

PLANNING AND ZONING BOARD MEETING

CITY OF LAKE CITY

August 02, 2022 at 5:30 PM

Venue: City Hall

AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

INVOCATION

ROLL CALL

MINUTES

- i. July 6, 2022

OLD BUSINESS

- ii. Motion is needed to remove Site Plan Review #SPR-22-14 from the table.

Site Plan Review - SPR-22-14 - Parker Neely (Agent: Chris Potts, P.E.) Sonic Drive In

NEW BUSINESS

- iii. Site Plan Review - SPR-22-16 - Parker Neely (Agent: Chris Potts, P.E.) Rib Crib

- iv. Zoning Change - Z-22-05 - First Baptist Church (Agent: Chase Moses)

WORKSHOP/DISCUSSION ITEMS - None

ADJOURNMENT

YouTube Channel Information

Members of the public may also view the meeting on our YouTube channel at: <https://www.youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to

any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

File Attachments for Item:

i. July 6, 2022

**Meeting Minutes
Planning and Zoning**

Date: 07/06/2022

Roll Call:

Mr. Lydick-Present
Mr. Cooper-Present
Mr. Nelson-Present
Ms. Georgalis-Present

Mr. Carter-Present
Mrs. McKellum-Present
Mr. McMahon-Not Present

Approval of Past Minutes-Approve the minutes of the 07/06/2022 Meeting.

Motion By: Mr. Carter

Seconded By: Mr. Lydick

Comments or Revisions:

Move approval tally to after the motion to approve. Fix Mr. McMahon attendance from not present to present.

Old Business: None

New Business:

Petition # SPR22-15 Presented By: Theodore Martell

As owner or agent and gives address of: Kimley Horne of Orlando

Petitioner is Sworn in by: Ms.Georgalis

Discussion:

Robert introduced the project at the request of Ms. Georgalis. Robert stated that the project was to add high flow diesel pumps behind Circle K on Hwy 90 and I-75. Robert stated that all the director and staff were ok with the project at the current time. Robert stated that is met the requirements of the LDR section 4.15.2.1. Theodore presented the project to the board. He stated that the project was to add high flow diesel pumps to the rear of the building.

Motion to close Public Hearing: Mr. Lydick

Motion Seconded By: **Mr. Carter**

Motion to Approve/Deny By: Mr. Carter

Motion Seconded By: **Mr. Nelson**

Voted Approved/Denied: Approved unanimously

Petition # SPR22-14 Presented By: Abram Lafferty

Discussion:

No one present for project. Motioned to table by Mr. Lydick. Seconded by Mr. Carter.

Motion to Adjourn by: Mr. Carter

Time: 5:38pm

Motion Seconded By: **Mr. Cooper**

Mavis Georgalis, Board Chairperson

Date Approved

Robert Angelo, Secretary

Date Approved

File Attachments for Item:

ii. Motion is needed to remove Site Plan Review #SPR-22-14 from the table.

Site Plan Review - SPR-22-14 - Parker Neely (Agent: Chris Potts, P.E.) Sonic Drive In



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # _____
 Application Fee \$200.00
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: SONIC DRIVE-IN
2. Address of Subject Property: NW CENTURION CT, LAKE CITY, FL, 32055
3. Parcel ID Number(s): 35-3S-16-02524-103
4. Future Land Use Map Designation: COMMERCIAL
5. Zoning Designation: COMMERCIAL HIGHWAY INTERCHANGE
6. Acreage: 1.21
7. Existing Use of Property: VACANT
8. Proposed use of Property: COMMERICAL RESTAURANT
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 1,227
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Chris Potts, PE Title: Director of Civil Engineering
 Company name (if applicable): JBPro
 Mailing Address: 3530 NW 43rd ST
 City: Gainesville State: FL Zip: 32606
 Telephone: (352) 375-8999 Fax: () Email: chris.potts@jbpro.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 - Property Owner Name (title holder): Parker Neely
 - Mailing Address: 2682 NW NOEGEL ROAD
 - City: LAKE CITY State: FL Zip: 32055
 - Telephone: (704) 577-2475 Fax: () Email: DNEELY@HIGHCOTTON-CEP.COM

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
- 2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Christopher Potts

Applicant/Agent Name (Type or Print)

[Signature]

Applicant/Agent Signature

6/6/22

Date

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Alachua

The foregoing instrument was acknowledged before me this 6th day of June, 2022, by (name of person acknowledging) Christopher Potts.

(NOTARY SEAL or SIGNATURE)



Jennifer Newbegin
Notary Public
State of Florida
Comm# HH075654
Expires 12/29/2024

Jennifer Newbegin

Signature of Notary

Jennifer Newbegin

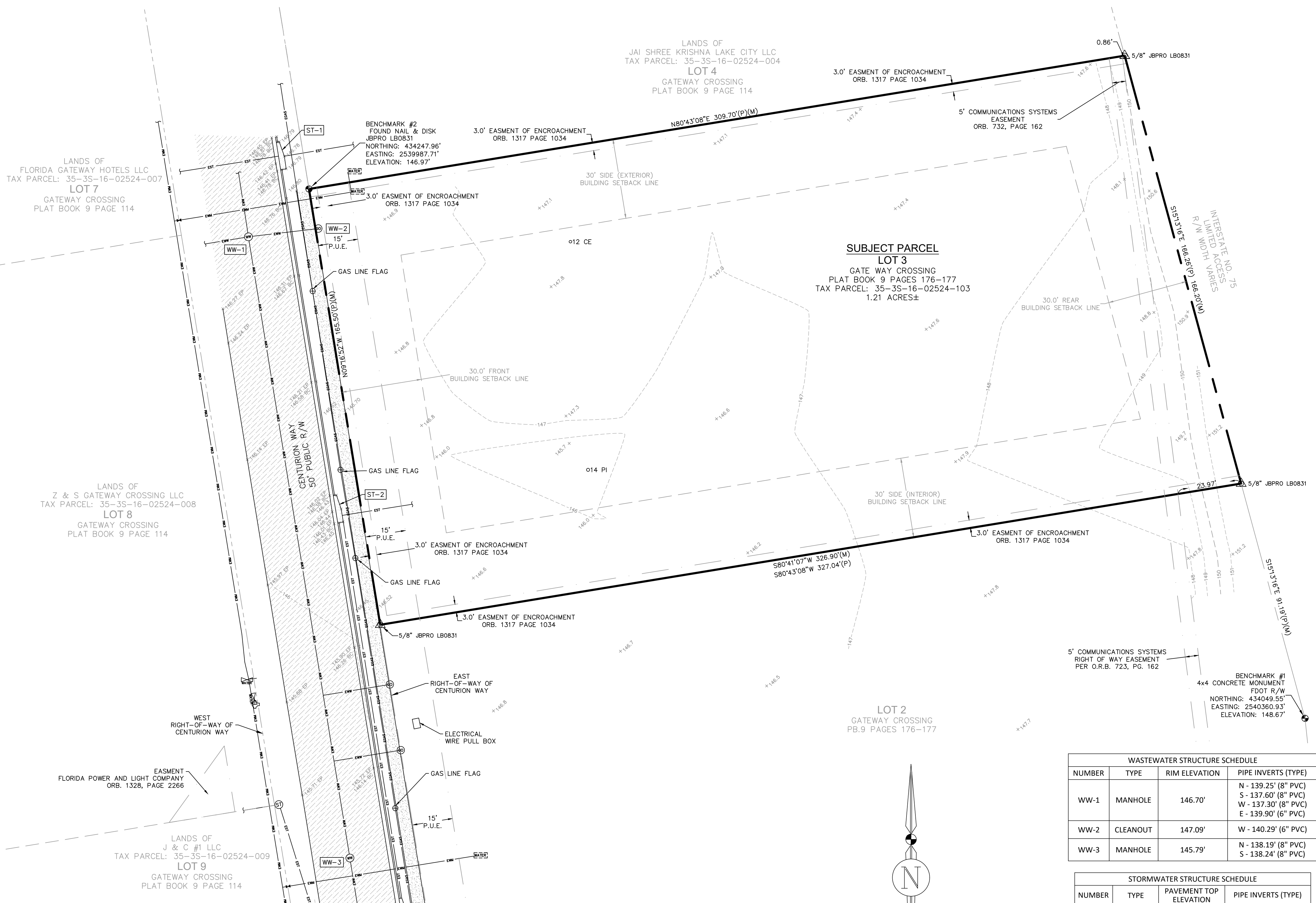
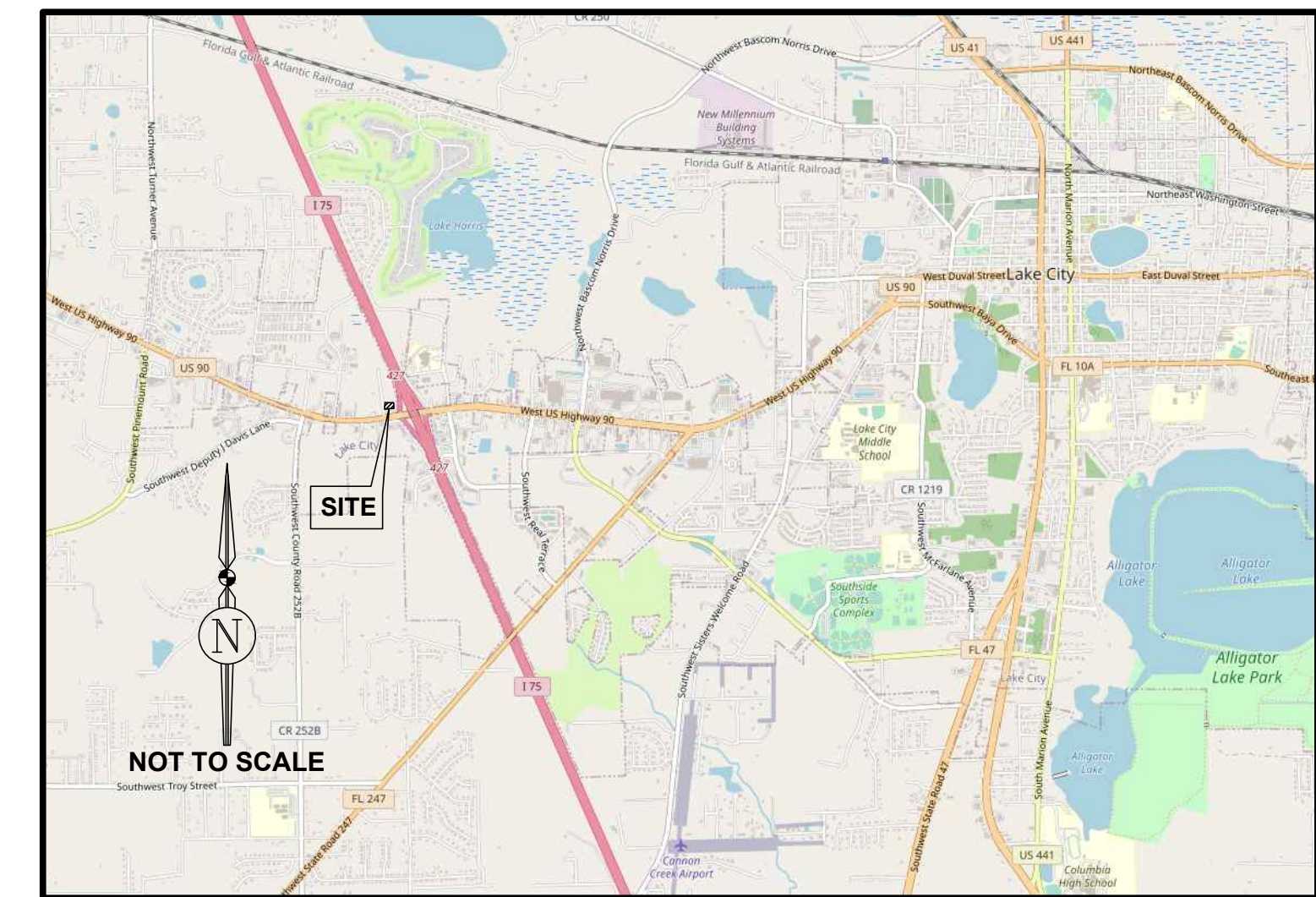
Printed Name of Notary

Personally Known X OR Produced Identification _____
Type of Identification Produced

BOUNDARY & TOPOGRAPHIC SURVEY

IN SECTION 35, TOWNSHIP 03 SOUTH, RANGE 16 EAST, COLUMBIA COUNTY, FLORIDA

LOCATION MAP



PROPERTY DESCRIPTION

LOT 3 OF A REPLAT OF LOTS 2, 3, & 11 OF GATEWAY CROSSING A REPLAT OF LOTS 2 & 3, ACCORDING TO THE PLAT THEREOF, RECORDED IN PLAT BOOK 9, PAGES 176-177, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

ABBREVIATIONS

BC = BACK OF CURB
 EP = EDGE OF PAVEMENT
 LB = LICENSED BUSINESS
 LS = LICENSED SURVEYOR
 (M) = MEASURED
 NAVD83(2011) = NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT
 NAVD88 = NORTH AMERICAN VERTICAL DATUM OF 1988
 (P) = PLATTED
 P.B. = PLAT BOOK
 O.R.B. = OFFICIAL RECORDS BOOK
 PG. = PAGE
 PLS = PROFESSIONAL LAND SURVEYOR
 R/W = RIGHT-OF-WAY

TREES:

CE = CEDAR
 PI = PINE

SYMBOL LEGEND

- BOUNDARY LINE
- TAX PARCEL LINE
- RIGHT-OF-WAY LINE
- STORM SEWER LINE
- WASTEWATER LINE
- BENCHMARK
- CONCRETE MONUMENT
- IRON ROD - CAPPED
- NAIL AND DISK
- STORM SEWER MANHOLE
- WASTEWATER MANHOLE
- CLEANOUT
- WATER VALVE COVER
- ELECTRIC METER
- FIRE HYDRANT
- PUMP
- MARKER FOR UNDERGROUND UTILITY
- TREE-SIZE(INCHES) AND SPECIES
- SPOT ELEVATION - SOFT SURFACE
- SPOT ELEVATION - HARD SURFACE
- CONTOUR LINES
- ASPHALT SURFACE
- CONCRETE SURFACE

SCHEDULE B-II ITEMS

1. NOT A SURVEY MATTER.
2. SEE SURVEY SHOWN HEREON.
3. NOT A SURVEY MATTER.
4. NOT A SURVEY MATTER.
5. EASEMENTS DEPICTED ON THIS SURVEY WERE PROVIDED BY THE CLIENT OR ARE RECORDED IN AN ASSOCIATED PLAT. NO EASEMENT RESEARCH WAS CONDUCTED DURING THE COURSE OF THIS SURVEY.
6. NOT A SURVEY MATTER.
7. SEE SURVEY SHOWN HEREON.
8. THIS ITEM REFERENCES AN OUT OF DATE PLAT, AND THEREFORE IS SUPERSEDED BY B-II ITEM 7.
9. SEE SURVEY SHOWN HEREON.
10. THE MASTER DECLARATION OF EASEMENTS, COVENANTS, CONDITIONS AND RESTRICTIONS FOR GATEWAY CROSSING, RECORDED IN OFFICIAL RECORDS BOOK 1317, PAGE 1034; AS AFFECTED BY AMENDMENT TO DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS GATEWAY CROSSING, RECORDED IN OFFICIAL RECORDS BOOK 1334, PAGE 275, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, CONTAINS PROVISIONS FOR THE CREATION OF SEVERAL BLANKET EASEMENTS THAT ARE UNABLE TO BE DRAWN, AND AS SUCH, ARE NOT DEPICTED ON THIS SURVEY MAP. THE EASEMENT OF ENCROACHMENT RESERVES A MAXIMUM OF 3 FEET ON EITHER SIDE OF THE BOUNDARY BETWEEN A PARCEL AND ANY ADJACENT PARCEL OR COMMON AREA FOR MAINTENANCE USE AND ANY PERMITTED ENCROACHMENT. THE PORTION OF THIS EASEMENT AFFECTING THE SUBJECT PARCEL IS SHOWN ON THIS SURVEY MAP.
11. EASEMENT CONTAINED IN INSTRUMENT RECORDED AT OFFICIAL RECORDS BOOK 104, PAGE 118, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, ESTABLISHED AN EASEMENT ENCOMPASSING THE ENTIRETY OF THE SUBJECT PARCEL IN FAVOR OF FLORIDA POWER AND LIGHT COMPANY FOR THE CONSTRUCTION OF A UTILITY LINE. THIS DOCUMENT STATES THAT THIS EASEMENT IS TO CONFORM TO FUTURE DEVELOPMENT BY THE OWNERS.
12. EASEMENT CONTAINED IN INSTRUMENT RECORDED AT OFFICIAL RECORDS BOOK 1328, PAGE 2266, OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, IS DEPICTED ON THIS SURVEY MAP.
13. NOT A SURVEY MATTER.
14. NOT A SURVEY MATTER.

SURVEYOR'S NOTES

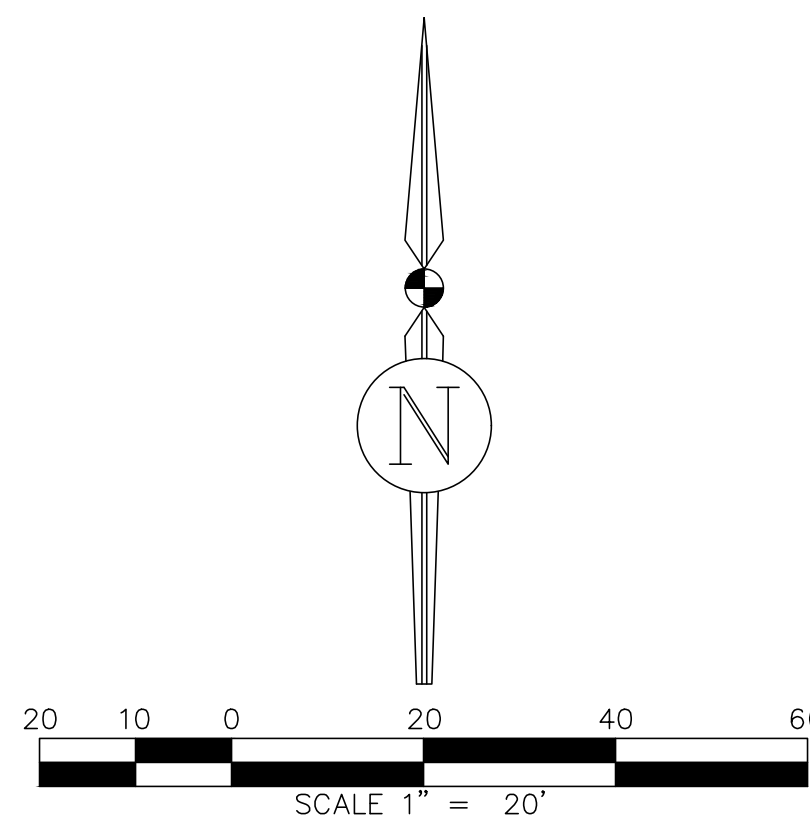
1. BEARINGS ARE BASED ON THE WEST LINE OF THE SUBJECT PARCEL, SAID LINE ALSO BEING THE EAST RIGHT OF WAY LINE OF NW CENTURION COURT BEING N09°16'52"W.
2. ELEVATIONS ARE REFERENCED TO PLAT BENCHMARK #2 HAVING PUBLISHED ELEVATION OF 146.97 FEET PER PLAT BOOK 9, PAGES 176-177, OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA.
3. STATE PLANE COORDINATES (FLORIDA-NORTH 0903) ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT AND BASED ON GPS OBSERVATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE STATION(CORS) NETWORK.
4. THIS SURVEY IS BASED ON MEASUREMENTS CONDUCTED ON APRIL 12, 2022.
5. NO UNDERGROUND UTILITIES WERE LOCATED IN THE COURSE OF THIS SURVEY. UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE.
6. ADDITIONAL ENCUMBRANCES MAY AFFECT THE SUBJECT PARCEL THAT DO NOT APPEAR ON THIS MAP.
7. EASEMENTS DEPICTED ON THIS SURVEY WERE PROVIDED BY THE CLIENT OR ARE RECORDED IN AN ASSOCIATED PLAT. NO EASEMENT RESEARCH WAS CONDUCTED DURING THE COURSE OF THIS SURVEY.
8. REPRODUCED COPIES THAT ARE NOT AT 24"X36" MAY NOT BE TO SCALE.
9. CORNER MARKERS SHOWN HEREON WERE FOUND DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.

BUILDING SETBACKS PER P.B. 9, PG. 177

1. FRONT = 30'
2. REAR = 30'
3. SIDE = 30'

PARKING SPACES

1. TOTAL = 0
2. REGULAR = 0
3. HANDICAPPED = 0



WASTEWATER STRUCTURE SCHEDULE			
NUMBER	TYPE	RIM ELEVATION	PIPE INVERTS (TYPE)
WW-1	MANHOLE	146.70'	N - 139.25' (8" PVC)
			S - 137.60' (8" PVC)
			W - 137.30' (8" PVC)
WW-2	CLEANOUT	147.09'	W - 140.29' (6" PVC)
WW-3	MANHOLE	145.79'	N - 138.19' (8" PVC)
			S - 138.24' (8" PVC)

STORMWATER STRUCTURE SCHEDULE			
NUMBER	TYPE	PAVEMENT TOP ELEVATION	PIPE INVERTS (TYPE)
ST-1	CURB INLET	146.79'	THROAT - 146.42'
			W - 141.57' (24" RCP)
ST-2	CURB INLET	146.43'	THROAT - 146.04'
			S - 141.69' (24" RCP)

JBPro
 CIVIL ENGINEERING | LAND PLANNING
 SURVEYING | CONSTRUCTION SERVICES

3530 NW 43rd Street | Gainesville, Florida 32606
 4420 US-1 S, Suite 1 | St. Augustine, Florida 32086

Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
 Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

CERTIFICATION

To: 1) HIGH COTTON EQUITIES, LLC. 2) OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 3) KRINZMAN, HUSS & LUBETSKY, LLP

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTA/NSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, and includes Items 1, 4-6, 8, 9, 13, 18 of Table A thereof. The fieldwork was completed on 12 April 2022.

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER SJ-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

Florida License No. LS4816
 Certificate of Authorization No. LB8031

NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER OR VALID DIGITAL SIGNATURE IN ELECTRONIC FORM

Richard L. White
 Professional Land Surveyor

ALTA/NSPS LAND TITLE SURVEY

CERTIFIED TO:

SEE ALTA CERTIFICATION AT LEFT

Scale: 1"=20'
 Proj. No.: 366-22-02
 Drawn: J. Trisham
 Checked: R. White
 Dwg. Name: 366-22-02-BT
 Dwg. Date: 05-06-2022
 Field Book: N/A
 Pages: N/A
 Sheet: 1 of 1

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, CONTRACTOR SHALL NOTIFY THE ENGINEER AND UTILITY PROVIDER TO COORDINATE REMEDIAL ACTION.
- WHERE SUBSOIL EXCAVATION IS REQUIRED, THE LIMITS OF EXCAVATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE CITY OF LIVE OAK OR THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL DISPOSE OF SUBSOIL EXCAVATED MATERIALS (UNSUITABLE FOR FILL) OFF SITE TO A PERMITTED LOCATION OR PER AN APPROVED DISPOSAL PLAN AND LOCATION SITE.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL FURNISH/INSTALL ALL STREET SIGNS AND SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL REQUIRED STRIPING, STOP BARS, ETC.
- ALL PAVEMENT CUT/REPAIR WILL BE MADE THE FULL ROAD WIDTH AT LEAST 6 FT WIDE AND REQUIRES APPROVAL FOR CUT AND INSPECTION OF THE REPAIR BY THE CITY OF LIVE OAK.
- DRIVEWAYS SHALL BE CONFIGURED TO ENSURE NO PORTION OF CURB INLET FALLS WITHIN DRIVEWAY AND/OR DRIVEWAY TAPER.
- DRIVEWAYS SHALL BE DESIGNED IN ACCORDANCE WITH THE MOST RECENT FDOT INDEX AND CITY STANDARDS. DRIVEWAYS WILL MEET SETBACK REQUIREMENTS FROM INTERSECTIONS (SOFT) AND UTILITY INFRASTRUCTURE (5 FT MIN.). DRIVEWAYS WITH SIDEWALK CROSSING SHALL MEET CURRENT ADA STANDARDS FOR THE LENGTH OF THE SIDEWALK CROSSING.
- CONCRETE SIDEWALK CROSSING SHALL BE A MINIMUM OF 4 INCHES THICK AND HAVE A 3,000 PSI COMPRESSIVE STRENGTH.
- ALL PROPOSED SIDEWALK SEGMENTS NOT ADJACENT TO LOT DRIVEWAYS WILL BE CONSTRUCTED PRIOR TO CITY OF LIVE OAK ACCEPTANCE OF SITE IMPROVEMENTS OR BONDED IN-LIEU OF CONSTRUCTION IN A FORM ACCEPTABLE TO THE CITY OF LIVE OAK.
- EXISTING TOPOGRAPHY INFORMATION DEPICTED IS BASED ON THE PROJECT TOPOGRAPHIC SURVEY CONDUCTED BY JBPRO ON 12/08/2021. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATION GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER RUNOFF CONDITIONS PRIOR TO CONSTRUCTION. JBPRO WILL ASSIST THE CONTRACTOR IN REVISING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER GRADING AND RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.
- ALL STRUCTURES SHALL ADHERE TO THE 2020 FLORIDA BUILDING CODE(S), THE 2020 NATIONAL ELECTRIC CODE AND THE 2020 FLORIDA FIRE PREVENTION CODE, AS AMENDED.

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

- ALL DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE FDOT FY 2020-21 STANDARD PLANS.
- ALL AREAS OF NEW CONSTRUCTION SHALL BE CLEANED AND GRUBBED. TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS. TREES TO REMAIN SHALL BE PROTECTED PRIOR TO STARTING CONSTRUCTION AND SHALL BE PROTECTED THROUGHOUT SITE CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITY INSTALLATIONS WITHIN THE LIMITS OF ROADWAY SUBGRADE, INCLUDING STORMWATER, POTABLE WATER, WASTEWATER, GAS, ELECTRICAL CONDUIT, AND SLEEVES FOR FUTURE UTILITIES, SHALL BE INSTALLED PRIOR TO STABILIZATION OF THE ROADWAY SUBGRADE.
- ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 6" - 12" LOOSE LIFTS AND COMPACTED TO 95% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - SUBSOIL EXCAVATION: THE LIMITS OF SUBSOIL EXCAVATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE CITY OF LIVE OAK OR THE GEOTECHNICAL ENGINEER.
 - STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL CONFORM TO SECTION 914 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUE OF 40 PER DESIGN SECTION.
 - BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN A SINGLE OR TWO EQUAL COMPACTED LIFTS (PER DESIGN SECTION). BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE TYPE SP STRUCTURAL COURSE (TYPE & THICKNESS PER DESIGN SECTION) AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330.
- ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, SPILLWAYS, CURBING, ETC. SHALL BE CLASS 1 CONFORMING TO SECTION 347.
- CONCRETE SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522.
- CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED IN CONFORMANCE TO SECTION 520.
- REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SECTION 449-4.
- HIGH DENSITY POLY ETHYLENE (HDPE) SHALL CONFORM TO SECTION 431-2.3 AND 431-3.3.
- ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED.

NPDES EROSION AND SEDIMENTATION CONTROL PERMITTING NOTES

- THE CONTRACTOR IS REQUIRED TO FILE THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) (RULE 62-621.300(4), F.A.C.). CONSTRUCTION ACTIVITY SHALL NOT COMMENCE PRIOR TO OBTAINING AN ACKNOWLEDGEMENT LETTER FROM FDEP VERIFYING THE NOI IS COMPLETE, THE PROJECT IS COVERED BY THE GENERIC PERMIT, AND THE PROJECT IDENTIFICATION NO. IS ESTABLISHED. CONTRACTOR SHALL PROVIDE THE EOR AND PROPERTY OWNER WITH A COPY OF THE FDEP ACKNOWLEDGEMENT LETTER VERIFYING COVERAGE.
- THE CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CSP AT ALL TIMES THROUGHOUT CONSTRUCTION, AND UTILIZE ALL APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFFSITE DURING CONSTRUCTION.
- SEDIMENTATION AND EROSION CONTROL BMP'S SHALL BE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, OR LATEST UPDATE. THE CONTRACTOR IS RESPONSIBLE TO UTILIZE ALL BMP'S, AS NECESSARY THROUGHOUT CONSTRUCTION, AND MAY UTILIZE MULTIPLE BMP'S OR OTHER MEANS AND METHODS DEEMED APPROPRIATE TO CONTROL EROSION AND SEDIMENTATION DISCHARGE.
- THE CONTRACTOR SHALL UTILIZE A STATE OF FLORIDA CERTIFIED EROSION & SEDIMENTATION CONTROL (ESC) INSPECTOR DURING CONSTRUCTION TO ABIDE BY THE TERMS OF THE NOI PERMIT COVERAGE. AT A MINIMUM THE CERTIFIED INSPECTOR SHALL INSPECT ALL DISCHARGE POINTS, DISTURBED AREAS, MATERIAL STORAGE AREAS, STRUCTURAL CONTROLS AND CONSTRUCTION ENTRANCES/EXITS AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER EVERY 1/2 INCH OR GREATER STORM EVENT. MAJOR OBSERVATIONS AND INCIDENTS OF NON-COMPLIANCE SHOULD BE RECORDED IN THE INSPECTION REPORT, AS WELL AS CORRECTIVE ACTIONS AND MAINTENANCE. UNLESS ADVISED OTHERWISE, MAINTENANCE MUST OCCUR WITHIN SEVEN (7) CALENDAR DAYS OF THE INSPECTION. THESE INSPECTIONS MUST BE DOCUMENTED AND SIGNED BY A QUALIFIED INSPECTOR AS DEFINED BY THE COP. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE COP WHEN THE REPORTS DO NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- UPON SATISFACTORY COMPLETION OF THE PROJECT CONSTRUCTION AND SITE STABILIZATION, THE CONTRACTOR SHALL FILE THE NPDES STORMWATER NOTICE OF TERMINATION (NOT) (RULE 62-621.300(6), F.A.C.) WITH FDEP. THE PERMIT COVERAGE IS DEEMED COMPLETE WHEN ALL SOIL DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND STABILIZATION OF ALL DISTURBED OPEN AREAS HAVE REACHED AT LEAST 70% VEGETATIVE COVER OR OTHER PERMANENT STABILIZATION IS IN PLACE. A COPY OF THE NOT SHALL BE PROVIDED TO THE EOR AND PROPERTY OWNER.

GEOTECHNICAL TESTING GENERAL NOTE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL TESTING FOR EACH SPECIFIED DESIGN COURSE, SUBGRADE, BASE COURSE, AND PAVEMENT. TESTING REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LIVE OAK PUBLIC SERVICES CONSTRUCTION AND INSPECTION STANDARDS AND FDOT CONSTRUCTION AND INSPECTION STANDARDS. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER FOR REVIEW AND APPROVAL OF CONFORMANCE TO DESIGN SPECIFICATIONS PRIOR TO CONSTRUCTION OF THE SUBSEQUENT COURSE.
- TESTING REPORTS WITH GEOTECHNICAL TESTING RESULTS SHALL DENOTE THE TESTING LOCATIONS.

REQUIRED SUBMITTALS

- PRIOR TO CONSTRUCTION INSTALLATION OF SPECIFIC WORK SCOPE ITEMS THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SUBMITTAL INFORMATION TO THE EOR FOR REVIEW AND APPROVAL. THESE SUBMITTALS SHALL INCLUDE SOURCE PROVIDER, MANUFACTURER LITERATURE, CUT SHEETS, DIMENSIONED DRAWINGS, FABRICATION DRAWINGS, SKETCHES, DETAILS AND ANY OTHER INFORMATION NECESSARY FOR THE EOR TO REVIEW AND APPROVE AS TO COMPLIANCE WITH THE DESIGN DRAWINGS AND SPECIFICATIONS.
- MATERIALS SHALL NOT BE DELIVERED ONSITE OR INSTALLED UNTIL SUBMITTAL APPROVAL IS PROVIDED BY THE EOR OR EOR'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED TO REVISE ANY WORK COMPLETED PRIOR TO SUBMITTAL APPROVAL. THE OWNER OR EOR ARE NOT RESPONSIBLE FOR COSTS INCURRED IF ANY MATERIALS ARE PURCHASED, DELIVERED OR INSTALLED PRIOR TO SUBMITTAL REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL PROVIDE A LIST OF SUB-CONTRACTORS THAT WILL BE PERFORMING ANY PHASES OF WORK ON THE PROJECT. THE LIST SHALL INCLUDE NAME OF COMPANY, ADDRESS, PHONE NUMBERS, AND EMAIL ADDRESSES OF INDIVIDUALS RESPONSIBLE FOR THE SUB-CONSULTANT WORK EFFORT AND THE CONTACT INFORMATION FOR THE INDIVIDUALS IN RESPONSIBLE CHARGE OF PERFORMING THE WORK IN THE FIELD.

WORK WITHIN THE CITY RIGHT-OF-WAY

- THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY CITY OF LAKE CITY FOR WORK WITHIN THEIR RESPECTIVE RIGHT-OF-WAYS.
- TRAFFIC CONTROL WITHIN EXISTING R/W SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.
- NO WORK SHALL BE DONE NOR MATERIALS USED IN THE RIGHT-OF-WAY WITHOUT INSPECTION BY THE CITY. THE CONTRACTOR SHALL FURNISH THE CITY WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
- CITY OF LAKE CITY RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THEIR RIGHT-OF-WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORN BY THE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SEEDED UNLESS SODDING IS OTHERWISE SPECIFIED. SODDING IS REQUIRED ON ALL SLOPES 4:1 OR STEEPER.
- ALL WORK WITHIN OR ON CITY OF LAKE CITY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND SHALL BE PER FDOT STANDARDS AND PROCEDURES AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- INSTALLATION OR CONSTRUCTION OF MAILBOXES, PRIVATE IRRIGATION PIPING, OR PRIVATE UTILITY CHASES, ETC. IN PUBLIC RIGHT OF WAYS UNDER CITY OWNERSHIP SHALL REQUIRE A RIGHT OF WAY USE PERMIT PRIOR TO BEGINNING.

STANDARD ABBREVIATIONS

ACPW	ALACHUA COUNTY PUBLIC WORKS
ADJ	ADJACENT
ALUM	ALUMINUM
APT	APARTMENT
ASPH	ASPHALT
B&J	BORE & JACK
BC	BACK OF CURB
BCCMP	BITUMINOUS COATED CORRUGATED METAL PIPE
BLDG	BUILDING
BM	BENCHMARK
BOP	BEGINNING OF PROFILE
BSL	BUILDING SETBACK LINE
C&G	CURB & GUTTER
CI	CURVE ONE
CATV	CABLE TELEVISION
BOP	CURVE END TAPER
CF	CUBIC FEET
CI	CAST IRON
CIP	CAST-IN-PLACE
CL	CENTER LINE
CLF	CHAIN LINK FENCE
CMP	CORRUGATED METAL PIPE
CMPA	CORRUGATED METAL PIPE ARCHED
CMU	CONCRETE MASONRY UNIT
CO	CLEAN OUT
COLO	CITY OF LIVE OAK
COMM	COMMUNICATIONS
CONC	CONCRETE
CPE	CORRUGATED POLYETHYLENE PIPE
CY	CUBIC YARD
DBI	DITCH BOTTOM INLET
DCBP	DOUBLE CHECK BACKFLOW PREVENTER
DEG	DEGREES
DHWL	DESIGN HIGH WATER LEVEL
DI	DUCTILE IRON
DIA	DIAMETER
DIM	DIMENSION
DIP	DUCTILE IRON PIPE
E	EAST
E/M	EASEMENT
EL	ELEVATION
ELEC	ELECTRIC
EOP	EDGE OF PROFILE
EP	EDGE OF PAVEMENT
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE
EX	EXISTING
FC	FACE OF CURB
FDC	FIRE DEPARTMENT CONNECTION
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION
FF	FINISH FLOOR
FG	FINISH GRADE
FH	FIRE HYDRANT
FL	FIRE LINE
FLL	FLOW LINE
FM	FORCE MAIN
FO	FIBER OPTIC
FP	FLOOD PLAIN
FT	FEET
FUT	FUTURE
GALV	GALVANIZED
GRU	GAINESVILLE REGIONAL UTILITIES
GV	GATE VALVE
HC	HANDICAP
HORIZ	HORIZONTAL
HP	HIGH POINT
HR	HOUR
INV	INVERT
IRR	IRRIGATION
LF	LINEAR FEET
LI	LINE ONE
LAT	LATITUDE
LBR	LIMEROCK BEARING RATIO
LONG	LONGITUDE
LTG	LIGHT

LP	LOW POINT
LT	LEFT
MAINT	MAINTENANCE
MAX	MAXIMUM
MES	MITERED END SECTION
MH	MANHOLE
MIN	MINIMUM
MO	MONTH
N	NORTH
N/A	NOT APPLICABLE
NE	NORTH EAST
NG	NATURAL GRADE
NIC	NOT IN CONTRACT
NO	NUMBER
NTS	NOT TO SCALE
NW	NORTH WEST
OC	ON CENTER
PCPE	PERFORATED CORRUGATED POLYETHYLENE PIPE
PE	POLYETHYLENE PIPE
POB	POINT OF BEGINNING
POE	POINT OF ENDING
PL	PROPERTY LINE
PRVT	PRIVATE
PRI	PRIMARY
PSI	POUNDS PER SQUARE INCH
PT	PRESSURE TREATED (NON ARSENIC)
PUD	PLANNED URBAN DEVELOPMENT
PVI	POINT OF VERTICAL INTERSECTION
PVC	POLYVINYL CHLORIDE
PVMT	PAVEMENT
P&P	PLAN & PROFILE
R/W	RIGHT OF WAY
R1'	ONE FOOT RADIUS
RB	REACTION BLOCK
RCP	REINFORCED CONCRETE PIPE
REF	REFERENCE
RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
REQ'D	REQUIRED
RT	RIGHT
RW	RESILIENT WEDGE
S	SOUTH
S/W	SIDEWALK
SE	SOUTH EAST
SEC	SECONDARY
SF	SQUARE FEET
SG	SWITCH GEAR
SI	SURFACE INLET
SPA	SPACE
SRWMD	SUWANNEE RIVER WATER MANAGEMENT DISTRICT
SPT	STANDARD PENETRATION TEST
SS	SANITARY SEWER
SSL	STAINLESS STEEL
ST	STORM
ST	STREET
STA	STATION
STD	STANDARD
STL	STEEL
SW	SOUTH WEST
SY	SQUARE YARD
TBC	TRAFFIC BEARING COVER
TBM	TEMPORARY BENCHMARK
TEL	TELEPHONE
TFMR	TRANSFORMER
TV	TELEVISION
TW	TOP OF WALL
TYP	TYPICAL
UD	UNDER DRAIN
UTIL	UTILITIES
VCP	VITRIFIED CLAY PIPE
VEH	VEHICLE
W	WEST
W/	WITH
W/WW	WATER/WASTEWATER
WM	WATER MAIN
WS	WATER SERVICE
WW	WASTEWATER
YR	YEAR

LEGEND

	EXISTING STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS SERVICE LINE
	EXISTING CATV & TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING WATER MAIN
	EXISTING CONTOUR LINE
	EXISTING FENCE
	NATURAL GROUND SPOT ELEVATION
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONC PAVEMENT/SIDEWALK
	PROPOSED FINISH ELEVATION CONTOUR
	PROPOSED FINISH SPOT ELEVATION
	PROPOSED DIRECTIONAL FLOW ARROW
	DRAINAGE AREA DIVIDE
	PROPOSED SILT FENCE
	PROPOSED TRENCH BARRICADE FENCE
	PROPOSED CENTERLINE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER MAIN
	PROPOSED PRIMARY ELECTRIC SERVICE CONDUIT
	PROPOSED SECONDARY ELECTRIC SERVICE CONDUIT
	PROPOSED GAS MAIN
	PROPOSED CATV & TELEPHONE SERVICE
	PROPOSED WASTEWATER
	PROPOSED SANITARY SEWER FORCE MAIN
	PROPOSED PUE
	PROPOSED DRAINAGE SWALE
	RIGHT-OF-WAY
	PROPOSED PVC SANITARY SEWER SERVICE LATERAL WITH CLEANOUT
	GRAVEL FILTER BAGS
	FILTER BAGS

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NO.	DATE	DESCRIPTION	DRWN/ APPR

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SHEET TITLE: **LEGEND ABBREVIATIONS AND NOTES**

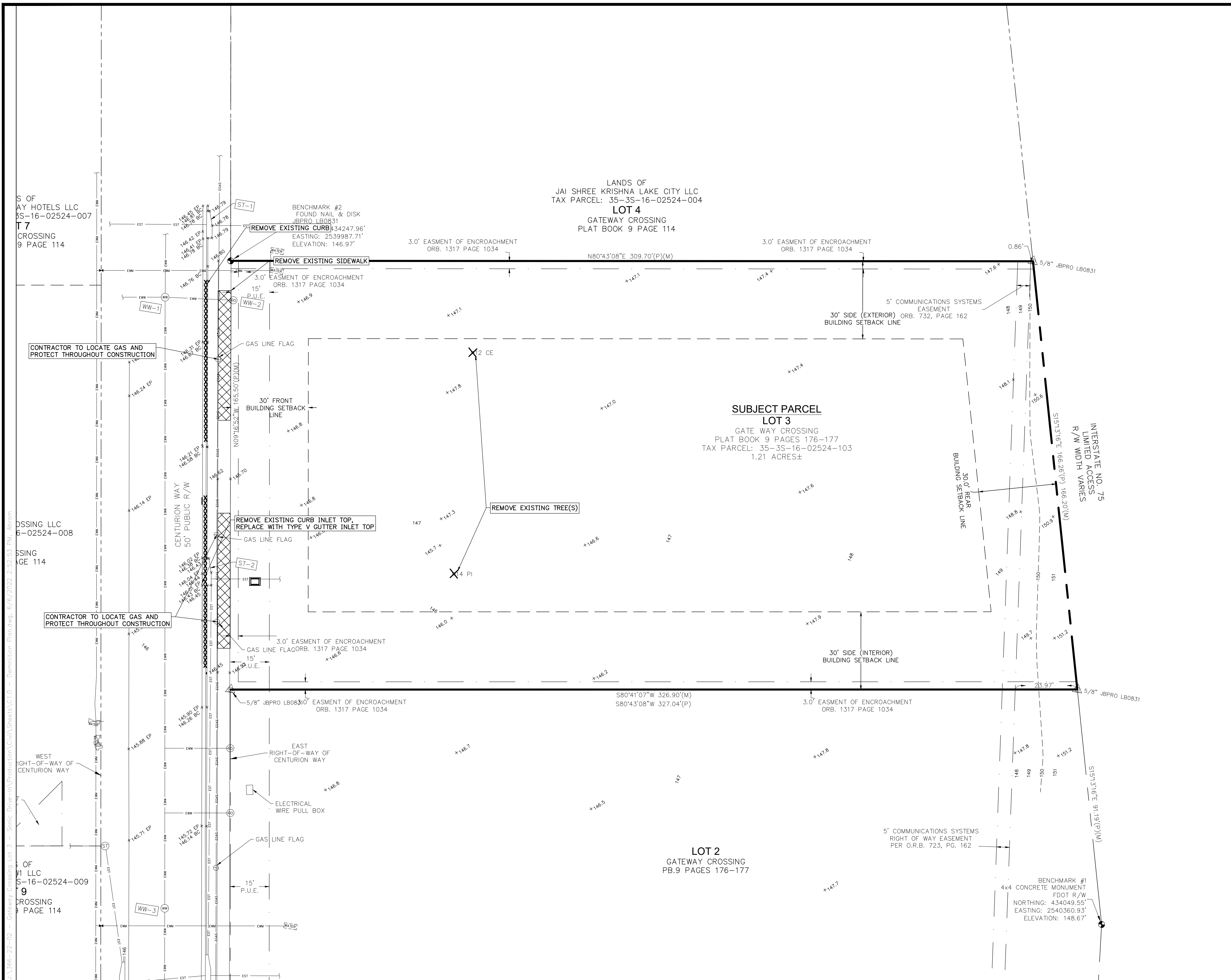
DATE: **JUNE 2022**

PROJECT NO: **366-22-02**

CIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT LAKE CITY, FLORIDA**

SHEET NO: **C0.1**



- GENERAL DEMOLITION NOTES**
- PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
 - CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
 - CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
 - REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMEROCK, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOD AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
 - ALL OFF SITE TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
 - PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.
 - EXISTING SIGNS SHALL BE REMOVED AND STORED DURING DEMOLITION SO THAT THEY CAN BE REINSTALLED DURING CONSTRUCTION.

- LEGEND**
- EXISTING HARDSCAPE TO BE REMOVED
 - EXISTING CURB TO BE REMOVED
 - EXISTING TREE TO BE REMOVED

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SHEET TITLE: **DEMOLITION PLAN**

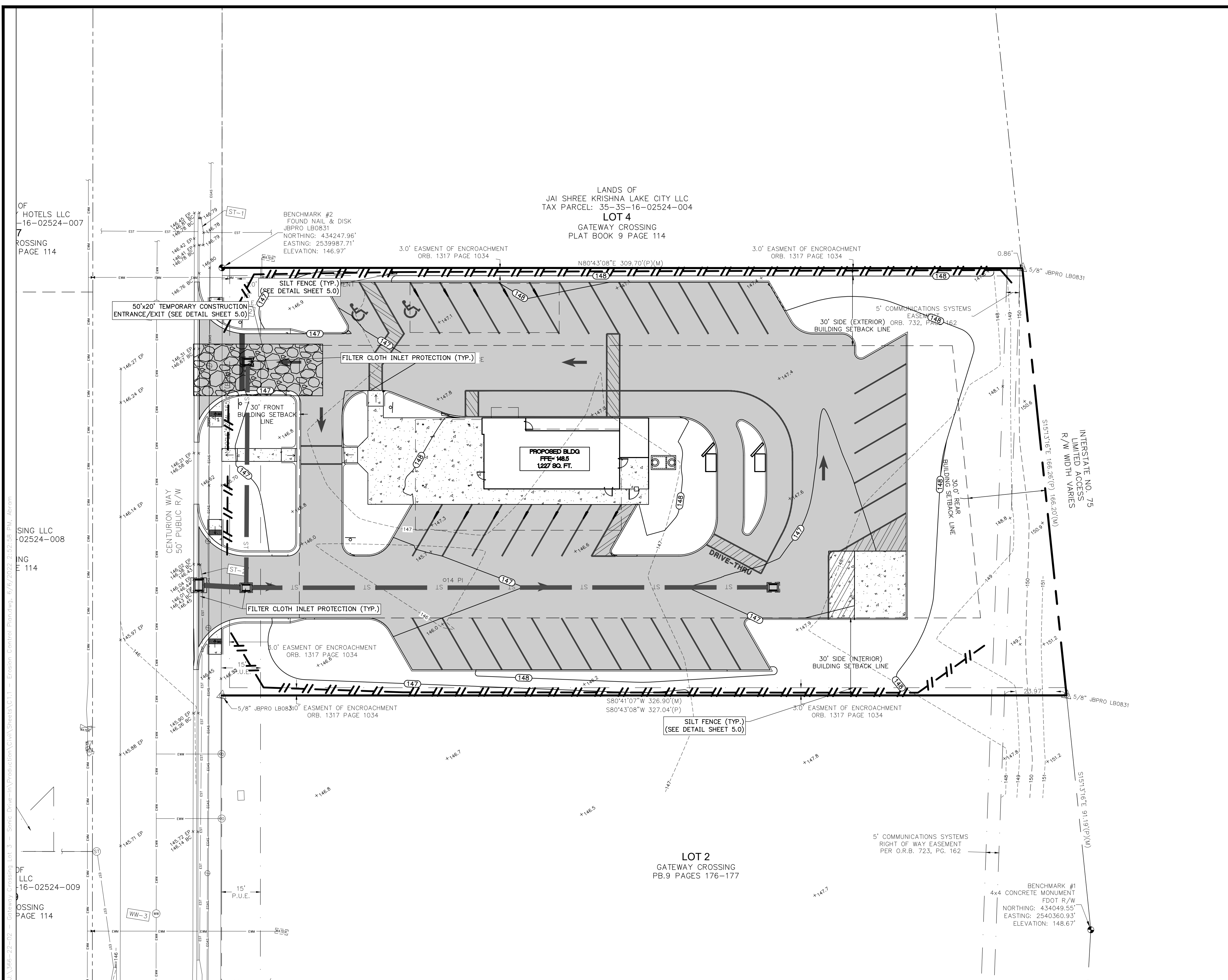
CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT LAKE CITY, FLORIDA**

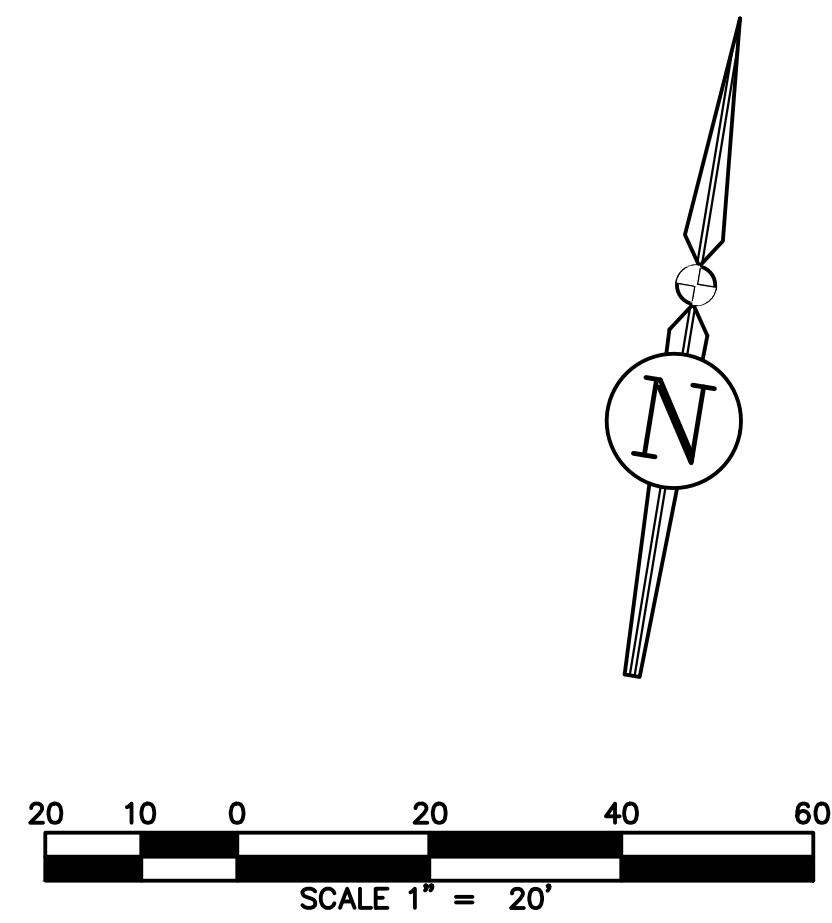
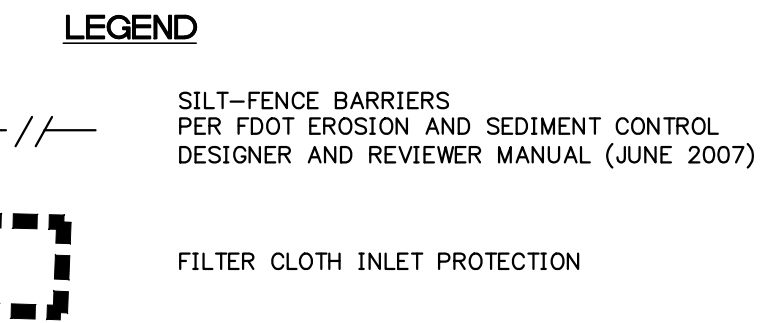
DATE: **JUNE 2022**

PROJECT NO: **366-22-02**

SHEET NO: **C1.0**



- ### EROSION AND SEDIMENTATION CONTROL NOTES
1. THE CONTRACTOR SHALL UTILIZE THE EROSION AND SEDIMENTATION CONTROL PLAN AS A GENERAL GUIDE AND DIRECTION FOR MINIMUM CONTROL MEASURES. CONTRACTOR SHALL UTILIZE EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION BUILDUP ONSITE AND TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFF PROPERTY.
 2. CONTRACTOR SHALL EMPLOY AN FDEP CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR TO MONITOR THE CONTRACTOR'S EROSION AND SEDIMENTATION CONTROL WORK EFFORT THROUGHOUT CONSTRUCTION.
 3. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.
 4. SILT FENCING AND OTHER SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION. ALL STORM DRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007) TO PREVENT SEDIMENT DISCHARGE TO THE EXISTING STORMWATER MANAGEMENT SYSTEM.
 5. THE RETENTION BASINS SHALL BE PROTECTED FROM SEDIMENT DISCHARGE BY SILT FENCE AT THE DISCHARGE STORM STRUCTURE. CAREFUL ATTENTION SHALL BE PAID TO PREVENT EROSION FROM ENTERING THE BASIN BOTTOM BEYOND THE IMMEDIATE EXIT OF THE STRUCTURE. REMOVE ALL SEDIMENT BUILDUP AT THE DISCHARGE STRUCTURE REGULARLY THROUGHOUT CONSTRUCTION.
 6. PROTECT EXISTING STORMWATER INLET STRUCTURES WITH FILTER FABRIC OR OTHER EROSION CONTROL DEVICE TO PREVENT SEDIMENTS FROM ENTERING STORM SEWER SYSTEM.
 7. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER 1/2" OR GREATER RAINFALL. ANY DEFICIENCIES DISCOVERED SHALL BE REPAIRED, ADJUSTED, OR IMPROVED AS REQUIRED.
 8. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND APPROVED, AND VEGETATION IS FULLY ESTABLISHED.
 9. CONTRACTOR SHALL MINIMIZE AIR POLLUTION FROM PARTICULATES AND DUST. WATER SHALL BE APPLIED AS NEEDED TO REDUCE DUST DURING CONSTRUCTION. USE OTHER STABILIZATION METHODS SUCH AS HYDROMULCHING AS NEEDED.
 10. CONTRACTOR SHALL STOCKPILE AND STORE MATERIALS SUCH THAT STORMWATER FLOW IS NOT IMPEDED DURING CONSTRUCTION AND MATERIAL EROSION DOES NOT OCCUR.
 11. ALL DISTURBED OPEN AREAS WITHIN THE PROJECT CONSTRUCTION LIMITS SHALL BE COMPLETELY GRASSED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JULY 2013). EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
 12. THE STORM SEWER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

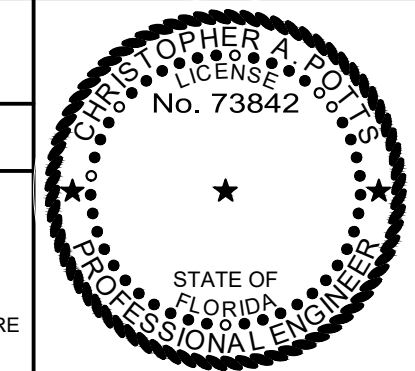


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SHEET TITLE: **EROSION AND SEDIMENTATION CONTROL PLAN**

CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT
LAKE CITY, FLORIDA**

DATE: **JUNE 2022**

PROJECT NO.: **366-22-02**

SHEET NO.: **C1.1**

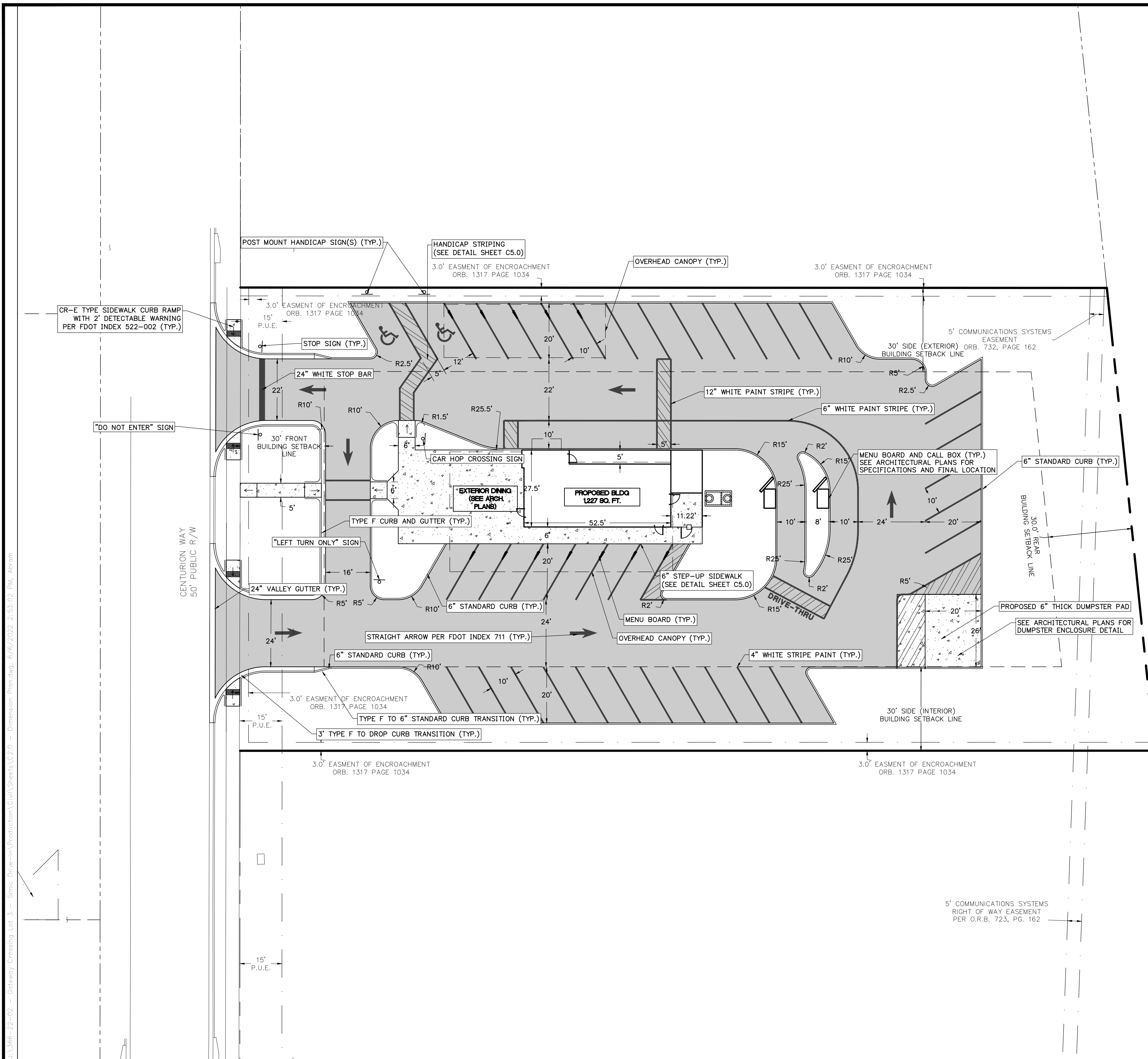
OF HOTELS LLC
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PAGE 114

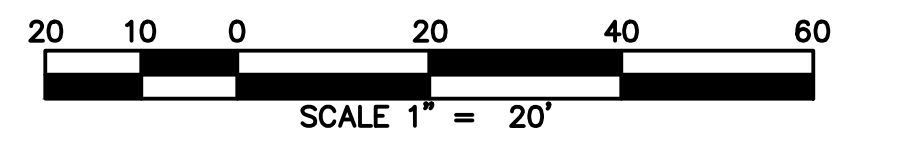
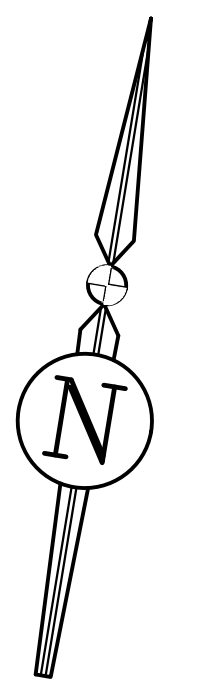
DIMENSION NOTES

1. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS, AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
2. ALL DIMENSIONS AND RADII SHOWN ARE DIMENSIONED TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE SPECIFIED.
3. ALL STRIPING SHALL CONFORM TO FDOT STANDARD INDEX 711-001.
4. TOTAL NUMBER OF PARKING SPACES = 42 (2 HANDICAP PARKING SPACES)



LEGEND

- NEW ASPHALT PAVEMENT
- NEW CONCRETE

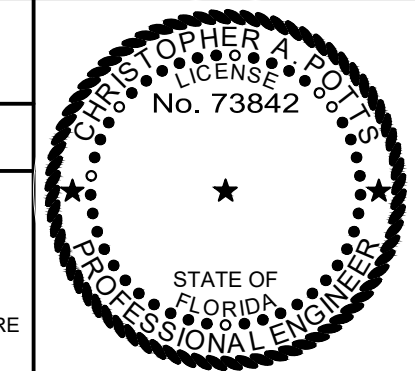


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SHEET TITLE: **DIMENSION PLAN**

CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT
 LAKE CITY, FLORIDA**

DATE: **JUNE 2022**

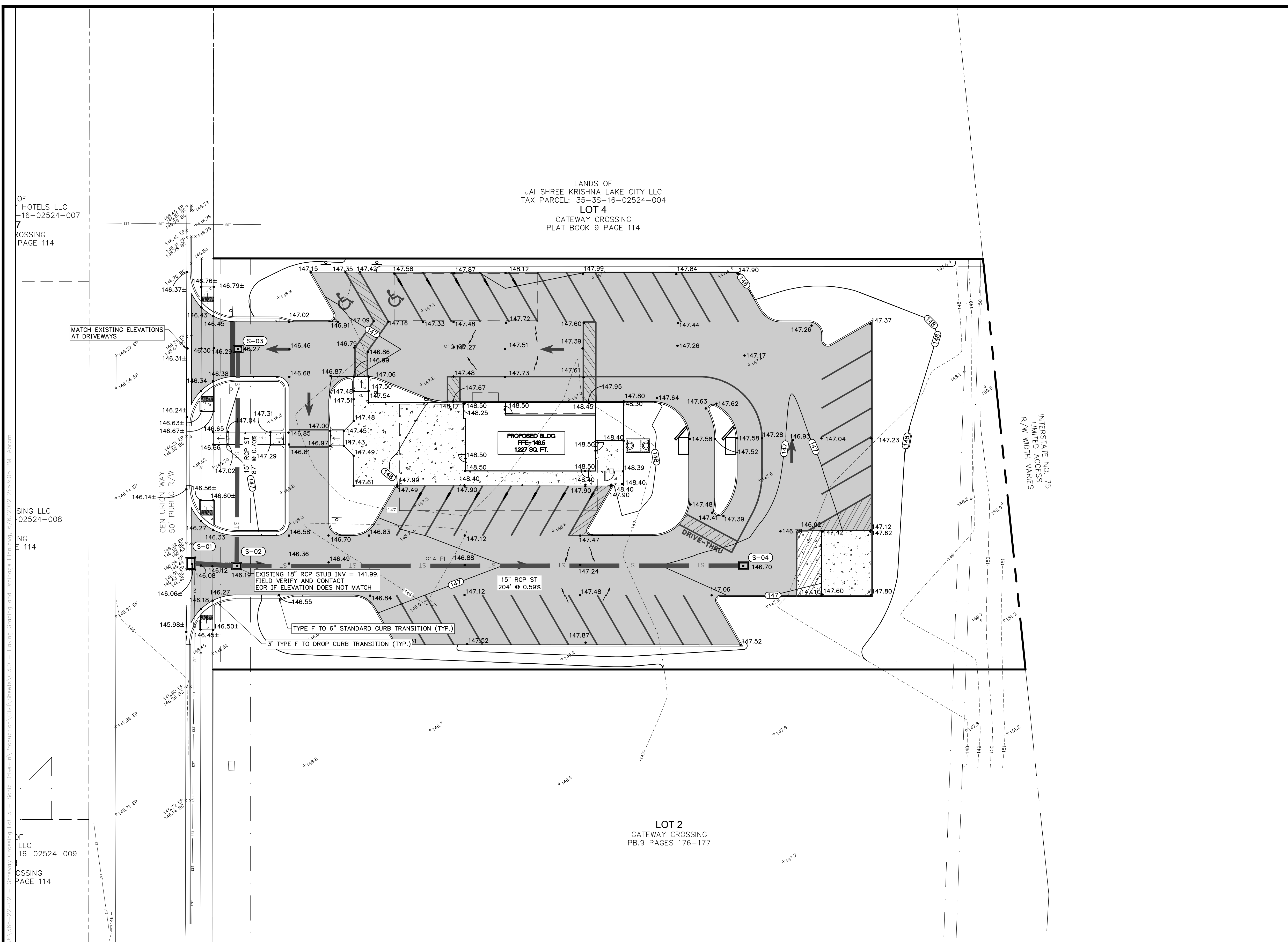
PROJECT NO.: **366-22-02**

SHEET NO.: **C2.0**

J:\366-22-02 - Centurion Driveway - Sonics Restaurant\Drawings\Sheet C2.0 - Dimension Plan.dwg, 6/6/2022, 2:53:02 PM, Atorom

STORM STRUCTURE TABLE

- S-01
INDEX NO. 425-041 - GUTTER INLET
GRATE EL = 146.06
E INV EL = 141.69 (18" EXISTING RCP)
- S-02
INDEX NO. 425-052 - TYPE C INLET
GRATE EL = 146.19
N INV EL = 141.99 (15" RCP)
W INV EL = 141.99 (18" EXISTING RCP)
E INV EL = 141.99 (15" RCP)
- S-03
INDEX NO. 425-052 - TYPE C INLET
GRATE EL = 146.27
S INV EL = 142.60 (15" RCP)
- S-04
INDEX NO. 425-052 - TYPE C INLET
GRATE EL = 146.70
W INV EL = 143.20 (15" RCP)



OF
HOTELS LLC
-16-02524-007
7
ROSSING
PAGE 114

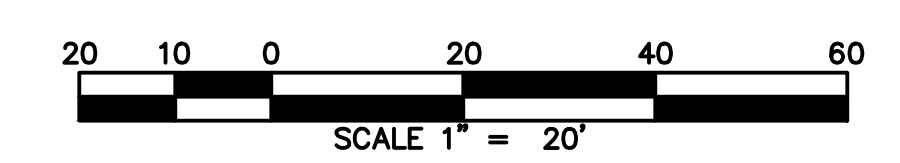
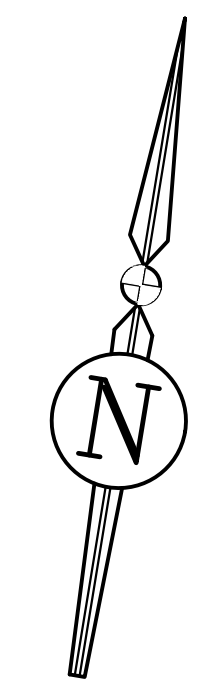
SING LLC
02524-008
NG
114

OF
LLC
-16-02524-009
ROSSING
PAGE 114

LANDS OF
JAI SHREE KRISHNA LAKE CITY LLC
TAX PARCEL: 35-35-16-02524-004
LOT 4
GATEWAY CROSSING
PLAT BOOK 9 PAGE 114

LOT 2
GATEWAY CROSSING
PB.9 PAGES 176-177

INTERSTATE NO. 75
LIMITED ACCESS
R/W WIDTH VARIES

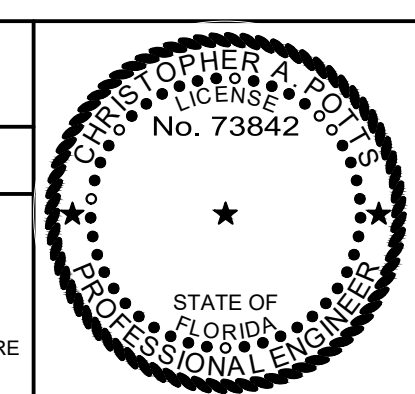


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NO.	DATE	DESCRIPTION		

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SHEET TITLE:
PAVING, GRADING, AND DRAINAGE PLAN

CLIENT:
HIGH COTTON EQUITIES, LLC

PROJECT:
**SONIC RESTAURANT
LAKE CITY, FLORIDA**

DATE: **JUNE 2022**
PROJECT NO.: **366-22-02**
SHEET NO.: **C3.0**

GENERAL NOTES:

1. ALL POTABLE WATER MAINS SHALL BE AWWA DR-18, C900 PVC, SCH 80 PVC OR DR-11 HDPE.
2. ALL WASTEWATER GRAVITY MAINS SHALL BE ASTM D-1785, SDR 26 PVC. ALL WASTEWATER FORCE MAINS SHALL BE AWWA DR-18, C900 PVC, SCH 80 PVC OR DR-11 HDPE.
3. ALL WATER MAINS SHALL HAVE AT LEAST 30" OF COVER.
4. THE WATER METER SHALL BE THE END OF CITY OF LIVE OAK MAINTENANCE FOR POTABLE WATER.
5. CONTRACTOR TO VERIFY DEPTH OF EXISTING SEWER AT THE PROPOSED CONNECTION POINT PRIOR TO COMMENCEMENT OF UTILITY WORK. IF THE ELEVATION OF THE EXISTING PIPE IS NOT A MINIMUM DEPTH OF 115.76, CONTRACTOR TO CONTACT EOR.

LIGHTING NOTES:

1. ALL EXTERIOR LIGHTING WILL BE DIRECTED SO THAT NO GLARE IS VISIBLE FROM ANY STREET ROW OR FROM ANY ADJACENT RESIDENTIAL PROPERTIES.

WATER FITTING SCHEDULE

- ① 1 - 1" WATER METER ASSEMBLY
1 - 1.5" RPZBFP
- ② 1 - 2" PVC 90 DEGREE BEND

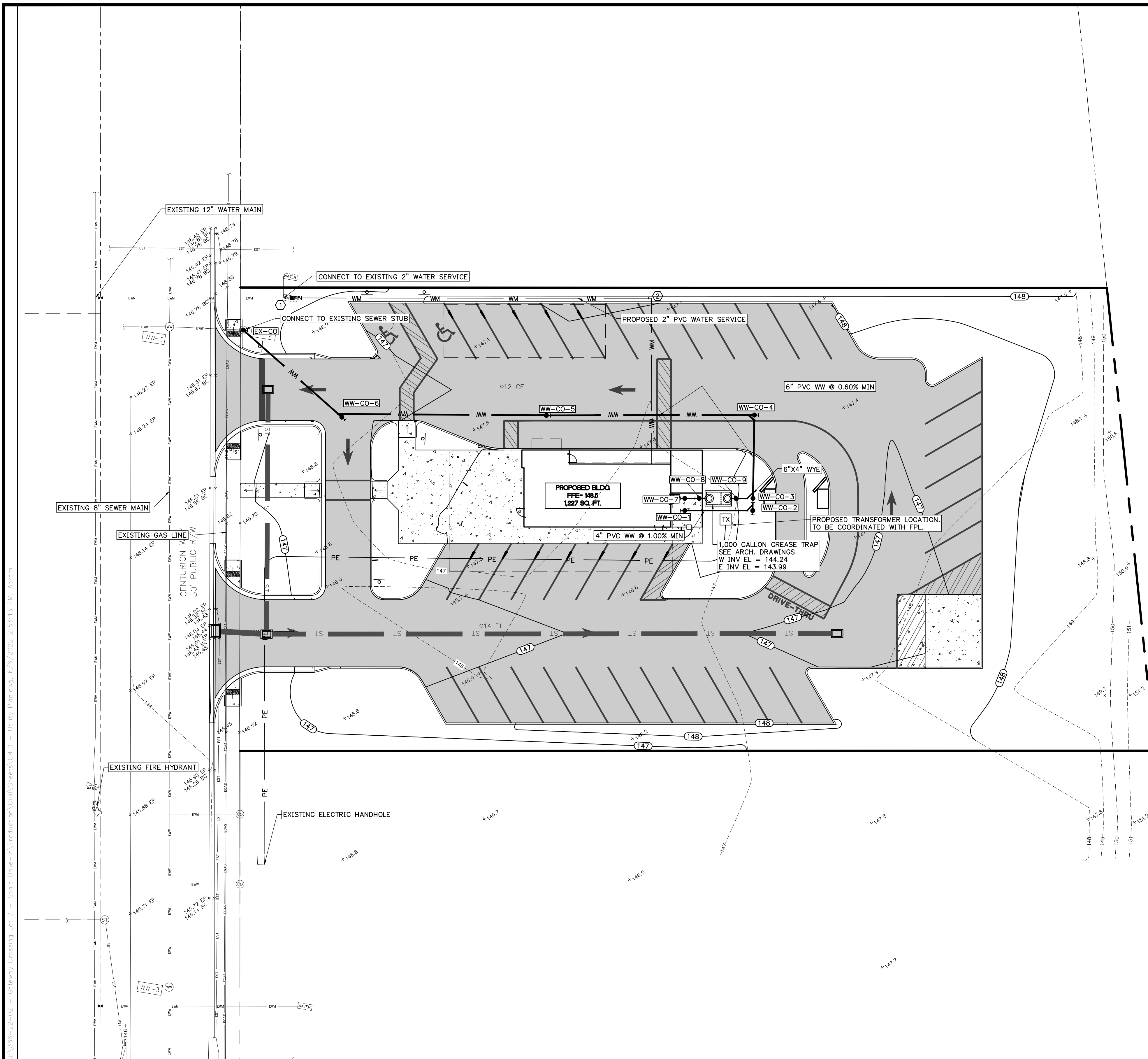
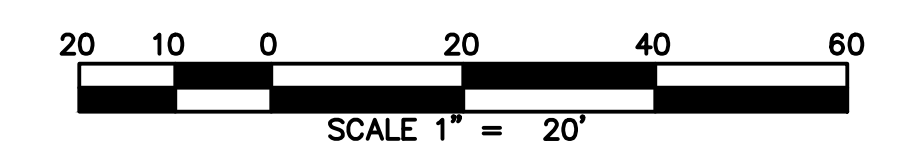
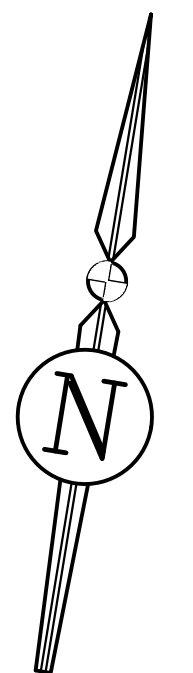
WW CLEANOUT TABLE

WWCO	TOP EL	INV EL
EX-CO	146.78	140.29
WW-CO-1	148.46	144.35
WW-CO-2	147.84	144.02
WW-CO-3	147.84	143.87
WW-CO-4	147.42	143.59
WW-CO-5	147.59	142.82
WW-CO-6	146.72	142.07
WW-CO-7	148.46	144.35
WW-CO-8	148.41	144.27
WW-CO-9	148.02	143.96

WASTEWATER PIPE TABLE

UPSTREAM STRUCTURE	DOWNSTREAM STRUCTURE	SIZE & MATERIAL	LENGTH	SLOPE
WW-CO-1	WW-CO-2	4" PVC	22'	1.48%
WW-CO-2	WW-CO-3	4" PVC	4'	3.45%
WW-CO-3	WW-CO-4	6" PVC	28'	1.00%
WW-CO-4	WW-CO-5	6" PVC	74'	1.04%
WW-CO-5	WW-CO-6	6" PVC	74'	1.01%
WW-CO-6	EX-CO	6" PVC	47'	3.79%
WW-CO-7	WW-CO-8	4" PVC	5'	1.56%
WW-CO-8	WW-GT-IN	4" PVC	2'	1.50%
WW-CO-9	WW-CO-3	4" PVC	4'	2.29%
WW-GT-OUT	WW-CO-9	4" PVC	2'	1.75%

GENERAL NOTE: CLEANOUTS LOCATED IN PAVED AREA(S) WILL HAVE TRAFFIC LOAD BEARING COVERS



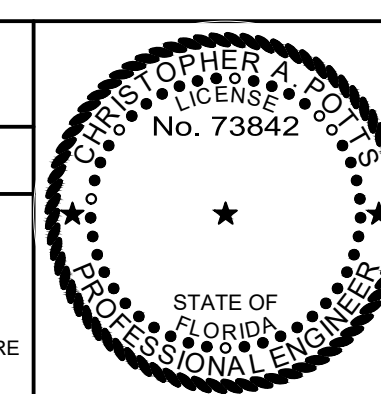
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FLORIDA LICENSE NO. 73842

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SHEET TITLE: **UTILITY PLAN**

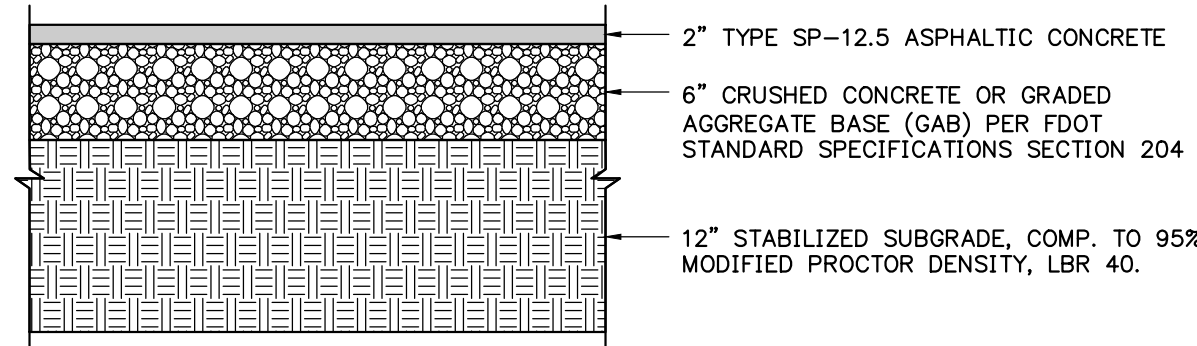
CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT
LAKE CITY, FLORIDA**

DATE: **JUNE 2022**

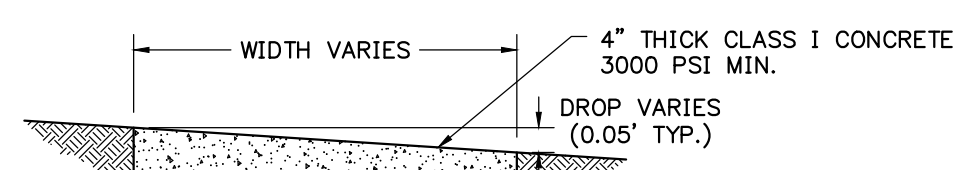
PROJECT NO: **366-22-02**

SHEET NO: **C4.0**



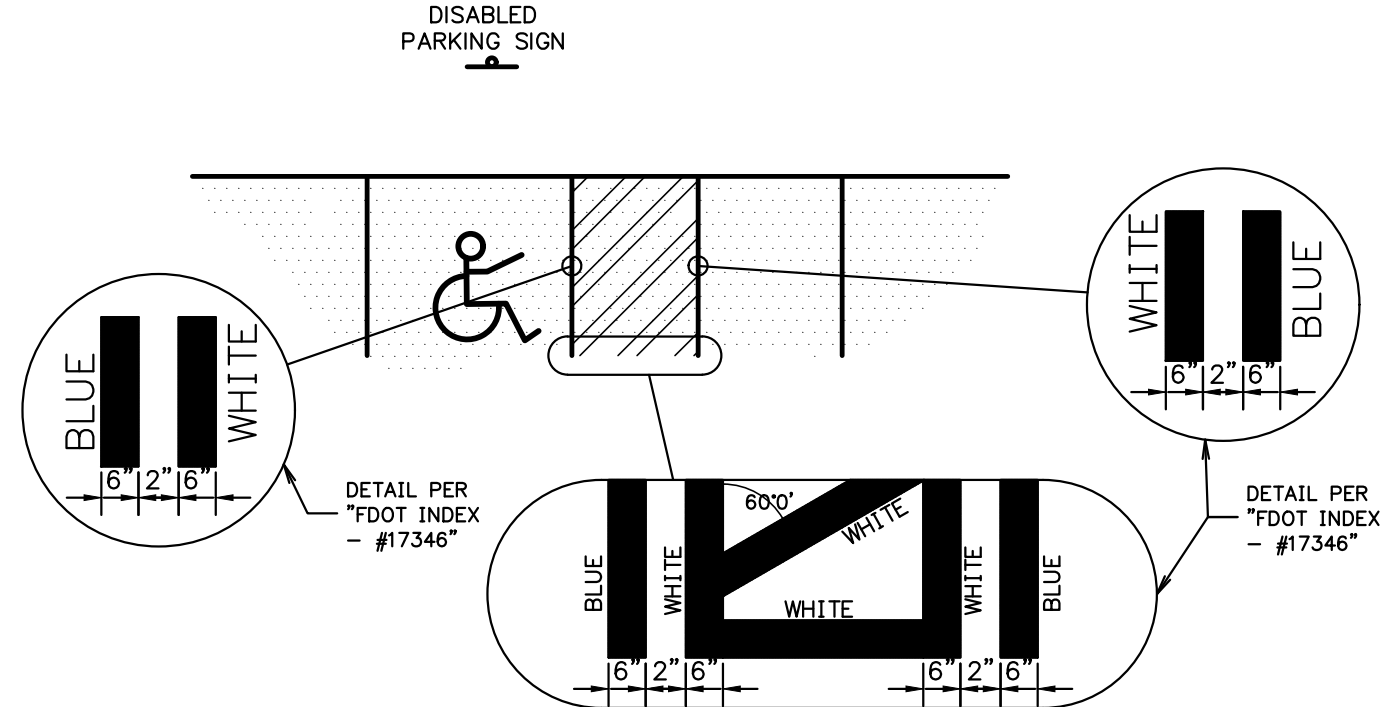
(LIGHT DUTY) TYPICAL ASPHALT PAVEMENT DETAIL

N.T.S.



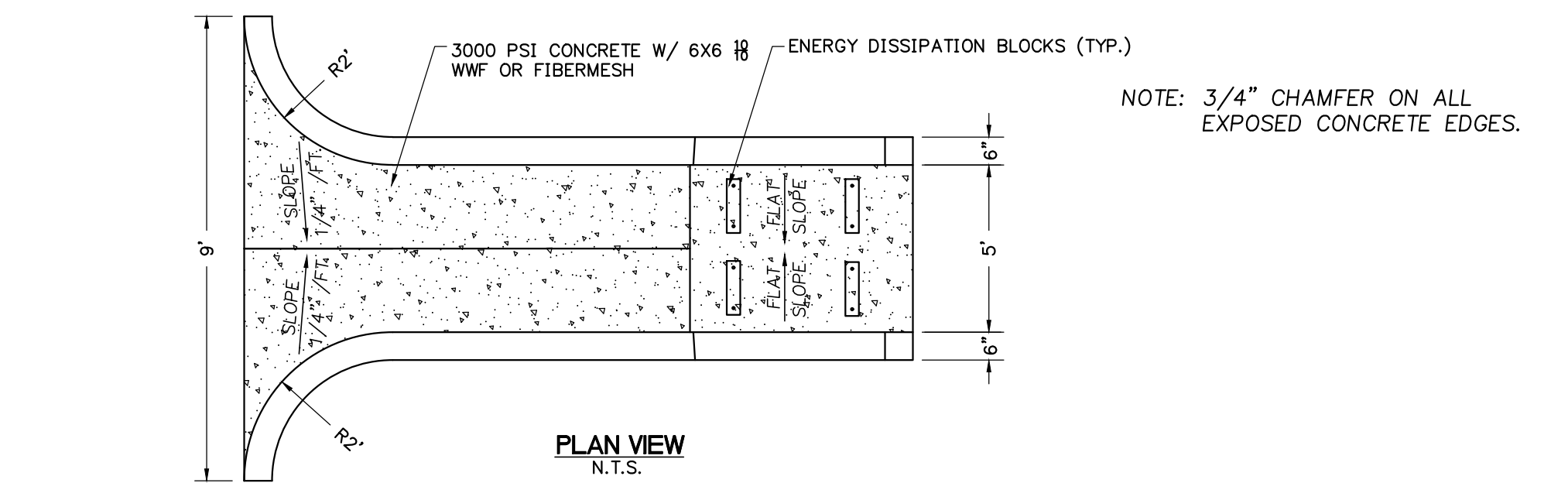
TYPICAL AT GRADE SIDEWALK DETAIL

N.T.S.



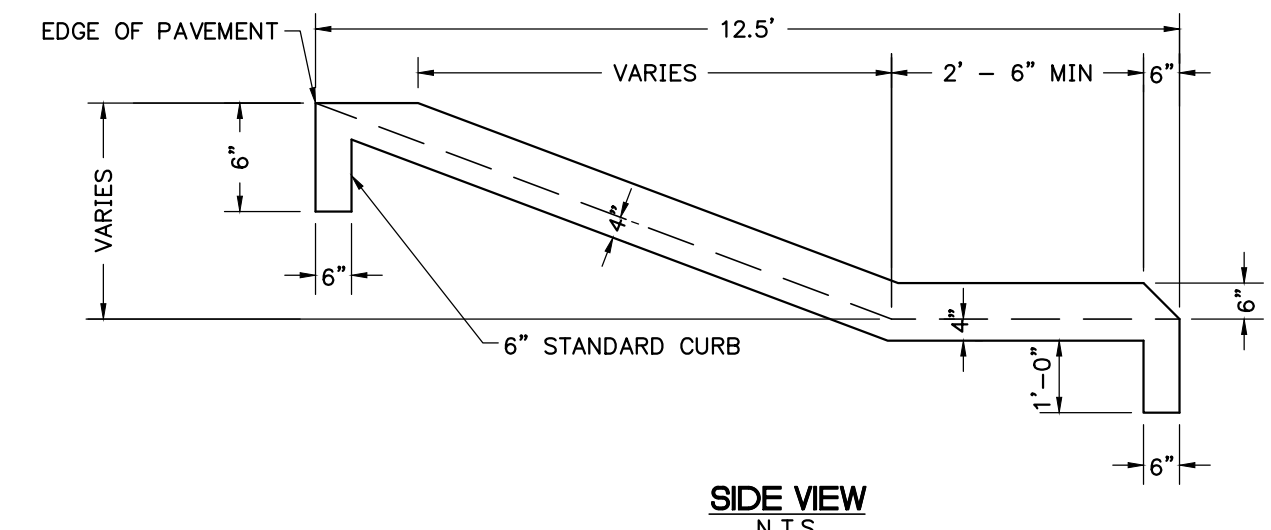
HANDICAP STRIPING DETAIL

N.T.S.



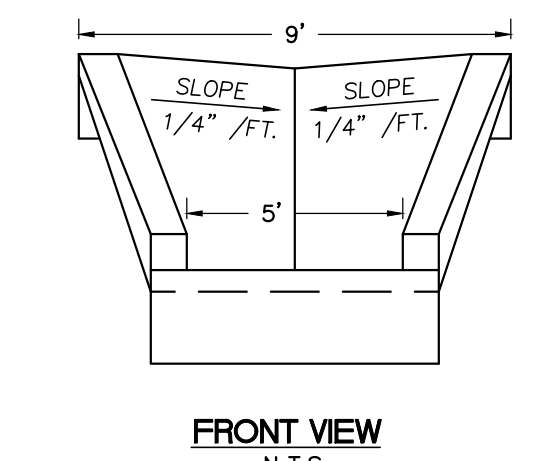
PLAN VIEW

N.T.S.



SIDE VIEW

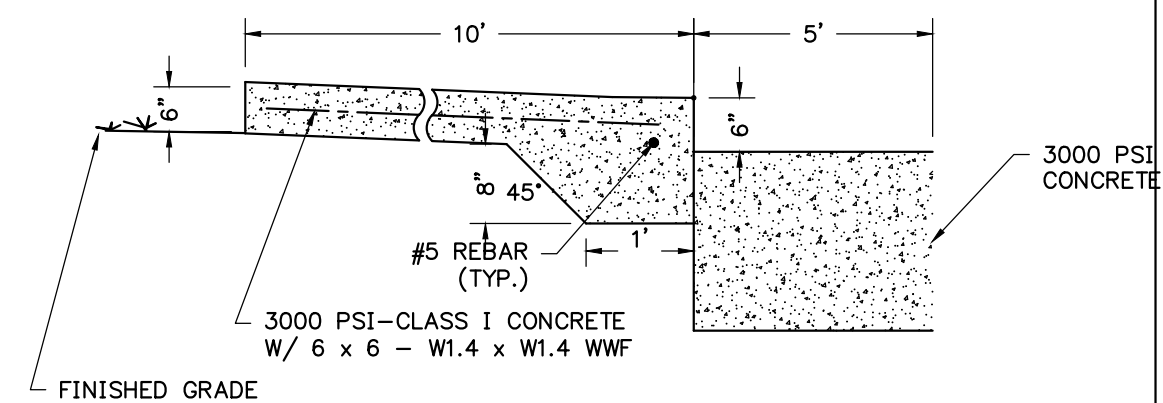
N.T.S.



FRONT VIEW

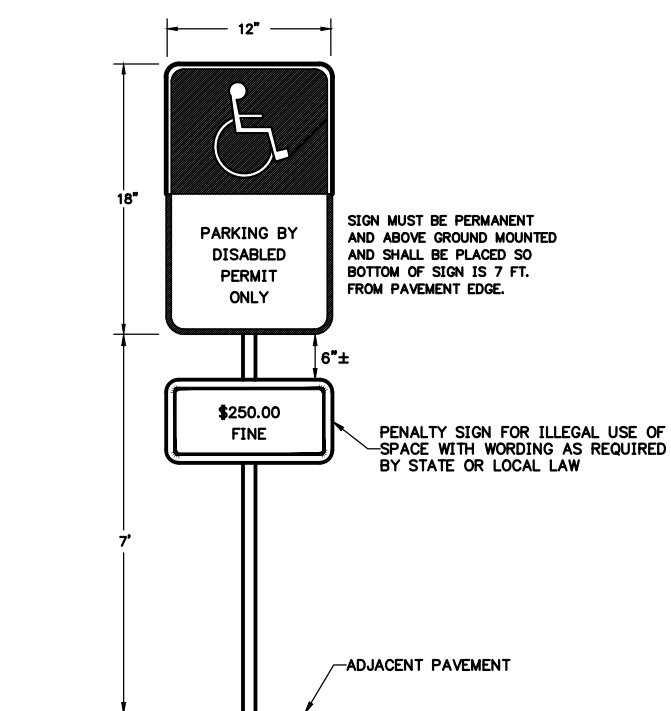
N.T.S.

DRAINAGE/EROSION STANDARD FLUME



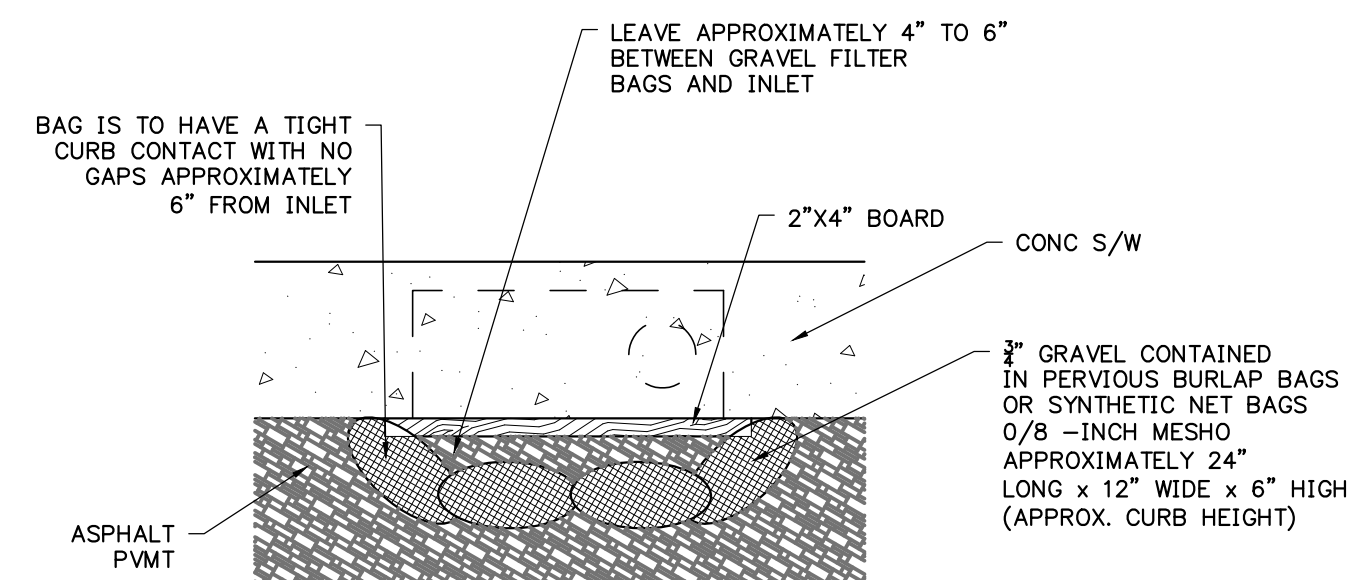
CONCRETE DUMPSTER PAD DETAIL

N.T.S.



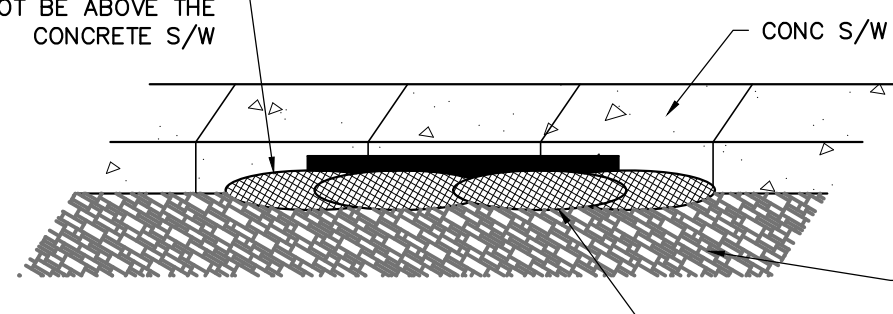
DISABLED PARKING SPACE SIGN DETAIL

N.T.S.



PLAN VIEW

HEIGHT OF GRAVEL FILTER BAGS SHOULD NOT BE ABOVE THE CONCRETE S/W

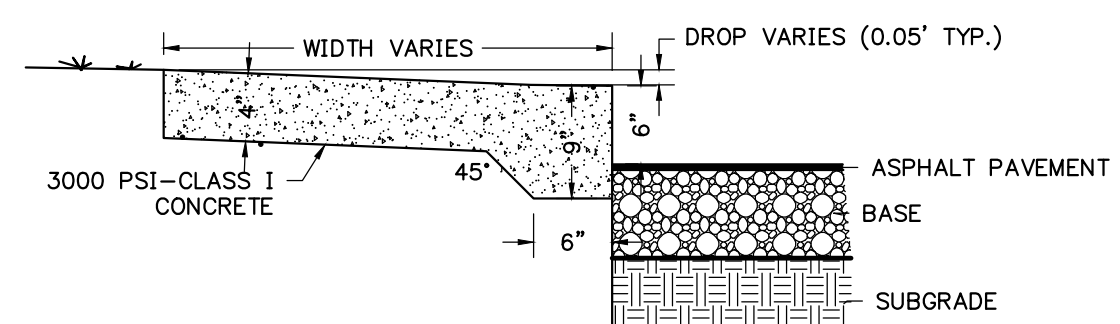


ELEVATION

NOTE: GRAVEL FILTERS CAN BE USED ON PAVEMENT OR BARE GROUND.

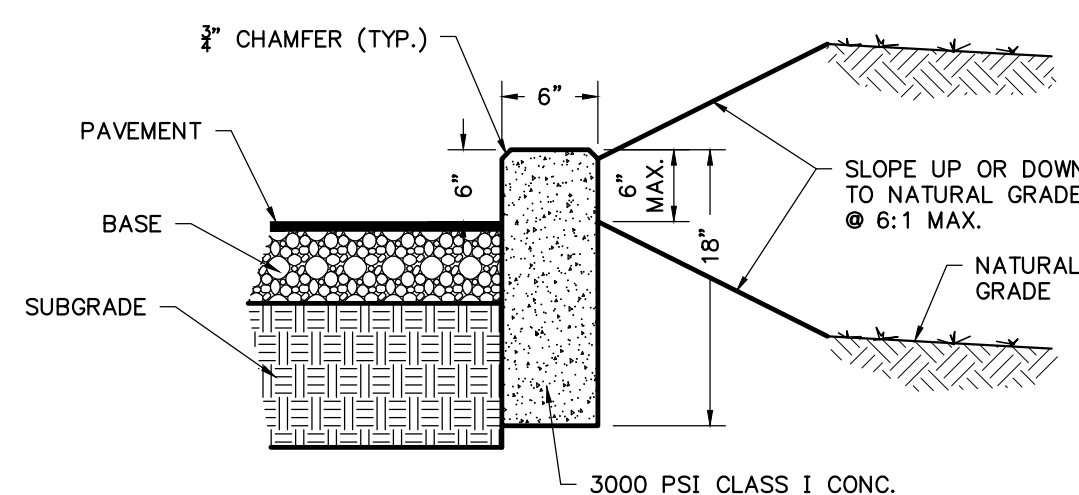
GRAVEL FILTER BAGS DETAIL

N.T.S.



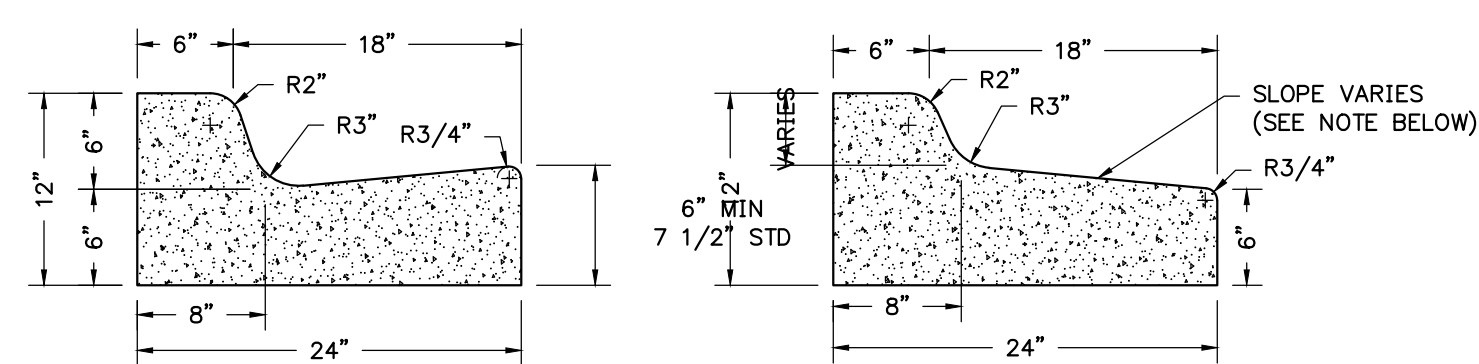
TYPICAL STEP-UP SIDEWALK DETAIL

N.T.S.



STANDARD CURB DETAIL

N.T.S.



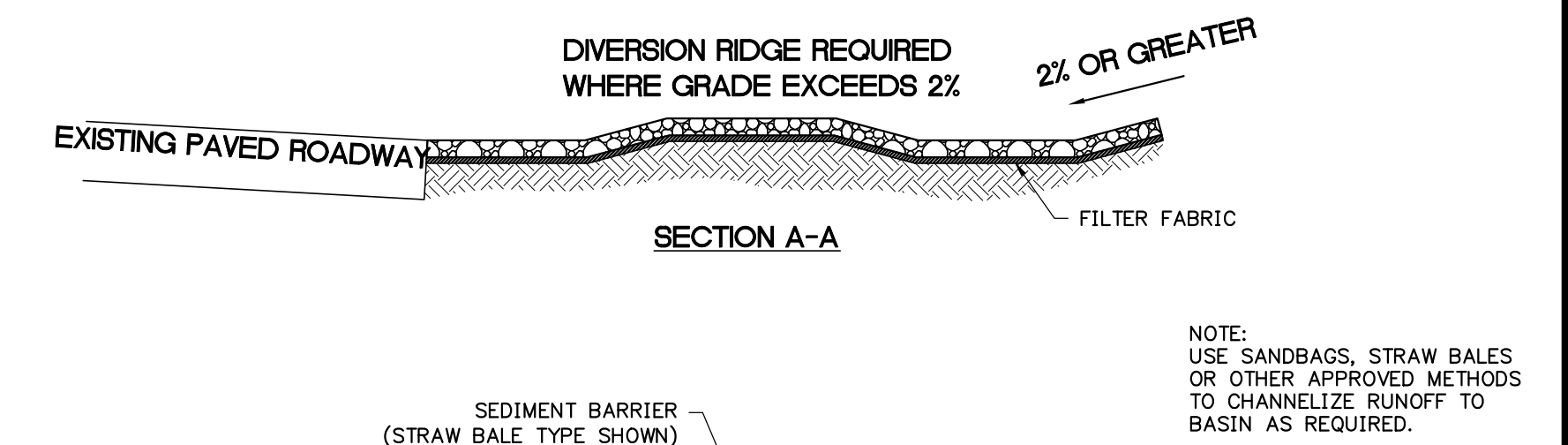
STANDARD

SPILL-OUT

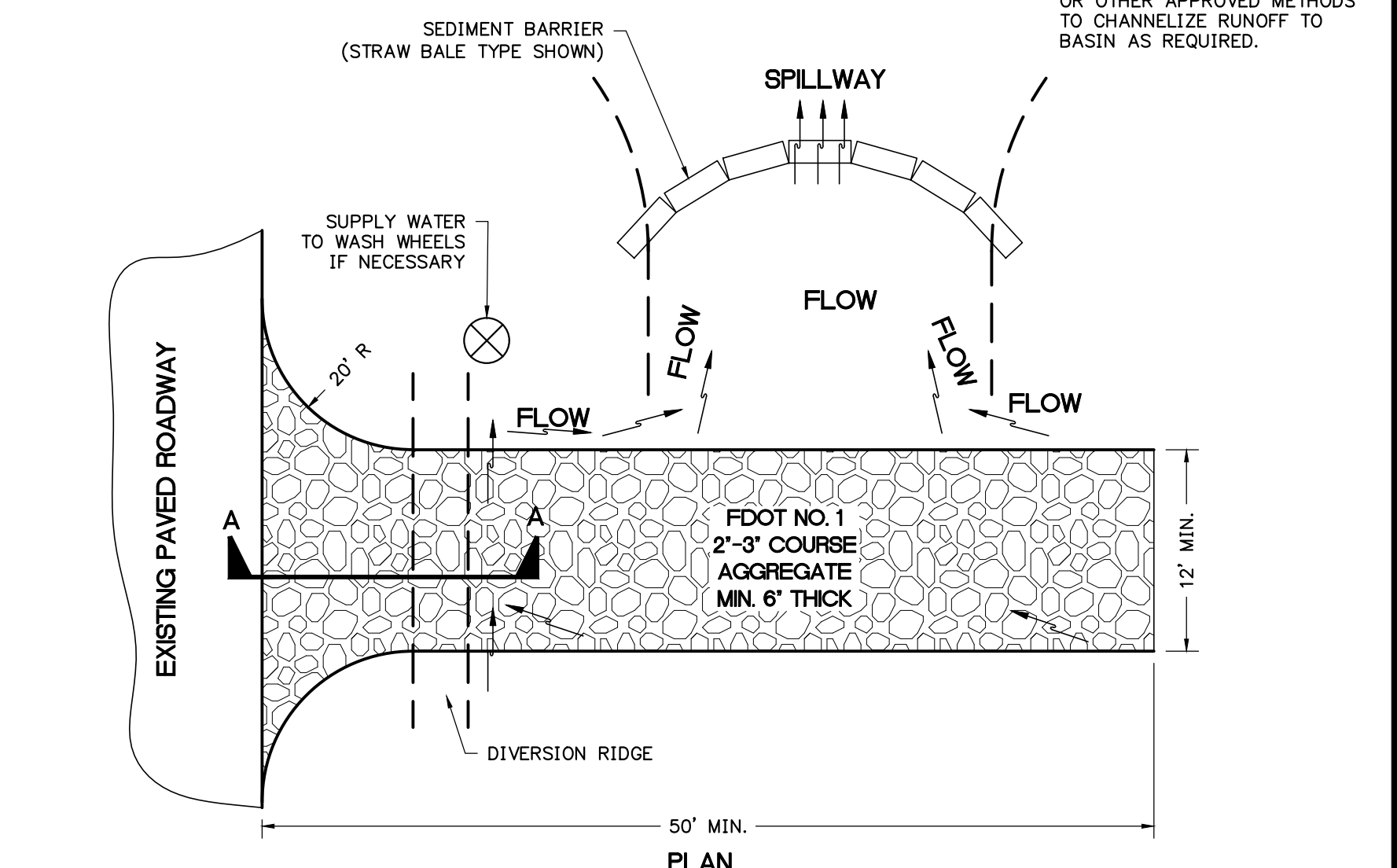
NOTE: WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS-SLOPE OF THE GUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS.

TYPE 'F' CONCRETE CURB AND GUTTER

N.T.S.



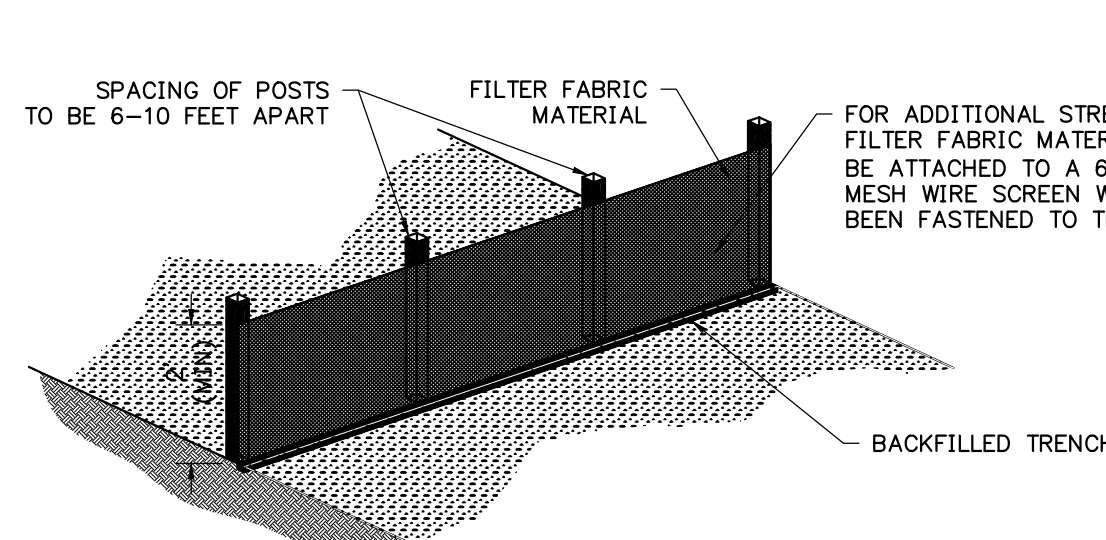
SECTION A-A



TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

N.T.S.

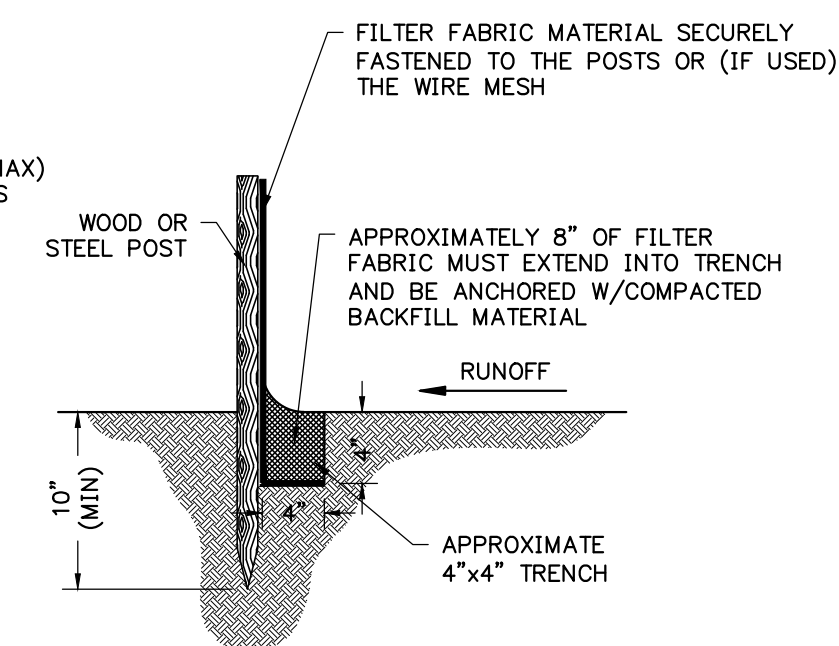
- NOTES:
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
 2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TYPE III SILT FENCE

N.T.S.

PER PLATE 4.06D FLORIDA EROSION AND SEDIMENTATION CONTROL INSPECTOR'S MANUAL



TYPE III SILT FENCE

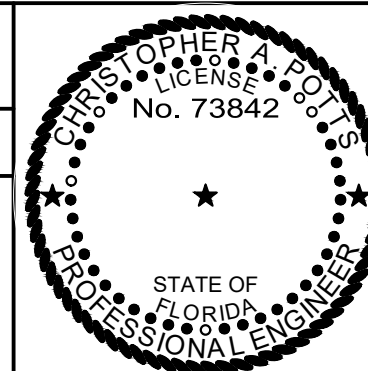
N.T.S.

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SHEET TITLE: **DETAILS AND NOTES**

DATE: **JUNE 2022**

PROJECT NO: **366-22-02**

CLIENT: **HIGH COTTON EQUITIES, LLC**

PROJECT: **SONIC RESTAURANT LAKE CITY, FLORIDA**

SHEET NO: **C5.0**

Gateway Crossing – Lot 3 Sonic Drive-In Lake City, FL

Fire Flow Calculations

June 2022



Christopher A. Potts, P.E.
FL Registration No. 73842

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Gainesville, FL 32606
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Attachments

Attachment A: NFPA Fire Flow Calculations

Attachment B: ISO Fire Flow Calculations

Attachments C: City of Lake City Fire Flow



Attachment A
NFPA Fire Flow Calculations

(Exhibit on Next Page)



FIRE FLOW CALCULATIONS PER NFPA 2009

BUILDING CONSTRUCTION:	Type V (000)
FIRE FLOW AREA (Total Floor Area):	1,227 SF (1 Floor)
FIRE FLOW REQUIRED:	1,500 GPM
BUILDING FULLY SPRINKLED?	No
FLOW DURATION:	2 Hours
AVAILABLE FIRE FLOW (@ 20 psi):	2,874 GPM @ 20 psig

Table 18.4.5.1.2 Minimum Required Fire Flow and Flow Duration for Buildings

Fire Flow Area ft ² (× 0.0929 for m ²)					Fire Flow gpm [†] (× 3.785 for L./min)	Flow Duration (hours)
I(443), I(332), II(222)*	II(111), III(211)*	IV(2HH), V(111)*	II(000), III(200)*	V(000)*		
0-22,700	0-12,700	0-8200	0-5900	0-3600	1500	2
22,701-30,200	12,701-17,000	8201-10,900	5901-7900	3601-4800	1750	
30,201-38,700	17,001-21,800	10,901-12,900	7901-9800	4801-6200	2000	
38,701-48,300	21,801-24,200	12,901-17,400	9801-12,600	6201-7700	2250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7701-9400	2500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9401-11,300	2750	3
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3000	
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5250	4
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5750	
Greater than 295,900	Greater than 166,500	106,501-115,800	77,001-83,700	47,401-51,500	6000	
		115,801-125,500	83,701-90,600	51,501-55,700	6250	
		125,501-135,500	90,601-97,900	55,701-60,200	6500	
		135,501-145,800	97,901-106,800	60,201-64,800	6750	
		145,801-156,700	106,801-113,200	64,801-69,600	7000	
		156,701-167,900	113,201-121,300	69,601-74,600	7250	
		167,901-179,400	121,301-129,600	74,601-79,800	7500	
179,401-191,400	129,601-138,300	79,801-85,100	7750			
		Greater than 191,400	Greater than 138,300	Greater than 85,100	8000	

*Types of construction are based on NFPA 220.

†Measured at 20 psi (139.9 kPa).

18.4 Fire Flow Requirements for Buildings.

18.4.1* Scope.

18.4.1.1* The procedure determining fire flow requirements for buildings hereafter constructed shall be in accordance with Section 18.4.

18.4.1.2 Section 18.4 does not apply to structures other than buildings.

18.4.2 Definitions. See definitions 3.3.13.6 (Fire Flow Area) and 3.3.108 (Fire Flow).

18.4.3 Modifications.

18.4.3.1 Decreases. Fire flow requirements shall be permitted to be modified downward by the AHJ for isolated buildings or a group of buildings in rural areas or small communities where the development of full fire flow requirements is impractical.

18.4.3.2 Increases. Fire flow shall be permitted to be modified upward by the AHJ where conditions indicate an unusual susceptibility to group fires or conflagrations. An upward modification shall not be more than twice that required for the building under consideration.

18.4.4 Fire Flow Area.

18.4.4.1 General. The fire flow area shall be the total floor area of all floor levels of a building except as modified in 18.4.4.1.1.

18.4.4.1.1 Type I (443), Type I (332), and Type II (222) Construction. The fire flow area of a building constructed of Type I (443), Type I (332), and Type II (222) construction shall be the area of the three largest successive floors.

18.4.5 Fire Flow Requirements for Buildings.

18.4.5.1 One- and Two-Family Dwellings.

18.4.5.1.1 The minimum fire flow and flow duration requirements for one- and two-family dwellings having a fire flow area that does not exceed 5000 ft² (334.5 m²) shall be 1000 gpm (3785 L/min) for 1 hour.

18.4.5.1.1.1 A reduction in required fire flow of 50 percent shall be permitted when the building is provided with an approved automatic sprinkler system.

18.4.5.1.1.2 A reduction in the required fire flow of 25 percent shall be permitted when the building is separated from other buildings by a minimum of 30 ft (9.1 m).

18.4.5.1.1.3 The reduction in 18.4.5.1.1.1 and 18.4.5.1.1.2 shall not reduce the required fire flow to less than 500 gpm (1900 L/min).

18.4.5.1.2 Fire flow and flow duration for dwellings having a fire flow area in excess of 5000 ft² (334.5 m²) shall not be less than that specified in Table 18.4.5.1.2.

18.4.5.1.2.1 A reduction in required fire flow of 50 percent shall be permitted when the building is provided with an approved automatic sprinkler system.

18.4.5.2 Buildings Other Than One- and Two-Family Dwellings. The minimum fire flow and flow duration for buildings other than one- and two-family dwellings shall be as specified in Table 18.4.5.1.2.

18.4.5.2.1 A reduction in required fire flow of 75 percent shall be permitted when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow shall not be less than 1000 gpm (3785 L/min).

18.4.5.2.2 A reduction in required fire flow of 75 percent shall be permitted when the building is protected throughout by an approved automatic sprinkler system, which utilizes quick response sprinklers throughout. The resulting fire flow shall not be less than 600 gpm (2270 L/min).



Attachment B
ISO Calculations

(Exhibit on Next Page)

ISO Needed Fire Flow (NFF) Worksheet

(Page references are to the appropriate sections in the ISO Guide for Determination of Needed Fire Flow)

Petition Number:		Date:	6/14/2022
Project:	Gateway Crossings Lot 3 - Sonic	Engineer:	GAL
		Checked By:	CAP
Location:	NW Centurion Blvd. Lake City, FL		

Subject Building

Construction Class (p. 4): Wood Frame Construction **construction coefficient (F) (p. 2):** 1.5

Area of largest floor in the building (if modifications are made for division walls (p. 8), the division walls must be shown on the site plan.): 1227 sq.ft.

Total area of all other floors (if modifications are made for division walls (p. 8), the division walls must be shown on the site plan.): sq. ft.

Effective Area (A_i) (p. 9) : 1,227 sq. ft. (Show calculations below)

Needed Fire Flow attributed to construction (C_i) (per formula (p. 2)): 945.771114

(Round to the nearest 250 gpm. See p. 10 for maximum and minimum values of C_i)

Type of Occupancy: Combustible (C-3) **Occupancy Factor (O_i) (p. 11):** 1

Exposures (p. 16)

Front: construction of facing wall of exposure building (p. 4):

Distance (ft.) to the exposure building:	Length of exposure wall:
Number of stories of exposure wall:	Length x number of stories: 0
Opening Protection in exposure wall:	
Factor for exposure (X_i) from Table 330.A (p. 17):	0

Back: construction of facing wall of exposure building (p. 4):

Distance (ft.) to the exposure building:	Length of exposure wall:
Number of stories of exposure wall:	Length x number of stories: 0
Opening Protection in exposure wall:	
Factor for exposure (X_i) from Table 330.A (p. 17):	0

Left: construction of facing wall of exposure building (p. 4):

Distance (ft.) to the exposure building:	Length of exposure wall:
Number of stories of exposure wall:	Length x number of stories: 0
Opening Protection in exposure wall:	
Factor for exposure (X_i) from Table 330.A (p. 17):	0

Right: construction of facing wall of exposure building (p. 4):

Distance (ft.) to the exposure building:	Length of exposure wall:
Number of stories of exposure wall:	Length x number of stories: 0
Opening Protection in exposure wall:	
Factor for exposure (X_i) from Table 330.A (p. 17):	0

Communications (p. 18)

Passageway Opening Protection:
 Construction class of communication (Table 330.B):
 Is communication open or enclosed?
 Length of communication (in feet):
 Factor for Communications (P_i) from Table 330.B on p.19):

Calculation of Needed Fire Flow (p. 1)

NFF=(C_i)(O_i)[1.0+(X+P)_i] (substitute values as determined above. For exposures and communications use the single side with the highest charge.)

$$NFF= 1000 \times 1 \times [1 + (0 + 0)$$

$$NFF= 1000 \text{ gpm}$$

$$NFF= 1000 \text{ gpm (rounded to nearest 250 gpm per ISO requirements)}$$

Note: ISO evaluates hydrant distribution by examining the number and type of hydrants within 1,000 feet of each representative building. They also look at the distance from each such hydrant to the subject building, measured as apparatus can lay hose.

Hydrants with at least one large pumper outlet may receive credit for up to 1,000 gpm. Hydrants with at least two hose outlets, but no pumper outlet, may receive credit for up to 750 gpm. And hydrants with only one hose outlet may receive credit for up to 500 gpm.

Hydrants within 300 feet of the subject building may receive credit for up to 1,000 gpm (but not more than the credit that would apply based on the number and type of outlets). Hydrants from 301 feet to 600 feet from the subject building may receive credit for up to 670 gpm (but not more than the credit that would apply based on the number and type of outlets). And hydrants from 601 feet to 1,000 feet from the subject building receive credit for 250 gpm. Under certain circumstances, when all fire department pumpers carry sufficient large-diameter hose, ISO may allow maximum credit for hydrants up to 1,000 feet from the subject building.

More than one fire hydrant may be required for proper distribution of water per ISO requirements.



Attachment C

City of Lake City Fire Flow Test Results

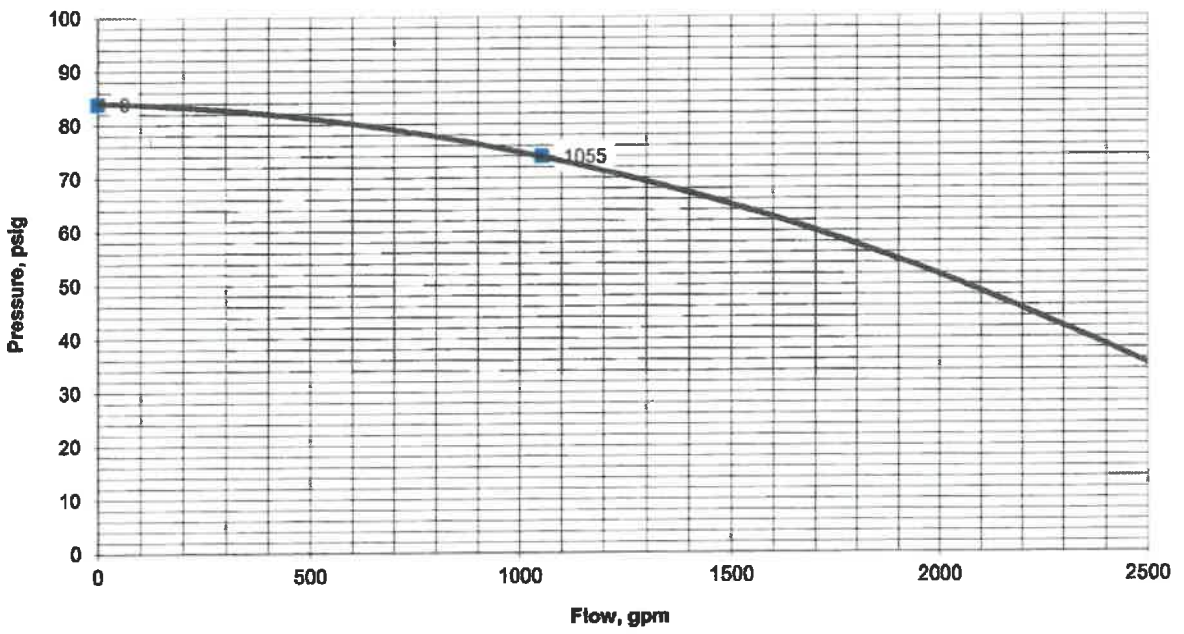
(Exhibit on Next Page)

City of Lake City Water flow report

HYDRANT # & LOCATION: 1st hydrant north of Denny's on NW Centurion Drive DATE: 6/14/2022
 TEST BY: Al/Lavonte Day: Tuesday Time: 9-10 Minutes: 2
 WATER SUPPLIED BY: Municipal
 PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<u>2.5</u>	<u>2.5</u>	<u>2.5</u>
COEFFICIENT:	<u>0.8</u>	<u> </u>	<u> </u>
PITOT READING:	<u>50</u>	<u> </u>	<u> </u>
GPM:	<u>1055</u>	<u>0</u>	<u>0</u>
TOTAL FLOW DURING TEST:	<u>1055</u> GPM		
STATIC READING:	<u>84</u> PSI	RESIDUAL:	<u>74</u> PSI
RESULTS: AT 20 PSI RESIDUAL	<u>2874</u> GPM	AT 0 PSI	<u>3328</u> GPM
ESTIMATED CONSUMPTION:	<u>2109</u> GAL.		
REMARKS:			

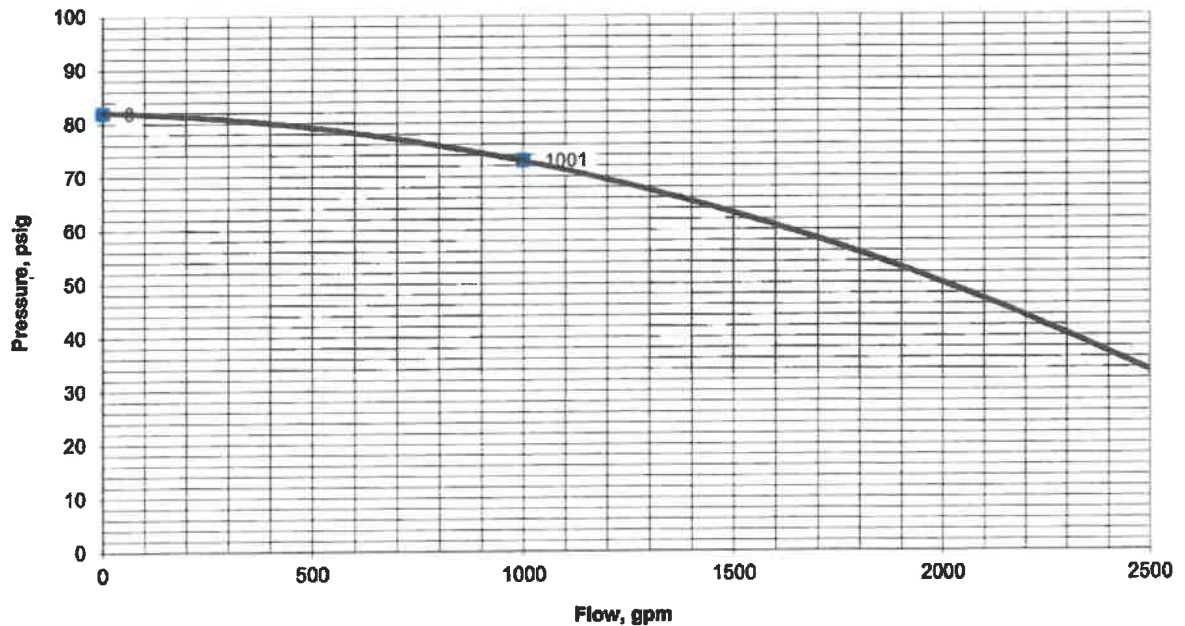


City of Lake City Water flow report

HYDRANT # & LOCATION: 2nd hydrant north of Denny's on NW Centurion Driv DATE: 6/14/2022
 TEST BY: AI/Lavonte Day: Tuesday Time: 9:10 Minutes: 2
 WATER SUPPLIED BY: Municipal
 PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<u>2.5</u>	<u>2.5</u>	<u>2.5</u>
COEFFICIENT:	<u>0.8</u>	<u> </u>	<u> </u>
PITOT READING:	<u>45</u>	<u> </u>	<u> </u>
GPM:	<u>1001</u>	<u>0</u>	<u>0</u>
TOTAL FLOW DURING TEST:	<u>1001</u> GPM		
STATIC READING:	<u>82</u> PSI	RESIDUAL:	<u>73</u> PSI
RESULTS: AT 20 PSI RESIDUAL	<u>2837</u> GPM		AT 0 PSI <u>3299</u> GPM
ESTIMATED CONSUMPTION:	<u>2001</u> GAL.		
REMARKS:			





Civil Engineering | Land Planning
Surveying | Construction Services

Gainesville | St. Augustine
3530 NW 43rd Street
Gainesville, FL 32606

Suwannee River Water Management District
9225 CR 45
Live Oak, FL 32060

June 6, 2022

Subject: Sonic Drive-In restaurant

The Sonic Drive-In restaurant project is located on parcel number 35-3S-16-02524-103 located on NW Centurion Ct, approximately 600 feet north of the intersection of NW Centurion Ct and US HWY 90. The project proposes a new 1,227 SF restaurant building with associated parking and utilities.

The project site is part of a larger development which was previously permitted with Suwannee River Water Management District (SRWMD) under the project name Gateway Crossing and permit number 226410-1.

The proposed site will direct water to inlet structures in the parking lot, which will direct runoff to the master stormwater facility. The permit allows for 75% impervious on lots 1-4 and 7-10. Please see the attached post development exhibit of the current master development.

The Sonic Restaurant project proposes 31,216 SF or 59.22% of impervious area on the 1.21+/- Ac. Site located on Lot 3. We are requesting a letter of conformance with permit number 226410-1.

Sincerely,

Christopher A. Potts, P.E.
Director of Civil Engineering, JBPro



LEGAL DESCRIPTION (35-3S-16-02524-103)

LOT 3 GATEWAY CROSSING S/D A REPLAT OF LOTS 2 & 3. NKA LOT 3 A REPLAT OF LOTS 2,3 & 11 OF GATEWAY CROSSING IN PLAT BK 9 PGS 176 & 177.

This Instrument Was Prepared By,
Record and Return to:

John Hotte, Esquire
Krinzman, Huss & Lubetsky
110 SE 6th Street, 20th Floor
Fort Lauderdale, FL 33301
Telephone: (954) 761-3454

Property Appraiser
Identification No.:
Consideration:\$ _____

Inst:201612000647 Date:1/14/2016 Time:10:37 AM
Doc: Stamp-Deed:19775.00
DC,P.DeWitt Cason,Columbia County Page 1 of 4 B:1307 P:1888

SPECIAL WARRANTY DEED

THIS SPECIAL WARRANTY DEED made this 12th day of January, 2016, by **Inn of Lake City, Inc.**, a Florida corporation ("Grantor"), whose mailing address is 1000 Red Fern Place, Flowood, MS 39232 in favor of **GWC Development Partners, LLC**, a Florida limited liability company ("Grantee"), whose mailing address is 2682 West Noegel Road, Lake City, FL 32055.

WITNESSETH:

That Grantor, for and in consideration of the sum of TEN DOLLARS (\$10.00) and other good and valuable consideration paid by Grantee, the receipt and sufficiency whereof are hereby acknowledged, does hereby grant, bargain, sell, alien, remise, release, convey and confirm unto Grantee the real property (the "Property") located in Columbia County, Florida, and more particularly described in Exhibit "A" attached hereto and made a part hereof.

SUBJECT ONLY TO the matters set forth in Exhibit "B" attached hereto and made a part hereof.

TOGETHER with all the tenements, hereditaments and appurtenances belonging or in any way appertaining to the Property, including, without limitation, all of Grantor's right, title and interest, if any, in and to all of the easements, rights, and privileges belonging or in any way appertaining to the Property and/or improvements located thereon.

TO HAVE AND TO HOLD the same in fee simple forever.

AND GRANTOR hereby covenants with Grantee that Grantor is lawfully seized of the Property in fee simple; that Grantor has good right and lawful authority to sell and convey the Property; that, subject to the matters described on Exhibit "B" attached hereto, Grantor does hereby warrant specially the title to the Property; and that Grantor and its successors and assigns will forever warrant and defend the same against the lawful claims of all persons claiming by, through or under Grantor, but against none other.

IN WITNESS WHEREOF, Grantor has caused this Special Warranty Deed to be executed by its duly authorized representative on the day and year first above written.

Two Witnesses:

Inn of Lake City, Inc., a Florida corporation

Debra D. Hardwick
Printed Name: Debra D. Hardwick

By: Michael J. Hart
Michael J. Hart, Vice President, Treasurer
and Assistant Secretary

John M. Stephens IV
Printed Name: John M. Stephens IV

STATE OF Mississippi
COUNTY OF Hinds

The foregoing instrument was acknowledged before me this 12 day of January, 2016, by Michael J. Hart, as Vice President, Treasurer and Assistant Secretary of Inn of Lake City, Inc., a Florida corporation, on behalf of the corporation. He is personally known to me.

Suzanna Baker
Notary Public, State of Mississippi
Print Name: Suzanna Baker
Commission No.: 83877
My Commission Expires: January 21, 2019
[Affix Notary Seal]



Signature Page of Special Warranty Deed

EXHIBIT "A"

Real Property Description

COMMENCE at the Northwest corner of Section 35, Township 3 South, Range 16 East, Columbia County, Florida as established by B.G. Moore, PLS No. 439 and run thence S 06°22'00" W, along the West line of said Section 35, 1894.50 feet to the West Limited Access Right of Way of Interstate No. 75, thence run Southerly and Westerly along said West Limited Access Right of Way the following courses. S 24°54'32" E, 472.32 feet to the POINT OF BEGINNING, S 24°54'32" E, 940.25 feet; S 15°12'50" E, 512.06 feet; S 06°01'43" E, 335.81 feet; S 36°55'36" W, 54.60 feet to the Northerly Right of Way of West U.S. Highway 90 and the end of said courses; thence S 80°47'35" W, along said Northerly Right of Way, 371.77 feet; thence S 08°51'10" E, along said Northerly Right of Way, 22.18 feet; thence S 80°47'36" W, along said Northerly Right of Way, 73.15 feet; thence N 08°55'17" W, 150.09 feet; thence S 80°42'55" W, 150.25 feet; thence N 08°52'22" W, 60.12 feet; thence S 80°53'59" W, 79.99 feet; thence S 08°59'18" E, 210.15 feet to the aforesaid Northerly Right of Way; thence S 80°47'36" W, along said Northerly Right of Way, 26.39 feet to a point of a curve; thence run Westerly along the arc of said curve concave to the North having a radius of 3224.04 feet, a central angle of 05°24'20", a chord bearing and distance of S 83°26'26" W 304.06 feet, an arc distance of 304.18 feet to the aforesaid West line of Section 35; thence N 06°22'00" E, along said West line, 1784.01 feet; thence N 65°09'42" E, 286.69 feet to the POINT OF BEGINNING.

LESS AND EXCEPT the parcel described in O.R. Book 1284, Page 229, of the Official Records of Columbia County, Florida

EXHIBIT "B"

Exceptions

1. Taxes and assessments for the year 2016 and subsequent years, which are not yet due and payable.
2. Any land use, zoning and building laws and ordinances.
3. Any declaration of covenants, conditions and restrictions, or other recorded restrictions.
4. Any right, title, interest, claim, violation, variation, encumbrance, encroachment, fact, matters or other adverse circumstance affecting title revealed, or that should have been revealed, by that certain ALTA/ACSM survey of the Property by JBrown Professional Group Inc. dated October 16, 2015, as revised (Proj. No. 366-15-01).
5. Any obligations, rights and other matters related to, and any agreements with and requirements of the State of Florida or other governmental agency regarding, the remediation of certain environmental issues on the Property by or on behalf of the State of Florida or a political subdivision thereof under a state-funded cleanup program(s).
6. Rights-of-way, utility easements, other easements, restrictions and other restrictive and/or use covenants filed of record and other matters which are revealed by a title search or title commitments, including the following:
 - a. Easement(s) in favor of Mississippi Management, Inc. set forth in instrument(s) recorded in Official Records Book 634, Page 338.
 - b. Easement(s) in favor of Shell Oil Company set forth in instrument(s) recorded in Official Records Book 674, Page 104.
 - c. Easement(s) in favor of American Telephone and Telegraph Company set forth in instrument(s) recorded in Official Records Book 723, Page 162.
 - d. Easement(s) in favor of The City of Lake City, Florida set forth in instrument(s) recorded in Official Records Book 776, Page 1724.
 - e. Easement contained in Deed recorded in Official Records Book 685, Page 38.
 - f. Easement recorded in Official Records Book 960, Page 1492.
 - g. Easement recorded in Official Records 104, Page 118, and in Official Records Book 361, Page 499.
 - h. Easement for ingress and egress recorded in Official Records Book 370, Page 337.
 - i. Easement(s) in favor of Florida Power and Light Company set forth in instrument(s) recorded in Official Records Book 361, Page 499.
 - j. Easement(s) in favor of The City of Lake City, Florida set forth in instrument(s) recorded in Official Records Book 559, Page 229.

Columbia County Tax Collector

generated on 5/31/2022 3:59:36 PM EDT

Tax Record

Last Update: 5/31/2022 3:58:20 PM EDT



Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02524-103	REAL ESTATE	2021			
Mailing Address GWC DEVELOPMENT PARTNERS LLC 2682 NW NOEGEL RD LAKE CITY FL 32055		Property Address GEO Number 353S16-02524-103			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
<u>Legal Description (click for full description)</u>					
35-3S-16 1000/1000.82 Acres LOT 3 GATEWAY CROSSING S/D A REPLAT OF LOTS 2 & 3.					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	412,274	0	\$412,274	\$3,221.92
CITY OF LAKE CITY	4.9000	412,274	0	\$412,274	\$2,020.14
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	412,274	0	\$412,274	\$308.38
LOCAL	3.6430	412,274	0	\$412,274	\$1,501.91
CAPITAL OUTLAY	1.5000	412,274	0	\$412,274	\$618.41
SUWANNEE RIVER WATER MGT DIST	0.3615	412,274	0	\$412,274	\$149.04
LAKE SHORE HOSPITAL AUTHORITY	0.0000	412,274	0	\$412,274	\$0.00
Total Millage		18.9675	Total Taxes		\$7,819.80
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$50.40
Total Assessments					\$50.40
Taxes & Assessments					\$7,870.20
If Paid By				Amount Due	
				\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
12/29/2021	PAYMENT	1200971.0005	2021	\$7,634.09

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Project Summary

Project Name: Sonic- Centurion Loop

Project Number: SPR22-14

Parcel Number: 02524-103

Project Notes

- Project type: Site Plan Review
- Future land use is: Commercial
- Zoning designation is: Commercial Highway Interchange
- Proposed use of the property: New construction of Sonic
- Land is conducive for use: Yes, per the LDR section 4.15.2.3
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR22-14 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has not concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 06/15/2025

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR22-14

Project Name: Sonic (Centurion Loop)

Project Address: NW Centurion Ct, Lake City FL

Project Parcel Number: 35-3S-16-02524-103

Owner Name: Parker Neely

Owner: Address: 2682 NW Noegel Rd

Owner Contact Information: telephone number 704-577-2475 e-mail Dneely@highcotton-cep.com

Owner Agent Name: Chris Potts, PE

Owner Agent Address: 3530 NW 43rd St Gainesville FL

Owner Agent Contact Information: telephone 352-375-8999 e-mail chris.potts@jbpro.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: N/A

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Zoning is consistent with the LDR

Zoning is consistent with the LDR

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Will need to apply for a business license

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No concerns at this time

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: No concerns at this time

No concerns at this time

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: _____

Comments: N/A

Sewer Department: Approved Disapproved Reviewed by: _____

Comments: N/A

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: Need BTU totals

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: _____
If they do not use the taps in place they will be required to make new ones and
cut and cap sewer and dig to water main and shut off before construction.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: A tap application would be required to access city utilities. The tap fees, impact fees and utility deposits
will be calculated upon approval of the tap application. City utilities border the property; locates must be obtained to
ensure that the utility infrastructure is not damaged or obstructed. An appliance list with the btu loads are required for natural gas.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: No concerns at this time

Fire Department: Approve Disapprove Reviewed by: Assistant Chief Boozer

Comments: Key access box and lightweight truss placard needed

Police Department: Approve Disapprove Reviewed by: Assistant Chief Andy

Comments: No concerns at this time.

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

File Attachments for Item:

iii. Site Plan Review - SPR-22-16 - Parker Neely (Agent: Chris Potts, P.E.) Rib Crib



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee \$200.00
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: Rib Crib Restaurant
2. Address of Subject Property: NW CENTURION CT, LAKE CITY, FL, 32055
3. Parcel ID Number(s): 35-3S-16-02524-008
4. Future Land Use Map Designation: COMMERCIAL
5. Zoning Designation: COMMERCIAL HIGHWAY INTERCHANGE
6. Acreage: 1.06
7. Existing Use of Property: VACANT
8. Proposed use of Property: COMMERICAL RESTAURANT
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 3,428
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Chris Potts, PE Title: Director of Civil Engineering
 Company name (if applicable): JBPro
 Mailing Address: 3530 NW 43rd ST
 City: Gainesville State: FL Zip: 32606
 Telephone: (352) 375-8999 Fax: () Email: chris.potts@jbpro.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 - Property Owner Name (title holder): Parker Neely
 - Mailing Address: 2682 NW NOEGEL ROAD
 - City: LAKE CITY State: FL Zip: 32055
 - Telephone: (704) 577-2475 Fax: () Email: DNEELY@HIGHCOTTON-CEP.COM

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Christopher Potts

Applicant/Agent Name (Type or Print)

[Signature]

Applicant/Agent Signature

6/30/22

Date

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Alachua

The foregoing instrument was acknowledged before me this 30th day of June, 2022, by (name of person acknowledging) Christopher Potts.

(NOTARY SEAL or STAMP)



Jennifer Newbegin
Notary Public
State of Florida
Comm# HH075654
Expires 12/29/2024

Jennifer Newbegin

Signature of Notary

Jennifer Newbegin

Printed Name of Notary

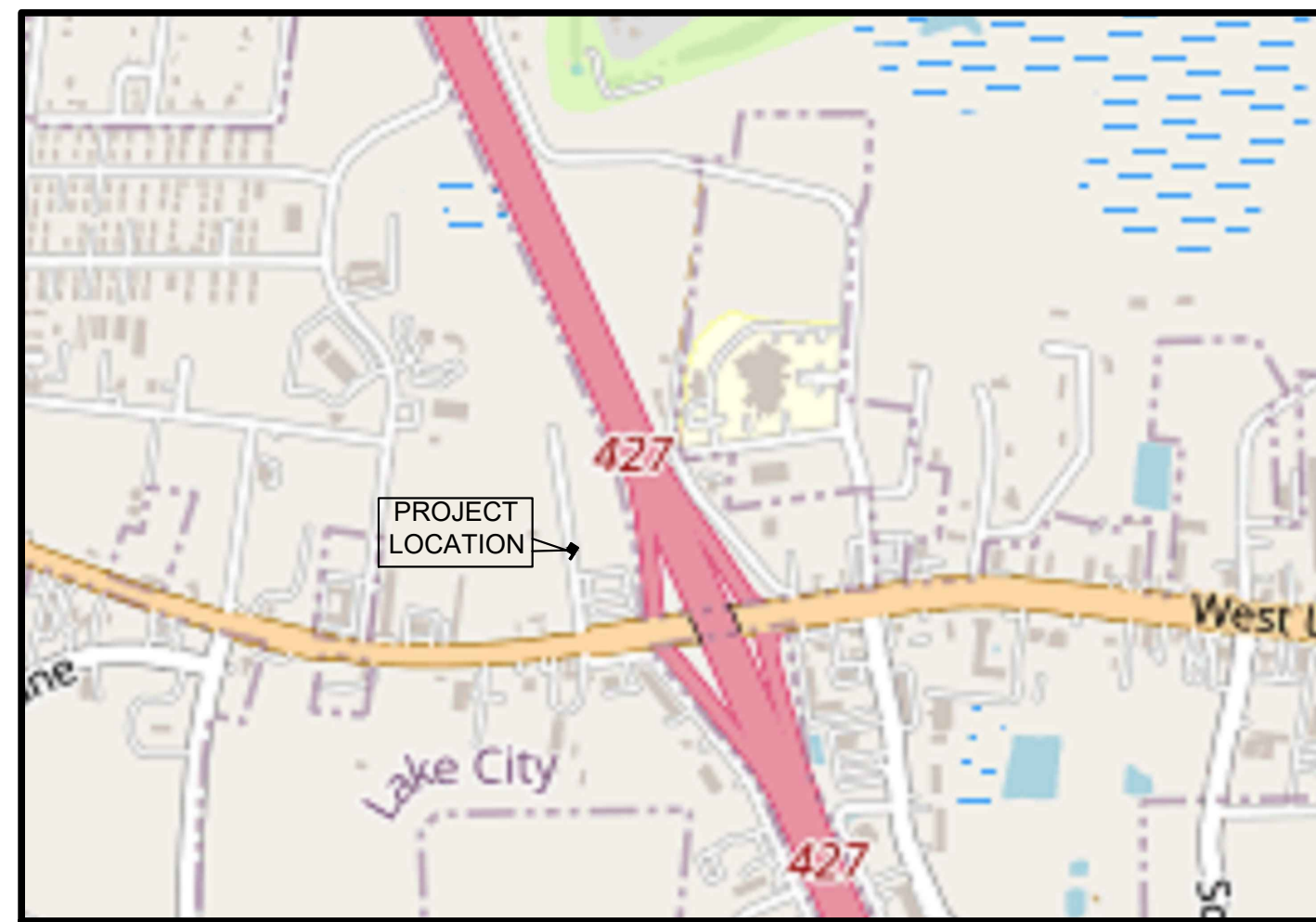
Personally Known OR Produced Identification _____
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

GENERAL DEVELOPMENT NOTES

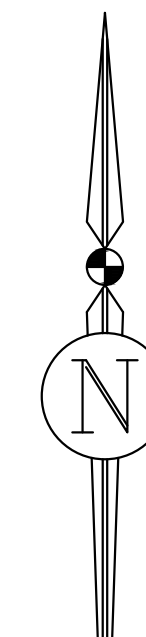
1. PROPOSED NAME OF PROJECT: RIB CRIB BBQ
2. PROJECT DESCRIPTION: RESTAURANT
3. OWNER: PARKER NEELY
4. DEVELOPER: CENTURY EQUITY PARTNERS; 2682 NW NOEGEL ROAD, LAKE CITY, FL 32055
5. CIVIL ENGINEER: JBROWN PROFESSIONAL GROUP INC.; CONTACT: CHRIS POTTS, P.E. (352) 375-8999,
E-MAIL: CHRIS.POTTS@JBPRO.COM
6. SURVEYOR: JBROWN PROFESSIONAL GROUP INC.; CONTACT: TROY WRIGHT, PSM (352) 375-8999
7. VICINITY MAP: SEE MAP THIS SHEET
8. TAX PARCEL NO'S.: 35-3S-16-02524-008
9. PARCEL AREA: 1.06 ACRES IN SIZE
10. PROJECT AREA: 1.06 ACRES
11. SECTION: 35
12. TOWNSHIP: 3S
13. RANGE: 16
14. FUTURE LAND USE: COMMERCIAL HIGHWAY INTERCHANGE (CHI)
15. ZONING: COMMERCIAL HIGHWAY INTERCHANGE (CHI)
16. FLOODPLAIN: THIS PROJECT IS NOT LOCATED IN A FEDERAL FLOOD ZONE.
17. DEVELOPMENT DATA:
 - A. TOTAL SITE AREA: 46,174 SF
 - B. BUILDING AREA: 3,428 SF
 - C. PAVEMENT & SIDEWALK AREA: 27,405 SF
 - D. TOTAL IMPERVIOUS AREA: 30873 SF
 - E. OPEN AREA: 15331 SF
18. PARKING REQUIREMENTS:
 - A. 1 SPACE/EA 3 SEATS OF SEATING AREA
 - B. PROPOSED SEATING: 106 SEATS
 - C. PARKING REQUIRED: 36 SPACES
 - D. PARKING PROVIDED: 42 SPACES
19. REQUIRED SETBACKS:
 - A. PER CHI ZONING CATEGORY, THE MINIMUM YARD REQUIREMENTS PER LAKE CITY LDR'S SECTION 4.15.7 ARE AS FOLLOWS:
 1. FRONT YARD = 30 FT
 2. SIDE YARD = 30 FT
 3. REAR YARD = 30 FT
 - B. ALL BUILDINGS ARE SETBACK GREATER THAN 30 FT FROM FRONT, SIDE, AND REAR PROPERTY LINES
 - C. FRONT YARD SHALL INCLUDE MINIMUM 15 FT LANDSCAPED AREA.

CONSTRUCTION PLANS OF GATEWAY CROSSING LOT 8 RIBCRIB BBQ FOR HIGH COTTON EQUITIES, LLC



LOCATION MAP

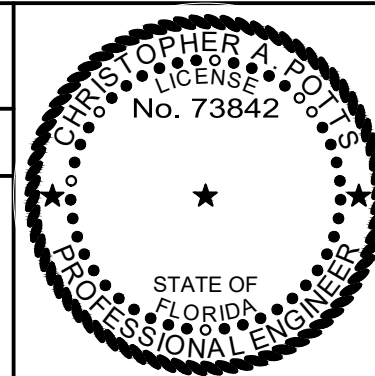
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GATEWAY CROSSING LOT 8 RIB CRIB RESTAURANT	
SHEET INDEX	
SHEET NO.	TITLE
C0.0	COVER SHEET
C0.1	LEGEND, ABBREVIATIONS, AND NOTES
C1.0	DEMOLITION PLAN
C1.1	EROSION CONTROL PLAN
C2.0	DIMENSION PLAN
C3.0	PAVING GRADING & DRAINAGE PLAN
C4.0	UTILITY PLAN
C5.0	DETAILS AND NOTES
SI	ALTA/NSPS LAND SURVEY

REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

ENGINEER OF RECORD: CHRISTOPHER A. POTTS, P.E.
FLORIDA LICENSE NO. 73842



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SHEET TITLE: COVER SHEET	DATE: JUNE 2022
CLIENT: HIGH COTTON EQUITIES, LLC	PROJECT NO: 366-22-03
PROJECT: RIB CRIB RESTAURANT LAKE CITY, FLORIDA	SHEET NO: C0.0

GENERAL CONSTRUCTION NOTES

- CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES WITHIN THE WORK LIMITS OF ALL IMPROVEMENTS. THE CONTRACTOR IS ALSO RESPONSIBLE FOR PROTECTING ALL EXISTING UTILITIES DURING CONSTRUCTION. IN THE EVENT THAT A UTILITY CONFLICT OCCURS, CONTRACTOR SHALL NOTIFY THE ENGINEER AND UTILITY PROVIDER TO COORDINATE REMEDIAL ACTION.
- WHERE SUBSOIL EXCAVATION IS REQUIRED, THE LIMITS OF EXCAVATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE CITY OF LAKE CITY OR THE GEOTECHNICAL ENGINEER.
- CONTRACTOR SHALL DISPOSE OF SUBSOIL EXCAVATED MATERIALS (UNSUITABLE FOR FILL) OFF SITE TO A PERMITTED LOCATION OR PER AN APPROVED DISPOSAL PLAN AND LOCATION SITE.
- CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL FOREIGN DEBRIS AND MATERIAL OFFSITE. DISPOSAL METHODS AND LOCATION SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REGULATIONS AND REQUIREMENTS.
- THE CONTRACTOR SHALL FURNISH/INSTALL ALL STREET SIGNS AND SHALL BE RESPONSIBLE FOR THE INSTALLATION OF ALL REQUIRED STRIPING, STOP BARS, ETC.
- ALL PAVEMENT CUT/REPAIR WILL BE MADE THE FULL ROAD WIDTH AT LEAST 6 FT WIDE AND REQUIRES APPROVAL FOR CUT AND INSPECTION OF THE REPAIR BY THE CITY OF LIVE OAK.
- DRIVEWAYS SHALL BE CONFIGURED TO ENSURE NO PORTION OF CURB INLET FALLS WITHIN DRIVEWAY AND/OR DRIVEWAY TAPER.
- DRIVEWAYS SHALL BE DESIGNED IN ACCORDANCE WITH THE MOST RECENT FDOT INDEX AND CITY STANDARDS. DRIVEWAYS WILL MEET SETBACK REQUIREMENTS FROM INTERSECTIONS (SOFT) AND UTILITY INFRASTRUCTURE (5 FT MIN.). DRIVEWAYS WITH SIDEWALK CROSSING SHALL MEET CURRENT ADA STANDARDS FOR THE LENGTH OF THE SIDEWALK CROSSING.
- CONCRETE SIDEWALK CROSSING SHALL BE A MINIMUM OF 4 INCHES THICK AND HAVE A 3,000 PSI COMPRESSIVE STRENGTH.
- ALL PROPOSED SIDEWALK SEGMENTS NOT ADJACENT TO LOT DRIVEWAYS WILL BE CONSTRUCTED PRIOR TO CITY OF LIVE OAK ACCEPTANCE OF SITE IMPROVEMENTS OR BONDED IN-LIEU OF CONSTRUCTION IN A FORM ACCEPTABLE TO THE CITY OF LIVE OAK.
- EXISTING TOPOGRAPHY INFORMATION DEPICTED IS BASED ON THE PROJECT TOPOGRAPHIC SURVEY CONDUCTED BY JBPRO ON 12/08/2021. THE CONTRACTOR SHALL VERIFY ALL EXISTING ELEVATION GRADES AND NOTIFY THE ENGINEER OF ANY DISCREPANCIES THAT WILL AFFECT FINISH GRADE DESIGN FOR PROPER RUNOFF CONDITIONS PRIOR TO CONSTRUCTION. JBPRO WILL ASSIST THE CONTRACTOR IN REVISING ANY GRADING DISCREPANCIES PRIOR TO CONSTRUCTION TO ASSURE PROPER GRADING AND RUNOFF CONDITIONS RESULT UPON COMPLETION OF CONSTRUCTION.
- ALL STRUCTURES SHALL ADHERE TO THE 2020 FLORIDA BUILDING CODE(S), THE 2020 NATIONAL ELECTRIC CODE AND THE 2020 FLORIDA FIRE PREVENTION CODE, AS AMENDED.

PAVING, GRADING AND DRAINAGE SPECIFICATIONS

- ALL DRAINAGE CONSTRUCTION, INCLUDING MATERIALS, CONSTRUCTION TECHNIQUES, AND TECHNICAL STANDARDS, SHALL BE IN ACCORDANCE WITH THE FDOT FY 2020-21 STANDARD PLANS.
- ALL AREAS OF NEW CONSTRUCTION SHALL BE CLEANED AND GRUBBED. TOP SOIL REMAINING ONSITE MAY BE STOCKPILED FOR FINE GRADING IN LANDSCAPED AREAS, IF SUITABLE. THE CONTRACTOR SHALL FURNISH ALL FILL REQUIRED AND DISPOSE OF ALL EXCESS OR UNSUITABLE MATERIAL OFFSITE IN ACCORDANCE WITH ALL REGULATORY REQUIREMENTS. TREES TO REMAIN SHALL BE PROTECTED PRIOR TO STARTING CONSTRUCTION AND SHALL BE PROTECTED THROUGHOUT SITE CONSTRUCTION.
- ALL PROPOSED UNDERGROUND UTILITY INSTALLATIONS WITHIN THE LIMITS OF ROADWAY SUBGRADE, INCLUDING STORMWATER, POTABLE WATER, WASTEWATER, GAS, ELECTRICAL CONDUIT, AND SLEEVES FOR FUTURE UTILITIES, SHALL BE INSTALLED PRIOR TO STABILIZATION OF THE ROADWAY SUBGRADE.
- ALL NEW ASPHALT PAVEMENT CONSTRUCTION SHALL CONFORM TO THE FOLLOWING SPECIFICATIONS:
 - EARTHWORK: FILL MATERIALS SHALL CONFORM TO AASHTO SOIL GROUPS A-1, A-2, A-3, OR A-4 AND SHALL BE PLACED IN 6" - 12" LOOSE LIFTS AND COMPACTED TO 95% DENSITY USING MODIFIED PROCTOR METHOD (AASHTO T-180).
 - SUBSOIL EXCAVATION: THE LIMITS OF SUBSOIL EXCAVATION SHALL BE IN ACCORDANCE WITH THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT. EXACT LOCATIONS OF SUBSOIL EXCAVATION SHALL BE AS DIRECTED BY THE CITY OF LIVE OAK OR THE GEOTECHNICAL ENGINEER.
 - STABILIZED SUBGRADE: ALL STABILIZED MATERIAL SHALL CONFORM TO SECTION 914 AND PLACED ACCORDING TO SECTION 160 IN ONE 12" MINIMUM COMPACTED LIFT. SUBGRADE SHALL BE STABILIZED TO A MINIMUM LBR VALUE OF 40 PER DESIGN SECTION.
 - BASE COURSE: ALL MATERIAL SHALL BE LIMEROCK CONFORMING TO SECTION 911 AND PLACED ACCORDING TO SECTION 200 IN A SINGLE OR TWO EQUAL COMPACTED LIFTS (PER DESIGN SECTION). BASE MATERIAL SHALL BE COMPACTED TO 98% DENSITY BY MODIFIED PROCTOR METHOD (AASHTO T-180). THE PRIME COAT SHALL CONFORM TO SECTION 300.
 - ASPHALTIC CONCRETE: ALL ASPHALTIC CONCRETE MATERIAL SHALL BE TYPE SP STRUCTURAL COURSE (TYPE & THICKNESS PER DESIGN SECTION) AND SHALL CONFORM TO SECTION 334. ALL ASPHALTIC CONCRETE CONSTRUCTION SHALL CONFORM TO SECTION 330.
- ALL CONCRETE USED FOR CONSTRUCTION OF DRAINAGE STRUCTURES, SIDEWALKS, SPILLWAYS, CURBING, ETC. SHALL BE CLASS 1 CONFORMING TO SECTION 347.
- CONCRETE SIDEWALKS AND DRIVEWAYS SHALL BE CONSTRUCTED IN ACCORDANCE WITH SECTION 522.
- CONCRETE CURB AND GUTTER SHALL BE CONSTRUCTED IN CONFORMANCE TO SECTION 520.
- REINFORCED CONCRETE PIPE (RCP) SHALL CONFORM TO SECTION 449-4.
- HIGH DENSITY POLY ETHYLENE (HDPE) SHALL CONFORM TO SECTION 431-2.3 AND 431-3.3.
- ALL SLOPES OF 4:1 OR GREATER SHALL BE SODDED.

NPDES EROSION AND SEDIMENTATION CONTROL PERMITTING NOTES

- THE CONTRACTOR IS REQUIRED TO FILE THE FLORIDA DEPT. OF ENVIRONMENTAL PROTECTION (FDEP) NOTICE OF INTENT (NOI) TO USE GENERIC PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES (CGP) (RULE 62-621.300(4), F.A.C.). CONSTRUCTION ACTIVITY SHALL NOT COMMENCE PRIOR TO OBTAINING AN ACKNOWLEDGEMENT LETTER FROM FDEP VERIFYING THE NOI IS COMPLETE, THE PROJECT IS COVERED BY THE GENERIC PERMIT, AND THE PROJECT IDENTIFICATION NO. IS ESTABLISHED. CONTRACTOR SHALL PROVIDE THE EOR AND PROPERTY OWNER WITH A COPY OF THE FDEP ACKNOWLEDGEMENT LETTER VERIFYING COVERAGE.
- THE CONTRACTOR SHALL ABIDE BY THE REQUIREMENTS OF THE STORMWATER POLLUTION PREVENTION PLAN (SWPPP) AND CSP AT ALL TIMES THROUGHOUT CONSTRUCTION, AND UTILIZE ALL APPROPRIATE BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFFSITE DURING CONSTRUCTION.
- SEDIMENTATION AND EROSION CONTROL BMP'S SHALL BE IN ACCORDANCE WITH THE STATE OF FLORIDA EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL, DATED JULY 2013, OR LATEST UPDATE. THE CONTRACTOR IS RESPONSIBLE TO UTILIZE ALL BMP'S, AS NECESSARY THROUGHOUT CONSTRUCTION, AND MAY UTILIZE MULTIPLE BMP'S OR OTHER MEANS AND METHODS DEEMED APPROPRIATE TO CONTROL EROSION AND SEDIMENTATION DISCHARGE.
- THE CONTRACTOR SHALL UTILIZE A STATE OF FLORIDA CERTIFIED EROSION & SEDIMENTATION CONTROL (ESC) INSPECTOR DURING CONSTRUCTION TO ABIDE BY THE TERMS OF THE NOI PERMIT COVERAGE. AT A MINIMUM THE CERTIFIED INSPECTOR SHALL INSPECT ALL DISCHARGE POINTS, DISTURBED AREAS, MATERIAL STORAGE AREAS, STRUCTURAL CONTROLS AND CONSTRUCTION ENTRANCES/EXITS AT LEAST ONCE EVERY SEVEN (7) DAYS AND AFTER EVERY 1/2 INCH OR GREATER STORM EVENT. MAJOR OBSERVATIONS AND INCIDENTS OF NON-COMPLIANCE SHOULD BE RECORDED IN THE INSPECTION REPORT, AS WELL AS CORRECTIVE ACTIONS AND MAINTENANCE. UNLESS ADVISED OTHERWISE, MAINTENANCE MUST OCCUR WITHIN SEVEN (7) CALENDAR DAYS OF THE INSPECTION. THESE INSPECTIONS MUST BE DOCUMENTED AND SIGNED BY A QUALIFIED INSPECTOR AS DEFINED BY THE COP. THE REPORT SHALL CONTAIN A CERTIFICATION THAT THE FACILITY IS IN COMPLIANCE WITH THE SWPPP AND THE COP WHEN THE REPORTS DO NOT IDENTIFY ANY INCIDENTS OF NON-COMPLIANCE.
- UPON SATISFACTORY COMPLETION OF THE PROJECT CONSTRUCTION AND SITE STABILIZATION, THE CONTRACTOR SHALL FILE THE NPDES STORMWATER NOTICE OF TERMINATION (NOT) (RULE 62-621.300(6), F.A.C.) WITH FDEP. THE PERMIT COVERAGE IS DEEMED COMPLETE WHEN ALL SOIL DISTURBING CONSTRUCTION ACTIVITIES ARE COMPLETE AND STABILIZATION OF ALL DISTURBED OPEN AREAS HAVE REACHED AT LEAST 70% VEGETATIVE COVER OR OTHER PERMANENT STABILIZATION IS IN PLACE. A COPY OF THE NOT SHALL BE PROVIDED TO THE EOR AND PROPERTY OWNER.

GEOTECHNICAL TESTING GENERAL NOTE

- THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROVIDING GEOTECHNICAL TESTING FOR EACH SPECIFIED DESIGN COURSE, SUBGRADE, BASE COURSE, AND PAVEMENT. TESTING REQUIREMENTS SHALL BE PERFORMED IN ACCORDANCE WITH THE CITY OF LIVE OAK PUBLIC SERVICES CONSTRUCTION AND INSPECTION STANDARDS AND FDOT CONSTRUCTION AND INSPECTION STANDARDS. TESTING RESULTS SHALL BE PROVIDED TO THE OWNER AND THE ENGINEER FOR REVIEW AND APPROVAL OF CONFORMANCE TO DESIGN SPECIFICATIONS PRIOR TO CONSTRUCTION OF THE SUBSEQUENT COURSE.
- TESTING REPORTS WITH GEOTECHNICAL TESTING RESULTS SHALL DENOTE THE TESTING LOCATIONS.

REQUIRED SUBMITTALS

- PRIOR TO CONSTRUCTION INSTALLATION OF SPECIFIC WORK SCOPE ITEMS THE CONTRACTOR SHALL SUBMIT SHOP DRAWINGS AND SUBMITTAL INFORMATION TO THE EOR FOR REVIEW AND APPROVAL. THESE SUBMITTALS SHALL INCLUDE SOURCE PROVIDER, MANUFACTURER LITERATURE, CUT SHEETS, DIMENSIONED DRAWINGS, FABRICATION DRAWINGS, SKETCHES, DETAILS AND ANY OTHER INFORMATION NECESSARY FOR THE EOR TO REVIEW AND APPROVE AS TO COMPLIANCE WITH THE DESIGN DRAWINGS AND SPECIFICATIONS.
- MATERIALS SHALL NOT BE DELIVERED ONSITE OR INSTALLED UNTIL SUBMITTAL APPROVAL IS PROVIDED BY THE EOR OR EOR'S REPRESENTATIVE.
- CONTRACTOR IS RESPONSIBLE FOR ANY COST INCURRED TO REVISE ANY WORK COMPLETED PRIOR TO SUBMITTAL APPROVAL. THE OWNER OR EOR ARE NOT RESPONSIBLE FOR COSTS INCURRED IF ANY MATERIALS ARE PURCHASED, DELIVERED OR INSTALLED PRIOR TO SUBMITTAL REVIEW AND APPROVAL.
- THE CONTRACTOR SHALL PROVIDE A LIST OF SUB-CONTRACTORS THAT WILL BE PERFORMING ANY PHASES OF WORK ON THE PROJECT. THE LIST SHALL INCLUDE NAME OF COMPANY, ADDRESS, PHONE NUMBERS, AND EMAIL ADDRESSES OF INDIVIDUALS RESPONSIBLE FOR THE SUB-CONSULTANT WORK EFFORT AND THE CONTACT INFORMATION FOR THE INDIVIDUALS IN RESPONSIBLE CHARGE OF PERFORMING THE WORK IN THE FIELD.

WORK WITHIN THE CITY RIGHT-OF-WAY

- THE METHOD AND MANNER OF PERFORMING THE WORK AND THE QUALITIES OF MATERIAL FOR CONSTRUCTION WITHIN THE RIGHT-OF-WAY SHALL CONFORM TO THE REQUIREMENTS SPECIFIED BY CITY OF LAKE CITY FOR WORK WITHIN THEIR RESPECTIVE RIGHT-OF-WAYS.
- TRAFFIC CONTROL WITHIN EXISTING R/W SHALL BE IN ACCORDANCE WITH LATEST MUTCD OR FDOT STANDARDS FOR CONTROL OF TRAFFIC THROUGH WORK ZONES.
- NO WORK SHALL BE DONE NOR MATERIALS USED IN THE RIGHT-OF-WAY WITHOUT INSPECTION BY THE CITY. THE CONTRACTOR SHALL FURNISH THE CITY WITH EVERY REASONABLE FACILITY FOR ASCERTAINING WHETHER THE WORK PERFORMED AND MATERIALS USED ARE IN ACCORDANCE WITH THE REQUIREMENTS AND INTENT OF THE PLANS AND SPECIFICATIONS.
- CITY OF LAKE CITY RESERVES THE RIGHT TO MODIFY THE PROPOSED WORK WITHIN THEIR RIGHT-OF-WAY TO ENSURE COMPATIBILITY WITH EXISTING IMPROVEMENTS. SUCH MODIFICATION COSTS SHALL BE BORN BY THE CONTRACTOR.
- ALL DISTURBED AREAS WITHIN THE RIGHT-OF-WAY SHALL BE SEEDED UNLESS SODDING IS OTHERWISE SPECIFIED. SODDING IS REQUIRED ON ALL SLOPES 4:1 OR STEEPER.
- ALL WORK WITHIN OR ON CITY OF LAKECITY OWNED AND MAINTAINED FACILITIES, ROW OR EASEMENTS WILL REQUIRE AS-BUILT PLANS. AS-BUILT PLANS SHOULD SHOW THE CONSTRUCTED CONDITIONS OF THE CITY OWNED OR MAINTAINED AREA AND SHALL BE PER FDOT STANDARDS AND PROCEDURES AND BE PERFORMED BY A FLORIDA LICENSED PROFESSIONAL SURVEYOR AND MAPPER.
- INSTALLATION OR CONSTRUCTION OF MAILBOXES, PRIVATE IRRIGATION PIPING, OR PRIVATE UTILITY CHASES, ETC. IN PUBLIC RIGHT OF WAYS UNDER CITY OWNERSHIP SHALL REQUIRE A RIGHT OF WAY USE PERMIT PRIOR TO BEGINNING.

STANDARD ABBREVIATIONS

ACPW	ALACHUA COUNTY PUBLIC WORKS	LP	LOW POINT
ADJ	ADJACENT	LT	LEFT
ALUM	ALUMINUM	MAINT	MAINTENANCE
APT	APARTMENT	MAX	MAXIMUM
ASPH	ASPHALT	MES	MITERED END SECTION
B&J	BORE & JACK	MH	MANHOLE
BC	BACK OF CURB	MIN	MINIMUM
BCCMP	BITUMINOUS COATED CORRUGATED METAL PIPE	MO	MONTH
BLDG	BUILDING	N	NORTH
BM	BENCHMARK	N/A	NOT APPLICABLE
BOP	BEGINNING OF PROFILE	NE	NORTH EAST
BSL	BUILDING SETBACK LINE	NG	NATURAL GRADE
C&G	CURB & GUTTER	NIC	NOT IN CONTRACT
CI	CURVE ONE	NO	NUMBER
CATV	CABLE TELEVISION	NTS	NOT TO SCALE
CET	CURB END TAPER	NW	NORTH WEST
CF	CUBIC FEET	OC	ON CENTER
CI	CAST IRON	PCPE	PERFORATED CORRUGATED POLYETHYLENE PIPE
CIP	CAST-IN-PLACE	PE	POLYETHYLENE PIPE
CL	CENTER LINE	POB	POINT OF BEGINNING
CLF	CHAIN LINK FENCE	POE	POINT OF ENDING
CMP	CORRUGATED METAL PIPE	PL	PROPERTY LINE
CMPA	CORRUGATED METAL PIPE ARCHED	PRVT	PRIVATE
CMU	CONCRETE MASONRY UNIT	PRI	PRIMARY
CO	CLEAN OUT	PSI	POUNDS PER SQUARE INCH
COLO	CITY OF LIVE OAK	PT	PRESSURE TREATED (NON ARSENIC)
COMM	COMMUNICATIONS	PUD	PLANNED URBAN DEVELOPMENT
CONC	CONCRETE	PVI	POINT OF VERTICAL INTERSECTION
CPE	CORRUGATED POLYETHYLENE PIPE	PVC	POLYVINYL CHLORIDE
CY	CUBIC YARD	PVMT	PAVEMENT
DBI	DITCH BOTTOM INLET	P&P	PLAN & PROFILE
DCBP	DOUBLE CHECK BACKFLOW PREVENTER	R/W	RIGHT OF WAY
DEG	DEGREES	R1'	ONE FOOT RADIUS
DHWL	DESIGN HIGH WATER LEVEL	RB	REACTION BLOCK
DI	DUCTILE IRON	RCP	REINFORCED CONCRETE PIPE
DIA	DIAMETER	REF	REFERENCE
DIM	DIMENSION	RPBFP	REDUCED PRESSURE BACKFLOW PREVENTER
DIP	DUCTILE IRON PIPE	REQ'D	REQUIRED
E	EAST	RT	RIGHT
E/M	EASEMENT	RW	RESILIENT WEDGE
ELEV	ELEVATION	S	SOUTH
ELEC	ELECTRIC	S/W	SIDEWALK
EP	END OF PROFILE	SE	SOUTH EAST
EOP	EDGE OF PAVEMENT	SEC	SECONDARY
ERCP	ELLIPTICAL REINFORCED CONCRETE PIPE	SF	SQUARE FEET
EX	EXISTING	SG	SWITCH GEAR
FC	FACE OF CURB	SI	SURFACE INLET
FDC	FIRE DEPARTMENT CONNECTION	SPA	SPACE
FDEP	FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION	SRWMD	SUWANNEE RIVER WATER MANAGEMENT DISTRICT
FDOT	FLORIDA DEPARTMENT OF TRANSPORTATION	SPT	STANDARD PENETRATION TEST
FF	FINISH FLOOR	SS	SANITARY SEWER
FG	FINISH GRADE	SSL	STAINLESS STEEL
FH	FIRE HYDRANT	ST	STORM
FL	FIRE LINE	ST.	STREET
FLL	FLOW LINE	STA	STATION
FM	FORCE MAIN	STD	STANDARD
FO	FIBER OPTIC	STL	STEEL
FP	FLOOD PLAIN	SW	SOUTH WEST
FT	FEET	SY	SQUARE YARD
FUT	FUTURE	TBC	TRAFFIC BEARING COVER
GALV	GALVANIZED	TBM	TEMPORARY BENCHMARK
GRU	GAINESVILLE REGIONAL UTILITIES	TEL	TELEPHONE
GV	GATE VALVE	TFMR	TRANSFORMER
HC	HANDICAP	TV	TELEVISION
HORIZ	HORIZONTAL	TW	TOP OF WALL
HP	HIGH POINT	TYP	TYPICAL
HR	HOUR	UD	UNDER DRAIN
INV	INVERT	UTIL	UTILITIES
IRR	IRRIGATION	VCP	VITRIFIED CLAY PIPE
LF	LINEAR FEET	VEH	VEHICLE
LI	LINE ONE	W	WEST
LAT	LATITUDE	W/	WITH
LBR	LIMEROCK BEARING RATIO	W/WW	WATER/WASTEWATER
LONG	LONGITUDE	WM	WATER MAIN
LTG	LIGHT	WS	WATER SERVICE
		WW	WASTEWATER
		YR	YEAR

LEGEND

	EXISTING STORM SEWER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING GAS SERVICE LINE
	EXISTING CATV & TELEPHONE LINE
	EXISTING UNDERGROUND ELECTRIC LINE
	EXISTING WATER MAIN
	EXISTING CONTOUR LINE
	EXISTING FENCE
	NATURAL GROUND SPOT ELEVATION
	EXISTING TREE TO REMAIN
	EXISTING TREE TO BE REMOVED
	PROPOSED ASPHALT PAVEMENT
	PROPOSED CONC PAVEMENT/SIDEWALK
	PROPOSED FINISH ELEVATION CONTOUR
	PROPOSED FINISH SPOT ELEVATION
	PROPOSED DIRECTIONAL FLOW ARROW
	DRAINAGE AREA DIVIDE
	PROPOSED SILT FENCE
	PROPOSED TREE BARRICADE FENCE
	PROPOSED CENTERLINE
	PROPOSED STORM SEWER LINE
	PROPOSED WATER MAIN
	PROPOSED PRIMARY ELECTRIC SERVICE CONDUIT
	PROPOSED SECONDARY ELECTRIC SERVICE CONDUIT
	PROPOSED GAS MAIN
	PROPOSED CATV & TELEPHONE SERVICE
	PROPOSED WASTEWATER
	PROPOSED SANITARY SEWER FORCE MAIN
	PROPOSED PUE
	PROPOSED DRAINAGE SWALE
	RIGHT-OF-WAY
	PROPOSED PVC SANITARY SEWER SERVICE LATERAL WITH CLEANOUT
	GRAVEL FILTER BAGS
	FILTER BAGS

REVISIONS				
NO.	DATE	DESCRIPTION	DRWN	APPR

ENGINEER OF RECORD: CHRISTOPHER A. POTTS, P.E. FLORIDA LICENSE NO. 73842

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SHEET TITLE: **LEGENDS, ABBREVIATIONS, AND NOTES**

CLIENT: HIGH COTTON EQUITIES, LLC

PROJECT: RIB CRIB RESTAURANT LAKE CITY, FLORIDA

DATE: JUNE 2022

PROJECT NO: 366-22-03

SHEET NO: **C0.1**

LOT 7
GATEWAY CROSSING
P.B. 9, PG. 114




COMMON AREA 1
GATEWAY CROSSING
P.B. 9, PG. 114

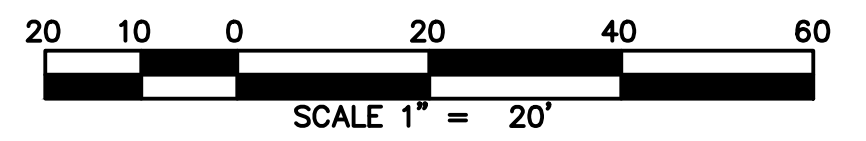
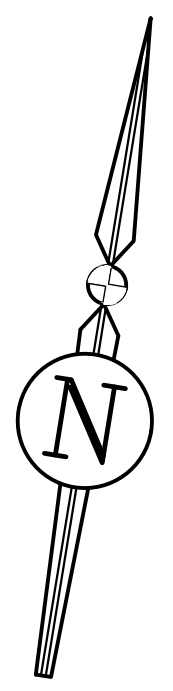
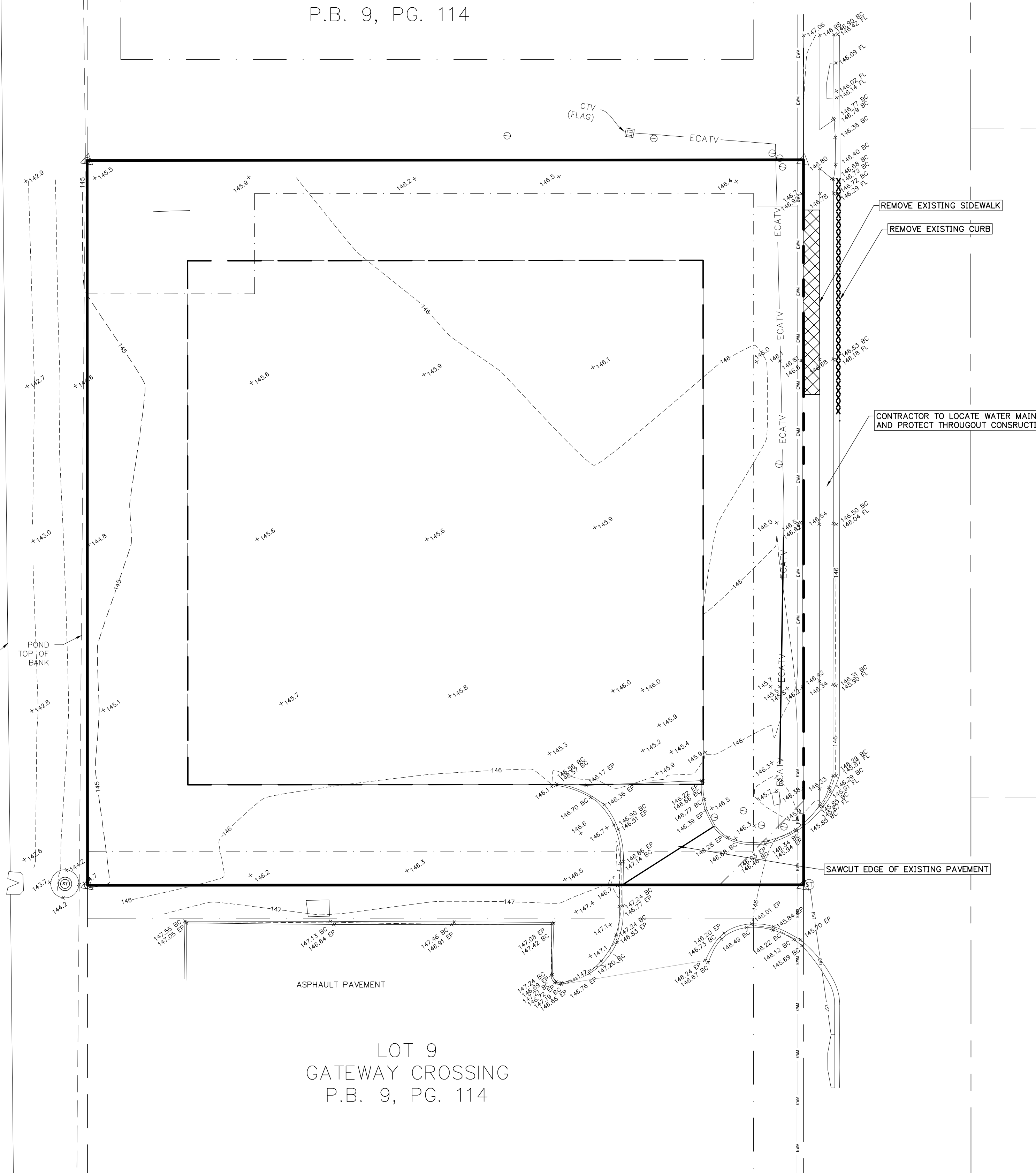
LOT 9
GATEWAY CROSSING
P.B. 9, PG. 114

GENERAL DEMOLITION NOTES

1. PRIOR TO DEMOLITION AND CONSTRUCTION, THE CONTRACTOR SHALL CONTACT THE APPROPRIATE UTILITY COMPANIES TO VERIFY THE LOCATION OF ALL ABOVE GROUND AND UNDERGROUND UTILITIES TO BE REMOVED OR RELOCATED.
2. CONTRACTOR IS RESPONSIBLE FOR ALL SITE DEMOLITION AND MATERIAL REMOVAL. IN ADDITION TO THE DEMOLITION SHOWN, THE CONTRACTOR SHALL REMOVE ALL MISCELLANEOUS TRASH, DEBRIS, FENCING ETC., IN ORDER TO PROVIDE A CLEAN CONSTRUCTION SITE.
3. CONTRACTOR IS RESPONSIBLE FOR DISPOSING OF ALL DEMOLITION MATERIAL OFF SITE. DISPOSAL METHODS AND LOCATIONS SHALL BE IN ACCORDANCE WITH ALL APPLICABLE LOCAL, STATE, AND FEDERAL REQUIREMENTS.
4. REMOVAL OF ALL CONSTRUCTION DEBRIS, LIMESTONE, EXCESS OF BUILDERS SAND, CONCRETE AND MORTAR DEBRIS, EXISTING WEEDS AND GRASSES, AND ALL FOREIGN MATERIALS IN THE PLANTING BED AND SOO AREAS IS THE RESPONSIBILITY OF THE SITE WORK CONTRACTOR. SOIL IN AREAS TO BE LANDSCAPED SHALL BE UNCOMPACTED, SUITABLE FOR ROOT GROWTH WITH APPROPRIATE AMOUNTS OF ORGANIC MATTER, AND OF PH RANGE OF 5.5 - 6.5.
5. ALL OFF SITE TREES SHALL REMAIN UNLESS OTHERWISE NOTED.
6. PRIOR TO CONSTRUCTION THE CONTRACTOR SHALL DESIGNATE A TEMPORARY CONSTRUCTION ENTRANCE AND STOCKPILE AREA.
7. EXISTING SIGNS SHALL BE REMOVED AND STORED DURING DEMOLITION SO THAT THEY CAN BE REINSTALLED DURING CONSTRUCTION.

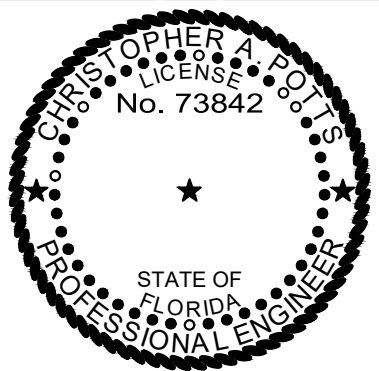
LEGEND

-  EXISTING HARDSCAPE TO BE REMOVED
-  EXISTING CURB TO BE REMOVED
-  SAWCUT EXISTING ASPHALT PAVEMENT



REVISIONS			DRWN	APPR
NO.	DATE	DESCRIPTION		

ENGINEER OF RECORD: CHRISTOPHER A. POTTS, P.E.
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SHEET TITLE:
DEMOLITION PLAN
CLIENT:
HIGH COTTON EQUITIES, LLC

PROJECT:
RIB CRIB RESTAURANT
LAKE CITY, FLORIDA

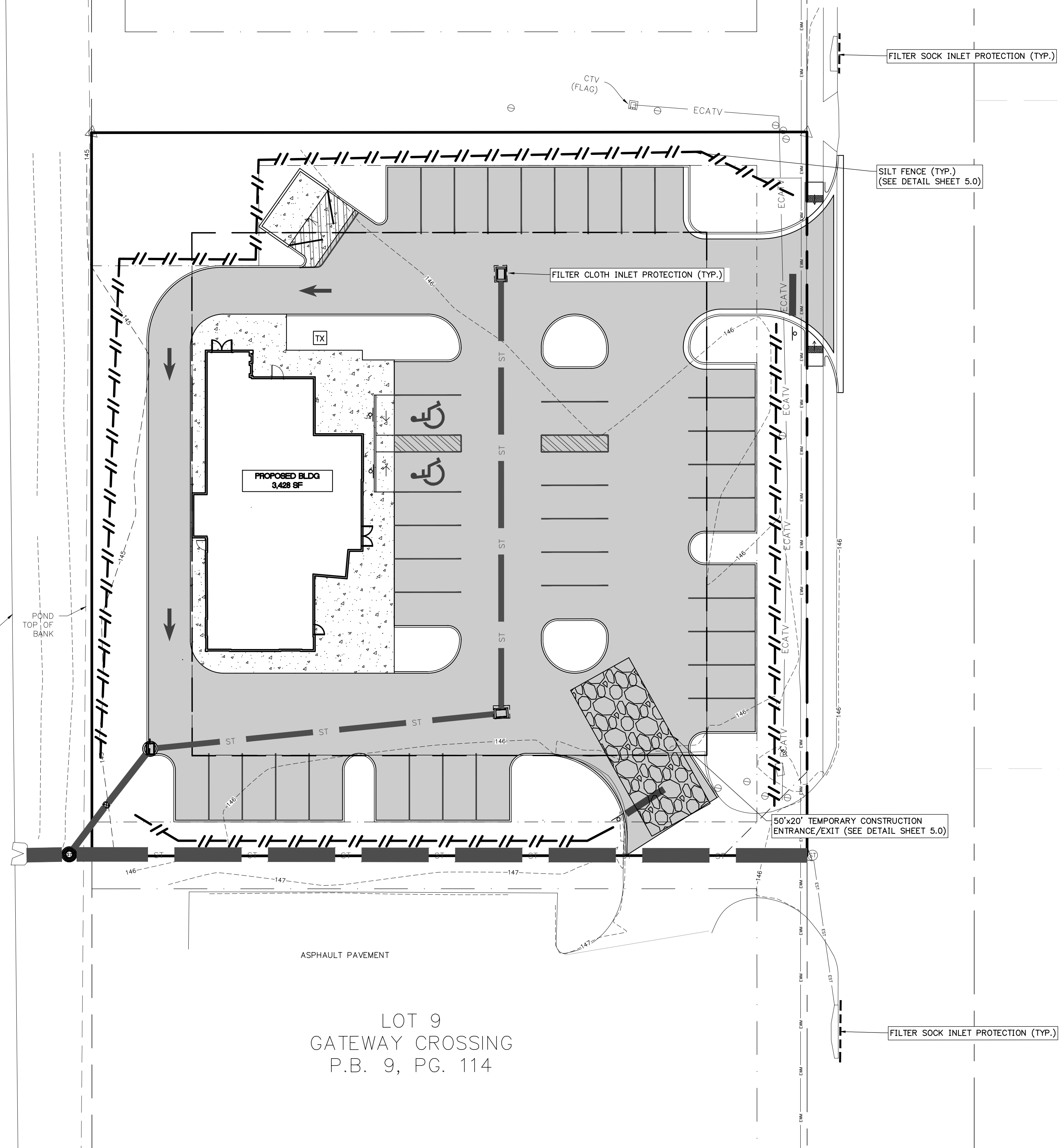
DATE:
JUNE 2022
PROJECT NO:
366-22-03
SHEET NO:
C1.0

J:\366-22-03 - Gateway Crossing Lot 8 - RibCrib - BEQ Production\CA\Streets\CID - Demolition Plan.dwg, 6/22/2022 10:21:25 AM, Admin

LOT 7
GATEWAY CROSSING
P.B. 9, PG. 114

COMMON AREA 1
GATEWAY CROSSING
P.B. 9, PG. 114

LOT 9
GATEWAY CROSSING
P.B. 9, PG. 114

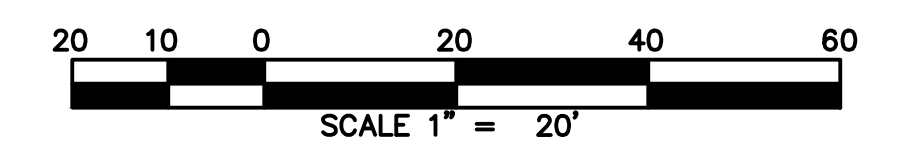
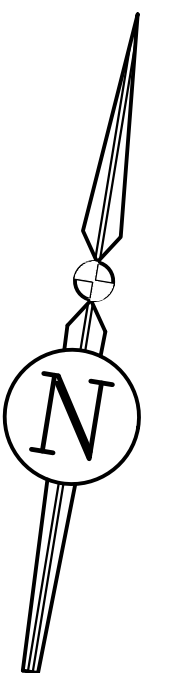


EROSION AND SEDIMENTATION CONTROL NOTES

1. THE CONTRACTOR SHALL UTILIZE THE EROSION AND SEDIMENTATION CONTROL PLAN AS A GENERAL GUIDE AND DIRECTION FOR MINIMUM CONTROL MEASURES. CONTRACTOR SHALL UTILIZE EROSION CONTROL BEST MANAGEMENT PRACTICES (BMP'S) AS REQUIRED TO MINIMIZE EROSION AND SEDIMENTATION BUILDUP ON-SITE AND TO PREVENT EROSION AND SEDIMENTATION DISCHARGE OFF PROPERTY.
2. CONTRACTOR SHALL EMPLOY AN FDEP CERTIFIED EROSION AND SEDIMENTATION CONTROL INSPECTOR TO MONITOR THE CONTRACTOR'S EROSION AND SEDIMENTATION CONTROL WORK EFFORT THROUGHOUT CONSTRUCTION.
3. DURING CONSTRUCTION, NO DIRECT DISCHARGE OF WATER TO DOWNSTREAM RECEIVING WATERS WILL BE ALLOWED. THE CONTRACTOR IS RESPONSIBLE FOR MAINTAINING WATER QUALITY, AND SHALL ROUTE DISCHARGE WATER IN SUCH A MANNER TO ADEQUATELY REMOVE SILT PRIOR TO RUNOFF FROM THE SITE.
4. SILT FENCING AND OTHER SEDIMENT CONTROL MEASURES SHALL BE CONSTRUCTED WHERE SHOWN ON THE DRAWINGS PRIOR TO STARTING CONSTRUCTION. ALL STORM DRAIN INLETS SHALL BE PROTECTED DURING CONSTRUCTION IN ACCORDANCE WITH FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007) TO PREVENT SEDIMENT DISCHARGE TO THE EXISTING STORMWATER MANAGEMENT SYSTEM.
5. THE RETENTION BASINS SHALL BE PROTECTED FROM SEDIMENT DISCHARGE BY SILT FENCE AT THE DISCHARGE STORM STRUCTURE. CAREFUL ATTENTION SHALL BE PAID TO PREVENT EROSION FROM ENTERING THE BASIN BOTTOM BEYOND THE IMMEDIATE EXIT OF THE STRUCTURE. REMOVE ALL SEDIMENT BUILDUP AT THE DISCHARGE STRUCTURE REGULARLY THROUGHOUT CONSTRUCTION.
6. PROTECT EXISTING STORMWATER INLET STRUCTURES WITH FILTER FABRIC OR OTHER EROSION CONTROL DEVICE TO PREVENT SEDIMENTS FROM ENTERING STORM SEWER SYSTEM.
7. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE INSPECTED AT LEAST ONCE PER WEEK AND AFTER 1/2" OR GREATER RAINFALL. ANY DEFICIENCIES DISCOVERED SHALL BE REPAIRED, ADJUSTED, OR IMPROVED AS REQUIRED.
8. ALL EROSION AND SEDIMENTATION CONTROL STRUCTURES SHALL BE MAINTAINED UNTIL CONSTRUCTION IS COMPLETE AND APPROVED, AND VEGETATION IS FULLY ESTABLISHED.
9. CONTRACTOR SHALL MINIMIZE AIR POLLUTION FROM PARTICULATES AND DUST. WATER SHALL BE APPLIED AS NEEDED TO REDUCE DUST DURING CONSTRUCTION. USE OTHER STABILIZATION METHODS SUCH AS HYDROMULCHING AS NEEDED.
10. CONTRACTOR SHALL STOCKPILE AND STORE MATERIALS SUCH THAT STORMWATER FLOW IS NOT IMPEDED DURING CONSTRUCTION AND MATERIAL EROSION DOES NOT OCCUR.
11. ALL DISTURBED OPEN AREAS WITHIN THE PROJECT CONSTRUCTION LIMITS SHALL BE COMPLETELY GRASSSED BY COMPLETION OF CONSTRUCTION. GRASS SEEDING RATES AND MIXTURES SHALL BE PER FDOT EROSION AND SEDIMENTATION CONTROL DESIGNER AND REVIEWER MANUAL (JULY 2013). EVIDENCE OF GROWTH MUST BE PRESENT PRIOR TO FINAL RELEASE.
12. THE STORM SEWER SYSTEM SHALL BE FLUSHED OUT TO REMOVE ALL ACCUMULATED DEBRIS AND SEDIMENT UPON COMPLETION OF CONSTRUCTION.

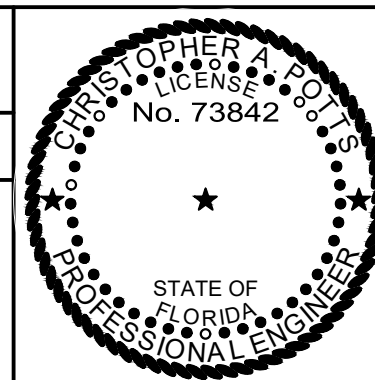
LEGEND

- //— SILT-FENCE BARRIERS PER FDOT EROSION AND SEDIMENT CONTROL DESIGNER AND REVIEWER MANUAL (JUNE 2007)
- FILTER CLOTH INLET PROTECTION
- — — — — FILTER SOCK INLET PROTECTION



REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/ APPR

ENGINEER OF RECORD: **CHRISTOPHER A. POTTS, P.E.**
FLORIDA LICENSE NO. 73842



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Gainesville: (352) 375-8999 | St. Augustine: (904) 789-8999
Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: **EROSION AND SEDIMENTATION CONTROL PLAN**
CLIENT: **HIGH COTTON EQUITIES, LLC**
PROJECT: **RIB CRIB RESTAURANT
LAKE CITY, FLORIDA**



DATE: **JUNE 2022**
PROJECT NO.: **366-22-03**
SHEET NO.: **C1.1**

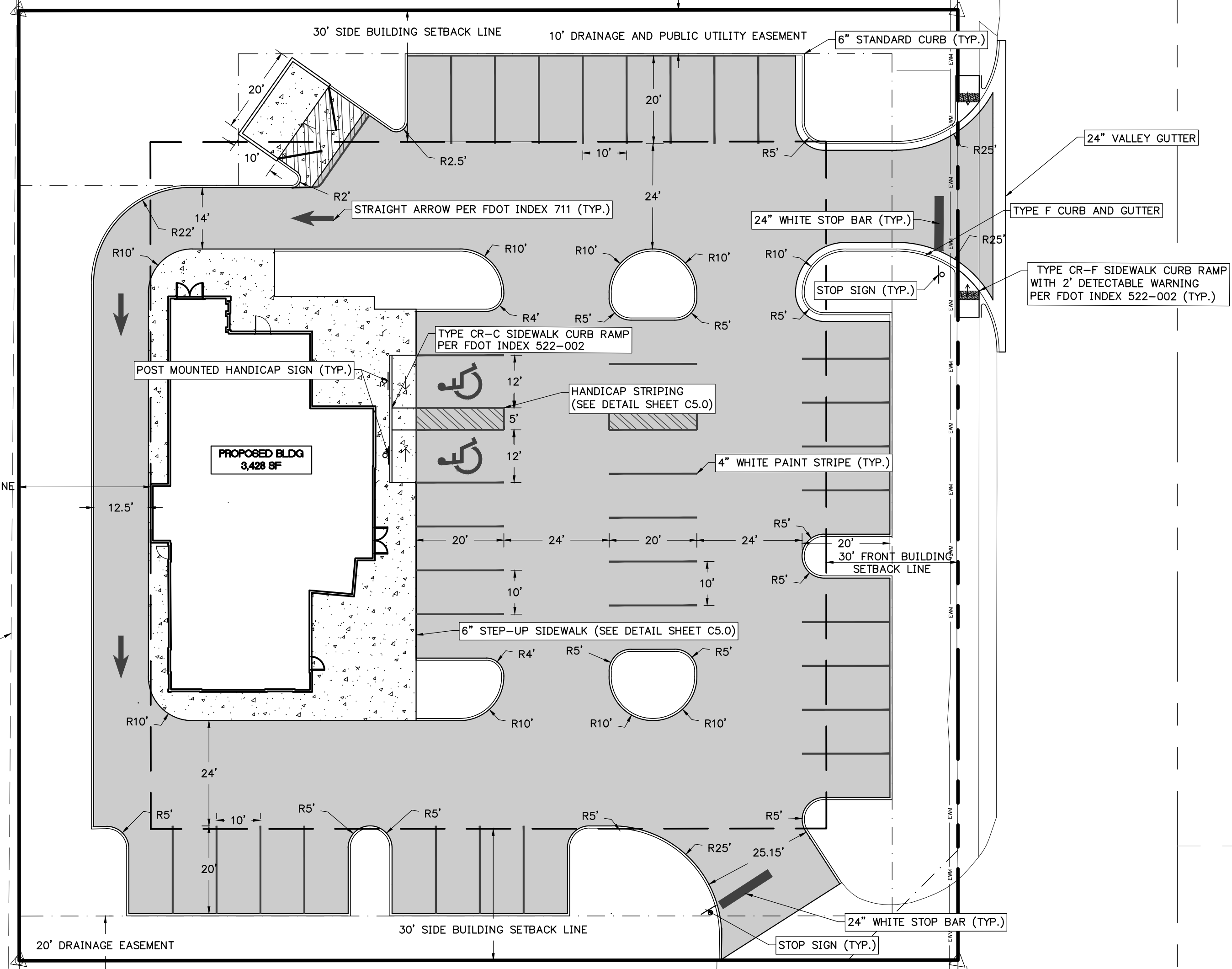
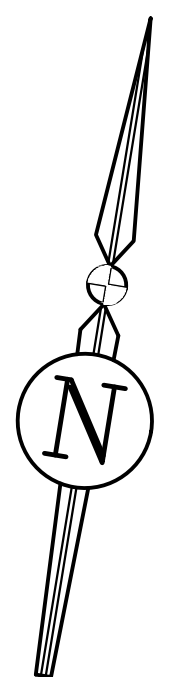
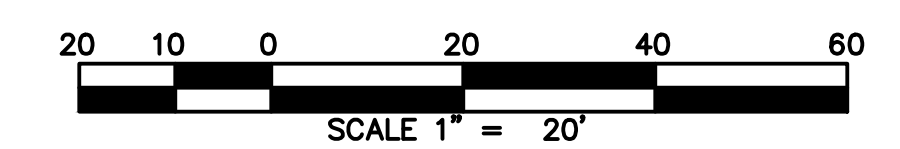
J:\366-22-03 - Gateway Crossing Lot 8 - RIBCRIB - BEQ Production C:\A\Sheets\C1.1 - Erosion Control Print.dwg, 6/27/2022, 10:21:31 AM, Admin

DIMENSION NOTES

1. CONTRACTOR SHALL FAMILIARIZE THEMSELVES WITH THE PROJECT SURVEY AND DESIGN DRAWINGS, AND SHALL VERIFY EXISTING SITE CONDITIONS. ANY APPARENT DISCREPANCIES OR ADDITIONAL PERTINENT INFORMATION SHALL BE BROUGHT TO THE PROJECT ENGINEER'S ATTENTION IMMEDIATELY.
2. ALL DIMENSIONS AND RADII SHOWN ARE DIMENSIONED TO EDGE OF PAVEMENT OR FACE OF CURB, UNLESS OTHERWISE SPECIFIED.
3. ALL STRIPING SHALL CONFORM TO FDOT STANDARD INDEX 711-001.
4. TOTAL NUMBER OF PARKING SPACES = 42 (2 HANDICAP PARKING SPACES)

LEGEND

-  NEW ASPHALT PAVEMENT
-  NEW CONCRETE



STORMWATER RETENTION POND

POND TOP OF BANK
POND SLOPE

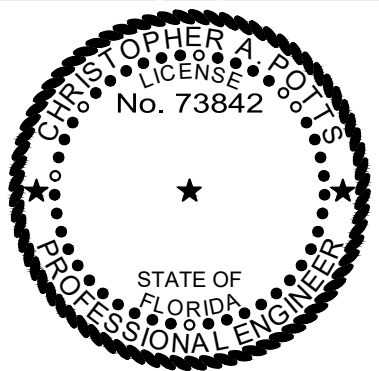
30' REAR BUILDING SET BACK LINE

POND SLOPE
POND TOP OF BANK

REVISIONS

NO.	DATE	DESCRIPTION	DRWN	APPR

ENGINEER OF RECORD: CHRISTOPHER A. POTTS, P.E.
FLORIDA LICENSE NO. 73842



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Toll Free: (844) Go-JBPro | E-mail: contact@jbpro.com

SHEET TITLE: HIGH COTTON EQUITIES, LLC
CLIENT: HIGH COTTON EQUITIES, LLC

DIMENSION PLAN
PROJECT: RIB CRIB RESTAURANT
LAKE CITY, FLORIDA

DATE: JUNE 2022
PROJECT NO: 366-22-03
SHEET NO: C2.0

J:\366-22-03 - Gateway Crossing Lot B - RibCrib - BEQ Production\CAK\Sheets\C2.0 - Dimension Plan.dwg, 6/27/2022 10:21:35 AM, Atrium

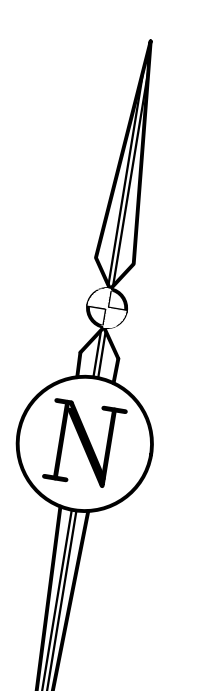
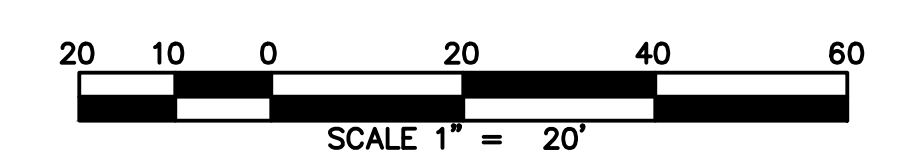
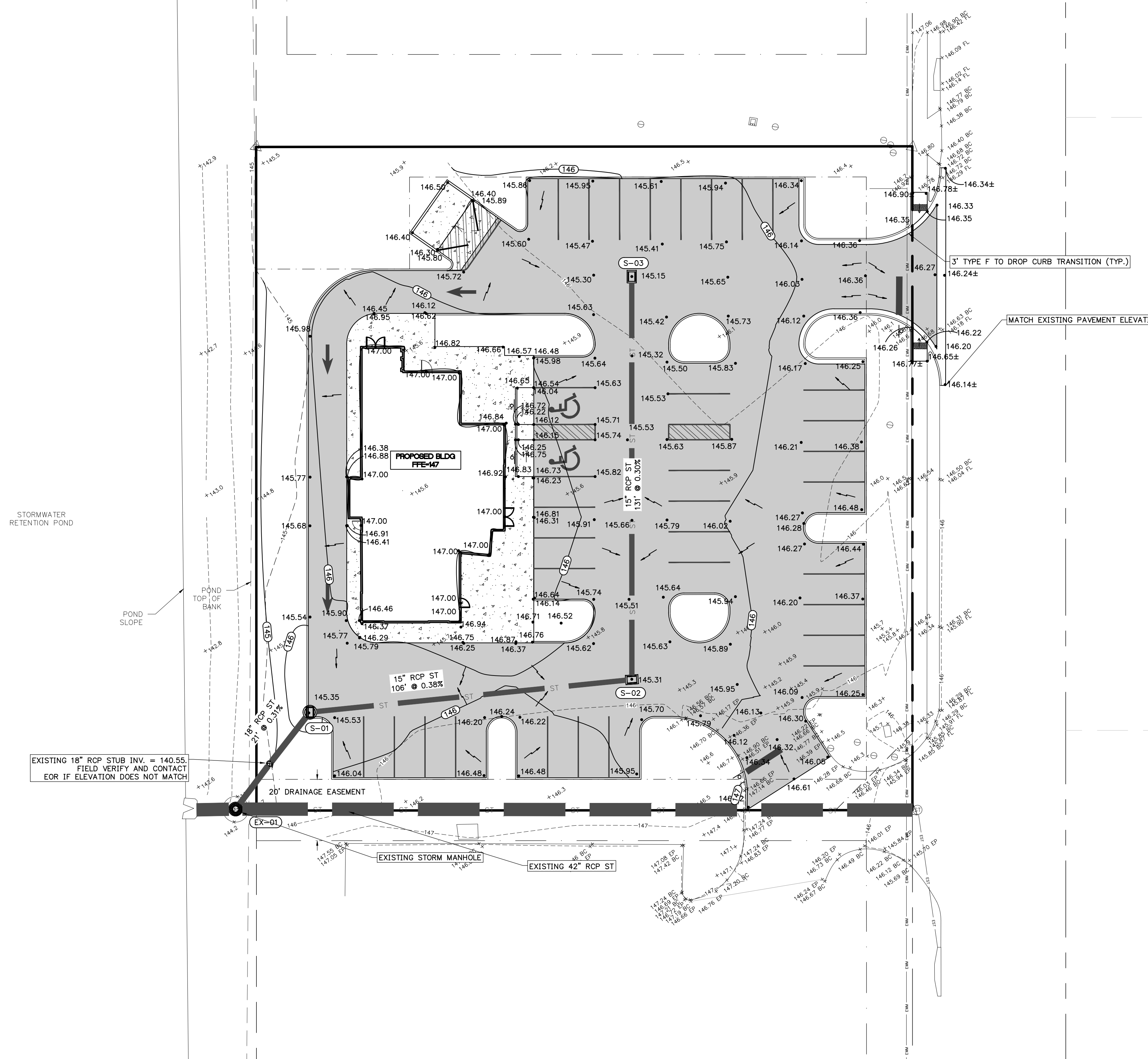
STORM STRUCTURE TABLE

EX-01
EXISTING STORM MANHOLE
RIM EL = 142.96
NE INV EL = 140.50 (18" EXISTING RCP)
W INV EL = 138.00 (42" EXISTING RCP)
E INV EL = 138.50 (42" EXISTING RCP)

S-01
INDEX NO. 425-024 TYPE 9 CURB INLET
PWT EL = 145.35
E INV EL = 140.72 (15" RCP)
SW INV EL = 140.62 (18" RCP)

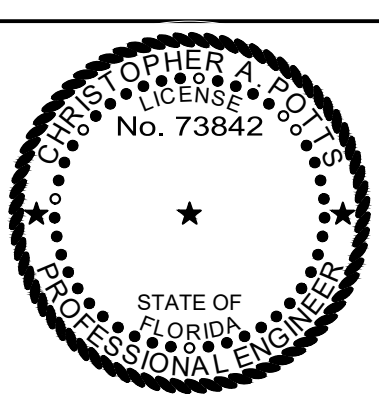
S-02
INDEX NO. 425-052 TYPE C INLET
GRATE EL = 145.32
W INV EL = 141.12 (15" RCP)
N INV EL = 141.22 (15" RCP)

S-03
INDEX NO. 425-052 TYPE C INLET
GRATE EL = 145.15
S INV EL = 141.62 (15" RCP)



REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/ APPR

ENGINEER OF RECORD:
CHRISTOPHER A. POTTS, P.E.
FLORIDA LICENSE NO. 73842



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SHEET TITLE:
PAVING, GRADING, AND DRAINAGE PLAN

CLIENT:
HIGH COTTON EQUITIES, LLC

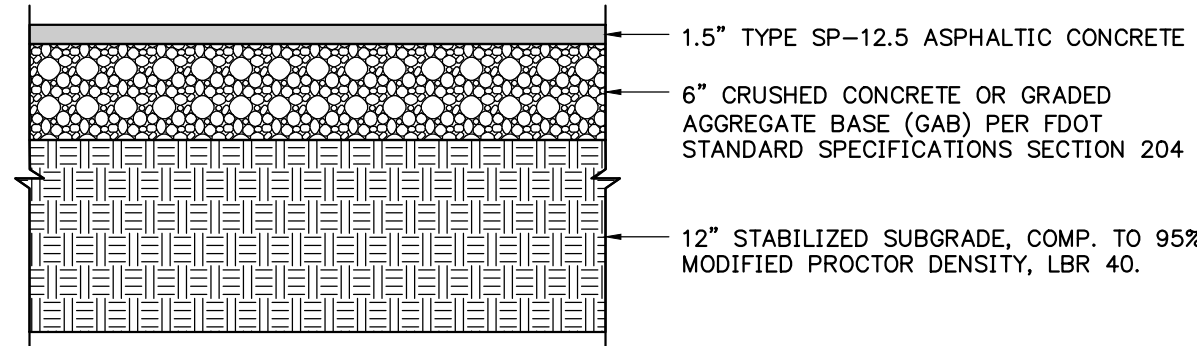
PROJECT:
RIB CRIB RESTAURANT
LAKE CITY, FLORIDA

DATE:
JUNE 2022

PROJECT NO:
366-22-03

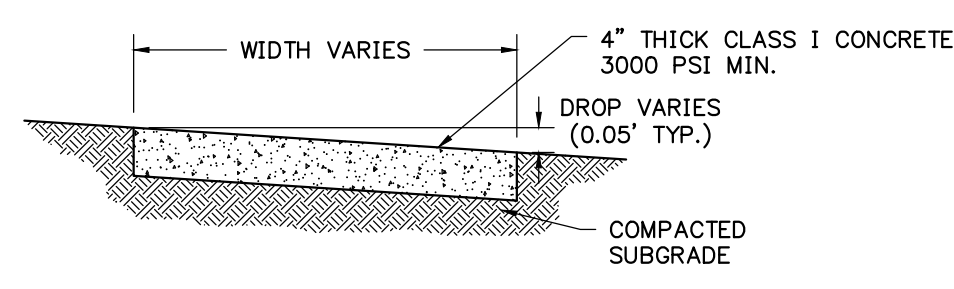
SHEET NO:
C3.0

J:\366-22-03 - Gateway Crossing Lot B - RibCrib - BEQ Production\CA Potts\366-22-03 - Paving, Grading and Drainage Plan.dwg, 6/27/2022, 10:21:42 AM, Abrom



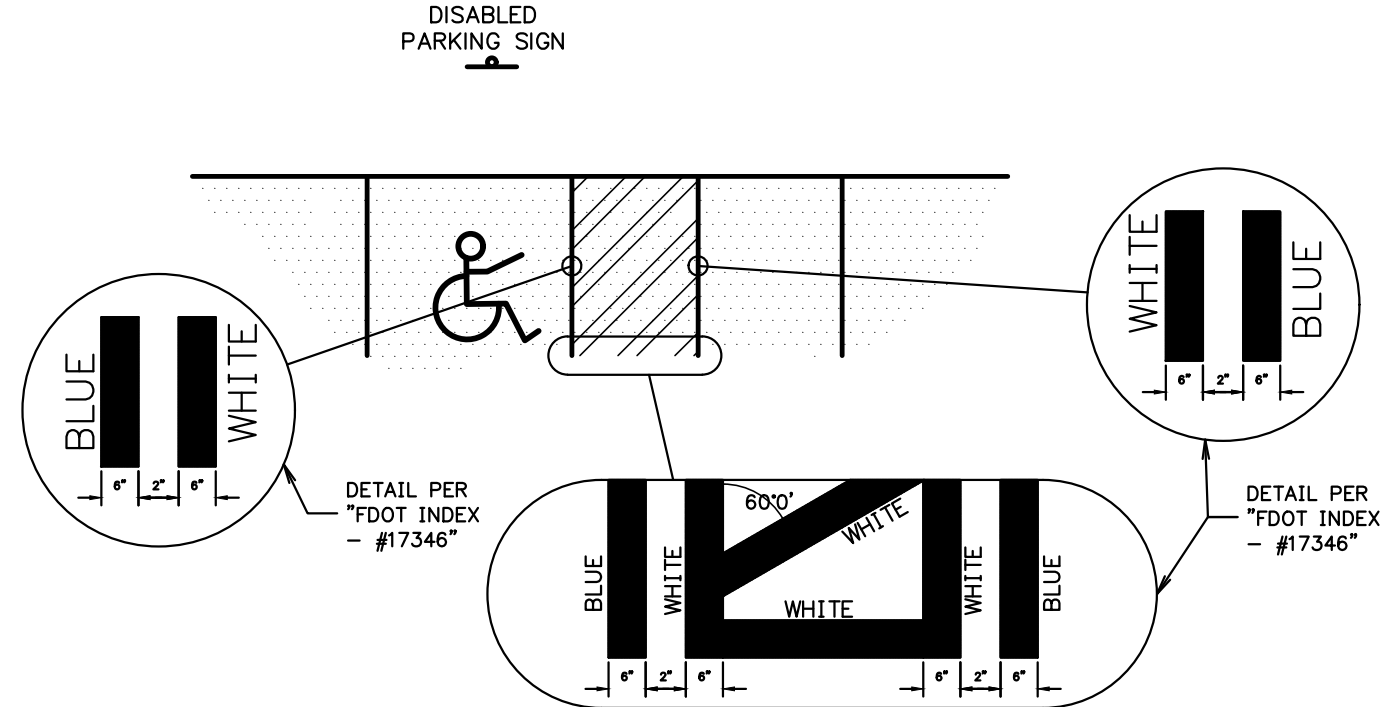
(LIGHT DUTY) TYPICAL ASPHALT PAVEMENT DETAIL

N.T.S.



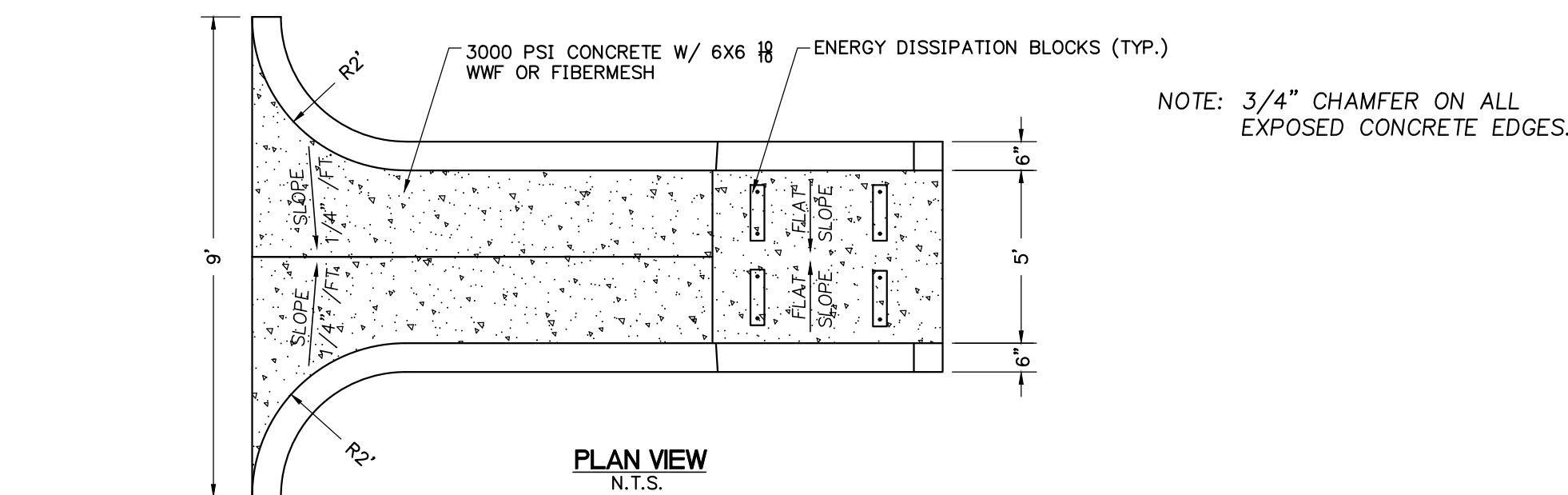
TYPICAL AT GRADE SIDEWALK DETAIL

N.T.S.



HANDICAP STRIPING DETAIL

N.T.S.



PLAN VIEW

N.T.S.

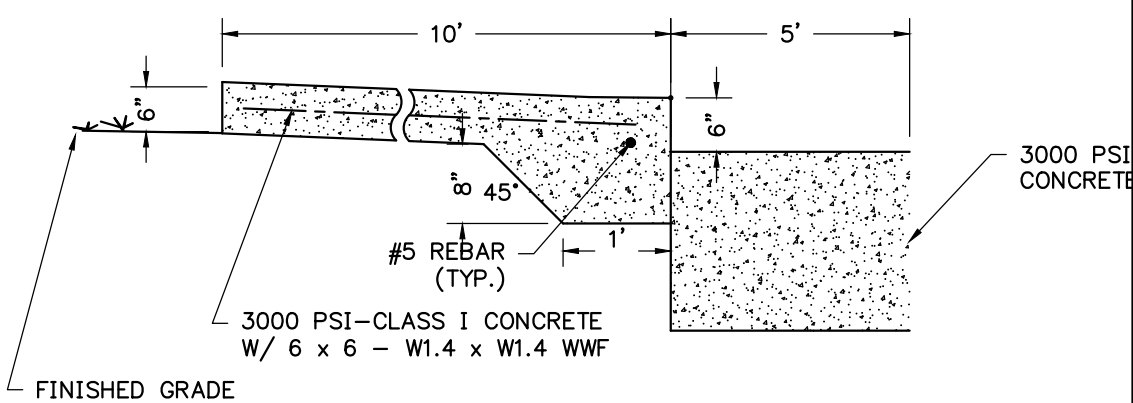
SIDE VIEW

N.T.S.

DRAINAGE/EROSION STANDARD FLUME

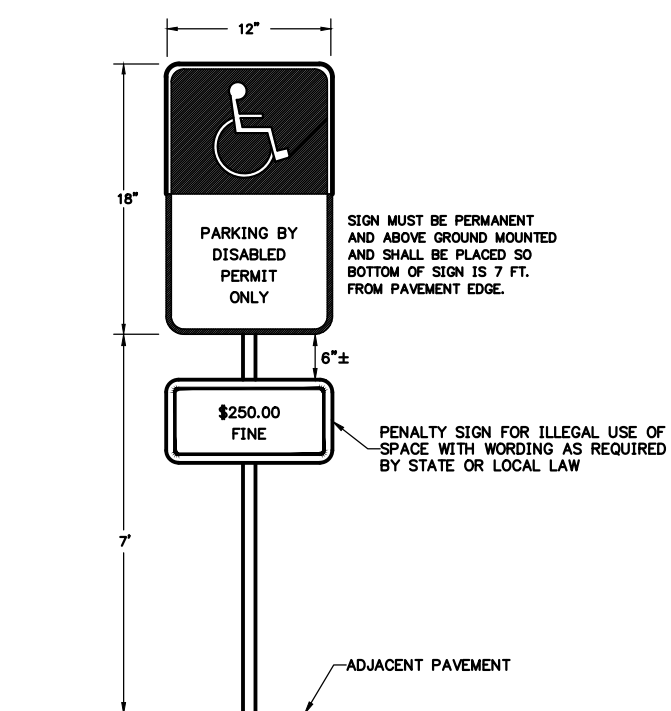
FRONT VIEW

N.T.S.



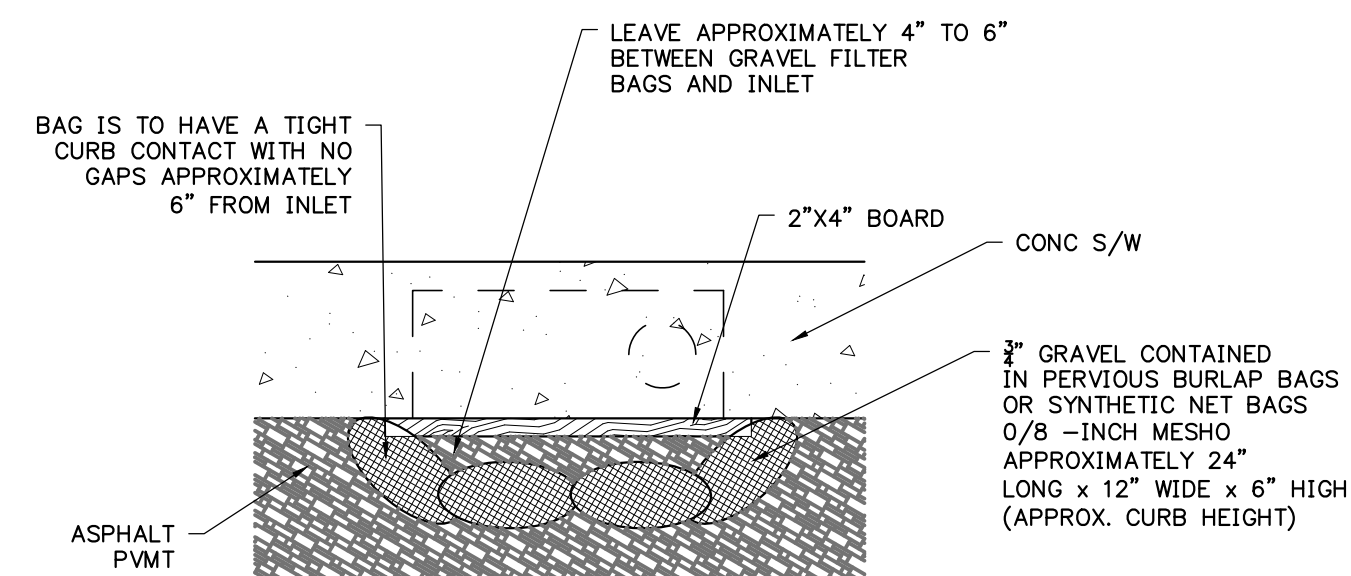
CONCRETE DUMPSTER PAD DETAIL

N.T.S.



DISABLED PARKING SPACE SIGN DETAIL

N.T.S.



PLAN VIEW

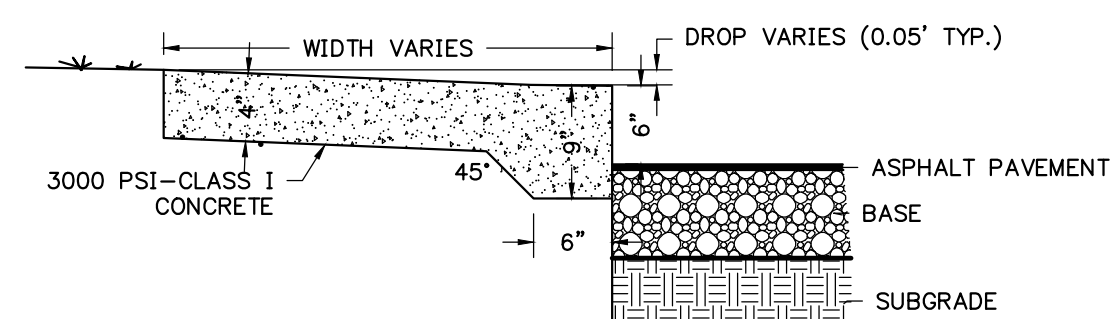
N.T.S.

ELEVATION

N.T.S.

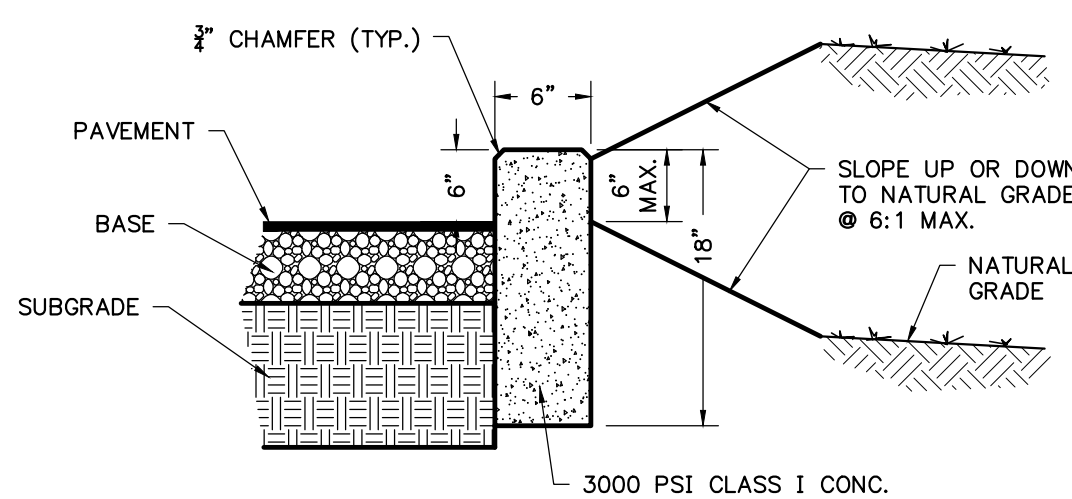
GRAVEL FILTER BAGS DETAIL

N.T.S.



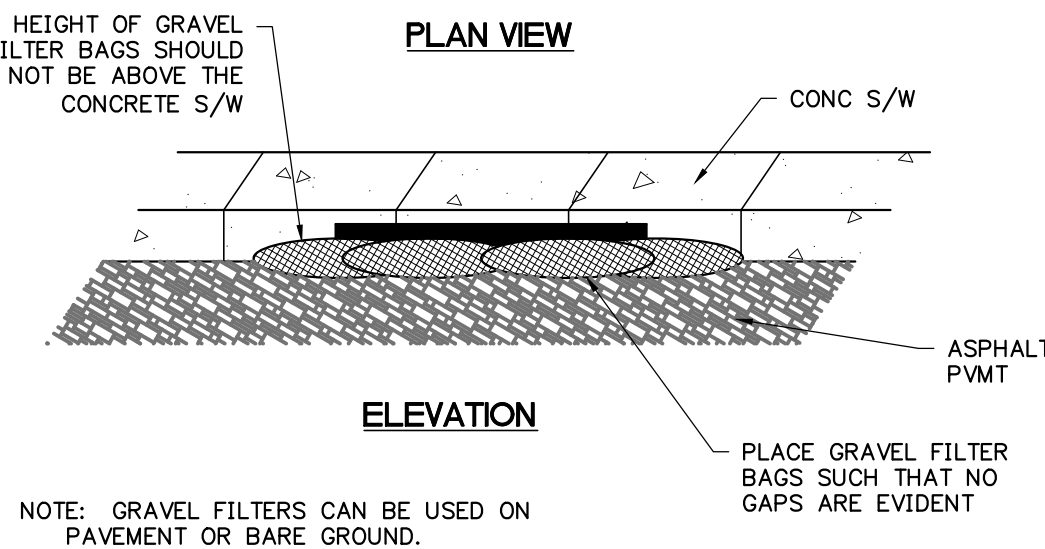
TYPICAL STEP-UP SIDEWALK DETAIL

N.T.S.



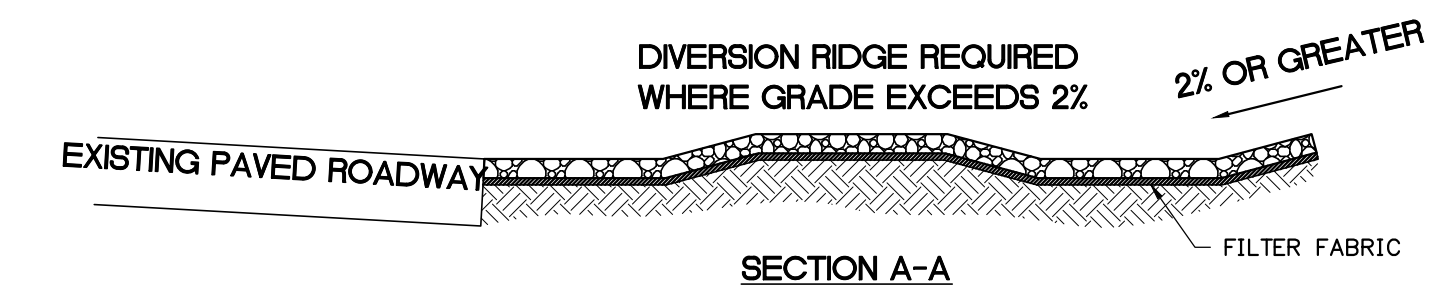
STANDARD CURB DETAIL

N.T.S.



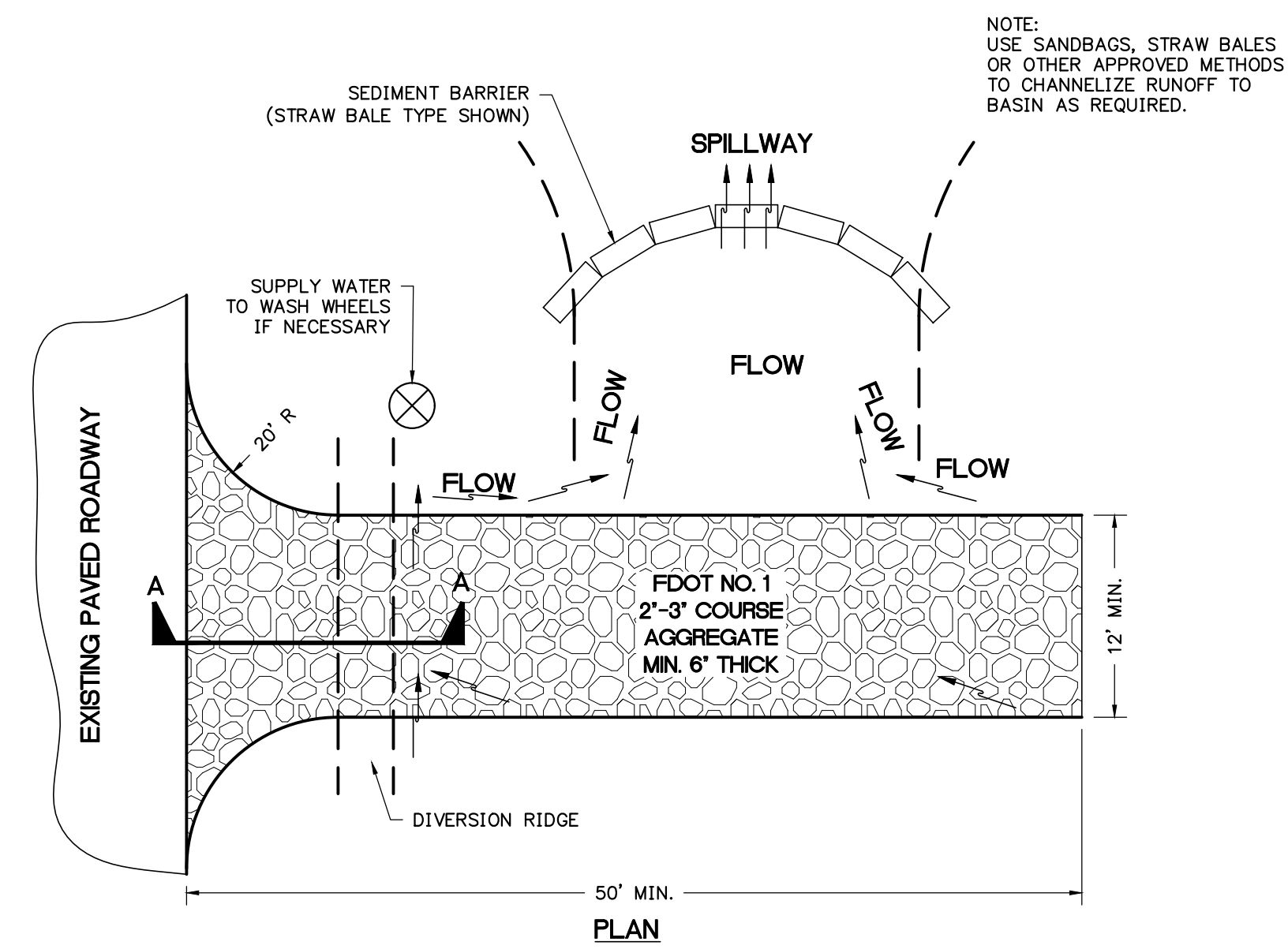
GRAVEL FILTER BAGS DETAIL

N.T.S.



SECTION A-A

N.T.S.

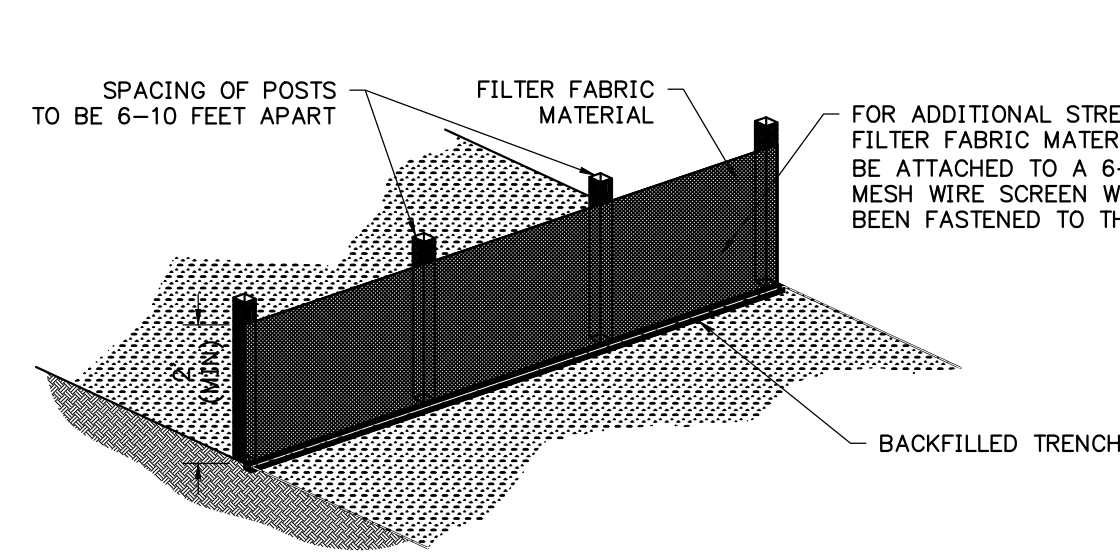


TEMPORARY GRAVEL CONSTRUCTION ENTRANCE

N.T.S.

NOTES:

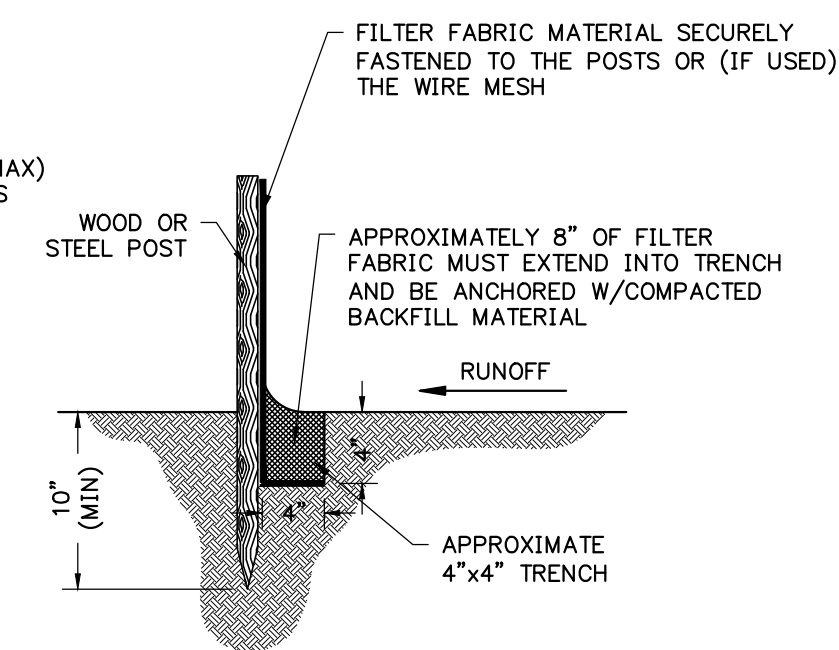
1. THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHTS-OF-WAY. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT.
2. WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
3. WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.



TYPE III SILT FENCE

N.T.S.

PER PLATE 4.06D
FLORIDA EROSION AND
SEDIMENTATION CONTROL
INSPECTOR'S MANUAL

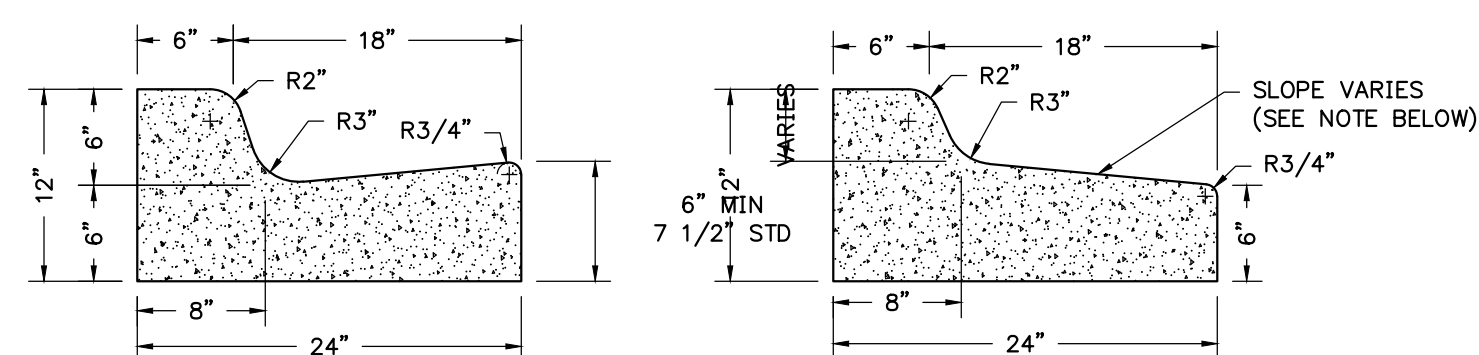


NOTE:

WHEN USED ON THE HIGH SIDE OF ROADWAYS, THE CROSS-SLOPE OF THE GUTTER SHALL MATCH THE CROSS-SLOPE OF THE ADJACENT PAVEMENT AND THE THICKNESS OF THE LIP SHALL BE 6", UNLESS OTHERWISE SHOWN ON THE PLANS.

TYPE 'F' CONCRETE CURB AND GUTTER

N.T.S.

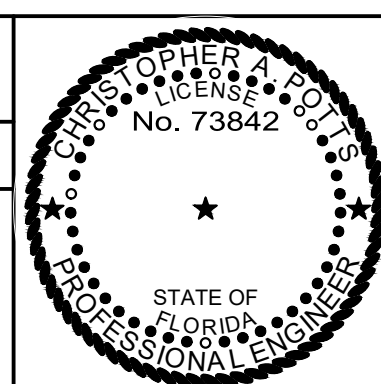


STANDARD

SPILL-OUT

REVISIONS			
NO.	DATE	DESCRIPTION	DRWN/ APPR

ENGINEER OF RECORD:	CHRISTOPHER A. POTTS, P.E. FLORIDA LICENSE NO. 73842
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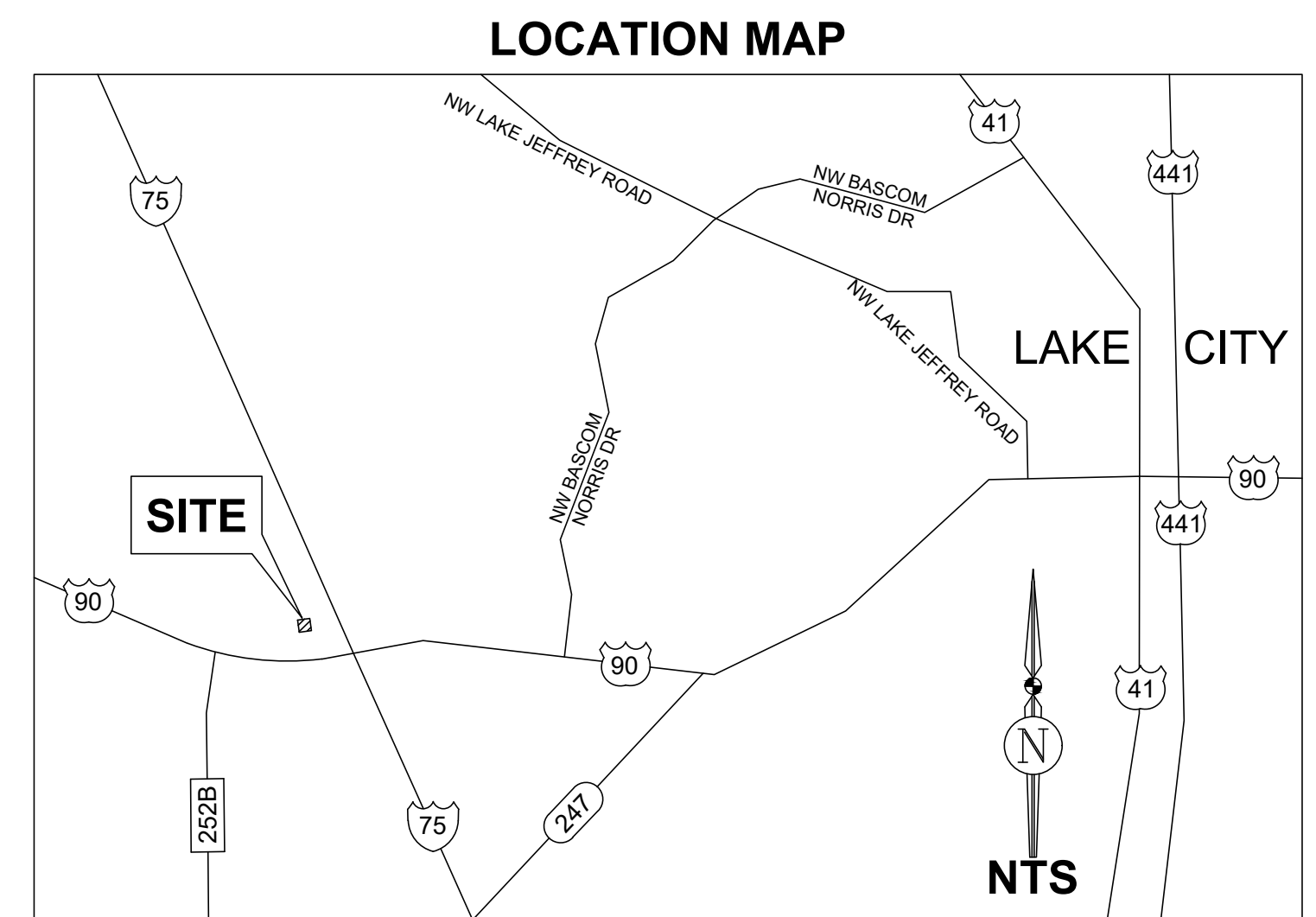
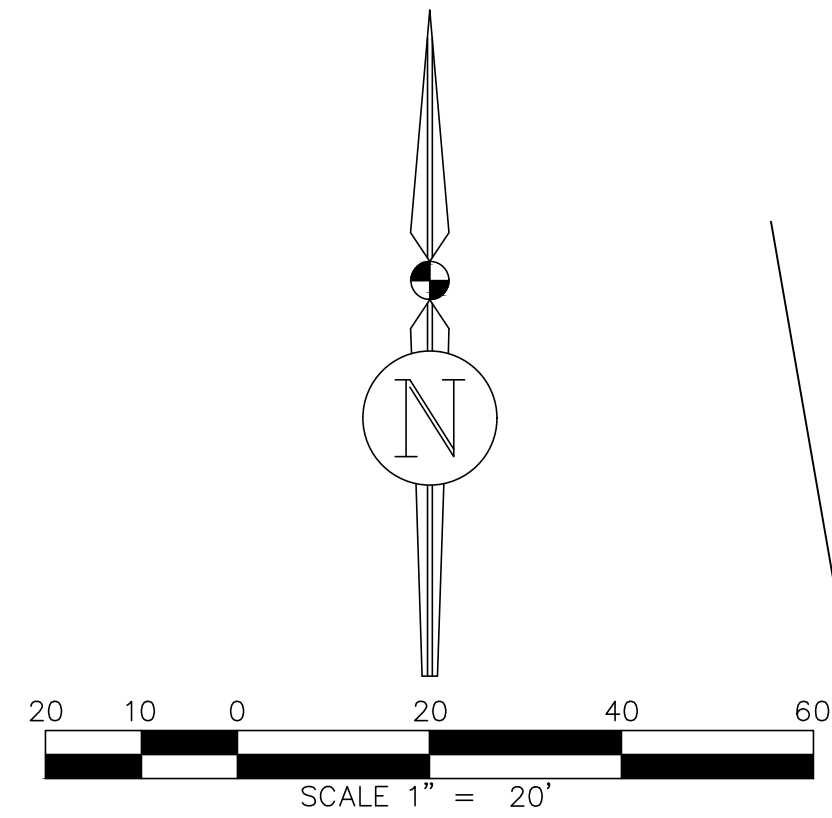
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SHEET TITLE:	DETAILS AND NOTES		DATE:	JUNE 2022
CIENT:	HIGH COTTON EQUITIES, LLC	PROJECT:	RIB CRIB RESTAURANT LAKE CITY, FLORIDA	
SHEET NO.:	C5.0	PROJECT NO.:	366-22-03	

ALTANSPS LAND TITLE SURVEY

IN SECTION 35, TOWNSHIP 3 SOUTH, RANGE 16 EAST, ALACHUA COUNTY, FLORIDA



GENERAL NOTES
 TITLE COMPANY: OLD REPUBLIC NATIONAL TITLE INSURANCE COMPANY
 TITLE COMMITMENT COMMITMENT FILE NUMBER: 22038673
 EFFECTIVE DATE: MARCH 02, 2022, AT 8:00 AM
 NAME OF PROPOSED INSURED: CENTURION EQUITY PARTNERS, LLC

- SCHEDULE B-II ITEMS**
1. NOT A MATTER OF SURVEY.
 2. SEE SURVEY AS SHOWN HEREON.
 3. NOT A MATTER OF SURVEY.
 4. NOT A MATTER OF SURVEY.
 5. ONLY EASEMENTS SHOWN IN THE REFERENCED TITLE COMMITMENT AND THE CALLED FOR RECORD PLAT OF GATEWAY CROSSING HAVE BEEN SHOWN HEREON.
 6. NOT A MATTER OF SURVEY.
 7. SHOWN HEREON.
 8. DOES NOT EFFECT THE SUBJECT PROPERTY.
 9. COVENANTS, CONDITIONS, AND RESTRICTIONS RECORDED IN O.R. BOOK 1317, PAGE 1034, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, WHICH CONTAIN PROVISIONS CREATING EASEMENTS AND/OR ASSESSMENTS. EASEMENT REFERENCES IN DOCUMENT ARE BLANKET IN NATURE AND ARE NOT DEPICTED ON THE SURVEY MAP. SHOWN HEREON.
 10. EASEMENT RECORDED IN O.R. BOOK 1328, PAGE 2266, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA, IS SHOWN HEREON.
 11. NOT A SURVEY MATTER.
 12. NOT A SURVEY MATTER.

LEGAL DESCRIPTION - PER TITLE COMMITMENT
 LOT 8, GATEWAY CROSSING, ACCORDING TO PLAT THEREOF AS RECORDED IN PLAT BOOK 9, PAGES 114 THROUGH 116, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

- BUILDING SETBACK**
 FRONT = 30 FEET
 SIDE = 30 FEET
 REAR = 30 FEET
- ABBREVIATIONS**
 (P) = PLAT
 (M) = MEASURED
 B.S.L. = BUILDING SETBACK LINE
 CTV = CABLE TV
 D.E. = DRAINAGE EASEMENT
 IRC = IRON ROD - CAPPED
 ID = IDENTIFICATION
 LB = LICENSED SURVEYING BUSINESS
 LS = LICENSED SURVEYOR
 NTS = NOT TO SCALE
 P.B. = PLAT BOOK
 O.R.B. = OFFICIAL RECORDS BOOK
 PG. = PAGE
 PLS = PROFESSIONAL LAND SURVEYOR
 P.U.E. = PUBLIC UTILITIES EASEMENT
 R/W = RIGHT-OF-WAY

- SYMBOL LEGEND**
- BOUNDARY LINE
 - - - EASEMENT LINE
 - - - RIGHT-OF-WAY LINE
 - - - TAX PARCEL LINE
 - ⊠ IRON ROD OR PIPE FOUND
 - ⊠ NAIL & DISK
 - ⊠ POWER POLE
 - ⊠ ANTENNA
 - ⊠ STORMWATER MANHOLE
 - ⊠ WATER VALVE
 - ⊠ FIRE HYDRANT
 - ⊠ CLEANOUT
 - ⊠ BURIED ELECTRIC MARKER
 - ⊠ SPIGOT
 - ▨ ASPHALT PAVEMENT
 - ▨ CONCRETE PAVEMENT
 - ▨ EASEMENT AREA

PARKING
 TOTAL SPACES = N/A
 REGULAR SPACES = N/A
 HANDICAPPED SPACES = N/A

**LOT 8
 GATEWAY CROSSING
 LAKE CITY, FLORIDA**

LOT 7
 GATEWAY CROSSING
 P.B. 9, PG. 114

LOT 4
 GATEWAY CROSSING
 P.B. 9 PG. 114

LOT 3
 GATEWAY CROSSING
 P.B. 9, PG. 114

LOT 8
 GATEWAY CROSSING
 P.B. 9, PG 114
 TAX PARCEL 35-3S-16-02524-008
 1.064 AC±
 (VACANT LAND)

LOT 2
 GATEWAY CROSSING
 P.B. 9
 PG. 114

LOT 9
 GATEWAY CROSSING
 P.B. 9, PG. 114

COMMON AREA 1
 GATEWAY CROSSING
 P.B. 9, PG. 114

SURVEYOR'S NOTES

1. BEARINGS ARE BASED ON THE EAST LINE OF THE SUBJECT PARCEL, SAID LINE ALSO BEING THE WEST RIGHT-OF-WAY LINE OF NW CENTURION COURT BEING N09°16'52"W.
2. ELEVATIONS ARE REFERENCED TO PLAT BENCHMARK #2 HAVING PUBLISHED ELEVATION OF 146.97 FEET PER PLAT BOOK 9, PAGES 176-177, OF THE OFFICIAL RECORDS OF COLUMBIA COUNTY, FLORIDA.
3. STATE PLANE COORDINATES (FLORIDA-NORTH 0903) ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983, 2011 ADJUSTMENT AND BASED ON GPS OBSERVATIONS OF THE FLORIDA DEPARTMENT OF TRANSPORTATION CONTINUOUSLY OPERATING REFERENCE STATION(CORS) NETWORK.
4. THIS SURVEY IS BASED ON MEASUREMENTS CONDUCTED ON APRIL 12, 2022.
5. NO UNDERGROUND UTILITIES WERE LOCATED IN THE COURSE OF THIS SURVEY. UNDERGROUND UTILITY LINE LOCATIONS ARE APPROXIMATE.
6. ADDITIONAL ENCUMBRANCES MAY AFFECT THE SUBJECT PARCEL THAT DO NOT APPEAR ON THIS MAP.
7. EASEMENTS DEPICTED ON THIS SURVEY WERE PROVIDED BY THE CLIENT OR ARE RECORDED IN AN ASSOCIATED PLAT. NO EASEMENT RESEARCH WAS CONDUCTED DURING THE COURSE OF THIS SURVEY.
8. REPRODUCED COPIES THAT ARE NOT AT 24"x36" MAY NOT BE TO SCALE.
9. CORNER MARKERS SHOWN HEREON WERE FOUND DURING THE COURSE OF THIS SURVEY UNLESS OTHERWISE NOTED.

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CERTIFICATION

To: Centurion Equity Partners, LLC; Krinzman, Huss, & Lubetsky, LLP; and Old Republic National Title Insurance Company;

This is to certify that this map or plat and the survey on which it is based were made in accordance with the 2021 Minimum Standard Detail Requirements for ALTANSPS Land Title Surveys, jointly established and adopted by ALTA and NSPS, with no Table A provided.

THE MAP OF THE PROPERTY DESCRIBED HEREON WAS MADE UNDER MY SUPERVISION AND THIS MAP OF SURVEY FURTHER MEETS THE STANDARDS OF PRACTICE SET FORTH BY THE STATE OF FLORIDA BOARD OF PROFESSIONAL SURVEYORS & MAPPERS IN CHAPTER 5J-17.05, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES, AND THE MAP OF SURVEY SHOWN HEREON IS A TRUE AND ACCURATE REPRESENTATION THEREOF TO THE BEST OF MY KNOWLEDGE, BEING SUBJECT TO NOTES AND NOTATIONS SHOWN HEREON.

Florida License No. LS4816
 Certificate of Authorization No. LB8031

Richard L. White, PLS
 Professional Land Surveyor

NOT VALID WITHOUT THE SIGNATURE & ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR & MAPPER OR VALID DIGITAL SIGNATURE IN ELECTRONIC FORM

ALTA/NSPS LAND TITLE SURVEY

Scale: 1"=20'
 Proj. No.: 366-15-01
 Drawn: J. Trahan
 Checked: R. White
 Dwg. Name: 366-15-01-SA1
 Dwg. Date: 05.25.2022
 Field Book: N/A
 Pages: N/A
 Sheet: 1 of 1



Civil Engineering | Land Planning
Surveying | Construction Services

Gainesville | FL | August 2011
3530 NW 43rd Street
Gainesville, FL 32606

Growth Management Director
City of Lake City
205 North Marion Avenue
Lake City, FL 32055

June 15, 2022

Subject: RibCrib restaurant

The RibCrib restaurant project is located on parcel number 35-3S-16-02524-008 located on NW Centurion Ct, approximately 600 feet south of the intersection of NW Centurion Ct and US HWY 90. The project proposes a new 3,428 SF restaurant building with associated parking and utilities.

The project site is part of a larger development which was previously permitted with Suwannee River Water Management District (SRWMD) under the project name Gateway Crossing and permit number 226410-1.

The proposed site will direct water to inlet structures in the parking lot, which will direct runoff to the master stormwater facility. The permit allows for 75% impervious on lots 1-4 and 7-10. Please see the attached post development exhibit of the current master development.

The RibCrib Restaurant project proposes 30,843 SF or 66.80% of impervious area on the 1.06+/- Ac. Site located on Lot 8. We are requesting a letter of conformance with permit number 226410-1.

Sincerely,

Christopher A. Potts, P.E.
Director of Civil Engineering, JBPro



Gateway Crossing – Lot 8 RibCrib Restaurant Lake City, FL

Fire Flow Calculations

June 2022



Christopher A. Potts, P.E.
FL Registration No. 73842

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JBPro



Attachments

Attachment A: NFPA Fire Flow Calculations

Attachment B: ISO Fire Flow Calculations

Attachments C: City of Lake City Fire Flow



Attachment A
NFPA Fire Flow Calculations

(Exhibit on Next Page)



FIRE FLOW CALCULATIONS PER NFPA 2009

BUILDING CONSTRUCTION:	Type V (000)
FIRE FLOW AREA (Total Floor Area):	3,428 SF (1 Floor)
FIRE FLOW REQUIRED:	1,500 GPM
BUILDING FULLY SPRINKLED?	No
FLOW DURATION:	2 Hours
AVAILABLE FIRE FLOW (@ 20 psi):	2,874 GPM @ 20 psig

Table 18.4.5.1.2 Minimum Required Fire Flow and Flow Duration for Buildings

Fire Flow Area ft ² (× 0.0929 for m ²)					Fire Flow gpm [†] (× 3.785 for L./min)	Flow Duration (hours)
I(443), I(332), II(222)*	II(111), III(211)*	IV(2HH), V(111)*	II(080), III(200)*	V(000)*		
0-22,700	0-12,700	0-8200	0-5900	0-3600	1500	2
22,701-30,200	12,701-17,000	8201-10,900	5901-7900	3601-4800	1750	
30,201-38,700	17,001-21,800	10,901-12,900	7901-9800	4801-6200	2000	
38,701-48,300	21,801-24,200	12,901-17,400	9801-12,600	6201-7700	2250	
48,301-59,000	24,201-33,200	17,401-21,300	12,601-15,400	7701-9400	2500	
59,001-70,900	33,201-39,700	21,301-25,500	15,401-18,400	9401-11,300	2750	3
70,901-83,700	39,701-47,100	25,501-30,100	18,401-21,800	11,301-13,400	3000	
83,701-97,700	47,101-54,900	30,101-35,200	21,801-25,900	13,401-15,600	3250	
97,701-112,700	54,901-63,400	35,201-40,600	25,901-29,300	15,601-18,000	3500	
112,701-128,700	63,401-72,400	40,601-46,400	29,301-33,500	18,001-20,600	3750	
128,701-145,900	72,401-82,100	46,401-52,500	33,501-37,900	20,601-23,300	4000	4
145,901-164,200	82,101-92,400	52,501-59,100	37,901-42,700	23,301-26,300	4250	
164,201-183,400	92,401-103,100	59,101-66,000	42,701-47,700	26,301-29,300	4500	
183,401-203,700	103,101-114,600	66,001-73,300	47,701-53,000	29,301-32,600	4750	
203,701-225,200	114,601-126,700	73,301-81,100	53,001-58,600	32,601-36,000	5000	
225,201-247,700	126,701-139,400	81,101-89,200	58,601-65,400	36,001-39,600	5250	4
247,701-271,200	139,401-152,600	89,201-97,700	65,401-70,600	39,601-43,400	5500	
271,201-295,900	152,601-166,500	97,701-106,500	70,601-77,000	43,401-47,400	5750	
Greater than 295,900	Greater than 166,500	106,501-115,800	77,001-83,700	47,401-51,300	6000	
		115,801-125,500	83,701-90,600	51,301-55,700	6250	
		125,501-135,500	90,601-97,900	55,701-60,200	6500	
		135,501-145,800	97,901-106,800	60,201-64,800	6750	
		145,801-156,700	106,801-113,200	64,801-69,600	7000	
		156,701-167,900	113,201-121,300	69,601-74,600	7250	
		167,901-179,400	121,301-129,600	74,601-79,800	7500	
		179,401-191,400	129,601-138,300	79,801-85,100	7750	
		Greater than 191,400	Greater than 138,300	Greater than 85,100	8000	

*Types of construction are based on NFPA 220.

†Measured at 20 psi (139.9 kPa).

18.4 Fire Flow Requirements for Buildings.

18.4.1* Scope.

18.4.1.1* The procedure determining fire flow requirements for buildings hereafter constructed shall be in accordance with Section 18.4.

18.4.1.2 Section 18.4 does not apply to structures other than buildings.

18.4.2 Definitions. See definitions 3.3.13.6 (Fire Flow Area) and 3.3.108 (Fire Flow).

18.4.3 Modifications.

18.4.3.1 Decreases. Fire flow requirements shall be permitted to be modified downward by the AHJ for isolated buildings or a group of buildings in rural areas or small communities where the development of full fire flow requirements is impractical.

18.4.3.2 Increases. Fire flow shall be permitted to be modified upward by the AHJ where conditions indicate an unusual susceptibility to group fires or conflagrations. An upward modification shall not be more than twice that required for the building under consideration.

18.4.4 Fire Flow Area.

18.4.4.1 General. The fire flow area shall be the total floor area of all floor levels of a building except as modified in 18.4.4.1.1.

18.4.4.1.1 Type I (443), Type I (332), and Type II (222) Construction. The fire flow area of a building constructed of Type I (443), Type I (332), and Type II (222) construction shall be the area of the three largest successive floors.

18.4.5 Fire Flow Requirements for Buildings.

18.4.5.1 One- and Two-Family Dwellings.

18.4.5.1.1 The minimum fire flow and flow duration requirements for one- and two-family dwellings having a fire flow area that does not exceed 5000 ft² (334.5 m²) shall be 1000 gpm (3785 L/min) for 1 hour.

18.4.5.1.1.1 A reduction in required fire flow of 50 percent shall be permitted when the building is provided with an approved automatic sprinkler system.

18.4.5.1.1.2 A reduction in the required fire flow of 25 percent shall be permitted when the building is separated from other buildings by a minimum of 30 ft (9.1 m).

18.4.5.1.1.3 The reduction in 18.4.5.1.1.1 and 18.4.5.1.1.2 shall not reduce the required fire flow to less than 500 gpm (1900 L/min).

18.4.5.1.2 Fire flow and flow duration for dwellings having a fire flow area in excess of 5000 ft² (334.5 m²) shall not be less than that specified in Table 18.4.5.1.2.

18.4.5.1.2.1 A reduction in required fire flow of 50 percent shall be permitted when the building is provided with an approved automatic sprinkler system.

18.4.5.2 Buildings Other Than One- and Two-Family Dwellings. The minimum fire flow and flow duration for buildings other than one- and two-family dwellings shall be as specified in Table 18.4.5.1.2.

18.4.5.2.1 A reduction in required fire flow of 75 percent shall be permitted when the building is protected throughout by an approved automatic sprinkler system. The resulting fire flow shall not be less than 1000 gpm (3785 L/min).

18.4.5.2.2 A reduction in required fire flow of 75 percent shall be permitted when the building is protected throughout by an approved automatic sprinkler system, which utilizes quick response sprinklers throughout. The resulting fire flow shall not be less than 600 gpm (2270 L/min).



Attachment B
ISO Calculations

(Exhibit on Next Page)

ISO Needed Fire Flow (NFF) Worksheet

(Page references are to the appropriate sections in the ISO Guide for Determination of Needed Fire Flow)

Petition Number:		Date:	6/14/2022
Project:	Gateway Crossings Lot 8 - RibCrib	Engineer:	GAL
		Checked By:	CAP
Location:	NW Centurion Blvd.		
	Lake City, FL		

Subject Building

Construction Class (p. 4): Wood Frame Construction **construction coefficient (F) (p. 2):** 1.5

Area of largest floor in the building (if modifications are made for division walls (p. 8), the division walls must be shown on the site plan.): 3428 sq.ft.

Total area of all other floors (if modifications are made for division walls (p. 8), the division walls must be shown on the site plan.): sq. ft.

Effective Area (A_i) (p. 9) : 3,428 sq. ft. (Show calculations below)

Needed Fire Flow attributed to construction (C_i) (per formula (p. 2)): 1580.826366

(Round to the nearest 250 gpm. See p. 10 for maximum and minimum values of C_i)

Type of Occupancy: Combustible (C-3) **Occupancy Factor (O_i) (p. 11):** 1

Exposures (p. 16)

Front: construction of facing wall of exposure building (p. 4):
Distance (ft.) to the exposure building: **Length of exposure wall:**
Number of stories of exposure wall: **Length x number of stories:** 0
Opening Protection in exposure wall:
Factor for exposure (X_i) from Table 330.A (p. 17): 0

Back: construction of facing wall of exposure building (p. 4):
Distance (ft.) to the exposure building: **Length of exposure wall:**
Number of stories of exposure wall: **Length x number of stories:** 0
Opening Protection in exposure wall:
Factor for exposure (X_i) from Table 330.A (p. 17): 0

Left: construction of facing wall of exposure building (p. 4):
Distance (ft.) to the exposure building: **Length of exposure wall:**
Number of stories of exposure wall: **Length x number of stories:** 0
Opening Protection in exposure wall:
Factor for exposure (X_i) from Table 330.A (p. 17): 0

Right: construction of facing wall of exposure building (p. 4):
Distance (ft.) to the exposure building: **Length of exposure wall:**
Number of stories of exposure wall: **Length x number of stories:** 0
Opening Protection in exposure wall:
Factor for exposure (X_i) from Table 330.A (p. 17): 0

Communications (p. 18)

Passageway Opening Protection:
 Construction class of communication (Table 330.B):

Is communication open or enclosed?

Length of communication (in feet):

Factor for Communications (P_i) from Table 330.B on p.19):

Calculation of Needed Fire Flow (p. 1)

NFF=(C_i)(O_i)[1.0+(X+P)_i] (substitute values as determined above. For exposures and communications use the single side with the highest charge.)

$$NFF= 1500 \times 1 \times [1 + (0 + 0)$$

$$NFF= 1500 \text{ gpm}$$

$$NFF= 1500 \text{ gpm (rounded to nearest 250 gpm per ISO requirements)}$$

Note: ISO evaluates hydrant distribution by examining the number and type of hydrants within 1,000 feet of each representative building. They also look at the distance from each such hydrant to the subject building, measured as apparatus can lay hose.

Hydrants with at least one large pumper outlet may receive credit for up to 1,000 gpm. Hydrants with at least two hose outlets, but no pumper outlet, may receive credit for up to 750 gpm. And hydrants with only one hose outlet may receive credit for up to 500 gpm.

Hydrants within 300 feet of the subject building may receive credit for up to 1,000 gpm (but not more than the credit that would apply based on the number and type of outlets). Hydrants from 301 feet to 600 feet from the subject building may receive credit for up to 670 gpm (but not more than the credit that would apply based on the number and type of outlets). And hydrants from 601 feet to 1,000 feet from the subject building receive credit for 250 gpm. Under certain circumstances, when all fire department pumpers carry sufficient large-diameter hose, ISO may allow maximum credit for hydrants up to 1,000 feet from the subject building.

More than one fire hydrant may be required for proper distribution of water per ISO requirements.



Attachment C

City of Lake City Fire Flow Test Results

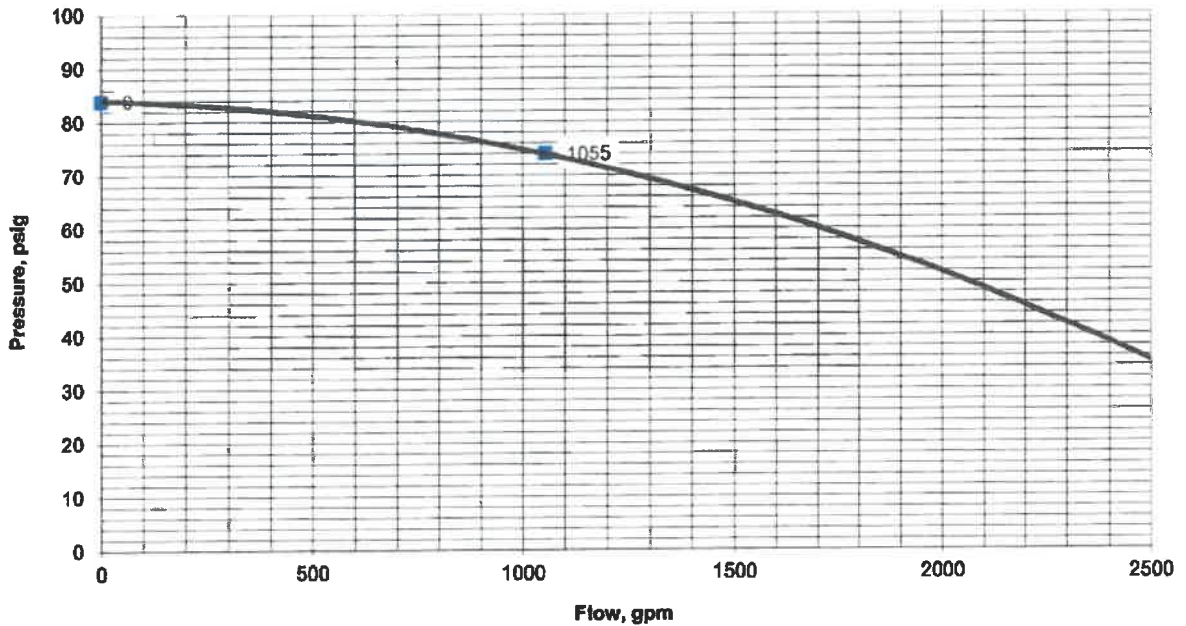
(Exhibit on Next Page)

City of Lake City Water flow report

HYDRANT # & LOCATION: 1st hydrant north of Denny's on NW Centurion Driv DATE: 6/14/2022
 TEST BY: A/Lavonte Day: Tuesday Time: 9:10 Minutes: 2
 WATER SUPPLIED BY: Municipal
 PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<u>2.5</u>	<u>2.5</u>	<u>2.5</u>
COEFFICIENT:	<u>0.8</u>	<u> </u>	<u> </u>
PITOT READING:	<u>50</u>	<u> </u>	<u> </u>
GPM:	<u>1055</u>	<u>0</u>	<u>0</u>
TOTAL FLOW DURING TEST:	<u>1055</u> GPM		
STATIC READING:	<u>84</u> PSI	RESIDUAL:	<u>74</u> PSI
RESULTS: AT 20 PSI RESIDUAL	<u>2874</u> GPM	AT 0 PSI	<u>3328</u> GPM
ESTIMATED CONSUMPTION:	<u>2109</u> GAL.		
REMARKS:			

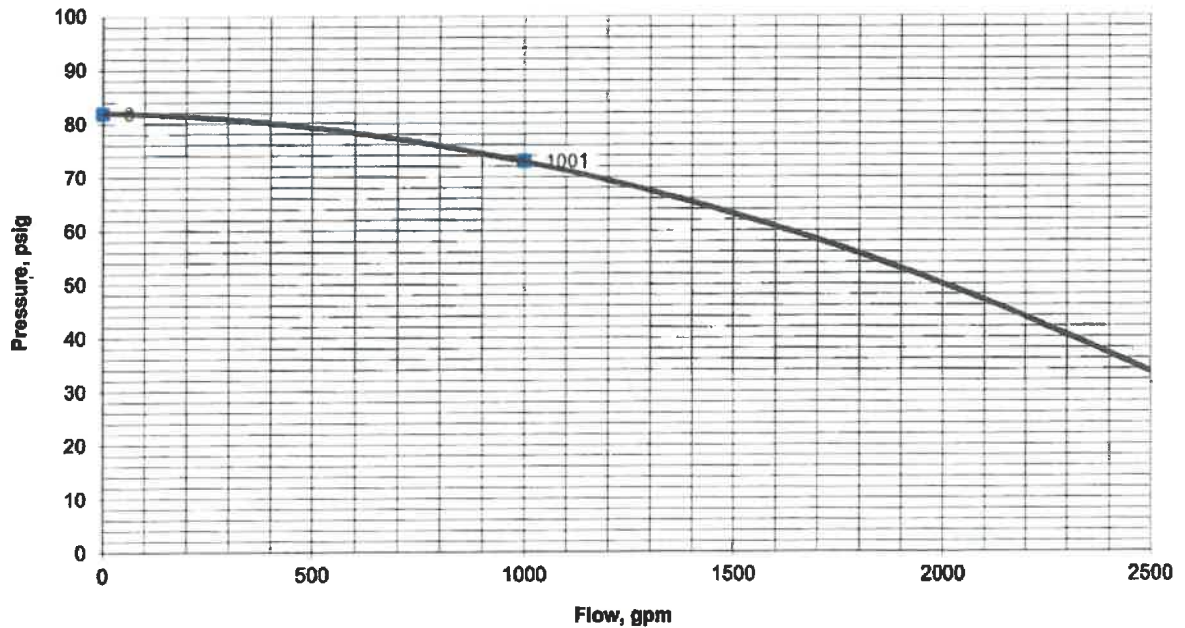


City of Lake City Water flow report

HYDRANT # & LOCATION: 2nd hydrant north of Denny's on NW Centurion Driv DATE: 6/14/2022
 TEST BY: Al/Lavonte Day Tuesday Time 9:10 Minutes 2
 WATER SUPPLIED BY: Municipal
 PURPOSE OF TEST: request

DATA

FLOW HYDRANT(S)	A1	A2	A3
SIZE OPENING:	<u>2.5</u>	<u>2.5</u>	<u>2.5</u>
COEFFICIENT:	<u>0.8</u>	<u> </u>	<u> </u>
PITOT READING:	<u>45</u>	<u> </u>	<u> </u>
GPM:	<u>1001</u>	<u>0</u>	<u>0</u>
TOTAL FLOW DURING TEST:	<u>1001</u> GPM		
STATIC READING:	<u>82</u> PSI	RESIDUAL:	<u>73</u> PSI
RESULTS: AT 20 PSI RESIDUAL	<u>2837</u> GPM		AT 0 PSI <u>3299</u> GPM
ESTIMATED CONSUMPTION:	<u>2001</u> GAL.		
REMARKS:			





Rib City

Site Plan Application

City of Lake City

June 28, 2022

Kathie Ebaugh, AICP
Director of Planning
3530 NW 43rd Street
Gainesville, FL 32606
(352) 375-8999
www.jbpro.com



JBPro



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I. Statement of Proposed Change:

The proposed project is a site plan application for new construction to be located on 1.064 acres near I-75 exit 427. The proposed site plan proposes to build a 3,428 SF restaurant building with associated parking and utilities on the following parcel

Parcels:

35-3S-16-02524-008

As shown on Tables 1 and 2 and Maps 1 and 2, the site plan is consistent with the execution of the established land use and zoning designations and is consistent with surrounding uses. The Commercial land use category has an intensity of $\leq +1$ FAR and the proposed FAR of .07 meets this standard. The Commercial Highway Interchange (CHI) zoning category is intended to provide for developments that primarily serve the traveling public including fast food restaurants as proposed by this site development plan.

Table 1: Land Use and Zoning

Location	Land Use	Zoning
Proposed Property	Commercial	Commercial Highway Interchange
North	Commercial	Commercial Highway Interchange
South	Commercial	Commercial Highway Interchange
East	Commercial	Commercial Highway Interchange
West	Commercial	Commercial Highway Interchange

Table 2: Allowable—Proposed Dwelling Units

	Land Use	Zoning
Intensity Standard	1 FAR	1 FAR
Maximum Units Allowed	1 FAR	1 FAR
Proposed Project	.07 FAR	.07 FAR

Map 1: Existing Land Use Designation



Map 2: Zoning Designations





II. Concurrency Impact Analysis

The State of Florida growth management legislation establishes concurrency standards that ensure that local governments adequately provide public facilities to new developments without constraining adopted local levels of service. The following assessment examines how this proposed rezone application impacts public service demands related to transportation, potable water, sanitary sewage, solid waste, stormwater, open space, recreation, and public school facilities.

Transportation Mobility

The Columbia County Comprehensive Plan Transportation Element Objective II.1 establishes level of service standards (LOS) for all roadways.

Table 4: Transportation LOS Impact

Land Use Code	Land Use	SF GFA	AADT		AM Peak				PM Peak			
			Rate ⁽¹⁾	Trips	Rate ⁽¹⁾	Trips	In	Out	Rate ⁽¹⁾	Trips	In	Out
930	Fast Casual	3428	315.17	1080	36.21	124	77	47	43.79	150	69	81

(1) - Rate of Vehicle Trip per 1000 Square Feet of Gross Floor Area based on the ITE Trip Generation Manual, 10th Edition, Volume 2

Concurrency Assessment: As shown on Table 4 above the proposed project will generate 1080 trips per day including 124 trips per day AM Peak and 150 PM Peak. As such it will not place undue demand on the roadway and will maintain its current LOS.

Potable Water

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.5 establishes LOS for Potable Water. Table 5 below shows that the impact the proposed will have on potable water.

Table 5: Potable Water Impact

System Category	Gallons Per Day
Current Permitted Capacity ⁽¹⁾	4,192,000
Less actual Potable Water Flows ⁽¹⁾	3,400,000
Reserved Capacity	0
Residual Capacity	792,000
Projected Potable Water Demand from Proposed Project ⁽²⁾	3,560
Percentage Utilization Including Proposed Project	81%

(1) Source: City of Lake City Public Services Department; FDEP Permitted Capacity is 9 MGPD, Current SRWMD Capacity is 4,192 MGPD

(2) Source: F.A.C. 64E-6.008, Table 1, Food Operations (a) "Restaurant operating 16 hours or less per day per seat". 89 Seats x 40 GPD/seat = 3560 GPD

Concurrency Assessment: As shown on Table 5 above the proposed project will generate demand for 3,560 gallons per day. The remaining capacity will be 19%. As such, the County LOS will be maintained so to that it will be able to continue providing for the potable water demands of the community.

Sanitary Sewage

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.2 LOS for Sanitary Sewage. Table 6 shows that the impact the proposed 1,226 square foot commercial restaurant building will have on sanitary sewerage.

Table 6: Sanitary Sewer Impact

System Category	Gallons Per Day
Current Permitted Capacity ⁽¹⁾	3,000,000
Less actual Treatment Plant Flows ⁽¹⁾	2,530,000
Reserved Capacity	0
Residual Capacity	470,000
Projected Sanitary Sewer Demand from Proposed Project ⁽²⁾	1,950
Percentage Utilization Including Proposed Project	84%

(1) Source: City of Lake City Public Services Department; FDEP Permitted Capacity is 9 MGPD, Current SRWMD Capacity is 4.192 MGPD

(2) Source: F.A.C. 64E-6.008, Table 1, Food Operations (a) "Restaurant operating 16 hours or less per day per seat". 89 Seats x 40 GPD/seat = 3560 GPD

Concurrency Assessment: As shown on Table 6 above the proposed project will generate 1,950 gallons per day. The remaining capacity will be 16%. As such, the County LOS will be maintained so to that it will be able to continue providing for the sanitary sewer demands of the community.

The Columbia County Comprehensive Plan Sanitary Sewer, Solid Waste, Drainage, Portable Water, and Natural Groundwater Aquifer Recharge Element Objective IV.4 establishes LOS for Stormwater. The policy establishes the standard as follows: for all projects which fall totally within a stream, or open lake watershed, detention systems must be installed such that the peak rate of post-development runoff will not exceed the peak-rate of pre-development runoff for storm events up through and including either:

1. A design storm with a 10-year, 24-hour rainfall depth with Soil Conservation Service type II distribution falling on average antecedent moisture conditions for projects serving exclusively agricultural, forest, conservation, or recreational uses; or
2. A design storm with 100-year critical duration rainfall depth for projects serving any land use other than agricultural, silvicultural, conservation, or recreational uses.

Concurrency Assessment: This project has been designed as part of a master stormwater system that was designed to meet a 10-year, 24-hour rainfall depth. As such, the County LOS will be maintained so to that it will be able to continue providing for the stormwater demands the community.

Open Space

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective 5.2 establishes LOS for open space. The standard directs that as applicable and appropriate, open space standards shall be established in the implementing land development code.

Concurrency Assessment: This land development regulations for the CHI zoning classification does not included standards for specific open space aside from the established FAR, buffering standards, and building setbacks. The proposed site plan meets these standards. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

Recreation

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective 1.1 establishes LOS for recreation based on residents to be served. Additionally, Objective VI.3 states this LOS requirements is for new subdivisions or re-subdivisions of land.

Concurrency Assessment: This site plan application is for the development of a commercial property that does not generate new residents. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

Public School Facilities

The Columbia County Comprehensive Plan Recreation and Open Space Element Objective XI.1 establishes LOS for recreation based on number of students and available capacity for educational facilities. Additionally, Objective IX.3 states this LOS requirements is to be applied concurrent with the development of new residential projects.

Concurrency Assessment: This site plan application is for the development of a commercial property that does not generate new student populations. As such, this concurrency standard is not applicable to this proposed project as there is no impact.

III. Comprehensive Plan Consistency

The proposed project is located within the Commercial Land Use Category (FLU). Developments within this FLU are limited to a density of 1 FAR. As shown on Map 4 below, the adjoining land use categories are Commercial to the north, east, south, and west. The following comprehensive plan consistency assessment shows how this proposed project is consistent with Columbia County's adopted comprehensive plan goals, objectives, and policies.

Map 4: Future Land Use Map



Future Land Use Element

Goal 1: Future Land Use. In recognition of the importance of conserving the natural resources and enhancing the quality of life, the county shall direct development to those areas which have in place, or have agreements to prove, the land and water resources, fiscal abilities, and service capacity to accommodate growth in an environmentally acceptable manner.

Comprehensive Plan Consistency: The location of this proposed site plan application is within an established development area where there is the funding and infrastructure capacity to provide for the demands of the proposed development.

Objective 1.2: Urban Development Areas. The County shall continue to direct future population growth and associated urban development to urban development areas as established within this Comprehensive Plan.

Comprehensive Plan Consistency: The location of this proposed site plan is consistent with the County's urban development areas.

Policy I.1.1: Public Facility Availability. The County shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity



Comprehensive Plan Consistency: The location of this proposed development with an I75 Interchange area is consistent with the policy to locate new development in areas that have the public facilities and infrastructure needed to support higher intensities.

Policy I.1.5 Development—Public Facility Coordinated Locations. The County shall continue to regulate govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Comprehensive Plan Consistency: The location of this proposed site plan is able to be served by public facilities and services consistent with this policy.

Policy I.1.6 Land Use Classifications. The County's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the County. For the purpose of this policy and Comprehensive Plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use....

COMMERCIAL LAND USE

Highway interchange uses shall be permitted within the urban and rural area of the County.

Highway interchange uses shall be permitted within areas surrounding Interstates 75 and 10, which shall be limited to the following:

1. Tourist oriented facilities, such as restaurants, automotive service stations, motels and campgrounds;
2. Retail outlets;
3. Truck stops;
4. Light manufacturing, assembling, processing, packaging or fabricating in completely enclosed building; and
5. Facilities for the storage and distribution of foods and products including wholesale activity.

Commercial uses shall be limited to an intensity of 1.0 floor area ratio.

Comprehensive Plan Consistency: The development of this property is consistent with the future land use requires for the development of residential properties in general and the Commercial FLU category in specific.

Objective I.3 Compatibility of Adjacent Land Uses: The County shall include within the site plan review process to be adopted as part of the land development regulations, that adjacent land uses shall not be adversely impacted by any change in land use.

Comprehensive Plan Consistency: The proposed site plan is located in an area that is compatible with highway interchange commercial uses consistent with this policy.



OBJECTIVE I.11 Public Facilities and Developable Land: The County shall require that proposed development be approved only where the public facilities meet or exceed the adopted level of service standard.

Comprehensive Plan Consistency: The location of this proposed development is an area the County is able to provide public services consistent with this policy.

Policy I.11.1 Level of Service Standards The County shall establish procedures for the review of proposed development to determine its impact on level of service standards for public facilities so that such public facilities will meet the County's level of service standards and are available concurrently with the impacts of development.

Comprehensive Plan Consistency: As proven by the Concurrency Analysis, the development of this property is consistent with establish LOS standards and the proposed impacts do not unduly impact the ability for the County to provide public infrastructure facilities and services.

Policy I.12.1 Land Development Standards and Regulations. The County's land development regulations shall contain specific and detailed provisions to manage future growth and development to implement the Comprehensive Plan which shall contain at a minimum the following provisions to:

1. Regulate the subdivision of land;
2. Regulate the use of land and water consistent with this Element and ensure the compatibility of adjacent land uses and provide for open space;
3. Protect environmentally sensitive lands identified within the Conservation Element;
4. Regulate areas subject to seasonal and periodic flooding and provide for drainage and stormwater management;
5. Protect potable water wellfields and aquifer recharge areas;
6. Regulate signage;
7. Ensure safe and convenient onsite traffic flow and vehicle parking needs; and
8. Provide that development orders and permits shall not be issued which result in a reduction of the level of service standards adopted in this Comprehensive Plan

Comprehensive Plan Consistency: As shown through this application and attached proposed site development plan, the proposal to development this site is consistent with the County's adopted land development standards and regulations.

Transportation Element

Policy II.1.1 Establish the Service. Standards as noted below at peak hour for the following roadway segments within the County as defined within the most recent version of the Florida Department of Transportation Quality/Level of Service Handbook.

Comprehensive Plan Consistency: The provision of roadway services is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.



OBJECTIVE II.2 Traffic Circulation System. The County shall require that all traffic circulation system improvements be consistent with the land uses shown on the future land use plan map by limiting higher density and higher intensity land use locations to be adjacent to collector or arterial roads.

Comprehensive Plan Consistency: The location of this development in a highway interchange area near I75 is consistent with the County policy to provide for higher intensity development areas adjacent to major roadways.

Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Element

Goal IV-1 Sanitary Sewer, Solid Waste, Drainage, Potable Water, and Natural Groundwater Aquifer Recharge Goals, Objectives, and Policies. Ensure the provision of public facilities in a timely, orderly, efficient, and environmentally sound manner at an acceptable level of service for the population of the county.

Comprehensive Plan Consistency: The provision of public facilities and infrastructure systems for sanitary sewer, solid waste, drainage, potable water, and natural groundwater aquifer recharge is provided according to the adopted comprehensive plan LOS standards for such services and infrastructure systems.

Conservation Element

Policy V.2.5 Runoff Standards. The County shall, through the development review process, require that post-development runoff rates and pollutant loads do not exceed pre-development conditions.

Comprehensive Plan Consistency: As a result of the execution of this site plan and the development of this project, the development will provide for the runoff rates and pollutant loads that are consistent with this comprehensive plan policy.

IV. Conclusions:

The site plan application request is consistent with and serves to implement the Goals, Objectives and Policies of the Columbia County Comprehensive Plan. The request meets all of the review criteria and standards for rezoning applications found in the Columbia County Land Development Code, including consistency, compatibility, similarity of development patterns in the area of the subject property, suitability, adequacy of public services, access, and promotion of the public health, safety and welfare. The applicant would request approval of the application based upon the demonstrated consistency and implementation of the applicable Plan Goals, Objectives and Policies as well as the conformance to all applicable provisions of the land development code.

LEGAL DESCRIPTION (35-3S-16-02524-008)

LOT 8 GATEWAY CROSSING, ACCORDING TO THE PLAT THEREOF, AS RECORDED IN PLAT BOOK 9, PAGE 114,
OF THE PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 6/6/2022

Parcel: << **35-3S-16-02524-008 (10488)** >>

Owner & Property Info

Owner	Z & S GATEWAY CROSSING LLC 7111 HARWIN DR SUITE 285 HOUSTON, TX 77036		
Site	234 NW CENTURION Ct, LAKE CITY		
Description*	LOT 8 GATEWAY CROSSING S/D. WD 1357-2345,		
Area	1.064 AC	S/T/R	35-3S-16
Use Code**	VACANT COMMERCIAL (1000)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.
 **The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.

Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$533,002	Mkt Land	\$533,002
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$533,002	Just	\$533,002
Class	\$0	Class	\$0
Appraised	\$533,002	Appraised	\$533,002
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$533,002	Assessed	\$533,002
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$533,002 city:\$533,002 other:\$0 school:\$533,002	Total Taxable	county:\$533,002 city:\$533,002 other:\$0 school:\$533,002



Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
3/29/2018	\$700,000	1357/2345	WD	V	Q	01

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
1000	VACANT COMMERCIAL (MKT)	46,348.000 SF (1.064 AC)	1.0000/1.0000 1.0000/ /	\$12 /SF	\$533,002

This instrument prepared by:
John F. Hotte, Esq.
KRINZMAN, HUSS & LUBETSKY, LLP
100 Southeast 6th Street – Suite 1430
Fort Lauderdale, Florida 33301

Inst: 201812007352 Date: 04/16/2018 Time: 9:44AM
Page 1 of 2 B: 1357 P: 2345, P.DeWitt Cason, Clerk of Court
Columbia, County, By: BD
Deputy Clerk Doc Stamp-Deed: 4900.00

Folio No. 35-3S-16-02524-008

SPECIAL WARRANTY DEED

THIS INDENTURE, made this 29 day of March, 2018, by and between GWC Development Partners, LLC, a Florida limited liability company, ("Grantor") having an address of 2682 W Noegel Road, Lake City, Florida 32055, and **Z & S Gateway Crossing, LLC, a Florida limited liability company** ("Grantee"), having an address of 7111 Harwin Drive, Suite 285, Houston, Texas 77036.

WITNESSETH, that Grantor, for and in consideration of the sum of Ten (\$10.00) Dollars and other good and valuable considerations to Grantor in hand paid by Grantee, the receipt of which is hereby acknowledged, have granted, bargained and sold to Grantee, and Grantees' successors and assigns forever, the following described property located in Columbia County, Florida:

***Lot 8, Gateway Crossing, according to the Plat thereof, as recorded in
Plat Book 9, Page 114, of the Public Records of Columbia County, Florida***

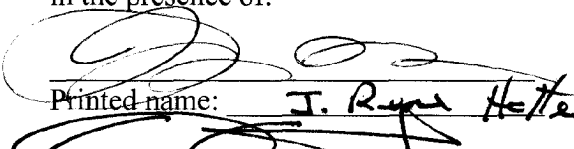
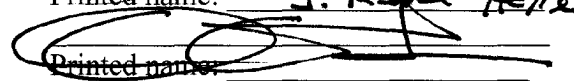
Subject to: (1) taxes and assessments for the year 2018 and subsequent years; (2) existing zoning and governmental regulations; (3) easements, covenants, declarations, restrictions and other conditions of record (without reimposing the same by this recitation); and (4) matters appearing on the Plat.

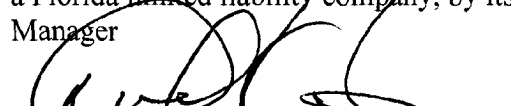
And Grantor does hereby fully warrant the title to said land, and will defend the same against lawful claims of all persons claiming by, through or under Grantor but against none other.

IN WITNESS WHEREOF, Grantor has hereunto set her hands and seals the day and year first above written.

Signed, sealed and delivered in the presence of:

GWC DEVELOPMENT PARTNERS, LLC, a Florida limited liability company, by its Manager

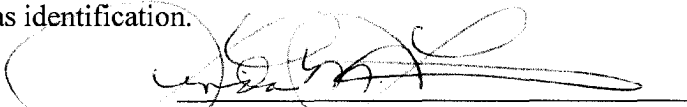

Printed name: J. Ryan Hotte

Printed name: _____

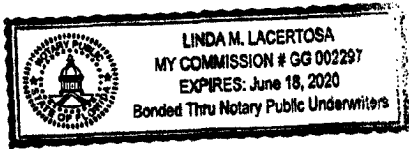

Daniel Hotte

JOHN F. HOTTE
STATE OF FLORIDA)
COUNTY OF BROWARD)

THE FOREGOING INSTRUMENT was acknowledged before me this 29 day of March, 2018, by Daniel Hotte, as Manager of GWC Development Partners, LLC, a Florida limited liability company under the authority vested in him. He is X personally known to me or _____ has presented a driver's license as identification.

My Commission expires:


NOTARY PUBLIC
Name of Notary: Linda M. Lacertosa



Columbia County Tax Collector

generated on 6/7/2022 7:38:43 AM EDT

Tax Record

Last Update: 6/7/2022 7:37:23 AM EDT



Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R02524-008	REAL ESTATE	2021			
Mailing Address Z & S GATEWAY CROSSING LLC 7111 HARWIN DR SUITE 285 HOUSTON TX 77036		Property Address 234 CENTURION LAKE CITY GEO Number 353S16-02524-008			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
<u>Legal Description (click for full description)</u>					
35-3S-16 1000/10001.06 Acres LOT 8 GATEWAY CROSSING S/D. WD 1357-2345,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	533,002	0	\$533,002	\$4,165.41
CITY OF LAKE CITY	4.9000	533,002	0	\$533,002	\$2,611.71
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	533,002	0	\$533,002	\$398.69
LOCAL	3.6430	533,002	0	\$533,002	\$1,941.73
CAPITAL OUTLAY	1.5000	533,002	0	\$533,002	\$799.50
SUWANNEE RIVER WATER MGT DIST	0.3615	533,002	0	\$533,002	\$192.68
LAKE SHORE HOSPITAL AUTHORITY	0.0000	533,002	0	\$533,002	\$0.00
Total Millage		18.9675	Total Taxes		\$10,109.72
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$50.40
Total Assessments					\$50.40
Taxes & Assessments					\$10,160.12
If Paid By				Amount Due	
				\$0.00	

Date Paid	Transaction	Receipt	Item	Amount Paid
11/16/2021	PAYMENT	2100473.0001	2021	\$9,753.72

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

Project Summary

Project Name: Rib Crib- Centurion Loop

Project Number: SPR22-16

Parcel Number: 02524-008

Project Notes

- Project type: Site Plan Review
- Future land use is: Commercial
- Zoning designation is: Commercial Highway Interchange
- Proposed use of the property: New construction of Rib Crib
- Land is conducive for use: Yes, per the LDR section 4.15.2.3
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR22-14 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has not concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 07/12/2022

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR22-16

Project Name: Rib Crib Restaurant

Project Address: NW Centurion CT, Lake City FL 32055

Project Parcel Number: 35-3S-16-02524-008

Owner Name: Parker Neely

Owner: Address: 2682 NW Noegel Road

Owner Contact Information: telephone number 704-577-2475 e-mail dneely@highcotton-cep.com

Owner Agent Name: Chris Potts PE

Owner Agent Address: 3530 NW 43rd ST Gainesville, FL 32606

Owner Agent Contact Information: telephone 352-375-8999 e-mail chris.potts@jbpro.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: NA

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Meets all the requirements of the LDR
Meets all the requirements of the LDR

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Apply for business license and certificate of use

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No Issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: No Issues

No Issues

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborne

Comments: Back flow required

Sewer Department: Approved Disapproved Reviewed by: _____

Comments: _____

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: Need BTU and plans

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: Taps in place

Customer Service: Approved Disapproved Reviewed by: _____

Comments: _____

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: No Issues

Fire Department: Approve Disapprove Reviewed by: Dwight Boozer

Comments: No Concerns At This Time.

Police Department: Approve Disapprove Reviewed by: Andy Miles

Comments: No issues

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

File Attachments for Item:

iv. Zoning Change - Z-22-05 - First Baptist Church (Agent: Chase Moses)



GROWTH MANAGEMENT
 205 North Marion Ave
 Lake City, Florida 32055
 Telephone (386) 719-5750
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # Z _____
 Application Fee \$ ~~750~~ 750⁰⁰
 Receipt No. N/A
 Filing Date 6/27/22
 Completeness Date _____

Less Than or Equal to 10 Acres: \$750.00 Greater Than 10 Acres: \$1,000.00 or actual cost

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: First Baptist Church Annex
2. Address of Subject Property: 157 E Duval Street, Lake City, FL 32055
3. Parcel ID Number(s): 12696-000
4. Future Land Use Map Designation: Commercial
5. Existing Zoning Designation: Commercial General
6. Proposed Zoning Designation: Commercial Central Business District
7. Acreage: 0.22
8. Existing Use of Property: Office/Education
9. Proposed use of Property: Office or other uses as allowed by zoning

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Chase Moses Title: Broker
 Company name (if applicable): Hunt & Moses Realty, LLC
 Mailing Address: 184 N Marion Ave
 City: Lake City State: FL Zip: 32055
 Telephone: (386) 755-2774 Fax: (386) 755-8534 Email: chase@candlermoses.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): First Baptist Church of Lake City, Inc.
 Mailing Address: 182 NE Justice Street
 City: Lake City State: FL Zip: 32055
 Telephone: (386) 752-5422 Fax: () Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: Yes - Pascal Rodney (Buyer)
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property: Yes No
Future Land Use Map Amendment: Yes No
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes No
Variance Application No. _____
Special Exception: Yes No
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.
4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:
 - a. Whether the proposed change would be in conformance with the city's comprehensive plan or would have an adverse effect on the city's comprehensive plan.
 - b. The existing land use pattern.
 - c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
 - d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
 - e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
 - f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
 - g. Whether the proposed change will adversely influence living conditions in the neighborhood.
 - h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
 - i. Whether the proposed change will create a drainage problem.
 - j. Whether the proposed change will seriously reduce light and air to adjacent areas.

- k. Whether the proposed change will adversely affect property values in the adjacent area.
- l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
- m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
- n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
- o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.
- p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
 - i. The need and justification for the change.
 - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

- ✓ 5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
- ✓ 6. Proof of Ownership (i.e. deed).
- ✓ 7. Agent Authorization Form (signed and notarized).
- ✓ 8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
- 9. Fee. The application fee for a Site-Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

J. Chen Moses
Applicant/Agent Name (Type or Print)

J. Chen
Applicant/Agent Signature

6/22/22
Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 22 day of June, 2022, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Tiffany Redd
Signature of Notary
Tiffany Redd
Printed Name of Notary

Personally Known OR Produced Identification _____
Type of Identification Produced

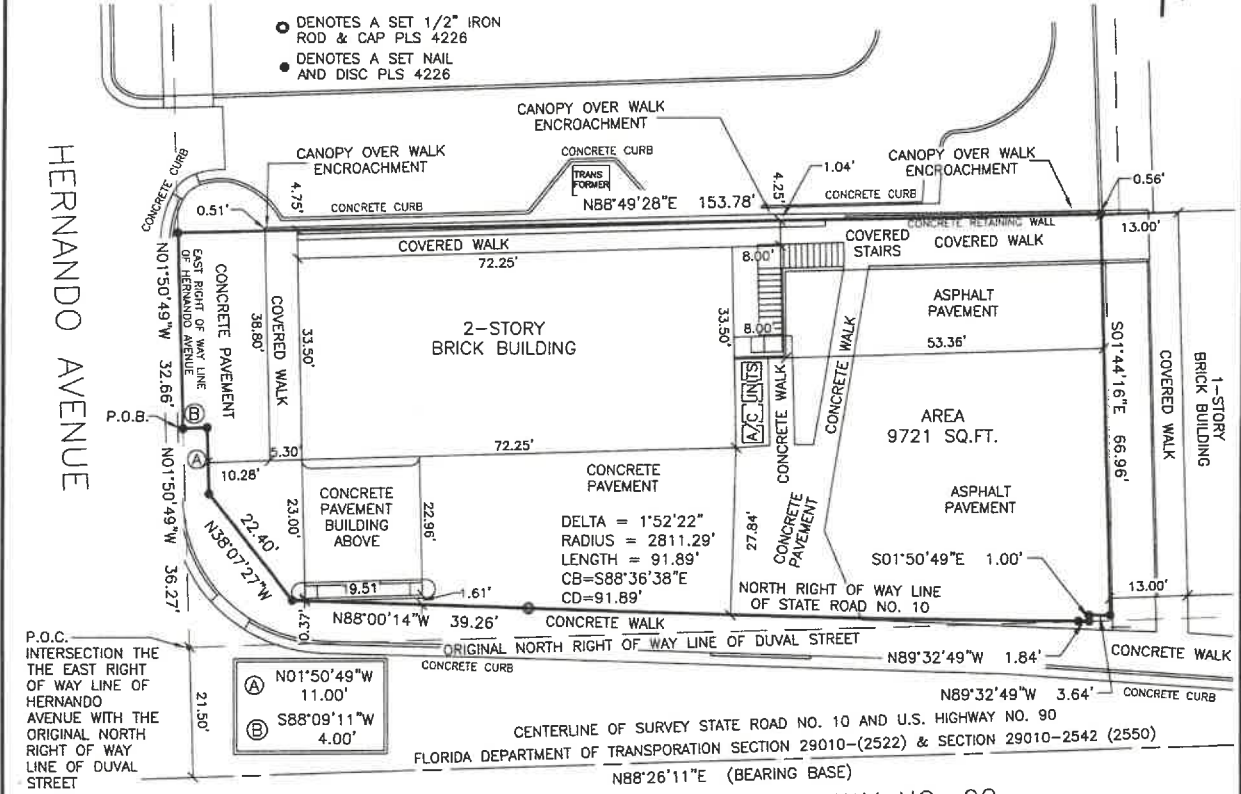


MAP OF SURVEY

DESCRIPTION:

A PARCEL OF LAND LYING IN SECTION 32, TOWNSHIP 3 SOUTH, RANGE 17 EAST, CITY OF LAKE CITY, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF HERNANDO AVENUE (A 33 FOOT RIGHT OF WAY) WITH THE ORIGINAL NORTH RIGHT OF WAY OF DUVAL STREET (A 43 FOOT RIGHT OF WAY) THENCE RUN N01°50'49"W, ALONG THE EAST RIGHT OF WAY LINE OF HERNANDO AVENUE A DISTANCE OF 36.27 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N01°50'49"W, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 32.66 FEET; THENCE RUN N88°49'26"E, A DISTANCE OF 153.78 FEET; THENCE RUN S01°44'16"E, A DISTANCE OF 66.96 FEET TO THE NORTH RIGHT OF WAY LINE OF STATE ROAD NUMBER 10 (U.S. HIGHWAY NUMBER 90); THENCE RUN N89°32'49"W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 3.64 FEET; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE, S01°50'49"E, A DISTANCE OF 1.00 FOOT; THENCE CONTINUE ALONG SAID NORTH LINE, N89°32'49"W, A DISTANCE OF 1.84 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 2811.49 FEET, A CHORD WHICH BEARS N88°36'38"W AND A CHORD DISTANCE OF 91.89 FEET; THENCE RUN ALONG THE ARC OF SAID CURVE AND NORTH RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 01°52'22" FOR A DISTANCE OF 91.89 FEET TO THE END OF SAID CURVE; THENCE CONTINUE ALONG SAID NORTH LINE, N88°00'14"W, A DISTANCE OF 39.26 FEET; THENCE CONTINUE ALONG SAID NORTH LINE, N38°07'27"W, A DISTANCE OF 22.40 FEET; THENCE CONTINUE ALONG SAID NORTH LINE, N01°50'49"W, A DISTANCE OF 11.00 FEET; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE, S88°09'11"W, A DISTANCE OF 4.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO COVENANTS, RESTRICTIONS, AND EASEMENTS OF RECORD.



- DENOTES A SET 1/2" IRON ROD & CAP PLS 4226
- DENOTES A SET NAIL AND DISC PLS 4226

P.O.C. INTERSECTION THE THE EAST RIGHT OF WAY LINE OF HERNANDO AVENUE WITH THE ORIGINAL NORTH RIGHT OF WAY LINE OF DUVAL STREET

CENTERLINE OF SURVEY STATE ROAD NO. 10 AND U.S. HIGHWAY NO. 90
FLORIDA DEPARTMENT OF TRANSPORTATION SECTION 29010-(2522) & SECTION 29010-2542 (2550)
N88°26'11"E (BEARING BASE)

DUVAL STREET - STATE ROAD NO. 10 - U.S. HIGHWAY NO. 90



SURVEYORS NOTES:

1. NO UNDERGROUND INSTALLATIONS OR IMPROVEMENTS HAVE BEEN LOCATED EXCEPT AS NOTED.
2. THIS SURVEY WAS MADE WITHOUT THE BENEFIT OF A TITLE INSURANCE COMMITMENT, TITLE SEARCH, OR ABSTRACT OF TITLE. THE SURVEYOR HAS NOT SEARCHED THE PUBLIC RECORDS FOR EASEMENTS, RIGHTS OF WAY OR RESTRICTIONS. THERE MAY BE EASEMENTS, RIGHTS-OF-WAY, AND RESTRICTIONS THAT MAY BE FOUND IN THE PUBLIC RECORDS.
3. BEARINGS ARE BASED ON THE CENTERLINE OF DUVAL STREET AS SHOWN ON THE FLORIDA DEPARTMENT OF TRANSPORTATION RIGHT OF WAY MAPS. SECTION 29010-(2522), THE CENTERLINE BEARING BEING N88°26'11"E.
4. THIS SURVEY IS BASED ON AN ASSUMED HORIZONTAL DATUM. CONTROL WAS COMPUTED FROM RECOVERED MONUMENTS FROM THE BEARING BASE STATED ABOVE THE HORIZONTAL POSITIONAL ACCURACY MEETS OR EXCEEDS THE STANDARD ESTABLISHED FOR URBAN LAND CLASSIFICATION.

NOTE: According to the Federal Emergency Management Agency Firm Map No. 12023C0284 D, Community No. 120406, effective November 02, 2018, this property appears to be located in Zone "X" (unshaded), an area subject to minimal flooding.

CERTIFIED TO:
PASCAL RODNEY
FIRST BAPTIST CHURCH OF LAKE CITY, INC.
INTEGRITY TITLE SERVICES, LLC
FIRST AMERICAN TITLE INSURANCE COMPANY

B.O.C. = BACK OF CURB	F.B.S. = FORM BOARDS	P.B. = PLAT BOOK	RES. = RESIDENCE	(C) = CALCULATED DATA	AVY = AIR RELEASE VALVE	☐ = PHONE BOX
CATV = CABLE TELEVISION BOX	F.F. = FINISH ELEVATION	P.C. = POINT OF CURVATURE	RANGE = REGISTERED LAND SURVEYOR	(D) = DEED DATA	BOV = BLOW OFF VALVE	☐ = UTILITY/POWER POLE
C.B.S. = CONC. BLOCK STRUCTURE	F.F. = FINISH FLOOR	P.C. = POINT OF COMPOUND CURVE	R/W = RIGHT OF WAY	(M) = MEASURED DATA	☐ = RECLAIMED WATER VALVE	☐ = CLEANOUT
C.B. = CHORD BEARING	FND = FOUND	P.C.P. = PERMANENT CONTROL POINT	S/W = SIDEWALK	(P) = PLAT DATA	☐ = SANITARY MANHOLE	☐ = SANITARY MANHOLE
C.C. = CHORD	H.M. = HORIZONTAL WALKER & ASSOCIATES	P.P. = PROPOSED ELEVATION	SOFT = SQUARE FEET	(E) = EXISTING	☐ = SANITARY VALVE	☐ = SIGN POST
C.H. = CHARLIEK FENCE	I.D. = IDENTIFICATION	P.I. = POINT OF INTERSECTION	TANG. = TANGENT LENGTH OF CURVE		☐ = TRANSFORMER PAD	☐ = UTILITY BOX
C.I.F. = CONCRETE MONUMENT	I.R.P. = 1/2" IRON ROD	P.L.S. = PROFESSIONAL LAND SURVEYOR	T.O.B. = TOP OF BANK		☐ = WATER METER	☐ = WATER VALVE
C.P. = CONCRETE PIPE	L.L. = LENGTH OF CURVE	P.O.B. = POINT OF BEGINNING	T.O.P. = TOP OF CURVE		☐ = WELL	
COR. = CORNER	L.L. = LOOSE LEAF	P.O.C. = POINT OF COMMENCEMENT	U. = UNDERGROUND			
CONC. = CONCRETE	LB. = LICENSED SURVEYING BUSINESS	P.P. = POINT OF REVERSE CURVE	U. = UTILITY			
D. = DRAINAGE	M.A.D. = NAIL AND DISC	P.P. = POINT OF TANGENCY	Δ = DELTA (CENTRAL ANGLE)			
E.O.P. = EDGE OF PAVEMENT	N.R. = NON-RASAL	P.R. = PERMANENT REFERENCE MONUMENT	Δ = DELTA (CENTRAL ANGLE)			
E.L. = ELEVATION	N.T.S. = NOT TO SCALE	P.T. = POINT OF TANGENCY	Δ = DELTA (CENTRAL ANGLE)			
ESMT. = EASEMENT	O/S. = OFFSET	PAGE = PAGE	Δ = DELTA (CENTRAL ANGLE)			
F.B. = FIELD BOOK	O.R. = OFFICIAL RECORD	R. = RADIUS	Δ = DELTA (CENTRAL ANGLE)			
		R.P. = RADIUS POINT	Δ = DELTA (CENTRAL ANGLE)			

SURVEY PREPARED FOR:
PASCAL RODNEY

Address _____

Scale: 1" = 20'

Survey Type	Survey Date	CC	Field Book	Page	By
Boundary	05-26-22	CC	LL	LL	CC

Do Not Use Building Ties to Construct
No Underground Installations or Improvements Have Been Located Except as Noted. The Surveyor Has Not Abstracted The Lands Shown Hereon For Easements, Rights Of Way And Restrictions, If Any. Elevations Refer To National Geodetic Vertical Datum Of 1929, unless otherwise noted. Deed or Plotted Lines. There may be additional restrictions and/or easements that are not recorded on this plot of survey that may be found in the public records of this county.

Revisions	F.B./P.C.	C.C.	Date	By

- ☐ = GAS VALVE
- ☐ = GUY WIRE
- ☐ = IRRIGATION VALVE
- ☐ = LIGHT POLE
- ☐ = MAIL BOX
- ☐ = MEASURED DATA
- ☐ = PLAT DATA
- ☐ = EXISTING
- ☐ = TANGENT LENGTH OF CURVE
- ☐ = TOP OF BANK
- ☐ = TOP OF CURVE
- ☐ = UTILITY
- ☐ = UNDERGROUND
- ☐ = CENTERLINE
- ☐ = DELTA (CENTRAL ANGLE)
- ☐ = LEGAL DESCRIPTION DATA
- ☐ = RECLAIMED WATER VALVE
- ☐ = CLEANOUT
- ☐ = SANITARY MANHOLE
- ☐ = SANITARY VALVE
- ☐ = SIGN POST
- ☐ = TRANSFORMER PAD
- ☐ = UTILITY BOX
- ☐ = WATER METER
- ☐ = WATER VALVE
- ☐ = WELL

E.C. CASTLEBERRY, P.L.S.
PROFESSIONAL LAND SURVEYOR
FLORIDA REGISTRATION NO. 4226
LAND SURVEYING AND MAPPING
723 N.W. BALTIC ROAD
MAYO, FLORIDA PHONE 407 508-8147

NOT VALID WITHOUT THE SIGNATURE AND THE ORIGINAL RAISED SEAL OF A FLORIDA LICENSED SURVEYOR AND MAPPER.

I hereby certify that the foregoing is a true and correct copy of the original record as shown to me by the person who presented it to me for recording in accordance with the Standard Contract for the recording of plats as set forth in Chapter 384.27, Florida Administrative Code, pursuant to Section 422.06, Florida Statutes.

Carroll Castleberry, P.L.S. 4226
Date Signed 5/2/22



Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 00-00-00-12696-000 (41233) | CHURCHES-EX (7100) | 2.819 AC
 C DIV: ALL BLOCKS 23 & 24, EX THE W 150 FT OF THE N 140 FT FOR COURTHOUSE ANNEX & PART OF E DIV:
 BLOCKS 248 & 249. ORB 418-683, 630-319, 639-181 WD 74

Owner: FIRST BAPTIST CHURCH OF LAKE CITY
 182 NE JUSTICE ST
 LAKE CITY, FL 32055

Site: 182 NE JUSTICE St, LAKE CITY

Sales Info
 8/30/2000 \$330,000 V (Q)
 8/9/1991 \$190,909 V (Q)

2022 Working Values
 Mkt Lnd \$614,195 Appraised \$1,745,829
 Ag Lnd \$0 Assessed \$1,745,829
 Bldg \$1,127,334 Exempt \$1,745,829
 XFOB \$4,300
 Just \$1,745,829

Total county:\$0
 city:\$0
 other:\$0
 school:\$0

NOTES:



This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. GrizzlyLogic.com



Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 00-00-00-12696-000 (41233) | CHURCHES-EX (7100) | 2.819 AC
 C DIV: ALL BLOCKS 23 & 24, EX THE W 150 FT OF THE N 140 FT FOR COURTHOUSE ANNEX & PART OF E DIV.
 BLOCKS 248 & 249. ORB 418-683, 630-319, 639-181 WD 74

FIRST BAPTIST CHURCH OF LAKE CITY
 Owner: 182 NE JUSTICE ST
 LAKE CITY, FL 32055
 Site: 182 NE JUSTICE St, LAKE CITY

Sales 8/30/2000 \$330,000 V(Q)
 Info 8/9/1991 \$190,909 V(Q)

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Ag Lnd	\$0	Assessed	\$1,745,829
Bldg	\$1,127,334	Exempt	\$1,745,829
XFOB	\$4,300	county:	\$0
Just	\$1,745,829	city:	\$0
		other:	\$0
		school:	\$0

NOTES:



This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, it's use, or it's interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office. GrizzlyLogic.com

**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	KSF	Total ADT	Total PM Peak
710	Office Building	11.03	1.49	5.24	57.80	7.81

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	15.00	52.40	786.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Office Building	15.00	52.40	786.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis**

Use	Pounds Per 100 SF	Total Floor Area	Total (Tons Per Year)
Office Building	1.00	5240.00	6.20

**based on Tampa Typical Solid Waste Generation Rates

LAND DEVELOPMENT REGULATIONS ANALYSIS

Section 15.2.2

Nature and Requirements of Planning and Zoning Board Report. When pertaining to the rezoning of land, the report and recommendation of the Planning and Zoning Board to the City Council required by Section 15.2.1 shall show that the Planning and Zoning Board has considered the proposed change in relation to the following, where applicable:

1. Conformity with the Comprehensive Plan and the effects upon the Comprehensive Plan

The property is located on an arterial road (US 90/Duval Street) and is connected to all available public utilities – water, sewer, gas and private electric. Lands adjacent to the west are zoned C-CBD, lands to the north are zoned RO and include the Columbia County Administrative Offices, lands to the east are zoned CG; lands to south are also zoned CG.

The rezoning would have no adverse effect based on adjacent zoning designations and existing uses.

2. The existing land use pattern.

The existing land use pattern is Commercial. The proposed C-CBD zoning is compatible.

3. The creation of an isolated district unrelated to adjacent and nearby districts.

Land adjacent to the east is zoned C-CBD. NO isolated district would be created.

4. The impact of the proposed change upon population density pattern and the load on public facilities such as schools, utilities, streets, etc.

The proposed change permits uses currently allowed by the CG zoning. The existing facility has been historically utilized for office space and educational uses for the church. Under the C-CBD zoning these uses remain viable options. No adverse impact is expected on population density or public utilities.

5. The existing district boundaries in relation to existing conditions on the property proposed for change.

The existing and proposed boundaries are consistent with the surrounding properties and condition present on the subject property.

6. Changed or changing conditions which justify the recommended action on the proposed amendment.

The proposed use of the property is commercial, similar to the current use.

7. The impact of the proposed change upon living conditions in the neighborhood.

No adverse impact on living condition is expected.

8. The impact of the proposed change upon traffic with particular regard to congestion or other public safety matters.

No expected significant change in traffic.

9. The impact of the proposed change upon drainage.

None anticipated as site is presently developed with almost entirely impervious surfaces.

10. The impact of the proposed change upon light and air to adjacent areas.

None, site is already developed.

11. The impact of the proposed change upon property values in the adjacent area.

None anticipated as proposed use is consistent with existing use.

12. The impact of the proposed change upon the improvement or development of adjacent property in accordance with existing regulations.

All adjacent properties are developed with uses which conform to the area and either the C-CBD or CG zonings observed along Duval Street and Hernando Avenue in immediate proximity to the subject.

13. The granting of special privilege to an individual owner as contrasted with the needs of the overall public welfare.

All adjacent properties are developed with uses which conform to the area and either the C-CBD or CG zonings observed along Duval Street and Hernando Avenue in immediate proximity to the subject.

14. Substantial reasons why, if any, the property cannot be used in accordance with existing zoning.

The site does not have sufficient onsite parking for use as a stand-alone facility under the CG zoning.

15. The impact of the proposed change with regard to the scale of needs of the neighborhood or the City.

The proposed zoning conforms with adjacent uses observed along Duval Street, Hernando Avenue and Marion Avenue.

16. The availability of alternate adequate sites in the City in districts already permitting such use.

Vacant land along Duval Street within walking distance to the amenities provided by downtown is in very limited supply. Additionally, limited existing facilities available for purchase as alternate developed site.

When pertaining to other proposed amendments of these land development regulations. The Planning and Zoning Board shall consider:

1. The need and justification for the change.

The facility was built in 1945 and served as automotive repair center, services station, ambulatory services, and later as an education/office facility when acquired by the church and adjoined with their existing complex.

Due to the implementation of the Land Development Regulations, this property no longer conforms due to the limited parking. Had the property not been joined with the larger church complex, it would exist today as a legal non-conforming parcel. The proposed C-CBD zoning would bring the property, as a stand-alone facility, back into a conforming status and alleviate future potential for non-conformity.

2. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the Comprehensive Plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the Comprehensive Plan.

The proposed zoning of C-CBD is consistent with surrounding zoning in the downtown area and is consistent with the Commercial designation of the Future Land Use Map.

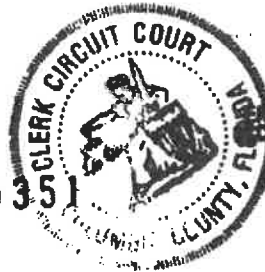
A PARCEL OF LAND LYING IN SECTION 32, TOWNSHIP 3 SOUTH, RANGE 17 EAST, CITY OF LAKE CITY, COLUMBIA COUNTY, FLORIDA, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCE AT THE INTERSECTION OF THE EAST RIGHT OF WAY LINE OF HERNANDO AVENUE (A 33 FOOT RIGHT OF WAY) WITH THE ORIGINAL NORTH RIGHT OF WAY OF DUVAL STREET (A 43 FOOT RIGHT OF WAY) THENCE RUN N01°50'49"W, ALONG THE EAST RIGHT OF WAY LINE OF HERNANDO AVENUE A DISTANCE OF 36.27 FEET TO THE POINT OF BEGINNING; THENCE CONTINUE N01°50'49"W, ALONG SAID EAST RIGHT OF WAY LINE, A DISTANCE OF 32.66 FEET; THENCE RUN N88°49'26"E, A DISTANCE OF 153.78 FEET; THENCE RUN S01°44'16"E, A DISTANCE OF 66.96 FEET TO THE NORTH RIGHT OF WAY LINE OF STATE ROAD NUMBER 10 (U.S. HIGHWAY NUMBER 90); THENCE RUN N89°32'49"W, ALONG SAID NORTH RIGHT OF WAY LINE, A DISTANCE OF 3.64 FEET; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE, S01°50'49"E, A DISTANCE OF 1.00 FOOT; THENCE CONTINUE ALONG SAID NORTH LINE, N89°32'49"W, A DISTANCE OF 1.84 FEET TO THE BEGINNING OF A CURVE CONCAVE NORTHERLY HAVING A RADIUS OF 2811.49 FEET, A CHORD WHICH BEARS N88°36'38"W AND A CHORD DISTANCE OF 91.89 FEET; THENCE RUN ALONG THE ARC OF SAID CURVE AND NORTH RIGHT OF WAY LINE, THROUGH A CENTRAL ANGLE OF 01°52'22" FOR A DISTANCE OF 91.89 FEET TO THE END OF SAID CURVE; THENCE CONTINUE ALONG SAID NORTH LINE, N88°00'14"W, A DISTANCE OF 39.26 FEET; THENCE CONTINUE ALONG SAID NORTH LINE, N38°07'27"W, A DISTANCE OF 22.40 FEET; THENCE CONTINUE ALONG SAID NORTH LINE, N01°50'49"W, A DISTANCE OF 11.00 FEET; THENCE CONTINUE ALONG SAID NORTH RIGHT OF WAY LINE, S88°09'11"W, A DISTANCE OF 4.00 FEET TO THE POINT OF BEGINNING. SUBJECT TO COVENANTS, RESTRICTIONS, AND EASEMENTS OF RECORD.

Rec. 15.00
Exp. date 2310.00

BK 0914 PG2309

Prepared by and return to:
GUY W. NORRIS, ATTORNEY AT LAW
NORRIS, KOBERLEIN & JOHNSON
P. O. DRAWER 2349
LAKE CITY, FL 32056-2349



FILED AND RECORDED IN PUBLIC
RECORDS OF COLUMBIA COUNTY, FL

00-20351

00 NOV 22 PM 3:38

Documentary Stamp 2310.00
Intangible Tax 0
P. DeWitt Cason
Clerk of Court
By JAM D.C.

RECORDS SECTION

JAM

WARRANTY DEED

THIS INDENTURE, Made this 30th day of August, 2000, between JOHN E. HOWELL, Route 15, Box 3802, Lake City, Florida 32024, H. SLADE HOWELL, 384 Friendship Church Road, Boone, North Carolina 28607, and ROCENA H. SANTANGINI, 213 Hunter Trail, Long Leaf Country Club, Southern Pines, North Carolina 28387, Grantors, and FIRST BAPTIST CHURCH OF LAKE CITY, INC., FEIN 59-2990453, 206 East Orange Street, Lake City, Florida 32055, Grantee,

W I T N E S S E T H:

That said Grantors, for and in consideration of the sum of TEN and No/100 (\$10.00) DOLLARS, and other good and valuable considerations to said Grantors in hand paid by said Grantee, the receipt whereof is hereby acknowledged, have granted, bargained and sold to the said Grantee, and Grantee's successors and assigns forever, the following described land, situate, lying and being in Columbia County, Florida, to-wit:

The West one-half (W 1/2) of Lot or Block Two Hundred and Forty Eight (248) in the Eastern Division of the City of Lake City, Florida, situate in the NE 1/4 of NW 1/4 of Section 32, Township 3 South, Range 17 East, said Lot or Block No. 248 bounded on the North by Circle Street and on the South by East Duval Street, as said streets are presently located;

and

The East one-half (E 1/2) of Lot or Block Two Hundred and Forty Eight (248) in the Eastern Division of the City of Lake City, Florida, bounded on the North by Circle Street, on the East by Division Street, on the South by East Duval Street, as said streets are presently located, and on the West by the W 1/2 of said Lot or Block No. 248, and situate in the NE 1/4 of NW 1/4 of Section 32, Township 3 South, Range 17 East, Columbia County, Florida.

SUBJECT TO: Taxes and special assessments for 2000 and subsequent years; reservations, restrictions and

easements of record; easements shown by the plat of said property; existing leases; and easements. BK 0914 PG 2310

Parcel No. 00-00-00-13207-000 and 00-00-00-13208-000 OFFICIAL RECORDS

The above described property does not constitute the homestead of any of the Grantors.

And said Grantors do hereby fully warrant the title to said land and will defend the same against the lawful claims of all persons whomsoever.

IN WITNESS WHEREOF, Grantors have hereunto set their hands and seals the day and year first above written.

Signed, sealed and delivered in the presence of:

Sign [Signature]
Print EMILY W. NORRIS

[Signature] (SEAL)
JOHN E. HOWELL

Sign [Signature]
Print DIANAL A. CREWS

Signed, sealed and delivered in the presence of:

Sign [Signature]
Print HELEN NICOLE HOWELL

[Signature] (SEAL)
H. SLADE HOWELL

Sign [Signature]
Print LESLIE B. WISE

Signed, sealed and delivered in the presence of:

Sign [Signature]
Print ERICA L. STREET

[Signature] (SEAL)
ROCENA H. SANTANGINI

Sign [Signature]
Print JANELLE SMITH

STATE OF FLORIDA
COUNTY OF COLUMBIA

BK 0914 PG 2311

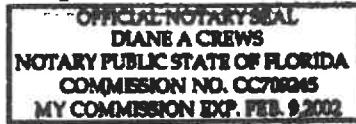
The foregoing instrument was acknowledged before me this 13th day of ~~August~~ ^{September}, 2000, by JOHN E. HOWELL, who is ~~officially recorded~~ OFFICIAL RECORDS to me or has produced n/a as identification.

NOTARY PUBLIC:

Sign Diane A. Crews

Print Diane A. Crews

State of Florida at Large (Seal)
My Commission Expires:



STATE OF NORTH CAROLINA
COUNTY OF WATAUGA

The foregoing instrument was acknowledged before me this 30th day of August, 2000, by H. SLADE HOWELL, who is personally known to me or has presented himself as identification.

NOTARY PUBLIC:

Sign Lisa M Alderson

Print Lisa M Alderson

State of North Carolina at Large (Seal)
My Commission Expires: 6/12/03

STATE OF NORTH CAROLINA
COUNTY OF MOORE

The foregoing instrument was acknowledged before me this 30th day of August, 2000, by ROCENA H. SANTANGINI, who is personally known to me or has presented Erica L. Street, LLC as identification. herself

NOTARY PUBLIC:

Sign Erica L. Street

Print Erica L. Street

State of North Carolina at Large (Seal)
My Commission Expires: December 14, 2004





GROWTH MANAGEMENT DEPARTMENT
 205 North Marion Ave, Lake City, FL 32055
 Phone: 386-719-5750
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Tommy Johnson, Trustee, First Baptist Church of Lake City, Inc. (owner name), owner of property parcel

number 12696-000 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. J. Chase Moses	1.
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

Tommy Johnson (Owner Signature (Notarized)) 6-27-22 (Date)

NOTARY INFORMATION:
 STATE OF: Florida COUNTY OF: Columbia

The above person, whose name is Aaron Johnson, personally appeared before me and is known by me or has produced identification (type of I.D.) FL DL on this 27 day of June, 2022.

Tiffany Redd
 NOTARY'S SIGNATURE

(Seal/Stamp)



Columbia County Tax Collector

generated on 6/22/2022 9:43:18 AM EDT

Tax Record

Last Update: 6/22/2022 9:41:49 AM EDT

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R12696-000	REAL ESTATE	2021			
Mailing Address FIRST BAPTIST CHURCH OF LAKE CITY 182 NE JUSTICE ST LAKE CITY FL 32055		Property Address 217 DUVAL LAKE CITY GEO Number 000000-12696-000			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
02 1758449	001				
<u>Legal Description (click for full description)</u> 00-00-00 7100/71002.82 Acres C DIV: ALL BLOCKS 23 & 24, EX THE W 150 FT OF THE N 140 FT FOR COURTHOUSE ANNEX & PART OF E DIV: BLOCKS 248 & 249. ORB 418-683, 630-319, 639-181 WD 749-764, WD 914-2309,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
BOARD OF COUNTY COMMISSIONERS	7.8150	1,758,449	1,758,449	\$0	\$0.00
CITY OF LAKE CITY	4.9000	1,758,449	1,758,449	\$0	\$0.00
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	1,758,449	1,758,449	\$0	\$0.00
LOCAL	3.6430	1,758,449	1,758,449	\$0	\$0.00
CAPITAL OUTLAY	1.5000	1,758,449	1,758,449	\$0	\$0.00
SUWANNEE RIVER WATER MGT DIST	0.3615	1,758,449	1,758,449	\$0	\$0.00
LAKE SHORE HOSPITAL AUTHORITY	0.0000	0	0	\$0	\$0.00
Total Millage		18.9675	Total Taxes		\$0.00
Non-Ad Valorem Assessments					
Code	Levyng Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$0.00
Total Assessments					\$0.00
Taxes & Assessments					\$0.00
If Paid By				Amount Due	
				\$0.00	

[Prior Years Payment History](#)

Prior Year Taxes Due

NO DELINQUENT TAXES

Project Summary

Project Name: First Baptist Church Re-zoning

Project Number: Z22-05

Parcel Number: 12696-000

Project Notes

- Project type: Re-zoning
- Future land use is: Commercial
- Zoning designation is: Commercial General
- Proposed zoning is to Commercial- Central Business District
- Proposed use of the property: Office Use
- Land is conducive for use: Yes, per the LDR section 4.14.1. It is also contiguous with the C-CBD district along Marion Ave.
- See staff review for notes from directors and city staff for their comments.
- A comprehensive plan amendment is not needed being the future land use is already commercial.

Project Summary

Project Z22-05 is for a re-zoning and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 07/12/2022

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: Z22-05

Project Name: First Baptist Church Annex

Project Address: 157 E Duval St, Lake City, FL 32055

Project Parcel Number: 12696-000

Owner Name: First Baptist Church of Lake City, Inc

Owner Address: 182 NE Justice St. Lake City, FL 32055

Owner Contact Information: telephone number 386-752-5422 e-mail _____

Owner Agent Name: Chase Moses

Owner Agent Address: 184 N Marion Ave. Lake City, FL 32055

Owner Agent Contact Information: telephone 386-755-2774 e-mail chase@candlermoses.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: N/A

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: This petition meets all requirements of the LDR. A CPA is not needed
This petition meets all requirements of the LDR. A CPA is not needed
due to the future land use being commercial.

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: No issues

No issues

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: No issues

Sewer Department: Approved Disapproved Reviewed by: _____

Comments: _____

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: No issues

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: No issues

Customer Service: Approved Disapproved Reviewed by: _____

Comments: _____

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: No issues

Fire Department: Approve Disapprove Reviewed by: Dwight Boozer

Comments: No Concerns At This Time

Police Department: Approve Disapprove Reviewed by: Andy Miles

Comments: No issues

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.