

# PLANNING AND ZONING BOARD MEETING

## CITY OF LAKE CITY

July 08, 2025 at 5:30 PM

Venue: City Hall

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## AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

### INVOCATION

### ROLL CALL

### MINUTES

- [i.](#) Meeting Minutes 06-10-2025

### OLD BUSINESS- None

### NEW BUSINESS

- [ii.](#) **SPR 25-06**- Petitions submitted by Carol Chadwick, PE (agent) for TJL Associates, LLC (owner), for a Site Plan Review for Envy Elite, in the Commercial Intensive Zoning District, and located on parcel 02703-014, which is regulated by the Land Development Regulations section 4.13.
- [iii.](#) **CPA 25-04**, an application by Carol Chadwick, PE, as agent Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Future Land Use Plan Map of the Comprehensive Plan by changing the future land use classification from RESIDENTIAL MEDIUM to INDUSTRIAL on land located on parcels 02703-004 and 02703-012.
- [iv.](#) **Z 25-06**, an application by Carol Chadwick, PE, as agent for Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Official Zoning Atlas of the Land Development Regulations by changing the zoning district from RESIDENTIAL MOBILE HOME 3 (RMH-3) to INDUSTRIAL LIGHT WAREHOUSE (ILW) on property located on parcels 02703-004 and 02703-012.
- [v.](#) **M 25-01**, an application by the City of Lake City Council for a moratorium on the acceptance and consideration of applications for mobile home and manufactured home land use actions or permits.



## **WORKSHOP**

- vi. Administrative Approval Process-** Discussion on the administrative approval process text amendment for the City of Lake City Land Development Regulations.
- vii. Building Height Text Amendment-** Discussion on the building heights text amendment for the City of Lake City Land Development Regulations.

## **ADJOURNMENT**

### **YouTube Channel Information**

Members of the public may also view the meeting on our YouTube channel at:  
<https://youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.



**File Attachments for Item:**

i. Meeting Minutes 06-10-2025



# PLANNING AND ZONING

## MEETING MINUTES

**DATE:** 06/10/2025

### **ROLL CALL:**

Mrs. Wilson- Not Present	Mrs. Douglas- Present	Mrs. Johnson-Present
Mr. Lydick- Present	Mr. Carlucci- Present	Mrs. Adams- Not Present
Mrs. McKellum- Present	City Attorney- Clay Martin- Present	

**MINUTES:** May 13, 2025, Planning and Zoning Meeting

**Comments or Revisions:** None

**Motion to approve 05/13/2025 Meeting Minutes by Mrs. Douglas and seconded by Mr. Carlucci**

**Ex Parte Communications-** None

**OLD BUSINESS:** None

### **NEW BUSINESS:**

**Petition # SPR 25-02 Presented By:**

**As owner or agent and gives address of:** 5601 Mariner St, Tampa FL

**Petitioner is Sworn in by:** Mr. Martin **Staff is Sworn in by:** Mr. Martin

**Mr. Martin read resolution 2025-PZ-SPR 25-02 by title into the record.**

### **Discussion:**

Robert introduced SPR 25-02. Robert moved the staff presentation and staff report into the record. Mahesh Pokhrel introduced petition SPR 25-02. Mahesh Pokhrel presented petition SPR 25-02.

**Exhibits introduced:** Power point presentation. Exhibit A, Site Plan dated May 28, 2025.

**Public Comment:** None

**Mr. Lydick closed public comment**

### **Board Discussion:**

Mr. Lydick asked about the landscape buffer on the rear of the building. Mr. Pokhrel introduced Exhibit A, Site Plan showing rear buffer. Robert clarified that the landscape buffer was on the site plan that was submitted as Exhibit A. Mr. Martin asked Robert to verify the date on the plans. Robert stated that they were dated May 28, 2025. Mr. Martin directed the board that their decision needs to be based on evidence by sworn witnesses in addition the application may be approved if it meets the criteria Article 13.11.3 of the Land Development Regulations.

**Motion to conditionally approve, according to the plans submitted as exhibit A and dated May 28, 2025, SPR 25-02 by resolution as stated by Mr. Martin, by: Mr. Carlucci Motion Seconded By: Mrs. Douglas.**

**Mrs. McKellum:** Yes    **Mr. Carlucci:** Yes    **Mrs. Douglass:** Yes    **Mrs. Wilson:** Absent



# PLANNING AND ZONING

## MEETING MINUTES

**Mrs. Johnson:** Yes      **Mrs. Adams:** Absent      **Mr. Lydick:** Yes

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**Petition # SPR 2505 Presented By:** Lance Jones

**As owner or agent and gives address of:** 855 SW Baya Dr, Lake City, FL

**Petitioner is Sworn in by:** Mr. Martin **Staff is Sworn in by:** Mr. Martin

**Mr. Martin read resolution 2025-PZ SPR 25-05 by title into the record.**

### **Discussion:**

Robert introduced SPR 25-05. Robert moved the staff presentation and staff report into the record. Lance presented SPR 25-05. Lance moved the packet into the record.

**Exhibits introduced:** Power point presentation.

**Public Comment:** None

**Mr. closed public comment**

### **Board Discussion:**

No board discussion of the petition. Mr. Martin directed the board that their decision needs to be based on evidence by sworn witnesses in addition the application may be approved if it meets the criteria Article 13.11.3 of the Land Development Regulations.

**Motion to approve SPR 25-05 by resolution as stated by Mr. Martin, by: Mrs. McKellum Motion**

**Seconded By:** Mrs. Johnson

**Mrs. McKellum:** Yes      **Mr. Carlucci:** Yes      **Mrs. Douglass:** Yes      **Mrs. Wilson:** Absent

**Mrs. Johnson:** Yes      **Mrs. Adams:** Absent      **Mr. Lydick:** Yes

**WORKSHOP:** None

### **ADJOURNMENT**

**Mr. Lydick closed the meeting.**

**Motion to Adjourn by:** Mrs. Johnson

**Time:** 5:59 pm

**Motion Seconded By:** Mr. Carlucci

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**Mr. Lydick, Board Chairperson**

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**Date Approved**

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**Robert Angelo, Secretary**

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**Date Approved**



# **EXHIBIT “A” UPDATED SITE PLAN FOR AUTOZONE**



7





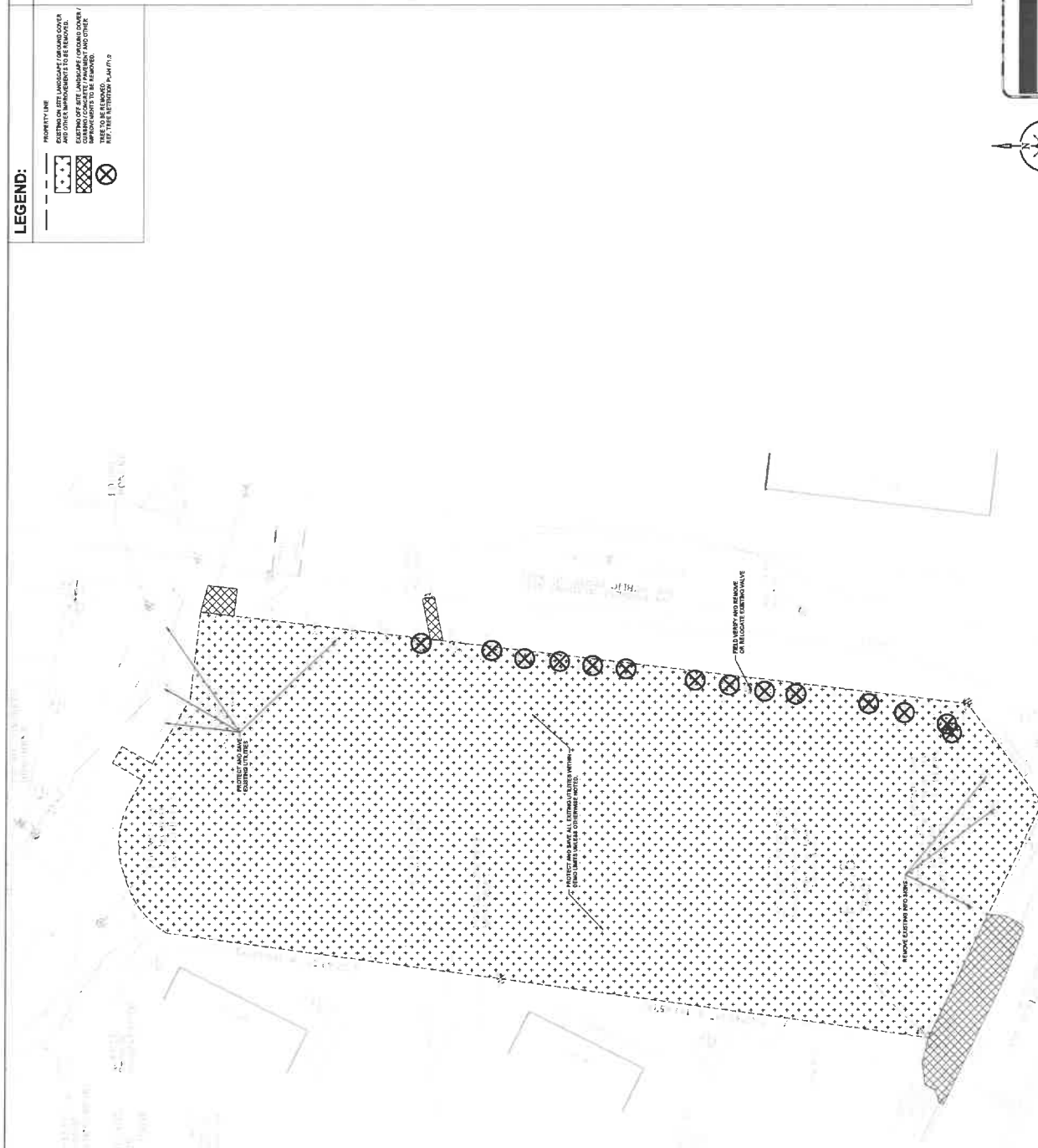


AutoZone Store No. FL10562  
NWC OF US-90 W &  
NW FOREST MEADOWS AVE,  
LAKE CITY, FLORIDA 32055  
GENERAL NOTES SHEET

Matthew S. D'Angelo, Esq., State of Florida, Professional Engineer, No. 12545, has been digitally signed and sealed by Matthew S. D'Angelo on the date indicated here. Printed on the same page as this document is a computer-generated digital signature and the signature must be verified on any document upon which this signature is used.

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**LEGEND:**

- | PROPERTY LINE | EXISTING ON SITE LANDSCAPE / GROUND COVER AND OTHER IMPROVEMENTS TO BE REMOVED. | EXISTING OFF SITE LANDSCAPE / GROUND COVER / CURBING / CONCRET / PAVEMENT AND OTHER IMPROVEMENTS TO BE REMOVED. | THINGS TO BE RELOCATED | NEW, TREE RETENTION P-44, P-2 |
|---------------|---|---|------------------------|-------------------------------|
|               |   |   |                        |                               |

**DEMOLITION NOTES:**

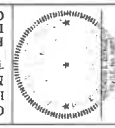
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REVISIONS	4	5	6
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Autozone Store No. FL10562  
NWC OF US-90 W &  
NW FOREST MEADOWS AVE,  
LAKE CITY, FLORIDA 32055  
DEMOLITION PLAN

Owner / Developer: AUTOZONE STORES LLC  
23 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
TEL: (901) 495-8709 FAX: (901) 495-8969  
For Bidding and Contractor Information Contact:  
Rodge Data & Analytics, Tel. 413-930-4215  
rudy.scarcy@construction.com



5/28/2025	7N2	<b>DO.1</b>
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**Graphic Scale in Feet**

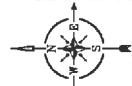
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**CPI, Inc.**

5001 Markham Street, Suite 100 Tampa, FL 33609  
PH: 813.287.0233

Eng. CDA, Inc. 11215 Peach Lake Road, #200  
P.O. Box 1000, #200, #200, #200, #200  
P.O. Box 1000, #200, #200, #200, #200

**Sunshine 811.com**



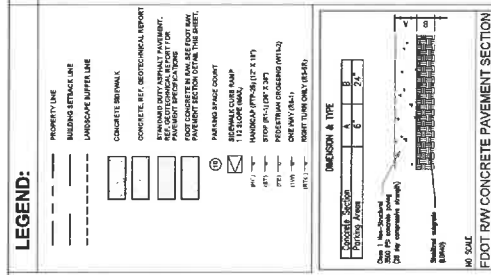
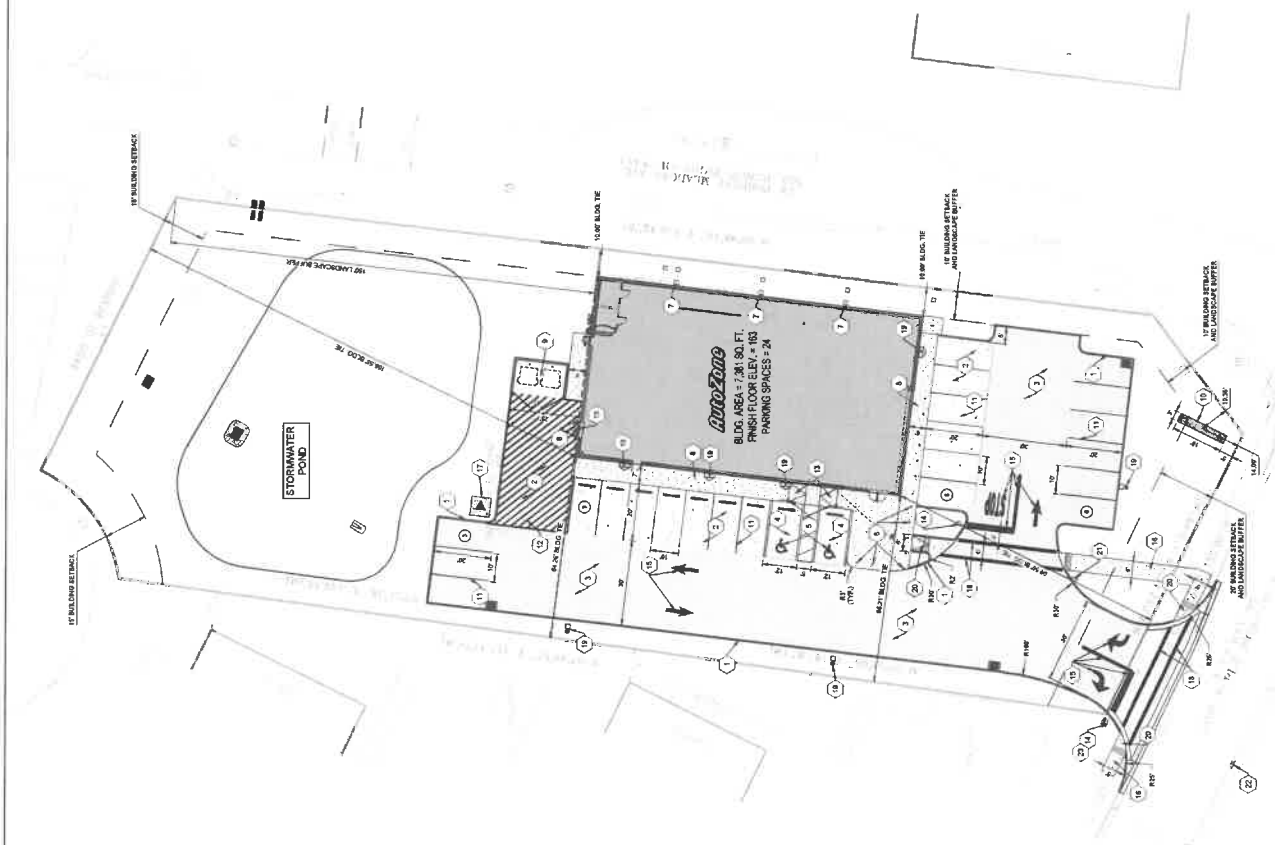












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### SITE DATA INFORMATION:

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PARKING PROVIDED = 24 (INC. 2 ADA SPACES)  
(7,381 / 300 SPT) = 22 SPACES

<p> <b>BUILDING AREA</b>  <b>7.341 S.F.</b> </p>	<p> <b>MAXIMUM BUILDING HEIGHT</b>  <b>40'</b> </p>	<p> <b>MAXIMUM SURFACE PAVEMENT</b>  <b>0.66</b> </p>
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
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**Epom**  
5401 Marquette Street, Suite 115 Tampa, FL  
PA: 813.288.1323  
Reg. C.O.B. No. 2715 Arch. Lic. No. 13

THE UNIVERSITY OF CHICAGO PRESS  
530 N. Dearborn St., Chicago, IL 60610  
Tel: 773.936.7000 Fax: 773.936.7001  
www.press.uchicago.edu

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**Owner / Developer:** AUTOZONE STORES LLC  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
TEL: 901-495-8709 FAX: 495-8969  
For Bidding & Contractor Information Contact:  
Dodge Data & Analytics, Tel. 413-930-4215  
Cindy.Scary@aconstruction.com

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**Graphic Scale in Feet**

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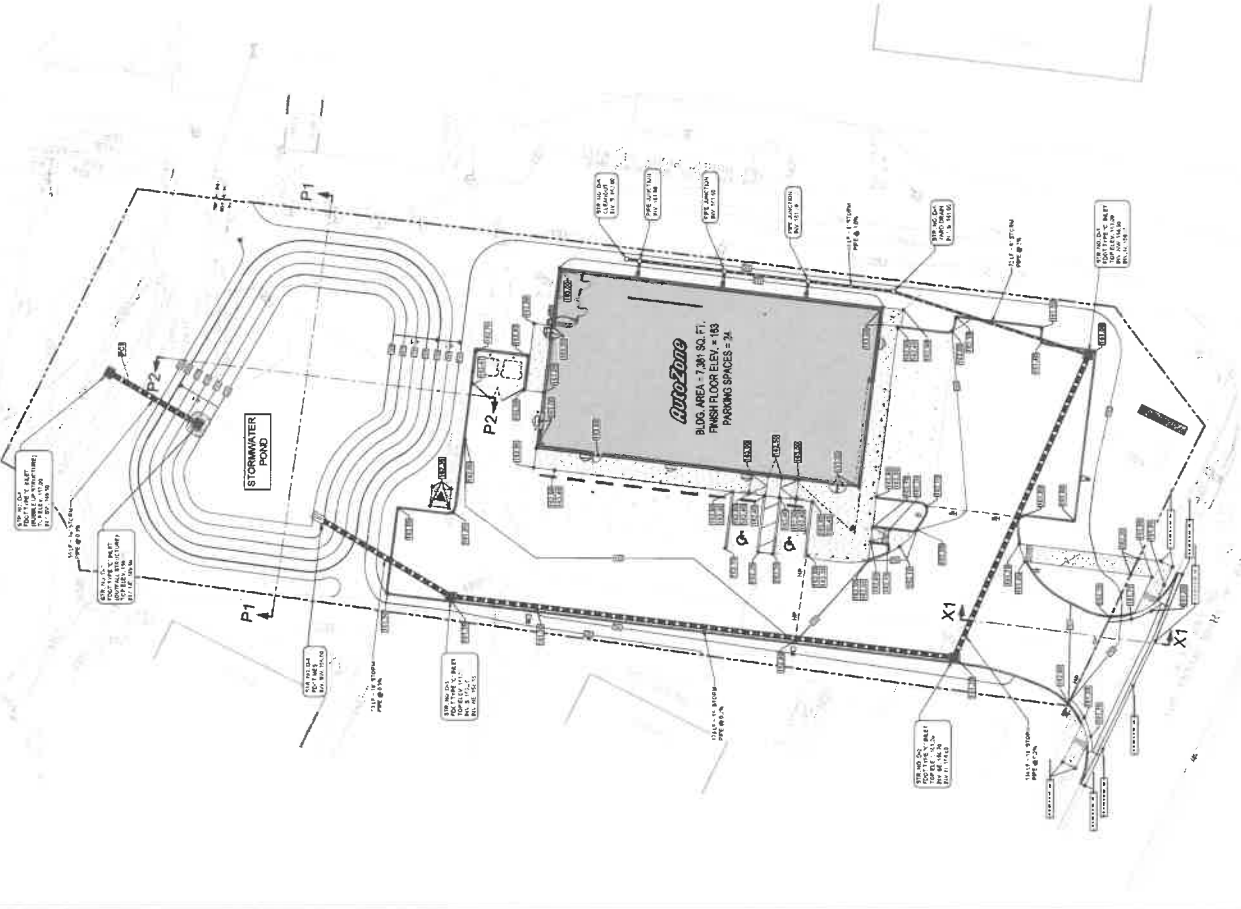
Buy C.O.S. No. 2715 Arch. L.C. No. 44  
New York L.C. No. 7143 Louisville, L.C. No. 1

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www.eph.com



**www.sph.com**





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5/28/2025



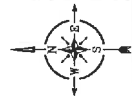
Owner / Developer: AUTOTZONE STORES LLC  
123 South Front Street, 3rd Floor  
Memphis, Tennessee 38103  
TEL: 901-495-8709 FAX: (901) 495-8969  
For Bidding & Contractor Information Contact:  
Dodge Data & Analytics, Tel. 413-930-4215  
cindy.searby@construction.com

## GRADING CROSS SECTIONS

Autozone Store No. FL10562  
NWC OF US-90 W &  
NW FOREST MEADOWS AVE,  
LAKE CITY, FLORIDA 32055

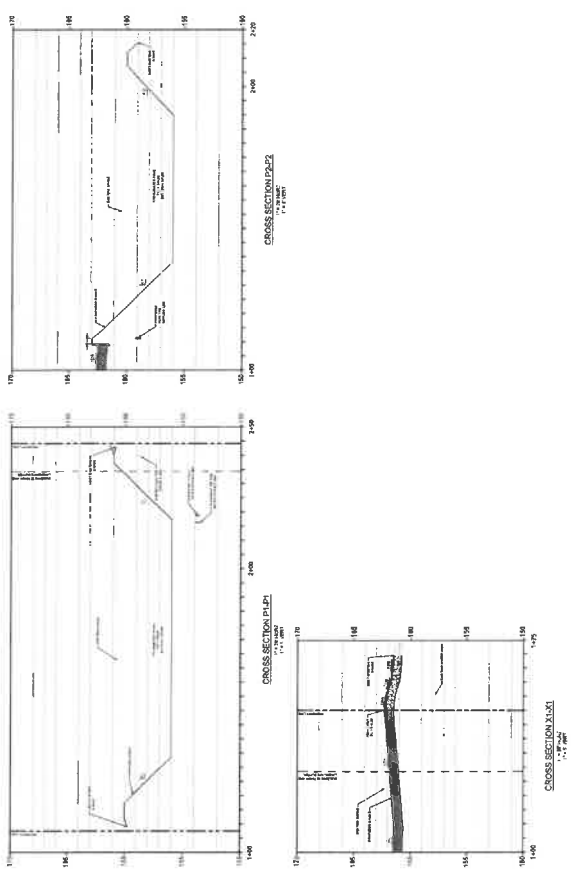
REVISIONS		
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1441 Mariner Blvd, Suite 545 Tampa, FL 33608  
PH: 813-833-3233

Byrs, C.O.B. Inc. 3215 Arch. Lbr. Bldg. Ad 34444026  
Burvy Lbr. No. 7342 Landsg. Lbr. No. LC 34442546



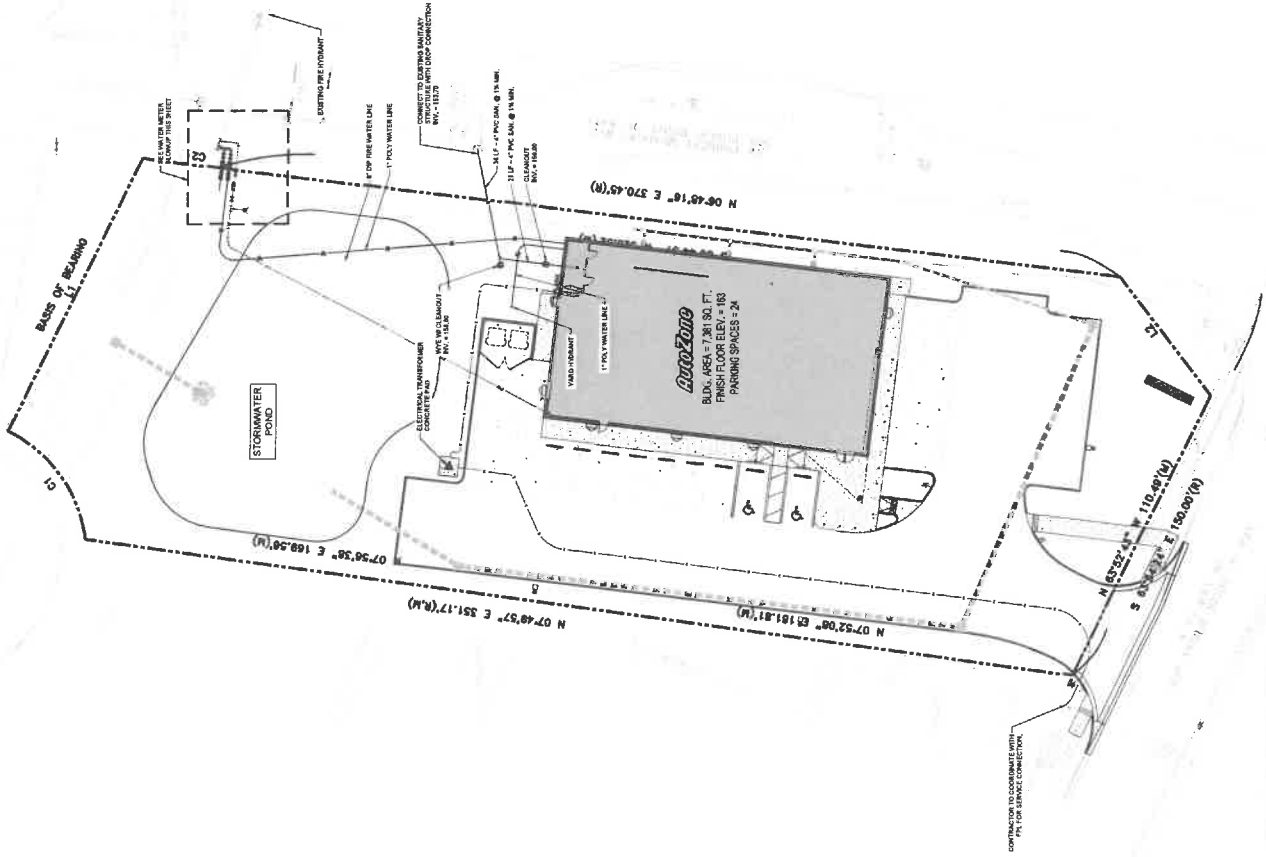
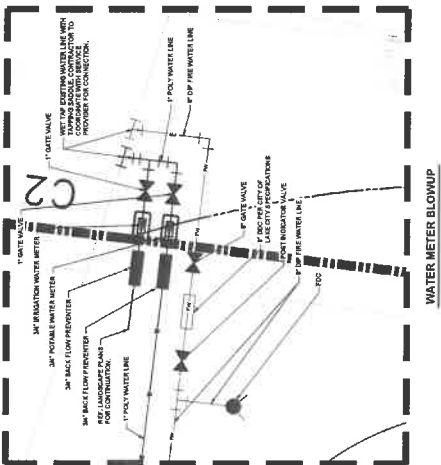


Autozone Store No. FL10562  
NWC OF US-90 W &  
NW FOREST MEADOWS AVE,  
LAKE CITY, FLORIDA 32055

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REVISIONS			

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## GENERAL UTILITY NOTES

[illegible][illegible]

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5/28/2025

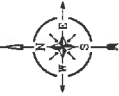


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TEL: 901-495-8709 FAX: (901) 495-8969  
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Dodge Data & Analytics, Tel. 413-930-4215  
Cindy.searcy@construction.com

Autozone Store No. FL10562  
NWC OF US-90 W &  
NW FOREST MEADOWS AVE,  
LAKE CITY, FLORIDA 32055  
TRUCK TURN EXHIBIT

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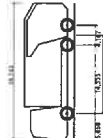


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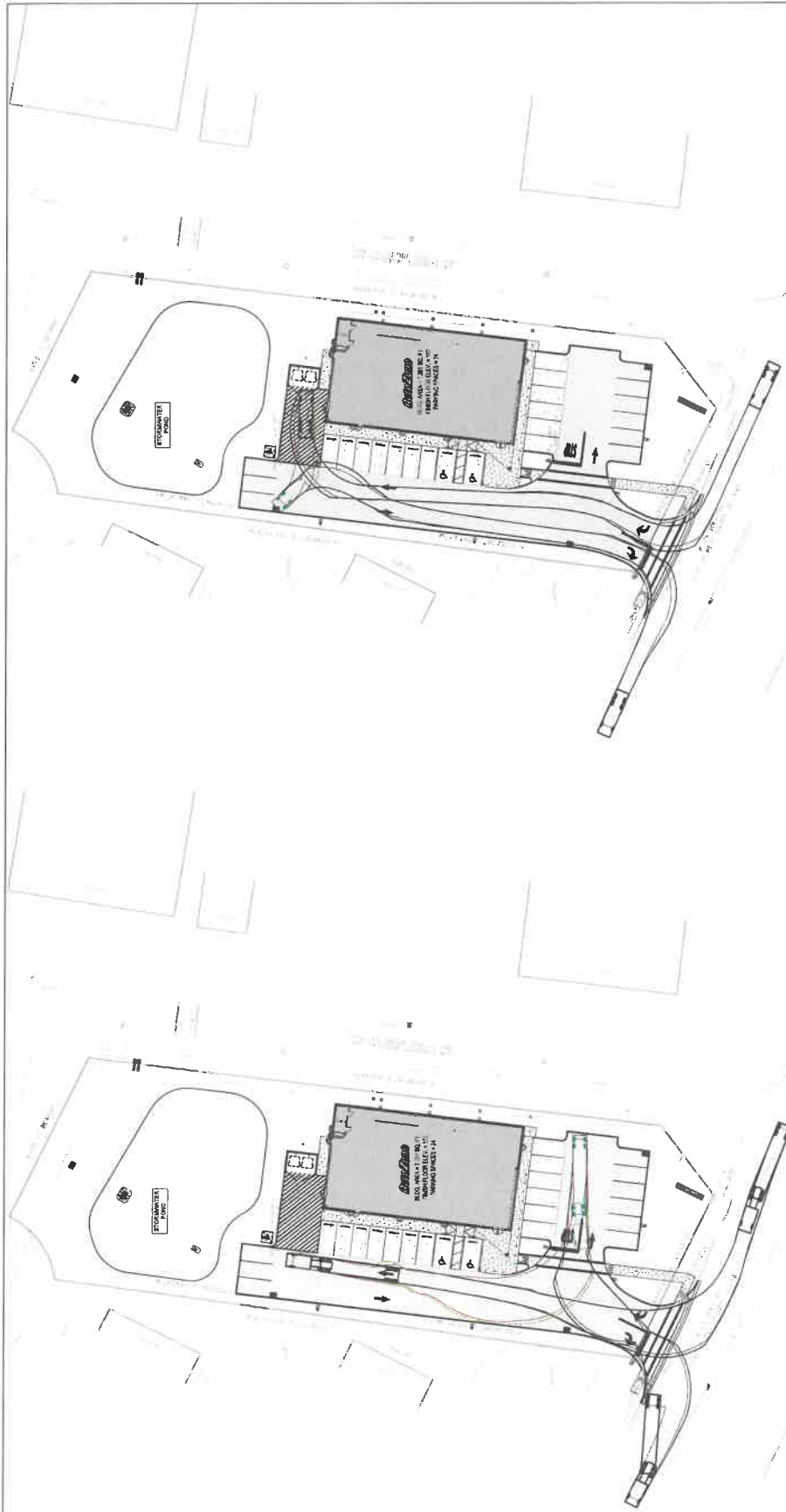
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100, Suite 116 Tampa, FL 33609



REFUSE TRUCK TURN EXHIBIT

Black TerraPro Low Entry 8x4 LEU 613 + Wayne Phoenix III 25yd

Overall Length	28.742ft
Overall Width	8.000ft
Overall Body Height	10.481ft
Min Body Ground Clearance	1.311ft
Track Width	8.000ft
Lock-to-lock time	6.00s
Curb to Curb Turning Radius	34.000ft



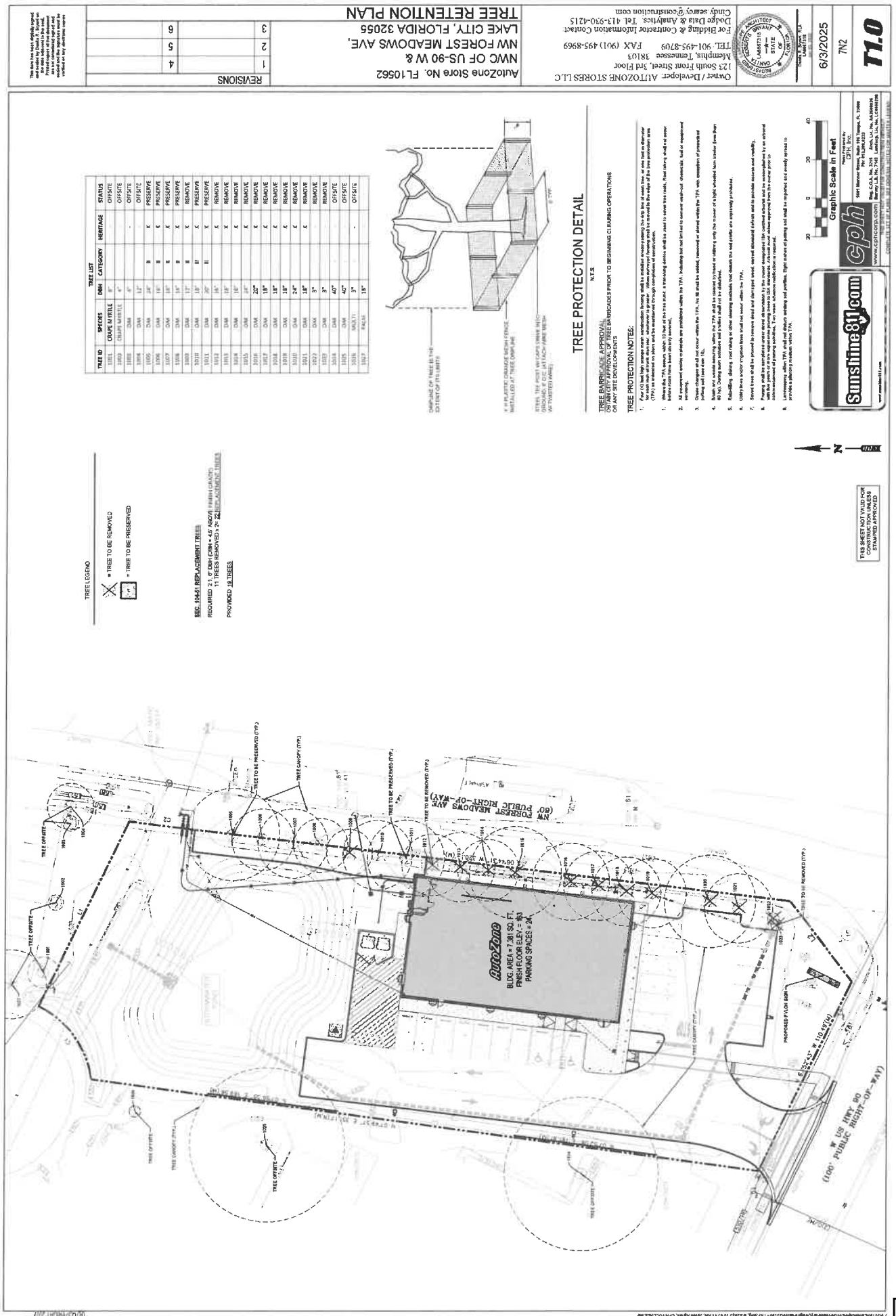
WB-42 TRUCK TURN EXHIBIT

WB-62 - Interstate Semi-Trailer	69,000ft
Overall Length	8,500ft
Overall Width	13,500ft
Overall Body Height	1,334ft
Min Body Ground Clearance	8,500ft
Max Track Width	6.0m
Lock-to-lock time	44,800ft
Curb to Curb Turning Radius	































**File Attachments for Item:**

**ii. SPR 25-06-** Petitions submitted by Carol Chadwick, PE (agent) for TJL Associates, LLC (owner), for a Site Plan Review for Envy Elite, in the Commercial Intensive Zoning District, and located on parcel 02703-014, which is regulated by the Land Development Regulations section 4.13.





## GROWTH MANAGEMENT

205 North Marion Ave.  
Lake City, FL 32055  
Telephone: (386)719-5750  
E-Mail:  
growthmanagement@lcfla.com

## FOR PLANNING USE ONLY

Application # \_\_\_\_\_  
Application Fee \$200.00  
Receipt No. \_\_\_\_\_  
Filing Date \_\_\_\_\_  
Completeness Date \_\_\_\_\_

# Site Plan Application

## A. PROJECT INFORMATION

1. Project Name: ENVY ELITE
2. Address of Subject Property: TBD, LAKE CITY, FL 32025
3. Parcel ID Number(s): 01-4S-16-02703-014
4. Future Land Use Map Designation: RESIDENTIAL-MEDIUM
5. Zoning Designation: RMH-3
6. Acreage: 1.21
7. Existing Use of Property: VACANT
8. Proposed use of Property: PRIVATE CLUB
9. Type of Development (Check All That Apply):
  - ☒ Increase of floor area to an existing structure: Total increase of square footage 9720
  - ☐ New construction: Total square footage \_\_\_\_\_
  - ☐ Relocation of an existing structure: Total square footage \_\_\_\_\_

## B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): CAROL CHADWICK, PE Title: CIVIL ENGINEER  
Company name (if applicable): \_\_\_\_\_  
Mailing Address: 1208 SW FAIRFAX GLEN  
City: LAKE CITY State: FL Zip: 32025  
Telephone: (307) 680.1772 Fax: ( ) Email: ccpewyo@gmail.com

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*.  
Property Owner Name (title holder): TJL ASSOCIATES, LLC  
Mailing Address: 176 SW WILSHIRE DRIVE  
City: LAKE CITY State: FL Zip: 32024  
Telephone: (386) 752.2336 Fax: ( ) Email: apiredenallc@gmail.com

4. Mortgage or Lender Information: ☐ Yes ☒ No

Name of Mortgage or Lender: \_\_\_\_\_

Contact Name: \_\_\_\_\_ Telephone Number: \_\_\_\_\_

E-Mail Address: \_\_\_\_\_

*If property has a mortgage or lender, the mortgage or lender shall be required to provide a release for this application to proceed.*

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**



### C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: NA  
If yes, is the contract/option contingent or absolute:    ☐ Contingent    ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☐ Yes    ☒ No
3. Future Land Use Map Amendment:    ☐ Yes    ☒ No  
Future Land Use Map Amendment Application No. \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes    ☒ No  
Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance: ☐ Yes    ☒ No  
Variance Application No. \_\_\_\_\_  
Special Exception:    ☐ Yes    ☒ No  
Special Exception Application No. \_\_\_\_\_

### D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. **Vicinity Map** – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. **Site Plan** – Including, but not limited to the following:
  - a. Name, location, owner, and designer of the proposed development.
  - b. Present zoning for subject site.
  - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
  - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
  - e. Area and dimensions of site (Survey).
  - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
  - g. Access to utilities and points of utility hook-up.
  - h. Location and dimensions of all existing and proposed parking areas and loading areas.
  - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
  - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
  - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
  - l. Location of trash receptacles.
  - m. For multiple-family, hotel, motel, and mobile home park site plans:
    - i. Tabulation of gross acreage.
    - ii. Tabulation of density.
    - iii. Number of dwelling units proposed.
    - iv. Location and percent of total open space and recreation areas.
    - v. Percent of lot covered by buildings.



- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).

3. **Stormwater Management Plan**—Including the following:

- a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
- b. Proposed finished elevation of each building site and first floor level.
- c. Existing and proposed stormwater management facilities with size and grades.
- d. Proposed orderly disposal of surface water runoff.
- e. Centerline elevations along adjacent streets.
- f. Water management district surface water management permit.

4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.

5. **Mobility Plan:** Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.

6. **Concurrency Impact Analysis:** Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.

7. **Comprehensive Plan Consistency Analysis:** An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).

8. **Legal Description with Tax Parcel Number** (In Word Format).

9. **Proof of Ownership** (i.e. deed).

10. **Agent Authorization Form** (signed and notarized).

11. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector’s

City of Lake City – Growth Management Department  
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750



Office).

12. **Fee:** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid
13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.  
The Growth Management Department shall supply the name and addresses of the property owners, The notification letters, and the envelopes to the proponent.

**ACKNOWLEDGEMENT, SIGNATURES, AND NOTARY ON FOLLOWING PAGE**



## NOTICE TO APPLICANT

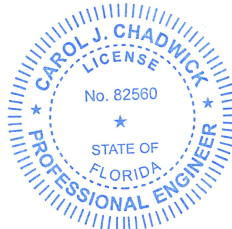
All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

\_\_\_\_\_  
Applicant/Agent Name (Type or Print)



\_\_\_\_\_  
Applicant/Agent Signature

Digitally signed by Carol Chadwick  
DN: c=US, o=Florida,  
dnQualifier=A01410D00000  
18D463B4E7500032FEE,  
cn=Carol Chadwick  
Date: 2025.04.07 14:10:37  
-04'00'

\_\_\_\_\_  
Date

\_\_\_\_\_  
Applicant/Agent Name (Type or Print)

\_\_\_\_\_  
Applicant/Agent Signature

\_\_\_\_\_  
Date

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

\_\_\_\_\_  
Signature of Notary

\_\_\_\_\_  
Printed Name of Notary

Personally, Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_ OR verified on-line virtually \_\_\_\_\_  
Type of Identification Produced



SITE PLAN

ENVY ELITE

SECTION 01, TOWNSHIP 04 SOUTH, RANGE 16 EAST  
LAKE CITY, COLUMBIA COUNTY, FLORIDA

DEVELOPMENT INFORMATION			
NEW BUILDING FOR A PRIVATE CLUB			
PARCEL NUMBER	01-45-16-02703-014		
ZONING	RMH-3		
LAND USE	RESIDENTIAL-MEDIUM		
ADDRESS	TBD, LAKE CITY, FL 32025		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	52558	1.21	100
ON-SITE DISTURBANCE AREA	21252	0.49	40
OFF-SITE DISTURBANCE AREA	0	0.00	-
TOTAL DISTURBANCE AREA	21252	0.49	40
EXISTING IMPERVIOUS AREA			
ASPHALT PARKING & DRIVEWAYS	4974	0.11	9
TOTAL EX. IMPERVIOUS AREA	4974	0.11	9
PROPOSED IMPERVIOUS AREA (INCLUDING FUTURE EXPANSIONS)			
BUILDING	9720	0.22	18
ASPHALT PARKING & DRIVEWAYS	8747	0.20	17
CONCRETE	972	0.02	2
TOTAL PROP. IMPERVIOUS AREA	19439	0.45	37
TOTAL IMPERVIOUS AREA			
TOTAL IMPERVIOUS AREA	24413	0.56	46
LANDSCAPING			
REQUIRED	PER CITY OF LAKE CITY L.D.R. 4.2.15.10 LANDSCAPING: 10% OF OFF-STREET PARKING (8747 SF) 1 TREE PER 200 SF OF LANDSCAPING 875 S.F. LANDSCAPING & 4 TREES		
PROPOSED AREA	27,337 SF & 4 TREES		
PARKING			
REQUIRED SPACES	PER CITY OF LAKE CITY L.D.R. 4.2.15.16 1 PARKING SPACE PER 5 MEMBERS (75 MEMBERS WITH EXPANSION) -> 15 SPACES		
PROPOSED SPACES	15 INCLUDING 1 HANDICAP SPACE		



LOCATION MAP  
NOT TO SCALE

NOTES

1. SITE PARCEL: 01-45-16-02703-014
2. FUTURE LAND USE: RESIDENTIAL-MEDIUM
3. ZONING: RMH-3
4. SITE ADDRESS: TBD, LAKE CITY, FL 32025

OWNER:  
TJL ASSOCIATES, LLC  
176 SW WILSHITE DRIVE  
LAKE CITY, FL 32024  
386.623.0564  
todd.lusser@gmail.com  
Contact: TODD LUSSIER

CIVIL ENGINEER:  
CAROL CHADWICK, P.E.  
1208 S.W. FAIRFAX GLEN  
LAKE CITY, FL 32025  
307.680.1772  
ccpewyo@gmail.com

SURVEYOR:  
BRITT SURVEYING & MAPPING, LLC  
1438 SW MAIN BOULEVARD  
LAKE CITY, FL 32025  
386.752.7163  
lsbritt@msn.com

SHEET INDEX

- |   |                         |
|---|-------------------------|
| 1 | COVER SHEET             |
| 2 | NOTES, LEGEND & DETAILS |
| 3 | SITE PLAN               |

CAROL CHADWICK, P.E.  
Professional Engineer  
No. 15886  
State of FLORIDA  
Exp. 12/31/2025

REVIEWED FOR:  
TJL ASSOCIATES, LLC  
176 SW WILSHITE DRIVE  
LAKE CITY, FL 32024  
todd.lusser@gmail.com  
Contact: TODD LUSSIER

ENVY ELITE  
COVER SHEET

DATE: APR 5, 2025  
DESIGNED BY: [blank]  
CHECKED BY: [blank]  
SCALE: 1" = 3'

Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
ou=Chadwick-001410,  
email=D000018040384E  
700023@FL,  
cn=Carol Chadwick  
Date: 2025.04.07  
14:10:21 -0400

ENGINEER OF RECORD: CAROL CHADWICK, P.E.  
P.E. NO.: 82560

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.





EXISTING LINETYPES, SYMBOLS, AND HATCH PATTERNS

	SA	SANITARY SEWER MAIN		ROOF DRAIN		STORM SEWER MANHOLE
	SS	SANITARY SEWER SERVICE		BENCHMARK		GRATED STORM INLET
		FORCE SEWER MAIN		REFERENCE MONUMENT		STORM INLET
	W	WATER MAIN		CABLE TV RISER		SANITARY SEWER MANHOLE
	WS	WATER SERVICE		TELEPHONE RISER		CLEAN OUT
	SW	STORM SEWER		WATER METER PIT		GAS VALVE
		SWALE/FLOWLINE		FIRE HYDRANT		GAS METER
		CULVERT		GATE VALVE		STREET LIGHT
	OP	OVERHEAD POWER		CURB STOP		GUY WIRE ANCHOR
	UP	UNDERGROUND POWER		CONIFEROUS TREE		POWER POLE
	GAS	GAS LINE		DECIDUOUS TREE		GAS MARKER
	FO	FIBER OPTIC		BUSH		ELECTRIC MARKER
	CA	CABLE TV		HEDGE/TREE LINE		TRANSFORMER SINGLE PHASE
		PROPERTY LINE		I POLE SIGN		TRANSFORMER 3 PHASE
		R.O.W.		BOREHOLE		ELECTRICAL VAULT
		BUILDING SETBACK LINE		MONITORING WELL		ELECTRICAL METER
		EASEMENT LINE		TRAFFIC SIGNAL		FIBER OPTIC PEDISTAL
		STRUCTURE				FIBER OPTIC VAULT
		EXISTING CONCRETE				SPRINKLER HEAD
		EXISTING ASPHALT				IRRIGATION CONTROL

EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, COLUMBIA COUNTY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

ENGINEER'S NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

UNAUTHORIZED CHANGES AND USES CAUTION:

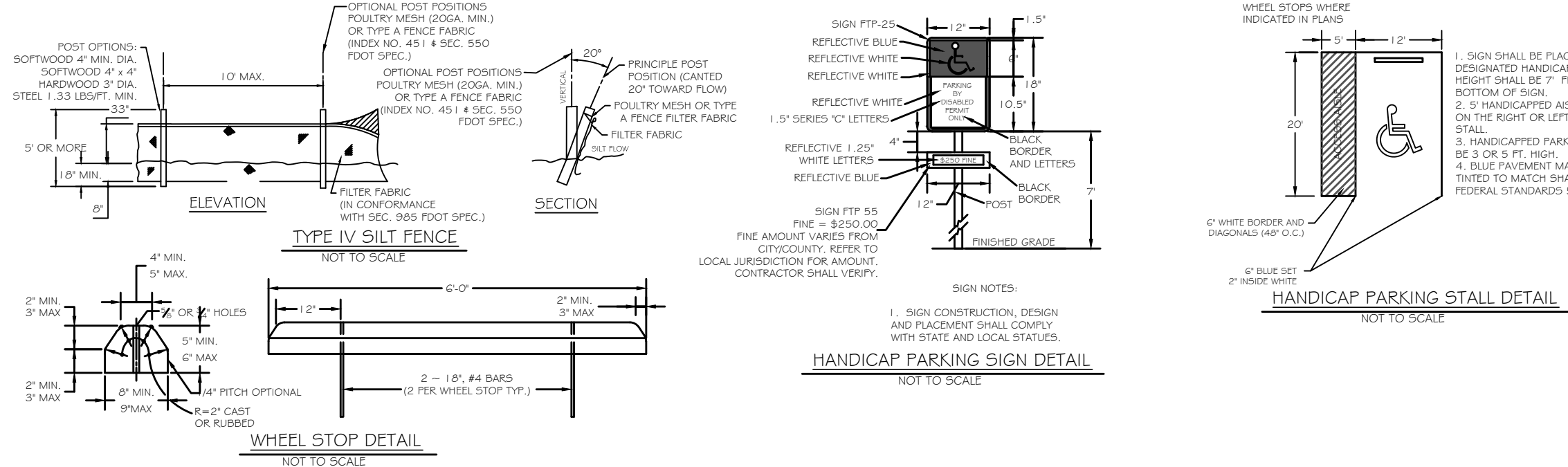
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

	SA	SANITARY SEWER MAIN		CABLE TV RISER		STORM SEWER MANHOLE
	SS	SANITARY SEWER SERVICE		TELEPHONE RISER		GRATED STORM INLET
		FORCE SEWER MAIN		WATER METER PIT		STORM INLET
	W	WATER MAIN		FIRE HYDRANT		SANITARY SEWER MANHOLE
	WS	WATER SERVICE		GATE VALVE		CLEAN OUT
	SW	STORM SEWER		CURB STOP		GAS VALVE
	OP	OVERHEAD POWER		1 1/4° BEND		GAS METER
	GAS	GAS LINE		22 1/2° BEND		STREET LIGHT
	T	PHONE LINE		45° BEND		GUY WIRE ANCHOR
	FO	FIBER OPTIC		CAP (END OF LINE PLUG)		POWER POLE
	CA	CABLE TV		COUPLER		TRANSFORMER SINGLE PHASE
		PROPERTY LINE		CROSS		TRANSFORMER 3 PHASE
		STRIPING		DEFLECTION COUPLER		ELECTRICAL VAULT
		BUILDING SETBACK LINE		TEE		ELECTRICAL METER
		EASEMENT LINE		REDUCER		FIBER OPTIC PEDISTAL
	SF	SILT FENCE		SEWER HOOK-UP		FIBER OPTIC VAULT
		PROPOSED STRUCTURE		WATER HOOK-UP		SPRINKLER HEAD
		PROPOSED CONCRETE		ELECTRIC HOOK-UP		IRRIGATION CONTROL
		PROPOSED ASPHALT		SEWER FORCE MAIN		CONIFEROUS TREE
		PROPOSED GRAVEL SURFACE		TOP OF BANK		DECIDUOUS TREE
		GRASS		LIFT STATION		BUSH
						I POLE SIGN



NOTE: ALL UTILITY PROVIDERS MUST BE CONTACTED PRIOR TO DIGGING IN ACCORDANCE TO CHAPTER 556 "SUNSHINE STATE ONE CALL" CALL 811 48 HOURS PRIOR TO DIGGING.



Digitally signed by Carol Chadwick, DN: c=US, o=Florida, dnQualifier=4014100000018046384, 672000251E, cn=Carol Chadwick, Date: 2025.04.07 14:50:50 -0400

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CAROL CHADWICK, P.E.  
Professional Engineer  
No. 12589  
Exp. 12/31/2026  
FLORIDA  
SUNSHINE STATE ONE CALL  
811

REVIEWED FOR  
ENVY ELITE  
TALL ASSOCIATES, LLC  
4014100000018046384  
tall.associates@gmail.com  
Contact: TODD LUBBER

ENVY ELITE  
NOTES, LEGEND & DETAILS

DATE: 04/05/2025  
TIME: 14:50:50  
PROJECT: 2 of 3







CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

April 5, 2025

re: Envy Elite Drainage Memo

Per ERP-04-0580, each lot is permitted for 60% impervious area. Please refer to site plan for impervious area summary.

Lot size is 1.21 acres or 52558 s.f. Total impervious surface is 24413 s.f. or 37% of the entire site.

The proposed design and construction of this site shall not cause adverse impacts to:

- Existing surface water storage
- Conveyance capabilities
- Water quantity
- Flooding conditions
- Minimum flows and levels established by the State of Florida
- Water quality

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A01410  
D0000018D463B4E  
7500032FEE,  
cn=Carol Chadwick  
Date: 2025.04.07 14:09:31 -04'00'

Carol Chadwick, P.E.

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CC Job #FL25014



CAROL CHADWICK, P.E.

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307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

April 7, 2025

re: Envy Elite Fire Flow Report

ISO:  $NFF = (C)(O)[1 + (X + P)] = 1000 * 0.85[1 + (0 + 0)] = 850 \rightarrow 1000 \text{ gpm}$

Where:

NFF = Needed Fire Flow

(C) = Construction factor, including effective area:  $C = 1000$

(O) = Occupancy factor:  $C-2 = 0.85$

(X + P) = Exposures and communication (openings) factor: 0

$C = 18F\sqrt{A} = 18 * 0.6 * \sqrt{9720} = 1065 \rightarrow 1000$

Where:

F = the coefficient related to the construction type = 0.6

A = the effective building area = 9720 sf

NFPA: required flow **1500 gpm**

Per the attached Water Flow Report dated 04/07/25, the water flow is **1576 gpm** at 20 psi.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Carol Chadwick, P.E.

Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A014  
10D0000018D463  
B4E7500032FEE,  
cn=Carol  
Chadwick  
Date: 2025.04.07  
14:09:20 -04'00'

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CC Job #FL25014



# City of Lake City Water flow report

HYDRANT # & LOCATION **1509 Century Glen**

DATE: **4/7/2025**

TEST BY: **John/Brandon**

Day

**Monday**

Time

**8:45**

Minutes

**2**

WATER SUPPLIED BY: **Municipal**

PURPOSE OF TEST: **request**

## DATA

### FLOW HYDRANT(S)

SIZE OPENING:

A1  
**2.5**

A2  
**2.5**

A3  
**2.5**

COEFFICIENT:

**0.8**

PITOT READING:

**26**

GPM:

**761**

**0**

**0**

TOTAL FLOW DURING TEST: **761** GPM

STATIC READING: **74** PSI

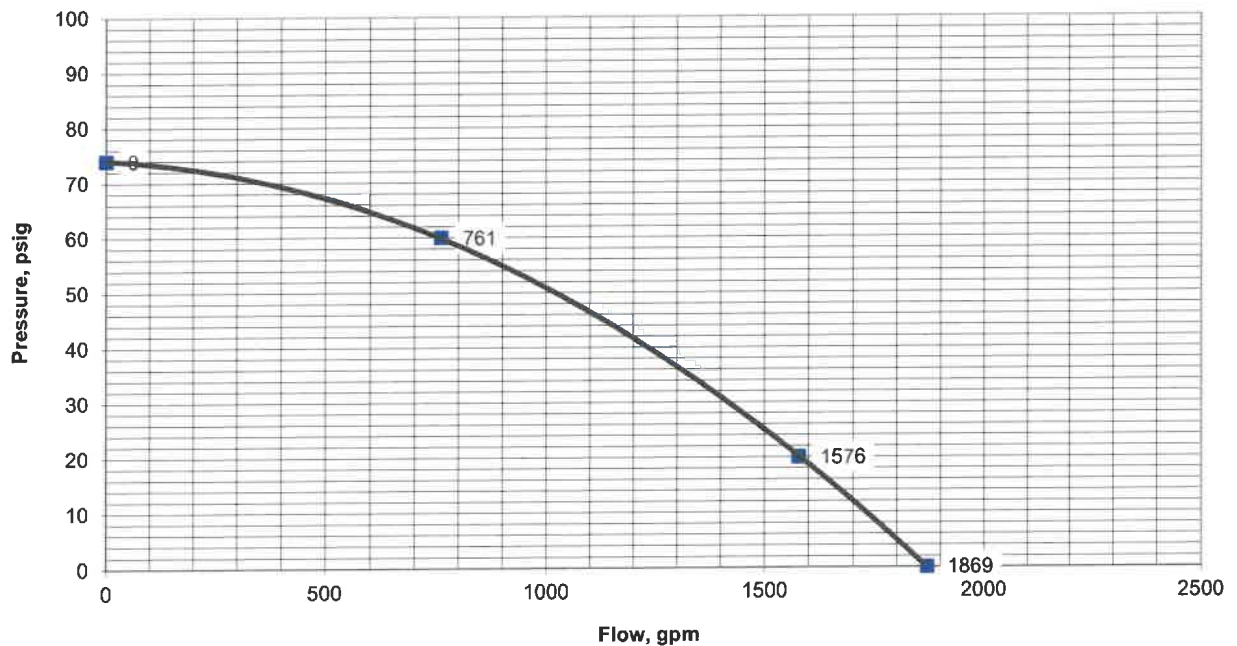
RESIDUAL: **60** PSI

RESULTS: AT 20 PSI RESIDUAL **1576** GPM

AT 0 PSI **1869** GPM

ESTIMATED CONSUMPTION: **1521** GAL.

REMARKS:





CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

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ccpewyo@gmail.com

www.carolchadwickpe.com

April 5, 2025

re: Envy Elite Mobility Plan

The site doesn't have sidewalk in the right-of-way to connect to.

The site shall have one ADA space.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed  
by Carol  
Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A014  
10D0000018D463  
84E7500032FEE,  
cn=Carol  
Chadwick  
Date: 2025.04.07  
14:09:06 -04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014



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Lake City, FL 32025

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April 6, 2025

re: Envy Elite Concurrency Impact Analysis

The subject property will be used as a private club for cheerleading practice and training. The site will utilize the City of Lake City sewer and water systems. The calculations reflect the total possible building size and members. The expansions may or may not be constructed in the future.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9<sup>th</sup> edition, ITE code 492
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Commercial Generation Study, Palm Beach County 1993

Summary of analyses:

- Trip generation: 320 ADT & 48 Peak PM trips
- Potable Water: 1935 gallons per day
- Potable Water: 1935 gallons per day
- Solid Waste: 389 c.y. per week

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed  
by Carol  
Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A01  
410D0000018D4  
63B4E7500032FE  
E, cn=Carol  
Chadwick  
Date: 2025.04.07  
14:08:55 -04'00'

Carol Chadwick, P.E.

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CC Job #FL25014



**REVISED CONCURRENCY  
WORKSHEET**

**Trip Generation Analysis**

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	KSF	Total ADT	Total PM Peak
492	Health Club	32.93	4.95	9.72	320.08	48.11

**Potable Water Analysis**

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
---------------------------	---	-----------------------------------	-------------------------

Country Club	25 + 15	25 + 15	1935.00
--------------	---------	---------	---------

\* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (75 MEMBERS & 4 EMPLOYEES)

**Sanitary Sewer Analysis**

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
---------------------------	---	-----------------------------------	-------------------------

Country Club	25 + 15	25 + 15	1935.00
--------------	---------	---------	---------

\* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (75 MEMBERS & 4 EMPLOYEES)

**Solid Waste Analysis**

Use	Volume Pounds Per S.F. Per Month	S.F.	Total (c.y. per month)
Clubhouse	0.04	9720.00	389.00



CAROL CHADWICK, P.E.

*Civil Engineer*

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Lake City, FL 32025

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April 6, 2025

re: Envy Elite Comprehensive Plan Consistency Analysis

The Envy Elite proposed site plan consistent with Lake City's Comprehensive Plan.

#### Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

*Consistency: The subject property will be used as a private club for cheerleading practice and training. The surrounding properties are currently used as commercial.*

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

*Consistency: The surrounding properties are currently used as commercial. The site has direct access to a collector road, SW Sisters Welcome Road.*

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

*Consistency: The subject property will be used as a private club for cheerleading practice and training.*

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2026.

*Consistency: The subject property will be used as a private club for cheerleading practice and*

□



training.

- Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

*Consistency: The proposed use of the subject property is consistent with commercial properties and will not have any adverse environmental impacts on the existing land uses.*

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

*Consistency: No impacts to adjacent land topography or soil conditions will result due to a zooming or land use change of the subject property.*

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

*Consistency: The proposed commercial development is compatible with other similar uses in the area and can co-exist without negative impacts to other uses in relative proximity to the development over time.*

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Carol Chadwick, P.E.



This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014



# COLUMBIA COUNTY

## Property Appraiser

### Parcel 01-4S-16-02703-014

#### Owners

TJL ASSOCIATES, LLC  
176 SW WILSHIRE DR  
LAKE CITY, FL 32024

#### Parcel Summary

Location	
Use Code	0000: VACANT
Tax District	1: CITY OF LAKE CITY
Acreage	2.1300
Section	01
Township	4S
Range	16
Subdivision	DIST 2
Lineage	Split from 01-4S-16-02703-004

#### Legal Description

COMM NE COR OF SE1/4, W 208.75 FT FOR POB, CONT W 331.73 FT, N 60 DEG W 83.11 FT TO E R/W OF SW SISTERS WELCOME RD, SW ALONG R/W 24.05 FT, S 60 DEG E 57.95 FT, TO CURVE, SE ALONG CURVE 96.23 FT, SE 284.72 FT, E 43.86 FT, N 197.90 FT TO POB. EX 448 SQ FT DESC IN WD 1163-834.

669-578, 676-620, 867-335, 1039-1855, 1163-834,  
WD 1521-646, WD 1523-539

#### Working Values

	2025
Total Building	\$0

#### Value History

None



30° 10' 14" N 82° 39' 30" W



	2025
Total Extra Features	\$0
Total Market Land	\$45,795
Total Ag Land	\$0
Total Market	\$45,795
Total Assessed	\$45,795
Total Exempt	\$0
Total Taxable	\$45,795
SOH Diff	\$0

## Document/Transfer/Sales History

Instrument / Official Record	Date	<u>Q/U</u>	Reason	Type	<u>V/I</u>	Sale Price	Ownership
<u>WD</u> 1523/539	2024-09-10	<u>U</u>	<u>11</u>	WARRANTY DEED	Vacant	\$100	Grantor: PEELER LESLIE EARL Grantee: TJL ASSOCIATES, LLC
<u>WD</u> 1521/646	2024-08-12	<u>U</u>	<u>11</u>	WARRANTY DEED	Vacant	\$100	Grantor: PEELER LESLIE EARL Grantee: TJL ASSOCIATES, LLC

## Buildings

None

## Extra Features

None

## Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
0000	VAC RES	00	.00	.00	2.13	\$21,500.00/ <u>AC</u>	2.13	1.00	\$45,795

## Personal Property

None

## Permits

None



## TRIM Notices

Not found for this property.

## Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of February 09, 2025.

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Prepared by and return to:

TJL Associates, LLC  
176 SW Wilshire Drive  
Lake City, Florida 32024

Parcel Identification No 00-00-00-14174-000

[Space Above This Line For Recording Data]

## WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 10<sup>TH</sup> day of September, 2024 between Leslie Earl Peeler, a Single Man, whose post office address is PO Box 2238, Lake City, FL 32056, of the County of , State of Florida, Grantor, to TJL Associates, LLC, a Florida Limited Liability Company,, whose post office address is 176 SW Wilshire Drive Lake City, Florida 32024, of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE APART HEREOF

LEGAL PROVIDED BY GRANTOR

THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAKES NO WARRANTIES AGAINST SAME

THE PURPOSE OF THIS DEED IS TO CORRECT AN OMITTED LESS OUT IN THE LEGAL DESCRIPTION OF THAT CERTAIN DEED RECORDED IN OR BOOK 1521 PAGE 646.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in any wise appertaining

Subject to taxes for 2024 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

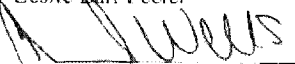
And Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

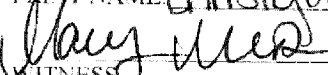


**In Witness Whereof**, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

*Signed, sealed and delivered in our presence:*

  
Leslie Earl Peeler

  
WITNESS  
PRINT NAME Christy Wells


  
WITNESS  
PRINT NAME Macy McRae

182 S. Marion Ave.  
Lake City, FL 32025  
WITNESS 1 ADDRESS

182 S. Marion Ave  
Lake City FL 32025  
WITNESS 2 ADDRESS

STATE OF FLORIDA  
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ( ) online notarization this 10<sup>th</sup> day of September ~~August~~, 2024, by Leslie Earl Peeler.

  
Signature of Notary Public  
Print, Type/Stamp Name of Notary

Personally Known: ☒ OR Produced Identification: \_\_\_\_\_  
Type of Identification \_\_\_\_\_  
Produced: \_\_\_\_\_



**CHRISTY WELLS**  
Notary Public  
State of Florida  
Comm# HH489451  
Expires 2/5/2028



Exhibit "A"

DESCRIPTION PARCEL 1:  
COMMENCE AT THE NE CORNER OF SE 1/4, SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN S.87°40'51"W., ALONG THE NORTH LINE OF SAID SE 1/4 A DISTANCE OF 208.75 TO THE POINT OF BEGINNING; THENCE CONTINUE S.87°40'51"W., ALONG SAID NORTH LINE A DISTANCE OF 331.73 FEET; THENCE N.60°19'18"W., 83.11 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF SW SISTERS WELCOME ROAD; THENCE S.20°51'19"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 24.05 FEET; THENCE S.60°48'21"E., 57.95 FEET TO A POINT OF A CURVE TO THE RIGHT HAVING A RADIUS OF 24000 FEET, AND AN INTERNAL ANGLE OF 22°58'25"; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 96.83 FEET TO A POINT OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 30000 FEET AND AN INTERNAL ANGLE OF 54°22'41"; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 284.72 FEET; THENCE N.87°41'12"E., 43.86 FEET; THENCE N.00°20'48"E., 197.90 FEET TO THE POINT OF BEGINNING. CONTAINING 2.13 ACRES MORE OR LESS.

TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR UTILITIES, DRAINAGE, INGRESS AND EGRESS, MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NE CORNER OF SE 1/4, SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN S.00°02'48"E., ALONG THE EAST LINE OF SAID SE 1/4 A DISTANCE OF 535.67 FEET; THENCE N.61°59'33"W., 806.97 FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF SW SISTERS WELCOME ROAD; THENCE N.28°51'19"E., ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 149.90 FEET TO THE POINT OF BEGINNING; THENCE S.60°48'21"E., 57.95 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 21300 FEET AND AN INTERNAL ANGLE OF 22°58'25"; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 85.41 FEET TO A POINT OF REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 32700 FEET AND AN INTERNAL ANGLE OF 54°16'36"; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 309.77 FEET TO A POINT OF REVERSE CURVE TO THE RIGHT HAVING A RADIUS OF 1500 FEET AND AN INTERNAL ANGLE OF 70°41'09"; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 18.51 FEET TO A POINT OF CURVE TO THE LEFT, SAID CURVE BEING A CUL-DE-SAC, AND HAVING A RADIUS OF 43.00 FEET AND AN INTERNAL ANGLE OF 245°09'01"; THENCE RUN SOUTHERLY, EASTERLY, NORTHERLY AND WESTERLY, ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 183.99 FEET, SAID CURVE BEING SUBTENDED BY A CHORD BEARING AND DISTANCE OF N.25°50'41"E., 72.47 FEET; THENCE S.87°41'12"E., 46.77 FEET TO A POINT OF CURVE TO THE RIGHT HAVING A RADIUS OF 27200 FEET AND AN INTERNAL ANGLE OF 34°35'23"; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 260.11 FEET TO A POINT OF REVERSE CURVE TO THE LEFT HAVING A RADIUS OF 26700 FEET AND AN INTERNAL ANGLE OF 16°50'58"; THENCE RUN NORTHWESTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 78.52 FEET; THENCE S.87°40'31"W., 4.07 FEET; THENCE N.60°19'18"W., 83.11 FEET TO A POINT ON THE FOREMENTIONED EASTERLY RIGHT-OF-WAY LINE OF SW SISTERS WELCOME ROAD; THENCE S.28°31'19"W., ALONG SAID EASTERLY RIGHT-OF-WAY LINE A DISTANCE OF 51.03 FEET TO THE POINT OF BEGINNING.

LESS AND EXCEPT:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run S.88°58'33"W. along the North line of said Southeast 1/4 a distance of 507.76 feet to the POINT OF BEGINNING; thence S.00°56'09"W. 27.18 feet to a point on the Northeastery Right-of-Way line of SW Century Glen; thence N.50°44'43"W. along said Northeastery Right-of-Way line 42.02 feet to the point of intersection of said Right-of-Way line with the North line of said Southeast 1/4 and also with the former Easterly line of the Seaboard Coastline Railroad (now abandoned); thence N.88°58'33"E. along the North line of said Southeast 1/4 a distance of 32.98 feet to the POINT OF BEGINNING. Containing 448 Square Feet, more or less.





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
TJL ASSOCIATES, LLC

### Filing Information

**Document Number** L23000253352  
**FEI/EIN Number** 93-1702033  
**Date Filed** 05/23/2023  
**Effective Date** 05/24/2023  
**State** FL  
**Status** ACTIVE

### Principal Address

176 SOUTHWEST WILSHIRE DRIVE  
LAKE CITY, FL 32024 UN

### Mailing Address

176 SOUTHWEST WILSHIRE DRIVE  
LAKE CITY, FL 32024 UN

### Registered Agent Name & Address

LUSSIER, TODD G  
176 SOUTHWEST WILSHIRE DRIVE  
LAKE CITY, FL 32024

### Authorized Person(s) Detail

#### **Name & Address**

Title MGR

LUSSIER, TODD G  
176 SOUTHWEST WILSHIRE DRIVE  
LAKE CITY, FL 32024

Title MGR

LUSSIER, JENNIFER C  
176 SOUTHWEST WILSHIRE DRIVE  
LAKE CITY, FL 32024

### Annual Reports

Report Year	Filed Date
2024	05/01/2024

### Document Images

[05/01/2024 -- ANNUAL REPORT](#)

[View image in PDF format](#)

[05/23/2023 -- Florida Limited Liability](#)

[View image in PDF format](#)





GROWTH MANAGEMENT DEPARTMENT  
205 North Marion Ave, Lake City, FL 32055  
Phone: 386-719-5750  
E-mail: growthmanagement@lcfla.com

### AGENT AUTHORIZATION FORM

I, TJL Associates (owner name), owner of property parcel

number 02703-014 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature	Printed Person
1. Carol Chadwick, PE	1.	Digitally signed by Carol Chadwick o=Florida, dnQualifier=A0141 0D0000018D463B4 E7500032FEE, cn=Carol Chadwick Date: 2025.04.07 14:08:13 -04'00'
2.	2.	
3.	3.	
4.	4.	
5.	5.	

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Todd L 4-4-2025  
Owner Signature (Notarized) Date

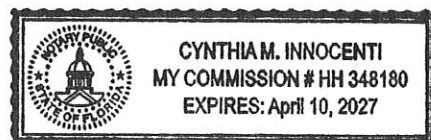
#### NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Todd Lussier,  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) \_\_\_\_\_ on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Cynthia M. Innocent  
NOTARY'S SIGNATURE

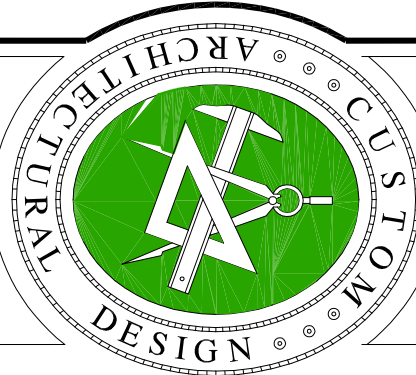
(Seal/Stamp)



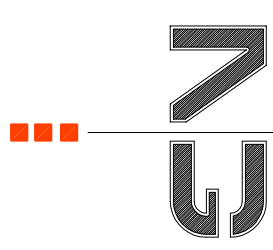


GYMNASIUM for:  
**TODD LUSSEIER**  
LAKE CITY, FLORIDA  
**COVER SHEET**

Celebrating  
52 Years of Service  
1972 - 2024  
N.P. Gaiser, Architect  
AR00005



NICHOLAS  
GAISER  
ARCHITECT



1728 NW BOWEN RD.  
LAKE CITY, FLORIDA 33603  
352-363-4355

DATE:

20 FEB 2025

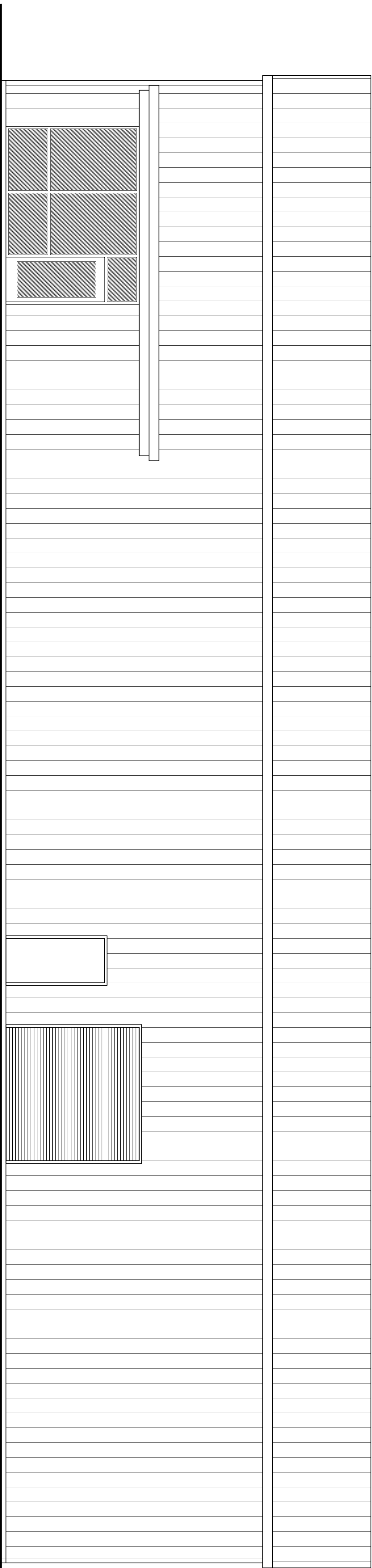
CONTRACT:

2K2427

SHEET:

C5.1

1 OF 1



GYMNASIUM for:  
**TODD LUSSEIER**  
LAKE CITY, FLORIDA

Drawing Index

SHT. N°.	DRAWING TITLE	ISSUED	LATEST REV. N°
C5.1	COVER SHEET	20 FEB 2025	.
G.1	GENERAL PROJECT INFORMATION	20 FEB 2025	.
L5P.1	LIFE SAFETY PLAN	20 FEB 2025	.
.	.	.	.
S.1	FOUNDATION PLAN	20 FEB 2025	.
S.2	STRUCTURAL NOTES and DETAILS	20 FEB 2025	.

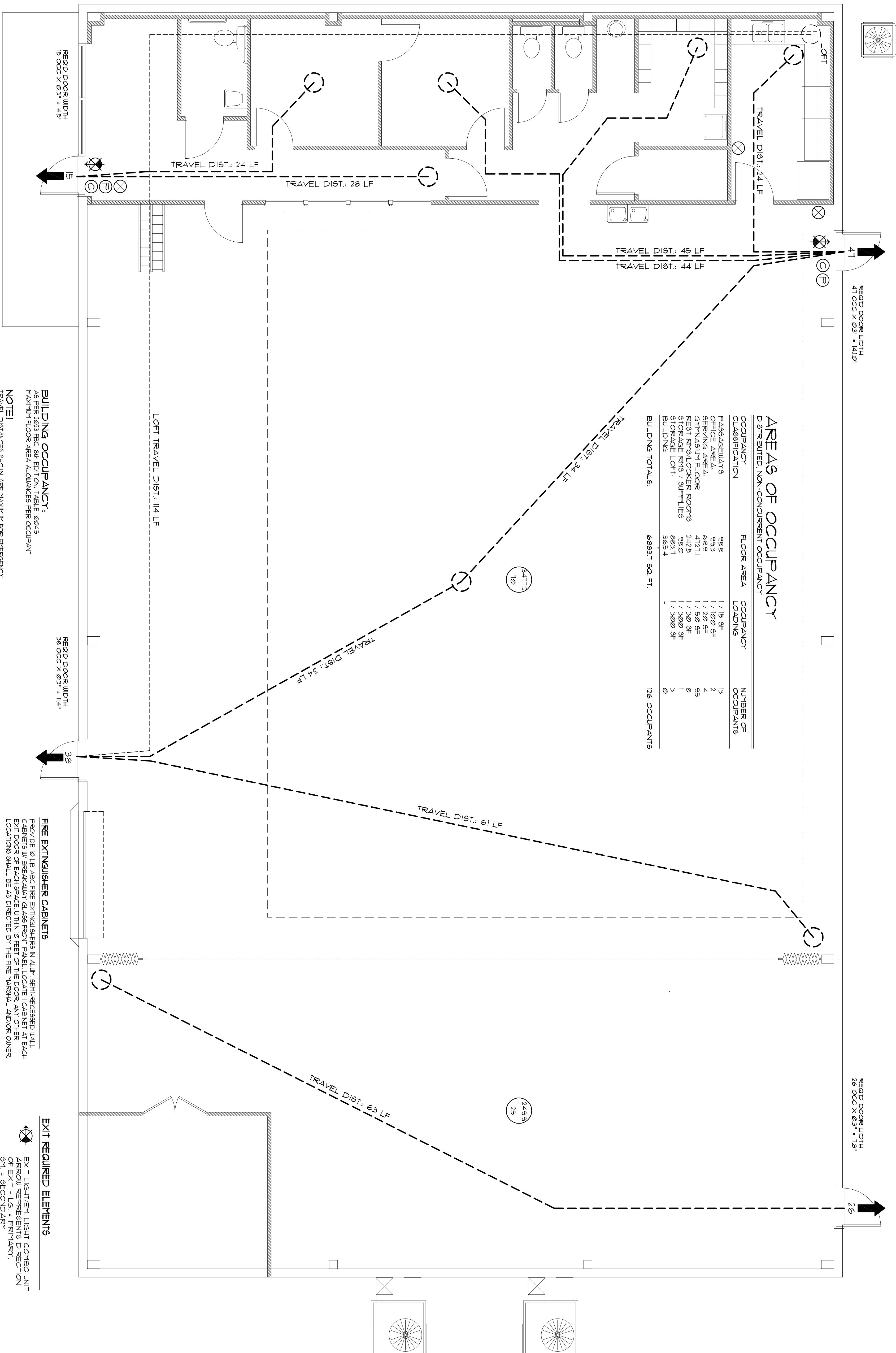
SHT. N°.	DRAWING TITLE	ISSUED	LATEST REV. N°
A.1	ELEVATIONS	20 FEB 2025	.
A.2	FLOOR PLAN and DETAILS	20 FEB 2025	.
A.3	SECTION DETAILS and LOFT PLAN	20 FEB 2025	.
A.4	STOREFRONT GLASS DETAILS	20 FEB 2025	.
F.1	PLUMBING PLAN and DETAILS	20 FEB 2025	.

SHT. N°.	DRAWING TITLE	ISSUED	LATEST REV. N°
M.1	HVAC PLAN and SCHEDULES	20 FEB 2025	.
M.2	HVAC DETAILS	20 FEB 2025	.
E.1	ELECTRICAL PLAN and DETAILS	20 FEB 2025	.
E.2	ELECTRICAL LOFT PLAN, PANEL, and RISER	20 FEB 2025	.
.	.	.	.









## DISTRIBUTED, NON-CONCURRENT OCCUPANCY

CLASIFICATION	FLOOR AREA	OCCUPANCY LOADING	NUMBER OF OCCUPANTS
PASSAGEWAYS	193.6	1 / 15 SF	13
OFFICE AREA	193.5	1 / 100 SF	2
RECEIVING AREA	63.5	1 / 20 SF	3
REST ROOMS	242.4	1 / 30 SF	8
STORAGE ROOMS	194.0	1 / 300 SF	1
STORAGE LOT	63.1	1 / 300 SF	3
BUILDING TOTAL	552.1	-	26
	683.7 SQ. FT.		126 OCCUPANTS

AS PER 2023 FBC, 8th EDITION: TABLE 1004.5  
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

AS PER 2023 FBC, 8th EDITION: TABLE 1004.5  
MAXIMUM FLOOR AREA ALLOWANCES PER OCCUPANT

TRAVEL DISTANCES SHOULD BE MAXIMUM FOR EMERGENCY  
EGRESS SECONDARY EN. EGRESS & NON-EMERGENCY EGRESS

TRAVEL DISTANCES SHOULD BE MAXIMUM FOR EMERGENCY  
EGRESS SECONDARY EN. EGRESS & NON-EMERGENCY EGRESS

EMERGENCY LIGHTING AND EXIT SIGNS, SHALL BE PROVIDED AS DIRECTED BY THE FIRE MARSHAL, AND SHALL BE WIRED

EMERGENCY LIGHTING AND EXIT SIGNS, SHALL BE PROVIDED AS DIRECTED BY THE FIRE MARSHAL, AND SHALL BE WIRED

SPOKE DETECTORS SHALL BE MOUNTED NOT LESS

SPOKE DETECTORS SHALL BE MOUNTED NOT LESS

FROM EACH STORE PANEL W/BATTERY BACKUP

FROM EACH STORE PANEL W/BATTERY BACKUP

PROVIDE 10 LB ABC FIRE EXTINGUISHERS IN ALUM. SEMI-RECESSED WALL CABINETS IN REAR WING OF AGE FRONT PANEL LOCATE 1 CABINET AT EACH

PROVIDE 10 LB ABC FIRE EXTINGUISHERS IN ALUM. SEMI-RECESSED WALL CABINETS IN REAR WING OF AGE FRONT PANEL LOCATE 1 CABINET AT EACH

### OCCUPANCY - GYMNASIUM

### OCCUPANCY - GYMNASIUM

## FIRE DEPARTMENT REQ'D MARKING

## FIRE DEPARTMENT REQ'D MARKING

AS DIRECTED BY THE FIRE MARSHAL, AND SHALL BE WIRED PER NEC 100-12F.

AS DIRECTED BY THE FIRE MARSHAL, AND SHALL BE WIRED PER NEC 100-12F.



EXIT LIGHT COMES ON



EXIT LIGHT COMES ON

OF EXT - LG. = PRIMARY

OF EXT - LG. = PRIMARY

WALL HUNG "ABC" F  
EXTINGUISHED

WALL HUNG "ABC" F  
EXTINGUISHED

DOOR /CLOSER FOR EXITING  
OR BATHING DEVICES

DOOR /CLOSER FOR EXITING  
OR BATHING DEVICES

⑦ PANIC DEVICE

⑦ PANIC DEVICE

W/EXIT CAPACITY

W/EXIT CAPACITY

MAX. N<sup>o</sup>. OF OCCUPANTS 70MAX. N<sup>o</sup>. OF OCCUPANTS 70

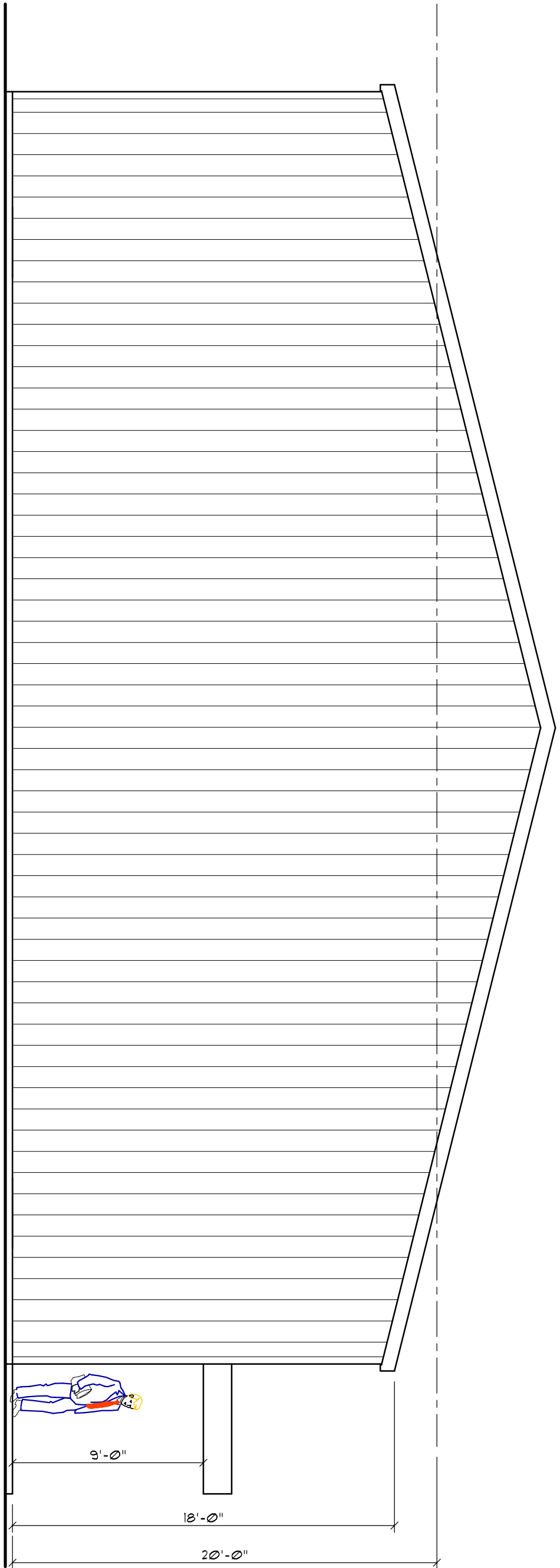


IV



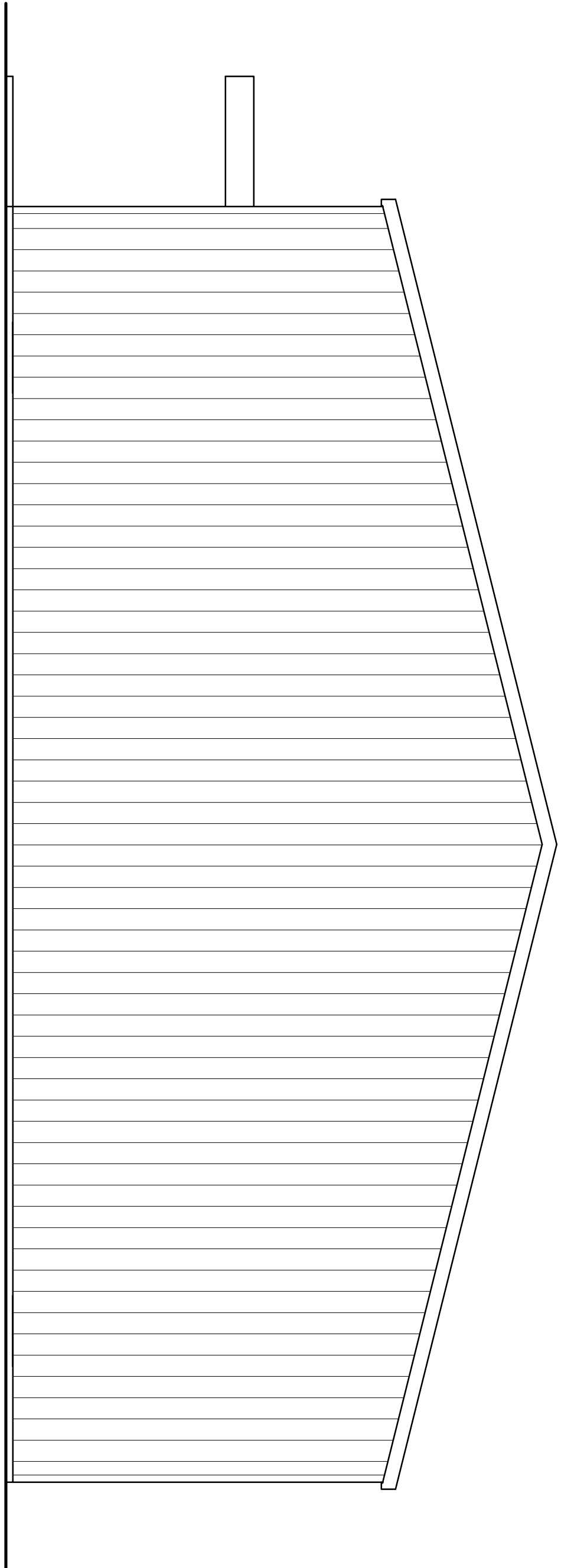






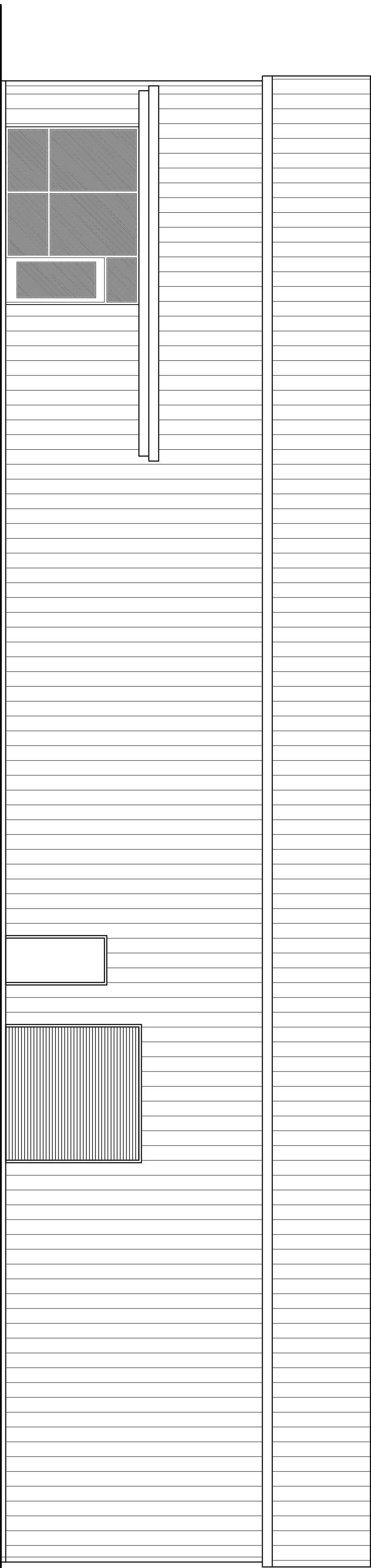
**WEST ELEVATION**

SCALE: 3/16" = 1'-0"



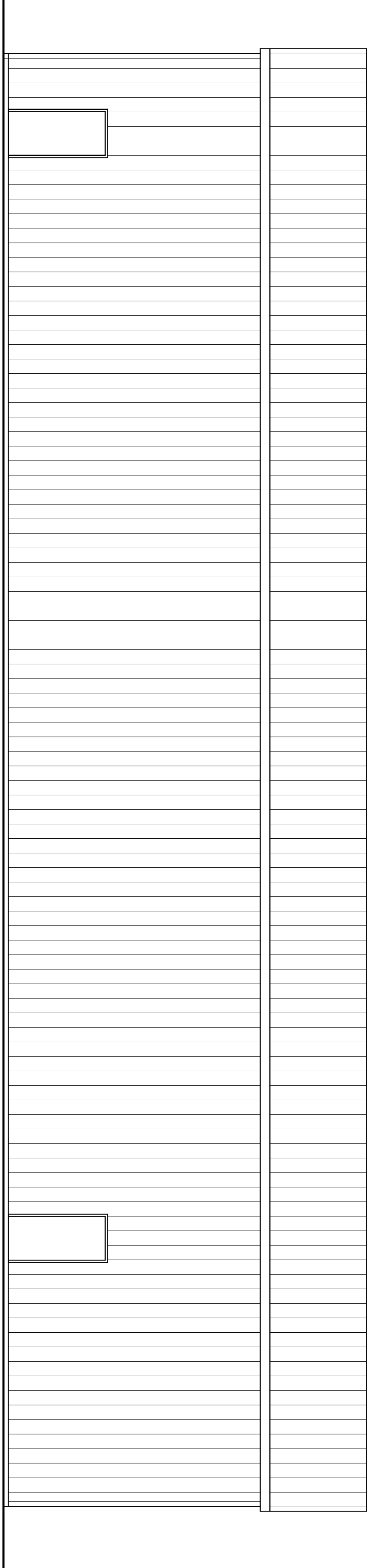
**EAST ELEVATION**

SCALE: 3/16" = 1'-0"



**SOUTH ELEVATION**

SCALE: 3/16" = 1'-0"



**NORTH ELEVATION**

SCALE: 3/16" = 1'-0"

REVISION:

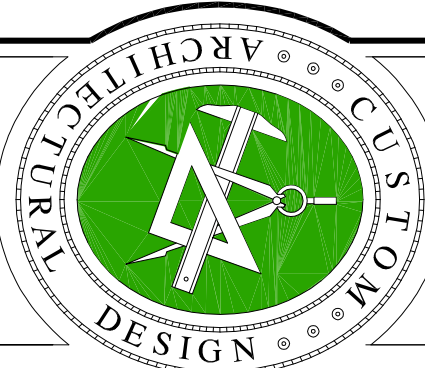
DATE: 2/24/24  
BY: N.P. Gesler  
PROJECT: Gymnasium

DRAWN:

178

**GYMNASIUM for:  
TODD LUSSIER**  
LAKE CITY, FLORIDA  
**ELEVATIONS**

Celebrating  
52 Years of Service  
1972 - 2024  
N.P. Gesler, Architect  
AR000005



**NICHOLAS  
GESLER  
ARCHITECT**

**NG**

1728 NW Broward Rd.  
Suite 300  
Fort Lauderdale, FL 33305

DATE:

20 FEB 2025

COMPILE:

2K2421

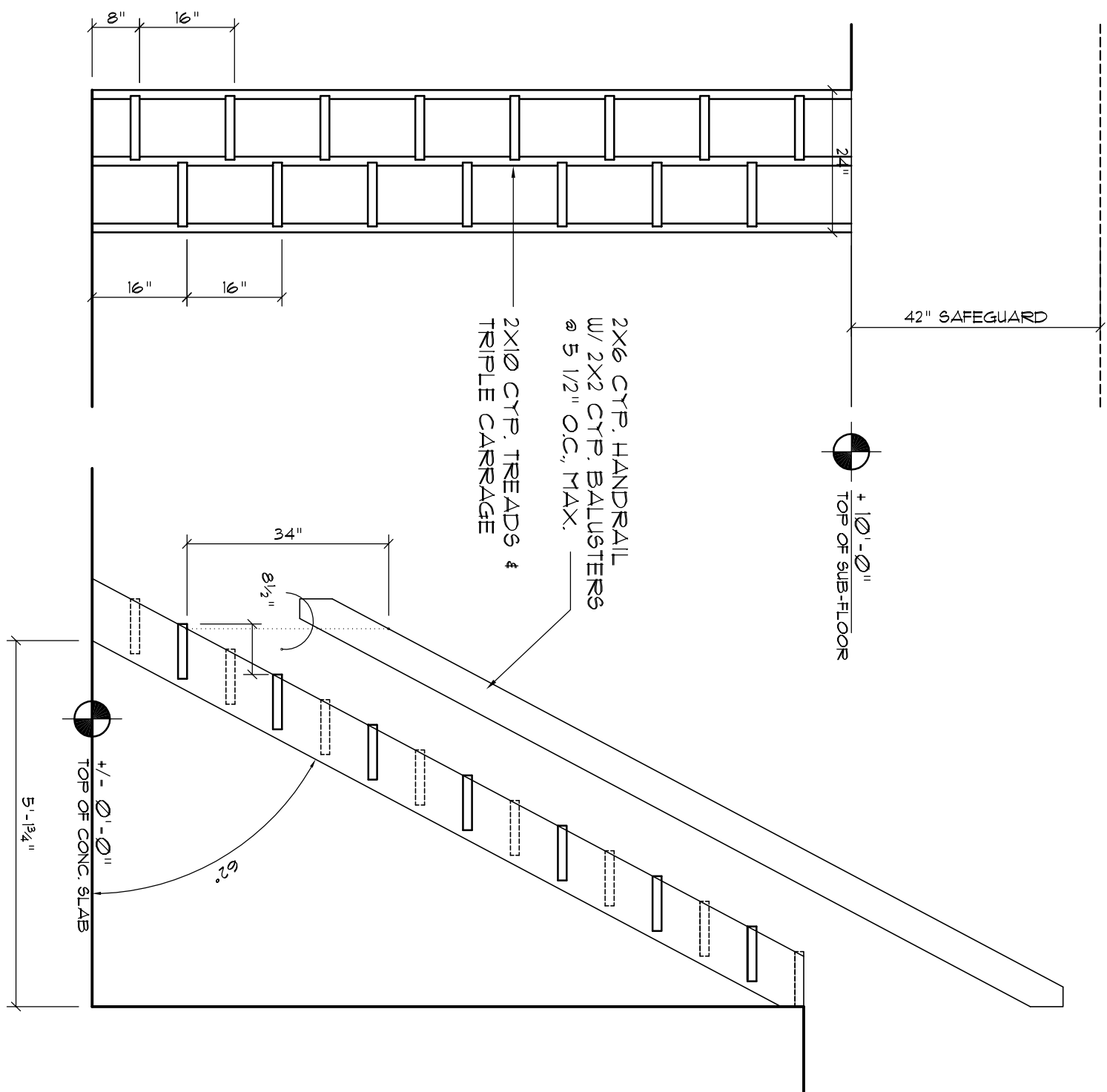
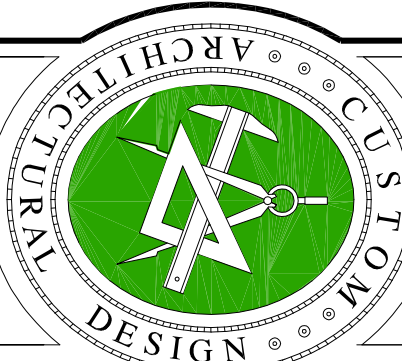
SHEET:

A.1

1 OF 4

AR0007005

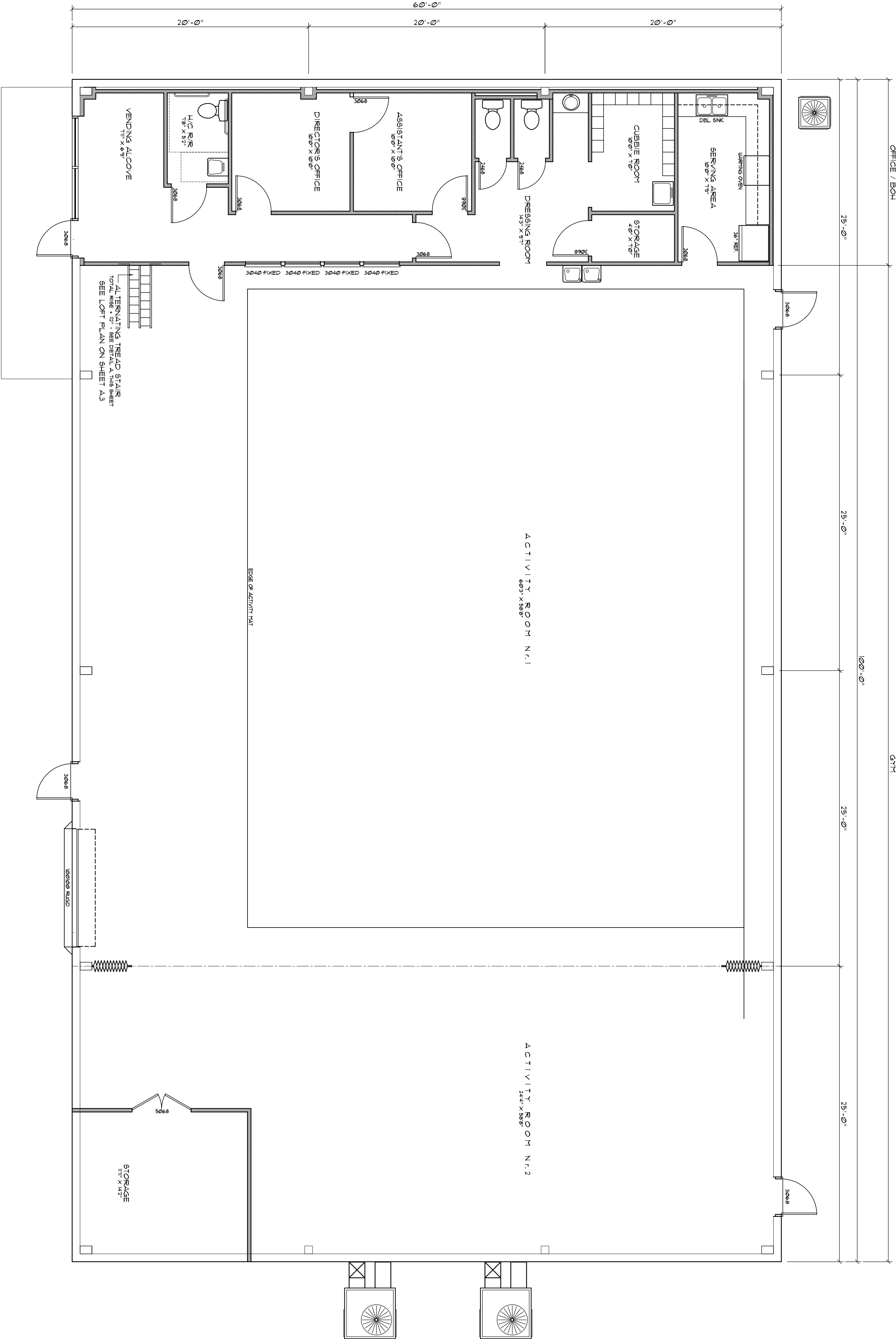




## Alternating Tread Stair Detail

SCALE: 1/2" = 1'-0"

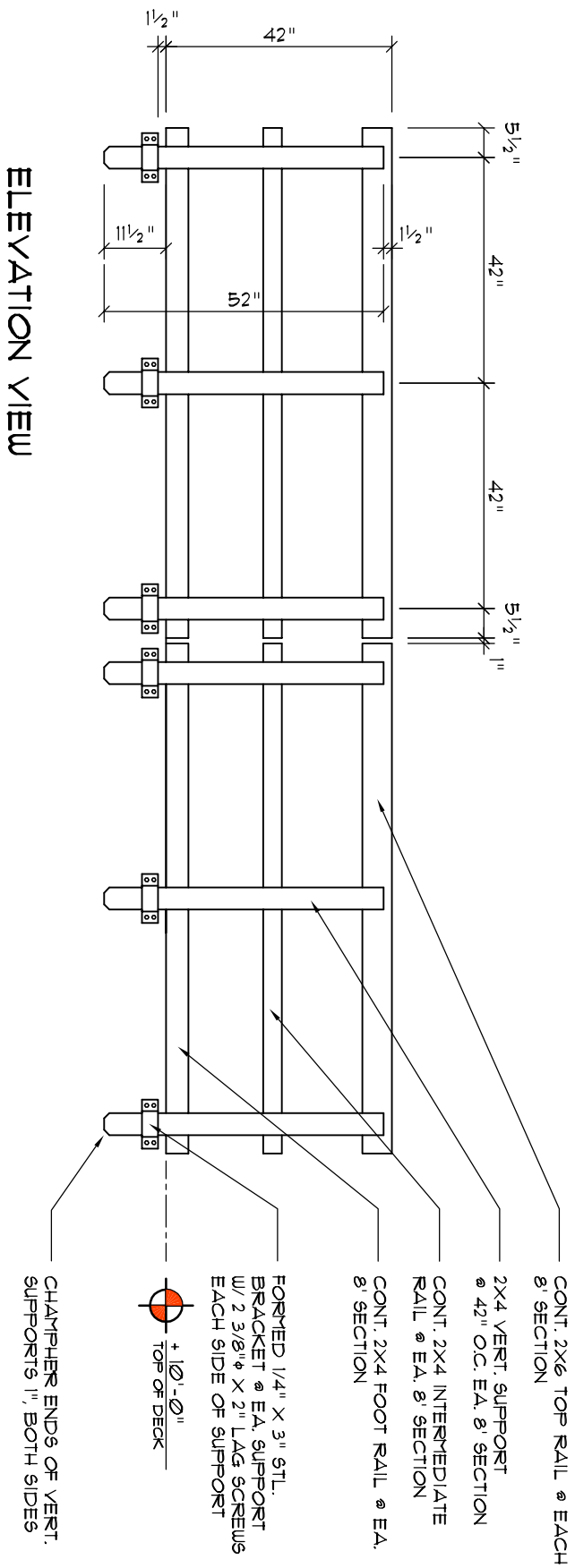
NOTE:  
CONSTRUCT FROM SELECT CYRESS 2X10  
LUMBER W/ RABBITED CARCASE & CONCEALED  
FASTENERS - VARNISHED 2 COATS



## FLOOR PLAN

SCALE: 3/16" = 1'-0"

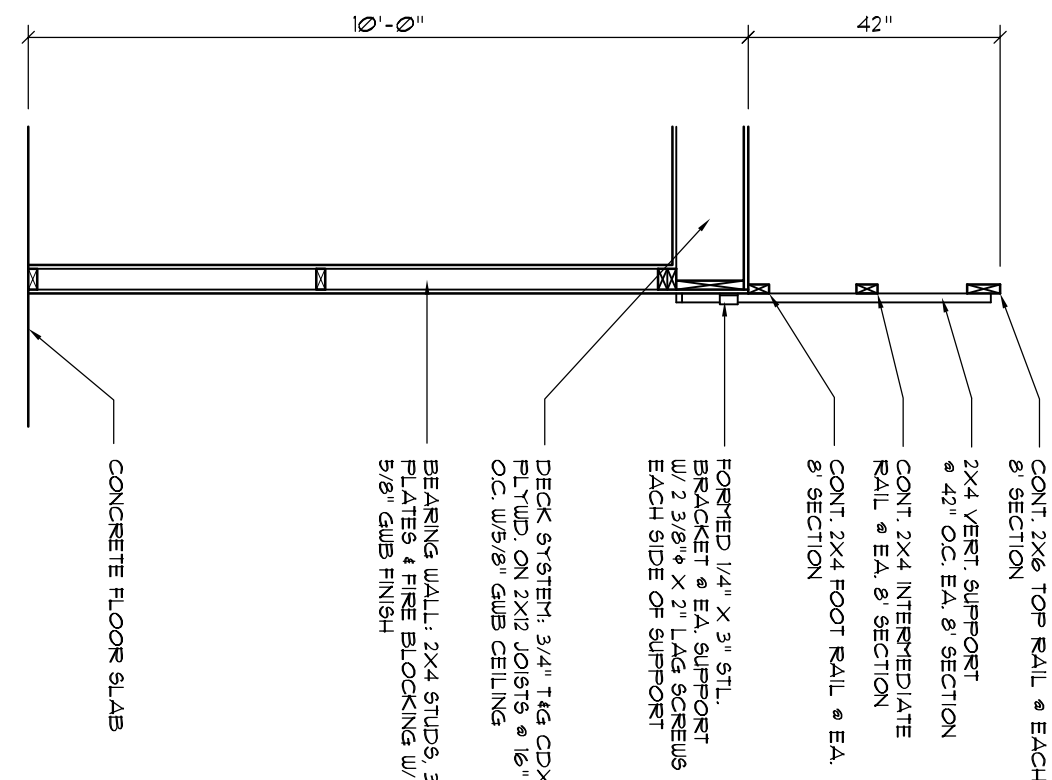
### ELEVATION VIEW



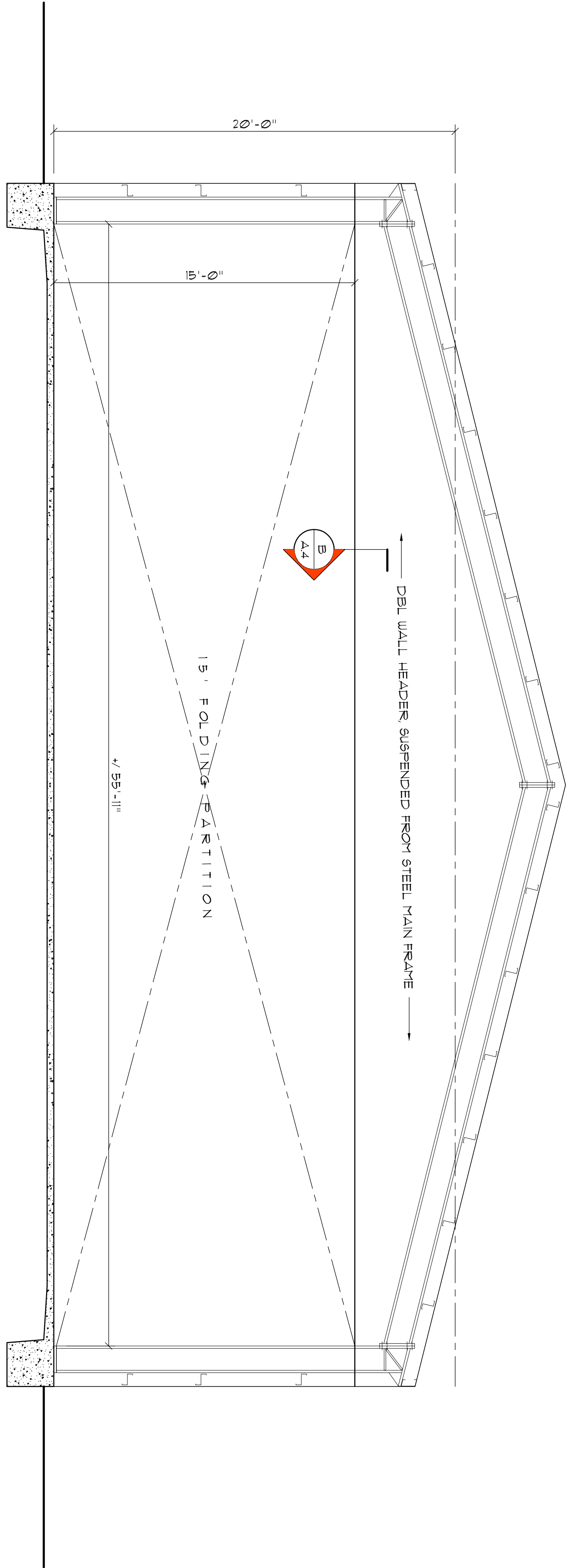
## RAILING DETAIL

SCALE: 3/8" = 1'-0"

### SECTION VIEW



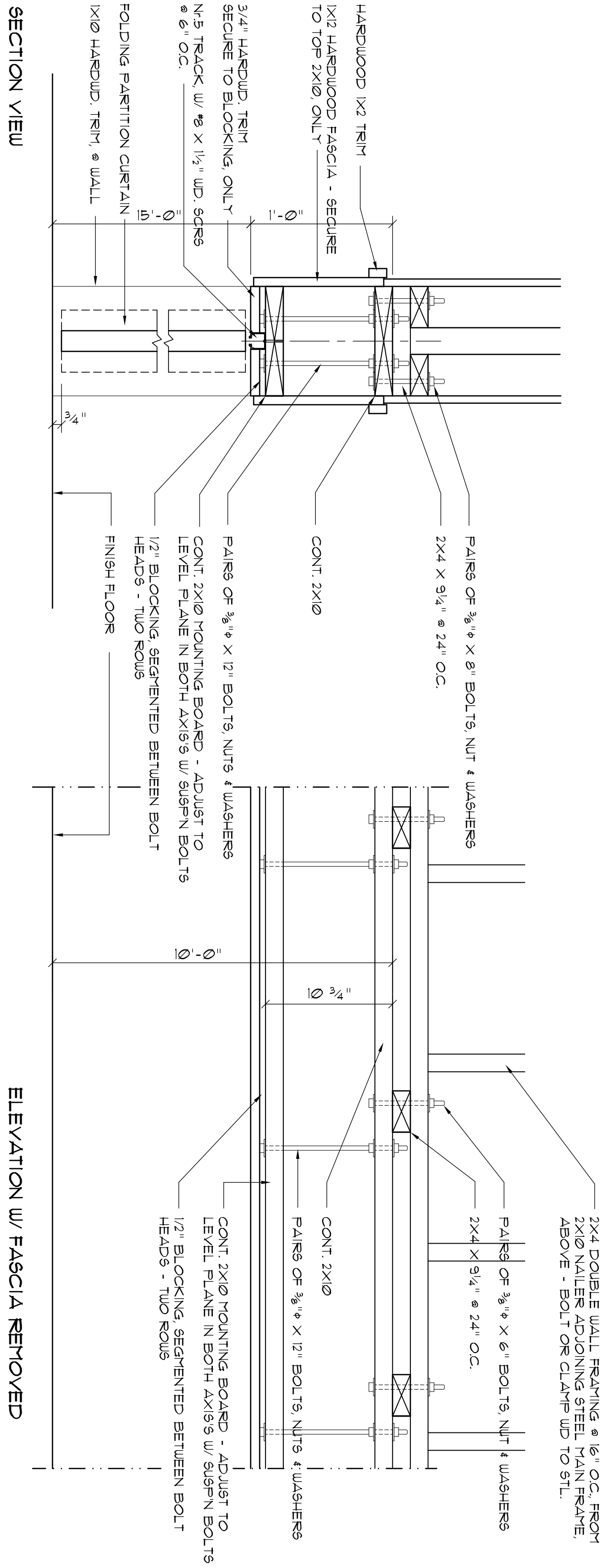




BUILDING SECTION

SCALE: 1/4" = 1'-0"

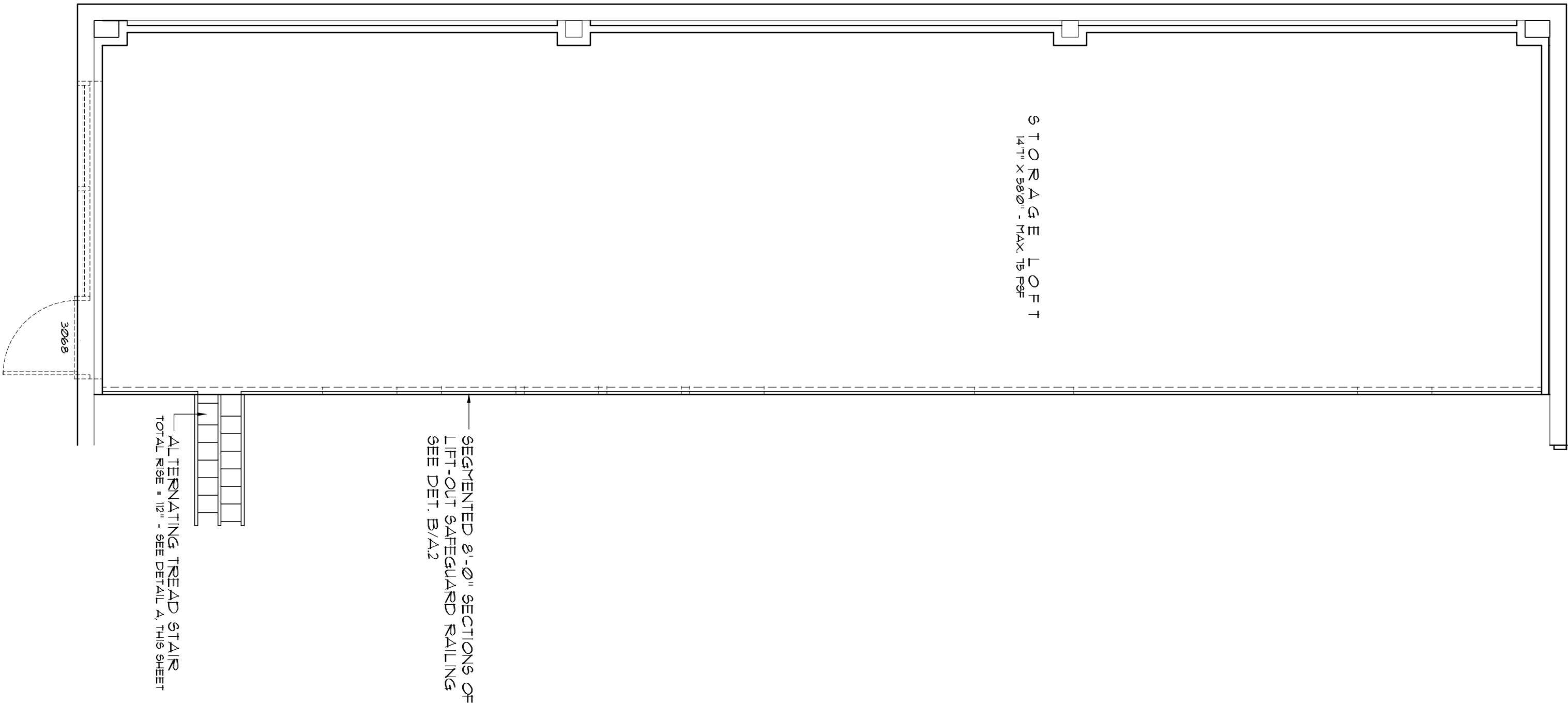
A



Folding Partition SECTION

SCALE 1/2" = 1'-0"

B



STORAGE LOFT

SCALE: 1/4" = 1'-0"

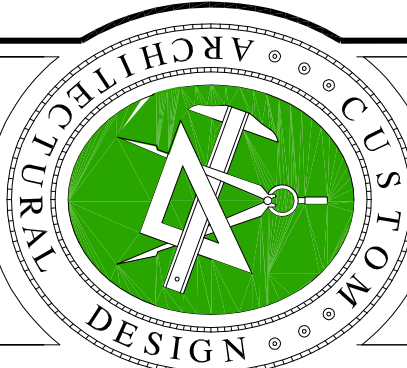
REVISION

DATE: 5/24/24  
DRAWN BY: N.P. Gaiser  
CHECKED BY: [Signature]

178

GYMNASIUM for:  
**TODD LUBSIEER**  
LAKE CITY, FLORIDA  
SECTION, DETAILS and LOFT PLAN

Celebrating  
52 Years of Service  
1972 - 2024  
N.P. Gaiser, Architect  
ARCHITECT



NICHOLAS  
GAISER  
ARCHITECT

1758 NW BROWNS RD  
LAKE CITY, FL 33603  
352-365-4355

DATE: 20 FEB 2025  
CONTRACT: 2K2421

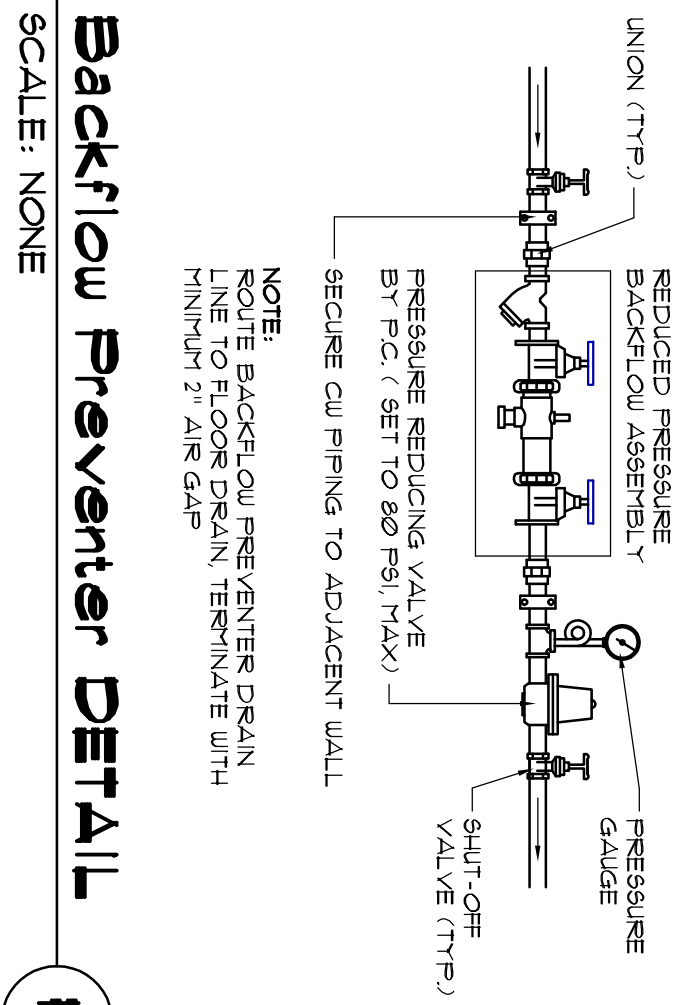
SHEET: 3 OF 4  
A.3

AR00007005



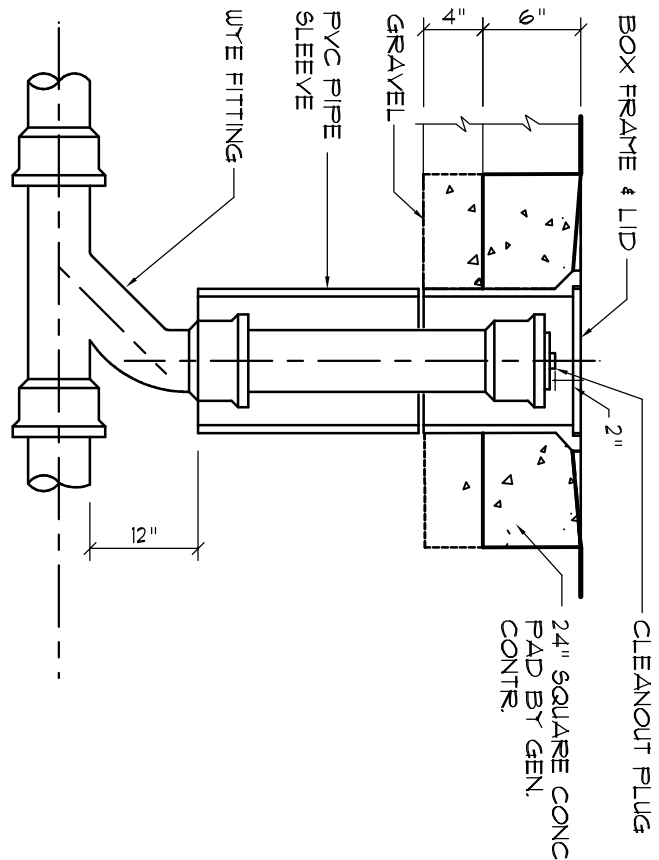






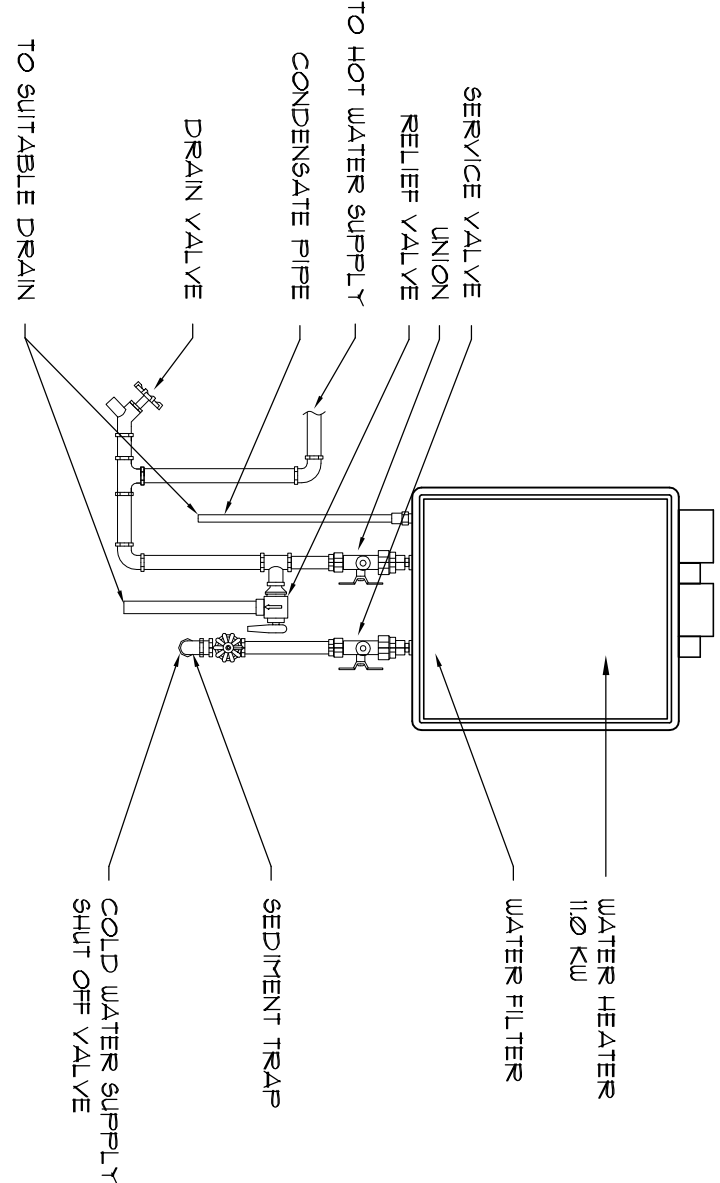
**Backflow Preventer Detail**

SCALE: NONE



**Outdoor Cleanout Detail**

NOTES

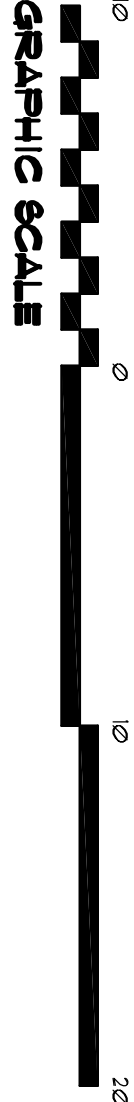


**Tankless Water Heater**

SCALE: NONE

## PLUMBING PLAN

SCALE: 3/16" = 1'-0"



### WATER DISTRIBUTION NOTES

1. ALL FIXTURE LOCATIONS SHALL BE SUPPLIED WITH SHOCK ARRESTORS AND A MINIMUM 1/2" COLD WATER CONNECTION EXCEPT AS NOTED OTHERWISE.
2. ALL SINK AND LAVATORY LOCATIONS SHALL BE SUPPLIED WITH SHOCK ARRESTORS AND A MINIMUM 1/2" COLD WATER CONNECTION EXCEPT AS NOTED OTHERWISE.
3. WATER HEATER SHALL BE SUPPLIED WITH A MINIMUM 3/4" COLD WATER CONNECTION.
4. HOT SINKS SHALL BE SUPPLIED WITH SHOCK ARRESTORS AND A 3/4" COLD WATER AND HOT WATER CONNECTIONS.
5. ALL HOT WATER CONNECTIONS SHALL BE PART OF A RECIRCULATING SYSTEM SUPPLY AND RETURN LINES.
6. ALL PIPING USED IN THE WATER DISTRIBUTION SYSTEM SHALL BE CPVC OR COPPER JOINED WITH NON-LEAD BASED SOLDER.

#### PLUMBING FIXTURE CONNECTION SCHEDULE

FIXTURE	CUP	HD	TRAP	VENT
LAVATORY	1/2"	1/2"	1 1/4"	1 1/2"
WATER CLOSET	1/2"	-	3"	2"
SINK	1/2"	-	1 1/4"	1 1/2"
ELECTRIC WATER COOLER	-	-	-	-

NOTE: PROVIDE REDUCERS ON WATER LINES AT FIXTURES AS REQUIRED.

PLUMBING NOMENCLATURE			
1 1/4"	PIPING 6/ZE	1 1/2" LV	2" VENT THRU ROOF
1 1/4"	PIPING 6/ZE	2"	3" VENT THRU ROOF
2"	PIPING 6/ZE	2"	CLEAN-OUT TO GRADE
3"	PIPING 6/ZE	2"	TO SANITARY DISPOSAL
4"	PIPING 6/ZE		
1 1/2" LV	2" VENT THRU ROOF		
2" VTR	3" VENT THRU ROOF		
3" VTR	CLEAN-OUT TO GRADE		
C.O.T.G.	TO SANITARY DISPOSAL		
TO SAN DISP			

NOTE: PROVIDE PLUMBING CLEANOUTS AT THE BASE OF ALL EXPOSED PLUMBING OR 10' OC ALONG ALL MAIN DRAIN LINES AND THE UP-STREAM ENDS OF MAIN DRAIN LINES AND AT 10' INTERVALS TO THE DISPOSAL SITE.

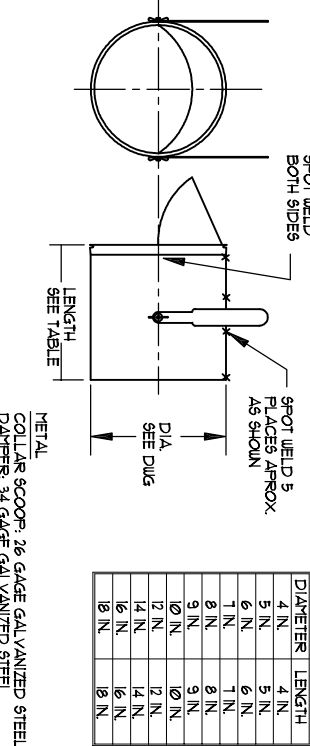
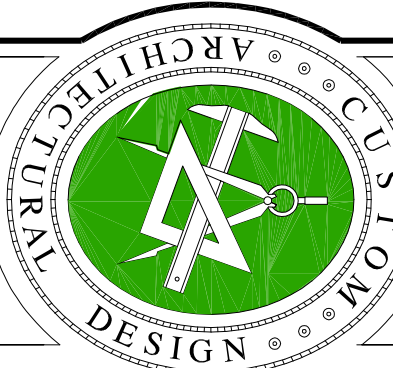
NOTE: PROVIDE TRAP REMOVERS FOR ALL FLOOR DRAINS - REMOVE EACH-ED INDIVIDUALLY. DO NOT TAMPOLD.

NOTE: ALL 2" VENTS LOOP VENTS AND VENTS THROUGH ROOF MAY BE LOOPED TOGETHER AS ALLOWED BY CODE AND SHALL BE PROTECTED TO REDUCE THE NUMBER OF ROOF PENETRATIONS.

### GENERAL PLUMBING NOTES

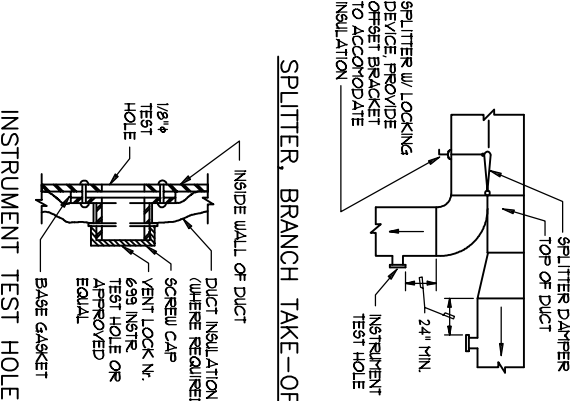
1. THE DRAWINGS ARE PART OF THE DISCREPANCY AND ARE NOT INTENDED TO SHOW IN DETAIL ALL FEATURES OF THE WORK. ALL WORK SHALL BE DONE IN ACCORDANCE WITH THESE SPECIFICATIONS, THE DRAWINGS AND LOCAL GOVERNING CODES.
2. CONTRACTORS SHALL REFER TO ARCHITECTURAL DRAWINGS FOR DIMENSIONS.
3. CONTRACTOR SHALL VISIT SITE AND VERIFY EXISTING ITEMS PRIOR TO BIDDING AND ADVISE ARCHITECT OF ANY DISCREPANCIES.
4. ITEMS SHOWN AS PROVIDED UNDER ANOTHER DIVISION SHALL BE COORDINATED WITH THE DIVISION RESPONSIBLE FOR THAT DIVISION BEFORE CONSTRUCTION ON ALL ITEMS REQUIRING PLUMBING CONNECTIONS.
5. ALL CUTTING, PATCHING OR EXISTING ITEMS SHALL BE REPAIRED TO ORIGINAL CONDITION OR BETTER. ALL REPAIRS SHALL BE APPROVED BY THE GENERAL CONTRACTOR OR AT HIS DIRECTION. THIS CONTRACTOR SHALL BE RESPONSIBLE FOR CLEANUP AFTER EACH SESSION.
6. THE WORK UNDER THIS SECTION OF THE SPECIFICATIONS INCLUDES ALL LABOR MATERIALS EQUIPMENT AND SERVICES NECESSARY TO COMPLETE THE PLUMBING SYSTEM AS SHOWN ON THE DRAWINGS. HEREIN THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND INSURANCE COVERAGE.
7. PERMITS (1) ONE YEAR SERVICE AND GUARANTEE ON ALL LABOR MATERIALS AND EQUIPMENT.
8. OFFSET PIPING TO AVOID STRUCTURAL MEMBERS, CANALS, FLASHINGS, REBAR, AND ELECTRICAL EQUIPMENT, ETC.
9. ALL VENTS THRU ROOF SHALL BE INSTALLED A MINIMUM OF 10'-0" FROM ALL REBAR AND WINDING EQUIPMENT AND OFFSET MINIMUM OF 3'-0" FROM EDGE OF ROOF LINE AND FLASHING.
10. INDIRECT WASTE PIPING FROM EQUIPMENT, WHICH PRODUCE A COLD WATER BACKLOG, SHALL BE INSTALLED AS COLD DRAINAGE. ALL INDIRECT WASTE PIPING SHALL BE INSTALLED AS COLD DRAINAGE. ALL INDIRECT WASTE PIPING SHALL BE INSTALLED AS COLD DRAINAGE. ALL INDIRECT WASTE PIPING SHALL BE INSTALLED AS COLD DRAINAGE.
11. PROVIDE FLEX-LINE FOR FINAL CONNECTION TO EQUIPMENT ITEMS.





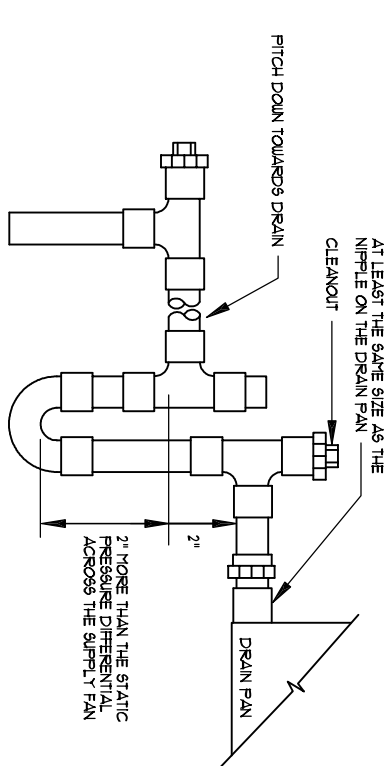
**SPUN-IN COLLAR DETAIL B**

NTA



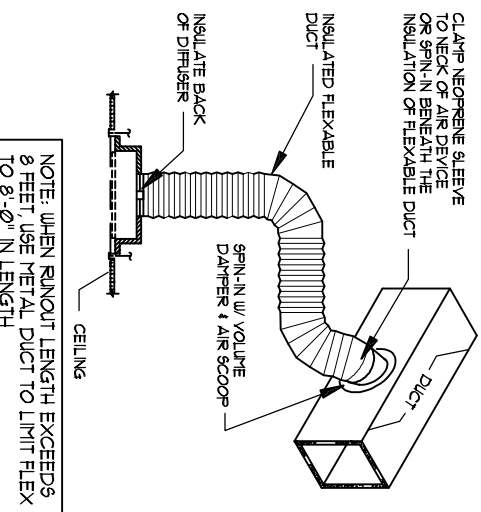
**LOW PRESSURE DUCT FITTINGS C**

NTA



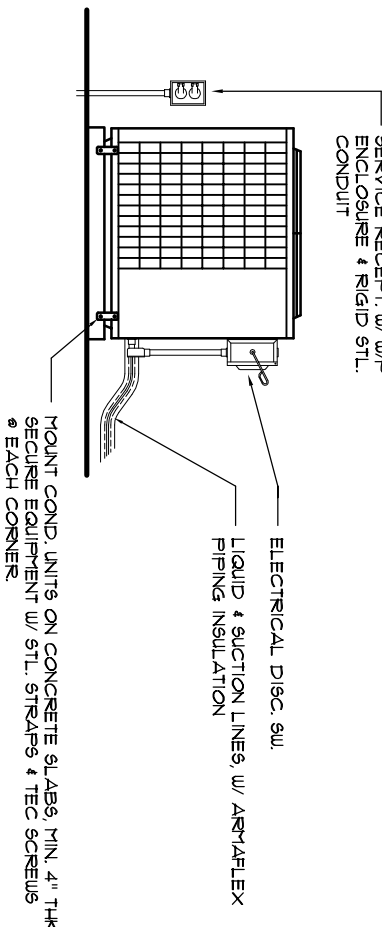
**AHU DRAIN TRAP D**

NTA



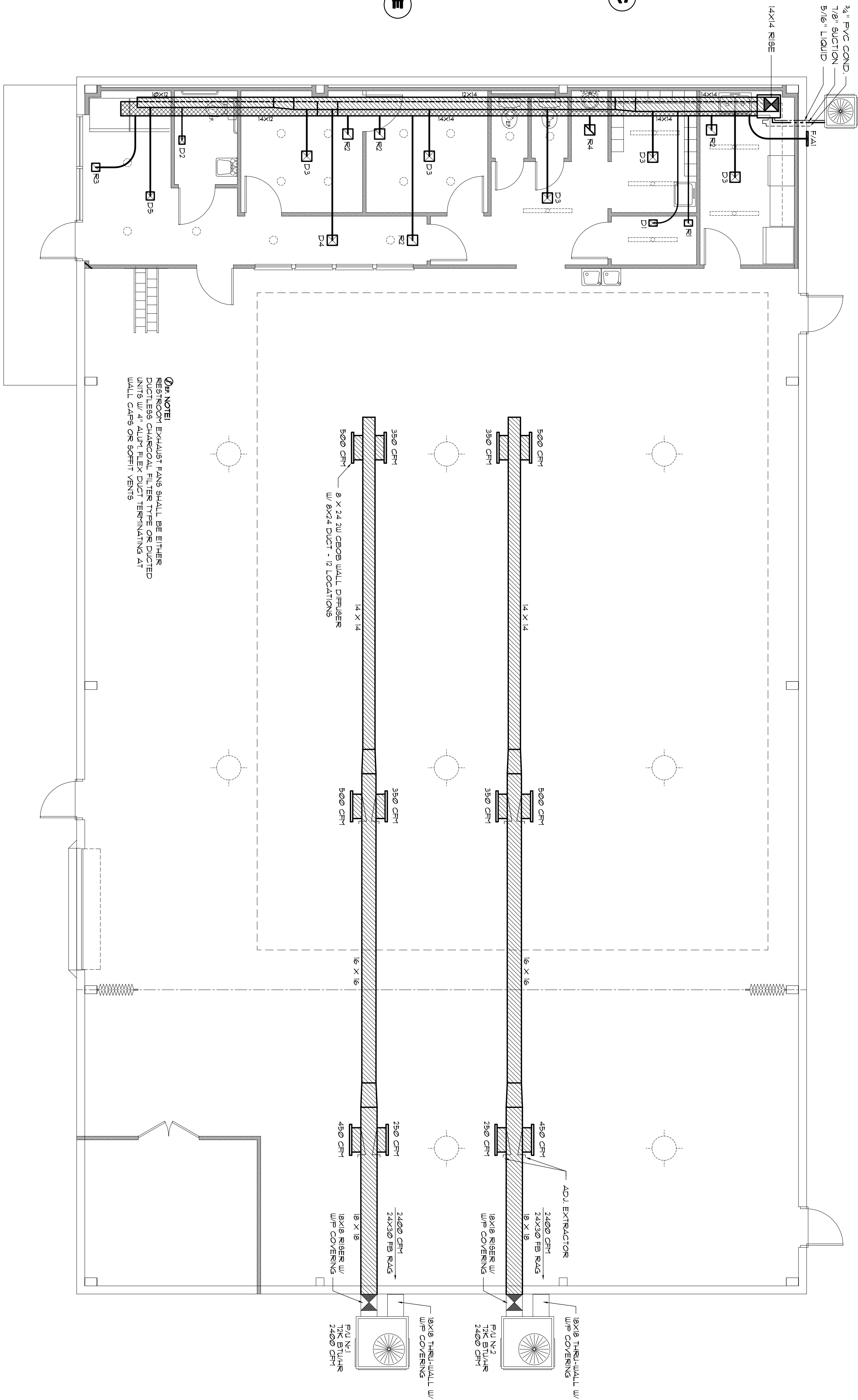
**SUPPLY DIFFUSER DETAIL E**

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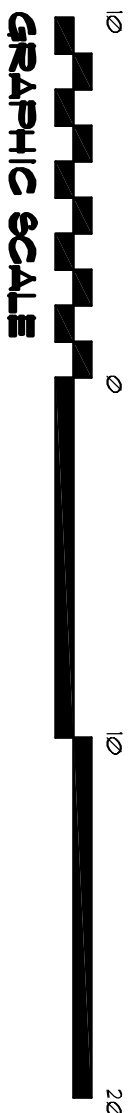
**GRAB C.U. Mounting DET. F**

NTA



**HYAC PLAN**

SCALE: 1/4" = 1'-0"



**EQUIPMENT REQUIREMENTS**

**CENTRAL SYSTEM DESCRIPTION**

NOTE: CONTRACTOR SHALL PROVIDE TURNING SPACE FOR ALL EQUIPMENT. CONTRACTOR SHALL PROVIDE 100% OF TURNING SPACE DATA TO THE ARCHITECT FOR REVIEW AND APPROVAL PRIOR TO THE INSTALLATION OF ANY MATERIALS.

NOTE: PROVIDE A PROPOSED TURNING SPACE AT EACH ZONE LOCATED 3'-0\"/>

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NOTE: PROVIDE A PROPOSED TURNING SPACE AT EACH ZONE LOCATED 3'-0\"/>

**H.V.A.C. Equipment SCHEDULE**

SCALE: NONE

OFFICE EQUIPMENT SPECIFICATION				
QTY	TOTAL COOL. CAPABILITY	HEATING	SEER	BTU/H
1	36,000 BTU	18,000 BTU	13.0	1200

EQUIPMENT BY LISTED MANUFACTURERS OR EXCEEDING THESE PERFORMANCE RATINGS ARE APPROVED AS EQUIVALENT.

NOTE: A. REFRIG. B. MOTOR C. PUMP D. FAN E. TANK F. BATTERY

NOTE: THIS PLAN IS SUGGESTED HOWEVER, JOB CONDITIONS SHALL GOVERN PLACEMENT, TURNING, PHYSICAL SIZES AND ALL OTHER ASPECTS OF THE INSTALLATION - REFER TO THE AS-BUILT DRAWING REQUIREMENTS.

EXHAUST FAN SCHEDULE				
HYAC	MODEL	HP/1/	CFM	EXH. VOL./H
EF-1	NUTONE	-	80	375

NOTE: REFER TO ELECTRICAL FOR ALL BATH FAN LOCATIONS

DIFFUSER SCHEDULE						
TK	CFM	SIZE	STYLE	PATN	FLEX	LOCATION
D1	160 CFM	6"x8	5/A	2W	4 1/2"	CEILING
D2	120 CFM	6"x8	5/A	2W	5 1/2"	CEILING
D3	50 CFM	10"x10	5/A	4W	7 1/2"	CEILING
D4	50 CFM	10"x10	5/A	2W	T 1/2"	CEILING
D5	160 CFM	10"x10	5/A	3W	8 1/2"	CEILING

NOTE: PROVIDE A PROPOSED TURNING SPACE AT EACH ZONE LOCATED 3'-0\"/>

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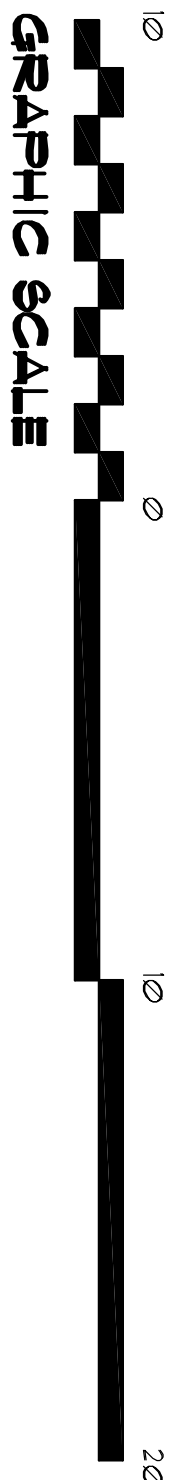
1. THE AIR FILTERS, SUPPLY DIFFUSERS, REGISTERS, RETURN GRILLES AND LOWERS SHALL BE PROVIDED BY THE MECHANICAL CONTRACTOR. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MECHANICAL CONTRACTOR'S REQUIRED PER PLAN INSTRUCTIONS.
2. THE AHU'S SHALL BE PROVIDED BY THE LANDLORD. INSTALLATION SHALL BE IN ACCORDANCE WITH THE MECHANICAL CONTRACTOR'S REQUIRED PER PLAN INSTRUCTIONS.
3. THE MECHANICAL CONTRACTOR SHALL COORDINATE WITH 6.C. AS REQUIRED PER PLAN INSTRUCTIONS.

- NOTE!**  
DUCT PLAN IS SUGGESTED, HOWEVER JOB CONDITIONS  
SHALL GOVERN PLACEMENT TURNS, PHYSICAL SIZES  
AND ALL OTHER ASPECTS OF THE INSTALLATION - REFER  
TO THE "AS-BUILT" DRAWING REQUIREMENTS

















SCALE: 1/4" = 1'-0"



## POWER SYMBOLS

- |                  |                        |
|------------------|------------------------|
| ①                | DUPLEX WALL RECEPTACLE |
| ①                | SINGLE MOV. RECEPTACLE |
| ①                | 240V OUTLET            |
| ① <sub>241</sub> | 240V FAN               |
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| ① <sub>355</sub> |                        |

## LIGHTING SYMBOLS

-  3-WAY WALL SWITCH  
 DPST WALL SWITCH (3-WIRE)  
 DPST WALL SWITCH (4-WIRE CIRCUIT)  
 2-WAY LED RECESSED SURFACE FIXTURE  
 LED LIGHT FIXTURE  
 LED HIGH BAY DOWN LIGHT  
 BATH 3-WAY LED LIGHT FIXTURE  
 300 LPS WP SECURITY FIXTURE  
 200W LED HI-BAY FIXTURE  
 SWITCH/FIXTURE WIRING  
 4-WIRE VESSEL/WIRE WIRING  
 CONTROL WIRE OR LOT VOLTAGE

## ELECTRICAL PLAN NOTES

INSTALLATION SHALL BE PER 2023 NAT'L. ELECTRIC CODE.  
WIRE ALL APPLIANCES, HVAC UNITS AND OTHER EQUIPMENT  
PER MANUF. SPECIFICATIONS.

ALL SMOKE DETECTORS SHALL BE 120V W/ BATTERY BACKUP OF THE PHOTOELECTRIC TYPE, AND SHALL BE INTERLOCKED TOGETHER.

CONSULT THE OWNER FOR THE NUMBER OF SEPARATE TELEPHONE LINES TO BE INSTALLED.

TELEPHONE, TELEVISION AND OTHER LOW VOLTAGE DEVICES OR OUTLETS SHALL BE AS PER THE OWNERS DIRECTIONS, & IN ACCORDANCE W/ APPLICABLE

ALL RECEPTICALS, NOT OTHERWISE DESIGNATED, SHALL BE ARC FAULT INTERRUPTER TYPE, EXCEPT DEDICATED OUTLETS.

ALL EXTERIOR RECEPTICALS SHALL BE WEATHER-RESISTANT TYPE (WP/GFI).

ELECTRICIANS SHALL PREPARE A BUILT SHOP DUGS INDICATING ALL ELECTRICAL WORK INCLUDING ANY CHANGES TO THE ELEC. PLAN ADDS TO THE ELEC. PLAN. RIGER DISCARD, AS-BUILT PANEL SCHEDULE W/ ALL CRITS IDENTIFIED W/ CRT N. DESCRIPTION & BRGR SERVICE END. ALL UNDERGROUND WIRE LOCATIONS/NO. AND DEPTH. RIGER DIA. SHALL INCLUDE WIRE SIZES/TYPE & EQUIPMENT TYPE W/ RATINGS & LOADS.

CONTRACTORS SHALL PROVIDE 1 COPY OF AS-BUILT DUGS TO OWNER & 1 COPY TO THE PERMIT ISSUING AUTHORITY.



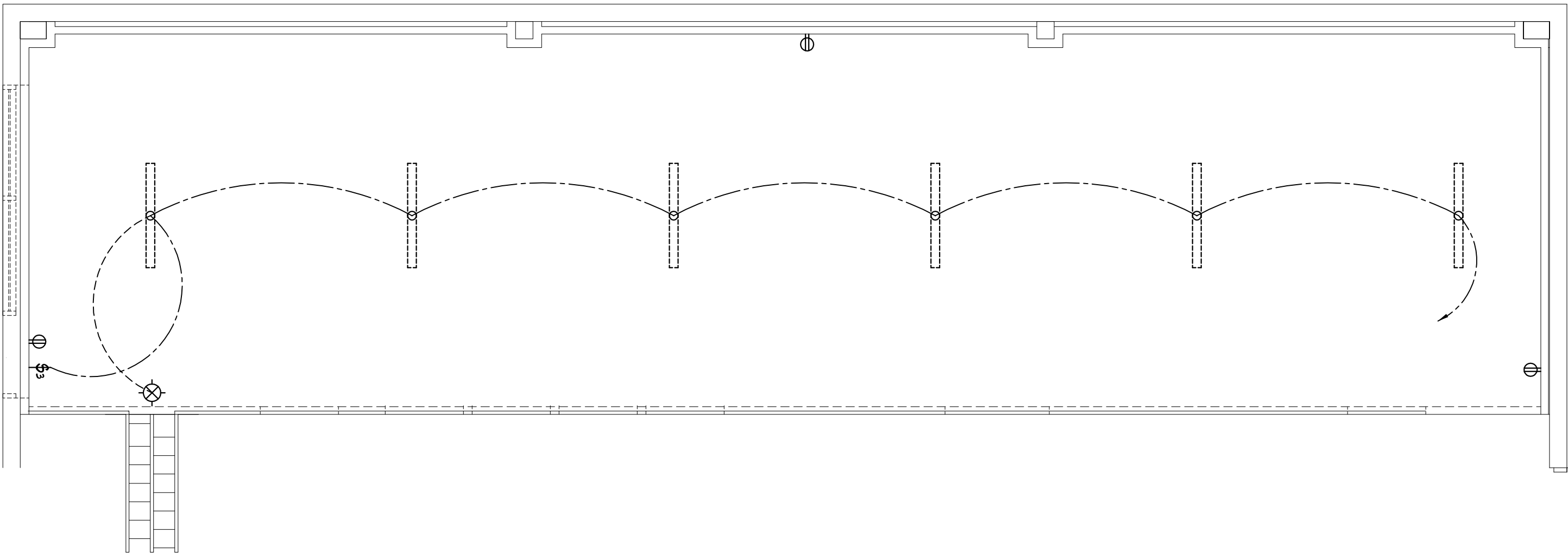
CU#	LOCATION	TRIP/POLES	WIRE SIZE	LOAD	4A CU	5B CU	6C CU	LOAD	WIRE SIZE	TRIP/POLES	LOCATION	CU#
1	CANOPY LIG	5A/1P	14U	0.00	0.48	-	-	0.40	12U	20A/1P	EXT SERV REC	2
3	HALL LIG	"	"	0.01	0.19	-	-	0.12	14U	5A/1P	SERV AREA REC	4
7	LOCKER LIG	"	"	0.15	-	1.15	-	1.00	8U	40A/2P	SERV AREA REC	6
10	500V SERV LIG	"	"	0.15	2.35	-	-	1.40	8U	40A/2P	SERV AREA OVEN	8
11	500V SERV LIG	"	"	0.15	-	-	-	1.40	8U	40A/2P	SERV AREA OVEN	9
13	LIFFT LOB REC	20A/1P	12U	0.80	-	1.51	-	0.72	12U	20A/1P	OFFICE REC	12
15	4TH GP REC	20A/1P	"	0.80	-	-	-	0.72	"	"	OFFICE REC	14
16	H-BAY LIG	20A/2P	"	1.16	1.98	-	-	0.90	"	"	YEND 1	16
17	"	"	"	0.80	-	1.10	-	0.90	"	"	YEND 2	18
19	500V SERV LIG REC	5A/1P	14U	"	1.15	-	-	1.10	14U	5A/1P	ELM	20
20	500V SERV LIG REC	5A/1P	14U	0.54	6.04	-	-	5.72	6U	60A/7P	ELM	22
23	"	"	"	0.54	-	-	-	5.50	"	"	"	24
25	L99 AREA LIG	12U	0.14	1.44	0.50	12U	-	0.16	6U	20A/1P	GP REC	26
28	"	12U	0.14	0.50	0.50	12U	-	0.16	6U	20A/1P	99A/2P + BOX	28
33	OFFICE CU	20A/1P	12U	1.33	5.40	-	-	1.00	6U	50A/7P	OFFICE ALU	32
35	"	"	"	0.54	5.40	-	-	0.54	6U	50A/7P	OFFICE ALU	34
36	99A/2P	"	"	0.54	1.08	-	-	0.54	6U	50A/7P	"	36
37	P/U N-1	60A/3P	6U	"	10.50	-	-	5.40	6U	60A/3P	P/U N-2	38
39	"	"	"	5.40	10.50	-	-	5.40	"	"	"	40
41	"	"	"	5.40	10.50	-	-	5.40	"	"	"	42

1A 330.0 CU / 100 V x 180.7 AMPERS  
 4B 213.4 CU / 100 V x 273.8 AMPERS  
 4C 226.9 CU / 100 V x 381.4 AMPERS  
 FEEDER SIZE: 3 x 4/0 - THW - CU x 2/0 - THW - CU - NHT.  
 1 x 4 - CU - GND 2/0 - C.

EQUIVALENT WATTAGES	
INC	CFL/FLU LED
40	8-12
60	13-18
75/100	18-22
100	23-30
150	30-55
HI-BAY LED:	4-5
LED T8 48":	6-8
LED T8 36":	9-13
	16-20
	25-28
	200
	13-20
	48

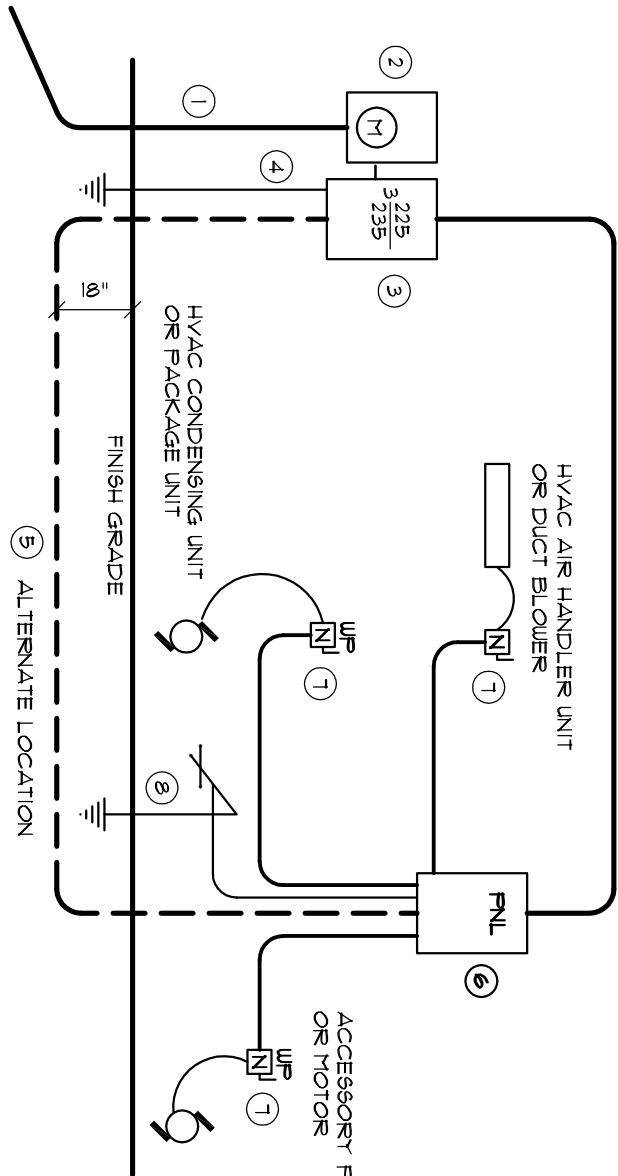
## ELECTRICAL NOTES: General

1. DO NOT SCALE THE ELECTRICAL DRAWINGS REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALL EQUIPMENT COMPONENT WITH WORK.
2. INSTALL ALL ELECTRICAL WORK IN CONFORMANCE WITH THE NEC PERMIT EDITION AND ITS AMENDMENTS AS ADOPTED BY THE PERMIT ISSUING AUTHORITY AT THE TIME OF CONSTRUCTION.
3. GROUNDING, GROUND AND MAIN DISCONNECTS TO STANDARD GROUND ROD(S) AND TO COLD WATER SUPPLY AS PER ARTICLE 250 OF NEC-1994.
4. INSTALL ONLY CUPPER WIRING ON THIS PROJECT. THU, TUL, CUN, AND TUL SHALL BE NOTED OTHERWISE, ALL CONDUITS SHALL BE GALVANNEE STEEL. ALL CONDUITS 1/2" AND LARGER SHALL BE STRANDED STEEL.
5. PROVIDE CONTINUITY OF NEUTRAL ON TUL-T-BRANCH CIRCUITS BY SPLICING AND BRINGING OUT A TAP, ASSURING NO OPEN-LOOPS OF NEUTRAL IN REPLACEMENT OF A DEVICE.
6. ON CO CODE TUL-T-CIRCUIT WIRING AS FOLLOWS: NEUTRAL - WHITE GROUND - GREEN LINE - ALL OTHER COLORS.
7. INSTALL ONLY HIGH POWER FACTOR BALLASTS AT FLUORESCENT FIXTURES.
8. INSTALL GFI BREAKERS OF DEVICES AT ALL BATHROOM, RESTROOM, KITCHEN, GARAGE, AND EXTERIOR RECEPTIONS AND AS NOTED ON THE DRAWINGS.
9. INSTALL ONLY THOSE ELECTRICAL DEVICES THAT BEAR A "UL" OR OTHER RECOGNIZED TESTING LAB LABEL. ALL MATERIALS SHALL BE NEW.
10. INSTALL ALL NON-PAID DISCONNECT SWITCHES AT ALL PIECES OF ELECTRICAL EQUIPMENT LOCATED WHERE SAID DEVICES IT IS NOT VISIBLE FROM THE LOCATED BREAKER THAT PROTECTS IT. 5/8" IN CONDUIT WITH THE LOAD, ALL DISCONNECT SWITCHES SHALL BE INSTALLED WITHIN 10' OF THE EQUIPMENT.
11. MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC WITH OVER-LOAD RELAYS IN EACH HOLOG.
12. ISOLATE DISMALAR CONDUIT AND TUBING METALS FROM SOIL, WATER, AND GAS PIPING AND OTHER BUILDING MATERIALS WHERE DANGER BY FRICTION OR ELECTROLYSIS MAY OCCUR EXCEPT WHERE ELECTRICAL GROUND IS PROVIDED.
13. REMOVAL AND INSTALL ALL ELECTRICAL DEVICES AND ITEMS SHALL BE DONE BY THE CONTRACTOR. THE CONTRACTOR SHALL DO THE FUNCTION AS DETAILED IN THE PLANS AND SPECIFICATIONS.
14. OUTLET BOXES SHALL BE PRESSED STEEL OR PLASTIC OR ALL DRY LOCATIONS FOR WET LOCATIONS, CAST ALLOY WITH THEATED HUB OUTLET BOXES SHALL BE INSTALLED.
15. CHECK ALL SYSTEMS WITH THE OWNER'S REPRESENTATIVE PRESENT TO VERIFY PROPER FUNCTION PRIOR TO CO.
16. COORDINATE ALL WORK THROUGH GC TO AVOID CONFLICTS. COORDINATE WITH HVAC CONTRACTOR AND ELECTRONICS SYSTEMS CONTRACTOR FOR THE LOCATION OF ELECTRICAL SYSTEMS INSTALLED, IN EACH CASE, WITH NO EXTRA COST TO THE OWNER.
17. EMERGENCY LIGHTING AND EXIT SIGNS, IF INDICATED ON THE PLANS, SHALL BE WIRED PER NEC 700-17F.
18. ALL PANEL SCHEDULES SHALL BE FULLY FILLED OUT AND SHALL BE TYPEWRITTEN. EA CIRCUIT SHALL BE CLEARLY IDENTIFIED A TO WHAT IS INCLUDED ON SAID CIRCUIT.
19. IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION.
20. THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF THE POWER COMPANY & TELEPHONE COMPANY.
21. REMOVE AND INSTALL DISCONNECT SWITCHES AND WIRING FOR EXISTING EQUIPMENT AND WIRING UNDER RECONSTRUCTIONS. CONTRACTOR SHALL BE RESPONSIBLE FOR THE REMOVAL AND REINSTALLATION OF THE SUPPLIED UNDER RECONSTRUCTIONS AND CONNECTED BY THE ELECTRICAL CONTRACTOR.
22. ALL RACEWAYS BELOW GROUND SHALL BE A MINIMUM OF 3/4".
23. ALL CIRCUIT BREAKERS, TWO AND THREE POLE, SHALL BE COMPLY WITH NO. 10 HANDLES OR HANDLES SHALL BE ACCEPTABLE.
24. ALL PILES, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE CURRENT LISTED TYPE (C.L.) RATED 200000 AIC.
25. ELECTRICAL CONTRACTORS SHALL VERIFY ALL COMPONENTS FOR ALL ELECTRICAL APPLICATIONS. DETERMINE THE CORRESPONDENCE OR SAME, ANY DISCREPANCY SHALL BE REPORTED TO THE OWNER PRIOR TO FABRICATING ANY MATERIALS ORDERING COMPONENTS OR DOING ANY WORK.
26. CIRCUITS ON PANEL, SCHEDULE (AND PLANS) ARE TO DETERMINE LOAD DATA AND SIZE THE CONTRACTOR SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS AND WIRING TO SUIT JOB CONDITIONS, AND BALANCE THE JOB, THROUGHOUT.
27. CHECK EQUIPMENT FOR PROPER VOLTAGE, PHASE AND AMPERAGE RATING PRIOR TO CONNECTION TO CIRCUITS.
28. PANEL, BOARD, SHALL BE CIRCUIT BREAKER TYPE, VERIFY NUMBER AND SIZES OF CIRCUITS.
29. WHEN CONDUIT RUNS EXCEED 200 FEET, PULL BOXES SHALL BE INSTALLED SO THAT NO PULL EXCEEDS 140 LBS DISTRIBUTE.
30. ELECTRICAL EQUIPMENT, AIR RATING AND FEEDER SIZE SHOWN ON THE PLANS ARE DESIGNED FOR MAX. AVAILABLE FAULT CURRENT AND MAX. ALLOWABLE VOLTAGE DROP, RESPECTIVELY.



# FORGOTTEN

SCALE: 1/4" = 1'-0"



- ① Service Engineers: Service Contractors: 1/2" rigid conduit, min. 1/2" bend radius, 1/2" minimum depth. Service Contractor shall provide all conduit and conduit fittings. Service Contractor shall provide all conduit and conduit fittings. Service Contractor shall provide all conduit and conduit fittings.
- ② Meter Enclosures: Weatherproof, UL Listed.
- ③ Main Disconnect: Switch, rated or Min. 600V, weatherproof, UL Listed.
- ④ Service entrance conductors: 1/2" minimum, and 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long.
- ⑤ Service Entrance: 1/2" minimum, and 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long.
- ⑥ Service Entrance: 1/2" minimum, and 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long.
- ⑦ Service Entrance: 1/2" minimum, and 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long.
- ⑧ Service Entrance: 1/2" minimum, and 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long, and/or conductors installed foundations shall be 1/2" long.

THE MINIMUM AIC RATING FOR PANEL BOARDS, BREAKERS AND DISCONNECT SWITCHES SHALL BE 22,000 AIC.

## ELECTRICAL DESIGN DIAGRAM: 225A

SCALE: NONE





DEPARTMENT OF GROWTH MANAGEMENT  
205 North Marion Avenue  
Lake City, Florida 32055  
Telephone: (386) 719-5750  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF  
ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF  
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE  
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 05/21/2025

Request Type: Site Plan Review (SPR) ☒ Special Exception (SE) ☐ Variances (V) ☐

Comprehensive Plan Amendment/Zoning (CPA/Z) ☐ Certificate of Appropriateness (COA) ☐

Project Number: SPR 25-06

Project Name: Envy Elite

Project Address: TBD

Project Parcel Number: 02703-014

Owner Name: TJL Associates LLC

Owner Address: 176 SW Wilshire Dr, Lake City, FL

Owner Contact Information: Telephone Number: 386-752-2336 Email: apirenallc@gmail.com

Owner Agent Name: Carol Chadwick, PE

Owner Agent Address: 1208 SW Fairfax Glen, Lake City, FL

Owner Agent Contact Information: Telephone: 307-680-1772 Email: ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.



**Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting**

**Building Department: Reviewed by:** Signed by: Scott Thomasen 7C2DC476A33B441... **Date:** 5/29/2025

It is suggested that ADA access aisle be swapped the the other side as most van access is on the passenger side. This is not a requirement but a suggestion.

**Planning and Zoning: Reviewed by:** Signed by: Bryan S. Thomas B0C7E588C89E4F2... **Date:** 5/27/2025

See email for Planning and Zoning Comments.

**Business License: Reviewed by:** Signed by: Marshall Sona EBB18D144D974CD... **Date:** 5/27/2025

will need to apply for business tax receipt

**Code Enforcement: Reviewed by:** Signed by: Marshall Sona EBB18D144D974CD... **Date:** 5/27/2025

No liens, codes or violations

**Permitting: Reviewed by:** Signed by: Loy Stockstill ED98F8FE7127496... **Date:** 5/21/2025

New construction permit will be required.



## Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

**Water Department: Reviewed by:** Signed by: Mike L. Osborn Jr. LIBA01E755AC0248B **Date:** 5/21/2025

No comments at this time

**Sewer Department: Reviewed by:** DocuSigned by: Cody Pridgen LIBA01E755AC0248B **Date:** 5/23/2025

Sewer plant has available capacity

**Gas Department: Reviewed by:** Signed by: Steve Brown 8B57D0CE8F2F4B5 **Date:** 5/27/2025

No comment at this time.

**Water Distribution/Collection: Reviewed by:** Signed by: Brian Scott 703B6009E9A04C **Date:** 5/21/2025

Water taps are in place already, and any new taps will be up to the developer  
Sewer taps are in place and flow to the private liftstation. Any relocation of taps will be up to the developer

**Customer Service: Reviewed by:** DocuSigned by: Shasta Pelham 8B0B7A03165C4ED **Date:** 5/29/2025

The Utility Department approved a tap application for water and sewer services. The Distributions & Collections Department noted; the water and sewer taps are in place, the sewer tap flows to a private lift station that empties into the City's sewer system, a pressure reducer is recommended for this location. The Water Treatment Plant noted; an RP backflow preventer is required per State Law F.A.C. 62-555.360. Locates must be obtained to ensure that the existing utility infrastructure is not damaged or obstructed.



Public Safety – Public Works, Fire Department, Police Department

Public Works: Reviewed by:  Date: 5/27/2025

No comment at this time.

Fire Department: Reviewed by:  Date: 5/21/2025

No comments at this time. Fire flow is met according to the provided paperwork.

Police Department: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.



State and County- FDOT, Suwannee River Water Management, School Board, Columbia County

FDOT: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Suwannee River Water Management: Reviewed by: DocuSigned by: Garrett Spencer Date: 5/21/2025

The site was issued ERP Permit Number ERP-023-211147-2 ENVY ELITE for the proposed development.

School Board: Reviewed by: DocuSigned by: Keith Hatcher Date: 5/22/2025

No comments at this time.

County Engineer: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

County Planner: Reviewed by: Signed by: William Goodin Date: 5/21/2025

no comments



# AKE CITY GROWTH MANAGEMENT

## STAFF ANALYSIS REPORT

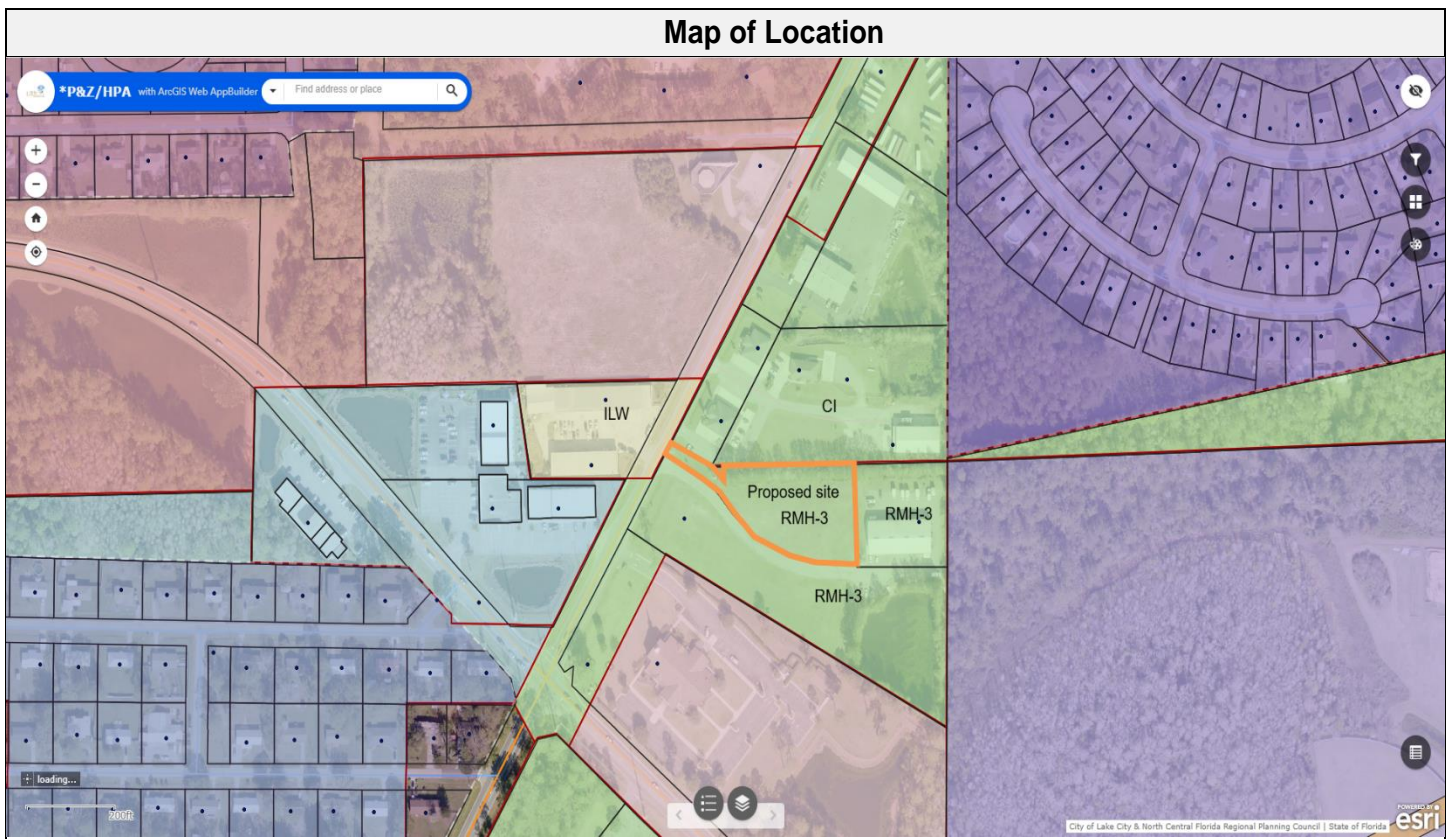
Project Information	
Project Name and Case No.	Envy Elite Site Plan Review SPR 25-06
Applicant	Carol Chadwick, PE, agent
Owner	TJL Associates, LLC
Requested Action	<ul style="list-style-type: none"> <li>Review a site plan for a new construction Cheerleading Club, private club.</li> </ul>
Hearing Date	07-08-2025
Staff Analysis/Determination	Sufficient for Review
Prepared By	Robert Angelo

Subject Property Information	
Size	+/- 1.21 Acres
Location	TBD, Lake City, FL
Parcel Number	01-4S-16-02703-014
Future Land Use	Commercial
Proposed Future Land Use	Commercial
Current Zoning District	Commercial Intensive
Proposed Zoning	Commercial Intensive
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Commercial	CI	Office	
E	Residential Medium	RMH-3	Warehouse Building	
S	Residential Medium	RMH-3	Vacant	
W	Commercial	ILW	Repair Shops	



Zoning Review		
Zoning Requirements	Required/Section of LDR	Actual
Minimum lot requirements.	None/ 4.13.6.1 200 Feet lot frontage	1.989 Acres
Minimum yard requirements (setbacks) Front-Each Side-Rear.	4.13.7.1 Front 20 Side 0 Rear 15	Meets required setbacks.
Are any structure within 35 feet of a wetland?	35-foot buffer/ 4.13.7	No wetland
Max height of signs.	35-foot/ 4.2.20.7.3	No sign proposed
Max square footage of signs.	No signs proposed/ 4.2.20.7.5	No sign proposed
Lot coverage of all buildings.	1.0/ 4.13.9	13 % coverage.
Minimum landscape requirements.	10 foot if abutting a residential district or none if not/ 4.15.10	Meets requirements.
Minimum number of parking spaces.	15 spaces/ 4.2.15.16	15 spaces
Minimum number of ADA parking spaces.	1 space	1 space
Parking space size requirement.	10x20	10x20
ADA parking space size.	12x20 with 5x20 access aisle.	12x20 with 5x20 access aisle.





## Picture of Location



## Summary of Request

Applicant has petitioned to get an approval of a site plan to build a new cheerleading club.



**File Attachments for Item:**

**iii. CPA 25-04**, an application by Carol Chadwick, PE, as agent Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Future Land Use Plan Map of the Comprehensive Plan by changing the future land use classification from RESIDENTIAL MEDIUM to INDUSTRIAL on land located on parcels 02703-004 and 02703-012.





## GROWTH MANAGEMENT

205 North Marion Ave.  
Lake City, FL 32055  
Telephone: (386) 719-5750  
E-mail: growthmanagement@locfla.com

### FOR PLANNING USE ONLY

Application # \_\_\_\_\_  
Application Fee \$ \_\_\_\_\_  
Receipt No. \_\_\_\_\_  
Filing Date \_\_\_\_\_  
Completeness Date \_\_\_\_\_

## COMPREHENSIVE PLAN AMENDMENT

Small Scale: \$750.00    Large Scale: \$1,500.00

### A. PROJECT INFORMATION

1. Project Name: CENTURY GLEN
2. Address of Subject Property: 1509 SW CENTURY GLEN & 1563 SW CENTURY GLEN, LAKE CITY, FL 32025
3. Parcel ID Number(s): 04-4S-16-02703-012 & 01-4S-16-02703-004
4. Existing Future Land Use Map Designation: RESIDENTIAL - MEDIUM
5. Proposed Future Land Use Map Designation: INDUSTRIAL
6. Zoning Designation: RMH-3
7. Acreage: 3.329
8. Existing Use of Property: AMBULANCE DISPATCH & VACANT
9. Proposed use of Property: AMBULANCE DISPATCH & LIGHT INDUSTRIAL

### B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): holder) CAROL CHADWICK, PE Title: CIVIL ENGINEER  
Company name (if applicable): \_\_\_\_\_  
Mailing Address: 1208 SW FAIRFAX GLEN  
City: LAKE CITY State: FL Zip: 32025  
Telephone: (\_\_\_\_) 307.680.1772 Fax: (\_\_\_\_) \_\_\_\_\_ Email: ccpewyo@gmail.com

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*.  
Property Owner Name (title holder): SEE ATTACHED  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: (\_\_\_\_) \_\_\_\_\_ Fax: (\_\_\_\_) \_\_\_\_\_ Email: \_\_\_\_\_

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**



### C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: NA  
If yes, is the contract/option contingent or absolute: ☐ Contingent ☐ Absolute
2. Has a previous application been made on all or part of the subject property? ☐ Yes ☒ No  
Future Land Use Map Amendment: ☐ Yes ☐ No ☒  
Future Land Use Map Amendment Application No. \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes ☐ No ☒  
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance: ☐ Yes ☐ No ☒  
Variance Application No. \_\_\_\_\_  
Special Exception: ☐ Yes ☐ No ☒  
Special Exception Application No. \_\_\_\_\_

### D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
4. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. Proof of Ownership (i.e. deed).
7. Agent Authorization Form (signed and notarized).
8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
  - a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = \$750.00
  - b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = \$1,500.00 or actual city cost
  - c. Text Amendment to the Comprehensive Plan = \$750



10. All property owners within three hundred (300) feet be notified by certified mail by the proponent and proof of the receipt of these notices be submitted as part of the application package submittal.

The Growth Management Department shall supply the name and addresses of the property Owners, the notification letters and the envelopes to the proponent.

No application shall be accepted or processed until the required application fee has been paid.

### NOTICE TO APPLICANT

**All ten (10) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.**

**A total of two (2) paper copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.**

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

---

Applicant/Agent Name (Type or Print)

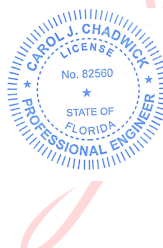
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Applicant/Agent Signature

---

Date

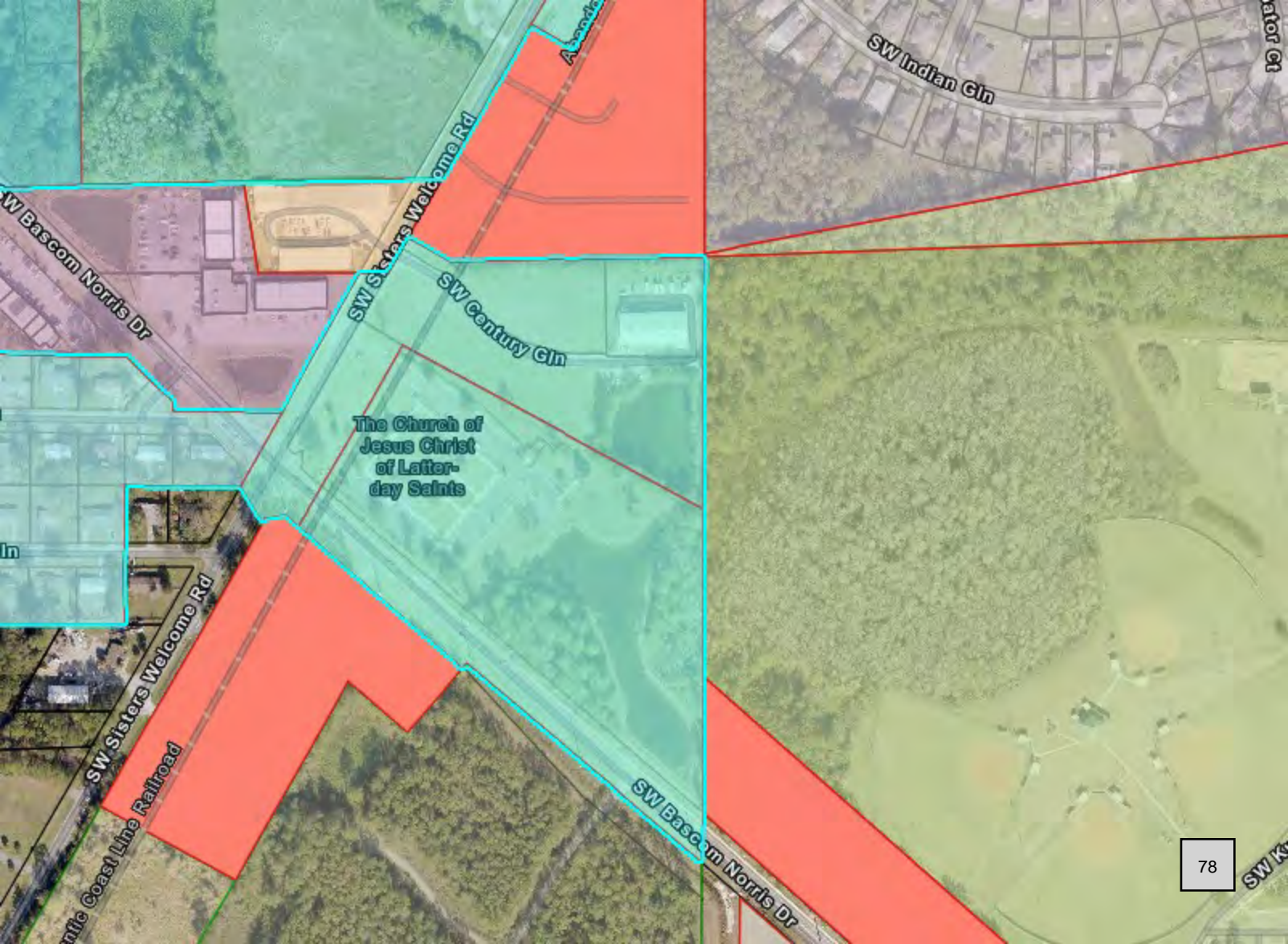
Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A014  
10D0000018D463  
B4E7500032FEE,  
cn=Carol  
Chadwick  
Date: 2025.06.10  
15:22:01 -04'00'











The Church of  
Jesus Christ  
of Latter-  
day Saints



CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Concurrency Impact Analysis

One parcel is currently vacant. The other parcel is an ambulance dispatch using the City's sewer and water system. The proposed commercial site will utilize City sewer and water. There is not enough information to estimate water or sewer use. A traffic study, if necessary, will need to be conducted with the site plan.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9<sup>th</sup> edition, ITE code 820
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:

- Trip generation: 6103 ADT & 619 Peak PM trips
- Potable Water: ? gallons per day
- Potable Water: ? gallons per day
- Solid Waste: ? tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A014  
10D0000018D463  
B4E7500032FEE,  
cn=Carol  
Chadwick  
Date: 2025.06.10  
15:21:17 -04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218



CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Comprehensive Plan Consistency Analysis

The CENTURY GLEN proposed site consistent with Lake City's Comprehensive Plan.

### Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

*Consistency: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.*

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

*Consistency: The subject property is located on SW Sisters Welcome Road. The property across the road is currently zoned ILW.*

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

*Consistency: The property across the road is currently zoned ILW.*

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2026.

*Consistency: One parcel is utilized for ambulance dispatch. There are no current plans to develop*

□



*the other parcel.*

- Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

*Consistency: The site utilizes a previously permitted stormwater management system.*

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

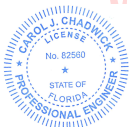
*Consistency: No impacts to adjacent land topography or soil conditions will result due to a zoning or land use change of the subject property.*

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

*Consistency: This development is consistent with the properties adjacent to SW Sisters Welcome Road zoning ILW.*

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A014  
10D0000018D463  
B4E7500032FEE,  
cn=Carol  
Chadwick  
Date: 2025.06.10  
15:21:01 -04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218



# COLUMBIA COUNTY

## Property Appraiser

### Parcel 01-4S-16-02703-012

#### Owners

RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC  
PO BOX 2821  
PONTE VEDRA BEACH, FL 32004

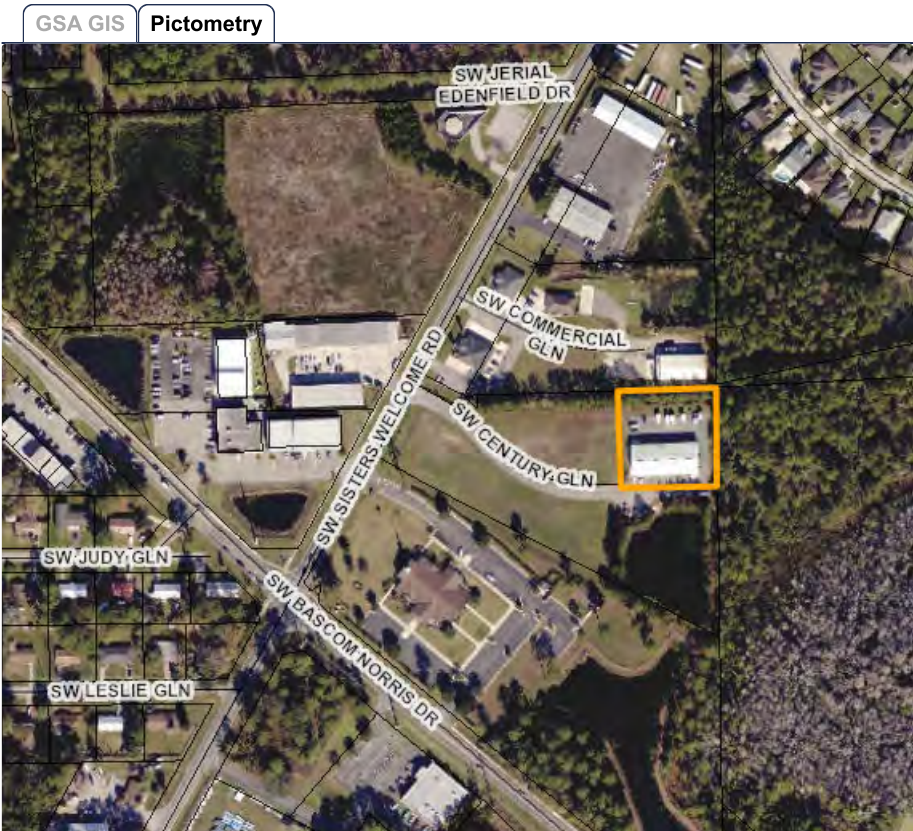
#### Parcel Summary

Location	1509 SW CENTURY GLN
Use Code	1700: OFFICE BLD 1STY
Tax District	1: CITY OF LAKE CITY
Acreage	1.0000
Section	01
Township	4S
Range	16
Subdivision	DIST 2

#### Legal Description

BEG AT NE COR OF SE1/4, RUN W 208.75 FT, S 208.75 FT, E 208.75 FT, N 208.75 FT TO POB.

1024-2512, WD 1539-44,



30° 10' 18" N 82° 39' 29" W

#### Working Values

	2025
Total Building	\$313,802
Total Extra Features	\$24,194
Total Market Land	\$73,508
Total Ag Land	\$0
Total Market	\$411,504
Total Assessed	\$411,504
Total Exempt	\$0
Total Taxable	\$411,504
SOH Diff	\$0

#### Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$300,983	\$299,730	\$280,562	\$233,361	\$235,971	\$232,393
Total Extra Features	\$24,194	\$24,194	\$24,434	\$24,434	\$24,434	\$24,434
Total Market Land	\$73,508	\$73,508	\$73,508	\$73,508	\$73,485	\$73,485
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$398,685	\$397,432	\$378,504	\$331,303	\$333,890	\$330,312
Total Assessed	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
SOH Diff	\$0	\$0	\$14,071	\$0	\$0	\$0

#### Document/Transfer/Sales History



Instrument / Official Record	Date	Q/U .....	Reason	Type	V/I .....	Sale Price	Ownership
<u>WD</u> 1539/44	2025-04-29	<u>Q</u> .....	<u>01</u> .....	WARRANTY DEED	Improved	\$750,000	Grantor: SELLERS HERBERT S III REVOCABLE TRUST Grantee: RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC
<u>WD</u> 1024/2512	2004-08-30	<u>U</u> .....	<u>09</u> .....	WARRANTY DEED	Vacant	\$100,000	Grantor: LESLIE EARL PEELER Grantee: SELLERS HERBERT S III REVOCABLE TRUST

## Buildings

### Building # 1, Section # 1, 233289, WAREHOUSE

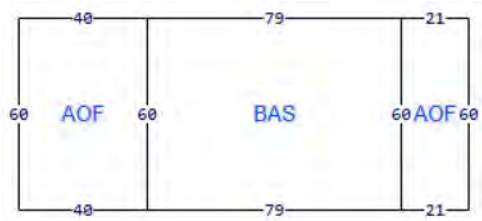
Type	Model	Heated Area	Gross Area	Repl Cost New	YrBlt .....	Year Eff	Other % Dpr	Normal % Dpr	% Cond	Value
<u>8700</u> .....	<u>06</u> .....	8400	8400	\$387,410	2006	2006	0.00%	19.00%	81.00%	\$313,802

### Structural Elements

Type	Description	Code	Details
EW	Exterior Wall	25	MOD METAL
EW	Exterior Wall	20	FACE BRICK
RS	Roof Structure	10	STEEL FRME
RC	Roof Cover	12	MODULAR MT
IW	Interior Wall	01	MINIMUM
IF	Interior Flooring	03	CONC FINSH
CE	Ceiling	04	NONE
AC	Air Conditioning	01	NONE
HT	Heating Type	01	NONE
PL	Plumbing	4.00	
FR	Frame	05	STEEL
SH	Story Height	18.00	
RMS	RMS	7.00	
STR	Stories	1.	1.
COND	Condition Adjustment	03	03

### Sub Areas

Type	Gross Area	Percent of Base	Adjusted Area
<u>AOF</u> .....	1,260	150%	1,890
<u>AOF</u> .....	2,400	150%	3,600
<u>BAS</u> .....	4,740	100%	4,740



## Extra Features



Code	Description	Length	Width	Units	Unit Price	AYB	% Good Condition	Final Value
0260	PAVEMENT-ASPHALT			15887.00	\$1.50	2006	100%	\$23,831
0166	CONC,PAVMT			145.00	\$2.50	2006	100%	\$363

## Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
1700	1STORY OFF		.00	.00	43,560.00	\$2.25/ <u>SF</u>	1.00	0.75	\$73,508

## Personal Property

Account	Secured/ Unsecured	Owner	Description
02122-100	Unsecured	CENTURY AMBULANCE SERVICE INC	B - BUSINESS

## Permits

Date	Permit	Type	Status	Description
Jul 3, 2018	18-89	COMMERCIAL	COMPLETED	COMMERCIAL
Sep 7, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL
Feb 17, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL

## TRIM Notices

2024  
2023  
2022

## Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.



**Prepared By and Return To:**

Esquire Title & Trust  
501 W. Bay Street  
Jacksonville, FL 32202

Order No.: 25-0079

Property Appraiser's Parcel I.D. (folio) Number:  
01-4S-16-02703-012

**WARRANTY DEED**

THIS WARRANTY DEED dated this the 29th day of April, 2025, by Herbert S. Sellers III, Individually and as Trustee of the Herbert S. Sellers III Revocable Trust, and having its principal place of business at 6063 Kingsley Lake Drive, Kingsley Lake, FL 32091 (the "Grantor"), to Riverwood Investments of Jacksonville LLC, a Florida Limited Liability Company, whose post office address is PO Box 2821, Ponte Vedra Beach, FL 32004 (the "Grantee").

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee, all that certain land situated in County of Columbia, State of Florida, viz:

All that certain property located in Columbia County, Florida, to-wit:

The certain piece, parcel, or tract of land lying and being in the Southeast  $\frac{1}{4}$  of Section 1, Township 4 South Range 16 East Columbia County, Florida and being particularly described as:

Begin at the Northeast corner of the SE  $\frac{1}{4}$ , Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run thence South  $88^{\circ}57'48''$  West, along the North line of said SE  $\frac{1}{4}$ , 208.75 feet; thence South  $00^{\circ}34'56''$  West, parallel to the East line of said SE  $\frac{1}{4}$  208.75 feet, thence North  $88^{\circ}57'48''$  East, parallel to said North line, 208.75 feet to said East line; thence North  $00^{\circ}34'56''$  East, along said East line 208.75 feet to the point of beginning.

Together with and subject to that certain Easement Deed recorded in the Official Records Book 1042 Page 214 of Columbia County, Florida.

The property described herein is not now, nor has it ever been, the primary residence/homestead of the owner or the owner's spouse or dependent child, if any.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

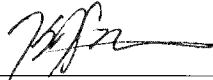


AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2024.



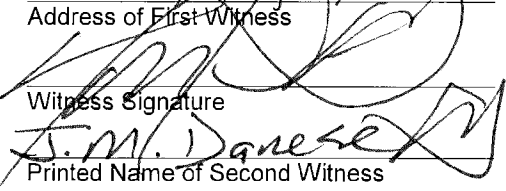
IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

  
\_\_\_\_\_  
Witness Signature

KEVIN HARRIS  
\_\_\_\_\_  
Printed Name of First Witness

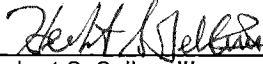
501 W Bay Street, Jax, FL 32202  
\_\_\_\_\_  
Address of First Witness

  
\_\_\_\_\_  
Witness Signature

J.M. Danese  
\_\_\_\_\_  
Printed Name of Second Witness

501 W Bay St, Jax, FL 32202  
\_\_\_\_\_  
Address of Second Witness

Herbert S. Sellers III Revocable Trust

BY:   
\_\_\_\_\_  
Herbert S. Sellers III  
Trustee and Individually

**Grantor Address:**  
6063 Kingsley Lake Drive  
Kingsley Lake, FL 32091

State of Florida  
County of Duval

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, 29th day of April, 2025 by Herbert S. Sellers, Individually and as Trustee of the Herbert S. Sellers III Revocable Trust, who (check one) ☐ is personally known to me or ☒ has produced a valid driver's license as identification.

  
\_\_\_\_\_  
Notary Public:  
Printed Name:  
My Commission Expires: \_\_\_\_\_

[NOTARY SEAL]

Joseph M. Danese, III  
Notary Public  
State of Florida  
My Commission Expires 08/11/2025  
Commission No. HH 116452





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC

### Filing Information

**Document Number** L13000060673  
**FEI/EIN Number** APPLIED FOR  
**Date Filed** 04/25/2013  
**Effective Date** 04/20/2013  
**State** FL  
**Status** ACTIVE

### Principal Address

3655 University Blvd West  
JACKSONVILLE, FL 32217

Changed: 04/23/2019

### Mailing Address

Box 2821  
Ponte Vedra Beach, FL 32004

Changed: 04/23/2019

### Registered Agent Name & Address

ADAMS, SCOTT  
4323 SHIRLEY AVE  
JACKSONVILLE, FL 32210

Name Changed: 04/24/2025

Address Changed: 04/24/2025

### Authorized Person(s) Detail

#### **Name & Address**

Title MGRM

WOOLVERTON, DERICK  
P.O BOX 2821  
PONTE VEDRA BEACH, FL 32004

### Annual Reports



Report Year	Filed Date
2023	04/26/2023
2024	04/03/2024
2025	04/24/2025

#### **Document Images**

<a href="#">04/24/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/03/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/26/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/12/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/28/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/23/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/23/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/25/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/21/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/15/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/15/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/27/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/25/2013 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>



# COLUMBIA COUNTY

## Property Appraiser

### Parcel 01-4S-16-02703-004

#### Owners

PEELER LESLIE EARL  
P O BOX 2238  
LAKE CITY, FL 32056-2238

#### Parcel Summary

Location	1563 SW CENTURY GLN
Use Code	0000: VACANT
Tax District	1: CITY OF LAKE CITY
Acreage	2.3290
Section	01
Township	4S
Range	16
Subdivision	DIST 2
Lineage	Split from 01-4S-16-02703-004

#### Legal Description

BEG NE COR OF SE1/4, W 541.66 FT, SW 200 FT, SE 727.01 FT, N 536 FT TO POB EX 1 AC DESC ORB 1024-2512 & COMM AT NE COR OF SE1/4, W 541.66 FT FOR POB, NW 100 FT TO E R/W OF SW SISTERS WELCOME RD, SW ALONG R/W 200 FT, SE 100 FT, NE 200 FT TO POB. EX 448 SQ FT DESC IN WD 1163-834 EX 2.13 AC DESC IN WD 1523-539.



669-578, 676-620, 867-335, 1039-1855, 1163-834,

30° 10' 18" N 82° 39' 32" W

#### Working Values

	2025
Total Building	\$0
Total Extra Features	\$0
Total Market Land	\$44,042
Total Ag Land	\$0
Total Market	\$44,042
Total Assessed	\$44,042
Total Exempt	\$0
Total Taxable	\$44,042
SOH Diff	\$0

#### Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$0	\$0	\$0	\$0	\$0	\$0
Total Extra Features	\$0	\$0	\$0	\$0	\$0	\$0
Total Market Land	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Assessed	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
SOH Diff	\$0	\$0	\$0	\$0	\$0	\$0



Document/Transfer/Sales History

Instrument / Official Record	Date	Q/U	Reason	Type	V/I	Sale Price	Ownership
WD 1163/0834	2008-12-04	Q	03	WARRANTY DEED	Vacant	\$100	Grantor: LESLIE E PEELER Grantee: CITY OF LAKE CITY
WD 1039/1855	2004-12-10	Q	03	WARRANTY DEED	Vacant	\$50,000	Grantor: FEAGLE & SMITH Grantee: PEELER
WD 0867/0335	1998-10-05	Q		WARRANTY DEED	Vacant	\$28,500	Grantor: WANDA KATO Grantee: PEELER
WD 0669/0577	1988-02-26	U		WARRANTY DEED	Vacant	\$10,000	Grantor: FEAGLE MARLIN & Grantee: BURNETT & DUBOSE

Buildings

None

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
0000	VAC RES	00	.00	.00	1.87	\$21,500.00/AC	1.87	0.85	\$34,174
1000	VACANT COMMERCIAL		.00	.00	0.46	\$21,500.00/AC	0.46	1.00	\$9,868

Personal Property

None

Permits

None

TRIM Notices

2024  
2023  
2022

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.



**THIS INSTRUMENT PREPARED BY  
AND RETURN TO:**

**MARLIN M. FEAGLE, ESQUIRE**  
**FEAGLE & FEAGLE, ATTORNEYS, P.A.**  
153 NE Madison Street  
Post Office Box 1653  
Lake City, Florida 32056-1653  
Florida Bar No. 0173248

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, existence of liens, the quantity of lands included, or the location of the boundaries. The names, addresses, tax identification numbers and legal description were furnished by the parties to this instrument.

Inst:200812021792 Date:12/4/2008 Time:10:46 AM  
Doc Stamp-Deed:0.70  
22 DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1163 P:834

**WARRANTY DEED**

**THIS INDENTURE**, made this 4<sup>th</sup> day of December, 2008, between **LESLIE EARL PEELER**, a married person not residing on the property, whose mailing address is Post Office Box 2238, Lake City, Florida 32056-2238, party of the first part, Grantor, and **THE CITY OF LAKE CITY**, a municipal corporation existing under the laws of the State of Florida, whose mailing address is Post Office Box 1687, Lake City, Florida 32056-1687, party of the second part, Grantee,

**W I T N E S S E T H:**

That said grantor, for and in consideration of the sum of **TEN AND NO/100 (\$10.00) DOLLARS**, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run S.88°58'33"W. along the North line of said Southeast 1/4 a distance of 507.76 feet to the POINT OF BEGINNING; thence S.00°56'09"W. 27.18 feet to a point on the Northeasterly Right-of-Way line of SW Century Glen; thence N.50°44'43"W. along said Northeasterly Right-of-Way line 42.02 feet to the point of intersection of said Right-of-Way line with the North line of said Southeast 1/4 and also with the



former Easterly line of the Seaboard Coastline Railroad (now abandoned); thence N.88°58'33"E. along the North line of said Southeast 1/4 a distance of 32.98 feet to the POINT OF BEGINNING. Containing 448 Square Feet, more or less.

**N.B.** The Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the Constitution of the State of Florida, nor is it contiguous to or a part of homestead property.

Tax Parcel No.: 01-4S-16-02703-004 (parent parcel)

**TOGETHER WITH** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD** the same in fee simple forever.

**AND** the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

**IN WITNESS WHEREOF**, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
in the presence of:

*Diane S. Edenfield*  
Witness

DIANE S. EDENFIELD  
Print or type name

*Charlene Liz*  
Witness

Charlene Liz  
Print or type name

*[Signature]* (SEAL)  
LESLIE EARL PEELER



**STATE OF FLORIDA  
COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 17<sup>th</sup> day of December, 2008, by **LESLIE EARL PEELER** who is personally known to me or who has produced a Florida driver's license as identification.

 **Diane S. Edenfield**  
Commission # DD514461  
(NOTARY PUBLIC) Expires May 26, 2010  
Bonded Troy Fair Insurance Inc. 800-385-7019  
SEAL)

*Diane S. Edenfield*  
Notary Public, State of Florida

My Commission Expires:






GROWTH MANAGEMENT DEPARTMENT  
205 North Marion Ave, Lake City, FL 32055  
Phone: 386-719-5750  
E-mail: growthmanagement@lcfla.com

### AGENT AUTHORIZATION FORM

I, Derick Woolverton (owner name), owner of property parcel

number 04-4S-16-02703-012 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. CAROL CHADWICK, PE	1.  Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D0000018D46 3B4E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:20:11 -04'00'
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

  
Owner Signature (Notarized)


6/09/2025

Date

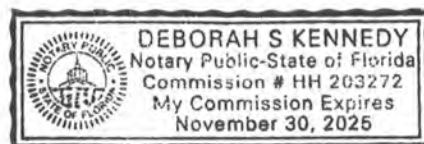
#### NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: St Johns

The above person, whose name is Derick Woolverton,  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) \_\_\_\_\_ on this 9<sup>th</sup> day of June, 2025.

  
NOTARY'S SIGNATURE

(Seal/Stamp)







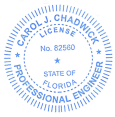
GROWTH MANAGEMENT DEPARTMENT  
205 North Marion Ave, Lake City, FL 32055  
Phone: 386-719-5750  
E-mail: growthmanagement@lcfcla.com

### AGENT AUTHORIZATION FORM

I, Earl Pecker (owner name), owner of property parcel

number 01-4S-16-02703-004 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. CAROL CHADWICK, PE	1.  Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D0000018D46 3B4E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:19:29 -04'00'
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

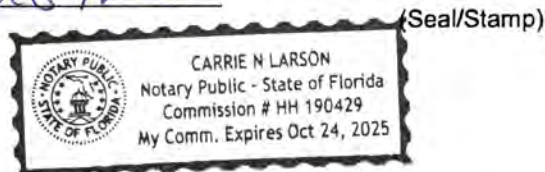
If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

[Signature] Date 6-9-25  
Owner Signature (Notarized)

NOTARY INFORMATION:  
STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Earl Pecker,  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) 9th on this June day of 2025.

[Signature]  
NOTARY'S SIGNATURE





# Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-012  
SELLERS HERBERT S III REVOCABLE TRUST

Year: 2024

Bill Number: 9425

Owner: SELLERS HERBERT S III REVOCABLE TRUST

Tax District: 1

Property Type: Real Estate

MAILING ADDRESS:  
SELLERS HERBERT S III  
REVOCABLE TRUST  
6063 KINGSLEY LAKE DR  
STARKE FL 32091

PROPERTY ADDRESS:  
1509 CENTURY  
LAKE CITY 32025

Taxes   Assessments   Legal Description   Payment History

## Ad Valorem

Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$1,875.42	\$1,875.42	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$2,991.09	\$2,991.09	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$286.28	\$286.28	\$0.00
LOCAL	3.1430	\$1,202.95	\$1,202.95	\$0.00
CAPITAL OUTLAY	1.5000	\$574.11	\$574.11	\$0.00
Subtotal	5.3910	\$2,063.34	\$2,063.34	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$112.37	\$112.37	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.04	\$0.04	\$0.00
TOTAL	18.3997	\$7,042.26	\$7,042.26	\$0.00

## Non-Ad Valorem

Authority/Fund	Charged	Paid	Due
CITY FIRE ASSESSMENT	\$1,551.51	\$1,551.51	\$0.00
TOTAL	\$1,551.51	\$1,551.51	\$0.00

## Payment Options

This Bill:

\$0.00

All Bills:

\$0.00

Cart Amount:

\$0.00

Bill 9425 -- No Amount Due

Pay All Bills

Print Bill / Receipt

Register for E-Billing

Property Appraiser





# Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-004

PEELER LESLIE EARL

Year: 2024

Bill Number: 9420

Owner: PEELER LESLIE EARL

Tax District: 1

Property Type: Real Estate

MAILING ADDRESS:

PEELER LESLIE EARL

P O BOX 2238

LAKE CITY FL 32056-2238

PROPERTY ADDRESS:

1563 CENTURY

LAKE CITY 32025

Taxes Assessments Legal Description Payment History

Ad Valorem				
Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$406.54	\$406.54	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$648.39	\$648.39	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$62.06	\$62.06	\$0.00
LOCAL	3.1430	\$260.77	\$260.77	\$0.00
CAPITAL OUTLAY	1.5000	\$124.45	\$124.45	\$0.00
Subtotal	5.3910	\$447.28	\$447.28	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$24.36	\$24.36	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.01	\$0.01	\$0.00
TOTAL	18.3997	\$1,526.58	\$1,526.58	\$0.00
Non-Ad Valorem				
Authority/Fund	Charged	Paid	Due	
CITY FIRE ASSESSMENT	\$61.26	\$61.26	\$0.00	
TOTAL	\$61.26	\$61.26	\$0.00	

## Payment Options

This Bill:

\$0.00

All Bills:

\$0.00

Cart Amount:

\$0.00

Bill 9420 -- No Amount Due

Pay All Bills

Print Bill / Receipt

Register for E-Billing

Property Appraiser





# LAKE CITY GROWTH MANAGEMENT

## STAFF ANALYSIS REPORT

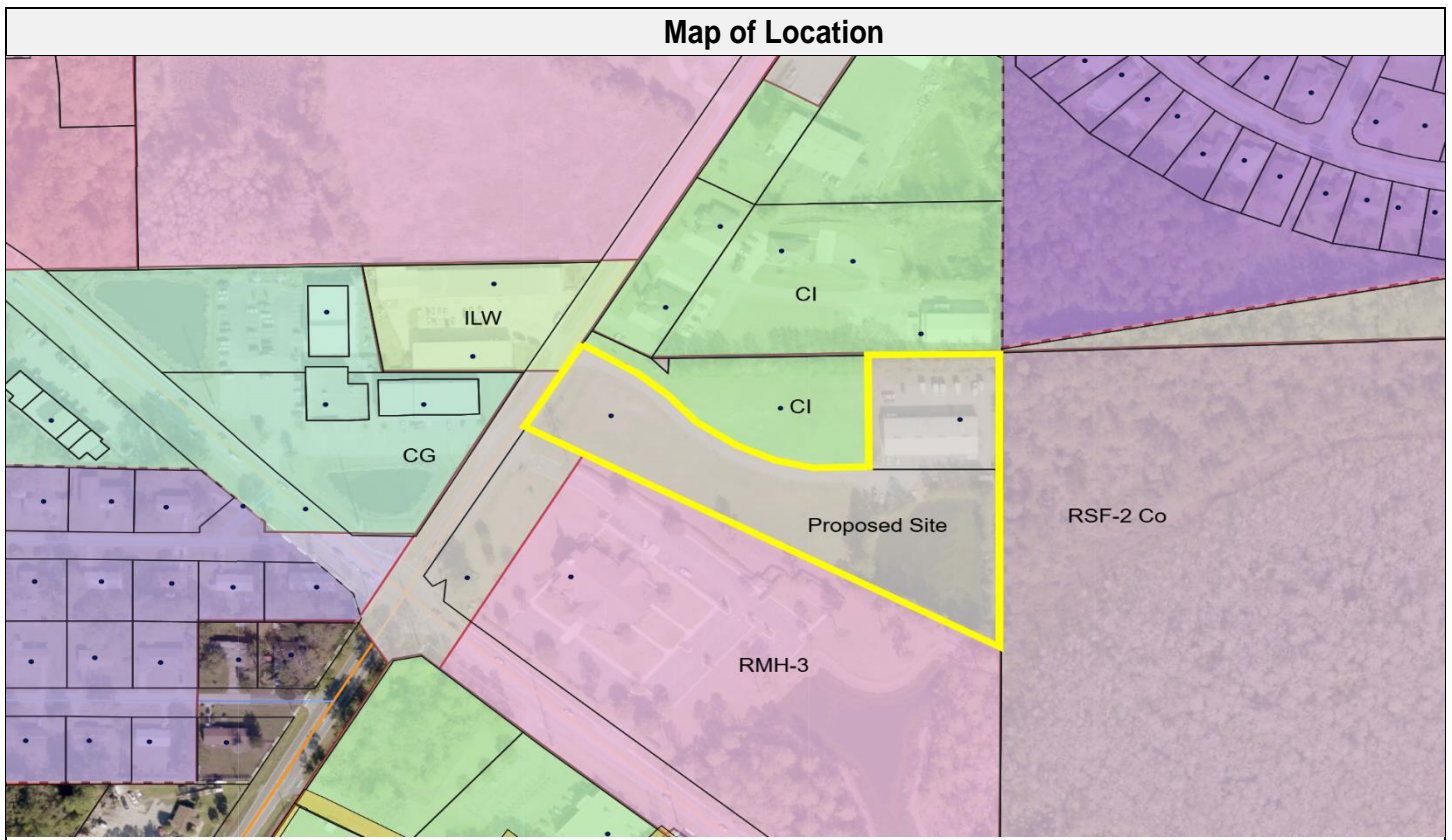
Project Information	
Project Name and Case No.	Peeler/Riverwood Investments CPA 25-04 and Z 25-06
Applicant	Carol Chadwick, PE, agent
Owner	Peeler/Riverwood Investments
Requested Action	<ul style="list-style-type: none"> <li>• Comp Plan Amendment to change the FLUM from Residential Medium to Industrial.</li> <li>• Rezoning to change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse.</li> </ul>
Hearing Date	07-08-2025
Staff Analysis/Determination	Sufficient for Review
Prepared By	Robert Angelo

Subject Property Information	
Size	+/- 3.329 Acres
Location	
Parcel Number	01-4S-16-02703-012 and 01-4S-16-02703-004
Future Land Use	Residential Medium
Proposed Future Land Use	Industrial
Current Zoning District	Residential Mobile Home 3
Proposed Zoning	Industrial Light Warehouse
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Commercial	CI	Vacant	
E	Residential Low	RSF-2 Co	Vacant	
S	Residential Medium	RMH-3	Church	
W	Commercial and Industrial	CG ILW	Repair Shops	



Zoning Review		
Zoning Requirements	Current Zoning	Proposed Zoning
Minimum lot requirements.	6000 Sq Ft	None
Minimum yard requirements (setbacks) Front-Each Side-Rear.	F-20, S-10, R-15	F-20, S-15, R-15
Are any structure within 35 feet of a wetland?	NA	NA
Max height of signs.	NA	35 Feet
Max square footage of signs.	NA	1.5 SQFT times lot frontage
Lot coverage of all buildings.	40%	1.0
Minimum landscape requirements.	None	25 feet if abutting a residential district or none if not.
Minimum number of parking spaces.	It depends on the permitted use.	It depends on the permitted use.
Minimum number of ADA parking spaces.	1 Space for every 25 up to 100	1 Space for every 25 up to 100
Parking space size requirement.	10x20	10x20
ADA parking space size.	12x20 with 5x20 access aisle.	12x20 with 5x20 access aisle.





### Picture of Location



### Summary of Request

Applicant has petitioned to change the FLUM from Residential Medium to Industrial and change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse.





DEPARTMENT OF GROWTH MANAGEMENT  
205 North Marion Avenue  
Lake City, Florida 32055  
Telephone: (386) 719-5750  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

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REVIEW REPORT TO PLANNING AND ZONING, BOARD OF  
ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF  
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE  
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 06/23/2025

Request Type: Site Plan Review (SPR) ☐ Special Exception (SE) ☐ Variances (V) ☐

Comprehensive Plan Amendment/Zoning (CPA/Z) ☒ Certificate of Appropriateness (COA) ☐

Project Number: CPA 25-04 and Z 25-06

Project Name: Century Glen Rezoning

Project Address: 1509 and 1563 SE Century Glen

Project Parcel Number: 02703-004 and 02703-012

Owner Name: Earl Peeler and Riverwood Investment

Owner Address: \_\_\_\_\_

Owner Contact Information: Telephone Number: \_\_\_\_\_ Email: \_\_\_\_\_

Owner Agent Name: Carol Chadwick, PE

Owner Agent Address: 1208 SW Fairfax Glen, Lake City

Owner Agent Contact Information: Telephone: 307-680-1772 Email: ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.



**Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting**

**Building Department: Reviewed by:** Signed by: Scott Thomasen 7C2DC476A33B441... **Date:** 7/1/2025

No comment at this time

**Planning and Zoning: Reviewed by:** DocuSigned by: Robert Angelo F0D1ED33B98E4BE... **Date:** 6/30/2025

The parcels are contiguous to an ILW zoning district.

**Business License: Reviewed by:** Signed by: Marshall Sosa E8B18D144D974CD... **Date:** 6/23/2025

Business will need to apply for a business tax receipt

**Code Enforcement: Reviewed by:** Signed by: Marshall Sosa E8B18D144D974CD... **Date:** 6/23/2025

No liens, codes or violations on the properties.

**Permitting: Reviewed by:** Signed by: Ivy Franco ED98F8FE7127486... **Date:** 6/23/2025

No comments at this time.



Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Reviewed by:  Date: 6/24/2025

no comment at this time

Sewer Department: Reviewed by:  Date: 6/24/2025

Sewer plant has capacity

Gas Department: Reviewed by:  Date: 7/1/2025

No comment.

Water Distribution/Collection: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Customer Service: Reviewed by:  Date: 6/30/2025

No comment at this time



Public Safety – Public Works, Fire Department, Police Department

Public Works: Reviewed by:  Date: 7/1/2025

No comment.

Fire Department: Reviewed by:  Date: 6/23/2025

Nothing to comment at this time.

Police Department: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.



State and County- FDOT, Suwannee River Water Management, School Board, Columbia County

FDOT: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Suwannee River Water Management: Reviewed by: 

Signed by:

Sara Ferson

DP 12750287 AC449...

 \_\_\_\_\_ Date: 6/24/2025

An ERP application for Parcel 01-4S-16-02703-004 has not yet been received by SRWMD to verify that the project meets the criteria to discharge to the master stormwater management system. Additionally, there is an ongoing complaint on the master system that District staff are working on with the property owner.

School Board: Reviewed by: 

DocuSigned by:

Keith Hatcher

900591 19100C425...

 \_\_\_\_\_ Date: 6/24/2025

No comments at this time.

County Engineer: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

County Planner: Reviewed by: 

Signed by:

William Goodin

069DC891E794BF...

 \_\_\_\_\_ Date: 6/24/2025

county has no comment at this time



**File Attachments for Item:**

**iv. Z 25-06**, an application by Carol Chadwick, PE, as agent for Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Official Zoning Atlas of the Land Development Regulations by changing the zoning district from RESIDENTIAL MOBILE HOME 3 (RMH-3) to INDUSTRIAL LIGHT WAREHOUSE (ILW) on property located on parcels 02703-004 and 02703-012.





## GROWTH MANAGEMENT

205 North Marion Ave  
Lake City, Florida 32055  
Telephone (386) 719-5750  
growthmanagement@lcfla.com

### FOR PLANNING USE ONLY

Application # Z \_\_\_\_\_

Application Fee \$ \_\_\_\_\_

Receipt No. \_\_\_\_\_

Filing Date \_\_\_\_\_

Completeness Date \_\_\_\_\_

Less Than or Equal to 10 Acres: \$750.00

Greater Than 10 Acres: \$1,000.00 or actual cost

# Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

## A. PROJECT INFORMATION

1. Project Name: CENTURY GLEN
2. Address of Subject Property: 1509 SW CENTURY GLEN & 1563 SW CENTURY GLEN, LAKE CITY, FL 32025
3. Parcel ID Number(s): 04-4S-16-02703-012 & 01-4S-16-02703-004
4. Future Land Use Map Designation: RESIDENTIAL - MEDIUM
5. Existing Zoning Designation: RMH-3
6. Proposed Zoning Designation: ILW
7. Acreage: 3.329
8. Existing Use of Property: AMBULANCE DISPATCH & VACANT
9. Proposed use of Property: AMBULANCE DISPATCH & LIGHT INDUSTRIAL

## B. APPLICANT INFORMATION

1. Applicant Status ☐ Owner (title holder) ☒ Agent
2. Name of Applicant(s): CAROL CHADWICK, PE Title: CIVIL ENGINEER  
Company name (if applicable): \_\_\_\_\_  
Mailing Address: 1208 SW FAIRFAX GLEN  
City: LAKE CITY State: FL Zip: 32025  
Telephone: ( ) 307.680.1772 Fax: ( ) Email: ccpewyo@gmail.com

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

3. If the applicant is agent for the property owner\*.  
Property Owner Name (title holder): SEE ATTACHED  
Mailing Address: \_\_\_\_\_  
City: \_\_\_\_\_ State: \_\_\_\_\_ Zip: \_\_\_\_\_  
Telephone: ( ) Fax: ( ) Email: \_\_\_\_\_

**PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.**

**\*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**



**C. ADDITIONAL INFORMATION**

1. Is there any additional contract for the sale of, or options to purchase, the subject property?  
If yes, list the names of all parties involved: N.A.  
If yes, is the contract/option contingent or absolute:    ☐ Contingent    ☐ Absolute
2. Has a previous application been made on all or part of the subject property: ☐ Yes    ☒ No  
Future Land Use Map Amendment:    ☐ Yes \_\_\_\_\_    ☒ No \_\_\_\_\_  
Future Land Use Map Amendment Application No. CPA \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning): ☐ Yes \_\_\_\_\_ ☒ No \_\_\_\_\_  
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. \_\_\_\_\_  
Variance: ☐ Yes \_\_\_\_\_ ☒ No \_\_\_\_\_  
Variance Application No. \_\_\_\_\_  
Special Exception:    ☐ Yes \_\_\_\_\_    ☒ No \_\_\_\_\_  
Special Exception Application No. \_\_\_\_\_

**D. ATTACHMENT/SUBMITTAL REQUIREMENTS**

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.
4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:
  - a. Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.
  - b. The existing land use pattern.
  - c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
  - d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
  - e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
  - f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
  - g. Whether the proposed change will adversely influence living conditions in the neighborhood.
  - h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
  - i. Whether the proposed change will create a drainage problem.
  - j. Whether the proposed change will seriously reduce light and air to adjacent areas.



- k. Whether the proposed change will adversely affect property values in the adjacent area.
  - l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
  - m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
  - n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
  - o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.
  - p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
    - i. The need and justification for the change.
    - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
  6. Proof of Ownership (i.e. deed).
  7. Agent Authorization Form (signed and notarized).
  8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
  9. Fee. The application fee for a Site Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.



## NOTICE TO APPLICANT

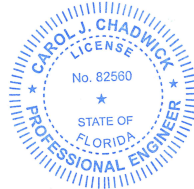
All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

**THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.**

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

\_\_\_\_\_  
Applicant/Agent Name (Type or Print)



\_\_\_\_\_  
Applicant/Agent Signature

Digitally signed by Carol Chadwick  
DN: c=US, o=Florida, dnQualifier=A01410D0000018D463B4E7500032FEE, cn=Carol Chadwick  
Date: 2025.06.10 15:24:52 -04'00'

\_\_\_\_\_  
Date

STATE OF FLORIDA  
COUNTY OF \_\_\_\_\_

The foregoing instrument was acknowledged before me this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_, by (name of person acknowledging).

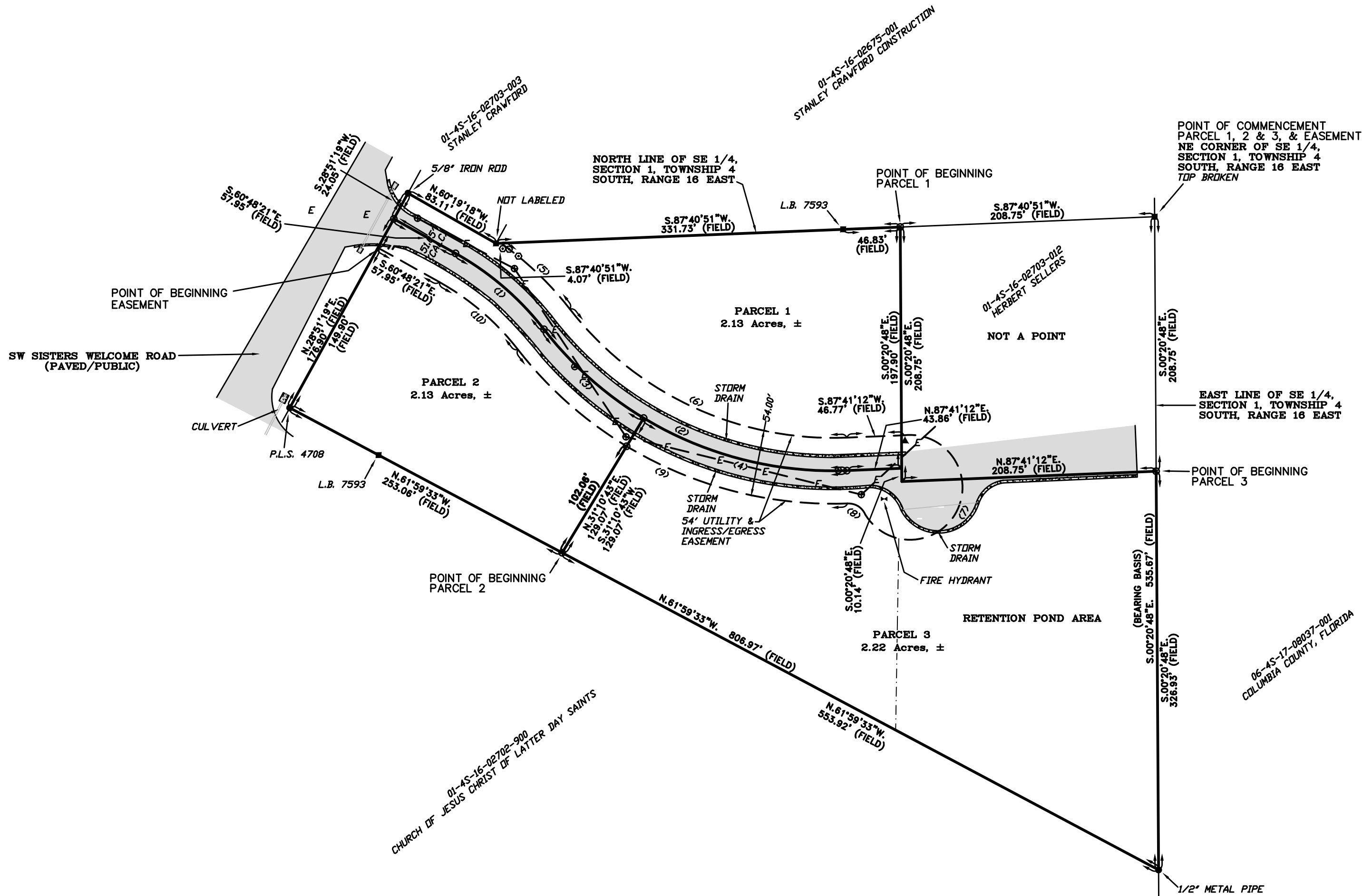
(NOTARY SEAL or STAMP)

\_\_\_\_\_  
Signature of Notary

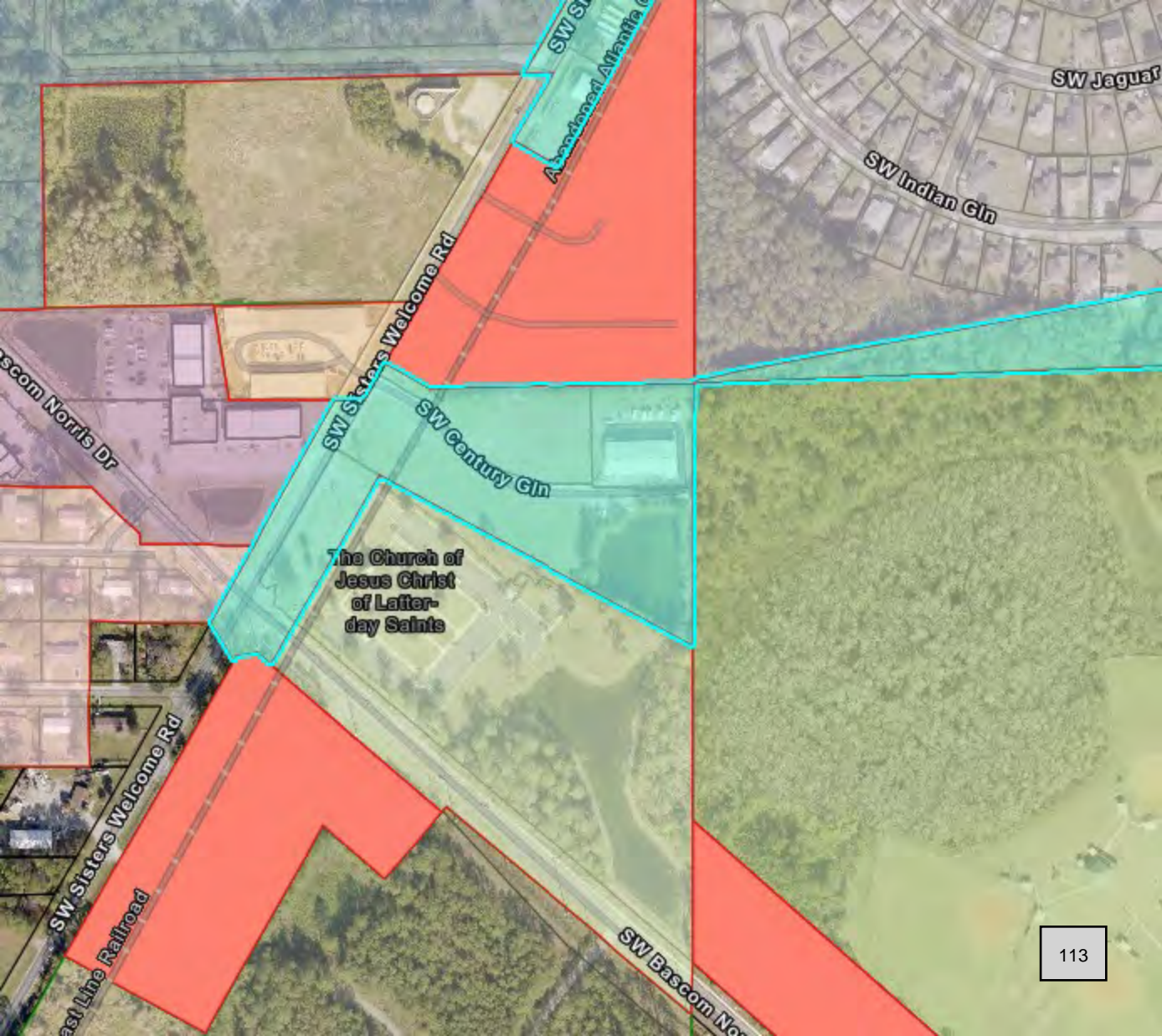
\_\_\_\_\_  
Printed Name of Notary

Personally Known \_\_\_\_\_ OR Produced Identification \_\_\_\_\_  
Type of Identification Produced \_\_\_\_\_









**The Church of  
Jesus Christ  
of Latter-  
day Saints**



CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Concurrency Impact Analysis

One parcel is currently vacant. The other parcel is an ambulance dispatch using the City' sewer and water system. The proposed commercial site will utilize City sewer and water. There is not enough information to estimate water or sewer use. A traffic study, if necessary, will need to be conducted with the site plan.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9<sup>th</sup> edition, ITE code 820
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:


- Trip generation: 6103 ADT & 619 Peak PM trips
- Potable Water: ? gallons per day
- Potable Water: ? gallons per day
- Solid Waste: ? tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by  
Carol Chadwick  
DN: c=US,  
o=Florida,  
dnQualifier=A0141  
0D0000018D463B4  
E7500032FEE,  
cn=Carol Chadwick  
Date: 2025.06.10  
15:24:34 -04'00'



Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218



CAROL CHADWICK, P.E.

*Civil Engineer*

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Analysis of the Requirements of Article 12 of the Land Development Regulations

The CENTURY GLEN proposed zoning change is consistent with the City of Lake City's requirements of Article 12 of the Land Development Regulations.

- a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

*Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.*

- b) The existing land use pattern.

*Analysis: The subject property is located on SW Sisters Welcome Road. The property across the road is currently zoned ILW.*

- c) Possible creation of an isolated district unrelated to adjacent and nearby districts.

*Analysis: The property across the road is currently zoned ILW.*

- d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.

*Analysis: The site will be used for a light industrial and commercial and will not increase the population density or add additional loads to schools. Additional utility use and traffic will result with the ultimate build-out. The site will utilize Lake City's water and sewer systems.*

- e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

*Analysis: The site is suited for light industrial and commercial uses.*

- f) Whether changed or changing conditions make the passage of the proposed amendment necessary.

*Analysis: The change will allow for the opening of new businesses.*

- g) Whether the proposed change will adversely influence living conditions in the neighborhood.



*Analysis: The subject property will have direct access to SW Sisters Welcome Road and will not negatively affect living conditions.*

- h) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.  
*Sisters Welcome Road 47.*

- i) Whether the proposed change create a drainage problem.

*Analysis: No drainage problems will be created with the zoning change. The site utilizes a previously permitted stormwater management system. All applicable permits for stormwater management will be obtained during the site plan process for future development.*

- j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

*Analysis: The site development will not reduce of light or air to adjacent areas.*

- k) Whether the proposed change will adversely affect the property values in the adjacent area.

*Analysis: The site will have all required buffering from the residences bordering the site.*

- l) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

*Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties as the area has many light industrial and commercial uses.*

- m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

*Analysis: The proposed change will not grant special privileges to the owner as other properties along the SW Sisters Welcome Road corridor are currently used for commercial activities.*

- n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

*Analysis: The current zoning doe not allow light industrial or commercial uses.*

- o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the City.

*Analysis: One parcel is currently used for ambulance dispatch. The subject property's ultimate use will be determined during the site plan process.*

- p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The Planning and Zoning Board shall consider and study:
  - i. The need and justification for the change.
  - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these

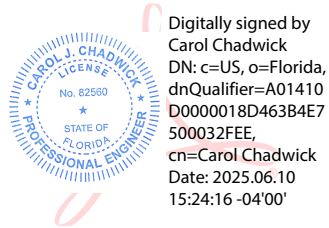


land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

*Analysis: The logical use is light industrial and commercial bringing new businesses to the area.*

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218



# COLUMBIA COUNTY

## Property Appraiser

### Parcel 01-4S-16-02703-012

#### Owners

RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC  
PO BOX 2821  
PONTE VEDRA BEACH, FL 32004

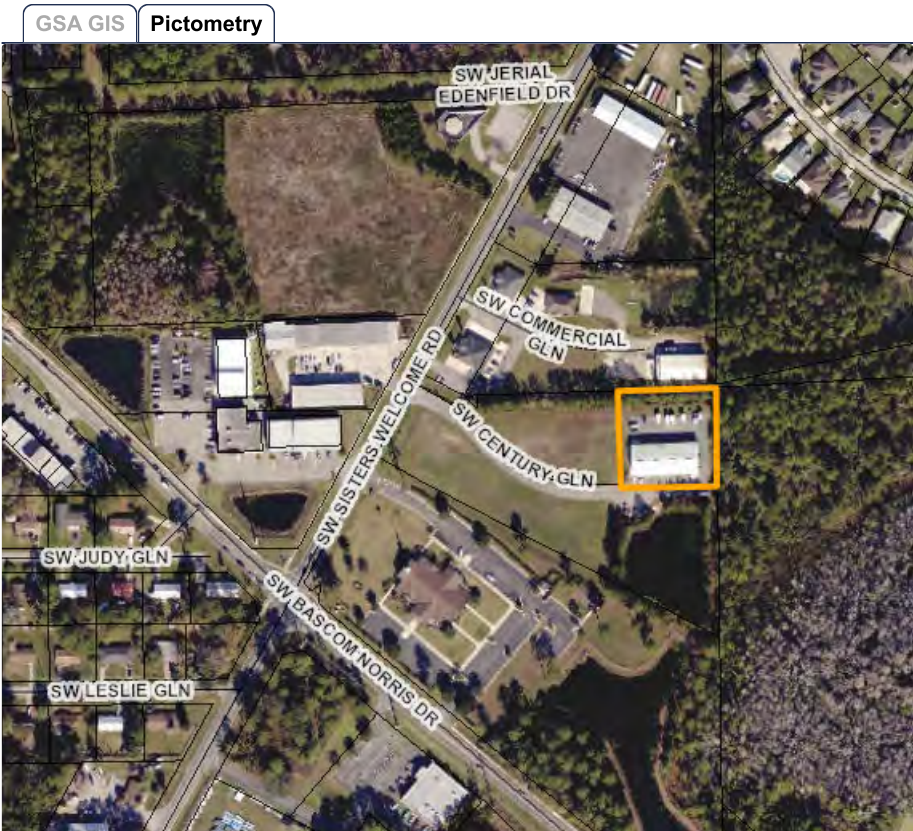
#### Parcel Summary

Location	1509 SW CENTURY GLN
Use Code	1700: OFFICE BLD 1STY
Tax District	1: CITY OF LAKE CITY
Acreage	1.0000
Section	01
Township	4S
Range	16
Subdivision	DIST 2

#### Legal Description

BEG AT NE COR OF SE1/4, RUN W 208.75 FT, S 208.75 FT, E 208.75 FT, N 208.75 FT TO POB.

1024-2512, WD 1539-44,



30° 10' 18" N 82° 39' 29" W

#### Working Values

	2025
Total Building	\$313,802
Total Extra Features	\$24,194
Total Market Land	\$73,508
Total Ag Land	\$0
Total Market	\$411,504
Total Assessed	\$411,504
Total Exempt	\$0
Total Taxable	\$411,504
SOH Diff	\$0

#### Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$300,983	\$299,730	\$280,562	\$233,361	\$235,971	\$232,393
Total Extra Features	\$24,194	\$24,194	\$24,434	\$24,434	\$24,434	\$24,434
Total Market Land	\$73,508	\$73,508	\$73,508	\$73,508	\$73,485	\$73,485
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$398,685	\$397,432	\$378,504	\$331,303	\$333,890	\$330,312
Total Assessed	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
SOH Diff	\$0	\$0	\$14,071	\$0	\$0	\$0

#### Document/Transfer/Sales History



Instrument / Official Record	Date	Q/U .....	Reason	Type	V/I .....	Sale Price	Ownership
<u>WD</u> 1539/44	2025-04-29	<u>Q</u> .....	<u>01</u> .....	WARRANTY DEED	Improved	\$750,000	Grantor: SELLERS HERBERT S III REVOCABLE TRUST Grantee: RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC
<u>WD</u> 1024/2512	2004-08-30	<u>U</u> .....	<u>09</u> .....	WARRANTY DEED	Vacant	\$100,000	Grantor: LESLIE EARL PEELER Grantee: SELLERS HERBERT S III REVOCABLE TRUST

## Buildings

### Building # 1, Section # 1, 233289, WAREHOUSE

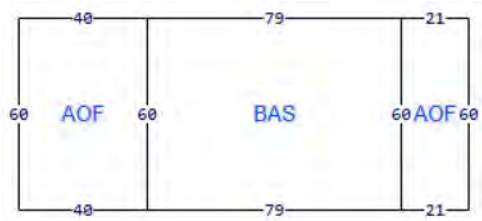
Type	Model	Heated Area	Gross Area	Repl Cost New	YrBlt .....	Year Eff	Other % Dpr	Normal % Dpr	% Cond	Value
<u>8700</u> .....	<u>06</u> .....	8400	8400	\$387,410	2006	2006	0.00%	19.00%	81.00%	\$313,802

### Structural Elements

Type	Description	Code	Details
EW	Exterior Wall	25	MOD METAL
EW	Exterior Wall	20	FACE BRICK
RS	Roof Structure	10	STEEL FRME
RC	Roof Cover	12	MODULAR MT
IW	Interior Wall	01	MINIMUM
IF	Interior Flooring	03	CONC FINSH
CE	Ceiling	04	NONE
AC	Air Conditioning	01	NONE
HT	Heating Type	01	NONE
PL	Plumbing	4.00	
FR	Frame	05	STEEL
SH	Story Height	18.00	
RMS	RMS	7.00	
STR	Stories	1.	1.
COND	Condition Adjustment	03	03

### Sub Areas

Type	Gross Area	Percent of Base	Adjusted Area
<u>AOF</u> .....	1,260	150%	1,890
<u>AOF</u> .....	2,400	150%	3,600
<u>BAS</u> .....	4,740	100%	4,740



## Extra Features



Code	Description	Length	Width	Units	Unit Price	AYB	% Good Condition	Final Value
0260	PAVEMENT-ASPHALT			15887.00	\$1.50	2006	100%	\$23,831
0166	CONC,PAVMT			145.00	\$2.50	2006	100%	\$363

## Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
1700	1STORY OFF		.00	.00	43,560.00	\$2.25/ <u>SF</u>	1.00	0.75	\$73,508

## Personal Property

Account	Secured/ Unsecured	Owner	Description
02122-100	Unsecured	CENTURY AMBULANCE SERVICE INC	B - BUSINESS

## Permits

Date	Permit	Type	Status	Description
Jul 3, 2018	18-89	COMMERCIAL	COMPLETED	COMMERCIAL
Sep 7, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL
Feb 17, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL

## TRIM Notices

2024  
2023  
2022

## Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.



**Prepared By and Return To:**

Esquire Title & Trust  
501 W. Bay Street  
Jacksonville, FL 32202

Order No.: 25-0079

Property Appraiser's Parcel I.D. (folio) Number:  
01-4S-16-02703-012

**WARRANTY DEED**

THIS WARRANTY DEED dated this the 29th day of April, 2025, by Herbert S. Sellers III, Individually and as Trustee of the Herbert S. Sellers III Revocable Trust, and having its principal place of business at 6063 Kingsley Lake Drive, Kingsley Lake, FL 32091 (the "Grantor"), to Riverwood Investments of Jacksonville LLC, a Florida Limited Liability Company, whose post office address is PO Box 2821, Ponte Vedra Beach, FL 32004 (the "Grantee").

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee, all that certain land situated in County of Columbia, State of Florida, viz:

All that certain property located in Columbia County, Florida, to-wit:

The certain piece, parcel, or tract of land lying and being in the Southeast  $\frac{1}{4}$  of Section 1, Township 4 South Range 16 East Columbia County, Florida and being particularly described as:

Begin at the Northeast corner of the SE  $\frac{1}{4}$ , Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run thence South  $88^{\circ}57'48''$  West, along the North line of said SE  $\frac{1}{4}$ , 208.75 feet; thence South  $00^{\circ}34'56''$  West, parallel to the East line of said SE  $\frac{1}{4}$  208.75 feet, thence North  $88^{\circ}57'48''$  East, parallel to said North line, 208.75 feet to said East line; thence North  $00^{\circ}34'56''$  East, along said East line 208.75 feet to the point of beginning.

Together with and subject to that certain Easement Deed recorded in the Official Records Book 1042 Page 214 of Columbia County, Florida.

The property described herein is not now, nor has it ever been, the primary residence/homestead of the owner or the owner's spouse or dependent child, if any.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

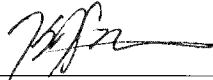


AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2024.



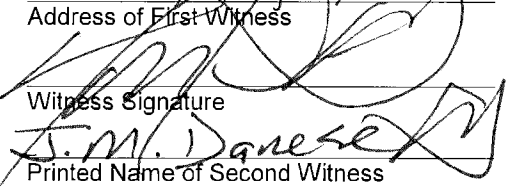
IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of:

  
\_\_\_\_\_  
Witness Signature

KEVIN HARRIS  
\_\_\_\_\_  
Printed Name of First Witness

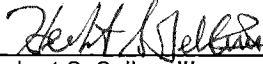
501 W Day Street, Jax, FL 32202  
\_\_\_\_\_  
Address of First Witness

  
\_\_\_\_\_  
Witness Signature

J.M. Danese  
\_\_\_\_\_  
Printed Name of Second Witness

501 W Day St, Jax, FL 32202  
\_\_\_\_\_  
Address of Second Witness

Herbert S. Sellers III Revocable Trust

BY:   
\_\_\_\_\_  
Herbert S. Sellers III  
Trustee and Individually

**Grantor Address:**  
6063 Kingsley Lake Drive  
Kingsley Lake, FL 32091

State of Florida  
County of Duval

The foregoing instrument was acknowledged before me by means of ☒ physical presence or ☐ online notarization, 29th day of April, 2025 by Herbert S. Sellers, Individually and as Trustee of the Herbert S. Sellers III Revocable Trust, who (check one) ☐ is personally known to me or ☒ has produced a valid driver's license as identification.

  
\_\_\_\_\_  
Notary Public:  
Printed Name:  
My Commission Expires: \_\_\_\_\_

[NOTARY SEAL]

Joseph M. Danese, III  
Notary Public  
State of Florida  
My Commission Expires 08/11/2025  
Commission No. HH 116452





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

## Detail by Entity Name

Florida Limited Liability Company  
RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC

### Filing Information

**Document Number** L13000060673  
**FEI/EIN Number** APPLIED FOR  
**Date Filed** 04/25/2013  
**Effective Date** 04/20/2013  
**State** FL  
**Status** ACTIVE

### Principal Address

3655 University Blvd West  
JACKSONVILLE, FL 32217

Changed: 04/23/2019

### Mailing Address

Box 2821  
Ponte Vedra Beach, FL 32004

Changed: 04/23/2019

### Registered Agent Name & Address

ADAMS, SCOTT  
4323 SHIRLEY AVE  
JACKSONVILLE, FL 32210

Name Changed: 04/24/2025

Address Changed: 04/24/2025

### Authorized Person(s) Detail

#### **Name & Address**

Title MGRM

WOOLVERTON, DERICK  
P.O BOX 2821  
PONTE VEDRA BEACH, FL 32004

### Annual Reports



Report Year	Filed Date
2023	04/26/2023
2024	04/03/2024
2025	04/24/2025

#### **Document Images**

<a href="#">04/24/2025 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/03/2024 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/26/2023 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/12/2022 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/28/2021 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">06/23/2020 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/23/2019 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/25/2018 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/21/2017 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/15/2016 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/15/2015 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">03/27/2014 -- ANNUAL REPORT</a>	<a href="#">View image in PDF format</a>
<a href="#">04/25/2013 -- Florida Limited Liability</a>	<a href="#">View image in PDF format</a>



# COLUMBIA COUNTY

## Property Appraiser

### Parcel 01-4S-16-02703-004

#### Owners

PEELER LESLIE EARL  
P O BOX 2238  
LAKE CITY, FL 32056-2238

#### Parcel Summary

Location	1563 SW CENTURY GLN
Use Code	0000: VACANT
Tax District	1: CITY OF LAKE CITY
Acreage	2.3290
Section	01
Township	4S
Range	16
Subdivision	DIST 2
Lineage	Split from 01-4S-16-02703-004

#### Legal Description

BEG NE COR OF SE1/4, W 541.66 FT, SW 200 FT, SE 727.01 FT, N 536 FT TO POB EX 1 AC DESC ORB 1024-2512 & COMM AT NE COR OF SE1/4, W 541.66 FT FOR POB, NW 100 FT TO E R/W OF SW SISTERS WELCOME RD, SW ALONG R/W 200 FT, SE 100 FT, NE 200 FT TO POB. EX 448 SQ FT DESC IN WD 1163-834 EX 2.13 AC DESC IN WD 1523-539.



669-578, 676-620, 867-335, 1039-1855, 1163-834,

30° 10' 18" N 82° 39' 32" W

#### Working Values

	2025
Total Building	\$0
Total Extra Features	\$0
Total Market Land	\$44,042
Total Ag Land	\$0
Total Market	\$44,042
Total Assessed	\$44,042
Total Exempt	\$0
Total Taxable	\$44,042
SOH Diff	\$0

#### Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$0	\$0	\$0	\$0	\$0	\$0
Total Extra Features	\$0	\$0	\$0	\$0	\$0	\$0
Total Market Land	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Assessed	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
SOH Diff	\$0	\$0	\$0	\$0	\$0	\$0



Document/Transfer/Sales History

Instrument / Official Record	Date	Q/U	Reason	Type	V/I	Sale Price	Ownership
WD 1163/0834	2008-12-04	Q	03	WARRANTY DEED	Vacant	\$100	Grantor: LESLIE E PEELER Grantee: CITY OF LAKE CITY
WD 1039/1855	2004-12-10	Q	03	WARRANTY DEED	Vacant	\$50,000	Grantor: FEAGLE & SMITH Grantee: PEELER
WD 0867/0335	1998-10-05	Q		WARRANTY DEED	Vacant	\$28,500	Grantor: WANDA KATO Grantee: PEELER
WD 0669/0577	1988-02-26	U		WARRANTY DEED	Vacant	\$10,000	Grantor: FEAGLE MARLIN & Grantee: BURNETT & DUBOSE

Buildings

None

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
0000	VAC RES	00	.00	.00	1.87	\$21,500.00/AC	1.87	0.85	\$34,174
1000	VACANT COMMERCIAL		.00	.00	0.46	\$21,500.00/AC	0.46	1.00	\$9,868

Personal Property

None

Permits

None

TRIM Notices

2024  
2023  
2022

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.



**THIS INSTRUMENT PREPARED BY  
AND RETURN TO:**

**MARLIN M. FEAGLE, ESQUIRE**  
**FEAGLE & FEAGLE, ATTORNEYS, P.A.**  
153 NE Madison Street  
Post Office Box 1653  
Lake City, Florida 32056-1653  
Florida Bar No. 0173248

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, existence of liens, the quantity of lands included, or the location of the boundaries. The names, addresses, tax identification numbers and legal description were furnished by the parties to this instrument.

Inst:200812021792 Date:12/4/2008 Time:10:46 AM  
Doc Stamp-Deed:0.70  
22 DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1163 P:834

**WARRANTY DEED**

**THIS INDENTURE**, made this 4<sup>th</sup> day of December, 2008, between **LESLIE EARL PEELER**, a married person not residing on the property, whose mailing address is Post Office Box 2238, Lake City, Florida 32056-2238, party of the first part, Grantor, and **THE CITY OF LAKE CITY**, a municipal corporation existing under the laws of the State of Florida, whose mailing address is Post Office Box 1687, Lake City, Florida 32056-1687, party of the second part, Grantee,

**W I T N E S S E T H:**

That said grantor, for and in consideration of the sum of **TEN AND NO/100 (\$10.00) DOLLARS**, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run S.88°58'33"W. along the North line of said Southeast 1/4 a distance of 507.76 feet to the POINT OF BEGINNING; thence S.00°56'09"W. 27.18 feet to a point on the Northeasterly Right-of-Way line of SW Century Glen; thence N.50°44'43"W. along said Northeasterly Right-of-Way line 42.02 feet to the point of intersection of said Right-of-Way line with the North line of said Southeast 1/4 and also with the



former Easterly line of the Seaboard Coastline Railroad (now abandoned); thence N.88°58'33"E. along the North line of said Southeast 1/4 a distance of 32.98 feet to the POINT OF BEGINNING. Containing 448 Square Feet, more or less.

**N.B.** The Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the Constitution of the State of Florida, nor is it contiguous to or a part of homestead property.

Tax Parcel No.: 01-4S-16-02703-004 (parent parcel)

**TOGETHER WITH** all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

**TO HAVE AND TO HOLD** the same in fee simple forever.

**AND** the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

**IN WITNESS WHEREOF**, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered  
in the presence of:

*Diane S. Edenfield*  
Witness

DIANE S. EDENFIELD  
Print or type name

*Charlene Liz*  
Witness

Charlene Liz  
Print or type name

*Leslie Earl Peeler* (SEAL)  
LESLIE EARL PEELER



**STATE OF FLORIDA  
COUNTY OF COLUMBIA**

The foregoing instrument was acknowledged before me this 17<sup>th</sup> day of December, 2008, by **LESLIE EARL PEELER** who is personally known to me or who has produced a Florida driver's license as identification.

 **Diane S. Edenfield**  
Commission # DD514461  
(NOTARY PUBLIC) Expires May 26, 2010  
Bonded Troy Fair Insurance Inc. 800-385-7019  
SEAL)

*Diane S. Edenfield*  
Notary Public, State of Florida

My Commission Expires:






GROWTH MANAGEMENT DEPARTMENT  
205 North Marion Ave, Lake City, FL 32055  
Phone: 386-719-5750  
E-mail: growthmanagement@lcfla.com

### AGENT AUTHORIZATION FORM

I, Derick Woolverton (owner name), owner of property parcel

number 04-4S-16-02703-012 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. CAROL CHADWICK, PE	1.  Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D0000018D463B4 E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:23:38 -04'00'
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

  
Owner Signature (Notarized)


6/09/2025

Date

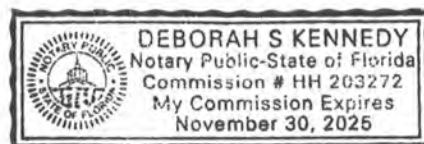
#### NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: St Johns

The above person, whose name is Derick Woolverton,  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) \_\_\_\_\_ on this 9<sup>th</sup> day of June, 2025.

  
NOTARY'S SIGNATURE

(Seal/Stamp)







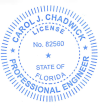
GROWTH MANAGEMENT DEPARTMENT  
205 North Marion Ave, Lake City, FL 32055  
Phone: 386-719-5750  
E-mail: growthmanagement@lcfcla.com

### AGENT AUTHORIZATION FORM

I, Earl Pecten (owner name), owner of property parcel

number 01-4S-16-02703-004 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. CAROL CHADWICK, PE	1.  Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D0000018D463 B4E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:23:53 -04'00'
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

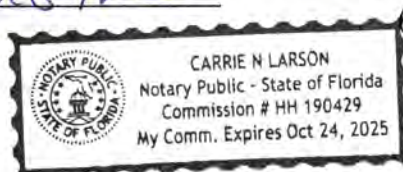
[Signature] Date 6-9-25  
Owner Signature (Notarized)

#### NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Earl Pecten,  
personally appeared before me and is known by me or has produced identification  
(type of I.D.) 9th on this June day of 2025.

[Signature]  
NOTARY'S SIGNATURE



(Seal/Stamp)



# Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-012  
SELLERS HERBERT S III REVOCABLE TRUST

Year: 2024

Bill Number: 9425

Owner: SELLERS HERBERT S III REVOCABLE TRUST

Tax District: 1

Property Type: Real Estate

MAILING ADDRESS:  
SELLERS HERBERT S III  
REVOCABLE TRUST  
6063 KINGSLEY LAKE DR  
STARKE FL 32091

PROPERTY ADDRESS:  
1509 CENTURY  
LAKE CITY 32025

Taxes   Assessments   Legal Description   Payment History

## Ad Valorem

Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$1,875.42	\$1,875.42	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$2,991.09	\$2,991.09	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$286.28	\$286.28	\$0.00
LOCAL	3.1430	\$1,202.95	\$1,202.95	\$0.00
CAPITAL OUTLAY	1.5000	\$574.11	\$574.11	\$0.00
Subtotal	5.3910	\$2,063.34	\$2,063.34	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$112.37	\$112.37	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.04	\$0.04	\$0.00
TOTAL	18.3997	\$7,042.26	\$7,042.26	\$0.00

## Non-Ad Valorem

Authority/Fund	Charged	Paid	Due
CITY FIRE ASSESSMENT	\$1,551.51	\$1,551.51	\$0.00
TOTAL	\$1,551.51	\$1,551.51	\$0.00

## Payment Options

This Bill:

\$0.00

All Bills:

\$0.00

Cart Amount:

\$0.00

Bill 9425 -- No Amount Due

Pay All Bills

Print Bill / Receipt

Register for E-Billing

Property Appraiser





# Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-004  
PEELER LESLIE EARL

Year: 2024

Bill Number: 9420

Owner: PEELER LESLIE EARL

Tax District: 1

Property Type: Real Estate

MAILING ADDRESS:  
PEELER LESLIE EARL  
P O BOX 2238  
LAKE CITY FL 32056-2238

PROPERTY ADDRESS:  
1563 CENTURY  
LAKE CITY 32025

Taxes   Assessments   Legal Description   Payment History

## Ad Valorem

Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$406.54	\$406.54	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$648.39	\$648.39	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$62.06	\$62.06	\$0.00
LOCAL	3.1430	\$260.77	\$260.77	\$0.00
CAPITAL OUTLAY	1.5000	\$124.45	\$124.45	\$0.00
Subtotal	5.3910	\$447.28	\$447.28	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$24.36	\$24.36	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.01	\$0.01	\$0.00
TOTAL	18.3997	\$1,526.58	\$1,526.58	\$0.00

## Non-Ad Valorem

Authority/Fund	Charged	Paid	Due
CITY FIRE ASSESSMENT	\$61.26	\$61.26	\$0.00
TOTAL	\$61.26	\$61.26	\$0.00

## Payment Options

This Bill:

\$0.00

All Bills:

\$0.00

Cart Amount:

\$0.00

Bill 9420 -- No Amount Due

Pay All Bills

Print Bill / Receipt

Register for E-Billing

Property Appraiser





# LAKE CITY GROWTH MANAGEMENT

## STAFF ANALYSIS REPORT

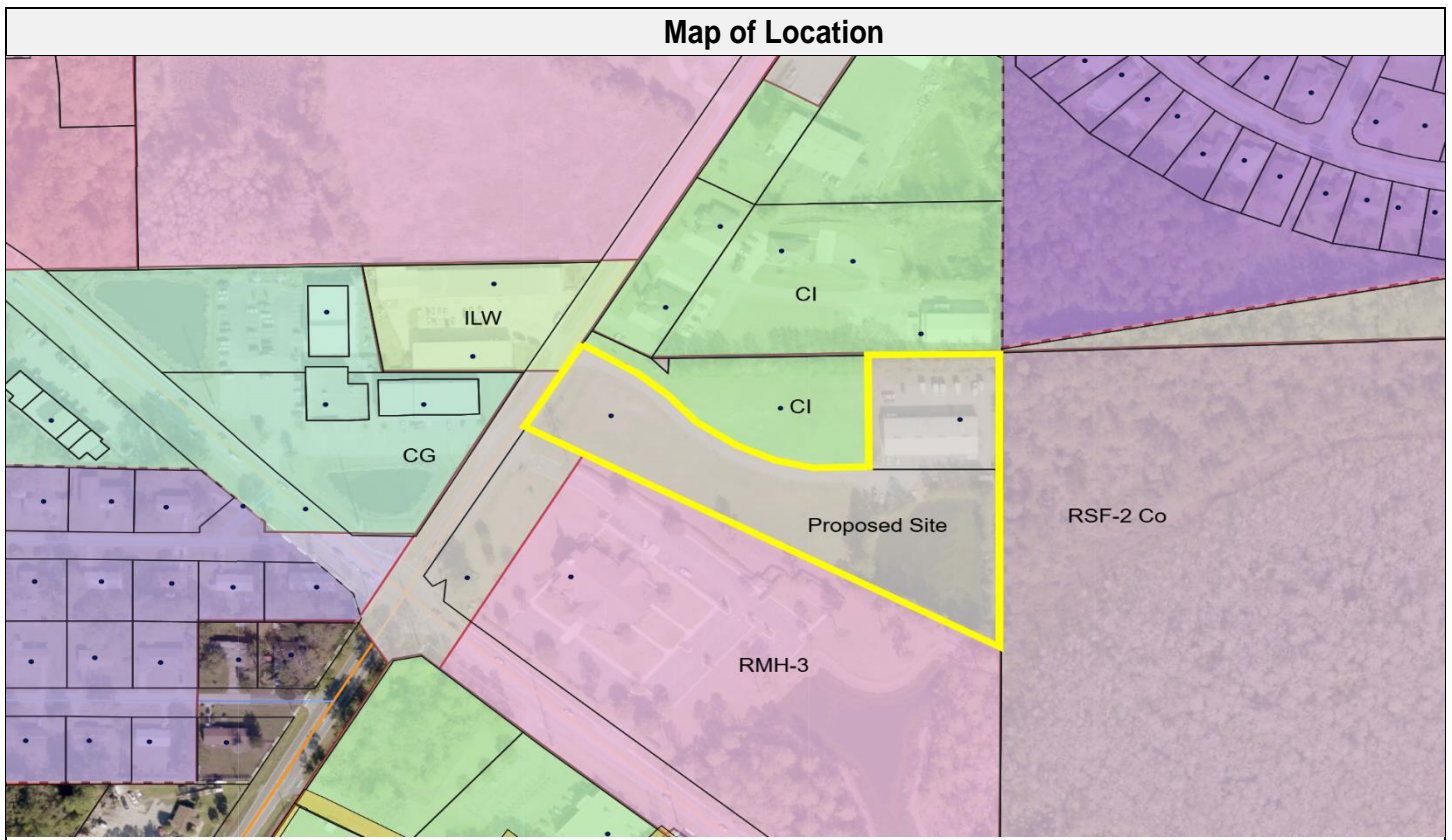
Project Information	
Project Name and Case No.	Peeler/Riverwood Investments CPA 25-04 and Z 25-06
Applicant	Carol Chadwick, PE, agent
Owner	Peeler/Riverwood Investments
Requested Action	<ul style="list-style-type: none"> <li>• Comp Plan Amendment to change the FLUM from Residential Medium to Industrial.</li> <li>• Rezoning to change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse.</li> </ul>
Hearing Date	07-08-2025
Staff Analysis/Determination	Sufficient for Review
Prepared By	Robert Angelo

Subject Property Information	
Size	+/- 3.329 Acres
Location	
Parcel Number	01-4S-16-02703-012 and 01-4S-16-02703-004
Future Land Use	Residential Medium
Proposed Future Land Use	Industrial
Current Zoning District	Residential Mobile Home 3
Proposed Zoning	Industrial Light Warehouse
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Commercial	CI	Vacant	
E	Residential Low	RSF-2 Co	Vacant	
S	Residential Medium	RMH-3	Church	
W	Commercial and Industrial	CG ILW	Repair Shops	



Zoning Review		
Zoning Requirements	Current Zoning	Proposed Zoning
Minimum lot requirements.	6000 Sq Ft	None
Minimum yard requirements (setbacks) Front-Each Side-Rear.	F-20, S-10, R-15	F-20, S-15, R-15
Are any structure within 35 feet of a wetland?	NA	NA
Max height of signs.	NA	35 Feet
Max square footage of signs.	NA	1.5 SQFT times lot frontage
Lot coverage of all buildings.	40%	1.0
Minimum landscape requirements.	None	25 feet if abutting a residential district or none if not.
Minimum number of parking spaces.	It depends on the permitted use.	It depends on the permitted use.
Minimum number of ADA parking spaces.	1 Space for every 25 up to 100	1 Space for every 25 up to 100
Parking space size requirement.	10x20	10x20
ADA parking space size.	12x20 with 5x20 access aisle.	12x20 with 5x20 access aisle.





### Picture of Location



### Summary of Request

Applicant has petitioned to change the FLUM from Residential Medium to Industrial and change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse.





DEPARTMENT OF GROWTH MANAGEMENT  
205 North Marion Avenue  
Lake City, Florida 32055  
Telephone: (386) 719-5750  
[growthmanagement@lcfla.com](mailto:growthmanagement@lcfla.com)

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REVIEW REPORT TO PLANNING AND ZONING, BOARD OF  
ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF  
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE  
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 06/23/2025

Request Type: Site Plan Review (SPR) ☐ Special Exception (SE) ☐ Variances (V) ☐

Comprehensive Plan Amendment/Zoning (CPA/Z) ☒ Certificate of Appropriateness (COA) ☐

Project Number: CPA 25-04 and Z 25-06

Project Name: Century Glen Rezoning

Project Address: 1509 and 1563 SE Century Glen

Project Parcel Number: 02703-004 and 02703-012

Owner Name: Earl Peeler and Riverwood Investment

Owner Address: \_\_\_\_\_

Owner Contact Information: Telephone Number: \_\_\_\_\_ Email: \_\_\_\_\_

Owner Agent Name: Carol Chadwick, PE

Owner Agent Address: 1208 SW Fairfax Glen, Lake City

Owner Agent Contact Information: Telephone: 307-680-1772 Email: ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.



**Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting**

**Building Department: Reviewed by:** Signed by: Scott Thomasen 7C2DC476A33B441... **Date:** 7/1/2025

No comment at this time

**Planning and Zoning: Reviewed by:** DocuSigned by: Robert Angelo F0D1ED33B98E4BE... **Date:** 6/30/2025

The parcels are contiguous to an ILW zoning district.

**Business License: Reviewed by:** Signed by: Marshall Sosa E8B18D144D974CD... **Date:** 6/23/2025

Business will need to apply for a business tax receipt

**Code Enforcement: Reviewed by:** Signed by: Marshall Sosa E8B18D144D974CD... **Date:** 6/23/2025

No liens, codes or violations on the properties.

**Permitting: Reviewed by:** Signed by: Ivy Franco ED98F8FE7127486... **Date:** 6/23/2025

No comments at this time.



Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Reviewed by:  Date: 6/24/2025

no comment at this time

Sewer Department: Reviewed by:  Date: 6/24/2025

Sewer plant has capacity

Gas Department: Reviewed by:  Date: 7/1/2025

No comment.

Water Distribution/Collection: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Customer Service: Reviewed by:  Date: 6/30/2025

No comment at this time



Public Safety – Public Works, Fire Department, Police Department

Public Works: Reviewed by:  Date: 7/1/2025

No comment.

Fire Department: Reviewed by:  Date: 6/23/2025

Nothing to comment at this time.

Police Department: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.



State and County- FDOT, Suwannee River Water Management, School Board, Columbia County

FDOT: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

Suwannee River Water Management: Reviewed by: 

Signed by:

Sara Ferson

DP 12750287A2C449...

 \_\_\_\_\_ Date: 6/24/2025

An ERP application for Parcel 01-4S-16-02703-004 has not yet been received by SRWMD to verify that the project meets the criteria to discharge to the master stormwater management system. Additionally, there is an ongoing complaint on the master system that District staff are working on with the property owner.

School Board: Reviewed by: 

DocuSigned by:

Keith Hatcher

90059119100C425...

 \_\_\_\_\_ Date: 6/24/2025

No comments at this time.

County Engineer: Reviewed by: \_\_\_\_\_ Date: \_\_\_\_\_

County Planner: Reviewed by: 

Signed by:

William Goodin

069DC891E794BF...

 \_\_\_\_\_ Date: 6/24/2025

county has no comment at this time



**File Attachments for Item:**

**v. M 25-01**, an application by the City of Lake City Council for a moratorium on the acceptance and consideration of applications for mobile home and manufactured home land use actions or permits.



CM/rrp  
04/15/2025

## **RESOLUTION NO 2025 - 062**

### **CITY OF LAKE CITY, FLORIDA**

**A RESOLUTION OF THE CITY OF LAKE CITY, FLORIDA IMPLEMENTING A MORATORIUM ON THE ACCEPTANCE AND CONSIDERATION FOR APPROVAL OF APPLICATIONS FOR MOBILE HOME OR MANUFACTURED HOME LAND USE ACTIONS OR PERMIT APPROVALS IN THE CITY OF LAKE CITY; MAKING CERTAIN FINDINGS OF FACT IN SUPPORT OF THE CITY APPROVING SAID MORATORIUM; RECOGNIZING THE AUTHORITY OF THE CITY TO APPROVE AND IMPLEMENT SAID MORATORIUM; DIRECTING THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS ADMINISTRATOR TO CEASE ACCEPTANCE OF NEW APPLICATIONS FOR MOBILE HOME OR MANUFACTURED HOME LAND USE ACTIONS OR PERMIT APPROVALS AS OF THE EFFECTIVE DATE HEREOF; DIRECTING THE CITY ATTORNEY, THE CITY CLERK, THE CITY MANAGER, AND THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS ADMINISTRATOR OFFICIAL AND PLANNING STAFF TO COOPERATE TO PREPARE AN ORDINANCE IMPLEMENTING SUCH MORATORIUM; SPECIFYING A DURATION FOR SUCH MORATORIUM; REPEALING ALL PRIOR RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.**

WHEREAS, Chapter 163, Part II, Florida Statutes (the "Act") requires the City of Lake City (the "City") to adopt a single code of development regulations which is consistent with the City's adopted Comprehensive Plan; and

WHEREAS, in compliance with the Act the City has adopted the City of Lake City Land Development Regulations (the "LDR") as its single code of development regulations; and

WHEREAS, the LDR was initially adopted in April 1996 and has been minimally updated since it's adoption; and

WHEREAS, the LDR contains certain definitions and provisions providing for certain regulations for mobile homes and manufactured homes; and

WHEREAS, the LDR has not been evaluated in recent years to consider changes to the Florida Building Code, Florida Administrative Code, Manufactured Home Construction and Safety



Standards, and impacts, fees, available personnel and experts to evaluate applications, fees, and charges, and data available for analysis in land use decisions, among other things; and

WHEREAS, ceasing the acceptance and consideration of applications for mobile home and manufactured home Land Use Actions or Permits in the City is in the public interest and for the public welfare to ensure the continued orderly and managed growth and development of the City and to minimize the public costs of such growth and development to the City and its residents; now therefore

BE IT RESOLVED by the City Council of the City of Lake City, Florida:

1. Ceasing the acceptance and consideration of applications for mobile home and manufactured home Land Use Actions or Permits is in the public or community interest and for public welfare; and
2. The City of Lake City Land Development Regulations Administrator is directed to cease acceptance of applications for mobile home and manufactured home Land Use Actions or Permits as of the effective date hereof; and
3. In furtherance thereof, the City Council of the City of Lake City directs the City Attorney, the City Clerk, the City Manager, and the City of Lake City Land Development Regulations Administrator and Planning Staff to cooperate to prepare an ordinance implementing a moratorium on the acceptance and consideration of applications for mobile home and manufactured home Land Use Actions or Permits; and
4. The effective date of the moratorium in such ordinance shall be the date hereof; and
5. The duration of the moratorium shall be one year from the effective date hereof; and
6. The ordinance contemplated herein shall be presented to the City of Lake City Planning and Zoning Board at the earliest possible time for a recommendation by such board to the City Council concerning such ordinance; and
7. The City Attorney, the City Clerk, the City Manager, and the City of Lake City Land Development Regulations Administrator shall cooperate to engage consultants and contractors with the knowledge, time, resources and experience to guide the City Council through an evaluation of those portions of the LDR effecting mobile home and manufactured home Land Use Actions or Permits; and
8. All prior resolutions of the City Council of the City of Lake City in conflict with this



resolution are hereby repealed to the extent of such conflict; and

9. This resolution shall become effective and enforceable upon final passage by the City Council of the City of Lake City.

APPROVED AND ADOPTED, by an affirmative vote of a majority of a quorum present of the City Council of the City of Lake City, Florida, at a regular meeting, this 24<sup>th</sup> day of April, 2025.

BY THE MAYOR OF THE CITY OF LAKE CITY,  
FLORIDA



Noah Walker, Mayor

ATTEST, BY THE CLERK OF THE CITY COUNCIL  
OF THE CITY OF LAKE CITY, FLORIDA:



Audrey Sikes, City Clerk

APPROVED AS TO FORM AND LEGALITY:



Clay Martin, City Attorney



<b>MEETING DATE</b>
4/21/25

# CITY OF LAKE CITY

## Report to Council

COUNCIL AGENDA	
SECTION	
ITEM NO.	

**SUBJECT:**

**DEPT / OFFICE:**

<b>Originator:</b> Scott Thomason		
<b>City Manager</b> Don Rosenthal	<b>Department Director</b> Scott Thomason	<b>Date</b> 4/15/25
<b>Recommended Action:</b> Approval of Resolution 2025-062		
<b>Summary Explanation &amp; Background:</b> Growth Management has been working on revising our Land Development Regulations to address placement of mobile and manufactured homes. Due to a recent influx of both we find it necessary and reasonable to request a moratorium.		
<b>Alternatives:</b>		
<b>Source of Funds:</b> NA		
<b>Financial Impact:</b> NA		
<b>Exhibits Attached:</b> Resolution 2025-062		