



VILLAGE BOARD MEETING AGENDA

September 23, 2024 at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

All Agenda Items Listed Are for Discussion and Possible Action

1. CALL MEETING TO ORDER

- A. Pledge of Allegiance
- B. Roll Call

2. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

3. REPORTS FROM STAFF AND VENDORS

- [C.](#) Community Development Director Report
- [D.](#) Director of Public Works and Utilities Report
- [E.](#) Treasurer's Report

4. OLD BUSINESS

- [F.](#) August 26, 2024, Village Board Meeting Minutes

5. NEW BUSINESS

- [G.](#) TID No. 2 Project Plan
- [H.](#) Resolution No: 2024-015; Resolution Providing for the Sale of Approximately \$7,855,000 General Obligation Promissory Notes, Series 2024B
- [I.](#) Reconstruction of Kronenwetter Drive North
- [J.](#) Ambulance Purchase Contract Recommendation
- [K.](#) Marathon County Recycling Agreement
- [L.](#) Village of Kronenwetter 2024-25 Municipal Property Insurance Company (MPIC) Premium Renewal
- [M.](#) ORDINANCE NO: 24-06. Article VII. Floodplain Overlay Zoning Districts. Chapter 520 Zoning. Repeal and recreate Chapter(s) 520-40 through 520-49 and Replace with Chapter 520 Sections 1.0 through 10.0.
- [N.](#) Revision of Policy FIN-006 Disposal of Surplus Property

6. CONSENT AGENDA

- [O.](#) September 09, 2024, Village Board Meeting Minutes

7. PREVIOUS MEETING MINUTES FROM COMMISSIONS AND COMMITTEES

- [P.](#) September 10, 2024 Ambulance Subcommittee Meeting Minutes

8. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

9. ADJOURNMENT

NOTE: Upon reasonable notice, efforts will be made to accommodate the needs of disabled individuals through appropriate aids and services. For additional information or to request service, contact the clerk's office, 1582 Kronenwetter Drive WI 54455 (715) -692-1728

**Posted: 09/20/2024 Kronenwetter Municipal Center and _
Faxed: WAOW, WSAU, City Pages, Mosinee Times | Emailed: Wausau Daily Herald, WSAW, WAOW, Mosinee Times, Wausau Pilot and Review, City Pages**

Community Development/Planning and Zoning Director Report

September 23, 2024

Peter S. Wegner, Community Development/Planning and Zoning Director

- Preliminary Rezone and CSM Hwy 153.
- REI CSM WPS and Wausau Homes.
- Vreeland CSM Relocation of Boundary.
- Complaints/Enforcement.
- Movie Under the Stars.
- Drive South Portion and Local Roads.
- Oak Wilt Correspondence.
- To Do List New DPW Director.
- Resolution Development Agreement.
- Ordinance Amendment Rezone.
- Floodplain Ordinance Revisions/Schedule Public Hearing.
- Storm Water Plans Revisions 1260 Kowalski Road.
- Research 520-26 D. Nonmetallic Mineral Extraction.
- Research NR 135 Nonmetallic Mining Reclamation.
- AT&T Water Tank Cell Tower Lease Agreement.
- Research Storm Sewer mapping along Tower Road (REI).
- Meeting with Golden Ponds Association.
- Research 520-23 Commercial Land Use Types. K. Outdoor Commercial Entertainment.
- Research 520-27 Accessory and Miscellaneous Land Use Types. N. Outdoor Alcohol Area.
- Research 520-28 Temporary Land Use Types. C. Outdoor Assembly or Special Event.
- Research 520-122 Temporary Use Reviews
- Meeting with American Asphalt and Mathy Construction.
- Floodplain Ordinance Amendment 24-06.
- UDC compliance Greenwood Road.
- Bug Tussel Wireless - Permit to Excavate, Fill or Place Objects in Public ROW.
- Meeting with Pinno Buildings re: Creative Forward Services project.
- Project Plan Amendment Tax Incremental District No. 2.
- Joint Review Board and RDA meetings.
- Review Conditional Use Permit language.
- Meeting with Commonwealth Development Corporation.
- Meeting with RPS regarding TID 2 Projects.



Report to Village Board

Item Name: Director of Public Works and Utilities Report

Meeting Date: September 23, 2024

Referring Body:

Committee Contact:

Staff Contact: Greg Ulman

Report Prepared by: Greg Ulman

- I am finalizing the DNR Recycling Grant application with is due October 1st
- We received a complaint from a resident who lives on Cty Rd XX about heavy minerals in their water. We flushed the line which dead ends on Cty Rd XX to rid the end of the line from buildup. I asked the resident to let me know if the buildup continues even after we flush the line and they have not responded to me of a continuing problem.
- We have our fall hydrant flushing scheduled to start on September 16 and conclude on October 3
- I am sitting down with our leads and finalizing our 2025 Public Works and Utilities budget as well as a 5 year CIP plan.
- After a dry stretch for the past many weeks we are rising the Golden Pond Condominium back to it's normal level, after a meeting with the condo association as well as Village staff.
- Staff is finalizing the 2024 street projects before the weather turns cold. Projects include shoulder work, crack sealing, and line painting.
- Staff repaired the fence at the dog park after a few metal ties were broken.
- The ADA accessible push button is being installed at the front entrance.
- I am working on a cost anyalsts of a new sewer truck.
- In the coming weeks the roofing company who installed the new roof at the fire station tower will return to fix the rubber membrane which isn't adhearing to the surface.
- Staff is working closely with engineers to ensure the completion of the new filtration plant in November.
- Staff is reconstructing the tennis court poles at friendship park in October to prevent the lean of said poles.
- Researching grant funding for future projects for our Village parks though Wisconsin Parks and Recreation Association.
- Currently updating our sealcoat map for the Village to reflect future years.



REPORT TO VB

ITEM NAME:	Treasurer's Report
MEETING DATE:	9/23/24
PRESENTING COMMITTEE:	VB
COMMITTEE CONTACT:	
STAFF CONTACT:	Lisa Kerstner
PREPARED BY:	Lisa Kerstner

- Entering 2023 audit entries, working on wrapping up the 2023 audit.
- Reviewing 2023 audit and verifying that the accounting software is balanced to the 2023 audit.
- Working on verifying current numbers are correct.
- Prepare for meetings, putting agendas and packet material together – CLIPP, UC, RDA, JRB, VB, APC.
- Working with staff & Ehlers to have posting in the paper for TID 2 affidavit.
- Working on the Budget and meeting with department heads and committees.
- Working on the 2025 draft budget spreadsheet.
- Working with RPS on TID 2 projects including Kronenwetter Drive North.
- Working with Ehlers on TID 2 amendment and discussing financing options.
- Working with RPS and Ehlers on the project plan and putting information together.
- Getting updates from RPS on LS 2, LS 6 and TID projects.
- Getting updates from Becher Hoppe Water Filtration Project.
- Completed Construction Progress Reporting Survey with Greg.
- Working on August Bank Reconciliations.
- Attending seminars for additional training and knowledge.



VILLAGE BOARD MEETING MINUTES

August 26, 2024, at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL MEETING TO ORDER

President Chris Voll called the meeting to order at 6:00 PM

A. Pledge of Allegiance

Those in attendance recited the pledge of allegiance

B. Roll Call

PRESENT

Trustee Alex Vedvik

Trustee Chris Eiden

Trustee Kelly Coyle

Trustee Aaron Myszka

Trustee Cindy Lee Buchkowski-Hoffmann

Trustee Ken Charneski

President Chris Voll

STAFF PRESENT

Finance Director Lisa Kerstner

Community Development Director Peter Wegner

Director of Public Works Greg Ulman

Police Chief Terry McHugh

Police Lieutenant Chris Smart

Village Clerk Bobbi Birk-LaBarge

Village Attorney Lee Turonie

2. ANNOUNCEMENT OF CLOSED SESSION

President Chris Voll announced the upcoming closed session

3. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

Bernie Kramer: 2150 E. State Highway 153 Peplin - Kramer expressed support for public comment policies, questioning why the village would remove such a policy. Bernie highlighted his opinion of the village's comprehensive plan goals aligned with seeking participation from all segments of the community, emphasizing the importance of public input.

Guy Fredel: 2240 Ruby Drive Kronenwetter - addressed concerns regarding a charter ordinance in village practices. Fredel emphasized the importance of following legal requirements for charter ordinances, including the necessary approvals and publication times before they become effective, noting the term of

office for the village clerk. It is noted that Fredel gave each board member and the village clerk a handout that contained 3 pages about his discussion.

Tim Shaw: 1225 Autumn Road Kronenwetter - Shaw expressed agreement with Bernie Kramer on the importance of preserving public comment opportunities. Shaw also raised personal concerns about rumors affecting Trustee Charneski's participation, recalling past scenarios where trustees faced participation challenges.

4. REPORTS FROM STAFF AND VENDORS

C. Treasurer’s Report

Finance Director Lisa Kerstner provided updates on completed tasks and presented the June and July financials. The audit was reportedly underway, with a draft expected to be shared soon.

D. Check Register 8/7 - 8/21

The village staff opened the floor for questions regarding the check register, but no errors or discrepancies were brought up.

SPECIAL ORDERS

Riverside Meeting Report

Trustee Charneski and Trustee Eiden shared insights from a positive meeting with Riverside, which included discussions about potential contracts and pricing structures. They mentioned Riverside’s willingness to maintain current rates with a potential long-term agreement and provided drafted proposals for different scenarios. Some board members questioned the process's implications, expressing skepticism over arrangement details and sustainability without board approval from Riverside. Clarifications were sought on contract terms, scenarios, fraud prophylaxis measures, and budget foresight.

5. OLD BUSINESS

E. Resolution No.: 2024-011; Sale of Village-Owned Surplus Personal Property; 2014 Ram 1500 Promaster Cargo Van

Director of Public Works Greg Ulman discussed the future of the Promaster Cargo Van, citing the disinterest of public works and the fire department in utilizing the vehicle. It was emphasized that the vehicle's sale would prevent unnecessary costs.

Motion made by Trustee Charneski, Seconded by Trustee Myszka to authorize the auction of the 2014 Ram ProMaster van.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll

Motion carried 7:0 by roll call

6. NEW BUSINESS

F. Site Plan Application & Submittal Michael Tourville owner of Forward Creative Services 1260 Kowalski Road, Kronenwetter, WI 54455

Director of Community Development Pete Wegner and the board reviewed and discussed a site plan for Forward Creative Services. The plan involved a phased development of buildings, with conditions agreed upon during the Planning Commission's review.

Motion made by Trustee Eiden, Seconded by Trustee Coyle to approve the development agreement between the village and Forward Creative Services for a storage facility.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Charneski, President Chris Voll

Voting Abstaining: Trustee Buchkowski-Hoffmann

Motion carried 6:1 Abstention roll call vote

G. Zoning Change & CSM for Terrance Wadinski

The meeting discussed the zoning change requested from Agricultural Residential (AR) to Rural Residential 5 acres per dwelling unit (RR-5) for a parcel shared on a map. The Planning Commission recommended approval, as similar zoning exists in adjacent areas.

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to approve the zoning change and CSM from AR to RR-5 for Terrance Wadinski.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charnesk. President Chris Voll
Motion carried 7:0 by roll call vote

H. **Contracts for Services - Preston Hallas Contracting, LLC and Security Fence and Supply Co, Inc. for completion of Municipal Park Dugouts**

The discussion addressed miscommunication in the dugout updates scope, resulting in obtaining quotations from different vendors for completion.
Motion made by Trustee Coyle, Seconded by Trustee Eiden to approve contracts with Preston Hallas Contracting and Security Fence to complete the municipal park dugouts.
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll
Motion carried 7:0 by roll call vote

I. **Contract for Service - Northway Communications 2024-2025 Maintenance Contract**

Details regarding a \$125 maintenance contract for tornado sirens with Northway Communications were discussed and subsequently clarified regarding approval protocol.
Motion made by Trustee Coyle, Seconded by Trustee Buchkowski-Hoffmann to approve the 2024-2025 Northway Communications maintenance contract of tornado sirens.
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll.
Motion carried 7:0 by roll call vote

7. **CONSENT AGENDA**

The board unanimously approved the consent agenda which included bartender licenses and minutes from previous board meetings.
Motion made by Trustee Charneski, Seconded by President Chris Voll to approve the consent agenda as presented.
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll
Motion carried 7:0 by voice vote

- J. **Operator's (Bartender's) License - Kristine Morgan**
- K. **July 17, 2024, Village Board Meeting Minutes**
- L. **August 12, 2024, Village Board Meeting Minutes**

8. **PREVIOUS MEETING MINUTES FROM COMMISSIONS AND COMMITTEES**

President Chris Voll thanked the committees for sharing their minutes. The board noted and accepted the minutes without concerns or amendments from previous special and committee meetings.
M. **June 06, 2024, Special Administrative Policy Committee Minutes**
N. **July 18, 2024, Administrative Policy Committee Minutes**

9. **CLOSED SESSION**

Consideration of motion to convene into closed session pursuant to Wis. Stat. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved - to wit Trustee Charneski's lawsuit against the Village, Marathon County case no. 24-CV-33; and Trustee Charneski's Wisconsin Elections Commission Complaint EL 24-26; and Administrator Candidate David Baker's Wisconsin Elections Commission Complaint EL 24-68 and Cease and Desist correspondence to Trustee Charneski and pursuit to Wis. Stat. § 19.85(1)(f) Considering financial, medical, social or personal histories or disciplinary data of specific persons, preliminary consideration of specific personnel problems or the investigation of charges against specific persons except where par. (b) applies which, if discussed in public, would be likely to have a substantial adverse effect upon the reputation of any person referred to in such histories or data, or involved in such problems or investigations - to wit Von Briesen Confidential Investigation Summary and related personnel issues and Potential actions after closed session items listed in agenda item 11 and pursuit to Wis. Stat. 19.85(1)(c) Considering employment, promotion,

compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility to wit employment status of Village Clerk

The board moved into a closed session to discuss litigation and legal advisements and determine strategies related to ongoing or potential legal matters.

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to move into closed session at 6:43 PM

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll

Motion carried 7:0 by roll call vote

President Chris Voll removes the clerk and assigns himself to take closed session minutes

Trustee Ken Charneski recuses himself for items: Trustee Charneski's lawsuit against the Village and the 1st half of the discussion involving Trustee Charneski's Wisconsin Elections Commission Complaint EL 24-26.

President Chris Voll authorizes Municipal Attorney Lee Turonie to remain in closed session

Closed session began at 6:50 PM.

Trustee Charneski returned for closed session agenda items discussion at 8:21 PM.

10. RECONVENE OPEN SESSION

Consideration of motion to reconvene into open session.

Motion made by Trustee Charneski, Seconded by Trustee Vedvik to move into open session at 9:20 PM

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll

Motion carried 7:0 by roll call vote.

Open session began at 9:23 PM

11. ACTION AFTER CLOSED SESSION

Open session began at 9:23 PM

O. Motions regarding the topics of the closed session agenda items.

Motion made by Trustee Vedvik, Seconded by Trustee Coyle to re-appoint clerk Bobbi Birk-LaBarge as village clerk for a new term starting April 15, 2024.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, President Chris Voll

Voting Nay: Trustee Charneski

Voting Abstaining: Trustee Buchkowski-Hoffmann

Motion carries 5:2 by roll call vote with 1 abstention

P. Code of Conduct Ordinance

Resident Dave Baker questioned what is being voted on by the village board

Trustee Myszka amended his first motion to add in section B1 to start with "ANY ELECTED, APPOINTED OFFICIAL, RESIDENT OR EMPLOYEE"

Motion made by Trustee Myszka, Seconded by Trustee Vedvik to approve the code of conduct with amendments.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, President Chris Voll

Voting Nay: Trustee Buchkowski-Hoffmann, Trustee Charneski

Motion carried 5:2 by roll call vote

Q. Revision (Amendment) of Ordinance 153-12; Records

Motion made by Trustee Vedvik, Seconded by Trustee Myszka to amend Ordinance 153-12 to centralize records requests through the clerk.

Voting Yea: Trustee Vedvik, Trustee Coyle, Trustee Myszka, President Chris Voll

Voting Nay: Trustee Eiden, Trustee Buchkowski-Hoffmann, Trustee Charneski

Motion carried 4:3 by roll call

R. Removal of Policy GEN-010-Public Comment - for citizens unable to attend Village Committees, Commissions & Boards

Motion made by Trustee Eiden, Seconded by Trustee Charneski to take no action.

Voting Yea: Trustee Eiden, Trustee Buchkowski-Hoffmann, Trustee Charneski

Voting Nay: Trustee Vedvik, Trustee Coyle, Trustee Myszka, President Chris Voll

Motion failed 4:3 by roll call vote

A second motion was made by Trustee Vedvik, Seconded by Trustee Myszka to send to the Administrative Policy Committee for further review.

Voting Yea: Trustee Vedvik, Trustee Coyle, Trustee Myszka, President Chris Voll

Voting Nay: Trustee Eiden, Trustee Buchkowski-Hoffmann, Trustee Charneski

Motion carried 4:3 by voice vote.

S. Bypass APC to make revisions to Policy GEN-001

Motion made by Trustee Coyle, Seconded by Trustee Myszka to bypass the Administrative Policy Committee to make necessary revisions to policy GEN-001.

Voting Yea: Trustee Vedvik, Trustee Coyle, Trustee Myszka, President Chris Voll

Voting Nay: Trustee Eiden, Trustee Buchkowski-Hoffmann, Trustee Charneski

Motion carried 4:3 by voice vote

T. Revision (Amendment) of Policy GEN-001

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to amend Policy GEN-001 as discussed, including the striking of certain sections.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, President Chris Voll

Voting Nay: Trustee Charneski

Motion carried 6:1 by roll call vote

U. Budget Amendment #8 – Legal Services

Motion by Trustee Coyle, Seconded by discussion to transfer \$30,000 from undesignated funds to cover legal services

Motion made by Trustee Coyle.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, President Chris Voll

Voting Nay: Trustee Charneski

Motion carried 6:1 by roll call vote

12. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

Police dept staffing and capital structure - Trustee Vedvik

13. ADJOURNMENT

Motion made by Trustee Myszka, Seconded by Trustee Charneski to adjourn the meeting at 10:42 PM.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Voll

Motion carried 7:0 by voice vote

Open Session Minutes Prepared by: Clerk Bobbi Birk-LaBarge
Minutes Approved by Village Board on 09/23/2024

Closed Session Village Board Meeting Minutes

	Meeting Date and Time
Date of Meeting:	August 26, 2024

	Meeting Location
Location of Meeting:	Kronenwetter Municipal Center 1582 Kronenwetter Dr Kronenwetter, Wisconsin 54455

	CLOSED SESSION Meeting Attendees
Present at Meeting:	President Chris Voll Trustee Chris Eiden Trustee Cindy Lee Buchkowski-Hoffmann Trustee Ken Charneski Trustee Alex Vedvik Trustee Aaron Myszka Trustee Kelly Coyle Attorney Lee Turonie

The regular meeting of the Village Board of Village of Kronenwetter was called to order at 6:00 PM on August 26, 2024, at Kronenwetter Municipal Center by President Chris Voll.

I. Approval of Closed Session

Consideration of motion to convene into closed session pursuant to Wis. Stat. § 19.85(1)(g) Conferring with legal counsel for the governmental body who is rendering oral or written advice concerning strategy to be adopted by the body with respect to litigation in which it is or is likely to become involved - to wit Trustee Charneski’s lawsuit against the Village, Marathon County case no. 24-CV-33; and Trustee Charneski’s Wisconsin Elections Commission Complaint EL 24-26; and Administrator Candidate David Baker’s Wisconsin Elections Commission Complaint EL 24-68 and Cease and Desist correspondence to Trustee Charneski and **pursuit to Wis. Stat. § 19.85(1)(f) Considering financial, medical, social or personal histories or disciplinary data of specific persons, preliminary consideration of specific personnel problems or the investigation of charges against specific persons except where par. (b) applies which, if discussed in public, would be likely to have a substantial adverse effect upon the reputation of any person referred to in such histories or data, or involved in such problems or investigations** - to wit Von Briesen Confidential Investigation Summary and related personnel issues and Potential actions after closed session items listed in agenda item 11 and **pursuit to Wis. Stat. 19.85(1)(c) Considering employment, promotion, compensation or performance evaluation data of any public employee over which the governmental body has jurisdiction or exercises responsibility** - to wit employment status of Village Clerk

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to move into closed session at 6:43 PM. Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll. Motion carried 7:0 by roll call vote

Closed session began at 6:50 PM.

Items discussed in Closed Session were:

Trustee Charneski's lawsuit against the Village, Marathon County case no. 24-CV-33

Trustee Charneski's Wisconsin Elections Commission Complaint EL 24-26

Cease and Desist correspondence to Trustee Charneski

Von Briesen Confidential Investigation Summary and related personnel issues

Related personnel issues and Potential actions after closed session items listed in agenda item 11

Employment status of Village Clerk

Motion made by Trustee Charneski, Seconded by Trustee Vedvik to move into open session at 9:20 PM.

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, President Chris Voll. Motion carried 7:0 by roll call vote.

Open session began at 9:23 PM

Closes Session Minutes Prepared by: Clerk Bobbi Birk-LaBarge

Approved by Village Board on September 23, 2024

September 23, 2024

PROJECT PLAN AMENDMENT

Village of Kronenwetter, Wisconsin

Tax Incremental District No. 2



Prepared by:

Ehlers
N19W24400 Riverwood Drive,
Suite 100
Waukesha, WI 53188

BUILDING COMMUNITIES. IT'S WHAT WE DO.

KEY DATES

Organizational Joint Review Board Meeting Held:	9/16/2024
Public Hearing Held:	9/16/2024
Approval by RDA:	9/16/2024
Adoption by Village Board:	Scheduled for 9/23/2024
Approval by the Joint Review Board:	Scheduled for 10/8/2024

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SECTION 1: Executive Summary

DESCRIPTION OF DISTRICT

Tax Incremental District (“TID”) No. 2 (“District”) is a Mixed Use District created on November 3, 2004. The District was created to promote the development on the southwest side of the community. The TID was created in an effort to expand the employment base along Interstate 39, the major north/south transportation corridor into Marathon County.

The District was amended:

- On August 30, 2005 for a territory amendment to include the land in the Northeast quadrant of the I-39 interchange and added project costs to the original project plan in the amount of \$800,000.
- On February 23, 2016 for a territory amendment to add 33 parcels, or about 198 acres or 26.9% of real property in the TID No. 2 boundary meets the statutory definition for planning for newly platted residential lots, and add infrastructure improvements of \$2,040,000 beyond what was initially included in the original TID No. 2 Project Plan.
- On June 11, 2019 for a non-territory amendment to allow for the construction of a new bridge crossing on Maple Ridge Road, just east of and within a half-mile of the TID boundary and the reallocation of funds to accurately represent current estimates. Additionally, the purposed of this amendment is to allow TID No. 2 to be a Donor District and allocate surplus increments with a Recipient District under the provisions of Wisconsin Statutes Section 66.1105(6)(f)2. The general purpose of TID No. 2 will not change as a result of this amendment; however, some of the revenue from TID No. 2 will be able to be allocated to projects in TID No. 4 (Recipient, Distressed TID).

Purpose of Amendment

The purpose of this amendment, referred to hereafter as the Plan, the Amendment, or the Plan Amendment, is to:

- Amend the categories, locations or costs of project costs to be made as permitted under Wis. Stat. § 66.1105(4)(h)1. (“Project”).

Estimated Total Project Cost Expenditures

The Village anticipates adding total expenditures of approximately \$7,500,000 (“Project Costs”) to undertake the projects listed in this Project Plan (“Plan”). Project Costs are provided in more detail in Section 5.

Expected Termination of District

Based on the Economic Feasibility Study located within Section 9 of this Plan, the Village anticipates that the District will generate sufficient tax increment to pay all Project Costs by 2032 as outlined in Section 9, 2 years earlier than its current maximum life of November 3, 2034.

Summary of Findings

As required by Wis. Stat. § 66.1105, and as documented in this Plan and the exhibits contained and referenced herein, the following findings are made:

1. That “but for” the creation of this District, the development projected to occur as detailed in this Plan: 1) would not occur; or 2) would not occur in the manner, at the values, or within the timeframe desired by the Village. In reaching this determination, the Village has considered:

The substantial investment needed to provide the public infrastructure necessary to allow for development within the District. Absent the use of tax incremental financing, the Village is unable to fully fund this program of infrastructure improvements.

2. **The economic benefits of the District, as measured by increased employment, business and personal income, and property value, are sufficient to compensate for the cost of the improvements. In making this determination, the Village has considered the following information:**

Without the additional project costs the continued development and expected value growth within the district would not continue and the Village would not be able to complete the projects without tax increment financing as it relates to levy limits.

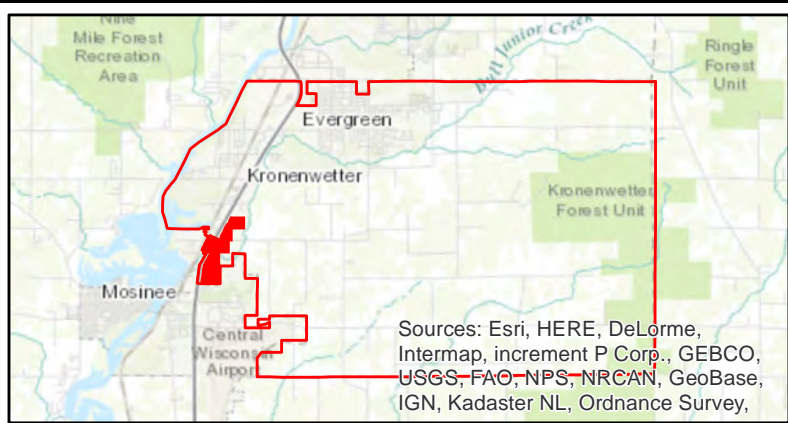
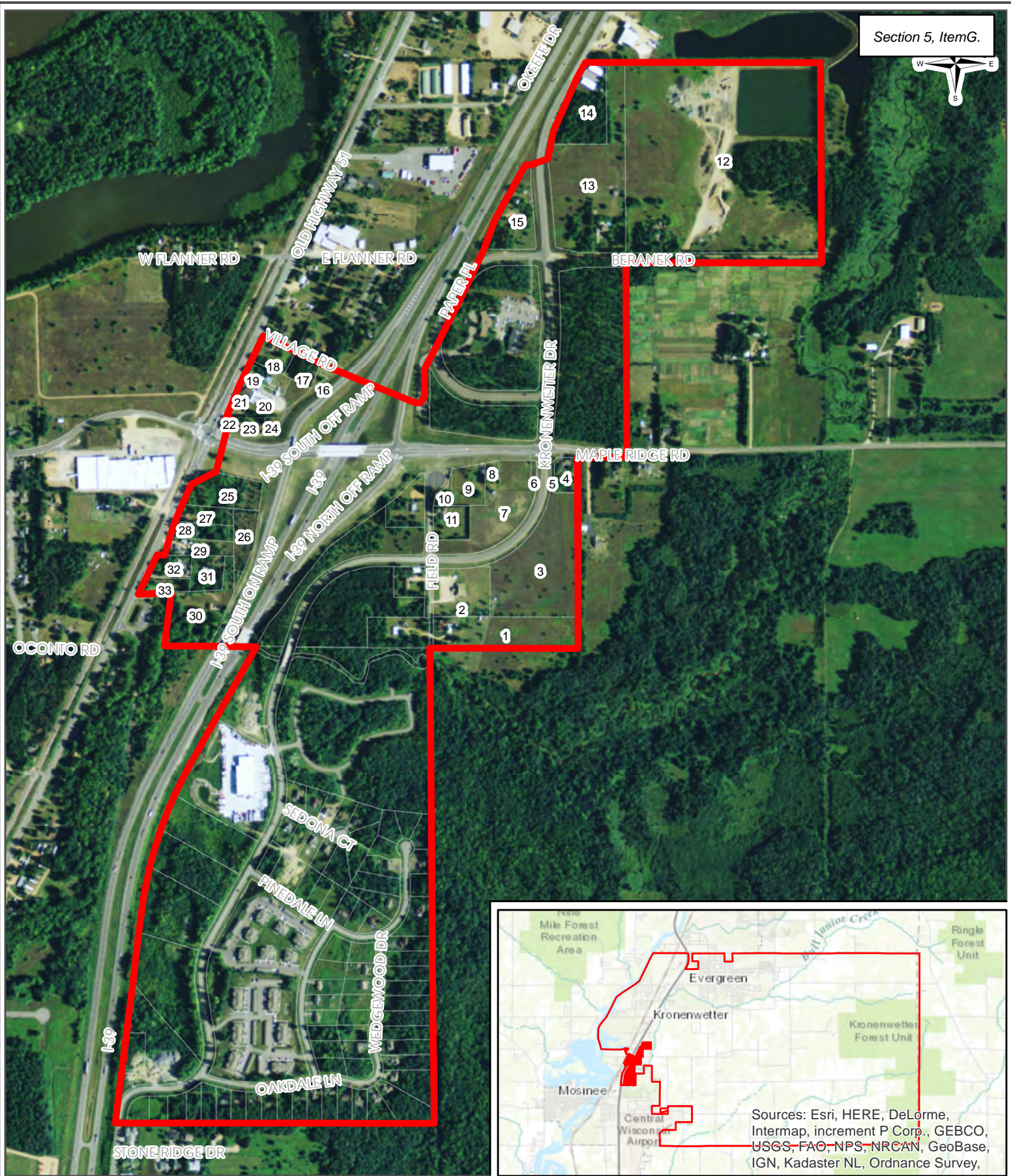
3. **The benefits of the proposal outweigh the anticipated tax increments to be paid by the owners of property in the overlying taxing jurisdictions.** As required by Wis. Stat. § 66.1105(4)(i)4., a calculation of the share of projected tax increments estimated to be paid by the owners of property in the overlying taxing jurisdictions has been prepared and can be found in this Plan. However, because the Project would not occur without the use of tax incremental financing, these tax increments would not be paid but for creation of the District. Accordingly, the Village finds that the benefits expected to be realized as set forth in this Plan outweigh the value of the tax increments to be invested in the Project.

4. The boundaries of the District are not being amended.

- 5. The Project Costs relate directly to promoting mixed use development in the District, consistent with the purpose for which the District is created.
- 6. Improvements to be made in the District are likely to significantly enhance the value of substantially all of the other real property in the District.
- 7. The Plan for the District is feasible and is in conformity with the Master Plan of the Village.
- 8. The Village estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District's maximum expenditure period, pursuant to Wis. Stat. § 66.1105(5)(b).

SECTION 2:
Map of Current District Boundary

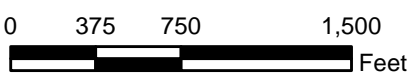
A map identifying the current boundaries of the District is found on the following page. The Boundary Map included within the District's amended Project Plan dated February 23, 2016 remains unchanged.



Sources: Esri, HERE, DeLorme, Intermap, increment P Corp., GEBCO, USGS, FAO, NPS, NRCAN, GeoBase, IGN, Kadaster NL, Ordnance Survey,

Map 1 - Boundary, Parcels, & Orthographic

Village of Kronenwetter



Proposed TID Boundaries
 TID Parcels



REEDSBURG - MADISON - PRAIRIE DU CHIEN
 999 Fourier Drive, Suite 201, Madison, WI 53706
 Phone: (608) 826-0532 Fax: (608) 826-0533

**SECTION 3:
Map Showing Existing Uses and Conditions**

The District’s boundaries are not being amended. The “Map Showing Existing Uses and Conditions” included within the District’s amended Project Plan dated February 23, 2016 remains unchanged.

**SECTION 4:
Equalized Value Test**

No territory will be added to the District. Demonstration of compliance with the equalized value test is not required for this Plan Amendment.

**SECTION 5:
Statement Listing the Kind, Number and Location of All Proposed Public Works or Improvements Within the District**

Project Costs are any expenditure made, estimated to be made, or monetary obligations incurred or estimated to be incurred as outlined in this Plan. Project Costs will be diminished by any income, special assessments or other revenues, including user fees or charges, other than tax increments, received or reasonably expected to be received in connection with the implementation of the Plan. If Project Costs incurred benefit territory outside the District, a proportionate share of the cost is not a Project Cost. Costs identified in this Plan are preliminary estimates made prior to design considerations and are subject to change after planning, design and construction is completed.

With all Project Costs, the costs of engineering, design, survey, inspection, materials, construction, restoring property to its original condition, apparatus necessary for public works, legal and other consultant fees, testing, environmental studies, permits, updating ordinances and plans, judgments or claims for damages and other expenses are included as Project Costs. The map found in Section 7 of this Plan along with the Detailed List of Project Costs found in Section 8 provide additional information as to the kind, number and location of potential Project Costs.

The “Statement of Kind, Number and Location of Proposed Public Works and Other Projects” set forth in the original District Project Plan approved on November 3, 2004 and its subsequent amendments as described in Section 1 is amended to add the following Project Costs that the Village has made, expects to make, or may need to make, in conjunction with the implementation of the District’s Plan or this Plan Amendment.

Property, Right-of-Way and Easement Acquisition (Project IDs 1, 25, & 26)

Acquisition of Rights-of-Way

The Village may need to acquire property to allow for installation of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the Village to identify, negotiate and acquire rights-of-way are eligible Project Costs.

Acquisition of Easements

The Village may need to acquire temporary or permanent easements to allow for installation and maintenance of streets, driveways, sidewalks, utilities, stormwater management practices and other public infrastructure. Costs incurred by the Village to identify, negotiate and acquire easement rights are eligible Project Costs.

Site Preparation Activities (Project IDs 1, 25, & 26)

Environmental Audits and Remediation

If it becomes necessary to evaluate any land or improvement within the District, any cost incurred by the Village related to environmental audits, testing, and remediation are eligible Project Costs.

Demolition

To make sites suitable for development, the Village may incur costs related to demolition and removal of structures or other land improvements, to include abandonment of wells or other existing utility services.

Site Grading

Land within the District may require grading to make it suitable for development, to provide access, and to control stormwater runoff. The Village may need to remove and dispose of excess material, or bring in fill material to provide for proper site elevations. Expenses incurred by the Village for site grading are eligible Project Costs.

Utilities

Sanitary Sewer System Improvements (Project ID 1)

To allow development to occur, the Village may need to construct, alter, rebuild or expand sanitary sewer infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: collection mains; manholes and cleanouts; service laterals; force mains; interceptor sewers; pumping stations; lift stations; wastewater treatment facilities; and all related appurtenances. To the extent sanitary sewer projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand sanitary sewer infrastructure located outside of the District. That portion of the costs of sanitary sewer system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Stormwater Management System Improvements (Project IDs 25-26)

Development within the District will cause stormwater runoff. To manage this stormwater runoff, the Village may need to construct, alter, rebuild or expand stormwater management infrastructure within the District. Eligible Project Costs include, but are not limited to, construction, alteration, rebuilding or expansion of: stormwater collection mains; inlets, manholes and valves; service laterals; ditches; culvert pipes; box culverts; bridges; stabilization of stream and river banks; and infiltration, filtration and detention Best Management Practices (BMP's). To the extent stormwater management system projects undertaken within the District provide direct benefit to land outside of the District, the Village will make an allocation of costs based on such benefit. Those costs corresponding to the benefit allocated to land within the District, and necessitated by the implementation of the Project Plan, are eligible Project Costs. Implementation of the Project Plan may also require that the Village construct, alter, rebuild or expand stormwater management infrastructure located outside of the District. That portion of the costs of stormwater management system projects undertaken outside the District which are necessitated by the implementation of the Project Plan are eligible Project Costs.

Streets and Streetscape

Street Improvements (Project IDs 25-26)

To allow development to occur, the Village may need to construct or reconstruct streets, highways, alleys, access drives and parking areas. Eligible Project Costs include, but are not limited to: excavation; removal or placement of fill; construction of road base; asphalt or concrete paving or repaving; installation of curb and gutter; installation of sidewalks and bicycle lanes; installation of culverts, box culverts and bridges; rail crossings and signals; utility relocation, to include burying overhead utility lines; street lighting; installation of traffic control signage and traffic signals; pavement marking; right-of-way restoration; installation of retaining walls; and installation of fences, berms, and landscaping.

Streetscaping and Landscaping (Project IDs 25-26)

To attract development consistent with the objectives of this Plan, the Village may install amenities to enhance development sites, rights-of-way and other public spaces. These amenities include but are not limited to: landscaping; lighting of streets, sidewalks, parking areas and public areas; installation of planters, benches, clocks, tree rings, trash receptacles and similar items; and installation of brick or other decorative walks, terraces and street crossings. These and any other similar amenities installed by the Village are eligible Project Costs.

Miscellaneous

Projects Outside the Tax Increment District (Project ID 1 & 25)

Pursuant to Wis. Stat. § 66.1105(2)(f)1.n and Wis. Stats. 66.1105(2)(f)1.k, the Village may undertake projects outside of the boundary of the District provided that: 1) the project area is located within the Village’s corporate boundaries; and 2) the projects are approved by the Joint Review Board. The cost of projects completed outside the District pursuant to this section are eligible project costs and may include any project cost that would otherwise be eligible if undertaken within the District. The Village intends to make the following project cost expenditures outside the District:

- Sanitary Sewer & Lift Station (Project C on Map)
 - Since one hundred percent (100%) of the TID #2 area is currently served by Lift Station 8, which also includes lands from Lift Station 11 (100%), the additional force main length towards Lift Station 7 would be eligible as a TID#2 project expense in full (100%), based on Wis. Stats. 66.1105(2)(f)1.k:
 - *k. That portion of costs related to the construction or alteration of sewerage treatment plants, water treatment plants or other environmental protection devices, storm or*

sanitary sewer lines, water lines, or amenities on streets outside the district if the construction, alteration, rebuilding or expansion is necessitated by the project plan for a district, and if at the time the construction, alteration, rebuilding or expansion begins there are improvements of the kinds named in this subdivision on the land outside the district in respect to which the costs are to be incurred.

- Kronenwetter Drive (Project A on Map)
 - There is a portion of Kronenwetter Drive (Project A on Map and Project ID 25) that lies outside the District but within a point that is located no more than 1/2 mile from the north line of the District are included as project costs.

Professional Service and Organizational Costs (Project ID 10)

The costs of professional services rendered, and other costs incurred, in relation to the creation, administration and termination of the District, and the undertaking of the projects contained within this Plan, are eligible Project Costs. Professional services include but are not limited to: architectural; environmental; planning; engineering; legal; audit; financial; and the costs of informing the public with respect to the creation of the District and the implementation of the Plan.

Administrative Costs (Project ID 10)

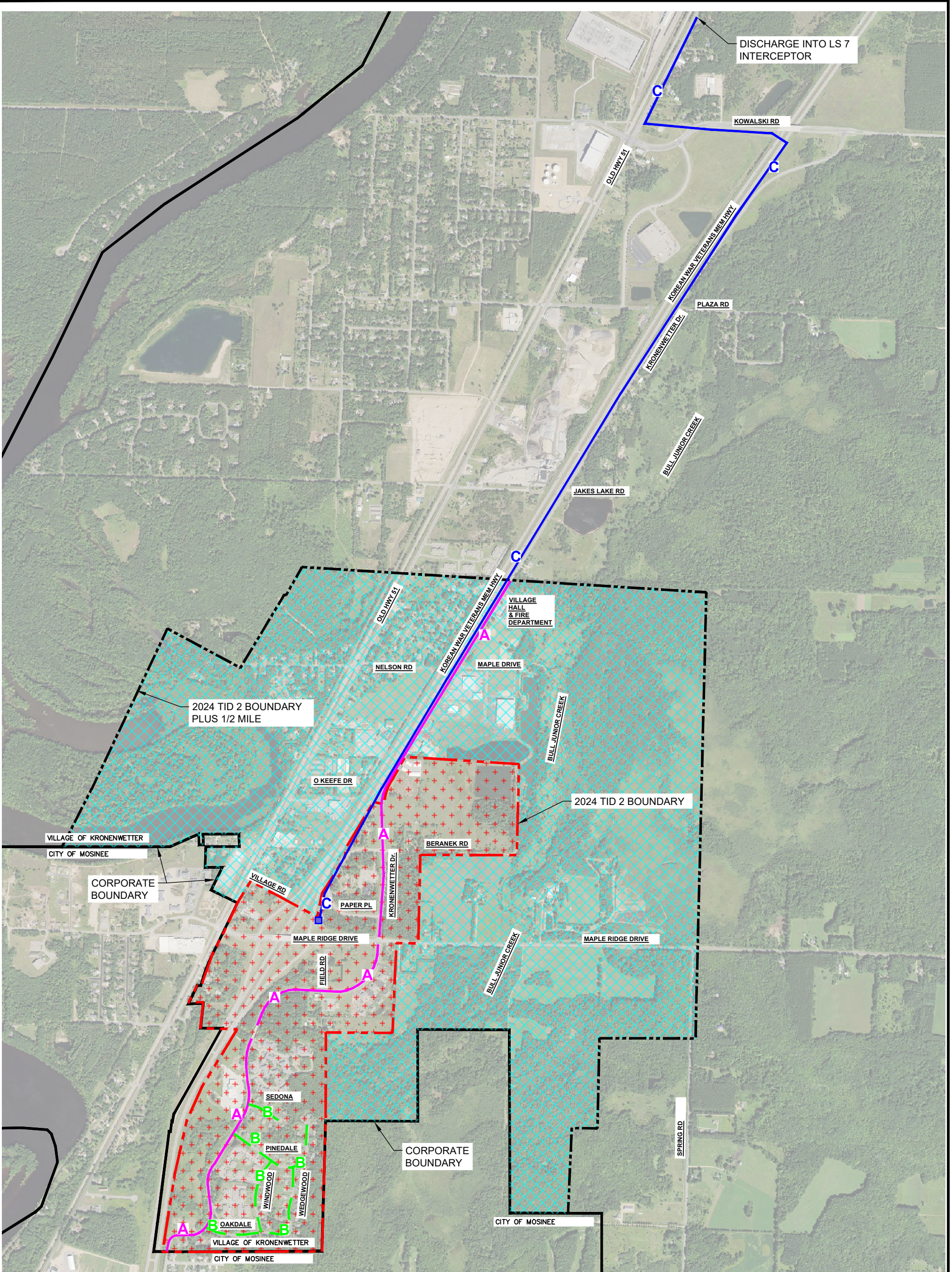
The Village may charge to the District as eligible Project Costs reasonable allocations of administrative costs, including, but not limited to, employee salaries. Costs allocated will bear a direct connection to the time spent by Village employees relating to the implementation of the Plan.

Financing Costs (Project ID 10)

Interest expense, debt issuance expenses, redemption premiums, and any other fees and costs incurred in conjunction with obtaining financing for projects undertaken under this Plan are eligible Project Costs.

**SECTION 6:
Map Showing Proposed Improvements and Uses**

The District’s boundaries are not being amended. The “Map Showing Proposed Improvements and Uses” is found on the following page.



2024 TID 2 BOUNDARY PLUS 1/2 MILE

2024 TID 2 BOUNDARY

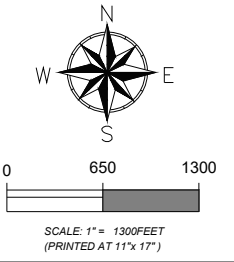
VILLAGE OF KRONENWETTER
CITY OF MOSINEE

CORPORATE BOUNDARY

++++ TID 2 BOUNDARY
 X X X X TID 2 PLUS 1/2 MILE

— (A) KRONENWETTER DRIVE IMPROVEMENTS
 — (B) LOCAL ROAD IMPROVEMENTS
 — (C) LIFTSTATION 8 & FORCEMAIN IMPROVEMENTS

PROJECT NO:	2024-020 (A)
DATE:	09/09/24
DESIGNED BY:	RJR
DRAWN BY:	WAC
SHEET:	TID MAP



KRONENWETTER TID 2 MAP
 KRONENWETTER 1/2 MILE BOUNDARY
 IMPROVEMENT PROJECTS
 VILLAGE OF KRONENWETTER, WI

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SECTION 7: Detailed List of Estimated Project Costs

The following list identifies the Project Costs that the Village has made, expects to make, or may need to make in conjunction with the implementation of the District’s Plan or this Plan Amendment. All projects identified and related costs reflect the best estimates available as of the date of preparation of this Plan Amendment. All costs are preliminary estimates and may increase or decrease. Certain Project Costs listed may become unnecessary, and other Project Costs not currently identified may need to be made. (Section 6 details the general categories of eligible Project Costs). Changes in Project Cost totals or the types of Project Costs to be incurred will not require that this Plan be amended. This Plan is not meant to be a budget nor an appropriation of funds for specific Project Costs, but a framework within which to manage Project Costs.

[PROJECT COSTS TABLE ON NEXT PAGE]

Village of Kronenwetter, Wisconsin

Tax Increment District #2

Estimated Project List

Project ID	Project Name/Type	Original Project Plan	Amendment No. 1	Amendment No. 2	Amendment No. 3	Current Amendment	Non-Project Costs	Total (Note 1)
1	Sanitary Sewer & Lift Station (Project C on Map)	1,310,404	278,664			1,857,599		3,446,667
2	Watermain	701,113	149,095					850,208
3	Roads	914,942	194,567					1,109,509
4	Bridge	320,121						320,121
5	Right of Way Purchase	42,600						42,600
6	Land Purchase	110,000	85,064	1,000,000				1,195,064
7	Cash Grants	250,000		650,000				900,000
8	Electric Service; Gas Main	150,000						150,000
9	Soils Investigation	20,000		500,000	(400,000)			120,000
10	Financing, Legal, & Organizational	500,000	92,610	1,950,000	(17,700)	1,143,370		3,668,280
11	TID No.2 Park			200,000	(200,000)			0
12	Non-Vehicular Path (Kronenwetter Drive to TID#2 Park)			940,000				940,000
13	Municipal Center Park Trail Network			150,000				150,000
14	Non-motorized Pedestrian Path - Maple Ridge Rd to Nelson Rd			263,000				263,000
15	Village Entrance/Interstate Signage/Branding/Wayfinding			50,000				50,000
16	New Water Well			150,000				150,000
17	Reconstruction of Old Hwy 51 (Park and Ride to Nelson Road)			650,000				650,000
18	Reconstruction/Connection of Village, Jamroz, & Flanner Roads			232,000				232,000
19	Resurfacing of Timber Creek Crossing roads			180,000				180,000
20	Reconstruction of Beranek Road (Incl Water & Sewer)			828,000				828,000
21	Marketing			100,000				100,000
22	Administration Costs			180,000				180,000
23	Amend 2 Organizational Costs			18,000				18,000
24	Amend 2 Inflation Allowance			409,124				409,124
25	Kronenwetter Drive (Project A on Map)					2,500,000		2,500,000
26	TID 2 Local Roads Phase 1 (Project B on Map)					2,000,000		2,000,000
Total Projects		4,319,180	800,000	8,450,124	(617,700)	7,500,969	0	20,452,573

Notes:

Note 1 Current Amendment project costs are estimates and are subject to modification

SECTION 8:
Economic Feasibility Study, Description of the Methods of Financing Estimated Project Costs and the Time When Related Costs or Monetary Obligations are to be Incurred

This Section includes an updated forecast of the valuation increases expected within the District, the associated tax increment collections, a summary of how remaining Project Costs would be financed, and a projected cash flow demonstrating that the District remains economically feasible.

Key Assumptions

The Project Costs the Village plans to make are expected to create 2.9 million in incremental value by 2033. Assuming the Village’s current equalized TID Interim tax rate of \$14.11 per thousand of equalized value, the Project would generate \$8.3 million in incremental tax revenue over the remaining life of the District as shown in **Table 1**.

Table 1 – Tax Increment Projection Worksheet

Tax Increment Projection Worksheet								
Type of District	Special			Base Value	5,398,600			
District Creation Date	November 3, 2004			Appreciation Factor	0.50%			
Valuation Date	Jan 1,	2005		Base Tax Rate	\$20.00			
Max Life (Years)	25			Rate Adjustment Factor				
Expenditure Period/Termination	20	11/3/2024		Tax Exempt Discount Rate				
Revenue Periods/Final Year	24	2029		Taxable Discount Rate	1.50%			
Extension Eligibility/Years	Yes	6						
Eligible Recipient District	No							
Construction Year	Value Added	Valuation Year	Inflation Increment	Total Increment	Revenue Year	Tax Rate	Tax Increment ¹	
11	2015	0	2016	18,330,300	2017	\$21.50	394,084	
12	2016	3,665,100	2017	21,995,400	2018	\$19.79	435,327	
13	2017	4,612,200	2018	26,607,600	2019	\$19.67	523,316	
14	2018	12,423,000	2019	39,030,600	2020	\$18.64	727,516	
15	2019	7,913,500	2020	46,944,100	2021	\$18.41	864,178	
16	2020	-4,860,300	2021	42,083,800	2022	\$17.58	739,897	
17	2021	20,517,600	2022	62,601,400	2023	\$15.19	951,013	
18	2022	-2,772,600	2023	59,828,800	2024	\$14.11	844,012	
19	2023	4,683,000	2024	64,511,800	2025	\$14.11	910,076	
20	2024	0	2025	322,559	2026	\$14.11	914,626	
21	2025	0	2026	324,172	2027	\$14.11	919,199	
22	2026	0	2027	325,793	2028	\$14.11	923,795	
23	2027	0	2028	327,422	2029	\$14.11	928,414	
24	2028	0	2029	329,059	2030	\$14.11	933,056	
25	2029	0	2030	330,704	2031	\$14.11	937,722	
26	2030	0	2031	332,358	2032	\$14.11	942,410	
27	2031	0	2032	334,019	2033	\$14.11	947,122	
28	2032	0	2033	335,689	2034	\$14.11	951,858	
Totals		46,181,500		2,961,774	Future Value of Increment		17,326,758	

Notes:
 1) Actual results will vary depending on development, inflation of overall tax rates.
 2) Years prior to 2015 hidden for formatting purposes.

Financing and Implementation

Table 2 provides a summary of the District’s financing plan.

Table 2 – Financing Plan

	2024		
	G.O. Notes	TID 2 Portion	Levy Portion
CIP Projects¹			
Lift Station and Force Main	1,857,599	1,857,599	
Kronenwetter Drive TID 2	2,500,000	2,500,000	
Local Roads Phase I	2,000,000	2,000,000	
Kronenwetter Drive Non-TID 2	1,460,000		1,460,000
Subtotal Project Costs	7,817,599	6,357,599	1,460,000
CIP Projects¹	7,817,599	6,357,599	1,460,000
Estimated Issuance Expenses	192,788	156,799	35,989
Municipal Advisor (Ehlers)	47,500	38,633	8,867
Bond Counsel	25,000	20,333	4,667
Rating Fee	20,000	16,266	3,734
Maximum Underwriter's Discount	12.50 99,438	80,875	18,563
Paying Agent	850	691	159
Subtotal Issuance Expenses	192,788	156,799	35,989
TOTAL TO BE FINANCED	8,010,387	6,514,398	1,495,989
Estimated Interest Earnings	3.00% (58,632)	(47,682)	(10,950)
Assumed spend down (months)	3.00		
Rounding	3,245	3,284	(39)
PAR AMOUNT	7,955,000	6,470,000	1,485,000

Notes:

1) Project Total Estimates furnished from Village.

Based on the Project Cost expenditures as included within the cash flow exhibit (Table 3, depicted on the following page), the District is projected to accumulate sufficient funds by the year 2032 to pay off all Project cost liabilities and obligations. The projected closure is based on the various assumptions noted in this Plan and will vary dependent on actual Project Costs incurred and the actual amount of tax increments collected.

Village of Kronenwetter, Wisconsin

Tax Increment District #2

Cash Flow Projection - Option 2 2024 Capital Projects

Year	Projected Revenues					Expenditures											Balances			Year	
	Tax Increments	Intergov.	Other Revenue	Debt Proceeds	Total Revenues	Actual Debt Service		G.O. Promissory Notes, 2013B 1,067,000 Dated Date: 11/12/13			GO Notes, Series 2024 6,470,000 Dated Date: 11/01/24			Other/TID 4			Total Expenditures	Annual	Cumulative		Principal Outstanding
2016	455,030	66,816	188,073		709,919	365,000	84,429							49,598		38,188	537,215	172,704	1,122,730		2016
2017	394,084	40,221	491,714		926,019	110,000	81,400							60,773		28,502	280,675	645,344	1,768,074		2017
2018	435,327	40,812	57,756		533,895	110,000	78,925							14,998		102,412	306,335	227,560	1,995,634		2018
2019	523,316	44,825	50,397		618,538	110,000	76,318							170,313		87,621	444,252	174,286	2,169,920		2019
2020	727,516	44,295	16,819		788,630	110,000	73,287							950,247	236,000	14,954	1,384,488	(595,858)	1,574,062		2020
2021	864,178	43,766	7,616		915,560	2,608,000	41,163							15,229	1,014,141	2,044	3,680,577	(2,765,017)	(1,190,955)		2021
2022	739,897	44,295	7,920		792,112			187,000	3.25%	3,039				3,500		19,915	213,454	578,658	(612,297)		2022
2023	951,013	44,295	32,715		1,028,023											45,746	45,746	982,277	369,980		2023
2024	844,012	44,300	24,000	6,470,000	7,382,312								6,514,398	0	294,699		6,809,097	573,215	943,195	6,470,000	2024
2025	910,076				910,076						690,000	3.56%	194,430		0	5,000	889,430	20,646	963,841	5,780,000	2025
2026	914,626				914,626						690,000	3.53%	188,080		0	5,000	883,080	31,546	995,388	5,090,000	2026
2027	919,199				919,199						705,000	3.48%	163,635		0	5,000	873,635	45,565	1,040,952	4,385,000	2027
2028	923,795				923,795						725,000	3.45%	138,861		0	5,000	868,861	54,934	1,095,886	3,660,000	2028
2029	928,414				928,414						780,000	3.45%	112,900		0	5,000	897,900	30,514	1,126,401	2,880,000	2029
2030	933,056				933,056						805,000	3.45%	85,559		0	5,000	895,559	37,498	1,163,898	2,075,000	2030
2031	937,722				937,722						825,000	3.45%	57,441			5,000	887,441	50,280	1,214,179	1,250,000	2031
2032	942,410				942,410						825,000	3.45%	28,979			15,000	868,979	73,432	1,287,610	425,000	2032
2033	947,122				947,122						425,000	3.47%	7,374				432,374	514,749	1,802,359	0	2033
2034	951,858				951,858						0	3.50%	0				0	951,858	2,754,217	0	2034
Total	16,374,900	760,278	6,554,198	15,383,000	39,072,376	16,044,287	2,211,137	187,000		3,039	6,470,000		977,258	9,419,527	1,250,141	863,036	37,425,425				Total

Notes:
 Years prior to 2016 hidden for depiction purposes.
 Option 2 Capital Projects from Village staff 1/3/24 email to Ehlers.
 Debt Proceeds includes 4% Costs of Issuance.

Projected TID Closure

**SECTION 9:
Annexed Property**

A tax incremental district cannot include annexed territory unless at least three years have elapsed since the annexation, or certain other requirements are met. No territory is being added to the District as part of this Plan Amendment.

**SECTION 10:
Estimate of Property to be Devoted to Retail Business**

Pursuant to Wis. Stat. § 66.1105(5)(b), the Village estimates that less than 35% of the territory within the District will be devoted to retail business at the end of the District’s maximum expenditure period.

**SECTION 11:
Proposed Changes of Zoning Ordinances, Master Plan,
Map, Building Codes and Village Ordinances**

Zoning Ordinances

The proposed Plan Amendment is in general conformance with the Village’s current zoning ordinances. Individual properties may require rezoning at the time of development.

Master (Comprehensive) Plan and Map

The proposed Plan Amendment is in general conformance with the Village’s Comprehensive Plan.

Building Codes and Ordinances

Development within the District will be required to conform to State Building Codes and will be subject to the Village’s permitting and inspection procedures. The proposed Plan Amendment conforms to all relevant State and local ordinances, plans, and codes. No changes to the existing regulations are proposed or needed.

**SECTION 12:
Statement of the Proposed Method for the Relocation of
any Persons to be Displaced**

Should the continued implementation of this Plan require relocation of individuals or business operations, relocations will be handled in compliance with Wis. Stat. Chapter 32 and Wis. Admin. Code ADM 92.

**SECTION 13:
How Amendment of the Tax Incremental District
Promotes the Orderly Development of the Village**

This Plan Amendment promotes the orderly development of the Village by creating opportunities for mixed use development and providing necessary public infrastructure improvements. Through use of tax increment financing, the Village can attract new investment that results in increased tax base. Development will occur in an orderly fashion in accordance with approved plans so that the Projects will be compatible with adjacent land uses.

**SECTION 14:
List of Estimated Non-Project Costs**

The Plan does not include any non-project costs.

**SECTION 15:
Legal Opinion Advising Whether the Plan is Complete
and Complies with Wis. Stat. § 66.1105(4)(f)**

**NEED WET SIGNATURE & DATED LEGAL OPINION ON ATTORNEY
LETTERHEAD**

SAMPLE

Village President
Village of Kronenwetter
1582 Kronenwetter Drive
Kronenwetter, Wisconsin 54455

RE: Project Plan Amendment for Tax Incremental District No. 2

Dear Village President:

Wisconsin Statute 66.1105(4)(f) requires that a project plan for a tax incremental financing district include an opinion provided by the Village Attorney advising as to whether the plan is complete and complies with Wisconsin Statute 66.1105. As Village Attorney for the Village of Kronenwetter, I have been asked to review the above-referenced project plan amendment for compliance with the applicable statutory requirements. Based upon my review, in my opinion, the amended Project Plan for the Village of Kronenwetter Tax Incremental District No. 2 is complete and complies with the provisions of Wisconsin Statute 66.1105.

Sincerely,

Village Attorney

DEMPSEY LAW FIRM, LLP
www.dempseylaw.com

500 N. 3rd St., Ste 420
Wausau, WI 54403

715.848.2966 TEL
920.235.2011 FAX

WRITER'S DIRECT:
715.848.2966 ext. 502
ldf@dempseylaw.com



DEMPSEYLAW

Section 5, Item G.

OFFICES:
Black River Falls
De Pere
Fond du Lac
Oshkosh
Waupun
Wausau

September 20, 2024

Via email

Chris Voll, Village President
Village of Kronenwetter
1582 Kronenwetter Drive
Kronenwetter, Wisconsin 54455
cvoll@kronenwetter.org

RE: Project Plan Amendment for Tax Incremental District No. 2

Dear President Voll:

Wisconsin Statute 66.1105(4)(f) requires that a project plan for a tax incremental financing district include an opinion provided by the Village Attorney advising as to whether the plan is complete and complies with Wisconsin Statute § 66.1105. As Village Attorney for the Village of Kronenwetter, I have been asked to review the above-referenced project plan amendment for compliance with the applicable statutory requirements. Based upon my review, in my opinion, the amended Project Plan for the Village of Kronenwetter Tax Incremental District No. 2 is complete and complies with the provisions of Wisconsin Statute § 66.1105.

Sincerely,
DEMPSEY LAW FIRM, LLP

Lee D. Turonie
Village Attorney

Resolution No. 2024-015

RESOLUTION PROVIDING FOR THE SALE OF
APPROXIMATELY \$7,855,000 GENERAL OBLIGATION
PROMISSORY NOTES, SERIES 2024B

WHEREAS, the Village of Kronenwetter, Marathon County, Wisconsin (the "Village") is presently in need of approximately \$7,855,000 for public purposes, including paying the cost of (a) project costs in TID 2, such as street improvement projects, a lift station and a sewer force main and (b) street improvement projects outside TID 2 (collectively, the "Project"); and

WHEREAS, it is desirable to borrow said funds through the issuance of general obligation promissory notes pursuant to Section 67.12(12), Wisconsin Statutes.

NOW, THEREFORE, BE IT RESOLVED by the Village Board of the Village that:

Section 1. Issuance of the Notes. The Village shall issue its General Obligation Promissory Notes, Series 2024B (the "Notes") in the approximate amount of \$7,855,000 for the purpose of paying the cost of the Project.

Section 2. Sale of the Notes. The Village Board hereby authorizes and directs that the Notes be offered for public sale. At a subsequent meeting, the Village Board shall consider such bids for the Notes as may have been received and take action thereon.

Section 3. Notice of Sale. The Village Clerk (in consultation with Ehlers & Associates, Inc. ("Ehlers")) be and hereby is directed to cause notice of the sale of the Notes to be disseminated in such manner and at such times as the Village Clerk may determine and to cause copies of a complete Notice of Sale and other pertinent data to be forwarded to interested bidders as the Village Clerk may determine.

Section 4. Official Statement. The Village Clerk (in consultation with Ehlers) shall cause an Official Statement to be prepared and distributed. The appropriate Village officials shall determine when the Official Statement is final for purposes of Securities and Exchange Commission Rule 15c2-12 and shall certify said Official Statement, such certification to constitute full authorization of such Official Statement under this resolution.

Section 5. Reimbursement. The Village Board hereby officially declares its intent pursuant to Treasury Regulation Section 1.150-2 to reimburse any expenditures made in connection with the Project prior to the issuance of the Notes with the proceeds of the Notes in an amount not to exceed \$7,855,000.

Adopted, approved and recorded September 23, 2024.

Chris Voll
President

ATTEST:

Bobbi Jo Birk-LaBarge
Village Clerk

(SEAL)

Resolution No. 2024-015

RESOLUTION PROVIDING FOR THE SALE OF
APPROXIMATELY \$7,855,000 GENERAL OBLIGATION
PROMISSORY NOTES, SERIES 2024B

WHEREAS, the Village of Kronenwetter, Marathon County, Wisconsin (the "Village") is presently in need of approximately \$7,855,000 for public purposes, including paying the cost of (a) project costs in TID 2, such as street improvement projects, a lift station and a sewer force main and (b) street improvement projects outside TID 2 (collectively, the "Project"); and

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Adopted, approved and recorded September 23, 2024.

Chris Voll
President

ATTEST:

Bobbi Jo Birk-LaBarge
Village Clerk

(SEAL)

PROJECT STATUS MEMO
KRONENWETTER DRIVE NORTH (PHASE B)
ROAD PROJECT

To: Village of Kronenwetter
From: Robert J. Roth, PE
Re: Kronenwetter Drive North Project B
Date: July 31, 2024

BACKGROUND. The Village of Kronenwetter had previously commissioned the design of Kronenwetter Drive North (Upper aka Phase B) From TID2 to Kowalski Road. This is a 2+ mile segment of construction.

This memo is a brief summary memo on the project. The plans and estimate are attached for reference.

CURRENT STATUS. Our focus has been on the portion of the project within TID2, however, the Kronenwetter Drive North has advanced in reasonable stride to beyond the 50% stage.

SCOPE. The following key design elements are included in the Kronenwetter Drive North project:

1. Address significant joint movement in the entire portion of the roadway.
2. Address lack of sub-base adequacy for level of traffic received, additional truck traffic.
3. Maintain roadway width and functionality, with allowance for heavier traffic.
4. Rebuild portions near Jakes Lake Road to raise profile due to standing water issues in that area.
5. Rebuild portions of the roadway to increase base support and structure, while improving base drainage. This will reduce the freeze-thaw effect in this area.
6. Address roadway design elements (culverts, shoulders).
7. No ROW acquisition is necessary.

DESIGN ASPECTS. There is between 2.5” and 3.5” of asphalt on average in this segment of road. The base includes from 8” to 9” of crushed aggregate. This was likely built as a WisDOT access road to properties upon the build-out of I39. That is, the level of service was not necessarily for a

high level of truck traffic. The use of the road has changed over the years, but also, the performance of the road is now evident in other aspects.

The pavement condition has lateral/transverse cracking with mild rutting and longitudinal cracking throughout. The segment south of Jakes Lake Road is in worse condition. The lack of base drainage is likely contributing to the washboard effect, especially during weather transition periods, and it is susceptible to freeze-thaw effects. However, the pavement movement appears to be limited to only the areas near the cracks, indicating that drainage may be worsening as the pavement ages and the cracks open-up. This would normally indicate that the minimum improvement would be a mill and overlay. However, we note that there is generally inadequate base and pavement for a higher level of service for trucks (minimum 12" CABC with 4" asphalt). This occurs for all portions of Kronenwetter Drive North except for a limited area near Kowalski. We are also concerned that with elevated water levels, there is a lack of drainage and these spots will be revealed only during construction. Therefore, we need to plan for an adequate budget that allows for field testing, proofrolling and onsite decisions with the roadway.

We have estimated 40% of the road segment will need to be rebuilt based on the borings and driving the road on numerous occasions. This can be lowered with additional emphasis on construction testing/inspection to evaluate conditions in real-time. The re-built section is summarized as follows:

- Mill/pulverize existing asphalt, stockpile
- Excavate to desired base level, stockpile
- Install geofabric with drainage layer ASTM No 67 clear stone
- Install 12" of 3" compacted breaker run base
- Install 6" of 1.25" compacted crushed aggregate
- Place new 4" HMA with shoulders

The remaining segments will have a mill and overlay with the addition of 4" of CABC for additional structure, summarized as follows:

- Mill/pulverize existing asphalt with 4" new material
- Keep original base below mill line
- Resultant 14-15" aggregate material including regrind/millings
- Regrade and shape, compact
- Place new 4" HMA with shoulders

Our 90% and final plans will confirm all base and roadway segments. Where the road is to be reconstructed, it is possible that we may be able to re-use aggregate taken from the project if it meets design specifications. We will likely account for this in the customization of the project bidding.



BUDGET & PRELIMINARY COST. Project costs for the Kronenwetter Drive North (Upper) portion, at this stage of the project, are included. These estimates are subject to change as we finalize the documents. The overall cost of the project is \$2,000,000.

NEXT STEPS. We will release the public involvement plan as the next step, followed by the 90% bid documents stage (plans, estimate, report), set up a public involvement meeting, initiate permitting and pursue finalization of the construction bid package.

Please contact me with any questions or if additional information is needed.

Sincerely,

ROTH PROFESSIONAL SOLUTIONS



Robert J. Roth, PE
Project Engineer





ENGINEER'S PRELIMINARY COST ESTIMATE

Wednesday, July 31, 2024

Village of Kronenwetter - Kronenwetter Dr. Rehabilitation North Branch

Approx. 11,351 LF Road, 30' wide pavement

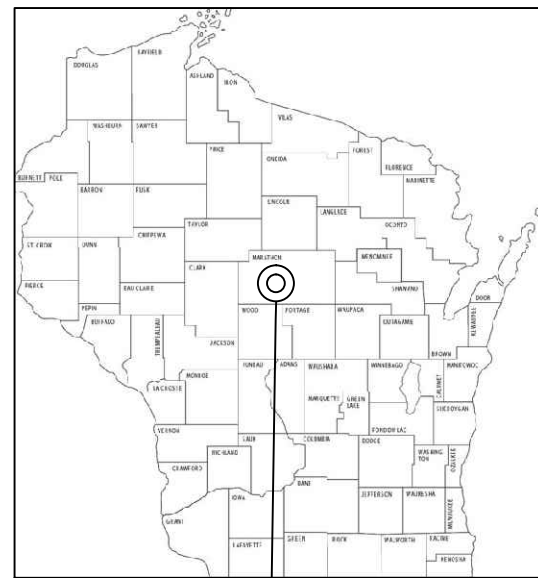
TID2 BOUNDARY NORTH TO KOWALSKI

ROAD REHEABILITATION

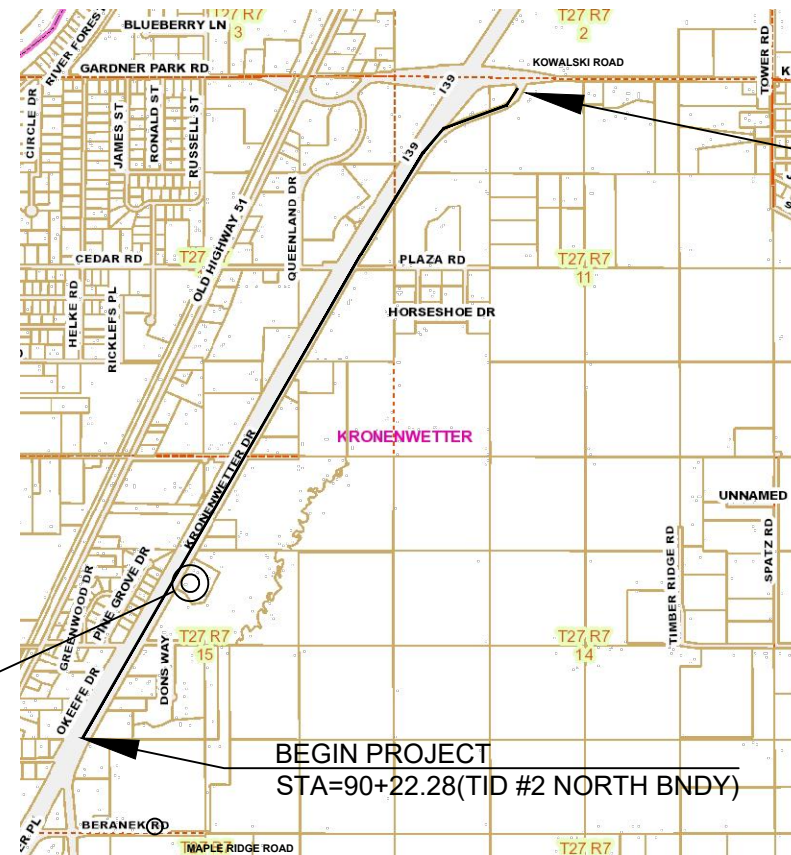
	#	Item	Item Quantity	Units	Unit Cost	Total Cost
Project Development Costs	a	Comprehensive Mapping & Surveying	----	---	----	\$21,000
	b	Planning, Coordination, Engineering & Administration	----	---	----	\$60,000
	c	Legal Services To-Date	----	---	----	----
	d	Title Services To-Date	----	---	----	----
	e	Land Acquisition (Prof. Fees & Land Rights) Estimate	----	---	----	----
	T1	Subtotal Project Development Costs				\$81,000
Roadway Construction Costs	1	Erosion Control Items & Maintenance During Construction	1	Lump Sum	\$10,000.00	\$10,000
	2	Unclassified excavation for Roadway	16,500	SY	\$3.00	\$49,500
	3	Remove Asphalt Pavement, Main Roadway TO STA=139+00	16,500	SY	\$3.50	\$57,750
	4	Remove Asphalt Pavement, Side streets & Driveways	3,000	SY	\$5.00	\$15,000
	5	Remove Concrete Driveway	50	SY	\$7.00	\$350
	6	Remove existing culverts	2	EA	\$1,000.00	\$2,000
	7	Sawcut Asphalt Pavement	390	LF	\$1.50	\$585
	8	Topsoil removal	2,000	SY	\$2.50	\$5,000
	9	Unclassified Excavation for Driveways	300	CY	\$10.00	\$3,000
	10	Pulverize Ex. 3" pavement with 4" new CABC	20,816	SY	\$3.50	\$72,856
	11	3/4" Crushed Aggregate 4" top dress Pulverized pavement	20,816	SY	\$4.00	\$83,264
	12	HMA Asphalt Pavement 2" Surface Course Pulverized Section	20,816	SY	\$10.00	\$208,160
	13	HMA Asphalt Pavement 2" Binder Course Pulverized Section	20,816	SY	\$9.00	\$187,344
	14	Remove trees	1	LS	\$500.00	\$500
	15	Geo Grid for Re-Built Section	18,428	SY	\$3.00	\$55,284
	16	12" Breaker Run	5,420	CY	\$50.00	\$271,000
	17	Medium Rip Rap over Fabric for Storm Sewer Endwalls	250	CY	\$60.00	\$15,000
	18	3/4" Crushed Aggregate for Driveway as Needed	100	CY	\$50.00	\$5,000
	19	Open Graded Drainage Layer (Assume 50%)	16500	SY	\$4.00	\$66,000
	20	1.5" Crushed Aggregate Base Course, 6" Compacted-Road & Intersections	16,500	SY	\$5.00	\$82,500
	21	HMA Asphalt Pavement 2" Surface Course-Intersections	16,500	SY	\$10.00	\$165,000
	22	HMA Asphalt Pavement 2" Binder Course-Intersections	16,500	SY	\$9.00	\$148,500
	23	Hot Tar Butt Joint Sealer	390	LF	\$5.00	\$1,950
	24	3/4" Crushed Aggregate for Road Shoulder, 2' wide x 6" thick	370	CY	\$50.00	\$18,500
	25	HMA Asphalt-2" for path & driveways	750	SY	\$20.00	\$15,000
	26	Topsoil, Seed & E-Mat all Disturbed areas,	9,000	SY	\$2.75	\$24,750
	27	Install 14x23 RCP & endwalls - Avg 37 LF	37	LF	\$ 75.00	\$2,775
	28	Install 19x30 RCP & endwalls - Avg 37 LF	37	LF	\$ 80.00	\$2,960
	29	Culvert Crossing Repairs	1	LS	\$ 8,000.00	\$8,000
	30	Pavement Markings	34500	LF	\$ 1.25	\$43,125
	31	Traffic Control	1	LS	\$ 5,000.00	\$5,000
	32	Reset Valve lids & Manhole Covers	1	LS	\$ 5,000.00	\$5,000
	T2	SubTotal Road Construction & Utility Costs				\$1,630,653
Percentage Allocations On Construction Subtotal	A1	Performance & Payment bonds	2	%	----	\$32,700
	A2	Mobilization/Demobilization	3	%	----	\$49,000
	A3	Funding Requirements	0.0	%	----	\$0
	A4	Construction Contingencies	5	%	----	\$81,600
	A5	Geotechnical	0	%	----	\$0
	A6	Construction Engineering, Permitting, Coordination, Construction Admin.	3	%	----	\$49,000
	A7	Surveying (Staking) & Legal	3	%	----	\$49,000
	T3	Subtotal on Construction Allocations				\$300,000
	T4	TOTAL PROJECT SUBTOTAL				\$2,000,000

KRONENWETTER DRIVE NORTH TID #2 BOUNDARY TO KOWALSKI RD.

VILLAGE OF KRONENWETTER, WISCONSIN



PROJECT LOCATION



VILLAGE OF KRONENWETTER

END PROJECT
STA=201+45.00

BEGIN PROJECT
STA=90+22.28(TID #2 NORTH BNDY)

ORDER OF SHEETS

Section No.	1	Title
Section No.	2	Typical Sections and Borings
Section No.	3	
Section No.	4	Plans
Section No.	5	Plan & Profile
Section No.	6	
Section No.	7	
Section No.	8	
Section No.	9	

TOTAL SHEETS = 17 SHEETS

OWNER:
VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN
1582 KRONENWETTER DR
KRONENWETTER, WISCONSIN,
54465
(715)693-4200 EXT. 1731
CHRIS VOLL, VILLAGE PRESIDENT
cvoll@kronenwetter.org

OPERATOR:
MARK MACKEY
VILLAGE OF KRONENWETTER
1582 KRONENWETTER DRIVE
KRONENWETTER, WISCONSIN 54465
(715)574-3868
mmackey@kronenwetter.org

ENGINEER / DESIGNER:
ROTH PROFESSIONAL SOLUTIONS
ROBERT J. ROTH, PE
315 DEWITT, ST.
PORTAGE, WI 53901
(608)571-3205
robert@rpsprofessionalsolutions.com

PUBLIC WORKS CREW LEADER:
BRAD JACOBSON
VILLAGE OF KRONENWETTER
1582 KRONENWETTER DRIVE
KRONENWETTER, WISCONSIN 54465
(715)574-3868
bjacobson@kronenwetter.org

ELECTRIC & GAS:
WISCONSIN PUBLIC SERVICE (WPS)
P.O. BOX 19001
GREENBAY WI. 54307-9001
(800)242-9772
newserviceinstallation@wisconsinpublicservice.com

CABLE/TELEPHONE:
SPECTRUM BUSINESS
SPECTRUM OF WISCONSIN

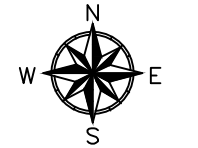
APPLICABLE CODES:
ZONING ORDINANCE, CHAPTER 485
WDNR EROSION CONTROL=NR 216
WDNR SANITARY SEWERS=NR110
WDNR WATER = NR811
VILLAGE WATER & SEWER, CHAPTER 508
VILLAGE STREETS, CHAPTER 454
EROSION CONTROL, CHAPTER 270
NEC 2017
ELECTRICAL SPS=316
INTERNATIONAL FUEL GAS CODE= IFGC2015

Section 5, Item 1.



TITLE SHEET
 KRONENWETTER DRIVE NORTH
 TID #2 BOUNDARY TO KOWALSKI ROAD
 VILLAGE OF KRONENWETTER, MARATHON COUNTY, WISCONSIN

PRELIMINARY
NOT FOR CONSTRUCTION
50% SET 07/31/24



SCALE: 1" = FEET
(PRINTED AT 11"x17")

PROJECT NO:	2024-020 (D)
DATE:	12/15/23
DESIGNED BY:	RJR
DRAWN BY:	WJAC
SHEET:	46



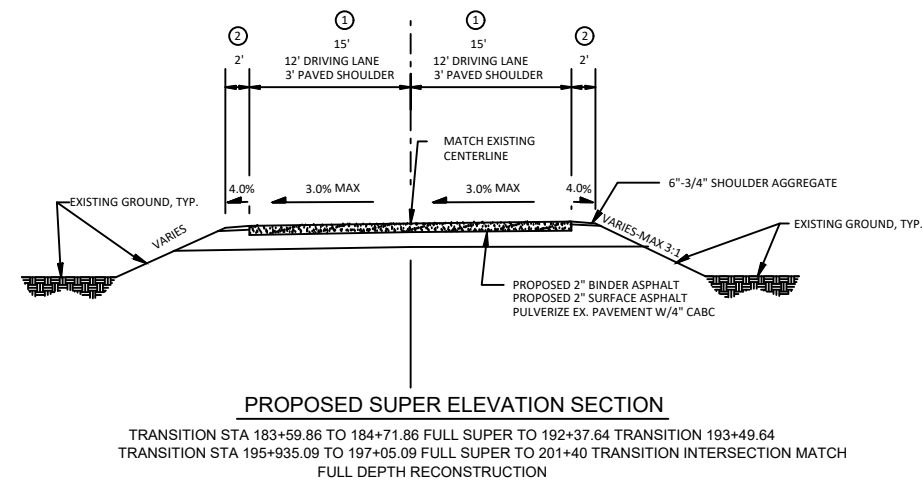
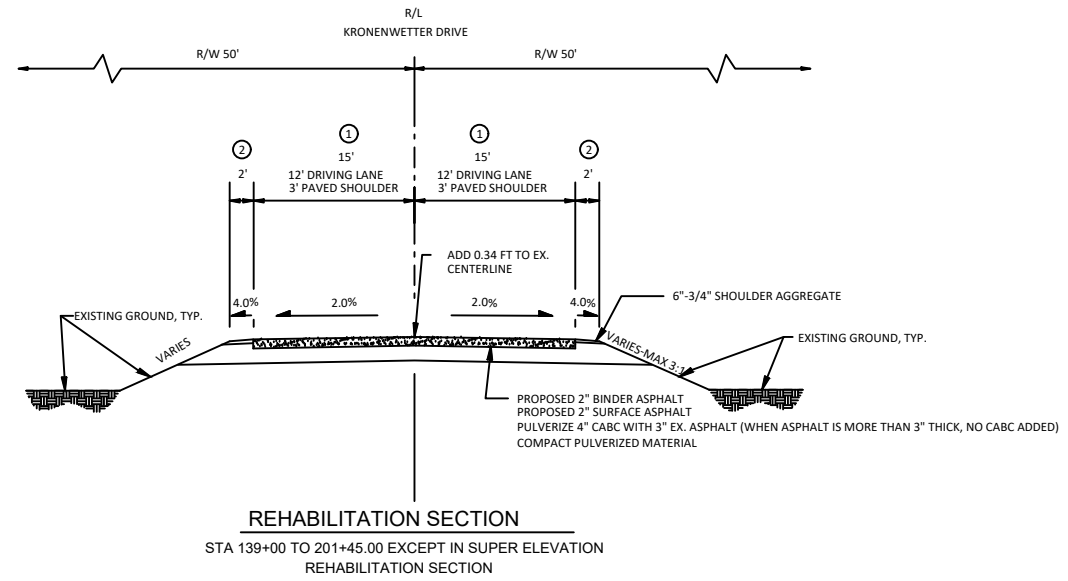
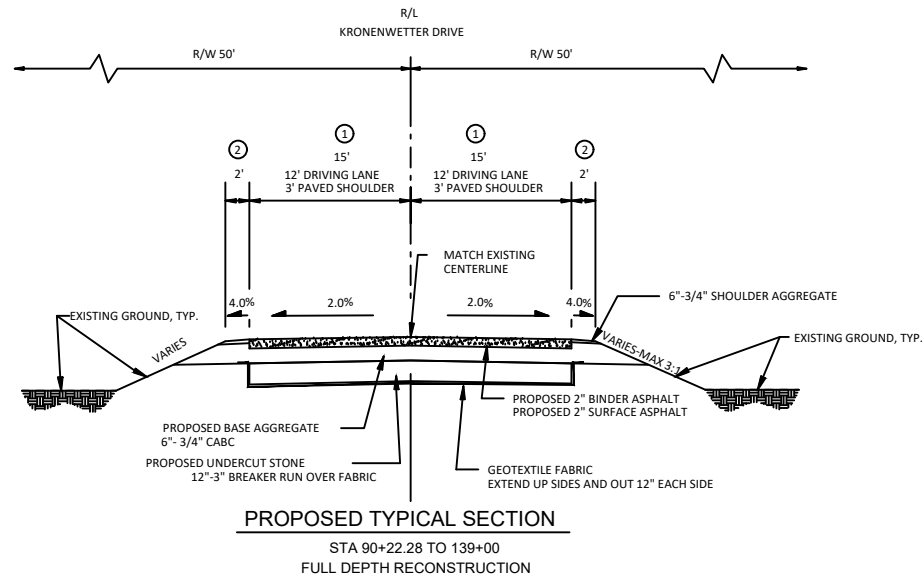
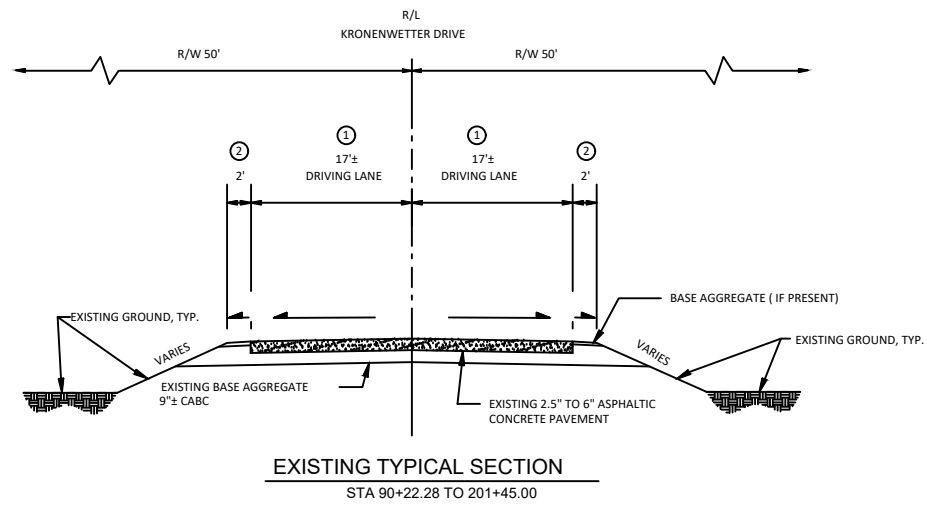
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STANDARD ABBREVIATIONS

ABUT.	Abutment	JT	Joint	SEC	Section
AC	Acre	JCT	Junction	SHLDR	Shoulder
AGG.	Aggregate	LHF	Left-Hand Forward	SHR	SHRINKAGE
AH	Ahead	L	Length of Curve	SW	Sidewalk
<	Angle	LIN FT OR LF	Linear Foot	S	South
ASPH	Asphaltic	LC	Long Chord of Curve	SQ	Square
AVG.	Average	MH	Manhole	SF OR SQ FT	Square Feet
A.D.T	Average Daily Traffic	MB	Mailbox	SY or SQ YD	Square Yard
BAD	Base Aggregate Dense	ML OR M/L	Match Line	STD	Standard
BK	Back	N	North	SDD	Standard Detail Drawings
BF	Back Face	Y	North Grid Coordinate	STH	State Trunk Highway
B.M.	Bench Mark	OD	Outside Diameter	STA	Station
BR.	Bridge	PLE	Permanent Limited Easement	SS	Storm Sewer
C/L	Center Line	PT	Point	SG	Subgrade
CC	Center to Center	PC	Point of Curvature	SE	Superelevation
CTH	County Trunk Highway	PI	Point of Intersection	SL or S/L	Survey Line
CR.	Creek	PRC	Point of Reverse Curvature	SV	Septic Vent
CY or CU YD	Cubic Yard	PT	Point of Tangency	T	Tangent
CP	Culvert Pipe	POC	Point on Curve	TEL	Telephone
C & G	Curb and Gutter	PVC	Polyvinyl Chloride	TEMP	Temporary
D	Degree of Curve	PCC	Portland Cement Concrete	TI	Temporary Interest
DHV	Design Hour Volume	LB	Pound	t	Ton
DIA	Diameter	PSI	Pounds Per Square Inch	T or TN	Town
E	East	PE	Private Entrance	TRANS	Transition
X	East Grid Coordinate	R	Radius	TL OR T/L	Transit Line
ELEC	Electric	RR	Railroad	T	Trucks (percent of)
EL OR ELEV	Elevation	RL OR R/L	Reference Line	TYP	Typical
ESALS	Equivalent Single Axle Loads	RP	Reference Point	UNCL	Unclassified
EBS	Excavation Below Subgrade	RCCP	Reinforced Concrete Culvert Pipe	UG	Underground Cable
FF	Face to Face	REQD	Required	USH	United States Highway
FE	Field Entrance	RES	Residence or Residential	VAR	Variable
F	Fill	RW	Retaining Wall	V	Velocity or Design Speed
FG	Finished Grade	RT	Right	VERT	Vertical
FL or F/L	Flow Line	RHF	Right-Hand Forward	VC	Vertical Curve
FT	Foot	R/W	Right-of-Way	VOL	Volume
FTG	Footing	R	River	WM	Water Main
GN	Grid North	RD	Road	WV	Water Valve
HT	Height	RDWY	Roadway	W	West
CWT	Hundredweight	SALV	Salvaged	WB	Westbound
HYD	Hydrant	SAN S	Sanitary Sewer	YD	Yard
INL	Inlet	ID	Inside Diameter	INV	Invert
IP	Iron Pipe or Pin	IRS	Iron Rod Set		

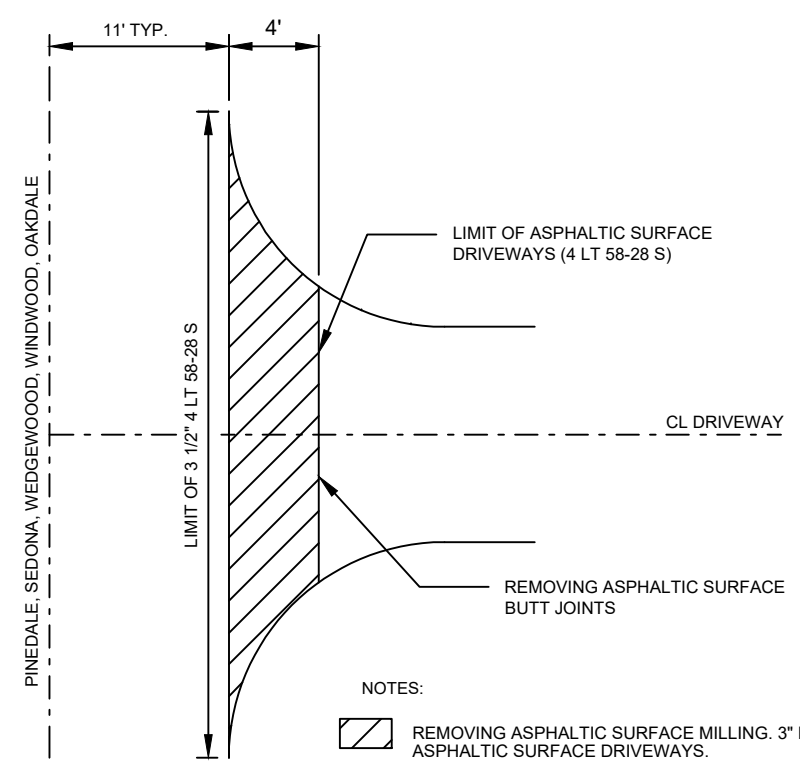
PROJECT NO: 2024-020 (S) & (N)	HWY: KRONENWETTER DR.	COUNTY: MARATHON	GENERAL NOTES	SHEET	E
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KRONENWETTER DRIVE (NORTH) TID BOUNDARY TO KOWALSKI RD



PAVED DRIVEWAYS

PINEDALE, SEDONA, WEDGEWOOD,
WINDWOOD, OAKDALE

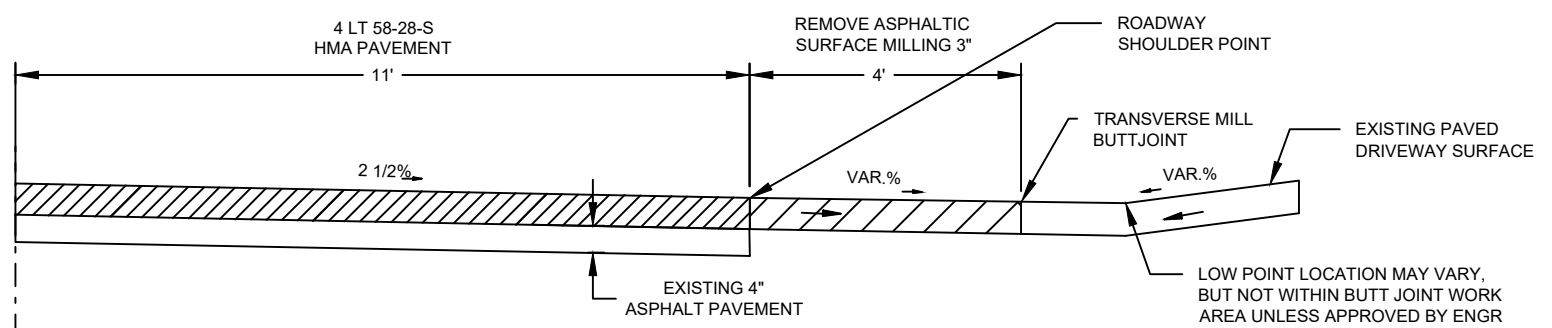


NOTES:

- REMOVING ASPHALTIC SURFACE MILLING. 3" LAYER* ASPHALTIC SURFACE DRIVEWAYS.
- MATCH EXISTING PAVED SURFACE RADII AND TAPERS.

PAVED DRIVEWAY SECTION

PINEDALE, SEDONA, WEDGEWOOD,
WINDWOOD, OAKDALE

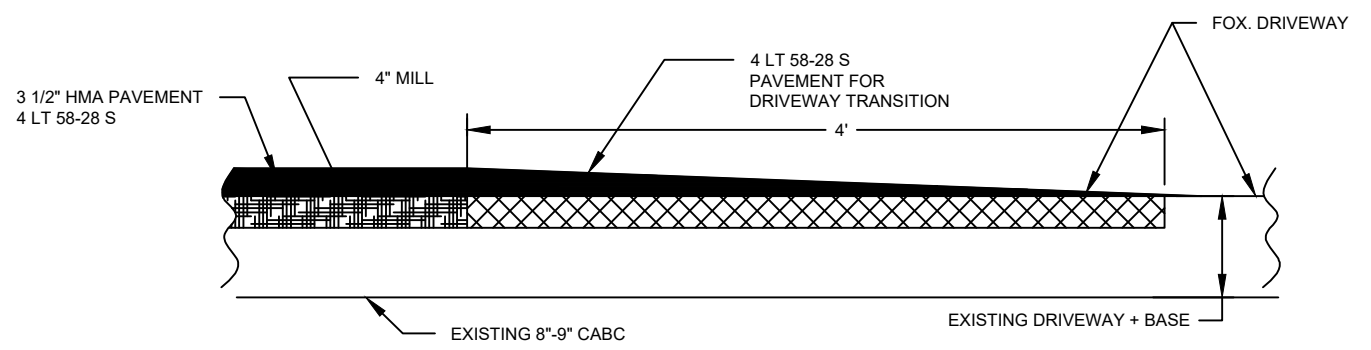


NOTES:

- MILL AND OVERLAY 4" HMA PAVEMENT 4 LT 58-28 S (ROADWAY)
- MILL BUTT JOINT WITH NEW 3" HMA PAVEMENT 4 LT 58-28 S (DRIVEWAY TRANSITION)
- EXISTING 4" PAVEMENT SUBSURFACE (TO REMAIN)

NOTIFY ENGINEER IF DRIVEWAY IS ABOVE SHOULDER POINT

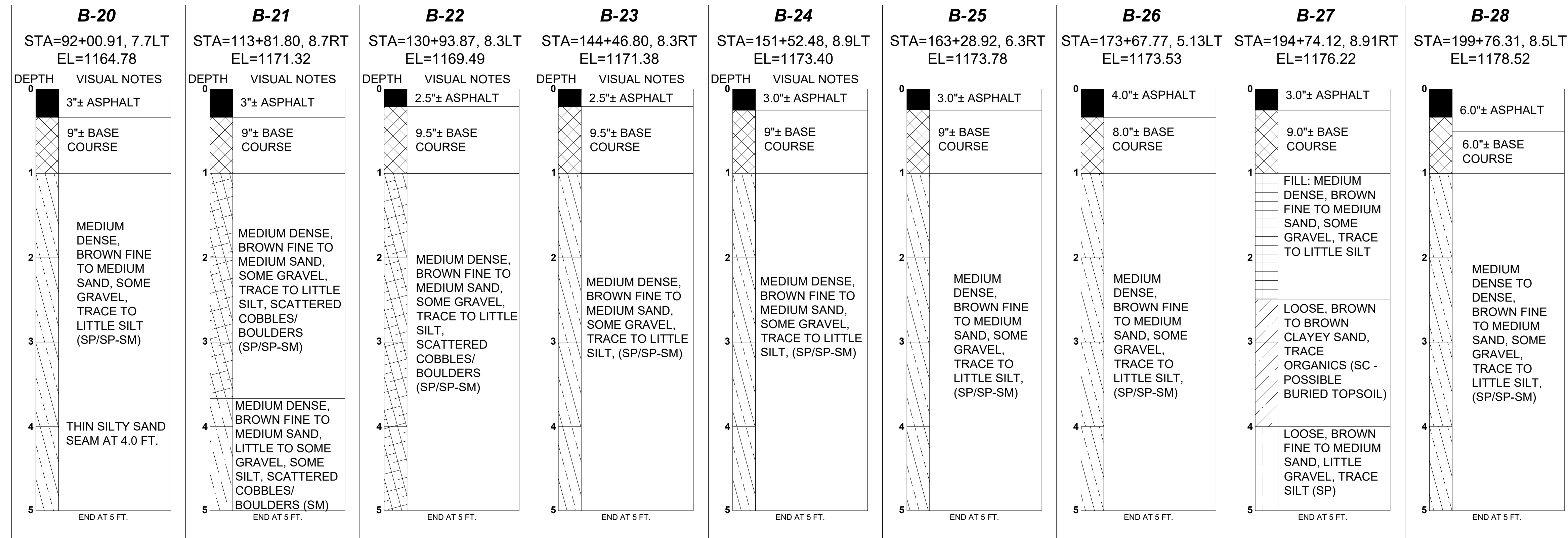
TRANSVERSE BUTT JOINT

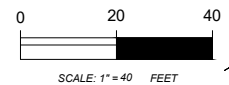


NOTES:

- REMOVING ASPHALT SURFACE BUTT JOINTS, PINEDALE, SEDONA, WEDGEWOOD, WINDWOOD + OAKDALE

KRONENWETTER DRIVE - NORTH

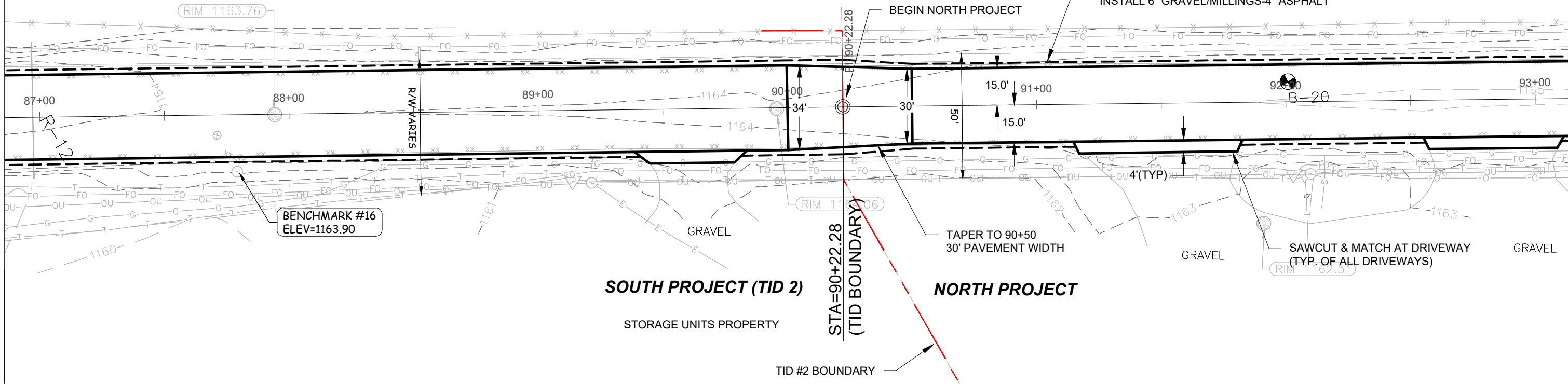




SOUTH PROJECT (TID 2)

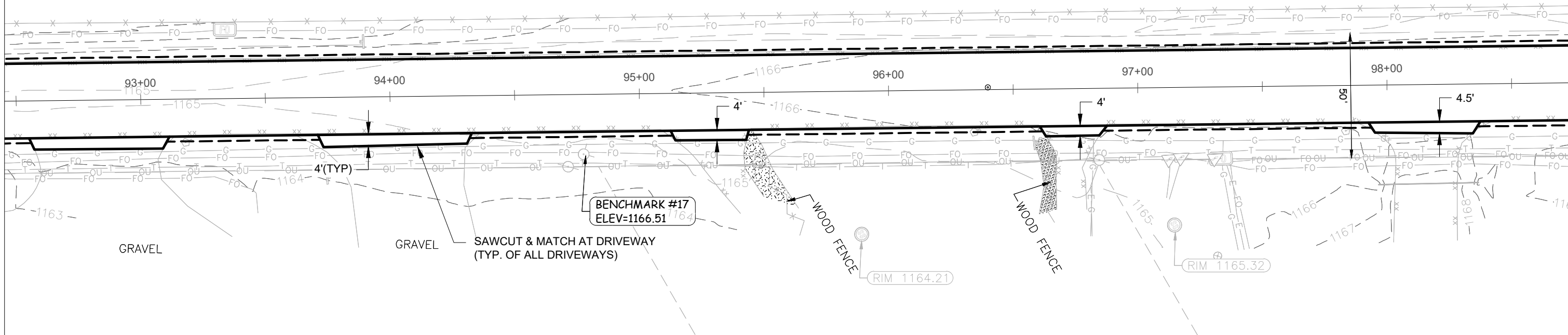
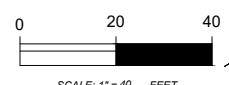
NORTH PROJECT

MILL/PULVERIZE EXISTING PAVEMENT
APPLY 12" OF BREAKER RUN OVER FABRIC
INSTALL 6" GRAVEL/MILLINGS-4" ASPHALT

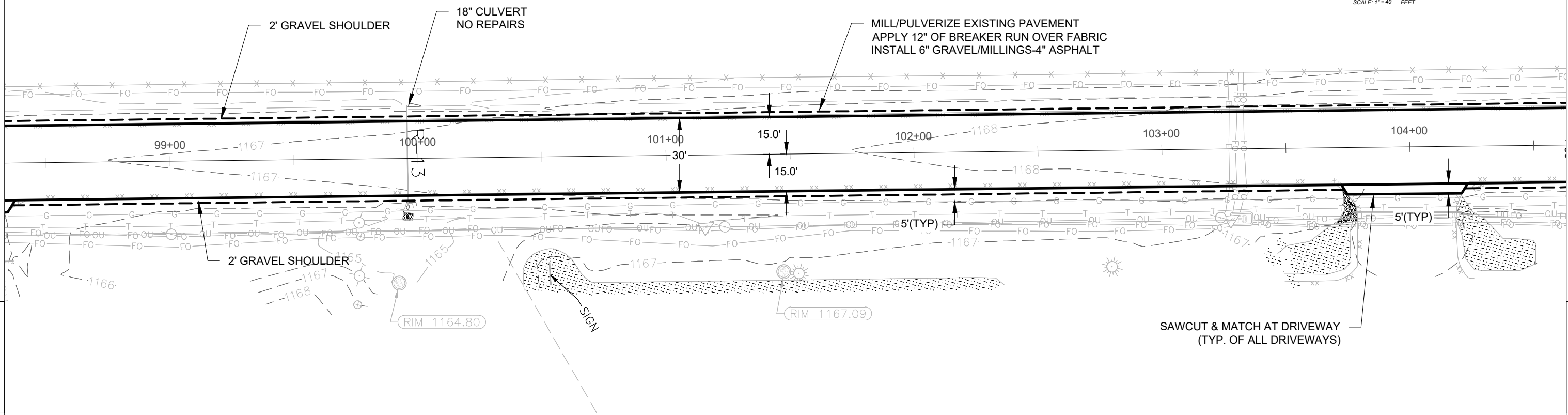
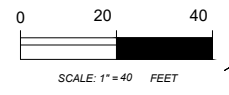


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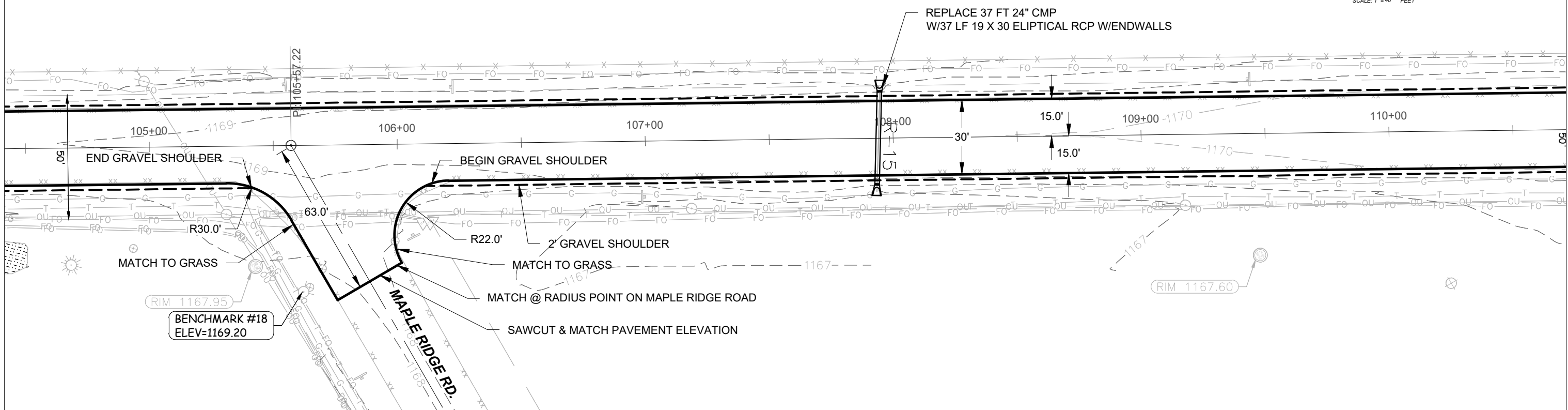
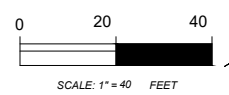


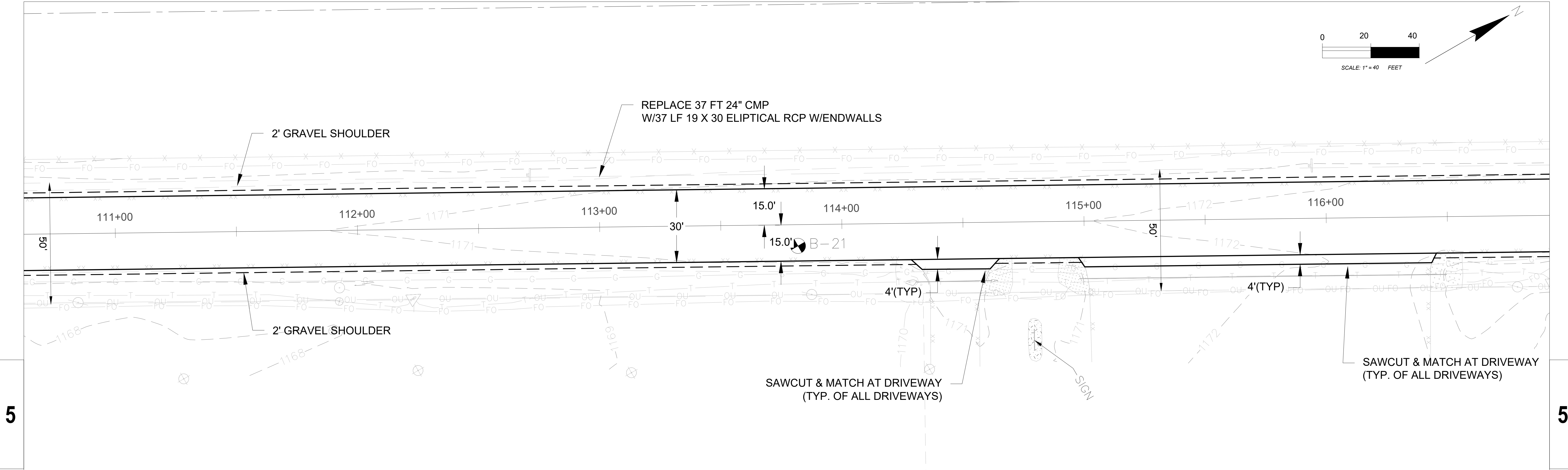
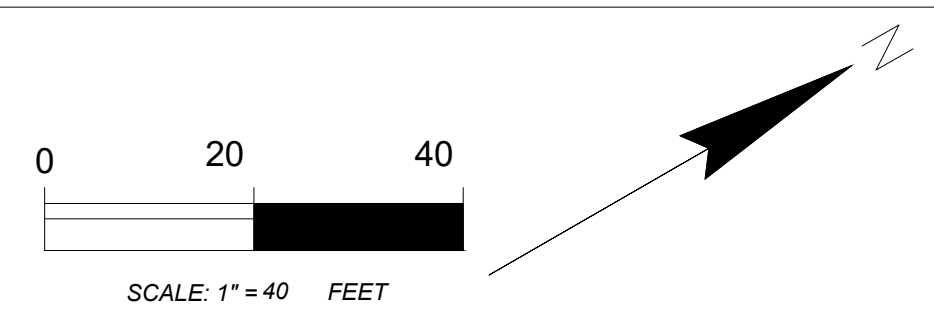
PROJECT NO: 2024-020-(D) NORTH	HWY: KRONENWETTER DRIVE	COUNTY: MARATHON	PLAN	SHEET
FILE NAME: F:\1 PROJECT FILES 2024\2024-020 (C) PHASE A-SOUTH-(D) PHASE B-NORTH ROADS\ (D) PHASE B-NORTH\020-D-NORTH ROADS.DWG	PLOT DATE: 7/31/2024 11:07 AM	PLOT BY: WAYNE CASPER	PLOT NAME: PLAN 2.4	PLOT SCALE: 1" = 40'



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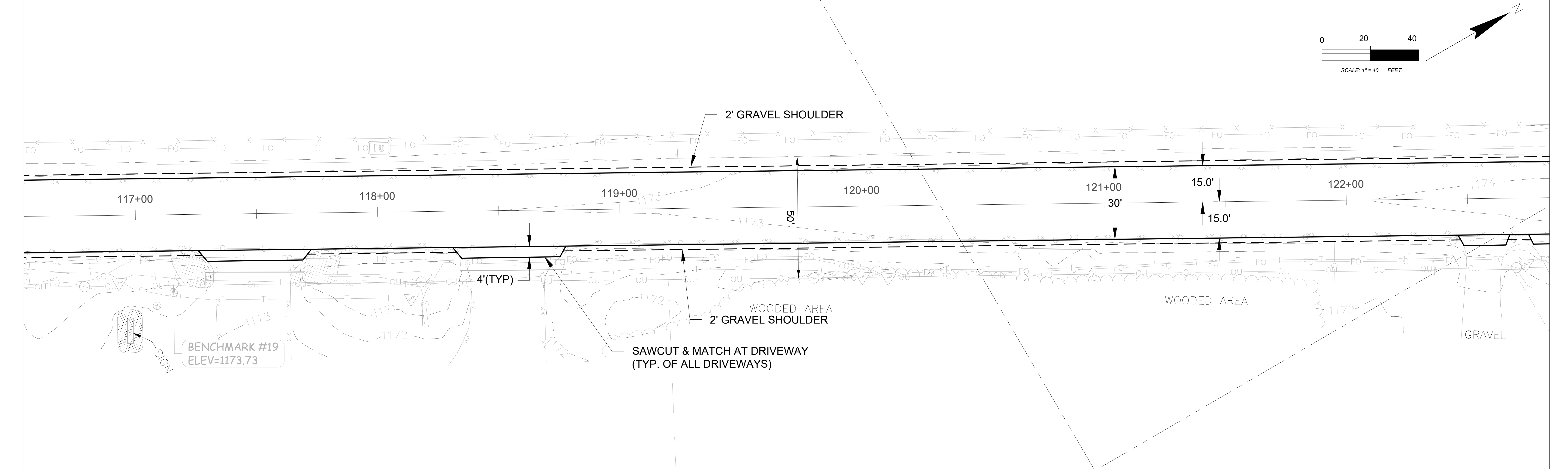
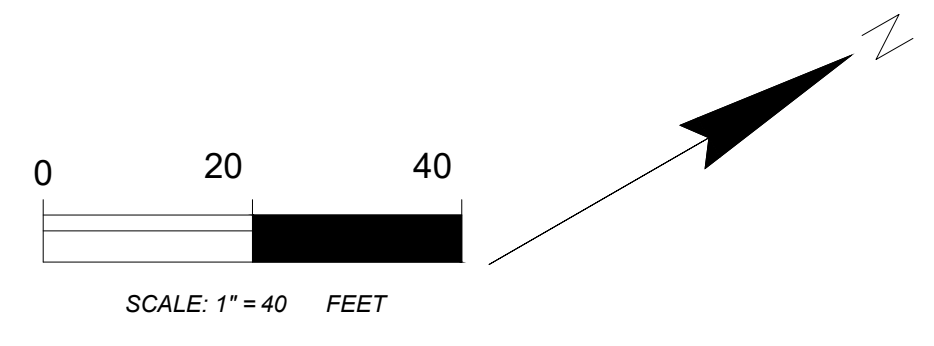
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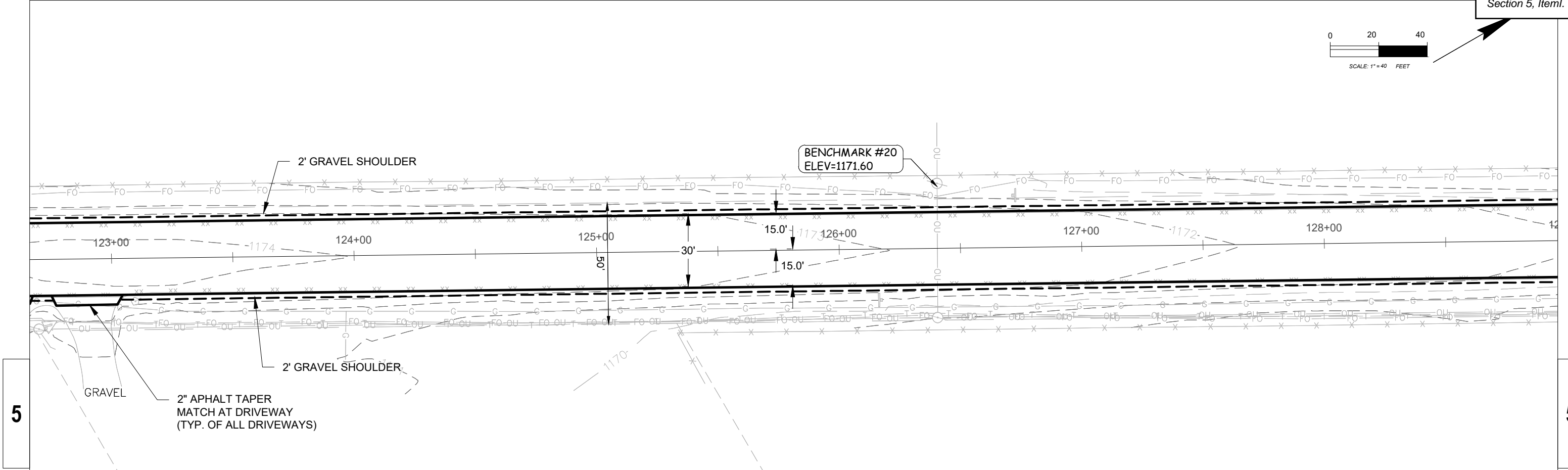
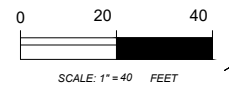


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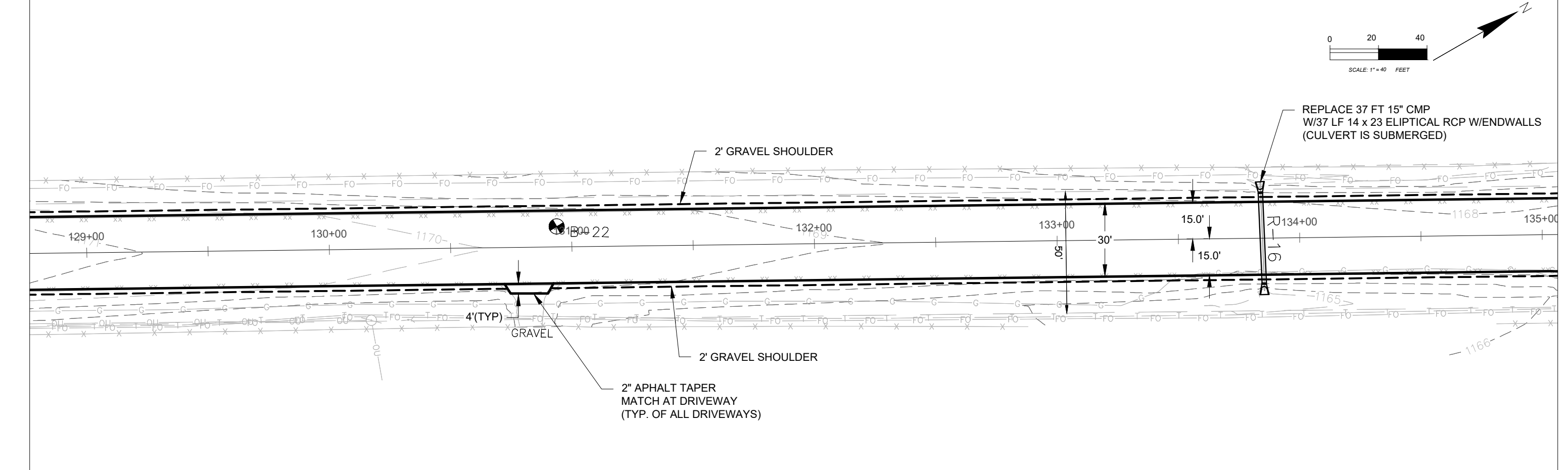
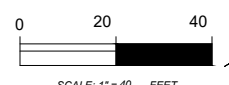


PROJECT NO: 2024-020-(D) NORTH	HWY: KRONENWETTER DRIVE	COUNTY: MARATHON	PLAN	SHEET	E
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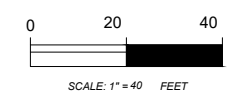
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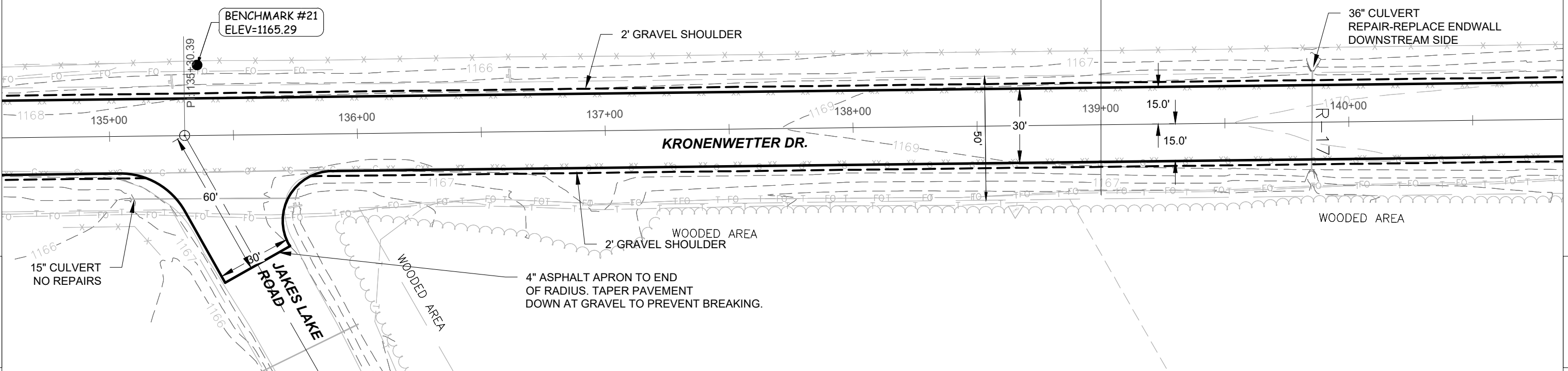
PROJECT NO: 2024-020-(D) NORTH	HWY: KRONENWETTER DRIVE	COUNTY: MARATHON	PLAN	SHEET
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SEE PLAN & PROFILE SHEET FOR ELEVATION CHANGE IN THIS AREA FOR KRONENWETTER DR.

FULL RECONSTRUCTION
4" ASPHALT
6" CABG
12" BREAKER
GEOFABRIC
REHABILITATION
PULVERIZE 4"-3/4" CABG
WITH EX. PAVEMENT & BASE
SHAPE & COMPACT
ADD 4" ASPHALT

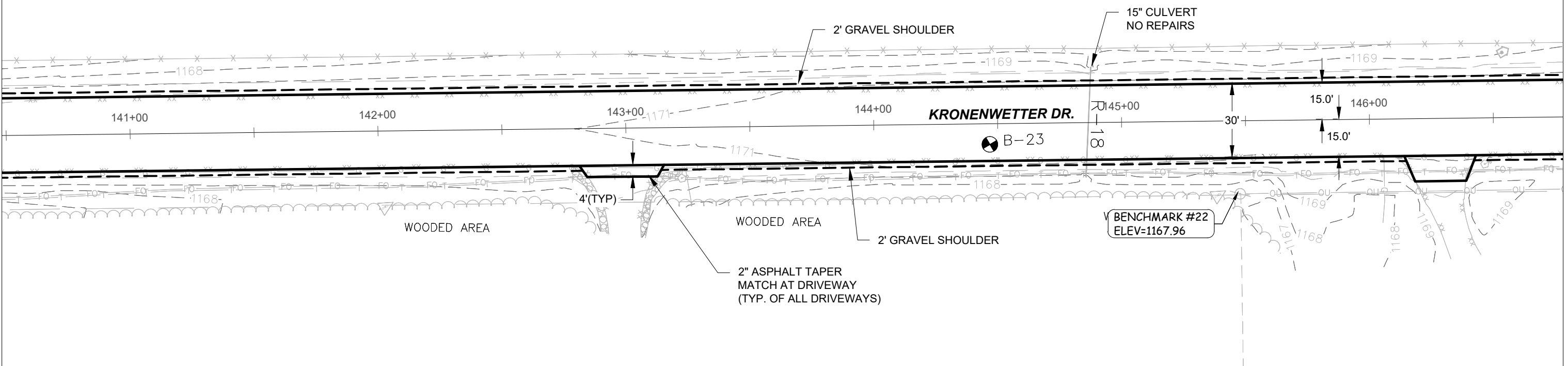
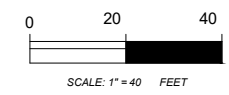


BENCHMARK #21
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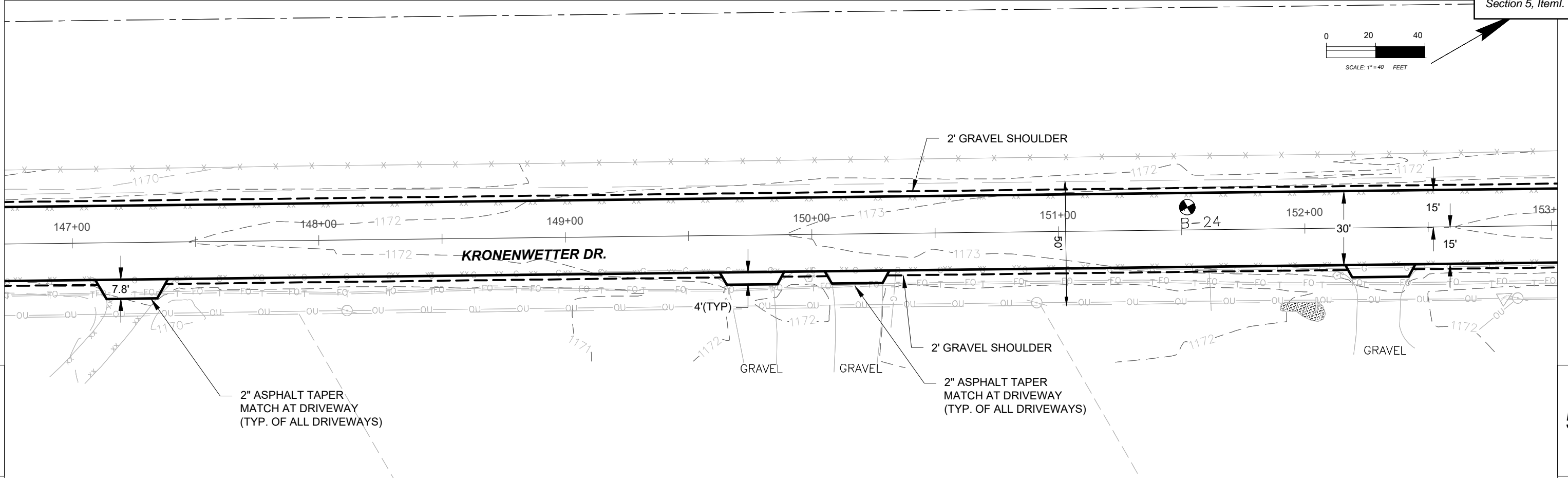
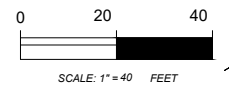


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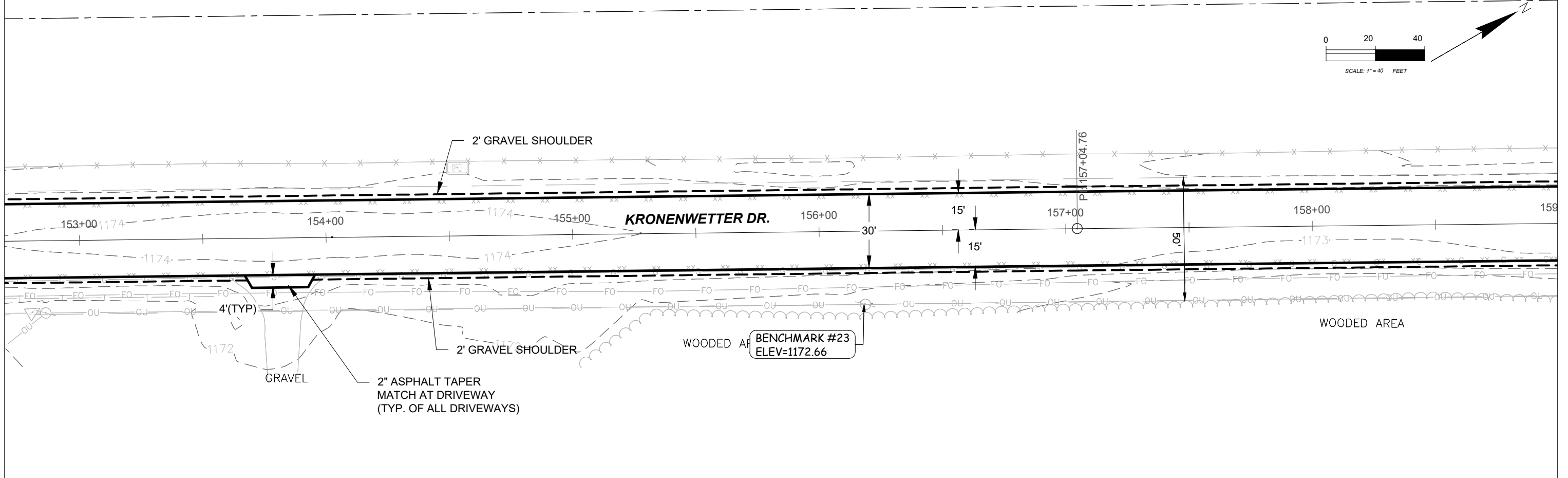
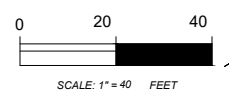


PROJECT NO: 2024-020-(D) NORTH	HWY: KRONENWETTER DRIVE	COUNTY: MARATHON	PLAN	SHEET	E
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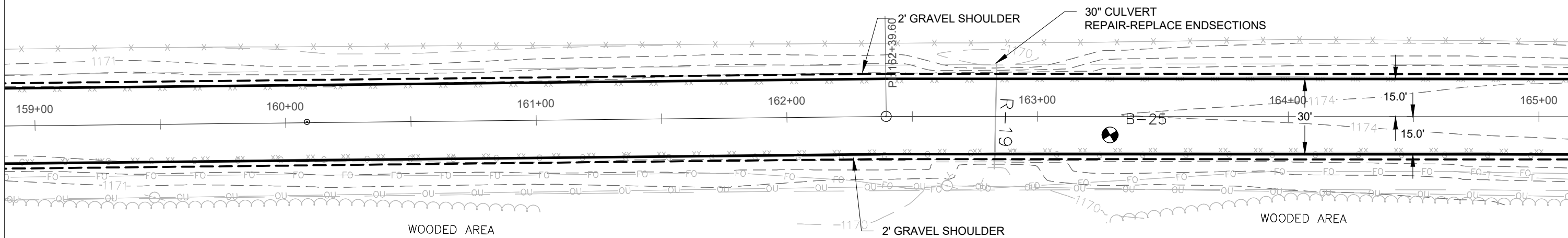
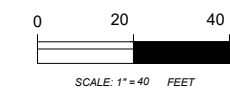


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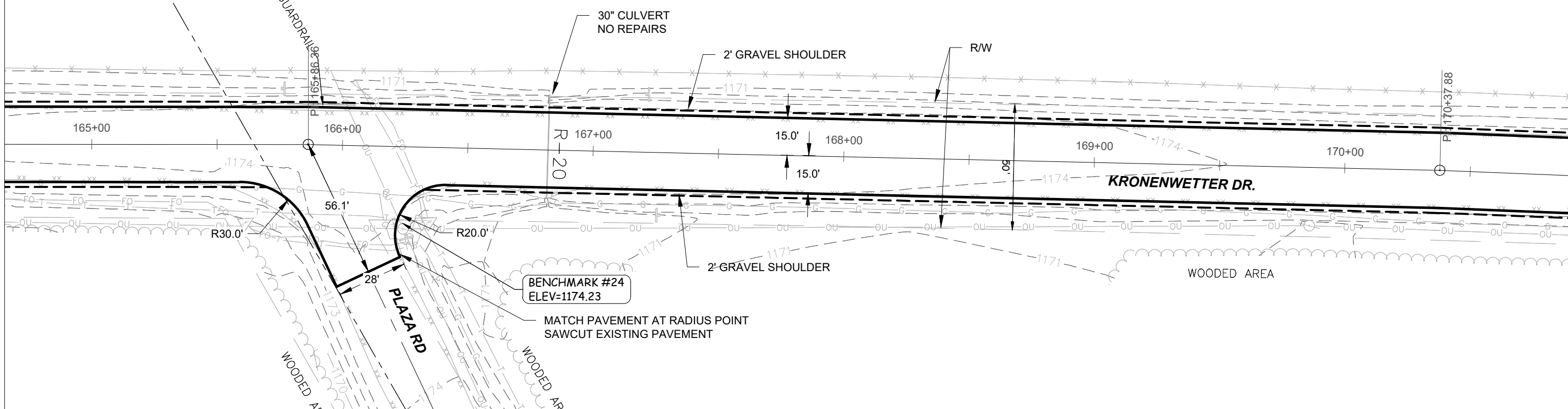
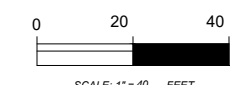


PROJECT NO: 2024-020-(D) NORTH	HWY: KRONENWETTER DRIVE	COUNTY: MARATHON	PLAN	SHEET
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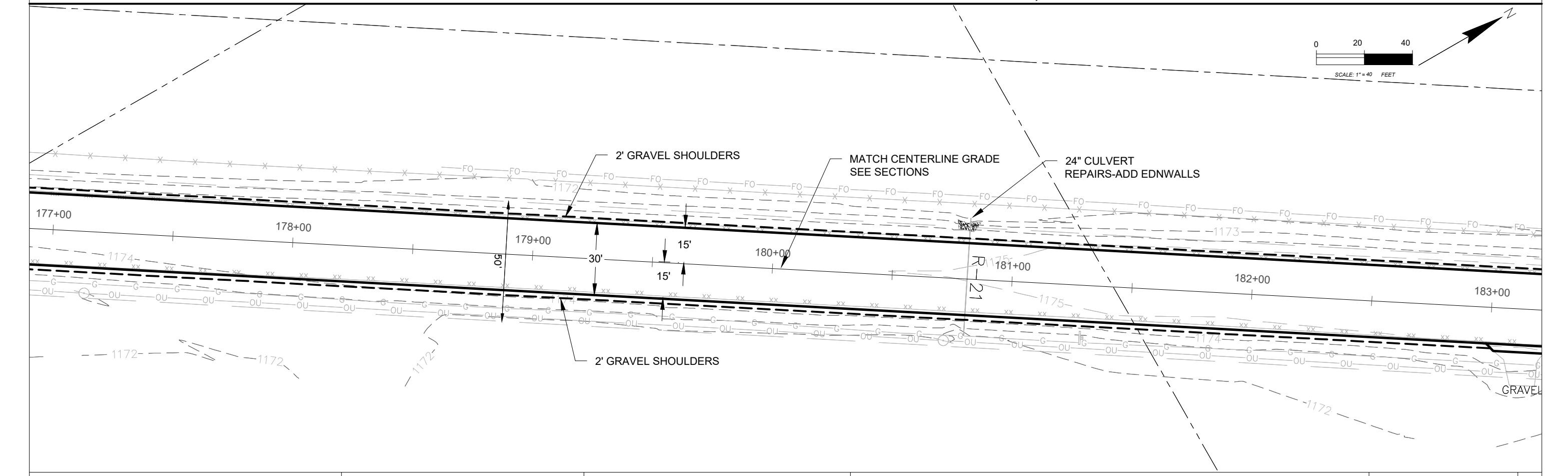
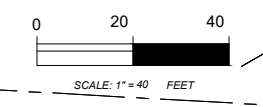
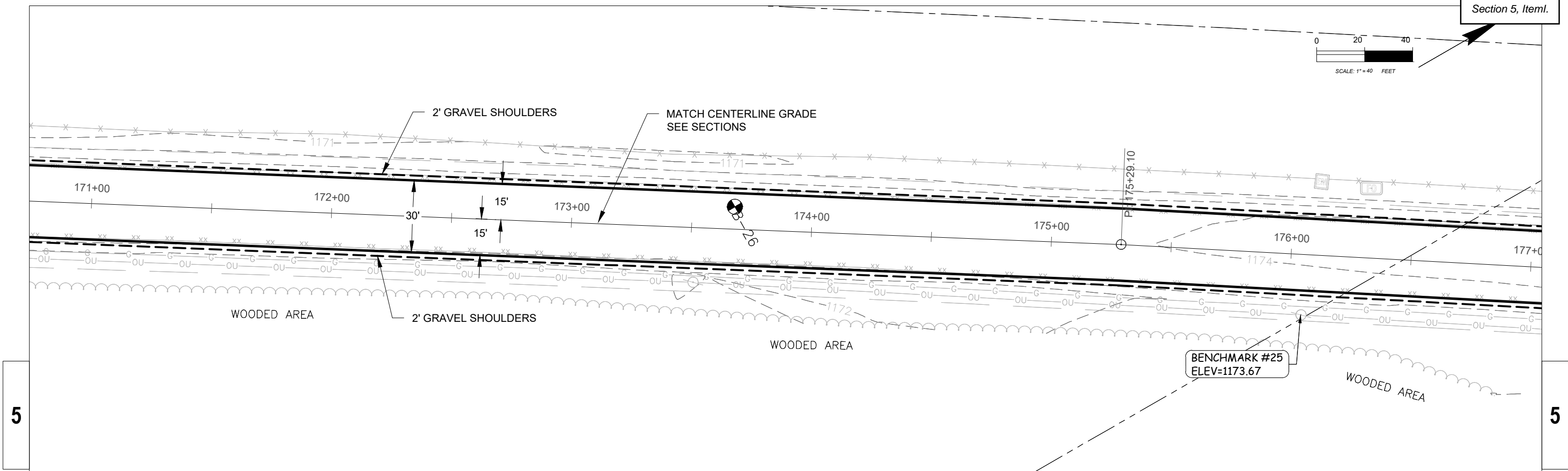
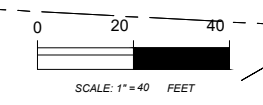


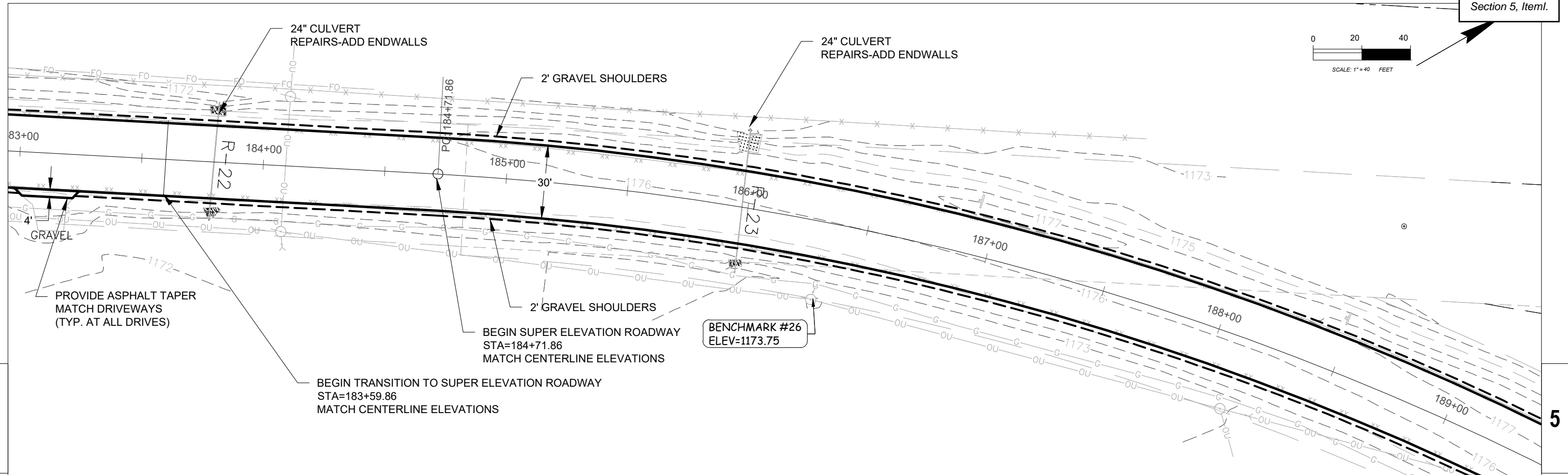
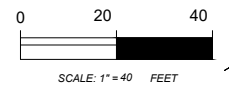
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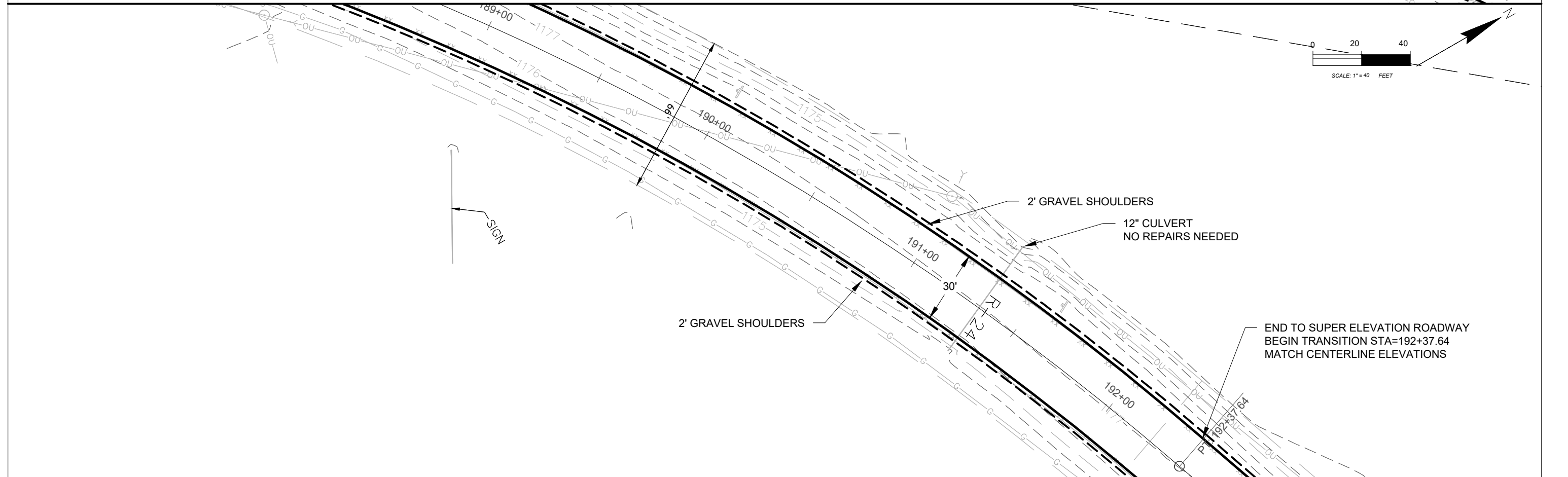
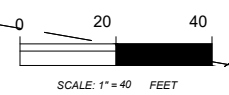
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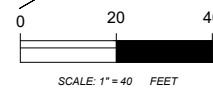




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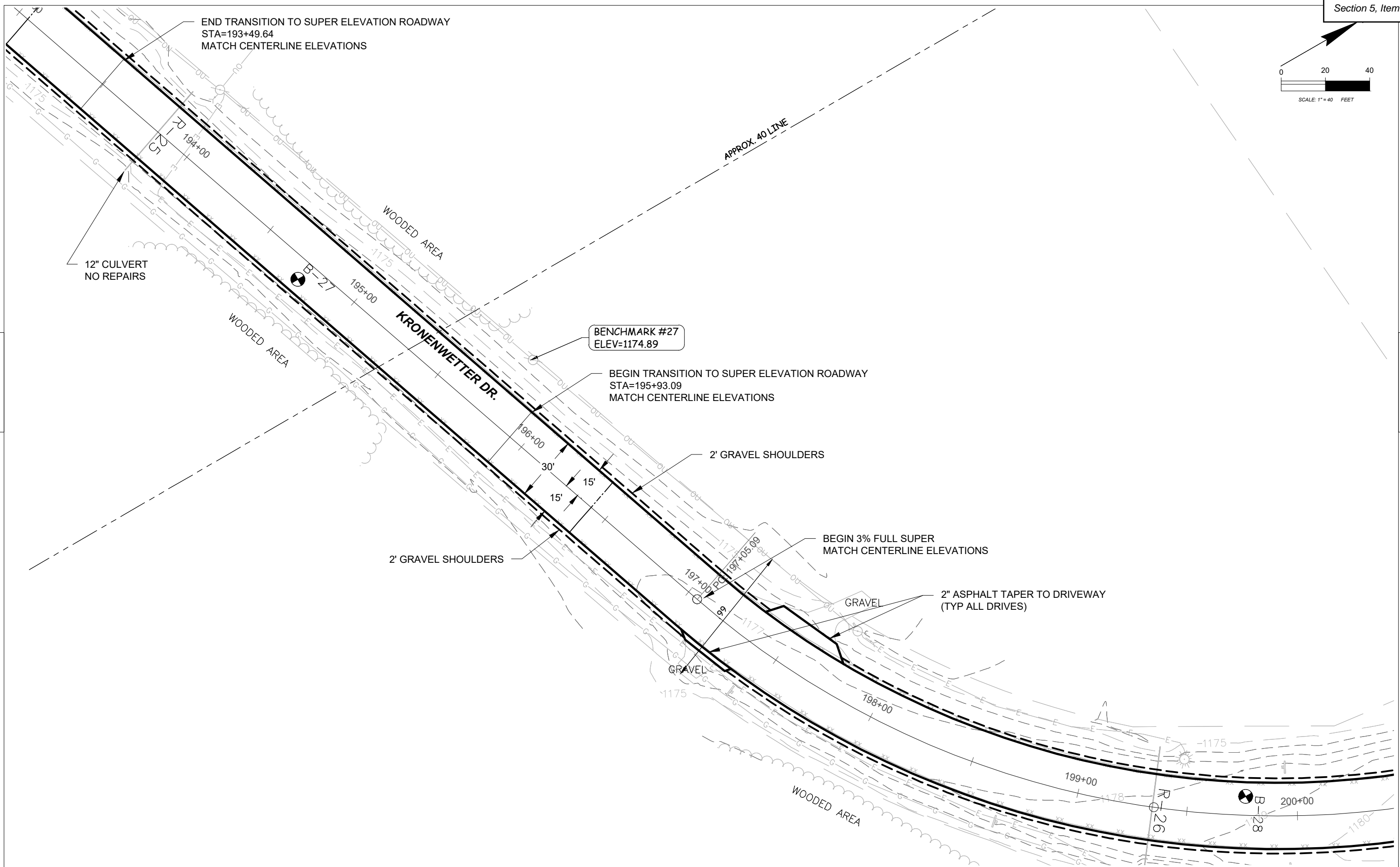
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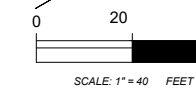


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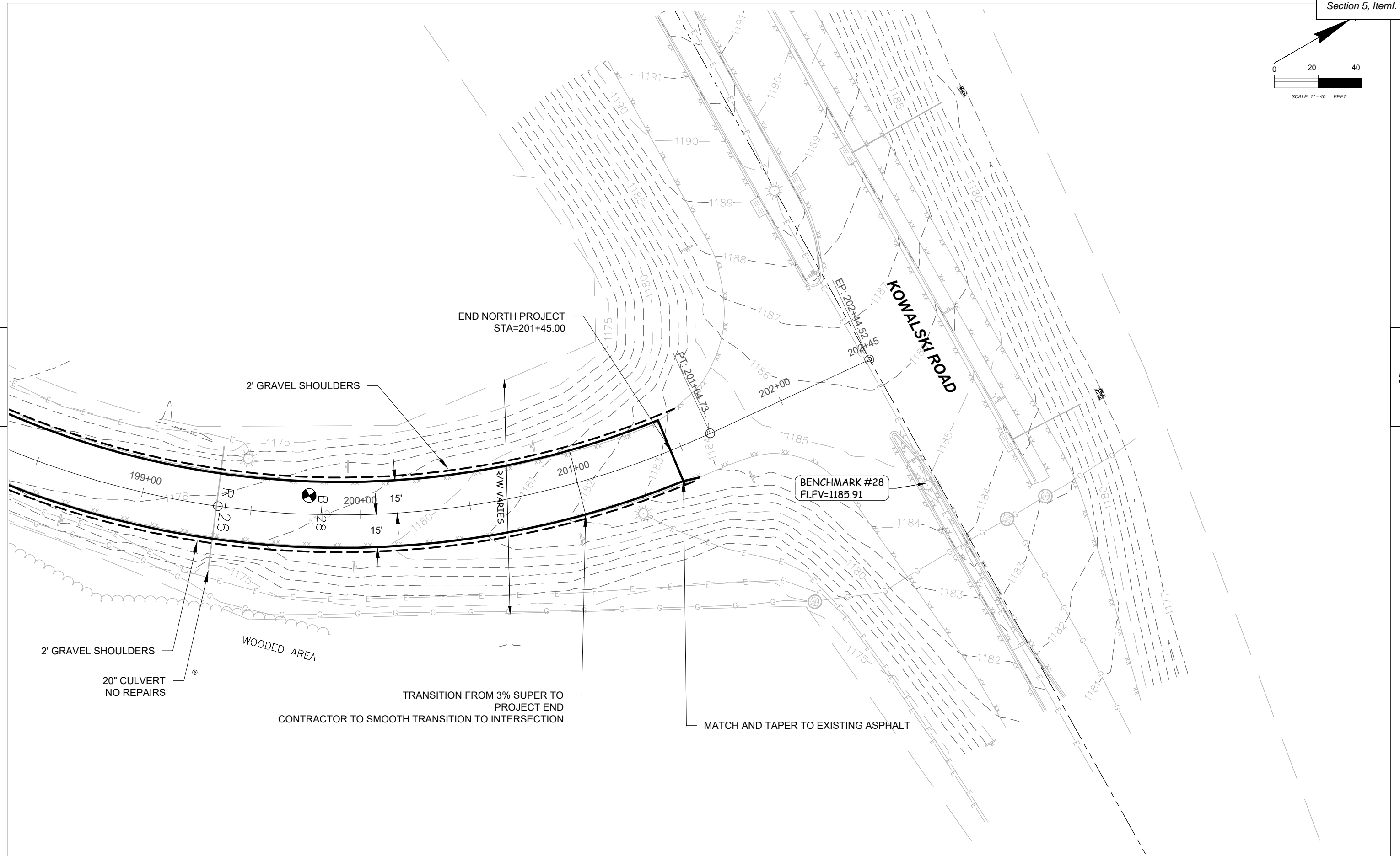


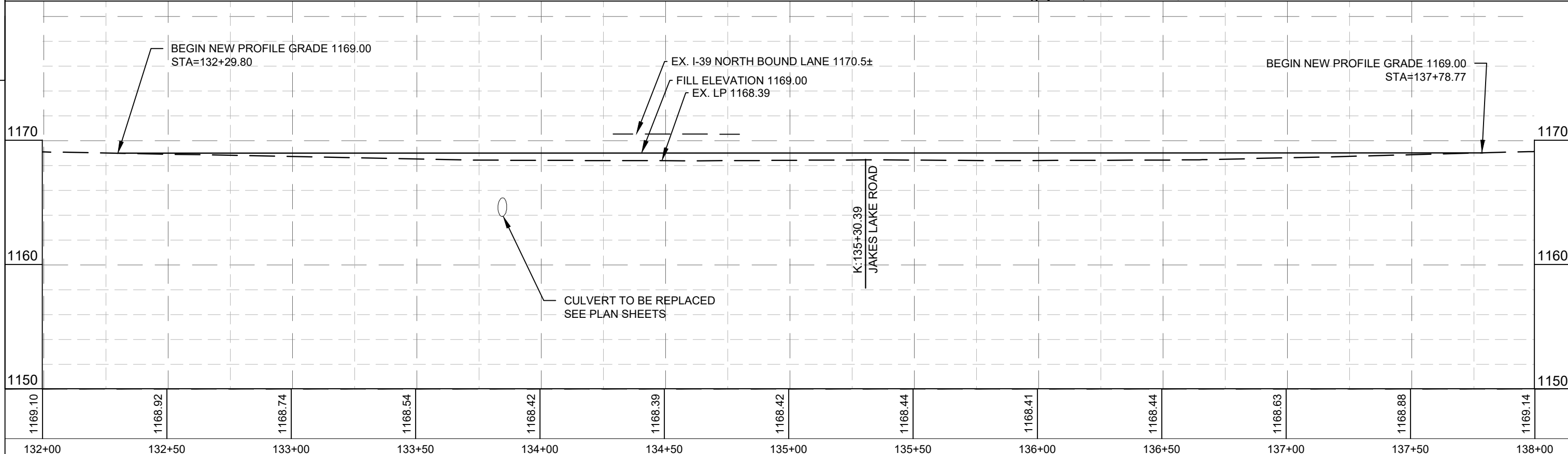
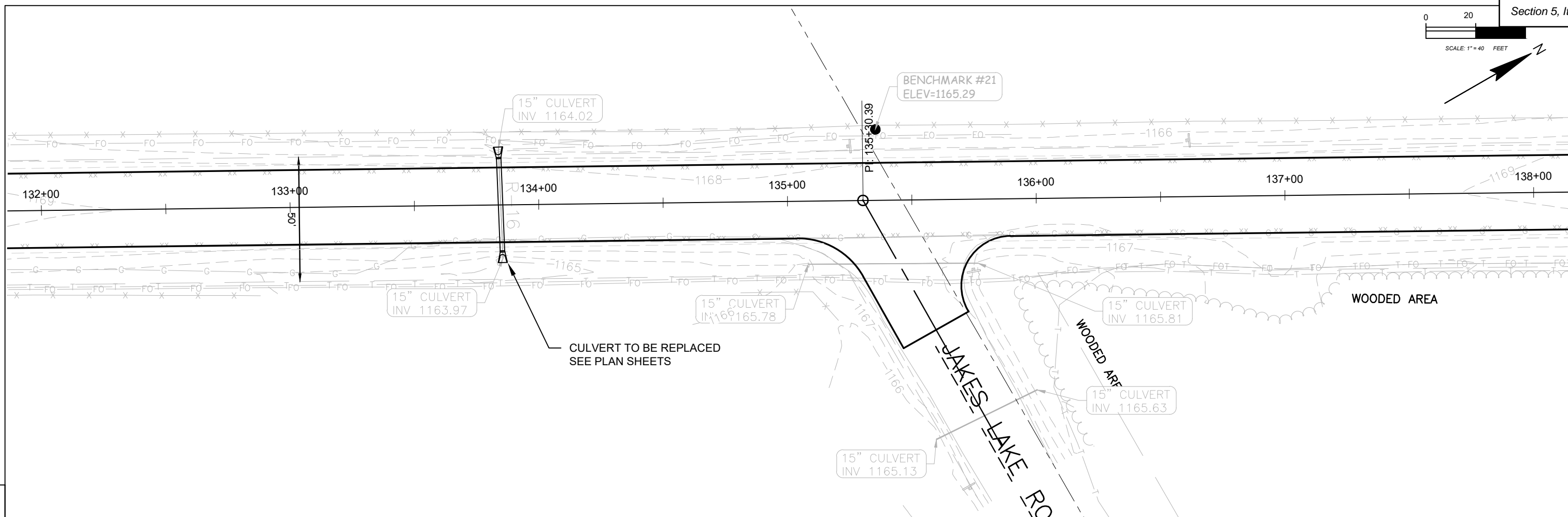
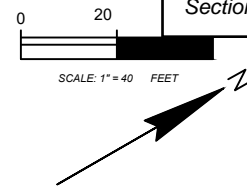
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1169.10	1168.92	1168.74	1168.54	1168.42	1168.39	1168.42	1168.44	1168.41	1168.44	1168.63	1168.88	1169.14
132+00	132+50	133+00	133+50	134+00	134+50	135+00	135+50	136+00	136+50	137+00	137+50	138+00

PROJECT NO: 2024-020 (D) NORTH	HWY: KRONENWETTER DRIVE	COUNTY: MARATHON	PLAN & PROFILE	SHEET	E
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August 1, 2024

2024 PRELIMINARY FINANCING PLAN:

Village of Kronenwetter, WI

2024 Street and Sewerage System Projects



Prepared by:

Ehlers
N19W24400 Riverwood Drive,
Suite 100
Waukesha, WI 53188

Advisors:

Brian Roemer
Senior Municipal Advisor
Ariana Schmidt
Financial Specialist

BUILDING COMMUNITIES. IT'S WHAT WE DO.

Table 1 Existing G.O. Debt Base Case

Village of Kronenwetter, WI

Year Ending	Existing Debt								Year Ending
	Total G.O. Debt Payments	Less: TID #4	Less: TID #1	Net Debt Service Tax Levy	Change from prior year DS tax levy	Equalized Value (TID OUT)	Tax Rate Per \$1,000	Annual Taxes \$325,000 Home	
2023	1,173,725	(197,600)	(257,850)	700,000		727,900,700	\$0.96	\$312.54	2023
2024	1,196,028	(201,200)	(262,400)	732,428	32,428	808,175,800	\$0.91	\$294.54	2024
2025	1,192,953	(199,500)	(256,700)	736,753	4,325	843,939,433	\$0.87	\$283.72	2025
2026	1,193,653	(197,600)	(261,050)	735,003	(1,750)	881,285,688	\$0.83	\$271.05	2026
2027	1,173,428	(200,400)	(260,050)	712,978	(22,025)	920,284,601	\$0.77	\$251.79	2027
2028	1,149,703	(199,800)	(258,900)	691,003	(21,975)	961,009,305	\$0.72	\$233.69	2028
2029	553,478	(200,950)	(262,500)	90,028	(600,975)	1,003,536,170	\$0.09	\$29.16	2029
2030	399,428	(202,000)	0	197,428	107,400	1,047,944,947	\$0.19	\$61.23	2030
2031	198,728	0	0	198,728	1,300	1,094,318,915	\$0.18	\$59.02	2031
2032	194,928			194,928	(3,800)	1,142,745,036	\$0.17	\$55.44	2032
2033	196,028			196,028	1,100	1,193,314,125	\$0.16	\$53.39	2033
2034	102,000			102,000	(94,028)	1,246,121,011	\$0.08	\$26.60	2034
2035	0			0	(102,000)	1,301,264,724	\$0.00	\$0.00	2035
Total	7,550,353	(1,401,450)	(1,561,600)	4,587,303					Total

Notes:

Legend:


 Represents +/- 25% Change over previous year

Table 2 Capital Improvement Plan & Funding Uses

Village of Kronenwetter, WI

Projects	Purpose/Dept.	Plan Issue	Funding	2024	Totals
Lift Station and Force Main	TID 2	2024 G.O. Notes	G.O. Debt	1,857,599	1,857,599
Kronenwetter Drive TID 2	TID 2	2024 G.O. Notes	G.O. Debt	2,300,000	2,300,000
Local Roads Phase I	TID 2	2024 G.O. Notes	G.O. Debt	2,100,000	2,100,000
Kronenwetter Drive North Phase	Levy	2024 G.O. Notes	G.O. Debt	2,000,000	2,000,000
Actual CIP Costs				8,257,599	8,257,599

Sources of Funding			2024	Totals
G.O. Debt			8,257,599	8,257,599
Revenue Debt			0	0
Grants/Aids			0	0
Cash			0	0
Total			8,257,599	8,257,599

Debt Obligations			2024	Totals
2024 G.O. Notes			8,257,599	8,257,599
Total			8,257,599	8,257,599

Notes:

Table 3 Capital Improvements Financing Plan

Village of Kronenwetter, WI

	2024		
	G.O. Notes	TID 2 Portion	Levy Portion
CIP Projects¹			
Lift Station and Force Main	1,857,599	1,857,599	
Kronenwetter Drive TID 2	2,300,000	2,300,000	
Local Roads Phase I	2,100,000	2,100,000	
Kronenwetter Drive North Phase	2,000,000		2,000,000
Subtotal Project Costs	8,257,599	6,257,599	2,000,000
CIP Projects¹	8,257,599	6,257,599	2,000,000
Estimated Issuance Expenses	198,688	150,524	48,163
Municipal Advisor (Ehlers)	47,900	36,289	11,611
Bond Counsel	25,000	18,940	6,060
Rating Fee	20,000	15,152	4,848
Maximum Underwriter's Discount	12.50 104,938	79,500	25,438
Paying Agent	850	644	206
Subtotal Issuance Expenses	198,688	150,524	48,163
TOTAL TO BE FINANCED	8,456,287	6,408,123	2,048,163
Estimated Interest Earnings	3.00% (61,932)	(46,932)	(15,000)
Assumed spend down (months)	3.00		
Rounding	645	(1,191)	1,837
NET BOND SIZE	8,395,000	6,360,000	2,035,000

Notes:

1) Project Total Estimates furnished from Village.

Table 4 Allocation of Debt Service - 2024 G.O. Notes

Village of Kronenwetter, WI

Year Ending	TID 2 Portion				Levy Portion				Year Ending	Totals		
	Principal	Est. Rate ¹	Interest	Total	Principal	Est. Rate	Interest	Total		Principal (4/1)	Interest	Total
2024				0				0	2024	0	0	0
2025	555,000	3.56%	193,469	748,469	0	3.56%	65,164	65,164	2025	555,000	258,634	813,634
2026	560,000	3.53%	191,523	751,523	0	3.53%	70,874	70,874	2026	560,000	262,396	822,396
2027	580,000	3.48%	171,547	751,547	20,000	3.48%	70,526	90,526	2027	600,000	242,072	842,072
2028	600,000	3.45%	151,105	751,105	40,000	3.45%	69,488	109,488	2028	640,000	220,592	860,592
2029	620,000	3.45%	130,060	750,060	440,000	3.45%	61,208	501,208	2029	1,060,000	191,267	1,251,267
2030	640,000	3.45%	108,325	748,325	345,000	3.45%	47,666	392,666	2030	985,000	155,991	1,140,991
2031	665,000	3.45%	85,813	750,813	355,000	3.45%	35,591	390,591	2031	1,020,000	121,405	1,141,405
2032	690,000	3.45%	62,440	752,440	270,000	3.45%	24,810	294,810	2032	960,000	87,250	1,047,250
2033	710,000	3.47%	38,219	748,219	175,000	3.47%	17,116	192,116	2033	885,000	55,335	940,335
2034	740,000	3.50%	12,950	752,950	175,000	3.50%	11,018	186,018	2034	915,000	23,968	938,968
2035	0	3.70%	0	0	215,000	3.70%	3,978	218,978	2035	215,000	3,978	218,978
2036	0	3.70%	0	0	0	3.70%	0	0	2036	0	0	0
2037	0	3.90%	0	0	0	3.90%	0	0	2037	0	0	0
2038	0	3.90%	0	0	0	3.90%	0	0	2038	0	0	0
2039	0	4.10%	0	0	0	4.10%	0	0	2039	0	0	0
2040	0	4.10%	0	0	0	4.10%	0	0	2040	0	0	0
2041	0	4.25%	0	0	0	4.25%	0	0	2041	0	0	0
2042	0	4.25%	0	0	0	4.25%	0	0	2042	0	0	0
2043	0	4.35%	0	0	0	4.35%	0	0	2043	0	0	0
2044	0	4.35%	0	0	0	4.35%	0	0	2044	0	0	0
Total	6,360,000		1,145,448	7,505,448	2,035,000		477,437	2,512,437	Total	8,395,000	1,622,885	10,017,885

Notes:

1) Estimated Rate assumes AA- sale of 7/23/24 + .35

Table 5 Financing Plan Tax Impact

Village of Kronenwetter, WI

Year Ending	Existing Debt					Proposed Debt							Year Ending
	Net Debt Service Levy	Change From Prior Year Levy	Equalized Value (TID OUT)	Tax Rate Per \$1,000	Annual Taxes \$325,000 Home	2024 G.O. Notes 8,395,000 Dated: 10/30/2024 Total Prin. (4/1) and Int.	Abatements Less: TID 2	Debt Service Levy		Taxes			
								Total Net Debt Service Levy	Levy Change from Prior Year	Total Tax Rate for Debt Service	Annual Taxes \$325,000 Home	Annual Taxes Difference From Existing	
2024	732,428		808,175,800	\$0.91	\$295	0	0	732,428		\$0.91	\$295	\$0	2024
2025	736,753	4,325	843,939,433	\$0.87	\$284	813,634	(748,469)	801,917	69,489	\$0.95	\$309	\$25	2025
2026	735,003	(1,750)	881,285,688	\$0.83	\$271	822,396	(751,523)	805,876	3,959	\$0.91	\$297	\$26	2026
2027	712,978	(22,025)	920,284,601	\$0.77	\$252	842,072	(751,547)	803,503	(2,373)	\$0.87	\$284	\$32	2027
2028	691,003	(21,975)	961,009,305	\$0.72	\$234	860,592	(751,105)	800,490	(3,013)	\$0.83	\$271	\$37	2028
2029	90,028	(600,975)	1,003,536,170	\$0.09	\$29	1,251,267	(750,060)	591,235	(209,255)	\$0.59	\$191	\$162	2029
2030	197,428	107,400	1,047,944,947	\$0.19	\$61	1,140,991	(748,325)	590,094	(1,141)	\$0.56	\$183	\$122	2030
2031	198,728	1,300	1,094,318,915	\$0.18	\$59	1,141,405	(750,813)	589,319	(775)	\$0.54	\$175	\$116	2031
2032	194,928	(3,800)	1,142,745,036	\$0.17	\$55	1,047,250	(752,440)	489,738	(99,581)	\$0.43	\$139	\$84	2032
2033	196,028	1,100	1,193,314,125	\$0.16	\$53	940,335	(748,219)	388,144	(101,594)	\$0.33	\$106	\$52	2033
2034	102,000	(94,028)	1,246,121,011	\$0.08	\$27	938,968	(752,950)	288,018	(100,127)	\$0.23	\$75	\$49	2034
2035	0	(102,000)	1,301,264,724	\$0.00	\$0	218,978	0	218,978	(69,040)	\$0.17	\$55	\$55	2035
2036	0	0	1,358,848,672	\$0.00	\$0	0	0	0	(218,978)	\$0.00	\$0	\$0	2036
2037	0	0	1,418,980,842	\$0.00	\$0	0	0	0	0	\$0.00	\$0	\$0	2037
2038	0	0	1,481,773,999	\$0.00	\$0	0	0	0	0	\$0.00	\$0	\$0	2038
2039	0	0	1,547,345,896	\$0.00	\$0	0	0	0	0	\$0.00	\$0	\$0	2039
Total	4,587,303					10,017,885	(7,505,448)					\$759.70	Total

Total Cost of new financing to sample taxpayer over 11 years

Notes:

1) Projected TID OUT EV based on 1/1/2023 actual plus discounted 5-year average (or 4.43% annual inflation).

Table 6 General Obligation Debt Capacity Analysis - Impact of Financing Plan

Village of Kronenwetter, WI

Existing Debt					Proposed Debt				
Year Ending	Projected Equalized		Existing Principal		Combined Principal			Residual Capacity	Year Ending
	Value (TID IN) ¹	Debt Limit ²	Outstanding	% of Limit	2024 G.O. Notes	Existing & Proposed	% of Limit		
2023	895,765,200	44,788,260	6,712,208	15%		\$6,712,208	15%	\$38,076,052	2023
2024	964,532,600	48,226,630	5,731,108	12%	8,395,000	\$14,126,108	29%	\$34,100,522	2024
2025	1,008,646,443	50,432,322	4,717,595	9%	7,840,000	\$12,557,595	25%	\$37,874,728	2025
2026	1,054,777,875	52,738,894	3,666,506	7%	7,280,000	\$10,946,506	21%	\$41,792,388	2026
2027	1,103,019,174	55,150,959	2,597,814	5%	6,680,000	\$9,277,814	17%	\$45,873,145	2027
2028	1,153,466,836	57,673,342	1,516,415	3%	6,040,000	\$7,556,415	13%	\$50,116,927	2028
2029	1,206,221,770	60,311,089	1,007,246	2%	4,980,000	\$5,987,246	10%	\$54,323,843	2029
2030	1,261,389,504	63,069,475	640,112	1%	3,995,000	\$4,635,112	7%	\$58,434,363	2030
2031	1,319,080,388	65,954,019	464,938	1%	2,975,000	\$3,439,938	5%	\$62,514,081	2031
2032	1,379,409,820	68,970,491	286,606	0%	2,015,000	\$2,301,606	3%	\$66,668,885	2032
2033	1,442,498,479	72,124,924	100,000	0%	1,130,000	\$1,230,000	2%	\$70,894,924	2033
2034	1,508,472,559	75,423,628	0	0%	215,000	\$215,000	0%	\$75,208,628	2034
2035	1,577,464,028	78,873,201		0%	0	\$0	0%	\$78,873,201	2035
2036	1,649,610,890	82,480,544		0%	0	\$0	0%	\$82,480,544	2036
2037	1,725,057,459	86,252,873		0%	0	\$0	0%	\$86,252,873	2037

Notes:

- 1) Projected TID IN EV based on 1/1/2024 actual plus discounted 5-year average (or 4.57% annual inflation).
- 2) All municipalities are limited to 5% of TOTAL Equalized Value in G.O. Principal Outstanding. Test applied at time of financing.



Report to Village Board

Agenda Item: Discussion & Possible Action: Ambulance Purchase Contract Recommendation

Meeting Date: Septemeber 23, 2024

Referring Body: Ambulance Subcommittee/APC

Committee Contact:

Staff Contact: Theresa O'Brien, Fire Chief

Report Prepared by: Theresa O'Brien, Fire Chief

AGENDA ITEM: Discussion & Possible Action: Ambulance Purchase Contract Recommendation

OBJECTIVE(S): Review and approve the ambulance purchase agreement.

HISTORY/BACKGROUND: A quote was received for a new ambulance available for delivery November/December 2025 with costs for new ambulance and included equipment lower than proposed ambulance capital purchase budget. Ambulance Subcommittee recommended the approval of the purchase agreement with no money needed until delivery of equipment with a cancellation clause allowing for no penalties for cancellation by 07/01/2025 with additional wording added guaranteeing delivery by December 2025 or a loaner to be available if needed until ambulance is completed. Ambulance Subcommittee recommended approval with the additional wording and approval of wording by Village Attorney

PROPOSAL:

RECOMMENDED ACTION:

Approve and sign the purchase agreement with Pomasl Fire Equipment, Inc for the purchase of the Demers Ambulances, model MXP170, Type I Ambulance with both the cancellation clause and the guaranteed delivery..

ATTACHMENTS: Ambulance purchase agreement, Ambulance proposal letter, Proposal Summary, Ambulance Specs



Purchase Agreement

Date: September / October ____, 2024

DEALER: Pomasl Fire Equipment, Inc.
P.O. Box 267
1918 Neva Road
Antigo, WI 54409

PURCHASER: Village of Kronenwetter
1582 Kronenwetter Drive
Kronenwetter, WI 54455

MANUFACTURER: Demers Ambulances, model MXP170, Type I Ambulance

This **Purchase Agreement** is entered into by and between the above named **DEALER** and **PURCHASER** for the following:

Including: Chassis: X Body: X Equipment: X

The **PURCHASER** agrees to pay the **DEALER** the sum below per the proposal dated June 25, 2024 for a Demers Ambulances model MXP170, Type I Ambulance, to be built on a Ford F450 gas chassis.

- Demers model MXP170, Type I Ambulance \$ 319,623.00
- Less Ford municipal discount (\$ 3,500.00)
- Stryker model 6390, MTS Power-LOAD cot loading system \$ 27,425.00
- Stryker model 650705550001, Power Pro 2 power cot \$ 29,995.00
- Stryker model 6252, Stair Pro tracked manual stair chair \$ 4,475.00

- **Balance due upon delivery of the vehicle to the purchaser \$ 378,018.00**

Payment Terms: 100% payment due at final delivery at your station.

Lead time for delivery: The ambulance is a stock unit that is already on order. The ambulance is scheduled to be completed in early December 2025.



Loaner Ambulance: In the event the new Demers MXP170 ambulance is not completed, passed Wisconsin inspection and ready for service by January 1, 2026, the DEALER will provide a loaner ambulance no later than December 22, 2025 for use until the new Demers MXP170 ambulance passes state inspection and is ready for service. The Make, model, year, and VIN will be determined in December 2025. The loan period would be from December 22, 2025 until the new Demers MXP170 is placed in service. A loaner agreement would be provided to be signed at a cost of \$ 0.00.

Cancellation / Termination: In the event this Agreement is cancelled or terminated by the PURCHASER before completion, DEALER may charge a cancellation fee. The following charge schedule based on costs incurred may be applied: (a) 0% of the Purchase Price after order is accepted and before July 1, 2025; (b) 10% of the Purchase Price if cancelled between July 2, 2025 and October 1, 2025, and; (c) 25% of the Purchase Price between October 2, 2025 and arrival of the completed ambulance at the DEALER location, which is estimated to be December 10, 2025. The December 10, 2025 dates is flexible and assumes the unit stays on schedule up to and through the build of the ambulance at the Demers Ambulance facility. DEALER endeavors to mitigate any such costs through the sale of the ambulance to another purchaser; however, PURCHASER may remain liable for the costs incurred by the DEALER as outlined in the above cancellation fee schedule at the dealers discretion. If PURCHASER elects to cancel the order, a letter on Village letterhead needs to be sent to the DEALER. DEALER will then review timeline and may or may not incur the cancellation fee.

The PURCHASER agrees that any modifications in the form of additions to and or deletions from the specifications made during the manufacture of the vehicle or prior to delivery, at the request of the PURCHASER, shall be considered and computed into the final balance; and the final payment adjusted, in accordance with such changes.

Unless otherwise noted herein, the Purchase price agreed to is net F.O.B. 1582 Kronenwetter Drive, Kronenwetter, Wisconsin. All customer payments including final payment must be made directly to the DEALER - Pomasl Fire Equipment, Inc.

The title does not pass to the PURCHASER until the purchase price is paid in full. The vehicle will not be turned over to the PURCHASER unless proof of insurance is provided.

All applicable sales and excise taxes now, or hereafter, imposed upon the sale of the items specified herein shall be paid by the PURCHASER.



DEALER:

POMASL FIRE EQUIPMENT, INC.

Authorized Signatures:

Kevin Pomasl or Dan Pomasl
President or Vice President
Pomasl Fire Equipment, Inc.

Date Signed:

PURCHASER:

VILLAGE OF KRONENWETTER

Name # 1 – Sign Above the Line

Name # 1 – Print Name Above Line

Title:

Date Signed:

Name # 2 (if necessary) – Sign Above the Line

Name # 2 (if necessary) – Print Name Above
Line

Title:

Date Signed:

Name # 3 (if necessary) – Sign Above the Line

Name # 3 (if necessary) – Print Name Above
Line

Title:

Date Signed:



CPQ quote: QUO0000009219 Rev: 1

Date & revision: 2023-09-28 rev.0

General exterior with custom paint	page 2
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DISCLAIMERS

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Demers makes every effort to maintain the accuracy and quality of the information provided in these drawings. However, Demers cannot guarantee and assumes no legal liability or responsibility for the accuracy or completeness of the information provided. The information contained in these drawings is for general guidance only. You should always develop your quote and send to Demers for engineering validation to the feasibility of the custom options according to the specific configuration required by the customer.

Should there be any discrepancies between the CPQ configurator, the CPQ quote or sale sheet and these drawings; the CPQ configurator, the CPQ quote or sale sheet will take precedence. These drawings are subject to change by engineering during the construction process of the vehicle. Dimensional data for information only. The copyright of all content in these drawings is owned by Demers and/or the various manufacturers of our equipment. These drawings in part or whole cannot be changed, reproduced, stored in or transmitted onto any website or social media without the prior written consent from Demers.

MXP170E - Ford F450



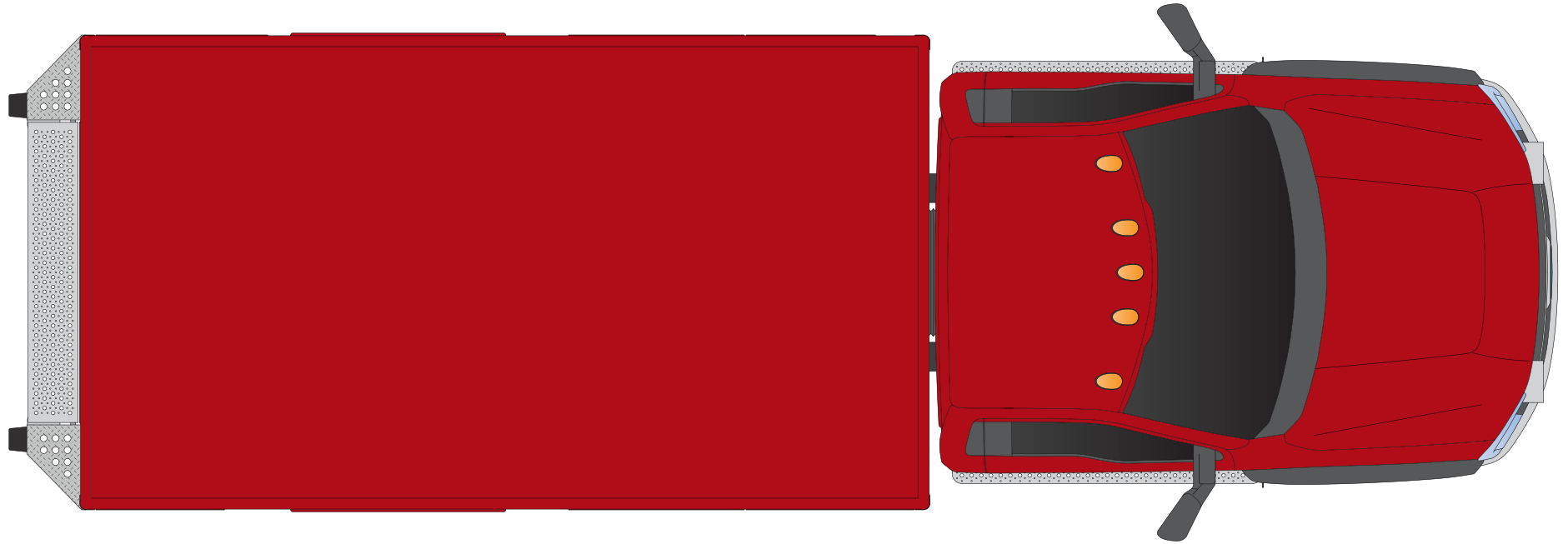
General exterior with custom paint

Date: 2023-09-28 rev.0
Scale:
Draft: Section 5, Item J.

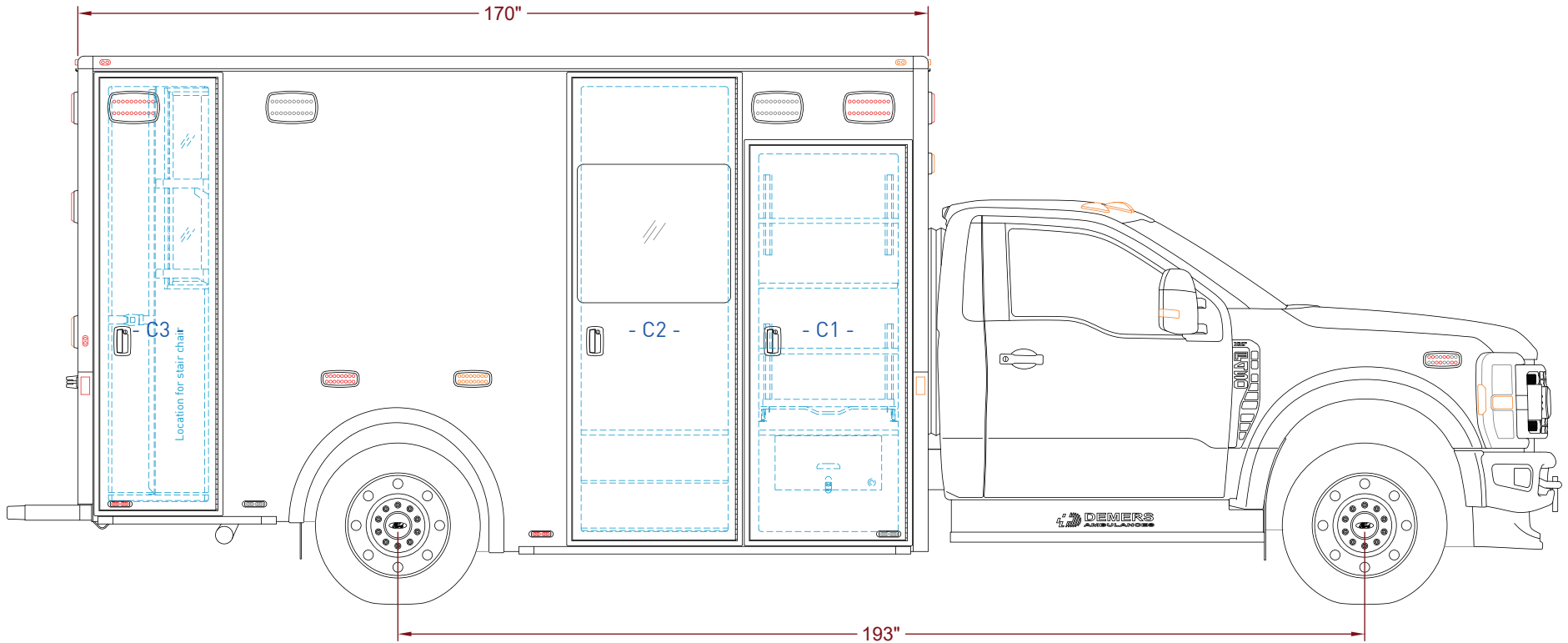


Top exterior with custom paint

Date: 2023-09-28 rev.0
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Draft: Section 5, Item J.



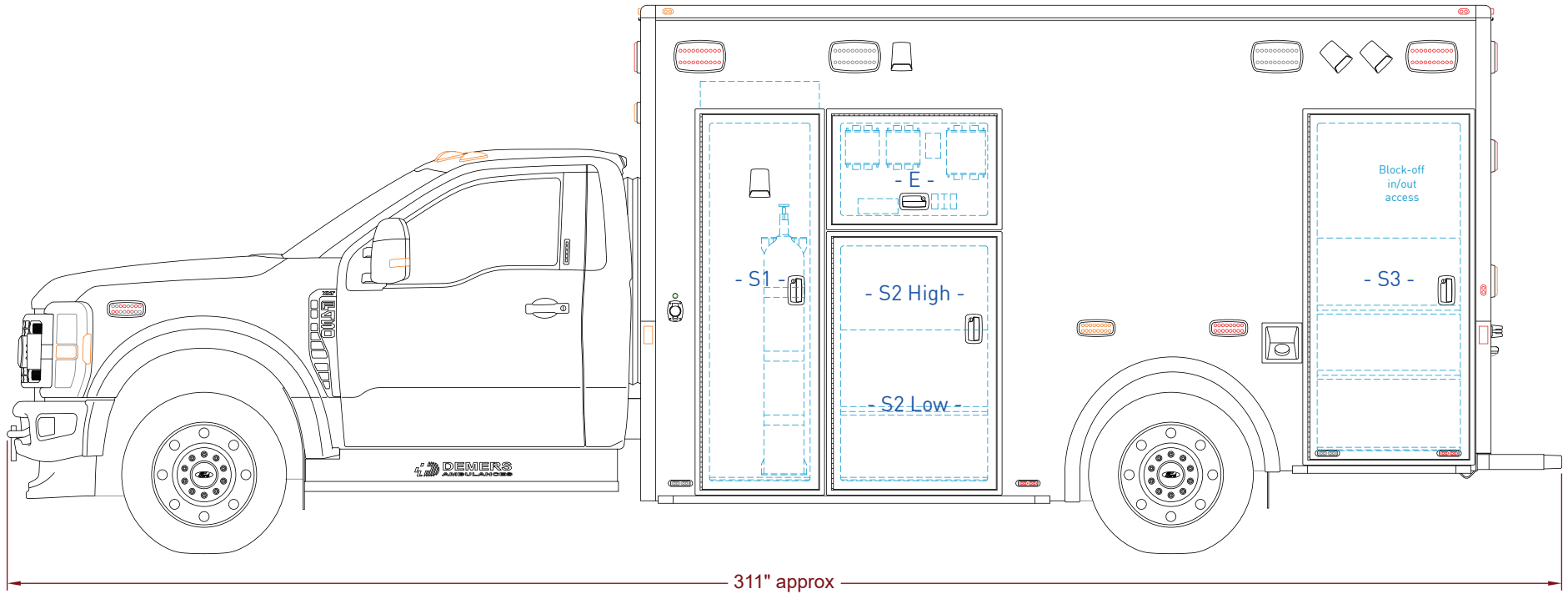
Curbside exterior



Compartment	Opening L x H	Interior dimensions L x H x D
C1	27.75" x 55.75"	30.25" x 57.25" x 32.00"
C2	29.25" x 88.75"	-
C3	20.00" x 82.75"	20.75" x 84.25" x 18.50"

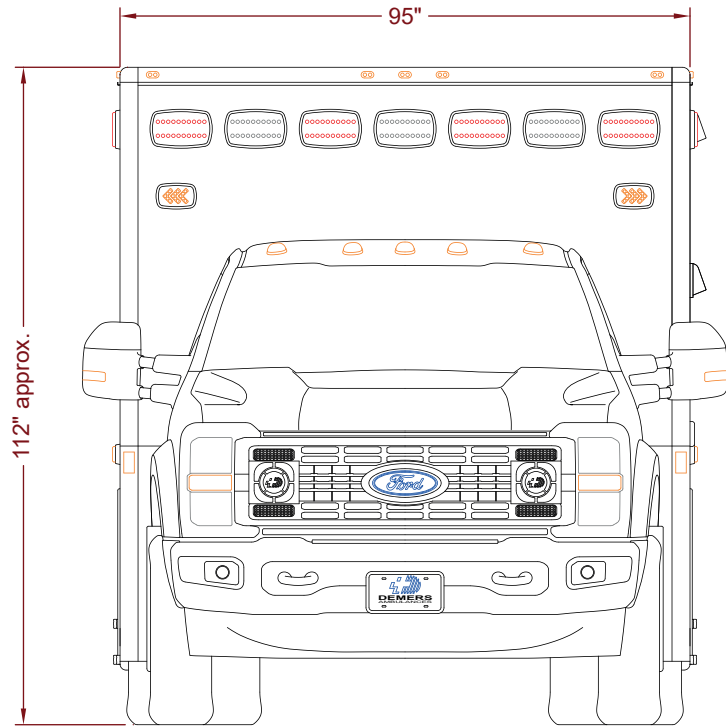
Streetside exterior

Date: 2023-09-28 rev.0
 Scale:
 Draft: Section 5, Item J.



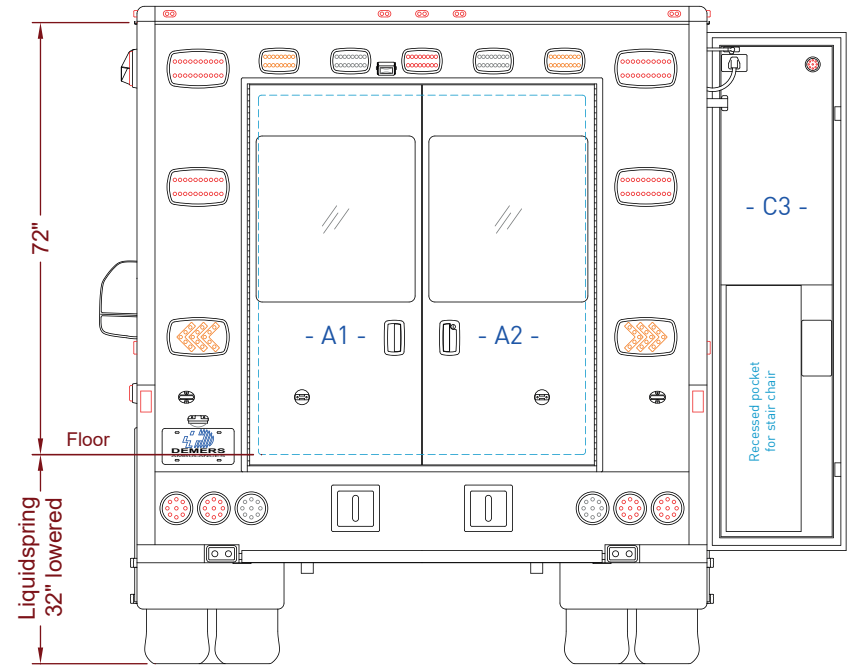
Compartment	Opening L x H	Interior dimensions L x H x D
S1	20.25" x 71.50"	23.75" x 79.50" x 18.00"
S2	29.25" x 47.00"	High: 32.25" x 17.25" x 8.00" Low: 32.25" x 30.00" x 13.50"
S3	28.50" x 65.50"	33.25" x 42.00" x 17.50"
E	29.25" x 18.50"	-

Front & rear exterior



Note

The total height of the vehicle can be different according to chassis and suspensions



Note

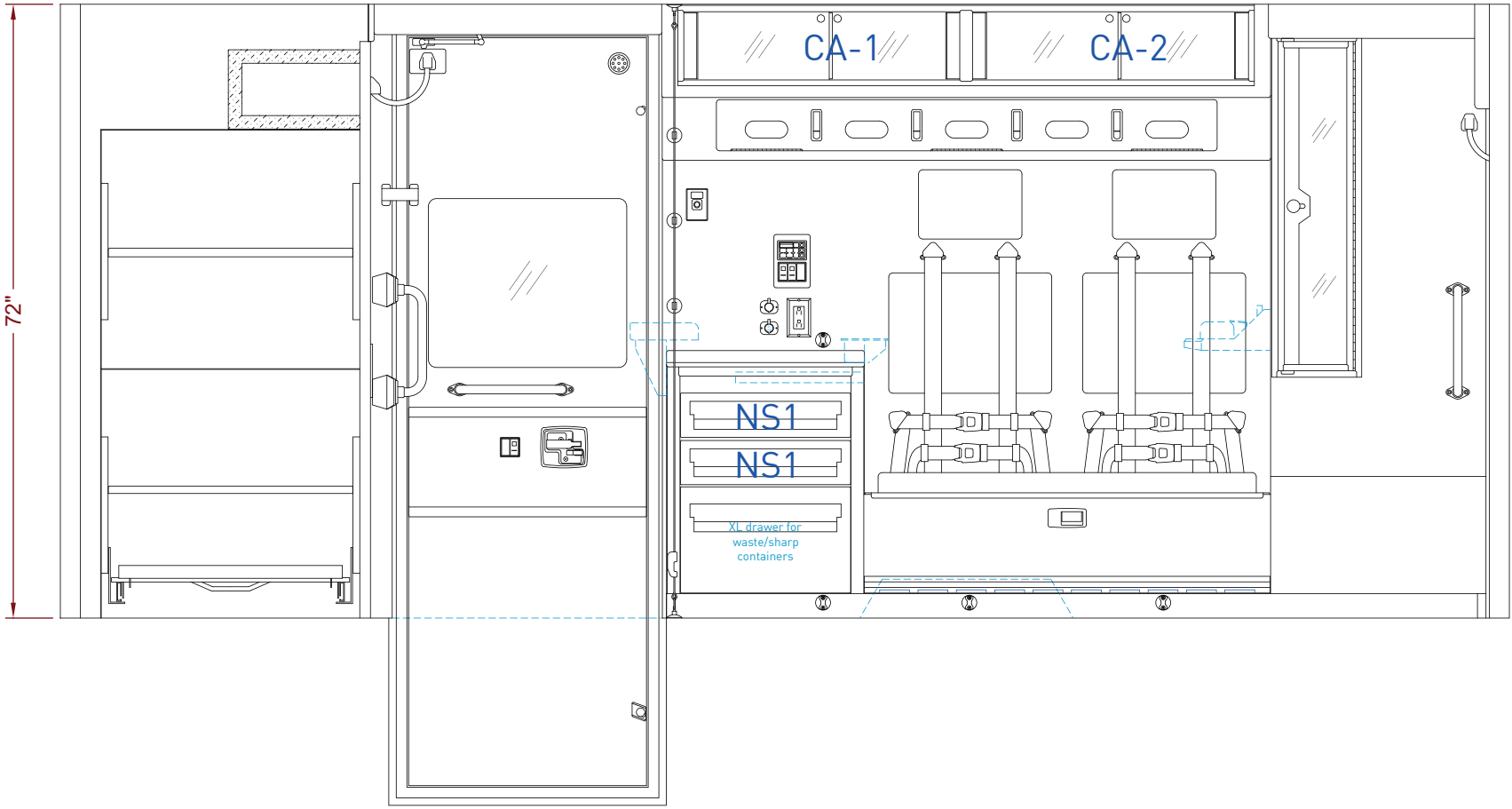
The rear loading height of the vehicle can be different according to chassis and suspensions

Compartment	Opening L x H	Interior dimensions L x H x D
A1 & A2	54.50" x 59.75"	-

Curbside interior wall

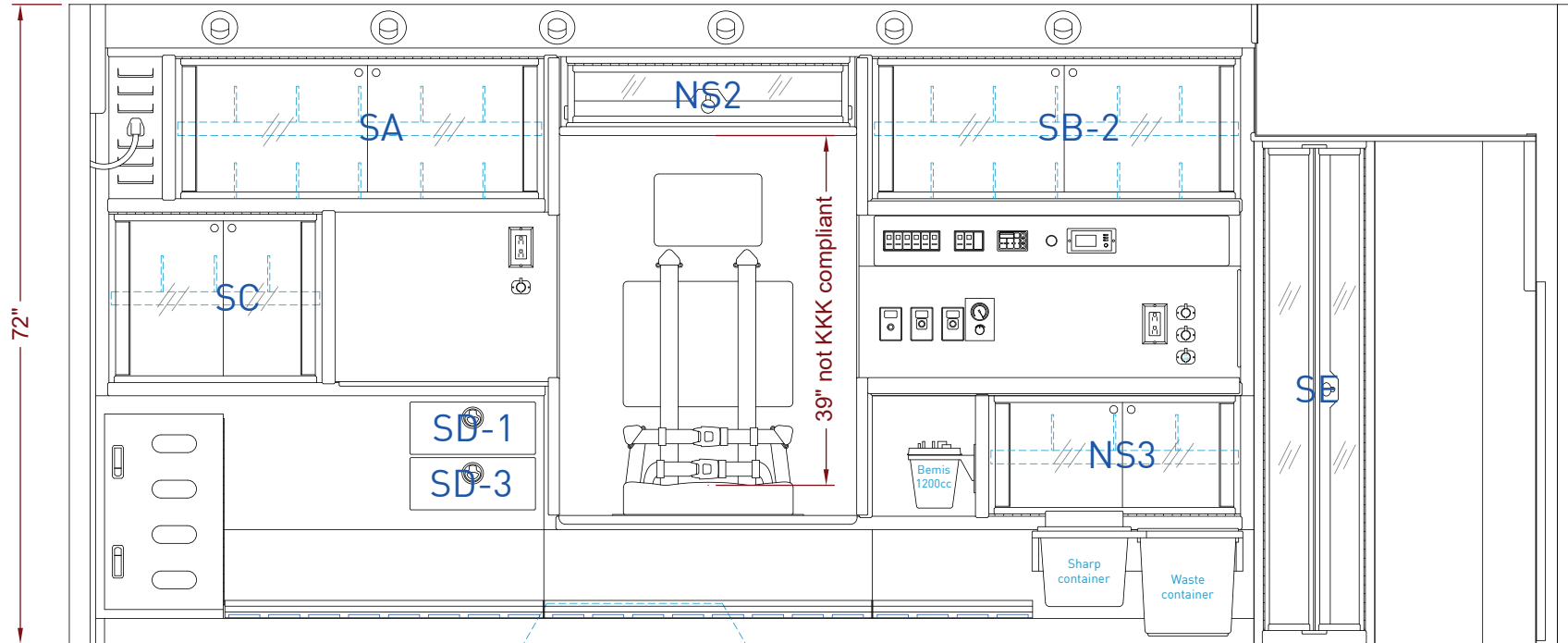
Date: 2023-09-28 rev.0
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 Draft:

Section 5, Item J.



Compartment	Opening L x H	Interior dimensions L x H x D
Storage cabinet -CA-	32.25" x 8.00"	33.50" x 9.50" x 9.25"
Storage drawer -NS1-	-	17.00" x 4.00" x 18.00"

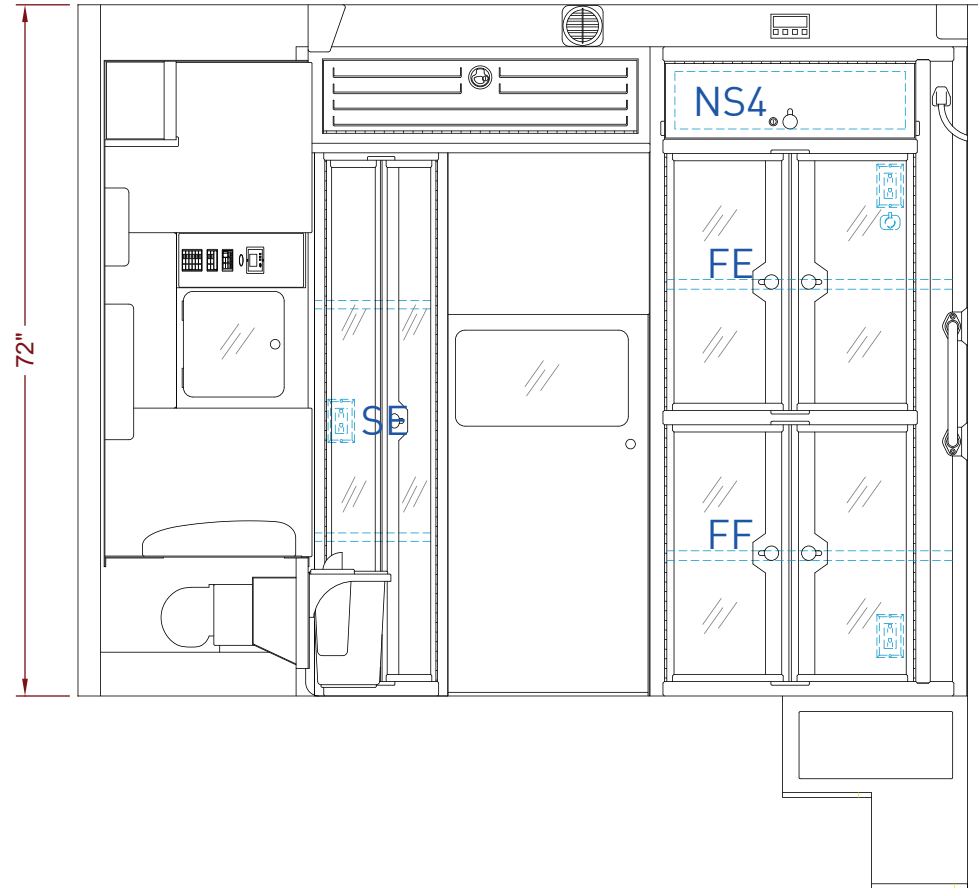
Streetside interior wall



Compartment	Opening L x H	Interior dimensions L x H x D	Compartment	Opening L x H	Interior dimensions L x H x D
Storage cabinet -SA-	41.50" x 16.00"	42.50" x 16.75" x 16.00"	Storage drawer -SD-	-	12.00" x 4.50" x 12.50"
Storage cabinet -NS2-	31.50" x 6.75"	32.00" x 8.00" x 6.00"	Storage cabinet -NS3-	28.25" x 13.50"	29.25" x 14.75" x 11.00"
Storage cabinet -SB-	41.50" x 16.00"	41.75" x 16.25" x 11.00"	Storage cabinet -SE-	16.50" x 54.25"	*25.50" x 57.25" x *15.75"
Storage cabinet -SC-	24.00" x 19.25"	25.00" x 20.25" x 16.00"			

*The provided dimension is the maximum possible due to the angular configuration of the cabinet.

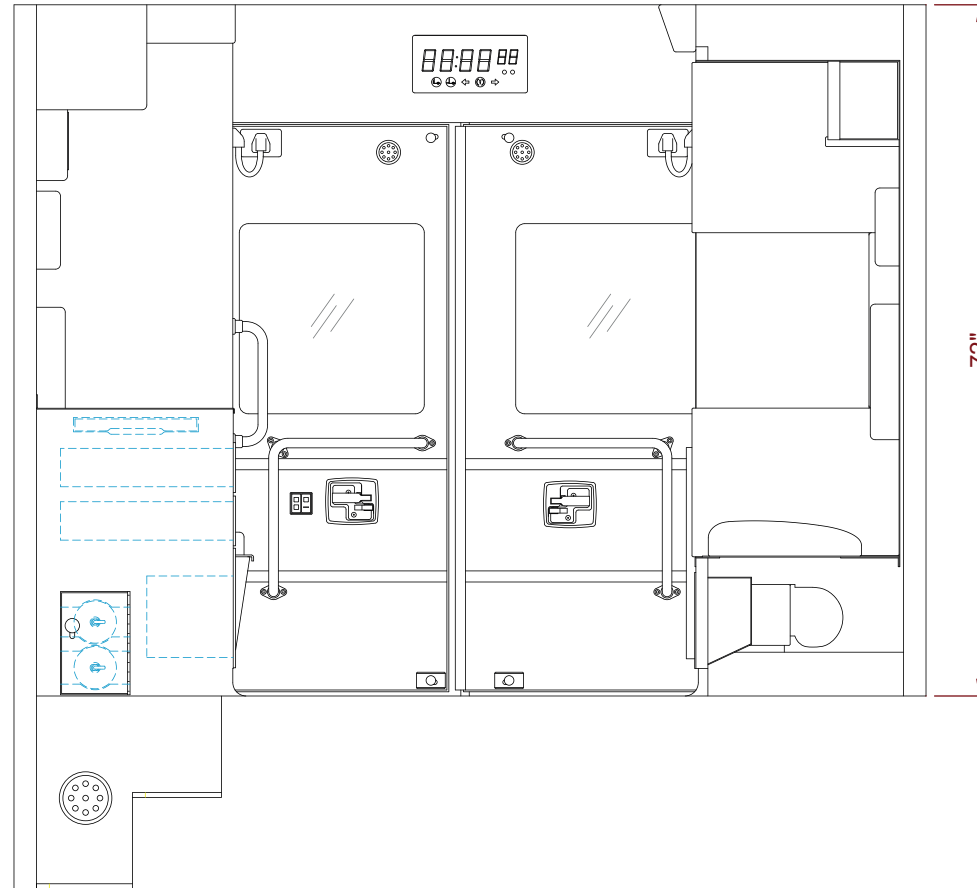
Front interior wall



Compartment	Opening L x H	Interior dimensions L x H x D
Heated comp. -NS4-	26.00" x 8.00"	24.00" x 6.00" x 13.75"
High ALS comp. -FE-	26.00" x 26.75"	32.00" x 28.00" x 30.25"
Low ALS comp. -FF-	26.00" x 26.75"	32.00" x 29.25" x 30.25"

Rear interior wall

Date: 2023-09-28 rev.0
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Draft: Section 5, Item J.



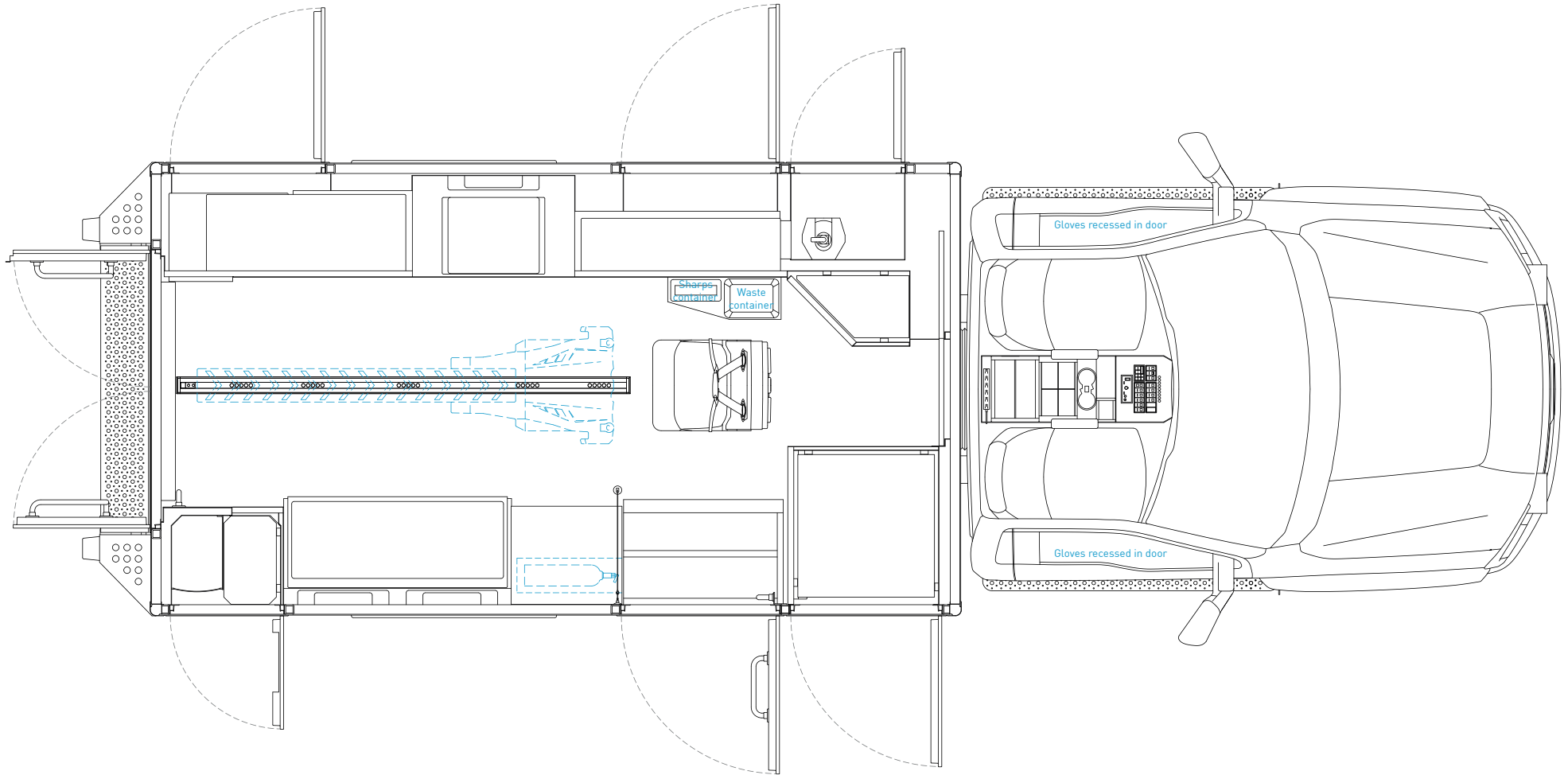
Floor view

Date: 2023-09-28 rev.0

Scale:

Draft:

Section 5, Item J.



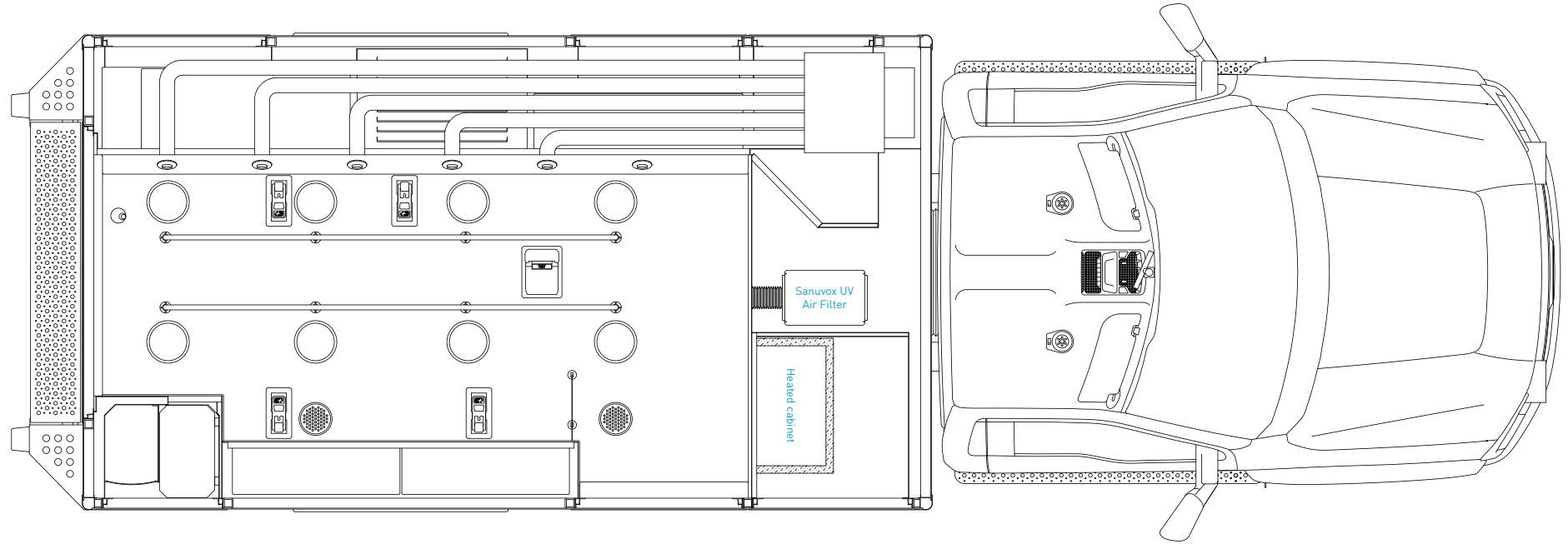
Ceiling view

Date: 2023-09-28 rev.0

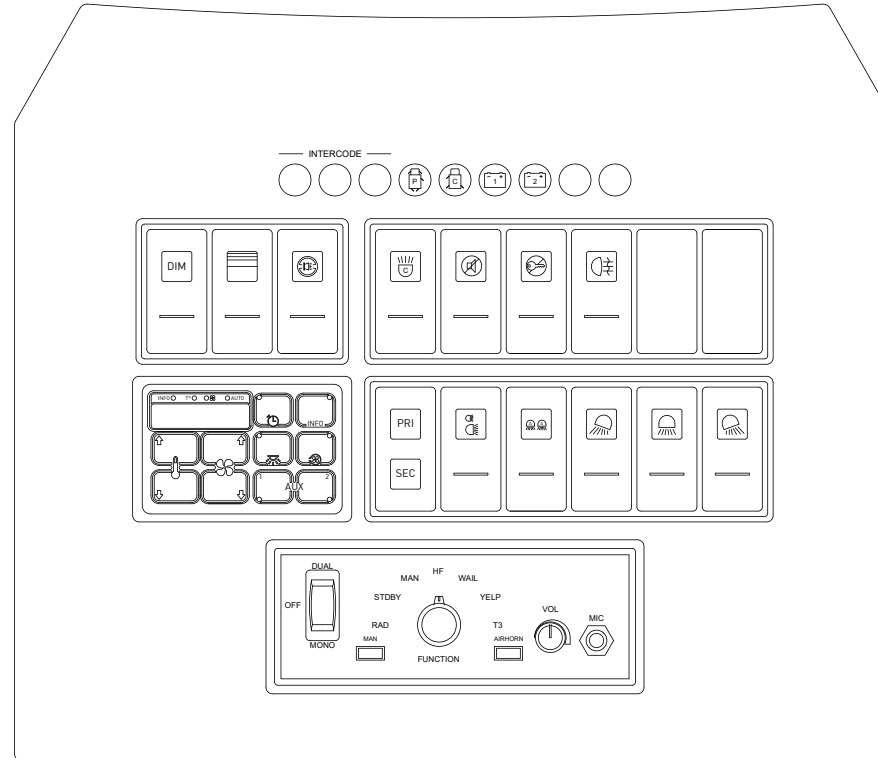
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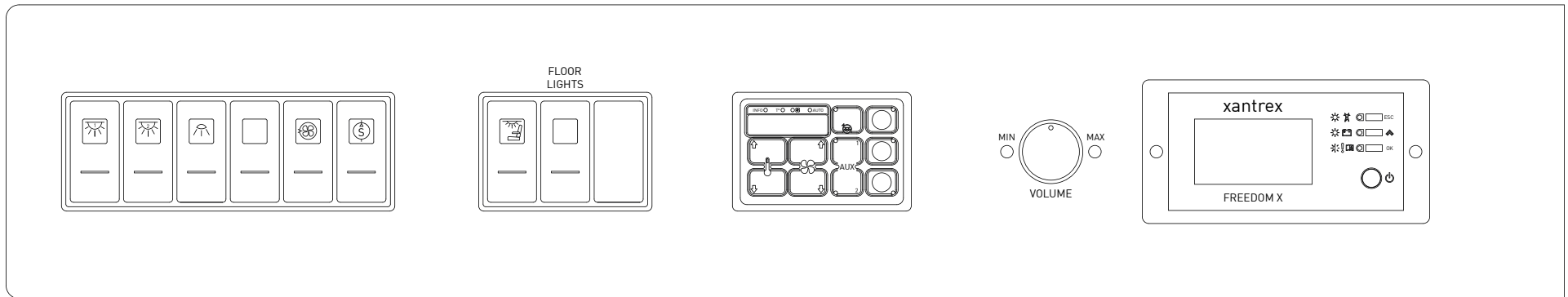
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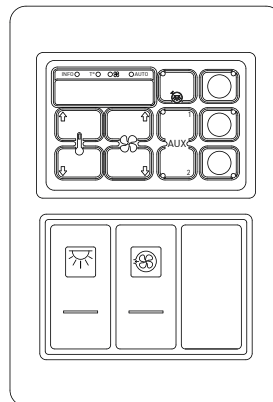
Front console



Streetside console

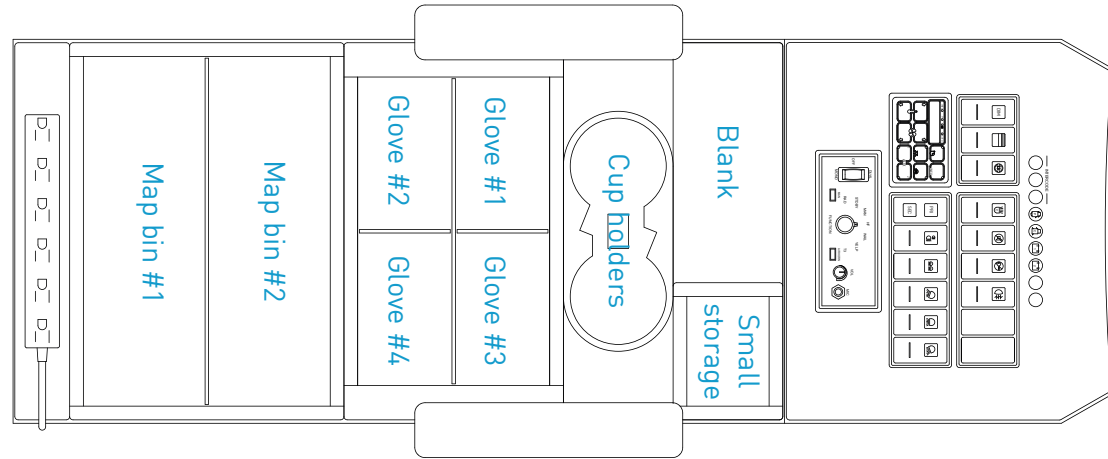


Curbside console

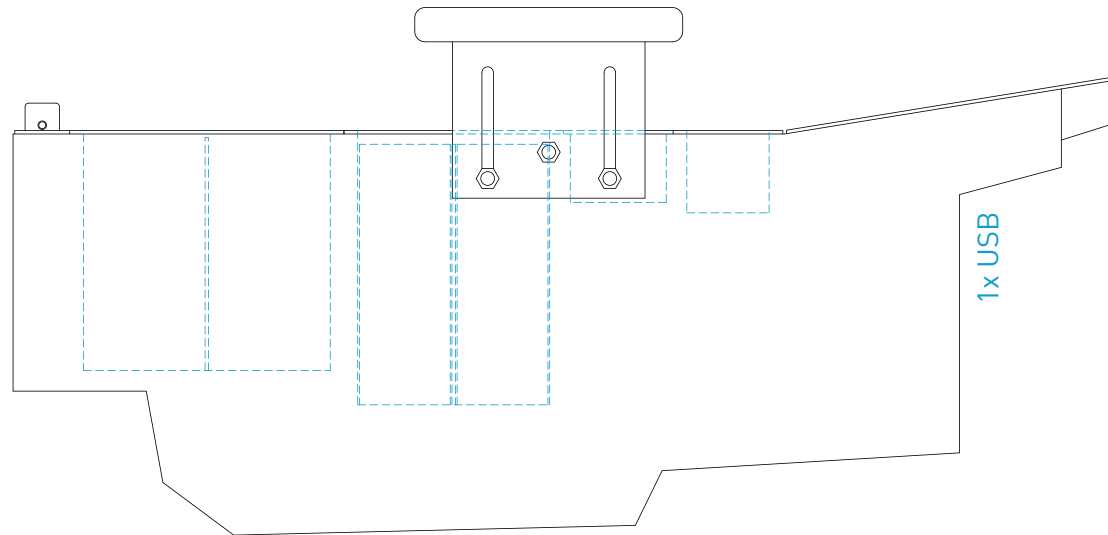


Floor console details

Top view



Side view



1918 Neva Road, PO Box 267
Antigo, WI 54409
800.686.6886 or 715.623.7454
fax: 715.627.7504



dan@pomasl.com
kevin@pomasl.com
www.pomasl.com

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AGREEMENT

_____, Wisconsin (hereinafter "____") acknowledges receipt of the following described vehicle:

Year: ____ Make ____ Model: ____ VIN # _____
bearing license plate # _____ of the State of Wisconsin. The unit's current mileage is ____, ____. In consideration of Pomasl Fire Equipment, Inc. (hereinafter "Pomasl") renting this vehicle to ____, ____ promises and agrees:

1. To return vehicle upon _____, free of any liens or encumbrances not now against it.
2. To reimburse Pomasl for any loss or damage, which Pomasl may sustain as a result of renting this vehicle to _____. "Loss" as used herein includes, but not necessarily limited to, any legal liability or other detrimental obligation incurred by Pomasl.
3. To use the vehicle in conformity with all applicable laws, regulations, and ordinances. ____ hereby represents that any and all drivers used are licensed to operate this vehicle.
4. To release Pomasl from any claims ____ might have against Pomasl for alleged defects in or in any manner growing out of any use of the vehicle.
5. To report to Pomasl within 4 hours by phone at 1-715-610-4210 any accident involving the vehicle and to furnish Pomasl with a complete traffic report thereof in writing.
6. Not to allow or cause the vehicle to be loaned or rented or operated by any person other than an authorized employee or agent of ____, and not to operate or transport the vehicle beyond a normal business service area.
7. Not to authorize or incur expense or obligation of any nature for the repair of the vehicle. ____ shall bear the expense of all gas/diesel, oil, and other maintenance and operation costs used or required by the vehicle until it is returned to Pomasl. Oil changes and preventative maintenance are required every 3,000 miles and are the responsibility of ____.

Prompt, Courteous Service since 1939



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fax: 715.627.7504



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- A. It is understood that the vehicle has not been certified as an Emergency Medical Vehicle by the certification procedures of the Emergency Medical Services. If certification of the vehicle is required by law, ____ will be obligated to effect compliance with State Law.
- B. It is understood that the retail value of this vehicle is \$ __,____.00. This value shall be paid to Pomasl within a reasonable time after an accident that results in the vehicle being a total loss.
- C. It is understood that ____ shall furnish to Pomasl an insurance policy that insures the vehicle as well as Public Liability, Property Damage, and comprehensive and all medical losses. This shall be the primary coverage and the amounts of coverage need to be acceptable to Pomasl.
- D. It is understood that the rental fee for this vehicle shall be \$ 0.00 per day, and that the full amount due is payable upon return of the vehicle.
- E. It is understood that mileage over 6,000 miles will be billed at \$ 0.25 per mile and that the full amount due is payable upon return of the vehicle.
- F. It is understood that the vehicle will be delivered full of diesel/gas and will be returned full of diesel/gas and that the full amount due is payable upon return of the vehicle.
- G. It is understood that a delivery and pick-up charge will be charged to ____ on mileage to/from the customer location and that the full amount due is payable upon return of the vehicle, unless special arrangements are made.
- H. It is understood that the vehicle will be cleaned prior to leaving Pomasl Fire Equipment and will return to Pomasl Fire Equipment in same clean condition. A cleaning charge of \$ 125.00 per hour will be charged if Pomasl Fire Equipment must clean the vehicle upon its return.

Prompt, Courteous Service since 1939



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kevin@pomasl.com
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Section 5, Item J.

I hereby state that I have read, understand, and will comply with the above listed terms.

Authorized Representative for _____

Date

{Name}
{Address}
{City}, {State} {Zip}

In consideration of _____ promises and agreements, Pomasl rents this vehicle according to the above listed terms.

Authorized Representative for Pomasl
Fire Equipment, Inc.

Date

Pomasl Fire Equipment
1918 Neva Road
Antigo, WI 54409

Prompt, Courteous Service since 1939




Proposal Summary

Reference: QUO000009219 **Rev:** 2
Purchaser: Pomasl Fire Equipment
Contact: Kevin Pomasl

Opportunity: Pomasl Stock - MXP170 F450 gas
Account: Pomasl Fire Equipment
Contact: Kevin Pomasl
Delivery: 1918 Neva Road
Address: Antigo, WI 54409

Sales Contact: Kevin Pomasl
Mobile: 715-610-4210
Phone: 715-623-7454

Name	Specifications
<p>Type I - MXP170</p> 	<p>Overall Length: 311" Overall Width: 95" Overall Height: 110" Headroom: 72" Wheelbase: 192"</p> <p>Total height of vehicle may differ according to chassis and suspension</p>

Sales Options by Category

10-Base (BAS)

Item Number	Name/Description	Quantity
BAS-DRW-11	Drawing Required Drawing Required	1.00
BAS-PLA-12	TYPE I - MXP170 TYPE I - MXP170	1.00
BAS-TYP-11	Type I - Pick up Type I - Pick up	1.00

11-Chassis (CH*)

Item Number	Name/Description	Quantity
CHP-FRD-00	Conversion Ford F450 Chassis Cab Conversion Ford F450 Chassis Cab	1.00
CHP-FRD-27	Ford F450 XLT Super Duty Ford F450 XLT Super Duty Gas Chassis Cab <ul style="list-style-type: none"> • 4X4 • 7.3L 2V DEVCT NA PFI V8 Gasoline Engine • Wheelbase 193" • GVWR (Gross vehicle weight rating) 16,500 Lbs. 	1.00

- Movable pedals
- 8.0" touch screen in chassis dash
- SYNC4
- Aluminum wheels
- Dual under hood batteries

CHP-RCA-00 **Regular chassis cab** 1.00
 Regular chassis cab

12-Suspension (SUS)

Item Number	Name/Description	Quantity
SUS-LIQ-11	LiquidSpring™ Suspension Type I Compressible Liquid Adaptive Suspension System, is a smart suspension systems. Liquid-based struts and an on-board processor provide better handling and control, and a smoother, softer ride. The reduced vehicle vibration increases comfort.	1.00

13-Module (MOD)

Item Number	Name/Description	Quantity
MOD-ALU-14	MXP170 Ambulance Module Ambulance Module Structure / Door Structure and Accessories	1.00

170" long ambulance body x 95" wide with 72" interior headroom

Advanced Safety Testing per attached specifications:

- Ambulance will meet all North American Testing requirements (both USA and Canada) to provide superior strength and safety
- Cabinet Structural testing, up to 13,000 lb. pull test
- Passenger and safety restraint load test, 5,100 lb. pull test
- Safety seat test, 5,035 lb. pull test
- Main cot retention, 5,034 lb. pull test
- Safety net, 3,080 lb. pull test
- Grab rail pull testing, 500 lbs.
- Static load test – side
- Static load test – roof
- Sound level testing of patient interior and cab interior
- Climate control testing to AMD requirements: both heating and cooling

Drop Skirts:

On **both sides** of the ambulance module, there shall be a **6" drop skirt**.

Lifetime Structural Warranty

Lifetime Cabinet Warranty

SR00173905 **Additional Insulation Package** 1.00
Additional layer of insulation (in addition to standard) to provide two layers of insulation for Super Heat/Cold retention.

Also install **sound deadening** over rear wheel, behind rear wheel, and under module in specific areas to reduce exterior sounds from entering patient area

Super insulation package significantly increases heat/cold retention in patient area and reduces exterior sounds from entering patient area to provide superior comfort for



medics and patients.

- ADDITIONAL LAYER OF 1 IN FIBRE GLASS INSULATION (IN ADDITION TO STANDARD 1 IN INSULATION) FOR A TOTAL OF 2 IN. INCLUDES SOUND DEADENING OVER WHEEL WELLS AND ABSORPTIVE MATERIAL INSIDE WHEEL OPENING

14-Module Configuration (MCF)

Item Number	Name/Description	Quantity
MCF-CC1-11	<p>C1 Door, ALS Access and Battery Location First door on curbside (C1) for In/Out ALS compartment access</p> <p>Battery slide out sealed compartment under ALS with conversions batteries installed. Sealed storage area.</p>	1.00
MCF-CC2-11	<p>C2, Curbside Entry Door, with Opening Window Side entry door on curbside (C2) for patient compartment access, with flush-mounted automotive-style window.</p> <ul style="list-style-type: none"> - Demers specific flush mounted window that <u>does not leak salt</u> - Lock / Unlock door switch installed on side entry door - Emergency release latches installed on top and bottom door latch 	1.00
MCF-CC3-11	<p>C3 Door, Storage Exterior Compartment Third door on curbside (C3) for backboard or other storage.</p>	1.00
MCF-CC3-13	<p>Stair Chair Location, Two (2) Adjustable Shelves C3 with center backboard divider and stair chair location forward of divider with pocket in the door and two (2) adjustable shelves above stair chair location</p> <p>Retaining safety belt for backboard in C3 compartment – full width to secure both backboards and stair chair.</p>	1.00
MCF-CC3-22	<p>Third door (C3) Compartment In/Out Access Third door (C3) Compartment In/Out Access</p>	1.00
MCF-RDR-13	<p>A1 and A2, Rear Entry Doors, with Defrost Two (2) rear entry doors for patient compartment access, each with its individual exterior door handle. Includes frameless flush-mounted tinted windows and defrost feature.</p> <ul style="list-style-type: none"> - Demers specific flush mounted windows that <u>do not leak salt</u> - Lock / Unlock door switch installed on right rear entry door - Liquid Spring override switch installed on right rear entry door - Emergency release latches installed on top and bottom door latch 	1.00
MCF-SS1-11	<p>S1 Door, Main Oxygen Exterior Compartment First door on streetside (S1) for main vertical oxygen cylinder.</p>	1.00
MCF-SS2-15	<p>S2 Door, Storage Exterior Comp Second door on streetside (S2) for equipment storage for MXP170.</p>	1.00
MCF-SS2-16	<p>Full-Depth Shelf, One (1), Adjustable One (1) full-depth, adjustable shelf in S2 compartment.</p>	1.00

MCF-SS2-13	REMOVED – Stair Chair Holder on Compartment Door Stair chair holder on S2 compartment door.	1.00
MCF-ELE-11	E Door, Electrical Exterior Compartment Upper door (E) for electrical panel access.	1.00
MCF-SS3-12	S3 Compartment, Equipment Storage, In/Out Access Third door on streetside (S3) for equipment storage, with interior/exterior access.	1.00
MCF-SS3-13	Full-Depth Shelves, Two (2), Adjustable Two (2) full-depth, adjustable shelves in S3 compartment.	1.00
MCF-CML-12	High-Intensity LED Tube Lighting High-intensity LED lighting installed in all exterior compartment LED light to illuminate Side entry doorsteps	1.00

15-Lighting (LGT)

<i>Item Number</i>	<i>Name/Description</i>	<i>Quantity</i>
LGT-FSL-14	Turn Signal Arrows, Amber (2), LED Two (2) amber turn-signal arrows, installed on the front of the module. Whelen M6 series (6 x 4) LED lights.	1.00
LGT-LSL-14	Turn Signal Lights, Amber (2), LED Two (2) amber turn-signal lights, over the rear wheels. Whelen M7 series (7 x 3) LED lights.	1.00
LGT-RSL-18	Third Upper Brake Light, LED Third upper brake light at rear of module. Whelen M6 series (6 x 4) LED light.	1.00
LGT-RSL-24	Rear Step Plate: Turn Signal Light, Brake, Reverse Two (2) LED red brake Two (2) LED amber turn lights Two (2) LED white reverse lights - installed in rear step plate, Round LED lights.	1.00
LGT-RSL-27	Turn Signal Arrows, Mid-Height, Amber (2), LED Two (2) amber turn-signal arrows, installed at mid-height on the rear of the module. Whelen M9 series (10 x 6) LED lights.	1.00
LGT-TPL-11	Marker Lights, Amber (7) and Red (7), LED Seven (7) front upper center and corner amber LED marker lights. Seven (7) rear upper center and corner red LED marker lights.	1.00
LGT-TPL-12	Marker Lights, Two (2) rear mid-height red LED Two (2) rear mid-height red LED marker lights.	1.00
SR00173897	Fog Light Pre-Wire Pre-wire for future fog lights: switch in console with wiring routed to and tied up behind center of front bumper	1.00

16-Emergency and Working Lights (EWL)

<i>Item Number</i>	<i>Name/Description</i>	<i>Quantity</i>
EWL-ACC-15	Dimmer switch for Emergency lights Dimmer switch for emergency lights	1.00
EWL-BEZ-11	Chrome bezels Chrome bezels	32.00
EWL-Upgrade	Whelen M-Series Upgrade All the warning lights upgraded to Whelen M-Series warning lights with a LIFETIME WARRANTY .	1.00
EWL-FWD-20	Emergency Lights, (7) on Front Body Seven (7) emergency lights installed on the front of the module - Whelen M9 series (10 x 6) LED lights. <ul style="list-style-type: none"> - Red / White / Red / White / Red / White / Red - The center white M9 light will be programmed to a 'Pinwheel' pattern 	1.00
EWL-GRL-19	Lights in Front Grille, Red (2), White (2) Four (4) Whelen TLI* LED warning lights to be installed on the front of the apparatus. <ul style="list-style-type: none"> - Two (2) red upper grill lights - Two (2) white lower grill lights with Wig Wag flash pattern. 	1.00
EWL-ITC-14	Intersection Lights, Clear/Red (2), LED Two (2) clear/red intersection lights with turning priority . Whelen M7 series (7 x 3) LED lights installed on the chassis fenders above the front wheels.	1.00
EWL-LTI-12	Emergency Lights, Red (2), LED, Over the Rear Wheels Two (2) white/red emergency lights, intermediate side mount above the rear wheels. Whelen M7 series (7 x 3) LED lights.	1.00
EWL-LTS-18	Four (4) red LED lateral emergency lights (M9) Four (4) red lateral emergency lights (two (2) on each side). Whelen M9 series (10 x 6) LED lights.	1.00
EWL-LTS-20	Scene Lights, Four (4), Clear LED, (M9) Four (4) side facing LED scene lights (two (2) on each side). Whelen M9 series (10 x 6) LED scene lights.	1.00
EWL-RER-17	Emergency Lights, Red (2), LED, Rear Corners Two (2) red rear emergency lights at upper rear corners. Whelen M9 series (10 x 6) LED lights.	1.00
EWL-RER-18	Emergency Lights, Amber (2), LED Two (2) rear upper amber lights. Whelen M6 series (6 x 4) LED lights.	1.00
EWL-RER-19	Loading Lights, Two (2), LED Two (2) rear loading lights. Whelen M6 series (6 x 4) LED lights.	1.00
EWL-RER-20	Emergency Lights, Red (2), LED, Addt'l, Window Hgt Two (2) additional red lights at window height. Whelen M9 series (10 x 6) LED lights.	1.00



EWL-INT-11	Emergency Lights on Inside of Doors, One (1) each One red emergency light on each compartment and entry door inside panel. Total of eight (8) round LED lights.	1.00
SR00173884	Grill Lights, Ship Loose Install wiring and connectors on all four grill lights and ship loose for dealer to install. Dealer will be installing a custom front bumper grill guard and wants to install lights after installing the grill guard	1.00
SR00173895	Warning Lights Above Rub Rails Whelen ION T-series lights with chrome bezels installed above rub rails for warning lights - R/W/R/W	1.00

17-Audible Warning System (WRN)

Item Number	Name/Description	Quantity
WRN-BUA-11	Back-Up Alarm Back up alarm (97dB) with override switch.	1.00
WRN-SIR-17	Siren Whelen 295HFSC9 dual tone. Upgrade to Siren Whelen 295HFSC9 dual tone with plug-in (removable) microphone.	1.00
WRN-SPK-11	Whelen SA315 Series Speakers Whelen SA315 series speakers is a compact speaker meeting SAE Class A requirements when paired with Whelen 100-watt siren amplifier.	1.00

18-Exterior Vehicle features (VFT)

Item Number	Name/Description	Quantity
VFT-ACC-12	Wheels valve stem extensions Braided Stainless Steel Valve Stem Extensions installed	1.00
VFT-CHP-13	Rear Tow Hooks Two (2) tow hooks are installed in the rear step plate.	1.00
VFT-FUL-11	Fuel Fill A full tank of fuel will be provided at delivery to your station.	1.00
VFT-MIR-11	OEM exterior mirrors Keep OEM exterior mirrors	1.00
VFT-MOP-11	Module Rub Rails, Aluminum Aluminium rub rails on module sides.	1.00
VFT-MOP-12	Module Corner Protectors, Stainless-Steel Stainless-steel protectors on module corners.	1.00
VFT-MOP-13	Module Wheel Trims, Fiberglass Formed fiberglass wheel trimming on module.	1.00
VFT-MOP-14	Undercoating Protection Undercoating protection for module and chassis.	1.00



VFT-MOP-15	Rear Wheel Mud Guards Mud guards on module for rear wheels.	1.00
VFT-PLT-11	License Plate with Light Surface mounted license plate location with LED light.	1.00
VFT-STP-11	Cab Steps, Anti-Skid Material with Mud Guards Anti-skid ' Grip Strut ' chassis running board steps. Includes mud guards for front wheels.	1.00
VFT-STP-12	Rear Step Bumper, Retractable Center Section Anti-skid ' Grip Strut ' rear flip up step with Diamond plate corner bumper pods and Rubber dock bumpers.	1.00

19-Convenience (CNV)

Item Number	Name/Description	Quantity
CNV-ACC-13	Valet Switch in Front Grille The power lock hidden unlock switch is located on the back of the front grille, on the driver's side half portion of the grille. It allows to unlock all doors of the vehicle but cannot lock the doors.	1.00
CNV-ACC-15	Demers Fast Idle Demers fast idle is generated by the multiplex module, it allows fast charging of the batteries by the engine when specific conditions are met.	1.00
CNV-CAM-11	Black Back-Up Camera Zone Defense standard back-up camera with build-in audio support and infra-red night vision.	1.00
CNV-CAM-12	Black Dome Interior Camera Zone Defense dome interior patient area camera with build-in audio support and 120 degree viewing angle.	1.00
CNV-CAM-16	7 inches Monitor RearView Safety 7" backup digital LCD monitor is a stand-alone 7" monitor and cable kit that connects to camera installed on your vehicle.	1.00
CNV-LCK-11	Anti-Theft System The anti-theft allows medic to leave the vehicle with the keys with the engine running to keep the vehicle at the ideal operating temperature. It protects against theft by running off the engine if the vehicle moves.	1.00
CNV-LCK-12	ECOSMART Anti-Idling System The ECOSMART Anti-Idling System automatically stops the engine and restarts the engine of the vehicle in idling conditions. The ECOSMART Anti-Idling System is managed by the Demers Electronic Multiplex System (DEMS).	1.00

21-Paint and Decals (DEC)

Item Number	Name/Description	Quantity
DEC-PNT-11	Tri-Star Urethane Paint All exposed metal surfaces that are not plated or stainless steel shall be cleaned and	1.00

prepared and shall be painted or coated. The paint or coating, including any primer, shall be applied in accordance with the manufacturer's recommendation. The paint used shall be from Tristar, a high built polyurethane surface over epoxy primer application using one (1) acid stabilizing treatment. This paint is preferred by the purchaser as it has a durable lifespan, is resilient to harsh climates and remains pliable even in its hardened state to prevent cracking and chipping from normal ambulance body torsion.

The paint process will consist of two (2) coats of primer and two (2) topcoats. The primer will be an epoxy/polyamide strontium chromate primer boasting excellent impact and chemical resistance designed specifically for the aerospace industry's high-performance requirements.

The base primer coat will need to pass the following tests, with testing documentation:

Impact Resistance: No flaking or cracking when subjected to 40-inch pounds direct impact or a 40-inch pounds reverse impact.

Hardness: Pencil Hardness 2H minimum.

Fuel Resistance: Withstands immersion of Jet A1 Fuel for 14 days at ambient temperatures without showing any defects. After a 24-hour recovery period, the primer regains its pretest hardness.

Lubricating Oil Resistance: Withstands immersion in lubricating oil at 25° C for 14 days without showing any softening, blistering, or loss of adhesion.

Hydraulic Fluid Resistance: Withstands immersion in Skydrol hydraulic fluid without showing any defects for 30 days.

Salt Spray Resistance: With a scribed film at an angle of 6°, it exhibits no blistering, lifting of the primer, or substrate corrosion after exposure to 5% salt spray following ASTM B117 on treated aluminum substrate 3000 hours.

Water Resistance: No blistering or loss of adhesion after 14 hours immersion in distilled water at ambient temperature. Will regain its pretest hardness after a recovery period of 24 hours.

The manufacturer's paint facility shall be free of dust and contaminants that could have an adverse effect on the paint finish. The manufacturer's paint facility shall also be certified to apply the paint specified.

The aluminum structure shall be prepared by thoroughly washing the aluminum body with wax and grease remover, preferred product is PPG DX440.

The surfaces shall be sanded smooth. All sand and dust shall be removed with air when sanding is complete and rewashing with PPG DX-440.

A pre-treatment shall be used for better adhesion. This pre-treatment is a phosphoric acid base, non-flammable and specifically designed for aluminum substrate. The process of using a non-flammable phosphoric acid involves removing any surface contaminants, then chemically preparing a clean surface. This process increases the

overall surface area, promote adhesion, enhanced corrosion, and blister resistance.

A two (2) stage epoxy primer layering process shall be applied to the module and all painted components. This primer stage is critical to the adhesion of the paint and shall be necessary to the paint process. A 1.5 mil of Starproxy primer application shall be used. After adequate drying time, a second layer of the Starproxy primer shall be applied. When completed, the finished primer layer shall be two (2) layers thick and shall be sanded smooth to a surface grade of 9 or 10. If during the sanding process the primer is partially removed and the aluminum is no longer covered by the primer layer, a primer layer must be added in the exposed area. This application allows for superior adhesion to the module body.

The finish coat shall be applied and be allowed to dry for the paint manufacturers recommended amount of time. A second finish coat shall be applied. All imperfections shall be sanded; the finish shall be free of any runs, fisheyes, and other paint blemishes

- **5-year / 180,000-mile paint warranty – 100% coverage** for defects and corrosion for full five (5) years. We have been a dealer for 10-years and to date, we have had ZERO paint warranty claims.

The ambulance body will be painted **WHITE** to match the chassis.

DEC PNT 17	REMOVED Custom Paint Module to match OEM chassis color Module to be painted RED with urethane and clear coat to match OEM chassis ordered RED (includes module roof RED) - Ambulance body will be painted white	1.00
GRAPHICS	Graphics Allowance – Dealers Supplied A graphics allowance of \$ 7,500.00 is included for the future design and installation of graphics and lettering.	1.00

22-Drivers Compartment (CAB)

Item Number	Name/Description	Quantity
CAB-ACC-17	Glove Storage in Cab OEM Door Panels, Loose Gloves Glove storage compartment in OEM door panels for loose gloves.	1.00
CAB-CON-11	Floor-Mounted Console with control Floor-mounted console in front cab.	1.00
CAB-CTR-13	Control Center with Switches and Touch Pad Control center with rocker switches with LED backlit pictograms will be installed in the floor mounted console. - Full function of warning lights and patient area from cab via touch screen and rocker switches	1.00
CAB-CON-14	Armrests, Driver and Passenger, Individual Individual driver- and passenger-side armrests on sides of floor-mounted console.	1.00
CAB-LGT-15	Blank removable panels Blank removable panels will be installed in the cab console for the future installation of the mobile radio and other customer supplied equipment. Panels will be easily	1.00



removable with four screws. Panels will be movable to allow for a custom order per the customer's needs.

CAB-CON-15	Cup Holders, Dual, in Floor-Mounted Console Dual cup holders in floor-mounted console.	1.00
CAB-CON-29	Map bin storage (Dual) - Floor Console Map Bin Storage with Dual (2-slotted sections) - Floor Console	1.00
CAB-LGT-11	Cab headliner with Reading Lights, Red/Clear (2) Two (2) clear and red overhead LED reading lights.	1.00
SR00173887	Holder in cab console Install small square misc. item holder in cab console. Install in same plate as siren control head. Install on the right side of the siren control head.	1.00
SR00173899	REMOVED Glove box, (4), cab console Install 4 place glove box holder in the cab console rear of the map storage bin.	1.00

23-Curbside Configuration (CRB)		
<i>Item Number</i>	<i>Name/Description</i>	<i>Quantity</i>

The overall cabinet structure shall consist of interlocking extrusions. Extruded framework shall provide the structural integrity of the cabinets as well as creating the individual cabinet sections. These extrusions shall be custom fit and CNC cut to form the cabinet configuration. All cabinet extrusions shall incorporate a rounded edge to give an aesthetically pleasing appearance as well as providing a smooth, safe surface for the crew member. Mitered box framed cabinetry will not be accepted as a mitered corner produces sharp edges and potential gaps. Each interlocking extrusion joint shall be attached by two (2) hex machine bolts into the extrusion via a tap and die holes. These fasteners shall lock the cabinet frame structure into place and shall prevent the cabinet sections from twisting. Cabinet inserts shall be placed on the lip of the extrusion and shall be fixed with an adhesive as well as mechanically fastened into position. This structure alone shall resist to the pull test, the structural integrity of the cabinetry is not reliant on the interior storage cavity.

All cabinets shall be easy to clean, impervious to soap, water, body fluids, and disinfectants and shall be mildew resistant.

The compartment and closure device of the doors must meet KKK-A-1822F Change Notice 10 compliant to meet: SAE J3058 - Ambulance Interior Storage Compartment Integrity. The SAE J3058 explains dynamic and static testing procedures for evaluating the integrity of the cabinet and cabinet latch integrity standard, which will ensure cabinets retain rated equipment up to 40 lbs.

CRB-CON-18	Front curbside cabinet with squad bench. Front curbside cabinet with a 2- seat position squad bench will be installed on the curbside. <ul style="list-style-type: none"> - Two (2) slide out drawer facing the cot. - Slide Out sharps and waste facing the cot below the above drawers. - Second patient securement brackets will be provided and shipped loose with retaining straps 	1.00
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CRB-CON-22	Convert tilt-out into drawer Drawer with waste (size) & sharps (1L) containers inside forward curbside cabinet. Deletes standard tilt-out.	1.00
CRB-NET-11	Safety Net Safety net at the head of the curbside configuration, by the side entry door (C2).	1.00
CRB-TEC-11	Full-Length Seat Cushion Full-length, thermoformed, molded seat cushion.	1.00
CRB-TEC-14	Seat Backrest Individual, thermoformed, molded backrests.	3.00
CRB-TEC-23	Seating, Two (2) Passengers, 1-Click, 4-Point 6-Point Safety Belts Seating for three (3) passengers with 6-point safety belts. Space for Flip-down and hands-free opening mechanism.	1.00
FCT-RGT-26	Glove Box Holder - Five (5) Glove Box Holder - Five (5) below curbside upper cabinet	1.00
FCT-RGT-35	Cabinet above the squad bench A curbside cabinet above squad bench shall be installed that is as large as possible to meet 43" headroom requirement. The approximate dimensions shall be 33.50" wide x 9.50" high x 8.50" deep for <u>each cabinet</u> – Total cabinet width of 67.00" wide. Each cabinet will have (2) sliding doors. - LED strip lighting shall be installed.	1.00
SR00173879	Second Patient Brackets, Curbside Second patient brackets and straps above squad bench cabinet for securing backboard / second patient see F19P-460 Pomasl Demo	1.00

24-Streetside Configuration (STR)

Item Number	Name/Description	Quantity
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The overall cabinet structure shall consist of interlocking extrusions. Extruded framework shall provide the structural integrity of the cabinets as well as creating the individual cabinet sections. These extrusions shall be custom fit and CNC cut to form the cabinet configuration. All cabinet extrusions shall incorporate a rounded edge to give an aesthetically pleasing appearance as well as providing a smooth, safe surface for the crew member. Mitered box framed cabinetry will not be accepted as a mitered corner produces sharp edges and potential gaps. Each interlocking extrusion joint shall be attached by two (2) hex machine bolts into the extrusion via a tap and die holes. These fasteners shall lock the cabinet frame structure into place and shall prevent the cabinet sections from twisting. Cabinet inserts shall be placed on the lip of the extrusion and shall be fixed with an adhesive as well as mechanically fastened into position. This structure alone shall resist to the pull test, the structural integrity of the cabinetry is not reliant on the interior storage cavity.

All cabinets shall be easy to clean, impervious to soap, water, body fluids, and disinfectants and shall be mildew resistant.

The compartment and closure device of the doors must meet KKK-A-1822F Change

Notice 10 compliant to meet: SAE J3058 - Ambulance Interior Storage Compartment Integrity. The SAE J3058 explains dynamic and static testing procedures for evaluating the integrity of the cabinet and cabinet latch integrity standard, which will ensure cabinets retain rated equipment up to 40 lbs.

STR-ACS-01	<p>Primary action area A counter with a 1.0" lip shall be installed on top of the primary action counter.</p> <p>Two (2) oxygen outlets shall be installed above the counter.</p> <p>A manual bypass valve / oxygen override switch shall be installed next to the oxygen outlets.</p> <p>A manual suction regulator shall be installed above the counter with a Rico suction container will be provided.</p> <p>An angled black panel will be installed below the upper cabinet with rocker switch controls for the dome lights, suction, cabinet lighting, action area light, the inverter control panel, and other functions to duplicate the curbside touch screen controls.</p>	1.00
STR-ACS-24	<p>Suction Recessed Below Counter The suction container will be recess mounted below the counter next to the CPR seat.</p>	1.00
STR-ACS-25	<p>Storage cabinet below action area Storage cabinet below action area with sliding windows. (Reduce storage space inside S2 compartment)</p>	1.00
FCT-LFT-27	<p>Waste container with support bracket Waste container with support bracket, surface mount below the ECC counter. A 3-gallon Rubbermaid S-14491 will be provided.</p> <ul style="list-style-type: none"> - Location as follows: Mount on street wall under ECC counter / storage cabinet - to hold large waste & sharps 	1.00
FCT-LFT-33	<p>Additional sharps container Additional sharps container with bracket.</p> <ul style="list-style-type: none"> - Location as follows: Mount on street wall under ECC counter / storage cabinet - to hold large waste & sharps 	1.00
STR-ACS-27	<p>Cabinet above main counter A large storage cabinet shall be installed above the street side forward primary counter with two sliding doors. The approximate interior dimensions shall be a 42.50" long x 16.75" high x 11.00" deep.</p> <ul style="list-style-type: none"> - One (1) adjustable shelf shall be installed. - Five (5) adjustable dividers shall be installed on the floor of the cabinet. - Five (5) adjustable dividers shall be installed on the shelf. - LED strip lighting shall be installed. <p>Restocking Feature: A piano style hinge shall be securely fastened to the top of the cabinet structure. Two (2) gas struts, one (1) on each side, shall be installed on the side of the cabinet to lift the cabinet's face when the two elbow latches are released. The</p>	1.00

bottom lip of the cavity shall have a door stopper on which a pvc coating is applied to eliminate vibrations of the flip up.

The compartment and closure device of the doors must meet KKK-A-1822F Change Notice 10 compliant to meet: SAE J3058 - Ambulance Interior Storage Compartment Integrity. The SAE J3058 explains dynamic and static testing procedures for evaluating the integrity of the cabinet and cabinet latch integrity standard, which will ensure cabinets retain rated equipment up to 40lbs.

STR-ACS-34 **Storage cabinet above CPR seat (not KKK)** 1.00
Additional storage cabinet above CPR seat with flip-up door

STR-REA-12 **CPR Seat** 1.00
A CPR seat will be provided. Seating for one EMT with 1-click, 4-point safety belt, no storage under the seat.

At the rear of the area will be a standard size counter with a 1.0" lip will be provided.

STR-REA-15 **(2) Drawers under the rear counter** 1.00
Two (2) slide out drawers will be installed under the rear counter rear of the CPR seat.

STR-MED-12 **Upper rear interior storage cabinet** 1.00
A large storage cabinet shall be in the upper section towards the rear with two (2) sliding doors. This cabinet shall extend from the CPR seat to rear door area. The approximate interior dimensions shall be a 41.75" long x 16.25" high x 16.00" deep.

- One (1) adjustable shelf shall be installed.
- **Five (5) adjustable dividers** shall be installed on the floor of the cabinet.
- **Five (5) adjustable dividers** shall be installed on the shelf.
- **LED strip lighting** shall be installed.

Restocking Feature: A piano style hinge shall be securely fastened to the top of the cabinet structure. Two (2) gas struts, one (1) on each side, shall be installed on the side of the cabinet to lift the cabinet's face when the two elbow latches are released. The bottom lip of the cavity shall have a door stopper on which a pvc coating is applied to eliminate vibrations of the flip up.

The compartment and closure device of the doors must meet KKK-A-1822F Change Notice 10 compliant to meet: SAE J3058 - Ambulance Interior Storage Compartment Integrity. The SAE J3058 explains dynamic and static testing procedures for evaluating the integrity of the cabinet and cabinet latch integrity standard, which will ensure cabinets retain rated equipment up to 40lbs.

STR-MED-12 **Medical Cabinet, Rear Middle, Interior/Exterior Access** 1.00
A storage cabinet shall be in the rear middle section with two (2) sliding doors. This cabinet shall rearward of the section action counter. The cabinet will provide In/out access to the S3 exterior compartment. The approximate interior dimensions shall be a 41.75" long x 16.25" high x 16.00" deep.

- One (1) adjustable shelf shall be installed.
- **Five (5) adjustable dividers** shall be installed on the floor of the cabinet.

- **Five (5) adjustable dividers** shall be installed on the shelf.
- **LED strip lighting** shall be installed.

Restocking Feature: A piano style hinge shall be securely fastened to the top of the cabinet structure. Two (2) gas struts, one (1) on each side, shall be installed on the side of the cabinet to lift the cabinet's face when the two elbow latches are released. The bottom lip of the cavity shall have a door stopper on which a pvc coating is applied to eliminate vibrations of the flip up.

The compartment and closure device of the doors must meet KKK-A-1822F Change Notice 10 compliant to meet: SAE J3058 - Ambulance Interior Storage Compartment Integrity. The SAE J3058 explains dynamic and static testing procedures for evaluating the integrity of the cabinet and cabinet latch integrity standard, which will ensure cabinets retain rated equipment up to 40lbs.

FCT-LFT-17	Glove Box (4) Holders at Rear of Medical Cabinet Recessed holder to contain four (4) gloves box, at rear of medical cabinet next to rear entry door. Restocking via pivoting door. (Glove box not included)	1.00
SR00173888	Adjustable Dividers, Street Side Cabinets Adjustable dividers on bottom of BOTH street side upper cabinets	1.00
SR00173901	Adjustable Dividers, Street side under counter Install adjustable dividers in cabinet under the ECC primary counter	1.00

25-Forward Bulkhead (FWB)

Item Number	Name/Description	Quantity
FWB-DIV-11	Sliding Door Crawl-Through Crawl-through with sliding door on front division to access to the cab. Opening will be approximately 20" wide x the height of the cab to the floor of the patient area.	1.00
FWB-LFT-11	Corner Cabinet, Streetside, Two Adjustable Shelves Corner cabinet on streetside of front wall. Includes two (2) hinged aluminum extruded doors with see through windows <ul style="list-style-type: none"> - Two (2) adjustable shelves - LED strip lighting installed. 	1.00
FWB-LFT-14	Locking Radio Communication Compartment Lockable compartment on street side for radio communication	1.00
FWB-RGT-12	ALS Cabinet – In/Out to exterior C1 door The ALS cabinet shall be made of an aluminum structure with smooth powder coated aluminum cavities and shelves.	1.00

The upper section shall be accessed via two (2) extruded aluminum doors with Lexan inserts. The doors shall be operated by a cam sliding system in which sliding the knob will release the two (2) plunger bolts located at the top and bottom side of the door. The whole mechanism is to be protected by an aluminum cover on the inside of the door. Approximate dimensions shall be 32.00" wide X 28" tall x 30.25" deep.

- One (1) adjustable shelf.
- **LED strip lighting** installed.

A fixed shelf shall be installed between the upper and lower ALS cabinet.

The lower section shall be accessed via two (2) extruded aluminum doors with Lexan inserts. The doors shall be operated by a cam sliding system in which sliding the knob will release the two (2) plunger bolts located at the top and bottom side of the door. The whole mechanism is to be protected by an aluminum cover on the inside of the door. Approximate dimensions shall be 32.00" wide X 29.25" tall x 30.25" deep.

- One (1) adjustable shelf.
- **LED strip lighting** installed.

SR00173882	Heated Compartment above ALS Cabinet A heated compartment will be located above the front wall ALS cabinet with a hinged swing up door. A digital thermostat will be installed in the head pad above the cabinet.	1.00
FWB-RGT-41	Pull-out tray in bottom ALS (towards the exterior) One (1) pull-out tray in bottom ALS (towards the exterior) to aid in loading & unloading large jump bags or other equipment.	1.00
SR00173883	Adj Shelves in bulkhead cabinet Adjustable shelves in 45-degree angled cabinet	1.00

26-Attendant Seat (AST)

Item Number	Name/Description	Quantity
AST-BSE-11	EVS Swivel Seat Base, Two (2) Positions EVS swivel 360 degrees seat base, locking in two (2) positions, forward and rearward positions	1.00
AST-HRS-12	EVS 1880 3Pts Vac-Formed Seamless Child Seat The EVS 1880 is a vac-form, seamless ambulance attendant's seat. Integrated child restraint system that allows uninjured children weighing between 20-65 lbs to be transported in a five point safety harness. When it is not needed, the child-insert can be folded into the seat and allow an adult to use the seat as a standard attendant's seat	1.00
SR00173898	Rear Facing Seat, ICS, 4-point Install an EVS brand rear facing attendant seat with integrated child seat (ICS) and with PRO4 Four Point Single Click with Four Retractors Comments: EVS 1880 with ICS and 2 Point Swivel Base selected in CPQ - Price for upgrading to PRO4 belting system	1.00

27-Cot Configuration (COT)

Item Number	Name/Description	Quantity
COT-ANC-23	Floor Plate & Pre-wire Power-LOAD - GEN 2 (NEW) Stryker Power-Load floor plate including the pre-wiring for charging feature. No cot fastener included from Demers, Dealer to install.	1.00
COT-POS-11	Center Floor-Mount Cot Configuration Center floor mount cot configuration	1.00

28-Switch Panels

Item Number	Name/Description	Quantity
CAR-CTR-10	Rocker Switch Controls with LED Backlit Pictograms Rocker switch controls with LED backlit pictograms installed on the cab console.	1.00
CAR-AUX-11	Rocker Switch Controls with LED Backlit Pictograms Rocker switch controls with LED backlit pictograms installed street side of the patient area.	1.00
CAR-AUX-11	Rocker Switch Controls with LED Backlit Pictograms Auxiliary Rocker switch controls with LED backlit pictograms installed on the curbside of the patient area.	1.00

29-Oxygen (OXY)

Item Number	Name/Description	Quantity
OXY-NTW-14	Oxygen Outlets, Four (4) Four (4) oxygen outlets. <ul style="list-style-type: none"> - Two (2) in ECC above the street side primary counter - One (1) on curbside above the cabinet - One (1) on the ceiling above the cot 	1.00
OXY-OUT-11	Oxygen Outlet, Quick-Connect Quick-connect style oxygen outlet.	4.00
OXY-REG-12	Oxygen Regulator, Manual, Sensor and Dig. Read-Out Manual oxygen regulator with pressure sensor and digital read-out .	1.00
OXY-REG-13	Oxygen Control Valve, Electronic, Manual By-Pass Electronic oxygen control valve with manual by-pass.	1.00
OXY-SPO-23	Recessed two oxygen cylinders inside squad bench Recessed two oxygen cylinders inside squad bench, mount horizontal ("D-size" only)	1.00
OXY-SPR-11	Universal Vertical Holder for Main Oxygen Cylinder Universal vertical holder for types "K" or "M" main oxygen cylinder in S1 streetside exterior compartment.	1.00

31-Suction (SUC)

Item Number	Name/Description	Quantity
SUC-LOC-11	Suction System location in ECC Main suction system is located in front streetside action area.	1.00
SUC-LOC-13	Suction System Below Action Area (ECC) Suction system recesses below action area (ECC), forward of medical cabinet	1.00
SUC-MOT-11	Thomas high flow vacuum pump Thomas high flow vacuum pump	1.00
SUC-OUT-11	Vacuum outlet QD in action area Vacuum outlet QD Puritan with yellow 5/16" hose 4 ft long	1.00



SUC-REG-11	Vacuum regulator with disposable canister Vacuum regulator with disposable canister	1.00
SR00173880	Bemis Suction Container Install a Bemis 1200 cc suction container with the mounting bracket attached to the right wall of the recessed area so the entire suction container fits inside the recessed area.	1.00

32-Electrical System (ELE)

Item Number	Name/Description	Quantity
ELE-GES-11	Multiplex Electronic Management System	1.00

A 12VDC electrical system shall be added in junction with the OEM system. They shall be isolated from each other, yet they still exchange data. This is achieved by using a multiplex system in combination with a CAN BUS connectivity between the two (2) systems. It reduces the number of wires in the harness, thus reduces the number of welds and connections. Using programmable solid-state devices allows for easy updating and customizing of the vehicle without needing to add relays or modify the wiring system, even at a later stage while the vehicle is in the field. Printed circuit board or, so called "hardwired" electrical systems shall not be acceptable.

The ambulance manufacturer shall have significant experience in installing multiplex and electrical systems. The purchaser is not interested in prototypical or logical systems that are untested or unproven by the ambulance manufacturer. The multiplex system specified here shall be fully developed, tested, in service for at least 15 years and shall be installed on at least 9000 units. Documentation of electrical systems installed, and in-service shall be provided at the purchaser's request.

Electronic Controller Units (ECU)

Multiplexing electrical system shall consist of solid-state electronic controller units mounted in the electrical control panel. Electronic controller units shall act as the central communications system for the entire electrical system. These electrical controller units shall command all electrical components installed by the ambulance manufacturer in the cab and in the patient compartment. Each electronic controller unit shall be self-diagnostic with easy-to-read LED. A CD of the programing and the electrical schematics as well as detailed printed schematics of all components and wiring shall be provided with the completed ambulance.

All Electronic controller units shall be sealed in a weatherproof exterior casing. The ECUs main control panel shall be coated in weather resistant from the factory. All electronic controller units shall be installed in electrical control panel compartment for centralized location.

Electronic controller units shall be programmed using already established automotive communication language. Electronic controller units shall be programmed to communicate and receive signals in the SAE J1939 protocol via the CAN BUS connection. This type of system is preferred to allow for future expansion and. No auxiliary printed circuit boards, circuit breakers or relays shall be needed in future expansion or to assist in the functionality of standard electrical components.

Serviceability

The ambulance multiplexing electrical system shall be designed to be maintained and serviced easily. In the unlikely event of an electrical problem, the ambulance's

electrical system shall be able to be connected remotely to the Internet and shall be able to be diagnosed or reprogrammed by a service technician at the ambulance manufacturer's main facility. This multiplex electrical system shall be proven to be virtually maintenance free. A failure (warranty) rate of less than 1% is required because this agency wishes to purchase an ambulance with the utmost reliability in service. Documentation of warranty claims relating to the electrical system shall be provided to the purchaser upon request.

Wiring

All wiring for the electrical systems shall be stranded copper or copper alloy conductors of a gauge rated to carry 125 percent of the maximum current for which the circuit is protected. Voltage drops in all wiring from the power source to the component shall not exceed 10 percent. All circuits shall be wired in conformance with SAE J1292, Automobile, Truck, Truck-Tractor, Trailer, and Motor Coach Wiring. None of the ambulances electrical wiring and components shall terminate or originate in the oxygen storage compartment except for the oxygen flow control solenoid, compartment light, and switch plunger or trigger device.

Wiring Harness

The ambulance wiring harnesses shall be a continuous run to each electrical component. The ambulance wiring shall contain no splices in the main wiring harness. The terminals on connectors of each end shall be machined crimped. Hand crimped electrical connectors are not permitted by the purchaser as they have been proven to be prone to premature failure and/or irregularities.

All ambulance wiring harnesses shall be enclosed in a plastic loom. This loom shall run from the electronic controller units to each specified electrical component. Instances where conduit must travel through a tube structure, a rubber grommet shall be placed in the hole to prevent premature wear of the plastic loom and/or wiring. All wiring harnesses shall be secured to the roof and walls tube structures with insulated clamping fasteners.

The overall covering of jacketed cables shall be moisture resistant and have a minimum continuous temperature rating of 194°F (90°C), except for cable installations where the wiring may be exposed to higher temperatures. All wiring connections and terminations shall use a method that provides a positive standard connection. Wiring connections and terminations shall be installed in accordance with the device manufacturer's instructions. Wire nut, insulation displacement, and insulation piercing connections shall not be used.

All connections to the electrical components shall include a minimum 6 in. service loop of. All wiring connections shall utilize easy plug-in style connectors.

Wiring Identification

All wiring shall be identified every 6" at a minimum. The wiring identification code shall be the position on the electronic controller unit for easy maintenance and diagnosis. Wiring identification shall be clearly visible and shall be printed on the insulated wire. No stickers will be allowed.

Circuit Protection

Circuits shall be provided with properly rated low voltage overcurrent protective devices. Such devices shall be readily accessible and protected against heat more than

the overcurrent device's design range, mechanical damage, and water spray. Circuit protection shall be accomplished by utilizing fuses, circuit breakers, fusible links, or solid-state equivalent devices.

Wiring Schematics

The complete set of wiring schematics shall clearly identify all wiring locations, routing, and component connection. A sample document shall be available to the purchaser on request to examine the quality of the electrical schematic. All instances of wiring not conforming to the standards established in this document shall be documented at the time of the proposal. Failure to comply with this requirement shall be cause for rejection of the proposal.

Electric Panel

The electrical panel shall be protected by a removable panel or a compartment door. It shall include in addition to the ECUs all block fuses and other electronic devices.

For future upgradability, one (1) extra 15-amp 12VDC circuit breaker shall be provided. It shall be wired and shall be ready for a future programmable function with the multiplexing electrical system.

Grounding

Dedicated grounding locations for all appliances, circuits, etc. shall be supplied. Appliance mounting screws/hardware shall not be used for grounding purposes, nor shall the body of the ambulance be used as a ground location. Star washers or unapproved, untested grounding methods shall not be used.

OEM grounds shall not be used as grounding location for the conversion circuits.

Switching Requirements

Switches, relays, terminals, and connectors shall have a direct current (dc) rating of 125 percent of maximum current for which the circuit is protected.

Voltage Alarm

The multiplex system shall incorporate an audible voltage warning should the system voltage at the battery or at the master load disconnect switch drops below 11.8VDC for a duration of 120 seconds for 12VDC nominal systems.

Load Management

The multiplexing electrical system shall be programmed to automatically shed electrical load should the electrical output rating of the installed alternator drop below a programmed voltage level. Electrical components shall shed in order of priority. External load management systems or load management systems not programmable shall not be considered as the purchaser requires this electrical system to be customizable.

5-year / 180,000-mile electrical warranty, 100% coverage

ELE-ALT-14

Super Auto Eject Power Inlet, 20 Amps, Yellow

1.00

Kussmaul 120 Volts AC, 20 Amps Automatically disconnects shoreline

- Red cover
- **Green indicator light**

ELE-ALT-11	<p>Power Inverter, Xantrex Freedom, True Sine, 2000W</p> <p>A Xantrex Freedom CX power inverter rated for 2000-watts shall be installed in the patient compartment, behind the streetside cabinetry, in a ventilated storage area. The inverter shall be powered via a control panel in the rear attendant console. When this inverter is activated, all 110VAC outlets shall be energized.</p> <p>An inverter integrated battery charger shall be provided for maintaining, in conjunction with the multiplex isolator and the shoreline, OEM and conversion batteries in a fully charged condition when the shoreline is plugged.</p>	1.00
ELE-CON-13	<p>AC Delco Conversion Batteries</p> <p>Two (2) AC Delco batteries shall be installed <i>in addition to</i> the two OEM batteries. The OEM batteries shall not be relocated from their original positions while the additional conversion batteries shall be in a ventilated slide out drawer under the ALS compartment.</p> <p>A programmable multiplex battery isolator shall be installed to separate the chassis batteries from the patient compartment batteries. It shall monitor battery voltage and allow for OEM battery boost by the conversion batteries and full OEM battery charging via the shoreline. The different voltage limits will be programmable. A system comprised of an isolator, boost solenoid and trickle charger shall not be acceptable as this requires more components, cables, and connections.</p> <p><u>NOTE:</u> two (2) Ford OEM Motorcraft batteries will be installed under the hood of the chassis and will be dedicated to the chassis system for starting and chassis functions.</p> <ul style="list-style-type: none"> - Four (4) total batteries to be installed. 	1.00
ELE-CON-14	<p>12vdc Electrical Outlets</p> <p>12VDC power point outlets specified here shall be properly tested and shall be protected with a Schottky-style diode to isolate the medical equipment batteries from other loads. The diode shall be in the electrical panel and shall be wired to the conversion batteries. It shall be designed to handle voltage of at least 48VDC. All wiring to the 12VDC outlets shall be clearly labeled and shall be one (1) continuous run from the diode to the outlet. The locations shall be:</p> <ul style="list-style-type: none"> - One above the primary action counter - One in the upper ALS cabinet - One above the counter rear of the CPR seat 	1.00
ELE-CON-18	<p>Dual USB DC outlet with indicator</p> <p>Dual USB DC outlet with indicator. Details and location are as follows: (1) above ECC main counter</p> <ul style="list-style-type: none"> - above squad bench cabinet - top of cab console 	3.00
ELE-ALT-15	<p>Electrical Outlet, 120V AC with Indicator</p> <p>120VAC outlets shall be energized from the shoreline and/or from the inverter. All 120VAC outlets shall be UL certified, Nema 5-15, clearly identified on the unit, rated to 60Hz and have a pilot light when powered.</p> <p>A 120VAC GFCI shall be installed beyond the shoreline and shall disable all 110VAC outlets when tripped. The GFCI shall be in the rear attendant console for ease of consulting and/or resetting if needed.</p>	1.00

120VAC outlets shall be energized from the shoreline and/or from the inverter if equipped. All 120VAC outlets shall be UL certified, Nema 5-15, clearly identified on the unit, rated to 60Hz and have a pilot light when powered. The outlet locations shall be:

- One street side above the above the primary action counter
- One street side above the second action small counter
- One in the front bulkhead angled cabinet
- One in the upper ALS cabinet
- One in the lower ALS cabinet
- One in the cab on the right side of the cab console
- One curbside above the counter

SR00173909 **Power Strip, cab** 1.00
One (1) power strip on top rear of cab console wired to inverter/shoreline

33-Communication System (COM)

Item Number	Name/Description	Quantity
COM-RAD-14	Radio Communications Compartment A ventilated radio compartment above the cab to body walk-thru with a hinged door should be easily accessible. It shall contain a universal board, Bussmann blade-type fuse panels, and harness. (12V battery feed, ground, ignition).	1.00
COM-RAD-15	Radio Communications Front Console The front console in the driver's compartment shall have a universal board, Bussmann blade-type fuse panels, and harness for radio communication systems It shall contain a universal board, Bussmann blade-type fuse panels, and harness. (12V battery feed, ground, ignition).	1.00
COM-REC-11	Data Recorder Available Signals Data recorder available signals through a universal connector in the electrical compartment.	1.00

34-HVAC (CVC)

Item Number	Name/Description	Quantity
CVC-CLD-11	OEM Tie-In Air Conditioning Unit System The air conditioning unit shall be tie-in to the OEM air conditioning system, cooling the air of the patient compartment through the ducted outlets. The Hoseline evaporator unit shall have a capacity of 580 CFM and cooling capacity of 30,000 BTU. The evaporator shall be installed in the patient compartment above the oxygen compartment. An AC high-capacity filter-drier shall be installed to the inlet of the evaporator to prevent debris and moisture in the system. It shall be accessible by removing the partition ceiling protector. Five (5) round adjustable vents installed at the ceiling with manual closures are installed above the street side cabinet in a padded diffuser and shall project at a downward angle toward the patient and crew. Cold air runs from the front evaporator to the vents through a one-piece angled duct to maximize and regulate air flow. It is	1.00

made of a lightweight material and insulated with high performance insulation to reduce thermal transfers and condensation.

- **Cold air blows out evenly throughout patient area evenly and efficiently cooling the entire patient area**

The patient compartment HVAC system shall be controlled by the driver cab console or the patient compartment, both sides, via the multiplex touch pad or touch screen. The patient compartment temperature shall be monitored by a thermostat incorporated in the multiplexing electrical system.

Additional to the three (3) preprogrammed speeds, an automatic mode shall be able to decide between heating, cooling, and fan speed in function of the set temperature versus the patient compartment temperature.

To achieve maximum efficiency and optimization of this system, the fans' speed shall be optimized via **Pulse Width Modulation (PWM)** to allow the heating and cooling system to run at its most effective speed. Adequate room for hose connections and hose lines shall be provided when installing HVAC components. The hoses shall be protected and insulated to optimize performance and longevity. They shall also be clamped every 18" with high strength clips and routed without sharp bends and kinks.

CVC-DIF-11	Air Conditioning Outlets, Round Round outlets for ducted air conditioning unit.	1.00
CVC-HOT-11	Heating Unit The heating unit shall be installed in the patient compartment in a location behind the street side cabinet, in the wheel well area. The heated air shall blow from below the side wall and just above the roll up floor in a cabinet full length aluminum vent. This ventilation system shall blow heat below the patient immediately and circulate upward , also creating a radiator effect as the heated air warms the side wall. The interior ducting shall be designed such that debris or liquids cannot enter vent.	1.00
CVC-VNT-13	Exhaust Fans (2) Two (2) exhaust fans for contaminated air. Activated by front control interface or rear console switch. The system must be able to circulate clean air into the patient area in 100 seconds or less.	1.00
CVC-VNT-15	UV Air Sterilization System The INTERCEPTOR's UVC Germicidal process will destroy airborne pathogens that technicians, drivers, patients and passengers come into contact with. To be installed inside module.	1.00

35-Interior Lights (ILG)

Item Number	Name/Description	Quantity
ILG-PLF-11	LED Dome Lights, Adjustable, Dig. Timer Whelen round Super LED dome lights , Whelen #80C0EHCR, shall be provided in the patient compartment. The dome lights shall be controlled by separate switches for the left bank and right bank of lights. The dome lights shall be activated rocker switches on the cab console and both patient area control panels.	8.00

ILG-GEN-12	Blue LED strip lighting at floor level Blue LED 12V lighting in aluminum channel on both sides of the module for floor lighting	1.00
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36-Grab Handles (GBR)

Item Number	Name/Description	Quantity
GBR-COL-12	Grab Bars Color, Yellow Color of selected grab bars is Yellow.	1.00
GBR-DRS-11	Rear Door-Mounted Grab Bars, 16" x 16" Two (2) door-mounted grab bars, 16" x 16", inside of rear doors (A1 and A2).	1.00
GBR-DRS-12	Curbside Door-Mounted Grab Bar, 12" One (1) door-mounted grab bar, 12" each, on the inside of the side entry door (C2).	1.00
GBR-EMB-11	Embarking Grab Bars, 12" Two (2) entry grab bars, 12" each, mounted inside the patient compartment. One (1) near the curbside entry door, and one (1) near the R2 rear entry door.	1.00
GBR-PLF-11	Ceiling Grab Rails, 90", Two (2) Two (2) ceiling-mounted grab rails, 90".	1.00

37-Finish and Trim (FNS)

Item Number	Name/Description	Quantity
FNS-FLR-15	Altro Reliance 25, Midnight Altro Reliance 25 Midnight floor covering.	1.00
FNS-GRD-15	Safety Yellow Upholstery Yellow vinyl upholstery for safety exit padding covering.	1.00
FNS-GRD-18	Black upholstery Black vinyl upholstery for seat and padding covering	1.00
FNS-PLF-11	Fiberglass Ceiling Fiberglass ceiling in Patient Compartment.	1.00
FNS-STK-11	General Vehicle Identification Vehicle general labels identification.	1.00

38-Functionality (FCT)

Item Number	Name/Description	Quantity
FCT-PLF-11	Radio Speakers, Recessed, Two (2) Two (2) recessed radio speakers.	1.00
FCT-PLF-13	IV Hooks, Recessed in Ceiling, Flexible, Four (4) Four (4) recessed flexible IV hooks in ceiling.	1.00
FCT-RWR-11	Digital Clock, Driver and Step Indicator Lights Digital clock recess mounted into the rear head pad. Clock is designed for road use. Clock is 12vdc direct wire to the ambulance electrical. - Rear step indicator light - Brake indicator light - Turn signal indicator light	1.00

DEALER SUPPLIED ITEMS

- **(2) 5 lb. fire extinguishers with heavy duty vehicle mounting brackets**
 - Installed per customer directions
- **Peacemaker Heavy Duty grill guard will be supplied and installed on the front of the chassis**
- **Fog Lights, Amber LED**
 - Supply and install amber LED fog lights to the Demers pre-wire after the installation of the grill guard
- **Technimount Universal base**
 - Installed per the customer directions
- **Technimount Pro heavy-duty bracket to mount to your defib**
 - This is the bracket that mounts to your defibrillator. The bracket will ship loose with the ambulance
- **Stryker MTS 6390, Power-LOAD cot loading system**
 - Installed in the Demers supplied floor plates
- **Stryker 6507 Power Pro 2 power cot**
- **Stryker 6252 tracked manual stair chair**
- **(3) Flow meters**
 - (2) gravity flow meters for the wall mount oxygen outlets
 - (1) round dial flow meter for the ceiling oxygen outlets
 - Green barb trees are included
- **Dual Air Horns**
 - Dual Buell air horns will be installed on the front of the chassis. A VIAIR compressor kit will be supplied and installed. The compressor will be installed in the S2 compartment on the floor and will be protected with an aluminum cover.
- **Graphics allowance of \$ 7,500.00 is included**
 - The amount will increase by \$ 1,000.00 to a total of \$ 8,500.00 with changing the paint to White
- **A \$ 5,000.00 allowance is included to supply an dinstall misc. equipment as determined later.**
-
- **Delivery to your station in Boyceville, Wisconsin**
- **Full tank of gas fuel upon delivery**
- **Orientation by the dealer**
- **Mobile Service by dealer with three mobile service vehicles**



Report to Village Board

Item Name: Marathon County Responsible Units of Recycling Cooperative Waste Reduction, Reuse, and Recycling Education Program Agreement

Meeting Date: September 23, 2024

Referring Body: APC

Committee Contact:

Staff Contact: Greg Ulman

Report Prepared by: Greg Ulman

Attached is a cooperative agreement between Marathon County and the Village of Kronenwetter saying that the municipality will uphold the recycling needs for its residents and the county will provide recycling education and outreach. In order for our municipality to be eligible for DNR recycling grant funding, we need to sign the agreement for the calendar year of 2025.

MARATHON COUNTY RESPONSIBLE UNITS OF RECYCLING COOPERATIVE WASTE
REDUCTION, REUSE AND RECYCLING EDUCATION PROGRAM AGREEMENT

APPENDIX A---PARTICIPATING MUNICIPALITIES 2025

1. Emmet, Town of
2. Johnson, Town of
3. Knowlton, Town of
4. Marathon, Village of
5. Plover, Town of
6. Rib Mountain, Village of
7. Ringle, Town of
8. Weston, Village of
9. Wausau, Town of
10. Texas, Town of
11. Edgar, Town of
12. Mosinee, City of
13. Easton, Village of
14. Rothschild, Village of
15. Rietbrock, Town of
16. Schofield, City of
17. Kronenwetter, Village of
18. Halsey, Town of



Report to Village Board

Agenda Item: 5. L.

Meeting Date: September 23, 2024

Referring Body: Administrative Policy Committee

Committee Contact:

Staff Contact:

Report Prepared by: Clerk Bobbi Birk-LaBarge

AGENDA ITEM: Village of Kronenwetter 2024-25 Municipal Property Insurance Company (MPIC) Premium Renewal

OBJECTIVE(S): To secure the village with property insurance

HISTORY/BACKGROUND: MPIC Renewal premium for 2022-2023 was \$23,358.00. MPIC Renewal premium for 2023-2024 was \$25,129 for a minor increase of \$1771.00. MPIC Renewal premium for 2024-2025 is \$26,018 with a minor increase of \$889.00

PROPOSAL: Approve the premium renewal

RECOMMENDED ACTION: To approve the Village of Kronenwetter 2024-25 Municipal Property Insurance Company (MPIC) Premium Renewal as presented in the amount of \$26,018.00

ATTACHMENTS: 2024-2025 MPIC premium summary, revised property summary



Village of Kronenwetter 2024-25 Municipal Property Insurance Co. (MPIC) Renewal Premium Summary

	2022-23 Expired	2023-24 Expiring	2024-25 Renewal
Buildings, Personal Property & Property in the Open	\$17,315 TIV \$21,035,879	\$18,679 TIV \$22,158,510	\$19,384 TIV \$22,317,240
Contractors Equipment	\$3,031 TIV \$1,377,669	\$3,211 TIV \$1,459,354	\$3,371 TIV \$1,532,322
Contractors Equipment valued under \$25,000	\$0 TIV \$392,379	\$0 TIV \$491,883	\$0 TIV \$516,480
Bridges	\$425 TIV \$630,219	\$447 TIV \$661,741	\$451 TIV \$668,359
Equipment Breakdown with Sewer & Water	\$2,587 TIV \$21,035,879	\$2,792 TIV \$22,158,510	\$2,812 TIV \$22,380,097
Total Annual Premium	\$23,358	\$25,129	\$26,018

DECLARATIONS
MUNICIPAL PROPERTY INSURANCE COMPANY
Variable Coverage Schedules

	Builders Risk	
New Water Treatment Building - 1979 Lea Road Kronenwetter 54455		\$2,100,000
Total		\$2,100,000

	Pedestrian Bridge	
Bridges - Old Hwy 51 Multi-Use Path Bridge		\$403,058
Bridges - The Kronenwetter Drive Multi-Use Path Bridge		\$265,301
Total		\$668,359

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - \$22,317,240

Site	Bldg	Description	Year Built	Floors	Square Footage	Building RC	Personal Property RC
001 MUNICIPAL CENTER/FIRE							
	DEPT						
001		MUNICIPAL CENTER/FIRE DEPT	1980	2	35,334	\$7,864,394	\$909,943
		1582 KRONENWETTER DR, KRONENWETTER, WI 54455					
002		PARK & RECREATION BUILDING		1	0	\$116,877	\$28,821
		1582 KRONENWETTER DR, KRONENWETTER, WI 54455					
		MUNICIPAL CENTER/FIRE DEPT (001) Total				\$7,981,271	\$938,764
002 GAUGING STATION 1							
001		GAUGING STATION 1	1996	1	120	\$83,856	\$0
		2361 TOWER RD, KRONENWETTER, WI 54455					
		GAUGING STATION 1 (002) Total				\$83,856	\$0
003 GAUGING STATION 2							
001		GAUGING STATION 2	1999	1	120	\$83,856	\$0
		2302 OLD HIGHWAY 51, KRONENWETTER, WI 54455					
002		GENERATOR BUILDING 3	1999	1	195	\$114,721	\$0
		2302 OLD HIGHWAY 51, KRONENWETTER, WI 54455					
		GAUGING STATION 2 (003) Total				\$198,577	\$0

STATEMENT OF VALUES MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - \$22,317,240

Site	Bldg	Description	Year Built	Floors	Square Footage	Building RC	Personal Property RC
007 SOCCER FIELD - STORAGE SHED							
	001	SOCCER FIELD - STORAGE SHED TOWER RD, KRONENWETTER, WI 54455		1	0	\$9,759	\$5,220
		Property in the Open					\$43,574
		SOCCER FIELD - STORAGE SHED (007) Total				\$9,759	\$48,794
008 KRONENWETTER COMMUNITY PARK - CONCESSION STAND							
	001	KRONENWETTER COMMUNITY PARK - CONCESSION STAND 1582 KRONENWETTER DR, KRONENWETTER, WI 54455		1	0	\$9,418	\$2,383
		Property in the Open					\$161,813
		KRONENWETTER COMMUNITY PARK - CONCESSION STAND (008) Total				\$9,418	\$164,196
009 BUSKA PARK RESTROOMS							
	001	BUSKA PARK, KRONENWETTER, WI 54455		1	0	\$142,572	\$12,470
	002	STORAGE SHED BUSKA PARK, KRONENWETTER, WI 54455		1	0	\$1,909	\$1,235
		Property in the Open					\$108,254
		BUSKA PARK (009) Total				\$144,481	\$121,959
010 YARD WASTE SITE - GARAGE							
	001	YARD WASTE SITE - GARAGE 4496 MARTIN RD, KRONENWETTER, WI 54455		1	0	\$53,559	\$18,722
		YARD WASTE SITE - GARAGE (010) Total				\$53,559	\$18,722

STATEMENT OF VALUES MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - \$22,317,240

Site	Bldg	Description	Year Built	Floors	Square Footage	Building RC	Personal Property RC
011		FRIENDSHIP PARK - SHELTER					
	001	FRIENDSHIP PARK - SHELTER	2007	1	672	\$279,826	\$19,063
		2350 SUNNY MEADOW DR, KRONENWETTER, WI 54455					
		Property in the Open					\$135,260
		FRIENDSHIP PARK - SHELTER (011) Total				\$279,826	\$154,323

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - \$22,317,240

Site	Bldg	Description	Year Built	Floors	Square Footage	Building RC	Personal Property RC
012 LIFT STATIONS							
	001	LIFT STATION #1 2201 TOWER RD, KRONENWETTER, WI 54455	2006	1	0	\$313,073	\$0
	002	LIFT STATION #10 2500 SUSSEX PLACE, KRONENWETTER, WI 54455	2005	1	0	\$185,869	\$0
	003	LIFT STATION #11 1050 GLADE COURT, KRONENWETTER, WI 54455	2006	1	0	\$164,083	\$0
	004	LIFT STATION #2 1929 KIMBERLY RD, KRONENWETTER, WI 54455	2011	1	0	\$325,896	\$0
	005	LIFT STATION #3 2361 TOWER RD, KRONENWETTER, WI 54455	1996	1	0	\$192,223	\$0
	006	LIFT STATION #4 899 W NELSON RD, KRONENWETTER, WI 54455	2000	1	0	\$248,393	\$0
	007	LIFT STATION #5 1100 CEDAR RD, KRONENWETTER, WI 54455	1999	1	0	\$266,889	\$0
	008	LIFT STATION #6 2100 RIVER FOREST LN, KRONENWETTER, WI 54455	1999	1	0	\$241,358	\$0
	009	LIFT STATION #7 2302 OLD HWY 51, KRONENWETTER, WI 54455	1999	1	0	\$241,698	\$0
	010	LIFT STATION #8 1210 KRONENWETTER DR, KRONENWETTER, WI 54455	2001	1	0	\$266,889	\$0
	011	LIFT STATION #9 WEST RD & CTH X, KRONENWETTER, WI 54455	2003	1	0	\$212,082	\$0
		LIFT STATIONS (012) Total				\$2,658,453	\$0

STATEMENT OF VALUES

MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - \$22,317,240

Site	Bldg	Description	Year Built	Floors	Square Footage	Building RC	Personal Property RC
013 GOODING PARK							
	001	GAZEBO		0	0	\$1,134	\$0
		KRONENWETTER, WI 54455					
	002	SHELTER W/ STONE FIREPLACE		0	0	\$44,481	\$0
		KRONENWETTER, WI 54455					
		Property in the Open					
		GOODING PARK (013) Total					
						\$45,615	\$2,156
014 NORM PLAZA MEMORIAL PARK							
	001	SHELTER 24' X 24'		0	576	\$16,340	\$0
		KRONENWETTER, WI 54455					
		Property in the Open					
		NORM PLAZA MEMORIAL PARK (014) Total					
						\$16,340	\$45,730
015 SEVILLE PARK							
	001	Shelter		0	0	\$34,042	\$0
		SEVILLE PARK, Kronenwetter, WI 54455					
		Property in the Open					
		SEVILLE PARK (015) Total					
						\$34,042	\$26,439
016 WATER TOWER							
	001	WATER TOWER	1996	1	0	\$1,550,842	\$0
		1688 PINE RD, KRONENWETTER, WI 54455					
		WATER TOWER (016) Total					
						\$1,550,842	\$0
017 TRAFFIC SIGNALS							
		Property in the Open					
		TRAFFIC SIGNALS (017) Total					
						\$0	\$425,980

STATEMENT OF VALUES MUNICIPAL PROPERTY INSURANCE COMPANY

Coverage Amount - \$22,317,240

Site	Bldg	Description	Year Built	Floors	Square Footage	Building RC	Personal Property RC
018							
		PITO AT VARIOUS LOCATIONS THROUGHOUT THE CITY					
		Property in the Open					\$2,579,561
		PITO AT VARIOUS LOCATIONS THROUGHOUT THE CITY (018) Total				\$0	\$2,579,561
019							
		Bridges					
	001	Old Hwy 51 Multi-Use Path Bridge		0	0	\$403,058	\$0
		KRONENWETTER, WI 54455					
	002	The Kronenwetter Drive Multi-Use Path Bridge		0	0	\$265,301	\$0
		KRONENWETTER, WI 54455					
		Bridges (019) Total				\$668,359	\$0
Building Subtotal							
							\$17,240,158
Contents Subtotal							
							\$1,468,770
Property in the Open Subtotal							
							\$3,608,312
Building, Contents and PITO Total							
							\$22,317,240

**PROPERTY IN THE OPEN
MUNICIPAL PROPERTY INSURANCE COMPANY**

Site	Description	Quantity	Replacement Cost
004	WELL HOUSES		
	PORTABLE GENERATOR		\$29,957
	PORTABLE PUMP		\$27,801
	SAFETY EQUIPMENT		\$21,787
	WELL HOUSES (004) Total		\$79,545
007	SOCCER FIELD - STORAGE SHED		
	BOUNCER ANIMAL		\$908
	BOUNCER SHOVEL		\$908
	FENCING CHAINLINK		\$14,752
	FENCING WOOD		\$5,901
	GOAL NETS		\$13,957
	HORIZONTAL LADDER		\$1,475
	PICNIC TABLES		\$1,248
	SWING		\$1,475
	TRASH RECEPTABLE		\$2,950
	SOCCER FIELD - STORAGE SHED (007) Total		\$43,574
008	KRONENWETTER COMMUNITY PARK - CONCESSION STAND BACKSTOP		
	BBQ, STEEL		\$681
	BENCH, ALUMINUM		\$567
	BENCH, WOOD		\$567
	BLEACHER, ALUMINUM		\$14,184
	BLEACHER, WOOD		\$1,475
	BOUNCER (ANIMAL & CAR)		\$1,816
	DUGOUT		\$23,149
	FENCING, CHAINLINK < 6'		\$11,915
	FENCING, CHAINLINK > 6'		\$12,709
	PICNIC TABLES		\$681
	PLAYSTRUCTURE MEDIUM		\$24,397

**PROPERTY IN THE OPEN
MUNICIPAL PROPERTY INSURANCE COMPANY**

Site	Description	Quantity	Replacement Cost
	SCOREBOARD MEDIUM		\$43,574
	TRASH RECEPTABLE; CONCRETE		\$2,950
	KRONENWETTER COMMUNITY PARK - CONCESSION STAND (008) Total		\$161,813
009	BUSKA PARK		
	1/2 BASKETBALL COURT		\$1,929
	BACKSTOP (48')		\$7,716
	BLEACHER, ALUMINUM		\$6,808
	DUGOUTS		\$7,943
	FENCING, CHAINLINK < 6'		\$3,972
	FENCING, CHAINLINK > 6'		\$9,532
	JUNGLE GYM		\$14,525
	PARK BENCH, WOOD		\$567
	PICNIC TABLE		\$681
	SCOREBOARD		\$14,525
	SUNSET PARK PLAYSTRUCTURE		\$9,078
	TENNIS COURT		\$27,347
	TRASH RECEPTABLE		\$3,631
	BUSKA PARK (009) Total		\$108,254
011	FRIENDSHIP PARK - SHELTER		
	BORDER MATERIALS		\$5,220
	CONCRETE BENCHES		\$6,241
	CONCRETE PICNIC TABLES		\$18,269
	E-Z DIGGER ACCESSIBLE		\$908
	E-Z DIGGER STANDARD		\$908
	FENCING		\$22,014
	FLUTTER BY SPRING RIDER		\$908
	PLAYSTRUCTURE		\$63,659
	PLAYSTRUCTURE RUBBER MATS		\$1,589

**PROPERTY IN THE OPEN
MUNICIPAL PROPERTY INSURANCE COMPANY**

Site	Description	Quantity	Replacement Cost
	SPRINGMATE CHIPMUNK		\$908
	SPRINGMATE TURTLE		\$908
	SURFACING MATERIAL, 240 CUBIC YARDS		\$8,624
	SWING UNIT ARCHED		\$5,106
	FRIENDSHIP PARK - SHELTER (011) Total		\$135,260
013	GOODING PARK		
	TRASH RECEPTACLE, CONCRETE		\$2,156
	GOODING PARK (013) Total		\$2,156
014	NORM PLAZA MEMORIAL PARK		
	BACKSTOP		\$7,716
	BASKETBALL GOAL, DOUBLE		\$3,404
	BBQ, STEEL		\$1,135
	BOUNCER ANIMAL		\$1,816
	NORM PLAZA PLAYSTRUCTURE, MEDIUM		\$16,794
	PARK BENCH, WOOD		\$567
	SIGNS		\$2,496
	SOCCER GOAL		\$4,652
	SWING BELT		\$1,929
	TABLES		\$3,064
	TRASH RECEPTABLE, CONCRETE		\$2,156
	NORM PLAZA MEMORIAL PARK (014) Total		\$45,730
015	SEVILLE PARK		
	BAR CLIMBER		\$794
	BOUNCER CAR & ANIMAL		\$1,816
	PARK BENCH, WOOD		\$1,248
	PICNIC TABLES		\$1,816
	PLAYSTRUCTURE, MEDIUM		\$16,794
	SWINGS		\$3,177
	VOLLEYBAL POSTS AND SAND COURT		\$794

**PROPERTY IN THE OPEN
MUNICIPAL PROPERTY INSURANCE COMPANY**

Site	Description	Quantity	Replacement Cost
	SEVILLE PARK (015) Total		\$26,439
017	TRAFFIC SIGNALS		
	BACKPLATES SIGNAL FACE, 12" 3 SEC		\$454
	CABLE TRAFFIC SIGNAL, 21-41 AWG		\$794
	CABLE TRAFFIC SIGNAL, 3-14 AWG		\$6,355
	CABLE TRAFFIC SIGNAL, 5-14 AWG		\$227
	CABLE TRAFFIC SIGNAL, 7-14 AWG		\$340
	CONCRETE BASES TYPE 1		\$454
	CONCRETE BASES TYPE 2		\$4,539
	CONDUIT LOOP DETECTOR		\$2,156
	CONDUIT RIGID, NON-METALLIC 2"		\$3,291
	CONDUIT RIGID, NON-METALLIC 3"		\$13,730
	CONNECT TRAFFIC/RAILROAD SIGNAL		\$9,418
	CONTROL CABINET CONC BASE TYPE 6		\$1,248
	LOOP DETECTOR LEAD IN CABLE		\$1,816
	LOOP DETECTOR WIRE		\$4,425
	MRR/OLD 51 TRAFFIC SIGNAL #1		\$1,702
	MRR/OLD 51 TRAFFIC SIGNAL #10		\$3,858
	MRR/OLD 51 TRAFFIC SIGNAL #2		\$7,830
	MRR/OLD 51 TRAFFIC SIGNAL #3		\$2,043
	MRR/OLD 51 TRAFFIC SIGNAL #3		\$5,674
	MRR/OLD 51 TRAFFIC SIGNAL #4		\$7,262
	MRR/OLD 51 TRAFFIC SIGNAL #5		\$7,262
	MRR/OLD 51 TRAFFIC SIGNAL #6		\$1,021
	MRR/OLD 51 TRAFFIC SIGNAL #6		\$2,043
	MRR/OLD 51 TRAFFIC SIGNAL #7		\$7,489
	MRR/OLD 51 TRAFFIC SIGNAL #8		\$7,489
	MRR/OLD 51 TRAFFIC SIGNAL #9		\$5,106
	MRR/OLD 51 TRAFFIC SIGNAL CONTROLLER		\$3,972
	MRR/OLD 51 TRAFFIC SIGNAL CONTROLLER		\$131,970

**PROPERTY IN THE OPEN
MUNICIPAL PROPERTY INSURANCE COMPANY**

Site	Description	Quantity	Replacement Cost
	PEDESTAL BASES		\$1,362
	POLES TYPE 2		\$3,064
	PULL BOXES STEEL 18" X 24"		\$1,816
	PULL BOXES STEEL 24" X 42"		\$4,312
	SIGNAL MOUNTING HARDWARE		\$1,702
	STOP SIGNS FOLDING		\$1,816
	TRAFFIC SIGNAL CONTROLLER 8 PH		\$36,765
	TRAFFIC SIGNAL FACES - NO LEFT TURN		\$7,716
	TRAFFIC SIGNAL FACES - NO RIGHT TURN		\$7,716
	TRAFFIC SIGNAL FACES 3-12" HORIZONTAL		\$1,702
	TRAFFIC SIGNAL FACES 3-12" VERT		\$3,404
	TRAFFIC SIGNAL FACES 5-12" VERT		\$9,191
	TRAFFIC SIGNAL STANDARDS, 13'		\$794
	TRAFFIC SIGNAL STANDARDS, 15'		\$1,702
	TRAFFIC SIGNALS		\$110,410
	TRANSFORMER BASES		\$908
	TROMBONE ARMS 20'		\$2,383
	TRAFFIC SIGNALS (017) Total		\$425,980
018	PITO AT VARIOUS LOCATIONS THROUGHOUT THE CITY		
	EMERGENCY WARNING SIREN		\$24,397
	EMERGENCY WARNING SIREN		\$24,397
	EMERGENCY WARNING SIREN		\$24,397
	EMERGENCY WARNING SIREN- 40'		\$24,397
	Fire Hydrants 519 @ \$4,500 ea.		\$2,358,855
	MAPLE RIDGE INTERCHANGE CONTROLLER		\$7,376
	MAPLE RIDGE INTERCHANGE DOUBLE LAMP		\$30,638
	MAPLE RIDGE INTERCHANGE SINGLE LAMP		\$17,135
	MAPLE RIDGE INTERCHANGE SINGLE LAMP		\$44,368
	MAPLE RIDGE INTERCHANGE SINGLE LAMP W/ 15' AR		\$10,326



Report to Village Board

Agenda Item: Ordinance Amendment 24-06, Chapter 520 Zoning, repeal and recreate Chapter(s) 520-40 through 520-49 and replace with Chapter 520 Sections 1.0 through 10.0.

Meeting Date: September 23, 2024

Referring Body: Village Board

Committee Contact: Chris Voll

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Ordinance Amendment 24-06, Chapter 520 Zoning, repeal and recreate Chapter(s) 520-40 through 520-49 and replace with Chapter 520 Sections 1.0 through 10.0.

OBJECTIVE(S): Review and approve Ordinance Amendment 24-06, Chapter 520 Zoning, repeal and recreate Chapter(s) 520-40 through 520-49 and replace with Chapter 520 Sections 1.0 through 10.0.

HISTORY/BACKGROUND: The Flood Insurance Study Report and Flood Insurance Rate Map for the Village of Kronenwetter has been revised by a Letter of Map Revision (LOMR), effective January 13, 2023. As a result, for floodplain management purposes the Village is required to adopt the LOMR and update their current ordinance language.

WDNR Floodplain Management staff provided a Draft Floodplain Zoning Ordinance for the Village to review. To achieve compliance/approval from DNR and FEMA, staff revised the ordinance to match the WDNR Model Floodplain Ordinance. On August 22, 2024, the WDNR advised staff the proposed changes, as written, is approved pending a public hearing, adoption and final documentation.

On September 16, 2024, the Planning Commission reviewed/approved the proposed changes and recommended an Ordinance Amendment be forwarded to the Village Board for final approval.

RECOMMENDED ACTION: To approve Ordinance Amendment 24-06, Chapter 520 Zoning, repeal and recreate Chapter(s) 520-40 through 520-49 and replace with Chapter 520 Sections 1.0 through 10.0.

ATTACHMENTS: Floodplain Ordinance changes in RED and Ordinance Amendment 24-06, Chapter 520 Zoning, repeal and recreate Chapter(s) 520-40 through 520-49 and Replace with Chapter 520 Sections 1.0 through 10.0.

September 16, 2024

Article VII. Floodplain Overlay Zoning Districts

Chapter 520 Zoning

Repeal and recreate Chapter(s) 520-40 through 520-49 and Replace with Chapter 520 Sections 1.0 through 10.0

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1.0 STATUTORY AUTHORIZATION, FINDING OF FACT, STATEMENT OF PURPOSE, TITLE, AND GENERAL PROVISIONS

1.1 STATUTORY AUTHORIZATION

This ordinance is adopted pursuant to the authorization in s. 61.35 and 62.23, for villages and cities; and the requirements in s. 87.30, Stats.

1.2 FINDING OF FACT

Uncontrolled development and use of the floodplains and rivers of this municipality would impair the public health, safety, convenience, general welfare, and tax base.

1.3 STATEMENT OF PURPOSE

This ordinance is intended to regulate floodplain development to:

- (1) Protect life, health and property;
- (2) Minimize expenditures of public funds for flood control projects;
- (3) Minimize rescue and relief efforts undertaken at the expense of the taxpayers;
- (4) Minimize business interruptions and other economic disruptions;
- (5) Minimize damage to public facilities in the floodplain;
- (6) Minimize the occurrence of future flood blight areas in the floodplain;
- (7) Discourage the victimization of unwary land and homebuyers;
- (8) Prevent increases in flood heights that could increase flood damage and result in conflicts between property owners; and
- (9) Discourage development in a floodplain if there is any practicable alternative to locate the activity, use or structure outside of the floodplain.

1.4 TITLE

This ordinance shall be known as the Floodplain Zoning Ordinance for the Village of Kronenwetter, Wisconsin.

1.5 GENERAL PROVISIONS

(1) **AREAS TO BE REGULATED**

This ordinance regulates all areas of special flood hazard identified as zones A, AO, AH, A1-30, AE, on the Flood Insurance Rate Map. Additional areas identified on maps approved by the Department of Natural Resources (DNR) and local community may also be regulated under the provisions of this ordinance, where applicable.

(2) **OFFICIAL MAPS & REVISIONS**

Special Flood Hazard Areas (SFHA) are designated as zones A, A1-30, AE, AH, AO, on the Flood Insurance Rate Maps (FIRMs) based on flood hazard analyses summarized in the Flood Insurance Study (FIS) listed in subd. (a) below. Additional flood hazard areas subject to regulation under this ordinance are identified on maps based on studies approved by the DNR and listed in subd. (b) below. These maps and revisions are on file in the office of the Community Development Director located at the village municipal center.

(a) **OFFICIAL MAPS**: Based on the Flood Insurance Study (FIS):

- 1. Flood Insurance Rate Map (FIRM), panel numbers: 55073C0629F, 55073C0631F, 55073C0632F, 55073C0633F, 55073C0634F, 55073C0641F, 55073C0642F, 55073C0645F, 55073C0651F, 55073C0652F, 55073C0653F, 55073C0654F, 55073C0660F, 55073C0662F, 55073C0663F, 55073C0664F, 55073C0670F, and 55073C0700F, dated July 22, 2010.
- 2. Flood Insurance Study (FIS) for Marathon County, Wisconsin, and Incorporated Areas, Volume 55073CV000B, dated September 28, 2018.

3. Letter of Map Revision (LOMR) Case #21-05-4158P, issued August 31, 2022, effective January 13, 2023.
4. Conditional Letter of map Change, case number 18-05-5205R, dated 02/28/2019.

Approved by: The DNR and FEMA

- (b) OFFICIAL MAPS: Based on other studies. Any maps referenced in this section must be approved by the DNR and be more restrictive than those based on the FIS at the site of the proposed development.

1. Flood Storage Maps: Areas labeled “Flood Storage District Reservoir 0”, “Flood Storage District Reservoir 1”, “Flood Storage District Reservoir 2”, “Flood Storage District Reservoir 3”, “Flood Storage District Reservoir 4”, “Flood Storage District Reservoir 5”, and “Flood Storage District Reservoir 6” on the maps accompanying LOMR #21-05-4158P shall be regulated as Flood Storage District (FSD) as established by this ordinance.

(3) ESTABLISHMENT OF FLOODPLAIN ZONING DISTRICTS

The flood hazard areas regulated by this ordinance are divided into districts as follows:

- a) The Floodway District (FW), is the channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional floodwaters, within AE Zones as shown on the FIRM, or within A Zones shown on the FIRM when determined according to s. 5.1(5).
- b) The Floodfringe District (FF) is that portion of a riverine special flood hazard area outside the floodway within AE Zones on the FIRM, or, when floodway limits have been determined according to s. 5.1(5), within A Zones shown on the FIRM.
- c) The General Floodplain District (GFP) is those riverine areas that may be covered by floodwater during the regional flood in which a floodway boundary has not been delineated on the FIRM and also includes shallow flooding areas identified as AH and AO zones on the FIRM.
- d) The Flood Storage District (FSD) is that area of the floodplain where storage of floodwaters is calculated to reduce the regional flood discharge.

(4) LOCATING FLOODPLAIN BOUNDARIES

Discrepancies between the exterior boundaries of zones A1-30, AE, AH, or A on the official floodplain zoning map and actual field conditions may be resolved using the criteria in subd (a) or (b) below. If a significant difference exists, the map shall be amended according to s. 8.0 *Amendments*. The zoning administrator can rely on a boundary derived from a profile elevation to grant or deny a land use permit, whether or not a map amendment is required. The zoning administrator shall be responsible for documenting actual pre-development field conditions and the basis upon which the district boundary was determined. Disputes between the zoning administrator and an applicant over the district boundary line shall be settled according to s. 7.3(3) and the criteria in (a) and (b) below. Where the flood profiles are based on established base flood elevations from a FIRM, FEMA must approve any map amendment or revision pursuant to s. 8.0 *Amendments*.

- a) If flood profiles exist, the map scale and the profile elevations shall determine the district boundary. The regional or base flood elevations shall govern if there are any discrepancies.
- b) Where flood profiles do not exist for projects, including any boundary of zone A, AO, the

location of the boundary shall be determined by the map scale.

(5) REMOVAL OF LANDS FROM FLOODPLAIN

- a) Compliance with the provisions of this ordinance shall not be grounds for removing land from the floodplain unless it is filled at least two feet above the regional or base flood elevation, the fill is contiguous to land outside the floodplain, and the map is amended pursuant to s. 8.0 *Amendments*.
- b) The delineation of any of the Floodplain Districts may be revised by the community where natural or man-made changes have occurred and/or where more detailed studies have been conducted. However, prior to any such change, approval must be obtained from the Wisconsin Department of Natural Resources and Federal Emergency Management Agency. A completed Letter of Map Revision is a record of this approval. The floodplain administrator shall not sign a community acknowledgement form unless all criteria set forth in the following paragraphs are met:
 - 1. The land and/or land around the structure must be filled at least two feet above the regional or base flood elevation;
 - 2. The fill must be contiguous to land outside the floodplain; Applicant shall obtain floodplain development permit before applying for a LOMR or LOMR-F;
- c) Removal of lands from the floodplain may also occur by operation of §87.30(1)(e), Wis. Stat. if a property owner has obtained a letter of map amendment from the federal emergency management agency under 44 C.F.R. 70.

(6) COMPLIANCE

- a) No structure or use within areas regulated by this ordinance shall hereafter be located, erected, constructed, reconstructed, repaired, extended, converted, enlarged, or altered without full compliance with the terms of these regulations and all other applicable regulations that apply to uses within the jurisdiction of these regulations.
- b) Failure to obtain a floodplain development permit shall be a violation of these regulations and shall be punishable in accordance with s. 9.0.
- c) Floodplain development permits issued on the basis of plans and applications approved by the Floodplain Administrator authorize only the use, and arrangement, set forth in such approved plans and applications, or amendments thereto if approved by the Floodplain Administrator. Use, arrangement, or construction contrary to that authorized shall be deemed a violation of these regulations and punishable in accordance with s. 9.0.

(7) MUNICIPALITIES AND STATE AGENCIES REGULATED

Unless specifically exempted by law, all cities, villages, towns, and counties are required to comply with this ordinance and obtain all necessary permits. State agencies are required to comply if s. 13.48(13), Stats., applies. The construction, reconstruction, maintenance and repair of state highways and bridges by the Wisconsin Department of Transportation is exempt when s. 30.2022, Stats., applies. Although exempt from a local zoning permit and permit fees, DOT must provide sufficient project documentation and analysis to ensure that the community is in compliance with Federal, State, and local floodplain standards. If a local transportation project is located within a Zone A floodplain and is not a WisDOT project under s. 30.2022, then the road project design documents (including appropriate detailed plans and profiles) may be sufficient to meet the requirements for issuance of a local floodplain permit if the following apply: The applicant provides documentation to the Floodplain Administrator that the proposed

project is a culvert replacement or bridge replacement under 20' span at the same location, the project is exempt from a DNR permit under s. 30.123(6)(d), the capacity is not decreased, the top road grade is not raised, and no floodway data is available from a federal, state, or other source. If floodway data is available in the impacted area from a federal, state, or other source that existing data must be utilized by the applicant in the analysis of the project site.

(8) ABROGATION AND GREATER RESTRICTIONS

- a) This ordinance supersedes all the provisions of any municipal zoning ordinance enacted under s. 61.35 for villages; or s. 87.30, Stats which relate to floodplains. A more restrictive ordinance shall continue in full force and effect to the extent of the greater restrictions, but not otherwise.
- b) This ordinance is not intended to repeal, abrogate, or impair any existing deed restrictions, covenants, or easements. If this ordinance imposes greater restrictions, the provisions of this ordinance shall prevail.

(9) INTERPRETATION

In their interpretation and application, the provisions of this ordinance are the minimum requirements liberally construed in favor of the governing body and are not a limitation on or repeal of any other powers granted by the Wisconsin Statutes. If a provision of this ordinance, required by ch. NR 116, Wis. Adm. Code, is unclear, the provision shall be interpreted in light of the standards in effect on the date of the adoption of this ordinance or in effect on the date of the most recent text amendment to this ordinance.

(10) WARNING AND DISCLAIMER OF LIABILITY

The flood protection standards in this ordinance are based on engineering experience and research. Larger floods may occur, or the flood height may be increased by man-made or natural causes. This ordinance does not imply or guarantee that non-floodplain areas or permitted floodplain uses will be free from flooding and flood damages. This ordinance does not create liability on the part of, or a cause of action against, the municipality or any officer or employee thereof for any flood damage that may result from reliance on this ordinance.

(11) SEVERABILITY

Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this ordinance shall not be affected.

(12) ANNEXED AREAS FOR CITIES AND VILLAGES

The Marathon County floodplain zoning provisions in effect on the date of annexation shall remain in effect and shall be enforced by the municipality for all annexed areas until the municipality adopts and enforces an ordinance which meets the requirements of ch. NR 116, Wis. Adm. Code and 44 CFR 59-72, *National Flood Insurance Program (NFIP)*. These annexed lands are described on the municipality's official zoning map. County floodplain zoning provisions are incorporated by reference for the purpose of administering this section and are on file in the office of the municipal zoning administrator. All plats or maps of annexation shall show the regional flood elevation and the floodway location.

2.0 GENERAL STANDARDS APPLICABLE TO ALL FLOODPLAIN DISTRICTS

The community shall review all permit applications to determine whether proposed building sites will be reasonably safe from flooding and assure that all necessary permits have been received from those governmental agencies whose approval is required by federal or state law.

- 1) If a proposed building site is in a flood-prone area, all new construction and substantial improvements shall:

- a. be designed and anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
 - b. be constructed with flood-resistant materials;
 - c. be constructed by methods and practices that minimize flood damages; and
 - d. Mechanical and utility equipment must be elevated to or above the flood protection elevation.
- 2) If a subdivision or other proposed new development is in a flood-prone area, the community shall assure that:
- a. such proposed subdivision or other proposed new development is consistent with the need to minimize flood damage within the flood-prone area;
 - b. public utilities and facilities such as sewer, gas, electrical, and water systems are located and constructed to minimize or eliminate flood damage; and
 - c. adequate drainage is provided to reduce exposure to flood hazards.

All subdivision proposals (including manufactured home parks) shall include regional flood elevation and floodway data for any development that meets the subdivision definition of this ordinance and all other requirements in s. 7.1(2).

2.1 HYDRAULIC AND HYDROLOGIC ANALYSES

- 1) No floodplain development shall:
- a. Obstruct flow, defined as development which blocks the conveyance of floodwaters by itself or with other development, causing any increase in the regional flood height; or
 - b. Cause any increase in the regional flood height due to floodplain storage area lost.
- 2) The zoning administrator shall deny permits if it is determined the proposed development will obstruct flow or cause any increase in the regional flood height, based on the officially adopted FIRM or other adopted map, unless the provisions of s. 8.0 *Amendments* are met.

2.2 WATERCOURSE ALTERATIONS

No land use permit to alter or relocate a watercourse in a mapped floodplain shall be issued until the local official has notified in writing all adjacent municipalities, the Department and FEMA regional offices, and required the applicant to secure all necessary state and federal permits. The standards of s. 2.1 must be met and the flood carrying capacity of any altered or relocated watercourse shall be maintained.

As soon as is practicable, but not later than six months after the date of the watercourse alteration or relocation and pursuant to s. 8.0 *Amendments*, the community shall apply for a Letter of Map Revision (LOMR) from FEMA. Any such alterations must be reviewed and approved by FEMA and the DNR through the LOMC process.

2.3 CHAPTER 30, 31, WIS. STATS., DEVELOPMENT

Development which requires a permit from the Department, under chs. 30 and 31, Stats., such as docks, piers, wharves, bridges, culverts, dams, and navigational aids, may be allowed if the

necessary permits are obtained and amendments to the floodplain zoning ordinance are made according to s. 8.0 *Amendments*.

2.4 PUBLIC OR PRIVATE CAMPGROUNDS

Public or private campgrounds shall have a low flood damage potential and shall meet the following provisions:

- 1) The campground is approved by the Department of Agriculture, Trade and Consumer Protection;
- 2) A land use permit for the campground is issued by the zoning administrator;
- 3) The character of the river system and the campground elevation are such that a 72-hour warning of an impending flood can be given to all campground occupants;
- 4) There is an adequate flood warning procedure for the campground that offers the minimum notice required under this section to all persons in the campground. This procedure shall include a written agreement between the campground owner, the floodplain zoning agency or zoning administrator, the municipal emergency government coordinator and the chief law enforcement official which specifies the flood elevation at which evacuation shall occur, personnel responsible for monitoring flood elevations, types of warning systems to be used and the procedures for notifying at-risk parties, and the methods and personnel responsible for conducting the evacuation;
- 5) This agreement shall be for no more than one calendar year, at which time the agreement shall be reviewed and updated - by the officials identified in sub. (4) - to remain in compliance with all applicable regulations, including those of the state Department of Agriculture, Trade and Consumer Protection and all other applicable regulations;
- 6) All mobile recreational vehicles placed on site must meet one of the following:
 - a. Be fully licensed, if required, and ready for highway use; or
 - b. Not occupy any site in the campground for more than 180 consecutive days, at which time the recreational vehicle must be removed from the floodplain for a minimum of 24 hours; or
 - c. Meet the requirements in either s. 3.0, 4.0, or 5.1 for the floodplain district in which the structure is located;

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

- 7) All camping units that remain on site for more than 30 days shall be issued a limited authorization by the campground operator, a written copy of which is kept on file at the campground. Such authorization shall allow placement of a camping unit consistent with 2.4(6) and shall ensure compliance with all the provisions of this section;
- 8) The municipality shall monitor the limited authorizations issued by the campground operator to assure compliance with the terms of this section;
- 9) The campground shall have signs clearly posted at all entrances warning of the flood hazard and the procedures for evacuation when a flood warning is issued; and

10) All service facilities, including but not limited to refuse collection, electrical service, gas lines, propane tanks, sewage systems and wells shall be properly anchored and placed at or floodproofed to the flood protection elevation; and

11) Standards for structures in a campground:

- a. All structures must comply with section 2.4 or meet the applicable requirements in ss. 3.0, 4.0, or 5.1 for the floodplain district in which the structure is located;
- b. Deck/landing-a portable landing may be allowed for a camping unit for each entry provided that the landing is not permanently attached to the ground or camping unit, is no more than 200 square feet in size, shall be portable, contain no walls or roof, and can be removed from the campground by a truck and/or trailer. Sections of such portable landings may be placed together to form a single deck not greater than 200 square feet at one entry point. Provisions for the removal of these temporary landings during flood events must be addressed within the written agreement with the municipality compliant with section 2.4(4). Any such deck/landing structure may be constructed at elevations lower than the flood protection elevation but must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.
- c. Decks/patios that are constructed completely at grade may be allowed but must also comply with applicable shoreland zoning standards.
- d. Camping equipment and appurtenant equipment in the campground may be allowed provided that the equipment is not permanently attached to the ground or camping unit, is not used as a habitable structure, and must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood. Provisions for the removal of this equipment during flooding events shall be addressed within the written agreement with the municipality compliant with section 2.4(4).
- e. Once a flood warning in the written agreement has been issued for the campground, the campground owner or the designated operator shall ensure that all persons, camping units, decks, camping equipment and appurtenant equipment in the campground shall be evacuated within the timelines specified within the written agreement with the municipality compliant with section 2.4(4).

12) A land use permit shall be obtained as provided under 7.1(2) before any development; repair, modification, or addition to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated.

3.0 FLOODWAY DISTRICT (FW)

3.1 APPLICABILITY

This section applies to all floodway areas on the floodplain zoning maps and those identified pursuant to s. 5.1(5).

3.2 PERMITTED USES

The following open space uses are allowed in the Floodway District and the floodway areas of the General Floodplain District, if:

- they are not prohibited by any other ordinance;
- they meet the standards in s. 3.3 and 3.4; and
- all permits or certificates have been issued according to s. 7.1.

- 1) Agricultural uses, such as: farming, outdoor plant nurseries, horticulture, viticulture, and wild crop harvesting.
- 2) Nonstructural industrial and commercial uses, such as loading areas, parking areas and airport landing strips.
- 3) Nonstructural recreational uses, such as golf courses, tennis courts, archery ranges, picnic grounds, boat ramps, swimming areas, parks, wildlife and nature preserves, game farms, fish hatcheries, shooting, trap, and skeet activities, hunting and fishing areas and hiking and horseback riding trails, subject to the fill limitations of s. 3.3(4).
- 4) Uses or structures accessory to open space uses or classified as historic structures that comply with s. 3.3 and 3.4.
- 5) Extraction of sand, gravel or other materials that comply with s. 3.3(4).
- 6) Functionally water-dependent uses, such as docks, piers or wharves, dams, flowage areas, culverts, navigational aids and river crossings of transmission lines, and pipelines that comply with chs. 30 and 31, Stats.
- 7) Public utilities, streets and bridges that comply with s. 3.3(3).
- 8) Portable latrines that are removed prior to flooding and systems associated with recreational areas and Department-approved campgrounds that meet the applicable provisions of local ordinances and Ch. SPS 383, Wis. Adm. Code.
- 9) Public or private wells used to obtain potable water for recreational areas that meet the requirements of local ordinances and chs. NR 811 and NR 812, Wis. Adm. Code.
- 10) Wastewater treatment ponds or facilities permitted under s. NR 110.15(3)(b), Wis. Adm. Code.
- 11) Sanitary sewer or water supply lines to service existing or proposed development located outside the floodway that complies with the regulations for the floodplain area occupied.

3.3 STANDARDS FOR DEVELOPMENT IN THE FLOODWAY

1) GENERAL

- a. Any development in the floodway shall comply with s. 2.0 and have a low flood damage potential.
- b. Applicants shall provide an analysis calculating the effects of this proposal on the regional flood height to determine the effects of the proposal according to s. 2.1 and 7.1(2)(c). The analysis must be completed by a registered professional engineer in the state of Wisconsin.
- c. Any encroachment in the regulatory floodway is prohibited unless the data submitted for subd. 3.3(1)(b) above demonstrates that the encroachment will cause no increase in flood elevations in flood events up to the base flood at any location or removes the encroached area from the regulatory floodway as provided in s. 1.5(5).

2) STRUCTURES

Structures accessory to permanent open space uses, including utility and sanitary facilities, or functionally dependent on a waterfront location may be allowed by permit if the structures comply with the following criteria:

- a. Not designed for human habitation, does not have a high flood damage potential and is constructed to minimize flood damage;
- b. Shall either have the lowest floor elevated to or above the flood protection elevation or shall meet all the following standards:
 - 1. Have the lowest floor elevated to or above the regional flood elevation and be dry floodproofed so that the structure is watertight with walls substantially impermeable to the passage of water and completely dry to the flood protection elevation without human intervention during flooding;
 - 2. Have structural components capable of meeting all provisions of Section 3.3(2)(g) and;
 - 3. Be certified by a registered professional engineer or architect, through the use of a Federal Emergency Management Agency Floodproofing Certificate, that the design and methods of construction are in accordance with Section 3.3(2)(g).
- c. Must be anchored to resist flotation, collapse, and lateral movement;
- d. Mechanical and utility equipment must be elevated to or above the flood protection elevation; and
- e. Must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.
- f. For a structure designed to allow the automatic entry of floodwaters below the Regional Flood Elevation, the applicant shall submit a plan that meets s. 3.3(2)(a) through 3.3(2)(e) and meets or exceeds the following standards:
 - 1. The lowest floor must be elevated to or above the regional flood elevation;
 - 2. a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 3. the bottom of all openings shall be no higher than one foot above the lowest adjacent grade; openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters, otherwise must remain open.
 - 4. The use must be limited to parking, building access or limited storage.
- g. Certification: Whenever floodproofing measures are required, a registered professional engineer or architect shall certify that the following floodproofing measures will be utilized, where appropriate, and are adequate to withstand the flood depths, pressures, velocities, impact and uplift forces and other factors associated with the regional flood:
 - 1. Reinforcement of floors and walls to resist rupture, collapse, or lateral movement caused by water pressures or debris buildup;
 - 2. Construction of wells, water supply systems and waste treatment systems so as to prevent the entrance of flood waters in such systems and must be in accordance with provisions in Sections 3.4(4) and 3.4(5);
 - 3. Subsurface drainage systems to relieve external pressures on foundation walls and

basement floors;

4. Cutoff valves on sewer lines or the elimination of gravity flow basement drains; and
5. Placement of utilities to or above the flood protection elevation.

3) PUBLIC UTILITIES, STREETS AND BRIDGES

Public utilities, streets and bridges may be allowed by permit, if:

- a. Adequate floodproofing measures are provided to the flood protection elevation; and
- b. Construction meets the development standards of s. 2.1.

4) FILLS OR DEPOSITION OF MATERIALS

Fills or deposition of materials may be allowed by permit, if:

- a. The requirements of s. 2.1 are met;
- b. No material is deposited in navigable waters unless a permit is issued by the Department pursuant to ch. 30, Stats., and a permit pursuant to s. 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 U.S.C. 1344 has been issued, if applicable, and all other requirements have been met;
- c. The fill or other materials will be protected against erosion by riprap, vegetative cover, sheet piling or bulkheading; and
- d. The fill is not classified as a solid or hazardous material.

3.4 PROHIBITED USES

All uses not listed as permitted uses in s. 3.2 are prohibited, including the following uses:

- 1) Habitable structures, structures with high flood damage potential, or those not associated with permanent open-space uses;
- 2) Storing materials that are buoyant, flammable, explosive, injurious to property, water quality, or human, animal, plant, fish or other aquatic life;
- 3) Uses not in harmony with or detrimental to uses permitted in the adjoining districts;
- 4) Any private or public sewage systems, except portable latrines that are removed prior to flooding and systems associated with recreational areas and Department-approved campgrounds that meet the applicable provisions of local ordinances and ch. SPS 383, Wis. Adm. Code;
- 5) Any public or private wells which are used to obtain potable water, except those for recreational areas that meet the requirements of local ordinances and chs. NR 811 and NR 812, Wis. Adm. Code;
- 6) Any solid or hazardous waste disposal sites;
- 7) Any wastewater treatment ponds or facilities, except those permitted under s. NR 110.15(3)(b), Wis. Adm. Code; and
- 8) Any sanitary sewer or water supply lines, except those to service existing or proposed development located outside the floodway which complies with the regulations for the floodplain area occupied.

4.0 FLOODFRINGE DISTRICT (FF)

4.1 APPLICABILITY

This section applies to all floodfringe areas shown on the floodplain zoning maps and those identified pursuant to s. 5.1(5).

4.2 PERMITTED USES

Any structure, land use, or development is allowed in the Floodfringe District if the standards in s. 4.3 are met, the use is not prohibited by this, or any other ordinance or regulation and all permits or certificates specified in s. 7.1 have been issued.

4.3 STANDARDS FOR DEVELOPMENT IN THE FLOODFRINGE

Section 2.0 shall apply in addition to the following requirements according to the use requested. Any existing structure in the floodfringe must meet the requirements of s. 6.0 *Nonconforming Uses*;

(1) **RESIDENTIAL USES**

Any structure, including a manufactured home, which is to be newly constructed or moved into the floodfringe, shall meet or exceed the following standards. Any existing structure in the floodfringe must meet the requirements of s. 6.0 *Nonconforming Uses*;

- a) All new construction, including placement of manufactured homes, and substantial improvement of residential structures, shall have the lowest floor elevated to or above the flood protection elevation on fill. The fill around the structure shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure. No area may be removed from the floodfringe district unless it can be shown to meet s. 1.5(5).
- b) Notwithstanding s. 4.3 (1)(a), a basement or crawlspace floor may be placed at the regional flood elevation if the basement or crawlspace is designed to make all portions of the structure below the flood protection elevation watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. No floor of any kind is allowed below the regional flood elevation;
- c) Contiguous dryland access shall be provided from a structure to land outside of the floodplain, except as provided in subd. (d).
- d) In developments where existing street or sewer line elevations make compliance with subd. (c) impractical, the municipality may permit new development and substantial improvements where roads are below the regional flood elevation, if:
 - 1. The municipality has written assurance from police, fire and emergency services that rescue, and relief will be provided to the structure(s) by wheeled vehicles during a regional flood event; or
 - 2. The municipality has a DNR-approved emergency evacuation plan that follows acceptable hazard mitigation planning guidelines.

(2) **ACCESSORY STRUCTURES OR USES**

In addition to s. 2.0, new construction and substantial improvements of Accessory structures shall be constructed on fill with the lowest floor at or above the regional flood elevation.

(3) COMMERCIAL USES

In addition to s. 2.0, any commercial structure which is erected, altered, or moved into the floodfringe shall meet the requirements of s. 4.3(1). Subject to the requirements of s. 4.3(5), storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.

(4) MANUFACTURING AND INDUSTRIAL USES

In addition to s. 2.0, any manufacturing or industrial structure which is erected, altered, or moved into the floodfringe shall have the lowest floor elevated to or above the flood protection elevation or meet the floodproofing standards in s 7.5. Subject to the requirements of s. 4.3(5), storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.

(5) STORAGE OF MATERIALS

Materials that are buoyant, flammable, explosive, or injurious to property, water quality or human, animal, plant, fish, or aquatic life shall be stored at or above the flood protection elevation or floodproofed in compliance with s. 7.5. Adequate measures shall be taken to ensure that such materials will not enter the water body during flooding.

(6) PUBLIC UTILITIES, STREETS AND BRIDGES

All utilities, streets and bridges shall be designed to be compatible with comprehensive floodplain development plans; and

- a) When failure of public utilities, streets and bridges would endanger public health or safety, or where such facilities are deemed essential, construction or repair of such facilities shall only be permitted if they are designed to comply with s. 7.5.
- b) Minor roads or non-essential utilities may be constructed at lower elevations if they are designed to withstand flood forces to the regional flood elevation.

(7) SEWAGE SYSTEMS

All sewage disposal systems shall be designed to minimize or eliminate infiltration of flood water into the system, pursuant to s. 7.5(3), to the flood protection elevation and meet the provisions of all local ordinances and ch. SPS 383, Wis. Adm. Code.

(8) WELLS

All wells shall be designed to minimize or eliminate infiltration of flood waters into the system, pursuant to s. 7.5(3), to the flood protection elevation and shall meet the provisions of chs. NR 811 and NR 812, Wis. Adm. Code.

(9) SOLID WASTE DISPOSAL SITES

Disposal of solid or hazardous waste is prohibited in floodfringe areas.

(10) DEPOSITION OF MATERIALS

Any deposited material must meet all the provisions of this ordinance.

(11) MANUFACTURED HOMES

- a) Owners or operators of all manufactured home parks and subdivisions shall provide adequate surface drainage to minimize flood damage, and prepare, secure approval, and file an evacuation plan, indicating vehicular access and escape routes, with local emergency management authorities.
- b) In existing manufactured home parks, all new homes, replacement homes on existing pads, and substantially improved homes shall:
 - 1. have the lowest floor elevated to the flood protection elevation; and
 - 2. be anchored so they do not float, collapse, or move laterally during a flood
- c) Outside of existing manufactured home parks, including new manufactured home parks and all single units outside of existing parks, all new, replacement and substantially improved manufactured homes shall meet the residential development standards for the floodfringe in s. 4.3(1).

(12) MOBILE RECREATIONAL VEHICLES

All mobile recreational vehicles must be on site for less than 180 consecutive days and be either:

- a) fully licensed and ready for highway use; or
- b) shall meet the elevation and anchoring requirements in s. 4.3 (11)(b) and (c).

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

5.0 OTHER FLOODPLAIN DISTRICTS

5.1 GENERAL FLOODPLAIN DISTRICT (GFP)

1) APPLICABILITY

The provisions for the General Floodplain District shall apply to development in all floodplains mapped as A, AO, AH, and in AE zones within which a floodway is not delineated on the Flood Insurance Rate Maps identified in s. 1.5(2)(a).

2) FLOODWAY BOUNDARIES

For proposed development in zone A, or in zone AE within which a floodway is not delineated on the Flood Insurance Rate Map identified in s. 1.5(2)(a), the boundaries of the regulatory floodway shall be determined pursuant to s. 5.1(5). If the development is proposed to encroach upon the regulatory floodway, the development is subject to the standards of s 3.0. If the development is located entirely within the floodfringe, the development is subject to the standards of s. 4.0.

3) PERMITTED USES

Pursuant to s. 5.1(5) it shall be determined whether the proposed use is located within the floodway or floodfringe. Those uses permitted in the Floodway (s. 3.2) and Floodfringe (s. 4.2) Districts are allowed within the General Floodplain District, according to the standards of s. 5.1(4) provided that all permits or certificates required under s. 7.1 have been issued.

4) **STANDARDS FOR DEVELOPMENT IN THE GENERAL FLOODPLAIN DISTRICT**

Section 3.0 applies to floodway areas, determined to pursuant to 5.1(5); Section 4.0 applies to floodfringe areas, determined to pursuant to 5.1(5).

- a) **New construction and substantial improvement of structures in zone AO shall have the lowest floor, including basement, elevated:**
 - 1. **To or above the depth, in feet, as shown on the FIRM above the highest adjacent natural grade; or**
 - 2. **If the depth is not specified on the FIRM, to or above two (2) feet above the highest adjacent natural grade.**
- b) **New Construction and substantial improvement of structures in zone AH shall have the lowest floor, including basement, elevated to or above the flood protection elevation.**
- c) **In AO/AH zones, provide adequate drainage paths to guide floodwaters around structures.**
- d) **All development in zones AO and zone AH shall meet the requirements of s. 4.0 applicable to flood fringe areas.**

5) **DETERMINING FLOODWAY AND FLOODFRINGE LIMITS**

Upon receiving an application for development within zone A, or within zone AE where a floodway has not been delineated on the Flood Insurance Rate Maps, the zoning administrator shall:

- a) Require the applicant to submit two copies of an aerial photograph or a plan which shows the proposed development with respect to the general floodplain district limits, stream channel, and existing floodplain developments, along with a legal description of the property, fill limits and elevations, building floor elevations and flood proofing measures and the flood zone as shown on the FIRM.
- b) Require the applicant to furnish any of the following information deemed necessary by the Department to evaluate the effects of the proposal upon flood height and flood flows, regional flood elevation and to determine floodway boundaries.
 - 1. A Hydrologic and Hydraulic Study as specified in s. 7.1(2)(c).
 - 2. Plan (surface view) showing elevations or contours of the ground; pertinent structure, fill or storage elevations; size, location, and layout of all proposed and existing structures on the site; location and elevations of streets, water supply, and sanitary facilities; soil types and other pertinent information.
 - 3. Specifications for building construction and materials, floodproofing, filling, dredging, channel improvement, storage, water supply and sanitary facilities.

5.2 FLOOD STORAGE DISTRICT

The flood storage district delineates that portion of the floodplain where storage of floodwaters has been taken into account and is relied upon to reduce the regional flood discharge. The district protects the flood storage areas and assures that any development in the storage areas will not decrease the effective flood storage capacity which would cause higher flood elevations.

(1) APPLICABILITY

The provisions of this section apply to all areas within the Flood Storage District (FSD), as shown on the official floodplain zoning maps.

(2) PERMITTED USES

Any use or development which occurs in a flood storage district must meet the applicable requirements in s. 4.3.

(3) STANDARDS FOR DEVELOPMENT IN FLOOD STORAGE DISTRICTS

- a. Development in a flood storage district shall not cause an increase equal or greater than 0.00 of a foot in the height of the regional flood.
- b. No development shall be allowed which removes flood storage volume unless an equal volume of storage as defined by the pre-development ground surface and the regional flood elevation shall be provided in the immediate area of the proposed development to compensate for the volume of storage, which is lost, (compensatory storage). Excavation below the groundwater table is not considered to provide an equal volume of storage.
- c. If compensatory storage cannot be provided, the area may not be developed unless the entire area zoned as flood storage district – on this waterway – is rezoned to the floodfringe district. This must include a revision to the floodplain study and map done for the waterway to revert to the higher regional flood discharge calculated without floodplain storage, as per s. 8.0 *Amendments* of this ordinance.
- d. No area may be removed from the flood storage district unless it can be shown that the area has been filled to the flood protection elevation and is contiguous to other lands lying outside of the floodplain.

6.0 NONCONFORMING USES

6.1 GENERAL

1) Applicability

- a) The standards in this section shall apply to all uses and buildings that do not conform to the provisions contained within a floodplain zoning ordinance or with s. 87.30, Stats. and §§ NR 116.12-14, Wis. Adm. Code and 44 CFR 59-72., these standards shall apply to all modifications or additions to any nonconforming use or structure and to the use of any structure or premises which was lawful before the passage of this ordinance or any amendment thereto. A party asserting existence of a lawfully established nonconforming use or structure has the burden of proving that the use or structure was compliant with the floodplain zoning ordinance in effect at the time the use or structure was created.
 - b) As permit applications are received for additions, modifications, or substantial improvements to nonconforming buildings in the floodplain, municipalities shall develop a list of those nonconforming buildings, their present equalized assessed value, and a list of the costs of those activities associated with changes to those buildings.
- 2) The existing lawful use of a structure or its accessory use which is not in conformity with the provisions of this ordinance may continue subject to the following conditions:

- a) No modifications or additions to a nonconforming use or structure shall be permitted unless they comply with this ordinance. The words "modification" and "addition" include, but are not limited to, any alteration, addition, modification, structural repair, rebuilding or replacement of any such existing use, structure or accessory structure or use. Maintenance is not considered a modification; this includes painting, decorating, paneling and other nonstructural components and the maintenance, repair or replacement of existing private sewage or water supply systems or connections to public utilities. Any costs associated with the repair of a damaged structure are not considered maintenance.

The construction of a deck that does not exceed 200 square feet and that is adjacent to the exterior wall of a principal structure is not an extension, modification, or addition. The roof of the structure may extend over a portion of the deck in order to provide safe ingress and egress to the principal structure.

- b) If a nonconforming use or the use of a nonconforming structure is discontinued for 12 consecutive months, it is no longer permitted and any future use of the property, and any structure or building thereon, shall conform to the applicable requirements of this ordinance;
- c) The municipality shall keep a record which lists all nonconforming uses and nonconforming structures, their present equalized assessed value, the cost of all modifications or additions which have been permitted, and the percentage of the structure's total current value those modifications represent;
- d) No modification or addition to any nonconforming structure or any structure with a nonconforming use, which over the life of the structure would equal or exceed 50% of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 4.3(1). The costs of elevating the lowest floor of a nonconforming building or a building with a nonconforming use to the flood protection elevation are excluded from the 50% provisions of this paragraph;
- e) No maintenance on a per event basis to any nonconforming structure or any structure with a nonconforming use, the cost of which would equal or exceed 50% of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 4.3(1). Maintenance to any nonconforming structure, which does not exceed 50% of its present equalized assessed value on a per event basis, does not count against the cumulative calculations over the life of the structure for substantial improvement calculations.
- f) If on a per event basis the total value of the work being done under (d) and (e) equals or exceeds 50% of the present equalized assessed value, the work shall not be permitted unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 4.3(1).
- g) Except as provided in subd. (h), if any nonconforming structure or any structure with a nonconforming use is destroyed or is substantially damaged, it cannot be replaced, reconstructed, or rebuilt unless the use and the structure meet the current ordinance requirements. A structure is considered substantially damaged if the total cost to restore the structure to its pre-damaged condition equals or exceeds 50% of the structure's present equalized assessed value.

h) For nonconforming buildings that are substantially damaged or destroyed by a nonflood disaster, the repair or reconstruction of any such nonconforming building shall be permitted in order to restore it to the size and use in effect prior to the damage event, provided that the following minimum requirements are met, and all required permits have been granted prior to the start of construction:

1. Residential Structures

- a. Shall have the lowest floor, including basement, elevated to or above the flood protection elevation using fill, pilings, columns, posts, or perimeter walls. Perimeter walls must meet the requirements of s. 7.5(2).
- b. Shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, and shall be constructed with methods and materials resistant to flood damage.
- c. Shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or elevated so as to prevent water from entering or accumulating within the components during conditions of flooding.
- d. In A Zones, obtain, review, and utilize any flood data available from a federal, state or other source.
- e. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in s. 5.1(4).
- f. in AO Zones, shall have adequate drainage paths around structures on slopes to guide floodwaters around and away from the structure.

2. Nonresidential Structures

- a. Shall meet the requirements of s. 6.1(2)(h)1a-f.
- b. Shall either have the lowest floor, including basement, elevated to or above the regional flood elevation; or, together with attendant utility and sanitary facilities, shall meet the standards in s. 7.5 (1) or (2).
- c. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in s. 5.1(4).

3) A nonconforming historic structure may be altered if the alteration will not preclude the structure's continued designation as a historic structure, the alteration will comply with s. 3.3 (1), flood resistant materials are used, and construction practices and floodproofing methods that comply with s. 7.5 are used. **Repair or rehabilitation of historic structures shall be exempt from the development standards of s. 6.1 (2)(h)1 if it is determined that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and is the minimum necessary to preserve the historic character and design of the structure.**

6.2 FLOODWAY DISTRICT

1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use in the Floodway District, unless such modification or addition:

- a) Has been granted a permit or variance which meets all ordinance requirements;
- b) Meets the requirements of s. 6.1;
- c) Shall not increase the obstruction to flood flows or regional flood height;
- d) Any addition to the existing structure shall be floodproofed, pursuant to s. 7.5, by means other than the use of fill, to the flood protection elevation; and,
- e) If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 - 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 - 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 - 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 - 4. The use must be limited to parking, building access or limited storage.
- 2) No new on-site sewage disposal system, or addition to an existing on-site sewage disposal system, except where an addition has been ordered by a government agency to correct a hazard to public health, shall be allowed in the Floodway District. Any replacement, repair or maintenance of an existing on-site sewage disposal system in a floodway area shall meet the applicable requirements of all municipal ordinances, s. 7.5(3) and Ch. SPS 383, Wis. Adm. Code.
- 3) No new well or modification to an existing well used to obtain potable water shall be allowed in the Floodway District. Any replacement, repair, or maintenance of an existing well in the Floodway District shall meet the applicable requirements of all municipal ordinances, s. 7.5(3) and chs. NR 811 and NR 812, Wis. Adm. Code.

6.3 FLOODFRINGE DISTRICT

- 1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use unless such modification or addition has been granted a permit or variance by the municipality and meets the requirements of s. 4.3 except where s. 6.3(2) is applicable.
- 2) Where compliance with the provisions of subd. (1) would result in unnecessary hardship and only where the structure will not be used for human habitation or be associated with a high flood damage potential, the Board of Adjustment/Appeals, using the procedures established in s. 7.3, may grant a variance from those provisions of subd. (1) for modifications or additions using the criteria listed below. Modifications or additions which are protected to elevations lower than the flood protection elevation may be permitted if:
 - a) No floor is allowed below the regional flood elevation for residential or commercial structures;
 - b) Human lives are not endangered;
 - c) Public facilities, such as water or sewer, shall not be installed;

- d) Flood depths shall not exceed two feet;
 - e) Flood velocities shall not exceed two feet per second; and
 - f) The structure shall not be used for storage of materials as described in s. 4.3(5).
- 3) All new private sewage disposal systems, or addition to, replacement, repair or maintenance of a private sewage disposal system shall meet all the applicable provisions of all local ordinances, s. 7.5 (3) and ch. SPS 383, Wis. Adm. Code.
- 4) All new wells, or addition to, replacement, repair, or maintenance of a well shall meet the applicable provisions of this ordinance, s. 7.5 (3) and ch. NR 811 and NR 812, Wis. Adm. Code.

6.4 FLOOD STORAGE DISTRICTS

No modifications or additions shall be allowed to any nonconforming structure in a flood storage area unless the standards outlined in 5.2(3) are met.

7.0 ADMINISTRATION

Where a zoning administrator, planning agency or a board of appeals has already been appointed to administer a zoning ordinance adopted under ss. 59.69, 59.692 or 62.23(7), Stats., these officials shall also administer this ordinance.

7.1 ZONING ADMINISTRATOR

1) DUTIES AND POWERS

The zoning administrator is authorized to administer this ordinance and shall have the following duties and powers:

- a) Advise applicants of the ordinance provisions, assist in preparing permit applications and appeals, and assure that the regional flood elevation for the proposed development is shown on all permit applications.
- b) Issue permits and inspect properties for compliance with provisions of this ordinance and issue certificates of compliance where appropriate
- c) Inspect and assess all damaged floodplain structures to determine if substantial damage to the structures has occurred.
- d) Keep records of all official actions such as:
 - 1. All permits issued, inspections made, and work approved;
 - 2. Documentation of certified lowest floor and regional flood elevations;
 - 3. Floodproofing certificates.
 - 4. Water surface profiles, floodplain zoning maps and ordinances, nonconforming uses and structures including changes, appeals, variances and amendments.
 - 5. All substantial damage assessment reports for floodplain structures.
 - 6. List of nonconforming structures and uses.
- e) Submit copies of the following items to the Department Regional office:
 - 1. Within 10 days of the decision, a copy of any decisions on variances, appeals for map or text interpretations, and map or text amendments;
 - 2. Copies of case-by-case analyses and other required information.

- 3. Copies of substantial damage assessments performed and all related correspondence concerning the assessments.
- f) Investigate, prepare reports, and report violations of this ordinance to the municipal zoning agency and attorney for prosecution. Copies of the reports shall also be sent to the Department Regional office.
- g) Submit copies of amendments to the FEMA Regional office.

2) LAND USE PERMIT

A land use permit shall be obtained before any development; repair, modification, or addition to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated. Application to the zoning administrator shall include:

a) **GENERAL INFORMATION**

- 1. Name and address of the applicant, property owner and contractor;
- 2. Legal description, proposed use, and whether it is new construction or a modification;

b) **SITE DEVELOPMENT PLAN**

A site plan drawn to scale shall be submitted with the permit application form and shall contain:

- 1. Location, dimensions, area and elevation of the lot;
- 2. Location of the ordinary highwater mark of any abutting navigable waterways;
- 3. Location of any structures with distances measured from the lot lines and street center lines;
- 4. Location of any existing or proposed on-site sewage systems or private water supply systems;
- 5. Location and elevation of existing or future access roads;
- 6. Location of floodplain and floodway limits as determined from the official floodplain zoning maps;
- 7. The elevation of the lowest floor of proposed buildings and any fill using the vertical datum from the adopted study – either National Geodetic Vertical Datum (NGVD) or North American Vertical Datum (NAVD);
- 8. Data sufficient to determine the regional flood elevation in NGVD or NAVD at the location of the development and to determine whether or not the requirements of s. 3.0 or 4.0 are met; and
- 9. Data to determine if the proposed development will cause an obstruction to flow or an increase in regional flood height or discharge according to s. 2.1. This may include any of the information noted in s. 3.3(1).

c) **HYDRAULIC AND HYDROLOGIC STUDIES TO ANALYZE DEVELOPMENT**

All hydraulic and hydrologic studies shall be completed under the direct supervision of a professional engineer registered in the State. The study contractor shall be responsible for

the technical adequacy of the study. All studies shall be reviewed and approved by the Department.

1. Zone A floodplains and in AE zones within which a floodway is not delineated:

- a. Hydrology
 - i. The appropriate method shall be based on the standards in ch. NR 116.07(3), Wis. Admin. Code, *Hydrologic Analysis: Determination of Regional Flood Discharge*.

- b. Hydraulic modeling
 - The regional flood elevation shall be based on the standards in ch. NR 116.07(4), Wis. Admin. Code, *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:
 - i. determination of the required limits of the hydraulic model shall be based on detailed study information for downstream structures (dam, bridge, culvert) to determine adequate starting WSEL for the study.
 - ii. channel sections must be surveyed.
 - iii. minimum four-foot contour data in the overbanks shall be used for the development of cross section overbank and floodplain mapping.
 - iv. a maximum distance of 500 feet between cross sections is allowed in developed areas with additional intermediate cross sections required at transitions in channel bottom slope including a survey of the channel at each location.
 - v. the most current version of HEC-RAS shall be used.
 - vi. a survey of bridge and culvert openings and the top of road is required at each structure.
 - vii. additional cross sections are required at the downstream and upstream limits of the proposed development and any necessary intermediate locations based on the length of the reach if greater than 500 feet.
 - viii. standard accepted engineering practices shall be used when assigning parameters for the base model such as flow, Manning's N values, expansion and contraction coefficients or effective flow limits. The base model shall be calibrated to past flooding data such as high-water marks to determine the reasonableness of the model results. If no historical data is available, adequate justification shall be provided for any parameters outside standard accepted engineering practices.
 - ix. the model must extend past the upstream limit of the difference in the existing and proposed flood profiles in order to provide a tie-in to existing studies. The height difference between the proposed flood profile and the existing study profiles shall be no more than 0.00 feet.

- c. Mapping
 - A work map of the reach studied shall be provided, showing all cross-section locations, floodway/floodplain limits based on best available topographic data, geographic limits of the proposed development and whether the proposed development is located in the floodway.

- i. If the proposed development is located outside of the floodway, then it is determined to have no impact on the regional flood elevation.
- ii. If any part of the proposed development is in the floodway, it must be added to the base model to show the difference between existing and proposed conditions. The study must ensure that all coefficients remain the same as in the existing model, unless adequate justification based on standard accepted engineering practices is provided.

2. Zone AE Floodplains

a. Hydrology

If the proposed hydrology will change the existing study, the appropriate method to be used shall be based on ch. NR 116.07(3), Wis. Admin. Code, *Hydrologic Analysis: Determination of Regional Flood Discharge*.

b. Hydraulic model

The regional flood elevation shall be based on the standards in ch. NR 116.07(4), Wis. Admin. Code, *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:

- i. **Duplicate Effective Model**
The effective model shall be reproduced to ensure correct transference of the model data and to allow integration of the revised data to provide a continuous FIS model upstream and downstream of the revised reach. If data from the effective model is available, models shall be generated that duplicate the FIS profiles and the elevations shown in the Floodway Data Table in the FIS report to within 0.1 foot.
- ii. **Corrected Effective Model.**
The Corrected Effective Model shall not include any man-made physical changes since the effective model date but shall import the model into the most current version of HEC-RAS for Department review.
- iii. **Existing (Pre-Project Conditions) Model.**
The Existing Model shall be required to support conclusions about the actual impacts of the project associated with the Revised (Post-Project) Model or to establish more up-to-date models on which to base the Revised (Post-Project) Model.
- iv. **Revised (Post-Project Conditions) Model.**
The Revised (Post-Project Conditions) Model shall incorporate the Existing Model and any proposed changes to the topography caused by the proposed development. This model shall reflect proposed conditions.
- v. **All changes to the Duplicate Effective Model and subsequent models must be supported by certified topographic information, bridge plans, construction plans and survey notes.**
- vi. **Changes to the hydraulic models shall be limited to the stream reach for which the revision is being requested. Cross sections upstream and downstream of the revised reach shall be identical to those in the effective model and result in water surface elevations and top widths computed by the revised models matching those in the effective models upstream and downstream of the revised reach as required. The Effective Model shall not be truncated.**

c. Mapping

Maps and associated engineering data shall be submitted to the Department for review which meet the following conditions:

- i. Consistency between the revised hydraulic models, the revised floodplain and floodway delineations, the revised flood profiles, topographic work map, annotated FIRMs and/or Flood Boundary Floodway Maps (FBFMs), construction plans, bridge plans.
- ii. Certified topographic map of suitable scale, contour interval, and a planimetric map showing the applicable items. If a digital version of the map is available, it may be submitted in order that the FIRM may be more easily revised.
- iii. Annotated FIRM panel showing the revised 1% and 0.2% annual chance floodplains and floodway boundaries.
- iv. If an annotated FIRM and/or FBFM and digital mapping data (GIS or CADD) are used, then all supporting documentation or metadata must be included with the data submission along with the Universal Transverse Mercator (UTM) projection and State Plane Coordinate System in accordance with FEMA mapping specifications.
- v. The revised floodplain boundaries shall tie into the effective floodplain boundaries.
- vi. All cross sections from the effective model shall be labeled in accordance with the effective map and a cross section lookup table shall be included to relate to the model input numbering scheme.
- vii. Both the current and proposed floodways shall be shown on the map.
- viii. The stream centerline, or profile baseline used to measure stream distances in the model shall be visible on the map.

d) EXPIRATION

All permits issued under the authority of this ordinance shall expire no more than 180 days after issuance. The permit may be extended for a maximum of 180 days for good and sufficient cause. If the permitted work has not started within 180 days of the permit date, the development must comply with any regulation, including any revision to the FIRM or FIS, that took effect after the permit date.

3) CERTIFICATE OF COMPLIANCE

No land shall be occupied or used, and no building which is hereafter constructed, altered, added to, modified, repaired, rebuilt, or replaced shall be occupied until a certificate of compliance is issued by the zoning administrator, except where no permit is required, subject to the following provisions:

- a) The certificate of compliance shall show that the building or premises or part thereof, and the proposed use, conform to the provisions of this ordinance;
- b) Application for such certificate shall be concurrent with the application for a permit;
- c) If all ordinance provisions are met, the certificate of compliance shall be issued within 10 days after written notification that the permitted work is completed;

- d) The applicant shall submit a certification signed by a registered professional engineer, architect, or land surveyor that the fill, lowest floor and floodproofing elevations are in compliance with the permit issued. Floodproofing measures also require certification by a registered professional engineer or architect that the requirements of s. 7.5 are met.
- e) Where applicable pursuant to s. 5.1(4), the applicant must submit a certification by a registered professional engineer or surveyor of the elevation of the bottom of the lowest horizontal structural member supporting the lowest floor (excluding pilings or columns), and an indication of whether the structure contains a basement.
- f) Where applicable pursuant to s. 5.1(4), the applicant must submit certifications by a registered professional engineer or architect that the structural design and methods of construction meet accepted standards of practice as required by s. 5.1(4).

4) **OTHER PERMITS**

Prior to obtaining a floodplain development permit the applicant must secure all necessary permits from federal, state, and local agencies, including but not limited to those required by the U.S. Army Corps of Engineers under s. 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 U.S.C. 1344.

7.2 ZONING AGENCY

- 1) The Village of Kronenwetter Planning Commission shall:
 - a) oversee the functions of the office of the zoning administrator; and
 - b) review and advise the governing body on all proposed amendments to this ordinance, maps, and text.
 - c) publish adequate notice pursuant to Ch. 985, Stats., specifying the date, time, place, and subject of the public hearing.
- 2) The Village of Kronenwetter Planning Commission shall not:
 - a) grant variances to the terms of the ordinance in place of action by the Board of Adjustment/Appeals; or
 - b) amend the text or zoning maps in place of official action by the governing body.

7.3 BOARD OF APPEALS

The Board of Appeals, created under s. 62.23(7)(e), Stats., is hereby authorized or shall be appointed to act for the purposes of this ordinance. The Board shall exercise the powers conferred by Wisconsin Statutes and adopt rules for the conduct of business. The zoning administrator shall not be the secretary of the Board.

1) **POWERS AND DUTIES**

The Board of Appeals shall:

- a) Appeals - Hear and decide appeals where it is alleged there is an error in any order, requirement, decision or determination made by an administrative official in the enforcement or administration of this ordinance;
- b) Boundary Disputes - Hear and decide disputes concerning the district boundaries shown on the official floodplain zoning map; and
- c) Variances - Hear and decide, upon appeal, variances from the ordinance standards.

2) APPEALS TO THE BOARD

a) Appeals to the board may be taken by any person aggrieved, or by any officer or department of the municipality affected by any decision of the zoning administrator or other administrative officer. Such appeal shall be taken within 30 days unless otherwise provided by the rules of the board, by filing with the official whose decision is in question, and with the board, a notice of appeal specifying the reasons for the appeal. The official whose decision is in question shall transmit to the board all records regarding the matter appealed.

b) NOTICE AND HEARING FOR APPEALS INCLUDING VARIANCES

1. Notice - The board shall:

- a. Fix a reasonable time for the hearing;
- b. Publish adequate notice pursuant to Wisconsin Statutes, specifying the date, time, place, and subject of the hearing; and
- c. Assure that notice shall be mailed to the parties in interest and the Department Regional office at least 10 days in advance of the hearing.

2. Hearing - Any party may appear in person or by agent. The board shall:

- a. Resolve boundary disputes according to s. 7.3(3);
- b. Decide variance applications according to s. 7.3(4); and
- c. Decide appeals of permit denials according to s. 7.4.

c) DECISION: The final decision regarding the appeal or variance application shall:

- 1. Be made within a reasonable time;
- 2. Be sent to the Department Regional office within 10 days of the decision;
- 3. Be a written determination signed by the chairman or secretary of the Board;
- 4. State the specific facts which are the basis for the Board's decision;
- 5. Either affirm, reverse, vary or modify the order, requirement, decision, or determination appealed, in whole or in part, dismiss the appeal for lack of jurisdiction or grant or deny the variance application; and
- 6. Include the reasons for granting an appeal, describing the hardship demonstrated by the applicant in the case of a variance, clearly stated in the recorded minutes of the Board proceedings.

3) BOUNDARY DISPUTES

The following procedure shall be used by the Board in hearing disputes concerning floodplain district boundaries:

- a) If a floodplain district boundary is established by approximate or detailed floodplain studies, the flood elevations or profiles shall prevail in locating the boundary.
- b) The person contesting the boundary location shall be given a reasonable opportunity to present arguments and technical evidence to the Board; and
- c) If the boundary is incorrectly mapped, the Board should inform the zoning committee or the person contesting the boundary location to petition the governing body for a map amendment according to s. 8.0 *Amendments*.

4) VARIANCE

- a) The Board may, upon appeal, grant a variance from the standards of this ordinance if an applicant convincingly demonstrates that:
 - 1. Literal enforcement of the ordinance will cause unnecessary hardship;
 - 2. The hardship is due to adoption of the floodplain ordinance and unique property conditions, not common to adjacent lots or premises. In such case the ordinance or map must be amended;
 - 3. The variance is not contrary to the public interest; and
 - 4. The variance is consistent with the purpose of this ordinance in s. 1.3.
- b) In addition to the criteria in subd. (a), to qualify for a variance under FEMA regulations, the Board must find that the following criteria have been met:
 - 1. The variance shall not cause any increase in the regional flood elevation;
 - 2. The applicant has shown good and sufficient cause for issuance of the variance;
 - 3. Failure to grant the variance would result in exceptional hardship;
 - 4. Granting the variance will not result in additional threats to public safety, extraordinary expense, create a nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances;
 - 5. The variance granted is the minimum necessary, considering the flood hazard, to afford relief.
- c) A variance shall not:
 - 1. Grant, extend or increase any use prohibited in the zoning district;
 - 2. Be granted for a hardship based solely on an economic gain or loss;
 - 3. Be granted for a hardship which is self-created.
 - 4. Damage the rights or property values of other persons in the area;
 - 5. Allow actions without the amendments to this ordinance or map(s) required in s. 8.0 *Amendments*; and
 - 6. Allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.
- d) When a floodplain variance is granted, the Board shall notify the applicant in writing that it may increase risks to life and property and flood insurance premiums could increase up to \$25.00 per \$100.00 of coverage. A copy shall be maintained with the variance record.

7.4 TO REVIEW APPEALS OF PERMIT DENIALS

- (1) The Zoning Agency (s. 7.2) or Board shall review all data related to the appeal. This may include:

- a. Permit application data listed in s. 7.1(2);
 - b. Floodway/floodfringe determination data in s. 5.1(5);
 - c. Data listed in s. 3.3(1)(b) where the applicant has not submitted this information to the zoning administrator; and
 - d. Other data submitted with the application or submitted to the Board with the appeal.
- (2) For appeals of all denied permits the Board shall:
- a. Follow the procedures of s. 7.3;
 - b. Consider zoning agency recommendations; and
 - c. Either uphold the denial or grant the appeal.
- (3) For appeals concerning increases in regional flood elevation the Board shall:
- a. Uphold the denial where the Board agrees with the data showing an increase in flood elevation. Increases may only be allowed after amending the flood profile and map and all appropriate legal arrangements are made with all adversely affected property owners as per the requirements of s. 8.0 *Amendments*; and
 - b. Grant the appeal where the Board agrees that the data properly demonstrates that the project does not cause an increase provided no other reasons for denial exist.

7.5 FLOODPROOFING STANDARDS

- (1) No permit or variance shall be issued for a non-residential structure designed to be watertight below the regional flood elevation until the applicant submits a plan certified by a registered professional engineer or architect that the floodproofing measures will protect the structure or development to or above the flood protection elevation and submits a FEMA Floodproofing Certificate. Floodproofing is not an alternative to the development standards in ss. 2.0, 3.0, 4.0, or 5.1.
- (2) For a structure designed to allow the entry of floodwaters, no permit or variance shall be issued until the applicant submits a plan either:
 - a. certified by a registered professional engineer or architect; or
 - b. meeting or exceeding the following standards:
 - 1. a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 2. the bottom of all openings shall be no higher than one foot above grade; and
 - 3. openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters.
- (3) Floodproofing measures shall be designed, as appropriate, to:
 - a. Withstand flood pressures, depths, velocities, uplift and impact forces and other regional flood factors;
 - b. Protect structures to the flood protection elevation;

- c. Anchor structures to foundations to resist flotation and lateral movement;
- d. Minimize or eliminate infiltration of flood waters;
- e. Minimize or eliminate discharges into flood waters;
- f. Placement of essential utilities to or above the flood protection elevation; and
- g. If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 - 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 - 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 - 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 - 4. The use must be limited to parking, building access or limited storage.

7.6 PUBLIC INFORMATION

- (1) Place marks on structures to show the depth of inundation during the regional flood.
- (2) All maps, engineering data and regulations shall be available and widely distributed.
- (3) Real estate transfers should show what floodplain district any real property is in.

8.0 AMENDMENTS

Obstructions or increases may only be permitted if amendments are made to this ordinance, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with s. 8.1.

- (1) In AE Zones with a mapped floodway, no obstructions or increases shall be permitted unless the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this ordinance, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with s. 8.1. Any such alterations must be reviewed and approved by FEMA and the DNR.
- (2) In A Zones increases equal to or greater than 1.0 foot may only be permitted if the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this ordinance, the official floodplain maps, floodway lines, and water surface profiles, in accordance with s. 8.1.

8.1 GENERAL

The governing body shall change or supplement the floodplain zoning district boundaries and this ordinance in the manner outlined in s. 8.2 below. **Actions which require an amendment to the ordinance and/or submittal of a Letter of Map Change (LOMC) include, but are not limited to, the following:**

- (1) Any fill or floodway encroachment that obstructs flow causing any increase in the regional flood height;
- (2) Any change to the floodplain boundaries and/or watercourse alterations on the FIRM;
- (3) Any changes to any other officially adopted floodplain maps listed in s. 1.5 (2)(b);
- (4) Any floodplain fill which raises the elevation of the filled area to a height at or above the flood protection elevation and is contiguous to land lying outside the floodplain;
- (5) Correction of discrepancies between the water surface profiles and floodplain maps;
- (6) Any upgrade to a floodplain zoning ordinance text required by s. NR 116.05, Wis. Adm. Code, or otherwise required by law, or for changes by the municipality; and
- (7) All channel relocations and changes to the maps to alter floodway lines or to remove an area from the floodway or the floodfringe that is based on a base flood elevation from a FIRM requires prior approval by FEMA.

8.2 PROCEDURES

Ordinance amendments may be made upon petition of any party according to the provisions of s. 62.23, Stats., for cities and villages. The petitions shall include all data required by s. 5.1(5) and 7.1(2). **The Land Use Permit shall not be issued until a Letter of Map Revision is issued by FEMA for the proposed changes.**

- (1) The proposed amendment shall be referred to the zoning agency for a public hearing and recommendation to the governing body. The amendment and notice of public hearing shall be submitted to the Department Regional office for review prior to the hearing. The amendment procedure shall comply with the provisions of s. 62.23, Stats., for cities and villages.
- (2) No amendments shall become effective until reviewed and approved by the Department.
- (3) All persons petitioning for a map amendment that obstructs flow causing any increase in the regional flood height, shall obtain flooding easements or other appropriate legal arrangements from all adversely affected property owners and notify local units of government before the amendment can be approved by the governing body.

9.0 ENFORCEMENT AND PENALTIES

Any violation of the provisions of this ordinance by any person shall be unlawful and shall be referred to the municipal attorney who shall expeditiously prosecute all such violators. A violator shall, upon conviction, forfeit to the municipality a penalty of not more than \$50.00 (fifty dollars), together with a taxable cost of such action. Each day of continued violation shall constitute a separate offense. Every violation of this ordinance is a public nuisance, and the creation may be enjoined, and the maintenance may be abated by action at suit of the municipality, the state, or any citizen thereof pursuant to s. 87.30, Stats

10.0 DEFINITIONS

Unless specifically defined, words and phrases in this ordinance shall have their common law meaning and shall be applied in accordance with their common usage. Words used in the present tense include the future, the singular number includes the plural and the plural number includes the singular. The word "may" is permissive, "shall" is mandatory and is not discretionary.

1. A ZONES – Those areas shown on the Official Floodplain Zoning Map which would be inundated by the regional flood. These areas may be numbered or unnumbered A Zones. The A Zones may or may not be reflective of flood profiles, depending on the availability of data for a given area.
2. AH ZONE – See “AREA OF SHALLOW FLOODING”.
3. AO ZONE – See “AREA OF SHALLOW FLOODING”.
4. ACCESSORY STRUCTURE OR USE – A facility, structure, building or use which is accessory or incidental to the principal use of a property, structure or building. An accessory structure shall not be used for human habitation.
5. ALTERATION – An enhancement, upgrade or substantial change or modification other than an addition or repair to a dwelling or to electrical, plumbing, heating, ventilating, air conditioning and other systems within a structure.
6. AREA OF SHALLOW FLOODING – A designated AO, AH, AR/AO, AR/AH, or VO zone on a community’s Flood Insurance Rate Map (FIRM) with a 1 percent or greater annual chance of flooding to an average depth of 1 to 3 feet where a clearly defined channel does not exist, where the path of flooding is unpredictable, and where velocity flood may be evident. Such flooding is characterized by ponding or sheet flow.
7. BASE FLOOD – Means the flood having a one percent chance of being equaled or exceeded in any given year, as published by FEMA as part of a FIS and depicted on a FIRM.
8. BASEMENT – Any enclosed area of a building having its floor sub-grade on all sides.
9. BREAKAWAY WALL – A wall that is not part of the structural support of the building and is intended through its design and construction to collapse under specific lateral loading forces, without causing damage to the elevated portion of the building or supporting foundation system.
10. BUILDING – See STRUCTURE.
11. BULKHEAD LINE – A geographic line along a reach of navigable water that has been adopted by a municipal ordinance and approved by the Department pursuant to s. 30.11, Stats., and which allows limited filling between this bulkhead line and the original ordinary highwater mark, except where such filling is prohibited by the floodway provisions of this ordinance.
12. CAMPGROUND – Any parcel of land which is designed, maintained, intended, or used for the purpose of providing sites for nonpermanent overnight use by 4 or more camping units, or which is advertised or represented as a camping area.
13. CAMPING UNIT – Any portable device, no more than 400 square feet in area, used as a temporary shelter, including but not limited to a camping trailer, motor home, bus, van, pick-up truck, or tent that is fully licensed, if required, and ready for highway use.
14. CERTIFICATE OF COMPLIANCE – A certification that the construction and the use of land or a building, the elevation of fill or the lowest floor of a structure is in compliance with all of the provisions of this ordinance.
15. CHANNEL – A natural or artificial watercourse with definite bed and banks to confine and conduct normal flow of water.
16. CRAWLWAYS or CRAWL SPACE – An enclosed area below the first usable floor of a building,

generally less than five feet in height, used for access to plumbing and electrical utilities.

17. DECK – An unenclosed exterior structure that has no roof or sides and has a permeable floor which allows the infiltration of precipitation.
18. DEPARTMENT – The Wisconsin Department of Natural Resources.
19. DEVELOPMENT – Any artificial change to improved or unimproved real estate, including, but not limited to, the construction of buildings, structures or accessory structures; the construction of additions or alterations to buildings, structures or accessory structures; the repair of any damaged structure or the improvement or renovation of any structure, regardless of percentage of damage or improvement; the placement of buildings or structures; subdivision layout and site preparation; mining, dredging, filling, grading, paving, excavation or drilling operations; the storage, deposition or extraction of materials or equipment; and the installation, repair or removal of public or private sewage disposal systems or water supply facilities.
20. DRYLAND ACCESS – A vehicular access route which is above the regional flood elevation, and which connects land located in the floodplain to land outside the floodplain, such as a road with its surface above regional flood elevation and wide enough for wheeled rescue and relief vehicles.
21. ENCROACHMENT – Any fill, structure, equipment, use or development in the floodway.
22. FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) – The federal agency that administers the National Flood Insurance Program.
23. FLOOD INSURANCE RATE MAP (FIRM) – A map of a community on which the Federal Insurance Administration has delineated both the floodplain and the risk premium zones applicable to the community. This map can only be amended by the Federal Emergency Management Agency.
24. FLOOD or FLOODING – A general and temporary condition of partial or complete inundation of normally dry land areas caused by one of the following conditions:
 - The overflow or rise of inland waters;
 - The rapid accumulation or runoff of surface waters from any source;
 - The inundation caused by waves or currents of water exceeding anticipated cyclical levels along the shore of Lake Michigan or Lake Superior; or
 - The sudden increase caused by an unusually high-water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as a seiche, or by some similarly unusual event.
25. FLOOD FREQUENCY – The probability of a flood occurrence which is determined from statistical analyses. The frequency of a particular flood event is usually expressed as occurring, on the average once in a specified number of years or as a percent (%) chance of occurring in any given year.
26. FLOODFRINGE – That portion of the floodplain outside of the floodway which is covered by flood waters during the regional flood and associated with standing water rather than flowing water.
27. FLOOD HAZARD BOUNDARY MAP – A map designating approximate flood hazard areas. Flood hazard areas are designated as unnumbered A-Zones and do not contain floodway lines or regional flood elevations. This map forms the basis for both the regulatory and insurance aspects of the National Flood Insurance Program (NFIP) until superseded by a Flood Insurance Study and a Flood Insurance Rate Map.
28. FLOOD INSURANCE STUDY – A technical engineering examination, evaluation, and

determination of the local flood hazard areas. It provides maps designating those areas affected by the regional flood and provides both flood insurance rate zones and base flood elevations and may provide floodway lines. The flood hazard areas are designated as numbered and unnumbered A-Zones. Flood Insurance Rate Maps, that accompany the Flood Insurance Study, form the basis for both the regulatory and the insurance aspects of the National Flood Insurance Program.

29. FLOODPLAIN – Land which has been or may be covered by flood water during the regional flood. It includes the floodway and the floodfringe and may include other designated floodplain areas for regulatory purposes.
30. FLOODPLAIN ISLAND – A natural geologic land formation within the floodplain that is surrounded, but not covered, by floodwater during the regional flood.
31. FLOODPLAIN MANAGEMENT – Policy and procedures to ensure wise use of floodplains, including mapping and engineering, mitigation, education, and administration and enforcement of floodplain regulations.
32. FLOOD PROFILE – A graph or a longitudinal profile line showing the relationship of the water surface elevation of a flood event to locations of land surface elevations along a stream or river.
33. FLOODPROOFING – Any combination of structural provisions, changes or adjustments to properties and structures, water and sanitary facilities and contents of buildings subject to flooding, for the purpose of reducing or eliminating flood damage.
34. FLOOD PROTECTION ELEVATION – An elevation of two feet of freeboard above the Regional Flood Elevation. (Also see: FREEBOARD.)
35. FLOOD STORAGE – Those floodplain areas where storage of floodwaters has been taken into account during analysis in reducing the regional flood discharge.
36. FLOODWAY – The channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional flood discharge.
37. FREEBOARD – A safety factor expressed in terms of a specified number of feet above a calculated flood level. Freeboard compensates for any factors that cause flood heights greater than those calculated, including ice jams, debris accumulation, wave action, obstruction of bridge openings and floodways, the effects of watershed urbanization, loss of flood storage areas due to development and aggregation of the river or stream bed.
38. HABITABLE STRUCTURE – Any structure or portion thereof used or designed for human habitation.
39. HEARING NOTICE – Publication or posting meeting the requirements of Ch. 985, Stats. For appeals, a Class 1 notice, published once at least one week (7 days) before the hearing, is required. For all zoning ordinances and amendments, a Class 2 notice, published twice, once each week consecutively, the last at least a week (7 days) before the hearing. Local ordinances or bylaws may require additional notice, exceeding these minimums.
40. HIGH FLOOD DAMAGE POTENTIAL – Damage that could result from flooding that includes any danger to life or health or any significant economic loss to a structure or building and its contents.
41. HIGHEST ADJACENT GRADE – The highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.
42. HISTORIC STRUCTURE – Any structure that is either:

- Listed individually in the National Register of Historic Places or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
 - Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
 - Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or
 - Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either by an approved state program, as determined by the Secretary of the Interior; or by the Secretary of the Interior in states without approved programs.
43. INCREASE IN REGIONAL FLOOD HEIGHT – A calculated upward rise in the regional flood elevation greater than 0.00 foot, based on a comparison of existing conditions and proposed conditions which is directly attributable to development in the floodplain but not attributable to manipulation of mathematical variables such as roughness factors, expansion and contraction coefficients and discharge.
44. LAND USE – Any nonstructural use made of unimproved or improved real estate. (Also see DEVELOPMENT.)
45. LOWEST ADJACENT GRADE – Elevation of the lowest ground surface that touches any of the exterior walls of a building.
46. LOWEST FLOOR – The lowest floor of the lowest enclosed area (including basement).
47. MAINTENANCE – The act or process of ordinary upkeep and repairs, including redecorating, refinishing, nonstructural repairs, or the replacement of existing fixtures, systems or equipment with equivalent fixtures, systems, or structures.
48. MANUFACTURED HOME – A structure transportable in one or more sections, which is built on a permanent chassis and is designed to be used with or without a permanent foundation when connected to required utilities. The term "manufactured home" includes a mobile home but does not include a "mobile recreational vehicle."
49. MOBILE/MANUFACTURED HOME PARK OR SUBDIVISION – A parcel (or contiguous parcels) of land, divided into two or more manufactured home lots for rent or sale.
50. MOBILE/MANUFACTURED HOME PARK OR SUBDIVISION, EXISTING – A parcel of land, divided into two or more manufactured home lots for rent or sale, on which the construction of facilities for servicing the lots is completed before the effective date of this ordinance. At a minimum, this would include the installation of utilities, the construction of streets and either final site grading or the pouring of concrete pads.
51. MOBILE/MANUFACTURED HOME PARK, EXPANSION TO EXISTING – The preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed. This includes installation of utilities, construction of streets and either final site grading, or the pouring of concrete pads.
52. MOBILE RECREATIONAL VEHICLE – A vehicle which is built on a single chassis, 400 square feet or less when measured at the largest horizontal projection, designed to be self-propelled, carried or permanently towable by a licensed, light-duty vehicle, is licensed for highway use if registration is required and is designed primarily not for use as a permanent dwelling, but as

temporary living quarters for recreational, camping, travel or seasonal use. Manufactured homes that are towed or carried onto a parcel of land, but do not remain capable of being towed or carried, including park model homes, do not fall within the definition of "mobile recreational vehicles."

53. MODEL, CORRECTED EFFECTIVE – A hydraulic engineering model that corrects any errors that occur in the Duplicate Effective Model, adds any additional cross sections to the Duplicate Effective Model, or incorporates more detailed topographic information than that used in the current effective model.
54. MODEL, DUPLICATE EFFECTIVE – A copy of the hydraulic analysis used in the effective FIS and referred to as the effective model.
55. MODEL, EFFECTIVE – The hydraulic engineering model that was used to produce the current effective Flood Insurance Study.
56. MODEL, EXISTING (PRE-PROJECT) – A modification of the Duplicate Effective Model or Corrected Effective Model to reflect any man-made modifications that have occurred within the floodplain since the date of the effective model but prior to the construction of the project for which the revision is being requested. If no modification has occurred since the date of the effective model, then this model would be identical to the Corrected Effective Model or Duplicate Effective Model.
57. MODEL, REVISED (POST-PROJECT) – A modification of the Existing or Pre-Project Conditions Model, Duplicate Effective Model or Corrected Effective Model to reflect revised or post-project conditions.
58. MUNICIPALITY or MUNICIPAL – The county, city or village governmental units enacting, administering, and enforcing this zoning ordinance.
59. NAVD or NORTH AMERICAN VERTICAL DATUM – Elevations referenced to mean sea level datum, 1988 adjustment.
60. NGVD or NATIONAL GEODETIC VERTICAL DATUM – Elevations referenced to mean sea level datum, 1929 adjustment.
61. NEW CONSTRUCTION – Structures for which the start of construction commenced on or after the effective date of a floodplain zoning regulation adopted by this community and includes any subsequent improvements to such structures.
62. NON-FLOOD DISASTER – A fire or an ice storm, tornado, windstorm, mudslide, or other destructive act of nature, but excludes a flood.
63. NONCONFORMING STRUCTURE – An existing lawful structure or building which is not in conformity with the dimensional or structural requirements of this ordinance for the area of the floodplain which it occupies. (For example, an existing residential structure in the floodfringe district is a conforming use. However, if the lowest floor is lower than the flood protection elevation, the structure is nonconforming.)
64. NONCONFORMING USE – An existing lawful use or accessory use of a structure or building which is not in conformity with the provisions of this ordinance for the area of the floodplain which it occupies. (Such as a residence in the floodway.)
65. OBSTRUCTION TO FLOW – Any development which blocks the conveyance of floodwaters such that this development alone or together with any future development will cause an increase in

regional flood height.

66. OFFICIAL FLOODPLAIN ZONING MAP – That map, adopted and made part of this ordinance, as described in s. 1.5(2), which has been approved by the Department and FEMA.
67. OPEN SPACE USE – Those uses having a relatively low flood damage potential and not involving structures.
68. ORDINARY HIGHWATER MARK – The point on the bank or shore up to which the presence and action of surface water is so continuous as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation, or other easily recognized characteristic.
69. PERSON – An individual, or group of individuals, corporation, partnership, association, municipality, or state agency.
70. PRIVATE SEWAGE SYSTEM – A sewage treatment and disposal system serving one structure with a septic tank and soil absorption field located on the same parcel as the structure. It also means an alternative sewage system approved by the Department of Safety and Professional Services, including a substitute for the septic tank or soil absorption field, a holding tank, a system serving more than one structure, or a system located on a different parcel than the structure.
71. PUBLIC UTILITIES – Those utilities using underground or overhead transmission lines such as electric, telephone and telegraph, and distribution and collection systems such as water, sanitary sewer, and storm sewer.
72. REASONABLY SAFE FROM FLOODING – Means base flood waters will not inundate the land or damage structures to be removed from the floodplain and that any subsurface waters related to the base flood will not damage existing or proposed buildings.
73. REGIONAL FLOOD – A flood determined to be representative of large floods known to have occurred in Wisconsin. A regional flood is a flood with a one percent chance of being equaled or exceeded in any given year, and if depicted on the FIRM, the RFE is equivalent to the BFE.
74. START OF CONSTRUCTION – The date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond initial excavation, or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading, and filling, nor does it include the installation of streets and/or walkways, nor does it include excavation for a basement, footings, piers or foundations or the erection of temporary forms, nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For an alteration, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of the building.
75. STRUCTURE – Any manmade object with form, shape and utility, either permanently or temporarily attached to, placed upon or set into the ground, stream bed or lakebed, including, but not limited to, roofed and walled buildings, gas or liquid storage tanks, bridges, dams and culverts.

76. **SUBDIVISION** – Has the meaning given in s. 236.02(12), Wis. Stats.
77. **SUBSTANTIAL DAMAGE** – Damage of any origin sustained by a structure, whereby the cost of restoring the structure to its pre-damaged condition would equal or exceed 50 percent of the equalized assessed value of the structure before the damage occurred.
78. **SUBSTANTIAL IMPROVEMENT** – Any repair, reconstruction, rehabilitation, addition or improvement of a building or structure, the cost of which equals or exceeds 50 percent of the equalized assessed value of the structure before the improvement or repair is started. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the work performed. The term does not include either any project for the improvement of a building required to correct existing health, sanitary or safety code violations identified by the building official and that are the minimum necessary to assure safe living conditions; or any alteration of a historic structure provided that the alteration will not preclude the structure's continued designation as a historic structure.
79. **UNNECESSARY HARDSHIP** – Where special conditions affecting a particular property, which were not self-created, have made strict conformity with restrictions governing areas, setbacks, frontage, height, or density unnecessarily burdensome or unreasonable in light of the purposes of the ordinance.
80. **VARIANCE** – An authorization by the board of adjustment or appeals for the construction or maintenance of a building or structure in a manner which is inconsistent with dimensional standards (not uses) contained in the floodplain zoning ordinance.
81. **VIOLATION** – The failure of a structure or other development to be fully compliant with the floodplain zoning ordinance. A structure or other development without required permits, lowest floor elevation documentation, floodproofing certificates or required floodway encroachment calculations is presumed to be in violation until such time as that documentation is provided.
82. **WATERSHED** – The entire region contributing runoff or surface water to a watercourse or body of water.
83. **WATER SURFACE PROFILE** – A graphical representation showing the elevation of the water surface of a watercourse for each position along a reach of river or stream at a certain flood flow. A water surface profile of the regional flood is used in regulating floodplain areas.
84. **WELL** – means an excavation opening in the ground made by digging, boring, drilling, driving or other methods, to obtain groundwater regardless of its intended use.

VILLAGE OF KRONENWETTER

Marathon County, Wisconsin

An Ordinance Amending the Code of the Village of Kronenwetter

ORDINANCE NO: 24-06

Article VII. Floodplain Overlay Zoning Districts

Chapter 520 Zoning

Repeal and recreate Chapter(s) 520-40 through 520-49 and Replace with Chapter 520 Sections 1.0 through 10.0.

WHEREAS, the Village of Kronenwetter Planning Commission has recommended that the Village Board amend Chapter 520 Zoning, Repeal and recreate Chapter(s) 520-40 through 520-49 and Replace with Chapter 520 Sections 1.0 through 10.0.

NOW, THEREFORE, BE IT ORDAINED by the Village of Kronenwetter Village Board, as follows:

Proposed Amendments to Chapter 520-40 through 520-49

Article VII. Floodplain Overlay Zoning Districts

Chapter 520 Zoning

Repeal and recreate Chapter(s) 520-40 through 520-49 and Replace with Chapter 520 Sections 1.0 through 10.0.

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1.0 STATUTORY AUTHORIZATION, FINDING OF FACT, STATEMENT OF PURPOSE, TITLE, AND GENERAL PROVISIONS

1.1 STATUTORY AUTHORIZATION

This ordinance is adopted pursuant to the authorization in s. 61.35 and 62.23, for villages and cities; and the requirements in s. 87.30, Stats.

1.2 FINDING OF FACT

Uncontrolled development and use of the floodplains and rivers of this municipality would impair the public health, safety, convenience, general welfare, and tax base.

1.3 STATEMENT OF PURPOSE

This ordinance is intended to regulate floodplain development to:

- (1) Protect life, health and property;
- (2) Minimize expenditures of public funds for flood control projects;
- (3) Minimize rescue and relief efforts undertaken at the expense of the taxpayers;
- (4) Minimize business interruptions and other economic disruptions;
- (5) Minimize damage to public facilities in the floodplain;
- (6) Minimize the occurrence of future flood blight areas in the floodplain;
- (7) Discourage the victimization of unwary land and homebuyers;
- (8) Prevent increases in flood heights that could increase flood damage and result in conflicts between property owners; and
- (9) Discourage development in a floodplain if there is any practicable alternative to locate the activity, use or structure outside of the floodplain.

1.4 TITLE

This ordinance shall be known as the Floodplain Zoning Ordinance for the Village of Kronenwetter, Wisconsin.

1.5 GENERAL PROVISIONS

(1) **AREAS TO BE REGULATED**

This ordinance regulates all areas of special flood hazard identified as zones A, AO, AH, A1-30, AE, on the Flood Insurance Rate Map. Additional areas identified on maps approved by the Department of Natural Resources (DNR) and local community may also be regulated under the provisions of this ordinance, where applicable.

(2) **OFFICIAL MAPS & REVISIONS**

Special Flood Hazard Areas (SFHA) are designated as zones A, A1-30, AE, AH, AO, on the Flood Insurance Rate Maps (FIRMs) based on flood hazard analyses summarized in the Flood Insurance Study (FIS) listed in subd. (a) below. Additional flood hazard areas subject to regulation under this ordinance are identified on maps based on studies approved by the DNR and listed in subd. (b) below. These maps and revisions are on file in the office of the Community Development Director located at the village municipal center.

(a) **OFFICIAL MAPS**: Based on the Flood Insurance Study (FIS):

- 1. Flood Insurance Rate Map (FIRM), panel numbers: 55073C0629F, 55073C0631F, 55073C0632F, 55073C0633F, 55073C0634F, 55073C0641F, 55073C0642F, 55073C0645F, 55073C0651F, 55073C0652F, 55073C0653F, 55073C0654F, 55073C0660F, 55073C0662F, 55073C0663F, 55073C0664F, 55073C0670F, and 55073C0700F, dated July 22, 2010.
- 2. Flood Insurance Study (FIS) for Marathon County, Wisconsin, and Incorporated Areas, Volume 55073CV000B, dated September 28, 2018.

3. Letter of Map Revision (LOMR) Case #21-05-4158P, issued August 31, 2022, effective January 13, 2023.
4. Conditional Letter of map Change, case number 18-05-5205R, dated 02/28/2019.

Approved by: The DNR and FEMA

(b) OFFICIAL MAPS: Based on other studies. Any maps referenced in this section must be approved by the DNR and be more restrictive than those based on the FIS at the site of the proposed development.

1. Flood Storage Maps: Areas labeled “Flood Storage District Reservoir 0”, “Flood Storage District Reservoir 1”, “Flood Storage District Reservoir 2”, “Flood Storage District Reservoir 3”, “Flood Storage District Reservoir 4”, “Flood Storage District Reservoir 5”, and “Flood Storage District Reservoir 6” on the maps accompanying LOMR #21-05-4158P shall be regulated as Flood Storage District (FSD) as established by this ordinance.

(3) ESTABLISHMENT OF FLOODPLAIN ZONING DISTRICTS

The flood hazard areas regulated by this ordinance are divided into districts as follows:

- a) The Floodway District (FW), is the channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional floodwaters, within AE Zones as shown on the FIRM, or within A Zones shown on the FIRM when determined according to s. 5.1(5).
- b) The Floodfringe District (FF) is that portion of a riverine special flood hazard area outside the floodway within AE Zones on the FIRM, or, when floodway limits have been determined according to s. 5.1(5), within A Zones shown on the FIRM.
- c) The General Floodplain District (GFP) is those riverine areas that may be covered by floodwater during the regional flood in which a floodway boundary has not been delineated on the FIRM and also includes shallow flooding areas identified as AH and AO zones on the FIRM.
- d) The Flood Storage District (FSD) is that area of the floodplain where storage of floodwaters is calculated to reduce the regional flood discharge.

(4) LOCATING FLOODPLAIN BOUNDARIES

Discrepancies between the exterior boundaries of zones A1-30, AE, AH, or A on the official floodplain zoning map and actual field conditions may be resolved using the criteria in subd (a) or (b) below. If a significant difference exists, the map shall be amended according to s. 8.0 *Amendments*. The zoning administrator can rely on a boundary derived from a profile elevation to grant or deny a land use permit, whether or not a map amendment is required. The zoning administrator shall be responsible for documenting actual pre-development field conditions and the basis upon which the district boundary was determined. Disputes between the zoning administrator and an applicant over the district boundary line shall be settled according to s. 7.3(3) and the criteria in (a) and (b) below. Where the flood profiles are based on established base flood elevations from a FIRM, FEMA must approve any map amendment or revision pursuant to s. 8.0 *Amendments*.

- a) If flood profiles exist, the map scale and the profile elevations shall determine the district boundary. The regional or base flood elevations shall govern if there are any discrepancies.
- b) Where flood profiles do not exist for projects, including any boundary of zone A, AO, the

location of the boundary shall be determined by the map scale.

(5) REMOVAL OF LANDS FROM FLOODPLAIN

- a) Compliance with the provisions of this ordinance shall not be grounds for removing land from the floodplain unless it is filled at least two feet above the regional or base flood elevation, the fill is contiguous to land outside the floodplain, and the map is amended pursuant to s. 8.0 *Amendments*.
- b) The delineation of any of the Floodplain Districts may be revised by the community where natural or man-made changes have occurred and/or where more detailed studies have been conducted. However, prior to any such change, approval must be obtained from the Wisconsin Department of Natural Resources and Federal Emergency Management Agency. A completed Letter of Map Revision is a record of this approval. The floodplain administrator shall not sign a community acknowledgement form unless all criteria set forth in the following paragraphs are met:
 - 1. The land and/or land around the structure must be filled at least two feet above the regional or base flood elevation;
 - 2. The fill must be contiguous to land outside the floodplain; Applicant shall obtain floodplain development permit before applying for a LOMR or LOMR-F;
- c) Removal of lands from the floodplain may also occur by operation of §87.30(1)(e), Wis. Stat. if a property owner has obtained a letter of map amendment from the federal emergency management agency under 44 C.F.R. 70.

(6) COMPLIANCE

- a) No structure or use within areas regulated by this ordinance shall hereafter be located, erected, constructed, reconstructed, repaired, extended, converted, enlarged, or altered without full compliance with the terms of these regulations and all other applicable regulations that apply to uses within the jurisdiction of these regulations.
- b) Failure to obtain a floodplain development permit shall be a violation of these regulations and shall be punishable in accordance with s. 9.0.
- c) Floodplain development permits issued on the basis of plans and applications approved by the Floodplain Administrator authorize only the use, and arrangement, set forth in such approved plans and applications, or amendments thereto if approved by the Floodplain Administrator. Use, arrangement, or construction contrary to that authorized shall be deemed a violation of these regulations and punishable in accordance with s. 9.0.

(7) MUNICIPALITIES AND STATE AGENCIES REGULATED

Unless specifically exempted by law, all cities, villages, towns, and counties are required to comply with this ordinance and obtain all necessary permits. State agencies are required to comply if s. 13.48(13), Stats., applies. The construction, reconstruction, maintenance and repair of state highways and bridges by the Wisconsin Department of Transportation is exempt when s. 30.2022, Stats., applies. Although exempt from a local zoning permit and permit fees, DOT must provide sufficient project documentation and analysis to ensure that the community is in compliance with Federal, State, and local floodplain standards. If a local transportation project is located within a Zone A floodplain and is not a WisDOT project under s. 30.2022, then the road project design documents (including appropriate detailed plans and profiles) may be sufficient to meet the requirements for issuance of a local floodplain permit if the following apply: The applicant provides documentation to the Floodplain Administrator that the proposed

project is a culvert replacement or bridge replacement under 20' span at the same location, the project is exempt from a DNR permit under s. 30.123(6)(d), the capacity is not decreased, the top road grade is not raised, and no floodway data is available from a federal, state, or other source. If floodway data is available in the impacted area from a federal, state, or other source that existing data must be utilized by the applicant in the analysis of the project site.

(8) ABROGATION AND GREATER RESTRICTIONS

- a) This ordinance supersedes all the provisions of any municipal zoning ordinance enacted under s. 61.35 for villages; or s. 87.30, Stats which relate to floodplains. A more restrictive ordinance shall continue in full force and effect to the extent of the greater restrictions, but not otherwise.
- b) This ordinance is not intended to repeal, abrogate, or impair any existing deed restrictions, covenants, or easements. If this ordinance imposes greater restrictions, the provisions of this ordinance shall prevail.

(9) INTERPRETATION

In their interpretation and application, the provisions of this ordinance are the minimum requirements liberally construed in favor of the governing body and are not a limitation on or repeal of any other powers granted by the Wisconsin Statutes. If a provision of this ordinance, required by ch. NR 116, Wis. Adm. Code, is unclear, the provision shall be interpreted in light of the standards in effect on the date of the adoption of this ordinance or in effect on the date of the most recent text amendment to this ordinance.

(10) WARNING AND DISCLAIMER OF LIABILITY

The flood protection standards in this ordinance are based on engineering experience and research. Larger floods may occur, or the flood height may be increased by man-made or natural causes. This ordinance does not imply or guarantee that non-floodplain areas or permitted floodplain uses will be free from flooding and flood damages. This ordinance does not create liability on the part of, or a cause of action against, the municipality or any officer or employee thereof for any flood damage that may result from reliance on this ordinance.

(11) SEVERABILITY

Should any portion of this ordinance be declared unconstitutional or invalid by a court of competent jurisdiction, the remainder of this ordinance shall not be affected.

(12) ANNEXED AREAS FOR CITIES AND VILLAGES

The Marathon County floodplain zoning provisions in effect on the date of annexation shall remain in effect and shall be enforced by the municipality for all annexed areas until the municipality adopts and enforces an ordinance which meets the requirements of ch. NR 116, Wis. Adm. Code and 44 CFR 59-72, *National Flood Insurance Program (NFIP)*. These annexed lands are described on the municipality's official zoning map. County floodplain zoning provisions are incorporated by reference for the purpose of administering this section and are on file in the office of the municipal zoning administrator. All plats or maps of annexation shall show the regional flood elevation and the floodway location.

2.0 GENERAL STANDARDS APPLICABLE TO ALL FLOODPLAIN DISTRICTS

The community shall review all permit applications to determine whether proposed building sites will be reasonably safe from flooding and assure that all necessary permits have been received from those governmental agencies whose approval is required by federal or state law.

- 1) If a proposed building site is in a flood-prone area, all new construction and substantial improvements shall:

- a. be designed and anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy;
 - b. be constructed with flood-resistant materials;
 - c. be constructed by methods and practices that minimize flood damages; and
 - d. Mechanical and utility equipment must be elevated to or above the flood protection elevation.
- 2) If a subdivision or other proposed new development is in a flood-prone area, the community shall assure that:
- a. such proposed subdivision or other proposed new development is consistent with the need to minimize flood damage within the flood-prone area;
 - b. public utilities and facilities such as sewer, gas, electrical, and water systems are located and constructed to minimize or eliminate flood damage; and
 - c. adequate drainage is provided to reduce exposure to flood hazards.

All subdivision proposals (including manufactured home parks) shall include regional flood elevation and floodway data for any development that meets the subdivision definition of this ordinance and all other requirements in s. 7.1(2).

2.1 HYDRAULIC AND HYDROLOGIC ANALYSES

- 1) No floodplain development shall:
- a. Obstruct flow, defined as development which blocks the conveyance of floodwaters by itself or with other development, causing any increase in the regional flood height; or
 - b. Cause any increase in the regional flood height due to floodplain storage area lost.
- 2) The zoning administrator shall deny permits if it is determined the proposed development will obstruct flow or cause any increase in the regional flood height, based on the officially adopted FIRM or other adopted map, unless the provisions of s. 8.0 *Amendments* are met.

2.2 WATERCOURSE ALTERATIONS

No land use permit to alter or relocate a watercourse in a mapped floodplain shall be issued until the local official has notified in writing all adjacent municipalities, the Department and FEMA regional offices, and required the applicant to secure all necessary state and federal permits. The standards of s. 2.1 must be met and the flood carrying capacity of any altered or relocated watercourse shall be maintained.

As soon as is practicable, but not later than six months after the date of the watercourse alteration or relocation and pursuant to s. 8.0 *Amendments*, the community shall apply for a Letter of Map Revision (LOMR) from FEMA. Any such alterations must be reviewed and approved by FEMA and the DNR through the LOMC process.

2.3 CHAPTER 30, 31, WIS. STATS., DEVELOPMENT

Development which requires a permit from the Department, under chs. 30 and 31, Stats., such as docks, piers, wharves, bridges, culverts, dams, and navigational aids, may be allowed if the

necessary permits are obtained and amendments to the floodplain zoning ordinance are made according to s. 8.0 *Amendments*.

2.4 PUBLIC OR PRIVATE CAMPGROUNDS

Public or private campgrounds shall have a low flood damage potential and shall meet the following provisions:

- 1) The campground is approved by the Department of Agriculture, Trade and Consumer Protection;
- 2) A land use permit for the campground is issued by the zoning administrator;
- 3) The character of the river system and the campground elevation are such that a 72-hour warning of an impending flood can be given to all campground occupants;
- 4) There is an adequate flood warning procedure for the campground that offers the minimum notice required under this section to all persons in the campground. This procedure shall include a written agreement between the campground owner, the floodplain zoning agency or zoning administrator, the municipal emergency government coordinator and the chief law enforcement official which specifies the flood elevation at which evacuation shall occur, personnel responsible for monitoring flood elevations, types of warning systems to be used and the procedures for notifying at-risk parties, and the methods and personnel responsible for conducting the evacuation;
- 5) This agreement shall be for no more than one calendar year, at which time the agreement shall be reviewed and updated - by the officials identified in sub. (4) - to remain in compliance with all applicable regulations, including those of the state Department of Agriculture, Trade and Consumer Protection and all other applicable regulations;
- 6) All mobile recreational vehicles placed on site must meet one of the following:
 - a. Be fully licensed, if required, and ready for highway use; or
 - b. Not occupy any site in the campground for more than 180 consecutive days, at which time the recreational vehicle must be removed from the floodplain for a minimum of 24 hours; or
 - c. Meet the requirements in either s. 3.0, 4.0, or 5.1 for the floodplain district in which the structure is located;

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.
- 7) All camping units that remain on site for more than 30 days shall be issued a limited authorization by the campground operator, a written copy of which is kept on file at the campground. Such authorization shall allow placement of a camping unit consistent with 2.4(6) and shall ensure compliance with all the provisions of this section;
- 8) The municipality shall monitor the limited authorizations issued by the campground operator to assure compliance with the terms of this section;
- 9) The campground shall have signs clearly posted at all entrances warning of the flood hazard and the procedures for evacuation when a flood warning is issued; and

10) All service facilities, including but not limited to refuse collection, electrical service, gas lines, propane tanks, sewage systems and wells shall be properly anchored and placed at or floodproofed to the flood protection elevation; and

11) Standards for structures in a campground:

- a. All structures must comply with section 2.4 or meet the applicable requirements in ss. 3.0, 4.0, or 5.1 for the floodplain district in which the structure is located;
- b. Deck/landing-a portable landing may be allowed for a camping unit for each entry provided that the landing is not permanently attached to the ground or camping unit, is no more than 200 square feet in size, shall be portable, contain no walls or roof, and can be removed from the campground by a truck and/or trailer. Sections of such portable landings may be placed together to form a single deck not greater than 200 square feet at one entry point. Provisions for the removal of these temporary landings during flood events must be addressed within the written agreement with the municipality compliant with section 2.4(4). Any such deck/landing structure may be constructed at elevations lower than the flood protection elevation but must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.
- c. Decks/patios that are constructed completely at grade may be allowed but must also comply with applicable shoreland zoning standards.
- d. Camping equipment and appurtenant equipment in the campground may be allowed provided that the equipment is not permanently attached to the ground or camping unit, is not used as a habitable structure, and must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood. Provisions for the removal of this equipment during flooding events shall be addressed within the written agreement with the municipality compliant with section 2.4(4).
- e. Once a flood warning in the written agreement has been issued for the campground, the campground owner or the designated operator shall ensure that all persons, camping units, decks, camping equipment and appurtenant equipment in the campground shall be evacuated within the timelines specified within the written agreement with the municipality compliant with section 2.4(4).

12) A land use permit shall be obtained as provided under 7.1(2) before any development; repair, modification, or addition to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated.

3.0 FLOODWAY DISTRICT (FW)

3.1 APPLICABILITY

This section applies to all floodway areas on the floodplain zoning maps and those identified pursuant to s. 5.1(5).

3.2 PERMITTED USES

The following open space uses are allowed in the Floodway District and the floodway areas of the General Floodplain District, if:

- they are not prohibited by any other ordinance;
- they meet the standards in s. 3.3 and 3.4; and
- all permits or certificates have been issued according to s. 7.1.

- 1) Agricultural uses, such as: farming, outdoor plant nurseries, horticulture, viticulture, and wild crop harvesting.
- 2) Nonstructural industrial and commercial uses, such as loading areas, parking areas and airport landing strips.
- 3) Nonstructural recreational uses, such as golf courses, tennis courts, archery ranges, picnic grounds, boat ramps, swimming areas, parks, wildlife and nature preserves, game farms, fish hatcheries, shooting, trap, and skeet activities, hunting and fishing areas and hiking and horseback riding trails, subject to the fill limitations of s. 3.3(4).
- 4) Uses or structures accessory to open space uses or classified as historic structures that comply with s. 3.3 and 3.4.
- 5) Extraction of sand, gravel or other materials that comply with s. 3.3(4).
- 6) Functionally water-dependent uses, such as docks, piers or wharves, dams, flowage areas, culverts, navigational aids and river crossings of transmission lines, and pipelines that comply with chs. 30 and 31, Stats.
- 7) Public utilities, streets and bridges that comply with s. 3.3(3).
- 8) Portable latrines that are removed prior to flooding and systems associated with recreational areas and Department-approved campgrounds that meet the applicable provisions of local ordinances and Ch. SPS 383, Wis. Adm. Code.
- 9) Public or private wells used to obtain potable water for recreational areas that meet the requirements of local ordinances and chs. NR 811 and NR 812, Wis. Adm. Code.
- 10) Wastewater treatment ponds or facilities permitted under s. NR 110.15(3)(b), Wis. Adm. Code.
- 11) Sanitary sewer or water supply lines to service existing or proposed development located outside the floodway that complies with the regulations for the floodplain area occupied.

3.3 STANDARDS FOR DEVELOPMENT IN THE FLOODWAY

1) GENERAL

- a. Any development in the floodway shall comply with s. 2.0 and have a low flood damage potential.
- b. Applicants shall provide an analysis calculating the effects of this proposal on the regional flood height to determine the effects of the proposal according to s. 2.1 and 7.1(2)(c). The analysis must be completed by a registered professional engineer in the state of Wisconsin.
- c. Any encroachment in the regulatory floodway is prohibited unless the data submitted for subd. 3.3(1)(b) above demonstrates that the encroachment will cause no increase in flood elevations in flood events up to the base flood at any location or removes the encroached area from the regulatory floodway as provided in s. 1.5(5).

2) STRUCTURES

Structures accessory to permanent open space uses, including utility and sanitary facilities, or functionally dependent on a waterfront location may be allowed by permit if the structures comply with the following criteria:

- a. Not designed for human habitation, does not have a high flood damage potential and is constructed to minimize flood damage;
- b. Shall either have the lowest floor elevated to or above the flood protection elevation or shall meet all the following standards:
 - 1. Have the lowest floor elevated to or above the regional flood elevation and be dry floodproofed so that the structure is watertight with walls substantially impermeable to the passage of water and completely dry to the flood protection elevation without human intervention during flooding;
 - 2. Have structural components capable of meeting all provisions of Section 3.3(2)(g) and;
 - 3. Be certified by a registered professional engineer or architect, through the use of a Federal Emergency Management Agency Floodproofing Certificate, that the design and methods of construction are in accordance with Section 3.3(2)(g).
- c. Must be anchored to resist flotation, collapse, and lateral movement;
- d. Mechanical and utility equipment must be elevated to or above the flood protection elevation; and
- e. Must not obstruct flow of flood waters or cause any increase in flood levels during the occurrence of the regional flood.
- f. For a structure designed to allow the automatic entry of floodwaters below the Regional Flood Elevation, the applicant shall submit a plan that meets s. 3.3(2)(a) through 3.3(2)(e) and meets or exceeds the following standards:
 - 1. The lowest floor must be elevated to or above the regional flood elevation;
 - 2. a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 3. the bottom of all openings shall be no higher than one foot above the lowest adjacent grade; openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters, otherwise must remain open.
 - 4. The use must be limited to parking, building access or limited storage.
- g. Certification: Whenever floodproofing measures are required, a registered professional engineer or architect shall certify that the following floodproofing measures will be utilized, where appropriate, and are adequate to withstand the flood depths, pressures, velocities, impact and uplift forces and other factors associated with the regional flood:
 - 1. Reinforcement of floors and walls to resist rupture, collapse, or lateral movement caused by water pressures or debris buildup;
 - 2. Construction of wells, water supply systems and waste treatment systems so as to prevent the entrance of flood waters in such systems and must be in accordance with provisions in Sections 3.4(4) and 3.4(5);
 - 3. Subsurface drainage systems to relieve external pressures on foundation walls and

basement floors;

4. Cutoff valves on sewer lines or the elimination of gravity flow basement drains; and
5. Placement of utilities to or above the flood protection elevation.

3) **PUBLIC UTILITIES, STREETS AND BRIDGES**

Public utilities, streets and bridges may be allowed by permit, if:

- a. Adequate floodproofing measures are provided to the flood protection elevation; and
- b. Construction meets the development standards of s. 2.1.

4) **FILLS OR DEPOSITION OF MATERIALS**

Fills or deposition of materials may be allowed by permit, if:

- a. The requirements of s. 2.1 are met;
- b. No material is deposited in navigable waters unless a permit is issued by the Department pursuant to ch. 30, Stats., and a permit pursuant to s. 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 U.S.C. 1344 has been issued, if applicable, and all other requirements have been met;
- c. The fill or other materials will be protected against erosion by riprap, vegetative cover, sheet piling or bulkheading; and
- d. The fill is not classified as a solid or hazardous material.

3.4 PROHIBITED USES

All uses not listed as permitted uses in s. 3.2 are prohibited, including the following uses:

- 1) Habitable structures, structures with high flood damage potential, or those not associated with permanent open-space uses;
- 2) Storing materials that are buoyant, flammable, explosive, injurious to property, water quality, or human, animal, plant, fish or other aquatic life;
- 3) Uses not in harmony with or detrimental to uses permitted in the adjoining districts;
- 4) Any private or public sewage systems, except portable latrines that are removed prior to flooding and systems associated with recreational areas and Department-approved campgrounds that meet the applicable provisions of local ordinances and ch. SPS 383, Wis. Adm. Code;
- 5) Any public or private wells which are used to obtain potable water, except those for recreational areas that meet the requirements of local ordinances and chs. NR 811 and NR 812, Wis. Adm. Code;
- 6) Any solid or hazardous waste disposal sites;
- 7) Any wastewater treatment ponds or facilities, except those permitted under s. NR 110.15(3)(b), Wis. Adm. Code; and
- 8) Any sanitary sewer or water supply lines, except those to service existing or proposed development located outside the floodway which complies with the regulations for the floodplain area occupied.

4.0 FLOODFRINGE DISTRICT (FF)

4.1 APPLICABILITY

This section applies to all floodfringe areas shown on the floodplain zoning maps and those identified pursuant to s. 5.1(5).

4.2 PERMITTED USES

Any structure, land use, or development is allowed in the Floodfringe District if the standards in s. 4.3 are met, the use is not prohibited by this, or any other ordinance or regulation and all permits or certificates specified in s. 7.1 have been issued.

4.3 STANDARDS FOR DEVELOPMENT IN THE FLOODFRINGE

Section 2.0 shall apply in addition to the following requirements according to the use requested. Any existing structure in the floodfringe must meet the requirements of s. 6.0 *Nonconforming Uses*;

(1) **RESIDENTIAL USES**

Any structure, including a manufactured home, which is to be newly constructed or moved into the floodfringe, shall meet or exceed the following standards. Any existing structure in the floodfringe must meet the requirements of s. 6.0 *Nonconforming Uses*;

- a) All new construction, including placement of manufactured homes, and substantial improvement of residential structures, shall have the lowest floor elevated to or above the flood protection elevation on fill. The fill around the structure shall be one foot or more above the regional flood elevation extending at least 15 feet beyond the limits of the structure. No area may be removed from the floodfringe district unless it can be shown to meet s. 1.5(5).
- b) Notwithstanding s. 4.3 (1)(a), a basement or crawlspace floor may be placed at the regional flood elevation if the basement or crawlspace is designed to make all portions of the structure below the flood protection elevation watertight with walls substantially impermeable to the passage of water and with structural components having the capability of resisting hydrostatic and hydrodynamic loads and effects of buoyancy. No floor of any kind is allowed below the regional flood elevation;
- c) Contiguous dryland access shall be provided from a structure to land outside of the floodplain, except as provided in subd. (d).
- d) In developments where existing street or sewer line elevations make compliance with subd. (c) impractical, the municipality may permit new development and substantial improvements where roads are below the regional flood elevation, if:
 - 1. The municipality has written assurance from police, fire and emergency services that rescue, and relief will be provided to the structure(s) by wheeled vehicles during a regional flood event; or
 - 2. The municipality has a DNR-approved emergency evacuation plan that follows acceptable hazard mitigation planning guidelines.

(2) **ACCESSORY STRUCTURES OR USES**

In addition to s. 2.0, new construction and substantial improvements of Accessory structures shall be constructed on fill with the lowest floor at or above the regional flood elevation.

(3) COMMERCIAL USES

In addition to s. 2.0, any commercial structure which is erected, altered, or moved into the floodfringe shall meet the requirements of s. 4.3(1). Subject to the requirements of s. 4.3(5), storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.

(4) MANUFACTURING AND INDUSTRIAL USES

In addition to s. 2.0, any manufacturing or industrial structure which is erected, altered, or moved into the floodfringe shall have the lowest floor elevated to or above the flood protection elevation or meet the floodproofing standards in s 7.5. Subject to the requirements of s. 4.3(5), storage yards, surface parking lots and other such uses may be placed at lower elevations if an adequate warning system exists to protect life and property.

(5) STORAGE OF MATERIALS

Materials that are buoyant, flammable, explosive, or injurious to property, water quality or human, animal, plant, fish, or aquatic life shall be stored at or above the flood protection elevation or floodproofed in compliance with s. 7.5. Adequate measures shall be taken to ensure that such materials will not enter the water body during flooding.

(6) PUBLIC UTILITIES, STREETS AND BRIDGES

All utilities, streets and bridges shall be designed to be compatible with comprehensive floodplain development plans; and

- a) When failure of public utilities, streets and bridges would endanger public health or safety, or where such facilities are deemed essential, construction or repair of such facilities shall only be permitted if they are designed to comply with s. 7.5.
- b) Minor roads or non-essential utilities may be constructed at lower elevations if they are designed to withstand flood forces to the regional flood elevation.

(7) SEWAGE SYSTEMS

All sewage disposal systems shall be designed to minimize or eliminate infiltration of flood water into the system, pursuant to s. 7.5(3), to the flood protection elevation and meet the provisions of all local ordinances and ch. SPS 383, Wis. Adm. Code.

(8) WELLS

All wells shall be designed to minimize or eliminate infiltration of flood waters into the system, pursuant to s. 7.5(3), to the flood protection elevation and shall meet the provisions of chs. NR 811 and NR 812, Wis. Adm. Code.

(9) SOLID WASTE DISPOSAL SITES

Disposal of solid or hazardous waste is prohibited in floodfringe areas.

(10) DEPOSITION OF MATERIALS

Any deposited material must meet all the provisions of this ordinance.

(11) MANUFACTURED HOMES

- a) Owners or operators of all manufactured home parks and subdivisions shall provide adequate surface drainage to minimize flood damage, and prepare, secure approval, and file an evacuation plan, indicating vehicular access and escape routes, with local emergency management authorities.
- b) In existing manufactured home parks, all new homes, replacement homes on existing pads, and substantially improved homes shall:
 - 1. have the lowest floor elevated to the flood protection elevation; and
 - 2. be anchored so they do not float, collapse, or move laterally during a flood
- c) Outside of existing manufactured home parks, including new manufactured home parks and all single units outside of existing parks, all new, replacement and substantially improved manufactured homes shall meet the residential development standards for the floodfringe in s. 4.3(1).

(12) MOBILE RECREATIONAL VEHICLES

All mobile recreational vehicles must be on site for less than 180 consecutive days and be either:

- a) fully licensed and ready for highway use; or
- b) shall meet the elevation and anchoring requirements in s. 4.3 (11)(b) and (c).

A mobile recreational vehicle is ready for highway use if it is on its wheels or jacking system, is attached to the site only by quick-disconnect utilities and security devices and has no permanently attached additions.

5.0 OTHER FLOODPLAIN DISTRICTS

5.1 GENERAL FLOODPLAIN DISTRICT (GFP)

1) APPLICABILITY

The provisions for the General Floodplain District shall apply to development in all floodplains mapped as A, AO, AH, and in AE zones within which a floodway is not delineated on the Flood Insurance Rate Maps identified in s. 1.5(2)(a).

2) FLOODWAY BOUNDARIES

For proposed development in zone A, or in zone AE within which a floodway is not delineated on the Flood Insurance Rate Map identified in s. 1.5(2)(a), the boundaries of the regulatory floodway shall be determined pursuant to s. 5.1(5). If the development is proposed to encroach upon the regulatory floodway, the development is subject to the standards of s 3.0. If the development is located entirely within the floodfringe, the development is subject to the standards of s. 4.0.

3) PERMITTED USES

Pursuant to s. 5.1(5) it shall be determined whether the proposed use is located within the floodway or floodfringe. Those uses permitted in the Floodway (s. 3.2) and Floodfringe (s. 4.2) Districts are allowed within the General Floodplain District, according to the standards of s. 5.1(4) provided that all permits or certificates required under s. 7.1 have been issued.

4) **STANDARDS FOR DEVELOPMENT IN THE GENERAL FLOODPLAIN DISTRICT**

Section 3.0 applies to floodway areas, determined to pursuant to 5.1(5); Section 4.0 applies to floodfringe areas, determined to pursuant to 5.1(5).

- a) New construction and substantial improvement of structures in zone AO shall have the lowest floor, including basement, elevated:
 - 1. To or above the depth, in feet, as shown on the FIRM above the highest adjacent natural grade; or
 - 2. If the depth is not specified on the FIRM, to or above two (2) feet above the highest adjacent natural grade.
- b) New Construction and substantial improvement of structures in zone AH shall have the lowest floor, including basement, elevated to or above the flood protection elevation.
- c) In AO/AH zones, provide adequate drainage paths to guide floodwaters around structures.
- d) All development in zones AO and zone AH shall meet the requirements of s. 4.0 applicable to flood fringe areas.

5) **DETERMINING FLOODWAY AND FLOODFRINGE LIMITS**

Upon receiving an application for development within zone A, or within zone AE where a floodway has not been delineated on the Flood Insurance Rate Maps, the zoning administrator shall:

- a) Require the applicant to submit two copies of an aerial photograph or a plan which shows the proposed development with respect to the general floodplain district limits, stream channel, and existing floodplain developments, along with a legal description of the property, fill limits and elevations, building floor elevations and flood proofing measures and the flood zone as shown on the FIRM.
- b) Require the applicant to furnish any of the following information deemed necessary by the Department to evaluate the effects of the proposal upon flood height and flood flows, regional flood elevation and to determine floodway boundaries.
 - 1. A Hydrologic and Hydraulic Study as specified in s. 7.1(2)(c).
 - 2. Plan (surface view) showing elevations or contours of the ground; pertinent structure, fill or storage elevations; size, location, and layout of all proposed and existing structures on the site; location and elevations of streets, water supply, and sanitary facilities; soil types and other pertinent information.
 - 3. Specifications for building construction and materials, floodproofing, filling, dredging, channel improvement, storage, water supply and sanitary facilities.

5.2 FLOOD STORAGE DISTRICT

The flood storage district delineates that portion of the floodplain where storage of floodwaters has been taken into account and is relied upon to reduce the regional flood discharge. The district protects the flood storage areas and assures that any development in the storage areas will not decrease the effective flood storage capacity which would cause higher flood elevations.

(1) APPLICABILITY

The provisions of this section apply to all areas within the Flood Storage District (FSD), as shown on the official floodplain zoning maps.

(2) PERMITTED USES

Any use or development which occurs in a flood storage district must meet the applicable requirements in s. 4.3.

(3) STANDARDS FOR DEVELOPMENT IN FLOOD STORAGE DISTRICTS

- a. Development in a flood storage district shall not cause an increase equal or greater than 0.00 of a foot in the height of the regional flood.
- b. No development shall be allowed which removes flood storage volume unless an equal volume of storage as defined by the pre-development ground surface and the regional flood elevation shall be provided in the immediate area of the proposed development to compensate for the volume of storage, which is lost, (compensatory storage). Excavation below the groundwater table is not considered to provide an equal volume of storage.
- c. If compensatory storage cannot be provided, the area may not be developed unless the entire area zoned as flood storage district – on this waterway – is rezoned to the floodfringe district. This must include a revision to the floodplain study and map done for the waterway to revert to the higher regional flood discharge calculated without floodplain storage, as per s. 8.0 *Amendments* of this ordinance.
- d. No area may be removed from the flood storage district unless it can be shown that the area has been filled to the flood protection elevation and is contiguous to other lands lying outside of the floodplain.

6.0 NONCONFORMING USES

6.1 GENERAL

1) Applicability

- a) The standards in this section shall apply to all uses and buildings that do not conform to the provisions contained within a floodplain zoning ordinance or with s. 87.30, Stats. and §§ NR 116.12-14, Wis. Adm. Code and 44 CFR 59-72., these standards shall apply to all modifications or additions to any nonconforming use or structure and to the use of any structure or premises which was lawful before the passage of this ordinance or any amendment thereto. A party asserting existence of a lawfully established nonconforming use or structure has the burden of proving that the use or structure was compliant with the floodplain zoning ordinance in effect at the time the use or structure was created.
 - b) As permit applications are received for additions, modifications, or substantial improvements to nonconforming buildings in the floodplain, municipalities shall develop a list of those nonconforming buildings, their present equalized assessed value, and a list of the costs of those activities associated with changes to those buildings.
- 2) The existing lawful use of a structure or its accessory use which is not in conformity with the provisions of this ordinance may continue subject to the following conditions:

- a) No modifications or additions to a nonconforming use or structure shall be permitted unless they comply with this ordinance. The words "modification" and "addition" include, but are not limited to, any alteration, addition, modification, structural repair, rebuilding or replacement of any such existing use, structure or accessory structure or use. Maintenance is not considered a modification; this includes painting, decorating, paneling and other nonstructural components and the maintenance, repair or replacement of existing private sewage or water supply systems or connections to public utilities. Any costs associated with the repair of a damaged structure are not considered maintenance.

The construction of a deck that does not exceed 200 square feet and that is adjacent to the exterior wall of a principal structure is not an extension, modification, or addition. The roof of the structure may extend over a portion of the deck in order to provide safe ingress and egress to the principal structure.

- b) If a nonconforming use or the use of a nonconforming structure is discontinued for 12 consecutive months, it is no longer permitted and any future use of the property, and any structure or building thereon, shall conform to the applicable requirements of this ordinance;
- c) The municipality shall keep a record which lists all nonconforming uses and nonconforming structures, their present equalized assessed value, the cost of all modifications or additions which have been permitted, and the percentage of the structure's total current value those modifications represent;
- d) No modification or addition to any nonconforming structure or any structure with a nonconforming use, which over the life of the structure would equal or exceed 50% of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 4.3(1). The costs of elevating the lowest floor of a nonconforming building or a building with a nonconforming use to the flood protection elevation are excluded from the 50% provisions of this paragraph;
- e) No maintenance on a per event basis to any nonconforming structure or any structure with a nonconforming use, the cost of which would equal or exceed 50% of its present equalized assessed value, shall be allowed unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 4.3(1). Maintenance to any nonconforming structure, which does not exceed 50% of its present equalized assessed value on a per event basis, does not count against the cumulative calculations over the life of the structure for substantial improvement calculations.
- f) If on a per event basis the total value of the work being done under (d) and (e) equals or exceeds 50% of the present equalized assessed value, the work shall not be permitted unless the entire structure is permanently changed to a conforming structure with a conforming use in compliance with the applicable requirements of this ordinance. Contiguous dry land access must be provided for residential and commercial uses in compliance with s. 4.3(1).
- g) Except as provided in subd. (h), if any nonconforming structure or any structure with a nonconforming use is destroyed or is substantially damaged, it cannot be replaced, reconstructed, or rebuilt unless the use and the structure meet the current ordinance requirements. A structure is considered substantially damaged if the total cost to restore the structure to its pre-damaged condition equals or exceeds 50% of the structure's present equalized assessed value.

h) For nonconforming buildings that are substantially damaged or destroyed by a nonflood disaster, the repair or reconstruction of any such nonconforming building shall be permitted in order to restore it to the size and use in effect prior to the damage event, provided that the following minimum requirements are met, and all required permits have been granted prior to the start of construction:

1. Residential Structures

- a. Shall have the lowest floor, including basement, elevated to or above the flood protection elevation using fill, pilings, columns, posts, or perimeter walls. Perimeter walls must meet the requirements of s. 7.5(2).
- b. Shall be anchored to prevent flotation, collapse, or lateral movement of the structure resulting from hydrodynamic and hydrostatic loads, including the effects of buoyancy, and shall be constructed with methods and materials resistant to flood damage.
- c. Shall be constructed with electrical, heating, ventilation, plumbing and air conditioning equipment and other service facilities that are designed and/or elevated so as to prevent water from entering or accumulating within the components during conditions of flooding.
- d. In A Zones, obtain, review, and utilize any flood data available from a federal, state or other source.
- e. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in s. 5.1(4).
- f. in AO Zones, shall have adequate drainage paths around structures on slopes to guide floodwaters around and away from the structure.

2. Nonresidential Structures

- a. Shall meet the requirements of s. 6.1(2)(h)1a-f.
- b. Shall either have the lowest floor, including basement, elevated to or above the regional flood elevation; or, together with attendant utility and sanitary facilities, shall meet the standards in s. 7.5 (1) or (2).
- c. In AO Zones with no elevations specified, shall have the lowest floor, including basement, meet the standards in s. 5.1(4).

3) A nonconforming historic structure may be altered if the alteration will not preclude the structure's continued designation as a historic structure, the alteration will comply with s. 3.3 (1), flood resistant materials are used, and construction practices and floodproofing methods that comply with s. 7.5 are used. Repair or rehabilitation of historic structures shall be exempt from the development standards of s. 6.1 (2)(h)1 if it is determined that the proposed repair or rehabilitation will not preclude the structure's continued designation as a historic structure and is the minimum necessary to preserve the historic character and design of the structure.

6.2 FLOODWAY DISTRICT

1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use in the Floodway District, unless such modification or addition:

- a) Has been granted a permit or variance which meets all ordinance requirements;
- b) Meets the requirements of s. 6.1;
- c) Shall not increase the obstruction to flood flows or regional flood height;
- d) Any addition to the existing structure shall be floodproofed, pursuant to s. 7.5, by means other than the use of fill, to the flood protection elevation; and,
- e) If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 - 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 - 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 - 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 - 4. The use must be limited to parking, building access or limited storage.
- 2) No new on-site sewage disposal system, or addition to an existing on-site sewage disposal system, except where an addition has been ordered by a government agency to correct a hazard to public health, shall be allowed in the Floodway District. Any replacement, repair or maintenance of an existing on-site sewage disposal system in a floodway area shall meet the applicable requirements of all municipal ordinances, s. 7.5(3) and Ch. SPS 383, Wis. Adm. Code.
- 3) No new well or modification to an existing well used to obtain potable water shall be allowed in the Floodway District. Any replacement, repair, or maintenance of an existing well in the Floodway District shall meet the applicable requirements of all municipal ordinances, s. 7.5(3) and chs. NR 811 and NR 812, Wis. Adm. Code.

6.3 FLOODFRINGE DISTRICT

- 1) No modification or addition shall be allowed to any nonconforming structure or any structure with a nonconforming use unless such modification or addition has been granted a permit or variance by the municipality and meets the requirements of s. 4.3 except where s. 6.3(2) is applicable.
- 2) Where compliance with the provisions of subd. (1) would result in unnecessary hardship and only where the structure will not be used for human habitation or be associated with a high flood damage potential, the Board of Adjustment/Appeals, using the procedures established in s. 7.3, may grant a variance from those provisions of subd. (1) for modifications or additions using the criteria listed below. Modifications or additions which are protected to elevations lower than the flood protection elevation may be permitted if:
 - a) No floor is allowed below the regional flood elevation for residential or commercial structures;
 - b) Human lives are not endangered;
 - c) Public facilities, such as water or sewer, shall not be installed;

- d) Flood depths shall not exceed two feet;
 - e) Flood velocities shall not exceed two feet per second; and
 - f) The structure shall not be used for storage of materials as described in s. 4.3(5).
- 3) All new private sewage disposal systems, or addition to, replacement, repair or maintenance of a private sewage disposal system shall meet all the applicable provisions of all local ordinances, s. 7.5 (3) and ch. SPS 383, Wis. Adm. Code.
- 4) All new wells, or addition to, replacement, repair, or maintenance of a well shall meet the applicable provisions of this ordinance, s. 7.5 (3) and ch. NR 811 and NR 812, Wis. Adm. Code.

6.4 FLOOD STORAGE DISTRICTS

No modifications or additions shall be allowed to any nonconforming structure in a flood storage area unless the standards outlined in 5.2(3) are met.

7.0 ADMINISTRATION

Where a zoning administrator, planning agency or a board of appeals has already been appointed to administer a zoning ordinance adopted under ss. 59.69, 59.692 or 62.23(7), Stats., these officials shall also administer this ordinance.

7.1 ZONING ADMINISTRATOR

1) **DUTIES AND POWERS**

The zoning administrator is authorized to administer this ordinance and shall have the following duties and powers:

- a) Advise applicants of the ordinance provisions, assist in preparing permit applications and appeals, and assure that the regional flood elevation for the proposed development is shown on all permit applications.
- b) Issue permits and inspect properties for compliance with provisions of this ordinance and issue certificates of compliance where appropriate
- c) Inspect and assess all damaged floodplain structures to determine if substantial damage to the structures has occurred.
- d) Keep records of all official actions such as:
 - 1. All permits issued, inspections made, and work approved;
 - 2. Documentation of certified lowest floor and regional flood elevations;
 - 3. Floodproofing certificates.
 - 4. Water surface profiles, floodplain zoning maps and ordinances, nonconforming uses and structures including changes, appeals, variances and amendments.
 - 5. All substantial damage assessment reports for floodplain structures.
 - 6. List of nonconforming structures and uses.
- e) Submit copies of the following items to the Department Regional office:
 - 1. Within 10 days of the decision, a copy of any decisions on variances, appeals for map or text interpretations, and map or text amendments;
 - 2. Copies of case-by-case analyses and other required information.

- 3. Copies of substantial damage assessments performed and all related correspondence concerning the assessments.
 - f) Investigate, prepare reports, and report violations of this ordinance to the municipal zoning agency and attorney for prosecution. Copies of the reports shall also be sent to the Department Regional office.
 - g) Submit copies of amendments to the FEMA Regional office.
- 2) LAND USE PERMIT
- A land use permit shall be obtained before any development; repair, modification, or addition to an existing structure; or change in the use of a building or structure, including sewer and water facilities, may be initiated. Application to the zoning administrator shall include:
- a) GENERAL INFORMATION
 - 1. Name and address of the applicant, property owner and contractor;
 - 2. Legal description, proposed use, and whether it is new construction or a modification;
 - b) SITE DEVELOPMENT PLAN

A site plan drawn to scale shall be submitted with the permit application form and shall contain:

 - 1. Location, dimensions, area and elevation of the lot;
 - 2. Location of the ordinary highwater mark of any abutting navigable waterways;
 - 3. Location of any structures with distances measured from the lot lines and street center lines;
 - 4. Location of any existing or proposed on-site sewage systems or private water supply systems;
 - 5. Location and elevation of existing or future access roads;
 - 6. Location of floodplain and floodway limits as determined from the official floodplain zoning maps;
 - 7. The elevation of the lowest floor of proposed buildings and any fill using the vertical datum from the adopted study – either National Geodetic Vertical Datum (NGVD) or North American Vertical Datum (NAVD);
 - 8. Data sufficient to determine the regional flood elevation in NGVD or NAVD at the location of the development and to determine whether or not the requirements of s. 3.0 or 4.0 are met; and
 - 9. Data to determine if the proposed development will cause an obstruction to flow or an increase in regional flood height or discharge according to s. 2.1. This may include any of the information noted in s. 3.3(1).
 - c) HYDRAULIC AND HYDROLOGIC STUDIES TO ANALYZE DEVELOPMENT

All hydraulic and hydrologic studies shall be completed under the direct supervision of a professional engineer registered in the State. The study contractor shall be responsible for

the technical adequacy of the study. All studies shall be reviewed and approved by the Department.

1. Zone A floodplains and in AE zones within which a floodway is not delineated:

- a. Hydrology
 - i. The appropriate method shall be based on the standards in ch. NR 116.07(3), Wis. Admin. Code, *Hydrologic Analysis: Determination of Regional Flood Discharge*.

- b. Hydraulic modeling
 - The regional flood elevation shall be based on the standards in ch. NR 116.07(4), Wis. Admin. Code, *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:
 - i. determination of the required limits of the hydraulic model shall be based on detailed study information for downstream structures (dam, bridge, culvert) to determine adequate starting WSEL for the study.
 - ii. channel sections must be surveyed.
 - iii. minimum four-foot contour data in the overbanks shall be used for the development of cross section overbank and floodplain mapping.
 - iv. a maximum distance of 500 feet between cross sections is allowed in developed areas with additional intermediate cross sections required at transitions in channel bottom slope including a survey of the channel at each location.
 - v. the most current version of HEC-RAS shall be used.
 - vi. a survey of bridge and culvert openings and the top of road is required at each structure.
 - vii. additional cross sections are required at the downstream and upstream limits of the proposed development and any necessary intermediate locations based on the length of the reach if greater than 500 feet.
 - viii. standard accepted engineering practices shall be used when assigning parameters for the base model such as flow, Manning's N values, expansion and contraction coefficients or effective flow limits. The base model shall be calibrated to past flooding data such as high-water marks to determine the reasonableness of the model results. If no historical data is available, adequate justification shall be provided for any parameters outside standard accepted engineering practices.
 - ix. the model must extend past the upstream limit of the difference in the existing and proposed flood profiles in order to provide a tie-in to existing studies. The height difference between the proposed flood profile and the existing study profiles shall be no more than 0.00 feet.

- c. Mapping
 - A work map of the reach studied shall be provided, showing all cross-section locations, floodway/floodplain limits based on best available topographic data, geographic limits of the proposed development and whether the proposed development is located in the floodway.

- i. If the proposed development is located outside of the floodway, then it is determined to have no impact on the regional flood elevation.
- ii. If any part of the proposed development is in the floodway, it must be added to the base model to show the difference between existing and proposed conditions. The study must ensure that all coefficients remain the same as in the existing model, unless adequate justification based on standard accepted engineering practices is provided.

2. Zone AE Floodplains

a. Hydrology

If the proposed hydrology will change the existing study, the appropriate method to be used shall be based on ch. NR 116.07(3), Wis. Admin. Code, *Hydrologic Analysis: Determination of Regional Flood Discharge*.

b. Hydraulic model

The regional flood elevation shall be based on the standards in ch. NR 116.07(4), Wis. Admin. Code, *Hydraulic Analysis: Determination of Regional Flood Elevation* and the following:

i. Duplicate Effective Model

The effective model shall be reproduced to ensure correct transference of the model data and to allow integration of the revised data to provide a continuous FIS model upstream and downstream of the revised reach. If data from the effective model is available, models shall be generated that duplicate the FIS profiles and the elevations shown in the Floodway Data Table in the FIS report to within 0.1 foot.

ii. Corrected Effective Model.

The Corrected Effective Model shall not include any man-made physical changes since the effective model date but shall import the model into the most current version of HEC-RAS for Department review.

iii. Existing (Pre-Project Conditions) Model.

The Existing Model shall be required to support conclusions about the actual impacts of the project associated with the Revised (Post-Project) Model or to establish more up-to-date models on which to base the Revised (Post-Project) Model.

iv. Revised (Post-Project Conditions) Model.

The Revised (Post-Project Conditions) Model shall incorporate the Existing Model and any proposed changes to the topography caused by the proposed development. This model shall reflect proposed conditions.

v. All changes to the Duplicate Effective Model and subsequent models must be supported by certified topographic information, bridge plans, construction plans and survey notes.

vi. Changes to the hydraulic models shall be limited to the stream reach for which the revision is being requested. Cross sections upstream and downstream of the revised reach shall be identical to those in the effective model and result in water surface elevations and top widths computed by the revised models matching those in the effective models upstream and downstream of the revised reach as required. The Effective Model shall not be truncated.

c. Mapping

Maps and associated engineering data shall be submitted to the Department for review which meet the following conditions:

- i. Consistency between the revised hydraulic models, the revised floodplain and floodway delineations, the revised flood profiles, topographic work map, annotated FIRMs and/or Flood Boundary Floodway Maps (FBFMs), construction plans, bridge plans.
- ii. Certified topographic map of suitable scale, contour interval, and a planimetric map showing the applicable items. If a digital version of the map is available, it may be submitted in order that the FIRM may be more easily revised.
- iii. Annotated FIRM panel showing the revised 1% and 0.2% annual chance floodplains and floodway boundaries.
- iv. If an annotated FIRM and/or FBFM and digital mapping data (GIS or CADD) are used, then all supporting documentation or metadata must be included with the data submission along with the Universal Transverse Mercator (UTM) projection and State Plane Coordinate System in accordance with FEMA mapping specifications.
- v. The revised floodplain boundaries shall tie into the effective floodplain boundaries.
- vi. All cross sections from the effective model shall be labeled in accordance with the effective map and a cross section lookup table shall be included to relate to the model input numbering scheme.
- vii. Both the current and proposed floodways shall be shown on the map.
- viii. The stream centerline, or profile baseline used to measure stream distances in the model shall be visible on the map.

d) EXPIRATION

All permits issued under the authority of this ordinance shall expire no more than 180 days after issuance. The permit may be extended for a maximum of 180 days for good and sufficient cause. If the permitted work has not started within 180 days of the permit date, the development must comply with any regulation, including any revision to the FIRM or FIS, that took effect after the permit date.

3) CERTIFICATE OF COMPLIANCE

No land shall be occupied or used, and no building which is hereafter constructed, altered, added to, modified, repaired, rebuilt, or replaced shall be occupied until a certificate of compliance is issued by the zoning administrator, except where no permit is required, subject to the following provisions:

- a) The certificate of compliance shall show that the building or premises or part thereof, and the proposed use, conform to the provisions of this ordinance;
- b) Application for such certificate shall be concurrent with the application for a permit;
- c) If all ordinance provisions are met, the certificate of compliance shall be issued within 10 days after written notification that the permitted work is completed;

- d) The applicant shall submit a certification signed by a registered professional engineer, architect, or land surveyor that the fill, lowest floor and floodproofing elevations are in compliance with the permit issued. Floodproofing measures also require certification by a registered professional engineer or architect that the requirements of s. 7.5 are met.
- e) Where applicable pursuant to s. 5.1(4), the applicant must submit a certification by a registered professional engineer or surveyor of the elevation of the bottom of the lowest horizontal structural member supporting the lowest floor (excluding pilings or columns), and an indication of whether the structure contains a basement.
- f) Where applicable pursuant to s. 5.1(4), the applicant must submit certifications by a registered professional engineer or architect that the structural design and methods of construction meet accepted standards of practice as required by s. 5.1(4).

4) **OTHER PERMITS**

Prior to obtaining a floodplain development permit the applicant must secure all necessary permits from federal, state, and local agencies, including but not limited to those required by the U.S. Army Corps of Engineers under s. 404 of the Federal Water Pollution Control Act, Amendments of 1972, 33 U.S.C. 1344.

7.2 ZONING AGENCY

- 1) The Village of Kronenwetter Planning Commission shall:
 - a) oversee the functions of the office of the zoning administrator; and
 - b) review and advise the governing body on all proposed amendments to this ordinance, maps, and text.
 - c) publish adequate notice pursuant to Ch. 985, Stats., specifying the date, time, place, and subject of the public hearing.
- 2) The Village of Kronenwetter Planning Commission shall not:
 - a) grant variances to the terms of the ordinance in place of action by the Board of Adjustment/Appeals; or
 - b) amend the text or zoning maps in place of official action by the governing body.

7.3 BOARD OF APPEALS

The Board of Appeals, created under s. 62.23(7)(e), Stats., is hereby authorized or shall be appointed to act for the purposes of this ordinance. The Board shall exercise the powers conferred by Wisconsin Statutes and adopt rules for the conduct of business. The zoning administrator shall not be the secretary of the Board.

1) **POWERS AND DUTIES**

The Board of Appeals shall:

- a) Appeals - Hear and decide appeals where it is alleged there is an error in any order, requirement, decision or determination made by an administrative official in the enforcement or administration of this ordinance;
- b) Boundary Disputes - Hear and decide disputes concerning the district boundaries shown on the official floodplain zoning map; and
- c) Variances - Hear and decide, upon appeal, variances from the ordinance standards.

2) APPEALS TO THE BOARD

a) Appeals to the board may be taken by any person aggrieved, or by any officer or department of the municipality affected by any decision of the zoning administrator or other administrative officer. Such appeal shall be taken within 30 days unless otherwise provided by the rules of the board, by filing with the official whose decision is in question, and with the board, a notice of appeal specifying the reasons for the appeal. The official whose decision is in question shall transmit to the board all records regarding the matter appealed.

b) NOTICE AND HEARING FOR APPEALS INCLUDING VARIANCES

1. Notice - The board shall:

- a. Fix a reasonable time for the hearing;
- b. Publish adequate notice pursuant to Wisconsin Statutes, specifying the date, time, place, and subject of the hearing; and
- c. Assure that notice shall be mailed to the parties in interest and the Department Regional office at least 10 days in advance of the hearing.

2. Hearing - Any party may appear in person or by agent. The board shall:

- a. Resolve boundary disputes according to s. 7.3(3);
- b. Decide variance applications according to s. 7.3(4); and
- c. Decide appeals of permit denials according to s. 7.4.

c) DECISION: The final decision regarding the appeal or variance application shall:

- 1. Be made within a reasonable time;
- 2. Be sent to the Department Regional office within 10 days of the decision;
- 3. Be a written determination signed by the chairman or secretary of the Board;
- 4. State the specific facts which are the basis for the Board's decision;
- 5. Either affirm, reverse, vary or modify the order, requirement, decision, or determination appealed, in whole or in part, dismiss the appeal for lack of jurisdiction or grant or deny the variance application; and
- 6. Include the reasons for granting an appeal, describing the hardship demonstrated by the applicant in the case of a variance, clearly stated in the recorded minutes of the Board proceedings.

3) BOUNDARY DISPUTES

The following procedure shall be used by the Board in hearing disputes concerning floodplain district boundaries:

- a) If a floodplain district boundary is established by approximate or detailed floodplain studies, the flood elevations or profiles shall prevail in locating the boundary.
- b) The person contesting the boundary location shall be given a reasonable opportunity to present arguments and technical evidence to the Board; and
- c) If the boundary is incorrectly mapped, the Board should inform the zoning committee or the person contesting the boundary location to petition the governing body for a map amendment according to s. 8.0 *Amendments*.

4) VARIANCE

- a) The Board may, upon appeal, grant a variance from the standards of this ordinance if an applicant convincingly demonstrates that:
 - 1. Literal enforcement of the ordinance will cause unnecessary hardship;
 - 2. The hardship is due to adoption of the floodplain ordinance and unique property conditions, not common to adjacent lots or premises. In such case the ordinance or map must be amended;
 - 3. The variance is not contrary to the public interest; and
 - 4. The variance is consistent with the purpose of this ordinance in s. 1.3.
- b) In addition to the criteria in subd. (a), to qualify for a variance under FEMA regulations, the Board must find that the following criteria have been met:
 - 1. The variance shall not cause any increase in the regional flood elevation;
 - 2. The applicant has shown good and sufficient cause for issuance of the variance;
 - 3. Failure to grant the variance would result in exceptional hardship;
 - 4. Granting the variance will not result in additional threats to public safety, extraordinary expense, create a nuisance, cause fraud on or victimization of the public, or conflict with existing local laws or ordinances;
 - 5. The variance granted is the minimum necessary, considering the flood hazard, to afford relief.
- c) A variance shall not:
 - 1. Grant, extend or increase any use prohibited in the zoning district;
 - 2. Be granted for a hardship based solely on an economic gain or loss;
 - 3. Be granted for a hardship which is self-created.
 - 4. Damage the rights or property values of other persons in the area;
 - 5. Allow actions without the amendments to this ordinance or map(s) required in s. 8.0 *Amendments*; and
 - 6. Allow any alteration of an historic structure, including its use, which would preclude its continued designation as an historic structure.
- d) When a floodplain variance is granted, the Board shall notify the applicant in writing that it may increase risks to life and property and flood insurance premiums could increase up to \$25.00 per \$100.00 of coverage. A copy shall be maintained with the variance record.

7.4 TO REVIEW APPEALS OF PERMIT DENIALS

- (1) The Zoning Agency (s. 7.2) or Board shall review all data related to the appeal. This may include:

- a. Permit application data listed in s. 7.1(2);
 - b. Floodway/floodfringe determination data in s. 5.1(5);
 - c. Data listed in s. 3.3(1)(b) where the applicant has not submitted this information to the zoning administrator; and
 - d. Other data submitted with the application or submitted to the Board with the appeal.
- (2) For appeals of all denied permits the Board shall:
- a. Follow the procedures of s. 7.3;
 - b. Consider zoning agency recommendations; and
 - c. Either uphold the denial or grant the appeal.
- (3) For appeals concerning increases in regional flood elevation the Board shall:
- a. Uphold the denial where the Board agrees with the data showing an increase in flood elevation. Increases may only be allowed after amending the flood profile and map and all appropriate legal arrangements are made with all adversely affected property owners as per the requirements of s. 8.0 *Amendments*; and
 - b. Grant the appeal where the Board agrees that the data properly demonstrates that the project does not cause an increase provided no other reasons for denial exist.

7.5 FLOODPROOFING STANDARDS

- (1) No permit or variance shall be issued for a non-residential structure designed to be watertight below the regional flood elevation until the applicant submits a plan certified by a registered professional engineer or architect that the floodproofing measures will protect the structure or development to or above the flood protection elevation and submits a FEMA Floodproofing Certificate. Floodproofing is not an alternative to the development standards in ss. 2.0, 3.0, 4.0, or 5.1.
- (2) For a structure designed to allow the entry of floodwaters, no permit or variance shall be issued until the applicant submits a plan either:
- a. certified by a registered professional engineer or architect; or
 - b. meeting or exceeding the following standards:
 - 1. a minimum of two openings having a total net area of not less than one square inch for every square foot of enclosed area subject to flooding;
 - 2. the bottom of all openings shall be no higher than one foot above grade; and
 - 3. openings may be equipped with screens, louvers, valves, or other coverings or devices provided that they permit the automatic entry and exit of floodwaters.
- (3) Floodproofing measures shall be designed, as appropriate, to:
- a. Withstand flood pressures, depths, velocities, uplift and impact forces and other regional flood factors;
 - b. Protect structures to the flood protection elevation;

- c. Anchor structures to foundations to resist flotation and lateral movement;
- d. Minimize or eliminate infiltration of flood waters;
- e. Minimize or eliminate discharges into flood waters;
- f. Placement of essential utilities to or above the flood protection elevation; and
- g. If any part of the foundation below the flood protection elevation is enclosed, the following standards shall apply:
 - 1. The enclosed area shall be designed by a registered architect or engineer to allow for the efficient entry and exit of flood waters without human intervention. A minimum of two openings must be provided with a minimum net area of at least one square inch for every one square foot of the enclosed area. The lowest part of the opening can be no more than 12 inches above the adjacent grade;
 - 2. The parts of the foundation located below the flood protection elevation must be constructed of flood-resistant materials;
 - 3. Mechanical and utility equipment must be elevated or floodproofed to or above the flood protection elevation; and
 - 4. The use must be limited to parking, building access or limited storage.

7.6 PUBLIC INFORMATION

- (1) Place marks on structures to show the depth of inundation during the regional flood.
- (2) All maps, engineering data and regulations shall be available and widely distributed.
- (3) Real estate transfers should show what floodplain district any real property is in.

8.0 AMENDMENTS

Obstructions or increases may only be permitted if amendments are made to this ordinance, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with s. 8.1.

- (1) In AE Zones with a mapped floodway, no obstructions or increases shall be permitted unless the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this ordinance, the official floodplain zoning maps, floodway lines and water surface profiles, in accordance with s. 8.1. Any such alterations must be reviewed and approved by FEMA and the DNR.
- (2) In A Zones increases equal to or greater than 1.0 foot may only be permitted if the applicant receives a Conditional Letter of Map Revision from FEMA and amendments are made to this ordinance, the official floodplain maps, floodway lines, and water surface profiles, in accordance with s. 8.1.

8.1 GENERAL

The governing body shall change or supplement the floodplain zoning district boundaries and this ordinance in the manner outlined in s. 8.2 below. Actions which require an amendment to the ordinance and/or submittal of a Letter of Map Change (LOMC) include, but are not limited to, the following:

- (1) Any fill or floodway encroachment that obstructs flow causing any increase in the regional flood height;
- (2) Any change to the floodplain boundaries and/or watercourse alterations on the FIRM;
- (3) Any changes to any other officially adopted floodplain maps listed in s. 1.5 (2)(b);
- (4) Any floodplain fill which raises the elevation of the filled area to a height at or above the flood protection elevation and is contiguous to land lying outside the floodplain;
- (5) Correction of discrepancies between the water surface profiles and floodplain maps;
- (6) Any upgrade to a floodplain zoning ordinance text required by s. NR 116.05, Wis. Adm. Code, or otherwise required by law, or for changes by the municipality; and
- (7) All channel relocations and changes to the maps to alter floodway lines or to remove an area from the floodway or the floodfringe that is based on a base flood elevation from a FIRM requires prior approval by FEMA.

8.2 PROCEDURES

Ordinance amendments may be made upon petition of any party according to the provisions of s. 62.23, Stats., for cities and villages. The petitions shall include all data required by s. 5.1(5) and 7.1(2). The Land Use Permit shall not be issued until a Letter of Map Revision is issued by FEMA for the proposed changes.

- (1) The proposed amendment shall be referred to the zoning agency for a public hearing and recommendation to the governing body. The amendment and notice of public hearing shall be submitted to the Department Regional office for review prior to the hearing. The amendment procedure shall comply with the provisions of s. 62.23, Stats., for cities and villages.
- (2) No amendments shall become effective until reviewed and approved by the Department.
- (3) All persons petitioning for a map amendment that obstructs flow causing any increase in the regional flood height, shall obtain flooding easements or other appropriate legal arrangements from all adversely affected property owners and notify local units of government before the amendment can be approved by the governing body.

9.0 ENFORCEMENT AND PENALTIES

Any violation of the provisions of this ordinance by any person shall be unlawful and shall be referred to the municipal attorney who shall expeditiously prosecute all such violators. A violator shall, upon conviction, forfeit to the municipality a penalty of not more than \$50.00 (fifty dollars), together with a taxable cost of such action. Each day of continued violation shall constitute a separate offense. Every violation of this ordinance is a public nuisance, and the creation may be enjoined, and the maintenance may be abated by action at suit of the municipality, the state, or any citizen thereof pursuant to s. 87.30, Stats

10.0 DEFINITIONS

Unless specifically defined, words and phrases in this ordinance shall have their common law meaning and shall be applied in accordance with their common usage. Words used in the present tense include the future, the singular number includes the plural and the plural number includes the singular. The word "may" is permissive, "shall" is mandatory and is not discretionary.

1. A ZONES – Those areas shown on the Official Floodplain Zoning Map which would be inundated by the regional flood. These areas may be numbered or unnumbered A Zones. The A Zones may or may not be reflective of flood profiles, depending on the availability of data for a given area.
2. AH ZONE – See “AREA OF SHALLOW FLOODING”.
3. AO ZONE – See “AREA OF SHALLOW FLOODING”.
4. ACCESSORY STRUCTURE OR USE – A facility, structure, building or use which is accessory or incidental to the principal use of a property, structure or building. An accessory structure shall not be used for human habitation.
5. ALTERATION – An enhancement, upgrade or substantial change or modification other than an addition or repair to a dwelling or to electrical, plumbing, heating, ventilating, air conditioning and other systems within a structure.
6. AREA OF SHALLOW FLOODING – A designated AO, AH, AR/AO, AR/AH, or VO zone on a community’s Flood Insurance Rate Map (FIRM) with a 1 percent or greater annual chance of flooding to an average depth of 1 to 3 feet where a clearly defined channel does not exist, where the path of flooding is unpredictable, and where velocity flood may be evident. Such flooding is characterized by ponding or sheet flow.
7. BASE FLOOD – Means the flood having a one percent chance of being equaled or exceeded in any given year, as published by FEMA as part of a FIS and depicted on a FIRM.
8. BASEMENT – Any enclosed area of a building having its floor sub-grade on all sides.
9. BREAKAWAY WALL – A wall that is not part of the structural support of the building and is intended through its design and construction to collapse under specific lateral loading forces, without causing damage to the elevated portion of the building or supporting foundation system.
10. BUILDING – See STRUCTURE.
11. BULKHEAD LINE – A geographic line along a reach of navigable water that has been adopted by a municipal ordinance and approved by the Department pursuant to s. 30.11, Stats., and which allows limited filling between this bulkhead line and the original ordinary highwater mark, except where such filling is prohibited by the floodway provisions of this ordinance.
12. CAMPGROUND – Any parcel of land which is designed, maintained, intended, or used for the purpose of providing sites for nonpermanent overnight use by 4 or more camping units, or which is advertised or represented as a camping area.
13. CAMPING UNIT – Any portable device, no more than 400 square feet in area, used as a temporary shelter, including but not limited to a camping trailer, motor home, bus, van, pick-up truck, or tent that is fully licensed, if required, and ready for highway use.
14. CERTIFICATE OF COMPLIANCE – A certification that the construction and the use of land or a building, the elevation of fill or the lowest floor of a structure is in compliance with all of the provisions of this ordinance.
15. CHANNEL – A natural or artificial watercourse with definite bed and banks to confine and conduct normal flow of water.
16. CRAWLWAYS or CRAWL SPACE – An enclosed area below the first usable floor of a building,

generally less than five feet in height, used for access to plumbing and electrical utilities.

17. DECK – An unenclosed exterior structure that has no roof or sides and has a permeable floor which allows the infiltration of precipitation.
18. DEPARTMENT – The Wisconsin Department of Natural Resources.
19. DEVELOPMENT – Any artificial change to improved or unimproved real estate, including, but not limited to, the construction of buildings, structures or accessory structures; the construction of additions or alterations to buildings, structures or accessory structures; the repair of any damaged structure or the improvement or renovation of any structure, regardless of percentage of damage or improvement; the placement of buildings or structures; subdivision layout and site preparation; mining, dredging, filling, grading, paving, excavation or drilling operations; the storage, deposition or extraction of materials or equipment; and the installation, repair or removal of public or private sewage disposal systems or water supply facilities.
20. DRYLAND ACCESS – A vehicular access route which is above the regional flood elevation, and which connects land located in the floodplain to land outside the floodplain, such as a road with its surface above regional flood elevation and wide enough for wheeled rescue and relief vehicles.
21. ENCROACHMENT – Any fill, structure, equipment, use or development in the floodway.
22. FEDERAL EMERGENCY MANAGEMENT AGENCY (FEMA) – The federal agency that administers the National Flood Insurance Program.
23. FLOOD INSURANCE RATE MAP (FIRM) – A map of a community on which the Federal Insurance Administration has delineated both the floodplain and the risk premium zones applicable to the community. This map can only be amended by the Federal Emergency Management Agency.
24. FLOOD or FLOODING – A general and temporary condition of partial or complete inundation of normally dry land areas caused by one of the following conditions:
 - The overflow or rise of inland waters;
 - The rapid accumulation or runoff of surface waters from any source;
 - The inundation caused by waves or currents of water exceeding anticipated cyclical levels along the shore of Lake Michigan or Lake Superior; or
 - The sudden increase caused by an unusually high-water level in a natural body of water, accompanied by a severe storm, or by an unanticipated force of nature, such as a seiche, or by some similarly unusual event.
25. FLOOD FREQUENCY – The probability of a flood occurrence which is determined from statistical analyses. The frequency of a particular flood event is usually expressed as occurring, on the average once in a specified number of years or as a percent (%) chance of occurring in any given year.
26. FLOODFRINGE – That portion of the floodplain outside of the floodway which is covered by flood waters during the regional flood and associated with standing water rather than flowing water.
27. FLOOD HAZARD BOUNDARY MAP – A map designating approximate flood hazard areas. Flood hazard areas are designated as unnumbered A-Zones and do not contain floodway lines or regional flood elevations. This map forms the basis for both the regulatory and insurance aspects of the National Flood Insurance Program (NFIP) until superseded by a Flood Insurance Study and a Flood Insurance Rate Map.
28. FLOOD INSURANCE STUDY – A technical engineering examination, evaluation, and

determination of the local flood hazard areas. It provides maps designating those areas affected by the regional flood and provides both flood insurance rate zones and base flood elevations and may provide floodway lines. The flood hazard areas are designated as numbered and unnumbered A-Zones. Flood Insurance Rate Maps, that accompany the Flood Insurance Study, form the basis for both the regulatory and the insurance aspects of the National Flood Insurance Program.

29. FLOODPLAIN – Land which has been or may be covered by flood water during the regional flood. It includes the floodway and the floodfringe and may include other designated floodplain areas for regulatory purposes.
30. FLOODPLAIN ISLAND – A natural geologic land formation within the floodplain that is surrounded, but not covered, by floodwater during the regional flood.
31. FLOODPLAIN MANAGEMENT – Policy and procedures to ensure wise use of floodplains, including mapping and engineering, mitigation, education, and administration and enforcement of floodplain regulations.
32. FLOOD PROFILE – A graph or a longitudinal profile line showing the relationship of the water surface elevation of a flood event to locations of land surface elevations along a stream or river.
33. FLOODPROOFING – Any combination of structural provisions, changes or adjustments to properties and structures, water and sanitary facilities and contents of buildings subject to flooding, for the purpose of reducing or eliminating flood damage.
34. FLOOD PROTECTION ELEVATION – An elevation of two feet of freeboard above the Regional Flood Elevation. (Also see: FREEBOARD.)
35. FLOOD STORAGE – Those floodplain areas where storage of floodwaters has been taken into account during analysis in reducing the regional flood discharge.
36. FLOODWAY – The channel of a river or stream and those portions of the floodplain adjoining the channel required to carry the regional flood discharge.
37. FREEBOARD – A safety factor expressed in terms of a specified number of feet above a calculated flood level. Freeboard compensates for any factors that cause flood heights greater than those calculated, including ice jams, debris accumulation, wave action, obstruction of bridge openings and floodways, the effects of watershed urbanization, loss of flood storage areas due to development and aggregation of the river or stream bed.
38. HABITABLE STRUCTURE – Any structure or portion thereof used or designed for human habitation.
39. HEARING NOTICE – Publication or posting meeting the requirements of Ch. 985, Stats. For appeals, a Class 1 notice, published once at least one week (7 days) before the hearing, is required. For all zoning ordinances and amendments, a Class 2 notice, published twice, once each week consecutively, the last at least a week (7 days) before the hearing. Local ordinances or bylaws may require additional notice, exceeding these minimums.
40. HIGH FLOOD DAMAGE POTENTIAL – Damage that could result from flooding that includes any danger to life or health or any significant economic loss to a structure or building and its contents.
41. HIGHEST ADJACENT GRADE – The highest natural elevation of the ground surface prior to construction next to the proposed walls of a structure.
42. HISTORIC STRUCTURE – Any structure that is either:

- Listed individually in the National Register of Historic Places or preliminarily determined by the Secretary of the Interior as meeting the requirements for individual listing on the National Register;
 - Certified or preliminarily determined by the Secretary of the Interior as contributing to the historical significance of a registered historic district or a district preliminarily determined by the Secretary to qualify as a registered historic district;
 - Individually listed on a state inventory of historic places in states with historic preservation programs which have been approved by the Secretary of the Interior; or
 - Individually listed on a local inventory of historic places in communities with historic preservation programs that have been certified either by an approved state program, as determined by the Secretary of the Interior; or by the Secretary of the Interior in states without approved programs.
43. INCREASE IN REGIONAL FLOOD HEIGHT – A calculated upward rise in the regional flood elevation greater than 0.00 foot, based on a comparison of existing conditions and proposed conditions which is directly attributable to development in the floodplain but not attributable to manipulation of mathematical variables such as roughness factors, expansion and contraction coefficients and discharge.
44. LAND USE – Any nonstructural use made of unimproved or improved real estate. (Also see DEVELOPMENT.)
45. LOWEST ADJACENT GRADE – Elevation of the lowest ground surface that touches any of the exterior walls of a building.
46. LOWEST FLOOR – The lowest floor of the lowest enclosed area (including basement).
47. MAINTENANCE – The act or process of ordinary upkeep and repairs, including redecorating, refinishing, nonstructural repairs, or the replacement of existing fixtures, systems or equipment with equivalent fixtures, systems, or structures.
48. MANUFACTURED HOME – A structure transportable in one or more sections, which is built on a permanent chassis and is designed to be used with or without a permanent foundation when connected to required utilities. The term "manufactured home" includes a mobile home but does not include a "mobile recreational vehicle."
49. MOBILE/MANUFACTURED HOME PARK OR SUBDIVISION – A parcel (or contiguous parcels) of land, divided into two or more manufactured home lots for rent or sale.
50. MOBILE/MANUFACTURED HOME PARK OR SUBDIVISION, EXISTING – A parcel of land, divided into two or more manufactured home lots for rent or sale, on which the construction of facilities for servicing the lots is completed before the effective date of this ordinance. At a minimum, this would include the installation of utilities, the construction of streets and either final site grading or the pouring of concrete pads.
51. MOBILE/MANUFACTURED HOME PARK, EXPANSION TO EXISTING – The preparation of additional sites by the construction of facilities for servicing the lots on which the manufactured homes are to be affixed. This includes installation of utilities, construction of streets and either final site grading, or the pouring of concrete pads.
52. MOBILE RECREATIONAL VEHICLE – A vehicle which is built on a single chassis, 400 square feet or less when measured at the largest horizontal projection, designed to be self-propelled, carried or permanently towable by a licensed, light-duty vehicle, is licensed for highway use if registration is required and is designed primarily not for use as a permanent dwelling, but as

temporary living quarters for recreational, camping, travel or seasonal use. Manufactured homes that are towed or carried onto a parcel of land, but do not remain capable of being towed or carried, including park model homes, do not fall within the definition of "mobile recreational vehicles."

53. MODEL, CORRECTED EFFECTIVE – A hydraulic engineering model that corrects any errors that occur in the Duplicate Effective Model, adds any additional cross sections to the Duplicate Effective Model, or incorporates more detailed topographic information than that used in the current effective model.
54. MODEL, DUPLICATE EFFECTIVE – A copy of the hydraulic analysis used in the effective FIS and referred to as the effective model.
55. MODEL, EFFECTIVE – The hydraulic engineering model that was used to produce the current effective Flood Insurance Study.
56. MODEL, EXISTING (PRE-PROJECT) – A modification of the Duplicate Effective Model or Corrected Effective Model to reflect any man-made modifications that have occurred within the floodplain since the date of the effective model but prior to the construction of the project for which the revision is being requested. If no modification has occurred since the date of the effective model, then this model would be identical to the Corrected Effective Model or Duplicate Effective Model.
57. MODEL, REVISED (POST-PROJECT) – A modification of the Existing or Pre-Project Conditions Model, Duplicate Effective Model or Corrected Effective Model to reflect revised or post-project conditions.
58. MUNICIPALITY or MUNICIPAL – The county, city or village governmental units enacting, administering, and enforcing this zoning ordinance.
59. NAVD or NORTH AMERICAN VERTICAL DATUM – Elevations referenced to mean sea level datum, 1988 adjustment.
60. NGVD or NATIONAL GEODETIC VERTICAL DATUM – Elevations referenced to mean sea level datum, 1929 adjustment.
61. NEW CONSTRUCTION – Structures for which the start of construction commenced on or after the effective date of a floodplain zoning regulation adopted by this community and includes any subsequent improvements to such structures.
62. NON-FLOOD DISASTER – A fire or an ice storm, tornado, windstorm, mudslide, or other destructive act of nature, but excludes a flood.
63. NONCONFORMING STRUCTURE – An existing lawful structure or building which is not in conformity with the dimensional or structural requirements of this ordinance for the area of the floodplain which it occupies. (For example, an existing residential structure in the floodfringe district is a conforming use. However, if the lowest floor is lower than the flood protection elevation, the structure is nonconforming.)
64. NONCONFORMING USE – An existing lawful use or accessory use of a structure or building which is not in conformity with the provisions of this ordinance for the area of the floodplain which it occupies. (Such as a residence in the floodway.)
65. OBSTRUCTION TO FLOW – Any development which blocks the conveyance of floodwaters such that this development alone or together with any future development will cause an increase in

regional flood height.

66. OFFICIAL FLOODPLAIN ZONING MAP – That map, adopted and made part of this ordinance, as described in s. 1.5(2), which has been approved by the Department and FEMA.
67. OPEN SPACE USE – Those uses having a relatively low flood damage potential and not involving structures.
68. ORDINARY HIGHWATER MARK – The point on the bank or shore up to which the presence and action of surface water is so continuous as to leave a distinctive mark such as by erosion, destruction or prevention of terrestrial vegetation, predominance of aquatic vegetation, or other easily recognized characteristic.
69. PERSON – An individual, or group of individuals, corporation, partnership, association, municipality, or state agency.
70. PRIVATE SEWAGE SYSTEM – A sewage treatment and disposal system serving one structure with a septic tank and soil absorption field located on the same parcel as the structure. It also means an alternative sewage system approved by the Department of Safety and Professional Services, including a substitute for the septic tank or soil absorption field, a holding tank, a system serving more than one structure, or a system located on a different parcel than the structure.
71. PUBLIC UTILITIES – Those utilities using underground or overhead transmission lines such as electric, telephone and telegraph, and distribution and collection systems such as water, sanitary sewer, and storm sewer.
72. REASONABLY SAFE FROM FLOODING – Means base flood waters will not inundate the land or damage structures to be removed from the floodplain and that any subsurface waters related to the base flood will not damage existing or proposed buildings.
73. REGIONAL FLOOD – A flood determined to be representative of large floods known to have occurred in Wisconsin. A regional flood is a flood with a one percent chance of being equaled or exceeded in any given year, and if depicted on the FIRM, the RFE is equivalent to the BFE.
74. START OF CONSTRUCTION – The date the building permit was issued, provided the actual start of construction, repair, reconstruction, rehabilitation, addition, placement, or other improvement was within 180 days of the permit date. The actual start means either the first placement of permanent construction on a site, such as the pouring of slab or footings, the installation of piles, the construction of columns, or any work beyond initial excavation, or the placement of a manufactured home on a foundation. Permanent construction does not include land preparation, such as clearing, grading, and filling, nor does it include the installation of streets and/or walkways, nor does it include excavation for a basement, footings, piers or foundations or the erection of temporary forms, nor does it include the installation on the property of accessory buildings, such as garages or sheds not occupied as dwelling units or not part of the main structure. For an alteration, the actual start of construction means the first alteration of any wall, ceiling, floor, or other structural part of a building, whether or not that alteration affects the external dimensions of the building.
75. STRUCTURE – Any manmade object with form, shape and utility, either permanently or temporarily attached to, placed upon or set into the ground, stream bed or lakebed, including, but not limited to, roofed and walled buildings, gas or liquid storage tanks, bridges, dams and culverts.

76. **SUBDIVISION** – Has the meaning given in s. 236.02(12), Wis. Stats.
77. **SUBSTANTIAL DAMAGE** – Damage of any origin sustained by a structure, whereby the cost of restoring the structure to its pre-damaged condition would equal or exceed 50 percent of the equalized assessed value of the structure before the damage occurred.
78. **SUBSTANTIAL IMPROVEMENT** – Any repair, reconstruction, rehabilitation, addition or improvement of a building or structure, the cost of which equals or exceeds 50 percent of the equalized assessed value of the structure before the improvement or repair is started. If the structure has sustained substantial damage, any repairs are considered substantial improvement regardless of the work performed. The term does not include either any project for the improvement of a building required to correct existing health, sanitary or safety code violations identified by the building official and that are the minimum necessary to assure safe living conditions; or any alteration of a historic structure provided that the alteration will not preclude the structure's continued designation as a historic structure.
79. **UNNECESSARY HARDSHIP** – Where special conditions affecting a particular property, which were not self-created, have made strict conformity with restrictions governing areas, setbacks, frontage, height, or density unnecessarily burdensome or unreasonable in light of the purposes of the ordinance.
80. **VARIANCE** – An authorization by the board of adjustment or appeals for the construction or maintenance of a building or structure in a manner which is inconsistent with dimensional standards (not uses) contained in the floodplain zoning ordinance.
81. **VIOLATION** – The failure of a structure or other development to be fully compliant with the floodplain zoning ordinance. A structure or other development without required permits, lowest floor elevation documentation, floodproofing certificates or required floodway encroachment calculations is presumed to be in violation until such time as that documentation is provided.
82. **WATERSHED** – The entire region contributing runoff or surface water to a watercourse or body of water.
83. **WATER SURFACE PROFILE** – A graphical representation showing the elevation of the water surface of a watercourse for each position along a reach of river or stream at a certain flood flow. A water surface profile of the regional flood is used in regulating floodplain areas.
84. **WELL** – means an excavation opening in the ground made by digging, boring, drilling, driving or other methods, to obtain groundwater regardless of its intended use.

PASSED and ADOPTED this 23rd day of September, 2024

Village of Kronenwetter

By: _____

Chris Voll, Village President

ATTEST: 09/23/2024

By: _____

Bobbi Birk-LaBarge, Clerk

POLICY ID: FIN-006		TITLE: Disposal of Surplus Public Property	
<input type="checkbox"/> ORIGINAL	<input checked="" type="checkbox"/> REVISION	APPROVED BY VILLAGE BOARD:	DATE:
EFFECTIVE DATE: Version 1: 03/26/2012 Version 2: 02/26/2019		_____	
		Village Clerk	
APPLIES TO:		<input checked="" type="checkbox"/> FLSA EXEMPT	<input checked="" type="checkbox"/> FLSA NON-EXEMPT
		<input checked="" type="checkbox"/> REPRESENTED EMPLOYEES	<input checked="" type="checkbox"/> Non-REPRESENTED EMPLOYEES
<i>This policy applies to all Village of Kronenwetter employees in the categories checked in this section. Provisions within individual personal contracts or a collective bargaining agreement may supersede certain parts of this policy.</i>			

Purpose - It is in the best interest of the Village to control the method for disposal of the materials and property of the Village that are deemed to be no longer suitable or useful to the Village. This policy is being put in place to allow for their removal from the Fixed Asset registry and to ensure that any funds that are acquired through the disposal of the property can be properly accounted for within the accounting system.

Procedure - The procedure for disposal of surplus property shall be as follows:

1. When equipment is found to be no longer suitable or useful to the Village, the prevailing department head shall be notified. The department head will then send a list of these items to the Village clerk, the estimated value of the item, and the reason for their disposal.
2. The Village Clerk or his or her designee shall then place in resolution form the items to be disposed of and shall place the resolution on the agenda of the Village Board for action.
3. Once the Village Board has taken action to dispose of the items in question the prevailing department head shall then take one of the following actions:
 - a. In the case where the item still retains some value, the item shall be placed on a publicly available auction and the item shall be sold to the highest responsible bidder. If the items do not sell within 2 auction cycles the Village Administrator can donate the item(s).
 - b. In the case where the items are in poor working order or damaged beyond repair they will be disposed of by recycling companies or waste management.
 - c. Items may also be donated or sold directly to other local government entities if approved by the Village Board.
 - d. Items that have a value of less than \$50, shall be disposed of by the Village Administrator after disposal is approved by the Village Board.
 - e. Anything that needs to be E-Cycled and would cost the Village money, can be donated.
4. Monies from the sale of surplus property, including sales to individuals, recycling or waste management companies, will be turned into the Village Treasurer and be recorded as a miscellaneous income for the prevailing department.



REVISED VILLAGE BOARD MEETING MINUTES

September 09, 2024 at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL MEETING TO ORDER

President Chris Voll called the meeting to order at 6:00 PM

A. Pledge of Allegiance

Those in attendance recited the pledge of allegiance.

B. Roll Call

PRESENT

- Trustee Alex Vedvik
- Trustee Chris Eiden
- Trustee Kelly Coyle
- Trustee Aaron Myszka
- Trustee Cindy Lee Buchkowski-Hoffmann
- Trustee Ken Charneski
- Village President Chris Voll

STAFF PRESENT

- Police Chief Terry McHugh
- Fire Chief Theresa O'Brien
- Finance Director Lisa Kerstner
- Public Works Director Greg Ulman
- Village Clerk Bobbi Blrk-LaBarge

2. ANNOUNCEMENT OF CLOSED SESSION

President Chris Voll announced upcoming closed session.

3. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

Bernie Kramer- 2150 State Highway 153 Peplin; expressed concerns about the decision to extend the life of TID 2, questioning the logic behind this extension given his conception of the current residential exhaustion and the lack of new business within the Tax Increment Districts.

Mel Konkle- 1747 Kowalski Road; raised issues regarding allegations of harassment through text messages by individuals within the office, as described in an unspecified article. Konkle also questioned the feasibility and cost-effectiveness of purchasing an ambulance compared to relying on the nearby communities' services.

4. REPORTS FROM STAFF AND VENDORS

C. Police Chief Report

Police Chief Terry McHugh gave a report on his department's activities in August, mentioning it was a busy month. The Chief also noted the department's involvement in the recent Trump Rally event at the Central Wisconsin Airport. A citizen asked about safety improvements for an intersection where a significant accident occurred. The Chief noted that it had been discussed at the county level and further dialogue was necessary for any potential improvements.

D. Fire Chief Report

Fire Chief Theresa O'Brien reported a busy August for the department. They participated in various volunteer events and assisted in a recent airport event. The discussion confirmed cooperative efforts with nearby municipalities during joint emergency responses.

SPECIAL ORDERS

Ambulance Sub Committee Meeting Update

Trustee Alex Vedvik, who is also the chairperson of the Ambulance Subcommittee provided an update on the newly structured subcommittee focusing on the feasibility and implementation of a local ambulance service. Trustee Vedvik noted the committee is following a framework established by the former administrator, focusing on a comprehensive review and assessment with a working timeline. Vedvik further explained the intent is to present factual information, countering misinformation, and using social media to keep the community informed on developments. The subcommittee planned another meeting to address these issues.

5. NEW BUSINESS

E. Repair due to leak Issue in the Butterfly Valve of the Main Piping to Well #1

Director of Public Works Greg Ulman outlined a necessary repair to address a leak in the butterfly valve. Approval from the DNR was needed for the use of stainless steel to prevent corrosion. Motion made by Trustee Eiden, Seconded by Trustee Myszka to approve the contract with CTW Wells for an amount not to exceed \$6,912. Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll Motion carried 7:0 by roll call vote.

F. Contract for Service - Costs for Sunny Court Road Improvements with American Asphalt of Wisconsin

Director of Public Works Greg Ulman presented the costs for improvements to Sunny Court Road, emphasizing the importance of keeping to projects already outlined. Motion made by Trustee Coyle, Seconded by Trustee Buchkowski-Hoffmann to approve American Asphalt's contract for Sunny Court Road in the amount of \$130,655. Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll Motion 7:0 by roll call vote.

G. 2024 Road Maintenance Additions

President Chris Voll states due to time constraints they had to bypass the Administrative Policy Committee on this agenda item. Ulman states there are \$15000.00 in remaining funds to be used to fix roads in the village. Motion made by Trustee Eiden, Seconded by Trustee Vedvik to approve spending \$15,000.00 to paint and crack fill the roads. Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll Motion carried 7:0 by roll call vote

6. CONSENT AGENDA

H. August 26, 2024, Village Board Meeting Minutes

The consent agenda included only the minutes from previous meetings. As the August 26, 2024, meeting minutes were missing from the packet, no action was taken. The minutes will be placed on the September 23, 2024, Village Board meeting.

7. PREVIOUS MEETING MINUTES FROM COMMISSIONS AND COMMITTEES

President Chris Voll thanked the committees for sharing their minutes.

I. May 6, 2024, Community Life, Infrastructure and Public Property (CLIPP) Committee Meeting Minutes

No questions or comments were made; the minutes were acknowledged.

J. July 2, 2024, UC Meeting Minutes

No questions or comments were made; the minutes were acknowledged.

8. CLOSED SESSION

Consideration of motion to convene into closed session pursuant to Wis. Stat. 19.85 (1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session– to wit Labor Agreement with Wisconsin Professional Police Association

K. Labor Agreement with the Wisconsin Professional Police Association

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to move into closed session at 6:31 PM
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll
President Voll invited Finance Director Lisa Kerstner and Village Clerk Bobbi Birk-LaBarge to stay for a closed session.

Closed session began at 6:33 PM

9. RECONVENE OPEN SESSION

Consideration of motion to reconvene into open session.

Motion made by Trustee Coyle, Seconded by Trustee Myszka to reconvene into open session at 7:13 PM
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll
Motion carried 7:0 by voice vote.

10. ACTION AFTER CLOSED SESSION

L. Labor Agreement with the Wisconsin Professional Police Association

Motion made by Trustee Eiden, Seconded by Trustee Coyle to continue negotiations with the Wisconsin Professional Police Association.
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll
Motion carried 7:0 by voice vote.

11. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

No items were specifically identified for future agendas during the meeting.

12. ADJOURNMENT

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to adjourn.
Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll
Motion carried 7:0 by voice vote
The meeting was adjourned at 7:14 PM

Minutes Prepared by: Clerk Bobbi Birk-LaBarge
Minutes Approved by Village Board on September 23, 2024

Village of Kronenwetter Closed Session Village Board Meeting Minutes

Meeting Date and Time	
Date of Meeting:	September 09, 2024
Meeting Location	
Location of Meeting:	Kronenwetter Municipal Center 1582 Kronenwetter Dr Kronenwetter, Wisconsin 54455
CLOSED SESSION Meeting Attendees	
Present at Meeting:	President Chris Voll Trustee Chris Eiden Trustee Cindy Lee Buchkowski-Hoffmann Trustee Ken Charneski Trustee Alex Vedvik Trustee Aaron Myszka Trustee Kelly Coyle

The regular meeting of the Village Board of Village of Kronenwetter was called to order at 6:00 PM on September 09, 2024, at Kronenwetter Municipal Center by President Chris Voll.

I. Approval of Closed Session

Consideration of motion to convene into closed session pursuant to Wis. Stat. 19.85 (1)(e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session– *to wit Labor Agreement with Wisconsin Professional Police Association*

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to move into closed session at 6:31 PM

Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll

President Voll invited Finance Director Lisa Kerstner and Village Clerk Bobbi Birk-LaBarge to stay for a closed session.

Closed session began at 6:33 PM

Items discussed in Closed Session were: Labor Agreement with the Wisconsin Professional Police Association

Motion made by Trustee Coyle, Seconded by Trustee Myszka to reconvene into open session at 7:13 PM. Voting Yea: Trustee Vedvik, Trustee Eiden, Trustee Coyle, Trustee Myszka, Trustee Buchkowski-Hoffmann, Trustee Charneski, Village President Voll. Motion carried 7:0 by voice vote.

The open session began at 7:13 PM

Minutes Prepared by: Clerk Bobbi Birk-LaBarge
Approved by Village Board on September 23, 2024



AMBULANCE SUBCOMMITTEE

September 10, 2024 at 6 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)
All Agenda Items Listed Are for Discussion and Possible Action

1. CALL MEETING TO ORDER

Chairperson Trustee Alex Vedvik called the meeting to order at 6 p.m.

A. Pledge of Allegiance

Those in attendance were invited to recite the Pledge of Allegiance.

B. Roll Call

***PRESENT:** Trustee Alex Vedvik, Terry Lewis-Birkett, Pat Kilsdonk, Rick Smith, Pam Kijak, Laura Berry, ALTERNATE Judy Fries, Trustee Cindy Lee Buchkowski-Hoffmann arrived at 6:01 p.m.*

***STAFF:** Fire Chief Theresa O'Brien, EMS Coordinator Alexa Kufalk, Clerk Jennifer Poyer*

2. PUBLIC COMMENT

***Bernie Kramer, 2150 E State Hwy 153, Peplin, WI :** Kramer commented on the financial information presented in the packet. He asked for clarification on the numbers.*

***Guy Fredel, 2240 Ruby Drive, Kronenwetter, WI :** Fredel said the financial projections are based on certain assumptions. He read from the Kronenwetter Ambulance Proposal Review provided by James Small, Rural EMS Outreach Program Manager, as well as, a document received from former Interim Administrator Kim Manley regarding the Pardeeville District Ambulance Service.*

3. APPROVAL OF MINUTES

A. Approval of the August 27, 2024 Ambulance Subcommittee Meeting Minutes

Motion by Smith/Kilsdonk to approve the August 27, 2024 Ambulance Subcommittee Meeting Minutes. Motion carried by voice vote. 7:0

4. NEW BUSINESS

A. RFPs Ambulance Billing and Equipment

Fire Chief Theresa O'Brien presented ambulance and equipment costs and quotes. No action taken.

B. Project Plan/Timeline

EMS Coordinator Alexa Kufalk presented two plans. No action taken.

C. Financial aspect of overall operations

1. Review of financial statements

2. Review of equipment and vehicle costs

3. Review of operational efficiencies

4. Analysis of staff scheduling costs and needs

Trustee Alex Vedvik presented his Debt Analysis Kronenwetter, Ambulance Summary AJV, Riverside Fire District Response to Kronenwetter and Riverside Fire District EMS Costs for Kronenwetter and answered questions regarding his calculations. No action taken.

D. Committee Dialogue – Q&A session

Committee members discussed the possible merger between SAFER and Riverside Fire District. There is an upcoming meeting to discuss the possible merger on September 26, 2024 at 4 p.m. No action taken.

E. Project Tracking Spreadsheet

5. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

RFPs, ambulance purchasing, Gantt Chart, analysis of staffing

6. NEXT MEETING: 6 p.m., Tuesday, September 17, 2024

7. ADJOURNMENT

*Motion by Buchkowski-Hoffmann/Smith to adjourn the August 27, 2024 Ambulance Subcommittee Meeting.
Motion carried by voice vote. 7:0.*

Meeting adjourned at 8:16 p.m.