



PLAN COMMISSION MEETING AGENDA

February 16, 2026 at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL MEETING TO ORDER

- A. Pledge of Allegiance
- B. Roll Call

2. ANNOUNCEMENT OF PUBLIC HEARING

- C.** CONDITIONAL USE PERMIT (Jesse Hintz): 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.
- D.** ZONING CHANGE REQUEST (Rad Pandit): APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

3. CLOSE PUBLIC HEARING

4. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

5. APPROVAL OF MINUTES- DISCUSSION AND POSSIBLE ACTION

- E.** 2025 12 15 Plan Commission Meeting Minutes

6. REPORTS AND DISCUSSIONS

- F.** Community Development/Planning and Zoning Director Report.

7. NEW BUSINESS- DISCUSSION AND POSSIBLE ACTION

- G.** Conditional Use Permit (Jesse Hintz)
- H.** Zoning Change Request (Rad Pandit)
- I.** Site Plan Premier Property Development
- J.** Review the process to Reverse Plan Commission Decisions.
- K.** Marathon County 2026 Comprehensive Plan: Public Hearing Notification

8. NEXT MEETING: MARCH 16, 2026

9. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

10. ADJOURNMENT

NOTE: Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made at least 24 hours in advance to the Village Clerk's office at (715) 693-4200 during business hours.

Posted: 02/13/2026 Kronenwetter Municipal Center and www.kronenwetter.org
Faxed: WAOW, WSAU, City Pages, Mosinee Times | Emailed: Wausau Daily Herald, WSAW, WAOW, Mosinee Times, Wausau Pilot and Review, City Pages



Report to Planning Commission

Agenda Item: Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455. Conditional Use Permit Application for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.

Meeting Date: February 16, 2026

Referring Body: Plan Commission

Committee Contact: Dan Lesniak

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.

OBJECTIVE(S): To review the Conditional Use Permit and related documents for a Residential Business to operate a Copper Wire Recovery business.

HISTORY/BACKGROUND: Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.

RECOMMENDED ACTION: The Plan Commission may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial.

G. Review criteria for conditional use permit. Each requested conditional use permit shall meet the following criteria (achieve "yes" answers) to be approved:

- (1) Is the proposed conditional use in harmony with the comprehensive plan, this chapter, and any other plan, program, or ordinance adopted by the village?
- (2) The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the comprehensive plan, or any other plan, program, map, or ordinance adopted by the village?
- (3) Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
- (4) Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

(5) Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?

Section 2, Item C.

Note: See Staff's Report for comments as it relates to each of the criteria mentioned above.

2017 Act 67

- requires that standards governing conditional uses be “reasonable and, to the extent practicable, measurable...”
- prohibits a community from basing a conditional use permit decision on “personal preferences or speculation.”
- instructs that, where an applicant “meets or agrees to meet all of the requirements and conditions specified” in the ordinance or imposed by the decision-maker, the conditional use permit must be granted.

ATTACHMENTS: Conditional Use Permit application and Staff Report.

**JESSE HINTZ, CONDITIONAL USE PERMIT APPLICATION FOR A RESIDENTIAL BUSINESS
(COPPER WIRE RECOVERY) AT 1589 KOWALSKI ROAD, KRONENWETTER, WI 54455.**

TAX PARCEL ID NUMBER: 145-2707-111-0996

STAFF REPORT FOR PLAN COMMISSION

**PUBLIC HEARINGS/
MEETINGS:**

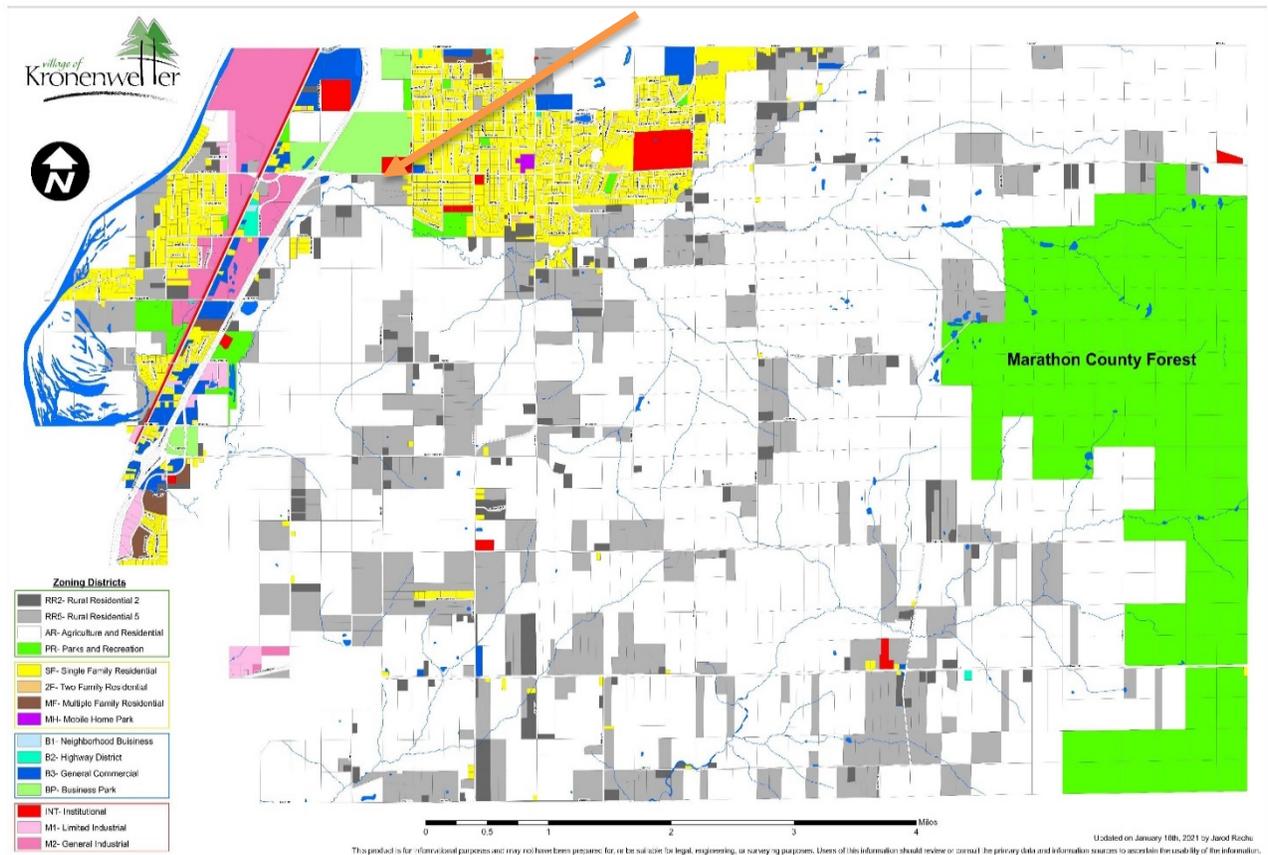
Plan Commission Public Hearing: 6:00 p.m. February 16, 2026

APPLICANT:

Jesse Hintz
160711 County Rd C
Mosinee, WI 54455.

LOCATION OF REQUEST: 1589 Kowalski Road, Kronenwetter, WI 54455. (See Map 1)

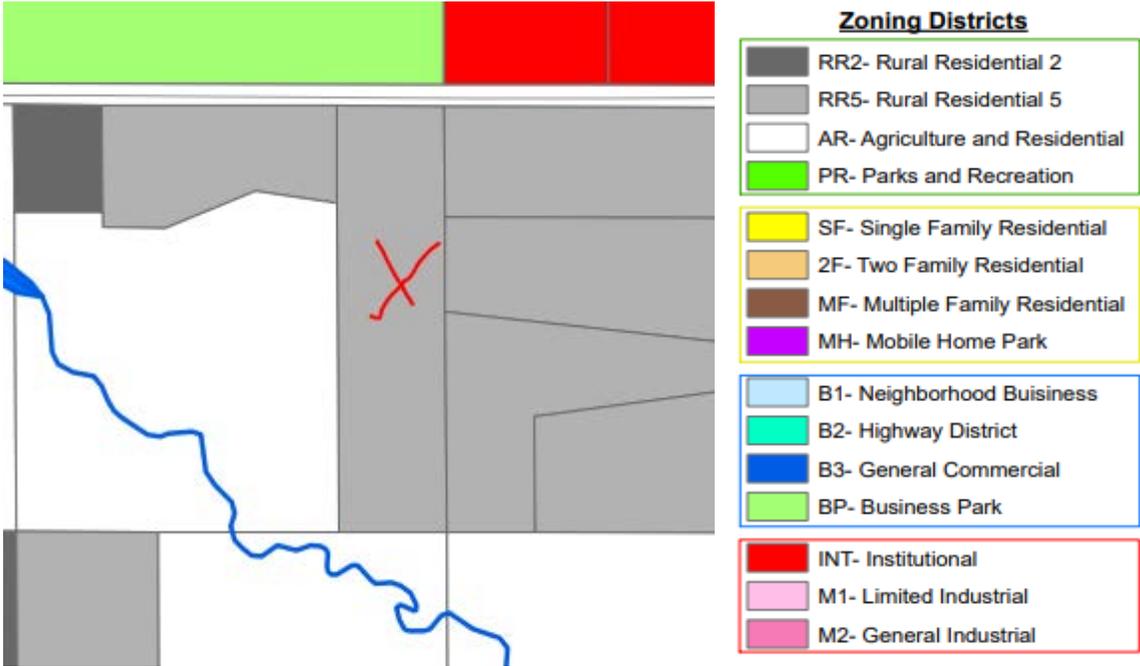
VILLAGE OF KRONENWETTER OFFICIAL ZONING MAP



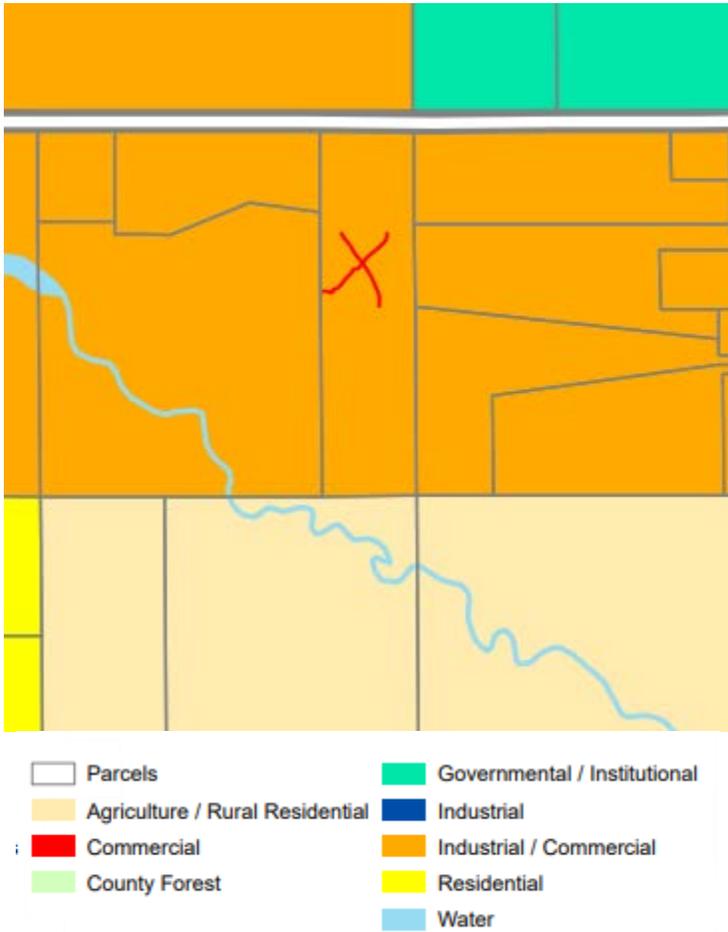
Map 1: Location Map
(Source Data: Village of Kronenwetter Zoning Map)



Map 2: Aerial Photo
(Source Data: Marathon County GIS)



Map 3: Zoning Map
(Source Data: Village of Kronenwetter)



Map 4: Future Land Use Map
(Source Data: Village of Kronenwetter)

LEGAL DESCRIPTION OF PROPERTY:

SEC 11-27-07 PT OF NW 1/4 NE 1/4 E 330' THRF -- PLAT OF SURVEY 9/14/2021

ZONING:

RR5 – Rural Residential 5

ACREAGE:

9.7310 acres

LEGAL NOTIFICATION:

A legal advertisement was published in the Wausau Daily Herald on Monday, February 2, 2026 and Monday, February 9, 2026. Notice of the zoning change request was sent by regular mail to adjacent property owners within 500 feet of the subject property on February 5, 2026.

PROPOSED CONDITIONAL USE: CONDITIONAL USE PERMIT for a RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY).

**DEVELOPMENT
PATTERN (AND
ZONING):**

Subject Property: RR5
North: BP and INT
South: AR
East: RR5
West: AR

INTRODUCTION

Jesse Hintz requests a Conditional Use Permit for a RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY). The proposed conditional use consists of purchasing copper wire direct from contractors, businesses and other companies. Purchased wire is sorted, condensed, and either stripped or granulated into bare product.

Copper product is sold directly to local foundries. This process will occur in one of the larger out buildings on the property southwest of the home. All materials, equipment and operations will be inside. There will be no visible alterations made to the property or buildings. The proposed residential business will not affect neighboring properties or traffic flow.

All requirements of § 520-27. - Accessory and miscellaneous land use types. F. Residential business will be met.

RECOMMENDED MOTION

The Plan Commission may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial.

Each requested conditional use permit shall meet the following criteria (achieve "yes" answers) to be approved. Below you find Staff’s comments as it relates to each.

2017 Act 67

- requires that standards governing conditional uses be “reasonable and, to the extent practicable, measurable...
- prohibits a community from basing a conditional use permit decision on “personal preferences or speculation.”
- instructs that, where an applicant “meets or agrees to meet all of the requirements and conditions specified” in the ordinance or imposed by the decision-maker, the conditional use permit must be granted.
-

FINDINGS OF FACT CONDITIONAL USE

1. Is the proposed conditional use in harmony with the Comprehensive Plan, this chapter, and any other plan, program, or ordinance adopted by the Village?

The proposed Conditional Use Permit for a RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY) is located on property zoned RR5. The proposed use is allowed with the issuance of a Conditional Use Permit within RR5 – Rural Residential 5 Zoning District. A purpose of the ordinance is to implement the comprehensive plan to the extent possible under zoning. The Future

Land Use Map has this parcel zoned Industrial/Commercial. This type of business would be a permitted use in a Commercial/Industrial Zoning District.

2. The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted by the Village?

By meeting the requirements of the Zoning Ordinance § 520-27. - Accessory and miscellaneous land use types. F. Residential business. The proposed conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values within the area. Due to size of the parcel, its rural location and the fact all activities will be inside an insulated building there will be minimal impact on the property and surrounding area as it relates to those the factors mentioned above.

3. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The parcel is zoned RR5 and surrounded by a BP, INT,RR5 and AR zoned properties. The conditional use will not impede the normal and orderly development and improvement of the surrounding properties for uses permitted in these zoning districts. All materials, equipment and operations will be inside a well insulated building. There will be no visible alterations made to the property or buildings. As a result, the land use, land use intensity and land use impacts remain unchanged.

4. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

No other improvements, facilities, utilities or services are required.

5. Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?

The proposed RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY) aligns with the Villages goal of encouraging small business growth. The business will operate on a rural property in a manner respectful of the rural residential character of Kronenwetter. Copper wire sorting, condensing, stripping and granulating will all occur within the confines of an insulated outbuilding approximately 1000ft from any adjacent dwelling.

Conditional Use Permit Application

Application Fee: \$350 Regular Meeting / \$500 Special Meeting

A conditional use is a unique use which, because of its distinct characteristics, cannot be classified in any particular district or districts, without consideration, in each case, of the impact of that use upon neighboring land and of the public need for the particular use at the particular location.

Plan Commission Meetings are held on the 3rd Monday of each month. Although not required, it is recommended that the applicant attend these meetings.



Applicant Information

1. Applicant Name Jesse Hintz Phone Number 715-340-0690

Address 160711 County Rd C Mosinee WI 54455

Email wisconsinwirerecovery@outlook.com

2. Owner Name Jesse Hintz Phone Number 715-340-0690

Address 160711 County Rd C Mosinee WI 54455

Email wisconsinwirerecovery@outlook.com

3. Prepared By Company Name Wisconsin Wire Recovery LLC Name Jesse Hintz

Address 169116 Brickyard Drive Kagle WI 54471

Phone Number 715-340-0690 Email wisconsinwirerecovery@outlook.com

Property Information

4. Property Address 1589 Kowalski Rd Mosinee, WI 54455

5. Parcel Identification # (PIN) 145-2707-111-0996 6. Parcel Acreage 9.7310

7. Legal Description (attach additional sheet if necessary) SEC 11-27-07 PT OF NW 1/4 NE 330' TRAF

8. Conditional Use request from § 520-27(F) of the Zoning Ordinance to allow Residential Business in RR5

9. Generally describe the current zoning and land uses of the subject property and surrounding properties:

Subject Property	<u>145-2707-111-0996</u>	Zoning	<u>RR5</u>
North	<u>Pine trees / School</u>	Zoning	<u>BP / INT</u>
South	<u>Woods / marsh</u>	Zoning	<u>AR</u>
East	<u>Open field</u>	Zoning	<u>RR5</u>
West	<u>Woods</u>	Zoning	<u>AR</u>

Required Attachments

Attach a written statement of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations.

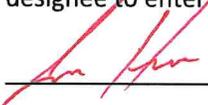
Attach a site plan of the subject property, with any alterations as may be proposed to accommodate the conditional use.

Attach a written justification for the proposed conditional use consisting of the reasons why the applicant believes the proposed conditional use is appropriate, particularly as evidenced by compliance with the approval criteria:

- Is the proposed conditional use in harmony with the Comprehensive Plan, this chapter, and any other plan, program, or ordinance adopted by the Village?
- The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvement, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the Comprehensive Plan, or other plan, program, map or ordinance adopted by the Village?
- Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
- Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?
- Dose the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditionals use, after taking into consideration the applicant’s proposal and any requirements recommended by the applicant to ameliorate such impacts?

Applicant Acknowledgement

To the best of my knowledge, I certify that the information provided on this application and accompanying documents are true and accurate. I also understand that submitting this application authorizes the Zoning Administrator or his/her designee to enter onto the property for the purposed outlined operation.



Applicant

01/20/2026

Date

Owner

Date

Prepared By

Date

FOR OFFICE USE ONLY:

Application Received 1/21/2026

Check # 3303

Plan Commission:

Meeting Date 2/16/2026

Recommendation: Approved / Denied

Renewal Recommendation: 1 year 2 year 3 year 4 year 5 year

Conditions (see attached)

The business consists of purchasing copper wire direct from contractors, businesses, and other companies. This is done by pickup or drop off by scheduled appointments.

Once wire is purchased it is sorted, condensed, and either stripped or granulated into bare copper product.

copper product is sold direct to local foundries for remelt.

This process will all be done in the one larger out building southwest of the house. All materials and equipment will be inside.

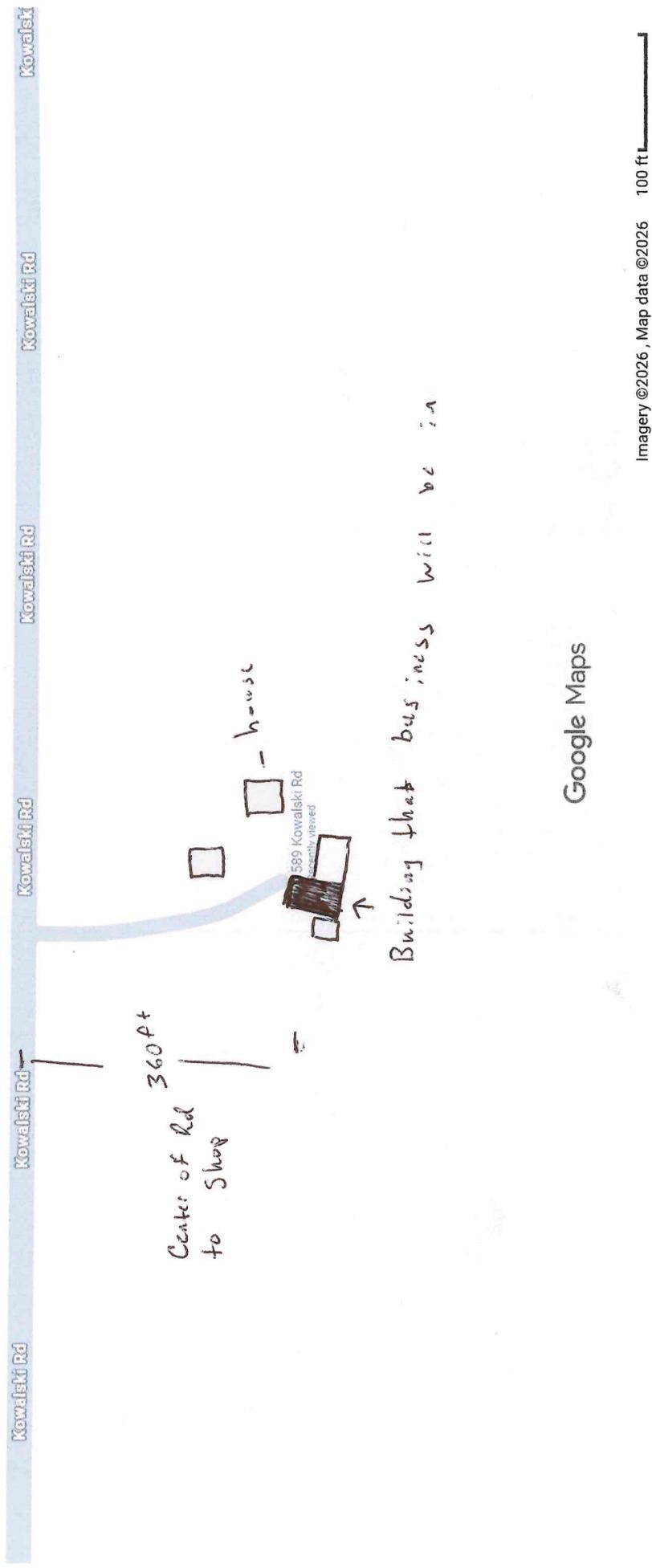
No visible alterations will be will be made to the property or buildings.

This business being at this location will not effect any neighboring properties, will not effect traffic flow, in fact you probably wont even know its there.

School
1264 ft



Google Maps



Google Maps

Imagery ©2026, Map data ©2026

Section 2, Item C.



**PUBLIC HEARING
VILLAGE OF KRONENWETTER PLAN COMMISSION**

Notice is hereby given that a Public Hearing will be held on Monday, February 16, 2026 at 6:00 P.M., at the Kronenwetter Municipal Center, 1582 Kronenwetter Drive, Kronenwetter, WI 54455, to hear and consider the following:

CONDITIONAL USE PERMIT (Jesse Hintz)

Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455. Tax Parcel ID Number: 145-2707-111-0996 . Legal description of subject property: SEC 11-27-07 PT OF NW 1/4 NE 1/4 E 330' THRF -- PLAT OF SURVEY 9/14/2021. 9.7310 Acres.

ZONING CHANGE REQUEST (Rad Pandit)

APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA, 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

Written testimony may be forwarded to the Village of Kronenwetter Community Development/Planning and Zoning Director, Peter S. Wegner, 1582 Kronenwetter Drive, Kronenwetter, WI 54455 or emailed to pwegner@kronenwetter.gov before the time of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.



Report to Planning Commission

Agenda Item: Zoning Change Request: APG NWI LLC, Rad Pandit (no address) County Road X, Kronenwetter, WI 54455.

Meeting Date: February 16, 2026

Referring Body: Plan Commission

Committee Contact: Dan Lesniak

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Zoning Change Request: APG NWI LLC, Rad Pandit (no address) County Road X, Kronenwetter, WI 54455.

OBJECTIVE(S): To review the Zoning Change Request

HISTORY/BACKGROUND: APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

The existing 4.392acre parcel meets the minimum density standards for MF – Multiple Family Residential. Minimum Lot Area (5,000sf/dwelling unit, Minimum Lot Width (100ft) and Minimum Lot Public Street Lot Frontage (40ft). The proposed rezone from B3 to MF is not consistent with the Future Land Use Map. The Future Land Use Map has this parcel zoned Commercial.

ACTION RECOMMENDED: Motion to forward a recommendation to the Village Board to approve or deny the Zoning Change Request for APG NWI LLC, Rad Pandit from B3 – General Commercial to MF – Multiple Family Residential.

§ 520-118. - Amendments to official zoning map (rezonings).

F. Public hearing and recommendation. The plan commission shall hold a public hearing on all proposed amendments to the official zoning map. Following the public hearing, and after consideration of comments provided therein, the plan commission shall review the proposed amendment to the official zoning map and shall within 45 days of the public hearing make a recommendation to the village board that the application be granted as requested, modified, or denied. If the commission fails to make a recommendation within this time frame, the proposed amendment shall be forwarded to the village board without recommendation. Such deadline may be extended by written or electronic agreement from the applicant.

ATTACHMENTS: Zoning Change Request and Staff Report

**PARCEL # 145-2708-062-0983 (APG NWI LLC)
ZONING CHANGE REQUEST**

STAFF REPORT FOR PLANNING COMMISSION

**PUBLIC HEARINGS/
MEETINGS:**

Plan Commission Public Hearing: 6:00 p.m. February 16, 2026

APPLICANT:

Rad Pandit
APG NWI LLC
5772 New Castle Lane
Bettendorf, IA 52722

OWNER:

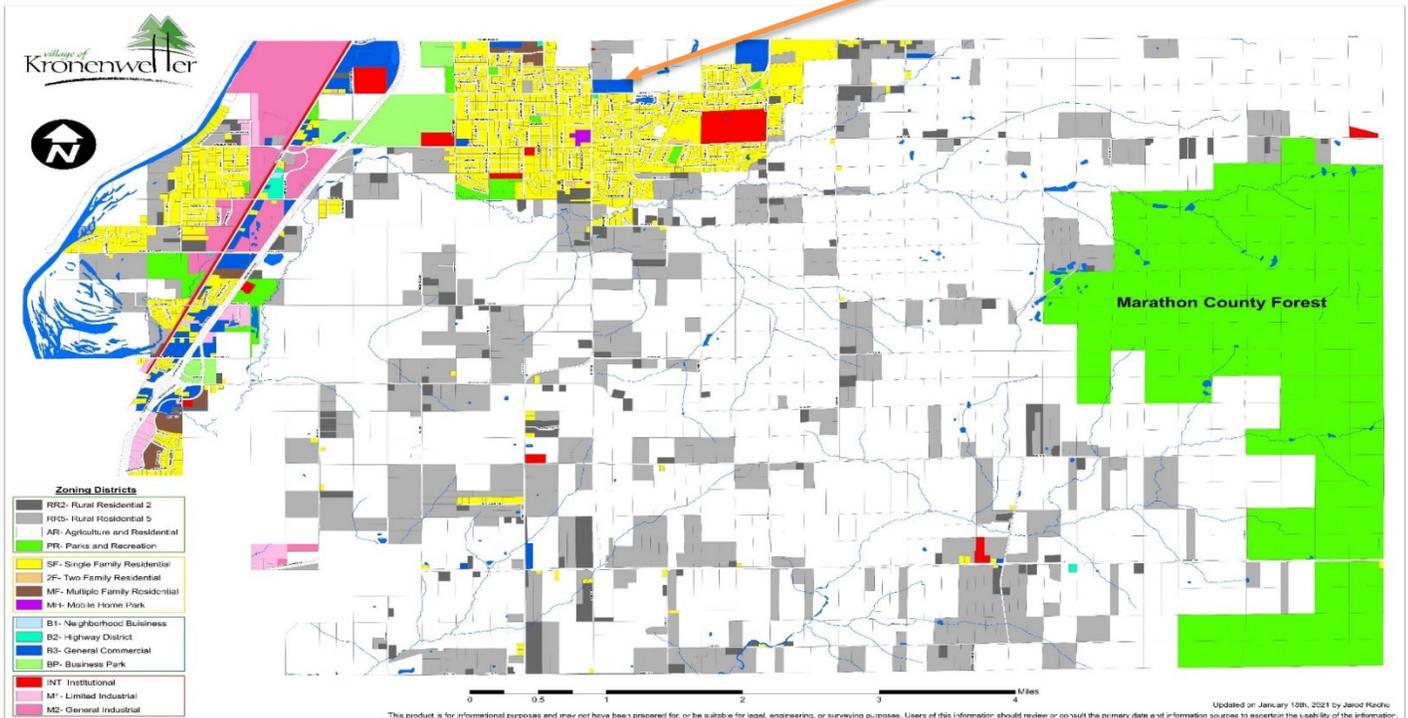
APG NWI, LLC
5772 New Castle Lane
Bettendorf, IA 52722

Prepared By:

Davel Engineering and Environmental
1164 Province Terrace
Menasha, WI 54952

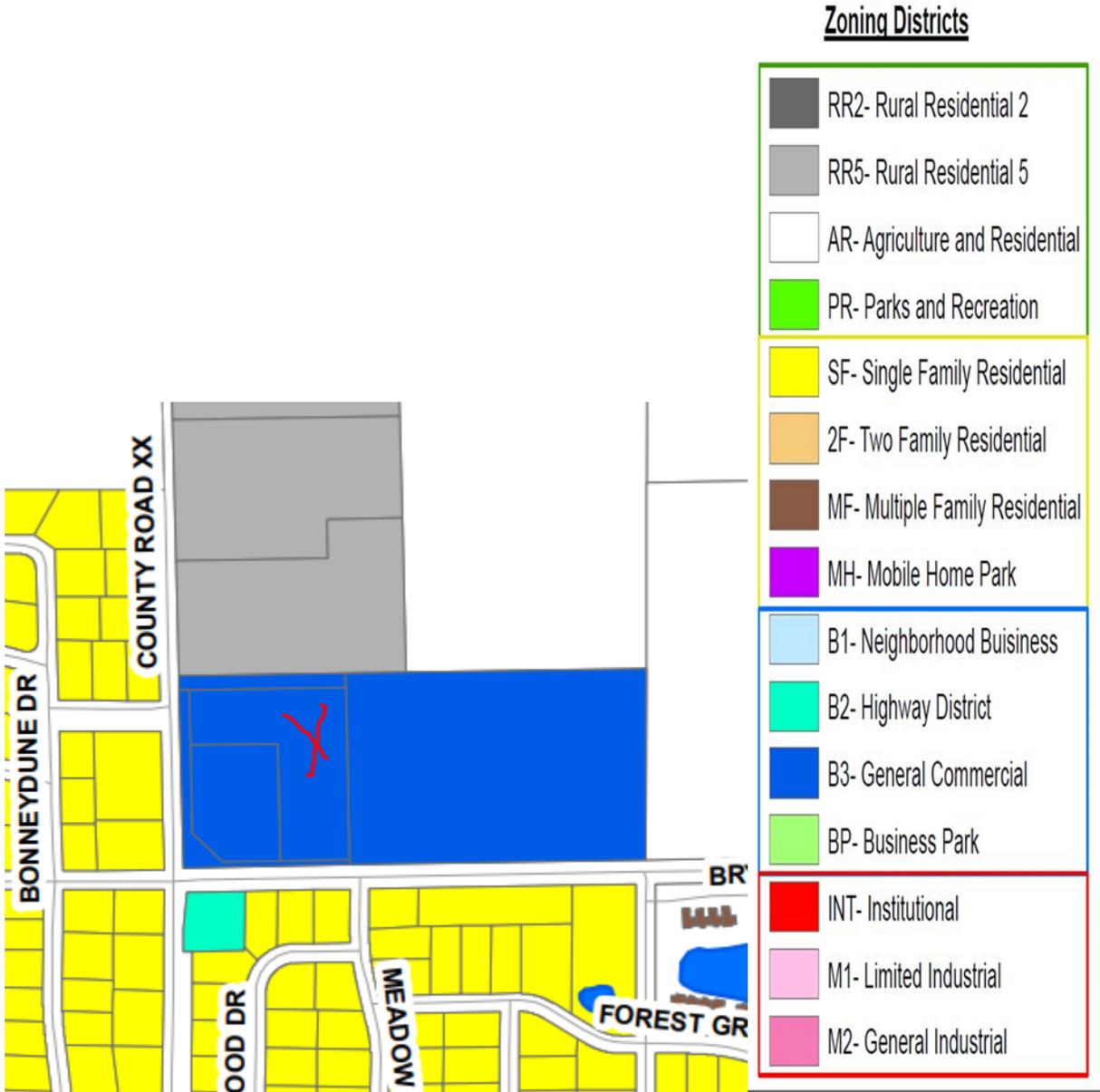
LOCATION OF REQUEST: County Road X (no address), Kronenwetter, WI 54455 (See Map 1)

VILLAGE OF KRONENWETTER OFFICIAL ZONING MAP



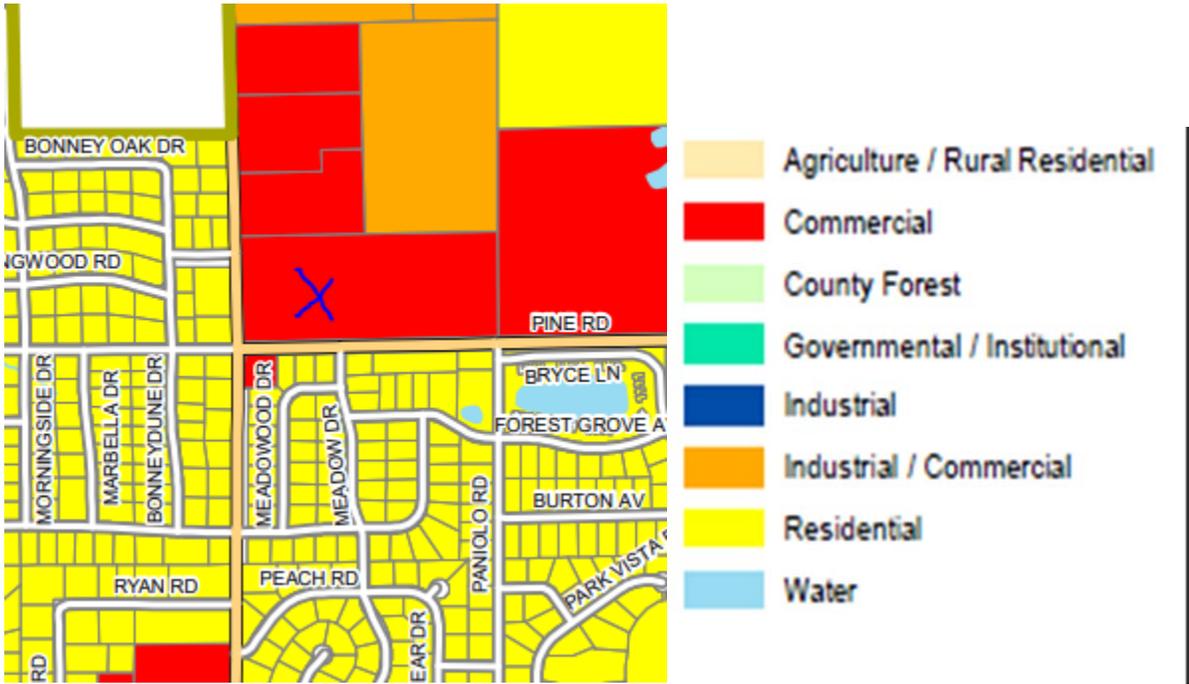
PARCEL # 145-2708-062-0983 (APG NWI LLC)

Map 1: Location Map
(Source Data: Marathon Co. GIS)



Map 2: Current Zoning
(Source Data: Village of Kronenwetter)

PARCEL # 145-2708-062-0983 (APG NWI LLC LLC)



Map 3: Future Land Use Map (Source Data: Village of Kronenwetter)

Legal Description of Property:

SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094)

Current Zoning:

B3 – General Commercial (see Map 2)

COMPREHENSIVE PLAN

FUTURE LAND USE:

Commercial (See Map 3)

LEGAL NOTIFICATION:

A legal advertisement was published in the Wausau Daily Herald on Monday, February 2, 2026 and Monday, February 9, 2026. Notice of the zoning change request was sent by regular mail to adjacent property owners within 500 feet of the subject property on February 5, 2026.

FINDINGS OF FACT AND RECOMMENDATION OF THE VILLAGE PLAN COMMISSION

Within forty-five (45) days after the close of the hearing on a proposed amendment, the Village Plan Commission shall make written findings of fact and shall submit the same together with its recommendations to the Village Board. Where the purpose and effect of the proposed amendment are to change the zoning classification of a particular property, the Village Plan Commission shall make findings based upon the evidence presented to it in each specific case with respect to the following matters:

1. *Is the proposed rezoning consistent with the Comprehensive Plan, as is required by Wisconsin Statutes?*
 - The proposed rezone from B3 – General Commercial to MF – Multiple Family Residential is not consistent with the Future Land Use Map. Furthermore, it is contrary to the Comprehensive Plan objective to “Utilize the Future Land Use Map in directing potential commercial and industrial opportunities to appropriate locations” and “Strive to avoid allowing conflicting land uses to be located adjacent to one another.”

2. *Does the rezoning further the purpose and intent of this Chapter?*

Rezoning this property from B3 – General Commercial to MF – Multiple Family Residential does not satisfy the Zoning Ordinance's purpose of “Implementing the comprehensive plan to the extent possible under zoning” and “Preventing the overcrowding of land and undue concentration of population.”

3. *Does rezoning address any of the following that is not properly addressed on the current Official Zoning Map?*
 - (a) *A mistake was made in mapping on the official zoning map. That is, an area is or has developed in a manner and purpose different from that for which it is mapped. If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the village may intend to stop an undesirable land use pattern from being perpetuated.*
 - (b) *Factors have changed, such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different zoning district.*
 - (c) *Growth patterns or rates have changed, thereby creating the need for a rezoning.*
 - No Keeps it the same.

4. *Does the proposed zoning district maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?*
 - Changing the Zoning District from B3 – General Commercial to MF – Multiple Family Residential removes 4.392 acres from an approximate 22 acre area, currently zoned B3 – General Commercial. If rezoned to MF, this parcel would be sandwiched in between two B3 Zoning Districts. A Multifamily Residence is prohibited use within B3 – General Commercial.

5. Does the rezoning meet the minimum requirements for frontage or parcel size?

- The proposed property will meet all minimum requirements.

6. For applications to rezone land to a multi-family, commercial, or industrial zoning district, is, or will there be, adequate public infrastructure available to accommodate the range of uses allowed in that zoning district?

- There is adequate public infrastructure available to accommodate the range of uses allowed within the zoning district.

RECOMMENDED MOTION

Motion to forward a recommendation to the Village Board to approve or deny the Zoning Change Request for APG NWI LLC from B3 – General Commercial to MF – Multiple Family Residential as presented.



January 14, 2026

Village of Kronenwetter
1582 Kronenwetter Dr.
Kronenwetter, WI 54455

Re: Parcel 145-2708-062-0983, Village of Kronenwetter – Rezoning

Greetings:

Enclosed, please find the following materials for the Rezoning submittal for the above referenced property:

1. Rezoning Application
2. Project Narrative
3. CSM 17401
4. Project Map
5. Review Fee \$300

Please process the enclosed submittal accordingly for review.

Upon your review, any feedback in regards to the satisfaction or further requirements are needed in order to approve the Rezoning request, please contact Timothy Wittmann at (920) 560-6568 or tim@davel.pro.

Sincerely,

Sarah Mitchell
Project Administrator

Enclosures (a/s)

Zoning Change Request Application

Application Fee: \$300 Regular Meeting / \$450 Special Meeting

A zoning change is an amendment to the specific zoning district in which a property or properties are classified.

Plan Commission Meetings are held on the 3rd Monday of each month. Village Board Meetings on zoning change requests typically take place on the 4th Tuesday of each month.

Although not required, it is recommended that the applicant attend these meetings.



Applicant Information

1. Applicant Name APG NWEI LLC c/o Rad Pandit Phone Number (563) 676-0993
 Address 5772 New Castle Ln., Bettendorf, IA 52722
 Email radpandit@gmail.com
2. Property Titleholder Name APG NWI LLC Phone Number (563) 676-0993
 Address 5772 New Castle Ln., Bettendorf, IA 52722
 Email radpandit@gmail.com
3. Prepared By Company Name Davel Engineering & Environm Name Tim Wittmann
 Address 1164 Province Terrace, Menasha, WI 54952
 Phone Number (920) 560-6568 Email tim@davel.pro

Property Information

4. Property Address County Road X
5. Section 06 Township 27N Range 8E 6. Parcel Identification # (PIN) 145-2708-062-0983
7. Legal Description (attach an additional sheet if necessary) Lot 2 CSM Vol 83 PG 58 (#17401) (DOC# 17140)
8. Current Zoning District B3 - General Commercial 9. Proposed Zoning District MF - MultiFamily
10. Parcel Acreage 4.392 11. Will the Zoning Change be accompanied by a CSM or Subdivision? no
12. Has anyone previously requested a zoning change to the subject property? If yes, when was the request made and to what zoning district? No
13. Is the subject property planned to be improved? If yes, when is the improvement scheduled for and what will be the actual use of the improvement? yes, spring 2026

Required Attachments

1. Narrative describing the zoning change request with respect to the following matters:
 - a. Is the proposed rezoning consistent with the Comprehensive Plan, as is required by Wisconsin Statutes?
 - b. Does the rezoning further the purpose and intent of this Chapter?
 - c. Does rezoning address any of the following that are not properly addressed on the current Official Zoning Map?
 - i. A mistake was made in mapping on the Official Zoning Map. That is, an area is or has developed in a manner and purpose different from that for which it is mapped. If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the Village may intend to stop an undesirable land use pattern from being perpetuated.
 - ii. Factors have changed, such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different zoning district.
 - iii. Growth patterns or rates have changed, thereby creating the need for a rezoning.
 - d. Does the proposed zoning district maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
 - e. Does the rezoning meet the minimum requirements for frontage or parcel size? A lot, lots, or parcel of land shall not qualify for a zoning map amendment unless it possesses 200 feet of frontage or contains 25,000 square feet of area, or adjoins a lot, lots, or parcel of land which bears the same zoning district classification as the proposed zoning map amendment.
 - f. For applications to rezone land to a multi-family, commercial or industrial zoning district, is, or will there be, adequate public infrastructure available to accommodate the range of uses allowed in that zoning district?
2. Property Map which shows the zoning change request boundaries, structures on the property, and the required setbacks from the property lines.

Applicant Acknowledgement

I/We request a public hearing be held before the Planning Commission of the Village of Kronenwetter, Marathon County, State of Wisconsin, to hear and consider the request for a zoning change of the property stated in this application. I hereby depose and say that all the above statements and all accompanying statements and drawings are correct and true.

Signed by: Rad Pandit Rad Pandit 12/9/2025
 Applicant BC8DA64C32C54E6.. Date

Signed by: Rad Pandit Rad Pandit 12/9/2025
 Property Titleholder BC8DA64C32C54E6.. Date

Signed by: Timothy Wittmann Timothy Wittmann 12/9/2025
 Prepared By 66F338A2CDD454... Date

FOR OFFICE USE ONLY:

Application Received _____ Check # _____

Plan Commission:

Meeting Date _____ Recommendation: Approved / Denied

Village Board:

Meeting Date _____ Decision: Approved / Denied



Zoning Change Request

**Project Narrative: Parcel 145-2708-062-0983
County Road X, Village of Kronenwetter, Marathon County, Wisconsin**

APG NWI, llc is requested their parcel 145-2708-062-0983 located on Lot 2 Certified Survey Map No. 17401 having access at both County Road X and XX be rezoned from B3 (gen business) to MF (multi-family) for a townhouse style development. The parcel is currently vacant.

The 2019 comprehensive plan may require amendment as the future land use for this parcel and the adjacent north and east parcel are mapped commercial. The adjacent properties have various land uses at this time. APG NWI, llc owns and operates the convenience store located at the corner of County Road X and XX. Residential property exists to the north, vacant lands to the adjacent east with a residential subdivision, Tower Woods, located 3,600-feet to the east. Residential property also exist to the south, opposite County Road X.

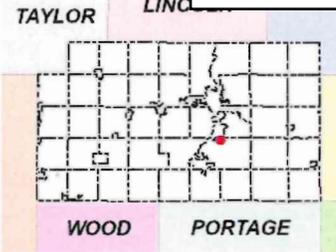
The property is adjacent to infrastructure for sewer, water, communications, and street access. Common or shared access is present on both County Road X and XX with the convenience store ingress/egress. The property is 4.39 acres with 187-feet of frontage of County Road XX and 233-feet of frontage on County Road X. There are no known environmentally sensitive areas on the parcel.

Lot Dimension & Density Requirements (Chapter 520):

Zoning District	Minimum Lot Area	Minimum Lot Width (ft) ^(a)	Minimum Public Street Frontage (ft)	Maximum Total Building Coverage	Maximum Accessory Structure Floor Area (sf) ^(b)	Minimum Landscape Surface Ratio (LSR)
MF Multifamily Residential ^(e)	5,000 square feet/dwelling unit	100	40	40%	10% of lot area	30%

Setbacks (Chapter 520):

Zoning District	Minimum Setbacks (ft) ^(b)								Minimum Principal Building Separation (ft)	Maximum Building Height			
	Principal Residential Building including Attached Garage				Detached Accessory Building ^(a)		Hard or Gravel Surface ^(d)			Principal Building		Accessory Building	
	Front ^(a)	Street Side ^(a)	Interior Side	Rear	Interior Side ^(c)	Rear	Interior Side or Rear	Front or Street ^(a)		Feet	Floors	Feet	Floors
MF(f)	30	30	8	12	5	5	6	10	20	40	3	15	1



- ### Legend
- Road Names
 - Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Named Places
 - Municipalities
 - 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

74.73 0 74.73 Feet



NAD_1983_HARN_WSCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

017401

STATE OF WISCONSIN, MARATHON COUNTY
 CSM FILED VOL. 82, PAGE 58
 05/23/2016 3:37:54 PM
 MICHAEL J. SYDOW, REGISTER OF DEEDS

Michael J. Sydow

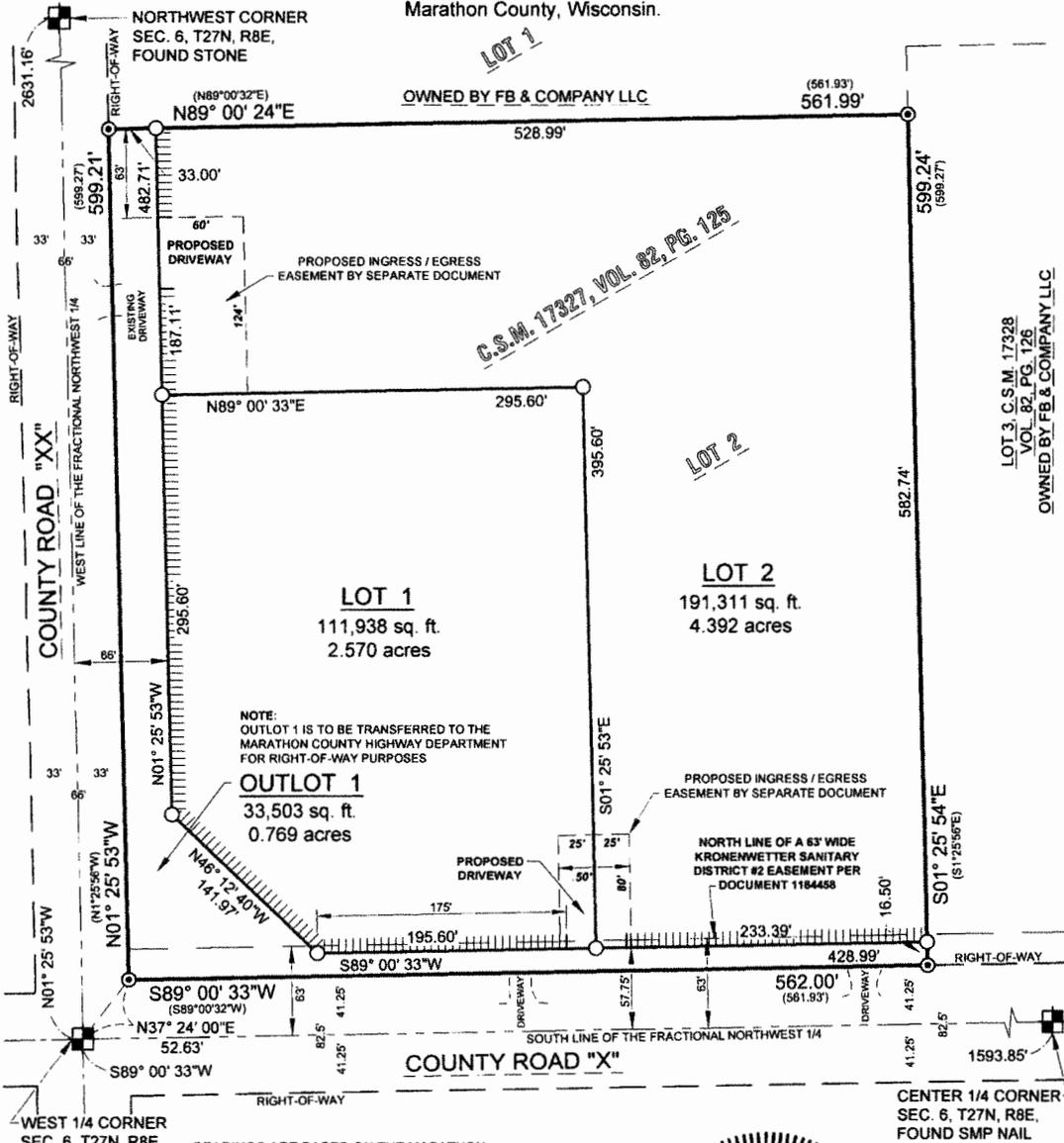
Chg 30.00



DOC# 1714094

MARATHON CO. CERTIFIED SURVEY MAP NO. 17401

Of Lot 2 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125 located in part of the Fractional Northwest 1/4 of Section 6, Township 27 North, Range 8 East, Village of Kronenwetter, Marathon County, Wisconsin.

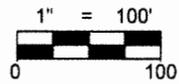


Lot 1: 145.4.2708.062.0984
 Lot 2: 145.4.2708.062.0983
 Outlot 1: 145.4.2708.062.0982

BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM NAD 83 (2011) AND REFERENCED TO THE WEST LINE OF THE FRAC. NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 27 NORTH, RANGE 8 EAST, MEASURED TO BEAR NORTH 01°25'53" WEST

LEGEND

- - 1-1/4" O.D. x 24" IRON PIPE WEIGHING 1.68 LBS/LIN. FT. SET
- ⊙ - FOUND 3/4" REBAR
- () - RECORDED BEARING/LENGTH
- RESTRICTED VEHICLE ACCESS



SHEET 1 OF 3



RIVERSIDE LAND SURVEYING LLC
 6304 KELLY PLACE WESTON, WI 54476
 PH 715-241-7500 - FAX 715-355-6894
 email - mail@riversidelandsurveying.com

REVISION: ADDED OUTLOT NOTE 4-11-2016	
DRAWN BY M.F.L.	DATE APRIL 5, 2016
CHECKED BY K.J.W.	PROJECT NO. 2409
PREPARED FOR: DAKOTA LAND COMPANY	



DOC # 1714094

MARATHON CO. CERTIFIED SURVEY MAP NO. 17401

Of Lot 2 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125 located in part of the Fractional Northwest 1/4 of Section 6, Township 27 North, Range 8 East, Village of Kronenwetter, Marathon County, Wisconsin.

I, Keith J. Walkowski, Professional Land Surveyor S-2717, hereby certify to the best of my knowledge and belief. That I have surveyed, mapped and divided Lot 2 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125 located in part of the Fractional Northwest 1/4 of Section 6, Township 27 North, Range 8 East, Village of Kronenwetter, Marathon County, Wisconsin, described as follows:

Commencing at the West 1/4 corner of said Section 6; Thence North 37°24'00" East, 52.63 feet to the East right-of-way line of County Road "XX" which is the point of beginning; Thence North 01°25'53" West along said East right-of-way line, 599.21 feet to the South line of Lot 1 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125; Thence North 89°00'24" East along said South line, 561.99 feet to the West line of Lot 3 of Certified Survey Map Number 17328 recorded in Volume 82 of Certified Survey Maps on Page 126; Thence South 01°25'54" East along said West line, 599.24 feet to the North right-of-way line of County Road "X"; Thence South 89°00'33" West along said North line, 562.00 feet to the point of beginning.

That the above described parcel of land contains 336,752 square feet or 7.731 acres, more or less;

That said Outlot 1 as shown hereon is a substandard lot and may not be improved upon without the prior approval of the appropriate governing bodies. That said Outlot 1 can be conveyed only to the owners of adjoining lands;

That said parcel is subject to all easements, restrictions and right-of-ways of record including a 63' wide utility easement to the Kronenwetter Sanitary District #2 per Document 1184458 and a proposed 60' wide Ingress / Egress easement and a proposed 50' wide Ingress / Egress easement once easement documents are recorded;

That I have made this survey, division and map thereof at the direction of Chad Sickler, Agent of said parcel;

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of Marathon County and the Village of Kronenwetter in Surveying, Mapping and Dividing the same.

That said map is a correct and accurate representation of the exterior boundaries of said parcel and the division thereof.

Dated this 11TH day of APRIL, 2016

Keith J. Walkowski
Riverside Land Surveying LLC
Keith J. Walkowski
P.L.S. No. 2717



SHEET 2 OF 3



RIVERSIDE LAND SURVEYING LLC
6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894
email - mail@riversidelandsurveying.com

REVISION: ADDED OUTLOT NOTE 4-11-2016	
DRAWN BY M.F.L.	DATE APRIL 5, 2016
CHECKED BY K.J.W.	PROJECT NO. 2409
PREPARED FOR: DAKOTA LAND COMPANY	

Marathon County

Owner (s):
APG NWI LLC

Location:
S1/2 NW FRL1/4, Sect. 6, T27N, R8E

Mailing Address:
**APG NWI LLC
5772 NEW CASTLE LN
BETTENDORF, IA 52722**

School District:
4970 - DC EVEREST

Request Mailing Address Change

Tax Parcel ID Number: Tax District: Status:
145-2708-062-0983 145-VILLAGE OF KRONENWETTER Active

Alternate Tax Parcel Number: Government Owned: Acres:
63-062708-008-005-00-00 4.3920

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):
SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094)

Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)

Taxes

0 Lottery credits claimed

Tax History

* Click on a Tax Year for detailed payment information.

Tax Year* Omitted	Tax Bill	Taxes Paid	Taxes Due	Interest	Penalty	Fees	Total Payoff
2024	\$3,706.85	\$3,706.85	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	\$3,733.81	\$3,733.81	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2022	\$4,030.02	\$4,030.02	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2021	\$3,904.86	\$3,904.86	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2020	\$4,801.53	\$4,801.53	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2019	\$4,860.10	\$4,860.10	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2018	\$118.93	\$118.93	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2017	\$120.00	\$120.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total							\$0.00

'PAY TAXES' button may be used to pay the SECOND installment for all municipalities except for the City of Wausau. It may also be used to pay past year delinquent taxes for all municipalities. If the first installment is not received by the municipality by January 31 of the year due, interest and penalty will also be due. Please contact the County Treasurer's Office at (715) 261-1150 for exact amount due if after January 31 or if taxes are 3 years or more delinquent.

NOTE: Current year tax bills may not be processed by the county.

Interest and penalty on delinquent taxes are calculated to **July 31, 2025.**

Assessments



**PUBLIC HEARING
VILLAGE OF KRONENWETTER PLAN COMMISSION**

Notice is hereby given that a Public Hearing will be held on Monday, February 16, 2026 at 6:00 P.M., at the Kronenwetter Municipal Center, 1582 Kronenwetter Drive, Kronenwetter, WI 54455, to hear and consider the following:

CONDITIONAL USE PERMIT (Jesse Hintz)

Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455. Tax Parcel ID Number: 145-2707-111-0996 . Legal description of subject property: SEC 11-27-07 PT OF NW 1/4 NE 1/4 E 330' THRF -- PLAT OF SURVEY 9/14/2021. 9.7310 Acres.

ZONING CHANGE REQUEST (Rad Pandit)

APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA, 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

Written testimony may be forwarded to the Village of Kronenwetter Community Development/Planning and Zoning Director, Peter S. Wegner, 1582 Kronenwetter Drive, Kronenwetter, WI 54455 or emailed to pwegner@kronenwetter.gov before the time of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.



PLAN COMMISSION MEETING MINUTES

December 15, 2025 at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL MEETING TO ORDER

Chairperson Dan Lesniak called the December 15, 2025 Plan Commission Meeting to order at 6 p.m.

A. Pledge of Allegiance

Those in attendance were invited to recite the Pledge of Allegiance.

B. Roll Call

PRESENT: *Chairperson Dan Lesniak, Trustee Ken Charneski, Trustee Mary Jensen, Bruce Sinkula, Rick Grundman, Tony Stange, Dick Kvapil*

STAFF: *Community Development Director Pete Wegner, Clerk Jennifer Poyer*

2. ANNOUNCEMENT OF PUBLIC HEARING

Chairperson Lesniak welcomed Trustee Mary Jensen to the Plan Commission. He announced the public hearing.

C. Alliance Holdings LLC, 10805 S. Business Hwy 51, Rothschild, WI 54474, requests a Zoning Change of 22.128acres from BP – Business Park to M2 – General Industrial located at 1619 County Road XX, Kronenwetter, WI 54455. The existing 22.128acre parcel meets the minimum density standards for M2 – General Zoning. Minimum Lot Area (40,000sf), Minimum Lot Width (100ft) and Minimum Lot Public Street Lot Frontage (50ft). The proposed rezone from BP to M2 is consistent with the Future Land Use Map and complies with the Project Plan requirements of TID #1.

Community Development Director Wegner gave an overview of the two zoning requests. He reviewed the finding of facts and said the criteria is met in both cases.

The following comments were made:

Jordan Hensel – 2414 Tower Road, Kronenwetter, WI, 54455 – *Hensel said to consider the real world impacts of rezoning the land. He said it would be a permanent change and the Village will lose the ability to manage it in the future. He said it would have a direct effect on the nearby homes including loss of tree cover; industrial lighting; and loss of property values.*

Micki Scheunemann – 1714 Forsyth Road, Kronenwetter, WI, 54455 – *Scheunemann said she lives one house away from the properties being rezoned. She said there will be more noise, diesel emissions and light disturbances. She said she wants the rezoning request to be rejected.*

Jeannie Amelse – 1708 Shadow Lawn Road, Kronenwetter, WI, 54455 – *Amelse said she does not want to see an increase in traffic. She said there is already an increase in semi-truck traffic.*

Paul Jaeger – 1900 Seville Road, Kronenwetter, WI, 54455 – *Public comment is attached to the minutes.*

Keith Scheunemann – 1714 Forsyth Road, Kronenwetter, WI, 54455 – *Public comment is attached to the minutes.*

Bill Schofield, representing Alliance Holdings, LLC and Wausau Limited Partnership gave information regarding the development plan including the planned buffer zone and truck traffic route.

D. Wausau Limited Partnership, 501 Bell Street, Suite 301, Dubuque, IA 52001, requests a Zoning Change of 15.00 acres from BP – Business Park to M2 – General Industrial located at 2409 Tower Road, Kronenwetter, WI 54455. The existing 15.00acre parcel meets the minimum density standards for M2 – General Zoning. Minimum Lot Area (40,000sf), Minimum Lot Width (100ft) and Minimum Lot Public Street Lot Frontage (50ft). The proposed rezone from BP to M2 is consistent with the Future Land Use Map and complies with the Project Plan requirements of TID #1.

The following comments were made:

Micki Scheunemann – 1714 Forsyth Road, Kronenwetter, WI, 54455 – Scheunemann said she has lived in Kronenwetter for seven and a half years. She said the rezone will bring unwanted pollution and lower home values. She said it should remain zoned as is.

Rebecca & Jordan Hensel-2414 Tower Road, Kronenwetter, WI, 54455 – Public comment is attached to the minutes.

3. CLOSE PUBLIC HEARING

Chairperson Lesniak closed the public hearing at 6:25 p.m.

4. PUBLIC COMMENT

No public comments were made.

5. APPROVAL OF MINUTES- DISCUSSION AND POSSIBLE ACTION

E. 2025 10 20 PC Meeting Minutes

Motion by Sinkula/Stange to approve the October 20, 2025 Plan Commission Meeting Minutes.

Motion carried by a voice vote. 6:0:1 Trustee Jensen abstained.

6. REPORTS AND DISCUSSIONS

F. Community Development Director Report

Community Development Director Wegner presented his report.

7. NEW BUSINESS- DISCUSSION AND POSSIBLE ACTION

G. Zoning Change Request: Alliance Holdings LLC

Motion by Stange/Jensen to recommend to the Village Board the zoning change request for Alliance Holdings from BP to M2. Motion carried by roll call vote. 7:0.

Discussion included empathy with residents affected; intentions for the development and property; findings of fact having been met; setbacks and lighting to be addressed in site plan; roadway not facing Tower Road; 24/7 operation of developer; sound studies; and intergovernmental agreement.

H. Zoning Change Request: Wausau Limited Partnership

Motion by Sinkula/Kvapil to recommend to the Village Board the zoning change request from Wausau Limited Partnership to change the zoning from BP to M2. Motion carried by roll call vote. 7:0.

I. Comprehensive plan review

Commission members discussed the possible review of the strategic plan. It was decided that members would review the Future Land Use Map and discuss any revisions at the next Plan Commission meeting.

8. SELECTION OF VICE CHAIRPERSON

Motion by Sinkula/Kvapil to recommend Rick Grundman as the vice-chairperson.

Motion carried by voice vote. 7:0.

9. NEXT MEETING: January 19, 2026

10. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

Tony Stange commented regarding a possible newsletter item regarding zoning in the Village.

The commission members requested Administrator James Davel attend the next meeting.

11. ADJOURNMENT

Motion by Kvapil/Sinkula to adjourn. Motion carried by voice vote. 7:0.

Meeting adjourned at 7:05 p.m.

Peter Wegner

From: L P Jaeger <19lpjaeger@gmail.com>
Sent: Monday, December 15, 2025 4:30 PM
To: Jennifer Poyer; Village Board
Cc: Peter Wegner
Subject: [External] Trailwood, Cty XX, Tower Rd development.

I am concerned about the potential traffic impact on XX.

I suggest ingress and egress be limited to Trailwood. There is a traffic light where it joins XX.

Tower is not designed for commercial traffic.

Paul Jaeger
Seville Road

Peter Wegner

From: Dan Lesniak <danlesniak54455@gmail.com>
Sent: Monday, December 15, 2025 4:01 PM
To: Kimberly Coyle; Peter Wegner; Kimberly Coyle; Peter Wegner
Subject: Fwd: [External] Rezoning of Lots on CTY XX and Tower Road

Passing this email along.....

Begin forwarded message:

From: Keith Scheunemann <kscheunemann13@gmail.com>
Date: December 15, 2025 at 10:35:05 AM CST
To: danlesniak54455@gmail.com
Subject: Rezoning of Lots on CTY XX and Tower Road

Hi Dan,

I am a village resident at 1714 Forsyth road and am curious as to why Alliance Holdings and Wausau Limited Partnerships want to rezone their lots on county highway XX and Tower road, respectively. I am concerned this rezoning request is related to construction of some sort. As someone who would be directly affected by development of these parcels I am requesting more information as to why rezoning is being requested. Are there plans to build something at these locations?

Thank you,

Keith Scheunemann
(715) 305-6235

Jennifer Poyer

From: Dick Kvapil <d_kvapil@yahoo.com>
Sent: Monday, December 15, 2025 6:22 PM
To: Jennifer Poyer
Subject: Fw: [External] Opposition to Rezoning Request – 1619 County Road XX/2409 Tower Road

----- Forwarded Message -----

From: Becky Hensel <b_mittlesteadt@live.com>
To: mjensen@kronenwetter.gov <mjensen@kronenwetter.gov>; kcharneski@kronenwetter.gov <kcharneski@kronenwetter.gov>; d_kvapil@yahoo.com <d_kvapil@yahoo.com>; tstange415@gmail.com <tstange415@gmail.com>; brucesinkula@tds.net <brucesinkula@tds.net>; rgrundman@nlhs.org <rgrundman@nlhs.org>; danlesniak54455@gmail.com <danlesniak54455@gmail.com>; pwegner@kronenwetter.gov <pwegner@kronenwetter.gov>
Cc: djoling@kronenwetter.gov <djoling@kronenwetter.gov>; amyszka@kronenwetter.gov <amyszka@kronenwetter.gov>; cmortensen@kronenwetter.gov <cmortensen@kronenwetter.gov>; ssorensen@kronenwetter.gov <ssorensen@kronenwetter.gov>; jstowell@kronenwetter.gov <jstowell@kronenwetter.gov>; jpoyer@kronenwetter.gov <jpoyer@kronenwetter.gov>
Sent: Monday, December 15, 2025 at 01:02:29 PM CST
Subject: Opposition to Rezoning Request – 1619 County Road XX/2409 Tower Road

Rebecca & Jordan Hensel
2414 Tower Road
Kronenwetter, WI 54455
b_mittlesteadt@live.com
715-370-8370

12/15/2025

Village of Kronenwetter
Plan Commission and Village Board
1582 Kronenwetter Drive
Kronenwetter, WI 54455

Re: Opposition to Rezoning Request – 1619 County Road XX/2409 Tower Road

Dear Members of the Plan Commission and Village Board,

We are writing as a resident who lives directly across from the proposed rezoning area of 1619 County Road XX and 2409 Tower Road. We strongly oppose the request to rezone this property to M2 – General Industrial.

This area is part of a largely residential neighborhood, and the existing wooded land plays a critical role in preserving the character and livability of the surrounding homes. That forested area currently serves as a natural buffer, reducing noise, limiting visual impacts, and maintaining a sense of separation from Highway 51 and nearby industrial infrastructure.

Rezoning this property to M2 would almost certainly result in the removal of that forest, which would significantly increase highway noise, expose residents to direct views of the Wisconsin Public Service power plant, and introduce new visual, lighting, and operational impacts from a future distribution or industrial facility. These changes would permanently alter the residential environment for those of us who live nearby.

Many residents chose to live in Kronenwetter because of its quiet, residential character. Introducing heavy industrial zoning directly adjacent to existing homes undermines that character and negatively affects quality of life, neighborhood cohesion, and the enjoyment of our properties.

While we understand that the rezoning request is being presented as consistent with the Village's Comprehensive Plan and Tax Increment District goals, those long-term economic objectives should not come at the expense of existing residents who will bear the immediate and permanent impacts of this decision. Rezoning from Business Park to M2 substantially expands the range of allowable uses and reduces safeguards for neighboring residential areas.

Kronenwetter already has areas that are planned, zoned, and developed specifically for industrial and distribution uses, located away from homes and better suited to handle truck traffic, lighting, noise, and large-scale operations.

Placing a distribution center in an existing industrial corridor, rather than expanding heavy industrial zoning into residential-adjacent areas, would allow the Village to support economic development without sacrificing the quality of life of current residents. This approach represents balanced growth and respects both community planning goals and the people who already live here.

We respectfully urge the Plan Commission and Village Board to deny this rezoning request, or at minimum, postpone any approval until meaningful protections are established, such as preservation of existing tree buffers, enhanced setbacks, strict limits on lighting and noise, and clear restrictions on industrial operations adjacent to homes.

Thank you for your time, consideration, and service to the residents of Kronenwetter. I appreciate the opportunity to share my concerns and ask that they be fully considered as part of the public record.

Sincerely,

Rebecca & Jordan Hensel

Peter Wegner

From: L P Jaeger <19lpjaeger@gmail.com>
Sent: Monday, December 15, 2025 4:30 PM
To: Jennifer Poyer; Village Board
Cc: Peter Wegner
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Seville Road

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Date: December 15, 2025 at 10:35:05 AM CST
To: danlesniak54455@gmail.com
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Keith Scheunemann
(715) 305-6235

Jennifer Poyer

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Sent: Monday, December 15, 2025 6:22 PM
To: Jennifer Poyer
Subject: Fw: [External] Opposition to Rezoning Request – 1619 County Road XX/2409 Tower Road

----- Forwarded Message -----

From: Becky Hensel <b_mittlesteadt@live.com>
To: mjensen@kronenwetter.gov <mjensen@kronenwetter.gov>; kcharneski@kronenwetter.gov <kcharneski@kronenwetter.gov>; d_kvapil@yahoo.com <d_kvapil@yahoo.com>; tstange415@gmail.com <tstange415@gmail.com>; brucesinkula@tds.net <brucesinkula@tds.net>; rgrundman@nlhs.org <rgrundman@nlhs.org>; danlesniak54455@gmail.com <danlesniak54455@gmail.com>; pwegner@kronenwetter.gov <pwegner@kronenwetter.gov>
Cc: djoling@kronenwetter.gov <djoling@kronenwetter.gov>; amyszka@kronenwetter.gov <amyszka@kronenwetter.gov>; cmortensen@kronenwetter.gov <cmortensen@kronenwetter.gov>; ssorensen@kronenwetter.gov <ssorensen@kronenwetter.gov>; jstowell@kronenwetter.gov <jstowell@kronenwetter.gov>; jpoyer@kronenwetter.gov <jpoyer@kronenwetter.gov>
Sent: Monday, December 15, 2025 at 01:02:29 PM CST
Subject: Opposition to Rezoning Request – 1619 County Road XX/2409 Tower Road

Rebecca & Jordan Hensel
2414 Tower Road
Kronenwetter, WI 54455
b_mittlesteadt@live.com
715-370-8370

12/15/2025

Village of Kronenwetter
Plan Commission and Village Board
1582 Kronenwetter Drive
Kronenwetter, WI 54455

Re: Opposition to Rezoning Request – 1619 County Road XX/2409 Tower Road

Dear Members of the Plan Commission and Village Board,

We are writing as a resident who lives directly across from the proposed rezoning area of 1619 County Road XX and 2409 Tower Road. We strongly oppose the request to rezone this property to M2 – General Industrial.

This area is part of a largely residential neighborhood, and the existing wooded land plays a critical role in preserving the character and livability of the surrounding homes. That forested area currently serves as a natural buffer, reducing noise, limiting visual impacts, and maintaining a sense of separation from Highway 51 and nearby industrial infrastructure.

Rezoning this property to M2 would almost certainly result in the removal of that forest, which would significantly increase highway noise, expose residents to direct views of the Wisconsin Public Service power plant, and introduce new visual, lighting, and operational impacts from a future distribution or industrial facility. These changes would permanently alter the residential environment for those of us who live nearby.

Many residents chose to live in Kronenwetter because of its quiet, residential character. Introducing heavy industrial zoning directly adjacent to existing homes undermines that character and negatively affects quality of life, neighborhood cohesion, and the enjoyment of our properties.

While we understand that the rezoning request is being presented as consistent with the Village's Comprehensive Plan and Tax Increment District goals, those long-term economic objectives should not come at the expense of existing residents who will bear the immediate and permanent impacts of this decision. Rezoning from Business Park to M2 substantially expands the range of allowable uses and reduces safeguards for neighboring residential areas.

Kronenwetter already has areas that are planned, zoned, and developed specifically for industrial and distribution uses, located away from homes and better suited to handle truck traffic, lighting, noise, and large-scale operations.

Placing a distribution center in an existing industrial corridor, rather than expanding heavy industrial zoning into residential-adjacent areas, would allow the Village to support economic development without sacrificing the quality of life of current residents. This approach represents balanced growth and respects both community planning goals and the people who already live here.

We respectfully urge the Plan Commission and Village Board to deny this rezoning request, or at minimum, postpone any approval until meaningful protections are established, such as preservation of existing tree buffers, enhanced setbacks, strict limits on lighting and noise, and clear restrictions on industrial operations adjacent to homes.

Thank you for your time, consideration, and service to the residents of Kronenwetter. I appreciate the opportunity to share my concerns and ask that they be fully considered as part of the public record.

Sincerely,

Rebecca & Jordan Hensel

Community Development/Planning and Zoning Director Report

February 16, 2025

Peter S. Wegner, Community Development/Planning and Zoning Director

- Complaints and Correspondence.
- Correspondence with Marathon County regarding proposed Highway Shop Facility.
- Open records request related to the rezoning of Tax Parcel ID Number: 145-2707-021-0980 and 145-2707-021-0981.
- Research and correspondence with potential buyer of 1598 Kowalski Road.
- Research and correspondence regarding development options on property located at 1260 Kronenwetter Drive.
- Review Planning Tech Job Description.
- Milestone Materials, Junior Ridge Nonmetallic Mining Conditional Use Permit Appeal.
- Preliminary review Residential Business (Copper Wire Recovery) Conditional Use Permit Application.
- Review permitted and conditional uses along with buildable area on Village owned Kronenwetter Drive parcels.
- Research/correspondence regarding using the right-of-way east of the proposed Marathon County Highway Facility as a stormwater swale.
- Correspondence with REI regarding Zone A floodplain mapping removal request. Unnamed Zone A Tributary west of Hwy 51/Railroad.
- Meeting with Developer to discuss permitted and conditional use options on property located at 2071 Queenland Drive.
- Research 520-27 E. Home occupation requirements.
- Meeting with Attorney VanderWaal, Village President and Village Administrator regarding Conditional Use Permit appeal.
- Meeting with Village resident regarding complaints and enforcement process.
- Preliminary Review Rezone Application for Tax Parcel ID Number: 145-2708-062-0983.
- Research Chapter 270 - EROSION CONTROL AND STORMWATER MANAGEMENT and §520-124. - Site plan procedures as it relates to plan review and approval.
- Village Board Decision to reverse the Plan Commission denial of Milestone Materials, Junior Ridge Nonmetallic Mining Conditional Use Permit.
- Research 520-76. - Design standards for multifamily and nonresidential buildings and § 520-25. - Transportation land use types. D. Distribution center. (2)Performance standards.
- Meeting with Engineer and Northern Lutheran High School regarding improvement options to Tax Parcel ID Number: 145-2707-024-0985.
- Research § 520-28. - Temporary land use types and § 520-122. - Temporary use reviews.
- Review and issue Temporary Use Application for WI Interscholastic Fishing Association (WIFA), Ice Fishing Championships Prep Area on Tax Parcel ID Number: 145-2707-022-0955.



Report to Planning Commission

Agenda Item: Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455. Conditional Use Permit Application for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.

Meeting Date: February 16, 2026

Referring Body: Plan Commission

Committee Contact: Dan Lesniak

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.

OBJECTIVE(S): To review the Conditional Use Permit and related documents for a Residential Business to operate a Copper Wire Recovery business.

HISTORY/BACKGROUND: Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455.

RECOMMENDED ACTION: The Plan Commission may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial.

G. Review criteria for conditional use permit. Each requested conditional use permit shall meet the following criteria (achieve "yes" answers) to be approved:

- (1) Is the proposed conditional use in harmony with the comprehensive plan, this chapter, and any other plan, program, or ordinance adopted by the village?
- (2) The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the comprehensive plan, or any other plan, program, map, or ordinance adopted by the village?
- (3) Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
- (4) Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

(5) Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?

Section 7, Item G.

Note: See Staff's Report for comments as it relates to each of the criteria mentioned above.

2017 Act 67

- requires that standards governing conditional uses be “reasonable and, to the extent practicable, measurable...”
- prohibits a community from basing a conditional use permit decision on “personal preferences or speculation.”
- instructs that, where an applicant “meets or agrees to meet all of the requirements and conditions specified” in the ordinance or imposed by the decision-maker, the conditional use permit must be granted.

ATTACHMENTS: Conditional Use Permit application and Staff Report.

**JESSE HINTZ, CONDITIONAL USE PERMIT APPLICATION FOR A RESIDENTIAL BUSINESS
(COPPER WIRE RECOVERY) AT 1589 KOWALSKI ROAD, KRONENWETTER, WI 54455.**

TAX PARCEL ID NUMBER: 145-2707-111-0996

STAFF REPORT FOR PLAN COMMISSION

**PUBLIC HEARINGS/
MEETINGS:**

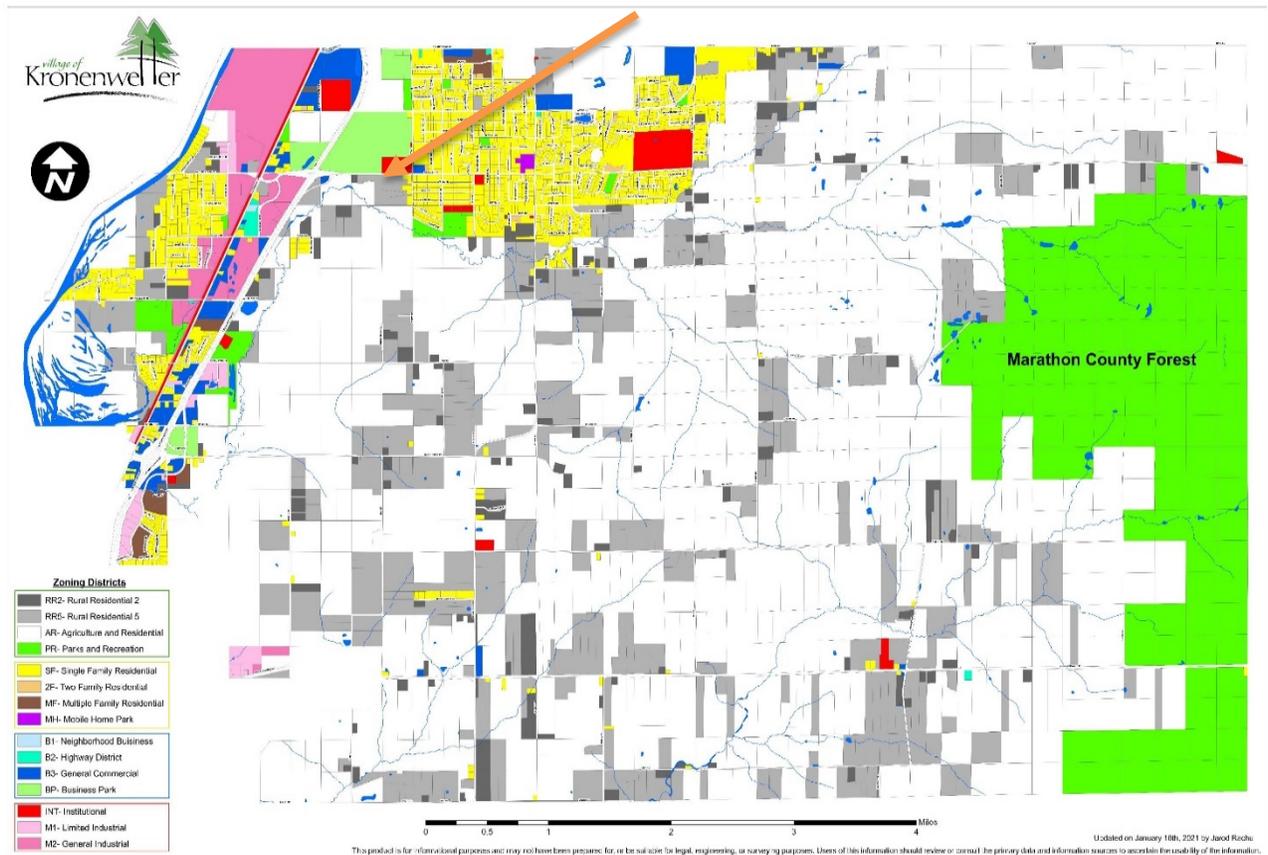
Plan Commission Public Hearing: 6:00 p.m. February 16, 2026

APPLICANT:

Jesse Hintz
160711 County Rd C
Mosinee, WI 54455.

LOCATION OF REQUEST: 1589 Kowalski Road, Kronenwetter, WI 54455. (See Map 1)

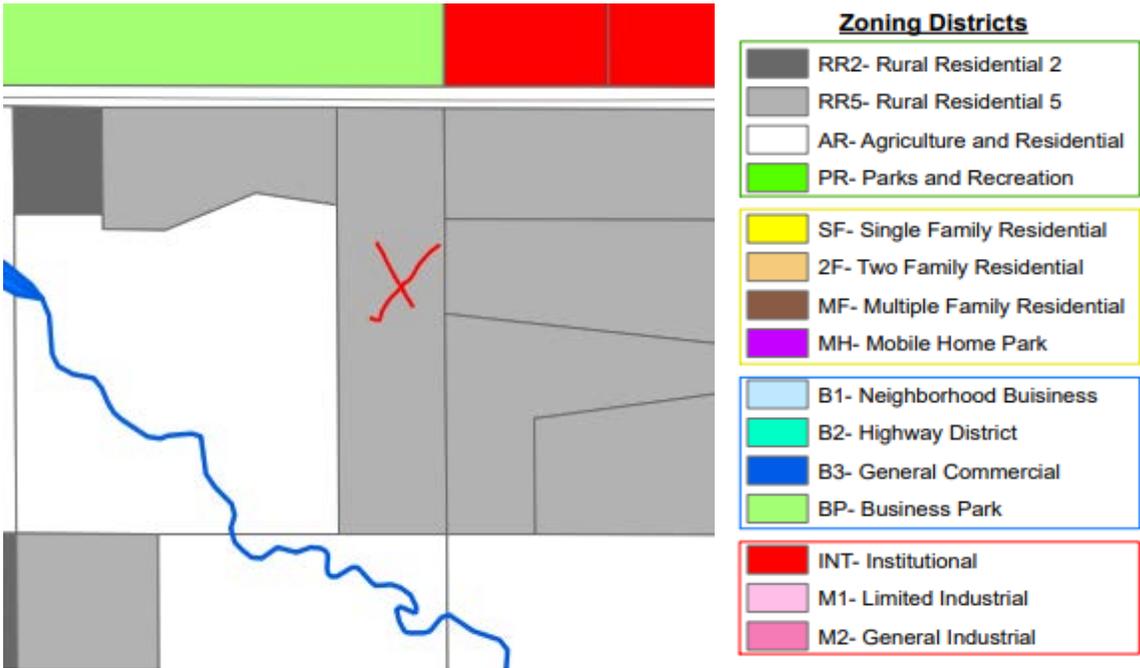
VILLAGE OF KRONENWETTER OFFICIAL ZONING MAP



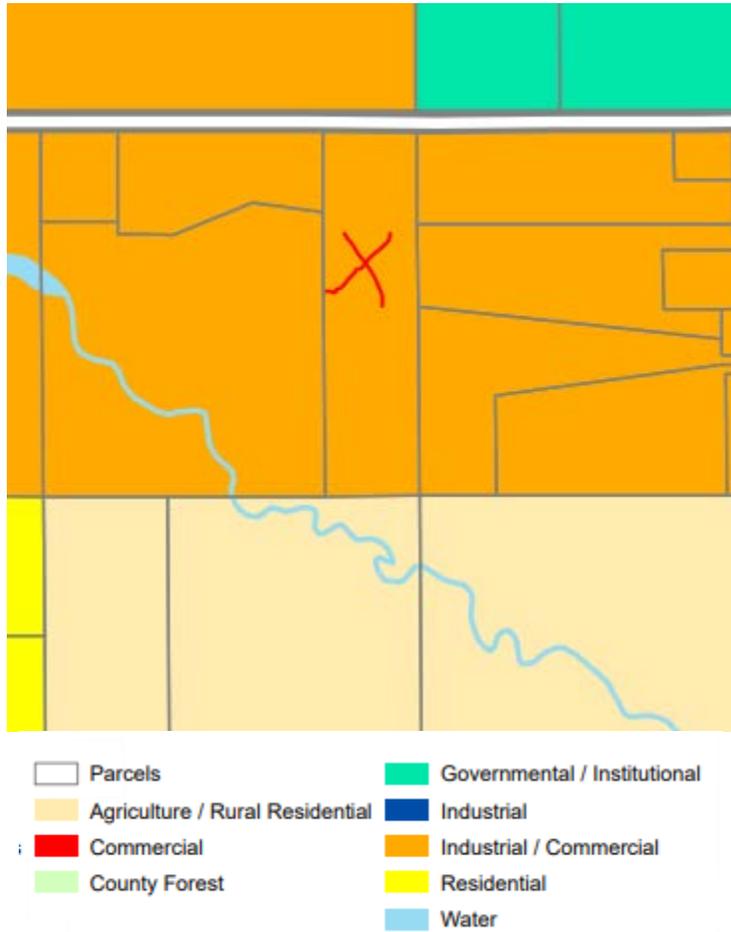
Map 1: Location Map
(Source Data: Village of Kronenwetter Zoning Map)



Map 2: Aerial Photo
(Source Data: Marathon County GIS)



Map 3: Zoning Map
(Source Data: Village of Kronenwetter)



Map 4: Future Land Use Map
(Source Data: Village of Kronenwetter)

LEGAL DESCRIPTION OF PROPERTY:

SEC 11-27-07 PT OF NW 1/4 NE 1/4 E 330' THRF -- PLAT OF SURVEY 9/14/2021

ZONING:

RR5 – Rural Residential 5

ACREAGE:

9.7310 acres

LEGAL NOTIFICATION:

A legal advertisement was published in the Wausau Daily Herald on Monday, February 2, 2026 and Monday, February 9, 2026. Notice of the zoning change request was sent by regular mail to adjacent property owners within 500 feet of the subject property on February 5, 2026.

PROPOSED CONDITIONAL USE: CONDITIONAL USE PERMIT for a RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY).

**DEVELOPMENT
PATTERN (AND
ZONING):**

Subject Property: RR5
North: BP and INT
South: AR
East: RR5
West: AR

INTRODUCTION

Jesse Hintz requests a Conditional Use Permit for a RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY). The proposed conditional use consists of purchasing copper wire direct from contractors, businesses and other companies. Purchased wire is sorted, condensed, and either stripped or granulated into bare product.

Copper product is sold directly to local foundries. This process will occur in one of the larger out buildings on the property southwest of the home. All materials, equipment and operations will be inside. There will be no visible alterations made to the property or buildings. The proposed residential business will not affect neighboring properties or traffic flow.

All requirements of § 520-27. - Accessory and miscellaneous land use types. F. Residential business will be met.

RECOMMENDED MOTION

The Plan Commission may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial.

Each requested conditional use permit shall meet the following criteria (achieve "yes" answers) to be approved. Below you find Staff's comments as it relates to each.

2017 Act 67

- requires that standards governing conditional uses be "reasonable and, to the extent practicable, measurable..."
- prohibits a community from basing a conditional use permit decision on "personal preferences or speculation."
- instructs that, where an applicant "meets or agrees to meet all of the requirements and conditions specified" in the ordinance or imposed by the decision-maker, the conditional use permit must be granted.
-

FINDINGS OF FACT CONDITIONAL USE

1. Is the proposed conditional use in harmony with the Comprehensive Plan, this chapter, and any other plan, program, or ordinance adopted by the Village?

The proposed Conditional Use Permit for a RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY) is located on property zoned RR5. The proposed use is allowed with the issuance of a Conditional Use Permit within RR5 – Rural Residential 5 Zoning District. A purpose of the ordinance is to implement the comprehensive plan to the extent possible under zoning. The Future

Land Use Map has this parcel zoned Industrial/Commercial. This type of business would be a permitted use in a Commercial/Industrial Zoning District.

2. The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted by the Village?

By meeting the requirements of the Zoning Ordinance § 520-27. - Accessory and miscellaneous land use types. F. Residential business. The proposed conditional use will not be injurious to the use and enjoyment of other property in the immediate vicinity nor substantially diminish and impair property values within the area. Due to size of the parcel, its rural location and the fact all activities will be inside an insulated building there will be minimal impact on the property and surrounding area as it relates to those the factors mentioned above.

3. Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

The parcel is zoned RR5 and surrounded by a BP, INT,RR5 and AR zoned properties. The conditional use will not impede the normal and orderly development and improvement of the surrounding properties for uses permitted in these zoning districts. All materials, equipment and operations will be inside a well insulated building. There will be no visible alterations made to the property or buildings. As a result, the land use, land use intensity and land use impacts remain unchanged.

4. Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

No other improvements, facilities, utilities or services are required.

5. Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?

The proposed RESIDENTIAL BUSINESS (COPPER WIRE RECOVERY) aligns with the Villages goal of encouraging small business growth. The business will operate on a rural property in a manner respectful of the rural residential character of Kronenwetter. Copper wire sorting, condensing, stripping and granulating will all occur within the confines of an insulated outbuilding approximately 1000ft from any adjacent dwelling.

Conditional Use Permit Application

Application Fee: \$350 Regular Meeting / \$500 Special Meeting

A conditional use is a unique use which, because of its distinct characteristics, cannot be classified in any particular district or districts, without consideration, in each case, of the impact of that use upon neighboring land and of the public need for the particular use at the particular location.

Plan Commission Meetings are held on the 3rd Monday of each month. Although not required, it is recommended that the applicant attend these meetings.



Applicant Information

1. Applicant Name Jesse Hintz Phone Number 715-340-0690
 Address 160711 County Rd C Mosinee WI 54455
 Email wisconsinwirerecovery@outlook.com

2. Owner Name Jesse Hintz Phone Number 715-340-0690
 Address 160711 County Rd C Mosinee WI 54455
 Email wisconsinwirerecovery@outlook.com

3. Prepared By Company Name Wisconsin Wire Recovery LLC Name Jesse Hintz
 Address 16916 Brickyard Drive Kagle WI 54471
 Phone Number 715-340-0690 Email wisconsinwirerecovery@outlook.com

Property Information

4. Property Address 1589 Kowalski Rd Mosinee, WI 54455

5. Parcel Identification # (PIN) 145-2707-111-0996 6. Parcel Acreage 9.7310

7. Legal Description (attach additional sheet if necessary) SEC 11-27-07 PT OF NW 1/4 NE 330' TRAF

8. Conditional Use request from § 520-27(F) of the Zoning Ordinance to allow Residential Business in RR5

9. Generally describe the current zoning and land uses of the subject property and surrounding properties:

Subject Property	<u>145-2707-111-0996</u>	Zoning	<u>RR5</u>
North	<u>Pine trees / School</u>	Zoning	<u>BP / INT</u>
South	<u>Woods / marsh</u>	Zoning	<u>AR</u>
East	<u>Open field</u>	Zoning	<u>RR5</u>
West	<u>Woods</u>	Zoning	<u>AR</u>

Required Attachments

Attach a written statement of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations.

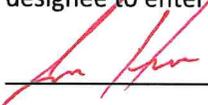
Attach a site plan of the subject property, with any alterations as may be proposed to accommodate the conditional use.

Attach a written justification for the proposed conditional use consisting of the reasons why the applicant believes the proposed conditional use is appropriate, particularly as evidenced by compliance with the approval criteria:

- Is the proposed conditional use in harmony with the Comprehensive Plan, this chapter, and any other plan, program, or ordinance adopted by the Village?
- The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or undue adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvement, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future be developed as a result of the implementation of the provisions of this chapter, the Comprehensive Plan, or other plan, program, map or ordinance adopted by the Village?
- Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
- Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?
- Dose the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditionals use, after taking into consideration the applicant’s proposal and any requirements recommended by the applicant to ameliorate such impacts?

Applicant Acknowledgement

To the best of my knowledge, I certify that the information provided on this application and accompanying documents are true and accurate. I also understand that submitting this application authorizes the Zoning Administrator or his/her designee to enter onto the property for the purposed outlined operation.



Applicant

01/20/2026

Date

Owner

Date

Prepared By

Date

FOR OFFICE USE ONLY:

Application Received 1/21/2026

Check # 3303

Plan Commission:

Meeting Date 2/16/2026

Recommendation: Approved / Denied

Renewal Recommendation: 1 year 2 year 3 year 4 year 5 year

Conditions (see attached)

The business consists of purchasing copper wire direct from contractors, businesses, and other companies. This is done by pickup or drop off by scheduled appointments.

Once wire is purchased it is sorted, condensed, and either stripped or granulated into bare copper product.

copper product is sold direct to local foundries for remelt.

This process will all be done in the one larger out building southwest of the house. All materials and equipment will be inside.

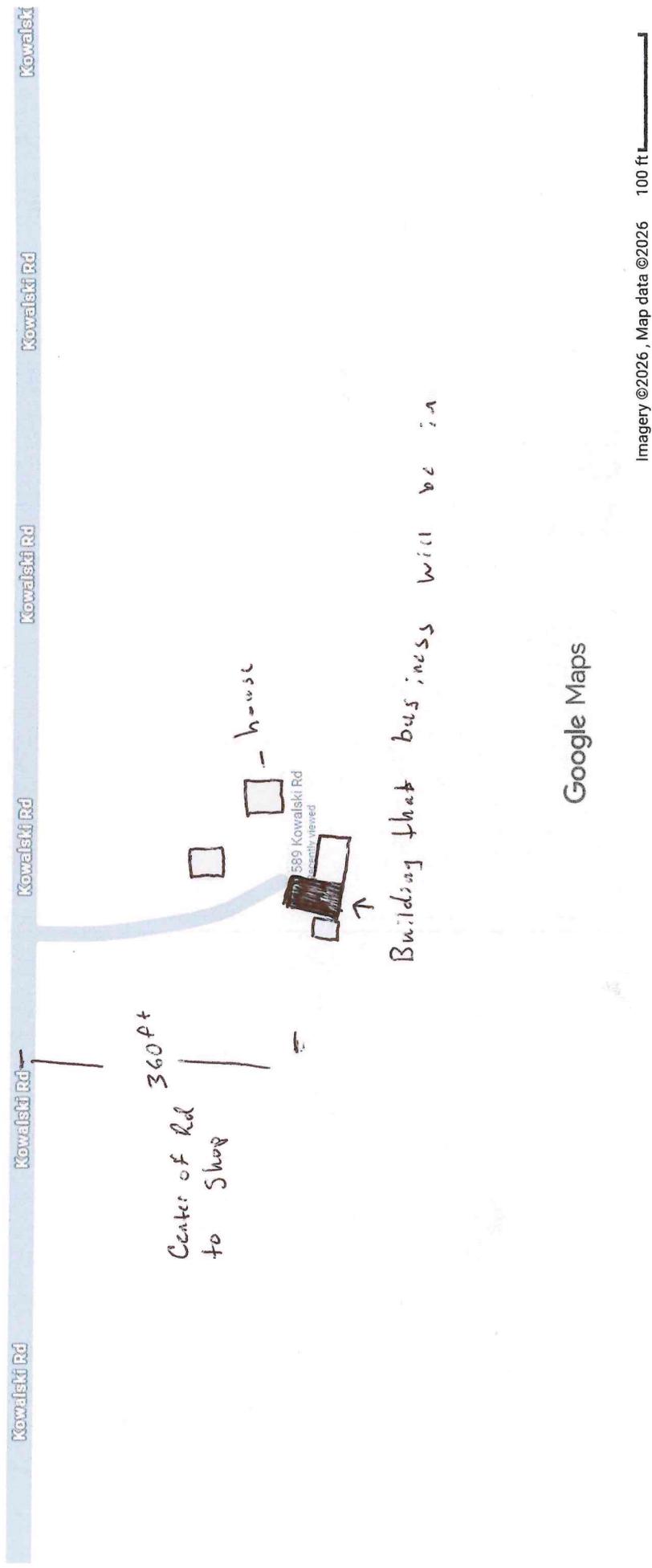
No visible alterations will be will be made to the property or buildings.

This business being at this location will not effect any neighboring properties, will not effect traffic flow, in fact you probably wont even know its there.

School
1264 ft



Google Maps



Google Maps

Section 7, Item G.



**PUBLIC HEARING
VILLAGE OF KRONENWETTER PLAN COMMISSION**

Notice is hereby given that a Public Hearing will be held on Monday, February 16, 2026 at 6:00 P.M., at the Kronenwetter Municipal Center, 1582 Kronenwetter Drive, Kronenwetter, WI 54455, to hear and consider the following:

CONDITIONAL USE PERMIT (Jesse Hintz)

Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455. Tax Parcel ID Number: 145-2707-111-0996 . Legal description of subject property: SEC 11-27-07 PT OF NW 1/4 NE 1/4 E 330' THRF -- PLAT OF SURVEY 9/14/2021. 9.7310 Acres.

ZONING CHANGE REQUEST (Rad Pandit)

APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA, 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

Written testimony may be forwarded to the Village of Kronenwetter Community Development/Planning and Zoning Director, Peter S. Wegner, 1582 Kronenwetter Drive, Kronenwetter, WI 54455 or emailed to pwegner@kronenwetter.gov before the time of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.



Report to Planning Commission

Agenda Item: Zoning Change Request: APG NWI LLC, Rad Pandit (no address) County Road X, Kronenwetter, WI 54455.

Meeting Date: February 16, 2026

Referring Body: Plan Commission

Committee Contact: Dan Lesniak

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Zoning Change Request: APG NWI LLC, Rad Pandit (no address) County Road X, Kronenwetter, WI 54455.

OBJECTIVE(S): To review the Zoning Change Request

HISTORY/BACKGROUND: APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

The existing 4.392acre parcel meets the minimum density standards for MF – Multiple Family Residential. Minimum Lot Area (5,000sf/dwelling unit, Minimum Lot Width (100ft) and Minimum Lot Public Street Lot Frontage (40ft). The proposed rezone from B3 to MF is not consistent with the Future Land Use Map. The Future Land Use Map has this parcel zoned Commercial.

ACTION RECOMMENDED: Motion to forward a recommendation to the Village Board to approve or deny the Zoning Change Request for APG NWI LLC, Rad Pandit from B3 – General Commercial to MF – Multiple Family Residential.

§ 520-118. - Amendments to official zoning map (rezonings).

F. Public hearing and recommendation. The plan commission shall hold a public hearing on all proposed amendments to the official zoning map. Following the public hearing, and after consideration of comments provided therein, the plan commission shall review the proposed amendment to the official zoning map and shall within 45 days of the public hearing make a recommendation to the village board that the application be granted as requested, modified, or denied. If the commission fails to make a recommendation within this time frame, the proposed amendment shall be forwarded to the village board without recommendation. Such deadline may be extended by written or electronic agreement from the applicant.

ATTACHMENTS: Zoning Change Request and Staff Report

**PARCEL # 145-2708-062-0983 (APG NWI LLC)
ZONING CHANGE REQUEST**

STAFF REPORT FOR PLANNING COMMISSION

**PUBLIC HEARINGS/
MEETINGS:**

Plan Commission Public Hearing: 6:00 p.m. February 16, 2026

APPLICANT:

Rad Pandit
APG NWI LLC
5772 New Castle Lane
Bettendorf, IA 52722

OWNER:

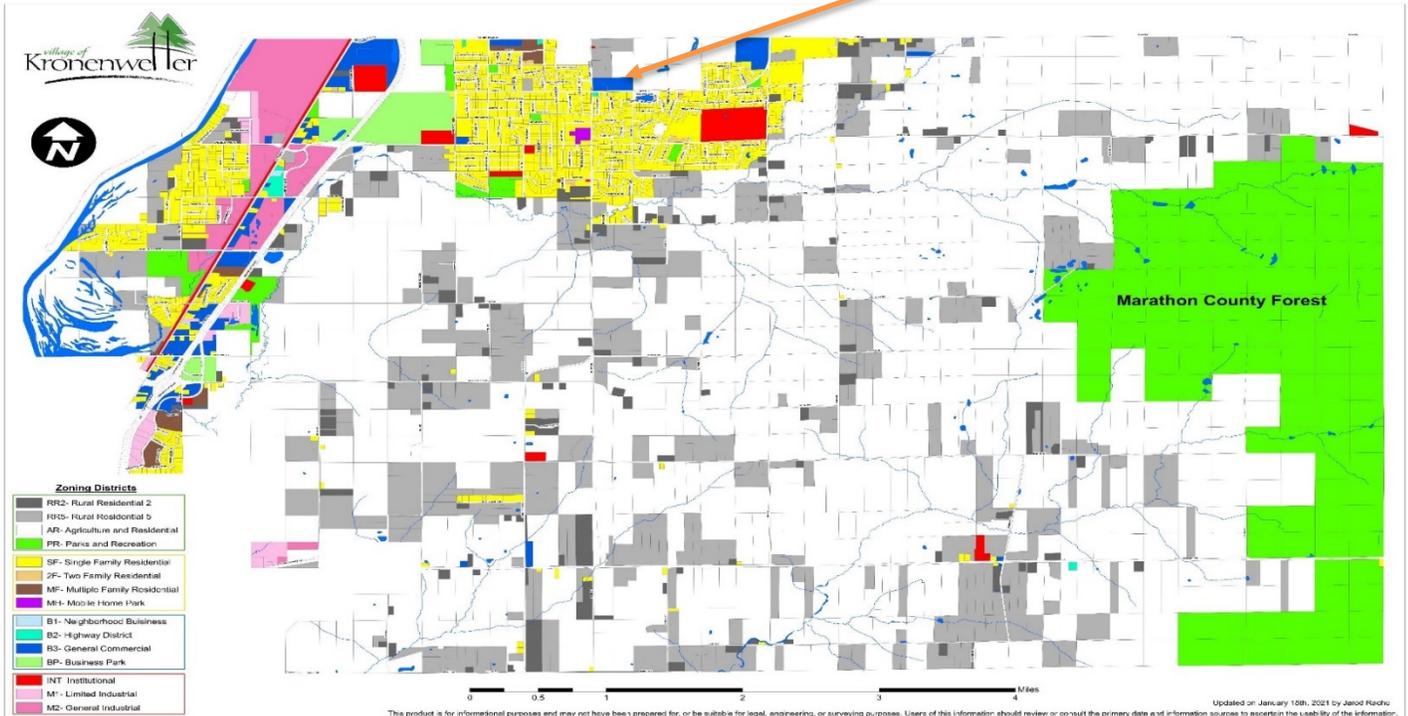
APG NWI, LLC
5772 New Castle Lane
Bettendorf, IA 52722

Prepared By:

Davel Engineering and Environmental
1164 Province Terrace
Menasha, WI 54952

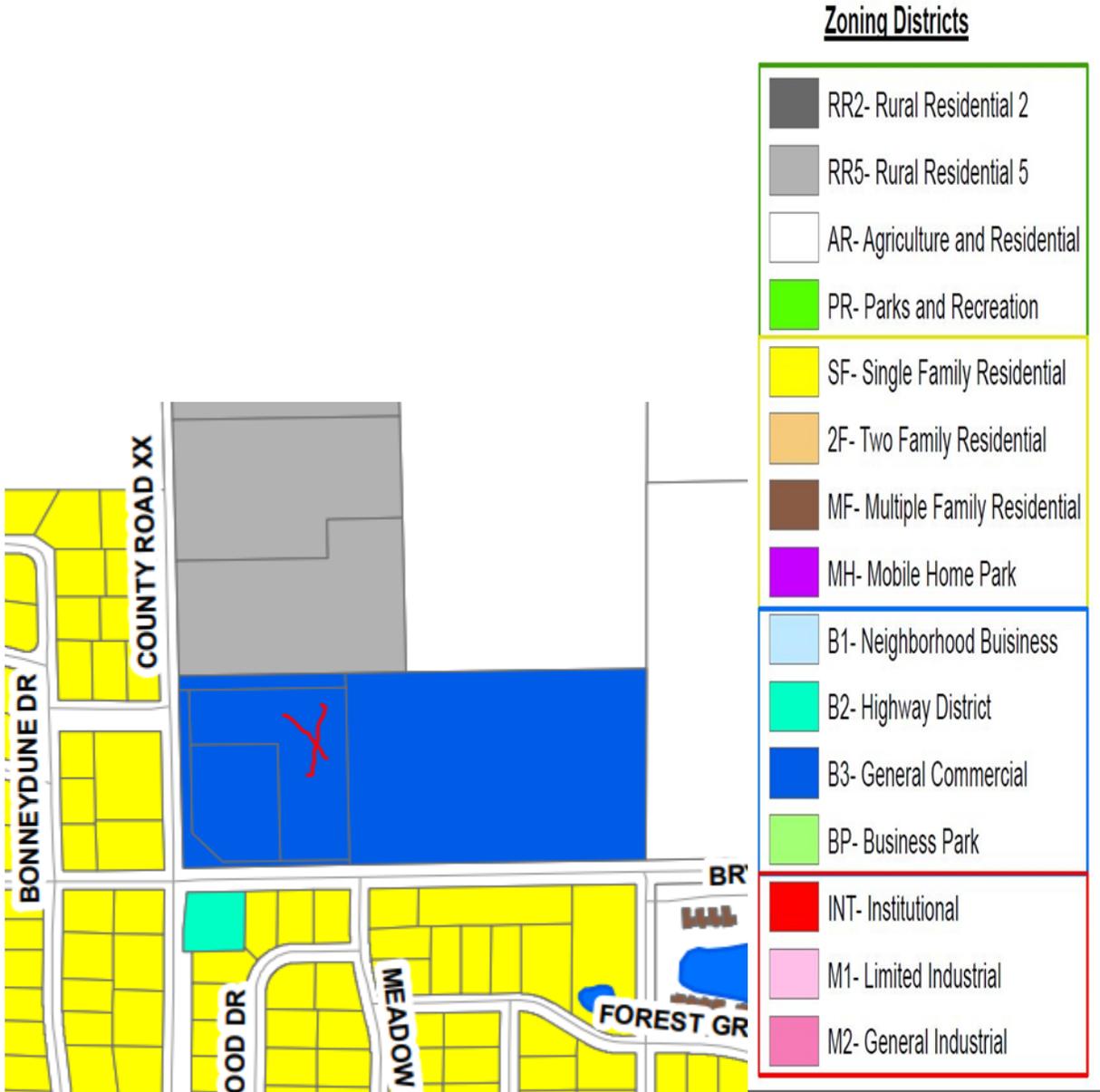
LOCATION OF REQUEST: County Road X (no address), Kronenwetter, WI 54455 (See Map 1)

VILLAGE OF KRONENWETTER OFFICIAL ZONING MAP



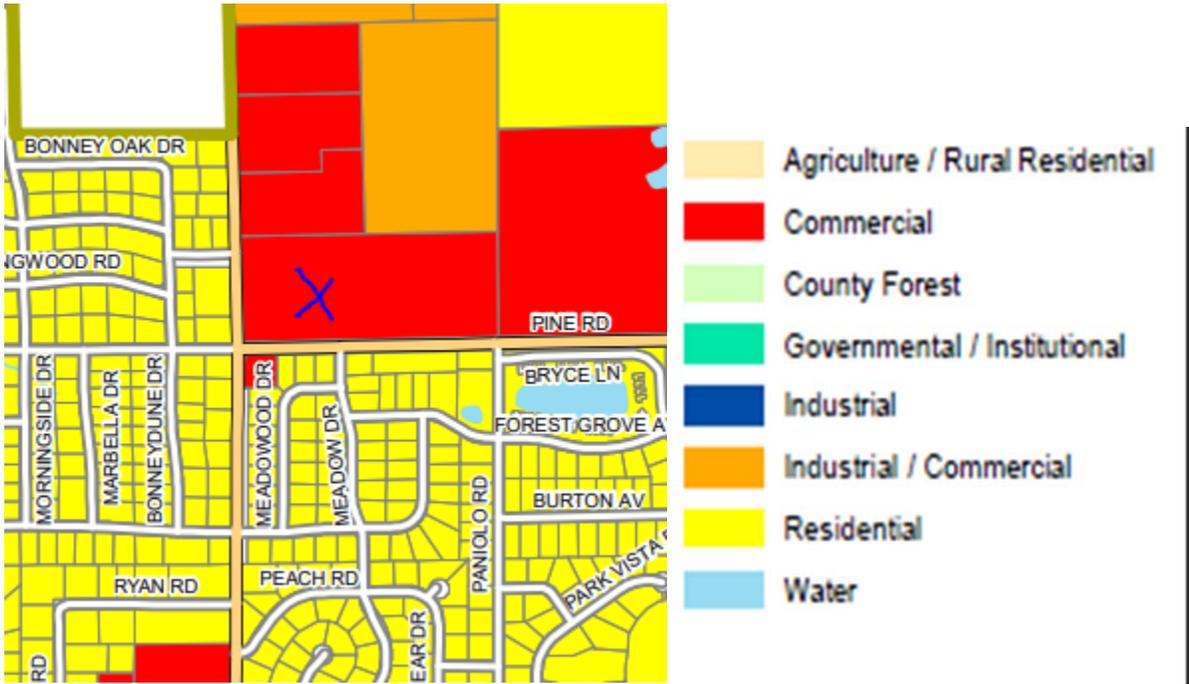
PARCEL # 145-2708-062-0983 (APG NWI LLC)

Map 1: Location Map
(Source Data: Marathon Co. GIS)



Map 2: Current Zoning
(Source Data: Village of Kronenwetter)

PARCEL # 145-2708-062-0983 (APG NWI LLC LLC)



Map 3: Future Land Use Map (Source Data: Village of Kronenwetter)

Legal Description of Property:

SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094)

Current Zoning:

B3 – General Commercial (see Map 2)

COMPREHENSIVE PLAN

FUTURE LAND USE:

Commercial (See Map 3)

LEGAL NOTIFICATION:

A legal advertisement was published in the Wausau Daily Herald on Monday, February 2, 2026 and Monday, February 9, 2026. Notice of the zoning change request was sent by regular mail to adjacent property owners within 500 feet of the subject property on February 5, 2026.



Map 4: Aerial Photo
(Source Data: Marathon County)

INTRODUCTION: BP (BUSINESS PARK) to M2 (GENERAL INDUSTRIAL)

APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA, 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

The existing 4.392acre parcel meets the minimum density standards for MF – Multiple Family Residential. Minimum Lot Area (5,000sf/dwelling unit, Minimum Lot Width (100ft) and Minimum Lot Public Street Lot Frontage (40ft). The proposed rezone from B3 to MF is not consistent with the Future Land Use Map. The Future Land Use Map has this parcel zoned Commercial.

PARCEL # 145-2708-062-0983 (APG NWI LLC LLC)

FINDINGS OF FACT AND RECOMMENDATION OF THE VILLAGE PLAN COMMISSION

Within forty-five (45) days after the close of the hearing on a proposed amendment, the Village Plan Commission shall make written findings of fact and shall submit the same together with its recommendations to the Village Board. Where the purpose and effect of the proposed amendment are to change the zoning classification of a particular property, the Village Plan Commission shall make findings based upon the evidence presented to it in each specific case with respect to the following matters:

1. *Is the proposed rezoning consistent with the Comprehensive Plan, as is required by Wisconsin Statutes?*
 - The proposed rezone from B3 – General Commercial to MF – Multiple Family Residential is not consistent with the Future Land Use Map. Furthermore, it is contrary to the Comprehensive Plan objective to “Utilize the Future Land Use Map in directing potential commercial and industrial opportunities to appropriate locations” and “Strive to avoid allowing conflicting land uses to be located adjacent to one another.”

2. *Does the rezoning further the purpose and intent of this Chapter?*

Rezoning this property from B3 – General Commercial to MF – Multiple Family Residential does not satisfy the Zoning Ordinance's purpose of “Implementing the comprehensive plan to the extent possible under zoning” and “Preventing the overcrowding of land and undue concentration of population.”

3. *Does rezoning address any of the following that is not properly addressed on the current Official Zoning Map?*
 - (a) *A mistake was made in mapping on the official zoning map. That is, an area is or has developed in a manner and purpose different from that for which it is mapped. If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the village may intend to stop an undesirable land use pattern from being perpetuated.*
 - (b) *Factors have changed, such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different zoning district.*
 - (c) *Growth patterns or rates have changed, thereby creating the need for a rezoning.*
 - No Keeps it the same.

4. *Does the proposed zoning district maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?*
 - Changing the Zoning District from B3 – General Commercial to MF – Multiple Family Residential removes 4.392 acres from an approximate 22 acre area, currently zoned B3 – General Commercial. If rezoned to MF, this parcel would be sandwiched in between two B3 Zoning Districts. A Multifamily Residence is prohibited use within B3 – General Commercial.

5. Does the rezoning meet the minimum requirements for frontage or parcel size?

- The proposed property will meet all minimum requirements.

6. For applications to rezone land to a multi-family, commercial, or industrial zoning district, is, or will there be, adequate public infrastructure available to accommodate the range of uses allowed in that zoning district?

- There is adequate public infrastructure available to accommodate the range of uses allowed within the zoning district.

RECOMMENDED MOTION

Motion to forward a recommendation to the Village Board to approve or deny the Zoning Change Request for APG NWI LLC from B3 – General Commercial to MF – Multiple Family Residential as presented.



January 14, 2026

Village of Kronenwetter
1582 Kronenwetter Dr.
Kronenwetter, WI 54455

Re: Parcel 145-2708-062-0983, Village of Kronenwetter – Rezoning

Greetings:

Enclosed, please find the following materials for the Rezoning submittal for the above referenced property:

1. Rezoning Application
2. Project Narrative
3. CSM 17401
4. Project Map
5. Review Fee \$300

Please process the enclosed submittal accordingly for review.

Upon your review, any feedback in regards to the satisfaction or further requirements are needed in order to approve the Rezoning request, please contact Timothy Wittmann at (920) 560-6568 or tim@davel.pro.

Sincerely,

Sarah Mitchell
Project Administrator

Enclosures (a/s)

Zoning Change Request Application

Application Fee: \$300 Regular Meeting / \$450 Special Meeting

A zoning change is an amendment to the specific zoning district in which a property or properties are classified.

Plan Commission Meetings are held on the 3rd Monday of each month. Village Board Meetings on zoning change requests typically take place on the 4th Tuesday of each month.

Although not required, it is recommended that the applicant attend these meetings.



Applicant Information

1. Applicant Name APG NWEI LLC c/o Rad Pandit Phone Number (563) 676-0993
 Address 5772 New Castle Ln., Bettendorf, IA 52722
 Email radpandit@gmail.com
2. Property Titleholder Name APG NWI LLC Phone Number (563) 676-0993
 Address 5772 New Castle Ln., Bettendorf, IA 52722
 Email radpandit@gmail.com
3. Prepared By Company Name Davel Engineering & Environm Name Tim Wittmann
 Address 1164 Province Terrace, Menasha, WI 54952
 Phone Number (920) 560-6568 Email tim@davel.pro

Property Information

4. Property Address County Road X
5. Section 06 Township 27N Range 8E 6. Parcel Identification # (PIN) 145-2708-062-0983
7. Legal Description (attach an additional sheet if necessary) Lot 2 CSM Vol 83 PG 58 (#17401) (DOC# 17140)
8. Current Zoning District B3 - General Commercial 9. Proposed Zoning District MF - MultiFamily
10. Parcel Acreage 4.392 11. Will the Zoning Change be accompanied by a CSM or Subdivision? no
12. Has anyone previously requested a zoning change to the subject property? If yes, when was the request made and to what zoning district? No
13. Is the subject property planned to be improved? If yes, when is the improvement scheduled for and what will be the actual use of the improvement? yes, spring 2026

Required Attachments

1. Narrative describing the zoning change request with respect to the following matters:
 - a. Is the proposed rezoning consistent with the Comprehensive Plan, as is required by Wisconsin Statutes?
 - b. Does the rezoning further the purpose and intent of this Chapter?
 - c. Does rezoning address any of the following that are not properly addressed on the current Official Zoning Map?
 - i. A mistake was made in mapping on the Official Zoning Map. That is, an area is or has developed in a manner and purpose different from that for which it is mapped. If this reason is cited, it must be demonstrated that the discussed inconsistency between actual land use and designated zoning is not intended, as the Village may intend to stop an undesirable land use pattern from being perpetuated.
 - ii. Factors have changed, such as the availability of new data, the presence of new roads or other infrastructure, additional development, annexation, or other zoning changes, making the subject property more appropriate for a different zoning district.
 - iii. Growth patterns or rates have changed, thereby creating the need for a rezoning.
 - d. Does the proposed zoning district maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?
 - e. Does the rezoning meet the minimum requirements for frontage or parcel size? A lot, lots, or parcel of land shall not qualify for a zoning map amendment unless it possesses 200 feet of frontage or contains 25,000 square feet of area, or adjoins a lot, lots, or parcel of land which bears the same zoning district classification as the proposed zoning map amendment.
 - f. For applications to rezone land to a multi-family, commercial or industrial zoning district, is, or will there be, adequate public infrastructure available to accommodate the range of uses allowed in that zoning district?
2. Property Map which shows the zoning change request boundaries, structures on the property, and the required setbacks from the property lines.

Applicant Acknowledgement

I/We request a public hearing be held before the Planning Commission of the Village of Kronenwetter, Marathon County, State of Wisconsin, to hear and consider the request for a zoning change of the property stated in this application. I hereby depose and say that all the above statements and all accompanying statements and drawings are correct and true.

Signed by: Rad Pandit Rad Pandit 12/9/2025
 Applicant BC8DA64C32C54E6.. Date

Signed by: Rad Pandit Rad Pandit 12/9/2025
 Property Titleholder BC8DA64C32C54E6.. Date

Signed by: Timothy Wittmann Timothy Wittmann 12/9/2025
 Prepared By 66F338A2CDD454... Date

FOR OFFICE USE ONLY:

Application Received _____ Check # _____

Plan Commission:

Meeting Date _____ Recommendation: Approved / Denied

Village Board:

Meeting Date _____ Decision: Approved / Denied



Zoning Change Request

**Project Narrative: Parcel 145-2708-062-0983
County Road X, Village of Kronenwetter, Marathon County, Wisconsin**

APG NWI, llc is requested their parcel 145-2708-062-0983 located on Lot 2 Certified Survey Map No. 17401 having access at both County Road X and XX be rezoned from B3 (gen business) to MF (multi-family) for a townhouse style development. The parcel is currently vacant.

The 2019 comprehensive plan may require amendment as the future land use for this parcel and the adjacent north and east parcel are mapped commercial. The adjacent properties have various land uses at this time. APG NWI, llc owns and operates the convenience store located at the corner of County Road X and XX. Residential property exists to the north, vacant lands to the adjacent east with a residential subdivision, Tower Woods, located 3,600-feet to the east. Residential property also exist to the south, opposite County Road X.

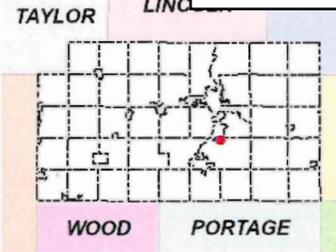
The property is adjacent to infrastructure for sewer, water, communications, and street access. Common or shared access is present on both County Road X and XX with the convenience store ingress/egress. The property is 4.39 acres with 187-feet of frontage of County Road XX and 233-feet of frontage on County Road X. There are no known environmentally sensitive areas on the parcel.

Lot Dimension & Density Requirements (Chapter 520):

Zoning District	Minimum Lot Area	Minimum Lot Width (ft) ^(a)	Minimum Public Street Frontage (ft)	Maximum Total Building Coverage	Maximum Accessory Structure Floor Area (sf) ^(b)	Minimum Landscape Surface Ratio (LSR)
MF Multifamily Residential ^(e)	5,000 square feet/dwelling unit	100	40	40%	10% of lot area	30%

Setbacks (Chapter 520):

Zoning District	Minimum Setbacks (ft) ^(b)								Minimum Principal Building Separation (ft)	Maximum Building Height			
	Principal Residential Building including Attached Garage				Detached Accessory Building ^(a)		Hard or Gravel Surface ^(d)			Principal Building		Accessory Building	
	Front ^(a)	Street Side ^(a)	Interior Side	Rear	Interior Side ^(c)	Rear	Interior Side or Rear	Front or Street ^(a)		Feet	Floors	Feet	Floors
MF(f)	30	30	8	12	5	5	6	10	20	40	3	15	1



- ### Legend
- Road Names
 - Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Named Places
 - Municipalities
 - 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

74.73 0 74.73 Feet



NAD_1983_HARN_WSCRS_Marathon_County_Feet

DISCLAIMER: The information and depictions herein are for informational purposes and Marathon County-City of Wausau specifically disclaims accuracy in this reproduction and specifically admonishes and advises that if specific and precise accuracy is required, the same should be determined by procurement of certified maps, surveys, plats, Flood Insurance Studies, or other official means. Marathon County-City of Wausau will not be responsible for any damages which result from third party use of the information and depictions herein or for use which ignores this warning. THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes

017401

STATE OF WISCONSIN, MARATHON COUNTY
 CSM FILED VOL. 83 PAGE 58
 05/23/2016 3:37:54 PM
 MICHAEL J. SYDOW, REGISTER OF DEEDS

Michael J. Sydow

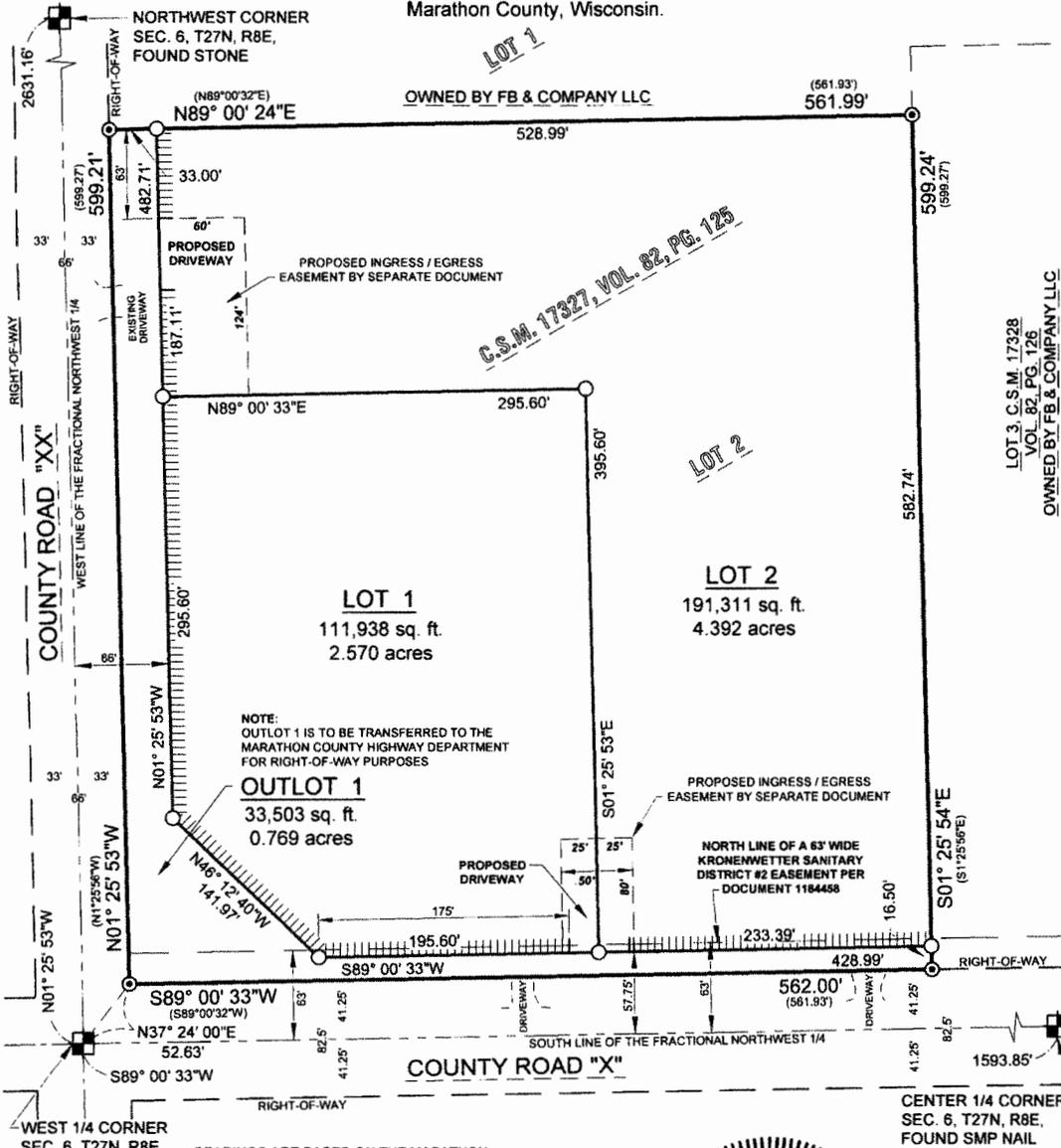
Chg 30.00



DOC# 1714094

MARATHON CO. CERTIFIED SURVEY MAP NO. 17401

Of Lot 2 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125 located in part of the Fractional Northwest 1/4 of Section 6, Township 27 North, Range 8 East, Village of Kronenwetter, Marathon County, Wisconsin.

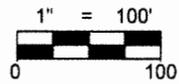


Lot 1: 145.4.2708.062.0984
 Lot 2: 145.4.2708.062.0983
 Outlot 1: 145.4.2708.062.0982

BEARINGS ARE BASED ON THE MARATHON COUNTY COORDINATE SYSTEM NAD 83 (2011) AND REFERENCED TO THE WEST LINE OF THE FRAC. NORTHWEST 1/4 OF SECTION 6, TOWNSHIP 27 NORTH, RANGE 8 EAST, MEASURED TO BEAR NORTH 01°25'53" WEST

LEGEND

- - 1-1/4" O.D. x 24" IRON PIPE WEIGHING 1.68 LBS/LIN. FT. SET
- ⊙ - FOUND 3/4" REBAR
- () - RECORDED BEARING/LENGTH
- RESTRICTED VEHICLE ACCESS



SHEET 1 OF 3



RIVERSIDE LAND SURVEYING LLC
 6304 KELLY PLACE WESTON, WI 54476
 PH 715-241-7500 - FAX 715-355-6894
 email - mail@riversidelandsurveying.com

REVISION: ADDED OUTLOT NOTE 4-11-2016	
DRAWN BY M.F.L.	DATE APRIL 5, 2016
CHECKED BY K.J.W.	PROJECT NO. 2409
PREPARED FOR: DAKOTA LAND COMPANY	



DOC # 1714094

MARATHON CO. CERTIFIED SURVEY MAP NO. 17401

Of Lot 2 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125 located in part of the Fractional Northwest 1/4 of Section 6, Township 27 North, Range 8 East, Village of Kronenwetter, Marathon County, Wisconsin.

I, Keith J. Walkowski, Professional Land Surveyor S-2717, hereby certify to the best of my knowledge and belief. That I have surveyed, mapped and divided Lot 2 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125 located in part of the Fractional Northwest 1/4 of Section 6, Township 27 North, Range 8 East, Village of Kronenwetter, Marathon County, Wisconsin, described as follows:

Commencing at the West 1/4 corner of said Section 6; Thence North 37°24'00" East, 52.63 feet to the East right-of-way line of County Road "XX" which is the point of beginning; Thence North 01°25'53" West along said East right-of-way line, 599.21 feet to the South line of Lot 1 of Certified Survey Map Number 17327 recorded in Volume 82 of Certified Survey Maps on Page 125; Thence North 89°00'24" East along said South line, 561.99 feet to the West line of Lot 3 of Certified Survey Map Number 17328 recorded in Volume 82 of Certified Survey Maps on Page 126; Thence South 01°25'54" East along said West line, 599.24 feet to the North right-of-way line of County Road "X"; Thence South 89°00'33" West along said North line, 562.00 feet to the point of beginning.

That the above described parcel of land contains 336,752 square feet or 7.731 acres, more or less;

That said Outlot 1 as shown hereon is a substandard lot and may not be improved upon without the prior approval of the appropriate governing bodies. That said Outlot 1 can be conveyed only to the owners of adjoining lands;

That said parcel is subject to all easements, restrictions and right-of-ways of record including a 63' wide utility easement to the Kronenwetter Sanitary District #2 per Document 1184458 and a proposed 60' wide Ingress / Egress easement and a proposed 50' wide Ingress / Egress easement once easement documents are recorded;

That I have made this survey, division and map thereof at the direction of Chad Sickler, Agent of said parcel;

That I have fully complied with the provisions of Section 236.34 of the Wisconsin Statutes, Chapter A-E7 of the Wisconsin Administrative Code and the subdivision regulations of Marathon County and the Village of Kronenwetter in Surveying, Mapping and Dividing the same.

That said map is a correct and accurate representation of the exterior boundaries of said parcel and the division thereof.

Dated this 11TH day of APRIL, 2016

Keith J. Walkowski
Riverside Land Surveying LLC
Keith J. Walkowski
P.L.S. No. 2717



SHEET 2 OF 3



RIVERSIDE LAND SURVEYING LLC
6304 KELLY PLACE WESTON, WI 54476 PH 715-241-7500 - FAX 715-355-6894
email - mail@riversidelandsurveying.com

REVISION: ADDED OUTLOT NOTE 4-11-2016	
DRAWN BY M.F.L.	DATE APRIL 5, 2016
CHECKED BY K.J.W.	PROJECT NO. 2409
PREPARED FOR: DAKOTA LAND COMPANY	

Marathon County

Owner (s):
APG NWI LLC

Location:
S1/2 NW FRL1/4, Sect. 6, T27N, R8E

Mailing Address:
**APG NWI LLC
5772 NEW CASTLE LN
BETTENDORF, IA 52722**

School District:
4970 - DC EVEREST

Request Mailing Address Change

Tax Parcel ID Number: Tax District: Status:
145-2708-062-0983 145-VILLAGE OF KRONENWETTER Active

Alternate Tax Parcel Number: Government Owned: Acres:
63-062708-008-005-00-00 4.3920

Description - Comments (Please see Documents tab below for related documents. For a complete legal description, see recorded document.):
SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094)

Site Address (es): (Site address may not be verified and could be incorrect. DO NOT use the site address in lieu of legal description.)

Taxes

0 Lottery credits claimed

Tax History

* Click on a Tax Year for detailed payment information.

Tax Year* Omitted	Tax Bill	Taxes Paid	Taxes Due	Interest	Penalty	Fees	Total Payoff
2024	\$3,706.85	\$3,706.85	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2023	\$3,733.81	\$3,733.81	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2022	\$4,030.02	\$4,030.02	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2021	\$3,904.86	\$3,904.86	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2020	\$4,801.53	\$4,801.53	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2019	\$4,860.10	\$4,860.10	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2018	\$118.93	\$118.93	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
2017	\$120.00	\$120.00	\$0.00	\$0.00	\$0.00	\$0.00	\$0.00
Total							\$0.00

'PAY TAXES' button may be used to pay the SECOND installment for all municipalities except for the City of Wausau. It may also be used to pay past year delinquent taxes for all municipalities. If the first installment is not received by the municipality by January 31 of the year due, interest and penalty will also be due. Please contact the County Treasurer's Office at (715) 261-1150 for exact amount due if after January 31 or if taxes are 3 years or more delinquent.

NOTE: Current year tax bills may not be processed by the county.

Interest and penalty on delinquent taxes are calculated to **July 31, 2025.**

Assessments



**PUBLIC HEARING
VILLAGE OF KRONENWETTER PLAN COMMISSION**

Notice is hereby given that a Public Hearing will be held on Monday, February 16, 2026 at 6:00 P.M., at the Kronenwetter Municipal Center, 1582 Kronenwetter Drive, Kronenwetter, WI 54455, to hear and consider the following:

CONDITIONAL USE PERMIT (Jesse Hintz)

Jesse Hintz, 160711 County Rd C, Mosinee, WI 54455 requests a Conditional Use Permit for a Residential Business (Copper Wire Recovery) at 1589 Kowalski Road, Kronenwetter, WI 54455. Tax Parcel ID Number: 145-2707-111-0996 . Legal description of subject property: SEC 11-27-07 PT OF NW 1/4 NE 1/4 E 330' THRF -- PLAT OF SURVEY 9/14/2021. 9.7310 Acres.

ZONING CHANGE REQUEST (Rad Pandit)

APG NWI LLC, 5772 New Castle Lane, Bettendorf, IA, 52722 requests a Zoning Change of 4.392 acres from B3 – General Commercial to MF – Multiple Family Residential located at County Road X (no address), Kronenwetter, WI 54455. Parcel Identification Number: 145-2708-062-0983. Legal description of the subject property: SEC 06-27-08 PT OF S 1/2 NW FRL 1/4 - LOT 2 CSM VOL 83 PG 58 (#17401) (DOC# 1714094).

Written testimony may be forwarded to the Village of Kronenwetter Community Development/Planning and Zoning Director, Peter S. Wegner, 1582 Kronenwetter Drive, Kronenwetter, WI 54455 or emailed to pwegner@kronenwetter.gov before the time of the hearing. All interested persons will be given an opportunity to be heard at the hearing. For questions and more information, please contact the Village prior to the meeting.



Cover Letter Planning Commission

Agenda Item: Site Plan Application, Premier Property Development, 1190 Gardner Park Road
Kronenwetter, WI 54455

Meeting Date: February 16, 2026

Referring Body: Plan Commission

Committee Contact: Dan Lesniak

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Site Plan Application, Premier Property Development, 1190 Gardner Park Road
Kronenwetter, WI 54455.

OBJECTIVE(S): To review the Site Plan Application and related documents for the placement of two buildings for Storing guns/gun collections and selling them online and Contractor’s outdoor storage yard and Landscaping Business at the above property.

HISTORY/BACKGROUND: Premier Property Development, 1190 Gardner Park Road
Kronenwetter, WI 54455 proposes to construct two buildings (70ft x 80ft, 5400sf and 56ft x 200ft, 11,200sf). In the future they propose to add three additional (56ft x 200ft, 11,200sf) buildings.

The current land use is a vacant parcel. The proposed land use is for Storing Guns/Gun Collections and selling them online, Contractor’s Outdoor Storage yard and Landscaping Business at the above property. The project is proposed to be completed in phases. Starting with two buildings then adding three more over time.

RECOMMENDED ACTION: To conditionally approve the Site Plan for Premier Property Development subject to the conditions contained with the Staff’s Report and to accept the findings of fact set forth in the Staff’s Report.

ATTACHMENTS: Staff Report and Site Plan Application.

**Premier Property Development, 1190 Gardner Park Road Kronenwetter, WI 54455
SITE PLAN APPLICATION**

STAFF REPORT FOR PLAN COMMISSION

**PUBLIC HEARINGS/
MEETINGS:**

Plan Commission Public Meeting: 6:00 pm. February 16, 2026

APPLICANT:

Dustin Vreeland
6103 Dawn Street
Weston, WI 54476

PROPERTY OWNER:

Premier Property Development
Greg & Vinnie Tesch
1190 Gardner Park Road
Kronenwetter, WI 54455

LOCATION OF REQUEST: 1190 Gardner Park Road, Kronenwetter, Wisconsin, 54455



Map 1: Site Location

(Source Data: Village of Kronenwetter)



ACREAGE: 5.0680 Acres

Legal DESCRIPTION: SEC 03-27-07 PT OF SW 1/4 SE 1/4 - PCL 1 CSM VOL 34 PG 104 (#8726) (DOC #1055283)

LEGAL NOTIFICATION: Notice of the project was sent to adjacent property owners within 100 feet of the subject property on February 9, 2026.

DEVELOPMENT PATTERN (AND ZONING): Subject Property: General Industrial (M2)
North: General Industrial (M2)
South: General Industrial (M2)
East: General Industrial (M2)
West: General Commercial (B3)

INTRODUCTION

Premier Property Development, 1190 Gardner Park Road Kronenwetter, WI 54455 proposes to construct two buildings (70ft x 80ft, 5400sf and 56ft x 200ft, 11,200sf) buildings. In the future they propose to add three additional (56ft x 200ft, 11,200sf) buildings.

The parcel is currently vacant. The proposed land use is for Storing Guns/Gun Collections and selling them online and Contractor’s Outdoor Storage yard and Landscaping Business at the above property. The project is proposed to be completed in phases. Starting with two buildings then adding three more over time.



Map 2: Aerial Photo
(Source Data: Marathon County GIS)



VILLAGE OF KRONENWETTER PLAN COMMISSION
FEBRUARY 16, 2026

Premier Property Development, 1190 Gardner Park Road Kronenwetter, WI 54455
Site Plan Application

RECOMMENDED MOTION

To conditionally approve the Site Plan for Premier Property Development, 1190 Gardner Park Road Kronenwetter, WI 54455, subject to the conditions contained with the Staff's Report and to accept the findings of fact set forth in the Staff's Report.

FINDINGS OF FACT AND RECOMMENDATION OF THE VILLAGE PLAN COMMISSION

Section 520-29(C)(5) of the Village of Kronenwetter General Code states the Plan Commission may approve a site plan only after considering the following:

(a) The proposed use(s) conform(s) to the uses permitted in that zoning district.

The proposed uses for the buildings to be constructed are permitted uses in the General Industrial (M2) Zoning District. Proposed Uses for the three future buildings would be permitted uses within the General Industrial (M2) Zoning District. The proposed uses would fall under § 520-24. - Storage or disposal land use types, § 520-26. - Industrial land use types.

(b) The dimensional arrangement of buildings and structures conform to the required area, yard, setback and height restrictions of this chapter.

The dimensional arrangement of the buildings and hard surfaced areas conforms to all requirements of setback and height restrictions of Chapter 520 of the Village General Code.

(c) The proposed use conforms to all use and design provisions and requirements (if any) as found in this chapter for the specified uses.

The proposed uses meet all use and design provisions as found in Chapter 520 of the Village General Code.

(d) There is a proper relationship between the existing and proposed streets and highways within the vicinity of the project in order to assure the safety and convenience of pedestrian and vehicular traffic.

No new public streets are proposed for this development. An existing access point and new access point off Gardner Park will be utilized to enter the property.

(e) The proposed on-site buildings, structures and entryways are situated and designed to minimize adverse effects upon owners and occupants of adjacent and surrounding properties by providing for adequate design of ingress/egress, interior/exterior traffic flow, storm water drainage, erosion, grading, lighting and parking, as specified by this chapter or any other codes or laws.

The proposed site plan is situated to minimize adverse effect upon owners and occupants of adjacent and surrounding properties by providing for adequate design of ingress/egress, interior/exterior traffic flow, storm water drainage, lighting, erosion, grading, and parking, as specified by Chapter 520 of the Village General Code and all other codes or laws. Infiltration basins will be constructed to manage storm water for impervious surfaces. Erosion control measures will be taken during construction.

(f) Natural features of the landscape are retained where they can enhance the development of the site, or where they furnish a barrier or buffer between the project and adjoining properties used for dissimilar purposes or where they assist in preserving the general safety, health, welfare and appearance of the neighborhood.

A landscape plan will identify a combination of large deciduous/coniferous trees, shrubs and herbaceous plants strategically placed on the property.

(g) Adverse effects of the proposed development and activities upon adjoining residents or owners are minimized by appropriate screening, fencing or landscaping, as provided or required.

The proposed uses must comply with ARTICLE XI. - LANDSCAPING AND PRESERVATION STANDARDS. § 520-79. - Landscaping requirements. A landscaping plan, including screening and fencing is required.

(h) Land, buildings and structures are readily accessible to emergency vehicles and disabled persons.

Emergency vehicles will have adequate access to the site and buildings. Emergency vehicles can access the property through the roadway access off Kowalski Road. The Fire Chief, Police Chief, Village Administrator, and Public Works Director have reviewed and approved the site plan.

(i) The site plan is consistent with the intent and purpose of this chapter, which is to promote the public health, safety and general welfare, to encourage the use of lands in accordance with their character and adaptability, to avoid the overcrowding of population, to lessen congestion on the public roads and streets, to reduce hazards of life and property and to facilitate existing community development plans.

The site plan is consistent with the intent and purpose of Chapter 520 of the Village General Code. The site plan promotes the public health, safety and general welfare, to encourage the use of lands in accordance with their character and adaptability, to avoid the overcrowding of population, to lessen congestion on the public roads and streets, to reduce hazards of life and property and to facilitate existing community development plans. The lot is zoned M2 - General Industrial. The uses being proposed are permitted uses within the General Industrial (M2) Zoning District.

(j) The site plan is consistent with the public goals, objectives, principles, standards, policies and urban design criteria set forth in the Village's Master Plan or components thereof.

The site plan is consistent with and furthers the goals, objectives, principles, and policies established in the Village's Comprehensive Plan. The Future Land Use Map shows the subject property as Industrial. As part of the Comprehensive Plan, the goal of the Village is to make sound land use decisions which strive to coordinate future growth and land uses with infrastructure capabilities and availability. This includes, "Strategically locate new developments in areas to create mutually beneficial relationships among businesses," "Strive to avoid allowing conflicting land uses to be located adjacent to one another" and "Encourage industrial uses in areas with convenient access to arterial roadways."

Suggested Conditions:

1. The Developer shall establish and maintain the required landscaping as required by the site plan during each phase of construction and in accordance with the landscaping plan of the site plan or requirements of the VILLAGE Ordinance.

2. The Developer shall establish and maintain the required stormwater requirements as required by the site plan during the first phase of the construction and in accordance with the site plan.
3. The Developer shall sign and submit a Stormwater Maintenance Agreement prior to the issuing of building permits.
4. The Developer shall pave the asphalt driveway apron entrances, driveways, parking areas as indicated on the site plan.
5. The Developer shall meet all local, state, and federal requirements for fire protection.
6. All exterior lighting shall be full cut-off lighting and installed according to the location, height, and illumination power specified on the site plan.
7. During the site development process, the developer shall maintain the site in an effort to reduce any negative effects of construction on neighboring properties. Any areas of the bare dirt shall be seeded with grass at the completion of each phase.
8. The Developer shall obtain a Roadway Access Permit from the VILLAGE.
9. The Developer shall obtain proper permits for any future land uses associated with the three proposed future buildings.
10. The Developer must comply with all ordinance requirements and performance standards related to proposed and any future proposed permitted or conditional uses within M2 - General Industrial Zoning District.

Standard Erosion Control Plan Section 7, Item 1.

for 1- & 2-Family Dwelling Construction Sites

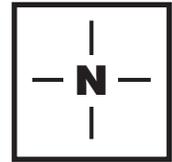
According to Chapters Comm 20 & 21 of the Wisconsin Uniform Dwelling Code, soil erosion control information needs to be included on the plot plan which is submitted and approved prior to the issuance of building permits for 1- & 2-family dwelling units in those jurisdictions where the soil erosion control provisions of the Uniform Dwelling Code are enforced. This Standard Erosion Control Plan is provided to assist in meeting this requirement.

Instructions:

1. Complete this plan by filling in requested information, completing the site diagram and marking appropriate boxes on the inside of this form.
2. In completing the site diagram, give consideration to potential erosion that may occur before, during, and after grading. Water runoff patterns can change significantly as a site is reshaped.
3. Submit this plan at the time of building permit application.

PROJECT LOCATION 1190 Gardner Park Road
 BUILDER _____ OWNER Greg & Vinnie Tesch
 WORKSHEET COMPLETED BY _____ DATE _____

Please indicate north by completing the arrow.



SITE DIAGRAM

Scale: 1 inch = ____ feet



EROSION CONTROL PLAN LEGEND

- PROPERTY LINE
- > EXISTING DRAINAGE
- > TD TEMPORARY DIVERSION
- > FINISHED DRAINAGE
- LIMITS OF GRADING
- SILT FENCE
- STRAW BALES
- GRAVEL
- VEGETATION SPECIFICATION
- TREE PRESERVATION
- STOCKPILED SOIL

EROSION CONTROL PLAN CHECKLIST

Check (✓) appropriate boxes below, and complete the site diagram with necessary information.

COMPLETED

NOT APPLICABLE

Site Characteristics

North arrow, scale, and site boundary. Indicate and name adjacent streets or roadways.

Location of existing drainageways, streams, rivers, lakes, wetlands or wells.

Location of storm sewer inlets.

Location of existing and proposed buildings and paved areas.

The disturbed area on the lot.

Approximate gradient and direction of slopes before grading operations.

Approximate gradient and direction of slopes after grading operations.

Overland runoff (sheet flow) coming onto the site from adjacent areas.

Erosion Control Practices

Location of temporary soil storage piles.

Note: Soil storage piles should be placed behind a sediment fence, a 10 foot wide vegetative strip, or should be covered with a tarp or more than 25 feet from any downslope road or drainageway.

Location of access drive(s).

Note: Access drive should have 2 to 3 inch aggregate stone laid at least 7 feet wide and 6 inches thick. Drives should extend from the roadway 50 feet or to the house foundation (whichever is less).

Location of sediment controls (filter fabric fence, straw bale fence or 10-foot-wide vegetative strip) that will prevent eroded soil from leaving the site.

Location of sediment barriers around on-site storm sewer inlets.

Location of diversions.

Note: Although not specifically required by code, it is recommended that concentrated flow (drainageways) be diverted (re-directed) around disturbed areas. Overland runoff (sheet flow) from adjacent areas greater than 10,000 sq. ft. should also be diverted around disturbed areas.

Location of practices that will be applied to control erosion on steep slopes (greater than 12% grade).

Note: Such practices include maintaining existing vegetation, placement of additional sediment fences, diversions, and re-vegetation by sodding or seeding with use of erosion control mats.

Location of practices that will control erosion on areas of concentrated runoff flow.

Note: Unstabilized drainageways, ditches, diversions, and inlets should be protected from erosion through use of such practices as in-channel fabric or straw bale barriers, erosion control mats, staked sod, and rock rip-rap. When used, a given in-channel barrier should not receive drainage from more than two acres of unpaved area, or one acre of paved area. In-channel practices should not be installed in perennial streams (streams with year round flow).

Location of other planned practices not already noted.

COMPLETED

NOT APPLICABLE

Indicate management strategy by checking (✓) the appropriate box.

Management Strategies

Temporary stabilization of disturbed areas.

Note: It is recommended that disturbed areas and soil piles left inactive for extended periods of time be stabilized by seeding (between April 1 and September 15), or by other cover, such as tarping or mulching.

Permanent stabilization of site by re-vegetation or other means as soon as possible (lawn establishment).

- Indicate re-vegetation method: Seed Sod Other _____
- Expected date of permanent re-vegetation: _____
- Re-vegetation responsibility of: Builder Owner/Buyer
- Is temporary seeding or mulching planned if site is not seeded by Sept. 15 or sodded by Nov. 15? Yes No

Use of downspout and/or sump pump outlet extensions.

Note: It is recommended that flow from downspouts and sump pump outlets be routed through plastic drainage pipe to stable areas such as established sod or pavement.

Trapping sediment during de-watering operations.

Note: Sediment-laden discharge water from pumping operations should be ponded behind a sediment barrier until most of the sediment settles out.

Proper disposal of building material waste so that pollutants and debris are not carried off-site by wind or water.

Maintenance of erosion control practices.

- Sediment will be removed from behind sediment fences and barriers before it reaches a depth that is equal to half the height of the barrier.
- Breaks and gaps in sediment fences and barriers will be repaired immediately. Decomposing straw bales will be replaced (typical bale life is three months).
- All sediment that moves off-site due to construction activity will be cleaned up before the end of the same workday.
- All sediment that moves off-site due to storm events will be cleaned up before the end of the next workday.
- Access drives will be maintained throughout construction.
- All installed erosion control practices will be maintained until the disturbed areas they protect are stabilized.

EROSION CONTROL REGULATIONS

Erosion control and stormwater regulations can be complex. Local, state and, in some cases, federal regulations may apply. Before construction make sure you have the appropriate permits.

LOCAL ORDINANCES

Check with your county, city, village, or town for any local erosion control ordinances including shoreland zoning requirements. Except for new 1- & 2-family dwellings, local ordinances may be more strict than state regulations. They may also require erosion control on construction projects not affected by state or federal regulations.

UNIFORM DWELLING CODE (DEPT. OF COMMERCE)

CONTROLS REQUIRED

- Silt fences, straw bales, or other approved perimeter measures along downslope sides and side slopes.
- Access drive.
- Straw bales, filter fabric fences or other barriers to protect on-site sewer inlets.
- Additional controls if needed for steep slopes or other special conditions.

FOR MORE INFORMATION, CONTACT:

- Local building inspector
- Department of Commerce, Safety and Buildings Division, P.O. Box 7970, Madison, Wis. 53707-7970, (608) 267-5113.

STORMWATER PERMIT (DEPT. OF NATURAL RESOURCES)

CONTROLS REQUIRED

- Erosion control measures specified in the *Wisconsin Construction Site Best Management Practice Handbook*.
- Measures to control storm water after construction.

FOR MORE INFORMATION, CONTACT

- Department of Natural Resources, Storm Water Permits, P.O. 7921, Madison, WI 53707-7921, (608) 267-7694.

For more assistance on plan preparation, refer to the Wisconsin Uniform Dwelling Code, the DNR *Wisconsin Construction Site Best Management Handbook*, and UW-Extension publication *Erosion Control for Home Builders*. The *Wisconsin Uniform Dwelling Code* and the *Wisconsin Construction Site Best Management Handbook* are available through the State of Wisconsin Document Sales, (608) 266-3358.

Erosion Control for Home Builders (GWQ001) can be ordered through Extension Publications, (608) 262-3346 or the Department of Commerce, (608) 267-4405. A PDF version of *Erosion Control for Home Builders* (GWQ001) and *Standard Erosion Control Plan* are also available at <http://clean-water.uwex.edu/pubs/sheets>

This publication is available from county UW-Extension offices or from Extension Publications, 45 N. Charter St., Madison, WI 53715. (608) 262-3346 or toll-free (877) 947-7827. A publication of the University of Wisconsin-Extension in cooperation with the Wisconsin Department of Natural Resources and the Wisconsin Department of Commerce.



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GWQ001A Standard Erosion Control Plan for 1 & 2 Family Dwelling Construction Sites

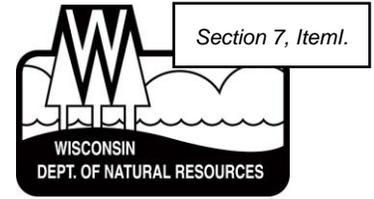
DNR WT-458-96

R-03-02-2M-10-S

Editing and design by the Environmental Resources Center, University of Wisconsin-Extension.



Printed on recycled paper



December 8, 2025

Vinnie Tesch
Premier Property Holdings LLC
1190 Gardner Park Rd
Kronenwetter WI 54455
Via email: contact@premierlawn-wi.com

SUBJECT: Coverage Under WPDES General Permit No. WI-S067831-06: Construction Site Storm Water Runoff
Permittee Name: Premier Property Holdings LLC Site
Site Name: Premier Property Development
FIN: 102521

Dear Permittee:

The Wisconsin Department of Natural Resources received your Water Resources Application for Project Permits or Notice of Intent, on December 01, 2025, for the Premier Property Development site and has evaluated the information provided regarding storm water discharges from your construction site. We have determined that your construction site activities will be regulated under ch. 283, Wis. Stats., ch. NR 216, Wis. Adm. Code, and in accordance with Wisconsin Pollutant Discharge Elimination System (WPDES) General Permit No. WI-S067831-06, Construction Site Storm Water Runoff. All erosion control and storm water management activities undertaken at the site must be done in accordance with the terms and conditions of the general permit.

The **Start Date** of permit coverage for this site is December 08, 2025. The maximum period of permit coverage for this site is limited to 3 years from the **Start Date**. Therefore, permit coverage automatically expires and terminates 3 years from the Start Date and storm water discharges are no longer authorized unless another Notice of Intent and application fee to retain coverage under this permit or a reissued version of this permit is submitted to the Department 14 working days prior to expiration.

A copy of the general permit along with extensive storm water information including technical standards, forms, guidance and other documents is accessible on the Department's storm water program Internet site. To obtain a copy of the general permit, please download it and the associated documents listed below from the following Department Internet site:

<http://dnr.wi.gov/topic/stormwater/construction/forms.html>

- Construction Site Storm Water Runoff WPDES general permit No. WI-S067831-06
- Construction site inspection report form
- Notice of Termination form

If, for any reason, you are unable to access these documents over the Internet, please contact me and I will send them to you.

To ensure compliance with the general permit, please read it carefully and be sure you understand its contents. Please take special note of the following requirements (This is not a complete list of the terms and conditions of the general permit.):

1. The Construction Site Erosion Control Plan and Storm Water Management Plan that you completed prior to submitting your permit application must be implemented and maintained throughout construction. Failure to do so may result in enforcement action by the Department.

2. Construction dewatering discharges from an area subject to remedial action operations or from an area containing contamination that would be subject to remedial action operations are not eligible for coverage under this permit (section 1.1.2.3). Discharges may be eligible for coverage under the [Contaminated Groundwater from Remedial Action Operations General Permit \(WI-0046566-07-0\)](#).
3. The general permit requires that erosion and sediment controls be routinely inspected at least every 7 days, and within 24 hours after a rainfall event of 0.5 inches or greater. Weekly written reports of all inspections must be maintained. The reports must contain the following information:
 - a. Date, time, and exact place of inspection;
 - b. Name(s) of individual(s) performing inspection;
 - c. An assessment of the condition of erosion and sediment controls;
 - d. A description of any erosion and sediment control implementation and maintenance performed;
 - e. A description of the site's present phase of construction.
4. A **Certificate of Permit Coverage** must be posted in a conspicuous place on the construction site. The Certificate of Permit Coverage (WDNR Publication # WT-813) is enclosed for your use.
5. When construction activities have ceased and the site has undergone final stabilization, a Notice of Termination (NOT) of coverage under the general permit must be submitted to the Department.

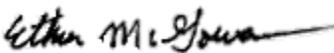
It is important that you read and understand the terms and conditions of the general permit because they have the force of law and apply to you. Your project may lose its permit coverage if you do not comply with its terms and conditions. The Department may also withdraw your project from coverage under the general permit and require that you obtain an individual WPDES permit instead, based on the Department's own motion, upon the filing of a written petition by any person, or upon your request.

If you believe that you have a right to challenge this decision to grant permit coverage, you should know that the Wisconsin statutes and administrative rules establish time periods within which requests to review Department decisions must be filed. For judicial review of a decision pursuant to ss. 227.52 and 227.53, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to file your petition with the appropriate circuit court and serve the petition on the Department. Such a petition for judicial review must name the Department of Natural Resources as the respondent.

To request a contested case hearing pursuant to s. 227.42, Wis. Stats., you have 30 days after the decision is mailed, or otherwise served by the Department, to serve a petition for hearing on the Secretary of the Department of Natural Resources. All requests for contested case hearings must be made in accordance with s. NR 2.05(5), Wis. Adm. Code, and served on the Secretary in accordance with s. NR 2.03, Wis. Adm. Code. The filing of a request for a contested case hearing is not a prerequisite for judicial review and does not extend the 30-day period for filing a petition for judicial review.

Thank you for your cooperation with the Construction Site Storm Water Discharge Permit Program. If you have any questions concerning the contents of this letter or the general permit, please contact Amanda Harvey at (715) 679-0694.

Sincerely,



Ethan McGowan, PE
Regional Stormwater Engineer
Northern & West Central Region

ENCLOSURE: Certificate of Permit Coverage



CERTIFICATE OF PERMIT COVERAGE

UNDER THE WPDES CONSTRUCTION SITE STORM WATER RUNOFF PERMIT Permit No. WI-S067831-06

Under s. NR 216.455(2), Wis. Adm. Code, landowners of construction sites with storm water discharges regulated by the Wisconsin Department of Natural Resources (WDNR) Storm Water Permit Program are required to post this certificate in a conspicuous place at the construction site. This certifies that the site has been granted WDNR storm water permit coverage. The landowner must implement and maintain erosion control practices to limit sediment-contaminated runoff to waters of the state in accordance with the permit.

EROSION CONTROL COMPLAINTS should be reported to the WDNR Tip Line at **1-800-TIP-WDNR (1-800-847-9367)**

Please provide the following information to the Tip Line:

WDNR Site No. (FIN): 102521

Site Name: Premier Property Development

Address/Location: Parcel 1 of CSM 8726-34-104 Village of KRONENWETTER

Additional Information:

Landowner: Premier Property Holdings LLC

Landowner's Contact Person: Vinnie Tesch

Contact Telephone Number: (715) 870-5770

Permit Start Date: December 08, 2025

By: *Ethan McJannet*



February 10, 2026

CURRENT RESIDENT
PO BOX 19001
GREEN BAY, WI 54307-9001

Subject: Site Plan for Premier Property Development

Dear Landowner:

The Village of Kronenwetter has received a site plan application for the placement of two buildings for storing guns/gun collections and selling them online and contractor's outdoor storage yard/landscaping business at 1190 Gardner Park Road Kronenwetter, WI 54455. The two proposed buildings are 70ft x 80ft, 5400sf and 56ft x 200ft, 11,200sf. In the future they propose to add three additional (56ft x 200ft, 11,200sf) buildings. These buildings will be rented out to other businesses or contractors. A complete copy of the application packet is available for viewing at the Village of Kronenwetter Municipal Center.

You are receiving this letter as the owner of property within 100 feet to the proposed development. The Village Plan Commission will review the site plan at 6:00 PM on February 16, 2026 at the Village of Kronenwetter Municipal Center. There will be an opportunity for public input at the meeting.

Thank you in advance for your assistance. If you have any questions, comments, or concerns please direct them to Peter Wegner, 1582 Kronenwetter Drive, Kronenwetter, WI 54455 or by email to pwegner@kronenwetter.gov.

Sincerely,

Peter S. Wegner
Community Development/Planning and Zoning Director



February 10, 2026

CURRENT RESIDENT
1174 GARDNER PARK RD
KRONENWETTER, WI 54455

Subject: Site Plan for Premier Property Development

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Sincerely,

Peter S. Wegner
Community Development/Planning and Zoning Director



February 10, 2026

CURRENT RESIDENT
PO BOX 47
WAUKESHA, WI 53187-0047

Subject: Site Plan for Premier Property Development

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Sincerely,

Peter S. Wegner
Community Development/Planning and Zoning Director



February 10, 2026

CURRENT RESIDENT
2425 E CAMELBACK RD STE 800
PHOENIX, AZ 85016

Subject: Site Plan for Premier Property Development

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Sincerely,

Peter S. Wegner
Community Development/Planning and Zoning Director

Site Plan Application & Submittal Requirement

Section 7, Iteml.



1582 Kronenwetter Drive
 Kronenwetter, WI 54455
 715-693-4200
 www.kronenwetter.org

Application Fees

- Minor Site Plan Amendment: \$150
- Site Plans less than 5,000 SF of Building Area: \$500
- Site Plans greater than 5,000 SF of Building Area: \$1,000

Completed applications shall be submitted to the Village Clerk 45 days prior to the Planning Commission meeting date on which they will be considered. It is pertinent that the relevant sections of the zoning ordinance be reviewed for regulations and other information, which may be required for submittal depending on the type of application.

1. Project Name Premier Property Development Submittal Date 11/20/25
2. Owner Greg & Vinnie Tesch Telephone 715-551-9700
 Address 1190 Gardner Park Road Kronenwetter
3. Applicant is (check one) Owner Agent Other _____
 (If Applicant is not the owner, provide letter of Authorization from Owner)
4. Project Applicant / Contact Person Dustin Vreeland
 Phone # 715-241-0947 Fax # _____
 Address 6103 Dawn Street Weston, WI 54476
 Email Address dustin@vreelandassociates.us
5. Is property to be subdivided within an existing subdivision? _____
 If so, what is the existing subdivision name? _____
6. Location and legal description of property (by government lot, section, township, range and county)
Parcel 1 of CSM 8726
7. Total acreage of property 5.068
8. Frontage width of parcel 362.45
9. Parcel Identification Number (PIN) 14527070340972
10. Existing Zoning of the property M2
11. Type of Parcel Commercial Multi-Family Industrial PUD Other
12. Current Zoning/Use

	<u>Zoning</u>	<u>Land Use</u>
North:	_____	_____
South:	_____	_____
East:	_____	_____
West:	_____	_____

CHECKLIST

- Plans and written submittals. The following is a description of the plans, documents and written submittals required for the various permits by this chapter. Applications shall be submitted on forms provided by the Village Clerk, along with applicable fees as per the fee schedule. All plans and documents must be 11 inches by 17 inches reproducible, except one set of originals at D-size scale. A description of the intended uses, described in reasonable detail, shall include the following:
- a. Zoning. Existing zoning district(s) and proposed zoning district(s) (if different).
 - b. Land use plan designation. The designated type of use shown for the site on the Village Land Use Map.
 - c. Current land uses. Present land uses on the subject property.
 - d. Proposed land uses. Proposed land uses for the subject property.
 - e. Projected use. Projected number of residents, employees, and daily visitors.
 - f. Proposed development. The amount of dwelling units, floor area, impervious surface area, and landscape surface area, and resulting site density floor area ratio, impervious surface area ratio, and landscape surface area ratio.
 - g. Operations. The operational considerations relating to hours of operation, projected normal and peak water usage, sanitary sewer or septic loading, and traffic generation.
 - h. Building material. The exterior building and fencing material types and colors.
 - i. Expansion. Any possible future expansion and related implications.
 - j. Other information. Any other information pertinent to adequate understanding by the Plan Commission of the intended use and its relation to nearby properties.
- Small location map. A map of the subject property showing all lands for which the use is proposed, and all other lands within 200 feet of the boundaries of the subject property. The location map shall clearly indicate the current zoning of the subject property and adjacent properties and show any other jurisdiction(s) that maintain control over the property. The location map shall be at a scale that is not less than one inch equals 800 feet, as well as a location map copy on a sheet no larger than 11 inches by 17 inches, showing the subject property and illustrating its relationship to the nearest street intersection.
- Scale Site Plan: A site plan of the subject property as proposed for development. A site plan shall be submitted at scale (and a reduction at 11" x 17") that includes:
- a. A title block which indicates the name, address and phone/fax number(s) of the current property owner and/or agent(s) (developer, architect, engineer, planner) for project;
 - b. The date of the original plan and the latest date of revision to the plan;
 - c. A north arrow and a graphic scale. Said scale shall not be smaller than one inch equals one hundred (100) feet;
 - d. A legal description of the subject property;
 - e. All property lines and existing and proposed right-of-way lines with bearings and dimensions clearly labeled;
 - f. All existing and proposed easement lines and dimensions with a key provided and explained on the margins of the plan as to ownership and purpose;
 - g. All required building setback lines;
 - h. All existing and proposed buildings, structures, and paved areas, including building entrances, walks, drives, decks, patios, fences, utility poles, drainage facilities, and walls;
 - i. The location and dimensions of all access points onto public streets;
 - j. The location and dimensions of all on-site parking (and off-site parking provision if they are to be employed), including a summary of the number and size of parking stalls provided versus the number required by this Ordinance;
 - k. The location and dimensions of all loading and service areas on the subject property and labels indicating the dimensions of such areas;

- l. The location of all outdoor storage areas and screening devices;
 - m. The location, type, height, size and lighting of all signage on the subject property;
 - n. The location, height, design/type, illumination power and orientation of exterior lighting on the subject property;
 - o. The location and type of any permanently protected green space areas;
 - p. The location of existing and proposed drainage facilities;
 - q. In the legend, data for the subject property: (Lot Area, Floor Area, Floor Area Ratio, Impervious Surface Area, Impervious Surface Ratio, and Building Height.)
- Detailed Landscape Plan: At the same scale as the site plan (and a reduction at 11" x 17"), showing the location of all required buffer yards and landscaped areas and existing and proposed landscape point fencing and berm options for meeting said requirements.
- a. The individual plant locations, species, and size shall be shown.
 - b. Screening such as: fencing types and berm heights shall be shown by size and height.
- Grading Plan: At the same scale as the site plan (and a reduction at 11" x 17") showing existing and proposed grades, including retaining walls and related devices and erosion control measures. It will include:
- a. Existing and proposed contours at a minimum of 2-foot contours;
 - b. Existing and proposed spot elevations at corners of structures and significant changes in grade;
 - c. Flow lines of all drainages.
- Elevation Drawings: Side views of proposed buildings, structures, or proposed remodeling of existing buildings showing finished exterior treatment shall also be submitted, with adequate labels provided to clearly depict exterior materials, texture, color and overall appearance. Perspective renderings of the proposed project and/or photo of similar structures may be submitted, but not in lieu of adequate drawing showing the actual intended appearance of the buildings.
- Erosion Control Plan: At the same scale as the site plan (and a reduction at 11" x 17") showing all erosion control measures:
- a. Location and description of soil types which have been rated severe for erosion limitations by the U.S. Soil Conservation Service;
 - b. Elevation and extent of all proposed grading;
 - c. Plans and specifications for erosion control devices, such as: retaining walls, cribbing, planting, anti-erosion devices, and other protective measures;
 - d. Drainage areas of the site, upstream and downstream culverts or other restrictions;
 - e. Plans (written or drawn) for removal, re-contouring, or other disposition of sediment basins or other temporary devices;
 - f. Plans prepared as per *Wisconsin Construction Site Best Management Practices Handbook*, prepared by the Wisconsin Department of Natural Resources.
- Storm Water Management: The storage and controlled release of excess storm water must be shown along with calculations indicating the development does not exceed the peak discharge of storm water runoff as occurring under the predevelopment existing conditions of the parcel, based upon a ten (10) year storm event. Where site detention is required for runoff control, the detention facilities shall safely pass the runoff of a one hundred (100) year storm through an emergency outlet.

Note: Applicant must be the landowner or his/her designee. Tenants, agents, designers, contractors, attorneys, etc. shall not sign application unless Power of Attorney is submitted with the application.

Dustin Vreeland

Printed Name of Applicant

Dustin Vreeland

Signature of Applicant

FOR OFFICE USE ONLY:

Application Received _____ Check # _____

Plan Commission:

Meeting Date _____ Recommendation: Approved / Denied

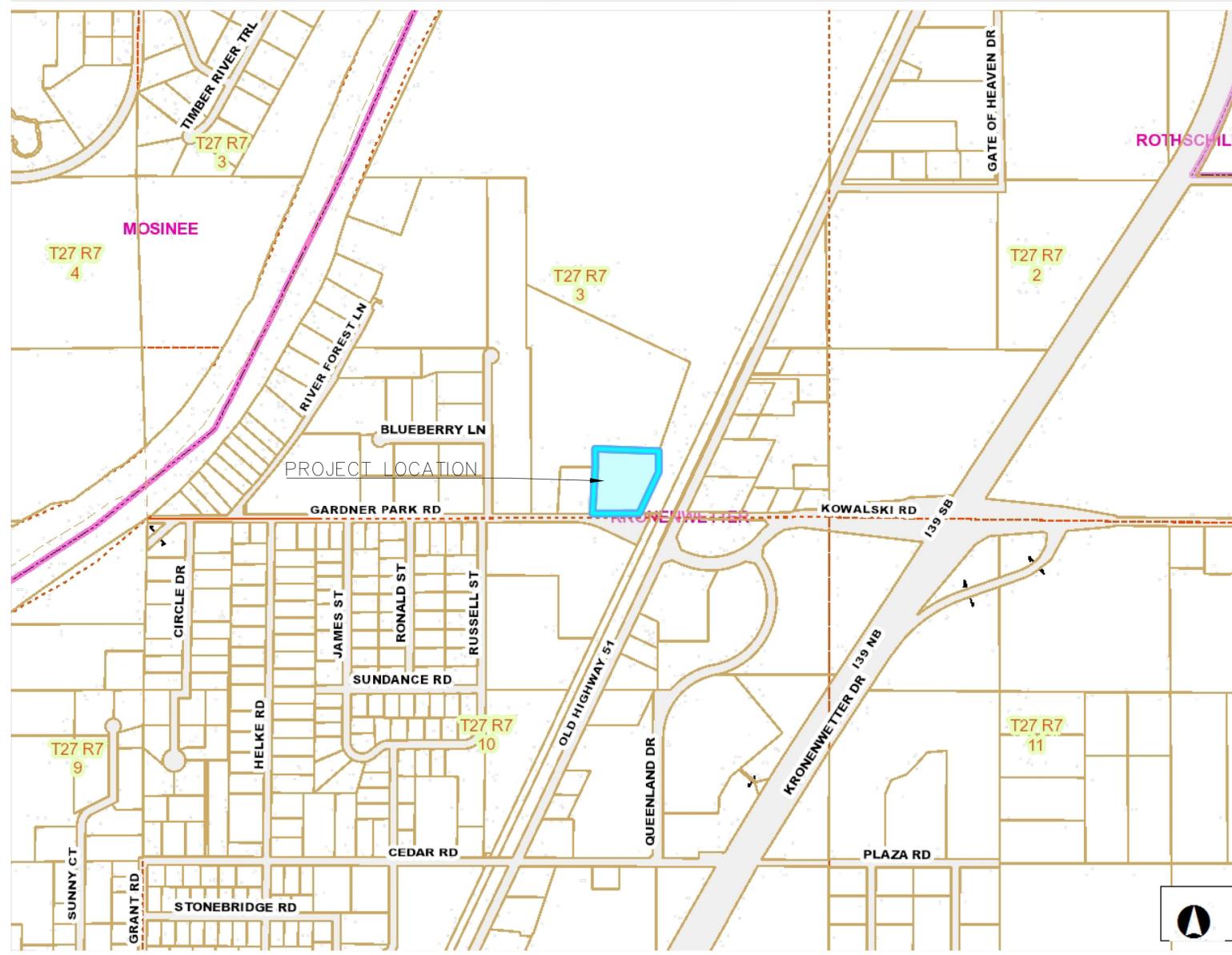
Village Board:

Meeting Date _____ Decision: Approved / Denied

BEARINGS REFERENCED TO THE
 WISCONSIN COUNTY COORDINATE SYSTEM
 (MARATHON) MAD83 (2011)

ADDRESS:
 1109 GARDNER PARK ROAD KRONENWETTER, WI 54455

LOCATION:
 PARCEL 1 OF CERTIFIED SURVEY MAP NUMBER 8726-34-104, PART OF THE SOUTHWEST 1/4
 OF THE SOUTHEAST 1/4 OF SECTION 3, TOWNSHIP 27 NORTH, RANGE 7 EAST, VILLAGE OF
 KRONENWETTER, MARATHON COUNTY, WISCONSIN



LOCATION MAP

DRAWING INDEX

- SHEET C2 EXISTING SITE
- SHEET C3 PROPOSED SITE PLAN
- SHEET C4 PROPOSED UTILITY PLAN
- SHEET C5 PROPOSED GRADING PLAN
- SHEET C6 PROPOSED EROSION CONTROL PLAN
- SHEET C7.0-C7.1 PROPOSED STORMWATER PLAN & DETAIL
- SHEET C8 PROPOSED SITE DETAILS
- SHEET C9 PROPOSED EROSION CONTROL DETAILS

Point Table				
Point #	Northing	Easting	Elevation	Description
1000	160388.64	274928.64	1171.98	South side of 1.25" Iron Pipe
1001	159887.44	274821.80	1172.44	Survey Mag Nail
1002	159891.77	274397.91	1170.95	Survey Mag Nail
1003	160407.57	274435.64	1174.00	Center of 3/4" Rebar

PRIVATE UTILITIES NOT LOCATED
UNDERGROUND UTILITIES

THESE RECORD DRAWINGS HAVE BEEN PREPARED, IN PART,
 ON THE BASIS OF INFORMATION COMPILED AND FURNISHED
 BY OTHERS. THE SURVEYOR AND ENGINEER WILL NOT BE
 RESPONSIBLE FOR ANY ERRORS OR OMISSIONS WHICH HAVE
 BEEN INCORPORATED INTO THIS DOCUMENT AS A RESULT.
 SOME UTILITIES HAVE BEEN LOCATED BY MAPS PROVIDED
 BY OTHERS - LOCATIONS ARE APPROXIMATE.
 PRIVATE UTILITIES MAY EXIST BUT ARE NOT SHOWN ON MAP.
 FIELD VERIFY SANITARY AND STORM SEWER PIPE SIZE AND
 LOCATION.
 UNDERGROUND UTILITIES SHOWN ON THIS MAP ARE BASED
 IN PART ON MARKINGS BY DIGGERS HOTLINE.

SCALE NOTE:
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REVISIONS		
BY	DATE	DESCRIPTION

TITLE PAGE:
COVER PAGE
 PROJECT: PREMIER PROPERTY DEVELOPMENT
 LOCATION: VILLAGE OF KRONENWETTER
 MARATHON COUNTY, WISCONSIN



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PREPARED FOR:
GREG TESCH
 PLAN DATE:
NOVEMBER 19TH, 2025

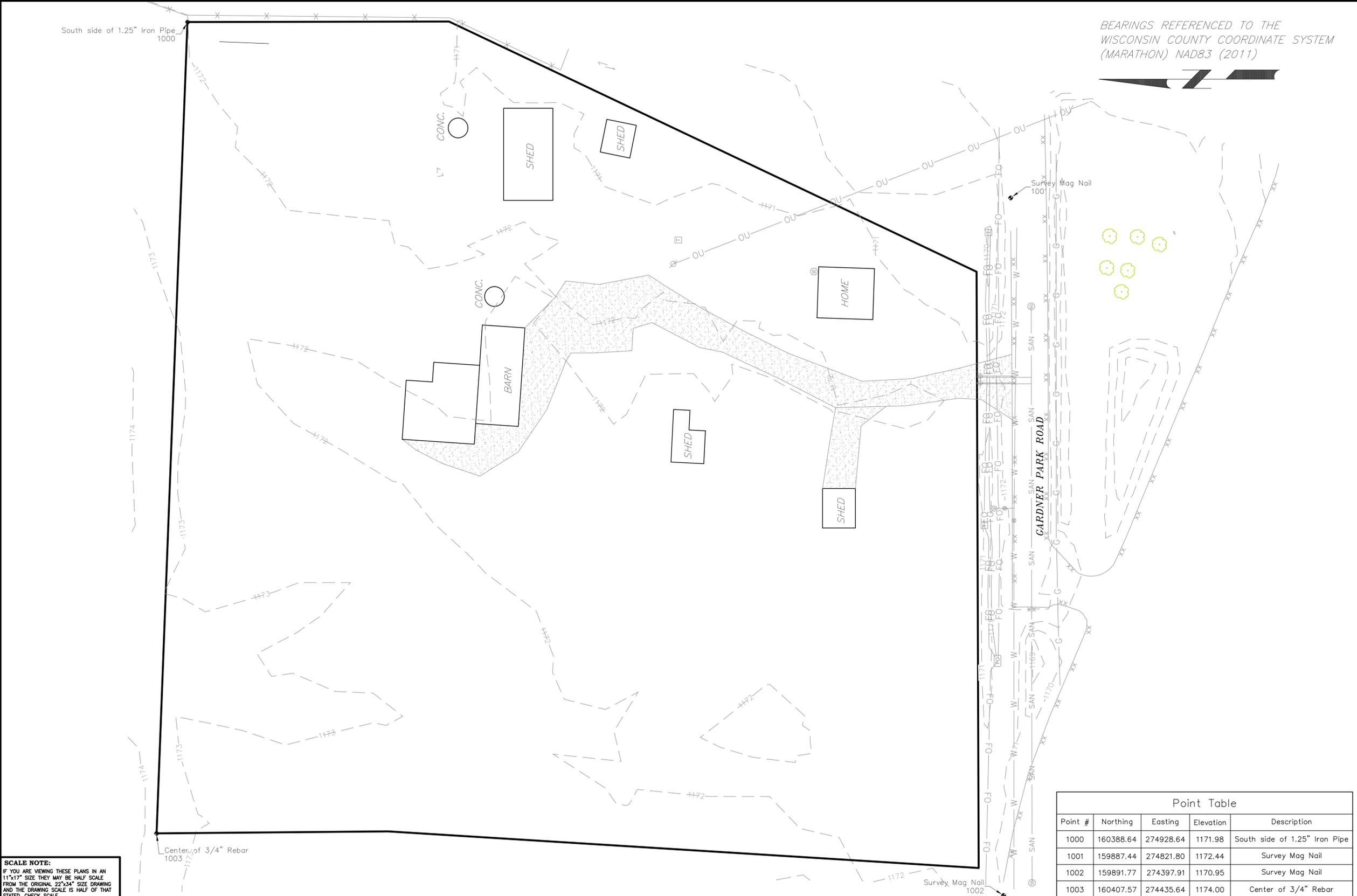
DESIGNER: DUSTIN VREELAND
 SURVEYED BY: CB & TV
 FILE NO.: 25-0410 ENGINEERING
 DATE: SEPTEMBER 15TH, 2025
 SCALE:
NO SCALE
 SHEET
C1

SURVEY LEGEND

These standard symbols will be found in the drawing.

- SANITARY SEWER
- STORM SEWER
- OVERHEAD UTILITIES
- BURIED ELECTRIC
- BURIED GAS
- BURIED TELEPHONE
- BURIED TELEVISION
- WATERMAIN
- FIBER OPTICS
- IRRIGATION LINE
- FENCE LINE
- EDGE OF BITUMINOUS
- CONTOUR LINE
- F.F.E. = FINISHED FLOOR ELEVATION
- RECTANGULAR CATCH BASIN
- CIRCULAR CATCH BASIN
- SQUARE CATCH BASIN
- STORM MANHOLE
- SANITARY MANHOLE
- SEPTIC TANK
- UTILITY MANHOLE
- WATER MANHOLE
- WELL
- WATER SERVICE
- WATER VALVE
- HYDRANT
- IRRIGATION HEAD
- ELECTRIC MANHOLE
- ELECTRIC METER
- ELECTRIC TRANSFORMER
- ELECTRIC OUTLET
- ELECTRIC BOX
- WATER FOUNTAIN
- LIGHTPOLE
- POWERPOLE
- FLOOD LIGHT
- BOLLARD
- GUY WIRE
- GAS METER
- GAS VALVE
- TELEPHONE MANHOLE
- TELEPHONE PEDESTAL
- FIBER OPTIC VAULT
- FIBER OPTIC MANHOLE
- PARKING METER
- GUARD POST
- VENT PIPE
- CLEAN OUT
- MONITORING WELL
- BURIED FUEL TANK
- CONTROL BOX
- AIR CONDITIONING UNIT
- BUSH/SHRUB
- HEDGE
- TREE
- PINE TREE

BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) NAD83 (2011)



Point Table				
Point #	Northing	Easting	Elevation	Description
1000	160388.64	274928.64	1171.98	South side of 1.25" Iron Pipe
1001	159887.44	274821.80	1172.44	Survey Mag Nail
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REVISIONS		
BY	DATE	DESCRIPTION

TITLE PAGE:
EXISTING SITE

PROJECT: **PREMIER PROPERTY DEVELOPMENT**

LOCATION: **VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN**



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PREPARED FOR:
GREG TESCH

PLAN DATE:
NOVEMBER 19TH, 2025

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15TH, 2025
SCALE: **1" = 30'**
SHEET C2

SITE PLAN NOTES:

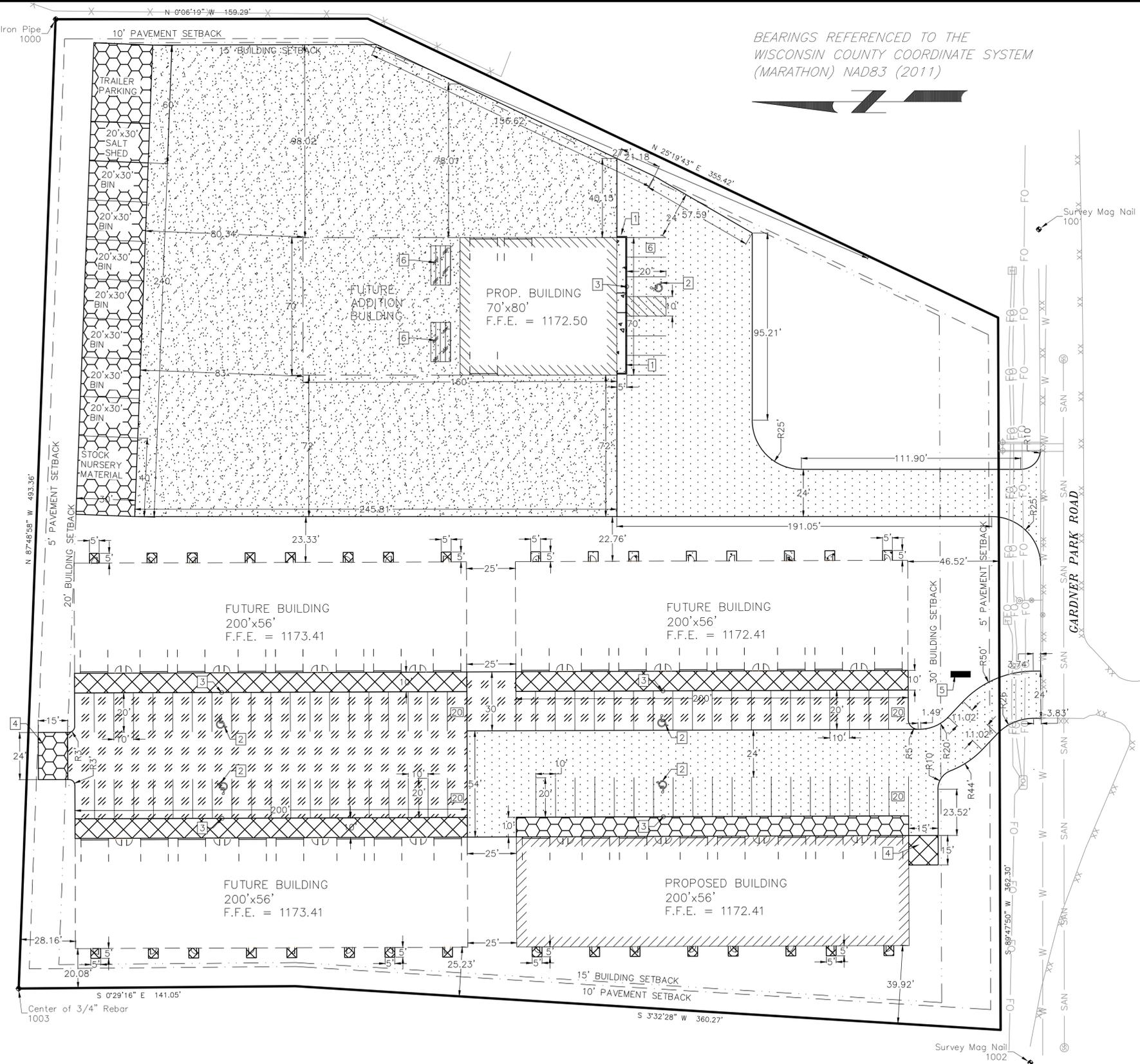
- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ALL REQUIRED EROSION CONTROL MEASURES ARE TO BE INSTALLED IN ACCORDANCE WITH LOCAL MUNICIPAL AND DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES AND LOCAL AUTHORITIES.
- SEE SHEET C6 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- VERIFY THE LOCATION OF ALL EXISTING UTILITIES PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- ALL BIDDERS PLANNING ON SUBMITTING A BID SHALL VISIT THE SITE AND REVIEW THE EXISTING CONDITIONS PRIOR TO THE BID DATE.
- PRIOR TO THE START OF WORK VERIFY WITH THE LOCAL AUTHORITIES THAT ALL REQUIRED PERMITS HAVE BEEN ACQUIRED.
- COORDINATE CONSTRUCTION IN THE RIGHT OF WAY WITH THE LOCAL AUTHORITIES.
- PROVIDE PROPER BARRICADES, SIGNS AND TRAFFIC CONTROL TO MAINTAIN THRU TRAFFIC ALONG ADJACENT STREETS IN ACCORDANCE WITH LOCAL MUNICIPAL REQUIREMENTS.
- ALL SAWCUTS SHALL BE AT AN EXISTING JOINT IN THE CURB AND PAVEMENT.
- RESTORE ALL EXCAVATED LAWN AREAS WITH A MINIMUM OF 6" OF TOPSOIL, SEED, FERTILIZER, AND MULCH.
- ALL GENERAL LANDSCAPE AREAS SHALL BE SEEDED/FERTILIZED/MULCHED IN ACCORDANCE WITH THE WDNR TECHNICAL STANDARDS.

SITE PLAN LEGEND

- PROPOSED 4" CONCRETE WITH 8" BASE COURSE
SEE DETAIL ON SHEET C8
- FUTURE 4" CONCRETE WITH 8" BASE COURSE
SEE DETAIL ON SHEET C8
- PROPOSED 3.5" ASPHALT WITH 12" BASE COURSE
SEE DETAIL ON SHEET C8
- FUTURE 3.5" ASPHALT WITH 12" BASE COURSE
SEE DETAIL ON SHEET C8
- PROPOSED 12" GRAVEL
- PROPOSED 6" CONCRETE WITH 8" BASE COURSE
SEE DETAIL ON SHEET C8
- PROPOSED PARKING LOT STALLS
- PROPOSED THICKENED EDGE WALK
SEE DETAIL ON SHEET C8
- PROPOSED HANDICAP STALL
SEE DETAIL ON SHEET C8
- PROPOSED HANDICAP SIGN
SEE DETAIL ON SHEET C8
- PROPOSED DUMPSTER ENCLOSURE
SEE DETAIL ON SHEET C8
- PROPOSED MONUMENT SIGN
COORDINATE W/OWNER
- PROPOSED FUEL STORAGE
COORDINATE W/OWNER

South side of 1.25" Iron Pipe 1000

BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) NAD83 (2011)



SCALE NOTE:
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BY	DATE	DESCRIPTION

TITLE PAGE:

PROPOSED SITE PLAN

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN



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PREPARED FOR: GREG TESCH

PLAN DATE: NOVEMBER 19TH, 2025

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15TH, 2025
SCALE: 1" = 30'
SHEET C3

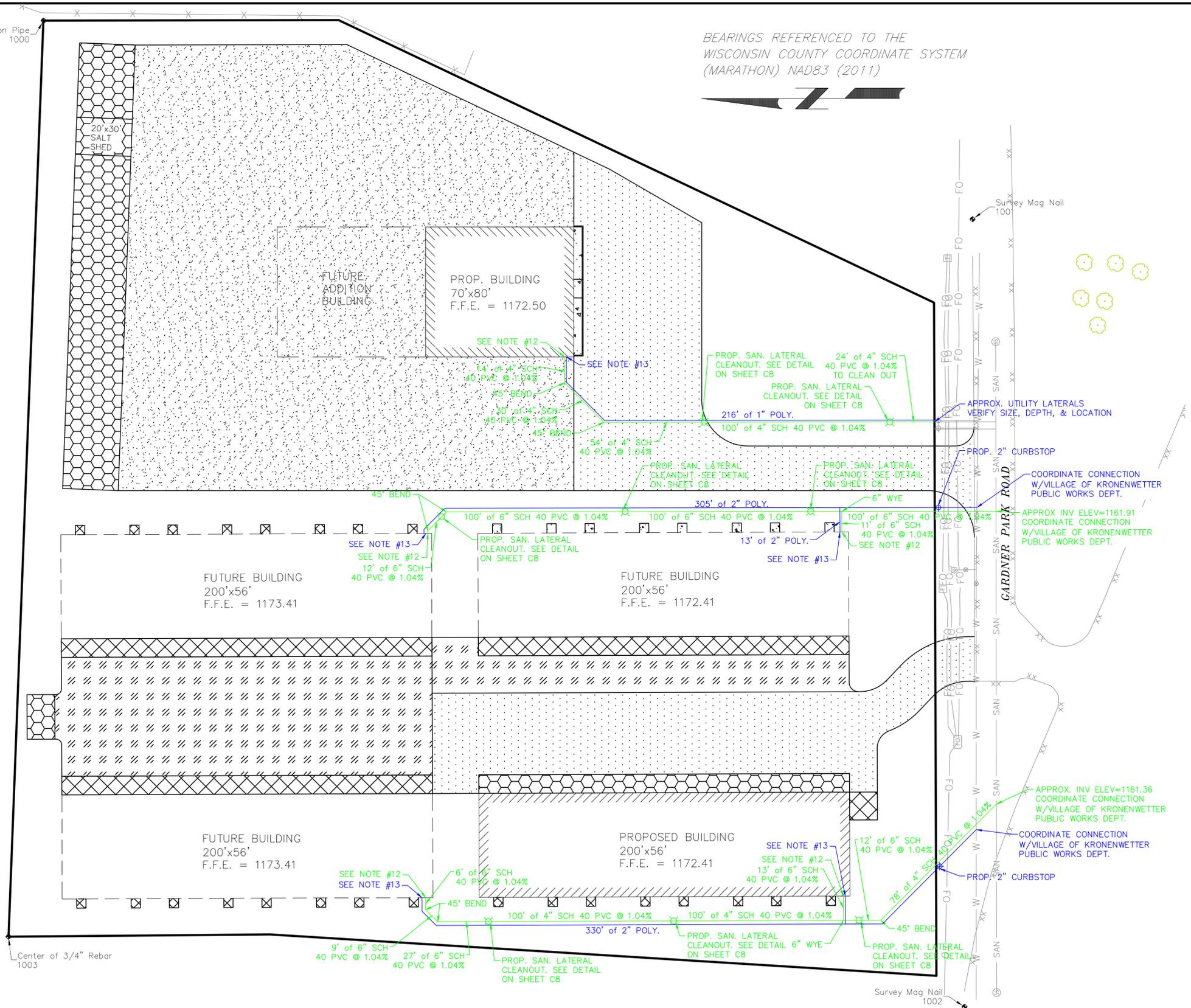
UTILITY PLAN NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF CONSTRUCTION.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR.
- REFER TO THE PROPOSED BUILDING MECHANICAL/PLUMBING PLANS FOR EXACT CONNECTION LOCATIONS AND VERIFY SANITARY LATERAL.
- COORDINATE ALL UTILITY WORK WITH GAS, ELECTRICAL, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES RESPONSIBLE FOR INSTALLATION OF SAID UTILITIES.
- COORDINATE ALL WORK WITHIN THE PUBLIC RIGHT OF WAY WITH THE CITY OF MEDFORD.
- ALL TESTING AND INSPECTION SHALL BE DONE IN ACCORDANCE WITH SPS 382.21.
- THE PROPOSED WATER LATERAL SHALL HAVE A MINIMUM COVER OF 7'-5" TO THE TOP OF PIPE FROM THE PROPOSED FINISHED GRADES, SEE SHEET C5 FOR PROPOSED GRADES.
- MINIMUM OF 18" VERTICAL SEPARATION BETWEEN UTILITY CROSSINGS.
- THE MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES AS NEEDED.
- FIELD VERIFY THE SANITARY LATERAL CONNECTION INVERT ELEVATION PRIOR TO THE START OF WORK.
- CONNECT PROPOSED 4" SANITARY LATERAL TO BUILDING. COORDINATE CONNECTION AND LOCATION WITH BUILDING PLUMBER.
- CONNECT PROPOSED 1" WATER SERVICE, 5' OUTSIDE BUILDING. COORDINATE CONNECTION AND LOCATION WITH BUILDING PLUMBER.

BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) NAD83 (2011)



South side of 1.25" Iron Pipe 1000



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STAMP/SIGNATURE:	REVISIONS		
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TITLE PAGE:
PROPOSED UTILITY PLAN

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER MARATHON COUNTY, WISCONSIN



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PREPARED FOR: GREG TESCH

PLAN DATE: NOVEMBER 19TH, 2025

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15TH, 2025

SCALE: 1" = 30'

SHEET C4

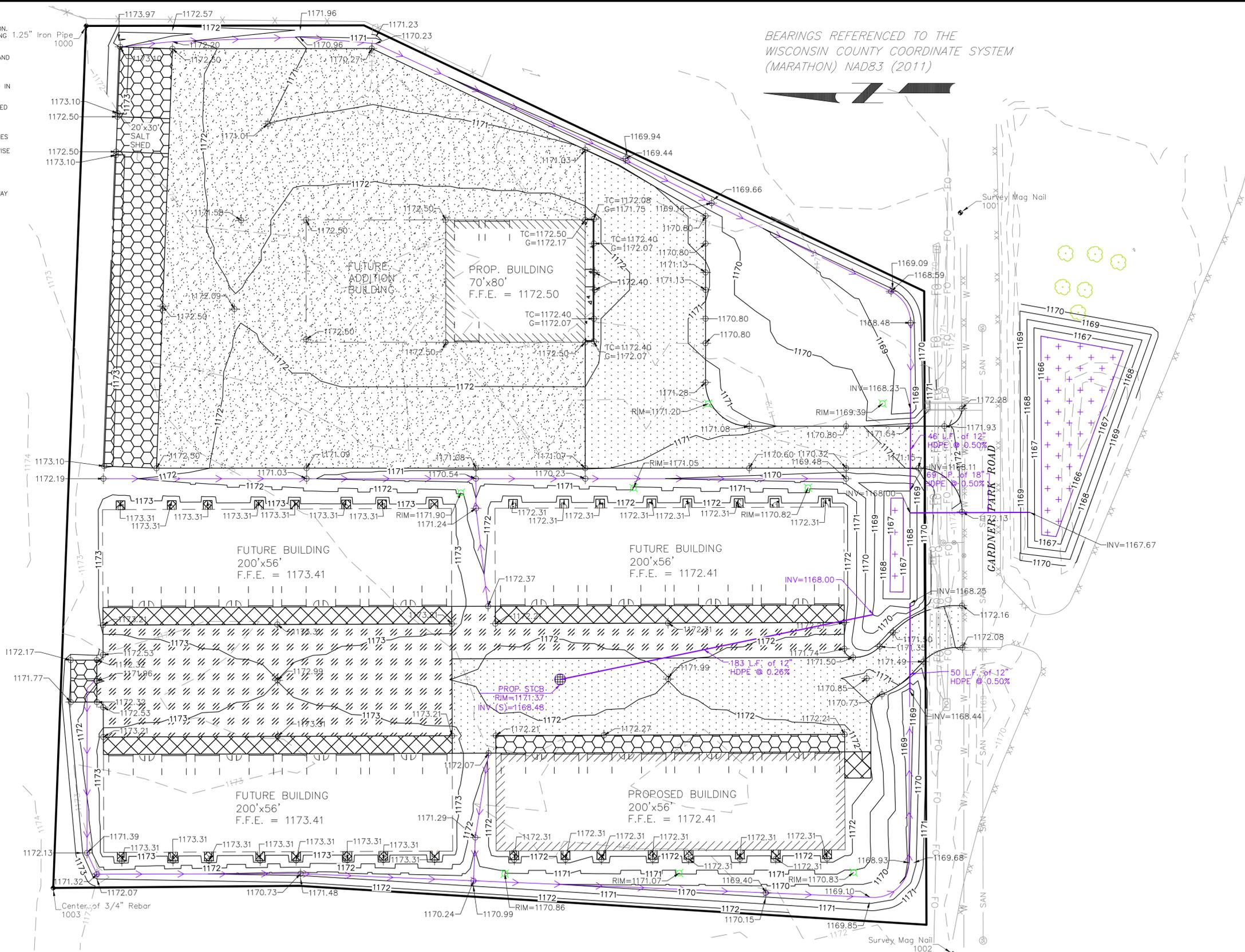
GRADING NOTES:

- CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
- THE PROPOSED SITE PLAN FINISH FLOOR ELEVATION OF 1174.55 EQUALS THE PROPOSED BUILDING 1.25" Iron Pipe ARCHITECTURAL FINISH FLOOR ELEVATION OF 100.00'.
- GRADE, LINE, AND LEVEL TO BE REVIEWED IN THE FIELD BY THE CONSTRUCTION MANAGER.
- INSTALL ALL REQUIRED EROSION CONTROL MEASURES IN ACCORDANCE WITH LOCAL AUTHORITIES AND THE DEPARTMENT OF NATURAL RESOURCES REGULATIONS.
- ALL EROSION CONTROL MEASURES SHALL BE MAINTAINED IN ACCORDANCE WITH THE DEPARTMENT OF NATURAL RESOURCES, LOCAL AUTHORITIES REGULATIONS.
- 6" OF TOPSOIL SHALL BE PROVIDED IN ALL GENERAL LAWN AREAS AND 12" SHALL BE PROVIDED IN ALL PLANTING BED AREAS.
- SEE SHEET C6 FOR ALL REQUIRED EROSION CONTROL ELEMENTS.
- ANY EXISTING UTILITIES NOT SHOWN ON THIS DOCUMENT WHICH NEED TO BE REMOVED, RELOCATED AND OR ADJUSTED SHALL BE THE RESPONSIBILITY OF THE SITE GRADING CONTRACTOR AND INCLUDED IN THE BASE BID CONTRACT.
- COORDINATE ALL EARTHWORK ACTIVITIES WITH GAS, ELECTRIC, (INCLUDING MAIN SERVICE, SITE LIGHTING, CONDUITS AND SIGNAGE) CABLE AND TELEPHONE CONSTRUCTION AND RESPECTIVE TRADES FOR THE INSTALLATION OF SAID UTILITIES.
- EXCESS TOPSOIL SHALL BE STOCKPILED AND STORED ONSITE FOR FUTURE USE, UNLESS OTHERWISE DIRECTED BY THE OWNER. SILT FENCE SHALL BE PLACED AROUND STOCKPILE.
- THE LOCAL MUNICIPALITY SHALL BE CONTACTED PRIOR TO ANY EXCAVATION IN THE PUBLIC RIGHT-OF-WAY. THE CONTRACTOR SHALL HAVE HIS TRAFFIC CONTROL PLAN APPROVED PRIOR TO WORK COMMENCING. THE LOCAL MUNICIPALITY SHALL OPERATE ALL EXISTING WATER VALVES IF NEEDED.
- GRADES AT BUILDING EDGE SHALL BE 6" BELOW FINISHED FLOOR ELEVATION EXCEPT AT DOOR WAY ENTRANCES OR UNLESS OTHERWISE NOTED.

GRADING LEGEND:

- ϕ 756.02 PROPOSED SPOT ELEVATION
- PROPOSED SWALE
- PROPOSED STORMWATER INFILTRATION BASIN SEE SHEET C7.0 & 7.1

BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) NAD83 (2011)



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TITLE PAGE:
PROPOSED GRADING PLAN

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN



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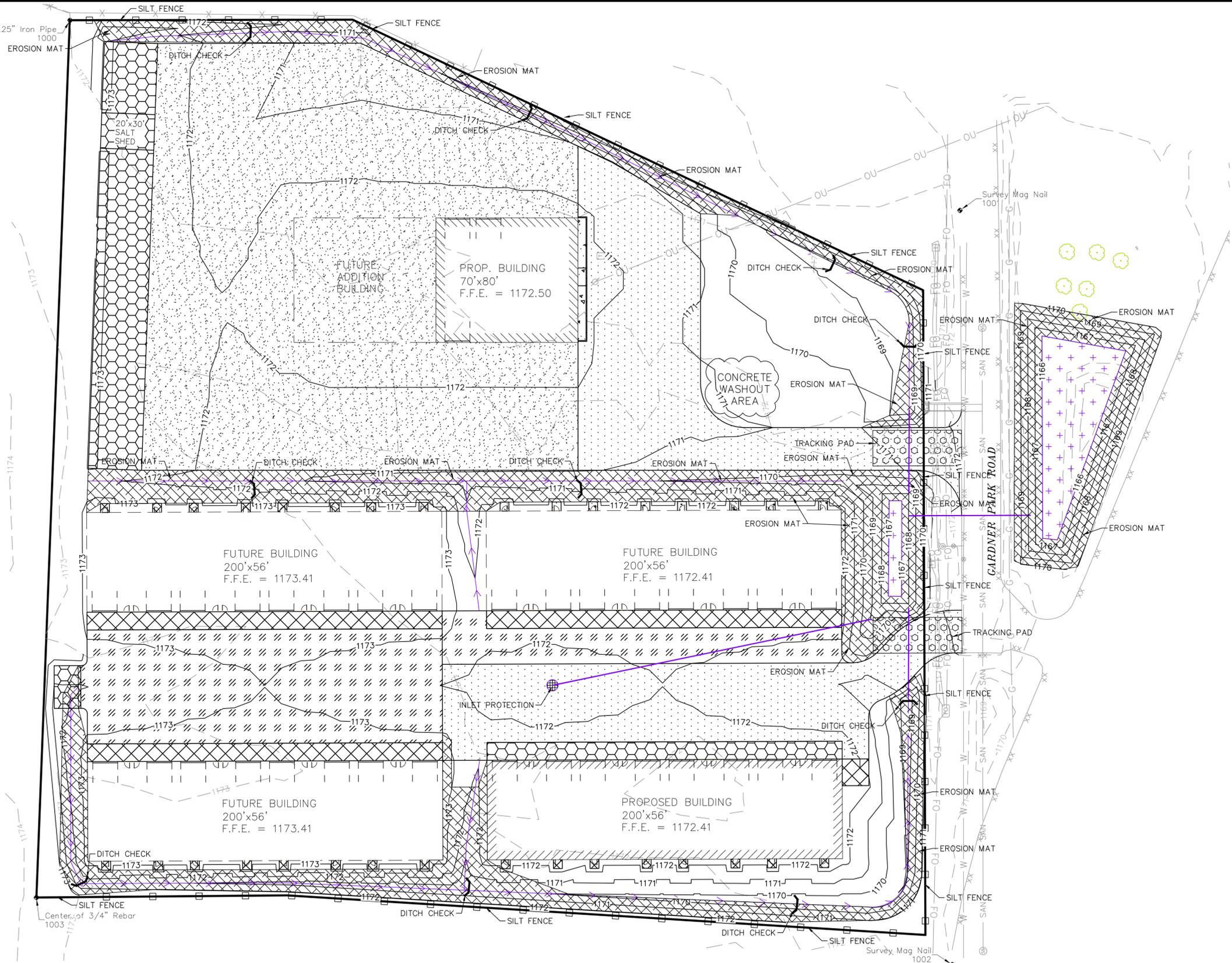
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SHEET: C5

PROPOSED EROSION CONTROL ACTIVITIES

1. CONTACT DIGGER'S HOTLINE 5 WORKING DAYS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
2. NOTIFY THE LOCAL MUNICIPALITY AT LEAST 2 WORKING DAYS PRIOR TO THE START OF SOIL DISTURBING ACTIVITIES.
3. KEEP A COPY OF THE EROSION CONTROL PLANS AND STORMWATER & EROSION CONTROL MANAGEMENT PLAN ON SITE THROUGHOUT THE PROJECT.
4. INSTALL ALL TEMPORARY EROSION CONTROL ELEMENTS PRIOR TO THE START OF DEMOLITION/CONSTRUCTION.
5. ALL ACTIVITIES SHALL BE CONDUCTED IN A LOGICAL SEQUENCE AS TO MINIMIZE THE AMOUNT OF BARE SOIL EXPOSED AT ANY ONE TIME. MAINTAIN EXISTING VEGETATION AS LONG AS POSSIBLE.
6. CRUSHED ROCK DRIVES FOR SEDIMENT TRACKING UTILIZING 3" CRUSHED ROCK SHALL BE MAINTAINED AT ALL CONSTRUCTION ENTRANCES TO THE SITE. THE ROCK DRIVE SHALL BE A MINIMUM OF 12" THICK AND BE A MINIMUM OF 50 FEET IN LENGTH BY THE WIDTH OF THE DRIVEWAY.
7. OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF A STORM EVENT SHALL BE CLEANED UP BY THE END OF THE NEXT WORK DAY. ALL OFF SITE SEDIMENT DEPOSITS OCCURRING AS A RESULT OF CONSTRUCTION ACTIVITIES, INCLUDING SOIL TRACKED BY CONSTRUCTION TRAFFIC, SHALL AT A MINIMUM BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED BY THE END OF EACH WORK DAY. EXCESSIVE AMOUNTS OF SEDIMENT OR OTHER DEBRIS TRACKED ONTO ADJACENT STREETS SHALL BE CLEANED IMMEDIATELY. FINE SEDIMENT ACCUMULATIONS SHALL BE CLEANED FROM ADJACENT STREETS BY THE USE OF MECHANICAL OR MANUAL SWEEPING OPERATIONS ONCE A WEEK AT A MINIMUM AND BEFORE IMMINENT RAIN EVENTS.
8. DISTURBED GROUND OUTSIDE OF THE EVERYDAY CONSTRUCTION AREAS, INCLUDING SOIL STOCKPILES, THAT ARE LEFT INACTIVE FOR MORE THAN 7 DAYS SHALL BE TEMPORARILY STABILIZED BY SEEDING/MULCHING OR OTHER APPROVED METHODS.
9. CONCRETE WASHOUT PER EPA GUIDELINES.
10. WASTE MATERIAL THAT IS GENERATED ON THE CONSTRUCTION SITE SHALL BE PROPERLY DISPOSED OF AND NOT ALLOWED TO RUN INTO RECEIVING WATERS. ANY SEDIMENT OR TRASH THAT HAS MOVED OFF-SITE SHALL BE SWEEPED OR CLEANED UP BEFORE THE END OF THE WORK DAY.
11. EROSION CONTROL DEVICES DESTROYED AS A RESULT OF CONSTRUCTION ACTIVITIES SHALL BE REPAIRED BY THE END OF EACH WORK DAY.
12. INSPECT ALL EROSION CONTROL MEASURES AT LEAST ONCE A WEEK AND AFTER ANY RAINFALL OF 0.5" OR MORE. MAKE NEEDED REPAIRS AND DOCUMENT ALL ACTIVITIES AS PER THE REQUIREMENTS OF THE NOTICE OF INTENT SUBMITTED BY THE PROJECT CIVIL ENGINEER.
13. ALL TEMPORARY EROSION CONTROL ELEMENTS SHALL REMAIN IN PLACE UNTIL A SUFFICIENT GROWTH OF VEGETATION IS ESTABLISHED AND THEN BE REMOVED AS PART OF THE BASE BID.
14. IF SEDIMENT LADEN WATER NEEDS TO BE REMOVED FROM THE SITE, FILTER BAGS OR SCREENING SHALL BE USED IN ACCORDANCE WITH THE WI DNR TECHNICAL STANDARDS 1061 TO PREVENT THE DISCHARGE OF SEDIMENT TO THE MAXIMUM EXTENT PRACTICABLE.
15. IF BARE SOIL IS EXPOSED DURING THE WINTER MONTHS, STABILIZATION BY MULCHING OR ANIONIC POLYACRYLAMIDE SHALL OCCUR PRIOR TO SNOW OR FROZEN GROUND.
16. SILT FENCE SHALL BE INSTALLED AROUND THE TOPSOIL STOCKPILE.
17. THE CONTRACTOR SHALL ONLY USE PHOSPHORUS FREE FERTILIZER FOR ALL LANDSCAPE APPLICATIONS.
18. THE CONTRACTOR SHALL BE RESPONSIBLE FOR WATERING PLANTED DISTURBED AREAS WHENEVER MORE THAN 7 DAYS OF DRY WEATHER OCCUR.
19. THE CONTRACTOR SHALL PERFORM INSPECTIONS AND MONITORING OF EROSION CONTROL PRACTICES IN ACCORDANCE WITH THE WI DNR "CONSTRUCTION SITE INSPECTION REPORT" FORM 3400-187. THIS FORM CAN BE FOUND ON WISCONSIN DNR WEBSITE OR PROVIDE IF NECESSARY.

EROSION CONTROL SCHEDULING

1. INSTALL PERIMETER EROSION CONTROL.
2. BEGIN ROUGH GRADING AND UTILITY INSTALLATION.
3. DURING GRADING ACTIVITIES EXISTING GRASS AND VEGETATION, TO BE REMOVED, SHALL REMAIN IN PLACE FOR AS LONG AS POSSIBLE, TO AVOID SEDIMENT TRANSPORT.
4. ALL DISTURBED AREAS SHALL BE STABILIZED, TEMPORARILY AND/OR PERMANENT, WITHIN 30 DAYS OF DISTURBANCE, OR PERMANENTLY STABILIZED WITHIN 7 DAYS OF ACHIEVING FINISHED GRADE.
5. IF DISTURBED AREAS MUST BE LEFT OVER WINTER, AN ANIONIC POLYACRYLAMIDE SHALL BE APPLIED TO ALL DISTURBED AREAS PRIOR TO GROUND FREEZE. SEE SPECIFICATIONS FOR DETAILS.



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TITLE PAGE: PROPOSED EROSION CONTROL PLAN

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER MARATHON COUNTY, WISCONSIN



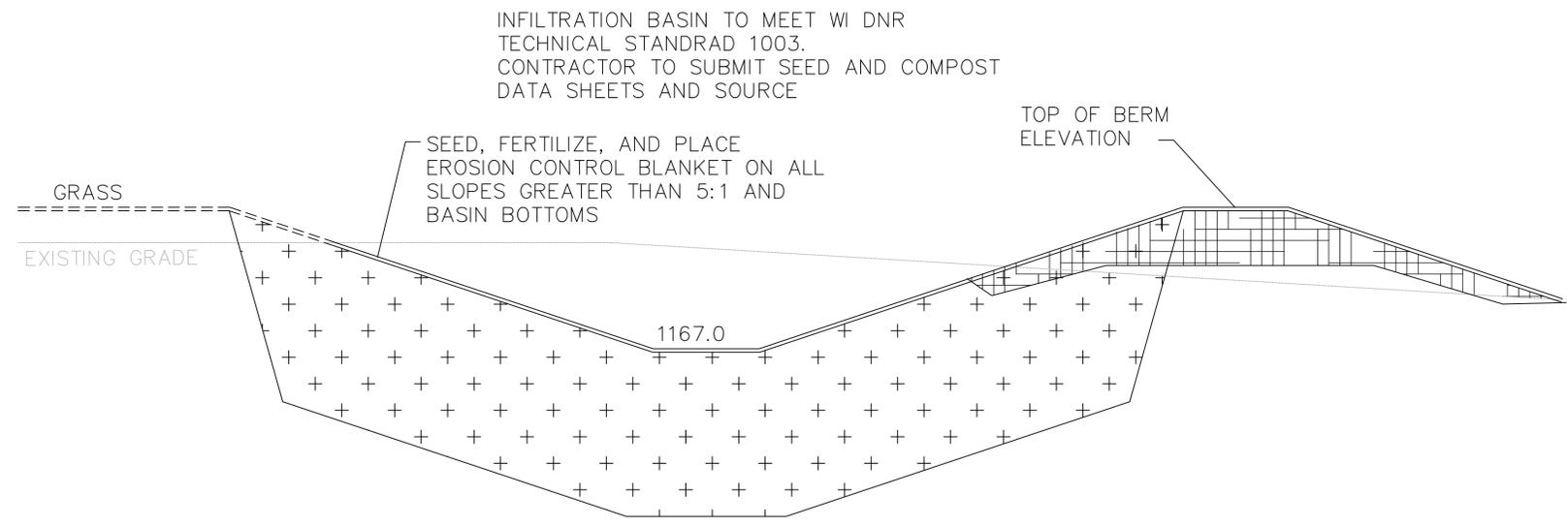
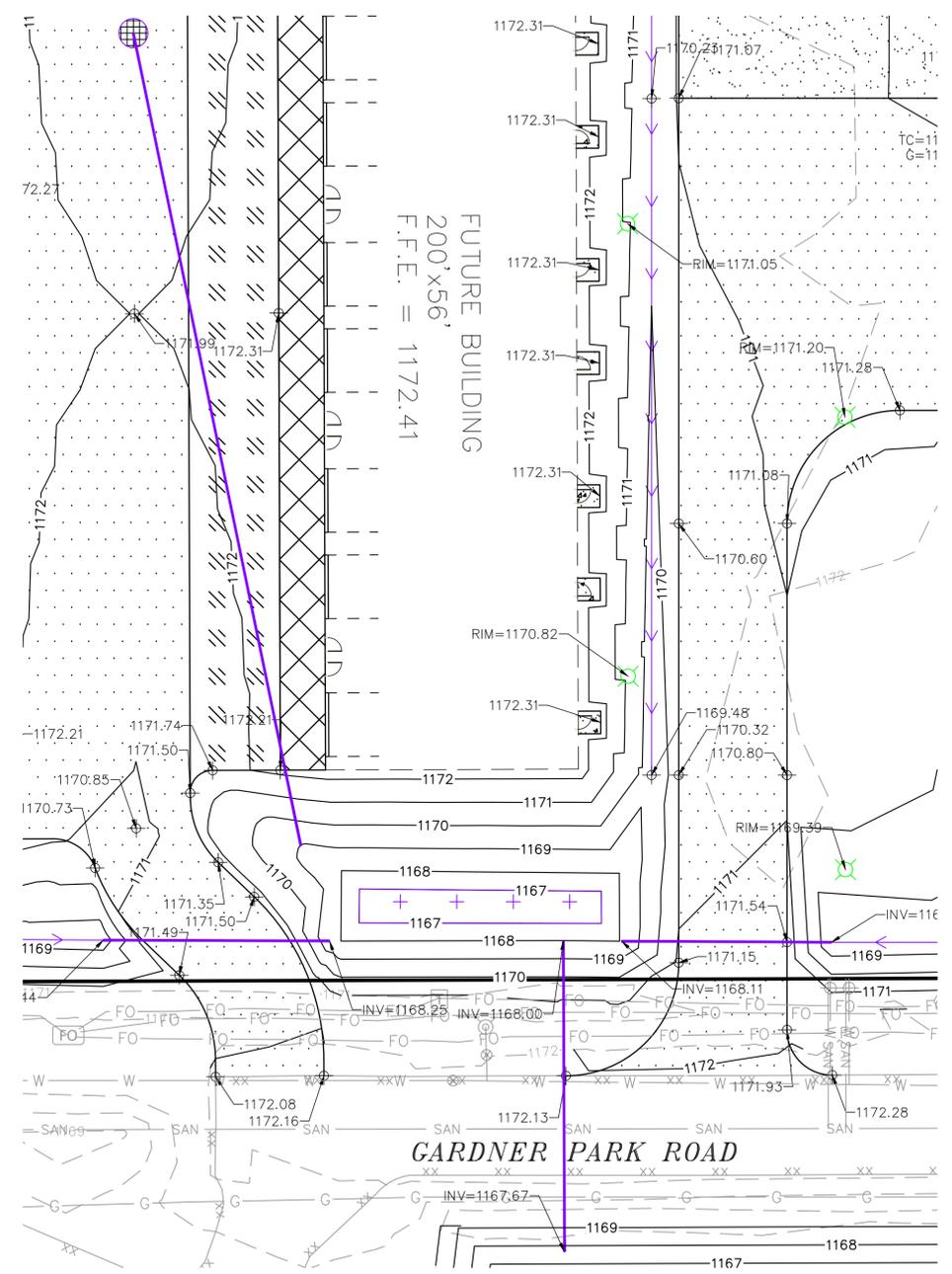
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PREPARED FOR: GREG TESCH

PLAN DATE: NOVEMBER 19TH, 2025

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15TH, 2025
SCALE: 1" = 30'
SHEET: C6

BEARINGS REFERENCED TO THE WISCONSIN COUNTY COORDINATE SYSTEM (MARATHON) MAD83 (2011)



INfiltration BASIN (1165 TO 1167 ELEVATION) TO BE DRESSED WITH 2' OF 20% COMPOST AND 80% ON-SITE OR IMPORTED COARSE SAND MIX. SEED WITH PRAIRIE NURSERY "MOIST MEADOW - RAIN GARDEN MIX" PER WDNR TECHNICAL STANDARD 1003. SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (MAY 1 AND JUNE 20) AND WILL NEED A COVER CROP PER WDNR TECHNICAL STANDARD 1059 TABLE 1 - TEMPORARY SEEDING SPECIES AND RATES OR PLUGS SHALL BE USED AVOID COMPACTION DURING CONSTRUCTION. AFTER CONSTRUCTION, INSTALL A PROTECTIVE FENCE UNTIL CONTRIBUTING AREA IS STABILIZED. SAND NEEDS TO MEET USDA COARSE SAND TEXTURAL CLASSIFICATION, AND BE WASHED IF USED FOR INFILTRATION BASIN. IF, SAND DOES NOT MEET USDA COARSE SAND TEXTURAL CLASSIFICATION, COARSE SAND WILL NEED TO BE IMPORT. BASED ON SOIL BORINGS COMPLETED BY STAR ENVIRONMENTAL EXCESS FILL HAS BEEN PLACED ON THE SITE. OVER-EXCAVATION MAYBE NECESSARY TO REMOVE PLACED FILL TO MEET THE MINIMUM INFILTRATION STANDARDS. ALL EXISTING MATERIALS AND FOUNDATION FROM DEMOLITION HOME NEEDS TO BE REMOVED FROM INFILTRATION AREA, OVER EXCAVATION MAY BE NEEDED. IF SNOW IS PILED ON THE BASINS, THEN MORE FREQUENT MAINTENANCE OF THE SOILS WILL BE REQUIRED TO MAINTAIN DESIRED PLANT LIFE AND INFILTRATION RATES.

PROPOSED INFILTRATION BASIN

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TITLE PAGE:
**PROPOSED 1P
STORMWATER PLAN & DETAILS**

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN



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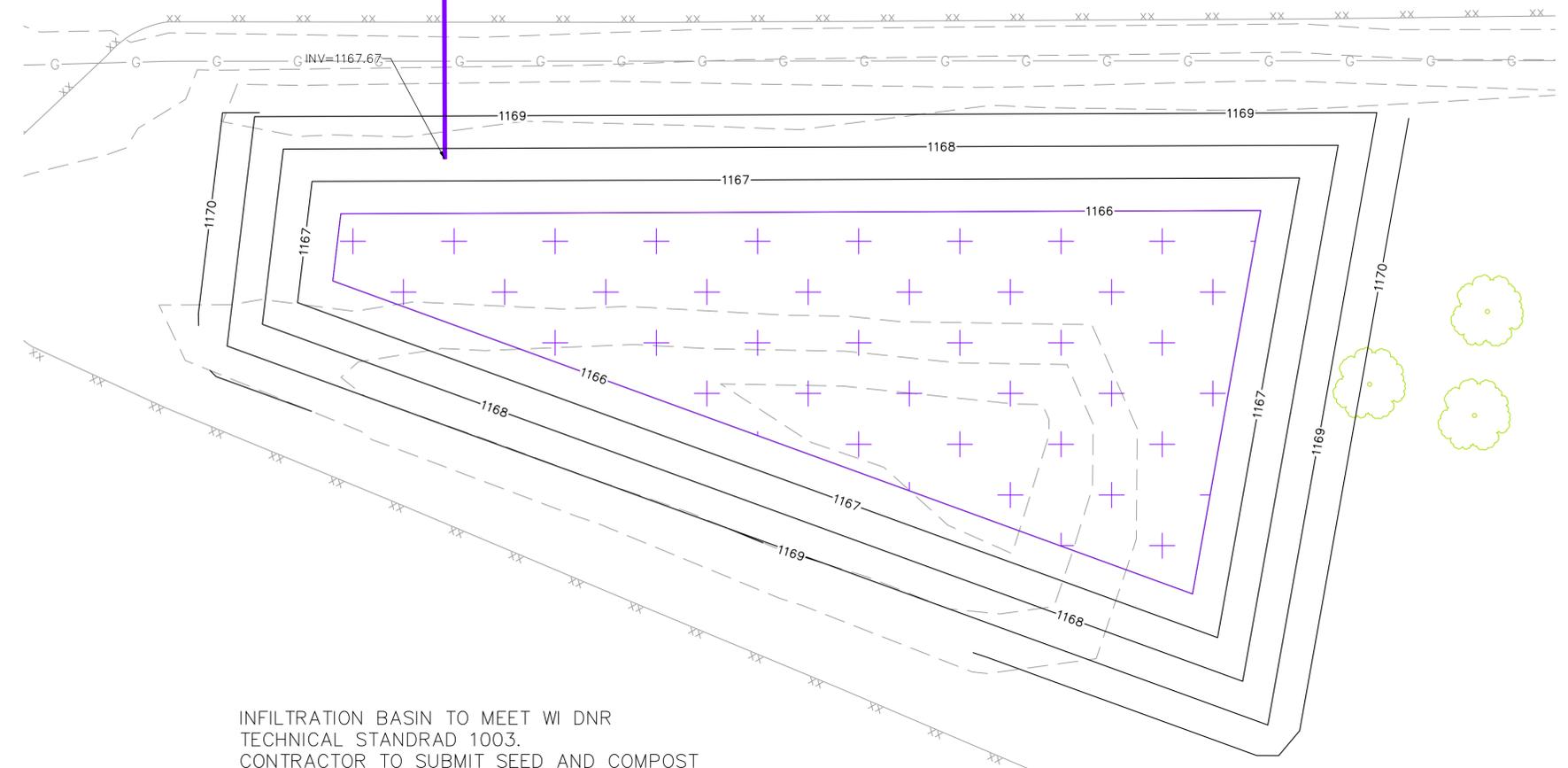
PREPARED FOR: GREG TESCH

PLAN DATE: NOVEMBER 19TH, 2025

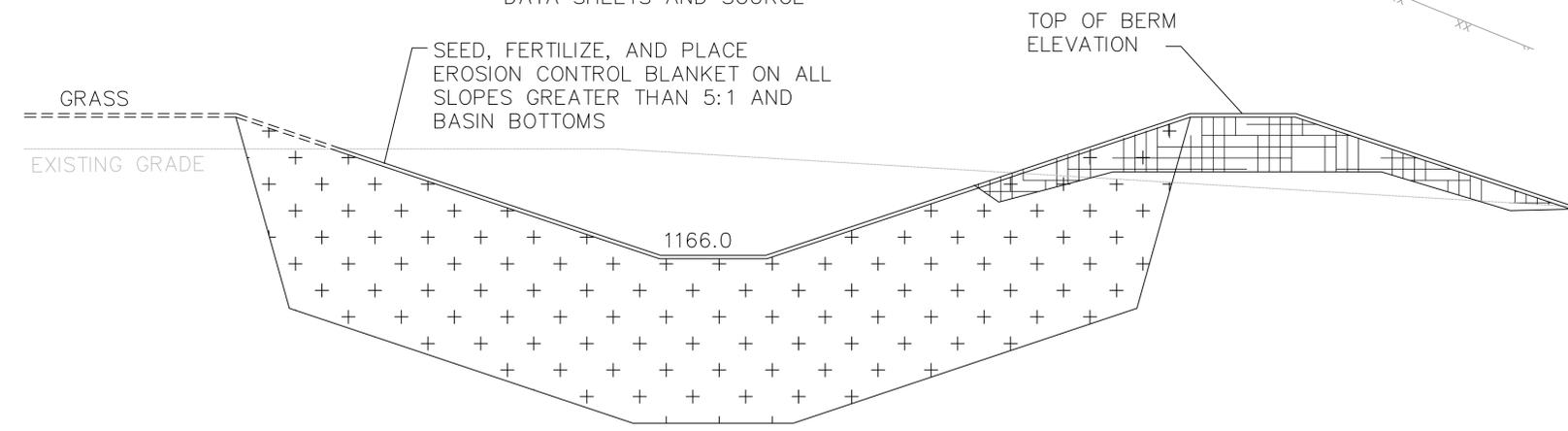
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DATE: SEPTEMBER 15TH, 2025
SCALE: 1" = 10'
SHEET: C7.0

BEARINGS REFERENCED TO THE
WISCONSIN COUNTY COORDINATE SYSTEM
(MARATHON) MAD83 (2011)

GARDNER PARK ROAD



INFILTRATION BASIN TO MEET WI DNR
TECHNICAL STANDRAD 1003.
CONTRACTOR TO SUBMIT SEED AND COMPOST
DATA SHEETS AND SOURCE



INFILTRATION BASIN (1164 TO 1166 ELEVATION) TO BE DRESSED WITH 2' OF 20% COMPOST AND 80% ON-SITE OR IMPORTED COARSE SAND MIX. SEED WITH PRAIRIE NURSERY "MOIST MEADOW - RAIN GARDEN MIX" PER WDNR TECHNICAL STANDARD 1003. SEEDING SHALL BE COMPLETED IN THE FALL (AS DORMANT SEEDING PRIOR TO FIRST SNOWFALL) OR IN THE SPRING (MAY 1 AND JUNE 20) AND WILL NEED A COVER CROP PER WDNR TECHNICAL STANDARD 1059 TABLE 1 - TEMPORARY SEEDING SPECIES AND RATES OR PLUGS SHALL BE USED. AVOID COMPACTION DURING CONSTRUCTION. AFTER CONSTRUCTION, INSTALL A PROTECTIVE FENCE UNTIL CONTRIBUTING AREA IS STABILIZED. SAND NEEDS TO MEET USDA COARSE SAND TEXTURAL CLASSIFICATION, AND BE WASHED IF USED FOR INFILTRATION BASIN. IF, SAND DOES NOT MEET USDA COARSE SAND TEXTURAL CLASSIFICATION, COARSE SAND WILL NEED TO BE IMPORT. BASED ON SOIL BORINGS COMPLETED BY STAR ENVIRONMENTAL EXCESS FILL HAS BEEN PLACED ON THE SITE. OVER-EXCAVATION MAYBE NECESSARY TO REMOVE PLACED FILL TO MEET THE MINIMUM INFILTRATION STANDARDS. ALL EXISTING MATERIALS AND FOUNDATION FROM DEMOLITION HOME NEEDS TO BE REMOVED FROM INFILTRATION AREA, OVER EXCAVATION MAY BE NEEDED. IF SNOW IS PILED ON THE BASINS, THEN MORE FREQUENT MAINTENANCE OF THE SOILS WILL BE REQUIRED TO MAINTAIN DESIRED PLANT LIFE AND INFILTRATION RATES.

PROPOSED INFILTRATION BASIN

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TITLE PAGE:
**PROPOSED 3P
STORMWATER PLAN & DETAILS**

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN

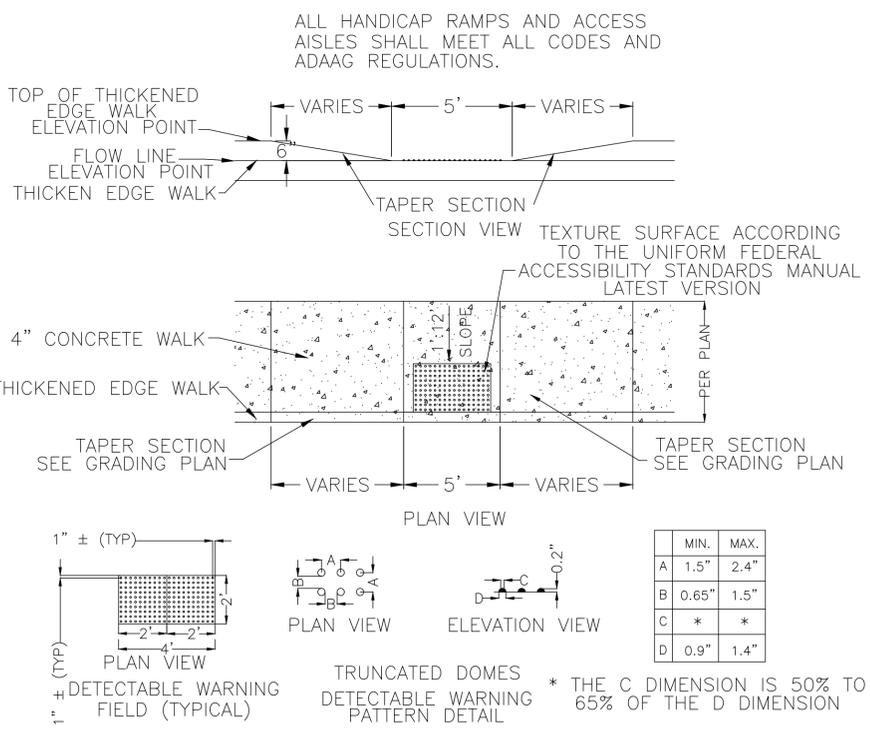
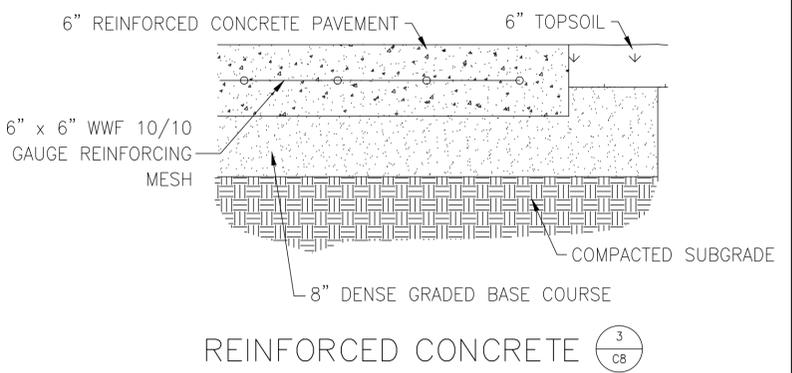
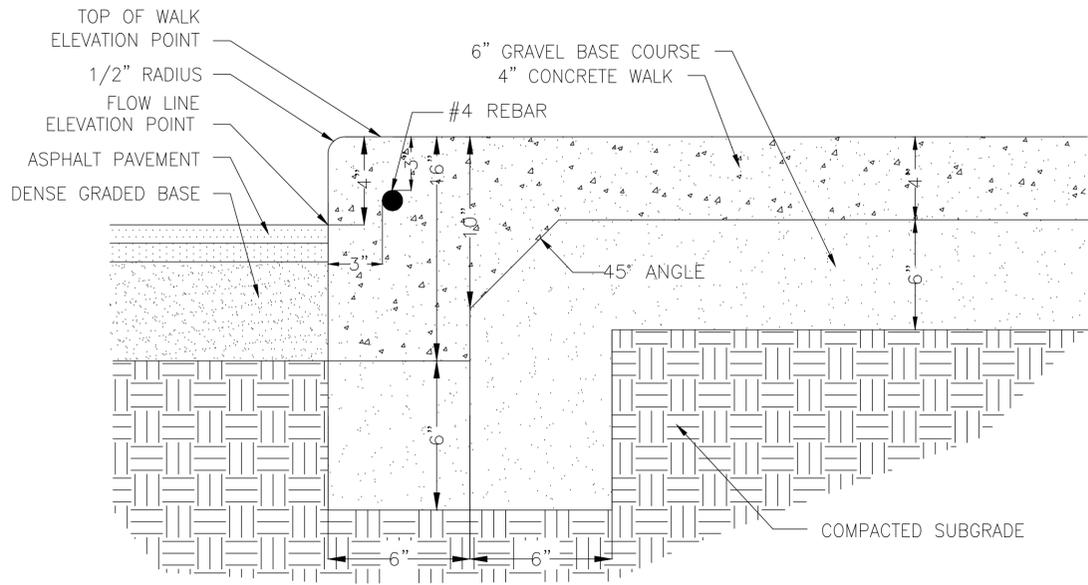
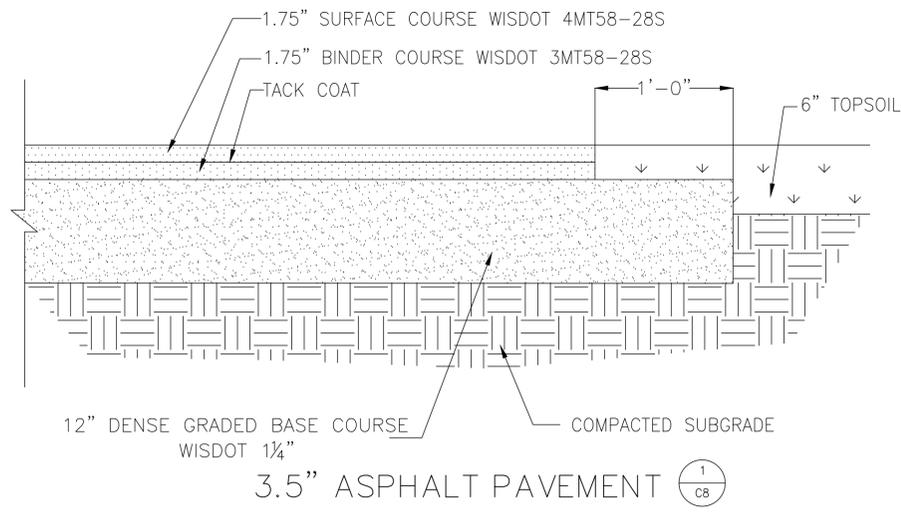


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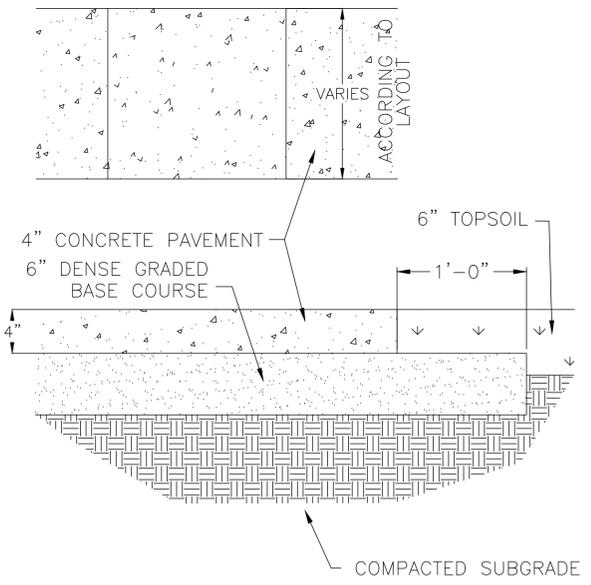
PREPARED FOR: GREG TESCH

PLAN DATE: NOVEMBER 19TH, 2025

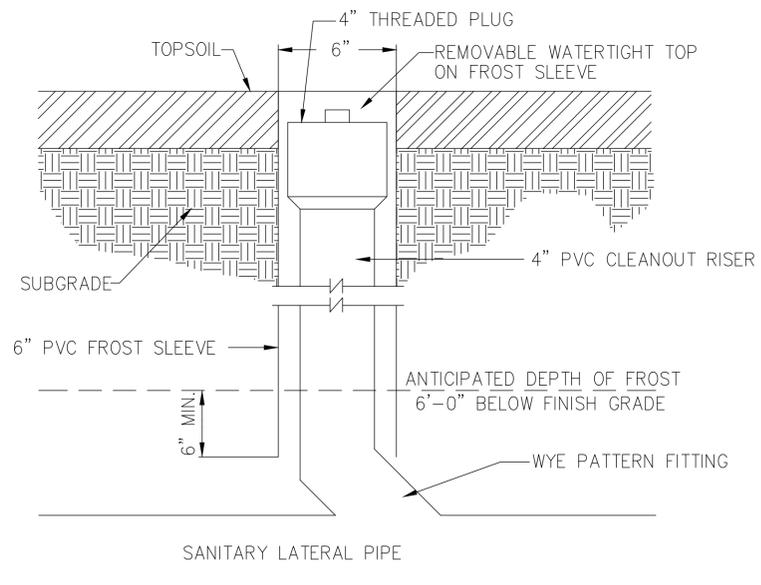
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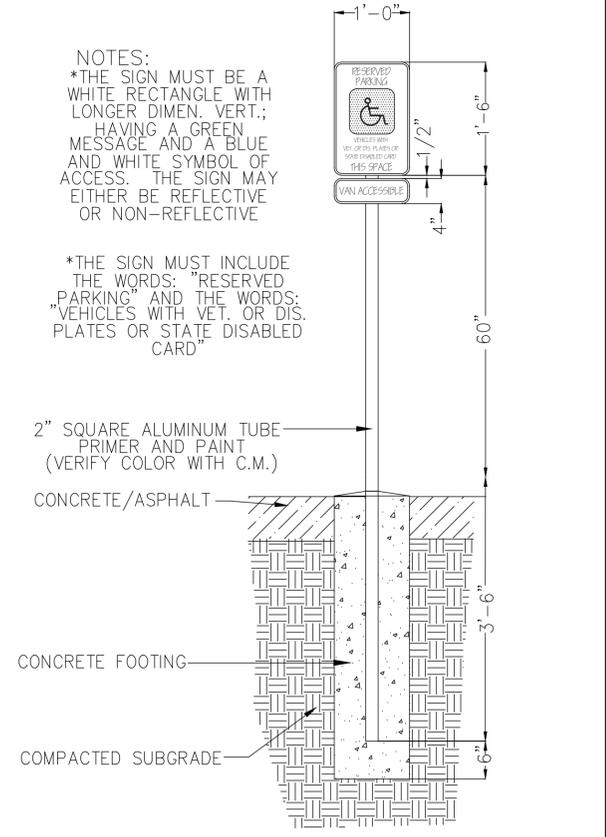
THICKENED EDGE WALK (2) C8



4" CONCRETE WALK (6) C8



SANITARY CLEANOUT (7) C8



HANDICAP PARKING SIGN (8) C8

NOTES:
 *THE SIGN MUST BE A WHITE RECTANGLE WITH LONGER DIMEN. VERT.;
 HAVING A GREEN MESSAGE AND A BLUE AND WHITE SYMBOL OF ACCESS. THE SIGN MAY EITHER BE REFLECTIVE OR NON-REFLECTIVE
 *THE SIGN MUST INCLUDE THE WORDS: "RESERVED PARKING" AND THE WORDS: "VEHICLES WITH VET. OR DIS. PLATES OR STATE DISABLED CARD"

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 PROJECT: PREMIER PROPERTY DEVELOPMENT
 LOCATION: VILLAGE OF KRONENWETTER
 MARATHON COUNTY, WISCONSIN



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PREPARED FOR:
GREG TESCH
 PLAN DATE:
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NO SCALE
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C8

GENERAL NOTES:

DETAIL OF CONSTRUCTION NOT SHOWN ON THIS DRAWING SHALL CONFORM TO THE PERTINENT REQUIREMENTS OF THE STANDARD SPECIFICATIONS AND APPLICABLE SPECIAL PROVISIONS.

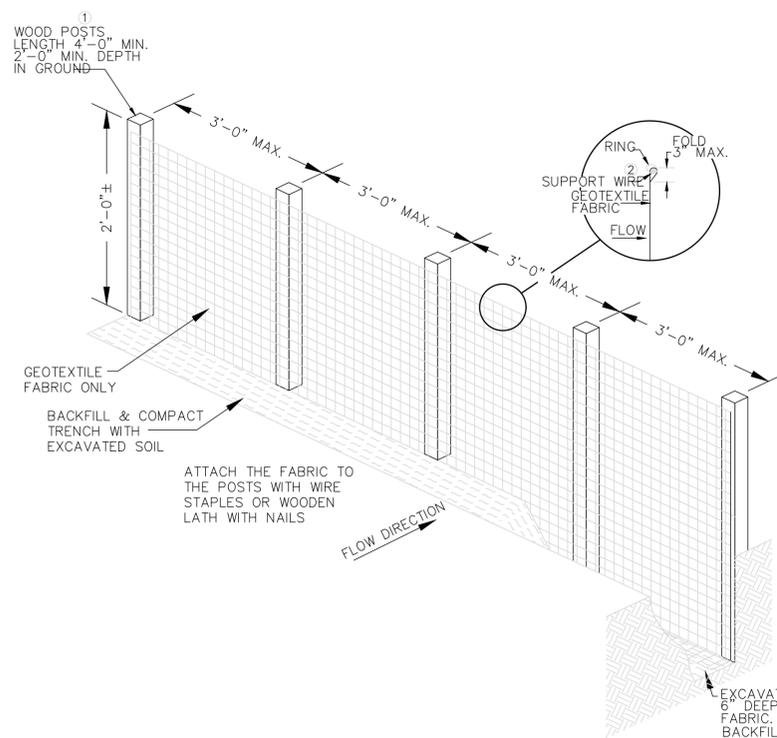
WHEN POSSIBLE THE SILT FENCE SHOULD BE CONSTRUCTED IN AN ARC OR HORSESHOE SHAPE, WITH THE ENDS POINTING UPSLOPE TO MAXIMIZE BOTH STRENGTH AND EFFECTIVENESS.

ADDITIONAL POST DEPTH OR TIE BACKS MAY BE REQUIRED IN UNSTABLE SOIL CONDITIONS.

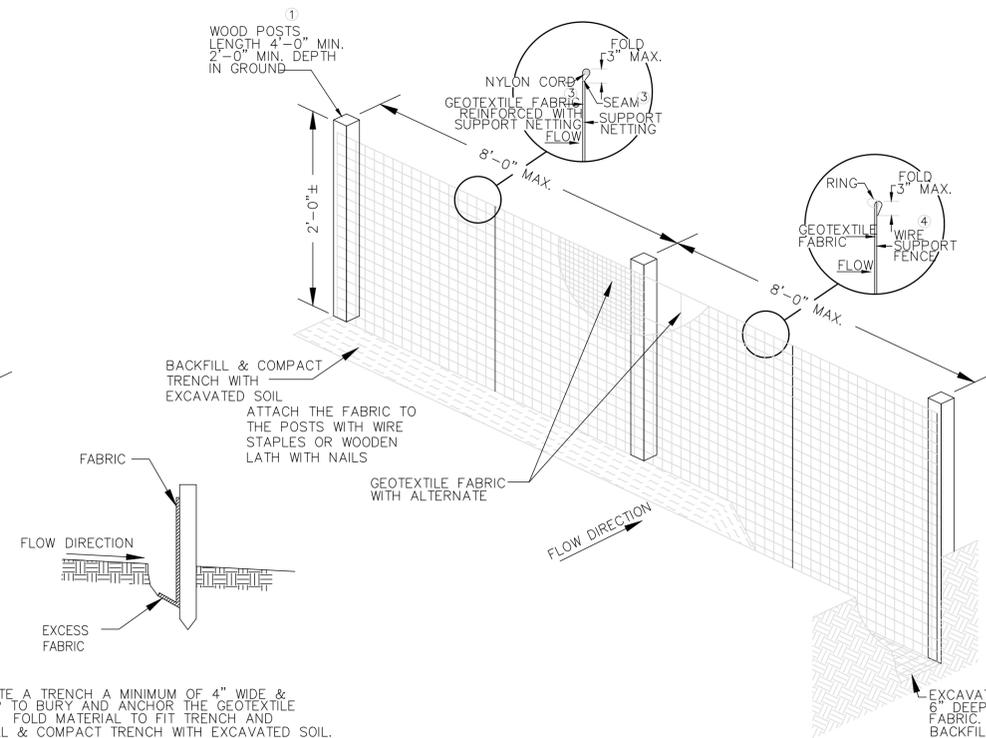
ALTERNATES "A" & "B" ARE EQUAL AND EITHER MAY BE USED.

ATTACH THE FABRIC TO THE POSTS WITH WIRE STAPLES OR WOODEN LATH AND NAILS.

- STEEL POSTS SHALL BE A STUDDED "TEE" OR "U" TYPE WITH A MINIMUM WEIGHT OF 1.28 LBS/LINEAL FOOT (WITHOUT ANCHOR). FIN ANCHORS SUFFICIENT TO RESIST POST MOVEMENT ARE REQUIRED. WOOD POSTS SHALL BE A MINIMUM SIZE OF 4" DIA. OR 1 1/2" X 3 1/2" EXCEPT WOOD POSTS FOR GEOTEXTILE FABRIC REINFORCED WITH NETTING SHALL BE MINIMUM SIZE OF 1 1/8" X 1 1/8" OAK OR HICKORY.
- MINIMUM 14 GAGE WIRE REQUIRED, FOLD FABRIC 3" OVER THE WIRE AND STAPLE OR PLACE WIRE RINGS ON 12" C-C.
- GEOTEXTILE FABRIC SHALL BE REINFORCED WITH AN INDUSTRIAL POLYPROPYLENE NETTING WITH A MAXIMUM MESH SPACING OF 3/4" OR EQUAL. A HEAVY DUTY NYLON TOP SUPPORT CORD OR EQUIVALENT IS REQUIRED.
- WIRE SUPPORT FENCE SHALL BE 14 GAGE MINIMUM WOVEN WIRE WITH A MAXIMUM MESH SPACING OF 6". SECURE TOP OF GEOTEXTILE FABRIC TO TOP OF FENCE WITH STAPLES OR WIRE RINGS AT 12" C-C.
- LENGTH NOT LESS THAN THE CIRCUMFERENCE OF THE LARGEST TIRE ON THE CONSTRUCTION EQUIPMENT, PLUS 5 FEET.

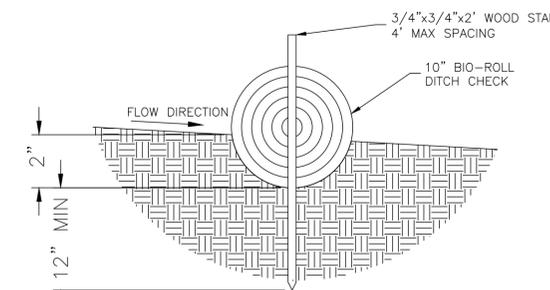


SILT FENCE ALTERNATE "A"



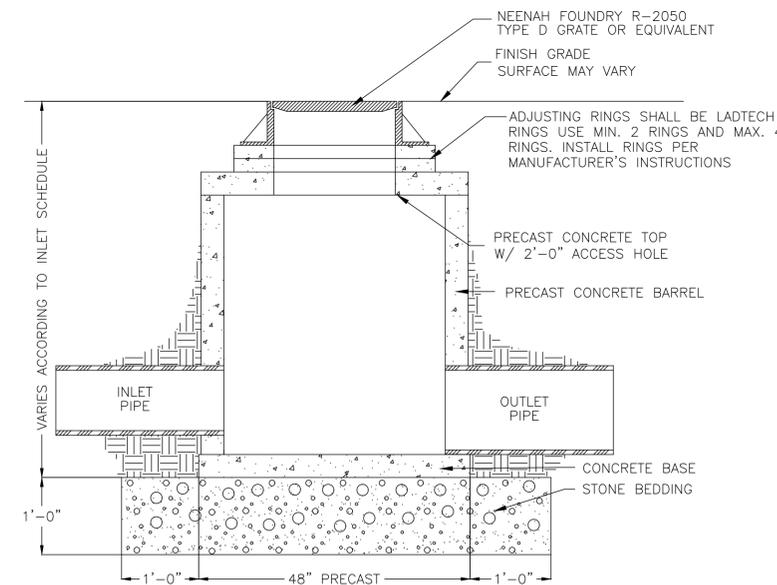
SILT FENCE ALTERNATE "B"

TRENCH DETAIL

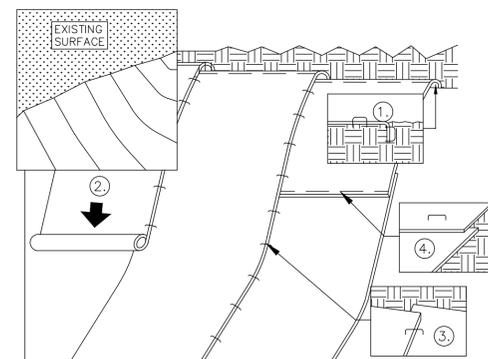


TEMPORARY DITCH CHECK

- NOTES:
- USE ONLY DITCH CHECKS FOUND ON THE WISCONSIN DEPARTMENT OF TRANSPORTATION PRODUCT ACCEPTABILITY LIST (PAL).
 - INSPECT DITCH CHECK FOR DEFICIENCIES PRIOR TO FORECASTED RAIN EVENTS, DAILY DURING EXTENDED RAIN EVENTS, AFTER RAIN EVENTS, AND AT 1-WEEK INTERVALS.
 - TURN ENDS OF DITCH CHECK UPSLOPE TO PREVENT WATER FROM FLOWING AROUND END.
 - REMOVE SEDIMENT BEHIND DITCH CHECK BEFORE SEDIMENT LEVEL REACHES THE HALFWAY POINT BETWEEN THE GROUND SURFACE AND TOP OF THE DITCH CHECK.

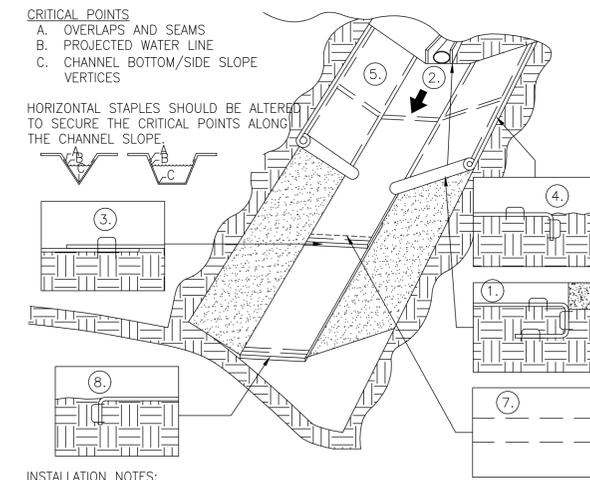


CONCRETE STORM INLET



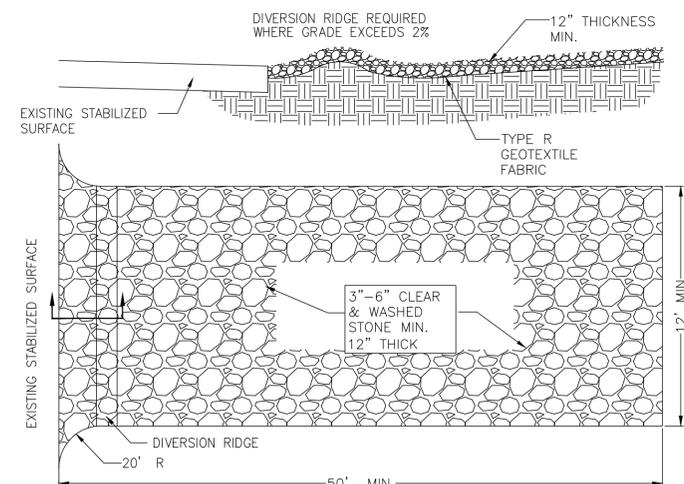
- INSTALLATION NOTES:
- BEGIN AT THE TOP OF THE SLOPE. ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.
 - ROLL THE MAT DOWN THE SLOPE IN DIRECTION OF FLOW.
 - OVERLAP PARALLEL EROSION MAT APPROX. 2". PLACE MAT END OVER END (SHINGLE STYLE).
 - OVERLAP END TO END APPROX. 6" AND STAPLE OVERLAP AREA WITH STAPLES APPROX. 12" APART.

NON-CHANNEL EROSION MAT



- CRITICAL POINTS
- OVERLAPS AND SEAMS
 - PROJECTED WATER LINE
 - CHANNEL BOTTOM/SIDE SLOPE VERTICES
- INSTALLATION NOTES:
- BEGIN AT THE TOP OF THE CHANNEL SLOPE. ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.
 - ROLL THE MAT DOWN THE BOTTOM OF THE CHANNEL SLOPING IN DIRECTION OF FLOW.
 - OVERLAP END TO END APPROX. 6" WITH DOUBLE ROW OF STAGGERED STAPLES APPROX. 4" APART.
 - BEGIN AT THE TOP OF THE SIDE SLOPES. ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.
 - EROSION MAT ON SIDE SLOPES MUST BE MINIMUM OVERLAP OF 4" AND STAPLED.
 - OVERLAP END TO END APPROX. 6" AND STAPLE OVERLAP AREA WITH STAPLES APPROX. 12" APART.
 - IN HIGH FLOW CHANNEL, A STABLE CHECK SLOT IS RECOMMENDED AT 30 TO 40 FOOT INTERVALS. USE A ROW OF STAPLES 4" APART OVER THE WIDTH OF CHANNEL. PLACE A SECOND ROW OF STAPLES 4" BELOW THE FIRST ROW IN A STAGGERED PATTERN.
 - IN THE CHANNEL ANCHOR THE MAT IN A 6" WIDE x 6" DEEP TRENCH. BACKFILL AND COMPACT THE TRENCH.

CHANNEL EROSION MAT



- NOTES:
- THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION THAT WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC RIGHT-OF-WAYS. THIS MAY REQUIRE TOP DRESSING, REPAIR AND/OR CLEANOUT ANY MEASURES USED TO TRAP SEDIMENT.
 - WHEN NECESSARY, WHEELS SHALL BE CLEANED PRIOR TO ENTRANCE ONTO PUBLIC RIGHT-OF-WAY.
 - WHEN WASHING IS REQUIRED, IT SHALL BE DONE ON AN AREA STABILIZED WITH CRUSHED STONE THAT DRAINS INTO AN APPROVED SEDIMENT TRAP OR SEDIMENT BASIN.
 - IF TRACKING PAD IS FILLED WITH SEDIMENT REMOVE AND REPLACE AGGREGATE.
 - IF A 50' PAD LENGTH IS NOT POSSIBLE DUE TO SITE GEOMETRY, INSTALL MAXIMUM LENGTH PRACTICABLE.

TRACKING PAD

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BY	DATE	DESCRIPTION

TITLE PAGE: PROPOSED EROSION CONTROL & STORM DETAILS

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER MARATHON COUNTY, WISCONSIN



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PREPARED FOR: **GREG TESCH**

PLAN DATE: **NOVEMBER 19TH, 2025**

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15TH, 2025
SCALE: **NO SCALE**
SHEET **C9**

Erosion Control/Storm Water Management Maintenance/Operation Plan

For:

**Premier Property Holdings LLC
1190 Gardner Park Road
Kronenwetter, WI 54455**

Prepared By:



**6103 Dawn Street
Weston, WI 54476**

Located in:

**Village of Kronenwetter
Marathon County, WI**

Dated:

November 21st, 2025

Revised:

February 5th, 2026



Dustin Vreeland

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Premier Property Holdings LLC
Village of Kronenwetter, Wisconsin

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- A.** Location Map
- B.** Geotechnical Data
- C.** Existing Drainage Map and Calculations
- D.** Proposed Drainage Map and Calculations
- E.** Soil Loss and Sediment Discharge Map and Calculations
- F.** State of Wisconsin Construction Site Inspection Report and Plan of Operation

**Erosion Control/Storm Water Management
Maintenance and Operation Plan
for
Premier Property Holdings LLC**

1.0 BACKGROUND & GENERAL INFORMATION

1.1 Introduction and Project Location

Vreeland Associates has been retained by Premier Property Holdings – Vinnie Tesch to perform storm water management calculations and prepare a storm water management plan per NR216.47 and NR151, for the proposed commercial buildings project. The project site is located at 1190 Gardner Park Road Kronenwetter, WI 54455. The project all of Parcel 1 of CSM 8726-34-104 located in part of the Southwest ¼ of the Southeast ¼ of Section 3, Township 27 North, Range 7 East, Village of Kronenwetter, Marathon County, Wisconsin.

1.2 Project Description

The proposed project consists of developing proposed 5.3 acres for commercial buildings and parking lot. The site will be graded for storm water management best management practices. (See Location Plan in **Appendix A**).

1.3 Project Requirements

The project area includes approximately 5.3 acres that will be disturbed. Since the disturbed area exceeds one acre, a Wisconsin Department of Natural Resources Notice of Intent application/permit (NOI-WPDES per WDNR) is required.

The storm water management plan for this project is developed in accordance with the NOI-WPDES requirements and NR216.47/NR151.121 for new development sites.

1.4 General Project Data

Soils

Based on existing soil mapping data from the Natural Resources Conservation Service (NRCS), the existing subgrade soils are expected to be Mahtomedi loamy sand, which are classified as hydrologic class “A”. Stormwater test pits were performed by Star Environmental. The test pits found to topsoil overlaying loam fine sand and sand. These test pits are consistent with NRCS. The determined limiting factor for stormwater infiltration was sand layer with an infiltration rate of 3.6 in/hr. The geotechnical data containing soil hydrologic classes are attached in **Appendix B**.

Groundwater

At the site of the proposed infiltration groundwater was not encountered. Groundwater will be well below the proposed project and will not be disturbed.

Wetlands

According to the Wisconsin DNR Wetlands and Wetlands Indicator map, there are not identified wetlands within the project limits.

2.0 EXISTING DRAINAGE CONDITIONS

2.1 Existing Drainage Area

The existing site consists of one sub-basin (E1). Sub-basin E1 contains existing woods, grass, buildings and gravel driveways. E1 generally flows to the south of the property. An existing drainage map can be found in **Appendix C**.

2.2 Existing Drainage Calculation Summary

Existing drainage calculations utilize TR-55 methodology and results for a 1, 2, 10, 25 and 100-year design storm are included. Existing drainage calculations are provided in **Appendix C**.

2.3 Existing Off-Site Drainage

Existing off-site storm water runoff draining onto the project site has been taken into consideration for the existing or proposed drainage evaluation.

3.0 PROPOSED DRAINAGE CONDITIONS

3.1 Proposed Drainage Areas

The proposed site is divided into 4 sub-basins (D1-D4). D1 consists of runoff from the proposed buildings, parking lot and lawn area. D1 is conveyed to the west and will flow to the south through a designed swale for infiltration and treatment. The swale will flow into 2P for treatment and rate control. D2 consists of runoff from the proposed building, parking lot and grass area. Runoff from D2 is conveyed in the middle of the property and will flow to the south through a designed swale for infiltration and treatment. The swale will flow into 2P for treatment and rate control. D3 consists of runoff from the proposed building, parking lot and lawn area. D3 is conveyed to the east and will flow to the south through a designed swale for infiltration and treatment. The swale will flow into 2P for treatment and rate control. D4 consists of runoff from roadway and lawn area. D4 is conveyed into the proposed infiltration basin between the two roadways for treatment and rate control. Runoff from D1-D4 and 2P is conveyed into the proposed stormwater detention basin (1P) for treatment and rate control. A proposed drainage area map is provided in **Appendix C**.

3.2 Post-Development Runoff Summary

Proposed drainage calculations utilize TR-55 methodology and results for a 1, 2, 10, 25 and 100-year design storm have been attached. A proposed drainage area map and calculations are provided in **Appendix D**.

3.3 Proposed Detention Areas

There are two proposed treatment and rate control devices for storm water management. 2P is a stormwater infiltration basin that will be used for infiltration purposes, total suspended solids removal and peak discharge control. Infiltration basin (2P) is located in the south side in the middle of the proposed project. The basin will utilize a storm sewer culvert as overflow to control the depth of water. 1P is a stormwater infiltration basin that will be used for infiltration purposes, total suspended solids removal and peak discharge control. Infiltration basin (1P) is located in the south side of Gardner Park Road of the proposed project. The basin will utilize a broad-crested weir as overflow to control the depth of water. An emergency overflow has been included for extreme storm events. See **Appendix C** detention basin volume calculations.

4.0 POST-DEVELOPMENT PERFORMANCE STANDARDS

4.1 Total Suspended Solids

1. According to NR151.122, BMPs shall be designed in accordance with Table 1, or to the maximum extent practicable. For new development projects Table 1 indicates that the total suspended solids load from parking areas and roads shall be reduced by 80 percent, based on an average annual rainfall, as compared to no runoff management controls.

The total suspended solids removal has been modeled in WinSLAMM version 10.5. According to the WinSLAMM modeling the expected TSS removal from the entire site is **94.60%** (excluding the proposed grass swales) the proposed design meets the requirements of NR151.122. See **Appendix D** for the WinSLAMM modeling inputs and outputs.

4.2 Infiltration

NR 151 requires that the post-development site infiltrate 90% of the pre-development runoff based on an average annual rainfall. Using WinSLAMM and HydroCAD the results show that the post-development site infiltrates **97.91%** of the average annual rainfall utilizing the swales and infiltration basin for infiltration. See **Appendix D** for input and output results using HydroCAD and WinSLAMM and soil report for measured infiltration.

4.3 Peak Discharge

According to NR151.123(1), BMPs shall be employed to maintain or reduce the peak runoff discharge rates, to the maximum extent practicable, as compared to pre-development conditions.

The pre-development and post-development peak rates of discharge leaving the site are summarized in the table below. See **Appendix C** for HydroCAD modeling routing diagrams, summaries, and node listings.

	Pre-Development	Post-Development
	Total (E1)	Total (2L)
1-year 24-hour Peak Flow	1.33 cfs	0.00 cfs
2-year 24-hour Peak Flow	1.54 cfs	0.00 cfs
10-year 24-hour Peak Flow	2.24 cfs	0.00 cfs
25-year 24-hour Peak Flow	2.73 cfs	0.00 cfs
100-year 24-hour Peak Flow	3.77 cfs	1.80 cfs

4.4 Protective Area

According to NR151.125(4)(e) areas of post-construction sites from which the runoff does not enter the surface water, including wetlands, without first being treated by a BMP to meet the requirements of 151.122 to 151.123, are exempt from meeting the requirements of the Protective Areas performance standards. Not applicable.

4.5 Summary

The modeling of this site shows that the requirements set by the Department of Natural Resources for total suspended solids, peak discharge, and infiltration can all be met with the proposed design.

The Storm Water Management Plan shows basic compliance with accepted engineering practice in hydrology planning and design. The resulting development will function as a positive addition to the community while sustaining environmental benefits in storm water management and quality.

5.0 CONSTRUCTION SITE PERFORMANCE STANDARDS

5.1 Erosion Control

The purpose of this control plan is to provide guidelines that comply with the state and local requirements, as well as to make recommendations regarding erosion control and storm water management. The construction of this development is a critical phase in terms of storm water management and runoff control. Construction site erosion control will help minimize the impact of development, enhance and protect local environment, and protect the surrounding project area by applying best management practices for erosion control at construction sites. This work shall be planned and executed in accordance with the Wisconsin Department of Natural Resources Storm Water Management Technical Standards and/or accepted local engineering practice. The owner/developer will be responsible for erosion control during the process of construction. Silt fence, site vegetation, inlet protection, tracking pad, and erosion mat will be utilized to keep sediment from leaving the construction site.

5.2 Construction Site Erosion Control Measures

The following erosion control devices may be used on the project site at any time during the construction phases to ensure the compliance with NR 216 and local erosion control requirements, as applicable.

a) Silt Fence (WDNR 1056)

Continuous silt fencing will be required along all areas downstream of disturbed area, and around the base of all stockpiled material subject to sediment transportation during rain fall events (stockpiled topsoil, gravel base, etc.). The silt fencing will provide a siltation barrier between the disturbed area and any inlets and ultimately downstream water bodies. All silt fence shall be removed upon completion of the project or when disturbed areas have generated sufficient vegetation to prevent erosion and the threat of sediment reaching inlets and bodies of water.

b) Site Vegetation

Existing site vegetation outside of project limits shall be protected and maintained to the maximum extent practicable. Existing site vegetation within the project limits shall remain undisturbed until construction schedule warrants disturbance. For disturbed areas vegetation that resists erosion, maintains slow storm water velocities, and retains sediment from runoff shall be provided by the contractor. Temporary seeding may be required for disturbed areas that are subject to long periods of construction inactivity. Temporary vegetation is used when areas are disturbed and may remain unfinished long enough to allow vegetation to grow and assist with erosion control. Permanent vegetation is encouraged as soon as possible in the construction process.

c) Tracking Pad (WDNR 1057)

Stone tracking pads will be constructed at all entrances to the construction site to minimize sediment tracking onto existing streets. A minimum of one construction entrance is required for the project site. Tracking pads are temporary and will be removed or much of the aggregate will be removed before the site is completed.

d) Non-channel Erosion Mat (WDNR 1052)

The purpose of this practice is to protect the soil surface from the erosive effect of rainfall and prevent sheet erosion during the establishment of grass or other vegetation, and to reduce soil moisture loss due to evaporation. This practice applies to both Erosion Control Re-vegetative Mats (ECRM) and Turf-Reinforcement Mats (TRM).

1. CLASS I: A short-term duration (minimum of 6 months), light duty, organic mat with photodegradable plastic or biodegradable netting.
 - a. Type A – Use on erodible slopes 2.5:1 or flatter.
 - b. Type B – Double netted product for use on erodible slopes 2:1 or flatter.
- e) Temporary Ditch Check (WDNR 1062)

Temporary Ditch Checks are used to create a temporary dam across a swale or drainage ditch to reduce the velocity of water flowing through the channel. The reduction in velocity reduces active channel erosion and promotes settling of suspended solids. They are composed of straw or wood fibers that are tightly compacted in a fiber mesh tubular cylinder.

- f) Waste and Material Disposal

All waste and unused building materials (including garbage, debris, cleaning wastes, or other construction materials) shall be properly disposed of and not allowed to be carried by runoff into a receiving channel or inlet.

5.3 Operation and Maintenance, Short-term

The OWNER of this project is directly responsible for implementation and maintenance of the construction site erosion control measures.

The Contractor shall conduct the following inspections:

- Weekly inspections of implemented erosion and sediment controls.
- Inspections of erosion and sediment controls within 24 hours after precipitation event 0.5 inches or greater which results in runoff during active construction periods.

The Contractor shall maintain weekly written reports of all inspections that include:

- The date, time, and exact place of the inspection.
- The name of the individual who performed the inspection.
- An assessment of the condition of erosion and sediment controls.
- A description of any erosion and sediment control implementation and maintenance performed.
- A description of the present phase of construction at the site.

Repairs shall be made immediately, as required, to maintain effectiveness, until permanent vegetation is established. All repairs to erosion control devices shall be documented on the Wisconsin Department of Natural Resources Construction Site Inspection Report (Form 3400-187). A copy of Form 3400-187 can be found in **Appendix F**.

5.4 Operation and Maintenance, Long-term

The OWNER of this project is directly responsible for the operation, inspection, and maintenance of all storm water facilities located within the project site, as described below.

- Infiltration Basin:
 Inspection: Look for accumulation of sediment and/or debris in basin and riprap. Length of time water is retained in basin. Look for erosion or damage. Review plant health; look for weeds and grasses encroaching on plants.
 Maintenance: Remove accumulated sediment deposits and/or debris in basin and riprap and repair any eroded or damaged grass areas. Remove any identified weeds or grasses. Do not plow/store snow in bio-retention basin. Annually mow the side slopes to reduce brush and other large root vegetation that may weaken the berms. Once every five years, deep-till infiltration basin promotes infiltration.

- Grass Swale:
Inspection: Look for accumulation of sediment and/or debris in pond and riprap. Look for erosion or damage. Review plant/grass health.
Maintenance: Remove accumulated sediment deposits and/or debris in swale and riprap and repair any eroded or damaged grass areas. If water is retained for more than 24-48 hours after a storm event, replace topsoil by removing the top 6" of topsoil, tilling bottom of basin, installing new topsoil and restoring grass in basin.

6.0 SOIL AND SEDIMENT LOSS DISCHARGE

The Wisconsin DNR requires that all construction sites must lose less than 5 tons per acre of sediment during the construction of the project. The DNR Soil Loss & Sediment Discharge Calculation Tool version 2.0 was used to determine the construction site sediment discharge. Using the worst-case scenario of a fully disturbed site and the maximum possible flow length, the calculations show that the soil loss is 4.7 tons/acre and the sediment discharge is 2.6 tons/acre. This assumes silt fence sediment control practices. This meets the DNR requirements. Calculations are shown in **Appendix E**. Soil Loss map shows the worst case scenario.

APPENDIX A

Location Map

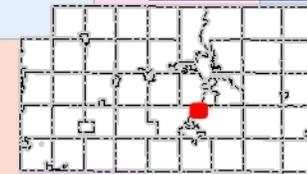


Land Information Mapping System

TAYLOR

L

Section 7, Item 1.



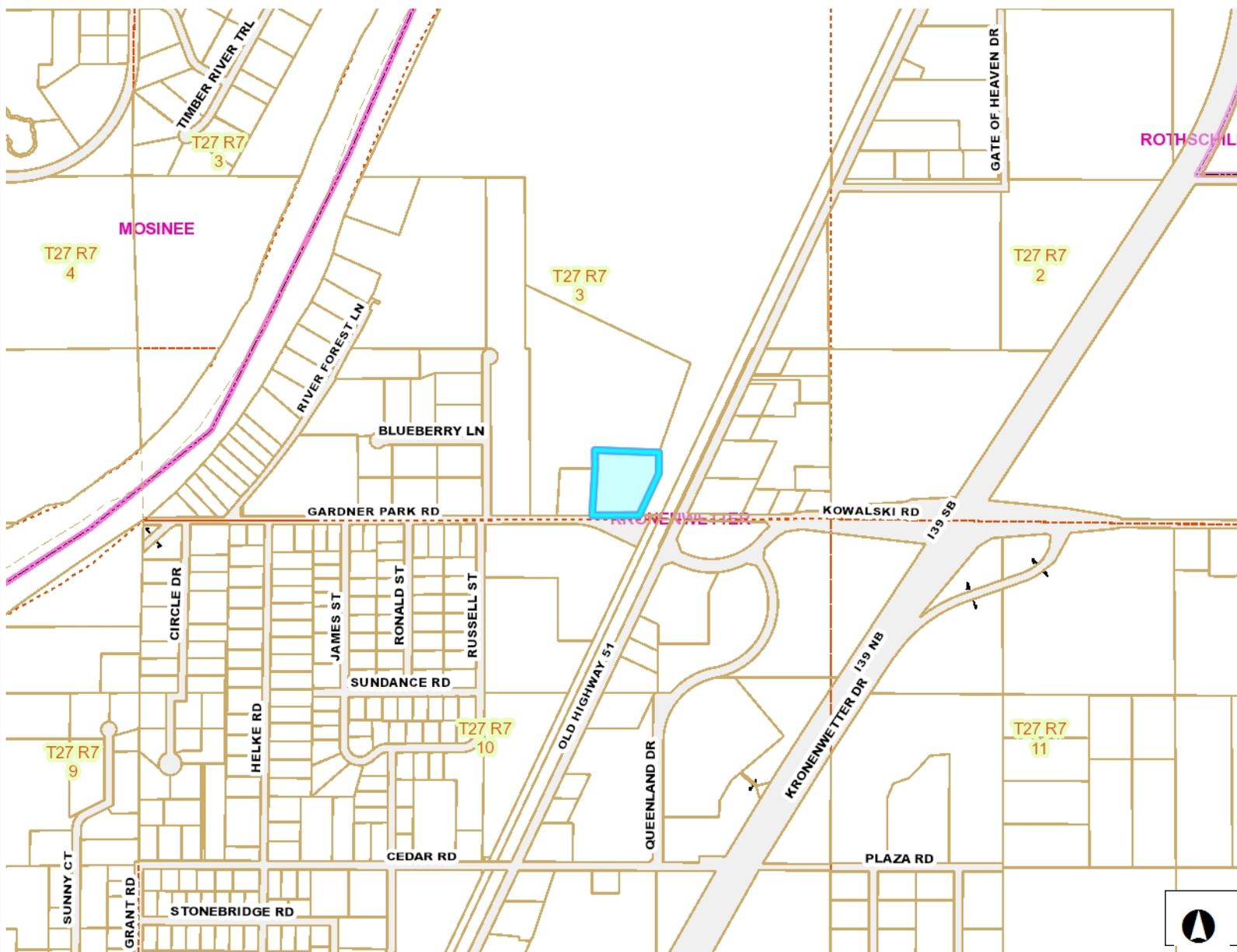
WOOD

PORTAGE

ROTHSCHILD

Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Section Lines/Numbers
- Right Of Ways
- Named Places
- Municipalities



570.17 0 570.17 Feet



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Notes

APPENDIX B
Geotechnical Data

**SOIL EVALUATION FOR STORMWATER
ON THE
PREMIER PROPERTY HOLDINGS, LLC PROPERTY
VILLAGE OF KRONENWETTER
MARATHON COUNTY
WISCONSIN**

Prepared for:

**Mr. Vinnie Tesch
Premier Property Holdings, LLC
2210 River Forest Lane
Kronenwetter, WI 54455**

December 12, 2025

Prepared by:

**BRIAN CAMLEK
CERTIFIED PROFESSIONAL SOIL SCIENTIST
WDNR PROFESSIONALLY ASSURED WETLAND DELINEATOR
CERTIFIED SOIL TESTER**

**ALEX J. BLUME
CERTIFIED PROFESSIONAL SOIL SCIENTIST
WDNR PROFESSIONALLY ASSURED WETLAND DELINEATOR
CERTIFIED SOIL TESTER**

**STAR ENVIRONMENTAL, INC.
Phone: (715) 443-6115
starencvironmental@hotmail.com**



705 Third Street
P.O. Box 434
Marathon, WI 54448
(715) 443-6115
starencvironmental@hotmail.com

December 12, 2025

Mr. Vinnie Tesch
Premier Property Holdings, LLC
2210 River Forest Lane
Kronenwetter, WI 54455

RE: Soils Evaluation for Stormwater on the Premier Property Holdings, LLC Property, located in the SW1/4, SE1/4, Sec. 3, T.27N-R.7E., Village of Kronenwetter, Marathon County, Wisconsin.

The Soils Evaluation for Stormwater and Stormwater Report on Premier Property Holdings, LLC property has been completed and is enclosed for your review.

If you have any questions or concerns on the report or project, please call me. Thank you.

Sincerely,

A handwritten signature in black ink, appearing to read "B. Camlek".

Brian Camlek
Certified Professional Soil Scientist
WDNR Professionally Assured Wetland Delineator
Certified Soil Tester
Star Environmental, Inc.

Enclosures

**SOIL EVALUATION FOR STORMWATER
ON THE
PREMIER PROPERTY HOLDINGS, LLC PROPERTY**

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Introduction1
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 Depth to Bedrock.....1
 Hydrology.....1
 Soils2
 Conclusion and Recommendations2
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- Figure 2 – Marathon County Soil Survey Map
- Figure 3 – Marathon County Soil Survey Legend
- Figure 4 – Surface Water Data Viewer Map
- Figure 5 – Marathon County Topographic Map
- Figure 6 – Soil Pit Location Map

Attachment 2 – Soil Pit Logs

- Soil Evaluation - Storm Logs
- Soil Pits Logs Summary Table
- WDNR Stormwater Tables

Attachment 3 – USDA-NRCS WETS Tables

- Antecedent Precipitation Tool (APT)

Attachment 4 – Onsite Photos

Attachment 5 – Resume’

SOILS EVALUATION FOR STORMWATER ON THE PREMIER PROPERTY HOLDINGS, LLC PROPERTY

Introduction

On October 9, 2025, Star Environmental, Inc. conducted a Soils Evaluation for Stormwater on the Premier Property Holdings, LLC Property, located in part of the SW1/4, SE1/4, Sec. 3, T.27N-R.7E., Village of Kronenwetter, Marathon County, Wisconsin.

Methods

Soils Evaluation techniques used, followed the USDA-NRCS soil descriptive system. The property was subjected to an initial site screening and preliminary survey using the project plan map, recent aerial photographs, and soils maps.

Soil Pit 1 and 2 were described to determine soil limitations and hydraulic application rate for WDNR Storm Water Infiltration Practices, depth to groundwater and bedrock.

On October 9, 2025, Mr. Brian Camlek and Mr. Alex J. Blume, both Certified Professional Soil Scientists, Certified Soil Testers, and WDNR Professionally Assured Wetland Delineators, of Star Environmental, Inc. evaluated the soil backhoe pit excavated by Mr. Vinnie Tesch utilizing a Cat 304 Excavator.

Soil was classified for engineering properties, depth to >50 percent rock fragments, percent fines in each profile, depth to groundwater present, estimated high zone of soil saturation and notes on the geomorphologic landscape position were recorded.

Geomorphologic Landscape Position

This project site's geomorphologic landscape position would be classified as an outwash plain controlled upland.

Depth to Bedrock

Bedrock or >50% rock was not present to the depth of the pit or greater than 125 inches.

Hydrology

Per the WDNR Surface Water Data Viewer, the closest navigable waterbody is the Wisconsin River, located 2,600 feet north west of the site.

Hydrology (continued)

Redoximorphic soil features were not observed to the depth of the soil pits, or greater than 125 inches in both TP-1 and TP-2.

The Antecedent Precipitation Tool (APT) shows that the hydrologic determination is normal for this time of year. (Attachment 3).

Soils

Per the USDA-NRCS Soil Survey, soil pits were in the excessively drained Mahtomedi Loamy Sand Soil Series, an Oxyaquic Glossudalf. The Freeon soil series consists loess or silty lacustrine deposits over dense sandy loam till. The soils present onsite have outwash sands and gravel beneath the silt cap indicating a differing soil mapping unit is present.

History

This site has been historically manipulated multiple times throughout history. Currently the site is used as a staging area for a landscaping business. A house was located in the south east portion of the property but has since been removed.

Conclusion and Recommendations

The apparent groundwater table, or endosaturation was not observed to the depth of both soil pits 1 and 2 or greater than 125 inches.

Bedrock or greater than 50% rock was not encountered to the depth of the soil pits or greater than 125 inches.

This Soils Evaluation for Stormwater Report should be beneficial in determining suitable stormwater practices per the guidelines established by the Wisconsin Department of Natural Resources (WDNR).

This report, conclusion and recommendations are the professional opinion of Brian Camlek and Alex J. Blume, both Certified Professional Soil Scientists, Certified Soil Testers, and WDNR Professionally Assured Wetland Delineators.



Brian Camlek
Certified Professional Soil Scientist
WDNR Professionally Assured Wetland Delineator
Certified Soil Tester

December 12, 2025

Date



Alex J. Blume
Certified Professional Soil Scientist
WDNR Professionally Assured Wetland Delineator
Certified Soil Tester

December 12, 2025

Date

References Cited

1. United States Department of Agriculture. 1989.
Soil Survey of Marathon County, Wisconsin. 217 pp.
and appendices and maps.
2. Chapter NR 151 – Wisconsin Runoff Management, May 2013. 32 pp.
3. Evaluation for Storm Water Infiltration – Technical Standard (1002). September 2017.

ATTACHMENT 1

PROJECT SITE MAPS

Figure 1 – Location Map

Figure 2 – Marathon County Soil Survey Map

Figure 3 – Marathon County Soil Survey Legend

Figure 4 – Surface Water Data Viewer Map

Figure 5 – Marathon County Topographic Map

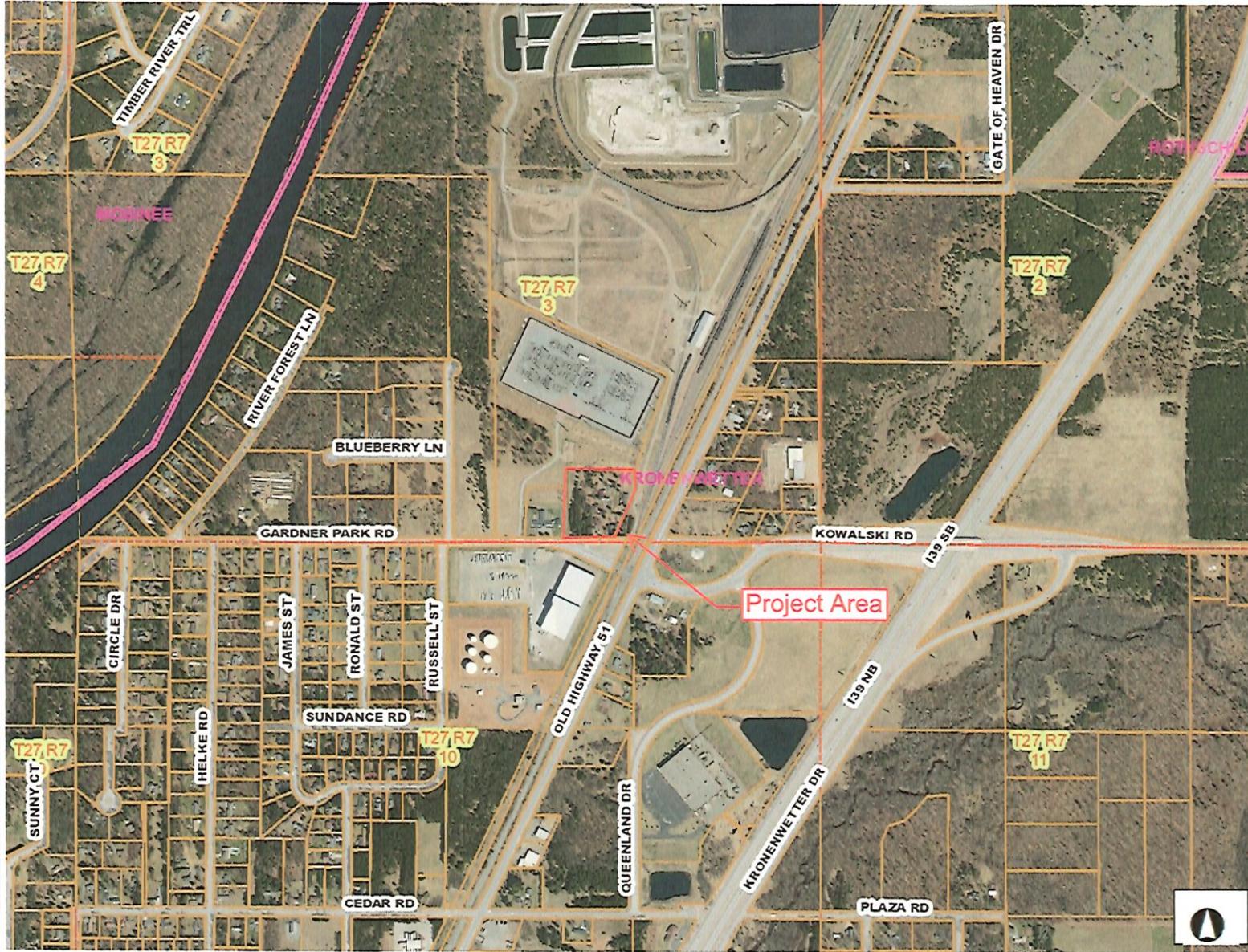
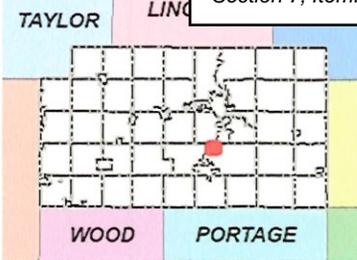
Figure 6 – Soil Pit Location Map



Land Information Mapping System

Location Map

Section 7, Item 1.



- ### Legend
- Road Names
 - Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Section Lines/Numbers
 - Right Of Ways
 - Named Places
 - Municipalities
- 2020 Orthos Countywide
- Red: Band_1
 - Green: Band_2
 - Blue: Band_3

533.90 0 533.90 Feet



NAD_1983_HARN_WISCRS_Marathon_County_Feet

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Notes
Figure 1



Land Information Mapping System Soil Map

Section 7, Item 1.

TAYLOR

LINCOLN



WOOD

PORTAGE



Legend

- Road Names
- Parcels
- Parcel Lot Lines
- Land Hooks
- Right Of Ways
- Named Places
- Municipalities
- NRCS Soils
- 2020 Orthos Countywide
- Red: Band_1
- Green: Band_2
- Blue: Band_3

66.74 0 66.74 Feet



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Notes
Figure 2

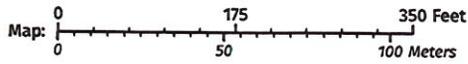
Marathon County Soil Legend

<u>Map Symbol</u>	<u>Soil Name</u>	<u>Map Symbol</u>	<u>Soil Name</u>
AbB	Alban loam, 1 to 6 percent slopes	MdB	Marathon silt loam, 2 to 6 percent slopes
Ad	Aldorf mucky silt loam, 0 to 2 percent slopes	MdC	Marathon silt loam, 6 to 12 percent slopes
AmC	Amery silt loam, 5 to 15 percent slopes	MeC	Marathon silt loam, 2 to 15 percent slopes, stony
CbA	Cable silt loam, 0 to 3 percent slopes, stony	MfA	Marshfield silt loam, 0 to 3 percent slopes
Ch	Cathro muck, 0 to 1 percent slopes	MgA	Meadland loam, 0 to 3 percent slopes
CkA	Chetek sandy loam, 0 to 2 percent slopes	MhA	Meadland loam, 0 to 3 percent slopes, stony
CkB	Chetek sandy loam, 2 to 6 percent slopes	Mm	Meehan loamy sand, 0 to 2 percent slopes
CkC	Chetek sandy loam, 6 to 15 percent slopes]	Mn	Minocqua sandy loam, 0 to 2 percent slopes
CkE	Chetek sandy loam, 15 to 30 percent slopes	MoB	Moberg gravelly silt loam, 2 to 6 percent slopes
Da	Dancy sandy loam, 0 to 2 percent slopes	MoC	Moberg gravelly silt loam, 6 to 15 percent slopes
DoA	Dolph silt loam, 0 to 3 percent slopes	MsB	Mosinee sandy loam, 2 to 6 percent slopes
DuB	Dunnville fine sandy loam, 1 to 4 percent slopes	MsC	Mosinee sandy loam, 6 to 12 percent slopes
FeC	Fenwood silt loam, 6 to 12 percent slopes	MsD	Mosinee sandy loam, 12 to 20 percent slopes
FeD	Fenwood silt loam, 12 to 20 percent slopes	MtC	Mosinee sandy loam, 2 to 15 percent slopes, stony
FfC	Fenwood silt loam, 2 to 15 percent slopes, stony	MyB	Myra silt loam, 1 to 6 percent slopes
FfE	Fenwood silt loam, 15 to 30 percent slopes, stony	MzB	Myra silt loam, 1 to 6 percent slopes, stony
FgB	Fenwood-Rozelville silt loams, 2 to 6 percent slopes	Ne	Newson mucky loamy sand, 0 to 1 percent slopes
Fh	Fordum silt loam, 0 to 1 percent slopes	Oe	Oesterle loam, 0 to 2 percent slopes
FnB	Freeon silt loam, 2 to 6 percent slopes	Pg	Pits, gravel
FnC	Freeon silt loam, 6 to 12 percent slopes	Ph	Pits, quarries
GcB	Graycalm loamy sand, 2 to 6 percent slopes	Po	Plover sandy loam, 0 to 2 percent slopes
Gm	Graycalm loamy sand, moderately well drained, 0 to 2 percent slopes	RbC	Ribhill cobbly silt loam, 6 to 15 percent slopes
Gr	Greenwood peat, 0 to 1 percent slopes	RbE	Ribhill cobbly silt loam, 15 to 30 percent slopes, stony
GuB	Guenther loamy sand, 2 to 6 percent slopes	RcB	Rietbrock silt loam, 1 to 8 percent slopes, stony
HtB	Hatley silt loam, 1 to 6 percent slopes	ReB	Rietbrock silt loam, 1 to 8 percent slopes
HyB	Hatley cobbly silt loam, 1 to 6 percent slopes, boulder	RhA	Rockers loamy sand, 0 to 3 percent slopes
KaB	Kennan sandy loam, 2 to 8 percent slopes	RoA	Rosholt sandy loam, 0 to 2 percent slopes
KaC	Kennan sandy loam, 8 to 15 percent slopes	RoB	Rosholt sandy loam, 2 to 6 percent slopes
KaD2	Kennan sandy loam, 15 to 30 percent slopes, eroded	RsA	Rosholt silt loam, 0 to 2 percent slopes
KeB	Kennan sandy loam, 2 to 8 percent slopes, boulder	RsB	Rosholt silt loam, 2 to 6 percent slopes
KeC	Kennan sandy loam, 8 to 15 percent slopes, boulder	ScA	Scott Lake sandy loam, 0 to 3 percent slopes
KeE	Kennan sandy loam, 15 to 30 percent slopes, boulder	SdA	Scott Lake silt loam, 0 to 3 percent slopes
LDF	Landfill	Se	Seelyeville muck, 0 to 1 percent slopes
LoB	Loyal silt loam, 1 to 6 percent slopes	ShA	Sherry silt loam, 0 to 3 percent slopes
LoC	Loyal silt loam, 6 to 12 percent slopes	St	Sturgeon silt loam, 0 to 2 percent slopes
MaB	Magnor silt loam, 0 to 4 percent slopes	UoB	Udorthents, loamy, gently sloping
MbB	Mahtomedi loamy sand, 0 to 6 percent slopes	UoE	Udorthents, loamy, steep (earthen dam)
MbC	Mahtomedi loamy sand, 6 to 15 percent slopes	WtA, WtB	Withee silt loam 0 to 3 percent slopes
MbE	Mahtomedi loamy sand, 15 to 45 percent slopes		
McA	Mahtomedi loamy sand, moderately well drained, 0 to 3 percent slopes		



Legend: (some map layers may not be displayed)

Notes:



Service Layer Credits:
Wetland Indicators & Soils: Surface Water Data Viewer Team, Latest Leaf Off, DNR Basic Feature Vector
Tile Layer WTM: Surface Water (Cached): WiDNR, USGS, and other data, Wetland Inventory NWI (Dynamic):
Calvin Lawrence, Dennis Weise, Nina Rihh

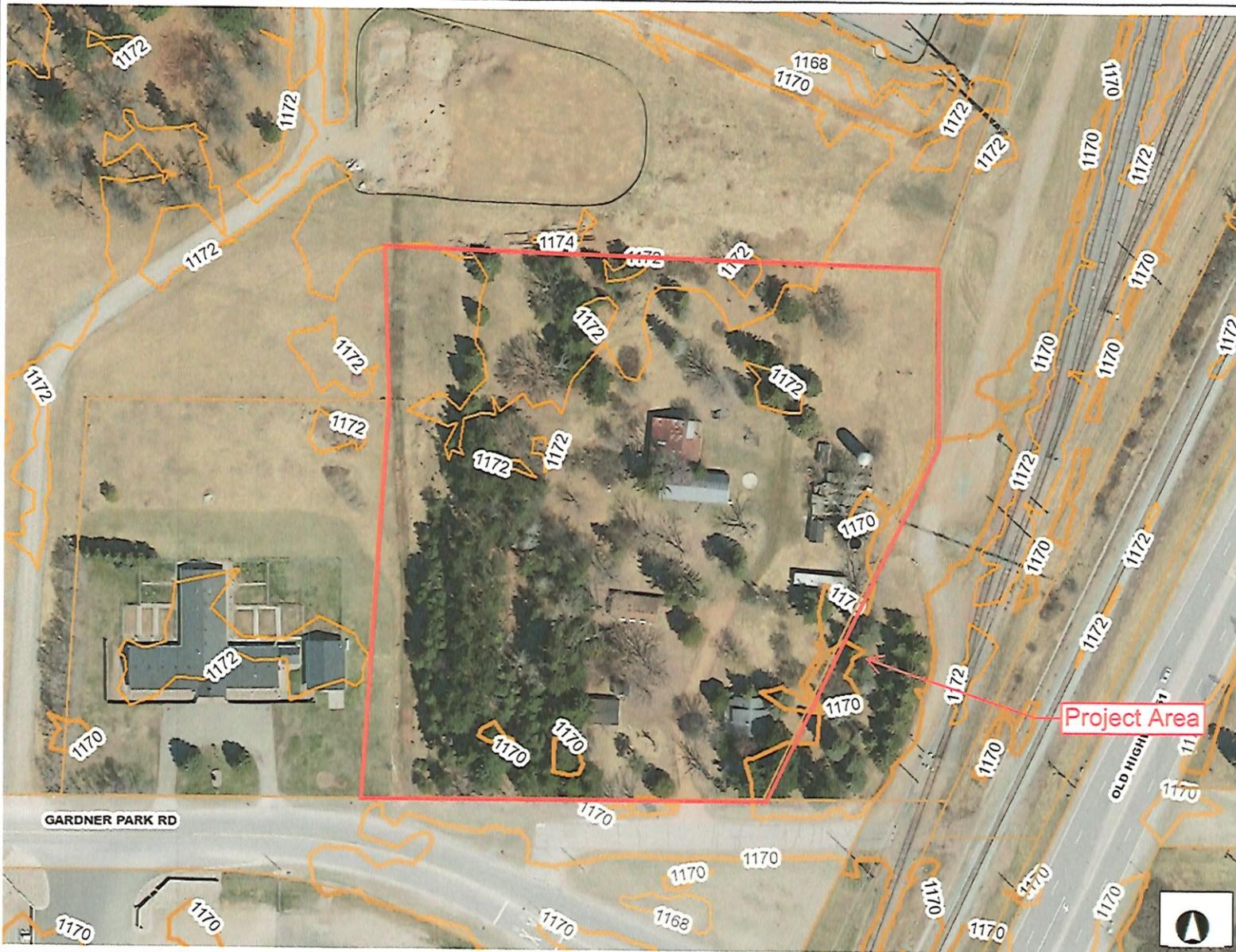
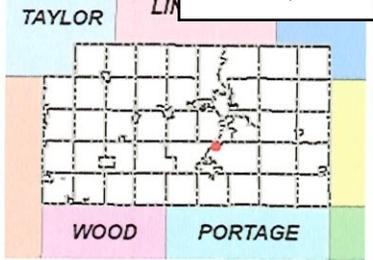
Map projection: NAD 1983 HARN Wisconsin TM



This map is a product generated by a DNR web mapping application.
This map is for informational purposes only and may not have been prepared for or be suitable for legal, engineering, or surveying purposes. The user is solely responsible for verifying the accuracy of information before using for any purpose. By using this product for any purpose user agrees to be bound by all disclaimers found here: <https://dnr.wisconsin.gov/legal>

Figure 4

Date Printed: 12/12/2025 11:45 AM



- ### Legend
- Road Names
 - Parcels
 - Parcel Lot Lines
 - Land Hooks
 - Right Of Ways
 - Named Places
 - Municipalities
 - 2ft Contour Labels
 - County-wide 2ft Contours (2012)
 - Index
 - Intermediate
 - 2020 Orthos Countywide
 - Red: Band_1
 - Green: Band_2
 - Blue: Band_3

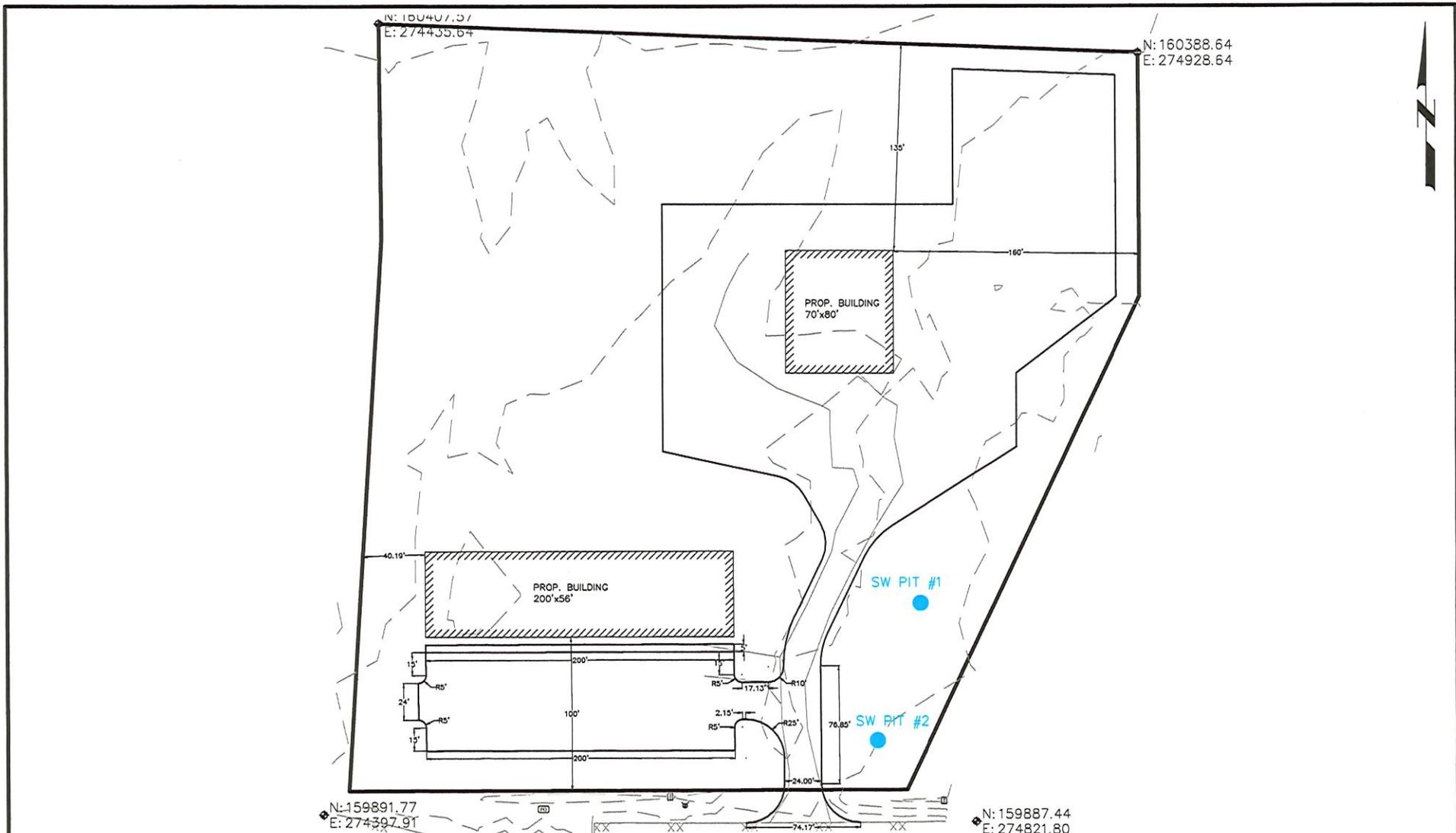
66.74 0 66.74 Feet



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Notes
Figure 5



STAMP/SIGNATURE:

REVISIONS		
BY	DATE	DESCRIPTION

TITLE PAGE:
STORMWATER PIT MAP

PROJECT: **PREMIER PROPERTY DEVELOPMENT**

LOCATION: **VILLAGE OF KRONENWEITER
 MARATHON COUNTY, WISCONSIN**



VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
 6103 DAWN STREET WESTON, WI. 54476
 PHONE NO.: (715) 241-0947
 EMAIL: cjustin@vreelandassociates.us
 WEBSITE: www.vreelandlandsurveying.com

PREPARED FOR: **GREG TESCH**

PLAN DATE: **OCTOBER 6TH, 2025**

DESIGNED: DURTIN VREELAND
 SURVEYED BY: CS & TV
 FILE NO.: 18-0418 ENGINEERING
 DATE: SEPTEMBER 15, 2025

SCALE: **1" = 60'**

SHEET **PIT**

ATTACHMENT 2

SOIL PIT LOGS

Soil Evaluation -- Storm Logs
Soil Pits Logs Summary Table
WDNR Stormwater Tables



Attachment 2:

1002-CPS-23
 Division of Industry Services
 P. O. Box 2658
 Madison, Wisconsin 53701
 Scott Walker, Governor
 Laura Gutierrez, Secretary

SOIL AND SITE EVALUATION – STORM

In accordance with SPS 382.365, 385, Wis. Adm. Code, and WDNR Standard 1002

Attach a complete site plan on paper not less than 8 1/2 x 11 inches in size. Plan must include, but not limited to: vertical and horizontal reference point (BM), direction and percent of slope, scale or dimensions, north arrow, and BM referenced to nearest road

Please print all information

Personal information you provide may be used for secondary purposes (Privacy Law, s. 15.04(1)(m))

County	Marathon
Parcel I.D.	145-2707-034-0972
Reviewed by	Date

Property Owner Premier Property Holdings LLC, CO Vinnie Tesch				Property Location SW 1/4 SE 1/4 S 3 T 27 N R 7 <input checked="" type="checkbox"/> E (or) <input type="checkbox"/> W			
Property Owner's Mailing Address 2210 River Forest Lane				Lot #	Block #	Subd. Name or CSM#	
City Kronenwetter	State WI	Zip Code 54455	Phone Number -	<input type="checkbox"/> City	<input checked="" type="checkbox"/> Village Kronenwetter	<input type="checkbox"/> Town	Nearest Road 1190 Gardner Park Road
Drainage area _____ sq. ft. <input type="checkbox"/> acres				Hydraulic Application Test Method		Soil Moisture	
Test site suitable for (check all that apply): <input type="checkbox"/> Site not suitable;				<input checked="" type="checkbox"/> Morphological Evaluation		Date of soil Borings: 10/9/2025	
<input type="checkbox"/> Bioretention; <input type="checkbox"/> Subsurface Dispersal System;				<input type="checkbox"/> Double Ring Infiltrometer		USDA-NRCS WETS Value:	
<input type="checkbox"/> Resuse; <input type="checkbox"/> Irrigation; <input type="checkbox"/> Other _____				<input type="checkbox"/> Other: (specify) _____		<input type="checkbox"/> Dry = 1;	
						<input checked="" type="checkbox"/> Normal = 2;	
						<input type="checkbox"/> Wet = 3.	

TP-1 Boring # Boring Pit Ground surface elev. 1710 ft Depth to limiting factor 125 in.

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-10	10YR 3/3	-	LS	2MSBK	MVFR	AS	5	19	1.63
2	-22	10YR 4/4	-	LS	2MABK	MVFR	CW	5	19	1.63
3	-48	7.5YR 4/6	-	GRS	SG	ML	CW	20	8	3.60
4	-125	7.5YR 6/6	-	GRS	SG	ML	-	25	7	3.60

Comments: Groundwater, saturation, redoximorphic features, and bedrock not present to the depth of the pit.

TP-2 Boring # Boring Pit Ground surface elev. 1710 ft Depth to limiting factor 125 in.

Horizon	Depth in.	Dominant Color Munsell	Redox Description Qu. Sz. Cont. Color	Texture	Structure Gr. Sz. Sh.	Consistence	Boundary	% Rock Frags.	% Fines	Hydraulic App Rate Inches/Hr
1	0-6	10YR 3/3	-	LS	2MSBK	MVFR	AS	5	19	1.63
2	-16	10YR 4/4	-	LS	2MABK	MVFR	CW	5	19	1.63
3	-38	7.5YR 4/6	-	GRS	SG	ML	CW	20	8	3.60
4	-125	7.5YR 6/6	-	GRS	SG	ML	-	20	8	3.60

Comments: Groundwater, saturation, redoximorphic features, and bedrock not present to the depth of the pit.

CST Name (Please Print) Brian Camlek, Alex J. Blume	Signature <i>[Signature]</i>	Credential Number 1226509, 1491460
Address PO Box 434 Marathon WI 54448	Date Evaluation Conducted 10/9/2025	Telephone Number (715) 443-6115

**STORMWATER AND BEDROCK STUDY
SOIL PIT LOGS SUMMARY TABLE**

Pit #	Depth to Bedrock (in.)	Depth to Ground Water (in.)	Groundwater Present	Est. High Ground Water (in.)	Depth to Redoximorphic Features
TP-1	>125	>125	No	>125	>125
TP-2	>125	>125	No	>125	>125

Notes:

Bedrock or >50% rock was not observed in any of the pits to the depth of the soil pits or greater than 125 inches in TP-1 and TP-2.

The apparent groundwater table, or endosaturation, and saturation was not observed in any of the pits to the depth of the pits or greater than 125 inches in TP-1 and TP-2.

Redoximorphic soil features were not observed to the depth of the pits in both pits, or greater than 125 inches in TP-1 and greater than 96 inches in TP-2.

Date: 10-9-2025

Backhoe: CAT 304 operated by Vinnie Tesch of Premier Lawn & Landscape, LLC

Recorded By: Brian Camlek, Certified Professional Soil Scientist
Alex J. Blume, Certified Professional Soil Scientist
Star Environmental, Inc.
(715) 443-6115

Table 1. Evaluation Requirements to Proposed Infiltration Devices ^{Note 1}

Infiltration Device (Technical Standard ^{Note 2, Note 3})	Tests Required	Minimum Number of Test Pits Required ^{Note 4, Note 5}
<i>Rain Garden</i>	Soil texture evaluation or infiltration test	N/A
<i>Infiltration Trenches (1007)</i>	Test pits	1 test pit/100 linear feet of trench with a minimum of 2 test pits, and sufficient to determine / confirm variability
<i>Vegetated Swale (1005)</i>	Test pits	1 test pit/ 500 linear feet of swale with a minimum of 2 test pits, and sufficient to determine / confirm variability
<i>Bioretention Systems (1004)</i>	Test pits	1 test pit or a number sufficient to assess infiltration potential, and sufficient to determine / confirm variability
<i>Surface Infiltration Basins (1003)</i>	Test pits	2 test pits then an additional test pit /10,000 square feet and sufficient to determine / confirm variability
<i>Subsurface Dispersal Systems (N/A) greater than 15 feet in width</i>	Test pits	2 test pits then an additional test pit /10,000 square feet and sufficient to determine / confirm variability
<i>Permeable Pavement Systems (1008)</i>	Test pits	2 test pits then an additional test pit /10,000 square feet and sufficient to determine / confirm variability

^{Note 1} Maintain trench safety requirements; test pit evaluations can be made from the surface without entering the pit.

^{Note 2} Technical standards refer to the corresponding WDNR design technical standard containing design criteria for this practice.

^{Note 3} Where initial site borings show uniform soils throughout the site, the professional meeting the Qualifications (see Step D) may reduce the number of test pits, provided information from both test pits and soil borings confirm a uniform soil condition across the proposed device location.

^{Note 4} Test pits are optimally located within 10 feet of the footprint perimeter, and not within the footprint.

^{Note 5} If a backhoe is unable to excavate a test pit deep enough from the existing surface to reach 5 feet below the native soil interface, then soil borings may be used to evaluate the depth below the which the backhoe is unable to reach. It is expected that even a medium sized backhoe can reach at least 15 feet below grade.

Step C.2. Infiltration Rate Exemption.

To determine if a site is eligible for exemption from infiltration under s. NR 151.124(4)(c), Wis. Adm. Code, use a scientifically credible field test method unless the least permeable soil horizon within five feet below the native soil interface is one of the following: sandy clay loam, clay loam, silty clay loam, sandy clay, silty clay, or clay. Take at least three infiltration tests at the optimal infiltration location per the criteria obtained in Step B, and distribute tests so that they best represent the area being tested (see Step C.3. Infiltration Option 2 for infiltration test methods). Conduct tests within the native soil layer being evaluated for exemption. For a site to be exempt from infiltration requirements, at least two-thirds of tests are to have a measured infiltration rate of less than 0.6 in/hr. Use the infiltration rate from actual field measurements to request an exemption to infiltration requirements; correction factors do not apply.

Step C.3. Infiltration Rate Determination.

The purpose of this step is to determine a design infiltration rate (Infiltration Options 1 – 3).

Use Infiltration Options below to determine the design infiltration rate. Examples calculate the *static infiltration rate*.

Note that *soil compaction mitigation* reduces the soil density and promotes infiltration.

Infiltration Option 1 – Infiltration Rate Not Measured, Soil Compaction Mitigated

Using information from soil test pits, select the design static infiltration rate from Table 2 based on soil texture of the least permeable soil horizon within 5 feet below the native soil interface. See Example 1.

Table 2. Design Static Infiltration Rates for Soil Textures Receiving Storm Water ^{Note 1}

Soil Texture	Design Static Infiltration Rate Without Measurement (Inches/Hour) ^{Note 2}
Coarse sand or coarser	3.60
Loamy coarse sand	3.60
Sand	3.60
Loamy sand	1.63
Sandy loam, fine sand, loamy sand, very fine sand, and loamy fine sand	0.50
Loam	0.24
Silt loam	0.13
Sandy clay loam	0.11
Clay loam	0.03
Silty Clay loam	0.04 ^{Note 3}
Sandy clay	0.04
Silty clay	0.07
Clay	0.07

^{Note 1} These infiltration rates are not to be used to request exemption from infiltration requirements.

^{Note 2} Infiltration rates represent the lowest value for each textural class presented in Table 2 of Rawls, 1998.

^{Note 3} Infiltration rate is an average based on Rawls, 1982 and Clapp & Hornberger, 1978.

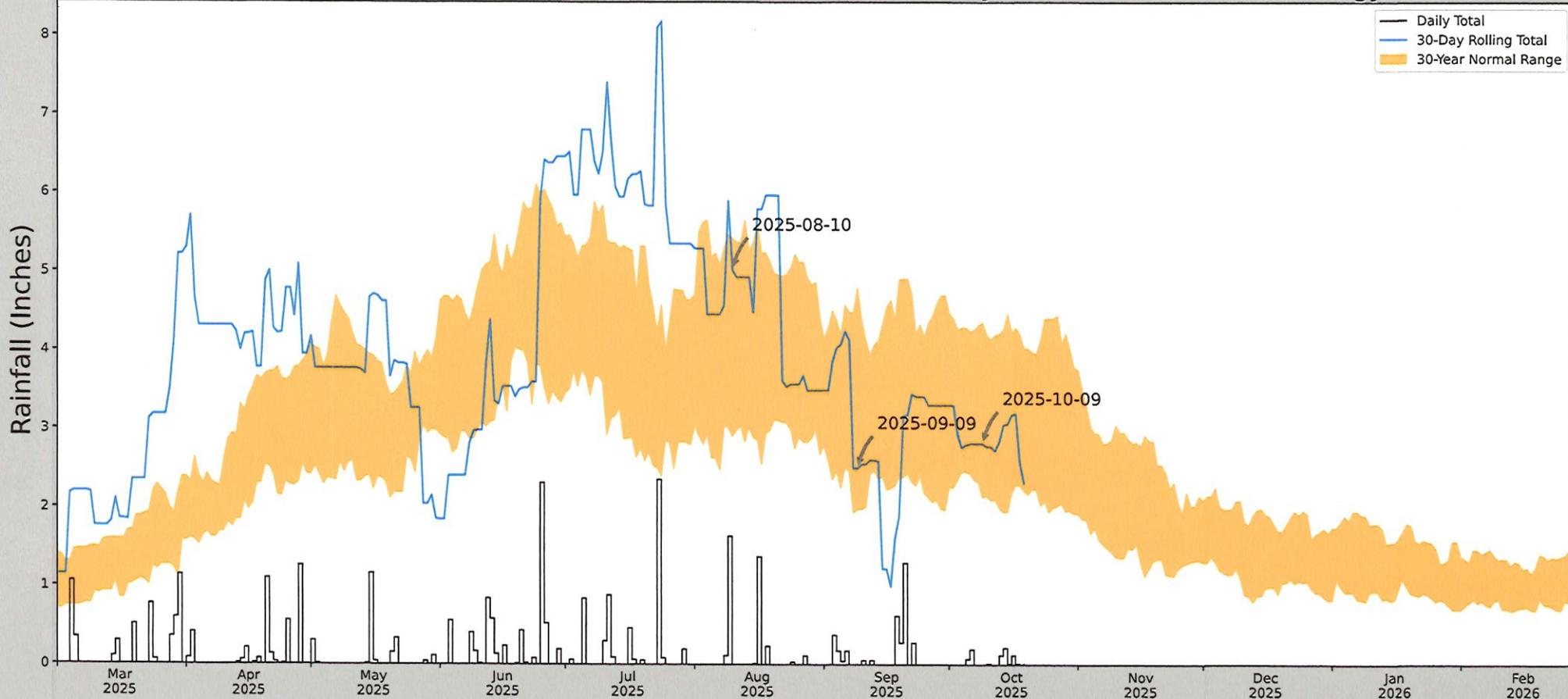
Table 2 assumes separation from the native soil interface to a limiting layer such that mounding of water will not reach the native soil interface. A regulatory authority may require a mounding analysis when concerned that mounding may impair the function of the device or have an adverse impact to property. See Considerations section for more information.

Where adverse soil structure is present, such as moderate to strong platy soil structure, compacted or cemented soil horizons, or massive soil conditions with high bulk density reduce the design static infiltration rates per judgment of an individual meeting the Qualifications in Step D.

ATTACHMENT 3

ANTECEDENT PRECIPITATION TOOL (APT)

Antecedent Precipitation vs Normal Range based on NOAA's Daily Global Historical Climatology Network



Coordinates	44.84431, -89.6553
Observation Date	2025-10-09
Elevation (ft)	1171.882
Drought Index (PDSI)	Not available (2025-09)
WebWIMP H ₂ O Balance	Wet Season

30 Days Ending	30 th %ile (in)	70 th %ile (in)	Observed (in)	Wetness Condition	Condition Value	Month Weight	Product
2025-10-09	2.135827	4.357087	2.814961	Normal	2	3	6
2025-09-09	1.974803	4.789764	2.5	Normal	2	2	4
2025-08-10	2.906299	5.422047	5.019685	Normal	2	1	2
Result							Normal Conditions - 12

Figures and tables made by the Antecedent Precipitation Tool Version 3.0



Developed by:
U.S. Army Corps of Engineers and
U.S. Army Engineer Research and
Development Center

Weather Station Name	Coordinates	Elevation (ft)	Distance (mi)	Elevation Δ	Weighted Δ	Days Normal	Days Antecedent
WAUSAU ASOS	44.9275, -89.6253	1201.116	5.933	29.234	2.843	11351	90
WAUSAU WSAW TV	44.9464, -89.6222	1196.85	1.315	4.266	0.597	2	0

ATTACHMENT 4

ONSITE PHOTOS



Project Area



Cat 304 Excavator Operated by Vinnie Tesch



TP-1 Location



TP-1



TP-1 Excavated Material



Total Depth TP-1



TP-2 Location



TP-2

p



TP-1 Total Depth

ATTACHMENT 5

RESUME'

Brian Camlek

**Certified Professional Soil Scientist
WDNR Professionally Assured Wetland Delineator,
Licensed Designer of Engineering Systems
Star Environmental, Inc.
705 Third Street, P.O. Box 434
Marathon, WI 54448
Telephone: 715-443-6115, Cell: 715-630-4401
Email: bcamlek.starenvironmental@hotmail.com**

Experience: Star Environmental, Inc., Certified Professional Soil Scientist

Professional Experiences in Wetland Delineations, Wetland Mitigation Banks, Non-Metallic Mine Reclamation Plans, Pond Development Plans, Stormwater Pollution Prevention Plans, Soil and Site Evaluations for Septic Systems and Stormwater, Septic System Designs, Septic System and Well Inspections.

Dade Moeller, Inc., Environmental Scientist

Sampled Soil, Water, Vegetation and Aquatic Organism while conducting extensive QA/QC of data collected during offshore operations in the Gulf of Mexico in response to the BP Deepwater Horizon Oil Spill of 2010.

Water and Environmental Analysis Laboratory, UWSP, Environmental Lab Technician

Analyzed and interpreted water samples for Nitrates, Nitrites, Chloride, Fluoride, Bacteria, Total Hardness, Alkalinity, pH, Turbidity, Biological Oxygen Demand, Chemical Oxygen Demand.

Education: B.S.-Water Resources and Soil Science, May 2010 University of Wisconsin-Stevens Point

WDNR Basic and Advanced Wetland Delineation Training Workshops

WDNR Critical Methods in Wetland Delineation Workshop

Completion of UW-La Crosse Grasses, Sedge & Rushes Workshop

Certified Environmental Inspector - Commonground University ASTM E1527-13 Phase 1 ESA

Completion of UW-Madison-WinSLAMM v.10.2 Meeting Urban Stormwater Management

Qualifications: Certified Professional Soil Scientist

WDNR Professionally Assured Wetland Delineator

Licensed Designer of Engineering Systems

Certified Environmental Inspector, Environmental Assessment Association

Certified Soil Tester, State of Wisconsin

Certified POWTS Inspector, State of Wisconsin

Licensed Pump Installer, State of Wisconsin

Résumé' of Qualifications

Alex J. Blume

**Certified Professional Soil Scientist,
 WDNR Professionally Assured Wetland Delineator,
 Certified Soil Tester, POWTS Inspector,
 Licensed Designer of Engineered Systems,
 Certified Environmental Inspector**

Star Environmental, Inc.

705 Third Street, P.O. Box 434

Marathon, WI 54448

Telephone: 715-443-6115

Email: ablume.starenvironmental@hotmail.com**Experience: Star Environmental, Inc., Environmental Specialist**

Professional Experiences in Wetland Delineations, Wetland Mitigation Banks, Grading Plans, Erosion Control Plans, Pond Development Plans, Wetland Crossings, Septic System and Well Inspections, and Soil and Site Evaluations for Septic Systems and Storm Water.

Education:

B.S.-Soil and Land Management, May 2019 University of Wisconsin Stevens Point

Treehaven Summer Camp. Six weeks of intensive field exercises practicing techniques used to inventory and manage forest, soil, water and wildlife resources. Special emphasis on mapping, air photo interpretation and vegetation identification.

WDNR Basic and Advanced Wetland Delineation Training Workshops

Completion of UW – Stevens Point Wetland Plants Identification and Sampling Workshop

Qualifications:

Certified Soil Tester – State of Wisconsin

Certified Professional Soil Scientist

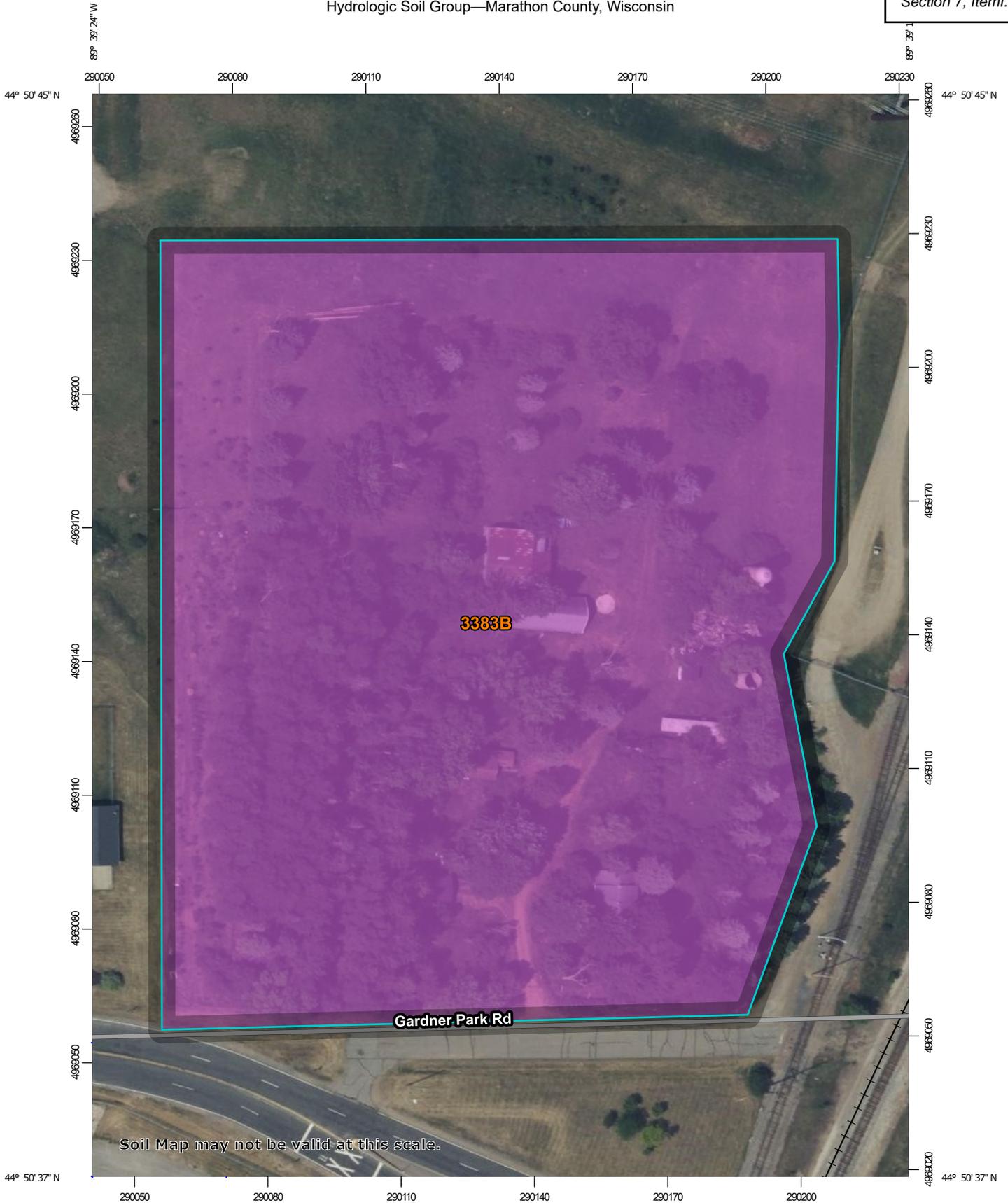
Certified POWTS Inspector – State of Wisconsin

WDNR Professionally Assured Wetland Delineator

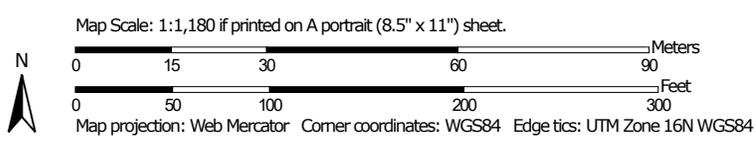
Recognized USACE Wetland Consultant

Licensed Designer of Engineered Systems

Certified Environmental Inspector, Environmental Assessment Association



Soil Map may not be valid at this scale.



MAP LEGEND

- Area of Interest (AOI)**
 -  Area of Interest (AOI)
- Soils**
 - Soil Rating Polygons**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Lines**
 -  A
 -  A/D
 -  B
 -  B/D
 -  C
 -  C/D
 -  D
 -  Not rated or not available
 - Soil Rating Points**
 -  A
 -  A/D
 -  B
 -  B/D
- Water Features**
 -  Streams and Canals
- Transportation**
 -  Rails
 -  Interstate Highways
 -  US Routes
 -  Major Roads
 -  Local Roads
- Background**
 -  Aerial Photography
- Other**
 -  C
 -  C/D
 -  D
 -  Not rated or not available

MAP INFORMATION

The soil surveys that comprise your AOI were mapped at 1:20,000.

Warning: Soil Map may not be valid at this scale.

Enlargement of maps beyond the scale of mapping can cause misunderstanding of the detail of mapping and accuracy of soil line placement. The maps do not show the small areas of contrasting soils that could have been shown at a more detailed scale.

Please rely on the bar scale on each map sheet for map measurements.

Source of Map: Natural Resources Conservation Service
 Web Soil Survey URL:
 Coordinate System: Web Mercator (EPSG:3857)

Maps from the Web Soil Survey are based on the Web Mercator projection, which preserves direction and shape but distorts distance and area. A projection that preserves area, such as the Albers equal-area conic projection, should be used if more accurate calculations of distance or area are required.

This product is generated from the USDA-NRCS certified data as of the version date(s) listed below.

Soil Survey Area: Marathon County, Wisconsin
 Survey Area Data: Version 23, Sep 10, 2025

Soil map units are labeled (as space allows) for map scales 1:50,000 or larger.

Date(s) aerial images were photographed: Jun 7, 2023—Jun 8, 2023

The orthophoto or other base map on which the soil lines were compiled and digitized probably differs from the background imagery displayed on these maps. As a result, some minor shifting of map unit boundaries may be evident.

Hydrologic Soil Group

Map unit symbol	Map unit name	Rating	Acres in AOI	Percent of AOI
3383B	Mahtomedi loamy sand, 0 to 6 percent slopes	A	6.4	100.0%
Totals for Area of Interest			6.4	100.0%

Description

Hydrologic soil groups are based on estimates of runoff potential. Soils are assigned to one of four groups according to the rate of water infiltration when the soils are not protected by vegetation, are thoroughly wet, and receive precipitation from long-duration storms.

The soils in the United States are assigned to four groups (A, B, C, and D) and three dual classes (A/D, B/D, and C/D). The groups are defined as follows:

Group A. Soils having a high infiltration rate (low runoff potential) when thoroughly wet. These consist mainly of deep, well drained to excessively drained sands or gravelly sands. These soils have a high rate of water transmission.

Group B. Soils having a moderate infiltration rate when thoroughly wet. These consist chiefly of moderately deep or deep, moderately well drained or well drained soils that have moderately fine texture to moderately coarse texture. These soils have a moderate rate of water transmission.

Group C. Soils having a slow infiltration rate when thoroughly wet. These consist chiefly of soils having a layer that impedes the downward movement of water or soils of moderately fine texture or fine texture. These soils have a slow rate of water transmission.

Group D. Soils having a very slow infiltration rate (high runoff potential) when thoroughly wet. These consist chiefly of clays that have a high shrink-swell potential, soils that have a high water table, soils that have a claypan or clay layer at or near the surface, and soils that are shallow over nearly impervious material. These soils have a very slow rate of water transmission.

If a soil is assigned to a dual hydrologic group (A/D, B/D, or C/D), the first letter is for drained areas and the second is for undrained areas. Only the soils that in their natural condition are in group D are assigned to dual classes.

Rating Options

Aggregation Method: Dominant Condition

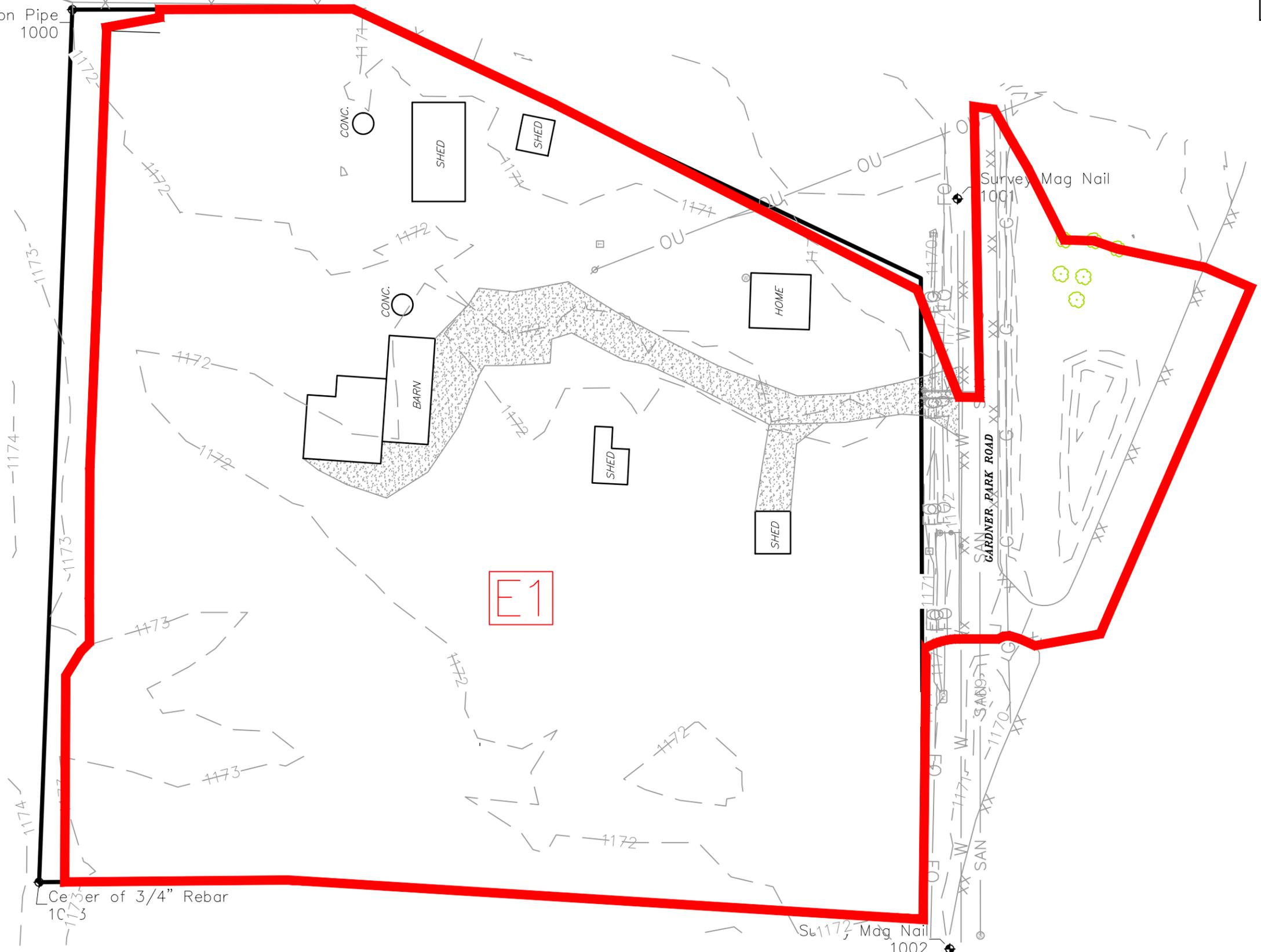
Component Percent Cutoff: None Specified

Tie-break Rule: Higher

APPENDIX C

Existing & Proposed Drainage Map and Calculations

South side of 1.25" Iron Pipe
1000



Center of 3/4" Rebar
1013

Mag Nail
1002

STAMP/SIGNATURE:		REVISIONS	
BY	DATE	DESCRIPTION	

TITLE PAGE:
EXISTING CATCHMENT

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN



VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
6103 DAWN STREET WESTON, WI. 54476
PHONE NO.: (715) 241-0947
EMAIL: dustin@vreelandassociates.us
WEBSITE: www.vreelandlandsurveying.com

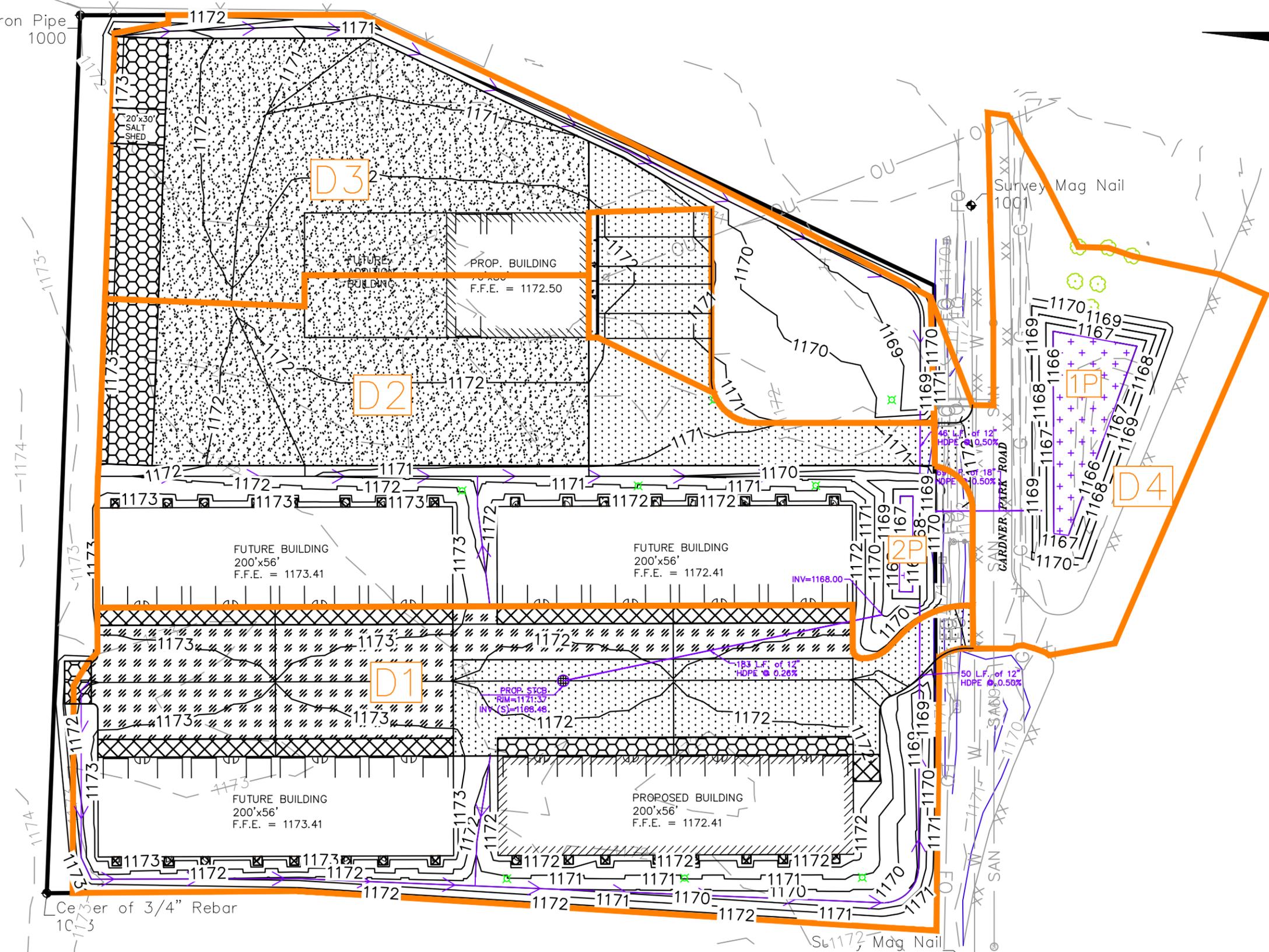
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PREPARED FOR: GREG TESCH

PLAN DATE: OCTOBER 6TH, 2025

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15, 2025
SCALE: 1" = 60'
SHEET EXI 147

1 side of 1.25" Iron Pipe
1000



Center of 3/4" Rebar
1003

REVISIONS		
BY	DATE	DESCRIPTION

TITLE PAGE:
PROPOSED CATCHMENT

PROJECT: PREMIER PROPERTY DEVELOPMENT

LOCATION: VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN



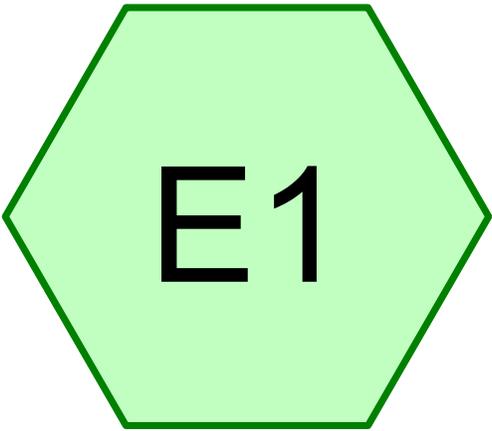
VREELAND ASSOCIATES LAND SURVEYORS & ENGINEERS
6103 DAWN STREET WESTON, WI. 54476
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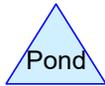
PREPARED FOR: GREG TESCH

PLAN DATE: OCTOBER 6TH, 2025

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15, 2025
SCALE: 1" = 60'
SHEET PRO 148



existing



Routing Diagram for 25-0410 existing
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25-0410 existing

Prepared by {enter your company name here}
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Page 2

Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
2.077	39	>75% Grass cover, Good, HSG A (E1)
2.592	30	Woods, Good, HSG A (E1)
0.180	98	buildings (E1)
0.240	96	gravel (E1)
0.232	98	roadway (E1)
5.321	42	TOTAL AREA

25-0410 existing

MSE 24-hr 3 1-Year Rainfall=2.27"

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Page 3

Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E1: existing

Runoff Area=5.321 ac 7.74% Impervious Runoff Depth=0.24"
Tc=20.0 min CN=WQ Runoff=1.33 cfs 0.107 af

Total Runoff Area = 5.321 ac Runoff Volume = 0.107 af Average Runoff Depth = 0.24"
92.26% Pervious = 4.909 ac 7.74% Impervious = 0.412 ac

25-0410 existing

MSE 24-hr 3 1-Year Rainfall=2.27"

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Page 4

Summary for Subcatchment E1: existing

Runoff = 1.33 cfs @ 12.29 hrs, Volume= 0.107 af, Depth= 0.24"

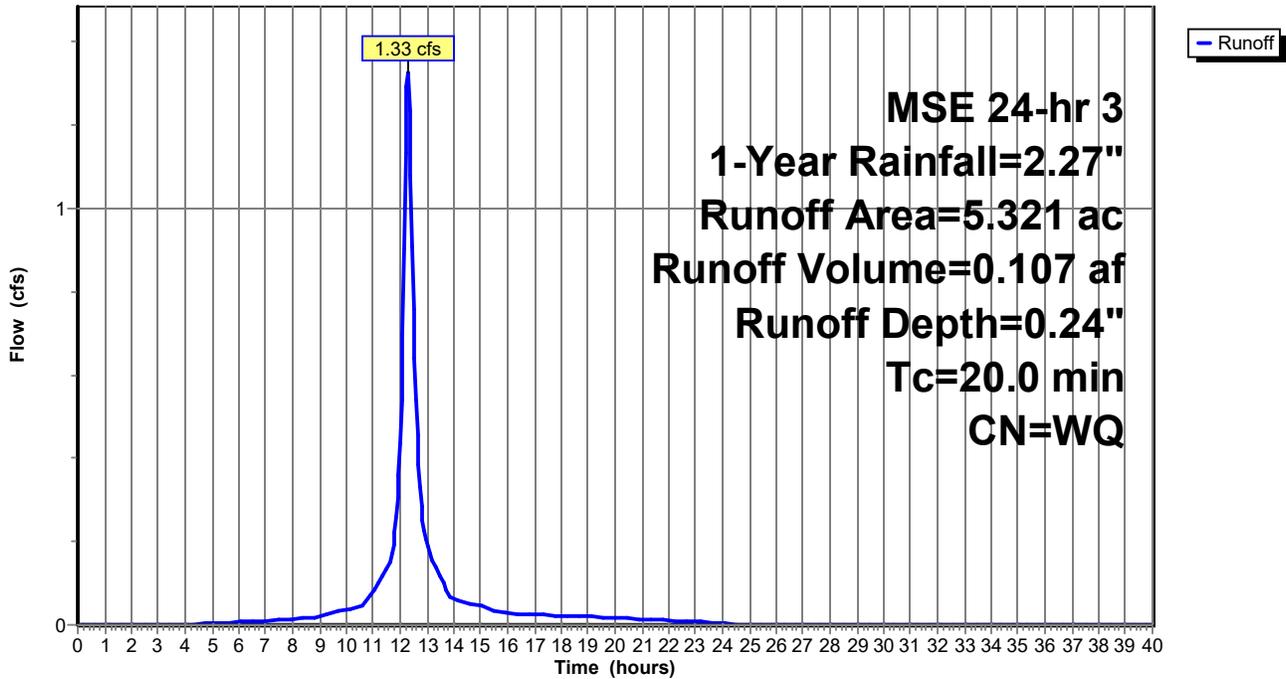
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 1-Year Rainfall=2.27"

Area (ac)	CN	Description
* 0.240	96	gravel
* 0.180	98	buildings
2.592	30	Woods, Good, HSG A
1.753	39	>75% Grass cover, Good, HSG A
* 0.232	98	roadway
0.324	39	>75% Grass cover, Good, HSG A
5.321		Weighted Average
4.909		92.26% Pervious Area
0.412		7.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.0					Direct Entry,

Subcatchment E1: existing

Hydrograph



25-0410 existing

MSE 24-hr 3 2-Year Rainfall=2.61"

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Page 5

Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E1: existing

Runoff Area=5.321 ac 7.74% Impervious Runoff Depth=0.28"
Tc=20.0 min CN=WQ Runoff=1.54 cfs 0.125 af

Total Runoff Area = 5.321 ac Runoff Volume = 0.125 af Average Runoff Depth = 0.28"
92.26% Pervious = 4.909 ac 7.74% Impervious = 0.412 ac

25-0410 existing

MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Subcatchment E1: existing

Runoff = 1.54 cfs @ 12.29 hrs, Volume= 0.125 af, Depth= 0.28"

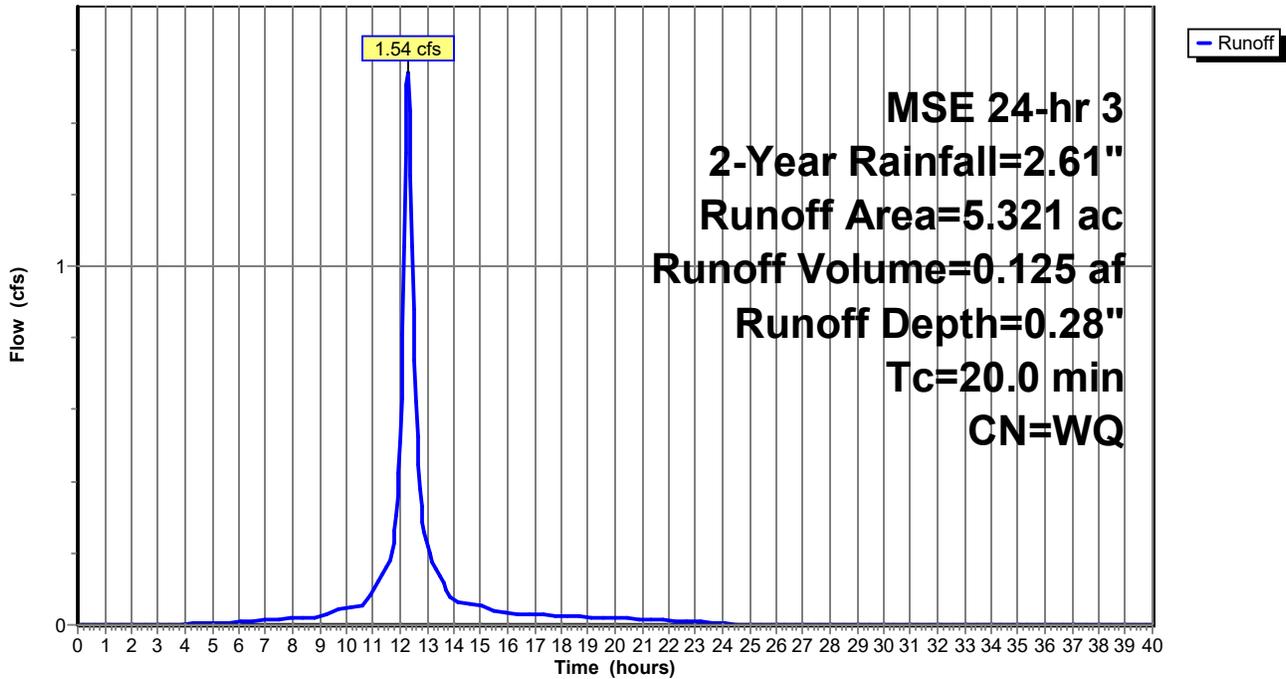
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 2-Year Rainfall=2.61"

Area (ac)	CN	Description
* 0.240	96	gravel
* 0.180	98	buildings
2.592	30	Woods, Good, HSG A
1.753	39	>75% Grass cover, Good, HSG A
* 0.232	98	roadway
0.324	39	>75% Grass cover, Good, HSG A
5.321		Weighted Average
4.909		92.26% Pervious Area
0.412		7.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.0					Direct Entry,

Subcatchment E1: existing

Hydrograph



25-0410 existing

MSE 24-hr 3 10-Year Rainfall=3.73"

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Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E1: existing

Runoff Area=5.321 ac 7.74% Impervious Runoff Depth=0.43"
Tc=20.0 min CN=WQ Runoff=2.24 cfs 0.189 af

Total Runoff Area = 5.321 ac Runoff Volume = 0.189 af Average Runoff Depth = 0.43"
92.26% Pervious = 4.909 ac 7.74% Impervious = 0.412 ac

25-0410 existing

MSE 24-hr 3 10-Year Rainfall=3.73"

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Page 8

Summary for Subcatchment E1: existing

Runoff = 2.24 cfs @ 12.29 hrs, Volume= 0.189 af, Depth= 0.43"

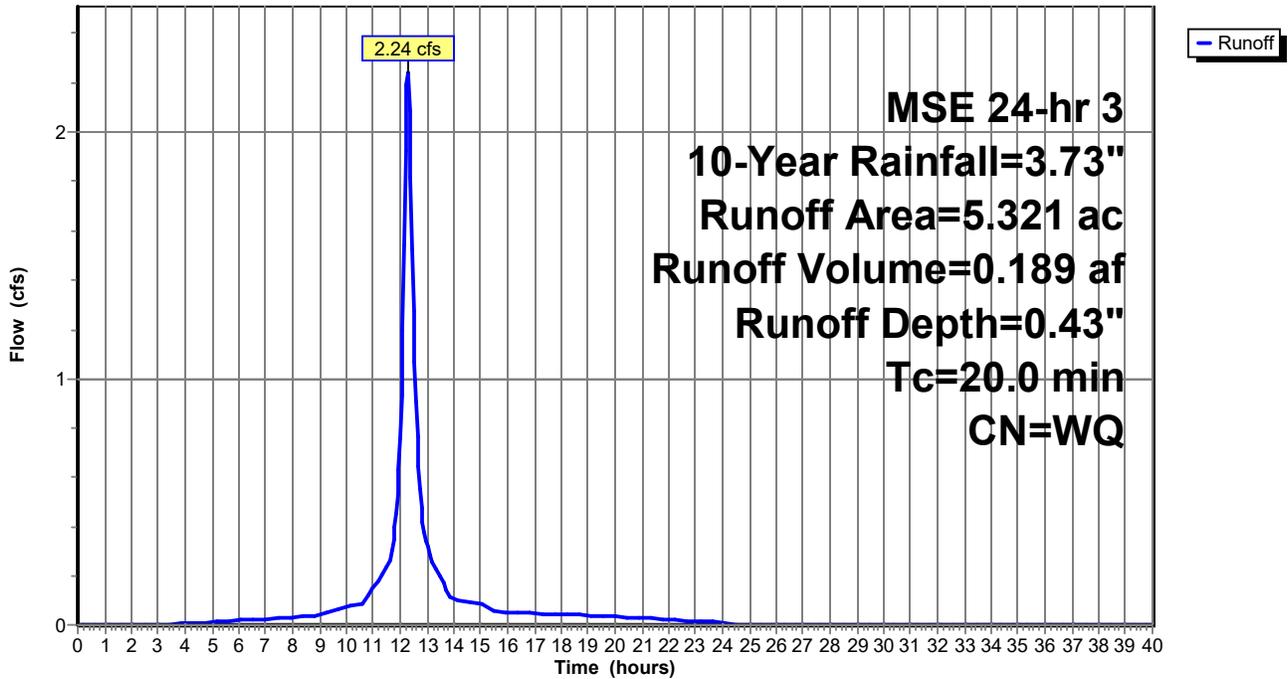
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 10-Year Rainfall=3.73"

Area (ac)	CN	Description
* 0.240	96	gravel
* 0.180	98	buildings
2.592	30	Woods, Good, HSG A
1.753	39	>75% Grass cover, Good, HSG A
* 0.232	98	roadway
0.324	39	>75% Grass cover, Good, HSG A
5.321		Weighted Average
4.909		92.26% Pervious Area
0.412		7.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.0					Direct Entry,

Subcatchment E1: existing

Hydrograph



25-0410 existing

MSE 24-hr 3 100-Year Rainfall=5.85"

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Page 9

Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment E1: existing

Runoff Area=5.321 ac 7.74% Impervious Runoff Depth=0.86"
Tc=20.0 min CN=WQ Runoff=3.77 cfs 0.382 af

Total Runoff Area = 5.321 ac Runoff Volume = 0.382 af Average Runoff Depth = 0.86"
92.26% Pervious = 4.909 ac 7.74% Impervious = 0.412 ac

25-0410 existing

MSE 24-hr 3 100-Year Rainfall=5.85"

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Page 10

Summary for Subcatchment E1: existing

Runoff = 3.77 cfs @ 12.30 hrs, Volume= 0.382 af, Depth= 0.86"

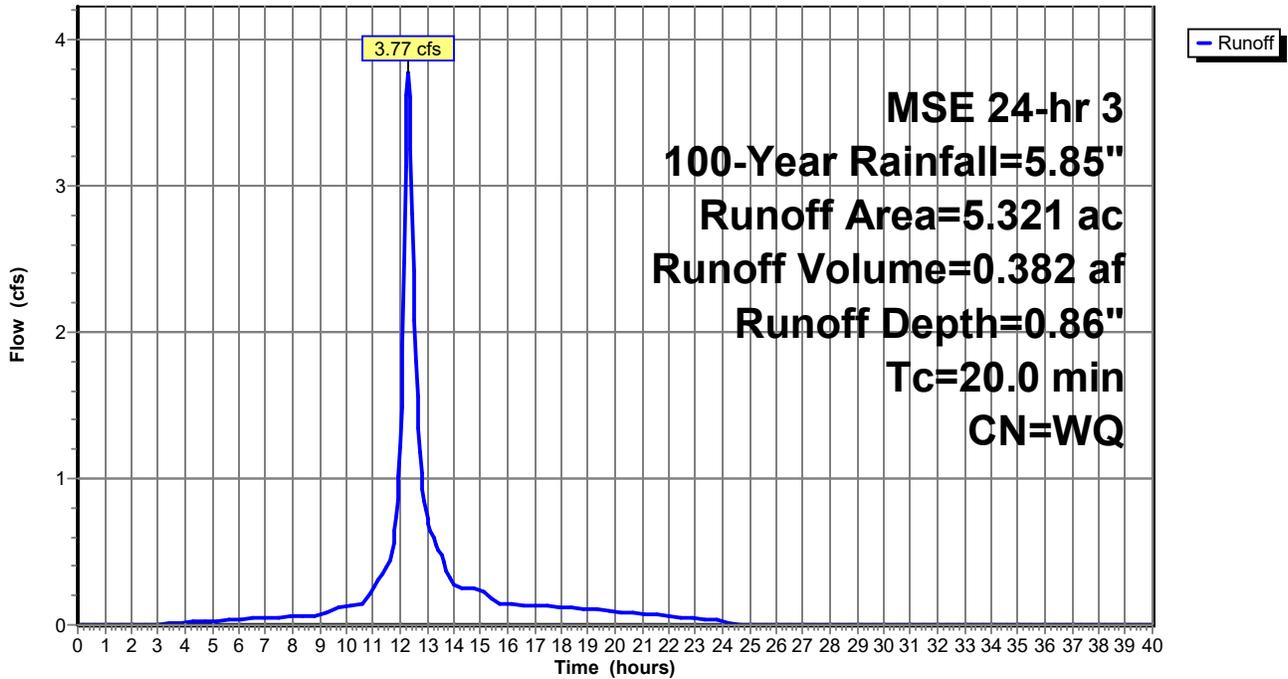
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
MSE 24-hr 3 100-Year Rainfall=5.85"

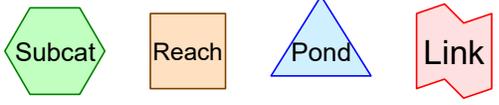
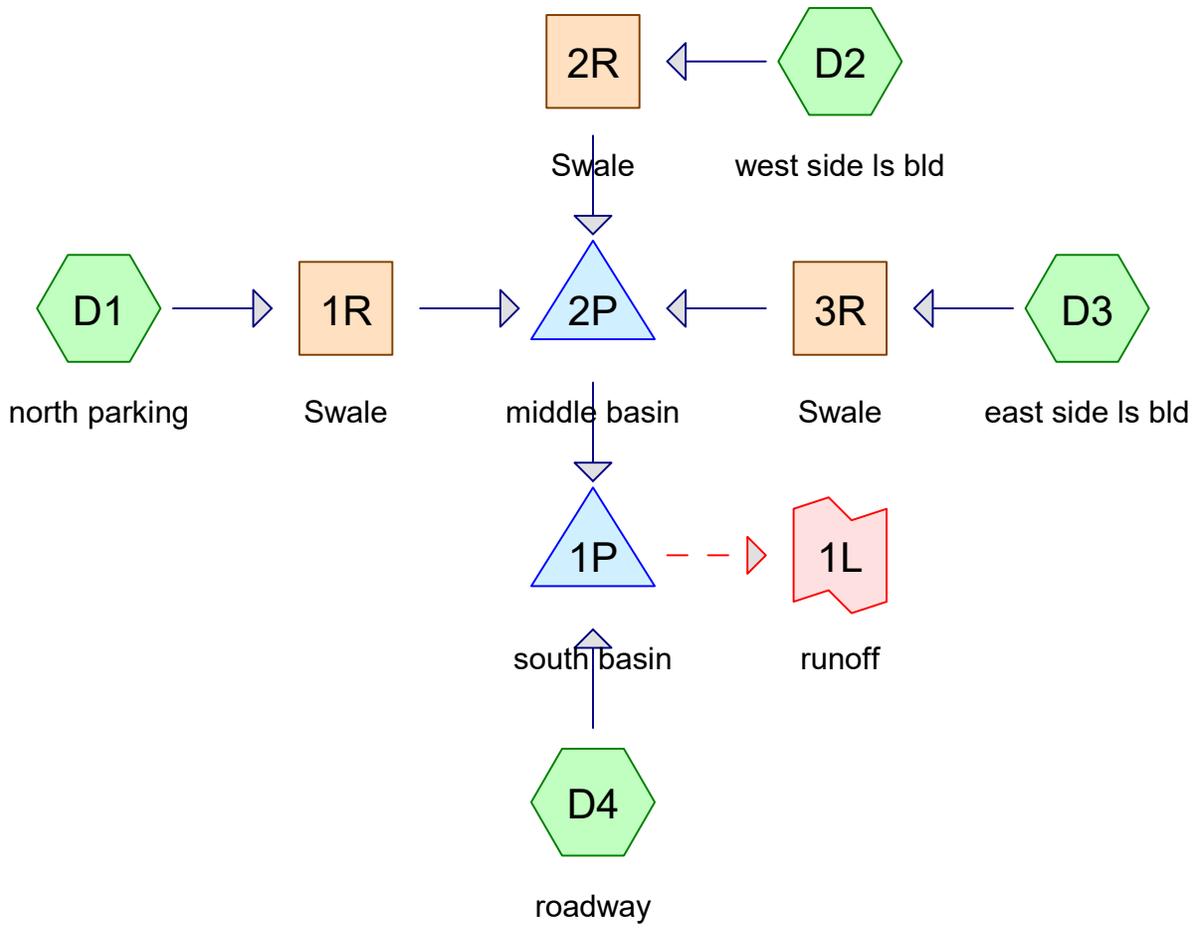
Area (ac)	CN	Description
* 0.240	96	gravel
* 0.180	98	buildings
2.592	30	Woods, Good, HSG A
1.753	39	>75% Grass cover, Good, HSG A
* 0.232	98	roadway
0.324	39	>75% Grass cover, Good, HSG A
5.321		Weighted Average
4.909		92.26% Pervious Area
0.412		7.74% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
20.0					Direct Entry,

Subcatchment E1: existing

Hydrograph





Routing Diagram for 25-0410 hydrocad 11-17-25
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Rainfall Events Listing

Event#	Event Name	Storm Type	Curve	Mode	Duration (hours)	B/B	Depth (inches)	AMC
1	1-Year	MSE 24-hr	3	Default	24.00	1	2.27	2
2	2-Year	MSE 24-hr	3	Default	24.00	1	2.61	2
3	10-Year	MSE 24-hr	3	Default	24.00	1	3.73	2
4	25-Year	MSE 24-hr	3	Default	24.00	1	4.51	2
5	100-Year	MSE 24-hr	3	Default	24.00	1	5.85	2

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Area Listing (all nodes)

Area (acres)	CN	Description (subcatchment-numbers)
1.480	39	>75% Grass cover, Good, HSG A (D1, D2, D3, D4)
0.111	98	basin (D2, D3, D4)
0.257	98	future bld (D2)
0.257	98	future building (D1)
0.532	98	future parking (D1)
0.005	98	future stoop (D1)
0.005	98	future sw (D2)
0.576	96	gravel park (D2)
0.297	98	parking lot (D2)
0.232	98	pavement (D4)
0.385	98	prop building (D2, D3)
0.572	96	prop gravel (D3)
0.035	98	prop parking (D3)
0.005	98	prop sidewalk (D2)
0.257	98	proposed building (D1)
0.310	98	proposed parking (D1)
0.005	98	stoop (D1)
5.321	81	TOTAL AREA

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Pipe Listing (all nodes)

Line#	Node Number	In-Invert (feet)	Out-Invert (feet)	Length (feet)	Slope (ft/ft)	n	Width (inches)	Diam/Height (inches)	Inside-Fill (inches)	Node Name
1	2P	1,168.00	1,167.67	66.0	0.0050	0.012	0.0	18.0	0.0	

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Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment D1: north parking	Runoff Area=1.854 ac 73.68% Impervious Runoff Depth=1.50" Tc=10.0 min CN=WQ Runoff=3.79 cfs 0.232 af
Subcatchment D2: west side ls bld	Runoff Area=1.868 ac 47.97% Impervious Runoff Depth=1.55" Tc=10.0 min CN=WQ Runoff=4.00 cfs 0.241 af
Subcatchment D3: east side ls bld	Runoff Area=0.971 ac 13.08% Impervious Runoff Depth=1.35" Tc=10.0 min CN=WQ Runoff=1.85 cfs 0.109 af
Subcatchment D4: roadway	Runoff Area=0.628 ac 48.41% Impervious Runoff Depth=0.99" Tc=10.0 min CN=WQ Runoff=0.84 cfs 0.052 af
Reach 1R: Swale	Avg. Flow Depth=0.57' Max Vel=1.66 fps Inflow=3.79 cfs 0.232 af n=0.030 L=689.0' S=0.0050 '/' Capacity=11.62 cfs Outflow=3.12 cfs 0.232 af
Reach 2R: Swale	Avg. Flow Depth=0.61' Max Vel=1.72 fps Inflow=4.00 cfs 0.241 af n=0.030 L=441.0' S=0.0050 '/' Capacity=11.61 cfs Outflow=3.60 cfs 0.241 af
Reach 3R: Swale	Avg. Flow Depth=0.40' Max Vel=1.53 fps Inflow=1.85 cfs 0.109 af n=0.030 L=514.7' S=0.0064 '/' Capacity=13.12 cfs Outflow=1.58 cfs 0.109 af
Pond 1P: south basin	Peak Elev=1,168.67' Storage=12,901 cf Inflow=6.24 cfs 0.449 af Discarded=0.55 cfs 0.449 af Secondary=0.00 cfs 0.000 af Outflow=0.55 cfs 0.449 af
Pond 2P: middle basin	Peak Elev=1,169.42' Storage=4,476 cf Inflow=8.26 cfs 0.582 af Discarded=0.33 cfs 0.186 af Primary=5.85 cfs 0.397 af Outflow=6.18 cfs 0.582 af
Link 1L: runoff	Inflow=0.00 cfs 0.000 af Primary=0.00 cfs 0.000 af

Total Runoff Area = 5.321 ac Runoff Volume = 0.634 af Average Runoff Depth = 1.43"
49.39% Pervious = 2.628 ac 50.61% Impervious = 2.693 ac

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Summary for Subcatchment D1: north parking

Runoff = 3.79 cfs @ 12.17 hrs, Volume= 0.232 af, Depth= 1.50"
 Routed to Reach 1R : Swale

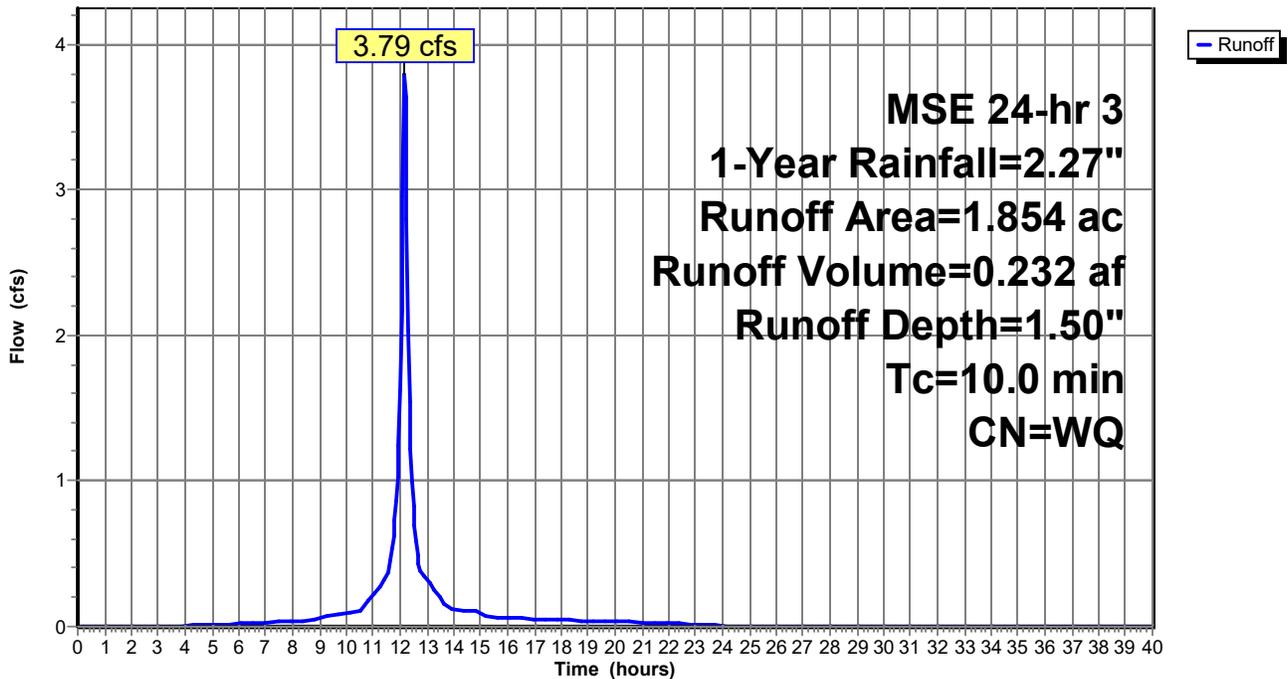
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-Year Rainfall=2.27"

Area (ac)	CN	Description
* 0.532	98	future parking
* 0.257	98	future building
0.488	39	>75% Grass cover, Good, HSG A
* 0.310	98	proposed parking
* 0.257	98	proposed building
* 0.005	98	stoop
* 0.005	98	future stoop
1.854		Weighted Average
0.488		26.32% Pervious Area
1.366		73.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, minimum

Subcatchment D1: north parking

Hydrograph



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Summary for Subcatchment D2: west side ls bld

Runoff = 4.00 cfs @ 12.17 hrs, Volume= 0.241 af, Depth= 1.55"
 Routed to Reach 2R : Swale

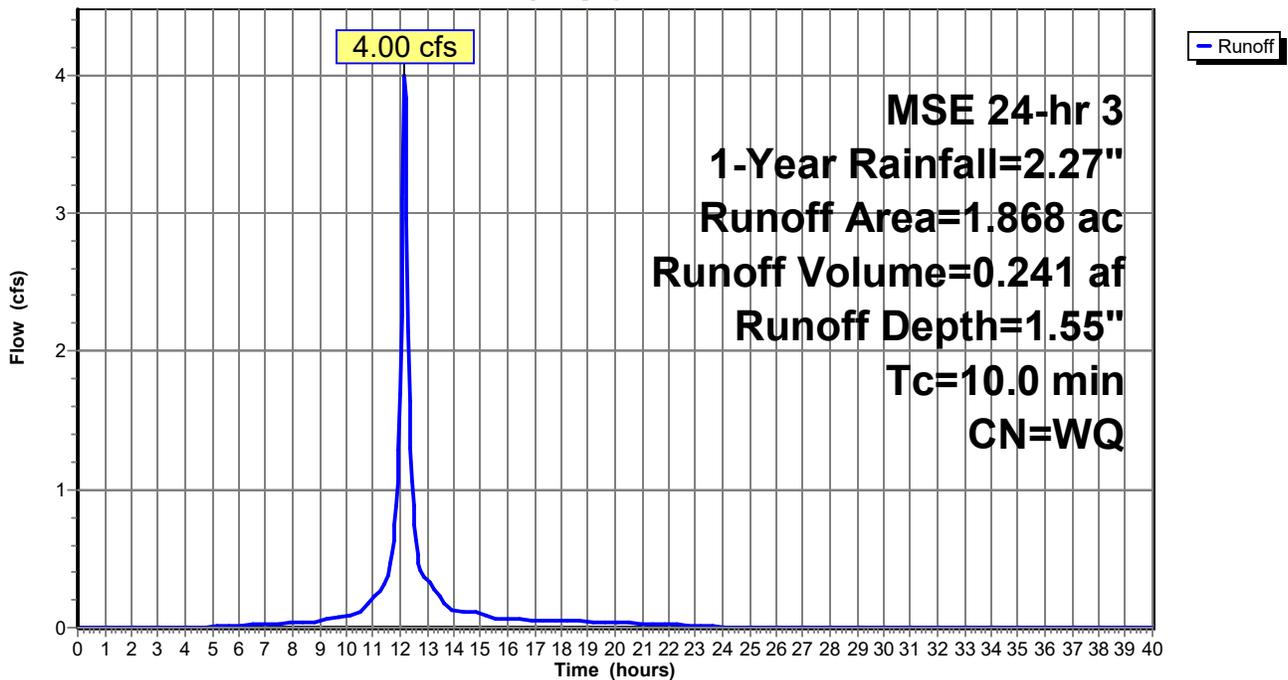
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-Year Rainfall=2.27"

Area (ac)	CN	Description
* 0.297	98	parking lot
* 0.576	96	gravel park
* 0.321	98	prop building
* 0.005	98	future sw
* 0.005	98	prop sidewalk
* 0.257	98	future bld
0.396	39	>75% Grass cover, Good, HSG A
* 0.011	98	basin
1.868		Weighted Average
0.972		52.03% Pervious Area
0.896		47.97% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D2: west side ls bld

Hydrograph



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Summary for Subcatchment D3: east side ls bld

Runoff = 1.85 cfs @ 12.17 hrs, Volume= 0.109 af, Depth= 1.35"
 Routed to Reach 3R : Swale

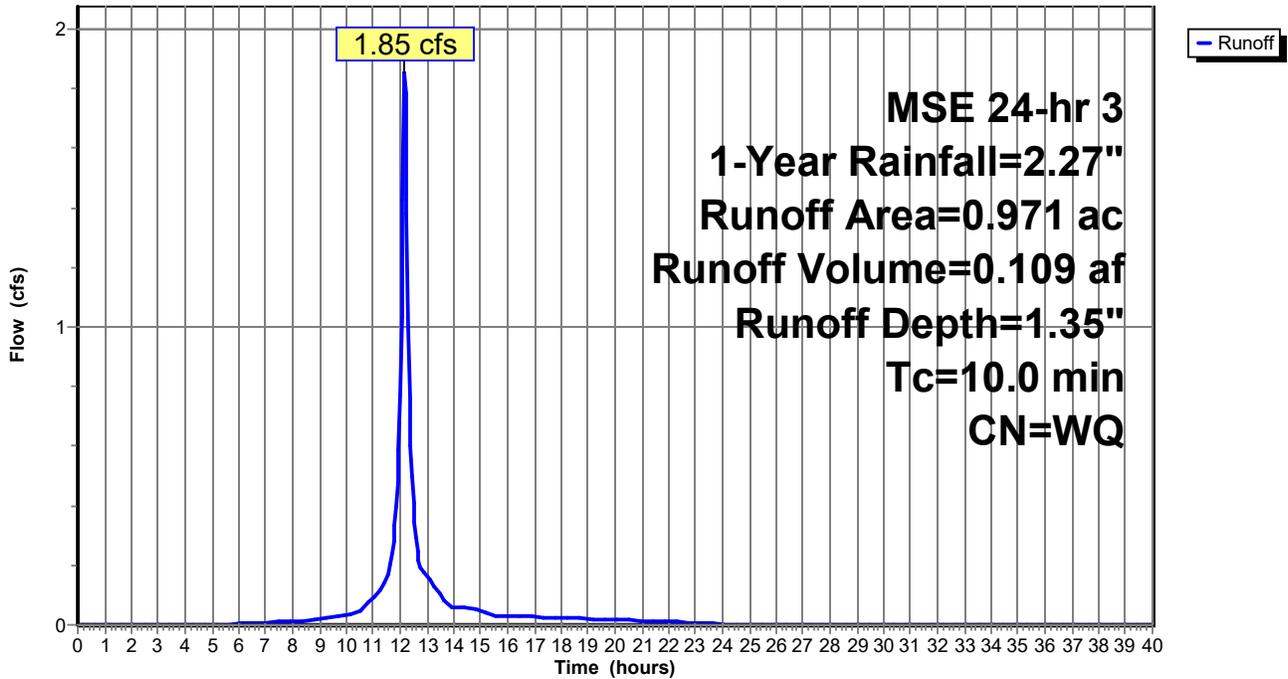
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-Year Rainfall=2.27"

Area (ac)	CN	Description
* 0.035	98	prop parking
* 0.572	96	prop gravel
* 0.064	98	prop building
* 0.028	98	basin
0.272	39	>75% Grass cover, Good, HSG A
0.971		Weighted Average
0.844		86.92% Pervious Area
0.127		13.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D3: east side ls bld

Hydrograph



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Summary for Subcatchment D4: roadway

Runoff = 0.84 cfs @ 12.17 hrs, Volume= 0.052 af, Depth= 0.99"
 Routed to Pond 1P : south basin

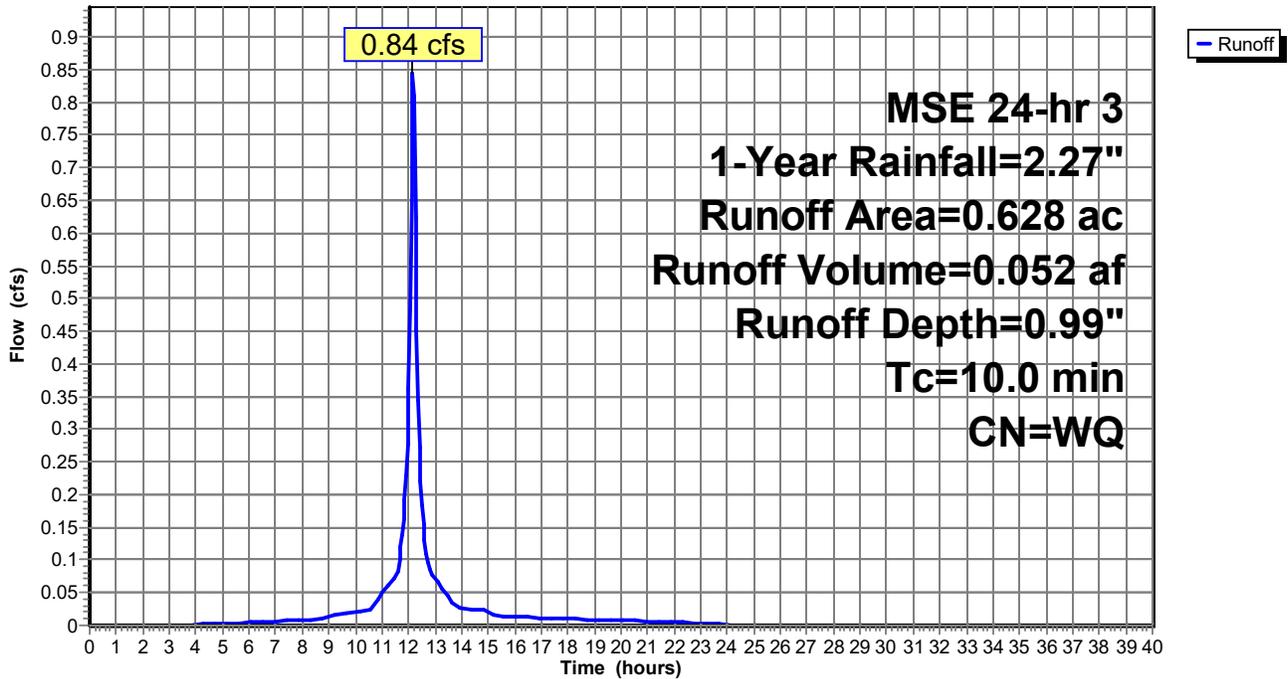
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 1-Year Rainfall=2.27"

Area (ac)	CN	Description
* 0.232	98	pavement
0.324	39	>75% Grass cover, Good, HSG A
* 0.072	98	basin
0.628		Weighted Average
0.324		51.59% Pervious Area
0.304		48.41% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D4: roadway

Hydrograph



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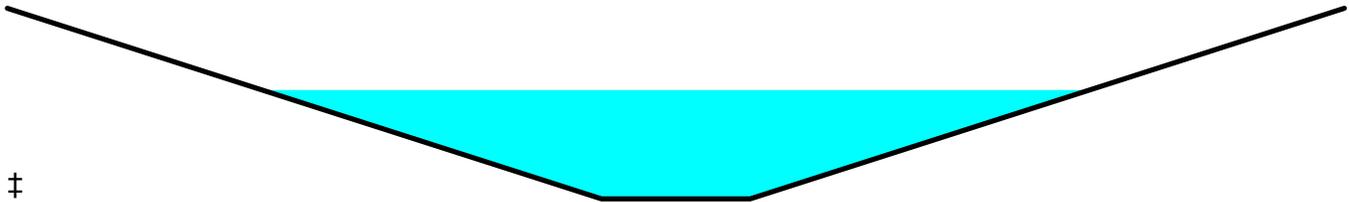
Summary for Reach 1R: Swale

Inflow Area = 1.854 ac, 73.68% Impervious, Inflow Depth = 1.50" for 1-Year event
 Inflow = 3.79 cfs @ 12.17 hrs, Volume= 0.232 af
 Outflow = 3.12 cfs @ 12.24 hrs, Volume= 0.232 af, Atten= 18%, Lag= 4.0 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.66 fps, Min. Travel Time= 6.9 min
 Avg. Velocity = 0.45 fps, Avg. Travel Time= 25.3 min

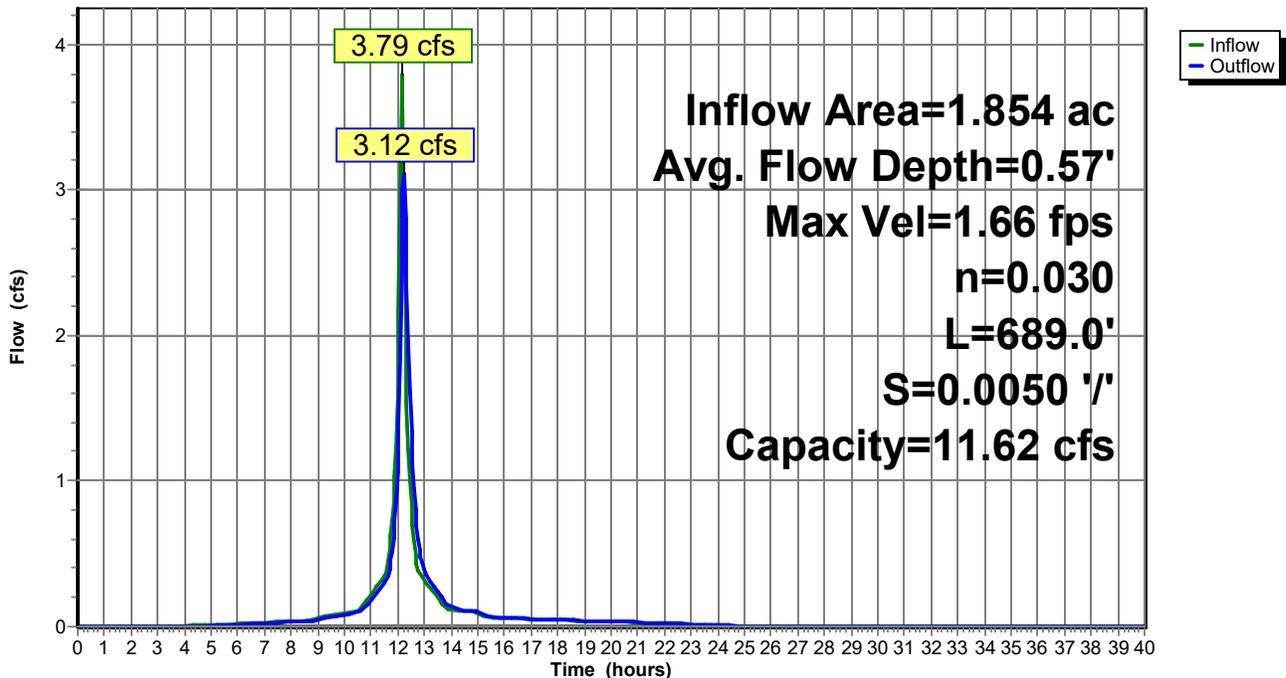
Peak Storage= 1,289 cf @ 12.24 hrs
 Average Depth at Peak Storage= 0.57' , Surface Width= 5.56'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.62 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
 Length= 689.0' Slope= 0.0050 ' / '
 Inlet Invert= 1,171.94', Outlet Invert= 1,168.50'



Reach 1R: Swale

Hydrograph



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MSE 24-hr 3 1-Year Rainfall=2.27"

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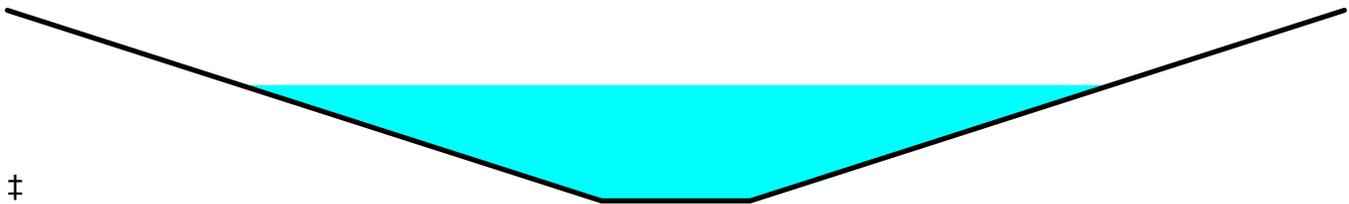
Summary for Reach 2R: Swale

Inflow Area = 1.868 ac, 47.97% Impervious, Inflow Depth = 1.55" for 1-Year event
 Inflow = 4.00 cfs @ 12.17 hrs, Volume= 0.241 af
 Outflow = 3.60 cfs @ 12.22 hrs, Volume= 0.241 af, Atten= 10%, Lag= 2.8 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.72 fps, Min. Travel Time= 4.3 min
 Avg. Velocity = 0.48 fps, Avg. Travel Time= 15.3 min

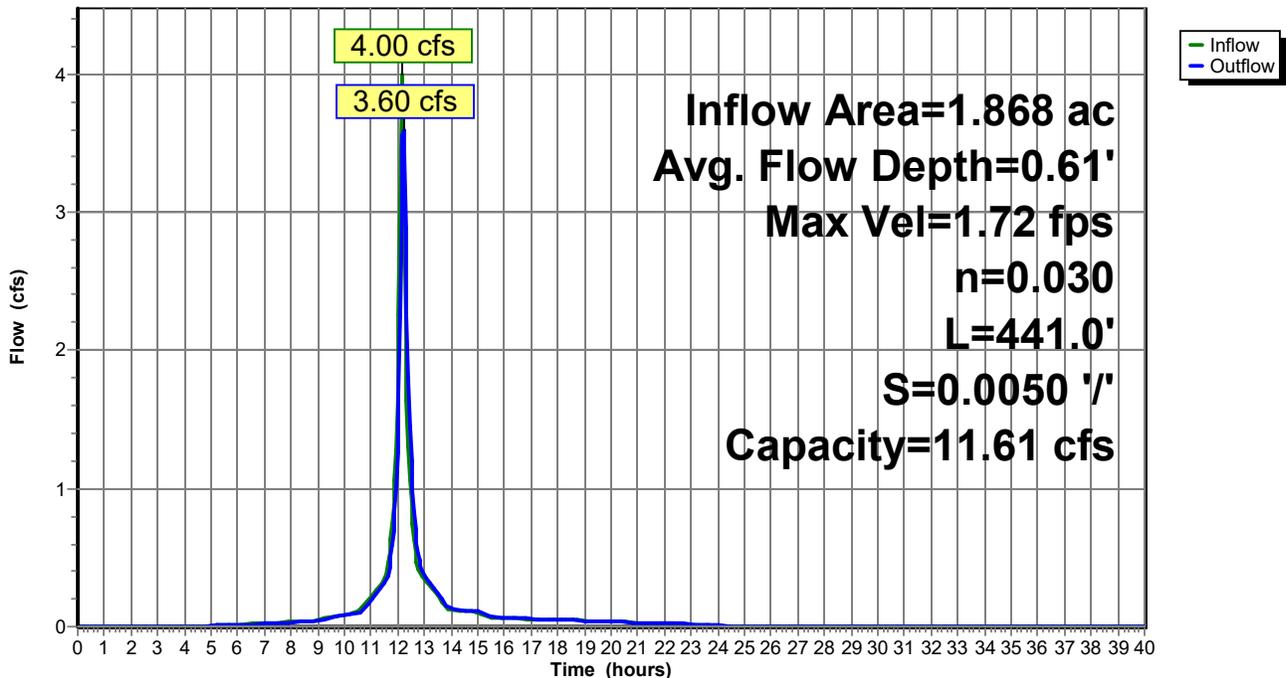
Peak Storage= 919 cf @ 12.22 hrs
 Average Depth at Peak Storage= 0.61' , Surface Width= 5.86'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.61 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
 Length= 441.0' Slope= 0.0050 ' / '
 Inlet Invert= 1,171.78', Outlet Invert= 1,169.58'



Reach 2R: Swale

Hydrograph



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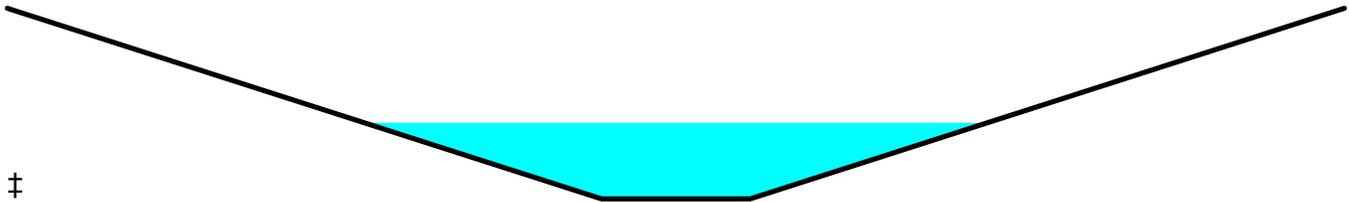
Summary for Reach 3R: Swale

Inflow Area = 0.971 ac, 13.08% Impervious, Inflow Depth = 1.35" for 1-Year event
 Inflow = 1.85 cfs @ 12.17 hrs, Volume= 0.109 af
 Outflow = 1.58 cfs @ 12.23 hrs, Volume= 0.109 af, Atten= 14%, Lag= 3.5 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.53 fps, Min. Travel Time= 5.6 min
 Avg. Velocity = 0.41 fps, Avg. Travel Time= 20.8 min

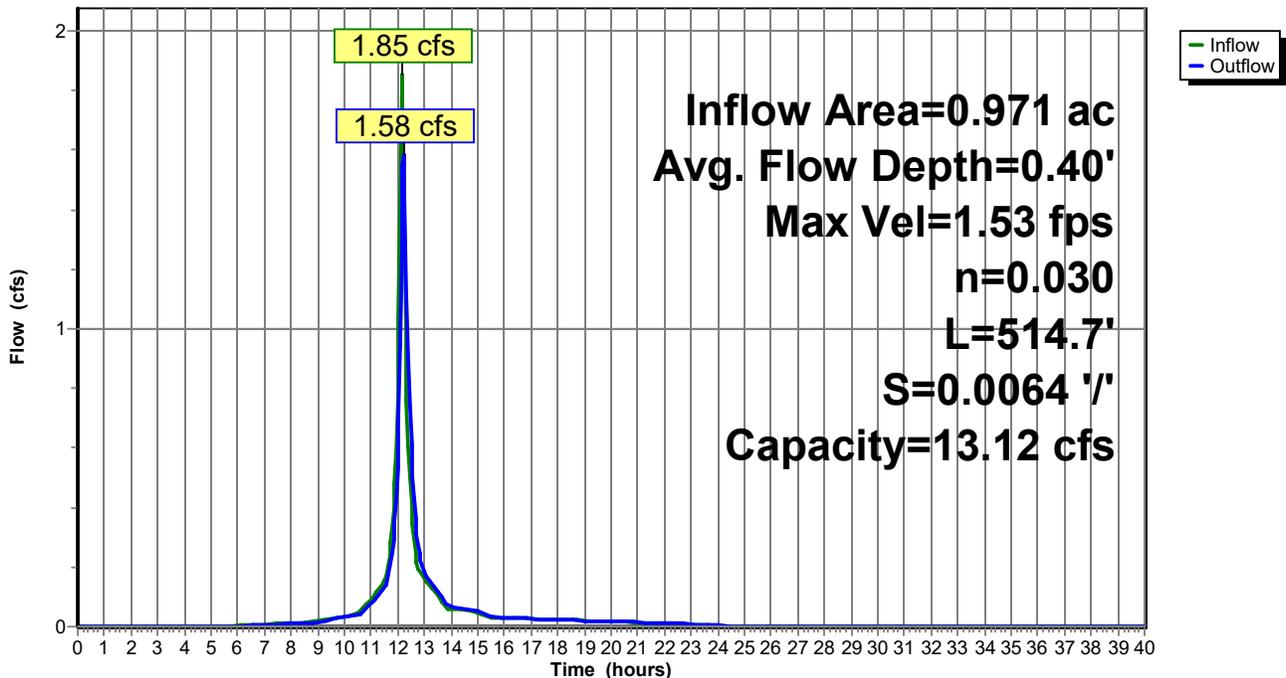
Peak Storage= 532 cf @ 12.23 hrs
 Average Depth at Peak Storage= 0.40' , Surface Width= 4.19'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 13.12 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 514.7' Slope= 0.0064 '/'
 Inlet Invert= 1,171.90', Outlet Invert= 1,168.62'



Reach 3R: Swale

Hydrograph



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Summary for Pond 1P: south basin

Inflow Area = 5.321 ac, 50.61% Impervious, Inflow Depth = 1.01" for 1-Year event
 Inflow = 6.24 cfs @ 12.32 hrs, Volume= 0.449 af
 Outflow = 0.55 cfs @ 13.36 hrs, Volume= 0.449 af, Atten= 91%, Lag= 62.4 min
 Discarded = 0.55 cfs @ 13.36 hrs, Volume= 0.449 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
 Routed to Link 1L : runoff

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,168.67' @ 13.36 hrs Surf.Area= 6,655 sf Storage= 12,901 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 249.0 min (1,012.1 - 763.1)

Volume	Invert	Avail.Storage	Storage Description
#1	1,166.00'	44,780 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,166.00	3,150	0	0
1,167.00	4,350	3,750	3,750
1,168.00	5,700	5,025	8,775
1,169.00	7,130	6,415	15,190
1,170.00	11,025	9,078	24,268
1,171.00	30,000	20,513	44,780

Device	Routing	Invert	Outlet Devices
#1	Secondary	1,170.18'	20.0' long x 5.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88
#2	Discarded	1,166.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.55 cfs @ 13.36 hrs HW=1,168.67' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 0.55 cfs)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=1,166.00' TW=0.00' (Dynamic Tailwater)
 ↑1=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

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MSE 24-hr 3 1-Year Rainfall=2.27"

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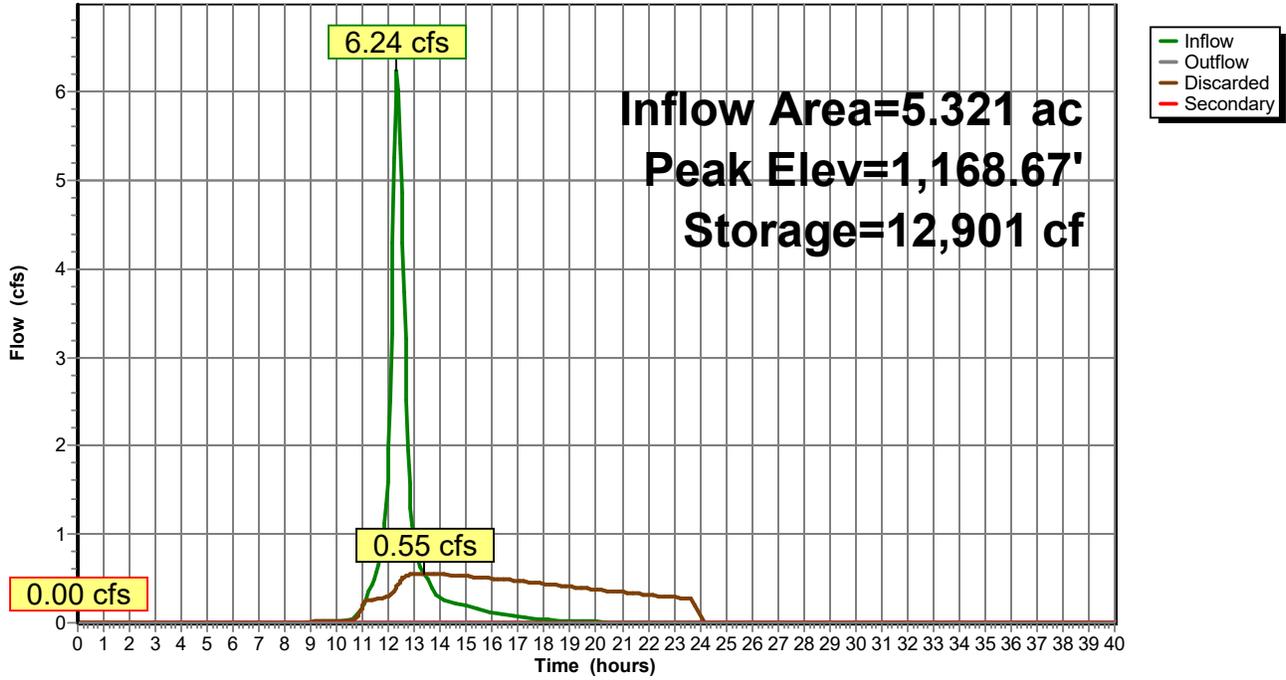
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Pond 1P: south basin

Hydrograph



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Summary for Pond 2P: middle basin

[62] Hint: Exceeded Reach 1R OUTLET depth by 0.42' @ 12.40 hrs

[62] Hint: Exceeded Reach 3R OUTLET depth by 0.46' @ 12.35 hrs

Inflow Area = 4.693 ac, 50.91% Impervious, Inflow Depth = 1.49" for 1-Year event
 Inflow = 8.26 cfs @ 12.23 hrs, Volume= 0.582 af
 Outflow = 6.18 cfs @ 12.34 hrs, Volume= 0.582 af, Atten= 25%, Lag= 6.7 min
 Discarded = 0.33 cfs @ 12.34 hrs, Volume= 0.186 af
 Primary = 5.85 cfs @ 12.34 hrs, Volume= 0.397 af
 Routed to Pond 1P : south basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,169.42' @ 12.34 hrs Surf.Area= 4,013 sf Storage= 4,476 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 42.1 min (818.7 - 776.5)

Volume	Invert	Avail.Storage	Storage Description
#1	1,167.00'	27,600 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,167.00	480	0	0
1,168.00	1,120	800	800
1,169.00	3,210	2,165	2,965
1,170.00	5,130	4,170	7,135
1,171.00	7,400	6,265	13,400
1,172.00	21,000	14,200	27,600

Device	Routing	Invert	Outlet Devices
#1	Primary	1,168.00'	18.0" Round Culvert L= 66.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 1,168.00' / 1,167.67' S= 0.0050 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Discarded	1,167.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.33 cfs @ 12.34 hrs HW=1,169.41' (Free Discharge)
 ↑**2=Exfiltration** (Exfiltration Controls 0.33 cfs)

Primary OutFlow Max=5.82 cfs @ 12.34 hrs HW=1,169.41' TW=1,167.56' (Dynamic Tailwater)
 ↑**1=Culvert** (Barrel Controls 5.82 cfs @ 4.36 fps)

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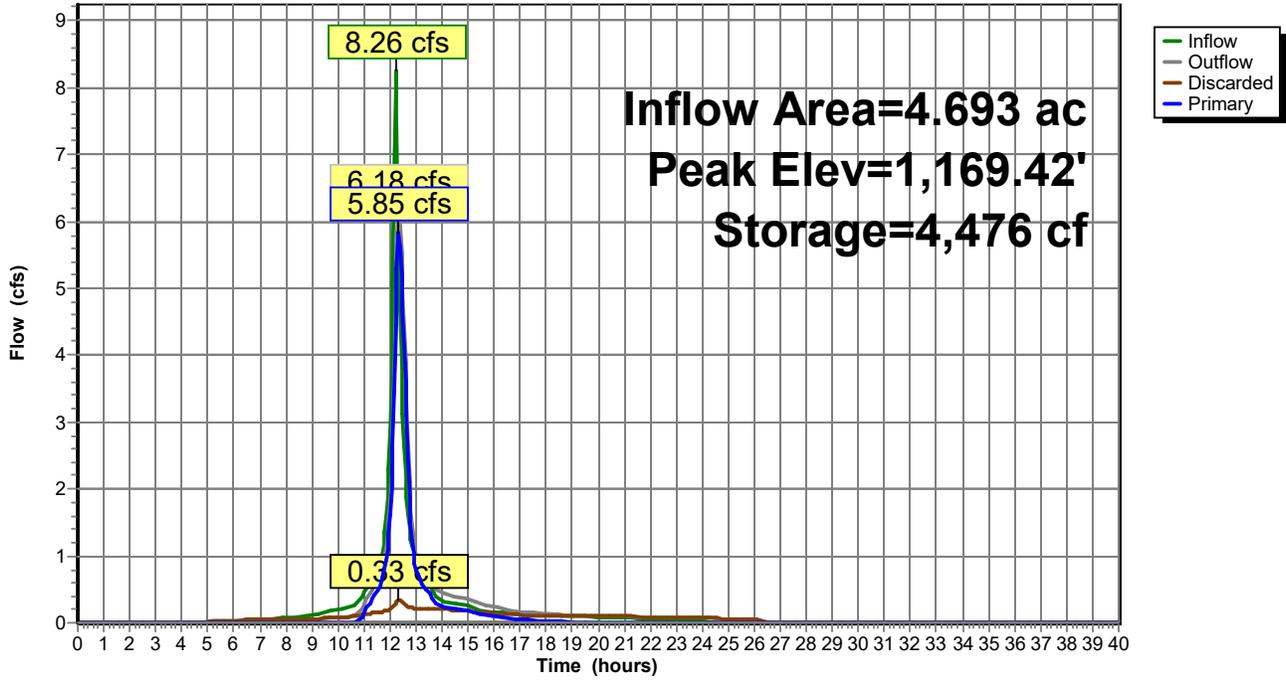
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Pond 2P: middle basin

Hydrograph



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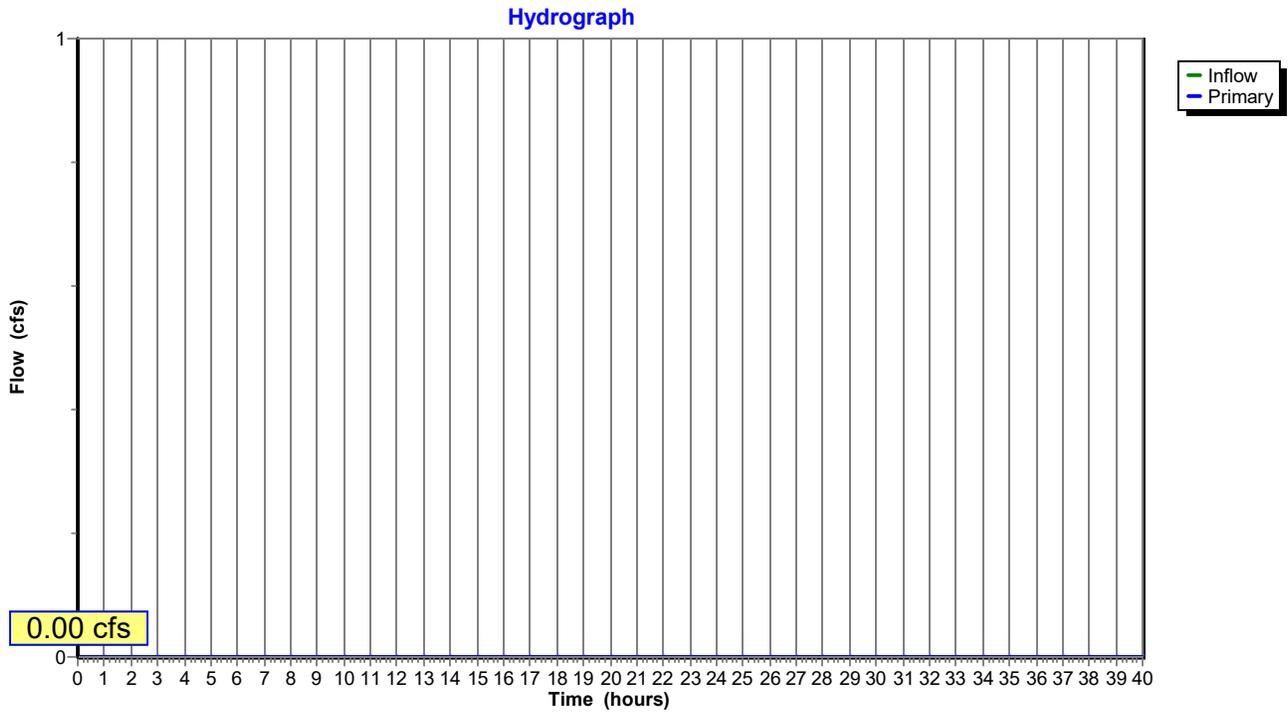
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Summary for Link 1L: runoff

Inflow = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Link 1L: runoff



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MSE 24-hr 3 2-Year Rainfall=2.61"

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Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment D1: north parking	Runoff Area=1.854 ac 73.68% Impervious Runoff Depth=1.75" Tc=10.0 min CN=WQ Runoff=4.39 cfs 0.271 af
Subcatchment D2: west side ls bld	Runoff Area=1.868 ac 47.97% Impervious Runoff Depth=1.81" Tc=10.0 min CN=WQ Runoff=4.64 cfs 0.282 af
Subcatchment D3: east side ls bld	Runoff Area=0.971 ac 13.08% Impervious Runoff Depth=1.59" Tc=10.0 min CN=WQ Runoff=2.16 cfs 0.129 af
Subcatchment D4: roadway	Runoff Area=0.628 ac 48.41% Impervious Runoff Depth=1.15" Tc=10.0 min CN=WQ Runoff=0.98 cfs 0.060 af
Reach 1R: Swale	Avg. Flow Depth=0.61' Max Vel=1.73 fps Inflow=4.39 cfs 0.271 af n=0.030 L=689.0' S=0.0050 '/' Capacity=11.62 cfs Outflow=3.63 cfs 0.271 af
Reach 2R: Swale	Avg. Flow Depth=0.65' Max Vel=1.79 fps Inflow=4.64 cfs 0.282 af n=0.030 L=441.0' S=0.0050 '/' Capacity=11.61 cfs Outflow=4.20 cfs 0.282 af
Reach 3R: Swale	Avg. Flow Depth=0.43' Max Vel=1.59 fps Inflow=2.16 cfs 0.129 af n=0.030 L=514.7' S=0.0064 '/' Capacity=13.12 cfs Outflow=1.86 cfs 0.129 af
Pond 1P: south basin	Peak Elev=1,168.97' Storage=14,963 cf Inflow=7.18 cfs 0.525 af Discarded=0.59 cfs 0.525 af Secondary=0.00 cfs 0.000 af Outflow=0.59 cfs 0.525 af
Pond 2P: middle basin	Peak Elev=1,169.57' Storage=5,124 cf Inflow=9.69 cfs 0.681 af Discarded=0.36 cfs 0.217 af Primary=6.73 cfs 0.465 af Outflow=7.09 cfs 0.681 af
Link 1L: runoff	Inflow=0.00 cfs 0.000 af Primary=0.00 cfs 0.000 af

Total Runoff Area = 5.321 ac Runoff Volume = 0.742 af Average Runoff Depth = 1.67"
49.39% Pervious = 2.628 ac 50.61% Impervious = 2.693 ac

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MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Subcatchment D1: north parking

Runoff = 4.39 cfs @ 12.17 hrs, Volume= 0.271 af, Depth= 1.75"
 Routed to Reach 1R : Swale

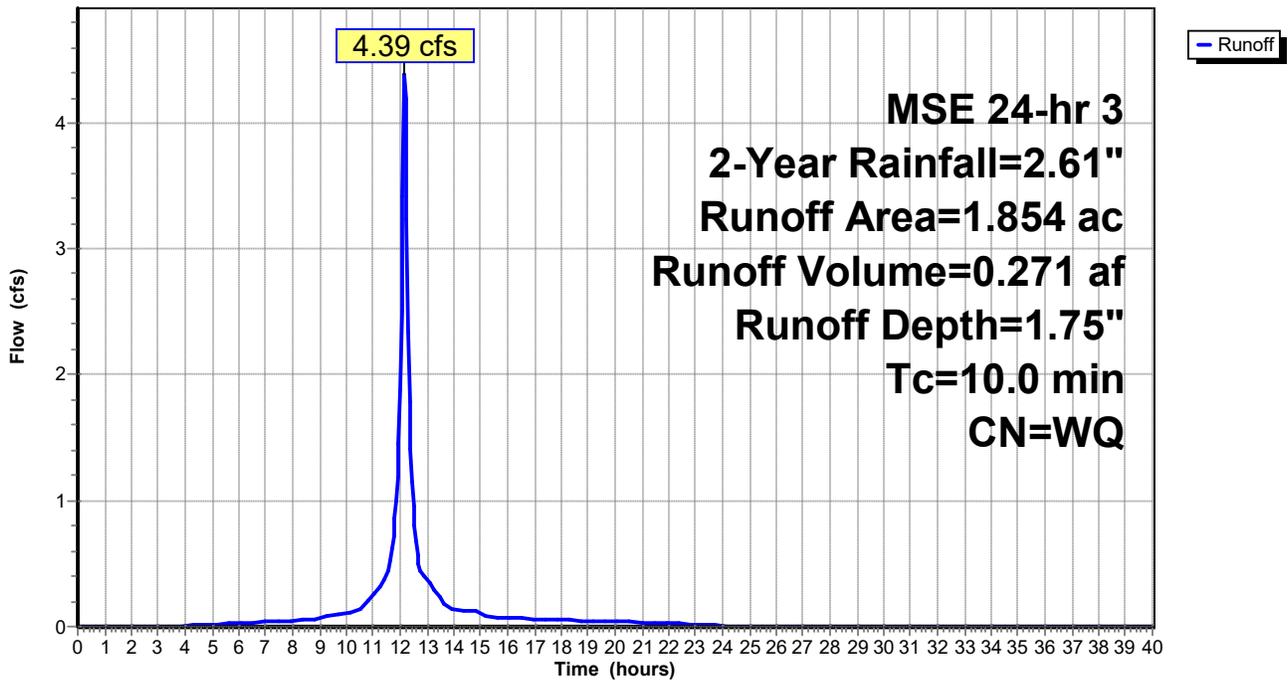
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-Year Rainfall=2.61"

Area (ac)	CN	Description
* 0.532	98	future parking
* 0.257	98	future building
0.488	39	>75% Grass cover, Good, HSG A
* 0.310	98	proposed parking
* 0.257	98	proposed building
* 0.005	98	stoop
* 0.005	98	future stoop
1.854		Weighted Average
0.488		26.32% Pervious Area
1.366		73.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, minimum

Subcatchment D1: north parking

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Subcatchment D2: west side ls bld

Runoff = 4.64 cfs @ 12.17 hrs, Volume= 0.282 af, Depth= 1.81"
 Routed to Reach 2R : Swale

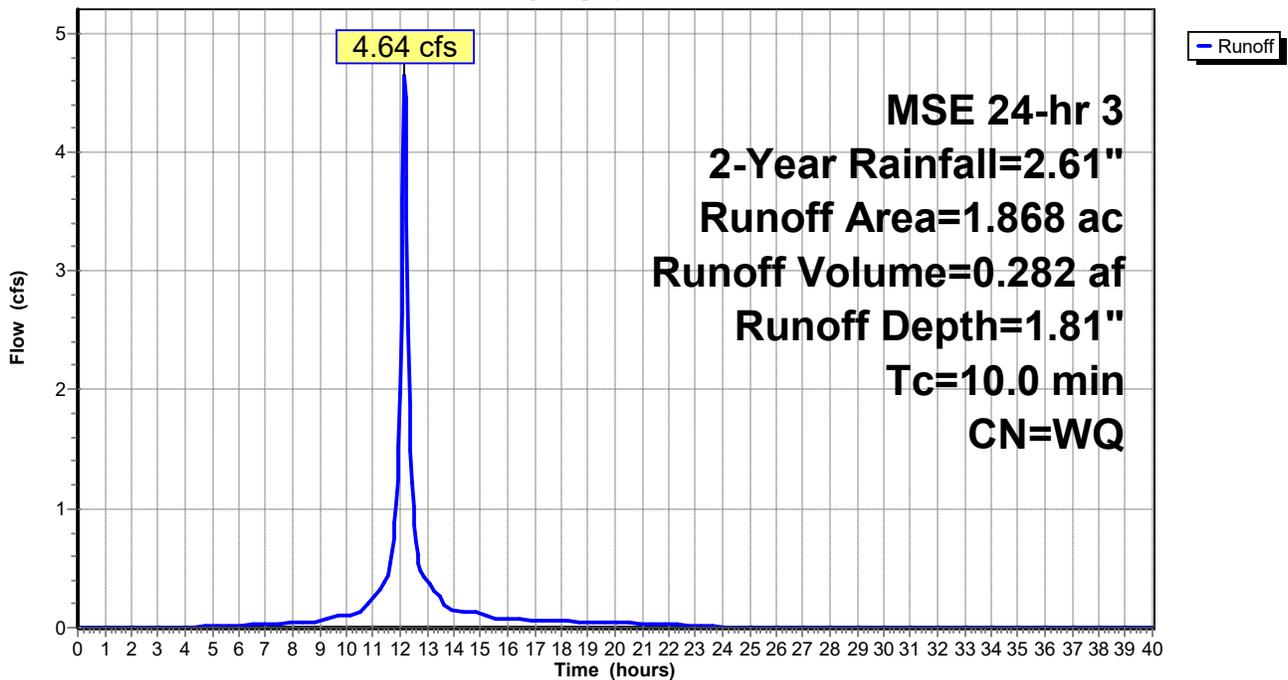
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-Year Rainfall=2.61"

Area (ac)	CN	Description
* 0.297	98	parking lot
* 0.576	96	gravel park
* 0.321	98	prop building
* 0.005	98	future sw
* 0.005	98	prop sidewalk
* 0.257	98	future bld
0.396	39	>75% Grass cover, Good, HSG A
* 0.011	98	basin
1.868		Weighted Average
0.972		52.03% Pervious Area
0.896		47.97% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D2: west side ls bld

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Subcatchment D3: east side ls bld

Runoff = 2.16 cfs @ 12.17 hrs, Volume= 0.129 af, Depth= 1.59"
 Routed to Reach 3R : Swale

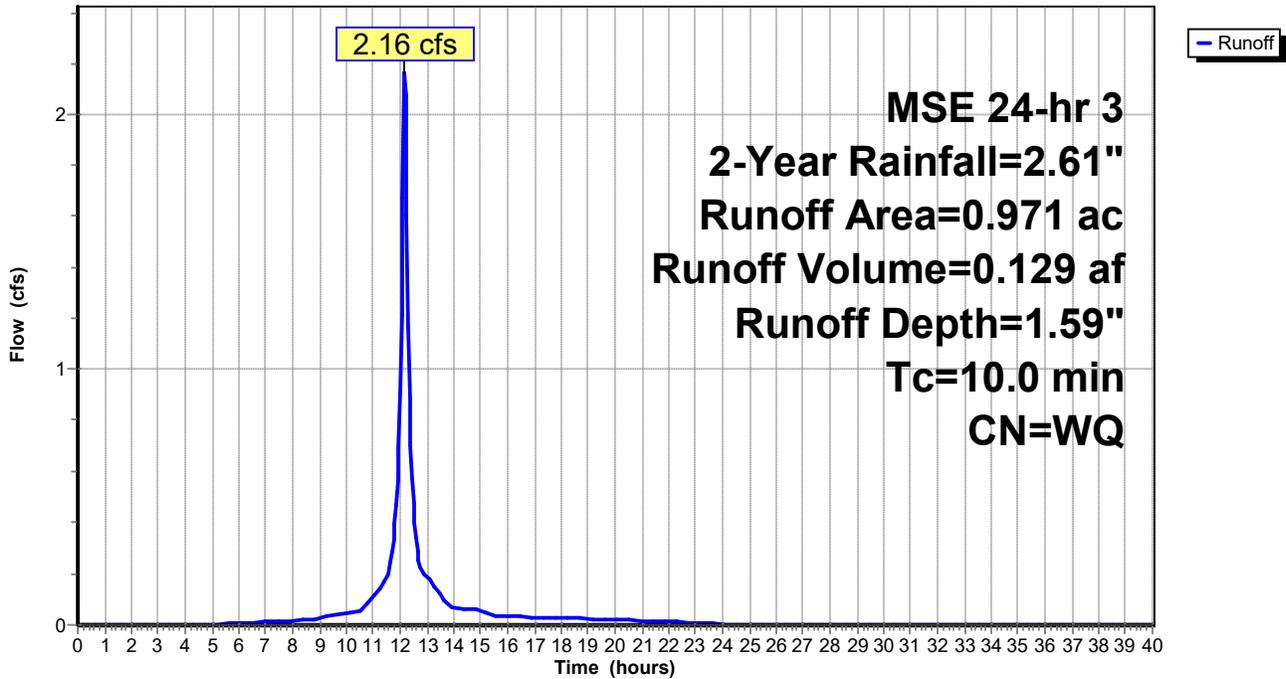
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-Year Rainfall=2.61"

Area (ac)	CN	Description
* 0.035	98	prop parking
* 0.572	96	prop gravel
* 0.064	98	prop building
* 0.028	98	basin
0.272	39	>75% Grass cover, Good, HSG A
0.971		Weighted Average
0.844		86.92% Pervious Area
0.127		13.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D3: east side ls bld

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Subcatchment D4: roadway

Runoff = 0.98 cfs @ 12.17 hrs, Volume= 0.060 af, Depth= 1.15"
 Routed to Pond 1P : south basin

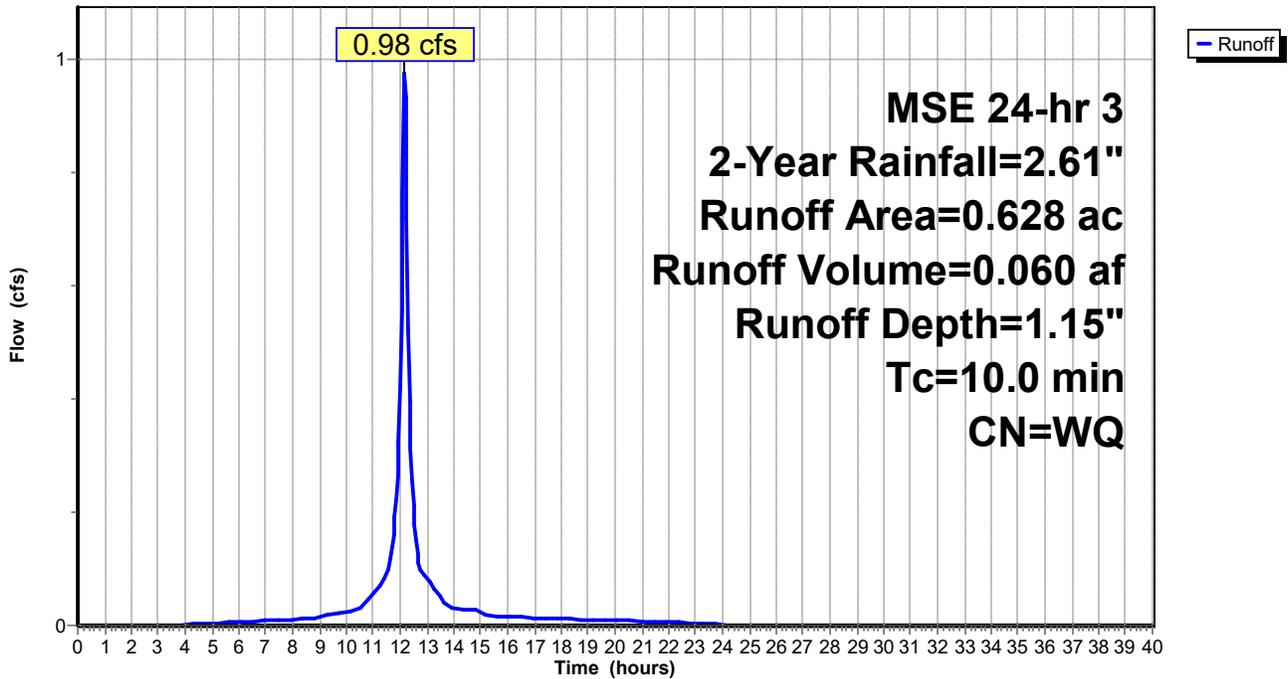
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 2-Year Rainfall=2.61"

Area (ac)	CN	Description
* 0.232	98	pavement
0.324	39	>75% Grass cover, Good, HSG A
* 0.072	98	basin
0.628		Weighted Average
0.324		51.59% Pervious Area
0.304		48.41% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D4: roadway

Hydrograph



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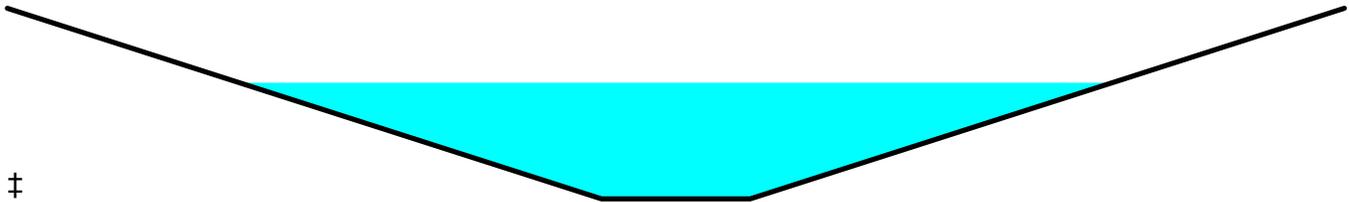
Summary for Reach 1R: Swale

Inflow Area = 1.854 ac, 73.68% Impervious, Inflow Depth = 1.75" for 2-Year event
 Inflow = 4.39 cfs @ 12.17 hrs, Volume= 0.271 af
 Outflow = 3.63 cfs @ 12.23 hrs, Volume= 0.271 af, Atten= 17%, Lag= 3.9 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.73 fps, Min. Travel Time= 6.6 min
 Avg. Velocity = 0.47 fps, Avg. Travel Time= 24.2 min

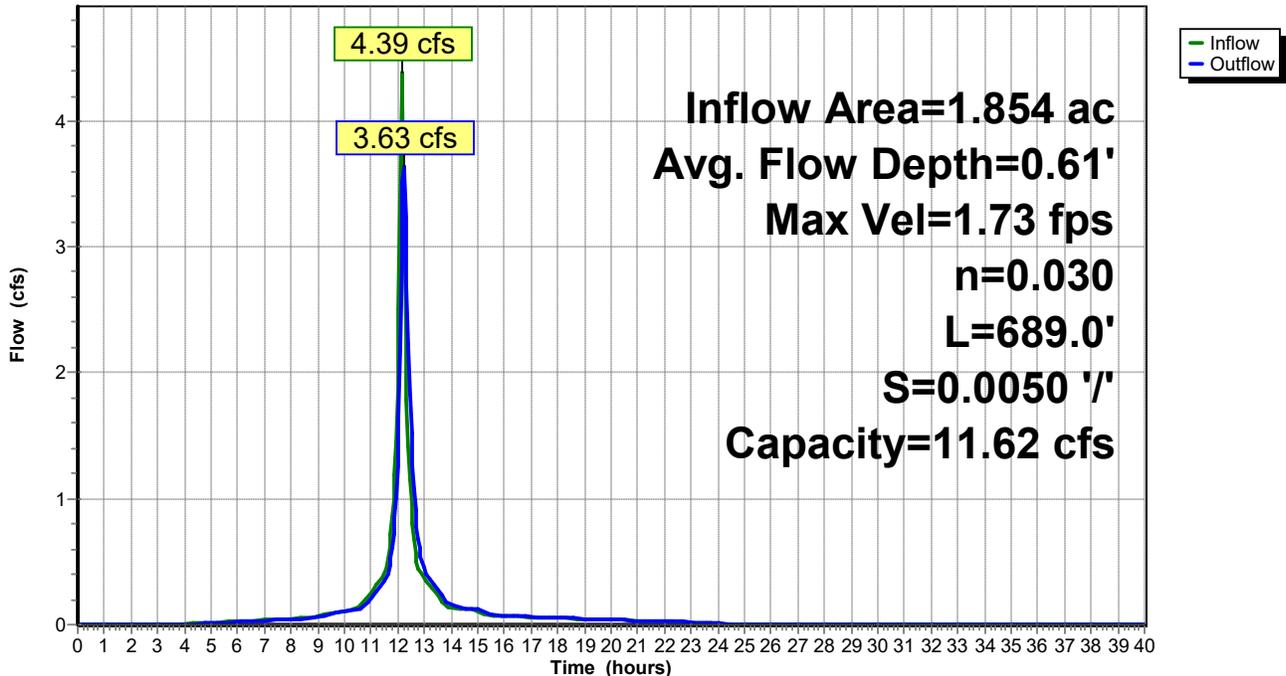
Peak Storage= 1,446 cf @ 12.23 hrs
 Average Depth at Peak Storage= 0.61' , Surface Width= 5.88'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.62 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
 Length= 689.0' Slope= 0.0050 ' / '
 Inlet Invert= 1,171.94', Outlet Invert= 1,168.50'



Reach 1R: Swale

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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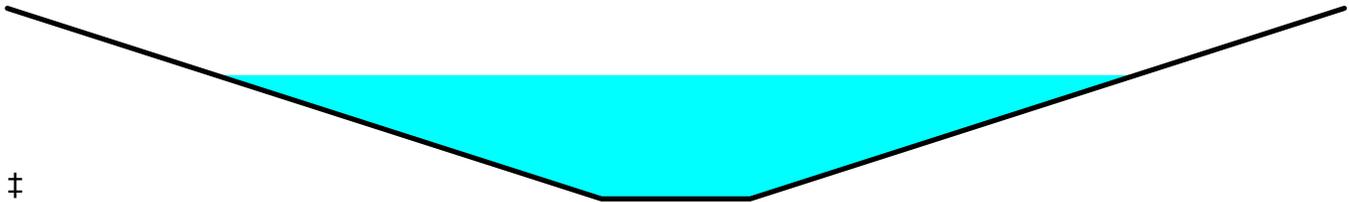
Summary for Reach 2R: Swale

Inflow Area = 1.868 ac, 47.97% Impervious, Inflow Depth = 1.81" for 2-Year event
 Inflow = 4.64 cfs @ 12.17 hrs, Volume= 0.282 af
 Outflow = 4.20 cfs @ 12.22 hrs, Volume= 0.282 af, Atten= 9%, Lag= 2.7 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.79 fps, Min. Travel Time= 4.1 min
 Avg. Velocity = 0.50 fps, Avg. Travel Time= 14.6 min

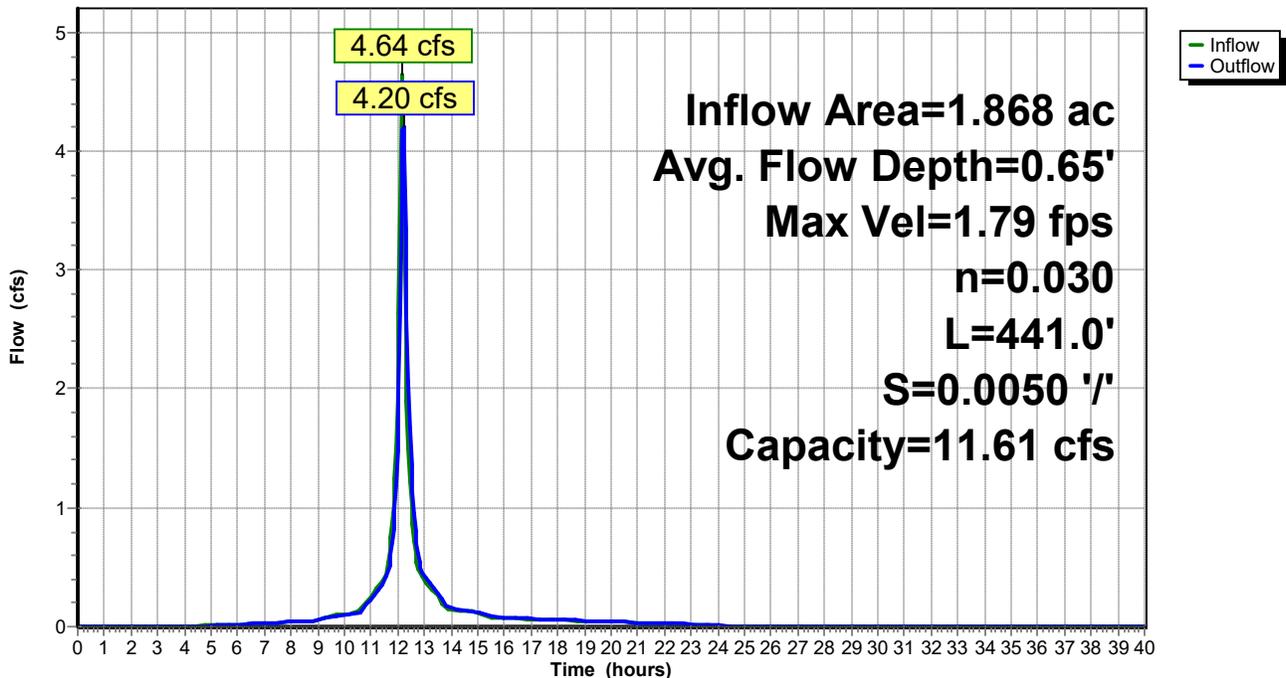
Peak Storage= 1,032 cf @ 12.22 hrs
 Average Depth at Peak Storage= 0.65' , Surface Width= 6.20'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.61 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 441.0' Slope= 0.0050 '/'
 Inlet Invert= 1,171.78', Outlet Invert= 1,169.58'



Reach 2R: Swale

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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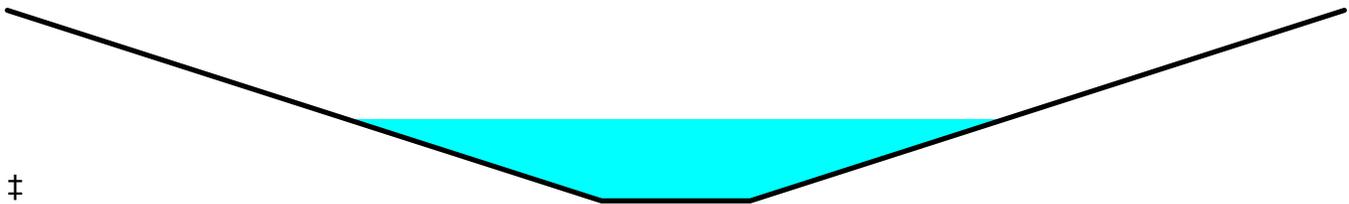
Summary for Reach 3R: Swale

Inflow Area = 0.971 ac, 13.08% Impervious, Inflow Depth = 1.59" for 2-Year event
Inflow = 2.16 cfs @ 12.17 hrs, Volume= 0.129 af
Outflow = 1.86 cfs @ 12.23 hrs, Volume= 0.129 af, Atten= 14%, Lag= 3.3 min
Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Max. Velocity= 1.59 fps, Min. Travel Time= 5.4 min
Avg. Velocity = 0.43 fps, Avg. Travel Time= 19.8 min

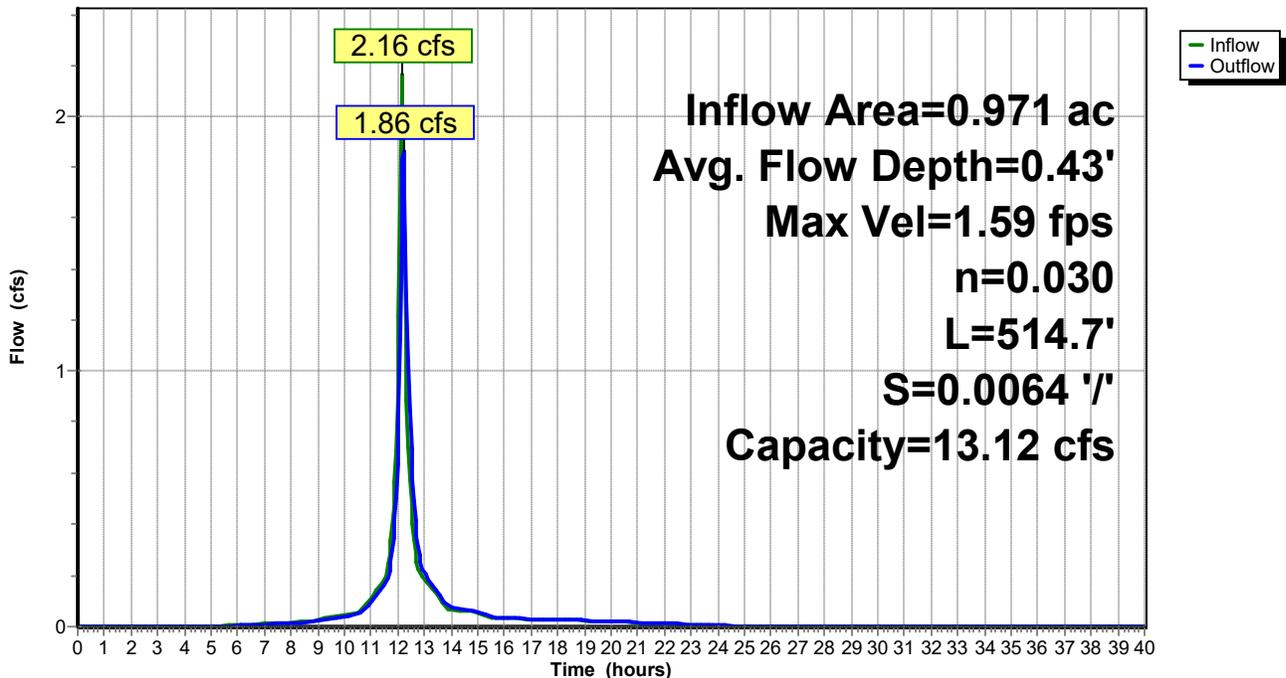
Peak Storage= 600 cf @ 12.23 hrs
Average Depth at Peak Storage= 0.43' , Surface Width= 4.43'
Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 13.12 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
Length= 514.7' Slope= 0.0064 ' / '
Inlet Invert= 1,171.90', Outlet Invert= 1,168.62'



Reach 3R: Swale

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Pond 1P: south basin

Inflow Area = 5.321 ac, 50.61% Impervious, Inflow Depth = 1.18" for 2-Year event
 Inflow = 7.18 cfs @ 12.32 hrs, Volume= 0.525 af
 Outflow = 0.59 cfs @ 13.36 hrs, Volume= 0.525 af, Atten= 92%, Lag= 62.6 min
 Discarded = 0.59 cfs @ 13.36 hrs, Volume= 0.525 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
 Routed to Link 1L : runoff

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,168.97' @ 13.36 hrs Surf.Area= 7,084 sf Storage= 14,963 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 272.4 min (1,038.1 - 765.6)

Volume	Invert	Avail.Storage	Storage Description
#1	1,166.00'	44,780 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,166.00	3,150	0	0
1,167.00	4,350	3,750	3,750
1,168.00	5,700	5,025	8,775
1,169.00	7,130	6,415	15,190
1,170.00	11,025	9,078	24,268
1,171.00	30,000	20,513	44,780

Device	Routing	Invert	Outlet Devices
#1	Secondary	1,170.18'	20.0' long x 5.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88
#2	Discarded	1,166.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.59 cfs @ 13.36 hrs HW=1,168.97' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 0.59 cfs)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=1,166.00' TW=0.00' (Dynamic Tailwater)
 ↑1=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

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MSE 24-hr 3 2-Year Rainfall=2.61"

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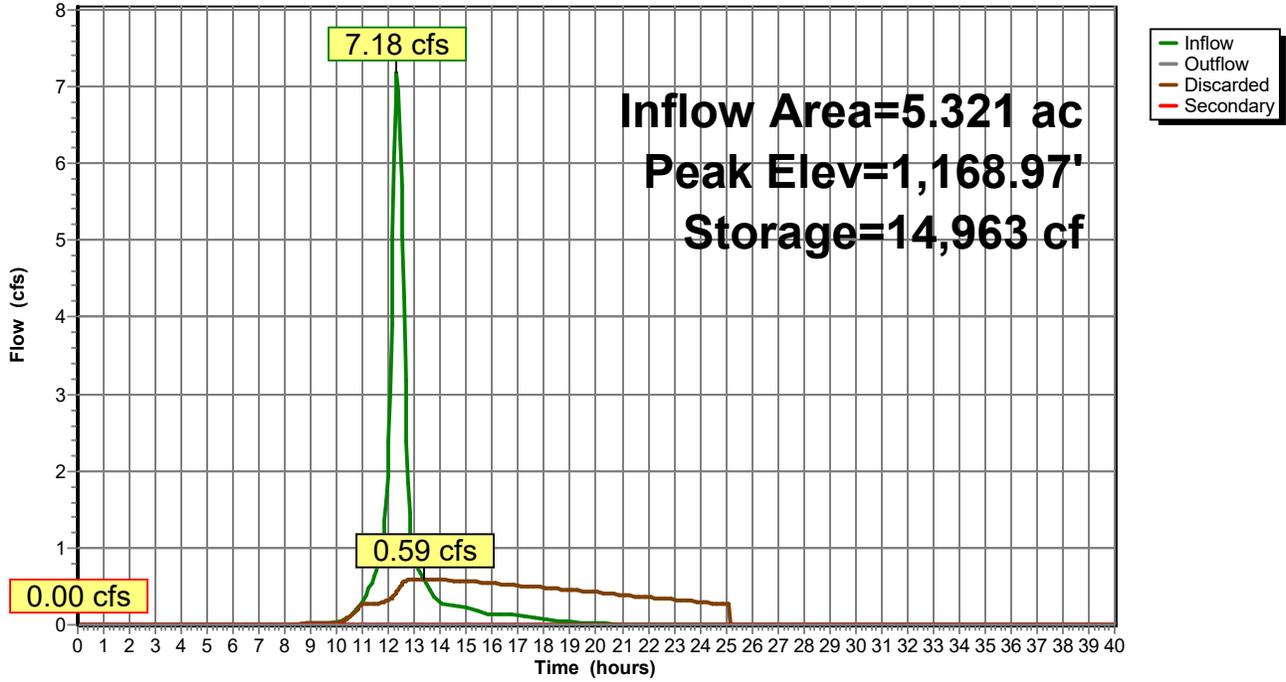
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Pond 1P: south basin

Hydrograph



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MSE 24-hr 3 2-Year Rainfall=2.61"

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Summary for Pond 2P: middle basin

[62] Hint: Exceeded Reach 1R OUTLET depth by 0.54' @ 12.40 hrs

[64] Warning: Exceeded Reach 1R outlet bank by 0.07' @ 12.34 hrs

[62] Hint: Exceeded Reach 3R OUTLET depth by 0.59' @ 12.35 hrs

Inflow Area = 4.693 ac, 50.91% Impervious, Inflow Depth = 1.74" for 2-Year event
 Inflow = 9.69 cfs @ 12.22 hrs, Volume= 0.681 af
 Outflow = 7.09 cfs @ 12.34 hrs, Volume= 0.681 af, Atten= 27%, Lag= 6.9 min
 Discarded = 0.36 cfs @ 12.34 hrs, Volume= 0.217 af
 Primary = 6.73 cfs @ 12.34 hrs, Volume= 0.465 af
 Routed to Pond 1P : south basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,169.57' @ 12.34 hrs Surf.Area= 4,312 sf Storage= 5,124 cf

Plug-Flow detention time= 45.1 min calculated for 0.680 af (100% of inflow)
 Center-of-Mass det. time= 45.2 min (818.6 - 773.4)

Volume	Invert	Avail.Storage	Storage Description
#1	1,167.00'	27,600 cf	Custom Stage Data (Prismatic) Listed below (Recalc)

Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,167.00	480	0	0
1,168.00	1,120	800	800
1,169.00	3,210	2,165	2,965
1,170.00	5,130	4,170	7,135
1,171.00	7,400	6,265	13,400
1,172.00	21,000	14,200	27,600

Device	Routing	Invert	Outlet Devices
#1	Primary	1,168.00'	18.0" Round Culvert L= 66.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 1,168.00' / 1,167.67' S= 0.0050 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Discarded	1,167.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.36 cfs @ 12.34 hrs HW=1,169.57' (Free Discharge)

↑**2=Exfiltration** (Exfiltration Controls 0.36 cfs)

Primary OutFlow Max=6.70 cfs @ 12.34 hrs HW=1,169.57' TW=1,167.85' (Dynamic Tailwater)

↑**1=Culvert** (Barrel Controls 6.70 cfs @ 4.50 fps)

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MSE 24-hr 3 2-Year Rainfall=2.61"

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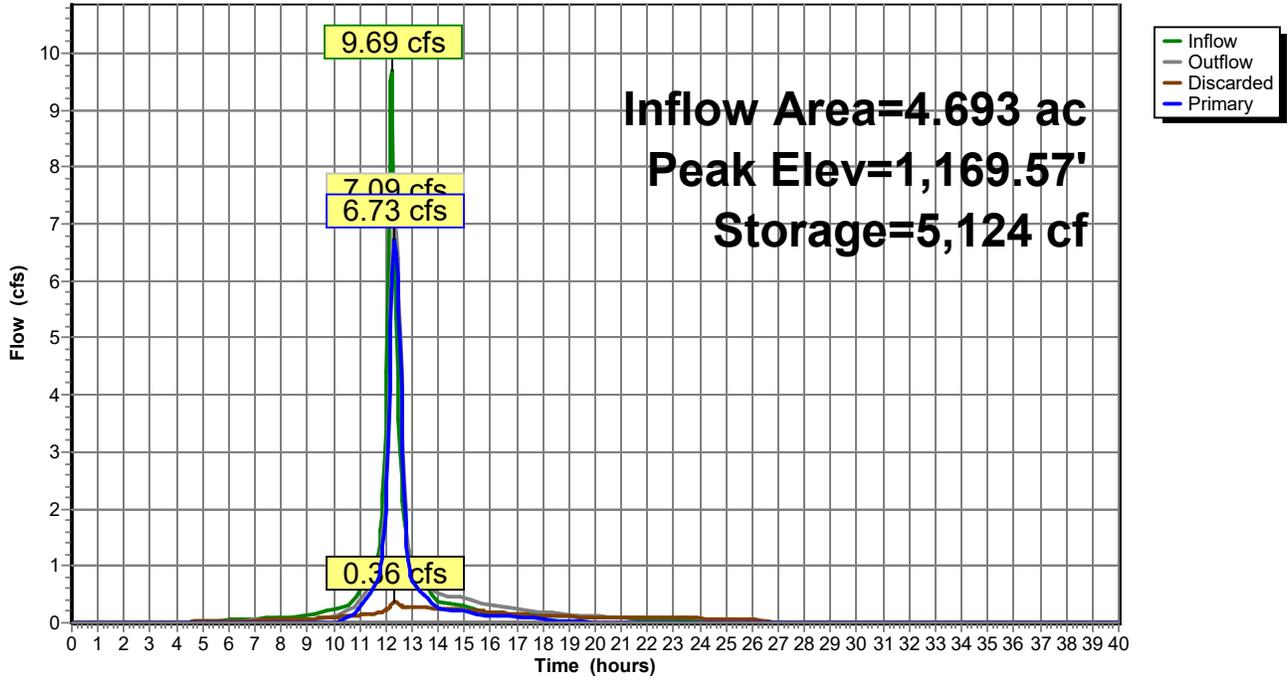
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Pond 2P: middle basin

Hydrograph



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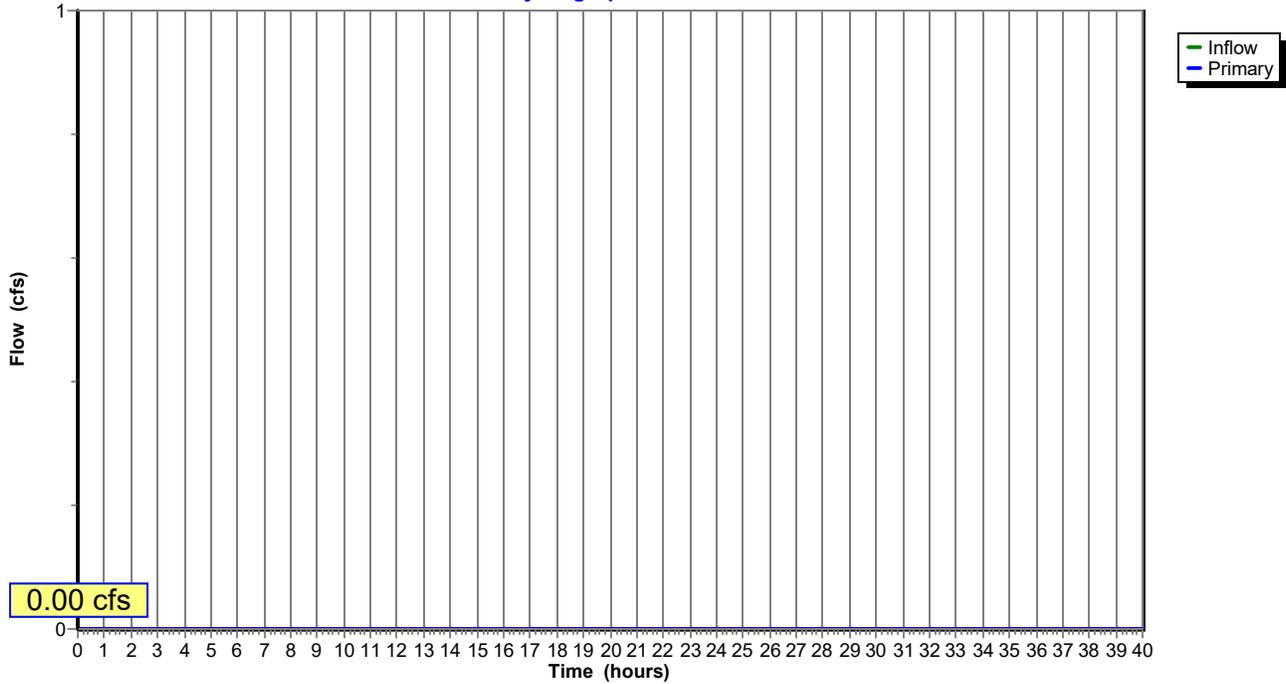
Summary for Link 1L: runoff

Inflow = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Link 1L: runoff

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment D1: north parking	Runoff Area=1.854 ac 73.68% Impervious Runoff Depth=2.58" Tc=10.0 min CN=WQ Runoff=6.33 cfs 0.399 af
Subcatchment D2: west side ls bld	Runoff Area=1.868 ac 47.97% Impervious Runoff Depth=2.69" Tc=10.0 min CN=WQ Runoff=6.75 cfs 0.419 af
Subcatchment D3: east side ls bld	Runoff Area=0.971 ac 13.08% Impervious Runoff Depth=2.39" Tc=10.0 min CN=WQ Runoff=3.17 cfs 0.194 af
Subcatchment D4: roadway	Runoff Area=0.628 ac 48.41% Impervious Runoff Depth=1.70" Tc=10.0 min CN=WQ Runoff=1.41 cfs 0.089 af
Reach 1R: Swale	Avg. Flow Depth=0.72' Max Vel=1.90 fps Inflow=6.33 cfs 0.399 af n=0.030 L=689.0' S=0.0050 '/' Capacity=11.62 cfs Outflow=5.35 cfs 0.399 af
Reach 2R: Swale	Avg. Flow Depth=0.77' Max Vel=1.98 fps Inflow=6.75 cfs 0.419 af n=0.030 L=441.0' S=0.0050 '/' Capacity=11.61 cfs Outflow=6.20 cfs 0.419 af
Reach 3R: Swale	Avg. Flow Depth=0.52' Max Vel=1.77 fps Inflow=3.17 cfs 0.194 af n=0.030 L=514.7' S=0.0064 '/' Capacity=13.12 cfs Outflow=2.80 cfs 0.194 af
Pond 1P: south basin	Peak Elev=1,169.72' Storage=21,331 cf Inflow=9.26 cfs 0.779 af Discarded=0.83 cfs 0.779 af Secondary=0.00 cfs 0.000 af Outflow=0.83 cfs 0.779 af
Pond 2P: middle basin	Peak Elev=1,170.12' Storage=7,766 cf Inflow=14.33 cfs 1.011 af Discarded=0.45 cfs 0.322 af Primary=8.69 cfs 0.690 af Outflow=9.14 cfs 1.011 af
Link 1L: runoff	Inflow=0.00 cfs 0.000 af Primary=0.00 cfs 0.000 af

Total Runoff Area = 5.321 ac Runoff Volume = 1.100 af Average Runoff Depth = 2.48"
49.39% Pervious = 2.628 ac 50.61% Impervious = 2.693 ac

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MSE 24-hr 3 10-Year Rainfall=3.73"

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Summary for Subcatchment D1: north parking

Runoff = 6.33 cfs @ 12.17 hrs, Volume= 0.399 af, Depth= 2.58"
 Routed to Reach 1R : Swale

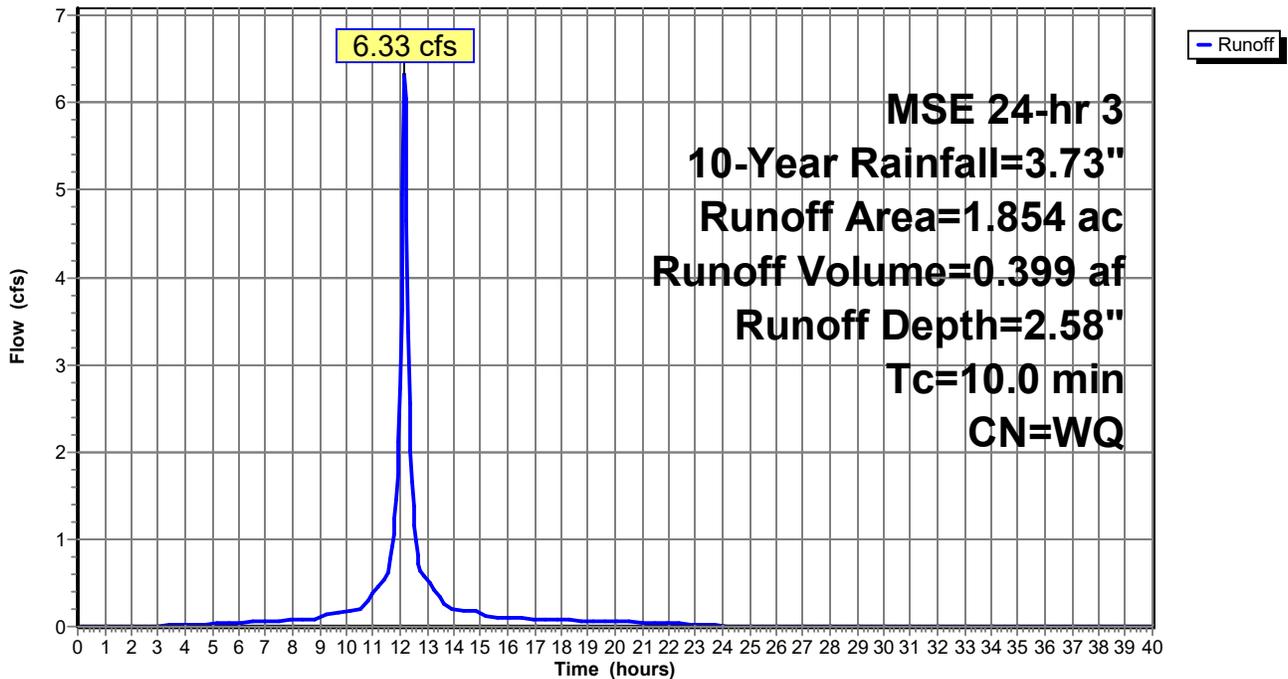
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 10-Year Rainfall=3.73"

Area (ac)	CN	Description
* 0.532	98	future parking
* 0.257	98	future building
0.488	39	>75% Grass cover, Good, HSG A
* 0.310	98	proposed parking
* 0.257	98	proposed building
* 0.005	98	stoop
* 0.005	98	future stoop
1.854		Weighted Average
0.488		26.32% Pervious Area
1.366		73.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, minimum

Subcatchment D1: north parking

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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Summary for Subcatchment D2: west side ls bld

Runoff = 6.75 cfs @ 12.17 hrs, Volume= 0.419 af, Depth= 2.69"
 Routed to Reach 2R : Swale

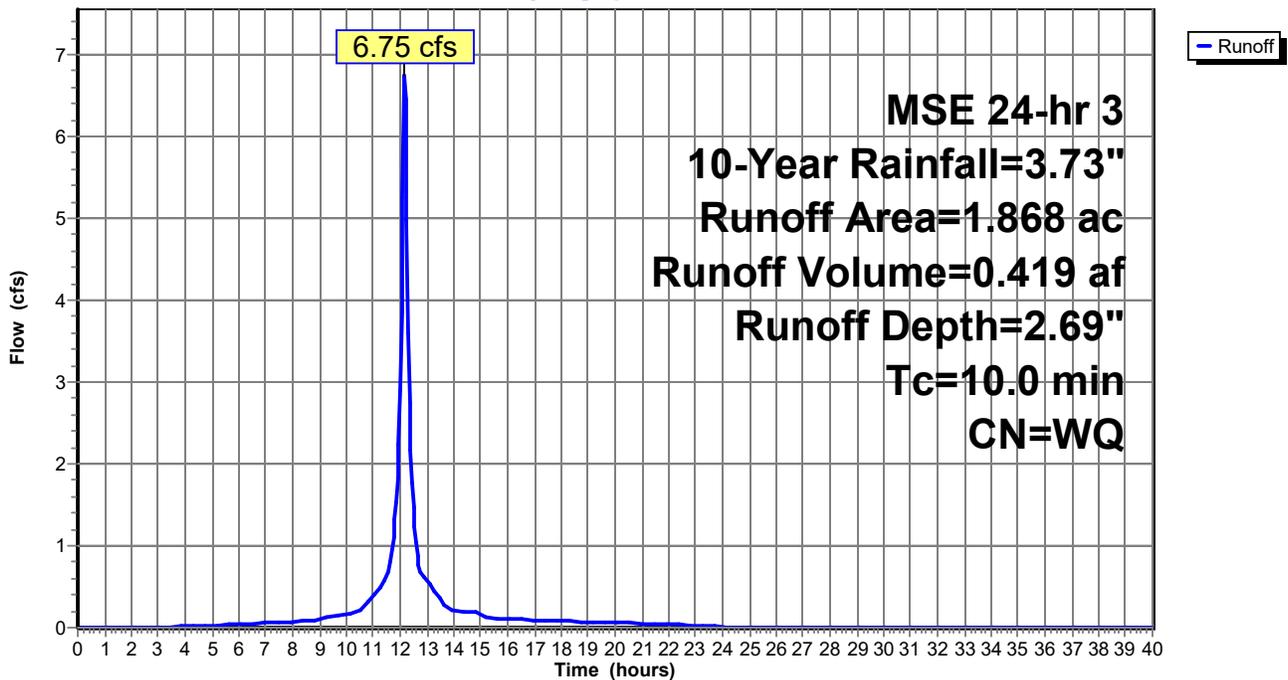
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 10-Year Rainfall=3.73"

Area (ac)	CN	Description
* 0.297	98	parking lot
* 0.576	96	gravel park
* 0.321	98	prop building
* 0.005	98	future sw
* 0.005	98	prop sidewalk
* 0.257	98	future bld
0.396	39	>75% Grass cover, Good, HSG A
* 0.011	98	basin
1.868		Weighted Average
0.972		52.03% Pervious Area
0.896		47.97% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D2: west side ls bld

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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Summary for Subcatchment D3: east side ls bld

Runoff = 3.17 cfs @ 12.17 hrs, Volume= 0.194 af, Depth= 2.39"
 Routed to Reach 3R : Swale

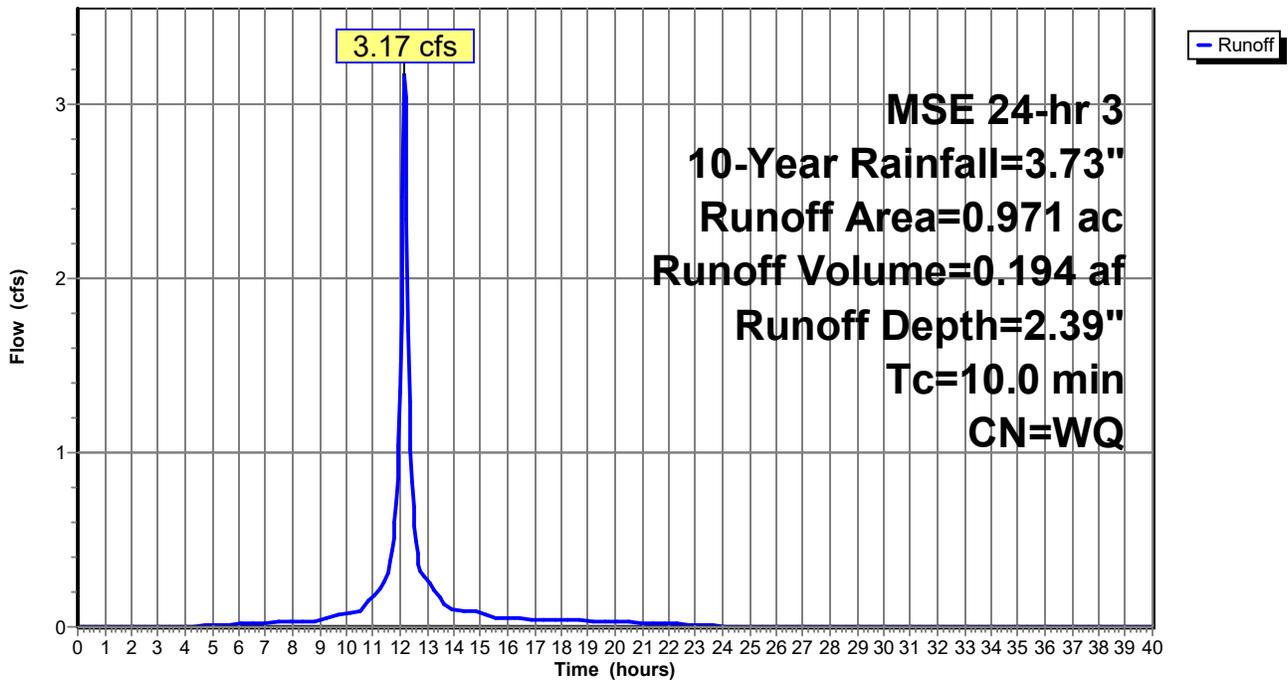
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 10-Year Rainfall=3.73"

Area (ac)	CN	Description
* 0.035	98	prop parking
* 0.572	96	prop gravel
* 0.064	98	prop building
* 0.028	98	basin
0.272	39	>75% Grass cover, Good, HSG A
0.971		Weighted Average
0.844		86.92% Pervious Area
0.127		13.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D3: east side ls bld

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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Summary for Subcatchment D4: roadway

Runoff = 1.41 cfs @ 12.17 hrs, Volume= 0.089 af, Depth= 1.70"
 Routed to Pond 1P : south basin

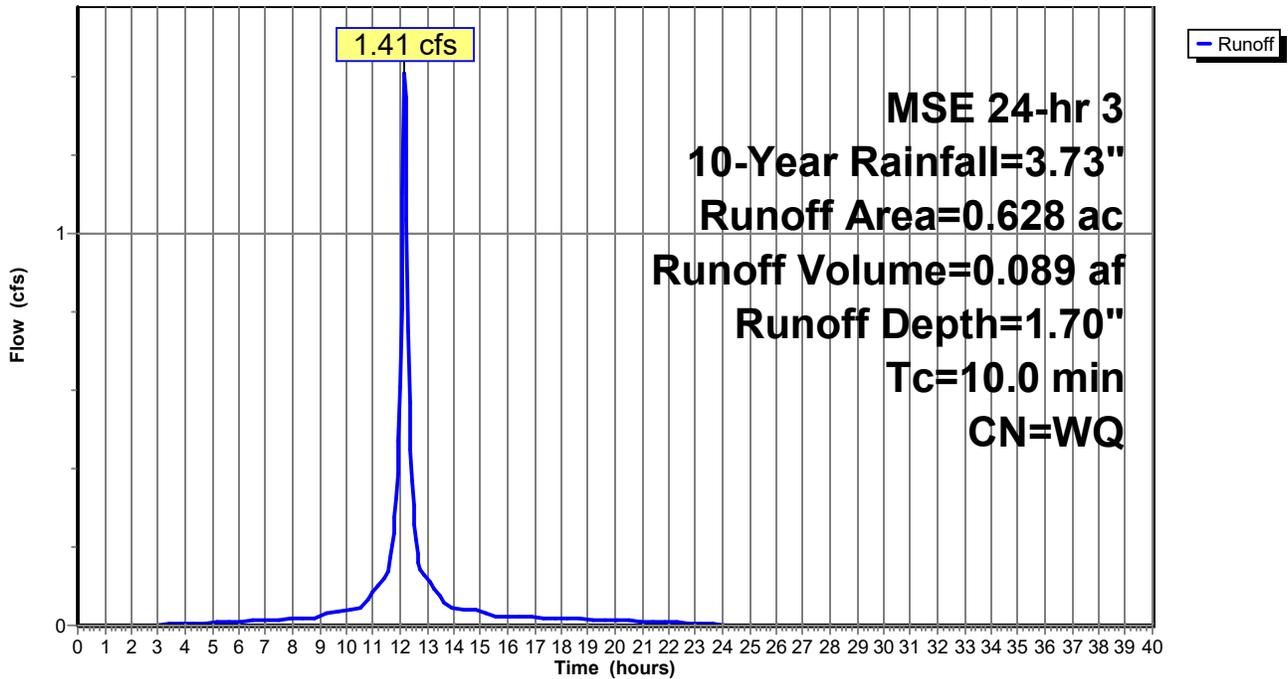
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 10-Year Rainfall=3.73"

Area (ac)	CN	Description
* 0.232	98	pavement
0.324	39	>75% Grass cover, Good, HSG A
* 0.072	98	basin
0.628		Weighted Average
0.324		51.59% Pervious Area
0.304		48.41% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D4: roadway

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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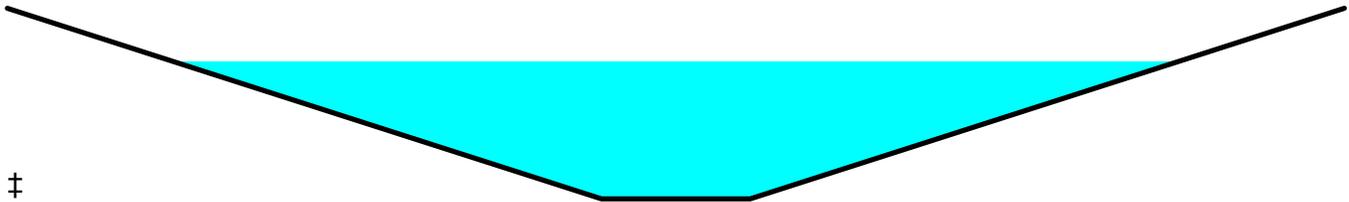
Summary for Reach 1R: Swale

Inflow Area = 1.854 ac, 73.68% Impervious, Inflow Depth = 2.58" for 10-Year event
 Inflow = 6.33 cfs @ 12.17 hrs, Volume= 0.399 af
 Outflow = 5.35 cfs @ 12.23 hrs, Volume= 0.399 af, Atten= 15%, Lag= 3.6 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.90 fps, Min. Travel Time= 6.0 min
 Avg. Velocity = 0.53 fps, Avg. Travel Time= 21.7 min

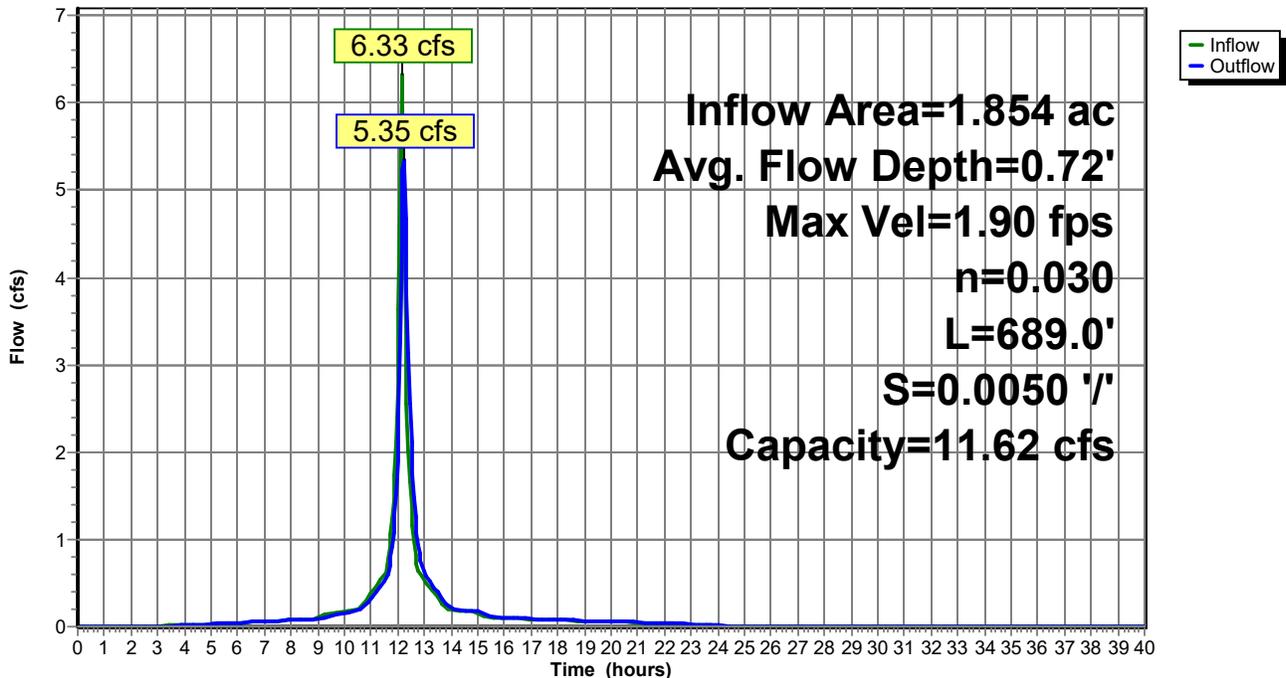
Peak Storage= 1,930 cf @ 12.23 hrs
 Average Depth at Peak Storage= 0.72' , Surface Width= 6.77'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.62 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 689.0' Slope= 0.0050 '/'
 Inlet Invert= 1,171.94', Outlet Invert= 1,168.50'



Reach 1R: Swale

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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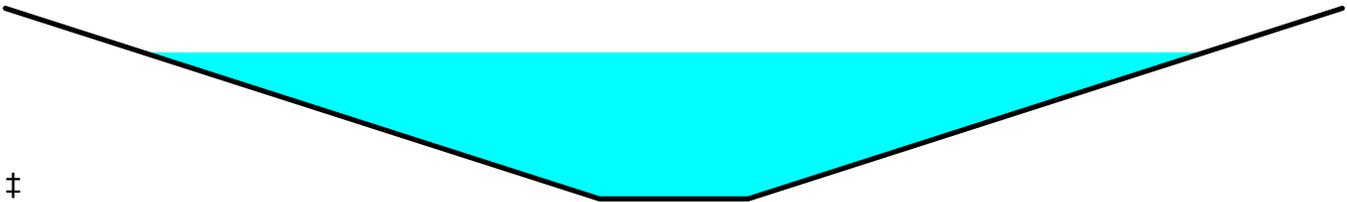
Summary for Reach 2R: Swale

Inflow Area = 1.868 ac, 47.97% Impervious, Inflow Depth = 2.69" for 10-Year event
Inflow = 6.75 cfs @ 12.17 hrs, Volume= 0.419 af
Outflow = 6.20 cfs @ 12.21 hrs, Volume= 0.419 af, Atten= 8%, Lag= 2.5 min
Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Max. Velocity= 1.98 fps, Min. Travel Time= 3.7 min
Avg. Velocity = 0.56 fps, Avg. Travel Time= 13.1 min

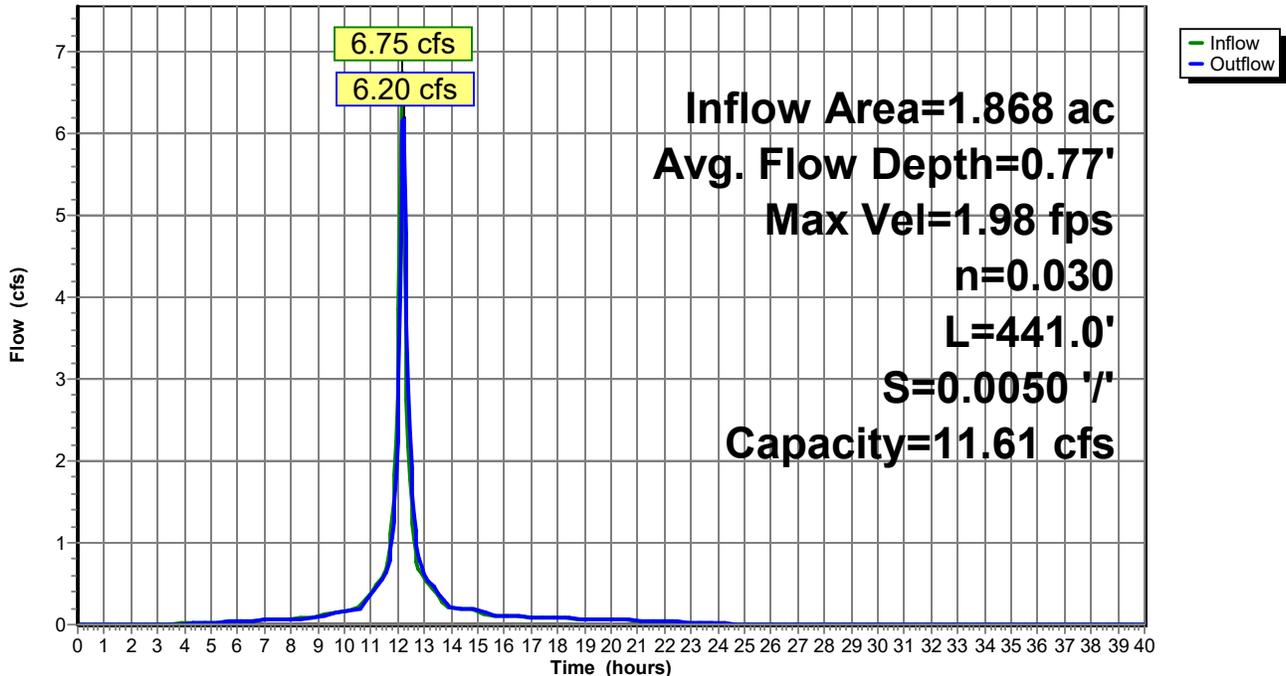
Peak Storage= 1,379 cf @ 12.21 hrs
Average Depth at Peak Storage= 0.77' , Surface Width= 7.14'
Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.61 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
Length= 441.0' Slope= 0.0050 ' / '
Inlet Invert= 1,171.78', Outlet Invert= 1,169.58'



Reach 2R: Swale

Hydrograph



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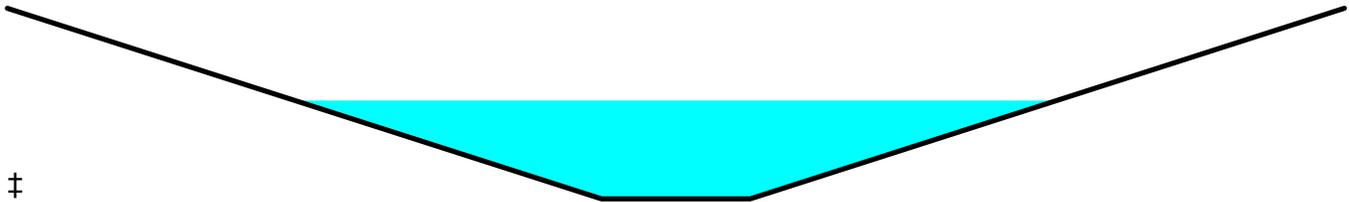
Summary for Reach 3R: Swale

Inflow Area = 0.971 ac, 13.08% Impervious, Inflow Depth = 2.39" for 10-Year event
 Inflow = 3.17 cfs @ 12.17 hrs, Volume= 0.194 af
 Outflow = 2.80 cfs @ 12.22 hrs, Volume= 0.194 af, Atten= 12%, Lag= 3.1 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.77 fps, Min. Travel Time= 4.9 min
 Avg. Velocity = 0.49 fps, Avg. Travel Time= 17.6 min

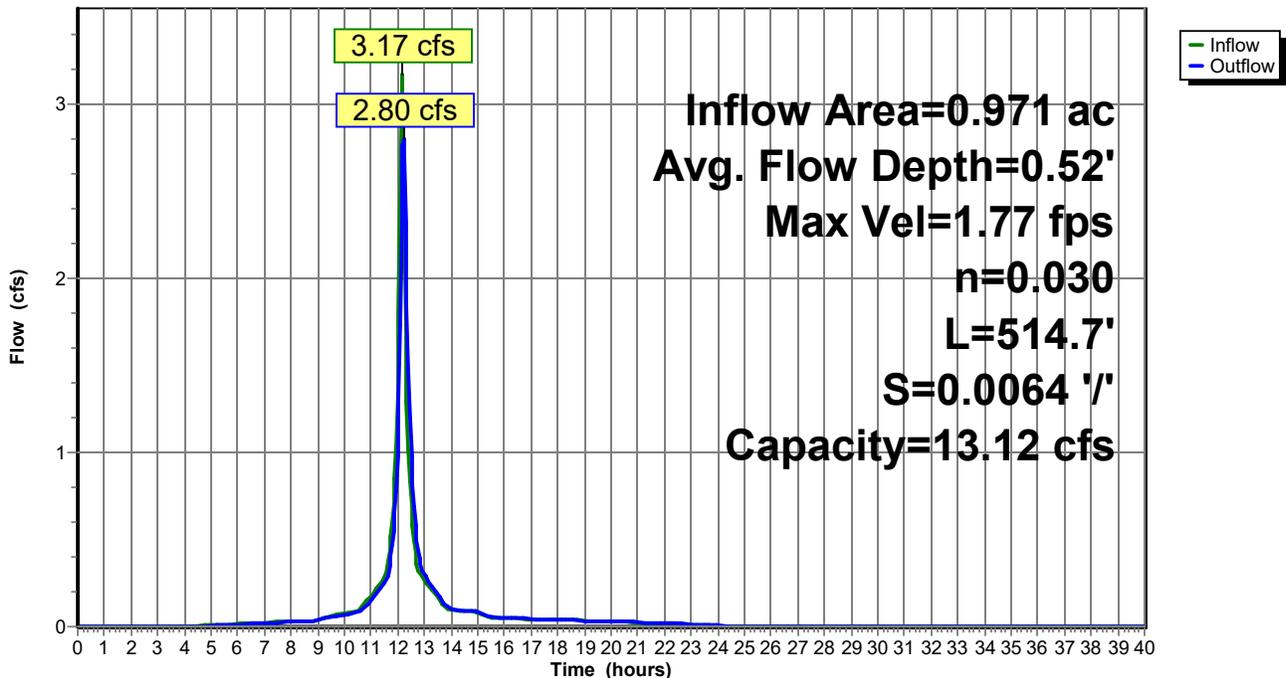
Peak Storage= 812 cf @ 12.22 hrs
 Average Depth at Peak Storage= 0.52' , Surface Width= 5.12'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 13.12 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 514.7' Slope= 0.0064 '/'
 Inlet Invert= 1,171.90', Outlet Invert= 1,168.62'



Reach 3R: Swale

Hydrograph



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Summary for Pond 1P: south basin

Inflow Area = 5.321 ac, 50.61% Impervious, Inflow Depth = 1.76" for 10-Year event
 Inflow = 9.26 cfs @ 12.34 hrs, Volume= 0.779 af
 Outflow = 0.83 cfs @ 13.35 hrs, Volume= 0.779 af, Atten= 91%, Lag= 61.0 min
 Discarded = 0.83 cfs @ 13.35 hrs, Volume= 0.779 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
 Routed to Link 1L : runoff

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,169.72' @ 13.35 hrs Surf.Area= 9,933 sf Storage= 21,331 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 312.8 min (1,084.9 - 772.2)

Volume	Invert	Avail.Storage	Storage Description
#1	1,166.00'	44,780 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,166.00	3,150	0	0
1,167.00	4,350	3,750	3,750
1,168.00	5,700	5,025	8,775
1,169.00	7,130	6,415	15,190
1,170.00	11,025	9,078	24,268
1,171.00	30,000	20,513	44,780

Device	Routing	Invert	Outlet Devices
#1	Secondary	1,170.18'	20.0' long x 5.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88
#2	Discarded	1,166.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.83 cfs @ 13.35 hrs HW=1,169.72' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 0.83 cfs)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=1,166.00' TW=0.00' (Dynamic Tailwater)
 ↑1=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

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MSE 24-hr 3 10-Year Rainfall=3.73"

Prepared by Vreeland Associates

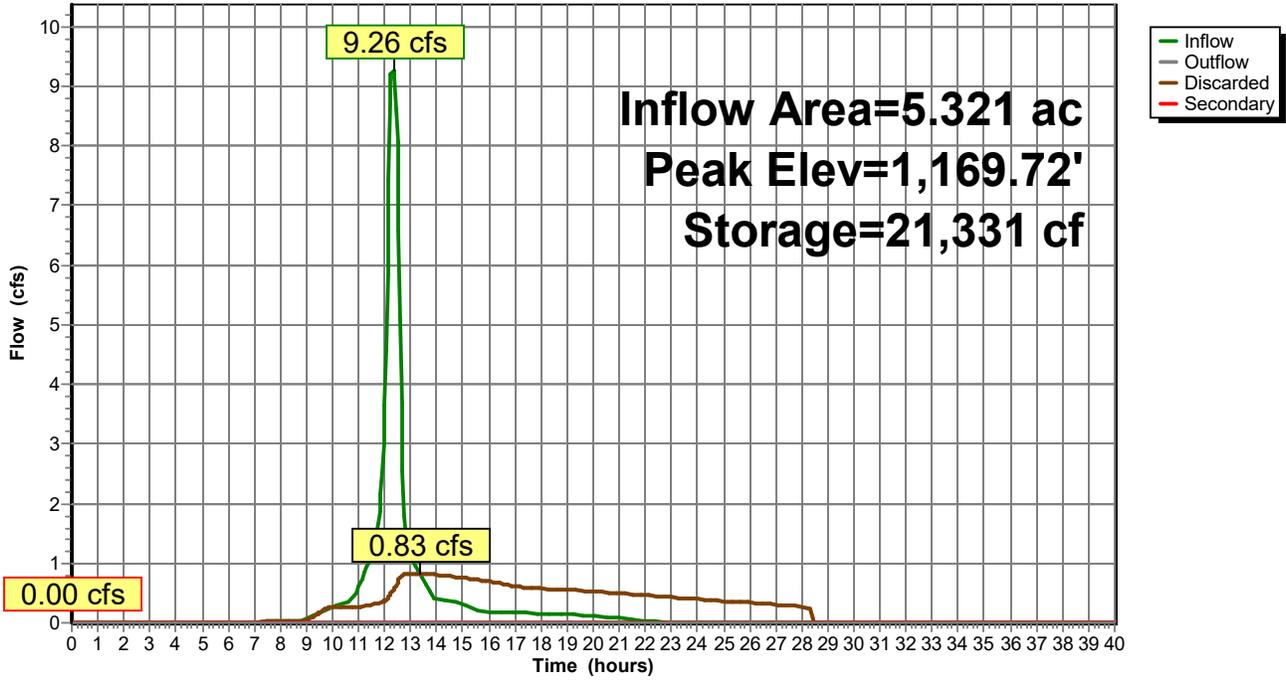
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Pond 1P: south basin

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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Summary for Pond 2P: middle basin

- [62] Hint: Exceeded Reach 1R OUTLET depth by 1.03' @ 12.40 hrs
- [64] Warning: Exceeded Reach 1R outlet bank by 0.62' @ 12.36 hrs
- [61] Hint: Exceeded Reach 2R outlet invert by 0.54' @ 12.35 hrs
- [62] Hint: Exceeded Reach 3R OUTLET depth by 1.09' @ 12.40 hrs
- [64] Warning: Exceeded Reach 3R outlet bank by 0.50' @ 12.36 hrs

Inflow Area = 4.693 ac, 50.91% Impervious, Inflow Depth = 2.59" for 10-Year event
 Inflow = 14.33 cfs @ 12.22 hrs, Volume= 1.011 af
 Outflow = 9.14 cfs @ 12.36 hrs, Volume= 1.011 af, Atten= 36%, Lag= 8.5 min
 Discarded = 0.45 cfs @ 12.36 hrs, Volume= 0.322 af
 Primary = 8.69 cfs @ 12.36 hrs, Volume= 0.690 af
 Routed to Pond 1P : south basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,170.12' @ 12.36 hrs Surf.Area= 5,402 sf Storage= 7,766 cf

Plug-Flow detention time= 57.3 min calculated for 1.010 af (100% of inflow)
 Center-of-Mass det. time= 57.4 min (824.2 - 766.8)

Volume	Invert	Avail.Storage	Storage Description
#1	1,167.00'	27,600 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,167.00	480	0	0
1,168.00	1,120	800	800
1,169.00	3,210	2,165	2,965
1,170.00	5,130	4,170	7,135
1,171.00	7,400	6,265	13,400
1,172.00	21,000	14,200	27,600

Device	Routing	Invert	Outlet Devices
#1	Primary	1,168.00'	18.0" Round Culvert L= 66.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 1,168.00' / 1,167.67' S= 0.0050 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Discarded	1,167.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.45 cfs @ 12.36 hrs HW=1,170.11' (Free Discharge)
 ↑**2=Exfiltration** (Exfiltration Controls 0.45 cfs)

Primary OutFlow Max=8.66 cfs @ 12.36 hrs HW=1,170.11' TW=1,168.71' (Dynamic Tailwater)
 ↑**1=Culvert** (Barrel Controls 8.66 cfs @ 4.90 fps)

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MSE 24-hr 3 10-Year Rainfall=3.73"

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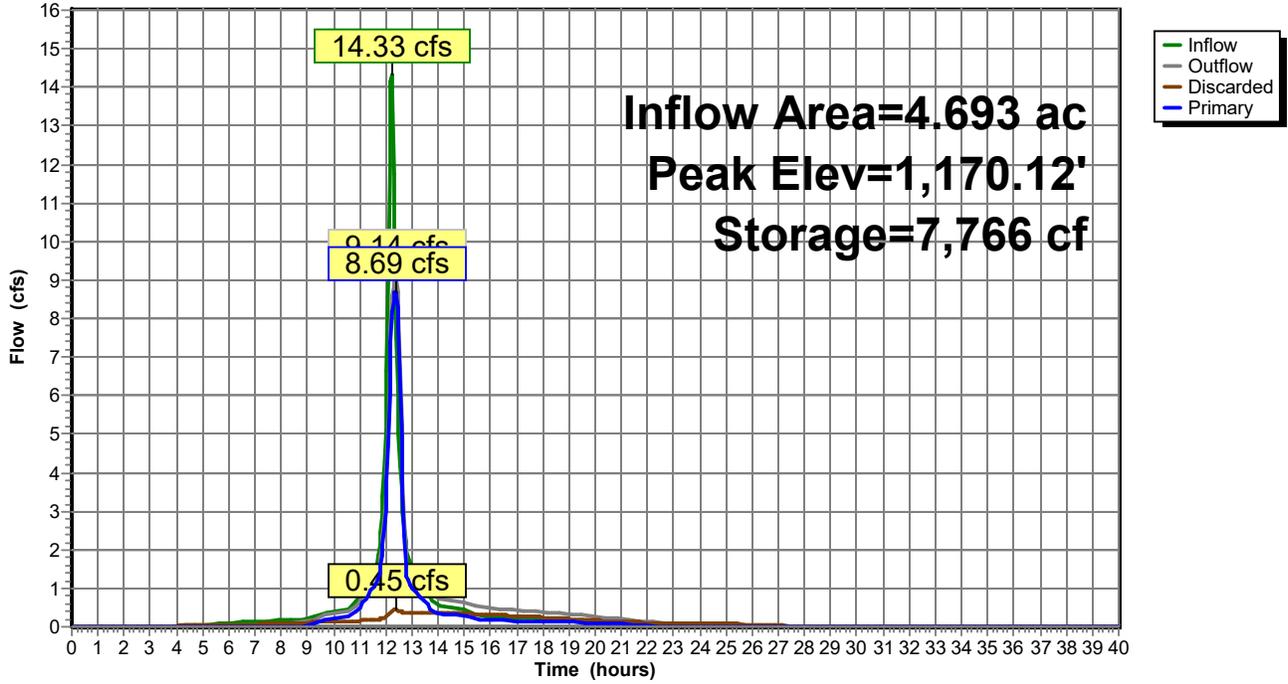
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Pond 2P: middle basin

Hydrograph



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MSE 24-hr 3 10-Year Rainfall=3.73"

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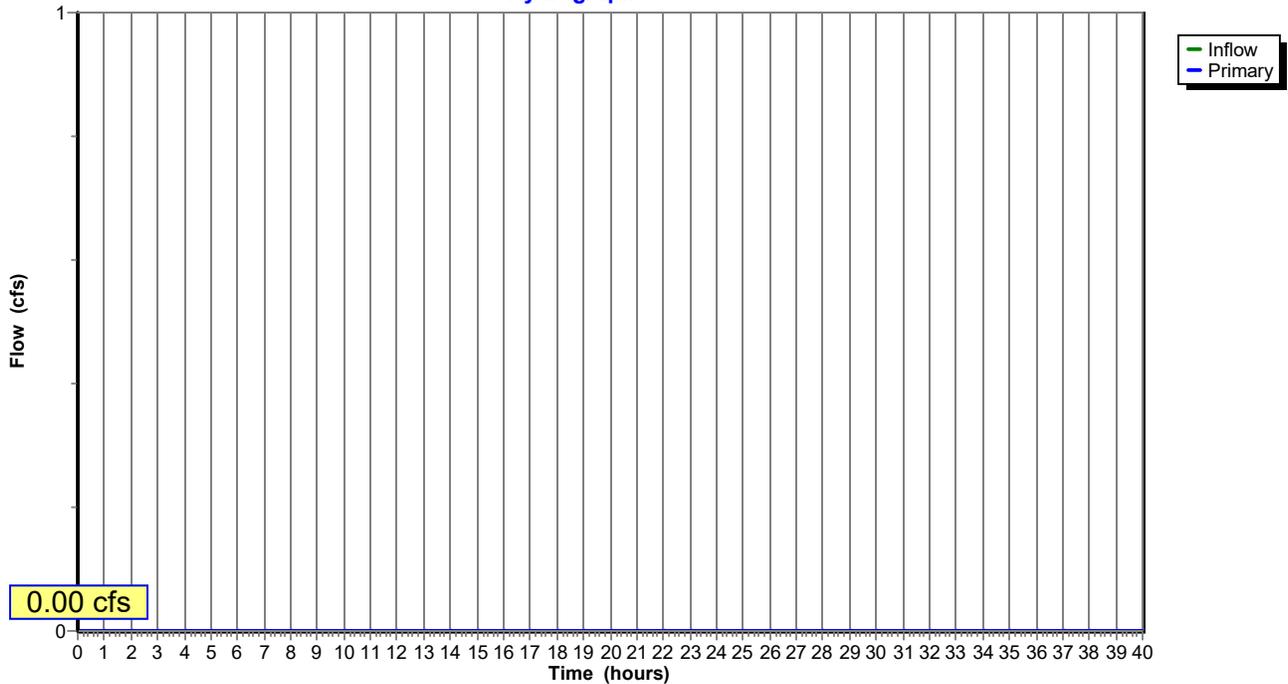
Summary for Link 1L: runoff

Inflow = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Link 1L: runoff

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment D1: north parking	Runoff Area=1.854 ac 73.68% Impervious Runoff Depth=3.18" Tc=10.0 min CN=WQ Runoff=7.67 cfs 0.491 af
Subcatchment D2: west side ls bld	Runoff Area=1.868 ac 47.97% Impervious Runoff Depth=3.32" Tc=10.0 min CN=WQ Runoff=8.21 cfs 0.517 af
Subcatchment D3: east side ls bld	Runoff Area=0.971 ac 13.08% Impervious Runoff Depth=2.97" Tc=10.0 min CN=WQ Runoff=3.87 cfs 0.241 af
Subcatchment D4: roadway	Runoff Area=0.628 ac 48.41% Impervious Runoff Depth=2.13" Tc=10.0 min CN=WQ Runoff=1.71 cfs 0.111 af
Reach 1R: Swale	Avg. Flow Depth=0.79' Max Vel=2.00 fps Inflow=7.67 cfs 0.491 af n=0.030 L=689.0' S=0.0050 '/' Capacity=11.62 cfs Outflow=6.55 cfs 0.491 af
Reach 2R: Swale	Avg. Flow Depth=0.84' Max Vel=2.08 fps Inflow=8.21 cfs 0.517 af n=0.030 L=441.0' S=0.0050 '/' Capacity=11.61 cfs Outflow=7.58 cfs 0.517 af
Reach 3R: Swale	Avg. Flow Depth=0.56' Max Vel=1.86 fps Inflow=3.87 cfs 0.241 af n=0.030 L=514.7' S=0.0064 '/' Capacity=13.12 cfs Outflow=3.44 cfs 0.241 af
Pond 1P: south basin	Peak Elev=1,170.13' Storage=25,808 cf Inflow=10.91 cfs 0.965 af Discarded=1.12 cfs 0.965 af Secondary=0.00 cfs 0.000 af Outflow=1.12 cfs 0.965 af
Pond 2P: middle basin	Peak Elev=1,170.47' Storage=9,825 cf Inflow=17.57 cfs 1.249 af Discarded=0.52 cfs 0.395 af Primary=10.17 cfs 0.853 af Outflow=10.68 cfs 1.249 af
Link 1L: runoff	Inflow=0.00 cfs 0.000 af Primary=0.00 cfs 0.000 af

Total Runoff Area = 5.321 ac Runoff Volume = 1.360 af Average Runoff Depth = 3.07"
49.39% Pervious = 2.628 ac 50.61% Impervious = 2.693 ac

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MSE 24-hr 3 25-Year Rainfall=4.51"

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Summary for Subcatchment D1: north parking

Runoff = 7.67 cfs @ 12.17 hrs, Volume= 0.491 af, Depth= 3.18"
 Routed to Reach 1R : Swale

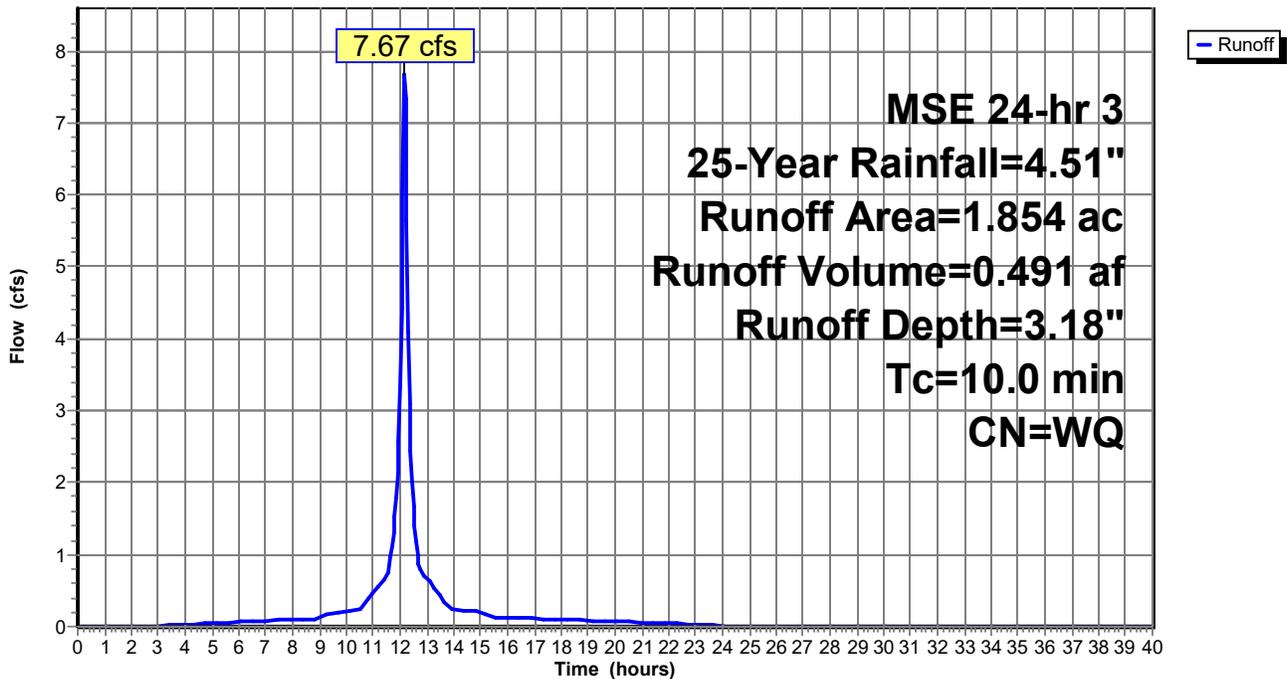
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 25-Year Rainfall=4.51"

Area (ac)	CN	Description
* 0.532	98	future parking
* 0.257	98	future building
0.488	39	>75% Grass cover, Good, HSG A
* 0.310	98	proposed parking
* 0.257	98	proposed building
* 0.005	98	stoop
* 0.005	98	future stoop
1.854		Weighted Average
0.488		26.32% Pervious Area
1.366		73.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, minimum

Subcatchment D1: north parking

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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Summary for Subcatchment D2: west side ls bld

Runoff = 8.21 cfs @ 12.17 hrs, Volume= 0.517 af, Depth= 3.32"
 Routed to Reach 2R : Swale

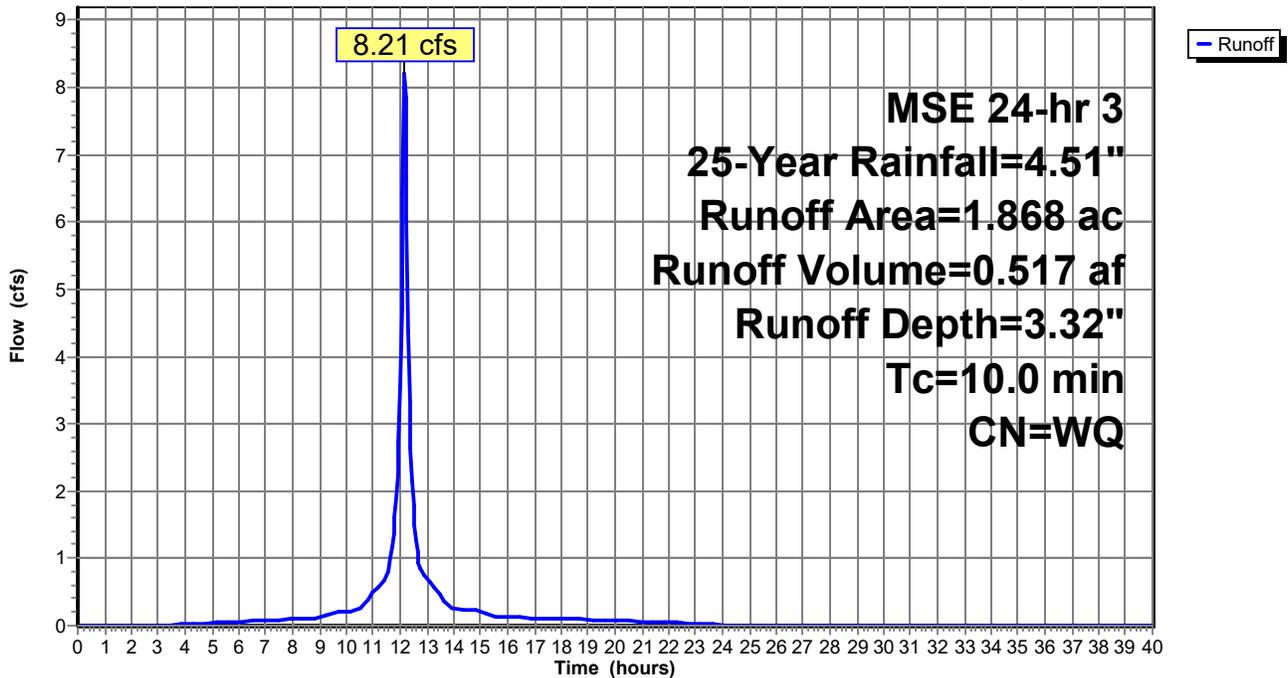
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 25-Year Rainfall=4.51"

Area (ac)	CN	Description
* 0.297	98	parking lot
* 0.576	96	gravel park
* 0.321	98	prop building
* 0.005	98	future sw
* 0.005	98	prop sidewalk
* 0.257	98	future bld
0.396	39	>75% Grass cover, Good, HSG A
* 0.011	98	basin
1.868		Weighted Average
0.972		52.03% Pervious Area
0.896		47.97% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D2: west side ls bld

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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Summary for Subcatchment D3: east side ls bld

Runoff = 3.87 cfs @ 12.17 hrs, Volume= 0.241 af, Depth= 2.97"
 Routed to Reach 3R : Swale

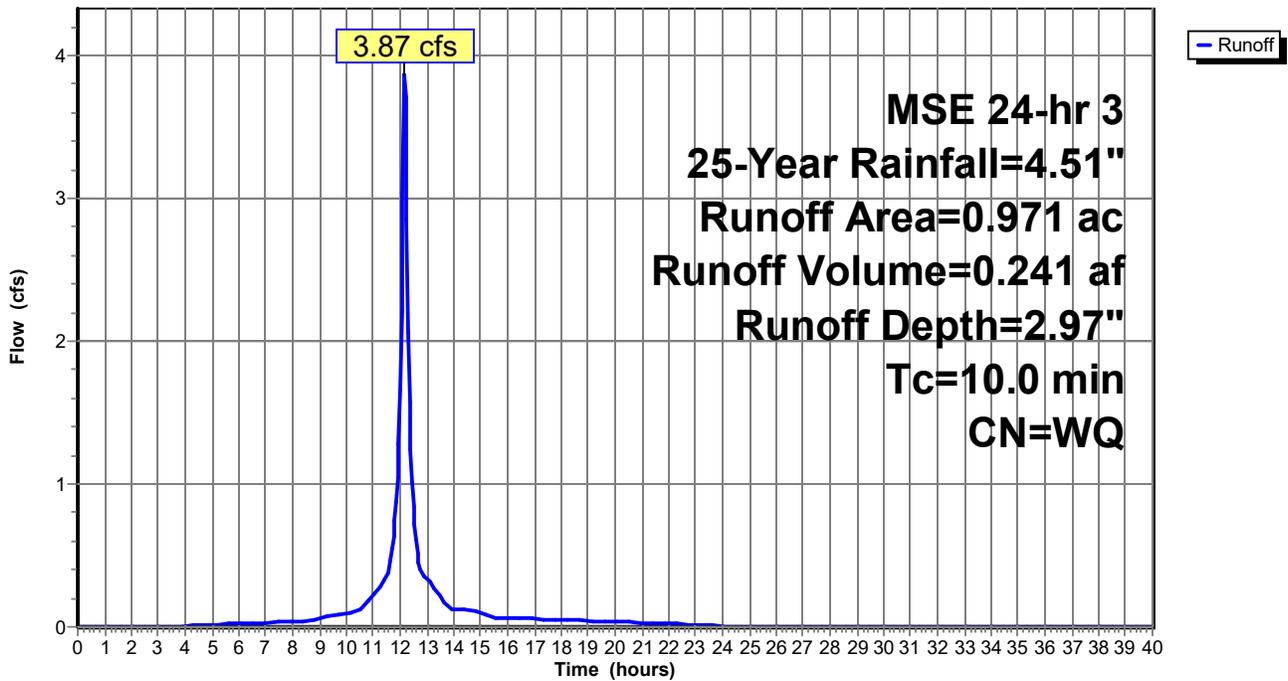
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 25-Year Rainfall=4.51"

Area (ac)	CN	Description
* 0.035	98	prop parking
* 0.572	96	prop gravel
* 0.064	98	prop building
* 0.028	98	basin
0.272	39	>75% Grass cover, Good, HSG A
0.971		Weighted Average
0.844		86.92% Pervious Area
0.127		13.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D3: east side ls bld

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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Summary for Subcatchment D4: roadway

Runoff = 1.71 cfs @ 12.17 hrs, Volume= 0.111 af, Depth= 2.13"
 Routed to Pond 1P : south basin

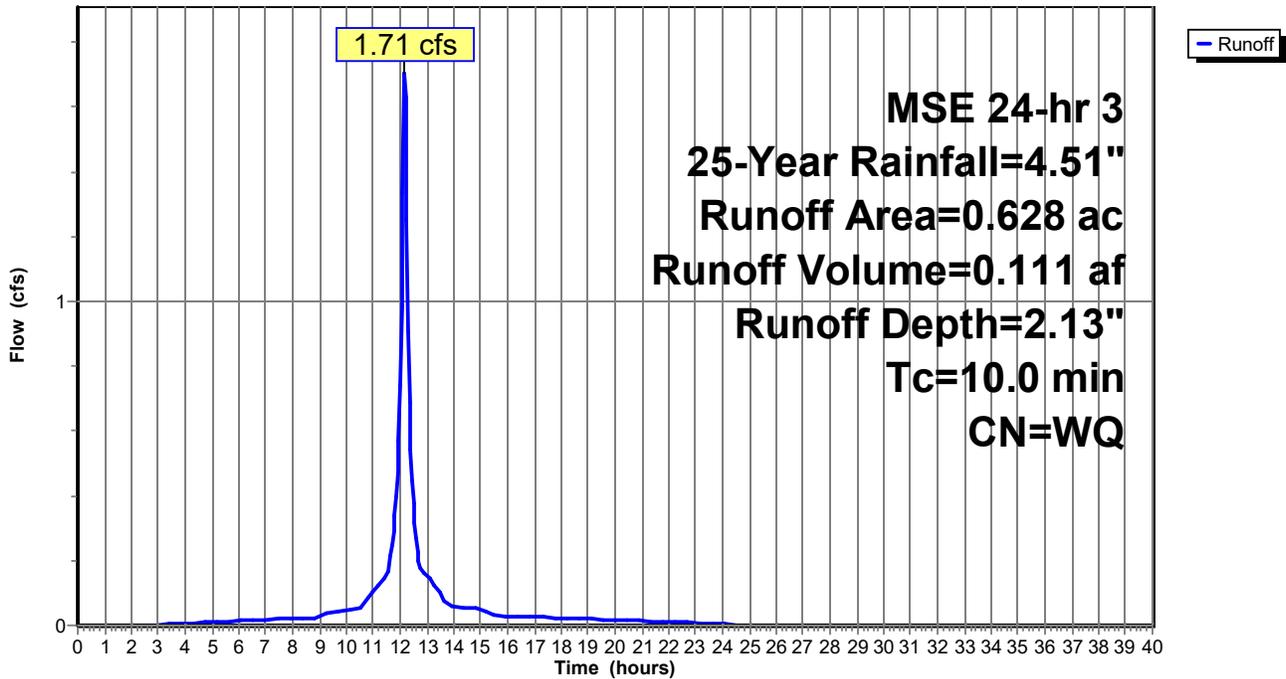
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 25-Year Rainfall=4.51"

Area (ac)	CN	Description
* 0.232	98	pavement
0.324	39	>75% Grass cover, Good, HSG A
* 0.072	98	basin
0.628		Weighted Average
0.324		51.59% Pervious Area
0.304		48.41% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D4: roadway

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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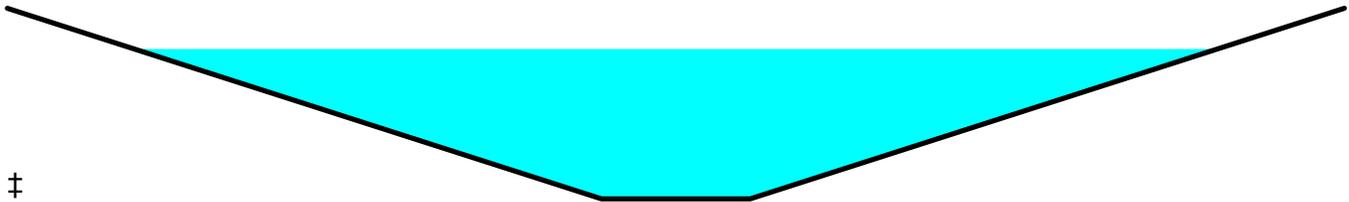
Summary for Reach 1R: Swale

Inflow Area = 1.854 ac, 73.68% Impervious, Inflow Depth = 3.18" for 25-Year event
 Inflow = 7.67 cfs @ 12.17 hrs, Volume= 0.491 af
 Outflow = 6.55 cfs @ 12.23 hrs, Volume= 0.491 af, Atten= 15%, Lag= 3.5 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.00 fps, Min. Travel Time= 5.7 min
 Avg. Velocity = 0.56 fps, Avg. Travel Time= 20.5 min

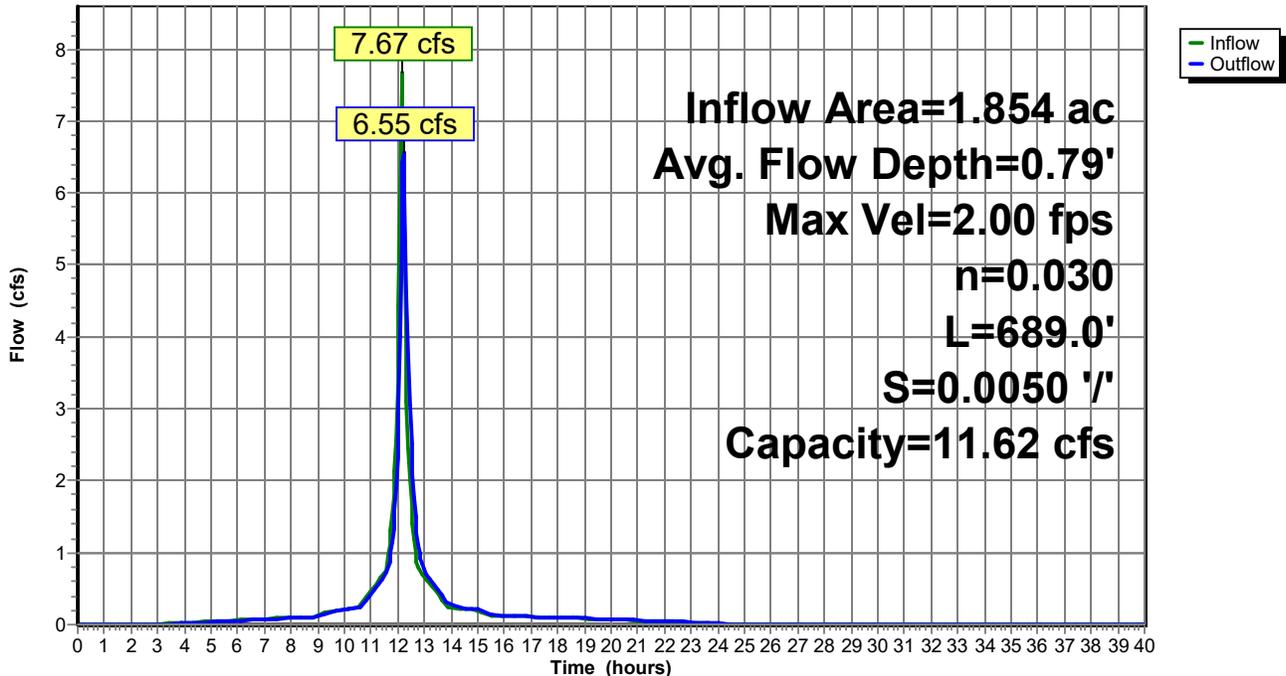
Peak Storage= 2,245 cf @ 12.23 hrs
 Average Depth at Peak Storage= 0.79' , Surface Width= 7.29'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.62 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 689.0' Slope= 0.0050 '/'
 Inlet Invert= 1,171.94', Outlet Invert= 1,168.50'



Reach 1R: Swale

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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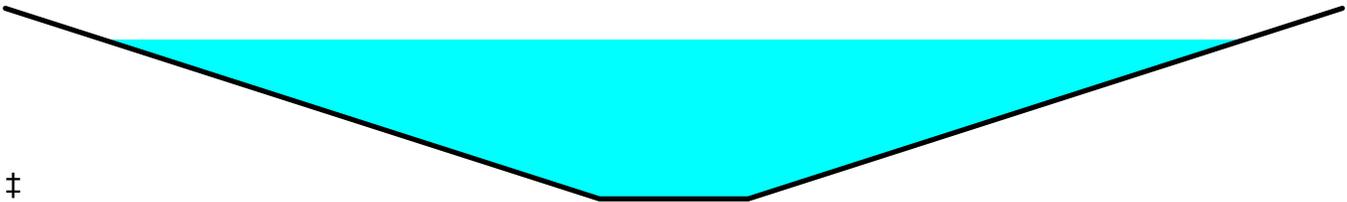
Summary for Reach 2R: Swale

Inflow Area = 1.868 ac, 47.97% Impervious, Inflow Depth = 3.32" for 25-Year event
 Inflow = 8.21 cfs @ 12.17 hrs, Volume= 0.517 af
 Outflow = 7.58 cfs @ 12.21 hrs, Volume= 0.517 af, Atten= 8%, Lag= 2.5 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.08 fps, Min. Travel Time= 3.5 min
 Avg. Velocity = 0.60 fps, Avg. Travel Time= 12.3 min

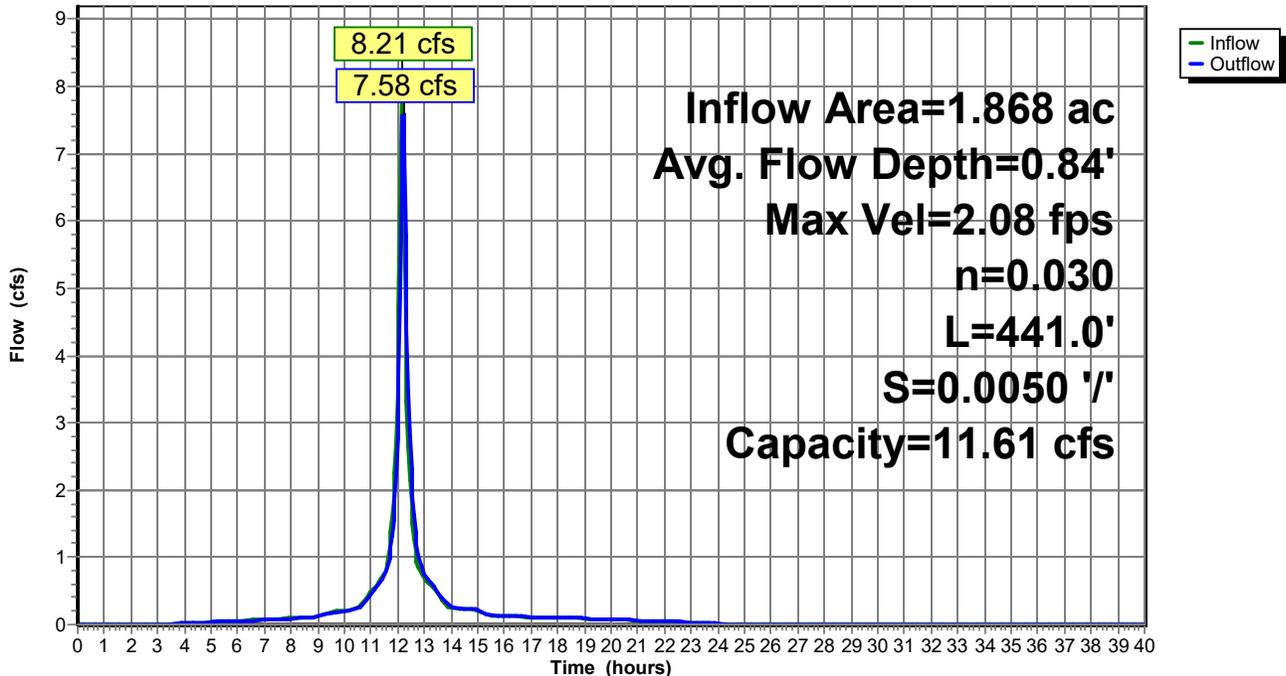
Peak Storage= 1,604 cf @ 12.21 hrs
 Average Depth at Peak Storage= 0.84' , Surface Width= 7.69'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.61 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
 Length= 441.0' Slope= 0.0050 ' / '
 Inlet Invert= 1,171.78', Outlet Invert= 1,169.58'



Reach 2R: Swale

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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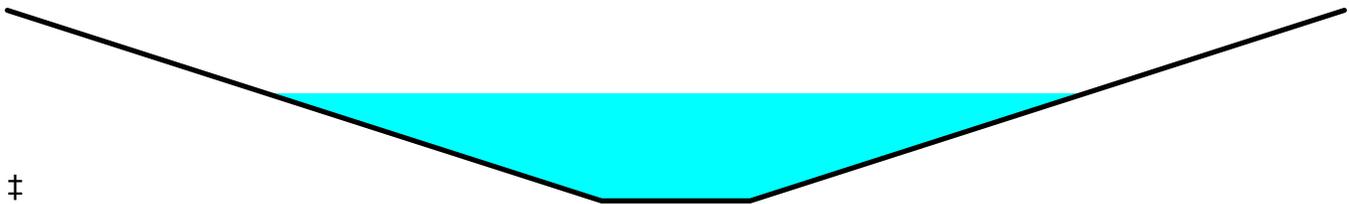
Summary for Reach 3R: Swale

Inflow Area = 0.971 ac, 13.08% Impervious, Inflow Depth = 2.97" for 25-Year event
 Inflow = 3.87 cfs @ 12.17 hrs, Volume= 0.241 af
 Outflow = 3.44 cfs @ 12.22 hrs, Volume= 0.241 af, Atten= 11%, Lag= 3.0 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 1.86 fps, Min. Travel Time= 4.6 min
 Avg. Velocity = 0.52 fps, Avg. Travel Time= 16.5 min

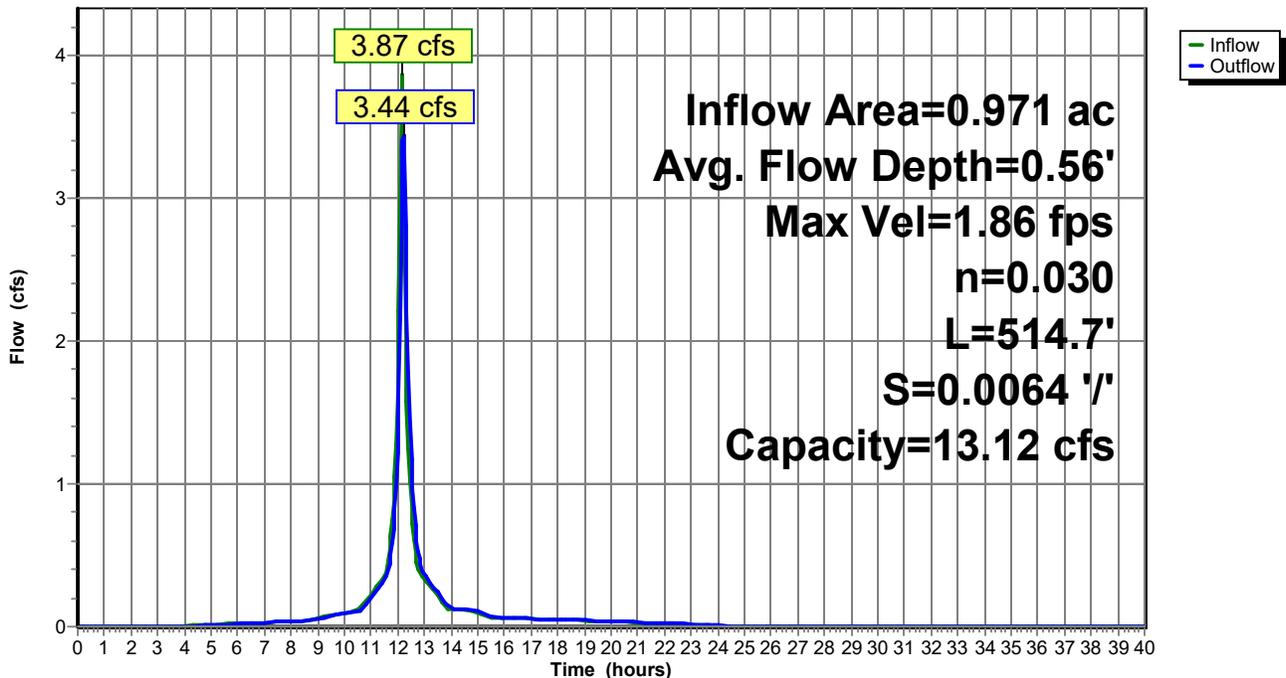
Peak Storage= 948 cf @ 12.22 hrs
 Average Depth at Peak Storage= 0.56' , Surface Width= 5.52'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 13.12 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 514.7' Slope= 0.0064 '/'
 Inlet Invert= 1,171.90', Outlet Invert= 1,168.62'



Reach 3R: Swale

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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Summary for Pond 1P: south basin

Inflow Area = 5.321 ac, 50.61% Impervious, Inflow Depth = 2.18" for 25-Year event
 Inflow = 10.91 cfs @ 12.33 hrs, Volume= 0.965 af
 Outflow = 1.12 cfs @ 13.31 hrs, Volume= 0.965 af, Atten= 90%, Lag= 58.9 min
 Discarded = 1.12 cfs @ 13.31 hrs, Volume= 0.965 af
 Secondary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
 Routed to Link 1L : runoff

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,170.13' @ 13.31 hrs Surf.Area= 13,417 sf Storage= 25,808 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 327.1 min (1,101.9 - 774.8)

Volume	Invert	Avail.Storage	Storage Description
#1	1,166.00'	44,780 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,166.00	3,150	0	0
1,167.00	4,350	3,750	3,750
1,168.00	5,700	5,025	8,775
1,169.00	7,130	6,415	15,190
1,170.00	11,025	9,078	24,268
1,171.00	30,000	20,513	44,780

Device	Routing	Invert	Outlet Devices
#1	Secondary	1,170.18'	20.0' long x 5.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88
#2	Discarded	1,166.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=1.12 cfs @ 13.31 hrs HW=1,170.13' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 1.12 cfs)

Secondary OutFlow Max=0.00 cfs @ 0.00 hrs HW=1,166.00' TW=0.00' (Dynamic Tailwater)
 ↑1=Broad-Crested Rectangular Weir (Controls 0.00 cfs)

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MSE 24-hr 3 25-Year Rainfall=4.51"

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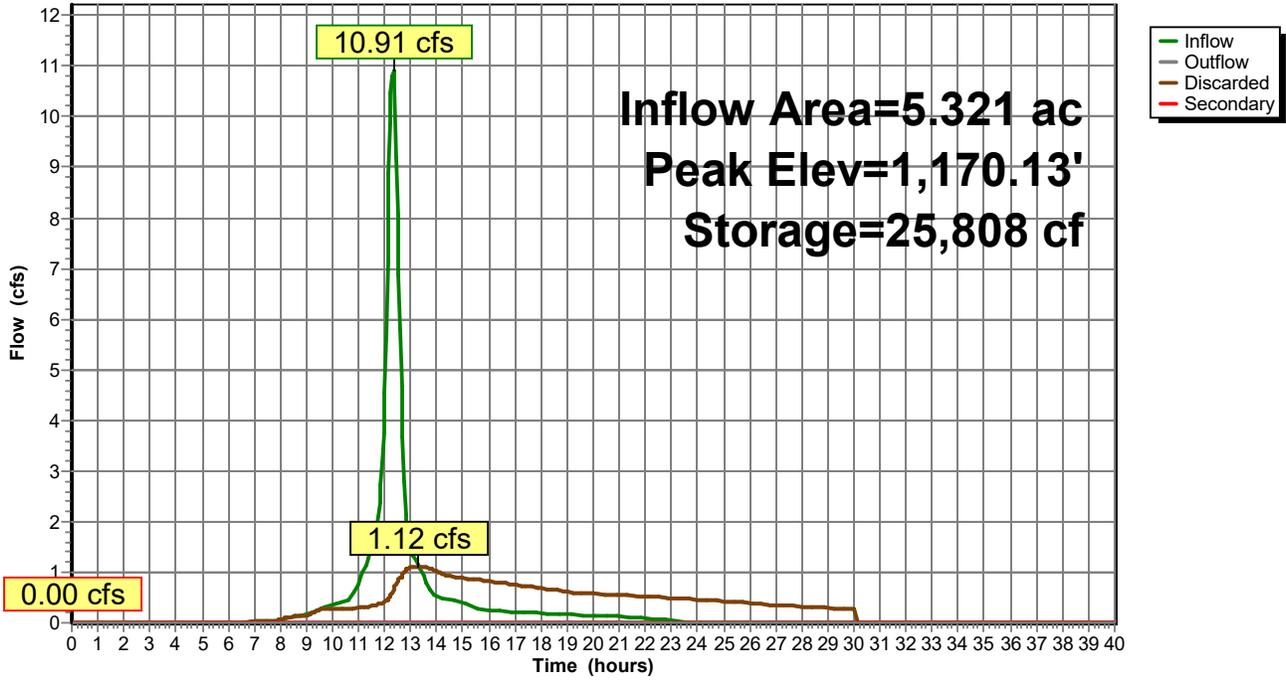
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Pond 1P: south basin

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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Summary for Pond 2P: middle basin

- [62] Hint: Exceeded Reach 1R OUTLET depth by 1.41' @ 13.80 hrs
- [64] Warning: Exceeded Reach 1R outlet bank by 0.97' @ 12.37 hrs
- [62] Hint: Exceeded Reach 2R OUTLET depth by 0.33' @ 13.80 hrs
- [62] Hint: Exceeded Reach 3R OUTLET depth by 1.42' @ 12.40 hrs
- [64] Warning: Exceeded Reach 3R outlet bank by 0.85' @ 12.37 hrs

Inflow Area = 4.693 ac, 50.91% Impervious, Inflow Depth = 3.19" for 25-Year event
 Inflow = 17.57 cfs @ 12.22 hrs, Volume= 1.249 af
 Outflow = 10.68 cfs @ 12.35 hrs, Volume= 1.249 af, Atten= 39%, Lag= 7.7 min
 Discarded = 0.52 cfs @ 12.37 hrs, Volume= 0.395 af
 Primary = 10.17 cfs @ 12.35 hrs, Volume= 0.853 af
 Routed to Pond 1P : south basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,170.47' @ 12.37 hrs Surf.Area= 6,207 sf Storage= 9,825 cf

Plug-Flow detention time= 65.0 min calculated for 1.247 af (100% of inflow)
 Center-of-Mass det. time= 65.1 min (829.7 - 764.6)

Volume	Invert	Avail.Storage	Storage Description
#1	1,167.00'	27,600 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,167.00	480	0	0
1,168.00	1,120	800	800
1,169.00	3,210	2,165	2,965
1,170.00	5,130	4,170	7,135
1,171.00	7,400	6,265	13,400
1,172.00	21,000	14,200	27,600

Device	Routing	Invert	Outlet Devices
#1	Primary	1,168.00'	18.0" Round Culvert L= 66.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 1,168.00' / 1,167.67' S= 0.0050 '/' Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Discarded	1,167.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.52 cfs @ 12.37 hrs HW=1,170.47' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 0.52 cfs)

Primary OutFlow Max=9.89 cfs @ 12.35 hrs HW=1,170.46' TW=1,169.11' (Dynamic Tailwater)
 ↑1=Culvert (Inlet Controls 9.89 cfs @ 5.60 fps)

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MSE 24-hr 3 25-Year Rainfall=4.51"

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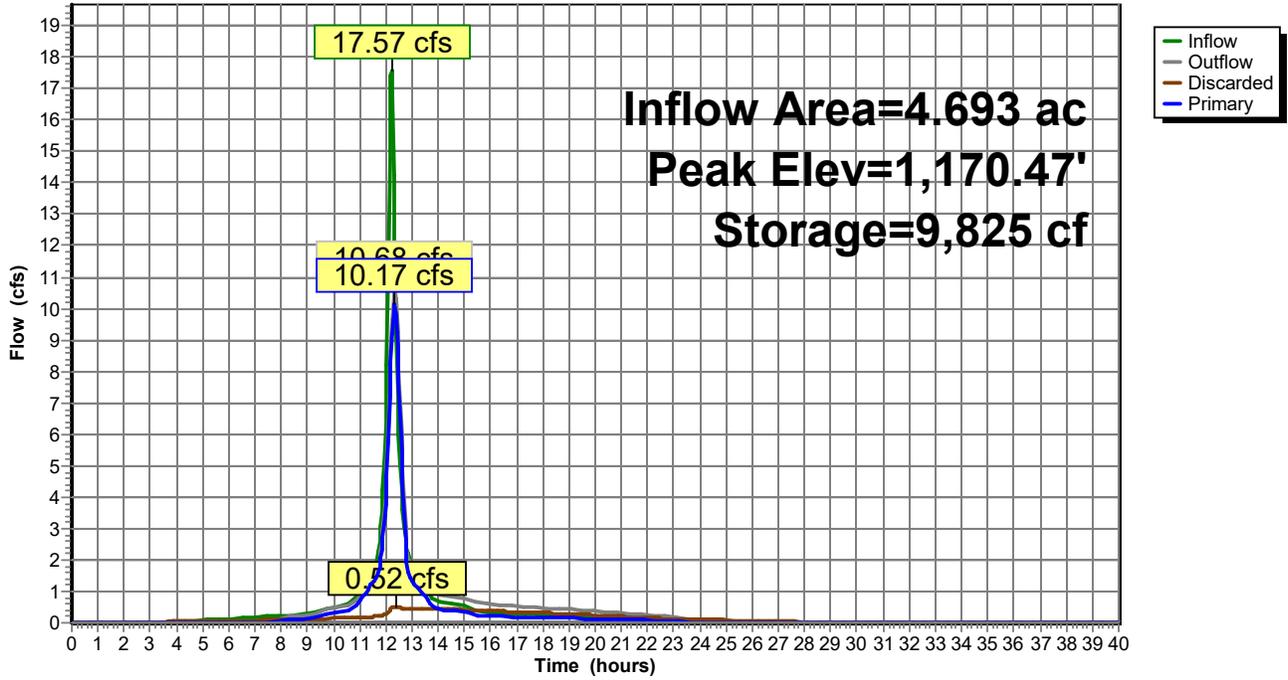
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Pond 2P: middle basin

Hydrograph



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MSE 24-hr 3 25-Year Rainfall=4.51"

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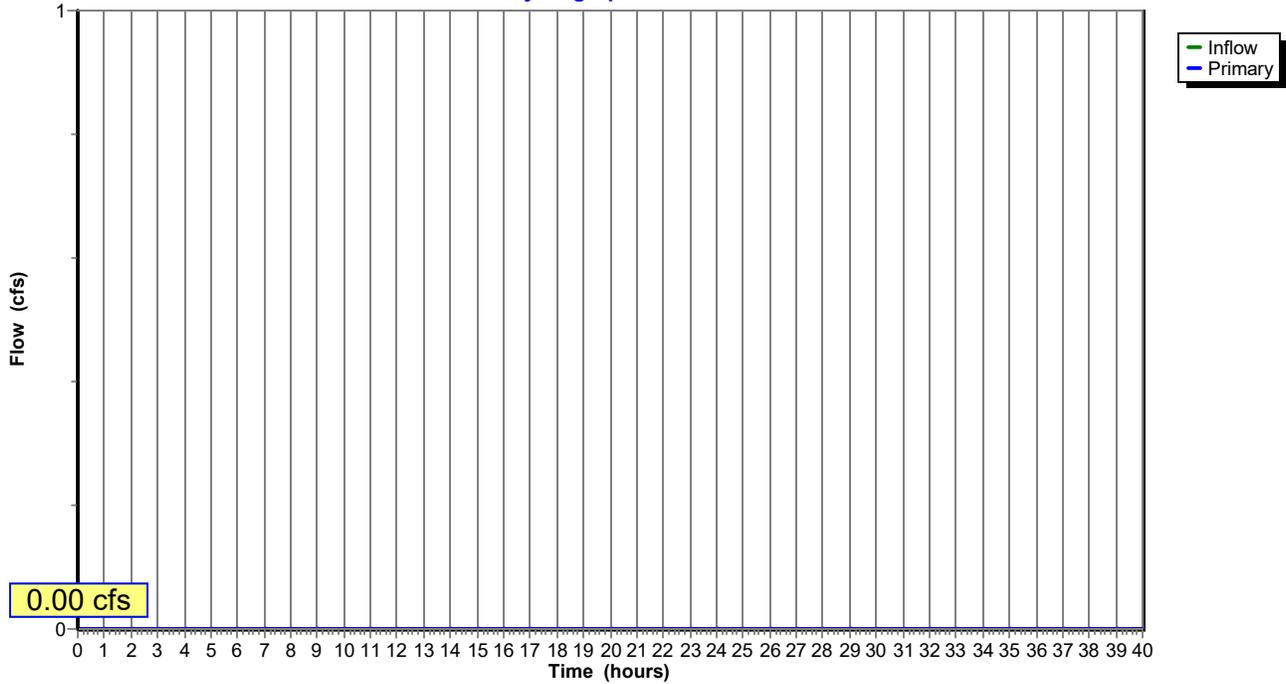
Summary for Link 1L: runoff

Inflow = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af
Primary = 0.00 cfs @ 0.00 hrs, Volume= 0.000 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Link 1L: runoff

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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Time span=0.00-40.00 hrs, dt=0.05 hrs, 801 points
 Runoff by SCS TR-20 method, UH=SCS, Weighted-Q
 Reach routing by Dyn-Stor-Ind method - Pond routing by Dyn-Stor-Ind method

Subcatchment D1: north parking	Runoff Area=1.854 ac 73.68% Impervious Runoff Depth=4.24" Tc=10.0 min CN=WQ Runoff=10.03 cfs 0.655 af
Subcatchment D2: west side ls bld	Runoff Area=1.868 ac 47.97% Impervious Runoff Depth=4.44" Tc=10.0 min CN=WQ Runoff=10.74 cfs 0.690 af
Subcatchment D3: east side ls bld	Runoff Area=0.971 ac 13.08% Impervious Runoff Depth=4.02" Tc=10.0 min CN=WQ Runoff=5.09 cfs 0.325 af
Subcatchment D4: roadway	Runoff Area=0.628 ac 48.41% Impervious Runoff Depth=2.92" Tc=10.0 min CN=WQ Runoff=2.26 cfs 0.153 af
Reach 1R: Swale	Avg. Flow Depth=0.89' Max Vel=2.15 fps Inflow=10.03 cfs 0.655 af n=0.030 L=689.0' S=0.0050 '/' Capacity=11.62 cfs Outflow=8.71 cfs 0.655 af
Reach 2R: Swale	Avg. Flow Depth=0.94' Max Vel=2.24 fps Inflow=10.74 cfs 0.690 af n=0.030 L=441.0' S=0.0050 '/' Capacity=11.61 cfs Outflow=10.01 cfs 0.690 af
Reach 3R: Swale	Avg. Flow Depth=0.64' Max Vel=2.01 fps Inflow=5.09 cfs 0.325 af n=0.030 L=514.7' S=0.0064 '/' Capacity=13.12 cfs Outflow=4.58 cfs 0.325 af
Pond 1P: south basin	Peak Elev=1,170.38' Storage=29,767 cf Inflow=12.85 cfs 1.366 af Discarded=1.51 cfs 1.139 af Secondary=4.08 cfs 0.228 af Outflow=5.60 cfs 1.367 af
Pond 2P: middle basin	Peak Elev=1,171.13' Storage=14,462 cf Inflow=23.27 cfs 1.671 af Discarded=0.76 cfs 0.457 af Primary=11.26 cfs 1.213 af Outflow=11.84 cfs 1.671 af
Link 1L: runoff	Inflow=4.08 cfs 0.228 af Primary=4.08 cfs 0.228 af

Total Runoff Area = 5.321 ac Runoff Volume = 1.824 af Average Runoff Depth = 4.11"
49.39% Pervious = 2.628 ac 50.61% Impervious = 2.693 ac

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MSE 24-hr 3 100-Year Rainfall=5.85"

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Summary for Subcatchment D1: north parking

Runoff = 10.03 cfs @ 12.17 hrs, Volume= 0.655 af, Depth= 4.24"
 Routed to Reach 1R : Swale

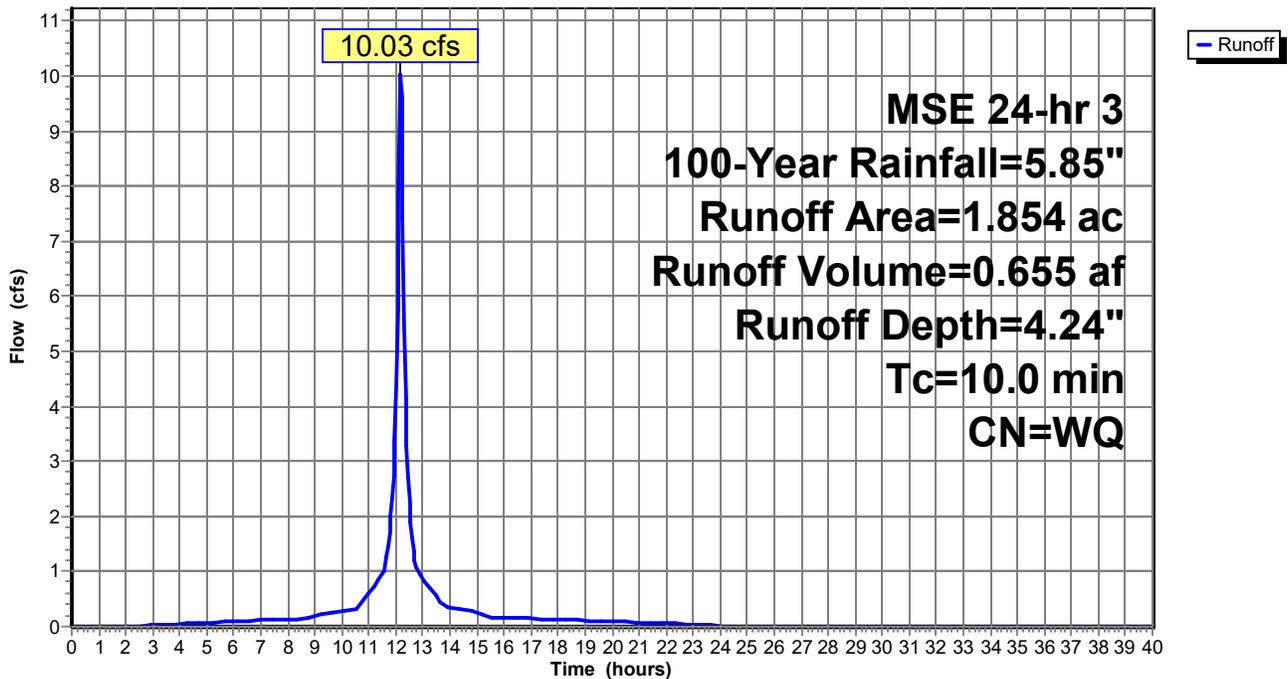
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-Year Rainfall=5.85"

Area (ac)	CN	Description
* 0.532	98	future parking
* 0.257	98	future building
0.488	39	>75% Grass cover, Good, HSG A
* 0.310	98	proposed parking
* 0.257	98	proposed building
* 0.005	98	stoop
* 0.005	98	future stoop
1.854		Weighted Average
0.488		26.32% Pervious Area
1.366		73.68% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, minimum

Subcatchment D1: north parking

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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Summary for Subcatchment D2: west side ls bld

Runoff = 10.74 cfs @ 12.17 hrs, Volume= 0.690 af, Depth= 4.44"
 Routed to Reach 2R : Swale

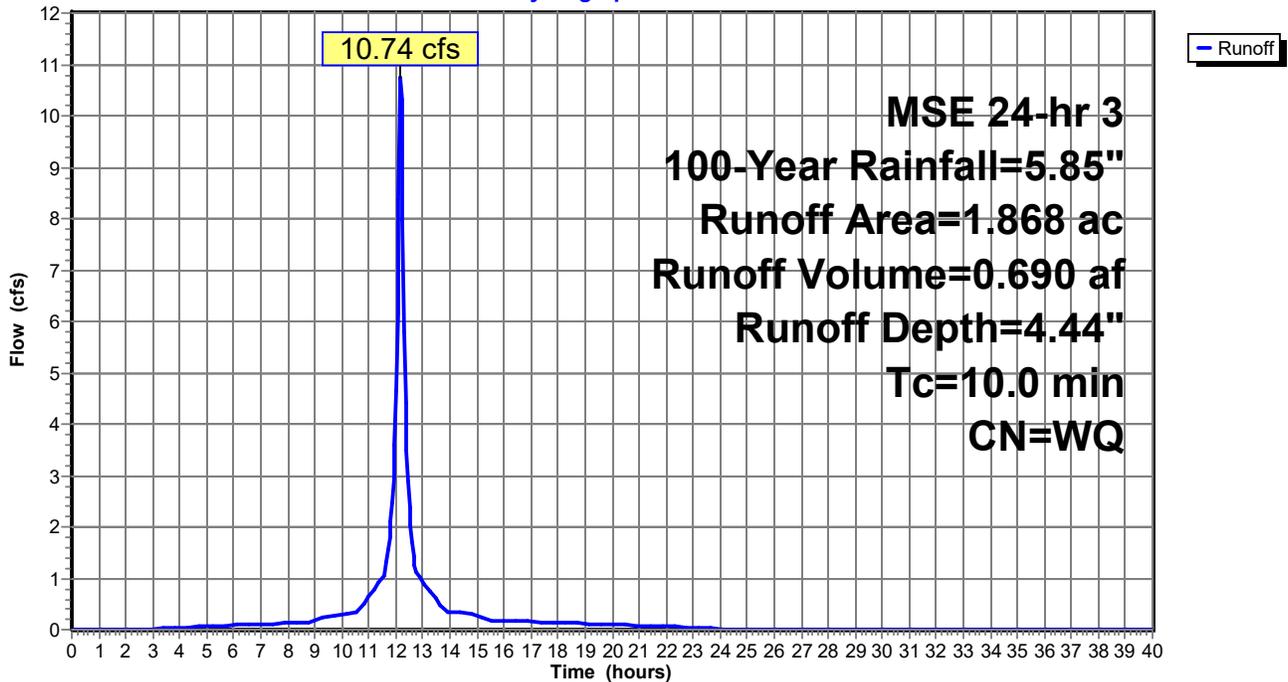
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-Year Rainfall=5.85"

Area (ac)	CN	Description
* 0.297	98	parking lot
* 0.576	96	gravel park
* 0.321	98	prop building
* 0.005	98	future sw
* 0.005	98	prop sidewalk
* 0.257	98	future bld
0.396	39	>75% Grass cover, Good, HSG A
* 0.011	98	basin
1.868		Weighted Average
0.972		52.03% Pervious Area
0.896		47.97% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D2: west side ls bld

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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Summary for Subcatchment D3: east side ls bld

Runoff = 5.09 cfs @ 12.17 hrs, Volume= 0.325 af, Depth= 4.02"
 Routed to Reach 3R : Swale

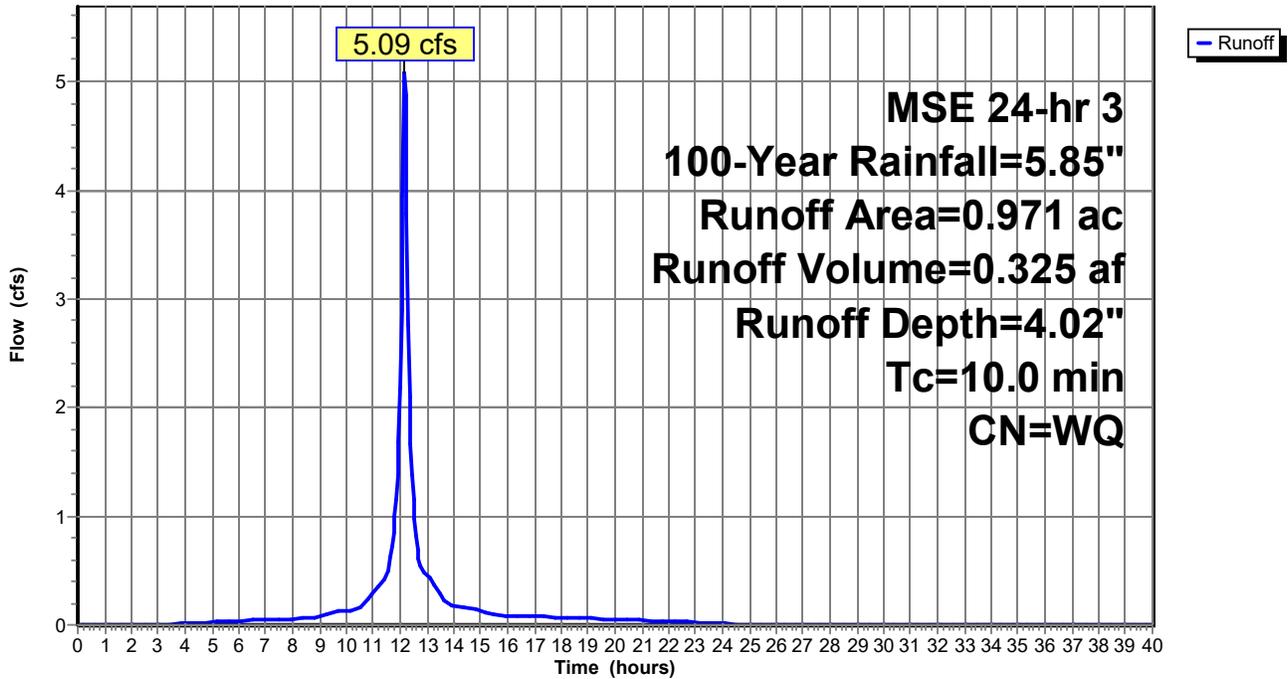
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-Year Rainfall=5.85"

Area (ac)	CN	Description
* 0.035	98	prop parking
* 0.572	96	prop gravel
* 0.064	98	prop building
* 0.028	98	basin
0.272	39	>75% Grass cover, Good, HSG A
0.971		Weighted Average
0.844		86.92% Pervious Area
0.127		13.08% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D3: east side ls bld

Hydrograph



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Summary for Subcatchment D4: roadway

Runoff = 2.26 cfs @ 12.17 hrs, Volume= 0.153 af, Depth= 2.92"
 Routed to Pond 1P : south basin

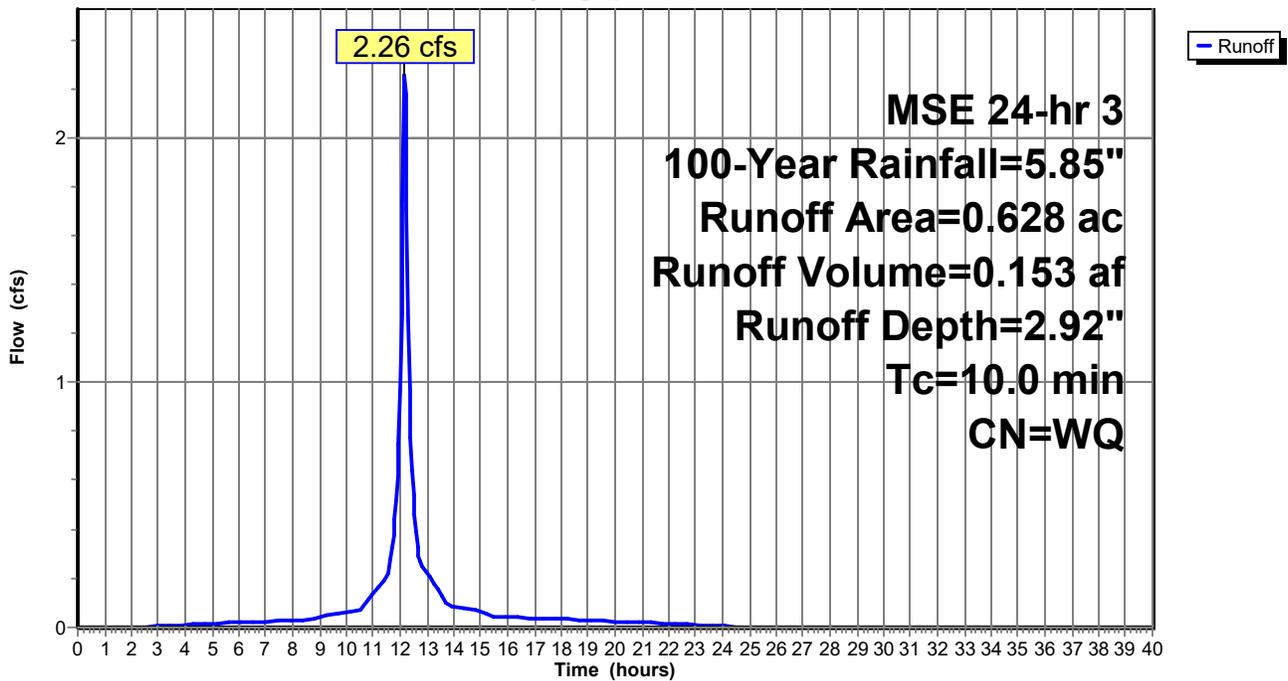
Runoff by SCS TR-20 method, UH=SCS, Weighted-Q, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 MSE 24-hr 3 100-Year Rainfall=5.85"

Area (ac)	CN	Description
* 0.232	98	pavement
0.324	39	>75% Grass cover, Good, HSG A
* 0.072	98	basin
0.628		Weighted Average
0.324		51.59% Pervious Area
0.304		48.41% Impervious Area

Tc (min)	Length (feet)	Slope (ft/ft)	Velocity (ft/sec)	Capacity (cfs)	Description
10.0					Direct Entry, min

Subcatchment D4: roadway

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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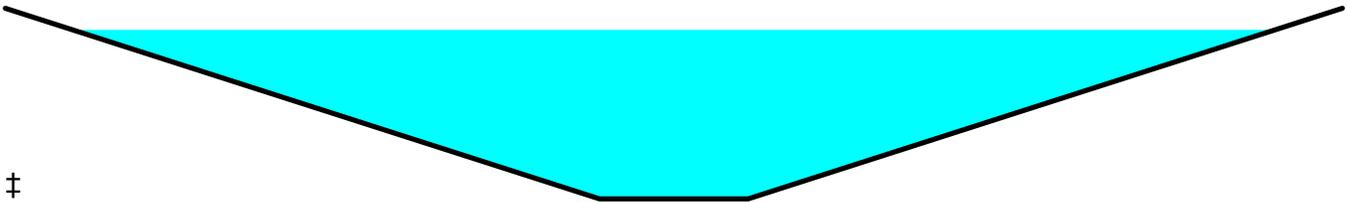
Summary for Reach 1R: Swale

Inflow Area = 1.854 ac, 73.68% Impervious, Inflow Depth = 4.24" for 100-Year event
 Inflow = 10.03 cfs @ 12.17 hrs, Volume= 0.655 af
 Outflow = 8.71 cfs @ 12.22 hrs, Volume= 0.655 af, Atten= 13%, Lag= 3.3 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.15 fps, Min. Travel Time= 5.3 min
 Avg. Velocity = 0.61 fps, Avg. Travel Time= 18.9 min

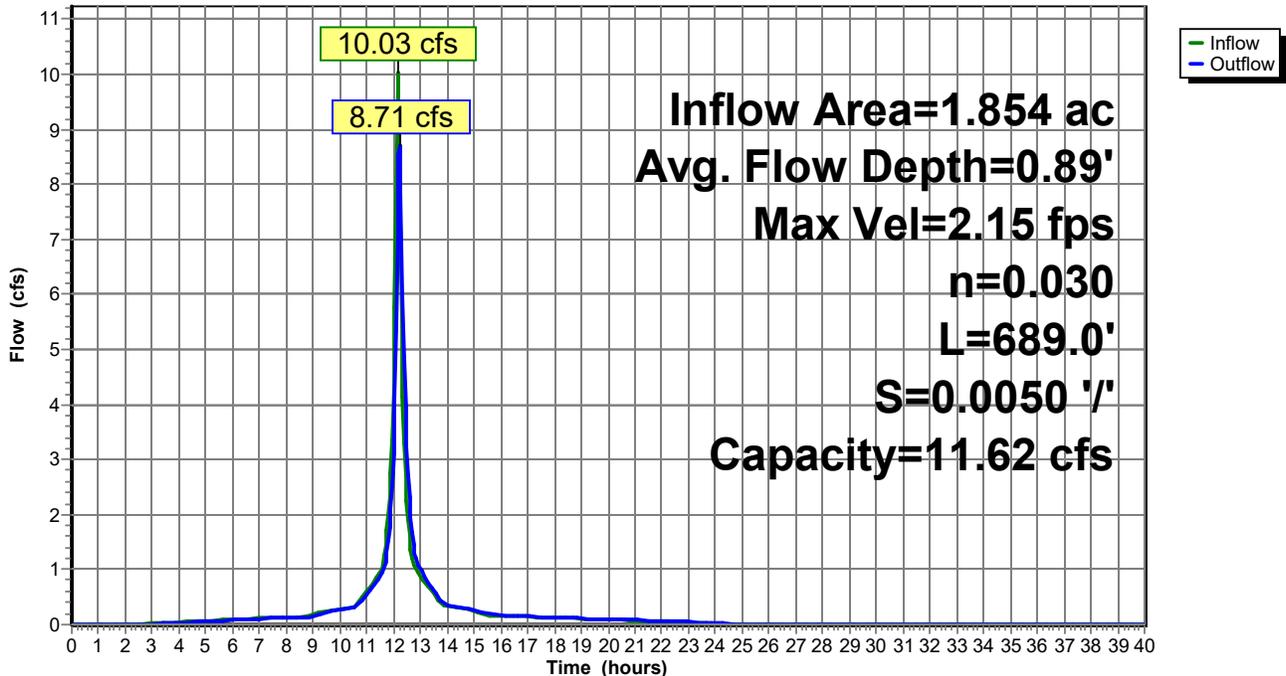
Peak Storage= 2,780 cf @ 12.22 hrs
 Average Depth at Peak Storage= 0.89' , Surface Width= 8.10'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.62 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 689.0' Slope= 0.0050 '/'
 Inlet Invert= 1,171.94', Outlet Invert= 1,168.50'



Reach 1R: Swale

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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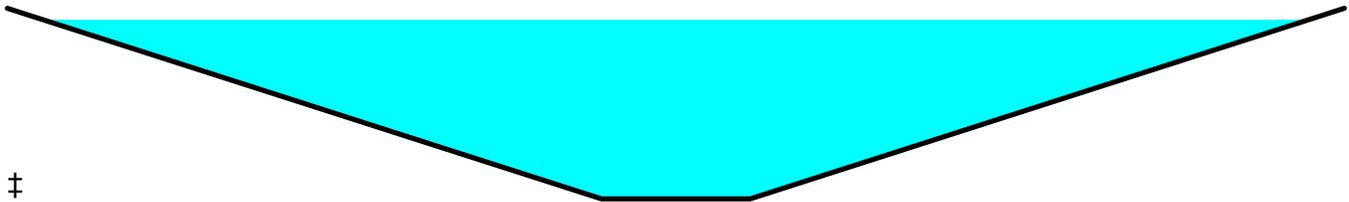
Summary for Reach 2R: Swale

Inflow Area = 1.868 ac, 47.97% Impervious, Inflow Depth = 4.44" for 100-Year event
 Inflow = 10.74 cfs @ 12.17 hrs, Volume= 0.690 af
 Outflow = 10.01 cfs @ 12.21 hrs, Volume= 0.690 af, Atten= 7%, Lag= 2.3 min
 Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Max. Velocity= 2.24 fps, Min. Travel Time= 3.3 min
 Avg. Velocity = 0.65 fps, Avg. Travel Time= 11.3 min

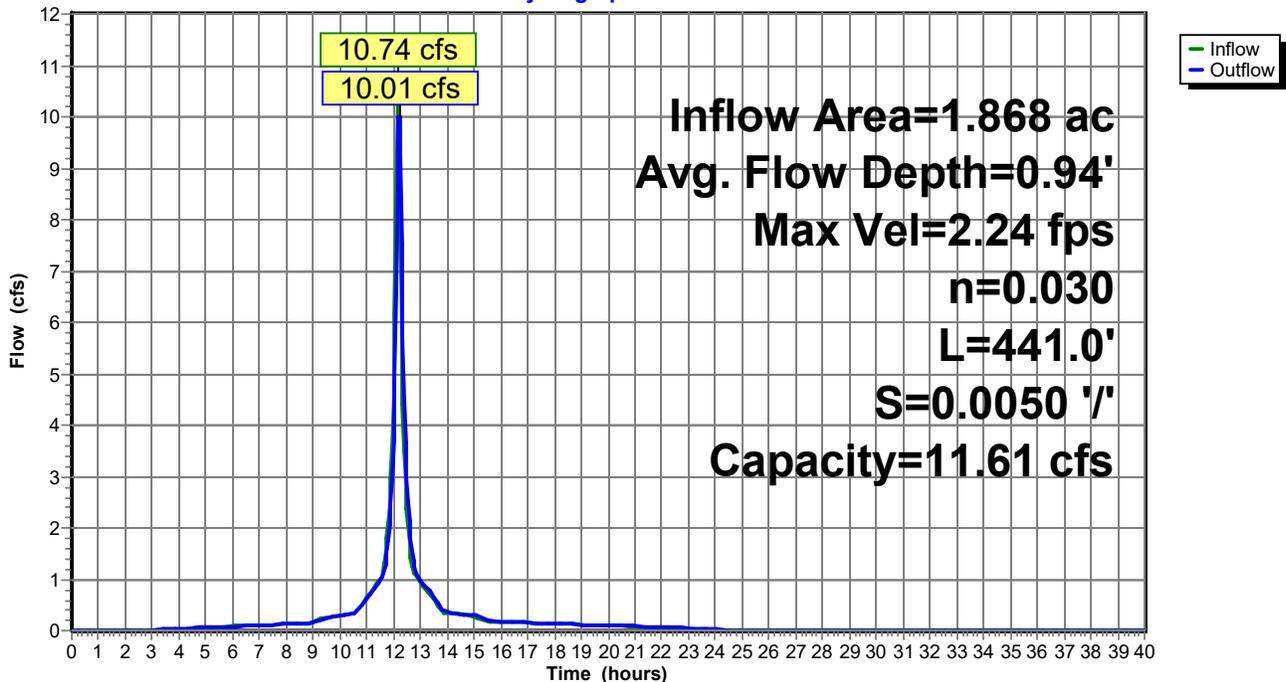
Peak Storage= 1,974 cf @ 12.21 hrs
 Average Depth at Peak Storage= 0.94' , Surface Width= 8.52'
 Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 11.61 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
 Side Slope Z-value= 4.0 '/' Top Width= 9.00'
 Length= 441.0' Slope= 0.0050 '/'
 Inlet Invert= 1,171.78', Outlet Invert= 1,169.58'



Reach 2R: Swale

Hydrograph



25-0410 hydrocad 11-17-25

MSE 24-hr 3 100-Year Rainfall=5.85"

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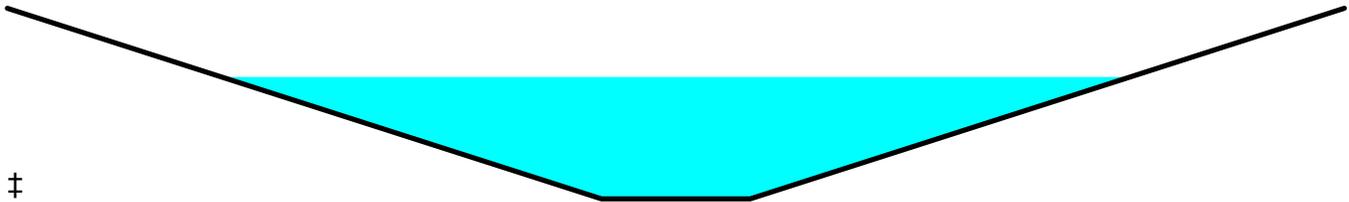
Summary for Reach 3R: Swale

Inflow Area = 0.971 ac, 13.08% Impervious, Inflow Depth = 4.02" for 100-Year event
Inflow = 5.09 cfs @ 12.17 hrs, Volume= 0.325 af
Outflow = 4.58 cfs @ 12.22 hrs, Volume= 0.325 af, Atten= 10%, Lag= 2.8 min
Routed to Pond 2P : middle basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
Max. Velocity= 2.01 fps, Min. Travel Time= 4.3 min
Avg. Velocity = 0.57 fps, Avg. Travel Time= 15.1 min

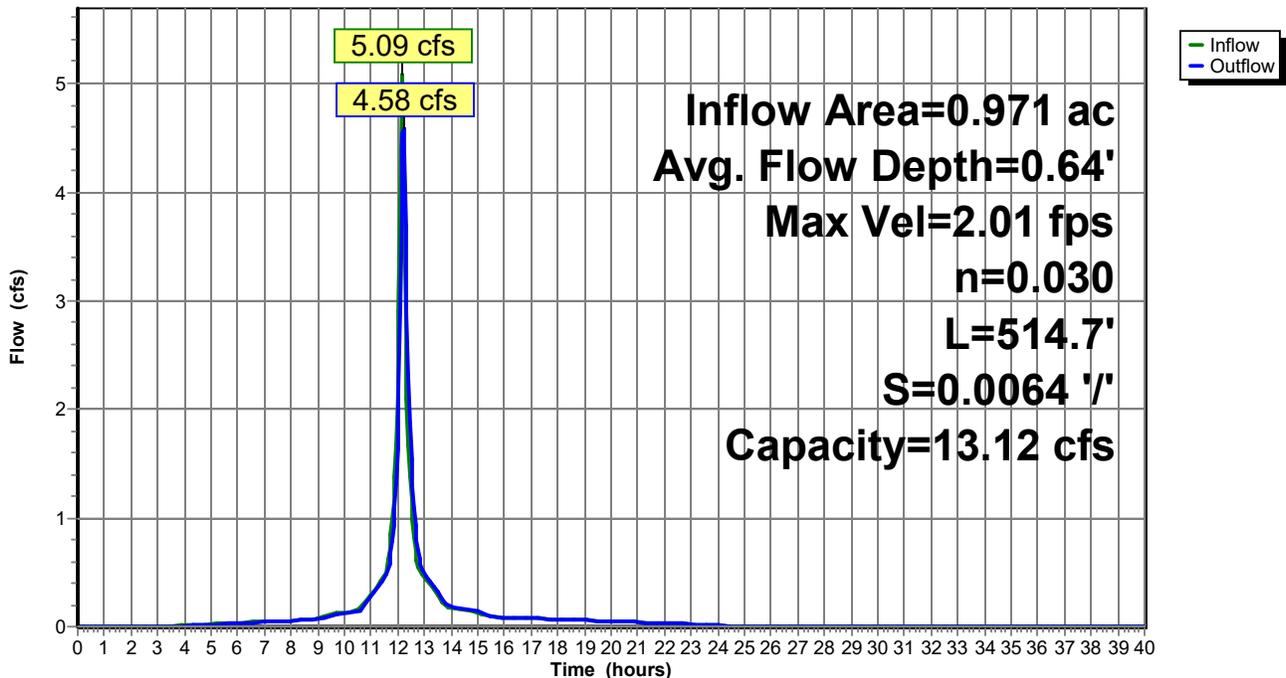
Peak Storage= 1,173 cf @ 12.22 hrs
Average Depth at Peak Storage= 0.64' , Surface Width= 6.12'
Bank-Full Depth= 1.00' Flow Area= 5.0 sf, Capacity= 13.12 cfs

1.00' x 1.00' deep channel, n= 0.030 Earth, grassed & winding
Side Slope Z-value= 4.0 ' / ' Top Width= 9.00'
Length= 514.7' Slope= 0.0064 ' / '
Inlet Invert= 1,171.90', Outlet Invert= 1,168.62'



Reach 3R: Swale

Hydrograph



25-0410 hydrocad 11-17-25

MSE 24-hr 3 100-Year Rainfall=5.85"

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Summary for Pond 1P: south basin

Inflow Area = 5.321 ac, 50.61% Impervious, Inflow Depth = 3.08" for 100-Year event
 Inflow = 12.85 cfs @ 12.25 hrs, Volume= 1.366 af
 Outflow = 5.60 cfs @ 12.79 hrs, Volume= 1.367 af, Atten= 56%, Lag= 31.9 min
 Discarded = 1.51 cfs @ 12.79 hrs, Volume= 1.139 af
 Secondary = 4.08 cfs @ 12.79 hrs, Volume= 0.228 af
 Routed to Link 1L : runoff

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,170.38' @ 12.79 hrs Surf.Area= 18,172 sf Storage= 29,767 cf

Plug-Flow detention time= (not calculated: outflow precedes inflow)
 Center-of-Mass det. time= 268.3 min (1,042.4 - 774.1)

Volume	Invert	Avail.Storage	Storage Description
#1	1,166.00'	44,780 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,166.00	3,150	0	0
1,167.00	4,350	3,750	3,750
1,168.00	5,700	5,025	8,775
1,169.00	7,130	6,415	15,190
1,170.00	11,025	9,078	24,268
1,171.00	30,000	20,513	44,780

Device	Routing	Invert	Outlet Devices
#1	Secondary	1,170.18'	20.0' long x 5.0' breadth Broad-Crested Rectangular Weir Head (feet) 0.20 0.40 0.60 0.80 1.00 1.20 1.40 1.60 1.80 2.00 2.50 3.00 3.50 4.00 4.50 5.00 5.50 Coef. (English) 2.34 2.50 2.70 2.68 2.68 2.66 2.65 2.65 2.65 2.65 2.67 2.66 2.68 2.70 2.74 2.79 2.88
#2	Discarded	1,166.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=1.51 cfs @ 12.79 hrs HW=1,170.38' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 1.51 cfs)

Secondary OutFlow Max=4.07 cfs @ 12.79 hrs HW=1,170.38' TW=0.00' (Dynamic Tailwater)
 ↑1=Broad-Crested Rectangular Weir (Weir Controls 4.07 cfs @ 1.04 fps)

25-0410 hydrocad 11-17-25

MSE 24-hr 3 100-Year Rainfall=5.85"

Prepared by Vreeland Associates

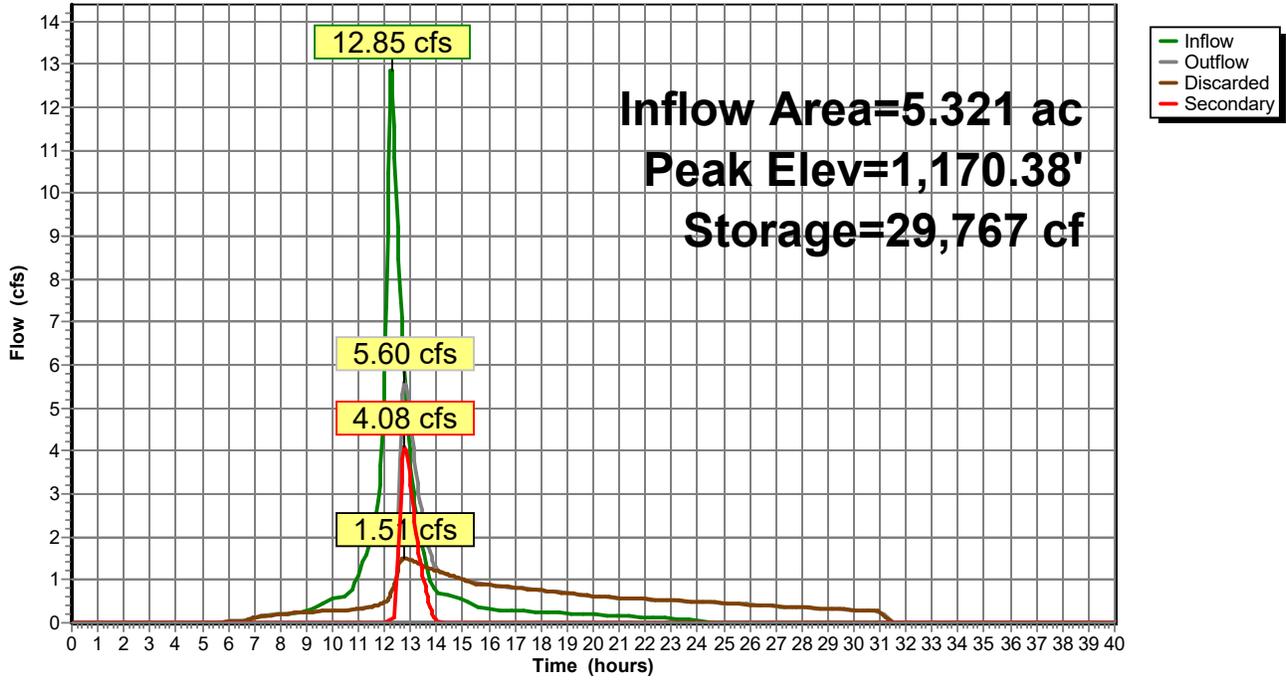
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Pond 1P: south basin

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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Summary for Pond 2P: middle basin

- [62] Hint: Exceeded Reach 1R OUTLET depth by 2.03' @ 12.55 hrs
- [64] Warning: Exceeded Reach 1R outlet bank by 1.63' @ 12.43 hrs
- [62] Hint: Exceeded Reach 2R OUTLET depth by 0.97' @ 12.55 hrs
- [64] Warning: Exceeded Reach 2R outlet bank by 0.55' @ 12.43 hrs
- [62] Hint: Exceeded Reach 3R OUTLET depth by 2.09' @ 12.50 hrs
- [64] Warning: Exceeded Reach 3R outlet bank by 1.51' @ 12.43 hrs

Inflow Area = 4.693 ac, 50.91% Impervious, Inflow Depth = 4.27" for 100-Year event
 Inflow = 23.27 cfs @ 12.22 hrs, Volume= 1.671 af
 Outflow = 11.84 cfs @ 12.27 hrs, Volume= 1.671 af, Atten= 49%, Lag= 3.4 min
 Discarded = 0.76 cfs @ 12.43 hrs, Volume= 0.457 af
 Primary = 11.26 cfs @ 12.27 hrs, Volume= 1.213 af
 Routed to Pond 1P : south basin

Routing by Dyn-Stor-Ind method, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs
 Peak Elev= 1,171.13' @ 12.43 hrs Surf.Area= 9,147 sf Storage= 14,462 cf

Plug-Flow detention time= 60.0 min calculated for 1.669 af (100% of inflow)
 Center-of-Mass det. time= 60.1 min (822.1 - 761.9)

Volume	Invert	Avail.Storage	Storage Description
#1	1,167.00'	27,600 cf	Custom Stage Data (Prismatic) Listed below (Recalc)
Elevation (feet)	Surf.Area (sq-ft)	Inc.Store (cubic-feet)	Cum.Store (cubic-feet)
1,167.00	480	0	0
1,168.00	1,120	800	800
1,169.00	3,210	2,165	2,965
1,170.00	5,130	4,170	7,135
1,171.00	7,400	6,265	13,400
1,172.00	21,000	14,200	27,600

Device	Routing	Invert	Outlet Devices
#1	Primary	1,168.00'	18.0" Round Culvert L= 66.0' RCP, square edge headwall, Ke= 0.500 Inlet / Outlet Invert= 1,168.00' / 1,167.67' S= 0.0050 '/ Cc= 0.900 n= 0.012, Flow Area= 1.77 sf
#2	Discarded	1,167.00'	3.600 in/hr Exfiltration over Surface area

Discarded OutFlow Max=0.76 cfs @ 12.43 hrs HW=1,171.13' (Free Discharge)
 ↑2=Exfiltration (Exfiltration Controls 0.76 cfs)

Primary OutFlow Max=10.22 cfs @ 12.27 hrs HW=1,170.82' TW=1,169.38' (Dynamic Tailwater)
 ↑1=Culvert (Inlet Controls 10.22 cfs @ 5.78 fps)

25-0410 hydrocad 11-17-25

MSE 24-hr 3 100-Year Rainfall=5.85"

Prepared by Vreeland Associates

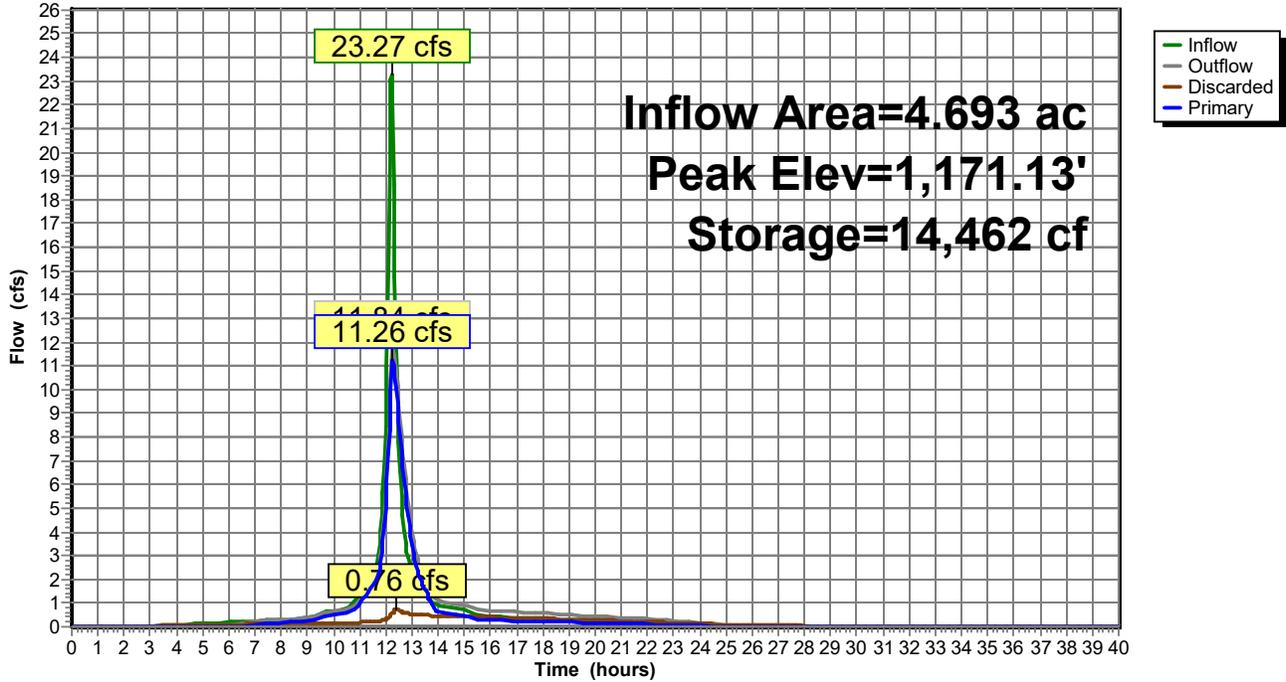
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Pond 2P: middle basin

Hydrograph



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MSE 24-hr 3 100-Year Rainfall=5.85"

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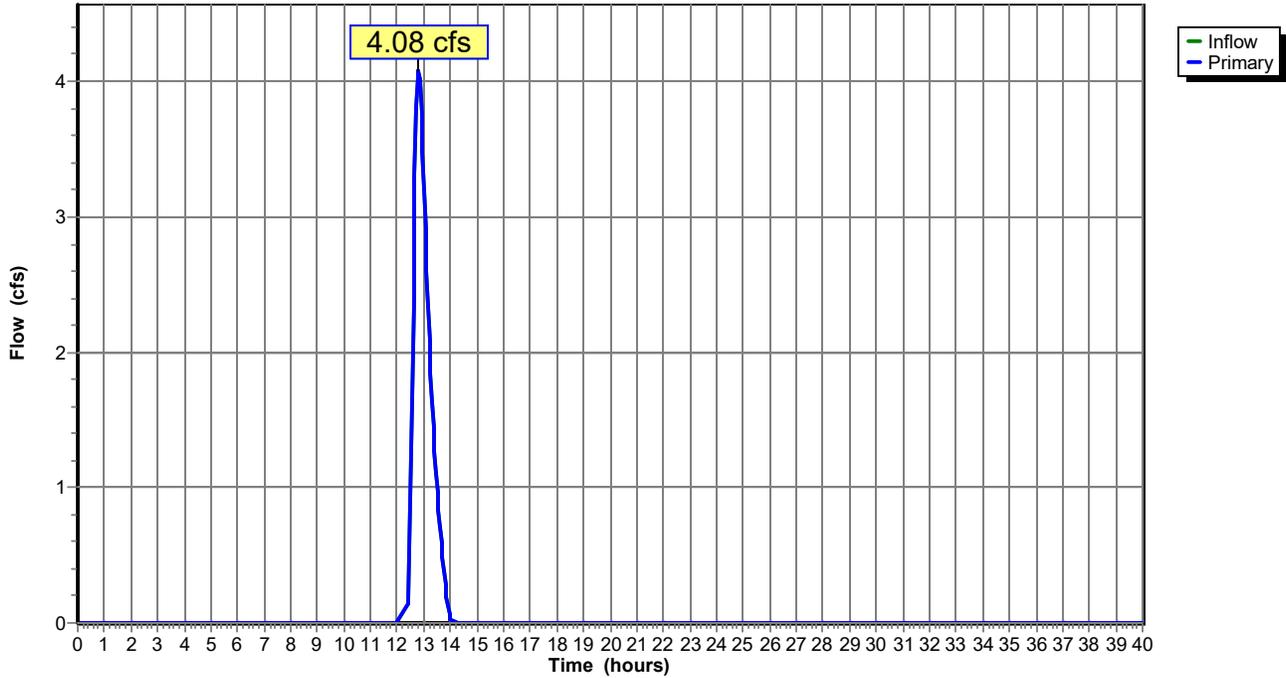
Summary for Link 1L: runoff

Inflow = 4.08 cfs @ 12.79 hrs, Volume= 0.228 af
Primary = 4.08 cfs @ 12.79 hrs, Volume= 0.228 af, Atten= 0%, Lag= 0.0 min

Primary outflow = Inflow, Time Span= 0.00-40.00 hrs, dt= 0.05 hrs

Link 1L: runoff

Hydrograph



25-0410 hydrocad 11-17-25

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- 7 Subcat D2: west side ls bld
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- 10 Reach 1R: Swale
- 11 Reach 2R: Swale
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2-Year Event

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- 20 Subcat D2: west side ls bld
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- 32 Subcat D1: north parking
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- 35 Subcat D4: roadway
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- 39 Pond 1P: south basin
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- 58 Subcat D1: north parking
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- 61 Subcat D4: roadway
- 62 Reach 1R: Swale
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- 65 Pond 1P: south basin
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APPENDIX D

Proposed Infiltration and WinSLAMM Calculations

Infiltration Volumes

Premier Property Holdings LLC

Location: Village of Kronenwetter

Existing Infiltration Volume:

Inflow Area: 241,192 sf
Rainfall Total: 22.63 in

Total Volume= Inflow Area x Rainfall Total
Total Volume: 454,847 cf

Volume Leaving Site: 0

Existing Infiltration Volume = Total Volume-Volume Leaving Site
Existing Infiltration Volume: 454,847 cf

Proposed Infiltration Volume:

Inflow Area: 241,192 sf
Total Rainfall Infiltrated: 22.63 in

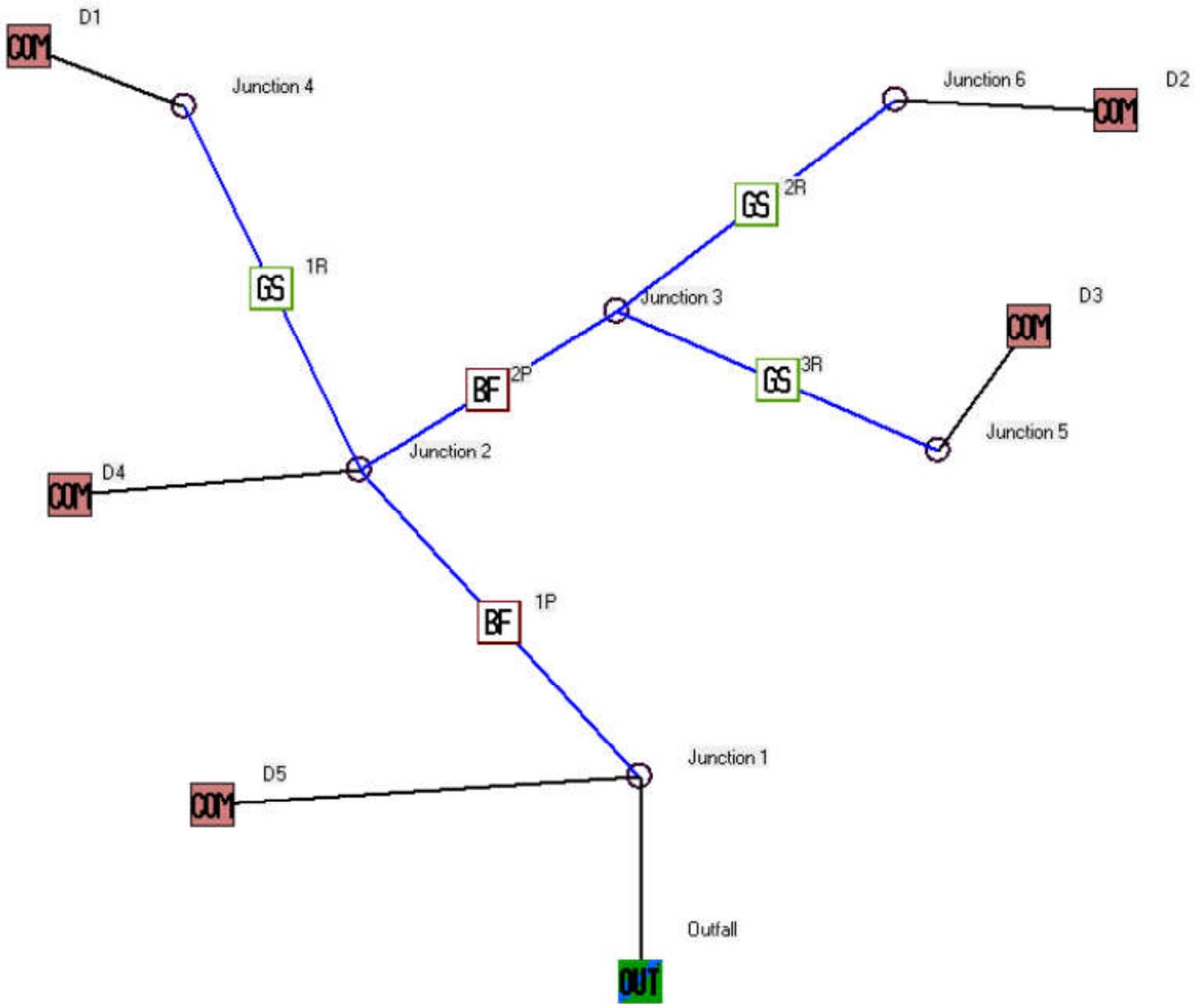
Total Volume= Inflow Area x Rainfall Total
Total Potential Volume Runoff: 454,847 cf
Outfall Total (from WinSLAMM): 9,511 cf
Proposed Infiltration Volume 445,336 cf

Percent of Pre-development Infiltration Volume Infiltrated:

Infiltration Percent = Proposed Infiltration Volume/Existing Infiltration Volume
Infiltration Percent: 97.91%

Calculated by: **Dustin Vreeland**

Date: 11/21/2025



Data file name: \\VREELAND-SERVER\Data\Vital\Cad Files\2025\25-0410 Tesch\25-04

winslamm 11-17-25.mdb

WinSLAMM Version 10.5.0

Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Green Bay WI 1969.RAN

Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx

Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx

Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban

Dec06.std

Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Freeway Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std

Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance:

False

Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GE003.ppdx

Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area

PSD Files.csv

Cost Data file name:

Seed for random number generator: -42

Study period starting date: 01/02/69

Study period ending date: 12/28/69

Start of Winter Season: 11/25

End of Winter Season: 03/29

Date: 02-05-2026

Time: 10:02:23

Site information:

Pre-Development Area Description	Pre-Development Area (ac)	Pre-Development CN
gravel	.240	96
building	.180	98
woods	2.590	30
grass	1.882	39
Total Area (ac)/Composite CN	4.892	39

LU# 1 - Commercial: D1 Total area (ac): 1.854

1 - Roofs 1: 0.257 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 0.257 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

13 - Paved Parking 1: 0.532 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

14 - Paved Parking 2: 0.310 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

31 - Sidewalks 1: 0.005 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

32 - Sidewalks 2: 0.005 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

51 - Small Landscaped Areas 1: 0.488 ac. Normal Sandy Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

LU# 2 - Commercial: D2 Total area (ac): 1.868

1 - Roofs 1: 0.321 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

2 - Roofs 2: 0.257 ac. Pitched Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

13 - Paved Parking 1: 0.297 ac. Connected Source Area PSD File: C:\WinSLAMM Files\NURP.cpz

19 - Unpaved Parking 1: 0.576 ac. Connected Source Area PSD File: C:\WinSLA

2. Bottom area (square feet) = 480
3. Depth (ft): 5
4. Biofilter width (ft) - for Cost Purposes Only: 10
5. Infiltration rate (in/hr) = 3.6
6. Random infiltration rate generation? No
7. Infiltration rate fraction (side): 0.001
8. Infiltration rate fraction (bottom): 1
9. Depth of biofilter that is rock filled (ft) 0
10. Porosity of rock filled volume = 0
11. Engineered soil infiltration rate: 0
12. Engineered soil depth (ft) = 0
13. Engineered soil porosity = 0
14. Percent solids reduction due to flow through engineered soil = 0
15. Biofilter peak to average flow ratio = 3.8
16. Number of biofiltration control devices = 1
17. Particle size distribution file: Not needed - calculated by program
18. Initial water surface elevation (ft): 0
 - Soil Data
 - Soil Type Fraction in Eng. Soil
 - Biofilter Outlet/Discharge Characteristics:
 - Outlet type: Broad Crested Weir
 1. Weir crest length (ft): 20
 2. Weir crest width (ft): 5
 3. Height of datum to bottom of weir opening: 4.5
 - Outlet type: Surface Discharge Pipe
 1. Surface discharge pipe outlet diameter (ft): 1.5
 2. Pipe invert elevation above datum (ft): 1
 3. Number of surface pipe outlets: 1

Control Practice 3: Grass Swale CP# 1 (DS) - 1R

- Total drainage area (acres)= 1.854
- Fraction of drainage area served by swales (ac) = 1.00
- Swale density (ft/ac) = 371.63
- Total swale length (ft) = 689
- Average swale length to outlet (ft)= 573
- Typical bottom width (ft) = 1.0
- Typical swale side slope (_H:1V) = 4.0
- Typical longitudinal slope (ft.H/ft.V) = 0.005
- Swale retardance factor: D
- Typical grass height (in) = 2.0
- Swale dynamic infiltration rate (in/hr)= 3.600
- Typical swale depth (ft) for cost analysis (optional) = 0.0
- Particle size distribution file name: Not needed - calculated by program
- Use total swale length instead of swale density for infiltration calculations:

True

Control Practice 4: Grass Swale CP# 2 (DS) - 2R

- Total drainage area (acres)= 1.868
- Fraction of drainage area served by swales (ac) = 1.00
- Swale density (ft/ac) = 251.14
- Total swale length (ft) = 441
- Average swale length to outlet (ft)= 400
- Typical bottom width (ft) = 1.0
- Typical swale side slope (_H:1V) = 4.0
- Typical longitudinal slope (ft.H/ft.V) = 0.005
- Swale retardance factor: D
- Typical grass height (in) = 2.0

Swale dynamic infiltration rate (in/hr)= 3.600
 Typical swale depth (ft) for cost analysis (optional) = 0.0
 Particle size distribution file name: Not needed - calculated by program
 Use total swale length instead of swale density for infiltration calculations:

True

Control Practice 5: Grass Swale CP# 3 (DS) - 3R

Total drainage area (acres)= 0.971
 Fraction of drainage area served by swales (ac) = 1.00
 Swale density (ft/ac) = 530.38
 Total swale length (ft) = 515
 Average swale length to outlet (ft)= 500
 Typical bottom width (ft) = 1.0
 Typical swale side slope (_H:1V) = 4.0
 Typical longitudinal slope (ft.H/ft.V) = 0.006
 Swale retardance factor: D
 Typical grass height (in) = 2.0
 Swale dynamic infiltration rate (in/hr)= 3.600
 Typical swale depth (ft) for cost analysis (optional) = 0.0
 Particle size distribution file name: Not needed - calculated by program
 Use total swale length instead of swale density for infiltration calculations:

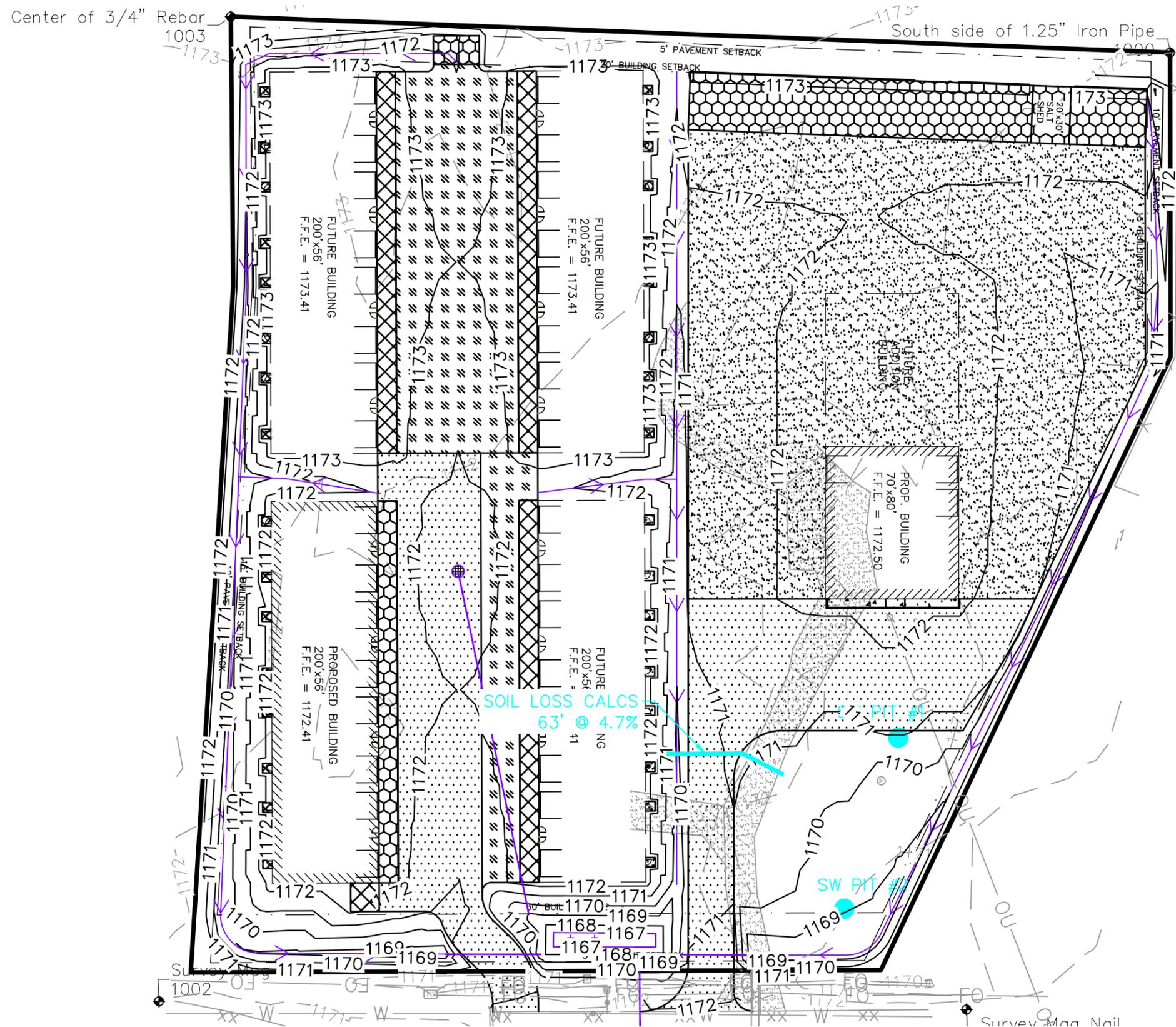
True

Data file name: \\VREELAND-SERVER\Data\Vital\Cad Files\2025\25-0410 Tesch\25-0410 winslamm 11-17-25.mdb
 Data file description:
 Rain file name: C:\WinSLAMM Files\Rain Files\WisReg - Green Bay WI 1969.RAN
 Particulate Solids Concentration file name: C:\WinSLAMM Files\v10.1 WI_AVG01.pscx
 Runoff Coefficient file name: C:\WinSLAMM Files\WI_SL06 Dec06.rsvx
 Pollutant Relative Concentration file name: C:\WinSLAMM Files\WI_GEO03.ppdX
 Residential Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Institutional Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Commercial Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Industrial Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Other Urban Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Freeway Street Delivery file name: C:\WinSLAMM Files\WI_Res and Other Urban Dec06.std
 Apply Street Delivery Files to Adjust the After Event Load Street Dirt Mass Balance: False
 Source Area PSD and Peak to Average Flow Ratio File: C:\WinSLAMM Files\NURP Source Area PSD Files.csv
 Cost Data file name:
 Seed for random number generator: -42
 Start of Winter Season: 11/25 End of Winter Season: 03/29
 Model Run Start Date: 01/02/69 Model Run End Date: 12/28/69
 Date of run: 12-01-2025 Time of run: 05:45:59
 Total Area Modeled (acres): 5.537
 Years in Model Run: 0.99

	Runoff Volume (cu ft)	Percent Runoff Volume Reduction	Particulate Solids Conc. (mg/L)	Particulate Solids Yield (lbs)	Percent Particulate Solids Reduction
Total of all Land Uses without Controls:	240126	-	95.66	1434	-
Outfall Total with Controls:	9511	96.04%	130.4	77.41	94.60%
Annualized Total After Outfall Controls:	9644			78.48	

APPENDIX E

Soil Loss and Sediment Discharge Map and Calculations



STAMP/SIGNATURE:

REVISIONS		
BY	DATE	DESCRIPTION

TITLE PAGE:
SOIL LOSS MAP

PROJECT: **PREMIER PROPERTY DEVELOPMENT**

LOCATION: **VILLAGE OF KRONENWETTER
 MARATHON COUNTY, WISCONSIN**

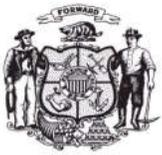


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 PHONE NO.: (715) 241-0947
 EMAIL: dustin@vreelandassociates.us
 WEBSITE: www.vreelandlandsurveying.com
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PREPARED FOR: **GREG TESCH**

PLAN DATE: **OCTOBER 6TH, 2025**

DESIGNER: DUSTIN VREELAND
SURVEYED BY: CB & TV
FILE NO.: 25-0410 ENGINEERING
DATE: SEPTEMBER 15, 2025
SCALE: 1" = 60'
SHEET SO 239



Soil Loss & Sediment Discharge Calculation Tool

for use on Construction Sites in the State of Wisconsin

WDNR Version 2.1 (12-05-2024)



YEAR 1

Developer: Premier Property Holding
 Project: Premier Property Holding Development
 Date: 10/21/25
 County: Marathon

Version 2.1

Activity (1)	Begin Date (2)	End Date (3)	Period % R (4)	Annual R Factor (5)	Sub Soil Texture (6)	Soil Erodibility K Factor (7)	Slope (%) (8)	Slope Length (ft) (9)	LS Factor (10)	Land Cover C Factor (11)	Soil loss A (tons/acre) (12)	SDF (13)	Sediment Control Practice (14)	Sediment Discharge (t/ac) (15)
Bare Ground	08/04/25	06/03/26	56.1%	130	Sand	0.15	4.7%	64	0.40	1.00	4.4	0.910	Silt Fence	2.4
Seed with Mulch or Erosion Control	06/03/26	08/03/26	43.2%	130	Sand	0.15	4.7%	64	0.40	0.10	0.3	0.910	Silt Fence	0.2
End	08/03/26	----	----	----	-----	----	4.7%	64	0.40	-----	----	0.000		0.0
		----	----	----	-----	----	4.7%	64	0.40	-----	----	0.000		0.0
		----	----	----	-----	----	4.7%	0	----	-----	----	0.000		0.0
		----	----	----	-----	----	0.0%	0	----	-----	----	0.000		0.0
TOTAL											4.7		TOTAL	2.6
													% Reduction Required	NONE

Notes:
 See Help Page for further descriptions of variables and items in drop-down boxes.
 The last land disturbing activity on each sheet must be 'End'. This is either 12 months from the start of construction or final stabilization.
 For periods of construction that exceed 12 months, please demonstrate that 5 tons/acre/year is not exceeded in any given 12 month period.

NOTE: THIS TOOL ONLY ADDRESSED SOIL EROSION DUE TO SHEET FLOW. MEASURES TO CONTROL CHANNEL EROSION MAY ALSO BE REQUIRED TO MEET SEDIMENT DISCHARGE REQUIREMENTS.

Recommended Permanent Seeding Dates:
 4/15-6/1 and 8/1-8/21 Turf, introduced grasses and legumes
 Thaw-6/30 Native Grasses, forbs, and legumes

Designed By:	Dustin Vreeland
Date	7/10/2025

APPENDIX F

State of Wisconsin Construction Site Inspection Report

Notice: This form was developed in accordance with s. NR 216.48 Wis. Adm. Code for WPDES permittees' convenience; however, use of this specific form is voluntary. Multiple copies of this form may be made to compile the inspection report. Inspections of the construction site and implemented erosion and sediment control best management practices (BMPs) must be performed weekly and within 24 hours after a rainfall event 0.5 inches or greater.

Construction Site Name and Location (Project, Municipality, and County):	Site/Facility ID No. (FIN):
Onsite Contact/Contractor:	Onsite Phone/Cell:

Note: Inspection reports, along with erosion control and storm water management plans, are required to be maintained on site in accordance with s. NR 216.48 (4) and made available upon request. PLEASE PRINT LEGIBLY.

Date of inspection:	Time of inspection: Start: _____ <input type="radio"/> am <input type="radio"/> pm End: _____ <input type="radio"/> am <input type="radio"/> pm	Type of inspection: <input type="radio"/> Weekly <input type="radio"/> Precipitation Event <input type="radio"/> Other (specify)
Weather/Site Conditions: Temp. _____ °F Antecedent Soil Moisture Last Rainfall Depth: _____ inches Last Rainfall Date: _____	<input type="radio"/> Dry <input type="radio"/> Frozen or snow covered <input type="radio"/> Variable <input type="radio"/> Frozen (Thaw predicted in next week) <input type="radio"/> Wet <input type="radio"/> Melting Snow/slush	Describe current phase of construction: Scheduled Final Stabilization Date for Universal Soil Loss Equation (USLE) ¹ : _____ Project on Schedule²? <input type="radio"/> Yes <input type="radio"/> No
Name(s) of individual(s) performing inspection:	Inspector Phone/Cell:	

I certify that the information contained on this form is an accurate assessment of site conditions at the time of inspection:

Inspector Signature _____

Date: _____

Inspection Questions:	Yes	No (Identify Actions Required):	Location/Comments:	Actions Completed by Date & Initials
1. Is the erosion control plan accessible to operators?	<input type="checkbox"/>	<input type="checkbox"/> Provide onsite copy		
2. Is the permit certificate posted where visible?	<input type="checkbox"/>	<input type="checkbox"/> Post certificate		
3. Is the current phase of construction on sequence with the site-specific erosion and sediment control plan, including installation/stabilization of ponds and ditches?	<input type="checkbox"/>	<input type="checkbox"/> Add sediment control <input type="checkbox"/> Install missing ditch/pipe/pond <input type="checkbox"/> Stabilize bare soil		
4. Are all erosion and sediment control BMPs shown on plan properly installed and in functional condition?	<input type="checkbox"/>	<input type="checkbox"/> Repair <input type="checkbox"/> Modify <input type="checkbox"/> Install/Replace		
5. Is inlet protection properly installed and functioning in all inlets likely to receive runoff from the site?	<input type="checkbox"/>	<input type="checkbox"/> Clean <input type="checkbox"/> Replace <input type="checkbox"/> Install		
6. Is the air free of fugitive dust resulting from construction activity and bare soil exposure?	<input type="checkbox"/>	<input type="checkbox"/> Apply water <input type="checkbox"/> Apply dust control product		

¹ The Universal Soil Loss Equation (USLE) model and the Construction Site Soil Loss and Sediment Discharge Guidance are available at: http://dnr.wi.gov/topic/stormwater/standards/const_standards.htm

² If the project is not on schedule then the soil loss summary for the project should be reviewed and schedule, plan or practices modified accordingly.

Inspection Questions:	Yes	No (Identify Actions Required):	Location/Comments:	Actions Completed by Date & Initials
7. Is the public right of way curb line free of tracked soil and accumulation?	<input type="checkbox"/>	<input type="checkbox"/> Install tracking pad <input type="checkbox"/> Widen/lengthen pad <input type="checkbox"/> Amend stone/Add geotextile <input type="checkbox"/> Install wheel washing station <input type="checkbox"/> Close entrance/exit <input type="checkbox"/> Limit traffic across disturbed areas <input type="checkbox"/> Sweep road and curb line		
8. Are wetlands, lakes, streams, ditches, or storm sewers downstream of the site free of sedimentation and turbid water leaving the site? ³	<input type="checkbox"/>	<input type="checkbox"/> Repair/Replace erosion control <input type="checkbox"/> Add sediment controls <input type="checkbox"/> Modify operations <input type="checkbox"/> Contact DNR to verify extent of cleanup required		
9. Is dewatering and/or vehicle and equipment washing being done in a manner that prevents erosion and sediment discharge?	<input type="checkbox"/>	<input type="checkbox"/> Install treatment train <input type="checkbox"/> Install energy dissipation <input type="checkbox"/> Modify discharge location <input type="checkbox"/> Modify intake to reduce sediment		
10. Are soil stockpiles existing for more than 7 days covered and stabilized?	<input type="checkbox"/>	<input type="checkbox"/> Seed <input type="checkbox"/> Install mat/mulch/polymer <input type="checkbox"/> Cover with tarp/plastic sheeting		
11. Are downstream channels and other downhill areas protected from scour and erosion?	<input type="checkbox"/>	<input type="checkbox"/> Install energy dissipation at outfall <input type="checkbox"/> Install ditch checks <input type="checkbox"/> Install slope interruption <input type="checkbox"/> Install onsite detention		
12. Are good housekeeping practices or treatment controls in place to prevent the discharge of chemicals, cement, trash, and other materials into wetlands, waterways, storm sewers, ditches, or drainage-ways? ⁴	<input type="checkbox"/>	<input type="checkbox"/> Properly dispose of trash <input type="checkbox"/> Provide concrete washout station <input type="checkbox"/> Contact DNR to verify extent of cleanup required		
13. Is the plan reflective of current site operations and does it address all erosion and sediment control issues identified during the inspection?	<input type="checkbox"/>	<input type="checkbox"/> Revise sequence <input type="checkbox"/> Revise sediment control BMP <input type="checkbox"/> Revise erosion control BMP <input type="checkbox"/> Revise post-construction storm water BMP		
14. Are all areas where construction has temporarily ceased (and will not resume for more than 2 weeks) temporarily stabilized?	<input type="checkbox"/>	<input type="checkbox"/> Topsoil & seed <input type="checkbox"/> Install mat/mulch/polymer <input type="checkbox"/> Cover with tarp/plastic sheeting		
15. Are all areas at final grade permanently vegetated or stabilized with other treatments?	<input type="checkbox"/>	<input type="checkbox"/> Topsoil & seed <input type="checkbox"/> Install mat/mulch/polymer <input type="checkbox"/> Sod <input type="checkbox"/> Install stone base		
16. Have temporary sediment controls been removed in areas of the site that meet the permit definition of 'final stabilization'?	<input type="checkbox"/>	<input type="checkbox"/> Water to establish vegetation <input type="checkbox"/> Repair or reseed areas <input type="checkbox"/> Remove temporary practices		

³ If sediment discharge enters a wetland or waterbody, the permittee should consult with DNR staff to determine if sediment cleanup and/or additional control measures are required.

⁴ The permittee shall notify the DNR immediately via the spills hotline at (800)943-0003 of any release or spill of a hazardous substance to the environment in accordance with s. 292.11, Wis. Stats., and ch. NR 706, Wis. Adm. Code.



Report to Planning Commission

Agenda Item: Discussion and possible action regarding the review process to reverse Plan Commissions Decisions.

Meeting Date: February 16, 2026

Referring Body: Plan Commission

Committee Contact: Dan Lesniak

Staff Contact: Peter Wegner, CD/PZ Director

Report Prepared by: Peter Wegner, CD/PZ Director

AGENDA ITEM: Discussion and possible action regarding the review process to reverse Plan Commissions Decisions.

OBJECTIVE(S): Review and discuss current ordinance language.

HISTORY/BACKGROUND: On 10/21/2024 the Plan Commission discussed various aspects of §520-121 - Conditional use permits and §520-124 Site Plan Procedures. Staff provided background information regarding the Conditional Use and Site Plan Process, Review Criteria, Conditions of Approval, 2017 ACT 67, Renewals, Transfers and Appeals and Possible Changes to Existing Language. Staff was given direction and was asked to place this item on the 11/18/2024 PC Meeting Agenda.

On 11/18/2024, the Plan Commission reviewed draft language and discussed the issue of renewals. Staff was directed to research further.

On 2/17/2025, the Plan Commission reviewed and discussed draft language and options related to renewal and revocation of Conditional Use Permits. Staff was given direction to make appropriated changes and to bring back revised language for the next Planning Commission Meeting.

On 3/17/2025, staff presented the most recent proposed changes. As a result, the Plan Commission directed staff to hold a public hearing on April 21, 2025, to gather public input related to these changes.

On 4/21/2025, the Plan Commission held a public hearing and passed a motion to recommend Village Board approval.

On 7/28/2025, placed on the VB agenda under Review and Discussion. Community Development Director Peter Wegner introduced this item to the VB members. He explained the background and recommended action.

On 8/11/2025 The VB Motion by Joling/Myszka NOT to approve proposed changes to Conditional Use Permits 520-121 and proposed changes to 520-124 Site Plan Procedures. Motion carried by roll call vote. 7:0. Discussed background of proposed changes; attorney review; past action by Village Board; power of Village Board vs. Board of Appeals in this matter; required state statute procedure; compatibility with the Comprehensive Plan; and further discussion with the Plan Commission.

RECOMMENDED ACTION: Review updated information and direct staff to make changes as needed.

ATTACHMENTS: 520-121 and 520-124, 4/21/2025 Public Hearing Drafts and History.

History of Proposed Changes to 520-121 Conditional Use Permits and 520-124 Site Plan Procedures

10/21/2024 – PC discussed various aspects of 520-121.

11/18/2024 – PC reviewed draft language and directed staff to research renewal language further.

2/17/2025 – PC reviewed draft language and options for renewal and revocation. Similar changes to 520-124 were also discussed. Staff directed to make changes.

3/17/2025 – PC reviewed draft language to 520-121 and 520-124. Staff directed to hold a public hearing.

4/21/2024 - PC held a public hearing and passed a motion to recommend Village Board approval.

7/28/2025 – VB agenda under Review and Discussion. Community Development Director Peter Wegner introduced this item to the VB members. He explained the background and recommended action.

8/11/2025 – VB Motion by Joling/Myszka NOT to approve proposed changes to Conditional Use Permits 520-121 and proposed changes to 520-124 Site Plan Procedures. Motion carried by roll call vote. 7:0. Discussed background of proposed changes; attorney review; past action by Village Board; power of Village Board vs. Board of Appeals in this matter; required state statute procedure; compatibility with the Comprehensive Plan; and further discussion with the Plan Commission.

Proposed Language 4/21/2025 Public Hearing

§ 520-124. - Site plan procedures.

Sections A. – G. unchanged

H. Action by plan commission; appeal procedure. Except as provided in subsection I, the plan commission shall, within 45 days of a complete submittal, approve the site plan as presented, approve the site plan with conditions, or reject the site plan, indicating reasons for rejection, unless this time frame is extended by written agreement of the applicant. Such deadline may be extended by written or electronic agreement from the applicant. The zoning administrator shall notify the applicant of such action in writing on a form designed for that purpose. Within ~~20~~ 30 days of such action, the applicant may appeal in writing all or part of the plan commission's decision to the ~~village board~~ Board of Appeals. During the appeal process, the zoning administrator and building inspector are authorized to hold the issuance of permits to enable commencement or continuation of building and other activities authorized by the zoning administrator's decision, and to issue a stop-work order for any such activities already commenced. The ~~village board~~ Board of Appeals may affirm, modify, or reverse the plan commission's decision. The plan commission shall inform the village board of all site plans submitted, reviewed, approved, and rejected under this subsection H during each meeting.

I. Action by village board.

(1) The plan commission shall not determine a site plan application, but shall forward the complete site plan application or components thereof, all associated materials, and a report and recommendation to the village board in all cases where at least one of the following conditions is present:

~~(a) The applicant has indicated on the application form a desire for village board action instead of plan commission action.~~

~~(b) The application is filed concurrently with a rezoning application for the same site.~~

~~(a)~~ ~~(c)~~ The site plan is for a large retail and commercial service development as described in section 520-77.

~~(b)~~ ~~(d)~~ The site plan proposes public improvements other than driveway connections to public streets and sanitary sewer or water lateral connections to existing public mains, or in the opinion of the commission requires such improvements.

~~(e) A written agreement between the village and applicant requires village board approval of the site plan.~~

(2) In the above instances, the village board shall, between ten and 60 days of submittal of plan commission referral, approve the site plan as presented, approve the site plan with conditions, or reject the site plan, including reasons for rejection, unless this time frame is extended by written or electronic agreement of the applicant. The zoning administrator shall notify the applicant of such action in writing on a form designed for this purpose.

J. Appeal to ~~village board~~ the Board of Appeals. An appeal of a decision under subsection H may be taken to the ~~village board~~ Board of Appeals by any person, firm or corporation or any officer, department, board, commission or agency of the village who is aggrieved by the decision. Such appeal shall be made in writing to the zoning administrator within ~~ten~~ 30 days after the date of the commission's decision. In the case of an appeal:

(1) The zoning administrator and building inspector shall issue no permits to enable commencement or continuation of building and other activities authorized by the site plan, and shall issue a stop-work order for any such activities already commenced.

(2) The zoning administrator shall immediately notify the applicant and property owner of the appeal in writing and shall schedule the appeal for consideration ~~village board~~ by the Board of Appeals.

(3) The ~~village board~~ Board of Appeals shall, ~~by resolution,~~ make a final decision to grant, with or without conditions, or to deny each application for site plan approval after receiving and reviewing the commission's findings and making its own findings as to whether or not the proposed use will satisfy the standards for approval set forth in subsection G, and shall have all of the powers of the Plan ~~Commission~~ under this section. The ~~village board's~~ Board of Appeals' determination shall be final and subject to appeal to the circuit court under any procedure authorized by statute.

Proposed Changes 4/21/2025 Public Hearing

§ 520-121 Conditional use permits.

- A. Initiation of conditional use permit. Any person, firm, corporation, or organization having a freehold interest or a possessory interest entitled to exclusive possession, or a contractual interest that may become a freehold interest or an exclusive possessory interest, and that is specifically enforceable on the land for which a conditional use is sought, may file an application to use such land for one or more of the conditional uses in the zoning district in which such land is located.
- B. Application for conditional use permit. No application for a conditional use permit shall be placed on any agenda as an item to be acted upon unless the Zoning Administrator has certified acceptance of a complete application. Prior to publication of the required notice of public hearing, the applicant shall provide the Zoning Administrator with the complete application certified by the Zoning Administrator, including an easily reproducible electronic copy plus hardcopies in a quantity directed by the Zoning Administrator. Said complete application shall be composed of all of the following:
- (1) A completed conditional use permit application form furnished by the Zoning Administrator.
 - (2) A written description of the proposed conditional use describing the type of activities, buildings, and structures proposed for the subject property and their general locations.
 - (3) A site plan of the subject property, with any alterations as may be proposed to accommodate the conditional use. If the conditional use will make use of existing site improvements only, a site plan need only be of sufficient detail to confirm the portion of the site used by the conditional use.
 - (4) Written justification for the proposed conditional use consisting of the reasons why the applicant believes the proposed conditional use is appropriate, particularly as evidenced by compliance with the approval criteria set forth in this section.
 - (5) Any other plans and information deemed necessary by the Zoning Administrator or the Plan Commission to ensure that the intent of this chapter is fulfilled.

- (6) A fee as established by the Village Board and stated in the Village of Kronenwetter's fee schedule.

C. Zoning Administrator review and recommendation.

- (1) The Zoning Administrator shall determine whether the application is complete and fulfills the requirements of this chapter. Only a complete application in the determination of the Zoning Administrator shall entitle a public hearing under Subsection D. The Zoning Administrator shall inform the applicant if the application is incomplete in his or her determination.
- (2) Once the Zoning Administrator determines that the application is complete, the Zoning Administrator or designee shall authorize the public hearing and prepare a written evaluation of the application based on the criteria for evaluating conditional use permits in Subsection G below. The Zoning Administrator shall forward a copy of the evaluation to the Plan Commission.

D. Notice of public hearing.

- (1) ~~Legal ad (per existing ordinances). The notice of the time, date, and location of the Planning Commission public hearing shall be published by the Village at least two times in a newspaper of general circulation in the Village of Kronenwetter. Publications shall occur 14 calendar days and seven calendar days prior to the date of the Planning Commission public hearing on a conditional use permit or a zoning change request. The notice of the time, date, and location of the Planning Commission public hearing shall be published by the Village at least one time in a newspaper of general circulation in the Village of Kronenwetter 10 calendar days prior to the date of the Planning Commission public hearing on an application for variance request.~~
Upon receipt of a conditional use permit application, and following publication in the Village of a class 2 notice under Wis. Stat. ch. 985, the Village shall hold a public hearing on the application.
- (2) Public notice. Notice of the Plan Commission public hearing shall be sent by regular mail to the applicant, each landowner adjoining the subject property and each landowner within 500 feet of the subject property. Notice of the Planning Commission public hearing shall be sent at least 10 calendar days prior to the Planning Commission public hearing. The notice shall be prepared and mailed by the Village. The failure of any person required by this section to receive the notice shall

not invalidate or otherwise have any effect upon a public meeting or public hearing or action taken on the application.

- (3) Local government notice. The Village shall send one copy of the application at least 10 calendar days prior to the Plan Commission public hearing to the adjoining local government for review and comment when the project affects another municipality, or the primary access to the affected property is through an adjoining municipality. The failure of any person required by this section to receive the notice shall not invalidate or otherwise have any effect upon a public meeting or public hearing or action taken on the application.
- (4) Village website. Notice of the Plan Commission public hearing shall be posted on the Village webpage. The failure of any person required by this section to receive the notice shall not invalidate or otherwise have any effect upon a public meeting or public hearing or action taken on the application.
- E. Review and action by Plan Commission. Within 60 days after the public hearing, or an extension of said period requested in writing or electronic format by the applicant and granted by the Commission, the Plan Commission shall take final action on the conditional use permit request. The Commission may approve the conditional use as originally proposed, may approve the proposed conditional use with conditions or modifications, or may deny approval of the proposed conditional use and include reasons for denial. Any action to approve or amend the proposed conditional use permit requires a majority vote of Commission members in attendance.
- F. Appeal to ~~Village Board~~ the Zoning Board of Appeals. An appeal of a decision under Subsection E may be taken to the ~~Village Board~~ Zoning Board of Appeals by any person, firm or corporation or any officer, department, board, commission or agency of the Village who is aggrieved by the decision. Such appeal shall be made in writing to the Zoning Administrator within ~~10~~ 30 days after the date of the Plan Commission's written decision. In the case of an appeal:
- (1) The Zoning Administrator and Building Inspector shall issue no permits to enable commencement or continuation of building and other activities authorized by the conditional use permit and shall issue a stop-work order for any such activities already commenced.
- (2) The Zoning Administrator shall immediately notify the applicant and property owner of the appeal in writing and shall schedule the appeal for ~~Village Board~~ consideration by the Zoning Board of Appeals.

(3) The ~~Village Board~~ Zoning Board of Appeals shall, by resolution, make a final decision to grant, with or without conditions, or to deny each application for a conditional use permit after receiving the Plan Commission's record and reviewing the Commission's findings and making its own findings as to whether or not the proposed use will satisfy the standards for approval set forth in Subsection G and shall have all of the powers of the Plan Commission under this section. The ~~Village Board's~~ Zoning Board of Appeals' determination shall be final and subject to appeal to the circuit court under any procedure authorized by statute.

G. Review criteria for conditional use permit. ~~Each requested conditional use permit shall meet the following criteria (achieve "yes" answers) to be approved:~~

(1) In this paragraph:

(a) "Conditional use" means a use allowed under a conditional use permit, special exception, or other special zoning permission issued by the Village, but does not include a variance.

(b) "Substantial evidence" means facts and information, other than merely personal preferences or speculation, directly pertaining to the requirements and conditions an applicant must meet to obtain a conditional use permit and that reasonable persons would accept in support of a conclusion.

(c) If an applicant for a conditional use permit meets or agrees to meet all of the requirements and conditions specified in the Village ordinance(s) or those imposed by the Village Plan Commission, the Village shall grant the conditional use permit. Any condition imposed must be related to the purpose of the ordinance(s) and be based on substantial evidence.

(d) The requirements and conditions described under subd. (2)(a) must be reasonable and, to the extent practicable, measurable and may include conditions such as the permit's duration, transfer, or renewal. The applicant must demonstrate that the application and all requirements and conditions established by the Village relating to the conditional use are or shall be satisfied, both of which must be supported by substantial evidence. The Village's decision to approve or deny the permit must be supported by substantial evidence.

(e) Once granted, a conditional use permit shall remain in effect as long as the conditions upon which the permit was issued are followed, but the Village may impose conditions such as the permit's duration, transfer, or renewal, in addition to any other conditions specified in the zoning ordinance(s) or by the Village Plan Commission.

(f) If the Village denies a person's conditional use permit application, the person may appeal the decision to the circuit court under the procedures contained in Wis. Stat. § 62.23(7)(e)10. a., or if the decision is on an application for an approval, as defined in Wis. Stat. § 781.10(1)(a), under the procedures described in Wis. Stat. § 62.23(7)(e)10. b.

(2) (1) Is the proposed conditional use ~~in harmony~~ compatible with the Comprehensive Plan, this chapter, and any other plan, program, or ordinance adopted by the Village?

(3) (2) The proposed conditional use does not, in its proposed location and as depicted on the required site plan, result in a substantial or adverse impact on nearby property, the character of the neighborhood, environmental factors, traffic factors, parking, public improvements, public property or rights-of-way, or other matters affecting the public health, safety, or general welfare, either as they now exist or as they may in the future. ~~be developed as a result of the implementation of the provisions of this chapter, the Comprehensive Plan, or any other plan, program, map, or ordinance adopted by the Village?~~

(4) (3) Does the proposed conditional use maintain the desired consistency of land uses, land use intensities, and land use impacts as related to the environs of the subject property?

(5) (4) Is the proposed conditional use located in an area that will be adequately served by, and will not impose an undue burden on, any of the improvements, facilities, utilities, or services provided by public agencies serving the subject property?

~~(5) Do the potential public benefits of the proposed conditional use outweigh potential adverse impacts of the proposed conditional use, after taking into consideration the applicant's proposal and any requirements recommended by the applicant to ameliorate such impacts?~~

H. Issuance and recording of permit. Within 30 days following the granting of a conditional use permit, the Zoning Administrator shall issue to the applicant a written conditional use permit enumerating the details of the conditional use

permit, including what land use(s) and/or development was approved and any conditions of approval. The Zoning Administrator shall record the conditional use permit against the property, assigning all costs thereof to the applicant.

- I. Effect of denial. No conditional use permit application that has been denied shall be resubmitted for a period of 12 months from the date of said order of denial, except on grounds of new evidence or proof of change of factors found valid by the Zoning Administrator.
- J. Termination of approved conditional use. Once a conditional use permit is granted, no erosion control permit, site plan approval, certificate of occupancy, zoning permit, or building permit shall be issued for any development that does not comply with all requirements of the conditional use permit and this chapter. Any conditional use found not to be in compliance with the terms of this chapter or the approved conditional use permit shall be considered in violation of this chapter and shall be subject to all applicable procedures and penalties. A conditional use permit may be revoked for such a violation by the Plan Commission, following the procedures outlined within 520-121 K. for original granting of a conditional use permit.
- K. Revocation of Permits. The Planning Commission shall retain continuing jurisdiction over all activities authorized by the permit to assure compliance with this ordinance, other ordinances, and the permit terms. Such authority shall be in addition to the enforcement authority of the Zoning Administrator. Upon notice to the Planning Commission of an alleged violation of any permit, in its sole discretion, the Planning Commission may hold a public hearing to consider amending, suspending, or revoking the permit. Notice of the hearing and alleged violation shall be served upon the property owner and permit holder either in person or via certified mail to the address provided on the permit application form or otherwise provided to the Department prior to conducting the public hearing. The notice shall contain the date, time, and place of the hearing, a description of the property, a description of the activity authorized by the permit, and a statement of the alleged violation(s). Notice shall also be published as a class 2 notice. Any person may appear at such hearing and testify in person or be represented by an agent or attorney. The Planning Commission, at its sole discretion, may hold additional public hearings. If the Planning Commission finds after the hearing that the permit holder is not in compliance with the terms of the permit, it may amend, suspend, or revoke the permit. The decision of the Committee shall be furnished to the permit holder in writing, stating the reasons therefore.
- L.K. Time limits on development of conditional use. The start of construction of any and all conditional uses shall be initiated within 365 days of approval of the associated conditional use permit and shall be operational within 730 days of

said approval. Failure to initiate development within this period shall automatically constitute a revocation of the conditional use permit. For the purposes of this section, "operational" shall be defined as occupancy of the conditional use.

- M L.** Renewals. The permit holder may submit an application for renewal along with the appropriate fee for renewal prior to the expiration of the time limit on the permit, if any. No conditional use permit renewal shall be required to go through a new public hearing.
- N M.** Discontinuance of approved conditional use. Any and all conditional uses that have been discontinued for a period exceeding 365 days shall have their conditional use permit automatically invalidated and receive no treatment as a legal prior nonconforming use. The burden of proof shall be on the property owner to conclusively demonstrate that the conditional use was operational during this period.
- O N.** Change of ownership. All requirements of the approved conditional use permit shall be continued regardless of ownership of the subject property and shall run with the land, except as otherwise limited by this chapter or by a specific condition attached to the conditional use permit. Modification, alteration, or expansion of any conditional use in violation of the approved conditional use permit, without approval by the Plan Commission, shall be considered a violation of this chapter and shall be grounds for revocation of said conditional use permit.
- P O.** Uses now regulated as conditional uses that were legal land uses (permitted by right or as conditional uses) prior to effective date of this ~~chapter section~~. A use now regulated as a conditional use that was a legal land use — either permitted by right or as a conditional use — prior to the effective date of this ~~chapter section~~ shall be considered as a legal, conforming land use so long as any previously approved conditions of use and site plan are followed. Any substantial modification of such use or any previously approved condition of such use, in the determination of the Zoning Administrator, shall require application and Village consideration of a new conditional use permit under this section.

NOTICE OF PUBLIC HEARING

MARATHON COUNTY, WISCONSIN

Section 7, Item K.



The Marathon County Executive Committee will hold a public hearing on **Thursday, March 12, 2026, at 3 PM** in the Marathon County Courthouse - Assembly Room, to consider adoption of an updated Comprehensive Plan. Updates were made to data, maps, studies, background, goals, objectives, and action strategies. This plan will serve as a guide for future decision making in the areas of: housing, transportation, infrastructure and community character, land use, agricultural, natural resources; recreation, tourism, and cultural resources; education, workforce development and economic development; public safety, health and human services, and intergovernmental cooperation. The update is being done in accordance with Wis. Stat. § 66.1001.

How to Review the Comprehensive Plan Update

- Online at www.marathoncounty.gov/CompPlan
- At Marathon County Conservation, Planning, and Zoning Department (CPZ)
1100 Lake View Drive, Ste. 400, Wausau, WI 54403
- Stop by Marathon County Library Branches to view online
(Need a hard copy? Visit the Marathon County Library Wausau Branch)

How to Submit Comments & Get Further Information

- Written: Marathon County CPZ: Jeff Pritchard, 1100 Lake View Drive, Ste. 400, Wausau, WI 54403
- By email to: jeff.pritchard@marathoncounty.gov & laurie.miskimins@marathoncounty.gov
- During the Public Hearing: **Thursday, March 12th, 2026: 3 PM** @ 500 Forest Street, Wausau Courthouse Assembly Room. Additional meeting details:
www.marathoncounty.gov/about-us/county-calendar

SCAN ME



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**PUBLIC HEARING NOTICE
COMPREHENSIVE PLAN FOR MARATHON COUNTY, WI**

The Executive Committee of the Marathon County Board of Supervisors will hold a public hearing on **March 12, 2026, at 3 p.m. in the Assembly Room, Courthouse, 500 Forest Street, Wausau WI 54403**, to accept comments on the proposed update to the Marathon County Comprehensive Plan pursuant to Wis. Stats. 66.1001(4)(d).

This plan will serve as a guide for future decision-making in the areas of: health and human services; community character; natural resources; water quality and quantity; public safety; infrastructure; land use; education, workforce development and economic development; recreation, tourism and cultural resources; and intergovernmental cooperation. This plan, in accordance with state statutes, includes updates to data concerning existing conditions and issues, and provides goals, objectives, and actions for each of the plan elements.

For additional information regarding the Comprehensive Plan, contact Jeffrey M. Pritchard, Senior Planner, (715) 261-6042, Jeff.Pritchard@marathoncounty.gov. During the review period, a copy of the Comprehensive Plan will be available for review during normal business hours at the Marathon County Conservation, Planning and Zoning Department – 1100 Lake View Drive, Suite 400, Wausau, WI 54403; online at <https://www.marathoncounty.gov/about-us/comprehensive-plan>; or online at Marathon County Library Branches (To view a paper copy, visit the Wausau Branch).

Written comments may be forwarded prior to the hearing to: Jeffrey Pritchard, c/o Conservation, Planning, and Zoning Department, 1100 Lake View Drive, Suite 400, Wausau, WI 54403. Comments may also be emailed to Jeff.Pritchard@marathoncounty.gov with the subject line: *Marathon County Comprehensive Plan Update*.

All interested persons will be given an opportunity to be heard. Any person planning to attend this meeting who needs some type of special accommodation in order to participate should call the County Clerk’s Office at 715-261-1500 or e-mail countyclerk@marathoncounty.gov one business day before the meeting.

Persons wishing to attend the meeting by phone may call into the telephone conference beginning five (5) minutes prior to the start time indicated above using the following number: Phone #: 1-408-418-9388 Access Code: 146 235 4571.



Laurie Miskimins, Director
Conservation, Planning, and Zoning Department

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NOTICE POSTED:

Date: _____

Time: _____ a.m. / p.m.

By: _____