

PLANNING AND ZONING

CITY OF LAKE CITY

January 04, 2023 at 5:30 PM

Venue: City Hall

AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

INVOCATION

ROLL CALL

MINUTES

- [i.](#) Meeting Minutes: 12-06-2022

OLD BUSINESS- None

NEW BUSINESS

- [ii.](#) **SPR23-03**, Petition submitted by Tori Humphries (agent) for Daniel Crapps (owner), for a Site Plan Review for Bell Road- Storage and Maintenance Facility, in the Industrial Zoning District, and located on **Parcel 04903-002**, which is regulated by the Land Development Regulations section 4.17
- [iii.](#) **SPR23-02**, Petition submitted by Carol Chadwick (agent) for Larry Graham (owner), for a Site Plan Review for LG Transit LLC, in the Commercial Intensive Zoning District, and located on **Parcel 11228-000**, which is regulated by the Land Development Regulations section 4.13
- [iv.](#) **SPR23-01**, Petition submitted by Brian Pittman (agent) for David Terrell (owner), for a Site Plan Review for Terrell Medical Office, in the Residential Office Zoning District, and located on **Parcel 02461-512**, which is regulated by the Land Development Regulations section 4.10
- [v.](#) **CPA22-09 and Z22-07**- Petitions submitted by Carol Chadwick (agent) for Anjan Viplav (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Moderate to Residential High Density and changing the zoning

district from Residential Single Family-2 to Residential Multi-Family 2 on property described, as follows: **Parcel No. 08045-000**.

- vi. CPA22-08 and Z22-08-** Petitions submitted by Carol Chadwick (agent) for Charles Stringham (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Low to Commercial and changing the zoning district from Residential Single Family-2 to Commercial Intensive on property described, as follows: **Parcel No. 05846-000**.

WORKSHOP- None

ADJOURNMENT

YouTube Channel Information

Members of the public may also view the meeting on our YouTube channel at:
<https://www.youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

File Attachments for Item:

i. Meeting Minutes: 12-06-2022

PLANNING AND ZONING

MEETING MINUTES

Date: 12/06/2022

Roll Call:

Mrs. McKellum- Present
Mr. Nelson- Present
Mr. Cooper- Not Present
Mr. McMahon- Present

Mr. Carter- Present
Mr. Lydick- Present

Approval of Past Minutes-Approve the minutes of the 11/01/2022 Meeting.

Motion By: Mr. Carter

Seconded By: Mr. Nelson

Comments or Revisions: None

Old Business:

Petition # CPA22-07 and Z22-06 Presented By: Dalton Kurtz as Agent

As owner or agent and gives address of: 21313 180th St Live Oak FL 32060

Petitioner is Sworn in by: Mr. Lydick

Discussion:

Robert introduced CPA22-07 and Z22-06. He stated that this was for a comprehensive plan amendment and a rezoning. Robert stated that the proposed use of the property was going to be for 200 plus unit apartment complex. Dalton Kurtz stated that the project was to rezone the parcel to residential multi-family to be able to put a 246-unit complex there. The project would require two storm water ponds. Mr. Lydick asked if the property to the south west corner was residential multi-family. Dalton confirmed that it was. Mr. Lydick asked if anyone else wished to speak for or against the petition. No one has anything else to add. Mr. Carter asked Robert is the City staff was good with the project. Robert stated that they were good with it. Mr. Carter motioned to approve/deny petition and Mr. Nelson seconded.

Mrs. McKellum: Aye

Mr. Cooper: Absent

Mr. McMahon: Aye

Mr. Carter: Aye

Mr. Lydick: Aye

New Business: None

Workshop: None

PLANNING AND ZONING

MEETING MINUTES

Mr. Lydick closed the meeting.

Motion to Adjourn by: Mr. McMahon

Time: 5:40pm

Motion Seconded By: Mr. Carter

Mr. Lydick, Board Chairperson

Date Approved

Robert Angelo, Secretary

Date Approved

File Attachments for Item:

ii. SPR23-03, Petition submitted by Tori Humphries (agent) for Daniel Crapps (owner), for a Site Plan Review for Bell Road- Storage and Maintenance Facility, in the Industrial Zoning District, and located on **Parcel 04903-002**, which is regulated by the Land Development Regulations section 4.17



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee: **\$200.00**
 Receipt No. _____
 Filing Date _____
 Completeness _____ **Date**

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Bell Road
2. Address of Subject Property: NW Bell Street, Lake City, FL
3. Parcel ID Number(s): 08-3S-17-04903-002
4. Future Land Use Map Designation: Industrial
5. Zoning Designation: Industrial
6. Acreage: 16.16
7. Existing Use of Property: Vacant
8. Proposed use of Property: Light Industrial
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 5,000
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
 2. Name of Applicant(s): Tori Humphries Title: Owner
 - Company name (if applicable): North Florida Professional Services
 - Mailing Address: P.O. Box 3823
 - City: Lake City State: Florida Zip: 32056
 - Telephone: (386) 752-4675 Fax: () Email: thumphries@nfps.net

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 - Property Owner Name (title holder): Daniel Crapps for I-10-441, LLC
 - Mailing Address: P.O. Box 3176
 - City: Lake City State: Florida Zip: 32056
 - Telephone: () Fax: () Email: dcrapps@danielcrapps.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: NO
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
Please see the attached Construction Plans.
2. Site Plan – Including, but not limited to the following: ***Please see the attached Construction Plans.***
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following: ***Please see the attached Construction Plans.***
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater. ***Please see the attached Fire Access Plan in the Construction Plans.***
5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required. ***Please see the attached Concurrency Analysis.***
6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). ***Please see the attached Comprehensive Plan.***
7. Legal Description with Tax Parcel Number (In Word Format). ***Please see the attached legal description in Word Format.***
8. Proof of Ownership (i.e. deed). ***Please see the attached Warranty Deed.***
9. Agent Authorization Form (signed and notarized). ***Please see the attached agent authorization.***
10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office). ***Please see the attached document from Columbia County Tax Collector.***
11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No

application shall be accepted or processed until the required application fee has been paid.
The permit fee will be delivered to the City of Lake City by the Owner.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Tori Humphries

Applicant/Agent Name (Type or Print)

Tori Humphries

Applicant/Agent Signature

11/23/22

Date

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 9/1/2022

Parcel: << **08-3S-17-04903-002 (45439)** >>

Owner & Property Info				Result: 1 of 0
Owner	I-10 TIMBER CO & I-10-441 LLC P O BOX 3176 LAKE CITY, FL 32056			
Site				
Description*	S1/2 OF NE1/4 & S1/2 EX N1/2 OF SW1/4 AS LIES W OF US-441 & N OF I-10 & EX 14.463 AC IN NW COR OF NE1/4 OF SW1/4 E OF US-441 & N OF I-10 & EX RD & EX 15 AC IN E1/2 OF SW1/4 & EX 15.85 AC IN SW1/4. ORB 463-037 EX THAT PORTION OF S1/2 OF NE1/4 LYING N OF FRA ...more>>>			
Area	24.12 AC	S/T/R	08-3S-17	
Use Code**	TIMBERLAND 70-79 (5600)	Tax District	1	
<p>*The <u>Description</u> above is not to be used as the Legal Description for this parcel in any legal transaction. **The <u>Use Code</u> is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.</p>				



Attached Warranty Deed is for the cutout of 16.16 acres that has been recorded. The property appraiser has not updated their site yet.

Property & Assessment Values			
2021 Certified Values		2022 Working Values	
Mkt Land	\$0	Mkt Land	\$0
Ag Land	\$13,799	Ag Land	\$6,922
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$167,500	Just	\$313,560
Class	\$13,799	Class	\$6,922
Appraised	\$13,799	Appraised	\$6,922
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$13,799	Assessed	\$6,922
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$13,799 city:\$13,799 other:\$0 school:\$13,799	Total Taxable	county:\$6,922 city:\$6,922 other:\$0 school:\$6,922

Sales History						
Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
NONE						

Building Characteristics					
Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)					
Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown						
Code	Desc	Units	Adjustments	Eff Rate	Land Value	
5600	TIMBER 3 (AG)	24.120 AC	1.0000/1.0000 1.0000/ /	\$287 /AC	\$6,922	
9910	MKT.VAL.AG (MKT)	24.120 AC	1.0000/1.0000 1.0000/ /	\$13,000 /AC	\$313,560	

**CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	Total Floor Area*	Total ADT	Total PM Peak
110	General Light Industrial	51.80	2.16	5.00	259.00	10.80

*Per thousand square feet (i.e. 5,000 sq ft / 1,000 = 5.00)

Per US Green Building Council, ITE for Industrial Park Land Use Code 130 is 500 SF per employee

Potable Water Analysis

ITE Code	Use	Floor Area Ratio (SF) x 1 employee per 500 SF	Statistical data from N FL Regional Planning Council (GPD)	Total Potable Water Usage (GPD)
110	General Light Industrial	10.00	22.50	225.00

Per US Green Building Council, ITE for Industrial Park Land Use Code 130 is 500 SF per employee

GPD = Gallons per Day

*Per thousand square feet (i.e. 5,000 sq ft / 1,000 = 5.00)

Sanitary Sewer Analysis

ITE Code	Use	Floor Area Ratio (SF) x 1 employee per 500 SF	Statistical data from N FL Regional Planning Council (GPD)	Total Sanitary Sewer Effluent (GPD)
110	General Light Industrial	10.00	17.50	175.00

Per US Green Building Council, ITE for Industrial Park Land Use Code 130 is 500 SF per employee

GPD = Gallons per Day

*Per thousand square feet (i.e. 5,000 sq ft / 1,000 = 5.00)

**CONCURRENCY
WORKSHEET**

Solid Waste Analysis

ITE Code	Use	Floor Area Ratio (SF) per 1,000 SF of gross floor area	Statistical data from N FL Regional Planning Council (pounds)	Total Sanitary Sewer Effluent (GPD)
110	General Light Industrial	5.00	5.50	27.50

*Per thousand square feet (i.e. 5,000 sq ft / 1,000 = 5.00)



NFPS



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LAKE CITY, FL 32056



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www.nfps.net

Comprehensive Plan Consistency Analysis Legends at Lake City

The following analysis identifies how this application is consistent with the City’s Comprehensive Plan. Language from the comprehensive plan is provided in normal font, and the consistency statements are provided in bold and italics font.

Proposed Site Plan

The property is 16.16 acres located along eastbound I-10 and NW Bell Street in Lake City, FL. The proposed development to be built on the parcel will be a light industrial business. (Tax Parcel 08-3S-17-04903-002)

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF ENHANCING THE QUALITY OF LIFE IN THE CITY, DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

OBJECTIVE I.1 The City Concurrency Management System shall make available or schedule for availability the public facilities for future growth and urban development as development occurs in order to provide for urban densities and intensities within the City.

Consistency: The proposed industrial use is consistent with the types of uses allowed by the Industrial category. The property is located along EB I-10 and NW Bell Street in Lake City, FL in an industrial development area and is bordered by adjacent city zoned ILW area.

Policy I.1.1 The location of higher density residential, high intensity commercial and heavy industrial uses shall be directed to areas adjacent to arterial or collector roads, identified on the Future Traffic Circulation Map, where public facilities are available to support such higher density or intensity.

Consistency: The proposed industrial site is located along EB I-10 and Bell Road in Lake City, FL and there are public facilities available to support the development.

Policy I.1.2 The land development regulations of the City shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities and shall establish the following floor area ratio(s) to be applied to each classification of land use:

INDUSTRIAL

Lands classified as industrial consist of areas used for the manufacturing, assembly, processing, or storage of products, as well as public, charter and private schools teaching industrial arts curriculum. In addition, off site signs, truck stops and automobile service stations, and other similar uses compatible with industrial uses may be approved as special exceptions.

Industrial uses shall be limited to an intensity of less than or equal to 1.0 floor area ratio.

Consistency: The proposed use is in General Light Industrial with a 1.0 floor area or less.

Policy I.1.3 The City shall continue to allocate amounts and types of land uses for residential, commercial, industrial, public, and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. (Urban land uses shall be herein defined as residential, commercial and industrial land use categories).

Consistency: The conversion of a parcel of vacant land that is currently designated Industrial and is surrounded by other industrial areas will take advantage of nearby public facilities rather than remain dormant.

Policy I.1.4 The City shall continue to limit the designation of residential, commercial and industrial lands depicted on the Future Land Use Plan map to acreage which can be reasonably expected to develop by the year 2025.

Consistency: This section of the City & County has increased industrial developments that shall be completed by 2025.

OBJECTIVE I.2 The City shall adopt performance standards which regulate the location of land development consistent with topography and soil conditions and the availability of facilities and services.

Consistency: The subject property shall utilize the existing high spots and leverage the low-lying areas for stormwater treatment while discharging as little stormwater off site prior to treatment.

Policy I.2.1 The City shall restrict development within unsuitable areas due to flooding, improper drainage, steep slopes, rock formations and adverse earth formations by the following design standards for arrangement of development:

1. Streets shall be related appropriately to the topography. All streets shall be arranged so as to obtain as many as possible building sites at or above the grades of the streets. Grades of streets shall conform as closely as possible to the original topography. A combination of steep grades and curves shall be avoided.
2. Local streets shall be laid out to discourage use by through traffic, to permit efficient drainage and utility systems and to require the minimum number of streets necessary to provide convenient and safe access to property.
3. The rigid rectangular gridiron street pattern need not necessarily be adhered to, and the use of curvilinear streets, cul-de-sacs, or U-shaped streets shall be encouraged where such use will result in a more desirable layout.
4. Proposed streets shall be extended to the boundary lines of the tract to be subdivided, unless prevented by topography or other physical conditions, or unless, in the opinion of the City Council, such extension is not necessary or desirable for the coordination of the layout or the most advantageous future development of adjacent tracts.

Consistency: The subject property shall be designed in accordance with City of Lake Land Development, Suwannee River Water Management District stormwater (SRWMD), Florida Department of Environmental Protection (FDEP), Florida Department of Health (FDOH), & Florida Department of Transportation (FDOT) standards.

OBJECTIVE I.3 The City shall require that all proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

Policy I.3.1 The City shall limit the issuance of development orders and permits to areas where the adopted level of service standards for the provision of public facilities found within the Comprehensive Plan are maintained. This provision also includes areas where development orders were issued prior to the adoption of the Comprehensive Plan.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

OBJECTIVE I.4 The City shall continue to include provisions for Planned Residential Development regulations. A Planned Residential Development (PRD) is:

1. A concept which requires land to be under unified control, planned and developed as a whole in a single development or in an approved, programmed series of developments for dwelling units and related uses and facilities;
2. A plan which, when adopted, becomes the land development regulations for the land to which it is applied;
3. Inclusive of principal and accessory structures substantially related to the character of the development itself and the surrounding area of which it is a part; and
4. A concept which, when implemented, allows for development according to comprehensive and detailed plans that include streets, utilities, building sites and the like and site plans and elevations for all buildings as intended to be located, constructed, used, and related to each other.

It also includes detailed plans for other uses and the improvements on the land as related to the buildings.

Consistency: The subject property will not interfere with any existing or future PRD's.

Policy I.4.1 The City's land development regulations shall continue to contain specific and detailed provisions to manage future growth and development to implement the Comprehensive Plan which shall contain at a minimum the following provisions to:

1. Regulate the subdivision of land;
2. Regulate the use of land and water consistent with this Element to maintain the compatibility of adjacent land uses and provide for open space;
3. Protect environmentally sensitive lands identified within the Conservation Element;
4. Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management;
5. Protect potable water wellfields and aquifer recharge areas;
6. Regulate signage;
7. Provide safe and convenient onsite traffic flow and vehicle parking needs; and
8. Provide that development orders and permits shall not be issued which result in a reduction of the level

of service standards adopted in this Comprehensive Plan.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

OBJECTIVE I.5 The City shall continue to limit the extension of public facility geographic service areas to the adjacent urban development area, except that water line extensions may be made outside such designated urban development area to address public health and safety concerns associated with groundwater contamination and water and sewer line extensions may be made to public land uses located outside such designated urban development area. The boundary of this designated urban development area is depicted within the Future Land Use Map Series of this Comprehensive Plan.

Consistency: The subject properties location to existing City Utilities makes it desirable to route utility extensions that will support future growth and is still shown on the future land use map.

Policy I.5.1 The City shall adopt as part of its utility policies and programs a provision whereby any extension of public facility geographic service areas into surrounding unincorporated areas shall be limited to the adjacent designated urban development areas as identified within the Future Land Use Map Series of this Comprehensive Plan except that water line extensions may be made outside such boundary to address public health and safety concerns associated with groundwater contamination and water and sewer line extensions may be made to public land uses located outside of such designated urban development area. The City shall condition the extension of public facilities for residential uses to the adjacent unincorporated urban development area on first providing these facilities and services for the majority of the residents within the City which are not currently being served.

Consistency: The subject properties location to existing City Utilities makes it desirable to route utility extensions that will support future growth and is still shown on the future land use map

Policy I.5.2 The City shall allow electrical substations as a permitted use by right within all land use classifications, except Conservation future land use category and any Historic Preservation Overlay district as depicted on the Future Land Use Plan Map. New distribution electric substations should be constructed to the maximum extent practicable, to achieve compatibility with adjacent and surrounding land uses. The following standards intended to balance the need for electricity with land use compatibility shall apply to new distribution electric substations.

1. In nonresidential areas, the distribution electric substation shall comply with the setback and landscaped buffer area criteria applicable to other similar uses in that district.

2. In residential areas, a setback of up to 100 feet between the distribution electric substation property boundary and permanent equipment structures shall be maintained, as follows:

a. For setbacks between 100 feet and 50 feet, an open green space shall be formed by installing native landscaping, including trees and shrub material. Substation equipment shall be protected by a security fence.

b. For setback of less than 50 feet, a buffer wall 8 feet high or a fence 8 feet high with native landscaping shall be installed around the substation.

Consistency: The subject properties electrical needs will allow for minimal electrical equipment vs. high demand commercial site.

OBJECTIVE I.6 The City shall continue to include within the portion regarding the report and recommendation of the Planning and Zoning Board on amendments to such regulations, that such report shall address whether the proposed amendment will be a deterrent to the improvement or development of adjacent land uses and it shall be concluded by the local governing body, based upon such report and prior to approval of the amendment, that the granting of the amendment will not adversely impact adjacent land uses.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

Policy I.6.1 The City shall continue to permit mining activity as a special exception within areas designated on the Future Land Use Plan map as industrial.

Consistency: No mining to occur on the site.

Policy I.6.2 The City shall continue to include provisions for drainage, stormwater management, open space and safe and convenient on-site traffic flow including the provisions of needed vehicle parking for all development.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

Policy I.6.3 The City shall continue to limit the intensity of development by requiring that the length of lots does not exceed three times the width of lots for the location of dwelling units.

Consistency: The subject property is to be designed for an light industrial business and will remain one lot.

Policy I.6.4 The City shall participate in the National Flood Insurance Program and regulate development and the installation of utilities in flood hazard areas in conformance with the programs requirements.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

OBJECTIVE I.7 The City shall identify and designate blighted areas which are feasible for redevelopment or renewal, through the updating of the housing condition survey based upon information as available from the University of Florida, Shimberg Center for Affordable Housing.

Consistency: The subject property is not in a designated area of blight.

Policy I.7.1 The City shall request federal and state funds to redevelop and renew any identified blighted areas, where the City finds there is a competitive feasibility to receive such funding.

Consistency: The subject property is not in a designated area of blight.

Policy I.8.1 The land development regulations of the City shall include the following provisions for nonconforming lots, structures and uses of land or structures:

1. Nonconforming lots of record shall be recognized within any zoning district in which single family dwellings are permitted. A single-family dwelling may be erected, expanded, or altered on any single lot of record. Such lots must be in separate ownership and not of continuous frontage with other lots in the same ownership.

2. Nonconforming uses of land shall be recognized where the lawful use of land exists which is not

permitted by the land development regulations, such use may be continued, so long as it remains otherwise lawful, subject to limitation concerning enlargement, movement, discontinuance, and structural addition.

3. Nonconforming structures shall be recognized where a structure exists lawfully that would not be permitted to be built under the land development regulations by reason of restrictions on requirements other than use concerning the structure, such structure may be continued so long as it remains otherwise lawful, subject to limitations concerning provisions addressing enlargement or alteration, destruction, and movement.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

OBJECTIVE I.9 The City shall continue to use a Historic Preservation Agency appointed by the City Council to assist the City Council with the designation of historic landmarks and landmark sites or historic districts within the City based upon criteria utilized for the National Register of Historic Places and the Secretary of the Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings. The Historic Preservation Agency shall review applications for historic designation and after conducting a duly noticed public hearing shall make a recommendation to the City Council based upon the criteria stated in the maintenance and reuses of historical structures policy contained within the Future Land Use Element of the Comprehensive Plan.

Consistency: The subject property is not developed nor is it eligible for historic preservation.

Policy I.9.1 The City shall continue to establish criteria for designating historic structures and sites and further, establish guidelines for the maintenance and adaptive reuse of historic structures and sites.

Consistency: The subject property is not developed nor is it eligible for historic preservation.

Policy I.9.2 The City shall maintain a listing of all known prehistoric and historic sites within the City. This list shall be provided within the Land Development Regulations and shall be updated by the Planning and Zoning Board, as provided within said regulations

Consistency: The subject property is not developed nor is it eligible for historic preservation.

OBJECTIVE I.10 The City shall protect natural resources and environmentally sensitive lands (including but not limited to wetlands and floodplains). For the purposes of this Comprehensive Plan "wetlands" means those areas that are inundated or saturated by surface water or groundwater at a frequency and a duration sufficient to support, and under normal circumstances do support, a prevalence of vegetation typically adapted for life in saturated soils. Soils present in wetlands generally are classified as hydric or alluvial or possess characteristics that are associated with reducing soil conditions. The prevalent vegetation in wetlands generally consists of facultative or obligate hydrophytic macrophytes that are typically adapted to areas having soil conditions described above. These species, due to morphological, physiological or reproductive adaptations, have the ability to grow, reproduce or persist in aquatic environments or anaerobic soil conditions. Florida wetlands generally include swamps, marshes, bayheads, bogs, cypress domes and strands, sloughs, wet prairies, riverine swamps and marshes, hydric seepage slopes, tidal marshes, mangrove swamps and other similar areas. Florida wetlands generally do not include longleaf or slash pine flatwoods with an understory dominated by saw palmetto.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction.

Policy I.10.1 The City shall protect public potable water supply wells by prohibiting

- : 1. Land uses which require or involve storage, use of manufacture of regulated materials as defined by Chapter 38F-41, Florida Administrative Code, in effect upon adoption of this Objective; Code of Federal Regulations, Title 40, Part 302 and 355 and Title 49, Part 172, in effect upon adoption of this Comprehensive Plan;
- 2. Landfills;
- 3. Facilities of bulk storage, agricultural chemicals;
- 4. Petroleum products;
- 5. Hazardous toxic and medical waste;
- 6. Feedlots or other animal facilities;
- 7. Wastewater treatment plants and percolation ponds; and
- 8. Mines, and excavation of waterways or drainage facilities which intersect the water table, within a 300-foot radius around the water well designated by this Comprehensive Plan as a wellfield protection area.

In addition, no transportation of such regulated materials shall be allowed in the wellfield protection area, except through traffic.

Consistency: The use of the subject property does not include any of the above and will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction

Policy I.10.2 The City shall prohibit the location of any structure within a wetland, other than permitted docks, piers, or walkways, except as permitted within the wetland policy contained within the Conservation Element of this Comprehensive Plan.

Consistency: A wetland buffer of 35’ is in place around all areas designated as wetlands to meet the design standards of the City of Lake City and regulating agencies with jurisdiction.

OBJECTIVE I.11 The City shall establish a process for coordination with agencies responsible for the implementation of any regional resource planning and management plan prepared pursuant to Chapter 380, Florida Statutes, as amended.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction

Policy I.11.1 The City shall continue to require that all proposed development which is subject to the provisions of any regional resource planning and management plan shall be consistent with such plan and that proposed development be reviewed for such consistency during the development review process.

Consistency: The subject property will be designed in accordance with the design standards of the City of Lake City and regulating agencies with jurisdiction

OBJECTIVE I.12 The City shall coordinate review of all proposed subdivision plats with the Water Management District for subdivisions proposed within the drainage basin of any designated priority water body to provide the Water Management District an opportunity to review such subdivision to determine if the plat is consistent with any approved management plans within that basin.

Consistency: The subject property is a single industrial development.

Policy I.12.1 The City shall continue to require the developer to submit development plans for all

proposed subdivision plats within the drainage basin of any designated priority water body shall be submitted to the Water Management District for review and comment as to the consistency of the proposed development with any approved management plans within such basin prior to development review by the City.

Consistency: The subject property is a single industrial development.

DESCRIPTION:

REVISED: 11/14/2022

COMMENCE at the Southwest corner of Section 8, Township 3 South, Range 17 East, Columbia County, Florida and run North $01^{\circ}31'32''$ West, along the West line of said Section 8, a distance of 1237.47 feet to the POINT OF BEGINNING; thence continue North $01^{\circ}31'32''$ West, along the West line of said Section 8, a distance of 525.85 feet; thence South $86^{\circ}48'25''$ East, a distance of 100.16 feet; thence North $01^{\circ}48'01''$ West, a distance of 99.92 feet to a point on the Southerly right-of-way line of Interstate 10 (State Road No. 8); thence South $80^{\circ}16'54''$ East, along said Southerly right-of-way line of Interstate 10 (State Road No. 8), a distance of 362.27 feet; thence South $71^{\circ}18'24''$ East, still along said Southerly right-of-way line of Interstate 10 (State Road No. 8), a distance of 234.28 feet; thence South $00^{\circ}55'40''$ West, a distance of 24.89 feet; thence North $71^{\circ}34'18''$ West, a distance of 8.09 feet; thence South $00^{\circ}33'24''$ West, a distance of 1530.49 feet to a point on the North right-of-way line of NW Bell Street; thence South $88^{\circ}52'11''$ West, along said North right-of-way line of NW Bell Street, a distance of 114.63 feet; thence North $38^{\circ}44'56''$ West, a distance of 336.61 feet; thence North $01^{\circ}39'47''$ West, a distance of 809.12 feet; thence due West, a distance of 290.13 feet to the POINT OF BEGINNING. Containing 16.16 acres, more or less.

This Instrument Prepared By:
Bell Road Enterprises LLC
291 NW Main Blvd
Lake City FL 32055
Return To:
Bell Road Enterprises LLC
291 NW Main Blvd
Lake City FL 32055

WARRANTY DEED
Corporation/LLC to Corporation/LLC

THIS WARRANTY DEED made this 14th day of NOVEMBER, 2022 by I-10-441, LLC, a Florida Limited Liability Company, conveying an Undivided One-Half (1/2) interest and I-10 Timber Co, a Florida Profit Corporation, conveying an Undivided One-Half (1/2) interest hereinafter called the Grantor, to BELL ROAD ENTERPRISES LLC whose post office address is 291 NW MAIN BLVD, LAKE CITY FL 32055 hereinafter called the Grantee.

(Wherever used herein the terms "Grantor" and "Grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of Corporation.)

THE GRANTOR, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells unto the Grantee all that certain land, situate in COLUMBIA County, Florida:

SEE EXHIBIT "A" ATTACHED HERETO AND BY THIS REFERENCE MADE A PART THEREOF.


TOGETHER WITH all the tenements, hereditaments and appurtenances thereto belonging or in anyway appertaining. To have and to hold, the same in fee simple forever.


AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land, and hereby warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances except taxes accruing subsequent to the prior year.


IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.


I-10-441, LLC


Daniel Crapps, as Managing Member of I-10-441, LLC
a Florida Limited Liability Company


WITNESS
Printed Name Lisa Hicks


WITNESS
Printed Name Kristi L. Ditter


WITNESS
Printed Name Lisa Hicks

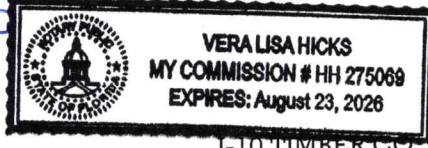

WITNESS
Printed Name Kristi L. Ditter


Thomas H. Eagle, as Managing Member of I-10-441,
LLC a Florida Limited Liability Company

STATE OF FLORIDA
COUNTY OF COLUMBIA

I hereby certify that on this 14 day of November, 2022, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared, DANIEL CRAPPS AND THOMAS H. EAGLE, who are personally known to me, and known to me to be the persons described in and who executed the foregoing instrument, who acknowledged before that they executed the same, and an oath was not taken.

Vera Lisa Hicks
NOTARY PUBLIC
My Commission Expires 8-23-26



I-10 TIMBER CO

Chris A. Bullard

Lisa Hicks
WITNESS
Printed Name Lisa Hicks

Chris A. Bullard, as President of I-10 Timber Co
a Florida Profit Corporation

Kristi L. Ditter
WITNESS
Printed Name Kristi L. Ditter

STATE OF FLORIDA
COUNTY OF COLUMBIA

I hereby certify that on this 14 day of November, 2022, before me, an officer duly authorized to administer oaths and take acknowledgements, personally appeared, CHRIS A. BULLARD, who is personally known to me, and known to me to be the person described in and who executed the foregoing instrument, who acknowledged before that he executed the same, and an oath was not taken.

Vera Lisa Hicks
NOTARY PUBLIC
My Commission Expires 8-23-26



EXHIBIT "A"

DESCRIPTION:

COMMENCE at the Southwest corner of Section 8, Township 3 South, Range 17 East, Columbia County, Florida and run North 01°31'32" West, along the West line of said Section 8, a distance of 1237.47 feet to the POINT OF BEGINNING; thence continue North 01°31'32" West, along the West line of said Section 8, a distance of 525.85 feet; thence South 86°48'25" East, a distance of 100.16 feet; thence North 01°48'01" West, a distance of 99.92 feet to a point on the Southerly right-of-way line of Interstate 10 (State Road No. 8); thence South 80°13'22" East, along said Southerly right-of-way line of Interstate 10 (State Road No. 8), a distance of 361.85 feet; thence South 71°24'45" East, still along said Southerly right-of-way line of Interstate 10 (State Road No. 8), a distance of 234.64 feet; thence South 00°55'40" West, a distance of 24.89 feet; thence North 71°34'18" West, a distance of 8.09 feet; thence South 00°33'24" West, a distance of 1530.49 feet to a point on the North right-of-way line of NW Bell Street; thence South 88°52'11" West, along said North right-of-way line of NW Bell Street, a distance of 114.63 feet; thence North 38°44'56" West, a distance of 336.61 feet; thence North 01°39'47" West, a distance of 809.12 feet; thence due West, a distance of 290.13 feet to the POINT OF BEGINNING. Containing 16.16 acres, more or less.

Columbia County Tax Collector

generated on 9/2/2022 4:17:26 PM EDT

Tax Record

Last Update: 9/2/2022 4:15:17 PM EDT



Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R04903-002	REAL ESTATE	2021			
Mailing Address I-10 TIMBER CO & I-10-441 LLC P O BOX 3176 LAKE CITY FL 32056		Property Address GEO Number 083S17-04903-002			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description) 08-3S-17 5600/560067.00 Acres S1/2 OF NE1/4 & S1/2 EX N1/2 OF SW1/4 AS LIES W OF US-441 & N OF I-10 & EX 14.463 AC IN NW COR OF NE1/4 OF SW1/4 E OF US-441 & N OF I-10 & EX RD & EX 15 AC IN E1/2 OF SW1/4 & EX 15.85 AC IN SW1/4. ORB 463-037 EX THAT PORTION OF S1/2 OF See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	13,799	0	\$13,799	\$107.84
CITY OF LAKE CITY	4.9000	13,799	0	\$13,799	\$67.62
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	13,799	0	\$13,799	\$10.32
LOCAL	3.6430	13,799	0	\$13,799	\$50.27
CAPITAL OUTLAY	1.5000	13,799	0	\$13,799	\$20.70
SUWANNEE RIVER WATER MGT DIST	0.3615	13,799	0	\$13,799	\$4.99
LAKE SHORE HOSPITAL AUTHORITY	0.0000	13,799	0	\$13,799	\$0.00
Total Millage		18.9675	Total Taxes		\$261.74
Non-Ad Valorem Assessments					
Code	Levying Authority	Amount			
Total Assessments					\$0.00
Taxes & Assessments					\$261.74
If Paid By				Amount Due	
				\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
11/30/2021	PAYMENT	1800469.0002	2021	\$251.27

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Project Summary

Project Name: Bell Road Storage and Maintenance Facility

Project Number: SPR23-03

Parcel Number: 04903-002

Project Notes

- Project type: Site Plan Review
- Future land use is: Industrial
- Zoning designation is: Industrial
- Proposed use of the property: New construction of Storage and Maintenance Facility on Bell Road
- Land is conducive for use: Yes, per the LDR section 4.16.2.1 and 5
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR23-03 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has not concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 11/30/22

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR23-03

Project Name: Bell Road

Project Address: NW Bell Street, Lake City FL

Project Parcel Number: 08-3S-17-04903-002

Owner Name: Daniel Crapps

Owner: Address: P.O Box 3176 Lake City FL 32056

Owner Contact Information: telephone number _____ e-mail dcrapps@danielcrapps.com

Owner Agent Name: Tori Humphries

Owner Agent Address: P.O. Box 3823 Lake City, FL 32056

Owner Agent Contact Information: telephone 386-754-4675 e-mail thumphries@nfps.net

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Per section 4.16.2.1 and 5 of the LDR this is a permitted use.
Per section 4.16.2.1 and 5 of the LDR this is a permitted use.

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Will need to apply for a business license

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: _____
Permitting by Columbia County if value base over \$4000.

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: Will need a back flow assembly installed on water

Sewer Department: Approved Disapproved Reviewed by: Cody Pridgeon

Comments: Need confirmation that no hazardous material will be dumped into the City's collection system per the City's sewer use ordinance.

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: The contractor will be responsible to open/cut for sewer if required.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: A tap application is required to access water, sanitary sewer and natural gas services.

The tap fees, impact fees and utility deposits will be calculated upon approval of the tap application.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Assistant Chief Boozer

Comments: No concerns

Police Department: Approve Disapprove Reviewed by: Chief Butler

Comments: No concerns

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

Angelo, Robert

From: Tori Humphries <thumphries@nfps.net>
Sent: Wednesday, December 7, 2022 10:10 AM
To: Angelo, Robert
Subject: Daniel Crapps - Bell Road

Angelo,

The end user for the Bell Road project will be Black and Veatch Corporation and will use the facility for construction equipment (storage and maintenance) and for construction material (unloading, storage and shipping).

I am in the office all day if you have other questions.

Thank you,
Tori



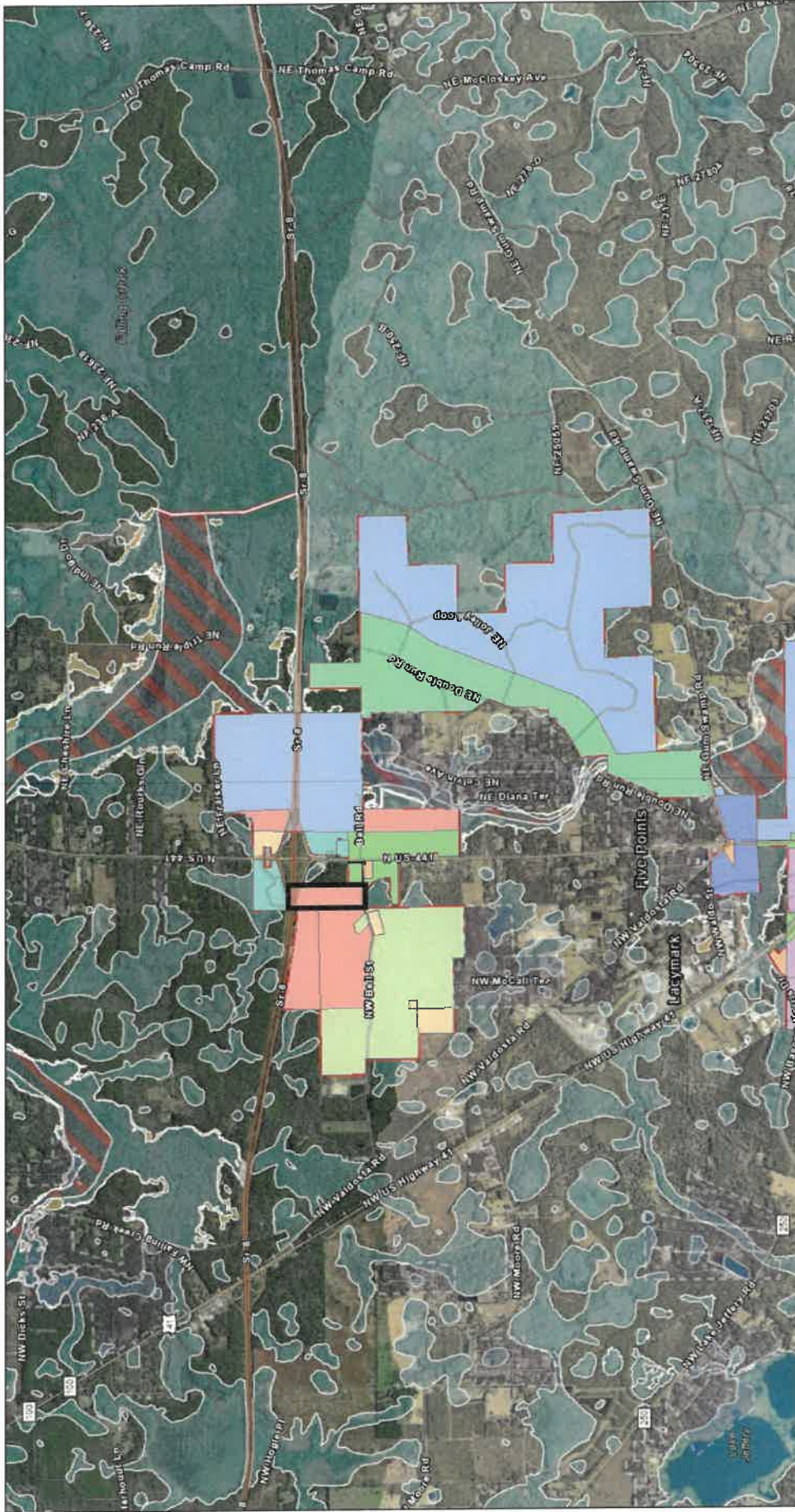
Tori Humphries
Project Manager

North Florida Professional Services, Inc.
Post Office Box 3823, Lake City, FL 32056
1450 SW SR 47, Lake City, FL 32025
386-752-4675 Office | 386-209-4394 Cell



Start to Finish Solutions for your Community

***P&Z/HPA**



November 23, 2022

1. Parcel 04903-002 FLU is Industrial
2. Parcel 04903-002 is zoned Industrial (See LDR Section 4.17)
3. Ingress/Egress is on Bell Road

1:36,112



State of Florida, Maxar, FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc. METINASA, USGS, EPA, NPS, US Census Bureau, USDA

State of Florida, Maxar | Esri | Community Maps Contributors | FDEP, Esri, HERE, Garmin, SafeGraph, GeoTechnologies Inc. METINASA, USGS, EPA, NPS, US Census Bureau, USDA | City of Lake City & North Central Florida Regional Planning Council

SECTION 4.16 "ILW" INDUSTRIAL, LIGHT AND WAREHOUSING

4.16.1 DISTRICTS AND INTENT

The "ILW" Industrial, Light and Warehousing category includes one (1) zone district: ILW. This district is intended for light manufacturing, processing, storage and warehousing, wholesaling, and distribution. Service and commercial activities relating to the character of the district and supporting its activities are permitted. Certain commercial uses relating to automotive and heavy equipment sales and repair are permitted, but this district shall not be deemed commercial in character. Regulations for this district are intended to prevent or reduce adverse impacts between the uses in this district, and also to protect nearby residential and commercial districts. Performance standards are applied at lot lines (see Section 4.2).

4.16.2 PERMITTED PRINCIPAL USES AND STRUCTURES

1. Wholesaling, warehousing, storage or distribution establishments and similar uses.
2. Research laboratories and activities in completely enclosed buildings.
3. Light manufacturing, assembling, processing (including food processing, but not slaughterhouses), packaging or fabricating in completely enclosed building.
4. Printing, lithographing, publishing, photographic processing, blue printing or similar establishments.
5. Outdoor storage yards and lots, provided, this provision shall not permit wrecking yards (including automobile wrecking yards), junk yards, or yards used in whole or in part for scrap or salvage operations or for processing, storage, display, or sales of any scrap, salvage, or second-hand building materials, junk automotive vehicles, or second-hand automotive parts.
6. Retail commercial establishments for sale, repair, and service of new and used automobiles, motorcycles, trucks and tractors, mobile homes, boats, heavy machinery and equipment, and farm equipment; motor vehicle body shop; establishments for sale of farm supplies, lumber and building supplies, monuments, automotive vehicle parts and accessories (but not junk yards or automotive vehicle wrecking yards), and similar uses.
7. Service establishments catering to commerce and industry including linen supply, freight movers, communications services, business machine services, canteen service, restaurant, employment agency, sign company, pest control, water softening establishment and similar uses.
8. Service establishments such as crematory.
9. Vocational, technical, trade, or industrial schools and similar uses.
10. Medical clinic in connection only with industrial activity.
11. Miscellaneous uses such as express or parcel delivery office, telephone exchange, commercial parking lots and garages, motor bus or truck or other transportation terminal.
12. Radio and television stations.
13. Building trades contractor including on premises storage yard for materials and equipment, but no manufacturing of concrete or asphalt is permitted.
14. Railroad switching, freight, and storage yards; railroad buildings and maintenance structures.

Site and development plan approval (see Section Article 13) is required for the following uses:

1. All commercial or industrial developments.

4.16.3 PERMITTED ACCESSORY USES AND STRUCTURES

1. Uses and structures which are customarily accessory and clearly incidental and subordinate to permitted principal uses and structures.
2. On-site signs (see Section 4.2).
3. On the same premises and in connection with permitted principal uses and structures, dwelling units only for the occupation of owners or employees of the principal use.

4.16.4 PROHIBITED USES AND STRUCTURES

Any uses or structures not specifically, provisionally, or by reasonable implication permitted herein, including the following, which are listed for purposes of emphasis:

1. Petroleum bulk storage and sales.
2. Yards or lots for scrap or salvage operations or for processing, storage, display, or sale of any scrap, salvage, or second-hand building materials and automotive vehicle parts.
3. Wrecking yards (including automotive vehicle wrecking yards) and junk yards.
4. Manufacturing activities not in completely enclosed buildings.
5. Any use not conforming to performance standards of Section 4.2.

4.16.5 SPECIAL EXCEPTIONS

(See also Articles 12 and 13)

1. Off-site signs (see also Section 4.2).
2. Truck stops and automotive service and self-service stations (see Section 4.2 for special design standards for automotive service stations).
3. Public buildings and facilities.
4. Auction house (but not including livestock auction arena) when operating in compliance with the following standards:
 - a. Must be licensed as required by the City Code of Ordinances.
 - b. Hours of operation of the auction house shall be conducted only between the hours of 5:00 p.m. until 12:00 p.m. Monday through Friday and 12:00 p.m. until 12:00 a.m. Saturday and Sunday; however, provided that additional hours of operations may be granted if adequate offstreet parking facilities are provided to accommodate all vehicles associated with the operation of the auction house in an Industrial, Light and Warehousing (ILW) zoning district.
 - c. Structure must provide minimum requirements for assembly buildings as provided by Life Safety Codes and Building Codes.

4.16.6 MINIMUM LOT REQUIREMENTS (area, width)

1. All permitted and structures (unless otherwise specified): None, except as needed to meet the other requirements as set out herein.

4.16.7 MINIMUM YARD REQUIREMENTS (depth of front and rear yard, width of side yard)
(See Section 4.2 for right-of-way setback requirements.)

1. All permitted or permissible uses and structures (unless otherwise specified):

Front Twenty (20) feet, of which no less than one-half (1/2) the depth shall be maintained as a landscaped area; the remainder may be used for offstreet parking, but not for buildings. The depth of this landscaped area shall be measured at right angles to property lines and shall be established along the entire length of and contiguous to the designated property line or lines. This landscaped area may be penetrated at right angles by driveways.

Side and Rear Fifteen (15) feet except where railroad spur abuts side or rear property line, in which case no yard is required.

Special Provisions:

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from wetlands.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from perennial streams and creeks.

4.16.8 MAXIMUM HEIGHT OF STRUCTURES

1. Structure height for buildings shall be regulated in accordance with Chapter 5 of the Florida Building Code and minimum yard requirements established in these land development regulations;
2. Height requirements for signs shall be established in Section 4.2.20.4(8); and
3. Height for structures other than buildings and signs shall be regulated in accordance with standards established by the Federal Aviation Administration codes and any airport regulations and guidelines as may be established by the City and/or Airport Committee or Authority.

4.16.9 MAXIMUM LOT COVERAGE BY ALL BUILDINGS

In addition to meeting the required yard, building height, landscaped buffering, and offstreet parking requirements of this section, no structure shall exceed a 1.0 floor area ratio.

4.16.10 MINIMUM LANDSCAPED BUFFERING REQUIREMENTS
(See also Section 4.2)

1. All permitted uses (unless otherwise specified):

Where a use listed under (1) above is erected or expanded on land abutting a residential district, then the proposed use shall provide a landscaped buffer which shall be not less than twenty-five (25) feet in width along the affected rear and/or side yards as the case may be.

4.16.11 MINIMUM OFFSTREET PARKING REQUIREMENTS
(See also Section 4.2)

1. Warehousing and storage only: one (1) space for each one thousand five hundred (1,500) square feet of floor area.
2. Retail commercial establishments for sale, repair, and service of new and used automobiles, motorcycles, trucks and tractors, mobile homes, boats, heavy machinery and equipment, and farm equipment; motor vehicle body shops; retail establishments for sale of farm supplies, lumber and building supplies, monuments, and automotive vehicle parts and accessories; crematories; and similar uses: one (1) space for each three hundred fifty (350) square feet of floor area, plus, where applicable, one (1) space for each one thousand (1,000) square feet of lot or ground area outside buildings used for any type of sales, display, or activity.
3. Restaurants: one (1) space for each three (3) seats in public rooms.
4. Miscellaneous uses such as express or parcel delivery office, telephone exchange, motor bus or truck or other transportation terminal: one (1) space for each three hundred fifty (350) square feet of floor area.
5. For uses specifically listed under CI: As for CI OFFSTREET PARKING REQUIREMENTS.
6. Other permitted uses (unless otherwise specified): one (1) space for each five hundred (500) square feet of floor area.
7. For other special exceptions as specified herein: to be determined by findings in the particular case.

Note: Offstreet loading required (see Section 4.2).

SECTION 4.17 "I" INDUSTRIAL

4.17.1 DISTRICTS AND INTENT

The "I" Industrial category includes one (1) zone district: "I". This district is intended primarily for manufacturing and closely related uses. It is intended to preserve such lands for the functions of industrial activity, wholesaling, warehousing and distribution. To allow maximum latitude for operations, performance standards are applied at district boundaries, so that uses which might not otherwise be permitted are allowable in the portions of the district not adjacent to the district boundary lines.

4.17.2 PERMITTED PRINCIPAL USES AND STRUCTURES

As for ILW, and in addition:

1. Any industrial use which is otherwise lawful (except those uses requiring special controls and permissible as special exceptions) and which conforms to performance standards as set out in Section 4.2.

Site and development plan approval (see Article 13) is required for all industrial developments.

4.17.3 PERMITTED ACCESSORY USES AND STRUCTURES

1. Uses and structures which are customarily accessory and clearly incidental and subordinate to permitted principal uses and structures.
2. On-site signs (see Section 4.2).
3. On the same premises and in connection with permitted principal uses and structures, dwelling units only for the occupation of owners or employees of the principal use.

4.17.4 PROHIBITED USES AND STRUCTURES

Any uses or structures not specifically, provisionally, or by reasonable implication permitted herein, including any use not conforming to performance standards of Section 4.2.

4.17.5 SPECIAL EXCEPTIONS

(See also Articles 12 and 13)

1. Wrecking yards (including automobile wrecking yard); junk yards; or yards used for scrap, salvage, second-hand building materials, junk automotive vehicles, or second-hand automotive parts; provided any such yard shall be completely enclosed by an opaque fence or wall not less than six (6) feet high; provided that this fence or wall shall not be built of tin or galvanized metal sheets.
2. Bulk storage yards including bulk storage of flammable liquids, subject to provisions of local and state fire codes.
3. Chemical and fertilizer manufacture.
4. Paint, oil (including linseed), shellac, turpentine, lacquer or varnish manufacture.
5. Paper and pulp manufacture.
6. Petroleum refining.
7. Rendering plant.

8. Storage, sorting, collecting or baling of rags, iron or junk.
9. Off-site signs (see Section 4.2).
10. Truck stops and automotive service and self-service stations (see Section 4.2 for special design standards for automotive service stations).
11. Hazardous waste disposal sites.
12. Electric or gas generating plants.
13. Asphalt or concrete batching plants.
14. Uses similar to those listed above.
15. Public buildings and facilities.
16. Package store for the sale of alcoholic beverages bar, tavern, club or cocktail lounge for consumption of alcoholic beverages.
17. Auction house (but not including livestock auction arena) when operating in compliance with the following standards:
 - a. Must be licensed as required by the City Code of Ordinances.
 - b. Hours of operation of the auction house shall be conducted only between the hours of 5:00 p.m. until 12:00 p.m. Monday through Friday and 12:00 p.m. until 12:00 a.m. Saturday and Sunday; however, provided that additional hours of operations may be granted if adequate offstreet parking facilities are provided to accommodate all vehicles associated with the operation of the auction house in a Industrial (I) zoning district.
 - c. Structure must provide minimum requirements for assembly buildings as provided by Life Safety Codes and Building Codes.

4.17.6 MINIMUM LOT REQUIREMENTS (area, width)

1. All permitted uses and structures (unless otherwise specified):
None, except as needed to meet the other requirements as set out herein.

4.17.7 MINIMUM YARD REQUIREMENTS (depth of front and rear yard, width of side yards) (See Section 4.2 for right-of-way setback requirements.)

1. All permitted uses and structures (unless otherwise specified):

Front	Twenty (20) feet
Side and Rear	Fifteen (15) feet except where railroad spur abuts side or rear property line, in which case no yard is required.

Special Provisions:

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from wetlands.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from perennial streams and creeks.

4.17.8 MAXIMUM HEIGHT OF STRUCTURES

1. Structure height for buildings shall be regulated in accordance with Chapter 5 of the Florida Building Codes and minimum yard requirements established in these land development regulations;
2. Height requirements for signs shall be established in Section 4.2.20.4(8); and
3. Height for structures other than buildings and signs shall be regulated in accordance with standards established by the Federal Aviation Administration codes and any airport regulations and guidelines as may be established by the City and/or Airport Committee or Authority.

4.17.9 MAXIMUM LOT COVERAGE BY ALL BUILDINGS

In addition to meeting the required yard, building height, landscaped buffering, and offstreet parking requirements of this section, no structure shall exceed a 1.0 floor area ratio.

4.17.10 MINIMUM LANDSCAPED BUFFERING REQUIREMENTS
(See also Section 4.2)

1. All permitted uses (unless otherwise specified):

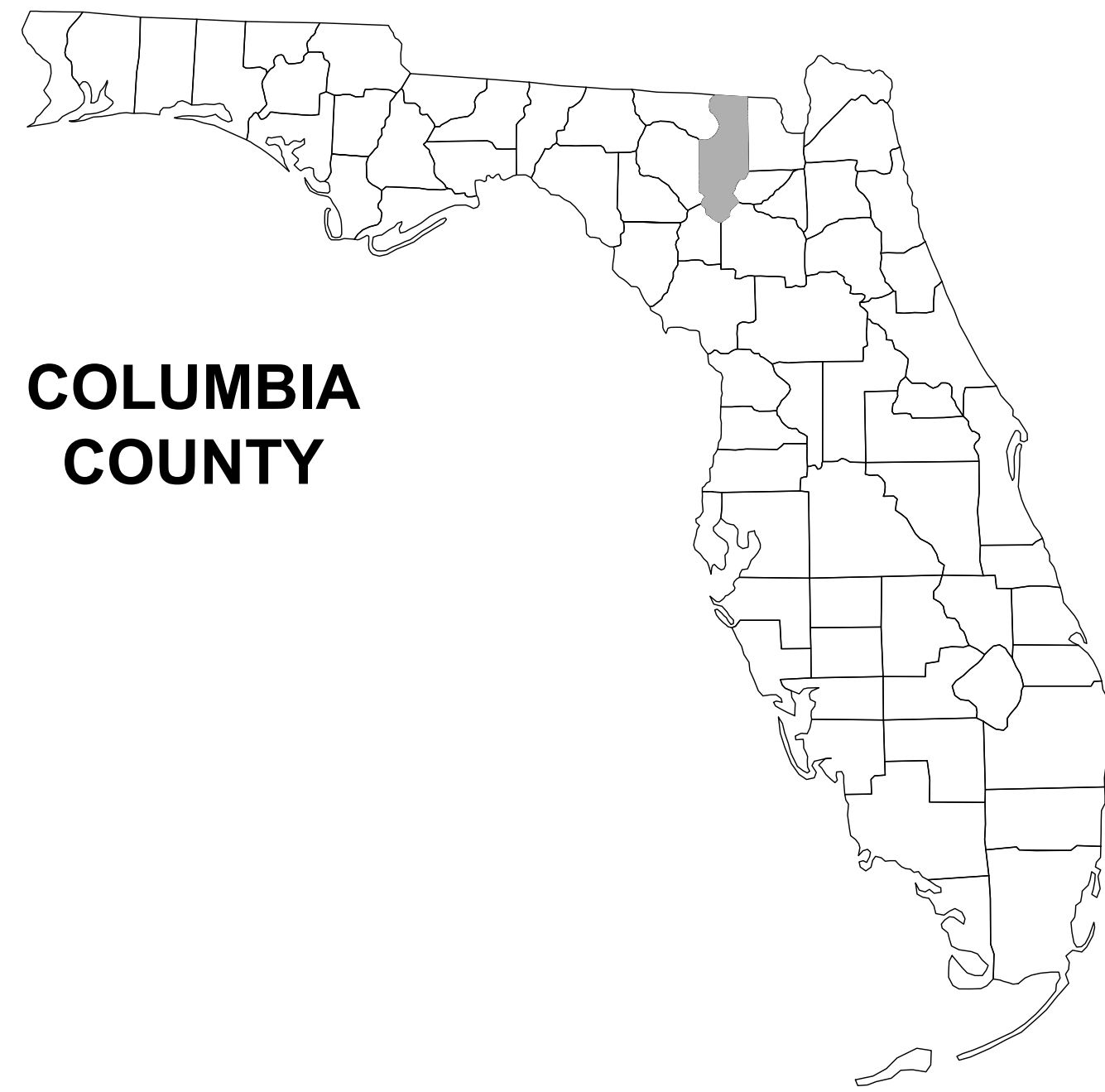
Where a use listed under (1) above is erected or expanded on land abutting a residential district, then the proposed use shall provide a landscaped buffer which shall be not less than twenty-five (25) feet in width along the affected rear and/or side yards as the case may be.

4.17.11 MINIMUM OFFSTREET PARKING REQUIREMENTS
(See also Section 4.2)

1. Warehousing and storage only: one (1) space for each one thousand five hundred (1,500) square feet of floor area.
2. Retail commercial establishments for sale, repair, and service of new and used automobiles, motorcycles, trucks and tractors, mobile homes, boats, heavy machinery and equipment, and farm equipment; motor vehicle body shops; retail establishments for sale of farm supplies, lumber and building supplies, monuments, and automotive vehicle parts and accessories; wrecking yards; and similar uses: one (1) space for each three hundred fifty (350) square feet of floor area, plus where applicable, one (1) space for each one thousand (1,000) square feet of lot or ground area outside buildings used for any type of sales, display, or activity.
3. Restaurants: one (1) space for each three (3) seats in public rooms.
4. Miscellaneous uses such as express or parcel delivery office, telephone exchange, motor bus or truck or other transportation terminal: one (1) space for each three hundred fifty (350) square feet of floor area.
5. For uses specifically listed under ILW: As for ILW OFFSTREET PARKING REQUIREMENTS.
6. Other permitted uses (unless otherwise specified): one (1) space for each five hundred (500) square feet of floor area.

7. For other special exceptions as specified herein: to be determined by findings in the particular case.

Note: Offstreet loading required (see Section 4.2).

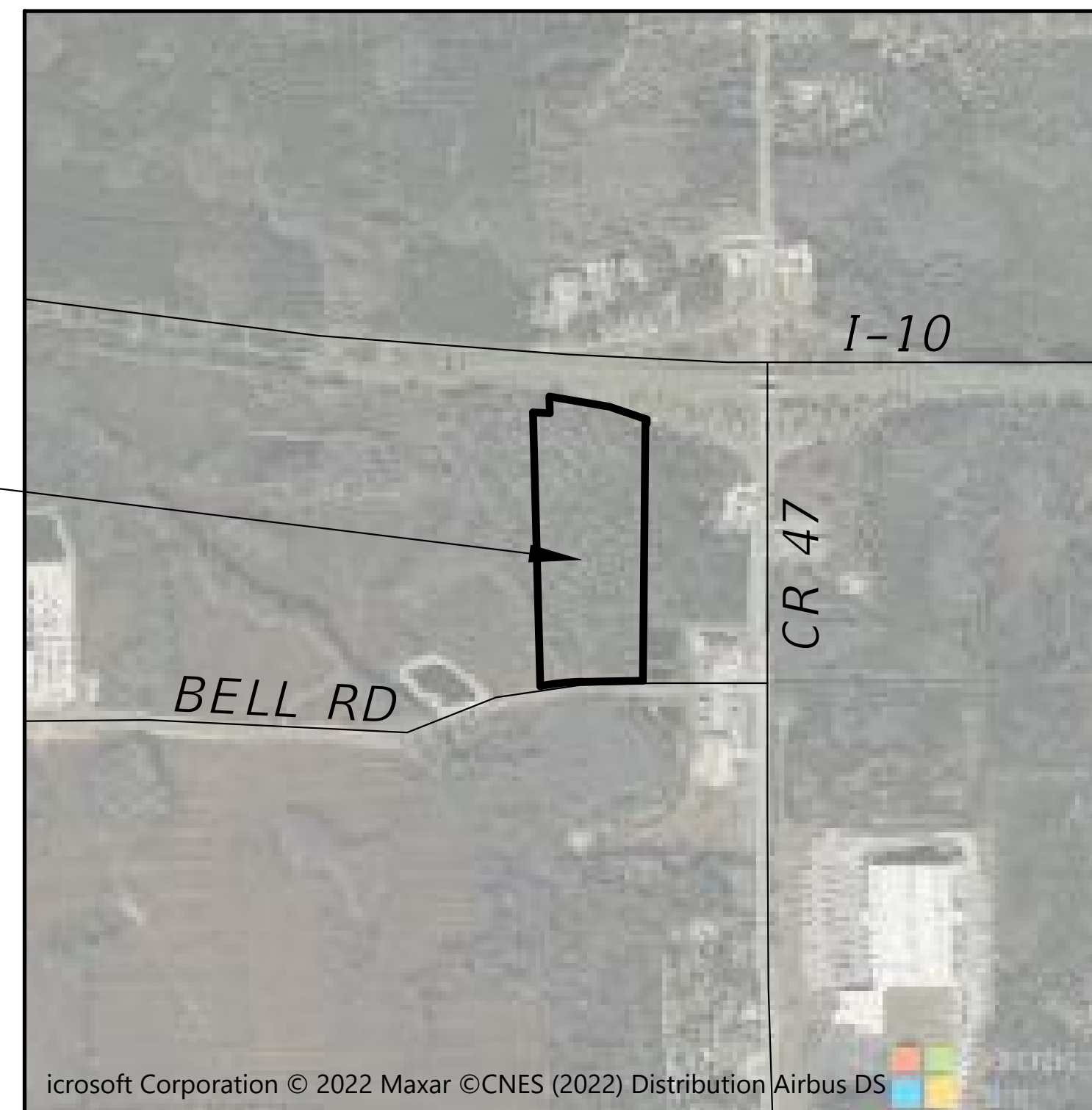


**COLUMBIA
COUNTY**

BELL ROAD COLUMBIA COUNTY, FLORIDA SECTION 7, TOWNSHIP 3S, RANGE 17E

SHEET INDEX

PROJECT LOCATION →



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PLANS PREPARED FOR:

**DANIEL CRAPPS
PO BOX 3176
LAKE CITY, FL 32056**

**11/2022
CITY SUBMITTAL
NOT FOR CONSTRUCTION**

REVISIONS	
DATE	DESCRIPTION



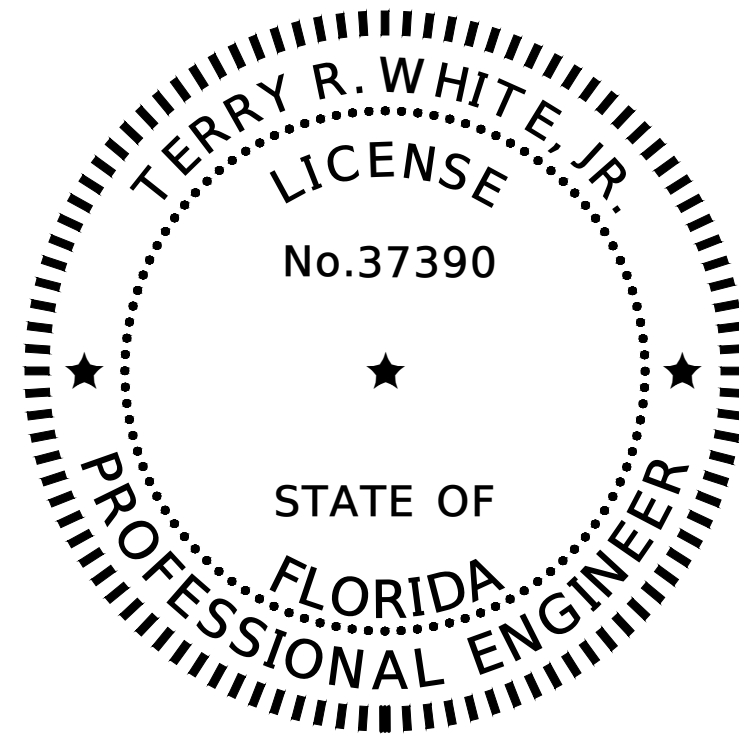
NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
 LAKE CITY, FL 32056
 PH. 386-752-4675
 LIC NO. LB8356

2551 BLAIRSTONE PINES DR.
 TALLAHASSEE, FL 32301
 WWW.NFPS.NET
 CA# 29011

JOB NUMBER:
L220630CRA
 EOR:
TERRY R. WHITE, JR.
 P.E. NO.:
37390

COVER SHEET

SHEET
NO.
1



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED IN THE ELECTRONIC DOCUMENTS.

NORTH FLORIDA PROFESSIONAL SERVICES INC.
P.O. BOX 3823
LAKE CITY, FL 32056
CERTIFICATE OF AUTHORIZATION: 29011
TERRY R. WHITE, JR., P.E. NO. 37390

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

SHEET INDEX

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SITE DATA TABLE					
Bell Road					
PARCEL ID NUMBER	08-35-17-04903-002				
ZONING	INDUSTRIAL				
LAND USE	INDUSTRIAL				
DISTRICT NUMBER	DISTRICT 1				
PHYSICAL ADDRESS	BELL ROAD, LAKE CITY, FL				
	PROJECT PROPERTY BOUNDARY	SQ. FT.	ACRES	% OF SITE	% OF LOC
	TOTAL PROPERTY BOUNDARY AREA	703930	16.16	100.00%	100.00%
	(LOC)	703930	16.16	100.00%	100.00%
	BOTH ON-SITE & OFF-SITE	703930	16.16	100.00%	100.00%
	EXISTING IMPERVIOUS AREA ON-SITE				
	EXISTING ASPHALT PAVEMENT	0	0.00	0.00%	0.00%
	EXISTING CONCRETE	0	0.00	0.00%	0.00%
	EXISTING BUILDING	0	0.00	0.00%	0.00%
	EXISTING STORMWATER MANAGEMENT	0	0.00	0.00%	0.00%
	TOTAL EXISTING IMPERVIOUS AREA ON-	0	0.00	0.00%	0.00%
	PROPOSED IMPERVIOUS AREA ON-SITE				
	EXISTING ASPHALT PAVEMENT TO	0	0.00	0.00%	0.00%
	EXISTING CONCRETE TO REMAIN	0	0.00	0.00%	0.00%
	EXISTING BUILDING TO REMAIN	0	0.00	0.00%	0.00%
	EXISTING STORMWATER MANAGEMENT FACILITY TO REMAIN	0	0.00	0.00%	0.00%
	PROPOSED ASPHALT PAVEMENT	307047	7.05	43.62%	43.62%
	PROPOSED CONCRETE	600	0.01	0.09%	0.09%
	PROPOSED BUILDING	5000	0.11	0.71%	0.71%
	PROPOSED STORMWATER MANAGEMENT	157968	3.63	22.44%	22.44%
	TOTAL PROPOSED IMPERVIOUS AREA ON-SITE	470615	10.80	66.86%	66.86%
	TOTAL PROPOSED PERVIOUS AREA ON-SITE	233315	5.36	33.14%	33.14%
	REQUIRED PARKING LANDSCAPE AREA ON-SITE	8960	0.21	1.27%	1.27%
	PROPOSED PARKING LANDSCAPE AREA ON SITE	9650	0.22	1.37%	1.37%
	REQUIRED PARKING	15 SPACES + 1 H.C. SPACES			
	PROVIDED PARKING	24 SPACES + 1 H.C. SPACES			

REVISIONS	
DATE	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
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TERRY R. WHITE, JR.
P.E. NO.:
37390

SIGNATURE SHEET
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
2

GENERAL NOTES

1. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE TO ENSURE THAT ALL NEW WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER AND THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) OF SUCH DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 10/2 SELF-CERTIFICATION, SUWANNEE RIVER WATER MANAGEMENT DISTRICT ENVIRONMENTAL RESOURCE PERMIT, FLORIDA DEPARTMENT OF TRANSPORTATION DRIVEWAY CONNECTION PERMIT, FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DRINKING WATER FACILITY PERMIT, AND FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOMESTIC WASTEWATER COLLECTION/TRANSMISSION SYSTEM PERMIT.
3. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
4. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
5. THE SITE IS LOCATED IN SECTION 7, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA.
6. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.
7. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH SRWMD APPLICANT HANDBOOK VOLUME II AND 62-330 F.A.C.
8. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.
9. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
10. EXISTING DRAINAGE STRUCTURES WITHIN THE CONSTRUCTION LIMITS SHALL BE REMOVED.
11. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
12. ALL UTILITY CONSTRUCTION SHALL MEET THE CITY OF LAKE CITY WATER AND WASTEWATER UTILITY STANDARDS, AVAILABLE FROM CITY HALL OR PUBLIC WORKS.
13. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE ENGINEER.
14. ALL SITE CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE CITY OF LAKE CITY LAND DEVELOPMENT REGULATIONS.
15. CONTRACTOR SHALL REVIEW AND BECOME FAMILIAR WITH ALL REQUIRED UTILITY CONNECTIONS PRIOR TO BIDDING. CONTRACTOR SHALL PROVIDE ALL WORK AND MATERIALS REQUIRED TO COMPLETE CONNECTION TO THE EXISTING UTILITIES. THIS INCLUDES BUT IS NOT LIMITED TO MANHOLE CORING, WET TAPS, PAVEMENT REPAIRS AND DIRECTIONAL BORING.
16. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

17. CONTRACTOR SHALL PROVIDE ACTUAL INVERT ELEVATIONS ON ALL DRAINAGE STRUCTURES, INCLUDING CULVERTS, PRIOR TO PLACING ANY BASE MATERIAL. DEVIATIONS FROM THE PLANS SHALL BE APPROVED BY THE ENGINEER BEFORE CONTINUING WORK.
18. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), AWWA SPECIFICATIONS, AND THE CITY OF XXXX DEVELOPMENT STANDARDS UNLESS OTHERWISE NOTED.
19. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE SPECIFICATIONS PREPARED BY NORTH FLORIDA PROFESSIONAL SERVICES, INC.
20. A PRE-CONSTRUCTION MEETING WITH THE GREATER LAKE CITY REGIONAL UTILITY AUTHORITY (GLCRUA) PROJECT INSPECTOR IS REQUIRED PRIOR TO BEGINNING CONSTRUCTION.
21. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
22. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
23. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
24. THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST 48 HOURS IN ADVANCE OF THE PRESSURE AND LEAKAGE TESTS.
25. NO FINAL TESTING OR PRESSURE TESTING WILL BE ACCEPTED UNLESS WITNESSED BY THE CITY'S REPRESENTATIVE.
26. NO WORK SHALL BE PERFORMED ON SATURDAY OR SUNDAY WITHOUT WRITTEN NOTIFICATION TO THE CITY AND CITY ENGINEER.
27. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. THIS AS-BUILT SURVEY SHOULD INCLUDE ALL OUTFALL STRUCTURES. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.
28. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
29. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. SEE KARST REPAIR DETAIL #E23. IN ADDITION, A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.
30. ALL CONCRETE SLABS ABUTTING EXTERIOR WALLS SHALL BE SOIL TREATED FOR TERMITES.
31. ALL UTILITY AND/OR DRAINAGE STRUCTURES SHALL BE PRECAST UNLESS APPROVED BY THE ENGINEER. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS FOR APPROVAL PRIOR TO PROCUREMENT.

REVISIONS	
DATE	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823
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JOB NUMBER:
 L220630CRA
 EOR:
 TERRY R. WHITE, JR.
 P.E. NO.:
 37390

NOTES
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
3

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

WATER AND SEWER NOTES

1. ALL UTILITY CONSTRUCTION SHALL MEET THE TOWN OF FORT WHITE WATER AND WASTEWATER UTILITY STANDARDS.

2. THE CONTRACTOR SHALL MAINTAIN EXISTING WATER MAINS IN SERVICE DURING CONSTRUCTION. IN THE EVENT INTERRUPTIONS TO SERVICE ARE REQUIRED DURING CONSTRUCTION, SUCH INSTANCES SHALL BE MINIMIZED.

3. ALL NEW OR RELOCATED WATER MAINS THAT SERVE FIRE HYDRANTS AND ALL FIRE HYDRANT LEADS SHALL BE NO SMALLER THAN SIX INCHES IN DIAMETER. AUXILIARY VALVES SHALL BE PROVIDED ON ALL HYDRANT LEADS.

4. SUFFICIENT VALVES SHALL BE PROVIDED IN NEW AND RELOCATED WATER MAINS SO THAT INCONVENIENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING REPAIRS. (VALVES SHALL BE PLACED IN NO MORE THAN 500-FOOT INTERVALS IN COMMERCIAL DISTRICTS AND AT NO MORE THAN ONE-BLOCK OR 800-FOOT INTERVALS IN OTHER DISTRICTS.)

5. IF THERE ARE ANY NEW OR RELOCATED WATER MAINS THAT CROSS UNDER ANY SURFACE WATER, A MINIMUM COVER OF TWO FEET SHALL BE PROVIDED OVER THE WATER MAIN PIPE AT EACH SURFACE WATER CROSSING, AND IF THE SURFACE WATER IS GREATER THAN 15 FEET IN WIDTH, THE FOLLOWING FEATURES SHALL BE PROVIDED: (A) FLEXIBLE WATER TIGHT JOINTS FOR THE WATER MAIN PIPE AT THE CROSSING, (B) EASILY ACCESSIBLE VALVES LOCATED IN A MANHOLE, AND (C) PERMANENT TAPS ON EACH SIDE OF THE VALVE WITHIN THE MANHOLE TO ALLOW FOR SAMPLING AND INSERTION OF A SMALL METER TO DETERMINE LEAKAGE.

6. PROPER BACKFLOW-PREVENTION ASSEMBLIES/DEVICES SHALL BE PROVIDED IN ACCORDANCE WITH RULE 62-555.360, F.A.C., AND THE AWWA'S MANUAL M14, RECOMMENDED PRACTICE FOR BACKFLOW PREVENTION AND CROSS-CONNECTION CONTROL.

7. THIS PROJECT SHALL NOT INCLUDE ANY INTERCONNECTION BETWEEN PREVIOUSLY SEPARATE PUBLIC WATER SYSTEMS THAT HAVE SEPARATE WATER SUPPLY SOURCES. (A SPECIFIC CONSTRUCTION PERMIT IS REQUIRED FOR SUCH AN INTERCONNECTION.)

8. ALL NEW RELOCATED WATER LATERALS THAT CROSS ANY SANITARY SEWERS, STORM SEWERS, FORCE MAINS, OR RECLAIMED WATER LINES SHALL CROSS ABOVE SUCH PIPELINES.

9. COPPER TRACER WIRE SHALL BE PLACED ON ALL POTABLE WATER LINES AND WATER LATERALS. TRACER WIRE SHALL BE CONTINUOUS WITH NO INTERRUPTIONS.

10. LOCATOR BALLS SHALL BE PROVIDED AT END OF ALL WATER AND SANITARY SEWER LATERALS. THE LOCATOR BALLS SHALL BE SECURED TO THE LATERALS WITH A PLASTIC TIE STRAP.

11. WATER AND SANITARY SEWER LATERALS SHALL BE LEFT UNCOVERED UNTIL INSPECTED BY THE ENGINEER OR THE ENGINEER'S INSPECTOR.

12. CONTRACTOR SHALL PROVIDE TEMPORARY STAKES (2" BY 2" WOODEN STAKES) AT THE END OF EACH LATERAL. EACH STAKE SHALL INDICATE EITHER WATER OR SANITARY SEWER LATERAL. CONTRACTOR SHALL MAINTAIN THE STAKES UNTIL AN AS-BUILT SURVEY OF WATER AND SANITARY SEWER MAINS AND LATERALS ARE COMPLETE AND APPROVED BY THE ENGINEER.

13. MEGALUG MECHANICAL JOINT RESTRAINTS OR SERIES 1390 UNI-FLANGE BLOCK BUSTER RESTRAINT DEVICES SHALL BE USED WITH MANUFACTURER'S RECOMMENDATIONS. ALL RESTRAINED JOINTING MUST BE LEFT OPEN UNTIL VIEWED BY THE CITY INSPECTOR.

14. FOR SANITARY SEWER PERFORM HYDROSTATIC TEST. ALLOWABLE LEAKAGE IS A MAXIMUM OF 50 GAL. PER INCH OF NOMINAL PIPE SIZE PER MILE OF PIPE, DURING A 24-HOUR PERIOD. OPTION: TEST DUCTILE-IRON PIPING ACCORDING TO AWWA C600, SECTION "HYDROSTATIC TESTING". USE TEST PRESSURE OF AT LEAST 10 PSI. FOR SANITARY SEWERAGE, PERFORM AIR TEST ACCORDING TO UNI-B-6.

15. FOR SANITARY SEWERAGE ALIGNMENT: EACH SECTION OF THE COMPLETED SEWER SYSTEM SHALL BE INSPECTED FOR PROPER ALIGNMENT. INSPECTION SHALL CONSIST OF "LAMPING" FROM MANHOLE TO MANHOLE. ANY SECTION OF THE SEWER SYSTEM, WHICH DOES NOT DISPLAY TRUE, CONCENTRIC ALIGNMENT, SHALL BE INSTALLED AT NO ADDITIONAL EXPENSE TO THE OWNER.

16. CLEAN AND DISINFECT WATER DISTRIBUTION PIPING SYSTEMS AND PARTS OF EXISTING SYSTEMS THAT HAVE BEEN ALTERED, EXTENDED OR REPAIRED BEFORE USE. USE PURGING AND DISINFECTING PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE PROCEDURE PRESCRIBED BY AUTHORITIES HAVING JURISDICTION OR USE PROCEDURE DESCRIBED IN AWWA C651.

17. PVC GRAVITY FLOW SEWER PIPE AND FITTINGS 15 INCH AND SMALLER IN DIAMETER SHALL BE SDR35 PIPE WITH BELL AND SPIGOT GASKET JOINT THAT COMPLIES WITH THE REQUIREMENTS OF ASTM D3034.

18. ALL PIPE, PIPE FITTINGS, PIPE JOINT PACKING AND JOINTING MATERIALS, VALVES, FIRE HYDRANTS, AND METERS INSTALLED UNDER THIS PROJECT SHALL CONFORM TO APPLICABLE AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS.

19. ALL PUBLIC WATER SYSTEM COMPONENTS, EXCLUDING FIRE HYDRANTS, THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL COME INTO CONTACT WITH DRINKING WATER SHALL CONFORM TO NSF INTERNATIONAL STANDARD 61 AS ADOPTED IN RULE 62-555.335, F.A.C., OR OTHER APPLICABLE STANDARDS, REGULATIONS, OR REQUIREMENTS REFERENCED IN PARAGRAPH 62- 555.320(3)(B), F.A.C.

20. ALL PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL CONTAIN NO MORE THAN 8.0% LEAD, AND ANY SOLDER OR FLUX USED IN THIS PROJECT WILL CONTAIN NO MORE THAN 0.2% LEAD.

21. ALL WATER PIPE AND PIPE FITTINGS INSTALLED UNDER THIS PROJECT SHALL BE COLOR CODED OR MARKED IN ACCORDANCE WITH SUBPARAGRAPH 62-555.320(21)(B) 3, F.A.C., USING BLUE AS A PREDOMINANT COLOR. (UNDERGROUND PLASTIC PIPE SHALL BE SOLID-WALL BLUE PIPE, WILL HAVE A CO-EXTRUDED BLUE EXTERNAL SKIN, OR WILL BE WHITE OR BLACK PIPE WITH BLUE STRIPES INCORPORATED INTO, OR APPLIED TO, THE PIPE WALL; AND UNDERGROUND METAL OR CONCRETE PIPE SHALL HAVE BLUE STRIPES APPLIED TO THE PIPE WALL. PIPE STRIPED DURING MANUFACTURING OF THE PIPE SHALL HAVE CONTINUOUS STRIPES THAT RUN PARALLEL TO THE AXIS OF THE PIPE, THAT ARE LOCATED AT NO GREATER THAN 90-DEGREE INTERVALS AROUND THE PIPE, AND THAT WILL REMAIN INTACT DURING AND AFTER INSTALLATION OF THE PIPE. IF TAPE OR PAINT IS USED TO STRIPE PIPE DURING INSTALLATION OF PIPE, THE TAPE OR PAINT SHALL BE APPLIED IN A CONTINUOUS LINE THAT RUNS PARALLEL TO THE AXIS OF THE PIPE AND THAT IS LOCATED ALONG THE TOP OF THE PIPE; FOR PIPE WITH AN INTERNAL DIAMETER OF 24 INCHES OR GREATER, TAPE OR PAINT WILL BE APPLIED IN CONTINUOUS LINES ALONG EACH SIDE OF THE PIPE AS WELL AS ALONG THE TOP OF THE PIPE. ABOVEGROUND PIPE SHALL BE PAINTED BLUE OR WILL BE COLOR-CODED OR MARKED LIKE UNDERGROUND PIPE.

22. SUFFICIENT VALVES SHALL BE PROVIDED ON NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SO THAT INCONVENIENCE AND SANITARY HAZARDS WILL BE MINIMIZED DURING REPAIRS.

23. ALL FIRE HYDRANTS THAT WILL BE INSTALLED UNDER THIS PROJECT AND THAT WILL HAVE UNPLUGGED, UNDERGROUND DRAINS SHALL BE LOCATED AT LEAST THREE FEET FROM ANY EXISTING OR PROPOSED STORM SEWER, STORMWATER FORCE MAIN, PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., OR VACUUM-TYPE SANITARY SEWER; CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C., OR VACUUM-TYPE SANITARY SEWER; OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-10, F.A.C.; AND AT LEAST TEN FEET FROM ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

24. NEW OR ALTERED CHAMBERS, PITS, OR MANHOLES THAT CONTAIN VALVES, BLOW-OFFS, METERS, OR OTHER SUCH WATER DISTRIBUTION SYSTEM APPURTENANCES AND THAT ARE INCLUDED IN THIS PROJECT WILL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER, AND BLOW-OFFS OR AIR RELIEF VALVES INSTALLED UNDER THIS PROJECT SHALL NOT BE CONNECTED DIRECTLY TO ANY SANITARY OR STORM SEWER.

25. NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE INSTALLED IN ACCORDANCE WITH APPLICABLE AWWA STANDARDS OR IN ACCORDANCE WITH MANUFACTURERS' RECOMMENDED PROCEDURES.

26. A CONTINUOUS AND UNIFORM BEDDING SHALL BE PROVIDED IN TRENCHES FOR UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT; BACKFILL MATERIAL WILL BE TAMPED IN LAYERS AROUND UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT AND TO A SUFFICIENT HEIGHT ABOVE THE PIPE TO ADEQUATELY SUPPORT AND PROTECT THE PIPE; AND UNSUITABLY SIZED STONES (AS DESCRIBED IN APPLICABLE AWWA STANDARDS OR MANUFACTURERS' RECOMMENDED INSTALLATION PROCEDURES) FOUND IN TRENCHES WILL BE REMOVED FOR A DEPTH OF AT LEAST SIX INCHES BELOW THE BOTTOM OF UNDERGROUND PIPE INSTALLED UNDER THIS PROJECT.

27. ALL WATER MAIN TEES, BENDS, PLUGS, AND HYDRANTS INSTALLED UNDER THIS PROJECT SHALL BE PROVIDED WITH RESTRAINED JOINTS TO PREVENT MOVEMENT.

28. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE CONSTRUCTED OF ASBESTOS-CEMENT OR POLYVINYL CHLORIDE PIPE SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C603 OR C605, RESPECTIVELY, AS INCORPORATED INTO RULE 62-555.330, F.A.C., AND ALL OTHER NEW OR ALTERED WATER MAINS INCLUDED IN THIS PROJECT SHALL BE PRESSURE AND LEAKAGE TESTED IN ACCORDANCE WITH AWWA STANDARD C600 AS INCORPORATED INTO RULE 62-555.330.

29. NEW OR ALTERED WATER MAINS, INCLUDING FIRE HYDRANT LEADS AND INCLUDING SERVICE LINES THAT WILL BE UNDER THE CONTROL OF A PUBLIC WATER SYSTEM AND THAT HAVE AN INSIDE DIAMETER OF THREE INCHES OR GREATER, SHALL BE DISINFECTED AND BACTERIOLOGICALLY EVALUATED IN ACCORDANCE WITH RULE 62-555.340, F.A.C.

30. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL BE INSTALLED IN AREAS WHERE THERE ARE KNOWN AGGRESSIVE SOIL CONDITIONS SHALL BE PROTECTED THROUGH USE OF CORROSION-RESISTANT WATER MAIN MATERIALS, THROUGH ENCASEMENT OF THE WATER MAINS IN POLYETHYLENE, OR THROUGH PROVISION OF CATHODIC PROTECTION.

31. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL BE LAID TO PROVIDE A HORIZONTAL DISTANCE OF AT LEAST THREE FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED VACUUM-TYPE SANITARY SEWER, STORM SEWER, STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

32. NEW OR RELOCATED, UNDERGROUND WATER MAINS INCLUDED IN THIS PROJECT SHALL HAVE A HORIZONTAL DISTANCE OF AT LEAST SIX AND TEN FEET IS PREFERRED BETWEEN THE OUTSIDE OF THE WATER MAIN AND THE OUTSIDE OF ANY EXISTING OR PROPOSED GRAVITY-TYPE SANITARY SEWER, EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER NOT REGULATED UNDER PART III OF CHAPTER 62-610, F.A.C.

33. THE HORIZONTAL SEPARATION DISTANCE BETWEEN WATER MAINS AND GRAVITY-TYPE SANITARY SEWERS MAY BE REDUCED TO THREE FEET WHERE THE BOTTOM OF THE WATER MAIN IS LAID AT LEAST TWELVE INCHES ABOVE THE TOP OF THE SEWER

34. A HORIZONTAL DISTANCE OF AT LEAST TEN FEET BETWEEN THE OUTSIDE OF THE WATER MAIN AND ALL PARTS OF ANY EXISTING OR PROPOSED "ON-SITE SEWAGE TREATMENT AND DISPOSAL SYSTEM."

35. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED GRAVITY- OR VACUUM-TYPE SANITARY SEWER OR STORM SEWER SHALL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE THE OTHER PIPELINE. NEW OR RELOCATED, UNDERGROUND WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ANY EXISTING OR PROPOSED PRESSURE-TYPE SANITARY SEWER, WASTEWATER OR STORMWATER FORCE MAIN, OR PIPELINE CONVEYING RECLAIMED WATER WILL BE LAID SO THE OUTSIDE OF THE WATER MAIN IS AT LEAST 12 INCHES ABOVE THE OTHER PIPELINE.


36. AT THE UTILITY CROSSINGS DESCRIBED ABOVE, SEPARATION DISTANCE SHALL NOT APPLY WHERE A WATER SERVICE PIPE CROSSES A SEWER PIPE, PROVIDED THE WATER SERVICE PIPE IS SLEEVED TO AT LEAST FIVE FEET HORIZONTALLY FROM THE SEWER PIPE CENTERLINE ON BOTH SIDES OF SUCH CROSSINGS WITH PIPE MATERIAL LISTED IN FLORIDA BUILDING CODE SECTION 603.2.

37. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS ABOVE SURFACE WATER SHALL BE ADEQUATELY SUPPORTED AND ANCHORED, PROTECTED FROM DAMAGE AND FREEZING, AND ACCESSIBLE FOR REPAIR OR REPLACEMENT.

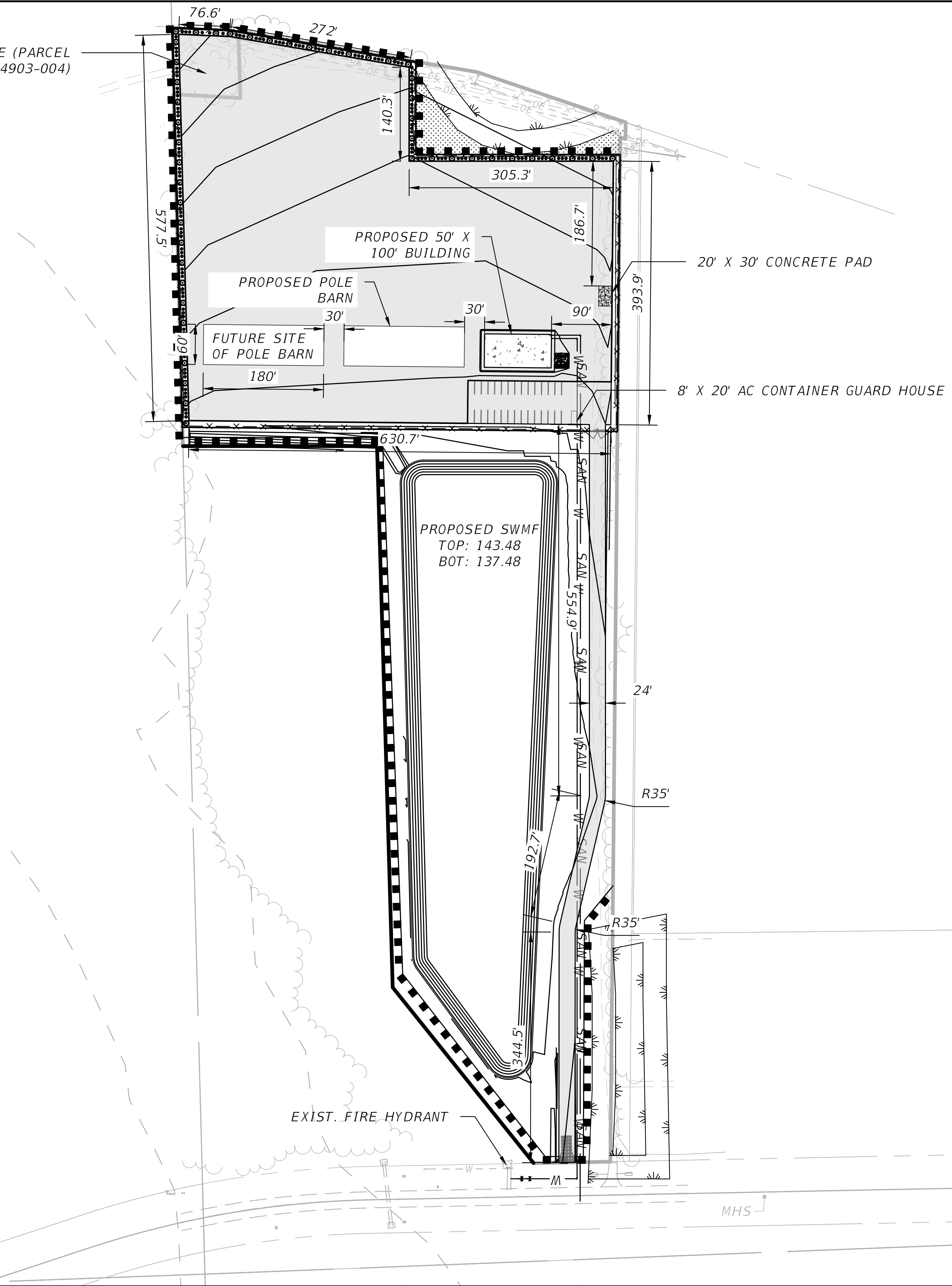
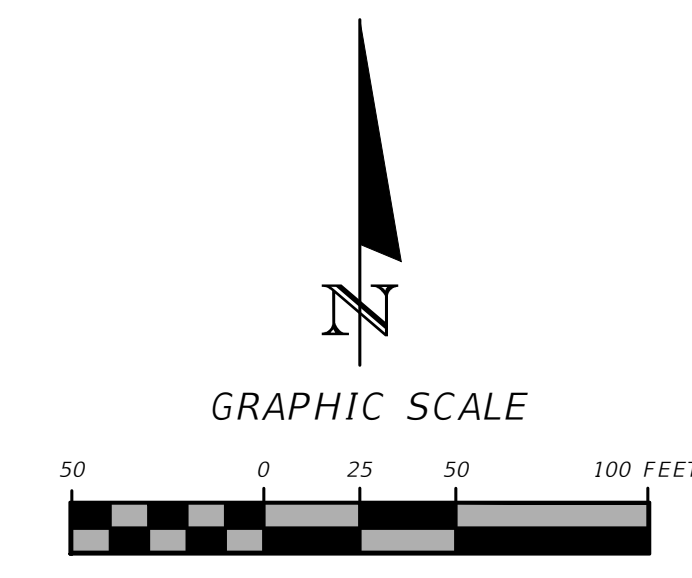
38. NEW OR ALTERED WATER MAINS THAT ARE INCLUDED IN THIS PROJECT AND THAT WILL CROSS UNDER SURFACE WATER COURSES GREATER THAN 15 FEET IN WIDTH SHALL HAVE FLEXIBLE OR RESTRAINED, WATERTIGHT PIPE JOINTS AND WILL INCLUDE VALVES AT BOTH ENDS OF THE WATER CROSSING SO THE UNDERWATER MAIN CAN BE ISOLATED FOR TESTING AND REPAIR; THE AFOREMENTIONED ISOLATION VALVES WILL BE EASILY ACCESSIBLE AND WILL NOT BE SUBJECT TO FLOODING; THE ISOLATION VALVE CLOSEST TO THE WATER SUPPLY SOURCE WILL BE IN A MANHOLE; AND PERMANENT TAPS WILL BE PROVIDED ON EACH SIDE OF THE ISOLATION VALVE WITHIN THE MANHOLE TO ALLOW FOR INSERTION OF A SMALL METER TO DETERMINE LEAKAGE FROM THE UNDERWATER MAIN AND TO ALLOW FOR SAMPLING OF WATER FROM THE UNDERWATER MAIN.

39. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE POTABLE WATER MAIN EXTENSION AND THE SANITARY SEWER MAIN EXTENSIONS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.

40. CONTRACTOR SHALL PROVIDE POTABLE WATER TEST REPORTS IN ACCORDANCE WITH FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION REQUIREMENTS AFTER DISINFECTION OF THE SYSTEM.

REVISIONS		 NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 LIC NO. LB8356	2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CA# 29011	JOB NUMBER: L220630CRA EOR: TERRY R. WHITE, JR. P.E. NO.: 37390	<h2>WATER & SEWER NOTES</h2> <h3>BELL ROAD</h3> <h3>COLUMBIA COUNTY, FLORIDA</h3>	SHEET NO. 4
DATE	DESCRIPTION					

APART OF SITE (PARCEL NUMBER 08-35-17-04903-004)



REVISIONS	
DATE	DESCRIPTION



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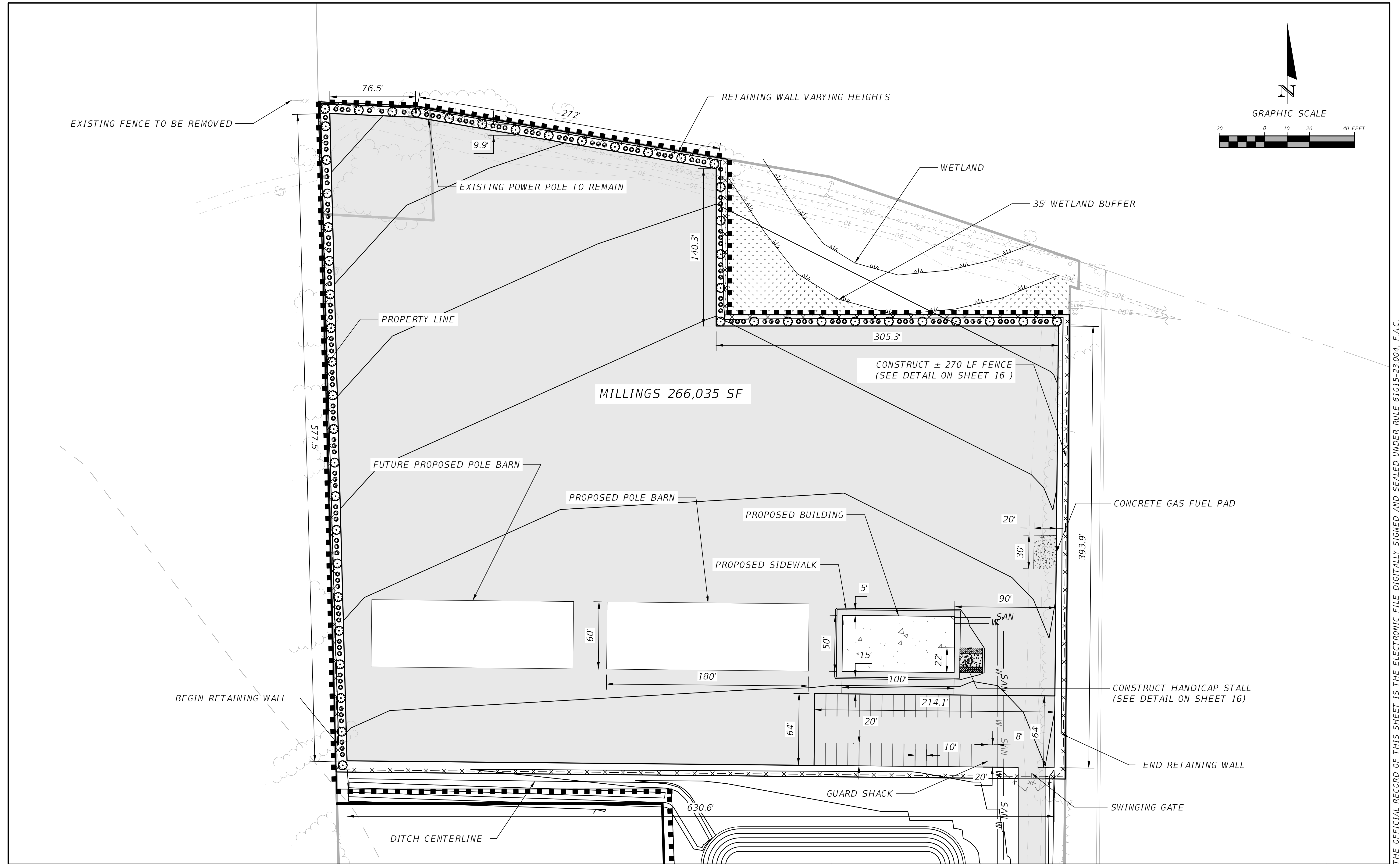
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 WWW.NFPS.NET
 CA# 29011

JOB NUMBER:
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 EOR:
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 P.E. NO.:
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SITE PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
5

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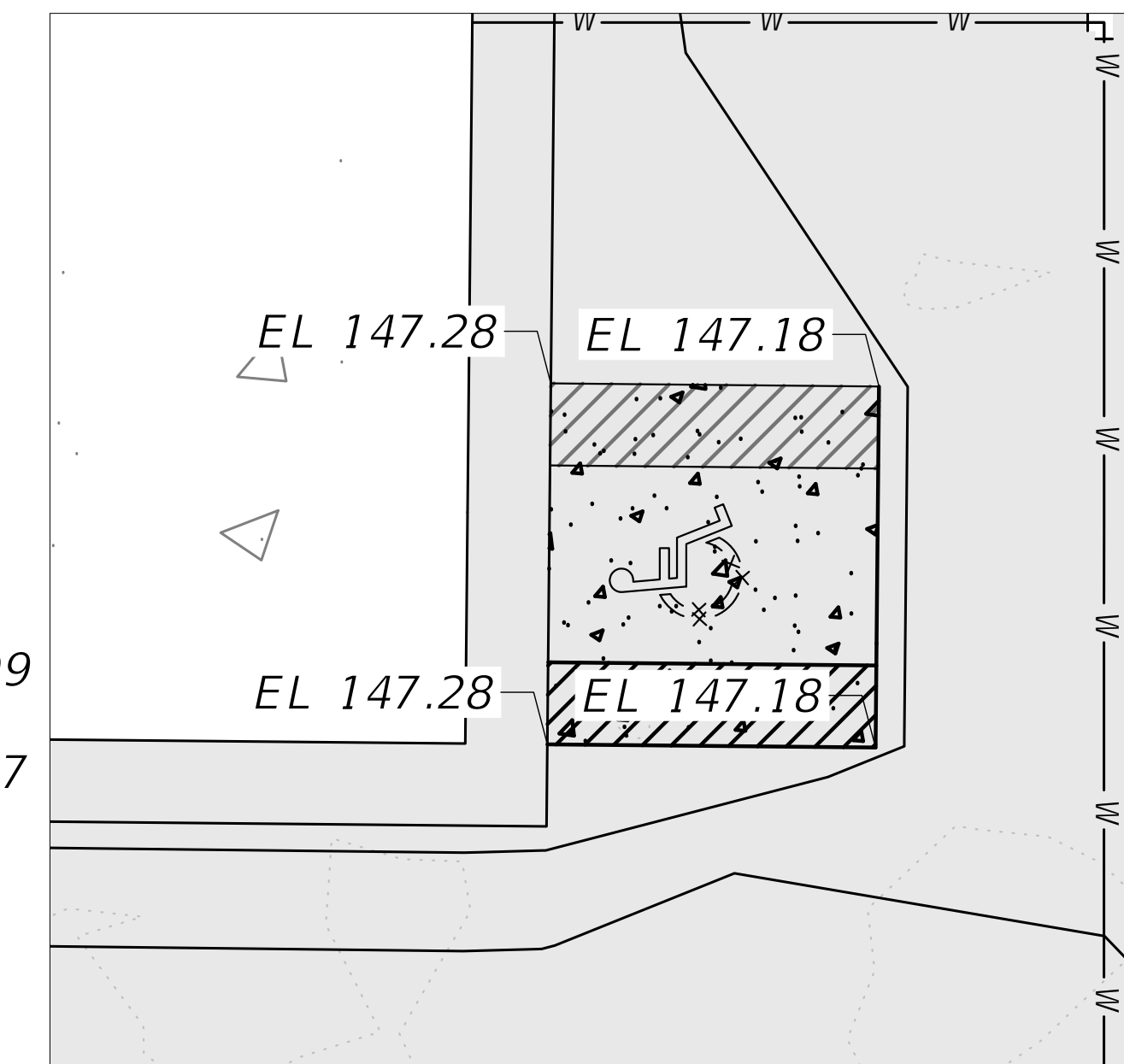
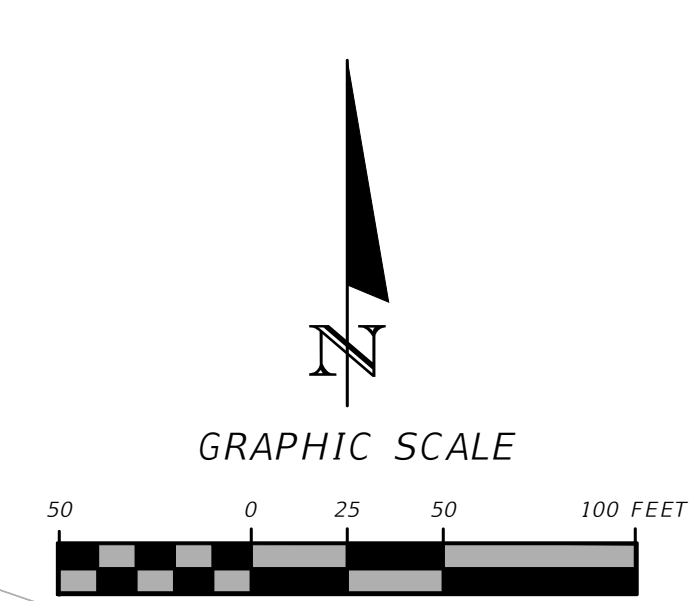
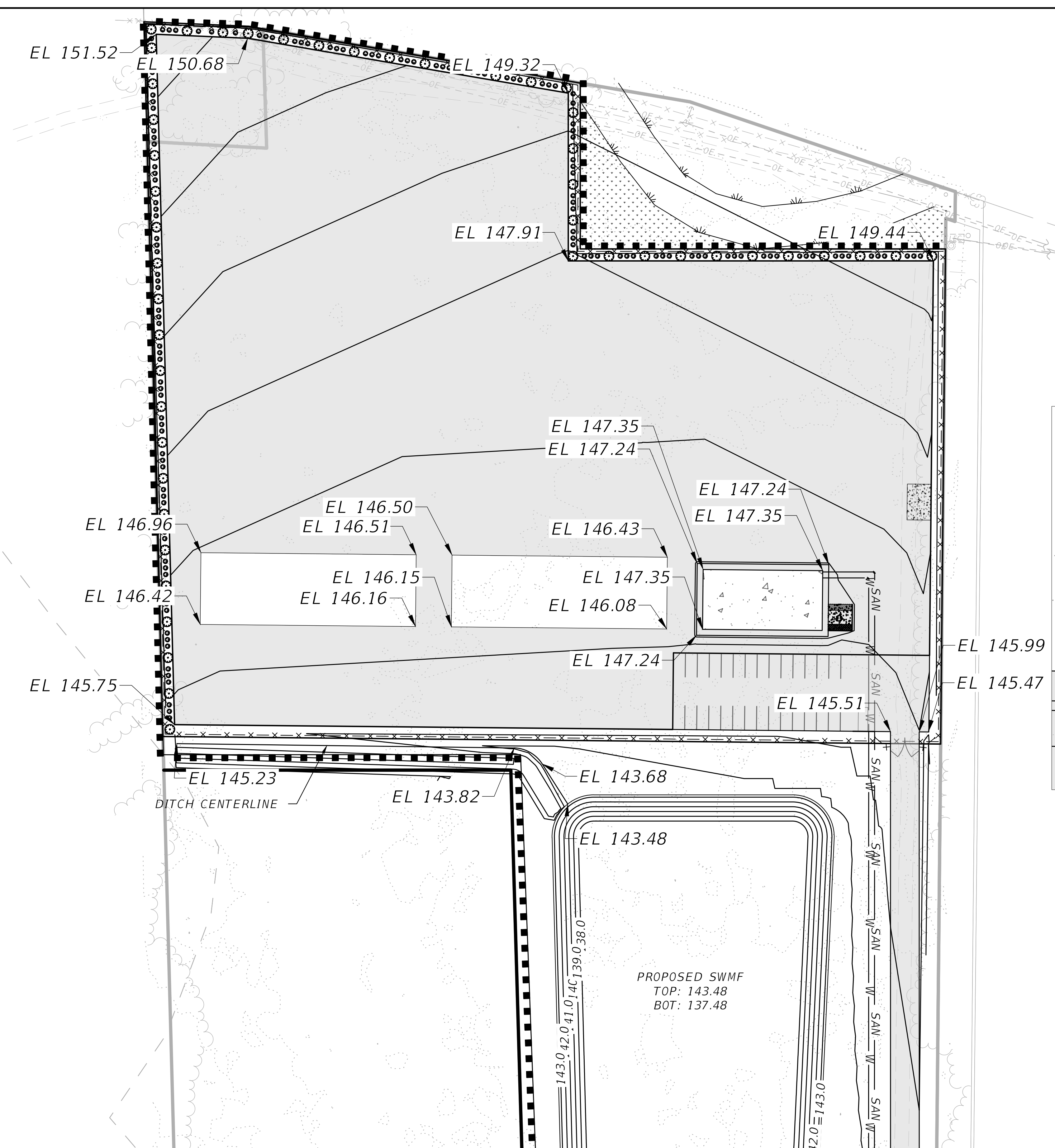
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NORTH SITE PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
6

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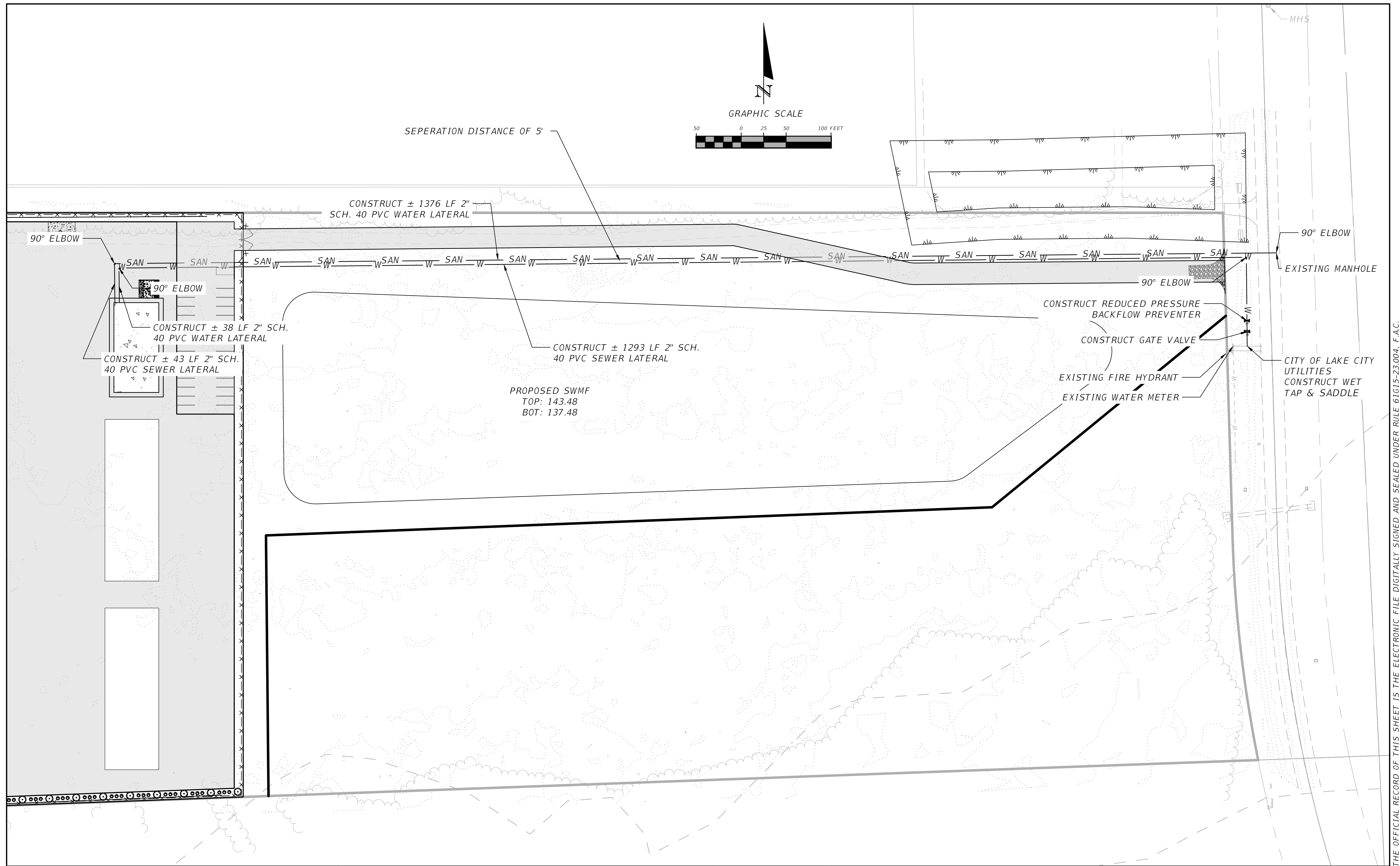
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 CA# 29011

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GRADING PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET
 NO.
7

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 EOR:
 TERRY R. WHITE, JR.
 P.E. NO.:
 37390

UTILITY PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
8

MATCH EXIST.

TOP ELEV.: 143.48

MATCH PAVT.

SLOPE VARIES

4:1 SLOPE

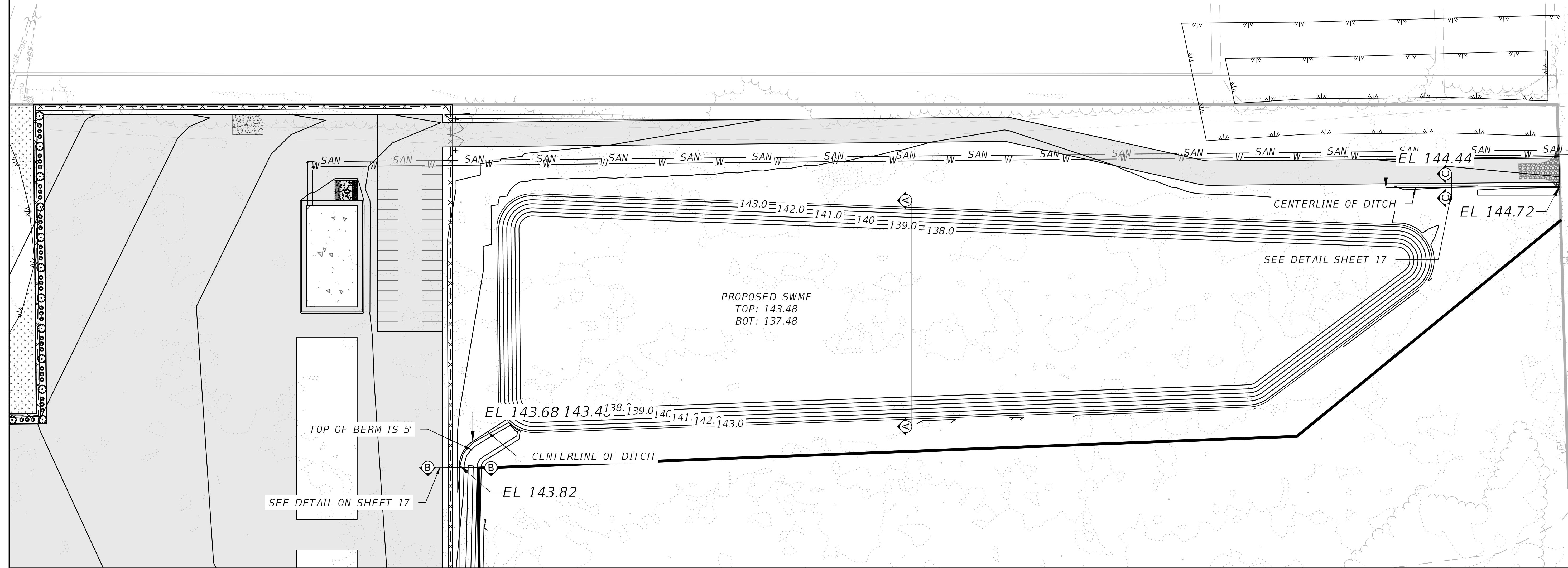
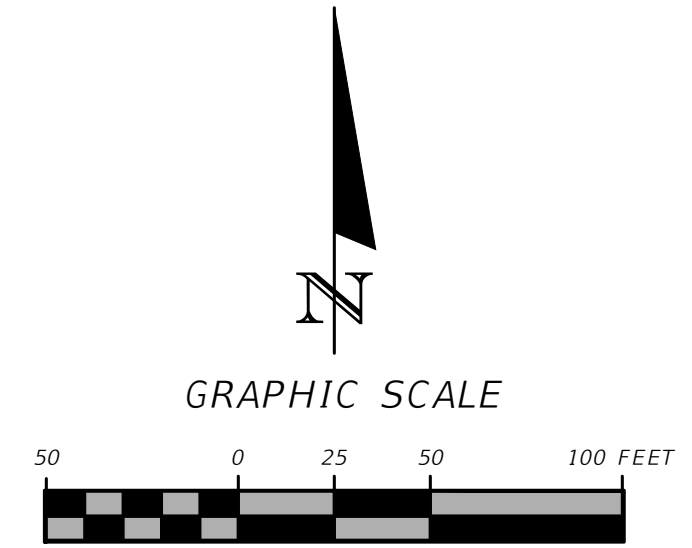
6

4:1 SLOPE

SLOPE VARIES

BOTTOM OF POND ELEV.: 137.48

SECTION A-A SWMF DETAIL



REVISIONS	
DATE	DESCRIPTION

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TERRY R. WHITE, JR.
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37390

SWMF
BELL ROAD
COLUMBIA COUNTY, FLORIDA

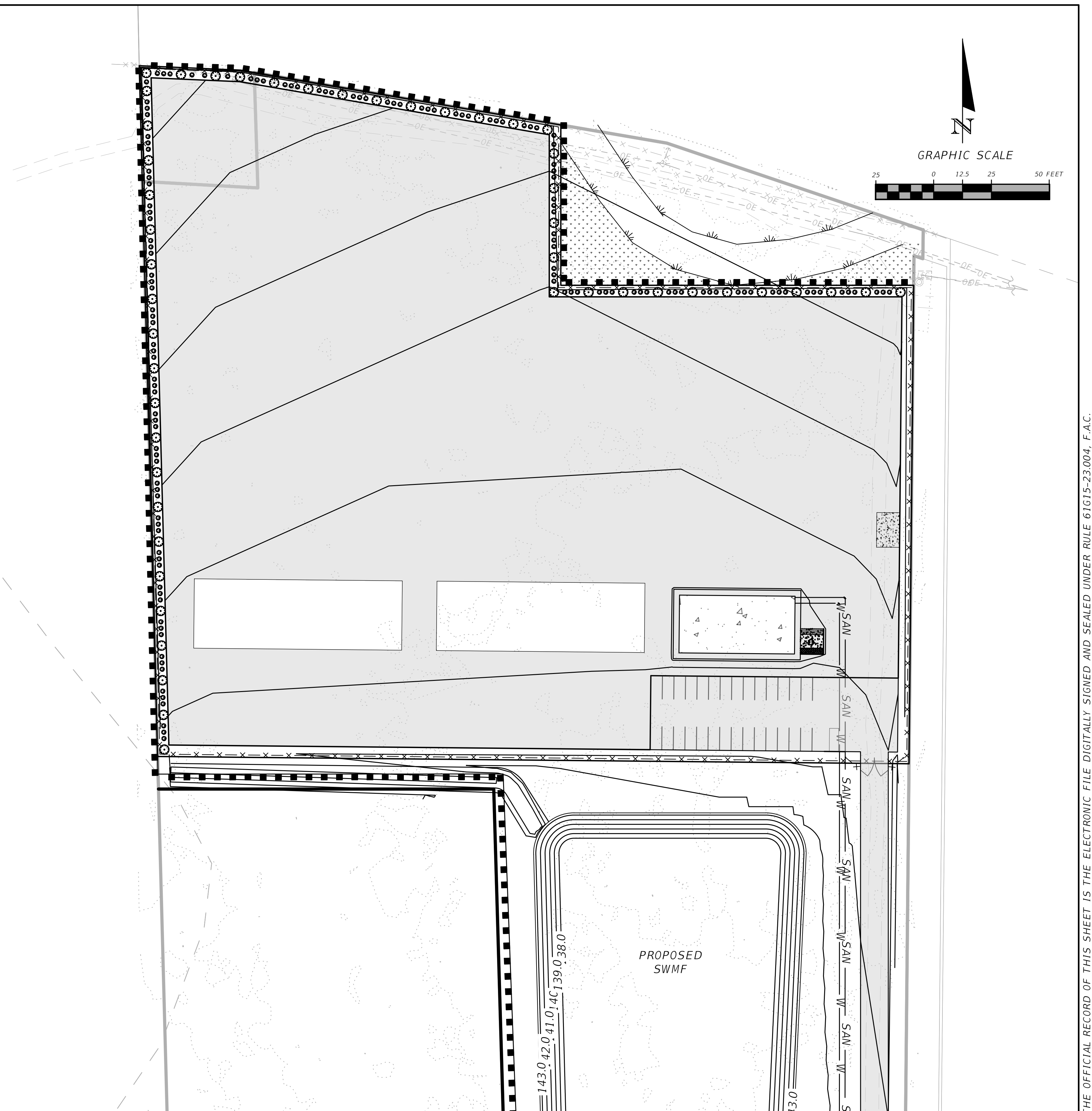
SHEET NO.
9

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TREE AND SHUBBERY REQUIREMENTS

MAP SYMBOL	COMMON NAME	NO.	NOTES
	GROUND COVER	N/A	1
	UNDERSTORY TREES	N/A	2 & 3
	CANOPY TREES	N/A	2 & 4

- MULCH, FLOWERS, JUNIPER, JASMINE, AND SIMILAR NATIVE GROUND COVER.
- TREES SHALL BE A MINIMUM OF FOUR FEET OVERALL HEIGHT IMMEDIATELY AFTER PLANTING.
- UNDERSTORY TREES MAY BE JUNIPER, BIRCH REDBUD, FIG, SPARKLEBERRY, CRAPE MYRTLE OR OTHER SIMILAR NATIVE SPECIES WHICH OBTAIN A MINIMUM HEIGHT OF 8 FEET.
- CANOPY TREES MAY BE LIVE OAK, WHITE OAK, MAPLE, HICKORY, RED BAY, ASH OR SIMILAR NATIVE SPECIES WHICH OBTAIN A MINIMUM HEIGHT OF 50 FEET. PINE TREES NOT PERMITTED.



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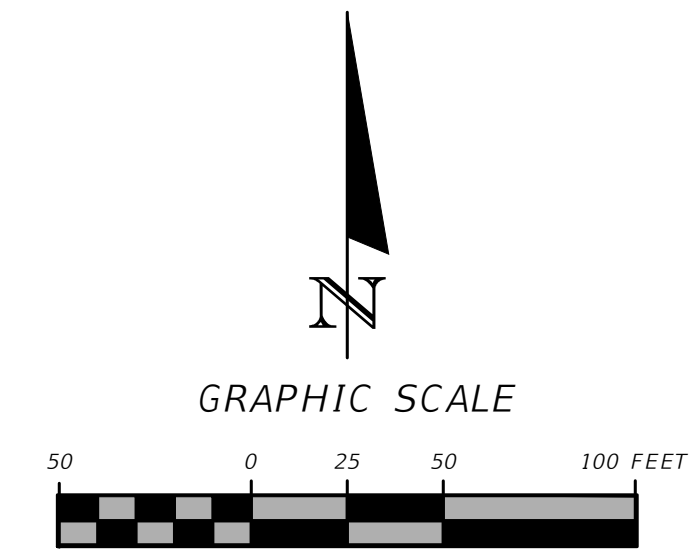
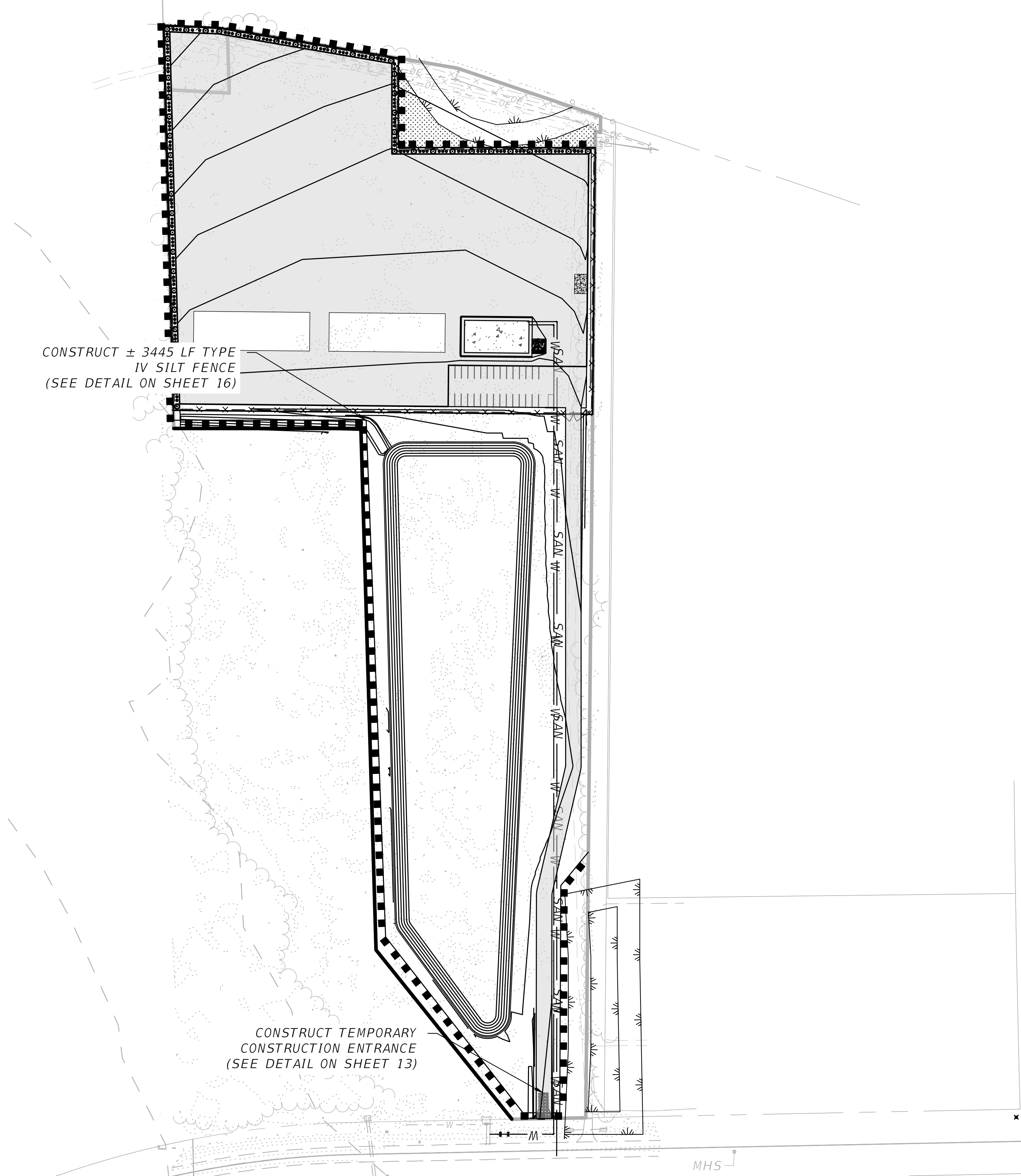
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LANDSCAPE PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET
 NO.
10



CONSTRUCT ± 3445 LF TYPE
IV SILT FENCE
(SEE DETAIL ON SHEET 16)

CONSTRUCT TEMPORARY
CONSTRUCTION ENTRANCE
(SEE DETAIL ON SHEET 13)

REVISIONS	
DATE	DESCRIPTION



NORTH FLORIDA PROFESSIONAL SERVICES, INC.
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TERRY R. WHITE, JR.
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EROSION CONTROL PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA


SHEET
NO.
11

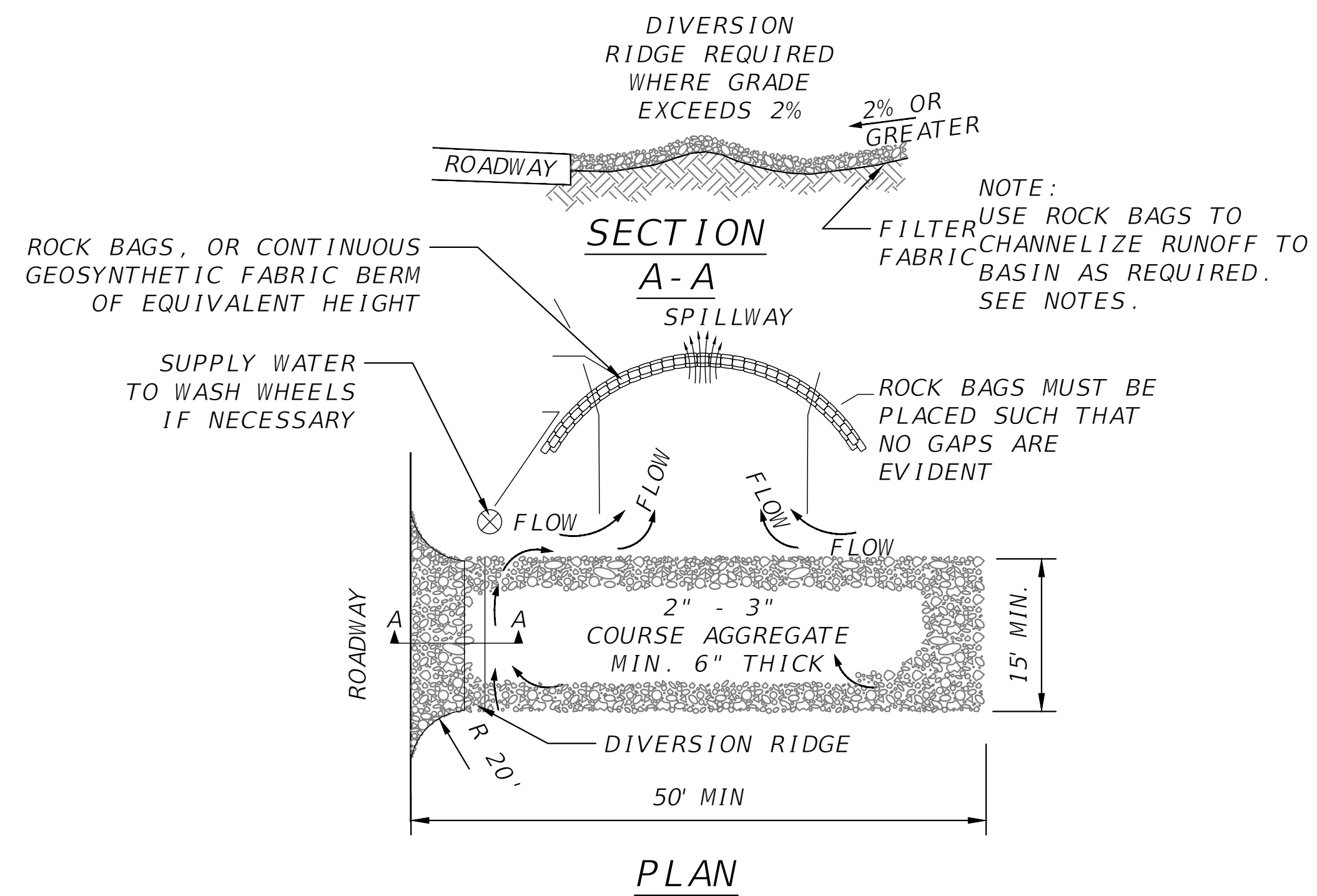
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EROSION CONTROL NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO THE CITY OF LAKE CITY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

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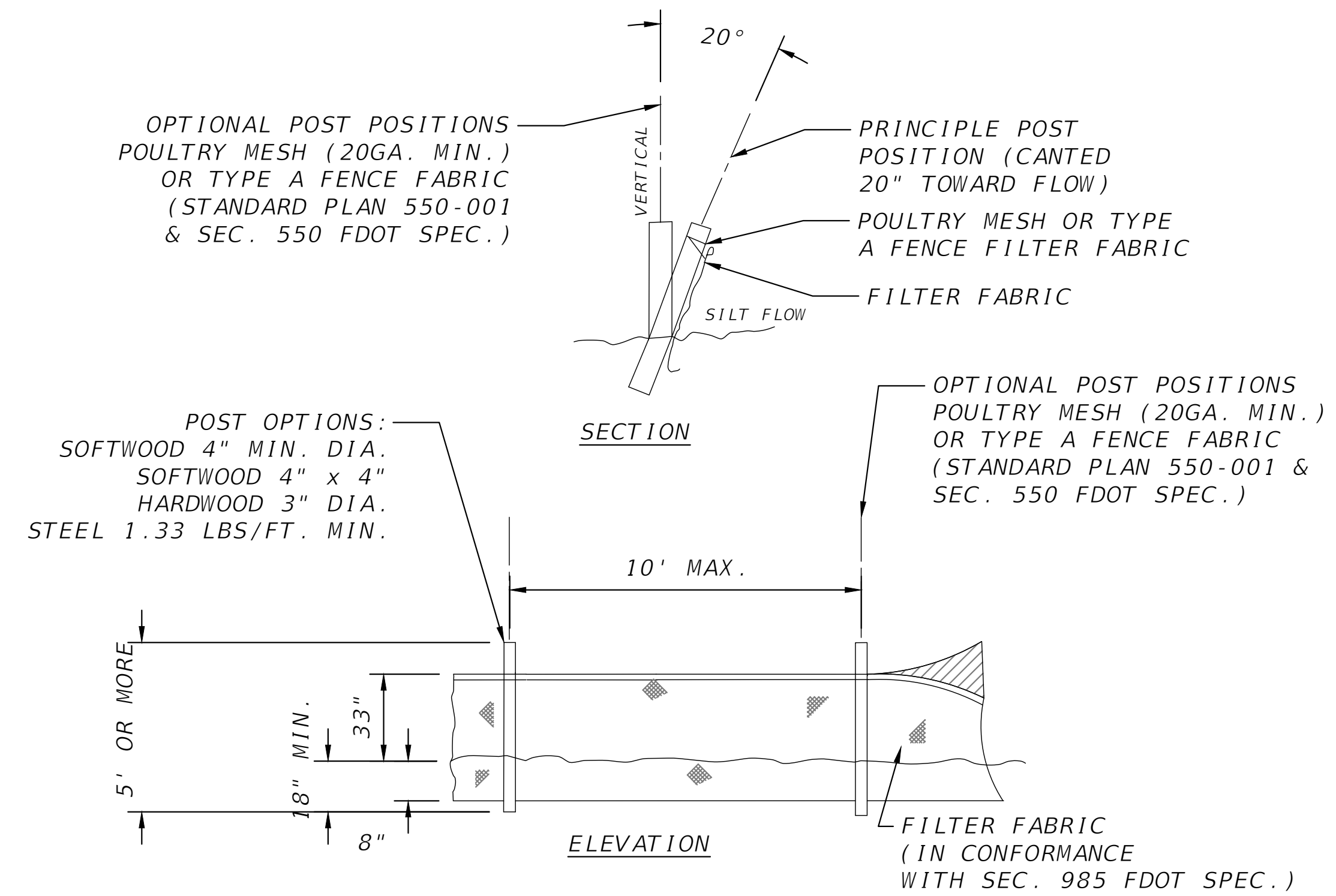
REVISIONS		 NORTH FLORIDA PROFESSIONAL SERVICES, INC. P.O. BOX 3823 LAKE CITY, FL 32056 PH. 386-752-4675 LIC NO. LB8356	2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301 WWW.NFPS.NET CA# 29011	JOB NUMBER: L220630CRA EOR: TERRY R. WHITE, JR. P.E. NO.: 37390	EROSION NOTES BELL ROAD COLUMBIA COUNTY, FLORIDA	SHEET NO.
DATE	DESCRIPTION					12



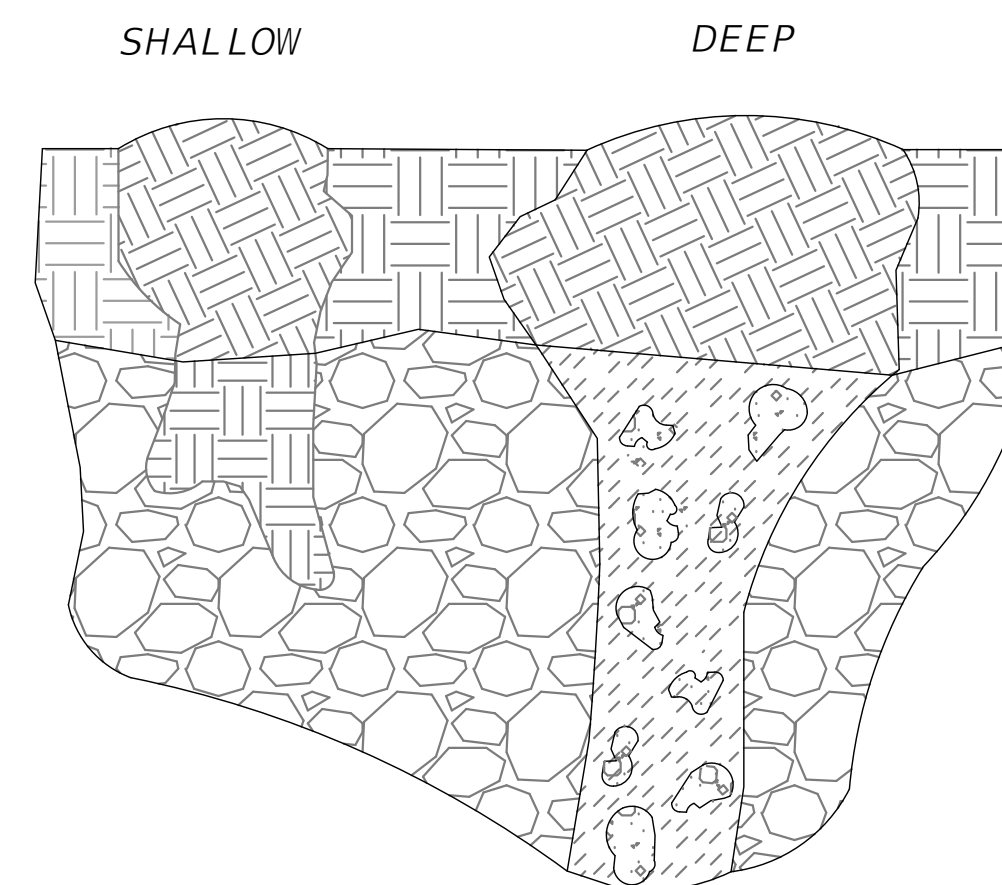
NOTES:

1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

ERO4 TEMPORARY CONSTRUCTION ENTRANCE
SCALE: N.T.S.



ER18 TYPE IV SILT FENCE
SCALE: N.T.S.



NOTES:

THE FOLLOWING SHALL BE PERFORMED IN THE EVENT ANY KARST FEATURES FORM DURING CONSTRUCTION - E.G. SOLUTION CAVITIES, CHIMNEYS, SINKHOLES.

1. NOTIFY THE WATER MANAGEMENT DISTRICT AND THE APPLICABLE MUNICIPAL OR COUNTY PUBLIC WORKS IMMEDIATELY WHEN THE FEATURES ARE ENCOUNTERED. THE METHOD OF REPAIR SHALL BE SUBMITTED FOR REVIEW, COMMENT, AND APPROVAL PRIOR TO ATTEMPTING ANY REPAIR.
2. SHALLOW KARST FEATURES ARE TYPICALLY LESS THAN 5' DEEP AND ONLY HAVE SMALL VOIDS IN THE LIMESTONE. THE FEATURE CAN BE REPAIRED BY BACKFILLING WITH A LOWER PERMEABILITY MATERIAL SUCH AS CLAYEY-SAND OR CLAY. COMPACT THE BACKFILL AND CREATE A SMALL MOUND SLIGHTLY ABOVE GRADE TO ACCOUNT FOR SETTLING.
3. DEEP KARST FEATURES SHALL BE REPAIRED MORE PERMANENTLY. EXCAVATE THE FEATURE TO THE LIMESTONE BEDROCK. PLUG VOIDS IN THE BEDROCK WITH CLEAN GROUT. BACKFILL OVER THE PLUG WITH A LOWER-PERMEABILITY MATERIAL SUCH AS CLAYEY-SAND OR CLAY. COMPACT THE BACKFILL TO GRADE.

ER23 KARST FEATURE REPAIR DETAIL
SCALE: N.T.S.

REVISIONS	
DATE	DESCRIPTION



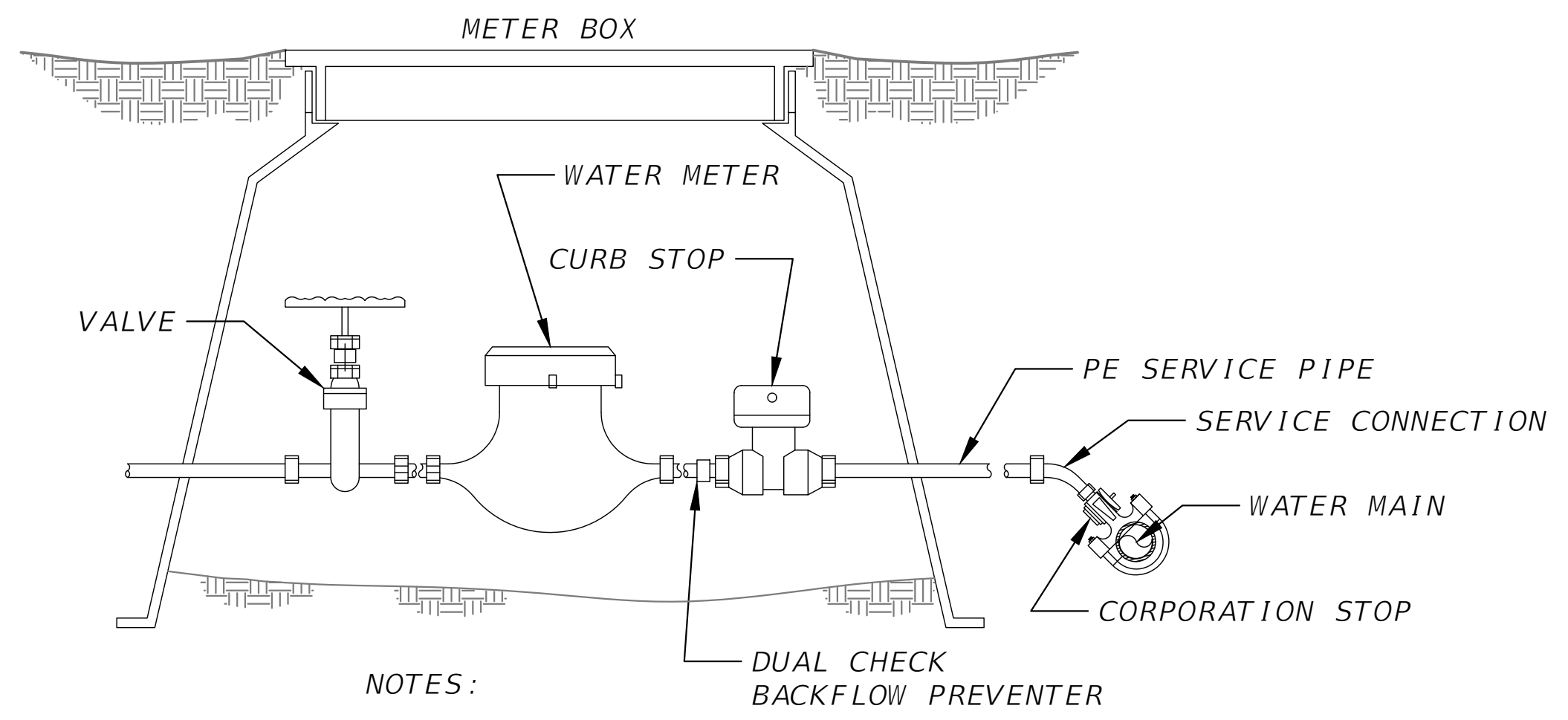
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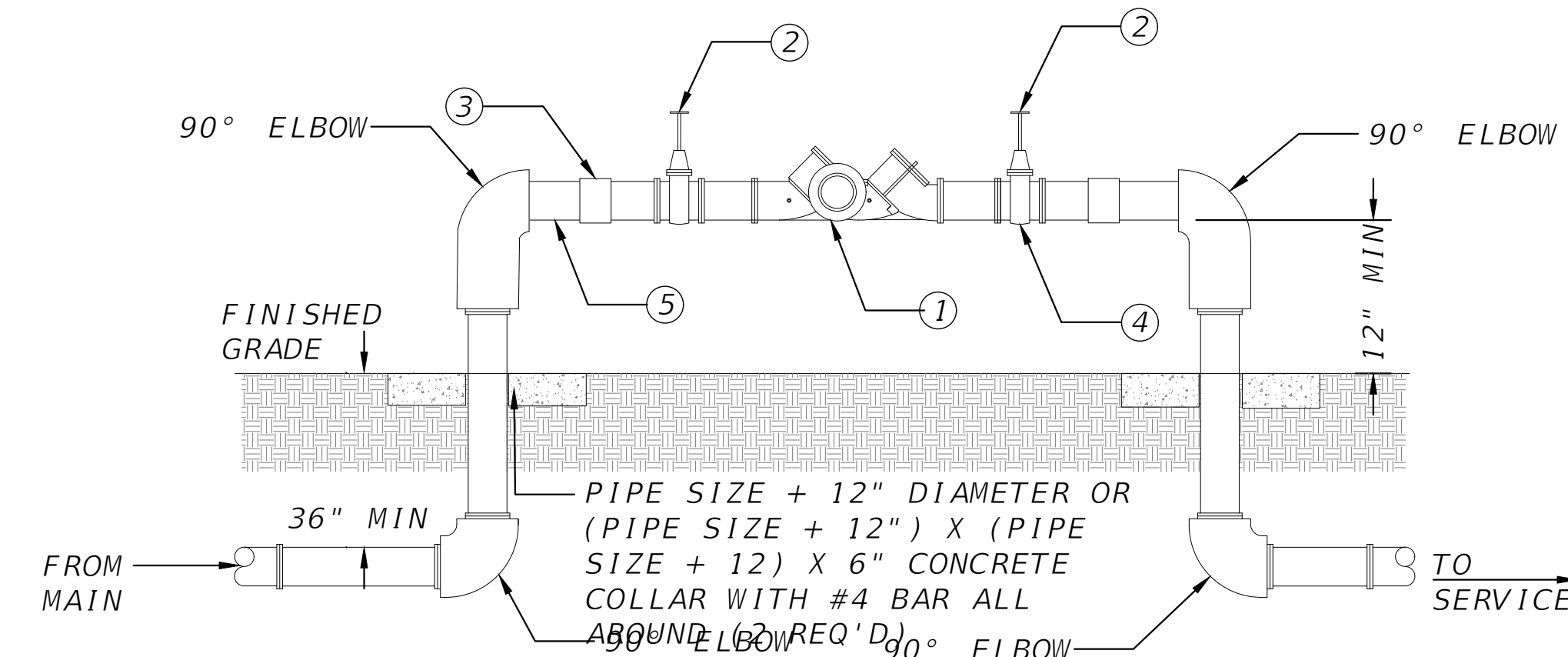
EROSION CONTROL DETAILS
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
13



- NOTES:
1. P.E. TUBING IS TO BE BACKFILLED BY HAND UP TO THE TOP OF THE SERVICE.

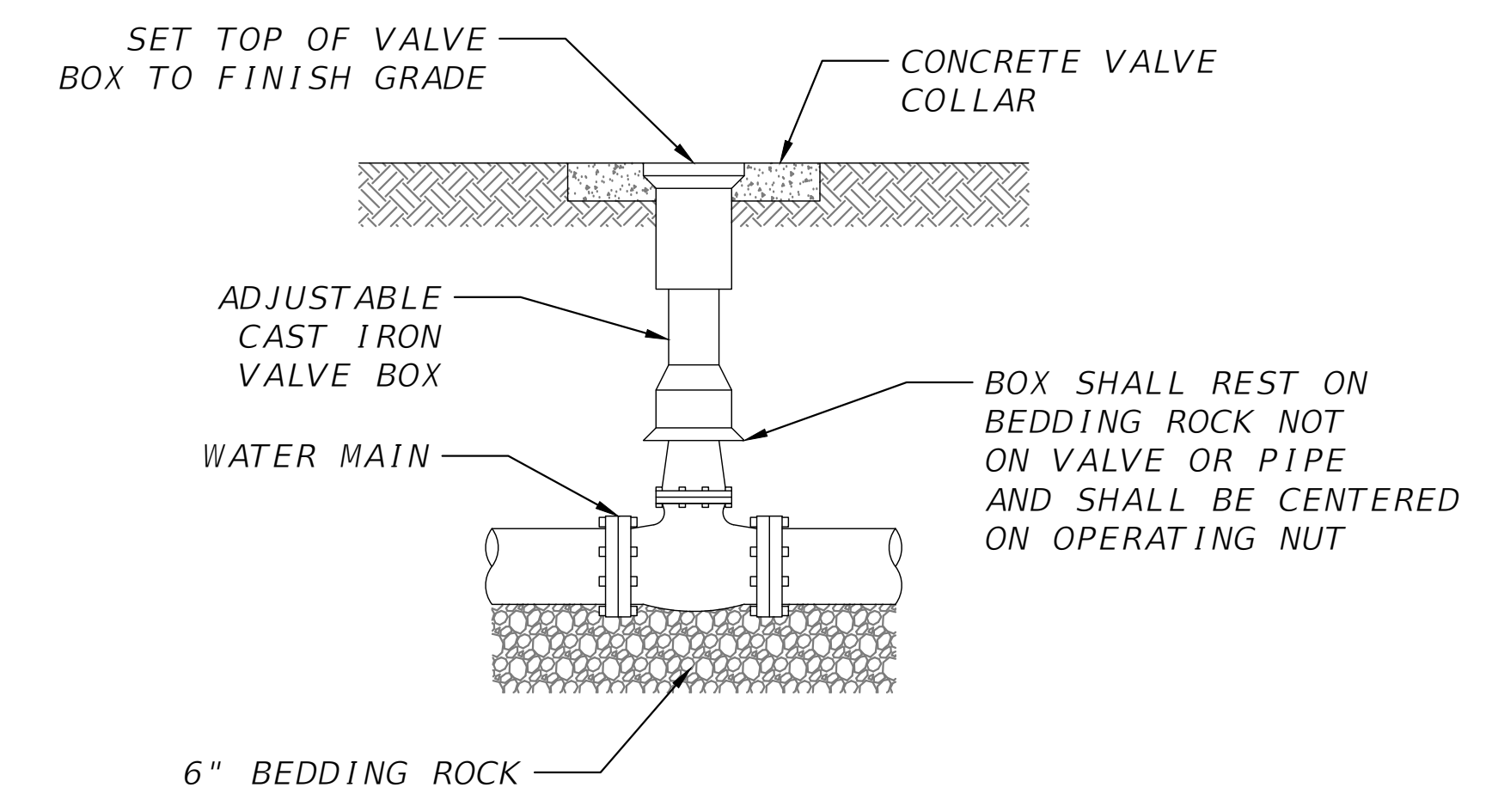
WT02 METER BOX ASSEMBLY
SCALE: N.T.S



MATERIALS	
ITEM	DESCRIPTION
1	BACKFLOW PREVENTER
2	GATE VALVE
3	UNION
4	TEST COCKS
5	THREADED NIPPLE

- NOTES:
1. UNDER NO CONDITION WILL ANY CONNECTION BE ALLOWED BETWEEN THE SERVICE METER AND A BACKFLOW PREVENTER USED FOR SYSTEM CONTAINMENT. BACKFLOW PREVENTER SHALL ALWAYS BE INSTALLED DOWNSTREAM OF METER.
 2. IF A PRESSURE MONITOR IS TO BE INSTALLED, ADD A TEE, VALVE FITTINGS, AND MOUNT ON SUPPLY SIDE PRIOR TO BACKFLOW PREVENTION DEVICE: UNDER NO CIRCUMSTANCE, SHALL TEST PORTS BE MODIFIED OR UTILIZED FOR THIS OR OTHER APPLICATION OTHER THAN BACKFLOW DEVICE TESTING.
 3. A CONBRACO SERIES 40-000 FREEZE PROTECTION VALVE SHALL BE INCLUDED.
 4. PROVIDE AND INSTALL COVER OVER BACKFLOW PREVENTER AS REQ'D BY LOCAL AUTHORITIES.

WT05 REDUCED PRESSURE BACKFLOW PREVENTER
SCALE: N.T.S



- NOTES:
1. PVC EXTENSIONS SHALL NOT BE USED ON VALVE BOX INSTALLATION.
 2. THE ACTUATING NUT FOR DEEPER VALVES SHALL BE EXTENDED TO COME UP TO 4 FOOT DEPTH BELOW FINISHED GRADE.

WT03 VALVE AND BOX DETAIL
SCALE: N.T.S

REVISIONS	
DATE	DESCRIPTION



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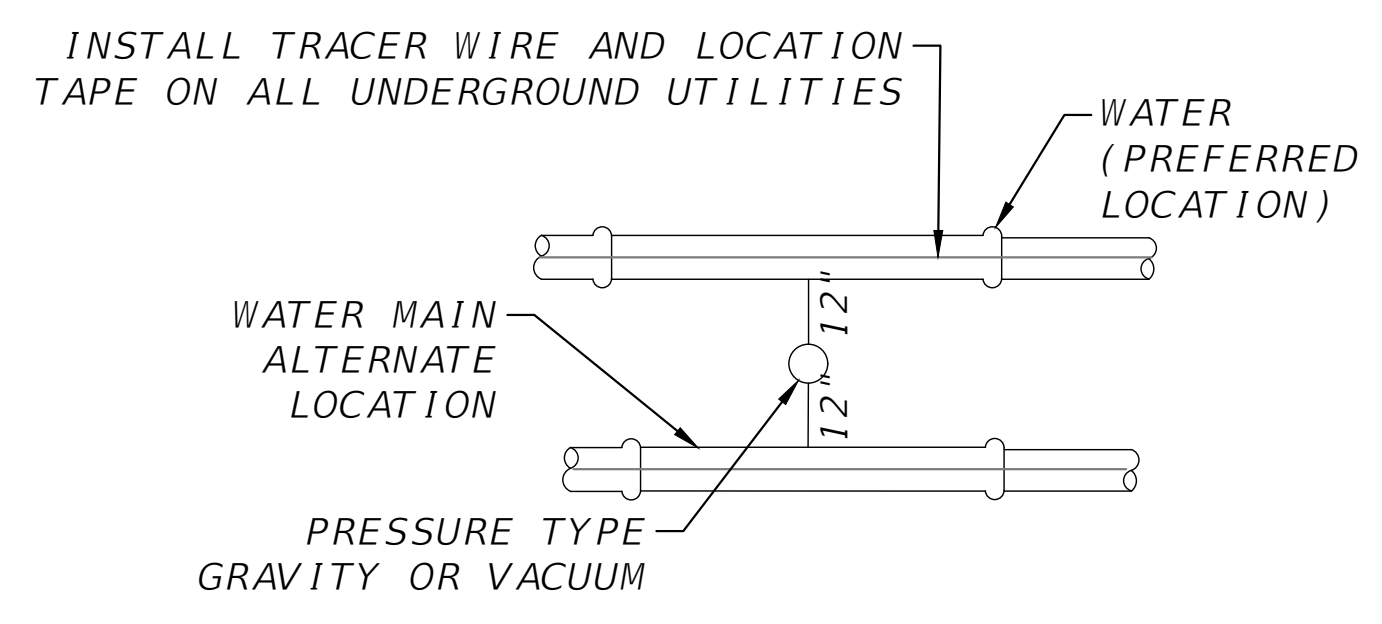
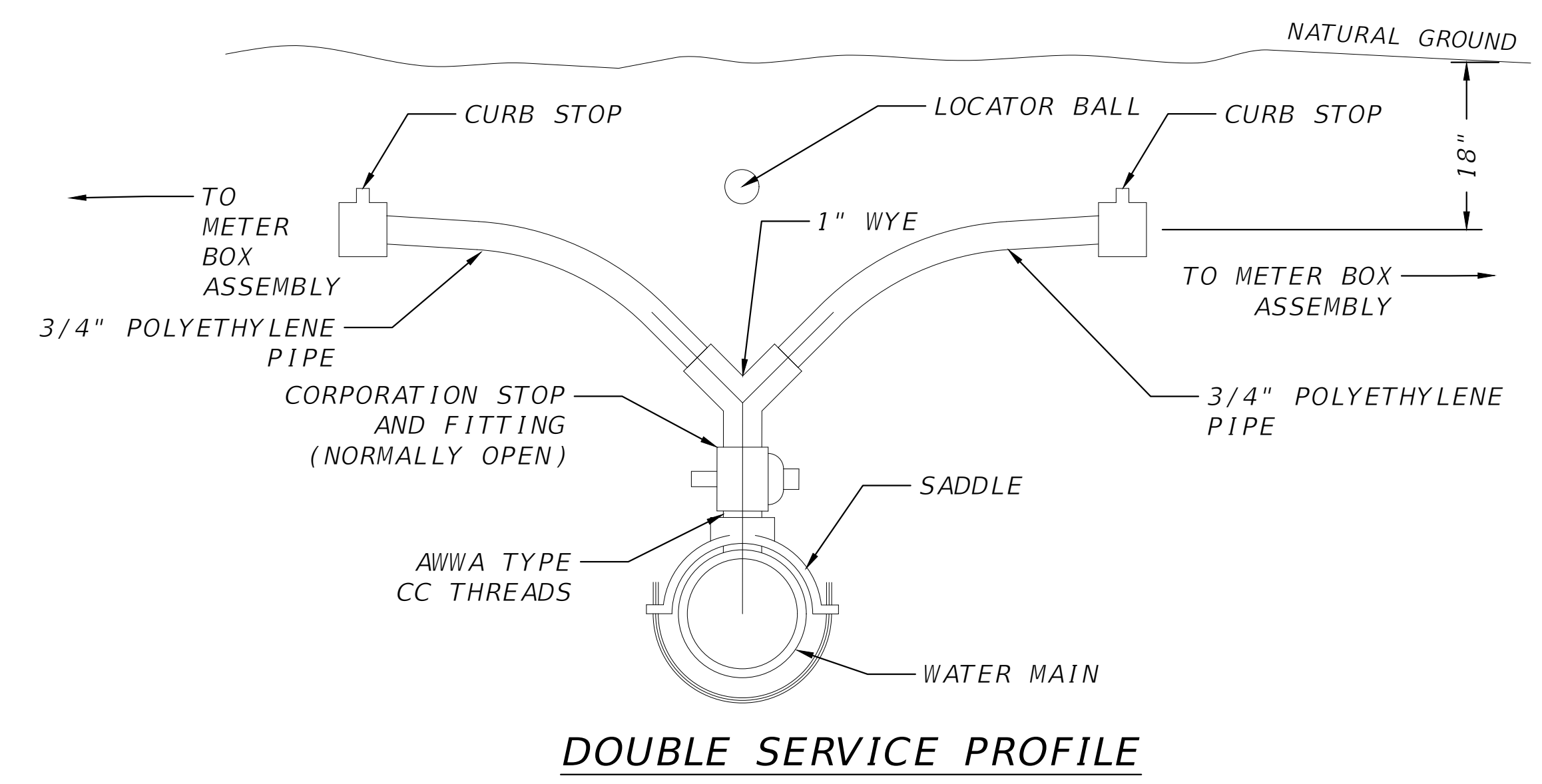
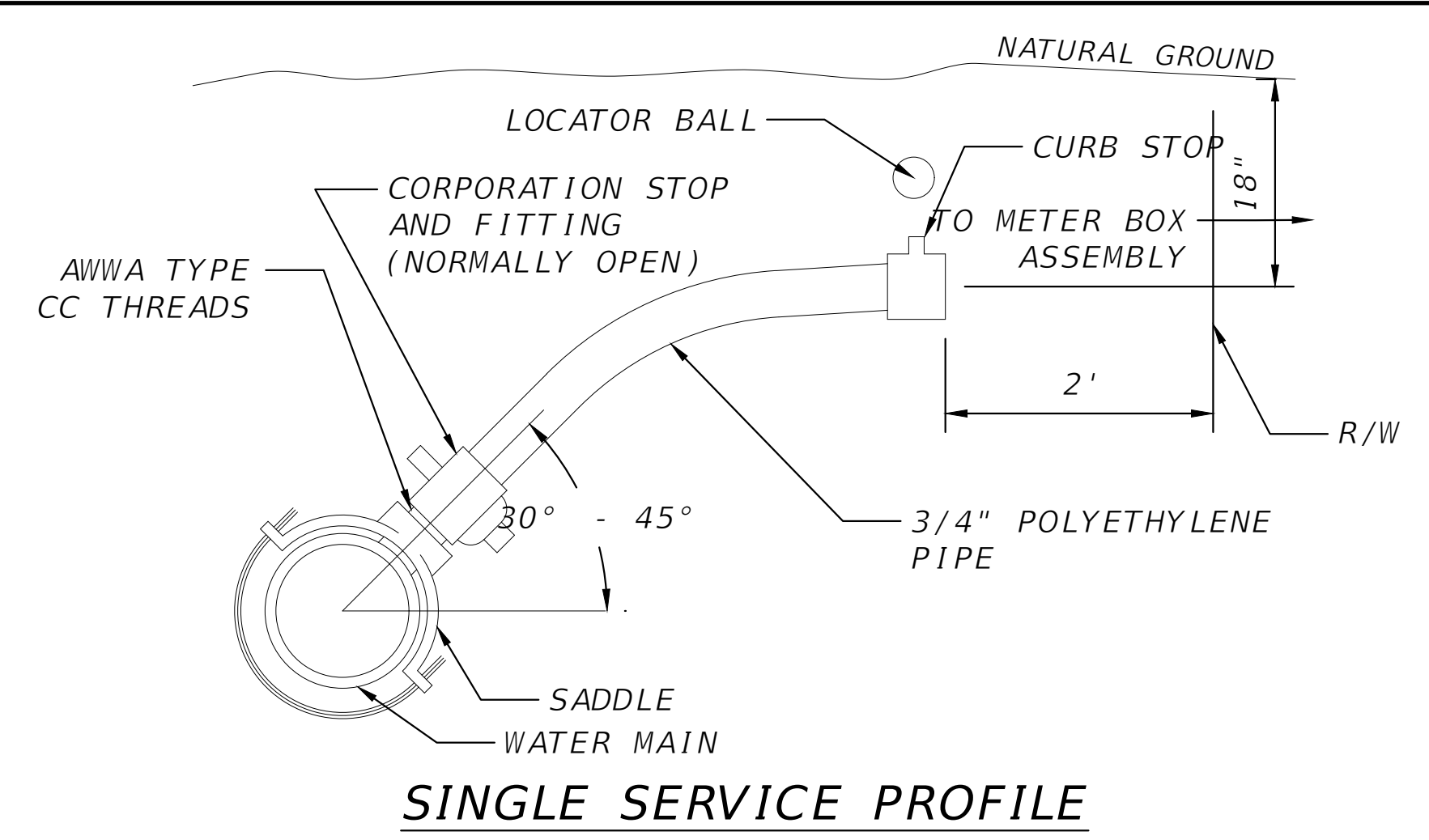
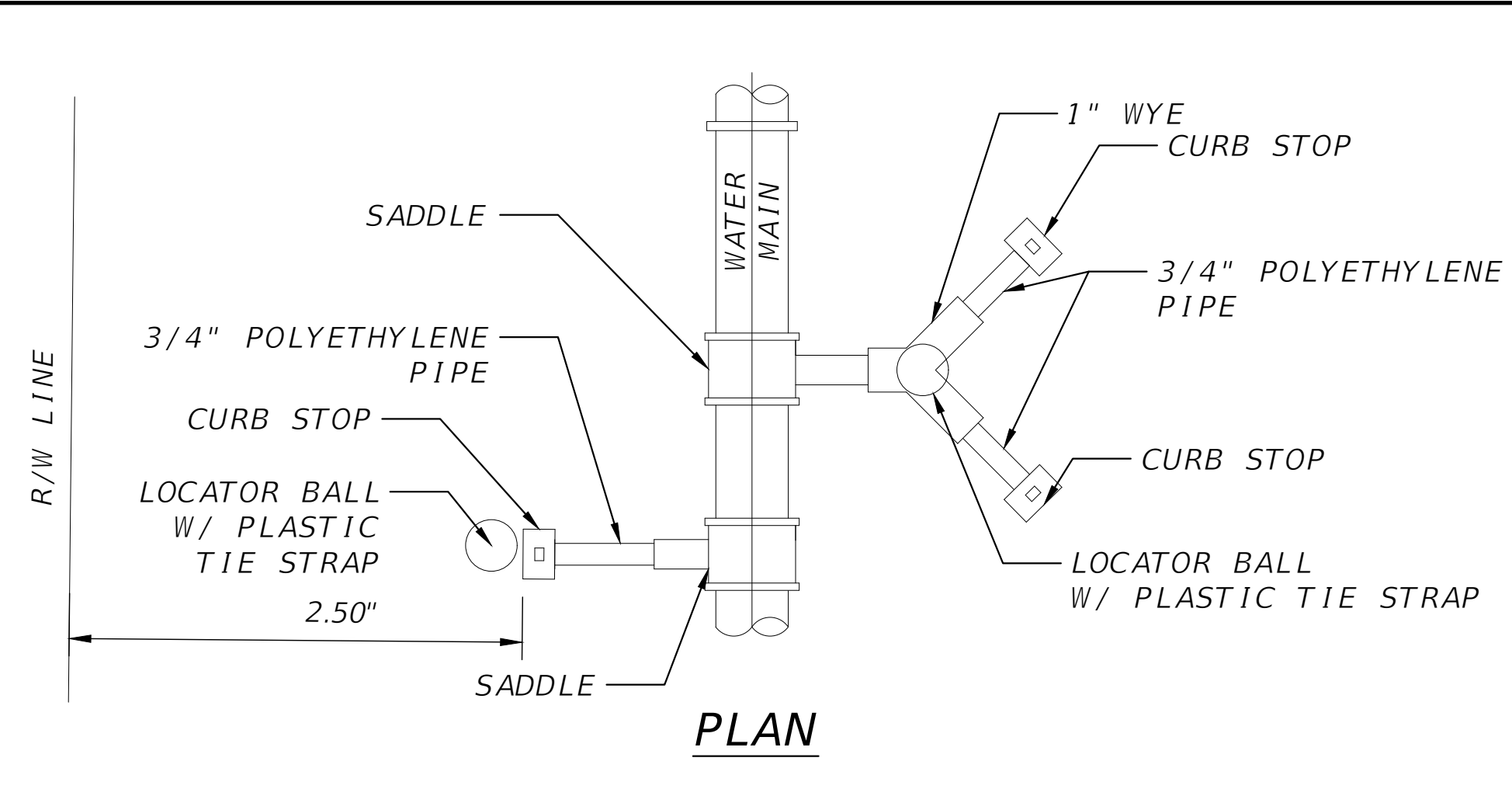
2551 BLAIRSTONE PINES DR.
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JOB NUMBER:
L220630CRA
 EOR:
TERRY R. WHITE, JR.
 P.E. NO.:
37390

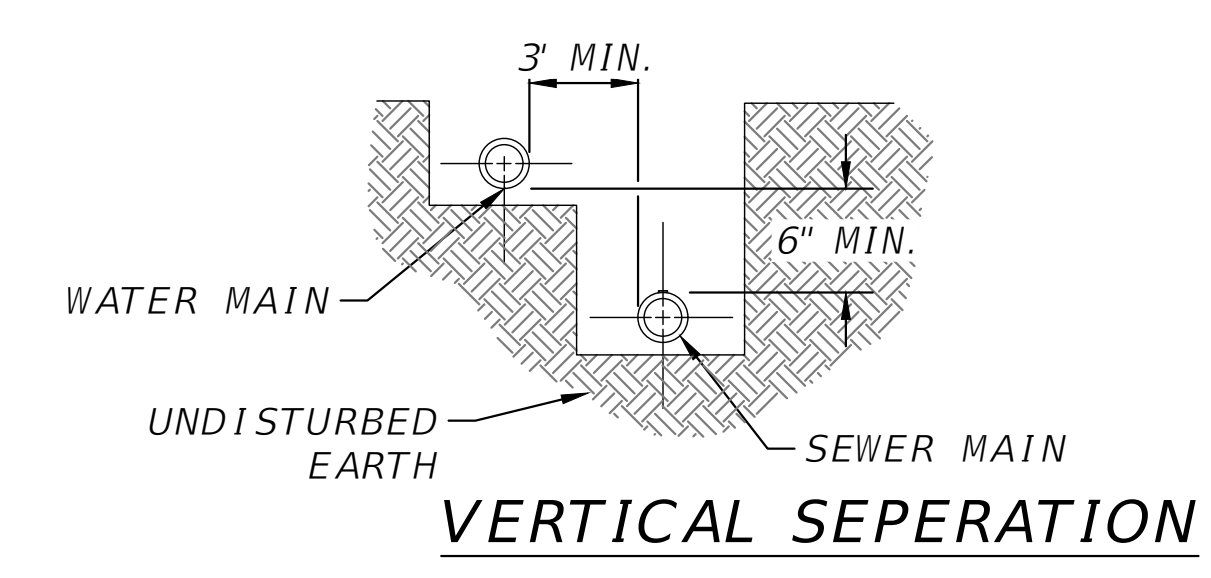
MISCELLANEOUS DETAILS
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
14

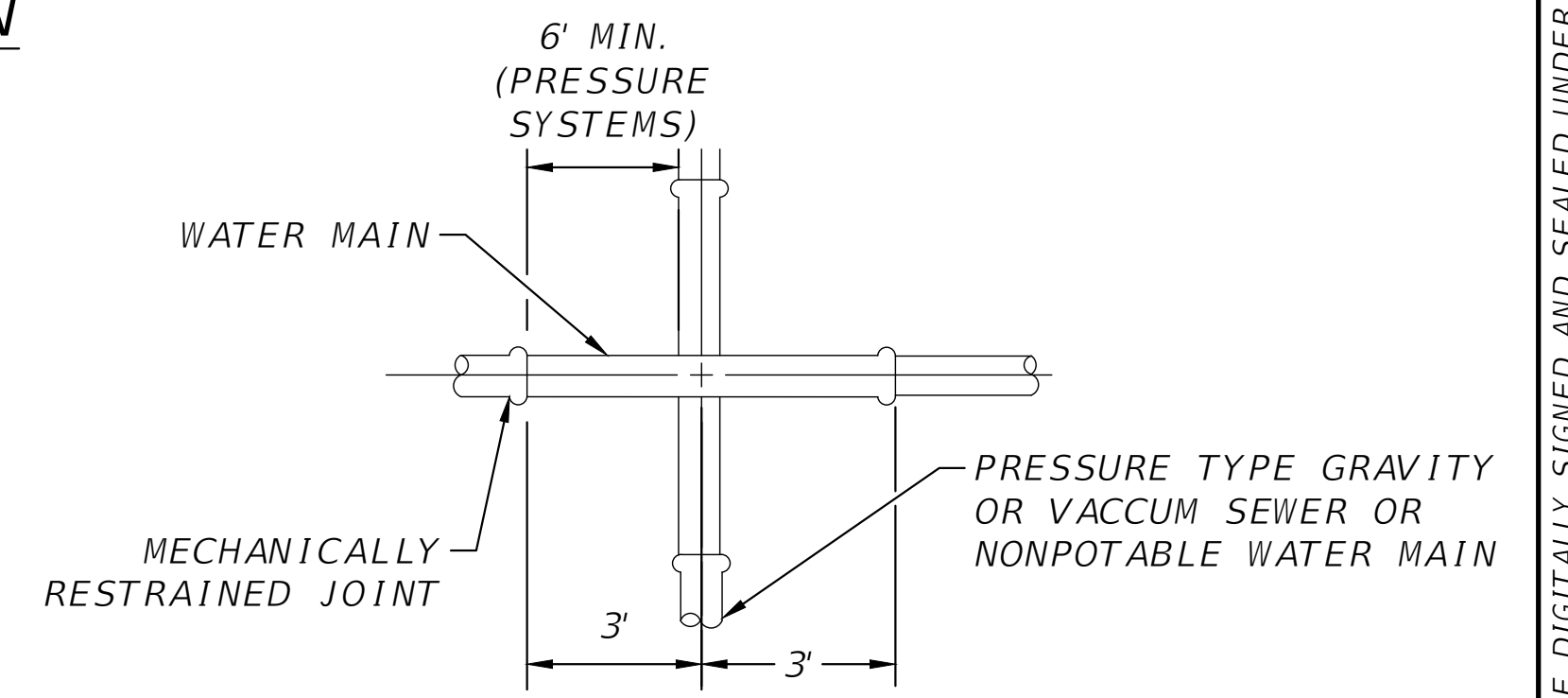
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VERTICAL SEPERATION INCLUDING ALT. WATER MAIN



VERTICAL SEPERATION



CROSSINGS @ CENTERED JOINTS

NOTES:

1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSION/ PACK JOINT TYPE CONNECTIONS.
2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
3. EACH SERVICE SHALL TERMINATE AT A CURB STOP WHICH SHALL BE BURIED APPROXIMATELY 3" BELOW FINAL GRADE AND SHALL BE CLEARLY MARKED WITH A 2" x 2" x 18" STAKE WITH THE TOP PAINTED BLUE AND MARKED WITH THE NUMBER OF THE LOT TO BE SERVED.
4. CONTRACTOR SHALL PROVIDE LOCATOR BALLS W/ PLASTIC TIE STRAPS. LOCATOR BALLS SHOULD BE SECURED TO LATERAL W/ TIE STRAP.

NOTES:

1. THE MINIMUM HORIZONTAL DISTANCE BETWEEN THE OUTSIDE OF A WATER MAIN AND SEWER MAIN SHALL BE 6' WITH A PREFERRED 10' SEPARATION.
2. WHERE A 10 FOOT PARALLEL SEPARATION CANNOT BE MAINTAINED BETWEEN A WATERMAIN AND A SEWER MAIN OR NON-POTABLE WATER MAIN, THEN THE WATER MAIN SHALL BE LAID IN A SEPARATE TRENCH OR ON AN UNDISTURBED EARTH SHELF AT LEAST 6 INCHES ABOVE THE TOP OF THE SEWER MAIN OR NON-POTABLE WATER MAIN. THE HORIZONTAL SEPARATION SHALL BE NO LESS THAN 3'. WHEN A SEWER MAIN AND A WATER MAIN CROSS, THE WATERMAIN SHOULD BE A MINIMUM OF 3' ABOVE OR BELOW THE SEWER.
3. FOR ALL PIPE CROSSINGS, THE PIPE JOINTS SHALL BE ARRANGED SO THAT ALL PIPE JOINTS ARE EQUIDISTANT FROM THE POINT OF CROSSING WITH NO LESS THAN SIX FEET BETWEEN ANY TWO JOINTS.
4. IF THE HORIZONTAL OR VERTICAL CLEARANCE LISTED HEREIN CANNOT BE ACHIEVED THE WATERMAIN CAN BE ENCASED IN 4" OF CONCRETE.

WT07 WATER SERVICE CONNECTION DETAILS SCALE: N.T.S

WT08 WATER/SEWER SEPARATION DETAILS SCALE: N.T.S

REVISIONS	
DATE	DESCRIPTION



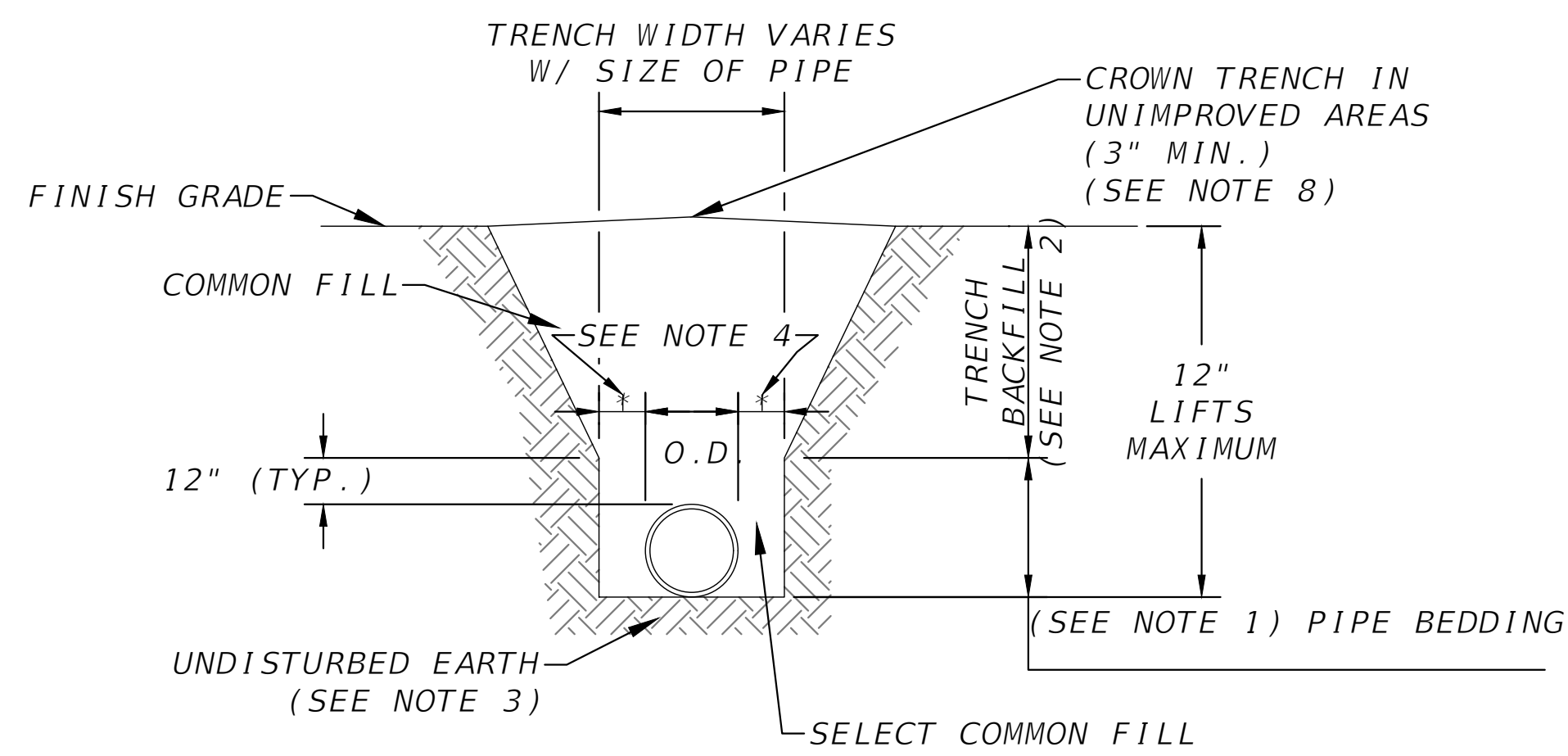
NORTH FLORIDA PROFESSIONAL SERVICES, INC.
 P.O. BOX 3823 LAKE CITY, FL 32056
 PH. 386-752-4675 LIC NO. LB8356
 2551 BLAIRSTONE PINES DR. TALLAHASSEE, FL 32301
 WWW.NFPS.NET CA# 29011

JOB NUMBER: L220630CRA
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 P.E. NO.: 37390

MISCELLANEOUS DETAILS
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
15

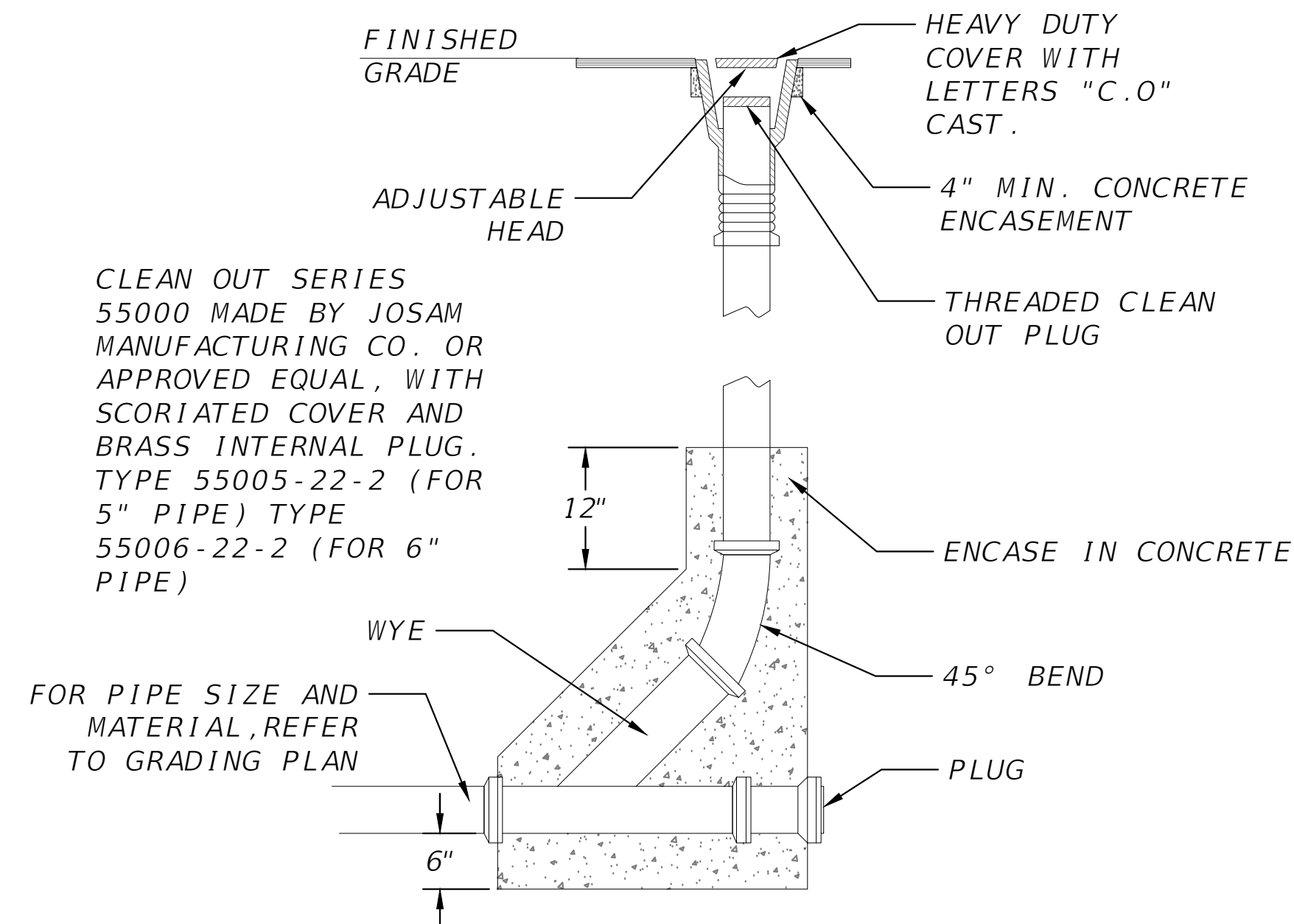
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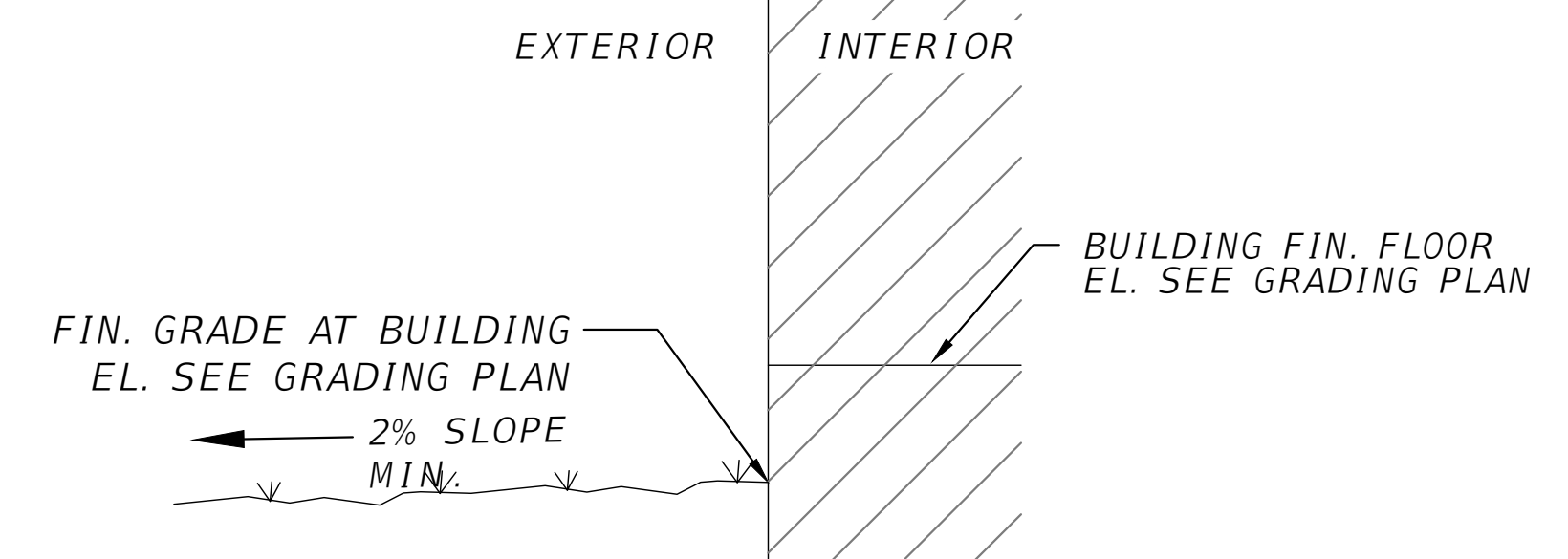
NOTES:

1. PIPE BEDDING: SELECT COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
2. TRENCH BACKFILL: COMMON FILL COMPACTED TO 95% OF THE MAXIMUM DENSITY AS PER AASHTO T-180.
3. PIPE BEDDING UTILIZING SELECT COMMON FILL OR BEDDING ROCK WILL BE REQUIRED IF OVER-EXCAVATION OCCURS.
4. (*): 15" MAX. FOR PIPE DIAMETER LESS THAN 24", AND 24" MAX. FOR PIPE DIAMETER 24" AND LARGER.
5. WATER SHALL NOT BE PERMITTED IN THE TRENCH DURING CONSTRUCTION.
6. ALL PIPE TO BE INSTALLED WITH BELL FACING UPSTREAM TO THE DIRECTION OF THE FLOW.
7. PROVIDE TRENCH SLOPING AND BRACING AS REQUIRED FOR SAFETY.
8. FINAL RESTORATION IN IMPROVED AREAS SHALL BE IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS OF GOVERNING AGENCIES. SURFACE RESTORATION WITHIN PAVED AREAS SHALL COMPLY WITH THE REQUIREMENTS OF THE ROAD CONSTRUCTION SPECIFICATIONS.

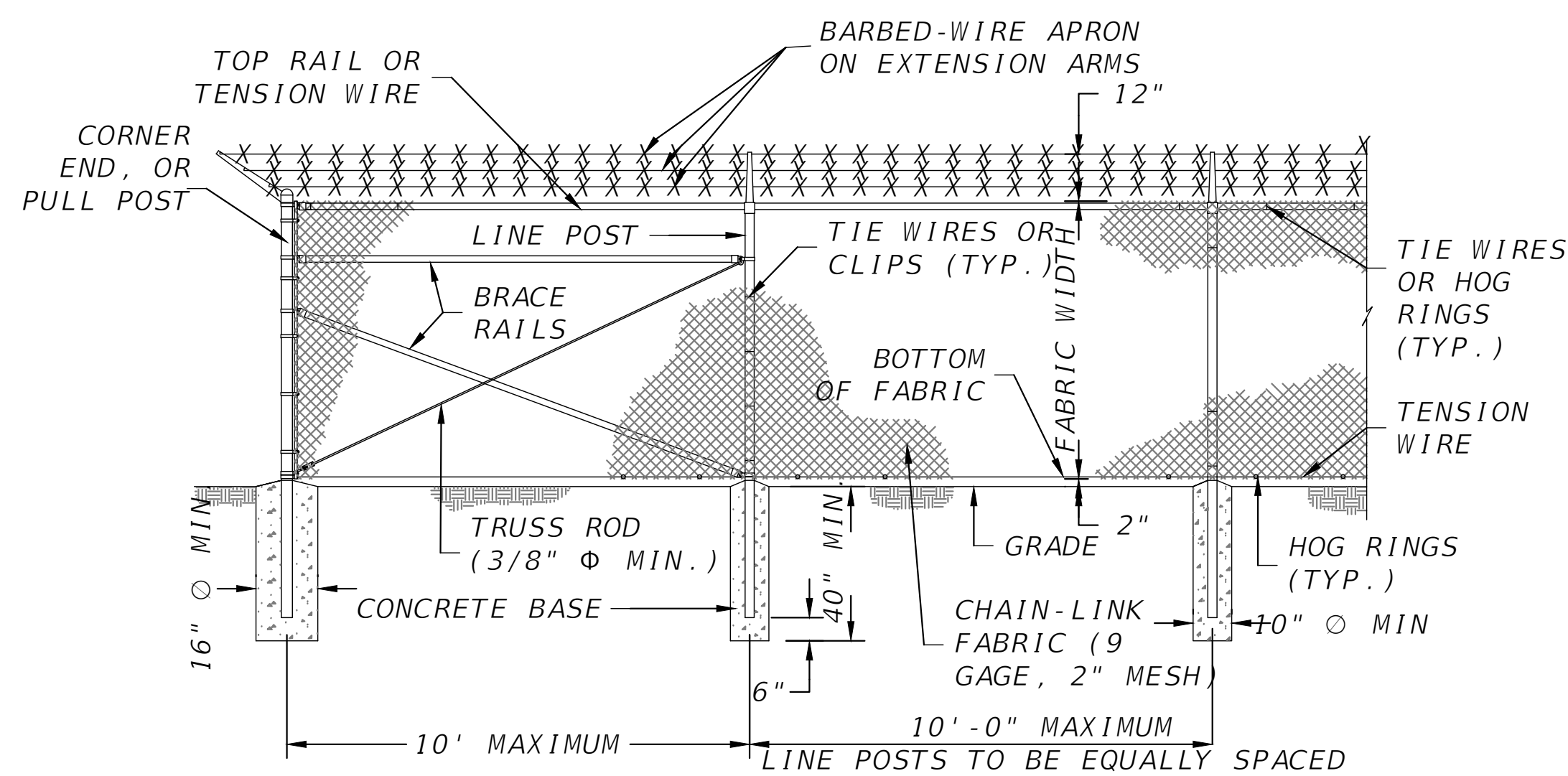
WT11 TRENCH AND BACKFILL DETAILS
SCALE: N.T.S



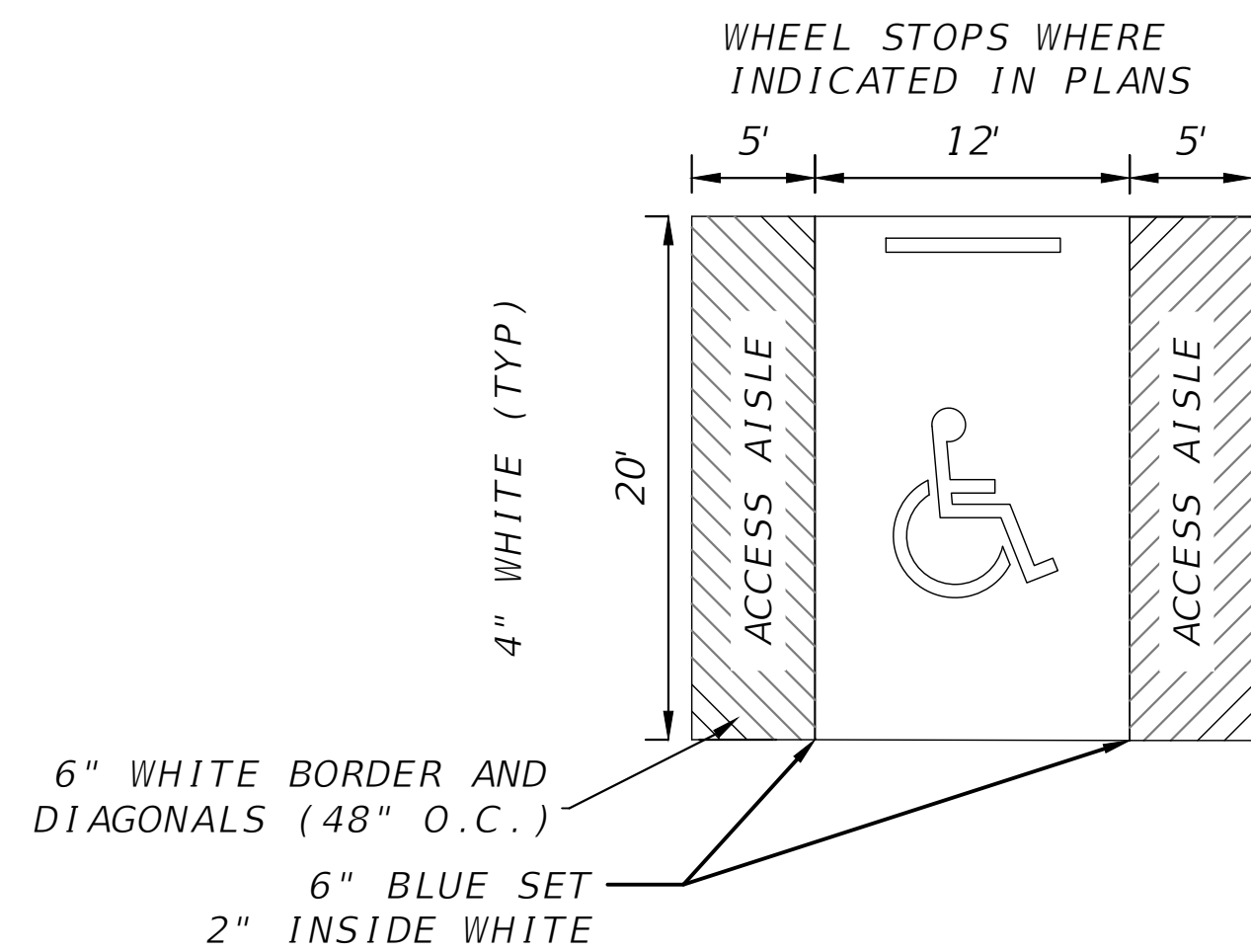
SN01 CLEANOUT DETAIL
SCALE: N.T.S



MS14 GRADE AT BUILDING DETAIL
SCALE: N.T.S



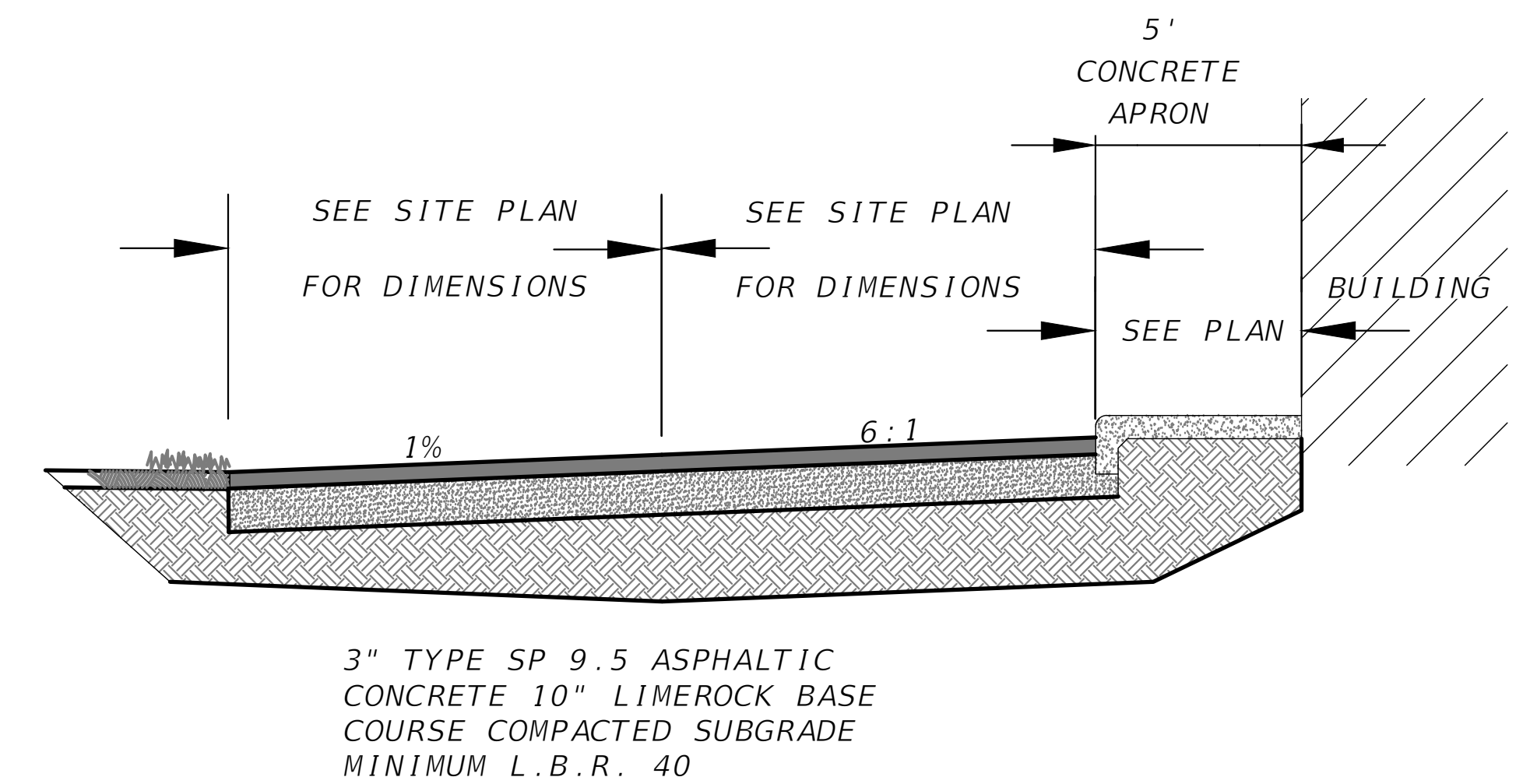
MS13 CHAIN LINK FENCE DETAIL
SCALE: N.T.S



NOTES:

1. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
2. 5' HANDICAPPED AISLE MAY BE PLACED ON THE RIGHT OR LEFT SIDE OF PARKING STALL.
3. HANDICAPPED PARKING SYMBOL SHALL BE 3' OR 5' FT. HIGH.
4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

MS23 HANDICAP PARKING STALL DETAIL
SCALE: N.T.S



MS26 PARKING APRON TYPICAL SECTION
SCALE: N.T.S

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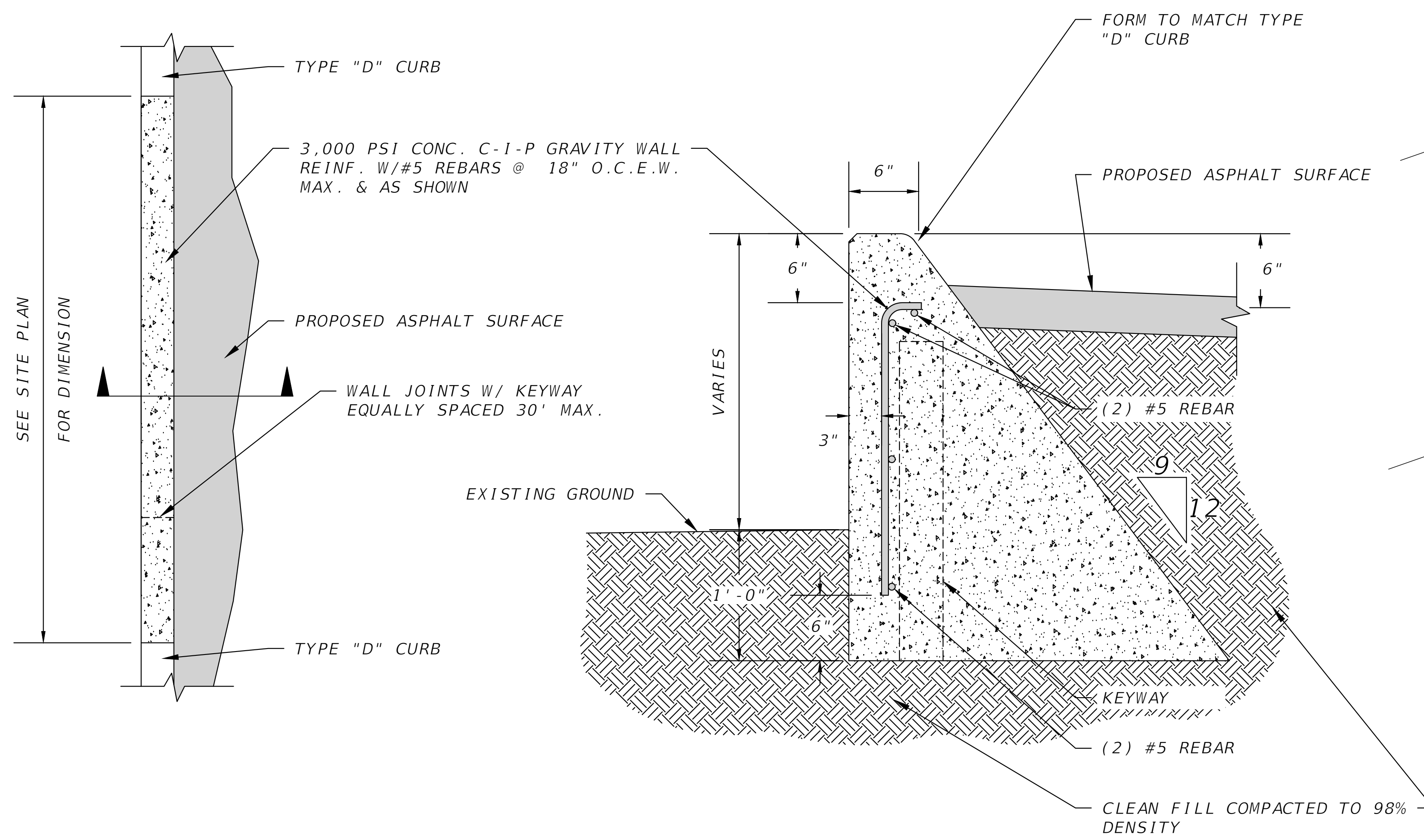
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JOB NUMBER:
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 P.E. NO.:
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MISCELLANEOUS DETAILS
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
16

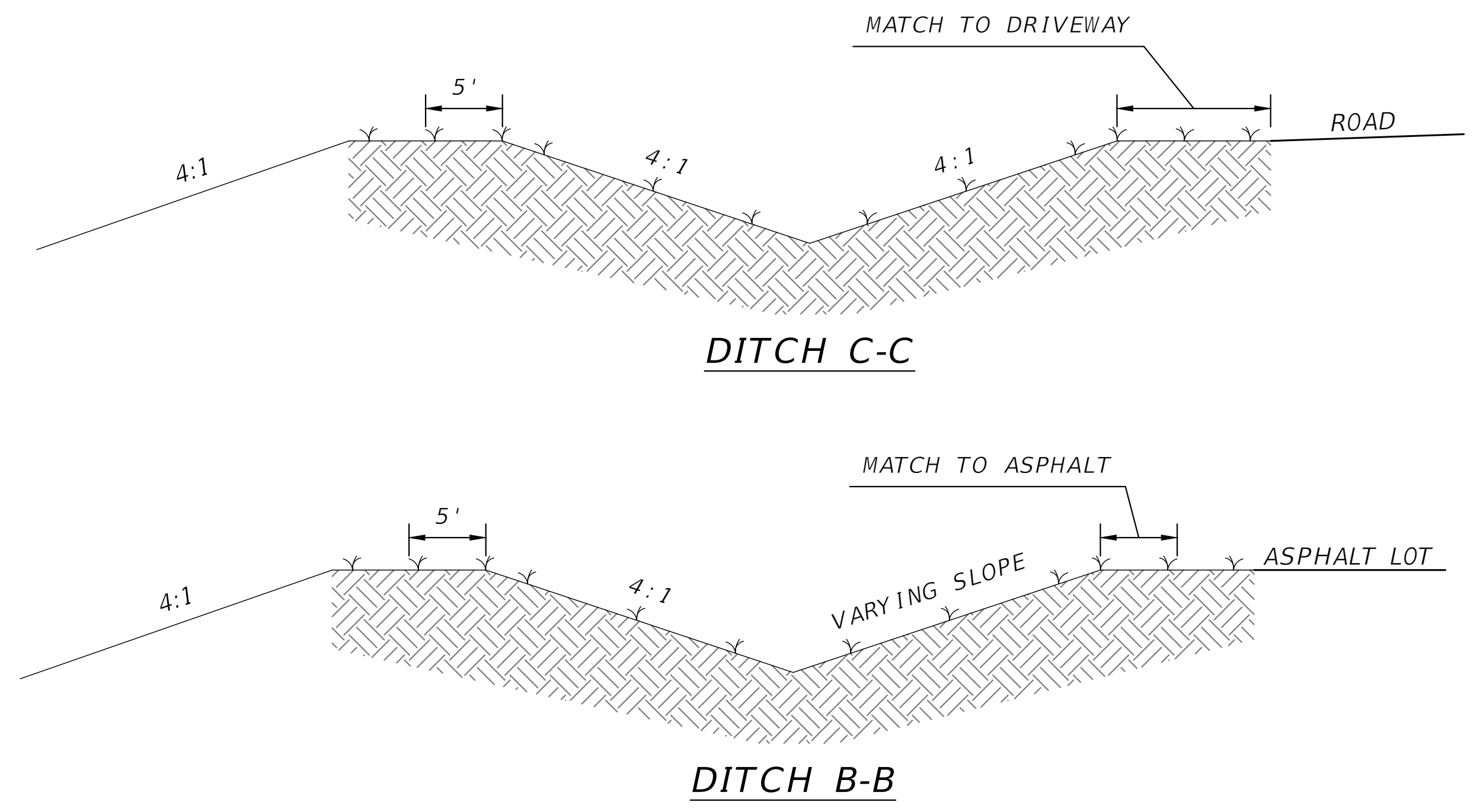
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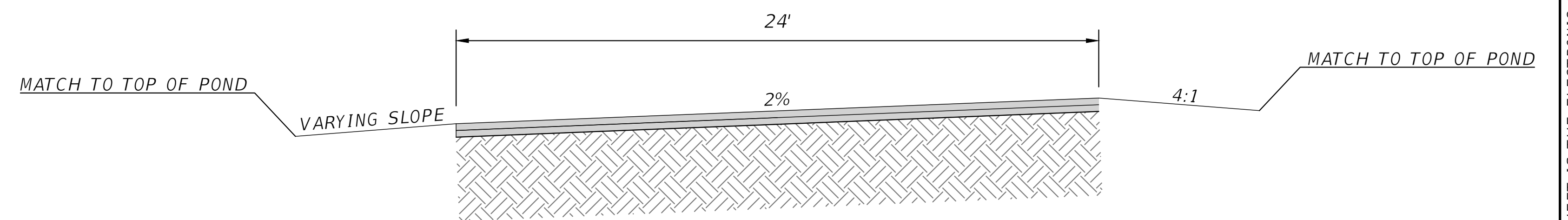
PLAN

SECTION

MS30 C-I-P GRAVITY WALL DETAILS
SCALE: N.T.S



DITCH TYPICAL SECTIONS
SCALE: N.T.S



TYPICAL DRIVEWAY SECTION
SCALE: N.T.S

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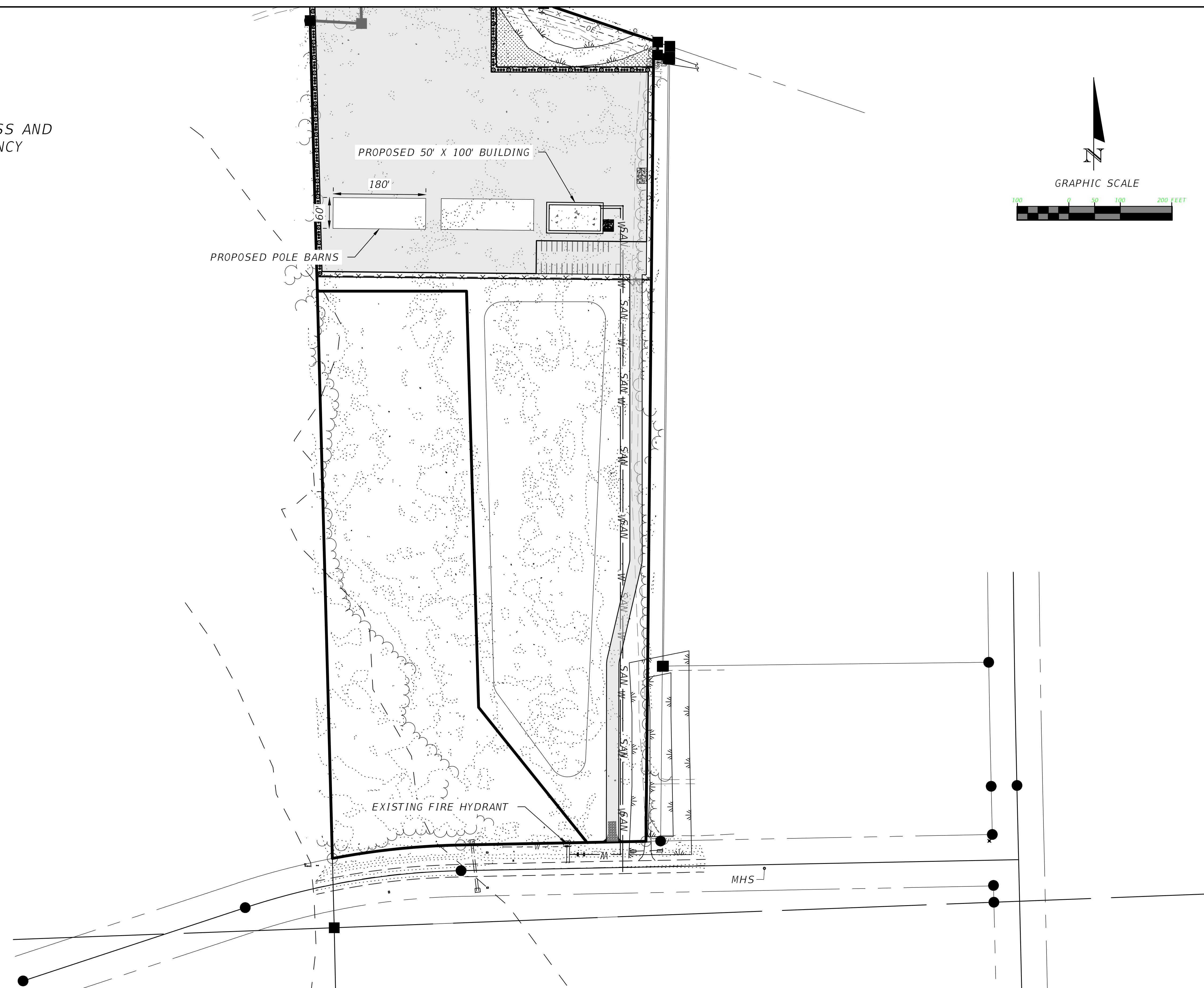
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MISCELLANEOUS DETAILS
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
17

NOTES:

1. SITE ALLOWS INGRESS AND EGRESS OF EMERGENCY VEHICLES



REVISIONS	
DATE	DESCRIPTION



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FIRE ACCESS PLAN
BELL ROAD
COLUMBIA COUNTY, FLORIDA

SHEET NO.
FA-1

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DESCRIPTION:

REVISED: 11/14/2022

COMMENCE at the Southwest corner of Section 8, Township 3 South, Range 17 East, Columbia County, Florida and run North $01^{\circ}31'32''$ West, along the West line of said Section 8, a distance of 1237.47 feet to the POINT OF BEGINNING; thence continue North $01^{\circ}31'32''$ West, along the West line of said Section 8, a distance of 525.85 feet; thence South $86^{\circ}48'25''$ East, a distance of 100.16 feet; thence North $01^{\circ}48'01''$ West, a distance of 99.92 feet to a point on the Southerly right-of-way line of Interstate 10 (State Road No. 8); thence South $80^{\circ}16'54''$ East, along said Southerly right-of-way line of Interstate 10 (State Road No. 8), a distance of 362.27 feet; thence South $71^{\circ}18'24''$ East, still along said Southerly right-of-way line of Interstate 10 (State Road No. 8), a distance of 234.28 feet; thence South $00^{\circ}55'40''$ West, a distance of 24.89 feet; thence North $71^{\circ}34'18''$ West, a distance of 8.09 feet; thence South $00^{\circ}33'24''$ West, a distance of 1530.49 feet to a point on the North right-of-way line of NW Bell Street; thence South $88^{\circ}52'11''$ West, along said North right-of-way line of NW Bell Street, a distance of 114.63 feet; thence North $38^{\circ}44'56''$ West, a distance of 336.61 feet; thence North $01^{\circ}39'47''$ West, a distance of 809.12 feet; thence due West, a distance of 290.13 feet to the POINT OF BEGINNING. Containing 16.16 acres, more or less.

File Attachments for Item:

iii. SPR23-02, Petition submitted by Carol Chadwick (agent) for Larry Graham (owner), for a Site Plan Review for LG Transit LLC, in the Commercial Intensive Zoning District, and located on **Parcel 11228-000**, which is regulated by the Land Development Regulations section 4.13

Project Summary

Project Name: LG Transit

Project Number: SPR23-02

Parcel Number: 11228-000

Project Notes

- Project type: Site Plan Review
- Future land use is: Commercial
- Zoning designation is: Commercial Intensive
- Proposed use of the property: New construction of LG Transit Office
- Land is conducive for use: Yes, per the LDR section 4.12.2.6
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR23-02 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 11/30/22

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR23-02

Project Name: LG Transit Site Plan Review

Project Address: 943 N. Marion Ave. Lake City FL

Project Parcel Number: 00-00-00-11228-000

Owner Name: LG Transit LLC

Owner: Address: 795 NW Jake Glen Lake City FL 32055

Owner Contact Information: telephone number 386-326-1270 e-mail lgtransit@gmail.com

Owner Agent Name: Carol Chadwick

Owner Agent Address: 1208 SW Fairfax Glen

Owner Agent Contact Information: telephone 307-680-1772 e-mail ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Per section 4.12.2.6 of the LDR this is a permitted use
Per section 4.12.2.6 of the LDR this is a permitted use

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Will need to obtain a business license

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: _____
No issues

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: needs back flow assembly

Sewer Department: Approved Disapproved Reviewed by: Cody Pridgeon

Comments: Capacity available

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: Locates will be needed.

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: The City of Lake City provides water and sewer service to this area.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: A tap application is required to access water, sanitary sewer and natural gas services.

The tap fees, impact fees and utility deposits will be calculated upon approval of the tap application.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Assistant Chief Boozer

Comments: No concerns

Police Department: Approve Disapprove Reviewed by: Chief Butler

Comments: _____

From Sgt Lee, "I don't see any lighting plans here – I would just suggest good lighting (mindful of light trespass due to neighborhood). Motion lights on the east side would probably be best since there's a wooded area on that side".

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

SECTION 4.13 "CI" COMMERCIAL, INTENSIVE

4.13.1 DISTRICTS AND INTENT

The "CI" Commercial, Intensive category includes one (1) zone district: CI. This district is intended for intensive, highly automotive-oriented uses that require a conspicuous and accessible location convenient to streets carrying large volumes of traffic. Such activities generally require large land areas, do not cater directly in appreciable degree to pedestrians, and require ample offstreet parking and offstreet loading space. This district permits certain uses not of a neighborhood or general commercial type and serves the entire City.

4.13.2 PERMITTED PRINCIPAL USES AND STRUCTURES

As for CG, and in addition:

1. Retail commercial outlets for sale of new and used automobiles, motorcycles, trucks and tractors, mobile homes, boats, heavy machinery and equipment, dairy supplies, feed, fertilizer, lumber and building supplies, monuments, and outdoor retail commercial display areas associated with sale of said items.
2. Service establishments such as repair and service garage, motor vehicle body shop, car wash, auction house (but not including livestock auction arena), laundry or dry cleaning establishment, animal boarding kennels in soundproof buildings, plant nursery or landscape contractor, carpenter or cabinet shop, home equipment rental, ice delivery station, upholstery shop, marina and boat sales, commercial water softening establishment, rental of automotive vehicles, trailers, and trucks.
3. Commercial recreation facilities such as drive-in theater (see Section 4.2), golf driving range, miniature golf course, skating rink, skateboard arena, go-cart track, and similar uses.
4. Palmist, astrologist, psychics, clairvoyants, and phrenologists.
5. Miscellaneous uses such as express or parcel delivery office, motor bus or other transportation terminal.
6. Wholesaling from sample stocks only, providing no manufacturing or storage for distribution is permitted on the premises.

Site and development plan approval (see Article 13) is required for all commercial developments.

4.13.3 PERMITTED ACCESSORY USES AND STRUCTURES

1. Uses and structures which:
 - a. Are customarily accessory and clearly incidental and subordinate to permitted uses and structures.
 - b. Are located on the same lot as the permitted use or structure, or on a contiguous lot in the same ownership.
 - c. Do not involve operations or structures not in keeping with the character of the district.
2. On-site signs (see also Section 4.2).

3. Outdoor storage yard in connection with permitted use only; provided, this provision shall not permit wrecking yards (including automobile wrecking yard), junk yards, or yards used in whole or in part for scrap or salvage operations or for processing, storage, display, or sales of any scrap, salvage, or second-hand building materials, junk automotive vehicles, or second-hand automotive parts.
4. On the same premises and in connection with permitted principal uses and structures, dwelling units only for the occupation of owners or employees of the principal use.

4.13.4 PROHIBITED USES AND STRUCTURES

1. Manufacturing activities, except as specifically permitted.
2. Off-site signs.
3. Any other uses or structures not specifically, provisionally or by reasonable implication permitted herein. Any use which is potentially dangerous, noxious or offensive to neighboring uses in the district or to those who pass on public ways by reason of smoke, odor, noise, glare, fumes, gas, vibration, threat of fire or explosion, emission of particulate matter, interference with radio or television reception, radiation or likely for other reasons to be incompatible with the character of the district. Performance standards apply (see Section 4.2)

4.13.5 SPECIAL EXCEPTIONS

(See also Articles 12 and 13)

1. Wholesale, warehouse or storage use in completely enclosed buildings. However, bulk storage of flammable liquids is not permitted.
2. Package store for sale of alcoholic beverages, bar, tavern or cocktail lounge.
3. Truck stops and automotive service stations (see Section 4.2 for special design standards for automotive service stations).
4. Service establishments such as crematory.
5. Agricultural fairs and fairground activities, livestock auction arenas.
6. Commercial tourist attractions.
7. Building trades contractor with on premises storage yard for materials and equipment.
8. Public buildings and facilities.
9. Residential dwelling units, which lawfully existed within this district on the date of adoption or amendment of the Comprehensive Plan.
10. Churches and other houses of worship.
11. Private clubs and lodges.
12. Bed and breakfast inns (see Section 4.2).
13. Light manufacturing, assembling, processing (including food processing, but not slaughterhouses), packaging or fabricating in completely enclosed building.
14. Public and private schools offering curricula comparable to that of public schools.
15. Convention centers and auditoriums.

4.13.6 MINIMUM LOT REQUIREMENTS (area, width)

1. All permitted uses and structures (unless otherwise specified):
None, except as needed to meet the other requirements as set out herein.

4.13.7 **MINIMUM YARD REQUIREMENTS** (depth of front and rear yard, width of side yard)
(See Section 4.2 for right-of-way setback requirements.)

1. All permitted uses and structures (unless otherwise specified):

Front 20 feet

Side None, except where a side yard is provided, then a side yard of at least ten (10) feet must be provided.

Rear 15 feet

Special Provisions:

Parking lots shall be subject to a minimum front setback along all road rights-of-way of ten (10) feet which shall be designated as a landscape buffer area.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from wetlands.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from perennial streams and creeks.

4.13.8 **MAXIMUM HEIGHT OF STRUCTURES**

1. Structure height for buildings shall be regulated in accordance with Chapter 5 of the Florida Building Code and minimum yard requirements established in these land development regulations;
2. Height requirements for signs shall be as established in Section 4.2.20.4(8); and
3. Heights for structures other than buildings and signs shall be regulated in accordance with standards established by the Federal Aviation Administration codes and any regulations and guidelines as may be established by the City and/or Airport Committee or Authority.

4.13.9 **MAXIMUM LOT COVERAGE BY ALL BUILDINGS**

In addition to meeting the required yard, building height, landscaped buffering, and offstreet parking requirements of this section, no structure shall exceed a 1.0 floor area ratio.

4.13.10 **MINIMUM LANDSCAPED BUFFERING REQUIREMENTS**

(See also Section 4.2)

1. All permitted uses (unless otherwise specified):

Where a use listed under (1) above is erected or expanded on land abutting a residential district, then the proposed use shall provide a landscaped buffer which shall be not less than ten (10) feet in width along the affected rear and/or side yards as the case may be.

4.13.11 **MINIMUM OFFSTREET PARKING REQUIREMENTS**

(See also Section 4.2)

1. For uses specifically listed under CG: As for CG OFFSTREET PARKING REQUIREMENTS.
2. Commercial or service establishments (unless otherwise specified); agricultural fairs and fairgrounds; livestock auction arena: one (1) space for each three hundred fifty (350) square feet of floor area, plus, where applicable, one (1) space for each one thousand (1,000) square feet of lot or ground area outside buildings used for any type of sales, display, or activity.

3. Express or parcel delivery office, motor bus or other transportation terminal: one (1) space for each three hundred fifty (350) square feet of floor area.
4. Palmist, astrologist, psychics, clairvoyants, and phrenologist: one (1) space for each two hundred (200) square feet of floor area.
5. Wholesale establishments: one (1) space for each five hundred (500) square feet of floor area.
6. Warehouse or storage use only: one (1) space for each one thousand five hundred (1,500) square feet of floor area.
7. Each existing residential dwelling unit: two (2) spaces for each dwelling unit.
8. Public buildings and facilities.
9. Churches and houses of worship.
10. Private clubs and lodges.
11. Bed and breakfast inn; in addition to parking required for the residence, one (1) parking space shall be provided for each guest room. The Board of Adjustment may vary the parking requirement for those properties listed on the City's historic landmark or site list based upon site constraints including, but not limited to, small yards, inadequate space for parking, and the availability of on-street parking.
12. For other special exceptions as specified herein: to be determined by findings in the particular case.

Note: Offstreet loading required (see Section 4.2).

SECTION 4.12 "CG" COMMERCIAL, GENERAL

4.12.1 DISTRICTS AND INTENT

The "CG" Commercial, General category includes one (1) zone district: CG. This district is intended for general retail commercial, office and service activities which serve a market area larger than a neighborhood. While some of the same types of uses are found in CN areas, the CG areas are generally greater in scale and intensity. Businesses in this category require locations convenient to automotive traffic and ample offstreet parking is required, however; pedestrian traffic may also be found in this district. This district is not suitable for highly automotive-oriented uses.

4.12.2 PERMITTED PRINCIPAL USES AND STRUCTURES

1. Retail commercial outlets for sale of food, wearing apparel, fabric, toys, sundries and notions, books and stationery, leather goods and luggage, paint, glass, wallpaper, jewelry (including repair) art, cameras or photographic supplies (including camera repair), sporting goods, hobby shops and pet shops (but not animal kennel), musical instruments, optical goods, television and radio (including repair incidental to sales), florist or gift shop, delicatessen, bake shop (but not wholesale bakery), drugs, plants and garden supplies (including outside storage of plants and materials), automotive vehicle parts and accessories (but not junk yards or automotive wrecking yards), and similar uses.
2. Retail commercial outlets for sale of home furnishings (furniture, floor coverings, draperies, upholstery) and appliances (including repair incidental to sales), office equipment or furniture, hardware, second-hand merchandise in completely enclosed buildings, and similar uses.
3. Service establishments such as barber or beauty shop, shoe repair shop, restaurant, interior decorator, photographic studio, art or dance or music studio, reducing salon or gymnasium, animal grooming, self-service laundry or dry cleaner, tailor or dressmaker, laundry or dry cleaning pickup station, and similar uses.
4. Service establishments such as radio or television station (but not television or radio towers or antennae); funeral home, radio and television repair shop, appliance repair shop, letter shops and printing establishments, pest control, and similar uses.
5. Medical or dental offices, clinics, and laboratories.
- ✓ 6. **Business and professional offices.**
7. Newspaper offices.
8. Banks and financial institutions.
9. Professional, business, and technical schools.
10. Commercial recreational facilities in completely enclosed, soundproof buildings, such as indoor motion picture theater, community or little theater, billiard parlor, bowling alley, and similar uses.
11. Hotels and motels.
12. Dry cleaning and laundry package plants in completely enclosed buildings using nonflammable liquids such as perchlorethylene and with no odor, fumes, or steam detectable to normal senses from off the premises.
13. Art galleries.

14. Miscellaneous uses such as telephone exchange and commercial parking lots and parking garages.
15. Recovery homes.
16. Residential treatment facilities.
17. Automotive self service station. (See Section 4.2 for special design standards for automotive self-service stations)

Unless otherwise specified, the above uses are subject to the following limitations:

1. Sale, display, preparation, and storage to be conducted within a completely enclosed building, and no more than thirty (30) percent of floor space to be devoted to storage;
2. Products to be sold only at retail; and
3. Site and development plan approval (see Article 13) is required for all commercial developments.

4.12.3 PERMITTED ACCESSORY USES AND STRUCTURES

1. Uses and structures which:
 - a. Are customarily accessory and clearly incidental and subordinate to permitted uses and structures.
 - b. Are located on the same lot as the permitted use or structure, or on a contiguous lot in the same ownership.
 - c. Do not involve operations or structures not in keeping with the character of the district.
2. On-site signs (see Section 4.2).

4.12.4 PROHIBITED USES AND STRUCTURES

1. Manufacturing activities, except as specifically permitted.
2. Warehousing or storage, except in connection with a permitted use.
3. Off-site signs.
4. Retail commercial outlets for sale of new and used automobiles, motorcycles, trucks and tractors, mobile homes, boats, heavy machinery and equipment, lumber and building supplies, and monuments.
5. Motor vehicle body shop.
6. Any other uses or structures not specifically, provisionally or by reasonable implication permitted herein. Any use which is potentially dangerous, noxious or offensive to neighboring uses in the district or to those who pass on public ways by reason of smoke, odor, noise, glare, fumes, gas, vibration, threat of fire or explosion, emission of particulate matter, interference with radio or television reception, radiation, or likely for other reasons to be incompatible with the character of the district. Performance standards apply (see Section 4.2).

4.12.5 SPECIAL EXCEPTIONS
(See also Articles 12 and 13)

1. Automotive service stations (see Section 4.2 for special design standards for automotive service stations).
2. Rental of automotive vehicles, trailers and trucks.
3. Package store for sale of alcoholic beverages, bar, tavern or cocktail lounge.
4. Hospitals and nursing homes.
5. Motor bus or other transportation terminals.
6. Child care centers and overnight child care centers, provided:
 - a. No outdoor play activities shall be conducted before 8 a.m. or after 8 p.m.; and
 - b. Provision is made for areas for offstreet pick-up and drop-off of children.
7. Public buildings and facilities.
8. Residential dwelling units, which lawfully existed within this district on the date of adoption or amendment of the Comprehensive Plan.
9. Churches and other houses of worship.
10. Private clubs and lodges.
11. Bed and breakfast inns (see Section 4.2).
12. Adult care centers.
13. Residences for destitute people (see section 4.2.35).
14. Public and private schools offering curricula comparable to that of public schools.

4.12.6 MINIMUM LOT REQUIREMENTS (area, width)

1. All permitted uses and structures (unless otherwise specified):
None, except as needed to meet other requirements set out herein.

4.12.7 MINIMUM YARD REQUIREMENTS (depth of front and rear yard, width of side yards)
(See Section 4.2 for right-of-way setback requirements.)

1. All permitted uses and structures (unless otherwise specified):

Front	20 feet
Side	None, except where a side yard is provided, then a side yard of at least 10 feet must be provided.
Rear	15 feet
2. Adult care centers and child care centers and overnight child care centers:

Front	20 feet
Side	10 feet for each side yard.
Rear	15 feet

Special Provisions

Parking lots shall be subject to a minimum front setback along all road rights-of-way of ten (10) feet which shall be designated as a landscape buffer area.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from wetlands.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from perennial streams and creeks.

4.12.8 MAXIMUM HEIGHT OF STRUCTURES:

1. Structure height for buildings shall be regulated in accordance with Chapter 5 of the Florida Building Code and minimum yard requirements established in these land development regulations;
2. Height requirements for signs shall be as established in Section 4.2.20.4(8); and
3. Heights for structures other than buildings and signs shall be regulated in accordance with standards established by the Federal Aviation Administration codes and any regulations and guidelines as may be established by the City and/or Airport Committee or Authority.

4.12.9 MAXIMUM LOT COVERAGE BY ALL BUILDINGS

In addition to meeting the required yard, building height, landscaped buffering, and offstreet parking requirements of this section, no structure shall exceed a 1.0 floor area ratio.

4.12.10 MINIMUM LANDSCAPED BUFFERING REQUIREMENTS (See also Section 4.2)

1. All permitted uses (unless otherwise specified):
Where a use listed under (1) above is erected or expanded on land abutting a residential district, then the proposed use shall provide a landscaped buffer which shall be not less than ten (10) feet in width along the affected rear and/or side yards as the case may be.
2. Existing single-family dwellings:
None, except as necessary to meet other requirements set out herein.

4.12.11 MINIMUM OFFSTREET PARKING REQUIREMENTS (See also Section 4.2)

1. Commercial and service establishments (unless otherwise specified): one (1) space for each one hundred fifty (150) square feet of non-storage floor area.
2. Commercial establishments selling home furnishings and major appliances, and office equipment and furniture: one (1) space for each five hundred (500) square feet of non-storage floor area.
3. Restaurants, cocktail lounges, bars, and taverns: one (1) space for each three (3) seats in public rooms.
4. Funeral homes: one (1) space for each three (3) seats in the chapel.
5. Medical or dental offices, clinics, or laboratories: one (1) space for each one hundred fifty (150) square feet of floor area.

6. **Business and professional offices: one (1) space for each two hundred (200) square feet of floor area.**
7. Newspaper office: one (1) space for each three hundred fifty (350) square feet of floor area.
8. Public buildings and facilities (unless otherwise specified): one (1) space for each two hundred (200) square feet of floor area.
9. Banks and financial institutions: one (1) space for each one hundred fifty (150) square feet of non-storage floor area.
10. Professional, business, and technical schools: one (1) space for each two hundred (200) square feet of floor area.
11. Community and little theaters, indoor motion picture theaters: one (1) space for each four (4) seats.
12. Hotels and motels: one (1) space for each sleeping room, plus two (2) spaces for the owner or manager, plus required number of spaces for each accessory use such as restaurant, bar, etc. as specified.
13. Dry cleaning and laundry package plants: one (1) space for each one hundred fifty (150) square feet of non-storage floor area.
14. Each residential dwelling unit: two (2) spaces for each dwelling unit.
15. Churches and houses of worship: one (1) space for each six (6) permanent seats in main auditorium.
16. Art galleries: one (1) space for each three hundred (300) square feet of floor area.
17. Dance, art, and music studios: one (1) space for each three hundred fifty (350) square feet of floor area.
18. Private clubs and lodges: one (1) space for each three hundred (300) square feet of floor area.
19. Hospitals: one (1) space for each bed.
20. Nursing homes: one (1) space for each three (3) beds.
21. Telephone exchange, motor bus or other transportation terminals: one (1) space for each three hundred fifty (350) square feet of floor area.
22. Adult care centers and child care centers and overnight child care centers: one (1) space for each three hundred (300) square feet of floor area devoted to child care activities.
23. For other special exceptions as specified herein: to be determined by findings in the particular case.

Note: Offstreet loading required (see Section 4.2)



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee: **\$200.00**
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: LG Transit Site Plan
2. Address of Subject Property: 943 N. Marion Avenue, Lake City, FL
3. Parcel ID Number(s): 00-00-00-11228-000
4. Future Land Use Map Designation: Commercial
5. Zoning Designation: Commercial Intensive
6. Acreage: 0.482
7. Existing Use of Property: vacant
8. Proposed use of Property: commercial
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 1914
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: (307)680.1772 Fax: (_____) Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): LG Transit LLC
 Mailing Address: 795 NW Jake Glen
 City: Lake City State: FL Zip: 32055
 Telephone: (386)326.1270 Fax: (_____) Email: lgtransit@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: na
If yes, is the contract/option contingent or absolute: Contingent Absolute
- 2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

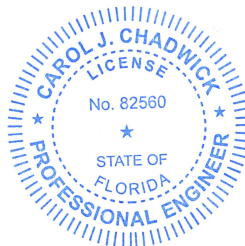
All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

Digitally signed by Carol Chadwick
DN: c=US, o=Florida,
dnQualifier=A01410D000001
7EB6D924CE0005954C,
cn=Carol Chadwick
Date: 2022.12.05 11:09:40
-05'00'

Date

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Signature of Notary

Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced

LG TRANSIT SITE PLAN

SECTION 29, TOWNSHIP 3 SOUTH, RANGE 17 EAST LAKE CITY, COLUMBIA COUNTY, FLORIDA



PROJECT SITE

LOCATION MAP
NOT TO SCALE

NOTES

1. SITE PARCEL: 00-00-00-11228-000
2. FUTURE LAND USE: COMMERCIAL
3. ZONING: CI: COMMERCIAL INTENSIVE
4. SITE ADDRESS: 943 N MARION AVENUE, LAKE CITY, FL

SHEET INDEX

- | | |
|---|-----------------------|
| 1 | COVER SHEET |
| 2 | NOTES & LEGEND |
| 3 | SITE & DIMENSION PLAN |
| 4 | GRADING PLAN |
| 5 | UTILITY PLAN |
| 6 | LANDSCAPE PLAN |
| 7 | DETAILS |

OWNER:

LG TRANSIT LLC
795 N.W. JAKE CLEN
LAKE CITY, FL 32055
CONTACT: LARRY GRAHAM
386.623.1270
lgtransit@aol.com

CIVIL ENGINEER:

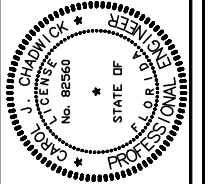
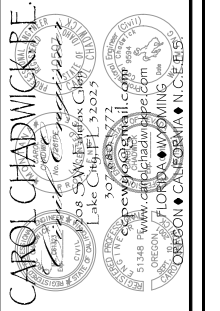
CAROL CHADWICK, P.E.
1208 S.W. FAIRFAX GLEN
LAKE CITY, FL 32025
307.680.1772
ccpewyo@gmail.com

CONTRACTOR:

WHIDDON CONSTRUCTION CO.
295 N.W. COMMONS LOOP, SUITE 115-262
LAKE CITY, FL 32055
386.754.7367
CONTACT: ROGER WHIDDON
roger@whiddonconstruction.com

SURVEYOR:

BRITT SURVEY & MAPPING, INC.
2086 S.W. MAIN BLVD., STE. 112
LAKE CITY, FL 32025
386.752.7163

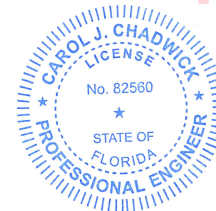


NO.	REVISION DESCRIPTION	DATE

PREPARED FOR:
WHIDDON CONSTRUCTION CO
295 NW COMMONS LOOP
SUITE 115-262
LAKE CITY, FL 32055
386.754.7367

LG TRANSIT SITE PLAN
COVER SHEET

Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol
Chadwick
Date: 2022.12.05
11:09:22 -05'00'



ENGINEER OF RECORD: CAROL CHADWICK, P.E.
P.E. NO.: 82560

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED AND THE SIGNATURE MUST BE VERIFIED ON ANY ELECTRONIC COPIES.



PROJECT NO. FL22181	DATE DEC. 3, 2022	REVISION DATE	SHEET of 7
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ENGINEER'S NOTES

1. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS AT THE JOB SITE PRIOR TO CONSTRUCTION TO ENSURE THAT ALL WORK WILL FIT IN THE MANNER INTENDED ON THE PLANS. SHOULD ANY CONDITIONS EXIST THAT ARE CONTRARY TO THOSE SHOWN ON THE PLANS, THE CONTRACTOR SHALL NOTIFY THE ENGINEER OF SAID DIFFERENCES IMMEDIATELY AND PRIOR TO PROCEEDING WITH THE WORK.
2. ALL DISTURBED AREAS SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND SHORT-TERM VEGETATION. THE LONG-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 70 POUNDS PER ACRE. THE SHORT-TERM VEGETATION SHALL BE APPLIED AT A MINIMUM RATE OF 20 POUNDS PER ACRE AND SHALL CONSIST OF WINTER RYE FROM SEPTEMBER THROUGH MARCH OR MILLET FROM APRIL THROUGH AUGUST.
3. THE PERMITTEE/CONTRACTOR SHALL INSTITUTE NECESSARY MEASURES DURING CONSTRUCTION TO MINIMIZE EROSION, TURBIDITY, NUTRIENT LOADING, AND SEDIMENTATION TO ADJACENT LANDS AND IN THE RECEIVING WATER.
4. ALL GRADES MAY BE ADJUSTED IN THE FIELD A MAXIMUM OF SIX (6) INCHES AS LONG AS THE FLOW OF WATER IS NOT CHANGED.
5. WHERE DITCH MUST BE DEEPER THAN NORMAL TO ACCOMMODATE A PIPE, THE TRANSITION FROM NORMAL DITCH GRADE TO PIPE FLOW LINE SHALL BE A MINIMUM LENGTH OF 100 FEET.
6. THE CONTRACTOR SHALL ADHERE TO THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION UNTIL THE AS-BUILTS ARE COMPLETED.
7. QUANTITIES ARE ESTIMATES ONLY. CONTRACTOR SHALL VERIFY QUALITIES PRIOR TO BID AND CONSTRUCTION.
8. NO FILL SHALL BE PLACED ON EXISTING GROUND UNTIL THE GROUND HAS BEEN CLEARED OF WEEDS, DEBRIS, TOPSOIL AND OTHER DELETERIOUS MATERIAL.

UNAUTHORIZED CHANGES AND USES CAUTION:

THE ENGINEER PREPARING THESE PLANS WILL NOT BE RESPONSIBLE FOR, OR LIABLE FOR, UNAUTHORIZED CHANGES TO OR USES OF THESE PLANS. ALL CHANGES TO THE PLANS MUST BE IN WRITING AND MUST BE APPROVED BY THE PREPARER OF THESE PLANS.

THE PRIVATE ENGINEER SIGNING THESE PLANS IS RESPONSIBLE FOR ASSURING THE ACCURACY AND ACCEPTABILITY OF THE DESIGN HEREON. IN THE EVENT OF DISCREPANCIES ARISING DURING CONSTRUCTION, THE PRIVATE ENGINEER SHALL BE RESPONSIBLE FOR DETERMINING AN ACCEPTABLE SOLUTION AND REVISING THE PLANS FOR APPROVAL BY THE GOVERNING AGENCIES.

PRIVATE ENGINEER'S NOTICE TO CONTRACTOR:

THE CONSTRUCTION CONTRACTOR AGREES THAT IN ACCORDANCE WITH GENERALLY ACCEPTED CONSTRUCTION PRACTICES, HE/SHE WILL BE REQUIRED TO ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THE PROJECT, INCLUDING THE SAFETY OF ALL PERSONS AND PROPERTY. THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS. THE CONSTRUCTION CONTRACTOR FURTHER AGREES TO DEFEND, INDEMNIFY AND HOLD DESIGN PROFESSIONAL HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPTING LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE DESIGN PROFESSIONAL.

EROSION CONTROL NOTES

1. EROSION AND SEDIMENTATION CONTROL SHALL COMPLY WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL"
2. THE CONTRACTOR SHALL ADHERE TO THE FLORIDA DEPARTMENT OF TRANSPORTATION, SUWANNEE RIVER WATER MANAGEMENT DISTRICT, COLUMBIA COUNTY, CITY OF LAKE CITY AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS.
3. THE CONTRACTOR SHALL ADJUST AND REVISE CONTROL MEASURES SHOWN ON THESE PLANS TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. EROSION AND SEDIMENT CONTROL MEASURES SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION AND SEDIMENT CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
6. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
7. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT FROM LEAVING PROJECT LIMITS.
8. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
9. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
10. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
11. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
12. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF HAY BALES OR SODDING.
13. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
14. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
15. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARPS.
16. EXCESS DIRT SHALL BE REMOVED DAILY.
17. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS.
18. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.25 INCHES OR GREATER.
19. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

EXISTING LINETYPES, SYMBOLS, AND HATCH PATTERNS

SA	SANITARY SEWER MAIN	○	ROOF DRAIN	SW	STORM SEWER MANHOLE
SS	SANITARY SEWER SERVICE	BM	BENCHMARK	GI	GRATED STORM INLET
W	WATER MAIN	RM	REFERENCE MONUMENT	SI	STORM INLET
WS	WATER SERVICE	CA	CABLE TV RISER	SA	SANITARY SEWER MANHOLE
SW	STORM SEWER	T	TELEPHONE RISER	CO	CLEAN OUT
---	SWALE/FLOWLINE	WM	WATER METER PIT	G	GAS VALVE
----	CULVERT	FH	FIRE HYDRANT	GM	GAS METER
OP	OVERHEAD POWER	GV	GATE VALVE	SL	STREET LIGHT
UP	UNDERGROUND POWER	CS	CURB STOP	GWA	GUY WIRE ANCHOR
GAS	GAS LINE	CT	CONIFEROUS TREE	PP	POWER POLE
T	PHONE LINE	DT	DECIDUOUS TREE	GM	GAS MARKER
FO	FIBER OPTIC	B	BUSH	EM	ELECTRIC MARKER
CA	CABLE TV	HTL	HEDGE/TREE LINE	TSP	TRANSFORMER SINGLE PHASE
- - - - -	PROPERTY LINE	IPS	I POLE SIGN	T3P	TRANSFORMER 3 PHASE
- - - - -	R.O.W.	BH	BOREHOLE	EV	ELECTRICAL VAULT
- - - - -	BUILDING SETBACK LINE	MW	MONITORING WELL	EM	ELECTRICAL METER
- - - - -	EASEMENT LINE	TS	TRAFFIC SIGNAL	FOP	FIBER OPTIC PEDISTAL
[]	STRUCTURE			FOV	FIBER OPTIC VAULT
[]	EXISTING CONCRETE			SH	SPRINKLER HEAD
[]	EXISTING ASPHALT			IC	IRRIGATION CONTROL

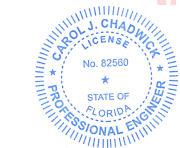
PROPOSED LINETYPES, SYMBOLS, AND HATCH PATTERNS

SA	SANITARY SEWER MAIN	CA	CABLE TV RISER	SW	STORM SEWER MANHOLE
SS	SANITARY SEWER SERVICE	T	TELEPHONE RISER	GI	GRATED STORM INLET
W	WATER MAIN	WM	WATER METER PIT	SI	STORM INLET
WS	WATER SERVICE	FH	FIRE HYDRANT	SA	SANITARY SEWER MANHOLE
SW	STORM SEWER	GV	GATE VALVE	CO	CLEAN OUT
OP	OVERHEAD POWER	CS	CURB STOP	G	GAS VALVE
UP	UNDERGROUND POWER	GM	GAS METER	GM	GAS METER
GAS	GAS LINE	1/4	1 1/4" BEND	SL	STREET LIGHT
T	PHONE LINE	1/2	22 1/2" BEND	GWA	GUY WIRE ANCHOR
FO	FIBER OPTIC	45	45° BEND	PP	POWER POLE
CA	CABLE TV	CAP	CAP (END OF LINE PLUG)	TSP	TRANSFORMER SINGLE PHASE
- - - - -	PROPERTY LINE	COU	COUPLER	T3P	TRANSFORMER 3 PHASE
[]	STRIPING	CROSS	CROSS	EV	ELECTRICAL VAULT
- - - - -	BUILDING SETBACK LINE	DEF	DEFLECTION COUPLER	EM	ELECTRICAL METER
- - - - -	EASEMENT LINE	TEE	TEE	FOP	FIBER OPTIC PEDISTAL
- - - - -	SIDEWALK	RED	REDUCER	FOPV	FIBER OPTIC VAULT
SF	SILT FENCE	1PS	1 POLE SIGN	SH	SPRINKLER HEAD
[]	PROPOSED STRUCTURE			IC	IRRIGATION CONTROL
[]	PROPOSED CONCRETE	GR	GRASS	CT	CONIFEROUS TREE
[]	PROPOSED ASPHALT	GRS	PROPOSED GRAVEL SURFACE	DT	DECIDUOUS TREE
				B	BUSH

NOTE: ALL UTILITY PROVIDERS MUST BE CONTACTED PRIOR TO DIGGING IN ACCORDANCE TO CHAPTER 556 "SUNSHINE STATE ONE CALL" CALL 811 48 HOURS PRIOR TO DIGGING



Digitally signed by Carol Chadwick
 DN: c=US, o=Florida, dnQualifier=A014
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 924CE0005954C,
 cn=Carol Chadwick
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PREPARED FOR:
 WHIDDON CONSTRUCTION CO
 295 NW COMMONS LOOP
 SUITE 115-262
 LAKE CITY, FL 32055
 386.754.7367

PROJECT NO. FL22181
 DATE DEC. 3, 2022
 REVISION DATE
 SHEET 7 of 7

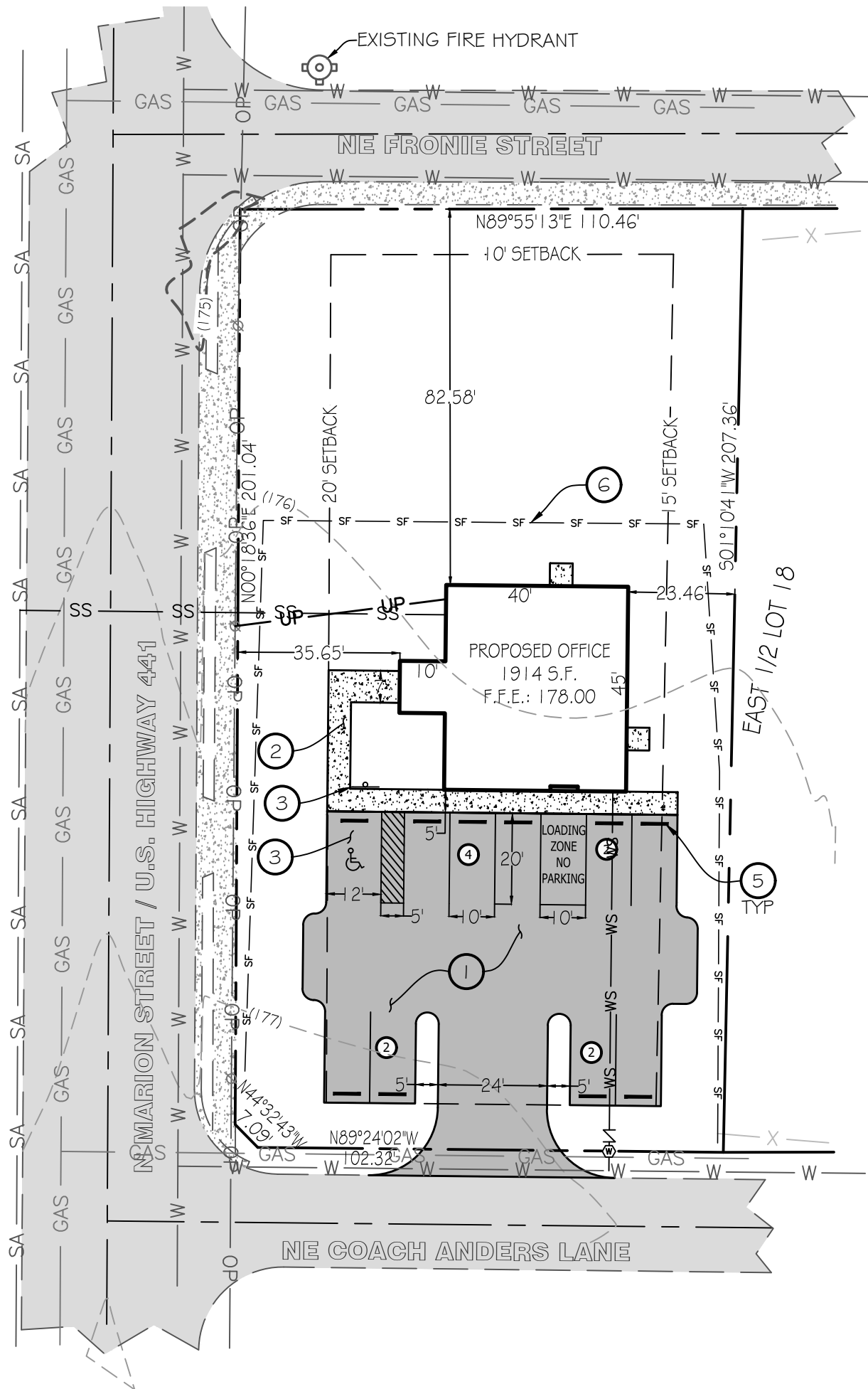
LG TRANSIT SITE PLAN
 NOTES & LEGEND

REVISION DESCRIPTION
 DATE

CAROL CHADWICK
 LICENSED PROFESSIONAL ENGINEER
 STATE OF FLORIDA
 No. 82580

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CONSTRUCTION NOTES # ESTIMATED QUANTITIES

- 1 1-1/2" AC PAVEMENT OVER 6" LIMEROCK BASE 5327 S.F.
- 2 4" CONCRETE SIDEWALK 589 S.F.
- 3 HANDICAP PARKING STALL PER DETAILS ON SHEET 7 1 EA.
- 4 HANDICAP PARKING SIGN PER DETAIL ON SHEET 7 1 EA.
- 5 INSTALL WHEEL STOP PER DETAIL ON SHEET 7 10 EA.
- 6 SILT FENCE PER DETAIL ON SHEET 7 353 L.F.

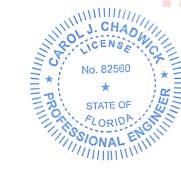
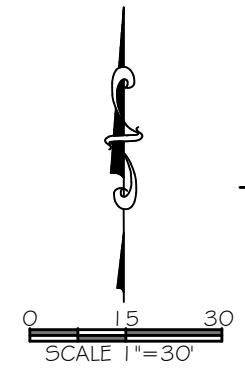
DEVELOPMENT INFORMATION			
NEW COMMERCIAL BUILDING BUSINESS USE			
PARCEL NUMBER	00-00-00-1 228-000		
ZONING	CI - COMMERCIAL INTENSIVE		
LAND USE	COMMERCIAL		
ADDRESS	943 N MARION AVENUE, LAKE CITY, FL		
PROPERTY AREA	SQUARE FEET	ACRES	% OF SITE
PARCEL AREA	20996	0.48	100
ON-SITE DISTURBANCE AREA	12597	0.29	60.00
OFF-SITE DISTURBANCE AREA	0	0.00	-
TOTAL DISTURBANCE AREA	12597	0.29	60.00
PROPOSED IMPERVIOUS AREA			
BUILDING	1914	0.04	9.12
CONCRETE	639	0.01	3.04
ASPHALT PARKING # DRIVEWAYS	5108	0.12	24.33
TOTAL IMPERVIOUS AREA	7661	0.18	36.49
LANDSCAPING			
REQUIRED	PER SECTION 4.2.15.10, LAKE CITY L.D.R. LANDSCAPING: 10% OF OFF-STREET PARKING (5108 SF) 1 TREE PER 200 SF OF LANDSCAPING 5108 / 200 = 25.54 TYP. LANDSCAPING # 3 TREES		
PROPOSED AREA	4748 S.F. # 4 TREES		
PARKING			
REQUIRED SPACES	PER SECTION 4.13.11, LAKE CITY L.D.R. 1 PARKING SPACE PER 200 S.F. OF OFFICE FLOOR AREA 1 PARKING SPACE PER 1500 S.F. OF WAREHOUSE AREA 1914/200 = 10		
PROPOSED SPACES	10 INCLUDING 1 HANDICAP SPACE		

STORMWATER MANAGEMENT NOTE

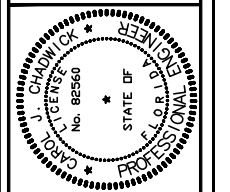
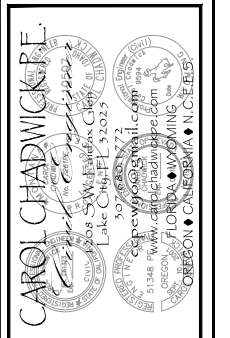
SITE IS EXEMPT FROM SRWMD STORM WATER MANAGEMENT: REFER TO EXEMPTION VERIFICATION FROM SRWMD.

NOTES

- 1. SIGN PER SEPARATE PERMIT



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 Carol Chadwick
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 dnQualifier=A0141
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 cn=Carol
 Chadwick
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REVISION DESCRIPTION	DATE

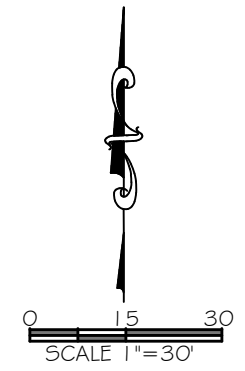
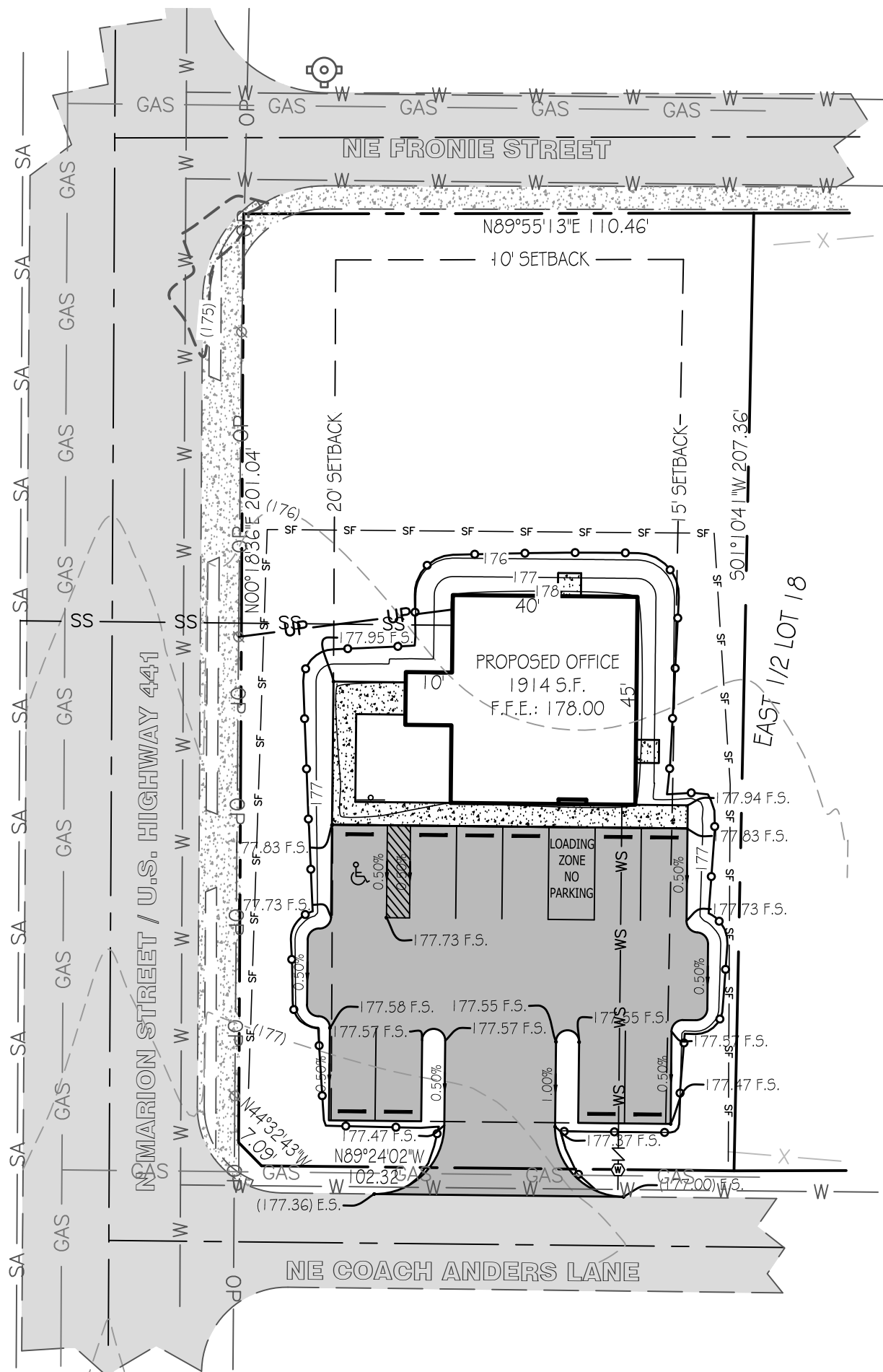
PREPARED FOR
 WHIDDON CONSTRUCTION CO
 295 NW COMMONS LOOP
 SUITE 115-262
 LAKE CITY, FL 32055
 386.754.7367

LG TRANSIT SITE PLAN
 SITE & DIMENSION PLAN

PROJECT NO.	FL2218
DATE	DEC. 3, 2022
REVISION DATE	
SHEET	5 of 7

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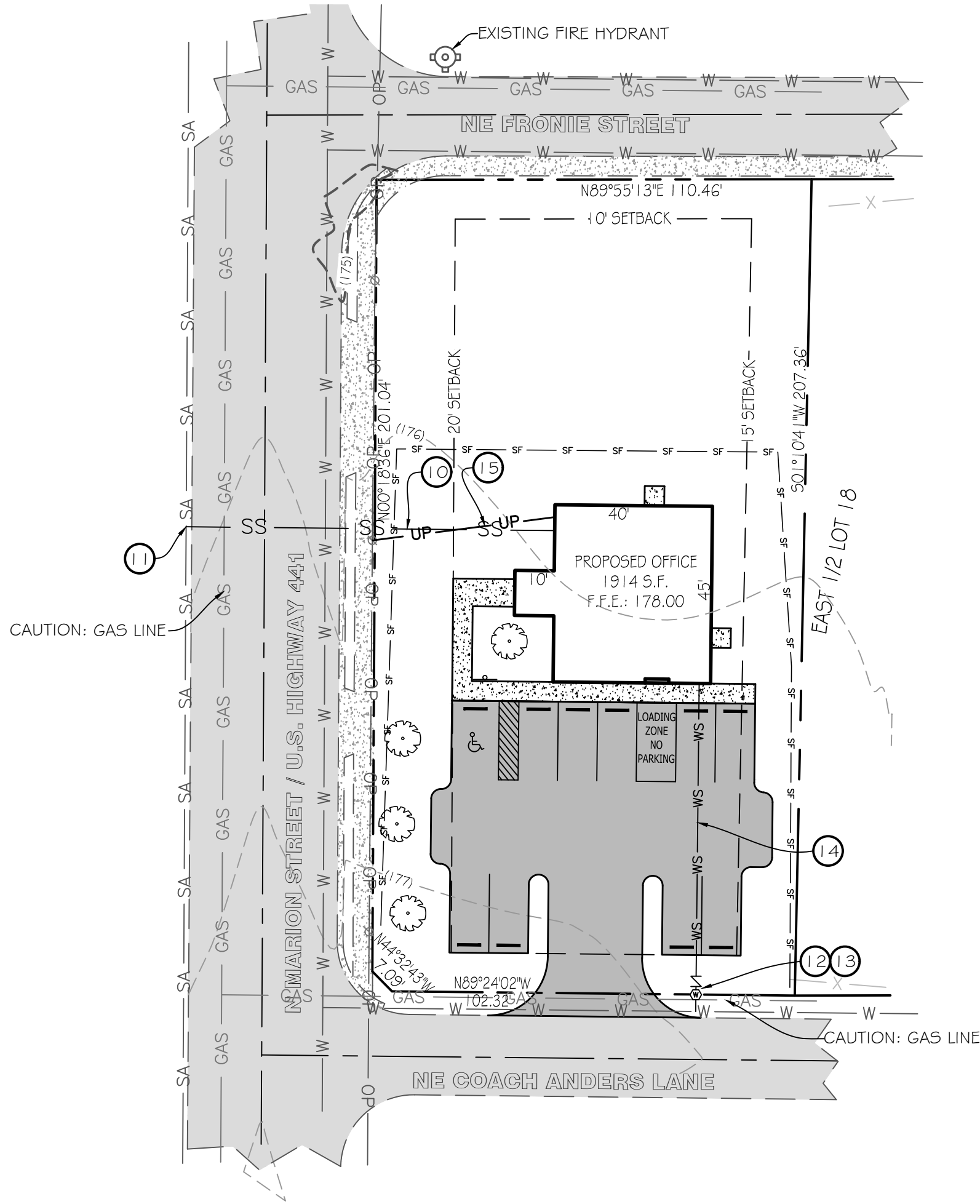
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924CE0005954C,
cn=Carol
Chadwick
Date: 2022.12.05
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PROJECT NO. FL2218 DATE DEC. 3, 2022 REVISION DATE SHEET 85 of 7		LG TRANSIT SITE PLAN GRADING PLAN	PREPARED FOR: WHIDDON CONSTRUCTION CO 295 NW COMMONS LOOP SUITE 115-262 LAKE CITY, FL 32055 386.754.7367	REVISION DESCRIPTION DATE	CAROL CHADWICK, P.E. LICENSE No. 82500 STATE OF FLORIDA PROFESSIONAL ENGINEER
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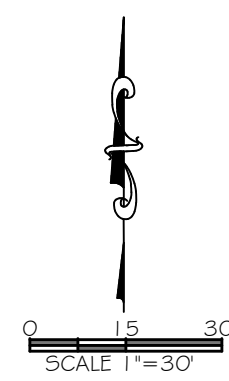


CONSTRUCTION NOTES & ESTIMATED QUANTITIES

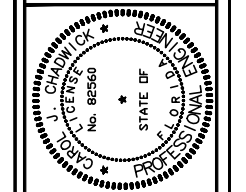
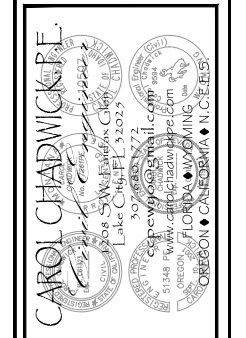
- | | | |
|---|-------------------------------|---------|
| ⑩ | 6" SEWER LATERAL @ 2.00% MIN. | 94 L.F. |
| ⑪ | CONNECT TO SEWER | 1 EA. |
| ⑫ | WATER METER | 1 EA. |
| ⑬ | BACKFLOW PREVENTER | 1 EA. |
| ⑭ | 1" WATER SERVICE | 83 L.F. |
| ⑮ | ELECTRIC SERVICE | 1 EA. |

NOTES

CONTRACTOR TO VERIFY LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO COMMENCEMENT OF CONSTRUCTION.



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by Carol
Chadwick
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o=Florida,
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cn=Carol
Chadwick
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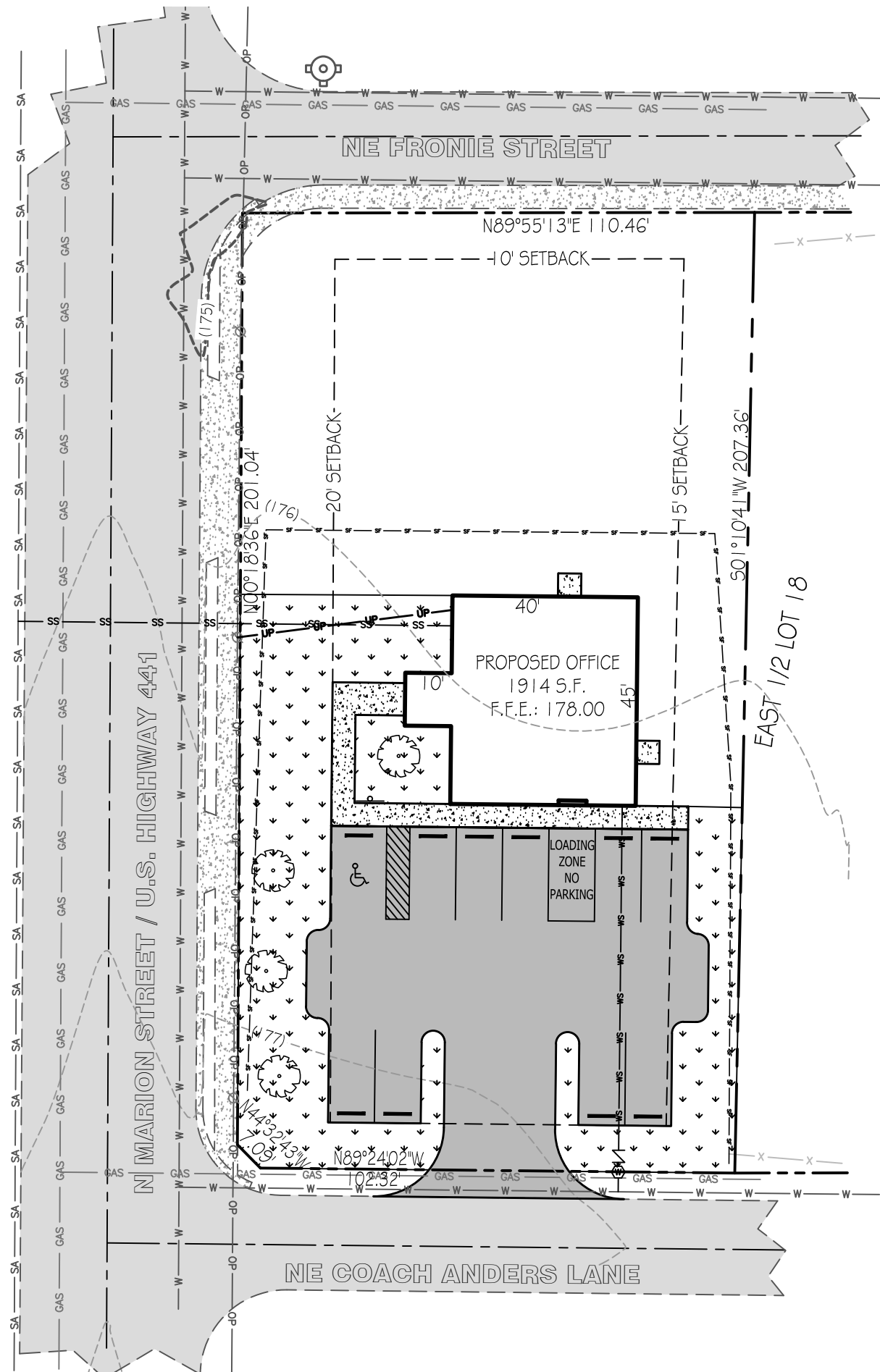
PREPARED FOR:
WHIDDON CONSTRUCTION CO
295 NW COMMONS LOOP
SUITE 115-262
LAKE CITY, FL 32055
386.754.7367

LG TRANSIT SITE PLAN
UTILITY PLAN

PROJECT NO.	FL2218
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PLANT SCHEDULE

SYMBOL	PLANT TYPE	QTY
	MUSKOGEE CRAPE MYRTLE, 30 GALLON	4

LANDSCAPE NOTES

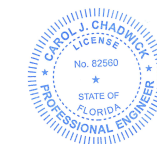
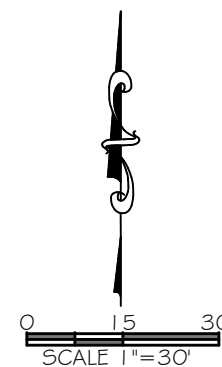
- (a) ALL PLANT MATERIAL TO BE FLORIDA No. 1 QUALITY
- (b) IRRIGATION TO BE ACHIEVED WITH AN AUTOMATIC LOW-PRESSURE DRIP SYSTEM
- (c) 100% IRRIGATION COVERAGE REQUIRED
- (d) STAKING REQUIRED FOR ALL SINGLE-TRUNK TREES
- (e) A 3' "RING" OF MULCH TO BE MAINTAINED AROUND ALL TREES NOT INCORPORATED IN PLANT BEDS.
- (f) LANDSCAPING REQUIRED AROUND ALL BACKFLOW DEVICES
- (g) UNOBSTRUCTED VISIBILITY REQUIRED WITHIN SITE VISIBILITY TRIANGLE (INDICATE WITH DIAGRAM, FIGURE 33.01)
- (i) ALL PLANT BEDS TO BE FREE OF LIME ROCK, CONSTRUCTION DEBRIS, AND ANY IMPERVIOUS MATERIAL. EXCAVATION AND BACKFILLING MAY BE REQUIRED
- (j) THE OWNER/DEVELOPER IS RESPONSIBLE FOR THE ESTABLISHMENT AND MAINTENANCE OF ALL PLANT MATERIAL. LANDSCAPE AREAS MUST BE MAINTAINED TO PRESENT A HEALTHY, NEAT AND ORDERLY APPEARANCE AT ALL TIMES AND SHALL BE KEPT FREE OF TRASH AND DEBRIS

BUFFER NOTE

THE PORTION OF THE BUFFER NOT COVERED BY PLANTING SHALL BE LANDSCAPED WITH GRASS OR GROUND COVER.

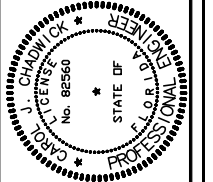
IRRIGATION NOTE

IRRIGATION WILL BE ACHIEVED BY HAND WATER OR LOW-PRESSURE IRRIGATION SYSTEM.



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 dnQualifier=A01410D0000017EB6D
 924CE0005954C, cn=Carol
 Chadwick
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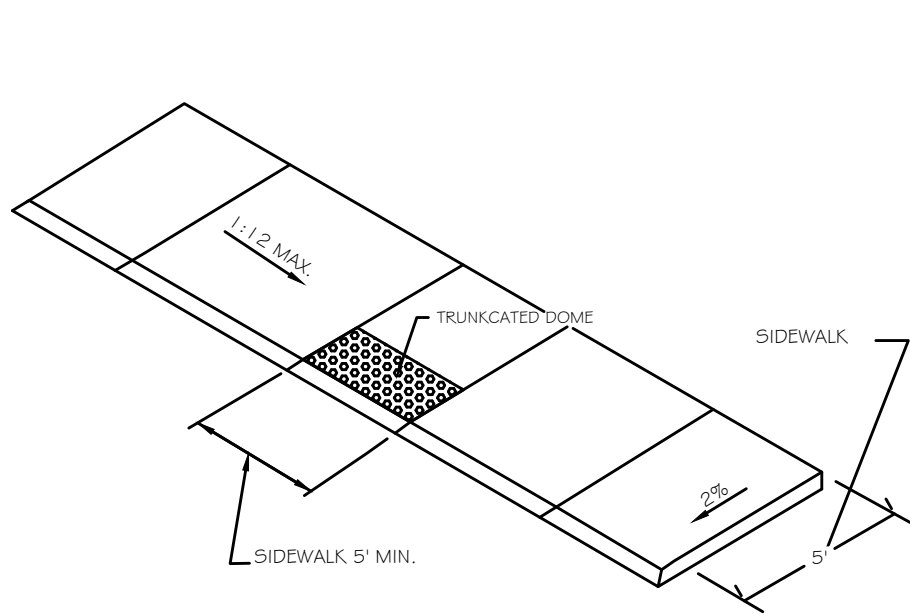


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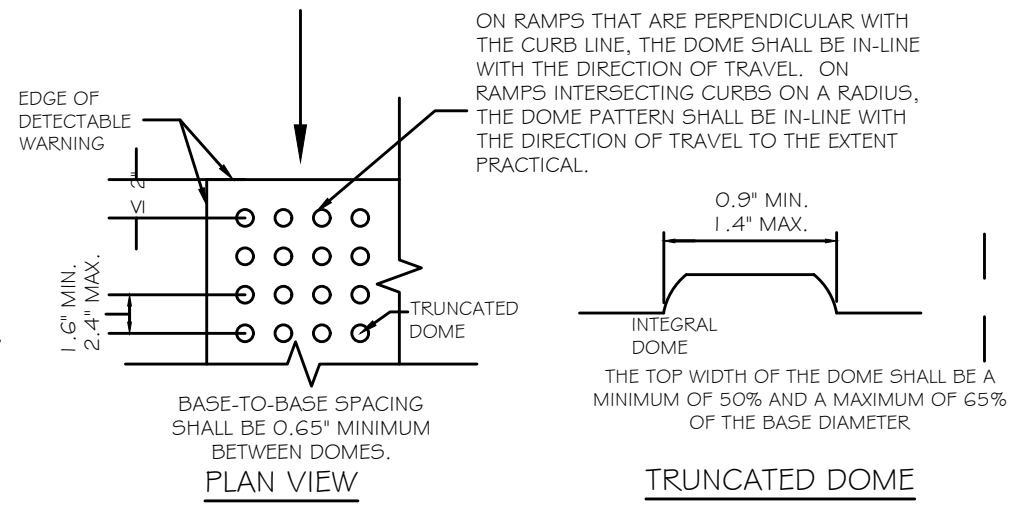
PREPARED FOR:
 WHIDDON CONSTRUCTION CO
 295 NW COMMONS LOOP
 SUITE 115-262
 LAKE CITY, FL 32055
 386.754.7367

**LG TRANSIT SITE PLAN
 LANDSCAPING PLAN**

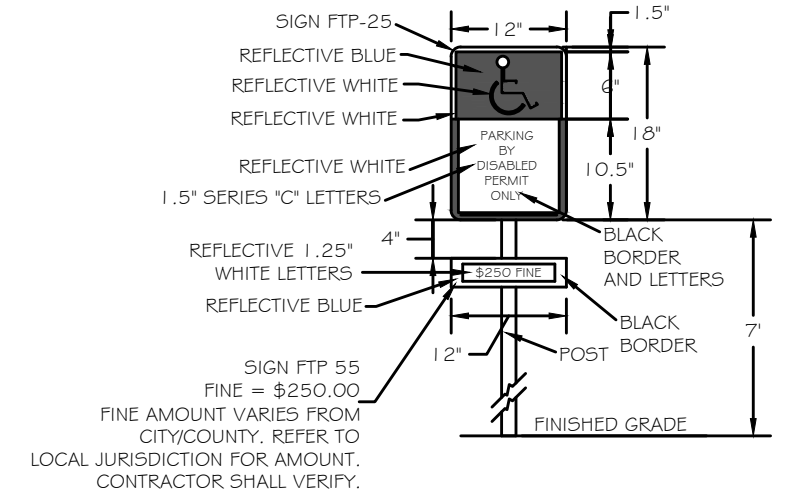
PROJECT NO.	FL22181
DATE	DEC. 3, 2022
REVISION DATE	
SHEET	7
SHEETS	of 7



ADA RAMP WITH TRUNCATED DOME DETAIL
NOT TO SCALE

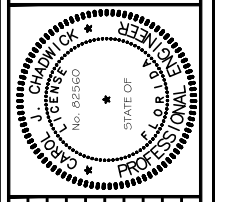
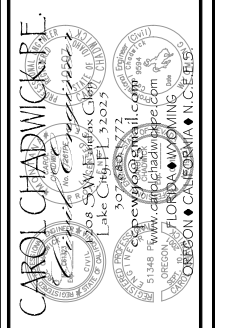
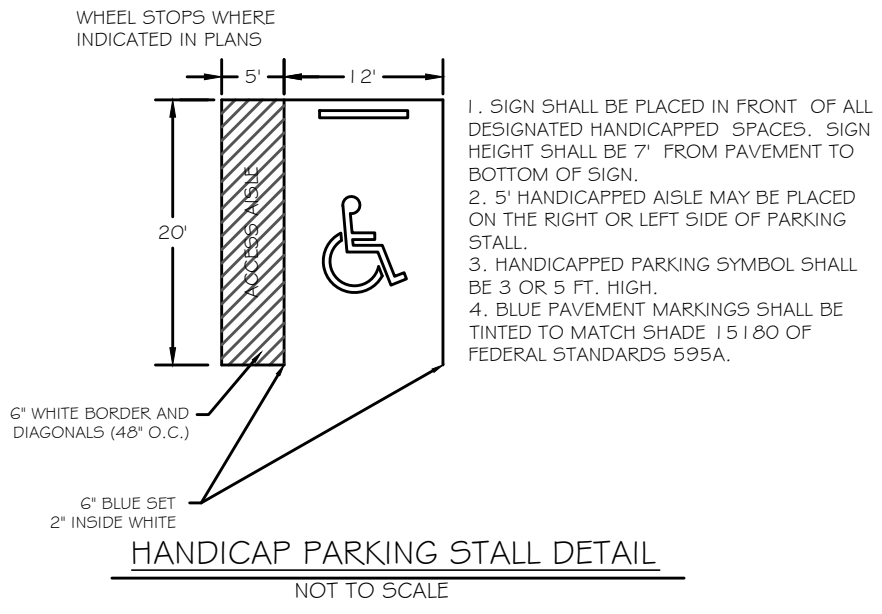
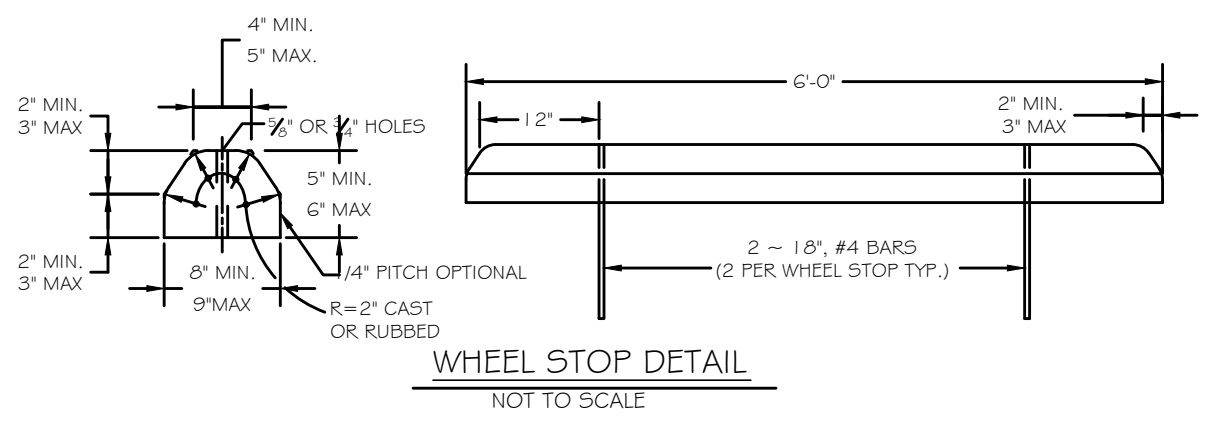
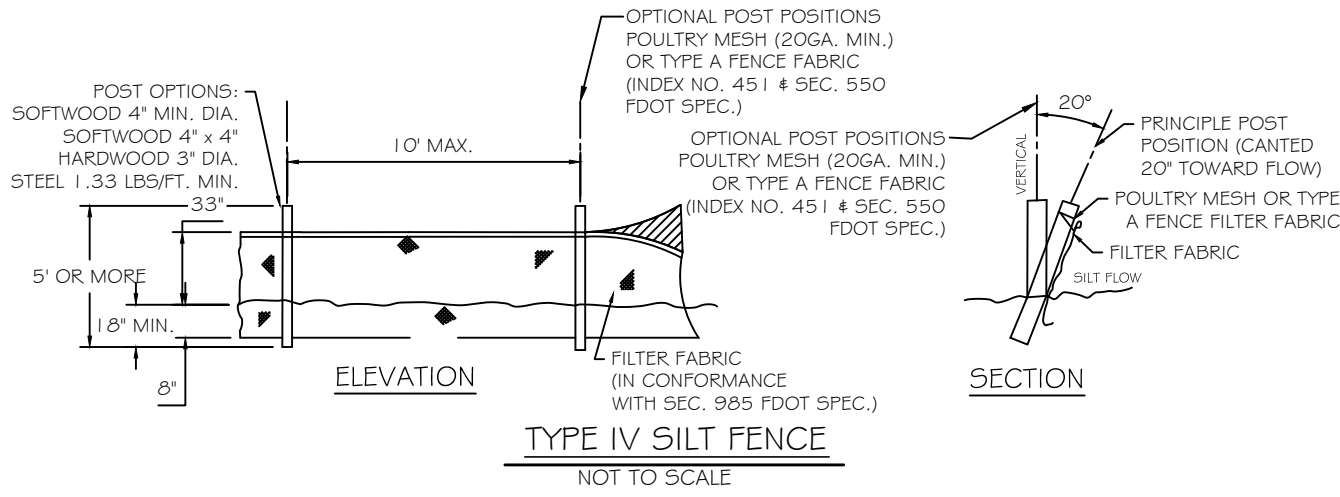


ALL SIDEWALK CURB RAMPS SHALL HAVE DETECTABLE WARNING SURFACES THAT EXTEND THE FULL WIDTH OF THE RAMP AND IN THE DIRECTION OF TRAVEL 24" (610mm) FROM THE BACK OF CURB.



HANDICAP PARKING SIGN DETAIL
NOT TO SCALE

SIGN NOTES:
1. SIGN CONSTRUCTION, DESIGN AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.



NO.	REVISION DESCRIPTION	DATE

PREPARED FOR:
WHIDDON CONSTRUCTION CO
295 NW COMMONS LOOP
SUITE 115-262
LAKE CITY, FL 32055
386.754.7367

LG TRANSIT SITE PLAN
DETAILS

PROJECT NO. FL22181
DATE DEC. 3, 2022
REVISION DATE
SHEET 1 OF 7

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CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen
Lake City, FL 32025

307.680.1772

ccpeuyo@gmail.com

www.carolchadwickpe.com

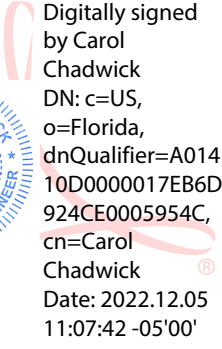
December 3, 2022

re: LG Transit Site Plan Drainage Memo

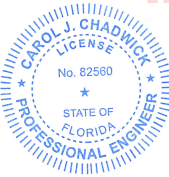
Site is exempt from SRWMD storm water management per the attached document from SRWMD.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed
by Carol
Chadwick
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o=Florida,
dnQualifier=A014
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cn=Carol
Chadwick
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Carol Chadwick, P.E.



SUWANNEE RIVER

WATER MANAGEMENT DISTRICT

May 12, 2022

Larry Graham
LG TRANSIT, LLC
795 NW Jake Gln
Lake City, FL 32055

SUBJECT: Environmental Resource Permit (ERP) No Permit Required, LG TRANSIT
PROPERTY, ERP-023-242728-1, Columbia County

Dear Larry Graham,

The above-mentioned proposed activity does not require a permit from the Suwannee River Water Management District (District). This decision was based on the documentation submitted on or before May 5, 2022. The proposed activity is for the construction of a 1,915 square foot building and 3,972 square feet of parking area. The total increase of impervious area will be 5,887 square feet, or about 0.135 acres. The project shall be constructed in a manner consistent with the application package submitted by JaJuan Burgess on or before May 5, 2022. The proposed activity is considered exempt in accordance with section 62-330.020(2), of the Florida Administrative Code (F.A.C.).

Please ensure that turbidity, sedimentation, and erosion are controlled during and after construction of the exempt activity to prevent violations of state water quality standards, including any antidegradation provisions of paragraphs 62-4.242(1)(a) & (b), subsections 62-4.242(2) & (3) and Rule 62-302.300, F.A.C., and any special standards for Outstanding Florida Waters and Outstanding National Resource Waters. Erosion and sediment control best management practices shall be installed and maintained in accordance with the guidelines and specifications described in the State of Florida Erosion and Sediment Control Designer and Reviewer Manual (Florida Department of Environmental Protection and Florida Department of Transportation June 2007) (<https://www.flrules.org/Gateway/reference.asp?No=Ref-02530>), and the Florida Stormwater Erosion and Sedimentation Control Inspector's Manual (Florida Department of Environmental Protection, Nonpoint Source Management Section, Tallahassee, Florida, July 2008) (<https://www.flrules.org/Gateway/reference.asp?No=Ref-02531>).

In addition, construction, alteration, and operations shall not:

- Exceed any of the thresholds as found in 62-330.020, F.A.C.
- Adversely impound or obstruct existing water flow, cause adverse impacts to existing surface water storage and conveyance capabilities, or otherwise cause adverse water quantity or flooding impacts to receiving water and adjacent lands;
- Cause an adverse impact to the minimum flows and levels established pursuant to Section 373.042, F.S.
- Cause adverse impacts to a Work of the District established pursuant to Section 373.086, F.S.
- Adversely impede navigation or create a navigational hazard; or,
- Cause or contribute to a violation of state water quality standards

This authorization does not exempt you from obtaining permits from any other regulatory agency. Any modifications to the authorized plans shall require reconsideration by the District prior to commencement of construction.

If you have any questions, please contact the Division of Resource Management at 386.362.1001.

Sincerely,



Monica Schott, E.I.
Engineer I

Cc: JaJuan Burgess, LG Transit, LLC

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 3, 2022

re: LG Transit Site Plan Fire Flow Report

ISO: $NFF = (C) (O) [1 + (X + P)] = 750 * 0.85 [1 + (0 + 0)] = 637 \rightarrow 750 \text{ gpm}$

Where:

NFF = Needed Fire Flow

(C) = Construction factor, including effective area: C=750

(O) = Occupancy factor: C-2=0.85

(X + P) = Exposures and communication (openings) factor: 0

$C = 18F\sqrt{A} = 18 * 0.8 * \sqrt{1914} = 630 \rightarrow 750$

Where:

F = the coefficient related to the construction type = 0.8

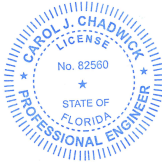
A = the effective building area = 1914 sf

NFPA: required flow 1500 gpm

Per the attached Water Flow Report dated 04/08/2022, the water flow is 1360 gpm.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,

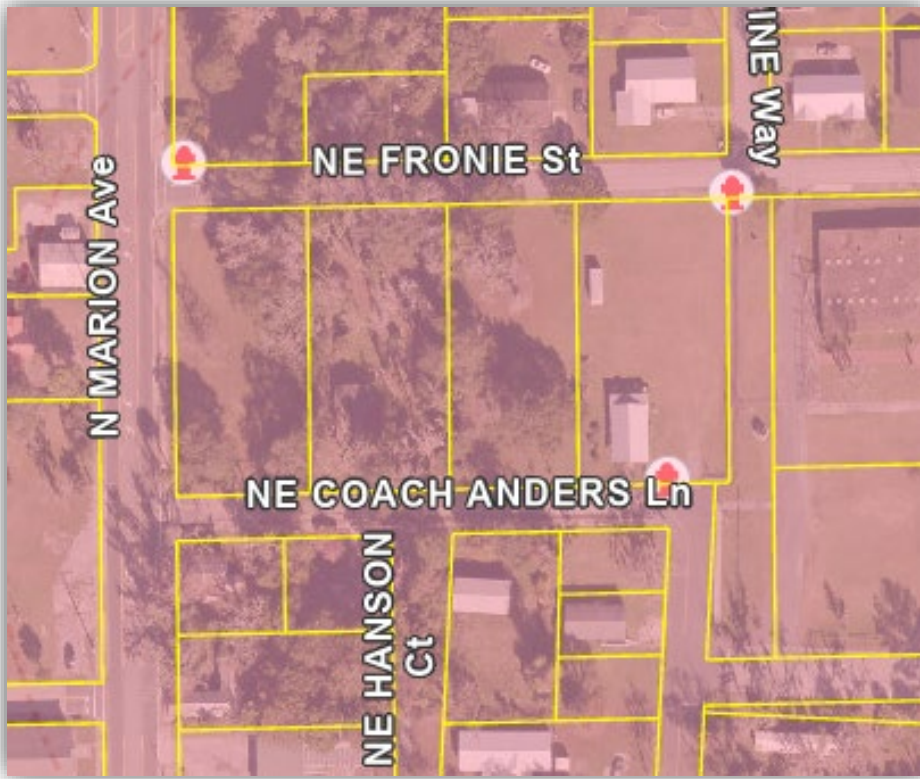


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Carol Chadwick, P.E.

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 CC Job #FL22181



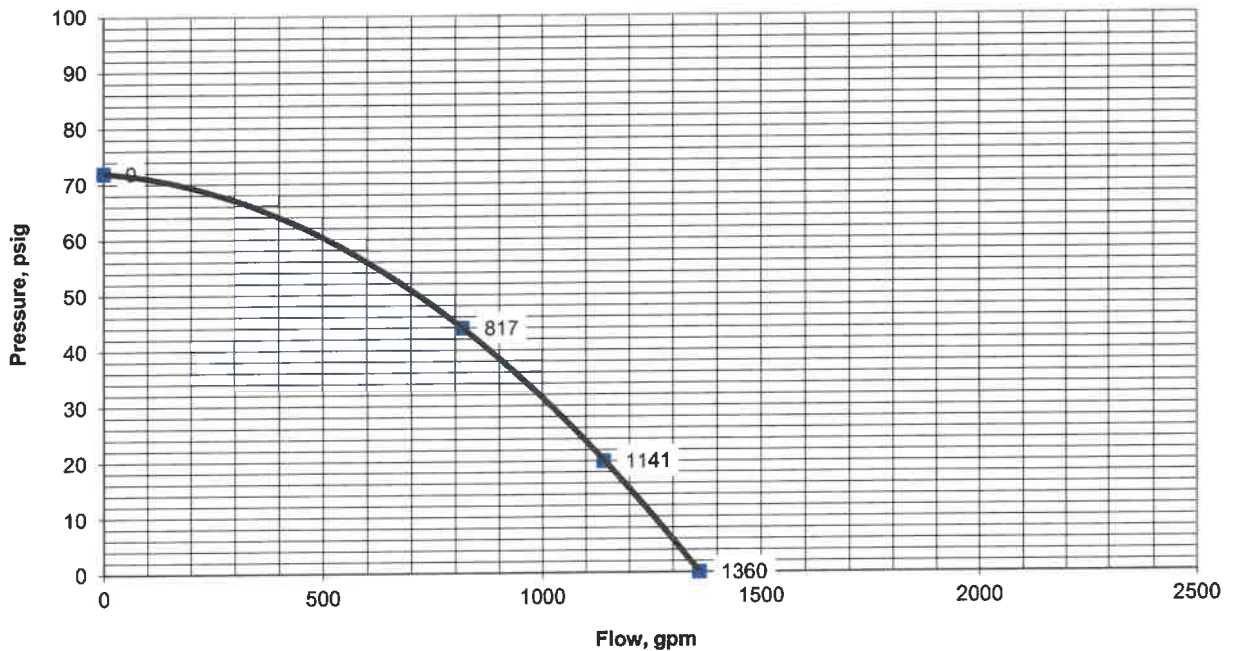


City of Lake City Water flow report

HYDRANT # & LOCATION: **943 N. Marion Ave.** DATE: **11/30/2022**
 TEST BY: **AI/Brandon** Day: **Wednesday** Time: **13:50** Minutes: **2**
 WATER SUPPLIED BY: **Municipal**
 PURPOSE OF TEST: **request**

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	30		
GPM:	817	0	0
TOTAL FLOW DURING TEST:	817 GPM		
STATIC READING:	72 PSI	RESIDUAL:	44 PSI
RESULTS: AT 20 PSI RESIDUAL	1141 GPM		AT 0 PSI 1360 GPM
ESTIMATED CONSUMPTION:	1634 GAL.		
REMARKS:			



CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 3, 2022

re: LG Transit Site Plan Concurrency Impact Analysis

The site is currently vacant. The proposed business will use City sewer and water, if available.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 710
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

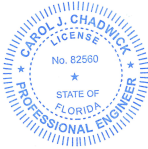
Summary of analyses:

- Trip generation: 21 ADT & 3 Peak PM trips
- Potable Water: 287 gallons per day
- Potable Water: 287 gallons per day
- Solid Waste: 287 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
 DN: c=US, o=Florida,
 dnQualifier=A01410D0000017EB6
 D924CE0005954C, cn=Carol
 Chadwick
 Date: 2022.12.05 11:07:14 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22181



**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	KSF	Total ADT	Total PM Peak
710	General Light Industrial	11.01	1.49	1.90	20.92	2.83

KSF

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	15.00	19.14	287.10

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (per 100 s.f. of floor space)

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	15.00	19.14	287.10

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier. (per 100 s.f. of floor space)

Solid Waste Analysis

Use	1 pound per 100 s.f. per day	S.F.	Total (Tons Per Year)
Office	1.00	1914	349

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 3, 2022

re: LG Transit Site Plan Comprehensive Plan Consistency Analysis

The LG Transit Site Plan is consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL I - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective I.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject property fronts N. Marion Avenue. The area is zoned commercial intensive.

- Policy I.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject property fronts N. Marion Avenue which is an arterial road.

- Policy I.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The corridor along N. Marion Avenue is zoned commercial intensive.

- Policy I.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: The site will be constructed immediately upon site plan approval.

- Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of

□

proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proposed use of the subject property is consistent with commercial properties and will not have any adverse environmental impacts on the existing land uses.

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

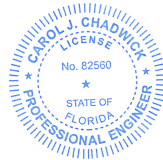
Consistency: No impacts to adjacent land topography or soil conditions will result from the construction of the site.

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed commercial development is compatible with other similar uses along N. Marion Avenue and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
DN: c=US, o=Florida,
dnQualifier=A01410D0000017EB6D
924CE0005954C, cn=Carol
Chadwick
Date: 2022.12.05 11:06:46 -05'00'

Carol Chadwick, P.E.

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 9/15/2022

Parcel: << **00-00-00-11228-000 (39656)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	LG TRANSIT LLC 795 NW JAKE GLN LAKE CITY, FL 32055		
Site	943 N MARION AVE, LAKE CITY		
Description*	NE DIV: W1/2 OF LOT 18 CATHEYS SURVEY. 448-715, 630-202, WD 935-177, WD 1453-619,		
Area	0.482 AC	S/T/R	29-3S-17
Use Code**	VACANT (0000)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$10,500	Mkt Land	\$10,500
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$10,500	Just	\$10,500
Class	\$0	Class	\$0
Appraised	\$10,500	Appraised	\$10,500
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$10,500	Assessed	\$10,500
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$10,500 city:\$10,500 other:\$0 school:\$10,500	Total Taxable	county:\$10,500 city:\$10,500 other:\$0 school:\$10,500



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
11/19/2021	\$50,000	1453/0619	WD	V	Q	01
9/11/2001	\$16,000	0935/0177	WD	V	Q	99

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	21,000.000 SF (0.482 AC)	1.0000/1.0000 1.0000/ /	\$1 /SF	\$10,500

Prepared by and return to:

Rob Stewart
Lake City Title
426 SW Commerce Drive, Ste 145
Lake City, FL 32025
(386) 758-1880
File No 2021-5430VB

Parcel Identification No 00-00-00-11228-000

[Space Above This Line For Recording Data]

WARRANTY DEED

(STATUTORY FORM – SECTION 689.02, F.S.)

This indenture made the 19th day of November, 2021 between Nathan Brown and Deborah B.

Brown, Husband and Wife, whose post office address is **3076 Wallace Lake Road, Pace, FL 32571**, of the County of , State of Florida, Grantors, to **LG Transit LLC, a Florida Limited Liability Company**, whose post office address is **795 NW Jake Glen, Lake City, FL 32055**, of the County of Columbia, State of Florida, Grantee:

Witnesseth, that said Grantors, for and in consideration of the sum of TEN DOLLARS (U.S.\$10.00) and other good and valuable considerations to said Grantors in hand paid by said Grantee, the receipt whereof is hereby acknowledged, has granted, bargained, and sold to the said Grantee, and Grantee's heirs and assigns forever, the following described land, situate, lying and being in Columbia, Florida, to-wit:

W 1/2 of Lot or Block No. 18 in the Northeastern Division of City of Lake City, Florida in the Cathey Addition, situated in SE 1/4 of NW 1/4 of Section 29, Township 3 South, Range 17 East, bounded on the West by North Marion Street in Columbia County, Florida.

Together with all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

Subject to taxes for 2021 and subsequent years, not yet due and payable; covenants, restrictions, easements, reservations and limitations of record, if any.

TO HAVE AND TO HOLD the same in fee simple forever.

And Grantors hereby covenant with the Grantee that the Grantors are lawfully seized of said land in fee simple, that Grantors have good right and lawful authority to sell and convey said land and that the Grantors hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

In Witness Whereof, Grantors have hereunto set Grantors' hand and seal the day and year first above written.

Signed, sealed and delivered
in our presence:

Valarie Benz
WITNESS
PRINT NAME: Valarie Benz

Nathan Brown
Nathan Brown

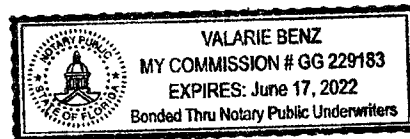
Kelly L Pearce
WITNESS
PRINT NAME: Kelly L Pearce

Deborah B. Brown
Deborah B. Brown

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization this 9th day of November, 2021, Nathan Brown and Deborah B. Brown, who is/are personally known to me or has/have produced Drivers License as identification.

Valarie Benz
Signature of Notary Public





[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
LG TRANSIT LLC

Filing Information

Document Number	L11000087540
FEI/EIN Number	90-0653552
Date Filed	07/29/2011
Effective Date	07/25/2011
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	11/30/2017

Principal Address

795 NW JAKE GLN
LAKE CITY, FL 32055

Mailing Address

795 NW JAKE GLN
LAKE CITY, FL 32055

Changed: 03/26/2015

Registered Agent Name & Address

GRAHAM, LARRY
795 NW JAKE GLN
LAKE CITY, FL 32055

Name Changed: 11/30/2017

Authorized Person(s) Detail

Name & Address

Title MGRM

GRAHAM, LARRY
795 NW JAKE GLN
LAKE CITY, FL 32055

Title MGRM

GRAHAM, TINA
795 NW JAKE GLN
LAKE CITY, FL 32055

Annual Reports

Report Year	Filed Date
2020	06/04/2020
2021	04/30/2021
2022	03/30/2022

Document Images

03/30/2022 -- ANNUAL REPORT	View image in PDF format
04/30/2021 -- ANNUAL REPORT	View image in PDF format
06/04/2020 -- ANNUAL REPORT	View image in PDF format
09/13/2019 -- ANNUAL REPORT	View image in PDF format
03/26/2018 -- ANNUAL REPORT	View image in PDF format
11/30/2017 -- REINSTATEMENT	View image in PDF format
09/20/2016 -- ANNUAL REPORT	View image in PDF format
03/26/2015 -- ANNUAL REPORT	View image in PDF format
03/11/2014 -- ANNUAL REPORT	View image in PDF format
04/28/2013 -- ANNUAL REPORT	View image in PDF format
01/24/2012 -- ANNUAL REPORT	View image in PDF format
07/29/2011 -- Florida Limited Liability	View image in PDF format

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Site Plan
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: Larry Graham

Applicant/Owner's Title: CEO

On Behalf of: LG Transit, LLC
(Company Name, if applicable)

Telephone: 386-623-1270 Date: 09/20/2022

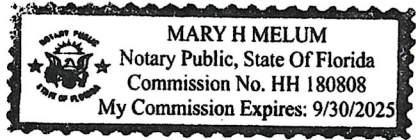
Applicant/Owner's Signature: [Handwritten Signature]

Print Name: Larry Graham

STATE OF FLORIDA
COUNTY OF Columbia

The Foregoing instrument was acknowledged before me this 20th day of September, 20 22 by Larry Graham whom is personally known by me OR produced identification . Type of Identification Produced FL DL - G.650-520-53-330-0

[Handwritten Signature]
(Notary Signature) [Handwritten Signature] (SEAL)



Columbia County Tax Collector

generated on 12/3/2022 10:49:55 AM EST

Tax Record

Last Update: 12/3/2022 10:49:27 AM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R11228-000	REAL ESTATE	2022
Mailing Address LG TRANSIT LLC 795 NW JAKE GLN LAKE CITY FL 32055		Property Address 943 MARION LAKE CITY GEO Number 000000-11228-000

Exempt Amount	Taxable Value
See Below	See Below
Exemption Detail NO EXEMPTIONS	Millage Code 001
Escrow Code	
Legal Description (click for full description) 00-00-00 0000/0000.48 Acres NE DIV: W1/2 OF LOT 18 CATHEYS SURVEY. 448-715, 630-202, WD 935-177, WD 1453-619,	

Ad Valorem Taxes

Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	10,500	0	\$10,500	\$51.45
BOARD OF COUNTY COMMISSIONERS	7.8150	10,500	0	\$10,500	\$82.06
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	10,500	0	\$10,500	\$7.85
LOCAL	3.2990	10,500	0	\$10,500	\$34.64
CAPITAL OUTLAY	1.5000	10,500	0	\$10,500	\$15.75
SUWANNEE RIVER WATER MGT DIST	0.3368	10,500	0	\$10,500	\$3.54
LAKE SHORE HOSPITAL AUTHORITY	0.0001	10,500	0	\$10,500	\$0.00
Total Millage	18.5989				
		Total Taxes			\$195.29

Non-Ad Valorem Assessments

Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	\$50.40
Total Assessments		\$50.40
Taxes & Assessments		\$245.69
If Paid By	Amount Due	\$0.00

Date Paid	Transaction	Receipt	Item	Amount Paid
11/15/2022	PAYMENT	2500912.0001	2022	\$235.86

[Prior Years Payment History](#)

Prior Year Taxes Due

NO DELINQUENT TAXES

PARCEL NUMBER: 00-00-00-11228-000

DESCRIPTION:

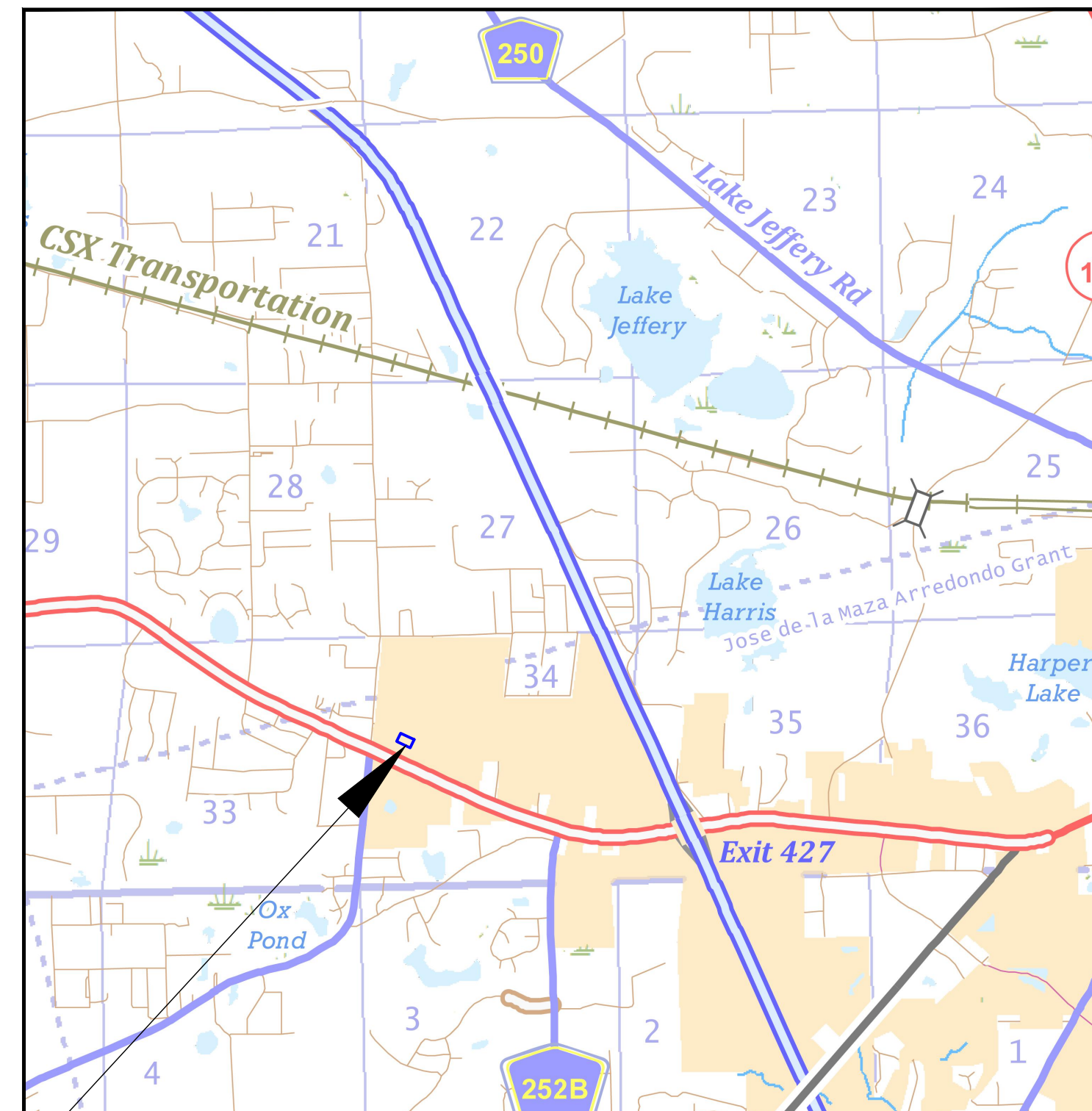
THE WEST 1/2 OF LOT 18 OF CATHEY'S SURVEY AS PER PLAT THEREOF RECORDED IN THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA. SUBJECT TO EXISTING RIGHT-OF-WAY AS PER DEPARTMENT OF TRANSPORTATION MAP # 29070-2510 SHEET 2

File Attachments for Item:

iv. SPR23-01, Petition submitted by Brian Pittman (agent) for David Terrell (owner), for a Site Plan Review for Terrell Medical Office, in the Residential Office Zoning District, and located on **Parcel 02461-512**, which is regulated by the Land Development Regulations section 4.10

TERRELL MEDICAL OFFICE

4289 NW AMERICAN LANE
LAKE CITY, FLORIDA



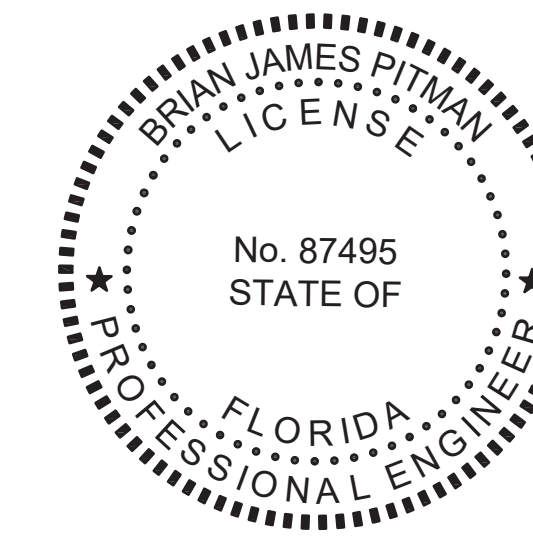
PROJECT LOCATION

REVISIONS

#	REVISION DESCRIPTION	DATE

PLANS PREPARED FOR:
DAVID CHARLES TERRELL JR.

NOT FOR CONSTRUCTION



THIS DOCUMENT HAS BEEN DIGITALLY SIGNED AND SEALED BY:

ON THE DATE ADJACENT TO THE SEAL

PRINTED COPIES OF THIS DOCUMENT ARE NOT CONSIDERED SIGNED AND SEALED. THE SIGNATURE MUST BE VERIFIED IN THE ELECTRONIC DOCUMENTS.

PITMAN ENGINEERING, LLC
405 E DUVAL ST
LAKE CITY, FL 32055
DBPR REGISTRY # 35013
BRIAN JAMES PITMAN, P.E. NO. 87495

THE ABOVE NAMED PROFESSIONAL ENGINEER SHALL BE RESPONSIBLE FOR THE FOLLOWING SHEETS IN ACCORDANCE WITH RULE 61G15-23.004, F.A.C.

SHEET INDEX

KEY SHEET	C-1
NOTES	C-2
DEMOLITION PLAN	C-3
SITE PLAN	C-4
GRADING PLAN	C-5
STORMWATER PLAN	C-6
UTILITY PLAN	C-7
LANDSCAPE PLAN	C-8
EROSION CONTROL PLAN	C-9
MISC. DETAILS	C-10 - C-11

ATTACHMENTS

SURVEY	V-1
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ENGINEER OF RECORD:
BRIAN JAMES PITMAN, P.E.
PE LICENSE NUMBER: 87495
BPITMAN@PITMANENGINEERING.COM
(386) 965-5919

FIRM NAME AND CONTACT INFORMATION:
PITMAN ENGINEERING
405 E DUVAL ST
LAKE CITY, FL 32055
(386) 965-5919
PITMANENGINEERING.COM
DBPR REGISTRY #: 35013

PROJECT NAME AND SITE ADDRESS
TERRELL MEDICAL OFFICE
4289 NW AMERICAN LANE
LAKE CITY, FLORIDA

SHEET NAME:
KEY SHEET
DATE:
10/2022
PROJECT NUMBER:
22-467ER
SHEET #
C-1

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

GENERAL

1. THIS PROJECT IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE F.D.O.T. STANDARD SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION) AND THE F.D.O.T. STANDARD PLANS FOR ROAD AND BRIDGE CONSTRUCTION (CURRENT EDITION), AND CITY OF LAKE CITY LAND DEVELOPMENT STANDARDS/CODES UNLESS OTHERWISE NOTED.
2. CONTRACTOR MUST GET PRIOR APPROVAL, FROM ENGINEER AND/OR OWNER, BEFORE STARTING WORK THAT WILL BE PAID FOR VIA CHANGE ORDER OR PRIOR TO USE OF ALTERNATIVE MATERIALS.
3. THE CONTRACTOR SHALL COMPLY WITH ALL CONDITIONS AS SET FORTH BY THE ISSUED FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION 10/2 SELF-CERTIFICATION, EXISTING FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DRINKING WATER FACILITY PERMIT, AND EXISTING FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION DOMESTIC WASTEWATER COLLECTION/TRANSMISSION SYSTEM PERMIT.
4. THE CONTRACTOR SHALL MAINTAIN THE CONSTRUCTION SITE IN A SECURE MANNER. ALL OPEN TRENCHES AND EXCAVATED AREAS SHALL BE PROTECTED FROM ACCESS BY THE GENERAL PUBLIC.
5. CONTRACTOR SHALL COORDINATE ALL WORK WITH OTHER CONTRACTORS WITHIN PROJECT AREA.

PRIOR TO START OF CONSTRUCTION

1. THE CONTRACTOR SHALL SUBMIT A NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM NOTICE OF INTENT ALONG WITH SUPPORTING DOCUMENTATION TO THE FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMIT FEES.
2. THE CONTRACTOR SHALL NOTIFY THE COUNTY AT LEAST 48 HOURS PRIOR TO BEGINNING OF CONSTRUCTION.
3. THE CONTRACTOR SHALL SUBMIT A NOTICE OF CONSTRUCTION COMMENCEMENT TO THE WATER MANAGEMENT DISTRICT AT LEAST 48 HOURS PRIOR TO THE BEGINNING OF CONSTRUCTION.
4. THE CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS ON THE PROJECT SITE TO ENSURE THAT ALL PROPOSED WORK WILL FIT AS PLANS INTENT. IF DISCREPANCIES ARE FOUND, THE CONTRACTOR SHALL STOP WORK AND NOTIFY THE ENGINEER OF SUCH DIFFERENCES IMMEDIATELY. THE CONTRACTOR, ENGINEER, AND OWNER SHALL WORK TO RESOLVE THE ISSUE AS QUICKLY AND ECONOMICALLY AS POSSIBLE.
5. THE LOCATION OF THE UTILITIES SHOWN IN THE PLANS ARE APPROXIMATE ONLY. THE EXACT LOCATION SHALL BE DETERMINED BY THE CONTRACTOR DURING CONSTRUCTION. CONTRACTOR SHALL PROTECT ALL UTILITIES WITHIN THE PROJECT AREAS.
6. THE CONTRACTOR SHALL IMPLEMENT ALL COMPONENTS OF THE EROSION AND SEDIMENTATION CONTROL PLAN PRIOR TO ANY EARTH DISTURBING ACTIVITIES. ALL COMPONENTS SHALL BE MAINTAINED BY THE CONTRACTOR UNTIL ALL VEGETATION IS ESTABLISHED, THE ENTIRE PROJECT AREA IS STABILIZED AND THE OWNER HAS ACCEPTED OPERATION AND MAINTENANCE.

SURVEY/EXISTING CONDITIONS NOTES

1. BOUNDARY INFORMATION SHOWN WAS OBTAINED FROM A BOUNDARY SURVEY PREPARED BY PITMAN ENGINEERING LLC, FLORIDA CERTIFICATE NO. LB 8494.
2. ANY PUBLIC LAND CORNER WITHIN THE LIMITS OF CONSTRUCTION SHALL BE PROTECTED. IF A CORNER MONUMENT IS IN DANGER OF BEING DESTROYED AND HAS NOT BEEN PROPERLY REFERENCED, THE CONTRACTOR SHOULD NOTIFY THE ENGINEER.
3. THE SITE IS LOCATED IN SECTION 34, TOWNSHIP 3 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA.

DURING CONSTRUCTION

1. ALL DISTURBED AREAS NOT SODDED SHALL BE SEEDED WITH A MIXTURE OF LONG-TERM VEGETATION AND QUICK GROWING SHORT-TERM VEGETATION FOR THE FOLLOWING CONDITIONS. FOR THE MONTHS FROM SEPTEMBER THROUGH MARCH, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF WINTER RYE. FOR THE MONTHS OF APRIL THROUGH AUGUST, THE MIX SHALL CONSIST OF 70 POUNDS PER ACRE OF LONG-TERM SEED AND 20 POUNDS PER ACRE OF MILLET.
2. IF UNSUITABLE MATERIAL IS ENCOUNTERED DURING GRADING, CONTRACTOR SHALL REMOVE UNSUITABLE MATERIAL TO A DEPTH OF 24" BELOW FINISHED GRADE WITHIN THE CONSTRUCTION LIMITS.
3. THE CONTRACTOR SHALL WASTE ALL EXCESS EARTH ON SITE AS DIRECTED BY THE OWNER. ENGINEER SHALL APPROVE WASTE LOCATION TO ENSURE LOCATION DOES NOT CHANGE OR IMPEDE STORMWATER CONVEYANCE AS INTENDED BY THE GRADING PLAN.

STORMWATER CONSTRUCTION

1. THE STORMWATER BASIN IS DESIGNED IN ACCORDANCE WITH 62-330 F.A.C. AND SRWMD APPLICANT HANDBOOK VOLUMES I & II.
2. ALL SLOPES OF THE STORMWATER BASIN SHALL BE GRASSED. ALL SLOPES STEEPER THAN 3:1 SHALL BE STAPLED SOD.

3. IF DURING CONSTRUCTION OR OPERATION OF THE STORM WATER MANAGEMENT SYSTEM, A STRUCTURAL FAILURE IS OBSERVED THAT HAS THE POTENTIAL TO CAUSE THE DIRECT DISCHARGE OF SURFACE WATER INTO THE FLORIDAN AQUIFER SYSTEM, CORRECTIVE ACTIONS DESIGNED OR APPROVED BY A REGISTERED PROFESSIONAL SHALL BE TAKEN AS SOON AS PRACTICAL TO CORRECT THE FAILURE. A REPORT PREPARED BY A REGISTERED PROFESSIONAL MUST BE PROVIDED AS SOON AS PRACTICAL TO THE DEPARTMENT FOR REVIEW AND APPROVAL THAT PROVIDES REASONABLE ASSURANCE THAT THE BREACH WILL BE PERMANENTLY CORRECTED.

EROSION CONTROL PLAN & NOTES

1. THIS EROSION AND SEDIMENTATION CONTROL PLAN COMPLIES WITH THE REQUIREMENTS OF THE "FLORIDA DEVELOPMENT MANUAL" AND THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
2. THE CONTRACTOR SHALL ADHERE TO CITY OF LAKE CITY, SRWMD, AND OTHER GOVERNING AUTHORITIES FOR EROSION AND SEDIMENT CONTROL REGULATIONS. IF THE CONTRACTOR NEEDS TO CHANGE THIS PLAN TO MORE EFFECTIVELY CONTROL EROSION AND SEDIMENTATION, THE CONTRACTOR SHALL USE BMP'S FROM THE "FLORIDA EROSION AND SEDIMENT CONTROL INSPECTOR'S MANUAL".
3. THE CONTRACTOR SHALL ADJUST AND REVISE THIS PLAN TO MEET ACTUAL FIELD CONDITIONS. ANY REVISIONS SHALL BE APPROVED BY THE REVIEWING AGENCIES.
4. SEDIMENT AND EROSION CONTROL FACILITIES, STORM DRAINAGE FACILITIES AND DETENTION BASINS SHALL BE INSTALLED PRIOR TO ANY OTHER CONSTRUCTION.
5. EROSION CONTROL MEASURES SHALL BE INSPECTED WEEKLY AND AFTER EACH RAINFALL OF 0.5 INCHES OR GREATER, AND REPAIRED OR REPLACED AS NECESSARY.
6. SEDIMENT AND EROSION CONTROL MEASURES SHALL NOT BE REMOVED UNTIL ALL CONSTRUCTION IS COMPLETE AND UNTIL A PERMANENT GROUND COVER HAS BEEN ESTABLISHED.
7. ALL OPEN DRAINAGE SWALES SHALL BE GRASSED AND RIPRAP SHALL BE PLACED AS REQUIRED TO CONTROL EROSION.
8. SILT FENCES SHALL BE LOCATED ON SITE TO PREVENT SEDIMENT AND EROSION FROM LEAVING PROJECT LIMITS.
9. CONTRACTOR SHALL PLACE A DOUBLE ROW OF SILT FENCE IN AREAS WHERE RUNOFF FROM DISTURBED AREAS MAY ENTER WETLANDS.
10. DURING CONSTRUCTION AND AFTER CONSTRUCTION IS COMPLETE, ALL STRUCTURES SHALL BE CLEANED OF ALL DEBRIS AND EXCESS SEDIMENT.
11. ALL GRADED AREAS SHALL BE STABILIZED IMMEDIATELY WITH A TEMPORARY FAST-GROWING COVER AND/OR MULCH.
12. A PAD OF RUBBLE RIP RAP SHALL BE PLACED AT THE BOTTOM OF ALL COLLECTION FLUMES AND COLLECTION PIPE OUTLETS. GRANITE OR LIMESTONE RIPRAP IS REQUIRED, NO BROKEN CONCRETE WILL BE ACCEPTED.
13. ALL SIDE SLOPES STEEPER THAN 3:1 SHALL BE ADEQUATELY PROTECTED FROM EROSION THROUGH THE USE OF SYNTHETIC BALES OR SODDING.
14. ALL STABILIZATION PRACTICES SHALL BE INITIATED AS SOON AS PRACTICABLE IN AREAS OF THE JOB WHERE CONSTRUCTION ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY STOPPED, BUT IN NO CASE SHALL THE DISTURBED AREA BE LEFT UNPROTECTED FOR MORE THAN SEVEN DAYS.
15. ALL WASTE GENERATED ON THE PROJECT SHALL BE DISPOSED OF BY THE CONTRACTOR IN AREAS PROVIDED BY CONTRACTOR.
16. LOADED HAUL TRUCKS SHALL BE COVERED WITH TARP.
17. EXCESS DIRT SHALL BE REMOVED DAILY.
18. THIS PROJECT SHALL COMPLY WITH ALL WATER QUALITY STANDARDS. PERMIT REQUIRED FROM SRWMD HAS BEEN OBTAINED.
19. QUALIFIED PERSONNEL SHALL INSPECT THE AREA USED FOR STORAGE OF STOCKPILES, THE SILT FENCE AND STRAW BALES, THE LOCATION WHERE VEHICLES ENTER OR EXIT THE SITE, AND THE DISTURBED AREAS THAT HAVE NOT BEEN FINALLY STABILIZED, AT LEAST ONCE EVERY SEVEN CALENDAR DAYS AND WITHIN 24 HOURS OF THE END OF A STORM OF 0.5 INCHES OR GREATER.
20. SITES THAT HAVE BEEN FINALLY STABILIZED WITH SOD OR GRASSING SHALL BE INSPECTED AT LEAST ONCE EVERY WEEK.

POST-CONSTRUCTION

1. CONTRACTOR SHALL PROVIDE AN AS-BUILT SURVEY MEETING THE REQUIREMENTS OF CHAPTER 61G17 F.A.C. FOR THE STORMWATER MANAGEMENT SYSTEMS. INCLUDE HORIZONTAL AND VERTICAL DIMENSIONAL DATA SO THAT IMPROVEMENTS ARE LOCATED AND DELINEATED RELATIVE TO THE BOUNDARY. PROVIDE SUFFICIENT DETAILED DATA TO DETERMINE WHETHER THE IMPROVEMENTS WERE CONSTRUCTED IN ACCORDANCE WITH THE PLANS. A COPY OF THE AS-BUILT SURVEY (IN PAPER AND DIGITAL AUTOCAD FORMAT) MUST BE SUBMITTED TO THE CITY OF LAKE CITY, FLORIDA (DEPARTMENT OF GROWTH MANAGEMENT) AND THE ENGINEER.

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BRIAN JAMES PITMAN, P.E.
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 BPITMAN@PITMANENGINEERING.COM
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 (386) 965-5919
 PITMANENGINEERING.COM
 DBPR REGISTRY #: 3803

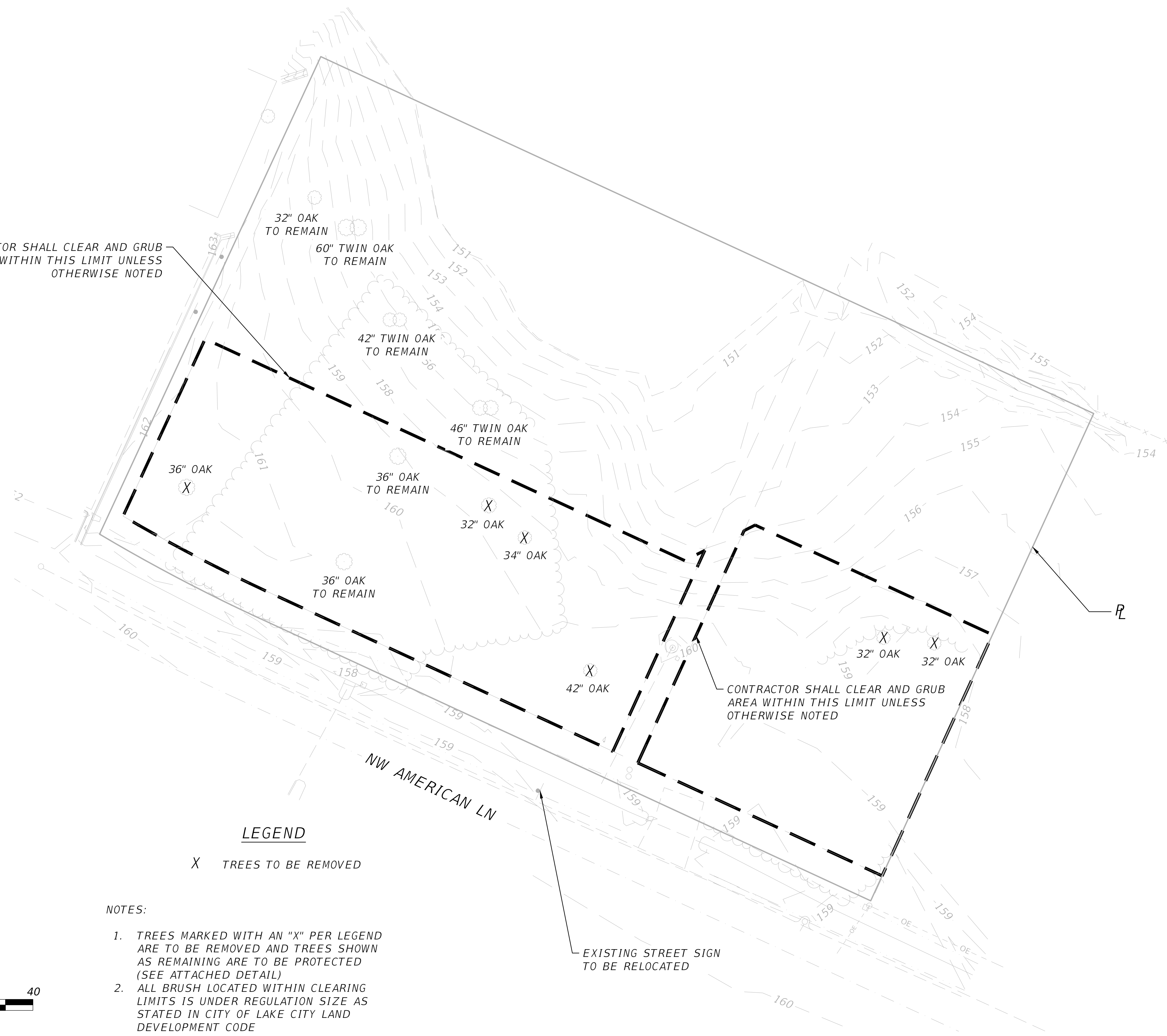
PROJECT NAME AND SITE ADDRESS:
TERRELL MEDICAL OFFICE
 4289 NW AMERICAN LANE
 LAKE CITY, FLORIDA

SHEET NAME:
NOTES
 DATE:
 10/2022
 PROJECT NUMBER:
 22-467ER

C-2

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

CONTRACTOR SHALL CLEAR AND GRUB AREA WITHIN THIS LIMIT UNLESS OTHERWISE NOTED



CONTRACTOR SHALL CLEAR AND GRUB AREA WITHIN THIS LIMIT UNLESS OTHERWISE NOTED

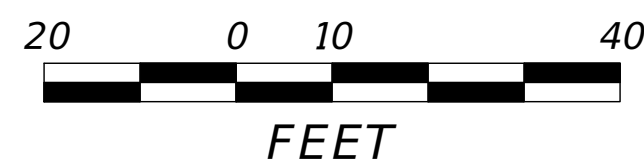
EXISTING STREET SIGN TO BE RELOCATED

LEGEND

X TREES TO BE REMOVED

NOTES:

1. TREES MARKED WITH AN "X" PER LEGEND ARE TO BE REMOVED AND TREES SHOWN AS REMAINING ARE TO BE PROTECTED (SEE ATTACHED DETAIL)
2. ALL BRUSH LOCATED WITHIN CLEARING LIMITS IS UNDER REGULATION SIZE AS STATED IN CITY OF LAKE CITY LAND DEVELOPMENT CODE
3. ALL UTILITIES SHALL BE PROTECTED UNLESS OTHERWISE NOTED



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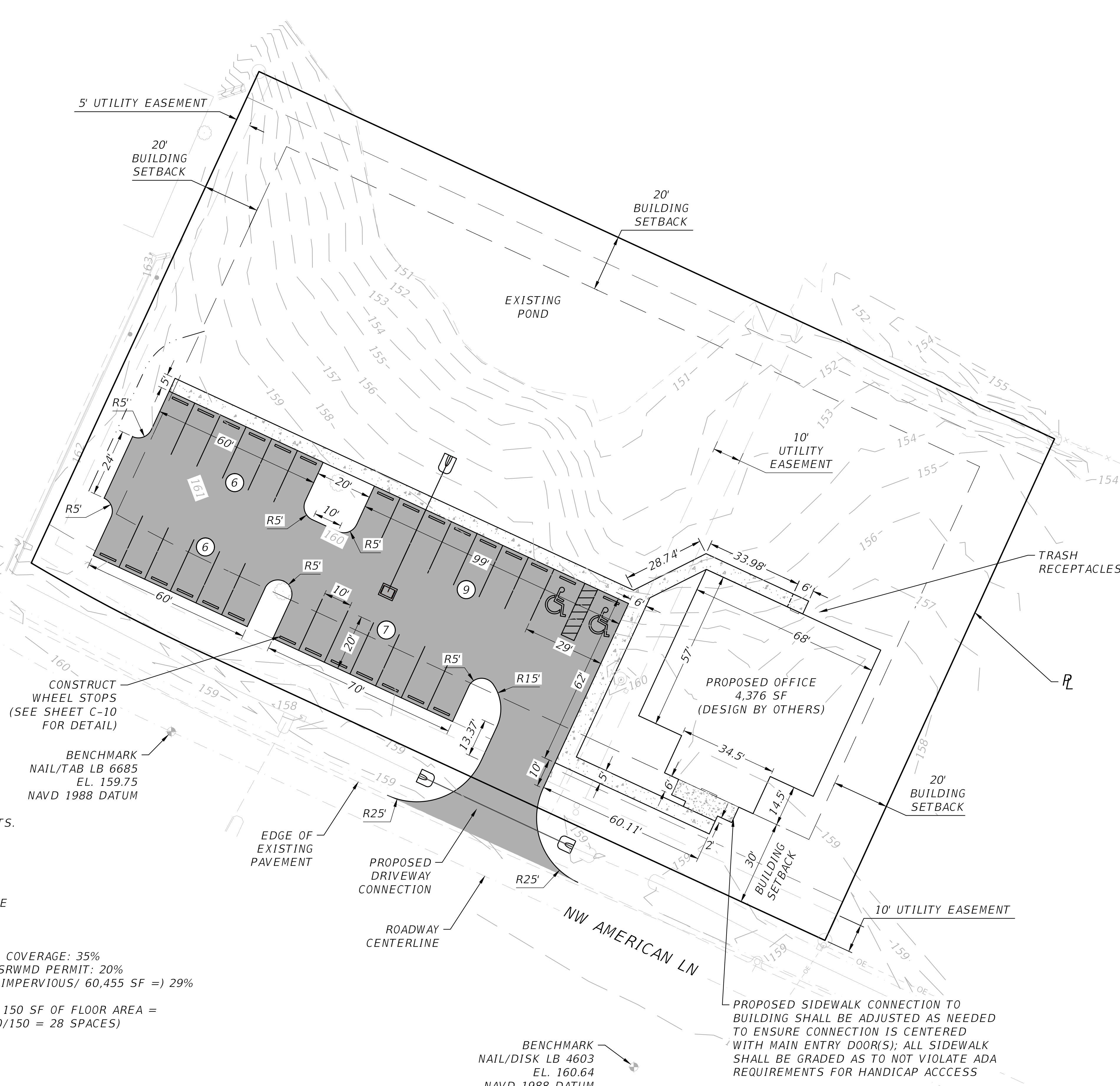
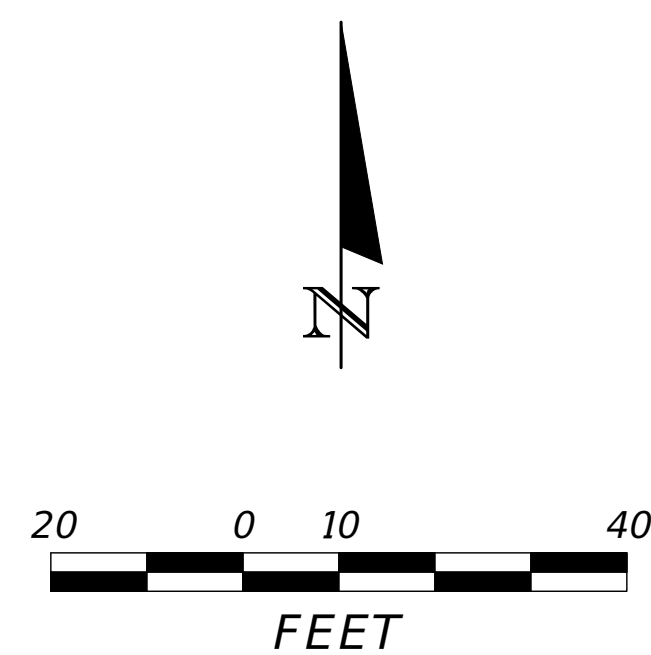
FIRM NAME AND CONTACT INFORMATION:
PITMAN ENGINEERING
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 BPITMAN@PITMANENGINEERING.COM
 DBPR REGISTRY #: 3013

PROJECT NAME AND SITE ADDRESS
TERRELL MEDICAL OFFICE
 4289 NW AMERICAN LANE
 LAKE CITY, FLORIDA

SHEET NAME
DEMOLITION PLAN
 DATE
 10/2022
 PROJECT NUMBER
 22-461ER

SHEET #
C-3

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CITY LDR's:

- NO WETLANDS WITHIN PROPERTY LIMITS.
- NO SIGNS PROPOSED.
- NO LIGHTING PROPOSED.
- CURRENT ZONING: RESIDENTIAL OFFICE
- TOTAL LOT SIZE: 5.02 AC
- CITY OF LAKE CITY LDR MAX BUILDING COVERAGE: 35%
- MAX IMPERVIOUS LOT COVERAGE PER SRWMD PERMIT: 20%
- PROPOSED LOT COVERAGE: (17,319 SF IMPERVIOUS/ 60,455 SF =) 29%
- PARKING REQUIREMENT: 1 SPACE PER 150 SF OF FLOOR AREA = 4200 SF W/O MECHANICAL ROOM (4,200/150 = 28 SPACES)
- PARKING SPACES PROVIDED: 28
- HANDICAP SPACES REQUIRED: 2
- HANDICAP SPACES PROVIDED: 2

CONSTRUCT WHEEL STOPS (SEE SHEET C-10 FOR DETAIL)

BENCHMARK
NAIL/TAB LB 6685
EL. 159.75
NAVD 1988 DATUM

EDGE OF EXISTING PAVEMENT

PROPOSED DRIVEWAY CONNECTION

ROADWAY CENTERLINE

BENCHMARK
NAIL/DISK LB 4603
EL. 160.64
NAVD 1988 DATUM

PROPOSED SIDEWALK CONNECTION TO BUILDING SHALL BE ADJUSTED AS NEEDED TO ENSURE CONNECTION IS CENTERED WITH MAIN ENTRY DOOR(S); ALL SIDEWALK SHALL BE GRADED AS TO NOT VIOLATE ADA REQUIREMENTS FOR HANDICAP ACCESS

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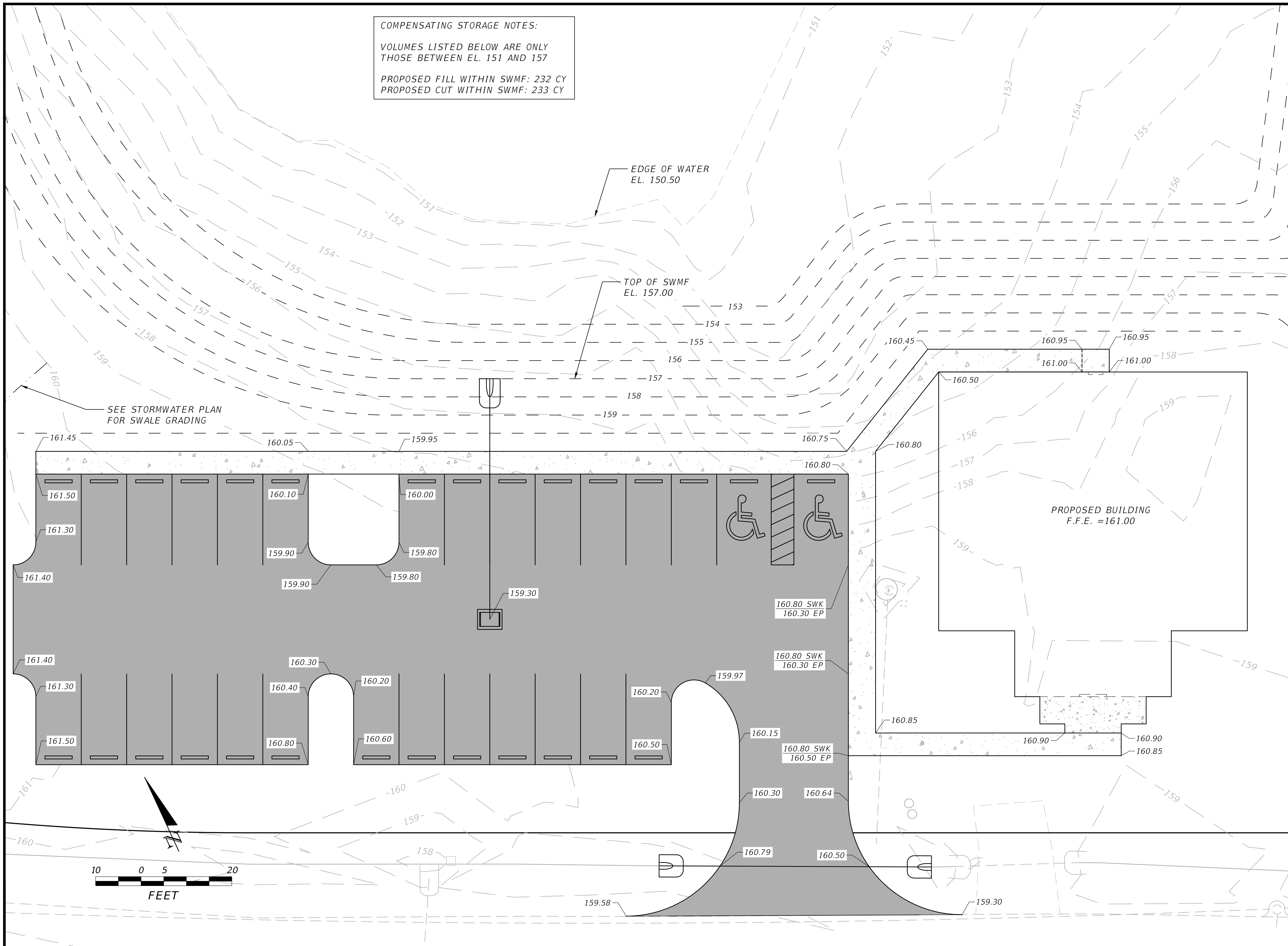
FIRM NAME AND CONTACT INFORMATION:
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LAKE CITY, FL 32955
(386) 965-5919
PITMANENGINEERING.COM
DPR REGISTRY #: 3013

PROJECT NAME AND SITE ADDRESS
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4289 NW AMERICAN LANE
LAKE CITY, FLORIDA

SHEET NAME
SITE PLAN
DATE
10/2022
PROJECT NUMBER
22-467ER
SHEET #
C-4

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COMPENSATING STORAGE NOTES:
 VOLUMES LISTED BELOW ARE ONLY THOSE BETWEEN EL. 151 AND 157
 PROPOSED FILL WITHIN SWMF: 232 CY
 PROPOSED CUT WITHIN SWMF: 233 CY



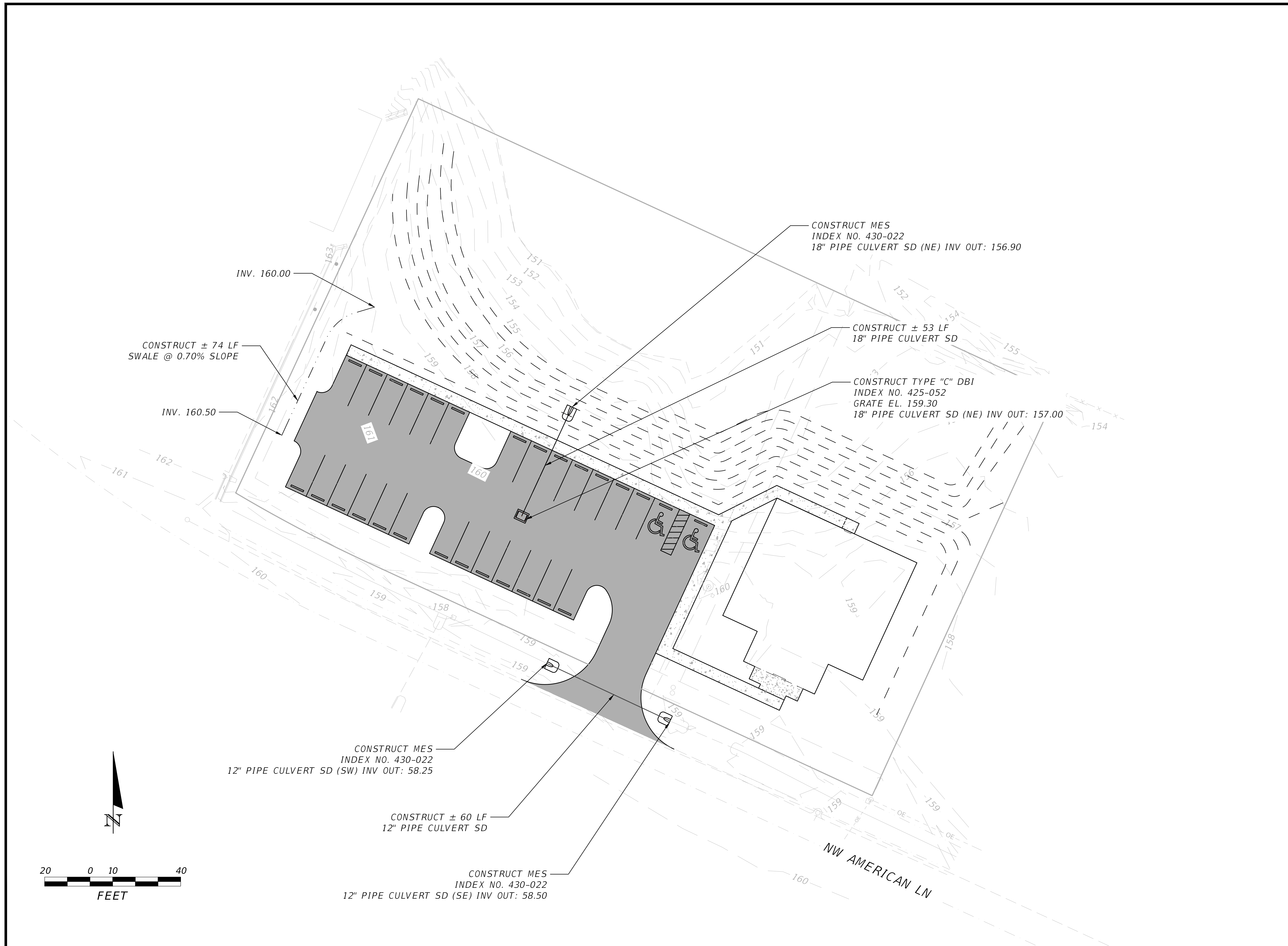
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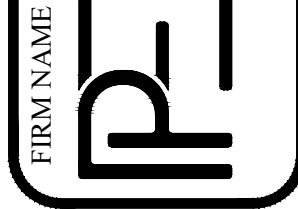
SHEET NAME
GRADING PLAN
 DATE: 10/2022
 PROJECT NUMBER: 22-467ER
 SHEET # C-5

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



SHEET NAME:
STORMWATER PLAN
 DATE:
 10/2022
 PROJECT NUMBER:
 22-467ER

PROJECT NAME AND SITE ADDRESS
TERRELL MEDICAL OFFICE
 4289 NW AMERICAN LANE
 LAKE CITY, FLORIDA

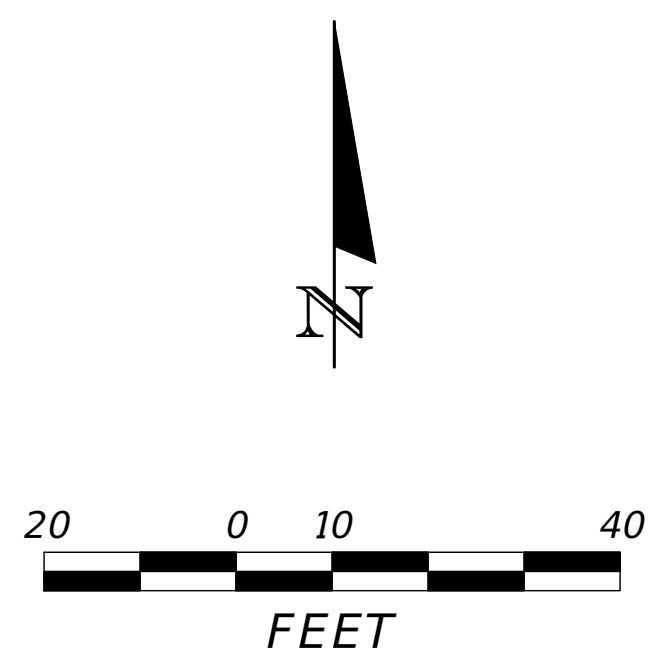
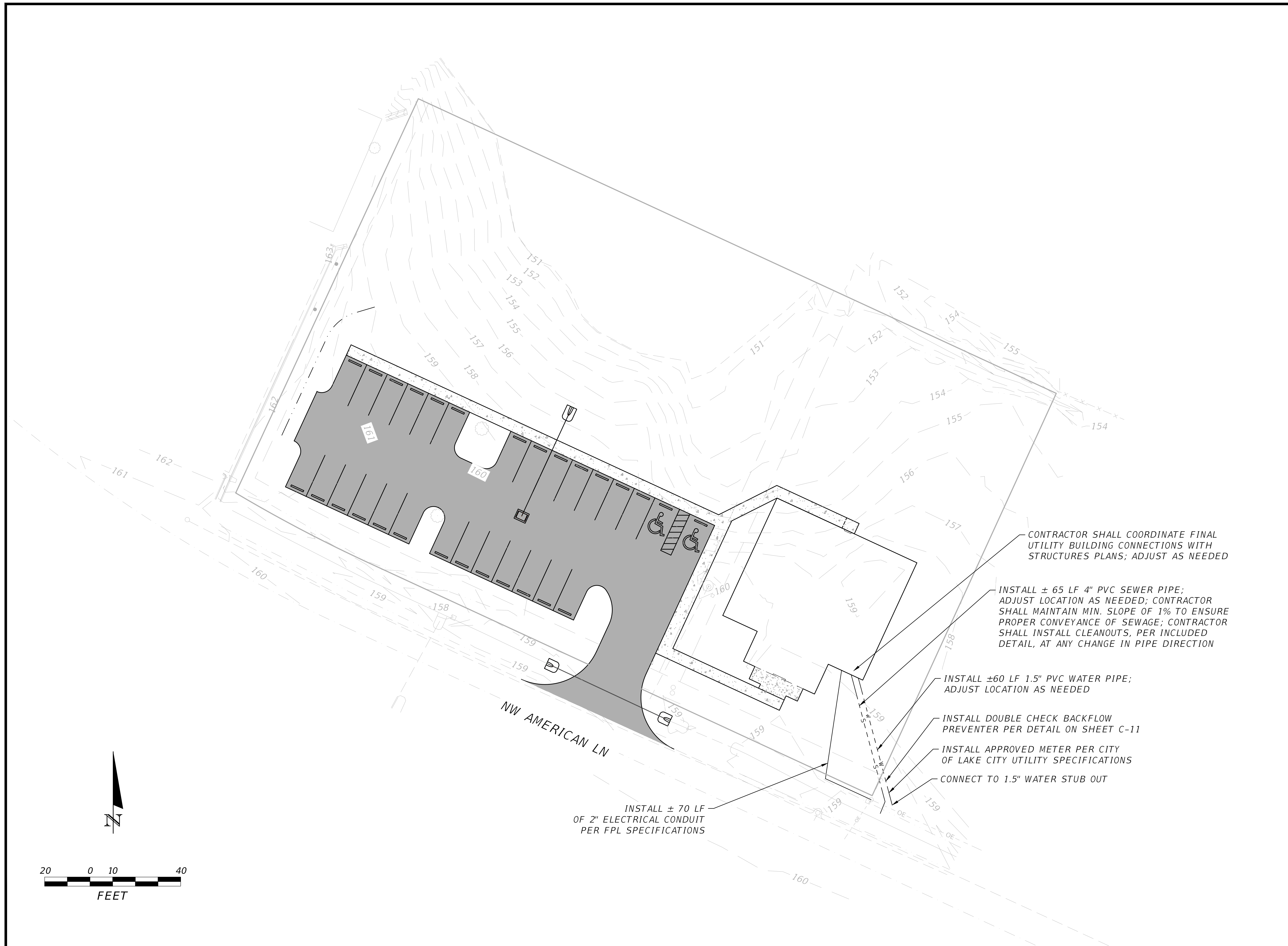


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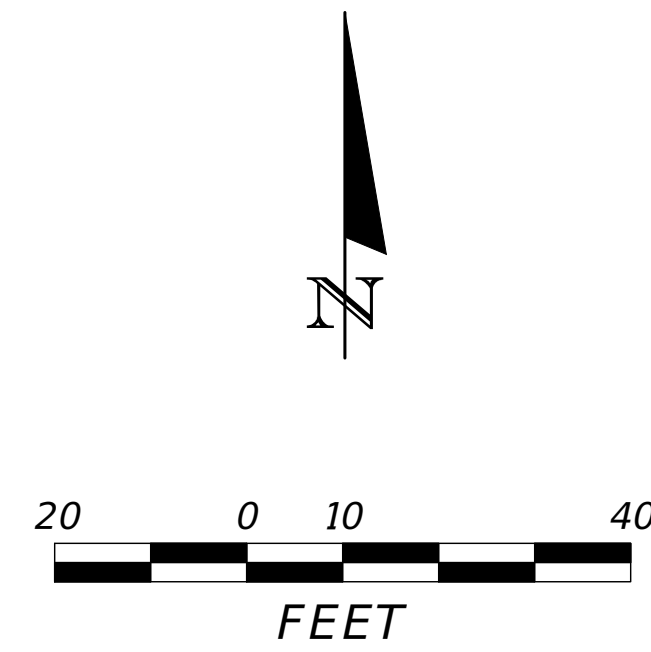
SHEET #
C-6

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SHEET NAME UTILITY PLAN	PROJECT NAME AND SITE ADDRESS TERRELL MEDICAL OFFICE 4289 NW AMERICAN LANE LAKE CITY, FLORIDA	SHEET # C-7
DATE 10/2022 DRAWING NUMBER 22-467ER	FIRM NAME AND CONTACT INFORMATION: PITMAN ENGINEERING 465 E DUVAL ST LAKE CITY, FL 32055 (386) 965-5919 WWW.PITMANENGINEERING.COM DPR REGISTRY #: 3013	ENGINEER OF RECORD: BRIAN JAMES PITMAN, P.E. PE LICENSE NUMBER: 87495 BPITMAN@PITMANENGINEERING.COM (386) 965-5919

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INSTALL TREE PER
LANDSCAPING NOTE 1

CONSTRUCT ± 317 SF
LANDSCAPE AREA
WITH TWO (2) TREES
PER LANDSCAPING NOTE 1

CONSTRUCT ± 389 SF
LANDSCAPE AREA
WITH ONE (1) TREE
PER LANDSCAPING NOTE 1

10' LANDSCAPE BUFFER

CONSTRUCT ± 189 SF
LANDSCAPE AREA
WITH ONE (1) TREE
PER LANDSCAPING NOTE 1

CONSTRUCT ± 241 SF
LANDSCAPE AREA
WITH ONE (1) TREE
PER LANDSCAPING NOTE 1

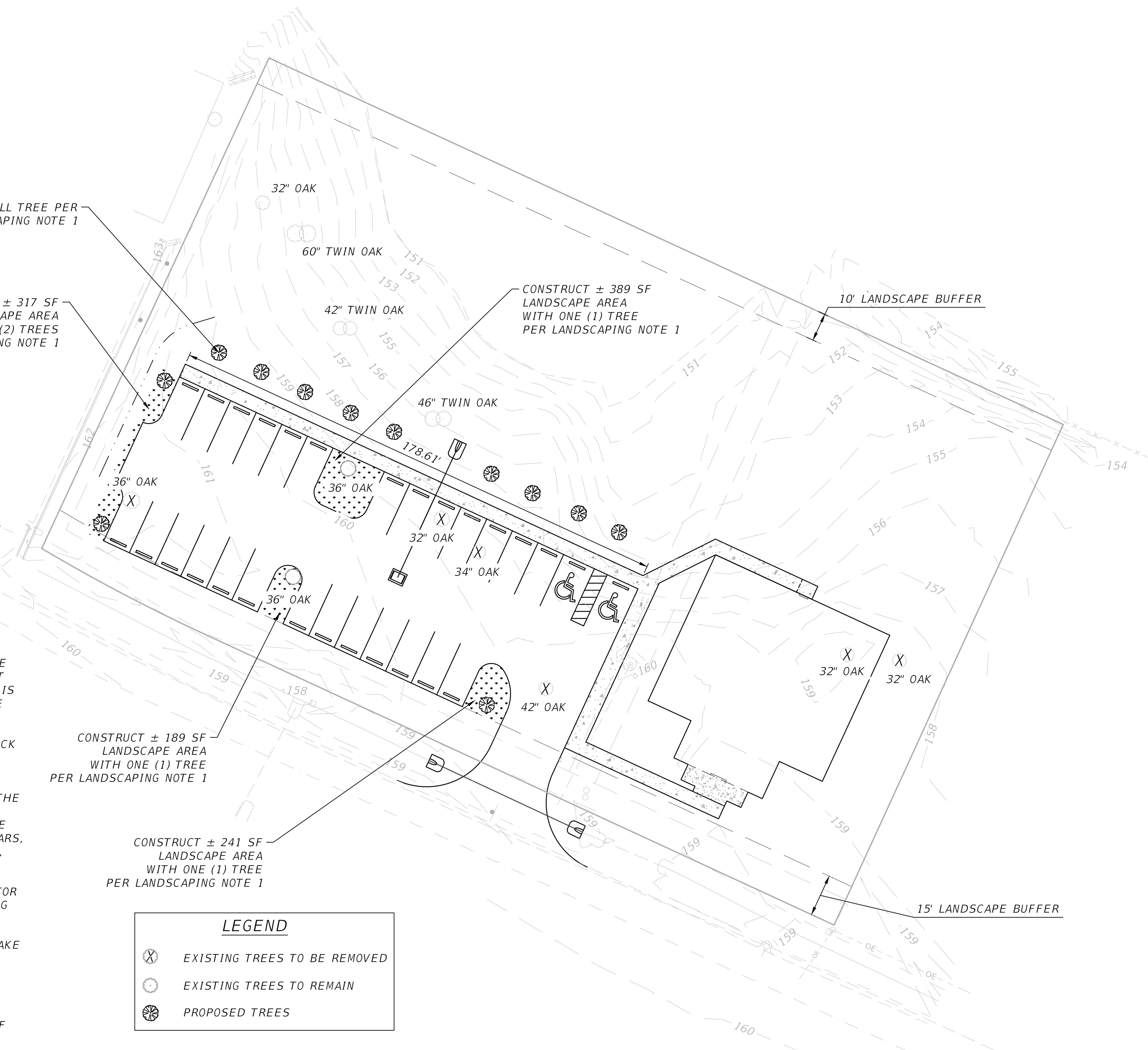
15' LANDSCAPE BUFFER

LANDSCAPING NOTES:

OFF-STREET PARKING AREA: 10,888 SF
 LANDSCAPING REQUIREMENT: (10,888 X 10%)= 1,088 SF
 LANDSCAPING PROVIDED: 1,136 SF
 LANDSCAPE TREE REQUIREMENTS: (1,088/200 = 5.44)= 6 TREES
 EXISTING TREES REMOVED: 6
 EXISTING TREES SAVED: 6
 PROPOSED TREES : 12
 TOTAL TREES: 18

- TREES SHALL BE A MINIMUM OF SIX INCHES IN CIRCUMFERENCE AS MEASURED AT A HEIGHT OF FOUR AND ONE-HALF FEET ABOVE GROUND LEVEL. TREES SHALL NOT BE PLANTED CLOSER THAN SIX (6) FEET TO ANY PUBLIC STREET OR OTHER PUBLIC WORKS, UNLESS THE TREE ROOT SYSTEM IS COMPLETELY CONTAINED WITHIN A BARRIER FOR WHICH THE MINIMUM INTERIOR DIMENSIONS SHALL BE FIVE (5) FEET SQUARE AND FIVE (5) FEET DEEP, AND FOR WHICH THE CONSTRUCTION REQUIREMENTS SHALL BE FOUR (4) INCH THICK CONCRETE REINFORCED WITH #6 ROAD MESH (6 X 6X 6) OR EQUIVALENT.
- PROPOSED TREE TYPE SHALL BE CHOSEN BY CLIENT FROM THE FOLLOWING CITY OF LAKE CITY'S APPROVED TREE LIST:
LIVE OAK, LAUREL OAK, SHUMARD OAK, MAGNOLIA, ALLEE ELM, DRAKE ELM, AMERICAN HOLLY OR SIMILAR CULTIVARS, SWEET GUM, RED MAPLE, FLORIDA MAPLE, WINGED ELM, GREEN ASH, FOSTER'S HOLLY OR SIMILAR CULTIVAR.
- CLIENT SHALL PROVIDE DESIRED SHRUB TYPE TO CONTRACTOR FOR INSTALLATION WITHIN DESIGNATED SHRUB LANDSCAPING AREA.
- LANDSCAPING SHOWN IS MINIMUM REQUIRED PER CITY OF LAKE CITY LAND DEVELOPMENT CODE. ADDITIONAL LANDSCAPING CAN BE ADDED AT THE CLIENT'S REQUEST. CLIENT SHALL COORDINATE ADDITIONALLY DESIRED LANDSCAPING WITH CONTRACTOR.
- PER CITY OF LAKE CITY LDR 4.10.7.4, A MINIMUM OF HALF OF THE REQUIRED FRONT YARD (30/2 = 15 FOOT) SHALL BE MAINTAINED AS A LANDSCAPE AREA.
- PER CITY OF LAKE CITY LDR 4.10.10.1 A MINIMUM 10 FOOT LANDSCAPE BUFFER ALONG THE REAR PROPERTY BOUNDARY SHALL BE MAINTAINED IN ACCORDANCE WITH THE CITY OF LAKE CITY LDR 4.2.11.

LEGEND	
	EXISTING TREES TO BE REMOVED
	EXISTING TREES TO REMAIN
	PROPOSED TREES



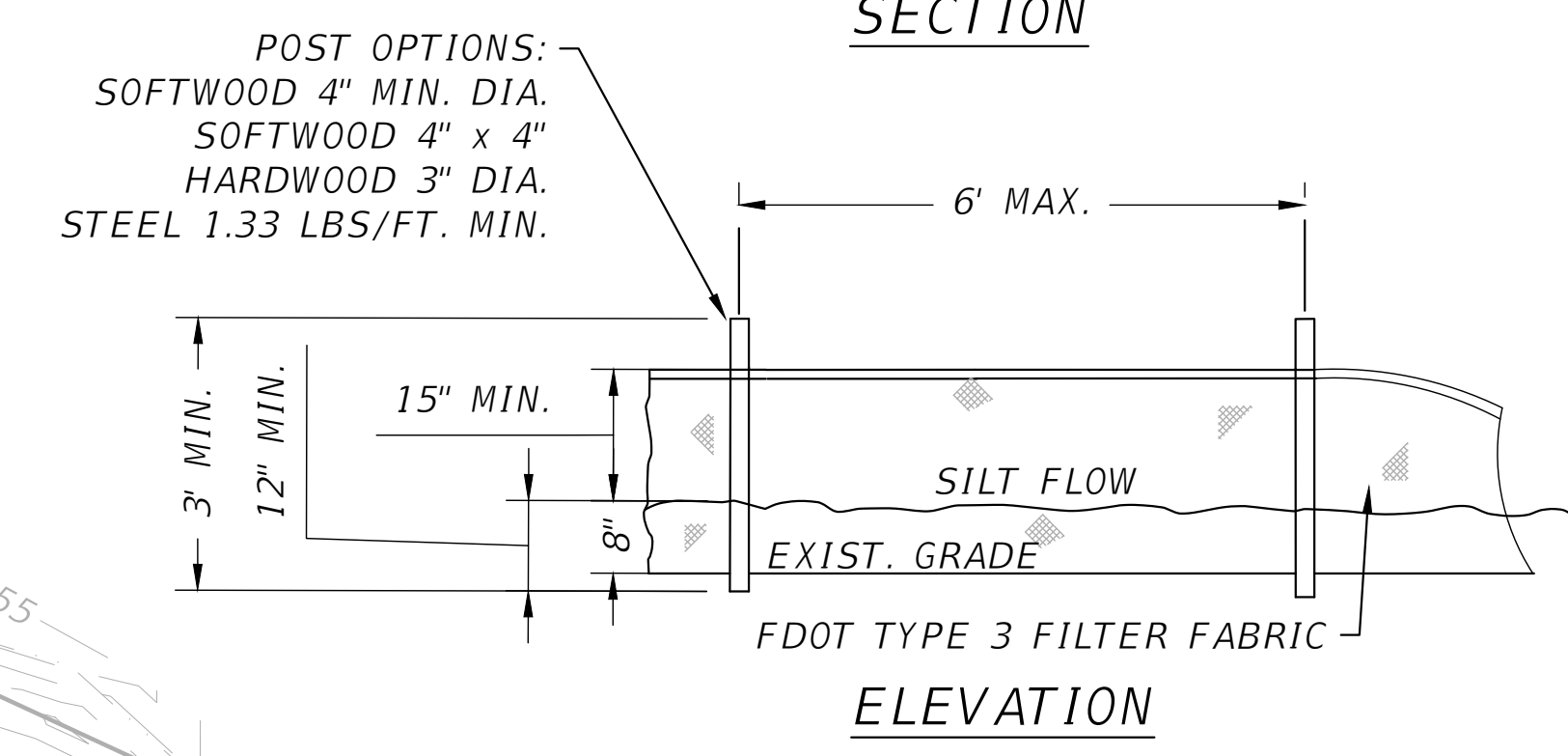
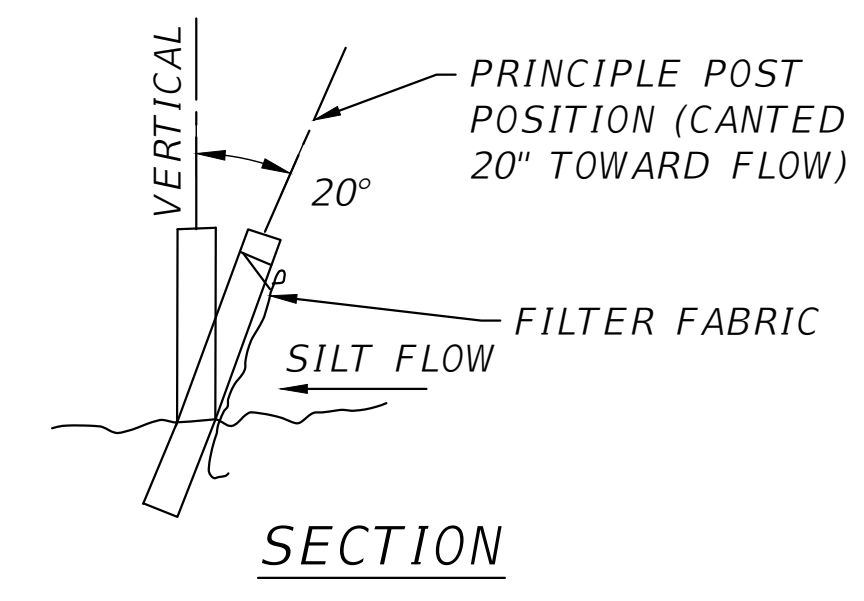
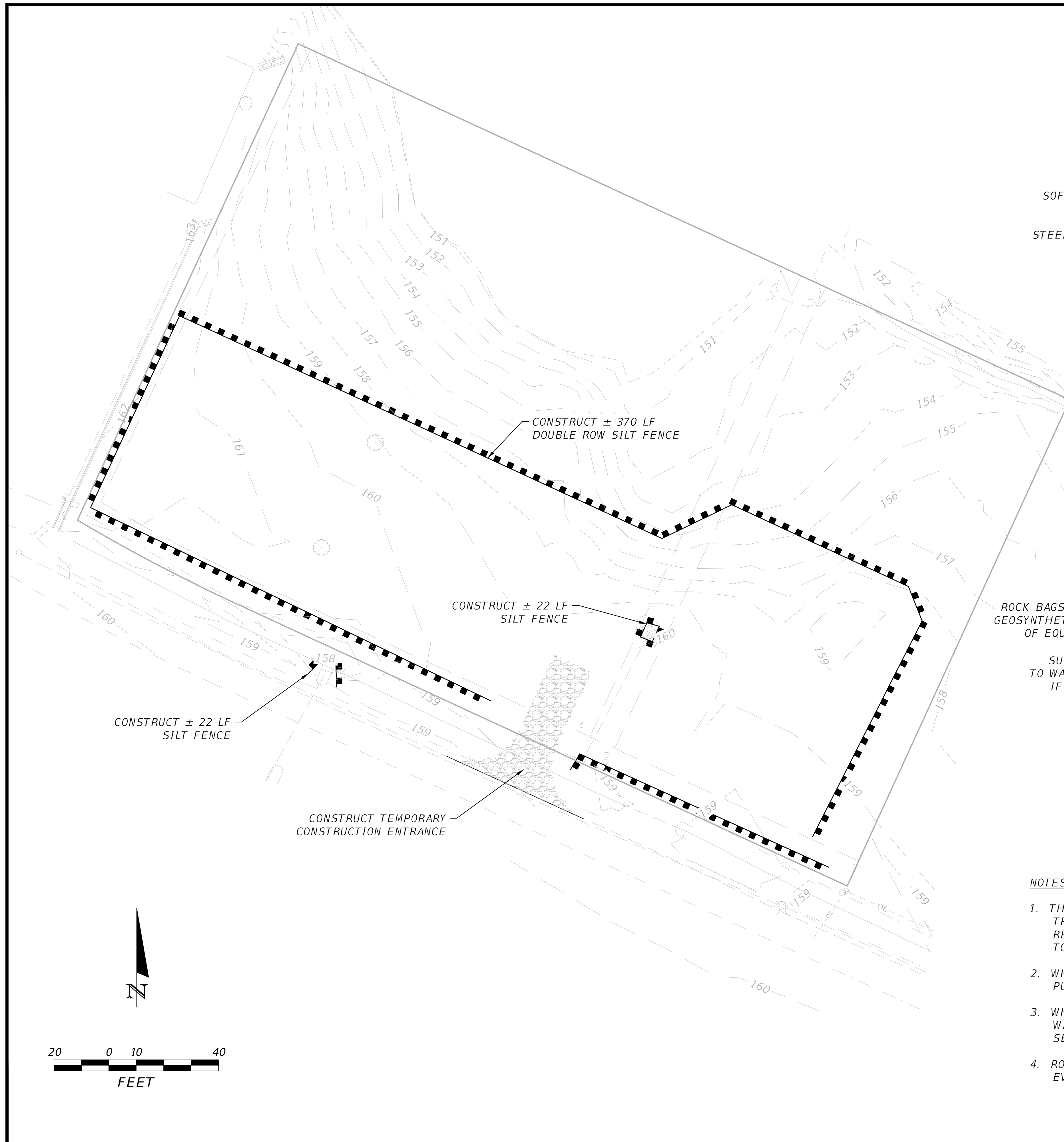
ENGINEER OF RECORD:
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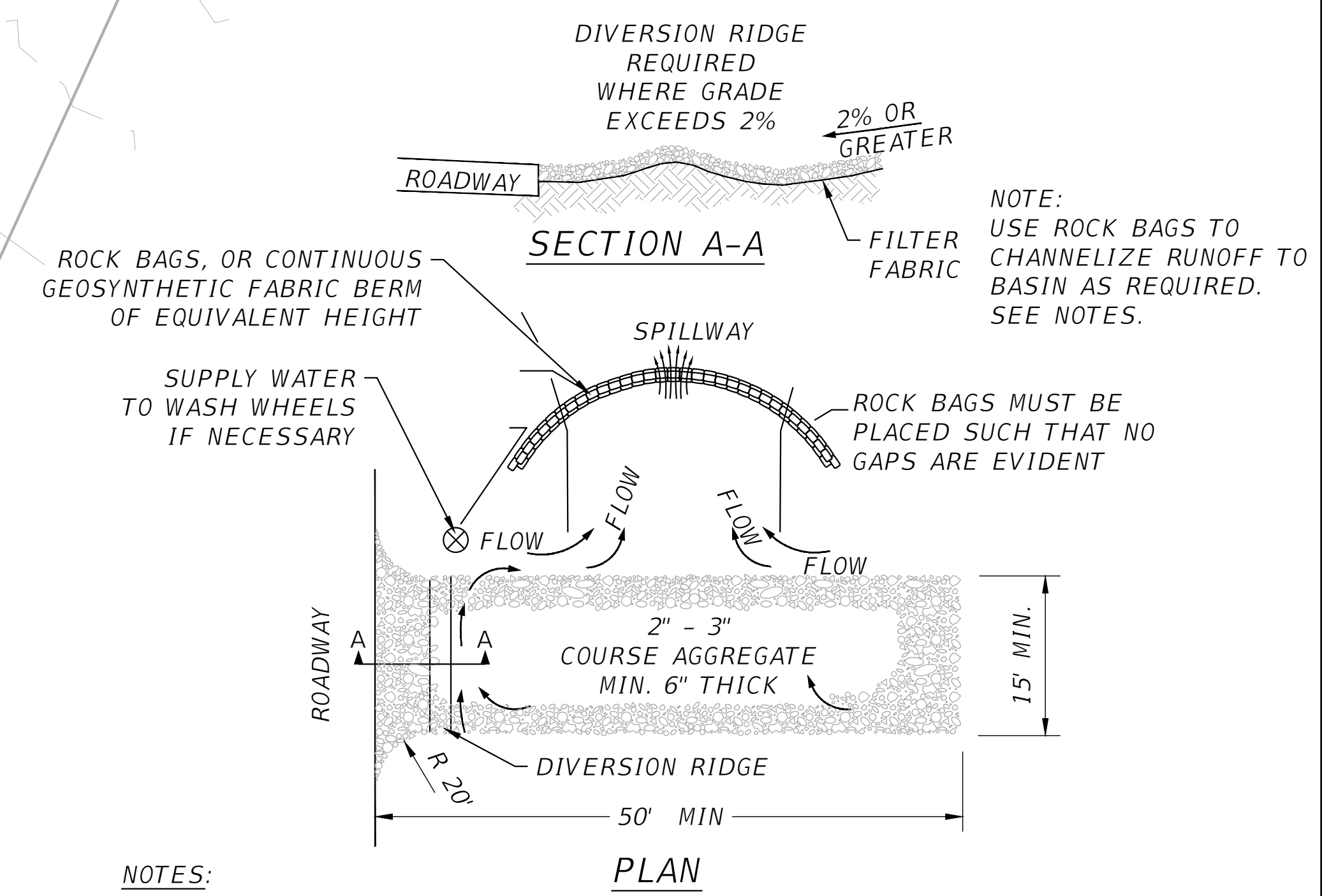
PROJECT NAME AND SITE ADDRESS
TERRELL MEDICAL OFFICE
 4289 NW AMERICAN LANE
 LAKE CITY, FLORIDA

SHEET NAME
LANDSCAPE PLAN
 DATE
 10/2022
 PROJECT NUMBER
 22-467ER
 SHEET #
 C-8

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SILT FENCE DETAIL



- NOTES:**
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 4. ROCK BAGS OR SANDBAGS SHALL BE PLACED SUCH THAT NO GAPS ARE EVIDENT.

TEMPORARY CONSTRUCTION ENTRANCE

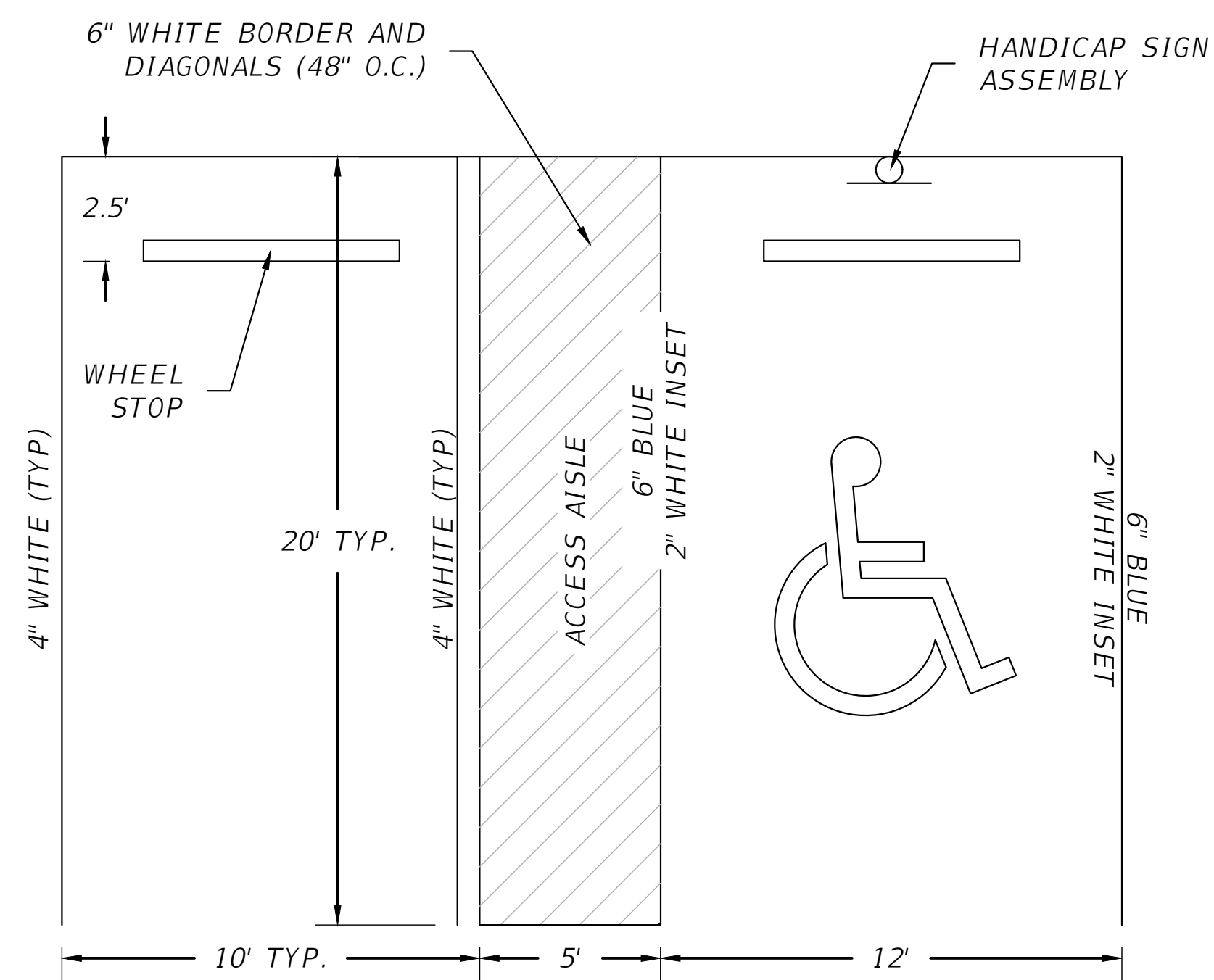
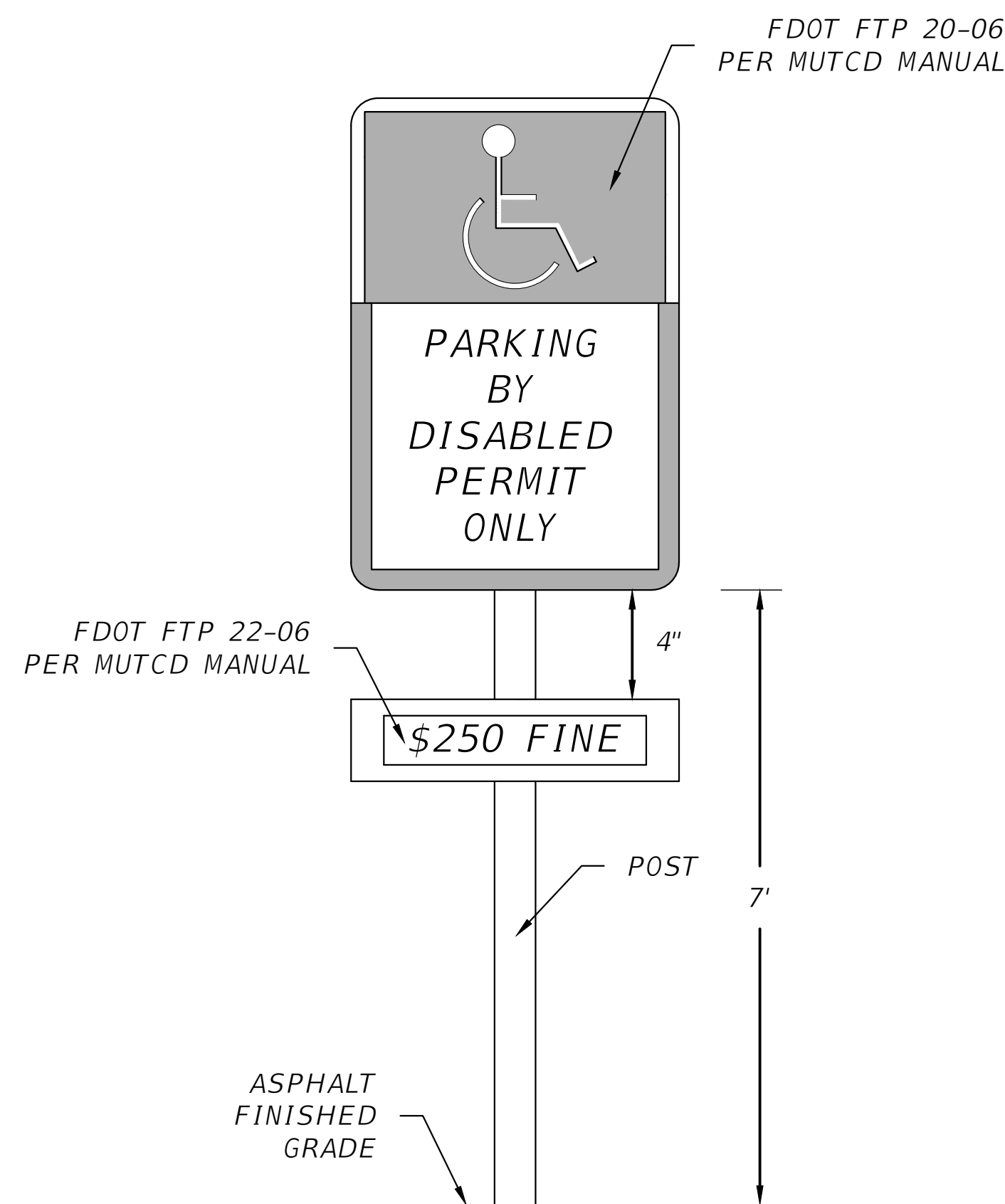
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PROJECT NAME AND SITE ADDRESS
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 LAKE CITY, FLORIDA

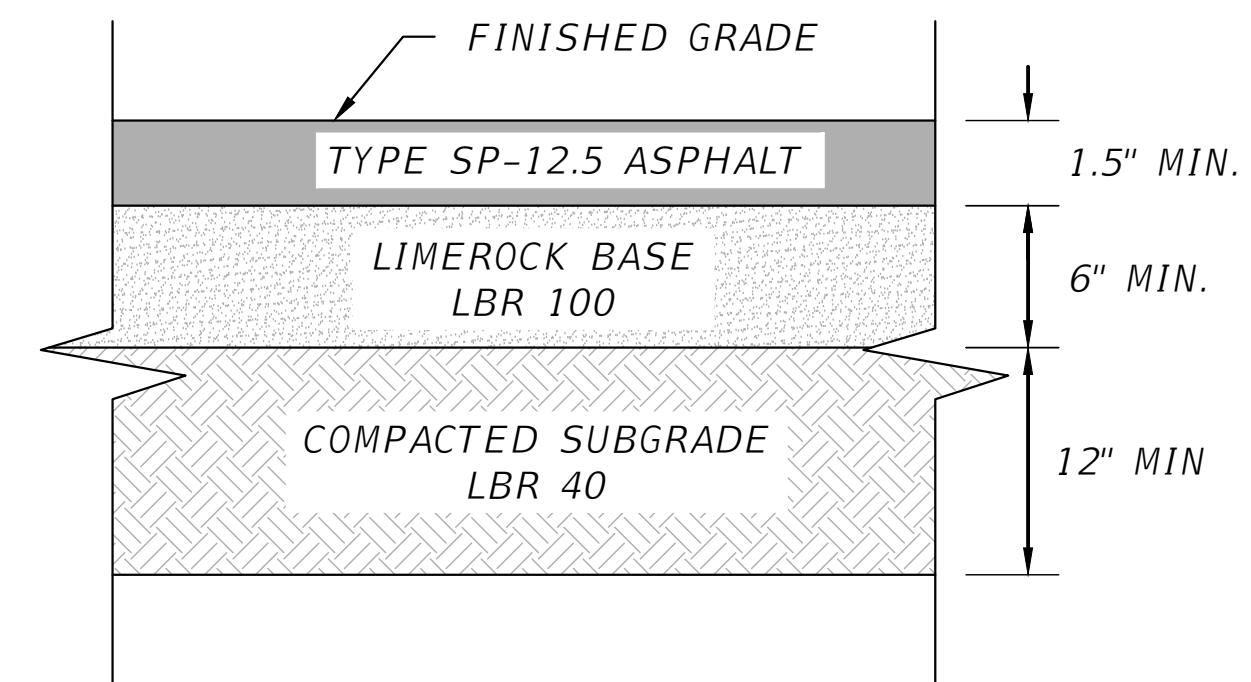
SHEET NAME
EROSION CONTROL PLAN
 DATE
 10/2022
 PROJECT NUMBER
 22-467ER
 SHEET #
 C-9

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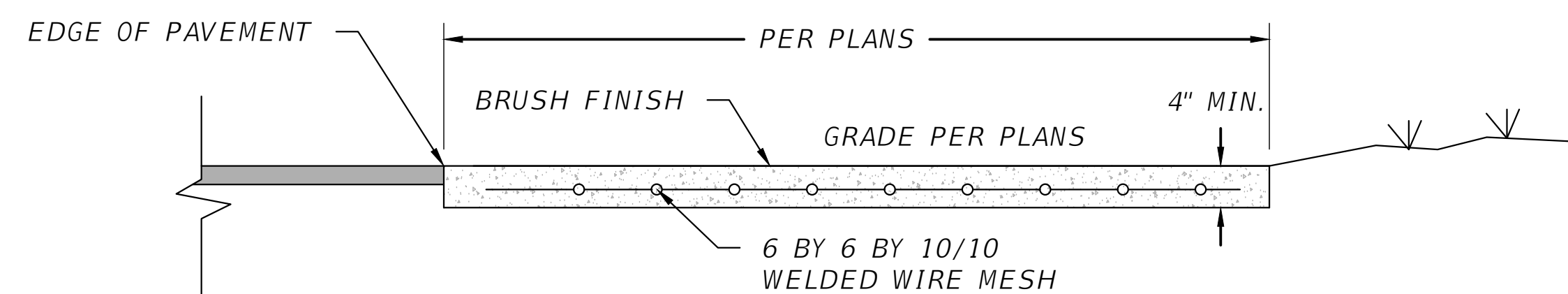
- NOTES:
1. SIGN CONSTRUCTION AND PLACEMENT SHALL COMPLY WITH STATE AND LOCAL STATUES.
 2. SIGN SHALL BE PLACED IN FRONT OF ALL DESIGNATED HANDICAPPED SPACES. SIGN HEIGHT SHALL BE 7' FROM PAVEMENT TO BOTTOM OF SIGN.
 3. HANDICAPPED PARKING SYMBOL SHALL BE 3 FT. HIGH MIN.
 4. BLUE PAVEMENT MARKINGS SHALL BE TINTED TO MATCH SHADE 15180 OF FEDERAL STANDARDS 595A.

HANDICAP PARKING STALL & SIGN DETAIL



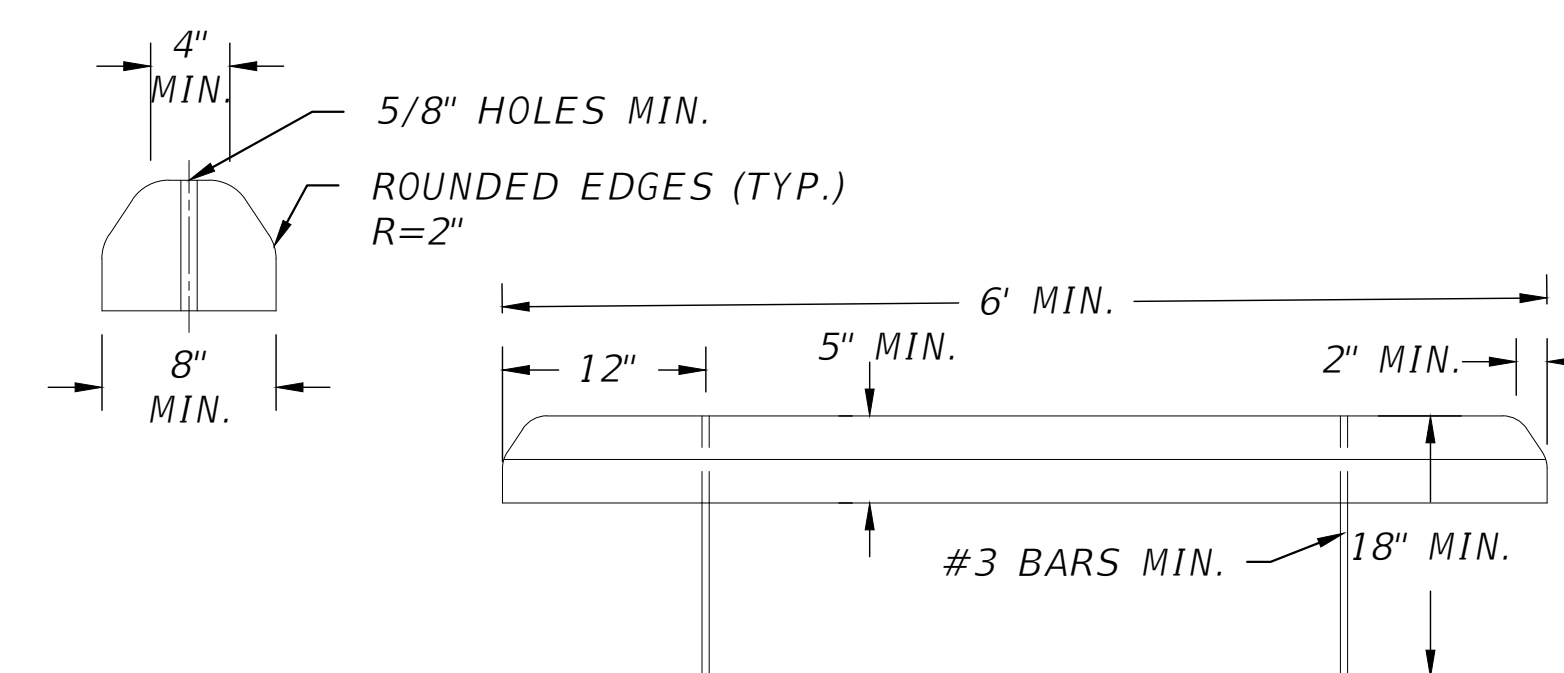
- NOTES:
1. LIMEROCK BASE SHALL EXTEND 4\"/>

PAVEMENT PROFILE DETAIL



- NOTES:
1. CONTRACTOR SHALL TROWEL OR SAW CUT 1/4\"/>

SIDEWALK DETAIL



WHEEL STOP DETAIL

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PROJECT NAME AND SITE ADDRESS
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 LAKE CITY, FLORIDA

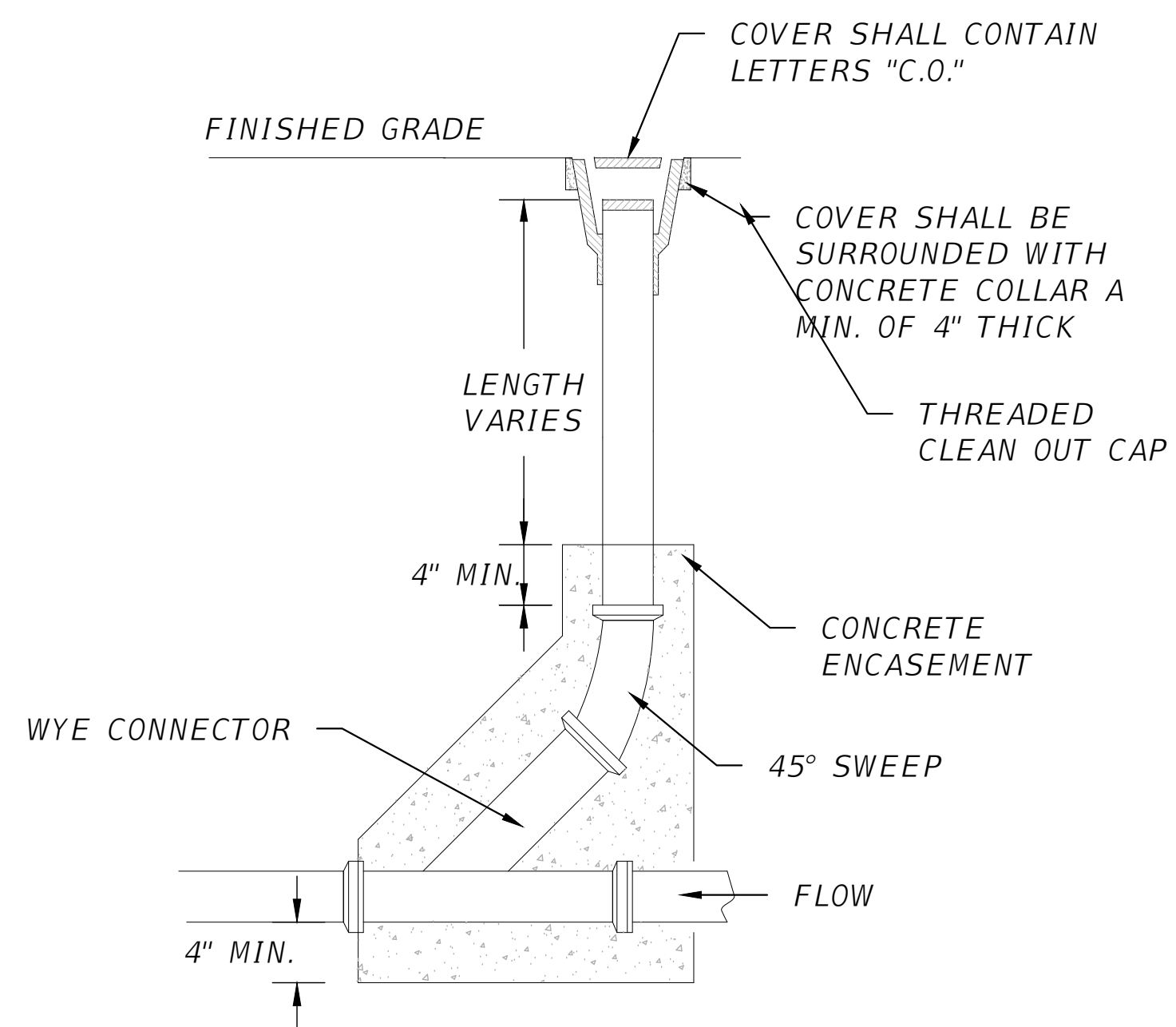
SHEET NAME
MISC. DETAILS

DATE
 10/2022

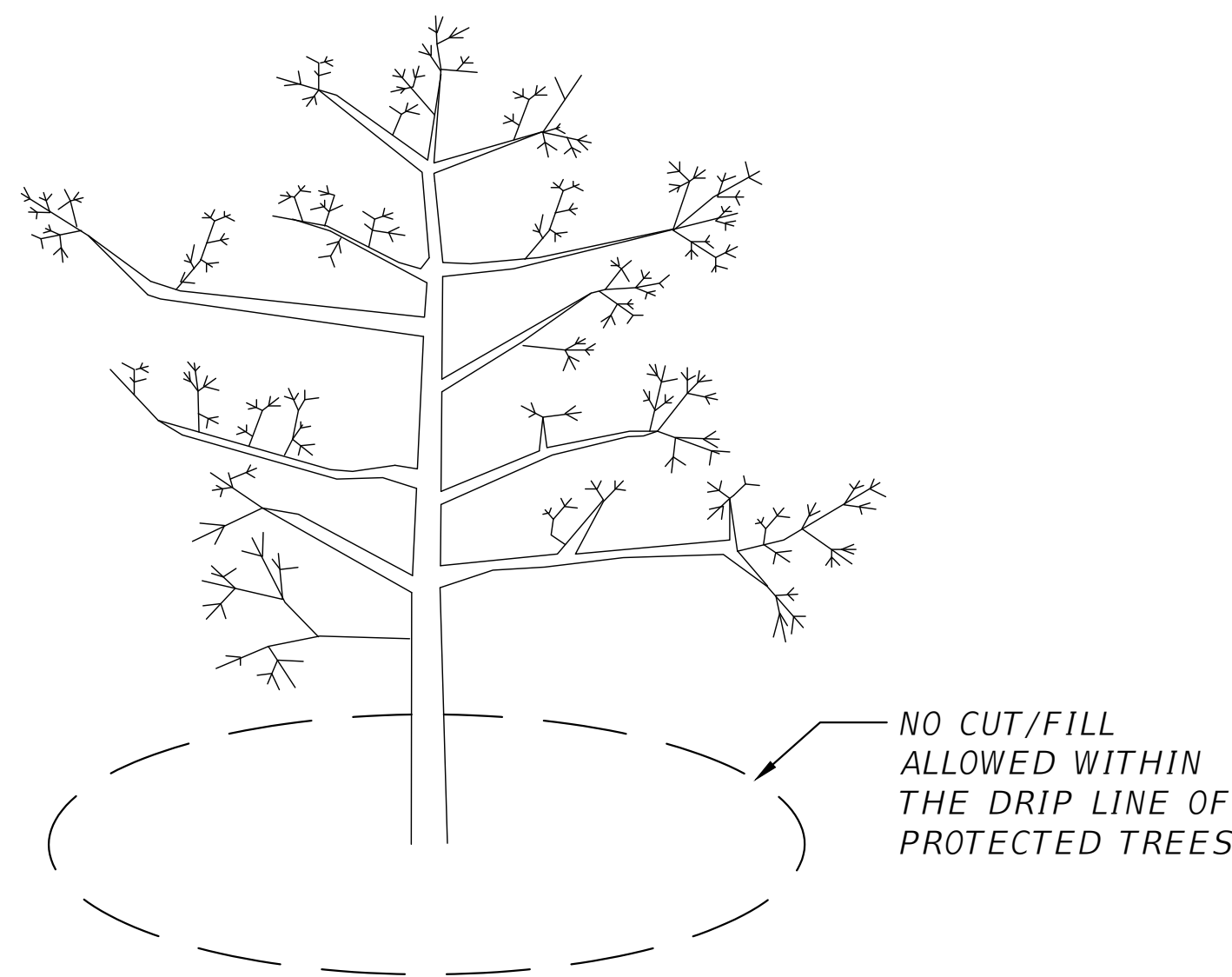
PROJECT NUMBER
 22-467ER

SHEET #
C-10

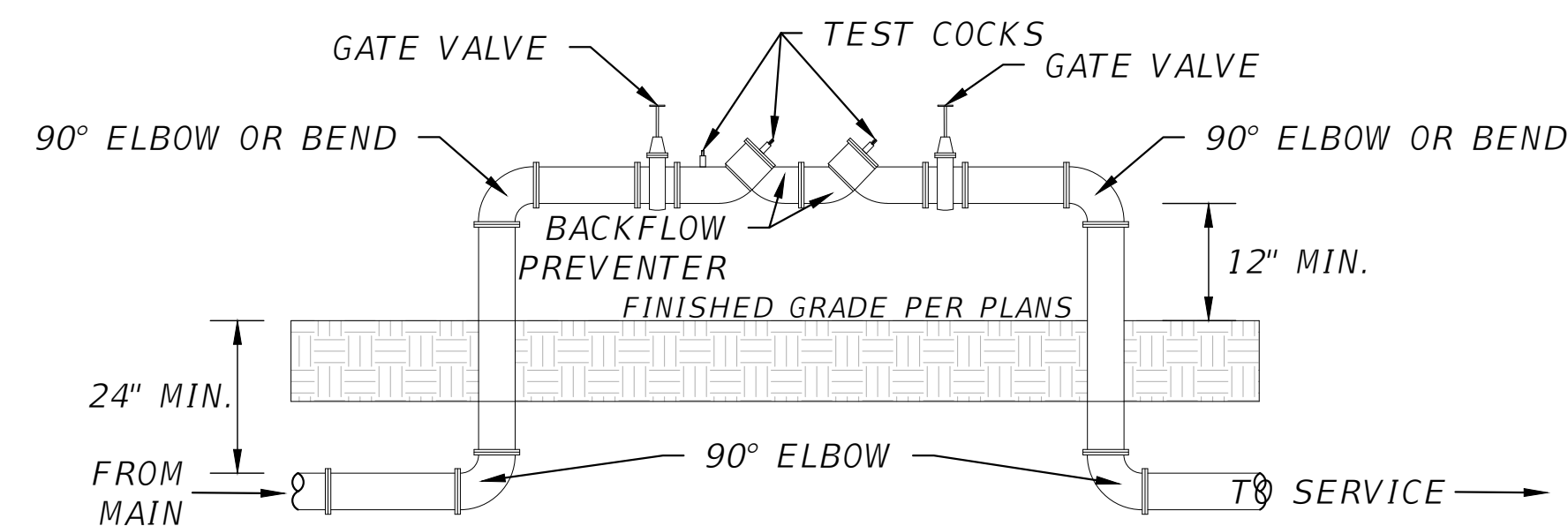
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.



CLEAN DETAIL



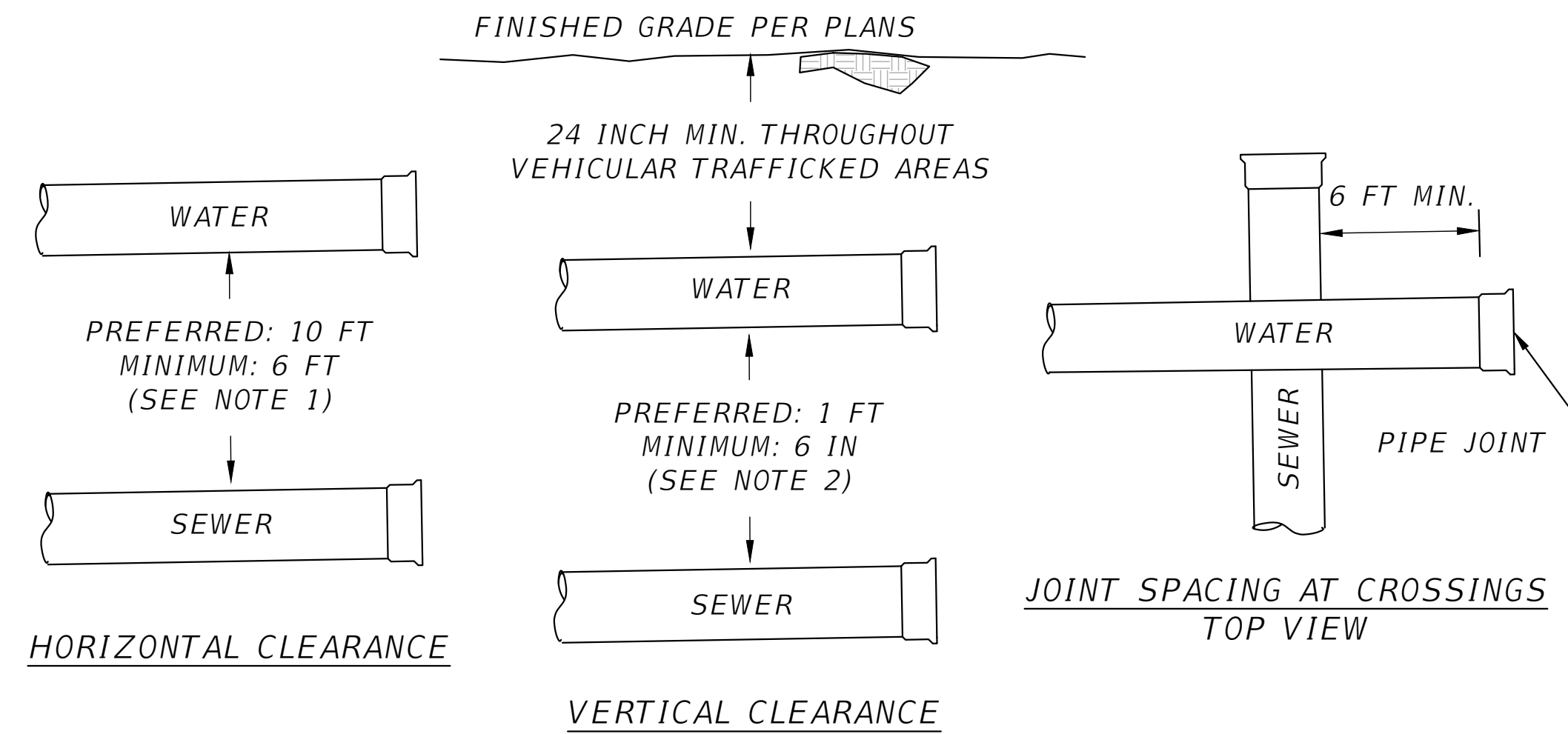
TREE PROTECTION DETAIL



NOTES:

1. ALL PIPE USED FOR BACKFLOW PREVENTER SHALL BE DUCTILE IRON PIPE.
2. NO CONNECTION IS PERMITTED BETWEEN SERVICE METER AND BACKFLOW PREVENTER. BACKFLOW PREVENTER SHALL BE INSTALLED DOWNSTREAM OF METER.

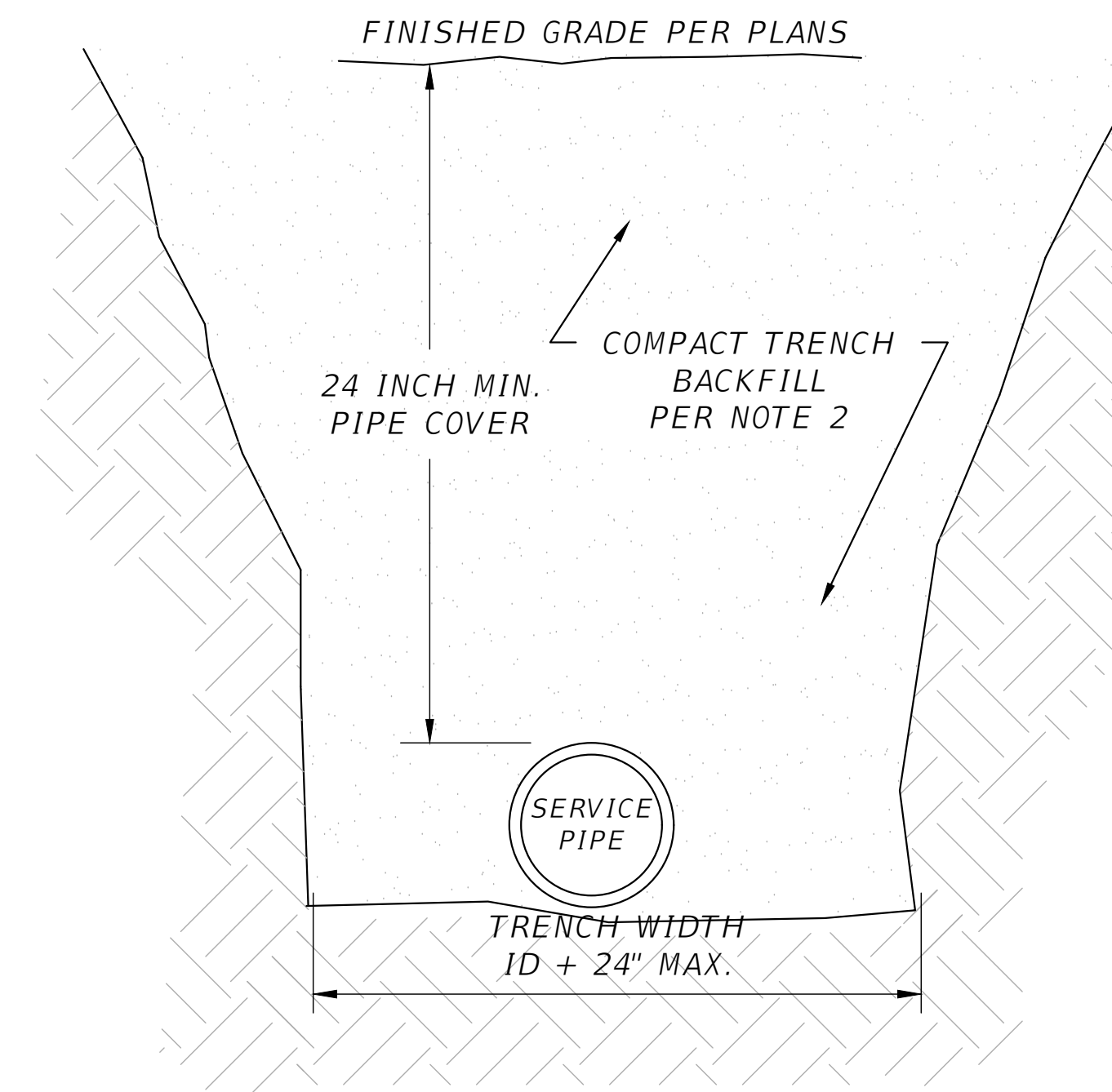
DOUBLE CHECK BACKFLOW PREVENTER DETAIL



NOTES:

1. CONTRACTOR SHALL MAINTAIN 10 FT HORIZONTAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 FT CAN BE USED ONLY WHEN 10 FT IS NOT POSSIBLE.
2. CONTRACTOR SHALL MAINTAIN 24 INCH MIN. VERTICAL PIPE COVER THROUGHOUT VEHICULAR TRAFFICKED AREAS; ENGINEER SHALL BE NOTIFIED IMMEDIATELY IN THE EVENT RECOMMENDED COVER IS NOT POSSIBLE.
3. CONTRACTOR SHALL MAINTAIN 1 FT VERTICAL SEPARATION BETWEEN WATER AND SEWER LINES; A MIN. SEPARATION OF 6 IN CAN BE USED ONLY WHEN 1 FT IS NOT POSSIBLE.
4. WATER PIPE JOINTS SHALL BE A MINIMUM OF 6 FEET FROM NEAREST SEWER PIPE CROSSING.
5. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.

WATER-SEWER SEPARATION DETAILS



NOTES:

1. BEDDING AND BACKFILL MATERIAL SHALL BE COMPACTED TO 95% OF THE MAXIMUM DRY DENSITY.
2. BEDDING ROCK SHALL BE USED TO BACKFILL OVER-EXCAVATED AREAS.
3. PIPE BELL END SHALL BE INSTALLED ALWAYS FACING UPSTREAM OF PIPE FLOW.
4. CONTRACTOR SHALL MAINTAIN DITCH STABILIZATION AND WATER FREE USING BEST MANAGEMENT PRACTICES.

TRENCH CONSTRUCTION DETAIL

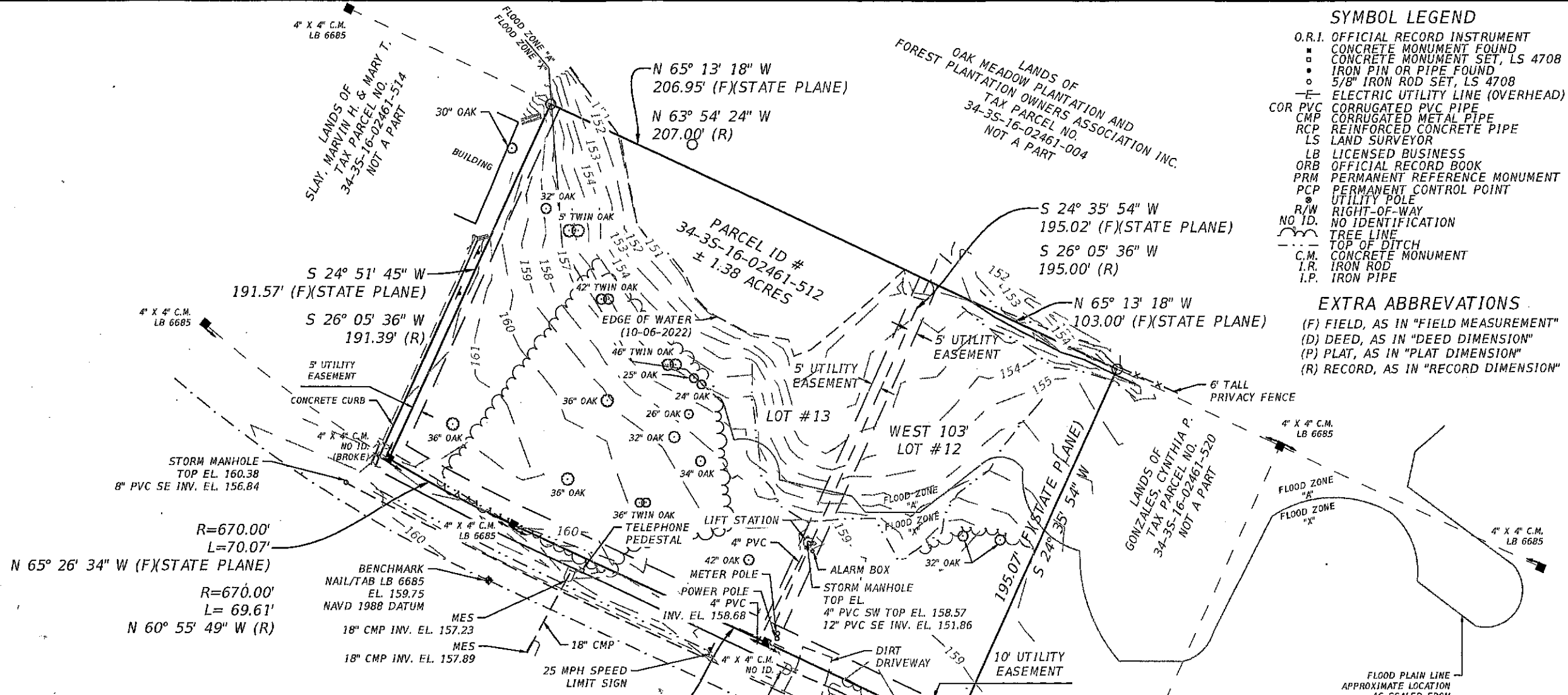
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PROJECT NAME AND SITE ADDRESS
TERRELL MEDICAL OFFICE
 4289 NW AMERICAN LANE
 LAKE CITY, FLORIDA

SHEET NAME
MISC. DETAILS
 DATE
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 PROJECT NUMBER
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 SHEET #
C-11

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SYMBOL LEGEND

O.R.I.	OFFICIAL RECORD INSTRUMENT
■	CONCRETE MONUMENT FOUND
□	CONCRETE MONUMENT SET, LS 4708
●	IRON PIN OR PIPE FOUND
○	5/8" IRON ROD SET, LS 4708
—E—	ELECTRIC UTILITY LINE (OVERHEAD)
COR	CORRUGATED PVC PIPE
CMP	CORRUGATED METAL PIPE
RCP	REINFORCED CONCRETE PIPE
LS	LAND SURVEYOR
LB	LICENSED BUSINESS
ORB	OFFICIAL RECORD BOOK
PRM	PERMANENT REFERENCE MONUMENT
PCP	PERMANENT CONTROL POINT
U	UTILITY POLE
R/W	RIGHT-OF-WAY
NO ID.	NO IDENTIFICATION
—T—	TREE LINE
—D—	TOP OF DITCH
C.M.	CONCRETE MONUMENT
I.R.	IRON ROD
I.P.	IRON PIPE

EXTRA ABBREVIATIONS

(F) FIELD, AS IN "FIELD MEASUREMENT"
 (D) DEED, AS IN "DEED DIMENSION"
 (P) PLAT, AS IN "PLAT DIMENSION"
 (R) RECORD, AS IN "RECORD DIMENSION"

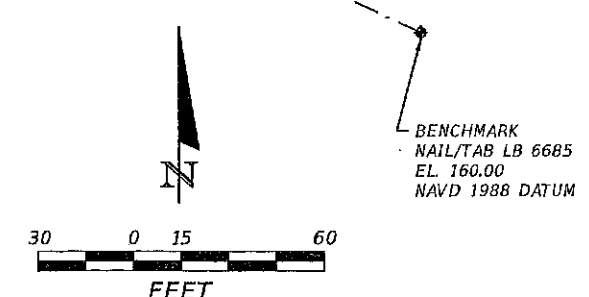
- SURVEYOR'S NOTES:**
- BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE RECORD TITLE BOUNDARIES OF THIS PARCEL TO THE BEST OF MY ABILITY TO INTERPRET AND LOCATE SAID BOUNDARIES BASED ON THE EVIDENCE OF PRIOR SURVEYS AND RECORDS PROVIDED TO OR OTHERWISE OBTAINED BY THIS OFFICE.
 - BEARINGS BASED ON FLORIDA STATE PLANE COORDINATE SYSTEM, 903-NORTH ZONE, NORTH AMERICAN DATUM OF 1983 (NAD 83/07). THIS DOES NOT REPRESENT A BOUNDARY SURVEY.
 - A PORTION OF THIS PARCEL IS IN ZONE "A" AND IS DETERMINED TO BE INSIDE THE 100 YEAR FLOOD PLAIN, AND IS SUBJECT TO FLOODING; AND, A PORTION OF THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP, DATED NOVEMBER 2, 2018, COMMUNITY PANEL NO. 12023C0290D.
 - NO COMMENT.
 - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 - IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 - "NOT VALID WITHOUT THE ORIGINAL SIGNATURE AND SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER."
 - CLOSURE OF FIELD SURVEY IS BETTER THAN 1/10,000. BOUNDARY AND CONTROL MONUMENTS CAN BE EXPECTED TO HAVE BEEN MEASURED TO APPROXIMATELY THAT RATIO OF PRECISION. BUILDINGS AND SIMILAR IMPROVEMENTS ARE LOCATED WITHIN ± 0.2 FEET OF THE ACTUAL LOCATION UNLESS OTHERWISE NOTED. OTHER IMPROVEMENTS SUCH AS UTILITY POLES, SEPTIC TANKS, TREES, INTERIOR FENCES, ETC. ARE NORMALLY WITHIN ± 0.5 FEET UNLESS OTHERWISE NOTED.
 - EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RESERVATIONS, RESTRICTIONS, AND/OR TITLE CONFLICTS OF RECORD, IF ANY, NOT PROVIDED BY THE CLIENT OR HIS AGENTS OR DISCOVERED BY THIS OFFICE. AN EFFORT HAS BEEN MADE IN GOOD FAITH TO SHOW PHYSICAL EVIDENCE OF EASEMENTS, OCCUPATION AND USE BY OTHER PARTIES, HOWEVER PHYSICAL CONDITIONS ON THE PARCEL MAY HAVE PREVENTED DISCOVERY OF ALL SUCH EVIDENCE.
 - CERTIFIED TO: DAVID CHARLES TERRELL JR.

SIGNING SURVEYOR:
 MARK D. DUREN, LS 4708
 1604 SW SISTERS WELCOME ROAD
 LAKE CITY, FL. 32025

SIGNED: *[Signature]* 11/2/2022
 MARK D. DUREN, LS 4708

BUILDING SETBACKS

FRONT - 30 FEET
 SIDE - 20 FEET
 REAR - 20 FEET



THIS DOES NOT REPRESENT A BOUNDARY SURVEY
 ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD_88)

SURVEYOR OF RECORD:
 MARK D. DUREN
 FL REGISTERED SURVEYING AND
 MAPPER REGISTRATION # LS 4708
 MDUREN@PITMANENGINEERING.COM
 (386) 758-9831

FIRM NAME AND CONTACT INFORMATION:
 PITMAN ENGINEERING
 405 EDUVAL ST
 LAKE CITY, FL 32055
 (386) 965-5919
 PITMANENGINEERING.COM
 DBPR REGISTRY # 39013

PROJECT NAME AND SITE ADDRESS
 TERRELL MEDICAL OFFICE
 4289 NW AMERICAN LANE
 LAKE CITY, FLORIDA

SHEET NAME
 TOPOGRAPHIC SURVEY

DATE
 10/22

PROJECT NUMBER
 22-461TER

SHEET #
 V-1

THE ORIGINAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004, F.A.C.

Project Summary

Project Name: Terrell Medical Office

Project Number: SPR23-01

Parcel Number: 02461-512

Project Notes

- Project type: Site Plan Review
- Future land use is: Residential Medium Density
- Zoning designation is: Residential Office
- Proposed use of the property: New construction of Terrell Medical Office
- Land is conducive for use: Yes, per the LDR section 4.10.2.4
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR23-01 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 12/2/22

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: 02461-512

Project Name: Terrell Medical Office

Project Address: 4289 NW American Lane

Project Parcel Number: 34-3S-16-02461-512

Owner Name: David Terrell Jr.

Owner: Address: 221 SW Stonegate Terrace #102

Owner Contact Information: telephone number 386-288-4724 e-mail davie02@hotmail.com

Owner Agent Name: Brian Pittman, PE

Owner Agent Address: 405 E Duval St

Owner Agent Contact Information: telephone 386-965-5919 e-mail bpitman@pitmanengineering.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Per section 4.10.2.4 of the LDR this is a permitted use.
Per section 4.10.2.4 of the LDR this is a permitted use.

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Will need to apply for a business license

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: _____
Permitting through Columbia Building is value base over \$4000

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: A back flow assembly for water service will need to be installed.

Sewer Department: Approved Disapproved Reviewed by: Cody Pridgeon

Comments: None

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: The City of Lake City provides water and sewer service to this area. The contractor must relocate the lift pump for the pond to the new easement to the east. The Distributions and Collections Department must be on site to inspect. A 48-hour notification must be given, call 386-758-5492 to schedule.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: A tap application is required to access water, sanitary sewer and natural gas services. The tap fees, impact fees, and utility deposits will be calculated upon approval of the tap application.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Assistant Chief Boozer

Comments: No concerns

Police Department: Approve Disapprove Reviewed by: Chief Butler

Comments: No concerns

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

SECTION 4.10 "RO" RESIDENTIAL/OFFICE

4.10.1 DISTRICTS AND INTENT

The "RO" Residential/Office category includes one zone district: RO. This district is intended for single family and multiple family residences together with business and professional offices which are not incompatible with residential uses, and public and semi-public buildings and facilities and accessory structures as may be desirable with such development, as well as surrounding development. This district is not to be deemed a commercial district.

4.10.2 PERMITTED PRINCIPAL USES AND STRUCTURES

1. Single family dwellings.
2. Duplexes.
3. Multiple family dwellings.
- ✓ 4. Medical and dental offices, clinics, and laboratories.
5. Business and professional offices.
6. Homes of six (6) or fewer residents which otherwise meet the definition of a "community residential home". (See Section 4.2)
7. Community residential facilities. (See Section 4.2)

For uses under (4), (5) and (7): Site and development plan approval is required. (See Article 13)

For uses under (3) above: Site and development plan approval is required for multiple family developments consisting of five (5) or more dwelling units or two (2) or more separate buildings (see Article 13).

4.10.3 PERMITTED ACCESSORY USES AND STRUCTURES

1. Uses and structures which:
 - a. Are customarily accessory and clearly incidental and subordinate to permitted or permissible uses and structures;
 - b. Are located on the same lot as the permitted or permissible principal use or structure, or on a contiguous lot in the same ownership; and
 - c. Are not of a nature likely to be incompatible with residential development due to traffic, noise, dust, glare, odor, or fumes.
2. Examples of permitted accessory uses and structures include:
 - a. Private garages;
 - b. Private swimming pools and cabanas;
 - c. Noncommercial greenhouses and plant nurseries;
 - d. For multiple family dwellings: administrative/management offices for the multiple family complex and recreational and laundry facilities intended for use solely by the residents of the multiple family complex and their guests; and
 - e. On-site signs (see also Section 4.2).

4.10.4 PROHIBITED USES AND STRUCTURES

Any use or structure not specifically, provisionally or by reasonable implication permitted herein or permissible by special exception, including the following which are listed for emphasis:

1. Sales, display, or outside storage of goods or merchandise.
2. Restaurants.
3. Automotive service stations and car washes.
4. Bars, cocktail lounges, taverns, and package store for sale of alcoholic beverages.
5. Off-site signs.

4.10.5 SPECIAL EXCEPTIONS

(See also Articles 12 and 13)

1. Public or private schools offering curricula comparable to that of public schools (See Section 4.2).
2. Parks maintained by any private association of persons residing in the district.
3. Group living facilities.
4. Public buildings and facilities, except those otherwise specified (See Section 4.2).
5. Art galleries, community or little theaters (but not moving picture theaters or drive-in movies).
6. Private clubs and lodges.
7. Churches and other houses of worship.
8. Funeral homes without crematories.
9. Hospitals, nursing homes, and residential homes for the aged.
10. Home occupations (see Section 4.2).
11. Professional, business, and technical schools, provided all activities are conducted in completely enclosed buildings.
12. Child care centers and overnight child care centers provided:
 - a. No outdoor play activities shall be conducted before 8 a.m. or after 8 p.m.
 - b. Provision is made for areas for offstreet pick-up and drop-off of children.
13. Dance, art and music studios.
14. Recovery homes.
15. Residential treatment facilities.
16. Pharmacies.
17. Commercial greenhouses and nurseries.
18. Nursing homes and residential housing for the aged.
19. Adult care center.
20. Bed and breakfast inns (see Section 4.2).

4.10.6 MINIMUM LOT REQUIREMENTS (area, width)

1. Single family dwellings:

Minimum lot area 6,000 square feet

Minimum lot width 50 feet

2. Duplexes:

Minimum lot area 10,000 square feet

Minimum lot width 70 feet

3. Multiple family development:

Minimum site area 20,000 square feet

Minimum site width 80 feet

Minimum land area per dwelling unit 5,445 square feet

✓ 4. Other permitted or permissible uses and structures:

None, except as needed to meet other requirements herein set out.

4.10.7 MINIMUM YARD REQUIREMENTS (depth of front and rear yard, width of side yards)

1. Single family dwellings and duplexes:

Front 20 feet

Side 10 feet for each side yard.

Rear 15 feet

2. Multiple family dwellings: (to be applied at site perimeter)

Front 30 feet

Side 15 feet for each side yard.

Rear 20 feet

Special Provisions; Where two (2) or more multiple family structures are located together on one site, no detached residential structure shall be located closer than twenty (20) feet to another.

3. Public and private schools, child care centers, overnight child care centers, churches and other houses of worship, private clubs and lodges, nursing homes, residential homes for the age, group living facilities, public buildings and facilities (unless otherwise specified):

Front 35 feet

Side 25 feet

Rear 35 feet

4. Medical and dental offices, clinics, and laboratories; hospitals; business and professional offices; and all other permitted or permissible uses unless otherwise specified:

✓ Front 30 feet

✓ Side 20 feet for each side yard.

✓ Rear; 20 feet

Special Provisions: As a minimum, no less than one-half (1/2) the depth of any required front yard shall be maintained as a landscaped area; the remainder may be used for offstreet parking, but not for buildings. The depth of this landscaped area shall be measured at right angles to property lines and shall be established along the entire length of and contiguous to the designated property line or lines. This landscaped area may be penetrated at right angles by driveways.

Special Provisions:

For lots with double front yards, the side of the residence not acting as the main entrance may be considered as a side yard for accessory uses and structures as long as it does not obstruct the line of sight of any intersection or driveway.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from wetlands.

The location of any structure (except permitted docks, walkways and piers) shall be setback a minimum of thirty-five (35) feet from perennial streams and creeks.

4.10.8 MAXIMUM HEIGHT OF STRUCTURES

1. Structure height for buildings shall be regulated in accordance with Chapter 5 of the Florida Building Code and minimum yard requirements established in these land development regulations;
2. Height requirements for signs shall be as established in Section 4.2.20.4(8); and
3. Heights for structures other than buildings and signs shall be regulated in accordance with standards established by the Federal Aviation Administration codes and any regulations and guidelines as may be established by the City and/or Airport Committee or Authority.

4.10.9 MAXIMUM LOT COVERAGE BY ALL BUILDINGS

1. Single family dwellings including their accessory buildings: 40%
2. Duplexes and multiple family development, including their accessory buildings: 40%.
3. Other permitted buildings in connection with permitted or permissible uses, including their accessory buildings: 35%.

4.10.10 MINIMUM LANDSCAPED BUFFERING REQUIREMENTS
(See also Section 4.2)

1. Medical and dental offices, clinics, and laboratories; business and professional offices; art galleries; community or little theaters; dance, art, and music studios; funeral homes; hospitals; nursing homes; churches; other houses of worship; private clubs and lodges; child care centers; overnight child care centers; public buildings (but not public schools):

Where a use listed under (1) above is erected or expanded on land abutting either (a) a residential district or (b) property used for residential purposes in a residential/office district, then the proposed use shall provide a landscaped buffer which shall be not less than ten (10) feet in width along the affected rear and/or side yards as the case may be.

2. All other permitted or permissible uses (unless otherwise specified):
None, except as necessary to meet other requirements set out herein.

4.10.11 MINIMUM OFFSTREET PARKING REQUIREMENTS
(See also Section 4.2)

1. Each residential dwelling unit: two (2) spaces for each dwelling unit.
- 28 ✓ 2. Medical or dental offices, clinics, and laboratories: one (1) space for each one hundred fifty (150) square feet of floor area.
3. Business and professional offices: one (1) space for each two hundred (200) square feet of floor area.
4. Public buildings and facilities (unless otherwise specified): one (1) space for each two hundred (200) square feet of floor area.
5. Art galleries: one (1) space for each three hundred (300) square feet of floor area.
6. Community or little theaters: one (1) space for each four (4) seats.
7. Dance, art, and music studios: one (1) space for each three hundred fifty (350) square feet of floor area.
8. Private clubs and lodges: one (1) space for each three hundred (300) square feet of floor area.
9. Churches and other houses of worship: one (1) space for each six (6) permanent seats in the main auditorium.
10. Funeral homes: one (1) space for each three (3) seats in the chapel.
11. Elementary and junior high schools: two (2) spaces for each classroom or office room, plus one (1) space for each three (3) seats in any auditorium or gymnasium.
12. Senior high school: four (4) spaces for each classroom or office room, plus two (2) spaces for each three (3) seats in any auditorium or gymnasium.
13. Professional, business, and technical schools: one (1) space for each two hundred (200) square feet of floor area.
14. Hospitals: one (1) space for each bed.
15. Nursing homes: one (1) space for each two (2) beds.
16. Child care centers and overnight child care centers: one (1) space for each three hundred (300) square feet of floor area devoted to child care activities.
17. Residential homes for the aged: one (1) space for each dwelling unit.
18. Recovery homes: one (1) space for each bedroom.
19. Residential treatment facilities: one (1) space for each bed.
20. Pharmacies: one (1) space for each one hundred fifty (150) square feet of non-storage floor area.
21. Adult care centers: one (1) space for each three hundred (300) square feet of floor area devoted to adult care activities.
22. Bed and breakfast inn; in addition to parking required for the residence, one (1) parking space shall be provided for each guest room. The Board of Adjustment may vary the parking requirement for those properties listed on the City's historic landmark or site list based upon site constraints including, but not limited to, small yards, inadequate space for parking, and the availability of on-street parking.
23. For other special exceptions as specified herein: to be determined by findings in the particular case.

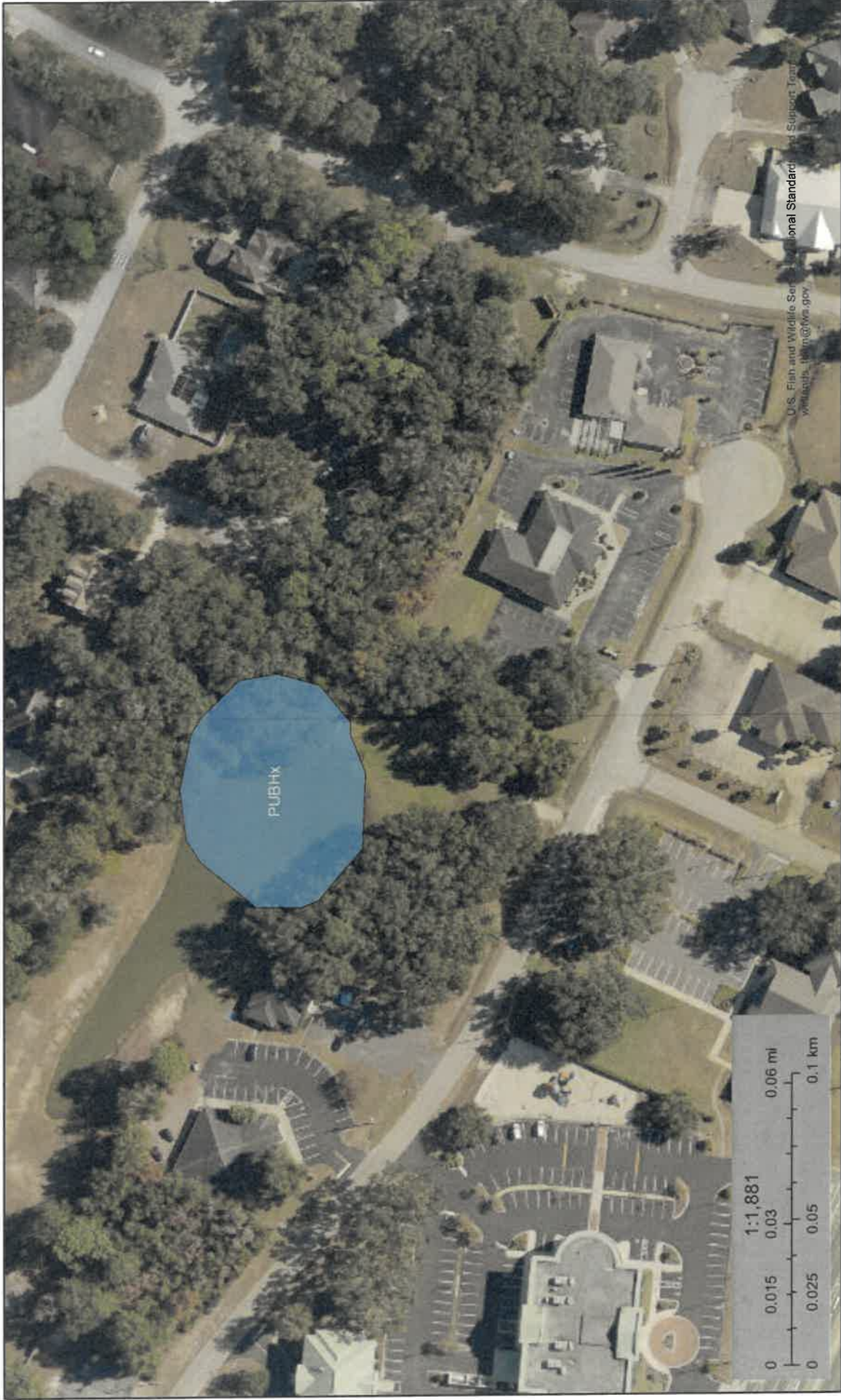
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U.S. Fish and Wildlife Service

National Wetlands Inventory

4289 NW American Lane

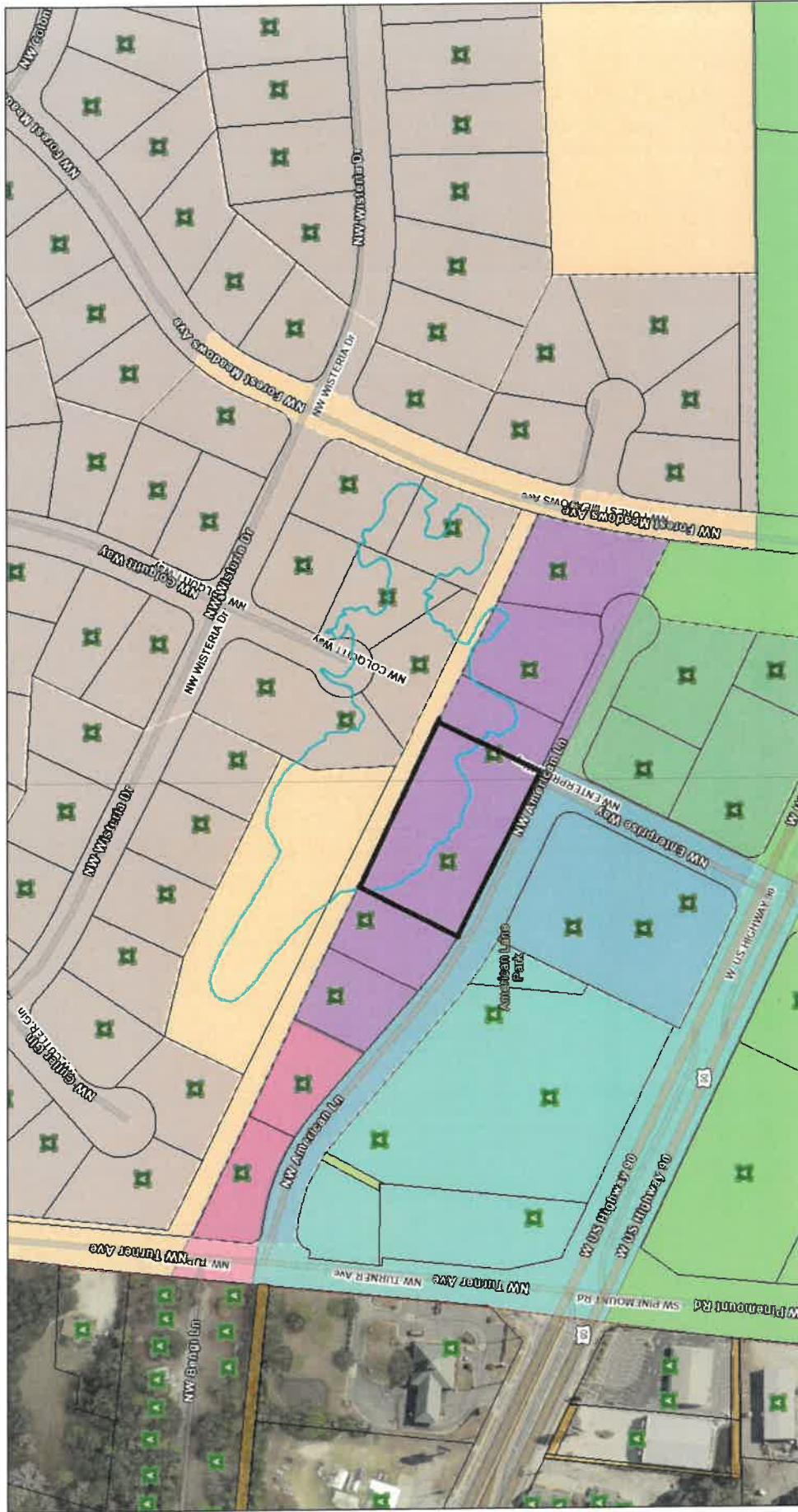


December 2, 2022

Wetlands

- Estuarine and Marine Deepwater
- Estuarine and Marine Wetland
- Freshwater Emergent Wetland
- Freshwater Forested/Shrub Wetland
- Freshwater Pond
- Lake
- Other
- Riverine

*P&Z/HPA

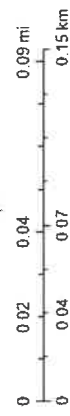


December 2, 2022

Parcel 02461-512

1. Future Land Use is Residential Medium
2. Zoning is Residential Office
3. Back side of parcel is located in flood zone A. See FEMA map for BFE

1:2,257



Esri, Community Maps Contributors, FDEP, OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METINASA, USGS, EPA, NPS, US Census Bureau, USDA, State of Florida, Maxar, Microsoft

Jason Dumas
State of Florida, Maxar, Microsoft | Esri Community Maps Contributors, FDEP, OpenStreetMap, Microsoft, Esri, HERE, Garmin, SafeGraph, GeoTechnologies, Inc, METINASA, USGS, EPA, NPS, US Census Bureau, USDA | City of Lake City & North Central Florida Regional Planning Council

National Flood Hazard Layer FIRMette



82°47'43"W 30°11'21"N

COLUMBIA COUNTY
120070

12023C0280D
eff. 11/2/2018

CITY OF LAKE/CITY
120406

T3S R16E S33

T3S R16E S34

12023C0290D
eff. 11/2/2018

AREA OF MINIMAL FLOOD HAZARD
Zone X



82°42'6"W 30°10'50"N

Legend

SEE FIS REPORT FOR DETAILED LEGEND AND INDEX MAP FOR FIRM PANEL LAYOUT

SPECIAL FLOOD HAZARD AREAS

- Without Base Flood Elevation (BFE)
Zone A, V, A99
- With BFE or Depth Zone AE, AO, AH, VE, AR
- Regulatory Floodway

OTHER AREAS OF FLOOD HAZARD

- 0.2% Annual Chance Flood Hazard, Area of 1% annual chance flood with average depth less than one foot or with draining areas of less than one square mile
- Future Conditions 1% Annual Chance Flood Hazard Zone X
- Area with Reduced Flood Risk due to Levee. See Notes, Zone X
- Area with Flood Risk due to Levee Zone D

OTHER AREAS

- NO SCREEN
- Area of Minimal Flood Hazard Zone X
- Effective LOMRS
- Area of Undetermined Flood Hazard Zone D

GENERAL STRUCTURES

- Channel, Culvert, or Storm Sewer
- Levee, Dike, or Floodwall

Cross Sections with 1% Annual Chance

- Water Surface Elevation
- Coastal Transect
- Base Flood Elevation Line (BFE)
- Limit of Study
- Jurisdiction Boundary
- Coastal Transect Baseline
- Profile Baseline
- Hydrographic Feature

OTHER FEATURES

- Digital Data Available
- No Digital Data Available
- Unmapped

MAP PANELS

- Digital Data Available
- No Digital Data Available
- Unmapped

The pin displayed on the map is an approximate point selected by the user and does not represent an authoritative property location.

This map complies with FEMA's standards for the use of digital flood maps if it is not void as described below. The basemap shown complies with FEMA's basemap accuracy standards.

The flood hazard information is derived directly from the authoritative NFHL web services provided by FEMA. This map was exported on 12/2/2022 at 8:58 AM and does not reflect changes or amendments subsequent to this date and time. The NFHL and effective information may change or become superseded by new data over time.

This map image is void if the one or more of the following map elements do not appear: basemap imagery, flood zone labels, legend, scale bar, map creation date, community identifiers, FIRM panel number, and FIRM effective date. Map images for unmapped and unmodernized areas cannot be used for regulatory purposes.



0 130 260 390 520 650 780 910 1040 1170 1300 ft

Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 34-3S-16-02461-512 (10086) | VACANT COMMERCIAL (1000) | 1.385 AC
 THE WEST 103 FT OF LOT 12 & ALL LOT 13 PLANTATION VILLAGE SID. 816-2412, 904-214, QC 1141-507, WD 1458-1378.

Owner: 221 SW STONEGATE TER
 #102
 LAKE CITY, FL 32024

Site: 4289 NW AMERICAN Ln, LAKE CITY

Sales Info:
 2/3/2022 \$66,000 V (Q)
 1/10/2008 \$100 V (U)
 6/9/2000 \$90,000 V (Q)

2023 Working Values

Mkt Lnd	Appraised	Assessed	Exempt	Total
Ag Lnd	\$57,950	\$57,950	\$0	\$57,950
Bldg	\$0	\$0	\$0	\$0
XFOB	\$0	\$0	\$0	\$0
Just	\$57,950	\$57,950	\$0	\$57,950
			county:	\$57,950
			other:	\$0
			schools:	\$57,950

NOTES:

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

Columbia County, FL



PITMAN ENGINEERING

LEGAL DESCRIPTION

PARCEL 34-3S-16-02461-512

THE WEST 103 FEET OF LOT 12 AND ALL OF LOT 13, PLANTATION VILLAGE SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE(S) 210 AND 211, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SUBJECT TO A 10' UTILITY EASEMENT ALONG THE STREET AND A 5' UTILITY EASEMENT ON EACH SIDE OF THE PRIOR EAST LOT LINE OF PARCEL # 13 AND WEST LOT LINE OF PARCEL # 12, AS RECORDED IN ORB 866 PAGE 1321, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.





GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee: **\$200.00**
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Terrell Medical Office
2. Address of Subject Property: 4289 NW American Lane
3. Parcel ID Number(s): 34-3S-16-02461-512
4. Future Land Use Map Designation: Residential - Medium Density
5. Zoning Designation: RO
6. Acreage: 1.38 Acres
7. Existing Use of Property: Vacant
8. Proposed use of Property: Medical Office
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 4,376 SF
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Brian Pitman, PE Title: Owner
 Company name (if applicable): Pitman Engineering
 Mailing Address: 405 E Duval St
 City: Lake City State: Florida Zip: 32055
 Telephone: (386)965-5919 Fax: (____) _____ Email: bpitman@pitmanengineering.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): David Charles Terrell Jr.
 Mailing Address: 221 SW Stonegate Terrace #102
 City: Lake City State: Florida Zip: 32024
 Telephone: (386)288-4724 Fax: (____) _____ Email: davie02@hotmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: N/A
If yes, is the contract/option contingent or absolute: Contingent Absolute
- 2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Brian Pitman

Applicant/Agent Name (Type or Print)

Brian Pitman

Applicant/Agent Signature

11/28/22

Date

Applicant/Agent Name (Type or Print)

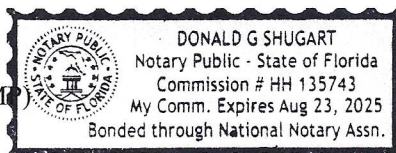
Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF *Collier*

The foregoing instrument was acknowledged before me this 28 day of NOV, 2022, by (name of person acknowledging) BRIAN PITMAN

(NOTARY SEAL or STAMP)



Donald G. Shugart

Signature of Notary

DONALD G SHUGART

Printed Name of Notary

Personally Known _____ OR Produced Identification
Type of Identification Produced PLDL

City of Lake City - Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/6/2022

Parcel: << **34-3S-16-02461-512 (10086)** >>

Owner & Property Info

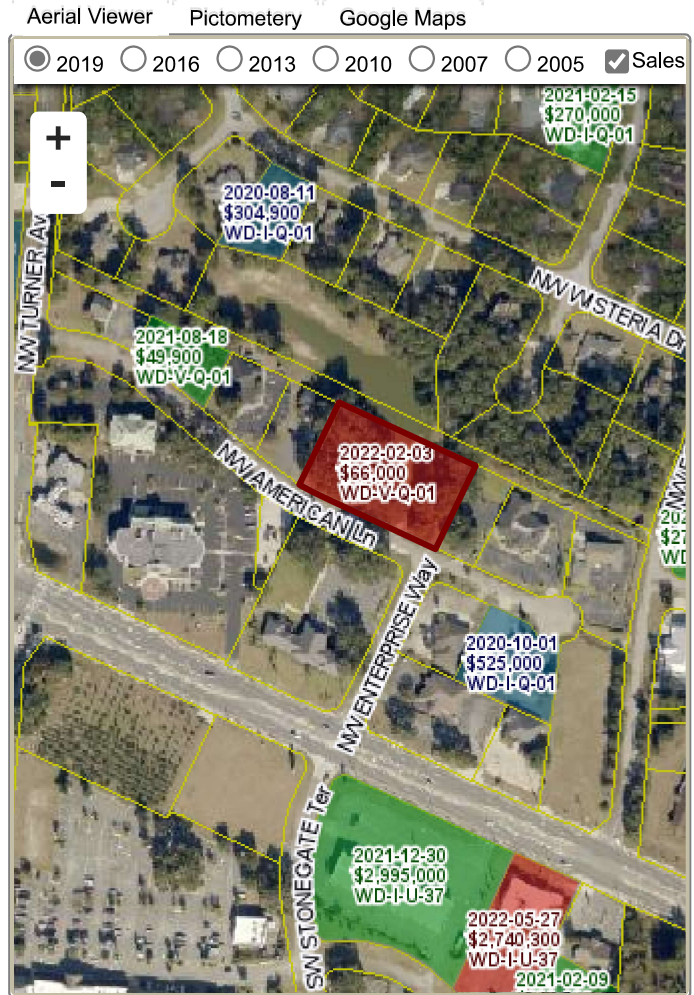
Owner	TERREL DAVID C JR APRN PA 221 SW STONEGATE TER #102 LAKE CITY, FL 32024		
Site	4289 NW AMERICAN Ln, LAKE CITY 4327 NW AMERICAN Ln		
Description*	THE WEST 103 FT OF LOT 12 & ALL LOT 13 PLANTATION VILLAGE S/D. 816-2412, 904-214, QC 1141-607, WD 1458-1378,		
Area	1.385 AC	S/T/R	34-3S-16E
Use Code**	VACANT COMMERCIAL (1000)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$57,950	Mkt Land	\$57,950
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$57,950	Just	\$57,950
Class	\$0	Class	\$0
Appraised	\$57,950	Appraised	\$57,950
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$57,950	Assessed	\$57,950
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$57,950 city:\$57,950 other:\$0 school:\$57,950	Total Taxable	county:\$57,950 city:\$57,950 other:\$0 school:\$57,950



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
2/3/2022	\$66,000	1458/1378	WD	V	Q	01
1/10/2008	\$100	1141/0607	QC	V	U	03
6/9/2000	\$90,000	0904/0214	WD	V	Q	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

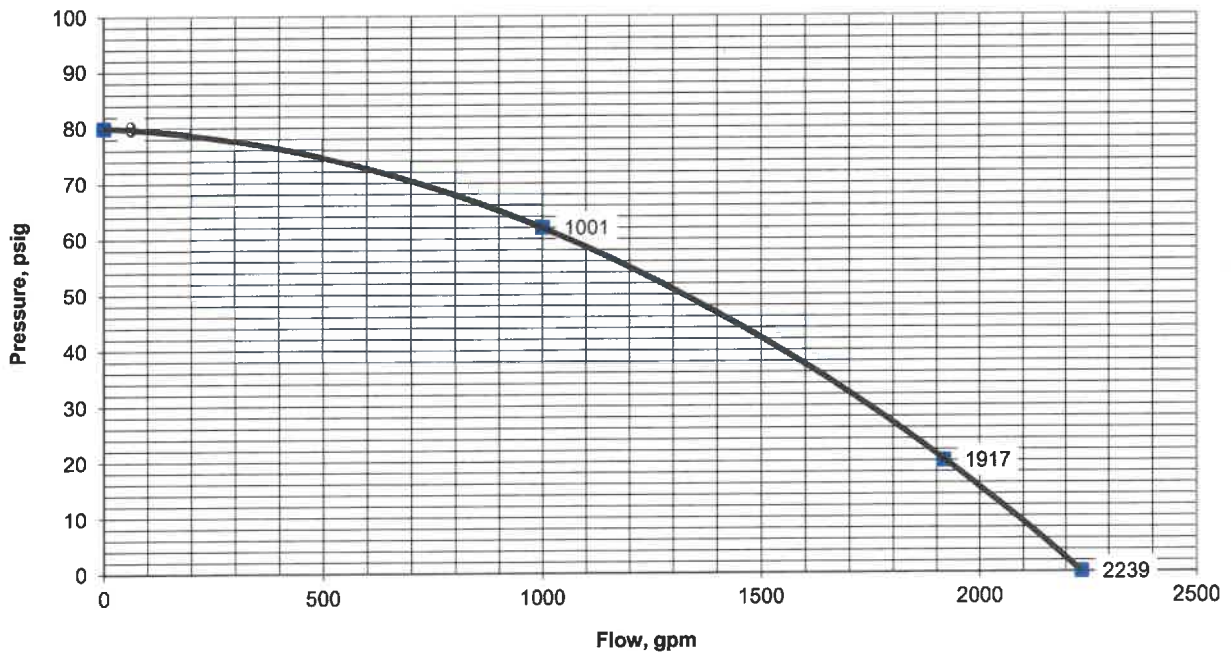
Code	Desc	Units	Adjustments	Eff Rate	Land Value
1000	VACANT COMMERCIAL (MKT)	60,365.000 SF (1.385 AC)	1.0000/1.0000 1.0000/.3200000 /	\$1 /SF	\$57,950

City of Lake City Water flow report

HYDRANT # & LOCATION: **4424 NW American Lane** DATE: **10/4/2021**
 TEST BY: **Al/Penny** Day: **Monday** Time: **9:00** Minutes: **2**
 WATER SUPPLIED BY: **Municipal**
 PURPOSE OF TEST: **request**

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	2.5	2.5	2.5
COEFFICIENT:	0.8		
PITOT READING:	45		
GPM:	1001	0	0
TOTAL FLOW DURING TEST:	1001 GPM		
STATIC READING:	80 PSI	RESIDUAL:	62 PSI
RESULTS: AT 20 PSI RESIDUAL	1917 GPM		AT 0 PSI 2239 GPM
ESTIMATED CONSUMPTION:	2001 GAL.		
REMARKS:			



Fire Flow Requirement: NFPA - 1500 gpm @ 20 psi residual pressure

1917 gpm > 1500 gpm

fire flow sufficient



PITMAN ENGINEERING

SITE PLAN APPLICATION ITEMS 5-6 – TERRELL MEDICAL OFFICE

5. Concurrency Impact Analysis

Each of the following are estimates on the predicted capacity required by the proposed development. Per discussions with City department heads, capacity is available for each usage as shown below.

- Water:

250-gal x 2 practitioners + 15-gal x 6 employees
Total water used per day = **590 gallons per**

- Sewer:

250-gal x 2 practitioners + 15-gal x 6 employees
Total sewage flow per day = **590 gallons**

- Transportation: (ITE CODE 720)

3.46 per 1,000 SF @ 4,376 = $(3.46 \times 4.38) = 15.15$ trips/day
Total trips generated per day = **16 trips**

- Solid Waste:

1lb per 100 SF @ 4,376 = $(4,376/100) \times 7 =$
...Total solid waste per week = **306 pounds**

6. Comprehensive Plan Consistency Analysis

The proposed development is consistent with all elements of the City's Comprehensive Plan. Activities to take place fall within the allowance of current Zoning and Land Use categories. Proposed development will offer a value-added service (Medical Office) opportunity for the surrounding areas.





PITMAN ENGINEERING

LEGAL DESCRIPTION

PARCEL 34-3S-16-02461-512

THE WEST 103 FEET OF LOT 12 AND ALL OF LOT 13, PLANTATION VILLAGE SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF, AS RECORDED IN PLAT BOOK 6, PAGE(S) 210 AND 211, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SUBJECT TO A 10' UTILITY EASEMENT ALONG THE STREET AND A 5' UTILITY EASEMENT ON EACH SIDE OF THE PRIOR EAST LOT LINE OF PARCEL # 13 AND WEST LOT LINE OF PARCEL # 12, AS RECORDED IN ORB 866 PAGE 1321, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.



This Instrument Prepared By:
Michael H. Harrell
Abstract Trust Title, LLC
283 NW Cole Terrace
Lake City, FL 32055

Inst: 202212002197 Date: 02/03/2022 Time: 3:39PM
Page 1 of 2 B: 1458 P: 1378, James M Swisher Jr, Clerk of Court
Columbia, County, By: VC *JS*
Deputy Clerk Doc Stamp-Deed: 462.00

ATT# 4-11431

Warranty Deed

LLC to Individual or Corporation or Trust

THIS WARRANTY DEED made this 3rd day of February, 2022, by A to Z Enterprises, LLC, a Florida Limited Liability Company, hereinafter called the grantor, to David C. Terrell, Jr. APRN, PA, a Florida Corporation, whose post office address is: 221 SW Stonegate Terrace #102, Lake City, FL 32024 hereinafter called the grantee:

(Wherever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives and assigns of individuals, and the successors and assigns of corporation)

WITNESSETH that the Grantor, for and in consideration of the sum of \$10.00 and other valuable considerations, receipt whereof is hereby acknowledged, hereby grants, bargains, sells, aliens, remises, releases, conveys, and confirms unto the Grantee, all that certain land situate in COLUMBIA County, Florida:

The West 103 feet of Lot 12 and all of Lot 13, Plantation Village Subdivision, according to the map or plat thereof, as recorded in Plat Book 6, Page(s) 210 and 211, of the Public Records of Columbia County, Florida.

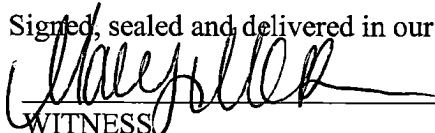
TOGETHER with all tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND the Grantor hereby covenants with said Grantee that the Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever; and that said land is free of all encumbrances, except taxes accruing subsequent to the prior year.

IN WITNESS WHEREOF, the said grantor has signed and sealed these presents the day and year first above written.

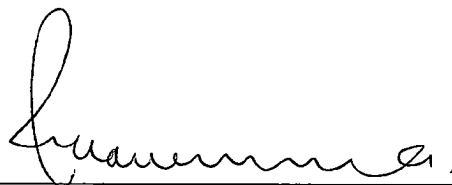
Signed, sealed and delivered in our presence:



WITNESS

Mary McRae

PRINTED NAME



Rizwana Thanawala, as Manager of A to Z Enterprises, LLC, a Florida Limited Liability Company



WITNESS

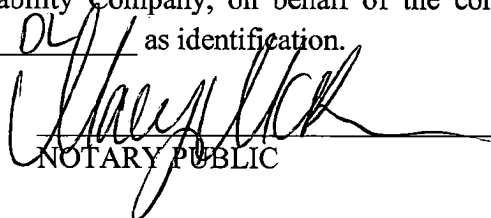
Jessica Emen

PRINTED NAME

STATE OF FLORIDA
COUNTY OF COLUMBIA

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 3rd day of February, 2022, by Rizwana Thanawala, as Manager of A to Z Enterprises, LLC, a Florida Limited Liability Company, on behalf of the company, who is personally known to me or has produced 04 as identification.

(SEAL)



NOTARY PUBLIC

My Commission Expires:



MACY McRAE
Notary Public
State of Florida
Comm# HH206033
Expires 12/8/2025



GROWTH MANAGEMENT DEPARTMENT
 205 North Marion Ave, Lake City, FL 32055
 Phone: 386-719-5750
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, David Charles Terrell Jr. (owner name), owner of property parcel number 34-3S-16-02461-512 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Brian Pitman, PE	1. <i>Brian Pitman</i>
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

D Terrell Owner Signature (Notarized) 11-22-22^{OT} Date

NOTARY INFORMATION:
 STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is David Terrell, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 22nd day of November, 2022.

Lisa McInnis
 NOTARY'S SIGNATURE

(Seal/Stamp)



Columbia County Tax Collector

generated on 10/10/2022 10:32:01 AM EDT

Tax Record

Last Update: 10/10/2022 10:29:31 AM EDT

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02461-512	REAL ESTATE	2021			
Mailing Address A TO Z ENTERPRISES LLC 6614 NW 50TH LANE GAINESVILLE FL 32653		Property Address 4327 AMERICAN LAKE CITY GEO Number 343S16-02461-512			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
<u>Legal Description (click for full description)</u>					
34-3S-16 1000/10001.39 Acres THE WEST 103 FT OF LOT 12 & ALL LOT 13 PLANTATION VILLAGE S/D. ORB 816-2412, 904-214, QC 1141-607					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	57,950	0	\$57,950	\$452.88
CITY OF LAKE CITY	4.9000	57,950	0	\$57,950	\$283.96
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	57,950	0	\$57,950	\$43.35
LOCAL	3.6430	57,950	0	\$57,950	\$211.11
CAPITAL OUTLAY	1.5000	57,950	0	\$57,950	\$86.92
SUWANNEE RIVER WATER MGT DIST	0.3615	57,950	0	\$57,950	\$20.95
LAKE SHORE HOSPITAL AUTHORITY	0.0000	57,950	0	\$57,950	\$0.00
Total Millage		18.9675	Total Taxes		\$1,099.17
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$50.40
Total Assessments					\$50.40
Taxes & Assessments					\$1,149.57
If Paid By				Amount Due	
				\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
11/20/2021	PAYMENT	9921201.0001	2021	\$1,103.59

Prior Years Payment History

Prior Year Taxes Due

NO DELINQUENT TAXES

File Attachments for Item:

v. CPA22-09 and Z22-07- Petitions submitted by Carol Chadwick (agent) for Anjan Viplav (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Moderate to Residential High Density and changing the zoning district from Residential Single Family-2 to Residential Multi-Family 2 on property described, as follows: **Parcel No. 08045-000**.



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386) 719-5750
 E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY

Application # CPA 22-09
 Application Fee \$ 1500.00
 Receipt No. _____
 Filing Date 12/21/22
 Completeness Date _____

COMPREHENSIVE PLAN AMENDMENT

Small Scale: \$750.00 Large Scale: \$1,500.00

A. PROJECT INFORMATION

1. Project Name: Tennis Forever
2. Address of Subject Property: 2189 SW Bascom Norris Drive, Lake City, FL
3. Parcel ID Number(s): 06-4S-17-08045-000
4. Existing Future Land Use Map Designation: Residential-moderate
5. Proposed Future Land Use Map Designation: Residential-high
6. Zoning Designation: RSF-2
7. Acreage: 22.05
8. Existing Use of Property: vacant
9. Proposed use of Property: Multi-family housing

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: (307) 680.1772 Fax: () Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Tennis forever LLC
 Mailing Address: PO Box 219
 City: Lake City State: FL Zip: 32056
 Telephone: (321) 315.5319 Fax: () Email: anjanviplav@icloud.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: na
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
4. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. Proof of Ownership (i.e. deed).
7. Agent Authorization Form (signed and notarized).
8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
 - a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = \$750.00
 - b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = \$1,500.00 or actual city cost
 - c. Text Amendment to the Comprehensive Plan = \$750.00

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

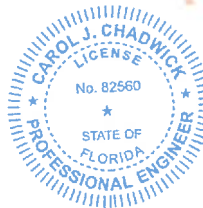
THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

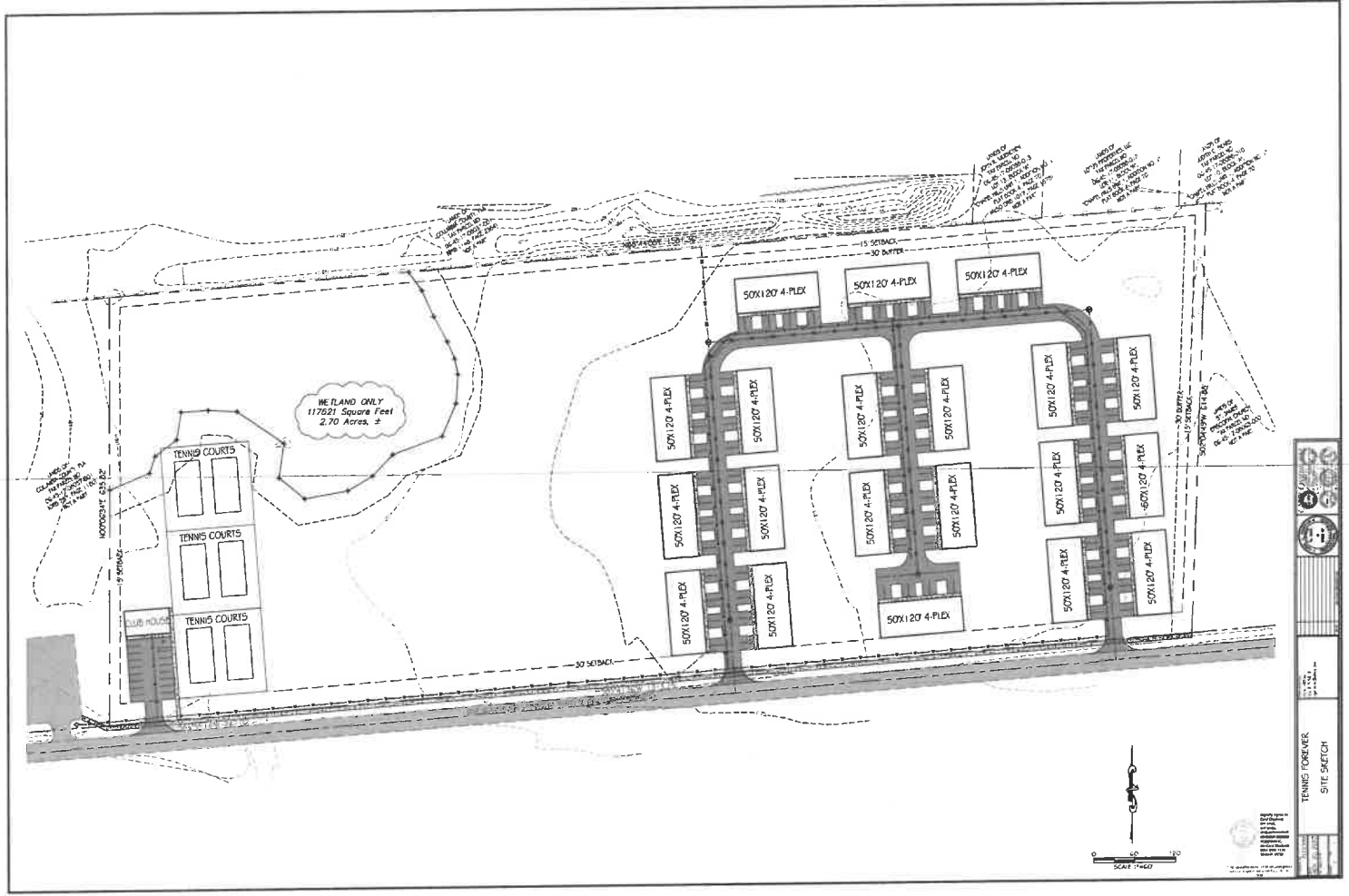
Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol
Chadwick
Date: 2022.12.19
18:04:58 -05'00'





CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Tennis Forever Concurrency Impact Analysis

The site is currently vacant. The maximum allowed dwelling units is 88. Two bedroom dwelling units were used for these calculations.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 220
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table I
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table I
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

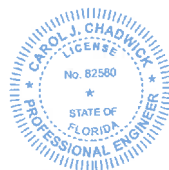
Summary of analyses:

- Trip generation: 585 ADT & 55 Peak PM trips
- Potable Water: 17600 gallons per day
- Potable Water: 17600 gallons per day
- Solid Waste: 128 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick

DN: c=US, o=Florida,

dnQualifier=A01410D0000017EB6

D924CE0005954C, cn=Carol

Chadwick

Date: 2022.12.19 18:04:24 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22399



**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	DU	Total ADT	Total PM Peak
220	Apartment	6.65	0.62	88.00	585.20	54.56

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
---------------------------	---	-----------------------------------	-------------------------

Apartment	200.00	88.00	17600.00
-----------	--------	-------	----------

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
---------------------------	---	-----------------------------------	-------------------------

Apartment	200.00	88.00	17600.00
-----------	--------	-------	----------

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	bedrooms	Total (Tons Per Year)
Apartment	4.00	176.00	128.00

**4# per bedroom per day

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 19, 2022

re: Tennis Forever Comprehensive Plan Consistency Analysis

The Tennis Forever proposed comprehensive plan amendment change is consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject property fronts has direct access to SW Bascom Norris Drive. No traffic will impact any residential neighborhoods.

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject property fronts has direct access to SW Bascom Norris Drive which is an arterial road.

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: Multi-family housing is needed in this area due to the amount of people relocating here.

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

□

Consistency: The owner would like to begin development as soon a reasonably possible.

- Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proximity of the site to existing amenities will not cause any adverse effects to existing land uses.

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

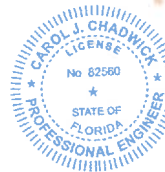
Consistency: the site will be served by existing sewer and water systems.

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed commercial development is compatible with the adjacent property and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed
 by Carol
 Chadwick
 DN: c=US,
 o=Florida,
 dnQualifier=A01
 410D0000017EB6
 D924CE0005954
 C, cn=Carol
 Chadwick
 Date: 2022.12.19
 18:04:01 -05'00'

Carol Chadwick, P.E.



Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/6/2022

Parcel: << 06-4S-17-08045-000 (45451) >>

Aerial Viewer Pictometry Google Maps

2019 2016 2013 2010 2007 2005 Sales

Owner & Property Info

Owner	TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY, FL 32056		
Site	2183 SW Dr, LAKE CITY 2069 SW BASCOM NORRIS Dr		
Description*	COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682- 439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD ...more>>>		
Area	22.05 AC	S/T/R	06-4S-17
Use Code**	NON AG ACREAGE (9900)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$149,400	Mkt Land	\$496,125
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$149,400	Just	\$496,125
Class	\$0	Class	\$0
Appraised	\$149,400	Appraised	\$496,125
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$149,400	Assessed	\$496,125
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$149,400 city:\$149,400 other:\$0 school:\$149,400	Total Taxable	county:\$496,125 city:\$496,125 other:\$0 school:\$496,125



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
7/14/2022	\$100	1471/1278	WD	V	U	11
5/27/2020	\$432,500	1412/0723	WD	V	Q	01
5/27/2020	\$185,400	1412/0718	WD	V	Q	01
5/14/2020	\$100	1412/0710	WD	V	U	30
2/6/2002	\$100	0948/0436	WD	V	U	01

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	6.640 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$149,400
9900	AC NON-AG (MKT)	15.410 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$346,725

22-0572

Exhibit "A"

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 85°45'49" W ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N 2°04'49" E, 30.18 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S 85°45'49" W ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19 FEET, THENCE S 85°56'04" W STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N 0°09'46" E, 612.96 FEET, THENCE N 85°46'54" E, 1580.93 FEET, THENCE S 2°04'49" W, 615.20 FEET TO THE POINT OF BEGINNING. SAID LANDS BEING A PART OF THE SW ¼ OF SE ¼ AND A PART OF THE SW ¼ OF THE SE ¼ AND A PART OF THE SE ¼ OF SW ¼.

Prepared by:

Branden L. Strickland, Esq.
Strickland Law Firm, P.L.
283 NW Cole Terrace
Lake City, FL 32055
File #: 22-0572

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, names, addresses, tax identification number and legal description furnished by parties.

Inst: 202212014112 Date: 07/19/2022 Time: 3:46PM
Page 1 of 3 B: 1471 P: 1278, James M Swisher Jr, Clerk of Court
Columbia County, By: VC *W*
Deputy Clerk Doc Stamp-Deed: 0.70

Warranty Deed

THIS WARRANTY DEED, made this 19 day of July, 2022, between North Florida International School LLC, a Florida Limited Liability Company, and Tennis Forever Limited Liability Company, a Florida Limited Liability Company (herein Grantor), to Tennis Forever Limited Liability Company, a Florida Limited Liability Company, whose address is 1361 SW Sisters Welcome Road, Lake City, FL 32025 (hereinafter Grantee).

The terms Grantor and Grantee, shall include their respective heirs, devisees, personal representatives, successors, and assigns; any gender shall include all genders, the plural number shall include the singular and the singular number shall include the plural.

WITNESSETH:

That said Grantor, for and in consideration of the sum of \$10.00, and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant and convey to Grantees forever the following described property in Columbia County, Florida:

See Exhibit "A" Attached Hereto and by this Reference Made a Part Thereof.

SUBJECT TO all reservations, restrictions and easements of record, if any.

SUBJECT to easements and restrictions of record and taxes accruing subsequent to the prior year.

TOGETHER WITH ALL the tenements, hereditaments, privileges, appurtenances, thereto belonging or in any way appertaining to the said property.


Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

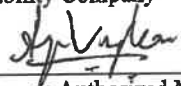
IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed on this date the year first above written.

Signed, Sealed, and Delivered in the Presence of:


WITNESS Madison Williams


WITNESS Michael H. Harrell


Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company


Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company

STATE OF FLORIDA
COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, by means of physical presence, personally appeared Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company and Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company, to me known to be the person described in and who executed the foregoing instrument that he/she acknowledged before me that he executed the same, and who provided DL as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 19th day of July, 2022.

(SEAL)


NOTARY PUBLIC

My Commission Expires:



MICHAEL H. HARRELL
Notary Public
State of Florida
Comm# HH203548
Expires 11/30/2025



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company

TENNIS FOREVER LIMITED LIABILITY COMPANY

Filing Information

Document Number	L15000082757
FE/EIN Number	47-4110918
Date Filed	05/11/2015
Effective Date	05/11/2015
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	09/29/2016

Principal Address

250 NW MAIN BLVD
UNIT 219
Lake City, FL 32056

Changed: 07/18/2022

Mailing Address

P.O. BOX 219
Lake City, FL 32055

Changed: 07/18/2022

Registered Agent Name & Address

VIPLAV, ANJAN
1361 SW SISTERS WELCOME RD
LAKE CITY, FL 32025

Name Changed: 09/29/2016

Address Changed: 07/31/2015

Authorized Person(s) Detail

Name & Address

Title Authorized Member

VIPLAV, ANJAN
1363 SW Sisters Welcome Road
Lake City, FL 32025

Annual Reports

Report Year	Filed Date
2021	03/29/2021
2021	04/29/2021
2022	03/23/2022

Document Images

03/23/2022 – ANNUAL REPORT	View image in PDF format
04/29/2021 – AMENDED ANNUAL REPORT	View image in PDF format
03/29/2021 – ANNUAL REPORT	View image in PDF format
01/16/2020 – ANNUAL REPORT	View image in PDF format
04/25/2019 – ANNUAL REPORT	View image in PDF format
04/16/2018 – ANNUAL REPORT	View image in PDF format
04/05/2017 – ANNUAL REPORT	View image in PDF format
09/29/2016 – REINSTATEMENT	View image in PDF format
08/14/2015 – CORLCRACHG	View image in PDF format
05/11/2015 – Florida Limited Liability	View image in PDF format

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Site Plan
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: ANJAN VIPLAV

Applicant/Owner's Title: MEMBER.

On Behalf of: TENNIS FOREVER LLC
(Company Name, if applicable)

Telephone: 3213155319 Date: 11/01/2022

Applicant/Owner's Signature: [Signature]

Print Name: ANJAN VIPLAV

STATE OF FLORIDA
COUNTY OF COLUMBIA

The Foregoing instrument was acknowledged before me this 1st day of NOVEMBER, 20 22, by _____, whom is personally known by me OR produced identification . Type of Identification Produced DRIVING LICENSE.

[Signature]
(Notary Signature)

(SEAL)



Columbia County Tax Collector

generated on 12/7/2022 4:15:22 PM EST

Tax Record

Last Update: 12/7/2022 4:14:51 PM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R08045-000	REAL ESTATE	2022			
Mailing Address		Property Address			
TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY FL 32056		2183 LAKE CITY			
		GEO Number			
		064S17-08045-000			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
06-4S-17 9900/000022.05 Acres COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD 1471-1278,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	496,125	0	\$496,125	\$2,431.01
BOARD OF COUNTY COMMISSIONERS	7.8150	496,125	0	\$496,125	\$3,877.22
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	496,125	0	\$496,125	\$371.10
LOCAL	3.2990	496,125	0	\$496,125	\$1,636.72
CAPITAL OUTLAY	1.5000	496,125	0	\$496,125	\$744.19
SUWANNEE RIVER WATER MGT DIST	0.3368	496,125	0	\$496,125	\$167.09
LAKE SHORE HOSPITAL AUTHORITY	0.0001	496,125	0	\$496,125	\$0.05
Total Millage		18.5989	Total Taxes		\$9,227.38
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$50.40
Total Assessments					\$50.40
Taxes & Assessments					\$9,277.78
If Paid By		Amount Due			
11/30/2022		\$8,906.67			
12/31/2022		\$8,999.45			
1/31/2023		\$9,092.22			
2/28/2023		\$9,185.00			
3/31/2023		\$9,277.78			
<u>Prior Years Payment History</u>					
Prior Year Taxes Due					
NO DELINQUENT TAXES					

[Click Here To Pay Now](#)



GROWTH MANAGEMENT
 205 North Marion Ave
 Lake City, Florida 32055
 Telephone (386) 719-5750
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # Z 22-07
 Application Fee \$ 1000.00
 Receipt No. 2023-00015872
 Filing Date 12/8/22
 Completeness Date _____

Less Than or Equal to 10 Acres: \$750.00 Greater Than 10 Acres: \$1,000.00 or actual cost

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: Tennis Forever
2. Address of Subject Property: 2189 SW Bascom Norris Drive, Lake City, FL
3. Parcel ID Number(s): 06-4S-17-08045-000
4. Future Land Use Map Designation: Residential-moderate
5. Existing Zoning Designation: RSF-2
6. Proposed Zoning Designation: RMF-2
7. Acreage: 22.05
8. Existing Use of Property: Vacant
9. Proposed use of Property: Multi-family housing

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: () 307.680.1772 Fax: () Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Tennis forever LLC
 Mailing Address: PO Box 219
 City: Lake City State: FL Zip: 32056
 Telephone: (321) 315.5319 Fax: () Email: anjanviplav@icloud.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?

If yes, list the names of all parties involved: na

If yes, is the contract/option contingent or absolute: Contingent Absolute

2. Has a previous application been made on all or part of the subject property: Yes No

Future Land Use Map Amendment: Yes _____ No _____

Future Land Use Map Amendment Application No. CPA _____

Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____

Variance: Yes _____ No _____

Variance Application No. _____

Special Exception: Yes _____ No _____

Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

Boundary Sketch or Survey with bearings and dimensions.

Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).

Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.

An Analysis of the Requirements of Article 12 of the Land Development Regulations:

- a. Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.
- b. The existing land use pattern.
- c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
- d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
- e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
- f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
- g. Whether the proposed change will adversely influence living conditions in the neighborhood.
- h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
- i. Whether the proposed change will create a drainage problem.
- j. Whether the proposed change will seriously reduce light and air to adjacent areas.

- k. Whether the proposed change will adversely affect property values in the adjacent area.
- l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
- m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
- n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
- o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.
- p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
 - i. The need and justification for the change.
 - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

- 15. ✓ Legal Description with Tax Parcel Number (In Microsoft Word Format).
- 16. ✓ Proof of Ownership (i.e. deed).
- 17. ✓ Agent Authorization Form (signed and notarized).
- 18. ✓ Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
- 19. ✓ Fee. The application fee for a Site Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

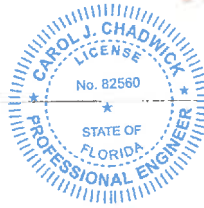
A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol _____
Chadwick
Date: 2022.12.07 Date
18:06:36 -05'00'

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Signature of Notary

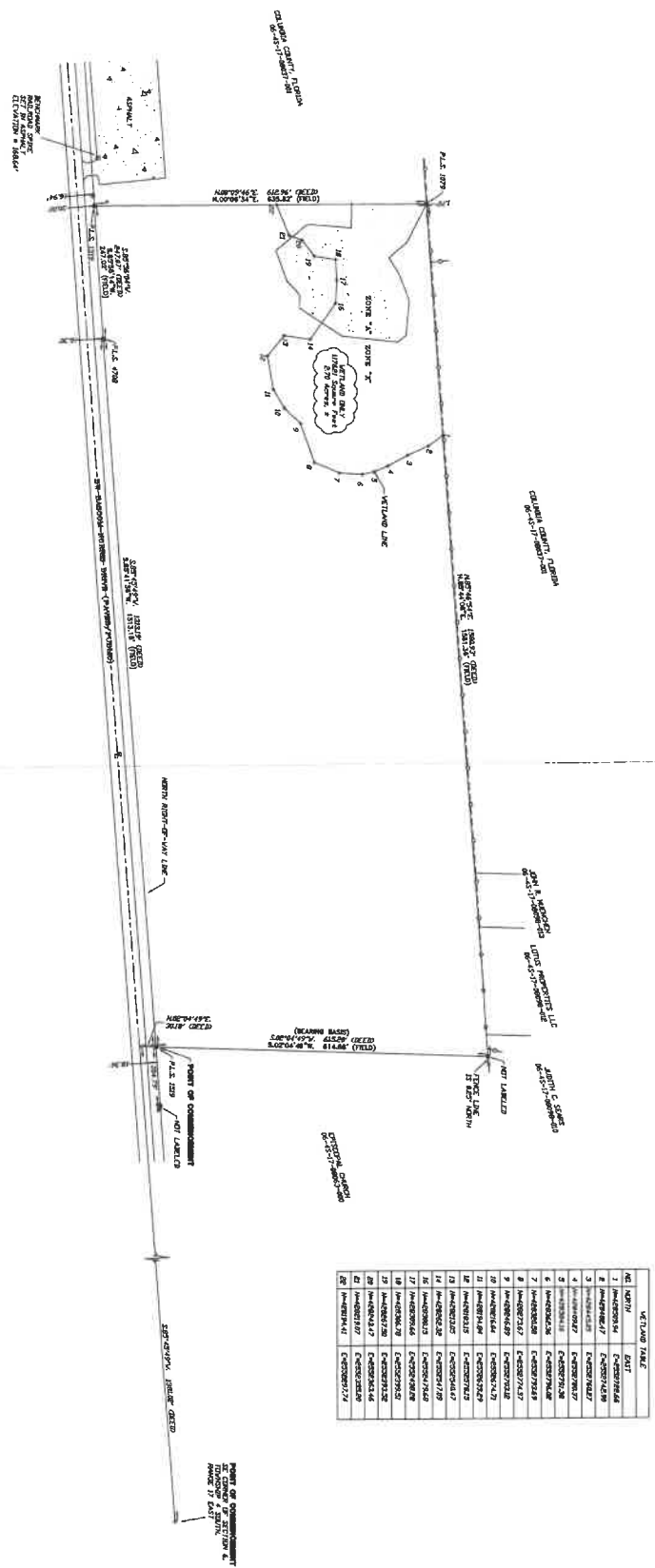
Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced _____

A BOUNDARY SURVEY IN SECTION 6, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA

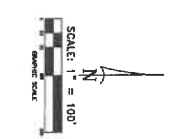
1. THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S., AND THE RULES OF THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 47C, F.A.C.
2. THE PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE DETERMINED BY THE MEASUREMENT OF ANGLES AND DISTANCES.
3. THE PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE DETERMINED BY THE MEASUREMENT OF ANGLES AND DISTANCES.
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9. THE PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE DETERMINED BY THE MEASUREMENT OF ANGLES AND DISTANCES.
10. THE PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE DETERMINED BY THE MEASUREMENT OF ANGLES AND DISTANCES.

RESURVEYED
CONFORMANCE WITH THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S., AND THE RULES OF THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 47C, F.A.C.
THIS SURVEY WAS CONDUCTED IN ACCORDANCE WITH THE PROVISIONS OF THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S., AND THE RULES OF THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 47C, F.A.C.
THE PROPERTY BOUNDARIES SHOWN ON THIS PLAN WERE DETERMINED BY THE MEASUREMENT OF ANGLES AND DISTANCES.



WETLAND STATE

NO.	UNITS	DATE
1	1/16/2020	20200116
2	1/16/2020	20200116
3	1/16/2020	20200116
4	1/16/2020	20200116
5	1/16/2020	20200116
6	1/16/2020	20200116
7	1/16/2020	20200116
8	1/16/2020	20200116
9	1/16/2020	20200116
10	1/16/2020	20200116
11	1/16/2020	20200116
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18	1/16/2020	20200116
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20	1/16/2020	20200116
21	1/16/2020	20200116
22	1/16/2020	20200116



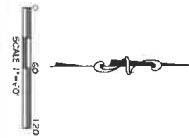
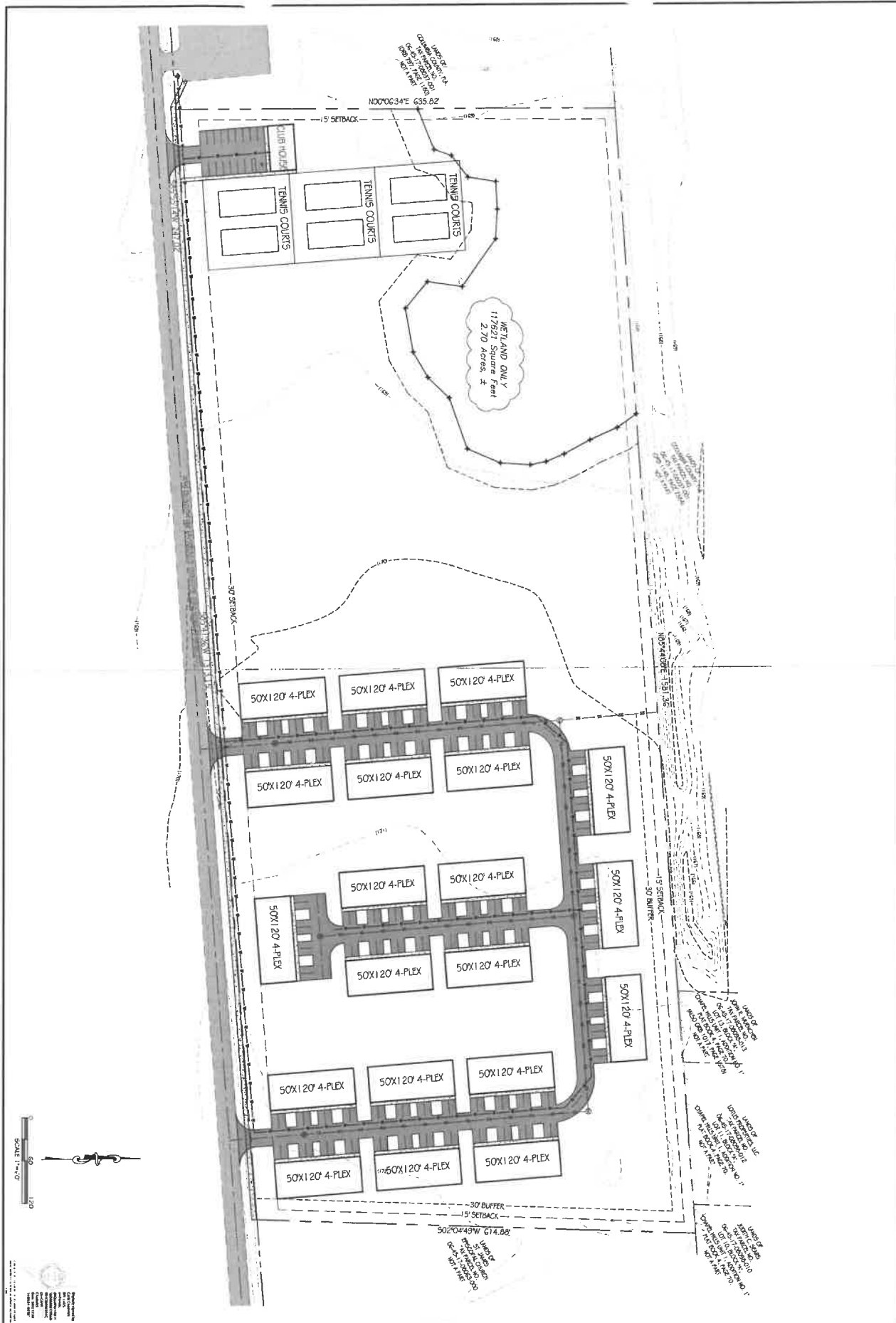
SYMBOL LEGEND

—	BOUNDARY LINE
- - -	PROPERTY LINE
---	ADJACENT PROPERTY
•	ADJACENT PROPERTY CORNER
○	ADJACENT PROPERTY CORNER
△	ADJACENT PROPERTY CORNER
□	ADJACENT PROPERTY CORNER
◇	ADJACENT PROPERTY CORNER
+	ADJACENT PROPERTY CORNER
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•	ADJACENT PROPERTY CORNER
○	ADJACENT PROPERTY CORNER
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△	ADJACENT PROPERTY CORNER
□	ADJACENT PROPERTY CORNER
◇	ADJACENT PROPERTY CORNER
+	ADJACENT PROPERTY CORNER
×	ADJACENT PROPERTY CORNER

CERTIFIED TO:
FIELD BOOK: _____ PAGE(S): _____
JOB NUMBER: L-26697

SURVEYOR'S CERTIFICATION
I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE HIGHEST TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 47C, F.A.C. IN ACCORDANCE WITH THE FLORIDA SURVEYING ACT, CHAPTER 473, F.S., AND THE RULES OF THE BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS, CHAPTER 47C, F.A.C.
DATE: 1/16/2020
FIELD SURVEY DATE: 1/16/2020
BRITT SURVEYING & MAPPING, LLC
1735 W. US HIGHWAY 90, SUITE 112
LAKE CITY, FLORIDA 32025
PH: (386) 752-5573
FAX: (386) 752-5573
WWW.BRITTSURVEYING.COM

BRITT SURVEYING & MAPPING, LLC
LAND SURVEYORS AND MAPPERS, L.B. # 0016
2086 SW MAIN BLVD., SUITE 112
LAKE CITY, FLORIDA 32025
TELEPHONE: (386) 752-7163 FAX: (386) 752-5573 www.brittsurveying.com



PROJECT: TENNIS FOREVER
 DATE: 10/15/2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

TENNIS FOREVER SITE SKETCH

PROJECT: TENNIS FOREVER
 DATE: 10/15/2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]

PROJECT: TENNIS FOREVER
 DATE: 10/15/2014
 DRAWN BY: [Name]
 CHECKED BY: [Name]
 APPROVED BY: [Name]



CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Tennis Forever Concurrency Impact Analysis

The site is currently vacant. The maximum allowed dwelling units is 88. Two bedroom dwelling units were used for these calculations.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 220
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

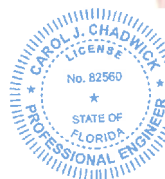
Summary of analyses:

- Trip generation: 585 ADT & 55 Peak PM trips
- Potable Water: 17600 gallons per day
- Potable Water: 17600 gallons per day
- Solid Waste: 128 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol
Chadwick
Date: 2022.12.07
18:06:23 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22399

□

**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	DU	Total ADT	Total PM Peak
220	Apartment	6.65	0.62	88.00	585.20	54.56

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	200.00	88.00	17600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	200.00	88.00	17600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	bedrooms	Total (Tons Per Year)
Apartment	4.00	176.00	128.00

**4# per bedroom per day

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Tennis Forever meets of the Requirements of Article 12 of the Land Development Regulations

The Tennis Forever proposed zoning change is consistent with Lake City's requirements of Article 12 of the Land Development Regulations.

- a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.

- b) The existing land use pattern.

Analysis: The proposed zoning change would create a multi-family parcel with direct access to SW Bascom Norris Drive. It is immediately adjacent to the sports complex with only a small portion adjacent to single family residential. Other parcels with zoning are located in the area but are also isolated from sites with the same zoning.

- c) Possible creation of an isolated district unrelated to adjacent and nearby districts.

Analysis: Other parcels with zoning are located in the area but are also isolated from sites with the same zoning. No single family residential zoned property would be impacted.

- d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.

Analysis: The site is located on SW Bascom Norris Drive which is an arterial road. The City of Lake City was consulted prior to submitting this application and are aware of the water and sewer demand. Additional students may be present in the district as a result of the development.

- e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

Analysis: The proposed zoning change would create a multi-family parcel with direct access to SW Bascom Norris Drive. It is immediately adjacent to the sports complex with only a small portion adjacent to single family residential. Other parcels with zoning are located in the area but are also isolated from sites with the same zoning.

- f) Whether changed or changing conditions make the passage of the proposed amendment

□

necessary.

Analysis: Housing is needed in the area due to the increase in people moving to the area.

- g) Whether the proposed change will adversely influence living conditions in the neighborhood.

Analysis: The proposed change will not adversely affect living condition in the neighborhood as the only access will be directly from SW Bascom Norris Drive.

- h) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

Analysis: Increase in traffic will be on an arterial road.

- i) Whether the proposed change create a drainage problem.

Analysis: No drainage problems will be created with the zoning change.

- j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

Analysis: The site development will not reduction of light or air to adjacent areas.

- k) Whether the proposed change will adversely affect the property values in the adjacent area.

Analysis: The zoning change will not adversely affect property values in the area.

- l) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties as the area.

- m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

Analysis: The proposed change will not grant special privileges to the owner.

- n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

Analysis: The owners wants to construct multi-family housing which is not compatible with the current zoning.

- o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the County.

Analysis: Overall, there is a need for multi-family properties to service the growth in the area.

- p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations the Planning and Zoning Board shall consider and study:

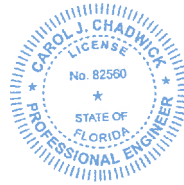
□

- i. The need and justification for the change.
- ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

Analysis: The owner purchased this property some years ago and would like to develop it.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
DN: c=US, o=Florida,
dnQualifier=A01410D0000017EB6
D924CE0005954C, cn=Carol
Chadwick
Date: 2022.12.07 18:06:02 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL22399

□

Parcel Number: 06-4S-17-08045-000

Description:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6,
TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S85D45'49"W
ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N02D04'49"E, 30.18 FEET TO THE
NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S85D45'49"W
ALONG SAID NORTH RIGHT-OF-WAY LINE 1313.19 FEET, THENCE S85D56'04"W STILL ALONG SAID NORTH
RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N00D09'46"E, 612.96 FEET, THENCE N85D46'54"E, 1580.93
FEET, THENCE S02D04'49"W, 615.20 FEET TO THE POINT OF BEGINNING.

*DESCRIPTION:
COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6,
TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA
COUNTY, FLORIDA AND RUN THENCE S 85°45'49" W
ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02
FEET, THENCE N 2°04'49" E, 30.18 FEET TO THE
NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO
THE POINT OF BEGINNING, THENCE S 85°45'49" W
ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19
FEET, THENCE S 85°56'04" W STILL ALONG SAID
NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N
0°09'46" E, 612.96 FEET, THENCE N 85°46'54"E,
1580.93 FEET, THENCE S 2°04'49" W, 615.20 FEET TO
THE POINT OF BEGINNING. SAID LANDS BEING A PART
OF THE SW ¼ OF SE ¼ AND A PART OF THE SE ¼
OF SW ¼.*

22-0572

Exhibit "A"

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 85°45'49" W ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N 2°04'49" E, 30.18 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S 85°45'49" W ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19 FEET, THENCE S 85°56'04" W STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N 0°09'46" E, 612.96 FEET, THENCE N 85°46'54" E, 1580.93 FEET, THENCE S 2°04'49" W, 615.20 FEET TO THE POINT OF BEGINNING. SAID LANDS BEING A PART OF THE SW ¼ OF SE ¼ AND A PART OF THE SW ¼ OF THE SE ¼ AND A PART OF THE SE ¼ OF SW ¼.

Prepared by:
Branden L. Strickland, Esq.
Strickland Law Firm, P.L.
283 NW Cole Terrace
Lake City, FL 32055
File #: 22-0572

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, names, addresses, tax identification number and legal description furnished by parties.

Inst: 202212014112 Date: 07/19/2022 Time: 3:46PM
Page 1 of 3 B: 1471 P: 1278, James M Swisher Jr, Clerk of Court
Columbia County, By: VC *VC*
Deputy Clerk Doc Stamp-Deed: 0.70

Warranty Deed

THIS WARRANTY DEED, made this 1st day of July, 2022, between North Florida International School LLC, a Florida Limited Liability Company, and Tennis Forever Limited Liability Company, a Florida Limited Liability Company (herein Grantor), to Tennis Forever Limited Liability Company, a Florida Limited Liability Company, whose address is 1361 SW Sisters Welcome Road, Lake City, FL 32025 (hereinafter Grantee).

The terms Grantor and Grantee, shall include their respective heirs, devisees, personal representatives, successors, and assigns; any gender shall include all genders, the plural number shall include the singular and the singular number shall include the plural.

WITNESSETH:

That said Grantor, for and in consideration of the sum of \$10.00, and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant and convey to Grantees forever the following described property in Columbia County, Florida:

See Exhibit "A" Attached Hereto and by this Reference Made a Part Thereof.

SUBJECT TO all reservations, restrictions and easements of record, if any.

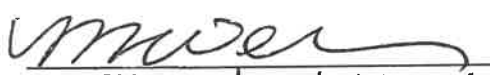
SUBJECT to easements and restrictions of record and taxes accruing subsequent to the prior year.


TOGETHER WITH ALL the tenements, hereditaments, privileges, appurtenances, thereto belonging or in any way appertaining to the said property.

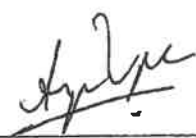
Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

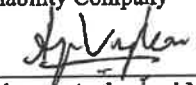
IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed on this date the year first above written.

Signed, Sealed, and Delivered in the Presence of:


WITNESS Madison Williams


WITNESS Michael H. Harrell


Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company


Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company

STATE OF FLORIDA
COUNTY OF COLUMBIA


I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, by means of physical presence, personally appeared Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company and Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company, to me known to be the person described in and who executed the foregoing instrument that he/she acknowledged before me that he executed the same, and who provided DL as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 19th day of July, 2022.

(SEAL)


NOTARY PUBLIC

My Commission Expires:


MICHAEL H. HARRELL
Notary Public
State of Florida
Comm# HH203548
Expires 11/30/2025

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/6/2022

Parcel: << **06-4S-17-08045-000 (45451)** >>

Aerial Viewer Picometry Google Maps

Owner & Property Info

Owner	TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY, FL 32056		
Site	2183 SW Dr, LAKE CITY 2069 SW BASCOM NORRIS Dr		
Description*	COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD ...more>>>		
Area	22.05 AC	S/T/R	06-4S-17
Use Code**	NON AG ACREAGE (9900)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$149,400	Mkt Land	\$496,125
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$149,400	Just	\$496,125
Class	\$0	Class	\$0
Appraised	\$149,400	Appraised	\$496,125
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$149,400	Assessed	\$496,125
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$149,400 city:\$149,400 other:\$0 school:\$149,400	Total Taxable	county:\$496,125 city:\$496,125 other:\$0 school:\$496,125

Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
7/14/2022	\$100	1471/1278	WD	V	U	11
5/27/2020	\$432,500	1412/0723	WD	V	Q	01
5/27/2020	\$185,400	1412/0718	WD	V	Q	01
5/14/2020	\$100	1412/0710	WD	V	U	30
2/6/2002	\$100	0948/0436	WD	V	U	01

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	6.640 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$149,400
9900	AC NON-AG (MKT)	15.410 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$346,725



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company

TENNIS FOREVER LIMITED LIABILITY COMPANY

Filing Information

Document Number	L15000082757
FEI/EIN Number	47-4110918
Date Filed	05/11/2015
Effective Date	05/11/2015
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	09/29/2016

Principal Address

250.NW MAIN BLVD
UNIT 219
Lake City, FL 32056

Changed: 07/18/2022

Mailing Address

P.O. BOX 219
Lake City, FL 32055

Changed: 07/18/2022

Registered Agent Name & Address

VIPLAV, ANJAN
1361 SW SISTERS WELCOME RD
LAKE CITY, FL 32025

Name Changed: 09/29/2016

Address Changed: 07/31/2015

Authorized Person(s) Detail

Name & Address

Title Authorized Member

VIPLAV, ANJAN
1363 SW Sisters Welcome Road
Lake City, FL 32025

Annual Reports

Report Year	Filed Date
2021	03/29/2021
2021	04/29/2021
2022	03/23/2022

Document Images

03/23/2022 – ANNUAL REPORT	View image in PDF format
04/29/2021 – AMENDED ANNUAL REPORT	View image in PDF format
03/29/2021 – ANNUAL REPORT	View image in PDF format
01/16/2020 – ANNUAL REPORT	View image in PDF format
04/25/2019 – ANNUAL REPORT	View image in PDF format
04/16/2018 – ANNUAL REPORT	View image in PDF format
04/05/2017 – ANNUAL REPORT	View image in PDF format
09/29/2016 – REINSTATEMENT	View image in PDF format
08/14/2015 – CORLCRACHG	View image in PDF format
05/11/2015 – Florida Limited Liability	View image in PDF format

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Site Plan
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: ANJAN VIPLAV

Applicant/Owner's Title: MEMBER

On Behalf of: TENNIS FOREVER LLC
(Company Name, if applicable)

Telephone: 321 315 5319 Date: 11/01/2022

Applicant/Owner's Signature: [Signature]

Print Name: ANJAN VIPLAV

STATE OF FLORIDA
COUNTY OF COLUMBIA

The Foregoing instrument was acknowledged before me this 1st day of NOVEMBER, 20 22, by _____, whom is personally known by me OR produced identification . Type of Identification Produced DRIVING LICENSE.

[Signature]
(Notary Signature)

(SEAL)



Columbia County Tax Collector

generated on 12/7/2022 4:15:22 PM EST

Tax Record

Last Update: 12/7/2022 4:14:51 PM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R08045-000	REAL ESTATE	2022
Mailing Address TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY FL 32056	Property Address 2183 LAKE CITY GEO Number 064S17-08045-000	
Exempt Amount See Below	Taxable Value See Below	
Exemption Detail NO EXEMPTIONS	Millage Code 001	Escrow Code
Legal Description (click for full description) 06-4S-17 9900/000022.05 Acres COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD 1471-1278,		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Value
CITY OF LAKE CITY	4.9000	496,125
BOARD OF COUNTY COMMISSIONERS	7.8150	496,125
COLUMBIA COUNTY SCHOOL BOARD		
DISCRETIONARY	0.7480	496,125
LOCAL	3.2990	496,125
CAPITAL OUTLAY	1.5000	496,125
SUWANNEE RIVER WATER MGT DIST	0.3368	496,125
LAKE SHORE HOSPITAL AUTHORITY	0.0001	496,125
		Exemption Amount
		0
		Taxable Value
		\$496,125
		Taxes Levied
		\$2,431.01
		\$3,877.22
		\$371.10
		\$1,636.72
		\$744.19
		\$167.09
		\$0.05
Total Millage	18.5989	Total Taxes
		\$9,227.38
Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	\$50.40
	Total Assessments	\$50.40
	Taxes & Assessments	\$9,277.78
	If Paid By	Amount Due
	11/30/2022	\$8,906.67
	12/31/2022	\$8,999.45
	1/31/2023	\$9,092.22
	2/28/2023	\$9,185.00
	3/31/2023	\$9,277.78
Prior Years Payment History		
Prior Year Taxes Due		
NO DELINQUENT TAXES		

[Click Here To Pay Now](#)

Parcel Number: 06-4S-17-08045-000

Description:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6,

TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S85D45'49"W ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N02D04'49"E, 30.18 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S85D45'49"W ALONG SAID NORTH RIGHT-OF-WAY LINE 1313.19 FEET, THENCE S85D56'04"W STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N00D09'46"E, 612.96 FEET, THENCE N85D46'54"E, 1580.93 FEET, THENCE S02D04'49"W, 615.20 FEET TO THE POINT OF BEGINNING.

DESCRIPTION:

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 85°45'49" W ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N 2°04'49" E, 30.18 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S 85°45'49" W ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19 FEET, THENCE S 85°56'04" W STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N 0°09'46" E, 612.96 FEET, THENCE N 85°46'54"E, 1580.93 FEET, THENCE S 2°04'49" W, 615.20 FEET TO THE POINT OF BEGINNING. SAID LANDS BEING A PART OF THE SW ¼ OF SE ¼ AND A PART OF THE SE ¼ OF SW ¼.

Project Summary

Project Name: Tennis Forever

Project Number: CPA22-09 and Z22-07

Parcel Number: 08045-000

Project Notes

- Project type: Comp Plan Amendment and Re-zoning
- Future land use is: Residential-moderate
- Proposed future land use is: Residential-High
- Zoning designation is: Residential Single Family-2
- Proposed zoning is: Residential Multi-family-2
- Proposed use of the property: Multi-family Housing
- Land is conducive for use: Yes, per the LDR section 4.9.2.3. The parcel is not contiguous with other parcels in the residential multi-family district but is in close proximity.
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project Z22-08 is for a re-zoning and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has not concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 12/8/2022

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: CPA22-09 and Z22-07

Project Name: Tennis Forever

Project Address: 2189 SW Bascom Norris Dr

Project Parcel Number: 06-4S-17-08045-000

Owner Name: Tennis Forever LLC

Owner: Address: PO Box 219 Lake City, FL 32056

Owner Contact Information: telephone number 321-315-5319 e-mail anjanviplav@lcloud.com

Owner Agent Name: Carol Chadwick

Owner Agent Address: 1208 SW Fairfax Glen Lake City, FL 32025

Owner Agent Contact Information: telephone 307-680-1772 e-mail ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: property but is in close proximity.

property but is in close proximity.

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Will need to apply for a business license

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: _____

Permitting with county if value base is over \$4000

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: No commits at this time.

Sewer Department: Approved Disapproved Reviewed by: Cody Pridgeon

Comments: No commits at this time.

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: No commits at this time.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: No commits at this time.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Dwight Boozer

Comments: No Concerns at this time.

Police Department: Approve Disapprove Reviewed by: Chief Butler

Comments: PD has no concerns

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

File Attachments for Item:

vi. CPA22-08 and Z22-08- Petitions submitted by Carol Chadwick (agent) for Charles Stringham (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Low to Commercial and changing the zoning district from Residential Single Family-2 to Commercial Intensive on property described, as follows: **Parcel No. 05846-000.**



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386) 719-5750
 E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY
 Application # CPA22-08
 Application Fee \$ 750.00
 Receipt No. _____
 Filing Date 12/8/22
 Completeness Date _____

COMPREHENSIVE PLAN AMENDMENT

Small Scale: \$750.00 Large Scale: \$1,500.00

A. PROJECT INFORMATION

1. Project Name: Lake City Self Storage Phase 3
2. Address of Subject Property: 1115 NW Lake Jeffery Road, Lake City, FL
3. Parcel ID Number(s): 30-3S-17-05846-000
4. Existing Future Land Use Map Designation: Residential-low
5. Proposed Future Land Use Map Designation: Commercial
6. Zoning Designation: RSF-2
7. Acreage: 1.0
8. Existing Use of Property: Vacant
9. Proposed use of Property: Commercial (Mini Warehouse)

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: (307) 680.1772 Fax: () Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Citadel I Holdings Company, LLC
 Mailing Address: 726 Somerset Landing Lane
 City: League City State: TX Zip: 77573
 Telephone: (413) 388.5480 Fax: () Email: info@lakecityselfstorage.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: na
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
4. Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. Proof of Ownership (i.e. deed).
7. Agent Authorization Form (signed and notarized).
8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
 - a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = \$750.00
 - b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = \$1,500.00 or actual city cost
 - c. Text Amendment to the Comprehensive Plan = \$750.00

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

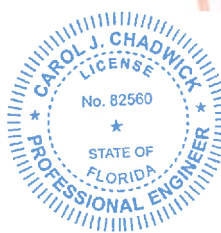
THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

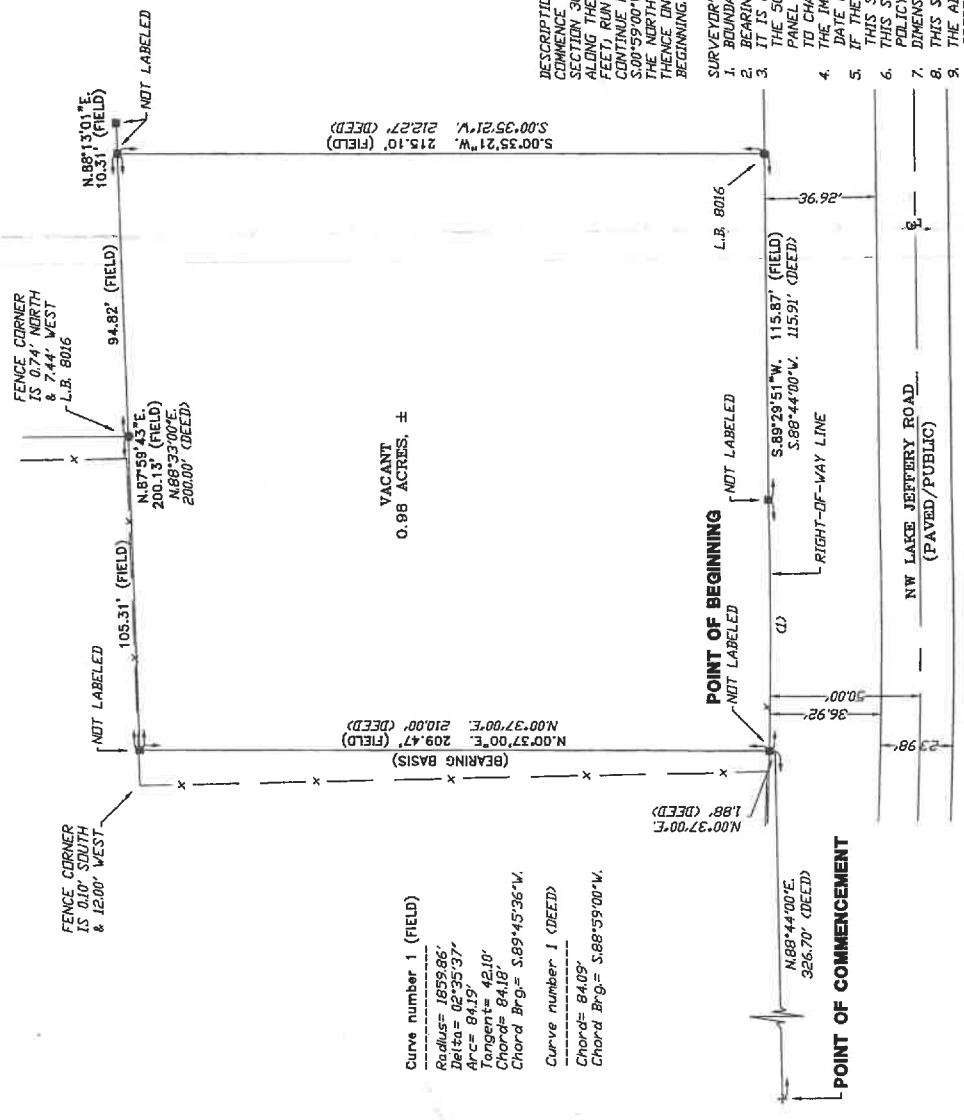
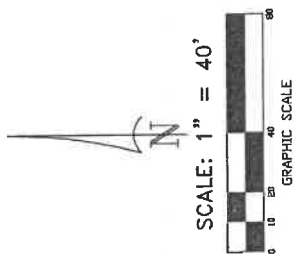
Date


Digitally signed by
Carol Chadwick
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o=Florida,
dnQualifier=A014
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924CE0005954C,
cn=Carol
Chadwick
Date: 2022.12.07
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BOUNDARY SURVEY IN SECTION 30, TOWNSHIP 3 SOUTH,
RANGE 17 EAST,
COLUMBIA COUNTY, FLORIDA.

S Y M B O L L E G E N D:

■	4"x4" CONCRETE MONUMENT FOUND
●	4"x4" CONCRETE MONUMENT SET
○	IRON PIN AND CAP SET
x	1/2" CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
⊕	WATER METER
⊕	WATER POST
⊕	WATER METER
⊕	UTILITY BOX
⊕	WELL
⊕	SANITARY MANHOLE
—	CENTERLINE
—	SECTION LINE
—	ELECTRIC LINES
—	WIRE FENCE
—	CHAIN LINK FENCE
—	WOODEN FENCE
—	4" X 4" POSTS OF RECORD
—	AS PER A DEED OF RECORD
—	(CALC.) AS PER CALCULATIONS
—	(FIELD) AS PER FIELD MEASUREMENTS
—	P.R.M. PERMANENT REFERENCE MARKER
—	P.C.P. PERMANENT CONTROL POINT



Curve number 1 (FIELD)
 Radius= 1859.86'
 Delta= 02°35'37"
 Arc= 84.19'
 Tangent= 42.10'
 Chord= 84.18'
 Chord Brg= S.89°45'36"W.

Curve number 1 (DEED)
 Chord= 84.09'
 Chord Brg= S.88°59'00"W.

DESCRIPTION:
 COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF S-250, FEET; RUN THENCE N.00°37'00"E, 188 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N.00°37'00"E, 210.00 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250, RUN THENCE S.00°59'00"W, 218.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250, RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S.88°44'00"W, 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING S.88°59'00"W, A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.

SURVEYOR'S NOTES:
 1. BOUNDARY BASED ON MONUMENTATION FOUND.
 2. BEARINGS ARE BASED ON A DEED BEARING OF N.00°37'00"E, FOR WEST LINE THEREOF.
 3. IT IS APPARENT THAT THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 2 NOVEMBER, 2018 FIRM PANEL NUMBER 12023C0284D HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
 4. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 5. IF THEY EXIST, NOT UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 6. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

BRITT & MAPPING, LLC
 LAND SURVEYORS AND MAPPERS, L.B. # 8016
 1498 SW MAIN BLVD, LAKE CITY, FLORIDA 32805
 (386)752-7163 FAX (386)752-5573
 www.brittsurvey.com
 WORK ORDER # L-28273

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE HIGHEST TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 30-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO CERTAIN PRECEDENT CASE LAW.

DATE OF FIELD SURVEY: 01/14/2022
 SURVEYOR: BRITT, L.B.
 FIELD SURVEY DATE: 01/06/2022
 SIGNATURE: [Signature]

NOTES: UNLESS IT BEARS THE ORIGINAL SIGNATURE AND THE ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPING THIS DRAWING, SECTION, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

CERTIFIED TO:
 INGRID GEIGER

FIELD BOOK: SEE PAGE(S): FILE



CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Lake City Self Storage Phase 3 Concurrency Impact Analysis

The site is currently vacant. The proposed business will not use water or sewer. Solid waste services will not be provided at the site.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 151
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

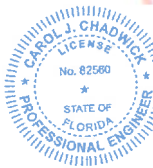
Summary of analyses:

- Trip generation: 75 ADT & 8 Peak PM trips
- Potable Water: 0 gallons per day
- Potable Water: 0 gallons per day
- Solid Waste: 0 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed
by Carol
Chadwick
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o=Florida,
dnQualifier=A01
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4C, cn=Carol
Chadwick
Date: 2022.12.07
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Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22270

□

**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	KSF	Total ADT	Total PM Peak
151	Mini Warehouse	2.50	0.26	30.00	75.00	7.80
*KSF						

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
---------------------------	---	-----------------------------------	-------------------------

Office Building	0.00	0.00	0.00
-----------------	------	------	------

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
---------------------------	---	-----------------------------------	-------------------------

Office Building	0.00	0.00	0.00
-----------------	------	------	------

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	S.F.	Total (Tons Per Year)
Mini Warehouse	0.00	0.00	0.00

**1# per 100 s.f. per day

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Lake City Self Storage Phase 3 Comprehensive Plan Consistency Analysis

The Lake City Self Storage Phase 3 proposed comprehensive plan amendment change is consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject property fronts NW Lake Jeffery Drive. The property is adjacent to a parcel currently zoned CI with commercial FLU.

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject property fronts NW Lake Jeffery Drive which is an arterial road.

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The property is adjacent to a site currently zoned CI with FLU commercial.

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: The change in zoning and land use will facilitate the expansion of an existing business.

□

- Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proposed use of the subject property is consistent with commercial properties and will not have any adverse environmental impacts on the existing land uses.

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: No impacts to adjacent land topography or soil conditions will result due to a zooming or land use change of the subject property.

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed commercial development is compatible with the adjacent property and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol
Chadwick
Date: 2022.12.07
17:20:58 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL22270

□

Parcel Number: 30-3S-17-05846-000

Description:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, N88D44'00"E, 326.70 FEET; RUN THENCE NOOD37'00"E, 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE NOOD37'00"E, 210.00 FEET; RUN THENCE N88D33'00"E, 200.00 FEET; RUN THENCE S00D59'00"W, 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S88D44'00"W, 115.19 FEET TO THE POINT OF CURVATURE; RUN THEN ON A CHORD BEARING S88D59'00"W, A CHORD DISTANCE ON 84.09 FEET TO THE POINT OF BEGINNING.

DESCRIPTION:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, N.88°44'00"E., 326.70 FEET; RUN THENCE N.00°37'00"E., 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N.00°37'00"E., 210.00 FEET; RUN THENCE N.88°33'00"E., 200.00 FEET; RUN THENCE S.00°59'00"W., 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S.88°44'00"W., 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING S.88°59'00"W., A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.

THIS INSTRUMENT PREPARED BY
AND RECORD AND RETURN TO:
BERT C. SIMON, ESQUIRE
GARTNER, BROCK AND SIMON, LLP
1300 RIVERPLACE BLVD., SUITE 525
JACKSONVILLE, FLORIDA 32207

RE No. 30-3S-17-05846-000

NOTE TO CLERK: This conveyance is made without the payment of consideration and the property conveyed by this Special Warranty Deed is not encumbered by a mortgage or other document securing a debt. Accordingly, minimum documentary stamp taxes in the amount of \$0.70 have been paid on this Special Warranty Deed.

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of August 8, 2018, by and between **LAKE CITY SELF STORAGE, LLC**, a Florida limited liability company, whose address is 12146 Mandarin Road, Jacksonville, Florida 32223 ("Grantor"), and **CITADEL I HOLDING COMPANY LLC**, a Texas limited liability company, whose address is 726 Somerset Landing Lane, League City, Texas 77573 ("Grantee").

WITNESSETH:

That Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, paid in hand to Grantor by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold to the Grantee, its heirs, successors and assigns, forever, the following described real property, situate, lying and being in the County of Columbia, State of Florida, as more particularly described on Exhibit "A" attached hereto and incorporated by this reference (the "Property").

SUBJECT TO taxes and assessments for the year 2018 and subsequent years.

TOGETHER with all improvements located thereon and all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, Grantor hereby warrants title to the Property, and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor, but none others.

{Signature on the following page}

IN WITNESS WHEREOF, the said Grantor has hereunto set hand and seal, the day and year first above written.

Signed, sealed and delivered
in the presence of:

GRANTOR:

LAKE CITY SELF STORAGE, LLC, a
Florida limited liability company

[Signature]
Print Name: HARRY M WILSON IV

By: *[Signature]*
Name: Jack Barnette
Its: Manager

[Signature]
Print Name: BERT C SIMON

STATE OF FLORIDA)
COUNTY OF DUVAL)

The foregoing instrument was acknowledged before me this 31st day of July, 2018, by Jack Barnette, as Manager of Lake City Self Storage, LLC, a Florida limited liability company, on behalf of the company, who is personally known to me or who has produced as identification.

[Signature]
Notary Public, State of Florida
Print Name: HARRY M WILSON IV
My Commission Expires: 6/4/21

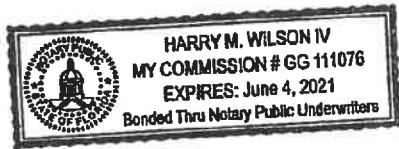


Exhibit "A"

The land referred to hereinbelow is situated in the County of COLUMBIA, State of Florida, and is described as follows:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, NORTH 88 DEG.44' EAST, 326.7 FEET; RUN THENCE NORTH 00 DEG.37' EAST, 1.88 FEET TO THE NORTH RIGHT OF WAY LINE OF S-250; CONTINUE N 00 DEG.37' EAST, 210.00 FEET; RUN THENCE NORTH 88 DEG.33' EAST, 200 FEET; RUN THENCE SOUTH 00 DEG.59' WEST, 212.27 FEET TO THE NORTH RIGHT OF WAY LINE OF SR-250; RUN THENCE ALONG SAID NORTH RIGHT OF WAY LINE SOUTH 88 DEG.44' WEST, 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING SOUTH 88 DEG.59' WEST, A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 9/22/2022

Parcel: << **30-3S-17-05846-000 (25935)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY, TX 77573		
Site	1115 NW LAKE JEFFERY Rd, LAKE CITY		
Description*	COMM SW COR OF SE1/4 OF NW1/4, RUN E 326.7 FT, N 1.88 FT TO N R/W C-250 FOR POB, CONT N 210 FT, E 200 FT, S 212.27 FT, W ALONG R/W 200 FT TO POB. 519-727, 798-2318, 891-1581, WD 1082-2097, CT 1239-2222, WD 1283-1581, WD 1366-950,		
Area	1 AC	S/T/R	30-3S-17
Use Code**	VACANT (0000)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$12,700	Mkt Land	\$13,000
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$12,700	Just	\$13,000
Class	\$0	Class	\$0
Appraised	\$12,700	Appraised	\$13,000
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$12,700	Assessed	\$13,000
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$12,700	Total Taxable	county:\$13,000
	city:\$12,700		city:\$13,000
	other:\$0		other:\$0
	school:\$12,700		school:\$13,000

Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
8/8/2018	\$100	1366/0950	WD	I	U	11
10/23/2014	\$269,000	1283/1581	WD	I	U	12
7/25/2012	\$100	1239/2222	CT	I	U	18
5/3/2006	\$50,000	1082/2097	WD	I	U	08
12/2/1994	\$44,000	0798/2318	WD	I	Q	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	1.000 AC	1.0000/1.0000 1.0000/ /	\$13,000 /AC	\$13,000



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Limited Liability Company
CITADEL I HOLDING COMPANY LLC

Filing Information

Document Number M18000005871
FEI/EIN Number 82-2954519
Date Filed 06/22/2018
State TX
Status ACTIVE

Principal Address

28648 Bull Gate
fair oaks ranch, TX 78015

Changed: 04/15/2021

Mailing Address

28648 Bull Gate
fair oaks ranch, TX 78015

Changed: 04/15/2021

Registered Agent Name & Address

LAKE CITY SELF STORAGE, LLC
1143 NW LAKE JEFFERY RD
LAKE CITY, FL 32055

Authorized Person(s) Detail

Name & Address

Title PARTNER

STRINGHAM, CHARLES T
2121 COLDWATER BRIDGE LANE
LEAGUE CITY, TX 77573

Title PARTNER/MBR

FORE, ROBERT A
28648 Bull Gate
fair oaks ranch, TX 78015

Title PARTNER

ARROYO, ANNA
28648 Bull Gate
fair oaks ranch, TX 78015

Annual Reports

Report Year	Filed Date
2020	05/07/2020
2021	04/15/2021
2022	04/19/2022

Document Images

04/19/2022 -- ANNUAL REPORT	View image in PDF format
04/15/2021 -- ANNUAL REPORT	View image in PDF format
05/07/2020 -- ANNUAL REPORT	View image in PDF format
06/24/2019 -- ANNUAL REPORT	View image in PDF format
06/22/2018 -- Foreign Limited	View image in PDF format

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Zoning & FLU map applications & site plan application
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: Charles Stringham

Applicant/Owner's Title: Managing Partner

On Behalf of: Charvel 1 Holding Co, LLC
(Company Name, if applicable)

Telephone: 413-388-5480 Date: 7/11/22

Applicant/Owner's Signature: [Signature]

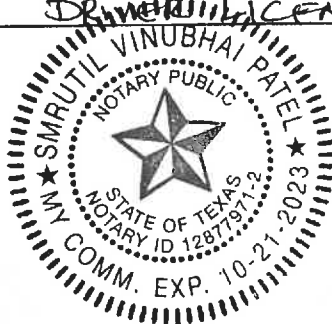
Print Name: Charles Stringham

STATE OF FLORIDA ~~TEXAS~~
COUNTY OF Galveston

The Foregoing instrument was acknowledged before me this 11th day of July, 2022, by Charles Stringham whom is personally known by me OR produced identification .
Type of Identification Produced Texas Driver License

[Signature]
(Notary Signature)

(SEAL)



Columbia County Tax Collector

generated on 12/7/2022 9:41:05 AM EST

Tax Record

Last Update: 12/7/2022 9:40:34 AM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R05846-000	REAL ESTATE	2022			
Mailing Address CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY TX 77573		Property Address 1115 LAKE JEFFERY LAKE CITY GEO Number 303S17-05846-000			
Exempt Amount See Below	Taxable Value See Below				
Exemption Detail NO EXEMPTIONS	Millage Code 001	Escrow Code			
Legal Description (click for full description) 30-3S-17 0000/00001.00 Acres COMM SW COR OF SE1/4 OF NW1/4, RUN E 326.7 FT, N 1.88 FT TO N R/W C-250 FOR POB, CONT N 210 FT, E 200 FT, S 212.27 FT, W ALONG R/W 200 FT TO POB. 519-727, 798-2318, 891-1581, WD 1082-2097, CT 1239-2222, WD 1283-1581, WD 1366-950,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	13,000	0	\$13,000	\$63.70
BOARD OF COUNTY COMMISSIONERS	7.8150	13,000	0	\$13,000	\$101.60
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	13,000	0	\$13,000	\$9.72
LOCAL	3.2990	13,000	0	\$13,000	\$42.89
CAPITAL OUTLAY	1.5000	13,000	0	\$13,000	\$19.50
SUWANNEE RIVER WATER MGT DIST	0.3368	13,000	0	\$13,000	\$4.38
LAKE SHORE HOSPITAL AUTHORITY	0.0001	13,000	0	\$13,000	\$0.00
Total Millage	18.5989	Total Taxes			\$241.79
Non-Ad Valorem Assessments					
Code	Levyng Authority	Amount			
XLCF	CITY FIRE ASSESSMENT	\$50.40			
Total Assessments					\$50.40
Taxes & Assessments					\$292.19

If Paid By	Amount Due
11/30/2022	\$280.50
12/31/2022	\$283.42
1/31/2023	\$286.35
2/28/2023	\$289.27
3/31/2023	\$292.19

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

[Click Here To Pay Now](#)



GROWTH MANAGEMENT
 205 North Marion Ave
 Lake City, Florida 32055
 Telephone (386) 719-5750
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # Z 22-08
 Application Fee \$ 750.00
 Receipt No. _____
 Filing Date 12/8/22
 Completeness Date _____

Less Than or Equal to 10 Acres: \$750.00 Greater Than 10 Acres: \$1,000.00 or actual cost

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: Lake City Self Storage Phase 3
2. Address of Subject Property: 1115 NW Lake Jeffery Road, Lake City, FL
3. Parcel ID Number(s): 30-3S-17-05846-000
4. Future Land Use Map Designation: Residential-low
5. Existing Zoning Designation: RSF-2
6. Proposed Zoning Designation: CI
7. Acreage: 1.0
8. Existing Use of Property: Vacant
9. Proposed use of Property: Commercial (Mini Warehouse)

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: () 307.680.1772 Fax: () Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Citadel I Holdings Company, LLC
 Mailing Address: 726 Somerset Landing Lane
 City: League City State: TX Zip: 77573
 Telephone: (413) 388.5480 Fax: () Email: info@lakecityselfstorage.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: na
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property: Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.
4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:
 - a. Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.
 - b. The existing land use pattern.
 - c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
 - d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
 - e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
 - f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
 - g. Whether the proposed change will adversely influence living conditions in the neighborhood.
 - h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
 - i. Whether the proposed change will create a drainage problem.
 - j. Whether the proposed change will seriously reduce light and air to adjacent areas.

- k. Whether the proposed change will adversely affect property values in the adjacent area.
- l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
- m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
- n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
- o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.
- p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
 - i. The need and justification for the change.
 - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

5. Legal Description with Tax Parcel Number (In Microsoft Word Format).

6. Proof of Ownership (i.e. deed).

7. Agent Authorization Form (signed and notarized).

8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

9. Fee. The application fee for a Site Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

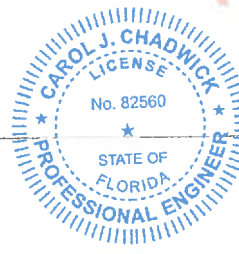
A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol _____
Chadwick
Date: 2022.12.07
17:22:37 -05'00'

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Signature of Notary

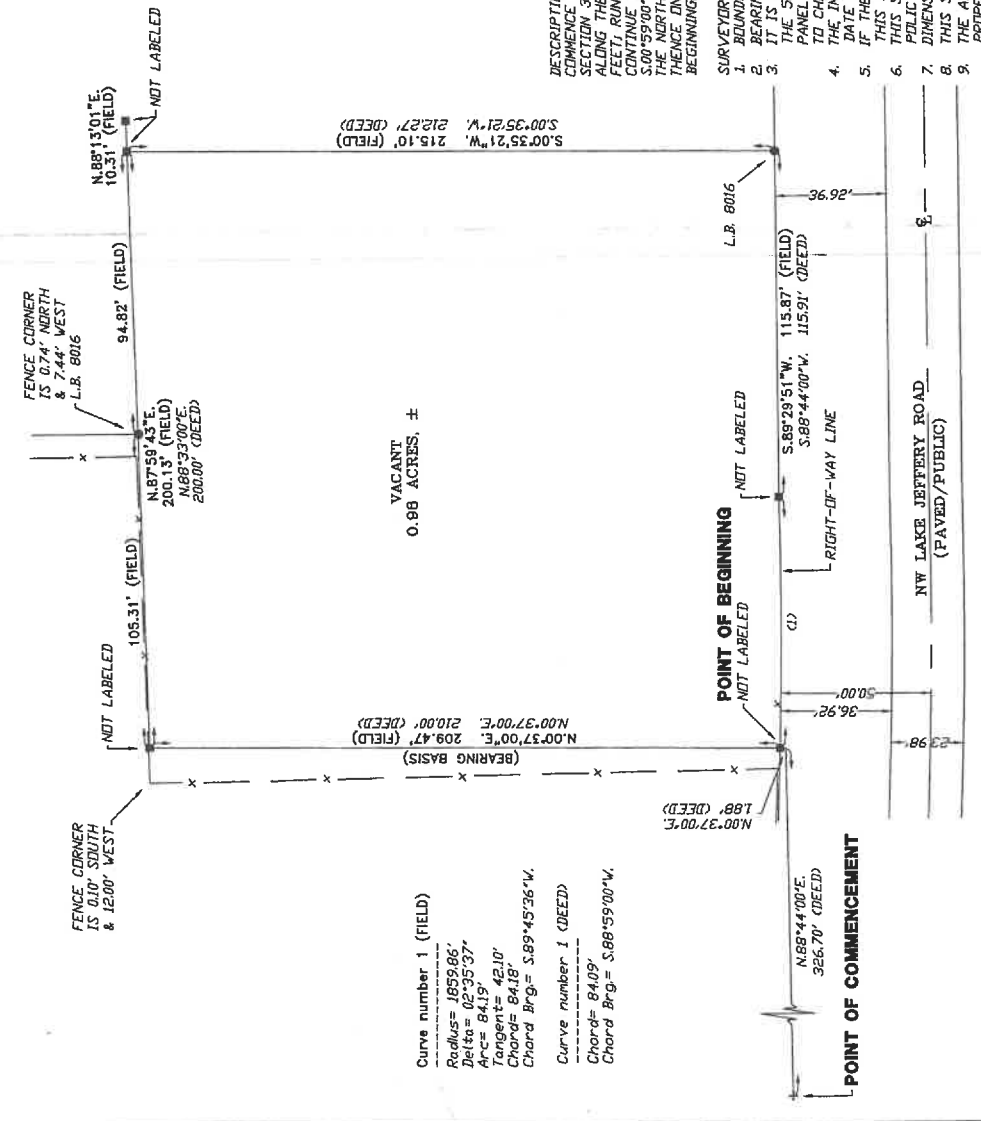
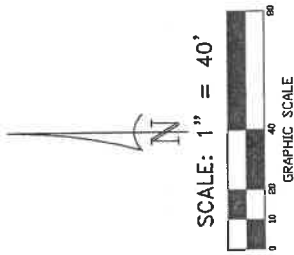
Printed Name of Notary

Personally Known _____ OR Produced Identification _____
Type of Identification Produced _____

BOUNDARY SURVEY IN SECTION 30, TOWNSHIP 3 SOUTH,
RANGE 17 EAST,
COLUMBIA COUNTY, FLORIDA.

SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
●	IRON PIPE FOUND
○	IRON PIPE AND CAP SET
×	WIRE MARKER
+	CALCULATED PROPERTY CORNER
⊕	MAIL & DISK
⊗	POWER POLE
+	SIGN POST
+	WATER METER
⊕	UTILITY BOX
⊗	WELL
⊕	SANITARY MANHOLE
—	CENTERLINE
—	SECTION LINE
—	ELECTRIC LINES
—	WIRE FENCE
—	CHAIN LINK FENCE
—	WOODEN FENCE
—	OR (PLAT)
—	AS PER A PLAT OF RECORD
—	(DEED)
—	AS PER A DEED OF RECORD
—	(CALC.)
—	AS PER FIELD MEASUREMENTS
—	(FIELD)
—	P.R.M. PERMANENT REFERENCE MARKER
—	P.C.P. PERMANENT CONTROL POINT



Curve number 1 (FIELD)
 Radius= 1859.86'
 Delta= 02°35'37"
 Arc= 84.19'
 Tangent= 42.10'
 Chord= 84.18'
 Chord Brg.= S.89°45'36"W.

Curve number 1 (DEED)
 Chord= 84.09'
 Chord Brg.= S.88°59'00"W.

DESCRIPTION:
 COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, N88°44'00"E., 366.70 FEET; RUN THENCE N00°37'00"E., 188 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N00°37'00"E., 210.00 FEET; RUN THENCE N88°33'00"E., 200.00 FEET; RUN THENCE S.00°59'00"W., 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S.88°44'00"W., 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING S.88°59'00"W., A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.

- SURVEYOR'S NOTES:**
1. BOUNDARY BASED ON MONUMENTATION FOUND.
 2. BEARINGS ARE BASED ON A DEED BEARING OF N.00°37'00"E., FOR WEST LINE, THEREDE IT IS APPARENT THAT THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500' YEAR FLOOD PLAIN AS PER FLOOD RATE MAP, DATED 5 NOVEMBER, 2012, FROM PANEL NUMBER 1E023C06B40; HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
 3. THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 4. IF THEY EXIST, NO DIMENSIONS OR ENCUMBRANCES AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 5. THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 6. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 7. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 8. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

BRITT SURVEYING & MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016
 1498 SW MAIN BLVD., LAKE CITY, FLORIDA 32808
 (386)752-7163 FAX (386)752-5573
 WORK ORDER # L-28273

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 50-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO THE SURVEYING AND MAPPING ACT, CHAPTER 471, F.S.

FIELD SURVEY DATE: 01/14/2022
 DRAWING DATE: 01/14/2022
 SURVEYOR: BRITT SURVEYING & MAPPING, LLC
 SURVEYOR'S SIGNATURE: [Signature]

NOTE: UNLESS IT BEAR THE ORIGINAL SIGNATURE AND THE ORIGINAL BASED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

CERTIFIED TO:
 INGRID GETTIGER

FIELD BOOK: SEE PAGE(S): FILE



CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Lake City Self Storage Phase 3 Concurrency Impact Analysis

The site is currently vacant. The proposed business will not use water or sewer. Solid waste services will not be provided at the site.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 151
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

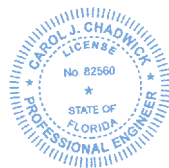
Summary of analyses:

- Trip generation: 75 ADT & 8 Peak PM trips
- Potable Water: 0 gallons per day
- Potable Water: 0 gallons per day
- Solid Waste: 0 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
DN: c=US, o=Florida,
dnQualifier=A01410D0000017EB6D9
24CE0005954C, cn=Carol Chadwick
Date: 2022.12.07 17:22:22 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22270

□

**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	KSF	Total ADT	Total PM Peak
151 *KSF	Mini Warehouse	2.50	0.26	30.00	75.00	7.80

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	0.00	0.00	0.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	0.00	0.00	0.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	S.F.	Total (Tons Per Year)
Mini Warehouse **1# per 100 s.f. per day	0.00	0.00	0.00

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Lake City Self Storage Phase 3 meets of the Requirements of Article 12 of the Land Development Regulations

The Lake City Self Storage Phase 3 proposed zoning change is consistent with Lake City's requirements of Article 12 of the Land Development Regulations.

- a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan. The property is adjacent to a parcel currently zoned C1.

- b) The existing land use pattern.

Analysis: The property is adjacent to a parcel currently zoned C1.

- c) Possible creation of an isolated district unrelated to adjacent and nearby districts.

Analysis: The property is adjacent to a parcel currently zoned C1.

- d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan. No additional students in schools will result from the change. There will be no sewer or water on the site.

- e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

Analysis: The property is adjacent to a parcel currently zoned C1.

- f) Whether changed or changing conditions make the passage of the proposed amendment necessary.

Analysis: The property is adjacent to a parcel currently zoned C1. The site will be a storage facility.

□

- g) Whether the proposed change will adversely influence living conditions in the neighborhood.

Analysis: The proposed change will not adversely affect living condition in the neighborhood as the only access will be directly from Lake Jeffery Road.

- h) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

Analysis: Increase in traffic will be negligible.

- i) Whether the proposed change create a drainage problem.

Analysis: No drainage problems will be created with the zoning change.

- j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

Analysis: The site development will not reduction of light or air to adjacent areas.

- k) Whether the proposed change will adversely affect the property values in the adjacent area.

Analysis: The zoning change will not adversely affect property values in the area.

- l) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties as the area.

- m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

Analysis: The proposed change will not grant special privileges to the owner as it is adjacent to a commercial site.

- n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

Analysis: The owners will be expanding the existing storage facility.

- o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the County.

Analysis: Overall, there is a need for commercial properties to service the growth in the area.

- p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations the Planning and Zoning Board shall consider and study:

- i. The need and justification for the change.
- ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these

land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

Analysis: The owners will be expanding the existing storage facility.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
DN: c=US, o=Florida,
dnQualifier=A01410D0000017EB6D9
24CE0005954C, cn=Carol Chadwick
Date: 2022.12.07 17:22:03 -05'00'

Carol Chadwick, P.E.

Parcel Number: 30-3S-17-05846-000

Description:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, N88D44'00"E, 326.70 FEET; RUN THENCE N00D37'00"E, 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N00D37'00"E, 210.00 FEET; RUN THENCE N88D33'00"E, 200.00 FEET; RUN THENCE S00D59'00"W, 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S88D44'00"W, 115.19 FEET TO THE POINT OF CURVATURE; RUN THEN ON A CHORD BEARING S88D59'00"W, A CHORD DISTANCE ON 84.09 FEET TO THE POINT OF BEGINNING.

*DESCRIPTION:
COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST 1/4 OF THE NORTHWEST 1/4 OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST 1/4 OF THE NORTHWEST 1/4, N.88°44'00"E., 326.70 FEET; RUN THENCE N.00°37'00"E., 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N.00°37'00"E., 210.00 FEET; RUN THENCE N.88°33'00"E., 200.00 FEET; RUN THENCE S.00°59'00"W., 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S.88°44'00"W., 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING S.88°59'00"W., A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.*

THIS INSTRUMENT PREPARED BY
AND RECORD AND RETURN TO:
BERT C. SIMON, ESQUIRE
GARTNER, BROCK AND SIMON, LLP
1300 RIVERPLACE BLVD., SUITE 525
JACKSONVILLE, FLORIDA 32207

RE No. 30-3S-17-05846-000

NOTE TO CLERK: This conveyance is made without the payment of consideration and the property conveyed by this Special Warranty Deed is not encumbered by a mortgage or other document securing a debt. Accordingly, minimum documentary stamp taxes in the amount of \$0.70 have been paid on this Special Warranty Deed.

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED is made as of August 8, 2018, by and between **LAKE CITY SELF STORAGE, LLC**, a Florida limited liability company, whose address is 12146 Mandarin Road, Jacksonville, Florida 32223 ("Grantor"), and **CITADEL I HOLDING COMPANY LLC**, a Texas limited liability company, whose address is 726 Somerset Landing Lane, League City, Texas 77573 ("Grantee").

WITNESSETH:

That Grantor, for and in consideration of the sum of Ten Dollars (\$10.00) and other good and valuable consideration, paid in hand to Grantor by Grantee, the receipt and sufficiency of which are hereby acknowledged, has granted, bargained and sold to the Grantee, its heirs, successors and assigns, forever, the following described real property, situate, lying and being in the County of Columbia, State of Florida, as more particularly described on Exhibit "A" attached hereto and incorporated by this reference (the "Property").

SUBJECT TO taxes and assessments for the year 2018 and subsequent years.

TOGETHER with all improvements located thereon and all the tenements, hereditaments and appurtenances thereto belonging or in anywise appertaining.

TO HAVE AND TO HOLD, the same in fee simple forever.

AND, Grantor hereby warrants title to the Property, and will defend the same against the lawful claims of all persons claiming by, through or under the said Grantor, but none others.

{Signature on the following page}

IN WITNESS WHEREOF, the said Grantor has hereunto set hand and seal, the day and year first above written.

Signed, sealed and delivered
in the presence of:

GRANTOR:

LAKE CITY SELF STORAGE, LLC, a
Florida limited liability company

Harry M. Wilson IV
Print Name: HARRY M WILSON IV

By: *J. BARNETTE*
Name: Jack Barnette
Its: Manager

Bert C. Simon
Print Name: BERT C SIMON

STATE OF FLORIDA)
COUNTY OF DUVAL)

The foregoing instrument was acknowledged before me this 31st day of July, 2018, by Jack Barnette, as Manager of Lake City Self Storage, LLC, a Florida limited liability company, on behalf of the company, who is personally known to me or who has produced _____ as identification.

Harry M. Wilson IV
Notary Public, State of Florida
Print Name: HARRY M WILSON IV
My Commission Expires: 6/4/21

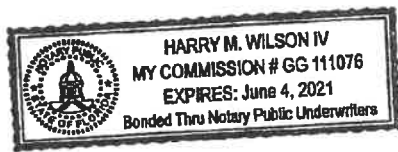


Exhibit "A"

The land referred to hereinbelow is situated in the County of COLUMBIA, State of Florida, and is described as follows:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, NORTH 88 DEG.44' EAST, 326.7 FEET; RUN THENCE NORTH 00 DEG.37' EAST, 1.88 FEET TO THE NORTH RIGHT OF WAY LINE OF S-250; CONTINUE N 00 DEG.37' EAST, 210.00 FEET; RUN THENCE NORTH 88 DEG.33' EAST, 200 FEET; RUN THENCE SOUTH 00 DEG.59' WEST, 212.27 FEET TO THE NORTH RIGHT OF WAY LINE OF SR-250; RUN THENCE ALONG SAID NORTH RIGHT OF WAY LINE SOUTH 88 DEG.44' WEST, 115.91 FEET TO THE POINT OF CURVATURE; RUN THENCE ON A CHORD BEARING SOUTH 88 DEG.59' WEST, A CHORD DISTANCE OF 84.09 FEET TO POINT OF BEGINNING.

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 9/22/2022

Parcel: << 30-3S-17-05846-000 (25935) >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY, TX 77573		
Site	1115 NW LAKE JEFFERY Rd, LAKE CITY		
Description*	COMM SW COR OF SE1/4 OF NW1/4, RUN E 326.7 FT, N 1.88 FT TO N R/W C-250 FOR POB, CONT N 210 FT, E 200 FT, S 212.27 FT, W ALONG R/W 200 FT TO POB. 519-727, 798-2318, 891-1581, WD 1082-2097, CT 1239-2222, WD 1283-1581, WD 1366-950,		
Area	1 AC	S/T/R	30-3S-17
Use Code**	VACANT (0000)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$12,700	Mkt Land	\$13,000
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$12,700	Just	\$13,000
Class	\$0	Class	\$0
Appraised	\$12,700	Appraised	\$13,000
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$12,700	Assessed	\$13,000
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$12,700 city:\$12,700 other:\$0 school:\$12,700	Total Taxable	county:\$13,000 city:\$13,000 other:\$0 school:\$13,000



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
8/8/2018	\$100	1366/0950	WD	I	U	11
10/23/2014	\$269,000	1283/1581	WD	I	U	12
7/25/2012	\$100	1239/2222	CT	I	U	18
5/3/2006	\$50,000	1082/2097	WD	I	U	08
12/2/1994	\$44,000	0798/2318	WD	I	Q	

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codess)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	1.000 AC	1.0000/1.0000 1.0000/ /	\$13,000 /AC	\$13,000



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Foreign Limited Liability Company
CITADEL I HOLDING COMPANY LLC

Filing Information

Document Number M18000005871
FEI/EIN Number 82-2954519
Date Filed 06/22/2018
State TX
Status ACTIVE

Principal Address

28648 Bull Gate
fair oaks ranch, TX 78015

Changed: 04/15/2021

Mailing Address

28648 Bull Gate
fair oaks ranch, TX 78015

Changed: 04/15/2021

Registered Agent Name & Address

LAKE CITY SELF STORAGE, LLC
1143 NW LAKE JEFFERY RD
LAKE CITY, FL 32055

Authorized Person(s) Detail

Name & Address

Title PARTNER

STRINGHAM, CHARLES T
2121 COLDWATER BRIDGE LANE
LEAGUE CITY, TX 77573

Title PARTNER/MBR

FORE, ROBERT A
28648 Bull Gate
fair oaks ranch, TX 78015

Title PARTNER

ARROYO, ANNA
28648 Bull Gate
fair oaks ranch, TX 78015

Annual Reports

Report Year	Filed Date
2020	05/07/2020
2021	04/15/2021
2022	04/19/2022

Document Images

04/19/2022 -- ANNUAL REPORT	View image in PDF format
04/15/2021 -- ANNUAL REPORT	View image in PDF format
05/07/2020 -- ANNUAL REPORT	View image in PDF format
06/24/2019 -- ANNUAL REPORT	View image in PDF format
06/22/2018 -- Foreign Limited	View image in PDF format

APPLICATION AGENT AUTHORIZATION FORM

TO: Columbia County Zoning Department
135 NE Hernando Avenue
Lake City, FL 32055

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Zoning & FLU map applications & site plan application
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: Charles Stringham

Applicant/Owner's Title: Managing Partner

On Behalf of: Chapel 1 Holding Co, LLC
(Company Name, if applicable)

Telephone: 413-388-3450 Date: 7/11/22

Applicant/Owner's Signature: [Signature]

Print Name: Charles Stringham

STATE OF ~~FLORIDA~~ TEXAS
COUNTY OF Galveston

The Foregoing instrument was acknowledged before me this 11th day of July, 2022, by Charles Stringham whom is personally known by me OR produced identification .
Type of Identification Produced Texas Driver License

[Signature]
(Notary Signature)

(SEAL)



Columbia County Tax Collector

generated on 12/7/2022 9:41:05 AM EST

Tax Record

Last Update: 12/7/2022 9:40:34 AM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R05846-000	REAL ESTATE	2022
Mailing Address CITADEL I HOLDING COMPANY LLC 726 SOMERSET LANDING LANE LEAGUE CITY TX 77573		Property Address 1115 LAKE JEFFERY LAKE CITY GEO Number 303S17-05846-000
Exempt Amount See Below	Taxable Value See Below	
Exemption Detail NO EXEMPTIONS	Millage Code 001	Escrow Code
Legal Description (click for full description) 30-3S-17 0000/00001.00 Acres COMM SW COR OF SE1/4 OF NW1/4, RUN E 326.7 FT, N 1.88 FT TO N R/W C-250 FOR POB, CONT N 210 FT, E 200 FT, S 212.27 FT, W ALONG R/W 200 FT TO POB. 519-727, 798-2318, 891-1581, WD 1082-2097, CT 1239-2222, WD 1283-1581, WD 1366-950,		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Value
CITY OF LAKE CITY	4.9000	13,000
BOARD OF COUNTY COMMISSIONERS	7.8150	13,000
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	13,000
LOCAL	3.2990	13,000
CAPITAL OUTLAY	1.5000	13,000
SUWANNEE RIVER WATER MGT DIST	0.3368	13,000
LAKE SHORE HOSPITAL AUTHORITY	0.0001	13,000
		Exemption Amount
		0
		Taxable Value
		\$13,000
		Taxes Levied
		\$63.70
		\$101.60
		\$9.72
		\$42.89
		\$19.50
		\$4.38
		\$0.00
Total Millage		Total Taxes
18.5989		\$241.79
Non-Ad Valorem Assessments		
Code	Levyng Authority	Amount
XLCF	CITY FIRE ASSESSMENT	\$50.40
Total Assessments		\$50.40
Taxes & Assessments		\$292.19
If Paid By		Amount Due
11/30/2022		\$280.50
12/31/2022		\$283.42
1/31/2023		\$286.35
2/28/2023		\$289.27
3/31/2023		\$292.19

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

[Click Here To Pay Now](#)



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 12/08/2022

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: CPA22-08 and Z22-08

Project Name: Lake City Self Storage Phase 3

Project Address: 1115 NW Lake Jeffery Rd

Project Parcel Number: 30-3S-17-05846-000

Owner Name: Citadel I Holdings Company, LLC

Owner: Address: 726 Somerset Landing Lane League City TX 77573

Owner Contact Information: telephone number 413-388-5480 e-mail info@lakecityselfstorage.com

Owner Agent Name: Carol Chadwick

Owner Agent Address: 1208 SW Fairfax Glen Lake City FL 32055

Owner Agent Contact Information: telephone 307-680-1772 e-mail ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Contiguous with commercial intensive parcel
Contiguous with commercial intensive parcel

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: _____

Permitting will be with the county if project is over \$4000

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: No commits at this time.

Sewer Department: Approved Disapproved Reviewed by: Cody Pridgeon

Comments: No commits at this time.

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: No commits at this time.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: No commits at this time.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Assistant Chief Boozer

Comments: No Concerns at this time.

Police Department: Approve Disapprove Reviewed by: Chief Butler

Comments: PD has no concerns

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

Project Summary

Project Name: Lake City Self Storage CPA and Re-zoning

Project Number: CPA22-08 and Z22-08

Parcel Number: 05846-000

Project Notes

- Project type: Re-zoning and comprehensive plan amendment
- Future land use is: Residential-low
- Proposed future land use is: Commercial
- Zoning designation is: Residential Single Family-2
- Proposed zoning is: Commercial Intensive
- Proposed use of the property: Mini Warehouse
- Land is conducive for use: Yes, per the LDR section 4.13.5.1 with a special exception. The parcel is contiguous with other parcels that are commercial intensive.
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project Z22-07 and CPA22-08 is for a re-zoning and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has not concerns.

Parcel Number: 30-3S-17-05846-000

Description:

COMMENCE AT THE SOUTHWEST CORNER OF THE SOUTHEAST ¼ OF THE NORTHWEST ¼ OF SECTION 30, TOWNSHIP 3 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE ALONG THE SOUTH LINE OF SAID SOUTHEAST ¼ OF THE NORTHWEST ¼, N88D44'00"E, 326.70 FEET; RUN THENCE N00D37'00"E, 1.88 FEET TO THE NORTH RIGHT-OF-WAY LINE OF S-250, CONTINUE N00D37'00"E, 210.00 FEET; RUN THENCE N88D33'00"E, 200.00 FEET; RUN THENCE S00D59'00"W, 212.27 FEET TO THE NORTH RIGHT-OF-WAY LINE OF SR-250; RUN THENCE ALONG THE NORTH RIGHT-OF-WAY LINE S88D44'00"W, 115.19 FEET TO THE POINT OF CURVATURE; RUN THEN ON A CHORD BEARING S88D59'00"W, A CHORD DISTANCE ON 84.09 FEET TO THE POINT OF BEGINNING.

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