



OGP EXPANSION MECHANICAL PLAN

[illegible]

[illegible]

Walmart
LAKE CITY, FL
2267 W US HIGHWAY 90
STORE NO: 0767-247
01/01/12 09:10 AM
JOS. MARINER
01/01/12 09:10 AM

CONDENSATE DRAIN ASSEMBLY

DOWNSTREAM DOWNSTREAM

ROOF

HWT. 2

NOTE: INSTEAD OF HWT. 2 AS SHOWN, A2 FORMING

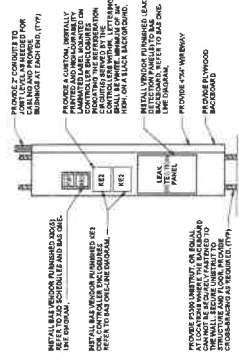
[illegible][illegible]

[illegible]

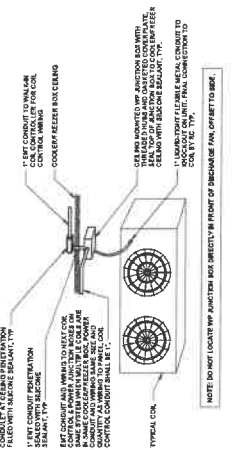
1 OGP OVERALL PLUMBING PLAN

EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BID. CONTRACTOR SHALL CAREFULLY COORDINATE NEW WORK AND DISMANTLING WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.

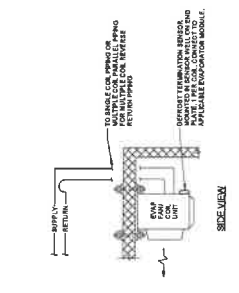
Each subcontractor is responsible for having a thorough knowledge of all drawings and specifications in their related field. The failure to acquaint themselves with this knowledge does not relieve the responsibility of performing the work properly. No additional compensation shall be allowed because of conditions that occur due to failure to



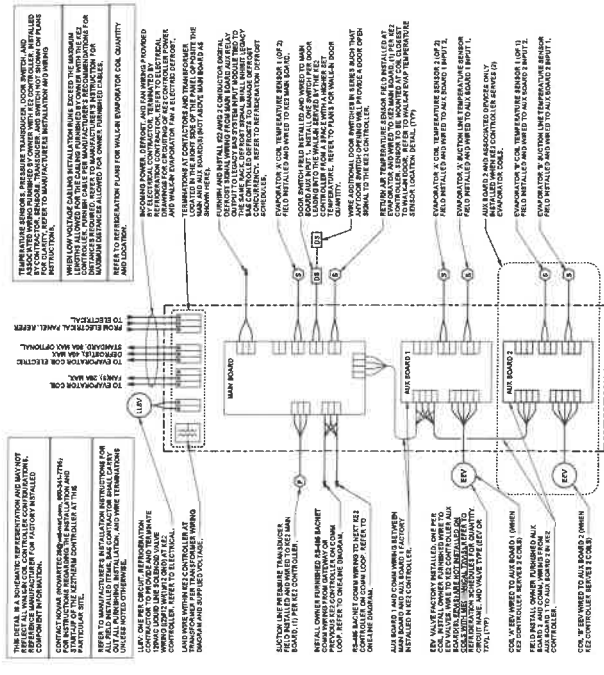
3 PICKUP LDP BAS BACKBOARD



4 EVAPORATOR COIL SENSOR WIRING PROVISIONS



5 WALK-IN EVAPORATOR DEEROAST TERMINATION SENSOR



2 WALK-IN CONTROLLER WIRING (KE2)

1 REFRIGERATION BAS ONE-LINE DIAGRAM

EACH SUBCONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL AUTHORITIES.

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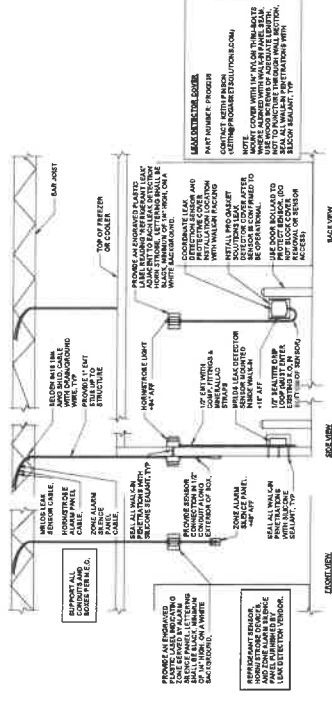
LEAK ALARM AND CONTROL SEQUENCE OF OPERATIONS

THE LEAK DETECTION CONTROL MODULE, UPON REGISTRATION A CONCENTRATION THAT IS AT VAPOR DETECTOR'S UPPER DETECTION LIMIT ON UPON ACTIVATION OF THE ANALOG GLASS SWITCH, WILL ALSO, AUTOMATICALLY SHUT OFF REFRIGERANT COMPRESSOR, REFRIGERANT PUMPS, AND NORMALLY CLOSED, AUTOMATIC REFRIGERANT VALVES LOCATED IN WAGNER NORMAL, REMOVABLE/ VISUAL, DEVICES IN BINE COOLERS AND FREEZER SHALL BE INSTALLED IN WEATHERPROOF, REACTION BOXES, REFERENCE LEAK DETECTOR INSTALLATION DETAIL.

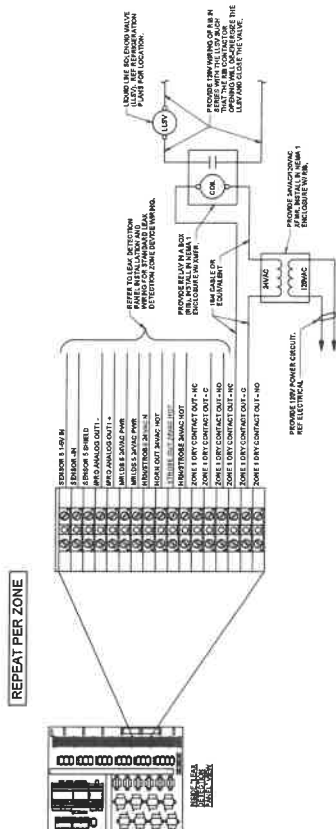
	LEGEND
REL	OCCUPATIONAL EXPOSURE (1987)
DOH	IMMEDIATELY DANGEROUS TO LIFE OR HEALTH
	TWA TIME WEIGHTED AVERAGE
	APL SOUND PRESSURE LEVEL
	LUVY LIQUID LINE SOLIDLINE VALVE
	EPRI: EVAPORATOR PRESSURE REGULATOR

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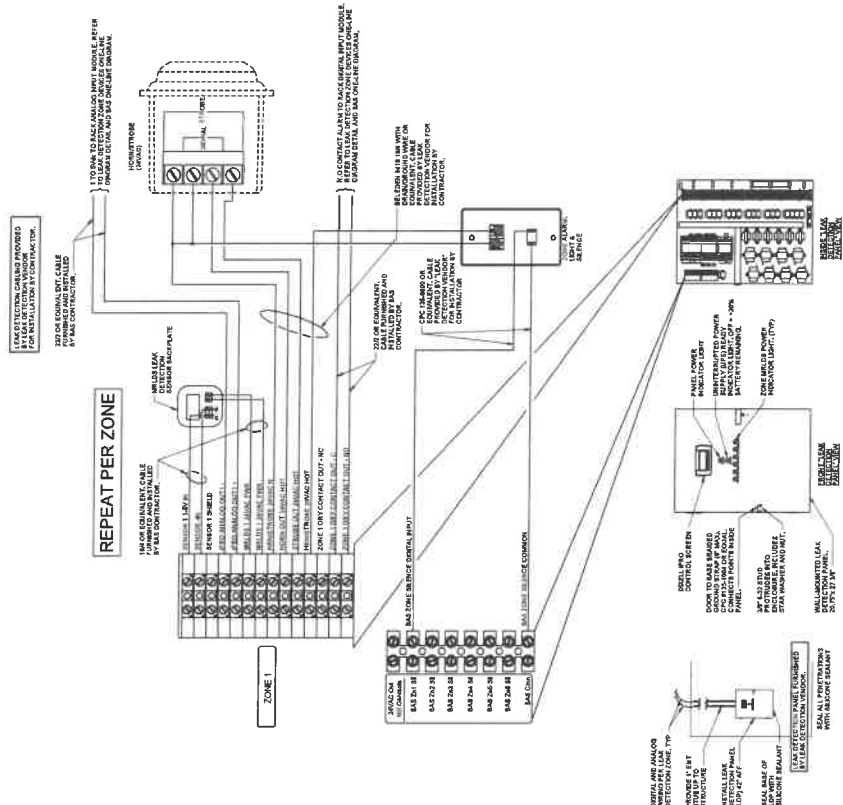


000-01-10



DATE

MTS



EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL DRAWINGS AND SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACQUAINT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THE RESPONSIBILITY OF PERSONS WHO DO THE WORK PROMPTLY. NO ADDITIONAL COMPENSATION SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO

EXISTING CONDITIONS WERE TAKEN FROM ORIGINAL DRAWINGS AND MAY NOT REFLECT EXACT "AS-BUILT" CONDITIONS. CONTRACTOR SHALL FIELD VERIFY ALL EXISTING CONDITIONS PRIOR TO SUBMITTING FINAL BIDS. CONTRACTOR SHALL FULLY COORDINATE NEW WORK, DEMOLITION WITH ALL OTHER DISCIPLINES AND EXISTING CONDITIONS.

[illegible]

EPA CLEAN AIR ACT

PIPING AND REFRIGERATION SCHEDULE SYMBOLS	
1	MOODY CRUISE OR PIPE LENGTH
2	NEW CASE, COIL, CIRCUIT OR VALVE
3	CHANGE EXISTING PIPE SIZE AS INDICATED ON NEW PIPE
4	PIPE SIZE IS SHOWN EVERYWHERE A PIPE IS NOT SPECIFIED, THIS IS FOR REFERENCE ONLY AND IS TO BE USED IN THE EVENT THAT A PIPING CONFLICT CAUSES THE NEED FOR A RISER. IF

REFRIGERATION SYMBOLS	
	CIRCUIT NUMBER MODEL NUMBER
	CLEANOUT (CO)
	CONDENSATE DRAIN LINE (CD)
	CONNECT TO EXISTING
	CONTINUATION

SYMBOL	DETAIL NUMBER	DETAIL REFERENCE
	DRILL NUMBER	
	EVAPORATOR COIL	
	ISOLATION VALVE	
	ELBOW - TURNED DOWN	
	ELBOW - TURNED UP	
	REFRIGERATION KEYNOTE REFERENCE (REFRIGERATION PIPING ABOVE)	
	REFRIGERATION PIPING (BELOW)	
	REFRIG PIPING CASE CONNECTION	
	EXISTING TO REMAIN	

[illegible]

PROFESSIONAL TO THE TWO COUNTY
REGISTRATION TO THE TWO COUNTY
BUILDING AUTOMATIC CONTROL SYSTEMS
GAMES, TO NEARWALMAY.COM, THE E-MAIL SHALL
AND HOW LONG IT WILL BE A BROUDDT
SEND A FOLLOW UP E-MAIL TO NEARWALMAY.COM
AFTER THE WORK IS COMPLETE AND THE SYSTEM IS
BACK UP AND RUNNING.

REFERENCE ARCHITECTURAL DRAWINGS FOR ALL NEW
CONSTRUCTION, INCLUDING LOCATION
OF UTILITIES. (TOP FED. VA. NOTION FEZ)

REFRIGERANT CONTRACTOR IS RESPONSIBLE FOR LEAKAGE
OF EXISTING REFRIGERATED CASES TO REMAIN.

ALL WORK ON THIS SHEET IS TO BE COMPLETED BY AN
OWNER'S APPROVED CONTRACTOR.

(TYPE)	TYPICAL
<h2 style="text-align: center;">GENERAL NOTES</h2> <p style="text-align: right;">Sheet # 2 of 2</p> <ol style="list-style-type: none"> 1. PLAN INDICATES GENERAL ROUTING OF REINFORCING UNITS WITH A SINGLE LINE SHOWING REINFORCING BOLD SUNCTION AND LIQUID LINE ROUTING FOR EACH SYSTEM. 2. REINFORCEMENT SYSTEM METALLIZATION SHALL BE IN COMPLETE CONFORMANCE WITH ALL REQUIREMENTS OF REINFORCEMENT EQUIPMENT MANUFACTURER. 	

15,000	15,000	15,000	15,000	15,000	15,000
1.	2.	3.	4.	5.	6.
<p>AT ALL POINTS WHERE THE LOWER DRAIN PROVIDES A SLOTTED LINE TRAP AT THE BASE OF THE RISER.</p> <p>PREVENT AIRTIGHT SEAL AROUND ALL PENNS AND BOIL PENETRATIONS THROUGH COOLER/FREEZER BOX WALLS OR CEILING.</p> <p>ROOF TO SUMP LINE WITH BOILS THROUGH GALVANIZED INSULATED SPANNING THREE ROOF PANELS. PREVENT DOUBLE DUTN ON EACH ROOF.</p> <p>CONDENSATE DRAIN PITCH DRAIN LINE DOWN APPROXIMATELY 1" PER 10' TOWARD DRAIN.</p> <p>INSULATE DRAIN LINE WITH CONDENSATE TAPE AND INSULATION ON BOTH CONDENSATE LINES EXPOSED TO FREEZING TEMPERATURES.</p> <p>REES INCHES FOR EVAPORATOR TYPES.</p>	<p>PREVENT AIRTIGHT SEAL AROUND ALL PENNS AND BOIL PENETRATIONS THROUGH COOLER/FREEZER BOX WALLS OR CEILING.</p> <p>ROOF TO SUMP LINE WITH BOILS THROUGH GALVANIZED INSULATED SPANNING THREE ROOF PANELS. PREVENT DOUBLE DUTN ON EACH ROOF.</p> <p>CONDENSATE DRAIN PITCH DRAIN LINE DOWN APPROXIMATELY 1" PER 10' TOWARD DRAIN.</p> <p>INSULATE DRAIN LINE WITH CONDENSATE TAPE AND INSULATION ON BOTH CONDENSATE LINES EXPOSED TO FREEZING TEMPERATURES.</p> <p>REES INCHES FOR EVAPORATOR TYPES.</p>	<p>PREVENT AIRTIGHT SEAL AROUND ALL PENNS AND BOIL PENETRATIONS THROUGH COOLER/FREEZER BOX WALLS OR CEILING.</p> <p>ROOF TO SUMP LINE WITH BOILS THROUGH GALVANIZED INSULATED SPANNING THREE ROOF PANELS. PREVENT DOUBLE DUTN ON EACH ROOF.</p> <p>CONDENSATE DRAIN PITCH DRAIN LINE DOWN APPROXIMATELY 1" PER 10' TOWARD DRAIN.</p> <p>INSULATE DRAIN LINE WITH CONDENSATE TAPE AND INSULATION ON BOTH CONDENSATE LINES EXPOSED TO FREEZING TEMPERATURES.</p> <p>REES INCHES FOR EVAPORATOR TYPES.</p>	<p>PREVENT AIRTIGHT SEAL AROUND ALL PENNS AND BOIL PENETRATIONS THROUGH COOLER/FREEZER BOX WALLS OR CEILING.</p> <p>ROOF TO SUMP LINE WITH BOILS THROUGH GALVANIZED INSULATED SPANNING THREE ROOF PANELS. PREVENT DOUBLE DUTN ON EACH ROOF.</p> <p>CONDENSATE DRAIN PITCH DRAIN LINE DOWN APPROXIMATELY 1" PER 10' TOWARD DRAIN.</p> <p>INSULATE DRAIN LINE WITH CONDENSATE TAPE AND INSULATION ON BOTH CONDENSATE LINES EXPOSED TO FREEZING TEMPERATURES.</p> <p>REES INCHES FOR EVAPORATOR TYPES.</p>	<p>PREVENT AIRTIGHT SEAL AROUND ALL PENNS AND BOIL PENETRATIONS THROUGH COOLER/FREEZER BOX WALLS OR CEILING.</p> <p>ROOF TO SUMP LINE WITH BOILS THROUGH GALVANIZED INSULATED SPANNING THREE ROOF PANELS. PREVENT DOUBLE DUTN ON EACH ROOF.</p> <p>CONDENSATE DRAIN PITCH DRAIN LINE DOWN APPROXIMATELY 1" PER 10' TOWARD DRAIN.</p> <p>INSULATE DRAIN LINE WITH CONDENSATE TAPE AND INSULATION ON BOTH CONDENSATE LINES EXPOSED TO FREEZING TEMPERATURES.</p> <p>REES INCHES FOR EVAPORATOR TYPES.</p>	<p>PREVENT AIRTIGHT SEAL AROUND ALL PENNS AND BOIL PENETRATIONS THROUGH COOLER/FREEZER BOX WALLS OR CEILING.</p> <p>ROOF TO SUMP LINE WITH BOILS THROUGH GALVANIZED INSULATED SPANNING THREE ROOF PANELS. PREVENT DOUBLE DUTN ON EACH ROOF.</p> <p>CONDENSATE DRAIN PITCH DRAIN LINE DOWN APPROXIMATELY 1" PER 10' TOWARD DRAIN.</p> <p>INSULATE DRAIN LINE WITH CONDENSATE TAPE AND INSULATION ON BOTH CONDENSATE LINES EXPOSED TO FREEZING TEMPERATURES.</p> <p>REES INCHES FOR EVAPORATOR TYPES.</p>

REFRIGERATION CONTRACTOR IS RESPONSIBLE FOR ALL FINAL REFRIGERATION ELECTRICAL TERMINATIONS TO REFRIGERATION EQUIPMENT.

VERIFY EXACT LOCATION OF ALL REFRIGERATED CASES WITH FINAL MERC-HANDS PLAN.

COORDINATE LOCATION OF REFRIGERATED CASES WITH PLUMBING CONTRACTOR PRIOR TO CUTTING OF FLOOR AND SETTING DRAIN S.

ALL EXISTING REFRIGERATED CASES ARE TO REMAIN UNLESS NOTED OTHERWISE.

4. **THICKNESS.** SPECIFICATION 15400 FOR INSULATION REQUIRES NOMINAL DIAMETER OF INSULATION SHALL MATCH PIPE DIAMETER TO MINIMIZE AIR GAPS BETWEEN INSULATION AND PIPE. THE MANUFACTURER'S FACTORY PRE-MANUFACTURED FITTINGS, ALL TAPS AND ELBOWS WHERE PRE-MANUFACTURED FITTINGS ARE UNAVAILABLE, WERE CUT ALL FITTINGS TO ENSURE PROPER SEAL BETWEEN INSULATION SEGMENTS.

[illegible]

REMOVE EXISTING REFRIGERATION EQUIPMENT NOT REQUIRED FOR REPLACEMENT, INCLUDING BUT NOT LIMITED TO REFRIGERATED CASES, WALLER COILS, ASSIGNED VALVES, REFRIGERATION AND CONDENSING UNITS, CONDENSING COILS, AND CONTROLS NOT BEING REUSED. REMOVE ALL EQUIPMENT WITH CONTRACTOR MANAGER. PATCH PENETRATIONS TO MATCH EXISTING. REFER TO ARCHITECTURAL DRAWINGS.

5. PIPE INSULATION SHALL BE BLACK REFRIGERATION R22 OF EXTRUDED INSULATION COLOR.
6. GOOD QUALITY REFRIGERATION DEMONSTRATION BEPUMPS WITH THE MANUFACTURER'S RECOMMENDED REFRIGERANT AND ARCHITECTURAL PLANS FOR REFRIGERATION EQUIPMENT DEMONSTRATION AND COOLER REPAIR AND REMODELING.
7. REFRIGERATION SYSTEM SHALL BE MADE OF RATIONAL DRAINING REFRIGERANT, DURING THE PHASING OF OLD TO NEW SYSTEMS, WITH NEW AND OLD REFRIGERATION SYSTEMS MAY BE REQUIRED TO OPERATE AT THE SAME TIME FOR A SHORT PERIOD.
8. WHERE NEW REFRIGERATED EQUIPMENT IS

15.017 PENETRATION REPAIR FOR UNIFORM FORCE ROOF STRUCTURE AS NECESSARY, WITH OPENING FOR THE REFRIGERATION PIPE PENETRATION AND SUPPLY ROOF CURB WITH PROPERLY FLASHED, NEW COVER REQUIRED FOR NEW PENETRATION. COORDINATE EXACT SIZE AND LOCATION OF ROOF PENETRATIONS WITH STRUCTURAL DRAWING.

15.037 REFRIGERATION CONTRACTOR SHALL INSTALL REFRIGERATION PIPING AND EQUIPMENT LEADING INTO AND LOCATED IN A SEPARATE ACCESSIBLE LOCATION AT CASE/EXHAUSTOR, INSTALL CONTRACT, WIRING FROM EXHAUSTOR VALVE BACK TO CIRCUIT CONTROLLER ON ROOF.

BJP TEAM @ VAL-BLAST.COM

10. REMOVE COPPER LINES, EVAPORATORS, AND CONDENSING UNITS FROM COOLERS/FREEZERS MAINLY REMOVED FROM THE UNIT. REMOVE WALL PANEL FRONT FOR THE LINE OF REPLACEMENT. REFERENCE SPECIFICATION FOR CONTACT INFORMATION.

SUBMITTALS, SCHEDULES AND BIDS PLANS FOR EXACT REQUIREMENTS, REFER TO SPECIFICATIONS FOR ASSET TAGGING REQUIREMENTS.

11. WALK-IN PANEL/VENDOR SHALL, PROPERLY PREPARE ALL COOLER/FREEZER PANELS, GLASS DOORS, SLIDERS OR SWING DOORS, PALLETIZE AND PREPARE THE EQUIPMENT TO SHIP-OUT SITE.
12. COORDINATE WITH LINE PROTECTION CONTRACTOR FOR THE REMOVAL OF SPINDLERS FOR ALL REMOVED DOOLEE/FREEZER BOXES.
13. COORDINATE WITH ELECTRICAL CONTRACTOR FOR THE REMOVAL OF ALL REMOVED COOLER/FREEZER BOXES ELECTRICAL WIRING DEVICES.
14. COORDINATE WITH EMB CONTRACTOR FOR THE REMOVAL OF ALL REMOVED COOL, EMP/FREEZER BOXES & ITS WIRING AND DEVICES.

15. EXISTING REFRIGERATION PIPING MAY BE REQUIRED UNLESS OTHERWISE NOTED ON PLANS. REFER TO SCHEDULES FOR PIPE SIZE REQUIREMENTS.
16. BUILDING COMPONENTS ASSIGNED BY THE SCOPE OF WORK SHALL BE SECURED TO PREVENT FALLS OR LOOSENING OR CREATING DAMAGE OF ANY KIND IN THE FUTURE.
17. IF ANY TRADES PERSONS WILL BE ORDERED TO ASSESS OR REPLACE GASES, A CONTRACTOR SHALL BE ORDERED TO REMOVE ALL GASES FROM THE SYSTEM AND PURGE WITH AIR 48 HOURS AFTER THE WORK IS COMPLETED AND ALL FINAL ADJUSTMENTS HAVE BEEN MADE. PROVIDE AND CHARGE (LUMP SUM) FOR PRESS COSES OR RATES FOR PATENTED BROWMAN OF STYLE PRATER AFTER 10% OF THE TOTAL CONTRACT VALUE. BE ADVISED THAT THIS RATE IS BASED ON THE RATE TO BE USED FOR WALK-IN REFRIG. CONTRACTORS TO

1

[illegible]

14. REFERS TO DISCOVERY OF ARCHITECTURAL CHANGES FOR ADDITIONAL WORK BY REFRIGERATION CONTRACTOR.
15. INITIAL ASSET TAG ON ALL NEW REFRIGERATED CASES AND COMPRESSOR THROTTLE VALVES. FOR INFORMATION, DELETE DEMOED ASSETS FROM ASSET TAGGING APPLICATION, REFER TO SPECIFICATIONS.
16. UPON STARTUP OF ALL NEW REFRIGERATED EQUIPMENT, REFRIGERATION CONTRACTOR SHALL REQUEST THE BUILDING PERFORMANCE REPORT FOR ALL RACES AND BUILDING GROUPS WHERE...

ON THE REPORT MUST BE CORRECTED PRIOR TO PROJECT CLOSE OUT. REQUEST VIA EMAIL AT 8PTEAM@WAL-MART.COM

EACH SUBCONTRACTOR IS RESPONSIBLE FOR HAVING A THOROUGH KNOWLEDGE OF ALL OF THE SPECIFICATIONS IN THEIR RELATED FIELD. THE FAILURE TO ACCOUNT THEMSELVES WITH THIS KNOWLEDGE DOES NOT RELIEVE THE RESPONSIBILITY OF PERFORMING THE WORK. CONSEQUENTLY, THE FAILURE OF A SUBCONTRACTOR SHALL BE ALLOWED BECAUSE OF CONDITIONS THAT OCCUR DUE TO FAILURE TO FAMILIARIZE WORKERS WITH THIS KNOWLEDGE.

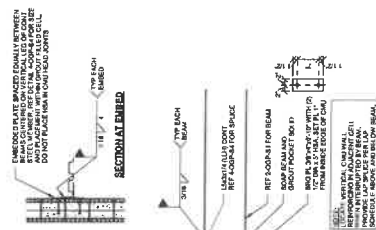
EXISTING CONDITIONS WERE TAKEN FROM
ORIGINAL DRAWINGS AND MAY NOT REFLECT
EXACT "AS-BUILT" CONDITIONS. CONTRACTOR
SHALL FIELD VERIFY ALL EXISTING CONDITIONS
AND SHALL CAREFULLY COORDINATE AND
CONSULTATION WITH ALL OTHER AGENCIES AND
EXISTING CONDITIONS.

IMPLEMENTATION PLAN

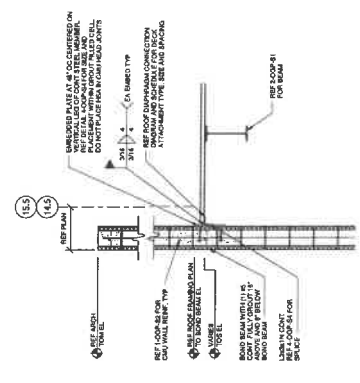
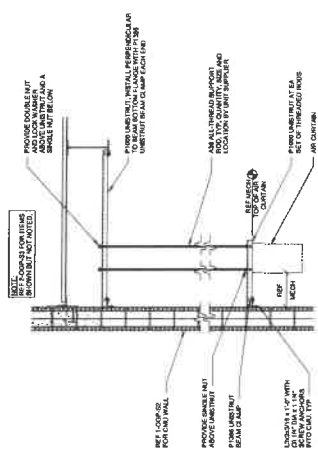
ON PICKUP REFRIGERA



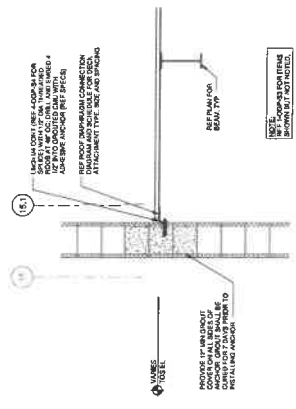
1 FRONT/REAR WALL SECTION



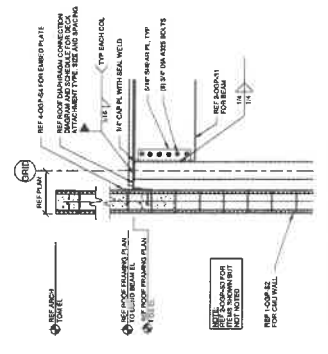
2 SIDE WALL SECTION AT PARAPET
3/4" = 1'-0"



3 ^{3/4" x 1 1/2"} EXISTING WALL SECTION AT MAIN BLDG



4 GIRDER TO PERIMETER COLUMN



1 TYPICAL MASONRY WALL OPENING DIAGRAM AND SCHEDULE
(EXTEND BAW THROUGH CONTROL JOINTS OR AROUND CORNER AS REQUIRED.)

2 CMU WALL REINFORCING DIAGRAM

3 ^{NTA} BASE PLATE AND ANCHOR BOLT DIAGRAM

File Attachments for Item:

vii. Site Plan Review - SPR-22-08 City of Lake City - West Fire Station



GROWTH MANAGEMENT
205 North Marion Ave.
Lake City, FL 32055
Telephone: (386)719-5750
E-Mail:
growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # SPR 22-08

Application Fee: **\$200.00**

Receipt No. _____

Filing Date _____

Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Lake City Fire Station 2
2. Address of Subject Property: 435 NW Hall of Fame Dr. Lake City, FL 32055
3. Parcel ID Number(s): 34-3S-16-02464-006
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: Commercial General
6. Acreage: 0.935 ac
7. Existing Use of Property: Library
8. Proposed use of Property: Fire Station
9. Type of Development (Check All That Apply):
 - ☐ Increase of floor area to an existing structure: Total increase of square footage _____
 - ☒ New construction: Total square footage 7,000 sf
 - ☐ Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status ☒ Owner (title holder) ☐ Agent
2. Name of Applicant(s): Paul Dyal Title: Interim City Manager
Company name (if applicable): City of Lake City
Mailing Address: 205 North Marion Ave
City: Lake City State: FL Zip: 32055
Telephone: (____) _____ Fax: (____) _____ Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
Property Owner Name (title holder): _____
Mailing Address: _____
City: _____ State: _____ Zip: _____
Telephone: (____) _____ Fax: (____) _____ Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property? **NO**
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☐ Yes ☐ No
Future Land Use Map Amendment: ☐ Yes _____ ☐ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes _____ ☐ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: ☐ Yes _____ ☐ No _____
Variance Application No. _____
Special Exception: ☐ Yes _____ ☐ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of ____, 20__, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Signature of Notary

Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

PROJECT INFORMATION

PROJECT NAME LAKE CITY FIRE STATION

OWNER CITY OF LAKE CITY

PROJECT LOCATION 311 NW HALL OF FAME DRIVE

CIVIL ENGINEER CHRISTOPHER A. GALT, P.E.

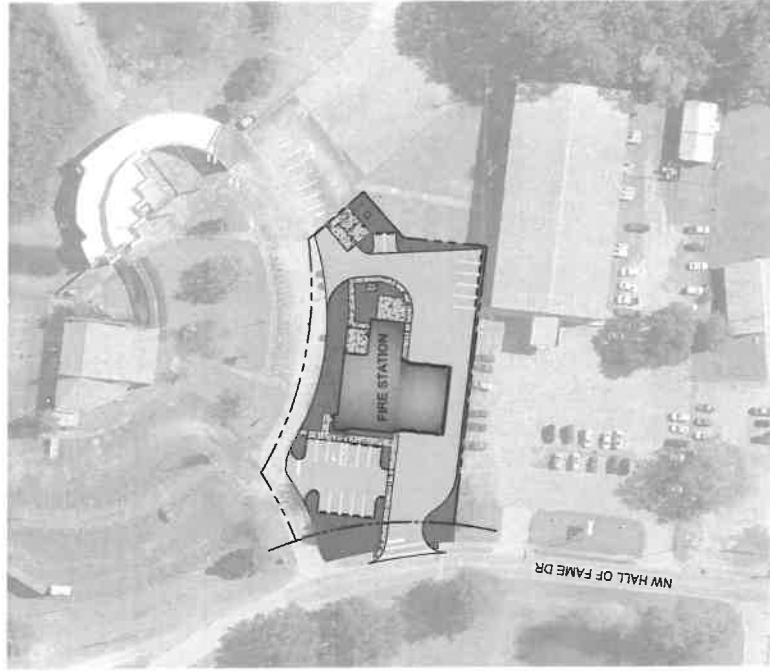
LANDSCAPE ARCHITECT JAMES M. BAKER, L.A.S.

EXISTING SITE PLAN

PROPOSED SITE PLAN

1 OF 1 BOUNDARY & TOPOGRAPHIC SURVEY

LAKE CITY FIRE STATION



SITE PLAN MAP



VICINITY MAP

SHEET INDEX

- C-000 COVER & SHEET INDEX
- C-001 LEGEND
- C-002 DEMONSTRATION CONTROL PLAN
- C-100 SITE & HORIZONTAL CONTROL PLAN
- C-200 GRADING, DRAINAGE & UTILITY PLAN
- C-250 UTILITY CONSTRUCTION DETAILS
- 1 OF 1 BOUNDARY & TOPOGRAPHIC SURVEY

LAKE CITY FIRE STATION #2

383 NW Hall of Fame Drive
LAKE CITY, FL 33505

KEY PLAN

DRAWING TITLE COVER & SHEET INDEX

PROJECT NO. WNL001 DRAWN BY: AS
CHECKED BY: CS

C000

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STANQUA.

CLEARANCE OR WHEN PARALLEL UTILITIES WITH WATER MAINS HAVE LESS THAN 10 FEET OF CLEARANCE.

WIKI

WILEY-INTERSCIENCE

LAKE CITY FIRE STATION #2

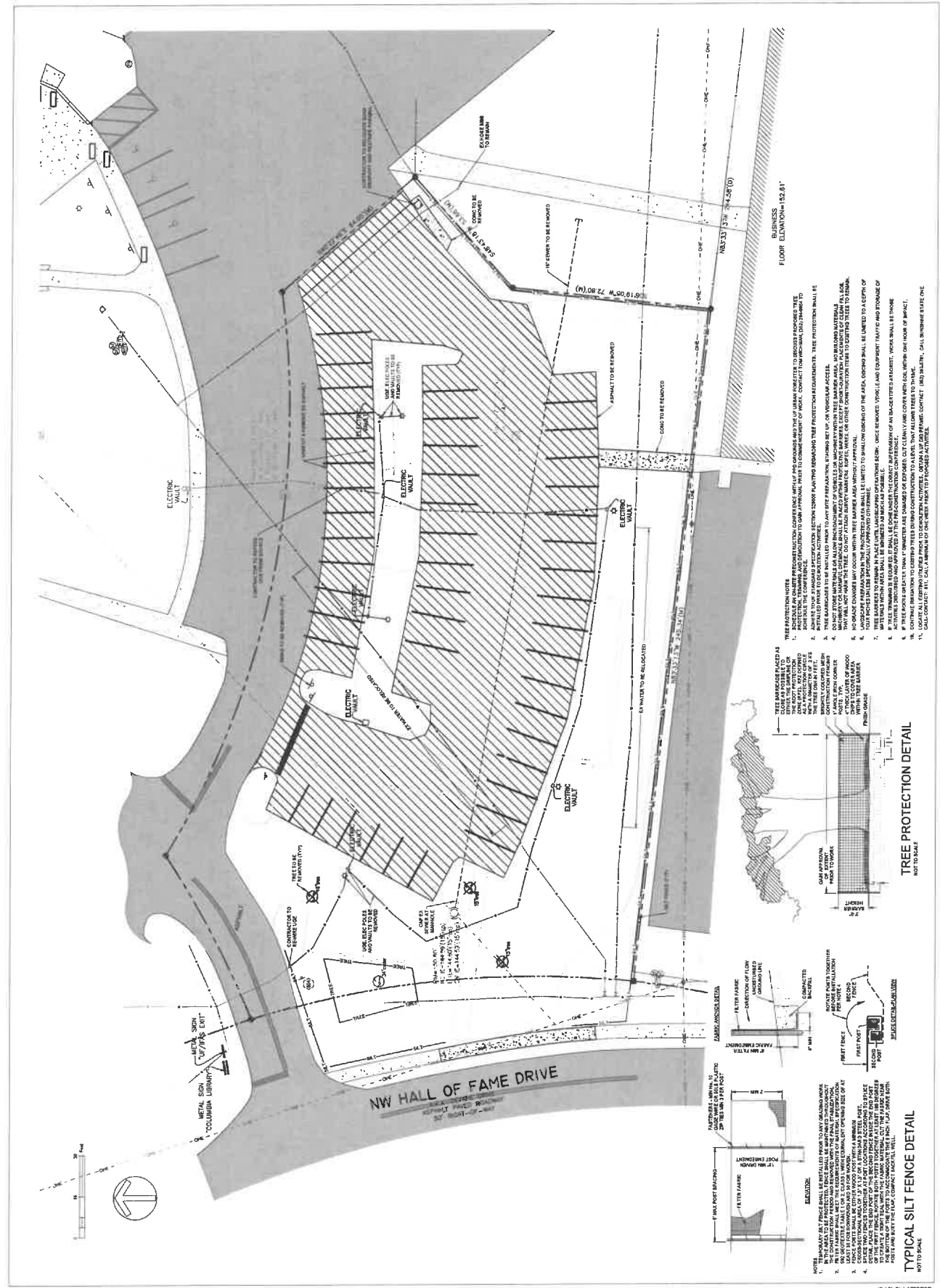
343 NW Hall of Fame Drive
Lake City, FL 32055

KEY PLAN

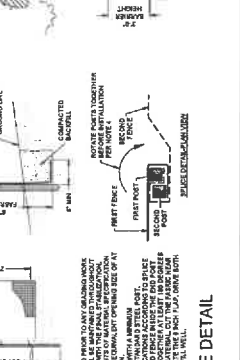
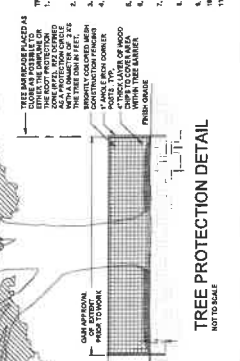
DEMOLITION & EROSION CONTROL PLAN

PROJECT NO. 1003021
DATE 11/10/2021
DRAWN BY
CHECKED BY
CDS

C050



- THE PROPOSED WORKS**
1. DEMOLITION OF EXISTING BUILDING AND REMOVAL OF ALL STRUCTURES AND MATERIALS TO BE REMOVED. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL REMAINING STRUCTURES AND MATERIALS.
 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ALL REMAINING STRUCTURES AND MATERIALS. THE PROTECTION SHALL BE AS FOLLOWS:
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LAKE CITY FIRE STATION #2

383 NW Hall of Fame Drive
Lake City, FL 32825

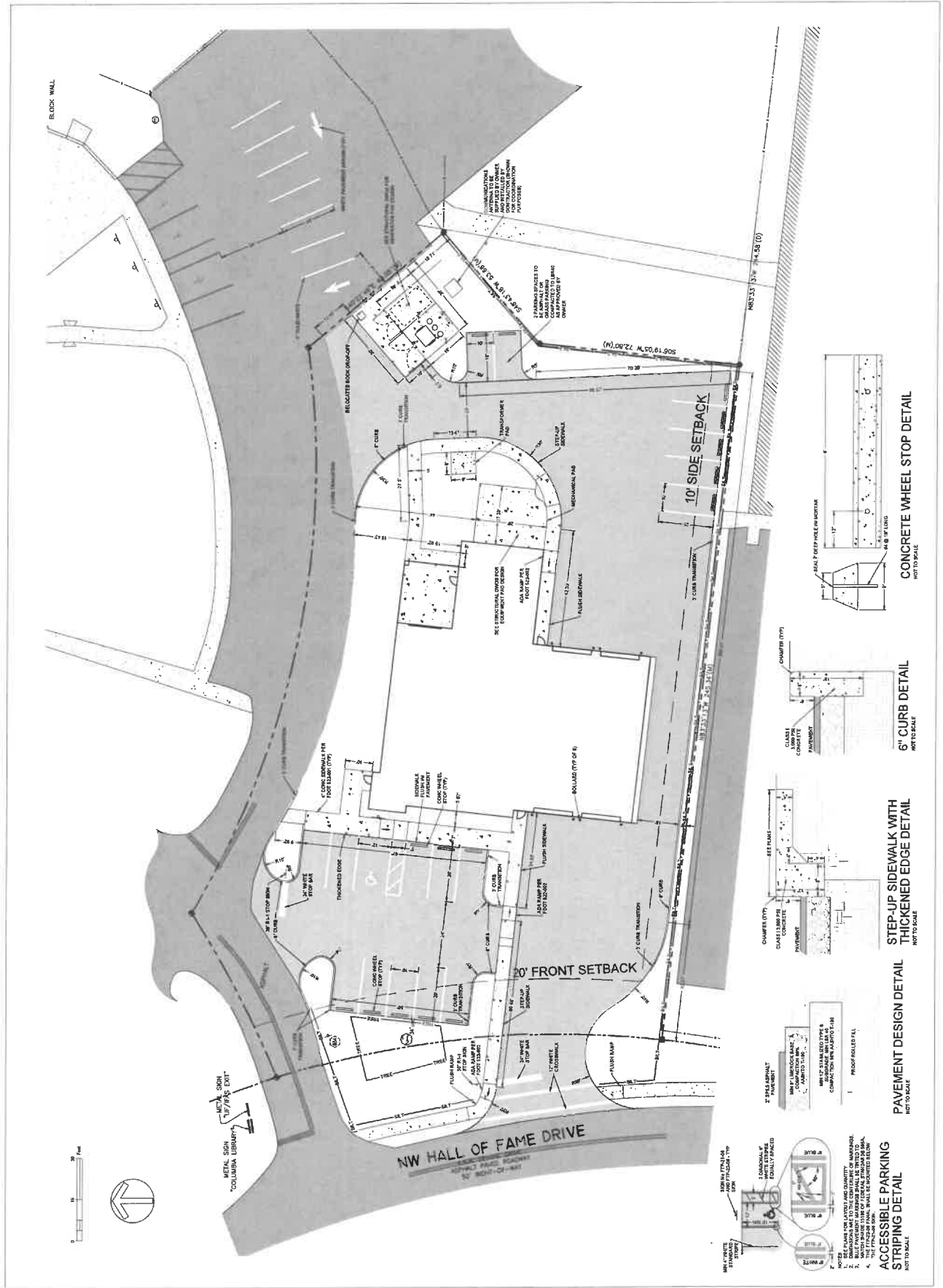
NET PLAN

DRAWING TITLE
SITE & HORIZONTAL
CONTROL PLAN

PROJECT NO. 10/2021 DRAWN BY: CO
CHECKED BY: CO

C100

10/2021



LAKE CITY FIRE STATION #2

383 NW Hall of Fame Drive
Lake City, FL 32095

KEY PLAN

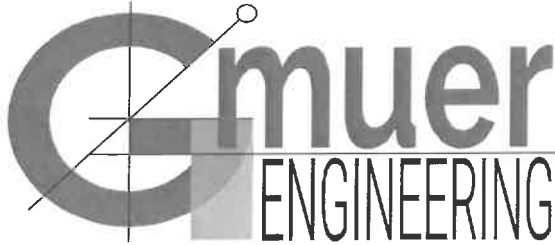
DRAWING TITLE
GRADING, DRAINAGE &
UTILITY PLAN

PROJECT NO.: 1100001
DRAWN BY: J. J. JONES
CHECKED BY: J. J. JONES

C200

11/11/2021





2603 NW 13th St, Box 314
Gainesville, FL 32609
Ph. (352) 281-4928

gmuereng.com

Stormwater Caculations

for

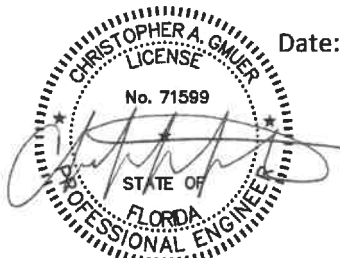
Lake City Fire Station 2

PID# 34-3S-16-02464-006
383 NW HALL OF FAME DRIVE
LAKE CITY, FL 32055

Prepared for
Lake City

Date: October 19, 2021

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This item has been electronically signed and sealed by
Christopher A. Gmuer, PE, using a SHA authentication code.

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Project Description

The project is located on the site of the Columbia County Library West Branch. The project proposes to remove a portion of the existing parking lot and construct a fire station for Lake City.

Pre-Development Drainage Narrative

The site was previously permitting with the SRWMD under ERP 202941-1 as the Florida Sports Hall of Fame. The site consisted of several buildings, parking areas, and a pair of stormwater management facilities joined by an equalizer pipe. Not all of the proposed impervious area was constructed consisting of a large building and adjacent drive isles.

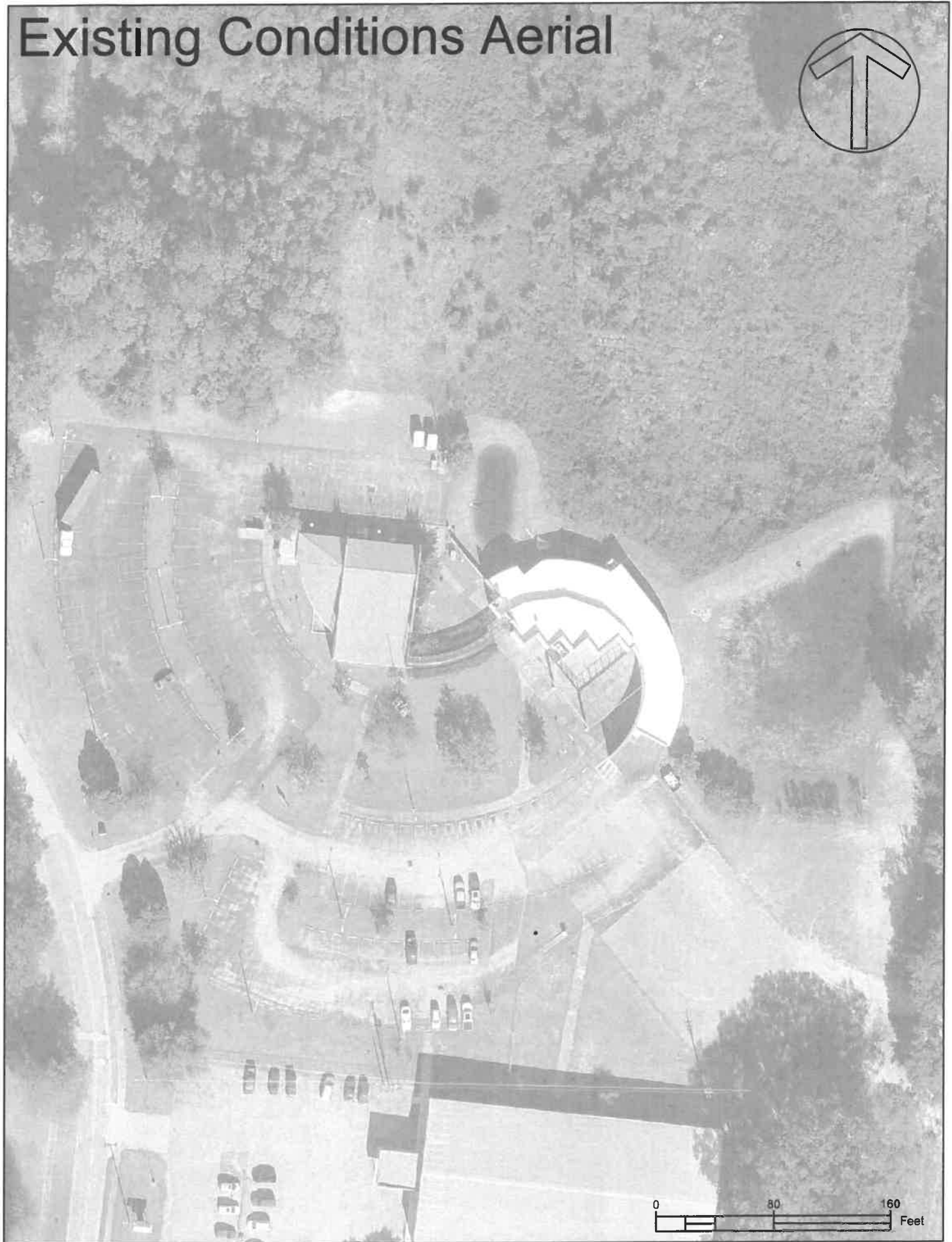
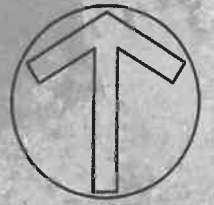
Post-Development Drainage Narrative

The proposed project will demolish a portion of the existing parking lot to make room for the proposed fire station. The drainage patterns and pipes will be maintained. The proposed impervious area is compensated by the existing parking being demolished and a portion of the permitted impervious area that was never constructed. The impervious areas are shown in the calculations below and in the attached Exhibits.

Impervious Area Calculations

	Sq Ft	Acres
Permitted but Not Constructed	-26,640	-0.6116
Demolished Parking Lot	-19,004	-0.4363
Net Imp Capacity	-45,644	-1.0478
Proposed Fire Station 2	30,820	0.7075
Net Proposed Impervious Area	-14,824	-0.3403

Existing Conditions Aerial

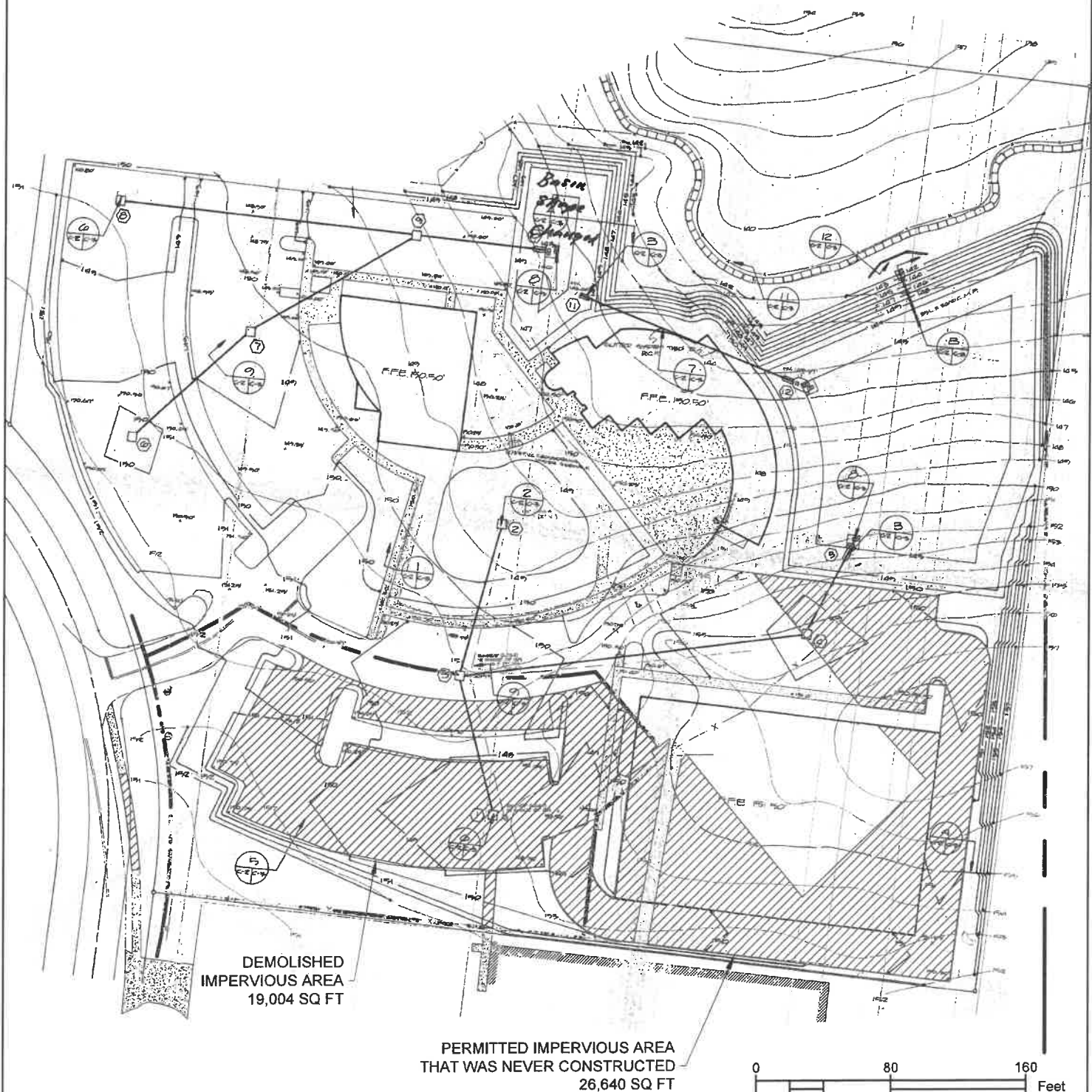
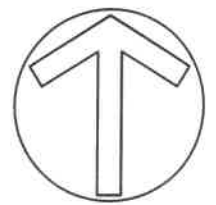


0 80 160 Feet

Lake City Fire Station 2

Pre Development

Impervious Area



Lake City Fire Station 2

Post Development

Impervious Area

