

# PLANNING AND ZONING BOARD MEETING

CITY OF LAKE CITY  
January 03, 2024 at 5:30 PM  
Venue: City Hall

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## AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

### INVOCATION

### ROLL CALL

### MINUTES

- [i.](#) **Meeting Minutes:** December 5, 2023

### OLD BUSINESS- None

### NEW BUSINESS

- [ii.](#) **SPR23-15**, Petition submitted by Jennifer Yarbrough and Ron Crump. (agent) for Citadel Holding Company I LLC (owner), for a Site Plan Review for Lake City Self Storage, in the Commercial Intensive Zoning District, and located on parcel 05846-000, which is regulated by the Land Development Regulations section 4.13.
- [iii.](#) **SPR24-01**, Petition submitted by Brandon Stubbs. (agent) for Real Terrace LLC (owner), for a Site Plan Review for Clearsky, in the Commercial Intensive Zoning District, and located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013, which is regulated by the Land Development Regulations section 4.13.
- [iv.](#) **LDR 24-01**, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required
- [v.](#) **LDR 24-02**, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of a petitioned property.

### WORKSHOP- None

## **ADJOURNMENT**

### **YouTube Channel Information**

Members of the public may also view the meeting on our YouTube channel at:  
<https://youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

**File Attachments for Item:**

**i. Meeting Minutes:** December 5, 2023

# PLANNING AND ZONING

## MEETING MINUTES

**DATE:** 12/05/2023

### ROLL CALL:

Mrs. McKellum- Present	Mr. McMahon- Present	Mr. Nelson- Not Present
Mr. Carter- Present	Mr. Lydick- Present	

**MINUTES:** November 07, 2023 Planning and Zoning Meeting.

**Comments or Revisions:** None

**Motion to approve 11/07/2023 Meeting Minutes by Mr. Carter and seconded by Mrs. McKellum.**

**OLD BUSINESS:** None

### NEW BUSINESS:

**Petition # Z23-08 Presented By:** Anthony Brown of JB Pro, as Agent  
**As owner or agent and gives address of:** 3530 NW 43<sup>rd</sup> St, Gainesville, FL  
**Petitioner is Sworn in by:** Mr. Lydick

### Discussion:

Robert Introduced the petition. Robert stated that the applicant is petitioning to change the zoning from Commercial General and Commercial Intensive to Commercial Highway Interchange. Robert stated that the property is contiguous to the Commercial Highway Interchange zoning district.

Mr. Brown stated that the developer wants to develop this property into an RV Park. He stated that it is conveniently located near US Hwy 90 and I-75. He stated that this is also the ideal area for the commercial Highway Interchange. He stated that they know they will have to work on storm water.

Barbara Lemley said that she is concerned with the road and the access. She asked if they would need to do any upgrades. Mr. Lydick asked the proponent if they are going to do a detailed traffic study to see if they would need to do any upgrades to Commerce Drive. Mr. Brown confirmed that they would and they understand they may need to put in a turn lane.

Jim Zuber stated they are cautiously in supportive of the rezoning. He stated that they think the City and the County need to work together to address issues with the roads in the area. He stated that they are concerned with the amount of buffer required in that zoning district and thinks there needs to be more. He said that they need to put up a fence. He also stated that they are concerned with where they access to the property may be due to the entrance to their property abuts the property line.

Mr. Brown said that they agree with Mr. Zuber's comments. He stated that they would be happy to work with Mr. Zuber on the buffering of the property and a possible fence.

**Motion to close public comment by:** Mr. Carter **Seconded by:** Mr. McMahon

**Motion to Approve Z23-08 as submitted by:** Mr. Carter **Motion Seconded By:** Mrs. McKellum

<b>Mrs. McKellum:</b> Aye	<b>Mr. Nelson:</b> Absent	<b>Mr. McMahon:</b> Aye
<b>Mr. Carter:</b> Aye	<b>Mr. Lydick:</b> Aye	

# PLANNING AND ZONING

## MEETING MINUTES

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**Petition # CPA23-07 and Z23-09 Presented By:** Carol Chadwick P.E., as Agent  
**As owner or agent and gives address of:** 1208 SW Fairfax Glen, Lake City, FL  
**Petitioner is Sworn in by:** Mr. Lydick

**Discussion:**

Robert Introduced the petition. Robert stated that the applicant is petitioning to change the zoning from Residential Office and Residential Multi-Family-1 to Commercial Intensive and change the Future Land Use from Residential Medium to Commercial. Robert stated that the property is contiguous to a Commercial Intensive zoning district. Robert stated that the property abuts a residential district and will require a landscape buffer.

Carol Chadwick stated that they are looking to rezone this property to develop it. She stated that they property would not be developed as residential due to the size. She stated that they are looking to put in a small retail development. She stated that the ingress/egress would need to come in off of Faith Rd.

**Motion to close public comment by:** Mr. Carter **Seconded by:** Mr. McMahon

**Motion to Approve CPA23-07 as submitted by:** Mr. Carter **Motion Seconded By:** Mrs. McKellum

**Mrs. McKellum:** Aye    **Mr. Nelson:** Absent    **Mr. McMahon:** Aye

**Mr. Carter:** Aye    **Mr. Lydick:** Aye

**Motion to Approve Z23-09 as submitted by:** Mr. Carter **Motion Seconded By:** Mr. McMahon

**Mrs. McKellum:** Aye    **Mr. Nelson:** Absent    **Mr. McMahon:** Aye

**Mr. Carter:** Aye    **Mr. Lydick:** Aye

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**Petition # SD23-04 Presented By:** Carol Chadwick P.E., as Agent  
**As owner or agent and gives address of:** 1208 SW Fairfax Glen, Lake City, FL  
**Petitioner is Sworn in by:** Mr. Lydick

**Discussion:**

Robert Introduced the petition. Robert stated that the applicant is looking for an approval for their preliminary plat. Robert stated that once the plat is approved, then the plat will need construction plans submitted, then a final plat submitted then then final plat will be heard by the City Council.

Carol Chadwick stated that the property is already zoned multi-family and that they have met all requirements of the Land Development Regulations. Mr. McMahon asked how many units and Carol explained the layout.

**Public Discussion;**

**The following citizens expressed concerns about the project;** Nancy Rogers, Debra Charles, Dan Gerner, Janey Wilson, Brad Bullard, Jeffery Patrick, Jerimiah Mc, Bryan Wilson, Rebecca Morgan, and Coal Ward

# PLANNING AND ZONING

## MEETING MINUTES

They expressed concerns about traffic, only one way in and one way out, veterans ride their scooters on the road, wait time when pulling out onto Baya Drive, storm drains, when it rains what covers part of the road, adding more cars to the current problem, people speed on road, springs coming up near road, multi-family will drive down value of property, Indian artifacts found in the area, and the City needs a plan to grow.

Nancy Rogers introduced 32 pictures as exhibit A to evidence.

**The following people spoke for the project;** Dylan Adams and Sylvester Warren

They stated that there is no housing in Lake City, you cannot find rentals in the area, today's meeting is about moving of lot lines, need to change the Land Development Regulations to allow growth, and Lake City has a housing crisis.

**Motion to close public comment by:** Mr. Carter **Seconded by:** Mr. McMahon

Mr. McMahon asked about the Indian Artifacts. Mr. Lydick stated that depending on whether they are getting state dollars would depend on the steps needed to address concerns about the artifacts.

**Motion to Approve SD23-04 as submitted by:** Mr. Carter **Motion Seconded By:** Mrs. McKellum

**Mrs. McKellum:** Aye    **Mr. Nelson:** Absent    **Mr. McMahon:** Aye

**Mr. Carter:** Aye    **Mr. Lydick:** Aye

**WORKSHOP:** None

### ADJOURNMENT

**Mr. Lydick closed the meeting.**

**Motion to Adjourn by:** Mr. Carter

**Time:** 7:07 pm

**Motion Seconded By:** Mrs. McKellum

\_\_\_\_\_  
**Mr. Lydick, Board Chairperson**

\_\_\_\_\_  
**Date Approved**

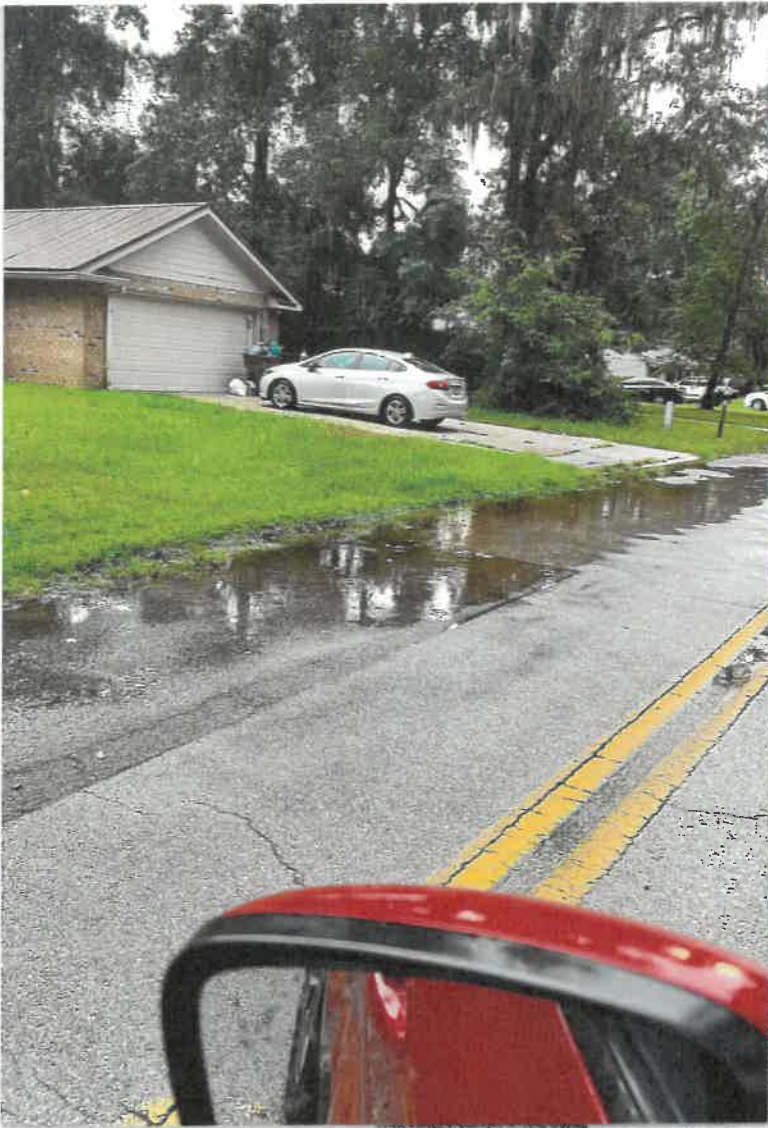
\_\_\_\_\_  
**Robert Angelo, Secretary**

\_\_\_\_\_  
**Date Approved**







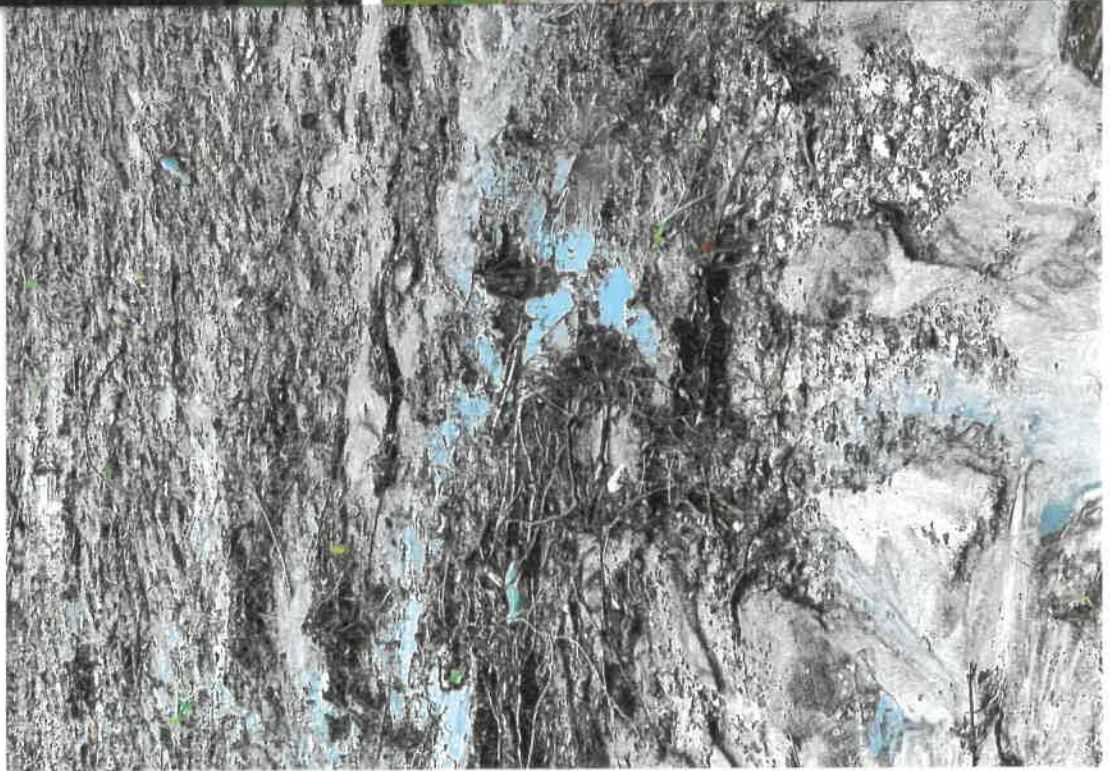




















**File Attachments for Item:**

ii. **SPR23-15**, Petition submitted by Jennifer Yarbrough and Ron Crump. (agent) for Citadel Holding Company I LLC (owner), for a Site Plan Review for Lake City Self Storage, in the Commercial Intensive Zoning District, and located on parcel 05846-000, which is regulated by the Land Development Regulations section 4.13.



**GROWTH MANAGEMENT**  
 205 North Marion Ave.  
 Lake City, FL 32055  
 Telephone: (386)719-5750  
 E-Mail:  
 growthmanagement@lcfla.com

**FOR PLANNING USE ONLY**  
 Application # SR23-15  
 Application Fee: **\$200.00**  
 Receipt No. 2024-00013923  
 Filing Date 11/29/23  
 Completeness Date \_\_\_\_\_

# Site Plan Application

## A. PROJECT INFORMATION

1. Project Name: Lake City Self Storage
2. Address of Subject Property: 1115 NW Lake Jeffrey Rd. Lake City FL 32055
3. Parcel ID Number(s): 30-3S-17-05846-000
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: CI (Commercial Intensive)
6. Acreage: 0.98 +/- acre
7. Existing Use of Property: Undeveloped
8. Proposed use of Property: Self Storage
9. Type of Development (Check All That Apply):
  - Increase of floor area to an existing structure: Total increase of square footage \_\_\_\_\_
  - New construction: Total square footage 18,000 sf
  - Relocation of an existing structure: Total square footage \_\_\_\_\_

## B. APPLICANT INFORMATION

1. Applicant Status  Owner (title holder)  Agent
2. Name of Applicant(s): Ron Crump & Jennifer Yarbrough Title: Civil Engineer & Project Coordinator  
 Company name (if applicable): Contineo Group  
 Mailing Address: 755 Commerce Drive Suite 800  
 City: Decatur State: GA Zip: 30030  
 Telephone: (310) 902-3455 Fax: (    ) \_\_\_\_\_ Email: jennifery@thecontineogroup.com

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*:  
 Property Owner Name (title holder): Citadel Holding Company I LLC – Charles Stringham  
 Mailing Address: 726 Somerset Landing Lane  
 City: League City State: TX Zip: 77573  
 Telephone: (386) 292-5494 Fax: (    ) \_\_\_\_\_ Email: info@lakecityselfstorage.com

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

**C. ADDITIONAL INFORMATION**

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: \_\_\_\_\_  
If yes, is the contract/option contingent or absolute:     Contingent     Absolute
- 2. Has a previous application been made on all or part of the subject property?  Yes     No  
Future Land Use Map Amendment:     Yes \_\_\_\_\_     No \_\_\_\_\_  
Future Land Use Map Amendment Application No. \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning):  Yes \_\_\_\_\_  No \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance:  Yes \_\_\_\_\_  No \_\_\_\_\_  
Variance Application No. \_\_\_\_\_  
Special Exception:     Yes \_\_\_\_\_     No \_\_\_\_\_  
Special Exception Application No. <sup>SE23-06</sup> \_\_\_\_\_

**D. ATTACHMENT/SUBMITTAL REQUIREMENTS**

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
  - a. Name, location, owner, and designer of the proposed development.
  - b. Present zoning for subject site.
  - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
  - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
  - e. Area and dimensions of site (Survey).
  - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - g. Access to utilities and points of utility hook-up.
  - h. Location and dimensions of all existing and proposed parking areas and loading areas.
  - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
  - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
  - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
  - l. Location of trash receptacles.
  - m. For multiple-family, hotel, motel, and mobile home park site plans:
    - i. Tabulation of gross acreage.
    - ii. Tabulation of density.
    - iii. Number of dwelling units proposed.
    - iv. Location and percent of total open space and recreation areas.
    - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
  - vii. Number of proposed parking spaces.
  - viii. Street layout.
  - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
    - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
    - b. Proposed finished elevation of each building site and first floor level.
    - c. Existing and proposed stormwater management facilities with size and grades.
    - d. Proposed orderly disposal of surface water runoff.
    - e. Centerline elevations along adjacent streets.
    - f. Water management district surface water management permit.
  4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
  5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
  6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
  7. Legal Description with Tax Parcel Number (In Word Format).
  8. Proof of Ownership (i.e. deed).
  9. Agent Authorization Form (signed and notarized).
  10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
  11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Ron Crump

Applicant/Agent Name (Type or Print)

[Handwritten Signature]

Applicant/Agent Signature

11/20/2023

Date

Applicant/Agent Name (Type or Print)

\_\_\_\_\_

Applicant/Agent Signature

Date

STATE OF ~~FLORIDA~~ Georgia  
COUNTY OF ~~Dekalb~~

The foregoing instrument was acknowledged before me this 20 day of November, 2023, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

[Handwritten Signature]

Signature of Notary

Erica N. Bruce

Printed Name of Notary

Personally Known X OR Produced Identification \_\_\_\_\_  
Type of Identification Produced

City of Lake City – Growth Management Department  
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750



**Columbia County Property Appraiser** Jeff Hampton | Lake City, Florida | 386-758-1083

**PARCEL: 30-3S-17-05846-000 (25935) | VACANT (0000) | 1 AC**  
 COMM SW COR OF SE1/4 OF NW1/4, RUN E 326.7 FT, N 1.88 FT TO N R/W C-250 FOR POB, CONT N 210 FT, E 200 FT, S 212.27 FT, W ALONG R/W 200 FT TO POB, 519

**CITADEL I HOLDING COMPANY LLC**  
 Owner: 726 SOMERSET LANDING LANE  
 LEAGUE CITY, TX 77573  
 Site: 1115 NW LAKE JEFFERY RD, LAKE CITY  
 Sales: 8/8/2018 \$100 1 (U)  
 10/23/2014 \$269,000 1 (U)  
 Info: 7/25/2012 \$100 1 (U)

**2024 Working Values**

Mkt Lnd	\$13,000	Appraised	\$13,000
Ag Lnd	\$0	Assessed	\$13,000
Bldg	\$0	Exempt	\$0
XFOB	\$0		
Just	\$13,000	Total	county:\$13,000
		Taxable	city:\$13,000
			other:\$0
			school:\$13,000

**NOTES:**



This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. [GrizzlyLogic.com](http://GrizzlyLogic.com)











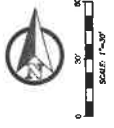
LAKE CITY SELF STORAGE  
 1143 NW LAKE JEFFERY RD.  
 LAKE CITY, FL 32055  
 INFO@LAKECITYSELFSTORAGE.COM

LAKE CITY SELF STORAGE  
 ISSUED FOR: CONCEPT PLAN  
 JURISDICTION: CITY OF LAKE CITY  
 LOCATION: 1115 NW LAKE JEFFERY RD.  
 LAKE CITY, FL 32055

NO.	DATE	REVISIONS

DRAWN:	CHECK:	EGS
KK		
JOB NO:	DATE:	
23-245	11/13/23	

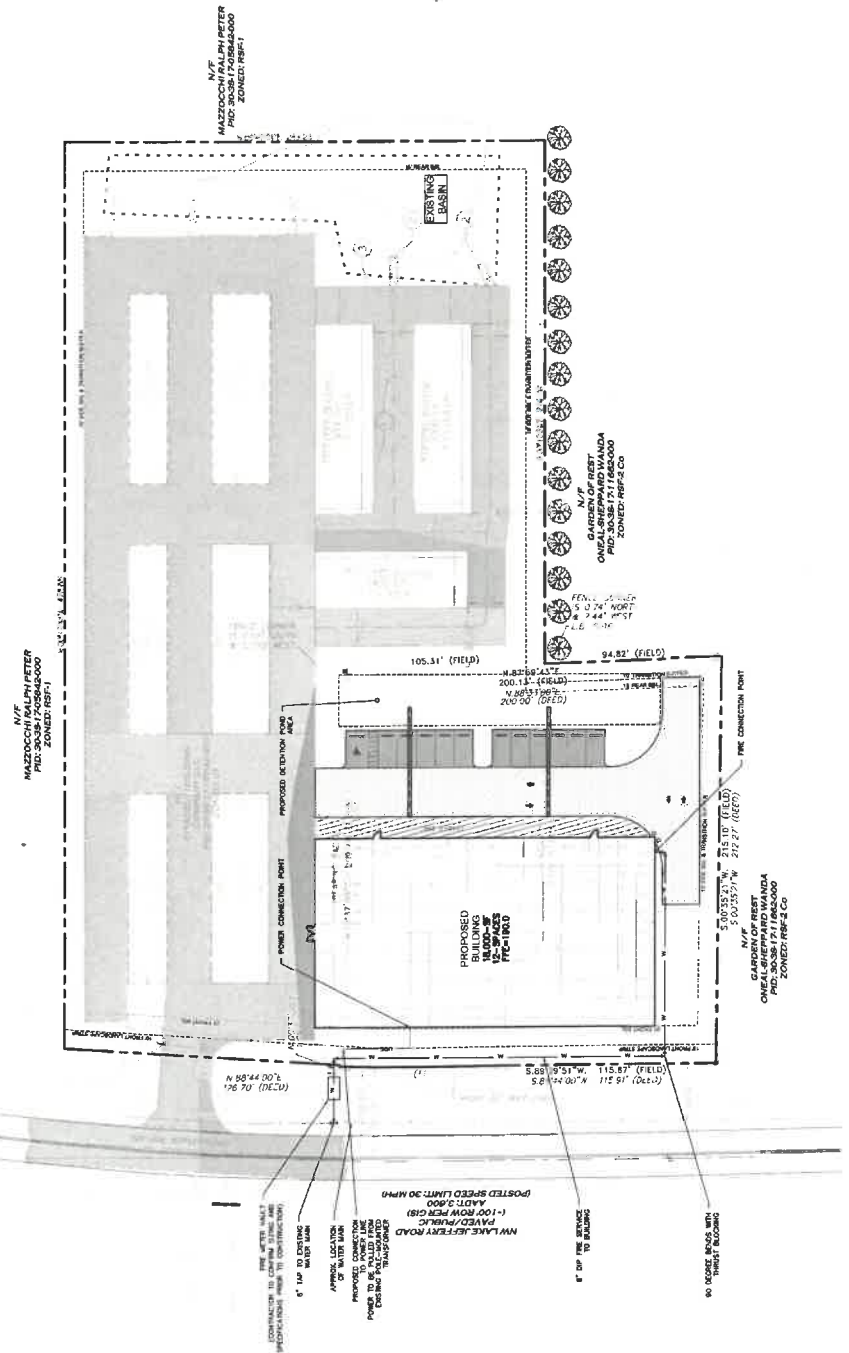
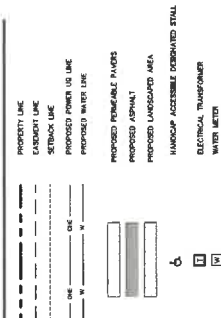
UTILITY PLAN  
 SHEET: C400



**UTILITY NOTES**

1. REFER TO THE CITY OF LAKE CITY PLANNING DEPARTMENT FOR ALL UTILITIES INFORMATION. THE CITY OF LAKE CITY PLANNING DEPARTMENT WILL PROVIDE A UTILITY RECORD DRAWING TO THE CONTRACTOR. THE CONTRACTOR SHALL VERIFY THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR ANY UTILITIES CROSSING STATE ROUTE 17.
2. ALL UTILITIES SHALL BE DEPTH MARKED AND COLOR CODED IN ACCORDANCE WITH THE CITY OF LAKE CITY UTILITIES RECORD DRAWING. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF LAKE CITY AND THE FLORIDA DEPARTMENT OF TRANSPORTATION (FDOT) FOR ANY UTILITIES CROSSING STATE ROUTE 17.
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**UTILITY LEGEND**







FINAL  
EROSION  
SHEET C502

DRAWN: KK  
CHECK: EGS  
JOB NO: 23-245  
DATE: 11/15/23

#	DATE	REVISIONS

LAKE CITY SELF STORAGE  
ISSUED FOR CONCEPT PLAN  
CITY OF LAKE CITY  
LOCATION: 1115 NW LAKE JEFFERY RD.  
LAKE CITY, FL 32055

LAKE CITY SELF STORAGE  
C/O CHUCK STRINGHAM  
1143 NW LAKE JEFFERY RD.  
LAKE CITY, FL 32055  
INFO@LAKECITYSELFSTORAGE.COM



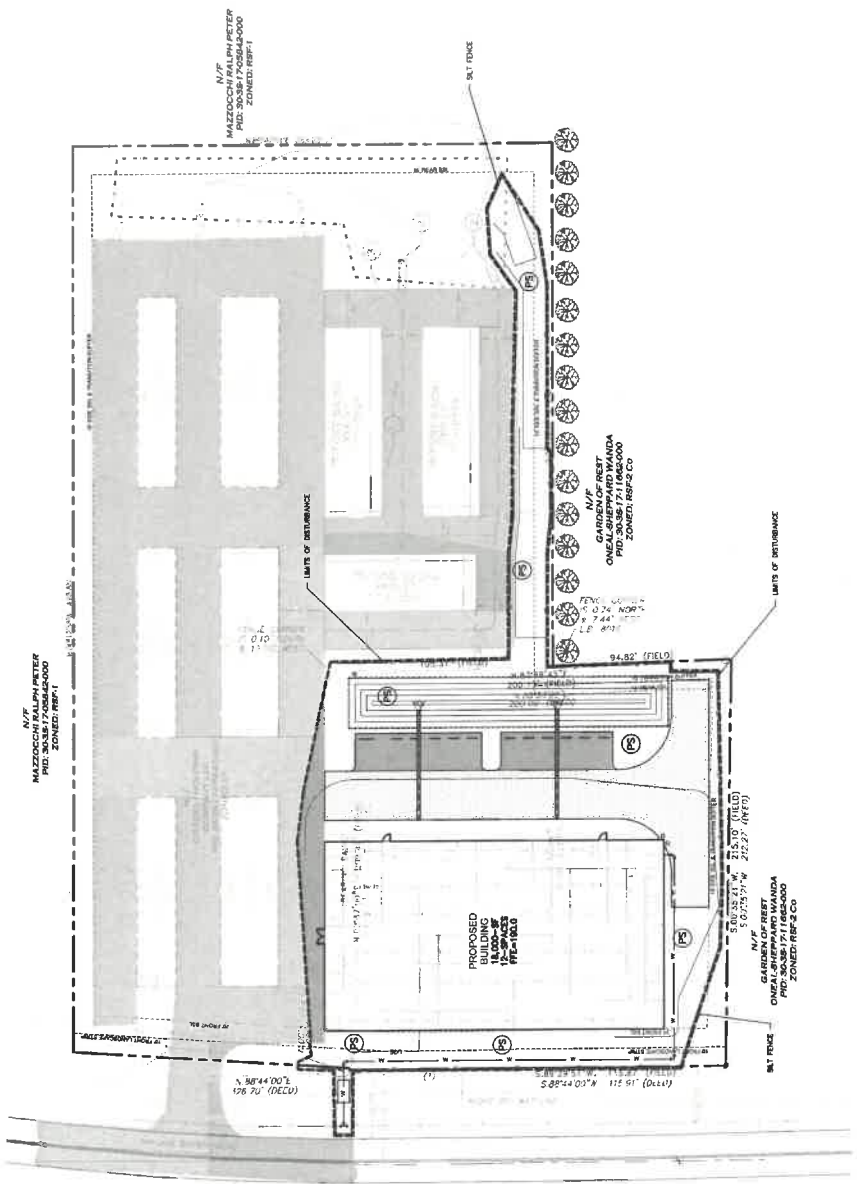
CONTINUED GROUP  
755 COMMERCE DRIVE  
DECATUR, GA 30008  
770.252.9403  
www.cog.com/greiner



LEGEND

- PROPERTY LINE
- SETBACK LINE
- EXISTING LINE
- ASPHALT PAVEMENT
- EXISTING CONTOUR
- PROPOSED CONTOUR
- UNDERGROUND TELECOM SERVICE
- UNDERGROUND WATER SERVICE
- UNDERGROUND POWER SERVICE

- EROSION CONTROL LEGEND
- TEMPORARY SEEDING AND STABILIZATION
  - UNDERGROUND STORM PILE
  - PROPOSED CONTOUR



SCALE: 1"=40'











CONTINUED GROUP  
235 COMMERCE DRIVE  
DORLAND, CA 90030  
720.353.4433  
www.lakecityfla.gov



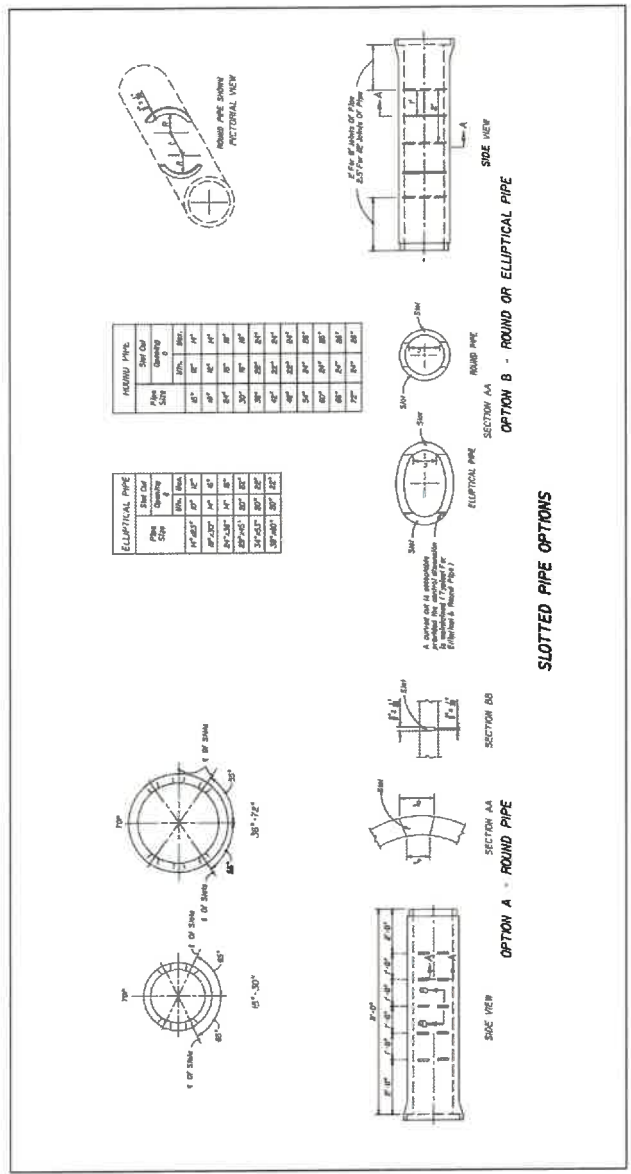
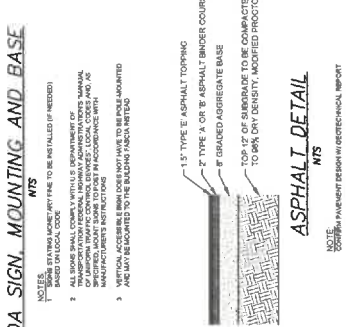
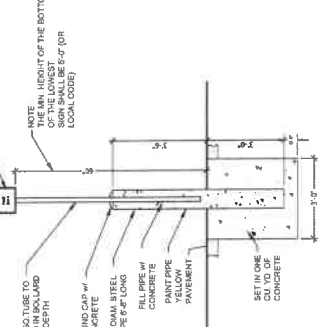
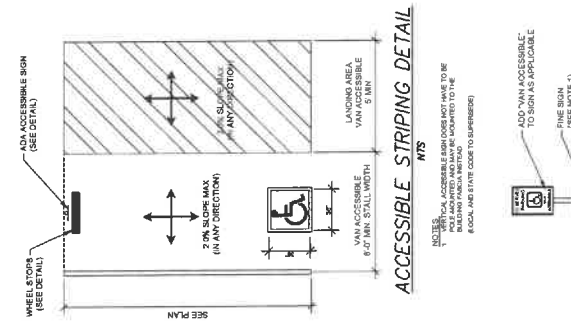
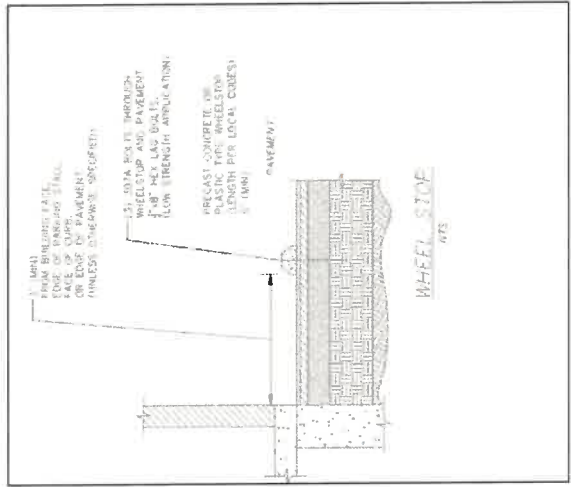
LAKE CITY SELF STORAGE  
C/O CHUCK JEFFERY RD.  
1143 NW LAKE JEFFERY RD.  
LAKE CITY, FL 32055  
INFO@LAKECITYSELFSTORAGE.COM

LAKE CITY SELF STORAGE  
ISSUED FOR: CONCERN PLAN  
JURISDICTION: CITY OF LAKE CITY  
LOCATION: 1115 NW LAKE JEFFERY RD.  
LAKE CITY, FL 32055

#	DATE	REVISIONS

DRAWN:	CHECK:
KK	EGS
JOB NO.:	DATE:
23-245	11/13/23

DETAILS  
SHEET C700





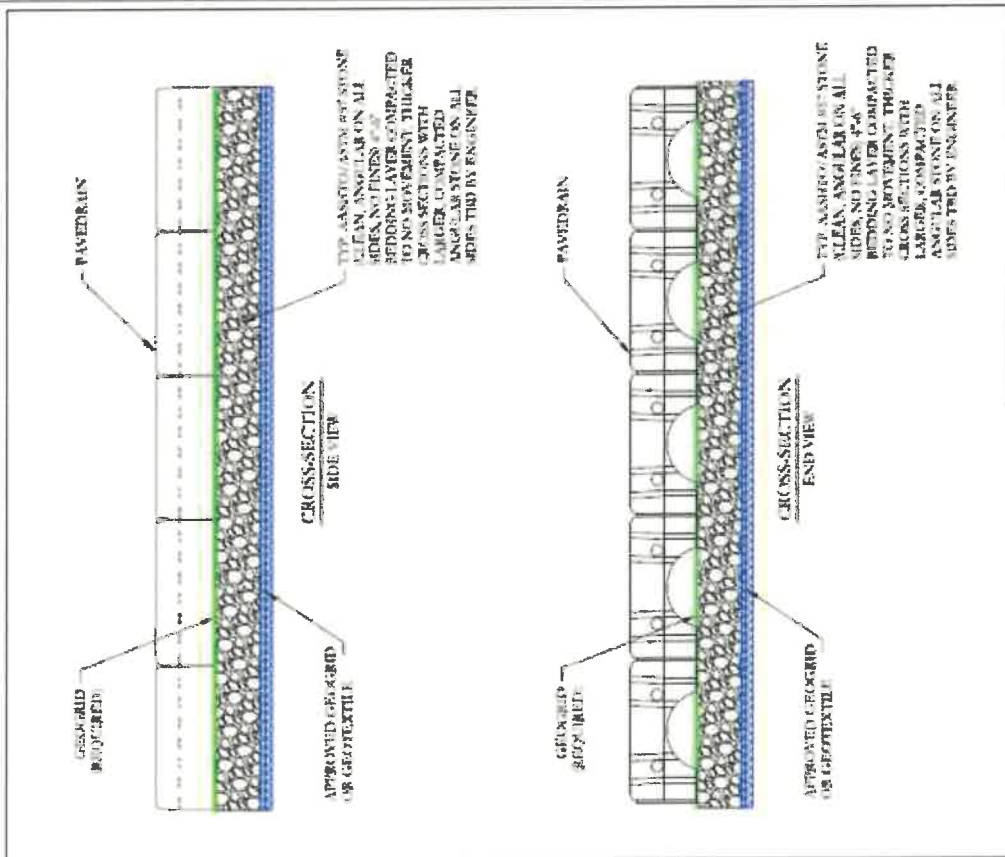
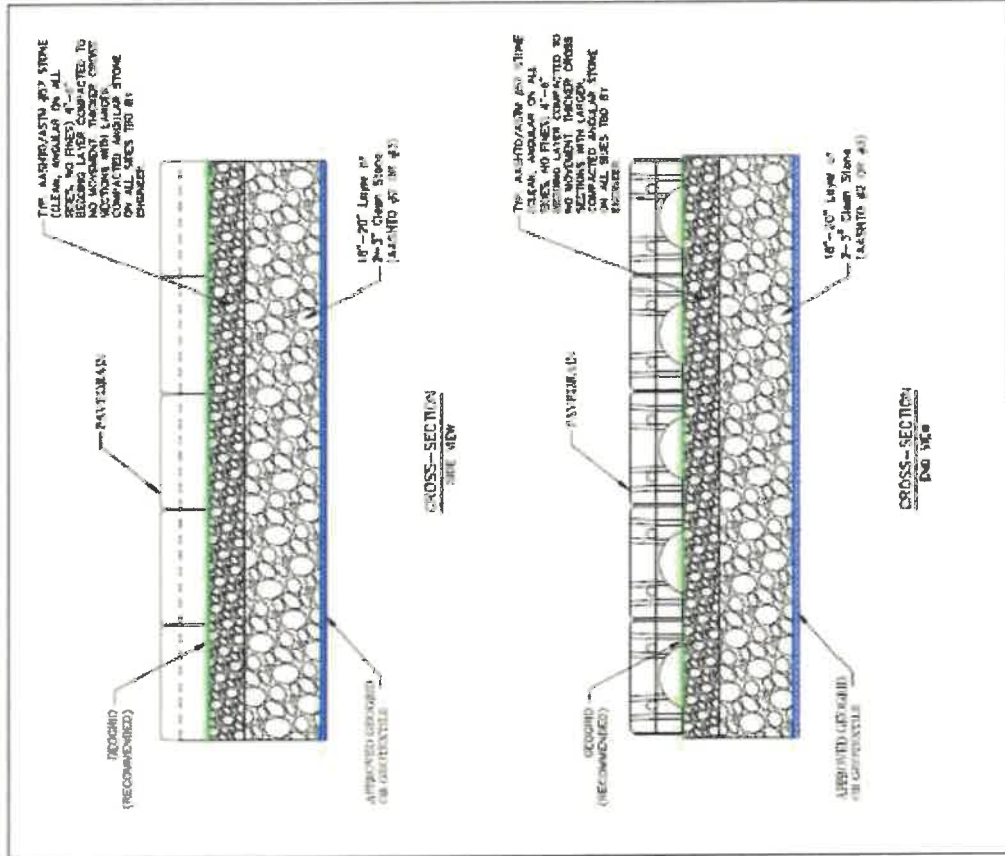
LAKE CITY SELF STORAGE  
 C/O CHUCK STRINGHAM  
 1143 NW LAKE JEFFERY RD.  
 LAKE CITY, FL 32055  
 INFO@LAKECITYSELFSTORAGE.COM

LAKE CITY SELF STORAGE  
 ISSUED FOR: CONCEPT PLAN  
 JURISDICTION: CITY OF LAKE CITY  
 LOCATION: 1115 NW LAKE JEFFERY RD.  
 LAKE CITY, FL 32055

DATE	REVISIONS

DRAWN: KKK	CHECK: EES
JOB NO: 23-245	DATE: 11/13/23

DETAILS  
 SHEET C701











Jennifer Yarbrough &lt;jennifery@thecontineogroup.com&gt;

## 1115 NW Lake Jeffery Rd. Lake City, FL 32055 [23-245] - Fire Flow Test from Lake City

Eric Wolf &lt;eric@wolfengineering.co&gt;

Wed, Aug 2, 2023 at 8:19 AM

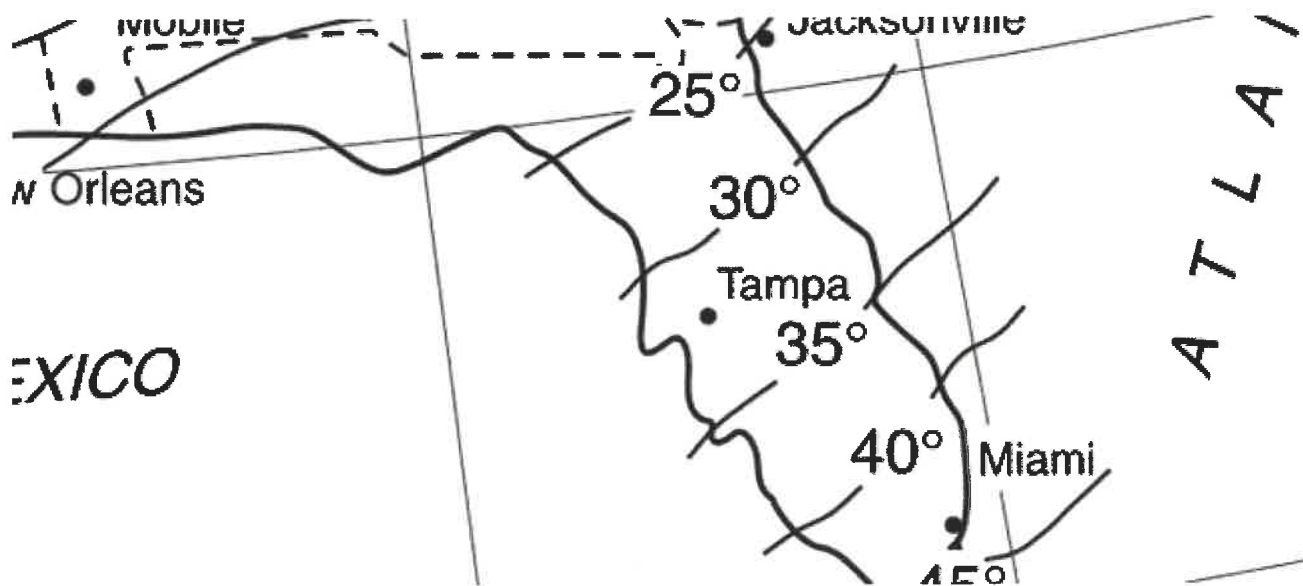
To: Ron Crump &lt;ronc@thecontineogroup.com&gt;

Cc: Jennifer Yarbrough &lt;jennifery@thecontineogroup.com&gt;, Ken Haertel &lt;kenh@thecontineogroup.com&gt;, Jangmee Hooper &lt;jhooper@wolfengineering.co&gt;

Hi Ron,

Our FP engineer is a little type A, so he's already put together a few good notes (see below). Please let me know if you need anything additional, but this should give you a good idea what the client is looking at. Again, these are high level calculations, so please keep that in mind.

- The project is in Lake City, Florida which is in the 25-30 degree lowest one day temperature range. Using NFPA 13 ISOTHERMAL lines, if the space is **unconditioned** (as they usually are) the system will need to be a **dry system**. Now, local AHJs may allow wet systems, but going by code, I would plan for worst case scenario of a dry system.

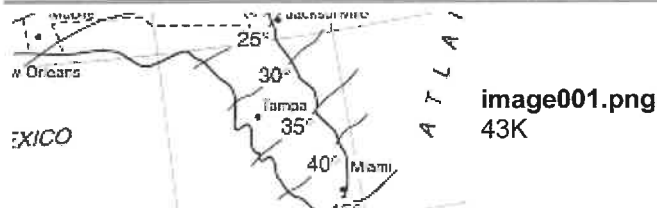


- Will the building roof be sloped (greater than 2 in 12)? It is about 50/50 on this in my experience.
- The above 2 items are important because NFPA 13 requires the remote area to be increased 30% for dry systems and 30% for a sloped roof.
- In general, personal storage facilities like this are considered Ordinary Hazard Group 2, but as always, the AHJ gets last say. Lately, all manner of items are in these things like lion batteries, grills with propane, etc.
- OH2 design density is 0.20 gpm/sf over 1500 sf per NFPA 13. Minimum flow to the area is  $(.20)(1,500) = 300 \text{ gpm}$

- 1,500 sf increased 50% for dry system = 1,950 sf
  - 1,950 sf increased 30% for sloped roof = 2,535 sf
  - Revised hydraulic criteria for dry system and sloped roof – 0.20 gpm over 2,535 sf
    - Revised minimum flow =  $(0.20)(2,535) = 507 \text{ gpm}$ .
- Flow test:
    - Static 63 psi
    - Residual: 42 psi @ 817 gpm
    - Flow at 20 psi: 1,203 gpm
    - Flow at 0 psi 1,634 gpm
    - (not a very strong flow test)
- Flow test appears to be sufficient based on the following. Any change will impact ability of water supply to meet demand.
  - OH2 dry system with roof slope > 2 in 12
    - 0.20 gpm/sf over 2535 sf
    - Peak of roof @ 25 feet
    - Head used 8.0 k-factor
    - 6in mains
    - 2in branch lines
  - Conceptual calculation demand: 573.89 gpm @ 33.85 psi
  - Available: 573.89 @ 52.08 gpm
  - Safety: 18.23

Thank you,

[Quoted text hidden]



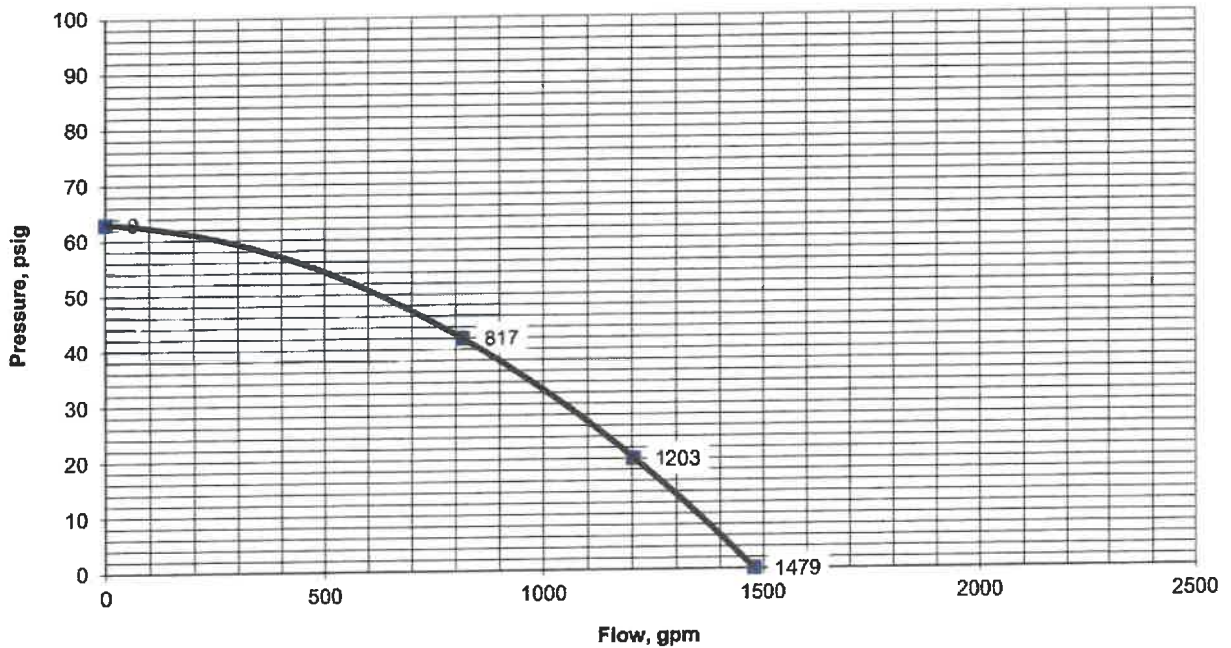


# City of Lake City Water flow report

HYDRANT # & LOCATION: **1057 NW Lake Jeffery** DATE: **7/31/2023**  
 TEST BY: **Al/Brandon** Day **Monday** Time **8:45** Minutes **2**  
 WATER SUPPLIED BY: **Municipal**  
 PURPOSE OF TEST: **request**

## DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<b>2.5</b>	<b>2.5</b>	<b>2.5</b>
COEFFICIENT:	<b>0.8</b>		
PITOT READING:	<b>30</b>		
GPM:	<b>817</b>	<b>0</b>	<b>0</b>
TOTAL FLOW DURING TEST:	<b>817</b> GPM		
STATIC READING:	<b>63</b> PSI	RESIDUAL:	<b>42</b> PSI
RESULTS: AT 20 PSI RESIDUAL	<b>1203</b> GPM		AT 0 PSI <b>1479</b> GPM
ESTIMATED CONSUMPTION:	<b>1634</b> GAL.		
REMARKS:			



**Lake City Self Storage  
1115 NW Lake Jeffery Road  
Lake City, FL 32055  
Special Exception Application**

**Analysis of Section 11.3 of the Land Development Regulations (“LDRs”):**

- a. Whether the proposed use would be in conformance with the city's comprehensive plan and would have an adverse effect on the comprehensive plan. **Yes, it would be in conformance with the comprehensive plan, and it would not have an adverse effect on the plan.**
- b. Whether the proposed use is compatible with the established land use pattern. **Yes**
- c. Whether the proposed use would materially alter the population density pattern and thereby increase or overtax the load on public facilities such as schools, utilities, and streets. **No, the proposed use of self-storage would not alter any of these.**
- d. Whether changed or changing conditions find the proposed use to be advantageous to the community and the neighborhood. **Yes, it will serve the community.**
- e. Whether the proposed use will adversely influence living conditions in the neighborhood. **No, it will not adversely influence living conditions.**
- f. Whether the proposed use will create or excessively increase traffic congestion or otherwise affect public safety. **No, it will not create or increase traffic, any impacts are negligible per the ITE Report, and it will not otherwise affect public safety.**
- g. Whether the proposed use will create a drainage problem. **No, it will not cause a drainage problem.**
- h. Whether the proposed use will seriously reduce light and air to adjacent areas. **No, it will not reduce light and air to adjacent area.**
- i. Whether the proposed use will adversely affect property values in the adjacent area. **No, it will not adversely affect property values in the adjacent area.**
- j. Whether the proposed use will be a deterrent to the improvement or development of adjacent property in accord with existing regulations. **No, it will not be a deterrent.**
- k. Whether the proposed use is out of scale with the needs of the neighborhood or the community. **No, it is not out of scale. There is an existing storage facility next door that this development will be a part of.**

**Lake City Self Storage**  
**1115 NW Lake Jeffery Road**  
**Lake City, FL 32055**

**Comprehensive Plan Consistency Analysis:**

The property is currently zoned for Commercial Intensive (CI) and the Future Land Use Map Designation is also Commercial. Self-Storage is permitted in the Commercial Zone via a Special Exception. Lake City Self-Storage is currently located next to our parcel and is the same use and under the same ownership. The proposed land development of a new +/- 18,000 SF one-story climate-controlled self-storage facility is consistent with the goals for Commercial Zoning in the Comprehensive Plan. The existing lot and development will meet standards for both Commercial and Special Exception.

**Concurrency Impact Analysis:**

The proposed development will not create any impacts for Potable Water, Sanitary Sewer, or Solid Waste. Transportation has negligible impacts, please see ITE Report. There will be no bathroom or office on site.

Parcel Number: 30-3S-17-05846-000

Description:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST  $\frac{1}{4}$  OF THE NORTHWEST  $\frac{1}{4}$  OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST  $\frac{1}{4}$  OF THE NORTHWEST  $\frac{1}{4}$ , N88D44'00"E, 326.70 FEET; RUN THENCE N00D37'00"E, 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N00D37'00"E, 210.00 FEET; RUN THENCE N88D33'00"E, 200.00 FEET; RUN THENCE S00D59'00"W, 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S88D44'00"W, 115.19 FEET TO THE POINT OF CURVATURE; RUN THEN ON A CHORD BEARING S88D59'00"W, A CHORD DISTANCE ON 84.09 FEET TO THE POINT OF BEGINNING.

Parcel Number: 30-3S-17-05846-000

Description:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, N88D44'00"E, 326.70 FEET; RUN THENCE N00D37'00"E, 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N00D37'00"E, 210.00 FEET; RUN THENCE N88D33'00"E, 200.00 FEET; RUN THENCE S00D59'00"W, 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S88D44'00"W, 115.19 FEET TO THE POINT OF CURVATURE; RUN THEN ON A CHORD BEARING S88D59'00"W, A CHORD DISTANCE ON 84.09 FEET TO THE POINT OF BEGINNING.

*DESCRIPTION:*

*COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, N.88°44'00"E, 326.70 FEET; RUN THENCE N.00°37'00"E, 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N.00°37'00"E, 210.00 FEET; RUN THENCE N.88°33'00"E, 200.00 FEET; RUN THENCE S.00°59'00"W, 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S.88°44'00"W, 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING S.88°59'00"W, A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.*

THIS INSTRUMENT PREPARED BY  
AND RECORD AND RETURN TO:  
BERT C. SIMON, ESQUIRE  
GARTNER, BROCK AND SIMON, LLP  
1300 RIVERPLACE BLVD., SUITE 525  
JACKSONVILLE, FLORIDA 32207

Parcel 30-3S-17-05842-002

### **SPECIAL WARRANTY DEED**

THIS SPECIAL WARRANTY DEED is made as of August 8, 2018, by and between **LAKE CITY SELF STORAGE, LLC**, a Florida limited liability company, whose address is 12146 Mandarin Road, Jacksonville, Florida 32223 ("Grantor"), and **CITADEL I HOLDING COMPANY LLC**, a Texas limited liability company, whose address is 726 Somerset Landing Lane, League City, Texas 77573 ("Grantee").

WITNESSETH:

That Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, paid in hand to Grantor by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold to the Grantee, its heirs, successors and assigns, forever, the following described real property, situate, lying and being in the County of Columbia, State of Florida, as more particularly described on Exhibit "A" attached hereto and incorporated by this reference (the "Property").

SUBJECT TO taxes and assessments for the year 2018 and subsequent years.

TOGETHER with all improvements located thereon and all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, Grantor hereby warrants title to the Property, and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor, but none others.

*{Signature on the following page}*

IN WITNESS WHEREOF, the said Grantor has hereunto set hand and seal, the day and year first above written.

Signed, sealed and delivered in the presence of:

GRANTOR:

LAKE CITY SELF STORAGE, LLC, a Florida limited liability company

*Harry M Wilson IV*  
Print Name: HARRY M. WILSON IV

By: *J BARNETTE*  
Name: Jack Barnette  
Title: Manager

*Bert C Simon*  
Print Name: BERT C SIMON

STATE OF FLORIDA       )  
COUNTY OF DUVAL       )

The foregoing instrument was acknowledged before me this 31<sup>st</sup> day of July, 2018, by Jack Barnette, as Manager of LAKE CITY SELF STORAGE, LLC, a Florida limited liability company, on behalf of the company, who is personally known to me or who has produced \_\_\_\_\_ as identification.

*Harry M Wilson IV*  
Notary Public, State of Florida  
Print Name: HARRY M WILSON IV  
My Commission Expires: 6/4/21

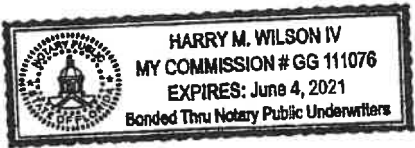


Exhibit "A"

The land referred to hereinbelow is situated in the County of COLUMBIA, State of Florida, and is described as follows:

COMMENCE AT THE NORTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE NORTH 88 DEG.35'37" EAST, ALONG THE NORTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, 25.20 FEET, THENCE SOUTH 00 DEG.12'00" EAST, 1264.50 FEET TO THE NORTH RIGHT OF WAY LINE OF COUNTY ROAD NO. C-250 AND A POINT ON A CURVE, THENCE EASTERLY ALONG SAID NORTH RIGHT OF WAY LINE, ALONG SAID CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 1859.86 FEET AND A CENTRAL ANGLE OF 05 DEG.49'13", AN ARC DISTANCE OF 188.93 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE EASTERLY, STILL ALONG SAID NORTH RIGHT OF WAY LINE, STILL ALONG SAID CURVE CONCAVE TO THE NORTH HAVING A RADIUS OF 1859.86 FEET AND A CENTRAL ANGLE OF 04 DEG.24'19", AN ARC DISTANCE OF 143.00 FEET, THENCE NORTH 01 DEG.14'12" EAST, 209.99 FEET, THENCE NORTH 88 DEG.36'24" EAST, 105.20 FEET, THENCE NORTH 00 DEG.10'36" WEST, 276.76 FEET, THENCE SOUTH 89 DEG.49'24" WEST, 253.00 FEET, THENCE SOUTH 00 DEG.10'36" EAST, 479.42 FEET TO THE POINT OF BEGINNING.





GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfra.com

AGENT AUTHORIZATION FORM

I, Charles Stringham (owner name), owner of property parcel

number 30-3S-17-05846-000 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Jennifer Yarbrough (Contineo Group)	1.
2. Ron Crump (Contineo Group)	2.
3. <u>Charles Stringham</u>	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

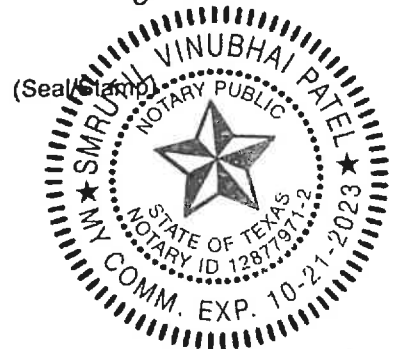
Owner Signature (Notarized) \_\_\_\_\_ Date 8/4 2023

NOTARY INFORMATION:

STATE OF: Texas COUNTY OF: Galveston

The above person, whose name is Charles Stringham, personally appeared before me and is known by me or has produced identification (type of I.D.) Driver license on this 4th day of August, 2023.

NOTARY'S SIGNATURE \_\_\_\_\_



# Columbia County Tax Collector

generated on 7/26/2023 4:17:45 PM EDT

## Tax Record

Last Update: 7/26/2023 4:14:59 PM EDT

[Register for eBill](#)

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R05846-000	REAL ESTATE	2022			
<b>Mailing Address</b> CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY TX 77573		<b>Property Address</b> 1115 LAKE JEFFERY LAKE CITY  <b>GEO Number</b> 303S17-05846-000			
<b>Exempt Amount</b>	<b>Taxable Value</b>				
See Below	See Below				
<b>Exemption Detail</b>	<b>Millage Code</b>	<b>Escrow Code</b>			
NO EXEMPTIONS	001				
<b>Legal Description (click for full description)</b>					
30-3S-17 0000/00001.00 Acres COMM SW COR OF SE1/4 OF NW1/4, RUN E 326.7 FT, N 1.88 FT TO N R/W C-250 FOR POB, CONT N 210 FT, E 200 FT, S 212.27 FT, W ALONG R/W 200 FT TO POB. 519-727, 798-2318, 891-1581, WD 1082-2097, CT 1239-2222, WD 1283-1581, WD 1366-950,					
<b>Ad Valorem Taxes</b>					
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Value</b>	<b>Exemption Amount</b>	<b>Taxable Value</b>	<b>Taxes Levied</b>
CITY OF LAKE CITY	4.9000	13,000	0	\$13,000	\$63.70
BOARD OF COUNTY COMMISSIONERS	7.8150	13,000	0	\$13,000	\$101.60
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	13,000	0	\$13,000	\$9.72
LOCAL	3.2990	13,000	0	\$13,000	\$42.89
CAPITAL OUTLAY	1.5000	13,000	0	\$13,000	\$19.50
SUWANNEE RIVER WATER MGT DIST	0.3368	13,000	0	\$13,000	\$4.38
LAKE SHORE HOSPITAL AUTHORITY	0.0001	13,000	0	\$13,000	\$0.00
<b>Total Millage</b>		18.5989	<b>Total Taxes</b>		\$241.79
<b>Non-Ad Valorem Assessments</b>					
<b>Code</b>	<b>Levying Authority</b>				<b>Amount</b>
XLCF	CITY FIRE ASSESSMENT				\$50.40
<b>Total Assessments</b>					\$50.40
Taxes & Assessments					\$292.19
<b>If Paid By</b>				<b>Amount Due</b>	
				\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
-----------	-------------	---------	------	-------------

1/31/2023	PAYMENT	9922950.0002	2022	\$286.35
-----------	---------	--------------	------	----------

Prior Years Payment History

**Prior Year Taxes Due**

NO DELINQUENT TAXES



# Graph Look Up



Query

Filter

## DATA SOURCE:

Trip Generation Manual, 11th Ed

## SEARCH BY LAND USE CODE:

151



## LAND USE GROUP:

(100-199) Industrial

## LAND USE :

151 - Mini-Warehouse

## LAND USE SUBCATEGORY:

All Sites

## SETTING/LOCATION:

General Urban/Suburban

## INDEPENDENT VARIABLE (IV):

1000 Sq. Ft. GFA

## TIME PERIOD:

Weekday, AM Peak Hour of Generator

## TRIP TYPE:

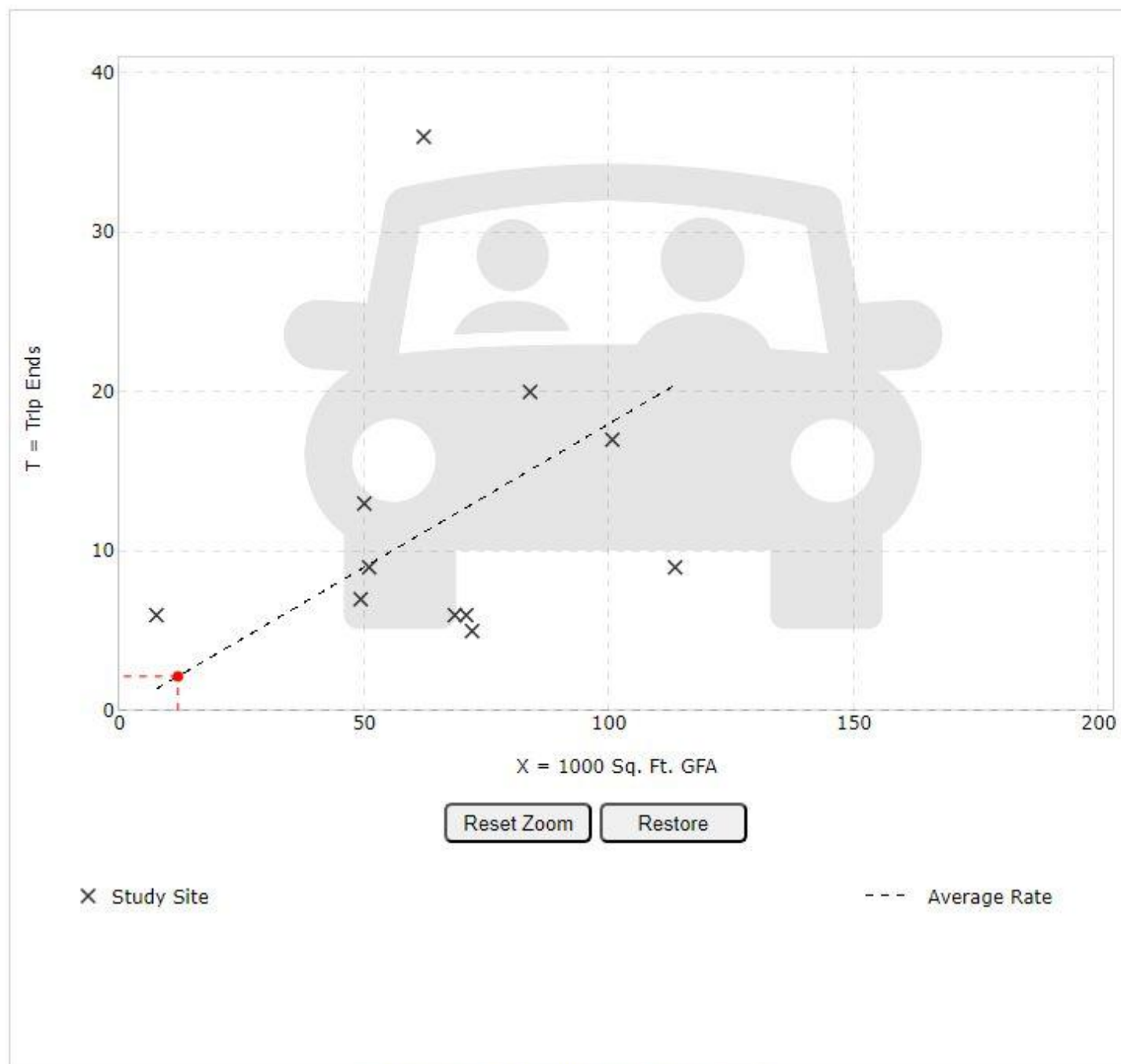
Vehicle

## ENTER IV VALUE TO CALCULATE TRIPS:

12

Calculate

## Data Plot and Equation



Use the mouse wheel to Zoom Out or Zoom In.  
 Hover the mouse pointer on data points to view X and T values.

## DATA STATISTICS

## Land Use:

Mini-Warehouse (151) [Click for Description and Data Plots](#)

## Independent Variable:

1000 Sq. Ft. GFA

## Time Period:

Weekday  
AM Peak Hour of Generator

## Setting/Location:

General Urban/Suburban

## Trip Type:

Vehicle

## Number of Studies:

11

## Avg. 1000 Sq. Ft. GFA:

66

## Average Rate:

0.18

## Range of Rates:

0.07 - 0.79

## Standard Deviation:

0.16

## Fitted Curve Equation:

Not Given

R<sup>2</sup>:

\*\*\*\*

## Directional Distribution:

51% entering, 49% exiting

## Calculated Trip Ends:

Average Rate: 2 (Total), 1 (Entry), 1 (Exit)



# Graph Look Up



Query

Filter

## DATA SOURCE:

Trip Generation Manual, 11th Ed

## SEARCH BY LAND USE CODE:

151



## LAND USE GROUP:

(100-199) Industrial

## LAND USE :

151 - Mini-Warehouse

## LAND USE SUBCATEGORY:

All Sites

## SETTING/LOCATION:

General Urban/Suburban

## INDEPENDENT VARIABLE (IV):

1000 Sq. Ft. GFA

## TIME PERIOD:

Weekday, PM Peak Hour of Generator

## TRIP TYPE:

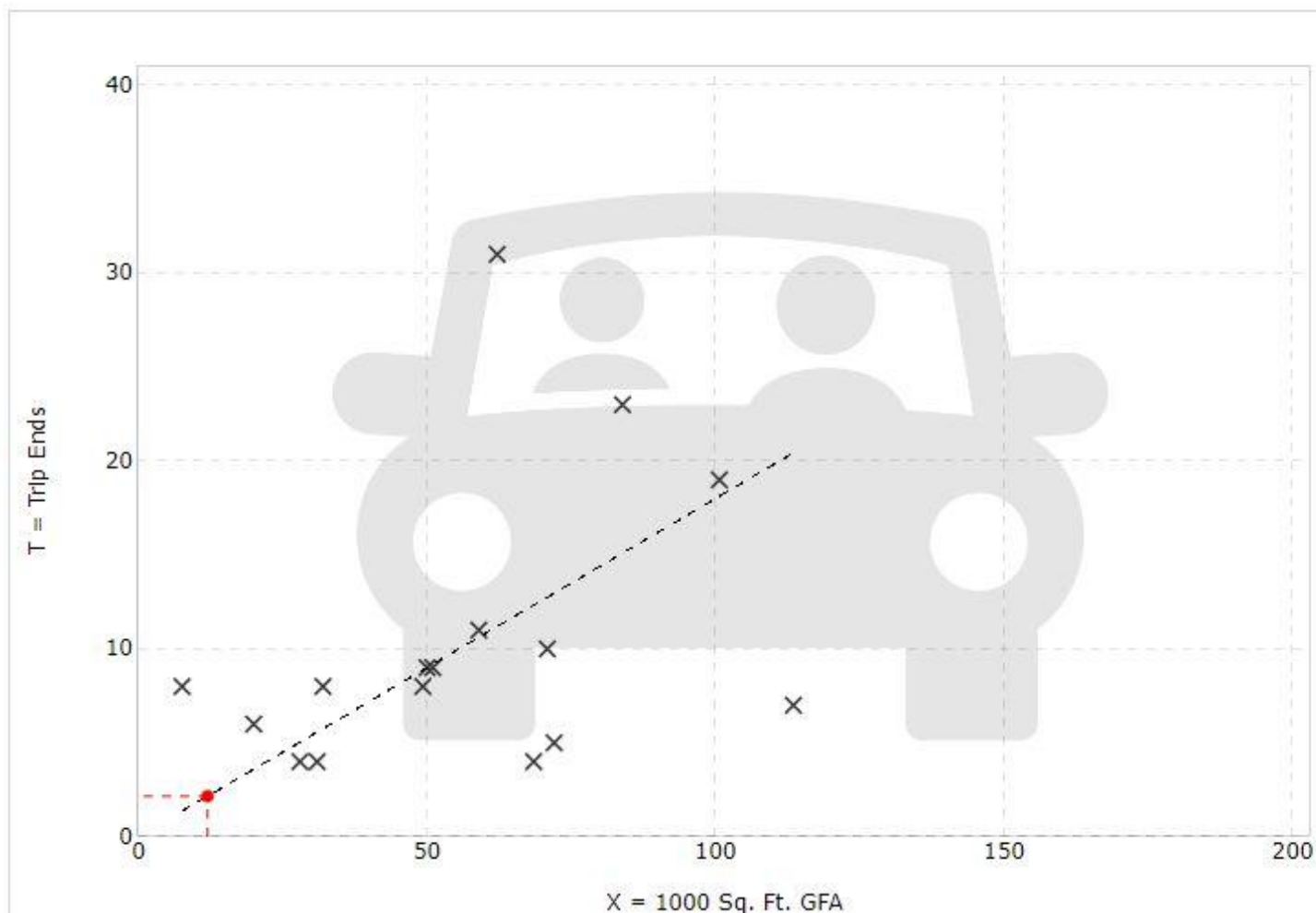
Vehicle

## ENTER IV VALUE TO CALCULATE TRIPS:

12

Calculate

## Data Plot and Equation



Reset Zoom

Restore

X Study Site

- - - Average Rate

## DATA STATISTICS

## Land Use:

Mini-Warehouse (151) [Click for Description and Data Plots](#)

## Independent Variable:

1000 Sq. Ft. GFA

## Time Period:

Weekday  
PM Peak Hour of Generator

## Setting/Location:

General Urban/Suburban

## Trip Type:

Vehicle

## Number of Studies:

16

## Avg. 1000 Sq. Ft. GFA:

56

## Average Rate:

0.18

## Range of Rates:

0.06 - 1.05

## Standard Deviation:

0.14

## Fitted Curve Equation:

Not Given

R<sup>2</sup>:

\*\*\*\*

## Directional Distribution:

51% entering, 49% exiting

## Calculated Trip Ends:

Average Rate: 2 (Total), 1 (Entry), 1 (Exit)

Use the mouse wheel to Zoom Out or Zoom In.  
Hover the mouse pointer on data points to view X and T values.

# Project Summary

**Project Name:** Lake City Self Storage Site Plan Review

**Project Number:** SPR23-15

**Parcel Number:** 05846-000

## Project Notes

- Project type: Site plan review
- Future land use is: Commercial
- Zoning designation is: Commercial Intensive
- Proposed use of the property: Mini Storage
- Land is conducive for use: Only with a Special Exception 4.13.5.1, Special Exception approved.

## Project Summary

Project SPR23-15 is for a site plan review and has been reviewed by Growth Management and City Staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.



DEPARTMENT OF GROWTH MANAGEMENT  
205 North Marion Avenue  
Lake City, Florida 32055  
Telephone: (386) 719-5750  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF  
ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF  
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE  
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 11/30/2023

Request Type: Site Plan Review (SPR)  Special Exception (SE)  Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z)  Certificate of Appropriateness (COA)

Project Number: SPR23-15

Project Name: Lake City Self Storage

Project Address: 1115 NW Lake Jeffery Rd, Lake City, FL

Project Parcel Number: 05846-000

Owner Name: Citadel Holding Company I LLC

Owner Address: 726 Somerset Landing Lane, League City, TX

Owner Contact Information: Telephone Number: 386-292-5495 Email: info@lakecityselfstorage.com

Owner Agent Name: Ron Crump and Jennifer Yarbrough

Owner Agent Address: 755 Commerce Dr. Suite 800, Decatur, GA

Owner Agent Contact Information: Telephone: 310-902-3455 Email: jennifery@thecontineogroup.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.

**Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting**

**Building Department: Reviewed by:** DocuSigned by: Dave Young 2824CF8D4D2B43E... **Date:** 12/4/2023

Comments: \_\_\_\_\_

No comments at this time

No comments at this time

**Planning and Zoning: Reviewed by:** DocuSigned by: Robert Angelo F0D1ED33B98E4BE... **Date:** 11/30/2023

Comments: \_\_\_\_\_

Warehousing is a permitted use by special exception. Special exception SE23-06

has been approved by the Board of Adjustments

**Business License: Reviewed by:** DocuSigned by: Marshall Sova E8B18D144D974CD... **Date:** 11/30/2023

Comments: \_\_\_\_\_

Already has a business license

See above

**Code Enforcement: Reviewed by:** DocuSigned by: Marshall Sova E8B18D144D974CD... **Date:** 11/30/2023

Comments: \_\_\_\_\_

No code violations or liens

See above

**Permitting: Reviewed by:** DocuSigned by: Ann Jones 06688892710E40E... **Date:** 11/30/2023

Comments: \_\_\_\_\_

permitting required

x



**Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service**

**Water Department: Reviewed by:** DocuSigned by: Michael L. Osborn Jr. Date: 12/1/2023  
896E039544B74E3...

Comments: \_\_\_\_\_  
None  
\_\_\_\_\_  
x  
\_\_\_\_\_

**Sewer Department: Reviewed by:** DocuSigned by: Cody Pridgen Date: 12/1/2023  
DBA01EF55AD249B...

Comments: \_\_\_\_\_  
None  
\_\_\_\_\_  
none  
\_\_\_\_\_

**Gas Department: Reviewed by:** DocuSigned by: Steve Brown Date: 12/4/2023  
8B57D0CE8F2F4B5...

Comments: \_\_\_\_\_  
Locates will be needed.  
\_\_\_\_\_  
..  
\_\_\_\_\_

**Water Distribution/Collection: Reviewed by:** DocuSigned by: Brian Scott Date: 12/1/2023  
F599EB0125784FB...

Comments: \_\_\_\_\_  
tap app.  
\_\_\_\_\_  
Locates needed  
\_\_\_\_\_

**Customer Service: Reviewed by:** DocuSigned by: Shasta Pelham Date: 12/1/2023  
6BD97A03165D4E0...

Comments: A tap application & utility plans would need to be submitted in order to request city utilities. The utility fees will be calculated upon approval of the tap application and utility plans. Locates must be obtained to ensure that the existing utility infrastructure is not damaged or obstructed.

**Public Safety – Public Works, Fire Department, Police Department**

**Public Works: Reviewed by:** DocuSigned by: Steve Brown 8B57D0CE8F2F4B5... **Date:** 12/4/2023

**Comments:** \_\_\_\_\_  
No issues  
\_\_\_\_\_  
..

**Fire Department: Reviewed by:** DocuSigned by: Dwight Booger 4D1447DF094443D... **Date:** 12/4/2023

**Comments:** \_\_\_\_\_  
No  
\_\_\_\_\_  
No concerns at this time.

**Police Department: Reviewed by:** \_\_\_\_\_ **Date:** \_\_\_\_\_

**Comments:** \_\_\_\_\_  
\_\_\_\_\_  
\_\_\_\_\_

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

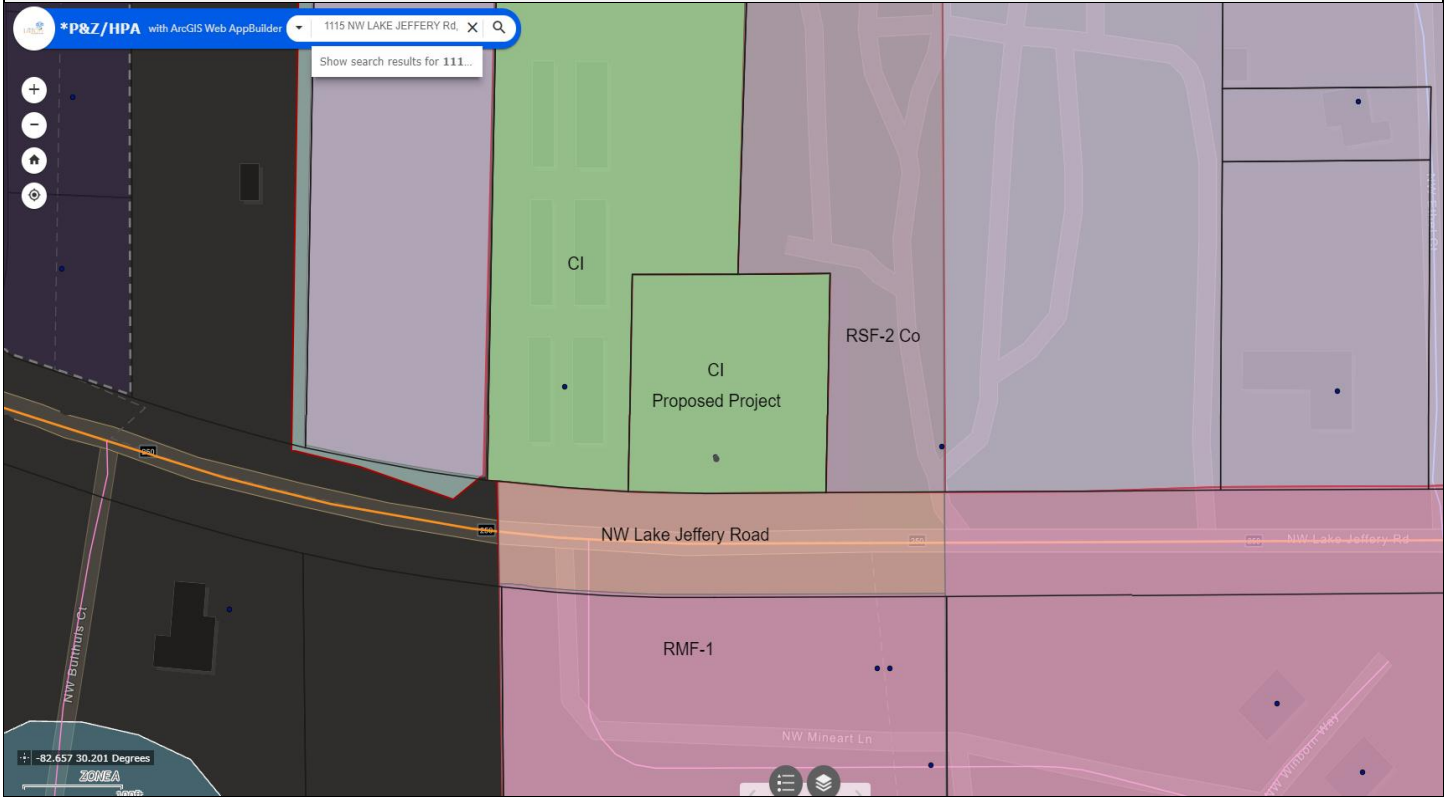
# LAKE CITY GROWTH MANAGEMENT STAFF ANALYSIS REPORT

Project Information	
Project Name and Case No.	Lake City Self Storage SPR23-15
Applicant	Jennifer Yarbrough and Ron Crump
Owner	Citadel Holding Company I LLC- Charles Stringham
Requested Action	Petition for a site plan review for parcel 05846-000 to allow wholesale, warehouse or storage use in completely enclosed buildings.
Hearing Date	1-03-2024
Staff Analysis/Determination	Sufficient for Review
Prepared By	Robert Angelo

Subject Property Information	
Size	+/- 0.98 Acres
Location	1115 NW Lake Jeffery Rd, Lake City, FL
Parcel Number	05846-000
Future Land Use	Commercial
Proposed Future Land Use	N/A
Current Zoning District	Commercial Intensive (CI)
Proposed Zoning	N/A
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Residential Low	RSF-2	Cemetery	
E	Residential Low	RSF-2	Cemetery	
S	Residential Medium	RMF-1	Residential	
W	Commercial	CI	Mini Storage	

### Map of Location



### Picture of Location



### Summary of Request

Applicant has requested a site plan review to allow an expansion of their current mini storage facility. Special Exception was approved on 10/03/2023.

**CITY OF LAKE CITY  
NOTICE  
LAND USE ACTION**

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:

SPR23-15, a petition by Ron Crump and Jennifer Yarbrough, as agent, to request a Site Plan Review approval be granted as provided for in Section 4.13 of the Land Development Regulations, to get approval on site plan for Lake City Self Storage for a property located in the Commercial Intensive zoning district, in accordance with the submittal of the petition dated November 29, 2023, to be located on parcel 05846-000.

**WHEN:** January 3, 2024  
5:30 p.m.

**WHERE:** City Council Meeting Room, Second Floor, City Hall, located at 205 North Marion Avenue, Lake City, Florida.  
Members of the public may also view the meeting on our YouTube channel at:  
<https://www.youtube.com/c/CityofLakeCity>.

Copies of the site plan review application are available for public inspection by contacting the Office of Growth Management at [growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com) or by calling 386.719.5820.

At the aforementioned public hearing, all interested parties may be heard with respect to the Certificate of Appropriateness.

**FOR MORE INFORMATION CONTACT  
ROBERT ANGELO  
PLANNING & ZONING TECHNICIAN  
AT 386.719.5820**





December 11, 2023

To Whom it May Concern

On January 3, 2024 the Planning and Zoning Board will be having a meeting at 5:30pm at 205 N. Marion. At this meeting we will be hearing a petition for a site plan review, SPR23-15, for parcel 05846-000. The site plan is to expand the existing mini storage facility.

If you have any questions or concerns please call 386-752-2031 ext. 820 or email [growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com).

Robert Angelo

Planning and Zoning Tech  
City of Lake City





<b>Addresses within 300' of a parcel#05846-000</b>		<b>City</b>	<b>Parcel ID</b>	<b>Zip Code</b>	<b>Address To Mail Letter To</b>
<b>Full Address</b>					
1057 NW LAKE JEFFERY Rd	LAKE CITY	11662-000	32055	Garden of Rest- Wanda Oneal-Sheppard 159 SW Hummingbird Glen, Lake City, FL 32024	
1175 NW LAKE JEFFERY Rd	LAKE CITY	05842-000	32055	Ralph Mazzocchi 11034 SR 51 Live Oak, FL 32060	
1143 NW LAKE JEFFERY Rd	LAKE CITY	05842-002	32055	Proposed Site	
1115 NW LAKE JEFFERY Rd	LAKE CITY	05846-000	32055	Proposed Site	
1070 NW LAKE JEFFERY Rd	LAKE CITY	05861-000	32055	Lake City VOA Living Center INC 200 2nd Ave Suite 436 St Petersburg, FL 33701	
1078 NW LAKE JEFFERY Rd	LAKE CITY	05860-000	32055	Volunteers of America of Florida INC 405 Central Ave, Suite 100 St Petersburg, FL 33701	
1082 NW MINEART Ln APT 1	LAKE CITY	05861-000	32055	Same Owner as 1070 NW Lake Jeffery	
1106 NW MINEART Ln APT 1	LAKE CITY	05861-000	32055	Same Owner as 1070 NW Lake Jeffery	
1130 NW MINEART Ln APT 1	LAKE CITY	05861-000	32055	Same Owner as 1070 NW Lake Jeffery	
1079 NW MINEART Ln	LAKE CITY	05861-000	32055	Same Owner as 1070 NW Lake Jeffery	
1081 NW MINEART Ln	LAKE CITY	05861-000	32055	Same Owner as 1070 NW Lake Jeffery	
177 NW BULTHUIS Ct	LAKE CITY	05869-002	32055	Fred and Theresa Gaylord 177 NW Bulthuis Ct Lake City, FL 32055	

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EASTWOOD  
 1926 HOSEA L WILLIAMS DR NE  
 ATLANTA, GA 30317-9998  
 (800)275-8777

12/15/2023 04:06 PM

Product	Qty	Unit Price	Price
First-Class Mail® Letter	1		\$0.66
Lake City, FL 32055			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Mon 12/18/2023			\$4.35
Certified Mail®			
Tracking #:			
9589 0710 5270 1614 4020 34			-\$0.66
Affixed Postage			
Affixed Amount: \$0.66			\$4.35
Total			\$0.66
First-Class Mail® Letter	1		\$0.66
Saint Petersburg, FL 33701			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Mon 12/18/2023			\$4.35
Certified Mail®			
Tracking #:			
9589 0710 5270 1614 4020 27			-\$0.66
Affixed Postage			
Affixed Amount: \$0.66			\$4.35
Total			\$0.66
First-Class Mail® Letter	1		\$0.66
Saint Petersburg, FL 33701			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Mon 12/18/2023			\$4.35
Certified Mail®			
Tracking #:			
9589 0710 5270 1614 4020 41			-\$0.66
Affixed Postage			
Affixed Amount: \$0.66			\$4.35
Total			\$0.66
First-Class Mail® Letter	1		\$0.65
Live Oak, FL 32060			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Mon 12/18/2023			\$4.35
Certified Mail®			
Tracking #:			
9589 0710 5270 1614 4018 15			-\$0.66
Affixed Postage			
Affixed Amount: \$0.66			\$4.35
Total			\$0.66
First-Class Mail® Letter	1		\$0.66
Lake City, FL 32024			
Weight: 0 lb 0.50 oz			
Estimated Delivery Date			
Mon 12/18/2023			\$4.35
Certified Mail®			
Tracking #:			
9589 0710 5270 1614 4018 08			-\$0.66
Affixed Postage			
Affixed Amount: \$0.66			\$4.35
Total			\$0.66

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Street and Apt. No., or PO Box No.

*177 NW Bulthuis Ct.*

City, State, ZIP+4®

*Lake City, FL 32055*



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27 0204 4197 0225 0710 6956

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- Adult Signature Required \$ \_\_\_\_\_
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Street and Apt. No., or PO Box No.

405 Central Avenue, Suite 100

City, State, ZIP+4®

St. Petersburg, FL 33701

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ATLANTA GA 30311

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- Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage

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Total Postage and Fees

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Lake City VOA Living Center Inc.

Street and Apt. No., or PO Box No.

100 2nd Avenue Suite 436

City, State, ZIP+4®

St. Petersburg, FL 33701

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ATLANTA, GA 30317

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- Adult Signature Restricted Delivery \$ \_\_\_\_\_

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Postage

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Total Postage and Fees

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Sent To

Ralph Mazfocchi

Street and Apt. No., or PO Box No.

11034 SR 51

City, State, ZIP+4®

Live oak, FL 32060

9589 0710 5270 1614 4018 08 80 8104 4197 0225 0720 6956

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- Adult Signature Restricted Delivery \$ \_\_\_\_\_

Postage

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Total Postage and Fees

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Garden of Rest - Wanda Oneal - Sheppard

Street and Apt. No., or PO Box No.

159 SW Hummingbird Glen

City, State, ZIP+4®

Lake City, FL 32024

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SEP 27 10 30 AM '08

LAKEWOOD

30317



**NOTICE OF PUBLIC MEETING  
CITY OF LAKE CITY  
PLANNING AND ZONING BOARD**

**THIS SERVES AS PUBLIC NOTICE** the Planning and Zoning Board will hold a meeting on Wednesday January 3, 2024 at 5:30 PM

Agenda items-

1. **SPR 23-15**, Petition submitted by Jennifer Yarbrough and Ron Crump, (agent) for Citadel Holding Company I LLC (owner), for a Site Plan Review for Lake City Self Storage, in the Commercial Intensive Zoning District, and located on parcel 05846-000, which is regulated by the Land Development Regulations section 4.13.
2. **SPR24-01**, Petition submitted by Brandon Stubbs. (agent) for Real Terrace LLC (owner), for a Site Plan Review for Clearsky, in the Commercial Intensive Zoning District, and located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013, which is regulated by the Land Development Regulations section 4.13.
3. **LDR 24-01**, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required.
4. **LDR 24-02**, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of petitioned property.

Meeting Location: City Council Chambers located on the 2nd Floor of City Hall at 205 North Marion Avenue, Lake City, FL 32055.

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

**Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City with respect to any matter considered at its meetings or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

**SPECIAL REQUIREMENTS: Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.**

Robert Angelo  
Planning and Zoning Tech.

## Angelo, Robert

---

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 11:35 AM  
**To:** Angelo, Robert  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Confirmed!

Thank you

### Kym Harrison • 386-754-0401

---

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1086 SW Main Blvd. Suite 103, Lake City, FL 32025  
Serving Columbia, Suwannee, Hamilton & Lafayette

---

**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 10:40 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Looks good.

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



*PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from City officials regarding City business are public records available to the public and media upon request. Your email communications may be subject to public disclosure.*

---

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 10:36 AM  
**To:** Angelo, Robert <AngeloR@lcfla.com>  
**Subject:** 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Good morning,

FYI I only need pdfs attached for Boxed ads. All three attached for approval to print on 12/23 as follows:

Historic Pres: 2x6 \$198

BOA: 2x6 \$198

P&Z: 2x10 \$330

Thank you!

**Kym Harrison • 386-754-0401**

---

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**From:** Angelo, Robert <AngeloR@lcfla.com>

**Sent:** Monday, December 18, 2023 8:22 AM

**To:** LCR-Classifieds <classifieds@lakecityreporter.com>

**Subject:** Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Kym

Please publish this ad in the body of the paper as a display ad in the **December 23, 2023** paper.

Thank You

Robert Angelo

City of Lake City

Growth Management

[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

386-719-5820



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PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from City officials regarding City business are public records available to the public and media upon request. Your email communications may be subject to public disclosure.

**File Attachments for Item:**

**iii. SPR24-01**, Petition submitted by Brandon Stubbs. (agent) for Real Terrace LLC (owner), for a Site Plan Review for Clearsky, in the Commercial Intensive Zoning District, and located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013, which is regulated by the Land Development Regulations section 4.13.



**GROWTH MANAGEMENT**  
 205 North Marion Ave.  
 Lake City, FL 32055  
 Telephone: (386)719-5750  
 E-Mail:  
 growthmanagement@lcfla.com

**FOR PLANNING USE ONLY**

Application # SPR24-01  
 Application Fee: \$200.00  
 Receipt No. \_\_\_\_\_  
 Filing Date 12/05/23  
 Completeness Date \_\_\_\_\_

# Site Plan Application

## A. PROJECT INFORMATION

1. Project Name: ClearSky
2. Address of Subject Property: SW Real Terrace
3. Parcel ID Number(s): 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, & 02579-013
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: Commercial, Intensive ("CI")
6. Acreage: +/- 7.33 Acres
7. Existing Use of Property: Vacant Commercial
8. Proposed use of Property: Medical Facility - In-patient Rehabilitation - No Out-Patient Care
9. Type of Development (Check All That Apply):
  - Increase of floor area to an existing structure: Total increase of square footage \_\_\_\_\_
  - New construction: Total square footage 42,745
  - Relocation of an existing structure: Total square footage \_\_\_\_\_

## B. APPLICANT INFORMATION

1. Applicant Status       Owner (title holder)       Agent
2. Name of Applicant(s): Brandon M. Stubbs      Title: Senior Planner  
 Company name (if applicable): North Florida Professional Services  
 Mailing Address: P.O. Box 3823  
 City: Lake City      State: FL      Zip: 32056  
 Telephone: (386) 752-4675      Fax: (    )      Email: bstubbs@NFPS.net

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*.  
 Property Owner Name (title holder): Real Terrace, LLC., Will Summers Properties, Inc., Summers & Summers, & Nadejda Summers  
 Mailing Address: \_\_\_\_\_  
 City: \_\_\_\_\_      State: \_\_\_\_\_      Zip: \_\_\_\_\_  
 Telephone: (    ) \_\_\_\_\_      Fax: (    ) \_\_\_\_\_      Email: bstubbs@NFPS.net

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

**C. ADDITIONAL INFORMATION**

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: \_\_\_\_\_  
If yes, is the contract/option contingent or absolute:     Contingent     Absolute
- 2. Has a previous application been made on all or part of the subject property?  Yes     No  
Future Land Use Map Amendment:     Yes <sup>ORD 2023-2259</sup> \_\_\_\_\_     No \_\_\_\_\_  
Future Land Use Map Amendment Application No. \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning):  Yes <sup>ORD 2023-2262</sup> \_\_\_\_\_  No \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance:  Yes \_\_\_\_\_     No \_\_\_\_\_  
Variance Application No. \_\_\_\_\_  
Special Exception:     Yes \_\_\_\_\_     No \_\_\_\_\_  
Special Exception Application No. \_\_\_\_\_

**D. ATTACHMENT/SUBMITTAL REQUIREMENTS**

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
  - a. Name, location, owner, and designer of the proposed development.
  - b. Present zoning for subject site.
  - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
  - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
  - e. Area and dimensions of site (Survey).
  - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - g. Access to utilities and points of utility hook-up.
  - h. Location and dimensions of all existing and proposed parking areas and loading areas.
  - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
  - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
  - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
  - l. Location of trash receptacles.
  - m. For multiple-family, hotel, motel, and mobile home park site plans:
    - i. Tabulation of gross acreage.
    - ii. Tabulation of density.
    - iii. Number of dwelling units proposed.
    - iv. Location and percent of total open space and recreation areas.
    - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
  - vii. Number of proposed parking spaces.
  - viii. Street layout.
  - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
    - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
    - b. Proposed finished elevation of each building site and first floor level.
    - c. Existing and proposed stormwater management facilities with size and grades.
    - d. Proposed orderly disposal of surface water runoff.
    - e. Centerline elevations along adjacent streets.
    - f. Water management district surface water management permit.
  4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
  5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
  6. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
  7. Legal Description with Tax Parcel Number (In Word Format).
  8. Proof of Ownership (i.e. deed).
  9. Agent Authorization Form (signed and notarized).
  10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
  11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

**NOTICE TO APPLICANT**

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Brandon M. Stubbs

Applicant/Agent Name (Type or Print)

*[Handwritten Signature]*

Applicant/Agent Signature

11/29/23

Date

Applicant/Agent Name (Type or Print)

\_\_\_\_\_

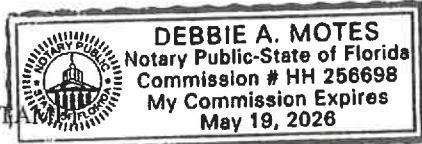
Applicant/Agent Signature

\_\_\_\_\_

Date

STATE OF FLORIDA  
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 29<sup>th</sup> day of Nov., 2023, by (name of person acknowledging) BRANDON



(NOTARY SEAL or STATE STAMP)

*[Handwritten Signature]*

Signature of Notary

Debbie A. Motes

Printed Name of Notary

Personally Known  OR Produced Identification \_\_\_\_\_  
Type of Identification Produced

City of Lake City – Growth Management Department  
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750





**Columbia County Property Appraiser** Jeff Hampton | Lake City, Florida | 386-758-1083

**PARCEL:** | |

Owner:  
Site:  
Sales Info  
NONE

2024 Working Values	
Mkt Lnd	Appraised
Ag Lnd	Assessed
Bldg	Exempt
XFOB	Total
Just	Taxable

**NOTES:**



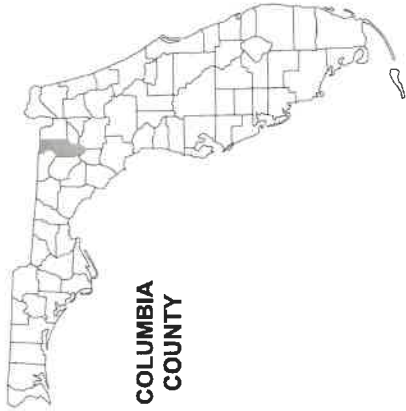
Columbia County, FL

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. [GrizzlyLogjc.com](http://GrizzlyLogjc.com)

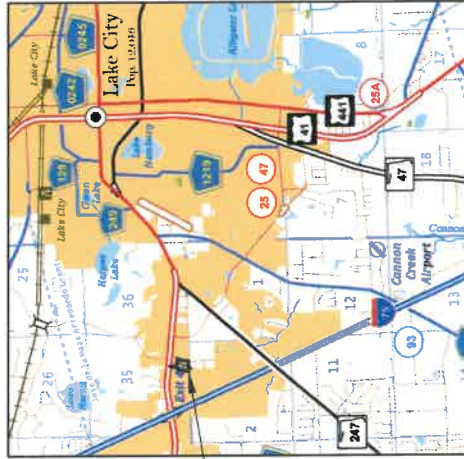




# CLEARSKY - LAKE CITY LAKE CITY, FL



**COLUMBIA  
COUNTY**



**PROJECT LOCATION**

## SHEET INDEX

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2	SIGNATURE SHEET
3	NOTES
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6	KEY SHEET
7	BUILDING PLAN
8-10	SITE PLANS
11	ROADWAY ACCESS PLAN SHEET
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18-19	SWMF PLANS
20-21	SWMF DETAILS
22	SANITARY SEWER PLAN
23-24	UTILITY CONNECTION PLANS
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38	EROSION CONTROL PLAN
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44	FIRE ACCESS PLAN AND WATER SUPPLY
45	PRE-EXISTING BASINS
46	POST-CONDITION BASINS

**PLANS PREPARED FOR:**

**THE SANDERS TRUST  
1000 URBAN CENTER DR. SUITE 675  
BIRMINGHAM, AL 35242**

**12/2023  
SUBMITTAL PLANS  
NOT FOR CONSTRUCTION**

DATE	REVISIONS DESCRIPTION

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
P.O. BOX 3823  
LAKE CITY, FL 32856  
PH. 386-752-4875  
LIC NO. LB68356



**JOB NUMBER:**  
2306218AN  
**ENGINEER:**  
GREGORY G. BAILEY  
**P.E. NO.:**  
43885

# COVER SHEET

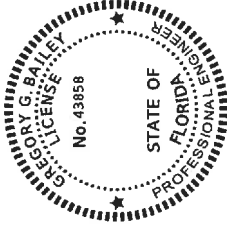
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NO.**  
1

DATE PLOTTED: 12/11/2023 3:56:37 PM  
DRAWN BY: GBAILEY  
PROJECT: C:\WORK\2306218AN\PROJECT\COVERSHEET.dwg

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# SHEET INDEX

- 1 SITE COVER
- 2 SIGNATURE SHEET
- 3 NOTES
- 4 DEMOLITION PLAN
- 5 OVERALL SITE PLAN
- 6 KEY SHEET
- 7 BUILDING PLAN
- 8-10 SITE PLANS
- 11 ROADWAY ACCESS PLAN SHEET
- 12-15 GRADING PLANS
- 16-17 DRAINAGE PLANS
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- 20-21 SWMF DETAILS
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- 45 PRE-EXISTING BASINS
- 46 POST-CONDITION BASINS



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NORTH FLORIDA PROFESSIONAL SERVICES, INC.  
 P.O. BOX 3823  
 LAKE CITY, FL 32056  
 CORPORATION (ON-38011)  
 GREGORY G. BAILEY, P.E. NO. 43858

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

## SITE DATA TABLE

### CLEARSKY

PARCEL ID NUMBER	35-3S-16-02579-002	SO. FT.	ACRES	% OF SITE	% OF LOC
ZONING	COMMERCIAL INTENSIVE	319086	7.33	100.00%	95.50%
LAND USE	COMMERCIAL	334106	7.67	81.04%	100.00%
CITY COUNCIL DISTRICT NUMBER	DISTRICT 5	334106	7.67	81.04%	100.00%
PHYSICAL ADDRESS	SW REAL TERRACE, LAKE CITY, FL				
PROJECT PROPERTY BOUNDARY					
TOTAL PROPERTY BOUNDARY AREA		0	0.00	0.00%	0.00%
PROJECT AREA / LIMITS OF CONSTRUCTION (LOC)		20979	0.48	6.57%	6.28%
BOTH ON-SITE & OFF-SITE		0	0.00	0.00%	0.00%
EXISTING IMPERVIOUS AREA ON-SITE		46492	1.07	14.57%	13.92%
EXISTING ASPHALT PAVEMENT		67472	1.55	21.15%	20.19%
EXISTING CONCRETE		0	0.00	0.00%	0.00%
EXISTING BUILDING		0	0.00	0.00%	0.00%
EXISTING STORMWATER MANAGEMENT FACILITY		0	0.00	0.00%	0.00%
TOTAL EXISTING IMPERVIOUS AREA ON-SITE		0	0.00	0.00%	0.00%
PROPOSED IMPERVIOUS AREA ON-SITE		67273	1.54	21.08%	20.14%
EXISTING ASPHALT PAVEMENT TO REMAIN		27748	0.64	8.70%	8.31%
EXISTING CONCRETE TO REMAIN		43575	1.00	13.66%	13.04%
EXISTING BUILDING TO REMAIN		64062	1.49	20.36%	19.44%
EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN		203558	4.67	63.79%	60.93%
PROPOSED ASPHALT PAVEMENT		11528	2.65	36.21%	34.58%
PROPOSED CONCRETE		4501	0.10	1.41%	1.35%
PROPOSED BUILDING		45013	1.03	14.11%	13.47%
PROPOSED STORMWATER MANAGEMENT FACILITY		93 SPACES + 8 H.C. SPACES			
TOTAL PROPOSED IMPERVIOUS AREA ON-SITE		93 SPACES + 8 H.C. SPACES			
TOTAL PROPOSED PERVIOUS AREA ON-SITE					
REQUIRED PARKING AREA ON-SITE					
REQUIRED PARKING					
PROVIDED PARKING					

<p>DATE</p> <p>REVISIONS DESCRIPTION</p>	<p><b>SIGNATURE SHEET</b>                  CLEARSKY - LAKE CITY                  LAKE CITY, FL</p>	<p>SHEET NO. 2</p>
<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>                  2551 BLAIRSTONE PINES DR.                  TALLAHASSEE, FL 32301                  WWW.NFPS.NET                  CAM 28011</p>		
<p>JOB NUMBER: L208218AN                  EOR: GREGORY G. BAILEY                  P.E. NO.: 43858</p>		

**GENERAL NOTES**

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED SUWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. BOUNDARY INFORMATION SHOWN, WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY NFPS, INC.
5. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
6. THE SITE IS LOCATED IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.
7. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED. THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
8. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SRWMD APPLICANT HANDBOOK VOLUME 11 AND 62-330 F.A.C.
9. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.
10. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
11. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED.
12. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
13. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM CITY HALL OR PUBLIC WORKS.
14. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS.
15. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
16. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.
17. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.

18. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE CITY OF LAKE CITY DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.
19. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS PREPARED BY NORTH FLORIDA PROFESSIONAL SERVICES, INC. DATED??? (insert date and include when NFPS develops and prints specification package for construction of project).
20. A PRE-CONSTRUCTION MEETING WITH THE GREATER LAKE CITY REGIONAL UTILITY AUTHORITY (GLCRA) PROJECT INSPECTOR IS REQUIRED PRIOR TO BEGINNING CONSTRUCTION.
21. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
22. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
23. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
24. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS IN ADVANCE OF THE PRESSURE AND LEAKAGE TESTS.
25. NO FINAL TESTING OR PRESSURE TESTING WILL BE ACCEPTED UNLESS WITNESSED BY THE CITY'S REPRESENTATIVE.
26. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT WRITTEN NOTIFICATION TO THE CITY AND CITY ENGINEER.
27. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. THIS AS-BUILT SURVEY SHOULD INCLUDE ALL OUTFALL STRUCTURES. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. THE AS-BUILT SURVEY SHALL BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.
28. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
29. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDAM AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. SEE KARST REPAIR DETAIL #E23. IN ADDITION, A REPORT, PREPARED BY A REGISTERED PROFESSIONAL, SHALL BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER. THE REPORT SHALL PROVIDE REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
30. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.
31. ALL UTILITY AND/OR DRAINAGE STRUCTURES SHALL BE PRECAST UNLESS APPROVED BY THE ENGINEER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO PROCUREMENT.



**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 2351 BLAIRSTONE PINES DR.  
 TALLAHASSEE, FL 32301  
 WWW.NFPS.NET  
 CWF 26011

**JOB NUMBER:** L230621SAN  
**FOR:** GREGORY G. BAILEY  
**P.E. NO.:** 43856

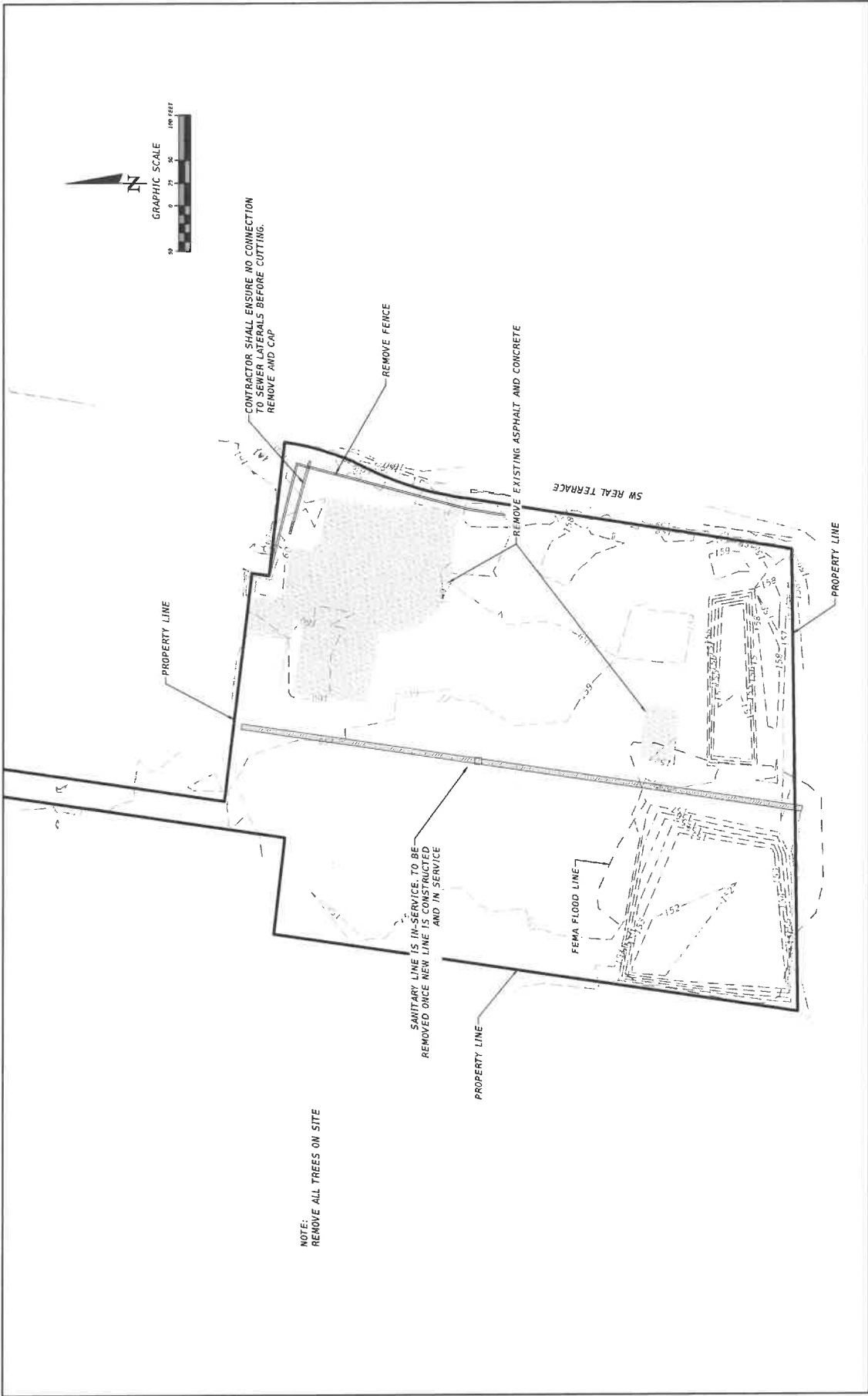
**NOTES**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

**SHEET NO.:** 3

DATE	REVISIONS DESCRIPTION

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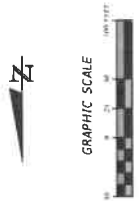
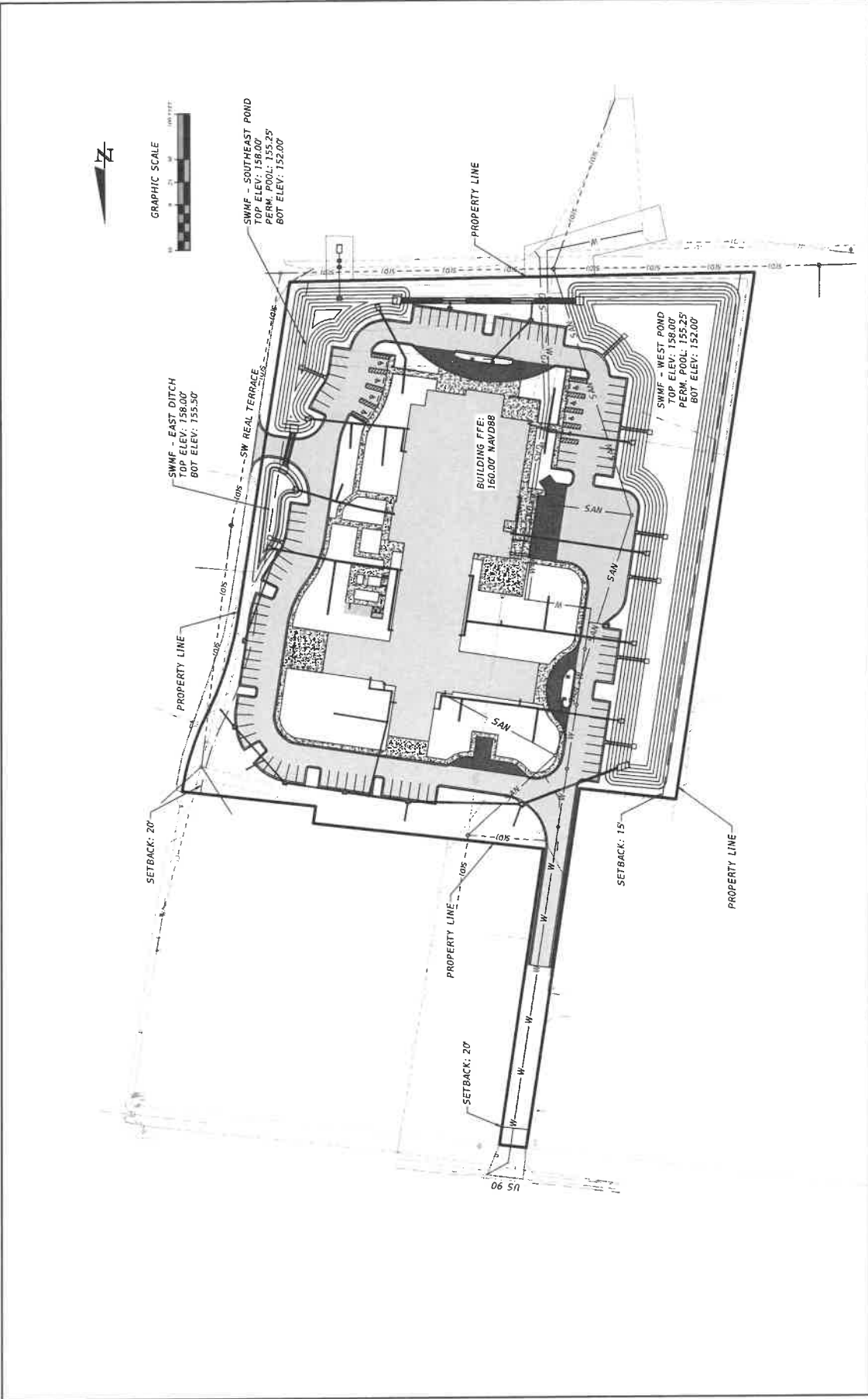


NOTE:  
REMOVE ALL TREES ON SITE

DATE	REVISIONS	DESCRIPTION	JOB NUMBER:	DEMOLITION PLAN	SHEET NO.
			L320821SAN	4	
			EOR: GREGORY G. BAILEY		
			P.E. NO.: 49888		
			<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>		
			P.O. BOX 3823		
			2551 BLAIRSTONE PINES DR.		
			LAKE CITY, FL 32301		
			PH. 386-792-4675		
			WWW.NFPS.NET		
			CA# 28011		
			LC NO. LBS556		

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Dawn Kellon  
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SHEET NO.	5
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## OVERALL SITE PLAN

### CLEARSKY - LAKE CITY LAKE CITY, FL

JOB NUMBER:  
L230821SAN  
EOR:  
GREGORY G. BAILEY  
P.E. NO.:  
43888

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
2551 BLAIRSTONE PINES DR.  
LAKE CITY, FL 32856  
PH: 386-752-4675  
WWW.NFPS.NET  
LIC. NO. LB6556

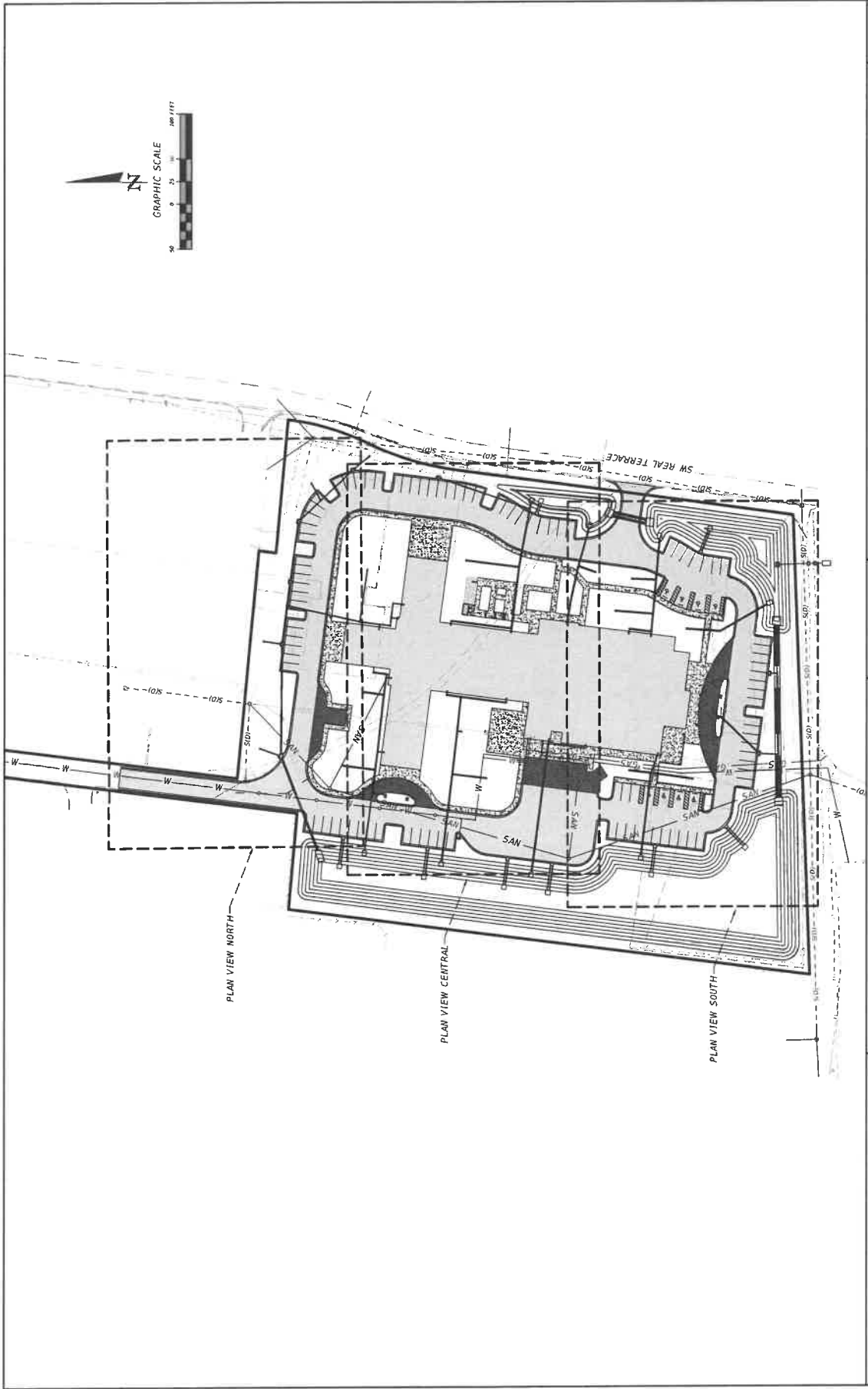


DATE	REVISIONS DESCRIPTION

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Daria Kileva  
T:\2023\230821SAN\CFD\CADD\Cross\NFW\AWP\VLMMD\_Crossw\_01.dwg 3 OVERALL SITE PLAN



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REVISIONS		DESCRIPTION	
DATE			

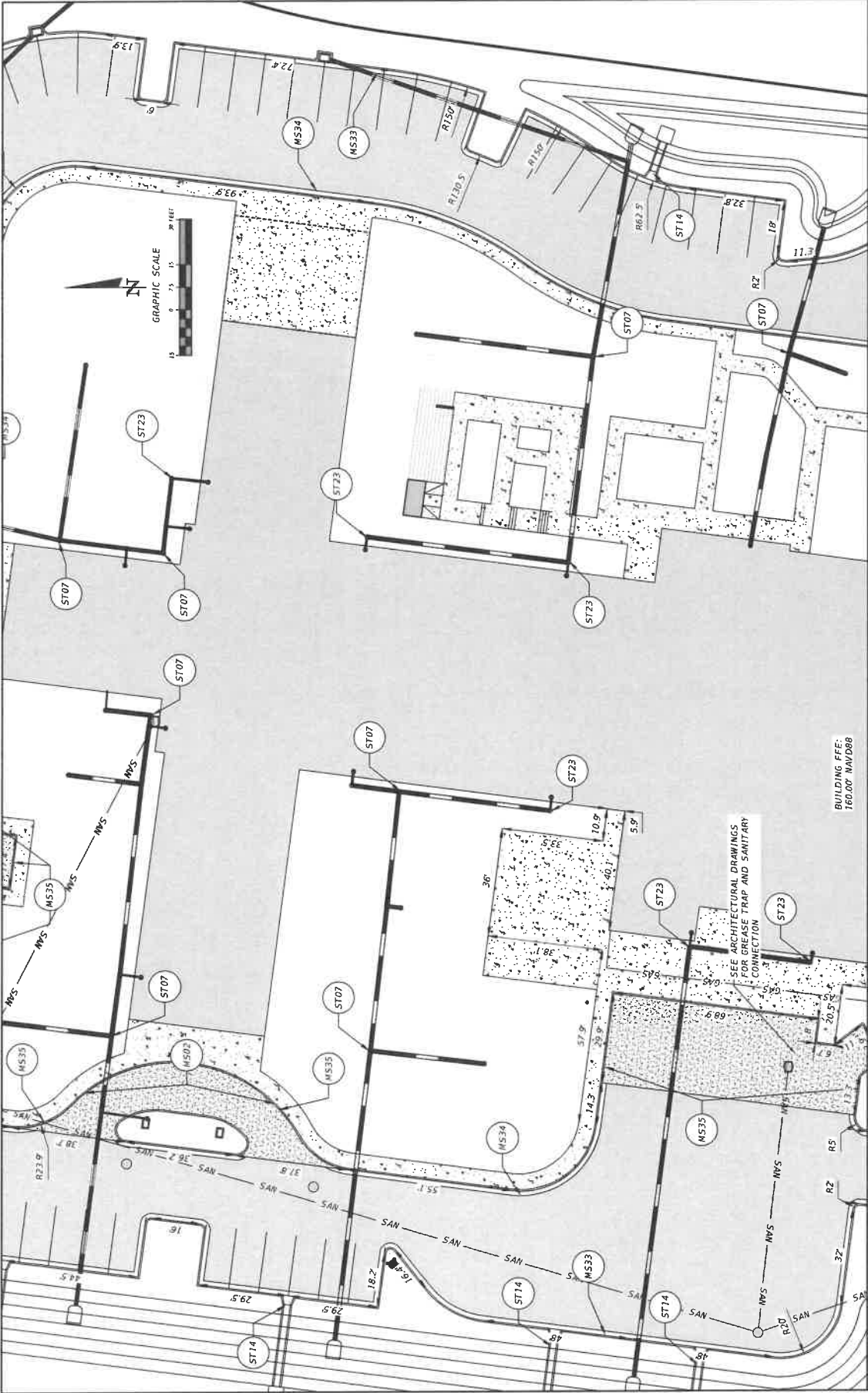
<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>                  P.O. BOX 3823                  LAKE CITY, FL 32056                  PH. 386-762-4675                  LIC NO. LB8856</p>		<p><b>JOB NUMBER:</b>                  230227SAN  <b>DOB:</b>                  GREGORY G. BAILEY  <b>P.E. NO.:</b>                  43358</p>		<p><b>KEY SHEET</b>  <b>CLEARSKY - LAKE CITY</b>  <b>LAKE CITY, FL</b></p>		<p>SHEET NO.                  6</p>	
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12/17/2023 3:57:12 PM  
 Danna Killest





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DATE	REVISIONS	DESCRIPTION

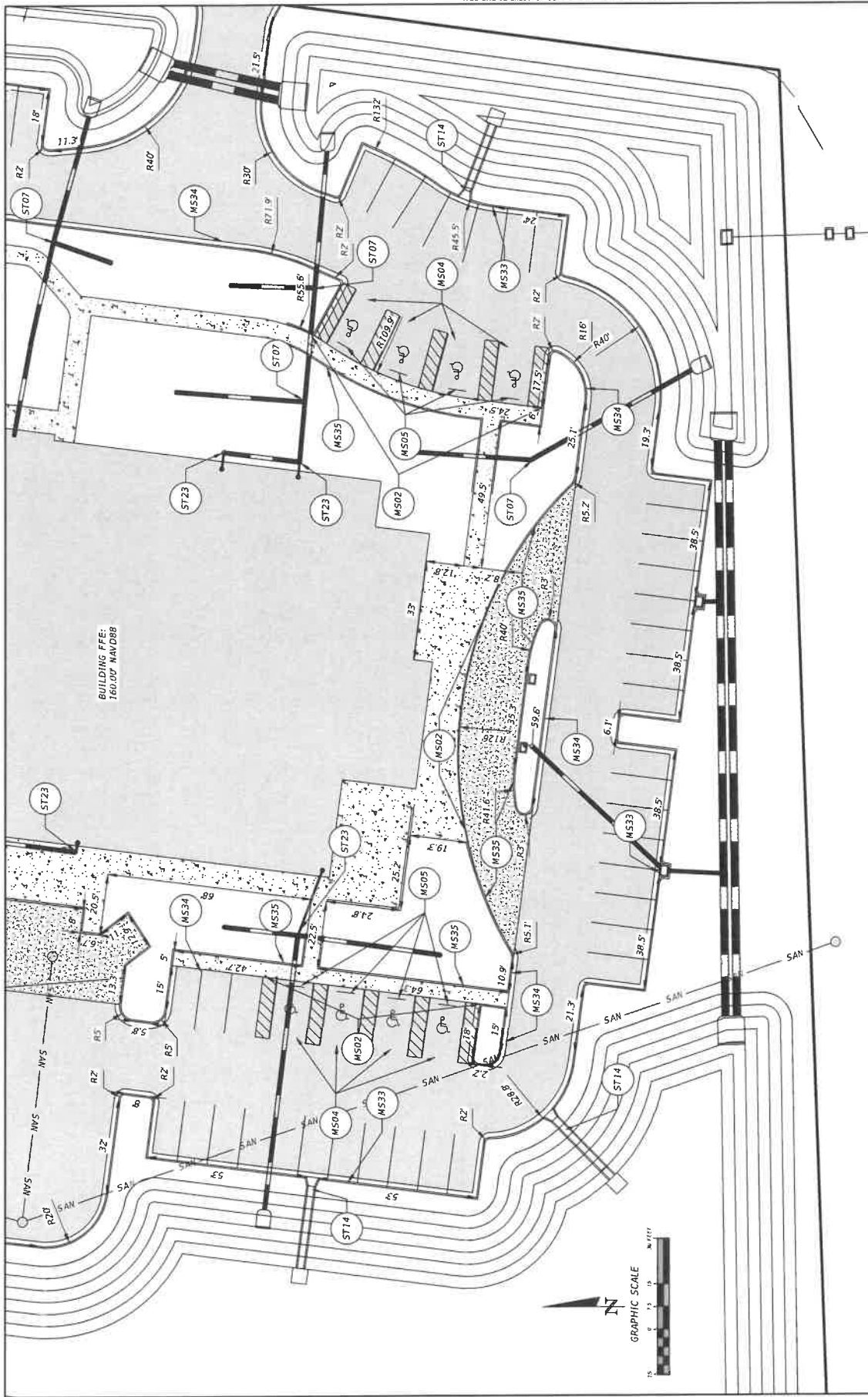

  
**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 P.O. BOX 3823  
 LAKE CITY, FL 32056  
 PH. 386-792-4675  
 WWW.NFPS.NET  
 LIC. NO. LB8056

**JOB NUMBER:** L320821SAN  
**EOR:** GREGORY G. BAILEY  
**P.E. NO.:** 49558

**SITE PLAN CENTRAL**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

**SHEET NO.**  
**9**

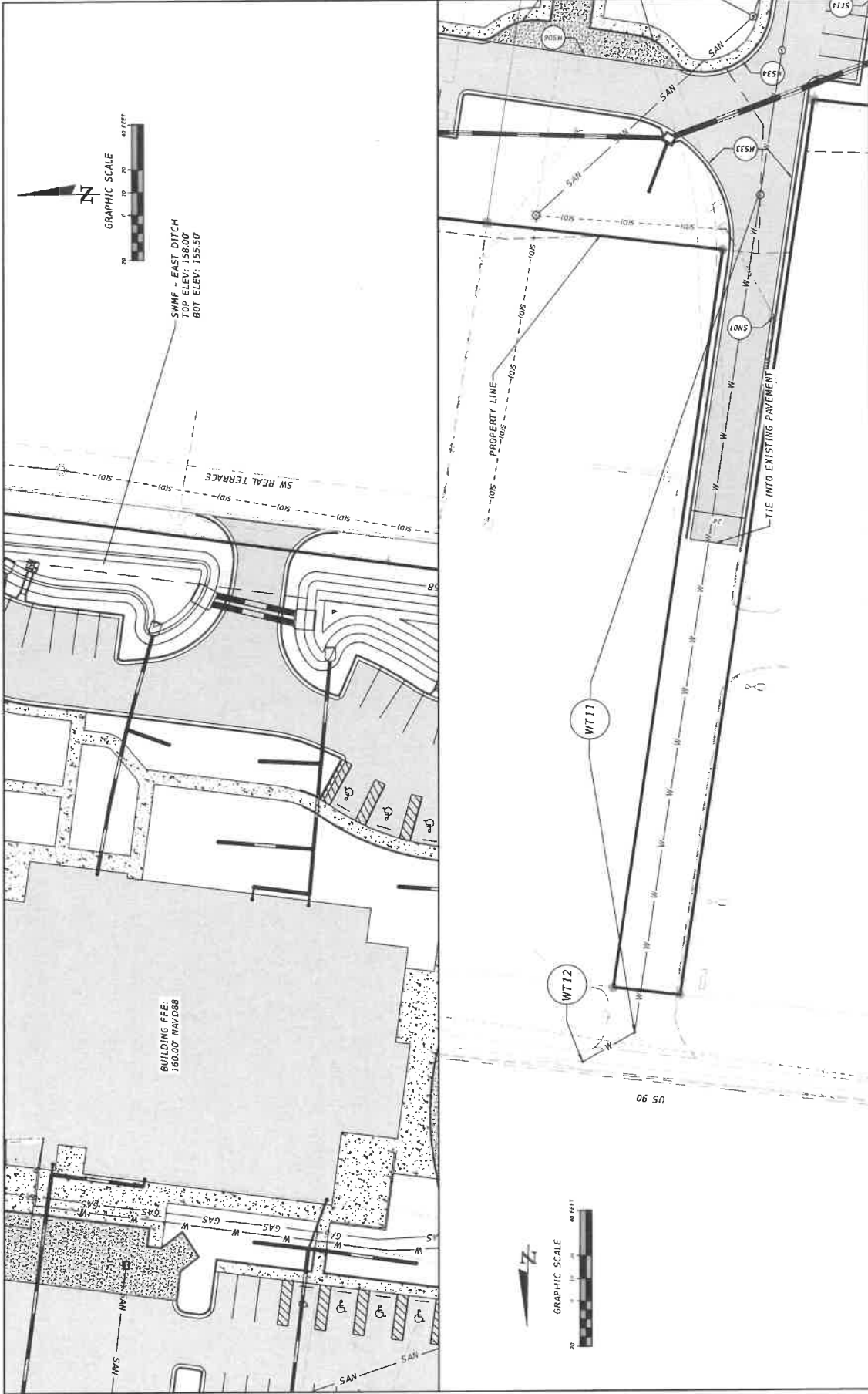
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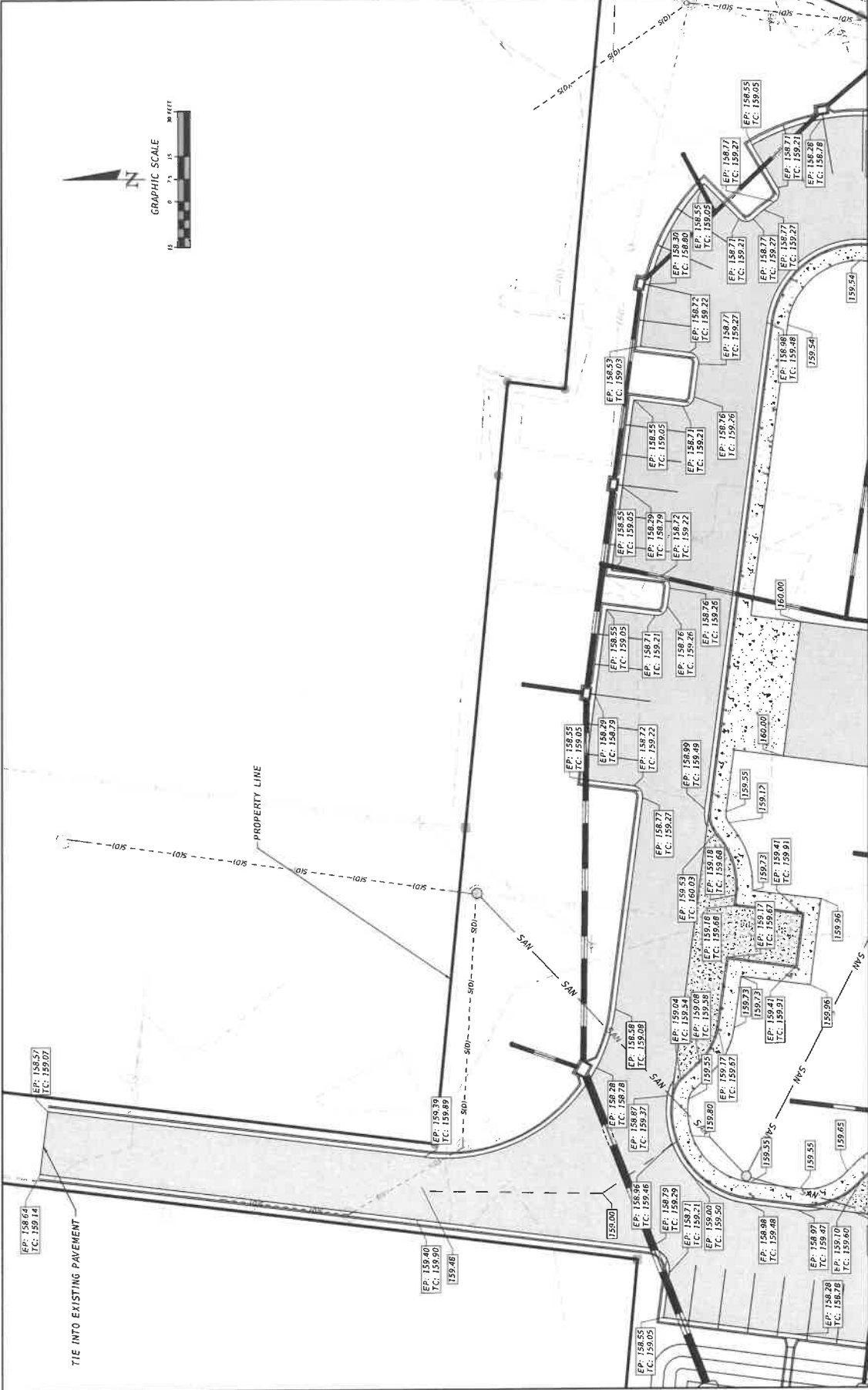
DATE	REVISION B DESCRIPTION	<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>          P.O. BOX 3823          LAKE CITY, FL 32056          PH. 386-752-4675          WWW.NFPS.NET          LIC NO. LBR556</p>	<p><b>JOB NUMBER:</b>          EPR-2023SAN  <b>FOR:</b>          GREGORY G. BAILEY          P.E. NO.:          43958</p>	<p><b>SHEET NO.</b>          10</p>
		<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>          2551 BLARSTONE PINES DR.          TALLAHASSEE, FL 32301          WWW.NFPS.NET          CA# 29011</p>	<p><b>SITE PLAN SOUTH</b>  <b>CLEARSKY - LAKE CITY</b>  <b>LAKE CITY, FL</b></p>	<p>1. 2023.11.30.02.15AM VET CAD/CAD/CLEARSKY/CLEARSKY_01.dwg 10 SITE PLAN SOUTH          12/17/2023 3:57:27 PM          Darrin Kilmer</p>

THIS PLAN HAS BEEN PREPARED, SIGNED AND SEALED BY ENGINEER G. BAILEY, ON THE DATE ADJACENT TO THE SEAL. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED VALID UNLESS THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



<p><b>ROADWAY ACCESS PLAN SHEET</b>  <b>CLEARSKY - LAKE CITY</b>  <b>LAKE CITY, FL</b></p>		<p>SHEET NO.  <b>11</b></p>
<p>JOB NUMBER:          L33M21SAN          EOR:          GREGORY G. BAILEY          P.E. NO.:          43858</p>		<p>DATE</p>
<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>          2551 BLAIRSTONE PINES DR.          LAKE CITY, FL 32056          PH. 386-752-4675          WWW.NFPS.NET          CAP 20011          LIC NO. LB8356</p>		<p>REVISIONS          DESCRIPTION</p>
<p>12/17/2023 3:57:31 PM          Dawn K. Kelly</p>		<p>DATE</p>

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DATE	REVISIONS	DESCRIPTION

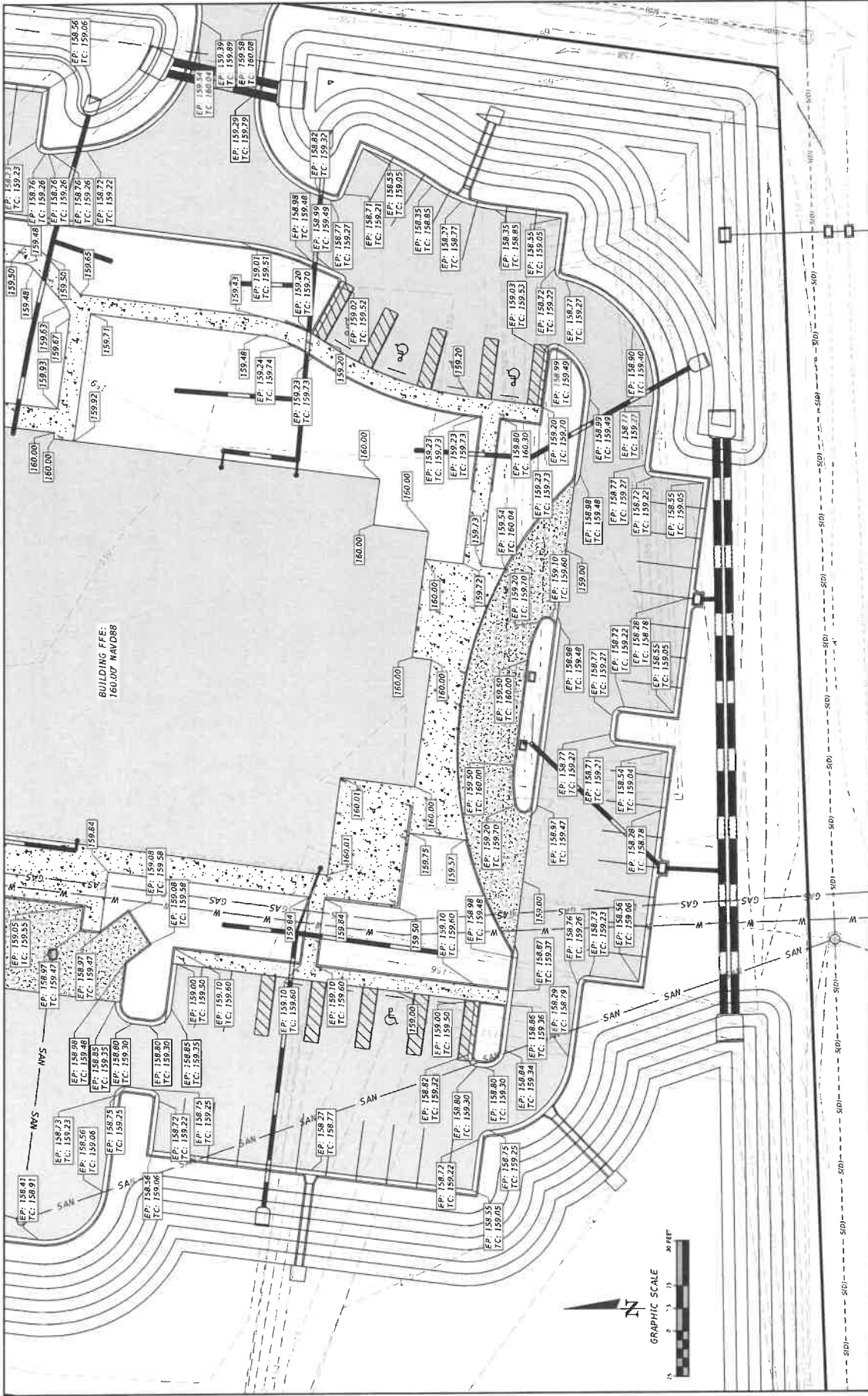
<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> P.O. BOX 3823 LAKE CITY, FL 32956 PH. 386-732-4873 WWW.NFPS.NET LIC NO. LBR556	<b>JOB NUMBER:</b> L2008218AN <b>EOR:</b> GREGORY G. BAILEY <b>P.E. NO.:</b> 43888	<b>SHEET NO.:</b> 12 <b>12 GRADING PLAN NORTH</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>
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DATE	REVISIONS	NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2511 BLAIRSTONE PINES DR. LAKE CITY, FL 32056 904-886-1188 LIC NO. 188336		JOB NUMBER: L230821SAN EDR: GREGORY G. BAILEY P.E. NO.: 43888	SHEET NO. 14
		12/12/2023 3:54:43 PM Daria Killoff		GRADING PLAN SOUTH CLEARSKY - LAKE CITY LAKE CITY, FL	14 GRADING PLAN SOUTH

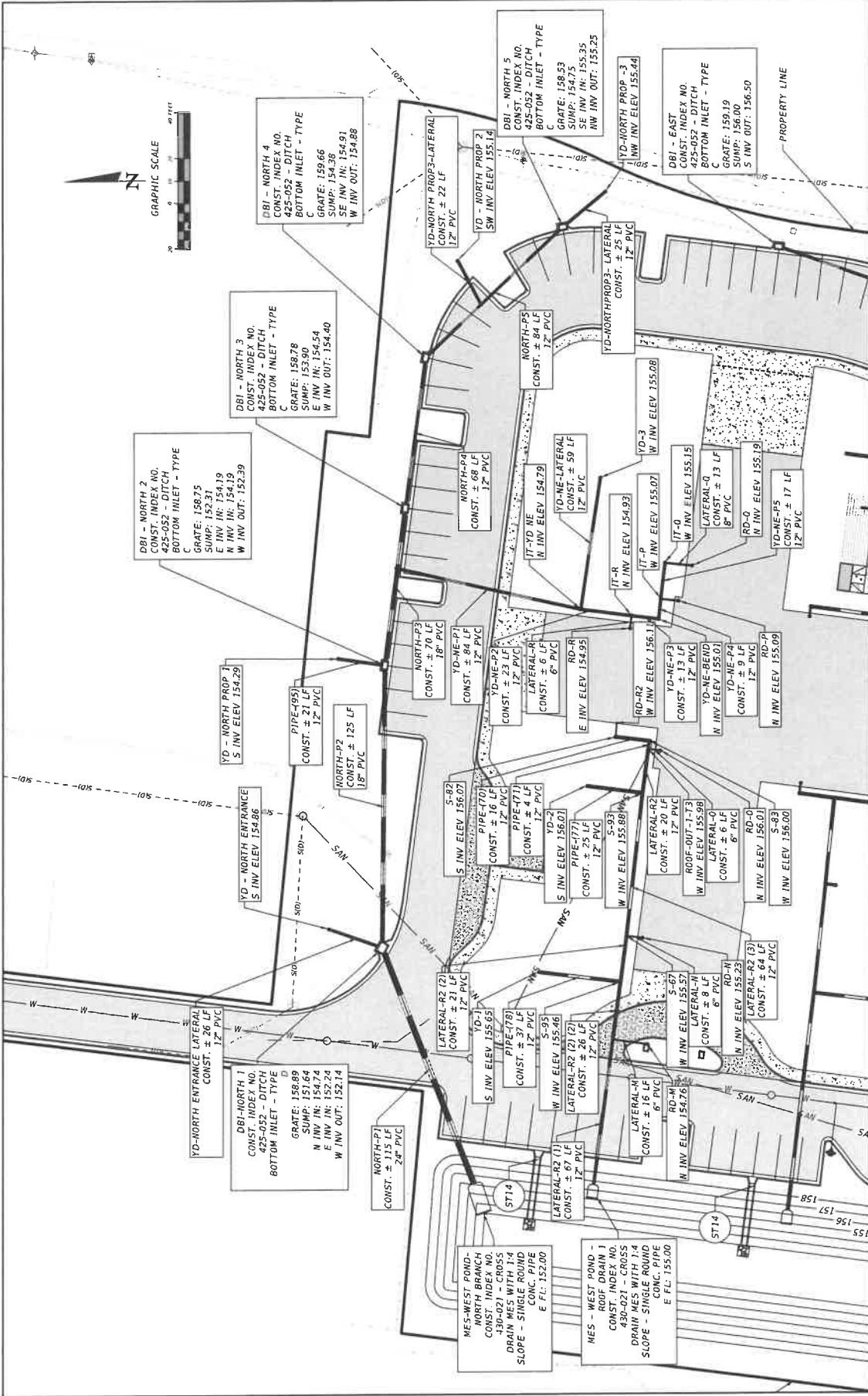
THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES. PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED BY GREGORY G. BAILEY ON THE DATE ADJACENT TO THE SEAL.



DATE	REVISIONS DESCRIPTION			<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> P.O. BOX 3823 LAKE CITY, FL 32058 PH. 386-752-4675 WWW.NFPS.NET LIC. NO. LBS 156	JOB NUMBER: L230621SAN EOR: GREGORY G. BAILEY P.E. NO.: 43988	<b>GRADING PLAN COURTYARD</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>		SHEET NO.	15
		NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32058 PH. 386-752-4675 WWW.NFPS.NET LIC. NO. LBS 156				JOB NUMBER: L230621SAN EOR: GREGORY G. BAILEY P.E. NO.: 43988		<b>GRADING PLAN COURTYARD</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>	

12/17/2023 3:37:48 PM D:\230621\230621SAN\230621SAN\230621SAN\PLAN\PLAN\_01.DWG 15 GRADING PLAN COURTYARD

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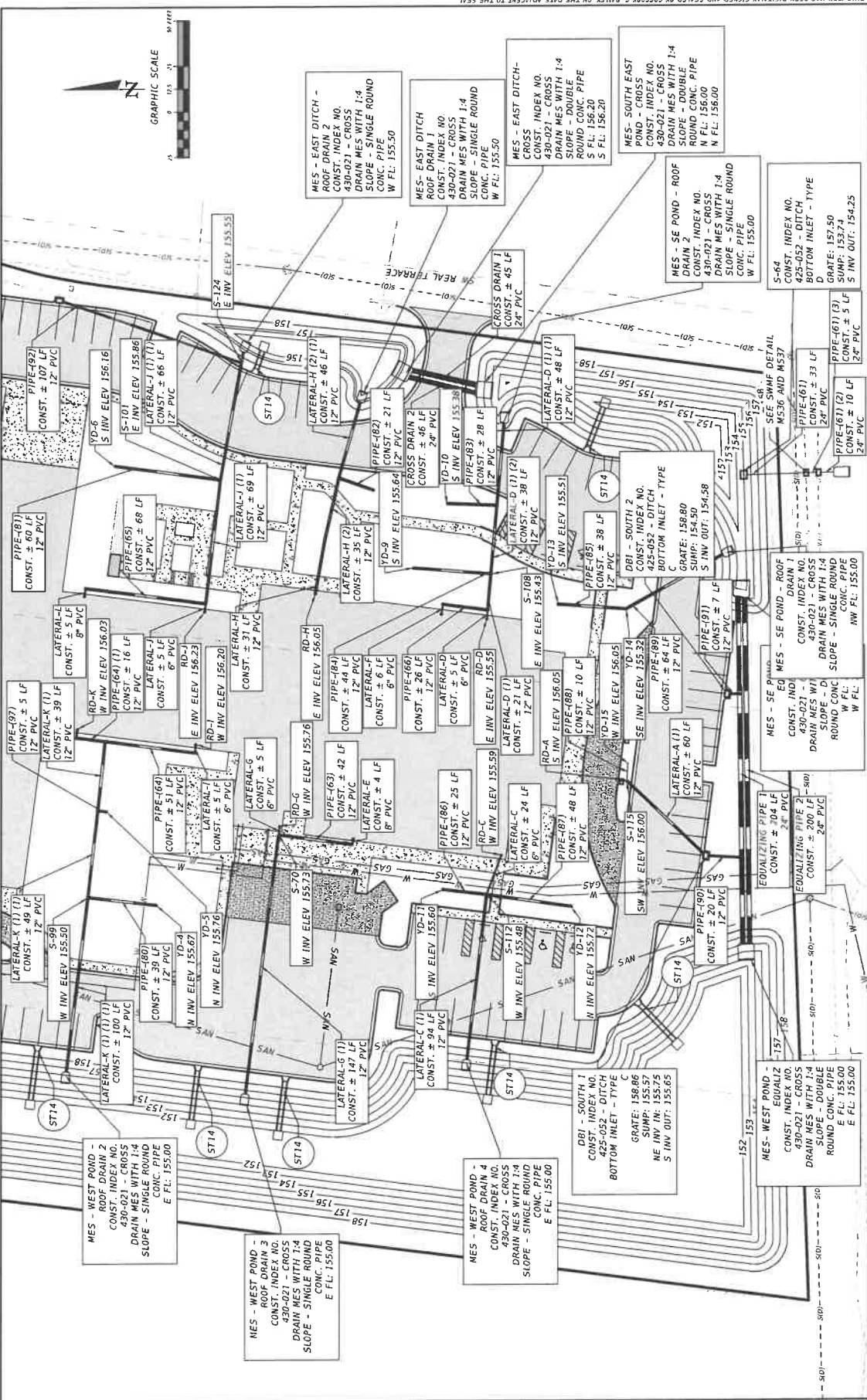
DATE	REVISION	DESCRIPTION
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<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-762-4675 WWW.NFPS.NET LIC NO. LB8356		JOB NUMBER: L200218AN EOR: GREGORY G. BAILEY P.E. NO. 43859	SHEET NO. 16
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**DRAINAGE PLAN NORTH  
CLEARSKY - LAKE CITY  
LAKE CITY, FL**

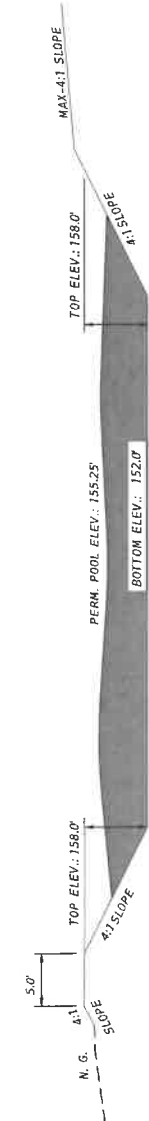
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User: gbailey



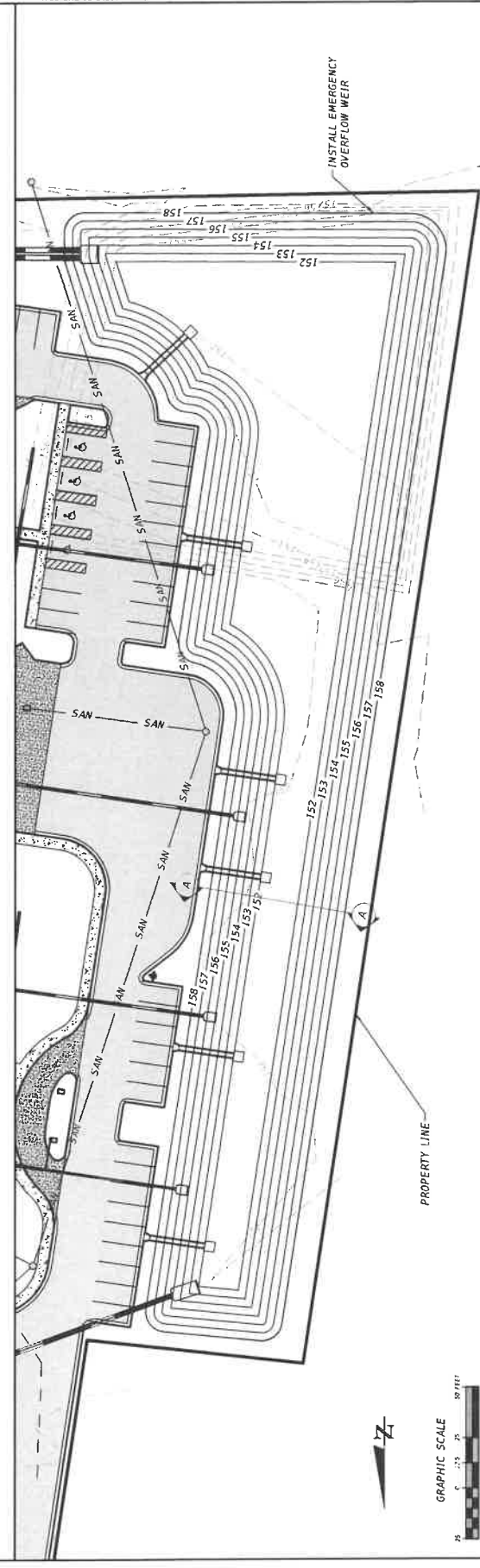
THIS PLAN HAS BEEN DESIGNATED AS A FINAL PLAN BY THE CITY OF LAKE CITY, FLORIDA. ANY CHANGES TO THIS PLAN MUST BE MADE BY THE CITY ENGINEER. THE ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED ON THIS PLAN. THE CITY ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED ON THIS PLAN. THE CITY ENGINEER'S SIGNATURE AND SEAL ARE REQUIRED ON THIS PLAN.

<b>REVISIONS</b> <table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th style="width: 5%;">DATE</th> <th style="width: 95%;">DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	DESCRIPTION							<div style="text-align: center;"> <h2 style="margin: 0;">DRAINAGE PLAN SOUTH</h2> <h3 style="margin: 0;">LAKE CITY, FL</h3> </div> <hr/> <p style="font-size: small; margin: 0;">JOB NUMBER: 43888          EOR: GREGORY G. BAILEY          P.E. NO.: 43888</p> <p style="font-size: small; margin: 0;">NORTH FLORIDA PROFESSIONAL SERVICES, INC.          2551 BLARSTONE PINES DR.          LAKE CITY, FL 32058          PH. 386-752-4675          WWW.NFPS.NET          LIC NO. 1B8856</p>	SHEET NO. <div style="text-align: center; font-weight: bold; font-size: large;">17</div>
DATE	DESCRIPTION									

**CRITICAL EVENT: 100 YR - 1 HR**  
**MAX STAGE: 156.97**



**A-A STORMWATER MANAGEMENT FACILITY WEST POND DETAIL**  
 SCALE: N.T.S



DATE	REVISIONS DESCRIPTION

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 P.O. BOX 9823  
 LAKE CITY, FL 32066  
 PH: 386-152-4675  
 WWW.NFPS.NET  
 Lic No. LB8856

**JOB NUMBER:**  
 L230821SAN  
**EOB:**  
 GREGORY G. BAILEY  
**P.E. NO.:**  
 4888

**SWMF PLAN - WEST POND**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

**SHEET**  
**NO.**  
**18**

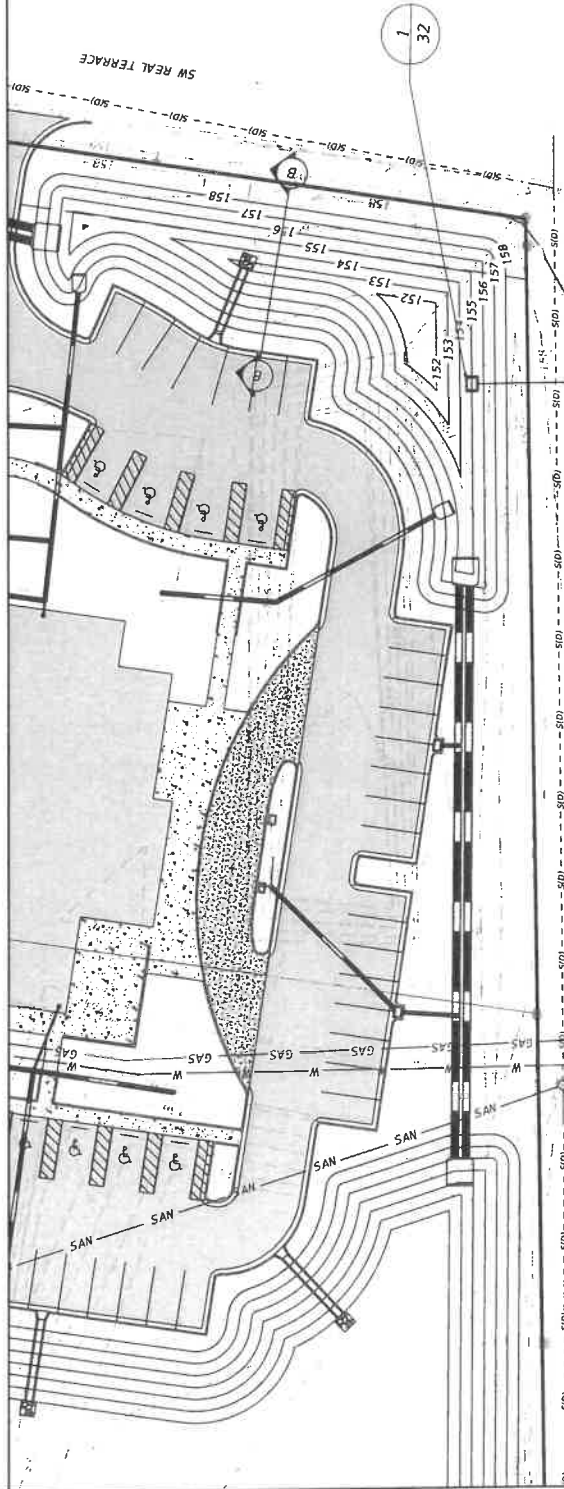
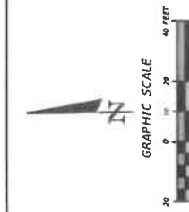
12/1/2023 3:57:59 PM  
 X:\2023\230821SAN\230821SAN.dwg 18 SWMF PLAN - WEST POND  
 Glenn Killeen

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**CRITICAL EVENT: 100YR-1HR&2HR**  
**MAX STAGE: 156.95'**



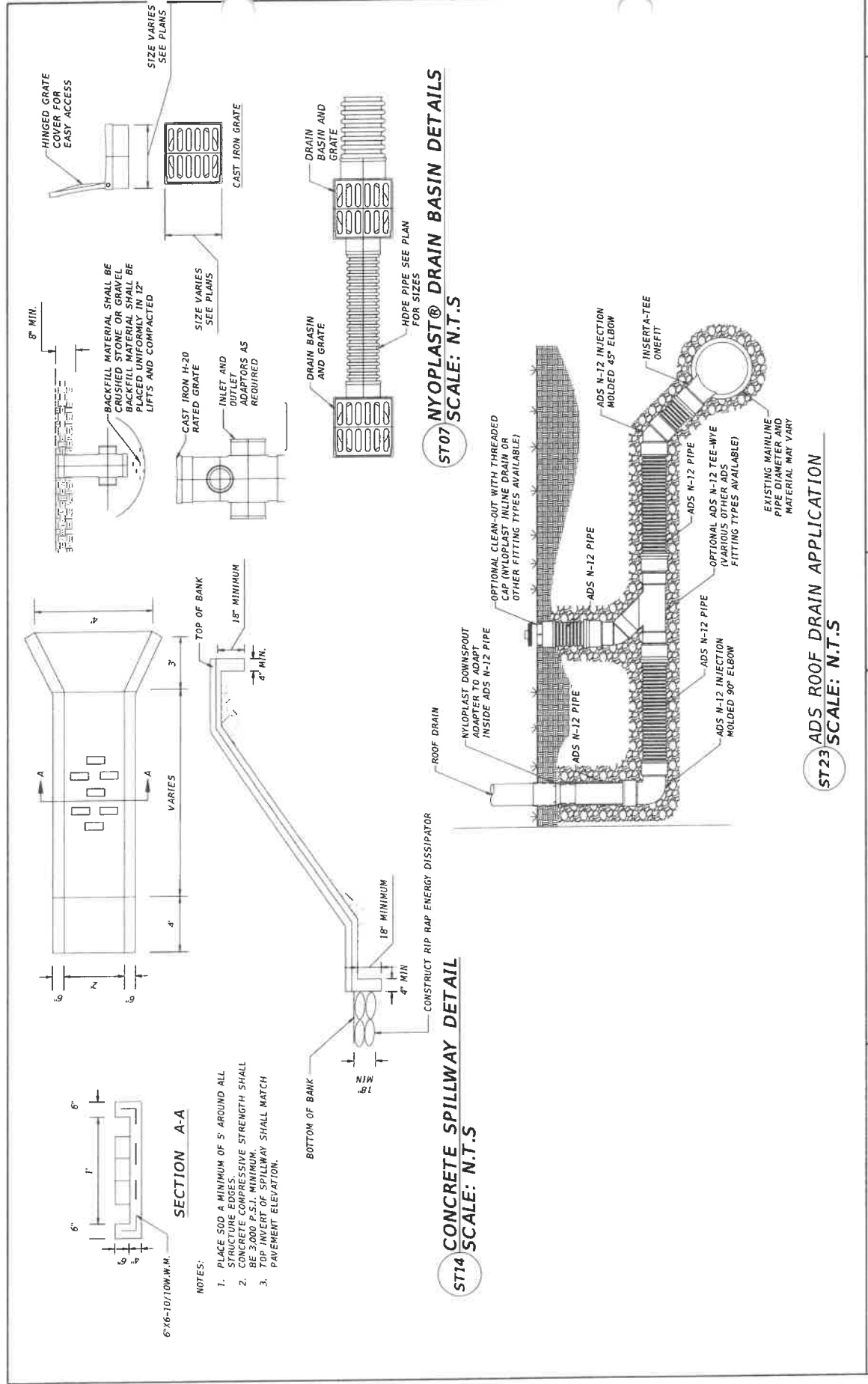
**B-B STORMWATER MANAGEMENT FACILITY SOUTH EAST POND DETAIL**  
 SCALE: N.T.S



DATE	REVISION #	DESCRIPTION

<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>          2851 BLARSTONE PINES DR.          TALLAHASSEE, FL 32301          WWW.NFPS.NET          CAP#28011</p>	<p><b>JOB NUMBER:</b>          L236821SAN  <b>EOR:</b>          GREGORY G. BAILEY  <b>P.E. NO.:</b>          43886</p>	<p><b>SWMF PLAN - SOUTH EAST POND</b>  <b>CLEARSKY - LAKE CITY</b>  <b>LAKE CITY, FL</b></p>
<p>12/11/2023 3:50:01 PM          DATA RATED</p>		<p>19          SHEET NO.</p>

X:\2023\136821\SWMF\CDD\CDD\Drawings\PLAN\NO\_Clearsky\_01.dwg 19 SWMF PLAN - SOUTH EAST POND



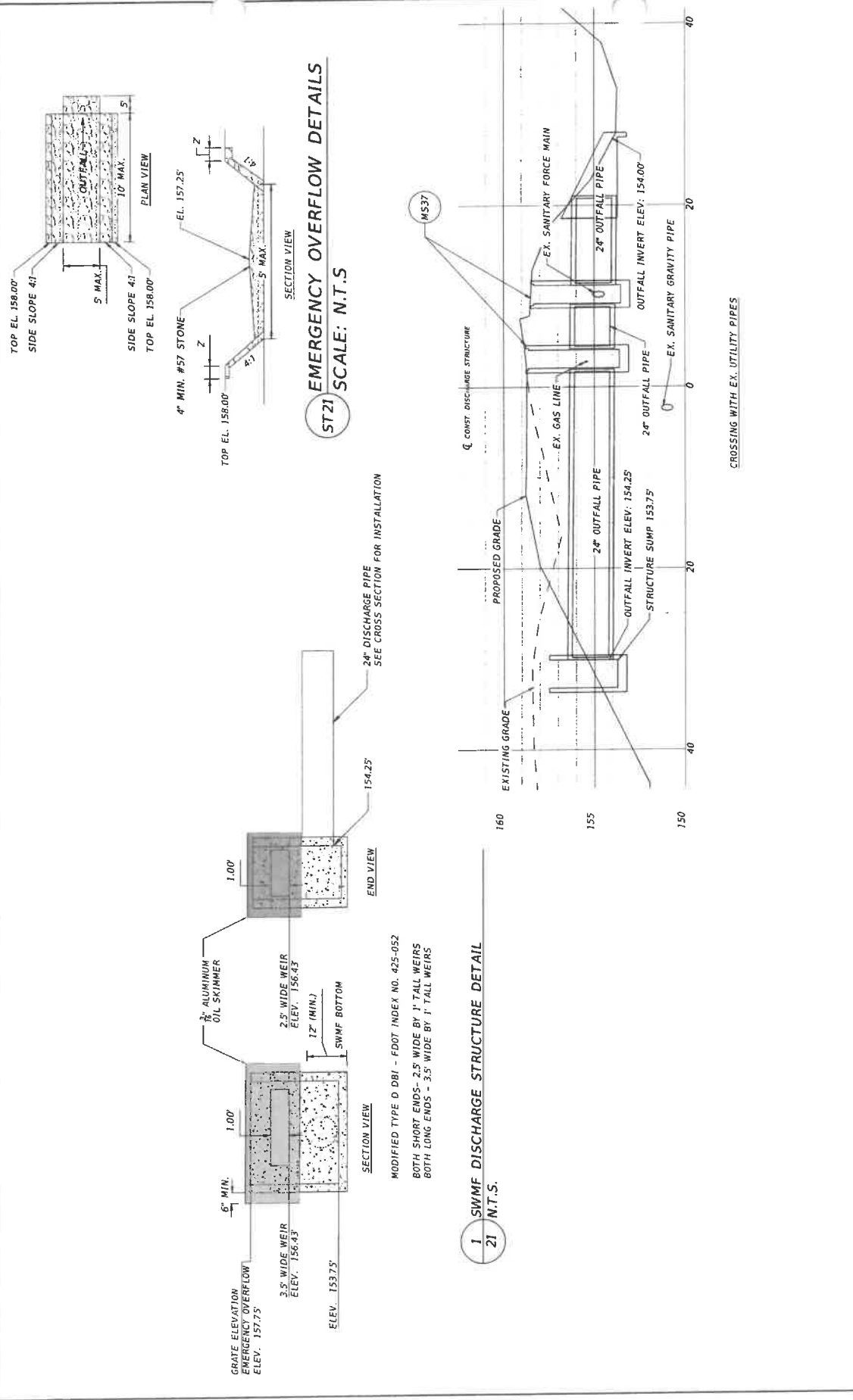
DATE	REVISIONS	DESCRIPTION

NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLARSTONE PINES DR. TALLAHASSEE, FL 32301 TEL: 904-247-8776 FAX: 904-247-8778 LIC. NO. LB39396	JOB NUMBER: L230421SAN EOR: GREGORY G. BAILEY P.E. NO.: 43888	SWMF DETAILS CLEARSKY - LAKE CITY LAKE CITY, FL
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SHEET NO. 20	K:\3230421\SAN\L230421SAN\CD\GREGORY G. BAILEY\NETS\02_Clearsky_01.dwg 20 SWMF DETAILS
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DATE \_\_\_\_\_ DESCRIPTION \_\_\_\_\_

REVISIONS

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 2861 BLARSTONE PINES DR.  
 PALM HARBOR, FL 32066  
 PHONE: 888-777-7667  
 FAX: 888-777-7667  
 LIC NO. LB63366



**JOB NUMBER:**  
 L230621SAN  
**EOR:**  
 GREGORY G. BAILEY  
**P.E. NO.:**  
 43886

**SWMF DETAILS**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

**SHEET**  
**NO.**  
**21**

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DATE	REVISIONS	DESCRIPTION
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**JOB NUMBER:**  
L230621SAN  
**FOR:**  
GREGORY G. BAILEY  
**P.E. NO.:**  
48386

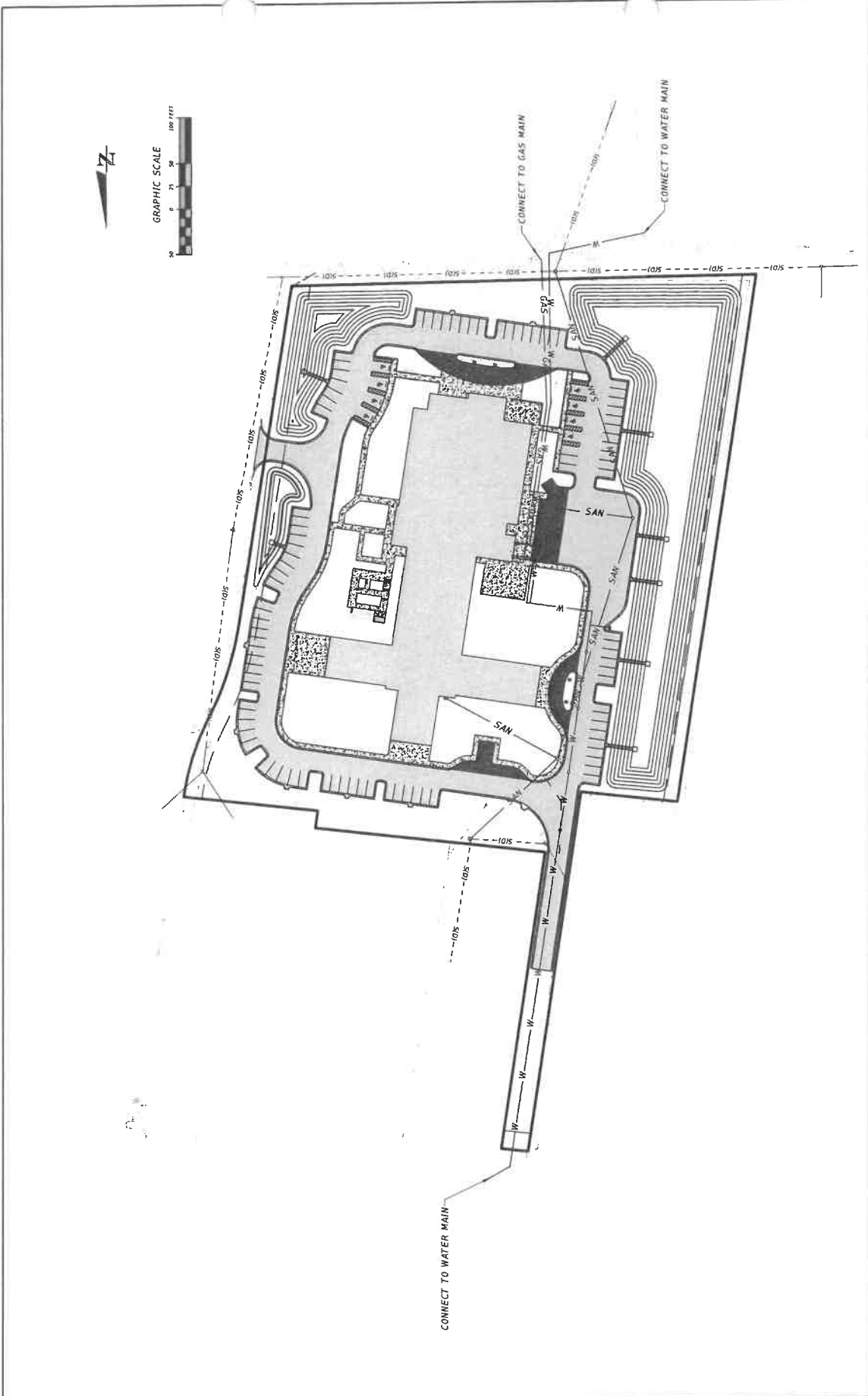
**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
2851 BLAIRSTONE PINES DR.  
LAKE CITY, FL 32056  
WWW.NFPAES.NET  
LIC NO. LB3386  
CAM 29611

**DENN KILROY**  
12/1/2023 3:58:37 PM

**SANITARY SEWER PLAN**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

**SHEET NO. 22**

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<b>UTILITY CONNECTION PLAN</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>		SHEET NO. <b>23</b>
<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> 2651 BLAIRSTONE PINES DR. LAKE CITY, FL 32066 PH: 386.762.4475 WWW.NFPS.NET CA# 28011 LC NO. LBR335		JOB NUMBER: <b>L230621SAN</b> EOR: <b>GREGORY G. BAILEY</b> P.E. NO.: <b>45888</b>
DATE _____		12/17/2023 16:53:39 PA (Term: 6/10yr)
<b>REVISIONS</b> DESCRIPTION _____ _____ _____		12/17/2023 16:53:39 PA (Term: 6/10yr)

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DATE	REVISIONS DESCRIPTION

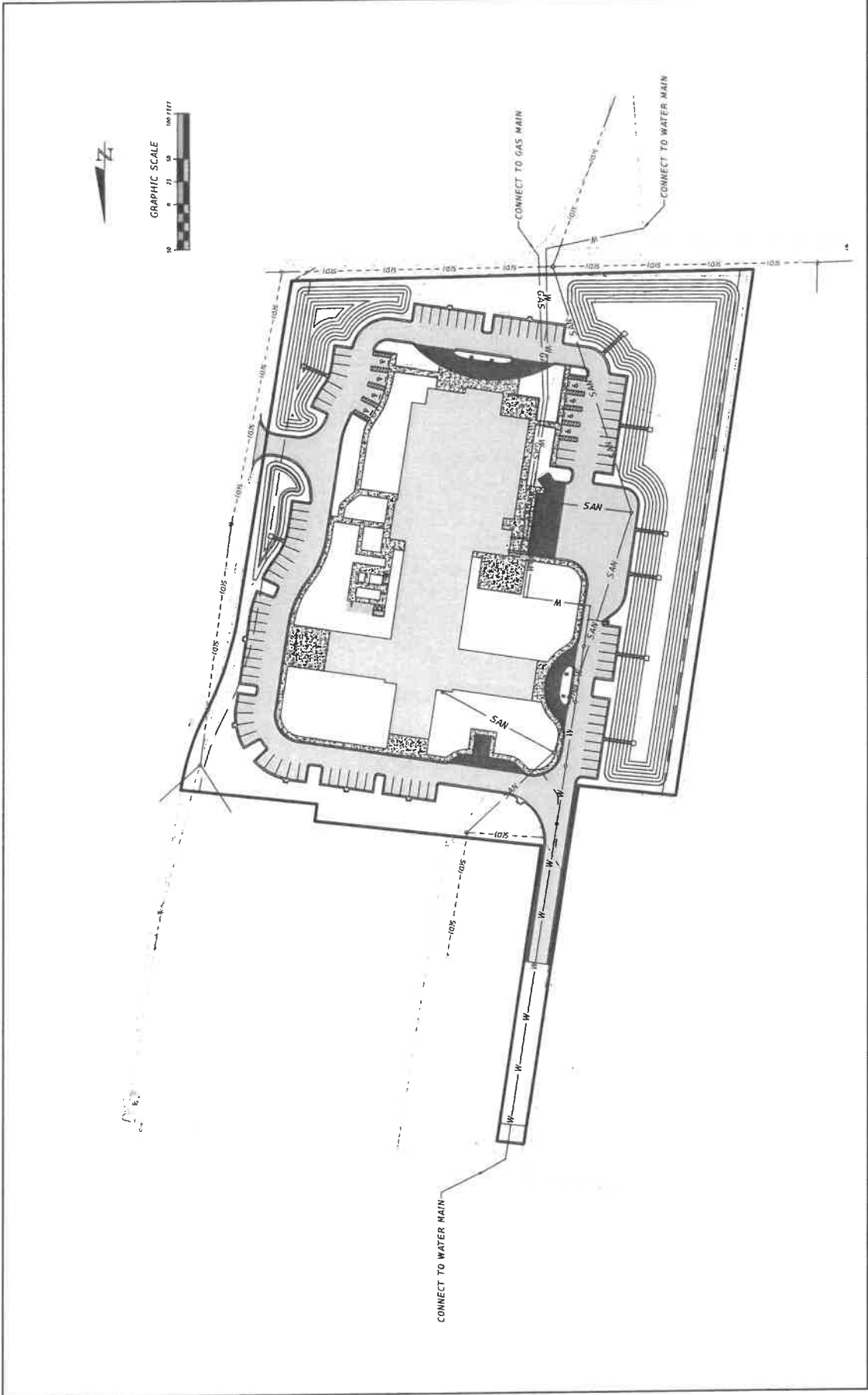
<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> P.O. BOX 3923 2551 BLARSTONE PINES DR. WILMINGTON, FL 33301 PH: 386-752-4876 WWW.NFPS.NET LIC NO. LB8386	<b>JOB NUMBER:</b> L2304218AN <b>EOR:</b> GREGORY G. BAILEY P.E. #4385
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<b>UTILITY CONNECTION PLAN</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>	<b>SHEET NO.</b> 24
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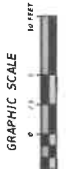
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<b>UTILITY CONNECTION PLAN</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>		SHEET NO. <b>23</b>
<b>REVISIONS</b> DATE DESCRIPTION		JOB NUMBER: 300215AN EOR: GREGORY G. BAILEY P.E. NO.: 43858
NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32058 PH. 386-792-4575 LIC NO. LB9358		12/17/2023 3:58:35 PM Drawn: GGB
		2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAM 20011

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DATE	REVISIONS DESCRIPTION

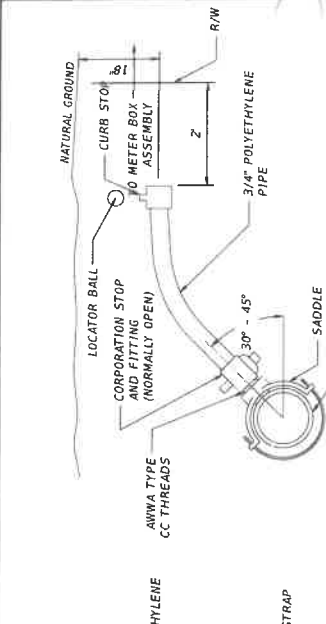
  

<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> P.O. BOX 3823 LAKE CITY, FL 32056 904.385.5545 LIC. NO. LB83366	<b>JOB NUMBER:</b> L2306215AN <b>EOR:</b> GREGORY G. BAILEY <b>P.E. NO.:</b> 43838	<b>UTILITY CONNECTION PLAN</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>	<b>SHEET NO.</b> 24
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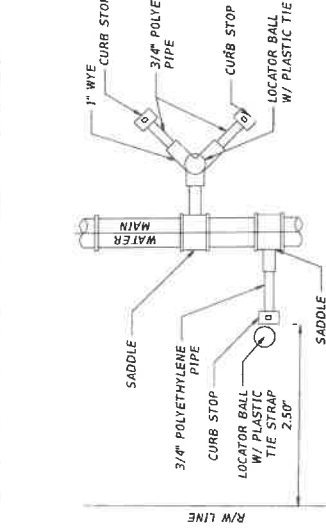
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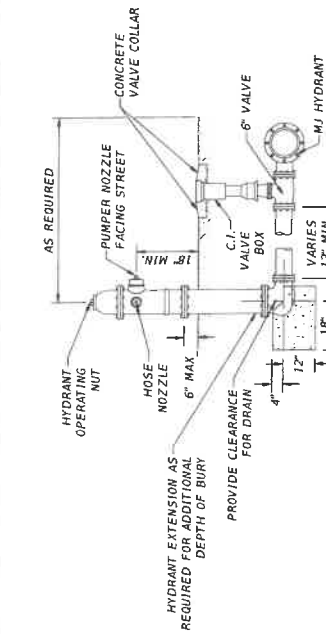
**SINGLE SERVICE PROFILE**

- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/ PACK JOINT TYPE CONNECTIONS.
  2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
  3. EACH SERVICE LINE SHALL TERMINATE AT A CURB STOP WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" x 2" x 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE WORDS "WATER SERVICE".
  4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS W/ PLASTIC TIE STRAPS. LOCATOR BALLS SHOULD BE SECURED TO LATERAL W/ TIE STRAP.

**WT07 WATER SERVICE CONNECTION DETAILS**  
SCALE: N.T.S.



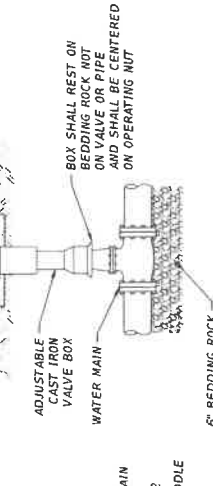
**PLAN**



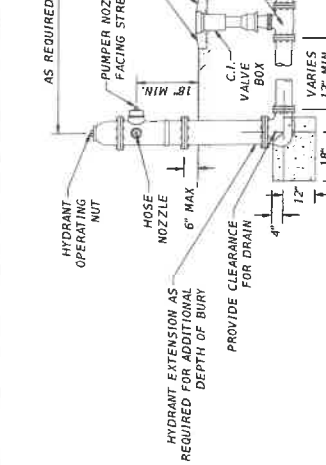
**WT04 FIRE HYDRANT ASSEMBLY**  
SCALE: N.T.S.

NOTE: GRAVEL TO BE PLACED AROUND DRAIN.

- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
  2. THE OPERATING NUT SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.



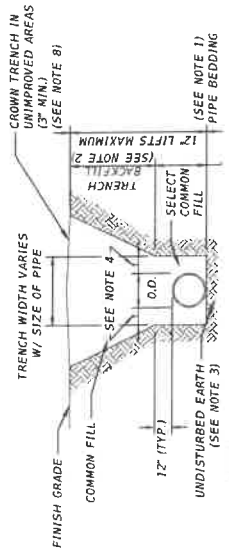
**WT03 VALVE AND BOX DETAIL**  
SCALE: N.T.S.



**WT01 AIR AND/OR VACUUM RELEASE VALVE**  
SCALE: N.T.S.

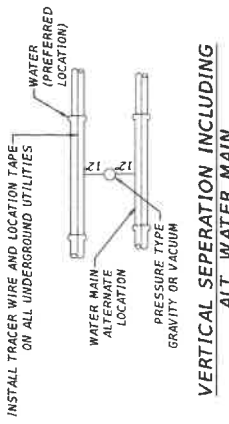
- NOTES:
1. ABOVE DETAIL IS BASED ON 2" COMBINATION AIR/VACUUM RELEASE VALVE. CHANGE PIPE AND FITTINGS ACCORDINGLY FOR OTHER VALVE SIZES AND TYPES.
  2. THE MINIMUM DIMENSION FROM TOP OF PIPE TO FINISHED GRADE SHALL BE 3.0 FEET.

DATE	REVISION #	DESCRIPTION	JOB NUMBER:	SHEET NO.
			L230621SAN	26
			EOR: GREGORY G. BAILEY	
			P.E. NO.: 43858	
			Dennis K. Day	
			12/17/2023 3:58:47 PM	
			NORTH FLORIDA PROFESSIONAL SERVICES, INC.	
			2551 BLAIRSTONE PINES DR.	
			TALLAHASSEE, FL 32301	
			WWW.NFPS.NET	
			LIC NO. LB8358	
			CAP 26011	
			LA 2023-1230621 SAN-NFL CAD/CORPORATE/REGISTERED/NET550/CREATV_01.dwg 26 WATER DETAILS	

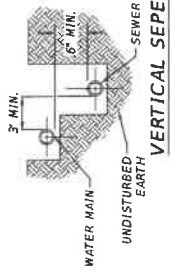


- NOTES:
1. PIPE BEDDING, SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY PER AASHTO T-99.
  2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
  3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
  4. (1'); 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
  5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
  6. DIRECTION OF FLOW SHALL BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF FLOW.
  7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
  8. ALL APPLICABLE REGULATIONS IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.

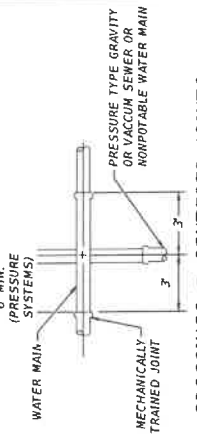
**WT11 TRENCH AND BACKFILL DETAILS**  
SCALE: N.T.S



**VERTICAL SEPERATION INCLUDING ALT. WATER MAIN**



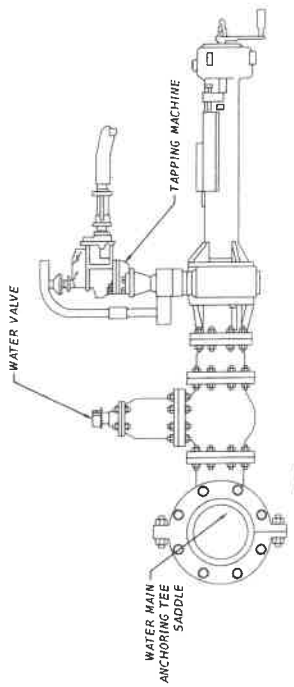
**VERTICAL SEPERATION**



**CROSSINGS @ CENTERED JOINTS**

- NOTES:
1. THE MINIMUM HORIZONTAL DISTANCE BETWEEN THE OUTSIDE OF A WATER MAIN AND SEWER MAIN SHALL BE 6" WITH PREFERRED OF SEPARATION.
  2. WHERE A 10 FOOT PARALLEL SEPERATION CANNOT BE MAINTAINED BETWEEN A WATERMAIN AND A SEWER MAIN OR NON-POTABLE WATER MAIN, THEN THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER MAIN OR NON-POTABLE WATER MAIN. THE HORIZONTAL SEPERATION SHALL BE NO LESS THAN 3" WHEN A SEWER MAIN AND A WATER MAIN CROSS. THE WATERMAIN SHOULD BE A MINIMUM OF 3" ABOVE OR BELOW THE SEWER.
  3. FOR ALL PIPE CROSSINGS, THE PIPE JOINTS SHALL BE ARRANGED SO THAT ALL PIPE JOINTS ARE EQUIDISTANT FROM EACH OTHER.
  4. IF THE HORIZONTAL OR VERTICAL CLEARANCE LISTED HEREIN CANNOT BE ACHIEVED THE WATERMAIN CAN BE ENCASED IN 4" OF CONCRETE.

**WT08 WATER/SEWER SEPARATION DETAILS**  
SCALE: N.T.S



**WT12 WET TAP AND SADDLE ASSEMBLY**  
SCALE: N.T.S

DATE	REVISIONS DESCRIPTION

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
2551 BLAIRSTONE PINES DR.  
TALLAHASSEE, FL 32301  
WWW.NFPS.NET  
CALF 26011

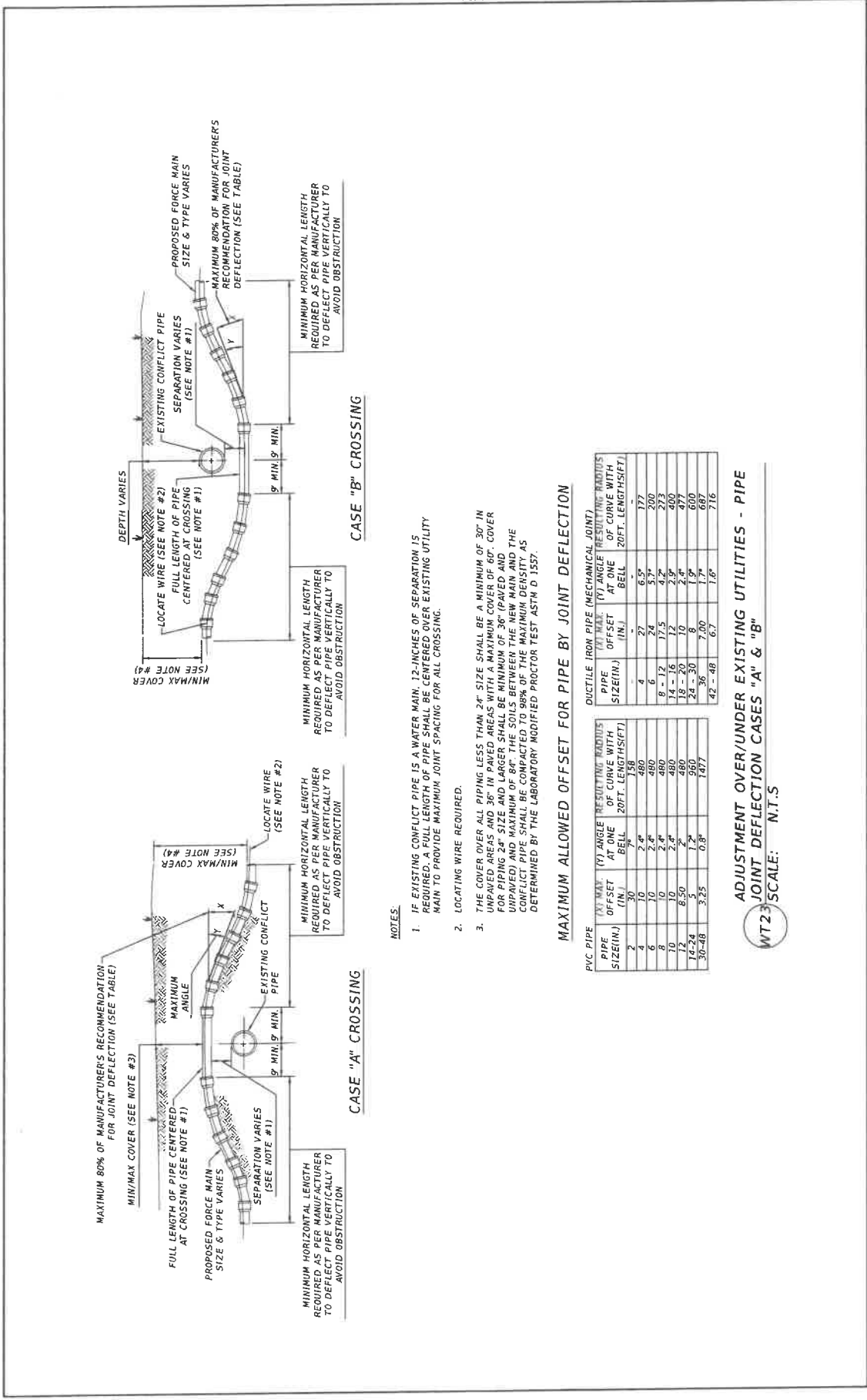
JOB NUMBER: 23-066118AN  
EOR: GREGORY G. BAILEY  
P.E. NO.: 43858

**WATER DETAILS**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

SHEET NO. 27

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**CASE "A" CROSSING**

**CASE "B" CROSSING**

**NOTES:**

1. IF EXISTING CONFLICT PIPE IS A WATER MAIN, 12-INCHES OF SEPARATION IS REQUIRED. A FULL LENGTH OF PIPE SHALL BE CENTERED OVER EXISTING UTILITY MAIN TO PROVIDE MAXIMUM JOINT SPACING FOR ALL CROSSING.
2. LOCATING WIRE REQUIRED.
3. THE COVER OVER ALL PIPING LESS THAN 24" SIZE SHALL BE A MINIMUM OF 30" IN UNPAVED AREAS AND 36" IN PAVED AREAS WITH A MAXIMUM COVER OF 60". COVER FOR PIPING 24" SIZE AND LARGER SHALL BE MINIMUM OF 36" (PAVED AND UNPAVED) AND MAXIMUM OF 84". THE SOILS BETWEEN THE NEW MAIN AND THE CONFLICT PIPE SHALL BE COMPACTED TO 98% OF THE MAXIMUM DENSITY AS DETERMINED BY THE LABORATORY MODIFIED PROCTOR TEST ASTM D 1557.

**MAXIMUM ALLOWED OFFSET FOR PIPE BY JOINT DEFLECTION**

PVC PIPE SIZE (IN.)	PVC PIPE		DUCTILE IRON PIPE (MECHANICAL JOINT)	
	(A) MAX. OFFSET (IN.)	(Y) ANGLE OF CURVE WITH BELL (DEG.)	PIPE SIZE (IN.)	(Z) MAX. OFFSET AT ONE BELL (IN.)
2	3.0	2.4°	4	27
4	10	2.4°	6	24
6	10	2.4°	8 - 12	17.5
8	10	2.4°	14 - 16	12
10	10	2.4°	18 - 20	8
14 - 24	8.0	1.2°	24 - 30	6
30 - 48	3.25	0.8°	36	7.00
			42 - 48	6.7
				7.16

ADJUSTMENT OVER/UNDER EXISTING UTILITIES - PIPE JOINT DEFLECTION CASES "A" & "B"  
SCALE: N.T.S.

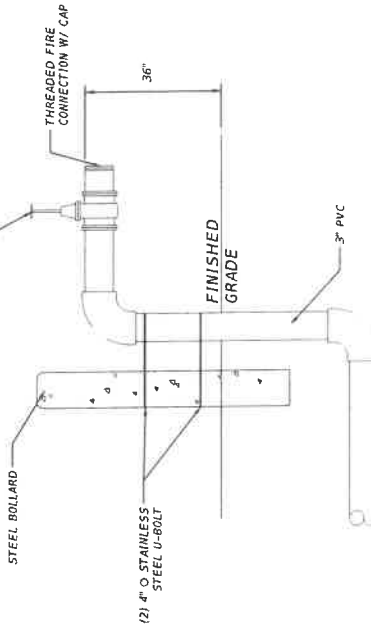
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			FOR: GREGORY G. BAILEY	
			P.E. NO.: 4358	
			<b>WATER DETAILS</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>	
NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 LIC. NO. 126356			12/17/2023 3:58:49 PM Data Entry	

OTHER PIPE	HORIZONTAL SEPARATION	CROSSING (1)	JOINT SPACING AT CROSSINGS (FOUL JOINT CENTERED)
STORM SEWER, STORMWATER FORCE MAIN	WATER MAIN 3' MINIMUM	WATER MAIN 12" IS THE MINIMUM, EXCEPT FOR STORM SEWER, THEN 6" IS THE MINIMUM AND 12" IS PREFERRED	ALTERNATE 3' MINIMUM WATER MAIN
GRAVITY OR PRESSURE SANITARY SEWER, FORCE MAIN	WATER MAIN 10' PREFERRED 6' MINIMUM (2)	WATER MAIN 12" IS THE MINIMUM, EXCEPT FOR GRAVITY SANITARY SEWER, THEN 6" IS THE MINIMUM AND 12" IS PREFERRED	ALTERNATE 6' MINIMUM WATER MAIN

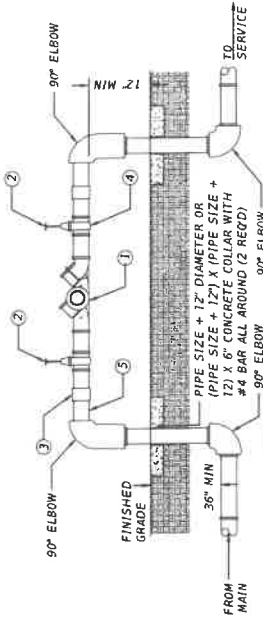
**NOTES:**

1. WATER MAIN SHOULD CROSS ABOVE OTHER PIPE. WHEN WATER MAIN MUST BE BELOW OTHER PIPE, THE MINIMUM SEPARATION IS 12".
2. 3' FOR GRAVITY SANITARY SEWER WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST 6" ABOVE THE TOP OF THE GRAVITY SANITARY SEWER.
3. REFER TO WATER AND SEWER NOTES (SHEET ##4) AND SPECIFICATIONS FOR ADDITIONAL CONSTRUCTION REQUIREMENTS.
4. THE LOCATION OF ALL WATER MAINS SHALL COMPLY WITH CHAPTER 62-555 314, F.A.C.
5. THE LOCATION AND TYPE OF PIPE FOR ALL PIPES CROSSING A WATERMAIN OR LAID WITHIN THREE FEET HORIZONTALLY OF A WATERMAIN SHALL COMPLY WITH RULE 62-555 314(5)(b), F.A.C. (REFER TO WATER AND SEWER NOTE # ##4 ON SHEET ##4).

**WT 27** TYPICAL PIPE SEPARATION DETAIL  
SCALE: N.T.S.



**WT 28** (3") 1/4 TURN VALVE  
SCALE: N.T.S.



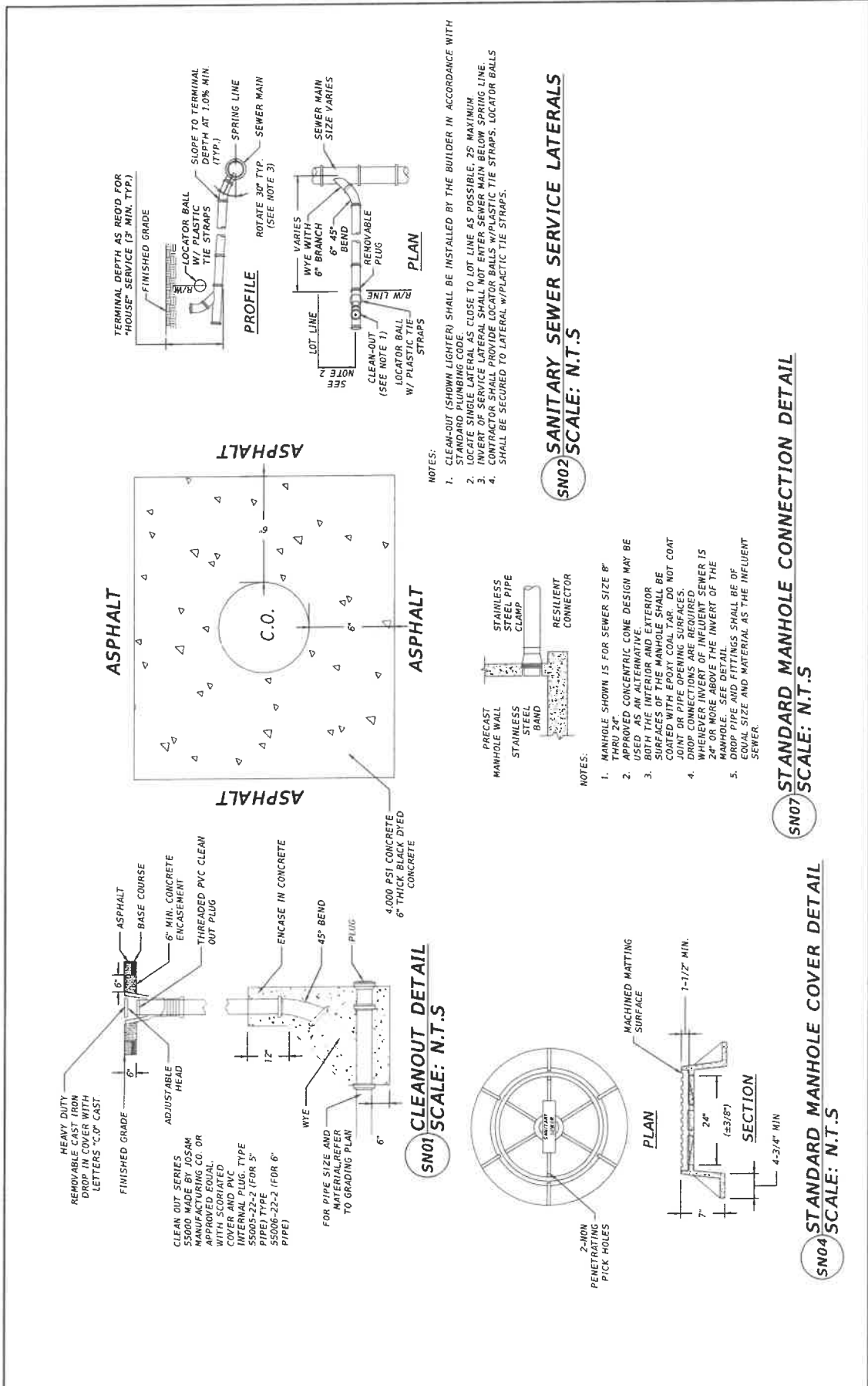
ITEM	DESCRIPTION
1	BACKFLOW PREVENTER
2	GATE VALVE
3	UNION
4	TEST COCKS
5	THREADED NIPPLE

**NOTES:**

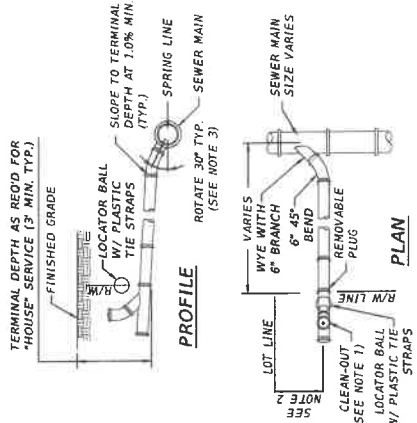
1. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
2. THE SERVICE METER SHALL BE INSTALLED, ADD A TEE VALVE FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTER DEVICE. UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION OTHER THAN BACKFLOW DEVICE TESTING.
3. A CONBRACO SERIES 40-000 FREEZE PROTECTION VALVE SHALL BE INCLUDED.
4. PROVIDE AND INSTALL COVER OVER BACKFLOW PREVENTER AS REQ'D BY LOCAL AUTHORITIES.

**WT 05** REDUCED PRESSURE BACKFLOW PREVENTER  
SCALE: N.T.S.

<p>DATE _____</p> <p>REVISIONS DESCRIPTION</p>		<p>JOB NUMBER: L230621 SAN</p> <p>FOR: GREGORY G. BAILEY</p> <p>P.E. NO: 43358</p>		<p>SHEET NO. 29</p>
<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</p> <p>2551 BLAIRSTONE PINES DR.</p> <p>LAKE CITY, FL 32836</p> <p>WWW.NFSPS.NET</p> <p>LIC. NO. LB45336</p>		<p>WATER DETAILS</p> <p>CLEARSKY - LAKE CITY</p> <p>LAKE CITY, FL</p>		<p>12/12/2023 3:58:48 PM</p> <p>Drawn by: fcm</p> <p>12/28/2023 10:50:07 AM User: GBAILEY</p>

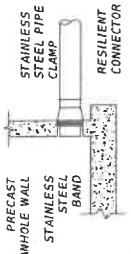
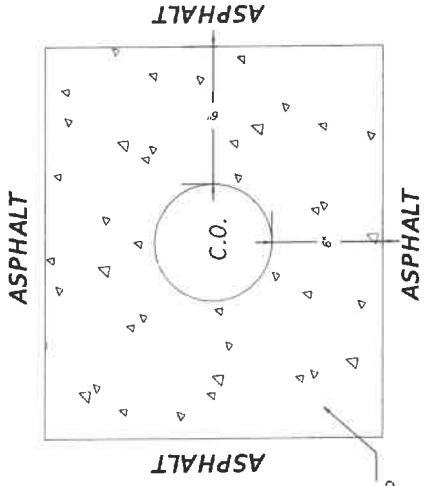


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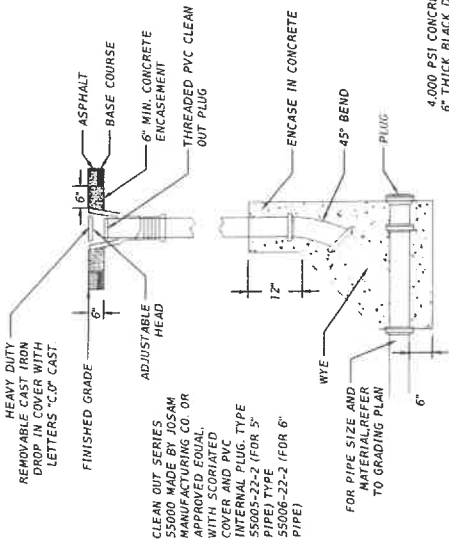
- NOTES:
1. CLEAN-OUT (SHOWN LIGHTER) SHALL BE INSTALLED BY THE BUILDER IN ACCORDANCE WITH THE MANHOLE DETAIL.
  2. LOCATE SINGLE LATERAL AS CLOSE TO LOT LINE AS POSSIBLE, 25' MAXIMUM.
  3. INVERT OF SERVICE LATERAL SHALL NOT ENTER SEWER MAIN BELOW SPRING LINE.
  4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS W/PLASTIC TIE STRAPS. LOCATOR BALLS SHALL BE SECURED TO LATERAL W/PLASTIC TIE STRAPS.

**SN02** SANITARY SEWER SERVICE LATERALS  
SCALE: N.T.S.

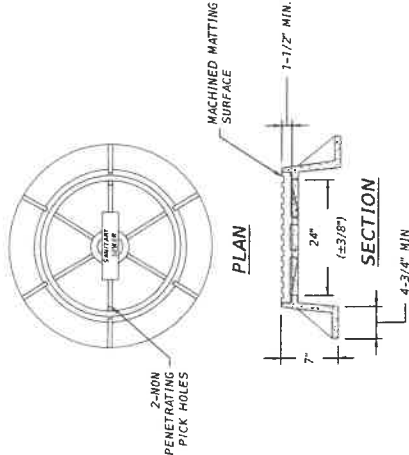


- NOTES:
1. MANHOLE SHOWN IS FOR SEWER SIZE 8" THRU 24".
  2. APPROVED CONCENTRIC CONE DESIGN MAY BE USED AS AN ALTERNATIVE.
  3. BOTH THE INTERIOR AND EXTERIOR SURFACES OF THE MANHOLE SHALL BE FINISHED WITH A 1/2" RADIUS TO NOT COAT JOINT OR PIPE OPENING SURFACE.
  4. DROP CONNECTIONS ARE REQUIRED WHENEVER INVERT OF INFLUENT SEWER IS 24" OR MORE ABOVE THE INVERT OF THE MANHOLE. SEE DETAIL.
  5. DROP PIPE AND FITTINGS SHALL BE OF SAME SIZE AND MATERIAL AS THE INFLUENT SEWER.

**SN07** STANDARD MANHOLE CONNECTION DETAIL  
SCALE: N.T.S.



**SN01** CLEANOUT DETAIL  
SCALE: N.T.S.



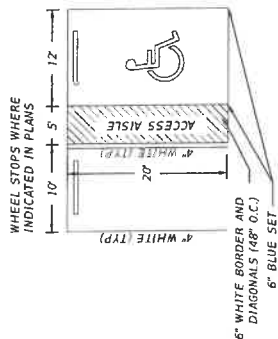
**SN04** STANDARD MANHOLE COVER DETAIL  
SCALE: N.T.S.

REVISIONS		JOB NUMBER: L230621SAN	SHEET NO. 30
DATE	DESCRIPTION		
<p><b>SN04</b> STANDARD MANHOLE COVER DETAIL SCALE: N.T.S.</p>		<p><b>FOR:</b> GREGORY G. BAILEY P.E. NO.: 43358</p>	
<p><b>SN07</b> STANDARD MANHOLE CONNECTION DETAIL SCALE: N.T.S.</p>		<p><b>FOR:</b> GREGORY G. BAILEY P.E. NO.: 43358</p>	
<p><b>SN02</b> SANITARY SEWER SERVICE LATERALS SCALE: N.T.S.</p>		<p><b>FOR:</b> GREGORY G. BAILEY P.E. NO.: 43358</p>	
<p><b>SN01</b> CLEANOUT DETAIL SCALE: N.T.S.</p>		<p><b>FOR:</b> GREGORY G. BAILEY P.E. NO.: 43358</p>	
<p><b>SN01</b> CLEANOUT DETAIL SCALE: N.T.S.</p>		<p><b>FOR:</b> GREGORY G. BAILEY P.E. NO.: 43358</p>	
<p><b>SN01</b> CLEANOUT DETAIL SCALE: N.T.S.</p>		<p><b>FOR:</b> GREGORY G. BAILEY P.E. NO.: 43358</p>	

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
2551 BLAIRSTONE PINES DR.  
LAKE CITY, FL 32058  
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LIC. NO. LB8358

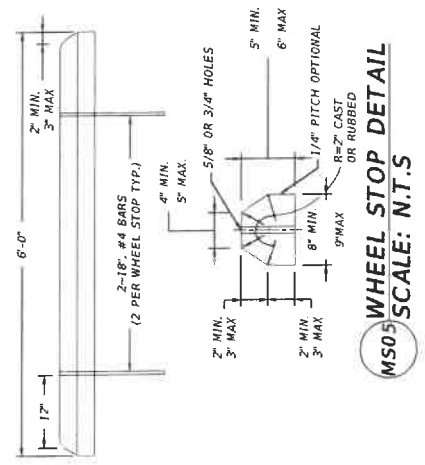


**LAKE CITY, FL**  
**CLEARSKY - LAKE CITY**  
**SANITARY DETAILS**

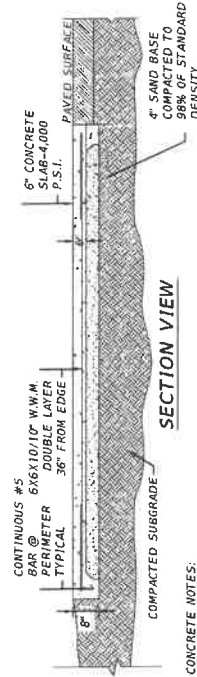


- WHEEL STOPS WHERE INDICATED IN PLANS
- 6" WHITE BORDER AND DIAGONALS (1/8" O.C.)  
2" INSIDE WHITE
- NOTES:
1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
  2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE LEFT SIDE OF PARKING STALL.
  3. HANDICAPPED PARKING SYMBOL SHALL BE 3 OR 5 FT HIGH.
  4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

**MS04 HANDICAP PARKING STALL DETAIL**  
SCALE: N.T.S.

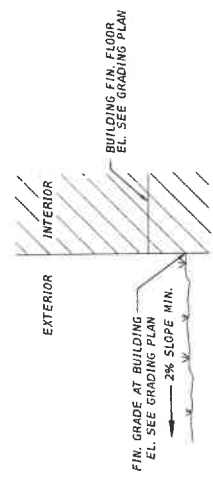


**MS05 WHEEL STOP DETAIL**  
SCALE: N.T.S.



- CONCRETE NOTES:
1. THE DESIGN OF FOUNDATIONS AND SLAB-ON-GRADE IS BASED ON AN ASSUMED MINIMUM BEARING CAPACITY OF 2,000 PSF.
  2. THE AREA UNDER FOOTINGS, FOUNDATIONS, AND CONCRETE SLABS-ON-GRADE SHALL HAVE ALL VEGETATION, STUMPS, ROOTS, AND FOREIGN MATERIALS REMOVED PRIOR TO THEIR CONSTRUCTION. FILL MATERIAL AND BACKFILL MATERIAL SHALL BE FREE OF ORGANIC MATERIAL, CONSTRUCTION DEBRIS, LARGE ROCKS, AND ANY OTHER FOREIGN MATERIAL.
  3. THE CONTRACTOR SHALL INVESTIGATE ACTUAL LOCATIONS OF UNDERGROUND LINES AND UTILITIES BEFORE EXCAVATING. ALL EXCAVATIONS NEAR THESE LINES SHALL BE CARRIED OUT WITH EXTREME CAUTION.
  4. REINFORCING STEEL/REINFORCING STEEL BARS.....ASTM A-615 GRADE 40 WELDED WIRE FABRIC.....ASTM A-185

**MS06 CONCRETE PAD DETAIL**  
SCALE: N.T.S.



**MS14 GRADE AT BUILDING DETAIL**  
SCALE: N.T.S.

NO.	DATE	REVISIONS DESCRIPTION

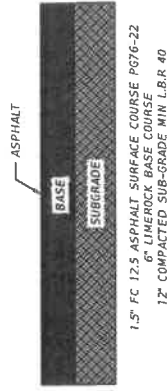
<p>NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. LAKE CITY, FL 32056 WWW.NFPS.NET LIC NO. LB8356</p>		<p>JOB NUMBER: 2306781AN EOR: GREGORY G. BAILEY P.E. NO.: 43858</p>	<p><b>MISC DETAILS</b> CLEARSKY - LAKE CITY LAKE CITY, FL</p>	<p>SHEET NO. 31</p>
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**MS31** **CONCRETE PAVEMENT DESIGN**  
**SCALE: N.T.S**

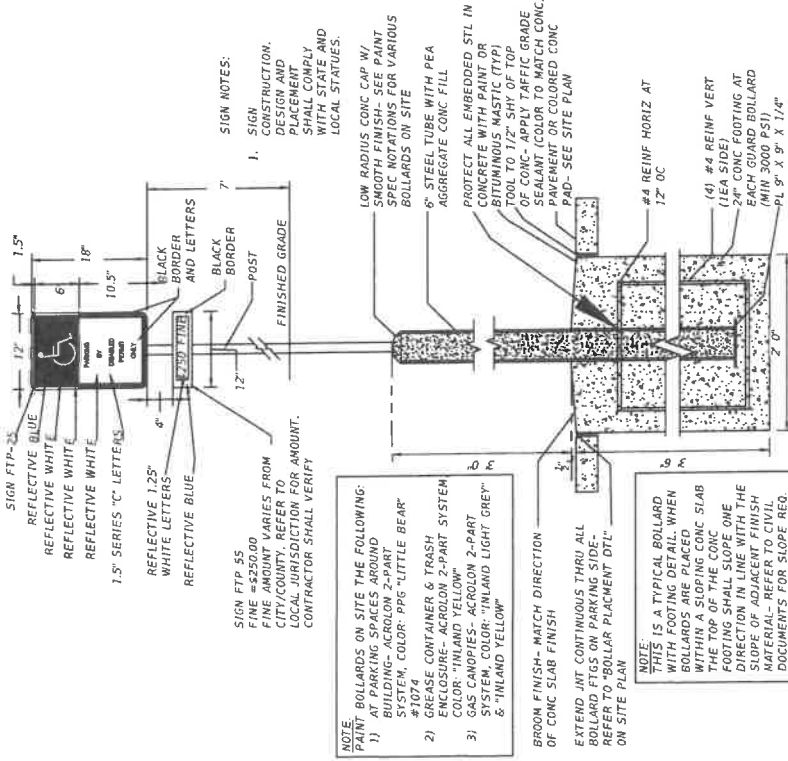
8" 4K PSI CONCRETE PAVEMENT REINFORCED WITH 6X6-W2.9XW2.9 WWF ON 2" CHAIRS  
 8" COMPACTED SUB-GRADE COMPACTED TO 100% AASHTO T-180

- NOTES:**
1. PROVIDE 1/8"-1/4" CONTRACTION JOINTS AT 10' CENTERS MAX
  2. CONCRETE SHALL BE DYED BLACK TO MATCH ASPHALT



**MS32** **STANDARD ASPHALT PAVEMENT DESIGN**  
**SCALE: N.T.S**

1.5' FC 12.5 ASPHALT SURFACE COURSE PG76-22  
 6" LIMEROCK BASE COURSE  
 12" COMPACTED SUB-GRADE MIN L.B.R 40



**MS29** **BOLLARD/HANDICAP PARKING SIGN DETAIL**  
**SCALE: N.T.S**

**NOTE:**  
 BOLLARDS ON SITE THE FOLLOWING:  
 1) PAINT AT PARKING SPACES AROUND BUILDING- ACROLOM 2-PART SYSTEM, COLOR: PPG "LITTLE BEAR"  
 2) GARAGE CONTAINER & TRASH ENCLOSURE- ACROLOM 2-PART SYSTEM COLOR: "INLAND YELLOW"  
 3) GAS CANOPIES- ACROLOM 2-PART SYSTEM, COLOR: "INLAND LIGHT GREY" & "INLAND YELLOW"

**NOTE:**  
 THIS IS A TYPICAL BOLLARD WITH FOOTING DETAIL. WHEN WITHIN A SLOPING CONC SLAB THE TOP OF THE CONC FOOTING SHALL SLOPE ONE DIRECTION IN LINE WITH THE SLOPE OF ADJACENT FINISH MATERIAL- REFER TO CIVIL DOCUMENTS FOR SLOPE REQ.

- SIGN NOTES:**
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUTES.

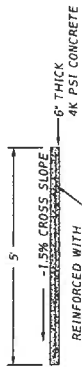
**SIGN FTP #5**  
 FINE AMOUNT VARIES FROM CITY/COUNTY. REFER TO LOCAL JURISDICTION FOR AMOUNT. CONTRACTOR SHALL VERIFY

LOW RADIUS CONC CAP W/ SMOOTH FINISH- SEE PAINT SPEC NOTATIONS FOR VARIOUS BOLLARDS ON SITE  
 6" STEEL TUBE WITH PEA AGGREGATE CONC FILL  
 PROTECT ALL EMBEDDED STL IN CONCRETE WITH PAINT OR BITUMINOUS MASTIC (TTP)  
 OF CONC- APPLY TRAFFIC GRADE SEALANT (COLOR TO MATCH CONC) PAVEMENT OR COLORED CONC PAD- SEE SITE PLAN

#4 REINF HORIZ AT 12" OC  
 (4) #4 REINF VERT (1EA SIDE)  
 24" CONC FOOTING AT 4" DIA. 30" DIA. BOLLARD  
 PL 9" X 9" X 1/4" STEEL CAP

DATE	REVISION #	DESCRIPTION	JOB NUMBER: LZ000219AN	MISC DETAILS	SHEET NO.
			EDR: GREGORY G. BAILEY	CLEARSKY - LAKE CITY LAKE CITY, FL	32
			P.E. NO.: 43858		
			NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW/NFPS.NET CAF#29011		
			17/10/23 3:58:49 PM		

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NOTES:  
 PROVIDE 1/8"-1/4"  
 CONTRACTION JOINTS AT 10'  
 CENTERS MAXIMUM.

**MS01**  
**SIDEWALK DETAIL "A"**  
**SCALE: N.T.S.**



BASE-TO-BASE SPACING  
 SHALL BE 1.6" MINIMUM  
 BETWEEN DOMES.

**PLAN VIEW**

ON RAMP THAT ARE PERPENDICULAR WITH THE CURB LINE, THE  
 DOME SHALL BE IN-LINE WITH THE DIRECTION OF TRAVEL.  
 INTERSECTING CURBS ON A RADIUS, THE DOME PATTERN SHALL BE  
 IN-LINE WITH THE DIRECTION OF TRAVEL TO THE EXTENT PRACTICAL.

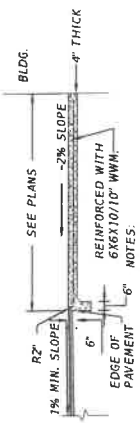


INTEGRAL  
 DOME  
 THE TOP WIDTH OF THE DOME SHALL  
 BE MINIMUM OF 0.9" AND  
 MAXIMUM OF 0.2" OF THE BASE  
 DIAMETERS

**TRUNCATED DOME**

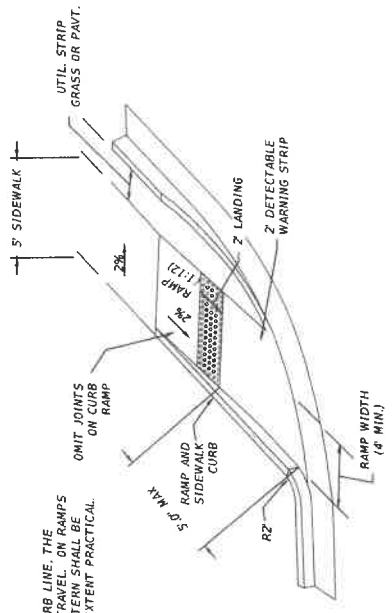
ALL SIDEWALK CURB RAMP SHALL HAVE DETECTABLE  
 WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE  
 RAMP AND IN THE DIRECTION OF TRAVEL 24" (610mm) FROM  
 THE BACK OF CURB.

**MS03**  
**CURB RAMP DETECTABLE WARNING DETAIL**  
**SCALE: N.T.S.**



NOTES:  
 PROVIDE 1/8"-1/4"  
 CONTRACTION JOINTS AT 10'  
 CENTERS MAXIMUM.

**MS02**  
**SIDEWALK DETAIL "B"**  
**SCALE: N.T.S.**



DATE	REVISIONS	DESCRIPTION

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 P.O. BOX 3823  
 LAKE CITY, FL 32056  
 PH. 386-752-4675  
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 LIC NO. LB8356

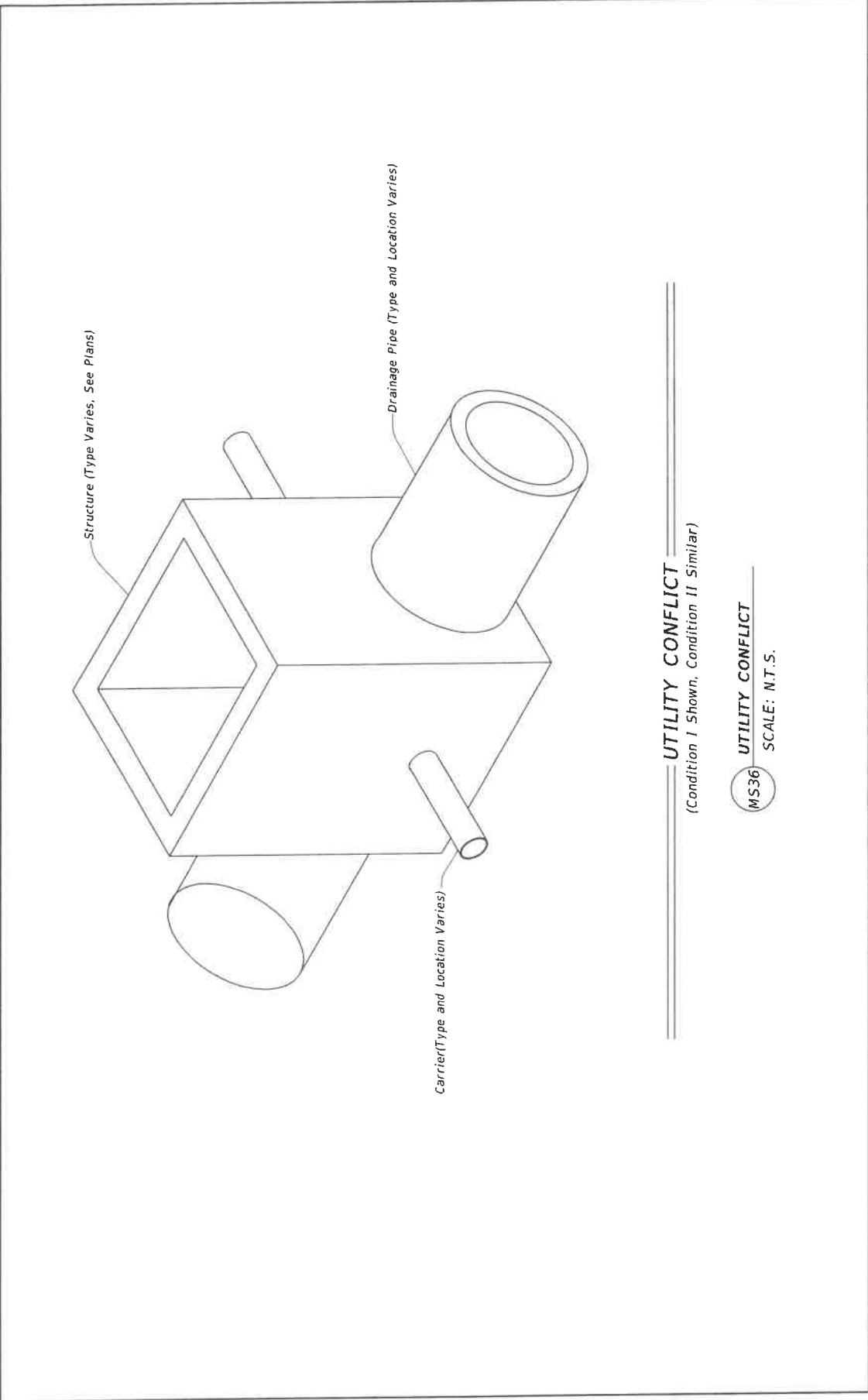
**JOB NUMBER:**  
 L2300215AN  
**EOR:**  
 GREGORY G. BAILEY  
**P.E. NO.:**  
 43858

**MISC DETAILS**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

**SHEET**  
**NO.**  
**33**

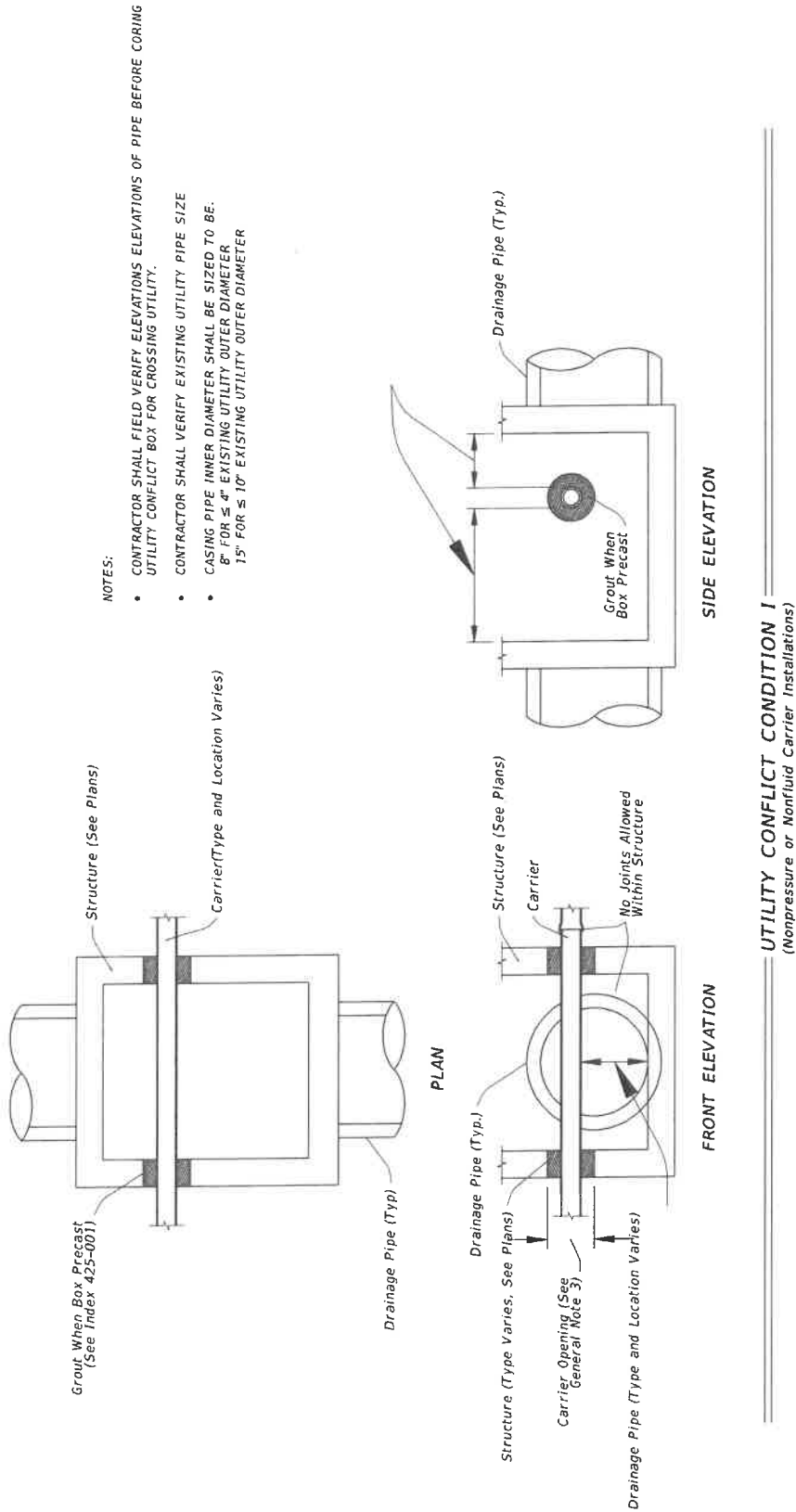
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 Dawn Kiefer

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DATE	REVISIONS DESCRIPTION	JOB NUMBER: L2106219AN	EDR: GREGORY G. BAILEY	PROJECT: 48358	1/27/2023 3:58:49 PM	MISC DETAILS CLEARSKY - LAKE CITY LAKE CITY, FL	SHEET NO. 34
		<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> 2551 BLARSTONE PINES DR. P.O. BOX 3823    32056 WINTER HAVEN, FL 32301 PH: 888-752-4675 WWW.NFPS.NET LIC NO. LB88356 CAMP 20011		DANN KILPATRICK 1/27/2023 3:58:49 PM			

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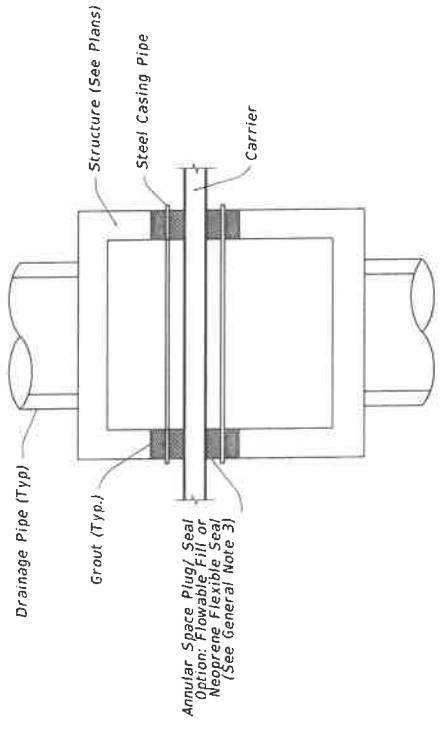
**NOTES:**

- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF PIPE BEFORE CORING UTILITY CONFLICT BOX FOR CROSSING UTILITY.
- CONTRACTOR SHALL VERIFY EXISTING UTILITY PIPE SIZE
- CASING PIPE INNER DIAMETER SHALL BE SIZED TO BE 8" FOR  $\leq$  4" EXISTING UTILITY OUTER DIAMETER 15" FOR  $\leq$  10" EXISTING UTILITY OUTER DIAMETER

DATE	REVISIONS	DESCRIPTION	JOB NUMBER:	SHRIT NO.
			L200215AN	35
			EOR: GREGORY G. BAILEY	
			P.E. NO.: 43858	
		<b>MISC DETAILS</b>		
		<b>CLEARSKY - LAKE CITY</b>		
		<b>LAKE CITY, FL</b>		
		NORTH FLORIDA PROFESSIONAL SERVICES, INC.		
		2551 BLAIRSTONE PINES DR.		
		LAKE CITY, FL 32056		
		PH: 386-752-4675		
		WWW.NFPS.NET		
		LIC NO. LB8356		
		CMP#29011		
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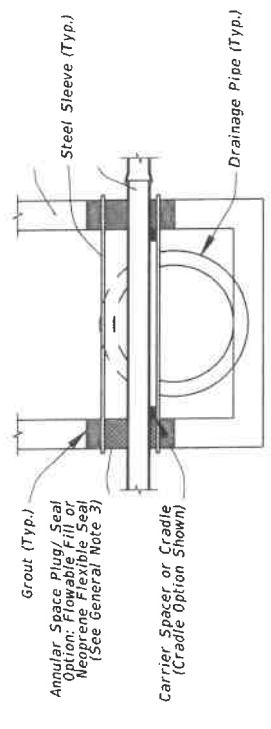
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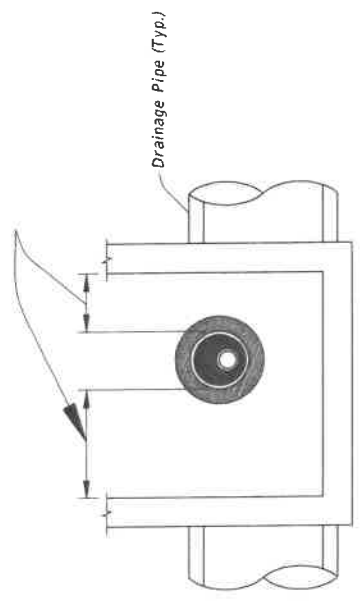
PLAN

NOTES:

- CONTRACTOR SHALL FIELD VERIFY ELEVATIONS OF PIPE BEFORE CORING UTILITY CONFLICT BOX FOR CROSSING UTILITY.
- CONTRACTOR SHALL VERIFY EXISTING UTILITY PIPE SIZE
- CASING PIPE INNER DIAMETER SHALL BE SIZED TO BE:  
8" FOR  $\leq$  4" EXISTING UTILITY OUTER DIAMETER  
15" FOR  $\leq$  10" EXISTING UTILITY OUTER DIAMETER



FRONT ELEVATION



SIDE ELEVATION

**UTILITY CONFLICT CONDITION 11**  
(Pressure or Fluid Carrier Installations)

MS37

**UTILITY CONFLICT (CONDITION 2)**  
SCALE: N.T.S.

REVISIONS

DATE

DESCRIPTION



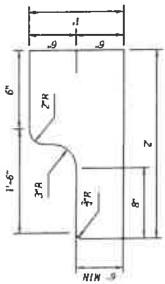
**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
P.O. BOX 3423  
LAKE CITY, FL 32056  
PH. 386-752-4675  
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LIC NO. 1B88356

JOB NUMBER:  
L3306215AN  
FOR: GREGORY G. BAILEY  
P.E. NO.: 43856

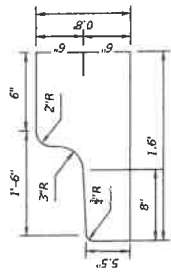
**MISC DETAILS**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

SHEET NO.  
**36**

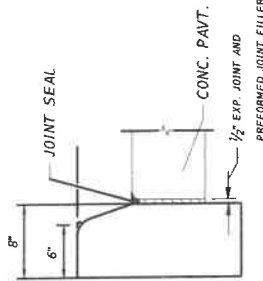
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**MS33** TYPE F CURB (6") DETAILS  
SCALE: N.T.S



**MS34** TYPE F CURB (5.5") DETAILS  
SCALE: N.T.S



**TYPE D**

NOTE: FOR USE ADJACENT TO CONCRETE OR FLEXIBLE PAVEMENT. CONCRETE SHOWN.  
EXPANSION JOINT, PREFORMED JOINT FILLER AND JOINT SEAL ARE REQUIRED  
BETWEEN CURBS AND CONCRETE PAVEMENT ONLY.

**MS35** TYPE D CURB DETAILS  
SCALE:

DATE	REVISION #	DESCRIPTION



**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
P.O. BOX 3823  
LAKE CITY, FL 32056  
PH. 386-752-4875  
LIC. NO. LB9356

JOB NUMBER:  
14-00071004H  
FOR: GREGORY G. BAILEY  
P.E. NO.: 43858

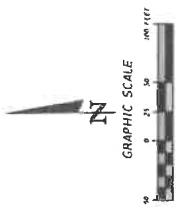
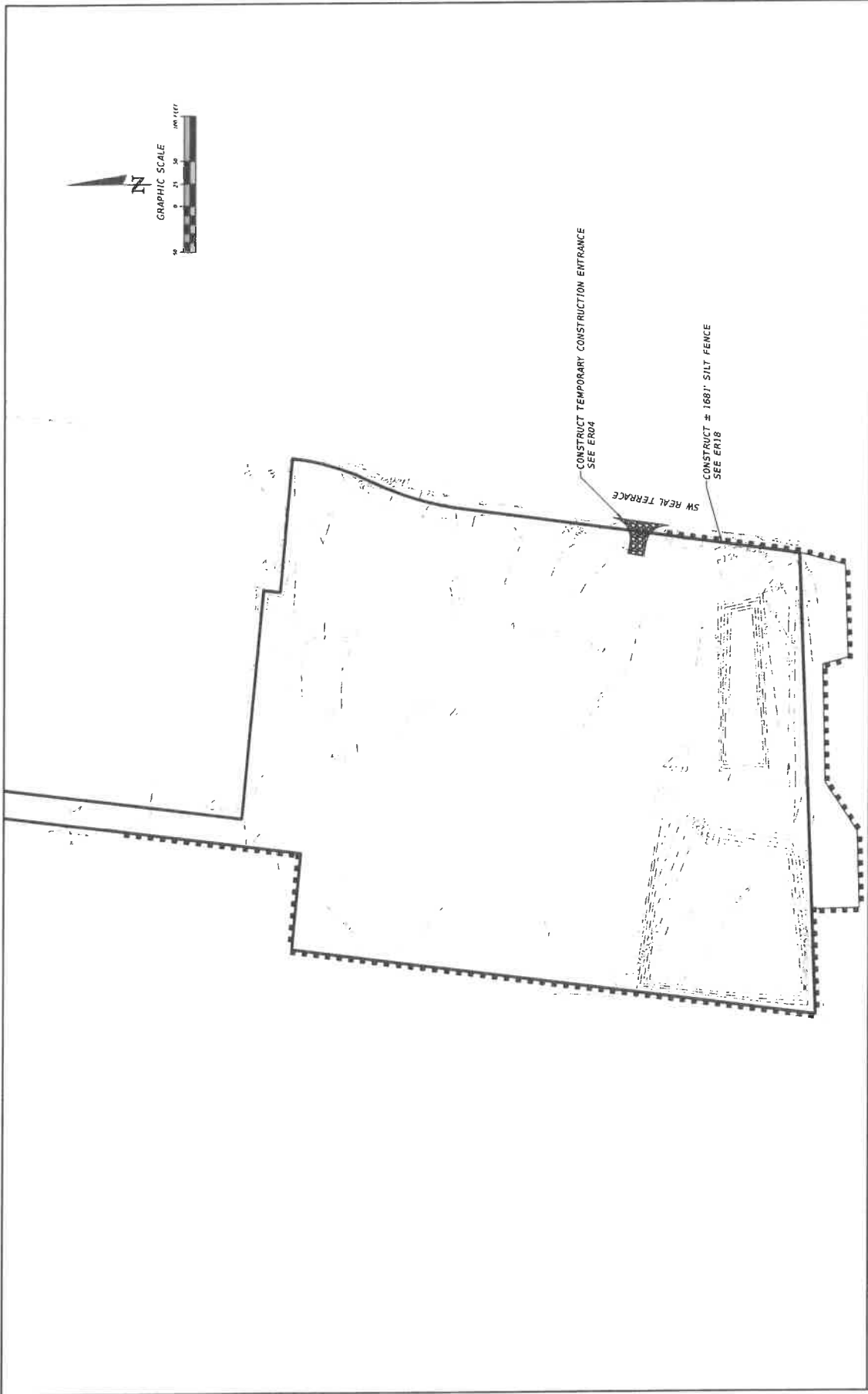
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**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

SHEET NO.  
**37**

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REVISIONS		JOB NUMBER: L2300218AN	SHEET NO. 38
DATE	DESCRIPTION		
		NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH: 386-752-4675 LIC. NO. LB8356	<b>EROSION CONTROL PLAN</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>
		FOR: GREGORY G. BAILEY P.E. NO.: 43858 Date: 12/1/2023 3:59:07 PM Drawn: KJ/for	

L:\2023\12300218AN\VT\CAD\COPY\PLAN\EROSION CONTROL PLAN.dwg 38 EROSION CONTROL PLAN

### EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO COLUMBIA COUNTY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTORS MANUAL". (Modify this note as required.)
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DEFENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLOWES TO PREVENT CHIPS, GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN JOB AREAS. CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED. THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES. THE SITES MUST BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER. THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

DATE	REVISIONS DESCRIPTION



**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 2551 BLAIRSTONE PINES DR.  
 TALLAHASSEE, FL 32301  
 WWW.NFPS.NET  
 CAM 29011

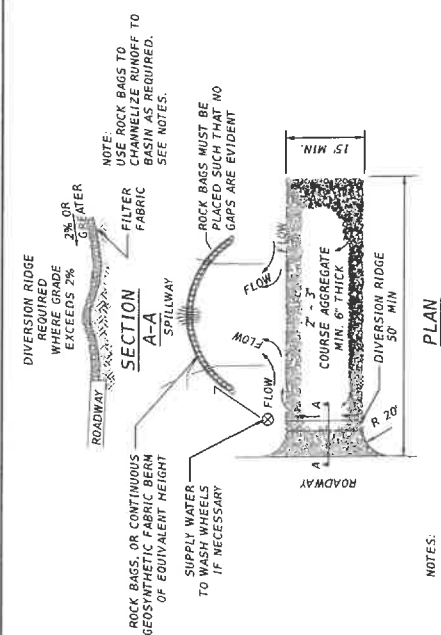
**JOB NUMBER:** E-2021528  
**ENR:** GREGORY G. BAILEY  
**P.E. NO.:** 43888

## EROSION NOTES CLEARSKY - LAKE CITY LAKE CITY, FL

**SHEET NO.**  
 39

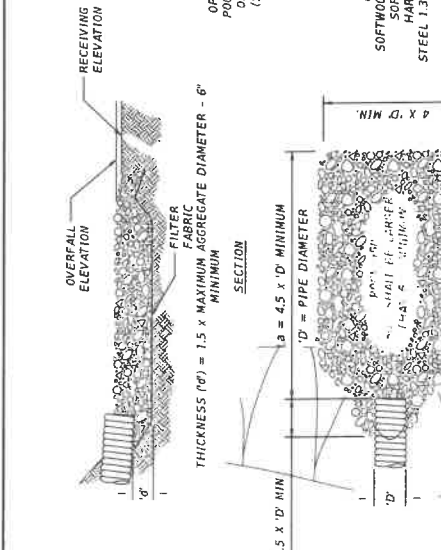
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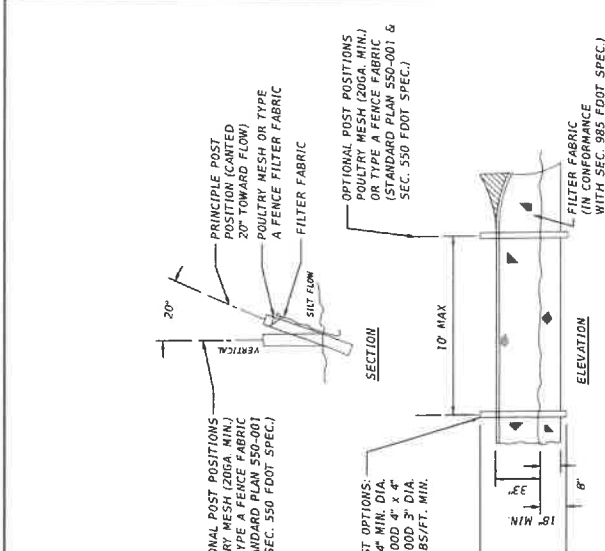
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
  2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
  3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
  4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

**ER04** TEMPORARY CONSTRUCTION ENTRANCE  
SCALE: N.T.S.

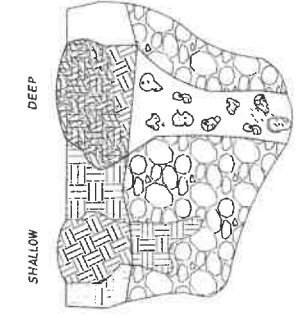


- NOTES:
1.  $1.5 \times D'$  = LENGTH OF APRON. DISTANCE  $1.5 \times D'$  SHALL BE OF SUFFICIENT LENGTH TO DISSIPATE ENERGY.
  2. APRON SHALL BE AT A ZERO GRADE AND ALIGNED STRAIGHT.
  3. FILTER FABRIC SHALL EXTEND 6" PAST AGGREGATE LIMITS.

**ER11** ENERGY DISSIPATOR DETAIL  
SCALE: N.T.S.



**ER18** TYPE IV SILT FENCE  
SCALE: N.T.S.



- NOTES:
- THE FOLLOWING SHALL BE PERFORMED IN THE EVENT ANY KARST FEATURES FORM DURING CONSTRUCTION - E.G. SOLUTION CAVITIES, CHIMNEYS, SINKHOLES:
1. NOTIFY THE WATER MANAGEMENT DISTRICT AND THE APPLICABLE MUNICIPAL OR COUNTY PUBLIC WORKS IMMEDIATELY WHEN THE FEATURES ARE ENCOUNTERED. THE METHOD OF REPAIR SHALL BE SUBMITTED FOR REVIEW, COMMENT AND APPROVAL PRIOR TO ATTEMPTING ANY REPAIR.
  2. SHALLOW KARST FEATURES ARE TYPICALLY LESS THAN 5' DEEP AND ONLY HAVE SMALL VOIDS IN THE LIMESTONE. THE FEATURE CAN BE REPAIRED BY BACKFILLING WITH A LOWER PERMEABILITY MATERIAL SUCH AS CLAY-SAND OR LOWER PERMEABILITY MATERIAL TO A DEPTH OF 12" TO 18".
  3. DEEP KARST FEATURES SHALL BE REPAIRED MORE PERMANENTLY. EXCAVATE THE FEATURE TO THE LIMESTONE BEDROCK. PLUG VOIDS IN THE BEDROCK WITH CLEAN GROUT. BACKFILL OVER THE PLUG WITH A LOWER-PERMEABILITY MATERIAL SUCH AS CLAYEY-SAND OR CLAY. COMPACT THE BACKFILL TO GRADE.

**ER23** KARST FEATURE REPAIR DETAIL  
SCALE: N.T.S.

DATE	REVISIONS	DESCRIPTION

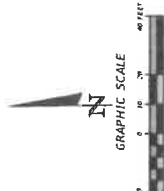
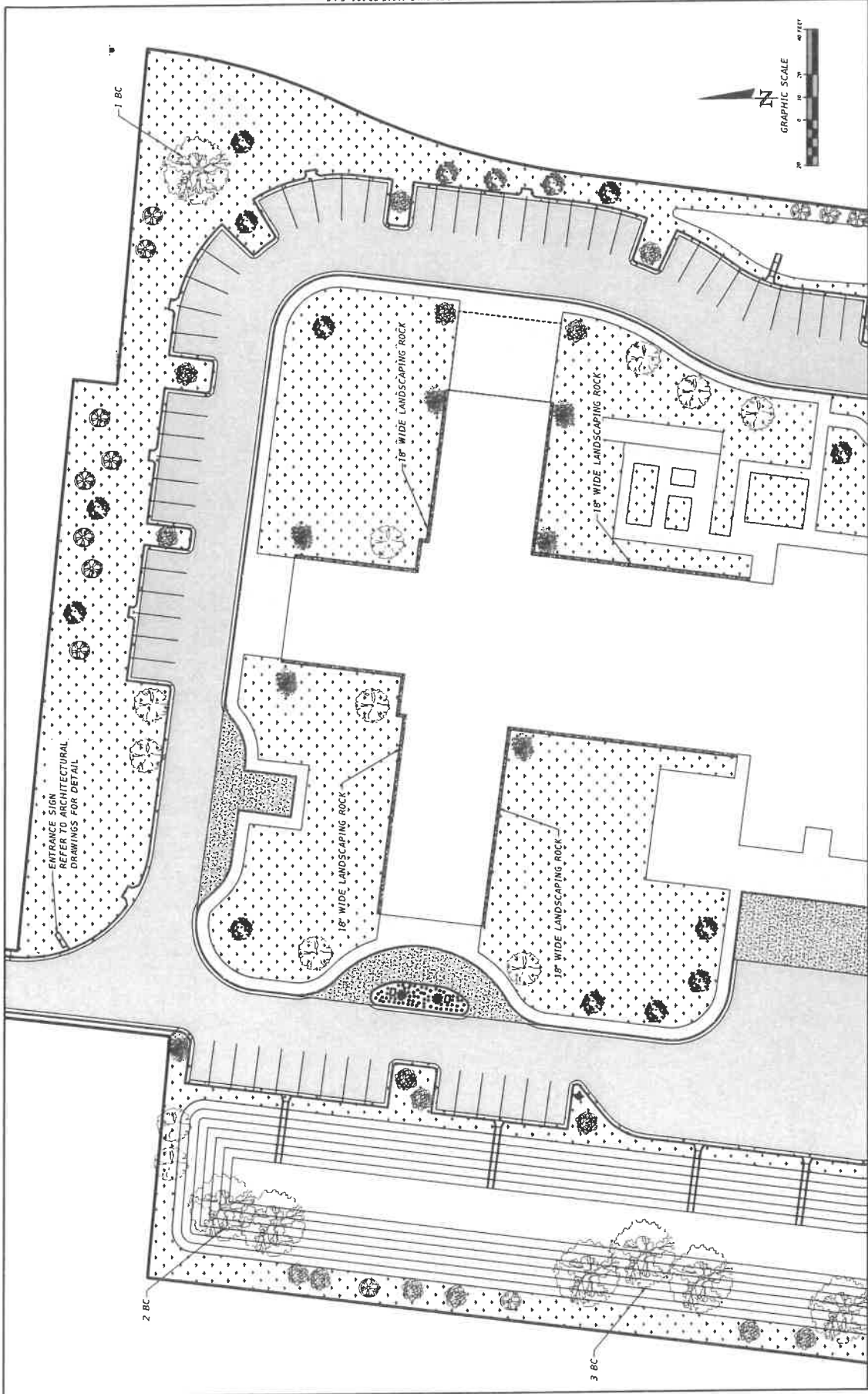
**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 P.O. BOX 3923  
 LAKE CITY, FL 32056  
 PH. 386-752-4875  
 LIC NO. LB8358

2551 BLAIRSTONE PINES DR.  
 TALLAHASSEE, FL 32301  
 WWW.NFPS.NET  
 CAJ 29011

JOB NUMBER:  
 123061515AN  
 EOR: GREGORY G. BAILEY  
 P.E. NO.: 43858

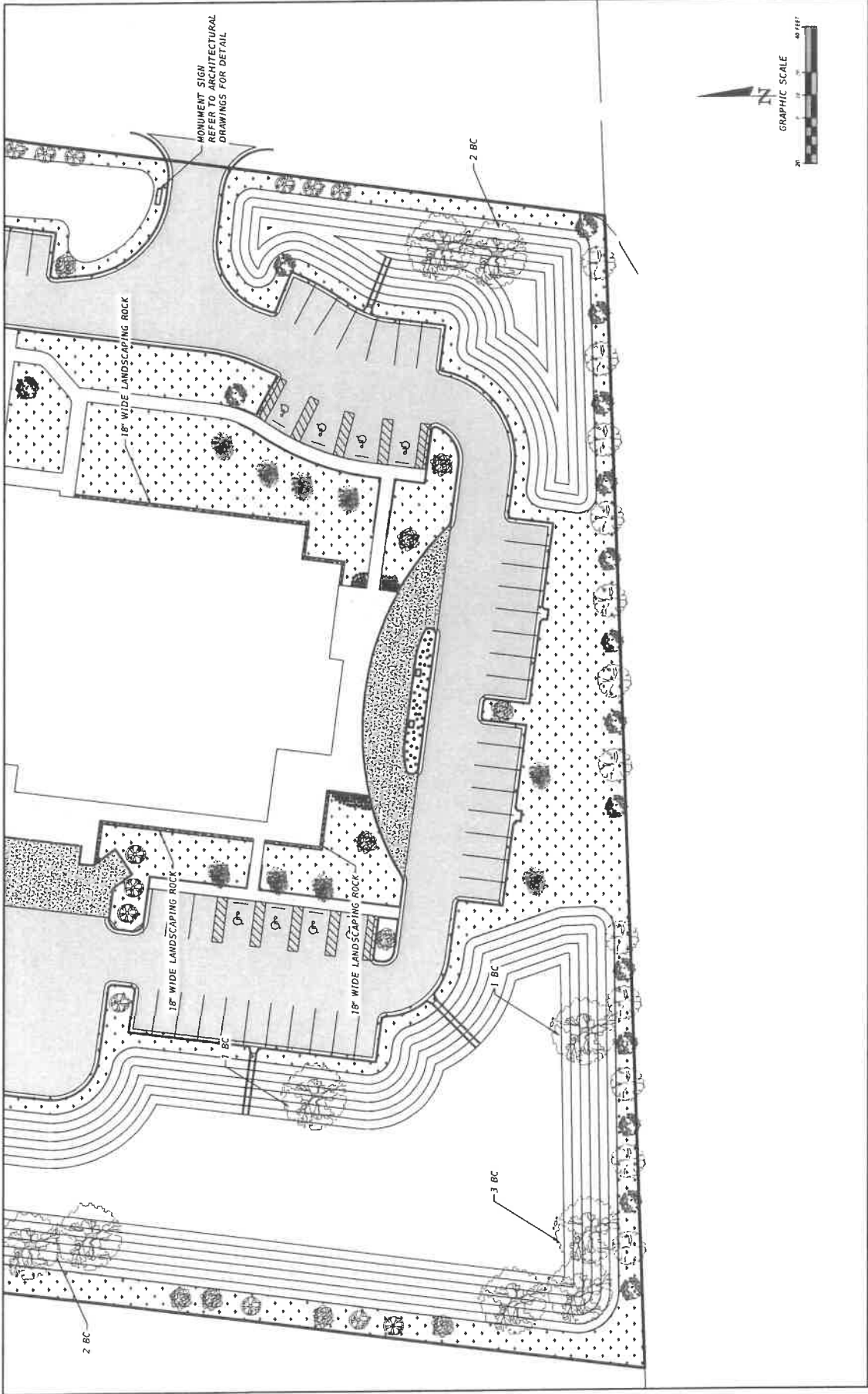
**EROSION DETAILS**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

SHEET NO.  
 40



<p><b>LANDSCAPE PLAN</b>  <b>CLEARSKY - LAKE CITY</b>  <b>LAKE CITY, FL</b></p>		<p>SHEET NO.  <b>41</b></p>
<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>                  P.O. BOX 3823                  LAKE CITY, FL 32056                  PH. 386-752-4675                  LIC. NO. LB8336</p>		<p>JOB NUMBER:                  L2306218AN                  EOR:                  GREGORY G. BAILEY                  P.E. NO.:                  43859</p>
<p>DATE</p>		<p>12/7/2023 3:58:27 PM</p>
<p>REVISIONS</p>		<p>Drawn: JJJ/eyf</p>
<p>DESCRIPTION</p>	<p>3 BC</p>	
<p>DESCRIPTION</p>	<p>2 BC</p>	
<p>DESCRIPTION</p>	<p>1 BC</p>	

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REVISIONS		JOB NUMBER: L2300215AN	JOB NUMBER: L2300215AN
DATE	DESCRIPTION		
		FOR: GREGORY G. BAILEY	FOR: GREGORY G. BAILEY
		P.E. NO.: 43858	P.E. NO.: 43858
		<b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b> 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAMP 230011	
		NORTH FLORIDA PROFESSIONAL SERVICES, INC. 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CAMP 230011	
		<b>LANDSCAPE PLAN</b> <b>CLEARSKY - LAKE CITY</b> <b>LAKE CITY, FL</b>	
		12/17/2023 3:59:25 PM Darrin Kiffner	
		S:\2023\2300215AN\T\CADD\CHP\23\LAKECITY\LANDSCAPE\DS\DRND_C\LAKECITY_01.dwg 42 LANDSCAPE PLAN	

1. ALL MATERIAL SHALL BE FLORIDA #1 GRADE OR BETTER.
2. ALL NEW TREES SHALL BE PLANTED WITHIN THE 7" OF PINE BARK MILK.
3. MULCH SHALL NOT BE INSTALLED ON TOP OF THE ROOT BALLS OF ANY SHADE OR ORNAMENTAL TREES.
4. ALL MATERIAL INSTALLED SHALL MEET THE 2015 GRADES AND STANDARDS FOR LANDSCAPE INSTALLATION.
5. CERTIFICATION IS REQUIRED FROM THE NURSERY AND/OR THE LANDSCAPE CONTRACTOR THAT THE TREE ROOT BALL HAS BEEN SHAVED PER GRADES AND STANDARDS.
6. ALL TREES MUST BE INSPECTED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ACCEPTANCE.
7. ALL NEW TREES MUST BE GYOED OR STAKED AS DETAILS.
8. THERE ARE NO EXISTING TREES WITHIN THE PROJECT LIMITS.
9. THE CONTRACTOR SHALL COORDINATE WITH THE CONTRACTOR ALL LANDSCAPING THAT IS TO BE DONE AND SHALL INDENTIFY THE SCOPE OF WORK.
10. PLACEMENT OF ALL LANDSCAPE MATERIAL MUST BE APPROVED BY THE LANDSCAPE ARCHITECT.
11. ALL LANDSCAPE MATERIAL MUST BE INSTALLED WITH NATIVE PEAT AND SLOW-RELEASE NITROGEN FERTILIZER.
12. ALL PALMS SHALL HAVE STRAIGHT, UNBLEMISHED TRUNKS AS APPROVED BY LANDSCAPE ARCHITECT.
13. SABEL PALMS MAY BE "HURRICANE" CUT BUT MUST MAINTAIN A FULL, HEALTHY BUD.
14. ALL SABEL PALMS WILL BE SUBJECT TO APPROVAL OF THE LANDSCAPE ARCHITECT AND THE VARIED HEIGHTS.
15. WASHINGTONIA AND DATE PALMS MUST HAVE FULL CANOPIES AS ACCEPTABLE TO LANDSCAPE ARCHITECT.
16. ALL MATERIAL SHALL BE GUARANTEED FOR 90 DAYS FROM THE DATE OF ACCEPTANCE.
17. LANDSCAPE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING IN ALL TREES AND PALMS AND REMOVING AIR-POCKETS.
18. DURING THE ESTABLISHMENT PERIOD (FIRST 30 DAYS) THE LANDSCAPE CONTRACTOR SHALL APPLY A MINIMUM OF 60 - 80 GPD TO ALL NEW TREES AND PALMS.
19. DURING INSTALLATION OF ALL PALMS "DIEMARD" PALMS TRANSPLANT SHALL BE APPLIED PER MANUFACTURER'S INSTRUCTIONS.
20. LANDSCAPE CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
21. LANDSCAPE CONTRACTOR MUST VERIFY THIS TO THE LANDSCAPE ARCHITECT PRIOR TO INSTALLATION.
22. NO PLANTINGS OR OTHER OBSTRUCTIONS MAY BE WITHIN THE 2' VEHICULAR OVERHANG AREA.
23. ALL EDGES SHALL BE SHOVEL-CUT AND LANDSCAPE BEDS SHALL BE "ROUNDED" FOR MAINTENANCE.
24. ALL DISTURBED AREAS OUTSIDE OF 500 LIMITS SHALL BE SEEDING WITH ARGENTINE-BAHIA SEED MIX.
25. SEED SHALL BE CAST AT 8 LBS/1000 SF AND OVER-MULCHED WITH STRAW.
26. PLANTING SOIL USED FOR THE BUILDING PLANTERS AND BACKFILLING OF THE LANDSCAPE ISLANDS, ETC., MUST BE REVIEWED AND APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO ANY INSTALLATION. ALL SOIL MUST BE TESTED FOR PHOSPHORUS, POTASSIUM, AND OTHER FOREIGN OBJECTS, AND SHALL BE A MIXTURE OF 60% SAND, 50% LOAM, AND 10% TOP-SOIL.
27. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR THE PROPER DISPOSAL OF ALL PLANT MATERIAL, ROOTS, SOIL, AND OTHER LANDSCAPE ITEMS REMOVED FROM THIS SITE.
28. THE LANDSCAPE CONTRACTOR MUST PROVIDE AN AS-BUILT OF THE IRRIGATION SYSTEM TO THE LANDSCAPE ARCHITECT PRIOR TO REQUESTING ANY INSPECTIONS AND/OR APPROVALS.
29. THE CONTRACTOR SHALL KEEP THE SITE CLEAN OF ALL DEBRIS, SEDIMENT, DIRT, ETC., AND ENSURE THAT THE DRAINAGE SYSTEM REMAINS CLEAR AND THAT PEDESTRIAN WAYS ARE NOT BLOCKED.
30. THE CONTRACTOR SHALL TAKE THE FOLLOWING STEPS TO DISCOVER THE TRUNK PLANE AND SET THIS AT OR ABOVE THE SURROUNDINGS SOIL LEVEL.
  31. REMOVE ANY TREE WRAP FROM AROUND THE TRUNK OF NEW TREES TO BE INSTALLED.
  32. ALL NEW TREES AND SHRUBS MUST MEET THE "AMERICAN STANDARDS FOR NURSERY STOCK" (ANSI 280.1).
  33. LANDSCAPE ARCHITECT MAY REQUIRE PRUNING OF NEW TREES AFTER INSTALLATION IF IT IS DETERMINED THAT THE TREES NEED A SINGLE DOMINANT LEADER ESTABLISHED OR CLUSTER BRANCHES REMOVED.
  34. ALL PLANT MATERIAL MUST MEET ALL OF THE SIZE SPECIFICATIONS, NOT JUST THE CONTAINER SIZE.
  35. ALL SPECIFICATIONS SHOWN ON THE MATERIAL LIST ARE FOR THE HEIGHT OF THE MATERIAL UNLESS OTHERWISE NOTED. MEASUREMENT SHALL BE AS PER THE CURRENT INDUSTRY GRADES AND STANDARDS.

NOTE: CYPRESS TREES IN PONDS SHALL BE PLANTED ON THE SLOPE

**LEGEND**

SHADE TREE TYPE	NUMBER OF TREE TYPE PROVIDED
BALD CYPRESS.....	15
SOUTHERN MAGNOLIA.....	23
RED MAPLE.....	25
WAX MYRTLE.....	24
FLORIDA ELM.....	30

ORNAMENTAL TREE TYPE	NUMBER OF TREE TYPE PROVIDED
CREPE MYRTLE.....	16

SHRUBS TYPE	NUMBER OF TREE TYPE PROVIDED
DWARF HOLLY.....	76
LADY PALM.....	2
PRIVET.....	60
SANDANKWA.....	145
DWARF PODOCARPUS.....	40

GROUNDCOVERS TYPE	NUMBER OF TREE TYPE PROVIDED
BLUE NILE IRIS.....	32
ANNUALS.....	700
±103,650 SF - ST AUGUSTINE PALMETTO SOD	
±1,450 SF - LANDSCAPE ROCKS	

**REVISIONS**

DATE DESCRIPTION

**NORTH FLORIDA PROFESSIONAL SERVICES, INC.**  
 P.O. BOX 3423  
 LAKE CITY, FL 32855  
 PH. 386-752-4675  
 WWW.NFPS.NET  
 LIC NO. LB8356

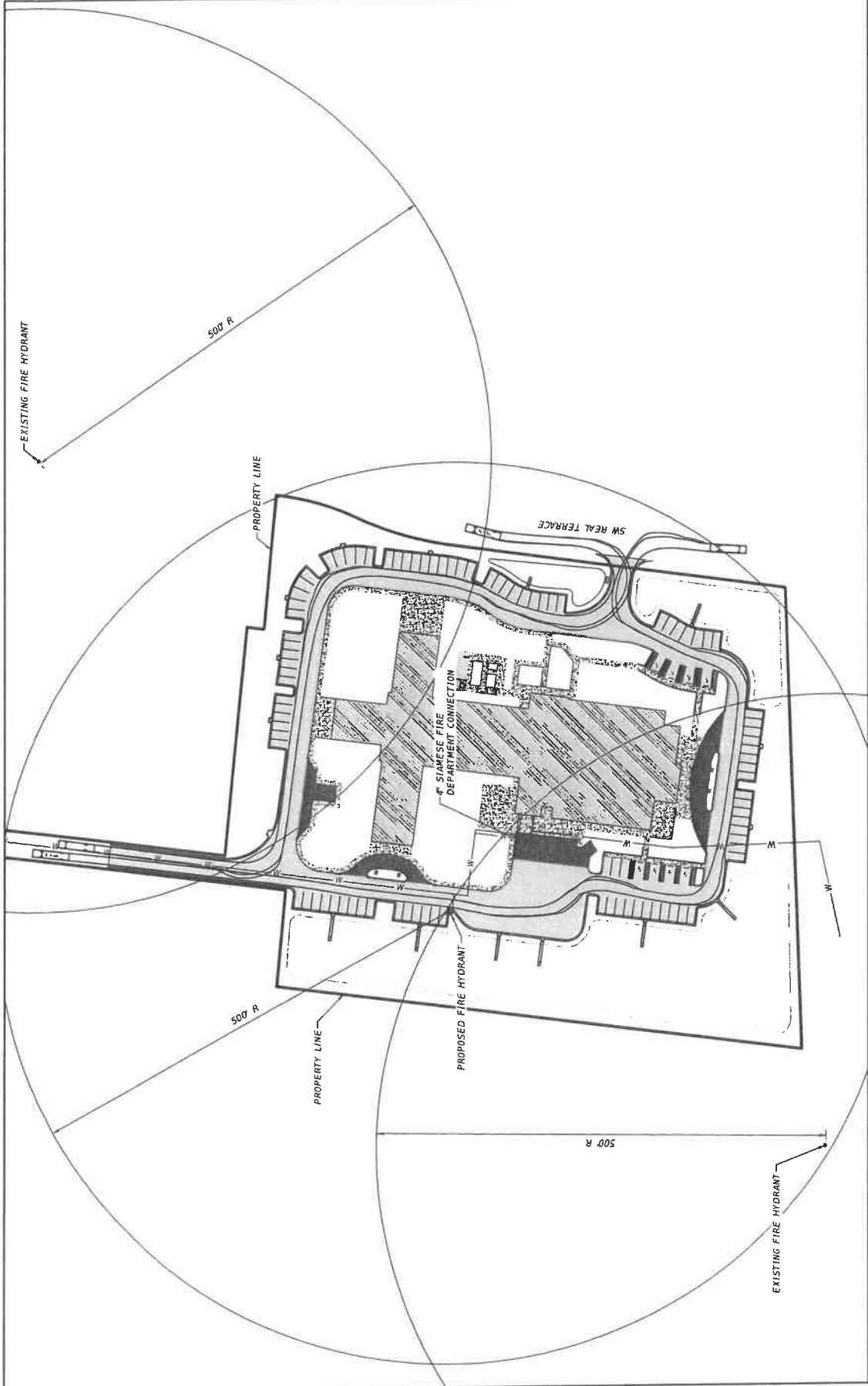
**JOB NUMBER:**  
 LZ00218AN  
**FOR:**  
 GREGORY G. BAILEY  
**P.E. NO.:**  
 43858

**LANDSCAPE NOTES**  
**CLEARSKY - LAKE CITY**  
**LAKE CITY, FL**

SHEET NO. 43  
 LANDSCAPE NOTES

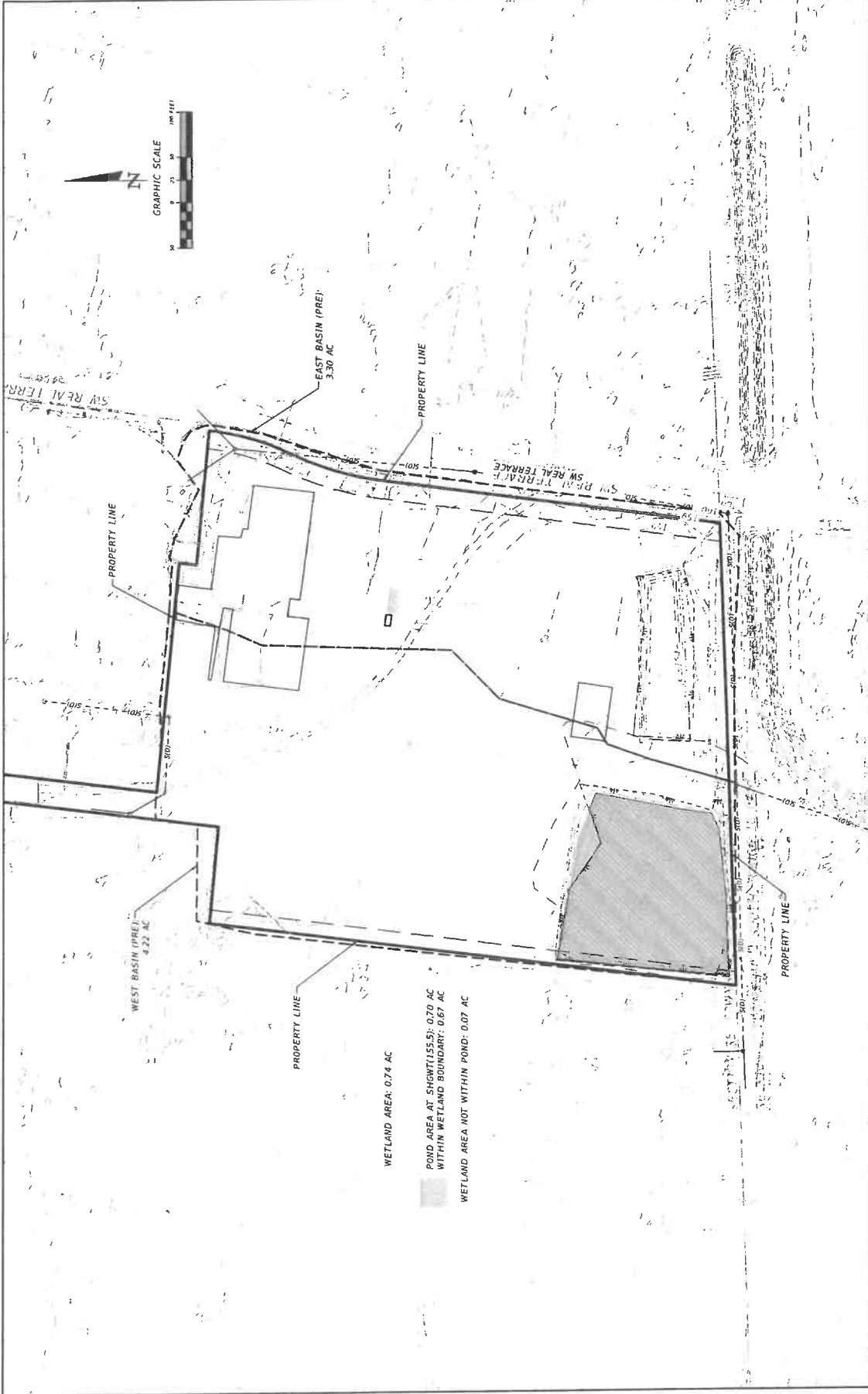
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<p><b>FIRE ACCESS PLAN AND WATER SUPPLY</b>  <b>CLEARSKY - LAKE CITY</b>  <b>LAKE CITY, FL</b></p>		<p>SHEET NO. <b>44</b></p>				
<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>                  P.O. BOX 3823                  LAKE CITY, FL 32056                  PH: 386-732-4675                  LIC NO. LB8596</p>		<p>JOB NUMBER: <b>L202421SAN</b>                  EOR: <b>GREGORY G. BAILEY</b>                  P.E. NO.: <b>43858</b></p>				
<p><b>REVISIONS</b></p> <table border="1"> <thead> <tr> <th>DATE</th> <th>DESCRIPTION</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> </tr> </tbody> </table>		DATE	DESCRIPTION			<p>12/1/2023 11:52:34 PM                  DATA REVIEW                  X:\3035\1328073\SMV\FLOOR\clearsky_010.dwg 41 FIRE ACCESS PLAN AND WATER SUPPLY</p>
DATE	DESCRIPTION					

THIS ITEM HAS BEEN DIGITALLY SIGNED AND SEALED BY ### ON THE DATE ADJACENT TO THE SEAL  
 PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED UNLESS THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES



<p><b>PRE-EXISTING BASINS</b>                  CLEARSKY - LAKE CITY                  LAKE CITY, FL</p>		<p>SHEET NO.                  45</p>
<p><b>NORTH FLORIDA PROFESSIONAL SERVICES, INC.</b>                  2551 BLAIRSTONE PINES DR.                  TALLAHASSEE, FL 32301                  WWW.NFPS.NET                  LIC NO. LB8356</p>		<p>JOB NUMBER:                  230870104                  FOR: GREGORY G. BAILEY                  P.E. NO.:                  43858</p>
<p>DATE</p>		<p>12/17/2023 4:00:05 PM                  Date: 12/17/2023                  Draw: KJF/wj</p>
<p>REVISIONS</p>		<p>12/17/2023 4:00:05 PM                  Date: 12/17/2023                  Draw: KJF/wj</p>



**FIRE & RESCUE**

**ISO Fire Flow Worksheet**

**Needed Fire Flow Work Sheet (ISO formulas)**

$NFF = (Ci)(Oi)(Xi+Pi)$   
 $C=18F(Ai)^{0.5}$

Address:	SW Real Terrace	Occupancy Type:	I2
Project Name:	ClearSky	Number of Stories:	1
Construction Type:	Ordinary		

**STEP 1** Take the area, which is 100% sq. ft. of the first floor plus the following percentage of the total area of the other floors.

**First Floor Area in Sq. Ft** 42,745 Sq. Ft. @ 100%

**Additional Floors**

Enter total area in sq. ft for all other floors 0

**Total Area Entire Building** 42,745

**STEP 2**

F = Coefficient related to the class of construction as determined by using the construction type found in SBCCI

Construction Type	Class	F Value
Frame	1	1.5
Joist Masonry	2	1
Non-combustible	3	0.8
Heavy Timber	4	0.8
Modified fire resistance	5	0.6
Fire resistive	6	0.6

**Construction Class** 3

**Square Root of the Area x F x 18** 3,000 = C Value

ISO Fire Flow Worksheet

Needed Fire Flow Work Sheet (ISO formulas)

STEP 3	Multiply result of rounded off GPM by the Occupancy Factor (Oi)	Occupancy Factor
	<p><b>Noncombustible (C-1)</b> = No active fuel loads such as storage of asbestos, clay, glass, marble, stone, or metal products.</p>	<p>0.75</p>
	<p><b>Limited - Combustible (C-2)</b> = Limited fuel loads such as airports, apartments, art studios, auto repair, auto showroom, aviaries, banks, barber shops, beauty shops, churches, clubs, cold storage warehouses, day care center, educational occupancies, gas stations, green houses, health clubs, hospitals, jails, libraries, medical labs, motels, museums, nursing homes, offices, radio stations, recreation centers, and rooming houses.</p>	<p>0.85</p>
	<p><b>Combustible (C-3)</b> = Moderate fuel loads such as auto part stores, auto repair training center, bakery, bookstores, bowling centers, casinos, commercial laundries, contractor equipment storage, dry cleaners with no flammable fluids, leather processing, municipal storage buildings, nursery sales stores, pavilions, pet shops, photographic supplies, printers, restaurants, shoe repair, supermarkets, theaters, vacant buildings, and most wholesale &amp; retail sales occupancies.</p>	<p>1.0</p>
	<p><b>Free-Burning (C-4)</b> = Active fuel loads such as aircraft hangers, cabinet making, combustible metals, dry cleaners using flammable fluids, feed stores, furniture stores, kennels, lumber, packaging and crating, paper products manufacturing, petroleum bulk distribution centers, tire manufacturers, tire recapping or retreading, wax products, and wood working shops.</p>	<p>1.15</p>
	<p><b>Rapid-Burning (C-5)</b> = Contents that burn with great intensity, spontaneously ignite, have flammable or explosive vapors, or large quantities of dust such as ammunition, feed mills, fireworks, flammable compressed gases, flammable liquids, flour mills, highly flammable solids, matches, mattress factories, nitrocellulose-based products, rag storage, upholstery shops, &amp; waste paper storage.</p>	<p>1.25</p>
	<p>Occupancy Class Selected (1 thru 5) <span style="border: 1px solid black; padding: 2px;">1</span></p> <p>GPM x Oi <span style="border: 1px solid black; padding: 2px;">2,250.00</span></p>	

**ISO Fire Flow Worksheet**

**Needed Fire Flow Work Sheet (ISO formulas)**

**STEP 4** Now consider the exposure factor (Xi) - (Separation between buildings)

Distance (feet to the exposed building)	Xi	>3 stories
0-10	0.22	0.47
11-30	0.18	0.43
31-60	0.13	0.38
61-100	0.09	0.34

Distance, in feet, to the exposed building

Xi (from table)

Multiply GPM from step 4 by (1+Xi)

Total From Step 4

**STEP 5** Approved Fire Sprinkler System? (Y or N)

Take fire flow from step 4 and multiply by sprinkler credit of 0.25

Sprinkler credit

Now subtract sprinkler credit from fire flow in step 4

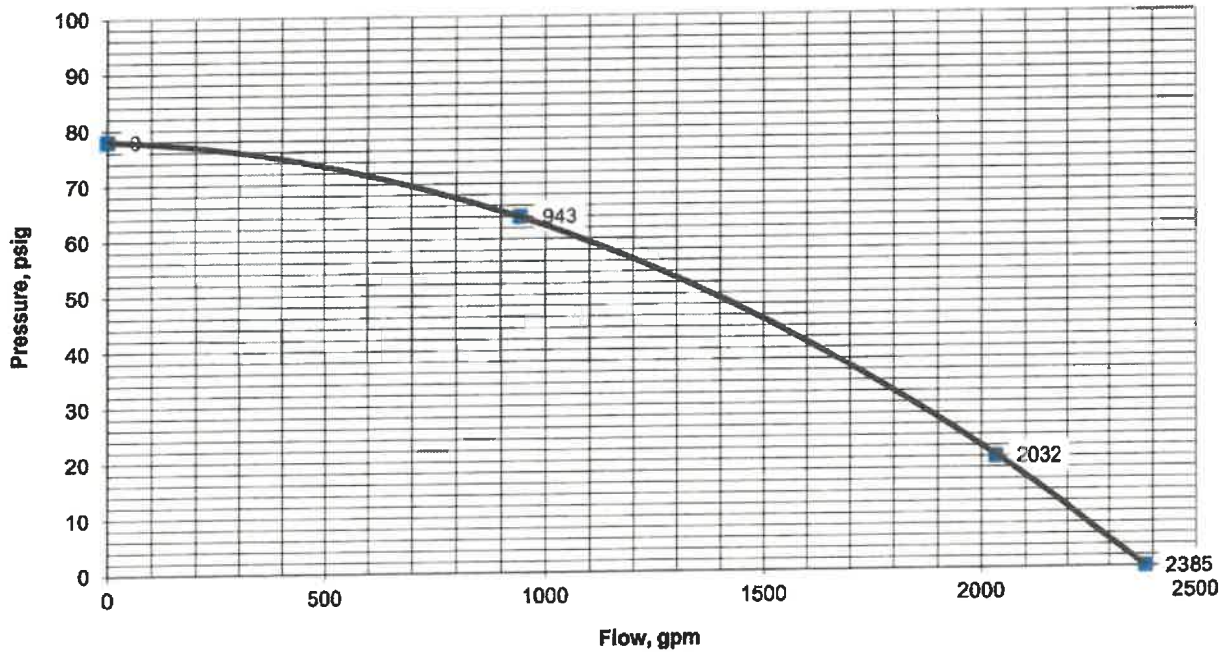
**NEEDED FIRE FLOW**

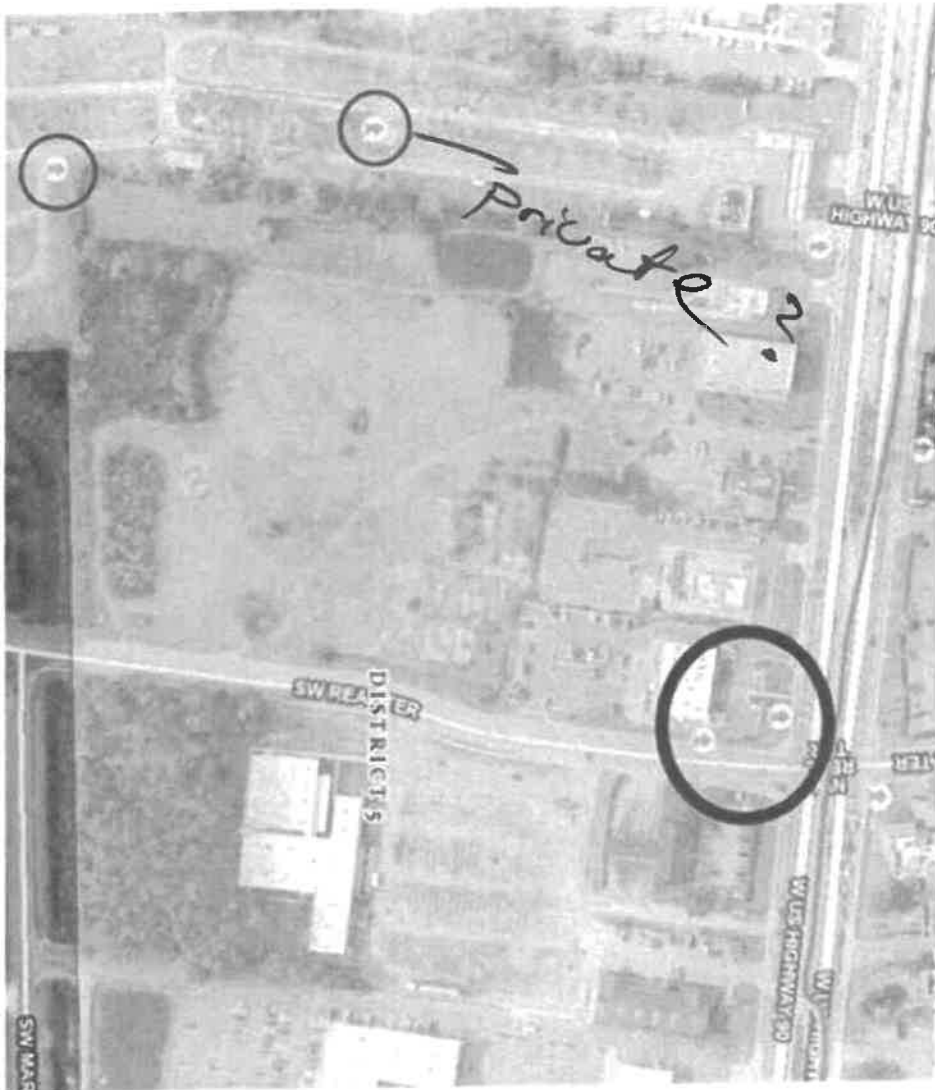
# City of Lake City Water flow report

HYDRANT # & LOCATION: **SW Real Terrace and SW Mary Ethel Lane**      DATE: **6/26/2023**  
 TEST BY: **AI/Brandon/Guage**      Day: **Thursday**      Time: **9:00**      Minutes: **2**  
 WATER SUPPLIED BY: **Municipal**  
 PURPOSE OF TEST: **request**

## DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<b>2.5</b>	<b>2.5</b>	<b>2.5</b>
COEFFICIENT:	<b>0.8</b>		
PITOT READING:	<b>40</b>		
GPM:	<b>943</b>	<b>0</b>	<b>0</b>
TOTAL FLOW DURING TEST:	<b>943</b> GPM		
STATIC READING:	<b>78</b> PSI		RESIDUAL: <b>64</b> PSI
RESULTS: AT 20 PSI RESIDUAL	<b>2032</b> GPM		AT 0 PSI <b>2385</b> GPM
ESTIMATED CONSUMPTION:	<b>1887</b> GAL.		
REMARKS:			





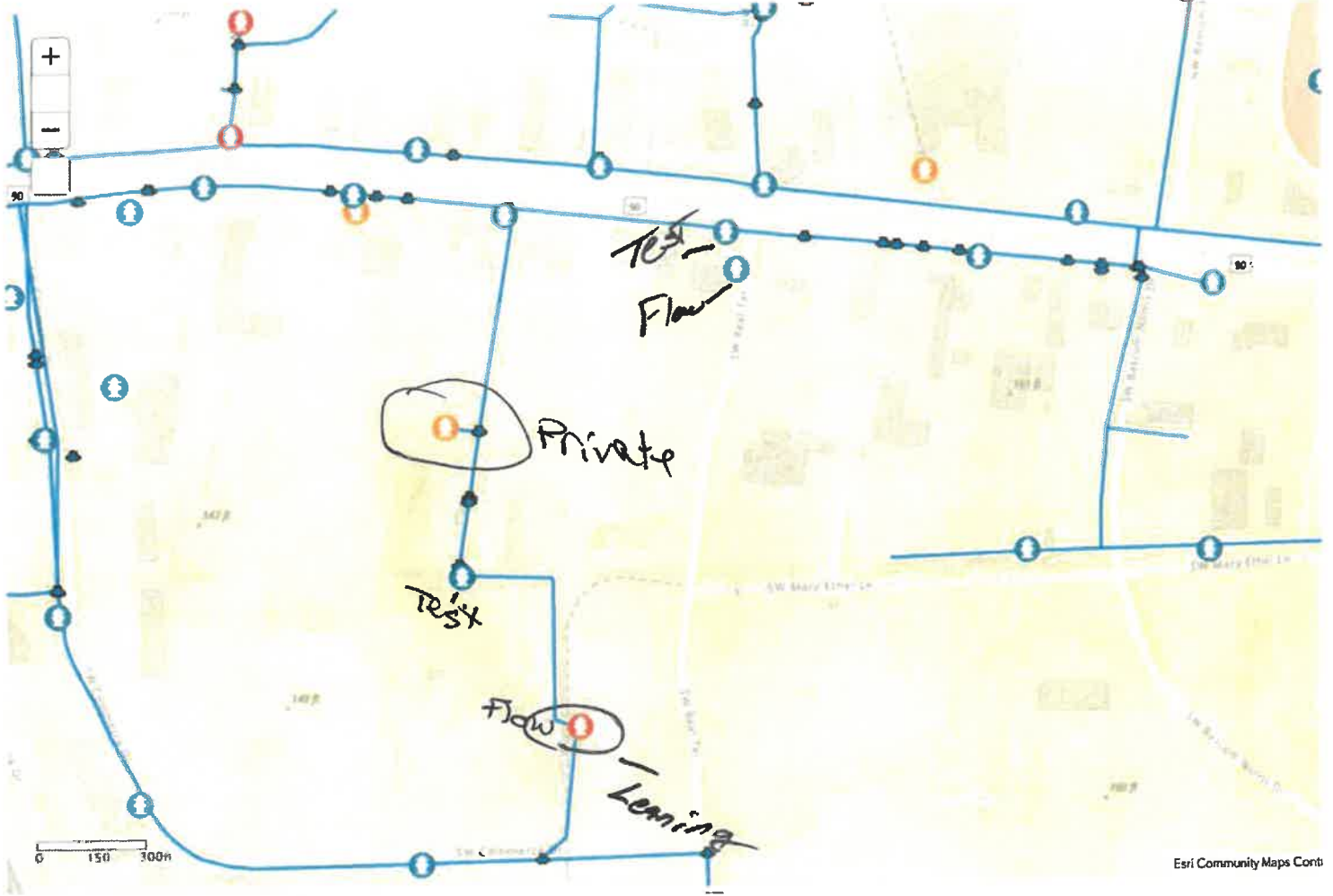


Updates are being made weekly. if you have any issues please email [gis@lcfla.com](mailto:gis@lcfla.com)

Home ▾ Hydrant Flushing

Details | Add | Edit | Basemap

Save | Share



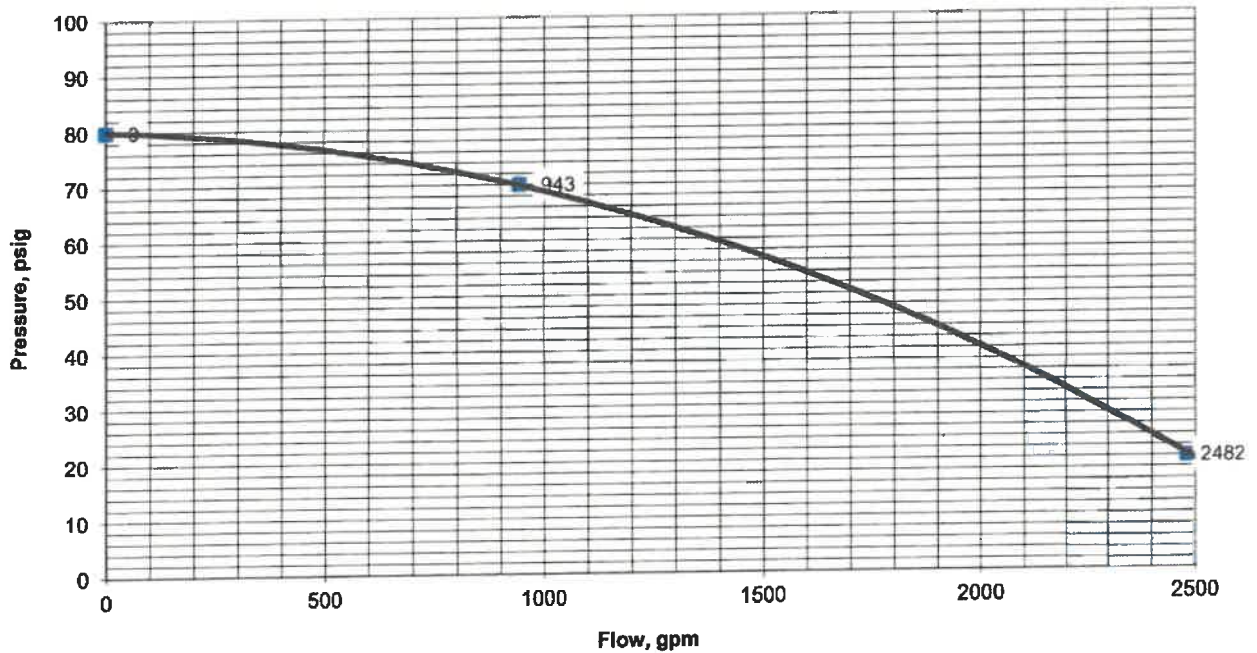
Updates are being made weekly. If you have any issues please email [gis@lcfla.com](mailto:gis@lcfla.com)

# City of Lake City Water flow report

HYDRANT # & LOCATION: **Real Terrace and US 90**      DATE: **6/22/2023**  
 TEST BY: **Al/Dainel**      Day: **Thursday**      Time: **13:25**      Minutes: **2**  
 WATER SUPPLIED BY: **Municipal**  
 PURPOSE OF TEST: **request**

## DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<b>2.5</b>	<b>2.5</b>	<b>2.5</b>
COEFFICIENT:	<b>0.8</b>		
PITOT READING:	<b>40</b>		
GPM:	<b>943</b>	<b>0</b>	<b>0</b>
TOTAL FLOW DURING TEST:	<b>943</b> GPM		
STATIC READING:	<b>80</b> PSI	RESIDUAL:	<b>70</b> PSI
RESULTS: AT 20 PSI RESIDUAL	<b>2482</b> GPM		AT 0 PSI <b>2899</b> GPM
ESTIMATED CONSUMPTION:	<b>1887</b> GAL.		
REMARKS:			





**NFPS**



PO BOX 3823  
LAKE CITY, FL 32056



PHONE (386) 752-4675  
FAX (386) 752-4674



www.nfps.net

## DATA ANALYSIS AND CONCURRENCY REPORT

Application for Site &  
Development Plan Approval

Prepared for:

**THE SANDERS TRUST**  
*Strategic Healthcare Properties Nationwide<sup>SM</sup>*

Prepared by:



Brandon M. Stubbs, Senior Planner  
North Florida Professional Services, Inc.



## General Project Information

SUBJECT:	A request for a Site & Development Plan Approval for a +/-42,745 square foot medical facility use, as permitted in Section 4.13.2 of the Land Development Regulations, along with parking, stormwater management system, landscaping, and other amenities on an approximate 7.33-acre subject property.
APPLICANT/AGENT:	Brandon M. Stubbs, Senior Planner for North Florida Professional Services, Inc.
PROPERTY OWNER(S):	Will Summers Properties, Inc., Summers & Summers, LLC., Nadejda Summers, and Real Terrace, LLC.
LOCATION:	North of SW Mary Ethel Lane; South of U.S. Highway 90, Five Guys, Panda Express, and Dairy Queen; East of Vacant Commercial Lands; and West of SW Real Terrace, Regal UA Cinema 90, TD Bank, and Planet Fitness; Columbia County, Florida.
PARCEL ID NUMBER(S):	02579-002, 02579-006, 02579-008, 02579-010, 02579-012, & 02579-013
ACREAGE:	±7.33-Acres
FLUM	Commercial
ZONING	Commercial, Intensive ("CI")



## SUMMARY

The proposal is to construct a ±42,745 square foot building for a medical facility use within a Commercial, Intensive (“CI”) Zone District on a ±7.33 acres subject property with associated parking, landscaping, stormwater management, and other amenities. The subject property is currently vacant.

### **FUTURE LAND USE MAP DESIGNATION of Subject Property**

The City of Lake City Commercial FLUM Designation is described as follows in Policy I.1.2 of the Future Land Use Element of the Comprehensive Plan:

*“Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio.*

*(CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.”*

### **OFFICIAL ZONING ATLAS DESIGNATION of Subject Property**

The City of Lake City Commercial, Intensive (“CI”) Designation is described as follows in Section 4.13.1 of the Land Development Regulations:

*“The “CI” Commercial, Intensive category includes one (1) zone district: CI. This district is intended for intensive, highly automotive-oriented uses that require a conspicuous and accessible location convenient to streets carrying large volumes of traffic. Such activities generally require large land areas, do not cater directly in appreciable degree to pedestrians, and require ample offstreet parking and offstreet loading space. This district permits certain uses not of a neighborhood or general commercial type and serves the entire City.”*

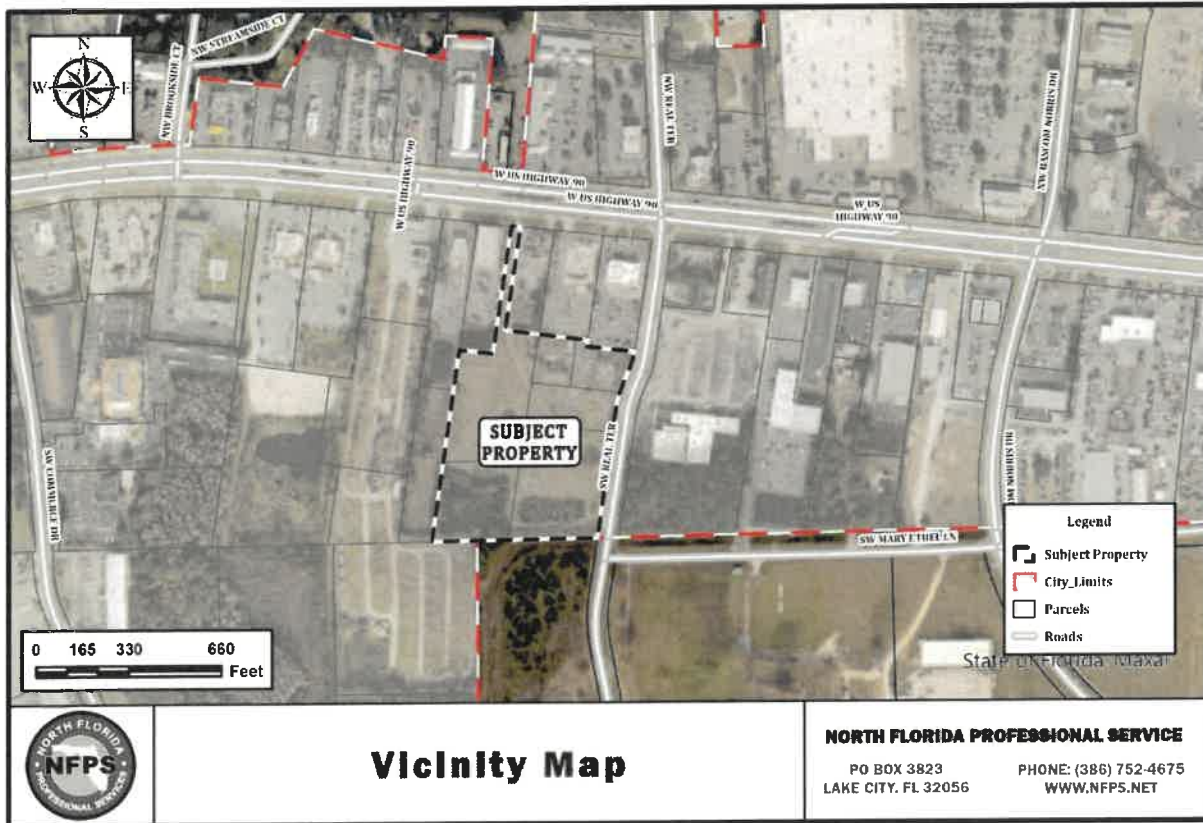
## SURROUNDING USES

The existing uses, Future Land Use Map ("FLUM") Designations, and zone districts of the surrounding area are identified in Table 1. Map 1 provides an overview of the vicinity of the subject property.

Table 1. Surrounding Land Uses

Direction	Existing Use(s)	FLUM Designation(s)	Zoning District(s)
North	U.S. Highway 90/Dunkin Donuts/ Panda Express/Ruby Tuesday	Commercial	Commercial, Intensive ("CI")
South	SW Mary Ethel Lane/Florida Gateway Arena	Columbia County Residential, Low Density	Columbia County Residential, Single Family-2 ("Co RSF-2")
East	Regal UA Cinema 90/Planet Fitness	Commercial	Commercial, Intensive ("CI")
West	Vacant Commercial Lands	Commercial	Commercial, Intensive ("CI")

Map 1. Vicinity Map



## CONSISTENCY WITH THE COMPREHENSIVE PLAN

Below is a chart of the existing FLUM Designation and the corresponding Official Zoning Atlas designation consistent with said proposed FLUM Designation.

Table 2. Zoning Consistency with Underlying Future Land Use Map Designation

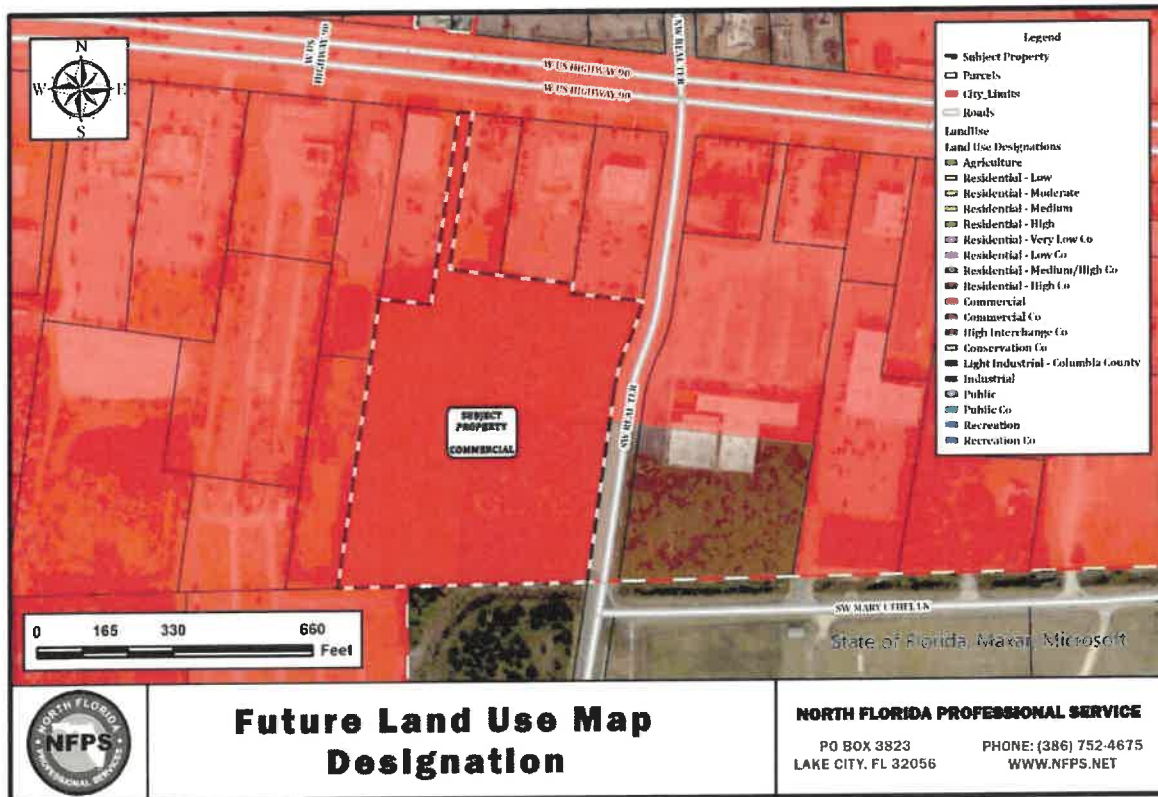
FLUM Designation	Official Zoning Atlas Designation	Consistent
Commercial	Commercial, Intensive ("CI")	✓

The following Comprehensive Plan Elements have Goals, Objectives, and Policies (GOPs) that support the proposed Future Land Use Map Amendment to the Comprehensive Plan:

- Future Land Use Element
- Transportation Element
- Sanitary Sewer, Solid Waste, Drainage, Potable Water, & Natural Groundwater Aquifer Recharge Element
- Capital Improvements Element

An analysis of Section 15.2.2 of the Land Development Regulations along with a Comprehensive Plan Consistency Analysis have been submitted as an accessory document to this report. According to the analysis, this application is consistent with the Comprehensive Plan and the Goals, Objectives, and Policies (GOPs) therein.

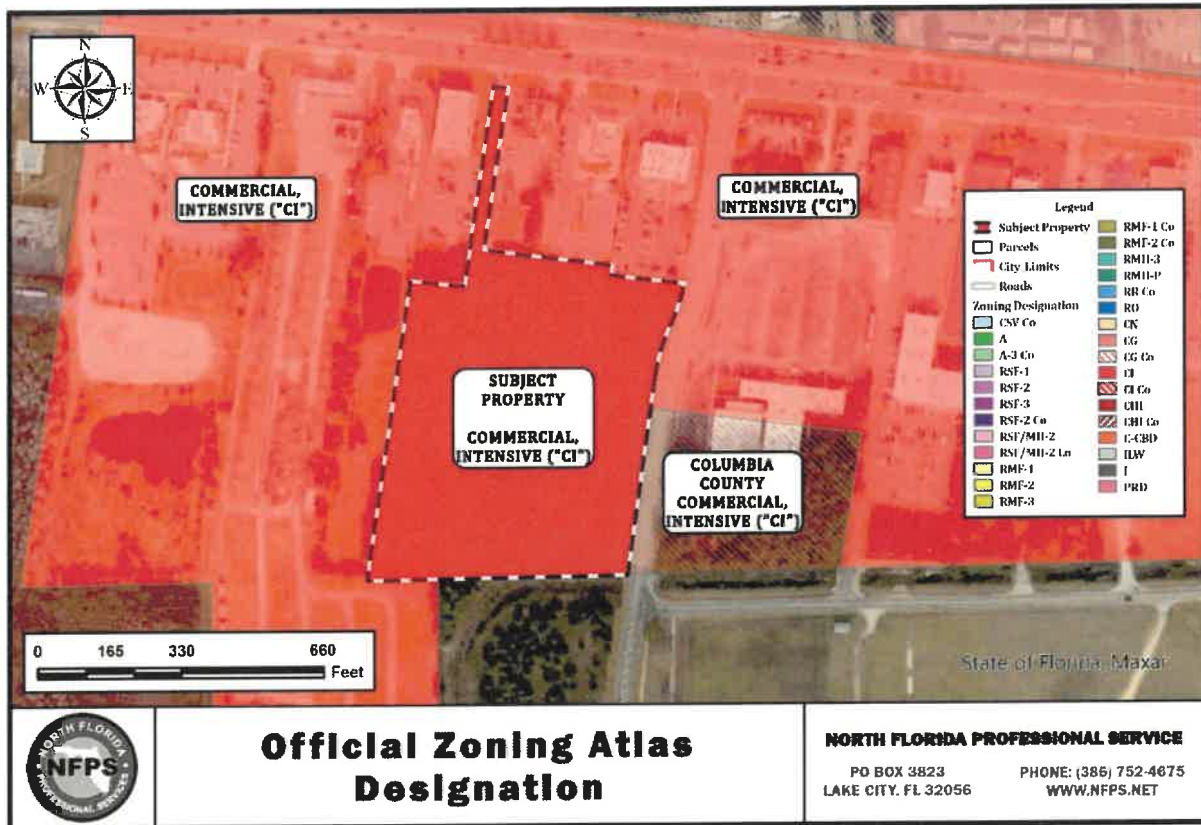
### Map 2. FLUM Map



### Future Land Use Map Designation

**NORTH FLORIDA PROFESSIONAL SERVICE**  
PO BOX 3823  
LAKE CITY, FL 32056  
PHONE: (386) 752-4675  
WWW.NFPS.NET

Map 3. Official Zoning Atlas Map



## ENVIRONMENTAL CONDITIONS ANALYSIS

### Wetlands

According to Illustration A-VI of the Comprehensive Plan, entitled Wetlands, which is based upon the National Wetlands Inventory, dated 1987, and the National Wetlands Reconnaissance Survey, dated 1981, there are wetlands located on the subject property.

Evaluation: While the NWI and environmental assessment report indicate wetlands are located on-site, the two ponds and wetland areas were created in the 1970's as stormwater management facilities that were not properly maintained. Further, a formal wetland determination was conducted by the Suwannee River Water Management District, and it was determined that the wetland quality and size does not require mitigation. Lastly, the proposed stormwater management system will be designed as a wetland pond with wetland vegetation planted within the stormwater management facility, there are no issues related to wetland protection.



Map 6. NWI Wetlands Map



## Soil Survey

Each soil type found on the subject property is identified below. The hydrologic soil group is an indicator of potential soil limitations. The hydrologic soil group, as defined for each specific soil, refers to a group of soils which have been categorized according to their runoff-producing characteristics. These hydrologic groups are defined by the Soil Survey of Columbia County, Florida, dated 2002. The chief consideration with respect to runoff potential is the capacity of each soil to permit infiltration (the slope and kind of plant cover are not considered but are separate factors in predicting runoff). There are four hydrologic groups: A, B, C, and D. "Group A" soils have a higher infiltration rate when thoroughly wet and therefore have a lower runoff potential. "Group D" soils have very lower infiltration rates and therefore a higher runoff potential.

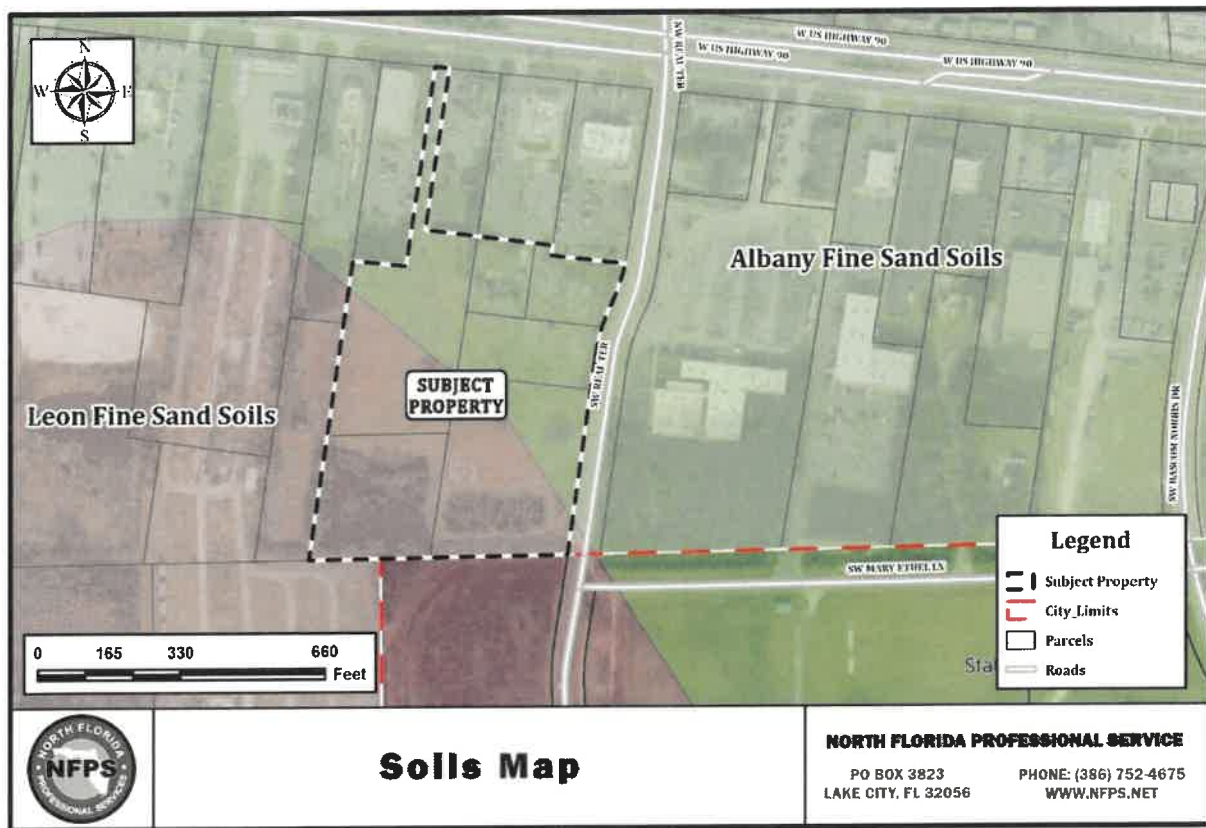
There are two (2) soil types found on the subject property:

- 1) Albany Fine Sand soils (0 to 5 percent slopes) are somewhat poorly drained, nearly sloping soils on short hillsides in the uplands. The surface and subsurface layers are comprised of fine sand to a depth of 9 to 25 inches. The subsoil layer is comprised of dark loam sand to a depth of 80 inches or more. Albany fine sand soils (0 to 5 percent slope) have severe limitations for building site development and for septic tank absorption fields.
- 2) Leon Fine Sand soils are poorly drained, nearly level soils in broad flatwoods and in areas adjacent to wet depressions and drainageways in the uplands. The surface and subsurface layers are comprised of fine sand to a depth of 19 inches. The subsoil layer is comprised of

fine sand to a depth of 80 inches or more. Leon fine sand soils have severe limitations for building site development and for septic tank absorption fields.

Evaluation: The soil types found on the subject property are Albany Fine Sand and Leon Fine Sand Soils (0 to 5 percent slopes). Both soil types pose severe limitations for building development and severe limitations for septic tank absorption field. During the site and development plan process, the applicant will have to accommodate for the soil types and stormwater. Further, any development shall be required to connect to the Community Potable and Sanitary Sewer Water Systems. At this time, there are no issues related to soil suitability.

### Map 7. Soils Map

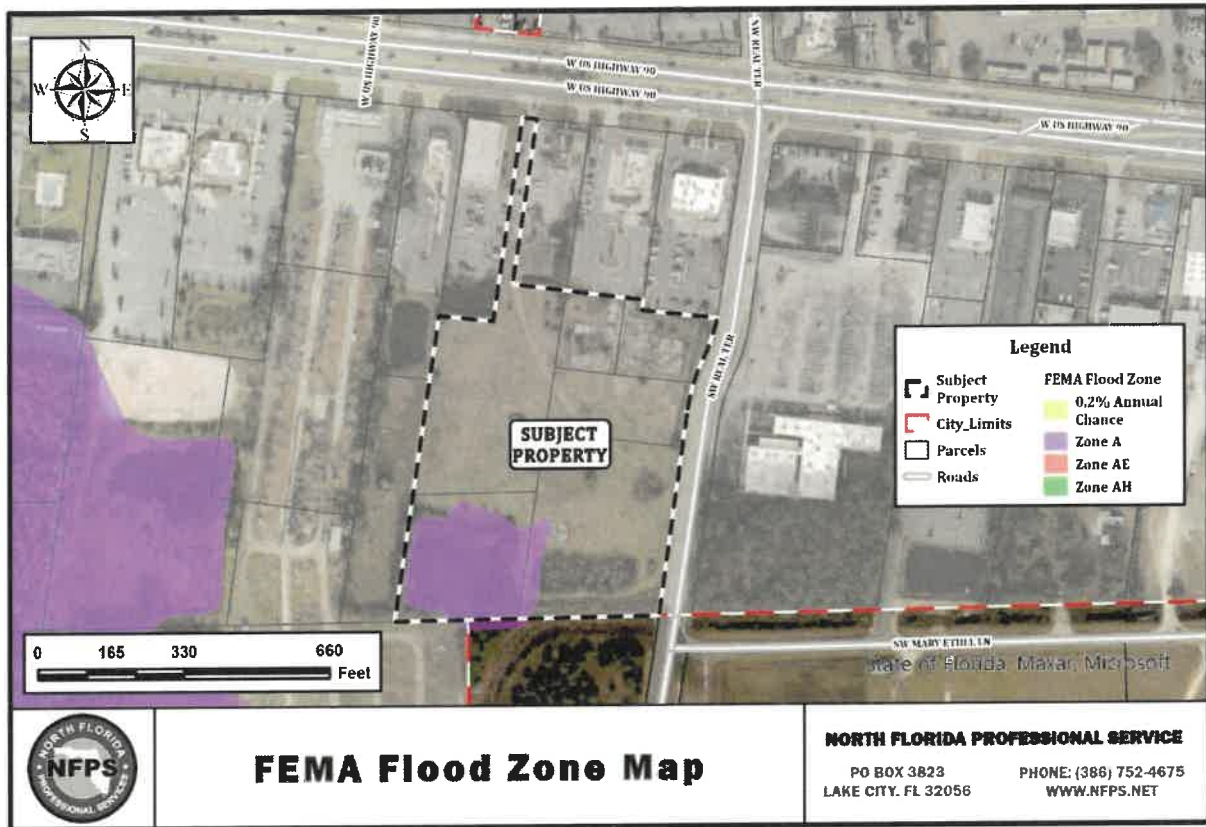


### Flood Potential

Panel 0291D of the Federal Emergency Management Agency (FEMA) Flood Insurance Rate Map (FIRM) Series, dated November 2, 2018, indicates that the subject property is in Flood Zone "A" (area inundated by the annual one-percent chance of flood) and Flood Zone "X" (areas determined to be outside of the 500-year floodplain).

Evaluation: While the FEMA Firm Map indicates a very small portion in the southwest corner of the subject property in a Flood Zone "A", the actual flood zone is located over the existing pond on the adjacent property. The small portion of FEMA flood zone shown on the subject property is due to a discrepancy in spatial data. Therefore, there is no concern of flooding on the subject property.

Map 8. FEMA FIRM Map



## Stream to Sink

According to the Stream to Sink Watersheds, prepared by the Suwannee River Water Management District, the subject property is not located within a stream to sink area.

Evaluation: Section 4.2.38 of the County's LDRs regulates Stream to Sink watershed areas. At this time, there is no concern related to Stream to Sink Watersheds.

## Minerals

According to Illustration A-VII of the Comprehensive Plan, entitled Minerals, which is based upon Natural Resources, prepared by the Florida Department of Environmental Protection, 2012, the subject property is within an area known to contain any minerals.

Evaluation: There are no issues related to minerals.



## Historic Resources

According to Illustration A-II of the Comprehensive Plan, entitled Historic Resources, which is based upon the Florida Division of Historical Resources, Master Site File, dated 1998, there are no known historic resources located on the subject property.

Evaluation: There are no issues related to historic Resources.

## Aquifer Vulnerability

According to the Prime Natural Groundwater Aquifer Recharge Areas Map 2019, prepared by the Suwannee River Water Management District, dated 2000, the subject property is not located in a high Groundwater Aquifer Recharge area.

Evaluation: Given the subject property is not located in a High Groundwater Aquifer Recharge Area, there is no issue related to aquifer vulnerability at this time. During the engineering and site planning phase, special consideration will be given to the design of the site to accommodate the aquifer vulnerability.

## Vegetative Communities/Wildlife

The subject property is located within an area not known as a vegetative community.

Evaluation: There are no known wildlife habitats associated with a non-vegetative community; therefore, there is no issue related to vegetative communities or wildlife. However, the subject property should be subject to an environmental impact assessment at the time of development.

## **PUBLIC FACILITIES IMPACT**

### Traffic Impact

**Table 3. Affected Comprehensive Plan Roadway Segments<sup>1</sup>**

Segment Number <sup>2</sup>	Segment Description	Lanes	Functional Classification	Area Type	LOS
4	U.S. 90 (from I-75 to SW Bascom Norris Rd)	6-D	Arterial I	Transition	D

1 Source: City of Trenton Comprehensive Plan, Capital Improvements Element.  
2 FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, City of Trenton Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.

**Table 4. Proposed Trip Generation<sup>1</sup>**

Land Use	AADT <sup>2</sup>	PM Peak Hour <sup>3</sup>
Hospital <sup>1</sup> (ITE Code 610)	458	41
<b>Total</b>	<b>458</b>	<b>41</b>

1 Source: ITE Trip Generation, 10th Edition.  
2 Formula: AADT - ITE, 10th Edition - 10.72 trips per thousand SQ FT x 42,745 SQ FT = 458 AADT  
3 Formulas: PM Peak - ITE, 10th Edition - 0.97 trips per SQ FT x 42,745 SQ FT = 41 PM Peak Trips



**Table 5. Projected Impact on Affected Comprehensive Plan Roadway Segments**

Traffic System Category		US 90 Segment #4 <sup>1</sup>
Maximum Service Volume <sup>2</sup>		56,800
Existing Traffic <sup>3</sup>		35,500
Reserved Trips <sup>4</sup>		0
Available Capacity		21,300
Projected Daily Trips		458
<b>Residual Capacity</b>		<b>20,842</b>
PM Peak Hour Traffic Analysis		US 90 Segment #4 <sup>1</sup>
Maximum Service Volume <sup>2</sup>		5,110
Existing Traffic <sup>3</sup>		3,372
Reserved Trips <sup>4</sup>		0
Available Capacity		1,738
Projected PM Peak Hour Trips		41
<b>Residual Capacity</b>		<b>1,697</b>

1 FDOT roadway segment number shown in parenthesis (when applicable.) For the purposes of concurrency management, City of Trenton Comprehensive Plan segments that make up a portion of a larger FDOT roadway segment will be evaluated together when determining post development roadway capacity.  
2 Source: FDOT 2023 Multimodal Quality/Level of Service Handbook, Generalized Annual Average Daily Volumes and Generalized Peak Hour Two-Way Volumes for Urbanized Areas.  
3 Florida Department of Transportation, District II, Annual Average Daily Traffic Report.

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of the roadway segment identified above; therefore, the demand generated by the development is acceptable.

### Potable Water Impacts

The subject property is located within a community potable water system service area. The subject property will be served potable water via City of Lake City Potable Water System. The City of Lake City Potable Water System is anticipated to meet or exceed the adopted level of service standard for potable water established within the Comprehensive Plan. Note: Calculations are based upon Chapter 62-6.008,F.S.

The proposed use as a ±42,745 sq ft medical facility use. A proposed medical facility with beds created 200 GPD per bed plus 5 GPD per day per meal prepared. The proposed medical facility proposed 36 beds with three meals per day per bed. Therefore, each bed will generate 215 GPD. 36 Beds x 215 GPD = 7,740 GPD Total

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for potable water facilities; therefore, the demand generated by the development is acceptable.

### Sanitary Sewer Impacts

The subject property is located within a community centralized sanitary sewer system service area. The subject property will be served sanitary sewer via City of Lake City Sanitary Sewer System. The City of Lake City Sanitary Sewer System is anticipated to meet or exceed the adopted level of service standard for sanitary sewer established within the Comprehensive Plan. Note: Calculations are based upon Chapter 62-6.008,F.S.



The proposed use as a ±42,745 sq ft medical facility use. A proposed medical facility with beds created 200 GPD per bed plus 5 GPD per day per meal prepared. The proposed medical facility proposed 36 beds with three meals per day per bed. Therefore, each bed will generate 215 GPD.  $36 \text{ Beds} \times 215 \text{ GPD} = 7,740 \text{ GPD Total}$

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) for sanitary sewer facilities; therefore, the demand generated by the development is acceptable.

## Solid Waste Impacts

Solid waste facilities for uses to be located on the site are provided at the sanitary landfill. The level of service standard established within the Comprehensive Plan for the provision of solid waste disposal is currently being met or exceeded.

The proposed use as a ±42,745 sq ft medical facility use. A proposed medical facility. An average medical facility generates approximately 2.5 lbs of solid waste per 100 square foot per day.  $(2.5 \text{ LBS} \times 427.45 \text{ SQ FT}) = 1,068$  pounds of solid waste per day.

Evaluation: The impacts generated by the development will not adversely affect the Level of Service (LOS) of solid waste facilities; therefore, the demand generated by the development is acceptable.

## Recreation Facilities

The proposed development is commercial in nature; therefore, there is no impact to recreation facilities. The development will have no negative impact to the Level of Service (LOS) of recreation facilities.

## Public School Facilities

The proposed development is commercial in nature; therefore, there is no impact to public school facilities. The development will have no negative impact to the Level of Service (LOS) of public school facilities.



## Comprehensive Plan Analysis

**Comprehensive Plan Compliance Narrative:** The subject property is surrounded by urban uses, including commercial uses to the north, east, and west. To the south, there is a rodeo arena and fairgrounds. The proposed land use of Commercial is comparable and compatible with the existing surrounding land use. The Commercial, Intensive (“CI”) Zoning Designation is consistent with the underlying Future Land Use Map Designation. Further, both the Commercial FLUM Designation and CI Zoning Designation permit medical facilities as a by-right use.

**Below is a list of Goals, Objectives, and Policies the proposed amendment is consistent with:**

**OBJECTIVE I.1** The City Concurrency Management System shall make available or schedule for availability the public facilities for future growth and urban development as development occurs in order to provide for urban densities and intensities within the City.

**Policy I.1.1** The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support such higher density or intensity.

**Policy I.1.2** The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to each classification of land use:

### COMMERCIAL

Lands classified as commercial use consist of areas used for the sale, rental, and distribution of products or performance of services, as well as public, charter and private elementary, middle and high schools. In addition, off-site signs, churches and other houses of worship, private clubs and lodges, residential dwelling units, which existed within this category on the date of adoption of this objective, and other similar uses compatible with commercial uses may be approved as special exceptions and be subject to an intensity of less than or equal to 0.25 floor area ratio except within the (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts being subject to an intensity of less than or equal to 1.0 floor area ratio. (CN) Commercial, Neighborhood uses shall be limited to an intensity of less than or equal to 0.25 floor area ratio. (CG) Commercial, General, (CI) Commercial, Intensive, (C-CBD) Commercial-Central Business District and (CHI) Commercial, Highway Interchange districts shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

- Policy I.1.3 The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).
- Policy I.1.3 The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).
- Policy I.1.4 The City shall continue to limit the designation of residential, commercial and industrial lands depicted on the Future Land Use Plan map to acreage which can be reasonably expected to develop by the year 2025.
- OBJECTIVE I.3 The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.
- Policy I.3.1 The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.
- Policy II.1.2. The City shall control the number and frequency of connections and access points of driveways and roads to arterials and collectors by requiring access points for state roads to be in conformance with Chapter 14-96 and 14-97, Florida Administrative Code, and the following requirements for non-state roads: 1. Permitting 1 access point for ingress and egress purposes to a single property or development; 2. Permitting 2 access points if the minimum distance between the two access points exceeds 20 feet; 3. Permitting 3 access points if the minimum distance between each access point is at least 100 feet; or 4. Permitting more than 3 access points where a minimum distance of 1,000 feet is maintained between each access point.
- Policy II.1.3. The City shall continue to require development to provide safe and convenient on-site traffic flow, which includes the provision for vehicle parking.
- OBJECTIVE II.2 The City shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map, limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads, as identified on the Future Traffic Circulation Map.
- Policy II.4.7 The City shall encourage cross-access connections easements and joint driveways, where available and economically feasible.



DESCRIPTION

Monday, November 6, 2023

FOR: Clearsky – 7.33 acres

COMMENCE at the Southeast corner of Section 35, Township 3 South, Range 16 East, Columbia County, Florida and run South  $87^{\circ}44'00''$  West, along the South line of said Section 35, a distance of 930.35 feet to a point on the West right-of-way line of SW Real Terrace, said point being the Southwest corner of a parcel of land recorded in Official Records Book 847, Page 920, of the public records of Columbia County, Florida, and being the POINT OF BEGINNING; thence South  $87^{\circ}56'11''$  West, along said South line of Section 35, a distance of 511.59 feet; thence North  $07^{\circ}19'25''$  East, a distance of 586.05 feet; thence South  $84^{\circ}52'12''$  East, a distance of 107.43 feet; thence North  $07^{\circ}15'35''$  East, along the East line of Lot 7, Lake Harris Farms, a subdivision recorded in Plat Book 1, page 22, of the public records of Columbia County, Florida, as monumented, a distance of 400.04 feet to a point on the South right-of-way line of U.S. Highway 90; thence South  $84^{\circ}41'38''$  East, along said South right-of-way line of U.S. Highway 90, a distance of 30.04 feet; thence South  $07^{\circ}15'14''$  West, along the East line of a 30 foot strip described in Official Records Book 958, Page 1392, of the public records of Columbia County, Florida, as monumented, a distance of 329.84 feet; thence South  $84^{\circ}32'55''$  East, along the South line of Official Records Book 787, Page 2073, of the public records of Columbia County, Florida, a distance of 254.03 feet; thence South  $07^{\circ}27'14''$  West, a distance of 19.14 feet; thence South  $84^{\circ}44'58''$  East, a distance of 148.79 feet to a point on the West right-of-way line of SW Real Terrace, said point being a point on a curve concave to the West having a radius of 278.00 feet; a central angle of  $18^{\circ}25'45''$ , a chord bearing of North  $16^{\circ}10'34''$  East, and a chord distance of 89.03 feet; thence Southwesterly along the arc of said curve, being said West right-of-way line of SW Real Terrace, a distance of 89.42 feet to the point of reverse curve concave to the East having a radius of 342.00 feet; a central angle of  $18^{\circ}29'40''$ , a chord bearing of South  $17^{\circ}01'36''$  West, and a chord distance of 109.91 feet; thence Southwesterly along the arc of said curve, being said West right-of-way line of SW Real Terrace, a distance of 110.39 feet to the end of said curve; thence South  $07^{\circ}45'59''$  West, still along said West right-of-way line of SW Real Terrace, a distance of 376.21 feet to the POINT OF BEGINNING.

Containing 7.33 acres, more or less.

Tax Parcel Numbers 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, & 02579-013

Prepared by and return to:

Rob Stewart  
Sky Title, LLC dba Lake City Title  
426 SW Commerce Drive #145  
Lake City, FL 32025  
(386) 758-1880  
File No 2023-6944VB

Parcel Identification No 35-3S-16-02579-002

[Space Above This Line For Recording Data]

## WARRANTY DEED

(STATUTORY FORM - SECTION 689.02, F.S.)

This indenture made the 24<sup>th</sup> day of July, 2023 between **Deborah S. Owens and Guy N.**

**Williams, Successor Co-Trustees of Edna C. Summers Living Trust Dated September 26, 2003**, whose post office address is **1165 NW Blackberry Court, Lake City, FL 32055**, of the County of Columbia, State of Florida, Grantor, to **Real Terrace LLC, a Florida Limited Liability Company**, whose post office address is **1096 SW Main Boulevard, Lake City, FL 32025**, of the County of Columbia, State of Florida, Grantee:

**Witnesseth**, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

SEE ATTACHED EXHIBIT "A"

**Together with** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**Subject to taxes** for 2023 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

**TO HAVE AND TO HOLD** the same in fee simple forever.

**And** Grantor hereby covenant with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor have good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantor have hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Valarie Benz  
WITNESS  
PRINT NAME: Valarie Benz

Melissa Stokes  
WITNESS  
PRINT NAME: Melissa Stokes

Edna C. Summers Living Trust Dated September 26, 2003

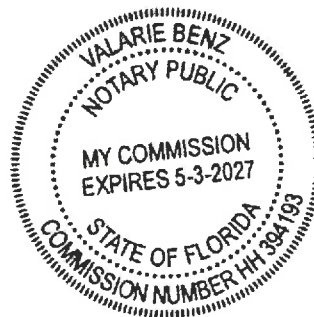
By: Deborah S. Owens  
Deborah S. Owens, Successor Co-Trustee

By: Guy N. Williams  
Guy N. Williams, Successor Co-Trustee

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of  physical presence or ( ) online notarization this 24th day of July, 2023, Deborah S. Owens and Guy N. Williams, Successor Co-Trustees of Edna C. Summers Living Trust Dated September 26, 2003, who is/are personally known to me or has/have produced FL Drivers License as identification.

Valarie Benz  
Signature of Notary Public



## Exhibit "A"

DESCRIPTION:  
COMMENCE AT THE SE CORNER OF LOT 5 OF LAKE HARRIS FRMS ACCORDING TO THE PLAT THEREOF  
RECORDED IN PLAT BOOK 1 PAGE 22, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, AND RUN  
THENCE S.86°28'21"W., 32.52 FEET TO THE POINT OF BEGINNING SAID POINT BEING ON THE WEST  
RIGHT-OF-WAY OF SW REAL TERRACE; THENCE CONTINUE S.86°28'21"W., 265.76 FEET; THENCE  
N.05°53'00"E., 348.40 FEET; THENCE S.85°44'26"E., 264.60 FEET TO SAID WEST RIGHT-OF-WAY OF SW  
REAL TERRACE; THENCE S.06°19'00"W., ALONG SAID WEST RIGHT-OF-WAY, 312.46 FEET TO THE POINT  
OF BEGINNING.

This Instrument Prepared By:  
RALPH R. DEAS, ESQUIRE  
227 SE Hernando Avenue  
Lake City, Florida 32025  
Telephone: (386) 754-0771

Inst: 201912017660 Date: 07/30/2019 Time: 11:44AM  
Page 1 of 3 B: 1390 P: 316, P. DeWitt Cason, Clerk of Court Colum  
County, By: BD  
Deputy Clerk Doc Stamp-Deed: 0.70

**CORRECTIVE WARRANTY DEED**

THIS WARRANTY DEED, made and executed this 26 day of July, 2019, by and between JAY PATRICK SUMMERALL as Successor Trustee of the KATHARINE J. SUMMERALL TRUST AGREEMENT dated March 30, 1995, as residual beneficiary under the Last Will and Testament of KATHARINE J. SUMMERALL, Deceased, 230 Lurgan Road, New Hope, Pennsylvania 18938, Grantor(s), and WILL SUMMERS PROPERTIES, INC., a Florida corporation, Post Office Box 387, Lake City, Florida 32056-0387, Grantee,

WITNESSETH:

That, for and in consideration of the sum of Ten and no/100 Dollars (\$10.00) and other valuable considerations in hand paid by the Grantee to the Grantor(s), the receipt and sufficiency whereof are hereby acknowledged, the Grantor(s) has granted, bargained and sold to the Grantee, and the Grantee's assigns forever, the following-described real property, situate, lying and being in Columbia County, Florida:

The E ½ of Lot 7 of Lake Harris Farms according to a plat thereof recorded in Plat Book 1, page 22, public records of Columbia County, Florida, lying South of the existing right-of-way of U.S. Highway 90,

LESS AND EXCEPT the South 250 feet (END OF LESSOUT);

Also the West 134 feet of Lot 6, Lake Harris Farms, lying South of right-of-way of U.S. #90, according to plat thereof recorded in Plat Book 1, page 22, public records of Columbia County, Florida, LESS AND EXCEPT that portion of the West 134 feet of said Lot 6 heretofore conveyed by deed recorded in Official Records Book 760, beginning at page 928, public records of Columbia County, Florida, and which is more particularly described as follows: The East 105.50 feet of the West 134.00 feet of the North 330.00 feet of Lot 6 of Lake Harris Farms as per plat thereof recorded in Plat Book 1, page 22, of the public records of Columbia County, Florida, lying South of the South right-of-way line of U.S. 90, Columbia County, Florida, containing 0.80 acres, more or less; and LESS AND EXCEPT the South 250 feet of the West 134 feet of Lot 6 of Lake Harris Farms lying South of the existing right-of-way of U. S. Highway 90, all according to the plat thereof recorded in Plat Book 1, page 22, public records of Columbia County, Florida (END OF LESSOUTS).

TOGETHER WITH a permanent, non-exclusive right-of-way easement for ingress and egress from U. S. Highway 90 for all vehicular and pedestrian traffic over and across the following-described lands:

A parcel 30.00 feet in width and 330.00 feet in length more particularly described as follows:

The West 28.50 feet of the North 330.00 feet of Lot 6, and the East 1.50 feet of the North 330.00 feet of Lot 7 of Lake Harris Farms, a subdivision according to plat thereof, recorded in Plat Book 1, page 22, public records of Columbia County, Florida, lying South of the existing South right-of-way line of U. S. Highway No. 90 (herein described as the "Common Easement"). (PIN: 35-3S-16-02579-006.)

SUBJECT TO restrictions, easements and outstanding mineral rights of record, if any, and taxes after December 31, 2001.

The purpose of this Instrument is to correct an error in the description in that certain warranty deed from KATHARINE J. SUMMERALL, an unmarried woman, to WILL SUMMERS PROPERTIES, INC., recorded at Official Records Book 958, pages 1391-1394, public records of Columbia County, Florida, by replacing "and" with "or" in said deed, in the last lessout of the paragraph describing the West 134 feet of Lot 6 aforesaid as part of the conveyance in said deed.

TOGETHER with all the tenements, hereditaments and appurtenances thereunto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.


And the Grantor(s) does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all parties whomsoever.

IN WITNESS WHEREOF, the Grantor(s) has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
In Presence of:

  
Signature of Witness

Joseph Darby  
Printed/Typed Name of Witness

  
\_\_\_\_\_  
(SEAL)  
JAY PATRICK SUMMERALL as Successor  
Trustee of the KATHARINE J. SUMMERALL  
TRUST AGREEMENT dated March 30, 1995

  
Signature of Witness

Robert Mittel Carey  
Printed/Typed Name of Witness

COMMONWEALTH OF PENNSYLVANIA  
COUNTY OF Bucks

The foregoing Corrective Warranty Deed was acknowledged before me by JAY PATRICK SUMMERALL, to me \_\_\_\_\_ personally known OR  known after production of

Florida Drivers License identification, and who DID NOT take an oath, this 20<sup>th</sup> day of July, 2019.

(Seal if any)

Commonwealth of Pennsylvania - Notary Seal  
MELANIE BITTAR, Notary Public  
Bucks County  
My Commission Expires November 29, 2022  
Commission Number 1338335

M Bittar  
Signature of Notary

Melanie Bittar  
Printed/Typed Name of Notary  
Notary Public, Commonwealth of Pennsylvania at Large  
OR County of Bucks  
Serial No. if any: 1338335  
Commission Expires: 11/29/2022

2.18.50  
292,420.00

THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Inst:2005000648 Date:01/11/2005 Time:10:30  
Doc Stamp-Deed : 420.00  
*MK* DC, P. Dewitt Cason, Columbia County B:1035 P:615

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL [REDACTED]

File No. 04-184

Property Appraiser's  
Parcel Identification No.  
36-38- [REDACTED]

**WARRANTY DEED**

THIS INDENTURE, made this 10th day of January 2005, BETWEEN PR SALES, INC., a Florida corporation, whose name was formerly HORIZON INDUSTRIAL SUPPLIES, INC., whose post office address is Post Office Box 2122, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the first part, and SUMMERS & SUMMERS, L.L.C., a Florida Limited Liability Company, whose post office address is Post Office Box 387, Lake City, Florida 32056, of the County of Columbia, State of Florida, party of the second part.

WITNESSETH: that the said party of the first part, for and in consideration of the sum of Ten Dollars (\$10.00), to it in hand paid, the receipt whereof is hereby acknowledged, has granted, bargained, sold, aliened, remised, released, conveyed and confirmed, and by these presents doth grant, bargain, sell, alien, remise, release, convey and confirm unto the said party of the second part, and its successors and assigns forever, all that certain parcel of land lying and being in the County of Columbia and State of Florida, more particularly described as follows:

The South 151.05 feet of the North 481.05 feet of the East 83.00 feet of Lot 6, and the South 151.05 feet of the North 481.05 feet of the West 34.58 feet of Lot 5, of Lake Harris Farms, Unit A, as recorded in Plat Book 1, Page 22 of the public records of Columbia County, Florida.

TOGETHER WITH a non-exclusive, perpetual easement over and across the following parcels:

PARCEL 1: The East 24 feet of the North 330 feet of the West 67 feet of Lot 5 of Lake Harris Farms.

PARCEL 2: The North 24 feet of the South 354 feet of the East 32.42 feet of the West 67 feet of Lot 5 of Lake Harris Farms.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.



TOGETHER WITH all the tenements, hereditaments and appurtenances, with every privilege, right, title, interest and estate, reversion, remainder and easement thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

And the said party of the first part doth covenant with said party of the second part that it is lawfully seized of said premises; that they are free of all encumbrances, and that it has good right and lawful authority to sell the same; and the said party of the first part does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, the party of the first part has caused these presents to be signed in its name by its President, and its corporate seal to be affixed, attested by its Secretary the day and year above written.

Signed, sealed and delivered in our presence:

PR SALES, INC.

[Signature]  
(First Witness)  
Terry McDavid  
Printed Name

By: [Signature]  
James Gregory Pittman  
President

[Signature]  
(Second Witness)  
Myrtle Ann McElroy  
Printed Name

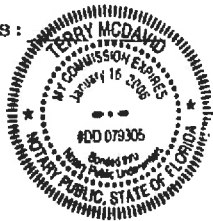
ATTEST: [Signature]  
Roger Ratliff  
Secretary-Treasurer

Inst: [Redacted] Date: 01/11/2005 Time: 10:30  
Doc Stamp-Deed : 420.00  
DC, P. Dewitt Cason, Columbia County B: 1035 P: 616

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 10th day of January 2005, by JAMES GREGORY PITTMAN and ROGER RATLIFF, President and Secretary-Treasurer, respectively, of PR SALES, INC., a Florida corporation, on behalf of said corporation. They are personally known to me and did not take an oath.

[Signature]  
Notary Public  
My Commission Expires:



THIS INSTRUMENT WAS PREPARED BY:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Recording Fee \$ 150  
Documentary Stamp \$ 630.00

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Inst:2005010143 Date:05/03/2005 Time:10:31  
Doc Stamp-Deed : 630.00  
TK DC, P. Dewitt Cason, Columbia County B:1044 P:2503

Property Appraiser's  
Parcel Identification No.  
02579-010

WARRANTY DEED

THIS INDENTURE, made this 27<sup>th</sup> day of April, 2005,  
BETWEEN W.L. SUMMERS and his wife, EDNA C. SUMMERS, whose post  
office address is P.O. Box 2817, Lake City, Florida 32056, of the  
County of Columbia, State of Florida, grantor\*, and WILL SUMMERS  
PROPERTIES, INC., a Florida corporation, whose post office address  
is P.O. Box 387, Lake City, Florida 32056, of the County of  
Columbia, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of  
the sum of Ten Dollars (\$10.00), and other good and valuable  
considerations to said grantor in hand paid by said grantee, the  
receipt whereof is hereby acknowledged, has granted, bargained and  
sold to the said grantee, and grantee's heirs and assigns forever,  
the following described land, situate, lying and being in Columbia  
County, Florida, to-wit:

The South 250.00 feet of the East 1/2 of Lot 7 of LAKE  
HARRIS FARMS lying South of the existing right-of-way of  
US Highway #90 and the South 250.00 feet of the West  
134.00 feet of Lot 6 of LAKE HARRIS FARMS lying South of  
the existing right-of-way of US Highway #90, all  
according to the plat thereof recorded in Plat Book 1,  
Page 22, Public Records of Columbia County, Florida.

SUBJECT TO: Restrictions, easements and outstanding  
mineral rights of record, if any, and taxes for the  
current year.

and said grantor does hereby fully warrant the title to said land,  
and will defend the same against the lawful claims of all persons  
whomsoever.

\*"Grantor" and "grantee" are used for singular or plural, as  
context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand  
and seal the day and year first above written.

Signed, sealed and delivered  
in our presence:

DeEtte F. Brown  
(First Witness)  
DeEtte F. Brown

Printed Name

Myrtle Ann McElroy  
(Second Witness)  
Myrtle Ann McElroy

Printed Name

W.L. Summers (SEAL)  
W.L. SUMMERS

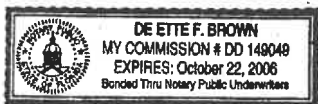
Edna C. Summers (SEAL)  
EDNA C. SUMMERS

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 27th  
day of April, 2005, by W.L. SUMMERS and his wife, EDNA C.  
SUMMERS, who are personally known to me and who did not take an  
oath.

My Commission Expires:

DeEtte F. Brown  
Notary Public



Inst: 2005010143 Date: 05/03/2005 Time: 10:31  
Doc Stamp-Deed : 630.00  
DC, P. Dewitt Cason, Columbia County B: 1044 P: 2584

THIS INSTRUMENT WAS PREPARED BY:

Recording Fee \$ 15.00  
Documentary Stamp \$ 420.00

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

RETURN TO:

TERRY McDAVID  
POST OFFICE BOX 1328  
LAKE CITY, FL 32056-1328

Inst:2004009954 Date:04/30/2004 Time:12:40  
Doc Stamp-Deed : 420.00  
200 DC, P. DeWitt Cason, Columbia County B:1013 P:2075

Property Appraiser's  
Parcel Identification No.  
02579-002

**WARRANTY DEED**

THIS INDENTURE, made this 27 day of April, 2004, BETWEEN W.L. SUMMERS and EDNA C. SUMMERS, Husband and Wife, whose post office address is Post Office Box 2817, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantor\*, and WILL SUMMERS PROPERTIES, INC., a Florida corporation, whose post office address is Post Office Box 2817, Lake City, Florida 32056, of the County of Columbia, State of Florida, grantee\*.

WITNESSETH: that said grantor, for and in consideration of the sum of Ten Dollars (\$10.00), and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND MADE A PART HEREOF.

SUBJECT TO: Restrictions, easements and outstanding mineral rights of record, if any, and taxes for the current year.

and said grantor does hereby fully warrant the title to said land, and will defend the same against the lawful claims of all persons whatsoever.

\*"Grantor" and "grantee" are used for singular or plural, as context requires.

IN WITNESS WHEREOF, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered  
in our presence:

Pearl H. McElroy  
(First Witness)  
Pearl H. McElroy  
Printed Name

W.L. Summers  
W.L. SUMMERS

Jerry T. Wood  
(Second Witness)  
Jerry T. Wood  
Printed Name

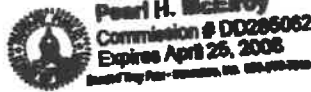
Edna C. Summers  
EDNA C. SUMMERS

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this 23  
day of April, 2004, by W.L. SUMMERS and EDNA C. SUMMERS, who are  
personally known to me and who did not take an oath.

My Commission Expires:

Pearl H. McElroy  
Notary Public  
Printed, typed, or stamped name:



Inst: 200406054 Date: 04/30/2004 Time: 12:40  
Doc Stamp-Deed: 420.00  
DC, P. DeWitt Case, Columbia County D:1013 P:2076

PART OF LOT 5 OF LAKE HARRIS FARMS, UNIT A, AS RECORDED IN PLAT BOOK 1, PAGE 22, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE SE CORNER OF SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA, AND THENCE S.87°44'00"W., ALONG THE SOUTH LINE OF SAID SECTION 35 A DISTANCE OF 930.35 FEET TO THE SW CORNER OF LANDS DESCRIBED IN OFFICIAL RECORDS BOOK (ORB) 847 PAGE 920 OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA; THENCE N.07°34'29"E., ALONG THE WEST LINE OF SAID LANDS, 376.22 FEET TO THE POINT OF CURVE OF A CURVE CONCAVE TO THE EAST AND HAVING A RADIUS OF 342.00 FEET AND A CENTRAL ANGLE OF 10°38'10" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF N.12°53'38"E., AND A CHORD DISTANCE OF 63.40 FEET; THENCE NORTHERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 63.49 FEET TO THE POINT OF BEGINNING; THENCE N.84°39'01"W., 153.95 FEET TO THE SE CORNER OF LANDS DESCRIBED IN ORB 803 PAGE 2645 OF SAID OFFICIAL RECORDS; THENCE N.07°08'01"E., ALONG THE EAST LINE OF SAID LANDS, 151.05 FEET TO THE MONUMENTED SOUTH LINE OF LANDS DESCRIBED IN ORB 787 PAGE 2073 OF SAID OFFICIAL RECORDS; THENCE S.84°39'01"E., ALONG SAID SOUTH LINE, 31.17 FEET TO THE WEST LINE OF LANDS DESCRIBED IN ORB 740 PAGE 320 OF SAID OFFICIAL RECORDS; THENCE S.07°13'34"W., ALONG SAID WEST LINE, 19.36 FEET TO THE SW CORNER OF SAID LANDS; THENCE S.84°56'11"E., ALONG THE SOUTH LINE OF SAID LANDS, 150.00 FEET TO A POINT ON THE AFOREMENTIONED WEST LINE OF SAID ORB 847 PAGE 920, SAID POINT BEING THE POINT OF CURVE OF A CURVE CONCAVE TO THE WEST AND HAVING A RADIUS OF 278.00 FEET AND A CENTRAL ANGLE OF 18°29'18" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF S.16°49'08"W., AND A CHORD DISTANCE OF 89.32 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 89.71 FEET TO THE POINT OF REVERSE CURVE WITH A CURVE CONCAVE TO THE EAST AND HAVING A RADIUS OF 342.00 FEET AND A CENTRAL ANGLE OF 07°51'10" AND BEING SUBTENDED BY A CHORD HAVING A BEARING OF S.22°08'17"W., AND A CHORD LENGTH OF 46.84 FEET; THENCE SOUTHERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 46.87 FEET TO THE POINT OF BEGINNING.

Inst:2004009854 Date:04/30/2004 Time:12:40

Doc Stamp-Beed : 420.00

DC, P. DeWitt Cason, Columbia County B: 1013 P: 2077

EXHIBIT "A"

Prepared by and return to:  
Peter C. Focks, Esq.  
McCarty Focks, PLLC  
2630-A NW 41<sup>st</sup> Street  
Gainesville, FL 32606  
Tel. 352-654-1001

[Space Above This Line For Recording Data]

### **Personal Representative's Deed**

This Personal Representative's Deed made this 7th day of March 2023 between Nadejda Summers, the duly qualified and acting personal representative of the Estate of William P. Summers, deceased, in that certain Columbia Circuit Court Probate file no. 2019 CP 0259 whose post office address is P.O. Box 387, Lake City, FL 32056, grantor, and Nadejda Summers as Guardian for William V. Summers, a minor, whose address is P.O. Box 387, Lake City, FL 32056, grantee:

(Whenever used herein the terms grantor and grantee include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

**Witnesseth**, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said grantee, and grantees heirs and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Commence at the SE corner of Lot 5 of Lake Harris Farms according to the plat thereof recorded in plat book 1, page 22, public records of Columbia County, Florida, and run thence S. 86°28'21" W., 32.52 feet a point being on the west right-of-way of SW Real Terrace; thence N. 06°19'00" E., along said west right-of-way, 312.40 feet to the point of beginning; thence N. 85°44'26"W., 264.65 feet; thence N. 05°52'59" E, 125.92 feet; thence S. 85°53'32" E., 271.57 feet a point on a curve of a curve to the left having a radius of 338.00 feet, an included angle of 10°45'18" and subtended by a chord bearing and distance of S. 11°41 '28" W., 63.35 feet; thence southerly along the arc of said curve being on said west right-of-way, for an arc distance of 63.45 feet; thence S. 06°19'00" W., still along said west right-of-way, 63.81 feet to the point of beginning. Containing 0.77 acres, more or less.

Parcel Identification Number: 35-3S-16-02579-013

**Together** with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**To Have and to Hold**, the same in fee simple forever.

And the grantor hereby covenants with said grantee that the grantor has good right and lawful authority to sell and convey said land; that the grantor warrants the title to said land for any acts of Grantor and will defend the title against the lawful claims of all persons claiming by, through, or under Grantor.

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered as to all grantors in the presence of:

Sign: Amanda Wilson 4/7/2023

Nadejda Summers 4/7/2023  
Nadejda Summers as Personal Representative of the Estate of William P. Summers, deceased

Print: Amanda Wilson

Sign: Jennifer Little 4/7/23

Print: Jennifer Little

STATE OF FLORIDA  
COUNTY OF Pinellas

The foregoing instrument was acknowledged before me by means of physical presence this \_\_\_ day of March 2023, by Nadejda Summers, as Personal Representative of the estate of William P. Summers, deceased, who has produced a FWL as identification.

SEAL

AMANDA LOEFFLER  
Notary Public, State of Florida  
My Comm. Expires Dec. 19, 2025  
No. HH 209436

Amanda Loeffler 4/7/2023  
NOTARY PUBLIC - State of Florida  
\*in person notarization

No title search was performed on the subject property by the preparer, and no opinion expressly or impliedly is made by Peter C. Focks, Esq. or the firm of McCarty Focks, PLLC with respect to the title. The preparer of this deed makes neither representation as to the status of the title nor property use or any zoning regulations concerning described property herein conveyed nor any matter except the validity of the form of this instrument. Information herein was provided to preparer by the Grantor and/or their agents; no boundary survey was made at the time of this conveyance. No documentary stamp taxes are due on this document.





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## Detail by Entity Name

Florida Limited Liability Company  
 REAL TERRACE, LLC

### Filing Information

**Document Number** L23000236967  
**FEI/EIN Number** NONE  
**Date Filed** 05/15/2023  
**Effective Date** 05/15/2023  
**State** FL  
**Status** ACTIVE

### Principal Address

1096 SW MAIN BLVD  
 LAKE CITY, FL 32025

### Mailing Address

1096 SW MAIN BLVD  
 LAKE CITY, FL 32025

### Registered Agent Name & Address

EAGLE, THOMAS H  
 1096 SW MAIN BLVD  
 LAKE CITY, FL 32025

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

EAGLE, THOMAS H  
 258 NW BERT AVE  
 LAKE CITY, FL 32055

### Annual Reports

**No Annual Reports Filed**

### Document Images

[05/15/2023 -- Florida Limited Liability](#) [View image in PDF format](#)



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## Detail by Entity Name

Florida Limited Liability Company  
SUMMERS & SUMMERS, L.L.C.

### Filing Information

<b>Document Number</b>	L04000014768
<b>FEI/EIN Number</b>	20-0771831
<b>Date Filed</b>	02/13/2004
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	REINSTATEMENT
<b>Event Date Filed</b>	08/23/2023

### Principal Address

10901 Brighton Bay Blvd NE  
Apt 4302  
Saint Petersburg, FL 33716

Changed: 08/23/2023

### Mailing Address

P.O. BOX 387  
LAKE CITY, FL 32056

Changed: 01/04/2012

### Registered Agent Name & Address

Nadejda Summers  
10901 Brighton Bay Blvd NE  
Apt 4302  
Saint Petersburg, FL 33716

Name Changed: 08/23/2023

Address Changed: 08/23/2023

### Authorized Person(s) Detail

#### **Name & Address**

Title MGRM

SUMMERS, Nadejda  
P.O. BOX 387  
LAKE CITY, FL 32056

### **Annual Reports**

<b>Report Year</b>	<b>Filed Date</b>
2021	08/23/2023
2022	08/23/2023
2023	08/23/2023

### **Document Images**

<a href="#">08/23/2023 -- REINSTATEMENT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/29/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/19/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/09/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/23/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/06/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/08/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/04/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/04/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/24/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/26/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/02/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/15/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/21/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">02/13/2004 -- Florida Limited Liabilites</a>	<a href="#">View image in PDF format</a>



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## Detail by Entity Name

Florida Profit Corporation  
WILL SUMMERS PROPERTIES, INC.

### Filing Information

<b>Document Number</b>	P01000096606
<b>FEI/EIN Number</b>	59-3749608
<b>Date Filed</b>	10/02/2001
<b>State</b>	FL
<b>Status</b>	ACTIVE
<b>Last Event</b>	REINSTATEMENT
<b>Event Date Filed</b>	08/23/2023

### Principal Address

10901 Brighton Bay Blvd NE  
4302  
Saint Petersburg, FL 33716

Changed: 08/23/2023

### Mailing Address

P.O. BOX 387  
LAKE CITY, FL 32056

Changed: 01/04/2012

### Registered Agent Name & Address

William Summers Estate  
10901 Brighton Bay Blvd NE  
4302  
Saint Petersburg, FL 33716

Name Changed: 08/23/2023

Address Changed: 08/23/2023

### Officer/Director Detail

#### **Name & Address**

Title DP

William Summers Estate  
PO BOX 387  
LAKE CITY, FL 32056

**Annual Reports**

Report Year	Filed Date
2021	08/23/2023
2022	08/23/2023
2023	08/23/2023

**Document Images**

<a href="#">08/23/2023 -- REINSTATEMENT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/29/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/19/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/09/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/23/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/06/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/08/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2013 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/04/2012 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/04/2011 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/24/2010 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/24/2009 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">01/26/2008 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/02/2007 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">07/24/2006 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/31/2005 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">05/05/2004 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/17/2003 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">08/01/2002 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">10/02/2001 -- Domestic Profit</a>	<a href="#">View image in PDF format</a>



GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Nadejda Summers (owner name), owner of property parcel

number 02579-006, 02579-008, 02579-010, 02579-012 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Brandon M. Stubbs, NFPS	1.
2. Darin Kilfoyl, NFPS	2.
3. Greg Bailey, P.E., NFPS	3.
4. Megan Carter, NFPS	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

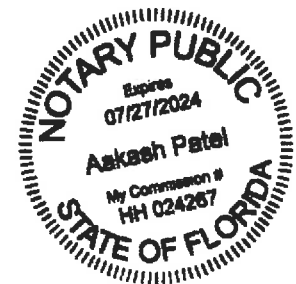
[Signature] Owner Signature (Notarized)      11/07/2023 Date

NOTARY INFORMATION:  
 STATE OF: FLORIDA COUNTY OF: MANATEE

The above person, whose name is NADEJDA Summers, personally appeared before me and is known by me or has produced identification (type of I.D.) FL DL# S56263571552A on this 7<sup>th</sup> day of NOVEMBER, 2023.

[Signature]  
 NOTARY'S SIGNATURE

(Seal/Stamp)





GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Thomas Eagle, Registered Agent for Real Terrace, LLC. (owner name), owner of property parcel

number 2579-002 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Brandon M. Stubbs, NFPS	1.
2. Darin Kilfoyl, NFPS	2.
3. Greg Bailey, P.E., NFPS	3.
4. Megan Carter, NFPS	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Thomas Eagle \_\_\_\_\_ 8-8-23 \_\_\_\_\_  
 Owner Signature (Notarized) Date

NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Thomas Eagle, personally appeared before me and is known by me or has produced identification (type of I.D.) \_\_\_\_\_ on this 8 day of Aug, 2023.

Vera Lisa Hicks  
 NOTARY'S SIGNATURE

(Seal/Stamp)



# Columbia County Tax Collector

generated on 11/8/2023 5:09:12 PM EST

## Tax Record

Last Update: 11/8/2023 5:09:01 PM EST

**Register for eBill**

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

<b>Account Number</b>	<b>Tax Type</b>	<b>Tax Year</b>
R02579-002	REAL ESTATE	2023
<b>Mailing Address</b>		<b>Property Address</b>
SUMMERS EDNA C LIVING TRUST P O BOX 2817 LAKE CITY FL 32056		<b>GEO Number</b> 353S16-02579-002
<b>Exempt Amount</b>	<b>Taxable Value</b>	
See Below	See Below	
<b>Exemption Detail</b>	<b>Millage Code</b>	<b>Escrow Code</b>
NO EXEMPTIONS	001	
<b>Legal Description (click for full description)</b>		
35-3S-16 1000/10002.19 Acres LOT 5 EX THE N 350 FT OF THE E 150 FT, ALSO THE N 330 FT OF THE W 67 FT & THE E 83 FT OF LOT 6 EX THE N 330 FT, EX 0.41 AC DESC IN ORB 603-048 & EX A 0.35 AC PARCEL DESC ORB 847-920. (PART OF LOTS 5 & 6 LAKE HARRIS FARMS S/D UNIT A). See Tax Roll For Extra Legal		
<b>Ad Valorem Taxes</b>		
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Value</b>
CITY OF LAKE CITY	4.9000	286,758
BOARD OF COUNTY COMMISSIONERS	7.8150	286,758
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	286,758
LOCAL	3.2170	286,758
CAPITAL OUTLAY	1.5000	286,758
SUWANNEE RIVER WATER MGT DIST	0.3113	286,758
LAKE SHORE HOSPITAL AUTHORITY	0.0001	286,758
		<b>Exemption Amount</b>
		0
		<b>Taxable Value</b>
		\$286,758
		<b>Taxes Levied</b>
		\$1,405.11
		\$2,241.01
		\$214.49
		\$922.50
		\$430.14
		\$89.27
		\$0.03
<b>Total Millage</b>		<b>Total Taxes</b>
18.4914		\$5,302.55
<b>Non-Ad Valorem Assessments</b>		
<b>Code</b>	<b>Levying Authority</b>	<b>Amount</b>
XLCF	CITY FIRE ASSESSMENT	\$61.26
<b>Total Assessments</b>		\$61.26
<b>Taxes &amp; Assessments</b>		\$5,363.81
<b>If Paid By</b>		<b>Amount Due</b>
11/30/2023		\$5,149.26
12/31/2023		\$5,202.90



1/31/2024	\$5,256.53
2/29/2024	\$5,310.17
3/31/2024	\$5,363.81

Prior Years Payment History

<b>Prior Year Taxes Due</b>
NO DELINQUENT TAXES

[Click Here To Pay Now](#)

# Columbia County Tax Collector

generated on 11/8/2023 5:03:04 PM EST

## Tax Record

Last Update: 11/8/2023 5:02:52 PM EST

**Register for eBill**

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

<b>Account Number</b>	<b>Tax Type</b>	<b>Tax Year</b>			
R02579-006	REAL ESTATE	2023			
<b>Mailing Address</b>		<b>Property Address</b>			
WILL SUMMERS PROPERTIES INC P O BX 387 LAKE CITY FL 32056-2817		2976 US HIGHWAY 90 LAKE CITY			
		<b>GEO Number</b>			
		353S16-02579-006			
<b>Exempt Amount</b>	<b>Taxable Value</b>				
See Below	See Below				
<b>Exemption Detail</b>	<b>Millage Code</b>	<b>Escrow Code</b>			
NO EXEMPTIONS	001				
<b>Legal Description (click for full description)</b>					
35-3S-16 1000/10002.20 Acres THE E1/2 OF LOT 7 LAKE HARRIS FARMS S/D, EX THE S 250 FT & THE W 134 FT OF LOT 6, EX THAT PORTION DESC ORB 760-928 & EX THE S 250 FT OF THE W 134 FT OF LOT 6 & EX 0.98 AC DESC IN ORB 988-661. (BEING PART OF LOTS 6 & 7 LAKE HARRIS FARMS UNIT A). See Tax Roll For Extra Legal					
<b>Ad Valorem Taxes</b>					
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Value</b>	<b>Exemption Amount</b>	<b>Taxable Value</b>	<b>Taxes Levied</b>
CITY OF LAKE CITY	4.9000	287,496	0	\$287,496	\$1,408.73
BOARD OF COUNTY COMMISSIONERS	7.8150	287,496	0	\$287,496	\$2,246.78
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	287,496	0	\$287,496	\$215.05
LOCAL	3.2170	287,496	0	\$287,496	\$924.87
CAPITAL OUTLAY	1.5000	287,496	0	\$287,496	\$431.24
SUWANNEE RIVER WATER MGT DIST	0.3113	287,496	0	\$287,496	\$89.50
LAKE SHORE HOSPITAL AUTHORITY	0.0001	287,496	0	\$287,496	\$0.03
<b>Total Millage</b>		18.4914	<b>Total Taxes</b>		\$5,316.20
<b>Non-Ad Valorem Assessments</b>					
<b>Code</b>	<b>Levying Authority</b>				<b>Amount</b>
XLCF	CITY FIRE ASSESSMENT				\$61.26
<b>Total Assessments</b>					\$61.26
Taxes & Assessments					\$5,377.46
<b>If Paid By</b>				<b>Amount Due</b>	
11/30/2023				\$5,162.36	
12/31/2023				\$5,216.14	

Columbia County Tax Collector

1/31/2024	\$5,269.91
2/29/2024	\$5,323.69
3/31/2024	\$5,377.46

Prior Years Payment History

<b>Prior Year Taxes Due</b>
NO DELINQUENT TAXES

[Click Here To Pay Now](#)

# Columbia County Tax Collector

generated on 11/8/2023 5:06:31 PM EST

## Tax Record

Last Update: 11/8/2023 5:06:20 PM EST

**Register for eBill**

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

<b>Account Number</b>	<b>Tax Type</b>	<b>Tax Year</b>		
R02579-008	REAL ESTATE	2023		
<b>Mailing Address</b>		<b>Property Address</b>		
SUMMERS & SUMMERS LLC PO BOX 387 LAKE CITY FL 32056		<b>GEO Number</b> 353S16-02579-008		
<b>Exempt Amount</b>	<b>Taxable Value</b>			
See Below	See Below			
<b>Exemption Detail</b>	<b>Millage Code</b>	<b>Escrow Code</b>		
NO EXEMPTIONS	001			
<b>Legal Description (click for full description)</b>				
35-3S-16 1000/1000.40 Acres THE S 151.05 FT OF THE N 481.05 FT OF THE E 83 FT OF LOT 6 & THE S 151.05 FT OF THE N 481.05 FT OF THE W 34.58 FT OF LOT 5, LAKE HARRIS FARMS S/D UNIT A. BEING PART OF LOTS 5 & 6 LAKE HARRIS FARMS UNIT A. 603-048, 803-2645, WD 1035-615,				
<b>Ad Valorem Taxes</b>				
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Exemption Value Amount</b>	<b>Taxable Value</b>	<b>Taxes Levied</b>
CITY OF LAKE CITY	4.9000	57,272 0	\$57,272	\$280.63
BOARD OF COUNTY COMMISSIONERS	7.8150	57,272 0	\$57,272	\$447.58
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	57,272 0	\$57,272	\$42.84
LOCAL	3.2170	57,272 0	\$57,272	\$184.24
CAPITAL OUTLAY	1.5000	57,272 0	\$57,272	\$85.91
SUWANNEE RIVER WATER MGT DIST	0.3113	57,272 0	\$57,272	\$17.83
LAKE SHORE HOSPITAL AUTHORITY	0.0001	57,272 0	\$57,272	\$0.01
<b>Total Millage</b>		18.4914	<b>Total Taxes</b>	
			\$1,059.04	
<b>Non-Ad Valorem Assessments</b>				
<b>Code</b>	<b>Levying Authority</b>	<b>Amount</b>		
XLCF	CITY FIRE ASSESSMENT	\$61.26		
<b>Total Assessments</b>				\$61.26
Taxes & Assessments				\$1,120.30

<b>If Paid By</b>	<b>Amount Due</b>
11/30/2023	\$1,075.49
12/31/2023	\$1,086.69
1/31/2024	\$1,097.89

2/29/2024	\$1,109.10
3/31/2024	\$1,120.30

Prior Years Payment History

<b>Prior Year Taxes Due</b>
NO DELINQUENT TAXES

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# Columbia County Tax Collector

generated on 11/8/2023 5:04:24 PM EST

## Tax Record

Last Update: 11/8/2023 5:04:13 PM EST

[Register for eBill](#)

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R02579-010	REAL ESTATE	2023
<b>Mailing Address</b> WILL SUMMERS PROPERTIES INC P O BOX 387 LAKE CITY FL 32056		<b>Property Address</b>  <b>GEO Number</b> 353S16-02579-010
<b>Exempt Amount</b> See Below	<b>Taxable Value</b> See Below	
<b>Exemption Detail</b> NO EXEMPTIONS	<b>Millage Code</b> 001	<b>Escrow Code</b>
<b>Legal Description (click for full description)</b> 35-3S-16 1000/10001.50 Acres THE S 250 FT OF THE EAST 1/2 LOT 7, LAKE HARRIS FARMS S/D, AND SOUTH 250 FT OF THE WEST 134 FT OF LOT 6. ORB 527-290, 946-2485, 958-1388. BEING PART OF LOTS 6 & 7 LAKE HARRIS FARMS UNIT A. WD 1044-2583.		
<b>Ad Valorem Taxes</b>		
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Exemption Value Amount Taxable Value Taxes Levied</b>
CITY OF LAKE CITY	4.9000	40,677 0 \$40,677 \$199.32
BOARD OF COUNTY COMMISSIONERS	7.8150	40,677 0 \$40,677 \$317.89
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	40,677 0 \$40,677 \$30.42
LOCAL	3.2170	40,677 0 \$40,677 \$130.86
CAPITAL OUTLAY	1.5000	40,677 0 \$40,677 \$61.02
SUWANNEE RIVER WATER MGT DIST	0.3113	40,677 0 \$40,677 \$12.66
LAKE SHORE HOSPITAL AUTHORITY	0.0001	40,677 0 \$40,677 \$0.00
<b>Total Millage</b>	18.4914	<b>Total Taxes</b> \$752.17
<b>Non-Ad Valorem Assessments</b>		
<b>Code</b>	<b>Levying Authority</b>	<b>Amount</b>
XLCF	CITY FIRE ASSESSMENT	\$61.26
<b>Total Assessments</b>		\$61.26
<b>Taxes &amp; Assessments</b>		\$813.43
<b>If Paid By</b>		<b>Amount Due</b>
11/30/2023		\$780.89
12/31/2023		\$789.03
1/31/2024		\$797.16

2/29/2024	\$805.30
3/31/2024	\$813.43

Prior Years Payment History

<b>Prior Year Taxes Due</b>
NO DELINQUENT TAXES

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# Columbia County Tax Collector

generated on 11/8/2023 5:07:21 PM EST

## Tax Record

Last Update: 11/8/2023 5:07:10 PM EST

**Register for eBill**

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

<b>Account Number</b>	<b>Tax Type</b>	<b>Tax Year</b>			
R02579-012	REAL ESTATE	2023			
<b>Mailing Address</b>		<b>Property Address</b>			
WILL SUMMERS PROPERTIES INC P O BOX 387 LAKE CITY FL 32056		2902 US HIGHWAY 90 LAKE CITY			
		<b>GEO Number</b>			
		353S16-02579-012			
<b>Exempt Amount</b>	<b>Taxable Value</b>				
See Below	See Below				
<b>Exemption Detail</b>	<b>Millage Code</b>	<b>Escrow Code</b>			
NO EXEMPTIONS	001				
<b>Legal Description (click for full description)</b>					
35-3S-16 1000/1000.54 Acres (AKA PART OF LOT 5 LAKE HARRIS FARMS S/D UNIT A DESC AS): COMM AT SE COR OF SEC, RUN W 930.35 FT TO W R/W OF SW REAL TER, N ALONG R/W 439.71 FT FOR POB, RUN WEST 153.95 FT, N 151.05 FT, E 31.17 FT, S 19.36 FT, E 150 FT TO W R/W OF SW REAL TER, See Tax Roll For Extra Legal					
<b>Ad Valorem Taxes</b>					
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Value</b>	<b>Exemption Amount</b>	<b>Taxable Value</b>	<b>Taxes Levied</b>
CITY OF LAKE CITY	4.9000	70,560	0	\$70,560	\$345.74
BOARD OF COUNTY COMMISSIONERS	7.8150	70,560	0	\$70,560	\$551.43
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	70,560	0	\$70,560	\$52.78
LOCAL	3.2170	70,560	0	\$70,560	\$226.99
CAPITAL OUTLAY	1.5000	70,560	0	\$70,560	\$105.84
SUWANNEE RIVER WATER MGT DIST	0.3113	70,560	0	\$70,560	\$21.97
LAKE SHORE HOSPITAL AUTHORITY	0.0001	70,560	0	\$70,560	\$0.01
<b>Total Millage</b>		18.4914	<b>Total Taxes</b>		\$1,304.76
<b>Non-Ad Valorem Assessments</b>					
<b>Code</b>	<b>Levying Authority</b>				<b>Amount</b>
XLCF	CITY FIRE ASSESSMENT				\$61.26
<b>Total Assessments</b>					\$61.26
<b>Taxes &amp; Assessments</b>					\$1,366.02
<b>If Paid By</b>				<b>Amount Due</b>	
11/30/2023				\$1,311.38	
12/31/2023				\$1,325.04	



1/31/2024	\$1,338.70
2/29/2024	\$1,352.36
3/31/2024	\$1,366.02

Prior Years Payment History

<b>Prior Year Taxes Due</b>
NO DELINQUENT TAXES

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# Columbia County Tax Collector

generated on 11/8/2023 5:08:17 PM EST

## Tax Record

Last Update: 11/8/2023 5:08:06 PM EST

**Register for eBill**

### Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year									
R02579-013	REAL ESTATE	2023									
<table style="width: 100%; border: none;"> <tr> <td style="width: 40%; border: none;"><b>Mailing Address</b> SUMMERS NADEJDA P O BOX 387 LAKE CITY FL 32056</td> <td style="width: 60%; border: none;"><b>Property Address</b> 226 REAL LAKE CITY</td> </tr> <tr> <td style="border: none;"></td> <td style="border: none;"><b>GEO Number</b> 353S16-02579-013</td> </tr> </table>			<b>Mailing Address</b> SUMMERS NADEJDA P O BOX 387 LAKE CITY FL 32056	<b>Property Address</b> 226 REAL LAKE CITY		<b>GEO Number</b> 353S16-02579-013					
<b>Mailing Address</b> SUMMERS NADEJDA P O BOX 387 LAKE CITY FL 32056	<b>Property Address</b> 226 REAL LAKE CITY										
	<b>GEO Number</b> 353S16-02579-013										
<b>Exempt Amount</b>	<b>Taxable Value</b>										
See Below	See Below										
<table style="width: 100%; border: none;"> <tr> <td style="width: 33%; border: none;"><b>Exemption Detail</b> NO EXEMPTIONS</td> <td style="width: 33%; border: none;"><b>Millage Code</b> 001</td> <td style="width: 34%; border: none;"><b>Escrow Code</b></td> </tr> <tr> <td colspan="3" style="border: none;"><b>Legal Description (click for full description)</b></td> </tr> <tr> <td colspan="3" style="border: none;">35-3S-16 1000/1000.77 Acres (AKA PART OF LOT 5 &amp; PART OF LOT 6 LAKE HARRIS FARMS S/D UNIT A DESC AS FOLLOWS): COMM AT SE COR OF LOT 5 LAKE HARRIS FARMS, RUN W 32.52 FT TO W R/W SW REAL TERRACE, RUN N 6 DG E ALONG W R/W, 312.40 FT FOR POB, RUN W 264.65 FT, N 5 DG E 125.92 FT, See Tax Roll For Extra Legal</td> </tr> </table>			<b>Exemption Detail</b> NO EXEMPTIONS	<b>Millage Code</b> 001	<b>Escrow Code</b>	<b>Legal Description (click for full description)</b>			35-3S-16 1000/1000.77 Acres (AKA PART OF LOT 5 & PART OF LOT 6 LAKE HARRIS FARMS S/D UNIT A DESC AS FOLLOWS): COMM AT SE COR OF LOT 5 LAKE HARRIS FARMS, RUN W 32.52 FT TO W R/W SW REAL TERRACE, RUN N 6 DG E ALONG W R/W, 312.40 FT FOR POB, RUN W 264.65 FT, N 5 DG E 125.92 FT, See Tax Roll For Extra Legal		
<b>Exemption Detail</b> NO EXEMPTIONS	<b>Millage Code</b> 001	<b>Escrow Code</b>									
<b>Legal Description (click for full description)</b>											
35-3S-16 1000/1000.77 Acres (AKA PART OF LOT 5 & PART OF LOT 6 LAKE HARRIS FARMS S/D UNIT A DESC AS FOLLOWS): COMM AT SE COR OF LOT 5 LAKE HARRIS FARMS, RUN W 32.52 FT TO W R/W SW REAL TERRACE, RUN N 6 DG E ALONG W R/W, 312.40 FT FOR POB, RUN W 264.65 FT, N 5 DG E 125.92 FT, See Tax Roll For Extra Legal											
<b>Ad Valorem Taxes</b>											
<b>Taxing Authority</b>	<b>Rate</b>	<b>Assessed Value</b>									
CITY OF LAKE CITY	4.9000	100,624									
BOARD OF COUNTY COMMISSIONERS	7.8150	100,624									
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	100,624									
LOCAL	3.2170	100,624									
CAPITAL OUTLAY	1.5000	100,624									
SUWANNEE RIVER WATER MGT DIST	0.3113	100,624									
LAKE SHORE HOSPITAL AUTHORITY	0.0001	100,624									
		<b>Exemption Amount</b>									
		0									
		<b>Taxable Value</b>									
		\$100,624									
		<b>Taxes Levied</b>									
		\$493.06									
		\$786.38									
		\$75.26									
		\$323.71									
		\$150.94									
		\$31.32									
		\$0.01									
<b>Total Millage</b>		18.4914									
<b>Total Taxes</b>		\$1,860.68									
<b>Non-Ad Valorem Assessments</b>											
<b>Code</b>	<b>Levying Authority</b>	<b>Amount</b>									
XLCF	CITY FIRE ASSESSMENT	\$61.26									
<b>Total Assessments</b>		\$61.26									
<b>Taxes &amp; Assessments</b>		\$1,921.94									
<b>If Paid By</b>		<b>Amount Due</b>									
11/30/2023		\$1,845.06									
12/31/2023		\$1,864.28									

1/31/2024	\$1,883.50
2/29/2024	\$1,902.72
3/31/2024	\$1,921.94

Prior Years Payment History

<b>Prior Year Taxes Due</b>
NO DELINQUENT TAXES

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# Project Summary

**Project Name:** Clearsky Site Plan Review

**Project Number:** SPR24-01

**Parcel Number:** 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013

## Project Notes

- Project type: Site plan review
- Future land use is: Commercial
- Proposed future land use is: Commercial
- Zoning designation is: Commercial Intensive
- Proposed zoning is: Commercial Intensive
- Proposed use of the property: Rehab Facility
- Land is conducive for use: Yes, per the LDR section 4.13.2 and 4.12.2.5.
- See staff review for notes from directors and city staff for their comments.

## Project Summary

Project SPR24-01 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.

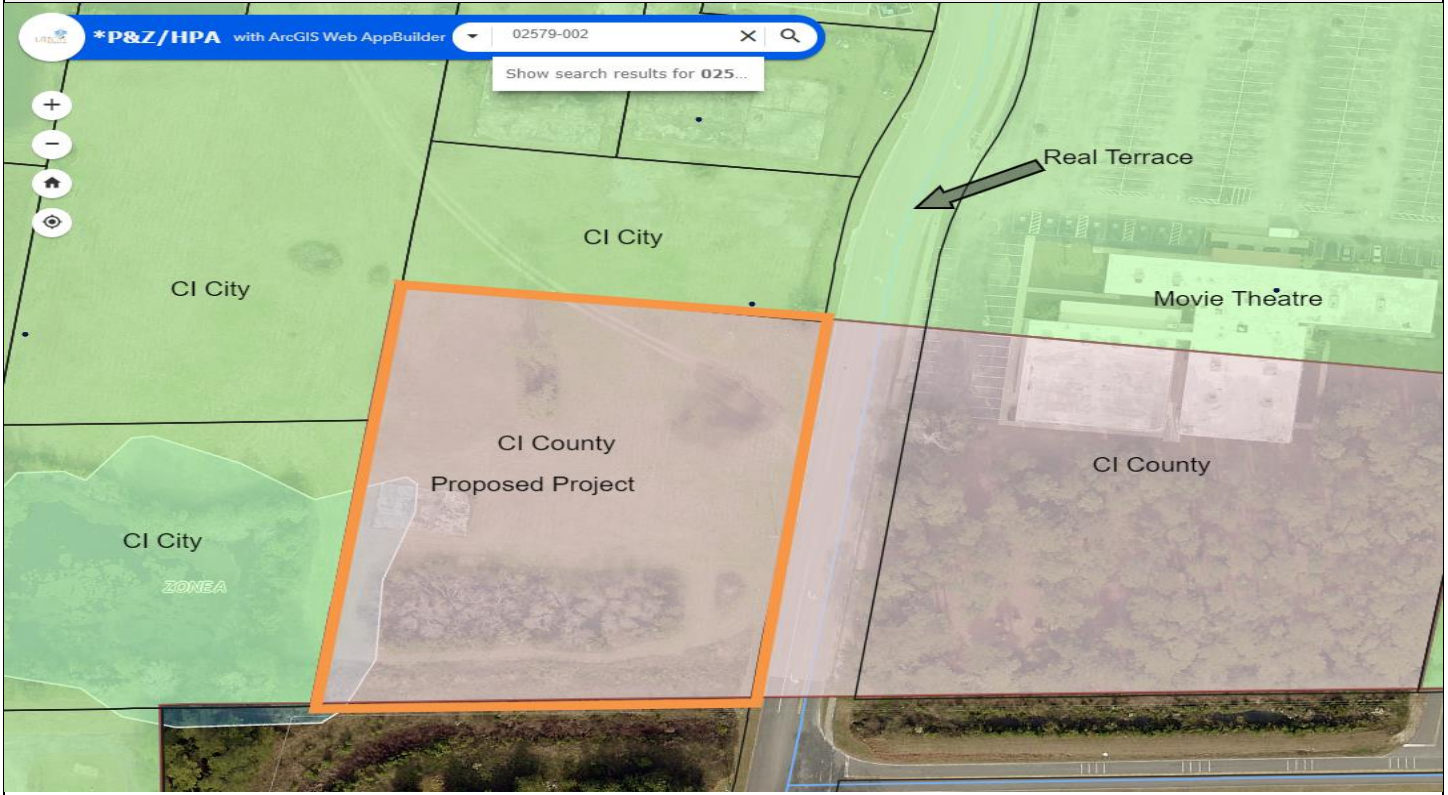
# LAKE CITY GROWTH MANAGEMENT STAFF ANALYSIS REPORT

Project Information	
Project Name and Case No.	Clearsky site plan review
Applicant	Brandon Stubbs, as agent
Owner	Real Terrace LLC
Requested Action	Site plan review for Clearsky, medical facility located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, 02579-013
Hearing Date	01-03-2024
Staff Analysis/Determination	Sufficient for Review
Prepared By	Robert Angelo

Subject Property Information	
Size	+/- 2.00 Acres
Location	Real Terrace, Lake City, FL
Parcel Number	02579-002, 02579-006, 02579-008, 02579-010, 02579-012, 02579-013
Future Land Use	Commercial
Proposed Future Land Use	Commercial
Current Zoning District	Commercial Intensive (CI)
Proposed Zoning	Commercial Intensive (CI)
Flood Zone-BFE	Flood Zone X and A Base Flood Elevation-N/A

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Commercial	CI	Vacant	
E	Commercial Co	CI Co	Entertainment	
S	County		Vacant	
W	Commercial	CI	Vacant	

### Map of Location



### Picture of Location



### Summary of Request

Applicant has petitioned for a site plan review for the above parcels to build a medical facility for rehabilitation.



DEPARTMENT OF GROWTH MANAGEMENT  
205 North Marion Avenue  
Lake City, Florida 32055  
Telephone: (386) 719-5750  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF  
ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF  
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE  
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 12/06/2023

Request Type: Site Plan Review (SPR)  Special Exception (SE)  Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z)  Certificate of Appropriateness (COA)

Project Number: SPR24-01

Project Name: Clearsky

Project Address: \_\_\_\_\_

Project Parcel Number: 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013

Owner Name: Real Terrace, LLC

Owner Address: \_\_\_\_\_

Owner Contact Information: Telephone Number: \_\_\_\_\_ Email: \_\_\_\_\_

Owner Agent Name: Brandon Stubbs

Owner Agent Address: P.O. Box 3823, Lake City, FL 32056

Owner Agent Contact Information: Telephone: 386-752-4675 Email: bstubbs@nfps.net

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.



**Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting**

**Building Department: Reviewed by:** DocuSigned by: Dave Young 2624CF6D4D2B43B... **Date:** 12/6/2023

No comments at this time

**Planning and Zoning: Reviewed by:** DocuSigned by: Robert Angelo F0D1ED33B98E4BE... **Date:** 12/7/2023

No comments at this time.

**Business License: Reviewed by:** DocuSigned by: Marshall Sova E8B18D144D974CD... **Date:** 12/6/2023

No comments

**Code Enforcement: Reviewed by:** DocuSigned by: Marshall Sova E8B18D144D974CD... **Date:** 12/6/2023

No open violations or liens on properties

**Permitting: Reviewed by:** DocuSigned by: Aun Jones C656039271CC40E... **Date:** 12/6/2023

no permitting at this time

**Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service**

**Water Department: Reviewed by:** DocuSigned by: Michael L. Osborn Jr. 896E039544B74E3... **Date:** 12/6/2023

No comments at this time

**Sewer Department: Reviewed by:** DocuSigned by: Cody Pridgen DBA01EF55AD249B... **Date:** 12/7/2023

None

**Gas Department: Reviewed by:** DocuSigned by: Steve Brown 8B57D0CE8F2F4B5... **Date:** 12/6/2023

No commits

**Water Distribution/Collection: Reviewed by:** DocuSigned by: Brian Scott F599EB0129784F8... **Date:** 12/15/2023

need utility plans

**Customer Service: Reviewed by:** DocuSigned by: Shasta Pelham 06D97A03103D4E0... **Date:** 12/18/2023

A tap application & utility plans will need to be submitted in order to request city utilities. The utility fees will be calculated upon approval of the tap application and utility plans. Locates must be obtained to ensure that the existing utility infrastructure is not damaged or obstructed.

**Public Safety – Public Works, Fire Department, Police Department**

**Public Works: Reviewed by:** DocuSigned by: Steve Brown 8B57DDCE8F2F4B5... **Date:** 12/6/2023

No commits

**Fire Department: Reviewed by:** DocuSigned by: Dwight Booger 4D1447DF64A445D... **Date:** 12/7/2023

No concerns at this time.

**Police Department: Reviewed by:** \_\_\_\_\_ **Date:** \_\_\_\_\_

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

**CITY OF LAKE CITY  
NOTICE  
LAND USE ACTION**

A PUBLIC HEARING IS SCHEDULED TO CONSIDER A REQUEST FOR:

SPR24.01, a petition by Brandon Stubbs, as agent, to request a Site Plan Review approval be granted as provided for in Section 4.13 of the Land Development Regulations, to get approval on site plan for Clearsky for a property located in the Commercial Intensive zoning district, in accordance with the submittal of the petition dated November 29, 2023, to be located on parcels 02579-002, 02579-008, 02579-010, 02579-012, and 02579-013.

**WHEN:** January 3, 2024  
5:30 p.m.

**WHERE:** City Council Meeting Room, Second Floor, City Hall, located at 205 North Marion Avenue, Lake City, Florida.  
Members of the public may also view the meeting on our YouTube channel at:  
<https://www.youtube.com/c/CityofLakeCity>.

Copies of the site plan review application are available for public inspection by contacting the Office of Growth Management at [growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com) or by calling 386.719.5820.

At the aforementioned public hearing, all interested parties may be heard with respect to the Certificate of Appropriateness.

**FOR MORE INFORMATION CONTACT  
ROBERT ANGELO  
PLANNING & ZONING TECHNICIAN  
AT 386.719.5820**





December 11, 2023

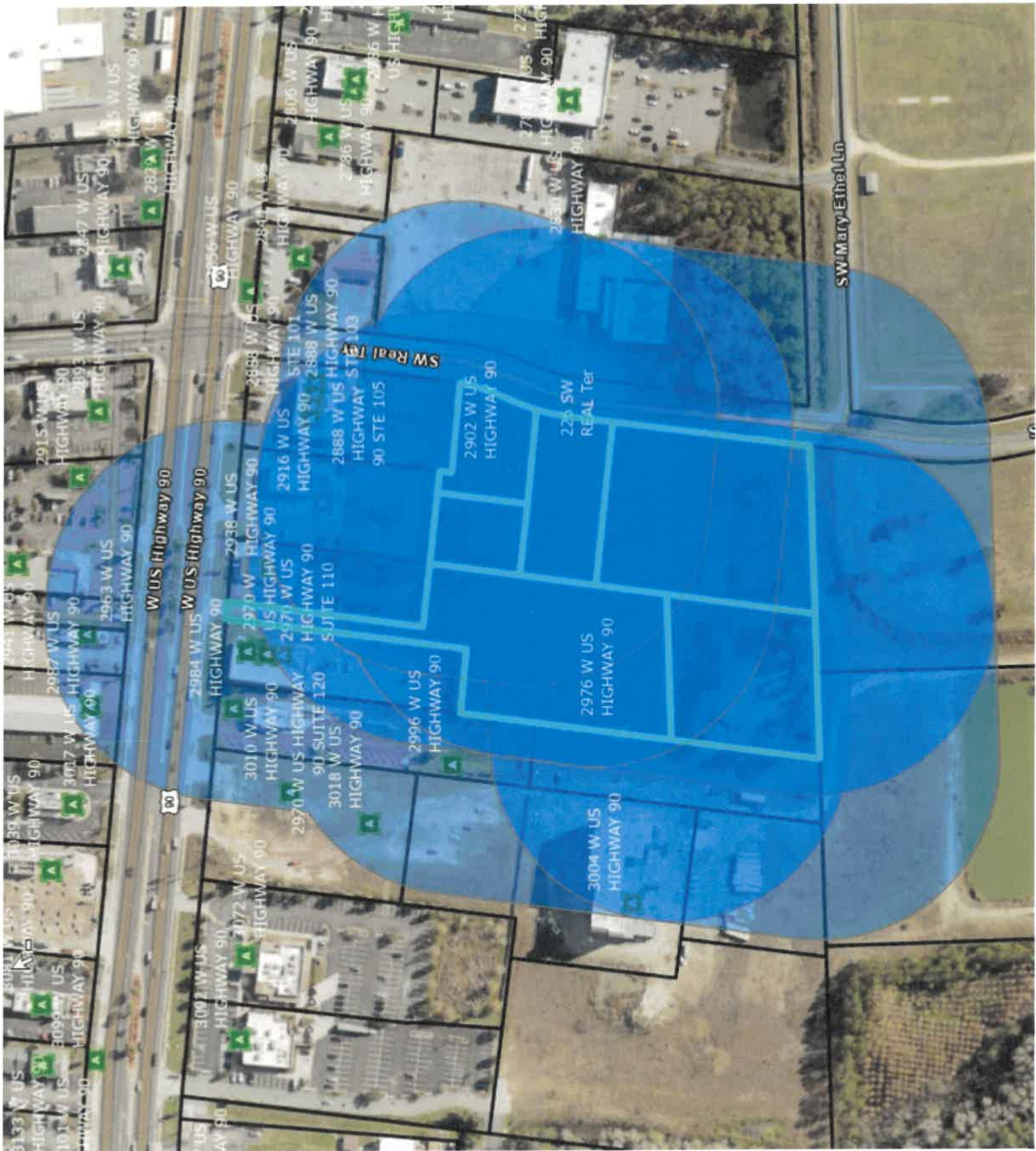
To Whom it May Concern

On January 3, 2024 the Planning and Zoning Board will be having a meeting at 5:30pm at 205 N. Marion. At this meeting we will be hearing a petition submitted by Brandon Stubbs, as agent, Real Terrace LLC., for a site plan review, SPR24-01, for parcels 02579-002, 02579-008, 02579-010, 02579-012, and 02579-013, The site plan is to build a medical facility located within the Commercial Intensive zoning district.

If you have any questions or concerns please call 386-752-2031 ext. 820 or email [growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com).

Robert Angelo

Planning and Zoning Tech  
City of Lake City



Full Address	City	PARCEL ID	ZIPCODE	Addresses to Mail Letter To
2915 W US HIGHWAY 90	LAKE CITY	02585-006	32055	Village Square SC LLC 635 SR 100 Palatka, FL 32177
2941 W US HIGHWAY 90	LAKE CITY	02585-006	32055	Same as parcel 02585-006
2987 W US HIGHWAY 90	LAKE CITY	02585-002	32055	YAS LLC 2987 W US Hwy 90 Lake City, FL 32055
2984 W US HIGHWAY 90	LAKE CITY	02580-000	32055	OM Shanti INC of Lake City 303 SE Beverly St Live Oak, FL 32064
2938 W US HIGHWAY 90	LAKE CITY	02579-000	32055	Cedar River Property LLC 2410 Avenue A Bradenton Beach, FL 34217
3010 W US HIGHWAY 90	LAKE CITY	02581-000	32055	ERA Investments LLC 162 NW Birdie Pl City, FL 32055
2844 W US HIGHWAY 90	LAKE CITY	02579-005	32055	CNB National Bank 2844 W Hwy 90 Lake City, FL 32055
2916 W US HIGHWAY 90	LAKE CITY	02579-007	32055	CFT Developments LLC 1683 Walnut Grove Ave Rosemead, CA 91770
3004 W US HIGHWAY 90	LAKE CITY	02581-001	32055	Oasis Lake City LLC 162 NW Birdie Pl Lake City, FL 32055
3018 W US HIGHWAY 90	LAKE CITY	02581-000	32055	Same as parcel 02581-000
2888 W US HIGHWAY 90 STE 101	LAKE CITY	02579-003	32055	Lake City Center LLC 343 NW Cole Terrace Suite 201 Lake City, FL 32055
2996 W US HIGHWAY 90	LAKE CITY	02580-000	32055	Same as parcel 02580-000
2902 W US HIGHWAY 90	LAKE CITY	02579-012	32055	Proposed site
2830 W US HIGHWAY 90	LAKE CITY	02579-004	32055	30 West Pershing LLC 909 Walnut Street Suite 200 Kansas City, MO 64106
226 SW REAL Ter	LAKE CITY	02579-013	32025	Proposed site
2976 W US HIGHWAY 90	LAKE CITY	02579-006	32055	Proposed site
2963 W US HIGHWAY 90	LAKE CITY	02585-003	32055	Waffle House INC 5986 Financial Drive Norcross, GA 30071
2970 W US HIGHWAY 90	LAKE CITY	02579-011	32055	Smart Growth-Lake City LLC 343 NW Cole Terrace Suite 201 Lake City, FL 32055
2970 W US HIGHWAY 90 SUITE 101	LAKE CITY	02579-011	32055	Same as parcel 02585-003
2970 W US HIGHWAY 90 SUITE 120	LAKE CITY	02579-011	32055	Same as parcel 02585-003
2970 W US HIGHWAY 90 SUITE 110	LAKE CITY	02579-011	32055	Same as parcel 02585-003
2888 W US HIGHWAY 90 STE 103	LAKE CITY	02579-003	32055	Same as Parcel 02579-0003
2888 W US HIGHWAY 90 STE 105	LAKE CITY	02579-003	32055	Same as Parcel 02579-0003
2888 W US HIGHWAY 90	LAKE CITY	02579-003	32055	Same as Parcel 02579-0003

\*Rows highlighted yellow do not need letter sent to.



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 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To Oasis Labs C.A. LLC  
 Street and Apt. No. or PO Box No. 163 N.W. Sunrise Place  
 City, State, ZIP+4® Lake City, FL 32055

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**NON OFFICIAL USE**

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To OMI Shavdi Inc  
 Street and Apt. No. or PO Box No. 20236 Beach St  
 City, State, ZIP+4® Lake City, FL 32064

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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**NON OFFICIAL USE**

Certified Mail Fee \$4.35

Extra Services & Fees (check box, add fee to postage)  
 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

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 Street and Apt. No. or PO Box No. 22800 Hwy 90  
 City, State, ZIP+4® Lake City, FL 32055

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (electronic) \$0.00  
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 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To 30 West Parkway LLC  
 Street and Apt. No. or PO Box No. 4000 Walnut St Suite 200  
 City, State, ZIP+4® Kansas City, MO 64106

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 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

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Sent To Cedar & New Property LLC  
 Street and Apt. No. or PO Box No. 2410 Ave. A  
 City, State, ZIP+4® Brentwood, TN 37020

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 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To E.P.A. Investments LLC  
 Street and Apt. No. or PO Box No. 163 Birch Dr  
 City, State, ZIP+4® Lake City, FL 32055

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 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To Waffle House  
 Street and Apt. No. or PO Box No. 2486 Finance Dr.  
 City, State, ZIP+4® Norcross, GA 30071

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (hardcopy) \$0.00  
 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To Lake City Center LLC  
 Street and Apt. No. or PO Box No. 20236 Beach St  
 City, State, ZIP+4® Lake City, FL 32055

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

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 Return Receipt (electronic) \$0.00  
 Certified Mail Restricted Delivery \$0.00  
 Adult Signature Required \$0.00  
 Adult Signature Restricted Delivery \$0.00

Postage \$0.66

Total Postage and Fees \$8.56

Sent To CET Development LLC  
 Street and Apt. No. or PO Box No. 683 Walnut Grove Ave.  
 City, State, ZIP+4® Roswell, GA 30076

PS Form 3800, April 2015 PSN 7530-02-000-9047 See Reverse for Instructions

**NOTICE OF PUBLIC MEETING  
CITY OF LAKE CITY  
PLANNING AND ZONING BOARD**

**THIS SERVES AS PUBLIC NOTICE** the Planning and Zoning Board will hold a meeting on Wednesday January 3, 2024 at 5:30 PM

**Agenda items-**

1. **SPR 23-15**, Petition submitted by Jennifer Yarbrough and Ron Crump, (agent) for Citadel Holding Company I LLC (owner), for a Site Plan Review for Lake City Self Storage, in the Commercial Intensive Zoning District, and located on parcel 05846-000, which is regulated by the Land Development Regulations section 4.13.
2. **SPR24-01**, Petition submitted by Brandon Stubbs. (agent) for Real Terrace LLC (owner), for a Site Plan Review for Clearsky, in the Commercial Intensive Zoning District, and located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013, which is regulated by the Land Development Regulations section 4.13.
3. **LDR 24-01**, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required.
4. **LDR 24-02**, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of petitioned property.

Meeting Location: City Council Chambers located on the 2nd Floor of City Hall at 205 North Marion Avenue, Lake City, FL 32055.

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

**Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City with respect to any matter considered at its meetings or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

**SPECIAL REQUIREMENTS: Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.**

Robert Angelo  
Planning and Zoning Tech.

## Angelo, Robert

---

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 11:35 AM  
**To:** Angelo, Robert  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Confirmed!

Thank you

### Kym Harrison • 386-754-0401

---

Lake City Reporter • Currents Magazine • HomeSeller Magazine  
1086 SW Main Blvd. Suite 103, Lake City, FL 32025  
Serving Columbia, Suwannee, Hamilton & Lafayette

**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 10:40 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Looks good.

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



*PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from City officials regarding City business are public records available to the public and media upon request. Your email communications may be subject to public disclosure.*

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 10:36 AM  
**To:** Angelo, Robert <AngeloR@lcfla.com>  
**Subject:** 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Good morning,

FYI I only need pdfs attached for Boxed ads. All three attached for approval to print on 12/23 as follows:

Historic Pres: 2x6 \$198

BOA: 2x6 \$198

P&Z: 2x10 \$330

Thank you!

**Kym Harrison • 386-754-0401**

---

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1086 SW Main Blvd. Suite 103, Lake City, FL 32025

Serving Columbia, Suwannee, Hamilton & Lafayette

**From:** Angelo, Robert <[AngeloR@lcfla.com](mailto:AngeloR@lcfla.com)>

**Sent:** Monday, December 18, 2023 8:22 AM

**To:** LCR-Classifieds <[classifieds@lakecityreporter.com](mailto:classifieds@lakecityreporter.com)>

**Subject:** Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Kym

Please publish this ad in the body of the paper as a display ad in the **December 23, 2023** paper.

Thank You

Robert Angelo

City of Lake City

Growth Management

[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

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**File Attachments for Item:**

**iv. LDR 24-01**, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required

# TEXT AMENDMENT LDR 24-01

## AMENDING TEXT IN SECTION 13.11 OF THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF LAKE CITY

LDR 24-01, AN APPLICATION BY DAVE YOUNG TO AMEND THE TEXT SECTION 13.11 OF THE LAND DEVELOPMENT REGULATIONS BY DELETING LAGUAGE IN SECTION 13.11.3 STATING, NO PUBLIC NOTICE AND HEARING IS REQUIRED, FOR A SITE DEVELOPMENT PLAN.

WORDS **BOLDED AND UNDERLINED** HAVE BEEN ADDED  
WORDS ~~**BOLDED AND STRUCK THROUGH**~~ HAVE BEEN DELETED

Twelve (12) sets of data required for site and development plan approval shall be submitted to the Land Development Regulation Administrator not less than fifteen (15) days prior to the public meeting of the Planning and Zoning Board at which the application for site and development plan approval is to be considered together with the payment of such reasonable fees as the City Council may determine through action in setting fees as set out in Article 1 of these land development regulations.

- 13.11.3 Action on Site and Development Plan. The Land Development Regulation Administrator shall forward the application for site and development plan approval along with any comments or criticisms to the Planning and Zoning Board for consideration. The Planning and Zoning Board shall handle such matters in a public session as part of a previously prepared agenda, however, ~~no public notice and hearing is required~~. All matters relating to Planning and Zoning Board consideration of site and development plans shall be a public record and approval, approval with conditions, or denial shall require formal action of the Planning and Zoning Board. A petition for a zoning amendment and an application for site and development plan approval shall not be handled concurrently. Rather, an application for site and development plan approval shall be heard only after the applicant has secured the appropriate zoning on the subject parcel. Appeals from decisions of the Planning and Zoning Board shall be heard as set out in Article 12 of these land development regulations.

In reaching a decision as to whether or not the site and development plan as submitted should be approved with a directive to the Land Development Regulation Administrator to issue building permits, the Planning and Zoning Board shall be guided in its decision to approve, approve with conditions, or to deny by the following standards; the Planning and Zoning Board shall show in its record that each was considered where applicable and it shall make findings in regard to those of the following standards which it finds to be applicable:

1. Sufficiency of statements on ownership and control of the development and sufficiency of conditions of ownership or control, use, and permanent maintenance of common open space, common facilities, or common lands to ensure preservation of such lands and facilities for their intended purpose and to ensure that such common facilities will not become a future liability for the City Council.
2. Density and/or the intended use of the proposed development with particular attention to its relationship to adjacent and nearby properties and effect on those properties and relationship to the Comprehensive Plan.
3. Ingress and egress to the development and proposed structures on the development, with particular reference to automotive and pedestrian safety, minimization of marginal friction with free movement of traffic on adjacent streets, separation of automotive traffic and pedestrian and other traffic, traffic flow and control, provision of services and servicing of utilities and refuse collection, and access in case of fire, catastrophe, or emergency.
4. Location and relationship of offstreet parking and offstreet loading facilities to thoroughfares and internal traffic patterns within the proposed development, with particular reference to automotive and pedestrian safety, traffic flow and control, access in case of fire or catastrophe, and screening and landscape.
5. Sufficiency of proposed screens and buffers to preserve internal and external harmony and compatibility with uses inside and outside the proposed development.
6. Manner of stormwater management on the property, with particular reference to the effect of provisions for stormwater management on adjacent and nearby properties and the consequences of such stormwater management on overall public stormwater management capacities.

7. Adequacy of provision for sanitary sewers, with particular relationship to overall sanitary sewer availability and capacities.
  8. Utilities, with reference to hook-in locations and availability and capacity for the uses projected.
  9. Recreation facilities and open spaces, with attention to the size, location, and development of the areas as to adequacy, effect on privacy of adjacent and nearby properties and uses within the proposed development, and relationship to community open spaces and recreational facilities.
  10. General amenities and convenience, with particular reference to assuring that appearance and general layout of the proposed development will be compatible and harmonious with properties in the general area and will not be in conflict with other development in the area as to cause substantial depreciation of property values.
  11. Such other standards as may be imposed by these land development regulations on the particular use or activity involved.
- 13.11.4 Issuance of Building Permits. Upon the approval of the site and development plan application by the Planning and Zoning Board or its approval with conditions, building permits for the proposed development shall be issued by the Land Development Regulation Administrator. The development shall be built substantially in accordance with the approved site and development plan. If after such approval, should the owner/applicant or his or her successors desire to make any changes in the site and development plan, such changes shall be submitted to the Land Development Regulation Administrator. If the Land Development Regulation Administrator deems there to be a substantial change or deviation from that which is shown on the approved site and development plan, the owner/applicant or his or her successors shall be required to submit the amended site and development plan for approval as set forth in Section 13.11 of these land development regulations. Failure to submit such amended site and development plan for determination by the Land Development Regulation Administrator that a substantial change or deviation is occurring or has occurred, prior to such changes, shall constitute a violation of these land development regulations and shall be punishable as provided in Article 15 of these land development regulations.

#### SECTION 13.12 CONSISTENCY WITH THE COMPREHENSIVE PLAN

These land development regulations are required by law to be in conformance with the Comprehensive Plan. All development in conformance with these land development regulations shall therefore be in conformance with the Comprehensive Plan.

- 13.12.1 Generally. No development may be approved unless the development is found to be in conformance with the Comprehensive Plan and that the provision of certain public facilities will be available at prescribed levels of service concurrent with the impacts of the development on those facilities.
- 13.12.2 Determining Conformance with the Comprehensive Plan. If a development proposal is found to meet all the requirements of these land development regulations, it shall be presumed to be in conformance with the Comprehensive Plan in all respects except for compliance with the concurrency requirement. Any aggrieved or adversely affected party may, however, question the consistency of a development proposal with the Comprehensive Plan. If a question of consistency is raised, the Land Development Regulation Administrator or any of the appointed boards, or the City Council depending on which is responsible for approving the development, shall make a determination of consistency or inconsistency and support that determination with written findings.



**NOTICE OF PUBLIC MEETING  
CITY OF LAKE CITY  
PLANNING AND ZONING BOARD**

**THIS SERVES AS PUBLIC NOTICE** the Planning and Zoning Board will hold a meeting on Wednesday January 3, 2024 at 5:30 PM

**Agenda items-**

1. **SPR 23-15**, Petition submitted by Jennifer Yarbrough and Ron Crump, (agent) for Citadel Holding Company I LLC (owner), for a Site Plan Review for Lake City Self Storage, in the Commercial Intensive Zoning District, and located on parcel 05846-000, which is regulated by the Land Development Regulations section 4.13.
2. **SPR24-01**, Petition submitted by Brandon Stubbs. (agent) for Real Terrace LLC (owner), for a Site Plan Review for Clearsky, in the Commercial Intensive Zoning District, and located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013, which is regulated by the Land Development Regulations section 4.13.
3. **LDR 24-01**, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required.
4. **LDR 24-02**, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of petitioned property.

Meeting Location: City Council Chambers located on the 2nd Floor of City Hall at 205 North Marion Avenue, Lake City, FL 32055.

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

**Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City with respect to any matter considered at its meetings or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

**SPECIAL REQUIREMENTS: Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.**

Robert Angelo  
Planning and Zoning Tech.

## Angelo, Robert

---

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**Sent:** Monday, December 18, 2023 11:35 AM  
**To:** Angelo, Robert  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Confirmed!

Thank you

### Kym Harrison • 386-754-0401

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Looks good.

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



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BOA: 2x6 \$198

P&Z: 2x10 \$330

Thank you!

**Kym Harrison • 386-754-0401**

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Serving Columbia, Suwannee, Hamilton & Lafayette

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**Sent:** Monday, December 18, 2023 8:22 AM

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**Subject:** Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Kym

Please publish this ad in the body of the paper as a display ad in the **December 23, 2023** paper.

Thank You

Robert Angelo

City of Lake City

Growth Management

[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

386-719-5820



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**NOTICE OF PUBLIC HEARINGS CONCERNING AMENDMENTS TO THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS**

BY THE PLANNING AND ZONING BOARD OF THE CITY OF LAKE CITY, FLORIDA, SERVING ALSO AS THE LOCAL PLANNING AGENCY OF THE CITY OF LAKE CITY, FLORIDA, NOTICE IS HEREBY GIVEN that, pursuant to Section 163.3161 through 163.3248, Florida Statutes, as amended, and the City of Lake City Land Development Regulations, as amended, objections, recommendations and comments concerning the amendments, as described below, will be heard by the Planning and Zoning Board of the City of Lake City, Florida, serving also as the Local Planning Agency of the City of Lake City, Florida, at public hearings on January 3, 2024 at 5:30 p.m., or as soon thereafter as the matters can be heard in the City Council Meeting Room, Second Floor, City Hall, located at 205 North Marion Avenue, Lake City, Florida and via communications media technology.

(1) LDR 24-01, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required.

(2) LDR 24-02, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of a petitioned property.

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>.

Those attendees wishing to share a document must email the item to [submissions@lcfla.com](mailto:submissions@lcfla.com) no later than noon on the day of the meeting.

Copies of the amendments are available for public inspection by contacting the Office of Growth Management at [growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com) or by calling 386.719.5746.

At the aforementioned public hearings, all interested parties may appear and be heard with respect to the amendments.

All persons are advised that if they decide to appeal any decision made at the above referenced public hearings, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Persons with disabilities requesting reasonable accommo-

dations to participate in these proceedings should contact the Office of City Manager, 386.719.5768 at least 48 hours prior to the proceedings. If you are hearing or speech impaired, please contact the Florida Relay Service at 800.955.8770 (voice) or 800.955.8771 (TTY).

794444  
December 23, 2023

## Angelo, Robert

---

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 10:01 AM  
**To:** Angelo, Robert  
**Subject:** RE: 794444 RE: Legal ad notice for LDR 24-01 and LDR 24-02

Confirmed!

Thank you

### Kym Harrison • 386-754-0401

---

Lake City Reporter • Currents Magazine • HomeSeller Magazine  
1086 SW Main Blvd. Suite 103, Lake City, FL 32025  
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**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 9:46 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** RE: 794444 RE: Legal ad notice for LDR 24-01 and LDR 24-02

Looks good.

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



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---

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 8:59 AM  
**To:** Angelo, Robert <AngeloR@lcfla.com>  
**Subject:** 794444 RE: Legal ad notice for LDR 24-01 and LDR 24-02

Good morning!

Proof attached for approval by noon tomorrow.

Thank you

**Kym Harrison • 386-754-0401**

Lake City Reporter • Currents Magazine • HomeSeller Magazine  
1086 SW Main Blvd. Suite 103, Lake City, FL 32025  
Serving Columbia, Suwannee, Hamilton & Lafayette

**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 8:25 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** Legal ad notice for LDR 24-01 and LDR 24-02

Kym

Please publish in the legal section of the Lake City Reporter on **December 23, 2023.**

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



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**File Attachments for Item:**

**v. LDR 24-02**, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of a petitioned property.

# TEXT AMENDMENT LDR 24-02

## AMENDING TEXT IN SECTION 12.4 OF THE LAND DEVELOPMENT REGULATIONS OF THE CITY OF LAKE CITY

LDR 24-02, AN APPLICATION BY DAVE YOUNG TO AMEND THE TEXT SECTION 12.4 OF THE LAND DEVELOPMENT REGULATIONS BY ADDING A PROVISION FOR NOTICING PROPERTY OWNERS

WORDS **BOLDED AND UNDERLINED** HAVE BEEN ADDED

WORDS ~~**BOLDED AND STRUCK THROUGH**~~ HAVE BEEN DELETED



## SECTION 12.4 NOTICE OF HEARING

12.4.1 The Land Development Regulation Administrator shall give notice of any public hearing required by Section 12.2 and 12.3 as follows:

1. Any application requiring a public hearing before the Planning and Zoning Board or Board of Adjustment, shall be noticed once in a newspaper of general circulation in the area, with the publication not less than ten (10) days prior to the hearing.
2. A special permit requiring a public hearing before the City Council, shall be noticed twice in a newspaper of general circulation in the area, with the publication not less than ten (10) days prior to the hearing.
3. An amendment to these land development regulations, including the Official Zoning Atlas, requiring a public hearing before the City Council shall be noticed in accordance with the requirements of Chapter 166.041, Florida Statutes, as amended.
4. In addition to the above stated notice requirements all rezoning, special exception and variance public hearings before the Planning and Zoning Board and Board of Adjustment, as applicable, shall also be noticed by prominently posting a sign on the property that is the subject of the proposed action. Such sign shall be posted not less than ten (10) days prior to the public hearing.

The notices required by this Section shall:

- a. State the date, time and place of the public hearing;
- b. Shall reasonably identify the property that is the subject of the application or appeal;
- c. Give a brief description of the action requested or proposed;
- d. State the place where a copy of the proposed action may be inspected by the public; and
- e. Advise that interested parties may appear at the public hearing(s) and be heard regarding the proposed action.
- f. **All property owners within three hundred (300) feet shall be notified by certified mail by the proponent and proof of the receipt of these notices be submitted as part of the application package submittal. The Growth Management Department shall supply the names and addresses of the property owners, the notification letters, and the envelopes to the proponent. The notices shall be sent to all property owners a minimum of ten (10) days prior to the meeting.**

**NOTICE OF PUBLIC MEETING  
CITY OF LAKE CITY  
PLANNING AND ZONING BOARD**

**THIS SERVES AS PUBLIC NOTICE** the Planning and Zoning Board will hold a meeting on Wednesday January 3, 2024 at 5:30 PM

**Agenda items-**

1. **SPR 23-15**, Petition submitted by Jennifer Yarbrough and Ron Crump, (agent) for Citadel Holding Company I LLC (owner), for a Site Plan Review for Lake City Self Storage, in the Commercial Intensive Zoning District, and located on parcel 05846-000, which is regulated by the Land Development Regulations section 4.13.
2. **SPR24-01**, Petition submitted by Brandon Stubbs. (agent) for Real Terrace LLC (owner), for a Site Plan Review for Clearsky, in the Commercial Intensive Zoning District, and located on parcels 02579-002, 02579-006, 02579-008, 02579-010, 02579-012, and 02579-013, which is regulated by the Land Development Regulations section 4.13.
3. **LDR 24-01**, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required.
4. **LDR 24-02**, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of petitioned property.

Meeting Location: City Council Chambers located on the 2nd Floor of City Hall at 205 North Marion Avenue, Lake City, FL 32055.

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

**Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City with respect to any matter considered at its meetings or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.**

**SPECIAL REQUIREMENTS: Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.**

Robert Angelo  
Planning and Zoning Tech.

## Angelo, Robert

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**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 11:35 AM  
**To:** Angelo, Robert  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Confirmed!

Thank you

### Kym Harrison • 386-754-0401

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1086 SW Main Blvd. Suite 103, Lake City, FL 32025  
Serving Columbia, Suwannee, Hamilton & Lafayette

**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 10:40 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** RE: 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Looks good.

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



*PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from City officials regarding City business are public records available to the public and media upon request. Your email communications may be subject to public disclosure.*

**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 10:36 AM  
**To:** Angelo, Robert <AngeloR@lcfla.com>  
**Subject:** 76222 - HPA 76224 P&Z 76224 P&Z RE: Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Good morning,

FYI I only need pdfs attached for Boxed ads. All three attached for approval to print on 12/23 as follows:

Historic Pres: 2x6 \$198

BOA: 2x6 \$198

P&Z: 2x10 \$330

Thank you!

**Kym Harrison • 386-754-0401**

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Lake City Reporter • Currents Magazine • HomeSeller Magazine

1086 SW Main Blvd. Suite 103, Lake City, FL 32025

Serving Columbia, Suwannee, Hamilton & Lafayette

**From:** Angelo, Robert <AngeloR@lcfla.com>

**Sent:** Monday, December 18, 2023 8:22 AM

**To:** LCR-Classifieds <classifieds@lakecityreporter.com>

**Subject:** Non-legal Ad Notices for Planning and Zoning, Board of Adjustments, and Historic Preservation Agency meetings for 01-03-2024

Kym

Please publish this ad in the body of the paper as a display ad in the **December 23, 2023** paper.

Thank You

Robert Angelo

City of Lake City

Growth Management

[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

386-719-5820



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**NOTICE OF PUBLIC HEARINGS CONCERNING AMENDMENTS TO THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS**

BY THE PLANNING AND ZONING BOARD OF THE CITY OF LAKE CITY, FLORIDA, SERVING ALSO AS THE LOCAL PLANNING AGENCY OF THE CITY OF LAKE CITY, FLORIDA, NOTICE IS HEREBY GIVEN that, pursuant to Section 163.3161 through 163.3248, Florida Statutes, as amended, and the City of Lake City Land Development Regulations, as amended, objections, recommendations and comments concerning the amendments, as described below, will be heard by the Planning and Zoning Board of the City of Lake City, Florida, serving also as the Local Planning Agency of the City of Lake City, Florida, at public hearings on January 3, 2024 at 5:30 p.m., or as soon thereafter as the matters can be heard in the City Council Meeting Room, Second Floor, City Hall, located at 205 North Marion Avenue, Lake City, Florida and via communications media technology.

(1) LDR 24-01, Text amendment to the Land Development Regulations Section 13.11.3, to amend the text by deleting the language stating, no public notice and hearing required.

(2) LDR 24-02, Text amendment to the Land Development Regulations Section 12.4.1 to amend the text by adding a provision for noticing property owners within three hundred (300) feet of a petitioned property.

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>.

Those attendees wishing to share a document must email the item to [submissions@lcfla.com](mailto:submissions@lcfla.com) no later than noon on the day of the meeting.

Copies of the amendments are available for public inspection by contacting the Office of Growth Management at [growth-management@lcfla.com](mailto:growth-management@lcfla.com) or by calling 386.719.5746.

At the aforementioned public hearings, all interested parties may appear and be heard with respect to the amendments.

All persons are advised that if they decide to appeal any decision made at the above referenced public hearings, they will need a record of the proceedings, and that, for such purpose, they may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Persons with disabilities requesting reasonable accommo-

dations to participate in these proceedings should contact the Office of City Manager, 386.719.5768 at least 48 hours prior to the proceedings. If you are hearing or speech impaired, please contact the Florida Relay Service at 800.955.8770 (voice) or 800.955.8771 (TTY).

794444  
December 23, 2023

## Angelo, Robert

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**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 10:01 AM  
**To:** Angelo, Robert  
**Subject:** RE: 794444 RE: Legal ad notice for LDR 24-01 and LDR 24-02

Confirmed!

Thank you

### Kym Harrison • 386-754-0401

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**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 9:46 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** RE: 794444 RE: Legal ad notice for LDR 24-01 and LDR 24-02

Looks good.

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



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**From:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Sent:** Monday, December 18, 2023 8:59 AM  
**To:** Angelo, Robert <AngeloR@lcfla.com>  
**Subject:** 794444 RE: Legal ad notice for LDR 24-01 and LDR 24-02

Good morning!

Proof attached for approval by noon tomorrow.

Thank you

**Kym Harrison • 386-754-0401**

Lake City Reporter • Currents Magazine • HomeSeller Magazine  
1086 SW Main Blvd. Suite 103, Lake City, FL 32025  
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**From:** Angelo, Robert <AngeloR@lcfla.com>  
**Sent:** Monday, December 18, 2023 8:25 AM  
**To:** LCR-Classifieds <classifieds@lakecityreporter.com>  
**Subject:** Legal ad notice for LDR 24-01 and LDR 24-02

Kym

Please publish in the legal section of the Lake City Reporter on **December 23, 2023.**

Thank You  
Robert Angelo  
City of Lake City  
Growth Management  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)  
386-719-5820



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