

PLANNING AND ZONING BOARD MEETING

CITY OF LAKE CITY

April 04, 2023 at 5:30 PM

Venue: City Hall

AGENDA

The meeting will be held in the City Council Chambers on the second floor of City Hall located at 205 North Marion Avenue, Lake City, FL 32055. Members of the public may also view the meeting on our YouTube channel. YouTube channel information is located at the end of this agenda.

INVOCATION

ROLL CALL

MINUTES

- [i.](#) Meeting Minutes: 03-07-2023

OLD BUSINESS

- [ii.](#) **CPA23-02 and Z23-02-** Petitions submitted by Carol Chadwick (agent) for Anjan Viplav (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Moderate to Residential Medium Density and changing the zoning district from Residential Single-Family 2 (RSF-2) to Residential Multi-Family 1 (RMF-1) on property describe, as follows; Parcel 08045-000.

NEW BUSINESS

- [iii.](#) **CPA23-03 and Z23-03-** Petitions submitted by Mark Ganskop (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Medium to Residential High Density and changing the zoning district from Residential Office (RO) to Residential Multi-Family 2 (RMF-2) on property described, as follows; Parcels 02461-601 and 02461-602.
- [iv.](#) **SPR23-08,** Petition submitted by Anthony George, JR (agent) for Don Shaw (owner), for a Site Plan Review for Refuge Church of Our Lord Jesus Christ, in the Residential Single Family 3 (RSF-3) Zoning District, and located on Parcel 11428-001, which is regulated by the Land Development Regulations section 4.5.

- v. SPR23-09**, Petition submitted by Ben Johnson (agent) for Home Depot USA, Inc (owner), for a Site Plan Review for Home Depot Tool Rental, in the Commercial Intensive Zoning District, and located on Parcel 02640-000, which is regulated by the Land Development Regulations section 4.13.

WORKSHOP- None

ADJOURNMENT

YouTube Channel Information

Members of the public may also view the meeting on our YouTube channel at:
<https://www.youtube.com/c/CityofLakeCity>

Pursuant to 286.0105, Florida Statutes, the City hereby advises the public if a person decides to appeal any decision made by the City Council with respect to any matter considered at its meeting or hearings, he or she will need a record of the proceedings, and that, for such purpose, he or she may need to ensure that a verbatim record of the proceedings is made, which record includes the testimony and evidence upon which the appeal is to be based.

Pursuant to 286.26, Florida Statutes, persons needing special accommodations to participate in this meeting should contact the City Manager's Office at (386) 719-5768.

File Attachments for Item:

i. Meeting Minutes: 03-07-2023

PLANNING AND ZONING

MEETING MINUTES

Date: 03/07/2023

Roll Call:

Mrs. McKellum- Present
Mr. Nelson- Present
Mr. Cooper-Not Present
Mr. McMahan- Present

Mr. Carter- Present
Mr. Lydick- Present

Approval of Past Minutes-Approve the minutes of the 02/07/2023 Meeting.

Motion By: Mr. Carter

Seconded By: Mr. McKellum

Comments or Revisions: None

Old Business:

Petition # CPA22-09 and Z22-07 Presented By: Carol Chadwick P.E. as Agent

As owner or agent and gives address of: 1208 SW Fairfax Glen, Lake City, FL 32025

Petitioner is Sworn in by: Mr. Lydick

Discussion:

Robert explained that the applicant has decided to withdraw their application and re-submit a new one under petition number CPA23-02 and Z23-02.

Motion to Un-Table: Mrs. McKellum

Motion Seconded By: Mr. Carter

Mrs. McKellum: Aye

Mr. Cooper: Absent

Mr. McMahan: Aye

Mr. Carter: Aye

Mr. Lydick: Nye

Mr. Nelson: Aye

New Business:

Petition # SPR23-07 Presented By: Travis Hastay as Agent

As owner or agent and gives address of: 11801 Research Drive, Alachua, FL 32615

Petitioner is Sworn in by: Mr. Lydick

Discussion:

Robert Angelo introduced SPR23-07. This is for a site plan review to build a new Radiant Credit Union branch. Robert stated that the plan is to demo the old Ken's building and build a Radiant Credit Union in its place. Robert stated that the land is conducive for use per the Land Development Regulation section 4.12.2.8. He stated that they have received a drive way permit from the county to use Hackney Terr and are still working on the driveway permit with the FDOT for Highway 90. Travis stated that they are looking for a site plan approval for Radiant Credit Union. He stated that they are going to eventually redo the parcels to make two parcels instead of three.

PLANNING AND ZONING

MEETING MINUTES

Motion to Approve/Deny By: Mr. Carter

Motion Seconded By: Mrs. McKellum

Mrs. McKellum: Aye **Mr. Cooper:** Absent **Mr. McMahon:** Aye
Mr. Carter: Aye **Mr. Lydick:** Aye **Mr. Nelson:** Aye

Petition # SPR23-06 Presented By: David Winsberg as Agent

As owner or agent and gives address of: PO Box 20815, Lake City, FL 32056

Petitioner is Sworn in by: Mr. Lydick

Discussion:

Robert Angelo introduced SPR23-06. This is for a site plan review to build a new Brooklyn's Coffee site located in the plaza where Farmer's Furniture and Phish Tails are. He stated that the land is conducive for use per the Land Development Regulation section 4.12.2.1. He stated that the issues with the water and sewer that were noted on the staff review have been corrected on the site plan. Mr. Lydick asked if the issues noted on the staff review were addressed and Robert stated that they were.

David stated that they were looking for a site plan approval for her coffee shop. Mr. Lydick asked about the type of building and if it was going to be a modular or what. David said that it was going to be a container and that he was not sure what the building would look like. Mr. McMahon asked if it was going to be a drive thru and how the traffic was going to be routed. David stated that the flow of traffic was shown on page five.

Motion to Approve/Deny By: Mr. Nelson

Motion Seconded By: Mr. Carter

Mrs. McKellum: Aye **Mr. Cooper:** Absent **Mr. McMahon:** Aye
Mr. Carter: Aye **Mr. Lydick:** Aye **Mr. Nelson:** Aye

Petition # CPA23-02 and Z23-02 Presented By: Carol Chadwick P.E. as Agent

As owner or agent and gives address of: 1208 SW Fairfax Glen, Lake City, FL 32025

Petitioner is Sworn in by: Mr. Lydick

Discussion:

Robert Angelo introduced CPA23-02 and Z23-02. He stated that the applicant is looking to rezone the parcel to residential multi-family 1 form residential single family 2. He stated that the future land use amendment and the rezoning would allow for 8 dwelling units per acre. This would allow for 175 units total. He states that the City does have concerns with the water and sewer and that would be addressed during the site plan review. He also stated that the County has concerns with traffic and is doing a traffic study thru a third-party company. Robert stated that we as a City look at the max build out not what the conceptual plan is. Mr. Lydick asked about the prior petition and how many units if

PLANNING AND ZONING

MEETING MINUTES

would allow verse the new petition. Robert stated that the new zoning would allow for a max build out of 175 units where the first petition would allow for 400 plus units.

Carol requested the board to table the project till the April meeting so that the County has time to review the traffic study.

Mr. Carter asked Steve Brown where we were with the county. Mr. Brown stated that we have met with Kevin Kirby, Chad Williams, and Troy Register from FDOT to discuss the projects and traffic on Bascom Norris Dr. He stated that the county is doing a traffic study that will include the max build outs for both projects. He stated that the City will do the same for sewer and water that we will take into count both projects and what upgrades are needed.

Public Comment

Mark Devine, Brenda Souson, Sophia Merit, Barbara Limley, Elaine Phillips, Suzanne Wiencek, Liz Fryer.

Citizens came forward and expressed their concerns and comments about the rezoning for Tennis Forever. Some were in support, if it would get the traffic fixed and drainage problems fixed. Some liked to see new development. Others expressed concerns with traffic, school needs, planes could crash into development, drainage, flooding, would like to see a site plan, more clarity on concerns, setting a president with the zoning which would allow for more changes to other land, need more tennis courts, and we need more housing.

Motion to Table: Mr. Carter

Motion Seconded By: Mrs. McKellum

Mrs. McKellum: Aye **Mr. Cooper:** Absent **Mr. McMahon:** Aye

Mr. Carter: Aye **Mr. Lydick:** Nye **Mr. Nelson:** Aye

Workshop: Difference between PRD and typical rezoning

Robert discussed the difference between a PRD and a typical rezoning. He stated that a PRD requires a more in-depth plan where a rezoning does not. A PRD if a developer does not move forward or decides to cancel the project the land reverts back to the original zoning. A typical rezoning does not.

Mr. Lydick closed the meeting.

Motion to Adjourn by: Mr. Carter

Time: 6:44 pm

Motion Seconded By: Mr. Nelson

PLANNING AND ZONING

MEETING MINUTES

Mr. Lydick, Board Chairperson

Date Approved

Robert Angelo, Secretary

Date Approved

File Attachments for Item:

ii. CPA23-02 and Z23-02- Petitions submitted by Carol Chadwick (agent) for Anjan Viplav (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Moderate to Residential Medium Density and changing the zoning district from Residential Single-Family 2 (RSF-2) to Residential Multi-Family 1 (RMF-1) on property describe, as follows; Parcel 08045-000.



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386) 719-5750
 E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee \$ _____
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

COMPREHENSIVE PLAN AMENDMENT

Small Scale: \$750.00 Large Scale: \$1,500.00

A. PROJECT INFORMATION

1. Project Name: Tennis Forever
2. Address of Subject Property: 2189 SW Bascom Norris Drive, Lake City, FL
3. Parcel ID Number(s): 06-4S-17-08045-000
4. Existing Future Land Use Map Designation: Residential-moderate
5. Proposed Future Land Use Map Designation: Residential-medium
6. Zoning Designation: RSF-2
7. Acreage: 22.05
8. Existing Use of Property: vacant
9. Proposed use of Property: Multi-family housing

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: (307)680.1772 Fax: () Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Tennis forever LLC
 Mailing Address: PO Box 219
 City: Lake City State: FL Zip: 32056
 Telephone: (321)315.5319 Fax: () Email: anjanviplav@icloud.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: na
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser’s Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
4. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. Proof of Ownership (i.e. deed).
7. Agent Authorization Form (signed and notarized).
8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
9. Fee. The application fee for a Comprehensive Plan Amendment is as follows:
 - a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = \$750.00
 - b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = \$1,500.00 or actual city cost
 - c. Text Amendment to the Comprehensive Plan = \$750.00

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

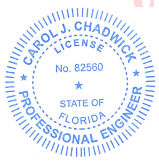
THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

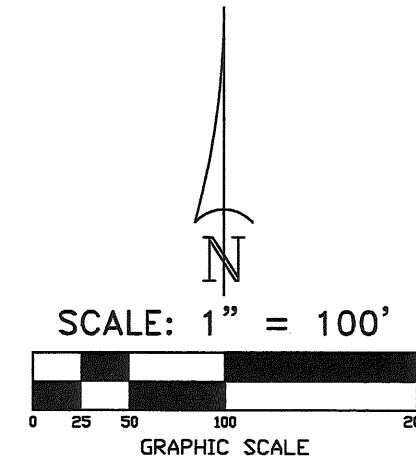
Date


Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol
Chadwick
Date: 2023.02.08
09:47:20 -05'00'

A BOUNDARY SURVEY IN: SECTION 6, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA

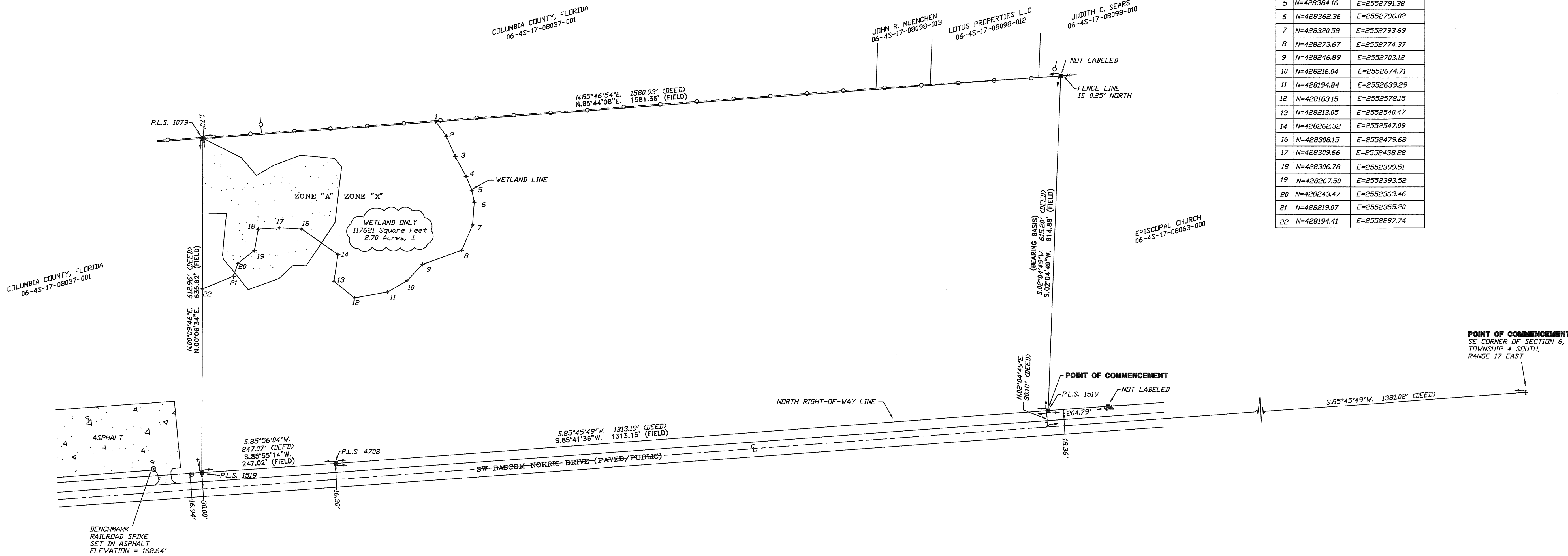
- SURVEYOR'S NOTES:**
- BOUNDARY BASED ON MONUMENTATION FOUND.
 - BEARINGS ARE BASED ON A DEED BEARING OF S.02°04'49"W, FOR THE EAST LINE THEREOF.
 - IT IS APPARENT THAT SOME PORTIONS OF THIS PARCEL ARE IN ZONE "A" AND MAY BE SUBJECT TO FLOODING. HOWEVER, NO BASE FLOOD ELEVATION HAS BEEN DETERMINED FOR ZONE "A" AS PER FLOOD INSURANCE RATE MAP, DATED 2 NOVEMBER, 2018 FIRM PANEL NO. 1202300920. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
 - THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 - IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 - THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 - DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 - THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 - THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

DESCRIPTION:
COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S.85°45'49"W, ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02' FEET, THENCE N.02°04'49"E, 30.18' FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S.85°45'49"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19' FEET, THENCE S.85°56'04"W, STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07' FEET, THENCE N.00°09'46"E, 612.96' FEET, THENCE N.85°46'54"E, 1580.93' FEET, THENCE S.02°04'49"W, 615.20' FEET TO THE POINT OF BEGINNING, SAID LANDS BEING A PART OF THE SW 1/4 OF SE 1/4 AND PART OF THE SE 1/4 OF SW 1/4.



SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
○	IRON PIPE FOUND
×	IRON PIN AND CAP SET
+	2" CUT IN PAVEMENT
○	CALCULATED PROPERTY CORNER
+	NAIL & DISK
○	POWDER POLE
+	FIRE HYDRANT
+	WATER METER
+	UTILITY BOX
○	WELL
○	SANITARY MANHOLE
○	CENTERLINE
---	SECTION LINE
---	ELECTRIC LINES
---	WIRE FENCE
---	CHAIN LINK FENCE
---	WOODEN FENCE
---	PLAT
---	AS PER A PLAT OF RECORD
---	DEED
---	AS PER A DEED OF RECORD
---	CALC.
---	AS PER CALCULATIONS
---	FIELD
---	AS PER FIELD MEASUREMENTS
---	P.R.M.
---	PERMANENT REFERENCE MARKER
---	P.C.P.
---	PERMANENT CONTROL POINT



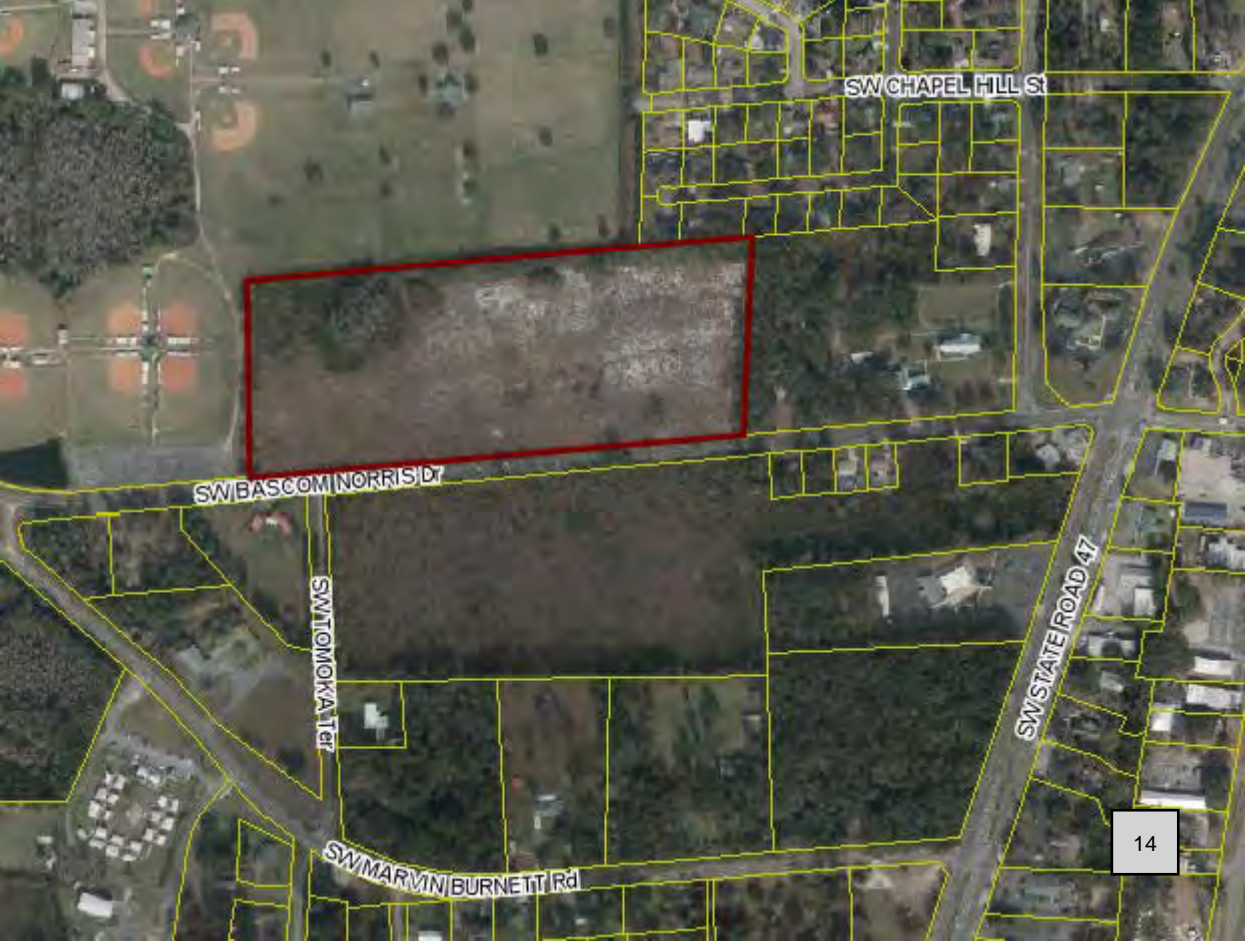
WETLAND TABLE

NO.	NORTH	EAST
1	N=428509.94	E=2552722.66
2	N=428482.47	E=2552742.90
3	N=428445.05	E=2552760.27
4	N=428409.27	E=2552780.37
5	N=428384.16	E=2552791.38
6	N=428362.36	E=2552796.02
7	N=428320.58	E=2552793.69
8	N=428273.67	E=2552774.37
9	N=428246.89	E=2552703.12
10	N=428216.04	E=2552674.71
11	N=428194.84	E=2552639.29
12	N=428183.15	E=2552578.15
13	N=428213.05	E=2552540.47
14	N=428262.32	E=2552547.09
16	N=428308.15	E=2552479.68
17	N=428309.66	E=2552438.28
18	N=428306.78	E=2552399.51
19	N=428267.50	E=2552393.52
20	N=428243.47	E=2552363.46
21	N=428219.07	E=2552355.20
22	N=428194.41	E=2552297.74

BRITT SURVEYING & MAPPING, LLC
 LAND SURVEYORS AND MAPPERS, L.B. # 8016
 2086 SW MAIN BLVD, SUITE 112
 LAKE CITY, FLORIDA 32025
 TELEPHONE: (386) 752-5573 FAX: (386) 752-5573
 www.brittsurveying.com

BRITT
 SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
 FIELD SURVEY DATE: 05/14/2020
 DRAWING DATE: 06/02/2020
 L. SCOTT BRITT, F.S.M.
 CERTIFICATION # 5797
 NOTES: UNLESS IT BEARS THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL OF THE SURVEYOR, THIS DRAWING IS NOT VALID. AND IS NOT VALID.

CERTIFIED TO:
 FIELD BOOK: SEE _____ PAGE(S): FILE _____
 JOB NUMBER: **L-26567**



SW CHAPEL HILL ST

SW BASCOM/NORRIS DR

SW TOMOKA TER

SW STATE ROAD 47

SW MARVIN/BURNETT RD

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Tennis Forever Concurrency Impact Analysis

The site is currently vacant. The maximum allowed dwelling units is 88. Two bedroom dwelling units were used for these calculations.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 220
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table I
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table I
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

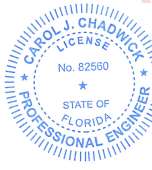
Summary of analyses:

- Trip generation: 585 ADT & 55 Peak PM trips
- Potable Water: 17600 gallons per day
- Potable Water: 17600 gallons per day
- Solid Waste: 128 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by
 Carol Chadwick
 DN: c=US,
 o=Florida,
 dnQualifier=A01410
 D0000017EB6D924
 CE0005954C,
 cn=Carol Chadwick
 Date: 2023.02.08 09:40:44 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22399

□

**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	DU	Total ADT	Total PM Peak
220	Apartment	6.65	0.62	88.00	585.20	54.56

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	200.00	88.00	17600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	200.00	88.00	17600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	bedrooms	Total (Tons Per Year)
Apartment	4.00	176.00	128.00

**4# per bedroom per day

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 19, 2022

re: Tennis Forever Comprehensive Plan Consistency Analysis

The Tennis Forever proposed comprehensive plan amendment change is consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject property fronts has direct access to SW Bascom Norris Drive. No traffic will impact any residential neighborhoods.

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private subregional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject property fronts has direct access to SW Bascom Norris Drive which is an arterial road.

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: Multi-family housing is needed in this area due to the amount of people relocating here.

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: The owner would like to begin development as soon a reasonably possible.

- Policy I.1.4 The City shall continue to maintain standards for the coordination and siting of proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proximity of the site to existing amenities will not cause any adverse effects to existing land uses.

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

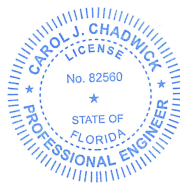
Consistency: the site will be served by existing sewer and water systems.

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed commercial development is compatible with the adjacent property and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
 DN: c=US, o=Florida,
 dnQualifier=A01410D0000017EB6
 D924CE0005954C, cn=Carol
 Chadwick
 Date: 2023.02.08 09:40:13 -05'00'

Carol Chadwick, P.E.

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/6/2022

Parcel: << **06-4S-17-08045-000 (45451)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY, FL 32056		
Site	2183 SW Dr, LAKE CITY 2069 SW BASCOM NORRIS Dr		
Description*	COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD ...more>>>		
Area	22.05 AC	S/T/R	06-4S-17
Use Code**	NON AG ACREAGE (9900)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$149,400	Mkt Land	\$496,125
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$149,400	Just	\$496,125
Class	\$0	Class	\$0
Appraised	\$149,400	Appraised	\$496,125
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$149,400	Assessed	\$496,125
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$149,400 city:\$149,400 other:\$0 school:\$149,400	Total Taxable	county:\$496,125 city:\$496,125 other:\$0 school:\$496,125

Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
7/14/2022	\$100	1471/1278	WD	V	U	11
5/27/2020	\$432,500	1412/0723	WD	V	Q	01
5/27/2020	\$185,400	1412/0718	WD	V	Q	01
5/14/2020	\$100	1412/0710	WD	V	U	30
2/6/2002	\$100	0948/0436	WD	V	U	01

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	6.640 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$149,400
9900	AC NON-AG (MKT)	15.410 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$346,725

Prepared by:

Branden L. Strickland, Esq.
Strickland Law Firm, P.L.
283 NW Cole Terrace
Lake City, FL 32055
File #: 22-0572

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, names, addresses, tax identification number and legal description furnished by parties.

Inst: 202212014112 Date: 07/19/2022 Time: 3:46PM
Page 1 of 3 B: 1471 P: 1278, James M Swisher Jr, Clerk of Court
Columbia County, By: VC *W*
Deputy Clerk Doc Stamp-Deed: 0.70

Warranty Deed

THIS WARRANTY DEED, made this 1st day of July, 2022, between North Florida International School LLC, a Florida Limited Liability Company, and Tennis Forever Limited Liability Company, a Florida Limited Liability Company (herein Grantor), to Tennis Forever Limited Liability Company, a Florida Limited Liability Company, whose address is 1361 SW Sisters Welcome Road, Lake City, FL 32025 (hereinafter Grantee).

The terms Grantor and Grantee, shall include their respective heirs, devisees, personal representatives, successors, and assigns; any gender shall include all genders, the plural number shall include the singular and the singular number shall include the plural.

WITNESSETH:

That said Grantor, for and in consideration of the sum of \$10.00, and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant and convey to Grantees forever the following described property in **Columbia County, Florida**:

See Exhibit "A" Attached Hereto and by this Reference Made a Part Thereof.

SUBJECT TO all reservations, restrictions and easements of record, if any.

SUBJECT to easements and restrictions of record and taxes accruing subsequent to the prior year.

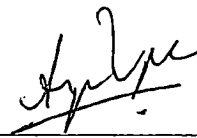
TOGETHER WITH ALL the tenements, hereditaments, privileges, appurtenances, thereto belonging or in any way appertaining to the said property.


Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

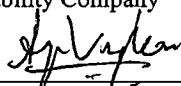
IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed on this date the year first above written.

Signed, Sealed, and Delivered in the Presence of:


WITNESS Madison Williams


Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company


WITNESS M. Earl S. Harrell


Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company

STATE OF FLORIDA

COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, by means of physical presence, personally appeared Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company and Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company, to me known to be the person described in and who executed the foregoing instrument that he/she acknowledged before me that he executed the same, and who provided DL as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 14th day of July, 2022.

(SEAL)


NOTARY PUBLIC

My Commission Expires:



MICHAEL H. HARRELL
Notary Public
State of Florida
Comm# HH203548
Expires 11/30/2025

22-0572

Exhibit "A"

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 85°45'49" W ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N 2°04'49" E, 30.18 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S 85°45'49" W ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19 FEET, THENCE S 85°56'04" W STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N 0°09'46" E, 612.96 FEET, THENCE N 85°46'54" E, 1580.93 FEET, THENCE S 2°04'49" W, 615.20 FEET TO THE POINT OF BEGINNING. SAID LANDS BEING A PART OF THE SW ¼ OF SE ¼ AND A PART OF THE SW ¼ OF THE SE ¼ AND A PART OF THE SE ¼ OF SW ¼.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company
TENNIS FOREVER LIMITED LIABILITY COMPANY

Filing Information

Document Number	L15000082757
FEI/EIN Number	47-4110918
Date Filed	05/11/2015
Effective Date	05/11/2015
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	09/29/2016

Principal Address

250 NW MAIN BLVD
UNIT 219
Lake City, FL 32056

Changed: 07/18/2022

Mailing Address

P.O. BOX 219
Lake City, FL 32055

Changed: 07/18/2022

Registered Agent Name & Address

VIPLAV, ANJAN
1361 SW SISTERS WELCOME RD
LAKE CITY, FL 32025

Name Changed: 09/29/2016

Address Changed: 07/31/2015

Authorized Person(s) Detail

Name & Address

Title Authorized Member

VIPLAV, ANJAN
1363 SW Sisters Welcome Road
Lake City, FL 32025

Annual Reports

Report Year	Filed Date
2021	03/29/2021
2021	04/29/2021
2022	03/23/2022

Document Images

03/23/2022 -- ANNUAL REPORT	View image in PDF format
04/29/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
03/29/2021 -- ANNUAL REPORT	View image in PDF format
01/16/2020 -- ANNUAL REPORT	View image in PDF format
04/25/2019 -- ANNUAL REPORT	View image in PDF format
04/16/2018 -- ANNUAL REPORT	View image in PDF format
04/05/2017 -- ANNUAL REPORT	View image in PDF format
09/29/2016 -- REINSTATEMENT	View image in PDF format
08/14/2015 -- CORLCRACHG	View image in PDF format
05/11/2015 -- Florida Limited Liability	View image in PDF format

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Site Plan
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: ANJAN VIPLAV

Applicant/Owner's Title: MEMBER.

On Behalf of: TENNIS FOREVER LLC
(Company Name, if applicable)

Telephone: 3213155319 Date: 11/01/2022

Applicant/Owner's Signature: [Signature]

Print Name: ANJAN VIPLAV

STATE OF FLORIDA
COUNTY OF COLUMBIA

The Foregoing instrument was acknowledged before me this 1ST day of NOVEMBER, 20 22, by _____, whom is personally known by me OR produced identification . Type of Identification Produced DRIVING LICENSE.

[Signature]
(Notary Signature) (SEAL)



Columbia County Tax Collector

generated on 12/7/2022 4:15:22 PM EST

Tax Record

Last Update: 12/7/2022 4:14:51 PM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R08045-000	REAL ESTATE	2022			
Mailing Address		Property Address			
TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY FL 32056		2183 LAKE CITY			
		GEO Number			
		064S17-08045-000			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
06-4S-17 9900/000022.05 Acres COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD 1471-1278,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	496,125	0	\$496,125	\$2,431.01
BOARD OF COUNTY COMMISSIONERS	7.8150	496,125	0	\$496,125	\$3,877.22
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	496,125	0	\$496,125	\$371.10
LOCAL	3.2990	496,125	0	\$496,125	\$1,636.72
CAPITAL OUTLAY	1.5000	496,125	0	\$496,125	\$744.19
SUWANNEE RIVER WATER MGT DIST	0.3368	496,125	0	\$496,125	\$167.09
LAKE SHORE HOSPITAL AUTHORITY	0.0001	496,125	0	\$496,125	\$0.05
Total Millage	18.5989				
		Total Taxes			\$9,227.38
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$50.40
Total Assessments					\$50.40
Taxes & Assessments					\$9,277.78

If Paid By	Amount Due
11/30/2022	\$8,906.67
12/31/2022	\$8,999.45
1/31/2023	\$9,092.22
2/28/2023	\$9,185.00
3/31/2023	\$9,277.78

[Prior Years Payment History](#)

Prior Year Taxes Due
NO DELINQUENT TAXES

[Click Here To Pay Now](#)



GROWTH MANAGEMENT
 205 North Marion Ave
 Lake City, Florida 32055
 Telephone (386) 719-5750
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY

Application # Z _____
 Application Fee \$ _____
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Less Than or Equal to 10 Acres: \$750.00 Greater Than 10 Acres: \$1,000.00 or actual cost

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: Tennis Forever
2. Address of Subject Property: 2189 SW Bascom Norris Drive, Lake City, FL
3. Parcel ID Number(s): 06-4S-17-08045-000
4. Future Land Use Map Designation: Residential-moderate
5. Existing Zoning Designation: RSF-2
6. Proposed Zoning Designation: RMF-1
7. Acreage: 22.05
8. Existing Use of Property: Vacant
9. Proposed use of Property: Multi-family housing

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Carol Chadwick, PE Title: Civil Engineer
 Company name (if applicable): _____
 Mailing Address: 1208 SW Fairfax Glen
 City: Lake City State: FL Zip: 32025
 Telephone: () 307.680.1772 Fax: () Email: ccpewyo@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): Tennis forever LLC
 Mailing Address: PO Box 219
 City: Lake City State: FL Zip: 32056
 Telephone: (321)315.5319 Fax: () Email: anjanviplav@icloud.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: na
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property: Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Boundary Sketch or Survey with bearings and dimensions.
2. Aerial Photo (can be obtained via the Columbia County Property Appraiser’s Office).
3. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.
4. An Analysis of the Requirements of Article 12 of the Land Development Regulations:
 - a. Whether the proposed change would be in conformance with the county's comprehensive plan and would have an adverse effect on the county's comprehensive plan.
 - b. The existing land use pattern.
 - c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
 - d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
 - e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
 - f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
 - g. Whether the proposed change will adversely influence living conditions in the neighborhood.
 - h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
 - i. Whether the proposed change will create a drainage problem.
 - j. Whether the proposed change will seriously reduce light and air to adjacent areas.

- k. Whether the proposed change will adversely affect property values in the adjacent area.
 - l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
 - m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
 - n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
 - o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.

 - p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
 - i. The need and justification for the change.
 - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.
5. Legal Description with Tax Parcel Number (In Microsoft Word Format).
 6. Proof of Ownership (i.e. deed).
 7. Agent Authorization Form (signed and notarized).
 8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
 9. Fee. The application fee for a Site Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

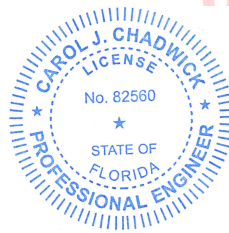
A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol _____
Chadwick
Date: 2023.02.08 Date
09:49:43 -05'00'

STATE OF FLORIDA
COUNTY OF _____

The foregoing instrument was acknowledged before me this ____ day of _____, 20____, by (name of person acknowledging).

(NOTARY SEAL or STAMP)

Signature of Notary

Printed Name of Notary

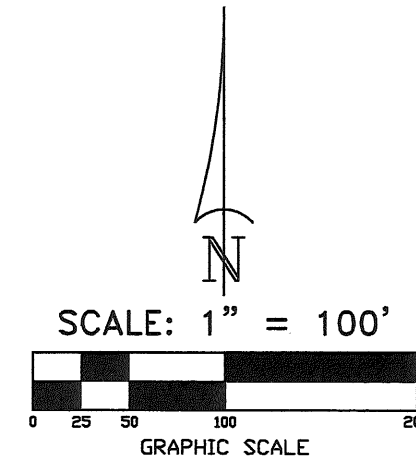
Personally Known _____ OR Produced Identification _____
Type of Identification Produced

A BOUNDARY SURVEY IN: SECTION 6, TOWNSHIP 6 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA

SURVEYOR'S NOTES:

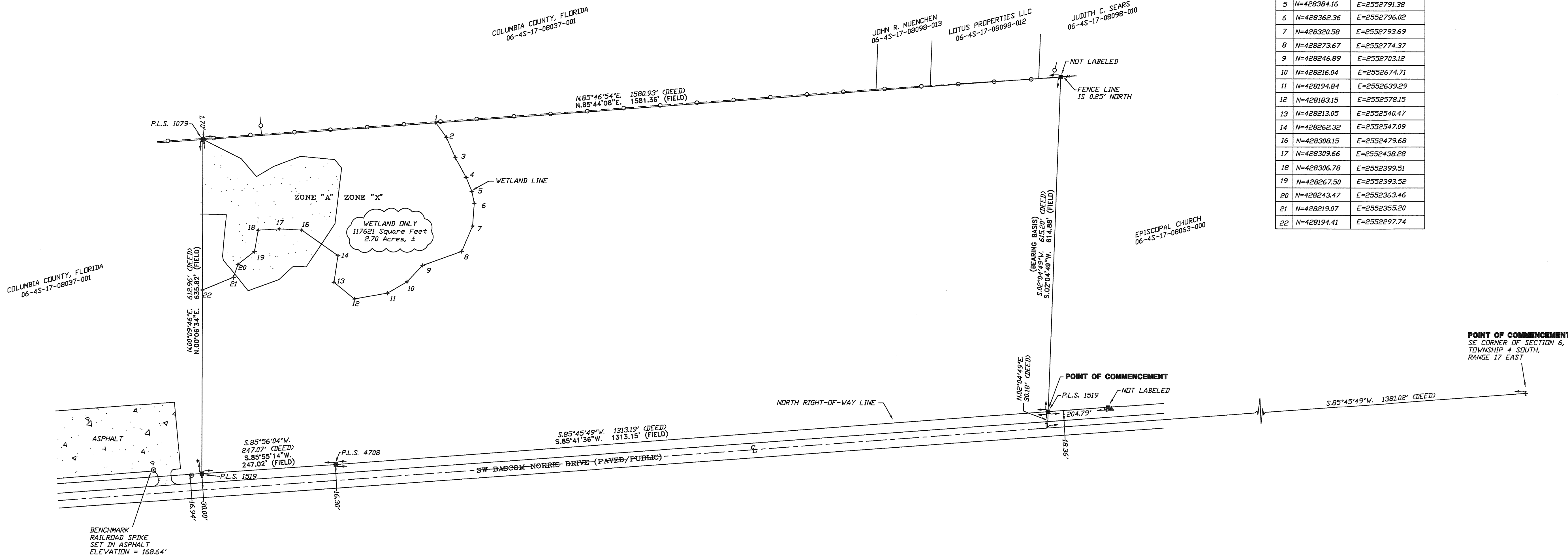
- BOUNDARY BASED ON MONUMENTATION FOUND.
- BEARINGS ARE BASED ON A DEED BEARING OF S.02°04'49"W, FOR THE EAST LINE THEREOF.
- IT IS APPARENT THAT SOME PORTIONS OF THIS PARCEL ARE IN ZONE "A" AND MAY BE SUBJECT TO FLOODING. HOWEVER, NO BASE FLOOD ELEVATION HAS BEEN DETERMINED FOR ZONE "A" AS PER FLOOD INSURANCE RATE MAP, DATED 2 NOVEMBER, 2018 FIRM PANEL NO. 1202300920. HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO CHANGE.
- THE IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
- IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
- THIS SURVEY WAS COMPLETED WITHOUT THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
- DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
- THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
- THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.

DESCRIPTION:
COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA, AND RUN THENCE S.85°45'49"W, ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02' FEET, THENCE N.02°04'49"E, 30.18' FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S.85°45'49"W, ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19' FEET, THENCE S.85°56'04"W, STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07' FEET, THENCE N.00°09'46"E, 612.96' FEET, THENCE N.85°46'54"E, 1580.93' FEET, THENCE S.02°04'49"W, 615.20' FEET TO THE POINT OF BEGINNING, SAID LANDS BEING A PART OF THE SW 1/4 OF SE 1/4 AND PART OF THE SE 1/4 OF SW 1/4.



SYMBOL LEGEND:

■	4"x4" CONCRETE MONUMENT FOUND
□	4"x4" CONCRETE MONUMENT SET
○	IRON PIPE FOUND
+	IRON PIN AND CAP SET
✕	"x" CUT IN PAVEMENT
+	CALCULATED PROPERTY CORNER
○	NAIL & DISC
○	POWDER POLE
+	FIRE HYDRANT
+	WATER METER
+	UTILITY BOX
○	WELL
○	SANITARY MANHOLE
○	CENTERLINE
---	SECTION LINE
---	ELECTRIC LINES
---	WIRE FENCE
---	CHAIN LINK FENCE
---	WOODEN FENCE
---	PLAT
---	AS PER A PLAT OF RECORD
---	DEED
---	AS PER A DEED OF RECORD
---	CALC.
---	AS PER CALCULATIONS
---	FIELD
---	AS PER FIELD MEASUREMENTS
---	P.R.M.
---	PERMANENT REFERENCE MARKER
---	P.C.P.
---	PERMANENT CONTROL POINT



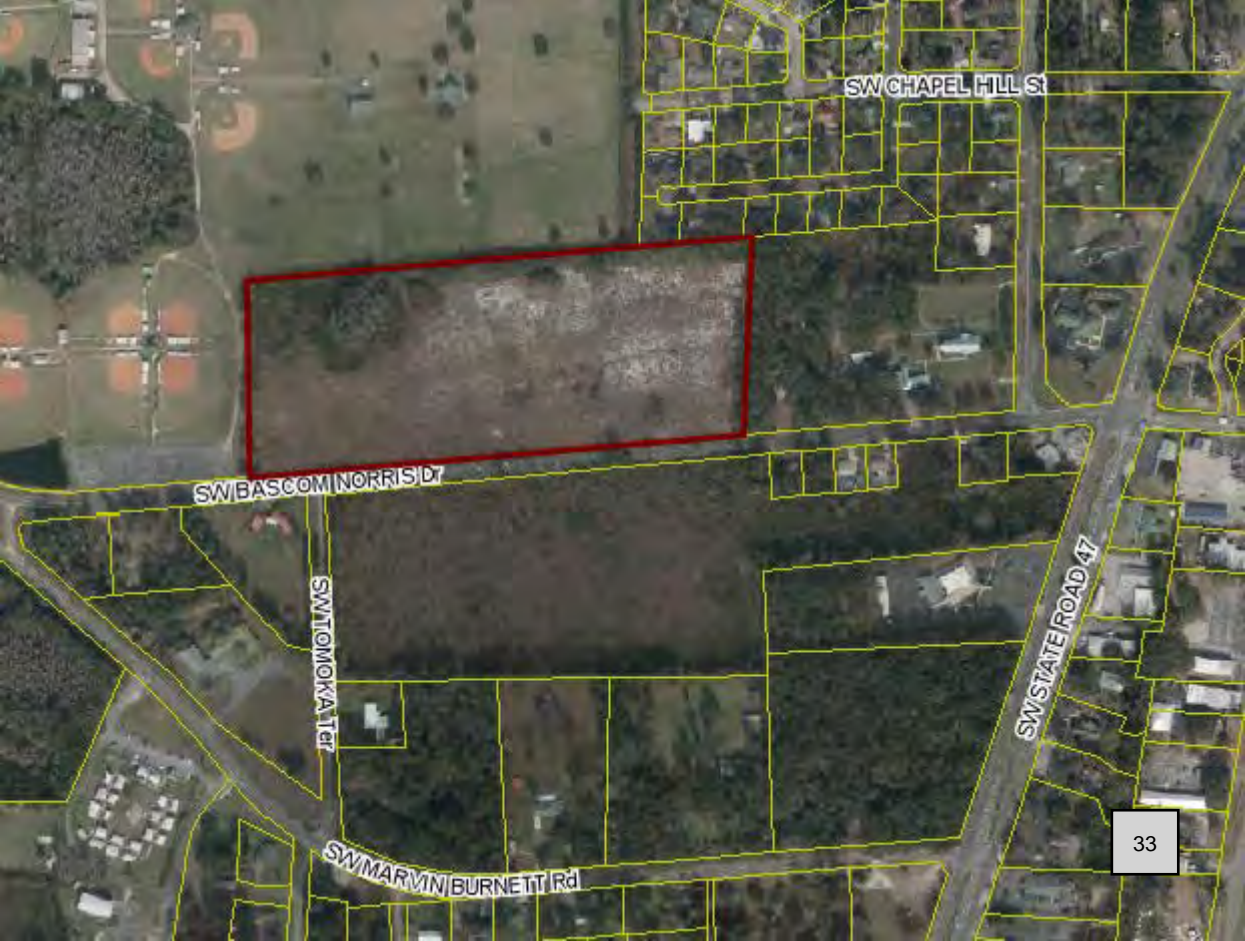
WETLAND TABLE

NO.	NORTH	EAST
1	N=428509.94	E=2552722.66
2	N=428482.47	E=2552742.90
3	N=428445.05	E=2552760.27
4	N=428409.27	E=2552780.37
5	N=428384.16	E=2552791.38
6	N=428362.36	E=2552796.02
7	N=428320.58	E=2552793.69
8	N=428273.67	E=2552774.37
9	N=428246.89	E=2552703.12
10	N=428216.04	E=2552674.71
11	N=428194.84	E=2552639.29
12	N=428183.15	E=2552578.15
13	N=428213.05	E=2552540.47
14	N=428262.32	E=2552547.09
16	N=428308.15	E=2552479.68
17	N=428309.66	E=2552438.28
18	N=428306.78	E=2552399.51
19	N=428267.50	E=2552393.52
20	N=428243.47	E=2552363.46
21	N=428219.07	E=2552355.20
22	N=428194.41	E=2552297.74

BRITT SURVEYING & MAPPING, LLC
 LAND SURVEYORS AND MAPPERS, L.B. # 8016
 2086 SW MAIN BLVD, SUITE 112
 LAKE CITY, FLORIDA 32025
 TELEPHONE: (386) 752-5573 FAX: (386) 752-5573
 www.brittsurveying.com

BRITT
 SURVEYOR'S CERTIFICATION:
 I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 5J-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 472.027, FLORIDA STATUTES.
 FIELD SURVEY DATE: 05/14/2020
 DRAWING DATE: 06/02/2020
 L. SCOTT BRITT, F.S.M.
 CERTIFICATION # 5797
 I, L. SCOTT BRITT, F.S.M., HEREBY CERTIFY THAT I AM THE ORIGINAL SURVEYOR OF THIS SURVEY AND THE ORIGINAL SIGNATURE AND THE ORIGINAL SEAL OF THE SURVEYOR ARE ON THIS DRAWING, SKETCH, PLAT OR MAP IS FOR INFORMATIONAL PURPOSES ONLY AND IS NOT VALID.

CERTIFIED TO:
 FIELD BOOK: SEE _____ PAGE(S): FILE _____
 JOB NUMBER: **L-26567**



SW CHAPEL HILL ST

SW BASCOM/NORRIS DR

SW TOMOKA TER

SW STATE ROAD 47

SW MARVIN/BURNETT RD

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Tennis Forever Concurrency Impact Analysis

The site is currently vacant. The maximum allowed dwelling units is 88. Two bedroom dwelling units were used for these calculations.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 9th edition, ITE code 220
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table I
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table I
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

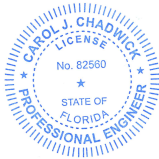
Summary of analyses:

- Trip generation: 585 ADT & 55 Peak PM trips
- Potable Water: 17600 gallons per day
- Potable Water: 17600 gallons per day
- Solid Waste: 128 tons per year

See attached Concurrency Worksheet.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by Carol Chadwick
 DN: c=US, o=Florida,
 dnQualifier=A01410D0000017EB6-
 D924CE0005954C, cn=Carol
 Chadwick
 Date: 2023.02.08 09:49:08 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

CC Job #FL22399



**REVISED CONCURRENCY
WORKSHEET**

Trip Generation Analysis

ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	DU	Total ADT	Total PM Peak
220	Apartment	6.65	0.62	88.00	585.20	54.56

Potable Water Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	200.00	88.00	17600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	200.00	88.00	17600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	bedrooms	Total (Tons Per Year)
Apartment	4.00	176.00	128.00

**4# per bedroom per day

CAROL CHADWICK, P.E.

Civil Engineer

1208 S.W. Fairfax Glen

Lake City, FL 32025

307.680.1772

ccpewyo@gmail.com

www.carolchadwickpe.com

December 7, 2022

re: Tennis Forever meets of the Requirements of Article 12 of the Land Development Regulations

The Tennis Forever proposed zoning change is consistent with Lake City's requirements of Article 12 of the Land Development Regulations.

- a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.

- b) The existing land use pattern.

Analysis: The proposed zoning change would create a multi-family parcel with direct access to SW Bascom Norris Drive. It is immediately adjacent to the sports complex with only a small portion adjacent to single family residential. Other parcels with zoning are located in the area but are also isolated from sites with the same zoning.

- c) Possible creation of an isolated district unrelated to adjacent and nearby districts.

Analysis: Other parcels with zoning are located in the area but are also isolated from sites with the same zoning. No single family residential zoned property would be impacted.

- d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.

Analysis: The site is located on SW Bascom Norris Drive which is an arterial road. The City of Lake City was consulted prior to submitting this application and are aware of the water and sewer demand. Additional students may be present in the district as a result of the development.

- e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

Analysis: The proposed zoning change would create a multi-family parcel with direct access to SW Bascom Norris Drive. It is immediately adjacent to the sports complex with only a small portion adjacent to single family residential. Other parcels with zoning are located in the area but are also isolated from sites with the same zoning.

- f) Whether changed or changing conditions make the passage of the proposed amendment

□

necessary.

Analysis: Housing is needed in the area due to the increase in people moving to the area.

- g) Whether the proposed change will adversely influence living conditions in the neighborhood.

Analysis: The proposed change will not adversely affect living condition in the neighborhood as the only access will be directly from SW Bascom Norris Drive.

- h) Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.

Analysis: Increase in traffic will be on an arterial road.

- i) Whether the proposed change create a drainage problem.

Analysis: No drainage problems will be created with the zoning change.

- j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

Analysis: The site development will not reduction of light or air to adjacent areas.

- k) Whether the proposed change will adversely affect the property values in the adjacent area.

Analysis: The zoning change will not adversely affect property values in the area.

- l) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties as the area.

- m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

Analysis: The proposed change will not grant special privileges to the owner.

- n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

Analysis: The owners wants to construct multi-family housing which is not compatible with the current zoning.

- o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the County.

Analysis: Overall, there is a need for multi-family properties to service the growth in the area.

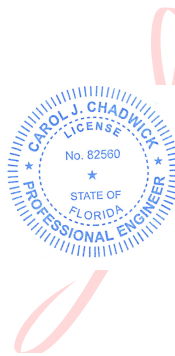
- p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations the Planning and Zoning Board shall consider and study:

- i. The need and justification for the change.
- ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

Analysis: The owner purchased this property some years ago and would like to develop it.

Please contact me at 307.680.1772 if you have any questions.

Respectfully,



Digitally signed by
Carol Chadwick
DN: c=US,
o=Florida,
dnQualifier=A014
10D0000017EB6D
924CE0005954C,
cn=Carol
Chadwick
Date: 2023.02.08
09:48:35 -05'00'

Carol Chadwick, P.E.

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL22399

Columbia County Property Appraiser

Jeff Hampton

2022 Working Values

updated: 10/6/2022

Parcel: << **06-4S-17-08045-000 (45451)** >>

Aerial Viewer Pictometry Google Maps

Owner & Property Info

Owner	TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY, FL 32056		
Site	2183 SW Dr, LAKE CITY 2069 SW BASCOM NORRIS Dr		
Description*	COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD ...more>>>		
Area	22.05 AC	S/T/R	06-4S-17
Use Code**	NON AG ACREAGE (9900)	Tax District	1

*The Description above is not to be used as the Legal Description for this parcel in any legal transaction.

**The Use Code is a FL Dept. of Revenue (DOR) code and is not maintained by the Property Appraiser's office. Please contact your city or county Planning & Zoning office for specific zoning information.



Property & Assessment Values

2021 Certified Values		2022 Working Values	
Mkt Land	\$149,400	Mkt Land	\$496,125
Ag Land	\$0	Ag Land	\$0
Building	\$0	Building	\$0
XFOB	\$0	XFOB	\$0
Just	\$149,400	Just	\$496,125
Class	\$0	Class	\$0
Appraised	\$149,400	Appraised	\$496,125
SOH Cap [?]	\$0	SOH Cap [?]	\$0
Assessed	\$149,400	Assessed	\$496,125
Exempt	\$0	Exempt	\$0
Total Taxable	county:\$149,400 city:\$149,400 other:\$0 school:\$149,400	Total Taxable	county:\$496,125 city:\$496,125 other:\$0 school:\$496,125

Sales History

Sale Date	Sale Price	Book/Page	Deed	V/I	Qualification (Codes)	RCode
7/14/2022	\$100	1471/1278	WD	V	U	11
5/27/2020	\$432,500	1412/0723	WD	V	Q	01
5/27/2020	\$185,400	1412/0718	WD	V	Q	01
5/14/2020	\$100	1412/0710	WD	V	U	30
2/6/2002	\$100	0948/0436	WD	V	U	01

Building Characteristics

Bldg Sketch	Description*	Year Blt	Base SF	Actual SF	Bldg Value
NONE					

Extra Features & Out Buildings (Codes)

Code	Desc	Year Blt	Value	Units	Dims
NONE					

Land Breakdown

Code	Desc	Units	Adjustments	Eff Rate	Land Value
0000	VAC RES (MKT)	6.640 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$149,400
9900	AC NON-AG (MKT)	15.410 AC	1.0000/1.0000 1.0000/ /	\$22,500 /AC	\$346,725

Prepared by:

Branden L. Strickland, Esq.
Strickland Law Firm, P.L.
283 NW Cole Terrace
Lake City, FL 32055
File #: 22-0572

The preparer of this instrument has performed no title examination nor has the preparer issued any title insurance or furnished any opinion regarding the title, names, addresses, tax identification number and legal description furnished by parties.

Inst: 202212014112 Date: 07/19/2022 Time: 3:46PM
Page 1 of 3 B: 1471 P: 1278, James M Swisher Jr, Clerk of Court
Columbia County, By: VC *W*
Deputy Clerk Doc Stamp-Deed: 0.70

Warranty Deed

THIS WARRANTY DEED, made this 1st day of July, 2022, between North Florida International School LLC, a Florida Limited Liability Company, and Tennis Forever Limited Liability Company, a Florida Limited Liability Company (herein Grantor), to Tennis Forever Limited Liability Company, a Florida Limited Liability Company, whose address is 1361 SW Sisters Welcome Road, Lake City, FL 32025 (hereinafter Grantee).

The terms Grantor and Grantee, shall include their respective heirs, devisees, personal representatives, successors, and assigns; any gender shall include all genders, the plural number shall include the singular and the singular number shall include the plural.

WITNESSETH:

That said Grantor, for and in consideration of the sum of \$10.00, and other good and valuable consideration, the receipt of which is hereby acknowledged, does hereby grant and convey to Grantees forever the following described property in **Columbia County, Florida**:

See Exhibit "A" Attached Hereto and by this Reference Made a Part Thereof.

SUBJECT TO all reservations, restrictions and easements of record, if any.


SUBJECT to easements and restrictions of record and taxes accruing subsequent to the prior year.

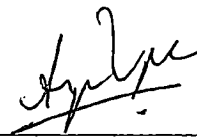
TOGETHER WITH ALL the tenements, hereditaments, privileges, appurtenances, thereto belonging or in any way appertaining to the said property.

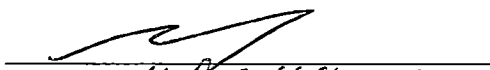
Grantor hereby covenants with said Grantee that Grantor is lawfully seized of said land in fee simple; that the Grantor has good right and lawful authority to sell and convey said land; that the Grantor hereby fully warrants the title to said land and will defend the same against the lawful claims of all persons whomsoever.

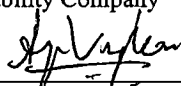
IN WITNESS WHEREOF, the parties hereto have caused these presents to be executed on this date the year first above written.

Signed, Sealed, and Delivered in the Presence of:


WITNESS Madison Williams


Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company


WITNESS M. Earl S. Harrell


Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company

STATE OF FLORIDA

COUNTY OF COLUMBIA

I HEREBY CERTIFY that on this day, before me, an officer duly authorized in the State aforesaid and in the County aforesaid to take acknowledgements, by means of physical presence, personally appeared Anjan Viplav, as Authorized Member of North Florida International School LLC, a Florida Limited Liability Company and Anjan Viplav, as Authorized Member of Tennis Forever Limited Liability Company, a Florida Limited Liability Company, to me known to be the person described in and who executed the foregoing instrument that he/she acknowledged before me that he executed the same, and who provided DL as identification.

WITNESS my hand and official seal in the County and State last aforesaid this 14th day of July, 2022.

(SEAL)


NOTARY PUBLIC

My Commission Expires:



MICHAEL H. HARRELL
Notary Public
State of Florida
Comm# HH203548
Expires 11/30/2025

22-0572

Exhibit "A"

COMMENCE AT THE SOUTHEAST CORNER OF SECTION 6, TOWNSHIP 4 SOUTH, RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA AND RUN THENCE S 85°45'49" W ALONG THE SOUTH LINE OF SAID SECTION 6, 1381.02 FEET, THENCE N 2°04'49" E, 30.18 FEET TO THE NORTH RIGHT-OF-WAY LINE OF BROWN LANE AND TO THE POINT OF BEGINNING, THENCE S 85°45'49" W ALONG SAID NORTH RIGHT-OF-WAY LINE, 1313.19 FEET, THENCE S 85°56'04" W STILL ALONG SAID NORTH RIGHT-OF-WAY LINE, 247.07 FEET, THENCE N 0°09'46" E, 612.96 FEET, THENCE N 85°46'54" E, 1580.93 FEET, THENCE S 2°04'49" W, 615.20 FEET TO THE POINT OF BEGINNING. SAID LANDS BEING A PART OF THE SW ¼ OF SE ¼ AND A PART OF THE SW ¼ OF THE SE ¼ AND A PART OF THE SE ¼ OF SW ¼.



[Department of State](#) / [Division of Corporations](#) / [Search Records](#) / [Search by Entity Name](#) /

Detail by Entity Name

Florida Limited Liability Company

TENNIS FOREVER LIMITED LIABILITY COMPANY

Filing Information

Document Number	L15000082757
FEI/EIN Number	47-4110918
Date Filed	05/11/2015
Effective Date	05/11/2015
State	FL
Status	ACTIVE
Last Event	REINSTATEMENT
Event Date Filed	09/29/2016

Principal Address

250 NW MAIN BLVD
UNIT 219
Lake City, FL 32056

Changed: 07/18/2022

Mailing Address

P.O. BOX 219
Lake City, FL 32055

Changed: 07/18/2022

Registered Agent Name & Address

VIPLAV, ANJAN
1361 SW SISTERS WELCOME RD
LAKE CITY, FL 32025

Name Changed: 09/29/2016

Address Changed: 07/31/2015

Authorized Person(s) Detail

Name & Address

Title Authorized Member

VIPLAV, ANJAN
1363 SW Sisters Welcome Road
Lake City, FL 32025

Annual Reports

Report Year	Filed Date
2021	03/29/2021
2021	04/29/2021
2022	03/23/2022

Document Images

03/23/2022 -- ANNUAL REPORT	View image in PDF format
04/29/2021 -- AMENDED ANNUAL REPORT	View image in PDF format
03/29/2021 -- ANNUAL REPORT	View image in PDF format
01/16/2020 -- ANNUAL REPORT	View image in PDF format
04/25/2019 -- ANNUAL REPORT	View image in PDF format
04/16/2018 -- ANNUAL REPORT	View image in PDF format
04/05/2017 -- ANNUAL REPORT	View image in PDF format
09/29/2016 -- REINSTATEMENT	View image in PDF format
08/14/2015 -- CORLCRACHG	View image in PDF format
05/11/2015 -- Florida Limited Liability	View image in PDF format

Authority to Act as Agent

On my/our behalf, I appoint Carol Chadwick, PE
(Name of Person to Act as my Agent)

for n.a.
(Company Name for the Agent, if applicable)

to act as my/our agent in the preparation and submittal of this application
for Site Plan
(Type of Application)

I acknowledge that all responsibility for complying with the terms and conditions for approval of this application, still resides with me as the Applicant/Owner.

Applicant/Owner's Name: ANJAN VIPLAV

Applicant/Owner's Title: MEMBER.

On Behalf of: TENNIS FOREVER LLC
(Company Name, if applicable)

Telephone: 3213155319 Date: 11/01/2022

Applicant/Owner's Signature: [Signature]

Print Name: ANJAN VIPLAV

STATE OF FLORIDA
COUNTY OF COLUMBIA

The Foregoing instrument was acknowledged before me this 1ST day of NOVEMBER, 20 22, by _____, whom is personally known by me OR produced identification . Type of Identification Produced DRIVING LICENSE.

[Signature]
(Notary Signature) (SEAL)



Columbia County Tax Collector

generated on 12/7/2022 4:15:22 PM EST

Tax Record

Last Update: 12/7/2022 4:14:51 PM EST

[Register for eBill](#)

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year			
R08045-000	REAL ESTATE	2022			
Mailing Address		Property Address			
TENNIS FOREVER LIMITED LIABILITY COMPANY PO BOX 219 LAKE CITY FL 32056		2183 LAKE CITY			
		GEO Number			
		064S17-08045-000			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
06-4S-17 9900/000022.05 Acres COMM SE COR OF SEC, W 1381.02 FT, N 30.18 FT TO N R/W OF BROWN LN (NKA BASCOM NORRIS DR) & POB, W ALONG N R/W 1313.19 FT, W STILL ALONG N R/W 247.07 FT, N 612.96 FT, E 1580.93 FT, S 615.20 FT TO POB. 682-439, 712-700, 948-436, WD 1412-710, WD 1412-728, WD 1471-1278,					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	496,125	0	\$496,125	\$2,431.01
BOARD OF COUNTY COMMISSIONERS	7.8150	496,125	0	\$496,125	\$3,877.22
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	496,125	0	\$496,125	\$371.10
LOCAL	3.2990	496,125	0	\$496,125	\$1,636.72
CAPITAL OUTLAY	1.5000	496,125	0	\$496,125	\$744.19
SUWANNEE RIVER WATER MGT DIST	0.3368	496,125	0	\$496,125	\$167.09
LAKE SHORE HOSPITAL AUTHORITY	0.0001	496,125	0	\$496,125	\$0.05
Total Millage	18.5989				
		Total Taxes			\$9,227.38
Non-Ad Valorem Assessments					
Code	Levying Authority				Amount
XLCF	CITY FIRE ASSESSMENT				\$50.40
Total Assessments					\$50.40
Taxes & Assessments					\$9,277.78

If Paid By	Amount Due
11/30/2022	\$8,906.67
12/31/2022	\$8,999.45
1/31/2023	\$9,092.22
2/28/2023	\$9,185.00
3/31/2023	\$9,277.78

[Prior Years Payment History](#)

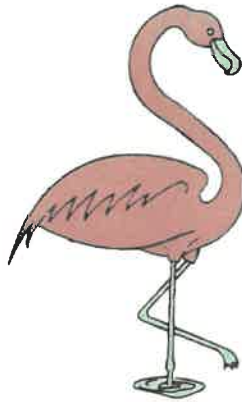
Prior Year Taxes Due
NO DELINQUENT TAXES

[Click Here To Pay Now](#)

TENNIS FOREVER DEVELOPMENT TRAFFIC STUDY

COLUMBIA COUNTY, FLORIDA

January 2023



BUCKHOLZ TRAFFIC



**BUCKHOLZ TRAFFIC
3585 KORI ROAD
JACKSONVILLE, FLORIDA 32257
(904) 886-2171 jwbuckholz@aol.com**

January 26, 2023

Mr. Anjan Viplav
1361 SW Sisters Welcome Road
Lake City, Florida 32025

Re: Tennis Forever Traffic Study

Dear Mr. Viplav:

~~Attached is the completed traffic study. If there are any questions or comments regarding this study, please contact me.~~

Sincerely,



Digitally signed by Jeffrey
W. Buckholz
DN: cn=Jeffrey W.
Buckholz, o=BUCKHOLZ
TRAFFIC ENGINEERING, ou,
email=jwbuckholz@aol.co
m, c=US
Date: 2023.01.26 12:38:53
-05'00'

Jeffrey W. Buckholz, P.E., PTOE
Principal

This item has been digitally signed and sealed by Jeffrey W. Buckholz, P.E. on 1/26/23. Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.

INTRODUCTION

This proposed development will contain 60 multi-family residential units and a six-court tennis facility. The development will be located on the north side of SW Bascom Norris Drive between SW McFarland Avenue and SW Tomoka Terrace approximately 1/4 mile west of SR 47 in Lake City, Florida. Access to the residential development will be provided via two full access connections to SW Bascom Norris Drive and access to the tennis facility will be provided via one full access connection on SW Bascom Norris Drive opposite SW Tomoka Terrace.

SW Bascom Norris Drive is a two lane undivided urban major collector with a posted speed limit of 45 mph. SW McFarlane Avenue is a two lane undivided urban major collector with a posted speed limit of 35 mph. SR 47 is a four lane divided urban minor arterial with a posted speed limit of 45mph and SW Tomoka Terrace is a two lane undivided local road with no posted speed limit.

Figure 1 shows the site location and surrounding road network while Appendix A contains the proposed site plan. The development is expected to be complete and fully occupied by the end of 2026. Consequently, 2026 was chosen as the design year for this study.

EXISTING TRAFFIC VOLUMES

Weekday peak period manual turning movement counts were conducted by Buckholz Traffic personnel at the SR 47/SW Bascom Norris Drive intersection, at the SW Bascom Norris Drive/SW McFarland Avenue intersection and at the SW Bascom Norris Drive/SW Tomoka Terrace intersection. These counts, which are provided in Appendix B, were conducted during the weekday AM peak period (6:30-8:30 AM) and the weekday PM peak period (3:45 – 5:45 PM). The data was recorded at 15-minute intervals and includes a separate tabulation for trucks and pedestrians. Figures 2 and 3 graphically summarize the AM and PM peak hour and peak period counts.

Appendix C provides daily traffic volumes from three nearby FDOT traffic count stations. The existing average daily traffic on SW Bascom Norris Drive in the vicinity of the site is about 6400 vehicles per day.

TRIP GENERATION

Trip generation calculations were carried out using the 11th edition of ITE's Trip Generation Manual and referencing land use codes 220 (Multi-Family Low Rise Housing) and 490 (Tennis Courts). Tables 1 and 2 contain the daily, AM peak hour, and PM peak hour trip generation calculations. During an average weekday the development is expected to generate 642 trips (321 entering and 321 exiting) with 67 trips (23 entering and 44 exiting) occurring during the AM peak hour and 72 trips (42 entering and 30 exiting) occurring during the PM peak hour. All of these trips will be new trips.

SITE TRIP DISTRIBUTION AND TRAFFIC ASSIGNMENT

Weekday AM and PM peak hour site trips for the condos and the tennis facility were directionally distributed based on peak period turning movement counts and engineering judgment as shown in Figures 4 and 5. The results were added together to obtain the weekday peak hour site traffic assignments provided in Figure 6.

FUTURE TRAFFIC VOLUMES

The expected weekday 2026 peak hour background (No Build) traffic volumes and total (Build) traffic volumes at intersections of interest are graphically depicted in Figures 7 through 10. The No Build traffic volumes were obtained by multiplying the existing traffic volumes by a seasonal adjustment factor and then by a 1.1% annual growth rate. A linear regression analysis of FDOT daily traffic counts in the area (see graph C-1 in Appendix C) indicates that daily traffic volumes have been increasing at a median annual rate of 1.1% over recent years. The 2026 Build traffic volumes were then obtained by adding the traffic generated by the new development to the 2026 No Build traffic volumes.

TURN LANE EVALUATION

A formal analysis was made to determine if a right turn lane is warranted on westbound SW Bascom Norris Drive at any of the three site drives or at SW McFarlane Avenue. The methodology contained in NCHRP Report 279 was used to conduct this analysis. As is indicated in Figures 11 through 14, right turn volumes under expected 2026 Build conditions will not be high enough to warrant an exclusive right turn lane at any of the three site drives. However, right turn volumes are currently high enough at SW McFarlane Avenue to warrant an exclusive right turn lane. These results are supported by NCHRP Report 420 which requires 80 right turns per hour to warrant a right turn lane on a 2-lane roadway with a posted speed of 45 mph or less.

Using the 2026 Build traffic volumes a formal analysis was also made to determine if a left turn lane is warranted on SW Bascom Norris Drive at any of the three site drives, at SW Tomoka Terrace, or at SW McFarlane Avenue. The methodology contained in a paper written by M.D. Harmelink entitled: "Volume Warrants for Left Turn Storage Lanes at Unsignalized Grade Intersections" was used to conduct this evaluation. Applying engineering judgment, a minimum of 10 peak hour left turns from SW Bascom Norris Drive is also used in the turn lane evaluation which eliminates the condo site drive intersections from consideration. The results for the SW Bascom Norris Drive/SW Tomoka Terrace/Tennis Driveway intersection and the SW Bascom Norris Drive/SW McFarlane Avenue intersection indicate that traffic volumes on SW Bascom Norris Drive will be high enough to warrant an exclusive left turn lane at both SW McFarlane Avenue and at SW Tomoka Terrace Drive. The supporting analyses are provided in Figures 15 through 17.

UNSIGNALIZED INTERSECTION CAPACITY ANALYSIS

The SW Bascom Norris Drive/SW McFarland Avenue intersection, the SW Bascom Norris Drive/SW Tomoka Terrace intersection, and the site drive intersections were analyzed using the two-way stop control methodology contained in the year 2023 version of the Highway Capacity Software. The supporting calculations are provided in Appendix D. Table 3 summarizes the capacity analysis results under existing conditions while Tables 4 and 5 summarize the capacity analysis results under 2026 Build conditions.

All minor movements currently operate at level of service B or better during both weekday peak hours at the SW Bascom Norris Drive/SW Tomoka Terrace intersection. Under 2026 Build conditions at the new SW Bascom Norris Drive/SW Tomoka Terrace/Tennis Driveway intersection all minor movements are expected to operate at level of service C or better during both peak hours.

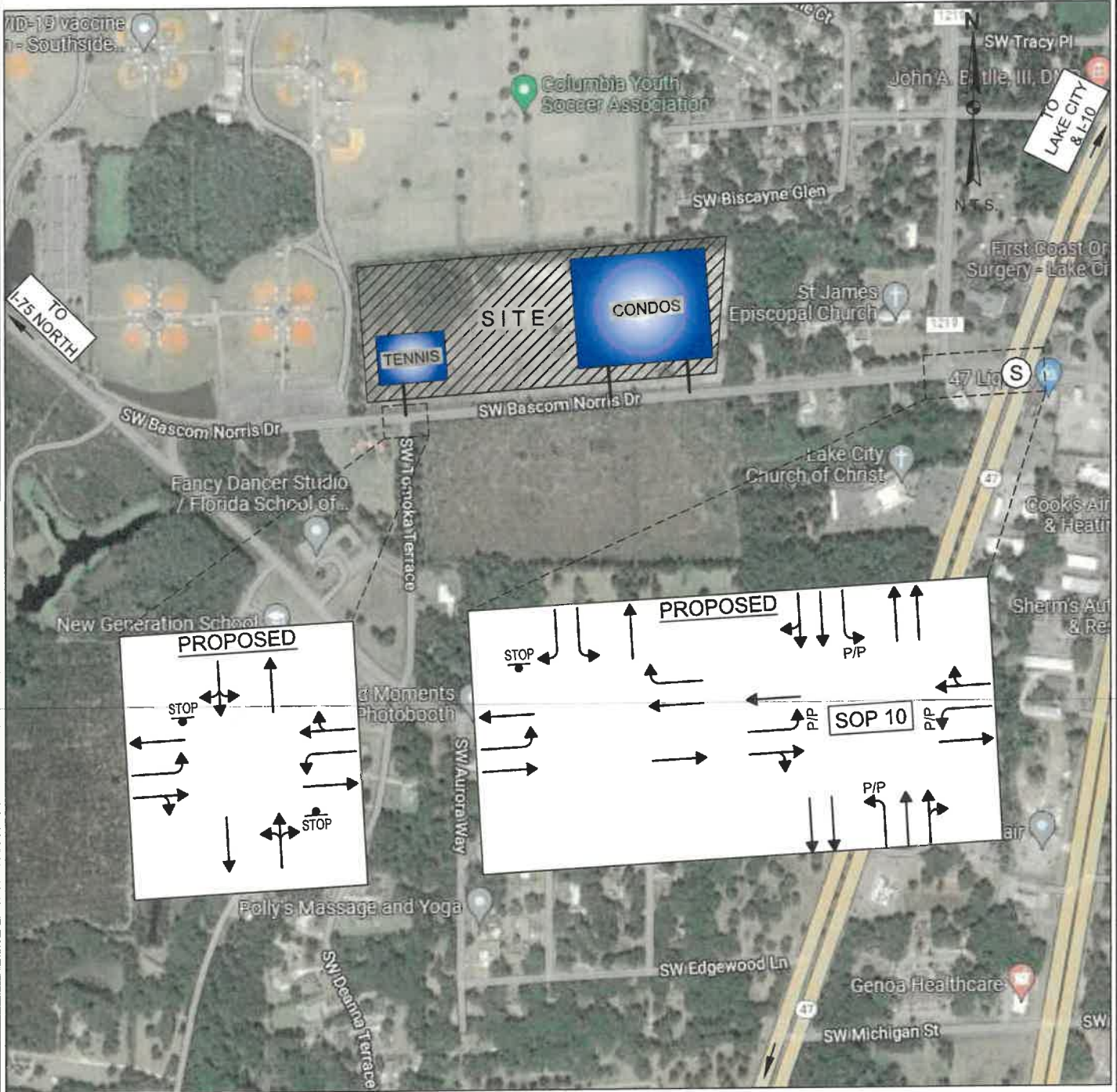
At the SW Bascom Norris Drive/SW McFarlane Avenue intersection all minor movements currently operate at level of service C or better during the weekday PM peak hour and level of service D or better during the weekday AM peak hour with minimal queuing and a volume-to-capacity ratio well below one. Under 2026 Build conditions all minor movements are expected to operate at level of service D or better during the weekday PM peak hour and level of service E or better during the weekday AM peak hour – still with minimal queuing and a volume-to-capacity ratio well below one.

All minor movements at the SW Bascom Norris Drive/East Condo Driveway intersection are expected to operate at level of service C or better during both peak hours under 2026 Build conditions with minimal queuing and a volume-to-capacity ratio well below one. The same is true for the SW Bascom Norris Drive/West Condo Driveway intersection.

SIGNALIZED INTERSECTION CAPACITY ANALYSIS

The SR 47/Bascom Norris Drive intersection was analyzed using the signalized intersection operational methodology contained in the year 2023 version of the Highway Capacity Software. The intersection capacity results for both 2023 existing conditions and 2026 Build conditions are summarized in Table 6 while Appendix E provides the supporting capacity analysis calculations. The existing signal timings for this intersection are provided in Appendix F. The intersection currently operates at level of service C during both weekday peak hours and is expected to continue to operate at level of service C during both peak hours under 2026 Build conditions. All volume-to-capacity ratios and queue storage ratios are under one for both existing and 2026 Build conditions.

Given the close proximity of SW McFarlane Avenue to SR 47, consideration should be given to decreasing the maximum green time for the main street movements and increasing the maximum green time for the side street movements at this traffic signal.



P/P = PROTECTED/PEMISSIVE

(S) = TRAFFIC SIGNAL

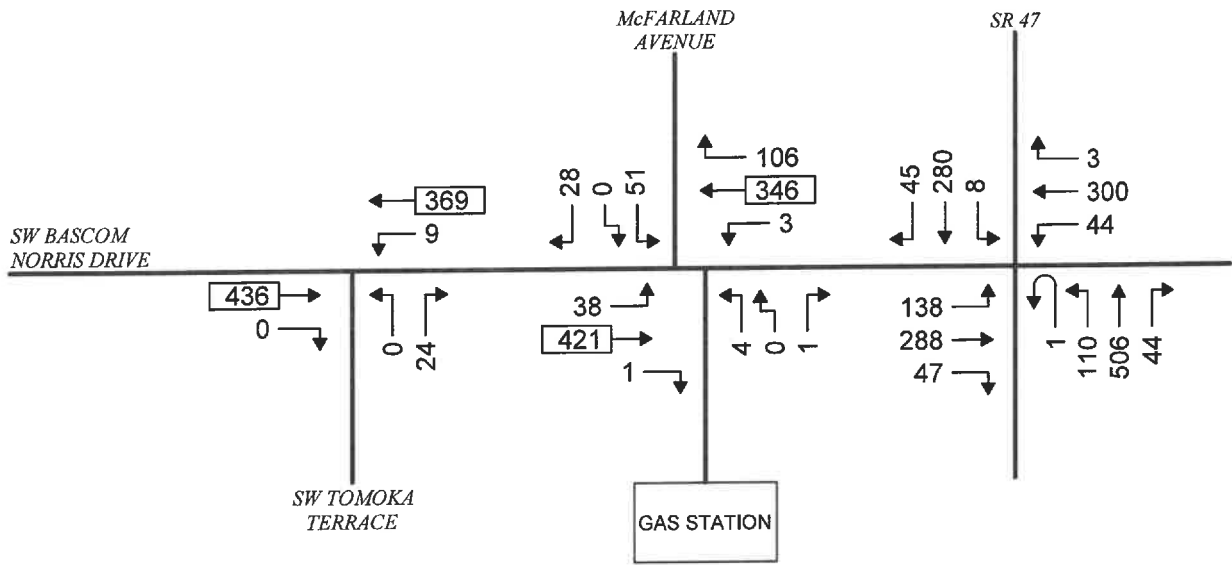
Buckholz Traffic

FIGURE 1
SITE LOCATION

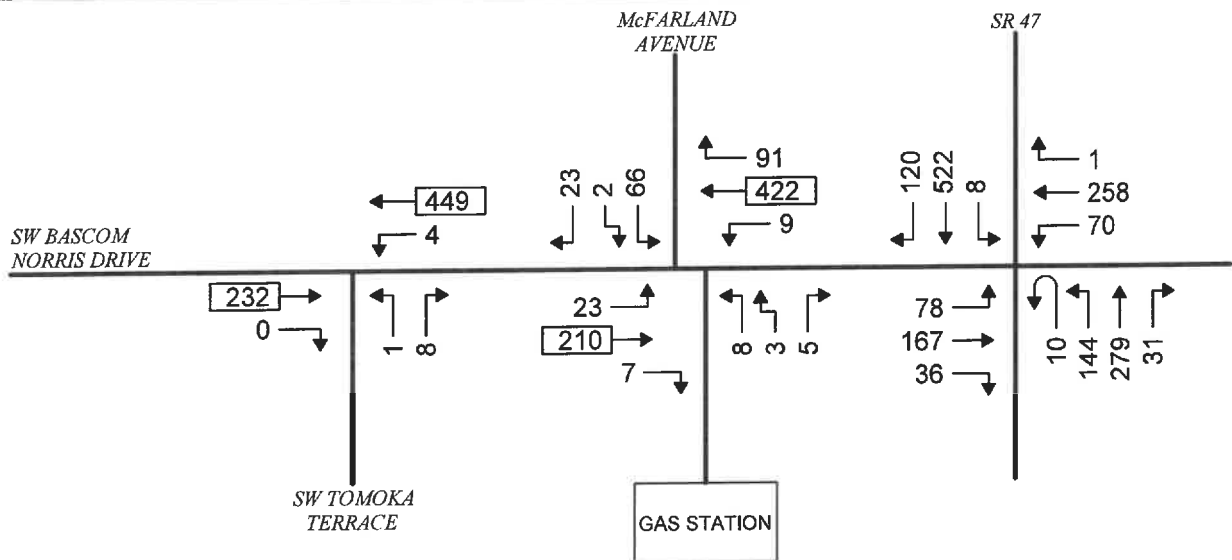


F:\23-1812\CAD\FIG_01.DWG

7:15-8:15 AM



4:30-5:30 PM



XXX = CALCULATED VALUE

Buckholz Traffic

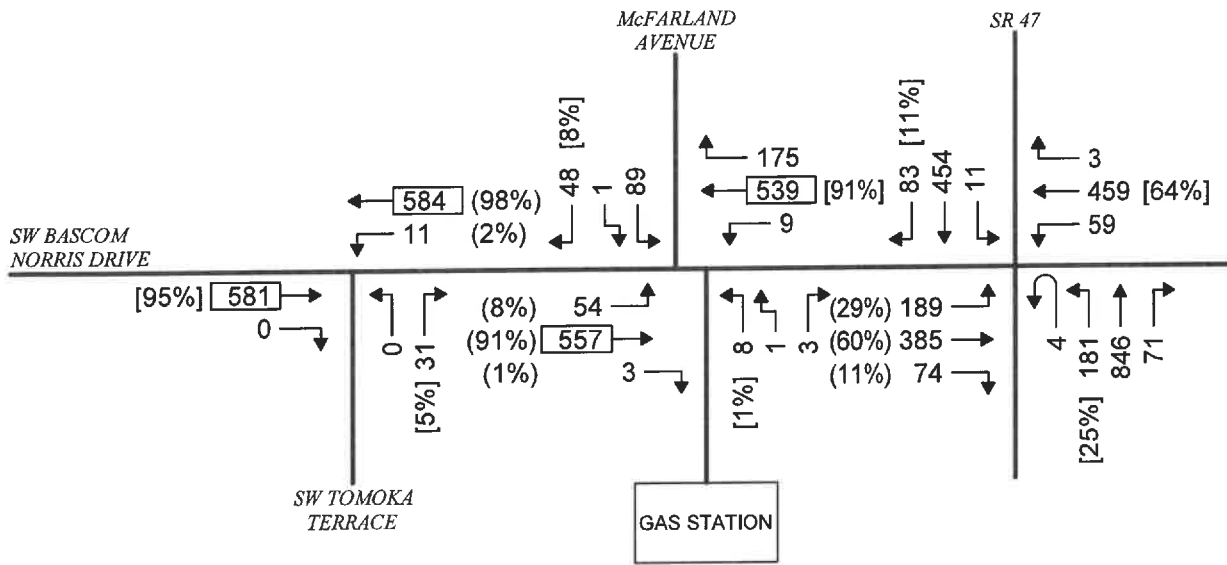
FIGURE 2

TRAFFIC COUNTS

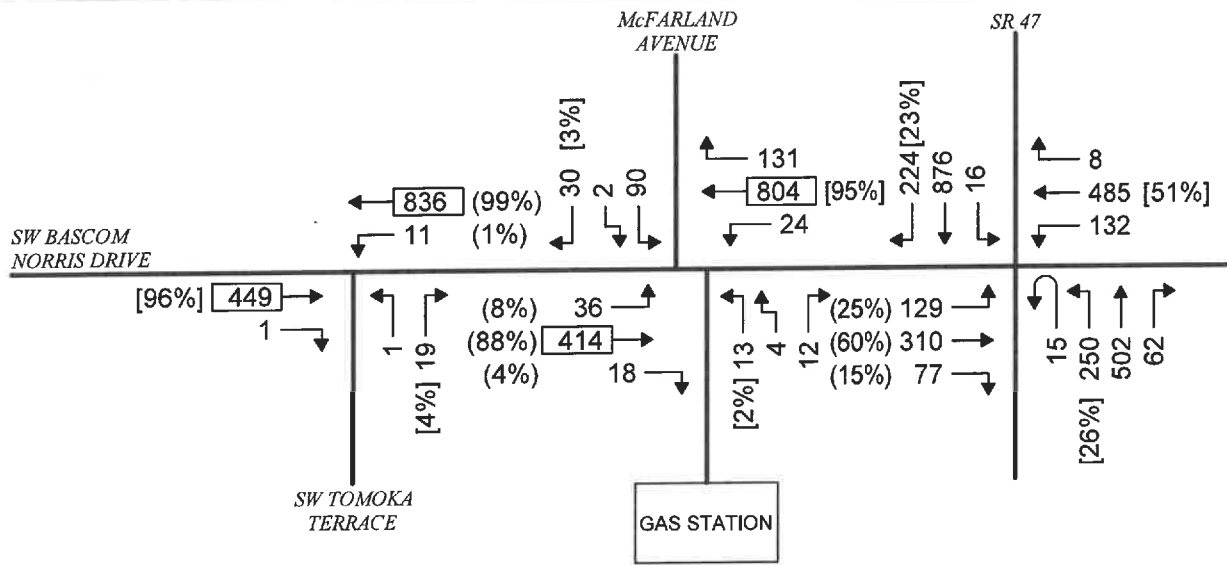
WEEKDAY PEAK HOURS



6:30-8:30 AM



3:45-5:45 PM



- [XXX] = CALCULATED VALUE
- [XX%] = ENTERING SITE TRAFFIC DIRECTIONAL SPLIT
- (YY%) = EXITING SITE TRAFFIC DIRECTIONAL SPLIT

Buckholz Traffic

FIGURE 3

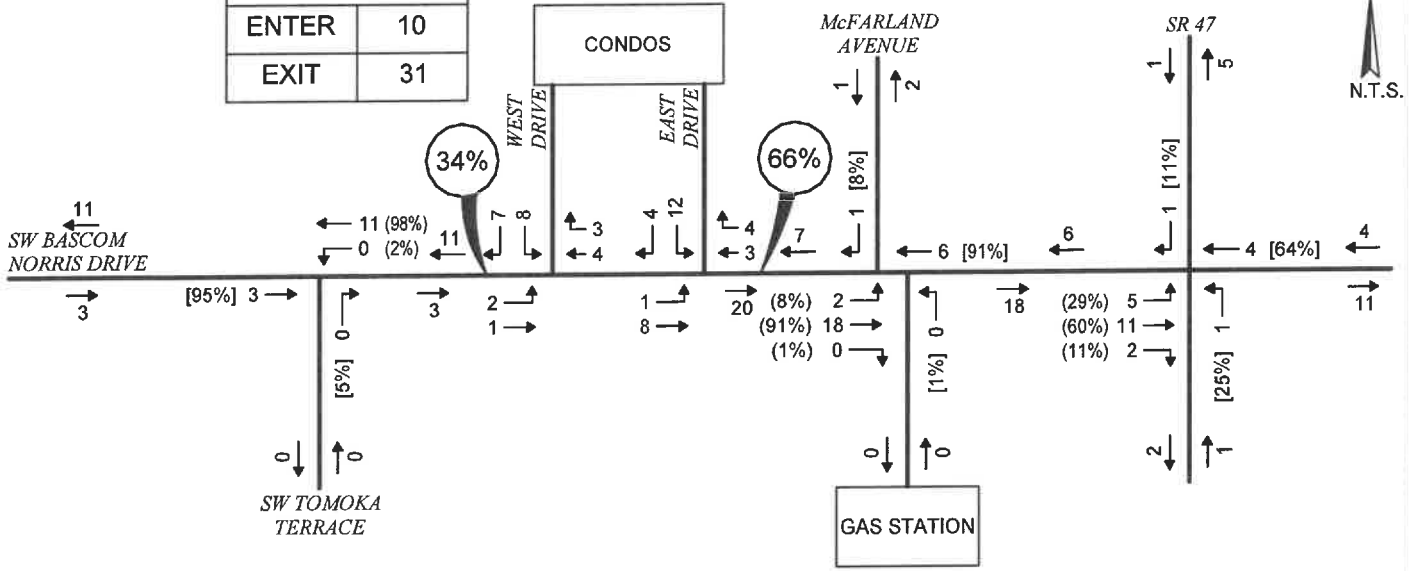
TRAFFIC COUNTS

WEEKDAY PEAK PERIODS



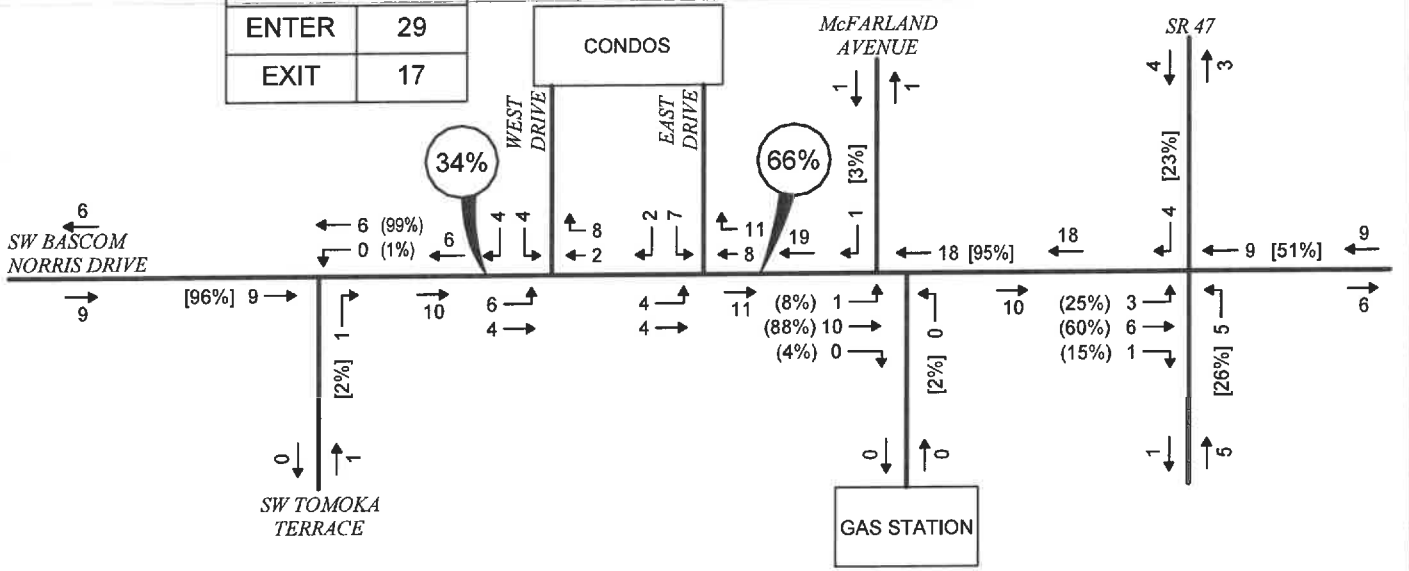
AM

TRIPS	
ENTER	10
EXIT	31



PM

TRIPS	
ENTER	29
EXIT	17



(XX%) = ESTIMATED EAST/WEST DIRECTIONAL SPLIT

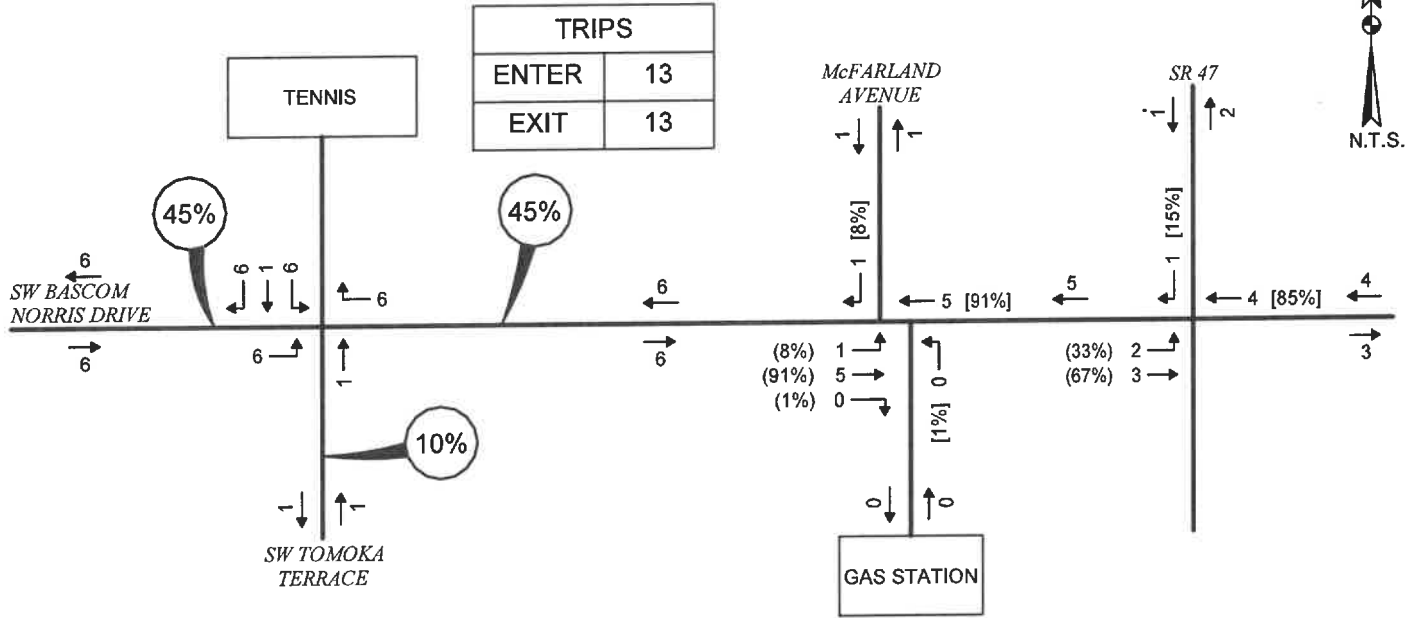
Buckholz Traffic

FIGURE 4
CONDO TRAFFIC
ASSIGNMENT

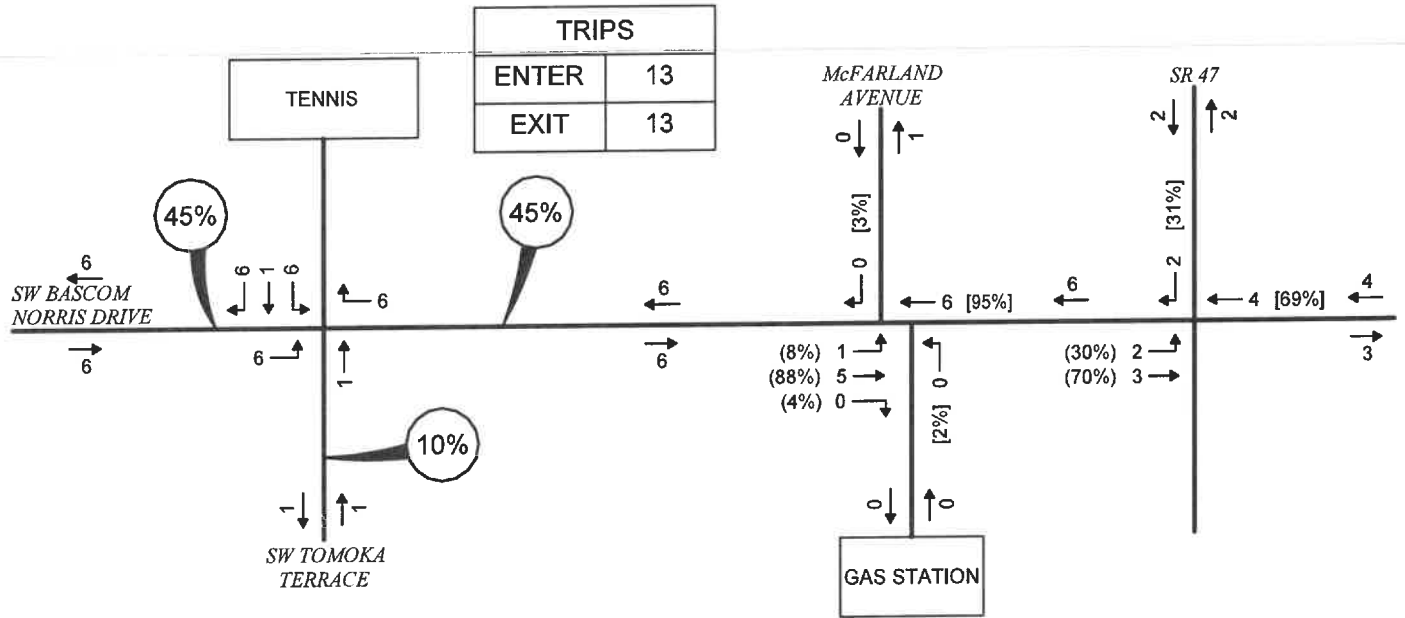
WEEKDAY PEAK HOURS



AM




PM



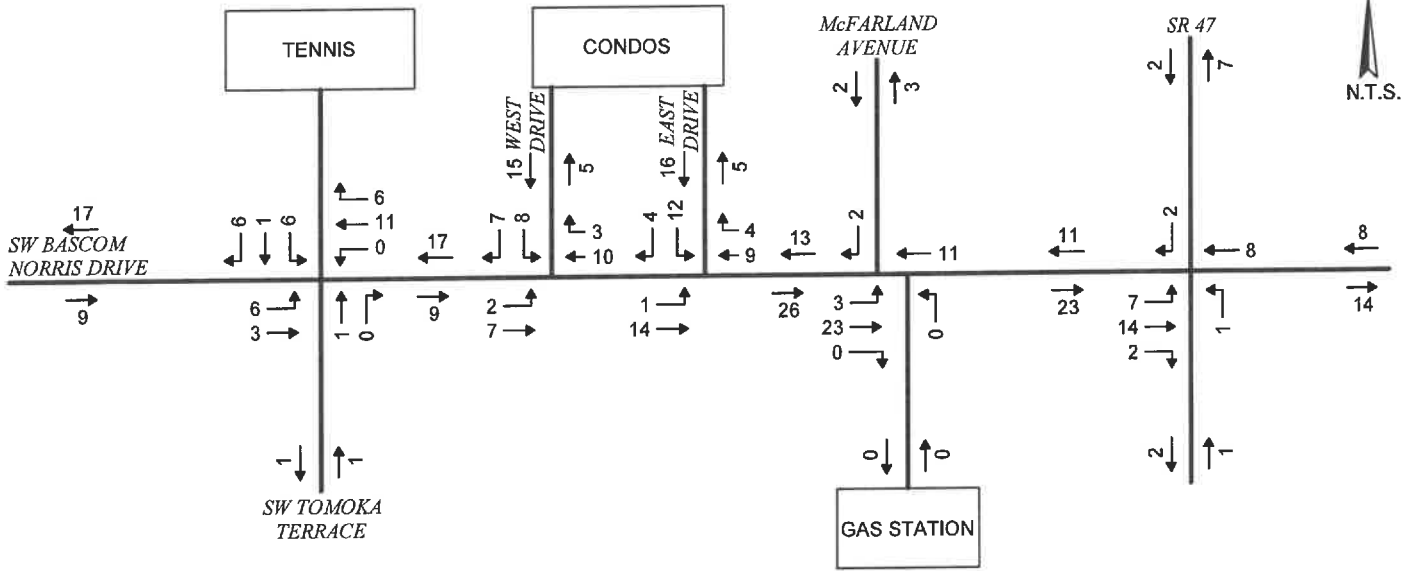
YY% = ESTIMATED DIRECTIONAL DISTRIBUTION

Buckholz Traffic

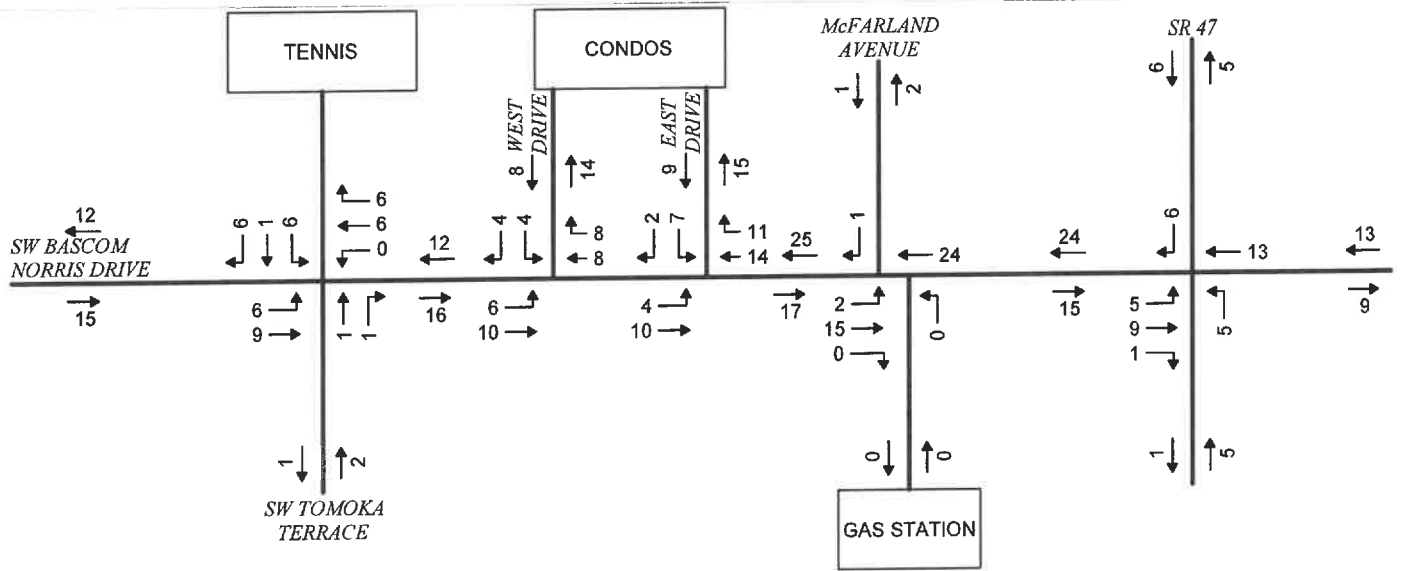
FIGURE 5
TENNIS TRAFFIC ASSIGNMENT
WEEKDAY PEAK HOURS



AM




PM

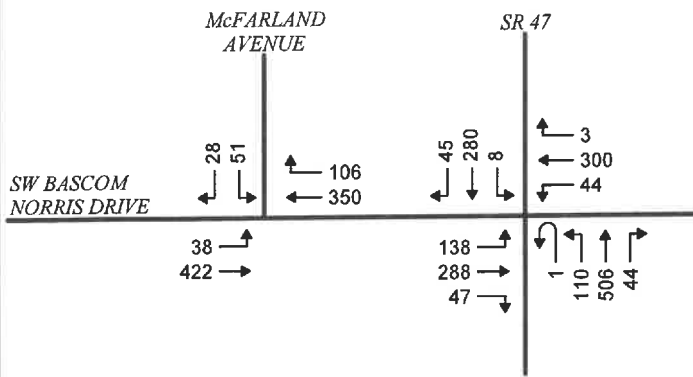


Buckholz Traffic

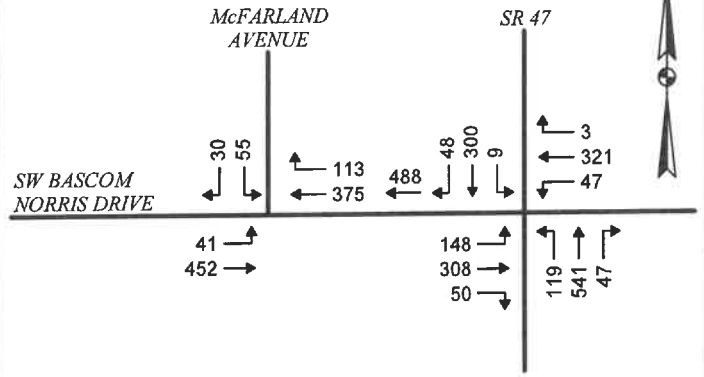
FIGURE 6
 SITE TRAFFIC
 ASSIGNMENT
 WEEKDAY PEAK HOURS



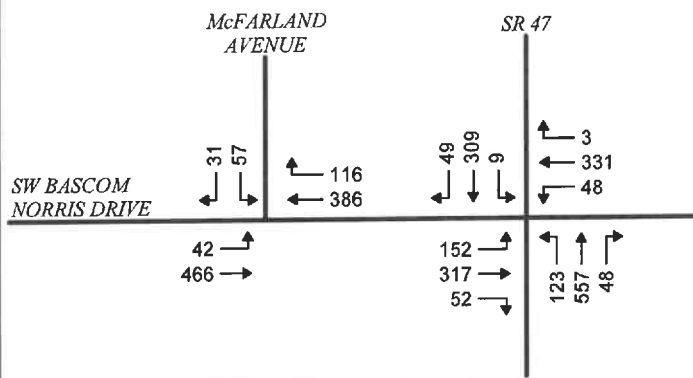
E:\23-1812\CAD\FIG_06.DWG



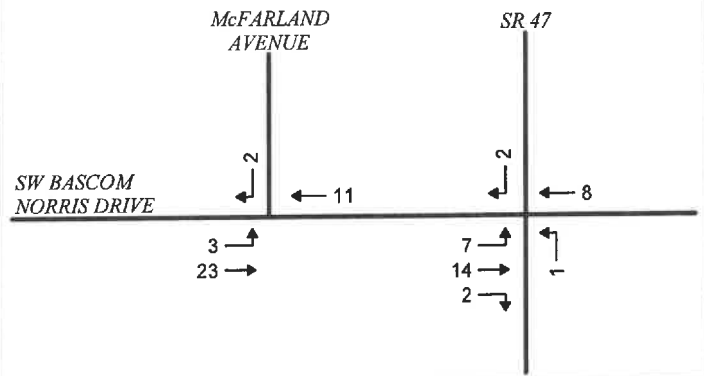
EXISTING TRAFFIC
01/12/23
7:15-8:15 AM



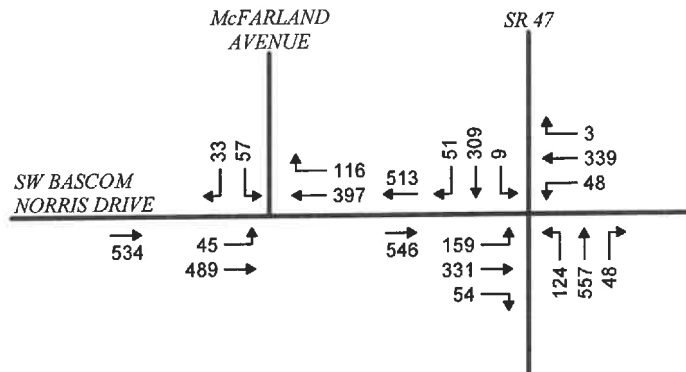
2023 SEASONALLY ADJUSTED TRAFFIC
FDOT SEASONAL CORRECTION FACTOR = 1.07



2026 NO BUILD TRAFFIC
AVERAGE ANNUAL GROWTH RATE = 1.1% (GF=1.03)



SITE TRAFFIC



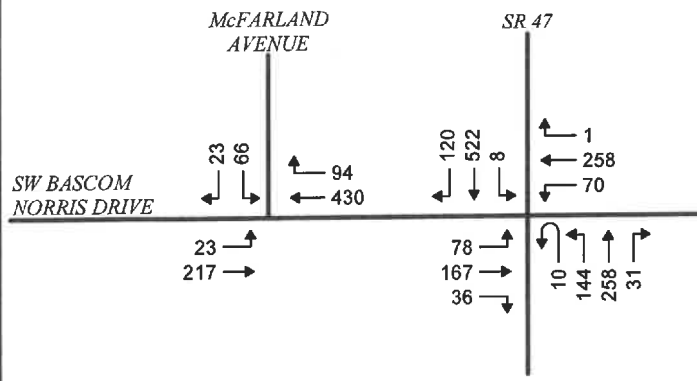
2026 BUILD TRAFFIC

FIGURE 7

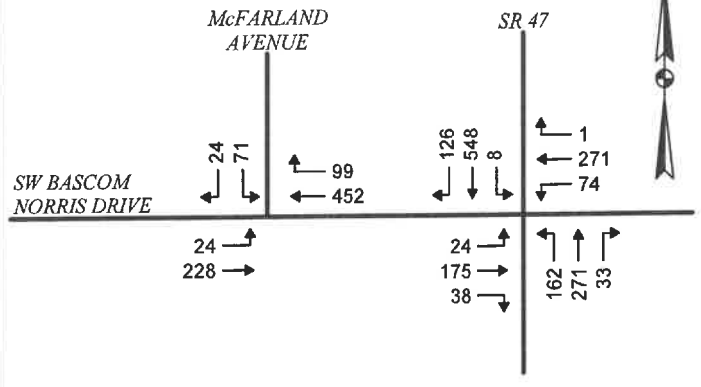
2026 BUILD TRAFFIC
SR 47 / SW BASCOM NORRIS DR.

WEEKDAY AM PEAK HOUR

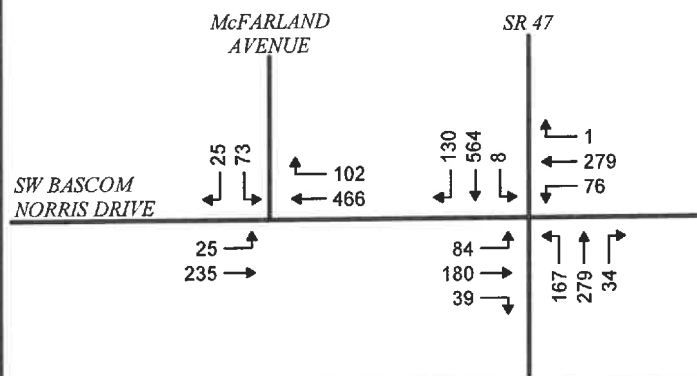




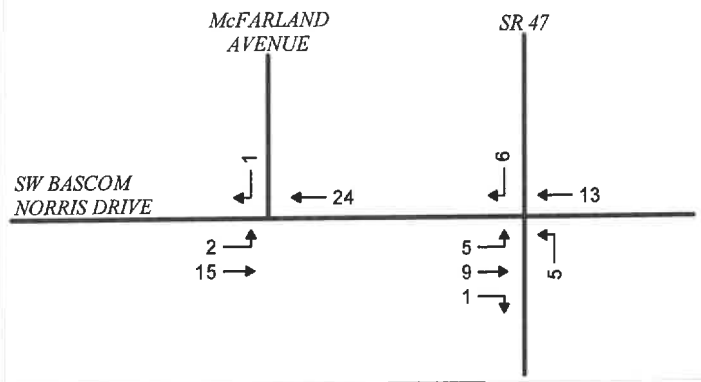
EXISTING TRAFFIC
01/09/23
4:30-5:30 PM



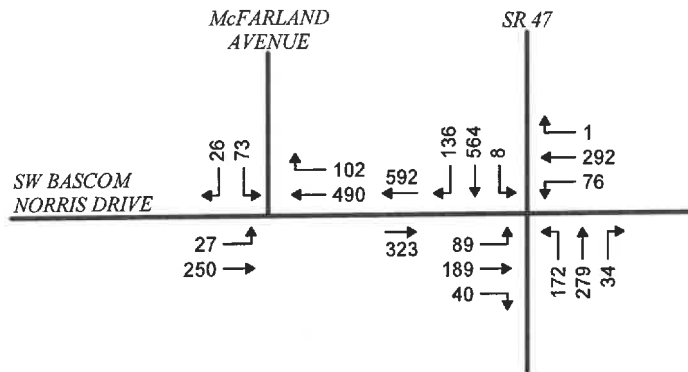
2023 SEASONALLY ADJUSTED TRAFFIC
FDOT SEASONAL CORRECTION FACTOR = 1.05



2026 NO BUILD TRAFFIC
AVERAGE ANNUAL GROWTH RATE = 1.1% (GF=1.03)



SITE TRAFFIC

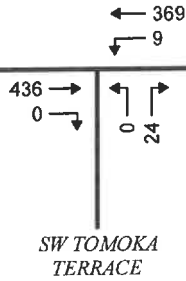


2026 BUILD TRAFFIC

FIGURE 8
2026 BUILD TRAFFIC
SR 47 / SW BASCOM NORRIS DR.
WEEKDAY PM PEAK HOUR

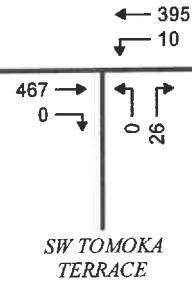


SW BASCOM
NORRIS DRIVE



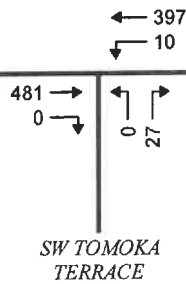
EXISTING TRAFFIC
01/12/23
7:15-8:15 AM

SW BASCOM
NORRIS DRIVE



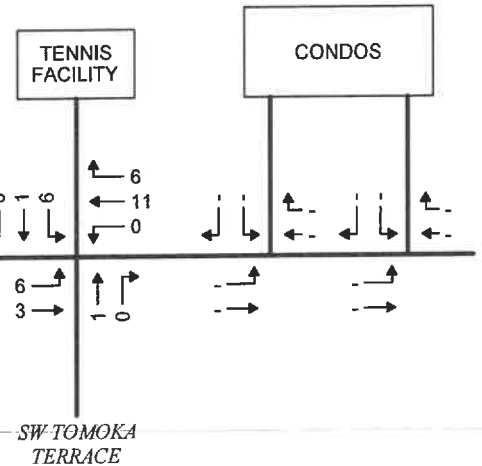
2023 SEASONALLY ADJUSTED TRAFFIC
FDOT SEASONAL CORRECTION FACTOR = 1.07

SW BASCOM
NORRIS DRIVE

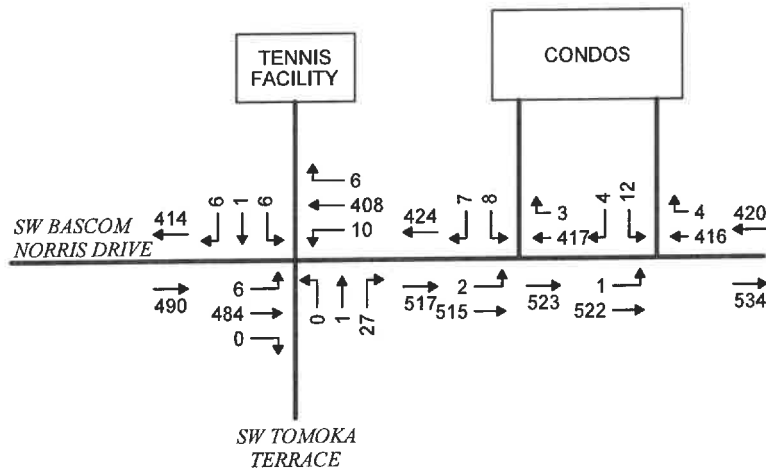


2026 NO BUILD TRAFFIC
AVERAGE ANNUAL GROWTH RATE = 1.1% (GF=1.03)

SW BASCOM
NORRIS DRIVE



SW TOMOKA
TERRACE
SITE TRAFFIC



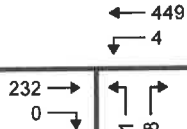
2026 BUILD TRAFFIC

FIGURE 9
2026 BUILD TRAFFIC
SW BASCOM NORRIS DR. /
SW TOMOKA TERRACE
WEEKDAY AM PEAK HOUR



Buckholz Traffic

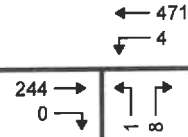
SW BASCOM
NORRIS DRIVE



SW TOMOKA
TERRACE

EXISTING TRAFFIC
01/09/23
4:30-5:30 PM

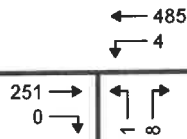
SW BASCOM
NORRIS DRIVE



SW TOMOKA
TERRACE

2023 SEASONALLY ADJUSTED TRAFFIC
FDOT SEASONAL CORRECTION FACTOR = 1.05

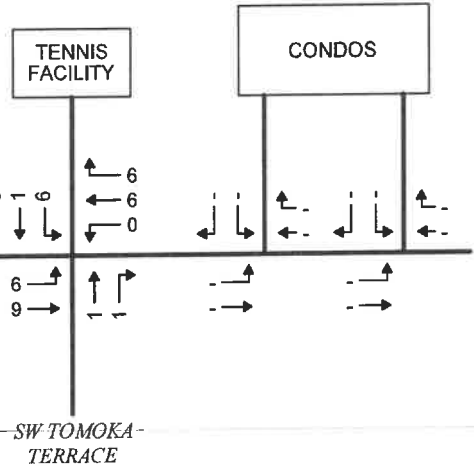
SW BASCOM
NORRIS DRIVE



SW TOMOKA
TERRACE

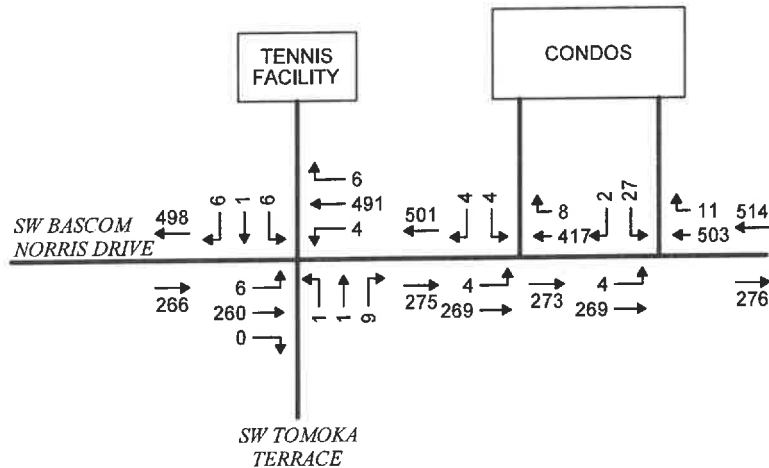
2026 NO BUILD TRAFFIC
AVERAGE ANNUAL GROWTH RATE = 1.1% (GF=1.03)

SW BASCOM
NORRIS DRIVE



SW TOMOKA
TERRACE

SITE TRAFFIC



SW TOMOKA
TERRACE

2026 BUILD TRAFFIC

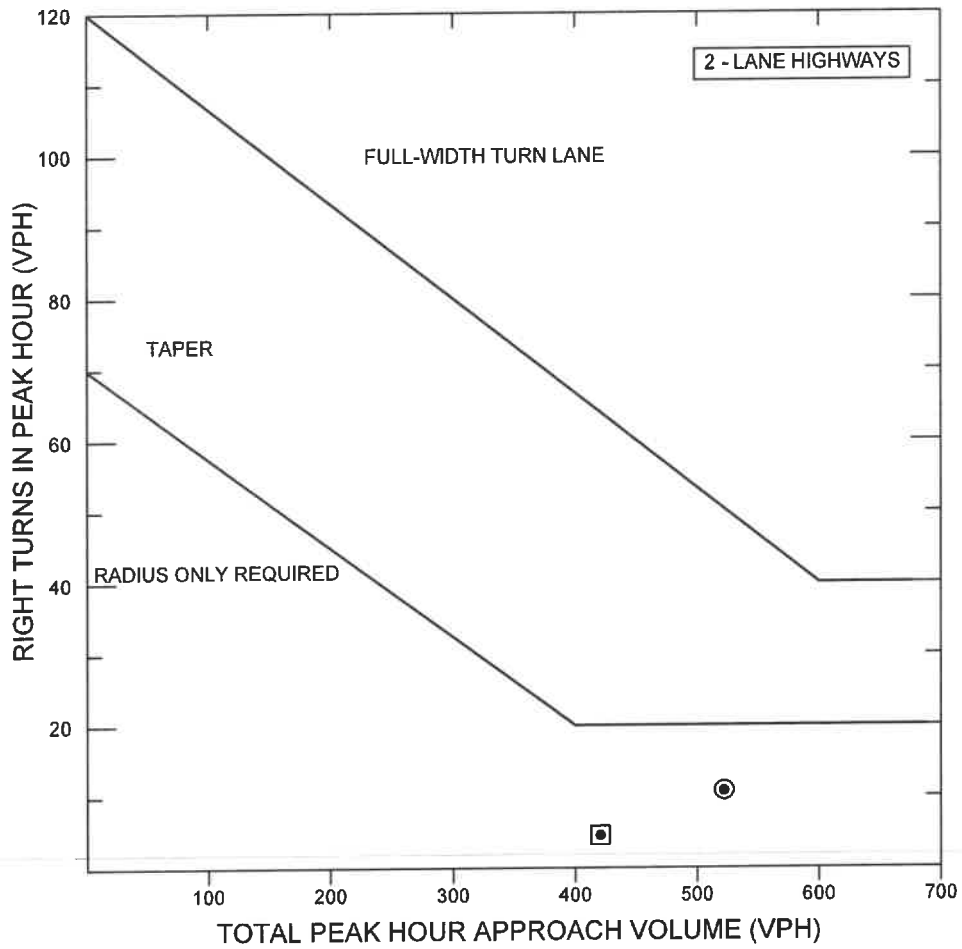
FIGURE 10

2026 BUILD TRAFFIC
SW BASCOM NORRIS DR. /
SW TOMOKA TERRACE

WEEKDAY PM PEAK HOUR



WESTBOUND SW BASCOM NORRIS DRIVE @ EAST CONDO DRIVEWAY



NOMOGRAPH FOR RIGHT TURN LANES

SOURCE: TRANSPORTATION RESEARCH BOARD NCHRP REPORT #279

▣ AM PEAK HOUR

⊙ PM PEAK HOUR

V _A	420
V _R	4

V _A	514
V _R	11

NCHRP 420	
2 LANE	≤ 45 MPH

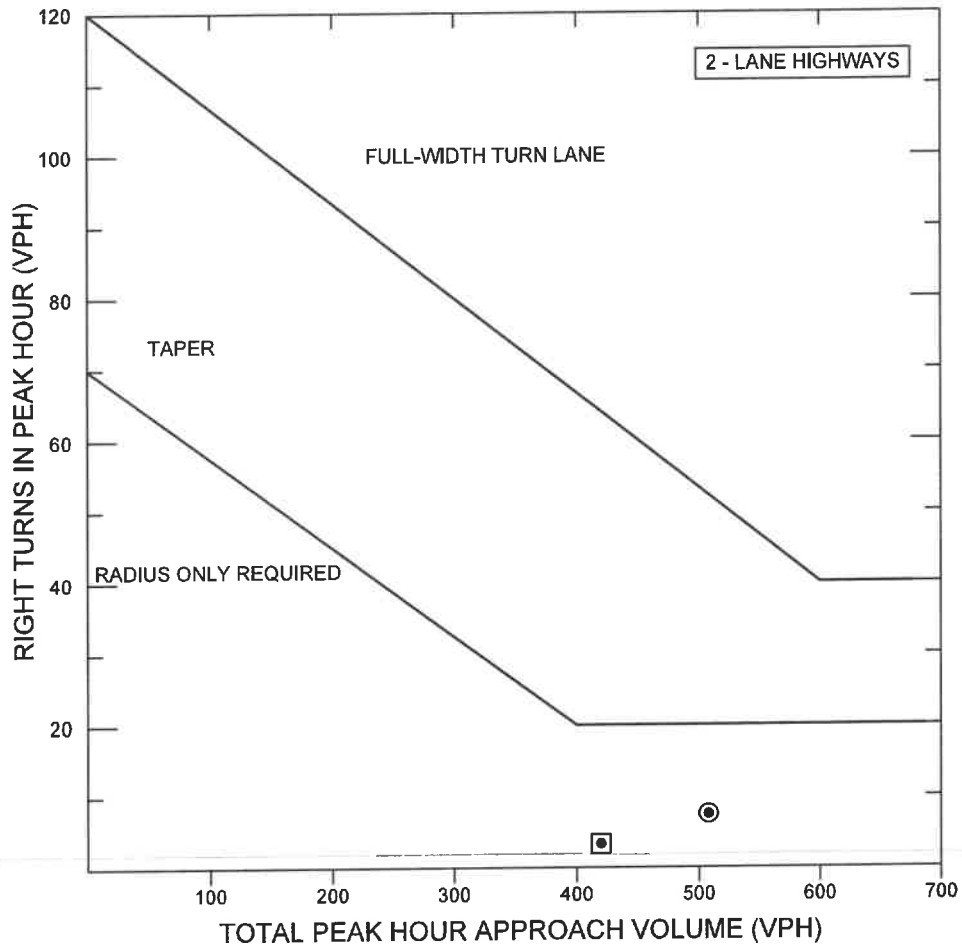
4 & 11 < 80 REQUIRED

FIGURE 11

RIGHT TURN
LANE ANALYSIS



WESTBOUND SW BASCOM NORRIS DRIVE @ WEST CONDO DRIVEWAY



NOMOGRAPH FOR RIGHT TURN LANES

SOURCE: TRANSPORTATION RESEARCH BOARD NCHRP REPORT #279

▣ AM PEAK HOUR

⊙ PM PEAK HOUR

V _A	420
V _R	3

V _A	505
V _R	8

NCHRP 420	
2 LANE	≤ 45 MPH

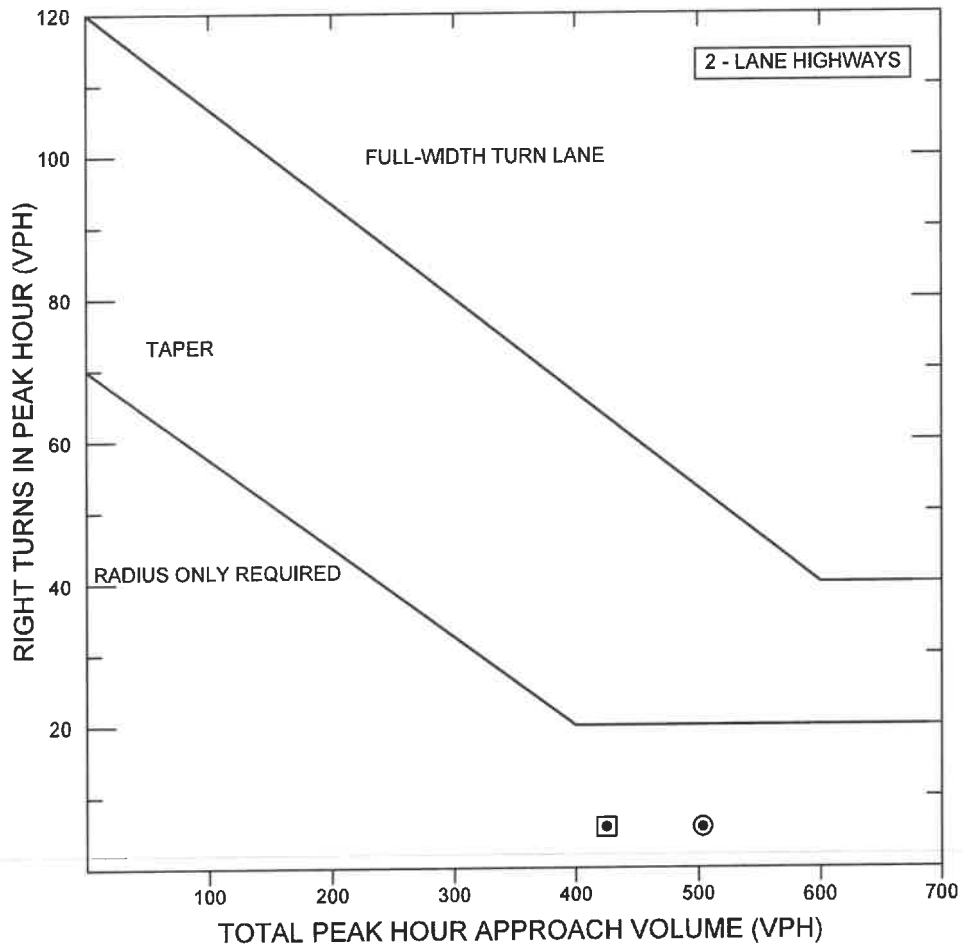
3 & 8 < 80 REQUIRED

FIGURE 12

RIGHT TURN
LANE ANALYSIS



WESTBOUND SW BASCOM NORRIS DRIVE @ TENNIS DRIVEWAY



NOMOGRAPH FOR RIGHT TURN LANES

SOURCE: TRANSPORTATION RESEARCH BOARD NCHRP REPORT #279

▣ AM PEAK HOUR

⊙ PM PEAK HOUR

V _A	424
V _R	6

V _A	501
V _R	6

NCHRP 420	
2 LANE	≤ 45 MPH

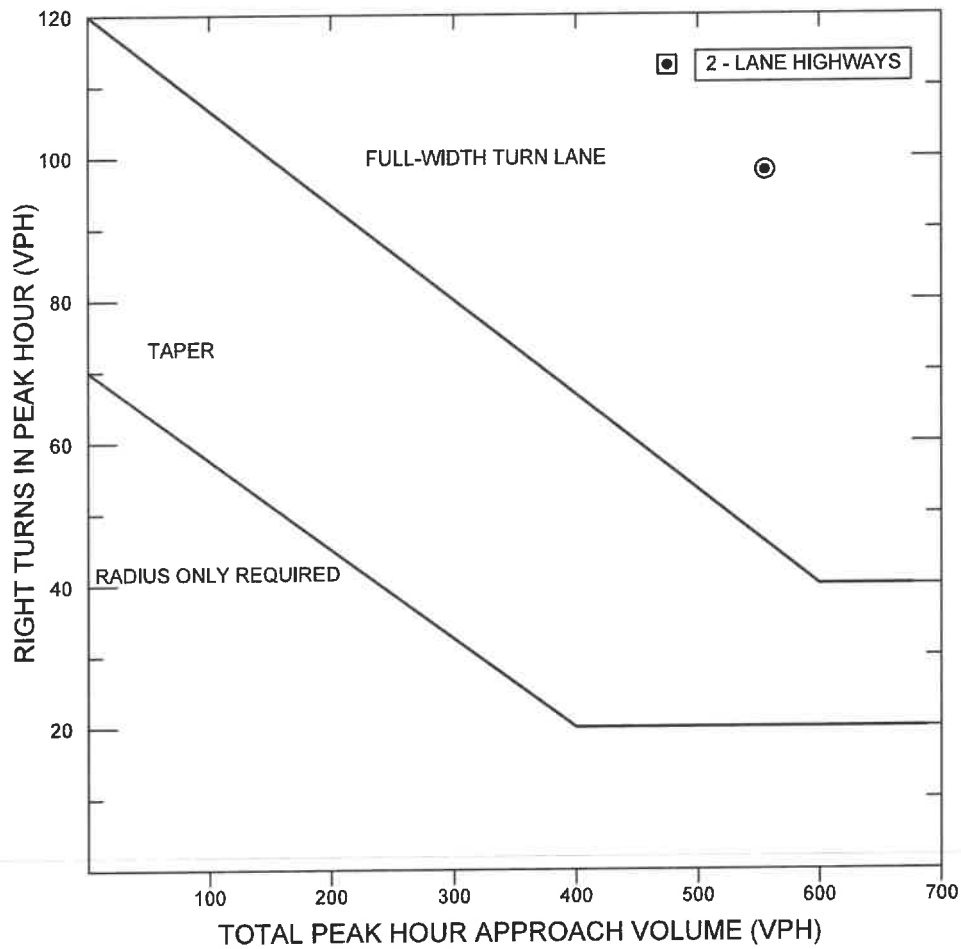
6 & 6 < 80 REQUIRED

FIGURE 13

RIGHT TURN
LANE ANALYSIS



WESTBOUND SW BASCOM NORRIS DRIVE @ SW McFARLANE AVENUE



NOMOGRAPH FOR RIGHT TURN LANES

SOURCE: TRANSPORTATION RESEARCH BOARD NCHRP REPORT #279

2023 TRAFFIC VOLUMES

▣ AM PEAK HOUR ⊙ PM PEAK HOUR

V _A	488
V _R	113

V _A	551
V _R	99

NCHRP 420	
2 LANE	≤ 45 MPH

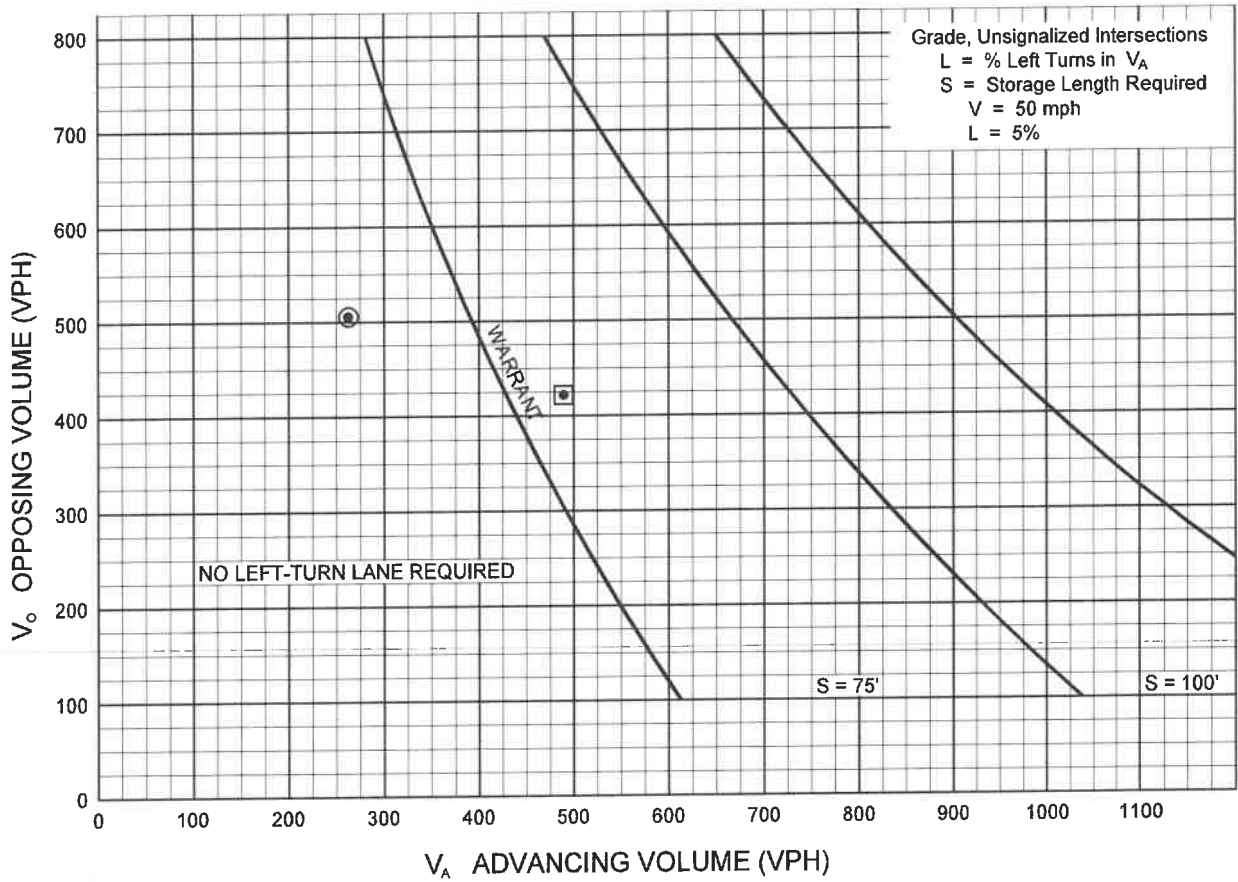
116 & 102 > 80 REQUIRED

FIGURE 14

RIGHT TURN
LANE ANALYSIS



EASTBOUND SW BASCOM NORRIS DRIVE @ TENNIS DRIVEWAY



WARRANT FOR LEFT-TURN LANES ON TWO-LANE HIGHWAYS

☐ AM PEAK HOUR

⊙ PM PEAK HOUR

$V_A = 490$
$V_O = 424$
$V_L = 6$
%LT = 1%

$V_A = 266$
$V_O = 501$
$V_L = 6$
%LT = 2%

FIGURE 15

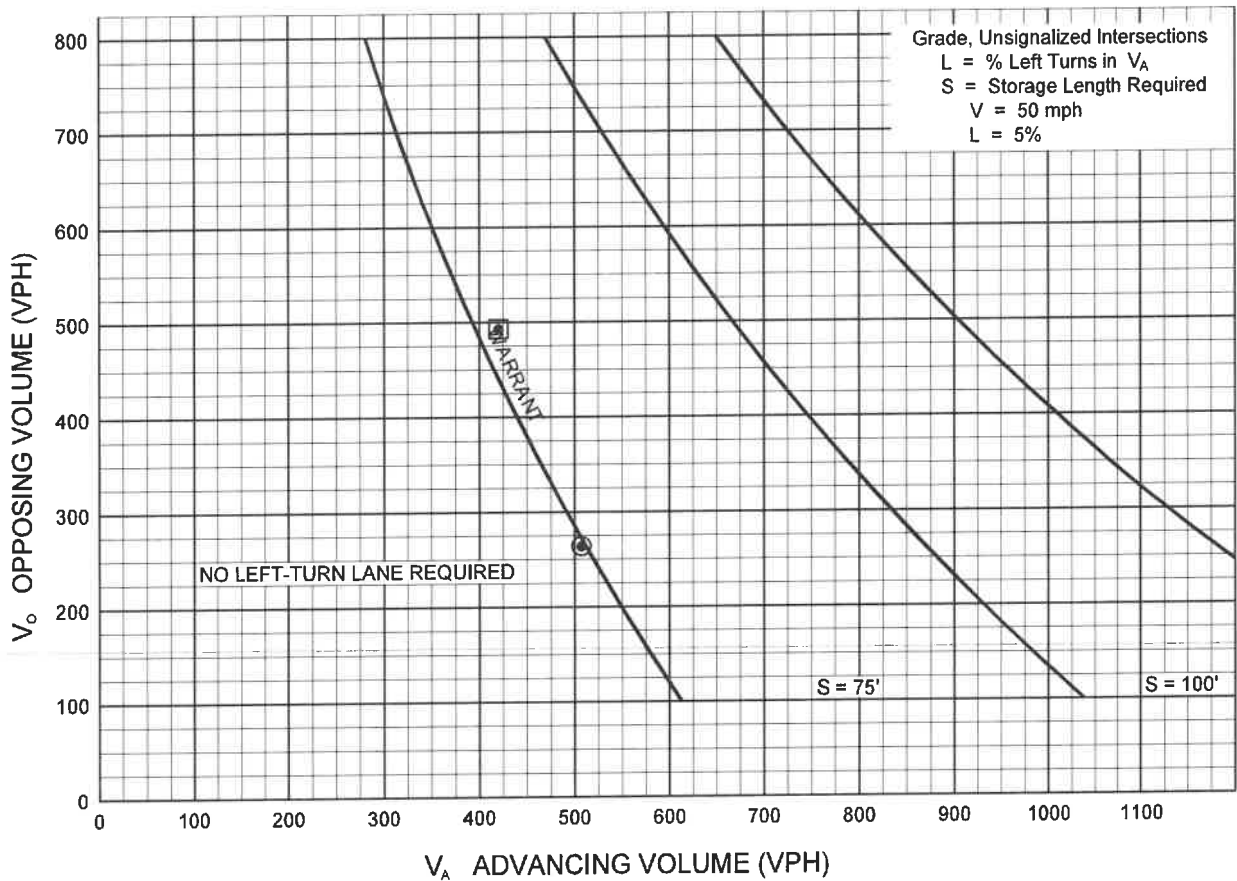
LEFT TURN
LANE ANALYSIS



SOURCE: HARMELINK

Buckholz Traffic

WESTBOUND SW BASCOM NORRIS DRIVE @ TOMOKA TERRACE



WARRANT FOR LEFT-TURN LANES ON TWO-LANE HIGHWAYS

☐ AM PEAK HOUR

$V_A = 424$
$V_o = 490$
$V_L = 10$
%LT = 2%

⊙ PM PEAK HOUR

$V_A = 501$
$V_o = 266$
$V_L = 4$
%LT = 1%

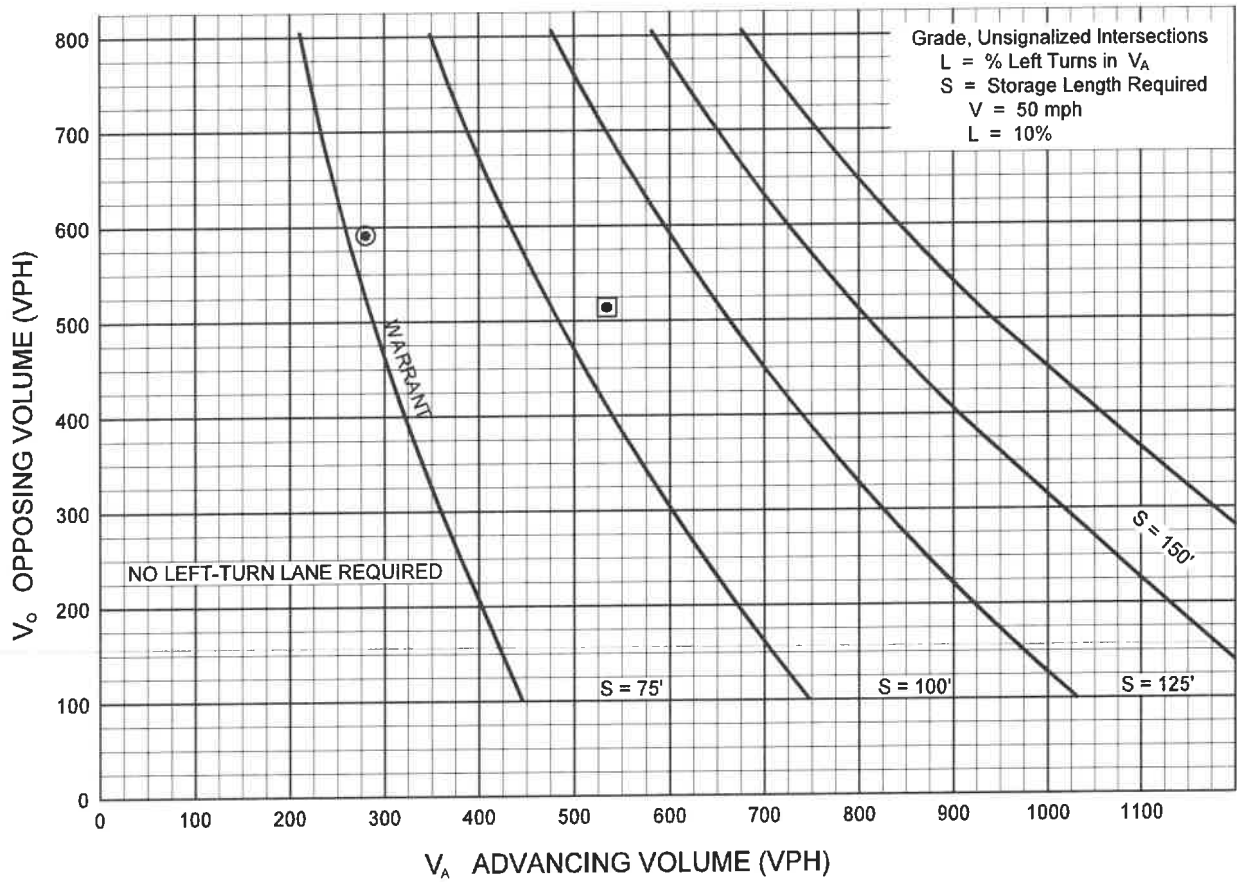
FIGURE 16

LEFT TURN
LANE ANALYSIS



SOURCE: HARMELINK

EASTBOUND SW BASCOM NORRIS DRIVE @ SW MCFARLANE AVENUE



WARRANT FOR LEFT-TURN LANES ON TWO-LANE HIGHWAYS

☐ AM PEAK HOUR

⊙ PM PEAK HOUR

$V_A = 534$
$V_O = 513$
$V_L = 45$
%LT = 8%

$V_A = 277$
$V_O = 592$
$V_L = 27$
%LT = 10%

FIGURE 17

LEFT TURN
LANE ANALYSIS



SOURCE: HARMELINK

J:\SYM\WAR_LTL2.dwg Date: 10-27-15 T: 14:02 By: AYDelacruz

TABLE 1

TRIP GENERATION CALCULATIONS

MULTIFAMILY HOUSING (LOW-RISE)
Not Close to Rail Transit

Land Use Code 220

T = Number of Vehicle Trip Ends

X = Number of Dwelling Units = 60

<u>TIME PERIOD</u>	<u>TRIP GENERATION EQUATION</u>	<u>TOTAL TRIP ENDS</u>	<u>PERCENT ENTERING</u>	<u>PERCENT EXITING</u>	<u>TOTAL TRIP ENDS ENTERING</u>	<u>TOTAL TRIP ENDS EXITING</u>
WEEKDAY						
Daily	$T = 6.41 (X) + 75.31$	460	50%	50%	230	230
AM Peak Hour	$T = 0.31 (X) + 22.85$	41	24%	76%	10	31
PM Peak Hour	$T = 0.43 (X) + 20.55$	46	63%	37%	29	17

SOURCE: Institute of Transportation Engineers, "Trip Generation", 11th Edition (2021)

BUCKHOLZ TRAFFIC

TABLE 2
WEEKDAY TRIP GENERATION CALCULATIONS

TENNIS COURTS

Land Use Code 490

T = Number of Vehicle Trip Ends

X = Number of Courts = 6

<u>TIME PERIOD</u>	<u>TOTAL TRIP GENERATION EQUATION</u>	<u>TOTAL TRIP ENDS</u>	<u>PERCENT ENTERING</u>	<u>PERCENT EXITING</u>	<u>TOTAL TRIP ENDS ENTERING</u>	<u>TOTAL TRIP ENDS EXITING</u>
AVERAGE WEEKDAY						
Daily	T = 30.32 (X)	182	50%	50%	91	91
AM Peak Hour	T = 4.21 (X)	26	50%	50%	13	13
PM Peak Hour	T = 4.21 (X)	26	50%	50%	13	13

Estimated

SOURCE: Institute of Transportation Engineers, "Trip Generation", 11th Edition (2021)

BUCKHOLZ TRAFFIC

**TABLE 3
UNIGNALIZED INTERSECTION CAPACITY RESULTS
EXISTING CONDITIONS**

SW BASCOM NORRIS DRIVE / SW McFARLANE AVENUE

WEEKDAY AM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.8 sec/veh	0.05	1
Side Street Left Turn	D	30.8 sec/veh	0.32	1.3
Side Street Right Turn	B	11.9 sec/veh	0.06	1

WEEKDAY PM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	9.1 sec/veh	0.03	1
Side Street Left Turn	C	23.1 sec/veh	0.30	1.2
Side Street Right Turn	B	12.6 sec/veh	0.06	1

SW BASCOM NORRIS DRIVE / SW TOMOKA TERRACE

WEEKDAY AM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Westbound Left Turn	A	8.6 sec/veh	0.01	1
Side Street Approach	B	12.1 sec/veh	0.06	1

WEEKDAY PM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Westbound Left Turn	A	7.8 sec/veh	0.00	1
Side Street Approach	B	10.6 sec/veh	0.02	1

BUCKHOLZ TRAFFIC

**TABLE 4
UNIGNALIZED INTERSECTION CAPACITY RESULTS
2026 BUILD CONDITIONS**

SW BASCOM NORRIS DRIVE / SW McFARLANE AVENUE

WEEKDAY AM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	9.0 sec/veh	0.06	1
Side Street Left Turn	E	36.7 sec/veh	0.38	1.6
Side Street Right Turn	B	12.2 sec/veh	0.07	1

WEEKDAY PM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	9.3 sec/veh	0.04	1
Side Street Left Turn	D	26.9 sec/veh	0.35	1.5
Side Street Right Turn	B	13.2 sec/veh	0.07	1

SW BASCOM NORRIS DRIVE / SW TOMOKA TERRACE / TENNIS DRIVEWAY

WEEKDAY AM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.4 sec/veh	0.01	1
Westbound Left Turn	A	8.6 sec/veh	0.01	1
Northbound Approach	B	12.8 sec/veh	0.07	1
Southbound Approach	C	20.0 sec/veh	0.06	1

WEEKDAY PM PEAK HOUR				
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.7 sec/veh	0.01	1
Westbound Left Turn	A	7.9 sec/veh	0.00	1
Northbound Approach	B	11.8 sec/veh	0.02	1
Southbound Approach	C	16.9 sec/veh	0.05	1

**TABLE 5
UNIGNALIZED INTERSECTION CAPACITY RESULTS
2026 BUILD CONDITIONS**

SW BASCOM NORRIS DRIVE / EAST CONDO DRIVEWAY

	WEEKDAY AM PEAK HOUR			
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.4 sec/veh	0.00	1
Side Street Approach	C	19.5 sec/veh	0.07	1

	WEEKDAY PM PEAK HOUR			
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.8 sec/veh	0.01	1
Side Street Approach	C	16.7 sec/veh	0.03	1

SW BASCOM NORRIS DRIVE / WEST CONDO DRIVEWAY

	WEEKDAY AM PEAK HOUR			
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.4 sec/veh	0.00	1
Side Street Approach	C	17.0 sec/veh	0.06	1

	WEEKDAY PM PEAK HOUR			
Movement	LOS	Delay	V/C Ratio	95th % Queue (vehicles)
Eastbound Left Turn	A	8.7 sec/veh	0.01	1
Side Street Approach	C	15.1 sec/veh	0.03	1

BUCKHOLZ TRAFFIC

**TABLE 6
SUMMARY OF SIGNALIZED INTERSECTION CAPACITY RESULTS
SR 47 / SW BASCOM NORRIS DRIVE**

EXISTING CONDITIONS

WEEKDAY AM PEAK HOUR	Highest v/c Ratio	Highest Queue Storage Ratio	Highest Delay Movements with LOS	Approach LOS	Intersection Delay & LOS
79 sec cycle	0.79 WBT	0.82 EBLT	WBT: 36.7 sec/veh LOS D	NB/SB: C EB/WB: C	30.4 sec/veh LOS C
WEEKDAY PM PEAK HOUR	Highest v/c Ratio	Highest Queue Storage Ratio	Highest Delay Movements with LOS	Approach LOS	Intersection Delay & LOS
86 sec cycle	0.81 SBT	0.63 WBT	WBT: 42.1 sec/veh LOS D	NB/SB: C EB/WB: C/D	30.8 sec/veh LOS C

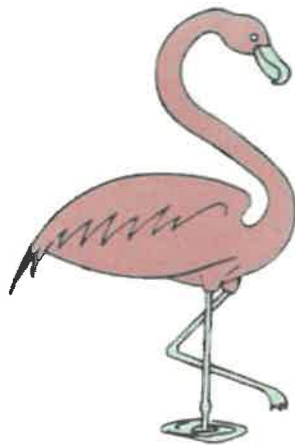
2026 BUILD CONDITIONS

WEEKDAY AM PEAK HOUR	Highest v/c Ratio	Highest Queue Storage Ratio	Highest Delay Movements with LOS	Approach LOS	Intersection Delay & LOS
82 sec cycle	0.80 WBT	0.90 EBLT	WBT: 37.6 sec/veh LOS D	NB/SB: C EB/WB: C/D	31.7 sec/veh LOS C
WEEKDAY PM PEAK HOUR	Highest v/c Ratio	Highest Queue Storage Ratio	Highest Delay Movements with LOS	Approach LOS	Intersection Delay & LOS
91 sec cycle	0.83 SBT	0.71 WBT	WBT: 44.6 sec/veh LOS D	NB/SB: C/D EB/WB: C/D	32.9 sec/veh LOS C

BUCKHOLZ TRAFFIC

APPENDIX A

SITE PLAN





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APPENDIX B

TURNING MOVEMENT COUNTS



JW BUCKHOLZ TRAFFIC ENGINEERING INC.
 MANUAL TURNING MOVEMENTS COUNT
 SR 47 @ SW BASCOM NORRIS DRIVE
 COLUMBIA COUNTY, FLORIDA

Site Code : 01122301
 Start Date: 01/12/23
 File I.D. : 01122301
 Page : 1

DAY: THURSDAY
 DATE: 01/12/23
 WEATHER: CLEAR & DRY
 BEGIN TIME (MILITARY): 06:30 Hrs

AUTOMOBILES, COMMERCIAL VEHICLES

Date 01/12/23	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	
06:30	0	36	6	0	4	16	0	0	10	66	3	0	10	7	4	0	162
06:45	0	40	14	0	3	28	0	0	13	103	5	0	13	18	6	0	243
07:00	1	49	9	0	2	39	0	0	22	87	9	2	16	35	9	0	280
07:15	0	65	8	0	9	44	0	0	19	113	12	0	33	50	13	0	366
Hr Total	1	190	37	0	18	127	0	0	64	369	29	2	72	110	32	0	1051
07:30	3	81	15	0	11	58	1	0	25	136	19	0	48	77	6	0	480
07:45	3	70	9	0	12	120	0	0	39	142	9	0	34	83	18	0	539
08:00	2	64	13	0	12	78	2	0	27	115	4	1	23	78	10	0	429
08:15	2	49	9	0	6	76	0	0	26	84	10	1	12	37	8	0	320
Hr Total	10	264	46	0	41	332	3	0	117	477	42	2	117	275	42	0	1768
TOTAL	11	454	83	0	59	459	3	0	181	846	71	4	189	385	74	0	2819

Peak Hour Analysis By Entire Intersection for the Period: 07:15 to 08:15 on 01/12/23

Peak start	07:15				07:15				07:15				07:15			
Volume	8	280	45	0	44	300	3	0	110	506	44	1	138	288	47	0
Percent	2%	84%	14%	0%	13%	86%	1%	0%	17%	77%	7%	0%	29%	61%	10%	0%
Pk total	333				347				661				473			
Highest	07:30				07:45				07:45				07:45			
Volume	3	81	15	0	12	120	0	0	39	142	9	0	34	83	18	0
Hi total	99				132				190				135			
PHF	.84				.66				.87				.88			

JW BUCKHOLZ TRAFFIC ENGINEERING INC.
 MANUAL TURNING MOVEMENTS COUNT
 SR 47 @ SW BASCOM NORRIS DRIVE
 COLUMBIA COUNTY, FLORIDA

DAY: THURSDAY
 DATE: 01/12/23
 WEATHER: CLEAR & DRY
 BEGIN TIME (MILITARY): 06:30 Hrs

Site Code : 01122301
 Start Date: 01/12/23
 File I.D. : 01122301
 Page : 1

AUTOMOBILES

Date	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	
06:30	0	31	6	0	4	16	0	0	10	63	3	0	9	7	4	0	153
06:45	0	36	14	0	3	27	0	0	13	99	5	0	13	18	6	0	234
07:00	1	44	8	0	2	39	0	0	21	82	9	2	16	33	9	0	266
07:15	0	64	8	0	9	43	0	0	19	108	11	0	33	50	12	0	357
Hr Total	1	175	36	0	18	125	0	0	63	352	28	2	71	108	31	0	1010
07:30	3	79	14	0	11	56	1	0	25	132	18	0	48	76	6	0	469
07:45	3	65	9	0	12	117	0	0	38	138	9	0	34	81	18	0	524
08:00	2	57	13	0	11	72	2	0	26	108	4	1	23	67	10	0	396
08:15	2	43	8	0	4	71	0	0	25	78	10	1	12	37	8	0	299
Hr Total	10	244	44	0	38	316	3	0	114	456	41	2	117	261	42	0	1688
TOTAL	11	419	80	0	56	441	3	0	177	808	69	4	188	369	73	0	2698

Peak Hour Analysis By Entire Intersection for the Period: 07:15 to 08:15 on 01/12/23

Peak start	07:15				07:15				07:15							
Volume	8	265	44	0	43	288	3	0	108	486	42	1	138	274	46	0
Percent	3%	84%	14%	0%	13%	86%	1%	0%	17%	76%	7%	0%	30%	60%	10%	0%
Pk total	317				334				637							
Highest	07:30				07:45				07:45							
Volume	3	79	14	0	12	117	0	0	38	138	9	0	34	81	18	0
Hi total	96				129				185							
PHF	.83				.65				.86							

JW BUCKHOLZ TRAFFIC ENGINEERING INC.

MANUAL TURNING MOVEMENTS COUNT

SR 47 @ SW BASCOM NORRIS DRIVE

COLUMBIA COUNTY, FLORIDA

Site Code : 01122301

Start Date: 01/12/23

File I.D. : 01122301

Page : 1

DAY: THURSDAY

DATE: 01/12/23

WEATHER: CLEAR & DRY

BEGIN TIME (MILITARY): 06:30 Hrs

COMMERCIAL VEHICLES

Date	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	
06:30	0	5	0	0	0	0	0	0	0	3	0	0	1	0	0	0	9
06:45	0	4	0	0	0	1	0	0	0	4	0	0	0	0	0	0	9
07:00	0	5	1	0	0	0	0	0	1	5	0	0	0	2	0	0	14
07:15	0	1	0	0	0	1	0	0	0	5	1	0	0	0	1	0	9
Hr Total	0	15	1	0	0	2	0	0	1	17	1	0	1	2	1	0	41
07:30	0	2	1	0	0	2	0	0	0	4	1	0	0	1	0	0	11
07:45	0	5	0	0	0	3	0	0	1	4	0	0	0	2	0	0	15
08:00	0	7	0	0	1	6	0	0	1	7	0	0	0	11	0	0	33
08:15	0	6	1	0	2	5	0	0	1	6	0	0	0	0	0	0	21
Hr Total	0	20	2	0	3	16	0	0	3	21	1	0	0	14	0	0	80
TOTAL	0	35	3	0	3	18	0	0	4	38	2	0	1	16	1	0	121

Peak Hour Analysis By Entire Intersection for the Period: 07:15 to 08:15 on 01/12/23

Peak start	07:15				07:15				07:15				07:15			
Volume	0	15	1	0	1	12	0	0	2	20	2	0	0	14	1	0
Percent	0%	94%	6%	0%	8%	92%	0%	0%	8%	83%	8%	0%	0%	93%	7%	0%
Pk total	16				13				24				15			
Highest	08:00				08:00				08:00				08:00			
Volume	0	7	0	0	1	6	0	0	1	7	0	0	0	11	0	0
Hi total	7				7				8				11			
PHF	.57				.46				.75				.34			

JW BUCKHOLZ TRAFFIC ENGINEERING INC.

MANUAL TURNING MOVEMENTS COUNT

SR 47 @ SW BASCOM NORRIS DRIVE

COLUMBIA COUNTY, FLORIDA

Site Code : 01122301

Start Date: 01/12/23

File I.D. : 01122301

Page : 1

DAY: THURSDAY

DATE: 01/12/23

WEATHER: CLEAR & DRY

BEGIN TIME (MILITARY): 06:30 Hrs

PEDESTRIAN & BICYCLES

Date	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	PEDS	Left	Thru	Right	PEDS	Left	Thru	Right	PEDS	Left	Thru	Right	PEDS	
06:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
06:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:00	0	0	0	0	0	0	0	0	0	0	0	3	0	0	0	0	3
07:15	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1	2
Hr Total	0	0	0	0	0	0	0	0	0	0	0	4	0	0	0	1	5
07:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
07:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
08:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hr Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	0	0	0	0	0	0	0	0	0	0	0	4	0	0	0	1	5

Peak Hour Analysis By Entire Intersection for the Period: 07:15 to 08:15 on 01/12/23

Peak start	07:15				07:15				07:15				07:15			
Volume	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1
Percent	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	100%	0%	0%	0%	100%
Pk total	0				0				1				1			
Highest	06:30				06:30				07:15				07:15			
Volume	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1
Hi total	0				0				1				1			
PHF	.0				.0				.25				.25			

JW BUCKHOLZ TRAFFIC ENGINEERING INC.

MANUAL TURNING MOVEMENTS COUNT

SR 47 @ SW BASCOM NORRIS DRIVE

COLUMBIA COUNTY, FLORIDA

Site Code : 01092301

Start Date: 01/09/23

File I.D. : 01092301

Page : 1

DAY: MONDAY

DATE: 01/09/23

WEATHER: CLEAR & DRY

BEGIN TIME (MILITARY): 15:45 Hrs

AUTOMOBILES, COMMERCIAL VEHICLES

Date	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	
15:45	2	79	24	0	14	58	3	0	31	56	14	1	18	46	14	0	360
16:00	4	89	25	0	19	62	0	0	23	68	5	1	11	39	9	0	355
16:15	1	106	25	0	17	52	3	0	32	60	7	2	15	36	11	0	367
16:30	3	130	24	0	18	60	1	0	33	67	8	2	23	37	6	0	412
Hr Total	10	404	98	0	68	232	7	0	119	251	34	6	67	158	40	0	1494
16:45	0	97	29	0	12	60	0	0	34	64	10	4	19	35	6	0	370
17:00	5	169	38	0	23	80	0	0	45	73	10	4	17	41	10	0	515
17:15	0	126	29	0	17	58	0	0	32	54	3	0	19	54	14	0	406
17:30	1	80	30	0	12	55	1	0	20	60	5	1	7	22	7	0	301
Hr Total	6	472	126	0	64	253	1	0	131	251	28	9	62	152	37	0	1592
TOTAL	16	876	224	0	132	485	8	0	250	502	62	15	129	310	77	0	3086

Peak Hour Analysis By Entire Intersection for the Period: 16:30 to 17:30 on 01/09/23

Peak start	16:30				16:30				16:30				16:30			
Volume	8	522	120	0	70	258	1	0	144	258	31	10	78	167	36	0
Percent	1%	80%	18%	0%	21%	78%	0%	0%	33%	58%	7%	2%	28%	59%	13%	0%
Pk total	650				329				443				281			
Highest	17:00				17:00				17:00				17:15			
Volume	5	169	38	0	23	80	0	0	45	73	10	4	19	54	14	0
Hi total	212				103				132				87			
PHF	.77				.80				.84				.81			

JW BUCKHOLZ TRAFFIC ENGINEERING INC.

MANUAL TURNING MOVEMENTS COUNT

SR 47 @ SW BASCOM NORRIS DRIVE

COLUMBIA COUNTY, FLORIDA

Site Code : 01092301

Start Date: 01/09/23

File I.D. : 01092301

Page : 1

DAY: MONDAY

DATE: 01/09/23

WEATHER: CLEAR & DRY

BEGIN TIME (MILITARY): 15:45 Hrs

AUTOMOBILES

Date	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	
Date 01/09/23	-----																
15:45	2	75	24	0	14	57	2	0	31	51	14	1	18	44	14	0	347
16:00	4	86	25	0	19	60	0	0	23	63	5	1	11	37	9	0	343
16:15	1	98	25	0	17	51	3	0	32	54	7	2	15	35	9	0	349
16:30	3	127	23	0	18	57	1	0	33	58	7	2	23	34	6	0	392
Hr Total	10	386	97	0	68	225	6	0	119	226	33	6	67	150	38	0	1431
16:45	0	96	28	0	11	58	0	0	33	60	10	4	19	34	5	0	358
17:00	5	164	37	0	22	80	0	0	44	67	10	4	17	40	10	0	500
17:15	0	117	29	0	17	58	0	0	31	49	3	0	19	54	13	0	390
17:30	1	79	30	0	12	54	1	0	20	52	5	1	7	20	5	0	287
Hr Total	6	456	124	0	62	250	1	0	128	228	28	9	62	148	33	0	1535

TOTAL	16	842	221	0	130	475	7	0	247	454	61	15	129	298	71	0	2966

Peak Hour Analysis By Entire Intersection for the Period: 16:30 to 17:30 on 01/09/23

Peak start	16:30				16:30				16:30				16:30			
Volume	8	504	117	0	68	253	1	0	141	234	30	10	78	162	34	0
Percent	1%	80%	19%	0%	21%	79%	0%	0%	34%	56%	7%	2%	28%	59%	12%	0%
Pk total	629				322				415				274			
Highest	17:00				17:00				17:00				17:15			
Volume	5	164	37	0	22	80	0	0	44	67	10	4	19	54	13	0
Hi total	206				102				125				86			
PHF	.76				.79				.83				.80			

DAY: MONDAY

DATE: 01/09/23

WEATHER: CLEAR & DRY

BEGIN TIME (MILITARY): 15:45 Hrs

COMMERCIAL VEHICLES

Date 01/09/23	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	Left	Thru	Right	U-TURN	
15:45	0	4	0	0	0	1	1	0	0	5	0	0	0	2	0	0	13
16:00	0	3	0	0	0	2	0	0	0	5	0	0	0	2	0	0	12
16:15	0	8	0	0	0	1	0	0	0	6	0	0	0	1	2	0	18
16:30	0	3	1	0	0	3	0	0	0	9	1	0	0	3	0	0	20
Hr Total	0	18	1	0	0	7	1	0	0	25	1	0	0	8	2	0	63
16:45	0	1	1	0	1	2	0	0	1	4	0	0	0	1	1	0	12
17:00	0	5	1	0	1	0	0	0	1	6	0	0	0	1	0	0	15
17:15	0	9	0	0	0	0	0	0	1	5	0	0	0	0	1	0	16
17:30	0	1	0	0	0	1	0	0	0	8	0	0	0	2	2	0	14
Hr Total	0	16	2	0	2	3	0	0	3	23	0	0	0	4	4	0	57
TOTAL	0	34	3	0	2	10	1	0	3	48	1	0	0	12	6	0	120

Peak Hour Analysis By Entire Intersection for the Period: 16:30 to 17:30 on 01/09/23

Peak start 16:30	16:30				16:30				16:30							
Volume	0	18	3	0	2	5	0	0	3	24	1	0	0	5	2	0
Percent	0%	86%	14%	0%	29%	71%	0%	0%	11%	86%	4%	0%	0%	71%	29%	0%
Pk total	21				7				28							
Highest	17:15				16:30				16:30							
Volume	0	9	0	0	0	3	0	0	0	9	1	0	0	3	0	0
Hi total	9				3				10							
PHF	.58				.58				.70							

DAY: MONDAY

DATE: 01/09/23

WEATHER: CLEAR & DRY

BEGIN TIME (MILITARY): 15:45 Hrs

PEDESTRIAN & BICYCLES

Date 01/09/23	SR 47 From North				SW BASCOM NORRIS DRIVE From East				SR 47 From South				SW BASCOM NORRIS DRIVE From West				Total
	Left	Thru	Right	PEDS	Left	Thru	Right	PEDS	Left	Thru	Right	PEDS	Left	Thru	Right	PEDS	
15:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	1
16:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
16:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hr Total	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1
16:45	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:00	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:15	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
17:30	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hr Total	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
TOTAL	0	0	0	0	0	0	0	0	0	0	0	0	1	0	0	0	1

Peak Hour Analysis By Entire Intersection for the Period: 16:30 to 17:30 on 01/09/23

Peak start 16:30	16:30				16:30				16:30							
Volume	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Percent	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%	0%
Pk total	0				0				0							
Highest	15:45				15:45				15:45							
Volume	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0	0
Hi total	0				0				0							
PHF	.0				.0				.0							

TABLE B-1
SW Bascom Norris Drive / SW McFarlane Avenue
TURNING MOVEMENT COUNTS - ALL VEHICLES

Thursday, January 12, 2023

	SW BASCOM NORRIS DR.				SW McFARLANE AVE.			GAS STATION DRIVEWAY			All
	EB Left Turn	EB Right Turn	WB Left Turn	WB Right Turn	SB Left Turn	"Thru" to Gas Station	SB Right Turn	NB Left Turn	"Thru" to McFarlane	NB Right Turn	
6:30-6:45 AM	2	1	4	2	9	0	1	2	0	2	23
6:45-7:00 AM	2	0	1	16	4	0	1	1	0	0	25
7:00-7:15 AM	4	1	1	18	13	0	9	0	0	0	46
7:15-7:30 AM	13	0	1	17	9	0	10	0	0	0	50
7:30-7:45 AM	9	0	1	22	17	0	5	1	0	1	56
7:45-8:00 AM	13	0	0	39	14	0	8	1	0	0	75
8:00-8:15 AM	3	1	1	28	11	0	5	2	0	0	51
8:15-8:30 AM	8	0	0	33	12	1	9	1	1	0	65
AM PEAK PERIOD:	54	3	9	175	89	1	48	8	1	3	391
AM PEAK HOUR: 7:15-8:15 AM	38	1	3	106	51	0	28	4	0	1	232

Monday, January 9, 2023

	SW BASCOM NORRIS DR.				SW McFARLANE AVE.			GAS STATION DRIVEWAY			All
	EB Left Turn	EB Right Turn	WB Left Turn	WB Right Turn	SB Left Turn	"Thru" to Gas Station	SB Right Turn	NB Left Turn	"Thru" to McFarlane	NB Right Turn	
3:45-4:00 PM	1	2	1	3	3	0	0	1	0	2	13
4:00-4:15 PM	3	2	2	9	5	0	0	1	0	0	22
4:15-4:30 PM	2	6	4	13	5	0	2	3	1	3	39
4:30-4:45 PM	5	4	2	15	17	0	1	1	0	2	47
4:45-5:00 PM	4	1	1	24	14	1	6	3	1	0	55
5:00-5:15 PM	4	1	5	23	17	0	5	3	1	1	60
5:15-5:30 PM	10	1	1	29	18	1	11	1	1	2	75
5:30-5:45 PM	7	1	8	15	11	0	5	0	0	2	49
PM PEAK PERIOD:	36	18	24	131	90	2	30	13	4	12	360
PM PEAK HOUR: 4:30-5:30 PM	23	7	9	91	66	2	23	8	3	5	237

BUCKHOLZ TRAFFIC

**TABLE B-2
SW Bascom Norris Drive / SW McFarlane Avenue
TURNING MOVEMENT COUNTS - TRUCKS**

Thursday, January 12, 2023

	SW BASCOM NORRIS DR.				SW McFARLANE AVE.			GAS STATION DRIVEWAY			All
	EB Left Turn	EB Right Turn	WB Left Turn	WB Right Turn	SB Left Turn	"Thru" to Gas Station	SB Right Turn	NB Left Turn	"Thru" to McFarlane	NB Right Turn	
6:30-6:45 AM	0	0	0	0	0	0	0	0	0	0	0
6:45-7:00 AM	0	0	0	0	0	0	0	0	0	0	0
7:00-7:15 AM	0	0	0	0	0	0	0	0	0	0	0
7:15-7:30 AM	1	0	0	0	0	0	1	0	0	0	1
7:30-7:45 AM	0	0	0	0	1	0	1	0	0	0	2
7:45-8:00 AM	0	0	0	1	0	0	0	0	0	0	1
8:00-8:15 AM	0	0	0	3	0	0	0	0	0	0	3
8:15-8:30 AM	1	0	0	1	0	0	1	0	0	0	3
AM PEAK PERIOD:	2	0	0	5	1	0	2	0	0	0	10
AM PEAK HOUR:	1	0	0	4	1	0	1	0	0	0	7
7:16-8:15 AM											

Monday, January 9, 2023

	SW BASCOM NORRIS DR.				SW McFARLANE AVE.			GAS STATION DRIVEWAY			All
	EB Left Turn	EB Right Turn	WB Left Turn	WB Right Turn	SB Left Turn	"Thru" to Gas Station	SB Right Turn	NB Left Turn	"Thru" to McFarlane	NB Right Turn	
3:45-4:00 PM	0	0	0	0	0	0	0	0	0	0	0
4:00-4:15 PM	0	0	0	0	0	0	0	0	0	0	0
4:15-4:30 PM	0	0	0	0	0	0	0	0	0	1	1
4:30-4:45 PM	0	0	0	0	1	0	0	0	0	0	1
4:45-5:00 PM	0	0	0	0	0	0	0	0	0	0	0
5:00-5:15 PM	0	0	0	0	0	0	0	0	0	0	0
5:15-5:30 PM	1	0	0	1	1	0	0	0	0	0	3
5:30-5:45 PM	0	0	0	0	1	0	0	0	0	0	1
PM PEAK PERIOD:	1	0	0	1	3	0	0	0	0	0	6
PM PEAK HOUR:	1	0	0	1	2	0	0	0	0	0	4
4:30-5:30 PM											

BUCKHOLZ TRAFFIC

TABLE B-3
SW Bascom Norris Drive / SW Tamoka Terrace
TURNING MOVEMENT COUNTS - ALL VEHICLES

Thursday, January 12, 2023

	SW BASCOM NORRIS DR.		SW TOMOKA TERR.		All
	WB Left Turn	EB Right Turn	NB Left Turn	NB Right Turn	
6:30-6:45 AM	0	0	0	0	0
6:45-7:00 AM	1	0	0	0	1
7:00-7:15 AM	0	0	0	3	3
7:15-7:30 AM	0	0	0	7	7
7:30-7:45 AM	4	0	0	5	9
7:45-8:00 AM	2	0	0	8	10
8:00-8:15 AM	3	0	0	4	7
8:15-8:30 AM	1	0	0	4	5
AM PEAK PERIOD:	11	0	0	31	42

AM PEAK HOUR:	9	0	0	24	33
7:15-8:15 AM					

Monday, January 9, 2023

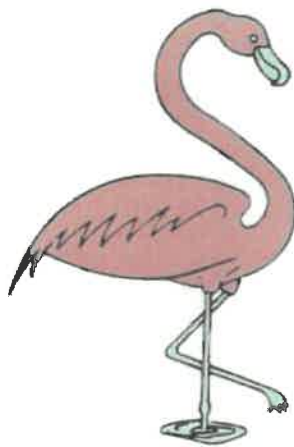
	SW BASCOM NORRIS DR.		SW TOMOKA TERR.		All
	WB Left Turn	EB Right Turn	NB Left Turn	NB Right Turn	
3:45-4:00 PM	2	0	0	5	7
4:00-4:15 PM	0	0	0	1	1
4:15-4:30 PM	2	1	0	4	7
4:30-4:45 PM	0	0	0	2	2
4:45-5:00 PM	3	0	1	2	6
5:00-5:15 PM	0	0	0	2	2
5:15-5:30 PM	1	0	0	2	3
5:30-5:45 PM	3	0	0	1	4
PM PEAK PERIOD:	11	1	1	19	32

PM PEAK HOUR:	4	0	1	8	13
4:30-5:30 PM					

BUCKHOLZ TRAFFIC

APPENDIX C

FDOT TRAFFIC DATA

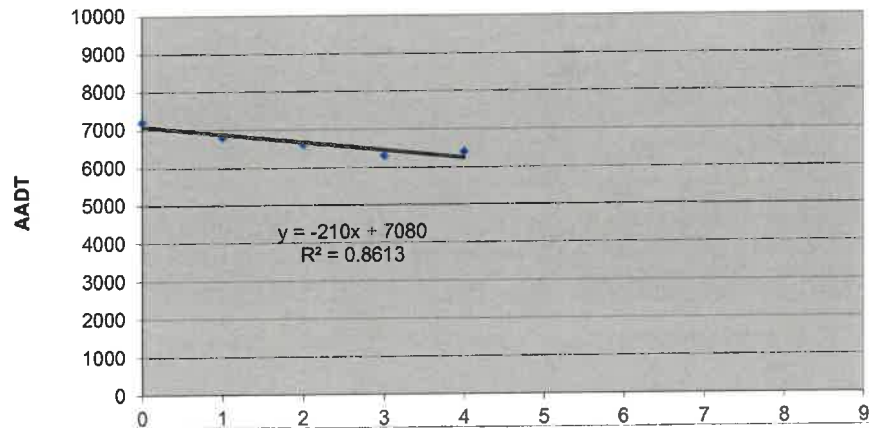


**TABLE C-1
LINEAR REGRESSION ANALYSIS**

Bascom Norris Drive, West of McFarland Avenue

Year	X	Actual AADT (Y)	Predicted AADT
2017	0	7200	7080
2018	1	6800	6870
2019	2	6600	6660
2020	3	6300	6450
2021	4	6400	6240
2022	5		6030
2023	6		5820
2024	7		5610
2025	8		5400
2026	9		5190

i = -3.4%



BUCKHOLZ TRAFFIC

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2021 HISTORICAL AADT REPORT

COUNTY: 29 - COLUMBIA

SITE: 5040 - CR 100A (BASCOM NORRIS DR) W. OF MCFARLANE AVE.

YEAR	AADT	DIRECTION 1		DIRECTION 2		*K FACTOR	D FACTOR	T FACTOR
2021	6400 F		0		0	9.00	54.20	12.60
2020	6300 C	N	0	S	0	9.00	54.80	1.30
2019	6600 C	N	0	S	0	9.00	54.80	0.90
2018	6800 C	N	0	S	0	9.00	54.70	6.60
2017	7200 C	N	0	S	0	9.00	55.50	1.10
2016	7100 C	N	0	S	0	9.00	53.90	1.30
2015	7000 C	N	0	S	0	9.00	54.50	0.90
2014	6800 C	N	0	S	0	9.00	54.40	1.40
2013	7000 C	N	0	S	0	9.00	55.30	1.20
2012	6500 C	N	0	S	0	9.00	54.70	0.80
2011	7300 C	N	0	S	0	9.00	53.70	1.80
2010	6500 C	N	0	S	0	9.94	54.40	1.40
2009	6500 C	N	0	S	0	9.78	54.18	3.50
2008	7400 C	N	0	S	0	9.82	54.63	2.00
2007	6700 C	N	0	S	0	9.99	54.46	1.40
2006	7900 C	N	0	S	0	10.01	55.64	1.90

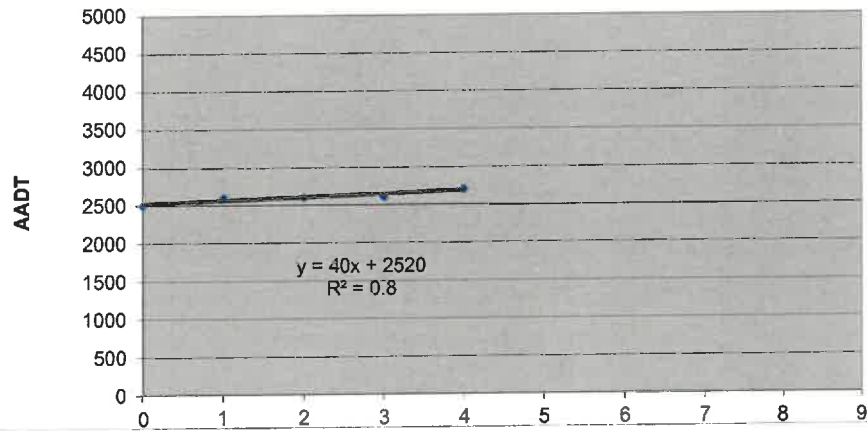
AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

**TABLE C-2
LINEAR REGRESSION ANALYSIS**

McFarland Avenue, North of Bascom Norris Drive

Year	X	Actual AADT (Y)	Predicted AADT
2017	0	2500	2520
2018	1	2600	2560
2019	2	2600	2600
2020	3	2600	2640
2021	4	2700	2680
2022	5		2720
2023	6		2760
2024	7		2800
2025	8		2840
2026	9		2880

i = 1.5%



BUCKHOLZ TRAFFIC

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2021 HISTORICAL AADT REPORT

COUNTY: 29 - COLUMBIA

SITE: 5025 - MCFARLAND AVE. .1 MI. N. OF BASCOM NORRIS DR. (HPMS)

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2021	2700 R	0	0	9.00	54.20	3.60
2020	2600 T	0	0	9.00	54.80	3.70
2019	2600 S	0	0	9.00	54.80	3.40
2018	2600 F	0	0	9.00	54.70	3.90
2017	2500 C	N	S	9.00	55.50	2.90
2016	2800 R	0	0	9.00	53.90	3.20
2015	2700 T	0	0	9.00	54.50	4.30
2014	2700 S	0	0	9.00	54.40	3.10
2013	2700 F	0	0	9.00	55.30	3.00
2012	2700 C	N	S	9.00	54.70	3.90

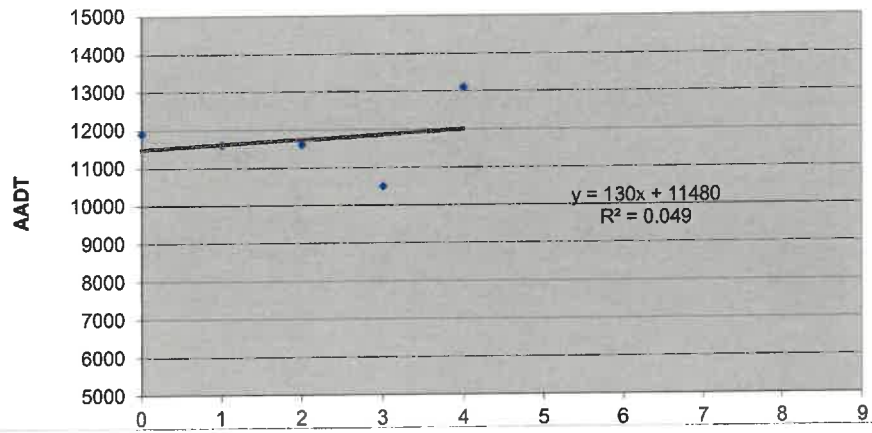
AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

**TABLE C-3
LINEAR REGRESSION ANALYSIS**

SR 47, South of Bascom Norris Drive

Year	X	Actual AADT (Y)	Predicted AADT
2017	0	11900	11480
2018	1	11600	11610
2019	2	11600	11740
2020	3	10500	11870
2021	4	13100	12000
2022	5		12130
2023	6		12260
2024	7		12390
2025	8		12520
2026	9		12650

i = 1.1%



BUCKHOLZ TRAFFIC

FLORIDA DEPARTMENT OF TRANSPORTATION
 TRANSPORTATION STATISTICS OFFICE
 2021 HISTORICAL AADT REPORT

COUNTY: 29 - COLUMBIA

SITE: 0227 - SR 47 300' S. OF BASCOM NORRIS DR..

YEAR	AADT	DIRECTION 1	DIRECTION 2	*K FACTOR	D FACTOR	T FACTOR
2021	13100 C	N 7000	S 6100	9.00	54.20	5.10
2020	10500 C	N 5500	S 5000	9.00	54.80	5.60
2019	11600 C	N 6000	S 5600	9.00	54.80	3.90
2018	11600 C	N 6200	S 5400	9.00	54.70	3.90
2017	11900 C	N 6200	S 5700	9.00	55.50	4.20
2016	11300 C	N 5900	S 5400	9.00	53.90	4.00
2015	10700 C	N 5600	S 5100	9.00	54.50	4.00
2014	11200 C	N 5900	S 5300	9.00	54.40	3.40
2013	9600 C	N 5100	S 4500	9.00	55.30	4.00
2012	10200 C	N 5400	S 4800	9.00	54.70	3.80
2011	10300 C	N 5500	S 4800	9.00	53.70	4.60
2010	9800 C	N 5700	S 4100	9.94	54.40	4.20
2009	11200 F	N 5800	S 5400	9.78	54.18	4.30
2008	11200 C	N 5900	S 5300	9.82	54.63	3.90
2007	10000 C	N 5200	S 4800	9.99	54.46	4.40
2006	9400 F	N 4800	S 4600	10.01	55.64	10.60

AADT FLAGS: C = COMPUTED; E = MANUAL ESTIMATE; F = FIRST YEAR ESTIMATE
 S = SECOND YEAR ESTIMATE; T = THIRD YEAR ESTIMATE; R = FOURTH YEAR ESTIMATE
 V = FIFTH YEAR ESTIMATE; 6 = SIXTH YEAR ESTIMATE; X = UNKNOWN
 *K FACTOR: STARTING WITH YEAR 2011 IS STANDARDK, PRIOR YEARS ARE K30 VALUES

COUNTY: 29
 STATION: 0227
 DESCRIPTION: SR 47 300' S. OF BASCOM NORRIS DR.
 START DATE: 09/29/2021
 START TIME: 0000

TIME	DIRECTION: N					DIRECTION: S					COMBINED TOTAL
	1ST	2ND	3RD	4TH	TOTAL	1ST	2ND	3RD	4TH	TOTAL	
0000	3	8	2	3	16	10	9	9	6	34	50
0100	4	5	4	9	22	14	3	6	8	31	53
0200	1	4	2	3	10	8	7	5	6	26	36
0300	4	6	9	16	35	3	6	10	7	26	61
0400	9	19	16	20	64	3	4	7	12	26	90
0500	15	29	38	59	141	12	12	19	21	64	205
0600	58	72	88	91	309	28	28	55	58	169	478
0700	115	157	172	210	654	69	100	91	91	351	1005
0800	177	155	114	114	560	81	97	75	68	321	881
0900	109	91	99	106	405	76	72	96	81	325	730
1000	103	108	103	97	411	96	75	84	100	355	766
1100	113	112	135	151	511	93	85	109	114	401	912
1200	123	118	112	111	464	115	120	101	122	458	922
1300	108	112	122	122	464	103	93	99	132	427	891
1400	141	149	142	168	600	119	124	129	107	479	1079
1500	128	147	147	121	543	134	114	125	139	512	1055
1600	106	142	151	117	516	155	134	149	146	584	1100
1700	149	144	141	109	543	172	157	138	113	580	1123
1800	109	91	67	68	335	90	59	80	65	294	629
1900	71	54	41	49	215	73	64	63	46	246	461
2000	36	25	21	27	109	51	31	44	49	175	284
2100	25	28	25	24	102	33	26	24	20	103	205
2200	17	11	12	9	49	15	20	30	19	84	133
2300	9	4	7	3	23	11	11	10	16	48	71

24-HOUR TOTALS: 7101 6119 13220

	DIRECTION: N		DIRECTION: S		COMBINED DIRECTIONS	
	HOUR	VOLUME	HOUR	VOLUME	HOUR	VOLUME
A.M.	715	716	715	363	715	1079
P.M.	1400	600	1630	624	1630	1185
DAILY	715	716	1630	624	1630	1185

TRUCK PERCENTAGE 4.70 5.62 5.13

CLASSIFICATION SUMMARY DATABASE

DIR	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	TOTTRK	TOTVOL
N	26	4502	2239	15	125	42	1	34	110	4	2	0	1	0	0	334	7101
S	28	3945	1802	5	88	63	22	34	128	3	1	0	0	0	0	344	6119

GENERATED BY SPS 5.0.57P

2021 PEAK SEASON FACTOR CATEGORY REPORT - REPORT TYPE: ALL
 CATEGORY: 2900 COLUMBIA COUNTYWIDE

MOCF: 0.96
 PSCF

WEEK	DATES	SF	PSCF
1	01/01/2021 - 01/02/2021	1.03	1.07
2	01/03/2021 - 01/09/2021	1.05	1.09
3	01/10/2021 - 01/16/2021	1.07	1.11
4	01/17/2021 - 01/23/2021	1.06	1.10
5	01/24/2021 - 01/30/2021	1.05	1.09
6	01/31/2021 - 02/06/2021	1.04	1.08
7	02/07/2021 - 02/13/2021	1.04	1.08
8	02/14/2021 - 02/20/2021	1.03	1.07
9	02/21/2021 - 02/27/2021	1.01	1.05
10	02/28/2021 - 03/06/2021	1.00	1.04
11	03/07/2021 - 03/13/2021	0.98	1.02
12	03/14/2021 - 03/20/2021	0.97	1.01
*13	03/21/2021 - 03/27/2021	0.97	1.01
*14	03/28/2021 - 04/03/2021	0.97	1.01
*15	04/04/2021 - 04/10/2021	0.96	1.00
*16	04/11/2021 - 04/17/2021	0.96	1.00
*17	04/18/2021 - 04/24/2021	0.96	1.00
*18	04/25/2021 - 05/01/2021	0.95	0.99
*19	05/02/2021 - 05/08/2021	0.95	0.99
*20	05/09/2021 - 05/15/2021	0.94	0.98
*21	05/16/2021 - 05/22/2021	0.95	0.99
*22	05/23/2021 - 05/29/2021	0.95	0.99
*23	05/30/2021 - 06/05/2021	0.96	1.00
*24	06/06/2021 - 06/12/2021	0.96	1.00
*25	06/13/2021 - 06/19/2021	0.97	1.01
26	06/20/2021 - 06/26/2021	0.99	1.03
27	06/27/2021 - 07/03/2021	1.00	1.04
28	07/04/2021 - 07/10/2021	1.02	1.06
29	07/11/2021 - 07/17/2021	1.03	1.07
30	07/18/2021 - 07/24/2021	1.04	1.08
31	07/25/2021 - 07/31/2021	1.04	1.08
32	08/01/2021 - 08/07/2021	1.04	1.08
33	08/08/2021 - 08/14/2021	1.05	1.09
34	08/15/2021 - 08/21/2021	1.05	1.09
35	08/22/2021 - 08/28/2021	1.04	1.08
36	08/29/2021 - 09/04/2021	1.03	1.07
37	09/05/2021 - 09/11/2021	1.02	1.06
38	09/12/2021 - 09/18/2021	1.01	1.05
39	09/19/2021 - 09/25/2021	1.00	1.04
40	09/26/2021 - 10/02/2021	0.99	1.03
41	10/03/2021 - 10/09/2021	0.99	1.03
42	10/10/2021 - 10/16/2021	0.98	1.02
43	10/17/2021 - 10/23/2021	0.99	1.03
44	10/24/2021 - 10/30/2021	0.99	1.03
45	10/31/2021 - 11/06/2021	1.00	1.04
46	11/07/2021 - 11/13/2021	1.01	1.05
47	11/14/2021 - 11/20/2021	1.01	1.05
48	11/21/2021 - 11/27/2021	1.02	1.06
49	11/28/2021 - 12/04/2021	1.02	1.06
50	12/05/2021 - 12/11/2021	1.02	1.06
51	12/12/2021 - 12/18/2021	1.03	1.07
52	12/19/2021 - 12/25/2021	1.05	1.09
53	12/26/2021 - 12/31/2021	1.07	1.11

* PEAK SEASON

08-MAR-2022 12:36:24

830UPD

2_2900_PKSEASON.TXT

APPENDIX D

CAPACITY CALCULATIONS UNSIGNALIZED INTERSECTIONS

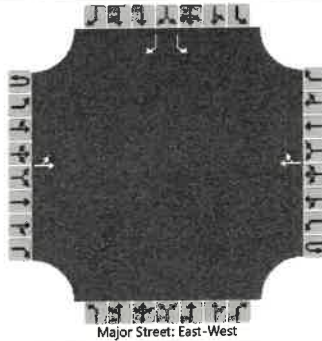


AM PEAK HOUR

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW McFarlane Ave.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2023	North/South Street	SW McFarlane Avenue
Time Analyzed	Weekday AM Peak Hour	Peak Hour Factor	0.84
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		1	0	1
Configuration		LT						TR						L		R
Volume (veh/h)		41	452				375	113						55		30
Percent Heavy Vehicles (%)		3												2		4
Proportion Time Blocked																
Percent Grade (%)																0
Right Turn Channelized																No
Median Type Storage																Undivided

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.13												6.42		6.24
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.23												3.52		3.34

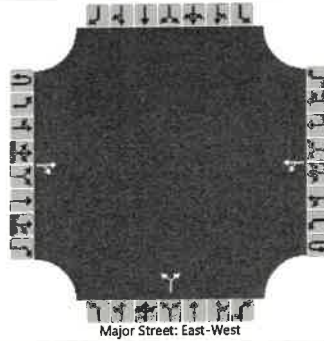
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		49												65		36	
Capacity, c (veh/h)		988												204		557	
v/c Ratio		0.05												0.32		0.06	
95% Queue Length, Q ₉₅ (veh)		0.2												1.3		0.2	
Control Delay (s/veh)		8.8	0.6											30.8		11.9	
Level of Service (LOS)		A	A											D		B	
Approach Delay (s/veh)		1.3												24.1			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW Tomoka Terrace
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2023	North/South Street	SW Tomoka Terrace
Time Analyzed	Weekday AM Peak Hour	Peak Hour Factor	0.84
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	1	0		0	0	0
Configuration				TR		LT					LR					
Volume (veh/h)			467	0		10	395			0		26				
Percent Heavy Vehicles (%)						0				0		0				
Proportion Time Blocked																
Percent Grade (%)										0						
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)						4.1				7.1		6.2				
Critical Headway (sec)						4.10				6.40		6.20				
Base Follow-Up Headway (sec)						2.2				3.5		3.3				
Follow-Up Headway (sec)						2.20				3.50		3.30				

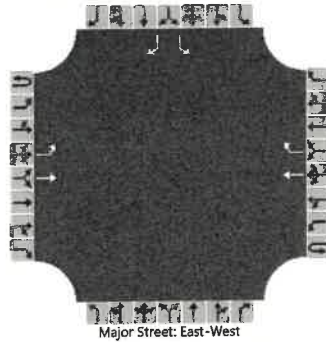
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						12						31				
Capacity, c (veh/h)						1025						534				
v/c Ratio						0.01						0.06				
95% Queue Length, Q ₉₅ (veh)						0.0						0.2				
Control Delay (s/veh)						8.6	0.1					12.1				
Level of Service (LOS)						A	A					B				
Approach Delay (s/veh)						0.3				12.1						
Approach LOS						A				B						

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW McFarlane Ave.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	SW McFarlane Avenue
Time Analyzed	AM Peak Hr. BUILD Traffic	Peak Hour Factor	0.84
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority														1	0	1
Number of Lanes	0	1	1	0	0	0	1	1		0	0	0		1	0	1
Configuration		L	T				T	R						L		R
Volume (veh/h)		45	489				397	116						57		33
Percent Heavy Vehicles (%)		3												2		4
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized							No							No		
Median Type Storage							Undivided									

Critical and Follow-up Headways

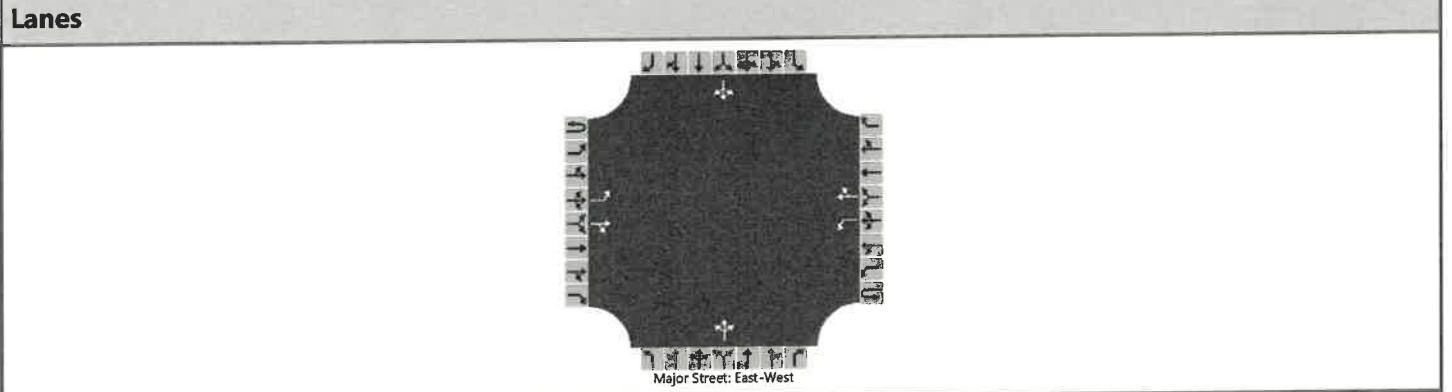
Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.13												6.42		6.24
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.23												3.52		3.34

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		54												68		39	
Capacity, c (veh/h)		963												204		587	
v/c Ratio		0.06												0.33		0.07	
95% Queue Length, Q ₉₅ (veh)		0.2												1.4		0.2	
Control Delay (s/veh)		9.0												31.3		11.6	
Level of Service (LOS)		A												D		B	
Approach Delay (s/veh)		0.8												24.1			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW Tomoka Terr. / T...
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	SW Tomoka Terrace / TennisDriveway
Time Analyzed	AM Peak Hr. BUILD Traffic	Peak Hour Factor	0.84
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12	
Priority																	
Number of Lanes	0	1	1	0	0	1	1	0		0	1	0		0	1	0	
Configuration		L		TR		L		TR			LTR				LTR		
Volume (veh/h)		6	484	0		10	408	6		0	1	27		6	1	6	
Percent Heavy Vehicles (%)		0				0				0	0	0		0	0	0	
Proportion Time Blocked																	
Percent Grade (%)										0				0			
Right Turn Channelized																	
Median Type Storage	Undivided																

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1				4.1				7.1	6.5	6.2		7.1	6.5	6.2
Critical Headway (sec)		4.10				4.10				7.10	6.50	6.20		7.10	6.50	6.20
Base Follow-Up Headway (sec)		2.2				2.2				3.5	4.0	3.3		3.5	4.0	3.3
Follow-Up Headway (sec)		2.20				2.20				3.50	4.00	3.30		3.50	4.00	3.30

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		7				12					33					15	
Capacity, c (veh/h)		1081				1007					494					258	
v/c Ratio		0.01				0.01					0.07					0.06	
95% Queue Length, Q ₉₅ (veh)		0.0				0.0					0.2					0.2	
Control Delay (s/veh)		8.4				8.6					12.8					19.9	
Level of Service (LOS)		A				A					B					C	
Approach Delay (s/veh)		0.1				0.2				12.8				19.9			
Approach LOS		A				A				B				C			

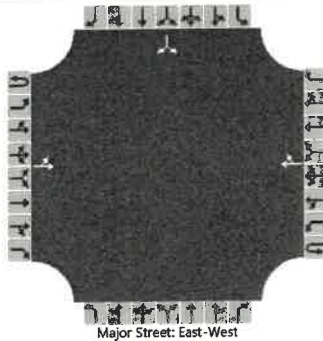
HCS Two-Way Stop-Control Report

General Information

Site Information

Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / East Condo Dr.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	East Condo Driveway
Time Analyzed	AM Peak Hr. BUILD Traffic	Peak Hour Factor	0.84
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR								LR
Volume (veh/h)		1	522				416	4						12		4
Percent Heavy Vehicles (%)		2												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.12												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.22												3.52		3.32

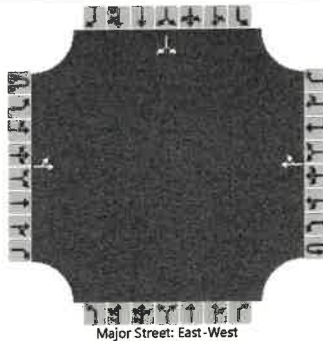
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		1														19	
Capacity, c (veh/h)		1064														268	
v/c Ratio		0.00														0.07	
95% Queue Length, Q ₉₅ (veh)		0.0														0.2	
Control Delay (s/veh)		8.4	0.0													19.5	
Level of Service (LOS)		A	A													C	
Approach Delay (s/veh)		0.0												19.5			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / West Condo Dr.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	West Condo Driveway
Time Analyzed	AM Peak Hr. BUILD Traffic	Peak Hour Factor	0.84
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR								LR
Volume (veh/h)		2	515				417	3						8		7
Percent Heavy Vehicles (%)		2												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.12												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.22												3.52		3.32

Delay, Queue Length, and Level of Service

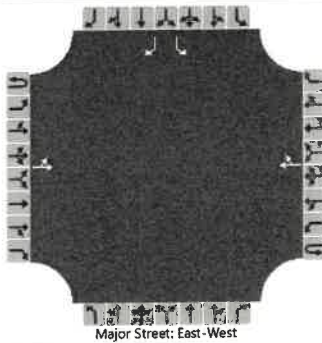
Flow Rate, v (veh/h)		2														18	
Capacity, c (veh/h)		1064														318	
v/c Ratio		0.00														0.06	
95% Queue Length, Q ₉₅ (veh)		0.0														0.2	
Control Delay (s/veh)		8.4	0.0													17.0	
Level of Service (LOS)		A	A													C	
Approach Delay (s/veh)		0.1												17.0			
Approach LOS		A												C			

PM PEAK HOUR

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW McFarlane Ave.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/10/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2023	North/South Street	SW McFarlane Avenue
Time Analyzed	Weekday PM Peak Hour	Peak Hour Factor	0.83
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		1	0	1
Configuration		LT						TR						L		R
Volume (veh/h)		24	228				452	99						71		24
Percent Heavy Vehicles (%)		5												2		0
Proportion Time Blocked																
Percent Grade (%)																0
Right Turn Channelized																No
Median Type Storage		Undivided														

Critical and Follow-up Headways

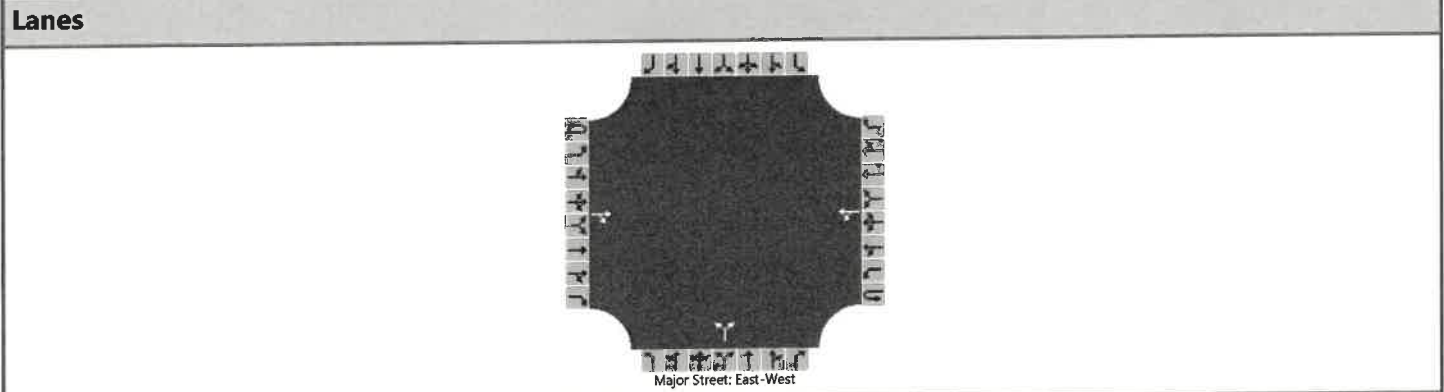
Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.15												6.42		6.20
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.25												3.52		3.30

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		29												86		29	
Capacity, c (veh/h)		911												283		502	
v/c Ratio		0.03												0.30		0.06	
95% Queue Length, Q ₉₅ (veh)		0.1												1.2		0.2	
Control Delay (s/veh)		9.1	0.3											23.1		12.6	
Level of Service (LOS)		A	A											C		B	
Approach Delay (s/veh)		1.2												20.5			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW Tomoka Terrace
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/10/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2023	North/South Street	SW Tomoka Terrace
Time Analyzed	Weekday PM Peak Hour	Peak Hour Factor	0.83
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	1	0		0	0	0
Configuration				TR		LT					LR					
Volume (veh/h)			244	0		4	471			1		8				
Percent Heavy Vehicles (%)						0				0		0				
Proportion Time Blocked																
Percent Grade (%)										0						
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

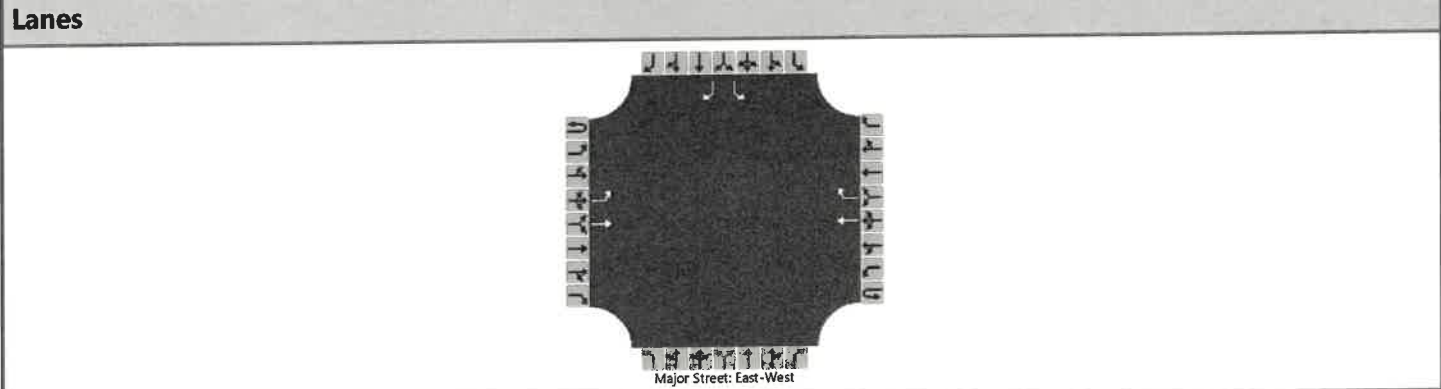
Base Critical Headway (sec)						4.1				7.1		6.2				
Critical Headway (sec)						4.10				6.40		6.20				
Base Follow-Up Headway (sec)						2.2				3.5		3.3				
Follow-Up Headway (sec)						2.20				3.50		3.30				

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)						5						11				
Capacity, c (veh/h)						1279						654				
v/c Ratio						0.00						0.02				
95% Queue Length, Q ₉₅ (veh)						0.0						0.1				
Control Delay (s/veh)						7.8	0.0					10.6				
Level of Service (LOS)						A	A					B				
Approach Delay (s/veh)						0.1				10.6						
Approach LOS						A				B						

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW McFarlane Ave.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	SW McFarlane Avenue
Time Analyzed	PM Peak Hr. BUILD Traffic	Peak Hour Factor	0.83
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	1	1	0	0	0	1	1		0	0	0		1	0	1
Configuration		L	T				T	R						L		R
Volume (veh/h)		27	250				490	102						73		26
Percent Heavy Vehicles (%)		5												2		0
Proportion Time Blocked																
Percent Grade (%)																0
Right Turn Channelized							No									No
Median Type Storage							Undivided									

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.15												6.42		6.20
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.25												3.52		3.30

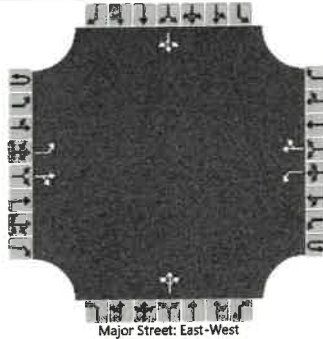
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		33												88		31	
Capacity, c (veh/h)		873												275		511	
v/c Ratio		0.04												0.32		0.06	
95% Queue Length, Q ₉₅ (veh)		0.1												1.3		0.2	
Control Delay (s/veh)		9.3												24.1		12.5	
Level of Service (LOS)		A												C		B	
Approach Delay (s/veh)		0.9												21.0			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / SW Tomoka Terr. / T...
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	SW Tomoka Terrace / Tennis Driveway
Time Analyzed	PM Peak Hr. BUILD Traffic	Peak Hour Factor	0.83
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound				
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R	
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12	
Priority																	
Number of Lanes	0	1	1	0	0	1	1	0		0	1	0		0	1	0	
Configuration		L		TR		L		TR			LTR				LTR		
Volume (veh/h)		6	260	0		4	491	6		1	1	9		6	1	6	
Percent Heavy Vehicles (%)		0				0				0	0	0		0	0	0	
Proportion Time Blocked																	
Percent Grade (%)										0				0			
Right Turn Channelized																	
Median Type Storage	Undivided																

Critical and Follow-up Headways

Base Critical Headway (sec)		4.1				4.1				7.1	6.5	6.2		7.1	6.5	6.2
Critical Headway (sec)		4.10				4.10				7.10	6.50	6.20		7.10	6.50	6.20
Base Follow-Up Headway (sec)		2.2				2.2				3.5	4.0	3.3		3.5	4.0	3.3
Follow-Up Headway (sec)		2.20				2.20				3.50	4.00	3.30		3.50	4.00	3.30

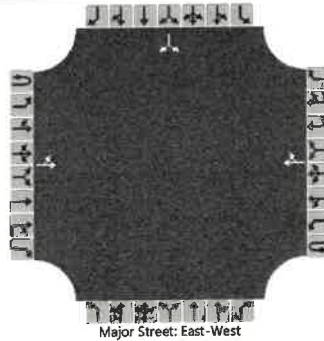
Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		7				5					13					16	
Capacity, c (veh/h)		988				1258					543					319	
v/c Ratio		0.01				0.00					0.02					0.05	
95% Queue Length, Q ₉₅ (veh)		0.0				0.0					0.1					0.2	
Control Delay (s/veh)		8.7				7.9					11.8					16.9	
Level of Service (LOS)		A				A					B					C	
Approach Delay (s/veh)		0.2				0.1				11.8				16.9			
Approach LOS		A				A				B				C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / East Condo Dr.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	East Condo Driveway
Time Analyzed	PM Peak Hr. BUILD Traffic	Peak Hour Factor	0.83
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		

Lanes



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR								LR
Volume (veh/h)		4	269				503	11						7		2
Percent Heavy Vehicles (%)		2												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage	Undivided															

Critical and Follow-up Headways

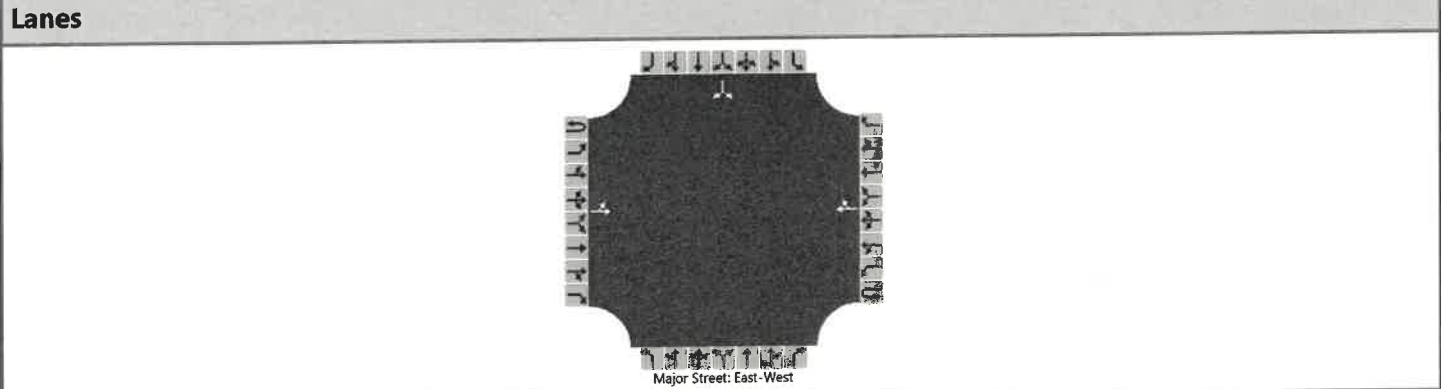
Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.12												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.22												3.52		3.32

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		5														11	
Capacity, c (veh/h)		961														318	
v/c Ratio		0.01														0.03	
95% Queue Length, Q ₉₅ (veh)		0.0														0.1	
Control Delay (s/veh)		8.8	0.1													16.7	
Level of Service (LOS)		A	A													C	
Approach Delay (s/veh)		0.2												16.7			
Approach LOS		A												C			

HCS Two-Way Stop-Control Report

General Information		Site Information	
Analyst	J. Buckholz	Intersection	SW Bascom Norris Dr. / West Condo Dr.
Agency/Co.	BUCKHOLZ TRAFFIC	Jurisdiction	Columbia County
Date Performed	1/18/2023	East/West Street	SW Bascom Norris Drive
Analysis Year	2026	North/South Street	West Condo Driveway
Time Analyzed	PM Peak Hr. BUILD Traffic	Peak Hour Factor	0.83
Intersection Orientation	East-West	Analysis Time Period (hrs)	0.25
Project Description	#23-1812		



Vehicle Volumes and Adjustments

Approach	Eastbound				Westbound				Northbound				Southbound			
	U	L	T	R	U	L	T	R	U	L	T	R	U	L	T	R
Movement	1U	1	2	3	4U	4	5	6		7	8	9		10	11	12
Priority																
Number of Lanes	0	0	1	0	0	0	1	0		0	0	0		0	1	0
Configuration		LT						TR							LR	
Volume (veh/h)		6	269				497	8						4		4
Percent Heavy Vehicles (%)		2												2		2
Proportion Time Blocked																
Percent Grade (%)														0		
Right Turn Channelized																
Median Type Storage		Undivided														

Critical and Follow-up Headways

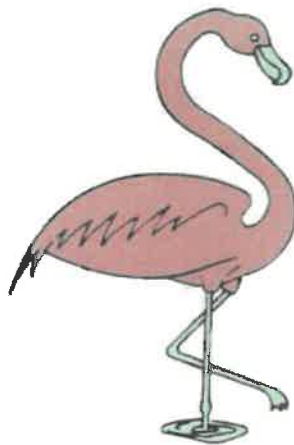
Base Critical Headway (sec)		4.1												7.1		6.2
Critical Headway (sec)		4.12												6.42		6.22
Base Follow-Up Headway (sec)		2.2												3.5		3.3
Follow-Up Headway (sec)		2.22												3.52		3.32

Delay, Queue Length, and Level of Service

Flow Rate, v (veh/h)		7														10
Capacity, c (veh/h)		970														366
v/c Ratio		0.01														0.03
95% Queue Length, Q ₉₅ (veh)		0.0														0.1
Control Delay (s/veh)		8.7	0.1													15.1
Level of Service (LOS)		A	A													C
Approach Delay (s/veh)		0.3												15.1		
Approach LOS		A												C		

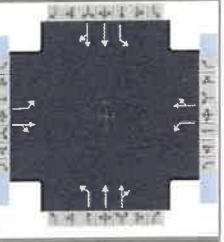
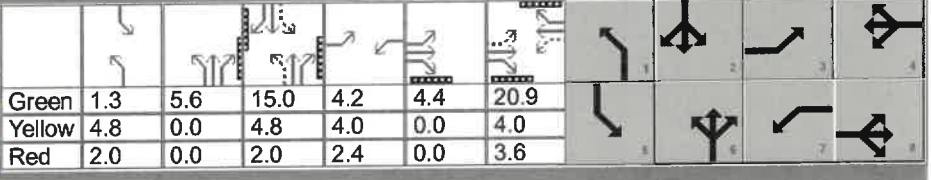
APPENDIX E

CAPACITY CALCULATIONS SIGNALIZED INTERSECTIONS

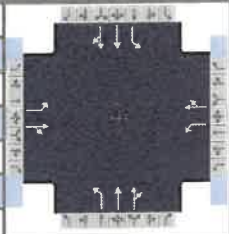
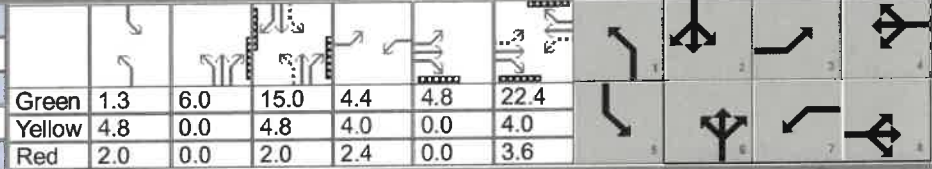


AM PEAK HOUR

HCS Signalized Intersection Results Summary

General Information					Intersection Information										
Agency	BUCKHOLZ TRAFFIC				Duration, h	0.250									
Analyst	J. Buckholz	Analysis Date	Jan 16, 2023		Area Type	Other									
Jurisdiction	Columbia County	Time Period	AM Peak Hour		PHF	0.84									
Urban Street	SR 47	Analysis Year	2023		Analysis Period	1> 16:30									
Intersection	SW Bascom Norris Drive	File Name	2023_AM_SR47_SWBascomNorris.xus												
Project Description	2023 AM Peak Hr Traffic														
Demand Information				EB			WB			NB			SB		
Approach Movement				L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h				148	308	50	47	321	3	119	541	47	9	300	48
Signal Information															
Cycle, s	79.0	Reference Phase	2												
Offset, s	110	Reference Point	End												
Uncoordinated	Yes	Simult. Gap E/W	Off												
Force Mode	Fixed	Simult. Gap N/S	Off												
Green	1.3	5.6	15.0	4.2	4.4	20.9									
Yellow	4.8	0.0	4.8	4.0	0.0	4.0									
Red	2.0	0.0	2.0	2.4	0.0	3.6									
Timer Results				EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT				
Assigned Phase				3	8	7	4	1	6	5	2				
Case Number				1.1	4.0	1.1	4.0	1.1	4.0	1.1	4.0				
Phase Duration, s				15.0	32.9	10.6	28.5	13.7	27.4	8.1	21.8				
Change Period, (Y+R _c), s				7.3	7.6	6.4	7.6	6.8	6.8	6.8	6.8				
Max Allow Headway (MAH), s				4.9	6.9	4.9	6.8	4.9	4.4	4.9	4.5				
Queue Clearance Time (g _s), s				7.4	18.7	3.7	17.3	6.9	16.0	2.4	10.5				
Green Extension Time (g _e), s				0.4	3.2	0.1	3.6	0.3	3.1	0.0	1.8				
Phase Call Probability				0.98	1.00	0.71	1.00	0.96	1.00	0.21	1.00				
Max Out Probability				0.22	0.47	0.00	0.12	0.11	0.01	0.00	0.00				
Movement Group Results				EB			WB			NB			SB		
Approach Movement				L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement				3	8	18	7	4	14	1	6	16	5	2	12
Adjusted Flow Rate (v), veh/h				176	426		56	386		142	355	345	11	211	204
Adjusted Saturation Flow Rate (s), veh/h/ln				1810	1796		1781	1852		1781	1841	1789	1810	1826	1738
Queue Service Time (g _s), s				5.4	16.7		1.7	15.3		4.9	13.9	14.0	0.4	8.3	8.5
Cycle Queue Clearance Time (g _c), s				5.4	16.7		1.7	15.3		4.9	13.9	14.0	0.4	8.3	8.5
Green Ratio (g/C)				0.36	0.32		0.32	0.26		0.29	0.26	0.26	0.21	0.19	0.19
Capacity (c), veh/h				340	575		267	490		326	481	467	165	347	330
Volume-to-Capacity Ratio (X)				0.517	0.742		0.210	0.787		0.434	0.738	0.740	0.065	0.608	0.617
Back of Queue (Q), ft/ln (95 th percentile)				102.7	317.5		33	312.7		90.1	257.4	260.6	7.4	174.4	170.1
Back of Queue (Q), veh/ln (95 th percentile)				4.1	12.3		1.3	12.2		3.5	10.0	9.8	0.3	6.7	6.5
Queue Storage Ratio (RQ) (95 th percentile)				0.82	0.00		0.22	0.66		0.30	0.00	0.00	0.02	0.00	0.00
Uniform Delay (d ₁), s/veh				19.6	24.0		20.3	27.0		22.4	26.7	26.7	25.8	29.3	29.4
Incremental Delay (d ₂), s/veh				1.7	7.1		0.5	9.7		1.3	3.2	3.3	0.2	2.4	2.7
Initial Queue Delay (d ₃), s/veh				0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh				21.3	31.1		20.9	36.7		23.7	29.9	30.0	26.0	31.8	32.0
Level of Service (LOS)				C	C		C	D		C	C	C	C	C	C
Approach Delay, s/veh / LOS				28.2		C	34.7		C	28.9		C	31.8		C
Intersection Delay, s/veh / LOS				30.4						C					
Multimodal Results				EB			WB			NB			SB		
Pedestrian LOS Score / LOS															
Bicycle LOS Score / LOS															

HCS Signalized Intersection Results Summary

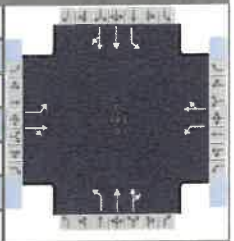
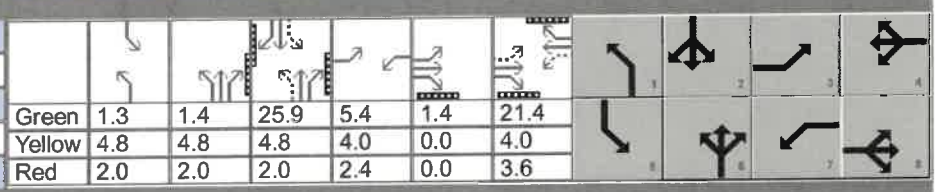
General Information					Intersection Information											
Agency	BUCKHOLZ TRAFFIC				Duration, h	0.250										
Analyst	J. Buckholz	Analysis Date	Jan 17, 2023		Area Type	Other										
Jurisdiction	Columbia County	Time Period	AM Peak Hour		PHF	0.84										
Urban Street	SR 47	Analysis Year	2026		Analysis Period	1> 16:30										
Intersection	SW Bascom Norris Drive	File Name	2026_B_AM_SR47_SWBascomNorris.xus													
Project Description	2026 BUILD AM Peak Hr Traffic															
Demand Information					EB			WB			NB			SB		
Approach Movement					L	T	R	L	T	R	L	T	R	L	T	R
Demand (v), veh/h					159	331	54	48	339	3	124	557	48	9	309	51
Signal Information																
Cycle, s	81.5	Reference Phase	2													
Offset, s	110	Reference Point	End													
Uncoordinated	Yes	Simult. Gap E/W	Off													
Force Mode	Fixed	Simult. Gap N/S	Off													
Green	1.3	6.0	15.0	4.4	4.8	22.4										
Yellow	4.8	0.0	4.8	4.0	0.0	4.0										
Red	2.0	0.0	2.0	2.4	0.0	3.6										
Timer Results					EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT				
Assigned Phase					3	8	7	4	1	6	5	2				
Case Number					1.1	4.0	1.1	4.0	1.1	4.0	1.1	4.0				
Phase Duration, s					15.6	34.8	10.8	30.0	14.1	27.8	8.1	21.8				
Change Period, (Y+R _c), s					7.3	7.6	6.4	7.6	6.8	6.8	6.8	6.8				
Max Allow Headway (MAH), s					4.9	6.9	4.9	6.8	4.9	4.4	4.9	4.5				
Queue Clearance Time (g _s), s					7.9	20.6	3.8	18.7	7.2	17.0	2.4	11.2				
Green Extension Time (g _e), s					0.5	3.0	0.1	3.7	0.3	3.2	0.0	1.9				
Phase Call Probability					0.99	1.00	0.73	1.00	0.96	1.00	0.22	1.00				
Max Out Probability					0.31	0.67	0.00	0.18	0.15	0.01	0.00	0.00				
Movement Group Results					EB			WB			NB			SB		
Approach Movement					L	T	R	L	T	R	L	T	R	L	T	R
Assigned Movement					3	8	18	7	4	14	1	6	16	5	2	12
Adjusted Flow Rate (v), veh/h					189	458		57	407		148	365	355	11	218	211
Adjusted Saturation Flow Rate (s), veh/h/ln					1810	1795		1781	1853		1781	1841	1789	1810	1826	1736
Queue Service Time (g _s), s					5.9	18.6		1.8	16.7		5.2	15.0	15.0	0.4	9.0	9.2
Cycle Queue Clearance Time (g _c), s					5.9	18.6		1.8	16.7		5.2	15.0	15.0	0.4	9.0	9.2
Green Ratio (g/C)					0.38	0.33		0.33	0.27		0.29	0.26	0.26	0.20	0.18	0.18
Capacity (c), veh/h					343	599		260	509		317	475	462	154	336	320
Volume-to-Capacity Ratio (X)					0.552	0.765		0.220	0.800		0.466	0.768	0.770	0.070	0.649	0.659
Back of Queue (Q), ft/ln (95 th percentile)					113	348.3		34.6	336.1		98	275.7	279.2	7.8	191.3	186.1
Back of Queue (Q), veh/ln (95 th percentile)					4.5	13.5		1.4	13.1		3.9	10.7	10.5	0.3	7.4	7.2
Queue Storage Ratio (RQ) (95 th percentile)					0.90	0.00		0.23	0.71		0.33	0.00	0.00	0.03	0.00	0.00
Uniform Delay (d ₁), s/veh					19.8	24.3		20.6	27.5		23.2	28.0	28.0	27.0	30.8	30.9
Incremental Delay (d ₂), s/veh					2.0	7.9		0.6	10.1		1.5	3.7	3.9	0.3	3.0	3.3
Initial Queue Delay (d ₃), s/veh					0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0
Control Delay (d), s/veh					21.8	32.2		21.2	37.6		24.8	31.7	31.9	27.3	33.8	34.2
Level of Service (LOS)					C	C		C	D		C	C	C	C	C	C
Approach Delay, s/veh / LOS					29.1		C	35.6		D	30.6		C	33.8		C
Intersection Delay, s/veh / LOS					31.7						C					
Multimodal Results					EB			WB			NB			SB		
Pedestrian LOS Score / LOS																
Bicycle LOS Score / LOS																

PM PEAK HOUR

HCS Signalized Intersection Results Summary

General Information					Intersection Information																															
Agency	BUCKHOLZ TRAFFIC				Duration, h	0.250																														
Analyst	J. Buckholz	Analysis Date	Jan 11, 2023		Area Type	Other																														
Jurisdiction	Columbia County		Time Period	PM Peak Hour	PHF	0.83																														
Urban Street	SR 47		Analysis Year	2023	Analysis Period	1> 16:30																														
Intersection	SW Bascom Norris Drive		File Name	2023_PM_SR47_SWBascomNorris.xus																																
Project Description	2023 PM Peak Hr Traffic																																			
Demand Information					EB			WB			NB			SB																						
Approach Movement	L			T			R			L			T			R																				
Demand (v), veh/h	82			175			38			74			271			1			162			271			33			8			548			126		
Signal Information					Green			Yellow			Red			1			2			3			4													
Cycle, s	85.7	Reference Phase	2		1.2			0.6			23.8			5.3			1.0			19.2			1			2			3			4				
Offset, s	110	Reference Point	End		4.8			4.8			4.8			4.0			0.0			4.0			1			2			3			4				
Uncoordinated	Yes	Simult. Gap E/W	Off		2.0			2.0			2.0			2.4			0.0			3.6			1			2			3			4				
Force Mode	Fixed	Simult. Gap N/S	Off																																	
Timer Results					EBL			EBT			WBL			WBT			NBL			NBT			SBL			SBT										
Assigned Phase	3			8			7			4			1			6			5			2														
Case Number	1.1			4.0			1.1			4.0			1.1			4.0			1.1			4.0														
Phase Duration, s	12.7			27.9			11.7			26.8			15.5			38.1			8.0			30.6														
Change Period, (Y+R _c), s	7.3			7.6			6.4			7.6			6.8			6.8			6.8			6.8														
Max Allow Headway (MAH), s	4.9			6.9			4.9			6.8			4.9			4.4			4.9			4.5														
Queue Clearance Time (g _s), s	5.5			12.9			5.3			16.1			8.3			8.5			2.3			20.1														
Green Extension Time (g _e), s	0.2			2.2			0.2			3.0			0.5			1.5			0.0			3.7														
Phase Call Probability	0.90			1.00			0.88			1.00			0.99			1.00			0.21			1.00														
Max Out Probability	0.03			0.06			0.02			0.07			0.35			0.00			0.00			0.04														
Movement Group Results					EB			WB			NB			SB																						
Approach Movement	L			T			R			L			T			R			L			T			R											
Assigned Movement	3			8			18			7			4			14			1			6			16			5			2			12		
Adjusted Flow Rate (v), veh/h	99			257						89			328						195			185			181			10			419			393		
Adjusted Saturation Flow Rate (s), veh/h/ln	1810			1798						1767			1869						1781			1767			1699			1810			1856			1735		
Queue Service Time (g _s), s	3.5			10.9						3.3			14.1						6.3			6.4			6.5			0.3			18.1			18.1		
Cycle Queue Clearance Time (g _c), s	3.5			10.9						3.3			14.1						6.3			6.4			6.5			0.3			18.1			18.1		
Green Ratio (g/C)	0.29			0.24						0.29			0.22						0.40			0.37			0.37			0.29			0.28			0.28		
Capacity (c), veh/h	262			425						289			419						310			646			621			386			517			483		
Volume-to-Capacity Ratio (X)	0.376			0.603						0.308			0.781						0.630			0.287			0.291			0.025			0.811			0.813		
Back of Queue (Q), ft/ln (95 th percentile)	69.1			225.2						63.1			300.4						118.4			118.2			114.9			6.2			332.1			321.2		
Back of Queue (Q), veh/ln (95 th percentile)	2.8			8.8						2.5			11.8						4.7			4.4			4.3			0.2			13.0			12.4		
Queue Storage Ratio (RQ) (95 th percentile)	0.55			0.00						0.42			0.63						0.39			0.00			0.00			0.02			0.00			0.00		
Uniform Delay (d ₁), s/veh	24.3			29.1						23.9			31.3						20.4			19.3			19.3			21.6			28.8			28.8		
Incremental Delay (d ₂), s/veh	1.3			4.9						0.9			10.9						3.0			0.3			0.4			0.0			4.4			4.7		
Initial Queue Delay (d ₃), s/veh	0.0			0.0						0.0			0.0						0.0			0.0			0.0			0.0			0.0			0.0		
Control Delay (d), s/veh	25.6			34.1						24.7			42.1						23.4			19.6			19.7			21.6			33.2			33.6		
Level of Service (LOS)	C			C						C			D						C			B			B			C			C			C		
Approach Delay, s/veh / LOS	31.7			C						38.4			D						21.0			C						33.2			C					
Intersection Delay, s/veh / LOS							30.8																		C											
Multimodal Results					EB			WB			NB			SB																						
Pedestrian LOS Score / LOS																																				
Bicycle LOS Score / LOS																																				

HCS signalized Intersection Results Summary

General Information				Intersection Information											
Agency	BUCKHOLZ TRAFFIC			Duration, h	0.250										
Analyst	J. Buckholz	Analysis Date	Jan 17, 2023	Area Type	Other										
Jurisdiction	Columbia County	Time Period	PM Peak Hour	PHF	0.83										
Urban Street	SR 47	Analysis Year	2026	Analysis Period	1> 16:30										
Intersection	SW Bascom Norris Drive	File Name	2026_B_PM_SR47_SWBascomNorris.xus												
Project Description	2026 BUILD PM Peak Hr Traffic														
Demand Information				EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R			
Demand (v), veh/h	89	189	40	76	292	1	172	279	34	8	564	136			
Signal Information															
Cycle, s	91.3	Reference Phase	2												
Offset, s	110	Reference Point	End												
Uncoordinated	Yes	Simult. Gap E/W	Off												
Force Mode	Fixed	Simult. Gap N/S	Off												
Green	1.3	1.4	25.9	5.4	1.4	21.4									
Yellow	4.8	4.8	4.8	4.0	0.0	4.0									
Red	2.0	2.0	2.0	2.4	0.0	3.6									
Timer Results				EBL	EBT	WBL	WBT	NBL	NBT	SBL	SBT				
Assigned Phase				3	8	7	4	1	6	5	2				
Case Number				1.1	4.0	1.1	4.0	1.1	4.0	1.1	4.0				
Phase Duration, s				13.2	30.4	11.8	29.0	16.3	40.9	8.1	32.7				
Change Period, (Y+R _c), s				7.3	7.6	6.4	7.6	6.8	6.8	6.8	6.8				
Max Allow Headway (MAH), s				4.9	6.9	4.9	6.8	4.9	4.4	4.9	4.5				
Queue Clearance Time (g _s), s				6.0	14.4	5.5	18.3	9.1	9.0	2.3	22.1				
Green Extension Time (g _e), s				0.2	2.3	0.2	3.1	0.4	1.6	0.0	3.8				
Phase Call Probability				0.93	1.00	0.90	1.00	0.99	1.00	0.22	1.00				
Max-Out Probability				0.05	0.11	0.03	0.12	0.56	0.00	0.00	0.07				
Movement Group Results				EB			WB			NB			SB		
Approach Movement	L	T	R	L	T	R	L	T	R	L	T	R			
Assigned Movement	3	8	18	7	4	14	1	6	16	5	2	12			
Adjusted Flow Rate (v), veh/h	107	276		92	353		207	191	186	10	436	407			
Adjusted Saturation Flow Rate (s), veh/h/ln	1810	1799		1767	1869		1781	1767	1699	1810	1856	1730			
Queue Service Time (g _s), s	4.0	12.4		3.5	16.3		7.1	6.9	7.0	0.3	20.1	20.1			
Cycle Queue Clearance Time (g _c), s	4.0	12.4		3.5	16.3		7.1	6.9	7.0	0.3	20.1	20.1			
Green Ratio (g/C)	0.30	0.25		0.29	0.23		0.41	0.37	0.37	0.30	0.28	0.28			
Capacity (c), veh/h	255	450		285	439		306	661	636	387	528	492			
Volume-to-Capacity Ratio (X)	0.420	0.613		0.321	0.803		0.677	0.289	0.293	0.025	0.827	0.828			
Back of Queue (Q), ft/ln (95 th percentile)	80.1	249.4		69.1	337.6		136.3	129.9	126.2	6.6	368.7	355.7			
Back of Queue (Q), veh/ln (95 th percentile)	3.2	9.7		2.7	13.3		5.4	4.8	4.7	0.3	14.4	13.7			
Queue Storage Ratio (RQ) (95 th percentile)	0.64	0.00		0.46	0.71		0.45	0.00	0.00	0.02	0.00	0.00			
Uniform Delay (d ₁), s/veh	25.4	30.3		25.0	32.9		21.7	20.1	20.1	22.6	30.6	30.6			
Incremental Delay (d ₂), s/veh	1.6	4.9		0.9	11.6		3.7	0.3	0.4	0.0	5.5	5.9			
Initial Queue Delay (d ₃), s/veh	0.0	0.0		0.0	0.0		0.0	0.0	0.0	0.0	0.0	0.0			
Control Delay (d), s/veh	27.0	35.2		25.9	44.6		25.4	20.4	20.5	22.6	36.0	36.5			
Level of Service (LOS)	C	D		C	D		C	C	C	C	D	D			
Approach Delay, s/veh / LOS	32.9	C		40.7	D		22.2	C			36.1	D			
Intersection Delay, s/veh / LOS	32.9						C								
Multimodal Results				EB			WB			NB			SB		
Pedestrian LOS Score / LOS															
Bicycle LOS Score / LOS															

APPENDIX F

SIGNAL TIMINGS



STATE OF FLORIDA
DEPARTMENT OF TRANSPORTATION - DISTRICT TWO
Signal Retiming - SR 47 AND US 41
FIN 211083-2-32

Designed By:	SMP
Date:	8/10/2015
Checked By:	RAA
Date:	8/10/2015

Section		Mile Post		Node	5
Sig ID		Controller	Nahtec 970	System ID	
Maj. Street	SR 47	Orientation	N-S	SOP	10
Min. Street	Bascom Norris Dr	Orientation	E-W		

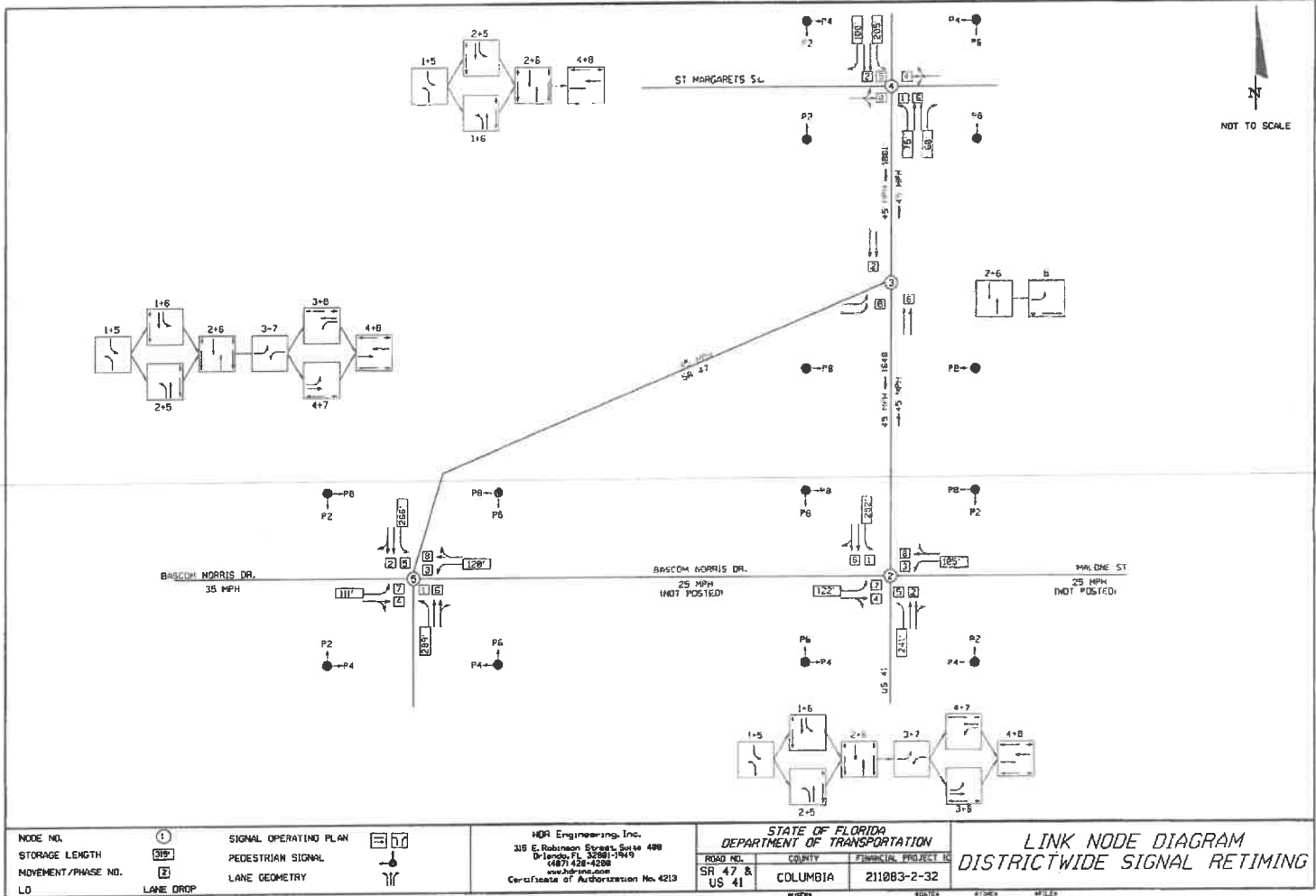
Pedestrians									
Movement # (Controller Phase Ø)	1	2	3	4	5	6	7	8	Notes
Direction	NBL	SB	EBL	WB	SBL	NB	WBL	EB	
Speed Limit (mph)	45	45	25	35	45	45	35	25	
Vehicle Traversed Width	121	142	158	148	118	140	154	148	
Slope of Approach Grade	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	0.00%	
Ped-X (curb to curb)		82		123		76		113	
Crossing Time		24		36		22		33	
Max Ped-X (max ped det to curb)		33		22		45		33	
Crossing Time	/	39	/	49	/	41	/	49	
Slope of Approach (smart level)	0.00%	0.00%	-1.60%	0.00%	0.00%	0.00%	0.00%	-1.60%	

Controller Timings (seconds)									
Movement # (Controller Phase Ø)	1	2	3	4	5	6	7	8	Notes
Direction	NBL	SB	EBL	WB	SBL	NB	WBL	EB	
Turn Type	Prot/Perm		Prot/Perm		Prot/Perm		Prot/Perm		
Min Green	6	15	6	10	6	15	6	7	
Ext	4.0	4.0	4.0	6.0	4.0	4.0	4.0	6.0	
Yellow	4.8	4.8	3.4	4.0	4.8	4.8	4.0	3.4	
All Red	2.0	2.0	3.9	3.6	2.0	2.0	2.4	3.6	
Max I	15	40	15	36	15	40	15	30	
Max II	15	70	18	44	15	70	18	44	
Walk		7		7		7		7	
Fashing Don't Walk		24		36		22		33	
Min Splits	13.0	38.0	14.0	51.0	13.0	38.0	13.0	47.0	
Detector Memory		On				On			
Det. Cross Switch.	Yes				Yes				
Recall		Min				Min			
CNA									
Coord Phase		Yes				Yes			

Coordination Timings (seconds)												
Plan	Pattern	C-O-S	Splits								Cycle Length	Offset A
AM	1	166	44	38	45	69	45	37	75	33	100	24
MIDDAY	2	277	77	44	77	32	70	46	76	32	110	5
PM	3	377	76	56	76	36	70	44	76	63	110	66
PM School	6	544	74	58	74	44	74	36	77	47	110	85
AM School	8	677	74	56	75	39	75	37	75	33	100	24

- Notes:
- 1) Offset referenced to "end of main street green"
 - 2) Max II during coordination
 - 3) Fixed force-offs
 - 4) Red revert is 2.0 for all phases
 - 5) φ4 & φ8 on min recall during patterns 1, 2, 3, & 5
 - 6) φ2 & φ6 on max recall during patterns 1, 2, 3, & 5
 - 7) φ2, φ6, & φ8 on max recall and φ4 on min recall during pattern 6

		Signal Phasing - All Plans			
Ring-1	Ring-2	1	2	3	4
		5	6	7	8



NODE NO. ①
 STORAGE LENGTH 35'
 MOVEMENT/PHASE NO. 2
 LANE DROP

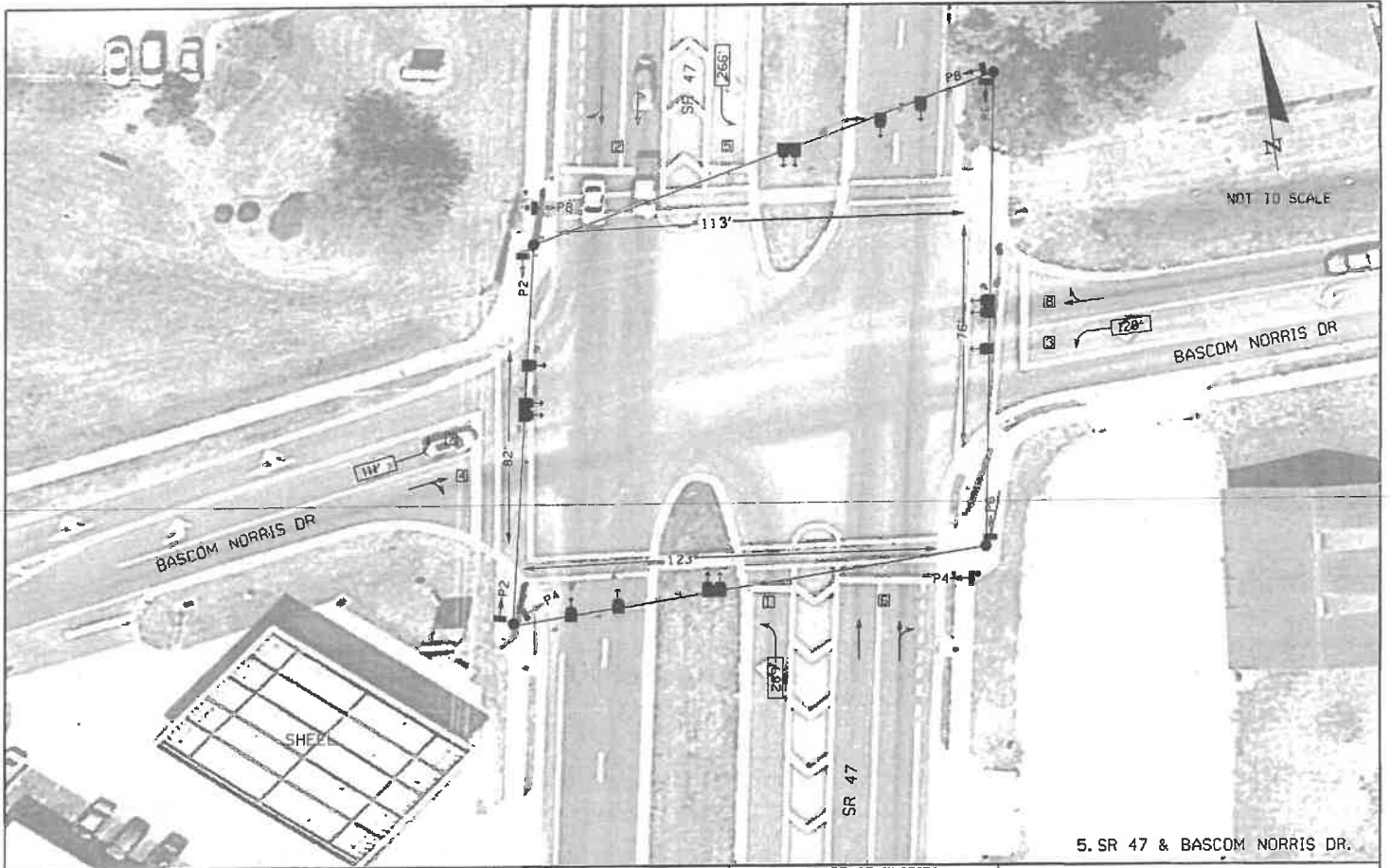
SIGNAL OPERATING PLAN
 PEDESTRIAN SIGNAL
 LANE GEOMETRY

HDR Engineering, Inc.
 215 E. Robinson Street, Suite 400
 Dania, FL 33001-1945
 (407) 428-4200
 www.hdr.com
 Certificate of Authorization No. 4213

STATE OF FLORIDA
 DEPARTMENT OF TRANSPORTATION

ROAD NO.	COUNTY	FINANCIAL PROJECT NO.
SR 47 & US 41	COLUMBIA	211083-2-32

LINK NODE DIAGRAM
DISTRICTWIDE SIGNAL RETIMING



STORAGE LENGTH	315'	SIGNAL HEADS		MOR Engineering, Inc. 315 E. Robinson Street, Suite 400 Orlando, FL 32803-1944 (407) 428-4288 www.mor-inc.com Certificate of Authorization No. 4233	STATE OF FLORIDA DEPARTMENT OF TRANSPORTATION		SIGNALIZED INTERSECTION SKETCH	
SIGNAL PHASE	2	PEDESTRIAN SIGNAL			ROAD NO.	COUNTY		FINANCIAL PROJECT ID
L.D.	LANE DROP	LANE GEOMETRY			SR 47	COLUMBIA		211083-2-32

Project Summary

Project Name: Tennis Forever

Project Number: CPA23-02 and Z23-02

Parcel Number: 08045-000

Project Notes

- Project type: Comp Plan Amendment and Re-zoning
- Future land use is: Residential-moderate
- Proposed future land use is: Residential-High
- Zoning designation is: Residential Single Family-2
- Proposed zoning is: Residential Multi-family-1
- Proposed use of the property: Multi-family Housing
- Land is conducive for use: Yes, per the LDR section 4.9.2.3. The parcel is not contiguous with other parcels in the residential multi-family district but is in close proximity.
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project CPA23-02 Z23-02 is for a re-zoning and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan.



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 12/8/22

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: CPA22-09 and Z22-07

Project Name: Tennis Forever

Project Address: 2189 SW Bascom Norris Dr

Project Parcel Number: 06-4S-17-08045-000

Owner Name: Tennis Forever LLC

Owner Address: PO Box 219 Lake City, FL 32056

Owner Contact Information: telephone number 321-315-5319 e-mail anjanviplav@lcloud.com

Owner Agent Name: Carol Chadwick

Owner Agent Address: 1208 SW Fairfax Glen Lake City, FL 32025

Owner Agent Contact Information: telephone 307-680-1772 e-mail ccpewyo@gmail.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Property is not contiguous with residential multi-family district but
Property is not contiguous with residential multi-family district but
is in close proximity see attached zoning map.

Business License: Approve Disapprove Reviewed by: Marshall Sova

Comments: Will need to apply for a business license

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova

Comments: No issues

Permitting: Approve Disapprove Reviewed by: Ann Jones

Comments: _____
Permitting with county if value base is over \$4000

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by: Mike Osborn

Comments: No commits at this time.

Sewer Department: Approved Disapproved Reviewed by: Cody Pridgeon

Comments: No commits at this time.

Gas Department: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by: Brian Scott

Comments: No commits at this time.

Customer Service: Approved Disapproved Reviewed by: Shasta Pelham

Comments: No commits at this time.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Dwight Boozer

Comments: No Concerns at this time.

Police Department: Approve Disapprove Reviewed by: Chief Butler

Comments: PD has no concerns

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

Tennis Forever

Zoning Map



1 Tennis Forever- Parcel 08045-000
Current Zoning- RSF-2
Proposed Zoning- RMF-1
Current FLU- Residential Moderate (4 Dwelling Units per acre)
Proposed FLU- Residential Medium (8 Dwelling Units per acre)

2 RMF-1 Zoning district

3 RMF-1 Zoning district

4 RMF-2 Zoning District

File Attachments for Item:

iii. CPA23-03 and Z23-03- Petitions submitted by Mark Ganskop (owner), to amend the Future Land Use and the Official Zoning Atlas of the Land Development Regulations by changing the future land use from Residential Medium to Residential High Density and changing the zoning district from Residential Office (RO) to Residential Multi-Family 2 (RMF-2) on property described, as follows; Parcels 02461-601 and 02461-602.



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386) 719-5750
 E-mail: growthmanagement@locfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee \$ 750.00
 Receipt No. 2023-00022996
 Filing Date 1/6/2023
 Completeness Date _____

COMPREHENSIVE PLAN AMENDMENT

Small Scale: \$750.00 Large Scale: \$1,500.00

A. PROJECT INFORMATION

1. Project Name: The Pines at Forest Meadows
2. Address of Subject Property: 450 NW Lake City Ave Lake City, FL 32055
3. Parcel ID Number(s): 34-35-16-02461-601 & 34-35-16-02461-602
4. Existing Future Land Use Map Designation: Residential - Medium
5. Proposed Future Land Use Map Designation: Multi-family Residential - High
6. Zoning Designation: Residential Office
7. Acreage: 1 acre
8. Existing Use of Property: Vacant
9. Proposed use of Property: Multi-family

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Mark Ganskop Title: _____
 Company name (if applicable): _____
 Mailing Address: 736 SW Arbor Ln
 City: Lake City State: FL Zip: 32024
 Telephone: (386) 867-0269 Fax: (____) _____ Email: explumbing@outlook

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): _____
 Mailing Address: _____
 City: _____ State: _____ Zip: _____
 Telephone: (____) _____ Fax: (____) _____ Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes No
Future Land Use Map Amendment Application No. _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes No
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes No
Variance Application No. _____
Special Exception: Yes No
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. ✓ Boundary Sketch or Survey with bearings and dimensions.
2. ✓ Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. ✓ Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential land use amendments, an analysis of the impacts to Public Schools is required.
4. ✓ Comprehensive Plan Consistency Analysis: An analysis of the application's consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies). For text amendments to the Comprehensive Plan, the proposed text amendment in strike-thru and underline format.
5. ✓ Legal Description with Tax Parcel Number (In Microsoft Word Format).
6. ✓ Proof of Ownership (i.e. deed).
7. Agent Authorization Form (signed and notarized).
8. ✓ Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).
9. ✓ Fee. The application fee for a Comprehensive Plan Amendment is as follows:
 - a. Small Scale Comprehensive Plan Amendment (10 Acres or less) = \$750.00
 - b. Large Scale Comprehensive Plan Amendment (More Than 10 Acres) = \$1,500.00 or actual city cost
 - c. Text Amendment to the Comprehensive Plan = \$750.00

No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of fourteen (14) copies of proposed Comprehensive Plan Amendment Application and support material and a PDF copy on a CD are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Mark Ganskop

Applicant/Agent Name (Type or Print)

M. Ganskop

Applicant/Agent Signature

01/05/23

Date



Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 34-3S-16-02461-601 (10094) | VACANT COMMERCIAL (1000) | 0.54 AC
 LOT 1C FOREST PLANTATION COMMERCIAL SID. WD 1231-151, DC 1356-1857, WD 1404-899, QC 1480-2650.

Owner: THE PINES AS FOREST MEADOWN LLC
 175 NW AMENITY CT
 LAKE CITY, FL 32055

Site: 12/5/2022 V(U) \$100
 Sales 1/24/2020 V(O) \$50,000
 Info 3/8/2012 V(U) \$58,400

2023 Working Values

Mkt Lnd	\$26,757	Appraised	\$26,757
Ag Lnd	\$0	Assessed	\$26,757
Bldg	\$0	Exempt	\$0
XFOB	\$0	Total	county:\$26,757
Just	\$26,757	Taxable	city:\$26,757
			other:\$0 school:\$26,757

NOTES:

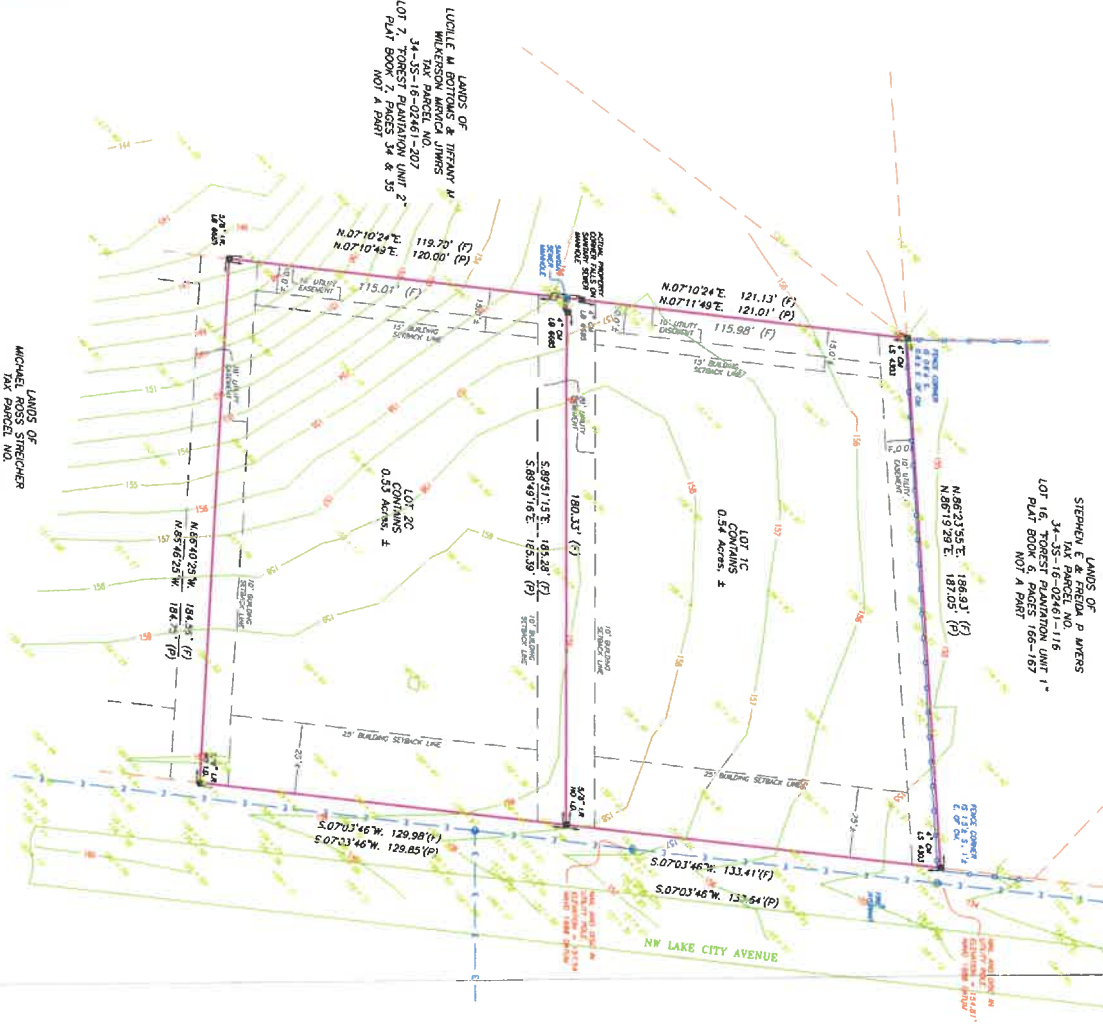
This information was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership of property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

Columbia County, FL
 GrizzlyLogic.com

BOUNDARY SURVEY
IN SECTION 34,
TOWNSHIP 3 SOUTH,
RANGE 16 EAST,
COLUMBIA COUNTY, FLA

DESCRIPTION:
 LOT 1C AND 2C, FOREST PLANTATION COMMERCIAL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREON AS RECORDED IN PLAT BOOK 7, PAGE 50, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

- SURVEYOR'S NOTES:**
1. BOUNDARY BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETRACEMENT OF THE RECORD TITLE BOUNDARIES OF THIS PARCEL TO BE BASED ON THE EVIDENCE OF MONUMENTS AND RECORDS PROVIDED TO OR OTHERWISE OBTAINED BY THIS OFFICE.
 2. BEARINGS BASED ON PLAT OF RECORD USING MONUMENTS FOUND ON THE EAST LINES OF THESE PARCELS.
 3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 FEET FLOOD HAZARD ZONE ESTABLISHED BY DATED ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1989 (NAVD 88 DATUM). IF ANY INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 4. IF THEY EXIST, NO UNDERGROUND ENCODINGMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 5. CLOSURE OF FIELD SURVEY IS BETTER THAN 1/10,000. BOUNDARY AND CONTROL POINTS ARE SHOWN AS SHOWN ON THIS SURVEY DRAWING.
 6. LOCATED WITHIN ± 0.2 FEET OF THE ACTUAL LOCATION UNLESS OTHERWISE NOTED. OTHER IMPROVEMENTS SUCH AS UTILITY POLES, SEPTIC TANKS, TREES, ETC., ARE NORMALLY WITHIN ± 60 FEET UNLESS OTHERWISE NOTED.
 7. EXCEPTION IS MADE HEREON REGARDING EASEMENTS, RECORDS, AND NOT PROVIDED BY THE CLIENT OR HIS AGENTS OR DISCOVERED BY THIS OFFICE. AN EFFORT HAS BEEN MADE IN GOOD FAITH TO SHOW PHYSICAL EVIDENCE OF EASEMENTS, OCCUPATION AND RECORDS THAT MAY HAVE PREVENTED DISCOVERY OF ALL SUCH EVIDENCE. CERTIFIED TO: CAMSKOP PROPERTIES, LLC

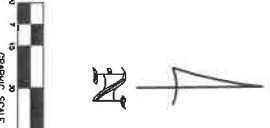


LANDS OF
 STEPHEN E & FREIDA P WENS
 34-35-16-024-01-116
 LOT 16, FOREST PLANTATION UNIT 1*
 PLAT BOOK 6, PAGES 166-167
 NOT A PART

LANDS OF
 MICHAEL ROSS STREICHER
 TAX PARCEL NO. 1833
 34-35-16-024-01-116
 LOT 3C, FOREST PLANTATION COMMERCIAL SUBDIVISION*
 PLAT BOOK 7, PAGES 50 & 51
 NOT A PART

LANDS OF
 LUCILLE M BOTTOMS & HERMAN W
 WILKINSON MARCIA JIMMS
 34-35-16-024-01-207
 LOT 7, FOREST PLANTATION UNIT 2*
 PLAT BOOK 7, PAGES 34 & 35
 NOT A PART

SPONGE SURVEYOR:
 MARK D. DUREN, LS 4708
 1604 SW SISTERS WELCOME ROAD
 LAKE CITY, FL 32025



- SYMBOL LEGEND**
- O&E OPTICAL RECORD INSTRUMENT
 - CONCRETE MONUMENT SET LS 4708
 - 5/8" IRON ROD SET 12" DIA
 - WIRE FENCE
 - UNDERGROUND UTILITY LINE (RESPOND)
 - CONCRETE MONUMENT
 - CHAIN LINK FENCE
 - MODERN FENCE
 - IRON ROD
 - 1/2" IRON ROD
 - 1/4" IRON ROD
 - STATE ROAD DEPARTMENT
- EXTRA AGREEMENTS:**
- (A) REVISIONS
 - (B) REVISIONS
 - (C) REVISIONS
 - (D) REVISIONS
 - (E) REVISIONS
 - (F) REVISIONS
 - (G) REVISIONS
 - (H) REVISIONS
 - (I) REVISIONS
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 - (T) REVISIONS
 - (U) REVISIONS
 - (V) REVISIONS
 - (W) REVISIONS
 - (X) REVISIONS
 - (Y) REVISIONS
 - (Z) REVISIONS

MARK D. DUREN AND ASSOCIATES, INC.
 LB 7820
 1604 SW SISTERS WELCOME ROAD
 LAKE CITY, FLA 32025
 (386) 758-9831 OFFICE
 (386) 758-8010 FAX
 FILE NAME: 20-099.DWG
 FILE DATE: 11/11/2020
 FILE TIME: 10:00:00
 USER: MDD
 PLOT DATE: 11/11/2020
 PLOT TIME: 10:00:00
 PLOT USER: MDD
 PLOT DEVICE: HP
 PLOT SCALE: 1"=100'
 PLOT SHEET: 20-099
 PLOT TOTAL SHEETS: 1

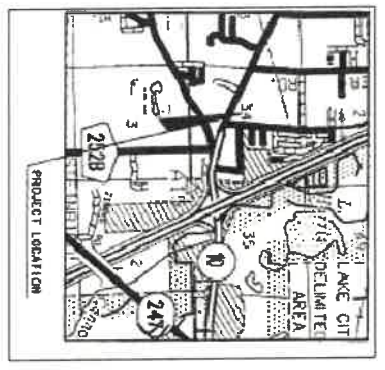
CIVIL ENGINEER

AFFINE ENGINEERING AND SURVEYING, INC.
 1034 JEPSON STREET, LAKE CITY, FL 32825
 TELEPHONE: 407-421-5534

SURVEYOR

MARK D. DUREN AND ASSOCIATES, INC.
 1804 SW SISTERS WELCOME ROAD
 LAKE CITY, FL 32025
 TELEPHONE: 386-758-9831

VICINITY MAP



LEGAL DESCRIPTION

LOT 1C AND 2C, FOREST PLANTATION COMMERCIAL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 50, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.



COLUMBIA COUNTY SUBMITTAL NOT FOR CONSTRUCTION

STORM WATER MANAGEMENT SYSTEM DESIGN HAS BEEN DONE IN REASONABLE COMPLIANCE WITH THE SWANWEE RIVER WATER MANAGEMENT DISTRICT DESIGN CRITERIA

ENGINEERING PLANS

LAKE CITY AVENUE APARTMENTS
 COLUMBIA COUNTY FLORIDA

PREPARED FOR
GANSKOP PROPERTIES, LLC
 657 NW SAVANNAH CIR. LAKE CITY FL 32055
 CONTACT: MARK GASKOP
 PHONE: (386) 867-0269

SITE DATA

PARCEL ID: 34-35-16-02461-601
 ZONING: R0
 PROJECT AREA: ± 46,365.20 SF = ± 1.084 ACRES
 BUILDING SETBACKS: FRONT 25'; BACK 15'; SIDES 10'

PRE DEVELOPMENT SITE DATA

PRE DEV PERVIOUS AREA: ± 46,365 SF
 PRE DEV IMPERVIOUS AREA: ± 0 SF
 PRE DEV PERVIOUS %: 0%
 PRE DEV IMPERVIOUS %: 100%

POST DEVELOPMENT SITE DATA

POST DEV OPEN SPACE: ± 18,967 SF
 POST DEV OPEN SPACE %: 41.0%
 POST DEV IMPERVIOUS AREA: ± 1,000 SF
 POST DEV IMPERVIOUS AREA: ± 4,315 SF
 POST DEV PERVIOUS AREA: ± 18,967 SF
 POST DEV IMPERVIOUS %: 59.0%
 POST DEV PERVIOUS %: 41.0%

PARKING REQUIREMENTS

CODE REQUIREMENTS:
 (MULTI FAMILY DWELLING) 2 SPACES PER UNIT
 ACCESSIBLE SPACES 1 FOR EVERY 25
 SPACES PROVIDED:
 (MULTI FAMILY DWELLING) 2 SPACES PER UNIT
 ACCESSIBLE SPACES 1 FOR EVERY 25

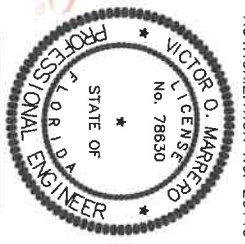
SHEET INDEX

1	COVER SHEET
2	NOTES AND DETAILS
3	TOPOGRAPHIC SURVEY
4	PROPOSED SITE PLAN
5	LANDSCAPING PLAN
6	DETAILS

PREPARED FOR
GANSKOP PROPERTIES LLC

Victor O Marrero

Digitally signed by
 Victor O Marrero
 Date: 2022.10.31
 22:23:40 -04'00'



TELEPHONE NUMBER 407-421-5534
 1034 JEPSON STREET, ORLANDO, FLORIDA 32825
 CERTIFICATE OF AUTHORIZATION: NO 29140

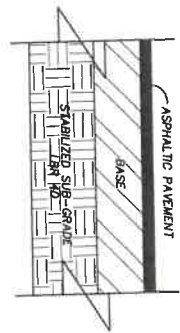


AFFINE ENGINEERING AND SURVEYING, INC
 CIVIL ENGINEERS SURVEYORS

SHEET 1

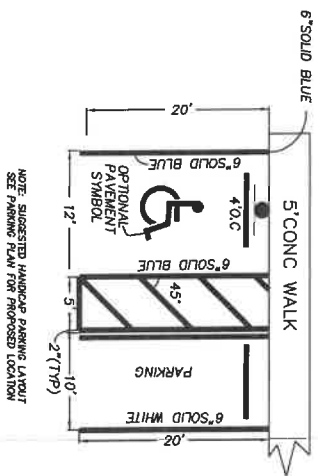
THE ORIGINAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.

PAVEMENT DESIGN



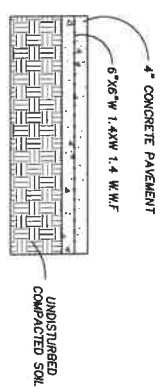
ASPHALT	1.5"	TYPE SP 12.5 ASPHALTIC CONCRETE SURFACE COURSE
BASE	6"	LIMEROCK BASE MIN. LBR 100 COMPACT TO FOOT STANDARDS
BASE	12"	STABILIZED SUB-BASE LBR 40 COMPACT TO FOOT STANDARDS

H.C. PARKING

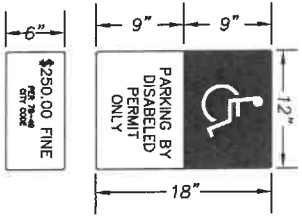


NOTE: SUGGESTED HANDICAP PARKING LAYOUT SEE PARKING PLAN FOR PROPOSED LOCATION

SIDEWALK SECTION

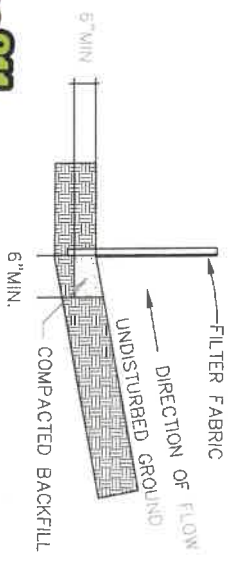


SIGN DETAIL



\$250.00 FINE FOR SIGN

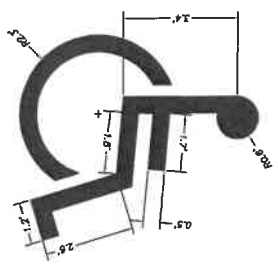
EROSION CONTROL



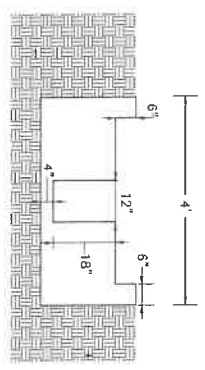
BASE 20-001

PARKING SYMBOL

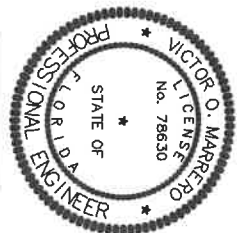
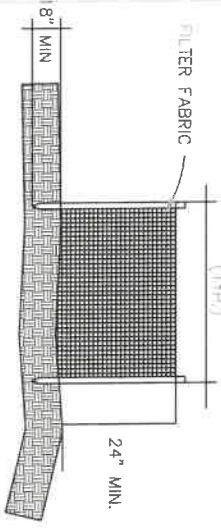
NTS.



CONCRETE FLUME



EROSION CONTROL



AFFINE ENGINEERING AND SURVEYING, INC.
 AUTHORIZATION NO. 29140

VICTOR O. MARRERO
 FLORIDA P.E. # 78630

DRAWN BY	_____
CHECKED BY	_____
DATE	8/21/20
SCALE	1"=30'
JOB #	20001

AFFINE ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERS SURVEYORS
 138 NW GREEN LN, LAKE ESTATES, FLORIDA 33065
 TELEPHONE NUMBER 407-451-5534
 STATE OF FLORIDA LICENSE NO. 29140



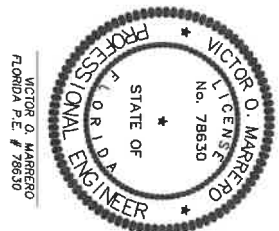
PREPARED FOR:
 GANSKOP PROPERTIES LLC
 DETAILS-1

DRAWING 20-001 SHEET 7

THE ORIGINAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.



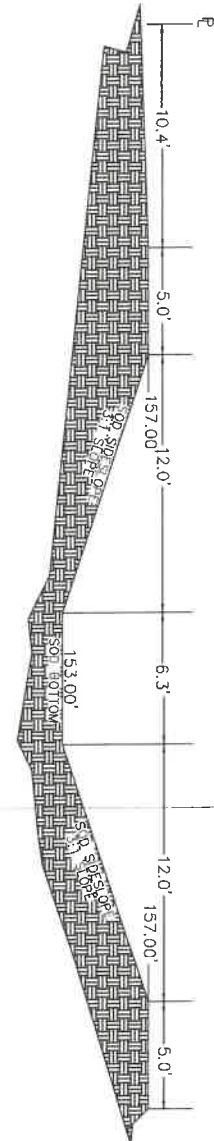
BASE 20-001



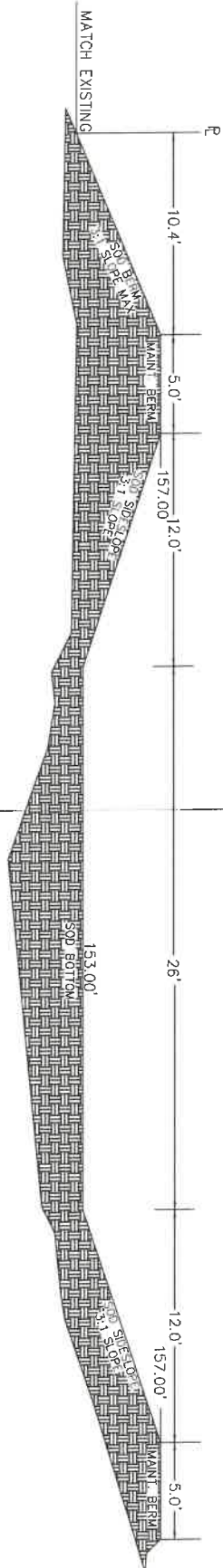
AFFINE ENGINEERING AND SURVEYING, INC.
 CERTIFICATE OF AUTHORIZATION NO. 29140

VICTOR O. MARRERO
 FLORIDA P.E. # 78630

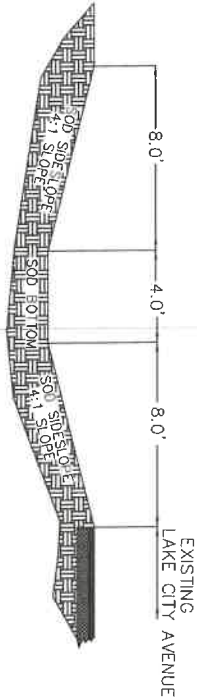
POND SECTION 1



POND SECTION WITH BERM 2



DRAINAGE SWALE



DRAWING 20-001 SHEET 8
 PREPARED FOR: GANSKOP PROPERTIES LLC
 DETAILS-2

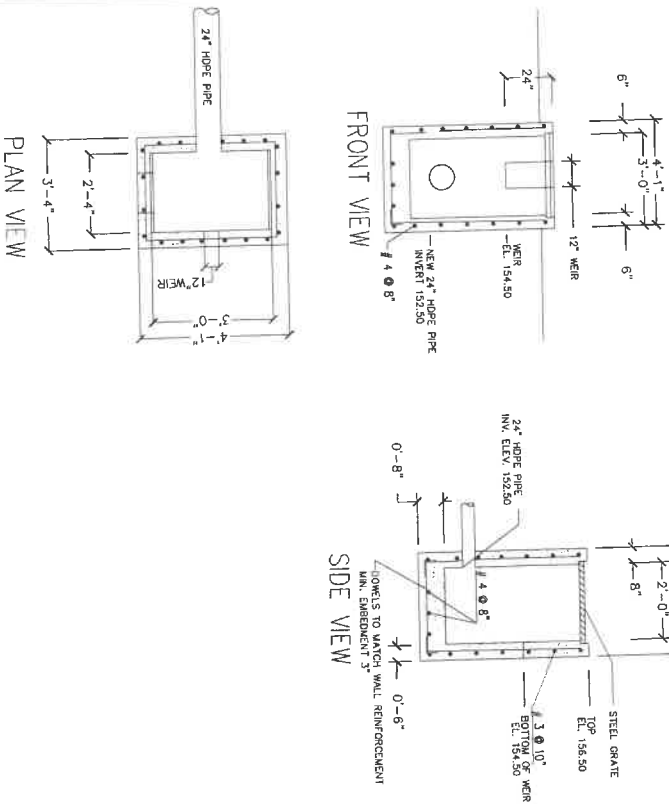


AFFINE ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERS SURVEYORS
 TELEPHONE NUMBER 407-401-5534
 128 NW GREEN LN, LAKE CITY, FLORIDA 32065
 COUNTY OF AUTHORIZATION: 30-2000

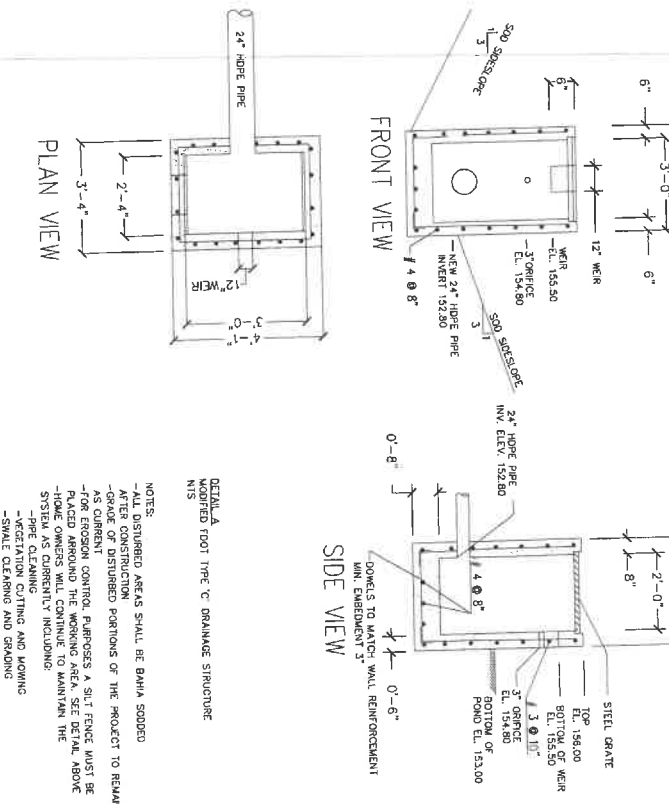
DRAWN BY: VM
 CHECKED BY: NR
 DATE: 8/21/20
 SCALE: 1"=30'
 JOB #: 20001

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.

MODIFIED FDOT TYPE C INLET BUBBLE UP STRUCTURE NTS



MODIFIED FDOT TYPE C INLET CONTROL STRUCTURE NTS



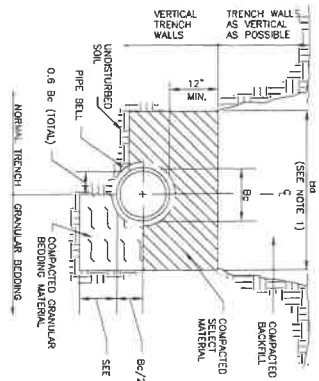
BEDDING AND TRENCHING NOTES

1. Bc = TRENCH WIDTH AT TOP OF PIPE
Bt = PIPE O.D.
MIN. BE = MAX. DIM. OF BELL + 8" (UNSHIFTED TRENCH)
MAX. DIM. OF BELL + 12" (SHIFTED TRENCH)
CLOSING MATERIAL, DEPTH SHALL BE 8" BELOW BOTTOM OF UTILITY.
2. DEPTH FOR REMOVAL OF UNSUITABLE MATERIAL SHALL BE MAXIMUM OF 12" ABOVE TOP OF PIPE, OR HIGHER WHERE DRIVEN BELOW PIPE INVERT. SHEETING SHALL BE CUT OFF A MINIMUM OF 12" ABOVE TOP OF PIPE, OR HIGHER CASE SHALL SHEETING LENGTH AND LEAD IN PLACE. IN NO CASE SHALL SHEETING LENGTH AND LEAD IN PLACE BE LESS THAN 50' BELOW SURFACE GRADE UNLESS SPECIFICALLY APPROVED. BRACING SHALL BE APPROVED AS REQUIRED.
3. SHEETING SHALL BE DRIVEN BELOW THE UTILITY INVERT TO A MINIMUM OF 12" BELOW THE UTILITY INVERT. SHEETING SHALL BE CUT OFF A MINIMUM OF 12" ABOVE TOP OF PIPE, OR HIGHER WHERE DRIVEN BELOW PIPE INVERT. SHEETING SHALL BE CUT OFF A MINIMUM OF 12" ABOVE TOP OF PIPE, OR HIGHER CASE SHALL SHEETING LENGTH AND LEAD IN PLACE. IN NO CASE SHALL SHEETING LENGTH AND LEAD IN PLACE BE LESS THAN 50' BELOW SURFACE GRADE UNLESS SPECIFICALLY APPROVED. BRACING SHALL BE APPROVED AS REQUIRED.
4. UTILITY TO BE COMPACTED TO 95% DENSITY, OR AS APPROVED BY THE ENGINEER. THE DEPTH OF COVER IS LESS THAN 5' AND APPROVED BY THE ENGINEER.
5. ASPHALT TO BE COMPACTED TO 95% DENSITY, OR AS APPROVED BY THE ENGINEER. THE DEPTH OF COVER IS LESS THAN 5' AND APPROVED BY THE ENGINEER.

NOTES:
-ALL DISTURBED AREAS SHALL BE BMAH SOODED AFTER CONSTRUCTION
-GRADE OF DISTURBED PORTIONS OF THE PROJECT TO REMAIN AS CURRENT RECORD DRAWINGS UNLESS OTHERWISE NOTED
-CONTRACTOR SHALL MAINTAIN CONTROL POINTS THROUGHOUT THE WORKING AREA. SEE DETAIL ABOVE FOR SYSTEM AS CURRENTLY INCLUDING:
-PIPE CLEANING
-PIPE TESTING
-SMALL CLEANING AND GRADING



CLASS "B" BEDDING-NORMAL CONDITIONS



BASE 20-001

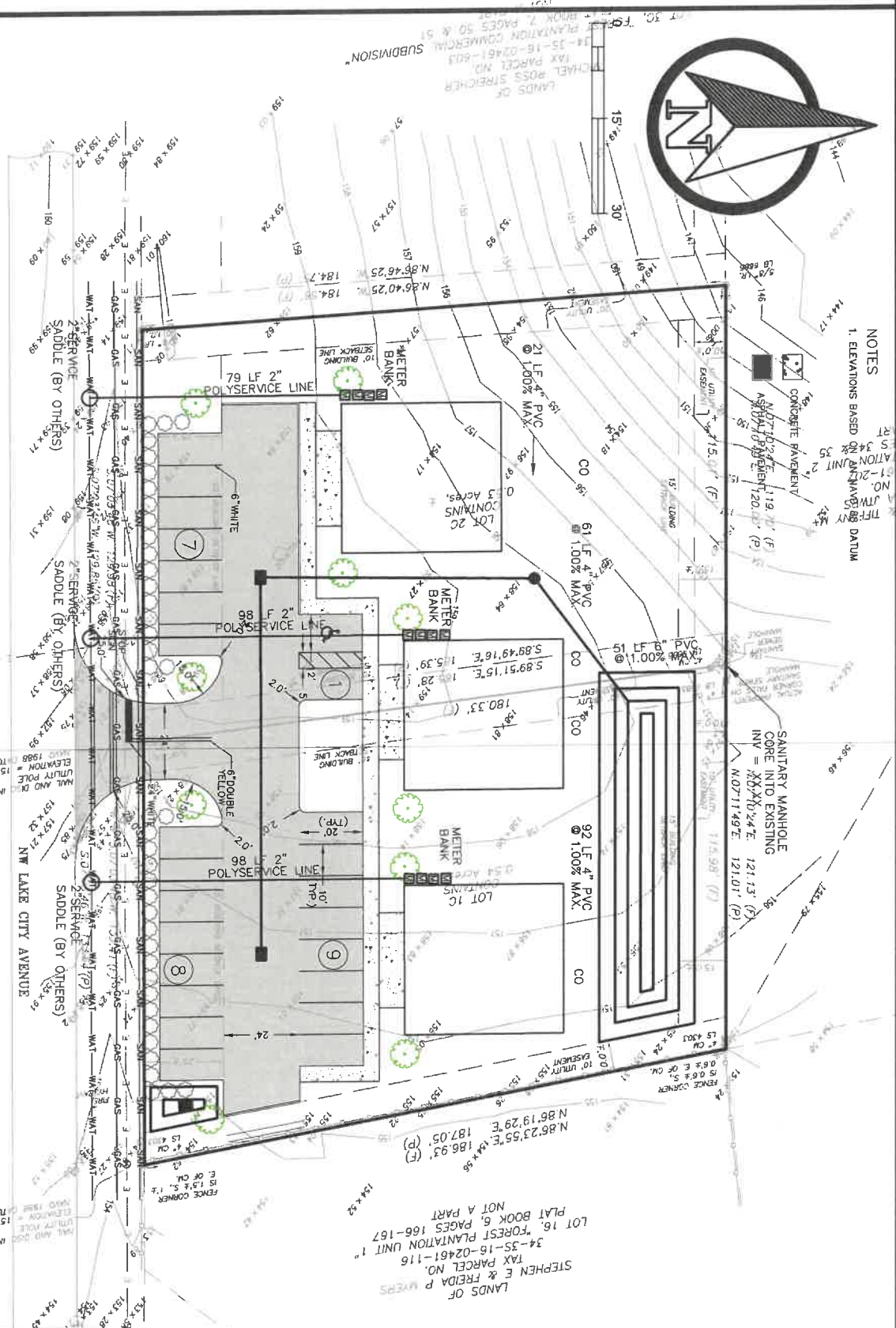
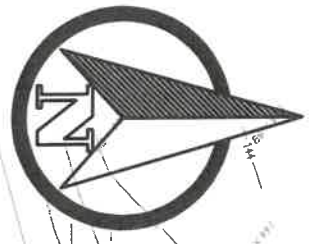
THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.

AFFINE ENGINEERING
AND SURVEYING, INC.
VICTOR O. MAARENO
FLORIDA PROFESSIONAL ENGINEER
No. 78630
STATE OF FLORIDA

PREPARED FOR:
GANSKOP PROPERTIES LLC
DRAWING 20-001 SHEET 9
DETAILS - J

AFFINE ENGINEERING AND SURVEYING, INC.
CIVIL ENGINEERS SURVEYORS
138 NW GREEN LAKE CITY, FLORIDA 32005
TELEPHONE NUMBER 407-421-5654
FEDERAL REGISTER AUTHORITY NO. 2016-01-01

DRAWN BY	VM
CHECKED BY	MB
DATE	8/21/20
SCALE	1"=30'
JOB #	20001



NOTES
 1. ELEVATIONS BASED ON
 TFF DATUM

SANITARY MANHOLE
 CORE INTO EXISTING
 INV = XX'X"X.XX'E 121.13' (F)
 N071149'E 121.01' (P)

LANDS OF
 STEPHEN E & FREIDA P MYERS
 34-SS-16-02461-116
 TAX PARCEL NO.
 34-SS-16-02461-116
 PLANTATION UNIT 1
 PLAT BOOK 6, PAGES 166-167
 NOT A PART

AFFINE ENGINEERING
 AND SURVEYING, INC.
 CERTIFICATE OF
 AUTHORIZATION No. 29140

VICTOR O. MARRERO
 FLORIDA P.E. # 78630
 DATE

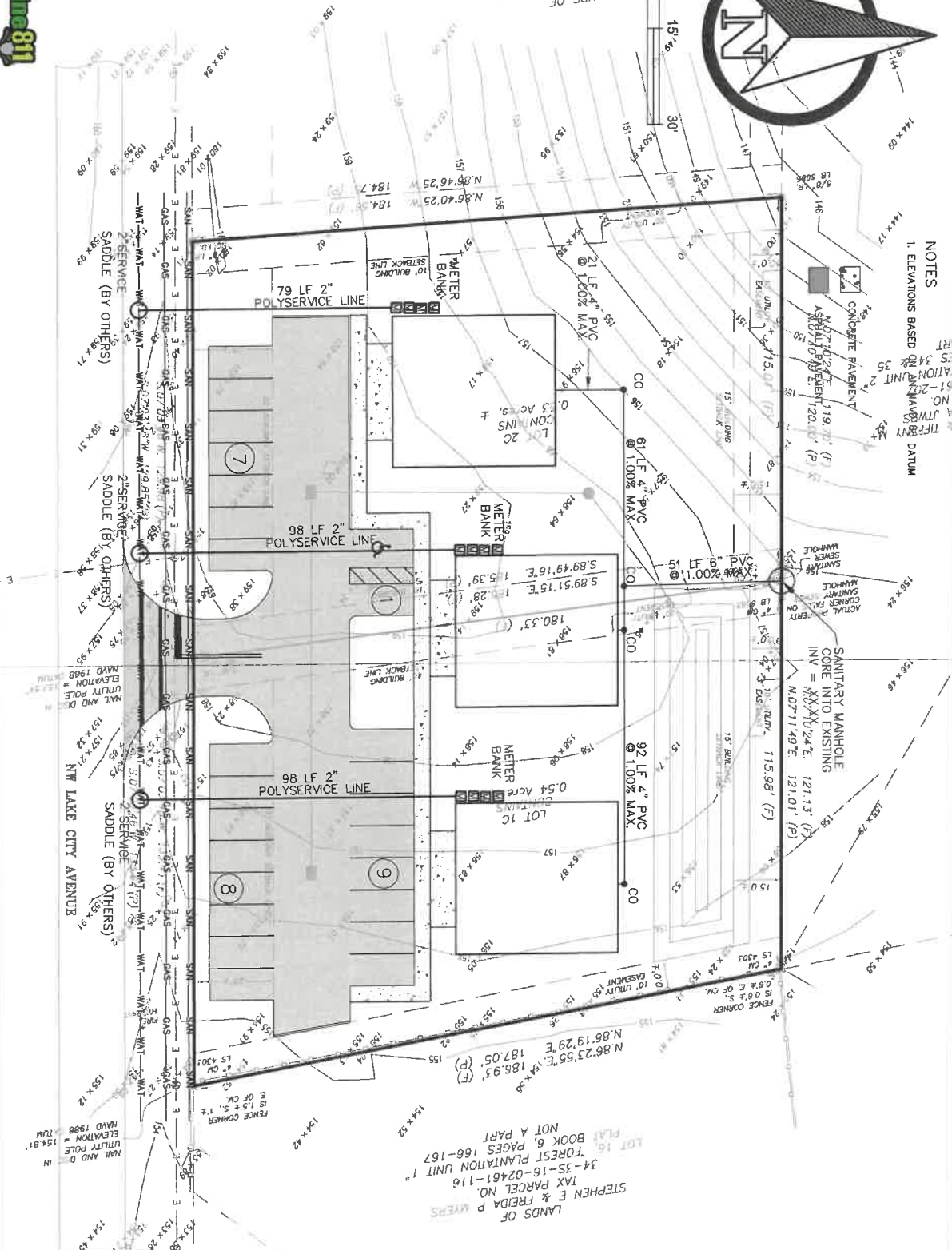
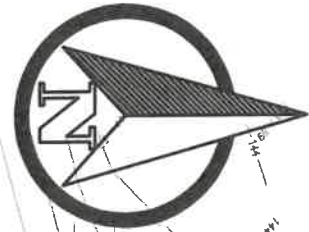
BY	#	DATE	REVISIONS

DRAWING FOR: GANSPOR PROPERTIES LLC
 SHEET



AFFINE ENGINEERING AND SURVEYING, INC
 CIVIL ENGINEERS SURVEYORS

LANDS OF
CHAEL ROSS STREICHER
TAX PARCEL NO.
34-35-16-02461-603
PLANTATION COMMERCIAL SUBDIVISION
PLAN BOOK 7, PAGES 50 & 51



NOTES
1. ELEVATIONS BASED
ON THE DATUM
AS SHOWN ON
PLAN BOOK 7, PAGES 50 & 51

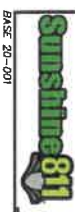
AFFINE ENGINEERING AND SURVEYING, INC.
CERTIFICATE OF AUTHORIZATION No. 29140
VICTOR O. MARRERO
FLORIDA P.E. # 78630
DATE

DRIVING SHEET
PREPARED FOR: GANSKOP PROPERTIES LLC
UTILITIES

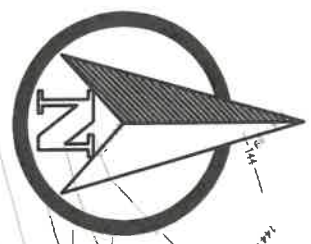
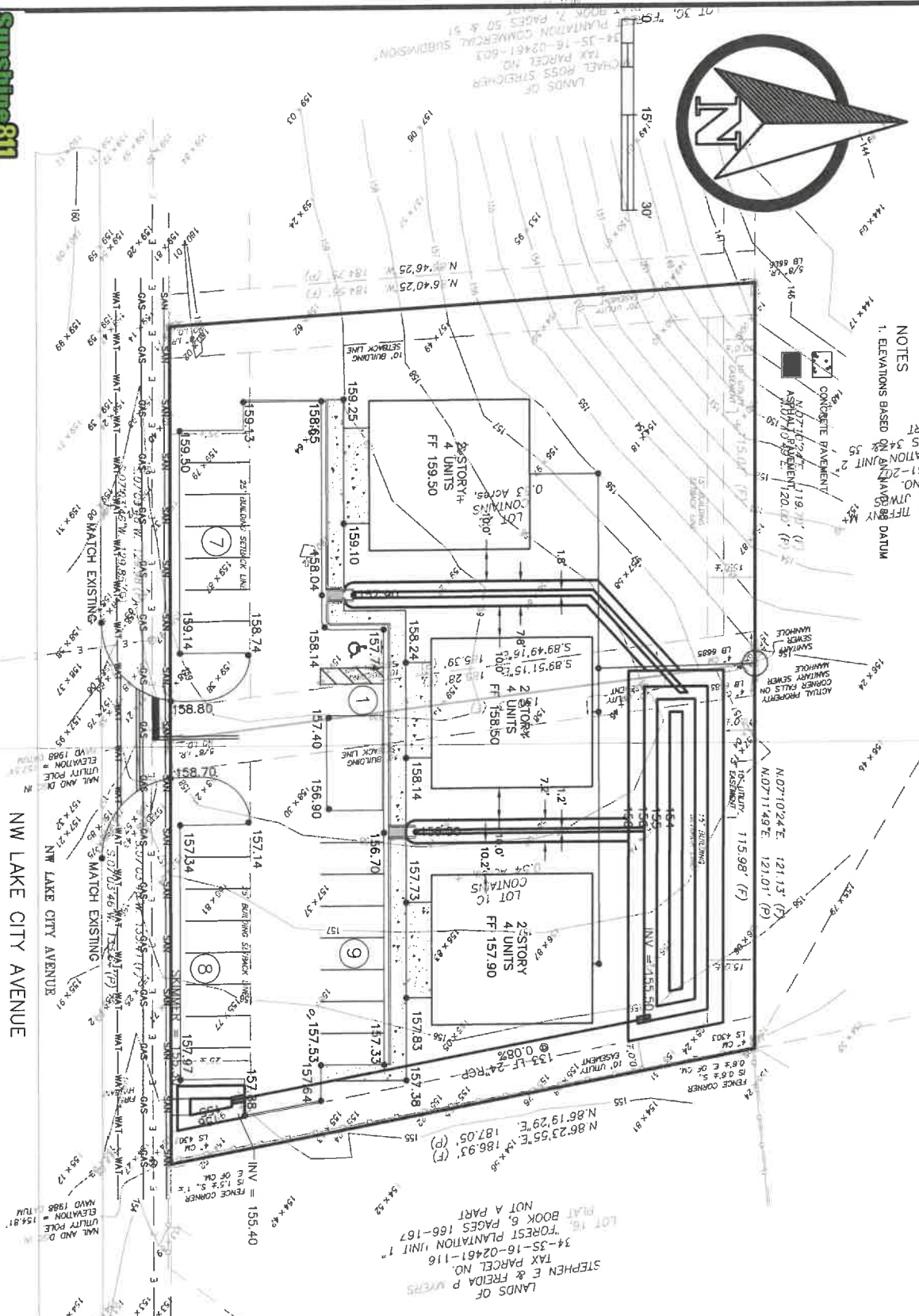


AFFINE ENGINEERING AND SURVEYING, INC.
CIVIL ENGINEERS SURVEYORS
100 NW GREEN BL, LAKE CITY, FLORIDA 32803
STATE OF FLORIDA

NO.	DATE	REVISIONS
1		
2		
3		
4		
5		
6		
7		



BASE 20-001



NOTES
 1. ELEVATIONS BASED
 ART. 342
 TATION UNIT
 61-20
 NO. 1
 A JTW
 DATUM

LANDS OF
 STEPHEN E & FREIDA P WREHS
 34-35-16-02461-116
 TAX PARCEL NO.
 34-35-16-02461-603
 PLANTATION COMMERCIAL SUBDIVISION
 BOOK 2, PAGE 50 & 51

LANDS OF
 STEPHEN E & FREIDA P WREHS
 34-35-16-02461-116
 TAX PARCEL NO.
 34-35-16-02461-116
 PLANTATION UNIT 1
 NOT A PART
 LOT 18, "FOREST PLANTATION UNIT 1"
 PLAT BOOK 6, PAGES 166-167

NW LAKE CITY AVENUE

AFFINE ENGINEERING
 AND SURVEYING, INC.
 CERTIFICATE OF
 AUTHORIZATION No. 29140

VICTOR O. MARRERO
 FLORIDA P.E. # 78630
 DATE

PREPARED FOR:
GANSKOP PROPERTIES LLC



AFFINE ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERS SURVEYORS
 138 NW ONEY LN, LAKE CITY, FLORIDA 32005
 TELEPHONE NUMBER 407-691-8534
 STATE OF FLORIDA LICENSE NO. 29140

REV	DATE	REVISIONS

January 30, 2023

re: Lake City Avenue Apartments Impact Analysis

The site is currently vacant. The maximum allowed dwelling units is 12 (4 units per building). Three bedroom dwelling units were used for these calculations.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 8th edition, ITE code 220
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:

- Trip generation: 80 ADT & 7 Peak PM trips

Table 1

Trip Generation Analysis						
ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	DU	Total ADT	Total PM Peak
220	Apartment	6.65	0.62	12.00	80	7

* FDOT 8th Ed. ITE Trip generation

- Potable Water: 3,600 gallons per day

Table 2

Potable Water Analysis			
Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

- Sanitary Sewer Water: 3,600 gallons per day

Table 3

Job (20001) Ganskop

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

- Solid Waste: 28.3 tons per year

Table 4

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	bedrooms	Total (Tons Per Year)
Apartment	4.00	36.00	26.28

**4# per bedroom per day

Please contact me at 386.867.0269 if you have any questions.

Respectfully,

Mark Ganskop

Job (20001) Ganskop

January 30, 2023

re: Lake City Avenue Apartments

The Lake City Avenue Apartments proposed comprehensive plan amendment change is consistent with Lake City's Comprehensive Plan.

Future Land Use Element

GOAL 1 - IN RECOGNITION OF THE IMPORTANCE OF CONSERVING THE NATURAL RESOURCES AND ENHANCING THE QUALITY OF LIFE, THE CITY SHALL DIRECT DEVELOPMENT TO THOSE AREAS WHICH HAVE IN PLACE, OR HAVE AGREEMENTS TO PROVIDE, THE LAND AND WATER RESOURCES, FISCAL ABILITIES AND SERVICE CAPACITY TO ACCOMMODATE GROWTH IN AN ENVIRONMENTALLY ACCEPTABLE MANNER.

- Objective 1.1 The City shall continue to direct future population growth and associated urban development to urban development areas as established within this comprehensive plan.

Consistency: The subject project fronts Lake City Avenue, and is consistent with the City's Future Land Use plan. The generated traffic will not substantially impact any residential neighborhoods.

- Policy 1.1.1 The City shall limit the location of higher density residential and high intensity commercial and industrial uses to areas adjacent to arterial or collector roads where public facilities are available to support such higher density or intensity. In addition, the City shall enable private sub regional centralized potable water and sanitary sewer systems to connect to public regional facilities, in accordance with the objective and policies for the urban and rural areas within this future land use element of the comprehensive plan.

Consistency: The subject project has direct access to Lake City Avenue which is collector road where city water and city sewer are available.

- Policy 1.1.2 The City's future land use plan map shall allocate amounts and mixes of land uses for residential, commercial, industrial, public and recreation to meet the needs of the existing and projected future populations and to locate urban land uses in a manner where public facilities may be provided to serve such urban land uses. Urban land uses shall be herein defined as residential, commercial and industrial land use categories.

Consistency: The subject project is consistent with the surrounding residential multi family and single family uses.

- Policy 1.1.3 The City's future land use plan map shall base the designation of residential, commercial and industrial lands depicted on the future land use plan map upon acreage which can be reasonable expected to develop by the year 2023.

Consistency: The project is consistent with the future land use map.

- Policy 1.1.4 The City shall continue to maintain standards for the coordination and siting of

proposed urban development near agricultural or forested areas, or environmentally sensitive areas (including but not limited to wetlands and floodplain areas) to avoid adverse impact upon existing land uses.

Consistency: The proposed project will not cause any adverse effects to existing land uses.

- Policy I.1.5 The City shall continue to regulate and govern future urban development within designated urban development areas in conformance with the land topography and soil conditions, and within an area which is or will be served by public facilities and services.

Consistency: The proposed project will be in conformance to the land topography and soil conditions and will be served by existing sewer, gas and water systems.

- Policy I.1.6 The City's land development regulations shall be based on and be consistent with the following land use classifications and corresponding standards for densities and intensities within the designated urban development areas of the City. For the purpose of this policy and comprehensive plan, the phrase "other similar uses compatible with" shall mean land uses that can co-exist in relative proximity to other uses in a stable fashion over time such that no other uses within the same land use classification are negatively impacted directly or indirectly by the use.

Consistency: The proposed multifamily residential project is compatible with the adjacent properties and can co-exist without negative impacts to other uses in relative proximity to the development over time.

Please contact me at 386.867.0269 if you have any questions.

Respectfully,

Mark Ganskop

LEGAL DESCRIPTION

LOT 1C AND 2C, FOREST PLANTATION COMMERCIAL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 50, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

Prepared by and return to:

Brent E. Baris P.A.
Brent E. Baris, Esq.
P.O. Box 223
High Springs, FL 32655
(386) 454-0688
File Number: 19-018

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 5th day of December, 2022 between **Ganskop Properties LLC, a Florida Limited Liability Company**, whose post office address is 175 NW Amenity Ct. Lake City, FL 32055, grantor, and **The Pines at Forest Meadows, LLC, a Florida Limited Liability Company**, whose post office address is 175 NW Amenity Ct. Lake City, FL 32055, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lots 1C and 2C, Forest Plantation Commercial Subdivision, according to the map or plat thereof as recorded in Plat Book 7, Page 50, Public Records of Columbia County, Florida

Subject to zoning, restrictions, prohibitions and requirements imposed by governmental authority; restrictions and matters appearing on the plat or common to the subdivision; public utility easements of record; and taxes for the year 2022 and subsequent years.

This Instrument was prepared by Brent E. Baris, Esq. of Brent E. Baris, P.A. Title to the land described herein has not been examined by Brent E. Baris and no warranty or other representation is made and no opinion (either expressed or implied) is given as to the marketability or condition of the title to the subject property, the quantity of lands included therein, the location of the boundaries thereof, or the existence of liens, unpaid taxes or encumbrances. Grantee by the acceptance and recordation of this document releases the preparer hereof of any liability regarding the above stated matters.


To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence as to both capacities:


Witness Name: Dillian Waters


Mark A. Ganskop, Manager



Witness Name: Robert Shaheen

State of Florida

County of Columbia

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5th day of December, 2022 by Mark A. Ganskop, Manager of Ganskop Properties LLC. Mark A. Ganskop is personally known or has produced a driver's license as identification.

[Notary Seal]


Notary Public
Printed Name: Robert Shaheen
My Commission Expires: _____



ROBERT SHAHEEN
Notary Public
State of Florida
Comm# HH319149
Expires 10/5/2026



Kyle Keen, Tax Collector
Proudly Serving The People of Columbia County

Site Pro
 aument

Search by Owner Name...

print Page 1 of 1

Click on a record below to view more details.

Searches

- Account Number
- GEO Number
- Owner Name**
- » Printable List
- Property Address
- Mailing Address

Search Results

R02461-601 - GANSKOP PROPERTIES LLC

Register for eBill

<i>Address:</i>	<i>Assessed</i>	<i>Paid:</i>	<i>Legal:</i>
GANSKOP PROPERTIES LLC	Year: 2022	Y	34-3S-16
736 SW ARBOR LN			1000/1000.54 Acres
LAKE CITY FL 32024			LOT 1C FOREST
			PLANTATION
			COMMERCIAL S/D. WD
			1231-151, DC 1356-
			1857, WD 1404-899,
			GEO Number: 343S16-
			02461-601

Site Functions

- Tax Search**
- Local Business Tax
- Contact Us
- County Login
- Home

R02461-602 - GANSKOP PROPERTIES LLC

Register for eBill

<i>Address:</i>	<i>Assessed</i>	<i>Paid:</i>	<i>Legal:</i>
GANSKOP PROPERTIES LLC	Year: 2022	Y	34-3S-16
736 SW ARBOR LN			1000/1000.53 Acres
LAKE CITY FL 32024			LOT 2C FOREST
			PLANTATION
			COMMERCIAL S/D. WD
			1231-151, DC 1356-
			1857, WD 1404-899,
			GEO Number: 343S16-
			02461-602

Search performed on 1/30/2023 4:00:38 PM EST
 with Owner Name = GANSKOP PROPERTIES
 and Search Type = STARTSWITH
 and Show list using = DETAIL

<< First 1 Last >>



GROWTH MANAGEMENT
 205 North Marion Ave
 Lake City, Florida 32055
 Telephone (386) 719-5750
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # Z _____
 Application Fee \$ 750.00
 Receipt No. 2023-08022996
 Filing Date 01/06/23
 Completeness Date _____

Less Than or Equal to 10 Acres: \$750.00 Greater Than 10 Acres: \$1,000.00 or actual cost

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application

A. PROJECT INFORMATION

1. Project Name: The Pines at Forest Meadows
2. Address of Subject Property: 450 NW Lake City Ave Lake City FL 32055
3. Parcel ID Number(s): 34-35-16-02461-601 & 34-35-16-02461-602
4. Future Land Use Map Designation: Residential-Medium
5. Existing Zoning Designation: Residential Office
6. Proposed Zoning Designation: Multi-family-2
7. Acreage: 1 acre
8. Existing Use of Property: Vacant
9. Proposed use of Property: Multi-family

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Mark Ganskap Title: _____
 Company name (if applicable): _____
 Mailing Address: 736 SW Arbor Ln
 City: Lake City State: FL Zip: 32024
 Telephone: (86) 8670209 Fax: (____) Email: explumbing@outlook.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): _____
 Mailing Address: _____
 City: _____ State: _____ Zip: _____
 Telephone: (____) _____ Fax: (____) _____ Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: _____
If yes, is the contract/option contingent or absolute: Contingent Absolute
2. Has a previous application been made on all or part of the subject property: Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. CPA _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. _____
Variance: Yes _____ No _____
Variance Application No. _____
Special Exception: Yes _____ No _____
Special Exception Application No. _____

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. ✓ Boundary Sketch or Survey with bearings and dimensions.
2. ✓ Aerial Photo (can be obtained via the Columbia County Property Appraiser's Office).
3. ✓ Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities, including but not limited to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts. For residential Zoning Designations, an analysis of the impacts to Public Schools is required.
4. ✓ An Analysis of the Requirements of Article 12 of the Land Development Regulations:
- a. Whether the proposed change would be in conformance with the city's comprehensive plan or would have an adverse effect on the city's comprehensive plan.
 - b. The existing land use pattern.
 - c. Possible creation of an isolated district unrelated to adjacent and nearby districts.
 - d. The population density pattern and possible increase or overtaxing of the load on public facilities such as schools, utilities, streets, etc.
 - e. Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.
 - f. Whether changed or changing conditions make the passage of the proposed amendment necessary.
 - g. Whether the proposed change will adversely influence living conditions in the neighborhood.
 - h. Whether the proposed change will create or excessively increase traffic congestion or otherwise affect public safety.
 - i. Whether the proposed change will create a drainage problem.
 - j. Whether the proposed change will seriously reduce light and air to adjacent areas.

- k. Whether the proposed change will adversely affect property values in the adjacent area.
- l. Whether the proposed change will be a deterrent to the improvement or development of adjacent property in accord with existing regulations.
- m. Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with the public welfare.
- n. Whether there are substantial reasons why the property cannot be used in accord with existing zoning.
- o. Whether the change suggested is out of scale with the needs of the neighborhood or the City.
- p. Whether it is impossible to find other adequate sites in the city for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations. The planning and zoning board shall consider and study:
 - i. The need and justification for the change.
 - ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

5. Legal Description with Tax Parcel Number (In Microsoft Word Format).

6. Proof of Ownership (i.e. deed).

7. Agent Authorization Form (signed and notarized).

8. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector's Office).

9. Fee. The application fee for a Site-Specific Amendment to the Official Zoning Atlas is As listed in fee schedule. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All nine (9) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of eighteen (18) copies of proposed Site Specific Amendment to the Official Zoning Atlas Application and support material, and a PDF copy on a CD, are required at the time of submittal.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Mark Ganskop

Applicant/Agent Name (Type or Print)

[Signature]

Applicant/Agent Signature

01/05/23

Date

STATE OF FLORIDA
COUNTY OF Columbia

The foregoing instrument was acknowledged before me this 5 day of Jan, 2022, by (name of person acknowledging).



CLAYTON TROY SHAHEEN
Notary Public
State of Florida
Comm# HH223111
Expires 2/1/2026

[Signature]

Signature of Notary

Clayton Shaheen

Printed Name of Notary

Personally Known OR Produced Identification
Type of Identification Produced



0 130 260 390 520 650 780 910 1040 1170 1300 ft

Columbia County Property Appraiser Jeff Hampton | Lake City, Florida | 386-758-1083

PARCEL: 34-3S-16-02461-601 (10094) | VACANT COMMERCIAL (1000) | 0.54 AC
 LOT 1C FOREST PLANTATION COMMERCIAL SID. WD 1231-151, DC 1356-1857, WD 1404-899, QC 1480-2650,

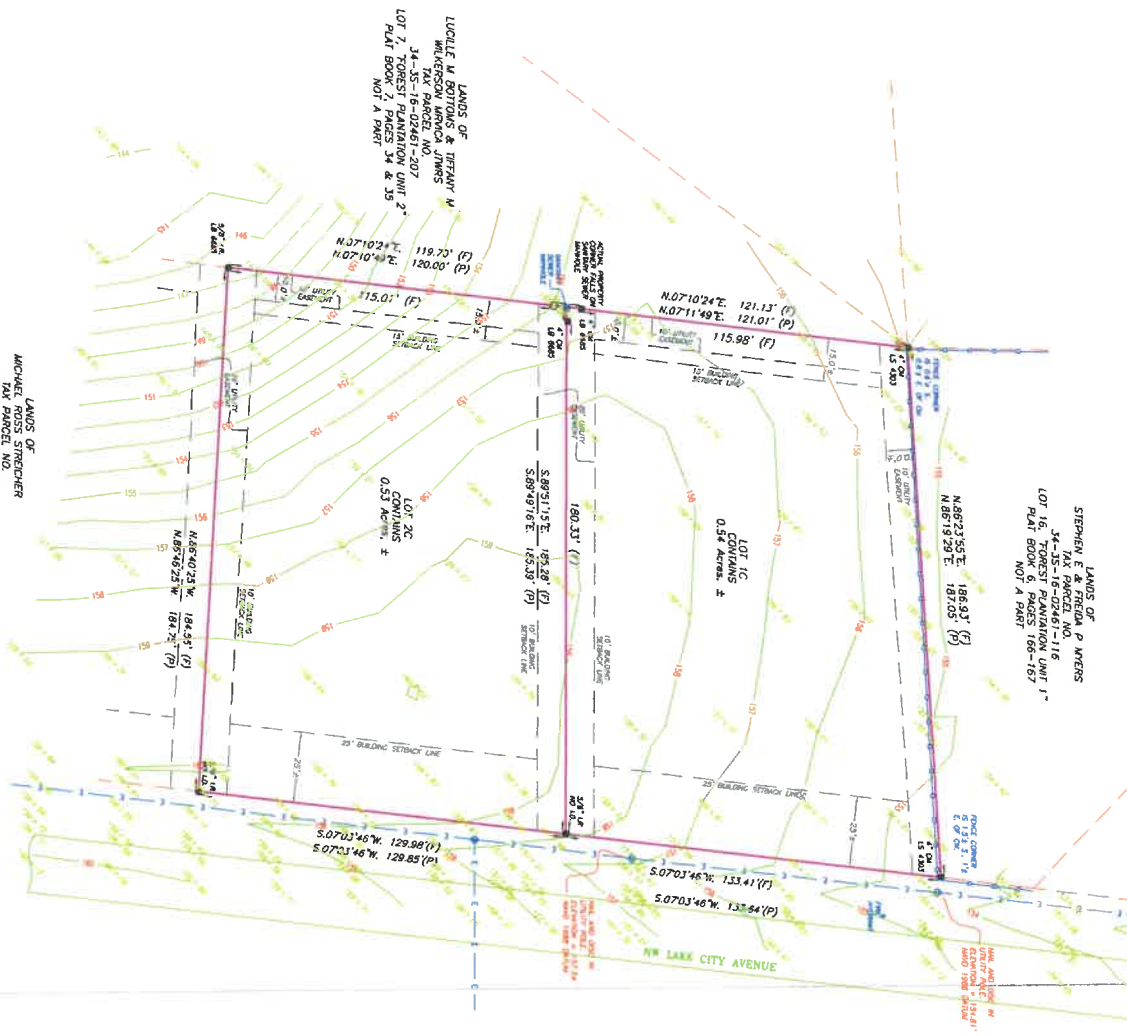
Owner: THE PINES AS FOREST MEADOWN LLC LAKE CITY, FL 32055		2023 Working Values	
Site:	12/5/2022 V(U)	Mkt Lnd	\$26,757 Appraised
Sales	1/24/2020 V(O)	Ag Lnd	\$0 Assessed
Info	3/8/2012 V(U)	Bldg	\$0 Exempt
		XFOB	\$0 Total
		Just	\$26,757 Taxable
			county:\$26,757
			city:\$26,757
			other:\$0 school:\$26,757

NOTES:

This information, was derived from data which was compiled by the Columbia County Property Appraiser Office solely for the governmental purpose of property assessment. This information should not be relied upon by anyone as a determination of the ownership or property or market value. No warranties, expressed or implied, are provided for the accuracy of the data herein, its use, or its interpretation. Although it is periodically updated, this information may not reflect the data currently on file in the Property Appraiser's office.

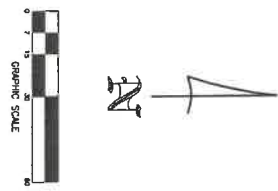
GrizzlyLogic.com

BOUNDARY SURVEY
 IN SECTION 34,
 TOWNSHIP 3-SOUTH,
 RANGE 16-EAST,
 COLUMBIA COUNTY, FLA



DESCRIPTION:
 LOT 1C AND 2C, FOREST PLANTATION COMMERCIAL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 50, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

SURVEYOR'S NOTES:
 1. BOUNDARIES BASED ON MONUMENTATION FOUND IN ACCORDANCE WITH THE RETAINMENT OF THE RECORD TITLE BOUNDARIES OF THIS PARCEL TO THE BEST OF MY ABILITY TO MEASURE AND LOCATE SAID BOUNDARIES TO OR OTHERWISE OBTAINED BY THIS OFFICE.
 2. BEARINGS BASED ON PLAT OF RECORD USING MONUMENTS FOUND ON THE EAST LINES OF THESE PARCELS.
 3. THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE OUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD INSURANCE RATE MAP DATED 11/11/10 AND FLOOD ELEVATIONS BASED ON NORTH AMERICAN VERTICAL DATUM OF 1988 (NAVD 88 DATUM). IF ANY INDICATED ON THIS SURVEY, GRADING ARE AS LOCATED ON DATE OF FIELD SURVEY AS SHOWN HEREON.
 4. IF THEY EXIST, NO UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 5. LICENSED SURVEYOR AND WAREHOUSE, FURNITURE AND SINK OF A FLORIDA CLOSURE OF FIELD SURVEY IS BETTER THAN 1/10,000. BOUNDARY AND CONTROL POINTS OF PRECISION BUILDINGS AND SIMILAR IMPROVEMENTS ARE LOCATED WITHIN ± 0.2 FEET OF THE ACTUAL LOCATION UNLESS OTHERWISE NOTED. OTHER IMPROVEMENTS SUCH AS UTILITY POLES, SEPTIC TANKS, TREES, ETC. ARE NORMALLY WITHIN ± 0.5 FEET UNLESS OTHERWISE NOTED.
 6. EXCEPTION IS MADE HEREON REGARDING EXISTING REVISIONS, RESTRICTIONS, AND/OR TITLE COVENANTS. ANY DISCREPANCY OR DISCREPANCY OBSERVED BY THIS OFFICE, AN EFFORT HAS BEEN MADE IN GOOD FAITH TO SHOW PHYSICAL EVIDENCE OF EXISTING OCCUPATION AND MAY HAVE PREVENTED DISCOVERY OF SAID SUCH EVIDENCE.
 7. CERTIFIED TO:
 8. CAUSKOP PROPERTIES, LLC



- SYMBOL LEGEND
- 0.12.1 SYMBOL RECORD INSTRUMENT
 - 0.12.2 CONCRETE MONUMENT SET, LS 4708
 - 0.12.3 IRON PIN OR IRON SET, LS 4708
 - 0.12.4 WIRE FENCE
 - 0.12.5 WIRE FENCE (UTILITY LINE (UNDERGROUND))
 - 0.12.6 WOODEN FENCE (WOODEN FENCE)
 - 0.12.7 WOODEN FENCE (WOODEN FENCE)
 - 0.12.8 ASP REINFORCED CONCRETE PILE
 - 0.12.9 LAND SURVEYOR
 - 0.12.10 OFFICIAL RECORD BOOK
 - 0.12.11 REMAINING REFERENCE MONUMENT
 - 0.12.12 UTILITY POLE
 - 0.12.13 HIGH-OR-MAY-POLE
 - 0.12.14 CONCRETE MONUMENT
 - 0.12.15 IRON PIN
 - 0.12.16 IRON ROD
 - 0.12.17 STATE ROAD DEPARTMENT
- EXTRA AGREEMENTS:
 0.12.18 UNDEVELOPED FIELD
 0.12.19 OPEN AS IN DEED
 0.12.20 AS IN DEED
 0.12.21 AS IN DEED
 0.12.22 AS IN DEED
 0.12.23 AS IN DEED
 0.12.24 AS IN DEED
 0.12.25 AS IN DEED
 0.12.26 AS IN DEED
 0.12.27 AS IN DEED
 0.12.28 AS IN DEED
 0.12.29 AS IN DEED
 0.12.30 AS IN DEED

MARK D. DUREN AND ASSOCIATES, INC.
 LB 7820
 1604 SW SISTERS WILCOXE ROAD
 LAKE CITY, FLA. 32025
 (386) 758-9331 OFFICE
 (386) 758-8010 FAX
 RFD SURVEY DIV. 2400 S.W. 24TH AVE.
 OAKBURN, FLA. 32067
 (386) 758-9331
 WOLF# 20-099

LANDS OF
 STEPHEN E. & FREIDA P. WYERS
 34-35-16-024-00-116
 LOT 16, FOREST PLANTATION UNIT 1*
 PLAT BOOK 6, PAGES 166-167
 NOT A PART

LANDS OF
 MICHAEL ROSS STRECHER
 34-35-16-024-01-803
 LOT 3C, FOREST PLANTATION COMMERCIAL SUBDIVISION*
 PLAT BOOK 7, PAGES 50 & 51
 NOT A PART

LANDS OF
 LUCILLE M. BOTTIONS & TERRY W. WILKERSON AKA JIMMS
 34-35-16-024-01-207
 LOT 7, FOREST PLANTATION UNIT 2*
 PLAT BOOK 7, PAGES 34 & 35
 NOT A PART

SPACING STRUCTURE:
 MARK D. DUREN, LS 4708
 LAKE CITY, FLA. 32025
 LAKE CITY, FLA. 32025

SIGNED: MARK D. DUREN, LS 4708

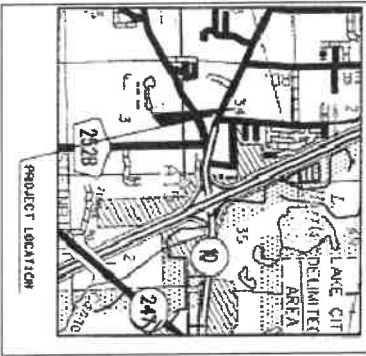
CIVIL ENGINEER

AFFINE ENGINEERING AND SURVEYING, INC.
1228 SW MAIN BOULEVARD
LAKE CITY, FL 32055
TELEPHONE: 407-421-5534

SURVEYOR

MARK D. DUREN AND ASSOCIATES, INC.
1604 SW SISTERS WELCOME ROAD
LAKE CITY, FL 32025
TELEPHONE: 386-758-9831

VICINITY MAP



LEGAL DESCRIPTION

LOT 1C AND 2C, FOREST PLANTATION COMMERCIAL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 50, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.



COLUMBIA COUNTY SUBMITTAL NOT FOR CONSTRUCTION

STORM WATER MANAGEMENT SYSTEM DESIGN HAS BEEN DONE IN RECOGNIZABLE CONFORMANCE WITH THE SWANANEE RIVER WATER MANAGEMENT DISTRICT DESIGN CRITERIA

ENGINEERING PLANS

LAKE CITY AVENUE APARTMENTS
COLUMBIA COUNTY FLORIDA

PREPARED FOR
GANSKOP PROPERTIES, LLC

657 NW SAVANNAH CIR. LAKE CITY FL 32055
CONTACT: MARK GASKOP
PHONE: (386) 867-0269

SITE DATA

PARCEL ID: 34-35-16-02461-601
ZONING: R0
PROJECT AREA: ± 46,365.20 SF = 1.064 ACRES
BUILDING SETBACKS: FRONT 25'; BACK 15'; SIDES 10'

PRE DEVELOPMENT SITE DATA

PRE DEV PERVIOUS AREA: ± 46,365 SF
PRE DEV IMPERVIOUS AREA: ± 0 SF
PRE DEV PERVIOUS %: 0%
PRE DEV PERVIOUS %: 100%

POST DEVELOPMENT SITE DATA

POST DEV OPEN SPACE: ± 18,967 SF
POST DEV OPEN SPACE %: 41.0%
POST DEV IMPERVIOUS AREA: ± 21,083 SF
POST DEV POND AREA: ± 6,313 SF
POST DEV PERVIOUS AREA: ± 18,967 SF
POST DEV PERVIOUS %: 59.0%
POST DEV PERVIOUS %: 41.0%

PARKING REQUIREMENTS

CODE REQUIREMENTS:
(MULTI FAMILY DWELLING) 2 SPACES PER UNIT
ACCESSIBLE SPACES 1 FOR EVERY 25
SPACES PROVIDED:
(MULTI FAMILY DWELLING) 2 SPACES PER UNIT
ACCESSIBLE SPACES 1 FOR EVERY 25

SHEET INDEX	
1	COVER SHEET
2	NOTES AND DETAILS
3	TOPOGRAPHIC SURVEY
4	PROPOSED SITE PLAN
5	LANDSCAPING PLAN
6	DETAILS

PREPARED FOR
GANSKOP PROPERTIES LLC

Victor O Marrero

Digitally signed by
Victor O Marrero
Date: 2022.10.31
22:23:40 -04'00'



VICTOR O. MARRERO
FLORIDA P.E. # 78630

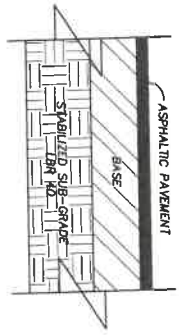


AFFINE ENGINEERING AND SURVEYING, INC
CIVIL ENGINEERS
SURVEYORS

TELEPHONE NUMBER 407-421-5534
10354 JEPSON STREET, ORLANDO, FLORIDA 32825
CERTIFICATE OF AUTHORIZATION: No. 29140

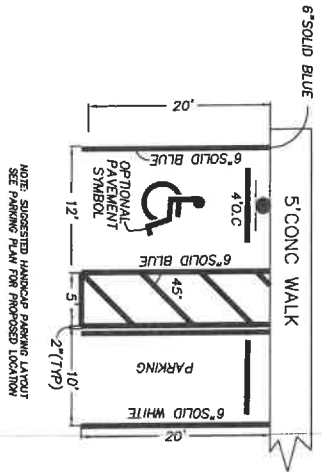
SHEET 1

PAVEMENT DESIGN

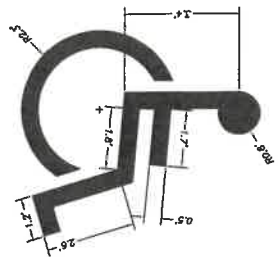


ASPHALT	1.5"	TYPE SP 12.5 ASPHALTIC CONCRETE SURFACE COURSE
BASE	6"	LIMEROCK BASE MIN LER 100 COMPACT TO FLOOT STANDARDS
BASE	12"	STABILIZED SUB-BASE LER 40 COMPACT TO FLOOT STANDARDS

H.C. PARKING

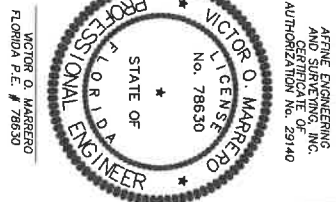


NOTE: SUGGESTED LARGER PARKING LAYOUT SEE PARKING PLAN FOR PROPOSED LOCATION

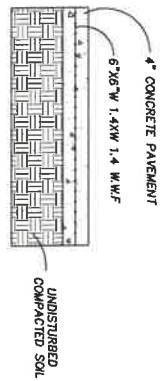


PARKING SYMBOL

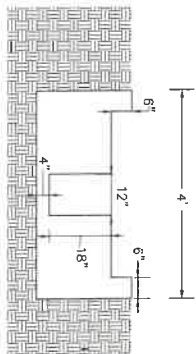
NTS.



SIDEWALK SECTION

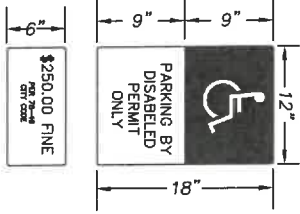


CONCRETE FLUME

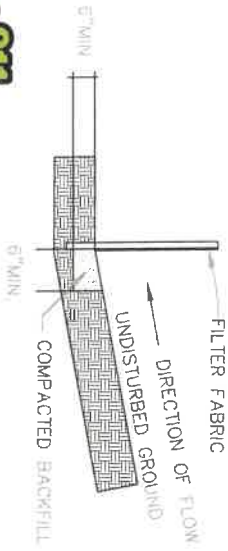


SIGN DETAIL

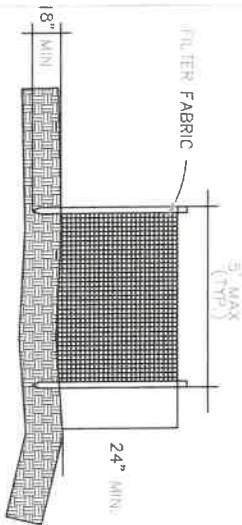
NTS



EROSION CONTROL



EROSION CONTROL



BASE 20-001

THE ORIGINAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.

DRAWING 20-001 SHEET 7
 PREPARED FOR: GANSKOP PROPERTIES LLC
 AFFINE

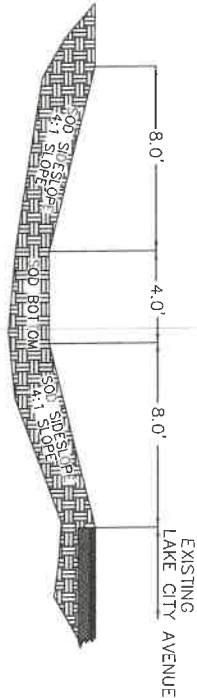
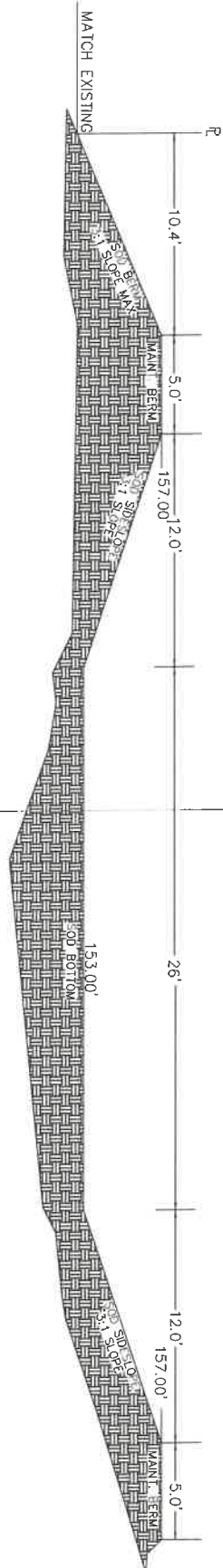
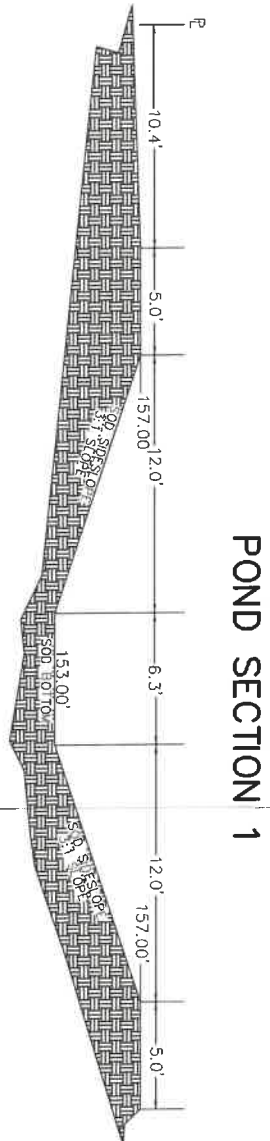


AFFINE ENGINEERING AND SURVEYING, INC
 CIVIL ENGINEERS SURVEYORS
 TELEPHONE NUMBER 407-421-8534
 138 NW GREEN LAKE LAKE CITY, FLORIDA 32085
 (SCHOOL OF SURVEYING, 1912)

DRAWN BY: [initials]
 CHECKED BY: [initials]
 DATE: 8/21/20
 SCALE: 1"=30'
 JOB # 20001



BASE 20-001



AFFINE ENGINEERING AND SURVEYING, INC.
 AUTHORIZATION NO. 29140
 VICTOR O. MARRERO
 LICENSE NO. 78630
 STATE OF FLORIDA
 PROFESSIONAL ENGINEER
 VICTOR O. MARRERO
 FLORIDA P.E. # 78630

DRAWING 20-001 SHEET 8
 PREPARED FOR: GANSKOP PROPERTIES LLC
 DETAILS-2

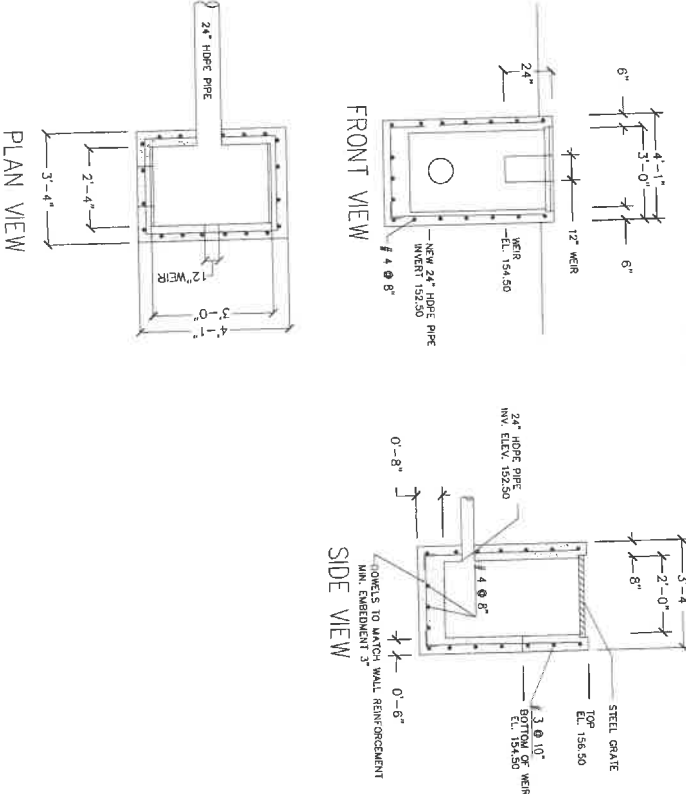


AFFINE ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERS SURVEYORS
 TELEPHONE NUMBER 407-431-5534
 128 NW GREEN LN, LAKE CITY, FLORIDA 32066
 EXPIRES 12/31/2020 BY 2018

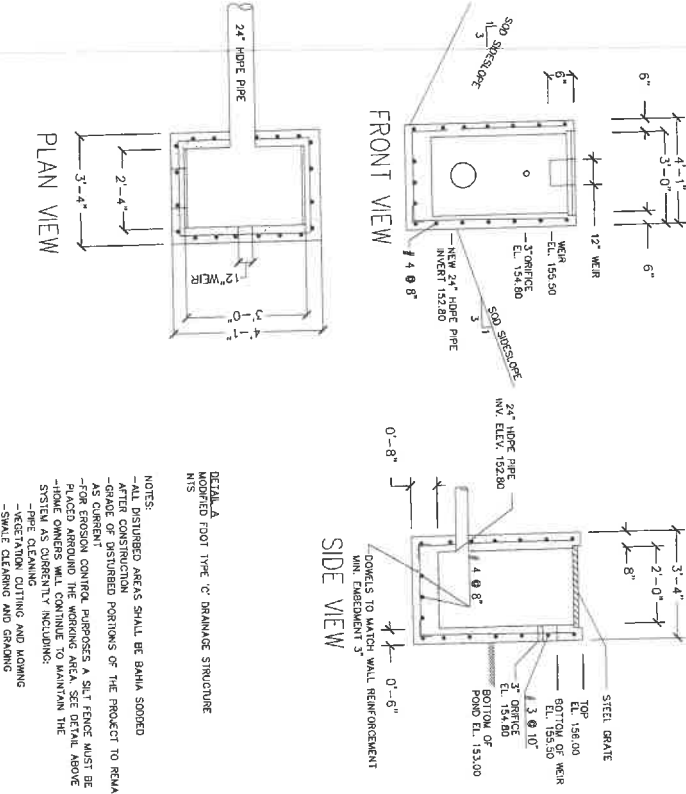
DRAWN BY: VM
 CHECKED BY: MB
 DATE: 8/21/20
 SCALE: 1"=30'
 JOB #: 20007

THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.

MODIFIED FDOT TYPE C INLET BUBBLE UP STRUCTURE NTS



MODIFIED FDOT TYPE C INLET CONTROL STRUCTURE NTS



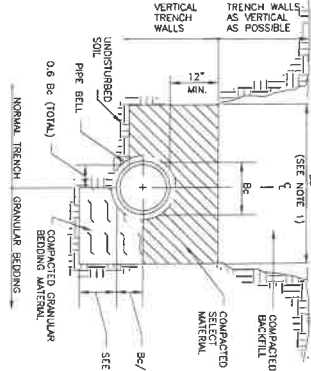
BEDDING AND TRENCHING NOTES

1. B₁ = PIPE O.D.
B₂ = TRENCH WIDTH AT TOP OF PIPE
MIN. DIM. OF BELL + 12" (SHEELED TRENCH)
MAX. DIM. OF BELL + 12" (SHEELED TRENCH)
CUSTOMING MATERIAL, DEPTH SHALL BE 6" BELOW BOTTOM OF UTILITY
2. DEPTH FOR REMOVAL OF UNDESIRABLE MATERIAL SHALL BE MIN. DIM. OF BELL + 12" (SHEELED TRENCH) OR HIGHER CASE SHALL BE MINIMUM OF 12" ABOVE TOP OF PIPE. IN NO CASE SHALL SHEETING BE EXPOSED AND LEFT IN PLACE. SHEETING SHALL BE REMOVED AND REINFORCED AS REQUIRED. APPROVED BRACING SHALL BE APPROVED AS REQUIRED.
3. SHEETING SHALL BE DESIGNED BELOW THE UTILITY INVERT. SHEETING SHALL BE DESIGNED TO BE REMOVED AND REINFORCED AS REQUIRED. APPROVED BRACING SHALL BE APPROVED AS REQUIRED.
4. DEPTH OF COVER IS LESS THAN THE REQUIRED DEPTH OF COVER TO BE APPROVED BY THE UTILITY.
5. TO BE COMPACTED TO 98% DENSITY OF MASHED 1180 MOISTURE PROVISION IN PADS TO BE PAVED AND 95% IN OTHERS.

NOTE:
-ALL DISTURBED AREAS SHALL BE BAKED, SOILED AND RESEED.
-GRADE OF DISTURBED PORTIONS OF THE PROJECT TO REMAIN AS CURRENT.
-PROFESSIONAL CONTROL PERSONNEL A SITI FENCE MUST BE PLACED AROUND THE WORKING AREA. SEE DETAIL ABOVE.
-HOME OWNERS WILL CONTINUE TO MAINTAIN THE SYSTEM AS CURRENTLY INCLUDING:
-PIPE CLEANING
-TREE TRIMMING AND REMOVAL
-SMALL CLEARING AND GRADING



CLASS "B" BEDDING-NORMAL CONDITIONS



THE OFFICIAL RECORD OF THIS SHEET IS THE ELECTRONIC FILE DIGITALLY SIGNED AND SEALED UNDER RULE 61G15-23.004 F.A.C.

AFFINE ENGINEERING AND SURVEYING, INC.
AUTHORIZATION No. 29140

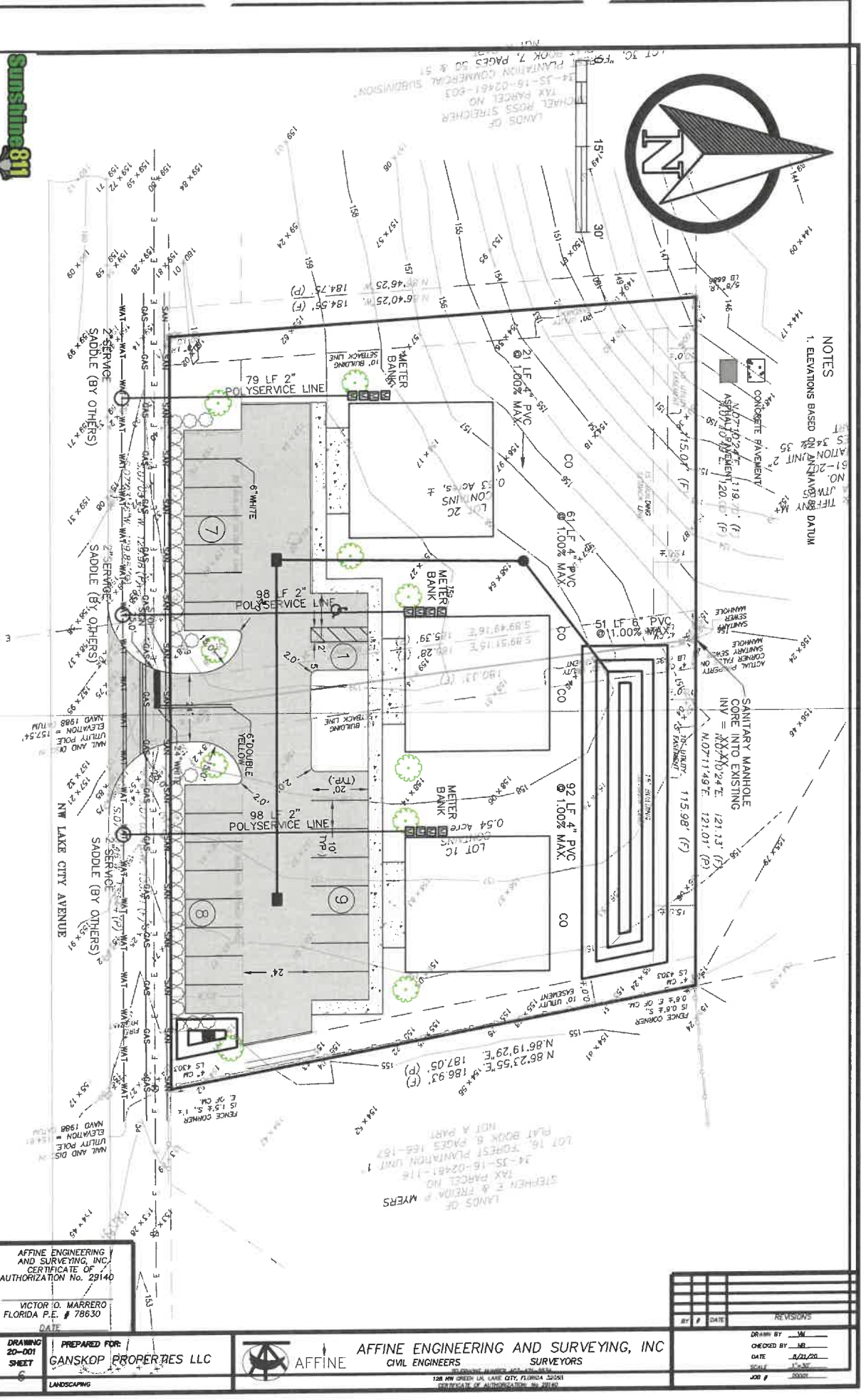
VICTOR O. MARRERO
FLORIDA P.E. # 15830

STATE OF FLORIDA
PROFESSIONAL ENGINEER
No. 78630
VICTOR O. MARRERO
FLORIDA P.E. # 15830

DRAWING: 20-001 SHEET 9
PREPARED FOR: GANSKOP PROPERTIES LLC
DETAILS - 3

AFFINE ENGINEERING AND SURVEYING, INC.
CIVIL ENGINEERS SURVEYORS
120 NW GREEN LN, LAKE CITY, FLORIDA 32065
TELEPHONE NUMBER 407-651-8534
FIDELITYBOND.COM

DRAWN BY	VM
CHECKED BY	NR
DATE	8/21/20
SCALE	1"=30'
JOB #	20001



NOTES
1. ELEVATIONS BASED ON DATUM

AFFINE ENGINEERING AND SURVEYING, INC.
CERTIFICATE OF AUTHORIZATION No. 29140
VICTOR O. MARRERO
FLORIDA P.E. # 78630
DATE

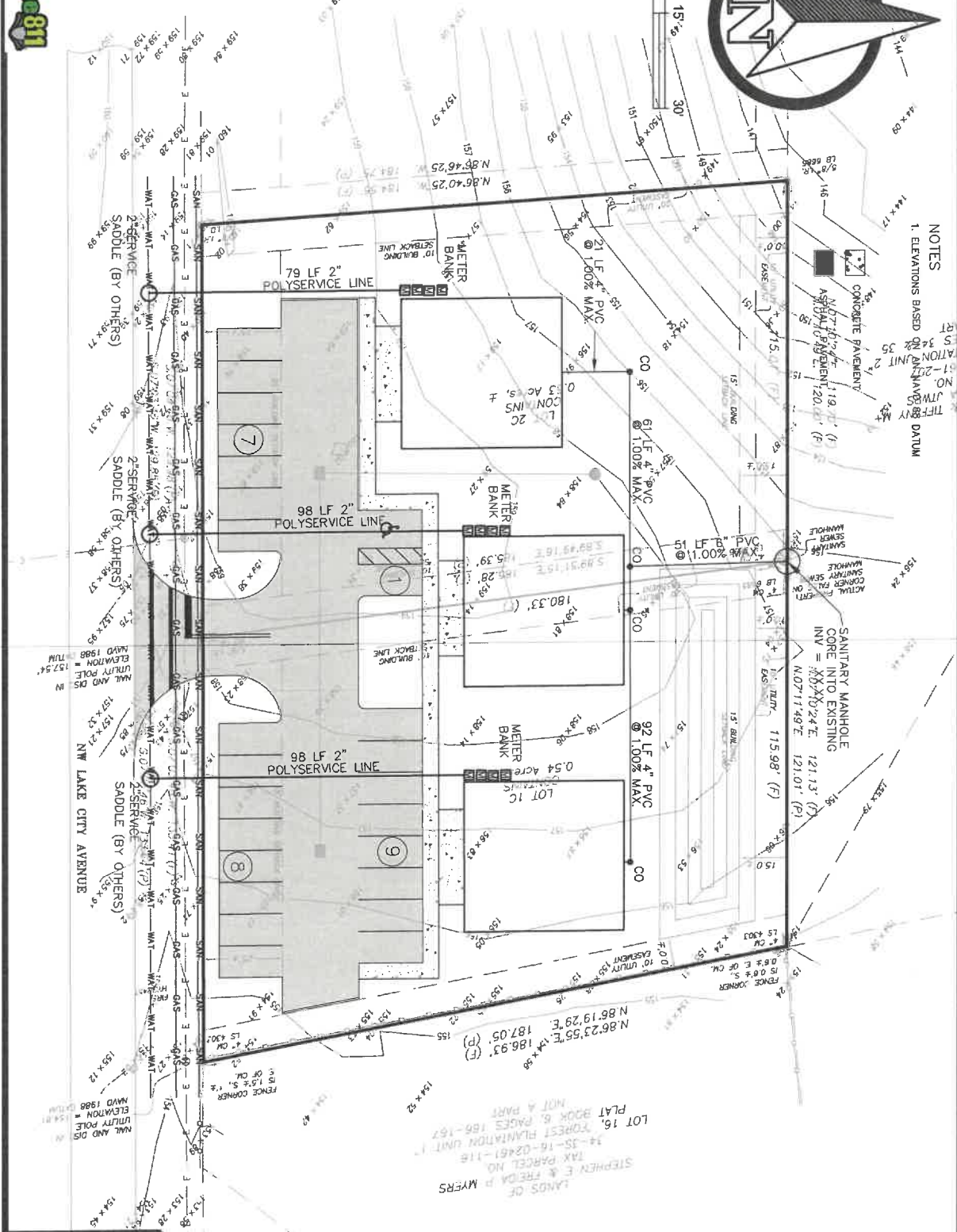
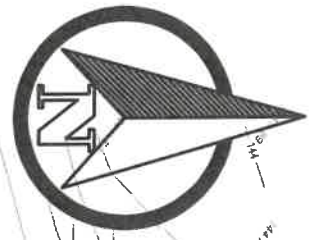
DRAWING 20-001 SHEET
PREPARED FOR: GANSKOP PROPERTIES LLC
LANDSCAPING



AFFINE ENGINEERING AND SURVEYING, INC.
CIVIL ENGINEERS SURVEYORS
1208 NW GREEN LANE, LAKE CITY, FLORIDA 32825
STATE OF FLORIDA LICENSE NO. 00000

BY	DATE	REVISIONS

DRAWN BY: VM
 CHECKED BY: MR
 DATE: 8/21/20
 SCALE: 1"=30'
 JOB #: 20001



NOTES
1. ELEVATIONS BASED
ON DATUM

AFFINE ENGINEERING
AND SURVEYING, INC.
CERTIFICATE OF
AUTHORIZATION No. 29140

VICTOR O. MARRERO
FLORIDA P.E. # 78630
DATE

DRAWING
20-001
SHEET
5

PREPARED FOR:
GANSKOP PROPERTIES LLC



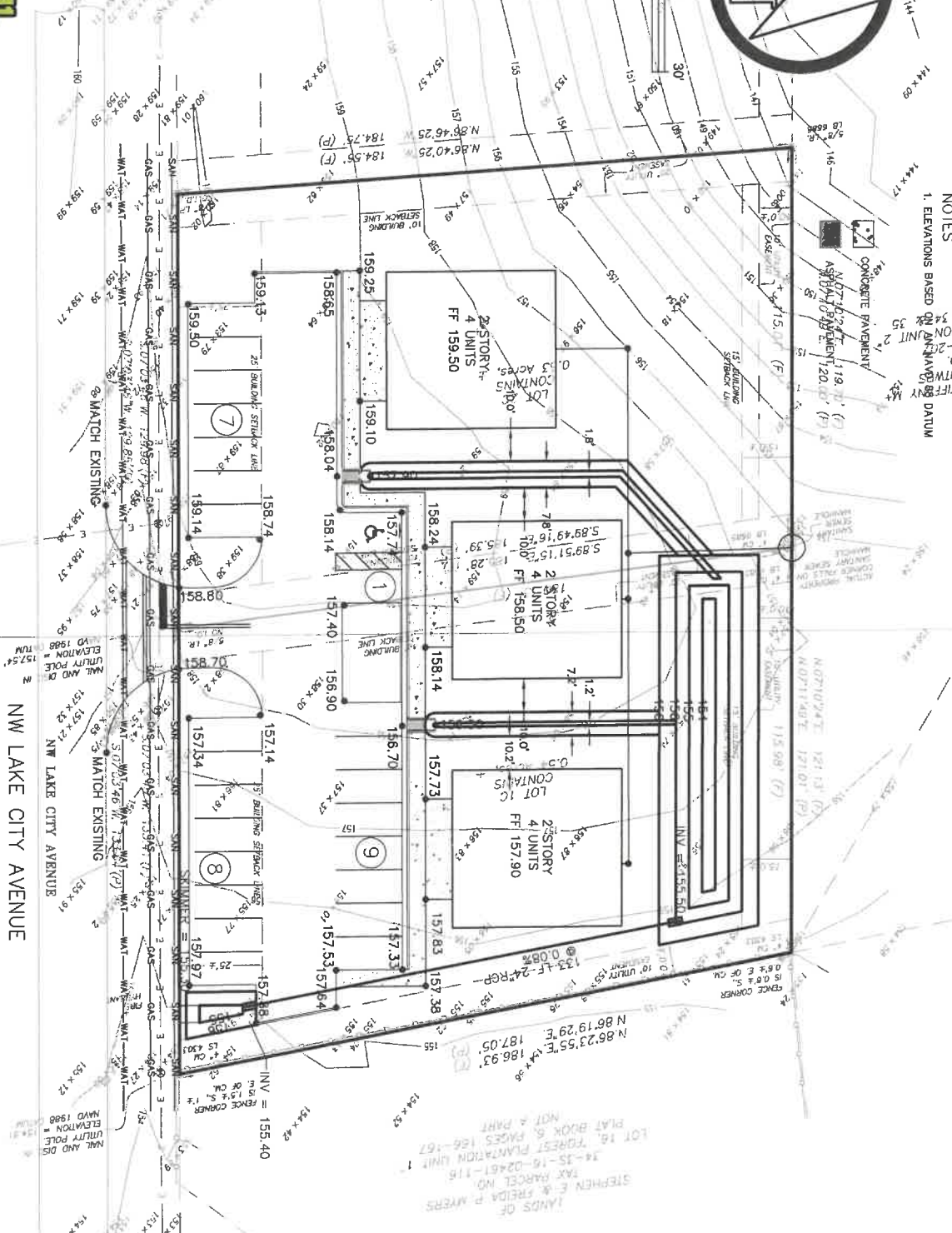
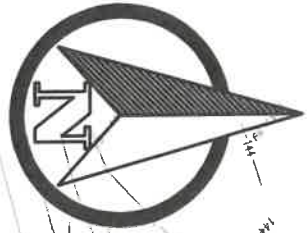
AFFINE ENGINEERING AND SURVEYING, INC
CIVIL ENGINEERS SURVEYORS

BY	DATE	REVISIONS

DRAWN BY: VM
CHECKED BY: NR
DATE: 8/21/20
SCALE: 1"=30'
JOB #: 20001



NW LAKE CITY AVENUE



NOTES

- ELEVATIONS BASED ON ART. 342 TATION 61-20 (MANA) DATUM

AFFINE ENGINEERING AND SURVEYING, INC.
 CERTIFICATE OF AUTHORIZATION No. 29140
 VICTOR O. MARRERO
 FLORIDA P.E. # 76630

DRAWING 20-001 SHEET 3
 PREPARED FOR: GANSKOP PROPERTIES LLC
 AFFINE ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERS SURVEYORS



AFFINE ENGINEERING AND SURVEYING, INC.
 CIVIL ENGINEERS SURVEYORS
 120 NW GREEN LAK, LAKE CITY, FLORIDA 32060
 TELEPHONE NUMBER 407-621-3534
 CERTIFICATE OF AUTHORIZATION NO. 29140

BY	#	DATE	REVISIONS

DRAWN BY: WM
 CHECKED BY: HB
 DATE: 8/21/20
 SCALE: 1"=30'
 JOB #: 20001

January 30, 2023

re: Lake City Avenue Apartments Impact Analysis

The site is currently vacant. The maximum allowed dwelling units is 12 (4 units per building). Three bedroom dwelling units were used for these calculations.

Criteria for analyses:

- Trip generation was calculated per the ITE Trip Generation Manual, 8th edition, ITE code 220
- Potable Water Analysis per Chapter 64E-6.008 Florida Administrative Code, Table 1
- Sanitary Sewer Analysis Chapter 64E-6.008 Florida Administrative Code, Table 1
- Environmental Engineering: Tampa Typical Solid Waste Generation Rates

Summary of analyses:

- Trip generation: 80 ADT & 7 Peak PM trips

Table 1

Trip Generation Analysis						
ITE Code	ITE Use	ADT Multiplier	PM Peak Multiplier	DU	Total ADT	Total PM Peak
220	Apartment	6.65	0.62	12.00	80	7

* FDOT 8th Ed. ITE Trip generation

- Potable Water: 3,600 gallons per day

Table 2

Potable Water Analysis			
Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, Florida Administrative Code and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

- Sanitary Sewer Water: 3,600 gallons per day

Table 3

Job (20001) Ganskop

Sanitary Sewer Analysis

Ch. 64E-6.008, F.A.C. Use	Ch. 64E-6.008, F.A.C. Gallons Per Day (GPD)	Ch. 64E-6.008, F.A.C. Multiplier*	Total (Gallons Per Day)
Apartment	300.00	12.00	3600.00

* Multiplier is based upon Ch. 64E.6008, F.A.C. and can vary from square footage, number of employees, number of seats, or etc. See Ch. 64E-6.008, F.A.C. to determine multiplier.

- Solid Waste: 28.3 tons per year

Table 4

Solid Waste Analysis

Use	Tons Per Dwelling Unit**	bedrooms	Total (Tons Per Year)
Apartment	4.00	36.00	26.28

**4# per bedroom per day

Please contact me at 386.867.0269 if you have any questions.

Respectfully,

Mark Ganskop

January 30, 2023

re: Lake City Avenue Apartments meets of the Requirements of Article 12 of the Land Development Regulations

The Lake City Avenue Apartments proposed zoning change is consistent with Lake City's requirements of Article 12 of the Land Development Regulations.

- a) Whether the proposed change would be in conformance with the City's comprehensive plan or would have an adverse effect on the City's comprehensive plan.

Analysis: The proposed zoning change is in conformance with the comprehensive plan and will not cause any adverse effects to the plan.

- b) The existing land use pattern.

Analysis: The existing parcel is zoned Residential Office, the proposed zoning change would create a multi-family parcel with direct access to Lake City Avenue. It is immediately adjacent to single family residential and multifamily residential.

- c) Possible creation of an isolated district unrelated to adjacent and nearby districts.

Analysis: The proposed project is consistent with the surrounding residential use parcels.

- d) The population density pattern and possible increase or overtax the load on public facilities such as schools, utilities, streets, etc.

Analysis: The site is located on Lake City Avenue which is a connector road. Additional students may be present in the district as a result of the development, however, no major impacts to any public facilities or schools is expected.

- e) Whether existing district boundaries are illogically drawn in relation to existing conditions on the property proposed for change.

Analysis: Existing district boundaries are logically drawn in relation to existing conditions and the proposed zoning change.

- f) Whether changed or changing conditions make the passage of the proposed amendment necessary.

Analysis: Changing conditions make the passage of the amendment necessary.

- g) Whether the proposed change will adversely influence living conditions in the neighborhood.

Analysis: The proposed change will not adversely affect living condition in the neighborhood.

- h) Whether the proposed change will create or excessively increase traffic congestion or

otherwise affect public safety.

Analysis: The increase in traffic will be negligible.

- i) Whether the proposed change create a drainage problem.

Analysis: No drainage problems will be created with the zoning change.

- j) Whether the proposed change will seriously reduce light and air to the adjacent areas.

Analysis: The site development will not reduction of light or air to adjacent areas.

- k) Whether the proposed change will adversely affect the property values in the adjacent area.

Analysis: The zoning change will not adversely affect property values in the area.

- l) Whether the proposed change will be a deterrent to the improvements or development of adjacent property in accordance with existing regulations.

Analysis: The proposed change will not be a deterrent to improvements or development of adjacent properties as the area.

- m) Whether the proposed change will constitute a grant of special privilege to an individual owner as contrasted with public welfare.

Analysis: The proposed change will not grant special privileges to the owner.

- n) Whether there are substantial reasons why the property cannot be used in accord with existing zoning.

Analysis: The owner wants to construct multi-family housing which is not compatible with the current zoning, however properties directly across the street are multi-family residential.

- o) Whether the proposed change suggested is out of scale with the needs of the neighborhood or the County.

Analysis: The proposed project is not out of scale with the needs of the neighborhood or the County of more multi-family properties.

- p) Whether it is impossible to find other adequate sites in the City for the proposed use in districts already permitting such use. When pertaining to other proposed amendments of these land development regulations the Planning and Zoning Board shall consider and study:

- i. The need and justification for the change.
- ii. The relationship of the proposed amendment to the purposes and objectives of the comprehensive planning program and to the City's comprehensive plan, with appropriate consideration as to whether the proposed change will further the purposes of these land development regulations and other ordinances, regulations, and actions designed to implement the City's comprehensive plan.

Analysis: The property change will be consistent with surrounding properties and aligns with the objectives and purposes of the City's comprehensive plan .

Please contact me at 386.867.0269 if you have any questions.

Respectfully,

Mark Ganskop

Printed copies of this document are not considered signed and sealed and the signature must be verified on any electronic copies.
CC Job #FL22399

LEGAL DESCRIPTION

LOT 1C AND 2C, FOREST PLANTATION COMMERCIAL SUBDIVISION, ACCORDING TO THE MAP OR PLAT THEREOF AS RECORDED IN PLAT BOOK 7, PAGE 50, PUBLIC RECORDS OF COLUMBIA COUNTY, FLORIDA.

Prepared by and return to:

Brent E. Baris P.A.
Brent E. Baris, Esq.
P.O. Box 223
High Springs, FL 32655
(386) 454-0688
File Number: 19-018

[Space Above This Line For Recording Data]

Quit Claim Deed

This Quit Claim Deed made this 5th day of December, 2022 between **Ganskop Properties LLC, a Florida Limited Liability Company**, whose post office address is 175 NW Amenity Ct. Lake City, FL 32055, grantor, and **The Pines at Forest Meadows, LLC, a Florida Limited Liability Company**, whose post office address is 175 NW Amenity Ct. Lake City, FL 32055, grantee:

(Whenever used herein the terms "grantor" and "grantee" include all the parties to this instrument and the heirs, legal representatives, and assigns of individuals, and the successors and assigns of corporations, trusts and trustees)

Witnesseth, that said grantor, for and in consideration of the sum TEN AND NO/100 DOLLARS (\$10.00) and other good and valuable consideration to said grantor in hand paid by said grantee, the receipt whereof is hereby acknowledged, does hereby remise, release, and quitclaim to the said grantee, and grantee's heirs and assigns forever, all the right, title, interest, claim and demand which grantor has in and to the following described land, situate, lying and being in Columbia County, Florida, to-wit:

Lots 1C and 2C, Forest Plantation Commercial Subdivision, according to the map or plat thereof as recorded in Plat Book 7, Page 50, Public Records of Columbia County, Florida

Subject to zoning, restrictions, prohibitions and requirements imposed by governmental authority; restrictions and matters appearing on the plat or common to the subdivision; public utility easements of record; and taxes for the year 2022 and subsequent years.

This Instrument was prepared by Brent E. Baris, Esq. of Brent E. Baris, P.A. Title to the land described herein has not been examined by Brent E. Baris and no warranty or other representation is made and no opinion (either expressed or implied) is given as to the marketability or condition of the title to the subject property, the quantity of lands included therein, the location of the boundaries thereof, or the existence of liens, unpaid taxes or encumbrances. Grantee by the acceptance and recordation of this document releases the preparer hereof of any liability regarding the above stated matters.

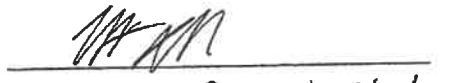
To Have and to Hold, the same together with all and singular the appurtenances thereto belonging or in anywise appertaining, and all the estate, right, title, interest, lien, equity and claim whatsoever of grantors, either in law or equity, for the use, benefit and profit of the said grantee forever.

In Witness Whereof, grantor has hereunto set grantor's hand and seal the day and year first above written.

Signed, sealed and delivered in our presence as to both capacities:


Witness Name: Dillan Waters


Mark A. Ganskop, Manager



Witness Name: Robert Shaheen

State of Florida

County of Columbia

The foregoing instrument was acknowledged before me by means of physical presence or online notarization, this 5th day of December, 2022 by Mark A. Ganskop, Manager of Ganskop Properties LLC. Mark A. Ganskop is personally known or has produced a driver's license as identification.

[Notary Seal]


Notary Public
Printed Name: Robert Shaheen
My Commission Expires: _____



ROBERT SHAHEEN
Notary Public
State of Florida
Comm# HH319149
Expires 10/5/2026



Kyle Keen, Tax Collector
Proudly Serving The People of Columbia County

Site Pro
 aument

Search by Owner Name...

print Page 1 of 1

Click on a record below to view more details.

Searches

- Account Number
- GEO Number
- Owner Name**
- » Printable List
- Property Address
- Mailing Address

Search Results

R02461-601 - GANSKOP PROPERTIES LLC

Register for eBill

<i>Address:</i>	<i>Assessed</i>	<i>Paid:</i>	<i>Legal:</i>
GANSKOP PROPERTIES LLC	Year: 2022	Y	34-3S-16
736 SW ARBOR LN			1000/1000.54 Acres
LAKE CITY FL 32024			LOT 1C FOREST
			PLANTATION
			COMMERCIAL S/D. WD
			1231-151, DC 1356-
			1857, WD 1404-899,

GEO Number: 343S16-02461-601

Site Functions

- Tax Search**
- Local Business Tax
- Contact Us
- County Login
- Home

R02461-602 - GANSKOP PROPERTIES LLC

Register for eBill

<i>Address:</i>	<i>Assessed</i>	<i>Paid:</i>	<i>Legal:</i>
GANSKOP PROPERTIES LLC	Year: 2022	Y	34-3S-16
736 SW ARBOR LN			1000/1000.53 Acres
LAKE CITY FL 32024			LOT 2C FOREST
			PLANTATION
			COMMERCIAL S/D. WD
			1231-151, DC 1356-
			1857, WD 1404-899,

GEO Number: 343S16-02461-602

*Search performed on 1/30/2023 4:00:38 PM EST
 with Owner Name = GANSKOP PROPERTIES
 and Search Type = STARTSWITH
 and Show list using = DETAIL*

<< First 1 Last >>

File Attachments for Item:

iv. SPR23-08, Petition submitted by Anthony George, JR (agent) for Don Shaw (owner), for a Site Plan Review for Refuge Church of Our Lord Jesus Christ, in the Residential Single Family 3 (RSF-3) Zoning District, and located on Parcel 11428-001, which is regulated by the Land Development Regulations section 4.5.



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee: **\$200.00**
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: REFUGE CHURCH OF OUR LORD JESUS CHRIST
2. Address of Subject Property: 729 NW WILSON ATREET
3. Parcel ID Number(s): R11428-1
4. Future Land Use Map Designation: _____
5. Zoning Designation: _____
6. Acreage: 1.55
7. Existing Use of Property: VACANT
8. Proposed use of Property: RELIGIOUS
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage _____
 - New construction: Total square footage 4000 SQ FT
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): ANTHONY GEORGE, JR Title: QUALIFYING AGENT
 Company name (if applicable): GEORGE CONSTRUCTION LLC
 Mailing Address: 395 NE FRONIE STREET
 City: LAKE CITY State: FLORIDA Zip: 32055
 Telephone: (404) 212-5050 Fax: (404) 212-5050 Email: HGDATLANTA@YAHOO.COM

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 Property Owner Name (title holder): DON SHAW
 Mailing Address: 729 NW WILSON STREET
 City: LAKE CIY State: FLORIDA Zip: 32055
 Telephone: (386) 623-2643 Fax: (386) 755-8550 Email: dshaw266@gmail.com

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

- 1. Is there any additional contract for the sale of, or options to purchase, the subject property?
If yes, list the names of all parties involved: NO
If yes, is the contract/option contingent or absolute: Contingent Absolute
- 2. Has a previous application been made on all or part of the subject property? Yes No
Future Land Use Map Amendment: Yes _____ No _____
Future Land Use Map Amendment Application No. NO
Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes _____ No _____
Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. NO
Variance: Yes _____ No _____
Variance Application No. NONE
Special Exception: Yes _____ No _____
Special Exception Application No. SEE ATTACHED

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

- 1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
- 2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

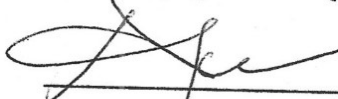
A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES. OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

ANTHONY GEORGE, JR

Applicant/Agent Name (Type or Print)



Applicant/Agent Signature

3/1/2023
Date

Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

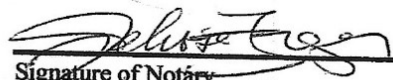
Date

STATE OF ~~FLORIDA~~ Georgia
COUNTY OF ~~Dekalb~~

The foregoing instrument was acknowledged before me this 1st day of March 2023, by (name of person acknowledging).

(NOTARY SEAL or STAMP)





Signature of Notary
Jelissa Frazer

Printed Name of Notary

Personally Known _____ OR Produced Identification
Type of Identification Produced

City of Lake City - Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

PROJECT DESCRIPTION
50' X 100' PRE-ENGINEERED BUILDING

PROJECT OWNERS
REFUGEE CHURCH OF
OUR LORD JESUS CHRIST
729 N.W. WILSON STREET
LAKE CITY, FLORIDA, 32055
24 HR. CONTACT:
DON SHAW-386-623-2963

BUILDING DESCRIPTION

- A. OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-3
- B. TYPE OF CONSTRUCTION: NON SPRINKLED
- C. BUILDING AREA (Sq. Ft. NEW 5,000 EXIST N/A TOTAL 5,000)
- D. NUMBER OF STORES - 1
- E. BUILDING HEIGHT - 14'-2"
- F. TOTAL OCCUPANTS - 201

BUILDING CODES & EDITIONS

- 2020 FLORIDA BUILDING CODE, BUILDING, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, RESIDENTIAL, 7TH EDITION
- 2020 FLORIDA TEST PROTOCOLS FOR HIGH VELOCITY WINDS, 7TH EDITION
- 2020 FLORIDA CODE, ACCESSIBILITY, 7TH EDITION
- 2020 FLORIDA CODE, ENERGY CONSERVATION CODE, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, PLUMBING, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, MECHANICAL, 7TH EDITION
- 2020 FLORIDA BUILDING CODE, FUEL GAS, 7TH EDITION
- NFPA 70
- NATIONAL ELECTRIC CODE
- 2012 NFPA 101-LIFE SAFETY CODE

WINDLOAD DATA AND EXPOSURE

BASIC WIND SPEED 120 MPH IMPORTANCE FACTOR: 1.0
EXPOSURE CATEGORY: B
BUILDING RISK CATEGORY: II
HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENT: 1.0 MEAN
ROOF HEIGHT: 14'-2" ROOF CROSS SLOPE: 2:12
EAVE OVERHANG (ANALYZED FOR 2' EAVES AND PORCH AREA)
WALL HEIGHT: 10' SHEAR WALL LOCATIONS: EXTERIOR WALLS ONLY
ALL WALLS 26" IN LENGTH OR GREATER
COMPONENT AND CLADDING PRESSURES: ROOF (ZONE 1-14.9, -41.3)
ZONE 3-14.9, -61.0) WALL (ZONE 4-25.9, -34.7) (UNITS ARE PSF)

**NEW CONSTRUCTION PLANS
REFUGE CHURCH OF OUR
LORD JESUS CHRIST
729 N.W. WILSON STREET
LAKE CITY FL. 32055**



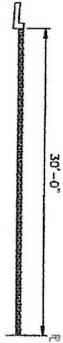
VICINITY MAP

1. VICINITY MAP

INDEX TO DRAWINGS

- A0.0 COVER SHEET
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- A4.0 SECTIONS
- A5.0 REFLECTIVE CEILING/ SCHEDULES PLAN
- LS.1 LIFE SAFETY PLAN
- C.1 SITE SURVEY
- C.2 SITE PLAN
- C.3 EROSION CONTROL PLAN
- C.4 EROSION CONTROL DETAILS
- S1.0 GENERAL NOTES & ABBREVIATIONS
- S2.0 SPECIAL INSPECTIONS
- S3.0 FOUNDATION PLAN
- S4.0 SECTIONS
- E.00 ELECTRICAL LEGENDS & NOTES
- E.01 ONE LINE DIAGRAM & PANELBOARD DIAGRAM
- E.02 ELECTRICAL POWER PLAN
- E.03 ELECTRICAL LIGHTING PLAN
- E.04 ELECTRICAL INSTALLATION DETAIL
- P0.1 PLUMBING ABBREVIATIONS, LEGEND & NOTES
- P1.0 PLUMBING FLOOR PLAN
- P2.0 PLUMBING DETAILS
- P3.0 PLUMBING RISER DIAGRAMS
- M0.1 HVAC ABBREVIATIONS, SYMBOLS & NOTES
- M1.0 HVAC FLOOR PLAN
- M2.0 HVAC SCHEDULES
- M2.0 HVAC DETAILS

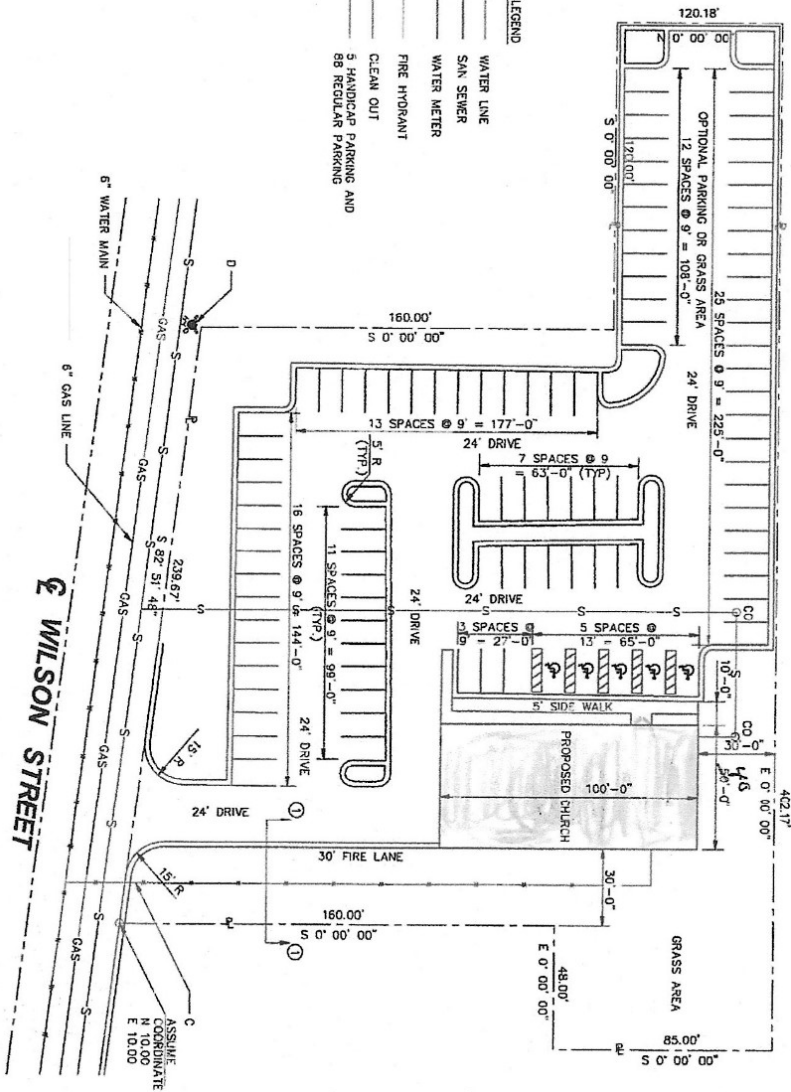
DRAWING NO. A0.0 SHEET 1 OF 28	ANTHONY GEORGE JR PE <small>1116 HILBURN DRIVE LAKE CITY FL 32055 PHONE 904 244 2121 info@agpe.com</small>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>PROJECT NO.</th> <td>A.G.</td> </tr> <tr> <th>DESIGNED BY</th> <td>A.G.</td> </tr> <tr> <th>CHECKED BY</th> <td></td> </tr> <tr> <th>REVIEWED BY</th> <td></td> </tr> <tr> <th>DATE</th> <td>7/27/2021</td> </tr> </table>	PROJECT NO.	A.G.	DESIGNED BY	A.G.	CHECKED BY		REVIEWED BY		DATE	7/27/2021	<table border="1" style="width: 100%; border-collapse: collapse;"> <thead> <tr> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> </thead> <tbody> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </tbody> </table>	DATE	REVISION	BY							COVER SHEET	REFUGEE CHURCH OF OUR LORD JESUS CHRIST 791 WILSON STREET LAKE CITY, FL 32055	
PROJECT NO.	A.G.																								
DESIGNED BY	A.G.																								
CHECKED BY																									
REVIEWED BY																									
DATE	7/27/2021																								
DATE	REVISION	BY																							



SECTION 1-1
SCALE: 1" = 10'-0"



- CONSTRUCTION LEGEND
- A ——— WATER LINE
 - B ——— SAN SEWER
 - C ——— WM ——— WATER METER
 - D ——— FIRE HYDRANT
 - CO ——— CLEAN OUT
 - 5 ——— 5 HANDICAP PARKING
 - 88 ——— 88 REGULAR PARKING



SITE PLAN
SCALE: 1" = 20'-0"

2 SITE PLAN

C2.0 SHEET 9 of 23	ANTHONY GEORGE, JR. PE CONSULTING ENGINEER 1000 N. WILSON STREET LAKE CITY, FL 32055 PHONE: (407) 852-1111	PROJECT NO. _____ DATE _____ REVISION _____ BY _____	REFUGEE CHURCH 791 WILSON STREET LAKE CITY, FL 32055
		SITE PLAN	

3. STORMWATER MANAGEMENT

The stormwater management plan addresses storm water runoff by 1) utilizing a gravel parking lot, 2) allowing runoff from the building to flow overland onto the grassed areas. From the gravel and grassed areas, the water will percolate into the ground and not enter the City's storm drainage system. See attached Exhibit A.

4

FIRE DEPARTMENT ACCESS AND WATER SUPPLY PLAN

A separate 24 ft. Fire Department Access Road will be provided along with a separate Fire Line for the Sprinkler System. See attached Exhibit B.

5. Concurrency Impact Analysis

The following analysis addresses the availability of public facilities and capacity of services:

- 1. Sanitary Sewer, Solid Waste, Drainage, and Potable Water Facilities**
 - a. All of the above facilities are available for the Church at the Site by the City of Lake City**
- 2. Recreation and Open Space**
 - b. All of the above facilities are available for the members of the Church by the City**
- 3. Transportation Facilities**
 - c. All of the above facilities are available for the members of the Church by the Suwannee Valley Transportation Authority**
- 4. Public School Facilities**
 - d. All of the above facilities are available for the members of the Church by the Columbia County Board of Education**

6. Comprehensive Plan Consistency Analysis

The City of Lake City Comprehensive Plan addresses 9 areas:

- 1. Future Land Use**
- 2. Transportation**
- 3. Housing**
- 4. Sanitary Sewer, Solid Waste, Potable Water, and Natural Groundwater Aquifer Recharge**
- 5. Conservation**
- 6. Recreation and Open Space**
- 7. Intergovernmental Coordination**
- 8. Capital Improvements**
- 9. Public School Facilities**

The following is an analysis of the consistency with the Plan and how the proposed application complies with the Goals, Objectives, and Policies of the Plan.

- 1. Future Land Use**
 - A review of this portion of the Plan indicates that the proposed Church construction is consistent with the Plan and complies with the Goals, Objectives, and Policies of the plan.
- 2. Transportation**
 - A review of this portion of the Plan indicates that the proposed Church construction is consistent with the Plan and complies with the Goals, Objectives, and Policies of the plan.
- 3. Housing**
 - A review of this portion of the Plan indicates that the proposed Church construction is consistent with the Plan and complies with the Goals, Objectives, and Policies of the plan.
- 4. Sanitary Sewer, Solid Waste, Potable Water, and Natural Groundwater Aquifer Recharge**

7.

Legal Description with Tax Parcel Number (00000011428-001)

- **1.55 Acres NW DIV: BEG SE COR OF BLOCK 77 AS LIES N OF WILSON ST, RUN NW'RLY ALONG N R/W WILSON ST ,168 FOR POB,CONT NW ALONG R/W , 239.67 FT, N 160.65 FT ,W 120 FT,N 64.18 FT ,E 402.15 FT S 85 FT, W APPROX 48 FT,S 160 FT TO POB. 923-1862**



8. PROOF OF OWNERSHIP

Kyle Keen, Tax Collector
Proudly Serving The People of Columbia County

Site Provided by...
 aumentumtech.com 1.13

Tax Record

print [] [] [] [] Property Address
 1 of 1

Last Update: 2/15/2021 12:12:06 AM EST

Details

Tax Record

» Print View

Tax Payment

Print Tax Bill New!

Change of Address

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Searches

Account Number

GEO Number

Owner Name

Property Address

Mailing Address

Site Functions

Tax Search

Local Business Tax

Contact Us

County Login

Home

Account Number	Tax Type	Tax Year			
R11428-001	REAL ESTATE	2020			
Mailing Address		Property Address			
JCSPA LLC		729 WILSON NW LAKE CITY			
P O BOX 621171		GEO Number			
OVIEDO FL 32762		000000-11428-001			
Exempt Amount	Taxable Value				
See Below	See Below				
Exemption Detail	Millage Code	Escrow Code			
NO EXEMPTIONS	001				
Legal Description (click for full description)					
00-00-00 0000/00001.55 Acres NW DIV: BEG SE COR OF BLOCK 77 AS LIES N OF WILSON ST, RUN NW'RLY ALONG N R/W WILSON ST, 168 FT FOR POB, CONT NW ALONG R/W, 239.67 FT, N 160.65 FT, W 120 FT, N 64.18 FT, E 402.15 S APPRX 85 FT, W APPROX 48 FT, S 160 FT TO POB. 923-1862, See Tax Roll For Extra Legal					
Ad Valorem Taxes					
Taxing Authority	Rate	Assessed Value	Exemption Amount	Taxable Value	Taxes Levied
CITY OF LAKE CITY	4.9000	16,879	0	\$16,879	\$82.71
BOARD OF COUNTY COMMISSIONERS	8.0150	16,879	0	\$16,879	\$135.29
COLUMBIA COUNTY SCHOOL BOARD					
DISCRETIONARY	0.7480	16,879	0	\$16,879	\$12.62
LOCAL	3.7810	16,879	0	\$16,879	\$63.82
CAPITAL OUTLAY	1.5000	16,879	0	\$16,879	\$25.32
SUWANNEE RIVER WATER MGT DIST	0.3696	16,879	0	\$16,879	\$6.24
LAKE SHORE HOSPITAL AUTHORITY	0.0001	16,879	0	\$16,879	\$0.00
Total Millage		19.3137	Total Taxes		\$326.00
Non-Ad Valorem Assessments					
Code	Levying Authority	Amount			
XLCF	CITY FIRE ASSESSMENT	\$50.40			
Total Assessments					\$50.40
Taxes & Assessments					\$376.40
If Paid By				Amount Due	
				\$0.00	

9. AGENT AUTHORIZATION

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

ANTHONY GEORGE, JR

Applicant/Agent Name (Type or Print)

[Handwritten Signature]

Applicant/Agent Signature

3/1/2023

Date

Applicant/Agent Name (Type or Print)

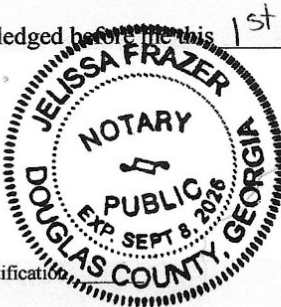
Applicant/Agent Signature

Date

STATE OF ~~FLORIDA~~ Georgia
COUNTY OF ~~Dekalb~~

The foregoing instrument was acknowledged before me this 1st day of March 2023, by (name of person acknowledging).

(NOTARY SEAL or STAMP)



[Handwritten Signature]

Signature of Notary

Jelissa Frazer

Printed Name of Notary

Personally Known _____ OR Produced Identification
Type of Identification Produced

City of Lake City – Growth Management Department
205 North Marion Ave, Lake City, FL 32055 ♦ (386) 719-5750

Columbia County Tax Collector

generated on 3/2/2023 12:48:04 PM EST

Tax Record

10 PROOF OF PAYMENT PG 1

Last Update: 3/2/2023 12:46:46 PM EST

Register for eBill

Ad Valorem Taxes and Non-Ad Valorem Assessments

The information contained herein does not constitute a title search and should not be relied on as such.

Account Number	Tax Type	Tax Year
R11428-001	REAL ESTATE	2022
Mailing Address REFUGE CHURCH & DONATHAN SHAW MINISTRIES 308 SW CALLAWAY DR LAKE CITY FL 32024		Property Address 729 WILSON LAKE CITY GEO Number 000000-11428-001
Exempt Amount	Taxable Value	
See Below	See Below	
Exemption Detail	Millage Code	Escrow Code
NO EXEMPTIONS	001	
Legal Description (click for full description)		
00-00-00 0000/00001.55 Acres NW DIV: BEG SE COR OF BLOCK 77 AS LIES N OF WILSON ST, RUN NW'RLY ALONG N R/W WILSON ST, 168 FT FOR POB, CONT NW ALONG R/W, 239.67 FT, N 160.65 FT, W 120 FT, N 64.18 FT, E 402.15 S APPRX 85 FT, W APPROX 48 FT, S 160 FT TO POB. 923-1862, WD See Tax Roll For Extra Legal		
Ad Valorem Taxes		
Taxing Authority	Rate	Assessed Exemption Value Amount Taxable Value Taxes Levied
CITY OF LAKE CITY	4.9000	16,880 0 \$16,880 \$82.71
BOARD OF COUNTY COMMISSIONERS	7.8150	16,880 0 \$16,880 \$131.92
COLUMBIA COUNTY SCHOOL BOARD DISCRETIONARY	0.7480	16,880 0 \$16,880 \$12.63
LOCAL	3.2990	16,880 0 \$16,880 \$55.69
CAPITAL OUTLAY	1.5000	16,880 0 \$16,880 \$25.32
SUWANNEE RIVER WATER MGT DIST	0.3368	16,880 0 \$16,880 \$5.69
LAKE SHORE HOSPITAL AUTHORITY	0.0001	16,880 0 \$16,880 \$0.00
Total Millage		18.5989 Total Taxes \$313.96
Non-Ad Valorem Assessments		
Code	Levying Authority	Amount
XLCF	CITY FIRE ASSESSMENT	\$50.40
Total Assessments		\$50.40
Taxes & Assessments		\$364.36
If Paid By		Amount Due
		\$0.00

16 Proof of Payment 15.2

Date Paid	Transaction	Receipt	Item	Amount Paid
1/31/2023	PAYMENT	1504223.0001	2022	\$357.07

Prior Years Payment History

Prior Year Taxes Due
NO DELINQUENT TAXES

10 PROOF OF PAYMENT PG 2

PROJECT DESCRIPTION

50' X 100' PRE-ENGINEERED BUILDING

PROJECT OWNERS

REFUGEE CHURCH OF
OUR LORD JESUS CHRIST
729 N.W. WILSON STREET
LAKE CITY, FLORIDA, 32055
24 HR. CONTACT:
DON SHAW: 386-623-2963

BUILDING DESCRIPTION

- A. OCCUPANCY CLASSIFICATION: ASSEMBLY GROUP A-3
- B. TYPE OF CONSTRUCTION: NON SPANDED
- C. BUILDING AREA (Sq. Ft. NEW 5,000 EXIST N/A TOTAL 5,000)
- D. NUMBER OF STOREYS - 1
- E. BUILDING HEIGHT - 14'-2"
- G. TOTAL OCCUPANTS - 201

BUILDING CODES & EDITIONS

- 2020 FLORIDA BUILDING CODE, BUILDING, 7th EDITION
- 2020 FLORIDA BUILDING CODE, RESIDENTIAL, 7th EDITION
- 2020 FLORIDA TEST PROTOCOLS FOR HIGH VELOCITY HURRICANE ZONES, 7th EDITION
- 2020 FLORIDA CODE, ACCESSIBILITY, 7th EDITION
- 2020 FLORIDA CODE, ENERGY CONSERVATION CODE, 7th EDITION
- 2020 FLORIDA BUILDING CODE, PLUMBING, 7th EDITION
- 2020 FLORIDA BUILDING CODE, MECHANICAL, 7th EDITION
- 2020 FLORIDA BUILDING CODE, FUEL GAS, 7th EDITION
- NFPA 70
- NATIONAL ELECTRIC CODE
- 2012 NFPA 101-LIFE SAFETY CODE

WINDLOAD DATA AND EXPOSURE

BASIC WIND SPEED: 120 MPH IMPORTANCE FACTOR: 1.0
EXPOSURE CATEGORY: B
BUILDING RISK CATEGORY: II
HEIGHT AND EXPOSURE ADJUSTMENT COEFFICIENT: 1.0 MEAN
ROOF HEIGHT: 14'-2" ROOF CROSS SLOPE: 2:12
EAVE OVERHANG: (ANALYZED FOR 2' EAVES AND PORCH AREA)
WALL HEIGHT: 10' SHEAR WALL LOCATIONS: EXTERIOR WALLS ONLY
ALL WALLS 26 III LENGTH OR GREATER
COMPONENT AND CLADDING PRESSURE: ROOF (ZONE 1=14.9, -41.3)
ZONE 3=14.9, -61.0) WALL (ZONE 4=25.9, -34.7) (UNITS ARE PSF)

NEW CONSTRUCTION PLANS REFUGE CHURCH OF OUR LORD JESUS CHRIST 729 N.W. WILSON STREET LAKE CITY FL. 32055



VICINITY MAP

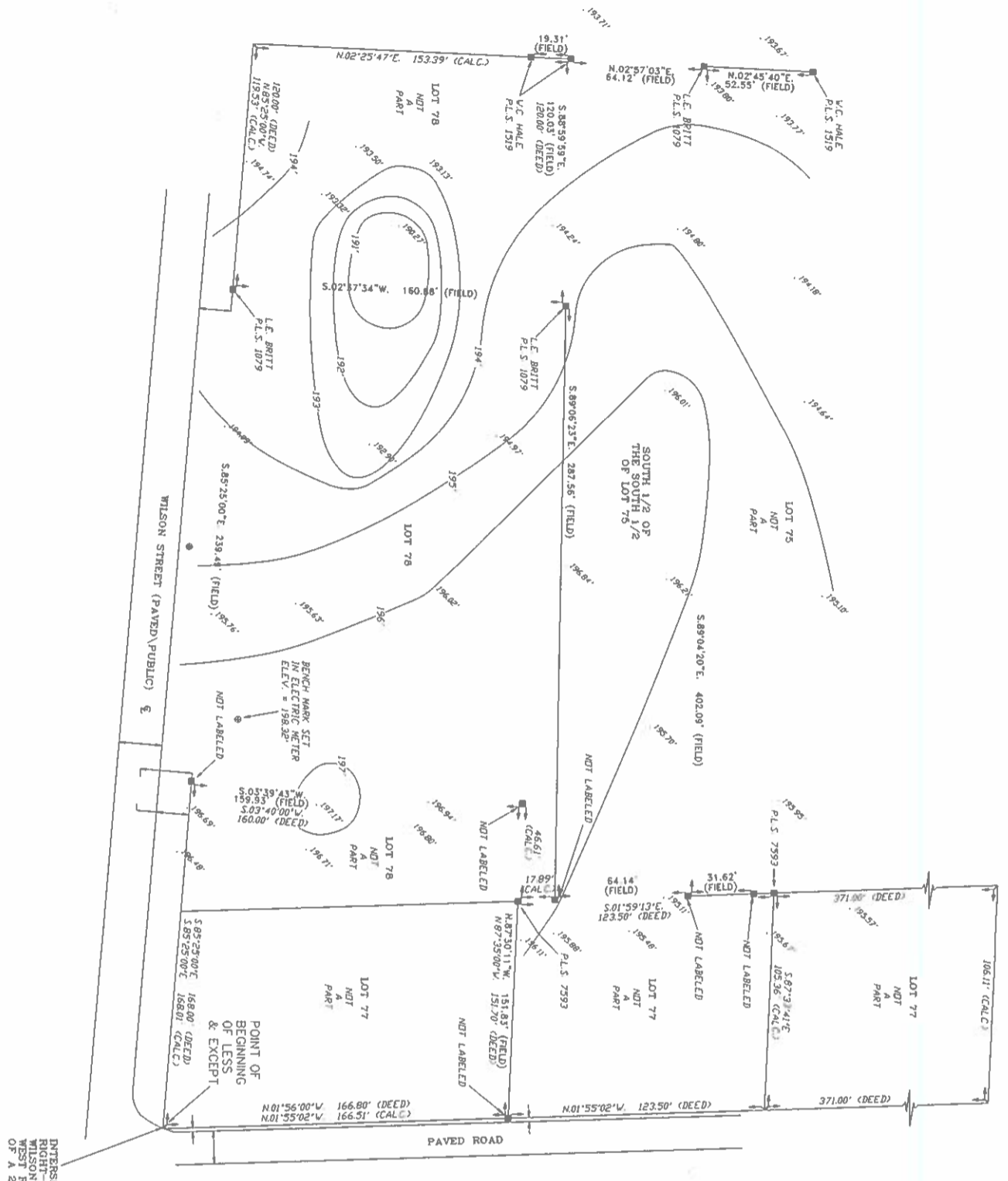
INDEX TO DRAWINGS

- A0.0 COVER SHEET
- A1.0 FLOOR PLAN
- A2.0 ELEVATIONS
- A3.0 SECTIONS
- A4.0 SECTIONS
- A5.0 REFLECTIVE CEILING/ SCHEDULES PLAN
- LS.1 LIFE SAFETY PLAN
- C.1 SITE SURVEY
- C.2 SITE PLAN
- C.3 EROSION CONTROL PLAN
- C.4 EROSION CONTROL DETAILS
- S1.0 GENERAL NOTES & ABBREVIATIONS
- S2.0 SPECIAL INSPECTIONS
- S3.0 FOUNDATION PLAN
- S4.0 SECTIONS
- E.00 ELECTRICAL LEGENDS & NOTES
- E.01 ONE LINE DIAGRAM & PANEL BOARD DIAGRAM
- E.02 ELECTRICAL POWER PLAN
- E.03 ELECTRICAL LIGHTING PLAN
- E.04 ELECTRICAL INSTALLATION DETAIL
- P0.1 PLUMBING ABBREVIATIONS, LEGEND & NOTES
- P1.0 PLUMBING FLOOR PLAN
- P2.0 PLUMBING DETAILS
- P3.0 PLUMBING RISER DIAGRAMS
- M0.1 HVAC ABBREVIATIONS, SYMBOLS & NOTES
- M1.0 HVAC FLOOR PLAN
- M2.0 HVAC SCHEDULES
- M2.0 HVAC DETAILS



	<p>ANTHONY GEORGE JR PE 11366 MILBURN BLVD LAKE CITY, FL 32055 PHONE (850) 253-5058 FAX (850) 772-7071 www.angpe.com</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>PROJECT NO.</th> <th>DATE</th> <th>REVISION</th> <th>BY</th> </tr> <tr> <td>A 0</td> <td></td> <td></td> <td></td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	PROJECT NO.	DATE	REVISION	BY	A 0																<p style="font-size: 24px; font-weight: bold;">A0.0</p> <p style="font-size: 12px;">DRAWING NO.</p> <p style="font-size: 10px;">SHEET 1 of 26</p>
PROJECT NO.	DATE	REVISION	BY																				
A 0																							
COVER SHEET		<p>REFUGEE CHURCH OF OUR LORD JESUS CHRIST 791 WILSON STREET LAKE CITY, FL 32055</p>																					

A BOUNDARY SURVEY IN SECTION 30, TOWNSHIP 3 SOUTH,
RANGE 17 EAST, COLUMBIA COUNTY, FLORIDA

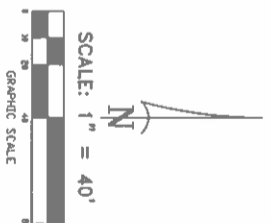


CERTIFIED TO
REFUGIO CANOAL OF OUR LORD
PASTOR DONALD M. SHAW

SURVEYOR'S CERTIFICATION

I HEREBY CERTIFY THAT THIS SURVEY WAS MADE UNDER MY RESPONSIBLE CHARGE AND MEETS THE MINIMUM TECHNICAL STANDARDS AS SET FORTH BY THE FLORIDA BOARD OF PROFESSIONAL SURVEYORS AND MAPPERS IN CHAPTER 51-17, FLORIDA ADMINISTRATIVE CODE, PURSUANT TO SECTION 422.027, FLORIDA STATUTES

FIELD BOOK, 737 PAGE(S), 11



SYMBOL LEGEND:

□	4" x 4" CONCRETE MONUMENT FOUND
○	4" x 4" CONCRETE MONUMENT SET
⊙	8" x 8" CONCRETE MONUMENT SET
⊕	7" x 7" CUT IRON MONUMENT
⊖	CALCULATED PROPERTY CORNER
⊗	WATER METER
⊕	WATER METER
⊖	UTILITY BOX
⊙	UTILITY METER
—	SECTION LINE
—	ELECTRIC LINE
—	ROAD RIGHT-OF-WAY
—	WATER RIGHT-OF-WAY
—	AS FOR A PLAT OF RECORD
—	CALCULATED AS FOR CALCULATIONS
—	AS FOR FIELD MEASUREMENTS
—	P.R.M. PERMANENT INTERIOR MARKER
—	P.C.P. PERMANENT CORNER MARKER

DESCRIPTION:
ALL OF LOT 78 LYING NORTH OF WILSON STREET, LESS AND EXCEPT THE WEST PORTION OF SAID LOT 78, TO-WIT: A PORTION OF SAID LOT 78, TO-WIT: THE PORTION OF SAID LOT 78 LYING IN AND BEING A PART OF THE NORTHWESTERN DIVISION OF THE CITY OF LAKE CITY, COLUMBIA COUNTY, FLORIDA, ALSO LESS AND EXCEPT THE NORTH 232.50 FEET OF THE SOUTH 280.00 FEET OF LOT 77 IN THE NORTHWESTERN DIVISION OF THE CITY OF LAKE CITY, COLUMBIA COUNTY, FLORIDA, ALSO LESS AND EXCEPT A PART OF BLOCKS 77 AND 78 OF THE NORTHWESTERN DIVISION OF THE CITY OF LAKE CITY, MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE NORTH RIGHT-OF-WAY LINE OF WILSON STREET; SO FOOT ROAD RIGHT-OF-WAY INTERSECTS THE EAST SIDE OF SAID ROAD AT A POINT OF BEGINNING, THENCE NORTH 56°00'00"W, ALONG SAID ROAD RIGHT-OF-WAY LINE 166.80 FEET, THENCE NORTH 56°00'00"W, ALONG SAID ROAD RIGHT-OF-WAY LINE 166.51 FEET, THENCE NORTH 56°00'00"W, ALONG SAID ROAD RIGHT-OF-WAY LINE 166.80 FEET TO THE POINT OF BEGINNING.

- SURVEYOR'S NOTES:
1. BASED ON INFORMATION FOUND ON A PREVIOUS SURVEY COMPLETED BY THIS OFFICE ON 11/02/2001
 2. RECORDS ARE BASED ON DEED OF RECORD AS HANDED THIS OFFICE IN 2001
 3. IT IS APPARENT THAT THIS PARCEL IS IN ZONE "X" AND IS DETERMINED TO BE DUTSIDE THE 500 YEAR FLOOD PLAIN AS PER FLOOD RATE MAP DATED 2 NOVEMBER, 2008 FROM THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO ELABORATE (2023-2024) HOWEVER, THE FLOOD INSURANCE RATE MAPS ARE SUBJECT TO IMPROVEMENTS, IF ANY, INDICATED ON THIS SURVEY DRAWING ARE AS LOCATED ON THE SURVEY AS SHOWN HEREON.
 4. DATE OF FIELD SURVEY AS SHOWN HEREON.
 5. IF THEY EXIST, ALL UNDERGROUND ENCROACHMENTS AND/OR UTILITIES WERE LOCATED FOR THIS SURVEY EXCEPT AS SHOWN HEREON.
 6. THIS SURVEY WAS COMPLETED WITHIN THE BENEFIT OF A TITLE COMMITMENT OR A TITLE POLICY.
 7. DIMENSIONS SHOWN HEREON ARE IN FEET AND DECIMAL PARTS THEREOF.
 8. THIS SURVEY DOES NOT REFLECT OR DETERMINE OWNERSHIP.
 9. THE ADJACENT OWNERSHIP INFORMATION AS SHOWN HEREON IS BASED ON THE COUNTY PROPERTY APPRAISERS GIS SYSTEM, UNLESS OTHERWISE DENOTED.



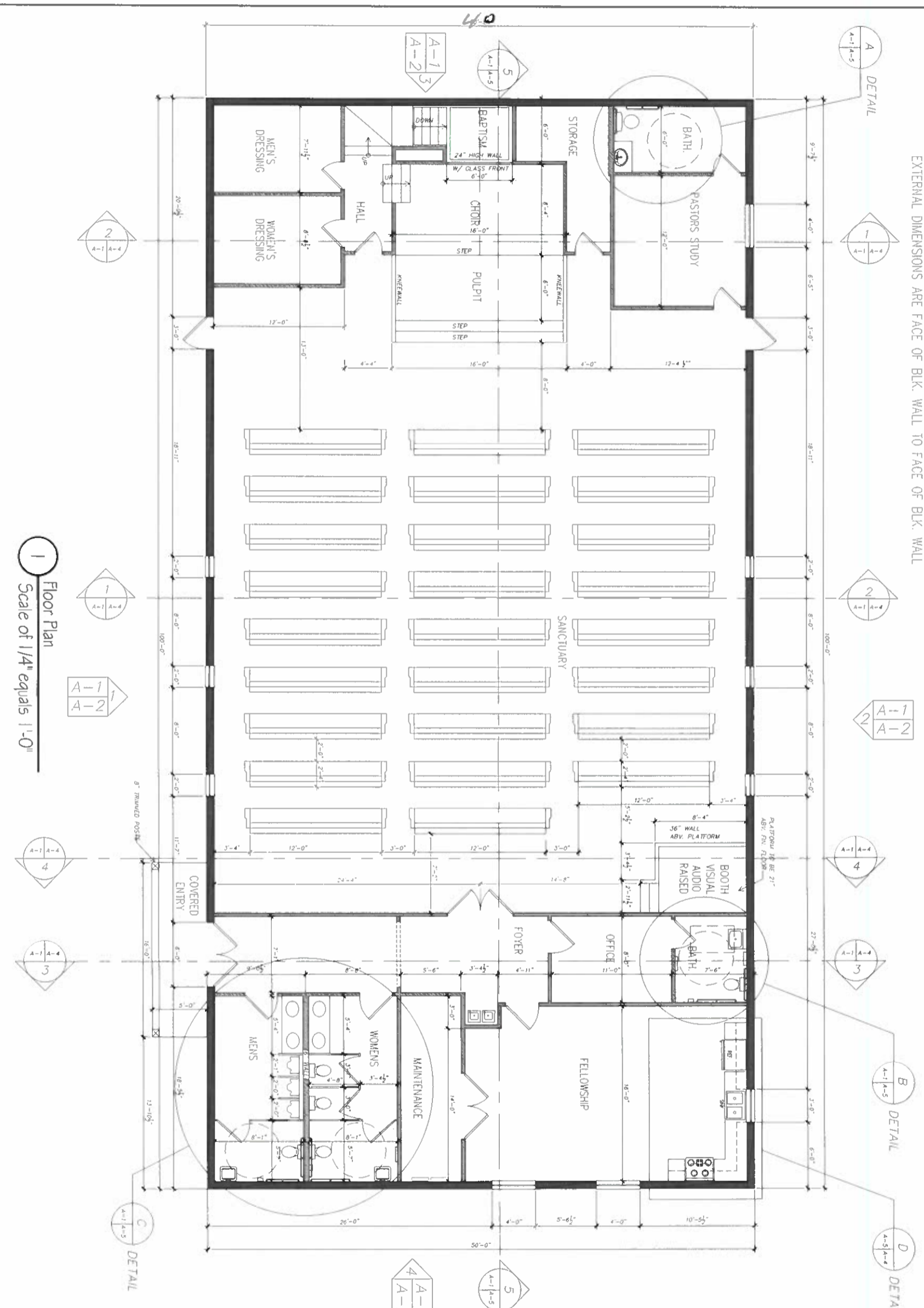
BRIT SURVEYING
& MAPPING, LLC

LAND SURVEYORS AND MAPPERS, L.B. # 8016
1438 SW MAIN BLVD,
LAKE CITY, FLORIDA, 32025
WORK ORDER # L-27282

www.britsurvey.com
TELEPHONE: (386) 752-5573

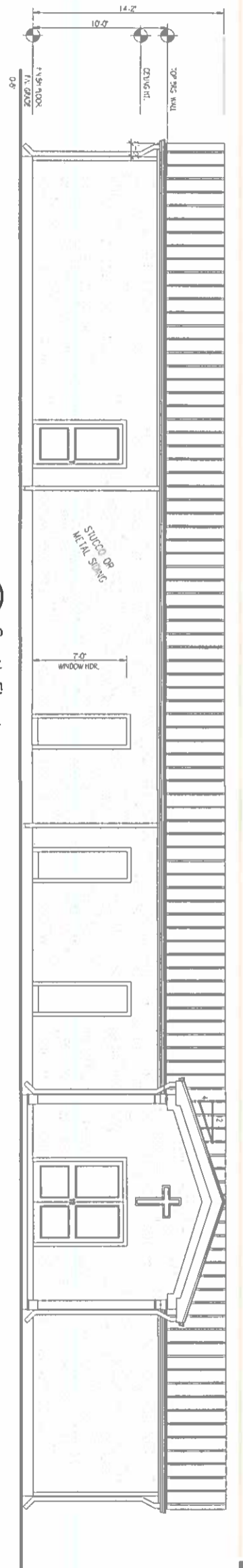
C10
8 of 26

NOTE: ALL INTERNAL WALLS ARE 4-1/2"
EXTERNAL DIMENSIONS ARE FACE OF BLK. WALL TO FACE OF BLK. WALL

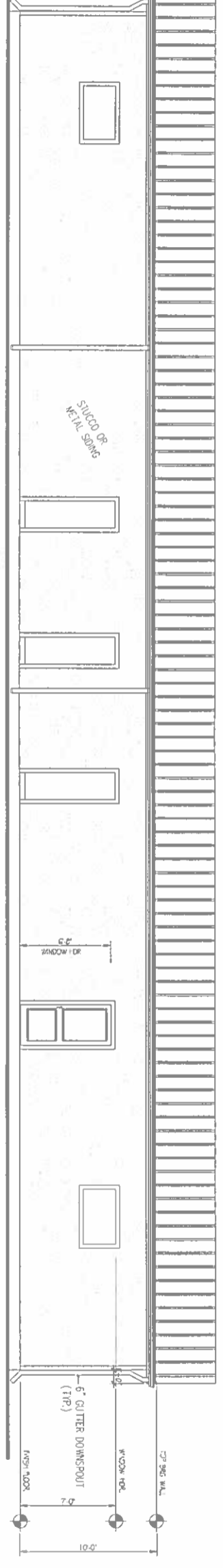


1 Floor Plan
Scale of 1/4" equals 1'-0"

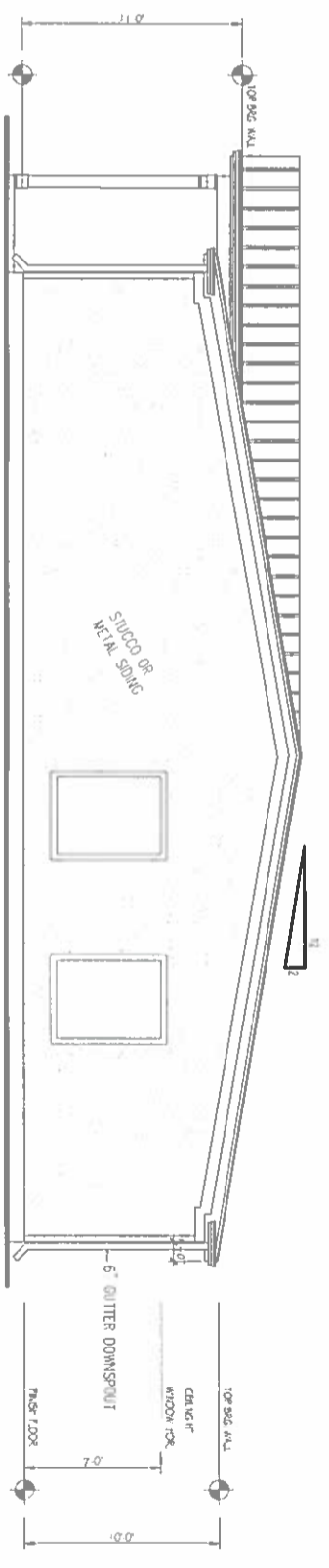
<p>A1.0</p> <p>DRIVING MTL.</p> <p>ANTHONY GEORGE JR PE</p> <p>1130 WILSON BLVD LAKE CITY, FL 32055 PHONE: (800) 212-5050 FAX: (800) 212-5051 http://www.ahg.com</p>	<p>PROJECT NO.</p>	<p>DATE</p>	<p>REVISION</p>	<p>BY</p>	<p>FLOOR PLAN</p>	<p>REFUGE CHURCH OF OUR LORD JESUS CHRIST</p> <p>791 WILSON STREET LAKE CITY, FL 32055</p>	
	<p>DESIGNED BY</p>	<p>DATE</p>	<p>REVISION</p>	<p>BY</p>			
	<p>DRAWN BY</p>	<p>DATE</p>	<p>REVISION</p>	<p>BY</p>			
	<p>CHECKED BY</p>	<p>DATE</p>	<p>REVISION</p>	<p>BY</p>			
	<p>REVIEWED BY</p>	<p>DATE</p>	<p>REVISION</p>	<p>BY</p>			



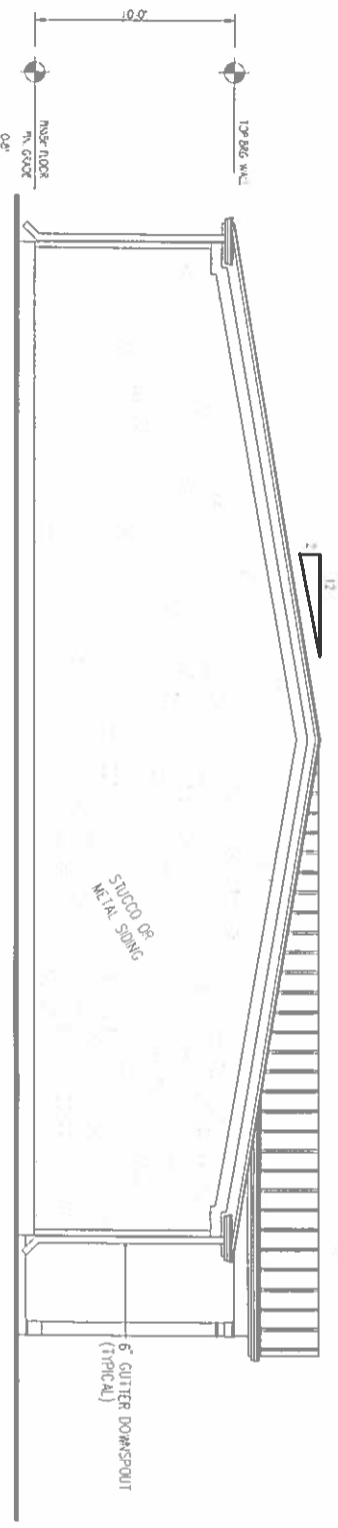
1 South Elevation
Scale of 1/4" equals 1'-0"



2 North Elevation
Scale of 1/4" equals 1'-0"



4 East Elevation
Scale of 1/4" equals 1'-0"



4 West Elevation
Scale of 1/4" equals 1'-0"



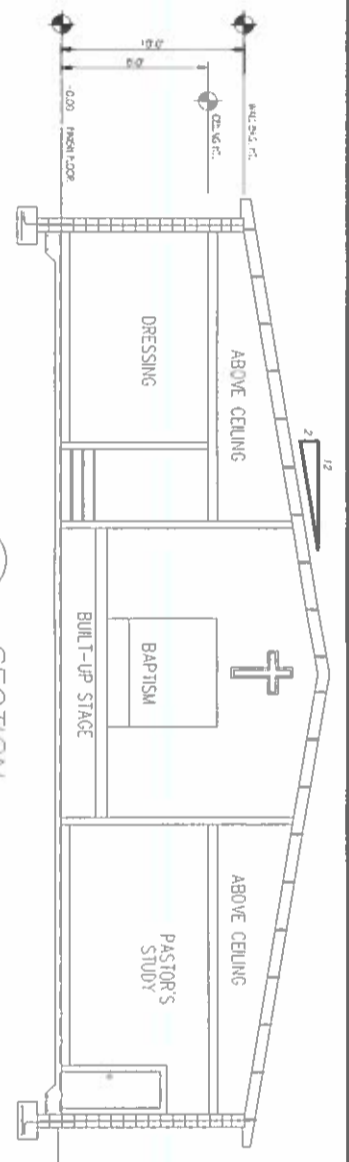
REFUGE CHURCH OF OUR LORD JESUS CHRIST
791 WILSON STREET
LAKE CITY, FL 32055

ELEVATIONS

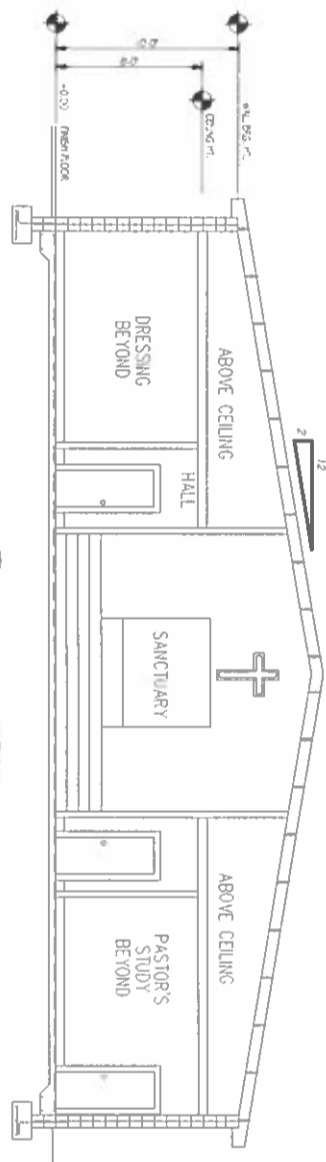
PROJECT NO.	DATE	REVISION	BY
2021-001	3/3/2021		HTS

ANTHONY GEORGE JR PE
1131 MILBURN BLVD
LAKE CITY, FL 32055
PHONE (404) 212-5550 FAX (404) 212-5551
http://agjpe.com

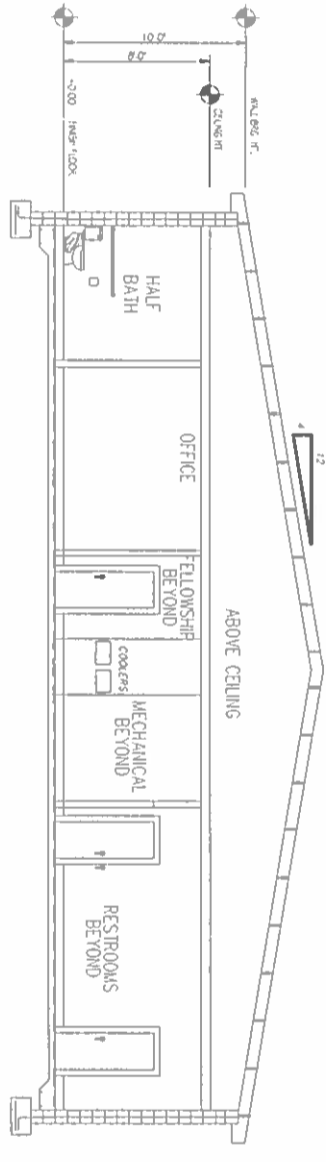
DRAWING NO. **A2.0**
SHEET 3 OF 26



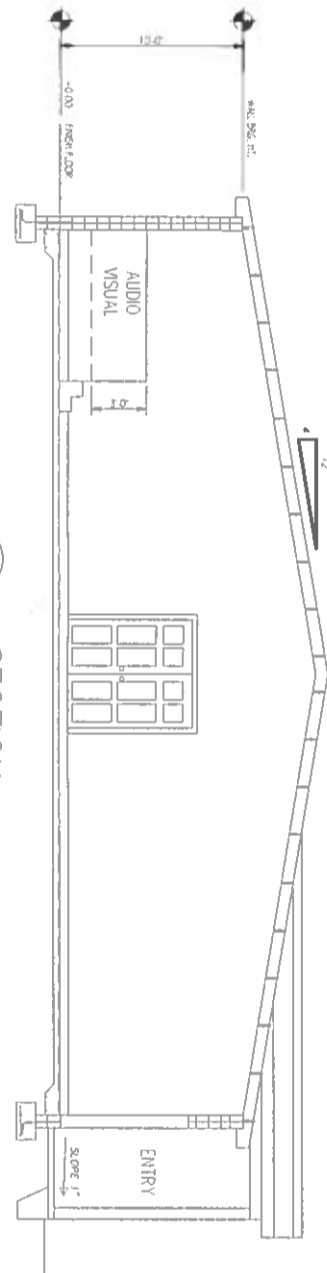
1 SECTION
SCALE 1/4" = 1'-0"



2 SECTION
SCALE 1/4" = 1'-0"



3 SECTION
SCALE 1/4" = 1'-0"



4 SECTION
SCALE 1/4" = 1'-0"



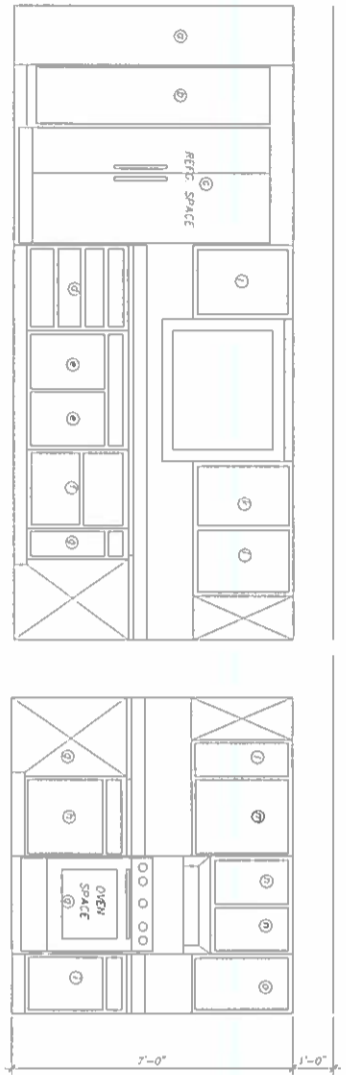
REFUGE CHURCH OF OUR LORD JESUS CHRIST
791 WILSON STREET
LAKE CITY, FL 32055

CROSS SECTIONS

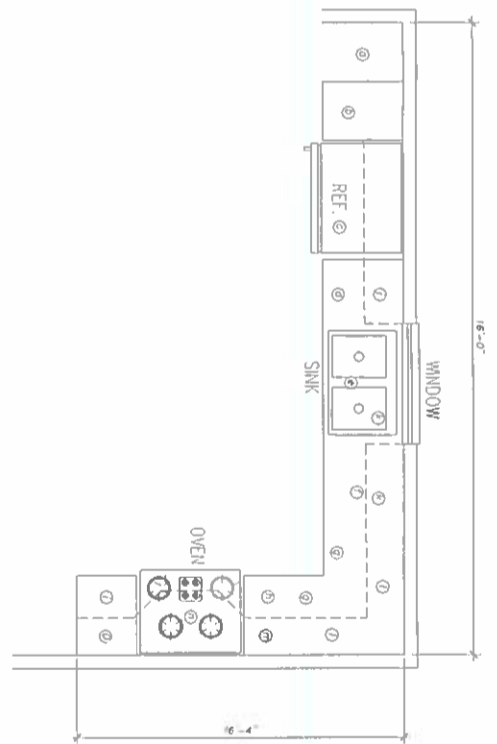
PROJECT NO.	DATE	REVISION	BY
DESIGNED BY: A.G.			
DRAWN BY:			
CHECKED BY:			
REVIEWED BY:			
DATE: 3/25/2024			
SCALE:			

ANTHONY GEORGE JR. PE
1130 HILLCREST DRIVE
LAKE CITY, FL 32051
PHONE: (850) 717-9550 FAX: (850) 717-9551
agj@agjpe.com

A3.0
SHEET 4 OF 26

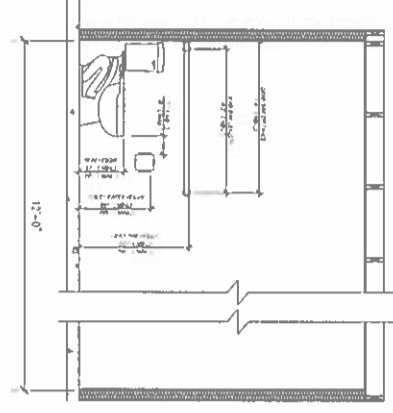


D SECTIONS
SCALE 1/2" = 1'-0"

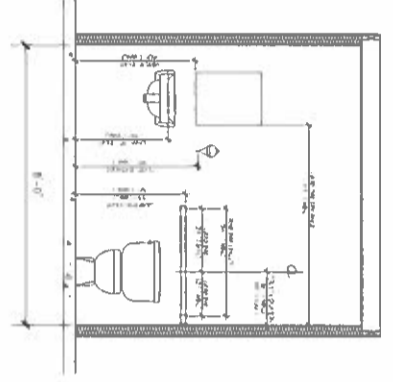


D PLAN
SCALE 1/2" = 1'-0"

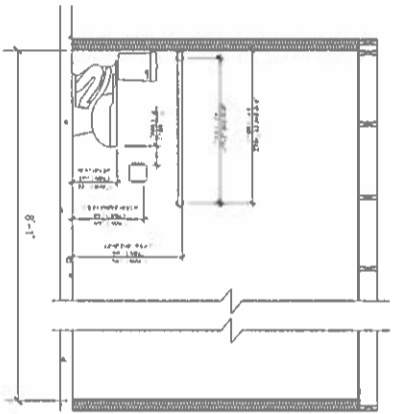
MARK	DESCRIPTION
a	18" Empty Space
b	18" Brown Closet
c	36" Ref. Space
d	18" 4 Drawer Base
e	36" Sink Base
f	24" 2 Drawer Base
g	Lozy Sison or 36" Corner
h	24" Base
g	30" Electric Range
h	24" Base
i	18" Base
j	24" Wall
k	36" Window
l	24" Corner Wall
m	24" Wall
n	30" Hood Vent
o	18" Wall



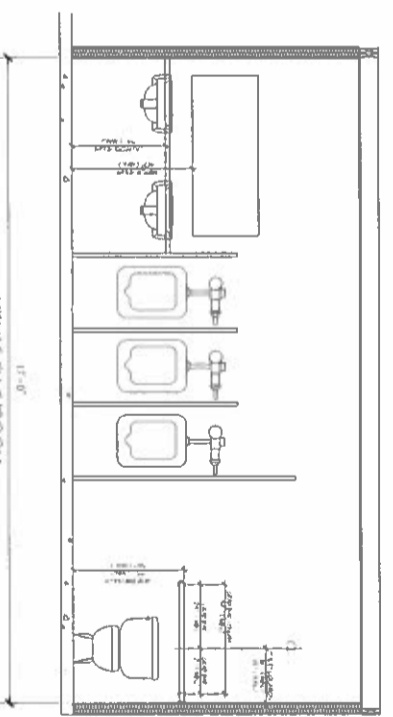
BATHROOM SECTION
SCALE 1/2"



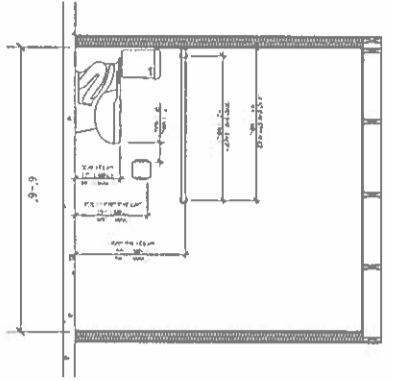
SECTION



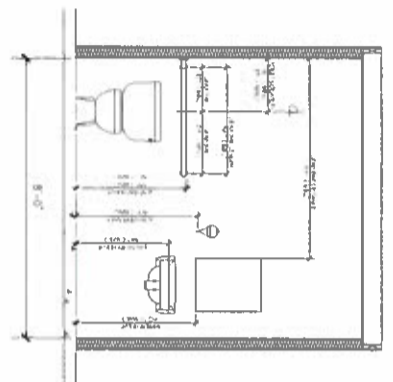
BATHROOM SECTION
SCALE 1/2"



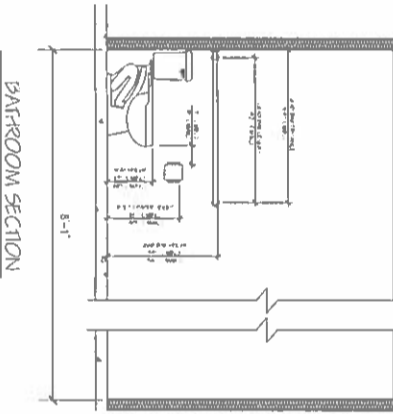
MEN'S BATHROOM SECTION
SCALE 1/2"



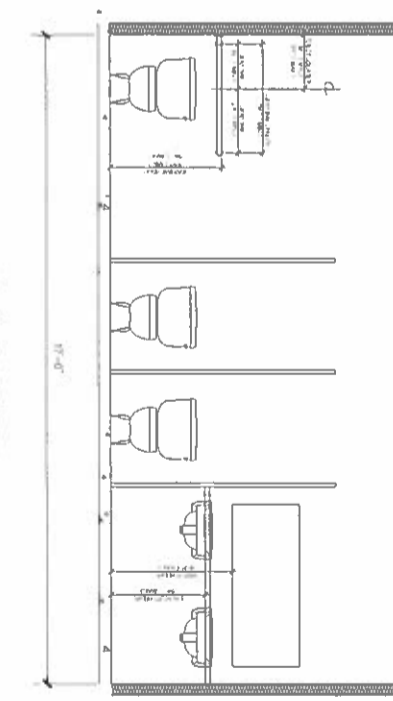
BATHROOM SECTION
SCALE 1/2"



SECTION



BATHROOM SECTION
SCALE 1/2"



WOMEN'S BATHROOM SECTION
SCALE 1/2"



REFUGE CHURCH OF OUR LORD JESUS CHRIST
791 WILSON STREET
LAKE CITY, FL 32055

BUILDING SECTION
ADA BATHROOM SECTIONS

PROJECT NO.	DATE	REVISION	BY
1136	3/7/2011		

ANTHONY GEORGE JR PE
1136 HILBURN BLVD
ORLANDO, FL 32816
PHONE: (407) 212-5550 FAX: (407) 212-5551
http://ajgpyll.com

A4.0
SHEET 5 OF 26

CEILING FINISH LEGEND

2'x4' CEILING TILE	CT	
--------------------	----	--

FLOOR FINISH LEGEND

FLOOR FINISH LEGEND	C	
CARPET	C	
VINYL LINOLEUM	VL	
SEALED CONCRETE WITH POLISH	SC	

FINISH SCHEDULE

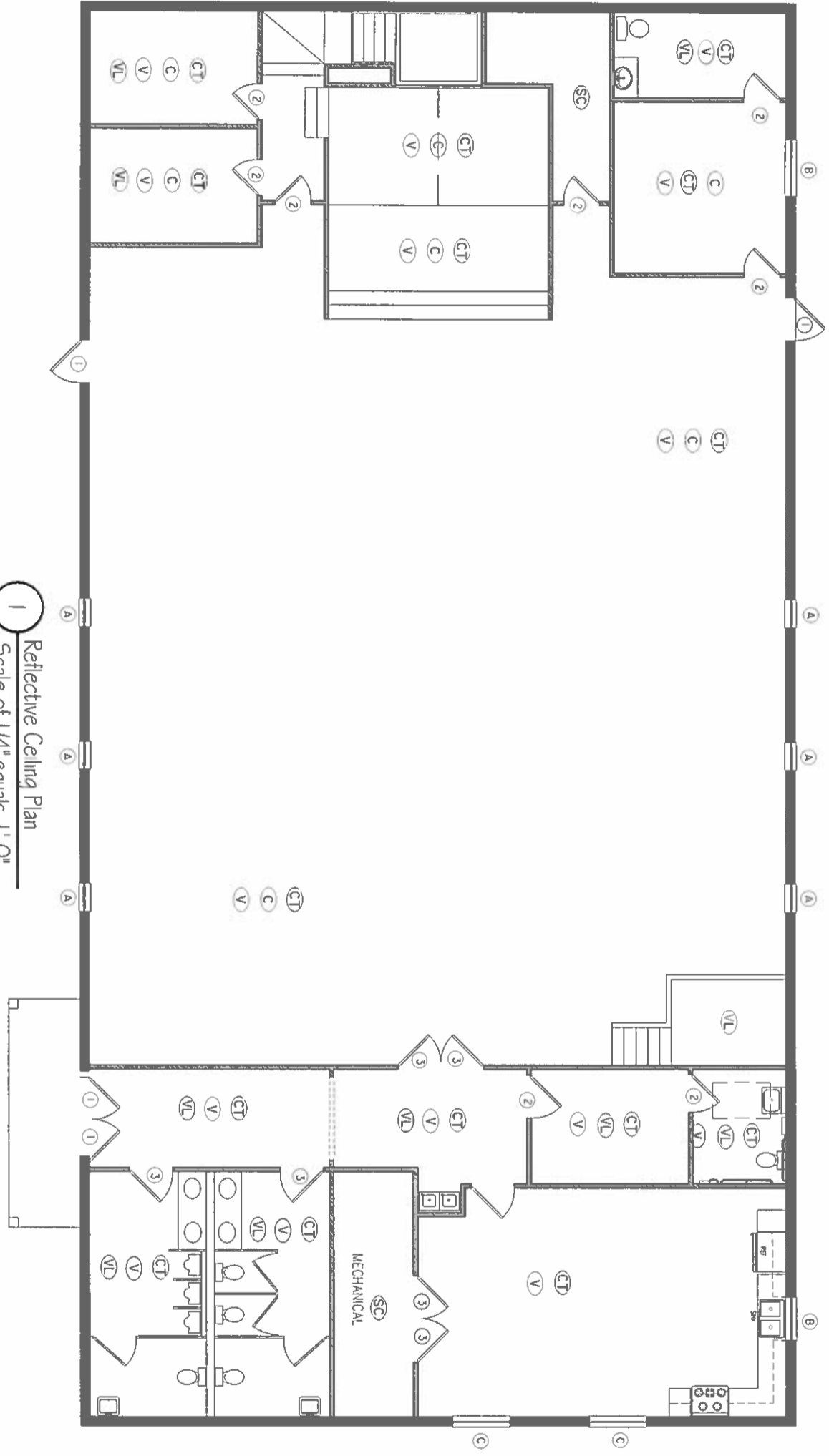
EXTERIOR	PLASTER	P
INTERIOR	1/2" DRYWALL	D
BASEBOARD	6" VINYL	V

WINDOW SCHEDULE

MARK	SIZE	TYPE
A	20X70	STAIN GLASS
B	40X30	FIXED GLASS
C	40X30	FIXED GLASS

DOOR SCHEDULE

MARK	SIZE	TYPE	LOCKSET
1	3068	WOOD	LEVER WITH AUTO DOOR CLOSURE
2	2868	WOOD	LEVER
3	3068	WOOD	LEVER



1 Reflective Ceiling Plan
Scale of 1/4" equals 1'-0"



REFUGUE CHURCH OF OUR LORD JESUS CHRIST
791 WILSON STREET
LAKE CITY, FL 32055

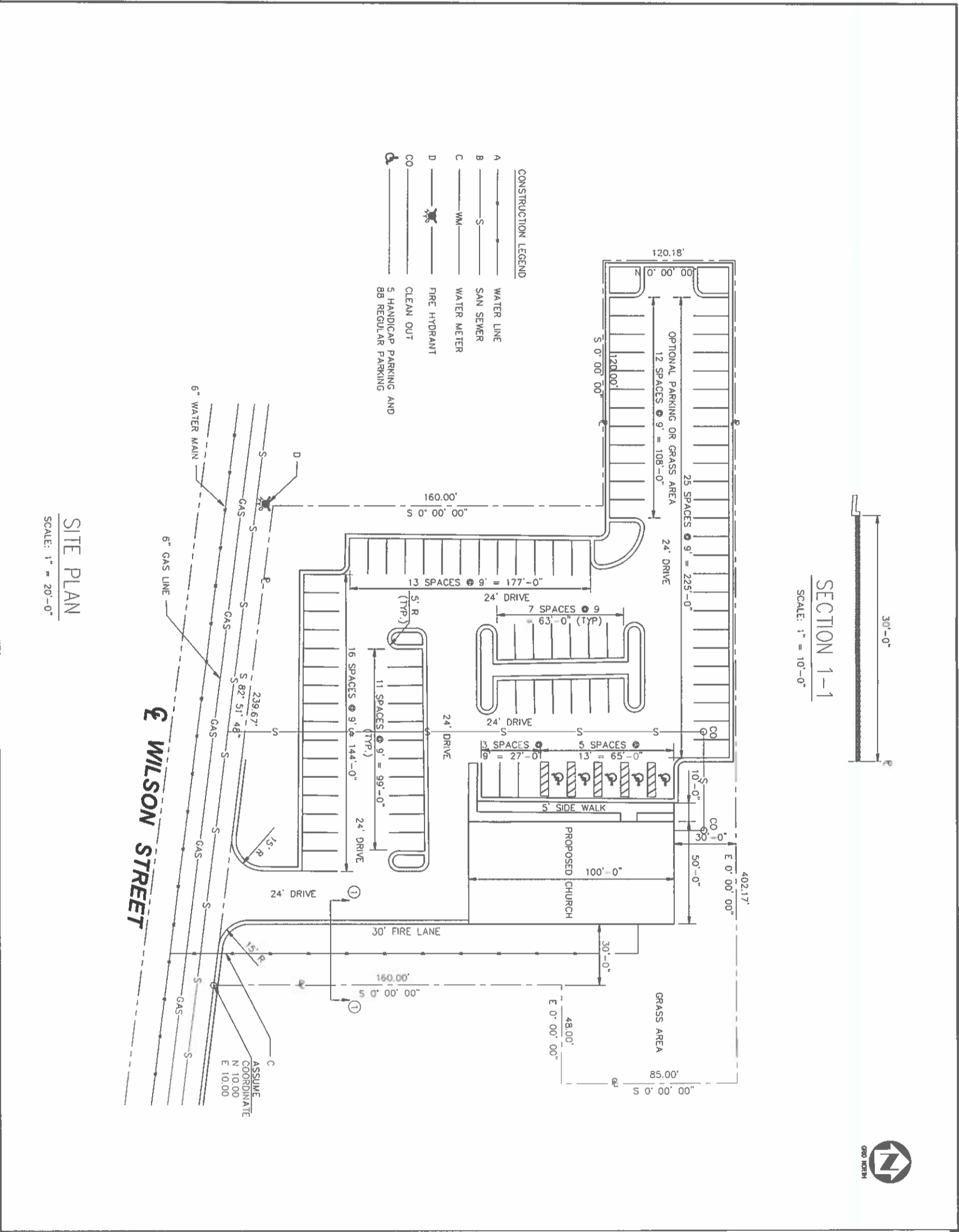
REFLECTIVE CEILING PLAN

PROJECT NO.	DATE	REVISION	BY
133	3/5/2021		AG

ANTHONY GEORGE JR PE
133 WILSON BLVD
LAKE CITY, FL 32055
PH: (904) 712-5050 FAX: (904) 712-5051
http://agjco.com

A5.0

SHEET 8 OF 25



SITE PLAN
SCALE: 1" = 20'-0"

SECTION 1-1
SCALE: 1" = 10'-0"



PROJECT NO. SHEET NO. <i>154-2C</i> C2.0	ANTHONY GEORGE JR PE CONSULTING ENGINEERS LLC 1120 E. 10TH ST LAKE CITY, FL 32055 PHONE (888) 742-5800 FAX (904) 722-3388	PROJECT NO. DATE REVISION BY	REFUGEE CHURCH 791 WILSON STREET LAKE CITY, FL 32055
	CHECKED BY: A.C. DRAWN BY: A.S. REVIEWED BY: DATE: 4/8/2021 SCALE: AS SHOWN	SITE PLAN	
	ASSUME COORDINATE N 10.00 E 10.00		

SCHEMATIC DIAGRAM SYMBOLS (PER IEEE STD 315-1975 REAF 1993)

Table of schematic diagram symbols including conductors, breakers, switches, relays, and motors with their respective symbols and descriptions.

ONE LINE DIAGRAM SYMBOLS (PER IEEE STD 315-1975 REAF 1993)

Table of one-line diagram symbols including power breakers, transformers, switches, and meters with their respective symbols and descriptions.

GENERAL ABBREVIATIONS

Table of general abbreviations listing symbols and their corresponding terms such as alarm relay, ammeter, breaker, and transformer.

GENERAL NOTES

- List of general notes providing instructions and specifications for the electrical system, including notes on scope, materials, and installation requirements.

PLAN DRAWING SYMBOLS

- List of plan drawing symbols defining symbols for motor connection, motor starter, and other equipment used in the plan drawings.



REFUGEE CHURCH
791 WILSON STREET
LAKE CITY, FL 32055

ELECTRICAL LEGENDS AND NOTES

Table with columns for PROJECT NO., DATE, REVISION, and BY, detailing project information and revision history.

E-00

PROJECT NO. DATE REVISION BY
DRAWING NO. 4/21/2021 A ISSUED FOR REVIEW
5/27/2021 B ISSUED FOR CONSTRUCTION
3/22/2021 AS SHOWN

Handwritten notes and signatures at the bottom left of the page.

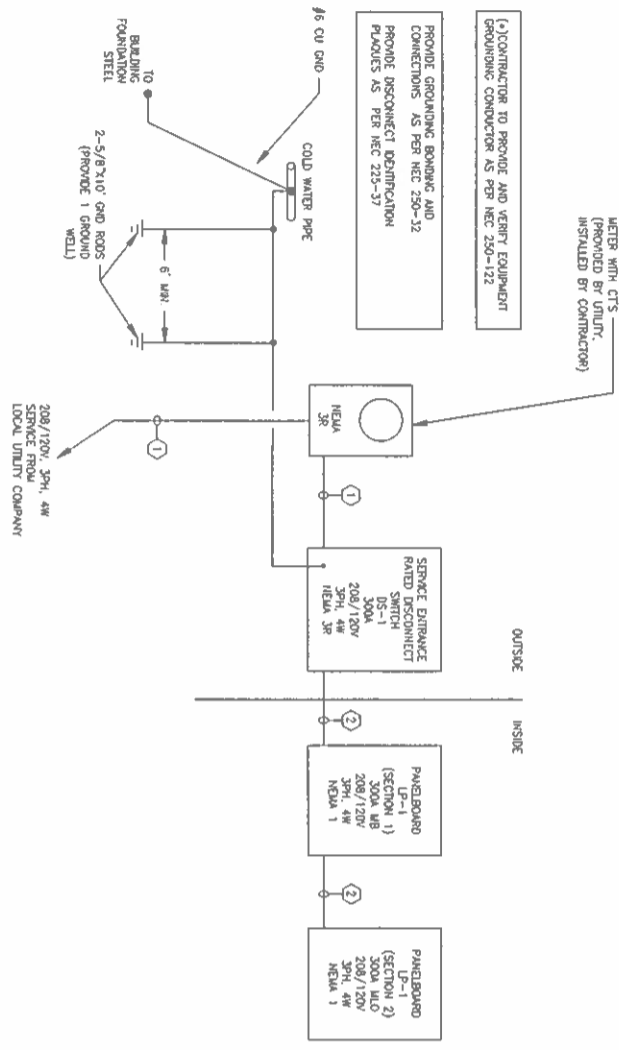
SHORT CIRCUIT CALCULATIONS (PAGE C OF PANELBOARD LP-1)
 SHORT CIRCUIT CURRENT AT THE SECONDARY OF UTILITY TRANSFORMER:
 111.2 AMP / 0.975 (IMPEDANCE OF THE TRANSFORMER) = 133.3 AMP
 PANELBOARD SHORT CIRCUIT RATING: 22,000 AMP
 CONCLUSION: PANELBOARD CAN WITHSTAND AVAILABLE SHORT CIRCUIT CURRENT.

Voltage drop calculation for Service Conductors

Ckt From	Ckt To	No. of Conductors	Length (ft)	Area (sq in)	Resistance (ohm)	Voltage Drop (V)	% Drop
UTILITY TR	DS-1	2	300	200	0.0004	0.06	0.48%
		TOTAL VOLT DROP %				0.06	0.48%

CONDUCTOR/CABLE SCHEDULE

①	3 - 350KCMIL IN 25° C
②	1 - 350KCMIL & 1 # 4 GND IN 25° C



1 ELECTRICAL RISER DIAGRAM

PANELBOARD (SECTION 1) LOCATED IN MAINTENANCE ROOM

Ckt. No.	Description	Type	Pole	Phase Loads (AMP)			Pole	Type	Description	Ckt. No.
				A	B	C				
1	RESTROOM STORAGE	20	1	10.5	5.1		1	20	RESTROOM STORAGE ROOM/RESTROOM STORAGE ROOM/RESTROOM STORAGE ROOM/RESTROOM STORAGE ROOM	2
3	MEN'S DRESSING ROOM'S DRESSING BATHS	20	1		10.5	5.2	1	20	MEN'S AND WOMAN'S DRESSING BATHS	4
5	CHapel	20	1	7.5	8.5		1	20	CHapel	6
7	SANITARY ROOM (LEFT) RECEIPTALS	20	1		6.0	6.8	1	20	SANITARY ROOM (LEFT) LIGHTING	8
9	SANITARY ROOM (RIGHT) RECEIPTALS	20	1		6.0	6.8	1	20	SANITARY ROOM (RIGHT) LIGHTING	10
11	FOTER, OFFICE/REST ROOM RECEIPTALS	20	1	6.0	4.2		1	20	FOTER, OFFICE/REST ROOM LIGHTING AND	12
13	MEN'S RESTROOM AND WOMAN'S RESTROOM RECEIPTALS	20	1		9.0	3.2	1	20	MEN'S AND WOMAN'S RESTROOMS	14
15	EXTENSION RECEIPTALS	20	1		3.0	4.0	1	20	EXTENSION RECEIPTALS	16
17	RECEPTION	40	2	20.0			1	20	RECEPTION	18
18	RECEPTION	40	2	20.0			1	20	RECEPTION	20
21	WATER HEATER	40	2	20.0			1	20	WATER HEATER	22
23	WATER HEATER	40	2	20.0			1	20	WATER HEATER	24
25	WATER HEATER	40	2	20.0			1	20	WATER HEATER	26
27	WATER HEATER	40	2	20.0			1	20	WATER HEATER	28
29	WATER HEATER	40	2	20.0			1	20	WATER HEATER	30
31	WATER HEATER	40	2	20.0			1	20	WATER HEATER	32
33	WATER HEATER	40	2	20.0			1	20	WATER HEATER	34
35	WATER HEATER	40	2	20.0			1	20	WATER HEATER	36
37	WATER HEATER	40	2	20.0			1	20	WATER HEATER	38
39	WATER HEATER	40	2	20.0			1	20	WATER HEATER	40
41	WATER HEATER	40	2	20.0			1	20	WATER HEATER	42

PANELBOARD (SECTION 2) LOCATED IN MAINTENANCE ROOM

Ckt. No.	Description	Type	Pole	Phase Loads (AMP)			Pole	Type	Description	Ckt. No.
				A	B	C				
43	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	44
45	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	46
47	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	48
49	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	50
51	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	52
53	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	54
55	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	56
57	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	58
59	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	60
61	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	62
63	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	64
65	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	66
67	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	68
69	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	70
71	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	72
73	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	74
75	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	76
77	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	78
79	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	80
81	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	82
83	HEAT PUMP	30	3	30.0	21.0		3	40	HEAT PUMP	84

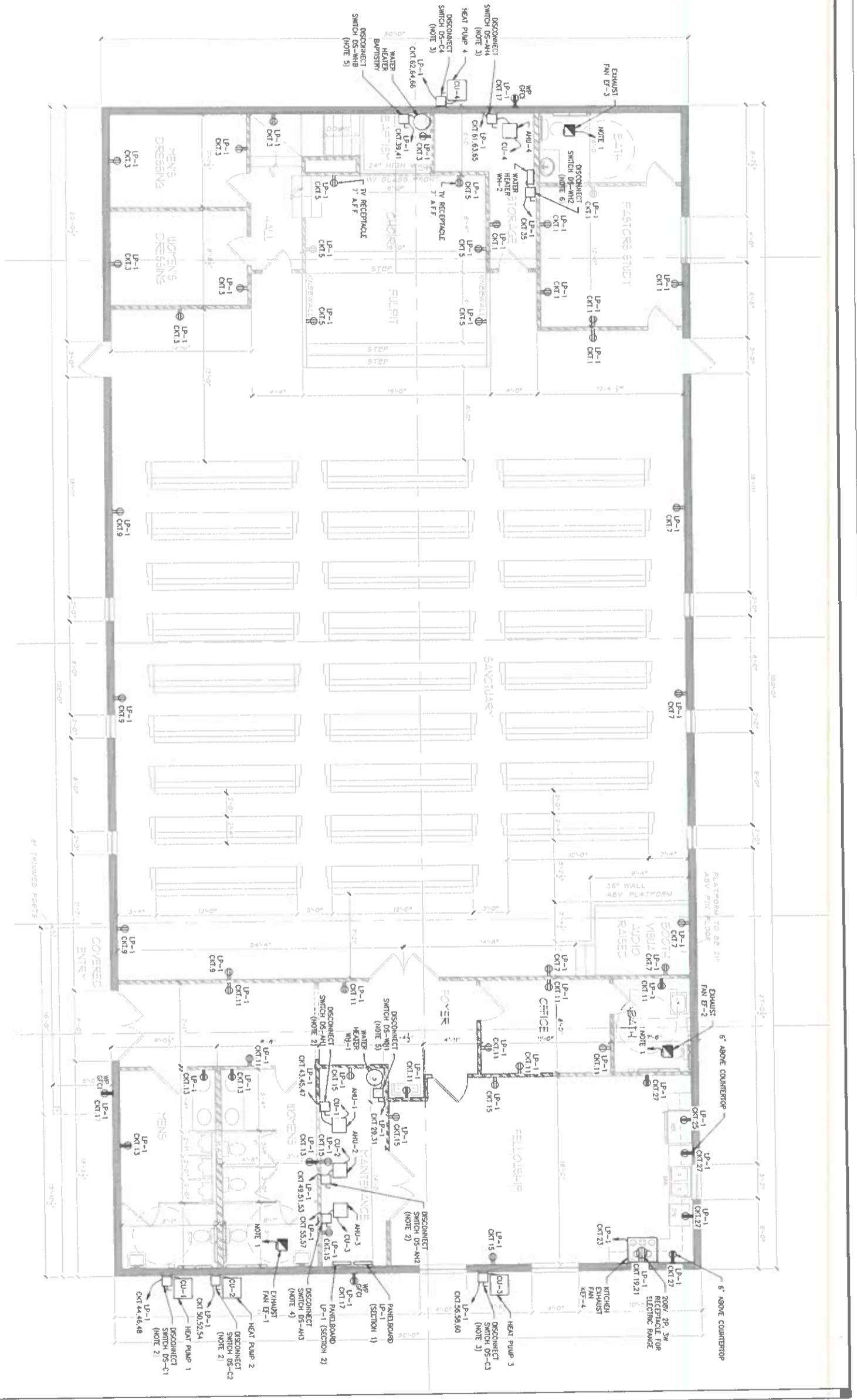
ALEC ZAYCHIK, PE
 420 CHATHAMWOOD BLVD, SUITE A
 DULUTH, GEORGIA 30017
 PHONE: (770) 355-9948

PROJECT NO.	DATE	REVISION	BY
15-18-26	4/07/2021	A	ISSUED FOR REVIEW
	5/27/2021	B	ISSUED FOR CONSTRUCTION

ONE LINE DIAGRAM AND
 PANELBOARD SCHEDULE

REFUGEE CHURCH
 791 WILSON STREET
 LAKE CITY, FL 32055

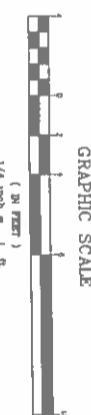




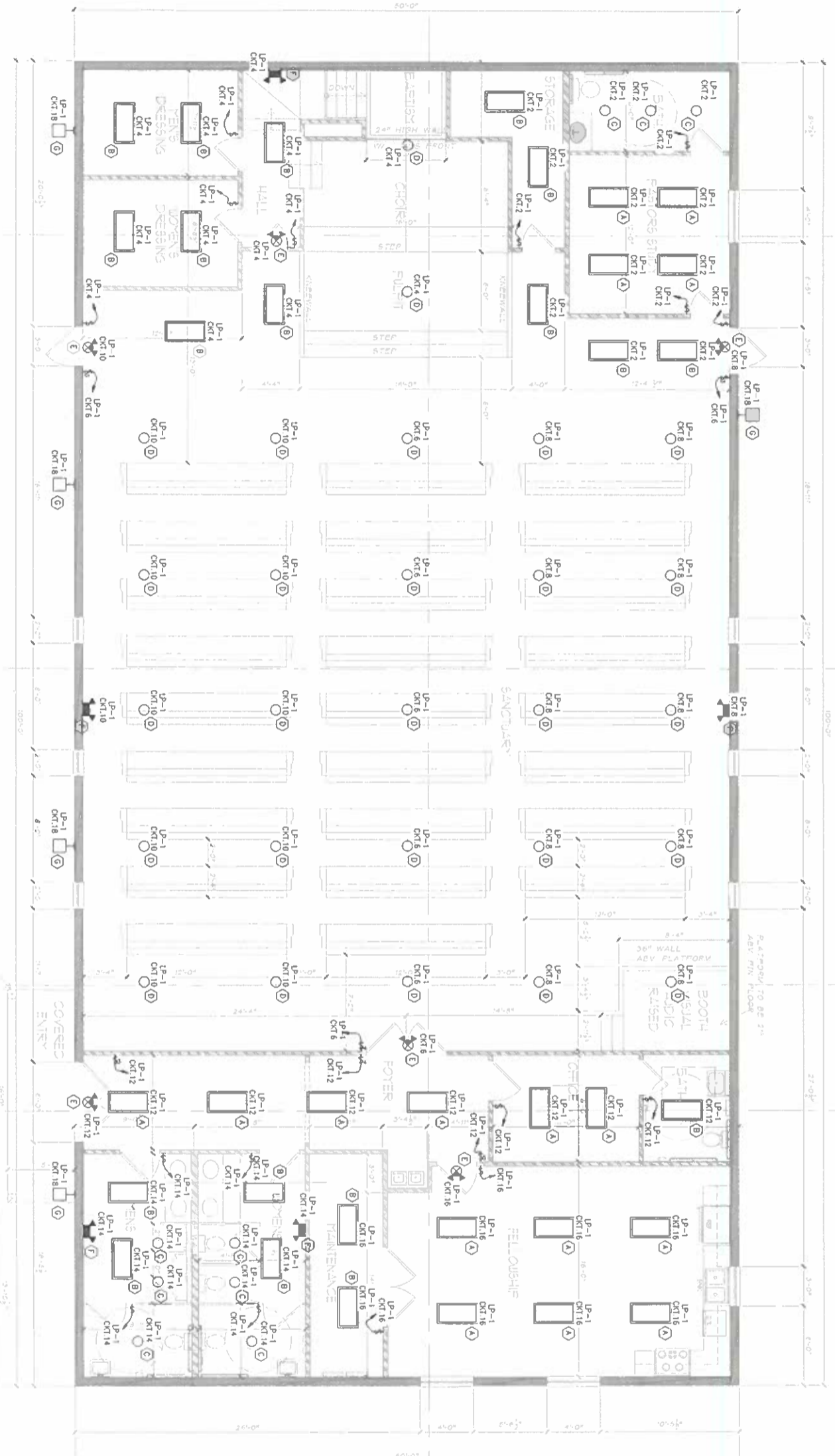
SYMBOL/TYP	RECEPTACLE SCHEDULE	VOLT/AMP/PHI	LOCATION
Ⓢ	120V, 20A, 1PH DUPLEX RECEPTACLE	120V, 20A, 1PH	WALL
Ⓢ	120V, 20A, 1PH GFCI DUPLEX RECEPTACLE	120V, 20A, 1PH	WALL
Ⓢ	208V, 40A, 3P, 1PH, 3W GFCI RECEPTACLE FOR ELECTRICAL PANELED CONNECTION	208V, 40A, 3P, 1PH	WALL

- NOTES:**
- EXHAUST FANS DF-1, DF-2, DF-3 SHALL BE CONTROLLED BY DEFACTO HP RATED TOGGLE SWITCH.
 - CONTRACTOR SHALL SUPPLY AND INSTALL 60A, 3P, 208V NON-RESET DISCONNECT SWITCHES FOR CU-1, CU-2 (IN NEUA 35 ENCLOSURE) AND CU-3, CU-4 (IN NEUA 1 ENCLOSURE) COORDINATE THE EXACT VOLTAGE/AMPERAGE/RANGE WITH VENDOR SHOP DRAWINGS AND ADJUST BREAKER, DISCONNECT SWITCH AND CABLE/CONDUIT SIZE AS REQUIRED.
 - CONTRACTOR SHALL SUPPLY AND INSTALL 30A, 3P, 208V NON-RESET DISCONNECT SWITCHES FOR CU-5, CU-6 (IN NEUA 35 ENCLOSURE) AND CU-7, CU-8 (IN NEUA 1 ENCLOSURE). COORDINATE THE EXACT VOLTAGE/AMPERAGE/RANGE WITH VENDOR SHOP DRAWINGS AND ADJUST BREAKER, DISCONNECT SWITCH AND CABLE/CONDUIT SIZE AS REQUIRED.
 - CONTRACTOR SHALL SUPPLY AND INSTALL 60A, 3P, 208V NON-RESET DISCONNECT SWITCH IN NEUA 1 ENCLOSURE FOR AHU-3. COORDINATE THE EXACT VOLTAGE/AMPERAGE/RANGE WITH VENDOR SHOP DRAWINGS AND ADJUST BREAKER, DISCONNECT SWITCH AND CABLE/CONDUIT SIZE AS REQUIRED.
 - CONTRACTOR SHALL FURNISH AND INSTALL 60A, 3P, 208V NON-RESET DISCONNECT SWITCHES IN NEUA 1 ENCLOSURE FOR AHU-1 AND AHU-2. CONTRACTOR SHALL ADJUST DISCONNECT SWITCHES TO PROVIDE THE REQUIRED WORKING CLEARANCES.
 - CONTRACTOR SHALL FURNISH AND INSTALL 30A, 1P, 120V NON-RESET DISCONNECT SWITCH IN NEUA 1 FIELD TO AVOID INTERFERENCES WITH OTHER UTILITIES AND TO PROVIDE THE REQUIRED WORKING CLEARANCES.
 - CONTRACTOR SHALL PROVIDE AND INSTALL ALL POWER AND CONTROL CABLES/CONDUITS FOR PROPER WALK STAIR OVERPASS BASED ON THE INSTALLED EQUIPMENT.

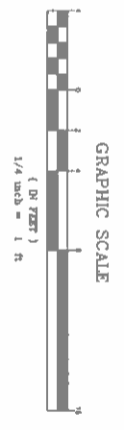
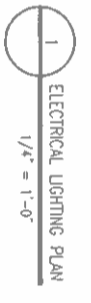
1 ELECTRICAL POWER PLAN
1/4" = 1'-0"



PROJECT NO. AZ DESIGNED BY SP DRAWN BY AL CHECKED BY AL REVIEWED BY DATE 3/23/2021 SCALE AS SHOWN	DATE 4/07/2021 REVISION A ISSUED FOR REVIEW	REFUGEE CHURCH 791 WILSON STREET LAKE CITY, FL 32055		
	DATE 5/27/2021 REVISION B ISSUED FOR CONSTRUCTION			
	ELECTRICAL POWER PLAN			
	ALEC ZAYCHIK, PE 420 OULTARDROVE ROAD, SUITE A JULIA, GEORGIA 30017 PHONE: (770) 55-1998			
	E-02 DRAWING NO.			



SYMBOL/TYPE	DESCRIPTION	LAMP/VOLTAGE	MOUNTING
(A)	COMMERCIAL ROOMER 2'x4' TROFFER SUITABLE FOR DAMP LOCATION MELROUX #24C22-45-UM-LBSS-CO1	LED 120V/277V, 1PH 425W/3MATS	CEILING/ RECESSED
(B)	COMMERCIAL ROOMER 2'x4' FLAT PANEL SUITABLE FOR DAMP LOCATION MELROUX #24F64535C	LED 120V/277V, 1PH 803W/3MATS	CEILING/ RECESSED
(C)	COMMERCIAL ROOMER 6' OPEN DOWNLIGHT FOOTCANDLE NUMBER0010-CUB010200205-64BWH	LED 120V/277V, 1PH 212W/3MATS	CEILING/ RECESSED
(D)	COMMERCIAL ROOMER 6' CHOUROS DOWNLIGHT MELROUX #48-100M-308-UM-51-BA-514	LED 120V/277V, 1PH 100W/3MATS	CEILING/ RECESSED
(E)	DEPENDENT LIGHT COMBO FIXTURE SUITABLE FOR DAMP LOCATION UMHONA JUDGE18-5-1-R-H0006-5D (OR APPROVED EQUAL)	LED 120V/277V, 1PH 18W/3MATS	WALL 8FT A.F.F.
(F)	INDEPENDENT LED LIGHT FIXTURE SUITABLE FOR DAMP LOCATION UMHONA JUDGE18-5-1-R-H0006-5D (OR APPROVED EQUAL)	LED 120V/277V, 1PH 6W/3MATS	WALL 8FT A.F.F.
(G)	PROOFPOINT WITH PHOTOCELL SENSOR LEARNITE LED OUTDOOR DISK TO DOWN, 3400LM, 3000K (OR APPROVED EQUAL)	LED 120V/277V, 1PH 28W/3MATS	WALL 8FT A.F.F.



SYMBOL/TYPE	DESCRIPTION	LAMP/VOLTAGE	MOUNTING
⌋	120V, 20A TOGGLE LIGHT SWITCH	120V, 20A, 1PH	WALL/SURFACE 48-52 A.F.F.
⌋	120V, 20A, 3-WAY TOGGLE LIGHT SWITCH	120V, 20A, 1PH	WALL/SURFACE 48-52 A.F.F.
⌋	120V, 20A, 4-WAY TOGGLE LIGHT SWITCH	120V, 20A, 1PH	WALL/SURFACE 48-52 A.F.F.

Area	Average Illuminance (fc)	Maximum Illuminance (fc)	Minimum Illuminance (fc)
Group/Dublin	58.59	103.5	13.0
Sanctuary	53.52	87.0	25.8
Fellowship Hall	43.33	58.0	22.0

PROJECT NO. _____ DATE _____ REVISION _____ BY _____
 DESIGNED BY: AZ 4/27/2021 A ISSUED FOR REVIEW
 DRAWN BY: SP 5/27/2021 B ISSUED FOR CONSTRUCTION
 CHECKED BY: AL
 REVIEWED BY: _____
 DATE: 3/25/2021
 SCALE: AS SHOWN

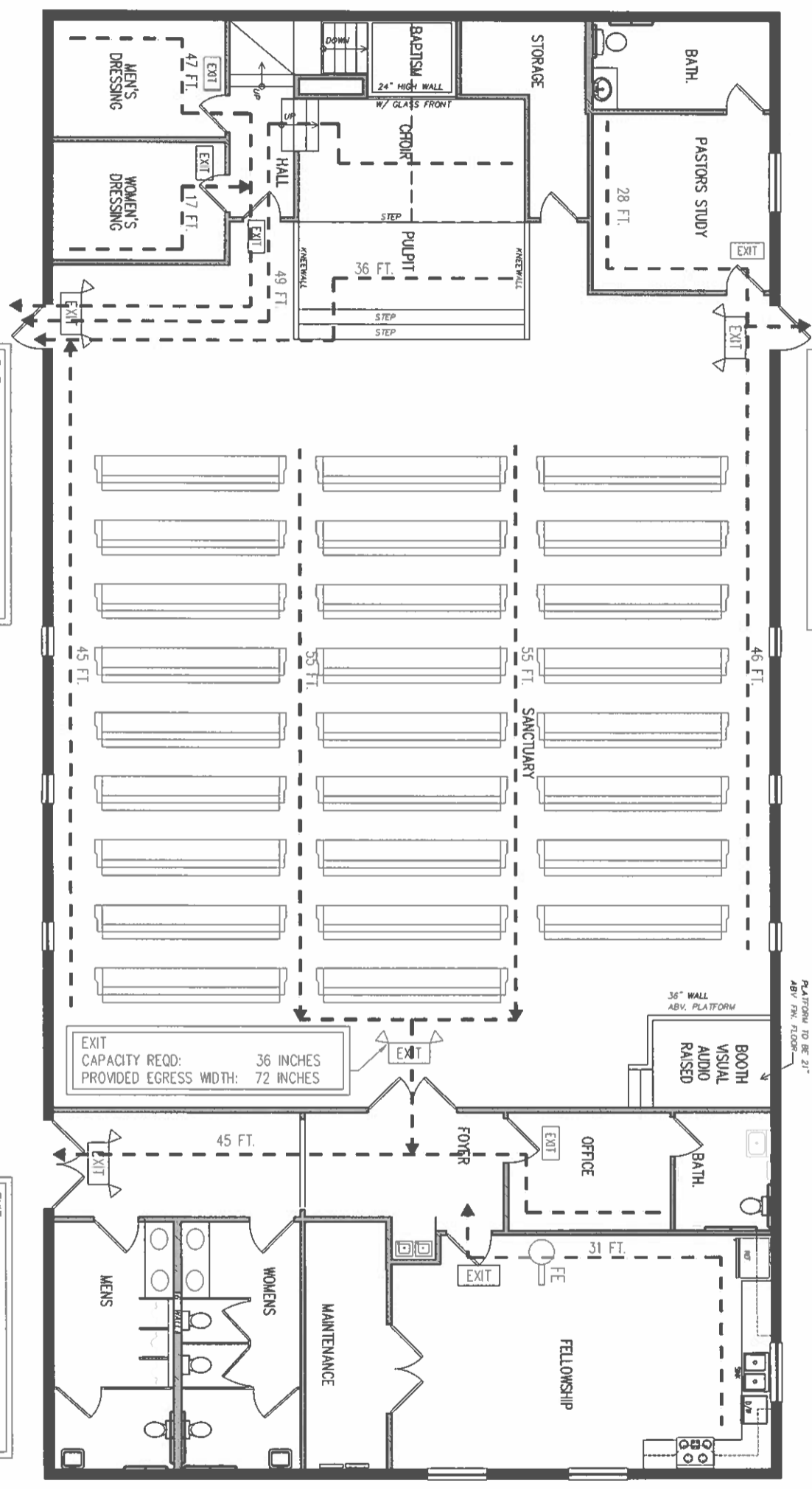
ALEC ZAYCHIK, PE
 439 OAKMOUNT DRIVE, SUITE A
 DELHI, GEORGIA 30288
 PHONE: (770) 351-1946

ELECTRICAL LIGHTING PLAN
 REFUGEE CHURCH
 791 WILSON STREET
 LAKE CITY, FL 32055

SHEET # OF 26
 E-03
 DRAWING NO.

17
 1/20/21

LIFE SAFETY CALCULATIONS					
NAME	ROOM DIMENSIONS	ROOM AREA (SQ FT)	LOAD OCCUPANCY FACTOR	OCCUPANCY LOAD	MAXIMUM OCCUPANCY
SANCTUARY	51 x 48	2448	18" PER PERSON PER PEW	156.00	156.00
CHOR STAND	8 x 18	144	18" PER PERSON PER CHAIR	18.00	18.00
PULPIT	8 x 18		7 CHAIRS	7.00	7.00
FELLOWSHIP HALL	17 x 18	306		20.40	20.00
OCCUPANCY LOAD				201.00	
DOOR LOCATION					
FACTOR	OCCUPANCY LOAD	EGRESS WIDTH REQ. (in)	ACTUAL (in)		
SANCTUARY	156	31.2	36		
RIGHT FRONT	30	30	36		
LEFT FRONT	0.2	30	36		
FELLOWSHIP HALL	0.2	20	36		



EXIT
CAPACITY REQ.: 30 INCHES
PROVIDED EGRESS WIDTH: 36 INCHES

EXIT
CAPACITY REQ.: 30 INCHES
PROVIDED EGRESS WIDTH: 36 INCHES

EXIT
CAPACITY REQ.: 36 INCHES
PROVIDED EGRESS WIDTH: 72 INCHES

EXIT
CAPACITY REQ.: 36 INCHES
PROVIDED EGRESS WIDTH: 72 INCHES

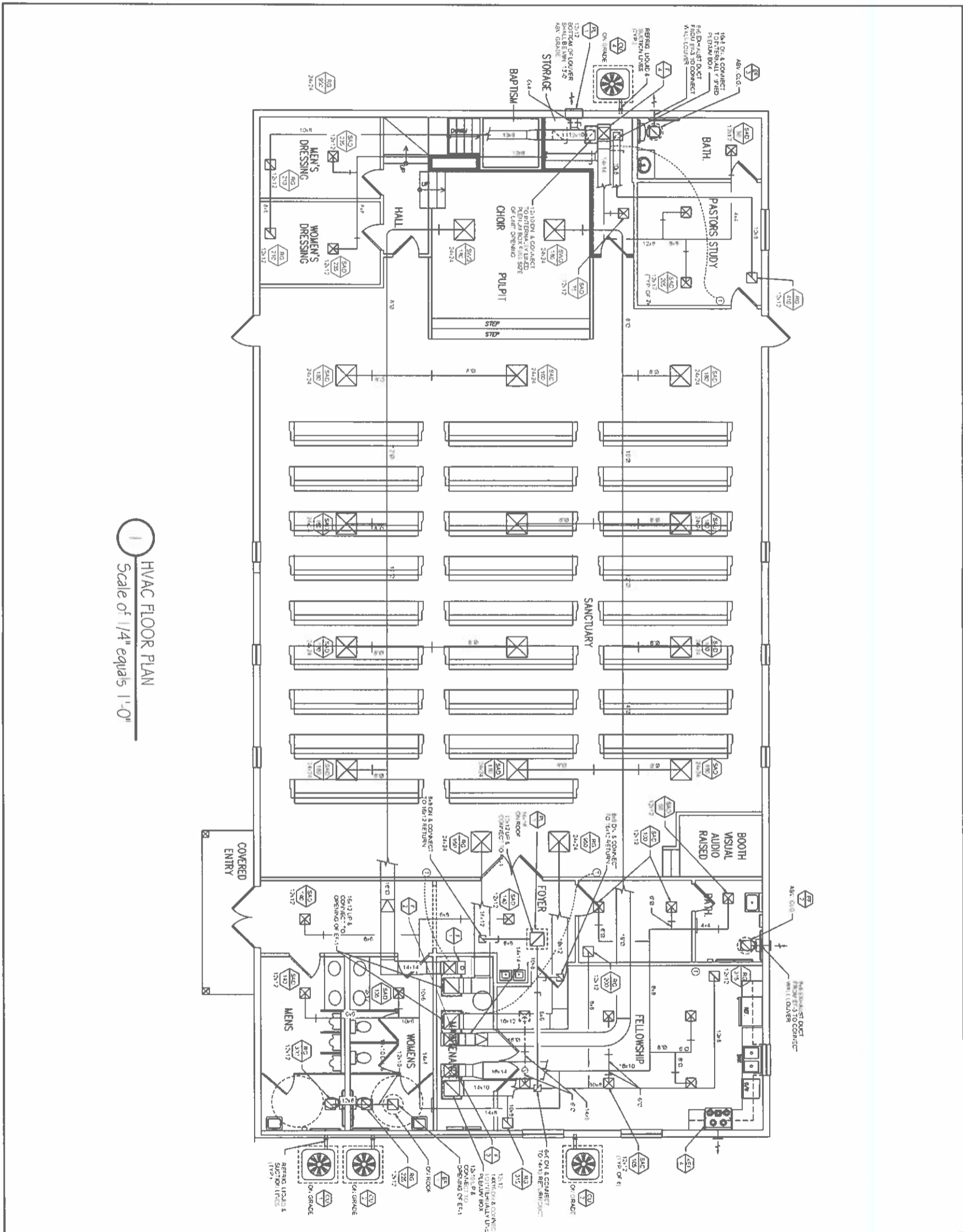
- LEGEND:
- EXIT
 - EXIT FIXTURE WITH BATTERY
 - FIRE EXTINGUISHER
 - FIRE ALARM PULL BOX
 - FIRE ALARM STROBE
 - FIRE ALARM SPEAKER
 - FIRE SPRINKLER
 - FACP (FIRE ALARM CONTROL PANEL)
 - COMMON PATH OF EMERGENCY EGRESS

NOTE:
ALL EXTERIOR SHOULD HAVE PANIC
HARDWARE THAT RELEASES THE LATCH
WHEN FORCE IS APPLIED IN DIRECTION
OF FORCE

LIFE SAFETY PLAN

SCALE: 1/4" = 1'-0"

SHEET 7-18-25 21	DRAWING NO. LS1.0	PROJECT NO. DATE REVISION BY	REFUGEE CHURCH 791 WILSON STREET LAKE CITY, FL 32055
ANTHONY GEORGE JR PE CONSULTING ENGINEERS LLC 115 HILBORN DRIVE LAKE CITY, FL 32055 PHONE: (407) 722-9200 FAX: (407) 722-9821 http://www.agjpe.com		LIFE SAFETY PLAN	




1 HVAC FLOOR PLAN
Scale of 1/4" equals 1'-0"

2019.1.21

DRAWING NO. M1.0	ANTHONY GEORGE JR PE CONSULTING ENGINEER 1115 N. HARRISON ST. SUITE 100 MEMPHIS, TN 38103 (901) 525-1111 www.agjpe.com	PROJECT NO.	DATE	REVISION	BY
		DESIGNED BY A.G.			
		CHECKED BY			
		SCALE			

HVAC FLOOR PLAN

REFUGE CHURCH OF OUR LORD JESUS CHRIST



SPLIT SYSTEM AIR CONDITIONING (HEAT PUMP) UNIT SCHEDULE

TAG	SERVICE	TYPE	SA CFM	OA CFM	ESP IN W/G	INDOOR UNIT		SENS.		EAT-F DBWB	LAT-F	HEAT		ELEC CHAIR	BASIS OF DESIGN	TAG	CAPACITY MBH	OUTDOOR UNIT		BASIS OF DESIGN	NOTES
						FAN HP	TOTAL MBH	DBWB	LAT-F			EAT-F MBH	KW					W/Hz	MCA		
AA-1	SERVICER	VERTICAL	120	20	0.4	1/2	372	844	50	59	-	0.0	200/162	46	TRAVEL TRAVEL	CA-1	99.0	200/162	33	TRAVEL TRAVEL	(O)(O)(O)(O)(O)
AA-2	SERVICER	VERTICAL	120	20	0.4	1/2	360	844	50	59	-	0.0	200/162	46	TRAVEL TRAVEL	CA-2	99.0	200/162	33	TRAVEL TRAVEL	(O)(O)(O)(O)(O)
AA-3	FEL. OVERSEER AREA	VERTICAL	133	110	0.4	1/2	461	782	34	61	-	0.0	200/162	47	TRAVEL TRAVEL	CA-3	49.5	225/160	20	TRAVEL TRAVEL	(O)(O)(O)(O)(O)
AA-4	FACTORY OFFICE AREA	VERTICAL	120	80	0.3	1/2	247	780	34	61	-	0.0	200/162	21	TRAVEL TRAVEL	CA-4	34.2	202/160	20	TRAVEL TRAVEL	(O)(O)(O)(O)(O)

- 1. THIS IS THE SPATIAL TO THE DUCTS AND DUCTS FOR UNIT ASSEMBLY. UNIT SHALL BE SUPPLIED WITH INDOOR COILS FOR HEAT RECOVERY FOR APPROX. 100%.
- 2. ROOM POWER LEVELS FOR OUTLINE SHALL NOT EXCEED 100 DB.
- 3. MOUNT VERTICAL AND IN A SHARED AND COMMON EQUIPMENT RACK.
- 4. UNIT SHALL BE 13 FEET.
- 5. AIR HANDLING UNIT SHALL BE PROVIDED WITH TRAFFIC FILTERS. LEAKS TO BE CONNECTED TO EXHAUST SYSTEM FOR PROPER OPERATION OF UNIT.
- 6. HEAT PUMP UNIT SHALL BE PROVIDED WITH A 4-WAY REVERSING VALVE AND SHALL BE FIELDED FOR PROPER OPERATION OF UNIT.
- 7. PROVIDE WITH HEAD PRESSURE CONTROL TO OPERATE DOWN TO 10 PSI MINIMUM.
- 8. FLOOD REFRIGERANT SHALL BE USED.
- 9. MOUNT HORIZONTAL AND IN A SHARED AND COMMON EQUIPMENT RACK.

SEQUENCE OF OPERATION FOR F'S & CUS

1. F'S AND CUS SHALL BE CONTINUED BY THEIR RESPECTIVE PROGRAMS UNTIL REACHED IN THE ROOMS AND OPERATIONAL AND REQUIRED DATA AT 10:00.

GRILLES, REGISTERS & DIFFUSERS SCHEDULE

VAR#	TYPE	UPR. AND VOLUME NUMBER	FRAME	FINISH	MATERIAL	DESCRIPTION	REMARKS
SA-1	CEILING DIFFUSER	2115	12x12	ENAMEL	ALUMINUM	24" x 24" OR 24" x 12" MODULAR DIFFUSER WITH ROUND NICK COIL DIFFUSER. DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 24" x 24" OR 24" x 12" MODULAR DIFFUSER WITH ROUND NICK COIL DIFFUSER. DAVIES ADJUSTABLE 180°.
SA-2	CEILING DIFFUSER	2115	12x12	ENAMEL	ALUMINUM	DOUBLE DEFLECTION, DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 24" x 24" OR 24" x 12" MODULAR DIFFUSER WITH ROUND NICK COIL DIFFUSER. DAVIES ADJUSTABLE 180°.
SA-3	CEILING DIFFUSER	2115	12x12	ENAMEL	ALUMINUM	DOUBLE DEFLECTION, DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 24" x 24" OR 24" x 12" MODULAR DIFFUSER WITH ROUND NICK COIL DIFFUSER. DAVIES ADJUSTABLE 180°.
DA	DOOR DIFFUSER	2115	36x36	ENAMEL	ALUMINUM	36" x 36" DOOR DIFFUSER. DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 36" x 36" DOOR DIFFUSER. DAVIES ADJUSTABLE 180°.
LC	CEILING DIFFUSER	2115	12x12	ENAMEL	ALUMINUM	12" x 12" CEILING DIFFUSER. DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 12" x 12" CEILING DIFFUSER. DAVIES ADJUSTABLE 180°.
RC	CEILING DIFFUSER	2115	12x12	ENAMEL	ALUMINUM	12" x 12" CEILING DIFFUSER. DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 12" x 12" CEILING DIFFUSER. DAVIES ADJUSTABLE 180°.
SMR	CEILING DIFFUSER	2115	12x12	ENAMEL	ALUMINUM	12" x 12" CEILING DIFFUSER. DAVIES ADJUSTABLE 180°.	100% SIZE AS FOLLOWS: 12" x 12" CEILING DIFFUSER. DAVIES ADJUSTABLE 180°.

FAN SCHEDULE

LT	CAPACITY (CFM)	HP	TYPE	VOL. LEAKAGE	MAX. RPM	200' DRIVING	UNIT VOLUME	% OF FAN	BASIS OF DESIGN	REMARKS
F-1	215	0.25	1.6	EN-1	1200	151133	20	CEILING	COOL FACTOR	1.2
F-2	83	0.25	1.6	EN-1	1200	600	15	CEILING	COOL FACTOR	1.2
F-3	83	0.25	1.6	EN-1	1200	600	15	CEILING	COOL FACTOR	1.2
F-4	83	0.25	1.6	EN-1	1200	600	15	CEILING	COOL FACTOR	1.2

SEQUENCE OF OPERATION

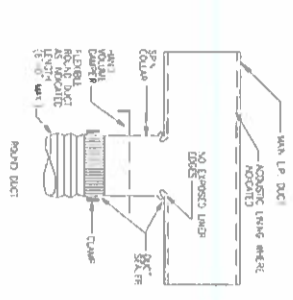
1. EXHAUST FAN SHALL BE TURNED ON AT THE SAME TIME AS THE MAIN FAN.
2. FAN F-1 SHALL BE MONITORED IN MAIN CONTROL ROOM AND TURNED OFF BY THE MAIN SWITCH.
3. FAN F-2 SHALL BE MONITORED IN MAIN CONTROL ROOM AND TURNED OFF BY THE MAIN SWITCH.
4. FAN F-3 SHALL BE MONITORED IN MAIN CONTROL ROOM AND TURNED OFF BY THE MAIN SWITCH.
5. FAN F-4 SHALL BE MONITORED IN MAIN CONTROL ROOM AND TURNED OFF BY THE MAIN SWITCH.

PENTHOUSE LOUVERS & WALL LOUVERS

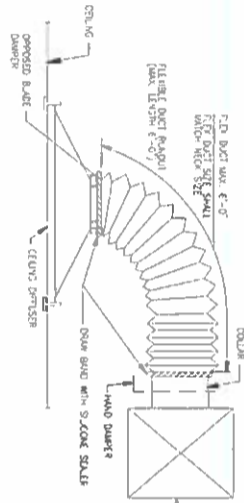
TAG	MAKE & MODEL	SIZE (SQ. FT.)	MIN. AREA (SQ. FT.)	MAXIMUM PRESS. VACUUM @ 500 FPM	SERVICE	INTERLOCK	ROOF CURB	SCREEN	NOTES
PL-1	ROOF CURB	12x12	9.7	0.8	DAVIES	NO	YES	BRD	12x12
PL-2	ROOF CURB	12x12	9.7	0.8	DAVIES	NO	YES	BRD	12x12

1. MAKE & MODEL SHALL BE AS SPECIFIED ON THE CONTRACT DOCUMENTS.
2. ROOF CURB SHALL BE 12" HIGH ABOVE THE ROOF FINISH.
3. ROOF CURB SHALL BE 12" HIGH ABOVE THE ROOF FINISH.
4. ROOF CURB SHALL BE 12" HIGH ABOVE THE ROOF FINISH.
5. ROOF CURB SHALL BE 12" HIGH ABOVE THE ROOF FINISH.

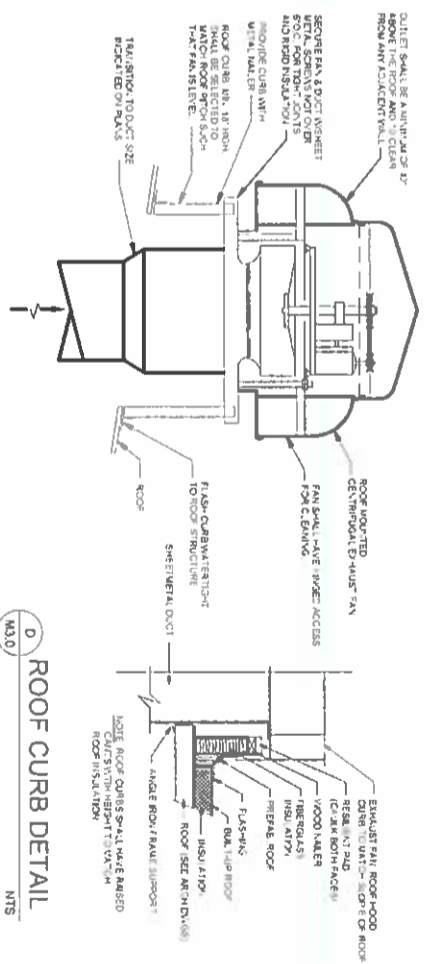
	REFUGE CHURCH OF OUR LORD JESUS CHRIST	HVAC SCHEDULES	M2.0 SHEET 27 OF 28
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A TYPICAL LOW PRESSURE
BRANCH DUCT TAKE-OFF
M3.0 NTS

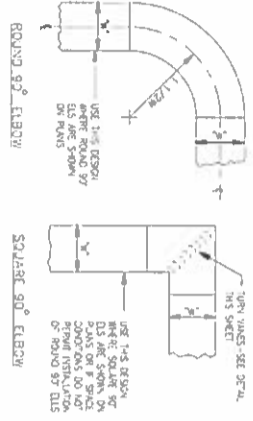


B TYPICAL DIFFUSER CONNECTION
(SIDE OF DUCT CONNECTION)
M3.0 NTS

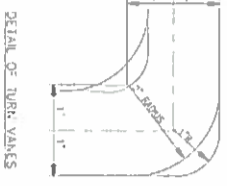


C EXHAUST FAN DETAIL
M3.0 NTS

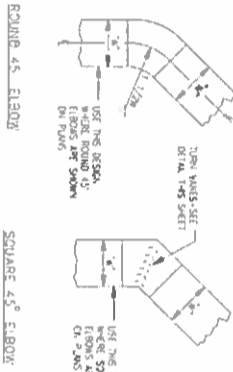
D ROOF CURB DETAIL
M3.0 NTS



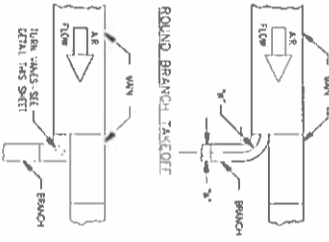
TYPICAL RECTANGULAR TRANSITION



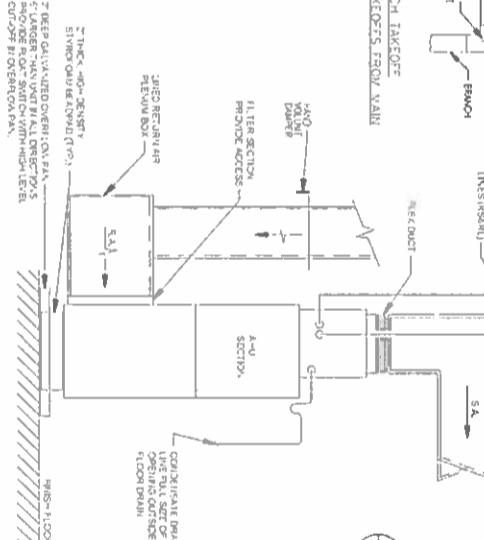
E DETAILS OF LOW VELOCITY DUCT LAYOUT
M3.0 NTS



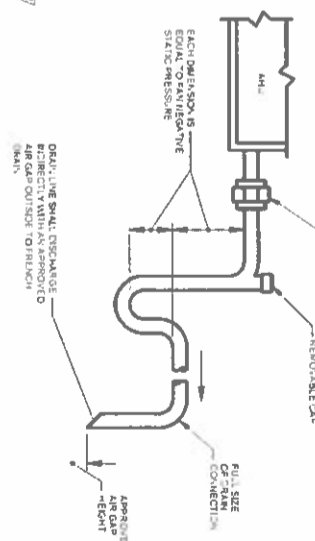
CONSTRUCTION OF BRANCH TAKE-OFFS: ROUND MAIN



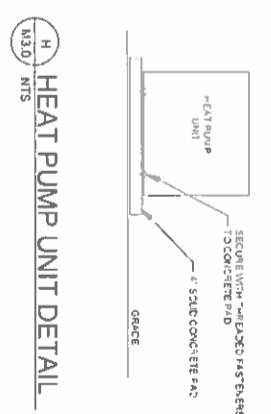
- RECOMMENDATIONS**
1. ALL DUCTS SHALL BE CONTINUOUS AND IDENTIFIED IN A MANNER THAT INDICATES THE DIRECTION OF FLOW.
 2. DUCTS SHALL BE CONSTRUCTED OF THE MOST DURABLE AND APPROPRIATE MATERIAL.
 3. THE DESIGN, SHOWING ALL DETAILS SHOWN IN THIS SET AND WITHIN THE RISE AND FALL OF THE DUCT, SHALL BE APPROVED BY THE ARCHITECT AT THE TIME OF SUBMITTAL.
 4. DUCT FITTINGS SHOULD BE SPACED AT THE FOLLOWING INTERVALS:
 5. 3' ON MAIN DUCTS
 6. 5' ON BRANCH DUCTS
 7. 6' ON TRANSITION DUCTS
 8. DUCTS SHALL BE SECURELY ATTACHED TO THE BUILDING CONSTRUCTION IN AN APPROVED MANNER.
 9. ACCESS PANELS SHOULD BE INSTALLED AT 30' INTERVALS ALONG THE ENTIRE LENGTH OF THE DUCT.
 10. DUCT JOINTS SHOULD BE PROTECTED BY THE BUILDING CONSTRUCTION AND SHALL BE SEALED WITH A FIRE-RATED MATERIAL.
 11. ALL DUCTS SHALL BE SEALED TO BE AIR-TIGHT.



F AIR HANDLING UNIT DETAIL
M3.0 NTS

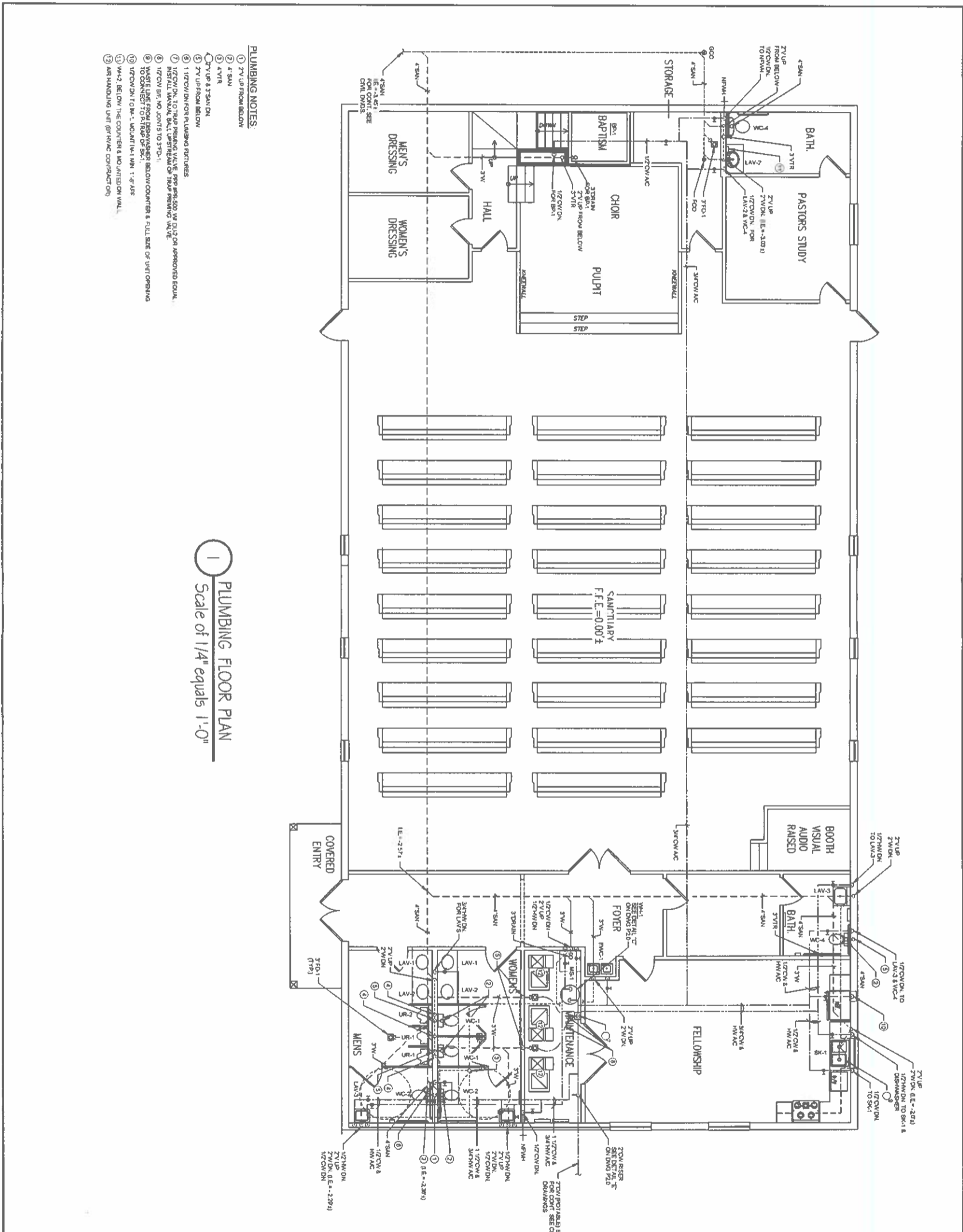


G CONDENSATE DRAIN DETAIL
M3.0 NTS



H HEAT PUMP UNIT DETAIL
M3.0 NTS

REFUGE CHURCH OF OUR LORD JESUS CHRIST 	HVAC DETAILS	PROJECT NO. A.C.						
		DATE 11/25/2011						
M3.0 Anthony George Jr. P.E. 101 W. 10th St., Ste. 200 Oklahoma City, OK 73101 405-251-1234	REVISIONS <table border="1"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	DESCRIPTION				SCALE AS SHOWN
		NO.	DATE	DESCRIPTION				



- PLUMBING NOTES:**
- 1) 2"V UP FROM BELOW
 - 2) 4" SAN
 - 3) 4" VTR
 - 4) 2"V UP 3" DOWN
 - 5) 2"V UP FROM BELOW
 - 6) 1" VTR/DN FOR PLUMBING FIXTURES
 - 7) 1/2" VTR/DN TO RISE FROM VALVE, PIPE SECTION MAY BE 1/2" ON APPROVED EQUAL.
 - 8) 1/2" VTR/DN UP TO JOINTS TO STD.
 - 9) WASTE LINE FROM DISHWASHER, BELOW COUNTER & FULL SIZE OF UNIT OPENING TO CONNECT TO TRAP OF SKI.
 - 10) 1/2" VTR/DN FROM 1" JUNCTIONAL MANIFOLD 1" UP ASSE.
 - 11) W-2, BELOW THE COUNTER & NO. AFTER ON WALL.
 - 12) AIR HANDLING UNIT (BUT HVAC CONNECTION)

1 PLUMBING FLOOR PLAN
Scale of 1/4" equals 1'-0"

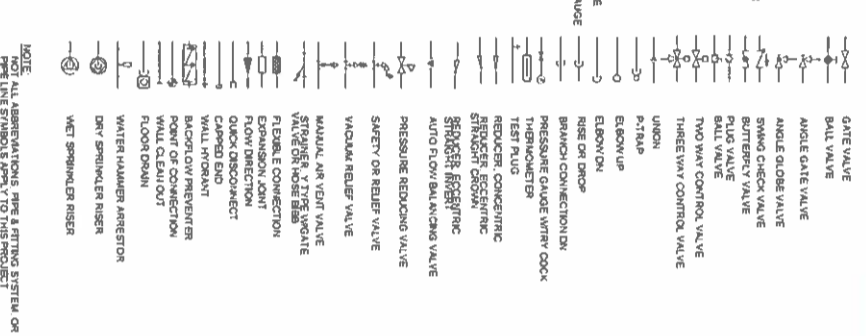
188
47 822
20 11 24

DRAWING NO. P1.0 DATE: 02-28-2021	ANTHONY GEORGE JR PE CIVIL ENGINEER, LLC 1318 WILSON STREET LAKE CITY, FL 32055 PHONE: (904) 771-7171	PROJECT NO. DESIGNED BY: A.G. CHECKED BY: L.M. REVIEWED BY: DATE: 2/2/2021 SCALE: 1/4" = 1'-0"	DATE: _____ REVISION: _____ BY: _____	PLUMBING FLOOR PLAN	REFUGE CHURCH OF OUR LORD JESUS CHRIST 791 WILSON STREET LAKE CITY, FL 32055	
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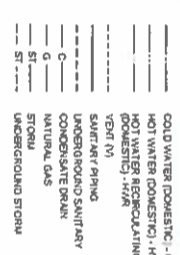
ABBREVIATIONS

Table of abbreviations for mechanical and plumbing components, including symbols for valves, pipes, and equipment.

PIPE AND FITTING SYSTEM



PIPE LINES



PLUMBING FIXTURE SPECIFICATIONS

- List of specifications for plumbing fixtures, including requirements for water closets, urinals, lavatories, and kitchen sinks.

WATER HAMMER ARRESTOR SCHEDULE

Schedule table for water hammer arrestors, listing equipment ID, size, and manufacturer details.

PLUMBING FIXTURE CONNECTION SCHEDULE

Schedule table for plumbing fixture connections, detailing fixture types, sizes, and connection methods.

GENERAL NOTES

- General notes providing instructions and requirements for the plumbing work, covering materials, installation, and testing.

PLUMBING ABBREVIATIONS, LEGEND AND NOTES

Summary table for plumbing abbreviations, legend, and notes.

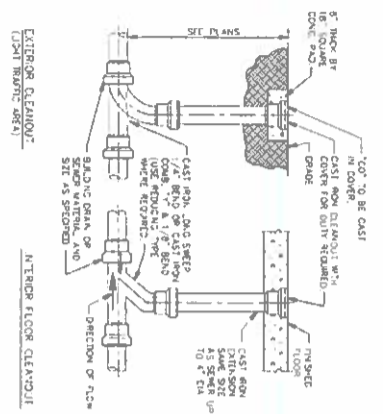
Project information including the name of the church and its address.



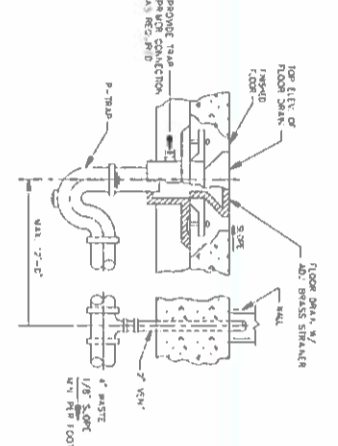
Professional seal and name of the engineer: ANTHONY GEORGE JR. PE.

Project title: REFUGE CHURCH OF OUR LORD JESUS CHRIST.

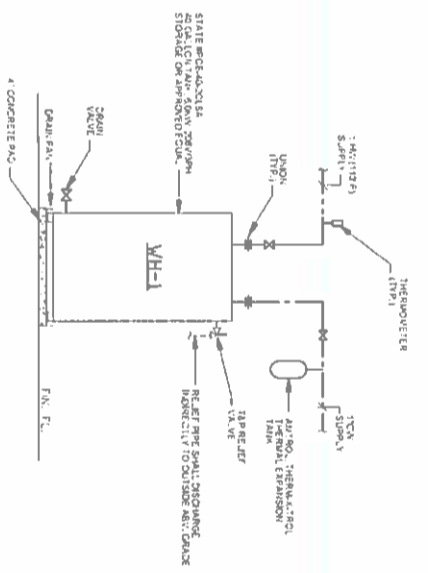
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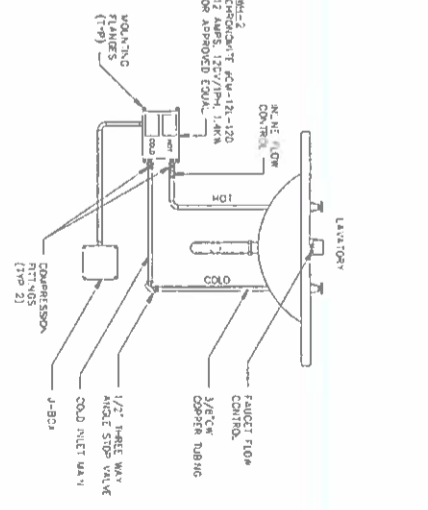
A CLEANOUT DETAILS
P2.0 / NTS



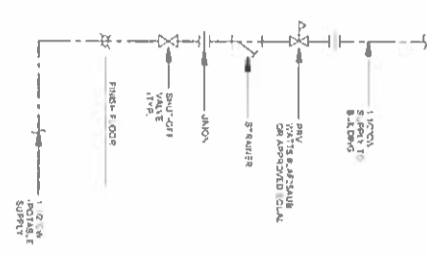
B FLOOR DRAIN DETAIL
P2.0 / NTS



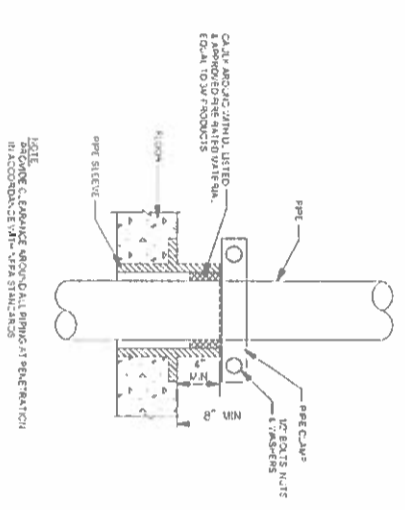
C GAS WATER HEATER DETAIL
P2.0 / NTS



D TANKLESS WATER HEATER DETAIL
P2.0 / NTS



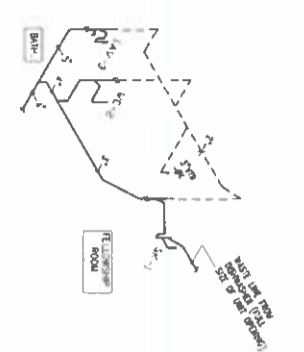
E PRESSURE REDUCING VALVE STATION DETAIL
P2.0 / NTS



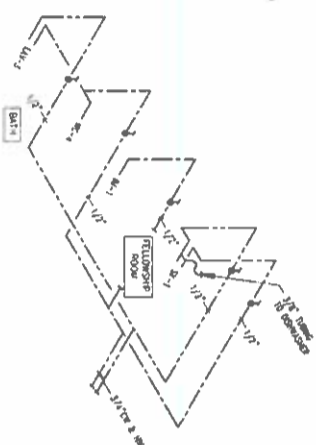
F RISER SLEEVE DETAIL
P2.0 / NTS

Handwritten notes:
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24.6.22

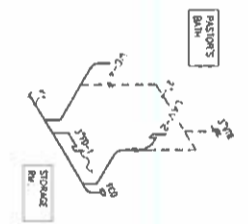
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	P2.0	SHEET 23 OF 28	25.8.22	24.6.22	25.8.22



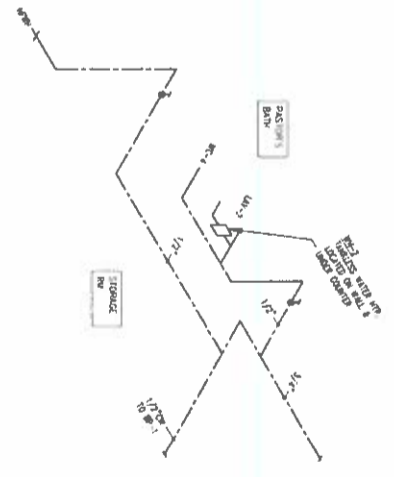
SANITARYWASTE



POTABLE WATER

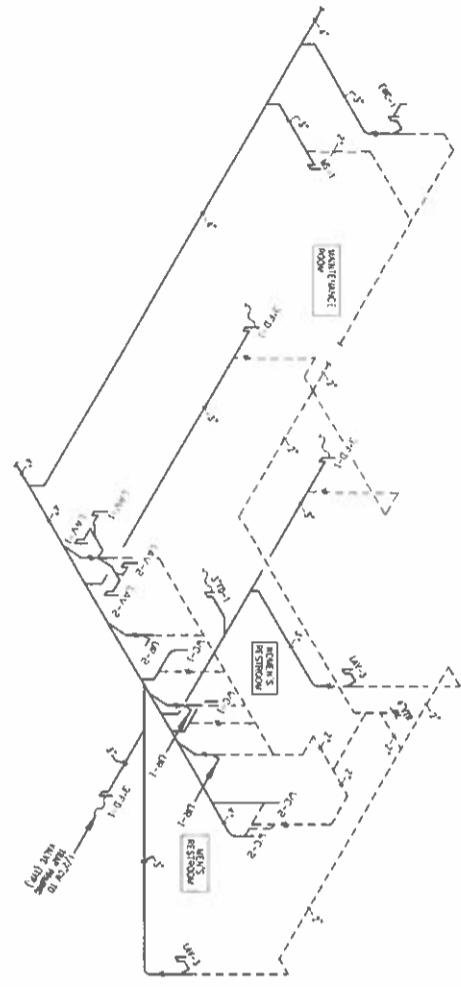


SANITARYWASTE

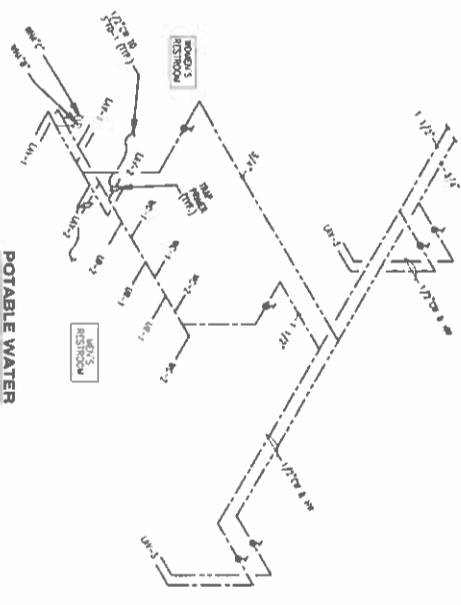


POTABLE WATER

1 RISER DIAGRAMS
P3.0 INT



SANITARYWASTE



POTABLE WATER

2 RISER DIAGRAMS
P3.0 INT

22
22

ANTHONY GEORGE JR PE CIVIL ENGINEER 1100 N. 10TH ST SUITE 200 FARGO, ND 58103 (701) 785-1100 agj@agjpe.com	PROJECT NO. _____ DATE _____ REVISION _____ BY _____	PLUMBING RISER DIAGRAMS	REFUGE CHURCH OF OUR LORD JESUS CHRIST	
	P3.0 SCALE: AS SHOWN	REVISIONS NO. DATE BY 1 11/11/11 A.G.		

GENERAL NOTES

- GENERAL INFORMATION:**
- THE STRUCTURE IS TO BE CONSTRUCTED IN ACCORDANCE WITH THE 2012 INTERNATIONAL BUILDING CODE AND THE LATEST GEORGE STATE AMENDMENTS.
 - BUILDING OCCUPANCY CATEGORY: B
 - DESIGN LOADS ARE AS FOLLOWS:

DEAD LOAD:	10 PSF
LIVE LOAD:	30 PSF
WIND LOAD:	AS PER ASCE 7-10
SEISMIC LOAD:	AS PER ASCE 7-10
 - DESIGN WIND SPEED: 110 MPH (ASCE 7-10) EXPOSED B, RISK CATEGORY II, WIND PROFILES: 3 AND 5. WIND BEARING PRESSURE COEFFICIENT: 0.18 (a)
 - SEISMIC LOADS:

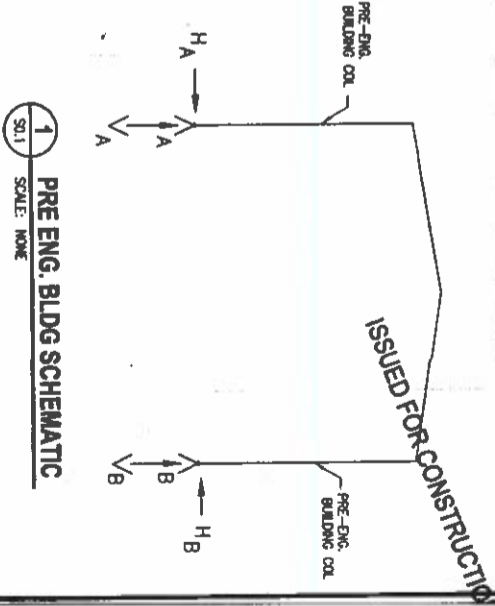
SD-DETERMINED SEISMIC ACCELERATION FOR SHORT PERIOD:	0.20
SD-DETERMINED SEISMIC ACCELERATION FOR LONG PERIOD:	0.10
SEISMIC RISK CATEGORY:	II
 - REFER TO ARCHITECTURAL, MECHANICAL, ELECTRICAL, PLUMBING AND CIVIL DRAWINGS FOR ROOMS, STAIRS, ELEVATORS, ETC. VERIFY ALL STRUCTURAL WORK NOT SHOWN. SEE OTHER SHEETS FOR FINISH AND MECHANICAL CONDITIONS. CONTRACTOR TO VERIFY ALL ROOMS AND FINISHES FROM THE EXISTING FOR THE BUILDING FOUNDATIONS. THE STRUCTURAL CONTRACTOR SHALL BE NOTIFIED OF ANY DISCREPANCIES BETWEEN THE FOUNDATIONS AND THE EXISTING UTILITIES.
 - CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS PRIOR TO ORDERING ANY MATERIALS AND SHALL IMMEDIATELY NOTIFY THE ENGINEER WHERE CONDITIONS VARY FROM WHAT IS SHOWN ON THE DRAWINGS.
- REINFORCED CONCRETE:**
- THE DESIGN OF CONCRETE STRUCTURAL MEMBERS INCLUDING SLABS, BEAMS, COLUMNS AND WALLS IS IN ACCORDANCE WITH ACI 318-11 (BUILDING CODE REQUIREMENTS FOR STRUCTURAL CONCRETE).
 - ALL CONCRETE CONSTRUCTION SHALL CONFORM TO ACI 318-11. SPECIFICATIONS FOR STRUCTURAL CONCRETE, AS WELL AS TO ACI 318-11.
 - CONCRETE SHALL BE MIXED AND PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR CONCRETE. THE DESIGNER'S SPECIFICATIONS SHALL BE COMPLETED AND REVIEWED BY THE DESIGNER PRIOR TO CONSTRUCTION.
 - UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318. UNLESS OTHERWISE NOTED OTHERWISE, REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318. UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318. UNLESS NOTED OTHERWISE, REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE LATEST EDITION OF ACI 318.
 - UNLESS NOTED OTHERWISE, CONCRETE COVER FOR REINFORCEMENT SHALL BE AS FOLLOWS:

FOR SLABS:	2"
FOR BEAMS:	2"
FOR COLUMNS:	2"
FOR WALLS:	2"
 - CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR CONCRETE.
 - ALL SLABS SHALL BE CAST ON FORMS. ALL WALLS SHALL BE CAST ON FORMS. ALL BEAMS SHALL BE CAST ON FORMS. ALL COLUMNS SHALL BE CAST ON FORMS. ALL JOINTS SHALL BE CAST ON FORMS.
 - UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
 - CONSTRUCTION JOINTS SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR CONCRETE.
 - REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR REINFORCEMENT.
 - ALL REINFORCEMENT SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR REINFORCEMENT.
 - CONSTRUCTION JOINTS SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR CONCRETE.
 - UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
 - THE RESULT OF CONCRETE STRENGTH TEST SHALL BE MADE AVAILABLE AT JOB SITE FOR REVIEW BY INSPECTOR.

- EXTERIOR WALLS:**
- EXTERIOR WALLS SHALL BE CONSTRUCTED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR EXTERIOR WALLS.
 - CONCRETE SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR CONCRETE.
 - UNLESS NOTED OTHERWISE, ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE. ALL CONCRETE SHALL BE CAST IN PLACE.
 - CONSTRUCTION JOINTS SHALL BE PLACED IN ACCORDANCE WITH THE DESIGNER'S SPECIFICATIONS FOR CONCRETE.
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 - THE RESULT OF CONCRETE STRENGTH TEST SHALL BE MADE AVAILABLE AT JOB SITE FOR REVIEW BY INSPECTOR.

ABBREVIATIONS

AB	ANCHOR BOLT
AFR	ANCHOR FISHED FLOOR
ALT	ALTERNATE
AMCI	AMERICAN CONCRETE INSTITUTE
ASST	AMERICAN SOCIETY FOR TESTING AND MATERIALS
ASTM	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASCI	AMERICAN INSTITUTE OF STEEL CONSTRUCTION
ASCE	AMERICAN SOCIETY OF CIVIL ENGINEERS
ASCE 7-10	MINIMUM DESIGN LOADS AND OTHER CRITICAL REQUIREMENTS FOR BUILDINGS AND OTHER STRUCTURES
ASCI 318	CONCRETE STRUCTURAL DESIGN CODE
ASCI 308	CONCRETE STRUCTURAL DESIGN CODE
ASCI 309	CONCRETE STRUCTURAL DESIGN CODE
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ASCI 395	CONCRETE STRUCTURAL DESIGN CODE
ASCI 396	CONCRETE STRUCTURAL DESIGN CODE
ASCI 397	CONCRETE STRUCTURAL DESIGN CODE
ASCI 398	CONCRETE STRUCTURAL DESIGN CODE
ASCI 399	CONCRETE STRUCTURAL DESIGN CODE
ASCI 400	CONCRETE STRUCTURAL DESIGN CODE

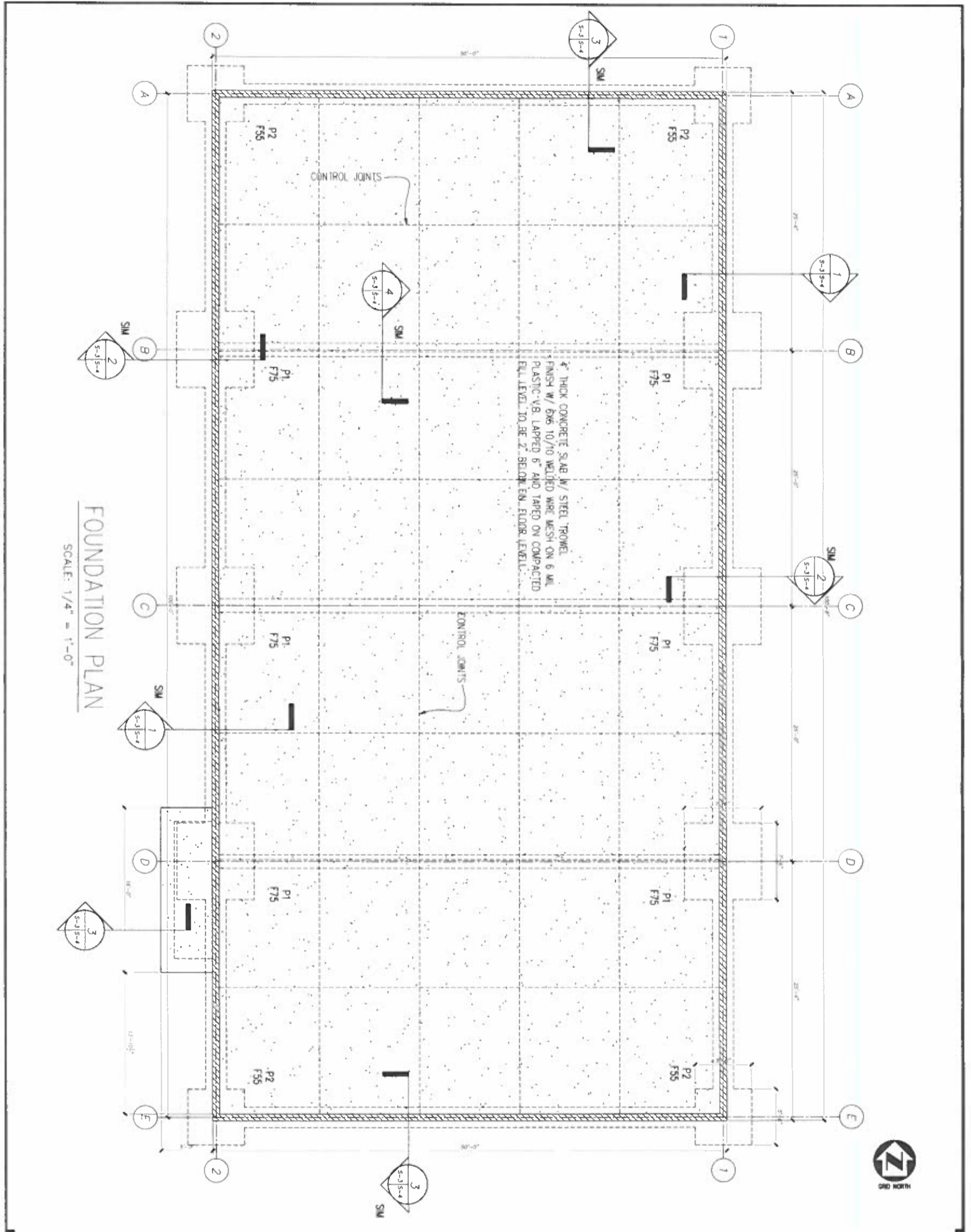


ANTHONY GEORGE, JR. P.E.
1135 HILBURN DRIVE
ATLANTA GA 30316
PHONE: (404) 217-5050 FAX: (404) 217-5051
hgdt@bny.com

NO.	REVISION	DATE
1	ISSUED FOR CONSTRUCTION	03/03/2011
2	AS SHOWN	05/03/2011

GENERAL NOTES AND ABBREVIATIONS

REFUGEE CHURCH
791 WILSON STREET
LAKE CITY, FL 32055



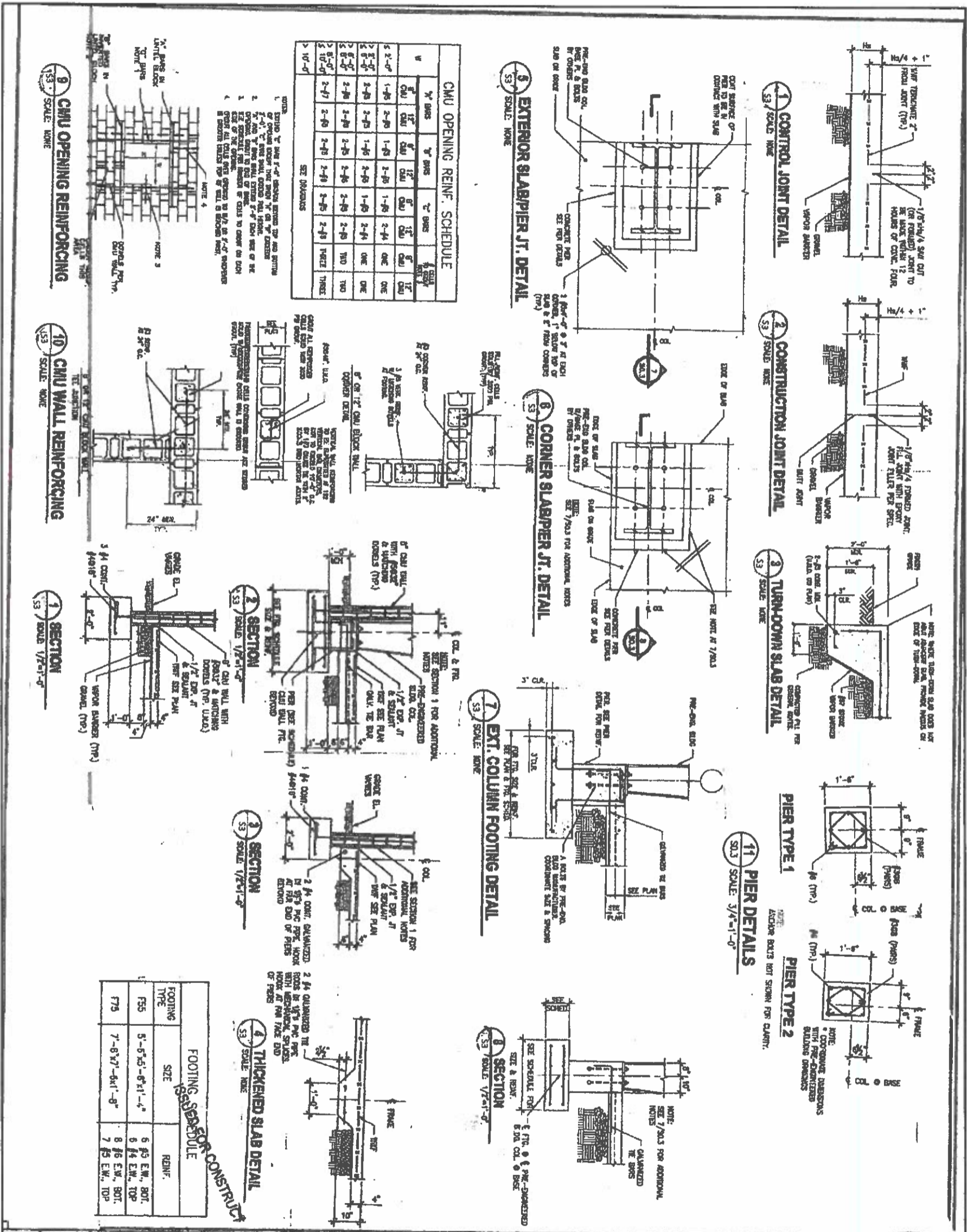
4" THICK CONCRETE SLAB W/ STEEL TROWEL
 FINISH W/ 6x6 10/10 WELDED WIRE MESH ON 6 MIL
 PLASTIC V.B. LAPPED 6" AND TAPERED ON COMPACTED
 FILL LEVEL TO BE 2" BELOW FIN. FLOOR LEVEL.

FOUNDATION PLAN
 SCALE: 1/4" = 1'-0"



Handwritten notes:
 17
 12/18/20

PROJECT NO. SHEET 14 OF 28 S3.0 ANTHONY GEORGE JR PE CONSULTING ENGINEER, LLC 1138 WILSON STREET LAKE CITY, FL 32055 PHONE (407) 701-1000 FAX (407) 701-500 anthony@agj.com	DESIGNED BY A. G.	DATE 4/5/2021	REVISION AS SHOWN	BY A. G.	FOUNDATION PLAN REFUGEE CHURCH 791 WILSON STREET LAKE CITY, FL 32055
	CHECKED BY A. G.	DATE	REVISION	BY	



SHEET 11 of 28 S4.0 ANTHONY GEORGE JR PE 1321 WILSON STREET LAKE CITY, FL 32025 PROJECT NO. _____ DATE _____ REVISION _____ STRUCTURAL DETAILS REFUGEE CHURCH 791 WILSON STREET LAKE CITY, FL 32055		15 of 25 14 of 26 13 of 27
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Project Summary

Project Name: Refuge Church

Project Number: SPR23-08

Parcel Number: 11428-001

Project Notes

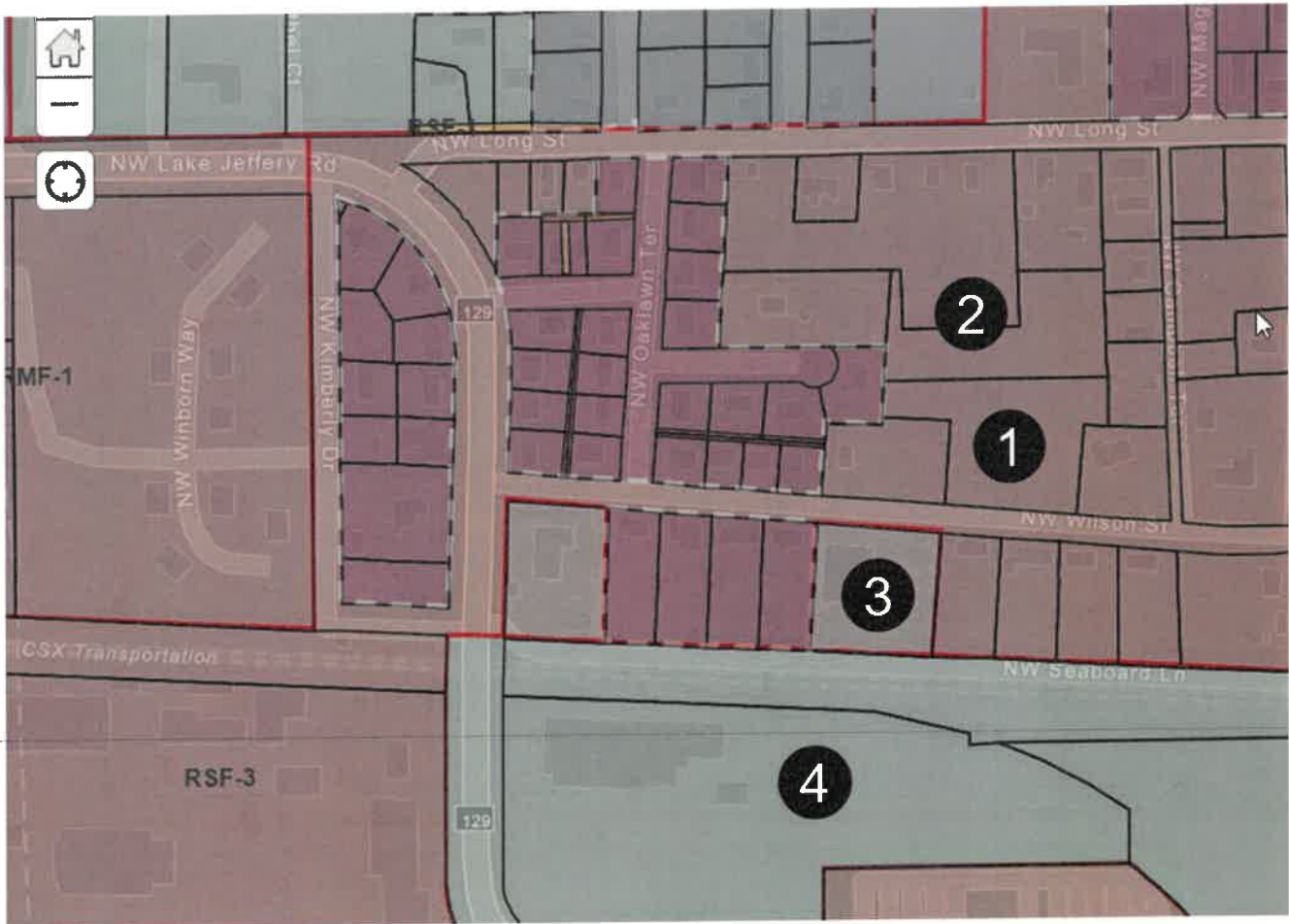
- Project type: Site Plan Review
- Future land use is: Commercial
- Zoning designation is: Commercial General
- Proposed use of the property: New construction of Refuge Church
- Land is conducive for use: Yes, per the LDR section 4.5
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR23-08 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.

Refuge Church

Site Plan Review



1 Proposed Site for Refuge Church
-Parcel 11428
-Zoning is RSF-3
-FLU is Residential Medium

2 Residential Single Family 3
Zoning District

3 Commercial Neighborhood
Zoning District

4 Industrial Zoning District



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 3/3/23

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR23-08

Project Name: Refuge Church of Our Lord Jesus Christ

Project Address: 729 NW Wilson Street

Project Parcel Number: 11428-001

Owner Name: Don Shaw

Owner: Address: 729 NW Wilson St, Lake City, FL 32055

Owner Contact Information: telephone number 386-623-2643 e-mail dshaw266@gmail.com

Owner Agent Name: Anthony George, JR

Owner Agent Address: 395 NE Fronie Street, Lake City, FL 32055

Owner Agent Contact Information: telephone 4042125050 e-mail hgdatlanta@yahoo.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: *Robert Angelo* _____

Comments: _____

Business License: Approve Disapprove Reviewed by: *Marshall Sova*
Marshall Sova (Mar 3, 2023 14:24 EST)

Comments: **Will need to apply for a business license**

Code Enforcement: Approve Disapprove Reviewed by: *Marshall Sova*
Marshall Sova (Mar 3, 2023 14:24 EST)

Comments: **No open cases**

Permitting: Approve Disapprove Reviewed by: *Ang Jara*

Comments: **no issues**

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by Michael L. Osborn Jr.
Michael L. Osborn Jr. (Mar 6, 2023 08:09 EST)

Comments: Make sure proper backflow device is installed and inspected before final.

Sewer Department: Approved Disapproved Reviewed by Cody Pridgeon
Cody Pridgeon (Mar 6, 2023 07:23 EST)

Comments: No issues

Gas Department: Approved Disapproved Reviewed by Steve Brown
Steve Brown (Mar 6, 2023 09:07 EST)

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by Brian Scott
Brian Scott (Mar 6, 2023 08:36 EST)

Comments: _____

Customer Service: Approved Disapproved Reviewed by Shasta Pelham
Shasta Pelham (Mar 13, 2023 13:07 EDT)

Comments: A tap application will need to be submitted. The tap fees, impact fees and utility deposit will be calculated upon approval of the tap application. Locates must be obtained to ensure that the existing utility infrastructure is not damaged or obstructed.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by Steve Brown
Steve Brown (Mar 6, 2023 09:07 EST)

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Dwight Booger

Comments: No Concerns at this time.

Police Department: Approve Disapprove Reviewed by _____

Comments: _____

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.

File Attachments for Item:

v. SPR23-09, Petition submitted by Ben Johnson (agent) for Home Depot USA, Inc (owner), for a Site Plan Review for Home Depot Tool Rental, in the Commercial Intensive Zoning District, and located on Parcel 02640-000, which is regulated by the Land Development Regulations section 4.13.



GROWTH MANAGEMENT
 205 North Marion Ave.
 Lake City, FL 32055
 Telephone: (386)719-5750
 E-Mail:
 growthmanagement@lcfla.com

FOR PLANNING USE ONLY
 Application # _____
 Application Fee: **\$200.00**
 Receipt No. _____
 Filing Date _____
 Completeness Date _____

Site Plan Application

A. PROJECT INFORMATION

1. Project Name: #6864 Lake City - Home Depot USA, Inc. _____
2. Address of Subject Property: 215 SW Home Depot Dr. Lake City, FL 32025 _____
3. Parcel ID Number(s): 01-4S-16-02640-000 _____
4. Future Land Use Map Designation: N/A _____
5. Zoning Designation: C/I _____
6. Acreage: 25.19 _____
7. Existing Use of Property: Home improvement store _____
8. Proposed use of Property: 852sqft of fenced enclosure and 19 reserved parking stalls for LFE rental. _____
9. Type of Development (Check All That Apply):
 - Increase of floor area to an existing structure: Total increase of square footage N/A _____
 - New construction: Total square footage N/A _____
 - Relocation of an existing structure: Total square footage _____

B. APPLICANT INFORMATION

1. Applicant Status Owner (title holder) Agent
2. Name of Applicant(s): Ben Johnson _____ Title: _____
 Company name (if applicable): Kimley-Horn & Associates _____
 Mailing Address: 445 24th St Suite 200 _____
 City: Vero Beach _____ State: FL _____ Zip: 32960 _____
 Telephone: (772) 794-4098 _____ Fax: (_____) _____ Email: Ben.Johnson@kimley-horn.com _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

3. If the applicant is agent for the property owner*.
 - Property Owner Name (title holder): Home Depot USA, Inc. _____
 - Mailing Address: 2455 Paces Ferry Rd _____
 - City: Atlanta _____ State: GA _____ Zip: 30339 _____
 - Telephone: (470) 776-5086 _____ Fax: (_____) _____ Email: _____

PLEASE NOTE: Florida has a very broad public records law. Most written communications to or from government officials regarding government business is subject to public records requests. Your e-mail address and communications may be subject to public disclosure.

***Must provide an executed Property Owner Affidavit Form authorizing the agent to act on behalf of the property owner.**

C. ADDITIONAL INFORMATION

1. Is there any additional contract for the sale of, or options to purchase, the subject property?

If yes, list the names of all parties involved: N/A

If yes, is the contract/option contingent or absolute: Contingent Absolute

2. Has a previous application been made on all or part of the subject property? Yes No

Future Land Use Map Amendment: Yes No N/A

Future Land Use Map Amendment Application No. N/A

Site Specific Amendment to the Official Zoning Atlas (Rezoning): Yes No N/A

Site Specific Amendment to the Official Zoning Atlas (Rezoning) Application No. N/A

Variance: Yes No N/A

Variance Application No. N/A

Special Exception: Yes No N/A

Special Exception Application No. N/A

D. ATTACHMENT/SUBMITTAL REQUIREMENTS

1. Vicinity Map – Indicating general location of the site, abutting streets, existing utilities, complete legal description of the property in question, and adjacent land use.
2. Site Plan – Including, but not limited to the following:
 - a. Name, location, owner, and designer of the proposed development.
 - b. Present zoning for subject site.
 - c. Location of the site in relation to surrounding properties, including the means of ingress and egress to such properties and any screening or buffers on such properties.
 - d. Date, north arrow, and graphic scale not less than one inch equal to 50 feet.
 - e. Area and dimensions of site (Survey).
 - f. Location of all property lines, existing right-of-way approaches, sidewalks, curbs, and gutters.
 - g. Access to utilities and points of utility hook-up.
 - h. Location and dimensions of all existing and proposed parking areas and loading areas.
 - i. Location, size, and design of proposed landscaped areas (including existing trees and required landscaped buffer areas).
 - j. Location and size of any lakes, ponds, canals, or other waters and waterways.
 - k. Structures and major features fully dimensioned including setbacks, distances between structures, floor area, width of driveways, parking spaces, property or lot lines, and percent of property covered by structures.
 - l. Location of trash receptacles.
 - m. For multiple-family, hotel, motel, and mobile home park site plans:
 - i. Tabulation of gross acreage.
 - ii. Tabulation of density.
 - iii. Number of dwelling units proposed.
 - iv. Location and percent of total open space and recreation areas.
 - v. Percent of lot covered by buildings.

- vi. Floor area of dwelling units.
 - vii. Number of proposed parking spaces.
 - viii. Street layout.
 - ix. Layout of mobile home stands (for mobile home parks only).
3. Stormwater Management Plan—Including the following:
 - a. Existing contours at one foot intervals based on U.S. Coast and Geodetic Datum.
 - b. Proposed finished elevation of each building site and first floor level.
 - c. Existing and proposed stormwater management facilities with size and grades.
 - d. Proposed orderly disposal of surface water runoff.
 - e. Centerline elevations along adjacent streets.
 - f. Water management district surface water management permit.
 4. Fire Department Access and Water Supply Plan: The Fire Department Access and Water Supply Plan must demonstrate compliance with Chapter 18 of the Florida Fire Prevention Code, be located on a separate signed and sealed plan sheet, and must be prepared by a professional fire engineer licensed in the State of Florida. The Fire Department Access and Water Supply Plan must contain fire flow calculations in accordance with the Guide for Determination of Required Fire Flow, latest edition, as published by the Insurance Service Office (“ISO”) and/or Chapter 18, Section 18.4 of the Florida Fire Prevention Code, whichever is greater.
 5. Concurrency Impact Analysis: Concurrency Impact Analysis of impacts to public facilities. For commercial and industrial developments, an analysis of the impacts to Transportation, Potable Water, Sanitary Sewer, and Solid Waste impacts are required.
 6. Comprehensive Plan Consistency Analysis: An analysis of the application’s consistency with the Comprehensive Plan (analysis must identify specific Goals, Objectives, and Policies of the Comprehensive Plan and detail how the application complies with said Goals, Objectives, and Policies).
 7. Legal Description with Tax Parcel Number (In Word Format).
 8. Proof of Ownership (i.e. deed).
 9. Agent Authorization Form (signed and notarized).
 10. Proof of Payment of Taxes (can be obtained online via the Columbia County Tax Collector’s Office).
 11. Fee. The application fee for a Site and Development Plan Application is \$200.00. No application shall be accepted or processed until the required application fee has been paid.

NOTICE TO APPLICANT

All eleven (11) attachments are required for a complete application. Once an application is submitted and paid for, a completeness review will be done to ensure all the requirements for a complete application have been met. If there are any deficiencies, the applicant will be notified in writing. If an application is deemed to be incomplete, it may cause a delay in the scheduling of the application before the Planning & Zoning Board.

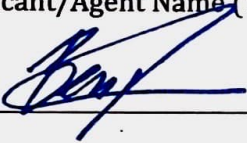
A total of ten (10) copies of proposed site plan application and all support materials must be submitted along with a PDF copy on a CD. See City of Lake City submittal guidelines for additional submittal requirements.

THE APPLICANT ACKNOWLEDGES THAT THE APPLICANT OR AGENT MUST BE PRESENT AT THE PUBLIC HEARING BEFORE THE PLANNING AND ZONING BOARD, AS ADOPTED IN THE BOARD RULES AND PROCEDURES, OTHERWISE THE REQUEST MAY BE CONTINUED TO A FUTURE HEARING DATE.

I hereby certify that all of the above statements and statements contained in any documents or plans submitted herewith are true and accurate to the best of my knowledge and belief.

Benjamin Johnson

Applicant/Agent Name (Type or Print)



3/2/2023

Applicant/Agent Signature

Date

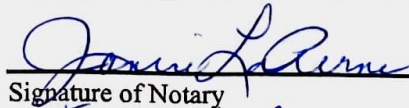
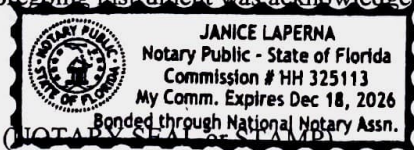
Applicant/Agent Name (Type or Print)

Applicant/Agent Signature

Date

STATE OF FLORIDA
COUNTY OF Indian River

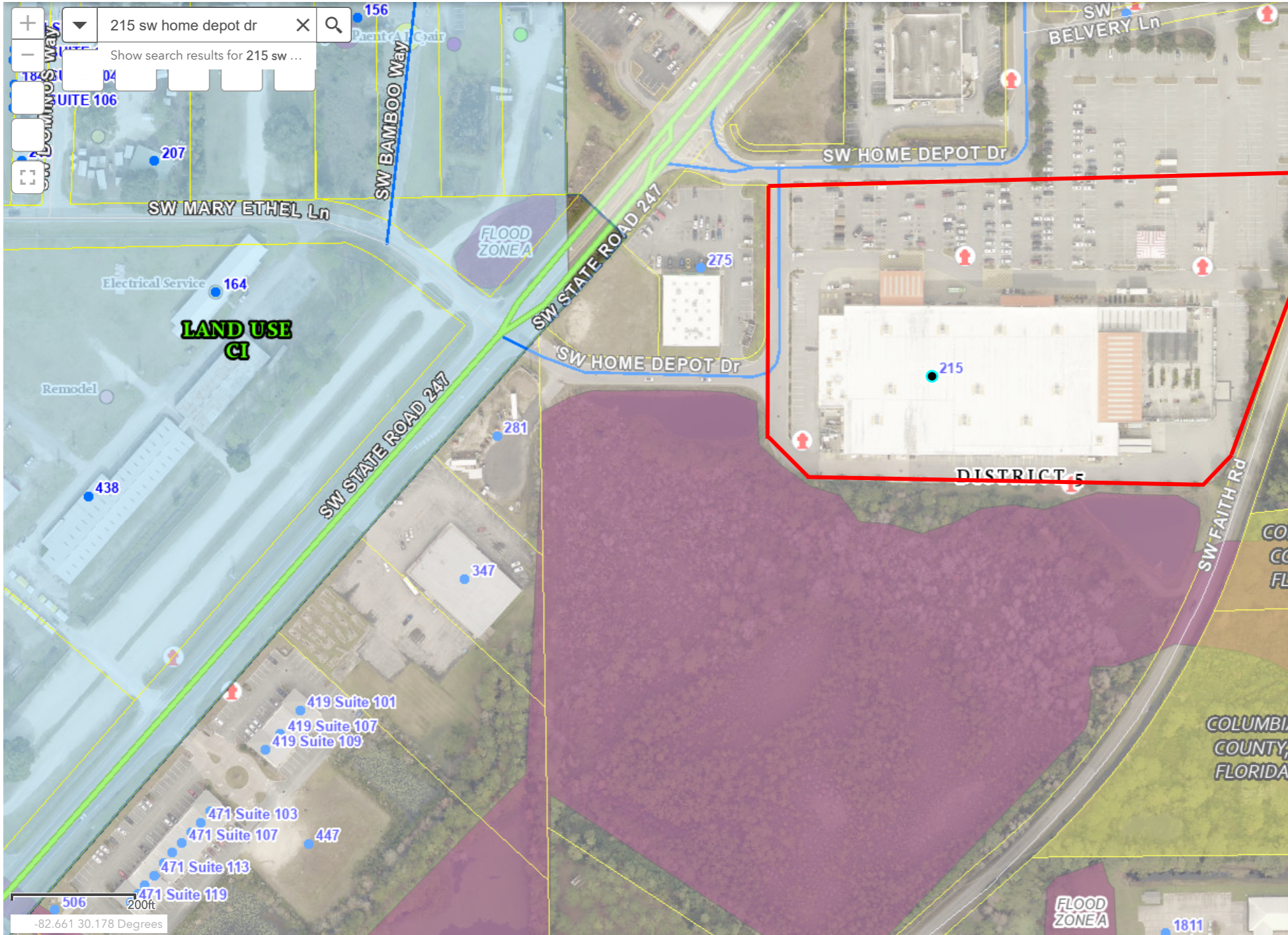
The foregoing instrument was acknowledged before me this 2nd day of March, 2023, by (name of person acknowledging).



Signature of Notary

Janice Laperne
Printed Name of Notary

Personally Known OR Produced Identification
Type of Identification Produced



Selection Details

Select Feature(s) in the map

Address Search: 215 SW HOME DEPOT DR

Id	23,269.00
Type	ADDRESS
Name	215 SW HOME DEPOT DR
SearchName	215 HOME DEPOT
Description	
RoadName	SW HOME DEPOT DR
Intersection	
District	5
ParcelNo	01-4S-16-02640-000
OwnerName	HOME DEPOT USA INC
StatePlaneX	2,547,942.53
StatePlaneY	432,940.38
geom	
HouseNum	215
AlternateNames	
WhenEntered	May 31, 2017
Note	
IsDeleted	0
GraderZone	Grader Zone 8
SubdivisionName	WESTWOOD PARK
RoadClass	
SurfaceMaterial	
IsFtWhite	0
IsLakeCity	1
SourceEPSG	2,238
Latitude	-82.67
Longitude	30.18
PriorDistrict	5
FacilityName	
ESRI_OID	154

[Zoom to](#) [Clear Selected](#)

COMM AT NW COR OF NE1/4, RUN E 203.55 FT TO E R/W LINE SR-247 FOR POB, RUN S 41 DG W ALONG R/W, 293.10 FT, S 796.39 FT, S 57 DG E 518.16 FT TO W R/W SW FAITH RD, N 48 DG E ALONG R/W 330.84 FT TO PT OF CURVE, NE ALONG CRV, 738.13 FT, CONT NE 518.15 FT TO N LINE OF SEC, RUN W ALONG SEC LINE TO POB. ORB 900-1178 THRU 1186, PROB # 05-250CP 1070-2376 THRU 2390, DC 1075-1608(W L SUMMERS), QC 1075-1591, WD 1075-1596, QC 1075-1612 & EX 1.68 AC AS DESC ORB 1130-2391

014S16-02640-000

This instrument prepared by and to be returned to:
CHARLES L. WOOD, ESQ.
HARTMAN, SIMONS, SPIELMAN & WOOD, LLP
6400 Powers Ferry Road NW, Suite 400
Atlanta, Georgia 30339

Property Appraiser's Parcel: 36-3S-16-02637-000

DEED

THIS DEED executed this 7th day of March, 2006 by HOME DEPOT U.S.A., INC., a Delaware corporation, whose mailing address is 2455 Paces Ferry Road, Atlanta, Georgia, 30339 (hereinafter Grantor), to the CITY OF LAKE CITY, FLORIDA, a municipal corporation organized under the laws of the State of Florida, whose mailing address is 205 North Marion Avenue, Lake City, Florida 32055 (hereinafter Grantee).

WITNESSETH:

That the said Grantor, for and in consideration of the sum of TEN AND NO/100 DOLLARS (\$10.00), in hand paid by the said Grantee, the receipt whereof is hereby acknowledged, does hereby remise, release and quit-claim unto the said Grantee forever, all the right, title, interest, claim and demand which the said Grantor has in and to the following described lot, piece or parcel of land, situate, lying and being in the County of Columbia, State of Florida, to wit:

Commence at the southeast corner of Section 36, Township 3 South, Range 16 East, Columbia County, Florida and run thence S 86°16'00" W, along the south line of said Section 36, 1388.99 feet to the west right-of-way of SW Faith Road (Old Troy Road); thence N 16°54'55" E, along said west right-of-way, 287.24 feet to the Point of Beginning; thence continue N 16°54'55" E, along said west right-of-way, 30.00 feet to the south right-of-way of Beverly Drive (also known Bevelry Drive); thence S 78°53'50" W, along said south right-of-way, 40.00 feet; thence S 55°28'18" E, 37.05 feet to the Point of Beginning. Said lands contain 530 square feet, more or less.

SUBJECT TO all restrictions, easements and reservations of record.

TO HAVE AND TO HOLD the same together with all and singular the appurtenances thereunto belonging or in anywise appertaining, and all the state, right, title, interest, lien, equity and claim whatsoever of the said Grantor, either in law or in equity, to the only proper use, benefit and behoof of the said Grantee forever.

SIGNATURES APPEAR ON THE FOLLOWING PAGE

IN WITNESS WHEREOF, the said Grantor has signed and sealed these presents the day and year first above written.

Signed, sealed and delivered
in the presence of:

HOME DEPOT U.S.A., INC., a Florida
corporation

MAR 07 2006

Z. Melanie Yung
Witness **Z. Melanie Yung**

By: Jeff Israel
Print/type name: **Jeff Israel**
Title: **Director - Legal**

Print/type name
Leah Rick
Witness Leah Rick
Print/type name

STATE OF GEORGIA

COUNTY OF COBB

The foregoing instrument was acknowledged before me this 7th day of March, 2006, by Jeff Israel as Director Legal, of HOME DEPOT U.S.A., INC., a Georgia corporation, for and on behalf of Grantor, who is personally known to me and who did/did not take an oath.



Roudy Louis
Notary Public

Roudy Louis
Print/type Name

My Commission Expires: Feb. 5, 2010

(NOTARIAL SEAL)

APPROVED AS TO FORM AND LEGALITY

By: _____
Herbert F. Darby, City Attorney



GROWTH MANAGEMENT DEPARTMENT
 205 North Marion Ave, Lake City, FL 32055
 Phone: 386-719-5750
 E-mail: growthmanagement@lcfla.com

AGENT AUTHORIZATION FORM

I, Home Depot U.S.A., Inc (owner name), owner of property parcel

number 1-4S-16-02640-000 (parcel number), do certify that

the below referenced person(s) listed on this form is/are contracted/hired by me, the owner, or, is an officer of the corporation; or, partner as defined in Florida Statutes Chapter 468, and the said person(s) is/are authorized to sign, speak and represent me as the owner in all matters relating to this parcel.

Printed Name of Person Authorized	Signature of Authorized Person
1. Ben Johnson	1.
2.	2.
3.	3.
4.	4.
5.	5.

I, the owner, realize that I am responsible for all agreements my duly authorized agent agrees with, and I am fully responsible for compliance with all Florida Statutes, City Codes, and Land Development Regulations pertaining to this parcel.

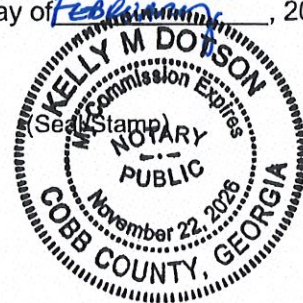
If at any time the person(s) you have authorized is/are no longer agents, employee(s), or officer(s), you must notify this department in writing of the changes and submit a new letter of authorization form, which will supersede all previous lists. Failure to do so may allow unauthorized persons to use your name and/or license number to obtain permits.

February 28th 2023
 Owner Signature (Notarized) Date

NOTARY INFORMATION:
 STATE OF: GEORGIA COUNTY OF: COBB

The above person, whose name is JOHN CARESSNASE, personally appeared before me and is known by me or has produced identification (type of I.D.) _____ on this 28th day of February, 2023.

NOTARY'S SIGNATURE



Project Summary

Project Name: Home Depot Tool Rental

Project Number: SPR23-09

Parcel Number: 02640-000

Project Notes

- Project type: Site Plan Review
- Future land use is: Commercial
- Zoning designation is: Commercial General
- Proposed use of the property: New construction of Home Depot Tool Rental
- Land is conducive for use: Yes, per the LDR section 4.13.2.2
- See staff review for notes from directors and city staff for their comments.

Project Summary

Project SPR23-09 is for a site plan review and has been reviewed by city staff. Application is sufficient for review. After review of the petition the city staff has determined that the petition is consistent with the land development regulations and the comprehensive plan. At this time the City has no concerns.

Home Depot Tool Rental

Site Plan Review



1 Proposed site for Home Depot Tool Rental
-Commercial Intensive zoning district
-FLU is Commercial

2 Commercial General zoning district

3 Current location of Speedy Equipment Rental

4 Residential Multi-Family 1 zoning district



DEPARTMENT OF GROWTH MANAGEMENT
205 North Marion Avenue
Lake City, Florida 32055
Telephone: (386) 719-5750
growthmanagement@lcfla.com

REVIEW REPORT TO PLANNING AND ZONING, BOARD OF ADJUSTMENT AND
HISTORICAL COMMITTEES' BY STAFF
FOR SITE PLAN REVIEW, SPECIAL EXCEPTIONS, VARIANCES, COMPREHENSIVE
PLAN AMENDMENTS/ ZONING AND CERTIFICATE OF APPROPRIATENESS

Date: 3/3/23

Request Type: Site Plan Review (SPR) Special Exception (SE) Variances (V)

Comprehensive Plan Amendment/Zoning (CPA/Z) Certificate of Appropriateness (COA)

Project Number: SPR23-09

Project Name: Home Depot Tool Rental

Project Address: 215 SW Home Depot Dr, Lake City, FL 32025

Project Parcel Number: 02640-000

Owner Name: Home Depot USA, Inc.

Owner: Address: 2455 Paces Ferry Rd, Atlanta, GA 30339

Owner Contact Information: telephone number 470-776-5086 e-mail _____

Owner Agent Name: Ben Johnson

Owner Agent Address: 445 24th St Suite 200, Vero Beach, FL 32960

Owner Agent Contact Information: telephone 772-794-4098 e-mail ben.johnson@kimley-horn.com

The City of Lake City staff has reviewed the application and documents provided for the above request and have determined the following:

Growth Management – Building Department, Planning and Zoning, Code Enforcement, Permitting

Building Department: Approved Disapproved Reviewed by: _____

Comments: _____

Planning and Zoning: Approve Disapprove Reviewed by: Robert Angelo

Comments: Land is conducive per land development regulations section 4.13.2.1 and 2
Land is conducive per land development regulations section 4.13.2.1 and 2

Business License: Approve Disapprove Reviewed by: Marshall Sova
Marshall Sova (Mar 3, 2023 14:39 EST)

Comments: No issues

Code Enforcement: Approve Disapprove Reviewed by: Marshall Sova
Marshall Sova (Mar 3, 2023 14:39 EST)

Comments: No open cases

Permitting: Approve Disapprove Reviewed by: Angela

Comments: no issues

Utilities – Water, Sewer, Gas, Water Distribution/Collections, Customer Service

Water Department: Approved Disapproved Reviewed by Michael L. Osborn Jr.
Michael L. Osborn Jr. (Mar 6, 2023 08:07 EST)

Comments: No Issues

Sewer Department: Approved Disapproved Reviewed by Cody Pridgeon
Cody Pridgeon (Mar 6, 2023 07:24 EST)

Comments: No issues

Gas Department: Approved Disapproved Reviewed by Steve Brown
Steve Brown (Mar 6, 2023 09:06 EST)

Comments: _____

Water Distribution/Collection: Approved Disapproved Reviewed by Brian Scott
Brian Scott (Mar 6, 2023 08:33 EST)

Comments: Utilties are private, they will need to locate there water and sewer, we only maintain the meters

Customer Service: Approved Disapproved Reviewed by Shasta Pelham
Shasta Pelham (Mar 13, 2023 13:16 EDT)

Comments: Utility impact fees for retail spaces are based on fixture units. A floor plan is required in order to properly assess the impact fees. Locates must be obtained to ensure that the existing utility infrastructure is not damaged or obstructed.

Public Safety – Public Works, Fire Department, Police Department

Public Works: Approved Disapproved Reviewed by: Steve Brown
Steve Brown (Mar 6, 2023 09:06 EST)

Comments: _____

Fire Department: Approve Disapprove Reviewed by: Dwight Boozer

Comments: No concerns at this time.

Police Department: Approve Disapprove Reviewed by: _____

Comments: _____

Please provide separate pages for comments that will not fit in provided spaces and please label the pages for your department and for the project.