

# HISTORIC PRESERVATION AGENCY CITY OF LAKE CITY

July 11, 2023 at 6:15 PM

Venue: City Hall

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## AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

### INVOCATION

### ROLL CALL

### MINUTES

- [i.](#) Meeting Minutes- 06-06-2023

### OLD BUSINESS

- [ii.](#) **COA 23-16**, submitted by Lake City Columbia City Historical Museum, owner, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10.1 of the Land Development Regulations and located within the View Shed of the Lake Desoto Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 12739-000

**Note- On 05/02/2023 petition COA23-16 was continued. This petition was on the consent agenda**

### NEW BUSINESS- None

### CONSENT AGENDA-

- [iii.](#) **COA 23-21**, submitted by David Bowman, owner, requesting a Certificate of Appropriateness in a residential single family-3 (RSF-3) zoning district as established in section 4.7 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 13804-001.
- [iv.](#) **COA 23-22**, submitted by Jessica Harris, owner, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in

section 4.10.1 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 12797-000

**v.** **COA 23-23**, submitted by Energy Roofing Companies as agent, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 13239-000.

**vi.** **COA 23-24**, submitted by Ray and Dallas Keen as owner, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 13834-000.

**WORKSHOP-** Discussion on the validity of the Historic Preservation Agency.  
Presented by Robert Angelo

## **ADJOURNMENT**

### **YouTube Channel Information**

Members of the public may also view the meeting on our YouTube channel at:  
<https://www.youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

**File Attachments for Item:**

**i. Meeting Minutes- 06-06-2023**

# HISTORIC PRESERVATION AGENCY

## MEETING MINUTES

**Date:** 06/06/2023

**Roll Call:**

Mrs. McKellum- Present  
Mr. Nelson- Present  
Mr. Cooper- Not Present  
Mr. McMahan- Present

Mr. Warren- Present  
Mr. Carter- Present  
Mr. Lydick- Not Present

**Approval of Past Minutes-**Approve the minutes of the 05/02/2023 Meeting.

**Motion By:** Mr. McMahan

**Seconded By:** Mrs. McKellum

**Comments or Revisions:** None

**Old Business:**

Consent agenda petition COA23-16 was continued from the 05/02/2023 meeting due to lack of a quarm. Mr. McMahan abstained from voting due to working for the Museum. Mr. Warren abstained from voting due to a public records request concerning the validity of the Historic District. Mr. Kennon stated that the City has recognized the historic maps. Mr. Warren asked if the Board inquires have been met. Mr. Kennon stated that he has not researched that and that there is nothing to indicate that Board in not properly consisted. Mr. Carter asked what Mr. Warren was referring to. Robert stated that there is a locally adopted district and Nationally recognized district. Robert stated that according to the LDR that there are certain steps that have to be taken to be adopted. Petition was continued due to lack of quarm.

**New Business:**

**Petition # COA23-19 Presented By:** Robert Ogles as agent

**As owner or agent and gives address of:** 505 Goldkist Blvd, Live Oak, FL 32064

**Petitioner is Sworn in by:** Mr. Carter

**Discussion:**

Robert introduced petition COA23-19. He stated that they are looking to replace the existing shingle roof. They are replacing it with a galvalume metal roof. Robert stated that there were several buildings in the area that have the same metal roof.

Mr. Warren abstained from voting due to a public records request concerning the validity of the Historic District.

Mr. Ogles stated that they are looking to replace the roof for insurance purposes.

**Motion to Approve/Deny By:** Mr. McMahan

**Motion Seconded By:** Mrs. McKellum

# HISTORIC PRESERVATION AGENCY

## MEETING MINUTES

**Mrs. McKellum:** Aye    **Mr. Cooper:** Absent    **Mr. McMahon:** Aye    **Mr. Warren:** Abstain  
**Mr. Carter:** Aye    **Mr. Lydick:** Absent    **Mr. Nelson:** Aye

### Consent Agenda Items:

Discussion to approve consent agenda items COA23-1. Mr. Angelo presented the consent agenda.

**Motion to Approve/Deny By:** Mr. McMahon  
**Motion Seconded By:** Mrs. McKellum

**Mrs. McKellum:** Aye    **Mr. Cooper:** Absent    **Mr. McMahon:** Aye    **Mr. Warren:** Abstain  
**Mr. Carter:** Aye    **Mr. Lydick:** Absent    **Mr. Nelson:** Aye

**Workshop:** None

**Mr. Carter closed the meeting.**

**Motion to Adjourn by:** Mrs. McKellum  
**Time:** 6:19pm  
**Motion Seconded By:** Mr. Nelson

\_\_\_\_\_  
**Mr. Lydick, Board Chairperson**

\_\_\_\_\_  
**Date Approved**

\_\_\_\_\_  
**Robert Angelo, Secretary**

\_\_\_\_\_  
**Date Approved**

**File Attachments for Item:**


**ii. COA 23-16**, submitted by Lake City Columbia City Historical Museum, owner, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10.1 of the Land Development Regulations and located within the View Shed of the Lake Desoto Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 12739-000

**Note- On 05/02/2023 petition COA23-16 was continued. This petition was on the consent agenda**



## CERTIFICATE OF APPROPRIATENESS

### MINOR OR MAINTENANCE ONLY

<b>Date</b> 4/13/23	<b>COA</b> 23-16
<b>Address:</b> 157 SE Hernando Ave, Lake City, FL 32025	
<b>Parcel Number:</b> 12739-000	
<b>Owner:</b> Lake City, Columbia County Historical Museum	
<b>Address of Owner:</b> 157 SE Hernando Ave, Lake City, FL 32055	
<b>Description of Structure:</b> Two story residential office building	
The described structure or portion of the structure has been reviewed for compliance with the requirements of the City Historic Preservation Land Development Regulations for the exterior construction as submitted by the applicant per Ordinance Number 2020-2176	
 Steve Brown Interim Director of Growth Management	
<b>Code Edition:</b> 2020 (7 <sup>th</sup> ) Edition of the Florida Building Codes, 2020 (7 <sup>th</sup> ) Edition of the Florida Fire Prevention Code and the 2017 U.S. Secretary of the Interior's Standards for Rehabilitation	
<b>Description of Approved Construction:</b>	
Replace existing sign with new sign same size and character. Paint brown to match house.	
<b>Special Conditions:</b>	

The City of Lake City's Growth Management Department and the City Historic Preservation Committee

205 N Marion Avenue

Lake City, Florida 32055

(386) 719-5750



**CITY OF LAKE CITY  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

<b>FOR OFFICIAL USE ONLY</b>
Date Received: <u>4/13/23</u>
Case #: <u>COA23-16</u>

**APPLICANT INFORMATION**

Applicant is (check one and sign below):  Owner  Contractor  Architect  Other \_\_\_\_\_

Applicant: Lake City Columbia City Historical Museum  
 Contact: Paulette M Lord  
 Address: 157 SE HERNANDO AVE  
 Phone: 386-255-9096  
 Cell: 386-961-1243  
 Email: lccc.history@gmail.com

Property Owner: Lake City Columbia City Historical Museum  
 Contact: Kim ESTERGREEN  
 Address: 157 SE HERNANDO AVE.  
LAKE CITY FL 32025  
386-755 1728  
 Phone: 386-247 1298  
 Cell: Paulette M Lord@yahoo.com  
 Email: Paulette M Lord@yahoo.com

**PROPERTY INFORMATION**

Site Location/Address: 157 SE HERNANDO AVE  
 Current Use: MUSEUM  
 Year Built: 1865

Proposed Use: Same  
 Projected Cost of Work: \$ 900.00

**NARRATIVE**

Please provide a detailed summary of proposed work. Note affected features and changes in external structure design or materials. (Note: May be submitted as an attachment).

Replacement of sign. Business sign located on grounds of museum.  
Same size as replacement

I certify that I have reviewed the Land Development Code (see below) and that my submission meets all requirements.

Paulette M. Lord | Paulette M Lord Executive Director / Registered Agent | 9/20/22  
 APPLICANT/AGENT SIGNATURE | APPLICANT/AGENT NAME and TITLE | DATE

FOR OFFICIAL USE ONLY			
Parcel ID Number:	<u>12739-000</u>		
Future Land Use:	<u>Residential Medium</u>	Zoning District:	<u>RO</u>
Review (circle one):	Ordinary Maintenance	<u>Minor Work</u>	Major Work
National Register of Historic Places Designation?	Yes	No, but eligible	No, not eligible





GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Paulette Lord / Lake City - Columbia County HISTORICAL MUSEUM (owner name), owner of property parcel  
 number 00-00-00-12739 (41275) (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. PAULETTE M. LORD	1. Paulette M. Lord
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Paulette M. Lord 11/9/22  
 Owner Signature (Notarized) Date

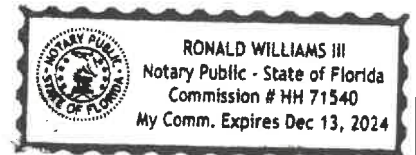
NOTARY INFORMATION:

STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Paulette Lord, personally appeared before me and is known by me or has produced identification (type of I.D.) FL Driver's License on this 9<sup>th</sup> day of November, 2022.

Ronald Williams III  
 NOTARY'S SIGNATURE

(Seal/Stamp)





poles are 4"x 4"



Lake City-Columbia County  
**Historical Museum**  
157 SE Hernando Ave.  
Lake City, FL 32025  
**For Tours and Information Call**  
(386) 755-9096  
(386) 961-1243  
Visit Us Online on Facebook  
<https://www.facebook.com/thehistoricalmuseum/>

# Google Maps 157 SE Hernando Ave



Image capture: May 2019 © 2023 Google

← 157 SE Hernando Ave

All Street View & 360°



**Columbia County Property Appraiser** Jeff Hampton | Lake City, Florida | 386-758-1083

**PARCEL: 00-00-00-12739-000 (41275)** | CULTURAL GROUPS (7900) | 0.257 AC  
 C DIV: N1/2 BLOCK 36 EX THE E 64 FT.(1/2 INT EACH) ORB 522-346 & ORB 626-700

**Owner:** COLUMBIA COUNTY HISTORICAL MUSEUM INC  
**BLUE/GREY ARMY INC**  
 P O BOX 3276  
 LAKE CITY, FL 32056-3276  
**Site:** 157 SE HERNANDO AVE, LAKE CITY  
**Sales Info:** 10/1/1983 \$9,500 I(U)

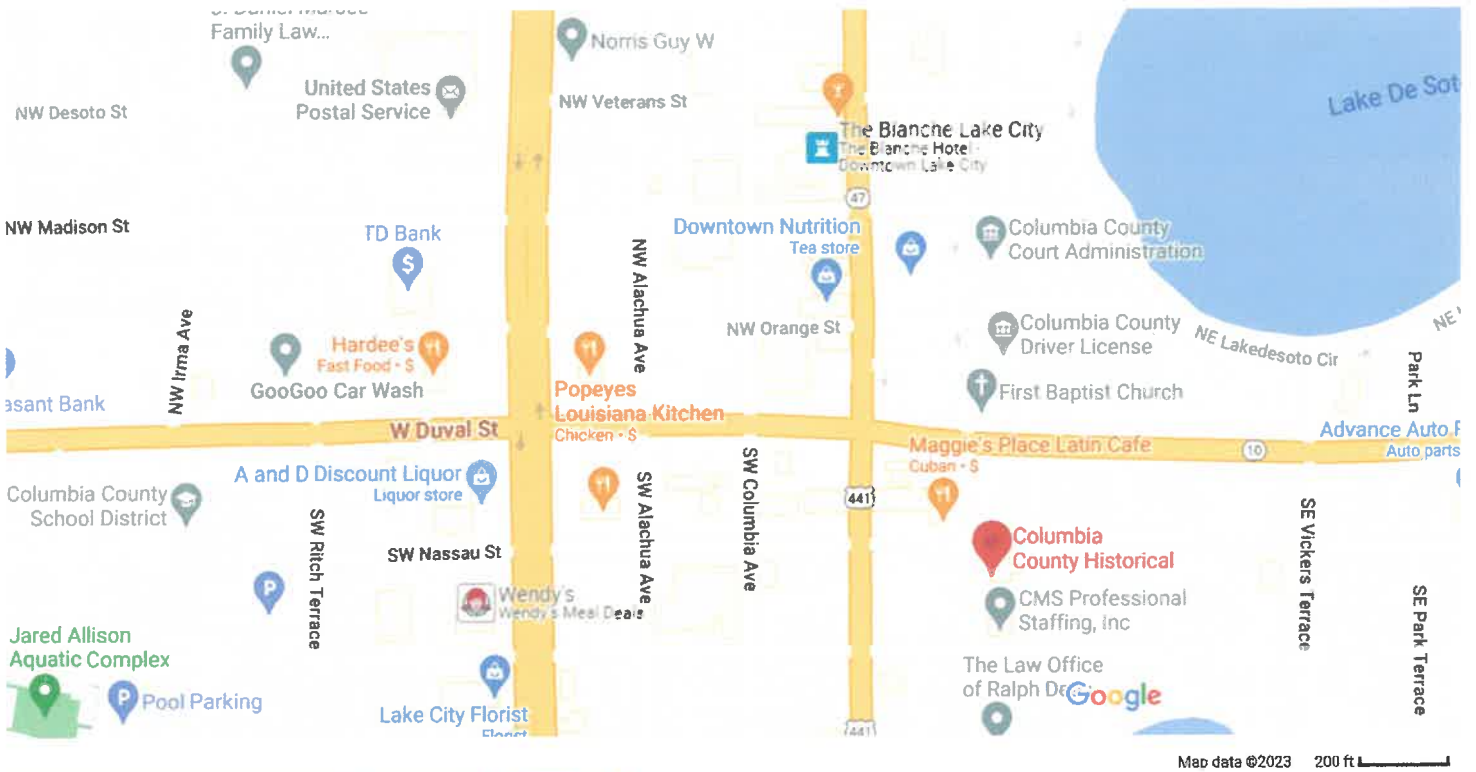
2023 Working Values			
Mkt Lnd	\$19,661	Appraised	\$103,765
Ag Lnd	\$0	Assessed	\$103,765
Bldg	\$83,404	Exempt	\$103,765
XFOB	\$700	county:	\$0
Just	\$103,765	city:	\$0
		other:	\$0
		school:	\$0

**NOTES:**



This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

### Columbia County Historical



### Columbia County Historical

4.1 ★★★★★ (46)

Museum

Overview

Reviews

About



Directions



Save



Nearby



Send to phone



Share

📍 157 SE Hernando Ave, Lake City, FL 32025

🕒 Closed · Opens 10 AM Sat

📞 (386) 755-9096

📍 59Q7+9H Lake City, Florida

Columbia County Property Appraiser  
Jeff Hampton

**2023 Working Values**  
updated: 4/13/2023

Parcel: << 00-00-00-12739-000 (41275) >>

**Owner & Property Info**

Result: 1 of 1

Owner	COLUMBIA COUNTY HISTORICAL MUSEUM INC BLUE/GREY ARMY INC P O BOX 3276 LAKE CITY, FL 32056-3276		
Site	157 SE HERNANDO AVE, LAKE CITY		
Desc*	C DIV: N1/2 BLOCK 36 EX THE E 64 FT.(1/2 INT EACH) ORB 522-346 & ORB 626-700		
Area	0.257 AC	S/T/R	32-3S-17
Use Code**	CULTERAL GROUPS (7900)	Tax District	1

\*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

\*\*The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

**Property & Assessment Values**

2022 Certified Values				2023 Working Values			
Mkt Land		\$19,661		Mkt Land		\$19,661	
Ag Land		\$0		Ag Land		\$0	
Building		\$83,404		Building		\$83,404	
XFOB		\$700		XFOB		\$700	
Just		\$103,765		Just		\$103,765	
Class		\$0		Class		\$0	
Appraised		\$103,765		Appraised		\$103,765	
SOH Cap [?]		\$0		SOH Cap [?]		\$0	
Assessed		\$103,765		Assessed		\$103,765	
Exempt	10	\$103,765		Exempt	10	\$103,765	
Total Taxable		county:\$0 city:\$0 other:\$0 school:\$0		Total Taxable		county:\$0 city:\$0 other:\$0 school:\$0	

**▼ Sales History**

Sale Date	Sale Price	Bk/Pg	Deed	V/I	Qual (Codes)	RCode
10/1/1983	\$9,500	0522/0346	WD	I	U	01

**▼ Building Characteristics**

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
Sketch	RES EXEMPT (9600)	1885	3206	4276	\$83,404

\*Bldg Desc determinations are used by the Property Appraisers office solely for the purpose of determining a property's Just Value for ad valorem tax purposes and should not be used for any other purpose.

**▼ Extra Features & Out Buildings (Codes)**

Code	Desc	Year Blt	Value	Units	Dims
0166	CONC,PAVMT	2011	\$400.00	1.00	0 x 0
0296	SHED METAL	2011	\$300.00	1.00	0 x 0

**▼ Land Breakdown**

Code	Desc	Units	Adjustments	Eff Rate	Land Value
7900	CULTURAL (MKT)	11,235.000 SF (0.257 AC)	1.0000/1.0000 1.0000/ /	\$2 /SF	\$19,661

Search Result: 1 of 1

**File Attachments for Item:**


**iii. COA 23-21**, submitted by David Bowman, owner, requesting a Certificate of Appropriateness in a residential single family-3 (RSF-3) zoning district as established in section 4.7 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 13804-001.





## CERTIFICATE OF APPROPRIATENESS

### MINOR OR MAINTENANCE ONLY

<b>Date</b> 6/13/23	<b>COA</b> 23-21
<b>Address:</b> 244 SE Brown St, Lake City, FL 32025	
<b>Parcel Number:</b> 13804-001	
<b>Owner:</b> David Bowman	
<b>Address of Owner:</b> 244 SE Brown St, Lake City, FL 32025	
<b>Description of Structure:</b> Single Family Home	
The described structure or portion of the structure has been reviewed for compliance with the requirements of the City Historic Preservation Land Development Regulations for the exterior construction as submitted by the applicant per Ordinance Number 2020-2176	
 Steve Brown Interim Director of Growth Management	
<b>Code Edition:</b> 2020 (7 <sup>th</sup> ) Edition of the Florida Building Codes, 2020 (7 <sup>th</sup> ) Edition of the Florida Fire Prevention Code and the 2017 U.S. Secretary of the Interior's Standards for Rehabilitation	
<b>Description of Approved Construction:</b> Replace existing dark grey shingles with new English Pewter shingles.	
<b>Special Conditions:</b>	

The City of Lake City's Growth Management Department and the City Historic Preservation Committee

205 N Marion Avenue

Lake City, Florida 32055

(386) 719-5750



**CITY OF LAKE CITY  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

FOR OFFICIAL USE ONLY

Date Received: 6/13/23

Case #: COA23-21

**APPLICANT INFORMATION**

Applicant is (check one and sign below):  Owner  Contractor  Architect  Other \_\_\_\_\_

Applicant: Donald Burnsed

Property Owner: David Bowman

Contact: 352.900.5149

Contact: 904.405.2394

Address: 13800 Tech City Cir.  
STE 322, Alachua, FL 32015

Address: 244 SE Brown St.

Lake City, FL 32025

Phone: 352.900.5149

Phone: 904.405.2394

Cell: Same as above.

Cell: Same as above.

Email: permits@trueforce  
roofing.com

Email: Kbailey1288@yahoo.com

**PROPERTY INFORMATION**

Site Location/Address: 244 SE Brown St.

Current Use: Single Family (0100).

Proposed Use: Same.

Year Built: 2007

Projected Cost of Work: \$ 8,000.00

**NARRATIVE**

Please provide a detailed summary of proposed work. Note affected features and changes in external structure design or materials. (Note: May be submitted as an attachment).

Remove existing shingles & replace with new shingles.  
Shingle color: English Pewter - Tamko Heritage Shingles.  
Black accessories and black drip edge.

I certify that I have reviewed the Land Development Code (see below) and that my submission meets all requirements.

APPLICANT/AGENT SIGNATURE

Donald Burnsed / Contractor  
APPLICANT/AGENT NAME and TITLE

6/13/2023  
DATE

FOR OFFICIAL USE ONLY

Parcel ID Number:	<u>13804-001</u>		
Future Land Use:	<u>Residential Medium</u>	Zoning District:	<u>RSF-3</u>
Review (circle one):	Ordinary Maintenance	Minor Work	Major Work
National Register of Historic Places Designation?	Yes	No, but eligible	No, not eligible



GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, David Bowman (owner name), owner of property parcel

number 00-00-00-13804-001 (42357) (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Donald Burnsed</u>	
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

6-13-23  
 Owner Signature (Notarized) Date

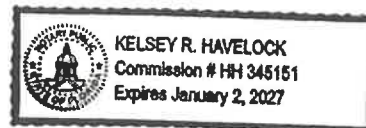
NOTARY INFORMATION:

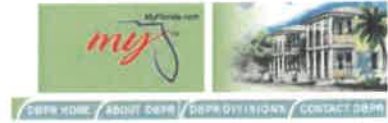
STATE OF: Florida COUNTY OF: Alachua

The above person, whose name is David Bowman, personally appeared before me and is known by me or has produced identification (type of I.D.) DL on this 13 day of June, 2023.

NOTARY'S SIGNATURE

(Seal/Stamp)





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**Product Approval**  
USER: Public User

[Product Approval Menu](#) > [Product or Application Search](#) > [Application List](#) > **Application Detail**



FL #	FL18355-R6								
Application Type	Revision								
Code Version	2020								
Application Status	Approved								
	*Approved by DBPR. Approvals by DBPR shall be reviewed and ratified by the POC and/or the Commission if necessary.								
Comments									
Archived	<input type="checkbox"/>								
Product Manufacturer	TAMKO Building Products LLC								
Address/Phone/Email	PO Box 97 Galena, KS 66739 (417) 624-6644 Ext 2305 kerri_eden@tamko.com								
Authorized Signature	Kerri Eden kerri_eden@tamko.com								
Technical Representative	Kerri Eden								
Address/Phone/Email	PO Box 1404 Joplin, MO 64802 (417) 624-6644 Ext 2305 kerri_eden@tamko.com								
Quality Assurance Representative									
Address/Phone/Email									
Category	Roofing								
Subcategory	Asphalt Shingles								
Compliance Method	Evaluation Report from a Product Evaluation Entity								
Evaluation Entity	UL LLC								
Quality Assurance Entity	UL LLC								
Quality Assurance Contract Expiration Date	11/18/2021								
Validated By	Robert Nieminen, PE, NEMO ETC, LLC								
	<input checked="" type="checkbox"/> Validation Checklist - Hardcopy Received								
Certificate of Independence	<a href="#">FL18355_R6_COI_UL_Standards of Business Conduct - Independence.pdf</a>								
Referenced Standard and Year (of Standard)	<table border="0"> <thead> <tr> <th><b>Standard</b></th> <th><b>Year</b></th> </tr> </thead> <tbody> <tr> <td>ASTM D3161</td> <td>2016</td> </tr> <tr> <td>ASTM D3462</td> <td>2010</td> </tr> <tr> <td>ASTMD D7158</td> <td>2019</td> </tr> </tbody> </table>	<b>Standard</b>	<b>Year</b>	ASTM D3161	2016	ASTM D3462	2010	ASTMD D7158	2019
<b>Standard</b>	<b>Year</b>								
ASTM D3161	2016								
ASTM D3462	2010								
ASTMD D7158	2019								
Equivalence of Product Standards Certified By									
Sections from the Code									
Product Approval Method	Method 1 Option C								

Date Submitted 11/20/2020  
 Date Validated 11/23/2020  
 Date Pending FBC Approval  
 Date Approved 11/24/2020

**Summary of Products**

FL #	Model, Number or Name	Description
18355.1	TAMKO Asphalt Shingles	ASTM D3462 asphalt shingles and hip and ridge shingles
<b>Limits of Use</b> Approved for use in HVHZ: No Approved for use outside HVHZ: Yes Impact Resistant: N/A Design Pressure: N/A Other: See evaluation report for limits of use.		<b>Installation Instructions</b> <a href="#">FL18355_R6_II_2020_11_18_TAMKO_UL_ER2919-01.pdf</a> Verified By: UL LLC Created by Independent Third Party: <b>Evaluation Reports</b> <a href="#">FL18355_R6_AE_2020_11_18_TAMKO_UL_ER2919-01.pdf</a>

[Back](#) [Next](#)

Contact Us :: [2601 Blair Stone Road, Tallahassee FL 32399](#) Phone: 850-487-1824

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**ARCHITECTURAL ASPHALT SHINGLES**

DALLAS, TX • FREDERICK, MD • JOPLIN, MO • PHILLIPSBURG, KS



**SHINGLES BEGIN TO AGE AS SOON AS THEY ARE EXPOSED TO NATURE. BUILDINGS EXPERIENCE AGING FACTORS DIFFERENTLY, SO IT IS DIFFICULT TO PREDICT HOW LONG SHINGLES WILL LAST. TAMKO PROVIDES A LIMITED WARRANTY FOR MANY PRODUCTS, THAT INCLUDES A BINDING ARBITRATION CLAUSE AND OTHER TERMS AND CONDITIONS WHICH ARE INCORPORATED HEREIN BY REFERENCE. YOU MAY OBTAIN A COPY OF THE LIMITED WARRANTY AT TAMKO.COM OR BY CALLING 1-800-641-4691.**

**WARNING:** Use of this product in an assembly that includes polyurethane foam insulation (including without limitation an application directly to the underside of a roof deck or within a wall assembly) may cause premature degradation or failure of this product. We continue to evaluate compatibility of polyurethane foams with our asphalt building products. Chemical incompatibility, off-gassing after application and excess heat during and after application of polyurethane foams may affect the performance of asphalt and modified asphalt building products and metal fasteners used with those products.



**IMPORTANT SAFETY INFORMATION:** Do not install until all appropriate safety precautions have been read and understood. The TAMKO Safety Data Sheet (SDS) is available at [tamko.com/sds](http://tamko.com/sds). Always use appropriate fall protection equipment and wear appropriate personal protective equipment (PPE) when working with this product. Moisture, frost, debris or other material will decrease the traction and can cause slippery conditions when walking on the product. **Applicator safety is of utmost importance.**

**THESE ARE THE MANUFACTURER'S APPLICATION INSTRUCTIONS FOR ROOFING CONDITIONS DESCRIBED. TAMKO BUILDING PRODUCTS LLC ASSUMES NO RESPONSIBILITY FOR LEAKS OR OTHER DEFECTS RESULTING FROM FAILURE TO FOLLOW THE MANUFACTURER'S INSTRUCTIONS. FAILURE TO FOLLOW THESE INSTRUCTIONS WILL ADVERSELY AFFECT COVERAGE UNDER THE LIMITED WARRANTY AND ARBITRATION AGREEMENT. SEE THE LIMITED WARRANTY FOR DETAILS.**

**CHECK LOCAL BUILDING CODES TO DETERMINE SUITABILITY OF THIS PRODUCT FOR YOUR INTENDED USE.**

**INFORMATION INCLUDED IN THESE APPLICATION INSTRUCTIONS WAS CURRENT AT THE TIME OF PRINTING. TO OBTAIN A COPY OF THE MOST CURRENT VERSION OF THESE APPLICATION INSTRUCTIONS, VISIT US ONLINE AT WWW.TAMKO.COM OR CALL US AT 1-800-641-4691.**

**THIS TAMKO® PRODUCT IS COVERED BY A LIMITED WARRANTY AND ARBITRATION AGREEMENT, THE TERMS OF WHICH ARE PRINTED ON THE WRAPPER.**

IN COLD WEATHER (BELOW 40°F), CARE MUST BE TAKEN TO AVOID DAMAGE TO THE EDGES AND CORNERS OF THE SHINGLES.

IT IS NOT NECESSARY TO REMOVE THE PLASTIC STRIP FROM THE SHINGLES.

# HERITAGE® ARCHITECTURAL ASPHALT SHINGLES

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## 1. ROOF DECK

These shingles are for application to roof decks consisting of plywood, oriented strand board (OSB) or sheathing boards capable of receiving and retaining fasteners, and to inclines of not less than 2" per foot.

Shingles must be applied in strict accordance with the application instructions. TAMKO assumes no responsibility for leaks or defects resulting from improper application, or failure to properly prepare the surface to be roofed over.

**STANDARD ROOF:** For roofs having pitches equal to or greater than 4" per foot and up to but less than 21" per foot (4:12 and up to but less than 21:12).

**LOW-SLOPE:** For roofs having pitches 2" per foot up to but less than 4" per foot (2:12 up to but less than 4:12), refer to special instructions titled "Low Slope Application."

**MANSARD ROOF OR STEEP SLOPE:** For roofs having pitches equal to or greater than 21" per foot, refer to special instructions titled "Mansard Roof or Steep Slope Roof."

**NEW ROOF DECK CONSTRUCTION:** Roof deck must be smooth, dry and free from warped surfaces. It is recommended that metal drip edges be installed at eaves and rakes.

**PLYWOOD:** All plywood shall be exterior grade as defined by APA - The Engineered Wood Association. Plywood shall be a minimum of 3/8" thickness and applied in accordance with the recommendations of APA - The Engineered Wood Association.

**ORIENTED STRAND BOARD:** Oriented strand board shall be exterior grade as defined by APA - The Engineered Wood Association, minimum 7/16" thickness, APA-rated in accordance with Voluntary Standard PS 2 and applied in accordance with the recommendations of APA - The Engineered Wood Association.

**SHEATHING BOARDS:** Boards shall be well-seasoned tongue-and-groove boards and not over 6" nominal width. Boards shall be a 1" nominal minimum thickness. Boards shall be properly spaced and nailed.

## 2. VENTILATION

Inadequate ventilation of attic spaces can cause accumulation of moisture in winter months and a build-up of heat in the summer. These conditions can lead to:

1. Vapor condensation.
2. Buckling of shingles due to deck movement.
3. Rotting of wood components.
4. Premature failure of roof.

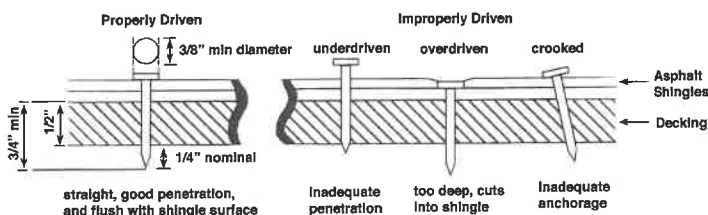
To ensure adequate ventilation and circulation of air, the ventilation system must include inlets and outlets. This may be accomplished with a combination of ridge and soffit vents or by using gable end vents. FHA minimum property standards require one square foot of net free ventilation area to each 150 square feet of space to be vented.

This may be reduced to one square foot of ventilation area per 300 square feet if at least 40% and not more than 50% of venting is provided not more than 3 feet below the ridge and if a Class I or II vapor barrier is installed on the warm-in-winter side of the ceiling in climate zones 6, 7, and 8 as recommended by the 2018 International Residential Code. For more information consult your design professional. If the ventilation openings are screened, the total area should be doubled.

### IT IS PARTICULARLY IMPORTANT TO PROVIDE ADEQUATE VENTILATION.

## 3. FASTENERS

**NAILS:** TAMKO requires the use of nails as the method of application. Standard type roofing nails should be used. Nail shanks should be made of minimum 12 gauge wire, and a minimum head diameter of 3/8". Nails should be long enough to penetrate 3/4" into the roof deck. Where the deck is less than 3/4" thick, the nails should be long enough to penetrate completely through decking and extend at least 1/8" through the roof deck. Drive nail head flush with the shingle surface.



**WIND CAUTION:** Extreme wind velocities can damage these shingles after application when proper sealing of the shingles does not occur. This can especially be a problem if the shingles are applied in cooler months or in areas on the roof that do not receive direct sunlight. These conditions may impede the sealing of the adhesive strips on the shingles. The inability to seal down may be compounded by prolonged cold weather conditions and/or blowing dust. In these situations, hand sealing of the shingles is required. To ensure quicker sealing, apply 4 quarter-sized dabs of any adhesive meeting ASTM D4586, Type I, on the back of the shingle 1" and 13" in from each side and 1" up from the bottom of the shingle. Press shingle firmly into the adhesive. For maximum wind resistance along rakes, install any TAMKO starter shingle including sealant or cement shingles to the underlayment and each other in a 4" width of any adhesive meeting ASTM D4586, Type I. Caution: Apply ONLY a thin uniform layer of adhesive less than 1/8" thick. Excessive amounts can cause blistering of the shingles and may soften the asphalt in certain underlayments resulting in the asphalt flowing, dripping and staining. Shingles must also be fastened according to the fastening instructions described below.

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### 3. FASTENERS (continued)

Correct placement of the fasteners is critical to the performance of the shingle. **If the fasteners are not placed as shown in the diagram as described below, this will result in the termination of TAMKO's liabilities under the Limited Warranty and Arbitration Agreement.** TAMKO will not be responsible for damage to shingles caused by winds in excess of the applicable MPH as stated in the Limited Warranty and Arbitration Agreement. See Limited Warranty and Arbitration Agreement on the wrapper or tamko.com for details.

#### FASTENING PATTERNS:

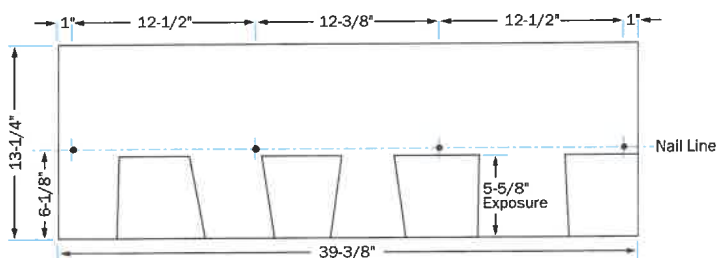
**FASTENERS MUST BE PLACED 6-1/8" FROM THE BOTTOM EDGE OF THE SHINGLE, PENETRATING THROUGH THE COMMON BOND, AND LOCATED HORIZONTALLY AS FOLLOWS:**

#### 1) STANDARD FASTENING PATTERN:

For use on decks with slopes 2° per foot up to but less than 21° per foot.

One fastener 1" from each end and one fastener 13-1/2" from each end for a total of 4 fasteners per shingle. (See Standard Fastening Pattern illustrated below.)

STANDARD FASTENING PATTERN



#### 2) MANSARD ROOF OR STEEP SLOPE FASTENING PATTERN:

For use on decks with slopes equal to or greater than 21° per foot.

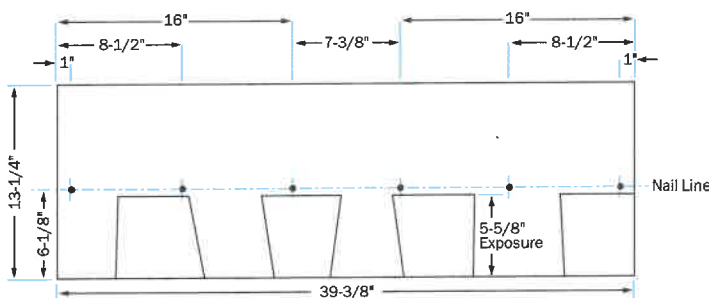
One fastener 1" from each end, one fastener 8-1/2" from each end and one fastener 16" from each end for a total of 6 fasteners per shingle. (See High Wind Warranty, Mansard Roof or Steep Slope Fastening Pattern illustrated below.)

#### 3) HIGH WIND WARRANTY FASTENING PATTERN:

One fastener 1" from each end, one fastener 8-1/2" from each end and one fastener 16" from each end for a total of 6 fasteners per shingle. (See High Wind Warranty, Mansard Roof or Steep Slope Fastening Pattern illustrated below.)

**CAUTION: ALL FASTENERS FOR MANSARD AND HIGH WIND APPLICATIONS MUST BE DRIVEN INTO THE COMMON BOND AS SHOWN IN THE HIGH WIND WARRANTY, MANSARD ROOF OR STEEP SLOPE FASTENING PATTERN DIAGRAM BELOW.**

HIGH WIND WARRANTY, MANSARD ROOF OR STEEP SLOPE FASTENING PATTERN



#### 4) ADDITIONAL REQUIREMENTS FOR HIGH WIND WARRANTY:

TAMKO also requires the use of TAMKO® starter shingles including sealant strip at eaves and rakes. Alternatively, along rakes, cement shingles to the underlayment and each other in a 4" width of any adhesive meeting ASTM D4586, Type I. Caution: Apply ONLY a thin uniform layer of adhesive less than 1/8" thick. Excessive amounts can cause blistering of the shingles and may soften the asphalt in certain underlayments resulting in the asphalt flowing, dripping and staining.

High Wind Application is offered on new construction or complete tear-off applications only. It is not offered for re-cover applications. If High Wind Application requirements are not followed, the High Wind Application Warranty MPH, as stated on Table I in the Limited Warranty and Arbitration Agreement, reverts to the Standard Application Wind Warranty MPH limit. (See High Wind Warranty, Mansard Roof or Steep Slope Fastening Pattern illustrated above.)

"High Wind Application" means application of shingles in strict accordance with the High Wind Warranty Fastening Pattern application instructions stated previously. See local building codes for additional nailing requirements.



**4. UNDERLAYMENT**

**UNDERLAYMENT:** An underlayment must be applied over the entire deck before the installation of TAMKO® shingles. Failure to add underlayment can cause premature failure of the shingles, which is not covered by TAMKO's Limited Warranty and Arbitration Agreement.

Products which are acceptable for use as underlayment are:

Asphalt Saturated Felt Underlayments

- Any TAMKO® non-perforated asphalt saturated organic felt
- A non-perforated asphalt saturated organic felt which meets ASTM D226 or ASTM D4869

Specialty Underlayments

- Synthetic Guard™ Plus Underlayment or Synthetic Guard™ Underlayment
- A polymeric underlayment designed for use with asphalt shingles which meets ASTM D8257
- TAMKO® Moisture Guard® Ice & Rain Underlayment, TW Underlayment or TW Metal and Tile Underlayment (additional ventilation may be required—contact TAMKO's Technical Services Department for more information)
- A self-adhesive underlayment designed for use with asphalt shingles which meets ASTM D1970

For Asphalt Saturated Felt Underlayments

Apply the felt when the deck is dry. On roof decks with slopes 4" per foot and greater apply the felt parallel to the eaves lapping each course of the felt over the lower course at least 2". Where ends join, lap the felt 4". If left exposed, the felt may be adversely affected by moisture and weathering. Laying of the felt and the shingle application must be done together.

For All Other Specialty Underlayments

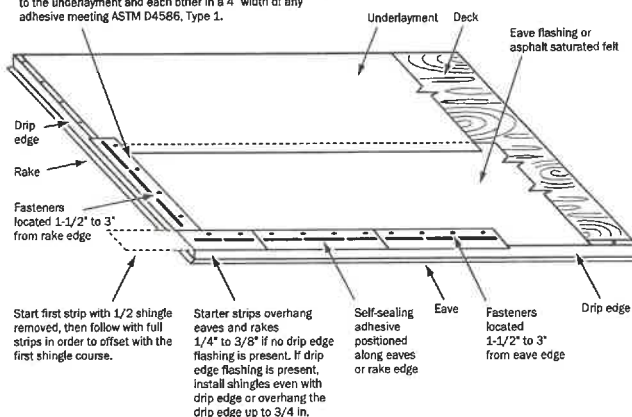
On roof decks with slopes 4" per foot and greater, apply the underlayment parallel to the eaves in accordance with underlayment application written instructions. The underlayment should not be left exposed for a longer period of time than is specified in the underlayment application written instructions. The final roof covering must be installed before the structure is exposed to adverse weather conditions, such as wind driven rain, high wind, hail, ice storms, etc.

In areas where ice builds up along the eaves or a back-up of water from frozen or clogged gutters is a potential problem, TAMKO® Moisture Guard®, TW Metal and Tile Underlayment or TW Underlayment (or any specialty eaves flashing product) may be applied to eaves, rakes, ridges, valleys, around chimneys, skylights or dormers to help prevent water damage. Contact TAMKO's Technical Services Department for more information.

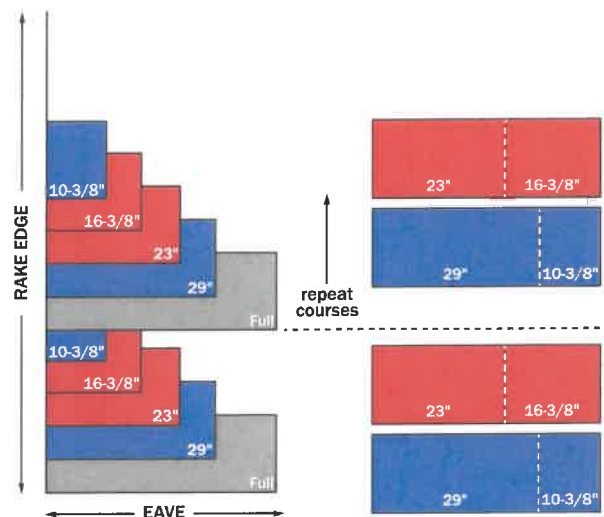
**5. APPLICATION INSTRUCTIONS**

**STARTER COURSE:** A starter course may consist of TAMKO® Shingle Starter, TAMKO® 10-inch Starter, TAMKO® Perforated Starter, or self-sealing 3-tab shingles. If self-sealing 3-tab shingles are used, remove the exposed tab portion and install with the factory applied adhesive adjacent to the eaves. Attach the starter course with approved fasteners along a line parallel to and 1-1/2" to 3" above the eaves edge. The starter course should overhang the eave edge 1/4" to 3/4" and the rake edge 3/8" to 3/4" if drip edge flashing is not used along the eaves or rakes. If drip edge flashing is present, install shingles even with the drip edge or overhang the starter course over the drip edge up to 3/4". Minimizing overhang at eaves and rakes is recommended to improve wind resistance of the installed system.

For maximum wind resistance along rakes, install any TAMKO starter shingle including sealant or cement shingles to the underlayment and each other in a 4" width of any adhesive meeting ASTM D4586, Type 1.



**2 CUTS, 5 COURSES, NO-WASTE SHINGLE APPLICATION:** Start the first course with a full-size shingle placed directly over the starter course. Cut 10-3/8" from a full shingle to form a shingle 29" long. Use this to start the second course (see diagram below). Cut a 23" long shingle to start the third course. Use the remaining 16-3/8" piece of shingle to start the fourth course and use the remaining 10-3/8" piece to begin the fifth course. Continue up the rake in as many rows as necessary using the same formula as outlined below.



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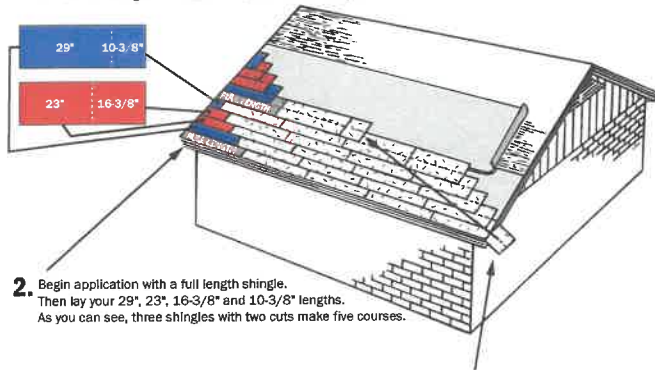
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## 5. APPLICATION INSTRUCTIONS (continued)

The butt of the shingle should be aligned with the top edge of the sawtooth of the underlying shingle for a 5-5/8" exposure. When you make your final cut at the roof's edge, flip any pieces that are 8" or longer back onto the roof. These pieces can be worked in anywhere without creating zippers or color variations.

1. Cut your first course shingle to make 29" and a 10-3/8" length.  
Cut a second shingle to make a 23" and a 16-3/8" length.



2. Begin application with a full length shingle.  
Then lay your 29", 23", 16-3/8" and 10-3/8" lengths.  
As you can see, three shingles with two cuts make five courses.
3. Continue working your way across the roof. When you make your final cut at the roof's edge, flip any pieces that are 8" or longer back onto the roof. These pieces can be worked in anywhere without creating zippers or color variations.

NOTE: do not align joints of shingle courses when working in cut pieces.  
Joints should be no closer than 4" from one another.

## 6. LOW SLOPE APPLICATION

On pitches 2" per foot up to but less than 4" per foot (2:12 up to but less than 4:12) cover the deck with two layers of underlayment. Begin by applying the underlayment in a 1/2-sheet width plus 1/2 width of the side lap (i.e. for 36" wide asphalt saturated felt with a 2" side lap, the width would be 19") along the eaves. Place a full sheet width over the starter piece, completely overlapping it. All succeeding courses will be positioned to overlap the preceding course by 1/2-width sheet plus 1/2 width of the side lap. If winter temperatures average 25°F or less, thoroughly cement the laps of the entire underlayment to each other with any adhesive meeting ASTM D4586 Type I from eaves and rakes to a point of at least 24" inside the interior wall line of the building. As an alternative, one layer of TAMKO® Moisture Guard®, TW Metal and Tile Underlayment, or TW Underlayment self-adhering underlayment may be used in lieu of the double coverage underlayment.

## 7. MANSARD ROOF OR STEEP SLOPE ROOF

If the slope is equal to or exceeds 21" per foot (60°), each shingle must be sealed with any adhesive meeting ASTM D4586 Type I immediately upon installation. Quarter-sized dabs of cement must be applied to shingles. Use 6 fasteners per shingle — see Section 3 for the Mansard Roof or Steep Slope Fastening Pattern.

## 8. RE-COVERING

High Wind Warranty is offered on new construction or complete tear-off applications only. It is not offered for re-cover applications.

Before re-covering a roof be certain to inspect the roof decks. All decking shall meet the requirements listed in Section 1.

It is not recommended to install laminated asphalt shingles directly over existing laminated shingles due to the unevenness of the existing multi-layered shingles. The performance of the sealant feature may be compromised, preventing the shingles from sealing properly. It is acceptable to install laminated shingles over existing three-tab strip shingles which are flat and essentially intact. Nail down or remove curled or broken shingles from the existing roof. Replace all missing shingles with new ones to provide a smooth base. Shingles that are buckled usually indicate warped decking or protruding nails. Hammer down all protruding nails or remove them and refasten in a new location. Remove all drip edge metal and replace with new.

If re-covering over an existing roof where new flashing is required to protect against ice dams (freeze/thaw cycle of water and/or the backup of water in frozen or clogged gutters), remove the old roofing to a point at least 24" beyond the interior wall line and apply TAMKO® Moisture Guard®, TW Metal and Tile Underlayment, or TW Underlayment. For more information contact TAMKO's Technical Services Department at 800-641-4691.

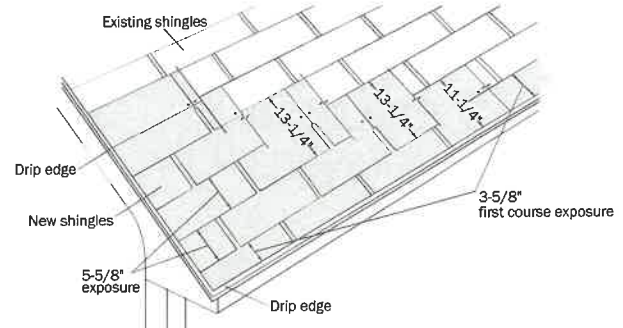
Measurements will vary when nesting over an existing 5" exposure shingled roof: Call TAMKO's Technical Services for further information.

The nesting procedure described below is the preferred method for re-covering over existing metric size shingles with a 5-5/8" exposure. See description below:

**Starter Course:** Remove the tabs and an additional portion from the head of a full-size shingle so that its height is equal to the exposure of the existing shingles. Position the resulting strip over the existing roof edge (with the factory-applied adhesive strip along the eaves). Cut approximately 6" from the rake end and apply the remaining portion at the eaves. Continue the starter strip by applying full length shingle strips cut to height as above, evenly along the existing roof at the eaves. The existing roof should overhang the eaves far enough to carry water off into the gutter. If this is not the case, cut and apply the starter strip so that it will provide sufficient overhang for proper drainage.

**First Course:** Remove an amount from the butt edge of a full-size shingle so that the remaining portion of the shingle fits between the butts of the existing third course. This course must also be applied evenly along the eaves edge of the new starter strip.

**Second and Succeeding Courses:** Remove 10-3/8" from the rake end of the first shingle in the second course, and continue with full width shingles for the remainder of the course, placing the top edge of each new shingle against the butt edge of the old shingle in the course above. This method should create an exposure of 5-5/8" after the first course. When beginning the succeeding courses continue to follow the application instructions. (See section 5).



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## 9. VALLEY APPLICATION

Center a minimum 36" wide sheet of TAMKO® Moisture Guard®, TW Metal and Tile Underlayment, any self-adhesive underlayment designed for use with asphalt shingles which meets ASTM D1970, or a minimum 50 lb. roll roofing in the valley. Nail the underlayment only where necessary to hold it in place and then only nail the outside edges. Install shingle underlayment and extend over valley flashing by 6".

**IMPORTANT: PRIOR TO INSTALLATION, WARM SHINGLES TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLES TO FORM VALLEY.**

- The first course and only the first course of shingles from the intersecting roof surface should be woven with the first course of shingles on the starting roof.
- Apply the first course of shingles along the eaves on one of the intersecting roof planes and across the valley.

**Note:** For proper flow of water over the trimmed shingle, always start applying the shingles on the roof plane that has the lower slope or less height.

- Extend the end shingle at least 12" onto the adjoining roof. Apply succeeding courses in the same manner, extending them across the valley and onto the adjoining roof.
- Press the shingles tightly into the valley.
- Use normal shingle fastening methods.

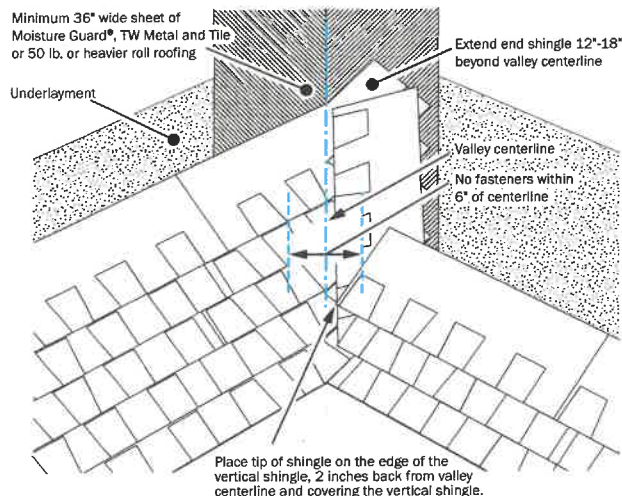
**Note:** No fastener should be within 6" of the valley centerline, and two fasteners should be placed at the end of each shingle crossing the valley.

- To the adjoining roof plane, apply one row of shingles vertically facing the valley and 2" back from the valley centerline.

**Note:** For a neater installation, snap a chalkline over the shingles for guidance.

- To complete the valley, apply shingles on the adjoining roof plane by positioning the tip of the first shingle of each row at the 2" point from the centerline where the edge of the vertical shingle has been applied, covering the vertical shingle.

For alternate valley application methods, please contact TAMKO's Technical Services Department at 800-641-4691.



## 10. HIP AND RIDGE FASTENING DETAIL

TAMKO recommends the use of TAMKO® Hip and Ridge shingle products. Where matching colors are available, it is acceptable to use TAMKO® Elite Glass-Seal® shingles cut down to 12" pieces.

**IMPORTANT: PRIOR TO INSTALLATION, CARE NEEDS TO BE TAKEN TO PREVENT DAMAGE WHICH CAN OCCUR WHILE BENDING SHINGLES IN COLD WEATHER.**

Apply shingles up to a hip or ridge from both sides of the roof before finishing the intersection. To facilitate finishing, adjust the last few courses so that the ridge capping will adequately cover the top courses of shingles equally on both sides of the ridge.

To apply the capping, bend each shingle along the centerline so that it will extend an equal distance on each side of the hip or ridge. Chalk lines may assist in proper alignment. In cold weather, warm the shingle until it is pliable before bending.

Apply the shingles with a 5-1/8" exposure, beginning at the bottom of the hip or from the end of the ridge opposite the direction of the prevailing winds. See Figure 1. Secure each shingle as illustrated in Figure 2 with one fastener on each side, 5-5/8" back from the exposed end and 1" up the from the edge. DO NOT NAIL BELOW THIS LINE 1" UP FROM THE EDGE. The length of the fastener should be long enough to penetrate through the roofing material and 3/4" into the wood decking or completely through the decking.

In high wind areas, it may be advisable, at the discretion of the roofing contractor, to use a spot of sealant to minimize blow off problems.

Alternatively, a 2-layer application of TAMKO® hip and ridge shingles with dimension 12-1/4" x 12" may be applied to all Heritage® roofs to enhance the overall appearance. When the second layer is applied, offset this layer by 1/4" to create a "shadow" effect. See Figure 3.

For a high profile appearance, TAMKO recommends Heritage® Designer Ridge. The application instructions are available at tamko.com or by calling TAMKO's Technical Services Department at 800-641-4691.

Figure 1

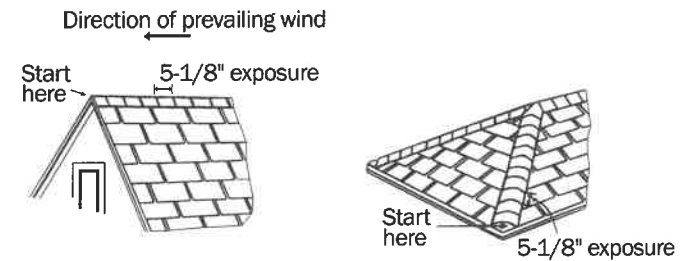


Figure 2

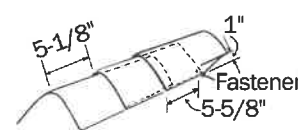
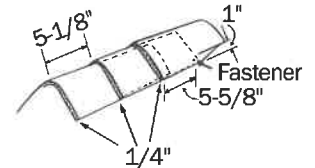
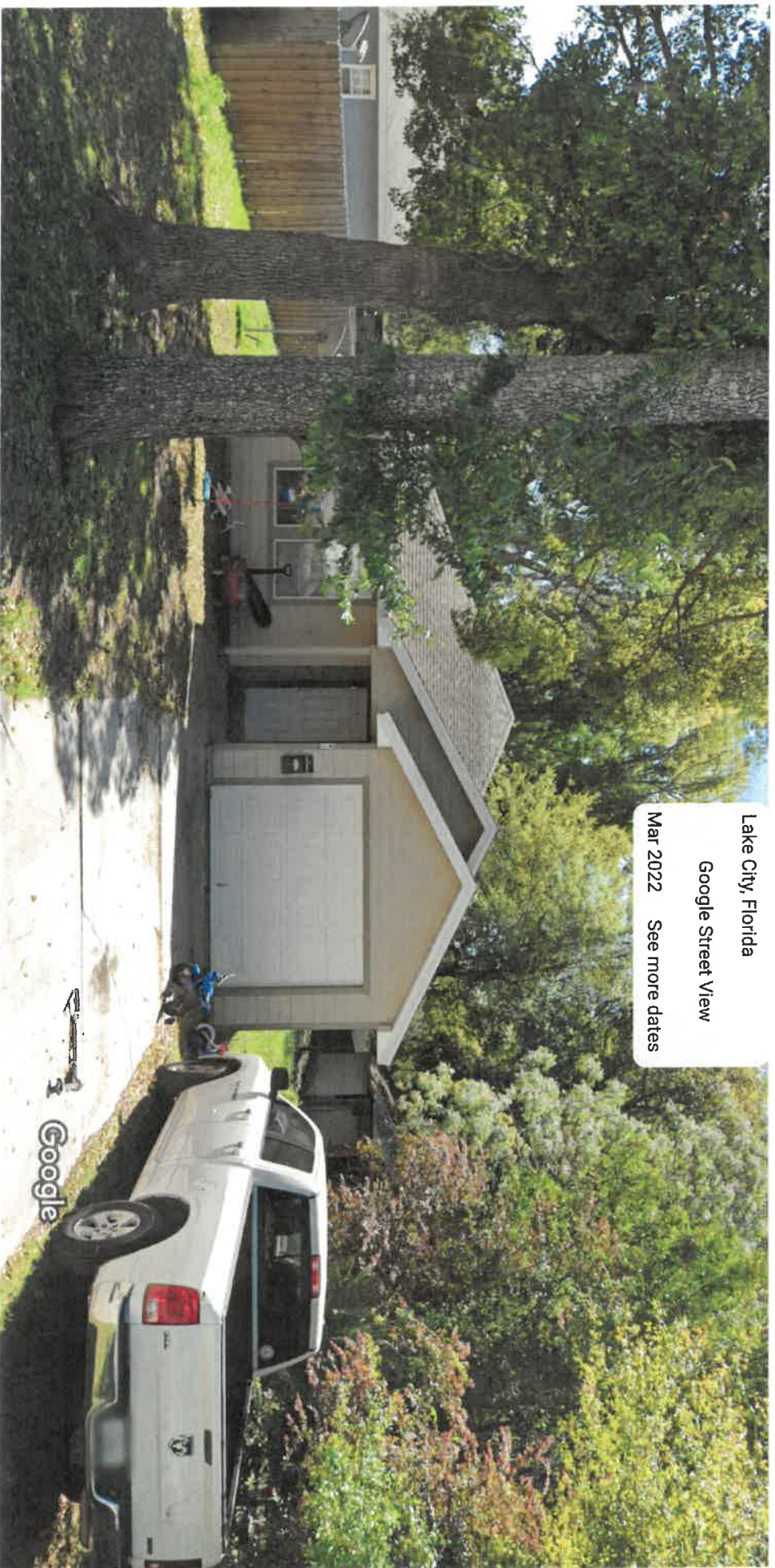


Figure 3



Google Maps 244 SE Brown St



Lake City, Florida  
 Google Street View  
 Mar 2022 See more dates

Image capture: Mar 2022 © 2023 Google

← 244 SE Brown St

All

Street View & 360°

Google Maps 244 SE Brown St



Lake City, Florida  
 Google Street View  
 Mar 2022 See more dates



244 SE Brown St

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Street View & 360°

Image capture: Mar 2022 © 2023 Google

Google Maps 244 SE Brown St

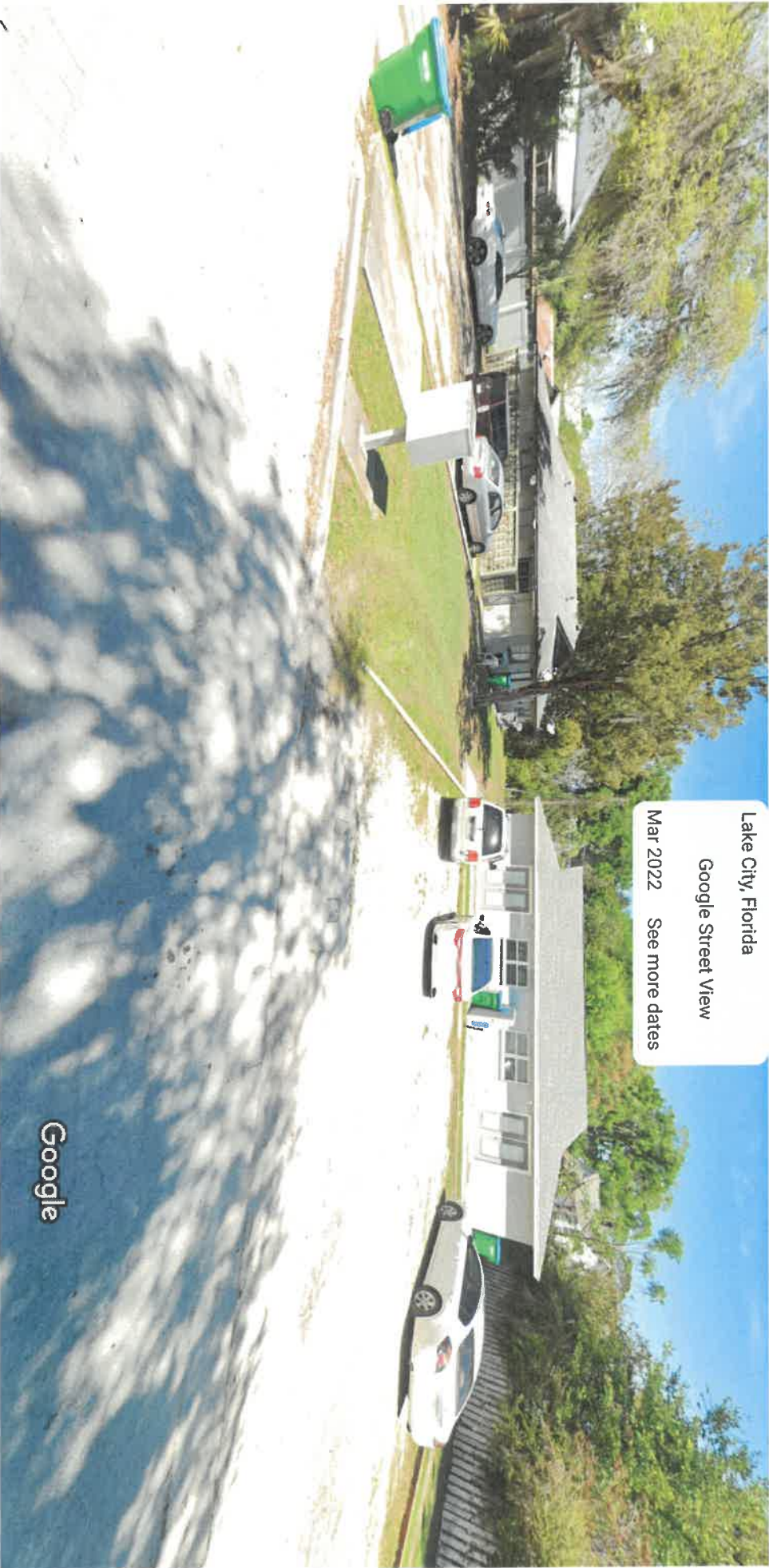


Lake City, Florida  
 Google Street View  
 Mar 2022 See more dates

Image capture: Mar 2022 © 2023 Google

← 244 SE Brown St  
 Street View & 360°  
 All

Google Maps 244 SE Brown St



Lake City, Florida  
 Google Street View  
 Mar 2022 See more dates

Image capture: Mar 2022 © 2023 Google

← 244 SE Brown St

All Street View & 360°

**File Attachments for Item:**


**iv. COA 23-22**, submitted by Jessica Harris, owner, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10.1 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 12797-000





## CERTIFICATE OF APPROPRIATENESS

### MINOR OR MAINTENANCE ONLY

<b>Date</b> 6/21/23	<b>COA</b> COA23-22
<b>Address:</b> 294 SW Columbia Ave, Lake City, FL	
<b>Parcel Number:</b> 12797-000	
<b>Owner:</b> Jessica Harris	
<b>Address of Owner:</b> 294 SW Columbia Ave, Lake City, FL	
<b>Description of Structure:</b> Single Family Home	
<p>The described structure or portion of the structure has been reviewed for compliance with the requirements of the City Historic Preservation Land Development Regulations for the exterior construction as submitted by the applicant per Ordinance Number 2020-2176</p>	
 Steve Brown Interim Director of Growth Management	
<b>Code Edition:</b> 2020 (7 <sup>th</sup> ) Edition of the Florida Building Codes, 2020 (7 <sup>th</sup> ) Edition of the Florida Fire Prevention Code and the 2017 U.S. Secretary of the Interior's Standards for Rehabilitation	
<b>Description of Approved Construction:</b>	
Replace existing shingle roof with a new galvalume metal roof consistent with homes in the area.	
<b>Special Conditions:</b>	

The City of Lake City's Growth Management Department and the City Historic Preservation Committee

205 N Marion Avenue  
 Lake City, Florida 32055  
 (386) 719-5750



**CITY OF LAKE CITY  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

**FOR OFFICIAL USE ONLY**

Date Received: 6/20/23  
Case #: COA23-22

**APPLICANT INFORMATION**

Applicant is (check one and sign below):  Owner     Contractor     Architect     Other \_\_\_\_\_

Applicant: Jessica Harris

Property Owner: Jessica Harris

Contact: 904-234-3203

Contact: 904-234-3203

Address: 294 SW Columbia Avenue  
Lake City, FL 32025

Address: 294 SW Columbia Avenue  
Lake City, FL 32025

Phone: \_\_\_\_\_

Phone: \_\_\_\_\_

Cell: \_\_\_\_\_

Cell: \_\_\_\_\_

Email: Jessieharris23@gmail.com

Email: \_\_\_\_\_

**PROPERTY INFORMATION**

Site Location/Address: 294 SW Columbia Avenue

Current Use: Home

Proposed Use: \_\_\_\_\_

Year Built: 1947

Projected Cost of Work: \$10-30K

**NARRATIVE**

Please provide a detailed summary of proposed work. Note affected features and changes in external structure design or materials. (Note: May be submitted as an attachment).

Goal: Put a new metal roof over the shingle roof before my insurance company drops me 08/06/23. Material: Galvalume Tuff-Rib metal from Tri County Metals. Later goal: Re-roof the two shed roofs to match if I can afford, Re-plumb, & improve inside while keeping the character of the home. Please help me expedite this so I can get affordable insurance coverage before August.

I certify that I have reviewed the Land Development Code (see below) and that my submission meets all requirements.

APPLICANT/AGENT SIGNATURE	APPLICANT/AGENT NAME and TITLE	DATE
---------------------------	--------------------------------	------

FOR OFFICIAL USE ONLY			
Parcel ID Number:	<u>12797-000</u>		
Future Land Use:	<u>Residential Medium</u>	Zoning District:	<u>AO</u>
Review (circle one):	Ordinary Maintenance	Minor Work	Major Work
National Register of Historic Places Designation?	Yes	No, but eligible	No, not eligible

## City of Lake City, Land Development Regulations

### ARTICLE TEN. HISTORIC SITES AND STRUCTURES PRESERVATION REGULATIONS

#### SECTION 10.11 APPROVAL OF CHANGES TO LANDMARKS AND LANDMARK SITES

10.11.1 Certificate of Appropriateness. No person may undertake the following actions affecting a designated landmark or landmark site without first obtaining a Certificate of Appropriateness from the Agency:

1. Alteration of an archeological site or the exterior part or premises of a building or a structure;
2. New construction;
3. Demolition; or
4. Relocation.

10.11.2 Review of New Construction and Alterations. Review of new construction and alterations to designated buildings and structures shall be limited to exterior changes visible to the public. The Land Development Regulation Administrator is authorized to issue a Stop Work Order on any alteration, new construction, demolition or relocation undertaken on a designated landmark or a designated landmark site without a Certificate of Appropriateness,

A Certificate of Appropriateness is in addition to any other building permits required by law. The issuance of a Certificate of Appropriateness from the Agency does not relieve the property owner of the duty to comply with other state and local laws and regulations.

Ordinary repairs and maintenance otherwise permitted by law may be undertaken on a designated landmark or a designated landmark site without a Certificate of Appropriateness provided this work does not alter the exterior appearance of the building, structure, or archeological site, or alter elements significant to its architectural or historic integrity.

A Certificate of Appropriateness for alteration, new construction, demolition, or relocation pursuant to the provisions of this Article is not effective for a period of fifteen (15) days subsequent to the Agency's decision. If during that fifteen (15) day period an appeal is made to the City Council, the decision of the Agency is automatically stayed pending City Council review.

Standards for Alterations or New Construction for Conformance with the Certificate of Appropriateness ("The Secretary of Interior's Standards for Rehabilitation and Guidelines for Rehabilitating Historic Buildings," U.S. Department of Interior).

1. The property shall be used for its historic purpose or be placed in a new use that requires minimal change to the defining characteristics of the building and its site and environment.
2. The historic character of the property shall be retained and preserved. The removal of historic materials or alteration of features and spaces that characterize the property shall be avoided.
3. The property shall be recognized as a physical record of its time, place and use. Changes that create a false sense of historical development, such as adding conjectural features or architectural elements from other building, shall not be undertaken.
4. As most properties change over time, these changes to the property that have acquired historic significance in their own right shall be retained and preserved.
5. Distinctive features, finishes and construction techniques or examples of craftsmanship that characterize the historic property shall be preserved.
6. Where possible deteriorated historic features to be rehabilitated shall be repaired rather than replaced. Where the severity of deterioration required replacement of a distinctive feature, the new feature shall match the old in design, color, texture and other visual qualities and where possible, materials.

7. Chemical or physical treatments, such as sandblasting, that cause damage to historic materials shall not be used. The surface cleaning of structure, if appropriate, shall be undertaken using the gentlest means possible.
8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
9. New additions, exterior alterations or related new construction shall not destroy historic materials that characterize the property. The new work shall be differentiated from the old and shall be compatible with the massing, size, scale and architectural features to protect the historic integrity of the property and its environment.
10. New additions and adjacent or related new construction shall be undertaken in such a manner that if removed in the future, the essential form and integrity of the historic property and its environment would be unimpaired.

10.11.4 Application Procedure for Certificate of Appropriateness. Each application for a Certificate of Appropriateness shall be accompanied by the required fee. The Land Development Regulation Administrator shall forward to the Agency each application for a permit that authorizes an alteration, new construction, demolition or relocation affecting a landmark or a designated landmark site. The applicant shall complete an application form provided by the Land Development Regulator Administrator and submit the following:

1. Drawings of the proposed work;
2. Photographs of existing buildings or structures and adjacent properties; and
3. Information about the building materials to be used.

The Land Development Regulation Administrator determines when an application is complete and may require additional information when such application is determined to be incomplete.

10.11.5 Public Hearings for Certificates of Appropriateness. The Agency shall hold a public hearing on each application for a Certificate of Appropriateness in accordance with Article

13. The Agency shall approve, approve with conditions, or disapprove each application based on the criteria contained in this section.

In approving or in denying application for a Certificate of Appropriateness for alterations, new construction, demolition, or relocation, the Agency shall examine the following general issues:

1. The effect of the proposed work on the landmark or property;
2. The relationship between such work and other structures on the site;
3. The extent to which the historic, architectural or archeological significance, architectural style, design, arrangement, texture, materials, and color of the landmark or the property will be affected;
4. Whether or not denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property; and
5. Whether the plans may be reasonably carried out by the applicant.

No Certificate of Appropriateness for demolition shall be issued by the Agency until the applicant has demonstrated that no feasible alternative to demolition can be found. The Agency may ask interested individuals and organizations for assistance in seeking an alternative to demolition and shall study the question of economic hardship for the applicant and determine whether the landmark can be put to reasonable beneficial use without approval of the demolition application. In the case of an income-producing building, the Agency shall also determine whether the applicant can obtain a reasonable return from the existing building. The Agency may ask an applicant for additional information including, but not limited to, evidence that the plans for a new building on the site will be implemented. If the applicant fails to establish the lack of a reasonable beneficial use or the lack of a reasonable return,

the Agency shall deny the demolition application.

The Agency may grant a Certificate of Appropriateness for demolition even though the designated landmark or landmark site has reasonable beneficial use if: (

1. The Agency determines that the property no longer contributes to a historic district or no longer has significance as a historic, architectural or archeological landmark; and
2. The Agency determines that the demolition of the designated property is required by a community redevelopment plan or the City's Comprehensive Plan.



GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Jessica Harris (owner name), owner of property parcel

number 00-00-00-12797-000 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Dasen Dampier</u>	1. <u>[Signature]</u>
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Jessie Harris 6/20/23  
 Owner Signature (Notarized) Date

NOTARY INFORMATION:  
 STATE OF: Florida COUNTY OF: Columbia

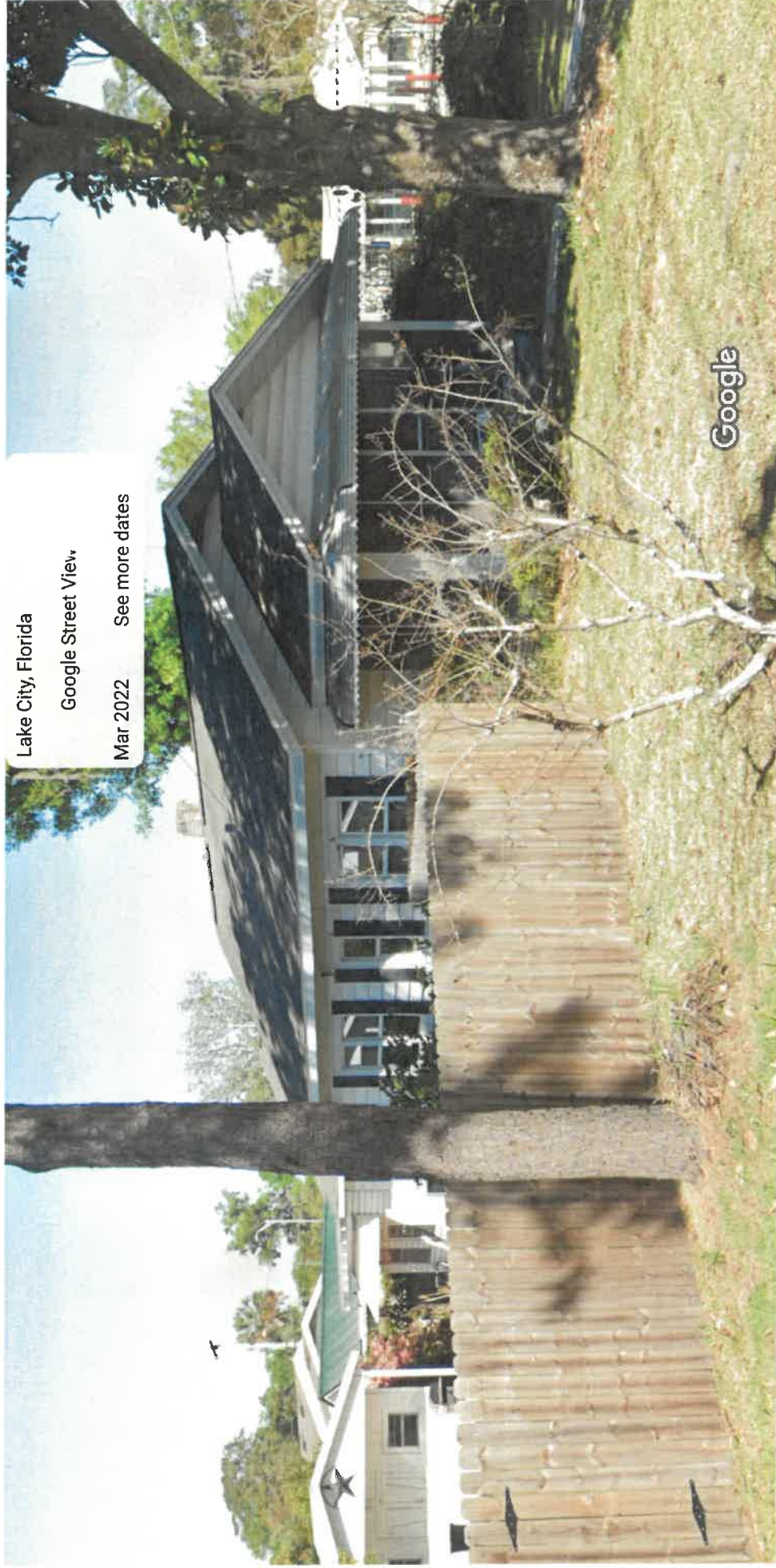
The above person, whose name is Jessie Harris, personally appeared before me and is known by me or has produced identification (type of I.D.) \_\_\_\_\_ on this 20<sup>th</sup> day of June, 2023.

Donna Evans  
 NOTARY'S SIGNATURE

(Seal/Stamp)



# Google Maps 294 SW Columbia Ave



Lake City, Florida  
 Google Street View  
 Mar 2022 See more dates

Image capture: Mar 2022 © 2023 Google

← 294 SW Columbia Ave

All Street View & 360°

# Google Maps 322 SW Columbia Ave

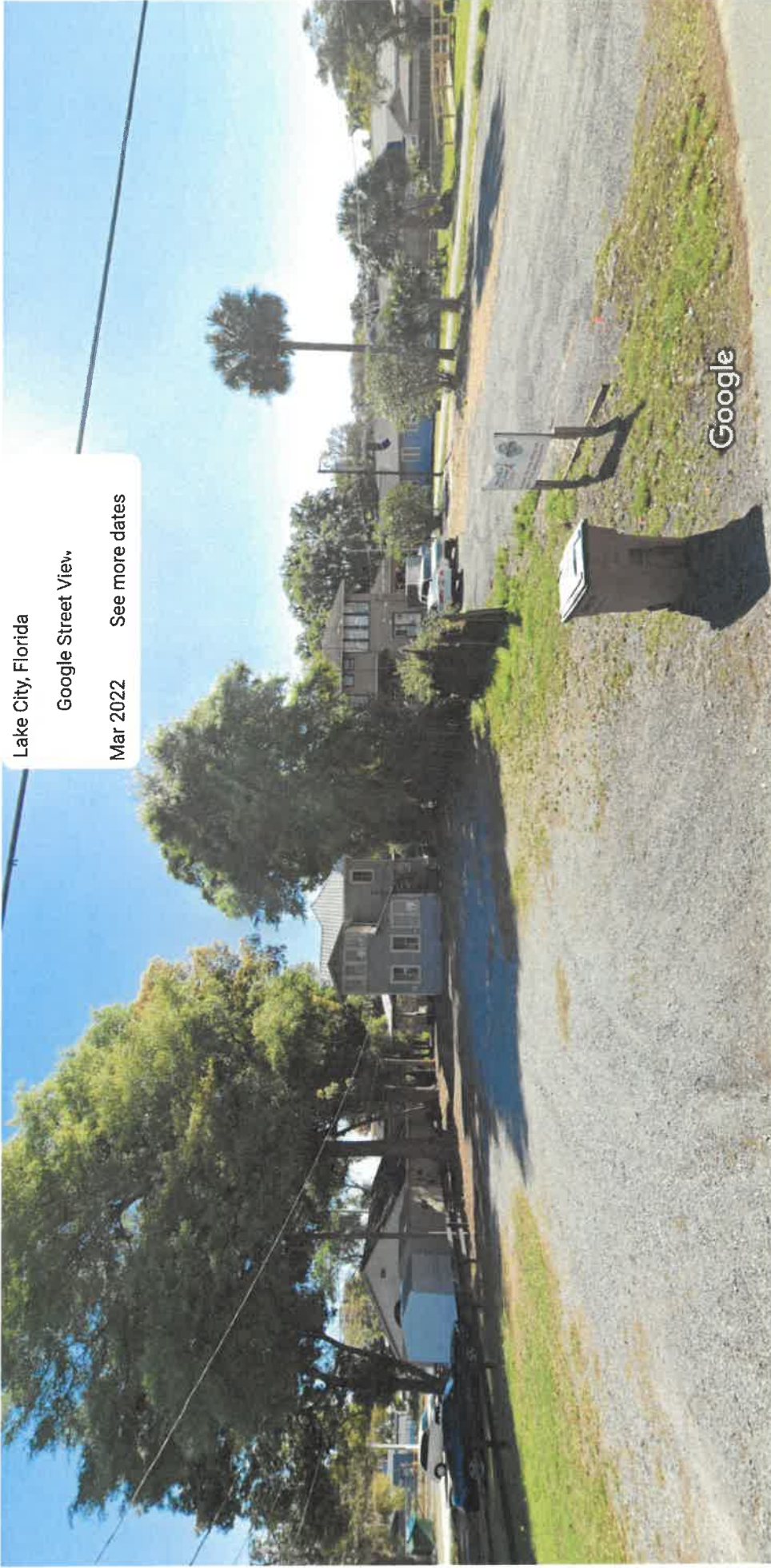


Image capture: Mar 2022 © 2023 Google

← 294 SW Columbia Ave

All Street View & 360°



# Google Maps 294 SW Columbia Ave

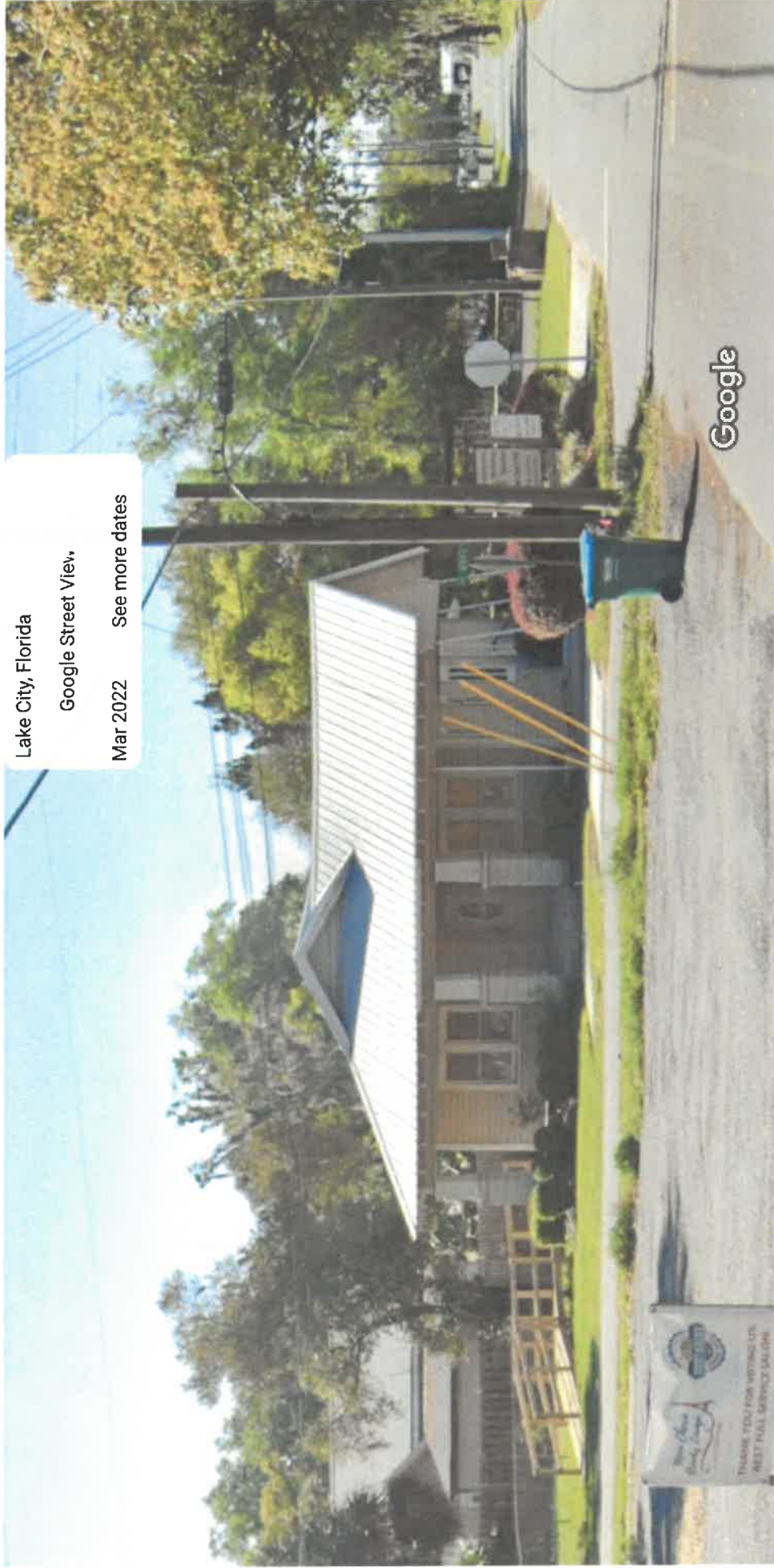
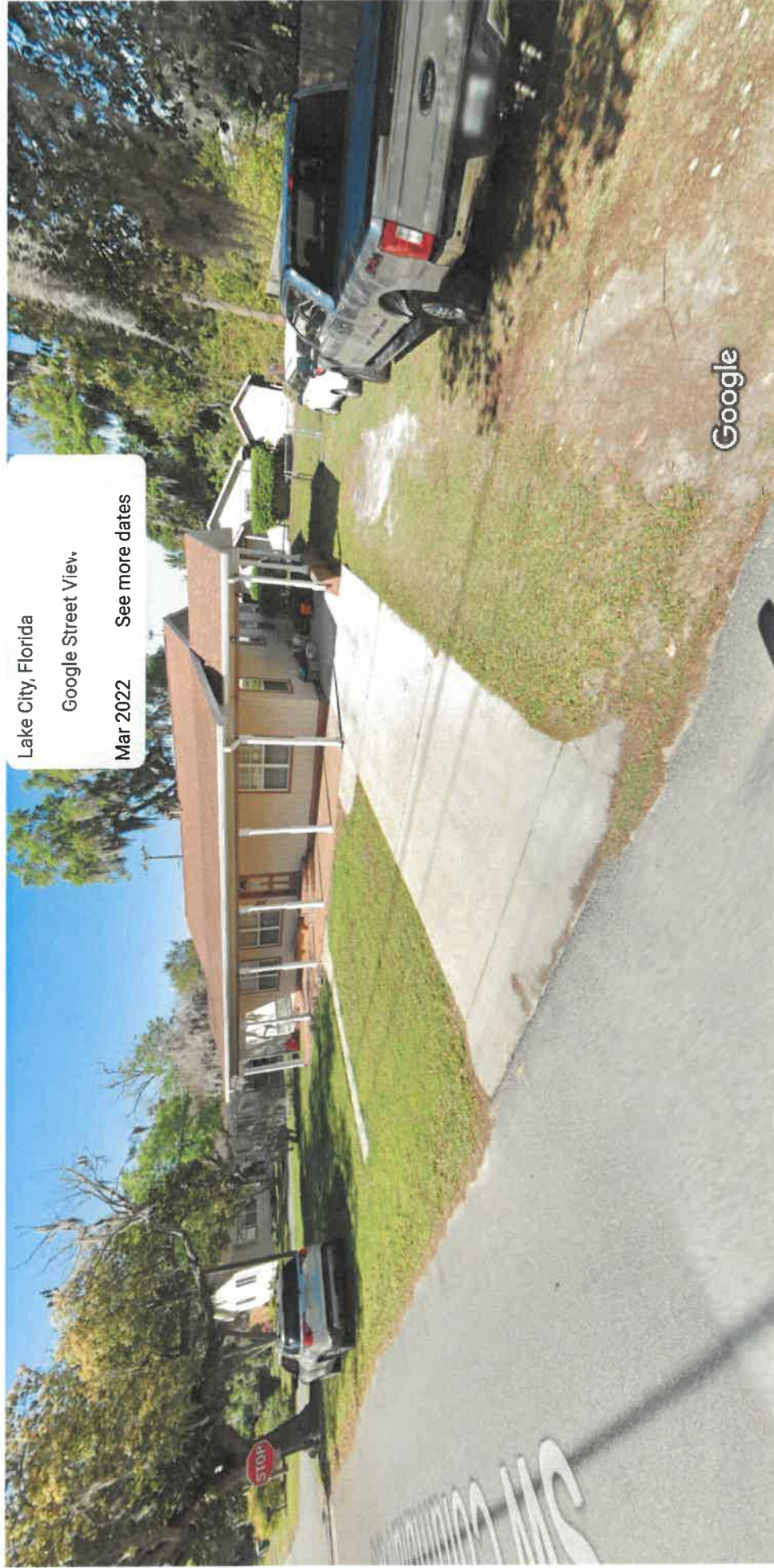


Image capture: Mar 2022 © 2023 Google

← 294 SW Columbia Ave

All Street View & 360°

# Google Maps 322 SW Columbia Ave



Lake City, Florida  
 Google Street View  
 Mar 2022 See more dates

Image capture: Mar 2022 © 2023 Google

← 294 SW Columbia Ave

All Street View & 360°


**File Attachments for Item:**

**v. COA 23-23**, submitted by Energy Roofing Companies as agent, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 13239-000.



## CERTIFICATE OF APPROPRIATENESS

### MINOR OR MAINTENANCE ONLY

<b>Date</b> 6/21/23	<b>COA</b> COA23-23
<b>Address:</b> 235 SE Saint Johns St, Lake City, FL	
<b>Parcel Number:</b> 13239-000	
<b>Owner:</b> Andrea Chapman	
<b>Address of Owner:</b> 235 SE Saint Johns St, Lake City, FL	
<b>Description of Structure:</b> Single Family Home	
The described structure or portion of the structure has been reviewed for compliance with the requirements of the City Historic Preservation Land Development Regulations for the exterior construction as submitted by the applicant per Ordinance Number 2020-2176	
 <hr/>	
Steve Brown Interim Director of Growth Management	
<b>Code Edition:</b> 2020 (7 <sup>th</sup> ) Edition of the Florida Building Codes, 2020 (7 <sup>th</sup> ) Edition of the Florida Fire Prevention Code and the 2017 U.S. Secretary of the Interior's Standards for Rehabilitation	
<b>Description of Approved Construction:</b>	
Replace existing dark gray shingles with charcoal shingles	
<b>Special Conditions:</b>	

The City of Lake City's Growth Management Department and the City Historic Preservation Committee

205 N Marion Avenue

Lake City, Florida 32055

(386) 719-5750



**CITY OF LAKE CITY  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

**FOR OFFICIAL USE ONLY**

Date Received: 6/21/23  
Case #: COA23-23

**APPLICANT INFORMATION**

Applicant is (check one and sign below):  Owner  Contractor  Architect  Other \_\_\_\_\_

Applicant: Energy Roofing Companies

Property Owner: Andrea Chapman

Contact: Patty Nunley

Contact: \_\_\_\_\_

Address: 562 NW Orange Street  
Lake City, FL 32055

Address: 235 SE Saint Johns Street  
Lake City, FL 32025

Phone: 855-766-3852

Phone: (386) 365-2958

Cell: 386-867-5960

Cell: \_\_\_\_\_

Email: erc.permitting@gmail.com

Email: \_\_\_\_\_

**PROPERTY INFORMATION**

Site Location/Address: 235 SE Saint Johns Street, Lake City

Current Use: Residential

Proposed Use: Residential

Year Built: 1927

Projected Cost of Work: \$17,351.00

**NARRATIVE**

Please provide a detailed summary of proposed work. Note affected features and changes in external structure design or materials. (Note: May be submitted as an attachment).

GAF HDZ Architectural shingles, customer has selected Charcoal for the shingle color. See attached summary of proposed work.

I certify that I have reviewed the Land Development Code (see below) and that my submission meets all requirements.

Patty Nunley | Production Coordinator | 6/21/23  
APPLICANT/AGENT SIGNATURE | APPLICANT/AGENT NAME and TITLE | DATE

FOR OFFICIAL USE ONLY			
Parcel ID Number:	<u>13239-000</u>		
Future Land Use:	<u>Residential Medium</u>	Zoning District:	<u>RD</u>
Review (circle one):	Ordinary Maintenance	<u>Minor Work</u>	Major Work
National Register of Historic Places Designation?	Yes	No, but eligible	No, not eligible

## City of Lake City, Land Development Regulations

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8. Significant archaeological resources affected by a project shall be protected and preserved. If such resources must be disturbed, mitigation measures shall be undertaken.
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3. The extent to which the historic, architectural or archeological significance, architectural style, design, arrangement, texture, materials, and color of the landmark or the property will be affected;
4. Whether or not denial of a Certificate of Appropriateness would deprive the property owner of reasonable beneficial use of his or her property; and
5. Whether the plans may be reasonably carried out by the applicant.

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1. The Agency determines that the property no longer contributes to a historic district or no longer has significance as a historic, architectural or archeological landmark; and
2. The Agency determines that the demolition of the designated property is required by a community redevelopment plan or the City's Comprehensive Plan.





GROWTH MANAGEMENT DEPARTMENT  
 205 North Marion Ave, Lake City, FL 32055  
 Phone: 386-719-5750  
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Andrea Chapman (owner name), owner of property parcel  
 number 00-00-0013239-000 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. <u>Patty Nunley</u>	1. <u>Patty Nunley</u>
2.	2. <u>Energy Roofing</u>
3.	3. <u>Companies</u>
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

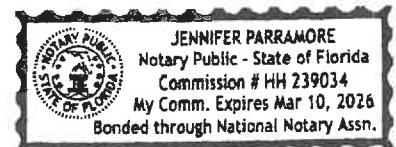
Andrea Chapman 6/21/23  
 Owner Signature (Notarized) Date

NOTARY INFORMATION:  
 STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Andrea Chapman, personally  
 appeared before me and is known by me or has produced identification  
 (type of I.D.) FL DL on this 21 day of June, 20 23.

NOTARY'S SIGNATURE [Signature]

(Seal/Stamp)





# SHINGLE SYSTEM PROPOSAL

GAINESVILLE :: 507 NW 60th St - Suite C, Gainesville, FL 32607 LAKE CITY :: 562 NW Orange Street, Lake City, FL 32095  
 Office 855.766.3852 :: www.ENERGYROOFINGSCO.com

PRESENTED TO:  
**Andrea Chapman**  
 Chapman, Andrea  
 Lake City 32025

JOB ADDRESS:  
**SAHF**

Important Note: Concerning This Project:

6/15/2023

This proposal is good for 30 days or until notice of new material price increase.

YOUR ERC CONSULTANT:  
 Justin McKillip - justinm@energyroofingco.com - mobile 352.538.3138

**We will perform the following to meet or exceed local codes and manufacturer specifications:**

- > Obtain all applicable permits and schedule all inspections with the appropriate Building Department
- > Remove single layer of eave drip, felt paper, pipe boots, eave etc
- > Inspect decking for any deteriorating areas. Rotten wood to be replaced at additional charge
- > Re-nail decking to meet current code as needed
- > Provide & install GAF Liberty 2-Ply system on low slope (2yr Warranty)
- > Provide & install two rows of metal flashings
- > Remove existing off-edge vents and deck over openings
- > Provide & install new factory painted galvanized eaves drip
- > Provide & install GAF WeatherWatch eave and leak barrier in valleys and around penetrations
- > Provide & install 25g galvanized coil metal in valleys
- > Provide & install TWO LAYERS of GAF FeltBuster synthetic underlayment (Code Requires as of Jan 1, 2021)
- > Provide & install GAF Pro-Start code as needed
- > Provide & install GAF Cobra 3 shingle over-edge vents
- > Provide & install Bullet Boot pipe flashings and exhaust vent flashings
- > Provide & install GAF Timberline HDZ architectural shingle with INFINITE WINDSPEED & STAINGUARD PLUS PROTECTION
- > Provide & install GAF Seal-A-Ridge Hip and Ridge cap
- > Clean and properly dispose of all job related debris
- > Provide Wind Mitigation Report - Provided upon receipt of final payment
- > Provide upgraded Haver Report to show all exterior measurements and full 3D modeling of your home

**WARRANTY INCLUDED:**

**GAF GOLDEN PLEDGE MANUFACTURER CERTIFIED LIMITED WARRANTY** >>> **ONLY AVAILABLE FROM GAF MASTER ELITE CONTRACTORS!**

Non-Prorated Material Coverage for 50 years :: Infinite Windspeed Coverage for 10 years :: StainGuardPlus Coverage for 25 years  
 Workmanship Coverage for 25 years against installation errors :: Fully Transferable :: See complete warranty for specific details

OUR PRICE FOR SCOPE OF WORK LISTED ABOVE IS:

**\$17,351**

Additional Options for Your Consideration

**GUTTER OPTIONS:**

Install New Gutter System **ADD** \_\_\_\_\_  
 > Includes new 6" x 2-1/2" 2011 ALUM. RAIN-FACED Gutters with Leaf Guards and new downspouts.

GUTTER COLOR: \_\_\_\_\_ PA COLOR: \_\_\_\_\_

**BUDGET OPTIONS:**

GAF Royal Sovereign Economy **DED** **-\$1,168**  
 Includes System Plus Warranty in lieu of Golden Pledge

**UPGRADE OPTIONS:**

GAF WeatherWatch Self-Adhered **ADD** **\$647**  
 GAF TimberTex Hip & Ridge **ADD** **\$303**  
 GAF Timberline UHMZ - 20% Thicker **ADD** **\$1,505**  
 GAF Camelot II, Stairline, Woodlands\* **ADD** **\$9,150**

\*Increased Workmanship & StainGuard coverage to 50 years with the Golden Pledge Warranty

NOTE: The 2-1/2" Eave, 2" eave with the WeatherWatch eave and eave options, increased warranty, reduced to 10 year. All upgrade options include Transferable

TOTAL PRICE WITH ALL OPTIONS SELECTED:

**17,351**

**PAYMENT TERMS:**

50% Deposit upon Acceptance; Balance Due upon Substantia Completion.

**TERMS & CONDITIONS:**

This entire agreement is as described. It shall be considered the agreement to perform, meet or exceed standard practices. Any alteration or deviation from the above pricing and conditions shall be considered an offer for a new contract. In the absence of any additional terms or conditions, the contractor shall be held responsible for completion of the work. All contracts are subject to the terms and conditions of the contract. The proposal is subject to acceptance within 30 days and is subject to the color of Energy Roofing Technologies, LLC.

**ACCEPTANCE OF PROPOSAL:**

The above prices, specifications and conditions are hereby accepted. You are authorized to do the work as specified. Payment will be made as per the above. This contract is subject to all terms and conditions listed on attached.

Owner or Authorized Agent Signature:

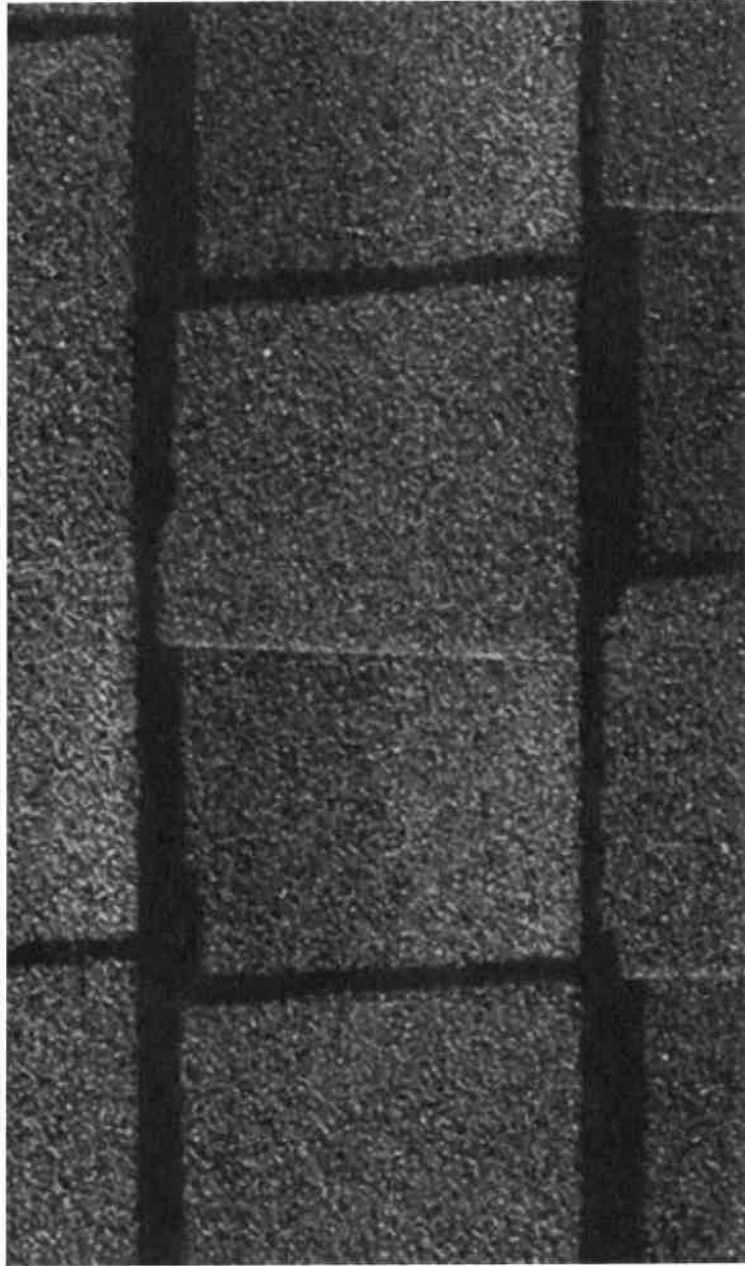
*Andrea Chapman*

Date: **6/15/23**

ERC Authorized Signature:

*Justin McKillip*

Date: **6/15/23**



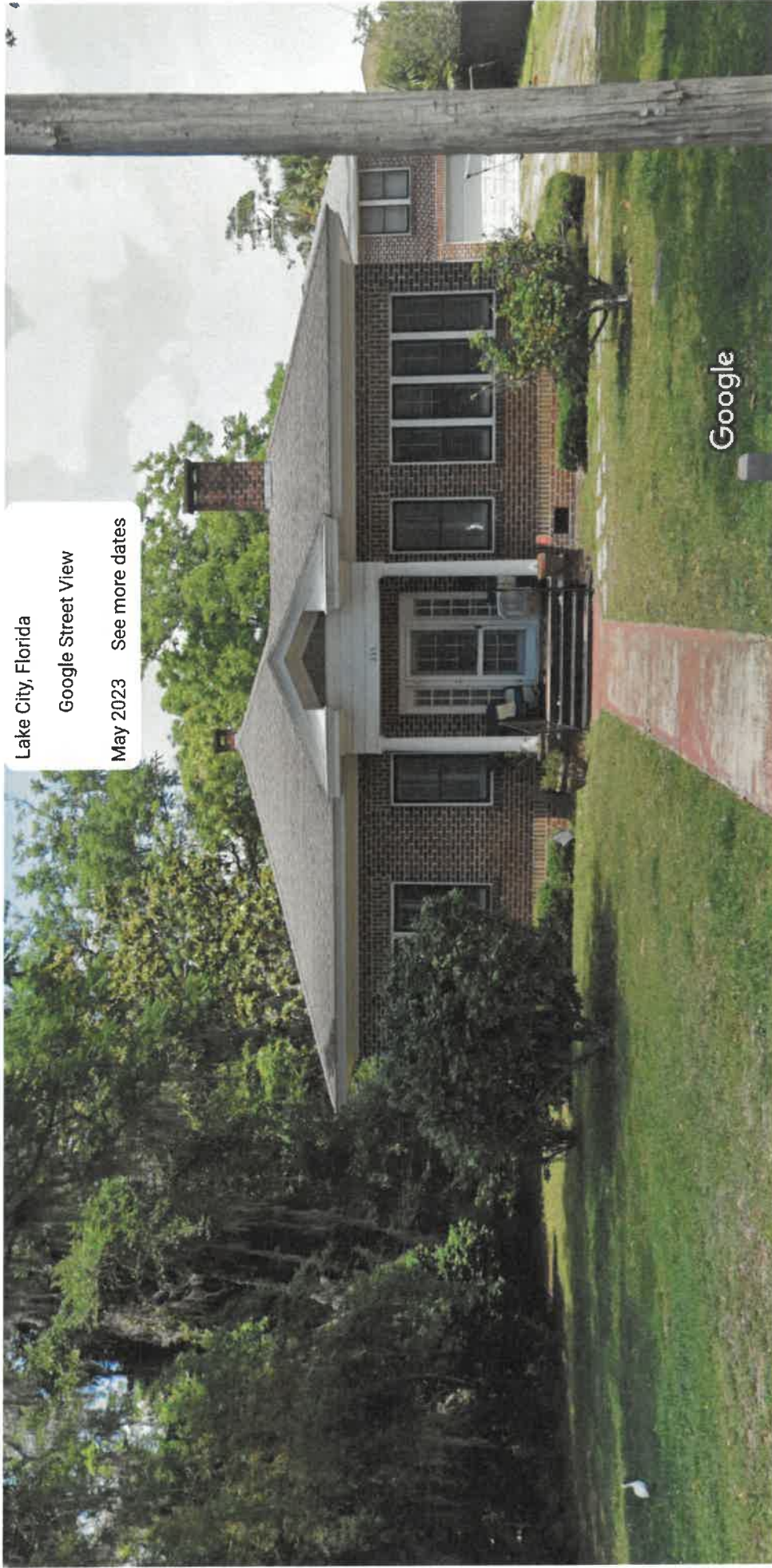


Image capture: May 2023 © 2023 Google

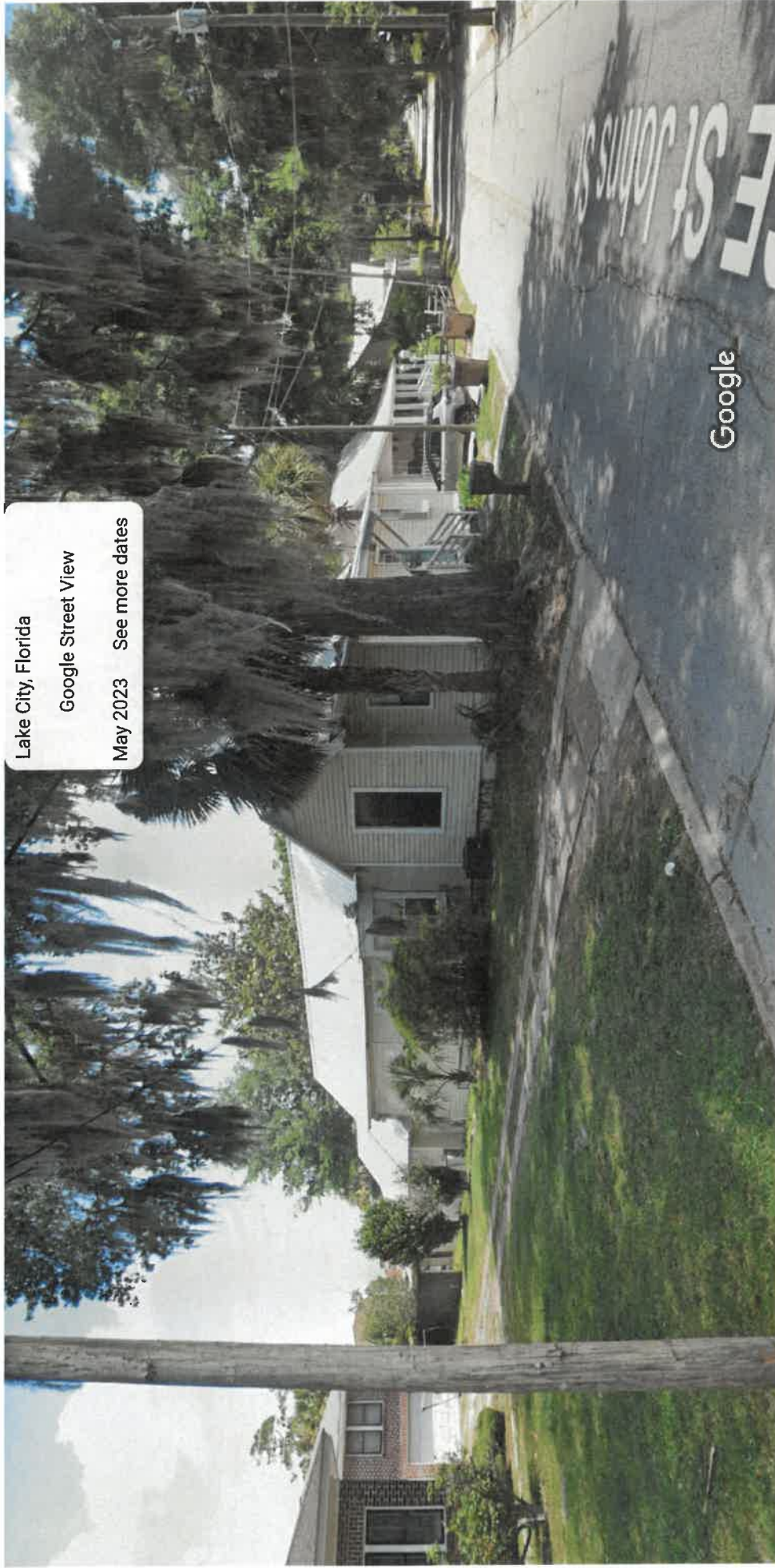


235 SE St Johns St

All

Street View & 360°

Google Maps 235 SE St Johns St



Lake City, Florida  
 Google Street View  
 May 2023 See more dates

Image capture: May 2023 © 2023 Google



235 SE St Johns St

All

Street View & 360°

# Google Maps 220 SE St Johns St



Lake City, Florida  
 Google Street View  
 May 2023 See more dates

Google

Image capture: May 2023 © 2023 Google



235 SE St Johns St

All

Street View & 360°


**File Attachments for Item:**

**vi. COA 23-24**, submitted by Ray and Dallas Keen as owner, requesting a Certificate of Appropriateness in a residential office (RO) zoning district as established in section 4.10 of the Land Development Regulations and located within the View Shed of the Lake Isabella Historic District, established in Section 10.11.2, of the Land Development Regulations on property described as City of Lake City Parcel 13834-000.



## CERTIFICATE OF APPROPRIATENESS

### MINOR OR MAINTENANCE ONLY

<b>Date</b> 6/30/23	<b>COA</b> 23-24
<b>Address:</b> 401 Sw Alachua Ave, Lake City, FL	
<b>Parcel Number:</b> 13834-000	
<b>Owner:</b> Ray and Dallas Keen	
<b>Address of Owner:</b> 401 SW Alachua Ave, Lake City, FL	
<b>Description of Structure:</b> Single Family Home	
<p>The described structure or portion of the structure has been reviewed for compliance with the requirements of the City Historic Preservation Land Development Regulations for the exterior construction as submitted by the applicant per Ordinance Number 2020-2176</p>	
 Steve Brown Interim Director of Growth Management	
<p><b>Code Edition:</b> 2020 (7<sup>th</sup>) Edition of the Florida Building Codes, 2020 (7<sup>th</sup>) Edition of the Florida Fire Prevention Code and the 2017 U.S. Secretary of the Interior's Standards for Rehabilitation</p>	
<b>Description of Approved Construction:</b>	
Tear off existing metal roof and install new metal roof.	
***ROOF ALREADY INSTALLED***	
<b>Special Conditions:</b>	

The City of Lake City's Growth Management Department and the City Historic Preservation Committee

205 N Marion Avenue

Lake City, Florida 32055

(386) 719-5750





**CITY OF LAKE CITY  
HISTORIC PRESERVATION  
CERTIFICATE OF APPROPRIATENESS**

**FOR OFFICIAL USE ONLY**

Date Received: 6/30/23  
Case #: COA23-24

**APPLICANT INFORMATION**

Applicant is (check one and sign below):  Owner  Contractor  Architect  Other \_\_\_\_\_

Applicant: Tonwe Construction Group Property Owner: Ray and Dallas Keen  
 Contact: William Muncy Contact: \_\_\_\_\_  
 Address: 3978 Trail Ridge Rd Address: 735 NW NOEGEL RD LAKE CITY, FL 32055  
Middleburg, FL 32068 \_\_\_\_\_  
 Phone: 904-631-0720 Phone: 386-288-4923  
 Cell: \_\_\_\_\_ Cell: \_\_\_\_\_  
 Email: \_\_\_\_\_ Email: \_\_\_\_\_

**PROPERTY INFORMATION**

Site Location/Address: 401 SW ALACHUA AVE, LAKE CITY, FL 32025  
 Current Use: \_\_\_\_\_ Proposed Use: \_\_\_\_\_  
 Year Built: 1950 Projected Cost of Work: \$11,300.00

**NARRATIVE**

Please provide a detailed summary of proposed work. Note affected features and changes in external structure design or materials. (Note: May be submitted as an attachment).  
Tear off metal roof, install with new metal roof

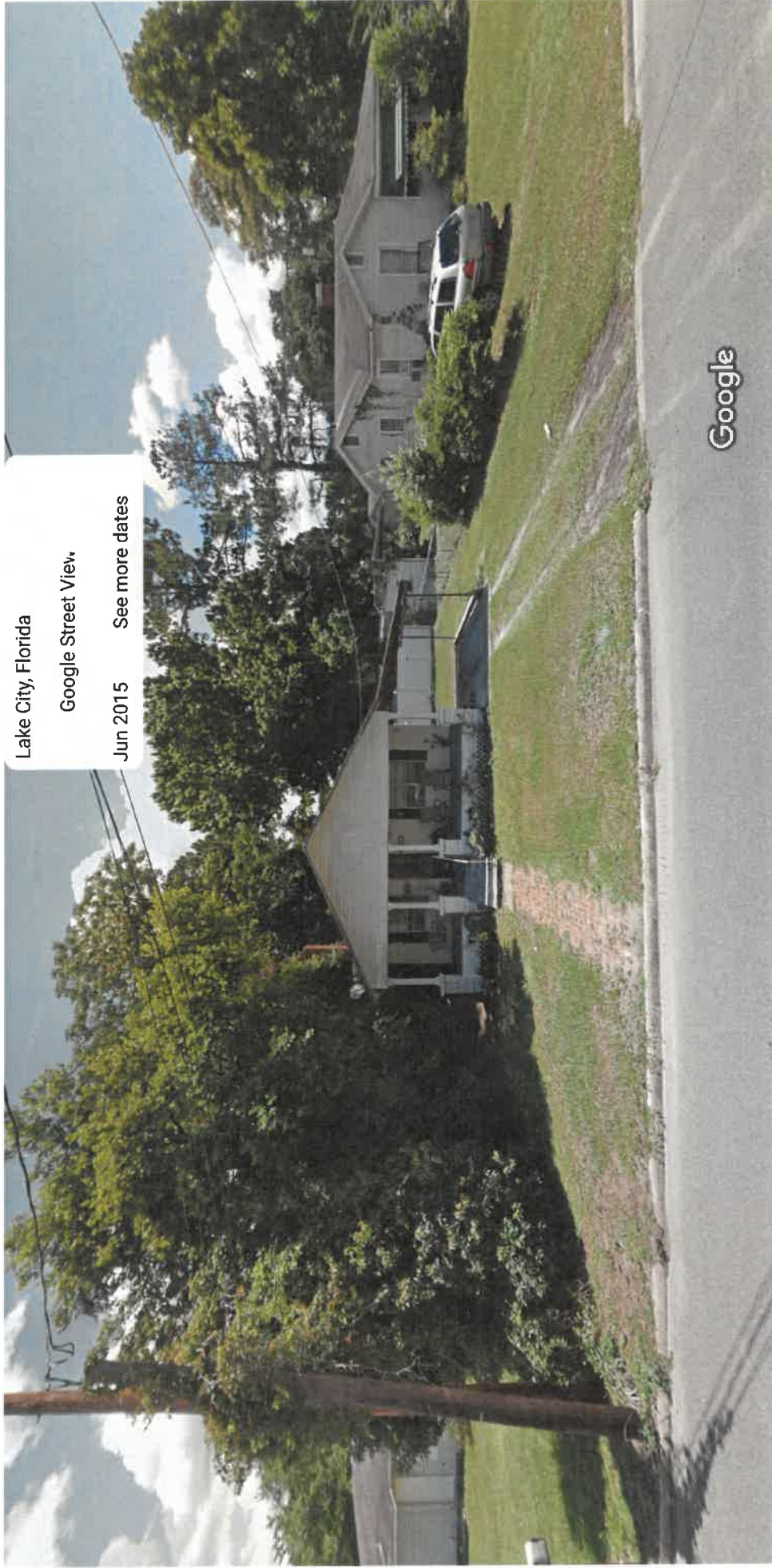
I certify that I have reviewed the Land Development Code (see below) and that my submission meets all requirements.

Ray Keen / Dallas Keen Dallas Keen 6/26/23  
 APPLICANT/AGENT SIGNATURE APPLICANT/AGENT NAME and TITLE DATE

**FOR OFFICIAL USE ONLY**

Parcel ID Number:	<u>00-00-00-13834-000 (42390)</u>		
Future Land Use:	<u>Residential Medium</u>	Zoning District:	<u>RD</u>
Review (circle one):	<u>Ordinary Maintenance</u>	<u>Minor Work</u>	Major Work
National Register of Historic Places Designation?	Yes	No, but eligible	No, not eligible

Google Maps 401 SW Alachua Ave



Lake City, Florida

Google Street View

Jun 2015

See more dates

Image capture: Jun 2015 © 2023 Google

← 401 SW Alachua Ave

All Street View & 360°

Google Maps 417 SW Alachua Ave

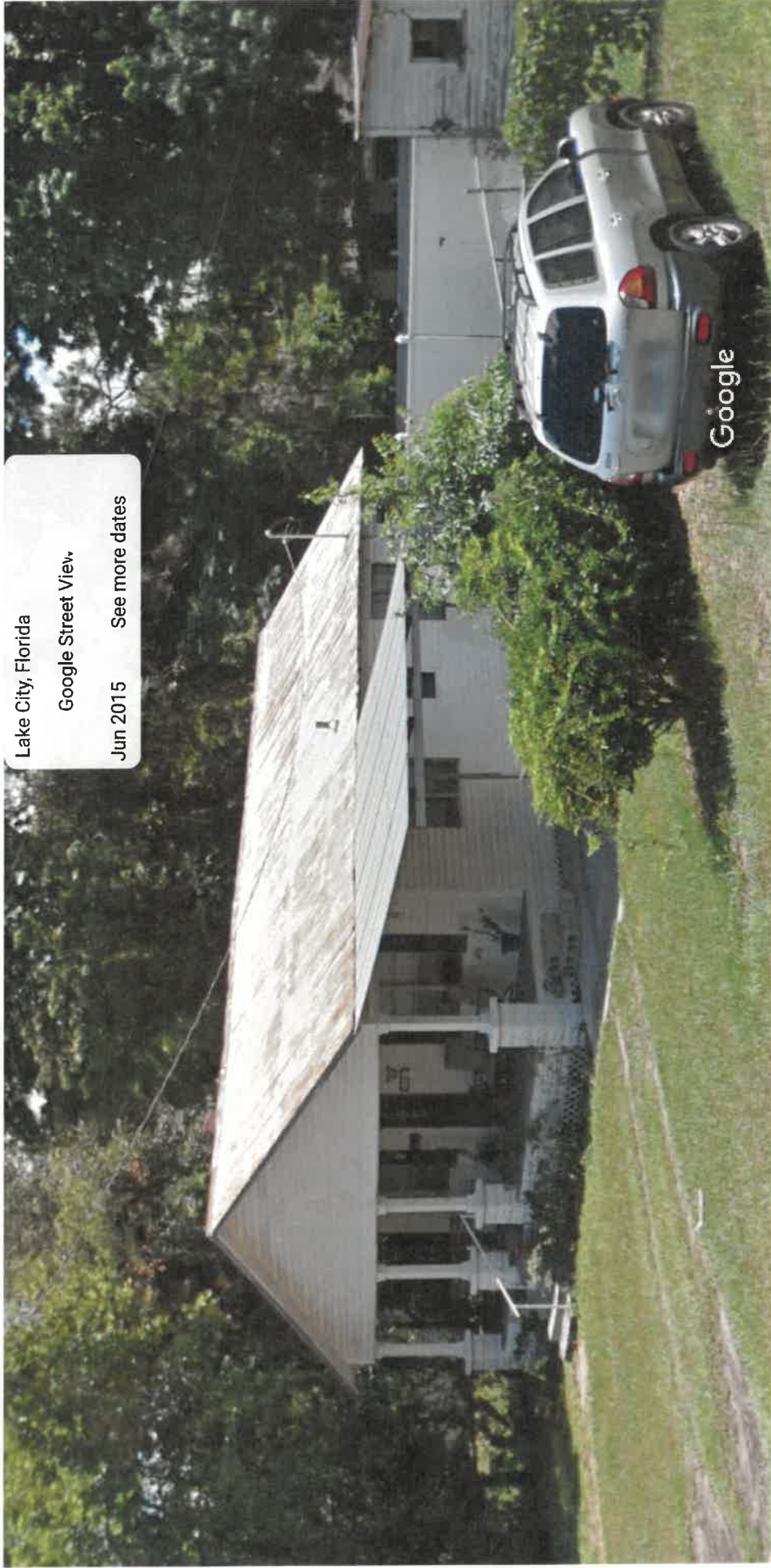


Image capture: Jun 2015 © 2023 Google

← 401 SW Alachua Ave

All Street View & 360°

# Google Maps 367 SW Alachua Ave



Lake City, Florida  
 Google Street View  
 Jun 2015 See more dates

Image capture: Jun 2015 © 2023 Google

- ← 401 SW Alachua Ave
- Street View & 360°

All



APP #

6105

Address

401 SW Alachua Ave

Lake City

Dallas Keen



APP #

6105

Address

401 SW Alachua Ave

Lake City

Dallas Kern

APP #

6105

Address

401 SW Alachua Ave

Lake City

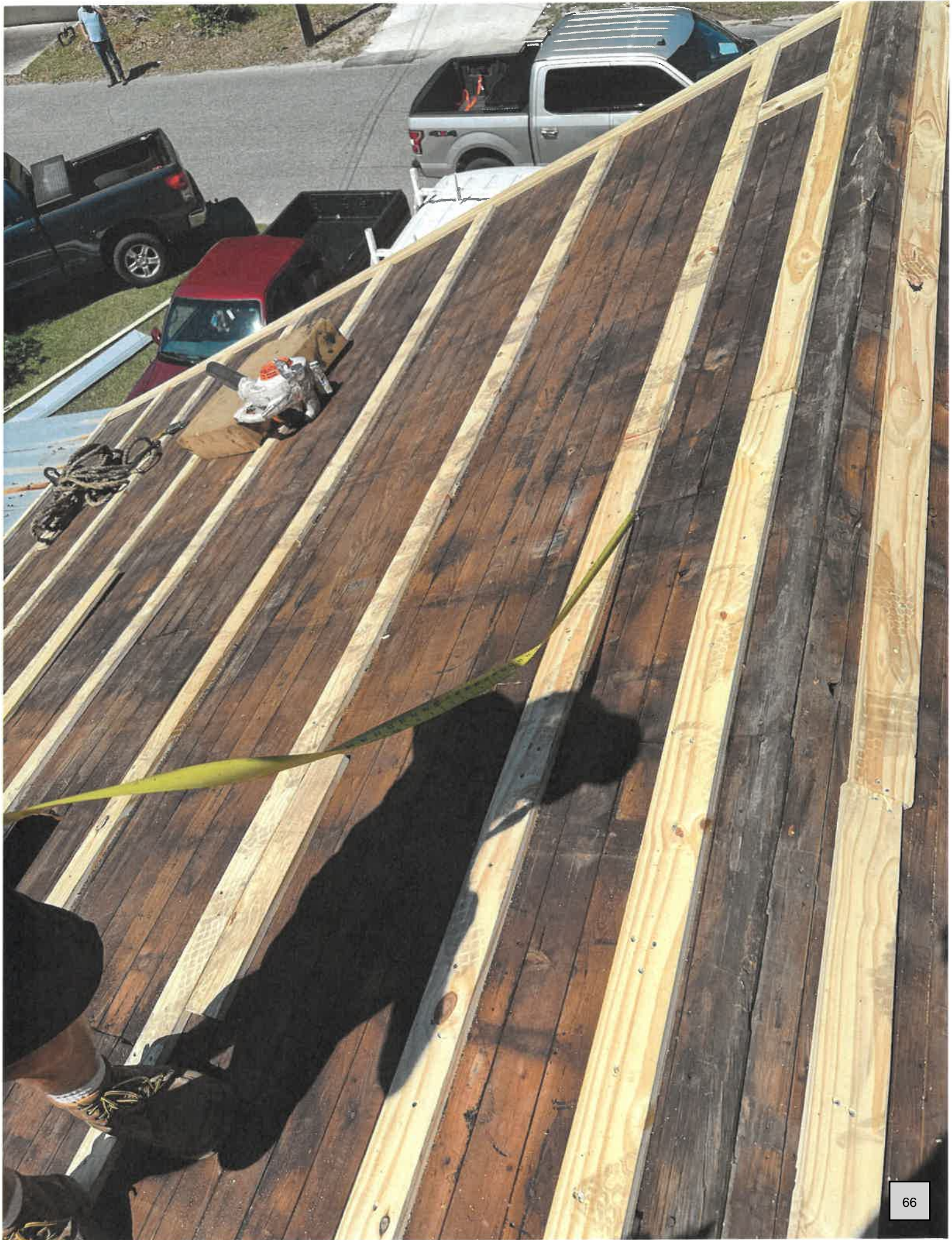
Dallas Kern

52 53 54 55 56 57 58 59 60 61 62









APP #

6105-

Address

401 SW Alachua Ave

Lake City

Dallas Kern