PLANNING AND ZONING BOARD MEETING CITY OF LAKE CITY

July 08, 2025 at 5:30 PM Venue: City Hall

AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

INVOCATION

ROLL CALL

MINUTES

i. Meeting Minutes 06-10-2025

OLD BUSINESS- None

NEW BUSINESS

- ii. SPR 25-06- Petitions submitted by Carol Chadwick, PE (agent) for TJL Associates, LLC (owner), for a Site Plan Review for Envy Elite, in the Commercial Intensive Zoning District, and located on parcel 02703-014, which is regulated by the Land Development Regulations section 4.13.
- iii. CPA 25-04, an application by Carol Chadwick, PE, as agent Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Future Land Use Plan Map of the Comprehensive Plan by changing the future land use classification from RESIDENTIAL MEDIUM to INDUSTRIAL on land located on parcels 02703-004 and 02703-012.
- iv. Z 25-06, an application by Carol Chadwick, PE, as agent for Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Official Zoning Atlas of the Land Development Regulations by changing the zoning district from RESIDENTIAL MOBILE HOME 3 (RMH-3) to INDUSTRIAL LIGHT WAREHOUSE (ILW) on property located on parcels 02703-004 and 02703-012.
- <u>v.</u> M 25-01, an application by the City of Lake City Council for a moratorium on the acceptance and consideration of applications for mobile home and manufactured home land use actions or permits.

WORKSHOP

- vi. Administrative Approval Process- Discussion on the administrative approval process text amendment for the City of Lake City Land Development Regulations.
- vii. Building Height Text Amendment- Discussion on the building heights text amendment for the City of Lake City Land Development Regulations.

ADJOURNMENT

YouTube Channel Information

Members of the public may also view the meeting on our YouTube channel at: https://youtube.com/c/CityofLakeCity

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

File Attachments for Item:

i. Meeting Minutes 06-10-2025

PLANNING AND ZONING

MEETING MINUTES

DATE: 06/10/2025

ROLL CALL:

Mrs. Wilson- Not Present Mrs. Douglas- Present Mr. Lydick- Present Mr. Carlucci- Present

Mrs. Johnson-Present
Mrs. Adams- Not Present

Mrs. McKellum- Present

City Attorney- Clay Martin- Present

MINUTES: May 13, 2025, Planning and Zoning Meeting

Comments or Revisions: None

Motion to approve 05/13/2025 Meeting Minutes by Mrs. Douglas and seconded by Mr. Carlucci

Ex Parte Communications- None

OLD BUSINESS: None

NEW BUSINESS:

Petition # SPR 25-02 Presented By:

As owner or agent and gives address of: 5601 Mariner St, Tampa FL Petitioner is Sworn in by: Mr. Martin Staff is Sworn in by: Mr. Martin

Mr. Martin read resolution 2025-PZ-SPR 25-02 by title into the record.

Discussion:

Robert introduced SPR 25-02. Robert moved the staff presentation and staff report into the record. Mahesh Pokhrel introduced petition SPR 25-02. Mahesh Pokhrel presented petition SPR 25-02.

Exhibits introduced: Power point presentation. Exhibit A, Site Plan dated May 28, 2025.

Public Comment: None

Mr. Lydick closed public comment

Board Discussion:

Mr. Lydick asked about the landscape buffer on the rear of the building. Mr. Pokhrel introduced Exhibit A, Site Plan showing rear buffer. Robert clarified that the landscape buffer was on the site plan that was submitted as Exhibit A. Mr. Martin asked Robert to verify the date on the plans. Robert stated that they were dated May 28, 2025. Mr. Martin directed the board that their decision needs to be based on evidence by sworn witnesses in addition the application may be approved if it meets the criteria Article 13.11.3 of the Land Development Regulations.

Motion to conditionally approve, according to the plans submitted as exhibit A and dated May 28, 2025, SPR 25-02 by resolution as stated by Mr. Martin, by: Mr. Carlucci Motion Seconded By: Mrs. Douglas.

Mrs. McKellum: Yes

Mr. Carlucci: Yes

Mrs. Douglass: Yes

Mrs. Wilson: Absent

Page | 1

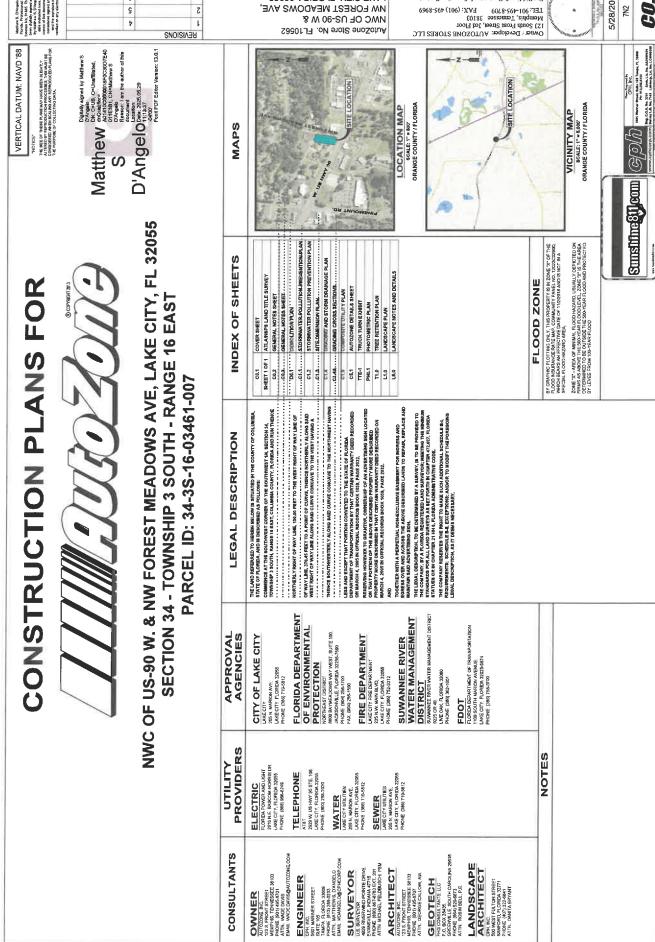
PLANNING AND ZONING

MEETING MINUTES

Mrs. Johnson: Yes	Mrs. Adams: Absent	Mr. Lydick: Yes	
Petition # SPR 2505 Pr	resented By: Lance Jones	5	
As owner or agent and	d gives address of: 855 S	SW Baya Dr, Lake City, I	FL
Petitioner is Sworn in	by: Mr. Martin Staff is S	worn in by: Mr. Martir	1
Mr. Martin read resol	ution 2025-PZ SPR 25-05	by title into the recor	rd.
Discussion:	LCDD OF OF D. L.		
	uced SPR 25-05. Robert n ed SPR 25-05. Lance mov		tation and staff report into the record.
Exhibits introduced: P	ower point presentation	•	
Public Comment: Non	e		
Mr. closed public com	nment		
Board Discussion:			
No board disci	ussion of the petition. Mu	r Martin directed the b	poard that their decision needs to
	=		may be approved if it meets the
	of the Land Developmer		
Motion to approve SP	R 25-05 by resolution as	stated by Mr. Martin	by: Mrs. McKellum Motion
Seconded By: Mrs. Joh		,,,	
Mrs. McKellum: Yes	Mr. Carlucci: Yes	Mrs. Douglass: Yes	Mrs. Wilson: Absent
Mrs. Johnson: Yes	Mrs. Adams: Absent	Mr. Lydick: Yes	
WORKSHOP: None			
ADJOURNMENT			
Mr. Lydick closed the	meeting.		
Mation to Adjacen be	Mrs. Johnson		
Motion to Adjourn by: Time: 5:59 pm	IVITS. JOHNSON		
Motion Seconded By:	Mr. Carlucci		
motion occorded by.	With Carriages		
Mr. Lydick, Board Chai	rperson	Date	e Approved
Robert Angelo, Secreta	ary	Dat	e Approved
Page 2			

EXHIBIT "A" UPDATED SITE PLAN FOR AUTOZONE

TOOS THEIR MYSOLUS



CONEK SHEET TAKE CILX, FLORIDA 32029 NM FOREST MEADOWS AVE, NMC OF US-90 W &

7

ç

For Bidding & Contractor Information Contact Dodge Data & Analytics. Tel. 413-930-4215 Cindy searcy@construction.com

C0.1

5/28/2025

7N2

I I	The state of the s	
I I I C	Manufactural Manuf	Mo C

Downg V Developer: AUTOZONE STORES LLC 23 South From Exect, 3rd From Memphis, 17 camerises 1810 Feb. 3rd 1495-8709 FAX: (901) 495-8969 Owdge Data & Anabytics, Teld, 413-910-4215 "indy, searcy@construction com

ODWATTRIACCI DECLARGE FACHA THE BITTE RAALL COMBY WITH ALL INTO BE OBJECTAL PROLITED WATER TO COMPY. WATER ACCOUNT, WAS ACCOUNT, WATER ACCOUNT, WATER ACCOUNTS, PROCEEDING THE THREE THE THREE THE THREE THE THREE If about an Control control and about the Control and Apout and THE CONTRUCTOR IS RESPONDED IN OUR ALL COORDINATION WITH EACH UTILITY AND ALL COSTS MEMORINED WITH THE WINDSCHALDS WITH THE WINDSCHALDS OF BUILDINGS OWING THE CONTRIBUTION OF CONTRIBUTION OR CONTRIBUTION OF CONTRIBUTION OF CONTRIBUTION OF CONTRIBUTION OR

RESCONTANCES BAND MADRIES LES MONTENBERS DES RECEIREMENTS DE PROMISE MONTENBERS DE PROPERTIES DE PROPERTIES DE PRESENTANT DE PROCEDIT DE COMPANIE DE L'ENTRE PROCESSES DE PROMES DE PROPERTIES DE L'ENTRE DE PROCESSES DE PROCESSE

AL SECTION ENGAGEMENT, LE RESPONSABLE TO RECORDED ON NACIONAL TUBBLE CONTINUED TOMATION FOR BEIGHT REPOSABLE THE CHARACTER OF THE CONTINUE OF THE CHARACTER OF TO THE WARD BEALT BETTER B WARD BETTER BETTE

HOREONTA, LOCATIONA AND VERTICAL ELEVATIONS FOR ALL UTILITY AND STORM STRUCTURES INCLUDING BUT NOT LINTED TO MANHOLIER PILETS AND CLEANIOUTE, INCLUDING STRUCTURE TOP AND INVEST ELEVATIONE.

THE CONTRACTOR BALL RECOGNICE AND ANDCREV ALL ONLA EXCAVATION BAVETT FTAILMEDS, NOTLUGAD THE FLOREDA THE PARTY FACT IN SINGARIASIA, ANY MATERIAL CONSTRUCTION BEDICOS, OR MATERIAL COST TO COMPLY WITH THE BELINDS PARTER ENCORDERIAL TO THE CONTRACT.

VERTICAL ELEVATORIO OF ALL PIPELINES AT CRUSSINGS OF POTABLIS WATER MANDS (MHST)HES THE WATER MAIN INC. WETS MANDS IN STREET BETWEEN THE WASHINGS THAT BETWEEN THE WEST PLANE BETWEEN THE THE

PAMEMENT WENN AND ELRANDOME AT THE CONTENDE AND EDGE OF PAMEMENT PATRY AND PERT PILLS AT ALL CANAMERS IN LOCATIONES. AND EASTE PILLS AT ALL CANAMERS IN LOCATIONES. AND MEMORY AND AND AND STREET PILLS AT LOCATIONES. ON A LOCATION STREET PILLS AND PARTY OF PARTY OF A RECORD CONTENDES AND EDGE OF PANY BERT PER PARTY OF A VARIANCE. AAL PARKING AREAZ AND BIDZINYALK RAMPS DEBIONATITD FOR HAVIDICAP ACCESS SHALL MEARINITAIBHTS IN ORDER TO VIERIYY RIGOLINED WIDTHS AND SLOPES HAVE BESIN MET

WHERE THE PLANS CONTAIN SPECIFIC MERTIDLY, ELEVATION GATA. THE AS-MULT DIMANING ARE TO REPLIECT THE ACTIVAL MEADINGS OF BEDATION. WHERE THE NAME CONTABLESTICS HONZONTAL LOCATION GATA BUCH AS STATION AND OFFEET. THE ALEMELT DRAWN ARE TO REFLECT THE ACCURATION FOR LOCATION.

CONTRACTOR AND HE SURVEYOR SHULL NOTE THE PROJE PRIOR TO CONSTRUCTION.

4. CONTACTOR SHALL BE RESPONSIBLE TO PROMEE FOR ALL DESCRIPTOR OF ADDRESSION DATE INDIGIDATES BRIDGING TO PROME THE PROFILED FOR THE PROMEEN THE CONTROL OF THE THE PROFILED FOR THE PROFILED FOR

CONTRACTOR AS PART OF THE BADE BD. ISMAL PIED LOCATE ALL UNDERROUND UTLIFES WHICH THE PROJECT WHITH THIS DOCUMENT OF PROJECT WANTE. CONTRACTOR BALL REVIEW THE TANKS MED SHALL NOTE ANY OBSCRIPBINGS TO THE BROADER MAILTANTIL.

3. CONTRACTORS AS PART OF THE BASE BKS, BHALL PROVIDE ALL COORDBHYTT BATTSFALE AND WORSE HE EDED TO PROVIDE BRINKER TO THE PROVIDE.

N OAGSS WERE THE DWINES DETENDINGS MARTH, CLEARANCES TICAL RESISTINGS AGRICULD ARE BIN ESTIM, TO THE OWNES NO OCCUMENTED ON TICAL OF THE RODGET PROTONES, THE PROMANY MARKET COMMINGS WILLD FOUNDED TO THE ENSURES FOR IT LIES IN THE PARKET, THE WARREL CICALANCES, ANY CASTORS OF THE OWNES.

E. UWCOTPARIE MUTERIA AMBION OF CARRICUTOR SA TATA A A A A A A A A A A A BANDERIC CARRICULOR CA.
AC. N. .. H. C. O. O. O. F. T. VUERGO THIS OFFICE CONTROL THE SOLV AND DALBERT ENVELORMENT REPORTED THE PROPERTY ALL CONVENTIONS.

ROMANIA MANATTI NA PRAMILIA MANATTI NA PRAMILIA MANATTI MANATTA MANATTA MATERIA. DEE Universaty fersale et eteletina meneral post in teresaty fersale eteletina meneral meneral dee eteletina meneral dee Cocupita dee eteletina meneral meneral meneral dee eteletina dee eteletina dee eteletina dee eteletina dee ete

rocety are naterius amentorius colaricator as, as, asa, astri dest cuarrentor dan or des Pay es uneste contribue elementor deste in the sor, and substitutate envestigatorius reporte, ao lighe et al Tây of activare elementorius en transfer deste deste elementorius envestigatorius en properte, ao lighe en dan

A qualitie has contain year of correct contains water an extens and contains a contain and contains a contain a contain and contains a contain a contain the contains a contain a contain the contains a contain the contain a contain the contains a contain the contains a contain the contains a contain the contains a contain a c

O COMMETE ALANG I CAMARAGE FACT ARE FOORD TO BE BATBLACEDOY AS A RESULT OF THE BACAMEETS SEVENHALL BE USED AS THE ACCORDING FOR A PACKET RECOMD COMPAGES RECOVERED BY THE BACAMEETS HE CONTINUED THE CONTINUED THE CONTINUED THE ACCORDING THE BACKETS ALONG BACAMEETS.

LA TWATE CONTROL MEMBRINES BAALL SE IN ACCORDANCE WITH JECT ET MEMBRIS IN HAS INCIDENCED HAS INCOME THE MANALL DA MANDEN HAVED CONTROL WERE SENTED TO CONSTRUCT ALL THAT PECTOR THOU MAND MANDES SHALL BE RETALLED FINDS TO CONSTRUCTION. WERE WASHED BARROS CONSTRUCTION. THE CONTROL OF WASHINGTONED TO THE CONTROL OF THE C NIPECT TRAFFIC CONTROL DRIVES ON A DALY BABIS TO BRIGINE PLACEMENT OF BARRICADES AND FLACTION OF LIGHTED IN WARRAND INFOLLORULT CONSTRUCTOR.

In this state or hand but declarational papering proper moderate associonis in leaved Accesses associated in control of the papering and the papering properties and the papering papering and the papering papering and the papering papering papering papering and the papering papering

1). PROTECT BRACHMARKS PROPERTY COPRIGNA, AND OTHER SURVEY MONDMENTS FROM DAMAGE ON DIETACE BIDTT, IN MARKER NEEDS TO BE ABMOND OT SAVAL BE REFEMBRIED BY USBARD UND SURVEYOR AND RETLACED. AS NECESSALRY, BY BAME. THE CONTROLLED AS RESPONSED THE CALL COUNTROLLED STREET, A SECRETARY AS RESPONSED TO THE CONTROLLED STREET, A SECRETARY AS RESPONSED TO THE CONTROLLED STREET, A SECRETARY AS COUNTROLLED STREE NAMES OF STREET OF STREET S STREET ST

B. BASE BUNET BEOMBATION INCLUDING BUT NOT LANTED TO ELEVATIONE, EASEBETE A RESTE OF WAY, AND OTHER POODCAMAGE COMMATTERN HAS BEEN PREPARED BY OTHER PROPERSIONALS, CPI, INC. ASSAULES NO RESPONSEMENT FOR THE ACCURACY OF THE PODMATION.

THE GENERAL PROPERTY OF THE AUTHOR CONSTRUCTION OF THE GENERAL VEHICLE CONSTRUCTION THE CONSTRUCTION THE CONSTRUCTION THAN ENDOUGH THE CONSTRUCTION OF THE CONSTRUCTIO

CONTACT PROPERTY OWNERS AFFECTED BY COMMITTED COORDINATE TENFORMRY DRINEWAY CLOBURES AND BEOUNICH. WARTAN ACCESS FOR ALL PROPERTY OWNERS CURBING CONSTRUCTION. ADAUST TRAVEC CONTROL DRAKES AS RECURSO UNDER DAERGENET INSCONTRACTOR SEDIFICATED TO COORDINATE ITS ACTIVITIES WITH C BIRECONTRACTOR.

A JOHN STREET ST

all beddro, fri and backti, baydra, brall be bleybie doll on elonweil fill, where there on excluntore When the bruinst are of broadway; brecheffer for broadway of balbe blecker. Be layers of <u>brich lood</u> Optiv. Ball other area is the broadway; be layers of 12 broadway.

TRENCH BOTTOMS AND THE BOTTOMS DE ALL STRUCTURES SHALL BE KEPT DRY, COMPACTED, AND STABLETO A DIFFTH THO PRES BELOW THE BOTTOM OF THE TREINCH ON STRUCTURE.

TI. EXCAMITE TREIGHE I TO DEPTH NOTEXTO OR REQUELD POR MIGRATED FLOW LIKE HE HAD WENTETT ELEMITORIA. ONE RECHANTE TREIGHESTA NAMES OF THE THE STEET EXCLANTION EXCENTIONS IN THE LIBERTALE BOLE. AND RETAKEL ONER EXCAMITO MAIN THE METH STEET STEET ONER TO SELECT THE STEET OF THE STEET OF THE STEET ONER TOWARTO

M. ALL EXCAMATIONS SHALL BE MADE BY OPEN CLIF UM, ESS OTHERWISE INDICATED, BLOFF ROTAL OF TREMCHES IN ACCORDANCE WITH ORMA, REQUIREMENTS AND THE RECOMMENDATIONS CONTAMID WITH THE PROJECT OFFICIECHMICAL REPORT.

WHISK WORK OCCURS WITHIN 15-ET OF ACTIVE ROAD TRAVEL LAWIES BUT NO CLORICE THAN 25,T FROM THE SIDGE OF PAYEMENT. SIGHANDE AND WARRING DROFFES ARE TO SER RETIALLED IN ACCOMMANCE WITH POTEST MANDARD PLANS INDICE ISSUED THAN TO

<u>TYPE ION TYPE I BANDRANGIB AT DA-TI CINTERS SKULT BE PLACED AND WARTANED ALDMO THE EDDE OF THE TOAD WERENER.</u> BOGNOWET OF THEN HAZMAINE EDDE, AND ID BLOCK DITAMOLE WITO COMPLETED OR PARTILLY COMPLETED AVRIBING IS INTII BLOCK PANDRETTA ARE OFFEN TO PAILLY LIKE.

A CONTRACTOR OF THE OFFICE OFFI A CHILD AND THE PROPERTY BASIS CASES. WE ARROWS THE OFFICE OF THE OFFI A CHILD AND THE PROPERTY WE ARROWS THE OFFICE OFFICE OFFI THE OFFICE OFFI OFFI THE OFFI OFFI THE OFFI OFFI THE OFFI OFFI THE OFFI REFERENCE OF THE CONTINUE MEASURE A RELATED TO THE PROPERTY BEFORE A RETURN ADMINE CONTINUE OF THE PROPERTY HAND THE PRO

II. THE PETTER ROADEST HE BEAUL AS PROCEDURES OF CREATE THE CONTINUES TO THE VIOLENCE LEASH ALL BEST-LLDS PREJUKE PRINCE THE RECOVERAGE AND THE VIOLENCE ACCOUNTED BY THE VIOLENCE THE VIOLENCE THE VIOLENCE OF THE VIOLENCE ACCOUNTED THE CONTINUES OF THE VIOLENCE O

TÉZTNO RERULTA RHALL DE PROVIDED TO THE CHANGENOPERATOR AND THE GHOMERY. ALL TEST RESULTA SHALL SE PROVIDES PASSEND AND FALENCE ON A REGULAR AND BANEGIASTE BASTOR.

the Contractor awal recogners and about for all objects and extended because the florest the robbin tribgs bestynct from Lybro of some, why extended contraction wernous on valebly cost to comply with these lows bestewed to the comply with these

2. CONTRACTON NUST STOP OWERATOR AND NOTBY THE OWNER FOR PROPER DIRECTION IF ANY BIVING RELATED CONTAMINATE IN DISCOMMERED DURING BOCKMATON.

CONTRACTOR SHALL COUNTY TO THE PALLET EXTERNITY START STARTANGS OF COUR SHEETS SET OF MY OTHER CASEST STARTANGS OF COURSE SHEETS AND CONTRACTORS SHALL USE STARTANGS SHEETS AND CONTRACTORS SHALL OF PROSPECT AND CONTRACTORS SHALL OF PROSPECT AND CONTRACTORS SHEETS AND CONTRACTORS SHALL OF PROSPECT SHEETS AND CONTRACTORS SHEETS SHALL OF SHEETS AND CONTRACTORS SHEETS AND CONTRACTORS SHEETS SHALL OF SHEETS AND CONTRACTORS SHEETS SHALL OF SHEETS SHEETS SHALL OF SHEETS SHEET

PROTECT ALL TRIES AND BHILLIES LOCATED CUTBIDE THE RIGHTLOFAWAY. EASINGNITS, AND OWNER BEICLIES PARTICULARLY THOSE TREES AND BHINLIES LOCATED ADJACENT TO WORK AREAS.

TRESS TO RIDAMA IN THE COMMETRICTION AREA SHALL BE BOXED, PERCED OR OTHERWISE PROTECTED BY ACCO. DETAILS ON THE DRAWRING, DO NOT PERMIT HEAVY EQUIPMENT ON STOCKING SEWITHIN BIGANCH SARSING.

EXERCIPE EXTREME CARE CURRIO THE CLEADING AND GRUBARIO CHERATIONS, GO NOT DAMAGE EXISTING ETRICITIMES, PRIMA ON UTILITIES, MELE FOR INCIDENCIA DE CALLANCIA ME CALLANCE MEL MAZINE REL CALLANZE DE COCUPRIDE TE THE DESCORED MENCHENERE M WEBLE FOR INCIDENCIA MED DESCORED MENCHEN PROPERTIES OF THE SECRET MAZINE OF THE SECRET MAZINE ON THE PROPERTIES ON THE SECRET MAZINE ON THE SECRET MA CLEADAN, BHILL CONSET OF REMOVING TREES AND BRUSH AND DISPOSAL OF OTHER MATERIALS THAT ERCROACH LIFON OF OTHERWISE DISTRICT THE WORK.

ORUSINO BHALLOSHEST OF REMOVES AND DEPODEND OF ETHAME, ROOTS LUNGER THAN 2" IN DAMIETER, AND MATTED ADOTT REMOVE TO A OSPIN OF NOT LESS THAN INT BLICHY THE ORIGINAL BUSINGELEYEL OF THE GROUND. ALL COMPUSTBLE DESNIS AND REPUBE FROM AITE PA AVEAS.

As a seal, soft for the description of the seal of the

CORRIGIO AND ANGA CANAFITIAN CONTRIBUTION CO CONTROL, BY ACCIPTUAL, BELOW. ALL WHITE REGARDINGS AND BE FULLY RESPONSED FOR CORPOSAL OF THE WATER, HOUGHDANL MYNDRI WELL BE BADOR FOR MAY BLIFF, BEREITA, MEASURES TO CONTROL BESENDE, ORCHINDALTER, OR ATTERMENTAGE.

The fall water and rectanged bases at a absumbly <u>supposes</u> of court. Counter become the fittens wither <u>10 figs</u> of oar bases bealt inn't and abservan cholast. A.

F DEWITAND COMMENT MEDIC DOCISIA ANY OF THE TOLIONING THE TRANSPORME. IS 199,000 OND TOTAL A MOUNT IN CONTINUE MAD A TRANSPORMED ON THE COMPANIES. THE CONTINUES MOULT BE RECURSED FOR PRINTING CONTINUES.

CONTRACULAL MANIFESTATIONS TO SET CONTRIBUTION IN CHIEF REPORT IN THE MEMORY TO THE MANIFESTATION OF AMERICAN CONTRIBUTION OF AMERICAN OF THE WAS CONTRIBUTION OF THE WAS CONTRIBUTION. WHIN COMPTRUCTION IS COUNTITY, REMOVE ALL DEWA TRANSMAY ELECTRICAL SERVICE.

AND AND THE TRUE SHALL SET FOUNDESTINGS TO CHICAGO AND THE STANDARD AND AND THE FAMILY TO ACCOUNTAIN THE SALVES OF THE STANDARD AND ACCOUNTAIN THE SALVES FROM A LIGHTS SHALL IN STANDARD SHALL SHALL

INTERNACIONAL CONTRACTOR CONTRACT

UMPTORATY SHOOTH GRADE THE SITE. DEPARTMENT FROM SETTLEMENT SHALLE FALLED AND COMPACTED. TOPS OF SHAMMINDER AND REFLUENCE THE RECOVERED THE REPORT THE REPORT THE SET SHAMMINDER SHALLOWED THE SET SHAMMIND THE SET SHAMIND THE SET SHAMMIND THE SET SHAMIND THE SET SHAMMIND THE SET SHAMMIND THE SET SHAMMIND THE SET MEMY ORIGIDATEMEL BE PROTECTED FIOR TRUFFE, AND TROSON. ALL SETTEMENT OR YMBERGAMEN THAT BLY COODS FROM AN CAULE FROM TO RESPROA ON CHESTOFMER BLYLE BENNERS AND DRADES RE-ESTABLISHED TO THE FROMED ELVATIONS AND COURS AT 10 AND TROAL COST TO THE COMMEN.

ROJOH EXCHANTE AND ORAJOE ANY PROPOSED STORMANIEN PONDIA AT THE START OF SITE GRADING ACTIVITIES, CHEECT BITE RUNOFF TO THE PONDS TO JOHN MICH. RANGOF TO CYTETTE AREAG.

Matthews 60 TAyoulo, Bate or Florida. Professional Engineer. (Seems 400, 1985). They seem of not have by Assimwa 6. DAwages on the Ages of Matthews 6. DAwages on the Ages of the Assimwa 6. DAwages on the Comparing septred and wealth and the supplied in the the second of the seems of the and the supplied and seems and the supplied on the verified on sury sheckome copure.

UNITER OFFENHARE NOTED FINE FAME. THE CONTROLLED WAS ARRESTED WITE MITTER FOR THE MADE IN THE WAS ARRESTED OF CONTROLLED WITE MADE IN THE CONTROLLED WITE MADE IN THE CONTROLLED WAS ARRESTED OF CONTROLLED WAS ARRESTED OF CONTROLLED WAS ARRESTED WAS ARRE VINCENT SECURITIONS PRILIT AT HIS OWNER, THE ATTEMPT OF THE ATTEMP ALL BENYEGS SHALL SKUNGE THE FOLLOWING <u>DAYS BIONE LANGUINE DE CORPORATIVA STORS.</u> COSPONANCE WITH AMAN CADA DO CORPORATIVA STORS. COSPONANCE WITH AMAN CADA DAD CORRES STRUCTURED, THE CONTINUE OF CONTINUE CORPORATION CONTINUE OF CONTINUE CONTINUE OF CONTINUE

A WAY OF A THE WAY 14,000 M ALDINE ARE TO BE THE TITE ON THE MEDIATION WITHOUT EAST THE COLUMN AND WARRACTERED BY AND CO-AMENICAL MANAGEMENT TO THE COLUMN THE RESERVENT AND THE COLUMN AND CONTINUE OF THE PROPERTY OF THE PROP WHATE IN CONDAMINATE DESIGNATIONS VALVES ANTITION VALVES SHALL MET ON EXCEPT THE GROOM BITCHERS IN THE PROPERTY WAS TOO THAT THE CONTRACT AND THE CONTRACT AND

g

MER MENTE ANALISE SERVICENTE PROPERTIES AND ANY ESTATEMENT OF THE PROPERTIES TO BE DATE. CARBOL SERVICE OF VAL PROPERTIES AND ANY THE SERVICE OF VALUES OF VALUES OF THE PROPERTIES OF THE PROPE PAC PIPER BIALL DE COLOR (2002). BLUE (MATERIA MATERIA DE COLOR (MATERIA MATER). MATERIA DE DEPARCE LETTERRA DE DE DE LA LILIATE DATE MELA PIPER DE ENDE PLOTALE VALTS HAPP OF TECHNIED DATER BARP DA PROPIOSALE. ALE ROSS UNDER ANI, ES RENGED FOTH AGAIT DATE WAY BOOM ATTACKEN LITE I FEBRE IN SWELTH WITH ANY AREA COMMISSION AND ACTIVE LITE AND ACTIVE PROPERTY OF A MARKET LITE AND ACTIVE AC

7

ŀ

MAILLA LOCATRO REAL CORRELA DE PRESENTA VERENTA PER ESCONOCIONED DE CAUDE COMMENCIA INDUSTRIANO DE MAILLA INDÚSTRIA COMPANDA DE MAILLA DE COMPANDA DE COMPANDA DE CAUDE COMPAN BRIALL WARREND TAPE ALONG ALL PROLIBER PLACED STRET AUGOS FRET. TAPE SHALL UR GANCH MURG WATH, CONTINUENT WOOD OF ULT AND CONTINUENT STREET AUGOS PARTICULAR STORED AND CONTINUENT WATH STORED AND CONTINUENT STREET WATH STREET WATER STORED AND CONTINUENT STREET WAS CONTINUENT STREET WATER WATER MADE STREET STREET AND CONTINUENT STREET WATER WATER MADE STREET STOPT AS A PROLICED.

28. TEST PROCEDURES BULL SE APPROMED SET DIE BROMERSI. ALL TESTE SHALL SE SAÜRE IN THE PRESENCE OF THE BACHMERA USLET, HOTET THE BROMERS MAD THE UTILITY COMPANIES AT LUCALITY SHOURS SETONE MAT INDIKE TO SE PREFECTED OR THETIES. ALL CHANCES IN DRIFCTON SKALL SE MADE WITH PITTINGS ON APPROVED JOHT DETLECTION, MEXICHG OF PPE, EXCEPT IS AND ON THITTINE. EX HONGRIFED, JOHT DETLECTION SHALL NOT EXCEED IN ON THE MANAFACTURET'S RECOMBENED.

NWC OF US-90 W & CENERAL NOTES SHEET LAKE CITY, FLORIDA 32055

AutoZone Store No. FL10562

REPORTED THE PROPERTY OF THE P

WHERE THE WASHINGTON THE WASHINGTON

THE VENTCAL SEPARATION BETWEEN WATER MANGAME AND SAMITLAY AND STORM BEWER, WASTENING TOR OR STORMWITER FORCE. MANS, AND RECUMBED WATER MARKS SHALL BE IN ACCORDANCE WITH THE FOLLOWING.

THE HORZOHTAL BENAZYDN BETWEEN WATEN WARRE AND SAPETAY BRINKEL, ET OMB BENGEL MALE TRYCKE BLACK. STORMER TONCE BLACK. STEEDING SERVICE AND DEBOOAL SYSTEMS SHALL BE IN ACCORDANGE WHITE IN CONCESSED STEEDING STORME. THE SALVENING SHALL BE IN ACCORDANGE WITH THE SALVENING.

ALL ROPING CONSTRUCTION SHALL MELT THE RECURSAISTED FECTION GO OF THE PLONEN DISMATMENT OF TAMERY STANDARD SPECIFICATIONS FOR BANDING OF TAMERY

THE DUTBOC OF WATER MANS BANLS & A MOMBULA OF THREE FEET FICAL THE CUTBOC OF ANY EXAMING OR PHOPOGES STORM REMER, STORMANTER FORCE MARK WICKUM TYPE SAMITARY SENSEN AND RECLASSED MATER MAN.

Interactioners water wants was same is a beautiar of six field from the outring of any independence or another specification force back.

FINE FIZE FROM WYT EXHITING OR PROPOSED STORM BEWER, STORMWATER FORCE BAIN, RECUMED WATER MARY WASAAN TITTE SAMETAY SEWER.

1 ION TELES TROS ANY EXCESSION OR PROPOSED CORVATY SAME ANT SEWER SERVICES OF SETTING THAT CONTRIBUTION OF PROPOSED SERVICES AND CORPORATE TRAVELS AND CORPORATE TRAVELS AND CORPORE TRAVELS OWNER SERVICES AND CORPORATE TRAVELS OWNER TRAVELS OWNER TRAVELS OWNER TRAVELS AND COMPANY TRAVEL

A MEN'NY MANTAN'I EST RESERVED NO STATEMENT OF A MEN'NY PROPERTY WAS A MEN'NY TRANSPORT OF A MEN'NY PROPERTY WAS A MEN'NY TRANSPORT OF MEN'NY TRANSPORT OF A MEN'NY TRANSPORT OF MEN'NY TRANSPOR SI, THE BECURDED OF TRETHING HID DEBARGEORY BALL BE AS FOLLOWE IN CHROLIC PRESENTE IND LEAGUE TRETHING. BY THE TOTAL TREPHY OF THE TRETHING BETWEEN THE WAS ASSESSED OF THE WHITE WATER WHEN MELLIDRIC WALKE AND FITTHER ASSESSED AND SECRETARIES AND TALK AT IT SERVICED THE.

APP I LEXCOL TRE PRESENT OF 192 MONTH MAN, 193 MET WAS ON 193 MET LEXCOLDED TO THE TREATMENT WAS AN ADMINISTRATION OF THE LEXCOLDED TO THE LEX MO LEALINGE IN ALLOWED IN EXPONED PIPMO, ILLINED PEPMIS WITH FLANDER, THERARED ON WIELDED JOINTS ON ELINED. MON-TOTABLE PIPMO, IN CONFLICT WITH FOTABLE FIRES.

PRIOR TO DERVESTITAN CONDUCT FULL DAMPETES FULLSHAND OF FIPE, ME IN SECTIONS IN ORDER TO REMOVE ANY SOLIDE OF CONTAMENTED MATERIAL THAT MAY HAVE RECOME LODGED IN THE FIPE.

RESIDENCE ALL DOTAGE NATED BASE RESIDENCE AND TOWN AND THE WATER MAY THE MAN T OSTAR A REMAIN TURBON VELOCITY OF 21 TRETERS RECORD PER ANNE CATA.
 OSTAR A REMAIN TURBON OF TURBON AND THE TRANSPORMT OF PERMANENT RELEASE OF AN AN HERDER FOR PLUMPED RIVAL POR PERMANENT PER LOCATION. ALL DETERMINE THE WARD WITH THE WELL ALL DETERMINED AND WASHINGTON THE CONDUCTION OF THE WARD WASHINGTON T TO SEE POINT IS IN THE WARTHER THAT THE SECUENT ON PROPAGOISTA, PER BASIL AND MAKENDO ON BLOCK THOM BENNAMED CHI CHEMINET ON THE ADDIC SECUENTATIONS. JOHN IS AND IS RESISTED AND THE SELL WAS THE THE WAS THE SELL WHITE AND THE SELL WAS THE

ALL DIRECTOR PROPRIED ALL DESCRIPTION TO REAL TO A HOUN AUTHORITY IN VIOLENCEMBROID OF THE ARCHITECTURE AND ALL DIRECTORS PROPER OF THE ALL DIRECTORS AND AL

Place France For CPH (1996)

GPH (1996)

FRANCE FOR TOWN, IR, 2004)

FRANCE FOR TOWN, IR, 2004)

FRANCE FOR FOR TOWN (1996)

FRANCE FOR TOWN (1996)

FRANCE FOR TOWN (1996)

G0.2

7₹

or according to the property of the property o

8



For Bidding & Contractor Information Contact: Dodge Data & Analytics. Tel. 413-930-4215 Cindy searcy@construction.com Owner / Developer: AUTOZONE STORES LLC
[12] South From Street, 3rd Froor
Memphis, Temessee 38103
TEL: 901-495-8709 P.X.; (901), 495-8969

CODO MENTAL SECTION OF THE PROPERTY OF THE PRO

GENEKAL NOTES SHEET NW FOREST MEADOWS AVE, TAKE CITY, FLORIDA 32055 NW FOREST MEADOWS AVE, 9 3 g 5 Þ AutoZone Store No. FL10562 REVISIONS

AND WITH HOME-WINN VETALID SMOLT, DONNETTHIN OF DUTHE RICH SIN PICE 1998 TO THE AMMONDER BUILD FROM THE A STATISTIC PROFILE DEPARTMENT OF THE STATE OF THE STATE

ROWES AND CONTRE SPOLI SE CREY STON PER ALTIA AND CLASS NO AND SEULL BE LOS, FOLNORY THE 22YAL, TAUPTO SEURTH THE TOTAL DESCRIPTION OF THE SECOND PER ALTIA PER SPORT SECOND SEULL SET STONEY SERVER, SPOCH TOTAL PRES SPOCH SECOND SERVENCE, SAME SET STEPHON SECOND SERVER SAME SE STONEY. SEVERE: OR AS DEFASE DON THE DELANDANCE. NAMES CALL PROPRIET PRINCE TO SERVICE TO CONTRACT AND ADMINISTRATION OF THE ADMINISTRATI

MANHOLE DOATHGE AND FRANKES SHALL BY A. AMYZARY BENER MANHOLE INTERSOR - MTI.

NTERDR OF LAMBTOLES WHICH THE FORCE MAIN TRICKLADE. PITEORALLY ATTACHED MTERIOR LIMEN, RULL HEID HIRROLABEL INER, LIMEN THICHLESS TO BE IN ACCORDANCE WITH THE DROWNOR.

GARL STRUCTIONE AND APPAITMENESS. Kladeling of the inference describedtor. The enema rect formet from alterior. The structure of the inference of the structure structure and foundations.

NHÈNE BÀLL DE PRECAST RE BY ONC DO CONCRETE PER ANN CORT ALANGACTARTO URROR AREA ATERRITARIT (RIBERT) HET DATE 18 PRIMER. 18 PRIMER. ARENT FALL DE DRIEMECT PRECATT SAME RECTIONS COMBITING OF BYTROMALY CART EACH, BOTTOM RIND RECTION MID CONCIPERE RECOMMENS, A BASE SECTIONS BASEL THAN ENTERODA BYTRIS THE MESTER TO BASET THE INSET THE PRECATE CONTINCTOR WHILL DESIGNED STATES TO SALL DESIGNED SECTIONS FOR THE TOTAL THE PRECATE OF THE TOTAL THE TOTAL THE TOTAL THE PRECATE OF THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE TOTAL THE THE TOTAL gabrets for beathu precast bethone blull be cold adheeme prefer specification mag. Une ess otherwise modated.

UNETSS ODSERWINE INDICATED COME TOP SECTIONS SAULT RE PRECLET RECENTING TYPE WITH 24-MOS LOADERS TOTOP OPENIN TOP SERVENING TO THE PROVICE EACH ADMINIST THE PERCENTS FLAT STANT TOP 3 WITH EXCENTING IN INCHI DAMET DR OPPORT THE DEPENDENT INCLATES. PRIORICA INCINITA WITE THAIN BIALA OF THE 1976 WANNOLL. CONNECTION OF CONCERTE WHO TO THE MANNOLL AND WASHINGTON THE WANNOLL AND WASHINGTON THE WASHINGTON T

PRAMES AND CONTRÉS BALLS SE CRET BION PER ALTE ANS CLASS DOS AND BALLS ET U.S. FOLKINYT THE STAR, TRANTS SEANS ALASHOT NELLOURING, MULES DITHERSEN DOS THE ENNANDELS, CASTINGE BALLS, ÉS GLODINE, LELLA PIES FORMS SES SICONS SES SES CHARLES, AND SHIRANCHE, ENSED EXTERDED DE CONTRES BALLS, SEGMENT, SEANS, CA ALCENTRES DANNES,

PROVING CAST INDVINLETS. FRAMES. AND GRANGS IN ACCORDINGE WITH DETAILS ON THE DIAWINDS, ALL FRAMES AND BY CHANGE BULL SE PROCUETS OF U.S. FOUNDER'S LIMANISACTIONING CORPORATION, OR SOLIM. THE TOP ELEMATION OF BANNIOLES CONSTITUCITED BY PANED MELAS BANL MATCH FREIMED CARDE. THE TOP ELEMATED MANNIOLES CONSTITUCITED IN CREASES AREAS BANKES HOUSED DISCRIMED.

INTERIOR OF MANHOLER WHICH RECEIVE FONCE MAIN DECLARDS. BREGORALLY ATTACHED BITERIOR PRENDAMELINER, LINER THEOLOGEST TO ME IN ACCORDANCE WITH THE DEVINANCE.

KIDBFORCES CENCENTE PRIE DICE, LONDES BAVILL COMPLY WITH ATTIA CALE AND POOT BECCHEATHER SECTION ASSUMED AND PAGE. CALLOURS SEARCH COMPLY WITH FOOT SECTIONAL SECTIONS ASSUMED ASSUMED COMPLY THE PIPE. INCLUDES COVER OVER THE PRE-DICEASE SAALE AS ORDERS. SCHENDIN - SPRANSKOLIS EPOKY COATHO, MHINUM DRY PILM THICOLESIS «

RCP PIPE SHALL NOT BE BHIPPED FROM MANAFACTURES UNTO, THE COMPRESSINFE BTRENGTH OF THE PIPE HAG PERMAN AND AMMENUE OF E DAYS WAYE PASSED SINCE THE MANAFACTURING OR REPAIR OF THE PPE WAS SEEN COMPLETED. UNDERDMAN PPE SHALL SE PERFORATED POLYNYKY, CHLOSODERME IN ACCORDANCE WITH ASTIM FIRM FAIR FAIR SOCK SHALL SE TYPE GAS IN ACCORDANCE WITH RECORDANDING SECTION 1985.

ALL INVELZOVITE BOULL DE VIRANDED WITH PLITER FARING. PLITER PARINE DOULL BE DI ACCORDINGE WITH FOOT STANDARG HOGEL 490-01, TYPE DG. ACA, 16-10, BISTALL IN ACCORDANCE WITH FOOT BIDES NO. 200, PROMISE BRINDIN 12" DYTHE, M

DANCE WITH FOOT SPECIFICATION SECTION 446. INSTALL CLEANOUTS AS INCOME ON THE PRIOR TO MIRPROTIONS AND TESTING, CLIEAN ALL MISTALLIED LINES AND BTRUCTURES.

ALL BANE AND PAZEMENT WARRANGS BAULL BEPLACORDANCE WITH THE YMANIAL ON LIMETONE TRAFFIC CONTRIOL DENCES THE LATEST BAPILEMENT INDICATION OF FEDTI BOADWAY AND TRAFFIC DE BROK STANDARDA. ALL NOADWIY PAVEMENT BARNDROG BAKAL BE TAIDBIOP AETG WITH TAMBED PAVEMENT ALAGER (TYPE 611-4" 141), MAMRE PAVEMENT MARKERE ARE TO BE HISTALLED IN ACCORDAGE E WITH THESE PLAKES WAD FROT STANDARD PLAKE BIDES TOKAS).

ALL BOLDWAY TRAIN'S RIGHE BUILL BE MANAFACTIMED LIBBOG NOOI PITEMENT RETRORETRETING MATEMALE. THE MACK OF ALL TRAINED SHALL SEE STEEKEED WITH THE BATE OF FARRICATION THE FARRICATOR BRITILE, AND THE NAME OF THE THE SHEEFIND INTERESTRUCKTERS. PARIONG STALL RAVISATION MARKOS SHALL BE <u>PARITED</u>. PANT SHALL MEET THE RECUREDABITE OF 1901 SPECSTCATION 171, NOW-TRALECTMC <u>WALTE TRAFRO PARIOL TWO GOATS</u>.

BALTENKE AND CONSTRUCTION HETHODS TON THE RALDWAY AND PAUMS COMETISCTION BALLE BY ACCOMMENCE WITH THE OF LORGE AND HIGH OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE COMPTILCTION LATEST EXTRON

CONTRACTOR ALL ACCOUNTED TO THE WILL DO THE CONSTRUCTION PARE, ALL DIARS HALL, WAS EAVED'T CONTRACTOR. CONTRACTOR CONTRAC

ALL MANCLES BOULL BE PRECAET CONSTRUCTON. THE BONACH MEE DAMETER OF MANIOUS SHALL BE<u>LEF</u> FOR SEMEN LINES 23; <u>INDAMETE</u>S OF LEIGH, INTORALLY CAST STEPS METHIN PRECAET STRUCTURES MEE NOT ALLONGO.

nbrer baal ir pholast rebronced comprete by acts car amapantured urba san fair rebetas in chardi. Coless Cotto type ir, augens baal ir sandh odaneter urberg otherwise rickated and baal and ambran wall prickees E ricket

GABRETS FOR SEATING PRECAST SECTIONS SHALL SECOLD ADHESING PREFORMED PLASTE DASKETS SPEC FEATING SHALL UNISSE DININGER PROCESTS.

9

THE POTENTIAL TOWNS TO THE THE PROPERTY OF THE

3. THE CONTRACTOR NETALING THE UNDERGROUND THE PROTECTION PIPING GHALL HOUD A GLASS I, II, OR LEVELY CERTIFICATION AS REQUIRED IN THE STATE OF FLOADA, AS REQUIRED BY THE STATE OF FLOADA, AS REQUIRED BY THE STATE OF MSTALLED SHALL COUPLY WITH MPA 13, AND SHALL BE MONTORED BY A COMPAN

4. ALL PROMETRY AND USE OR ENGINE THE TOTAL TITLE WITH THE TOTAL T PROBANTS SHALL CONFORM TO AWAY ORD AND BUYLL BE TURNING COUNT FTE WITH WERNOY AND OTHER APPLIETD MAICE, MANUFACTURES & CRÉTIFICATEM OF COMPLANCE WITH AWAR CADD AND TESTS LETES THENSING WILL BE REQUIRED.

all findrames blail be parted by an amphone landing with the parte beat being coppets to and etertopic size and Proper and the prime part that is two comits of beatel, or precal to call to call recurred the tree of the following Department: B. BUJE AVERBEIT RETAGNISTING GAT EYER, SHALL BE PLACED IN THE CONTRIANS OF THE DREAMS LAWS GRECTLY BY FRICH ON ALL PREMATED AND THE CHARLES AROUND THE STREET STREAMS OF THE AREAS.

 In this southout of testing and despectible sout, selve follower the choice flow, presente and leaved estimate.
 Brindle flugged for little followed file and aware desting despetich the water way from the despetition of the file followed followed file and persons. II. THE CONTRACTOR BANEL PROFIZE A POLITICIDATE INCH TRES NUTRIESSED AND APPROVED BY THE ENOBYGIN AND THE UTILITY. HE DRANTE BANEL DILLYREN A MYRRICA DEPOSIT SHE OF 1250, OFF. WITH A RESIDUAL PRESSAUS, OF 200.

WAY OF CONDUCTOR THE THREATED OF STATE THE STATE OF THE THREE STATE S THE PART LANGE THE RELEASE OF SALE HIP WE ARROW MATCHING FERROR FOR A MASSON WHITE OF DEED AND THE RESERVENCE OF THE RES

THE ORDITOR OF PRINTED WENT AND THE CONTROL OF THE ALL OF THE CONTROL OF THE CONT NO LEALANGE HE ALLOWIE OF EXPOSED PRINCE, RAYED PERMONNEY FLANCED, THRELDEE, ON WEIGHE JOINTS OR BURIED.
 NOW-POLASI E YERRO DI COMPLET WITH POLABLE WATER LINES.

A. ALI DESERTITIVAMENTAL PALL ACCOPTANT OF RATTLE CALL ARTHOUNTY. THE REQUIREMENT OF THE RECOVERANT WIND WAS IN ADMINISTRATIVE WAY RECOVERAGE OF THE MATCHING FOR GENERACION THAT OF THE MATCHINGS THAT CONCRETANT WHITE WAS DEPENDENT THAT BEAUTION CONTROL MATCHING WHO WE SHOULD OF DESERTE TON ITCA. ALL WAS SECURIFIED AND PRINCE PRITITIES AND CONTROL TO AMEND OF SECURIFIED AND CONTROL TO A SE

THE BHITTY THAT WALLOWED THE WASHINGS THE BROWN BY STEED ANGON ON THERE PLANE IN MALIOZONE REQUESTALLS. THE PROVINCION SHALL WEST ALL THE RECOMPLIANCE OF <u>LAKE CITY UTBEES.</u>

INSTALLALL SEMET MANNS AT A MEMBERS IN BE<u>ODES</u> OF COVER. JOHITS SPALLMEET THE RECAMPEMBETS OF METH DOLLY USING NUBSER CAGKETS

FETINGS BALL CORFORM TO THE BALLE REQUESTABLES THE PIPE. PROVIDE ADAPTES AS RECURID TO JOH PAC PIPE TO BITE. FETINGS AND ECUPALISH OF DITHER BALLERALS, SOLVENT CENERY SHALL BE AS RECOMMEDING BY THE PIPE MANUACTHRED.

BENGR PPE SAAL BE COLOR CODED GREEK STEWCK.ID "SEWER LINE" OF 16 AREAS PER PIPE SECTIONS.

The control of the co

MATAL WANGAD TAVE ALDHO ALL SEWER PPELDARS, TAVE SHALL RE BANCH WINE WAYL CONTINUOUS TAVE COLLORID GAEDA WITH OF 1 FOOT REGION GANDE.

COMMICTIONS TO EXISTEND REVIEW SHALL BE CONTOUTED BY SUCH A MAMMER THAT THE EXISTEND BEHINE RELIANS IN DIFFRATEM PROFINDER THAS RANDHOW OF EXISTEND FURNIC OF CALLET FOR DECALLY DEMANDE OF EXISTEND REWER FLOW AS HELDED TO ACCOMMISSARY FRANKINGTHY WHATE FOR SECTION TO SHARE IN SURVEY BY SHARE OF EXISTEND REWER FLOW AS HELDED TO

PROR TO REPRETIONE AND TRETTO CLEW ALL PRETIALED LARGE AND ALMANDLES. TEST PROCEDURES SAUL BE APPRIXED BY THE
PROPERLY ALL PETER SAULE READER TO THE PRESENCE OF PHE ROPIGETA NO DISTRY, HOLTY, HOLTY THE WASHER AND THE UTILITY
COMMANGE AT ILEGET TH HOUSE REPORT ANY MONE IN TO BE RESECTED ON TESTING.

A. Ricogo ALL Lighter on ETTING A Sequent TO THE ASSOCIATION TO THE STREAM AT LITTLE DAY, IN EVEN AND TO THE MANAGEMENT OF THE ASSOCIATION OF THE

PROVIDE LUST JOUREZ HAD MERIONE FOR LUMPRO OF JEWER, ANY SERVER IN WIRES THE OWEIC LEST OR ELEMP CARROLLES. IN WEIGHT SERVED THE OWEICH LEST OR ELEMP CARROLLES. IN WEIGHT SERVED THE OWEIGHT SERVED THE SERVED THE OWEIGHT SERVED THE OWEIGHT SERVED THE SERVED THE OWEIGHT SERVED THE SERVED TH

WHICH CONTRIBUTES IN THE SECRET OF THE SECRE

PAVING BASE, AND BUBGRADE THICKNESSES INVLLINE IN ACCORDANCE WITH DETAILS ON THESE DRAWING

BROWNLES ARE TO BE CONSTRUCTED IN THE MELOS AS BROWN CHITHS THOS RUME, LANDELANED BUMBE BUAL BE PROMINION ALL INTERESTREAD BUSINESS WELL BE IN ACCORDANCE WITH THE FLORICA ACCESSMENT'S CODE FOR BUILDING.

THE DOCACION COMMENT STABLE AND INCOMES TEETHOO TREGOLDICATE OF BURKARE HANK AND ARRANCE BULL BE THE THE OWNER THE STABLE OF THE OWNER OF THE OWNER O

Louist outcomes recurring the design of services and a service stress the service seed outcomes to the service seed outcomes for the service seed outco

NWC OF US-90 W & NW FOREST MEADOWS AVE, LAKE CITY, FLORIDA 32055 5/28/2025 9 Owner, Developer: AUTOZONE STORES LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38103
FRX; (901) 495-8969
LLC 7N2 ç 7 AutoZone Store No. FL10562 REVISIONS THE LECKING ON A LYCOTROP OF LINE SHOWN ON THE AS A LINE RETURNED TO THE CONTRIBUTION OF THE ASSAULT OF THE ASS THE GOVERNOR OF THE RESEARCH OF THE THE STATE OF THE STAT A AL REPRESE SERVICERE NAMES AND AND CONTROL ETCH, AND CONTROL ETC A DEMOLTIVE WAS REPRESENTED BUILDING.

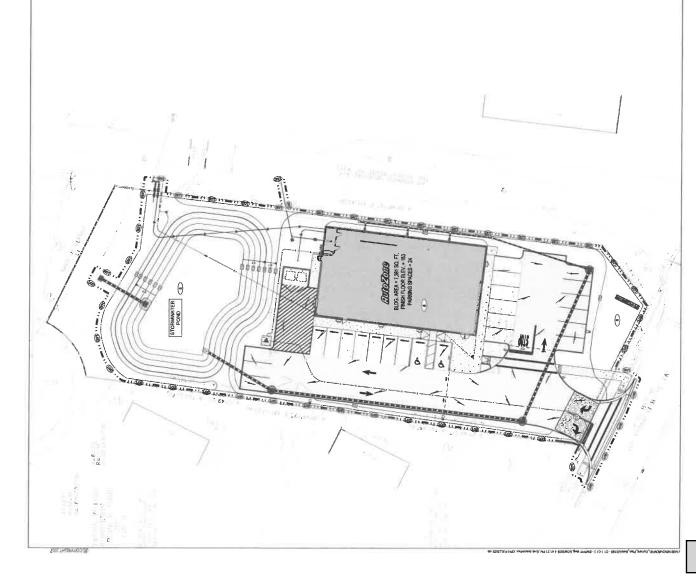
DEMOLTIVE WAS RECOVALED SOFTWOOD WHITE ASSISTANCE CONNECTE PANNO AND COMMENT ON NATIONAL SOFTWOOD WHITE SOFTWOOD WITH DEMOLTIVE SOFTWOOD WAS UNDESTRACTOR ON THE SOFTWOOD WAS RECOVED WITH THE SOFTWOOD WAS RECOVED TO STEMPORT THE SOFTWOOD WAS RECOVED WITH THE SOFTWOOD WAS RECOVED WITH THE SOFTWOOD WAS RECOVED WAS RE REMOYE AND LEDALY DISPOSE OF ALL OTHER RUBBISH, RUBBIC, AND DEBRIS, COMPY, WITH ALL POSITIONE GOVERNIND DISPOSAL, OF WASTES AND THE FOLLOWING LIST OF STRUCTURES REQUIRING DEMOLTION IS INCLUDED FOR THE CONTRACTOR'S CONVENENCE ONLY. THE DRAWINGS INDICATE THE SCOPE OF DEMOLTION WHERE DEMOLTION IS REGURED. 12. AR HAMMERS OR OTHER DEVICES WILL BE PERMITTED ON EXTERIOR WORK 16. CONTINUOUS ACCEBS SHALL BE MANYANED FOR THE SURROY TIMES DURING GENOLITION OF THE EXISTING PACILITIES. <u>Male</u> DEMOLITION NOTES: Sunstitue 840 com **!**[]**⊗**⊗ LEGEND:

TEL:901-495-8709 FAX: (901) 495-8969
For Bidding & Contractor Information Contact:
Dodge Data & Analytics. Tel. 413-930-4215
Cindy searcy@construction.com

NW FOREST MEADOWS AVE, LAKE CITY, FLORIDA 32055 STORMWATER POLLUTION

N∀7c	REVENTION I	1 b
9	3	
9	7	
Þ	L	
	KENIZIONZ	

	Manual Protect Books Manual Protect Books December 46, 318 been degrade to be degrade to be so to have a compare of the so compare of the so or the sole of	Þ	1 I KEVISIONS	AutoZone Store No. FL10562 NWC OF US-90 W &	Owner: Developer: AUTOZONE STORES LLC 123 South Front Streat, 3rd Floor TRI: 901-495-8709 FAX-(901) 495-8969	\$ 28.8 E
	HOROTOTICAL MAY THESE TRATES I LONGO BOOKEN MAY AND THESE TRATES I LONGO BOOKEN MAY AND THESE TRATES I LONGO BOOKEN MAY AND THESE TRATES I LONGO BOOKEN MAY MAY THESE TRATES IN THE MAY MAY THESE TRATES IN THE MAY THE MAY MAY THESE TRATES IN THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY THE MAY THE MAY THE MAY THE MAY MAY THE MAY					Phic Scale in Feet Configuration of the Scale in Fe
COUNTY						S CHOOL SERVICE STATE OF THE S
1 8	TEACE SUMMARY 112 A.C. 116 A.C. 116 A.C. 116 A.C.					Sunshine8ff/com
1	AREA					



61.2 5/28/2025 7N2

For Bidding & Contactor Information Contact Dodge Data & Analytics, Tel. 413-930-4215 Cindy searcy@construction.com

Owner / Developer: AUTOZONE STORES LLC L23 South Front Street, 3rd Froor Memphis, Tennessee 38103 Street, 901-495-8709 FAX; (901), 495-8969

ormweter Team

SAMPLAND AND

B

GRAVEL & WIRE MESH INLET SEDIMENT FILTER

TREE PROTECTION DETAIL

VICTO UMHUR IN TRAFFIC AREAS AT THE CAN CAUSE A HAZARO.

CURB INLET PROTECTION DETAIL

FURE RETANDUÇAN BAR TO LI

STEELTEE POST NY CAPS DRIVE BROGRESSON FOR SATTACH WRE HERN WITHWEIRD WISE

K TEY PULCE CURB TYPE RECHEMING BRE ON CONTLY RUPTHE STREET REGUENTS WHERE MATER CAN DISHO AND ALL ALL SEDMENT IS SEPARATE FROGETORY FF

7 WADDWA N. BERKER BURLA DE MONTO DEDITITE FABRE. DE PALL GARREL LANGERD, MONTO DE METODE NI TO BENYER A BELLINAT FAR NA LEAKE ONE BANDEAD OFF BETODE NI TO BENYER A BELLINAT FAR A MASTER RESPYED PELLE FOR THE CONTRACTOR METODATE.

CAPUNE OF TAKE IN-THE EXTENT OF ITS SHAFTS 2 OR MIGE!

Topic Topic

absoluted Rights and increase in recentant to the figure out of the state was the state of the s

Michael Des Aubschafts unter communation nathrings processes und subscheidungs Presset Contradendion (Andre Sank Automobile in The Result Processes and Contradents AURO office (Antradents August) von Walther outer in Augustung Augustung Presset (Antradents August) von Augustung auch 20,000 von Begeben von Augustung Antradents Presset (Antradents Augustung Antradents Augustung Augustung Antradents Augustung Antradents Augustung Antradents Augustung Antradents Augustung Antradents Augustung Antradents Antradents Augustung Antradents Antradent

more recovered that a signification of the control of the control

SETCE APPENDENT HORGON HAR MANUALE HARDE HEAVE CHRESTAR TOD A VANGARIE OFFICIDO BUT HAV WARRENDE HEAVE THE THING THE HARDEN AND THE OFFICIDO BUT HAVE WARRENDE OF THE DAMAGE TO ADMACH THING THE ADD MANUE TELLO MART.

e contractor shall complete this table identifying the individuals of adominate team and their responsibilities.

Pear Property Propert - Well

TVLSO NOLISLOSS SHIT BAID

on the property of the property of

Sunstitue 811 com

LOGATY NATED FOR A MANUAL TO EMPT FRITTE SACA AT A SECREPT COLLECTION DESTECTLE BAC SATER DICTUT COLUNIC HYLOH POPE EXPARICE REALGAST

LOLEY BURDER FOR THE PLEASE SELECTION PETANDALAR BAR LIFT RECTANDALAR BAR PLE

CAUTION
BEACHER
BEACHE

PURSER PROCESSION

TAT BRESHT T COLORED WILDW ROFT F O' AMBON The control of the co

100 to 10 Trends of the control of the control

GEOTEXTILE BAG INLET
PROTECTION DETAIL

THE CONTRACTOR BOALL CHRUNG THE TALL CHRUNGAR ON BETTER HAZARDOLD WARTE HAND TO TE BARBETANCES AND PROFESSION BETTER THE TALL CHRUNGAR AND THE CHRUNGS ON THE CHRUNGS THE CHRUNGAR THE CHRUNGS THE CONTRACTOR BOALL AND THE CONTRACTOR THE CHRUNGS THE CHRUNGS THE CHRUNGS THE CHRUNGAR THE CHRUNGS THE CHRUNGAR THE OFFICE OF STATES OF THE STATES OF THE STATES OF THE OFFICE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OF THE OFFICE OFT THE TOT MEMOGRAMMENT.

THE PROPERTY SHEET MAY ALK WASTE AND DEBME AND WANGED DAY TOUR YEAR THE WAY HOT NATURE STORMATION OF THE WAY. та и так выпистива жарытта акт совктиустра пыт сытевые жара. Тоб плом же воститить и соктводью чу В бырых жарая патем от бырыт бай обем выбраем же исстаь эт се выстоянное выму все в пот от преве че настоя мы ядляе встато сам совтос учество, чество <u>VAT CONTROL.</u> DANE BASIN AND ALL BE VALUE WATERED CASING EGREFACTION AS INCLEMANT BUALL I LOSTING DIME OF ALLOWED TO LEAVE THE SAFE LADDER CONSTRUCTION. OF 148 WARPS BLOC CLARTY WITH THE INTEREOT FEEDBLESS, REPORT THE THIN MAD LINE RELUTIONS TO WAS TELEMENT BLOCK E. CLATTRACT OF MACK CARLINA A CLOT FOR THE BEHING REPORT AND EX-TRACT RECOLOR OF MACKETER BLOCK PROVINT MACKET THE BEHING PROMISE THAT THE BIN TO MERT THE RESULT OF THE GREATER PROVINT MACKET THE BIN THE THE BIN TO MERT THE RESULT OF THE GREATER PROVINT MACKET THE BIN SITTE CONDITIONS & ACTIVITIES MARRIENE
 THE ENSTRUCTIONS CONSTRUCTION FOR INCOMPETED INTO TO CONSTRUCTION IN VALUE AND MALDS EXPECT ON ANY THE AUGUST PROCESSINGS.

Color and the state of the stat A DESCRIPTION OF THE CONTROL OF THE

THE CHINK TO BOOL BOOK BOOK TO TO TOWAKEN HOUSE WE ARROWED TO SAFE THE THE SPECIAL SPE BERNAL SOTING. TO SERVICE WITH THE TOTAL WITH THE TOTAL SOTION OF THE TOTAL SOCIETY OF THE TO NO NONE TO THE TREE OF THE STATE OF THE STAT Promised, Livery and Additional Land Section 2015 and Additional Livery Vertication and Control Livery Charges and Additional Livery Vertication Section 2015 and Additional Livery Vertication Section 2015 and Additional Livery Vertication Control Livery Research Section 2015 and Additional Livery Vertication Additional Livery Vertication Control Livery Vertication Contr

And the selection of the selection of the selection of the Annalys (College of the Selection) of the Annalys (College of the selection of the Annalys (College of the selection of the Annalys (College of the selection of the sel

AutoZone Store No. FL10562

RICE THE COVER OVER THE THINGS OF SECURATED THE COMPRISHED THE COMPRISHED SHOULD SECURATED THE COMPRISHED THE C

SIDE VIEW

CYTICAL CONSTITUCTION MISCHERS A COVER

TOP VIEW

EXYMPTE AMMENTALLY 10 C'RELON 14E TOP DE 1-E REET BY MACHINE, ENBANC DRICK DRICK BELTS SENCTURE, ENBANCH DE PROPERS TO SERVICIORE.

NACET IL ROUND THE TRANSPORT OF THE RESIDENCE OF BOUNDED TO COMPLETE.

NETALINITIES HOW THE BUILDING THE BUILDING BANK WE INCERSION TO COMPLETE ELLANGTON TO COMPLETE ELLANGTON. DOMED INLET PROTECTION (PREFABRICATED)

BLOCK AND AGGREGATE INLET SEDIMENT FILTER

anu lanu

GRANEL FRLED TANDONG !

9

g Þ

ARCORD OF DATE WHY BEY ANY PETALLED OF REMOVED THAN CATTON WALNESS ARE INTENTED. MADE GALADING ACTIVITIES COCKER, AND COGNITING TITES THAN THE TERMINANT OF REMOVED VICENCE ON POTICION OF BITE. THIS FORM MATERIAL PROPERTY CONTRACTORS OF THE PROPERTY OF THE WITH THE PROJECT OF THE PROPERTY OF THE PROPERTY OF THE PROJECT OF THE PROPERTY OF THE PROPERT

ESCRIPTION OF ACTIVITY

TRATABOON 19'O'C SIGES ASSETTING ALL SIGES, DRATE TENER B

MADE TALER FARME AND MAD MADE FRAME AND STAFFE IT TO SHAPE NEW POEM

> THE CONTROL WALL MEVERS WESSELLEN, AND ACCOUNTS AND ACCOU ТРЕ САКТИСТОВ ВИЗД РВОИТЕ АСКОДИТЕ БИППАРТ РАЗДЕВЕ КОВ ВТЕ РЕЗКАВЕТ БИППАЛ ТИВООВИСИТ СОВЕТИЛЕТЕМ АМО В ВЕКТОЕ БИВ ВИВИЕТ ВВИКИТЕМИЕТ В ИССЛЕДНЫЕ МЕТИ АМЕТИЛИЕТ СОСИ, МЕТЕОВЕМ ВЕВОЛАТИЛЕ ЗАМЕЛИТЕТ ТОСТЕТЕ ВИЛЕ В ВЕКТИЕТ КЕДИНЕТ ТЕВОТИТЕТЕМИЕТ ВИТОТЕТЕМИЕТ ВИТОТЕТЕМИЕТ В ВИТОТЕТЕМИЕТ В

PLAN VIEW

SWPPP IMPLEMENTATION LOG

CONTRACTOR TO ADD SHEETS TO CERTIFICATION TABLE AS NECESSARY

BEGIN DATE

THE BARRY MUST CLEARLY DENTIFY TON EACH HEARDER DENTIFED WINNE THE GAMPRY THE CONTRACTORIS OR SUBCONTRACTORIS) WHO WELL IMPLEMENT EACH MEASARE, ALL CONTRACTORIS, AND SUBICONTRACTORIS) DENTIFED IN THE SMAPP MUST SOON THE FOLLOWING CERTIFICATION

CONTRACTOR / SUBCONTRACTOR CERTIFICATION TABLE

OCENIN TREGENARE FROM LYCHATOL MAGESTAND LAG BALLE COMPLY WITH THE TSTAM AND CONDITION PROSPETON FOR ICENSIN FRANT FOR

REVISIONS

NOTE CONTRACTOR TO ADD SHEETS TO THE SWIPPP INFLEMENT

YOU URNEED TRAFFIC AREAS AS

1007-141 SECTION OF PARTIES AND TO RECORD MAKE INDIGATE OF THE DESCRIPTION OF THE THE SECTION OF THE SECTION OF

SECTION A - A

WERT A RELIGIOUS DE GAMITTER E DATCAURED OIT DE RITE THE CONTACTOR BANILOLDAN OF ALL MALID MATERIALS AND RECONTACTOR DE MACHINE DE MATERIALS AND RECONTACTOR DE MACHINE DE MACHI

NATTERIALE MANAGEMENT, AND ROLL TOTAL TAXABLE MANTENINGS.
AND ANALYSIS STATEMENT OF THE CONTROL OF THE TOTAL DE WASHINGS PARTY BY HIDDER MANTENINGS THE CONTROL DESCRIPTION OF THE TOTAL DESCRIPTION

A MEN CHAIR, AND THE CHAIRMAIN THE CHAIRMAIN CHAIR ARREST ARREST CHAIRMAIN C

CADER GRATE 4 DVER STRUCTURE

FILTER FABRIC INLET PROTECTION DETAIL

THE CONTRACTOR WHAT EVERET FOR A LOAD, ALMOODED REPORTED REPORTED AND EVERT AND REPORTED TO THE THE OUT OF THE WANTER PRODUCES WHAT THE PRODUCE WAS THE WAS THE WAS THE PRODUCE WAS THE WAS TH

тое, соителественные выпасет пета на населен в допровен подов мызе тволеве але спору мировет верато пред аме С и аблево выбото выпасет со подовение с тот - соетактор выде выветные точе выпасет на точе выбото в срементом Објементо педатовен выбото выпасет со обласности в соетактор выде в выветные точе выпасет в серос в прове RESEAL STREET, SAN EXPLICITED AND ALL THE PROPERTY OF ANY CODE AND BACK AN PROCESS AND PROPERTY STORED OUT OF WINTER THE OWARD AND ANY CONTRACT WITH A MANAGEMENT THERE AND STREET, STREET CONTRACTOR OF ANY CONTRACTOR AND ANY CONTRACTOR ANY CONTRACTOR AND ANY CONTRACTOR ANY CONTRACTOR AND ANY CONTR

IOTE: LYOD USENG BY TRAFFIC AVEAUE AS 146 CAN CAUSE A HAZARD.

CLEARNO AND BHIDDING DIEBENT VALLE PALL DE CONTROLLED LO ALTO UND TIZE LARMOTIETTED ENUMBLE AND RETAINED EN MEMBER OBERCHE ERICHDING ELTITAL MESS THE LIBE THAT LEED DAMINET SALE ERICHDING MADE ET ACTE (SOBERE MEMBER) THE VARIETY OF VARIOTIET TECHNIQUES CLEAR TO SALE TO SALE MEMBER THE VARIETY OF VARIOTIET OF THE VARIATIES OF TH THE STATE OF THE STATE STATE STATE OF THE STATE THE CONTRACTOR BANCE FURNISH BATTAL PTR THE BEOVERCE OF CONTRICTOR TRACTOR INVESTIGATION OF THE CONTRACTOR BANCE TO SELECT THE FACTOR TO THE CONTRACTOR THE

HIS CARTAN, LER RING, ADART, ADART, ADD ON RECORD MINNS ALRECESSARY TO CLARK, WITH THE INTERFE OF THE CARREST REPORT NO.
INC. WARRY LOS IN ADDITIONAL CARRESTANCE, IN "A CONTRICTANCE NAME IN CARREST RESIDENCE PRESENT ACCOUNTS."
INC. WARRY LOS IN ADDITIONAL CARRESTANCE OF THE THE CARREST RECORD MINNS AND THE WARRY OF ADDITIONAL ADDITIONAL THE WARRY OF THE

INC CHEMICS WAS LEGET FOR SMIRE FLABBOT AT ALS SMIRE THE COMPACTION BUGS, SOME AND DATE MITCHANGES TO THE SMIPP MANUEL THE AND MINES TO THE CONTRACTOR WHEN THE MINES THE POST CELLS WELL STATES CFLIETTE CONTRACTOR BANAL.

THE CONTRACTOR HALL BRAINE THAN THE CONTRACTOR AND ALL SUINCONTRACTORS REDICHMENT TO BA MEXIDINE STALL GUT THE CONTRACTOR THE CONTRACTOR CRISTERS STANS TABLE VEGLODED IN THIS SAMP

THE CONTRACTOR WALL COMPLYTE THE CONSTRUCTER BEOLEVED HALL BACKGROUP IN THE BARRY SHIP IN SPACE AND THE PRESENCE AND ALTER SHIP IN THE CANALISM SHIP IN THE TABLE WHEN ALTER SHIP IN THE TABLE WHEN SHIP IN THE TABLE WHEN THE TABLE

ATMEDITY

1. TURBECH - MEDUCTION TO NO HOME

DISCHARGE CIPT BITE

A Y CONTROL BELLEVIET

A STICK CANNA DAY STRE BLACKARDAT HE HAN CORREP OF USEA LAGE CITY RELIGIOS STATE SECURIA DE CANAGES TO STATE MANDEL TO SECURIA SECURIA DE CANAGES TO STATE TO SECURIAL PARTIES TO SECURIAL MANDEL TO STATE TO SECURIAL PARTIES TO SECURIAL TO SEC

STORMWATER POLLUTION PREVENTION NOTES

613 5/28/2025 7N2

For Bidding & Contractor Information Contact Dodge Data & Analytics, Tel. 413-930-4215 Ciudy, searcy@construction.com Owner, Developer: AUTOZOUE STORES LLC
[23 South From Street, 3rd Floor
Memphis, Tennessee 38 103
FAX. (901) 495-8969

9

g

ON-SITE LAND INFORMATION:

(a) PIPE GUARD - SEE DETAILS 14, 15 & 16/05.1

(7) BULLDING ROOF DRAIN DOWN SPOUTS, SEE GRACHING PLAN FOR CONNECTION, GEE DETAIL 25/05.1

STORIMMATER

(6) HANDICAP PARKING SYMBOL AND SIGNAGE (IN ACCORDANCE WITH FDOT STANDARD PLANS 711-001) - SEE DETAIL 7, 12/05.1

(1) ASPHALT PANING - SEE DETAIL 5/CS.1

(A) HANDICAP PARIONG (IN ACCORDANCE WITH EDOT STRANDARD PLANS 7/1+001) - SEE DETAILS 6/8 7/CS.1

(1) CONCRETE CURB.- SEE DETAILS 1 & 2/05.1 (2) CONCRETE PANNO, SEE DETAIL 4/05.1 E.PANSSONA AND CONTROL, SONTS, SEE DETAILS 21 & 22/05.1 MAXIMA BPACTION FOR CONTROL JOHN'S IS 15-0.0. EACH WAY.

KEY NOTES:

LEGEND:

SITE DATA INFORMATION:

2

ME31

(1) 4" WIDE PARKING STRIPE PAINTED WHITE (TYP.) $\overline{\langle x \rangle} \ 4" \ \text{MDE DIAGONAL STRIPES PAINTED WHITE } \oplus 2 \ \overline{\langle x \rangle} \ FT. O.C.$

NO SCULE
FDOT RAY CONCRETE PAVEMENT SECTION

(13) CONCRETE HANDICAP RAMP - MAXIMUM SLOPE 1112 (8.33%) (PER A.D.A. REQUIREMENTS). MAXIMUM CROSS SLOPE 1.59 (2.00%), REF. FDOT

ÖÜ

X 8 00

S

B (a)

PAVEMENT MARKINGS - SEE DETAIL 23 & 24/C5.1

(%) STOP SIGN (36" X 35") - SEE DETALL 20"CS.1

(B) PAVEMENT MARKNOS - SEE DETAIL 23 & 24CC

(A) PCOACRETE SIDEMALK PER FDOT STANDAR

(PLANS \$522-001

6' CONCRETE SIDEWALK PER FDOT STANDARD PLANS #522-001

(17) CONCRETE TRANSFORMER PAD, CONTRACTOR TO COORDINATE WITH ELECTRIC UTILITY PROVIDER

12" SOLID WHITE (TYP) PER FDOT STANDARD PLANS #7/1-001

(2)

n na ak

CONTROL OF

(9) SITE UGHTING - SEE DETAIL 13/C5.1, SEE PHOTOMETRIC PLAN, SHEET PH0.1 (20) 6" CONCRETE FDOT TYPE "CR4" CURB (PER FDOT STANDARD PLANS #522-002 PEDESTRIAN CROSSING SIGN (W11-2).

SLDG. SETBACKS AND LANDSCAPE BUFFERS:

(s) MASOWRY WALL DUMPSTER LAYOUT (REF. STRUCTURAL PLANS) - SEE DETAILS 8, 9, 10 8 11/05.1 (19) PYLON SIGN - 18"X 5-8", 25" OVER ALL HEIGHT, SEE SIGNAGE DRAWINGS (UNDER SEPARATE PERM T)

(a) CONCRETE SIDEWALK, 2% MAXIMUM CROSS SLOPE, 5% MAXIMUM LONGITUDINAL SLOPE SEE DETAIL 18 8, 2005; 1 FOR SIDEWALKS AROUND BUILDING.

REVISIONS

AREA OF PROPOSED IMPROVEMENTS 53,031 B.F. (1.22 ADJACENT LAND INFORMATION:

NA IG MOIZNAMIO ATIZ
LAKE CITY, FLORIDA 32055
NW FOREST MEADOWS AVE,
MMC OF US-90 W &
AutoZone Store No. FL10562

MA IG MOIZINAMIO ATIZ
LAKE CITY, FLORIDA 32055
NW FOREST MEADOWS AVE,
NWC OF US-90 W &
AutoZone Store No. FL10562
'

	1	
UBE TYPE RETAIL COMMERCIAL		_
PARGING REGUINED. BUSINESS, COMMERCIAL. 1 8PACE PER 340 SF OF ORC. (7,391 / 350 BF) > 22 BPACES	COMPRED. COMPRED. (17.34) 1300 BP or OF OROBE FLOOR AREA (17.34) 1300 BP or 22 BPACER	
PARKING PROVIDED =:	PARKING PROVIDED = 24 (INC, 2 ADA SPACES)	
MING. IPPACES PROVIDED BY ADDITION TO THE 24 ABOVE.	CONTON TO THE 24 ABOVE.	_
ONE LOADING BPACE		
BUILDING INFORMATION:	· K	
BUILDING AREA.	7,301 Q.F.	
MACONIAM BUNLDING HEIGHT (FLORIGA BUILDING CODE)	\$	
MAPERVOUS SURFACE RATIO (18R)	979	

OLLO		췽	2	\$
MING. IPACES PROVIDED ON ADDITIO	ONE LOAZING BPACE	BUILDING INFORMATION:	BULDING AREA.	(FLORIDA, BUILDING HEIGHT (FLORIDA, BUILDING CODE)

MING. IPPACES PROVIDED ON ADO	ONE LOADING BPACE	BUILDING INFORMATION	BUILDING AREA.	MAXIMUM BUILDING HEIGHT

19N /1W0	(11)	r sign (R3-5R)	

(ML) NE	ONLY SIGN (R3-5R)	
WAY ONLY SIGN (1M	IT TURN ON	

	<u> </u>	
	×	
5	Œ	
≥	Z	
ž	20	
Ö	20	
<u>~</u>	Ę	
NLY SIGN (1W		
Z.	ž	
5	Ě	
3	F	
WAY	E	
ш	4	

(21) PEDESTRIAN CROSSING SIG	(2) ONE WAY ONLY SIGN (1W)	(23) RIGHT TURN ONLY SIGN (R3-	
⅌	Ø	(8)	









-	
	Sunstitine Etheom
	+

Sunstitue

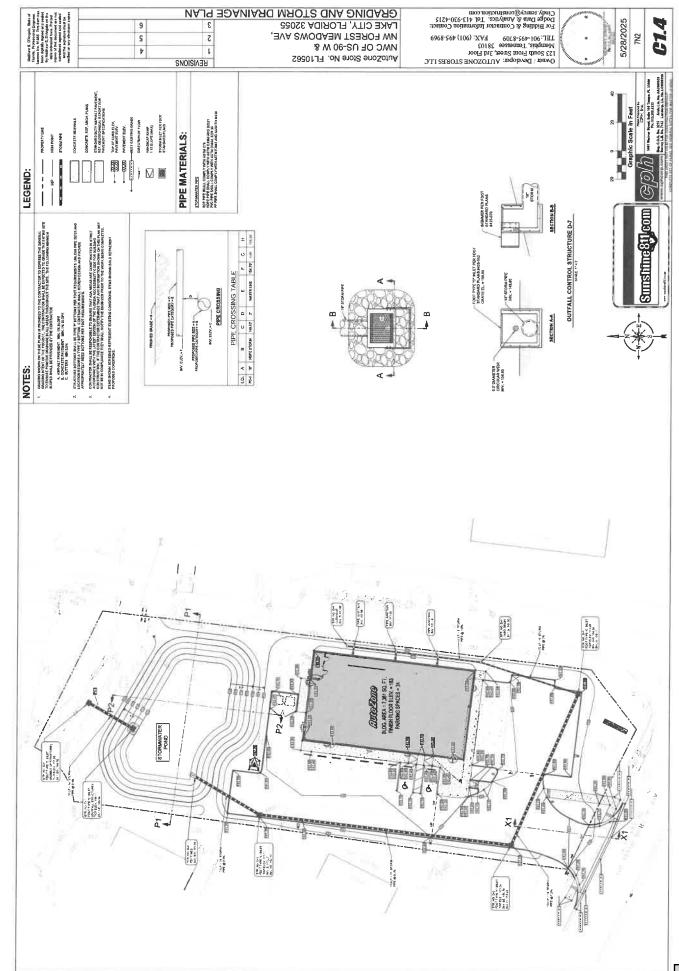
	E
	3
1	曾日
1	日日日
-	_

-	-

0

(S)

(Z)



5/28/2025 7N2

For Bidding & Contractor Information Contact: Dodge Data & Analytics. Tel. 413-930-4215 Cindy, searcy@construction.com Owner Developer: AUTOZONE STORES LLC 123 South From Street, 31d Floor Memphis, Tennessee 38103 TEL;901-495-8709 FAX; (901), 495-8969

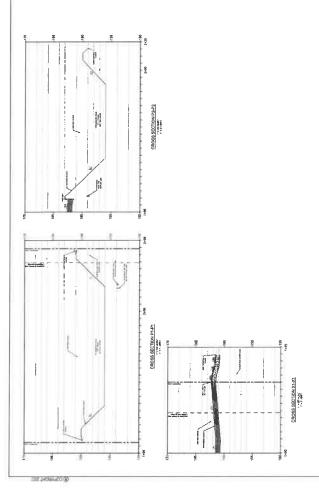
GRADING CROSS SECTIONS LAKE CITY, FLORIDA 32055 NW FOREST MEADOWS AVE, NWC OF US-90 W & AutoZone Store No. FL10562

Florid Coope		REVISIONS
de Proposition de Pro	Þ	ı
Chapelo, State framework from 31 445. The Ken 31 445. The Ken 31 445. The Ken 41 40 for a mid as 41 41 41 41 41 41 41 41 41 41 41 41 41 4	S	2
	9	3









do 3538, JUN 1470, survivada ang Jamas 15 5 attenting god 200010 3205-502 6 4 10 5 10 - 102 105 Marie and John Debard

61.5 5/28/2025 **ZN**2

USE B

Sunshine 80 com

For Bidding & Contractor Information Contact Dodge Data & Analytics. Tel. 413-930-4215 Cindy, searcy@construction.com

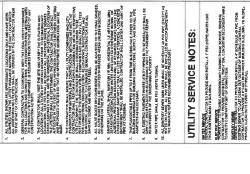
Owner / Developer: PUTOXONE STORES LLC
TEL: 901-495-8709 FAX: (901) 495-8969
TEL: 901-495-8709 FAX: (901) 495-8969

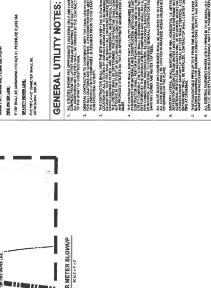
CC IV ΛN

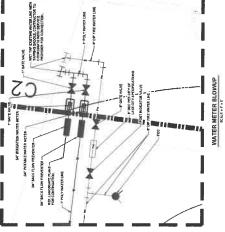
LETIZOGNO	MA IG YTI IITU			
KE CITY, FLOR	RIDA 32055	3	9	
V FOREST MEADOWS AVE,		7	S	
MC OF US-90 W	*	1	Þ	
toZone Store No.	EL10562	REVISIONS		
£ 0 0 0 0	8 mg. 5 2 8			

iυΑ



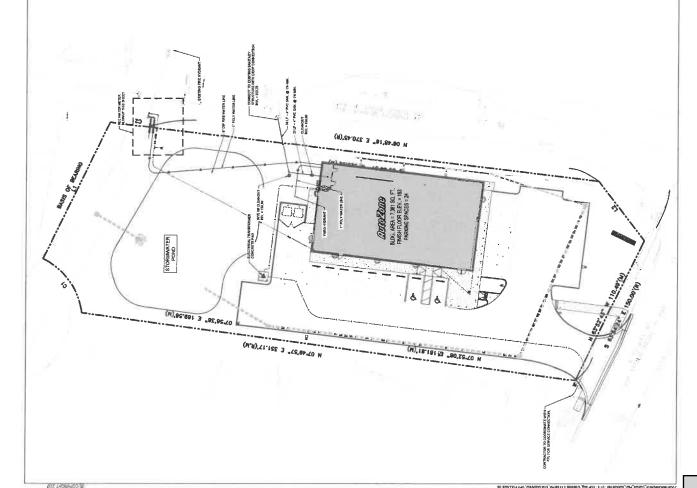


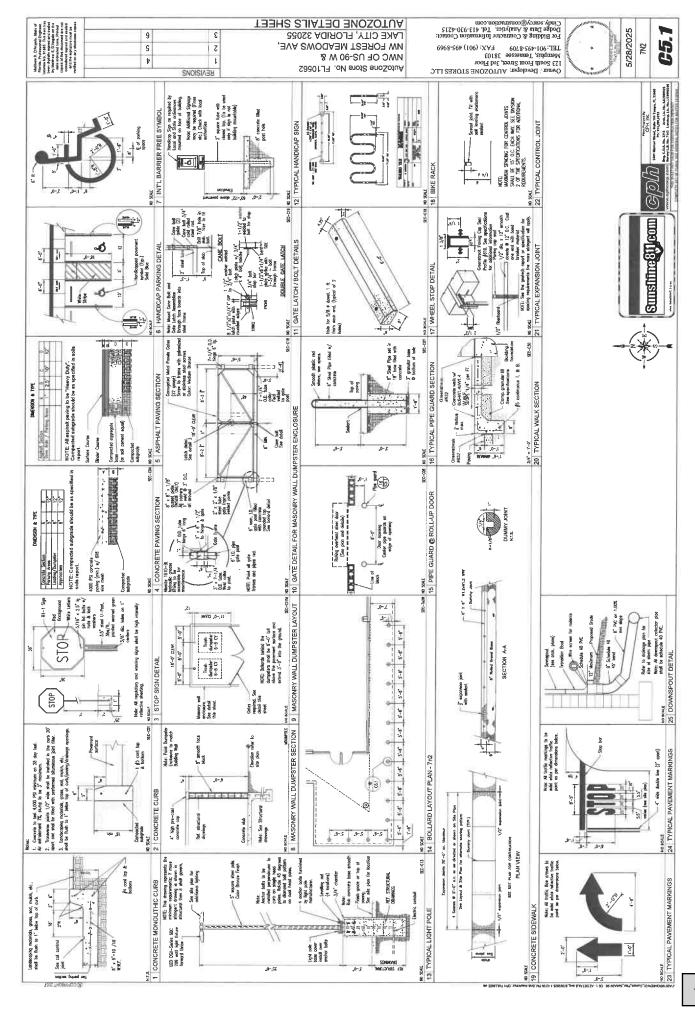




UTILITY LINE MATERIALS:

LEGEND:





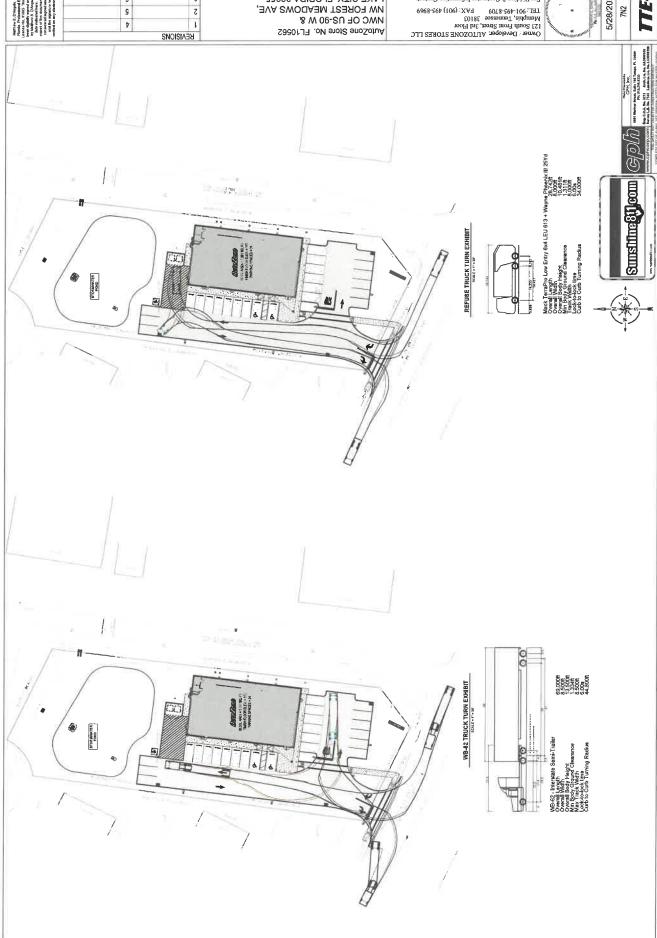
5/28/2025 7N2

For Bidding & Contactor Information Contact: Dodge Data & Analytics, Tel. 413-930-4215 Cindy, searcy@construction.com

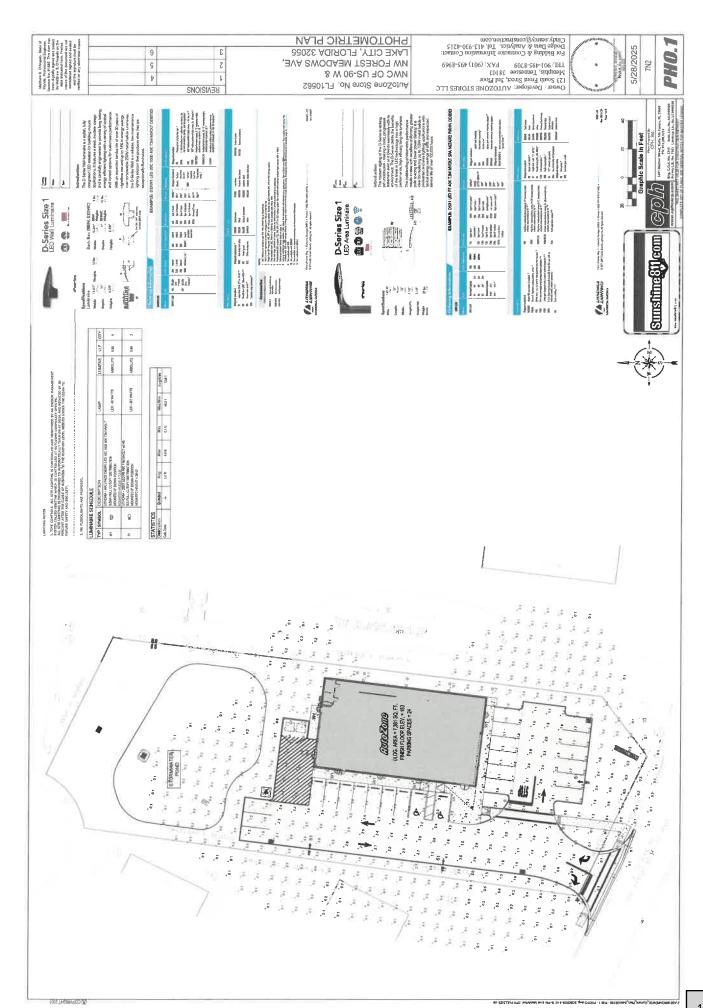
TRUCK TURN EXHIBIT LAKE CITY, FLORIDA 32055 NW FOREST MEADOWS AVE, MMC OF US-90 W &

3 S Þ

7007 THUBBY 900 (8)



40 SEALURY HTTO, WITH MAN AND ANT TO THE A SERVING AND HOUSE. IT STITL OR HENDING, MATCHING HOW CONTINUED HEND



7N2

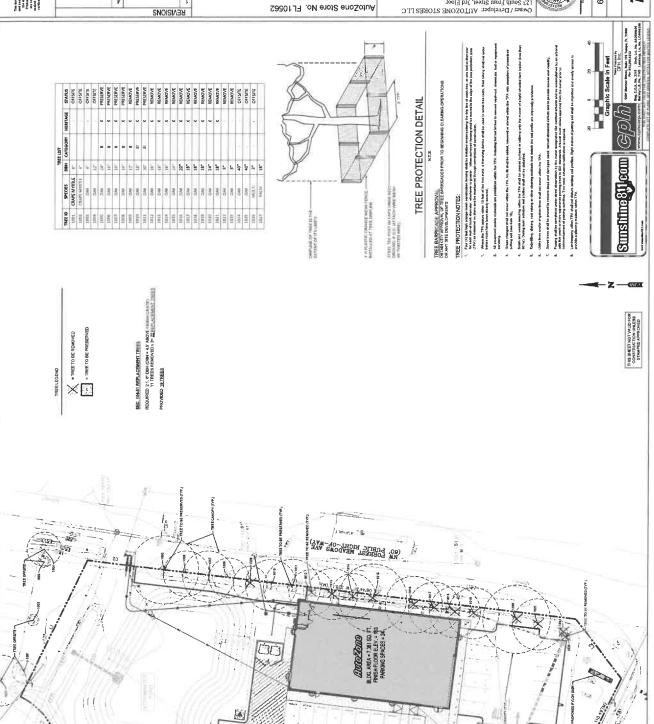
6/3/2025

For Bidding & Contractor Information Contact Dodge Data & Analytics | Tel. 413-930-4215 Cindy searcy @construction com Owner / Developer AUTOXONE STORES LLC 123 South Front Street, 3rd Floor Member 7 Floor Store 7 House 13 Page 1

TKE (NM EO MMC C

11.4.11		REVISIONS
M Leaded Do date of the hole o	Þ	I
a been diglally as and T lands. I layer and the distance to a first distance to a dist	g	7
	9	3

7007 LHOBAGON GO



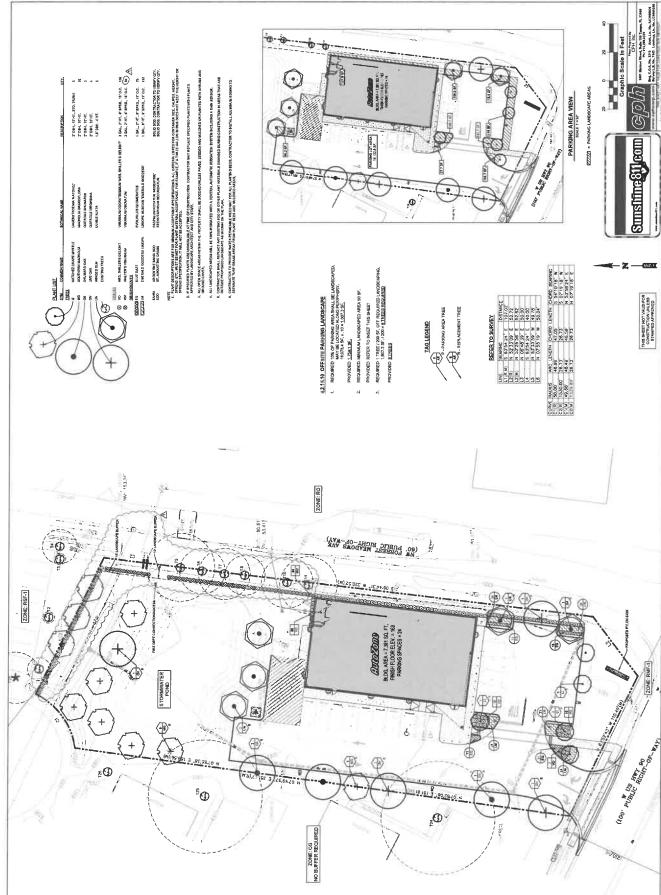
6/3/2025 7K2

For Bidding & Contractor Information Contact: Dodge Data & Analytics | Tel. 413-930-4215 Cindy searcy @construction com Owner / Developer AUTOXONE STORES LLC
123 South Front Street, 3rd Floor
Memphis, Tennessee 38/03
TRE 901-495-8709
FAX (901) 495-8969
Face Bidding &

LANDSCAPE PLAN MMC OF US-90 W &

LAKE CITY, FLORIDA 32055 NW FOREST MEADOWS AVE, AutoZone Store No. FL10562

13.5.11		EVISIONS	Я
O C Coded	Þ	06-23-25 OTTY COMMENTS	ļ
by Dood periodic of the work	9		2
1	9		3



15.0 7N2

COLOMBIA SERVICE CONTRACTOR CONTR

Sunshine 811 com

THIS SHEET NOT VALID FOR CONSTRUCTION UNLESS STAMPED APPROVED

6/3/2025

Cundy sector, @construction com County Developer. AUTOZONE STORES LLC. Combined Sector, 3 of 410-494-4216. TEL 901-495-8709 FAX (901) 495-4969 Martin County County

PANDSCAPE NOTES AND DETAILS

WWC OF US-90 W &

NWC OF US-90 W &

MWC OF US-90 W &

NOTE: LOCATE PLANTS IN A TRANSULAR PATTERN AS SHOWN; SPACED EQUIDISTANT FROM EACH OTHER (AT SPACING SPECIFIED IN THE PLANT LIST).

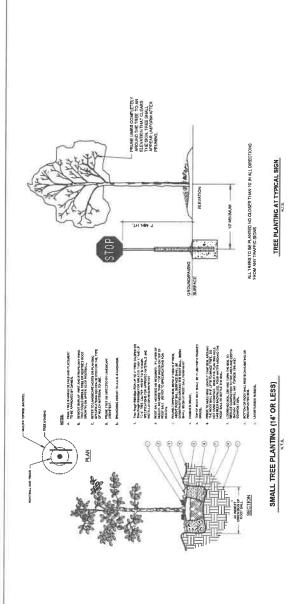
SHRUB/GROUNDCOVER SPACING PLAN

16" OF EDGE

SHRUB AND GROUNDCOVER PLANTING DETAIL

Affine bitne of the emispeleken, if all of the mainteints are assorptishe, a uniform embroo wall be grown by Inchinates Archinat or Durkt ha that Landacaga Contrador Staling the cula when by Manaharan embrooms

A. All plant nutrously shall be guerantsed for one (1) year then the order and feel inspendent and neutrin a shall be aliver and at settlededory growth for each spends limit of plant at the end of the guerantees ()



The Landpupp Contrader that he researched for proof values of all pieces, All parties shall be therrughly solvend of these of planes and between the three three persons and between the three three persons and the persons the three persons to the persons and the persons the three persons received the persons the first three persons to the persons to the persons the Affines pits shall be asserted to size and depth in excentioner with the Transia Challen & Standards for Harmy Rock, switters Liver offerware on the returning and handled and the special petrology and. The Londocope Combasies shall not fill all the We ware their times is a salarst prices of stange parasition in a visible of

Topool stud to sudard, trade, lecih, fen isany ole personany dicambenden at'i specaritiko protoco i kenya gean. Tengan dati bera a pira apa (15 la 15, 10 p. 10 p.

The Landscape Arabdesi or Owner virial have he right, at any stage of the operature; which, in he operate, do not freet with the requirements of laves appended been.

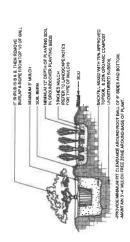
All plant mutorial shell be graded Plants Ha. 1 at better as estimate smitter. puddhed by the Floris Department of Agrophers and Cessarius Service

I shed be the Landacape Contractor's responsibility to prevent pleas them felling as being blean true to customers and all princes all their works have on the land to present all their works have on the land to present all their to the end of their transper paying or taking. The Land Contractor sould be happed belon the next consept actived by numberly of any fairst meteral.

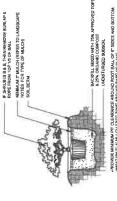
9 9 7

7

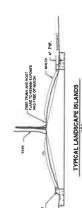
ī REVISIONS

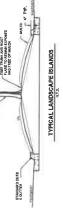


I had do no Condender's responsiblely to measure and deference the saint quantity of red required for a semplete that it is taking a principle and the condender of the first of the first











ALL TREES PLAKTED IN LANDSCAPE ISLANDS ON ANY
LANDSCAPED AREAS SHOULD BE A IMPRIBATION OF OF OF
BACK OF OUR UNITED SACOULTELY NEDESDARY DUE TO
TREETY RECENTED.

TYPICAL ISLAND PLANTING

O

IR1.0

<u>Male</u>

Sunshine 811 com

0000	Currie & Byret RLA	6/3/2025	7110
	_		_

í i	SCHITECT A	K. R.V.	
L	STATE STATE	See See	
:	ASTRON	ш	

2,197 # \$53.0 P 41,9 2

tractor Information Contact: lytics: Tel. 413-930-4215 struction com	For Bidding & Con Dodge Data & Ana Curdy searcy@con
	TEL 901-495-8709
	123 South Front Str
AUTOZONE STORES LLC	тэqоГэ∨эП \ тэпиО

MA IG MOITADIGG
AKE CITY, FLORIDA 32055
1W FOREST MEADOWS AVE,
1VVC OF US-90 W &
AUGOZOTIC STORE NO. PL 10302

NALY NOT AJIAN

31		REVISIONS
A seed of the seed	Þ	1
	S	2
A. Bris. A. Bris. A. Bris. A. Bris. A. Bris. A. Bris.	9	3

		REVISIONS
Market Ma	b	1
The second	S	2
A Paris	9	3

IRRIGATION SCHEDULE

IRRIGATION SYSTEM IS DESIGNED TO OPERATE OFF A POTABLE WATER METER. PROVIDING A MINIMUM FLOW OF 14 GPM AND A MINIMUM PRESSURE OF 60 PSI.

RRIGATION SYSTEM PERFORMANCE NOTES

COMPACTOR MAST CONTACT THE LANDSCAPE ARCHITECT PRICK TO THE COMMENCEMENT OF MAY CONSTRUCTION IS THE AVIALABLE FLOW AND PRESSURE DEMATES MORE THEN SK ON WILL AFFECT THE PERFORMANCI THE SYNTDM. MANALIN PRESSURE RECLUBELENTS - 60 PSI AT THE POINT OF COUNE.
A. 55 PSI AT THE BASE OF THE POLY-PROTORDIKOT MOS HEADS.
B. 50 PSI AT THE BASE OF THE POSALP STRAY HEADS.
C. 50 PSI AT THE BASE OF THE COWYDULUME EMITTER.

5. HEAD LAYOUT BE BASED ON BASE INFORMATION PHOYIDED, HEADS SHALL BE ADULT STEED TO ACCOMPLIANCE WHILE THE MANIFAMENT TOOK.
COVERAGE AND MINIMATING OVER-SPRAY ONTO PAVED AFEAS AND BALLDINGS

3, 1/2 PIPE SHALL NOT BE USED FOR LATERAL PIPING

BACKELOW PREVENTER
RRIAATION HISTALER TO FOLLOW LOCAL
CODES - VERIET LUCATION IN THE FIELD BEFORE
BHITALATION - BEET THE PRODUCT LEGIBLE DON
THE BACKELOW MANUFACTURER AND MODEL S.

STORMWATER POND

- Common	MANUFACTURERMODEL/DESCRIPTION	214	5	
	Ram Bird 18096-U-PRS 15 Strip Senes Tot Storey Run, Poschip Sprinkler with Co-Moldad Wilpet Seel, Sole and Bottom Inlet, 1/2n, NPT Fernale Threeted Inlet, Preseure Reputating.		8	
0: 0: 0: 0:	Ram Brof 1809-LPRS UB Serves Tar Spray film Popula Sprander with Co-Modest When Seat, Sede and Bottom Intel. 1/2n. NPT Ferrade Threaded Intel. Foreignes Regulating.		R	
0: 0: 0:	Ram Brit 1906-LPRS U10 Sense Tur Storiy din. Populo Sprinker with Co-Molded Wiper Seal, Side and Bottom lake, 1/2m, HPT Ferrale Threaded Lifet. Preseure Regulating.	35	8	
0: 0: 0: 0:	Rein Brid 1905-ULPRS U12 Sense Turf Spring fan, Pop-Up Sprinder with Co-Molded Wiper Seal, Side and Bottom Infel, 172n, NPT Fermier Threaded Infel, Pressure Regulating.	-2	8	
0.000	Ran Brd 1004-U-PR3 UTS Sense Tel Sony Bn. Pop-Up Sonnière with Co-Midded Wijzer Seal. Sake and Boldon III. 1/2n. NPT Fernale Threaded Infet. Pressura Regulating.		8	
**************************************	Ran Brd 1906-LAPRS HE-VAN Sense Tur Stary Bin, PopUp Spmider with Co-Molded Wiger Seal, Sees and Bollom Infe. 1/2m. NPT Female Threaded Infe., Pressus Regulation.		8	
4 4 4 0 425 (A)	Ran, But Anywar STRP (LOS and RCR) 5-X00 (SST) Hand Aquathe Midh Streem Robery of 1800 tart gates body on the Aquathe Midh Streem Robery of 1800 tart gates body on the proport, with other when the dip are existen presente	_	**	
401 100 100 100 4 4 4 4 100 100 100 100	Rain Bed 1900-1400 Flood 1401 Fixed flow rate (0.25-2.0GPM), full ordia buildier, 1/2" FIPT,	25	8	
SYMBOL	MANUFACTURERAMODEL/DESCRIPTION	ΥTΩ	S.	RADIUS
•	Ram Bad 3008-PC-FC-MPR 25 Tuf Rotor, 97 Doy-Up. Plante Reel, Metched Precipition Rotor (WPR mozzle), Arc and Radan as per Symbol. 25 firred. 30 Figuren, SSE lenge.	40	×	ä
•	Ram Berd 5009-PC-FC-AMPR 30 Turf Robert, Tr Depubly, Plaste Riser, Matchind Preceptation Rober (HPR mozza), Arc and Redux as per Symbol, 25 Fried, 30 Prepriest, 357:-beeps.	2	×	ò
SYMBOL.	MANUFACTURERMODEL/DESCRIPTION	ΥTα		
•	Hurrest KCZ-101-40 Day Control Zone Kt., 1m, ICV Globe Valke with 1m, HY100 their paytem. Pressure Regulation 40ps., Flow Range 2 GPM to 20 GPM, 150 meah standers steel screen.			
•	Rein Bird MDCFCAP Driphine Flush Vakve cep in compression fitting cospler.	NO.		
•	Ram Bird OPERBID Dip System Operation Industrio, stem mass of for clear varibility when ridgs systems is charged to a remnann of 20ps. Includes 10 of 114' destribution bileng with convertion fitting pre-systated.	v		
8 8 8	Ran Bed CULKE Social October Penastra Compensative Dre Europass with Self-Demong Barb Inlet on Diffuser Cap. Psystems 5 GPH-silppt Demon 7 Diffusionals II on Diffuser Cap. Psystems 5 GPH-select brown, 18 GPH-select Barb	N		
	A men to Recover Depther Rans Bad XFD-66 s.1. XFD et On-24 kertines Pimature Compensation Linearing Displays, 0.0.0 GH sentition at 1.7.2 G.C. Depther alternia specaci at 1.7 spack, with centilizer and first for transplate patients. UV 8 Kmt. Research. Use 2 Km next filtings.	1,902 it		
SYMBOL	MANUFACTURERANODEL/DESCRIPTION	ΔTΛ	Ц	
•	Hunter ICV-G 1m. 1-1/2m, 2m, and 3m, Plastic Electric Remote Control Valves, Globe Compuration, with NP7 Threaded Inlet/Outlet, for	0.		

	00000	Nam Data Jobbson-Prod. D. Server Tarl Spray din. Pop-Up Spranker with Co-Moded V Stoke and Bottom Inde., 1/Zhr. NPT Fernale Thread Pressure Regulating.
CING	0 045-7M	Rain Bird 1900-U-CPS HE-VAN Sense Turf Spary Bin, Populp Spamider with Co-Midded V Stee and Bodon Infer. 1/2m. NPT Fermale Thread Preseate Regulating.
AT ALL AT ALL ATS*	4 4 4	Rain Bird R-VAN-STRIP 1800-SAM-P45 Smub Rollery, S x15 (LCS and RCS), S x30 (1857 Adjustable Mills Stream Rollery vf 1800 but spray pop-up, with other's wave and 45 par en-attem pressa 1/2" NYT Fermie Threaded Infer.
ALL BE	401 102 100 H	Rain Bed 1800-1400 Flacd 1401 Fixed flow rate (0.25-2,00PH), full circle buildher. 1
	SYMBOL	MANUFACTURER/MODEL/DESCRIPTIO
	•	Ram Bad S008-PC-FC-ARPR 25 Tuf Rode (P Pop-Up Plante Reer, Malched Pre- (APR mozzle), Are and Radeas as per Symbol. 25 R Repress, 38thbegs.
NALVES	•	Ram Bard S008-PC/FC-AMPR 30 Turf Roots, 0° Pop-Up. Pleabe Reer, Makinad Pres (IAPR nozzik), Arc and Reduse as per Symbol. 25 F Brgevent, 35ft-berge.
	SYMBOL	MANUFACTURERMODEL/DESCRIPTIO
# *	■	Hunter ICZ-101-40 Day Control Zone KC, 1m. ICV Globe Valve with 1 pystem. Presente Regulation 40per, Flow Range GPM, 150 mech standers stool screen.
SAND DAMD	٠	Rain Bird MDCFCAP Driplina Flush Valve cap in compression fiding one
96 THE	•	Ram Brd OPERNID Day System Operation Indicator, stem rases 6" for when dips system as charged to a renormun of prof 14" defrate/shen balang with convertion fitting prop
	87 87 8 1	Ren Bed PC-DIFF Single Outlier, Pressure Compensating Day Emittal Self-Petrong Bath Intel and Diffuser Cab., Rowins Days, 7 OPFlewoolet, 10 OPFlegreen, 12 OPFlexel OPFlexelet, 24 GPFlestange.
		Area to Receive Drophne Rain Brd XFDs-08-12

A VE PECA, MASS THE SERVED AND THE BANK	AN IN TOOL WAS TRANSPARED ONES LECHOLOTICAL STEPLINE LEAVES BE PAULED 2" F FFFDAM STEPLINE LEAVES BE PAULED 2" F FFFDAM STEPLINE SHALL BE PAULED 2" F FFFDAM STEPLINE SHALL BE PAULED 2" FFFDAM STEPLINE SHALL BE PAULED 2" FFFDAM STEPLINE SHALL BE PAULED SHALL BE SHALL STEPLINE SHALL SHALL BE PAULED SHALL STEPLINE SHALL SHALL BE SHALL STEPLINE SHALL SHALL BE SHALL STEPLINE SHALL SHALL STEPLINE SHALL SHALL SHALL STEPLINE SHALL	ALL DE INSTALLEU WHEN THE CHANGE IN SLOPE	
ENGINE RELAYSE, ROCKOSELL. ENGINE RELAYSE, ROCKOSELL. ENGINE TO PALL SUPPLY, NO DOWLST FEADER. EL RED ON PALS. FLOOR PALS. FLO	SE ONS INCOME. OF CHOCKER SEAL OF A FROM SERVICE SEAL OF THE CONTINUE SEAL OF THE CHOCKER SEAL OF THE CHOCKER SEAL OF THE CHOCKER SEAL OF THE OFFICE SEAL OFFICE SEAL OF THE OFFICE SEAL OF THE OFFICE SEAL OFFICE SEAL OFFICE SEAL OFFICE SEAL O	AT STOCK, AND 2 STAPLES WED OVER EACH OTHER	
EL MEN FOR ALL SUFFLY AND DOWNET HEADERS. THE OMPHANE CHROAT WILL BE PRESSURED AND THINE, DIRECTIVE CHROAT WILL BE PRESSURED. AND THE WRING. THE CHROW THE LONGEST RICH WHETHER IT BE THE THE CHROW THE CHROWEST RICH WHETHER IT BE THE	EL BED FOR ALL SUPPLY AND DOWNET HEADERS. EL BED FOR PLOSE. FUNDOR TO SPECIAL SUPPLY AND SOWNET HEADERS. FUNDOR THE CONCEST RUN WHETHER IT BE THE FEZING.	BECTON ELBOWS, OR CHOSSIES. FROM DIRPLINE SHALL BE PLACED Z" 4" FROM	
TED ON PLANS. TED ON PLANS. PERATION. LL DE LAID IN THE LONGEST RUN. WHETHER IT BE THE CASE TO NO.	TEO WAY PLANS. THEO WAY PLANS. THEO WAY PLANS. TERATION. THE EACH IN THE LONGEST RIA! WHETHER IT BE THE THE ZONE.	E USED FOR ALL SUPPLY AND EXMAUST HEADERS.	
TERATION. LE LOND IN THE LONGEST RUN, WHETHER IT BE THE LE THUS LAND IN THE LONGEST RUN, WHETHER IT BE THE	PERAIDON. LE CLAID IN THE LONGEST RUN, WHETHER IT BE THE HE ZONE.	ED ON PLANS. PLINE, DRIPLINE CHOULT WILL BE PRESSURIZED AND	
	THE CLAVIC.	ERATION. ELAD IN THE LONGEST RUN, WHETHER IT BE THE DESTANDED TO STANDED.	

A PANGALAK IR INSTANCH CONTROLLE SENGLY LOCATION, COWIER REPRIESE SHALL PINEOBIT ESCAT (COATION AT 8 IRRIDATO CONTROLLER, SANK SENGLO POWER TO CONTROLLER, SANK SENGLO TO BE MOUNTED WHERE IT WILL BE SO MOBINICATED RANKFAL. BUT NOT BY SPRINKELER PRINKT.

TES CONTRACTOR SHALL LOCATE ALL PROFERTY AND RIGHT OF WAY LINES	BEFORE CONSTRUCTION BEGINS. THESE (PRIOLATION PLANS ARE SCHEMATIC AND IMAY BE EXAGGENTED. THESE (PRIOLATION PLANS ARE SCHEMATIC AND IMAY BE EXAGGENT OF SURVINES.)	CONTRACTOR SHALL ADJUST ALL SPAY HEADS SO AS NOT TO SPRAY ONTO
---	--	--

(eo. bublic sichl-of-MVA)

BLDS. AREA = 7,381 SQ. 1, FINISH FLOOR ELEV. = 189 PARKING SPACES = 24 Outo Zono

ALL UNDERGROUND SLEEVES SHALL BESCHEDULE 40 PVC AND SHALL BE TWICE THE DAMETER OF ANY LINE IT HOUSES.	CONTRACTOR TO PROTECT ALL EXISTING LANDSCAPING AND IRRIGATION.	ALL WIRE WILL BE COLOR-CODED DIRECT BURIAL ULAF WIRE: COMMON OWNITS 4:2-1, CONTROL WIRE (FED) 4/1-1.
--	--	--

X • 2 • 2.)

RRIGATION INSTALLATION CONTRACTOR SHALL INSTALL (2) SPARE CONTROL. WINES. COLOPICODED YELLOW AND COMMON PROMICONTROLLER TO MADOINT OF MAINLANE, MOUNTED IN 10º ROUND VALVE BOX.

THE DESIGN PROFESSIONAL DOES NOT ACCEPT ARMALL RESPONSIBILITY MOIOR LUBBILITY FOR PROSELSE ACCEPTANCE AND ACCEPT ARMALL RESPONSIBILITY MOIOR LUBBILITY FOR PROSELSE AND ACCEPTANCE OF PROSELSE WHICH THE TO DESIGN AND ACCEPTANCE OF PROSESSIONAL SOURCE ACCEPTANCE OF PROSESSIONAL SOURCE ACCEPTANCE AND ACCEPTANCE THESE PLANS AFE DIAGRAMMATTO OF THE WORK TO BE PERFORMED. ALL LANDSCAPED AREAS AREA FOR THE COPIECTED RESTLY RESTLY AREA OF THE COPIECTED RESTLY RESTLY RESTLY RESTLY RESTLY RESTLY RESTLY RESTLY RESOLVED RESCOME ON THIS RESERVED WAS ANO WARRANCHED AND PRESSURES. ZONE FLOWS TO ACCOMMODATE THE AVAILABLE MAINLANG FLOWS AND PRESSURES.

Paris













David R. Brown R.

6/3/2025 ₹2

IR5.0

For Bidding & Contractor Information Contac Dodge Data & Analytics Tel. 413-930-4215 Cindy searcy@construction.com Owner / Developer 123 South Front Su Memphus, Temessa TEL 901-495-8709

verified on any decrease on	9 S S S S S S S S S S S S S S S S S S S	AutoZone Store No. FL10562 NWC OF US-90 W & LAKE CITY, FLORIDA 32055	nussion [nijotularion] V VILLONOME SLOKES FTC V VILLONOME SLOKES FTC
GENERAL INVIGATION NOTES 1. ALL MANINEST TO THE ANNINEST WITH COVER ICLASS ZOOPIC PRED. 2. ALL WASHINGS TO THE ANNINEST WITH COVER ICLASS ZOOPIC PRED. 3. ALL COVER AND ASSESSMENT FOR YOUR ANNINEST WITH COVER ICLASS ZOOPIC PRED. 4. ALL WASHINGS TO THE ANNINEST WITH COVER ICLASS ZOOPIC PRED. 5. ALL COVER AND ASSESSMENT FOR YOUR ANNINEST WITH COVER ICLASS ZOOPIC PRED. 5. ALL COVER AND ASSESSMENT FOR THE COVER ICLASS ZOOPIC PRED. 5. ALL COVER AND ASSESSMENT FOR THE COVER ICLASS ZOOPIC PRED.	MITTER BEAUTIEST THE STATE OF T	2. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATE CONTROLLED 2. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATE CONTROLLED 2. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATEOR CONTROLLED 2. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATEOR ON FALL 1000-00 MPD 1. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATEOR ON FALL 1000-00 MPD 1. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATEOR ON FALL 1000-00 MPD 1. CONTROLLED SHALL KENTLA MANASCHLURGER TECAMBERGATEOR 2. THOS DATE OF THE WAS WITH LIGHT TO MANASCHLURGER TECAMBERGATEOR 3. STATISH AND SHALL	A. A HANDINGHARE BETA IV. THE ARE THE WINNERSTONE A HANDINGH BETA WINNERSTONE THE WINNERSTONE AND HERE THE CONTINUENT BY THE LANGEST BETA WINNERSTONE WINNERSTONE AND HERE THE WINNERSTONE AND HERE THE WINNERSTONE AND HERE AND THE HANDINGH BETA BY THE CHARLING CONFINCTION WINNERSTONE AND HERE WINNERSTONE AND HERE AND THE HANDINGH BETA BY A REPORT OF THE WINNERSTONE AND HERE AND THE HANDINGH BETA BY A REPORT OF THE WINNERSTONE AND HERE AND THE HANDINGH BETA BY A REPORT OF THE WINNERSTONE AND HERE AND THE HANDINGH BETA BY A REPORT OF THE WINNERSTONE AND HERE AND THE WINNERSTONE AND HERE AND THE HANDINGH BETA BY A REPORT OF THE WINNERSTONE AND HERE AND THE WINNERSTONE AND THE

PIPE AND WIRE TRENCHING

SOLVENT WELD PLASTIC PIPING TO BE SNAKED IN-TRENCH SHOWN.

RUN WRING BENEATH AND BESIDE MAINLINE. J TAPE AND BUNCLE IT 104:007 INTERVALS.

IRRIGATION NOTES AND DETAILS

AL CATENZI NINES SAUL BE SON ZOIPNO PIPE, ALL MAIN LINE SAULL BE SCH 40 PIPE.

Z. SLEPPOS BOOM ALL HANGOVER EIGENTS SAULL BE SCH AND PON AUX SAULL BE
TWOET HE DAMEITER OF THE PIPE OF WARE BOADLE, WATHA.

Z. ALL LATENAL LINE SAULL BE SON THAN LA LAWN LINES AND
ELECTRICAL LINES SAULL BE DOLLES THAN ZH.

PIPE AND WIRING IN THE SAME TRENCH

TO

12" - PINISHED GRADE

E T

HOM

SURFACE
SURFACE SOLAR SYNC SENSOR
 SOLAR SYNC COMPATIBLE
 CONTROLLER

A HNISHED GRADE

SOLAR SYNC WITH WALL MOUNT CONTROLLER

°o.

ON DIDES

ON DISPERSION PITTINGS T NOS SWALES SWALES SWALES

OUTWARDS SEELE OR BRAZES

OT DISPERSION SEELE OF SWALES

ON ORGER SPAN SEELE OR SWALES

OUTWARD SEELE OR BRAZES

OUTWARD SEELE OR SWALES

OUTW

REDUCED PRESSURE BACKFLOW PREVENTER

NOTES A. FREQUENCY MAY BE REDUCED WHEN PLANTS ARE INSTALLED DURING THE COOLER MONTHS OR DURING PERIODS OF PREQUENT RAIN, B. DO NOT WATER IF THE ROOT BALL IS SATURATED.

GALLON

8 TO 12 MONTHS

SHRUBG IN 7-CALLON CONTAINERS

9

3

LAKE CITY, FLORIDA 32055

O. O. O.	1	and the same		1	1		
UMBER	MODEL	7	FECF	5	NO.		
_	Humber ICV-G	Bubbler	2.08 en/h	10 mm		10 mm	
~	Number ICZ-101-40	Area for Drapine	7,44 1995	A man		14 miles	
_	Hunter ICV-G	Turt Spray	1,0 10.0			31 min	
_	Hunter ICV-S	Bubbler	2.08 un/h	10 mm		10 00	
	Huntse ICV-G	Turt Spray	0.93 mm			33 mm	
	Hunter ICV-G	Turt Spray	0,78 m/h			39 mm	
_	Hunte ICV-G	Turl Spray	0.78 m/h			39 mm	
_	Humber ICZ-101-40	Area for Orcolette	1.44 194	14 mm		14 mm	
_	Humber ICV-G	Turt Spray	D,78 mufh			39 min	
٥	Human ICV-G	Bubbler	2.08 m/h	10 mm		10 mm	
=	Humbe ICV-G	Turt Robor	D.7 mdn			44 min	
2	Married LC 2, 404, 40	Acres for Pennis	4	-			

35 mm 35 mm 35 mm 14 mm 39 mm 14 mm 14 mm 14 mm	0 4 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5 5	208 mh 0.78 mh 1.44 mh 2.08 mh 2.08 mh 1.45 mh	Bubbler Tuf Spray Tuf Spray Tuf Spray Ans. for Orphres Tuf Spray Tuf Spray Tuf Spray Tuf Spray Ans. for Orphres Tuf Spray	Hunter ICV-C Hunter ICV-C
39 mm	14 mm	0,78 m/h	Turf Spray Area for Orpiere	Humber ICZ-101-40
33 mm 39 mm		0.93 m/h 0.78 m/h	Turl Spray Turl Spray	Hunter ICV-G
31 mm 10 mm	10 mm	1,0 mm 2.06 mm	Turi Spray Subbler	Hunter ICV-G
14 mm	14 mm	1,44 inft	Area for Draplane	Human ICZ-101-40
10 mm	10 mm	20865	dubbler	Humber ICV-G

FR 110 mm 111 mm

GAL, WEEK

MINAMEEK

NAMERK

5AT

뢰

WED

WATERING SCHEDULE

• ^	Hunter ICV-G	Turl Spray	0.78 m/h			39 mm
	Huntar ICZ-101-40	Area for Origin				14 mm
9	Human ICV-G	Bubbler		10 mm		10 mm
‡ ‡	Humber ICZ-101-40	Turf Robor Area for Driple				14 mm
		TOTALS				297
VALVE	VALVE SCHEDULE					
NUMBER	MODEL	SIZE TYPE	M	GPM	HEADS	PIPE 3/4
+ 0	Huerter ICV-G	T Bulbo	Bubbler	0	R	298.0

Second Co. According to 20.5 cm Accordi	n 4	Hunter ICV-G	Turt Spray	1,0 mm		31 min	
Turn Spare (2.78 etc.)		Huntre ICV-G	Turi Spray	0.93 mm	in the second	33 711	
Tudi Spanier 10,79 km, for the form for the form of th		Hunter ICV-G	Turt Spray	0,78 mm		39 mm	
Await to Delete 1.44 in 14 fan Ardigage 1.73 anh 18 delete 2.09 anh 19 mar 1.47 fan Await to Delete 1.45 mB 14 fan 10 fan 17 mB 14 fan 17 fan		Huntel ICV-G	Turl Spray	0,78 m/h		39 THI	
Turk Sperry D. 78 evil. Bubbler 2.00 evil. 10 evil. Turk Rober D.7 evil. Turk Rober D.7 evil. Tol. 14,5 evil. 14 err.		Hunter ICZ-101-40	Area for Oriplete	1.44 mm	14 mm	14 mm	
Bubbler 200 erh 10 mm Tud Rober D7 erh Ares foz Drplare 1,45 mit 14 mm TOTALS		Humber ICV-G	Turi Spray	D,78 m/h		30 mm	
Methodox 0,7 meth 14 men 4084 ind Doplane 1,45 meth 14 men 7074,5	_	Hunter ICV-G	Bubbler	2.08 m/h	10 mm	10 mm	
Atte for Diplore 1,45 mRt 14 mm TOTALS 72		Humber ICV-G	Turf Robor	D,7 mMn		44 min	
TOTALS 72		Humbs ICZ-101-40	Ares for Driplere	1,45 mh	14.000	14 mm	
u = 10un00 un 10			TOTALS		22	297	
	1411	A III CHECK II/					

14 mm	31 min	10 mm	33 min	39 mm	39 min	14 mm	39 mm	10 mm	44 mm	14 mm	297	
A Tab		10 mm				14 mm		10 mm		14 mm	72	
7,44 1190	1,0 mm	2.08 un/h	0.93 m/h	0,78 mm	0.78 m/h	1.44 mm	D,78 mmh	208 m/h	D,7 mMn	1,45 mh		
Area for Drepane	Turi Spray	Subble	Turt Spray	Turt Spray	Turl Spray	Area for Oriplete	Turi Spring	Bubber	Turf Robor	Ares for Onplere	TOTALS	
Number ICZ-101-40	Humber ICV-G	Hunter ICV-5	Humbs ICV-G	Hunter ICV-G	Hunte ICV-3	Humber ICZ-101-40	Hunter ICV-G	Human ICV-G	Humbe ICV-G	Humbe ICZ-101-40		
IN.	n	-	s		,		9	9	ī	42		

14 mm	31 min	10 mm	33 mm	39 mm	39 mm	14 mm	39 min	10 mm	44 min	14 mm	297
14 mm		10 mm				14 mm		10 mm		14.mm	2
7,44 1995	1.0 mm	2.08 un/h	0.93 mm	0,78 mm	0.78 m/h	1.44 inf	D,78 mmh	2.08 m/h	D,7 mMn	1,45 mgs	
 Area for Draplane	Turi Spray	Subbler	Turt Spray	Turt Spray	Turl Spray	Area for Oropera	Turi Spriny	Bubber	Turf Robor	Area for Driplere	TOTALS
Number ICZ-101-40	Hunter ICV-G	Humber ICV-S	Hunte ICV-G	Hunter ICV-G	Humber ICV-G	Humber ICZ-101-40	Hunter ICV-G	Human ICV-G	Humber ICV-G	Humbs ICZ-101-40	
۲۰	n	4	'n		7		•	9	F	42	

14 mm	31 min	10 mm	33 mm	39 mm	39 min	14 mm	39 mm	10 mm	44 min	14 mm	707
7,44 1997	1.0 mm	2.08 un/h	0.93 mm	0,78 mm	0.78 m/h	1.44 mm	D,78 msh	2.08 m/h	D,7 mMn	1,45 mg	
Area for Draplane	Turt Spray	Subbler	Turt Spray	Turt Spray	Turl Spray	Area for Ormers	Turi Spring	Bubber	Turf Robor	Area for Original	TOTALS
Humber ICZ-101-40	Humber ICV-G	Hunter ICV-5	Humbs ICV-G	Hunter ICV-G	Huntel ICV-G	Hunter ICZ-101-40	Humber ICV-G	Hunter ICV-G	Humber ICV-G	Humbe ICZ-101-40	
64	n	4	s,		,		9	9	F	45	

14 mm	31 min	10 mm	33 mm	39 mm	39 min	14 mm	39 mm	10 mm	44 mm	14 mm	707
7,44 1997	1.0 mm	2.08 un/h	0.93 mm	0,78 mm	0.78 m/h	1.44 mm	D,78 msh	2.08 m/h	D,7 mMn	1,45 mg	
Area for Draplane	Turt Spray	Subbler	Turt Spray	Turt Spray	Turl Spray	Area for Ormers	Turi Spring	Bubber	Turf Robor	Area for Original	TOTALS
Humber ICZ-101-40	Humber ICV-G	Hunter ICV-5	Humbs ICV-G	Hunter ICV-G	Huntel ICV-G	Hunter ICZ-101-40	Humber ICV-G	Hunter ICV-G	Humber ICV-G	Humbe ICZ-101-40	
64	m	4	s,		,		9	9	F	45	

	10 mm	33 mm	39 mm	39 min	14 mm	30 mm	10 mm	44 msn	14 mm	297			
	10 mm				14 mm		10 mm		14 mm	12			
200	2.08 un/h	0.93 mm	0,78 mm	0.78 m/h	1.44 mm	D,78 muft	208 m/h	D,7 mMn	1,45 mm				
200	Subble	Turt Spray	Turt Spray	Turl Spray	Area for Oriplete	Turi Spring	Bubber	Turf Robor	Ares for Onplere	TOTALS			
2	Hunter ICV-5	Humbs ICV-G	Hunter ICV-G	Humber ICV-G	Humber ICZ-101-40	Hunter ICV-G	Human ICV-G	Humer ICV-G	Humbe ICZ-101-40			VALVE SCHEDULE	
	-	w		,		•	9	F	12			VALVE	

		TOTALS		E		762		
VALVE	VALVE SCHEDULE							
NUMBER	MODEL	SIZE	TYPE	SPM	HEADS	PIPE 3/4	PPE 1	0.1
+	Humber ICV-G	ļ.	Bubbler	0	8	2000	34.7	
~	Hunter ICZ-101-40	ţ.	Area for Dysolma	2.0	539.61	161.2		
ez	Humbe ICV-G	4	Turt Spray	11.3	ıs	808	3.4	
-	Humbs ICV-G	Ļ	Bubbler	ø	10	325.7	67.5	
9	Hunter ICV-G	÷	Turf Sorav	0.36	*	115.4		
φ.	Humber ICV-G	Ļ	Turf Spray	97.0	5	80.8	130.5	
4	Hunter ICV-G	Ļ	Turf Soray	10.86	5	1100	110	
*	Hunter ICZ-101-40	L	Area for Droine	8.57	570.5 lf	60.7		
Q.	Hunter ICV-G	Ļ	Turf Sorav	9.18	0	1803		
10	Hunter ICV-G	1	Bubbler	-	1	248.9		
÷	Humber ICV-G	÷	Turf Rotor	12.91	-	130.3	43	,,
2	Hunter ICZ-101-40	Ļ	Ates for Droims	7.81	482 1 E	1883		



ISOLATION GATE VALVE

SCH, 40 IMLE ADAPTER 1-113 GATE VALVE 10" PVC SLEEVE

PRECIP 2.08 m/h 1.0 m/h 2.08 m/h 0.78 m/h 0.78 m/h 1.44 m/h 1.44 m/h 1.74 m/h 0.78 m/h 0.78 m/h 1.44 m/h 1.74 m/h 1.74 m/h

WRR 1135 1135 1135 1135 1135 1135 126,2 127,1 186,2 127,1 186,2 127,1 186,2 127,1 186,2 127,1 186,2 187,1 186,2 187,1 186,2 18

FRICTION LOSS

DESIGN PS

PIPE 1 1/4





-	6
	Sunstitue Et Jeon
	10

ż	St. TH	×	33	Q

WATERING GUIDELINES FOR TREES AND SHRUBS DURING ESTABLISHMENT PERIODS

(i) IRRIGATION CONTROLLER (PRO-C) PER PLAN

10" OPEN DOOR WIDTH

3 TO B MONTHS

 ELECTRICAL SUPPLY CONDUIT
 CONNECT TO POWER SOURCE
 JABOX INSIDE CONTROLLER (2) IRRIGATION CONTROL MIRE IN CONDUIT SIZE AND TYPE PER LOCAL CODES

:

(2) if copper curb ground 50 oilwis on LESS ① 10" ROUND VALVE BOX

Me to #10 BARE COPPER GROUNDING CONDUCT?

Ð

ADJACENT SURFACE TO MOU

ACM MORE

NOTE
MOUNT CONTROLLER LCD SCREEN AT EYE
LEVEL, CONTROLLER SHALL BE HARD-WRE:
TO GROUNDED 110 VAC POWER SOURCE

PRO-C WALL MOUNT

CONTROLLER GROUNDING GROUND PER N.E.C.

<u>;</u>

REES WITH 2" TO 4" TRUNK DIAMETER TREES OVER 4" 3 TO 8 MONTHS

S TO 8

SHRUBS IN 3-GALLON CONTAINERS

IR5.1 6/3/2025 7N2

Perintegrands

Perint

COD TO

Sunstitue Moon

THIS SHEET NOT VALID FOR CONSTRUCTION UNLESS STAMPED APPROVED

TURF ROTOR HEAD

IRRIGATION SLEEVE DETAIL

EN. ETHAN ONE SLEEVE EXTEND THE SMALLER SLEEVE TO FOVE FINSH GRADE AND MARK ALL SLEEVELCCATIONS, REMOVE

MEDITISS SHALL BE CLASS TON PIPE FOR F AND LAGGER AND SCHEDIA
PROFESSOR AND SCHEDE SHALL BE CLASS TON PIPE FOR F AND LAGGER AND SCHEDIA
PROFESSOR AND SCHEDE SHALL BE CLASS TON PIPE FIRST PARTIES SERVE TO A LAGGER STATE OF STREAM PIPE STATE OF STREAM PIPE STR

Owner / Developer: AUTOZONE STORES LLC (Cindy searcy) 25 construction com Dodge Date & Analysics (124 413-930-4215 Dodge Date & Analysics (124 413-930-4215 Dodge Date & Analysics (124 413-930-4215

TEMPORARY SLE MARKER, TYP.

9

SECTION A

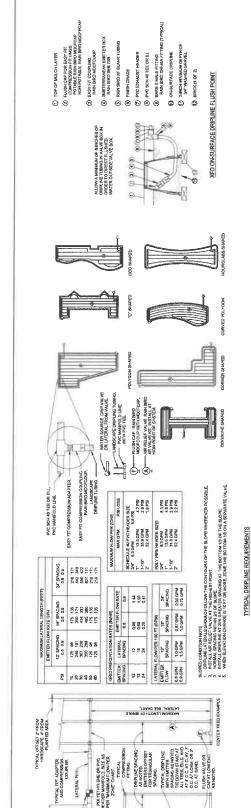
IRRIGATION SPECIFICATIONS

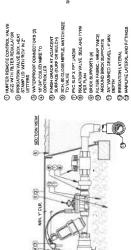
AutoZone Store No. FL10562 NWC OF US-90 W & NW FOREST MEADOWS AVE, LAKE CITY, FLORIDA 32055

WOTE:
1. INSECT BARB TRANSFER FITTING DRECTLY INTO CHIPLINE THE STATE TO CLOSED, OR IF IT IS DESIRED TO S SPAY FROM THE MOZILE, SET THE ARC TO 14 PATTERN. ON-SURFACE DRIPLINE OPERATIONAL INDICATOR

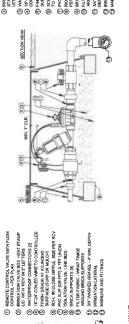
AIRWACUUM RELIEF VALVE

5 S Þ





FINISH GRADE of ROUND VALVE BOX AR / VACUUM RELIEF VALVE BUSHING



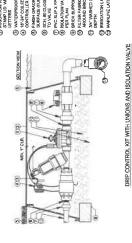
8

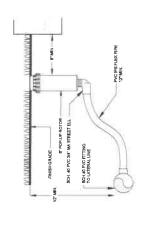
MACHINE SEE CHART.

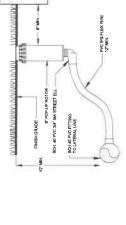
TYPICAL DEFSET Z FROM HARDSCAPE, 4" FROM PLANTED AREA,

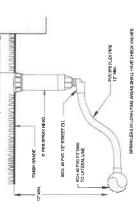
AND THURSDAY

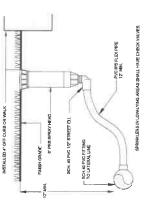
ELECTRIC REMOTE CONTROL VALVE

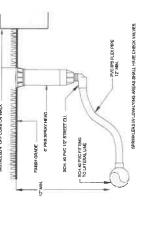


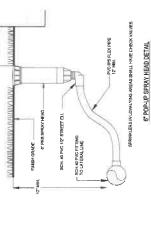


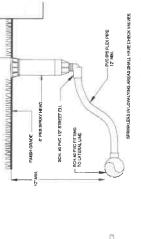


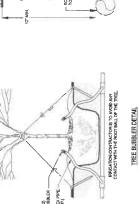


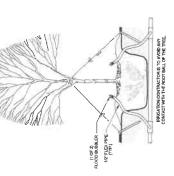


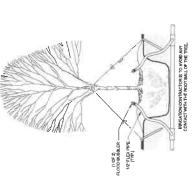












File Attachments for Item:

ii. SPR 25-06- Petitions submitted by Carol Chadwick, PE (agent) for TJL Associates, LLC (owner), for a Site Plan Review for Envy Elite, in the Commercial Intensive Zoning District, and located on parcel 02703-014, which is regulated by the Land Development Regulations section 4.13.



GROWTH MANAGEMENT

205 North Marion Ave. Lake City, FL 32055 Telephone: (386)719-5750

E-Mail:

growthmanagement@lcfla.com

FOR PLANNING USE ONLY	
Application #	
Application Fee \$200.00	
Receipt No	
Filing Date	
Completeness Date	

Site Plan Application

A.	PRO	JECT INFORMATION					
	1.	Project Name: ENVY ELITE					
	2.	Address of Subject Property: TBD, LAKE CITY, FL 32025					
	3.	Parcel ID Number(s):01-4S-16-02703-014					
	4.	Future Land Use Map Designation: RESIDENTIAL-MEDIUM					
	5.	Zoning Designation: RMH-3					
	6.	Acreage: 1.21					
	7.	Existing Use of Property: VACANT					
	8.	Proposed use of Property: PRIVATE CLUB					
	9.	Type of Development (Check All That Apply):					
		Increase of floor area to an existing structure: Total increase of square footage 9720					
		New construction: Total square footage					
		Relocation of an existing structure: Total square footage					
B.	APP	LICANT INFORMATION					
		Applicant Status □ Owner (title holder) ■ Agent					
		Name of Applicant(s): CAROL CHADWICK, PE					
		Company name (if applicable):					
		Mailing Address: 1208 SW FAIRFAX GLEN					
		City: LAKE CITY State: FL Zip: 32025					
		Telephone: (307)680.1772 Fax: Email: ccpewyo@gmail.com					
	PLEASE NOTE: Florida has a very broad public records law. Most written communications						
	or from government officials regarding government business is subject to public record						
		requests. Your e-mail address and communications may be subject to public disclosure.					
	3.	If the applicant is agent for the property owner*.					
		Property Owner Name (title holder): TJL ASSOCIATES, LLC					
		Mailing Address: 176 SW WILSHIRE DRIVE					
		City: LAKE CITY State: FL Zip: 32024					
		Telephone: (386)752.2336 Fax:()Email:apiredenallc@gmail.com					
	4.	Mortgage or Lender Information: □ Yes ■ No					
		Name of Mortgage or Lender:					
		Contact Name:Telephone Number:					
		E-Mail Address:					
		If property has a mortgage or lender, the mortgage or lender shall be required to provide a					
		release for this application to proceed.					
		PLEASE NOTE: Florida has a very broad public records law. Most written communications to					

or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

*Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.

C. ADDITIONAL INFORMATION

1.	Is there any additional contract for the sale of, or options to purchase, the subject property?						
	If yes, list the names of all parties involved: NA						
	If yes, is the contract/option contingent or absolute: \Box Contingent \Box Absolute						
2.	Has a previous application been made on all or part of the subject property? \Box Yes \Box No \Box						
3.	Future Land Use Map Amendment:						
	Future Land Use Map Amendment Application No						
	Site Specific Amendment to the Official Zoning Atlas (Rezoning): □Yes■No						
	Site-Specific Amendment to the Official Zoning Atlas (Rezoning) Application No						
	Variance:□YesNo						
	Variance Application No.						
	Special Exception: Yes No						
	Special Exception Application No.						

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. **Vicinity Map** Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. **Site Plan** Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
- vii. Number of proposed parking spaces.
- viii. Street layout.
- ix. Layout of mobile home stands (for mobile home parks only).
- 3. **Stormwater Management Plan**—Including the following:
 - a. Existing contours at one-foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
- 4. **Fire Department Access and Water Supply Plan:** The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office ("ISO") and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
- **5. Mobility Plan:** Mobility plan shall include accessibility plan for ADA compliance, safe and convenient onsite traffic flow, and accessibility plan for bicycle and pedestrian safety. The City shall require additional right of way width for bicycle and pedestrian ways to be provided for all proposed collector and arterial roadways, as integrated or parallel transportation facilities per Policy II.1.4 of the Comprehensive Plan.
- 6. **Concurrency Impact Analysis**: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
- 7. **Comprehensive Plan Consistency Analysis**: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
- 8. **Legal Description with Tax Parcel Number** (In Word Format).
- 9. **Proof of Ownership** (i.e. deed).
- 10. **Agent Authorization Form** (signed and notarized).
- 11. **Proof of Payment of Taxes** (can be obtained online via the Columbia County Tax Collector's City of Lake City Growth Management Department 205 North Marion Ave, Lake City, FL 32055 ◆ (386) 719-5750

Office).

- 12. **Fee:** The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid
- 13. **Notices:** All property owners within three hundred (300) feet must be notified by certified mail by the proponent and proof of the receipt of these notices must be submitted as part of the application package submittal.

The Growth Management Department shall supply the name and addresses of the property owners, The notification letters, and the envelopes to the proponent.

ACKNOWLEDGEMENT, SIGNATURES, AND NOTORY ON FOLLOWING PAGE

NOTICE TO APPLICANT

All eleven (13) attachments listed above are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eight (2) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

WILLIAM CHANGE

Applicant/Agent Name (Type or Print)	No. 82560 * STATE OF CORIDA STATE OF CORIDA STATE OF CORIDA COR		
Applicant/Agent Signature	Digitally signed by Carol Chadwick DN: c=US, o=Florida,	Date	
Applicant/Agent Name (Type or Print)	dnQualifier=A01410D00000 18D463B4E7500032FEE, cn=Carol Chadwick Date: 2025.04.07 14:10:37		
Applicant/Agent Signature	-04'00'	Date	
STATE OF FLORIDA COUNTY OF			
The foregoing instrument was acknowledged before i	me thisday of, 20	, by (name of person acknowledging).	
(NOTARY SEAL or STAMP)		Signature of Notary Printed Name of Notary	
Personally, KnownOR Produced Identification Type of Identification Produced	OR verified on-line virtually	<u> </u>	

SITE PLAN ENVY ELITE

SECTION 01, TOWNSHIP 04 SOUTH, RANGE 16 EAST LAKE CITY, COLUMBIA COUNTY, FLORIDA

	DEVELOPN	MENT INFORMATION	ON			
	NEW BUILDI	NG FOR A PRIVATE CLI	JB			
PARCEL NUMBER	NUMBER 01-45-16-02703-014					
ZONING	NG RMH-3					
LAND USE	RESIDENTIAL-MEDIUM					
ADDRESS	TBD, LAKE CITY, FL 32025					
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE			
PARCEL AREA	52558	1.21	100			
ON-SITE DISTURBANCE AREA	21252	0.49	40			
OFF-SITE DISTURBANCE AREA	0	0.00	-			
TOTAL DISTRUBANCE AREA	21252	0.49	40			
	EXISTING	IMPERVIOUS AR	EA			
ASPHALT PARKING \$ DRIVEWAYS	4974	0.11	9			
TOTAL EX. IMPERVIOUS AREA	4974	0.11	9			
PROP	OSED IMPERVIOUS AR	EA (INCLUDING F	UTURE EXPANSIONS)			
BUILDING	9720	0.22	18			
ASPHALT PARKING \$ DRIVEWAYS	8747	0.20	17			
CONCRETE	972	0.02	2			
TOTAL PROP. IMPERVIOUS AREA	19439	0.45	37			
	TOTAL I	MPERVIOUS AREA	4			
TOTAL IMPERVIOUS AREA	24413	0.56	46			
	LA	NDSCAPING				
REQUIRED	PER CITY OF LAKE CITY L.D.R. 4.2.15.10 LANDSCAPING: 10% OF OFF-STREET PARKING (8747 SF) 1 TREE PER 200 SF OF LANDSCAPING 875 S.F. LANDSCAPING \$ 4 TREES					
PROPOSED AREA						
		PARKING				
REQUIRED SPACES	PER CITY OF LAKE CITY L.D.R. 4.2.15.16 I PARKING SPACE PER 5 MEMBERS (75 MEMBERS WITH EXPANSION) -> 15 SPACES					
PROPOSED SPACES	15 INCLUDING 1 HANDICAP SPACE					



LOCATION MAP

NOT TO SCALE

NOTES

- SITE PARCEL: 01-45-16-02703-014
 FUTURE LAND USE: RESIDENTIAL-MEDIUM
 ZONING: RMH-3
 SITE ADDRESS: TBD, LAKE CITY, FL 32025

TJL ASSOCIATES, LLC I 76 SW WILSHITE DRIVE LAKE CITY, FL 32024 386.623.0564 todd.lussier@gmail.com Contact: TODD LUSSIER

CIVIL ENGINEER:

CAROL CHADWICK, P.E. I 208 S.W. FAIRFAX GLEN LAKE CITY, FL 32025 307.680.1772 ccpewyo@gmail.com

BRITT SURVEYING & MAPPING, LLC 1438 SW MAIN BOULEVARD LAKE CITY, FL 32025 386.752.7163 |sbritt@msn.com

SHEET INDEX

- COVER SHEET NOTES, LEGEND & DETAILS
- 3 SITE PLAN





- THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
- 2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, WATER MANAGEMENT DISTRICT, COLUMBIA COUNTY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
- 3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
- 4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
- 5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
- 6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
- 7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS. 8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER
- WETLANDS. 9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND
- EXCESS SEDIMENT.
- IO. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH. II. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE
- OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED 12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
- 13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
- 14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR. 15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
- 16. EXCESS DIRT SHALL BE REMOVED DAILY.
- 17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
- 18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES. THE SILT FENCE AND STRAW BALES. THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
- 19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

ENGINEER'S NOTES

I. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE

2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.

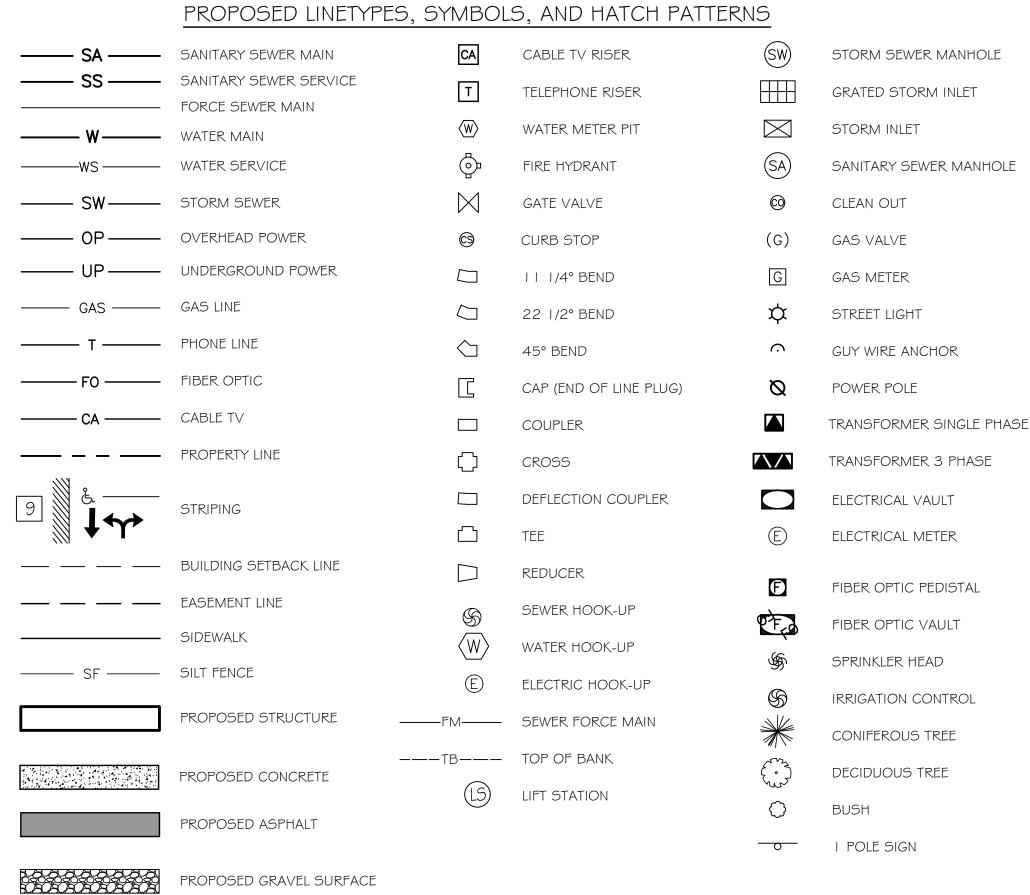
- 3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
- 4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED. 5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
- 6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY
- CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED. 7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
- 8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

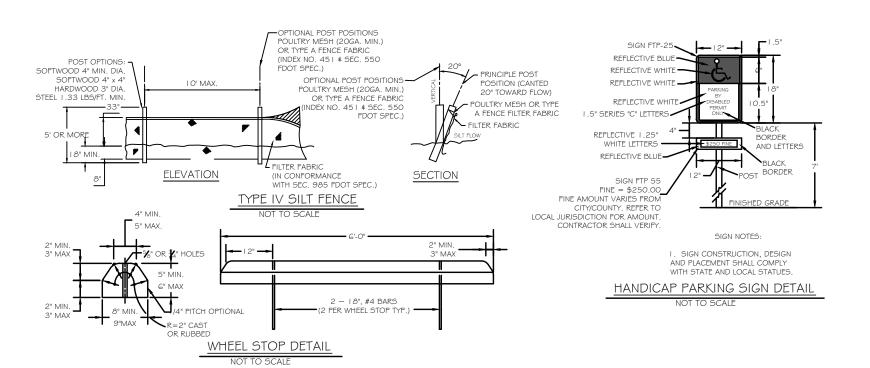
UNAUTHORIZED CHANGES AND USES CAUTION:

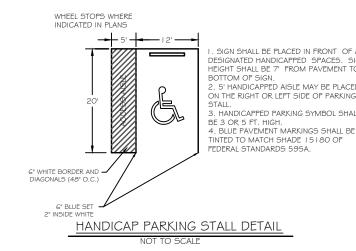
THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS. THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.



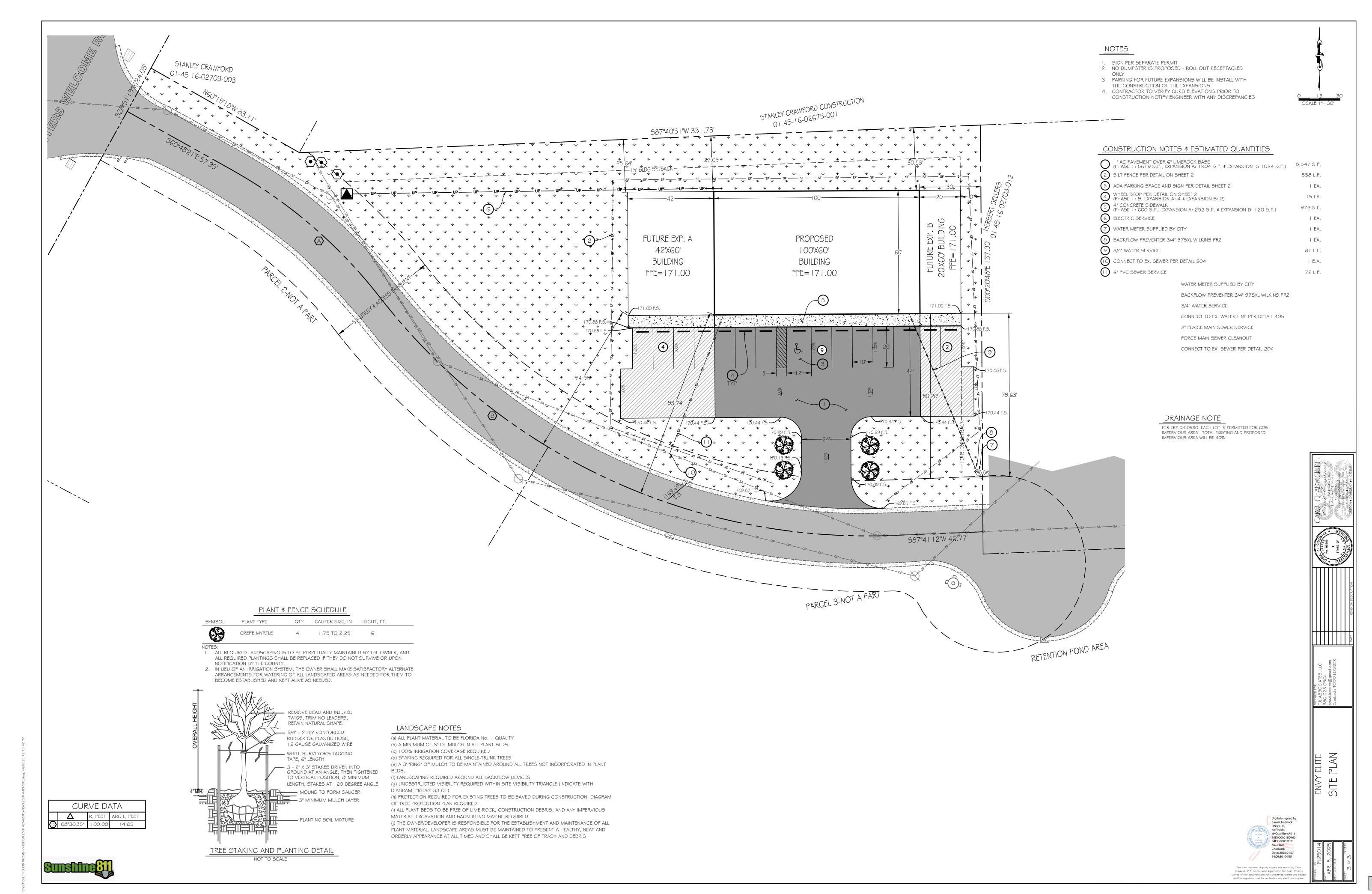




NOTE: ALL UTILITY PROVIDERS MUST BE CONTACTED PRIOR TO DIGGING IN ACCORDANCE TO CHAPTER 556 "SUNSHINE STATE ONE CALL" CALL 811 48 HOURS PRIOR TO DIGGING







CAROL CHADWICK, P.E.

Givil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

April 5, 2025

re: Envy Elite Drainage Memo

Per ERP-04-0580, each lot is permitted for 60% impervious area. Please refer to site plan for impervious area summary.

Lot size is 1.21 acres or 52558 s.f. Total impervious surface is 24413 s.f. or 37% of the entire site.

The proposed design and construction of this site shall not cause adverse impacts to:

- Existing surface water storage
- Conveyance capabilities
- Water quantity
- Flooding conditions
- Minimum flows and levels established by the State of Florida
- Water quality

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410 D0000018D46384E 7500032FEE, cn=Carol Chadwick Date: 2025.04.07 14:09:31-04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

April 7, 2025

re: Envy Elite Fire Flow Report

ISO: NFF = (C) (O) [1 + (X + P)] = $1000^{*}0.85[1 + (0+0)] = 850 \rightarrow 1000$ apm

Where:

NFF = Needed Fire Flow

(C) = Construction factor, including effective area: C = 1000

(O) = Occupancy factor: C-2=0.85

(X + P) = Exposures and communication (openings) factor: O

 $C = 18F\sqrt{A} = 18*0.6*\sqrt{9720} = 1065 \rightarrow 1000$

Where:

F = the coefficient related to the construction type = 0.6

A =the effective building area = 9720 sf

NFPA: required flow 1500 gpm

Per the attached Water Flow Report dated 04/07/25, the water flow is 1576 gpm at 20 psi.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

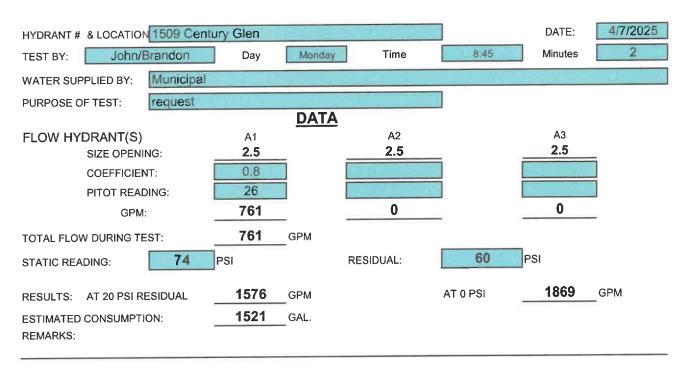
Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A014 10D000018D463 84E7500032FEE, cn=Carol Chadwick Date: 2025,04.07 14:09:20-04/00'

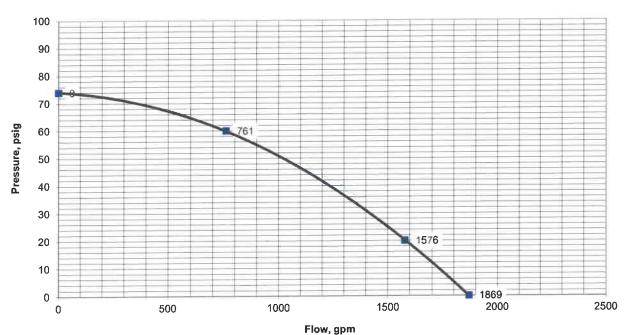
Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014

City of Lake City Water flow report





CAROL CHADWICK, P.E.

Givil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

April 5, 2025

re: Envy Elite Mobility Plan

The site doesn't have sidewalk in the right-of-way to connect to.

The site shall have one ADA space.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick
DN: c=US,
0=Florida,
dn(Qualifier=A014
10D0000018D463
B4E7500032FEE,
cn=Carol
Chadwick
Date: 2025.04.07
14:09:06-04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

April 6, 2025

re: Envy Elite Concurrency Impact Analysis

The subject property will be used as a private club for cheerleading practice and training. The site will utilize the City of Lake City sewer and water systems. The calculations reflect the total possible building size and members. The expansions may or may not be constructed in the future.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 492
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Commercial Generation Study, Palm Beach County 1993

Summary of analyses:

• Trip generation: 320 ADT \$ 48 Peak PM trips

Potable Water: 1935 gallons per day
Potable Water: 1935 gallons per day
Solid Waste: 389 c.y. per week

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01 410D0000018D4 63B4E7500032FE c,cn=Carol Chadwick Date: 2025.04.07 14:08:55-04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014

REVISED CONCURRENCY WORKSHEET

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	KSF	Total ADT	Total PM Peak
492	Health Club	32.93	4.95	9.72	320.08	48.11

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Country Club	25 + 15	25 + 15	1935.00

^{*} Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (75 MEMBERS & 4 EMPLOYEES)

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Country Club	25 + 15	25 + 15	1935.00

^{*} Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can very from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (75 MEMBERS & 4 EMPLOYEES)

Solid Waste Analysis

Use	Volume Pounds Per S.F. Per Month	S.F.	Total (c.y. per month)
Clubhouse	0.04	9720.00	389.00

CAROL CHADWICK, P.E.

Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

April 6, 2025

re: Envy Elite Comprehensive Plan Consistency Analysis

The Envy Elite proposed site plan consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

• Objective I. I The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject property will be used as a private club for cheerleading practice and training. The surrounding properties are currently used as commercial.

• Policy I.I.I The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The surrounding properties are currently used as commercial. The site has direct access to a collector road, SW Sisters Welcome Road.

 Policy I. I. 2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The subject property will be used as a private club for cheerleading practice and training.

• Policy I.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2026.

Consistency: The subject property will be used as a private club for cheerleading practice and

training.

 Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proposed use of the subject property is consistent with commercial properties and will not have any adverse environmental impacts on the existing land uses.

• Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: No impacts to adjacent land topography or soil conditions will result due to a zooming or land use change of the subject property.

• Policy I. I. G The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed commercial development is compatible with other similar uses in the area and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifer=A014 10D000018D46 384E750032FEE, cn=Carol Chadwick Date: 2025.04.07 14:08:39 -04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25014

COLUMBIA COUNTY Property Appraiser

Parcel 01-4S-16-02703-014

Owners

TJL ASSOCIATES, LLC 176 SW WILSHIRE DR LAKE CITY, FL 32024

Parcel Summary

Location	
Use Code	0000: VACANT
Tax District	1: CITY OF LAKE CITY
Acreage	2.1300
Section	01
Township	4S
Range	16
Subdivision	DIST 2
Lineage	Split from 01-4S-16-02703-004

Legal Description

COMM NE COR OF SE1/4, W 208.75 FT FOR POB, CONT W 331.73 FT, N 60 DEG W 83.11 FT TO E R/W OF SW SISTERS WELCOME RD, SW ALONG R/W 24.05 FT, S 60 DEG E 57.95 FT, TO CURVE, SE ALONG CURVE 96.23 FT, SE 284.72 FT, E 43.86 FT, N 197.90 FT TO POB. EX 448 SQ FT DESC IN WD 1163-834.

669-578, 676-620, 867-335, 1039-1855, 1163-834, WD 1521-646, WD 1523-539



30° 10′ 14″ N 82° 39′ 30″ W

Working Values

Value History

	2025
Total Building	\$0

None

	2025
Total Extra Features	\$0
Total Market Land	\$45,795
Total Ag Land	\$0
Total Market	\$45,795
Total Assessed	\$45,795
Total Exempt	\$0
Total Taxable	\$45,795
SOH Diff	\$0

Document/Transfer/Sales History

Instrument / Official Record	Date	Q/U	Reason	Туре	V/I	Sale Price	Ownership
WD 1523/539	2024-09-10	U	<u>11</u>	WARRANTY DEED	Vacant	\$100	Grantor: PEELER LESLIE EARL Grantee: TJL ASSOCIATES, LLC
<u>WD</u> 1521/646	2024-08-12	U	<u>11</u>	WARRANTY DEED	Vacant	\$100	Grantor: PEELER LESLIE EARL Grantee: TJL ASSOCIATES, LLC

Buildings

None

Extra Features

None

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
0000	VAC RES	00	.00	.00	2.13	\$21,500.00/ <u>AC</u>	2.13	1.00	\$45,795

Personal Property

None

Permits

None

TRIM Notices

Not found for this property.

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of February 09, 2025.

Copyright © 2022 Columbia County. All rights reserved.

Inst. Number: 202412019568 Book: 1523 Page: 539 Page 1 of 3 Date: 9/10/2024 Time: 1:00 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 0.70

Prepared by and return to: T.I. Associates, LLC 176 SW Wilshire Drive Lake City, Florida 32024

File No.: 2023-1459

Parcel Identification No CO-00-00-14174-000

JSrace Above Clus Line For Recording Oral

WARRANTY DEED

(STATUTORY FORM - SECTION 689.92, F.S.)

This indenture made the 10TH day of September, 2024 between Leslie Earl Peeler, a Single Man, whose post office address is PO Box 2238, Lake City, FL 32056, of the County of , State of Florida. Grantor, to TJL Associates, LLC, a Florida Limited Liabilty Company, whose post office address is 176 SW Wilshire Drive Lake City, Florida 32024, of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantor, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantor in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE APART HEREOF

LEGAL PROVIDED BY GRANTOR

THIS DEED WAS PREPARED WITHOUT THE BENEFIT OF A TITLE SEARCH AND MAKES NO WARRANTIES AGAINST SAME

THE PURPOSE OF THIS DEED IS TO CORRECT AN OMITTED LESS OUT IN THE LEGAL DESCRIPTION OF THAT CERTAIN DEED RECORDED IN OR BOOK 1521 PAGE 646.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2024 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantor hereby covenants with the Grantee that the Grantor is lawfully seized of said land in fee simple, that Grantor has good right and lawful authority to sell and convey said land and that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

Inst. Number: 202412019568 Book: 1523 Page: 540 Page 2 of 3 Date: 9/10/2024 Time: 1:00 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 0.70

In Witness Whereof, Grantor has hereunto set Grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence:

Leslie Earl Peeler

WITNESS
PRIVE NAME TO SHALLS

WITNESS I ADDRESS

WITNESS I ADDRESS

PRINT NAME MACY MCOL

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of M physical presence or () online notarization this later than 3024, by Leslie Earl Peeler.

Signature of Notary Public
Print, Type/Stamp Name of Notary

Personally Known: OR Produced Identification: Type of Identification
Produced:

CHRISTY WELLS
Notary Public
State of Florida
Comm# HH489451
Expires 2/5/2028

Exhibit "A"

DESCRIPTION PARCEL I DESCRIPTION PARCEL I.
COMMENCE AT THE NE COMMER OF SE 1/4, SECTION 1, TOWNSHIP 4 SOUTH, RANGE 16 EAST,
COLUMBIA COUNTY, FLORIDA AND RUN SOFTADSITY, ALONG THE NORTH LINE OF SAID SE 1/4 A
NORTH LINE A DISTANCE OF 30173 FEET, THENCE MODIFYTE'M, GAIL FEET TO THE EASTERLY
RIGHT-OF-VAY LINE OF SV SISTERS VELCOME ROAD, THENCE S.80'SITE'M, ALONG SAID
TO A POINT OF A CURVE TO THE RIGHT HAVING A RADIUS OF RADOO FEET, AND AN INTERNAL
DISTANCE OF 3023 FEET TO A POINT OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS
OF SOURCE FUND THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC
DISTANCE DE 3023 FEET TO A POINT OF A REVERSE CURVE TO THE LEFT HAVING A RADIUS
THE ARC DE SET AND AN INTERNAL ANGLE OF 54'22'41'; THENCE RUN SOUTHEASTERLY ALONG
THENCE NOO'20'48'E, 1929O FEET TO THE POINT OF BEGINNING. CONTAINING 213 ACRES HORE
OR LESS.

TOGETHER WITH AND SUBJECT TO AN EASEMENT FOR UTILITIES, DRAINAGE, INGRESS AND CORESS MARE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCE AT THE NE CHRNER OF SE 1/4, SECTION 1. TOWNSHIP 4 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA AND RUN NOTSPICEY. ALONG THE EAST LINE OF SAID SE 1/4 A DISTANCE OF 535.67 FEET, THENCE ROLD, THENCE ROSS, FEET TO THE EASTERLY RIGHT-OF-WAY LINE OF STSTERS WELCOME FEET TO THE ROUNT OF BEGINNING, THENCE S.60:40*21*C, 57.40*1 LINE OF DEDINT OF 149.90 TO THE RIGHT HAVING A RADIUS OF 213.00 FEET AND AN INTERNAL ANGLE OF 82*50*27*1 TO A POINT OF REVERSE CIRVE TO THE LEFT HAVING A RADIUS OF 50*16*36*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 36*11 FEET TO A POINT OF REVERSE CIRVE TO THE LEFT HAVING A RADIUS OF 50*16*36*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 50*16*36*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 50*16*36*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 150*0 FEET AND AN ANALONG THE ARC OF SAID CURVE AND AN ARC DISTANCE OF 50*16*36*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AND AN ARC DISTANCE OF 70*4*109*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 18.51 FEET TO A POINT OF CURVE TO THE LEFT. SAID CURVE BOTH AND AN INTERNAL ANGLE OF 70*4*109*; THENCE RUN SOUTHEASTERLY ALONG THE ARC OF SAID CURVE AN ARC DISTANCE OF 18.51 FEET TO A POINT OF CURVE TO THE LEFT. SAID CURVE BOTH AND AN INTERNAL ANGLE OF 18.51 FEET TO A POINT OF SAID CURVE AN ARC DISTANCE OF ROSS THE ARC OF SAID CURVE BOTH AND DISTANCE OF NESSTATIFE, SAID CURVE AND AN INTERNAL ANGLE OF 18.52*00 FEET AND AN INTERNAL ANGLE OF 18.53*00 FEET THENCE SAID CURVE AN ARC DISTANCE OF ROSS THENCE RUN SOUTHEAST AND AN INTERNAL ANGLE OF 54*30*20*1. THENCE RUN SOUTHEAST AND AN INTERNAL ANGLE OF 54*30*20*1. THENCE RUN SOUTHEAST AND AN INTERNAL ANGLE OF 54*3

LESS AND EXCEPT:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run S.88°58'33"W. along the North line of said Southeast 1/4 a distance of 507.76 feet to the POINT OF BEGINNING; thence S.00°56'09"W. 27.18 feet to a point on the Northeasterly Right-of-Way line of SW Century Glen; thence N.50°44'43"W. along said Northeasterly Right-of-Way line 42.02 feet to the point of intersection of said Right-of-Way line with the North line of said Southeast 1/4 and also with the former Easterly line of the Seaboard Coastline Railroad (now abandoned); thence N.88°58'33"E. along the North line of said Southeast 1/4 a distance of 32.98 feet to the POINT OF BEGINNING. Containing 448 Square Feet, more or less.



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Liability Company TJL ASSOCIATES, LLC

Filing Information

 Document Number
 L23000253352

 FEI/EIN Number
 93-1702033

 Date Filed
 05/23/2023

 Effective Date
 05/24/2023

State FL
Status ACTIVE

Principal Address

176 SOUTHWEST WILSHIRE DRIVE LAKE CITY, FL 32024 UN

Mailing Address

176 SOUTHWEST WILSHIRE DRIVE

LAKE CITY, FL 32024 UN

Registered Agent Name & Address

LUSSIER, TODD G 176 SOUTHWEST WILSHIRE DRIVE LAKE CITY. FL 32024

Authorized Person(s) Detail

Name & Address

Title MGR

LUSSIER, TODD G 176 SOUTHWEST WILSHIRE DRIVE LAKE CITY, FL 32024

Title MGR

LUSSIER, JENNIFER C 176 SOUTHWEST WILSHIRE DRIVE LAKE CITY, FL 32024

Annual Reports

Report Year Filed Date 2024 05/01/2024

Document Images

05/01/2024 -- ANNUAL REPORT View image in PDF format
05/23/2023 -- Florida Limited Liability View image in PDF format



GROWTH MANAGEMENT DEPARTMENT 205 North Marion Ave, Lake City, FL 32055

Phone: 386-719-5750

E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

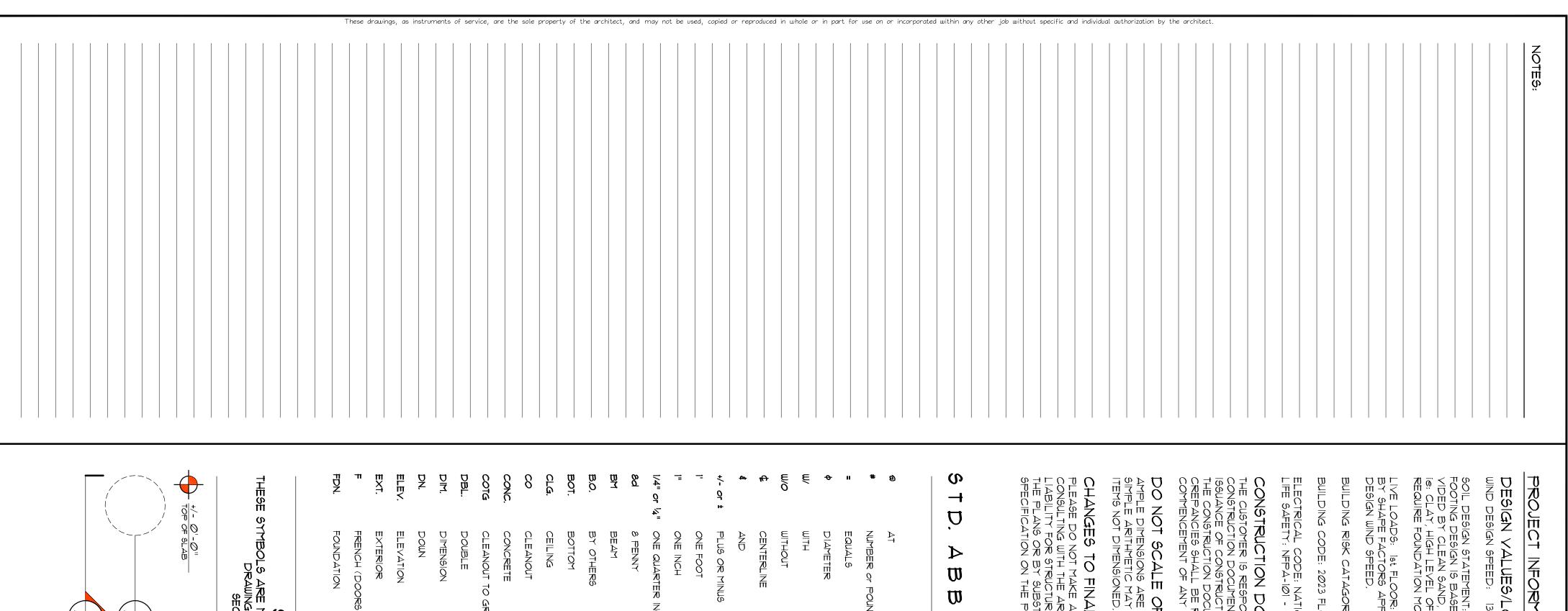
I, TJL Associates	(owner name), owner of property parcel
number_02703-014	(parcel number), do certify that
the below referenced person(s) listed on this for is an officer of the corporation; or, partner as desaid person(s) is/are authorized to sign, speak a relating to this parcel.	fined in Florida Statutes Chapter 468, and the
Printed Name of Person Authorized	Signat Signat Signat
_{1.} Carol Chadwick, PE	1. No. 82500 dnQualifier=A0141 0D0000018D463B4 E7500032FEE,
2.	2. cn=Carol Chadwick Date: 2025.04.07 14:08:13-04'00'
3.	3.
4.	4.
5.	5.
with, and I am fully responsible for compliance w Development Regulations pertaining to this parc If at any time the person(s) you have authorized officer(s), you must notify this department in writ authorization form, which will supersede all prev unauthorized persons to use your name and/or I Owner Signature (Notarized)	is/are no longer agents, employee(s), or ing of the changes and submit a new letter of ious lists. Failure to do so may allow
NOTARY INFORMATION: STATE OF: Horida COUNTY OF: The above person, whose name is Todd personally appeared before me and is known by	Delumbia Lussier
lyne diam. Inavoration MOTARY'S SIGNATURE	(Seal/Stamp) CYNTHIA M. INNOCENTI
	MY COMMISSION # HH 348180 EXPIRES: April 10, 2027

These drawings, as instruments of service, are the sole property of the architect, and may not be used, copied or reproduced in whole or in part for use on or incorporated within any other job without specific and individual authorization by the architect.

Nr. DRAWING TITLE	ISSUED	LATEST REYN	9H7 N.	DRAWING TITLE	ISSUED	LATEST TOEK'N	9H7 N.	DRAWING TITLE	ISSUED	LATEST REV'N
COVER SHEET	20 FEB 2025	•	<u>\</u>	ELEVATIONS	20 FEB 2025	•	<u> </u>	HVAC PLAN and SCHEDULES	20 FEB 2025	•
GENERAL PROJECT INFORMATION	20 FEB 2025	•	A.2	FLOOR PLAN and DETAILS	20 FEB 2025	•	ቫ 2	HVAC DETAILS	20 FEB 2025	•
	•	•	⊳	SECTION, DETAILS and LOFT PLAN	20 FEB 2025	•			•	•
LIFE SAFETY PLAN	20 FEB 2025	•	<u>A</u> .4	STOREFRONT GLASS DETAILS	20 FEB 2025	•	Ш	ELECTRICAL PLAN and DETAILS	20 FEB 2025	•
,	•	•			•	•	E 2	ELECTRICAL LOFT PLAN, PANEL and RISER	20 FEB 2025	•
FOUNDATION PLAN	20 FEB 2025	•	<u></u> 0	PLUMBING PLAN and DETAILS	20 FEB 2025	•				•
STRUCTURAL NOTES and DETAILS	20 FEB 2025	•			•	•				•



GYMNASIUM for: TODD LUSSIER LAKE CITY, FLORIDA COYER SHEET



PROJECT INFORMATION / NOTES:

DESIGN VALUES/LOADS & CODES
WIND DESIGN SPEED: 130 MPH, UNLESS NOTED

SOIL DESIGN STATEMENT:
FOOTING DESIGN IS BASED UPON 1000 PSF SOIL BEARING PRESSURE PRO-VIDED BY CLEAN SAND, GRAVEL OR STONE. OTHER SOIL CONDITIONS IC: CLAY, HIGH LEVEL OF ORGANICS OR OTHER UNDESIRABLE SOILS SHALL REQUIRE FOUNDATION MODIFACATIONS.

LIVE LOADS: 1st FLOOR: 40PSF, 2nd FLOOR: 40PSF BY SHAPE FACTORS APPLIED TO THE WIND FORCE (DESIGN WIND SPEED. GENERATED BY THE

BUILDING CODE: 2023 FLORIDA BUILDING BUILDING RISK CATAGORY: 2 CODE, 8th TEDITION

ELECTRICAL CODE: NATIONAL ELECTRICAL LIFE SAFETY: NFPA-1Ø1 - LATEST COD TI 2023 EDITION

CONSTRUCTION DOCUMENTS

THE CUSTOMER IS RESPONSIBLE FOR DELIVERING THE REQUIRED SETS OF CONSTRUCTION DOCUMENTS TO THE PERMIT ISSUING AUTHORITIES, FOR THE ISSUANCE OF CONSTRUCTION PERMITS. THE CONTRACTOR SHALL REVIEW THE CONSTRUCTION DOCUMENTS AND VERIFY ALL DIMENSIONS. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT PRIOR TO THE COMMENCEMENT OF ANY WORK OR FABRACATION OF ANY MATERIALS.

DO NOT SCALE OFF THESE PLANS
AMPLE DIMENSIONS ARE SHOWN ON THE PLANS TO
SIMPLE ARITHMETIC MAY BE USED TO DETERMINE TEMS NOT DIMENSIONED. E LOCATIONS OF THOSE

CHANGES TO FINAL PLAN SETS
PLEASE DO NOT MAKE ANY STRUCTURAL CHANGES TO THESE PLANS WITHOUT CONSULTING WITH THE ARCHITECT. THE OWNER SHALL ASSUME ANY AND ALL LIABILITY FOR STRUCTURAL DAMAGE RESULTING FROM CHANGES MADE TO THE PLANS OR BY SUBSTITUTION OF MATERIALS DIFFERENT FROM SPECIFICATION ON THE PLANS.

\triangleright **7**0 \triangleright \rightarrow 0 Z W

Ø	A	GALY.	GALYANIZED
#	NUMBER or POUND(8)	HORZ.	HORIZONTAL
	EQUALS	ZG.	INSULATION
&	DIAMETER	Z T	NTERIOR
		- - -	

ONE INCH ONE FOOT CENTERLINE PLUS OR MINUS ユ <u>0</u> MASONRY

1 . 0 ON CENTER OVERNEAD OVERHEAD D0070

ELYWD. REINFORCI PLYWOOD 70 00 1 REQUIRED ROUGH OPENING RESSURE -IDING GI Ħ H H H ING (ED) TREATED

VERTICAL TYPICAL 中田十 RIVER LOG HOT (TOILET.

SYMBOLS ARE MOST OFTEN ENCOUNTERED DRAWINGS: ELEVATIONS, DIMENSION INSECTIONS & STRUCTURAL PLANSIONS RED IN THE FOLLOWING N PLANS, NS

TYPE OF DETAIL TO INDICATE A SASSOCIATED WIT TYPE OF ELEVATION MARK USED TO INDICATE A PREFERRED TARGET ELEVATION - TRUE MEASUREMENT. VIEW A PLAN VIEW

USG Interiors Inc. United States Gypsum Co.

TYPE OF SECTION MARK USED TO INDICATE A VIEW TAKEN IN THE DIRECTION OF THE ARROW (e: SECTION "A" FOUND ON "A.B." OF THE CONSTRUCTION DOCUMENTS.

S

H.V.A.C. "AS-BUILT" DRAWINGS

H.V.A.C. CONTRACTOR SHALL PREPARE "AS-BUILT" SHOP

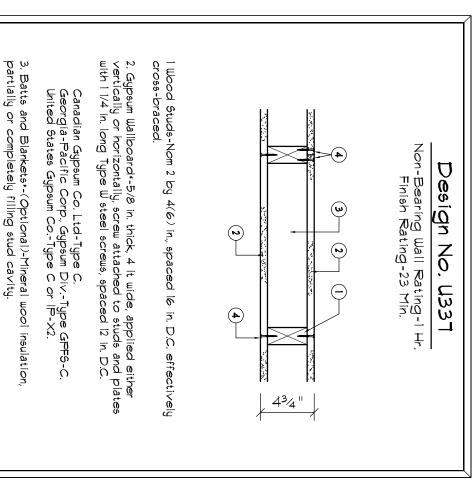
DRAWINGS INDICATING ALL H.V.A.C. WORK, INCLUDING ALL

DUCTWORK LOC., SIZES, LINES, EQUIPMENT SCH. & BALANCING

REPORT - CONT'R SHALL PROVIDE I COPY OF AS-BLT. DWGS

TO OWNER & I COPY TO THE PERMIT ISSUING AUTHORITY.

42" \(\sigma\)\(\sigma\).



GENERAL NOTES:

THE CONTRACTOR AND/OR SUB-CONTRACTORS SHALL WAR-RANT ALL WORK FOR A PERIOD OF ONE YEAR FOLLOWING THE DATE OF FINAL COMPLETION AND ACCEPTANCE BY THE OWNER DEFECTS IN MATERIALS, EQUIPMENT, COMPONENTS AND WORK-MANSHIP SHALL BE CORRECTED AT NO FURTHER COST TO THE OWNER DURING THE ONE YEAR WARRANTY PERIOD. THE CONTRACTOR SHALL INDEMNIFY THE OWNER AGAINST ALL CLAIMS, WHETHER FROM PERSONAL INJURY OR PROPERTY DAMAGE, ARISING FROM EVENTS ASSOCIATED WITH THE WORK PERFORMED UNDER THE CONTRACT FOR THIS PROJECT.

THE OWNER'S OPTION, A WARRANTY INSPECTION SHALL BE MERFORMED DURING THE ELEVENTH MONTH FOLLOWING THE OMMENCEMENT OF THE WARRANTY PERIOD, FOR THE PURE-OSE OF DETERMINING ANY WARRANTY WORK THAT MAY BE EQUIRED. THE CONTRACTOR SHALL BE PRESENT DURING THIS ISPECTION IF REQUESTED BY THE OWNER.

THE CONTRACTOR SHALL PAY FOR ALL PERMITS, LICENSES, TESTS AND THE LIKE THAT MAY BE REQUIRED BY THE VAR-IOUS AUTHORITIES HAVING JURISDICTION OVER THIS PROJECT BE THEY CITY, COUNTY, STATE OR FEDERAL.

THE OWNER SHALL FILE A "NOTICE OF COMMENCEMENT" PRIOR TO THE BEGINNING THE THE PROJECT AND THE CONTRACTOR(S). SHALL FILE "NOTICE TO OWNER" AND PROVIDE "RELEASE OF LIEN" FOR ALL PAYMENT REQUESTS PRIOR TO DISBURSEMENT OF ANY FUNDS.

ANY AND ALL DISPUTES ARISING FROM EVENTS ASSOCIATED WITH THE CONSTRUCTION OF THIS PROJECT BETWEEN THE OWNER, CONTRACTOR(S) AND SUPPLIERS SHALL BE RESOLVED THROUGH BINDING ARBITRATION.

ALL WORK SHALL BE IN ACCORDANCE W/ APPLICABLE CODES AND LOCAL REGULATIONS, INCLUDING APPLICABLE ENERGY CODES. ALL COMPONENTS OF THE BUILDING SHALL MEET WITH THE MINIMUM ENERGY REQUIREMENTS OF THE BUILDING CODE. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IN WRITING PRIOR TO THE COMMENCEMENT OF THE WORK.

ALL WOOD IN CONTACT WITH CONCRETE OR MASONRY SHAL BE PRESSURE TREATED. ALL NSULATION SHALL BE LEFT EXPOSED AND ALL LABLES .EFT INTACT ON THE WINDOWS AND DOORS UNTIL INSPECTED BY THE BUILDING OFFICIAL.

INTERIOR BEARING WALLS SHALL BE CONSTRUCTED IN COMPLIANCE WITH "UL Design U333", BATT INSULATION SHALL BE INCLUDED WHERE UNCONDITIONED AREA IS BEING SEPARATED FROM HEATED / COOLED AREA.

CEILINGS OYER ATTACHED GARAGES OR GARAGES W/ LIVING AREA ABOVE SHALL BE 5/8" FIRECODE "C" GWB ON 1X3 WOOD FURRING AT 16" O.C., ATTACHED W/ 1 1/4" BUGLEHEAD SCREWS © 6" O.C. ALONG EACH POINT OF BEARING. INTERIOR STUD WALLS SEPARATING LIVING AREA FROM GAR-AGE AREAS SHALL BE CONSTRUCTED IN COMPLIANCE WITH "UL Design U333", INCLUDING R-11 BATT INSULATION.

BUILT DRAWING REQUIREMENTS:

A. ELECTRICAL "AS-BUILT" DRAWINGS

ELECTRICAL CONT'R SHALL PREPARE "AS-BUILT" SHOP

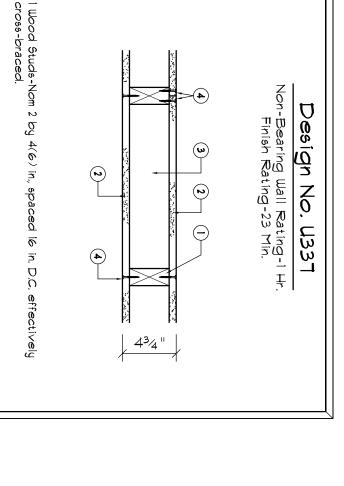
DWGS INDICATING ALL ELECTRICAL WORK, INCLUDING ANY
CHANGES TO THE ELEC. PLAN, ADD'NS TO THE ELEC. PLAN,
RISER DIAGRAM, AS-BUILT PANEL SCHEDULE W/ ALL CKTS
IDENTIFIED W/ CKT Nr., DESCRIPTION & BRKR, SERVICE ENT.

\$ ALL UNDERGROUND WIRE LOCATIONS/ROUTING/DEPTH.
RISER DIA. SHALL INCLUDE WIRE SIZES/TYPE & EQUIPMENT

TYPE W/ RATINGS & LOADS.

CONTRACTOR SHALL PROVIDE | COPY OF AS-BUILT DWGS
TO OWNER & I COPY TO THE PERMIT ISSUING AUTHORITY.

PLUMBING "AS-BUILT" DRAWINGS
PLUMBING CONTRACTOR SHALL PREPARE "AS-BUILT" SHOP DRAWINGS INDICATING ALL PLUMBING WORK, INCLUDING ALL PLUMBING LINE LOCATIONS AND RISER DIAGRAM - CONT'R SHALL PROVIDE I COPY OF AS-BUILT DWGS TO OWNER AND I COPY TO THE PERMIT ISSUING AUTHORITY.



NOTE! FLUSH VALVE SHALL BE ON WIDE SIDE OF TOILET (LAV. SIDE WHERE APPLICABLE) PER A.D.A. REQUIRE

CK GRAB BAR SHALL MOUNTED 6" OFF SIDE

MIN. KNEE CLE

 $\bar{\omega}$

10

8 | MIN. KAIIII OLIII

NIM "e

2'-3" MIN

| 3'-0" TO SPOUT

op of seát

AT PEAR!

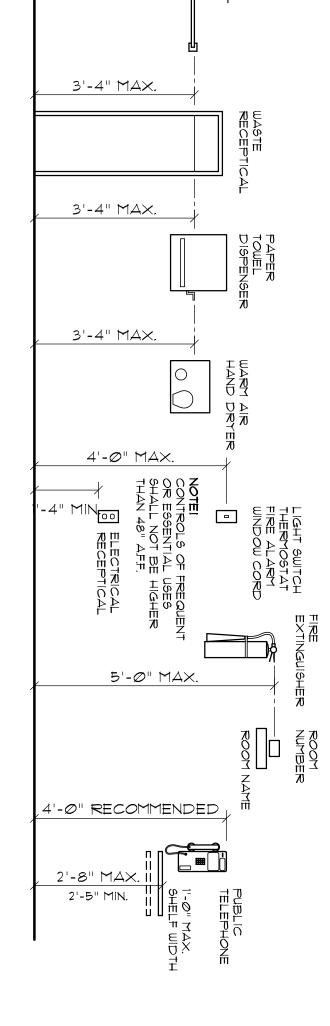
9"

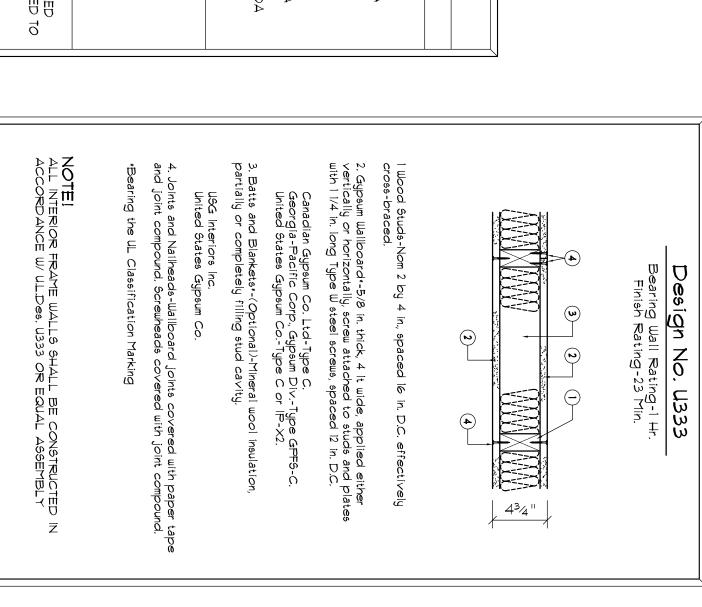
2'-3" MIN.

2'-10" MAX.

3'-4" MAX.

OWNER SELECTED MATERIAL AND INSTALLATION OF FINISH FLOORING MATERIALS TO COMPLY WITH THE FOLLOWING: FIXTURES, DEVICES AND RELATED HARDWARE NOT SPECIFICALLY DEFINED OR MENTIONED ELSEWHERE ARE TO BE OWNER SELECTED AND INSTALLED COMPLY WITH THE ABOVE APPLICABLE ADA SECTIONS. SEC. 45 OF ADA SEC. 43 OF ADA APPLICABLE SECTIONS OF NFPA FIRE CODES APPLICABLE SECTIONS OF NFPA IØI-LATEST LIFE SAFETY CODE 3'-4" MAX. 3'-4" MAX. 3'-4" MAX. 0 AND DRY \vec{o} 4'-0" MAX 5'-Ø" MAX





GRAB BARS: SHALL COMPLY WITH SEC. 4.16.4 OF ADA DISPENSERS: SHALL COMPLY WITH SEC. 4.16.6 OF ADA

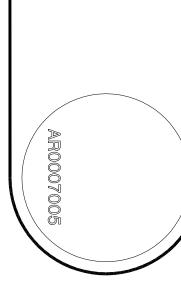
AVATORIES, SINKS & MIRRORS: SHALL COMPLY W/ SECTION 4.19 OF A HEIGHTS SHALL COMPLY WITH SEC. 4.19.2.1 OF ADA EXPOSED PIPES & SURFACES SHALL COMPLY W/ SECTION 4.19.4 OF FAUCETS SHALL COMPLY WITH SEC. 4.19.5 OF ADA MIRRORS SHALL COMPLY WITH SEC. 4.19.6 OF ADA

WATERCLOSETS: SHALL COMPLY WITH SEC. 4.16 OF ADA HEIGHT OF SEAT SHALL BE IN ACCORDANCE WITH SEC. FLUSH CONTROLS SHALL BE IN ACCORDANCE WITH SEC

A.D.A NOTES:

ACCESSIBILITY

SCALE: 1/2" = 1'-@"	STANDAND 7
	THE POINTING PIET
	P Q P



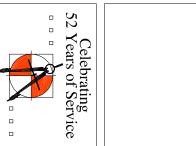
DATE: 1758 NW Brown Rd. Lake City, FL 32055 386-365-4355 20 FEB 2025

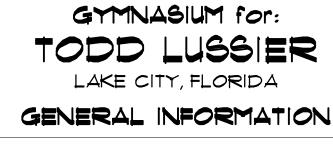
2大2421

NICHOLAS PAUL GEISLER ARCHITECT



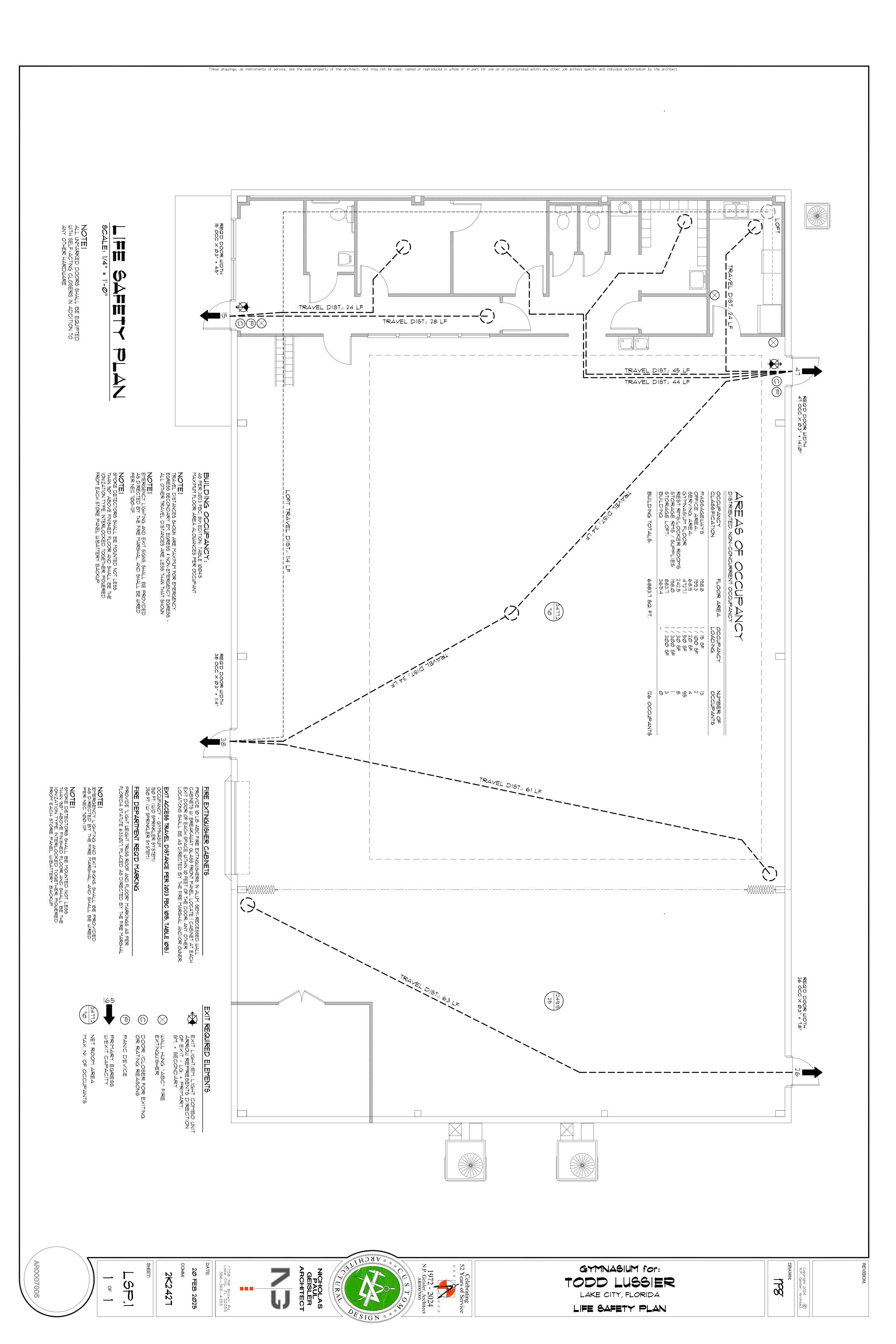
/8"

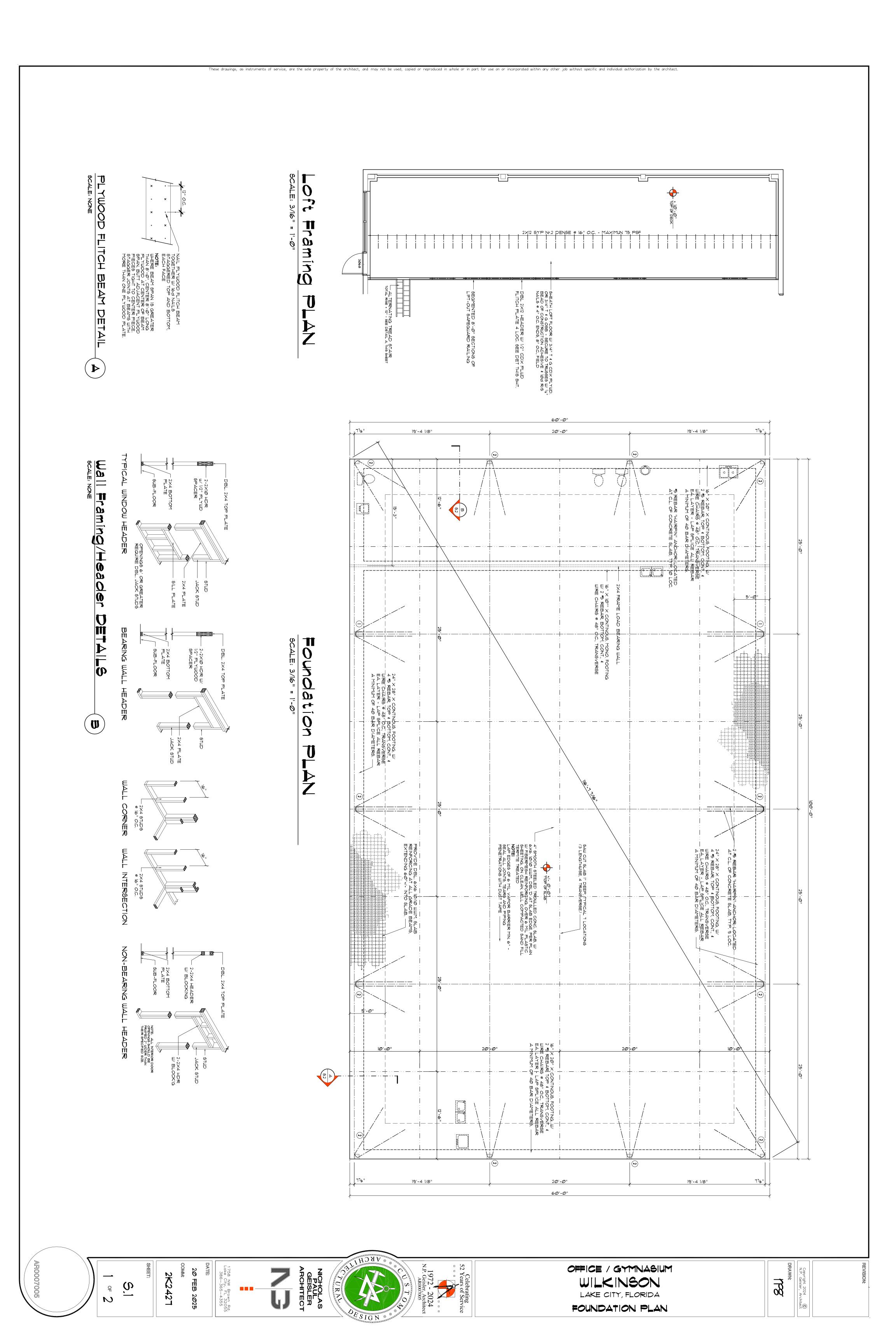




38

chitect





These drawings, as instruments of service, are the sole property of the architect, and may not be used, copied or reproduced in whole or in part for use on or incorporated within any other job without specific and individual authorization by the architect 1 回 U AS-BUILT" NOTE S QUALIFICATIONS

1) ALL APPLICATORS OF THE RETROPLATE SYSTEM MUST HAVE THE WORK EXPERIENCE AND BE CERTIFIED BY ADVANCED FLOOR PRODUCTS OF SPRINGVILLE, UTAH.

2) APPLICATOR MUST POSSESS A LETTER OF CERTIFICATION FROM ADVANCED FLOOR PRODUCTS 1203 W, SPRING CREEK PLACE, SPRINGVILLE, UT 84663.

A) THE APPLICATOR MUST HAVE SATISFACTORILY INSTALLED RETROPLATE IN A MINIMUM OF 5 PROJECTS OF AT LEAST 6,000 SQ FEET.

B) THE CERTIFIED PERSON IN THE COMPANY MUST BE PRESENT ON THE JOB DURING ALL PHASES OF THE INSTALLATION.

C) APPLICATOR WILL PROVIDE THE RECOMMENDED GRINDING MACHINES AND ADVANCED FLOOR PRODUCTS DIAMONDS

3) EQUIPMENT: CONCRETE FLOOR CONDITIONS:

1) SEALING, HARDENING AND POLISHING OF CONCRETE SURFACE.

A)CONCRETE MUST BE IN PLACE A MINIMUM OF 28 DAYS OR AS DIRECTED BY THE MANUFACTURER BEFORE APPLICATION CAN BEGIN.

B)CONCRETE FLOOR WILL BE FINISHED TO A MINIMUM FF AND FLOF 40 +/- 5.

C)ONLY A CERTIFIED APPLICATOR SHALL APPLY RETROPLATE 99.

APPLICABLE PROCEDURES MUST BE FOLLOWED AS RECOMMENDED BY THE PRODUCT MANUFACTURER AND AS REQUIRED TO MATCH APPROVED TEST SAMPLE.

D)POLISH TO THE REQUIRED LEVEL 3 HIGH GLOSS SHINE. WORKMANSHIP AND CLEANING:

1) THE PREMISES SHALL BE KEPT CLEAN AND FREE OF DEBRIS AT A TIMES.

2) REMOVE SPATTER FROM ADJOINING SURFACES.

3) REMOVE DEBRIS FROM JOBSITE, DISPOSE OF MATERIALS IN SEPARATE, CLOSED CONTAINERS IN ACCORDANCE WITH LOCAL REGULATIONS.

4) UPON COMPLETION OF THE INSTALLATION OF THE RETROPLATE SYSTEM, THE APPLICATOR WILL MEET WITH THE SUPERVISOR OF CONSTRUCTION AND / OR THE DOLLAR TREE CONSTRUCTION MANAGER, THEY WILL WALK THROUGH AND WILL SIGN OFF THAT THE WORK IS SATISFACTORY. NEED. (MULTIPLE PASSES WILL BE REQUIRED FOR EACH STEP) MAKE SURE THAT THE PREVIOUS "SCRATCH PATTERN" IS TAKEN OUT BEFORE PROCEEDING.

2) CLEAN THE FLOOR.

3) GRIND FLOOR WITH A 200/120 GRIT PAD.

4) CLEAN THE FLOOR WITH A 200/120 GRIT PAD.

4) CLEAN THE FLOOR WITH A 200/120 GRIT PAD.

6) CLEAN HOOR.

1) APPLY RETROPLATE 93 TO THE SURFACE AT 200 SQ FT PER GALLON, SCRUBBING PRODUCT IN INTO FLOOR AND ALLOWING PRODUCT TO SOAK UNTIL TURNING SLICK, IF IT BECOMES STICKY, DAMPEN THE STICKY AREAS WITH WATER AND SCRUB IN, LEAVING THE PRODUCT ON THE FLOOR FOR 60 MINUTES.

8) CLEAN UP EXCESSIVE RETROPLATE 93. LET THE FLOOR DRY, OVERNIGHT IF POSSIBLE.

9) CONTINUE THE POLISHING PROCESS USING 400 AND 800 GRIT PADS.

(800/1500/3000 GRIT TWISTER PAD, MULTIPLE PASSES, TO FINISH.)

10) AMERIPOLISH EDGE TINT (MIDNIGHT BLACK.) WILL BE APPLIED AROUND THE PERMITTER OF THE SALES FLOOR AND HALL EXTENDING OUT 4 NICHES.

11) EDGE TINT WILL BE APPLIED USING A PAASCHE SPRAYER AT 40PSI.

12) EDGE TINT WILL BE APPLIED WITH A CUT OFF LINE UNDER THE DOOR EDGE AT THE RECEIVING, OFFICE AND RESTROOM ENTRANCES.

13) CHASE, CLEAN AND FILL APPROXIMATELY 540 LINEAR FEET OF JOINTS WITH STANDARD GRAY POLYUREA JOINT FILL.

14) APPLY RETROGUARD SEALER TO THE ENTIRE SALES FLOOR AND HALL SURFACE PROJECTS WILL BE COMPLETED USING ONLY 'ADVANCED FLOOR PRODUCTS'
PRODUCT
PRODUCT REQUIREMENTS

1) RETROPLATE 93 (NO SUBSTITUTE DENSIFIER) 55 GALS PER STORE.

2) RETROGUARD 2-5 GALLON PAILS

3) AMERIPOLISH EDGE TINT (PART A\$B) (MIDNIGHT BLACK)

4) STANDARD POLY UREA GRAY JOINT FILL (APPLICATORS CHOICE)

5) DIAMONDS PURCHASED IN SETS TO EQUIP THE PARTICULAR MACHINE. GRITS NEEDED:

A) 40, 50 OR 80 METAL DIAMONDS

B) 100/120, 200/220, 400. 800 RESIN DIAMONDS

C) 800, 1500 AND 3000 GRIT TWISTER PAD 15 TO BE USED TO BURNISH. FLOORS WILL BE FINISHED TO A MINIMUM LEVEL 3 HIGH GLOSS SHINE

1) HIGH GLOSS: REFLECTIVE SHINE IN WHICH, AT A DISTANCE OF 30',

REFLECTIVITY IS CLEARLY DEFINED.

2) SAMPLE PHOTOS ATTACHED OF REQUIRED RESULTS SCOPE OF WORK:
THE FOLLOWING RETROPLATE PROCESS WILL BE USED AS A GUIDE FOR RETROPLATE PROCESS AND IS THE MANUFACTURERS APPLICATION
RECOMMENDATION. KEEP IN MIND THAT THE APPLICATOR WILL FINISH THE FLOOR TO A NICE LEVEL 3 HIGH GLOSS SHINE. APPLICATORS WILL ALTER THE STEPS AS NECESSARY TO ACHIEVE THE REQUIRED LEVEL 3 HIGH GLOSS SHINE. (SEE DEFINITION OF SHINE) DEFINITION OF EXPECTED SHINE
HIGH GLOSS: REFLECTIVE SHINE IN WHICH, AT A DISTANCE OF 30', THE
REFLECTIVITY IS CLEARLY DEFINED.

1) THE ENTIRE FLOOR AREA SURFACE IS THE ONLY AREA TO RECEIVE POLISHI
2) THE RECEIVING AREA, OFFICES AND RESTROOMS WILL BE FINISHED BY THE
LANDLORDS GC WITH SILICONE ACRYLIC CONCRETE SEALER
3) POLYUREA JOINT FILL (STANDARD GRAY) WILL BE REQUIRED.
4) CONTROL JOINTS INSTALLED INDICATED OF THE FOUNDATION PLAN AND IN
ACCORDANCE WITH THR "SLAB ON GRADE" NOTES ON SHEET 5.1 ADVANCED THE ENTIRE FLOOR SURFACE A) MUNICIPAL NECESSION NACHINES NEED FOR THE PROJECTS (2-32" PLANETARY) B) AS NECESSARY (B) AS NECESSARY WORK WILL BE COMP! SURFACE AT A RATE OF 1200-1500 FT PER GAL

P ENERA <u>STRUCTURAL</u>

000

PRODUC

BE FINISH

#

 \vec{o} \triangleright

95075 HDIH

I. THE DRAWINGS ARE INTENDED TO SHOW THE GENERAL DESIGN AND EXTENT OF THE WORK AND ARE PARTIALLY THEY ARE NOT INTENDED TO BE SCALED FOR ROUGH-IN TO SERVE AS SHOP DRAWINGS OR PORTIONS THEREOF.

3. PRIOR TO START OF CONSTRUCTION, THE CONTRACTOR AND ALL THE SUBCONTRACTORS SHALL VERIFY ALL GRADES, LINES, LEVELS, DIMENSIONS AND COORDINATE EXISTING CONDITIONS AT THE JOB SITE WITH THE PLANS AND SPECIFICATIONS. THEY SHALL REPORT ANY INCONSISTENCIES OR ERRORS IN THE ABOVE TO THE ARCHITECT/ENGINEER BEFORE COMMENCING WORK. THE CONTRACTOR AND HIS SUBCONTRACTORS SHALL LAY OUT THEIR WORK FROM ESTABLISHED REFERENCE POINTS AND BE RESPONSIBLE FOR ALL LINES, ELEVATIONS AND MEASUREMENTS IN CONNECTION WITH THEIR WORK. 2. ALL DETAILS AND SECTIONS SHOWN ON THE DRAWINGS ARE INTENDED TO BE TYPICAL AND SHALL BE CONSTRUED TO APPLY TO ANY SIMILAR SITUATION ELSEWHERE ON THE PROJECT, EXCEPT WHERE A DIFFERENT DET. OR SECTION IS SHOWN. DETAIL

4. IF ANY ERRORS OR OMISSIONS APPEAR IN THE DRAWINGS, GENERAL NOTES OR OTHER DOCUMENTS, THE CONTRACTOR SHALL NOTIFY THE ARCHITECT IN WRITING OF SUCH OMISSION OR ERROR PRIOR TO PROCEEDING WITH ANY WORK WHICH APPEARS IN QUESTION. IN THE EVENT OF THE CONTRACTOR'S FAILING TO GIVE SUCH AN ADVANCED NOTICE, HE SHALL BE HELD RESPONSIBLE FOR THE RESULTS OF ANY SUCH ERRORS OR OMISSIONS AND THE COST OF RECTIFYING THE SAME.

ETED PER THESE

SPECIFICATIONS.

5. THE CONTRACTOR SHALL USE THE STRUCTURAL DRAWINGS AND SPECIFICATIONS TOGETHER WITH THE ARCHITECTURAL, MECHANICAL, ELECTRICAL AND OTHER TRADE DRAWINGS AND SHOP DRAWINGS, TO LOCATE DEPRESSED SLABS, SLOPES, DRAINS, OUTLETS, RECESSES, OPENINGS, BOLT SETTING, SLEEVES, DIMENSIONS, ETC. NOTIFY ARCHITECT/ENGINEER, IN WRITING, OF ANY POTENTIAL CONFLICTS BEFORE PROCEEDING WITH THE WORK.

I. ALL SHOP DRAWINGS SHALL BE SUBMITTED FOR ARCHITECT'S REVIEW ONLY AFTER THEY HAVE BEEN THOROUGHLY REVIEWED BY THE CONTRACTOR FOR CONSTRUCTION METHODS, DIMENSIONS AND OTHER TRADE REQUIREMENTS, AND STAMPED WITH THE CONTRACTOR'S APPROVAL STAMP. THE ARCHITECT ASSUMES NO RESPONSIBILITY FOR DIMENSIONS, QUANTITIES, ENGINEERING DESIGN BY DELEGATED ENGINEERS, ERRORS OR OMISSIONS AS A RESULT OF REVIEWING ANY SHOP DRAWINGS. ANY ERRORS OR OMISSIONS MUST BE MADE GOOD BY THE CONTRACTOR, IRRESPECTIVE OF RECEIPT, CHECKING OR REVIEW OF DRAWINGS BY THE ENGINEER AND EVEN THOUGH WORK IS DONE IN ACCORDANCE WITH SUCH DRAWINGS.

BEFORE STRUCTURAL INSPECTIONS CAN BE MADE ON A PORTION
THE STRUCTURE, ALL RELATED SHOP DRAWINGS, DELEGATED ENGINEERING,
ODUCT APPROVAL, MANUFACTURER'S DATA AND OTHER RELATED
'ORMATION, MUST BE REVIEWED AND ACCEPTED BY THE ARCHITECTRECORD AND APPROVED BY THE BUILDING DEPARTMENT.

SHOP DRAWINGS SHALL CONTAIN ALL INFORMATION SHOWN ON THE RUCTURAL PLANS (RELATED TO THE DELEGATED DESIGN) INCLUDING ALL SIGN LOADS, IN ADDITION TO THE INFORMATION REQUIRED BY THE LEGATED ENGINEER'S DESIGN.

4. ARCHITECT WILL REVIEW ALL SUBMITTED SHOP DRAWINGS, PREPARED SIGNED AND SEALED BY THE CONTRACTOR'S DELEGATED ENGINEER, ONLY FOR GENERAL COMPLIANCE WITH THE DESIGN INTENT, REQUIRED LOADING AND COORDINATION WITH THE STRUCTURAL DESIGN.

AND

5. CONTRACTOR SHALL SUBMIT TO THE ARCHITECT TWO SETS OF BLUE PRINTS OF THE STRUCTURAL SHOP DRAWINGS FOR ARCHITECT REVIEW, BEFORE STARTING FABRICATION. THE ARCHITECT WILL RETURN ONE MARKED UP AND STAMPED COPY TO THE CONTRACTOR. THE MARKED-UP COPY SHALL BE USED TO MAKE THE PRINTS REQUIRED FOR SHOP DRAWING DISTRIBUTION.

I. THE CONSTRUCTION MEANS, METHODS, TECHNIQUES, SEQUENCE OR PROCEDURES, SAFETY PRECAUTIONS, SHORES, RESHORES, LATERAL BRACING AND PROGRAMS IN CONNECTION WITH THE PROJECT, ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. OUR SERVICES DO NOT GUARANTEE NOR ASSURE LIABILITY FOR THE JOB SAFETY, TEMPORARY SHORING AND BRACING AND THE PERFORMANCE OF THE CONTRACTOR. CONSTRUCTION MEANS AND METHODS

3. PROVIDE ALL SHORING, BRACING AND SHEETING AS REQUIRED FOR SAFETY, STRUCTURAL STABILITY AND FOR THE PROPER EXECUTION OF WORK. REMOVE WHEN WORK IS COMPLETED. 2. THE CONTRACTOR IS RESPONSIBLE AND SHALL COMPLY WITH THE SAFETY REQUIREMENTS OF THE 2004 FLORIDA BUILDING CODE AND APPLICABLE LOCAL, STATE AND FEDERAL LAWS. IDE AND MAINTAIN GUARD LIGHTS AT ALL BARRICADES, OBSTRUCTIONS IN THE STREETS, ROADS OR SIDEWALKS AND ALL OR PITS ADJACENT TO PUBLIC WALKS OR ROADS.

6. AT THE END OF THE DAYS WORK, COVER ALL WORK LIKELY TO BE DAMAGED. ANY WORK DAMAGED BY FAILURE TO PROVIDE PROTECTION SHALL BE REMOVED AND REPLACED WITH NEW WORK AT THE CONTRACTOR'S EXPENSE. 5. AT ALL TIMES, PROVIDE PROTECTION AGAINST WEATHER (RAIN, WIND, STORMS OR THE SUN), SO AS TO MAINTAIN ALL WORK, MATERIALS, APPARATUS AND FIXTURES FREE FROM INJURY OR DAMAGE.

. THE CONTRACTOR SHALL PAY FOR ALL DAMAGES TO ADJACENT TRUCTURES, SIDEWALKS AND TO STREETS OR OTHER PUBLIC PROPERTY UBLIC UTILITIES.

STRUCTURAL DESIGN CRITERIA:

THE DESIGN COMPLIES WITH THE REQUIREMENTS OF TI-DING CODE - SECTION 1609 AND OTHER REFERENCED OF CIFICATIONS. ALL CODES AND SPECIFICATIONS SHALL PERMIT. THE 2023 FLORIDA CODES AND L BE LATEST EDITION

ROOF DESIGN LOADS: JPERIMPOSED DEAD LOADS: JPERIMPOSED LIVE LOADS: 20 PSF 20 PSF

BASED ON ANSI/ASCE 7-22.

BASIC

MIND

VELOCITY

WIND LOAD CRITERIA:

FLOOR DESIGN LOADS:
JPERIMPOSED DEAD LOADS:
JPERIMPOSED LIVE LOADS:
ESIDENTIAL MIND NET 40 PSF 60 PSF

TOP OF FOOTING

21/2"

10"

10"

2. NATURAL GRADE (OR FILL) BELOW FOOTINGS SHALL COMPACTED TO 98 % MODIFIED PROCTOR (ASTM D-1557).

4. BOTTOM OF ALL FOOTINGS TO BE A MINIMUM 1'-6" BELOW THE TOP OF CONCRETE SLAB ON GRADE (UNLESS OTHERWISE NOTED) OR MINIMUM 1'-0" BELOW FINISHED GRADE, WHICHEVER IS LOWER. IN THE EVENT THAT THE SLAB STEPS ON EACH SIDE OF THE FOOTING, THE FOOTING SHALL BE 1'-6" BELOW TOP OF THE LOWER SLAB.

REINFORCING IN THE CONTINUOUS WALL FOOTINGS (MONOLITHIC ND NON-MONOLITHIC) SHALL BE SPLICED 40 BAR DIAMETERS MINIMUM AND HALL EXTEND CONTINUOUSLY THRU ALL FOOTING PADS.

ALL FOOTINGS SHALL BE 12" MINIMUM THICKNESS.

2. ALL SLABS ON GRADE TO BE CONSTRUCTED IN ACCORDANCE WITH LATEST A.C.I - "GUIDE FOR CONCRETE FLOOR AND SLAB CONSTRUCTION" (A.C.I. - 302.IR)

5. FILL MATERIAL SHALL BE PLACED IN LIFTS NOT EXCEEDING 12" AND COMPACTED TO 98 % MODIFIED PROCTOR (ASTM D-1557) WITHIN DISTANCE OF 3 FEET BEYOND ALL FOOTING EDGES. TAKE AT LEAST DENSITY TEST FOR EACH 1,600 SQ.FT. OF AREA AND 12" BELOW SURF, RESULTS OF THE TEST TO OWNER, ARCHITECT AND ENGINEER. ACE. SEND

CONCRETE AND REINFORCING:

2. ALL CONCRETE WORK IN ACCORDANCE WITH "SPECIFICATIONS FOR STRUCTURAL CONCRETE FOR BUILDING" (A.C.I. 301 - LATEST EDITION). PRODUCTION OF CONCRETE, DELIVERY, PLACING AND CURING TO BE IN ACCORDANCE WITH "HOT WEATHER CONCRETING" (A.C.I. 305R - LATEST EDITION). . CONCRETE DESIGN AND REINFORCEMENT IN ACCORDANCE WITH BUILDING CODE REQUIREMENTS FOR REINFORCED CONCRETE" (A.C.I. LATEST EDITION) AND WITH "DETAILS AND DETAILING OF CONCRETE REINFORCEMENT" - (A.C.I. 315 - LATEST EDITION).

4. ALL REINFORCING TO BE NEW BILLET STEEL CONFORMING TO THE LATEST A.S.T.M. A-615 GRADE 60, FABRICATED IN ACCORDANCE WITH C.R.S.I. MANUAL OF STANDARD PRACTICE AND PLACED IN ACCORDANCE WITH A.C.I. 315 AND C.R.S.I. MANUAL OF STANDARD PRACTICE. ALL CONCRETE TO BE REGULAR WEIGHT WITH A DESIGN STRENGTH 3,000 P.S.I. AT 28 DAYS. MAXIMUM SLUMP 5".

SLABS ON GRADE: CONCRETE COVER UNLESS OTHERWISE DETAILED ON DRAWINGS (BOTTOM).... (TOP & SIDES). CENTERED W/SLAB <u>ب</u> سٍ

7. ADDED REINFORCEMENT: PROVIDE ADDITIONAL CORNER BARS BENT 36 INCHES MINIMUM EACH WAY AT "L" AND "T" CORNERS IN OUTER OF ALL BEAMS TO MATCH ALL HORIZONTAL BAR (TOP, BOTTOM AND INTERMEDIATE REBARS). 6. BEAM REINFORCEMENT: LAPPED 36 BAR DIAMETER OR MINIMUM 18 INCHES. BOTTOM BARS SPLICED ONLY AT SUPPORTS, TOP BARS SPLICED ONLY AT MID-SPAN. ALL TOP BARS HOOKED AT NONCONTINUOUS EDGES (U.O.N.). ALL HOOKS TO BE STANDARD 90 DEGREE HOOKS AS REQUIRED (U.O.N.).

SEE PLAN FOR MINIMUM SIZE CONCRETE TIE BEAM REQUIREMENTS

FACES

FOOTING ®

EDGE

 \square

3. TOP OF WALL FOOTINGS TO BE AT THE SAME ELEVATION AS TOP OF COLUMN PAD FOOTINGS. STEP WALL FOOTING FROM HIGHER COLUMN FOOTING TO THE LOWER ONE (AS DETAILED ON THE PLANS). I. FOUNDATIONS ARE DESIGNED TO BEAR ON WELL COMPACTED GRADE OR CLEAN FILL OF AN ALLOWABLE BEARING CAPACITY OF 1,000 PSF MINMUM. FOR REQUIRED SOIL BEARING CAPASITIES GREATER THAN 1,000 PSF, A CERTIFIED TESTING LABORATORY SHALL BE ENGAGED BY THE OWNER TO VERIFY THAT THE REQUIRED BEARING CAPACITY WAS OBTAINED. SAID SOIL CAPACITY SHALL BE CERTIFIED AND TESTED BY A FLORIDA REGISTERED FOUNDATION ENGINEER, PRIOR TO CASTING OF CONCRETE IN THE FOOTINGS.

 \bigcirc

മ

3/4<u>=</u>

NOTH!
ALL ANCHOR:
STEEL ROD, TH

THREADED 3", OR GRAFREE FROM RUST AND

VOS ONV MODALO MODALO

3/4"•

, Uj

φ= <u>//</u>2=

(n)

മ

NOTE!

. Z Q

NO NMOHS

70

 \sum_{Z}

MALL

9

6. ALL LONGITUDINAL REBARS IN THE CONTINUOUS WALL FOOTINGS, SHALL BE CONTINUED AT BENTS AND CORNERS BY BENDING THE REBARS 48 BAR DIAMETERS AROUND THE CORNERS OR ADDING MATCHING CORNER BARS, EXTENDING 48 BAR-DIAMETERS INTO FOOTING EACH SIDE OF CORNER OR BENT.

SCALE: |" = |'-0"

0

CONCRETE SLABS ON GRADE:

I. ALL INTERIOR AND EXTERIOR SLABS AND WALKWAYS AS SHOWN ON THE STRUCTURAL OR ARCHITECTURAL PLANS, SHALL BE FOUR INCHES THICK MINIMUM REINFORCED WITH 6 X 6 - WI.4 X WI.4 WELDED WIRE FABR (UNLESS OTHERWISE NOTED).

NOTH!

REFER TO THE METAL BUILDING SHOP

DRAWINGS PREPARED BY FERIOUS STEEL

BUILDINGS FOR EXACT LOCATION OF ALL

EMBEDDED ANCHOR BOLTS.

JOINTS SHALL BE PROVIDED IN ALL INTERIOR SLABS ON GRADE AT OC. INDICATED ON THE PLANS DIVIDING THE SLAB INTO SQUARE PANELS NOT TO XCEED 20 X 20 FT. IN SIZE. CAST SLAB IN LONG ALTERNATE STRIPS. PROVIDE CONTRACTION JOINT BETWEEN EACH STRIP. SEE PLAN FOR SAW-CUT, ONTRACTION AND ISOLATION JOINT DETAILS.

NOTED TO THE TOTAL OF THE TOTAL

CTION PER THE "MODIFIED TO 98% DRY CTION PER THE "MODIFIED TO 98% DRY

4. PROVIDE SAW-CUT JOINTS AT ALL SIDEWALKS AT A MAXIMUM SPACING OF FIVE FEET ON CENTERS AND ISOLATION JOINTS AT 20 FEET (U.O.N.).

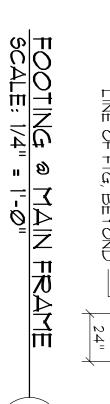
NOTH!
THE DESIGN WIND SPEED FOR THIS
PROJECT IS 130 MPH PER 2023 FBC 1606
AND LOCAL JURISDICTION REQUIREMENTS

T Z M QFTG, BEYOND STEEL

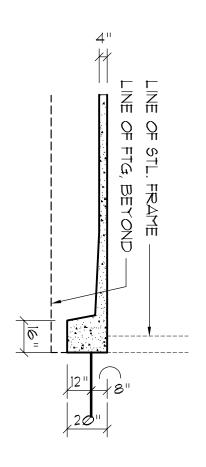
,20"

281

. √8'



 \triangleright



ANOT 0 0 <u>8</u> / FOUNDATION SIZING:

THE ANCHOR BOLT DIAMETERS AND DEVELOPED LENGTHS INDICATED IN THIS DRAWING WERE DETERMININED USING SHEAR FRICTION THEORY AS DESCRIBED IN AISC DESIGN GUIDE No.7, SECTION 9.2, ASSUMING AN ANCHOR BOLT MATERIAL OF ASTM A307 OR A36. THE COMBINED FORCES ACTING AT THE BASE OF THE STEEL FRAME RESULTING IN A VERTICAL REACTION ACTING UPON THE FOUNDATION WERE DEVELOPED AS FOLLOWS:

₫

T # 70 TOTAL TENSILE FORCE PER BOLT DUE TO SHEAR FRICTION = \vee / $(n \times u)$ TENSILE FORCE PER BOLT DUE TO SHEAR FRICTION = \vee / $(n \times u)$ नुह

P = TOTAL UPLIFT TO BE RESISTED BY ANCHOR BOLT GROUP V = TOTAL SHEAR FORCE TO BE RESISTED BY ANCHOR BOLT n = NUMBER OF ANCHOR BOLTS u = COEFFICIENT OF FRICTION (TAKEN AS Ø.7 FOR UNGROUTED PLATES OR Ø.9 FOR GROUTED BASE PLATES) ANCHOR BOLT STONE OF THE PROPERTY OF THE P

AR0007005

N W i N

 $\overset{\mathbb{J}}{\geq}$

2大2421

20 FEB 2025

DATE

1758 NW Brown Rd. Lake City, FL 32055 386-365-4355











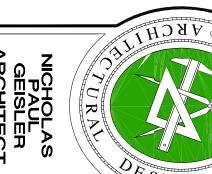
































OFFICE / GYMNASIUM

WILKINSON



 \mathcal{U}

38

 (ω)

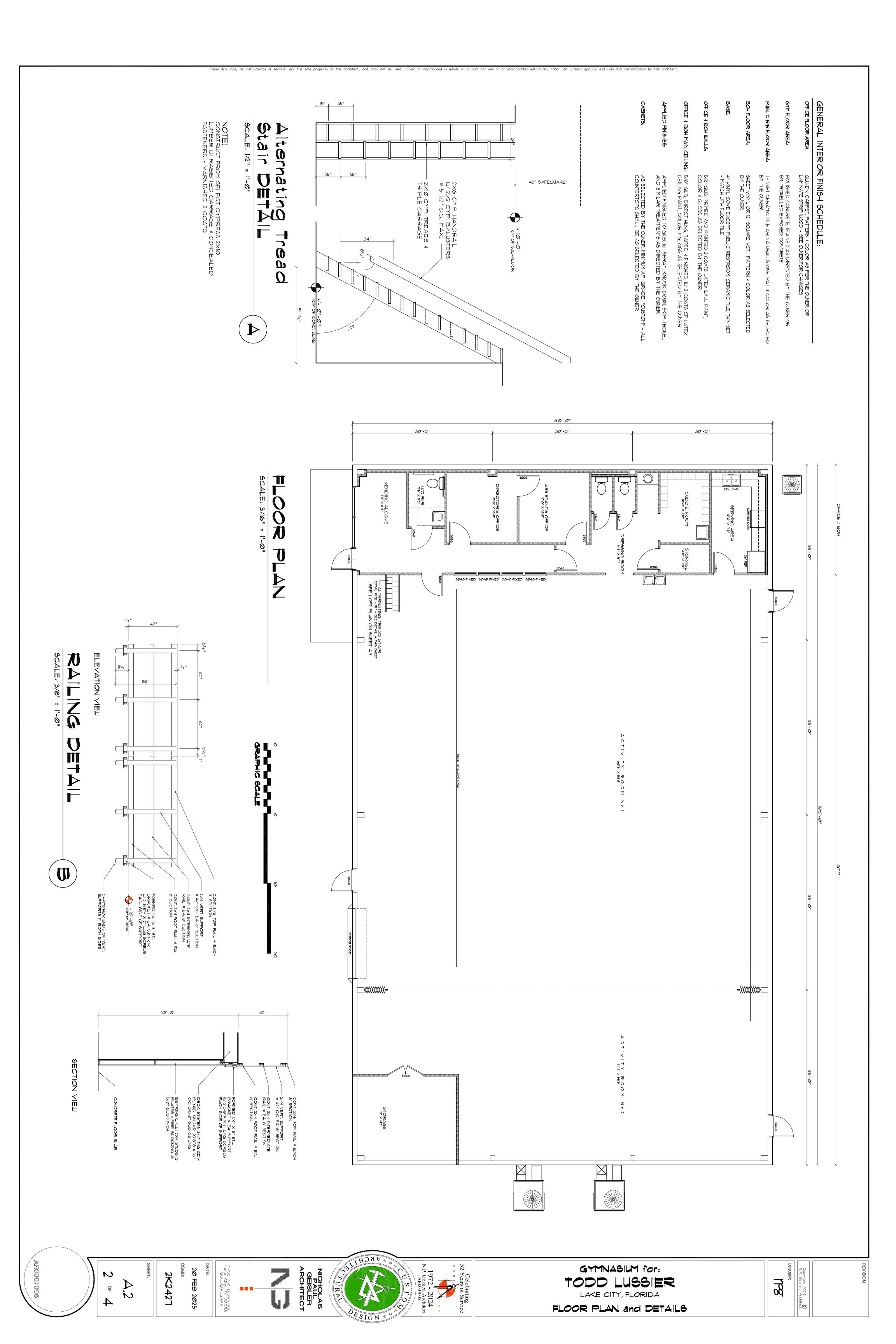
chitect

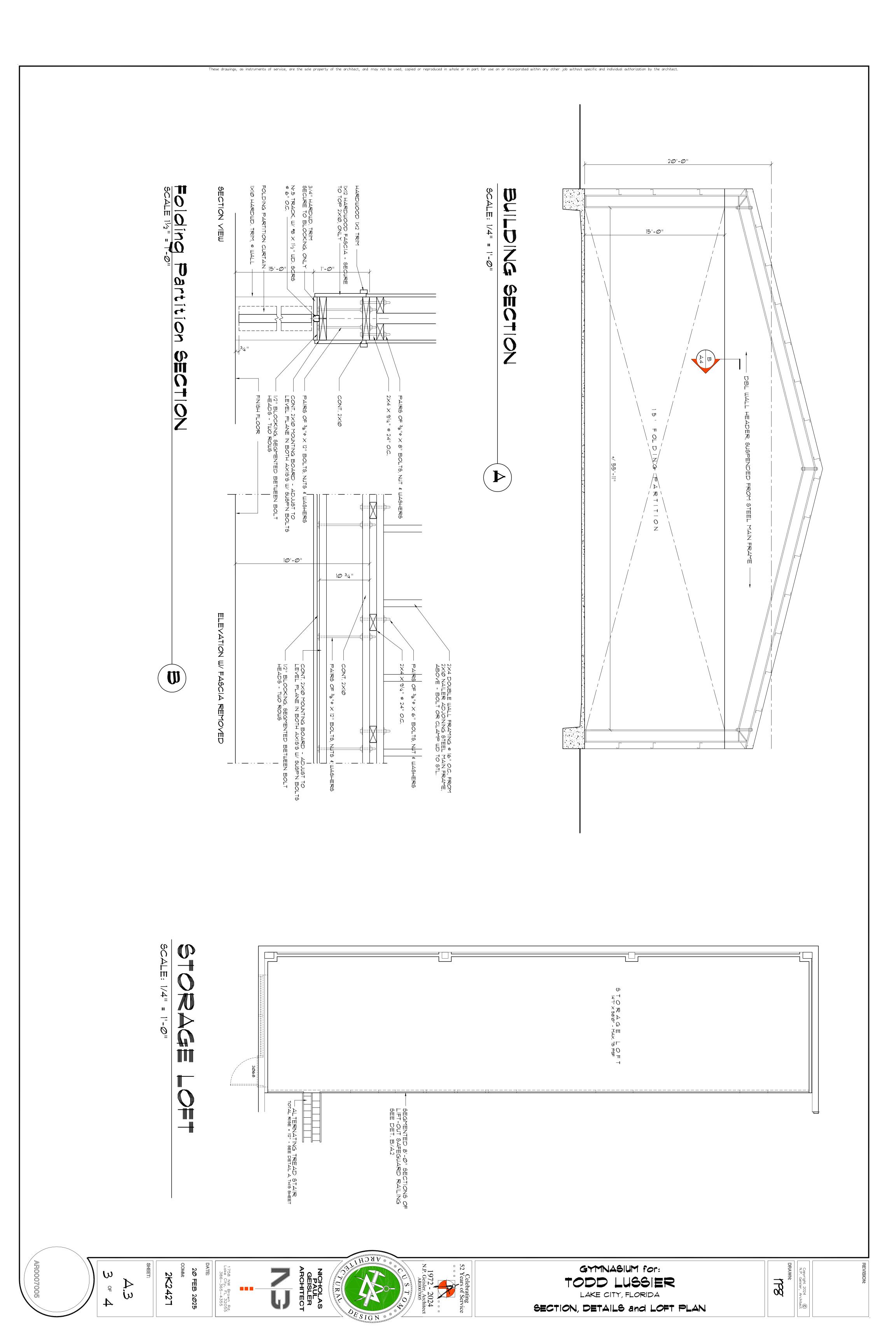
##81 #| #\#\A110\

@CALE: 3/16" = 1'-0" 18'-0" GYMNASIUM for: TODD LUSSIER

LAKE CITY, FLORIDA

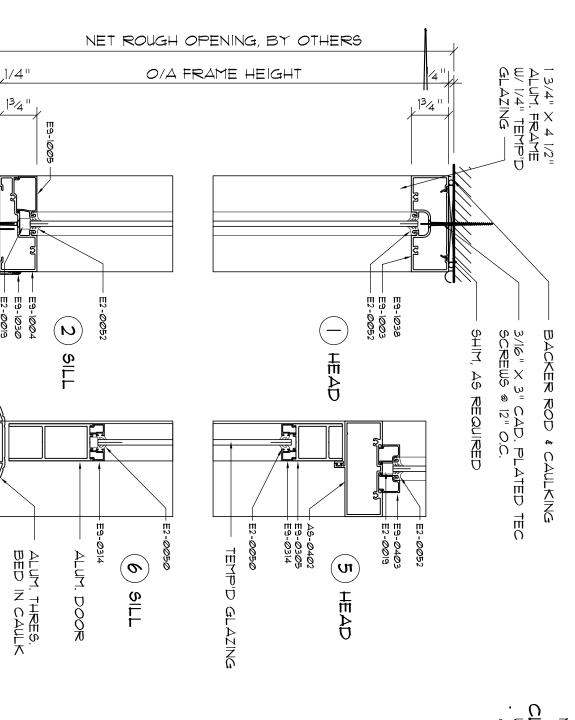
ELEVATIONS





BMAL (8) $3/16" \times 3"$ CAD. PLATED SCREWS & 12" O.C. ROD # CAUL 133/4= 4 **4 4 4 9 4** ε<u>Γ</u> (4 1/2 × 4 = GLAZING で - 4 ⁻ ス . ク 36" DOOR

SCALE: 0.00 July 1 <u>=</u> ĽΩ П 7 Й



STOREFRONT DOORS & MANUFACTURER: YKK AP AMERICA, INC. 1606 CURRENCY DRIVE ORLANDO, FL 3280T

FINIOH:
IN ACCORDANCE WITH AA-MI2C22A42,
COLOR: DARK BRONZE

GLAZING:

510REFRONT DOORS - MEDIUM STYLE 35D:

EXTERIOR: 9/16" TINTED TEMPERED GLASS
INTERIOR: 1/4" CLEAR TEMPERED GLASS

STOREFRONT | 3/4" × 4 |/2" "C-5LOT"; TYFEXTERIOR; |" TINTED TEMPERED GLASS INTERIOR; |/4" CLEAR TEMPERED GLASS

STOREFRONT | $3/4" \times 6"$ "C-SLOT": TYPE EXTERIOR: |" TINTED TEMPERED GLASS

DOOR HANDWARE:
CLOSER - CONCEALED, SELECTIVE HOLD OFFSET PIVOTS - BALL BEARING TYPE

LOCKS - "ADAMS-RITE" Nr.: 4010, DEAD LATCH, LEVER 4560 ON EXTERIOR IN COMBINATIN W/ PANIC DEVICES, EA. LEAF.

PULL HANDLES: STANDARD ALUMINUM UNI PUSH BARS: STANDARD ALUMINUM UNITS

PANIC HARDWARE: CONCEALED ROD TY WIDTH ACTUATOR BAR

INSTALLATION REQUIREMENT CONTRACTOR SHALL PREPARE OPENINGS WINDOW/DOOR UNITS AS SCHEDULED. NET OPENING WIDTH SHALL BE FRAME WID **76:** 36 10 RECEIVE

CLEANING:

USE ONLY A SOLUTION OF A MILD LIQUID

ALL SURFACES, INCLUDING GLAZING AND NET OPENING HEIGHT SHALL BE FRAME SOAP IN WATER FOR SASH MATERIALS. GHT + 1/2"

BUDDOWS

, MATERIALS; ALL GLASS AND GLAZING SHALL BE IN ACCORDANCE WITH THE STANDARDS AND ACCOMMENDATIONS OF THE CURRENT EDITION OF THE LAZING MANUAL OF THE FLAT GLASS JOBBERS ASSOCIATION.

TERIOR GLASS SHALL BE 1/2" CLEAR, FULLY TEMPERED BUTT GLAZED JOINTS, JOINT NOT TO EXCEED 3/8"
NOR LESS THAN 1/4". SEAL JOINTS WITH
IMERCIAL GRADE NEUTRAL CURE, CLEAR SILICONE.
D CURE SILICONE WILL NOT BE ACCEPTED.
LICATION SHALL BE TAPE AND TOOL.

FINISH OF ALL SILL FLASHING SHALL BE .040" LUMINUM TO MATCH STOREFRONT MATERIAL.

DOOR FRAMES FOR ENTRANCE DOORS SHALL BE LUMINUM STOREFRONT FRAME WITH CUT OUTS AND ACKING PLATES FOR (3) BUTT HINGES FOR EACH DOOR EAF. LOCATION OF HINGES TO BE COORDINATED BY ENERAL CONTRACTOR WITH STOREFRONT IBCONTRACTOR.

AT CORNERS WITH CONCELAED REINFORCEMENT
AT CORNERS WITH CONCELAED REINFORCEMENT
BRACKETS SECURED WITH BOLTS AND SCREWS, AND
SHALL BE "MIG" WELDED. DOORS SHALL HAVE SNAP-IN
STOPS WITH BULB GLAZING VINYL ON BOTH SIDES OF
SLASS. NO EXPOSED SCREWS SHALL BE PERMITTED.
EACH DOOR LEAF SHALL BE EQUIPPED WITH AND
ADJUSTING MECHANISM LOCATED IN THE TOP RAIL NEAR
THE LOCK STILE, WHICH PROVIDES FOR MINOR
CLEARANCE ADJUSTMENTS AFTER INSTALLATION.
WEATHERING SHALL BE INSTALLED IN THE HINGE STILE
OF PAIR OF DOORS. DOOR FRAME AND SIDELIGHT
FRAMING SHALL BE ACCURATELY JOINED AT CORNERS
WITH CONCEALED SCREWS.

. ALL HARDWARE FOR ENTRANCE DOORS, WITH THE XCEPTION OF THE CYLINDERS, SHALL BE FURNISHED ND INSTALLED BY ALUMINUM STOREFRONT ONTRACTOR AS FOLLOWS:

14. ALL ITEMS SHALL BE SET IN THEIR CORRECT LOCATIONS AS SHOWN ON THE DRAWINGS AND SHALL BE LEVEL, SQUAREM PLUMB, AND AT PROPER ELEVATION AND IN ALIGNMENT WITH OTHER WORK. THIS CONTRACTOR SHALL DO ALL CAULKING AND SEALING ASSOCIATED WITH THIS WORK.

STOREFRONT GLASS REFER TO PLANS, AND DETAILS AND FOR SIZE, AND TYPE. <u>U</u>

. EACH PIECE OF GLASS SHALL BE LABELED, NOTING HE NAME OF THE MANUFACTURER, GRADE, UALITY AND TYPE. LABELS SHALL BE INTACT EFORE AND AFTER INSTALLATION.

MIRRORS SHALL BE "A" QUALITY 1/4" THICK POLISHED ATE WITH FULL STAINLESS OR ALUMINUM FRAME AND NCEALED FASTENERS.

STOREFRONT SHALL BE EQUAL TO YKK AP AMERICA, INC. 506 CURRENCY DR., ORLANDO, FL 32807, OTHER APPROVED GIRS ARE KAWNEER CO. AND VISTAWALL ARCHITECTURAL

6. ALL ALUMINUM STOREFRONT FRAMING AND DETAILS INDICATED ON THE DRAWINGS AND/OR DETAILS, SHALL BE EQUAL TO VISTAWALL SERIES 2000. THE FRAMING SHALL BE ACCURATELY ASSEMBLED WITH UNEXPOSED FASTENERS UTILIZING EXTRUDED SPLINES, CLIPS AND/OR SNAP-IN FEATURES. ALL GLAZINGSHALL BE HELD IN PLACE BY E.P.D.M. GLAZING GASKETS. NO APPLIED STOPS SHALL BE PERMITTED. ALL EXPOSED SURFACES SHALL BE FREE OF UNSIGHTLY SCRATCHES AND BLEMISHES. THE FINISH SHALL BE ANODIZED ALUMINUM. COLOR: DK. BRONZE IN ACCORDANCEW/ AA-MI2C22A42/A44

9. ALL DOOR AND FRAMING SECTIONS SHALL BE EXTRUDED ALUMINUM ALLOY AND TEMPERED TO MEET OR EXCEED FINISHING AND STRUCTURAL CRITERIA. DOOR STILES AND RAILS, EXCLUDING GLASS STOPS, SHALL BE TUBULAR AND HAVE Ø.125" WALL THICKNESS. ALL WEATHERING SHALL BE HARDBACKED SILICONE TREATED POLYPROPYLENE. ANY EXPOSED FASTENERS SHALL BE ALUMINUM, STAINLESS STEEL OR OTHER NON-CORROSIVE MATERIAL. DOOR VERTICAL STYLES SHALL BE NOMINAL 4-1/4", BE A MINIMUM OF 8-1/2". ALL DIMENSIONS NOTED ABOVE ARE WITH GLASS STOPS ON.

<u>िय</u>

. ALL EXPOSED SURFACES SHALL BE FREE OF UNSIGHTLY TRATCHES AND BLEMISHES. THE FINISH SHALL BE NODIZED, AS PER YKK AP AMERICA, INC. PRODUCTS ANDARD - DARK BRONZE.

DESIGN CRITERIA FOR WIND LOADS SHALL BE IN CORDANCE WITH ASCE-1-16 DESIGN WITH WIND LOCITY OF 130 M.P.H., BUILDING IMPORTANCE FACTOR: 1.10

SCALE:

 $\omega_{=}$

A. 1-1/2 PAIR OF 4-1/2" BUTTS

B. ADAMS-RITE 8400 SERIES MORTISE EXIT DEVICE
C. LCN SUPER SMOOTHEE MOUNTED PARALLEL ARM
WITH DROP PLATE
D. BUG SWEEP WITH SLIDE ON COVER
E. MANUFACTURER'S STANDARD WEATHERSTRIPPING
F. PH - 11 PULL HANDLE ON EXTERIOR
G. ALL HARDWARE SHALL BE FINISHED AS SELECTED
BY THE OWNER.

SCALE: YARIOUS

= 0 E

THE FOLLOWING SHALL BE CONSIDERED SPECIFIC FOR THE PURPOSES OF GLAZING:

GLAZING IN SWINGING DOORS AND FIXED AND SLIDING PANELS OF SLIDING (PATIO) DOOR ASSEMBLIES.

GLAZING IN DOORS AND WALLS OF ENCLOSURES FOR HOT TUBS, WHIRLPOOLS, SAUNAS, STEAM ROOMS, BATHTUBS, SHOWERS AND OTHER SUCH FACILITIES WHERE SUCH GLAZING IS LOCATED 36 INCHES (314 MM) OR LESS, MEASURED HORIZONTALLY, FROM A STANDING OR WALKING SURFACE WITHIN THE ENCLOSURE AND WHERE THE BOTTOM EDGE OF THE EXPOSED GLAZING IS LESS THAN 60 INCHES (1524 MM), MEASURED VERTICALLY, ABOVE SUCH STANDING OR WALKING SURFACES.

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL ADJACENT TO A DOOR WHERE THE NEAREST VERTICAL EDGE IS WITHIN A 24-INCH (610 MM) RADIUS OF THE DOOR IN A CLOSED POSITION AND WHOSE BOTTOM EDGE IS LESS THAN 60 INCHES (1524 MM) ABOVE THE FLOOR OR WALKING SURFACE.

ONE OR MORE WALKING SURFACES WITHIN 36 INCHES HORIZONTALLY OF THE PLANE OF THE GLAZING.

TOP EDGE GREATER THAN 36 INCHES (914 MM) ABOVE THE FLOOR.

BOTTOM EDGE LESS THAN 18 INCHES (457 MM) ABOVE

THE FLOOR.

TEMPERED GL

ASS NOTES:

HAZARDOUS LOCATIONS

SCALE: 2"

ш

Typical

Yertica |

000

REFER TO HEAD DETAIL

GLAZING IN AN INDIVIDUAL FIXED OR OPERABLE PANEL, OTHER THAN THOSE LOCATIONS DESCRIBED IN ITEMS 2 AND 3 ABOVE, THAT MEETS ALL OF THE FOLLOWING CONDITIONS:

EXPOSED AREA OF AN INDIVIDUAL PANE GREATER T M^2).

AN 9 50 FT (0.84

EXCEPTION: GLAZING IN WALLS PERPENDICULAR TO THE PDOOR IN A CLOSED POSITION IN GROUP R3 OR MITHIN DWIGROUP R2 SHALL BE SUBJECT TO 2004 FBC 2405.2.1(4).

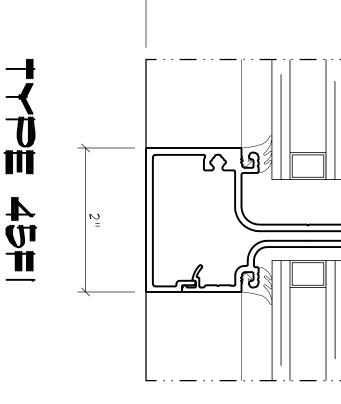
6'-0"

6'-8" 2'-4" 9'-0'

utdoor Lite: "Solargray" Glass by Yitro Architectural Glass, Sputter door Lite: Clear (transparent) Float Glass ow-E Coating: 'Solarban" 70XL Solar Control (Sputtered) by Yitro ocation: Second Surface (2) Z Z Z (2) "Solargray" + Clear くだっ Archite

erformance Values

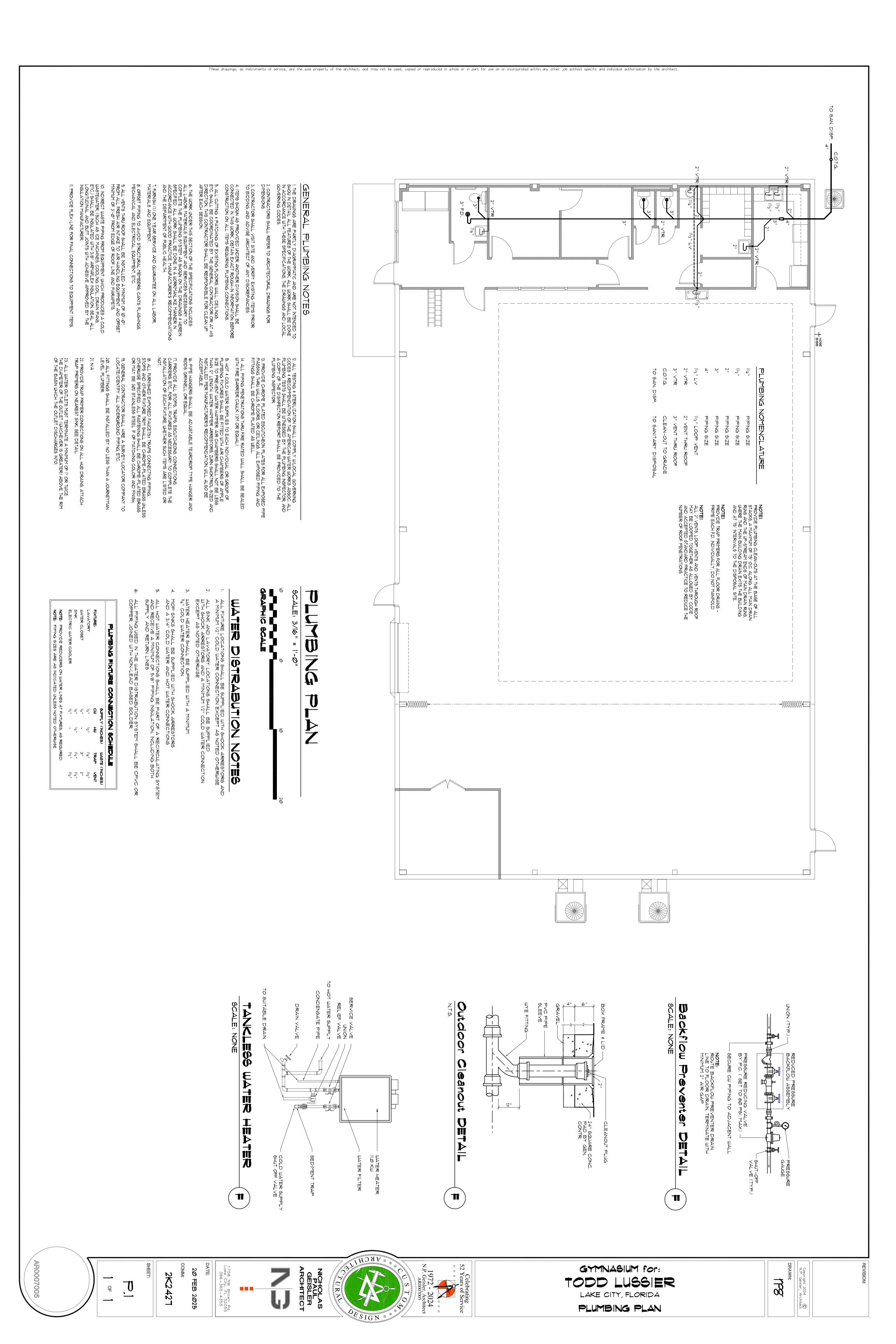
roved Manufacturers: Vitro Certified Fabricator Requification: Both lites to be Cradle to Cradle Certified, radle to Cradle Product Innovation Institute (www.c2ccation Appearance: Gray Unit Construction: 1/4" (6mm) glass + 1/2' (13mm) air

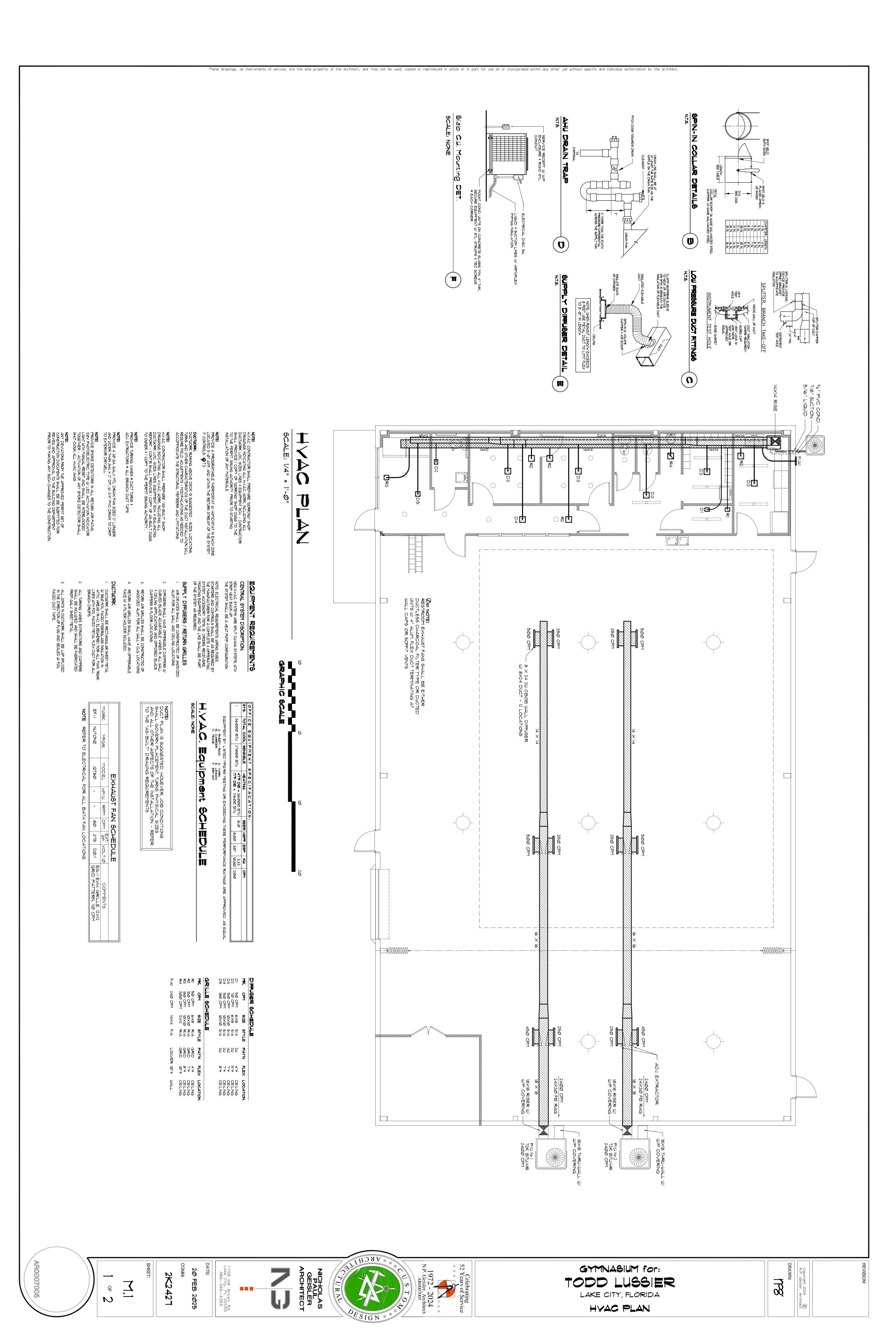


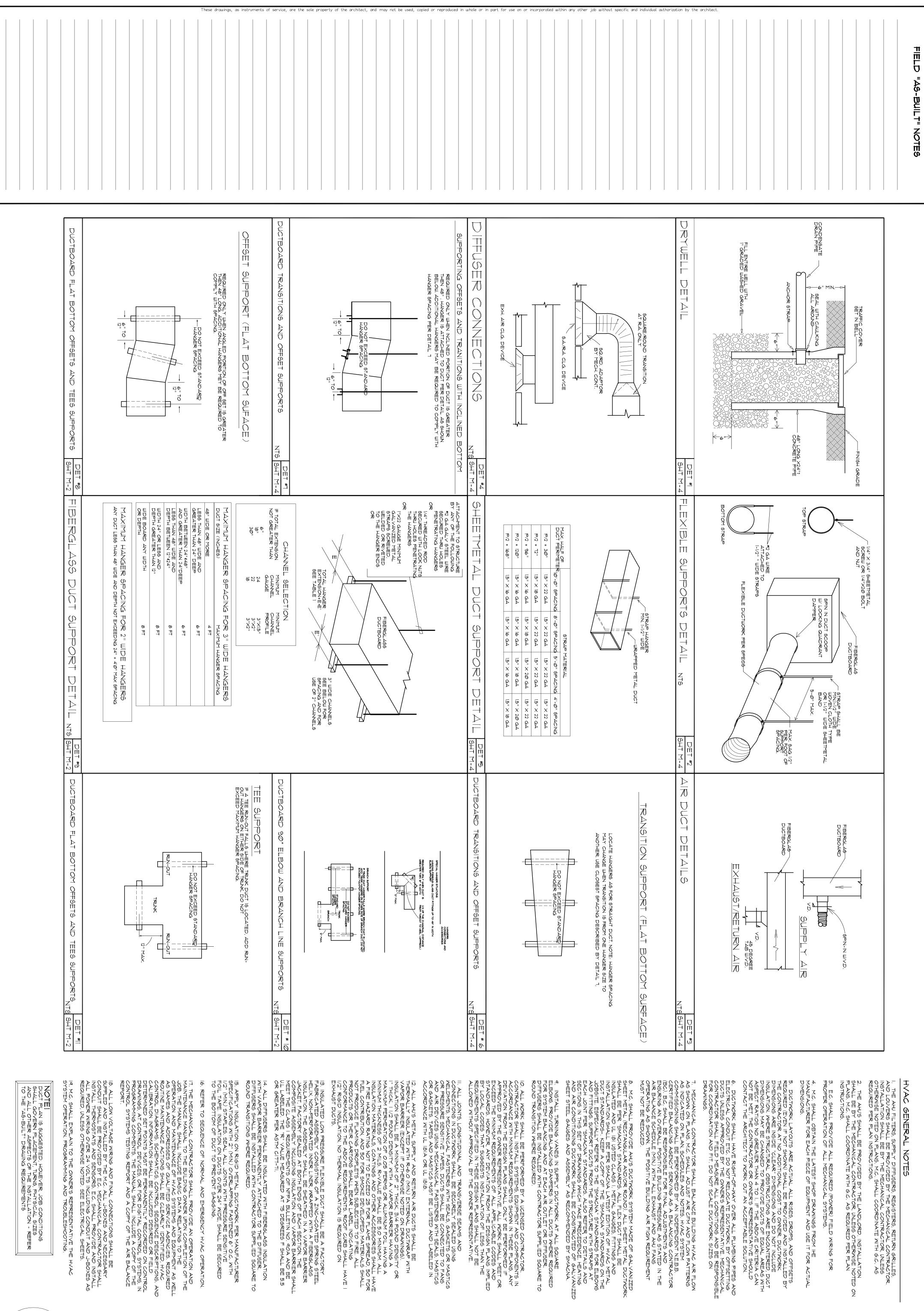
20 FEB 2025 2大2421

todd lussier LAKE CITY, FLORIDA STOREFRONT GLASS DETAILS

GYMNASIUM for:







TELAN IS SUGGESTED, HOWEVER, JOB CONDITIONS
IL GOVERN PLACEMENT, TURNS, PHYSICAL SIZES
ALL OTHER ASPECTS OF THE INSTALLATION - REFER
HE "AS-BUILT" DRAWING REQUIREMENTS

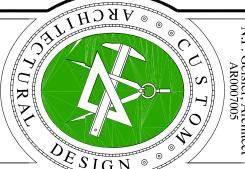
R0007005

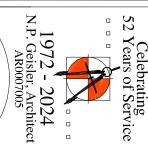
20 FEB 2025 2大2421

1758 NW Brown Rd. Lake City, FL 32055 386-365-4355

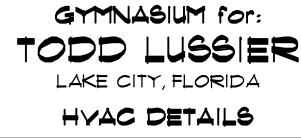


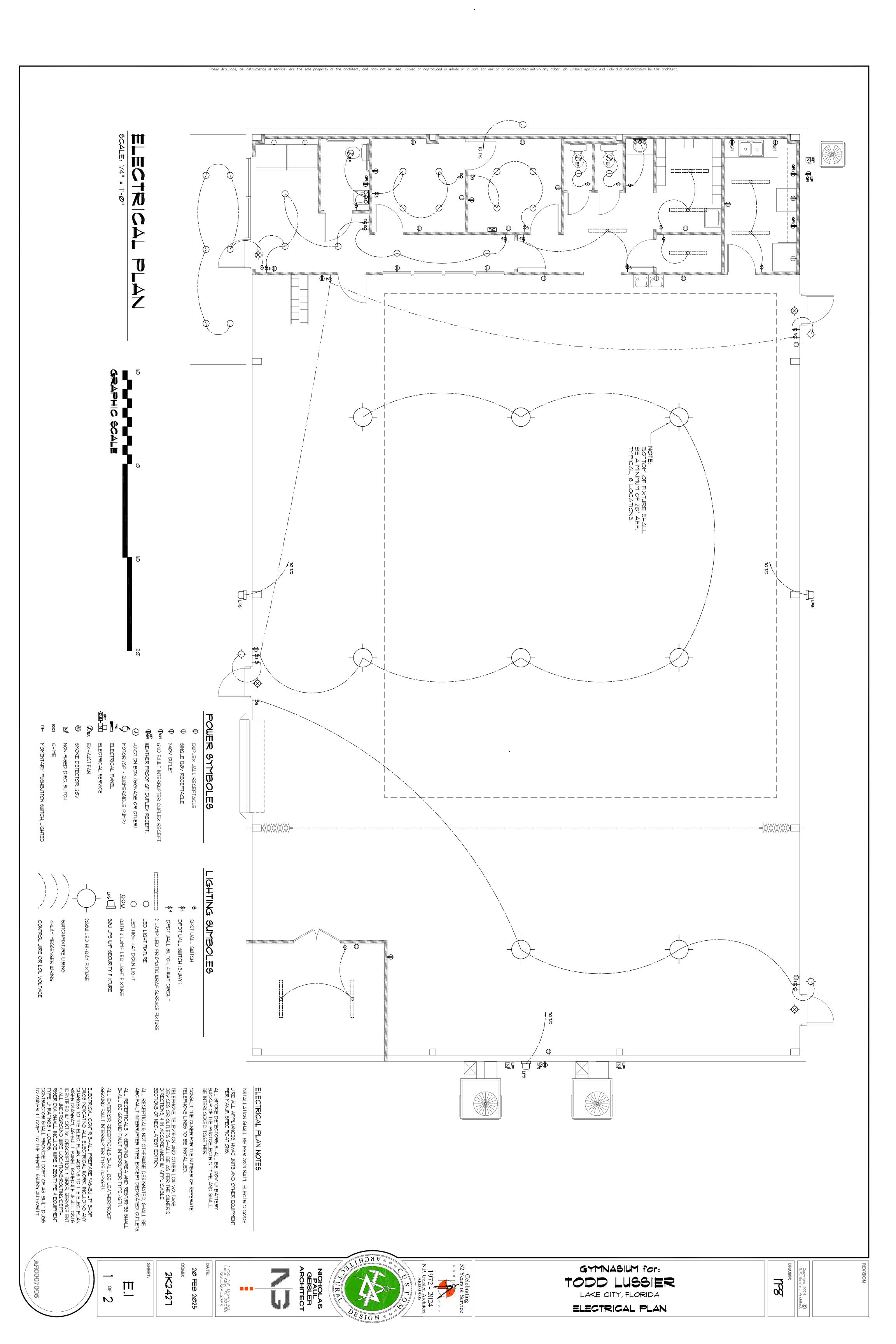












These drawings, as instruments of service, are the sole property of the architect, and may not be used, copied or reproduced in whole or in part for use on or incorporated within any other job without specific and individual authorization by the architect

;=1 ₋ -	——————————————————————————————————————	\rightarrow

Ī	F " 225A - MLC	FLUSH - 42 SLOT	42 SLOT	- 5W								
<u>¥</u> <u>5</u>	LOCATION	TRIP/ POLES	WIRE SIZE	LOAD	♦ A KW	\$B KW	\$ 0 ★ ₪	LOAD	WIRE SIZE	TRIP/ POLES	LOCATION	¥. ₩.
-	CANOPY LTG	15A/15	14TW	80.0	0.48	-	-	0.40	12TW	2Ø∆/IP		2
w	 HALL LTG	=	=	000	ı	0.79 201.00	1	Ø.72	=	=		4
IJ	OFFICE LTG	=	=	<u>0</u> 1 0	1	•	1.25	<u>ë</u>	14† W	<u>17</u> 47		<u></u>
	TOCKER RATIO	=	=	<u>ق</u> ق	2.35	-	-	2.40	®†W	40A/2F	SERV AREA OVEN	<u>∞</u>
v	SERV/STOR LTG	=	=	<i>Ø</i> ∷	ı	231	ı	04.4	=	ı	=	Ø
=	LOFT LTG/REC	20A/IP	12TW	080	1	1	1.52	Ø.72	12 T W	2Ø∆/ ₽	OFFICE REC	ন
13	SHA GENTA	20A/IP	=	1.26	1.98	•	•	Ø.72	=	=	=	4
ড়	#I-BAY LTG	20A/2P	=	0000	ı	ØĽ.	ı	0.90	=	=	YEND -	<u></u>
コ	П	1	1	080	-	•	1.TØ	0.90	=	Ш	YEND 2	<u>8</u>
छ	UHAYATI MA AYOTO	15 A/170	14TW	0.43	<u></u>	1	1	0.12	14†W	15 A 75	men	% □
2	STATE	1	1	0 4 4	1	0 0 4	1	ű Ö	@ <u>†</u> @	00∆/2T		22
23	П	1	1	0.54	-	1	6.04	5.50	=	-	=	24
25	Ξ	1	•	0 4ΰ 4	<u>.</u> 44	•	•	00:00	12TW	20A/17		26
27	LPS AREA LTG	2ØA/2F	12TW	<u>Ø</u> <u> </u>	1	030	1	<u>ø</u>	=	20A/2P	AGE J BOX	28
29	=	1	=	41.0	•	•	0.30	0.6	=	1		9
<u>w</u>		30A/2P	9 1 8	(333)	5,40 0	•	1	۳.40 0	@ †E	50A/2P	OFFICE AHL	32
ა ა	=	1	=	(3.33)	1	υ 4.0 0	1	υ 4.0 0	=	1		4
35	SPARE	1	1	9 4 7 7	ı	1	9 <u>Ø</u> .	9 4 4	1	1	SPARE	36
υ Γ	7/2 <u>V</u> r.1	60A/3P	₽ 	υ 4.0 0	080	1	1	₽.40 0	6 †⊞	60A/3P	7/1 Yr.2	38
39	=	1	=	υ 4.0 0	1	0000	1	υ 04.0	=	1		4
14	=	1	=	5.40	-	1	10.80	5.40	=	1	=	42
לַ שָּׁ הַ	23.60 KW / 120 V = 196.7 27.34 KW / 120 V = 227.8, 22.69 KW / 120 V = 189.1 /	, 7 AMPERS 8 AMPERS 1 AMPERS	, 0, 6,		23.60	27.34	22.69					
7	FEEDER SIZE: 3 * 4/0 - T	* 4/0 - THW - Cu, 1 * 2/0 4 - Cu - QND, 2 ¹ / ₂ " C.	- 1	THW - Cu - Neut.	Neut.							

SERVICE SIZE:

23.60 KW + 27.34 KW + 22.69 KW / 360 VOLTS = 204.5 AMPERS

1201	けんなこく はけけることはここはなける	֓֞֞֜֜֜֜֝֜֜֜֜֜֜֜֜֓֓֓֓֓֓֜֜֜֜֜֓֓֓֓֓֡֓֜֜֜֜֓֓֡֓֡֓֜֜֡֓֡֓֡֓֜֜֡֓֡֓֡֡֓֡
O N	ロヨ コ トコナノナン	D L
40	8-12	2
0	13-18 8	00 00
<u>00</u> 1/97	18-22	9 <u>-1</u> 3
<u>0</u>	23-30	<u>16-20</u>
<u>0</u>	30-55	25-28
11 一切 ひへ	Ü.	200
₩ 7 8 1	4 = 0 	13-20
D∃ 0 1 8	T8 96 ":	4

	(t)	(4)	(8)	2				<u> </u>	4	2 M = 3225 3235		<u> </u>
House Panel (PNL), U.L. Lised, sized per schedule. Equipment Disconnect Switch: non-fused, in weatherproof enclosure, size according to Panel Schedule loads.	9ERVICE 9IZE: 3-#4/Ø-U9E-Cu, 1-#2/Ø-U9E-Cu-Neut., 1-#4-Cu-Gnd, 2½" Conduit.	Service entrance Ground: $^{5}8"$ † iron/steel rod \times 8'-0" long and/or concrete encased foundation steel rebar \times 20'-0" long. Grounding Conductor shall be bonded to each piece of Service/ Entrance Equipment, and shall be sized per Item #5, below.	Main Disconnect Switch: fused or Main BRKR, weatherproof, U.L. Listed.	Meter Enclosure, weatherproof, U.L. Listed.	Service/Feeder Entrance Conductors: 2½" rigid conduit, min. 18" deep, w/ continuous Ground Bonding Conductor, Service/ Entrance Conductors shall not be spliced except that bolted connections at the Meter, Disconnecting Devices and Panel shall be allowed.	(5) ALTERNATE LOCATION	B FINISH GRADE =	HYAC CONDENSING UNIT OR PACKAGE UNIT (8)	ACCESSORY PUMP OR MOTOR		HYAC AIR HANDLER UNIT OR DUCT BLOWER THE 6	

HECTRICAL
DIAGRAM:
225 _A

NOTE!
THE MINIMUM AIC RATING FOR PANEL BOARDS, BRARS AND DISCONNECT SWITCHES SHALL BE 22,000 AIC.

(8) Provide Ground Bond Wire to metal piping, size in as with the Service Ground Conductor.

ELECTRICAL CONTRACTOR SHALL VERIET ALL COMPONENTS FOR ALL ELECTRICAL APPLICATIONS & DETERMINE THE CORRECTNESS OF SAME, ANY DISCREPANCY SHALL BE REPORTED TO THE OWNER PRIOR TO FABRICATING ANY MATERIALS, ORDERING COMPONENTS OR DOING ANY WORK. CIRCUITS ON PANEL SCHEDULE (AND PLANS) ARE TO DETERMINE LOAD DATA AND SIZE, THE CONTRACTOR SHALL PROVIDE CIRCUITS AND ROUTING OF CONDUITS AND WIRING TO SUIT JOB CONDITIONS, AND BALANCE THE JOB, THROUGHOUT.

PANEL BOARDS SHALL BE CIRCUIT BREAKER TYPE, VERIFI NUMBER AND SIZES OF CIRCUITS. CHECK EQUIPMENT FOR PROPER VOLTAGE, PHASE AND AMPERAGE RATING PRIOR TO CONNECTION TO CIRCUITS.

8

JURAL THORY 1972 - 2024 N.P. Geisler, Archite AR0007005 Celebrating 52 Years of Service TON

COORDINATE ALL WORK THROUGH GC TO AVOID CONFLICTS, CO-ORDINATE WITH HVAC CONTRACTOR AND ELECTRONICS SYSTEMS CONTRACTORS SO THAT A COMPLETE, FUNCTIONING SYSTEM IS INSTALLED, IN EACH CASE, WITH NO EXTRA COST TO THE OWNER.

HOT CHECK ALL SYSTEMS WITH THE OWNER'S REPRESENTATIVE PRESENT TO VERIFY PROPER FUNCTION PRIOR TO C.O.

OUTLET BOXES SHALL BE PRESSED STEEL OR PLASTIC OR ALL DRY LOCATIONS, FOR WET LOCATIONS, CAST ALLOY WITH THREADED HUB OUTLET BOXES SHALL BE INSTALLED.

FURNISH AND INSTALL ALL ELECTRICAL DEVICES AND ITEMS REQUIRES FOR A COMPLETE, OPERATING SYSTEM, PROVIDING THE FUNCTIONS AS DETAILED IN THE PLANS (AND SPECS).

GYMNASIUM for: LUSSIER LAKE CITY, FLORIDA

NSTALL GFI BREAKERS OF DEVICES AT ALL BATHROOM, REST-ROOM, KITCHEN, GARAGE AND EXTERIOR RECEPTACLES AND AS NOTED ON THE DRAWINGS.

INSTALL ONLY THOSE ELECTRICAL DEVICES THAT BEAR A "UL" OR OTHER RECOGNIZED TESTING LAB LABEL. ALL MATERIALS SHALL BE NEW.

GROUNDING: GROUND ALL MAIN DISCONNECTS TO STANDARD GROUND ROD(S) AND TO COLD WATER SUPPLY AS PER ARTICLE 250 OF NEC-1994.

PROVIDE CONTINUITY OF NEUTRAL ON MULTI-BRANCH CIRCUITS BY SPLICING AND BRINGING OUT A TAP, ASSURING NO OPEN-INGS OF NEUTRAL IN REPLACEMENT OF A DEVICE.

COLOR CODE MULTI-CIRCUIT WIRING AS FOLLOWS: NEUTRAL -WHITE, GROUND - GREEN, LINE - ALL OTHER COLORS.

NSTALL ONLY HIGH POWER FACTOR BALLASTS AT FLUORESCENT FIXTURES.

NSTALL ONLY COPPER WIRING ON THIS PROJECT: THW, TW, THUN, THAN OR NY CABLE, UNLESS NOTED OTHERWISE. ALL CONDUCTORS FOR SMALLER MAY BE SOLID. ALL CONDUCTORS AND LARGER SHALL BE STRANDED TYPE.

NSTALL ALL ELECTRICAL WORK IN CONFORMANCE WITH THE NEC 1991 EDITION, AND IT'S AMENDMENTS AS ADOPTED BY THE PERMIT ISSUING AUTHORITY AT THE TIME OF CONSTRUCTION.

DO NOT SCALE THE ELECTRICAL DRAWINGS, REFER TO ARCHITECTURAL PLANS AND ELEVATIONS FOR EXACT LOCATION OF ALLEQUIPMENT, CONFIRM WITH OWNER.

36 t 2024 © sler, Architect

 $\boldsymbol{\wp}$ Ш i

1R0007005

ELECTRICAL EQUIPMENT AIC RATING AND FEEDER SIZE SHOWN ON THE PLANS ARE DESIGNED FOR MAX, AVAILABLE FAULT CURRENT AND MAX, ALLOWABLE VOLTAGE DROP, RESPECTIVELY.

WHEN CONDUIT RUNS EXCEED 200 feet, pull boxes shall be installed so that no pull exceeds this distance.

20 FEB 2025 2大2421

DATE

1758 NW Brown Rd. Lake City, FL 32055 386-365-4355

FURNISH AND INSTALL DISCONNECT SWITCHES AND WIRING FOR HVAC SYSTEM AS PER MANUFACTURER'S RECOMMENDATIONS. CONTROLS ARE TO BE SUPPLIED BY THE HVAC CONTRACTOR, AND CONNECTED BY THE ELECTRICAL CONTRACTOR.

THE ELECTRICAL INSTALLATION SHALL MEET ALL STANDARD REQUIREMENTS OF THE POWER COMPANY & TELEPHONE COMPANY.

IT IS NOT THE INTENT OF THESE DRAWINGS TO SHOW EVERY MINOR DETAIL OF THE CONSTRUCTION.

ALL PANEL SCHEDULES SHALL BE FULLY FILLED OUT AND SHALL BE TYPEWRITTEN. EA. CIRCUIT SHALL BE CLEARLY IDENTI-FIED A TO WHAT IS INCLUDED ON SAID CIRCUIT.

YERGENOY LIGHTING AND EXIT SIGNS, IF INDICATED ON THE LANS, SHALL BE WIRED PER NEC 100-12F.

NICHOLAS PAUL GEISLER ARCHITECT

0

23.

ALL FUSES, UNLESS NOTED OTHERWISE ON THE DRAWINGS, SHALL BE CURRENT LIMITED TYPE (C.L.) RATED 200,000 AIC.

ALL CIRCUIT BREAKERS, TWO AND THREE POLE, SHALL BE COMMON TRIP. NO TIE HANDLES OR TANDEMS SHALL BE ACCEPTABLE.

RACEWAYS BELOW GROUND SHALL BE A MINIMUM OD 3/4".

NSTALL NON-FUSED DISCONNECT SWITCHES AT ALL PIECES OF ELECTRICAL EQUIPMENT LOCATED WHERE SAID EQUIPMENT IS NOT VISIBLE FROM THE CIRCUIT BREAKER THAT PROTECTS IT: SIZE IN ACCORD WITH THE LOAD, ALL DISCONNECT SWITCHES SHALL BE H.P. RATED, HEAVY DUTY, QUICK-MAKE - QUICK-BREAK TYPE - ENCLOSURES SHALL BE AS REQ'D FOR EXPOSURE

MOTOR STARTERS SHALL BE MANUAL OR MAGNETIC WITH OVER-LOAD RELAYS IN EACH HOT LEG.

DLATE DISSIMILAR CONDUIT AND TUBING METALS FROM SOIL, TER AND GAS PIPING AND OTHER BUILDING MATERIALS WHERE AMAGE BY FRICTION OR ELECTROLYSIS MAY OCCUR, EXCEPTIERE ELECTRICAL GROUND IS PROVIDED.



DEPARTMENT OF GROWTH MANAGEMENT

205 North Marion Avenue Lake City, Florida 32055 Telephone: (386) 719-5750 growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 05/21/2025
Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)
Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA) Project Number: SPR 25-06
Project Name: Envy Elite
Project Address: TBD
Project Parcel Number: 02703-014
Owner Name: TJL Associates LLC
Owner Address: 176 SW Wilshire Dr, Lake City, FL
Owner Contact Information: Telephone Number: 386-752-2336 Email: apirenallc@gmail.com
Owner Agent Name: Carol Chadwick, PE
Owner Agent Address: 1208 SW Fairfax Glen, Lake City, FL
Owner Agent Contact Information: Telephone: 307-680-1772 Email: ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Reviewed by: Suff Thumason	Date: 5/29/2025
It is suggested that ADA access aisle be swapped the van access is on the passenger side. This is not a resuggestion.	
Planning and Zoning: Reviewed by: Bryon S. Thomas	Date:
See email for Planning and Zoning Comments.	
Business License: Reviewed by: Marshall Sona will need to apply for business tax receipt	Date:
ada Enforcement: Paviawad by:	Date: 5/27/2025
ode Enforcement: Reviewed by:	Date:
ermitting: Reviewed by: Stockatill	Date:
New construction permit will be required.	

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Reviewed by: Mike	a by: . L. Oshorn Jr.	Date: 5/21/2025
No comments at this time		
Sewer Department: Reviewed by:	Signed by: 1 Pridgen 1 Pridgen	Date: 5/23/2025
Sewer plant has available capacit		
Gas Department: Reviewed by:	570WU BF27485.	5/27/2025 Date:
o comment at this time.		
Water Distribution/Collection: Review	red by: Brian Sutt	Date:
Water taps are in place already, developer		-
Sewer taps are in place and flow of taps will be up to the devel		. Any relocation
Customer Service: Reviewed by: Slusta	oy: Ullum 50450	Date: 5/29/2025
The Utility Department approved a services. The Distributions & Colsewer taps are in place, the sewer empties into the City's sewer systhis location. The Water Treatmer required per State Law F.A.C. 62-that the existing utility infras	lections Department noted; er tap flows to a private letem, a pressure reducer is et Plant noted; an RP backf 555.360. Locates must be ol	the water and ift station that recommended for low preventer is btained to ensure

Public Safety – Public Works, Fire Department, Police Department

Fire Department: Reviewed by: Let Downleins Date: 5/21/20 No comments at this time. Fire flow is met according to the provided paperwork.
Fire Department: Reviewed by: Rt Marketons Date:
No comments at this time. Fire flow is met according to the provided
Police Department: Reviewed by: Date:

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

	Date:
uwannee River Water Management: Reviewed by:	Can't Spuur Date: 5/21/2025
he site was issued ERP Permit Number ERP-023- proposed development.	211147-2 ENVY ELITE for the
School Board: Reviewed by:	5/22/2025 Date :
No comments at this time.	
County Engineer: Reviewed by:	Date:
Signed by:	
County Planner: Reviewed by: William Goodin	
Signed by:	
County Planner: Reviewed by: William Goodin	Date:
County Planner: Reviewed by: William Goodin	

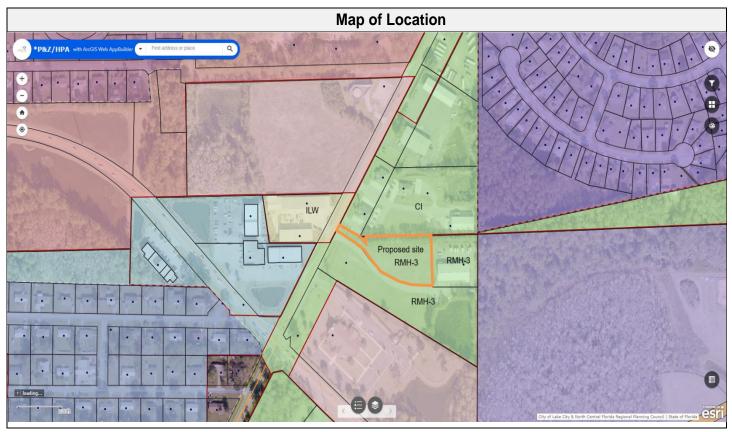
AKE CITY GROWTH MANAGEMENT STAFF ANALYSIS REPORT

	Project Information
Project Name and Case No.	Envy Elite Site Plan Review SPR 25-06
Applicant	Carol Chadwick, PE, agent
Owner	TJL Associates, LLC
Requested Action	Review a site plan for a new construction Cheerleading Club, private club.
Hearing Date	07-08-2025
Staff Analysis/Determination	Sufficient for Review
Prepared By	Robert Angelo

Subject Property Information			
Size	+/- 1.21 Acres		
Location	TBD, Lake City, FL		
Parcel Number	01-4S-16-02703-014		
Future Land Use	Commercial		
Proposed Future Land Use	Commercial		
Current Zoning District	Commercial Intensive		
Proposed Zoning	Commercial Intensive		
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A		

Land Use Table					
Direction	Future Land Use	Zoning	Existing Use	Comments	
N	Commercial	CI	Office		
Е	Residential Medium	RMH-3	Warehouse Building		
S	Residential Medium	RMH-3	Vacant		
W	Commercial	ILW	Repair Shops		

Zoning Review				
Zoning Requirements	Required/Section of LDR	Actual		
Minimum lot requirements.	None/ 4.13.6.1 200 Feet lot frontage	1.989 Acres		
Minimum yard requirements (setbacks) Front-Each Side-Rear.	4.13.7.1 Front 20 Side 0 Rear 15	Meets required setbacks.		
Are any structure within 35 feet of a wetland?	35-foot buffer/ 4.13.7	No wetland		
Max height of signs.	35-foot/ 4.2.20.7.3	No sign proposed		
Max square footage of signs.	No signs proposed/ 4.2.20.7.5	No sign proposed		
Lot coverage of all buildings.	1.0/ 4.13.9	13 % coverage.		
Minimum landscape requirements.	10 foot if abutting a residential district or none if not/ 4.15.10	Meets requirements.		
Minimum number of parking spaces.	15 spaces/ 4.2.15.16	15 spaces		
Minimum number of ADA parking spaces.	1 space	1 space		
Parking space size requirement.	10x20	10x20		
ADA parking space size.	12x20 with 5x20 access aisle.	12x20 with 5x20 access aisle.		





Summary of Request

Applicant has petitioned to get an approval of a site plan to build a new cheerleading club.

File Attachments for Item:

iii. CPA 25-04, an application by Carol Chadwick, PE, as agent Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Future Land Use Plan Map of the Comprehensive Plan by changing the future land use classification from RESIDENTIAL MEDIUM to INDUSTRIAL on land located on parcels 02703-004 and 02703-012.



GROWTH MANAGEMENT

205 North Marion Ave. Lake City, FL 32055
Telephone: (386) 719-5750
E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY
Application #
Application Fee \$
Receipt No
Filing Date
Completeness Date

COMPREHENSIVE PLAN AMENDMENT

PRC	DIECT INFORMATION
1.	Project Name: CENTURY GLEN
2.	Address of Subject Property: 1509 SW CENTURY GLEN & 1563 SW CENTURY GLEN, LAKE CITY, FL 3202
3.	Parcel ID Number(s): 04-4S-16-02703-012 & 01-4S-16-02703-004
4.	Existing Future Land Use Map Designation: RESIDENTIAL - MEDIUM
5.	Proposed Future Land Use Map Designation: INDUSTRIAL
6.	Zoning Designation: RMH-3
7.	Acreage: 3.329
8.	Existing Use of Property: AMBULANCE DISPATCH & VACANT
9.	Proposed use of Property: AMBULANCE DISPATCH & LIGHT INDUSTRIAL
	Company name (if applicable): Mailing Address: 1208 SW FAIRFAX GLEN City: LAKE CITY State: FL Zip: 32025 Telephone: ()307.680.1772Fax:() Email: Ccpewyo@gmail.com
	PLEASE NOTE: Florida has a very broad public records law. Most written communications t
	or from government officials regarding government business is subject to public record
	requests. Your e-mail address and communications may be subject to public disclosure.
3.	If the applicant is agent for the property owner*.
	Property Owner Name (title holder): SEE ATTACHED
	Mailing Address:
	Mailing Address:

C. ADDITIONAL INFORMATION

1.	Is there any additional contract for the sale of, or options to purchase, the subject property?								
	If yes, list the names of all parties involved: NA								
	If yes, is the contract/option contingent or absolute: Contingent Absolute								
2.	Has a previous application been made on all or part of the subject property es les								
	Future Land Use Map Amendment:								
	Future Land Use Map Amendment Application No.								
	Site Specific Amendment to the Official Zoning Atlas (Rezoning): □Yes □ No □ N								
	Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No								
	Variance:□Yes □No_ ✔								
	Variance Application No.								
	Special Exception: No No								
	Special Exception Application No.								

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Boundary Sketch or Survey with bearings and dimensions.
- 2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
- 3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
- 4. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
- 5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
- 6. Proof of Ownership (i.e. deed).
- 7. Agent Authorization Form (signed and notarized).
- 8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
- 9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
 - a. Small Scale Comprehensive Plan Amendment (10 Acres or less) =\$750.00
 - b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = \$1,500.00 or actual city cost
 - c. Text Amendment to the Comprehensive Plan = \$750

10. All property owners within three hundred (300) feet be notified by certified mail by the proponent and proof of the receipt of these notices be submitted as part of the application package submittal.

The Growth Management Department shall supply the name and addresses of the property Owners, the notification letters and the envelopes to the proponent.

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All ten (10) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of two (2) paper copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

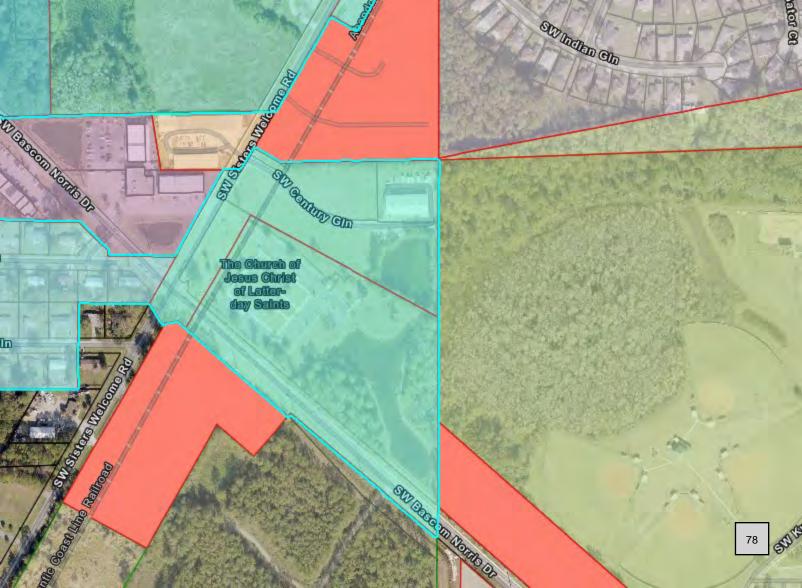
THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Digitally signed by Carol Chadwick DN: c=US, O=Florida, dnQualifier=A014 10D000018D463 B4E7500032FEE, cn=Carol Chadwick Dhate: 2025.06.10 15:22:01-04'00'



CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Concurrency Impact Analysis

One parcel is currently vacant. The other parcel is an ambulance dispatch using the City' sewer and water system. The proposed commercial site will utilize City sewer and water. There is not enough information to estimate water or sewer use. A traffic study, if necessary, will need to be conducted with the site plan.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 820
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:

• Trip generation: 6103 ADT \$ 619 Peak PM trips

Potable Water: ? gallons per day
Potable Water: ? gallons per day
Solid Waste: ? tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick
DN: c=US, o=Florida, dnQualifier=A014
10D000018D463
84E7500032FEE, cn=Carol Chadwick
Date: 2025.06.10
15:21:17-04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218

CAROL CHADWICK, P.E.

Givil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Comprehensive Plan Consistency Analysis

The CENTURY GLEN proposed site consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

• Objective I. I The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.

• Policy I.I.I The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject property is located on SW Sisters Welcome Road. The property across the road is currently zoned ILW.

 Policy I. I. 2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The property across the road is currently zoned ILW.

• Policy I.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2026.

Consistency: One parcel is utilized for ambulance dispatch. There are no current plans to develop

the other parcel.

 Policy I.I.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The site utilizes a previously permitted stormwater management system.

• Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: No impacts to adjacent land topography or soil conditions will result due to a zoning or land use change of the subject property.

• Policy I. I. G The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: This development is consistent with the properties adjacent to SW Sisters Welcome Road zoning ILW.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A014 10D000018D463 B4E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:21:01-04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218

COLUMBIA COUNTY Property Appraiser

Parcel 01-4S-16-02703-012

Owners

RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC PO BOX 2821 PONTE VEDRA BEACH, FL 32004

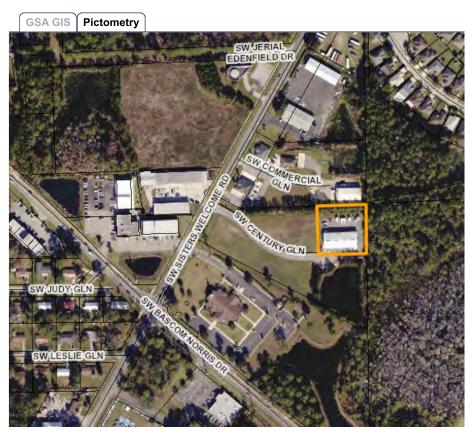
Parcel Summary

Location	1509 SW CENTURY GLN
Use Code	1700: OFFICE BLD 1STY
Tax District	1: CITY OF LAKE CITY
Acreage	1.0000
Section	01
Township	4S
Range	16
Subdivision	DIST 2

Legal Description

BEG AT NE COR OF SE1/4, RUN W 208.75 FT, S 208.75 FT, E 208.75 FT, N 208.75 FT TO POB.

1024-2512, WD 1539-44,



30° 10′ 18″ N 82° 39′ 29″ W

Working Values

	2025
Total Building	\$313,802
Total Extra Features	\$24,194
Total Market Land	\$73,508
Total Ag Land	\$0
Total Market	\$411,504
Total Assessed	\$411,504
Total Exempt	\$0
Total Taxable	\$411,504
SOH Diff	\$0

Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$300,983	\$299,730	\$280,562	\$233,361	\$235,971	\$232,393
Total Extra Features	\$24,194	\$24,194	\$24,434	\$24,434	\$24,434	\$24,434
Total Market Land	\$73,508	\$73,508	\$73,508	\$73,508	\$73,485	\$73,485
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$398,685	\$397,432	\$378,504	\$331,303	\$333,890	\$330,312
Total Assessed	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
SOH Diff	\$0	\$0	\$14,071	\$0	\$0	\$0

Document/Transfer/Sales History

Instrument / Official Record	Date	Q/LI	Reason	Туре	<u>V/I</u>	Sale Price	Ownership.
<u>WD</u> 1539/44	2025-04-29	Q	01	WARRANTY DEED	Improved	\$750,000	Grantor: SELLERS HERBERT S III REVOCABLE TRUST Grantee: RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC
WD 1024/2512	2004-08-30	Ŭ	09	WARRANTY DEED	Vacant	\$100,000	Grantor: LESLIE EARL PEELER Grantee: SELLERS HERBERT S III REVOCABLE TRUST

Buildings

Building # 1, Section # 1, 233289, WAREHOUSE

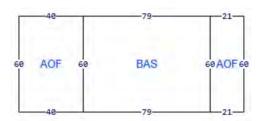
Тура	Model	Heated Area	Gross Area	Repl Cost New	YrBlt	Year Eff	Other % Dpr	Normal % Dpr	% Cond	Value
8700	06	8400	8400	\$387,410	2006	2006	0.00%	19.00%	81.00%	\$313,802

Structural Elements

Type	Description	Code	Details
EW	Exterior Wall	25	MOD METAL
EW	Exterior Wall	20	FACE BRICK
RS	Roof Structure	10	STEEL FRME
RC	Roof Cover	12	MODULAR MT
IW	Interior Wall	01	MINIMUM
IF	Interior Flooring	03	CONC FINSH
CE	Ceiling	04	NONE
AC	Air Conditioning	01	NONE
HT	Heating Type	01	NONE
PL	Plumbing	4.00	
FR	Frame	05	STEEL
SH	Story Height	18.00	
RMS	RMS	7.00	
STR	Stories	1.	1.
COND	Condition Adjustment	03	03

Sub Areas

Туре	Gross Area	Percent of Base	Adjusted Area
AOF	1,260	150%	1,890
AOF	2,400	150%	3,600
BAS	4,740	100%	4,740



Extra Features 83

Code	Description	Length	Width	Units	Unit Price	AYB	% Good Condition	Final Value
0260	PAVEMENT-ASPHALT			15887.00	\$1.50	2006	100%	\$23,831
0166	CONC,PAVMT			145.00	\$2.50	2006	100%	\$363

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
1700	1STORY OFF		.00	.00	43,560.00	\$2.25/ <u>SF</u>	1.00	0.75	\$73,508

Personal Property

02122-100		CENTURY AMBULANCE SERVICE INC	B - BUSINESS
Account	Secured/ Unsecured	Owner Description	

Permits

Date	Permit	Туре	Status	Description	
Jul 3, 2018	18-89	COMMERCIAL	COMPLETED	COMMERCIAL	
Sep 7, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL	
Feb 17, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL	

TRIM Notices

202420232022

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.

 ${\it Copyright} @ 2022 \, {\it Columbia County}. \, {\it All rights reserved}.$

Inst. Number: 202512009600 Book: 1539 Page: 44 Page 1 of 3 Date: 4/29/2025 Time: 3:41 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 5,250.00

Prepared By and Return To: Esquire Title & Trust 501 W. Bay Street Jacksonville, FL 32202

Order No.: 25-0079

Property Appraiser's Parcel I.D. (folio) Number: 01-4S-16-02703-012

WARRANTY DEED

THIS WARRANTY DEED dated this the 29th day of April, 2025, by Herbert S. Sellers III, Individually and as Trustee of the Herbert S. Sellers III Revocable Trust, and having its principal place of business at 6063 Kingsley Lake Drive, Kingsley Lake, FL 32091 (the "Grantor"), to Riverwood Investments of Jacksonville LLC, a Florida Limited Liability Company, whose post office address is PO Box 2821, Ponte Vedra Beach, FL 32004 (the "Grantee").

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee, all that certain land situated in County of Columbia, State of Florida, viz:

All that certain property located in Columbia County, Florida, to-wit:

The certain piece, parcel, or tract of land lying and being in the Southeast ¼ of Section 1, Township 4 South Range 16 East Columbia County, Florida and being particularly described as:

Begin at the Northeast corner of the SE 1/4, Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run thence South 88°57'48" West, along the North line of said SE 1/4, 208.75 feet; thence South 00°34'56" West, parallel to the East line of said SE 1/4 208.75 feet, thence North 88°57'48" East, parallel to said North line, 208.75 feet to said East line; thence North 00°34'56" East, along said East line 208.75 feet to the point of beginning.

Together with and subject to that certain Easement Deed recorded in the Official Records Book 1042 Page 214 of Columbia County, Florida.

The property described herein is not now, nor has it ever been, the primary residence/homestead of the owner or the owner's spouse or dependent child, if any.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

Inst. Number: 202512009600 Book: 1539 Page: 45 Page 2 of 3 Date: 4/29/2025 Time: 3:41 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 5,250.00

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2024.

Inst. Number: 202512009600 Book: 1539 Page: 46 Page 3 of 3 Date: 4/29/2025 Time: 3:41 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 5,250.00

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of: Herbert S. Sellers III Revocable Trust Witness Signature Herbert S. Sellers III KEVIN HARIENS Trustee and Individually Printed Name of First Witness **Grantor Address:** Address of First Witness 6063 Kingsley Lake Drive Kingsley Lake, FL 32091 Witness Signature Printed Name of Second Witness 501 w Day St, Jax, FC 32202 Address of Second Witness State of Florida County of Duva valid driver's license as identification. [NOTARY SEAL] Notary Wublie Printed Name: Joseph M. Danese, III My Commission Expires: Notary Public State of Florida My Commission Expires 08/11/2025 Commission No. HH 116452



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Liability Company
RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC

Filing Information

Document NumberL13000060673FEI/EIN NumberAPPLIED FORDate Filed04/25/2013Effective Date04/20/2013

State FL

Status ACTIVE

Principal Address

3655 University Blvd West JACKSONVILLE, FL 32217

Changed: 04/23/2019

Mailing Address

Box 2821

Ponte Vedra Beach, FL 32004

Changed: 04/23/2019

Registered Agent Name & Address

ADAMS, SCOTT 4323 SHIRLEY AVE

JACKSONVILLE, FL 32210

Name Changed: 04/24/2025

Address Changed: 04/24/2025

<u>Authorized Person(s) Detail</u>

Name & Address

Title MGRM

WOOLVERTON, DERICK
P.O BOX 2821
PONTE VEDRA BEACH, FL 32004

Annual Reports

Report Year	Filed Date
2023	04/26/2023
2024	04/03/2024
2025	04/24/2025

Document Images

<u>04/24/2025 ANNUAL REPORT</u>	View image in PDF format
04/03/2024 ANNUAL REPORT	View image in PDF format
<u>04/26/2023 ANNUAL REPORT</u>	View image in PDF format
04/12/2022 ANNUAL REPORT	View image in PDF format
<u>04/28/2021 ANNUAL REPORT</u>	View image in PDF format
<u>06/23/2020 ANNUAL REPORT</u>	View image in PDF format
04/23/2019 ANNUAL REPORT	View image in PDF format
<u>04/25/2018 ANNUAL REPORT</u>	View image in PDF format
<u>04/21/2017 ANNUAL REPORT</u>	View image in PDF format
<u>04/15/2016 ANNUAL REPORT</u>	View image in PDF format
<u>04/15/2015 ANNUAL REPORT</u>	View image in PDF format
03/27/2014 ANNUAL REPORT	View image in PDF format
04/25/2013 Florida Limited Liability	View image in PDF format

Florida Department of State, Division of Corporations

COLUMBIA COUNTY Property Appraiser

Parcel 01-4S-16-02703-004

Owners

PEELER LESLIE EARL P O BOX 2238 LAKE CITY, FL 32056-2238

Parcel Summary

	•
Location	1563 SW CENTURY GLN
Use Code	0000: VACANT
Tax District	1: CITY OF LAKE CITY
Acreage	2.3290
Section	01
Township	4S
Range	16
Subdivision	DIST 2
Lineage	Split from 01-4S-16-02703-004

Legal Description

BEG NE COR OF SE1/4, W 541.66 FT, SW 200 FT, SE 727.01 FT, N 536 FT TO POB EX 1 AC DESC ORB 1024-2512 & COMM AT NE COR OF SE1/4, W 541.66 FT FOR POB, NW 100 FT TO E R/W OF SW SISTERS WELCOME RD, SW ALONG R/W 200 FT, SE 100 FT, NE 200 FT TO POB. EX 448 SQ FT DESC IN WD 1163-834 EX 2.13 AC DESC IN WD 1523-539.

669-578, 676-620, 867-335, 1039-1855, 1163-834,



30° 10′ 18″ N 82° 39′ 32″ W

Working Values

•	
	2025
Total Building	\$0
Total Extra Features	\$0
Total Market Land	\$44,042
Total Ag Land	\$0
Total Market	\$44,042
Total Assessed	\$44,042
Total Exempt	\$0
Total Taxable	\$44,042
SOH Diff	\$0

Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$0	\$0	\$0	\$0	\$0	\$0
Total Extra Features	\$0	\$0	\$0	\$0	\$0	\$0
Total Market Land	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Assessed	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
SOH Diff	\$0	\$0	\$0	\$0	\$0	\$0

Document/Transfer/Sales History

Instrument / Official Record	Date	Q/U	Reason	Туре	V/I	Sale Price	Ownership
WD 1163/0834	2008-12-04	Q	03	WARRANTY DEED	Vacant	\$100	Grantor: LESLIE E PEELER Grantee: CITY OF LAKE CITY
<u>WD</u> 1039/1855	2004-12-10	Q	03	WARRANTY DEED	Vacant	\$50,000	Grantor: FEAGLE & SMITH Grantee: PEELER
<u>WD</u> 0867/0335	1998-10-05	Q		WARRANTY DEED	Vacant	\$28,500	Grantor: WANDA KATO Grantee: PEELER
<u>WD</u> 0669/0577	1988-02-26	U		WARRANTY DEED	Vacant	\$10,000	Grantor: FEAGLE MARLIN & Grantee: BURNETT & DUBOSE

Buildings

None

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
0000	VAC RES	00	.00	.00	1.87	\$21,500.00/ <u>AC</u>	1.87	0.85	\$34,174
1000	VACANT COMMERCIAL		.00	.00	0.46	\$21,500.00/ <u>AC</u>	0.46	1.00	\$9,868

Personal Property

None

Permits

None

TRIM Notices

2024

2023

2022

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.

 ${\it Copyright} @ 2022 \, {\it Columbia County}. \, {\it All rights reserved}.$

Inst. Number: 200812021792 Book: 1163 Page: 834 Date: 12/4/2008 Time: 10:46:00 AM Page 1 of 3

THIS INSTRUMENT PREPARED BY AND RETURN TO:

MARLIN M. FEAGLE, ESQUIRE FEAGLE & FEAGLE, ATTORNEYS, P.A.

153 NE Madison Street Post Office Box 1653 Lake City, Florida 32056-1653 Florida Bar No. 0173248

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, existence of liens, the quantity of lands included, or the location of the boundaries. The names, addresses, tax identification numbers and legal description were furnished by the parties to this instrument.

Inst:200812021792 Date:12/4/2008 Time:10:46 AM
Doc Stamp-Deed:0.70
______DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1163 P:834

WARRANTY DEED

THIS INDENTURE, made this ______ day of December, 2008, between LESLIE

EARL PEELER, a married person not residing on the property, whose mailing address is Post

Office Box 2238, Lake City, Florida 32056-2238, party of the first part, Grantor, and THE

CITY OF LAKE CITY, a municipal corporation existing under the laws of the State of Florida, whose mailing address is Post Office Box 1687, Lake City, Florida 32056-1687, party of the second part, Grantee,

WITNESSETH:

That said grantor, for and in consideration of the sum of **TEN AND NO/100** (\$10.00) **DOLLARS**, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run S.88°58'33"W. along the North line of said Southeast 1/4 a distance of 507.76 feet to the POINT OF BEGINNING; thence S.00°56'09"W. 27.18 feet to a point on the Northeasterly Right-of-Way line of SW Century Glen; thence N.50°44'43"W. along said Northeasterly Right-of-Way line 42.02 feet to the point of intersection of said Right-of-Way line with the North line of said Southeast 1/4 and also with the

Inst. Number: 200812021792 Book: 1163 Page: 835 Date: 12/4/2008 Time: 10:46:00 AM Page 2 of 3

former Easterly line of the Seaboard Coastline Railroad (now abandoned); thence N.88°58'33"E. along the North line of said Southeast 1/4 a distance of 32.98 feet to the POINT OF BEGINNING. Containing 448 Square Feet, more or less.

N.B. The Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the Constitution of the State of Florida, nor is it contiguous to or a part of homestead property.

Tax Parcel No.: 01-4S-16-02703-004 (parent parcel)

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered

in the presence of:

Witness

Withess

DIRICE GARACIEI

Print or type name

Witness

Charlene 1
Print or type name

LESLIE EARL PEELER

SEAL)

Inst. Number: 200812021792 Book: 1163 Page: 836 Date: 12/4/2008 Time: 10:46:00 AM Page 3 of 3

STATE OF FLORIDA COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this _____ day of December, 2008, by **LESLIE EARL PEELER** who is personally known to me or who has produced a Florida driver's license as identification.

Diane S. Edenfield
Commission # DD514461
(NOTATION FROM INSURANCE INC. B000-385-7019

Notary Public, State of Florida

My Commission Expires:



GROWTH MANAGEMENT DEPARTMENT 205 North Marion Ave, Lake City, FL 32055

Phone: 386-719-5750 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Derick Woolverton	(owner name), owner of property parcel				
number 04-4S-16-02703-012	(parcel number), do certify that				
the below referenced person(s) listed on this for is an officer of the corporation; or, partner as desaid person(s) is/are authorized to sign, speak a relating to this parcel.	fined in Florida Statutes Chapter 468, and the				
Printed Name of Person Authorized	Signature of Authorized Person				
1. CAROL CHADWICK, PE	Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D000018D46 384E7500032FEE, cn=Carol				
2.	2. Chadwick Date: 2025.06.10 15:20:11 -04'00'				
3.	3.				
4.	4.				
5.	5.				
I, the owner, realize that I am responsible for all with, and I am fully responsible for compliance of Development Regulations pertaining to this pare of the second of th	vith all Florida Statutes, City Codes, and Land cel. Lis/are no longer agents, employee(s), or ting of the changes and submit a new letter of vious lists. Failure to do so may allow				
1 lengh istate	6/09/2025				
Owner Signature (Notarized)	Date				
NOTARY INFORMATION: STATE OF: Florida COUNTY OF	; St Johns				
The above person, whose name is Derick M personally appeared before me and is known by (type of I.D.) on	neor has produced identification this 9th day of June , 2025.				
NOTARY'S SIGNATURE	(Seal/Stamp)				



GROWTH MANAGEMENT DEPARTMENT 205 North Marion Ave, Lake City, FL 32055

Phone: 386-719-5750

E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

1. EARL Peeles	(owner name), owner of property parcel
number_01-4S-16-02703-004	(parcel number), do certify that
the below referenced person(s) listed on this for is an officer of the corporation; or, partner as desaid person(s) is/are authorized to sign, speak a relating to this parcel.	fined in Florida Statutes Chapter 468, and the
Printed Name of Person Authorized	Signature of Authorized Person
_{1.} CAROL CHADWICK, PE	Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D000018D46
2.	Chadwick Date: 2025.06.10 15:19:29 -04'00'
3.	3.
4.	4.
5.	5.
with, and I am fully responsible for compliance of Development Regulations pertaining to this pare of the person(s) you have authorized officer(s), you must notify this department in write authorization form, which will supersede all prevunauthorized persons to use your name and/or	d is/are no longer agents, employee(s), or ting of the changes and submit a new letter of vious lists. Failure to do so may allow
	6-9-25
NOTARY'S SIGNATURE Notary F	Pecler.

Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-012 SELLERS HERBERT S III REVOCABLE TRUST				
Year: 2024	Bill Number: 942	Owner: SELLERS HERBERT S		
Tax District: 1	Property Type: F Estate	Real III REVOCABLE TRUST		
MAILING ADDRESS: PRO		ROPERTY ADDRESS:		
SELLERS HERBER	RT S III	1509 CENTURY		
REVOCABLE TRUS	ST	LAKE CITY 32025		
6063 KINGSLEY LA	AKE DR			
STARKE FL 32091				

d Valorem				
Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$1,875.42	\$1,875.42	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$2,991.09	\$2,991.09	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$286.28	\$286.28	\$0.00
LOCAL	3.1430	\$1,202.95	\$1,202.95	\$0.00
CAPITAL OUTLAY	1.5000	\$574.11	\$574.11	\$0.00
Subtotal	5.3910	\$2,063.34	\$2,063.34	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$112.37	\$112.37	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.04	\$0.04	\$0.00
TOTAL	18.3997	\$7,042.26	\$7,042.26	\$0.00
on-Ad Valorem Authority/Fund	Charg	ed	Paid	Due
CITY FIRE ASSESSMENT	\$1,551.	51 \$1,5	51.51	\$0.00
TOTAL	\$1,551.	E1 #1 E	51.51	\$0.00



 This Bill:
 \$0.00

 All Bills:
 \$0.00

 Cart Amount:
 \$0.00

Bill 9425 -- No Amount Due

Pay All Bills

♣ Print Bill / Receipt

☑ Register for E-Billing

Property Appraiser

PublicSoft

© 2025 - Powered by Phenix.net

Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-004 PEELER LESLIE EARL				
Year: 2024 Tax District: 1	Bill Number: 9420	Owner: PEELER LESLIE EARL		
iax district:	Property Type: Re Estate	aı		
MAILING ADDRES	S: PI	ROPERTY ADDRESS:		
PEELER LESLIE EARL		1563 CENTURY		
P O BOX 2238		LAKE CITY 32025		
LAKE CITY FL 320	56-2238			

Taxes Assessments Legal Description Payment History **Ad Valorem** Authority/Fund Paid Tax Rate Charged Due CITY OF LAKE CITY 4.9000 \$406.54 \$406.54 \$0.00 **BOARD OF COUNTY COMMISSIONERS** 7.8150 \$648.39 \$648.39 \$0.00 **COLUMBIA COUNTY SCHOOL BOARD** DISCRETIONARY 0.7480 \$62.06 \$62.06 \$0.00 LOCAL 3.1430 \$260.77 \$260.77 \$0.00 CAPITAL OUTLAY 1.5000 \$124.45 \$124.45 \$0.00 Subtotal 5.3910 \$447.28 \$447.28 \$0.00 SUWANNEE RIVER WATER MGT DIST 0.2936 \$24.36 \$24.36 \$0.00 LAKE SHORE HOSPITAL AUTHORITY 0.0001 \$0.01 \$0.01 \$0.00 18.3997 \$1,526.58 \$1,526.58 \$0.00 **Non-Ad Valorem** Authority/Fund Charged Paid Due CITY FIRE ASSESSMENT \$61.26 \$61.26 \$0.00 TOTAL \$61.26 \$61.26 \$0.00



This Bill: \$0.00

All Bills: \$0.00

Cart Amount: \$0.00

Bill 9420 -- No Amount Due

Pay All Bills

♣ Print Bill / Receipt

Property Appraiser



© 2025 - Powered by Phenix.net

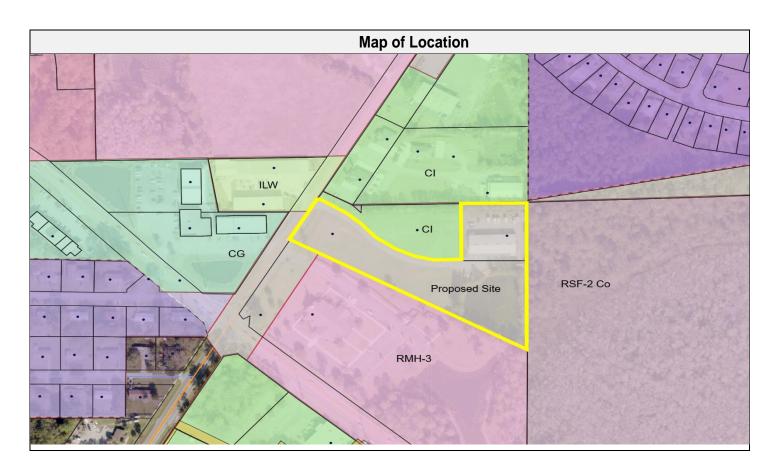
LAKE CITY GROWTH MANAGEMENT STAFF ANALYSIS REPORT

	Project Information		
Project Name and Case No.	Peeler/Riverwood Investments CPA 25-04 and Z 25-06		
Applicant	Carol Chadwick, PE, agent		
Owner	Peeler/Riverwood Investments		
Requested Action	 Comp Plan Amendment to change the FLUM from Residential Medium to Industrial. Rezoning to change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse. 		
Hearing Date	07-08-2025		
Staff Analysis/Determination	Sufficient for Review		
Prepared By	Robert Angelo		

Subject Property Information		
Size	+/- 3.329 Acres	
Location		
Parcel Number	01-4S-16-02703-012 and 01-4S-16-02703-004	
Future Land Use	Residential Medium	
Proposed Future Land Use	Industrial	
Current Zoning District	Residential Mobile Home 3	
Proposed Zoning	Industrial Light Warehouse	
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A	

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Commercial	CI	Vacant	
E	Residential Low	RSF-2 Co	Vacant	
S	Residential Medium	RMH-3	Church	
W	Commercial and Industrial	CG ILW	Repair Shops	

Zoning Review			
Zoning Requirements	Current Zoning	Proposed Zoning	
Minimum lot requirements.	6000 Sq Ft	None	
Minimum yard requirements (setbacks) Front-Each Side-Rear.	F-20, S-10, R-15	F-20, S-15, R-15	
Are any structure within 35 feet of a wetland?	NA	NA	
Max height of signs.	NA	35 Feet	
Max square footage of signs.	NA	1.5 SQFT times lot frontage	
Lot coverage of all buildings.	40%	1.0	
Minimum landscape requirements.	None	25 feet if abutting a residential district or none if not.	
Minimum number of parking spaces.	It depends on the permitted use.	It depends on the permitted use.	
Minimum number of ADA parking spaces.	1 Space for every 25 up to 100	1 Space for every 25 up to 100	
Parking space size requirement.	10x20	10x20	
ADA parking space size.	12x20 with 5x20 access aisle.	12x20 with 5x20 access aisle.	





Applicant has petitioned to change the FLUM from Residential Medium to Industrial and change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse.



DEPARTMENT OF GROWTH MANAGEMENT

205 North Marion Avenue Lake City, Florida 32055 Telephone: (386) 719-5750 growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date:
Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)
Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)
Project Number: CPA 25-04 and Z 25-06
Project Name: Century Glen Rezoning
Project Address: 1509 and 1563 SE Century Glen
Project Parcel Number: 02703-004 and 02703-012
Owner Name: Earl Peeler and Riverwood Investment
Owner Address:
Owner Contact Information: Telephone Number:Email:
Owner Agent Name: Carol Chadwick, PE
Owner Agent Address: 1208 SW Fairfax Glen, Lake City
Owner Agent Contact Information: Telephone: 307-680-1772 Email: ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Reviewed by: Suft Humason	Date: 7/1/2025
No comment at this time	
— DocuSigned by:	Date:
anning and Zoning: Reviewed by: Robin Angelo FID I ED 3808E48E.	Date:
he parcels are contiguous to an ILW zoning district.	
usiness License: Reviewed by Markell Sea	Date: 6/23/2025
Business will need to apply for a business tax receipt	
ode Enforcement: Reviewed by: Markell Saa	Date: 6/23/2025
No liens, codes or violations on the properties.	
ermitting: Reviewed by: [wy Frauce	Date: 6/23/2025
No comments at this time.	

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Reviewed by:	Date:D
no comment at this time	
DocuSigned by:	C /24 /2025
Sewer Department: Reviewed by: Long Pridgen	Date: 6/24/2025
Sewer plant has capacity	
Gas Department: Reviewed by Stur Brown	Date: 7/1/2025
No comment.	
Water Distribution/Collection: Reviewed by:	Date:
Customer Service: Reviewed by: Shasta Pullam	Date: 6/30/2025
No comment at this time	

Public Safety – Public Works, Fire Department, Police Department

Public Works: Reviewed by:	Stru Brown BBS700CE8F2F4B5	Date:
No comment.		
Fire Department: Reviewed b	DY: Rt Tompkins	
Nothing to comment at th	F7031F1188E649F	
Police Department: Reviewed	d by:	Date:

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

DOT: Reviewed by:	Date:
uwannee River Water Management: Reviewed by:	Signed by: 6/24/2025 GATA FUTSON Date:
n ERP application for Parcel 01-45-16-02703-00 y SRWMD to verify that the project meets the caster stormwater management system. Additional omplaint on the master system that District stroperty owner.	riteria to discharge to the ly, there is an ongoing
chool Board: Reviewed by:	
lo comments at this time.	
ounty Engineer: Reviewed by:	Date
ounty Engineer. Reviewed by.	Date
County Planner: Reviewed by: Wiliam Goodin	Date: 6/24/2025
OSSOCRESTET-MEF.	
county has no comment at this time	

State and County-FDOT, Suwannee River Water Management, School Board, Columbia County

File Attachments for Item:

iv. Z 25-06, an application by Carol Chadwick, PE, as agent for Earl Peeler and Riverwood Investments of Jacksonville, LLC, to amend the Official Zoning Atlas of the Land Development Regulations by changing the zoning district from RESIDENTIAL MOBILE HOME 3 (RMH-3) to INDUSTRIAL LIGHT WAREHOUSE (ILW) on property located on parcels 02703-004 and 02703-012.



GROWTH MANAGEMENT

205 North Marion Ave Lake City, Florida 32055 Telephone (386) 719-5750 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
Application # Z
Application Fee \$
Receipt No
Filing Date
Completeness Date
-

Less Than or Equal to 10 Acres: \$750.00 Greater T

Greater Than 10 Acres: \$1,000.00 or actual cost

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

Α.	1.	JECT INFORMATION Project Name: CENTURY GLEN		
	2.	Address of Subject Property: 1509 SW CENTURY GLEN & 1563 SW CENTURY GLEN, LAKE CITY, FL 32025 Parcel ID Number(s): 04-4S-16-02703-012 & 01-4S-16-02703-004 Future Land Use Map Designation: RESIDENTIAL - MEDIUM		
	3.			
	4.			
	5.	Existing Zoning Designation: RMH-3		
	6. Proposed Zoning Designation: ILW			
	7.	Acreage: 3.329		
	8. Existing Use of Property: AMBULANCE DISPATCH & VACANT 9. Proposed use of Property: AMBULANCE DISPATCH & LIGHT INDUSTRIAL			
		PLEASE NOTE: Florida has a very broad public re		
		or from government officials regarding government requests. Your e-mail address and communication	nent business is subject to public records	
	3.	If the applicant is agent for the property owner*.	iis may be subject to public disclosure.	
	0.	Property Owner Name (title holder): SEE ATTACH	ED	
		Mailing Address:		
		City: State: Telephone: Fax:	Zip:	
		Telephone: (Email:	
		PLEASE NOTE: Florida has a very broad public re or from government officials regarding governmentequests. Your e-mail address and communication	cords law. Most written communications to nent business is subject to public records	

C. ADDITIONAL INFORMATION

1.	Is there any additional contract for the sale of, or options to purchase, the subject property?
	If yes, list the names of all parties involved: N.A.
	If yes, is the contract/option contingent or absolute: □ Contingent □ Absolute
2.	Has a previous application been made on all or part of the subject property: □Yes ■No
	Future Land Use Map Amendment:
	Future Land Use Map Amendment Application No. CPA
	Site Specific Amendment to the Official Zoning Atlas (Rezoning): □Yes■No
	Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No
	Variance: □Yes ■ No
	Variance Application No.
	Special Exception: Yes No
	Special Exception Application No.

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Boundary Sketch or Survey with bearings and dimensions.
- 2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
- 3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.
- 4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:
 - a. Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.
 - b. The existing land use pattern.
 - c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
 - d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
 - e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
 - f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
 - g. Whether the proposed change will adversely influence living conditions in the neighborhood.
 - h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
 - i. Whether the proposed change will create a drainage problem.
 - j. Whether the proposed change will seriously reduce light and air to adjacent areas.

- k. Whether the proposed change will adversely affect property values in the adjacent area.
- l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
- m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
- n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
- o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.
- p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
 - i. The need and justification for the change.
 - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.
- 5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
- 6. Proof of Ownership (i.e. deed).
- 7. Agent Authorization Form (signed and notarized).
- 8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
- 9. Fee. The application fee for a Site Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

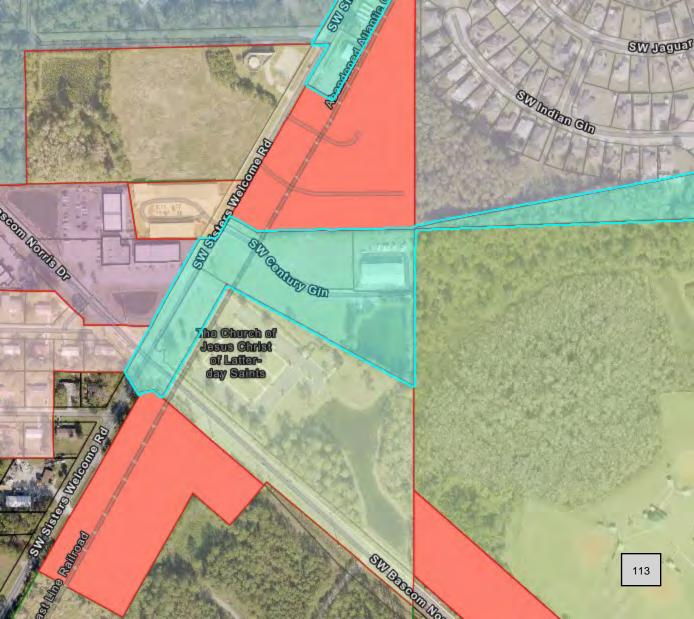
All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORETHE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)	No. 82560 * * ** ** ** ** ** ** ** ** ** ** **	
	Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A01410D0000018D4	
Applicant/Agent Signature	63B4E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:24:52 -04'00'	Date
STATE OF FLORIDA COUNTY OF The foregoing instrument was acknowledged before	me this day of 20	by (name of person acknowledging)
the foregoing monatument was actual wroaged solore	me ans, 20	_, of (mane of person define medging).
(NOTARY SEAL or STAMP)	Signature of N Printed Name	
Personally Known OR Produced Identification Type of Identification Produced	-	



CAROL CHADWICK, P.E.

Givil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Concurrency Impact Analysis

One parcel is currently vacant. The other parcel is an ambulance dispatch using the City' sewer and water system. The proposed commercial site will utilize City sewer and water. There is not enough information to estimate water or sewer use. A traffic study, if necessary, will need to be conducted with the site plan.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 820
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:

• Trip generation: 6103 ADT \$ 619 Peak PM trips

Potable Water: ? gallons per day
Potable Water: ? gallons per day
Solid Waste: ? tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

Digitally signed by Carol Chadwick DN: c=US, o=Florida, dnQualifier=A0141 OD0000018D463B4 E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:24:34 -04'00'

Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies. CC Job #FL25218

CAROL CHADWICK, P.E.

Civil Engineer
1208 S.W. Fairfax Glen
Lake City, FL 32025
307.680.1772
ccpewyo@gmail.com
www.carolchadwickpe.com

June 10, 2025

re: CENTURY GLEN Analysis of the Requirements of Article 12 of the Land Development Regulations

The CENTURY GLEN proposed zoning change is consistent with the City of Lake City's requirements of Article I 2 of the Land Development Regulations.

a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.

b) The existing land use pattern.

Analysis: The subject property is located on SW Sisters Welcome Road. The property across the road is currently zoned ILW.

- c) Possible creation of an isolated district unrelated to adjacent and nearby districts.
 - Analysis: The property across the road is currently zoned ILW.
- d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.
 - Analysis: The site will be used for a light industrial and commercial and will not increase the population density or add additional loads to schools. Additional utility use and traffic will result with the ultimate build-out. The site will utilize Lake City's water and sewer systems.
- e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
 - Analysis: The site is suited for light industrial and commercial uses.
- f) Whether changed or changing conditions make the passage of the proposed amendment necessary.
 - Analysis: The change will allow for the opening of new businesses.
- q) Whether the proposed change will adversely influence living conditions in the neighborhood.

Analysis: The subject property will have direct access to SW Sisters Welcome Road and will not negatively affect living conditions.

h) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

Sisters Welcome Road 47.

i) Whether the proposed change create a drainage problem.

Analysis: No drainage problems will be created with the zoning change. The site utilizes a previously permitted stormwater management system. All applicable permits for stormwater management will be obtained during the site plan process for future development.

j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

Analysis: The site development will not reduce of light or air to adjacent areas.

k) Whether the proposed change will adversely affect the property values in the adjacent area.

Analysis: The site will have all required buffering from the residences bordering the site.

I) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties as the area has many light industrial and commercial uses.

m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

Analysis: The proposed change will not grant special privileges to the owner as other properties along the SW Sisters Welcome Road corridor are currently used for commercial activities.

n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

Analysis: The current zoning doe not allow light industrial or commercial uses.

o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the City.

Analysis: One parcel is currently used for ambulance dispatch. The subject property's ultimate use will be determined during the site plan process.

- p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The Planning and Zoning Board shall consider and study:
 - 1. The need and justification for the change.
 - The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these

land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

Analysis: The logical use is light industrial and commercial bringing new businesses to the area.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Carol Chadwick, P.E.

This item has been digitally signed and sealed by Carol Chadwick, P.E. on the date adjacent to the seal. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL25218

COLUMBIA COUNTY Property Appraiser

Parcel 01-4S-16-02703-012

Owners

RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC PO BOX 2821 PONTE VEDRA BEACH, FL 32004

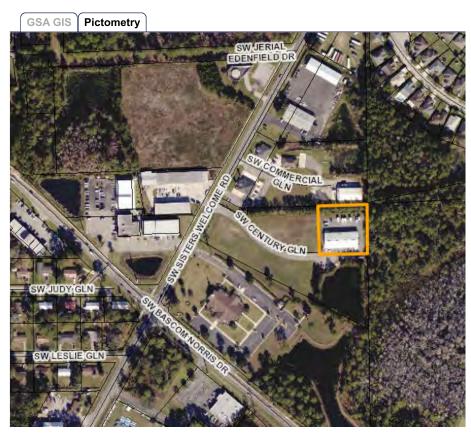
Parcel Summary

Location	1509 SW CENTURY GLN
Use Code	1700: OFFICE BLD 1STY
Tax District	1: CITY OF LAKE CITY
Acreage	1.0000
Section	01
Township	4S
Range	16
Subdivision	DIST 2

Legal Description

BEG AT NE COR OF SE1/4, RUN W 208.75 FT, S 208.75 FT, E 208.75 FT, N 208.75 FT TO POB.

1024-2512, WD 1539-44,



30° 10′ 18″ N 82° 39′ 29″ W

Working Values

rronning rand	
	2025
Total Building	\$313,802
Total Extra Features	\$24,194
Total Market Land	\$73,508
Total Ag Land	\$0
Total Market	\$411,504
Total Assessed	\$411,504
Total Exempt	\$0
Total Taxable	\$411,504
SOH Diff	\$0

Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$300,983	\$299,730	\$280,562	\$233,361	\$235,971	\$232,393
Total Extra Features	\$24,194	\$24,194	\$24,434	\$24,434	\$24,434	\$24,434
Total Market Land	\$73,508	\$73,508	\$73,508	\$73,508	\$73,485	\$73,485
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$398,685	\$397,432	\$378,504	\$331,303	\$333,890	\$330,312
Total Assessed	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$398,685	\$397,432	\$364,433	\$331,303	\$333,890	\$330,312
SOH Diff	\$0	\$0	\$14,071	\$0	\$0	\$0

Document/Transfer/Sales History

Instrument / Official Record	Date	Q/LI	Reason	Туре	<u>V/I</u>	Sale Price	Ownership.
<u>WD</u> 1539/44	2025-04-29	Q	01	WARRANTY DEED	Improved	\$750,000	Grantor: SELLERS HERBERT S III REVOCABLE TRUST Grantee: RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC
WD 1024/2512	2004-08-30	Ŭ	09	WARRANTY DEED	Vacant	\$100,000	Grantor: LESLIE EARL PEELER Grantee: SELLERS HERBERT S III REVOCABLE TRUST

Buildings

Building # 1, Section # 1, 233289, WAREHOUSE

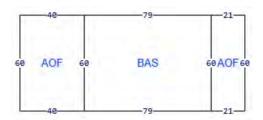
Туре	Model	Heated Area	Gross Area	Repl Cost New	YrBit	Year Eff	Other % Dpr	Normal % Dpr	% Cond	Value
8700	06	8400	8400	\$387,410	2006	2006	0.00%	19.00%	81.00%	\$313,802

Structural Elements

Type	Description	Code	Details
EW	Exterior Wall	25	MOD METAL
EW	Exterior Wall	20	FACE BRICK
RS	Roof Structure	10	STEEL FRME
RC	Roof Cover	12	MODULAR MT
IW	Interior Wall	01	MINIMUM
IF	Interior Flooring	03	CONC FINSH
CE	Ceiling	04	NONE
AC	Air Conditioning	01	NONE
HT	Heating Type	01	NONE
PL	Plumbing	4.00	
FR	Frame	05	STEEL
SH	Story Height	18.00	
RMS	RMS	7.00	
STR	Stories	1.	1.
COND	Condition Adjustment	03	03

Sub Areas

Туре	Gross Area	Percent of Base	Adjusted Area
AOF	1,260	150%	1,890
AOF	2,400	150%	3,600
BAS	4,740	100%	4,740



Extra Features 119

Code	Description	Length	Width	Units	Unit Price	AYB	% Good Condition	Final Value
0260	PAVEMENT-ASPHALT			15887.00	\$1.50	2006	100%	\$23,831
0166	CONC,PAVMT			145.00	\$2.50	2006	100%	\$363

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
1700	1STORY OFF		.00	.00	43,560.00	\$2.25/ <u>SF</u>	1.00	0.75	\$73,508

Personal Property

Account	Unsecured	Owner	Description
00400 400		CENTURY AMBULANCE SERVICE INC	B BUICINIECC

Permits

Date	Permit	Туре	Status	Description
Jul 3, 2018	18-89	COMMERCIAL	COMPLETED	COMMERCIAL
Sep 7, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL
Feb 17, 2006	3507	COMMERCIAL	COMPLETED	COMMERCIAL

TRIM Notices

202420232022

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.

 ${\it Copyright} @ 2022 \, {\it Columbia County}. \, {\it All rights reserved}.$

Inst. Number: 202512009600 Book: 1539 Page: 44 Page 1 of 3 Date: 4/29/2025 Time: 3:41 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 5,250.00

Prepared By and Return To: Esquire Title & Trust 501 W. Bay Street Jacksonville, FL 32202

Order No.: 25-0079

Property Appraiser's Parcel I.D. (folio) Number: 01-4S-16-02703-012

WARRANTY DEED

THIS WARRANTY DEED dated this the 29th day of April, 2025, by Herbert S. Sellers III, Individually and as Trustee of the Herbert S. Sellers III Revocable Trust, and having its principal place of business at 6063 Kingsley Lake Drive, Kingsley Lake, FL 32091 (the "Grantor"), to Riverwood Investments of Jacksonville LLC, a Florida Limited Liability Company, whose post office address is PO Box 2821, Ponte Vedra Beach, FL 32004 (the "Grantee").

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporations)

WITNESSETH: That the Grantor, for and in consideration of the sum of Ten And No/100 Dollars (\$10.00) and other valuable consideration, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee, all that certain land situated in County of Columbia, State of Florida, viz:

All that certain property located in Columbia County, Florida, to-wit:

The certain piece, parcel, or tract of land lying and being in the Southeast 1/4 of Section 1, Township 4 South Range 16 East Columbia County, Florida and being particularly described as:

Begin at the Northeast corner of the SE 1/4, Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run thence South 88°57'48" West, along the North line of said SE 1/4, 208.75 feet; thence South 00°34'56" West, parallel to the East line of said SE 1/4 208.75 feet, thence North 88°57'48" East, parallel to said North line, 208.75 feet to said East line; thence North 00°34'56" East, along said East line 208.75 feet to the point of beginning.

Together with and subject to that certain Easement Deed recorded in the Official Records Book 1042 Page 214 of Columbia County, Florida.

The property described herein is not now, nor has it ever been, the primary residence/homestead of the owner or the owner's spouse or dependent child, if any.

Subject to easements, restrictions, reservations and limitations of record, if any.

TOGETHER with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in Fee Simple forever.

Inst. Number: 202512009600 Book: 1539 Page: 45 Page 2 of 3 Date: 4/29/2025 Time: 3:41 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 5,250.00

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to: December 31, 2024.

Inst. Number: 202512009600 Book: 1539 Page: 46 Page 3 of 3 Date: 4/29/2025 Time: 3:41 PM James M Swisher Jr Clerk of Courts, Columbia County, Florida Doc Mort: 0.00 Int Tax: 0.00 Doc Deed: 5,250.00

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered in presence of: Herbert S. Sellers III Revocable Trust Witness Signature Herbert S. Sellers III KEVIN HARIENS Trustee and Individually Printed Name of First Witness 501 W Buy **Grantor Address:** Address of First Witness 6063 Kingsley Lake Drive Kingsley Lake, FL 32091 Witness Signature Printed Name of Second Witness 501 w Day St, Jax, FC 32202 Address of Second Witness State of Florida County of Duva valid driver's license as identification. [NOTARY SEAL] Notary Wublie Printed Name: Joseph M. Danese, III My Commission Expires: Notary Public State of Florida My Commission Expires 08/11/2025 Commission No. HH 116452



Department of State / Division of Corporations / Search Records / Search by Entity Name /

Detail by Entity Name

Florida Limited Liability Company
RIVERWOOD INVESTMENTS OF JACKSONVILLE LLC

Filing Information

Document NumberL13000060673FEI/EIN NumberAPPLIED FORDate Filed04/25/2013Effective Date04/20/2013

State FL

Status ACTIVE

Principal Address

3655 University Blvd West JACKSONVILLE, FL 32217

Changed: 04/23/2019

Mailing Address

Box 2821

Ponte Vedra Beach, FL 32004

Changed: 04/23/2019

Registered Agent Name & Address

ADAMS, SCOTT 4323 SHIRLEY AVE

JACKSONVILLE, FL 32210

Name Changed: 04/24/2025

Address Changed: 04/24/2025

<u>Authorized Person(s) Detail</u>

Name & Address

Title MGRM

WOOLVERTON, DERICK
P.O BOX 2821
PONTE VEDRA BEACH, FL 32004

Annual Reports

Report Year	Filed Date
2023	04/26/2023
2024	04/03/2024
2025	04/24/2025

Document Images

04/24/2025 ANNUAL REPORT	View image in PDF format
04/03/2024 ANNUAL REPORT	View image in PDF format
04/26/2023 ANNUAL REPORT	View image in PDF format
04/12/2022 ANNUAL REPORT	View image in PDF format
04/28/2021 ANNUAL REPORT	View image in PDF format
06/23/2020 ANNUAL REPORT	View image in PDF format
04/23/2019 ANNUAL REPORT	View image in PDF format
04/25/2018 ANNUAL REPORT	View image in PDF format
04/21/2017 ANNUAL REPORT	View image in PDF format
04/15/2016 ANNUAL REPORT	View image in PDF format
04/15/2015 ANNUAL REPORT	View image in PDF format
03/27/2014 ANNUAL REPORT	View image in PDF format
04/25/2013 Florida Limited Liability	View image in PDF format

Florida Department of State, Division of Corporations

COLUMBIA COUNTY Property Appraiser

Parcel 01-4S-16-02703-004

Owners

PEELER LESLIE EARL P O BOX 2238 LAKE CITY, FL 32056-2238

Parcel Summary

Location	1563 SW CENTURY GLN
Use Code	0000: VACANT
Tax District	1: CITY OF LAKE CITY
Acreage	2.3290
Section	01
Township	4S
Range	16
Subdivision	DIST 2
Lineage	Split from 01-4S-16-02703-004

Legal Description

BEG NE COR OF SE1/4, W 541.66 FT, SW 200 FT, SE 727.01 FT, N 536 FT TO POB EX 1 AC DESC ORB 1024-2512 & COMM AT NE COR OF SE1/4, W 541.66 FT FOR POB, NW 100 FT TO E R/W OF SW SISTERS WELCOME RD, SW ALONG R/W 200 FT, SE 100 FT, NE 200 FT TO POB. EX 448 SQ FT DESC IN WD 1163-834 EX 2.13 AC DESC IN WD 1523-539.

669-578, 676-620, 867-335, 1039-1855, 1163-834,



30° 10′ 18″ N 82° 39′ 32″ W

Working Values

•	
	2025
Total Building	\$0
Total Extra Features	\$0
Total Market Land	\$44,042
Total Ag Land	\$0
Total Market	\$44,042
Total Assessed	\$44,042
Total Exempt	\$0
Total Taxable	\$44,042
SOH Diff	\$0

Value History

	2024	2023	2022	2021	2020	2019
Total Building	\$0	\$0	\$0	\$0	\$0	\$0
Total Extra Features	\$0	\$0	\$0	\$0	\$0	\$0
Total Market Land	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Ag Land	\$0	\$0	\$0	\$0	\$0	\$0
Total Market	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Assessed	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
Total Exempt	\$0	\$0	\$0	\$0	\$0	\$0
Total Taxable	\$82,968	\$82,968	\$82,968	\$71,740	\$71,687	\$71,687
SOH Diff	\$0	\$0	\$0	\$0	\$0	\$0

Document/Transfer/Sales History

Instrument / Official Record	Date	Q/U	Reason	Туре	V/I	Sale Price	Ownership
WD 1163/0834	2008-12-04	Q	03	WARRANTY DEED	Vacant	\$100	Grantor: LESLIE E PEELER Grantee: CITY OF LAKE CITY
<u>WD</u> 1039/1855	2004-12-10	Q	03	WARRANTY DEED	Vacant	\$50,000	Grantor: FEAGLE & SMITH Grantee: PEELER
<u>WD</u> 0867/0335	1998-10-05	Q		WARRANTY DEED	Vacant	\$28,500	Grantor: WANDA KATO Grantee: PEELER
<u>WD</u> 0669/0577	1988-02-26	U		WARRANTY DEED	Vacant	\$10,000	Grantor: FEAGLE MARLIN & Grantee: BURNETT & DUBOSE

Buildings

None

Land Lines

Code	Description	Zone	Front	Depth	Units	Rate/Unit	Acreage	Total Adj	Value
0000	VAC RES	00	.00	.00	1.87	\$21,500.00/ <u>AC</u>	1.87	0.85	\$34,174
1000	VACANT COMMERCIAL		.00	.00	0.46	\$21,500.00/ <u>AC</u>	0.46	1.00	\$9,868

Personal Property

None

Permits

None

TRIM Notices

2024

2023

2022

Disclaimer

All parcel data on this page is for use by the Columbia County Assessor for assessment purposes only. The summary data on this page may not be a complete representation of the parcel or of the improvements thereon. Building information, including unit counts and number of permitted units, should be verified with the appropriate building and planning agencies. Zoning information should be verified with the appropriate planning agency. All parcels are reappraised each year. This is a true and accurate copy of the records of the Columbia County Assessor's Office as of June 08, 2025.

Copyright © 2022 Columbia County. All rights reserved.

Inst. Number: 200812021792 Book: 1163 Page: 834 Date: 12/4/2008 Time: 10:46:00 AM Page 1 of 3

THIS INSTRUMENT PREPARED BY AND RETURN TO:

MARLIN M. FEAGLE, ESQUIRE FEAGLE & FEAGLE, ATTORNEYS, P.A.

153 NE Madison Street Post Office Box 1653 Lake City, Florida 32056-1653 Florida Bar No. 0173248

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, existence of liens, the quantity of lands included, or the location of the boundaries. The names, addresses, tax identification numbers and legal description were furnished by the parties to this instrument.

Inst:200812021792 Date:12/4/2008 Time:10:46 AM
Doc Stamp-Deed:0.70
______DC,P.DeWitt Cason,Columbia County Page 1 of 3 B:1163 P:834

WARRANTY DEED

THIS INDENTURE, made this ______ day of December, 2008, between LESLIE

EARL PEELER, a married person not residing on the property, whose mailing address is Post

Office Box 2238, Lake City, Florida 32056-2238, party of the first part, Grantor, and THE

CITY OF LAKE CITY, a municipal corporation existing under the laws of the State of Florida, whose mailing address is Post Office Box 1687, Lake City, Florida 32056-1687, party of the second part, Grantee,

WITNESSETH:

That said grantor, for and in consideration of the sum of **TEN AND NO/100** (\$10.00) **DOLLARS**, and other good and valuable considerations to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, has granted, bargained and sold to the said grantee, and grantee's heirs, successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

COMMENCE at the Northeast corner of the Southeast 1/4 of Section 1, Township 4 South, Range 16 East, Columbia County, Florida and run S.88°58'33"W. along the North line of said Southeast 1/4 a distance of 507.76 feet to the POINT OF BEGINNING; thence S.00°56'09"W. 27.18 feet to a point on the Northeasterly Right-of-Way line of SW Century Glen; thence N.50°44'43"W. along said Northeasterly Right-of-Way line 42.02 feet to the point of intersection of said Right-of-Way line with the North line of said Southeast 1/4 and also with the

Inst. Number: 200812021792 Book: 1163 Page: 835 Date: 12/4/2008 Time: 10:46:00 AM Page 2 of 3

former Easterly line of the Seaboard Coastline Railroad (now abandoned); thence N.88°58'33"E. along the North line of said Southeast 1/4 a distance of 32.98 feet to the POINT OF BEGINNING. Containing 448 Square Feet, more or less.

N.B. The Grantor warrants that at the time of this conveyance, the subject property is not the Grantor's homestead within the meaning set forth in the Constitution of the State of Florida, nor is it contiguous to or a part of homestead property.

Tax Parcel No.: 01-4S-16-02703-004 (parent parcel)

TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to December 31, 2007.

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered

in the presence of:

Witness

DIANES. ENENFIELD

Show lane

Witness Charlene

Print or type name

LESLIE EARL PEELER

SEAL)

Inst. Number: 200812021792 Book: 1163 Page: 836 Date: 12/4/2008 Time: 10:46:00 AM Page 3 of 3

STATE OF FLORIDA COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me this ______day of December 2008, by **LESLIE EARL PEELER** who is personally known to me or who has produced a Florida driver's license as identification.

Diane S. Edenfield
Commission # DD514461
NOT
ELEXPITES May 26, 2010
SEA Troy Fair Insulance Inc. 800-385-7019

Notary Public, State of Florida

My Commission Expires:



GROWTH MANAGEMENT DEPARTMENT 205 North Marion Ave, Lake City, FL 32055

Phone: 386-719-5750 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

parcel number), do certify that e contracted/hired by me, the owner, or, Florida Statutes Chapter 468, and the resent me as the owner in all matters
Florida Statutes Chapter 468, and the
nature of Authorized Person
Digitally signed by Carol Chadwick DN: =US, o=Florida, dnQualifier=A01410D0000018D463B4
E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:23:38 -04'00'
nents my duly authorized agent agrees Florida Statutes, City Codes, and Land no longer agents, employee(s), or he changes and submit a new letter of ts. Failure to do so may allow number to obtain permits.
6/09/2025
Date
ns
rfen has produced identification has produced identification day of June , 2025.
(Seal/Stamp)



GROWTH MANAGEMENT DEPARTMENT 205 North Marion Ave, Lake City, FL 32055

Phone: 386-719-5750

E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

1. EARL Peeles	(owner name), owner of property parcel
number 01-4S-16-02703-004	(parcel number), do certify that
the below referenced person(s) listed on this for is an officer of the corporation; or, partner as desaid person(s) is/are authorized to sign, speak relating to this parcel.	
Printed Name of Person Authorized	Signature of Authorized Person
_{1.} CAROL CHADWICK, PE	Digitally signed by Carol Chadwick DN: C=US, o=Plorida, description of the control of the contro
2.	84E7500032FEE, cn=Carol Chadwick Date: 2025.06.10 15:23:53 -04'00'
3.	3.
4.	4.
5.	5.
Development Regulations pertaining to this part of the person (s) you have authorized officer(s), you must notify this department in writing authorization form, which will supersede all prefunauthorized persons to use your name and/or	d is/are no longer agents, employee(s), or iting of the changes and submit a new letter of vious lists. Failure to do so may allow
Owner Signature (Notarized)	Date
NOTARY INFORMATION: STATE OF: Florida COUNTY OF The above person, whose name is Earl personally appeared before me and sknown b	Pecler,

Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-012 SELLERS HERBERT S III REVOCABLE TRUST					
Year: 2024	Bill Number: 942	25	Owner: SELLERS HERBERT S		
Tax District: 1	Property Type: FEstate	Real	III REVOCABLE TRUST		
MAILING ADDRESS	S:	PROPE	RTY ADDRESS:		
SELLERS HERBER	T S III	1509 C	ENTURY		
REVOCABLE TRUS	ST	LAKE C	SITY 32025		
6063 KINGSLEY LAKE DR					
STARKE FL 32091					

d Valorem				
Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$1,875.42	\$1,875.42	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$2,991.09	\$2,991.09	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$286.28	\$286.28	\$0.00
LOCAL	3.1430	\$1,202.95	\$1,202.95	\$0.00
CAPITAL OUTLAY	1.5000	\$574.11	\$574.11	\$0.00
Subtotal	5.3910	\$2,063.34	\$2,063.34	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$112.37	\$112.37	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.04	\$0.04	\$0.00
TOTAL	18.3997	\$7,042.26	\$7,042.26	\$0.00
on-Ad Valorem	Charg	ed	Paid	Due
CITY FIRE ASSESSMENT	\$1,551	.51 \$1,5	51.51	\$0.00
TOTAL	\$1,551	51 ¢15	51.51	\$0.00



 This Bill:
 \$0.00

 All Bills:
 \$0.00

 Cart Amount:
 \$0.00

Bill 9425 -- No Amount Due

Pay All Bills

♣ Print Bill / Receipt

■ Register for E-Billing

Property Appraiser



© 2025 - Powered by Phenix.net

Tax Bill Detail

Year	Due
2024	\$0.00
2023	\$0.00
2022	\$0.00
2021	\$0.00
2020	\$0.00
2019	\$0.00
2018	\$0.00
2017	\$0.00
2016	\$0.00
2015	\$0.00

Property Tax Account: R02703-004 PEELER LESLIE EARL			
Year : 2024	Bill Number: 9420	Owner: PEELER LESLIE EARL	
Tax District: 1	Property Type: Real		
	Estate		
MAILING ADDRES	S: PROF	PERTY ADDRESS:	
PEELER LESLIE E	ARL 1563 (CENTURY	
P O BOX 2238	LAKE	CITY 32025	
LAKE CITY FL 3205	56-2238		

axes Assessments Legal Descrip	otion Paym	ent History		
Ad Valorem				
Authority/Fund	Tax Rate	Charged	Paid	Due
CITY OF LAKE CITY	4.9000	\$406.54	\$406.54	\$0.00
BOARD OF COUNTY COMMISSIONERS	7.8150	\$648.39	\$648.39	\$0.00
COLUMBIA COUNTY SCHOOL BOARD				
DISCRETIONARY	0.7480	\$62.06	\$62.06	\$0.00
LOCAL	3.1430	\$260.77	\$260.77	\$0.00
CAPITAL OUTLAY	1.5000	\$124.45	\$124.45	\$0.00
Subtotal	5.3910	\$447.28	\$447.28	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.2936	\$24.36	\$24.36	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0001	\$0.01	\$0.01	\$0.00
TOTAL	18.3997	\$1,526.58	\$1,526.58	\$0.00
Non-Ad Valorem				
Authority/Fund	Charg		Paid	Due
CITY FIRE ASSESSMENT	\$61		51.26	\$0.00
TOTAL	\$61	26 \$6	51.26	\$0.00



 This Bill:
 \$0.00

 All Bills:
 \$0.00

 Cart Amount:
 \$0.00





© 2025 - Powered by Phenix.net

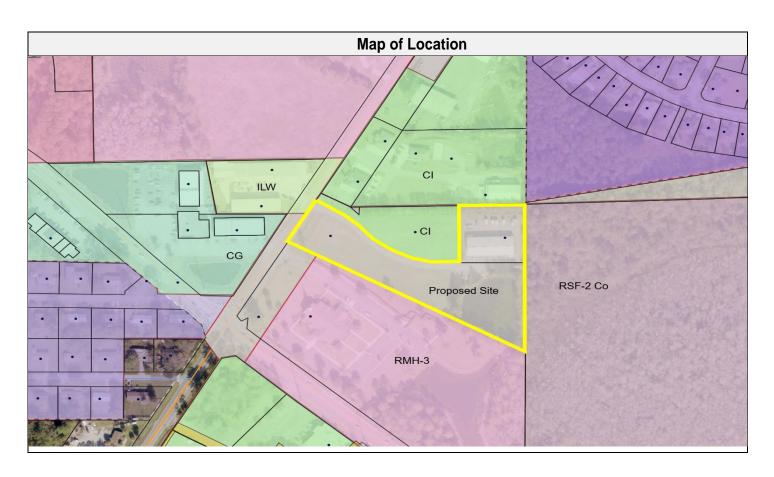
LAKE CITY GROWTH MANAGEMENT STAFF ANALYSIS REPORT

	Project Information	
Project Name and Case No.	Peeler/Riverwood Investments CPA 25-04 and Z 25-06	
Applicant	Carol Chadwick, PE, agent	
Owner	Peeler/Riverwood Investments	
Requested Action	 Comp Plan Amendment to change the FLUM from Residential Medium to Industrial. Rezoning to change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse. 	
Hearing Date	07-08-2025	
Staff Analysis/Determination	Sufficient for Review	
Prepared By	Robert Angelo	

Subject Property Information		
Size	+/- 3.329 Acres	
Location		
Parcel Number	01-4S-16-02703-012 and 01-4S-16-02703-004	
Future Land Use	Residential Medium	
Proposed Future Land Use	Industrial	
Current Zoning District	Residential Mobile Home 3	
Proposed Zoning	Industrial Light Warehouse	
Flood Zone-BFE	Flood Zone X Base Flood Elevation-N/A	

Land Use Table				
Direction	Future Land Use	Zoning	Existing Use	Comments
N	Commercial	CI	Vacant	
E	Residential Low	RSF-2 Co	Vacant	
S	Residential Medium	RMH-3	Church	
W	Commercial and Industrial	CG ILW	Repair Shops	

Zoning Review			
Zoning Requirements	Current Zoning	Proposed Zoning	
Minimum lot requirements.	6000 Sq Ft	None	
Minimum yard requirements (setbacks) Front-Each Side-Rear.	F-20, S-10, R-15	F-20, S-15, R-15	
Are any structure within 35 feet of a wetland?	NA	NA	
Max height of signs.	NA	35 Feet	
Max square footage of signs.	NA	1.5 SQFT times lot frontage	
Lot coverage of all buildings.	40%	1.0	
Minimum landscape requirements.	None	25 feet if abutting a residential district or none if not.	
Minimum number of parking spaces.	It depends on the permitted use.	It depends on the permitted use.	
Minimum number of ADA parking spaces.	1 Space for every 25 up to 100	1 Space for every 25 up to 100	
Parking space size requirement.	10x20	10x20	
ADA parking space size.	12x20 with 5x20 access aisle.	12x20 with 5x20 access aisle.	





Applicant has petitioned to change the FLUM from Residential Medium to Industrial and change the Official Zoning Atlas from Residential Mobile Home 3 to Industrial Light Warehouse.



DEPARTMENT OF GROWTH MANAGEMENT

205 North Marion Avenue Lake City, Florida 32055 Telephone: (386) 719-5750 growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND HISTORICAL COMMITTEES' BY STAFF FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date:
Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)
Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)
Project Number: CPA 25-04 and Z 25-06
Project Name: Century Glen Rezoning
Project Address: 1509 and 1563 SE Century Glen
Project Parcel Number: 02703-004 and 02703-012
Owner Name: Earl Peeler and Riverwood Investment
Owner Address:
Owner Contact Information: Telephone Number:Email:
Owner Agent Name: Carol Chadwick, PE
Owner Agent Address: 1208 SW Fairfax Glen, Lake City
Owner Agent Contact Information: Telephone: 307-680-1772 Email: ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following.

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Reviewed by: Suft Humason	Date: 7/1/2025
No comment at this time	
— DocuSigned by:	Date:
anning and Zoning: Reviewed by: Robin Angelo FID I ED 3808E48E.	Date:
he parcels are contiguous to an ILW zoning district.	
usiness License: Reviewed by Markell Sea	Date: 6/23/2025
Business will need to apply for a business tax receipt	
ode Enforcement: Reviewed by: Markell Saa	Date: 6/23/2025
No liens, codes or violations on the properties.	
ermitting: Reviewed by: [wy Frauce	Date: 6/23/2025
No comments at this time.	

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Reviewed by: Mike l. Oshorn Jr.	Date: 6/24/2025
no comment at this time	
DocuSigned by:	C /24/2025
Sewer Department: Reviewed by: Lody Pridgen	Date: 6/24/2025
Sewer plant has capacity	
Gas Department: Reviewed by Stur Brown	Date:
No comment.	
Water Distribution/Collection: Reviewed by:	Date:
Customer Service: Reviewed by: Shasta Pullam	Date: 6/30/2025
No comment at this time	

Public Safety – Public Works, Fire Department, Police Department

Public Works: Reviewed by: Stur Brown	7/1/2025 Date:
No comment.	
Fire Department: Reviewed by: Let Tompeius	
Nothing to comment at this time.	
Police Department: Reviewed by:	Date:

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

DOT: Reviewed by:	Date:
	6/24/2025
uwannee River Water Management: Reviewed by:	
on ERP application for Parcel 01-4s-16-02703-00 SRWMD to verify that the project meets the master stormwater management system. Additional complaint on the master system that District storoperty owner.	criteria to discharge to the lly, there is an ongoing
chool Board: Reviewed by: Lith Halder	Date: 6/24/2025
No comments at this time.	
County Engineer: Reviewed by:	Date:
County Planner: Reviewed by: Ulliam Goodin	Date: 6/24/2025
county has no comment at this time	

State and County-FDOT, Suwannee River Water Management, School Board, Columbia County

File Attachments for Item:

v. M 25-01, an application by the City of Lake City Council for a moratorium on the acceptance and consideration of applications for mobile home and manufactured home land use actions or permits.

RESOLUTION NO 2025 - 062 CITY OF LAKE CITY, FLORIDA

A RESOLUTION OF THE CITY OF LAKE CITY, FLORIDA IMPLEMENTING A MORATORIUM ON THE ACCEPTANCE AND CONSIDERATION FOR APPROVAL OF APPLICATIONS FOR MOBILE HOME OR MANUFACTURED HOME LAND USE ACTIONS OR PERMIT APPROVALS IN THE CITY OF LAKE CITY; MAKING CERTAIN FINDINGS OF FACT IN SUPPORT OF THE CITY APPROVING SAID MORATORIUM: RECOGNIZING THE AUTHORITY OF THE CITY TO APPROVE AND IMPLEMENT SAID MORATORIUM; DIRECTING THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS ADMINISTRATOR TO CEASE ACCEPTANCE OF NEW APPLICATIONS FOR MOBILE HOME OR MANUFACTURED HOME LAND USE ACTIONS OR PERMIT APPROVALS AS OF THE EFFECTIVE DATE HEREOF; DIRECTING THE CITY ATTORNEY, THE CITY CLERK, THE CITY MANAGER, AND THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS ADMINISTRATOR OFFICIAL AND PLANNING STAFF TO COOPERATE TO PREPARE AN ORDINANCE IMPLEMENTING SUCH MORATORIUM; SPECIFYING A DURATION FOR SUCH MORATORIUM; REPEALING ALL PRIOR RESOLUTIONS IN CONFLICT; AND PROVIDING AN EFFECTIVE DATE.

WHEREAS, Chapter 163, Part II, Florida Statutes (the "Act") requires the City of Lake City (the "City") to adopt a single code of development regulations which is consistent with the City's adopted Comprehensive Plan; and

WHEREAS, in compliance with the Act the City has adopted the City of Lake City Land Development Regulations (the "LDR") as its single code of development regulations; and

WHEREAS, the LDR was initially adopted in April 1996 and has been minimally updated since it's adoption; and

WHEREAS, the LDR contains certain definitions and provisions providing for certain regulations for mobile homes and manufactured homes; and

WHEREAS, the LDR has not been evaluated in recent years to consider changes to the Florida Building Code, Florida Administrative Code, Manufactured Home Construction and Safety

Standards, and impacts, fees, available personnel and experts to evaluate applications, fees, and charges, and data available for analysis in land use decisions, among other things; and

WHEREAS, ceasing the acceptance and consideration of applications for mobile home and manufactured home Land Use Actions or Permits in the City is in the public interest and for the public welfare to ensure the continued orderly and managed growth and development of the City and to minimize the public costs of such growth and development to the City and its residents; now therefore

BE IT RESOLVED by the City Council of the City of Lake City, Florida:

- Ceasing the acceptance and consideration of applications for mobile home and manufactured home Land Use Actions or Permits is in the public or community interest and for public welfare; and
- The City of Lake City Land Development Regulations Administrator is directed to cease acceptance of applications for mobile home and manufactured home Land Use Actions or Permits as of the effective date hereof; and
- 3. In furtherance thereof, the City Council of the City of Lake City directs the City Attorney, the City Clerk, the City Manager, and the City of Lake City Land Development Regulations Administrator and Planning Staff to cooperate to prepare an ordinance implementing a moratorium on the acceptance and consideration of applications for mobile home and manufactured home Land Use Actions or Permits; and
- 4. The effective date of the moratorium in such ordinance shall be the date hereof; and
- 5. The duration of the moratorium shall be one year from the effective date hereof; and
- The ordinance contemplated herein shall be presented to the City of Lake City Planning and Zoning Board at the earliest possible time for a recommendation by such board to the City Council concerning such ordinance; and
- 7. The City Attorney, the City Clerk, the City Manager, and the City of Lake City Land Development Regulations Administrator shall cooperate to engage consultants and contractors with the knowledge, time, resources and experience to guide the City Council through an evaluation of those portions of the LDR effecting mobile home and manufactured home Land Use Actions or Permits; and
- 8. All prior resolutions of the City Council of the City of Lake City in conflict with this

resolution are hereby repealed to the extent of such conflict; and

This resolution shall become effective and enforceable upon final passage by the City Council of the City of Lake City.

APPROVED AND ADOPTED, by an affirmative vote of a majority of a quorum present of the City Council of the City of Lake City, Florida, at a regular meeting, this 2134 day of April, 2025.

BY THE MAYOR OF THE CITY OF LAKE CITY, FLORIDA

Noah Walker, Mayor

ATTEST, BY THE CLERK OF THE CITY COUNCIL OF THE CITY OF LAKE CITY, FLORIDA:

Audrey Sikes, City clerk

APPROVED AS TO FORM AND LEGALITY:

Clay Martin, City Attorney

MEE	TING	DATE

4/21/25

CITY OF LAKE CITY Report to Council

COUNCIL AGENDA		
SECTION		
ITEM		
NO.		

SUBJECT:

Originator: Scott Thomason						
City Manager	Department Director	Date				
Don Rosenthal	Scott Thomason	4/15/25				
Recommended Action: Approval of Resolution 2025-062						
Summary Explanation & Background: Growth Management has been working on revising our Land Development Regulations to address placement of mobile and manufactured homes. Due to a recent influx of both we find it neccesary and reasonable to request a moratorium.						
Alternatives:						
Source of Funds: NA						
Financial Impact:						
NA Exhibits Attached:						
Resolution 2025-062						