



VILLAGE BOARD MEETING AGENDA

December 11, 2023 at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL MEETING TO ORDER

- A. Pledge of Allegiance
- B. Roll Call

2. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

3. REPORTS FROM STAFF AND VENDORS

- C. Police Chief Report
- D. Fire Chief Report
- E. Community Development Director Report
- F. Public Works Director Report
- G. Check Register 11/21 - 12/6

4. NEW BUSINESS

- H. Discussion and Possible Action: Resolution No. 2023-015: Providing for Imposition of Special Assessment for Garbage Collection and for Recycling
- I. Discussion and Possible Action: Resolution No. 2023-016: A Resolution Appointing Election Inspectors for the 2024-2025 Election Cycle

5. OLD BUSINESS

- J. Discussion and Possible Action: Municipal Center Roof Repair & Replacement Project Award Packet

6. CONSENT AGENDA

- K. Appointment of Utility Committee Member: Bob Peterson
- L. Animal Fancier - 1887 Kowalski RD, Kronenwetter
- M. Animal Fancier - 1811 Jackie RD, Kronenwetter
- N. Kennel - Barking Kids LLC; 2318 Morningside DR, Kronenwetter
- O. Kennel - Animal House LLC; 1174 Gardner Park RD, Kronenwetter
- P. Kennel - Crossroads K9 Rescue, LLC; 839 Oak RD, Kronenwetter
- Q. November 27, 2023, Village Board Meeting Minutes

7. PREVIOUS MEETING MINUTES FROM COMMISSIONS AND COMMITTEES

- R. September 7, 2023 Special Jointing Meeting of RDA and Village Board Meeting Minutes
- S. October 30, 2023 Ad Hoc Committee Meeting Minutes

8. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

9. ADJOURNMENT

NOTE: Requests from persons with disabilities who need assistance to participate in this meeting or hearing should be made at least 24 hours in advance to the Village Clerk's office at (715) 693-4200 during business hours.

Posted: 12/08/2023 Kronenwetter Municipal Center and www.kronenwetter.org

Faxed: WAOW, WSAW, WSAU, and Mosinee Times | Emailed: Wausau Daily Herald



KRONENWETTER POLICE DEPARTMENT

Office of the Chief of Police

Executive Summary for Dec. 2023 Board Meeting



Section 3, Item C.

TO: VILLAGE BOARD MEMBERS

DEPARTMENT ACTIVITY SUMMARY – In November, we handled 560 total calls for service. Some highlights included the following:

- Four mental health welfare checks. One was for a juvenile, who was taken to youth stabilization at NCHC. Another one was drug related and resulted in a party being charged with possession of LSD and THC. We also had one that tied up officers so long that we had no available officers in the Village for 16 hours straight! This one also required us to take the subject to Winnebago Mental Health, and a tremendous amount of time was spent on the medical clearance. This is another example of how just one call can tie up multiple officers for extended periods of time.
- A domestic arrest for first degree recklessly endangering safety, disorderly conduct, battery, and criminal damage to property. This occurred at one of the apartment complexes after a caller reported seeing a woman clinging to the hood of a moving car as the suspect drove her down the street.
- Three disturbances which resulted in two *disorderly conduct with motor vehicle* citations and a third in which the subject was arrested for disorderly conduct after making threats to our local credit union employees. This caused the credit union to immediately close as soon as the subject left the building and remain closed for a short time. We promptly located and arrested the suspect and provided extra patrol and visibility in the following days.
- The search warrant and subsequent drug arrest I discussed at the last VB meeting for the parent whose children presented concerns to the school district. As mentioned, she was charged with a handful of felony crimes as a result.
- An arrest for a subject who broke into a storage garage, caused a disturbance once inside, and damaged the victim’s property.
- Five traffic stops that resulted in OWI arrests:
 - First offense OWI that required a search warrant after the driver refused to provide his blood sample.
 - First offense OWI for a subject pulling a trailer on US 51 at approximately 7:40am. The subject was reported to be driving quite erratically and he stated his final destination was the Milwaukee area. Given his high preliminary breath test and poor driving, it’s hard to believe he would’ve made it all the way to Milwaukee without injuring or killing someone.
 - An ATV OWI for a driver who was operating after hours and driving erratically. The suspect fled from the officer and flipped the ATV.
 - Third offense OWI, operating after revocation, and tampering with an IID for a subject with a preliminary breath test of .30!
 - Second offense OWI with a preliminary breath test of .12.

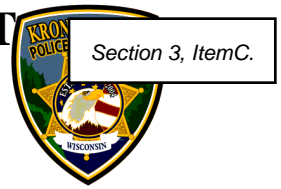
DEPARTMENT PERSONNEL ISSUES & STATUS – We had a busy month with some more significant investigations and the officers did a great job on those. As you see, we also had five arrests for drunk driving, any of which may have saved someone’s life. As I speak to other chiefs and sheriffs and hear about their recruiting and staffing problems, I’m reminded how lucky we are to have the staff we do. The four new officers we’ve hired in the last year and a half have been great additions and I’m proud of the progress they continue to make every day.

As we wrap up the final two months of the year, we have a lot of vacation time and some training taking place. Officer Dallman is going to a two-day advanced OWI school that will be a great fit for him. He is very proactive in OWI enforcement, and I anticipate he will learn a lot from this course. Officer Xiong is attending the three-day Reid School of Interview and Interrogation, which is widely considered one of the best courses of its kind.



KRONENWETTER POLICE DEPARTMENT

Office of the Chief of Police Executive Summary for Dec. 2023 Board Meeting



CURRENT GRANTS AND EQUIPMENT –The initial but unofficial word is the new Dodge Durango squads could arrive as early as late winter; however, as I said that is unofficial at this time. We’ve run into a snag with the seller of that 2017 Ford Interceptor, as he has “ghosted” us since we got approval. This has been very frustrating, to say the least. We’re looking into other used vehicle options at this point.

On a side note, regarding equipment for the squads, we continue to do our part with respect to cost saving measures. I’m waiting on a couple of things yet from City County IT, but I will have acquired roughly 40k worth of used but serviceable equipment over the past year or so (in car radios, squad computers, and in car video units) for a total cost to our taxpayers of only \$1000!

Nov. 2023 Calls for Service Info

Events by Nature Code by Agency

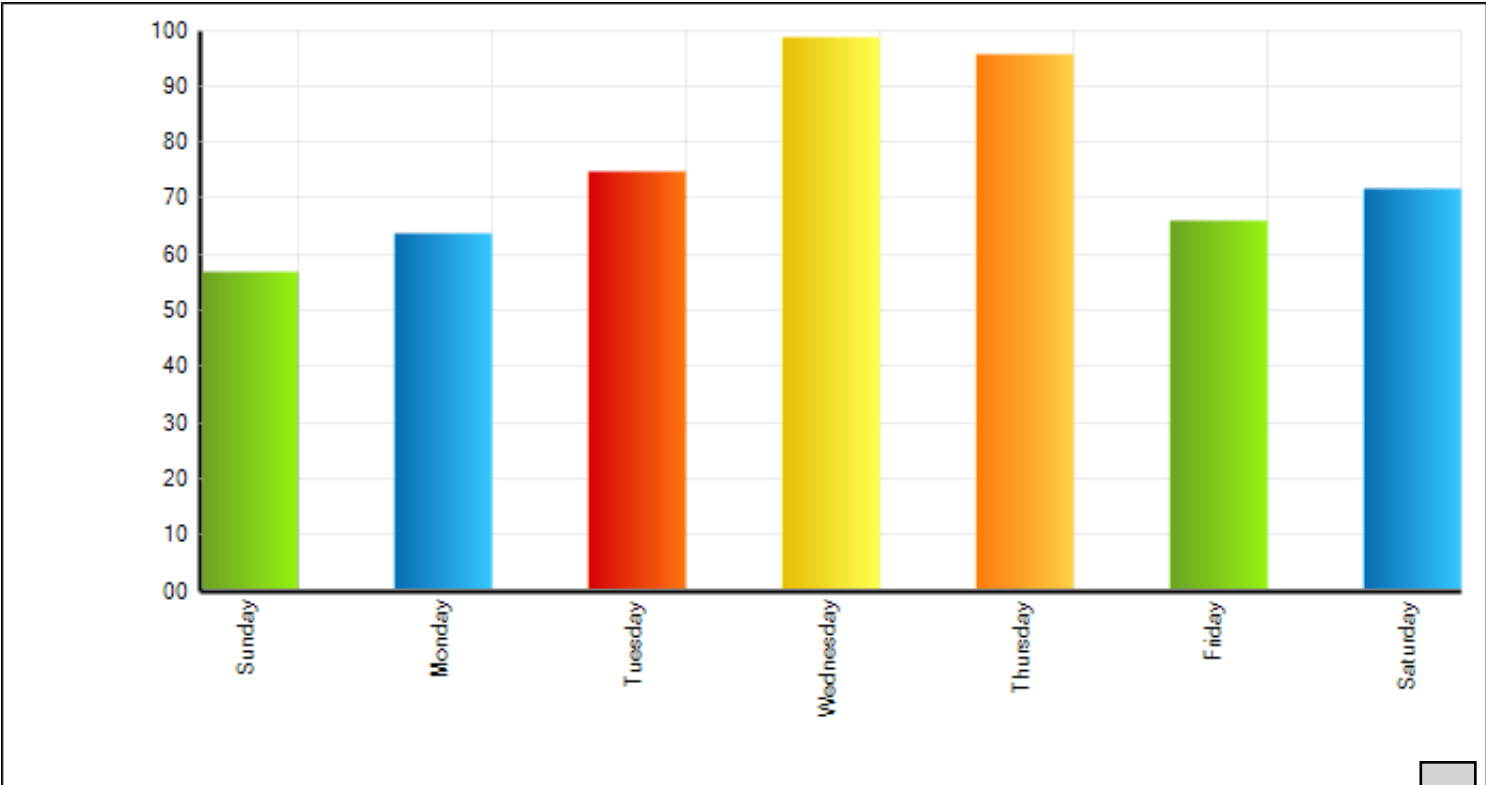
KP	911 HANG UP	8
	ALARMS	3
	ANIMAL COMPLAINT	5
	BUSINESS SECURITY CHECK	35
	CIVIL COMPLAINT	7
	CRIMINAL MISCELLANEOUS	28
	DISABLED VEHICLE	20
	EXTRA PATROL	55
	FAMILY DISTURBANCE	3
	FIELD INTERVIEW	3
	FINGERPRINTING	8
	FOLLOW-UP INVESTIGATION	25
	FRAUD COMPLAINT	3
	GAS SKIP	5
	HIT & RUN CRASH	1
	INFORMATION	4
	JUVENILE DISTURBANCE	2
	LOST AND FOUND	4
	MENTAL SUBJECT	4
	NOISE COMPLAINT	3
	OPEN DOOR	1
	SCHOOL WALK THROUGH	17
	SERVICE MISCELLANEOUS	37
	SPECIAL INVESTIGATIONS INFO	1
	SUSPICIOUS ACTIVITY	9
	TRAFFIC HAZARD	6
	TRAFFIC MISCELLANEOUS	1
	TRAFFIC STOP	156
	WARRANT SERVICE	2
	WELFARE CHECK	6
	TRAFFIC CRASH - INJURY	1
	TRAFFIC CRASH PDO	13
	FIRE ALARM	1
	FIRE ASSIST	1
	STRUCTURE FIRE	1
	UTILITY FIRE CALL	1
DEAD ANIMAL	1	
COMMUNITY RELATIONS ACT	1	
SPECIAL INVESTIGATIONS INFO	5	
TELEPHONE MESSAGE	15	
VACANT HOME CHECK	2	
VEHICLE ATL	4	
MEDICAL EMERGENCY	21	

Nov. 2023 Calls for Service Info

Summons/Citations Charge Summary
Agency: KRONENWETTER PD, Date Range: 11/01/2023 00:00:00

Charges	Count
EXCEEDING SPEED ZONES, ETC. (11-15 MPH)	6
EXCEEDING SPEED ZONES, ETC. (20-24 MPH)	1
FAIL/STOP AT STOP SIGN	1
OPERATE MOTOR VEHICLE W/O INSURANCE	2
OPERATE MOTOR VEHICLE W/O PROOF OF	2
OPERATE VEHICLE W/O STOPPING LIGHTS	1
OPERATE W/O VALID LICENSE	1
OPERATING LEFT OF CENTER	1
OPERATING WHILE REVOKED (REV DUE TO	1
OPERATING WHILE SUSPENDED	1
OPERATING WHILE UNDER THE INFLUENCE	2
OPERATION W/O REQUIRED LAMPS	1
POSSESS AMPHETAMINE /LSD/PSILOCIN	2
POSSESS OPEN INTOXICANTS IN MV-DRIVER	1
POSSESSION OF THC	2
SPEEDING IN 55 MPH ZONE (11-15 MPH)	1
SPEEDING ON CITY HIGHWAY (16-19 MPH)	1
Total:	27

Calls by Day of the Week



KRONENWETTER FIRE DEPARTMENT
NOVEMBER 2023

Training:

The fire department had 2 Fire and 1 EMS meetings in November –

Fire 11/6/2023 – Pump Operations – Engine1 and Truck1

11/20/2023 – SCBA – Search and Rescue

EMS 11/09/2023 – Patient Lifts/Backboards

Fire Calls:

The fire department was dispatched to 1 fire alarm, 1 odor incident, 1 vehicle accident and 1 structure fire in the Village of Kronenwetter, in addition the department was dispatched to 2 cancelled calls for Riverside and 1 structure fire for Mosinee. For a total of 7 calls for November. We have had 112 calls for fire service year to date.

EMS Calls and Updates:

31 EMS calls in November for a total of 375 year to date.

Vehicle/Equipment Updates:

Ladder Truck will be out for repairs (incidents from garage door and water utility) as well as the final inspection for any warranty items in December.

Staffing:

Currently have 30 members on the department – with 1 additional currently in the hiring process

Past and Upcoming training and events:

Kronenwetter Fire participated in both the Wausau and Mosinee Holiday Parades – both were well attended by firefighters/first responders and their families.

Still working on creation of Fire Extinguisher training program – we will be offering this to all local businesses as well as offering quarterly trainings to the general public which will include extinguishers and hands only CPR. More to come on this.

KRONENWETTER FIRE DEPARTMENT					
NOVEMBER 2023					
	Village	Guenther	Mutual Aid	Monthly Total	Year To Date
Vehicle Accidents	1			1	20
Chimney Fire				0	0
Grass/Brush Fire				0	2
Structure Fire	1		1	2	25
Weather				0	4
CO/Gas/Alarms	1			1	35
Car Fire				0	6
Other	1			1	7
Cancelled calls			2	2	13
Total Calls	4	0	3	7	112
Mutual Aid Received	1				5
Mutual Aid Given/Dispatched	3				37
First Responder Calls	31	N/A	N/A	31	375
				Monthly	Year To Date
Engine 1				3	46
Truck 1				3	14
Tanker 2					12
Rescue 6				2	29
Brush 1					7
Car 2				1	11
UTV					2

Community Development/Planning and Zoning Director Report

December 11, 2023

Peter S. Wegner, Community Development/Planning and Zoning Director

General Items:

- Review pending complaints (W. Nelson Rd, Hwy 153, Newcastle Dr, Greenbud, Jamroz Lane, Rainbow Drive, Eva Road).
- Review Development Options (Lea Rd, Lane Rd, Happy Hollow, Tower/Trailwood Rd, Kronenwetter Dr, Hwy 153, Setter Drive).
- Review Proposed CSM(s) (Hwy 153, Hwy XX, Spring Rd, Setter Dr, Pioneer Rd and Goldfinch Dr).
- Onsite Inspections (W. Nelson Road, Hwy X and Eva Rd).
- Review preliminary permits (Peach Rd, Setter Dr, W. Nelson, Dayton, Hwy 153, Gardner Park and Jamroz Lane).
- Correspondence regarding possible development (Kowalski Rd, Tower/Trailwood Rd, Settler Dr, Kronenwetter Dr and Eva Rd).
- Review Ordinance, Policy, Statute and Administrative Code (GEN-012, 14-21 Boards Commissions and Committees, § 520-131 J (3&4) Village Plan Commission and § 520-130 B (5, 7 & 8) Zoning Administrator, 382 Nuisances, Article XIII Signs, § 520-27 Y (2)(a & c) Accessory and Miscellaneous Land Use Types and § 218-26 C (2) Building Regulations and Construction, Assembly Bill 514, 520-121 Conditional Use Permits, 520-124 Site Plan Procedures.
- Review possible Variance and Conditional Use Permit Applications (Spring Road, Gardner Park and Tower/Trailwood Road).

Other:

- Correspondence Creek Road Cell Tower Appeal, Budget, Village Website, Available Parcels, Alternate Emergency Route, Dayton Freight, Citation Schedule, Placement of Accessory Structures prior to Principal, TADI Report Kowalski, Interchange, Badger State Inspection, Kronenwetter parcels, Ordinance Language related to permits to excavate, Meeting with Brightly – Allison Herring, meeting with NCRPC.

Leonard Ludi
Director of Public Works & Utilities
Status Report:
As of December 6, 2023

General Items:

- Physical Road Inventory with PW Crew Lead of pavement condition on all 107 miles of roadway throughout the Village almost completed.
- Coordinated Rib Mountain Metropolitan Sewage District’s presentation for the Village Board on November 27 and to the Utility Committee on December 5 completed.
- Municipal Roof Repair and Replacement bid comparative has been updated with the new Standing Seam Bid packet for presentation to the Village Board.
- Lift Station 8 & 5 Design survey work through early December. Utility Coordination Mid-December 2023 & Preliminary design in Mid-January 2024.
- More research underway with regard to the Kowalski Road commercial vehicle traffic
- More research underway regarding ongoing assessment of Emergency Access to West Nelson area residents
- Updating the Official Mapping System – met with NCWRPC Director, Dennis Lawrence on November 30, 2023.

Public Works

- Physical Road Inventory with PW Crew Lead of pavement condition on all 107 miles of roadway throughout the Village almost completed.
- Tree trimming through the month of December underway.
- Plow Training for Scott Edwards from water and sewer and Kade Boesl our new part time snow plow operator

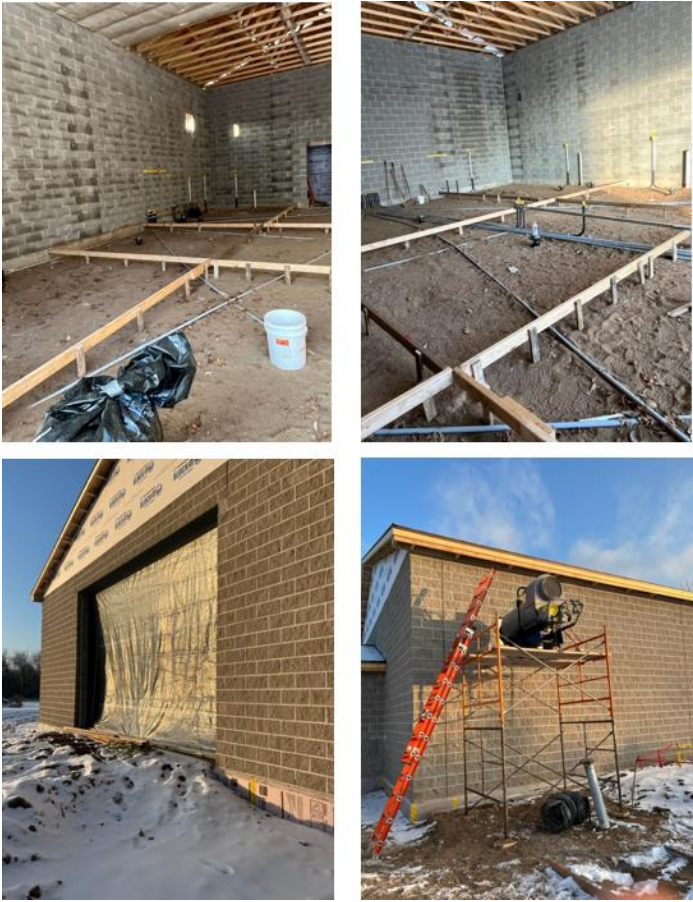
Water & Sewer Utility

- 3M baseline testing from North Lake Services Inc. received

- Lead & Copper Service Line inventory due Oct 2024 is underway.
- Continuing radio installs in progress
- Impeller replacement Pump 2 at Lift station 3 pending quote from Linder Electric.

Well #2 Water Treatment Construction Project

- Contractor's progress reports received for November
- Getting ready for interior concrete pour second week of December.



Report Criteria:

Report type: Summary
 Check.Type = {<>} "Adjustment"

GL Period	Check Issue Date	Check Number	Vendor Number	Payee	Check GL Account	Amount
11/23	11/21/2023	37459	111	American Asphalt of Wisconsin	100-21100	119.38
11/23	11/21/2023	37460	183	Aramark	601-21100	201.47
11/23	11/21/2023	37461	229	B&M Technical Services, Inc.	650-21100	7,350.05
11/23	11/21/2023	37462	3229	BONNIE GAUERKE	100-21100	200.00
11/23	11/21/2023	37463	581	Condon Oil Co, Inc.	100-21100	4,047.51
11/23	11/21/2023	37464	862	Ehlers Companies	452-21100	2,500.00
11/23	11/21/2023	37465	1039	GPM Southeast	100-21100	355.81
11/23	11/21/2023	37466	1269	Jennifer Poyer	100-21100	78.27
11/23	11/21/2023	37467	1561	Kimberly Coyle	601-21100	83.92
11/23	11/21/2023	37468	3192	LEONARD LUDI	100-21100	26.86
11/23	11/21/2023	37469	1761	Marathon County Health Department	601-21100	22.00
11/23	11/21/2023	37470	2290	Quill Corporation	100-21100	330.83
11/23	11/21/2023	37471	2388	Riesterer & Schnell, Inc.	100-21100	12,750.00
11/23	11/21/2023	37472	2518	SARAH FISHER	100-21100	120.65
11/23	11/21/2023	37473	2718	Superior Vision Insurance Plan of WI	100-21100	57.40
11/23	11/21/2023	37474	2971	Van Ert Electric Company, Inc.	100-21100	1,975.95
11/23	11/21/2023	37475	2997	Volm Companies, Inc	100-21100	959.91
11/23	11/21/2023	37476	3076	William Gau	100-21100	75.98
12/23	12/01/2023	37477	183	Aramark	650-21100	201.47
12/23	12/01/2023	37478	207	Associated Appraisal Consultants, Inc	100-21100	1,403.24
12/23	12/01/2023	37479	212	AT & T MOBILITY	100-21100	494.90
12/23	12/01/2023	37480	249	Batteries Plus	601-21100	32.25
12/23	12/01/2023	37481	479	Charlie's Hardware	100-21100	533.51
12/23	12/01/2023	37482	533	Cintas Corporation	100-21100	138.19
12/23	12/01/2023	37483	595	Core & Main LP	650-21100	7,095.00
12/23	12/01/2023	37484	983	Fully Promoted	100-21100	4,202.98
12/23	12/01/2023	37485	988	GANNETT WI MEDIA	100-21100	451.72
12/23	12/01/2023	37486	3230	MAI JOU CHANG	100-21100	200.00
12/23	12/01/2023	37487	1761	Marathon County Health Department	601-21100	44.00
12/23	12/01/2023	37488	1766	Marathon County Sheriff Office	100-21100	250.00
12/23	12/01/2023	37489	1818	Mark Stroik	100-21100	750.00
12/23	12/01/2023	37490	1900	Menards - Wausau	601-21100	68.15
12/23	12/01/2023	37491	2073	NCL of Wisconsin, Inc.	601-21100	312.10
12/23	12/01/2023	37492	2109	North Central Technical College	100-21100	7.00
12/23	12/01/2023	37493	2216	Pet Waste Eliminator	100-21100	220.99
12/23	12/01/2023	37494	2290	Quill Corporation	100-21100	455.34
12/23	12/01/2023	37495	2418	Robert Peterson	100-21100	200.00
12/23	12/01/2023	37496	2456	ROTH PROFESSIONAL SOLUTIONS	601-21100	10,567.42
12/23	12/01/2023	37497	2788	The Uniform Shoppe	100-21100	264.70
12/23	12/01/2023	37498	2793	Theresa O'Brien	100-21100	80.00
12/23	12/01/2023	37499	3107	WI Professional Police Association, Inc	100-21100	344.00
12/23	12/01/2023	37500	3099	Wisconsin Kenworth	100-21100	413.29
12/23	12/05/2023	37501	1758	Marathon County Clerk	100-21100	747.00
11/23	11/21/2023	10000087	1614	Kwik Trip, LLC	100-21100	308.92
11/23	11/21/2023	10000088	2758	TDS Telecom	650-21100	169.09
12/23	12/01/2023	10000089	442	Central States Health-Teamcare	100-21100	61,439.62
12/23	12/01/2023	10000090	3108	Wisconsin Public Service	100-21100	8,459.00
12/23	12/01/2023	10000091	3093	WISCONSIN DEFERRED COMPENSATION	100-21100	1,764.78
12/23	12/01/2023	10000092	2757	TDS	650-21100	41.25
Grand Totals:						132,915.90

Summary by General Ledger Account Number

M = Manual Check, V = Void Check

GL Account	Debit	Credit	Proof
100-21100	.00	78,429.26-	78,429.26-
100-21515	985.66	.00	985.66
100-21516	779.12	.00	779.12
100-21518	344.00	.00	344.00
100-21523	57.40	.00	57.40
100-22500	750.00	.00	750.00
100-22501	600.00	.00	600.00
100-24330	747.00	.00	747.00
100-51000-108-320	995.95	.00	995.95
100-51400-460-000	278.87	.00	278.87
100-51400-485-000	259.96	.00	259.96
100-51420-110-154	3,228.88	.00	3,228.88
100-51420-330-000	75.98	.00	75.98
100-51421-110-154	3,228.88	.00	3,228.88
100-51422-110-154	645.76	.00	645.76
100-51423-110-154	3,228.88	.00	3,228.88
100-51423-330-000	78.27	.00	78.27
100-51425-110-154	3,228.88	.00	3,228.88
100-51427-110-154	2,905.92	.00	2,905.92
100-51427-330-000	120.65	.00	120.65
100-51440-350-000	167.51	.00	167.51
100-51520-110-154	3,228.88	.00	3,228.88
100-51530-110-000	1,403.24	.00	1,403.24
100-51600-326-000	552.20	.00	552.20
100-51600-389-000	83.69	.00	83.69
100-51900-960-000	451.72	.00	451.72
100-51990-000-000	92.42	.00	92.42
100-52000-120-238	250.00	.00	250.00
100-52000-120-326	494.90	.00	494.90
100-52000-120-811	264.70	.00	264.70
100-52000-121-154	3,228.88	.00	3,228.88
100-52000-124-154	1,582.34	.00	1,582.34
100-52000-127-154	3,228.88	.00	3,228.88
100-52000-201-324	362.80	.00	362.80
100-52000-201-326	30.77	.00	30.77
100-52000-201-330	80.00	.00	80.00
100-52000-201-380	413.29	.00	413.29
100-52000-301-340	7.00	.00	7.00
100-52000-301-370	4,202.98	.00	4,202.98
100-52800-101-154	191.72	.00	191.72
100-53000-302-154	3,228.88	.00	3,228.88
100-53000-302-330	26.86	.00	26.86
100-53000-311-154	11,881.98	.00	11,881.98
100-53000-311-344	119.38	.00	119.38
100-53000-311-357	959.91	.00	959.91
100-53000-311-380	4,047.51	.00	4,047.51
100-53000-311-814	12,750.00	.00	12,750.00
100-53000-312-326	432.49	.00	432.49
100-53000-312-329	559.19	.00	559.19
100-53000-314-320	34.86	.00	34.86
100-53000-315-420	609.09	.00	609.09
100-55000-200-326	103.20	.00	103.20
100-55000-200-355	301.93	.00	301.93
100-55000-200-361	516.00	.00	516.00
221-21100	.00	1,452.96-	1,452.96-
221-51250-100-154	1,452.96	.00	1,452.96

GL Account	Debit	Credit	Proof
452-21100	.00	2,500.00-	2,500.00-
452-51400-464-000	2,500.00	.00	2,500.00
601-21100	.00	28,198.84-	28,198.84-
601-53600-622-002	2,197.18	.00	2,197.18
601-53600-622-003	130.18	.00	130.18
601-53600-630-010	66.00	.00	66.00
601-53600-632-002	15,022.42	.00	15,022.42
601-53600-641-001	44.76	.00	44.76
601-53600-641-002	312.10	.00	312.10
601-53600-653-001	1,320.00	.00	1,320.00
601-53600-655-001	23.39	.00	23.39
601-53600-903-004	522.25	.00	522.25
601-53600-921-001	25.94	.00	25.94
601-53600-921-007	41.96	.00	41.96
601-53600-921-009	64.92	.00	64.92
601-53600-926-001	516.88	.00	516.88
601-53600-926-154	7,910.86	.00	7,910.86
650-21100	.00	22,334.84-	22,334.84-
650-53560-850-154	6,974.64	.00	6,974.64
650-53560-851-154	1,291.56	.00	1,291.56
650-53560-852-154	161.54	.00	161.54
650-53650-821-001	4,401.10	.00	4,401.10
650-53650-821-002	2.79	.00	2.79
650-53650-826-000	7,350.05	.00	7,350.05
650-53650-827-001	169.09	.00	169.09
650-53650-832-000	1,320.00	.00	1,320.00
650-53650-851-001	25.94	.00	25.94
650-53650-851-009	490.00	.00	490.00
650-53650-851-010	64.92	.00	64.92
650-53650-856-002	41.96	.00	41.96
650-53650-857-001	41.25	.00	41.25
Grand Totals:	132,915.90	132,915.90-	.00

Dated: _____

Mayor: _____

City Council: _____

City Recorder: _____

GL Account	Debit	Credit	Proof
------------	-------	--------	-------

Report Criteria:

Report type: Summary

Check.Type = {<-} "Adjustment"



Report to

Agenda Item: Resolution 2023-015
Meeting Date: 12/11/23
Referring Body: Garbage Collection and Recycling
Committee Contact:
Staff Contact: Lisa Kerstner
Report Prepared by: Lisa Kerstner

OBJECTIVE(S):

HISTORY/BACKGROUND: State law allows municipalities to use special charges on property tax bills to charge property owners for public services including garbage and recycling. Every year the Village Board reviews and approves the resolution for garbage and recycling.

PROPOSAL: The combined garbage and recycling per dwelling unit fee is \$183.60 which is a \$5.25 increase from 2022.

The fee is based on the Harter’s monthly contract charges and Marathon County Solid Waste Department tipping fee.

- \$84.36 Annually Garbage
- \$43.56 Annually Recycling
- \$37.41 Tipping Fee
- \$8.27 Admin Fee
- \$10.00 Surcharge

2,877 Residents

RECOMMENDED ACTION: Approve Resolution 2023-015.

FUNDING SOURCE: Special Charges on 2023 property bill (payable 2024) 100-12100 Taxes Receivable.

ATTACHMENTS: Resolution 2023-015

RESOLUTION 2023 – 015

**RESOLUTION PROVIDING FOR IMPOSITION
OF SPECIAL ASSESSMENT FOR
GARBAGE COLLECTION AND FOR RECYCLING**

WHEREAS, the Village Board has determined that continuing a system of Village-wide garbage collection would be advantageous to the Village and its residents;

AND WHEREAS, pursuant to the multi-year contract between the Village and Marathon County and the multi-year contract between the Village and Harter’s Fox Valley Disposal, LLC, the annual cost of providing such services to single family dwellings, duplexes, condominiums, one (1) to three (3) unit apartment buildings and manufactured (mobile) homes not located in a mobile home park will be:

Yearly Rate Per Chargeable Dwelling Unit

Refuse (96 Gallons) and recycling (96 Gallons) - \$ 183.60

BE IT HEREBY RESOLVED that the Village Treasurer and the Village Clerk are hereby authorized and instructed, pursuant to Wis. Stats. §66.0405, to place a special charge for refuse and recyclable collection and hauling services against each single family dwelling, duplex, condominium, one to three-unit apartment buildings and manufactured (mobile) home not located in a mobile home park based upon the following rates:

Yearly Rate Per Chargeable Dwelling Unit

Refuse (96 Gallons) and recycling (96 Gallons) - \$ 183.60

VILLAGE OF KRONENWETTER

By: _____
Chris Voll, Village President

ATTEST:

By: _____
Bobbi Birk-LaBarge, Village Clerk

December 11th, 2023



Report to

Agenda Item: Resolution No. 2023-016; A Resolution Appointing Election Inspectors for the 2024-2025 Election Cycle

Meeting Date: December 11, 2023

Referring Body: N/A

Committee Contact:

Staff Contact: Village Clerk Bobbi Birk-LaBarge

Report Prepared by:

AGENDA ITEM: Resolution No. 2023-016; A Resolution Appointing Election Inspectors for the 2024-2025 Election Cycle

OBJECTIVE(S): Appoint Election Inspectors for the 2024-2025 election cycle. The Marathon County Republican and Democratic parties have submitted a list of names for appointment. The names listed represent Republican, Democratic and unaffiliated parties.

The governing body appoints Election Inspectors for a two-year term at either a regular meeting or, at a special meeting designed for that purpose, before December 31st of odd-numbered years

ATTACHMENTS: Resolution No. 2023-016

RESOLUTION NO. 2023-016
VILLAGE OF KRONENWETTER
MARATHON COUNTY, WISCONSIN

A RESOLUTION APPOINTING 2024-2025 ELECTION
INSPECTORS

RECITALS:

WHEREAS, Wisconsin Statutes provide for the appointment of Election Inspectors and Special Voting Deputies by municipalities between December 1 and December 31 of each odd-numbered year for a two-year term, and

WHEREAS, terms of current Election Inspectors Will expire on December 31, 2023; and

WHEREAS, Section 7.30(4) of the Wisconsin Statutes allows the two dominant parties to submit a list of names from which appointments shall be made; and

WHEREAS, the Marathon County Republican and Democratic Parties have submitted a list of names for appointment; and

NOW, THEREFORE, BE IT RESOLVED, that the Village Board of the Village of Kronenwetter hereby appoints the following individuals representing republican, democratic and unaffiliated Election Inspectors for a two-year term which will run from January 1, 2024 to December 31, 2025:

- | | |
|------------------------|----------------------|
| 1. CHRIS JOHN | |
| 2. MARY JOHN | |
| 3. KATHRYN PALMER | 20. AMY KRALIKOWSKI |
| 4. CYNTHIA SCHAEFER | 21. SANDY LEE |
| 5. ABBY WALLIS | 22. CHET RUCINSKI |
| 6. CINDRA FALKOWSKI | 23. DONNA RULE |
| 7. ARIEL SCHEFTGEN | 24. KEVIN SHULFER |
| 8. TESIA WALLER | 25. JENNIFER SMITH |
| 9. DENNIS MUELLER | 26. JAMIE STUEDEMANN |
| 10. RITA YAEGER | 27. LINDA TALBERT |
| 11. KAREN TALLITSCH | 28. PATTY TIKALSKY |
| 12. LAURIE SAZAMA | 29. BILL UDULUTUCH |
| 13. VICKI COLEMAN | 30. LUCENE UDULUTUCH |
| 14. JUDI AKEY | 31. JULIE WALDVOGEL |
| 15. LORENE BALTZ | 32. JAMES WYSOCKI |
| 16. TERRI EBERHARDY | |
| 17. STEPHANIE FERGUSON | |
| 18. GARY GOYTOWSKI | |
| 19. LAVONNE GOYTOWSKI | |

WHEREAS, the Marathon County Republican Party submitted a list of names for appointment; and the following names have notified the clerk via email and/or phone, they do not wish to be included in the 2024-2025 election inspector appointment list: Daniel Joling, Cheryl A. Kempe, and Mark Hoffman; and

BE IT FURTHER RESOLVED, that Marie Traska and Mary Ventzke be designated as Chief Election Inspectors with Cynthia Aucutt as alternate; and will hold said position for the election cycle unless removed by the clerk or the inspector(s) ceases to be certified under s. 7.31; and

BE IT FURTHER RESOLVED, that each election inspector(s) has agreed to serve at every election during their term of office; and

BE IT FURTHER RESOLVED, if any appointed election official lacks the qualifications, fails to attend required training sessions required under s. 7.15(1)(e) unless excused or is guilty of neglecting his or her official duties or commits official misconduct, the clerk or board of election commissioners shall summarily remove the official from office and the vacancy be filled by the clerk; and

BE IT FURTHER RESOLVED, that the Village Clerk is directed to schedule working hours for Election Inspectors and Chief Election Inspectors accordingly; and

BE IT FURTHER RESOLVED, that the Village Clerk is authorized as the special voting Deputy as needed; and

BE IT FURTHER RESOLVED, that the election-day registrations will be conducted in the same building as the polling place.

This Resolution was adopted by the Village of Kronenwetter Board of Trustees on the 11th day of December, 2023.

By: _____
Village Board President; Chris Voll

Attest: _____
Village Clerk; Bobbi Birk-LaBarge



Report to Village Board

Agenda Item: Municipal Center Roof Repair & Replacement Project
Meeting Date: December 11, 2023
Referring Body: Community Life, Infrastructure & Public Property Committee
Committee Contact: Chris Eiden, Committee Chair
Staff Contact: Leonard Ludi, Director of Public Works & Utilities
 Pete Wagner, Community Development Director
Report Prepared by: Leonard Ludi, Director of Public Works & Utilities

AGENDA ITEM: Review of Recommendation to Award the Municipal Center Roof Repair & Replacement Project and Identify Funding Source for Shortfall.

OBJECTIVE(S): Remedy for hail damage to the entire Municipal Center Facility roof. An insurance claim was filed with the Village's insurance carrier and moneys were approved to assist the Village with the repair and replacement of the entire facility's roofing system

Bids were solicited from local roofing contractors late Summer 2023. Because the bids came in so off center from a specific scope of work, a scope of work was developed to level the bids and asked the contractors to rebid the project. The scope of work established was for the repair and replacement of the Municipal Building roofing system with comparable asphalt shingles to the existing. The bid proposal for the asphalt shingle scope of work line up as follows:

- Wausau Roofing and Siding Company Bid: \$144,751.00 (40-year limited warranty)
- Walk by Faith Roofing and Remodeling Bid: \$246,050.00 (15-year limited warranty)
- CW Custom Exteriors LLC Bid: \$174,525.00 (40-year limited warranty)

It was thereafter request that the PWD request bids for a metal shingle specification in order to have comparative of bids of both metal shingle bids (with a longer warranty) versus the asphalt shingle solution. The bid proposal for the metal shingle scope of work, with a (50-year) warranty line up as follows:

- Walk by Faith Roofing and Remodeling Bid: \$377,210.00 (warranty info not found)
- C&C Services Bid: \$346,500.00 (50-year warranty)
- CW Custom Exteriors Bid: \$382,092.92 (50-year warranty)

The Director of Public Works was directed by the Board to solicit bids for a Standing Seam Metal Roofing comparable to the metal shingle warranty. The RFP was thereafter published and distributed on November 21, 2023. One bid was received on the December 4, 2023 as follows:

- CW Custom Exteriors Bid: \$300,092.92 (50-year warranty)
- RFP was distributed to 4 other contractors with no response

The approved budget for this project is \$198,400.00, which includes the insurance proceeds of \$113,865.61. With the CW Custom Exteriors Bid of \$300,092.92, there will be a budget shortfall to

award this project of \$101,692.92. Adding a contingency of \$15,475.00 (5%) and an unforeseen allowance of \$6,190.00 (2%), total budget shortfall is \$123,357.92.

Section 5, Item J.

HISTORY/BACKGROUND: Hail damage occurred and confirmation of the MPIC insurance claim funding was approved thereafter. Final asphalt bids were received September 29, 2023 and final metal shingle bids were received on October 16, 2023. Both bids expired and an additional RFP was published and distributed on November 21, 2023 for a Standing Seam metal roofing solution. The new bids were due December 4, 2023 and only one bid was received from CW Custom Exteriors LLC.

PROPOSAL: Fund the \$123,357.92 project shortfall and award the Municipal Center Roof Repair & Replacement Project to CW Custom Exteriors LLC for \$300,092.92. A down payment of \$201,175.49 will be required and a remaining balance of \$108,3235.66 to be due upon completion. Project start date proposed by CW Custom Exteriors LLC is between March 1st, 2023 and March 30th, 2023.

RECOMMENDED ACTION: Approve budget amendment needed to fund project the shortfall of \$123,357.92 and award CW Custom Exteriors LLC the Municipal Center Roof Repair & Replacement Project for \$300,092.92.

FINANCIAL

Financial Consideration/Action: At this time premiums are not available for 2024. Placeholder for the 2024 budget is below.

FUNDING SOURCE: TBD

Account Number/Title:	# Revenue Account/Insurance Proceeds
Current Adopted Budget:	\$ Budget \$198,400 (Insurance proceeds of \$113,865.61 included), with a total budget shortfall of \$123,357.92.
Spent to Date:	\$ N/A
Remaining Budget:	\$ N/A
Requested Amount:	\$ N/A
Remainder of Budgeted Amount, if approved:	

ATTACHMENTS/PACKET:

1. Combine Roof Bid Proposal Packet
 - a. Bid Comparative Coversheet
 - b. Asphalt Shingle Bid Packet
 - c. Metal Shingle Bid Packet.
 - d. Standing Seam Metal Roofing Bid Packet

MUNICIPAL CENTER ROOF REPAIR & REPLACEMENT PROJECT



Standing Seam Metal Roofing Bid

- CW Custom Exteriors
Bid: \$309,501.15
% Cost Per Sq. Ft. \$9.91
50-year Warranty
- No response from 4 other contractors

Asphalt Roofing Bid Comparative

- Wausau Roofing and Siding Company
Bid: \$144,751
Cost Per Sq. Ft. \$4.22
Total Sq. Ft. Bid: 34,300 Sq. Ft.
40-year Limited Warranty (Owens Corning)
- Walk by Faith Roofing and Remodeling
Bid: \$246,050
Cost Per Sq. Ft. \$7.90
Total Sq. Ft. Bid: 31,129 Sq. Ft.
15-year Limited Warranty (GAF Dimension Shingle)
- CW Customer Exteriors LLC
Bid: \$174,525
Cost Per Sq. Ft. \$5.58
Total Sq. Ft. Bid: Sq. Ft 31,237
40-year Limited Warranty (Owens Corning)

Metal Roofing Bid Comparative

- Walk by Faith Roofing and Remodeling
Bid: \$377,210
% Cost Per Sq. Ft. \$12.16
50-year Warranty
- C&C Services
Bid: \$346,500
% Cost Per Sq. Ft. \$11.16
50-year Warranty
- CW Custom Exteriors
Bid: \$382,092.92
% Cost Per Sq. Ft. \$12.27
50-year Warranty

Standing Seam Metal Roofing Bids

Bidders Distribution List (Distributed November 21, 2023)
RFP "Standing Seam Metal Roof Panels Installation"

James Franklin (no response)

Walk by Faith Roofing & Remodeling

920-977-9306

www.walkbyfaithroofingandremodeling.com

Chris Draper (bid received December 4, 2023 at 4:10pm)

Owner

CWCustomExteriors.com LLC

143765 Packer Dr.,

Wausau, WI 54401

cwcustomexteriors@gmail.com

(715)870-1892

William Kind (no response)

Wausau Roofing & Siding

Phone: 715-675-1178

Cell: 715-571-9229

PO Box 547

Wausau, WI 54402-0547

wkind.wausauroofing@gmail.com

Merle Martin (no response)

Phone: 715.449.3402

merle@durableroofing.info

Physical Address:

179820 Pine View Road

Birnamwood, WI 54414

merle@durableroofing.info

Cody Dement (no response)

C&C Services Group

715-203-3696

cdement@ccservicesgroup.com

November 21, 2023

Request for Proposal
VILLAGE OF KRONENWETTER
Standing Seam Metal Roof Panels Installation
MUNICIPAL CENTER ROOF REPAIR & REPLACEMENT PROJECT

This entire bid document must be returned, with all of the appropriate lines and spaces filled-in with the required information. To comply with this advertisement for bids, the following general specifications are to be adhered to: The materials must be NEW, the latest type and make manufacturer and must equal or exceed the following specification requirements.

Building Locations: 1582 I-39 Frontage Road, Kronenwetter WI 54455

1. Bid
 - This bid is intended for the removal and installation of a new roof on Village of Kronenwetter owned Municipal Center Facility locations listed above. Bids shall include all labor and materials to complete the entire project as specified.
2. Insurance
 - \$500,000 workmen's compensation policy
 - All workmen on the project shall be covered by workmen's compensation insurance and shall verify the same by providing the last two years insurance audits, if requested by owner. Workmen on the project shall not "opt out" of workmen's comp insurance.
 - A certificate of insurance shall be issued to the owner listing the owner as a certificate holder.
3. Safety Compliance
 - Compliance with all EPA and OSHA requirements shall be the responsibility of the Prime contractor, as published by local, state and federal authorities.
 - The Prime contractor shall be responsible for all means and methods as they relate to safety and shall comply with all applicable local, state and federal requirements that are safety related.
 - Safety shall be the responsibility of the Prime contractor.
 - All related personnel shall be instructed daily to be mindful of the full-time requirement to maintain a safe environment for the facility's occupants including staff, visitors, customers, and the occurrence of the general public on or near the site.
 - Written Safety Program including HazMat programs and MSDS sheets shall be on project site at all times. Prime contractor shall provide OSHA compliance plan for fall protection, barricades, and general work plan.
4. Contractor Qualifications
 - At least 75% of labor hours associated with this reroofing project must be worked by bona fide employees of the Prime Contractor, who have been employed by the Prime Contractor for more than one year, and for whom the Prime Contractor has paid worker's compensation premiums, based on hours worked, under a roofing class code during 9 of the

November 21, 2023

12 months immediately previous to the date of the contract. These pre-qualifications are subject to verification by the Owner.

- Contractor shall provide a minimum of 4 projects of similar scope and size with exact or similar materials.
 - Contractor shall have a minimum of 5 years of verifiable experience in both technical aspects of this type of work as well as verifiable experience in running and managing a business, unless approved by the owner prior to the bid opening
 - Contractor shall provide lien waivers at completion of project and before final payment is issued the Village of Kronenwetter.
5. Contractor Extent of Work
- Provide all labor, materials, tools, equipment, and supervision necessary to complete the installation of a stone coated steel roofing system including all flashing as specified herein* in accordance with the manufacturer's most current specifications and details.
 - The Prime contractor shall be fully knowledgeable of all requirements of the contract documents and shall make themselves aware of all job site conditions that will affect their work.
 - The Prime contractor shall confirm all given information and advise the building owner, prior to bid* of any conflicts that will affect their cost bid.
 - Prime contractor shall be responsible for obtaining the local building permit, and coordinating all required inspections.
6. Contractor Product Delivery, Storage, and Handling Responsibilities
- Contractor will be responsible for the unloading, proper storage and security of all materials delivered to the construction site.
 - Deliver materials to the job site in the manufacturer's original, unopened containers or wrappings with the manufacturer's name, brand name and installation instructions intact and legible. Deliver in sufficient quantity to permit work to continue without interruption.
 - Comply with the manufacturer's written instructions for proper material storage.
 - Store all materials in dry areas protected from water and direct sunlight. Follow all manufacturer's instructions for proper storage.
 - Any materials which are found to be damaged shall be removed and replaced at the Prime contractor's expense.
7. Use of the Premises
- Before beginning work, the Prime contractor must secure approval from the building owner's representative for the following:
 - Areas permitted for personnel parking.
 - Access to the site.
 - Areas permitted for storage of materials and debris.
 - Areas permitted for the locations of cranes, hoists and chutes for loading and unloading materials to and from the roof.
8. Discrepancies
- If discrepancies are discovered between the existing conditions and those noted, immediately notify the owner's representative by phone and solicit the manufacturer's approval prior to commencing with the work. Necessary steps shall be taken to make the building watertight until the discrepancies are resolved.

November 21, 2023

9. Temporary Facilities, Temporary Utilities: and Controls
 - Water and power for construction purposes and lighting are available at the site and will be made available to the roofing contractor.
 - Provide all hoses, valves and connections for water from source designated by the owner when made available.
 - When available, electrical power should be extended as required from the source.
 - Contractor Supplied Temporary Sanitary Facilities – Prime contractor will be responsible for supplying temporary sanitary facilities at the job site, through the duration of the project.
 - Security - Obey the owner's requirements for personnel identifications, inspection and other security measures.
10. Job Site Protection & Debris Removal
 - The Prime contractor shall adequately protect building, paved areas, service drivers, lawns, shrubs, trees, etc. from damage while performing the required work. Provide canvas, boards and sheet metal (properly secured) as necessary for protection and remove protection material at completion. The contractor shall repair or be responsible for costs to repair all property damaged during the roofing application.
 - During the Prime contractor's performance of the work, the building owner will continuously occupy the existing building. The contractor shall take precautions to prevent the spread of dust and debris, where such material may shift into the building. The Prime contractor shall provide labor and materials to construct, maintain and remove necessary temporary enclosures to prevent dust or debris in the construction area(s) from entering the building.
 - Do not overload any portion of the building, either by use or placement of equipment, storage of debris, or storage of materials.
 - All materials and equipment hoisted to the rooftop shall be secured against wind and water damage.
 - Protect against fire and flame spread. Maintain proper and adequate fire extinguishers.
 - Store moisture susceptible materials aboveground and protect with waterproof coverings.
 - Remove all traces of piled bulk materials and return the job site to its original condition upon completion of the work.
 - The Prime contractor shall remove all debris from the job site in a timely and legally acceptable manner so as not to detract from the aesthetics or the functions of the building.
11. Workmanship
 - Applicators installing new roof, flashing and related work shall be factory trained and approved by the manufacturer they are representing.
 - All work shall be of the highest quality and in strict accordance with the manufacturer's published specifications and shall be to the owner's satisfaction.
 - There shall be a supervisor on the job site at all times while the work is in progress.
12. Quality Assurance
 - Unless otherwise noted in this specification, the Prime contractor must strictly comply with the manufacturer's current specifications and details.
 - The roofing system must be installed by an applicator authorized and trained by the manufacturer in compliance with shop drawings as approved by the manufacturer

November 21, 2023

- Provide adequate number of experienced workmen engaged in each type of work who are skilled in the application techniques of the materials specified. Provide at least one thoroughly trained and experienced superintendent on the job at all times work is in progress.
 - There shall be no deviations made from this specification and/or the approved shop drawings without the prior written approval of the owner. Any deviation from the manufacturer's installations procedures must be supported by a written certification on the manufacturer's letterhead and presented for the owner's consideration.
 - Details shall be done according to Manufacturer's Specifications.
 - Reference materials for details are the NRCA Waterproofing Manual, and the Architectural Sheet Metal Manual by SMACNA, International Building Code, and other applicable industry publications.
 - Proceed with roofing work only when weather conditions are in compliance with the manufacturer's recommended limitations, and when conditions will permit the work to proceed in accordance with the manufacturer's requirements and recommendations.
 - The surface on which the roofing system is to be applied shall be clean, smooth, dry, and free of projections or contaminants that would prevent proper application of or be incompatible with the new installation, such as fans, sharp edges, foreign materials, oil and grease.
 - New roofing shall be complete and weather-tight at the end of each work day.
13. Job Conditions Cautions and Warnings
- Material Safety Data Sheets (MSDS) must be on location at all times during the transportation, storage and application of materials.
 - Do not apply adhesives in conditions such as fog, dew, rain or snow, or when frost occurs on the surfaces of the membrane or substrate.
 - When loading materials onto the roof, the Contractor must comply with the requirements of the building owner to prevent overloading and possible disturbance to the building structure.
14. Warranty
- Contractor's five-year labor, workmanship, and water-tightness warranty shall be issued upon completion.
 - Contractor shall complete all paperwork as needed for issuance of manufacturer's roof warranties.
15. Clean up
- Perform daily clean-up to collect all used roofing materials, wrappings, empty containers paper and other debris from the project site. Upon completion, all debris must be disposed of in a legally acceptable manner at an offsite facility.
 - Magnetic rake shall be used to ensure clean pick-up of metal debris and fasteners in driveway and landscaping areas.

Section 07.41.13 Metal Roof Panels

November 21, 2023

PART 1 - GENERAL

1.1 SUMMARY

PART 1 GENERAL

1.01 SECTION INCLUDES

- A. Architectural roofing system of preformed steel panels.
- B. Fastening system.
- C. Factory finishing.
- D. Accessories and miscellaneous components.

1.02 RELATED REQUIREMENTS

- A. Section 05 4000 - Cold-Formed Metal Framing: Roof framing.
- B. Section 06 1000 - Rough Carpentry: Roof sheathing.
- C. Section 07 4293 - Metal Soffit Panels: Preformed soffit panels.
- D. Section 07 6200 - Sheet Metal Flashing and Trim: Sheet metal items not furnished by metal roof panel manufacturer.
- E. Section 07 7200 - Roof Accessories: Snow guards installation on metal roof panels; aluminum channel receiving metal strips furnished by this Section.
- F. Section 07 9200 - Joint Sealants: Sealing joints between metal roof panel system and adjacent construction.
- G. Section 08 6300 - Metal-Framed Skylights: Skylight frame, integral curb, and counterflashing.

1.03 REFERENCE STANDARDS

- A. ASTM A653/A653M - Standard Specification for Steel Sheet, Zinc-Coated (Galvanized) or Zinc-Iron Alloy-Coated (Galvannealed) by the Hot-Dip Process; 2015.
- B. ASTM A792/A792M - Standard Specification for Steel Sheet, 55% Aluminum-Zinc Alloy-Coated by the Hot-Dip Process; 2010 (Reapproved 2015).
- C. ASTM D226/D226M - Standard Specification for Asphalt-Saturated Organic Felt Used in Roofing and Waterproofing; 2009.
- D. ASTM D1970/D1970M - Standard Specification for Self-Adhering Polymer Modified Bituminous Sheet Materials Used as Steep Roofing Underlayment for Ice Dam Protection; 2013.
- E. ICC-ES AC188 - Acceptance Criteria for Roof Underlayments; 2012.
- F. SMACNA (ASMM) - Architectural Sheet Metal Manual; 2012.
- G. UL 580 - Standard for Tests for Uplift Resistance of Roof Assemblies; Current Edition, Including All Revisions.

1.04 ADMINISTRATIVE REQUIREMENTS

- A. Metal Strips for Snow Guards: Roof installer shall furnish strips of installed standing seam roof for inserting into snow guards specified in Section 07 7200.

1.05 SUBMITTALS

- A. See Section 01 3000 - Administrative Requirements, for submittal procedures.
- B. Shop Drawings: Include layouts of roof panels, details of edge and penetration conditions, spacing and type of connections, flashings, underlayments, details of continuous ridge vent, details of gutters and downspouts, and special conditions.
 - 1. Show work to be field-fabricated or field-assembled.
- C. Warranty: Submit specified manufacturer's warranty and ensure that forms have been completed in Owner's name and are registered with manufacturer.

1.06 QUALITY ASSURANCE

- A. See Section 33.05.26 A (1.7).

November 21, 2023

1.07 DELIVERY, STORAGE, AND HANDLING

- A. Store roofing panels on project site as recommended by manufacturer to minimize damage to panels prior to installation.

1.08 WARRANTY

- A. See Section 33.05.26.
- B. Finish Warranty: Provide manufacturer's special warranty covering failure of factory-applied exterior finish on metal roof panels and agreeing to repair or replace panels that show evidence of finish degradation, including significant fading, chalking, cracking, or peeling within specified warranty period of not less than 20 year period from date of Substantial Completion.
- C. Waterproofing Warranty: Provide manufacturer's warranty for weathertightness of roofing system, including agreement to repair or replace roofing that fails to keep out water within specified warranty period of not less than 20 years from date of Substantial Completion.

PART 2 PRODUCTS

2.01 MANUFACTURERS

- A. Design is based on McElroy Metal Inc; Maxima 2" Panel.
- B. Basis of Design: Petersen Aluminum Corporation; Tite-Loc Plus.
- C. Metal Roof Panels:
 1. AEP-Span: www.aepspan.com.
 2. Berridge Manufacturing Co.: www.berridge.com.
 3. Fabral: www.fabral.com.
 4. McElroy Metal, Inc.: www.mcelroymetal.com.
 5. Petersen Aluminum Corporation: www.pac-clad.com/sle.
- D. Substitutions: Requires Engineer and Owner approval pursuant to Section 33.05.26.

2.02 ARCHITECTURAL METAL ROOF PANELS

- A. Architectural Metal Roofing: Provide complete engineered system complying with specified requirements and capable of remaining weathertight while withstanding anticipated movement of substrate and thermally induced movement of roofing system.
 1. Wind Uplift: Class 90 wind uplift resistance of UL 580.
- B. Metal Panels: Factory-formed panels with factory-applied finish.
 1. Steel Panels: One of the following:
 - a. Zinc-coated steel conforming to ASTM A653/A653M; minimum G90 galvanizing.
 - b. Aluminum-zinc alloy-coated steel conforming to ASTM A792/A792M; minimum AZ50 coating.
 - c. Steel Thickness: Minimum 24 gage (0.028 inch).
 2. Profile: Standing seam, with minimum 2.0 inch seam height; concealed fastener system for field seaming with special tool.
 - a. Vertical shaped rib.
 3. Texture: Smooth, with striated profile for added stiffness.
 4. Length: Full length of roof slope, without lapped horizontal joints.
 5. Width: Maximum panel coverage of 16 inches.

2.03 ATTACHMENT SYSTEM

- A. Concealed System: Provide manufacturer's standard stainless steel or nylon-coated aluminum concealed anchor clips designed for specific roofing system and engineered to meet performance requirements, including anticipated thermal movement.

2.04 PANEL FINISH

- A. Fluoropolymer Coating System: Manufacturer's standard multi-coat thermocured coating system, including minimum 70 percent fluoropolymer color topcoat with minimum total dry film thickness of 0.9 mil; color as indicated in the Exterior Finish Schedule on the drawings.

November 21, 2023

2.05 ACCESSORIES AND MISCELLANEOUS ITEMS

- A. Miscellaneous Sheet Metal Items: Provide flashings, gutters, downspouts, trim, moldings, closure strips, preformed crickets, caps, equipment curbs, and continuous ridge vent of the same material, thickness, and finish as used for the roofing panels. Items completely concealed after installation may optionally be made of stainless steel.
 - 1. Gutters and Downspouts: Size for rainfall intensity determined by a storm occurrence of 1 in 10 years in accordance with SMACNA (ASMM).
 - a. Gutters: SMACNA (ASMM), Rectangular profile.
 - 2. Downspouts: SSMACNA (ASMM), Rectangular profile with open face.
- B. Rib and Ridge Closures: Provide prefabricated, close-fitting components of steel with corrosion resistant finish or combination steel and closed-cell foam.
- C. Continuous Ridge Vents with Cap: Panel manufacturer shall design and fabricate assemblies producing specified net free area. Provide factory fabricated endcaps and miters; field fabrication is not acceptable.
 - 1. Net Free Area: Minimum 9.6 sq.in. or 6.8 percent per lineal foot based on 1 inch wide performance / dimension each side.
 - 2. Manufacturers:
 - a. McElroy Metal, Inc.; Hip Detail (Vented)
- D. Sealants:
 - 1. Exposed Sealant: Elastomeric; silicone, polyurethane, or silyl-terminated polyether/polyurethane.
 - 2. Concealed Sealant: Non-curing butyl sealant or tape sealant.
- E. Underlayment for Wood Substrate: ASTM D226/D226M roofing felt, weight as indicated on drawings.
- F. Eave Protection Membrane (Ice & Water Shield): Self-adhering rubber-modified asphalt sheet complying with ASTM D1970/D1970M; 22 mil total thickness; with strippable release film and either a cross laminated polyethylene film or woven polypropylene sheet top surface.
 - 1. Minimum Requirements: Comply with requirements of ICC-ES AC188 for non-self-adhesive sheet.
 - 2. Self Sealability: Passing nail sealability test specified in ASTM D1970/D1970M.
 - 3. Low Temperature Flexibility: Passing test specified in ASTM D1970/D1970M.
 - 4. High Temperature Stability: Classified as "High Temperature Resistance"; remain stable with temperatures up to 260 degrees F.
 - 5. Products:
 - a. Grace Construction Products; Ice & Water Shield HT: www.na.graceconstruction.com.
 - b. Substitutions: See Section 01 6000 - Product Requirements.

2.06 FABRICATION

- A. Panels: Fabricate panels and accessory items at factory, using manufacturer's standard processes as required to achieve specified appearance and performance requirements.

PART 3 EXECUTION

3.01 EXAMINATION

- A. Do not begin installation of preformed metal roof panels until substrates have been properly prepared.

3.02 PREPARATION

- A. Broom clean wood sheathing prior to installation of roofing system.
- B. Coordinate roofing work with provisions for roof drainage, flashing, trim, penetrations, and other adjoining work to assure that the completed roof will be free of leaks.
- C. Separate dissimilar metals by applying a bituminous coating, self-adhering rubberized asphalt sheet, or other permanent method approved by roof panel manufacturer.
- D. Where metal will be in contact with wood or other absorbent material subject to wetting, seal joints with sealing compound and apply one coat of heavy-bodied bituminous paint.

3.03 INSTALLATION

- A. Overall: Install roofing system in accordance with approved shop drawings and panel manufacturer's instructions and recommendations, as applicable to specific project conditions. Anchor all components of roofing system securely in place while allowing for thermal and structural movement.

November 21, 2023

1. Install roofing system with concealed clips and fasteners, except as otherwise recommended by manufacturer for specific circumstances.
 2. Minimize field cutting of panels. Where field cutting is absolutely required, use methods that will not distort panel profiles. Use of torches for field cutting is absolutely prohibited.
- B. Accessories: Install all components required for a complete roofing assembly, including flashings, gutters, downspouts, trim, moldings, closure strips, preformed crickets, caps, equipment curbs, rib closures, ridge closures, and similar roof accessory items.
- C. Roof Panels: Install panels in strict accordance with manufacturer's instructions, minimizing transverse joints except at junction with penetrations.
1. Form weathertight standing seams incorporating concealed clips, using an automatic mechanical seaming device approved by the panel manufacturer.
 2. Provide sealant tape or other approved joint sealer at lapped panel joints.
- D. Secure gutters and downspouts in place using concealed fasteners.
1. Slope gutters 1/8 inch per 10 feet, minimum.
 2. Connect downspouts to storm sewer system where available. Seal connection watertight.
 3. Provide concrete splash blocks under downspouts where not connected to storm sewer.
- 3.04 CLEANING**
- A. Clean exposed sheet metal work at completion of installation. Remove grease and oil films, excess joint sealer, handling marks, and debris from installation, leaving the work clean and unmarked, free from dents, creases, waves, scratch marks, or other damage to the finish.
- 3.05 PROTECTION**
- A. Do not permit storage of materials or roof traffic on installed roof panels. Provide temporary walkways or planks as necessary to avoid damage to completed work. Protect roofing until completion of project.
- B. Touch-up, repair, or replace damaged roof panels or accessories before Date of Substantial Completion.

END OF SECTION

Bid Instructions

1. BID

- The Village of Kronenwetter is seeking bids for the teardown and replacement of the roofing system of the Municipal Center at 1582 and I-39 Frontage Road, Kronenwetter WI 54455. Estimated square footage is approximately 32,000 square feet but it is the bidder's responsibility to confirm. The bid specifications is attached, to include the following bid instructions:
- Bids must be submitted on or before Monday, December 4, 2023 by 4:30pm in a sealed envelope – addressed to Village of Kronenwetter, 1582 Kronenwetter Drive, Kronenwetter, WI 54455. Mark " VOK MUNICIPAL CENTER ROOF REPAIR & REPLACEMENT PROJECT" on outside of envelope. Bid will be considered good for 30 days unless otherwise indicated and Bids can be received electronically if emailed to lludi@kronenwetter.org

November 21, 2023

- Please include all factory literature and specification sheets of complete units with bid.
2. BID FORM
- The bid is the proposal – no bid form is included in this RFP. Important: Incomplete bid form can result in loss of award All available lines on 'Bid Form' MUST BE filled in or failure to do so can result in bid disqualification.
3. BID AWARD
- Award will be made to a single vendor for the entire facility, unless agreed to otherwise. Payment will be made following accepted final installation and certification completion entire roofing system of the facility. Preliminary Procedures: Before requesting inspection for certification completion, the following must be met:
 - A. Show 100 percent completion
 - B. Advise the Owner of pending insurance changeover requirements
 - C. Submit specific warranties, workmanship bonds, maintenance agreements, final certifications, and similar documents.
 - D. Submit maintenance manuals & final record information.
 - E. Complete final cleanup requirements, including touchup painting.
 - F. Touch up and otherwise repair and restore marred, exposed finishes.

Note: The Village of Kronenwetter reserves the right to reject any or all bids or parts thereof, to waive any minor informalities in any bids submitted, and to make such award as deemed most advantageous to the Village of Kronenwetter.

Answers to questions regarding the above should be directed:

Leonard Ludi, Director of Public Works 715-693-4200 extension #112 or Pete Wegner, Community Development Director 715-693-4200 extension #113



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Roofing Proposal #6156

Client: Village of Kronenwetter

Phone: 715-432-2351

Address: 1582 Kronenwetter Drive, Kronenwetter, WI 54455

Job Description: Commercial Metal Roof replacement and Tower EPDM roof repair or replace.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Scope of Work:

CW Custom Exteriors.com proposes to perform labor and supply all necessary materials for the completion of the roof replacement as follows:

Building address: 1582 Kronenwetter Drive, Kronenwetter, WI 54455

Description of roofs to be completed: Remove existing 2 layers of Asphalt shingles and underlayment, on sloped areas. Repair or replace Tower EPDM rubber roofing.

Building breakdown is depicted in the attached aerial commercial report, page 3:

Pitched area = 31,237 total square feet, with 10% waste = 34360 sq ft.

Tower Flat roof area is 336 square feet. With 5 feet up side walls =690 sq. Ft

SCOPE OF WORK:

Remove all existing shingles down to the deck

Re-nail any loose wood

Install 3' of ice and water shield at all gutter lines, rakes edges, and valleys.

Install Synthetic underlayment to keep the roof dry

Install new steel trim flashing and components (eaves, valleys, end walls, side walls, and rake trim, with ridge cap.)

Install all required accessories for the selected Hidden Fastener/Standing Seam roofing system

Install Standing Seam roofing system, with appropriate screws

Install new ridge vent.

Install new pipe and chimney flashings.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Cover all bushes, shrubs and flowers for protection.

Clean up all job related debris.

Provide 50 year workmanship warranty and Manufacturer Warranty.

INSURANCE & SAFETY

CWCustomExteriors.com LLC, shall provide general liability insurance as detailed on our certificate of insurance. Maximum liability is the limit of this insurance. A certificate of insurance will be issued upon request.

Safety is of primary importance to CWCustomExteriors.com LLC

We will set up required safety equipment at site needed to comply with OSHA construction guidelines including barricades, safety lines, ect.

We hereby propose to furnish material and labor – complete in accordance with the above specifications dated this 25th day of September, 2023 for the sum of

Three hundred eighty-two thousand, ninety-two and ninety-two cents. (\$309,500.76)



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

With payments to be made as follows:

Scheduled Payments: 65%/35%

\$ 201,175.49 Initial down payment

\$ 108,325.66 upon completion

\$309,501.15

ADDITIONAL WORK:

1/2" OSB REPLACEMENT @ \$80/sheet, \$280/square

Reflash and seal other Tower flashing: \$25/lf

Other rubber roof repairs on main building: \$350+ depending on issues found. Change Order would then be addressed and completed to update.

Note: this proposal may be withdrawn by us if not accepted within 30 days.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only with approval.

All agreements contingent upon strikes, accidents, or delays beyond our control. Owner is to carry fire, tornado, and other necessary insurance.

Acceptance of Proposal – The above prices, specifications and conditions are satisfactory and are hereby accepted. Payment will be made as outlined above. A service charge of 1.5% per month will be charged to balance if not paid within 10 days. Replacement of any damaged or deteriorated decking discovered after removing existing roofing will be an additional cost of \$2.50 per square ft. of decking as needed after owner's approval. New decking will meet or exceed local building code requirements and H-clips will be used between all rafters.

Projected Start Date: Between 3-1-2024 to 3-30-2024. (Open window as dates can vary depending when the contract is signed and weather permitting.)



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Acceptance of Proposal

Customer

_____ Date _____
_____ Date _____

CW Custom Exteriors.com

_____ Date _____

“CUSTOMER’S RIGHT TO CANCEL” You may cancel this agreement by mailing a written notice to CW Custom Exteriors.com before midnight of the third business day after you signed this agreement. If you wish, you may use this page as that notice by writing “I hereby cancel” and adding your name and address. A duplicate of this is provided by CW Custom Exteriors.com for your records.

Leonard Ludi

From: Chris Draper <cwcustomexteriors@gmail.com>
Sent: Monday, December 4, 2023 2:57 PM
To: Leonard Ludi
Subject: [External] Re: Standing Seam Metal Roof Panel RFP - Village of Kronenwetter
Attachments: image001.jpg; Kronenwetter Standing Seam Proposal.doc

Based on the information you provided as as known hidden fastener standing seam practices, Attached is the proposal for that roofing system.

As with ANY roofing system, it comes down to proper installation based on manufactures specifications and guidelines, as they all are a little different.

Just like with BANTR/Cedar Creek Lodge Water park Roof, that blew off in 2022, that CWCUSTOMEXTERIORS, removed and replaced down to the foam insulation, and new decking, due to improper installation from the original plans, and contracting company that subbed it out back when it was build, was not built to the Architectural specs/plans. Then we rolled out the new standing seam/hidden fastener panel system, to match. 500,000 sq foot roof area.

If you have any further questions or concerns or would like any of the previous proposals, updated for start/end dates, please let me know.

Thank you, and I hope this helps.

Chris Draper
Owner
CWCUSTOMEXTERIORS.COM LLC
7158701892

On Tue, Nov 21, 2023, 8:33 AM Leonard Ludi <lludi@kronenwetter.org> wrote:

Good morning,

The Village of Kronenwetter is seeking bids for the teardown and replacement of the roofing system of the Municipal Center at 1582 and I-39 Frontage Road, Kronenwetter WI 54455. Estimated square footage is approximately 32,000 square feet but it is the bidder's responsibility to confirm. The bid specifications is attached, to include the following bid instructions:

Bids must be submitted on or before Monday, December 4, 2023 by 4:30pm in a sealed envelope – addressed to Village of Kronenwetter, 1582 Kronenwetter Drive, Kronenwetter, WI 54455. Mark " VOK MUNICIPAL CENTER ROOF REPAIR & REPLACEMENT PROJECT" on outside of envelope. Bid will be considered good for 30 days unless otherwise indicated and Bids can be received electronically if emailed to lludi@kronenwetter.org

Please Include all factory literature and specification sheets of complete units with bid.

Bid Form

The bid is the proposal – no bid form is included in this RFP. Important: Incomplete bid form can result in loss of award All available lines on 'Bid Form' MUST BE filled in or failure to do so can result in bid disqualification.

Award will be made to a single vendor for the entire facility, unless agreed to otherwise. Payment will be made following accepted final installation and certification completion of the entire roofing system of the facility. Preliminary Procedures: Before requesting inspection for certification completion, the following must be met:

- A. Show 100 percent completion
- B. Advise the Owner of pending insurance changeover requirements
- C. Submit specific warranties, workmanship bonds, maintenance agreements, final certifications, and similar documents.
- D. Submit maintenance manuals & final record information.
- E. Complete final cleanup requirements, including touchup painting.
- F. Touch up and otherwise repair and restore marred, exposed finishes.

Note: The Village of Kronenwetter reserves the right to reject any or all bids or parts thereof, to waive any minor informalities in any bis submitted, and to make such award as deemed most advantageous to the Village of Kronenwetter.

Thank you for your interest,

Leonard Ludi

Director of Public Works & Utilites



1582 Kronenwetter Drive

Kronenwetter, WI 54455

Cell: 715-432-2351

Direct: 715-693-4200 ext. 1731

Fax: 715-693-4202

Section 5, Item J.

www.kronenwetter.org

Asphalt Shingle Roofing Bids

WAUSAU ROOFING & SIDING CO

Summary of Roofing Proposals for Village of Kronenwetter

The combined proposals for the Village of Kronenwetter are to remove and replace approximately 34,300 sq ft of shingled roofing area, also to repair the south tower EPDM roof.

Wausau Roofing will:

- Remove and dispose of existing shingles
- Install 7/16 osb decking as needed at a cost of \$1.75 per sq ft. Approval will be sought before replacement of decking.
- Install leak barrier on the eaves and valleys
- Install new synthetic underlayment
- Install new valley metal in valleys
- Install new drip edge
- Install new sewer vent boots (pipe flashings)
- Install new ridge vent
- Install Owens Corning Duration Lifetime Shingle (Chateau Green)

The Anticipated start date is October 16, 2023, or sooner, this date is dependent on rain days from now until we start.

I anticipate approximately 4 weeks to complete this project, this is also dependent on rainy days.

The total cost of this project is \$144,751.00 with a down payment of \$72,375.50 due at the start of the project and the balance due upon completion.

Sincerely,

William Kind
Wausau Roofing and Siding Co
715-571-9229

Wausau Roofing and Siding Co
PO BOX 547
Wausau, WI 54402-0547

Phone: 715-675-1178
Cell: 715-571-9229
www.wausauroofers.com

Roofing Proposal

DATE: 9-21-23

CUSTOMER: VILLAGE OF KRONENWETTER	PHONE: 715-693-4200
STREET: 1582 KRONENWETTER DR	JOB NAME: ADREN BUILDING
CITY, STATE, ZIP: KRONENWETTER 54455	JOB LOCATION:

Wausau Roofing and Siding Co. ("Company") hereby submits specifications and cost for:

- REMOVE AND DISPOSE OF EXISTING SHINGLES
- INSTALL 7/16 OSB DECKING (AS NEEDED) *ADD \$1.75 PER SQ. FT.
- INSTALL LEAK BARRIER ON EAVES AND IN VALLEYS
- INSTALL NEW UNDERLAYMENT
- INSTALL NEW VALLEY METAL
- INSTALL NEW DRIP EDGE (375')
- INSTALL NEW SEWER VENT BOOTS / CHIMNEY FLASHING
- INSTALL NEW RIDGE VENT / PEB VENTS
- INSTALL "GAF" TIMBERLINE HDZ LIFETIME SHINGLE
- INSTALL OWENS CORNING DURATION LIFETIME SHINGLE
- INSTALL ALUMINUM SOFFIT AND FASCIA

APPROXIMATELY 7450

Company agrees to furnish material and labor, in accordance with above specifications for the sum of:
THIRTY ONE THOUSAND TWO HUNDRED TWENTY THREE Dollars
 (\$ 31,233.00)

Payment to be made as follows: 50% to be paid upon acceptance of the Proposal and balance to be paid upon completion of the work.

TERMS AND CONDITIONS OF THIS PROPOSAL ON THE REVERSE SIDE ARE PART OF THE PROPOSAL AND MAY NOT BE MODIFIED BY ADDITIONAL TERMS OR DIFFERENT TERMS. THE SOLE MEANS OF ACCEPTANCE OF THIS PROPOSAL SHALL BE BY RETURN OF A COPY SIGNED BY AN AUTHORIZED AGENT OF THE CUSTOMER.

Authorized Signature Wally H. [Signature] President
 Above specifications & costs may be withdraw by us if not accepted within 30 days

This Proposal may only be accepted on the exact terms set forth herein, and no additional terms or different terms shall form the basis of a contract between Company and Customer pursuant to Wis. Stats. §402.207(2)(a).

Customer Signature _____ Date _____ / _____ / _____

Wausau Roofing and Siding Co
PO BOX 547
Wausau, WI 54402-0547

Phone: 715-675-1178
Cell: 715-571-9229
www.wausauroofers.com

Roofing Proposal

DATE: 9-21-23

CUSTOMER: VILLAGE OF KRONENWETTER	PHONE: 715-693-4200
STREET: 1542 KRONENWETTER DR	JOB NAME: FIRE DEPT. BUILDING
CITY, STATE, ZIP: KRONENWETTER 54455	JOB LOCATION:

Wausau Roofing and Siding Co. ("Company") hereby submits specifications and cost for:

- REMOVE AND DISPOSE OF EXISTING SHINGLES
- INSTALL 7/16 OSB DECKING (AS NEEDED) *ADD \$1.75 PER SQ. FT.
- INSTALL LEAK BARRIER ON EAVES AND IN VALLEYS
- INSTALL NEW UNDERLAYMENT
- INSTALL NEW VALLEY METAL
- INSTALL NEW DRIP EDGE (550')
- INSTALL NEW SEWER VENT BOOTS / CHIMNEY FLASHING
- INSTALL NEW RIDGE VENT / PDB VENTS
- INSTALL "GAF" TIMBERLINE HDZ LIFETIME SHINGLE
- INSTALL OWENS CORNING DURATION LIFETIME SHINGLE
- INSTALL ALUMINUM SOFFIT AND FASCIA

APPROXIMATELY 178 SQ
MAKE REPAIRS TO EPDM ROOF ON THE SOUTH TOWER

Company agrees to furnish material and labor, in accordance with above specifications for the sum of:
SEVENTY FIVE THOUSAND ONE HUNDRED SIXTEEN Dollars
(\$75,116.00)

Payment to be made as follows: 50% to be paid upon acceptance of the Proposal and balance to be paid upon completion of the work.

TERMS AND CONDITIONS OF THIS PROPOSAL ON THE REVERSE SIDE ARE PART OF THE PROPOSAL AND MAY NOT BE MODIFIED BY ADDITIONAL TERMS OR DIFFERENT TERMS. THE SOLE MEANS OF ACCEPTANCE OF THIS PROPOSAL SHALL BE BY RETURN OF A COPY SIGNED BY AN AUTHORIZED AGENT OF THE CUSTOMER.

Authorized Signature *[Signature]* President
 Above specifications & costs may be withdraw by us if not accepted within 30 days

This Proposal may only be accepted on the exact terms set forth herein, and no additional terms or different terms shall form the basis of a contract between Company and Customer pursuant to Wis. Stats. §402.207(2)(a).

Customer Signature _____ Date _____

Wausau Roofing and Siding Co
PO BOX 547
Wausau, WI 54402-0547

Phone: 715-675-1178
Cell: 715-571-9229
www.wausauroofers.com

Roofing Proposal

DATE: 9-21-23

CUSTOMER: VILLAGE OF KRAEWENWETTER	PHONE: 715-693-4200
STREET: 1582 KRAEWENWETTER DR	JOB NAME: MAIN ENTRANCE + POLICE DEPT BUILDING
CITY, STATE, ZIP: KRAEWENWETTER 54455	JOB LOCATION:
Wausau Roofing and Siding Co. ("Company") hereby submits specifications and cost for:	

- REMOVE AND DISPOSE OF EXISTING SHINGLES
- INSTALL 7/16 OSB DECKING (AS NEEDED) *ADD \$1.75 PER SQ. FT.
- INSTALL LEAK BARRIER ON EAVES AND IN VALLEYS
- INSTALL NEW UNDERLAYMENT
- INSTALL NEW VALLEY METAL
- INSTALL NEW DRIP EDGE (600')
- INSTALL NEW SEWER VENT BOOTS / CHIMNEY FLASHING
- INSTALL NEW RIDGE VENT / PDB VENTS
- INSTALL "GAF" TIMBERLINE HDZ LIFETIME SHINGLE
- INSTALL OWENS CORNING DURATION LIFETIME SHINGLE
- INSTALL ALUMINUM SOFFIT AND FASCIA

APPROXIMATELY 91 SQ

Company agrees to furnish material and labor, in accordance with above specifications for the sum of:
THIRTY EIGHT THOUSAND FOUR HUNDRED TWO Dollars
(\$38,402.00)

Payment to be made as follows: 50% to be paid upon acceptance of the Proposal and balance to be paid upon completion of the work.

TERMS AND CONDITIONS OF THIS PROPOSAL ON THE REVERSE SIDE ARE PART OF THE PROPOSAL AND MAY NOT BE MODIFIED BY ADDITIONAL TERMS OR DIFFERENT TERMS. THE SOLE MEANS OF ACCEPTANCE OF THIS PROPOSAL SHALL BE BY RETURN OF A COPY SIGNED BY AN AUTHORIZED AGENT OF THE CUSTOMER.

Authorized Signature [Signature] President
Above specifications & costs may be withdraw by us if not accepted within 30 days

This Proposal may only be accepted on the exact terms set forth herein, and no additional terms or different terms shall form the basis of a contract between Company and Customer pursuant to Wis. Stats. §402.207(2)(a).

Customer Signature _____ Date _____

TERMS AND CONDITIONS OF PROPOSAL

Section 5, Item J.

TERMS – The terms and conditions set forth herein contain the entire agreement between Wausau Roofing and Siding Co. ("Company") and Customer with respect to the subject matter hereof, and supersede all prior, contemporaneous or collateral representations, agreements, understandings, inducements or conditions, expressed or implied, oral or written, relating hereto, except as contained in this Proposal. The terms and conditions set forth herein cannot be modified, amended, added to, or otherwise changed unless such modification, addition or change is reflected in writing signed by both Company and Customer. No course of dealing or usage of trade or course of performance shall be relevant to explain or supplement any term expressed in this Proposal. Acceptance of this order by Company shall be deemed to constitute an agreement on Customer's part to the conditions hereof and supersedes all previous agreements.

INTEREST – Interest will be added to all overdue or otherwise delinquent accounts at the rate of 1.5% per month (18% per annum) or the maximum legal interest allowable, if less. In addition, Customer agrees to pay Company's reasonable attorney and/or collection fees and expenses, as permitted by law (at the trial level, on all appeals and post judgment), if legal or collection action is necessary to enforce the terms of this Proposal, including but not limited to collecting payments.

TAXES – The prices listed in the Proposal do not include any state or local taxes. If any tax, public charge, tariff, duty, or increase therein, is now or hereafter assessed, levied, or imposed upon this transaction, on the goods to be sold, or upon any sale, delivery, or other action taken hereunder, the burden of such charge or change shall be borne by Customer.

INSURANCE – Customer shall maintain fire, tornado and other necessary insurance on the property. Company warrants that company is insured.

ALTERATIONS – Any alteration or deviation will become an extra charge over and above the Proposal. Customer agrees to bear any reasonable additional costs arising out of or resulting from any alteration or deviation made by Customer under the terms and conditions of this Proposal whether or not a change order is signed.

CANCELLATION OF ORDER – It is agreed that if Customer terminates this Proposal, fails to accept delivery, or otherwise defaults on his/her obligations, this Proposal shall terminate and deposits will be returned to Customer accordingly, less all expenses incurred by Company, such as restocking costs, material procurement costs, administrative costs, and a reasonable profit.

DELAYS – Company will not be responsible for delays due to strikes, slowdowns, governmental shutdowns, shortages of material, fire, theft, vandalism, weather conditions, vendor or supplier performance, failure of suppliers or subcontractors to satisfactorily meet scheduled deliveries or any other acts or circumstances beyond its control. Customer shall pay Company for all expenses incurred by Company which arise out of delays, including delays caused by Customer. Present scheduled dates are good faith estimates and are not contractual nor are they intended to imply that time is of the essence.

CUSTOMER'S REPRESENTATIONS – Customer represents and warrants to Company that the construction site is zoned properly by the applicable governing authority for the construction contemplated under the terms of this Proposal. This Proposal shall be null and void in the event any governmental authority shall refuse to issue any necessary building or sanitary permit for the work contemplated herein.

CONSTRUCTION LIEN RIGHTS – As required by the Wisconsin Construction Lien Law, Company hereby notifies Customer that persons or companies furnishing labor or materials for the construction on Customer's land may have lien rights on that land and on the buildings on that land if they are not paid for such labor or materials. Those entitled to lien rights, in addition to Company, are those who contract directly with Customer, or those who give Customer notice within 60 days after they first furnish labor or materials for the construction. Accordingly, Customer probably will receive notices from those who furnish labor or materials for the construction, and should give a copy of each notice received to his/her mortgage lender, if any. Company agrees to cooperate with Customer and his/her lender, if any, to see that all potential lien claimants resulting from the work proposed hereunder are duly paid.

DAMAGES ON SITE – Customer shall be wholly responsible for loss of damages caused to materials stored on site, in-process construction or the contemplated project from all causes including without limitation, loss by fire, rain, windstorm, vandalism and insurrection. Customer agrees to procure and maintain, at his/her own expense, insurance against such loss in a sum equal to the total project price as set forth herein. Such insurance to be written to protect Customer and Company, as the interests may appear.

COMPLETION DATES – Completion dates acknowledged by Company are estimates of the date on which the work contemplated herein will be completed and are not binding on Company. Failure to perform pursuant to said completion dates for any reason whatsoever, whether in Company's control or not, shall not be cause for cancellation by Customer or for the assertion of damages of any kind whatsoever including, but not limited to, consequential damages, against Company. Company agrees to exercise its best efforts to notify Customer of any material delay in delivery or performance.

WARRANTY – Company warrants to Customer that from the date of final invoice supplied by Company, and for one year thereafter, Company will repair or replace, or pay the reasonable cost of such repair or replacement, at its option, any defects in the building caused by fault or workmanship supplied by Company under this Proposal. THE REMEDIES HEREIN PROVIDED ARE INTENDED TO BE CUSTOMER'S SOLE AND EXCLUSIVE REMEDIES, AND NO SUBSTITUTION FOR ALL OTHERS, AT LAW OR IN EQUITY. IN NO EVENT SHALL COMPANY BE LIABLE FOR ANY SPECIAL, INDIRECT OR CONSEQUENTIAL DAMAGES TO ANY PERSON OR PROPERTY ALTHOUGH THIS WARRANTY BEGINS ON THE DATE OF FINAL INVOICE. NO PERFORMANCE OF THIS WARRANTY SHALL BE MADE BY COMPANY OR LIABILITY ARISE UNTIL COMPANY HAS RECEIVED PAYMENT IN FULL FROM CUSTOMER. NO ACTION FOR THE ENFORCEMENT OF THE REMEDIES SET FORTH HEREIN SHALL BE COMMENCED MORE THAN ONE YEAR AFTER THE CAUSE OF ACTION ACCRUED FOR THE ENFORCEMENT OF SUCH REMEDIES.

CHOICE OF LAW/FORUM – Any action arising out of or related to the transactions contemplated by this Proposal shall be governed by and construed in accordance with the laws of the State of Wisconsin, without regard to conflict of law provisions wherever contained. THE PARTIES AGREE THAT ANY LITIGATION SHALL BE CONDUCTED EXCLUSIVELY IN THE MARATHON COUNTY CIRCUIT COURT LOCATED IN WAUSAU, WISCONSIN, WITHOUT A JURY, AND THE PARTIES HEREBY CONSENT TO SUCH JURISDICTION AND WAIVE ANY PERSONAL JURISDICTION OR VENUE OBJECTION (INCLUDING FORUM NON-CONVENIENS) TO SUCH FORUM.

SEVERABILITY – If any section (or part of a section) hereof is found to be unenforceable, then the remainder shall continue in full force and effect as if the unenforceable section (or part thereof) did not exist.

ERRORS – All mathematical errors and typos will be corrected immediately upon discovery thereof. Customer agrees to indemnify Company for all errors if Company corrects the error upon realization of the error. If Company knowingly fails to correct an error, Customer maintains all legal rights.

NOTICE CONCERNING CONSTRUCTION DEFECTS – Wisconsin law contains important requirements Customer must follow before Customer may file a lawsuit for defective construction against the contractor who constructed your dwelling or completed your remodeling project. Section 895.07(2) and (3), Stats., requires Customer to deliver to Company written notice of any construction conditions Customer alleges are defective before Customer can file a lawsuit, and Customer must provide Company the opportunity to make an offer to repair or remedy the alleged construction defects. Customer is not obligated to accept an offer made by Company. All parties are bound by applicable warranty provisions.

Leonard Ludi

From: William Kind <wkind.wausauroofing@gmail.com>
Sent: Saturday, September 23, 2023 3:10 PM
To: Leonard Ludi
Subject: [External] Re: One more item: Updated Roofing Proposal for the Village Kronenwetter
Attachments: image001.jpg; Owens Corning Warranty.pdf

Hi Leonard

Owens Corning Product Warranty on non-residential is for 50 years, ⁴⁰
Year 1 through 20 is non prorated on material and labor
Year 21 coverage drops to 60% and decreases by 2% per year through year 50 (Years 21-50 is material only)
Also there is no option to purchase an extended warranty
Let me know if you need anything else, I will be away on vacation from 9/24 until 10/01.
Thanks
Willy

On Fri, Sep 22, 2023 at 11:14 AM Leonard Ludi <ludi@kronenwetter.org> wrote:

Willie,

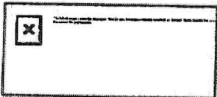
One more item and we are almost there.....: Could you also provide the (Owens Corning) shingle Technical data, Specification, Warranty, Additional Extended Warrantee cost info (if applicable) etc....?

Let me know if there are any questions,

Thanks,

Leonard Ludi

Public Works Director



1582 Kronenwetter Drive

Kronenwetter, WI 54455

Cell: 715-432-2351

Direct: 715-693-4200 ext. 112

Compare the Coverage

Shingles	Standard Product Limited Warranty Coverage			System Protection Roofing Limited Warranty Coverage			
	Warranty Length ¹	Wind Resistance	TruePROtection ⁴ Period ⁵	Wind Warranty Coverage	Warranty Length ¹	TruePROtection ⁴ Period ⁵	Wind Warranty Coverage
Berkshire ²	40 Years	130 MPH	5 Years	15 Years	50 Years	20 Years	15 Years
Devonshire ⁶	40 Years	130 MPH	5 Years	15 Years	50 Years	20 Years	15 Years
Woodmoor ⁸	40 Years	110/130 MPH ⁷	5 Years	15 Years	50 Years	20 Years	15 Years
Woodcrest ⁶	40 Years	110/130 MPH ⁷	5 Years	15 Years	50 Years	20 Years	15 Years
WeatherGuard ³ HP ^{9,10,11}	40 Years	116/130 MPH ⁷	5 Years	15 Years	50 Years	20 Years	15 Years
Duration ⁸ Series ⁷	40 Years	130 MPH	5 Years	15 Years	50 Years	20 Years	15 Years
Catridge ^{12,13}	40 Years	110/130 MPH ⁷	5 Years	15 Years	40 Years	20 Years	15 Years
Supreme ¹	25 Years	60 MPH	5 Years	5 Years	25 Years	15 Years	5 Years

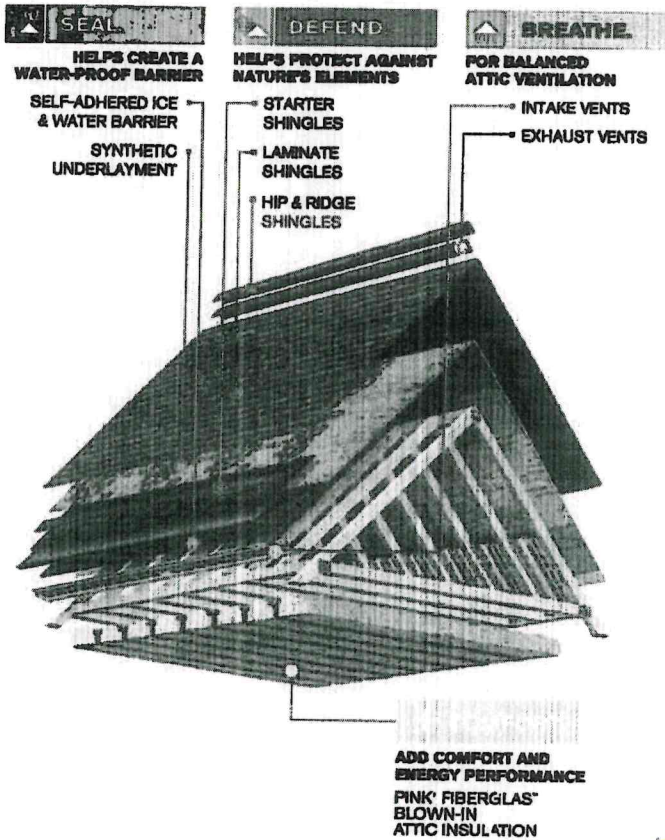
NON-RESIDENTIAL: 20-year, non-prorated labor, material, dumpster/disposal coverage on manufacturing defects.

Fully transferable, one-time for \$100 in first 20-years (Best Transferability in industry for Non-Residential)



TOTAL PROTECTION SIMPLIFIED™

It takes more than just shingles to protect a home. It takes an integrated system of components and layers designed to perform in three critical areas. The Owens Corning® Total Protection Roofing System® gives you the assurance that all of your Owens Corning® roofing components are working together to help increase the performance of your roof.



Product Attributes

- Warranty Length*
Limited Lifetime
(for as long as you own your home)
- Wind Resistance Limited Warranty*
130 MPH
- Algae Resistance Limited Warranty*
10 Years
- Tru PROTECTION® Non-Prorated Limited Warranty* Period
10 Years



TruDefinition® Duration® Shingles Product Specifications

Size	13 1/4" x 39 3/4"
Application Exposure	5 1/2"
Shingles per Bundle	Not less than 20
Average Shingle Count per 3 Bundles	64
Average Coverage per 3 Bundles	98.4 sq. ft.

Applicable Standards and Codes

- ASTM D228
- ASTM D9018 (Type 1)
- ASTM D3161 (Class F Wind Resistance)
- ASTM D3462
- ASTM D7158 (Class H Wind Resistance)
- ASTM E108/UL 790 (Class A Fire Resistance)
- Florida Product Approval
- ICC-ES AC438#
- Miami-Dade County Product Approval#
- PRI ER 1378E01

40-year limited warranty



OWENS CORNING ROOFING AND ASPHALT, LLC
 ONE OWENS CORNING PARKWAY
 TOLEDO, OHIO, USA 43659
 1-800-GET-PINK® | 1-800-438-7465
 www.owenscorning.com

Pub. No. 10013983-K. Printed in U.S.A. October 2021.
 THE PINK PANTHER™ & © 1964-2021 Metro-Goldwyn-Mayer Studios Inc.
 All Rights Reserved. The color PINK is a registered trademark of Owens Corning.
 © 2021 Owens Corning. All Rights Reserved.

* See actual warranty for complete details, limitations and requirements.
 ** 40-Year Limited Warranty on commercial projects.
 † Tru-Bond is a proprietary premium weathering-grade asphalt sealant that is blended by Owens Corning Roofing® and Asphalt, LLC.
 ‡ Owens Corning strives to accurately reproduce photographs of shingles. Due to manufacturing variances, the limitations of the printing process and the variations in natural lighting, actual shingle colors and granule blends may vary from the photo. The pitch of your roof can also impact how a shingle looks on your home. We suggest that you view a roofing display or several shingles to get a better idea of the actual color. To accurately judge your shingle and color choice, we recommend that you view it on an actual roof with a pitch similar to your own roof prior to making your final selection. Color availability subject to change without notice. Ask your professional roofing contractor for samples of colors available in your area.
 † The amount of Triple Layer Protection™ may vary on shingle-to-shingle basis.
 ‡ Owens Corning testing when following the manufacturer's installation instructions and nailed through the middle of the allowable nail zone.
 # International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles.
 ^ Excludes non-Owens Corning roofing products such as flashing, fasteners, pipe boots and wood decking.
 § Applies for all areas that recognize a Miami-Dade Notice of Acceptance (NOA).
 ¶ StreakGuard® Algae Resistance Technology is not available in the Denver service area.
 For Patent Information please visit owenscorning.com/patents.
 SureNail® Technology is not a guarantee of performance in all weather conditions.
 Shingles are algae resistant to control the growth of algae and discoloration.
 2 Owens Corning's Black Sable shingle includes a patented design.

ESTIMATE

Section 5, Item J.



Walk by Faith Roofing and Remodeling

2932 Creek Valley Ln
Appleton, WI 54914

james@walkbyfaithroofing.com
+1 (920) 977-9306
WWW.WALKBYFAITHROOFING.COM

Leonard Ludi

Bill to

Leonard Ludi
Village of Kronenwetter
1582 Kronenwetter Drive
Kronenwetter, WI 54455 US

Ship to

Leonard Ludi
Village of Kronenwetter
1582 Kronenwetter Drive
Kronenwetter, WI 54455 US

Estimate details

Estimate no.: 0086
Estimate date: 09/19/2023 ✓
Expiration date: 11/20/2023

Material Deposit: A deposit of 50% for materials

Product or service	Amount	Amount
1. Introduction In this estimate there will be tear off, installation and repair costs.	1 unit x \$0.00	\$0.00
2. Tear off BUILDING #1-Northern most building	48 units x \$150.00	\$7,200.00
3. Check for damaged or weak decking. Estimate includes 4 sheets of 4x8 7/16 OSB decking per building----Extra sheets are billed at \$30.00 per sheet	1 unit x \$0.00	\$0.00
4. Metal edge 2x2 True size drip edge and gutter apron. Price included in shingle price----20 pcs	1 unit x \$0.00	\$0.00
5. Install Ice and water shield Install a moisture barrier in valleys and on rake edges----sold by the roll	4 units x \$150.00	\$600.00
6. Install synthetic underlayment Purchased by the roll----price included in shingle price----8 rolls		\$0.00
7. Install Dimensional Laminate shingle sold by the bundle---168 bundles starter strip-----305 Linear feet sold by the bundle--13 bundles Hip and ridge cap--- 250 linear feet of hip and ridge cap--10 bundles 6 boxes of collated roll roofing nails	56 units x \$750.00	\$42,000.00
8. Re-Use all plumbing and pipe vents. Re-use all plumbing and pipe vents. Spray with rust inhibitor.		\$500.00

9.	Total for Building #1 is \$50,300.00		
10.	Tear off	18 units × \$150.00	\$2,700.00
11.	Check for damaged or weak decking. BUILDING #2 Lobby / #5	1 unit × \$0.00	\$0.00
12.	Misc. Multiple repairs to EPDM Rubber Roofing material		\$4,000.00
13.	Tear off BUILDING #3---Garage Roof area	114 units × \$150.00	\$17,100.00
14.	Check for damaged or weak decking. The estimate includes 4 sheets of 4x8 OSB decking---extras are billed at \$30 per sheet	1 unit × \$0.00	\$0.00
15.	Metal edge 2x2 True size drip edge and gutter apron--Price included in shingles---52 pcs	1 unit × \$0.00	\$0.00
16.	Install ice and water shield Install a moisture barrier in valleys and on rake edges---	16 units × \$150.00	\$2,400.00
17.	Install synthetic underlayment Purchased by the roll, included in shingle price --- 26 rolls		\$0.00
18.	Install Dimensional Laminate shingle sold by the bundle---393 bundles starter strip----- 550 Linear feet sold by the bundle--22 bundles Hip and ridge cap--- 300 linear feet of hip and ridge cap--25 bundles 10 boxes of collated roll roofing nails	131 units × \$750.00	\$98,250.00
19.	Re-Use all plumbing and pipe vents. Re-use all plumbing and pipe vents. Spray with rust inhibitor.		\$250.00
20.	Total cost for Building #3 is \$118,000.00		\$0.00
21.	Tear off BUILDING #4 Offices	69 units × \$150.00	\$10,350.00
22.	Check for damaged or weak decking. Estimate includes 4 sheets of 4x8 7/16 OSB decking---extras are billed at \$30 each	1 unit × \$0.00	\$0.00
23.	Metal edge 2x2 True size drip edge and gutter apron----included in shingle price--37 Pcs	1 unit × \$0.00	\$0.00
24.	Install ice and water shield Install a moisture barrier in valleys and on rake edges ---	8 units × \$150.00	\$1,200.00
25.	Install synthetic underlayment Purchased by the roll included in shingle price----15 rolls		\$0.00

79 units x \$750.00

26. **Install Dimensional Laminate shingle**

sold by the bundle---237 bundles
starter strip----- 350 Linear feet sold by the bundle-- 10 bundles
Hip and ridge cap--- 160 linear feet of hip and ridge cap--8 bundles
8 boxes of collated roll roofing nails

\$250.00

27. **Re-Use all plumbing and pipe vents.**

Total cost of Building #4 \$73,750.00

\$0.00

28. **Notice**

Please note the following----

1. Gas Furnace and water heater exhaust pipes, if not correctly installed, may become dislodged during roof replacement. We highly recommend the homeowner have these connections checked by their A/C or Plumbing Service professional following new roof installation.

\$0.00

29. **Notice--2**

Installing the roof requires nailing through the roof deck. Items such as conduit lines and T.V, Cable or refrigerant lines installed closer than 1 1/2 inches of the underside of roof decking shall be protected from damage by nails and other fasteners. As per the current International Commercial building code.

\$0.00

30. **Complete and seal**

Seal all roof penetrations.
Remove and dispose of all job related debris.
Provide Contractor 5 year roof installation warranty.
Provide Material Manufacturers Warranty.

\$0.00

31.

Due to the sheer bulk of the project, we ask for adequate completion time to be agreed upon mutually.

Total \$246,050.00

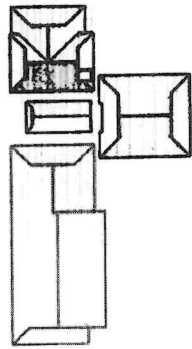
Note to customer

50% material deposit required due to size of order, prior to start of project...
Also please allow sufficient time frame for deposit to clear so materials can be ordered and delivered.

Expiry date 11/20/2023



1582 Kronenwetter Dr, Kronenwetter, WI 54455 Report: 52697230



In this 3D model, facets appear as semi-transparent to reveal overhangs.

Building: 1

PREPARED FOR

Contact:	James Franklin
Company:	Walk by Faith Roofing and Remodeling
Address:	2932 W Creek Valley Ln Appleton, WI 54914
Phone:	920-977-9306

TABLE OF CONTENTS

- Images1
- Length Diagram4
- Pitch Diagram5
- Area Diagram6
- Notes Diagram.....7
- Penetrations Diagram8
- Report Summary.....9

MEASUREMENTS

- Total Roof Area =31,129 sq ft
- Total Roof Facets =20
- Predominant Pitch =4/12
- Number of Stories >1
- Total Ridges/Hips =637 ft
- Total Valleys =79 ft
- Total Rakes =381 ft
- Total Eaves =1,306 ft
- Total Penetrations =22
- Total Penetrations Perimeter = 150 ft
- Total Penetrations Area = 72 sq ft

Measurements provided by www.eagleview.com



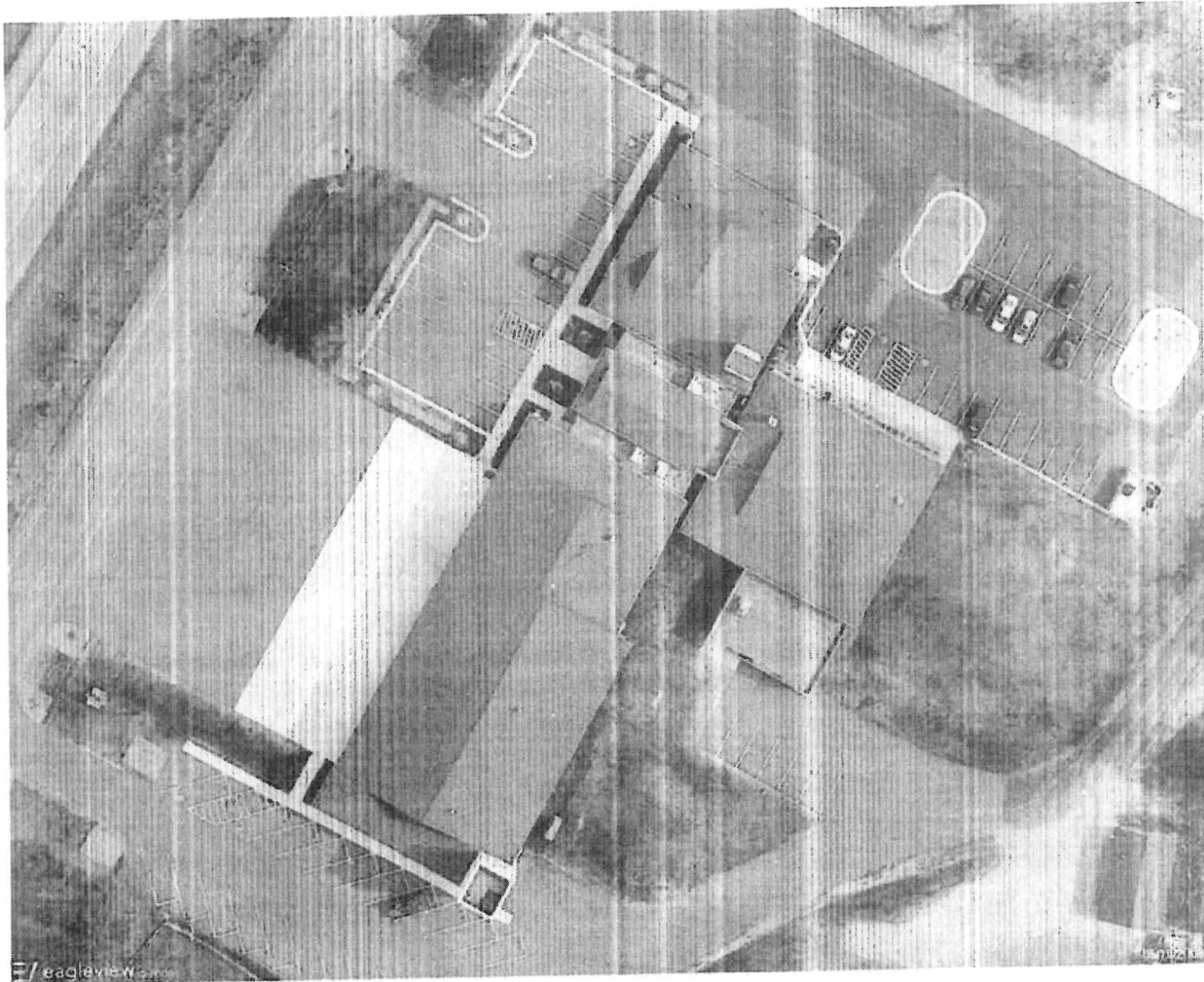
Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View

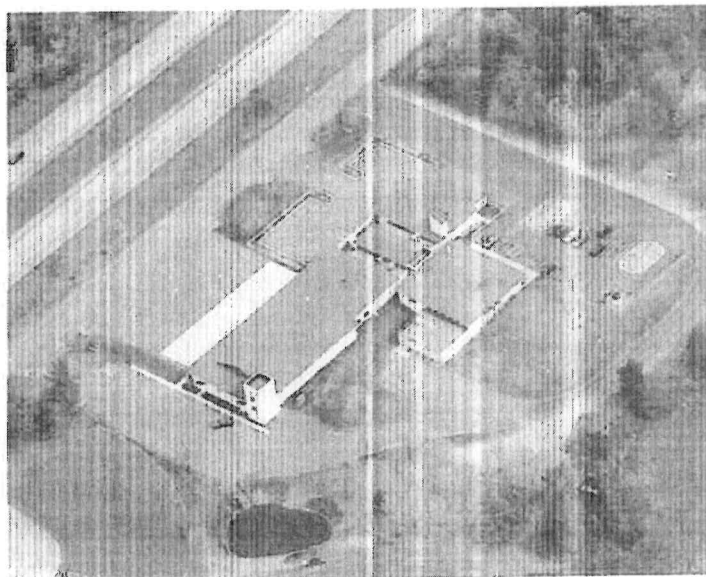


IMAGES

North Side



South Side

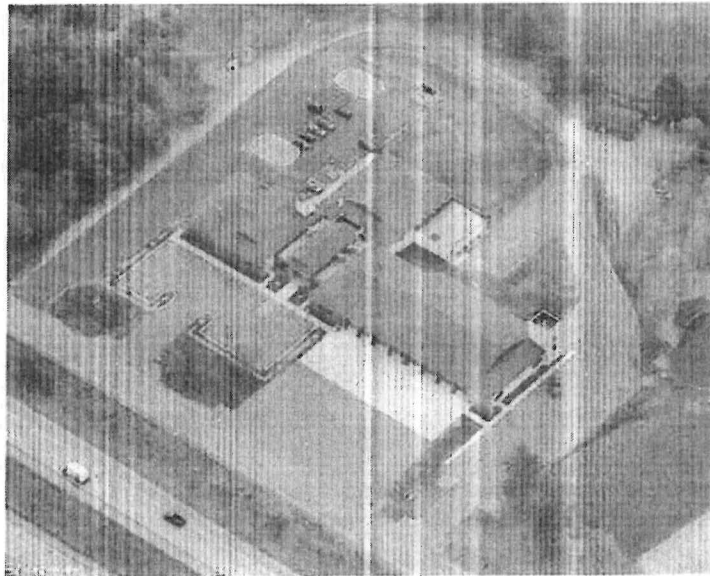


IMAGES

East Side



West Side

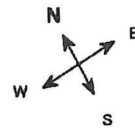
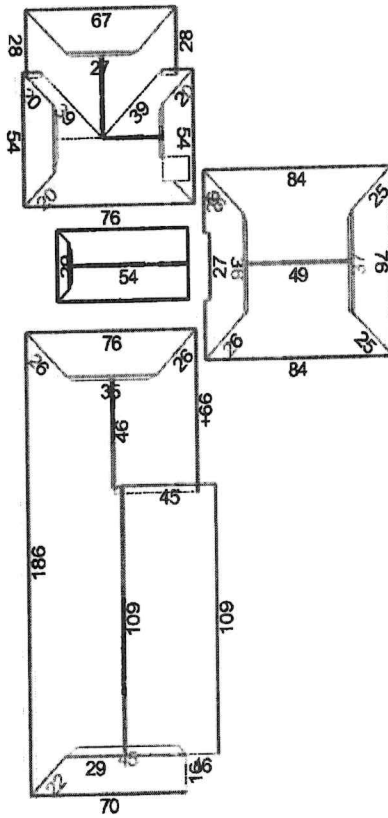


LENGTH DIAGRAM

Total Line Lengths:
Ridges = 320 ft
 Hips = 317 ft

Valleys = 79 ft
 Rakes = 381 ft
 Eaves = 1,306 ft

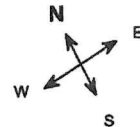
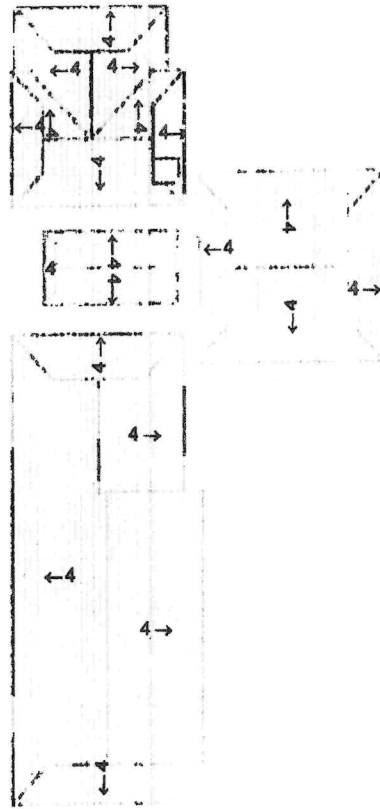
Flashing = 249 ft
 Step flashing = 171 ft
 Parapets = 0 ft



Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

PITCH DIAGRAM

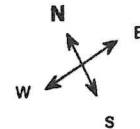
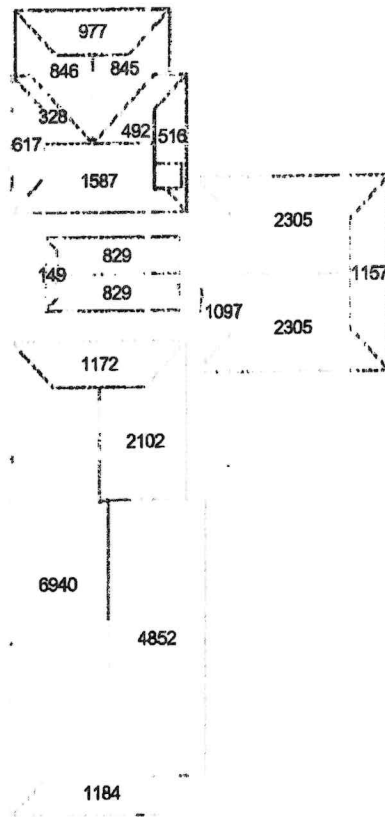
Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 4/12



Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater.

AREA DIAGRAM

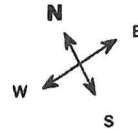
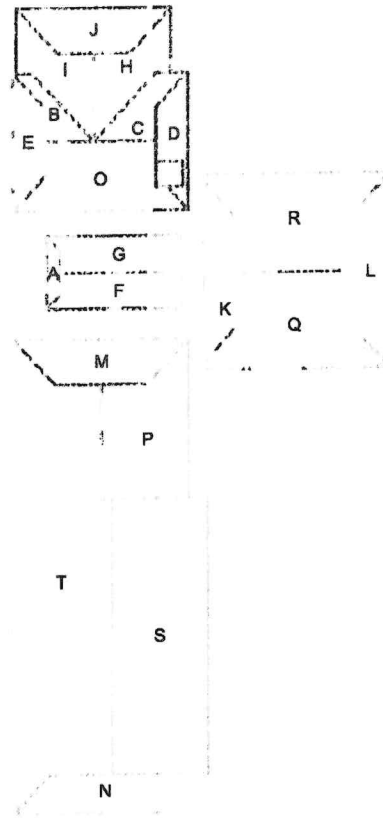
Total Area = 31,129 sq ft, with 20 facets.



Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



PENETRATIONS NOTES DIAGRAM

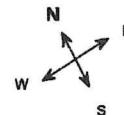
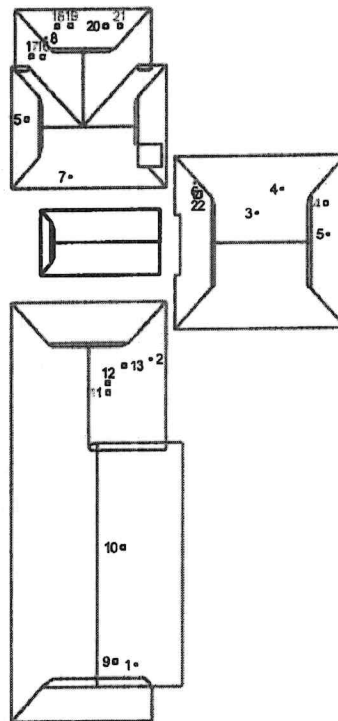
Penetrations are labeled from smallest to largest for easy reference.

Total Penetrations = 22

Total Penetrations Perimeter = 150 ft

Total Penetrations Area = 72 sq ft

Total Roof Area Less Penetrations = 31,057 sq ft



REPORT SUMMARY

All Structures

Areas per Pitch	
Roof Pitches	4/12
Area (sq ft)	31128.8
% of Roof	100%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

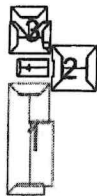
Waste Calculation Table							
Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	31,129	34241.9	34864.5	35798.4	36420.9	37354.8	37977.4
Squares	311.3	342.4	348.6	358.0	364.2	373.5	379.8

This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.

Penetrations	1-8	9-21	22					
Area (sq ft)	1	4	12					
Perimeter (ft)	4	8	14					

Any measured penetration smaller than 3.0x3.0 Feet may need field verification. Accuracy is not guaranteed. The total penetration area is not subtracted from the total roof area.

All Structures Totals



Lengths, Areas and Pitches

- Ridges = 320 ft (6 Ridges)
- Hips = 317 ft (15 Hips).
- Valleys = 79 ft (2 Valleys)
- Rakes† = 381 ft (24 Rakes)
- Eaves/Starter‡ = 1,306 ft (22 Eaves)
- Drip Edge (Eaves + Rakes) = 1,687 ft (46 Lengths)
- Parapet Walls = 0 (0 Lengths).
- Flashing = 249 ft (12 Lengths)
- Step flashing = 171 ft (22 Lengths)
- Total Penetrations Area = 72 sq ft
- Total Roof Area Less Penetrations = 31,057 sq ft
- Total Penetrations Perimeter = 150 ft
- Predominant Pitch = 4/12
- Total Area (All Pitches) = 31,129 sq ft**

Property Location

Longitude = -89.6605102
Latitude = 44.8244954

Notes

This was ordered as a commercial property. There were no changes to the structure in the past four years.

Total Roof Facets = 20
Total Penetrations = 22

† Rakes are defined as roof edges that are sloped (not level).
‡ Eaves are defined as roof edges that are not sloped and level.

1582 Kronenwetter Dr, Kronenwetter, WI 54455

Report: 52697230

Measurements by Structure									
Structure	Area (sq ft)	Ridges (ft)	Hips (ft)	Valleys (ft)	Rakes (ft)	Eaves (ft)	Flashing (ft)	Step Flashing (ft)	Parapets (ft)
1	16250	154	74	0	149	507	80	92	0
2	6864	49	103	0	96	322	73	7	0
3	6208	62	124	79	86	330	83	64	0
4	1807	54	15	0	50	146	12	7	0

All values in this table are rounded up to the nearest Foot for each separate structure. Measurement totals displayed elsewhere in this report are added together before rounding which may cause totals to differ.

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

Online Maps

Online map of property

http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=1582+Kronenwetter+Dr,Kronenwetter,WI,54455

Directions from Walk by Faith Roofing and Remodeling to this property

http://maps.google.com/maps?f=d&source=s_d&saddr=2932+W+Creek+Valley+Ln,Appleton,WI,54914&daddr=1582+Kronenwetter+Dr,Kronenwetter,WI,54455



Legal Notice and Disclaimer

5/25/2023

1582 Kronenwetter Dr, Kronenwetter, WI 54455

Report: 52697230

IMPORTANT LEGAL NOTICE AND DISCLAIMER

Notice and Disclaimer

No Warranty: The Copyrighted Materials are provided to you "as is," and you agree to use it at your own risk.

EagleView Technologies makes no guarantees, representations or warranties of any kind, express or implied, arising by law or otherwise, including but not limited to, content, quality, accuracy, completeness, effectiveness, reliability, fitness for a particular purpose, usefulness, use or results to be obtained from the Copyrighted Materials.

Contractors agree to always conduct a preliminary site survey to verify Roof Report ordered. In the event of an error in a Report, your sole remedy will be a refund of the fees paid by you to obtain this Report.

25 year Warrantee

Timberline® UHDZ™ Specs

ABOUT
([HTTPS://WWW.GAF.COM/EN-US/PRODUCTS/TIMBERLINE-UHDZ](https://www.gaf.com/en-us/products/timberline-uhdz))

SPECS
([HTTPS://WWW.GAF.COM/EN-US/PRODUCTS/TIMBERLINE-UHDZ/SPECIFICATIONS](https://www.gaf.com/en-us/products/timberline-uhdz/specifications))

DOCS
([HTTPS://WWW.GAF.COM/EN-US/PRODUCTS/TIMBERLINE-UHDZ/DOCUMENTS](https://www.gaf.com/en-us/products/timberline-uhdz/documents))

VIDEOS
([HTTPS://WWW.GAF.COM/EN-US/PRODUCTS/TIMBERLINE-UHDZ/VIDEOS](https://www.gaf.com/en-us/products/timberline-uhdz/videos))

SPECIFICATIONS (ALL DIMENSIONS ARE NOMINAL)

AWARDS & RECOGNITION	Good Housekeeping Rated
\$ - \$\$\$\$	\$\$
DURABILITY & TOUGHNESS	Advanced Protection Shingle with GAF Dura Grip Adhesive
EXPOSURE	5.625" (144 mm)
EXTREME WEATHER IMPACT RATED	No
FIRE RATING	Highest Rating - Class A
MATERIAL	Fiberglass Asphalt Construction
WIND RATING	Eligible for the WindProven™ Limited Wind Warranty when installed with four required GAF accessory products
SHINGLE STYLE	Wood-Shake Look
SHINGLE TYPE	Architectural Shingles
APPROX. NAILS/SQ	256
AWARDS & RECOGNITION: Good Housekeeping Rated	
\$ - \$\$\$\$: \$\$	
DURABILITY & TOUGHNESS: Advanced Protection Shingle with GAF Dura Grip Adhesive	
EXPOSURE: 5.625" (144 mm)	
EXTREME WEATHER IMPACT RATED: No	
FIRE RATING: Highest Rating - Class A	

SPECIFICATIONS (ALL DIMENSIONS ARE NOMINAL)

MATERIAL: Fiberglass Asphalt Construction

WIND RATING: Eligible for the WindProven™ Limited Wind Warranty when installed with four required GAF accessory products

SHINGLE STYLE: Wood-Shake Look

SHINGLE TYPE: Architectural Shingles

APPROX. NAILS/SQ: 256

CODES

CO_HEADING	Codes
FBC	State of Florida Approved
ICC	ESR-1475
ICC AC438	ESR-3267
MIAMI-DADE COUNTY	Miami-Dade County Product Control Approved
TDI	Meets requirements of the Texas Department of Insurance

CO_HEADING: Codes

FBC: State of Florida Approved

ICC : ESR-1475

ICC AC438: ESR-3267

MIAMI-DADE COUNTY: Miami-Dade County Product Control Approved

TDI: Meets requirements of the Texas Department of Insurance

TESTING METHODS & APPLICABLE STANDARDS

TAS 100-95 Yes

TAS 100-95: Yes

SHIPPING AND PACKAGING

APPROX. PIECES/SQ 64

APPROX. BUNDLES/SQ 3

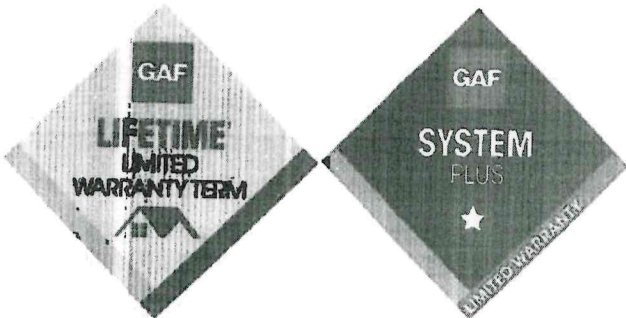
APPROX. PIECES/SQ: 64

SHIPPING AND PACKAGING

APPROX. BUNDLES/SQ: 3

Get automatic Lifetime Protection on your entire GAF roofing system

When you install any GAF Lifetime Shingle and at least 3 qualifying GAF accessories, you'll automatically get a Lifetime limited warranty on your shingles and all qualifying GAF accessories*.





System Plus Limited Warranty



The Legal Stuff

(Dimensional Laminated Shingles) (?)

What is Covered/Excluded. This System Plus Limited Warranty covers certain GAF roofing products installed on your roof (the "GAF Products") including GAF Asphaltic Shingles, GAF Ridge Cap Shingles, GAF Starter Strip Shingles, GAF Leak Barrier Products, GAF Roof Deck Protection Products, GAF Cobra® Attic Ventilation Products, GAF Master Flow® Attic Exhaust Ventilation Products, GAF Master Flow™ Pivot™ Pipe Boot Flashing, and GAF-labeled Ultimate Pipe Flashing® with EasySleeve® (manufactured by Lifetime Tool® & Building Products LLC), in the unlikely event that they contain a manufacturing defect. Note: This limited warranty does not cover low-slope membranes, other Master Flow® Products, or GAF ThermoCal® Ventilated Nail Base Roof Insulation. Please go to gaf.com for a copy of the limited warranties covering these products.

How Long Your Warranty Lasts

GAF Shingles	Manufacturing Defect Coverage		Wind Warranty Coverage		Algae Warranty Coverage	
	Limited Warranty Term	Smart Choice® Protection Period**	Limited Warranty Term	Wind Speed Coverage (mph / km/h)	Limited Warranty Term	Smart Choice® Protection Period**
LayerLock®-labeled Timberline® Shingles	Lifetime†	50 Years	15 Years	WindProven™ Limited Wind Warranty***: No maximum wind speed. For all other installations: With Special Installation****: 130 / 209 Without Special Installation****: 110 / 175	StainGuard Plus PRO™: 30 Years StainGuard Plus™: 25 Years	StainGuard Plus PRO™ and StainGuard Plus™: 15* / 10 Years
All Other GAF Lifetime† Shingles	Lifetime†	50 Years	15 Years	With Special Installation****: 130 / 209 Without Special Installation****: 110 / 175	StainGuard Plus™: 25 Years StainGuard®: 10 Years	StainGuard Plus™: 15* / 10 Years StainGuard®: 1 Year
Marquis WeatherMax®	30 Years	20 Years	5 Years	80 / 130	No coverage	No coverage
Royal Sovereign®	25 Years	20 Years	5 Years	60 / 96	StainGuard®: 10 Years	StainGuard®: 1 Year
GAF Ridge Cap Shingles	Manufacturing Defect Coverage		Wind Warranty Coverage		Algae Warranty Coverage	
			Limited Warranty Term	Wind Speed Coverage (mph / km/h)	Limited Warranty Term	Smart Choice® Protection Period**
TimberTex®, Ridglass®, TimberCrest®	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof.		15 Years	With Special Installation****: 130 / 209 Without Special Installation****: 110 / 175	StainGuard Plus™: 25 Years	StainGuard Plus™: 15* / 10 Years
Seal-A-Ridge®, Seal-A-Ridge® AS	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof.		5 Years	90 / 144	StainGuard Plus™: 25 Years	StainGuard Plus™: 15* / 10 Years
Z® Ridge	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof.		5 Years	With Special Installation****: 90 / 144 Without Special Installation****: 70 / 112	StainGuard Plus™: 25 Years	StainGuard Plus™: 15* / 10 Years
GAF Starter Strip Shingles	Manufacturing Defect Coverage		Wind Warranty Coverage		Algae Warranty Coverage	
					Limited Warranty Term	Smart Choice® Protection Period**
StarterMatch®	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof.		No coverage		StainGuard Plus™: 25 Years	StainGuard Plus™: 15* / 10 Years
All Other GAF Starter Strip Shingles	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof.		No coverage		No coverage	No coverage
Other GAF Accessories	Manufacturing Defect Coverage		Wind Warranty Coverage		Algae Warranty Coverage	
GAF Leak Barrier Products GAF Roof Deck Protection Products GAF Cobra® Attic Ventilation Products GAF Master Flow® Non-Powered Attic Exhaust Ventilation Products	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof.		No coverage		No coverage	
GAF Master Flow® Powered Attic Exhaust Ventilation Products	Limited Warranty Term and Smart Choice® Protection Period** lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof, except that Motorized, Solar, and Electronic Components and Wi-Fi connectivity (if applicable) are covered for the warranty term stated in the GAF Master Flow® Powered Attic		No coverage		No coverage	



System Plus Limited Warranty



Note: All self-sealing shingles and ridge cap shingles, including GAF's, must be exposed to warm, sunny conditions for several days before they completely seal. Before sealing occurs, shingles and ridge cap shingles are vulnerable to blow-offs and wind damage. Shingles and ridge cap shingles installed in fall or winter may not seal until the following spring. Shingles or ridge cap shingles that are not exposed to direct sunlight or adequate surface temperatures or that are not fastened or installed properly may never seal. Failures to seal, blow-offs, and wind damage under these circumstances result from the nature of self-sealing shingles and ridge cap shingles, not a manufacturing defect, and are not covered under this limited warranty.

Algae Warranty: What Is Covered/Sole and Exclusive Remedy
 This limited warranty applies only to shingles, ridge cap shingles, and starter strip shingles sold in packages bearing the **StainGuard Plus PRO™** or **StainGuard Plus™** or **StainGuard®** logos. GAF warrants to you that blue-green algae (also known as cyanobacteria) will not cause a pronounced discoloration of your **StainGuard Plus PRO™**, or **StainGuard Plus™**, or **StainGuard®**-labeled shingles, ridge cap shingles, or starter strip shingles for the warranty term listed above. If your **StainGuard Plus PRO™**, or **StainGuard Plus™**, or **StainGuard®**-labeled shingles, ridge cap shingles, or starter strip shingles exhibit a pronounced discoloration caused by blue-green algae during the Smart Choice® Protection Period listed above, GAF's contribution will be either the reasonable cost of commercially cleaning your shingles, ridge cap shingles, or starter strip shingles or, at GAF's sole option, replacing discolored Shingles, Ridge Cap Shingles or, Starter Strip Shingles. The maximum cost to GAF shall be the lesser of the original cost of the affected Shingles, Ridge Cap Shingles, or Starter Strip Shingles, or the cost to clean the affected shingles, ridge cap shingles, or starter strip shingles. During the remainder of the limited warranty period, GAF's contribution to you will be reduced to reflect the amount of use you have received from your shingles, ridge cap shingles, or starter strip shingles since they were installed. The amount of use will be calculated by dividing the number of months which have elapsed since installation to the date of claim by the number of months in the Algae Warranty term.

Note: Preventing pronounced algae-related discoloration of your shingles, ridge cap shingles, and starter strip shingles is achieved through formulations or through unique blends of granules.

Master Flow® Powered Attic Exhaust Ventilation Products Limited Warranty: What Is Covered/Sole and Exclusive Remedy

This Master Flow® Powered Attic Exhaust Ventilation Products Limited Warranty lasts as long as the warranty for manufacturing defects for the type of shingle installed in the field of the roof, except that the motorized, solar, electronic, and Wi-Fi enabled components of the products shall only be covered for the warranty term set forth in this section.

Power, Solar & Dual-Powered Attic Exhaust Vents — Roof Mount	Warranty Term (Years)	Non-Prorated Coverage Term (Years)	Wi-Fi Connectivity Limited Warranty Term (Years)*
ERV4, CERV4, ERV4HT	5	2	1
ERV5, CERV5, ERV5HT, ERV5QCT, EZCR1, EZCR1HT, EZCQCR1	5	3	1
ERV6, CERV6, ERV6HT	10	5	1
ERVSOLAR, ERVHYBRID	5	2	-
PRSOLAR2, PRHYBRID2	6	3	-
REPLACEMENT MOTORS, CONTROLLERS & ACCESSORIES	1	-	1
Power & Solar Attic Exhaust Vents — Gable Mount	Warranty Term (Years)	Non-Prorated Coverage Term (Years)	Wi-Fi Connectivity Limited Warranty Term (Years)*
EGV5, CEGV5, EGV5HT, EGV5QCT, EZCG1, EZCG1HT, EZCQCG1	5	3	1
EGV6, CEGV6, EGV6HT, EZCG2	10	5	1
PGSOLAR	5	2	-
REPLACEMENT MOTORS, CONTROLLERS & ACCESSORIES	1	-	1

* Wi-Fi Connectivity Limited Warranty applies only if you elected to purchase the optional Master Flow QuickConnect™ Wi-Fi Technology at the time of purchase. If you purchased this technology, your vent is warranted to have the ability to connect to your home's Wi-Fi network for a period of 1 year following the completion of installation of your roof or gable.

Manufacturing Defects

During the warranty term specified above, for any Vent that does not perform properly as a result of a manufacturing defect, as determined by GAF, GAF will provide you with replacement part(s) or a replacement Vent. Decisions as to the provision of replacement part(s) or a replacement Vent will be made solely by GAF. If your claim arises during the Non-Prorated Coverage Term, GAF will also reimburse you for the reasonable costs to remove the

What Is Not Covered

Even if your GAF Products were not properly installed according to GAF's application instructions or to standard good roofing practices, this limited warranty remains in effect. However, GAF will NOT be liable for and this warranty does NOT apply to:

- Damage resulting from anything other than an inherent manufacturing defect in the GAF Products, such as:
 - Improper fastening of your shingles or accessories or application not in strict accordance with GAF's printed application instructions, if the improper installation was the cause of the damage.
 - Settlement, movement, structural damage, or defects in the building, walls, foundation, or the roof base over which the shingles or accessories were applied.
 - Inadequate ventilation.
- Damage resulting from causes beyond normal wear and tear, such as:
 - acts of nature, such as hail, fire, or winds (including gusts) over the applicable wind speed listed above except there is no maximum wind speed restriction for shingles covered by the WindProven™ Limited Wind Warranty.
 - impact of traffic on the roof or foreign objects, including damage caused by objects blown onto the roof by wind.
 - improper storage or handling of the GAF Products.
- Ice damming, except for leaks in the area of your roof covered by a GAF Leak Barrier which are caused by a manufacturing defect in your GAF Leak Barrier.
- Shading or variations in the color of your GAF Products chipping, fading or peeling paint on your Master Flow® Attic Exhaust Vent, or Master Flow™ Pivo™ Pipe Boot Flashing or discoloration or contamination caused by fungus, mold, lichen, algae (except for blue-green algae if your shingles, ridge cap shingles, or starter strip shingles were labeled with the StainGuard Plus™ or StainGuard® logos), or other contaminants, including that caused by organic materials on the roof.
- Labor costs, except as specifically provided for above, disposal costs, and costs relating to underlayments (unless your claim involves a manufacturing defect in a GAF Underlayment), metal work, and flashings.
- Damage to the interior or exterior of the building, including, but not limited to, mold growth.

Other Limitations Concerning Coverage

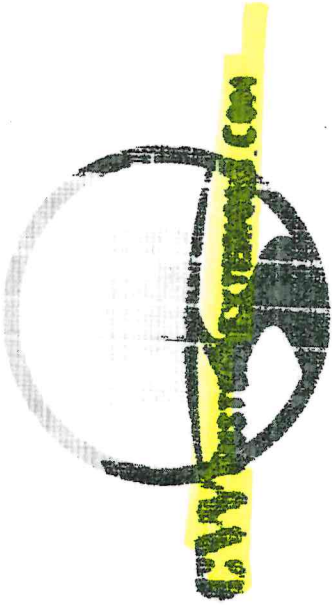
Decisions as to the extent of repair, re-cover, or cleaning required, and the reasonable cost of such work, will be made solely by GAF. GAF reserves the right to arrange directly for your GAF Products to be repaired, re-covered, or cleaned instead of reimbursing you for such work. The remedy under this warranty is available only for that portion of your GAF Products actually exhibiting manufacturing defects or algae discoloration at the time your claim is settled. Any replacement GAF Products will be warranted only for the remainder of the original warranty period. GAF reserves the right to discontinue or modify its shingles or accessories, including the colors available, so any replacement GAF Products may not be an exact match for the GAF Products on your roof. Even if GAF does not modify a color, replacement GAF Products may not match your original GAF Products due to normal weathering, manufacturing variations, or other factors. In the event that GAF is unable to provide replacement products, GAF reserves the right to provide the cash value of those replacement products.

Claims: What You Must Do

You must notify GAF about any claim within 30 days after you notice a problem. You may report a claim online at gaf.com/contact, by calling GAF at 1-800-458-1860, sending an email to warrantyclaims@gaf.com, or by sending a notice in writing to: GAF, Warranty Claims Department, 1 Campus Drive, Parsippany, NJ 07054, USA. You will then be provided with complete details about submitting your claim. You may be required to send to GAF, at your expense, photographs and sample products for testing. Within a reasonable time after proper notification, GAF will evaluate your claim and resolve it in accordance with the terms of this limited warranty. If you repair or replace your GAF Products before you notify GAF about your claim, or before GAF has completed its evaluation of your claim, your claim may be denied. If you need to repair or replace your GAF Products before your claim is resolved, you MUST provide GAF with reasonable notice. **NOTE: Notice to your contractor, dealer, or home builder is NOT notice to GAF.** You should retain this document for your records in the unlikely event that you need to file a claim.

Sole and Exclusive Warranty

THIS LIMITED WARRANTY IS EXCLUSIVE AND REPLACES ALL OTHER WARRANTIES, CONDITIONS, REPRESENTATIONS AND GUARANTEES, WHETHER EXPRESS OR IMPLIED, WHETHER BY STATUTE, AT LAW OR IN EQUITY, INCLUDING THE IMPLIED WARRANTIES OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE. This limited warranty is your exclusive warranty from GAF and represents the SOLE REMEDY available to any owner of GAF Products. GAF makes NO OTHER REPRESENTATIONS, CONDITIONS, GUARANTEES, OR WARRANTIES of any kind other than that stated herein. GAF WILL NOT BE LIABLE IN ANY EVENT FOR CONSEQUENTIAL, PUNITIVE, SPECIAL, INCIDENTAL, OR OTHER SIMILAR DAMAGES OF ANY KIND, including DAMAGE TO THE INTERIOR OR EXTERIOR OF ANY BUILDING, whether any claim against it is based upon breach of this warranty, negligence, strict liability in tort, or for any other cause. This limited warranty gives you specific legal rights, and you may also have other rights which vary from jurisdiction to jurisdiction. Some jurisdictions do not allow limitations on or the exclusion of incidental or consequential damages, so the above limitations or exclusions may not apply to you. New Jersey state residents are encouraged to review their rights under the agreement, as provided under the New Jersey Truth-In-Consumer Contract Warranty and Notice Act ("TCCWNA").



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1111

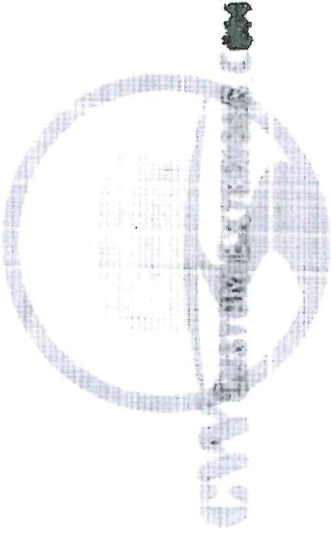
Roofing Proposal #5479

Client: Village of Kronenwetter

Phone: 715-432-2351

Address: 1582 Kronenwetter Drive, Kronenwetter, WI 54455

Job Description: Commercial Shingle Roof replacement and Tower EPDM roof repair or replace.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1111

Scope of Work:

CW Custom Exteriors.com proposes to perform labor and supply all necessary materials for the completion of the roof replacement as follows:

Building address: 1582 Kronenwetter Drive, Kronenwetter, WI 54455

Description of roofs to be completed: Remove existing 2 layers of Asphalt shingles and underlayment, on sloped areas and install new asphalt shingle roofing system. Repair or replace Tower EPDM rubber roofing.

Building breakdown is depicted in the attached aerial commercial report, page 3:

Pitched area = 31,237 total square feet, with 10% waste = 34360 sq ft.

Tower Flat roof areas is 336 square feet. With 5 feet up side walls =690 sq. Ft

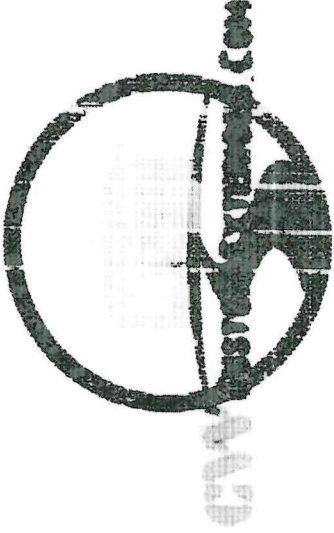
Drip Edge =1687 linear feet

Installation of 6 ft. (2 rows) of new Ice and Water shield membrane along all eaves and 3' through valleys.

Installation of new "Pro-Armor Synthetic Roof Underlayment" synthetic roofing underlayment over areas not covered with ice and water protection.

Installation of new vent pipe flashings. This material will meet or exceed the manufacturer's requirements and shall be installed "hidden fastener" fashion so that no "shiners" are present.

Installation of new Owens Corning TruDefinition Duration Architectural Roofing Shingles in Chateau Green over entire structure. Please see attached specs and warranty information.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Shingles will be installed in strict accordance with the manufacturer's specifications and shall be fastened using five to six nails per shingle depending upon slope of roof.

Installation of manufacturer's pre-made hip and ridge material over all hips and ridges. Hip and ridge rows will be run straight and shall be installed according to manufacturer's instructions.

Roof sealant shall be used to seal along all walls and around all roof penetrations.

40 Year (Lifetime) transferable non-pro-rated Manufacturer Warranty.

Workmanship Warranty.

Haul away all debris via multiple roll of dumpsters placed at different locations of property, an equipter dumpster trailer and clean up grounds.

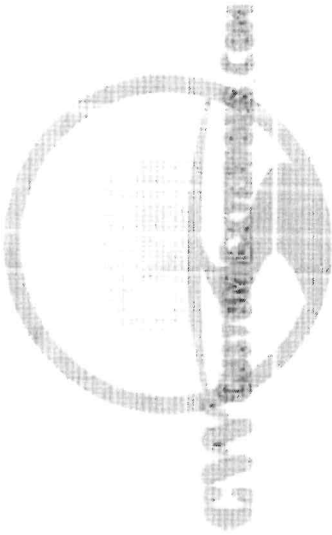
Cover all bushes, shrubs and flowers for protection.

INSURANCE & SAFETY

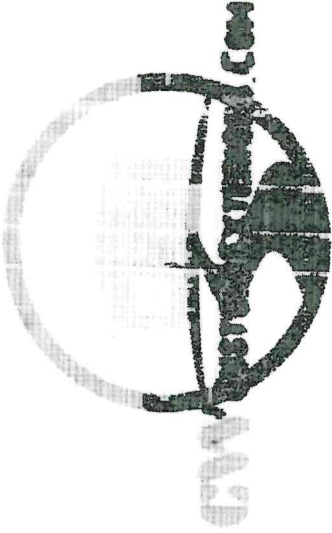
CWCustomExteriors.com LLC, shall provide general liability insurance as detailed on our certificate of insurance. Maximum liability is the limits of this insurance. A certificate of insurance will be issued upon request.

Safety is of primary importance to CWCustomExteriors.com LLC

We will set up required safety equipment at site needed to comply with OSHA construction guidelines including barricades, safety lines, ect.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR. WAUSAU, WI 54401 * 715-870-1882



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1852

We hereby propose to furnish material and labor - complete in accordance with the above specifications dated this 25th day of September, 2023 for the sum of One hundred seventy-four thousand five hundred twenty five dollars.

(\$174,525.00)

With payments to be made as follows:

Scheduled Payments: 65%/35%

\$ 113,441.25 Initial down payment

\$ 61,083.75 upon completion

ADDITIONAL WORK:

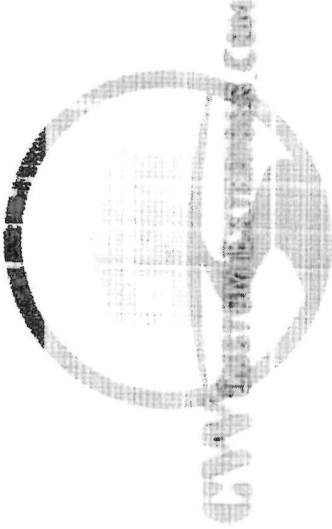
1/2" OSB REPLACEMENT @ \$80/sheet, \$280/square

Refresh and seal other Tower flashing: \$25/lf

Other rubber roof repairs on main building: \$350+ depending on issues found. Change Order would then be addressed and completed to update.

Note: this proposal may be withdrawn by us if not accepted within 30 days.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only with approval.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1000

All agreements contingent upon strikes, accidents, or delays beyond our control. Owner is to carry fire, tornado, and other necessary insurance.

Acceptance of Proposal - The above prices, specifications and conditions are satisfactory and are hereby accepted. Payment will be made as outlined above. A service charge of 1.5% per month will be charged to balance if not paid within 10 days. Replacement of any damaged or deteriorated decking discovered after removing existing roofing will be an additional cost of \$2.50 per square ft. of decking as needed after owner's approval. New decking will meet or exceed local building code requirements and H-clips will be used between all rafters.

Projected Start Date: Between 10-23-2023 to 11-10-2023. (Open window as dates can vary depending when contract is signed and weather permitting.)

Acceptance of Proposal

Customer _____

Date _____

Date _____

CW Custom Exteriors.com _____

Date _____



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1852

"CUSTOMER'S RIGHT TO CANCEL" You may cancel this agreement by mailing a written notice to CW Custom Exteriors.com before midnight of the third business day after you signed this agreement. If you wish, you may use this page as that notice by writing "I hereby cancel" and adding your name and address. A duplicate of this is provided by CW Custom Exteriors.com for your records.

ROOFING CONTRACTOR WORKMANSHIP WARRANTY

- 1) Contractor: _____
- 2) Roof Owner: _____
- 3) Type and Name of Building: _____
Building location: _____
- 4) Roofing Materials Manufacturer: _____
(Name and Address)
- 5) Warranty begins: _____ (Date) and expires: _____ (Date)

6) **Warranty:** Contractor warrants to Owner that it applied the roofing materials to the above-described roof in accordance with (a) the written specifications of Roofing Materials Manufacturer and (b) good roofing industry practices, in effect on _____ the date application commenced. Subject to the following terms, conditions and limitations, Contractor will, during the term of this Warranty, at its expense, repair or cause to be repaired leaks in said roof which are the result of defects in Contractor's workmanship. Upon expiration of the term of this Warranty, without notice from Owner of some defect, Contractor shall have no further obligation to make repairs at Contractor's expense under any provision of this Warranty and Owner shall not make any further demand or claim against Contractor concerning Contractor's workmanship, or the roofing materials installed, provided that Contractor promptly commences and diligently proceeds with the correction and repair of all such defects covered by this Warranty which are called to Contractor's attention in the manner set forth in paragraph 8 below during the term of this Warranty by Owner.

7) **Terms, Conditions and Limitations.** This warranty does not cover any leaks in the roof caused by: the acts or omissions of other trades or contractors; lightning, winds of peak gust speeds of 55 m.p.h. or higher measured at 10 meters above ground, hail storm, flood, earthquake or other unusual phenomenon of the elements; structural settlement; failure, movement, cracking or excess deflection of the roof deck; defects or failure of materials used as a roof substrate over which the roof system is applied; faulty condition of parapet walls, copings, chimneys, skylights, vents, supports or other parts of the building, vapor condensation beneath the roof; penetrations for pitch boxes; erosion, cracking and porosity of mortar and brick; dry rot; stoppage of roof drains and gutters; penetration of the roof from beneath by rising fasteners of any type; inadequate drainage, slope or other conditions beyond the control of Contractor which cause ponding or standing of water; termites or other insects; rodents or other animals; fire; or harmful chemicals, oils, acids and the like that come in contact with the roofing system and cause a leak or otherwise damage the roof system. If the roof fails to maintain a water-tight condition because of damage by reason of any of the foregoing, this warranty shall immediately become null and void for the balance of its term unless such damage is repaired by Contractor at the expense of Owner.

8) **Notification by Owner.** During the term of this warranty, if the roof leaks, Owner must immediately notify Contractor by telephone of such leaks, and promptly confirm such telephone notice by written notice to Contractor.

- 9) **Events Which May Void Warranty.** This warranty shall become null and void:
 - (a) Unless Contractor receives notice from Owner during the term of this Warranty in accordance with paragraph 8 above of any leaks and is provided an opportunity to inspect, and if required by the terms of this warranty to repair the roof;
 - (b) If work is done on such roof, including, but without limitation, work in connection with flues, vents, drains, railings, sign braces, platforms or other equipment fastened to or set on the roof or if repairs or alterations are made to said roof, without first notifying Contractor in writing and giving Contractor the opportunity to make the necessary roofing application recommendations with respect thereto, which recommendations are complied with. Contractor shall be paid for time and materials expended in making recommendations or repairs occasioned by the work of others on the subject roof;
 - (c) If any area of the roof is used as a promenade, walkway or work area or is sprayed or flooded, unless such use was originally specified with a defined area and the specification is noted in paragraph 14 below.

10) **Transferability.** This warranty shall accrue only to the benefit of the original owner named above. It is not transferable to any other person, except with the prior written consent of Contractor.

11) **No Other Warranties.** NO OTHER EXPRESS WARRANTY IS GIVEN BY CONTRACTOR TO OWNER. THE REPAIR OF THE SUBJECT ROOF IS THE EXCLUSIVE REMEDY. THERE ARE NO WARRANTIES THAT EXTEND BEYOND THE DESCRIPTION ON THE FACE HEREOF. ALL IMPLIED WARRANTIES, AND SPECIFICALLY THE IMPLIED WARRANTIES OF MERCHANTABILITY AND FITNESS FOR ANY PARTICULAR PURPOSE ARE EXPRESSLY EXCLUDED AND DISCLAIMED. This warranty is separate and apart from any warranty that may be issued to Owner by the Roofing Materials Manufacturer. CONTRACTOR EXPRESSLY EXCLUDES AND DISCLAIMS ANY RESPONSIBILITY TO OWNER IN CONNECTION WITH OR ATTRIBUTABLE TO THE ROOFING MATERIALS AND ANY SUCH ROOFING MATERIALS MANUFACTURER'S WARRANTY.

12) **Incidental or Consequential Damages.** UNDER NO CIRCUMSTANCES SHALL CONTRACTOR BE LIABLE TO OWNER OR ANY OTHER PERSON FOR ANY INCIDENTAL, SPECIAL, CONSEQUENTIAL OR OTHER DAMAGES INCLUDING, BUT NOT LIMITED TO, LOSS OF PROFITS OR DAMAGE TO OR LOSS OF USE OF THE BUILDING OR ITS CONTENTS, WHETHER ARISING OUT OF BREACH OF WARRANTY, BREACH OF CONTRACT OR UNDER ANY OTHER THEORY OF LAW.

13) **Payment to Contractor.** This warranty shall not be or become effective unless and until Contractor has been paid in full for said roof in accordance with the agreement pursuant to which said roof was applied.

14) **Additional conditions or exclusions** _____
This warranty has been duly executed this _____ day of _____, 2018.

By: _____ Contractor
By: _____ Owner

AERIAL ESTIMATION

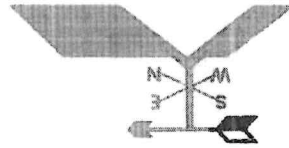


Table of Contents

9	Street View
8	Pitch Values
7	Area Measurements
6	Length Plans
4-5	Property Views
3	Summary
2	Aerial View
Page	

Customer Information

1592 I-39 Frontage Rd, Kronenwetter, WI 5455

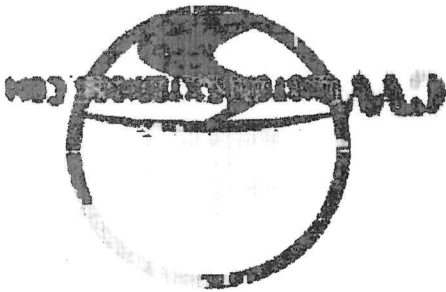
Client Information:

CWCustomExteriors

Ph: 715-870-1892

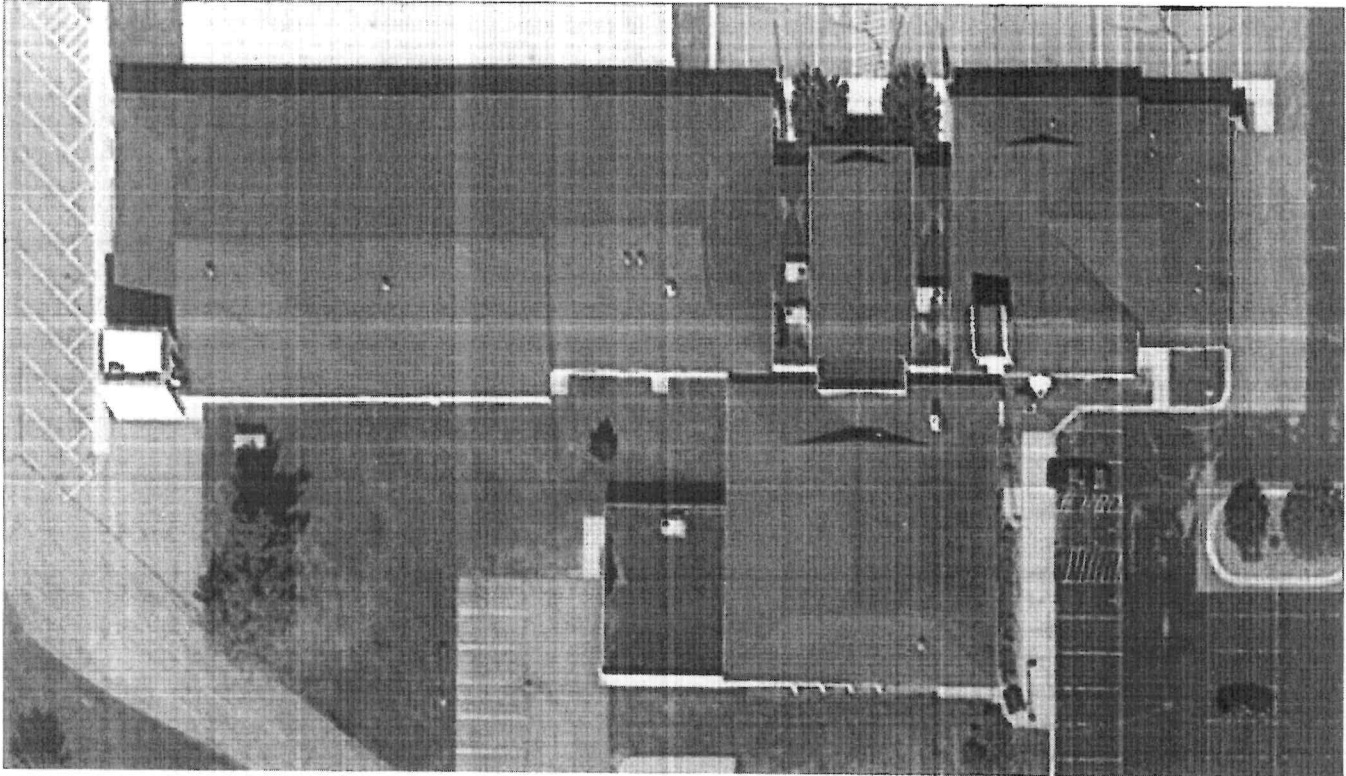
Email: cwcustomexterior@gmail.com

COMMERCIAL ROOF REPORT



Order No. 100050363

August 04, 2023



Aerial View

Client Information:
 CWCustomExteriors
 Ph: 715-870-1892
 Email: cwcustomexterior@gmail.com

Customer Information
 1582 I-39 Frontage Rd, Kronenwetter, WI 54555

Commercial Roof Report
 Order No. 1000050363
 August 04, 2023

Category	Main Structure	Detached Building 1	Detached Building 2	Flat Roof 0:12 (Break Down)
Total Area	345	31237		3756
Ridges (ft)	340			0
Hips (ft)	365			0
Rakes (ft)	1095			0
Eaves (ft)	114			0
Valleys (ft)	263			320
Apron Flashing (ft)	149			0
Step Flashing (ft)	686			0
Ridge + Hips (ft)	1460			0
Rakes + Eaves (ft)				327

Pitch/Slope	Area
0:12	3756
4:12	29382
5:12	1855
Total	34993

Note: All measurements are rounded off to nearest square foot. Areas not where appropriate.

Category	Value
Total Area	349.93
Primary Pitch	4:12, 0:12, 5:12
Ridges (ft)	346
Hips (ft)	340
Rakes (ft)	365
Eaves (ft)	1322
Apron Flashing (ft)	583
Parapet Lengths (ft)	65
Ridge + Hips (ft)	686

Category	Value
Pitched Planes (Sq.)	312.37
Flat Planes (0:12) (Sq.)	37.56
Valleys (ft)	114
Rakes + Eaves (ft)	1687
Step Flashing (ft)	149
Total Skylights	0
Total Chimneys	1
Solar Panels	0
RTUs	4

Summary of Lengths, Areas and Pitches Table

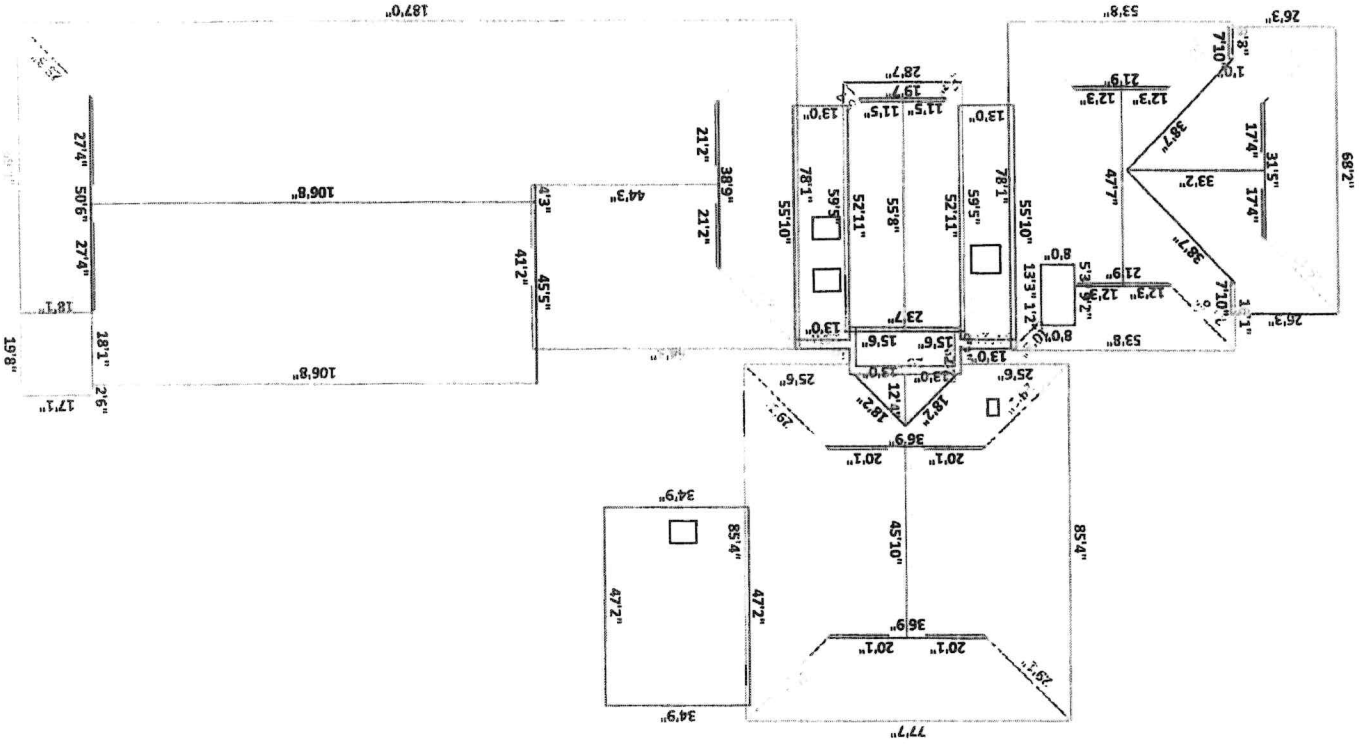
Client Information: CWCustomExteriors
 Ph: 715-870-1892
 Email: cwcustomexteriorso@gmail.com

Customer Information
 1582 I-39 Frontage Rd, Kronenwetter, WI 54455

Order No. 100050363
 August 04, 2023

Commercial Roof Report

Legend
Aves (ft) = 1322 Rakes (ft) = 365
Ridges (ft) = 346
Valleys (ft) = 114
Apron Flashing (ft) = 583
Step Flashing (ft) = 149
Parapet Lengths (ft) = 65



Length Plan

Commercial Roof Report

Customer Information

1582 I-39 Frontage Rd, Kronenwetter, WI 54455

Client Information:
CWCustomExteriors

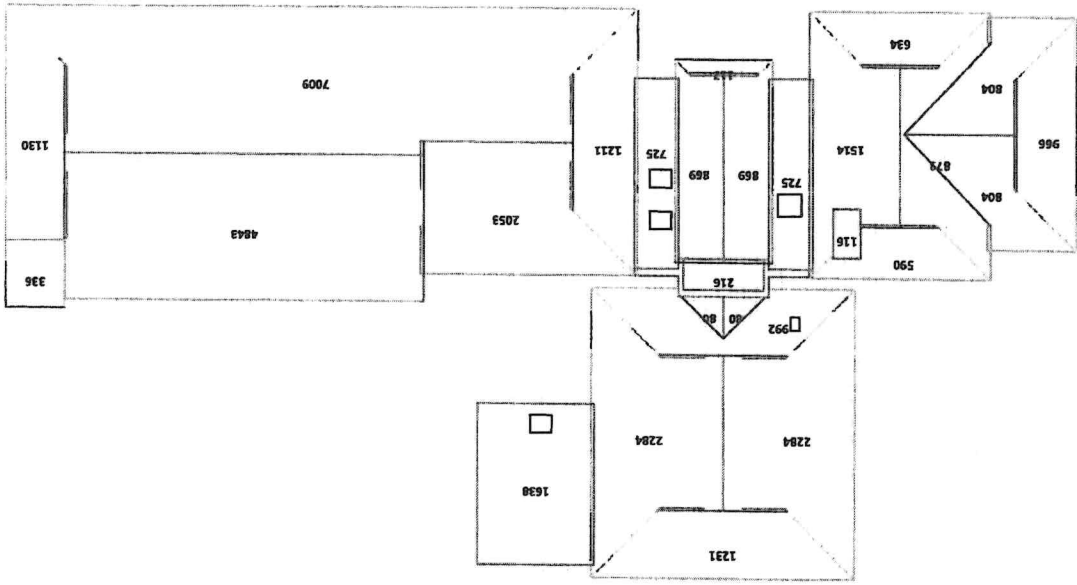
Ph: 715-870-1892

Email: cwcustomexteriorso@gmail.com

August 04, 2023

Order No. 100050363

367.43	5%	384.92	10%	391.92	12%	402.42	15%	412.92	18%	419.92	20%	437.41	25%
Waste Factor Calculation for (349.93) Sq													

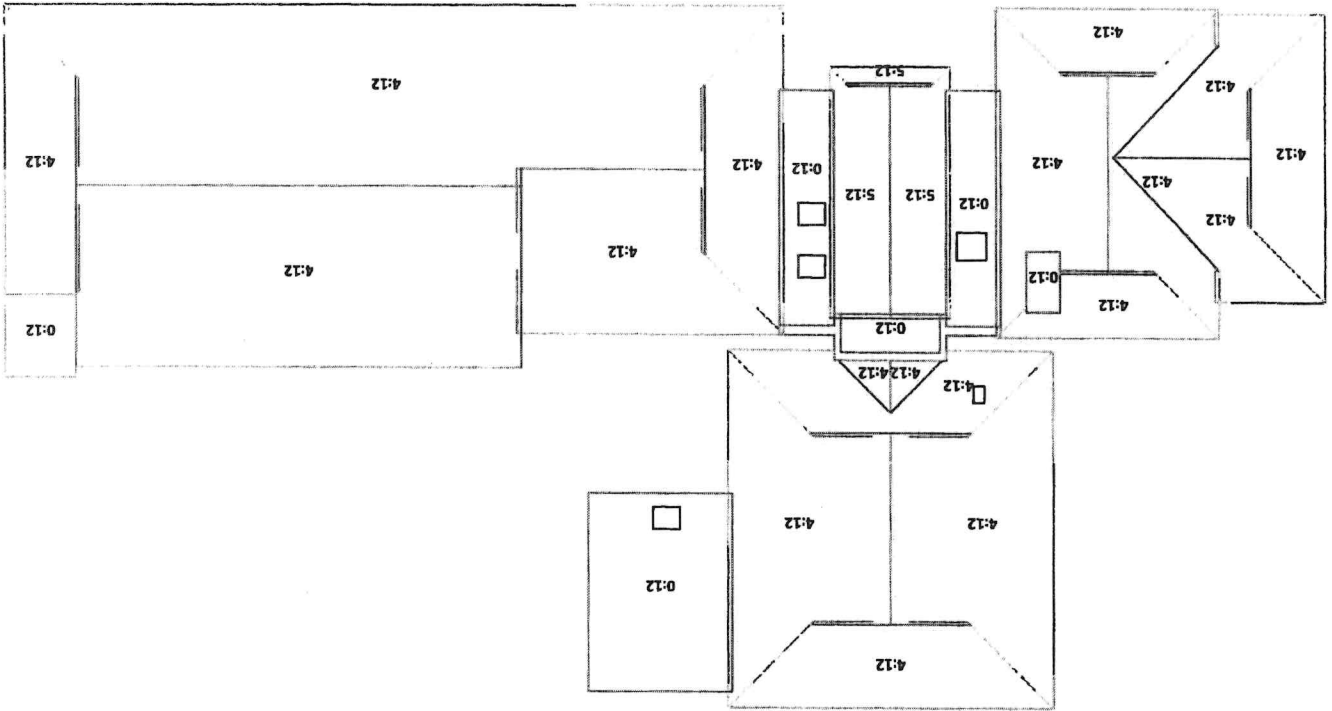


Area Measurements

Client Information:
 CWCustomExteriors
 Ph: 715-870-1892
 Email: cwcustomexteriorso@gmail.com

Customer Information
 1582 I-39 Frontage Rd, Kronenwetter, WI 54455

Commercial Roof Report
 Order No. 100050363
 August 04, 2023



Pitch Values

Client Information:
CWCustomExteriors
Ph: 715-870-1892

Email: cwcustomexterior@gmail.com

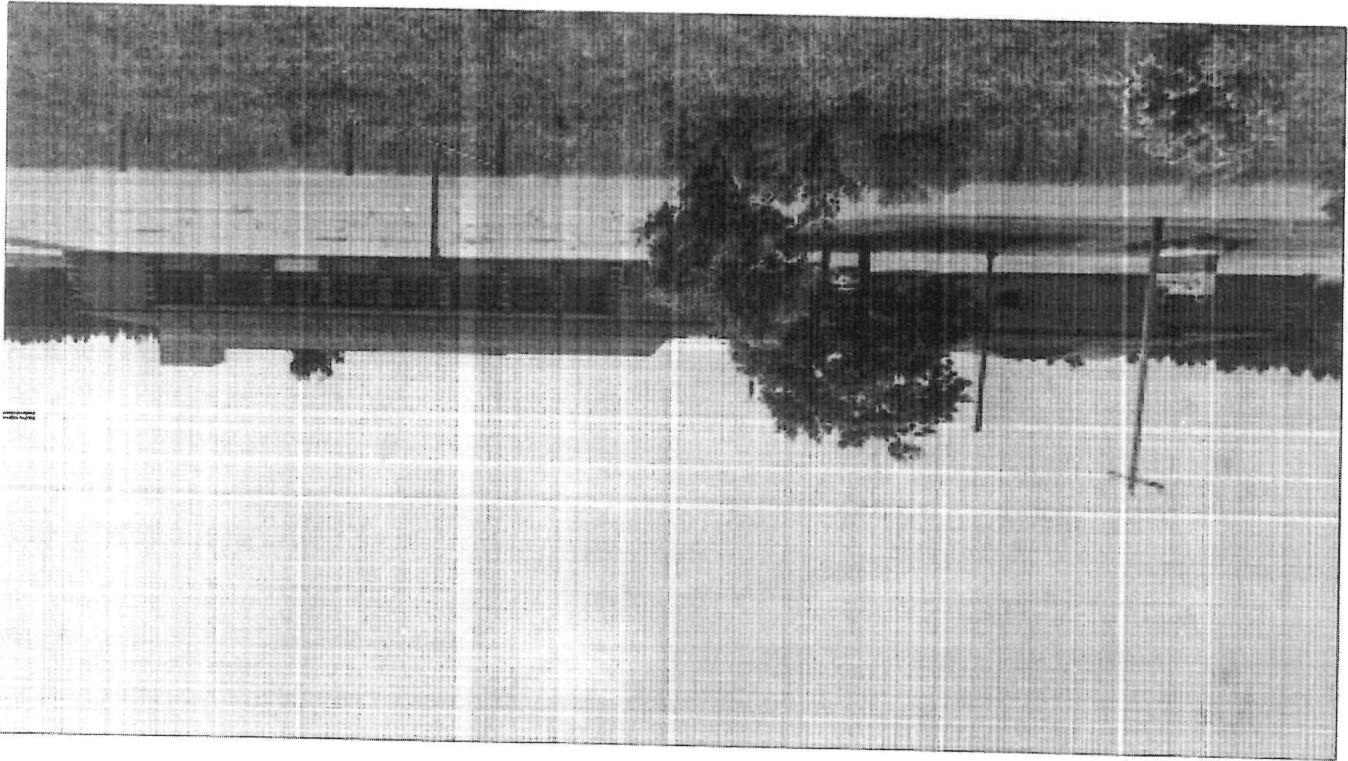
Customer Information

1582 I-39 Frontage Rd, Kronenwetter, WI 54555

Order No. 100050363

August 04, 2023

Commercial Roof Report



Street View

Client Information:
 CWCustomExteriors
 Ph: 715-870-1892
 Email: cwcustomexterior@gmail.com

Customer Information
 1582 I-39 Frontage Rd, Kronenwetter, WI 54455

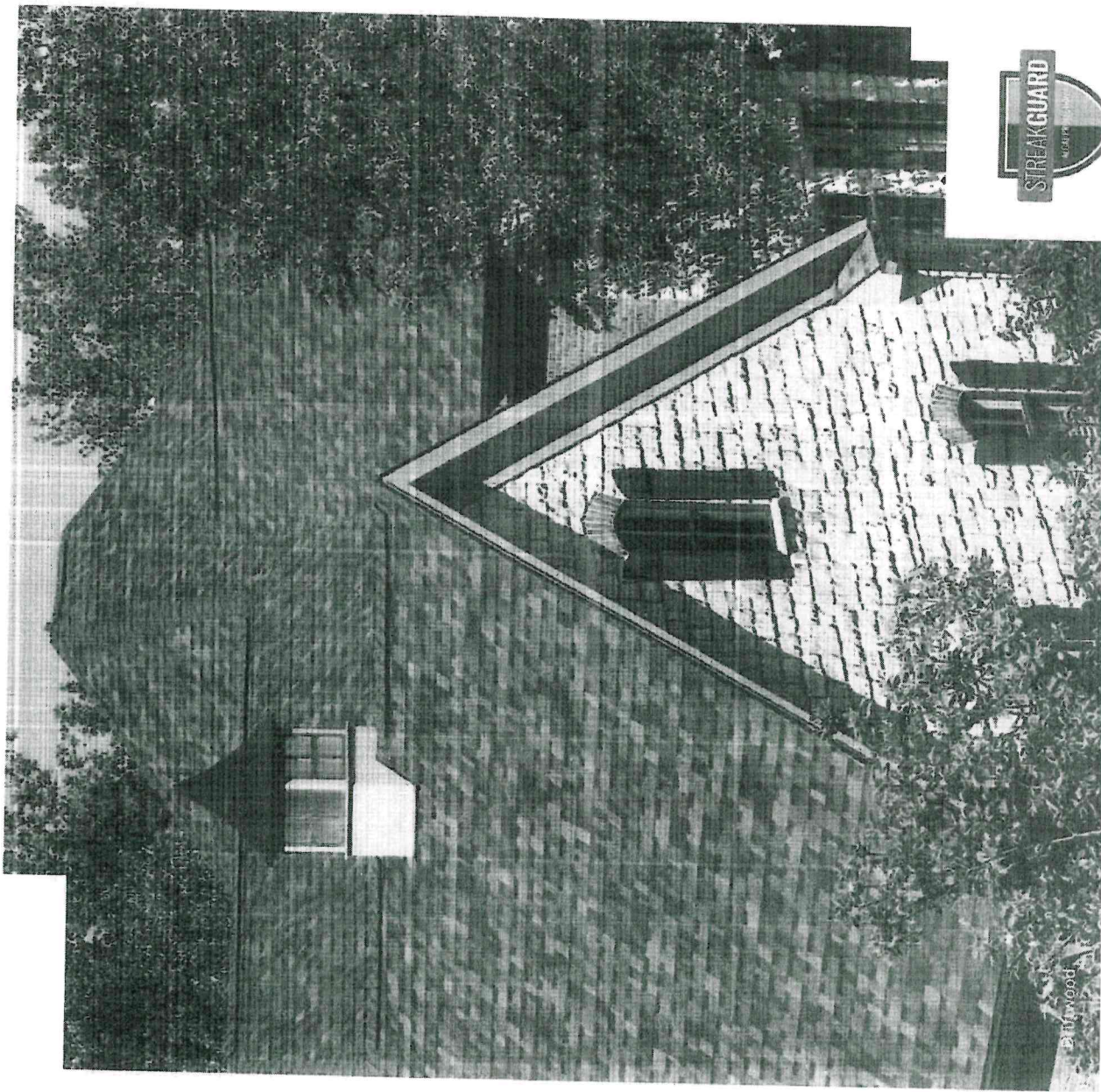
Commercial Roof Report
 Order No. 100050363
 August 04, 2023



TruDefinition®

DURATION®

Shingles with Patented SureNail® Technology
Tejas con tecnología patentada SureNail®



By Wood

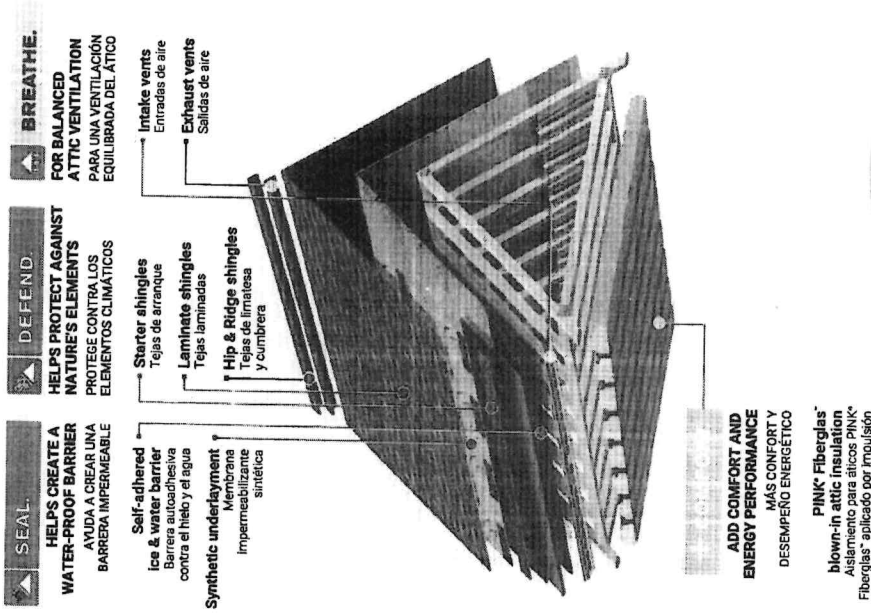


TOTAL PROTECTION SIMPLIFIED™

It takes more than just shingles to protect a home. It takes an integrated system of components and layers designed to perform in three critical areas. The Owens Corning® Total Protection Roofing System® gives you the assurance that all of your Owens Corning® roofing components are working together to help increase the performance of your roof.

PROTECCIÓN TOTAL SIMPLIFICADA™

Se necesita más que simplemente tejas para proteger su vivienda. Se necesita un sistema integral de componentes y capas diseñadas para desempeñarse en tres áreas críticas. El Total Protection Roofing System® de Owens Corning® le garantiza que todos sus componentes para cubiertas de Owens Corning® funcionan en conjunto para mejorar el desempeño de su techo.



REGISTER YOUR WARRANTY

Registering your Owens Corning® warranty ensures it's easily referenced should you ever need to access it. The process is easy—just have your installation date, shingle type, shingle color and number of squares ready. Then go online to www.owenscorning.com/roofingstandardwarranty or call 1-800-ROOFING (1-800-766-3464) to finish the process.



SCAN TO REGISTER YOUR WARRANTY

Escanee para registrar su garantía

REGISTRE SU GARANTÍA

Al registrar su garantía de Owens Corning® la podrá consultar rápidamente si fuera necesario acceder a ella. El proceso es simple: tenga a mano la fecha de instalación, el tipo y color de tejas y la cantidad de cuadrados. Luego, visite www.owenscorning.com/roofingstandardwarranty o llame al 1-800-ROOFING (1-800-766-3464) para completar el proceso.

DEEP DIMENSION OUTSTANDING PERFORMANCE

Duration® Shingles offer:

- The high-performance of SureNail® Technology
- A TruDefinition® Color Platform
- A Limited Lifetime Warranty** for as long as you own your home
- The protection of a 130-MPH* wind warranty
- StreakGuard™ Protection with a 25-year Algae Resistance Limited Warranty^{2,3}

UNA NUEVA DIMENSIÓN DESEMPEÑO SOBRESALIENTE

Las tejas Duration® ofrecen:

- El gran desempeño de la tecnología SureNail®
- La gama de colores TruDefinition®
- Una garantía limitada de por vida** mientras sea propietario de la vivienda
- La protección de una garantía contra vientos de hasta 210 km/h (130 mph)*
- Protección StreakGuard™ con una garantía limitada de 25 años de resistencia a las algas ^{2,3}



Don't let black streaks lower the value or curb appeal of your home.

Owens Corning blends specialized copper-lined granules, developed by 3M, a leading producer of roofing granules, into our colorful shingles. This helps resist blue-green algae growth.*

No deje que las manchas de algas afecten al valor o aspecto de su vivienda.

En sus coloridas tejas, Owens Corning añade gránulos especiales con recubrimiento de cobre, desarrollados por 3M, un productor líder de gránulos para techos. Esto ayuda a prevenir la proliferación de algas azul-verdosas.*

THE FINISHING TOUCH

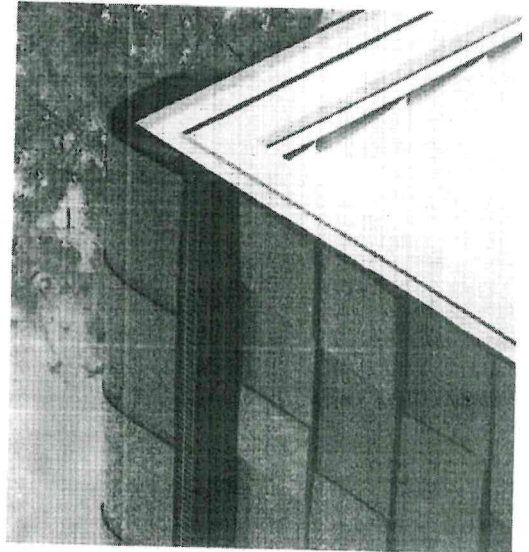
OWENS CORNING® HIP & RIDGE SHINGLES

Owens Corning® Hip & Ridge Shingles are uniquely color matched to TruDefinition® Duration® Shingles. The multiple color blends are only available from Owens Corning® Roofing and offer a finished look for the roof.

EL TOQUE FINAL

TEJAS DE LIMATESA Y CUMBRERA DE OWENS CORNING®

Las tejas de limatesa y cumbrera de Owens Corning® se ofrecen en una exclusiva gama de colores para combinar con las tejas Duration® TruDefinition®. Esta gran variedad de combinaciones de colores es una exclusividad de Owens Corning® Roofing para lograr techos con un acabado único.



TruDefinition®
DURATION®

Shingles with Patented SureNail® Technology | Tejas con tecnología patentada SureNail®



Brownwood'



Chateau Green'



Colonial Slate'



Desert Rose'



Driftwood'



Estate Gray'



Midnight Plum'



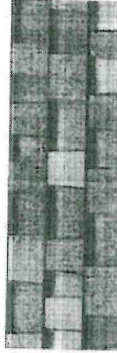
Onyx Black'



Peppercorn'



Sand Castle'



Sierra Gray'



Slatestone Gray'



Teak'



Terra Cotta'



Williamsburg Gray'

COLOR DISCLAIMER

As color experts, we know getting the shingle color right is a big part of any roofing purchase. Due to printing color variations, in addition to viewing shingle literature, we suggest you request an actual shingle sample to see how it will appear on your home and with your home's exterior elements in various natural lighting conditions. Lastly, we recommend you verify your color choice by seeing it installed on an actual home, your roofing contractor or supplier can provide a sample and may be able to direct you to a local installation.

DESCARGO DE RESPONSABILIDAD SOBRE LOS COLORES

En tanto que especialistas en color, sabemos que obtener el color de teja perfecto es una parte importante en toda compra de techos. Debido a las variaciones en los colores impresos, además de mirar folletos de tejas, le sugerimos que solicite una muestra de la teja para ver como se verá en su hogar y con los elementos externos de la vivienda bajo distintas condiciones de luz natural. Finalmente, le recomendamos que para verificar su elección de colores, vea cómo lucen las tejas ya instaladas en una vivienda, su contratista de techos o su proveedor le pueden dar una muestra e incluso indicarle dónde ver un techo ya instalado.

THERE'S A LINE BETWEEN A GOOD SHINGLE AND A GREAT SHINGLE.®

It's the nailing line on your shingles. The difference between a good shingle and a great shingle is having Patented SureNail® Technology, only from Owens Corning.

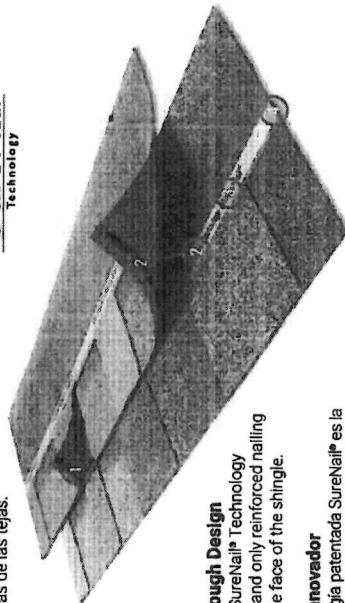
HAY UNA GRAN DIFERENCIA ENTRE UNA BUENA TEJA Y UNA TEJA EXCELENTE™

Es la línea de clavado en su tejas. La diferencia entre una buena teja y una teja excelente es la tecnología patentada SureNail®, una exclusividad de Owens Corning.

①

Excellent Adhesive Power
Helps keep the shingle layers laminated.

Excelente poder adhesivo
Ayuda a conservar el laminado de las capas de las tejas.



②

Breakthrough Design
Patented SureNail® Technology is the first and only reinforced nailing zone on the face of the shingle.

Diseño innovador
La tecnología patentada SureNail® es la primera y la única que provee un área de clavado reforzada en la cara de la teja.

④

Triple Layer Protection*
A unique "triple layer" of reinforcement occurs when the fabric overlays the two shingle layers, providing increased protection against "nail pull" from the wind.

Triple Layer Protection*
Cuando la tela cubre las dos capas de la teja, se forma una "triple capa" de refuerzo excepcional que ofrece una mayor protección ante el "arranque de clavos" debido al viento.

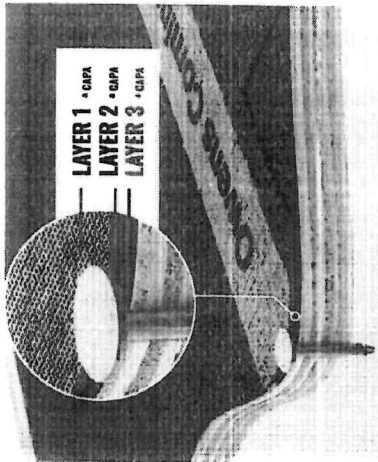
③

Outstanding Grip
The SureNail® strip enhances the already amazing grip of our proprietary Tru-Bond®** sealant for exceptional wind resistance of a 130-MPH wind warranty.

Agarre excepcional
La banda SureNail® mejora el excelente agarre de nuestro sellador patentado Tru-Bond®** con una garantía de resistencia al viento excepcional de 210 km/h (130 mph).

Double the Common Bond
SureNail® features up to a 200% wider bond between the shingle layers in the nailing zone over standard shingles.

Duplica la adhesión común
En comparación con las tejas comunes, SureNail® ofrece un área de unión hasta un 200 % más ancha entre las capas de la teja en el área de clavado.



THE PROOF IS IN THE PERFORMANCE
LA PRUEBA ESTÁ EN EL DESEMPEÑO



Up to **2.5X** **BETTER NAIL PULL-THROUGH RESISTANCE**
Hasta **2.5** **VECES MEJOR RESISTENCIA A LA TRACCIÓN DE LOS CLAVOS**



Up to **9X** **BETTER NAIL BLOW-THROUGH RESISTANCE**
Hasta **9** **VECES MEJOR RESISTENCIA AL DESPRENDIMIENTO DE LOS CLAVOS**



Up to **2X** **BETTER DELAMINATION RESISTANCE**
Hasta **2** **VECES MEJOR RESISTENCIA A LA DELAMINACIÓN**

Product Attributes

Warranty Length*	10 Years
Limited Lifetime* (for as long as you own your home)	40 Years
Wind Resistance Limited Warranty*	130-MPH
Algae Resistance Limited Warranty**	25 Years
TRU PROtection* Non-Prorated Limited Warranty* Period	10 Years

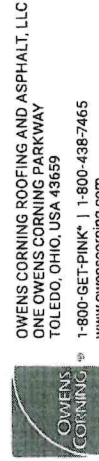
TruDefinition® Duration® Shingles Product Specifications

Size	13 1/4" x 39 1/2"
Application Exposure	5 1/2"
Shingles per Bundle	Not less than 20
Average Shingle Count per 3 Bundles	64
Average Coverage per 3 Bundles	98.4 sq. ft.

Applicable Standards and Codes

ASTM D3462	
ASTM D2228	
ASTM D3018 (Type 1)	
ICC-ES AC438*	
ASTM D3161 (Class F Wind Resistance)	
ASTM D7158 (Class H Wind Resistance)	
ASTM E108/UL 790 (Class A Fire Resistance)	
PRI ER 1378E01	
Florida Product Approval	
Miami-Dade County Product Approval†	

* See actual warranty for complete details, limitations and requirements.
 † 40-Year Limited Warranty on commercial projects
 ‡ Owens Corning testing against competing products with wide, single-layer nailing zones when following manufacturers' installation instructions and nailing in the middle of the allowable nailing zone.
 ** TrueBond® is a proprietary premium weathering-grade asphalt sealant that is blended by Owens Corning Roofing® and Asphalt, LLC.
 † The amount of Triple Layer Protection® may vary on single-to-shingle basis.
 # International Code Council Evaluation Services Acceptance Criteria for Alternative Asphalt Shingles.
 * Excludes non-Owens Corning® roofing products such as flashing, fasteners, pipe boots and wood decking.
 1 See Color Disclaimer information on page 2 for additional details.
 2 Applies to all areas that recognize Miami-Dade Notice of Acceptance (NOA).
 3 Shingles are algae resistant to control the growth of algae and discoloration.
 § This coverage is effective 1/1/2023; installation must include use of an Owens Corning® Hip & Ridge product. See actual warranty for details.
 For Patent information, please visit owenscorning.com/patents.
 SureNail® Technology is not a guarantee of performance in all weather conditions.
 4 Owens Corning® Black Sable shingle includes a patented design.



Pub. No. 10094200. Printed in U.S.A. September 2022.
 THE PINK PANTHER® is © 1964-2022 Metro-Goldwyn-Mayer Studios Inc. All Rights Reserved. The color PINK is a registered trademark of Owens Corning. © 2022 Owens Corning. All Rights Reserved.
 (Brookville, Medina, Minneapolis, Summit)

Características del producto

Período de garantía*	10 años
Garantía limitada de por vida* (mientras sea propietario de la vivienda)	40 años
Garantía limitada de resistencia al viento*	210 km/h (130 mph)
Garantía limitada de resistencia a las algas**	25 años
Período no prorrateado de garantía limitada TRU PROtection*	10 años

Especificaciones de las tejas Duration® TruDefinition®

Tamaño	33.65 x 100 cm (13 1/4 x 39 1/2 pulg)
Exposición de aplicación	14.3 cm (5 1/2 pulg)
Tejas por paquete	20 como mínimo
Cantidad promedio de tejas por 3 paquetes	64
Cobertura promedio por 3 paquetes	9.14 m² (98.4 pies²)

Normas y códigos pertinentes

ASTM D3462	
ASTM D2228	
ASTM D3018 (Tipo 1)	
ICC-ES AC438*	
ASTM D3161 (Resistencia al viento, Clase F)	
ASTM D7158 (Resistencia al viento Clase H)	
ASTM E108/UL 790 (Resistencia al fuego Clase A)	
PRI ER 1378E01	
Aprobación del producto en el estado de Florida	
Producto aprobado por el condado de Miami-Dade†	

* Consulte la garantía para obtener una lista completa de detalles, limitaciones y requisitos.
 † Garantía limitada de 40 años para proyectos comerciales.
 ‡ Ensayos comparativos de Owens Corning con productos de la competencia con zonas de clavado ancho de una sola capa cuando se siguen las instrucciones de instalación del fabricante y se clava en el medio de la zona de clavado permitida.
 ** TrueBond® es un sellador asfáltico patentado de calidad premium formulado por Owens Corning Roofing® and Asphalt, LLC.
 † La cantidad de Triple Layer Protection® puede variar entre una teja y otra.
 # Criterios de aceptación de los servicios de evaluación del Consejo Internacional de Códigos para tejas asfálticas alternativas.
 * Se excluyen productos para techos no fabricados por Owens Corning®, como tapajuntas, sujetadores, bases de tubos y estructuras de soporte de madera.
 † Para obtener más información, consulte el Descargo de responsabilidad sobre los colores, en la página 2.
 2 Aplicable a todas las zonas que reconozcan el Aviso de aceptación (NOA, Notice of Acceptance) del condado de Miami Dade.
 3 Las tejas son resistentes a las algas para controlar su desarrollo y la decoloración.
 § Esta cobertura entra en vigor el 1 de enero de 2023; la instalación debe incluir el uso de un producto para limpiatejas y curtiembre de Owens Corning®.
 Para información sobre la patente, visite www.owenscorning.com/patents.
 La tecnología SureNail® no es una garantía de desempeño en todos los tipos de condiciones climáticas.
 4 Las Tejas Black Sable de Owens Corning® incluyen un diseño patentado.



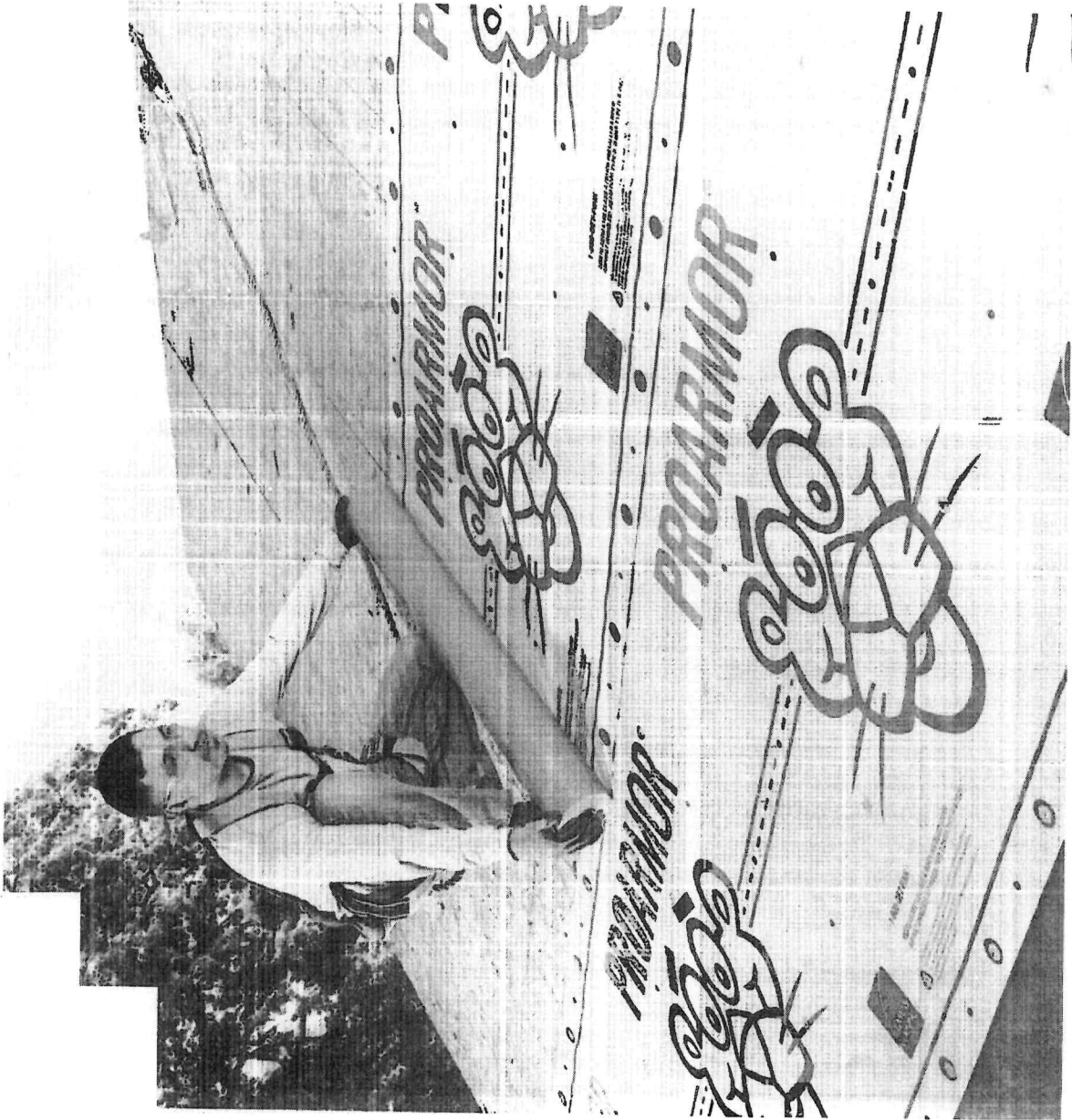
Pub. No. 10094200. Impreso en EE.UU. Septiembre de 2022.
 THE PINK PANTHER® is © 1964-2022 Metro-Goldwyn-Mayer Studios Inc. Todos los derechos reservados. El color PINK es una marca registrada de Owens Corning. © 2022 Owens Corning. Todos los derechos reservados.
 (Brookville, Medina, Minneapolis, Summit)

Limited 40 years ↑



PROARMOR® SYNTHETIC ROOF UNDERLAYMENT

With Slip-Resistant Fusion Back Coating Technology



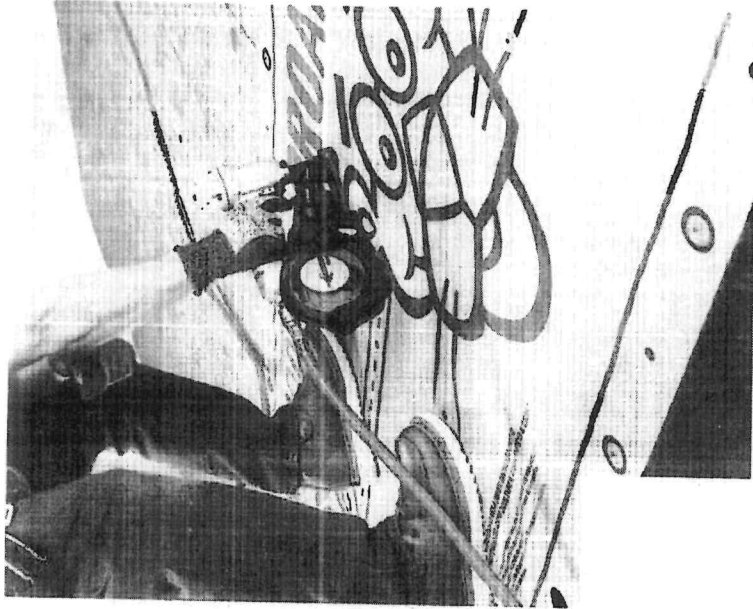
TOTAL PROTECTION. TOTAL CONFIDENCE.
▲ SEAL ▲ DEFEND ▲ BREATHE

Choose the synthetic strength of ProArmor® Underlayment.

As a contractor, you know that a roof is only as strong as its weakest component. So why would you risk your reputation on felt paper?

Owens Corning® ProArmor® Synthetic Roof Underlayment with Fusion Back Coating Technology® is strong, durable and repels water unlike felt paper. It's also lighter, easier to install and contributes to safe working conditions for your crew.

ProArmor® can withstand UV exposure up to 90 days and can be used under asphalt and metal roofing.



ProArmor Underlayment outperforms conventional felt paper — the reason to switch is clear.

Performance Feature	ProArmor® Underlayment	Conventional Felt Paper
Moisture resistance	✓ Repels and sheds water	Absorbs water
Enhanced slip resistance	✓ Features slip-resistant Fusion Back Coating Technology™	None
Enhanced tear resistance	✓ Resists tearing when walked on or in high winds	May tear during installation which can cause leaks
Easy-to-install wide rolls	✓ 42 in.	36 in.
Lightweight	✓ 2.3 lbs. per square ††	11.5 lbs. per square
More coverage per roll	✓ 9.29 squares per roll (with 3-in. overlap)	4.08 squares per roll (with 2-in. overlap)
More material per roll	✓ 10 squares per roll	4.32 square per roll
Longer UV exposure	✓ Can be left exposed for up to 90 days*	Must be covered immediately
Helpful fastening guides	✓ Clearly marked	None
Warranty coverage	✓ 10-Year Limited Warranty*	None



Strong for the roof. Safe for your crew.

ProArmor® Underlayment with Fusion Back Coating Technology®.

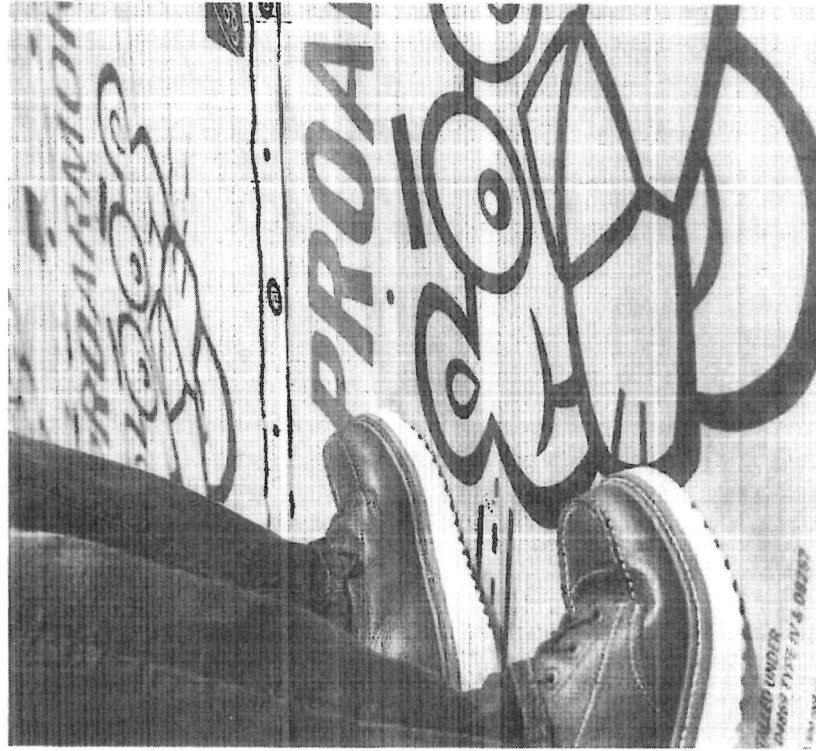
When it comes to doing a job right, few things are as important as reliable product performance and the safety of your crew.

Our exclusive Fusion Back Coating Technology® practically eliminates the underlayment from sliding against the roof deck.

The result? A stable walking surface and minimal tearing around fasteners that could lead to water infiltration.

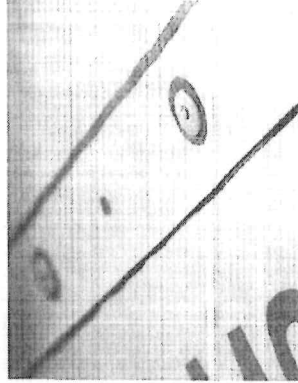


Installs quickly and easily
ProArmor® Underlayment comes in 42 inch lightweight rolls for easy installation.

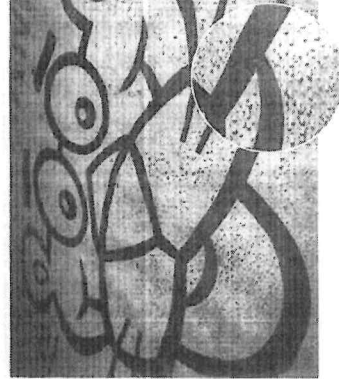


Dual-surface slip resistance

Fusion Back Coating Technology® paired with a non-woven surface provides excellent walking conditions during shingle application even on steeply pitched roofs.



Resists stretching and tearing
ProArmor® Underlayment resists stretching and tearing around fasteners.



Repels moisture
ProArmor® Underlayment provides protection against water infiltration.

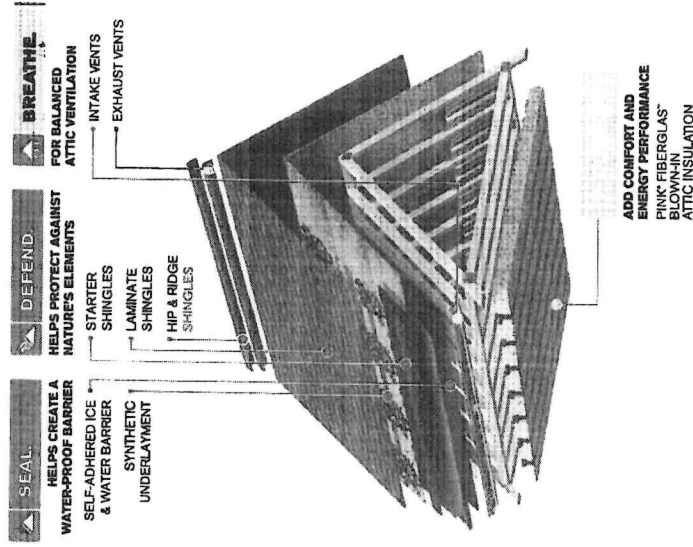
ProArmor® Underlayment by Owens Corning, the most trusted roofing brand.**

ProArmor® Underlayment is designed to deliver the quality and performance you expect from Owens Corning® Roofing, which is why we have a 10-year limited warranty.* Plus, ProArmor® Underlayment is a qualifying accessory for our extended system limited warranties.*

TOTAL PROTECTION SIMPLIFIED™



It takes more than just shingles to protect your home. It takes an integrated system of components and layers designed to withstand the forces of nature outside while controlling temperature and humidity inside. The Owens Corning® Total Protection Roofing System®^{AA} gives you the assurance that all of your Owens Corning® roofing components are working together to help increase the performance of your roof – and to enhance the comfort and enjoyment of those who live beneath it.



* See actual warranty for complete details, limitations and requirements. A, longer limited warranty term applies when ProArmor® Underlayment is used in conjunction with Owens Corning® Roofing Shingles.
 † Special application required for extended exposure. See installation instructions.
 ** Includes core weight.
 †† Excluding core weight.
 ‡ Underlayment is tested as part of a roof assembly that includes wood decking, underlayment and asphalt shingles.
 ‡‡ Applies for all areas that recognize a Miami-Dade Notice of Acceptance (NOA).
 * Excludes non-Owens Corning® roofing products such as flashing, fasteners, pipe boots and wood decking.
 AA. 2018 Roofing Brand Awareness Study by Owens Corning Roofing and Asphalt, LLC.

Product Attributes

Warranty Length	10-Year Limited*
Application	For use under asphalt and metal roofing

Typical Values

Length per Roll	286 ft
Width per Roll	42 in
Nominal Weight per Roll**	25 lbs
Coverage (with 3-in. overlap)	929 sq ft
Exposed Color	Light gray
Surface Construction	Non-woven

Applicable Standards and Codes

ASTM D226 Type II
ASTM D4869 Type IV
ASTM D8257
ASTM E108/JUL 790 (Class A Fire Resistance)†
ICC-ES AC188
CCRR-1068
Florida Product Approval
Miami-Dade Product Approval**
TDI (Texas Department of Insurance)

Owens Corning Roofing and Asphalt, LLC
 One Owens Corning Parkway
 Toledo, Ohio, USA 43659
 Ph: 1-800-GET-PINK®

www.owenscorning.com/roofing
 P.O. No. 1001955-J, Printed in U.S.A. March 2020
 THE PINK PANTHER® & © 1964-2022 Metro-Goldwyn-Mayer Studios Inc. All Rights Reserved.
 The color PINK is a registered trademark of Owens Corning. © 2022 Owens Corning. All Rights Reserved.



STANDARD PRODUCT[®] LIMITED WARRANTY

on Owens Corning[®] Roofing Shingles and Components

THIS WARRANTY INCLUDES LIMITATIONS ON ITS TRANSFERABILITY. THIS WARRANTY GIVES YOU SPECIFIC LEGAL RIGHTS, AND YOU MAY ALSO HAVE OTHER RIGHTS THAT VARY FROM STATE TO STATE OR PROVINCE TO PROVINCE.

FOR CANADA ONLY: THE TERMS IN THIS WARRANTY, EXCEPT TO THE EXTENT LAWFULLY PERMITTED, DO NOT EXCLUDE, RESTRICT, OR MODIFY BY AND ARE IN ADDITION TO ANY PROVINCIAL LAWS.

INTRODUCTION

Thank you for your recent purchase of Owens Corning[®] Roofing Shingles and Components manufactured by Owens Corning Roofing and Asphalt, LLC (Owens Corning[®]). We believe we manufacture the highest quality and most attractive roofing shingles and components available anywhere, and that is why we stand behind them with one of the best warranties in the industry. We have attempted to write this warranty in clear, plain English terms, so you will fully understand the warranty we are making to you. If anything in this warranty is not clear to you, please call us at 1-800-ROOFING or visit our website at www.owenscorning.com/roofing.

WHO IS COVERED

To be entitled to the benefits of this Standard Product Limited Warranty: (1) your property must be located in the United States or Canada and (2) you must be the original consumer purchaser (the property owner, not the installer or contractor) of the roofing shingles and components.

WHAT IS COVERED

Roofing Shingles: We warrant that your Owens Corning[®] Roofing Shingles and Owens Corning[®] Hip & Ridge Shingles are free from any manufacturing defects that (1) materially affect their performance on your roof during the TRU PROTECTION[®] period or that (2) cause leaks during the balance of the applicable warranty period after the TRU PROTECTION[®] coverage period has expired. To determine the length of the TRU PROTECTION[®] coverage period and the balance of the applicable warranty period, please see "How Long Are You Covered" and the "Limited Warranty Information Table" at the end of this warranty.

Roofing Components: Warranty coverage for Owens Corning[®] Hip & Ridge Shingles, including Berkshire[®], DecoRidge[®], DuraRidge[®], Hip & Ridge Shingles, including Berkshire[®], DecoRidge[®], DuraRidge[®], ImpactRidge[®], ProEdge[®], and RIZERidge[®] matches the corresponding roofing shingle. For all other Owens Corning roofing components, when you install three (3) or more of the five (5) Owens Corning roofing components listed below (one product from each category where applicable) with any Owens Corning shingle, the warranty coverage for manufacturing defects and the coverage period will match the warranty of your shingles. Please see "How Long Are You Covered" and the "Limited Warranty Information Table" at the end of this warranty for warranty periods. If less than three (3) Owens Corning[®] components are used, these products will be warranted for the length of time as defined in their individual product warranties. See individual component warranties for more detail. Owens Corning roofing component categories:

- a. Owens Corning[®] Hip & Ridge Shingles, including Berkshire[®], DecoRidge[®], DuraRidge[®], ImpactRidge[®], ProEdge[®], and RIZERidge[®].
- b. Owens Corning[®] VentSure[®] products (intake vent or exhaust vent), if a VentSure[®] intake vent AND VentSure[®] exhaust vent are both used, this counts as one (1) of the three (3) requirements listed above.
- c. VentSure[®] off-ridge exhaust vents are excluded from this warranty. Owens Corning[®] brand roof underlayment products, RhinoRoof[®] U20 roof underlayment, or Titanium[®] brand synthetic roof underlayment products. Installing a qualifying Owens Corning[®] Self-Adhered Ice & Water Barrier product covering the entire deck also meets this requirement and Section (e) below.
- d. Owens Corning[®] Starter Shingle products; and
- e. Owens Corning[®] WeatherLock[®], Titanium[®], or RhinoRoof[®] Self-Adhered Ice & Water Barrier products.

This warranty does not cover non-Owens Corning[®] roofing components, such as flashing, fasteners, pipe boots, and wood decking. This warranty applies only to those shingles purchased after January 1, 2023, and before the date a later warranty applicable to the shingles comes into effect.

HOW LONG ARE YOU COVERED

ALL IMPLIED WARRANTIES APPLICABLE TO YOUR ROOFING SHINGLES AND COMPONENTS ARE LIMITED IN DURATION TO THE TRU PROTECTION[®] COVERAGE PERIOD APPLICABLE TO SUCH PRODUCTS, AS PROVIDED BY THIS WARRANTY, UNLESS A SHORTER PERIOD IS PERMITTED BY APPLICABLE LAW. SOME STATES OR PROVINCES DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY LASTS, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU.

TRU PROTECTION[®] PERIOD: From the installation of the shingles through the TRU PROTECTION[®] coverage period of this warranty, Owens Corning will compensate you to either repair, replace, or recover defective Owens Corning[®] Roofing Shingles and Components. The compensation provided by Owens Corning is limited to the cost of replacing Owens Corning[®] Roofing Shingles and Components and the labor directly required to repair, replace, or recover such defective Owens Corning[®] roofing products as reasonably determined by Owens Corning. Our compensation will not cover any non-Owens Corning[®] underlayment, metalwork, flashings, or other related work, and we will not cover the cost to remove or dispose of your roofing materials. The TRU PROTECTION[®] coverage period does not apply to Wind or Algae coverage. Please see the "What About Wind Resistance" and "What about Algae Resistance" portions of this warranty for applicable coverage. Owens Corning reserves the right to arrange directly for the repair or replacement of your products instead of compensating you directly. This compensation is limited as follows:

- A. If Owens Corning decides to replace the shingles or components, Owens Corning will compensate you only for the cost of replacement Owens Corning[®] Shingles or Components and the labor directly required to replace the defective shingles, both as reasonably determined by Owens Corning.
- B. If Owens Corning decides to repair or recover the shingles, Owens Corning will compensate you only for the cost of the labor directly required to repair or recover the defective shingles as reasonably determined by Owens Corning.

PRORATED PERIOD: Once the TRU PROTECTION[®] coverage period for the Owens Corning[®] roofing products purchased has expired, the prorated period will begin. During this prorated period, we will provide prorated compensation of the cost of the defective Owens Corning[®] products, but no labor or other costs will be covered during the prorated period, and we will take into account the number of full years of use that you have enjoyed from the original installation date through the date of your claim, and reduce the amount of our compensation to you accordingly. We will prorate the amount of our compensation to you according to the number of years you have enjoyed from the original installation through the date of your claim. For example: If you purchased a shingle with a Lifetime warranty and three (3) or more Owens Corning components and you make your claim in the 15th year of the warranty, we will not cover labor but our compensation to you will be 72% of the Owens Corning[®] Roofing Shingles and Components cost at the time of purchase. Further detail can be found on the "Limited Lifetime Roofing Shingles and Components Proration" Table.

OTHER TYPES OF STRUCTURES: The coverage for the Owens Corning[®] roofing products offered by this warranty depends on the structure of which the shingles are installed and the owner of the structure. Lifetime coverage for all Owens Corning[®] Shingles applies only to single-family detached homes where the owner of the roof is the resident occupying the home.

6. WHAT ABOUT ALGAE RESISTANCE
 If the Shingle Products that you purchased were not specifically labeled as "Algae Resistant" (AR), then any discoloration caused by algae is not covered by this warranty as explained in the section "What is Not Covered." However, if you did purchase AR Shingle Products, they are covered for the period described in the "Limited Warranty Information Table" at the end of this warranty following the date of installation ("AR Warranty Period") against brown-black staining caused by growth of cyanobacteria Gloeocapsa magma algae. To be eligible for 25-year AR coverage, you must use one of the following Owens Corning® Hip & Ridge Shingles: Berkshire®, DecoRidge®, DuraRidge®, ImpactRidge®, ProEdge®, or RIZERidge®. We do not cover the effects of other growth, such as mold, lichen, and green algae. If brown-black staining occurs during the AR Warranty Period, you will be entitled to the following remedy:

- a. **Non-Prorated Period** — From the installation of the shingles until ten (10) years after the date of installation, we will compensate you for the cost, including labor (such cost not to exceed the cost of the AR Shingle Products plus the cost of installation), as reasonably determined by Owens Corning, to repair, replace, or recover the affected AR Shingle Products. For purposes of this AR Shingle Products warranty, the term "repair" as used above refers to cleaning or otherwise removing any algae growth from affected AR Shingle Products. Decisions regarding whether your AR Shingle Products should be repaired, replaced, or recovered will be made solely by Owens Corning.
- b. **Prorated Period** — Once the non-prorated coverage period for algae resistance (as described above) has expired, the prorated period will begin. During this prorated period, we will provide compensation limited to a prorated amount of the cost of the affected AR shingles. No labor or other costs will be covered during the prorated period, and we will take into account the number of full years of use that you have enjoyed from the original installation date through the date of your claim, and reduce the amount of our compensation to you accordingly. For example: if you purchased a shingle with a 25-year AR warranty period, and you make your claim anytime in the 16th year of the warranty, our compensation to you will be the amount of the cost of the affected Owens Corning® AR Shingle Products reduced by 16/25ths of the cost at the time of purchase of the affected AR Shingle Products.
- c. ****If a qualifying Owens Corning® manufactured Hip & Ridge shingle is not used, the AR warranty period is reduced from 25 to 10 years and the non-prorated period will be 1 year.
- d. See Limited Warranty Information table below for applicable AR product coverage.

NOTE: In some coastal areas and/or areas with limited rainfall, copper released by algae-resistant shingles can cause excessive corrosion to aluminum gutters. In these regions, Owens Corning recommends using vinyl gutters and will not be liable for any damage that may result from using aluminum gutters with algae-resistant shingles.

TRANSFERABILITY OF THIS WARRANTY (BASED ON ORIGINAL INSTALLATION DATE)

- This warranty is not transferable except as follows: You may only transfer this warranty one time, anytime during the life of the warranty, to the purchasers of the structure on which the shingles are installed. For this warranty to transfer and the second Owner to obtain the benefits of this warranty, the second Owner must, within 60 days after the date of the real estate transfer, contact Owens Corning and submit together (1) proof of purchase of the Owens Corning® Roofing Shingles and Components and (2) the installation date and ownership history. We may be contacted by going to <https://www.owenscorning.com/en-us/roofing/warranty#manage-your-warranty> and click Transfer a Warranty, or by calling us at 1-800-Roofing.
1. If the transfer takes place within the TRU PROTECTION® Nonprorated period (see "Limited Warranty Information Table"), the second Owner is entitled to the same coverage as the original Owner.
 2. If the transfer occurs after the TRU PROTECTION® Nonprorated period (see "Limited Warranty Information Table"), the balance of this warranty shall be reduced to a 2-year period after the date of ownership change. If there is a manufacturing defect that causes leaks during this 2-year period, our compensation to the second Owner will be based only on the reasonable cost of replacement of the Owens Corning® Roofing Shingles and Components reduced by the amount of use the second Owner and the original Owner have enjoyed

In the instance of roofing products purchased or installed upon property owned by others, for example, corporations, governmental agencies, partnerships, trusts, religious organizations, schools, condominiums, homeowners' associations, or cooperative housing arrangements, or installed on any other structures (for example, on apartment buildings or any other type of building or premises not used by individual homeowners as their residence), the warranty period will be 40 years from the original installation date of the roofing shingles and components, and the TRU PROTECTION® coverage period will be five years. Further detail can be found on the "Limited Lifetime Roofing Shingles and Components Prorations Table." Owens Corning reserves the right to arrange directly for the repair or replacement of your products instead of compensating you directly.

Limited Lifetime^a Shingle Prorations^b Table

STRUCTURE/ OWNER	TRU PROTECTION® PERIOD YEARS 1-10	PRORATED PERIOD YEARS 11-40	PRORATED PERIOD YEARS 41 AND BEYOND
Single-family detached home owned by individuals	100% ⁺⁺	80% reduced by 2% every year thereafter until year 40	20%
STRUCTURE/ OWNER	YEARS 1-5	YEARS 6-40	YEARS 41 AND BEYOND
Other types of structures	100% ⁺⁺	87.5% [§] reduced by 2.5% every year thereafter until year 40	No coverage

^a For as long as Owner owns home.
[§] Proration is calculated annually, based on the original installation date. There are no partial year prorations.
⁺⁺ Of costs covered under this warranty.

4. EXCEPTIONS

All of the Owens Corning Obligation of Compensation under this warranty (whether for repair, replacement, recovery, or refunding a prorated portion of the cost of the defective roofing products) are subject to the limitations provided by this warranty. Any replacement Owens Corning® Products will be warranted only for the remainder of the original warranty period. Owens Corning will not provide compensation for any underlayment, metalwork, flashings, or other related work. We will not compensate for the removal and replacement of solar panels or other rooftop equipment, and we will not compensate for the cost to remove or dispose of your roofing shingles and components.

5. WHAT ABOUT WIND RESISTANCE

Your shingles and Hip & Ridge (the Shingle Products) contain asphalt sealant that requires direct warm sunlight for several days (Thermal Sealing) in order to seal properly. If your Shingle Products are installed during a period of cool weather, they may not adequately seal until the season changes or the weather warms, and if your Shingle Products never receive direct sunlight or are not exposed to adequate surface temperatures, they may never achieve Thermal Sealing. Prior to your shingles achieving Thermal Sealing, your Shingle Products are more vulnerable to blow-offs and wind damage. This is the fundamental nature of Shingle Products and not a manufacturing defect, and we are not responsible for any blow-offs or wind damage that might occur prior to Thermal Sealing having occurred. After your Shingle Products have achieved Thermal Sealing, however, they will be covered under this warranty if they experience blow-offs or wind damage in winds (including gusts) up to the levels and for the period from the original installation date ("Wind Warranty Period") listed in the "Limited Warranty Information Table" listed in the chart at the end of this warranty.

HOWEVER, THE COVERAGE AGAINST SHINGLE PRODUCT BLOW-OFFS OR WIND DAMAGE IS IN EFFECT FOR A PERIOD OF 15 YEARS FROM THE ORIGINAL DATE OF INSTALLATION. Owens Corning will be liable only for the reasonable cost of replacing blown-off Shingle Products (to include material and labor during the applicable TRU PROTECTION® warranty period) and the reasonable cost of manually sealing the unsealed Shingle Products remaining on the roof.

3. The AR Warranty Period and Wind Warranty Period are fully transferable. The second Owner will receive the balance of the coverage outlined in the "Limited Warranty Information Table" based upon the original installation date.

WHAT IS NOT COVERED

Our warranty does not cover damage to the Owens Corning® Roofing Shingles and Components products due to any cause not expressly covered in this warranty. After our roofing products leave our manufacturing facilities, they are subject to conditions and handling beyond our control that could affect their performance. This warranty does not cover any problems with non-defective roofing products caused by conditions or handling beyond our control. Some examples of conditions not covered by this warranty include:

1. Acts of God, such as hail, strong storms or winds (including gusts) over the maximum wind speed listed in the "Limited Warranty Information Table" at the end of this warranty, ice damming above the area covered by leak barriers or flashings, or snow or water infiltration through exhaust vents.
2. Roof damage or leaks caused by pre-existing conditions, underlying roofing materials, underlying structural failures, settlement, or any defective areas on or near the roof that are not part of the Roofing System. Examples include but are not limited to chimneys with loose or cracked mortar, damaged siding, faulty counter flashing, or improperly designed or installed gutter or downspout systems.
3. Foot traffic on your roof or damage caused by objects (e.g., tree branches) falling on your roof.
4. Improper or faulty installation of your roofing products – installation must be in accordance with our written installation instructions and comply with local building codes.
5. Shading, or variations in the color of your Owens Corning® Shingle Products or discoloration caused by algae, fungi, lichen, or cyanobacteria (unless covered under the section "What About Algae Resistance").
6. Damage caused by improper or inadequate roof ventilation or roof drainage, unvented attics, or enclosed roof rather assemblies.
7. Damage caused by, or the cost to repair or replace, any non-Owens Corning® Products, including but not limited to metal work, counter flashing, failed and/or corroded roof nails, or pipe boots that allow water to enter the structure or Roofing System.
8. Damage to the shingles caused by alterations made after completion of application, including structural changes, equipment or solar panel installation, power washing, painting, the application of cleaning solutions not in accordance with our algae removal instructions, coatings, or other modifications.
9. Any damage due to debris, resins, or drippings from foliage.
10. Improper storage, handling, or other conditions beyond our control.
11. Any costs that you incur that are not authorized in advance by Owens Corning.

REPLACEMENT SHINGLE VARIATION

As a result of our ongoing efforts to improve and enhance our roofing products, we must reserve the right to discontinue or modify our shingles and component products, including their colors. We are not liable to you if you make a warranty claim in the future and any replacement roofing products you receive vary in color either because of normal weathering or changes in our product line. You should understand that, if we replace any of your shingles or component products under this warranty, we reserve the right to provide you with substitute shingles or component products that are comparable only in quality and price to your original shingle or component products.

COMPENSATION

Under the terms of this warranty, the manner of compensation is at the sole discretion of Owens Corning and may be arranged directly by Owens Corning or issued in the form of cash settlement and/or material credit for Owens Corning® Products to an existing supplier of Owens Corning® Roofing materials. All costs must be pre-approved by Owens Corning.

CLAIMS PROCESS & RIGHT OF INSPECTION

To make a claim under this warranty, you must do so within 30 days after you discover the problem. To fully evaluate your claim, we may ask you to provide, at your expense, pictures of your shingles or shingle samples for us to test. You must do so in order to be eligible to make a claim under this warranty. To make a claim or if you have any questions, do not hesitate to

call 1-800-ROOFING or visit us at www.owenscorning.com/roofing. If you repair or replace your Owens Corning® Products before Owens Corning has made a determination on your claim, your claim may be denied. Owens Corning shall have a reasonable time after notification of a claim to inspect the roof. If requested by Owens Corning, the owner shall provide Owens Corning with reasonable access to the roof, during normal business hours, for the purpose of conducting an inspection of the roofing products.

NO MODIFICATIONS TO THIS WARRANTY

The terms of this warranty may not be waived or modified (whether by a statement, omission, course of dealing, or any act), except in writing signed by an officer of Owens Corning or a licensed attorney in the Owens Corning legal department, the Owens Corning Field Technical Leader, or Field Technical Manager. Other than such an officer or attorney, Field Technical Leader, or Field Technical Manager, nobody (regardless of whether an Owens Corning employee, a contractor, an installer, or otherwise) has authority to act on behalf of Owens Corning (for example to waive or modify this warranty, to make representations or warranties, or to undertake any liability). This warranty represents the entire agreement between the parties and replaces all other communications, warranties, representations, and guarantees.

MANDATORY ARBITRATION

To the extent permitted by applicable law, Owens Corning and you agree to arbitrate all disputes and claims arising out of or relating to this warranty or Owens Corning® Shingles ("Dispute"). This warranty evidences a transaction in interstate commerce, and the Federal Arbitration Act governs the interpretation and enforcement of this provision. A party who intends to seek arbitration must first send to the other, by certified mail, a written notice of intent to arbitrate ("Notice"). The Notice to Owens Corning should be addressed to: One Owens Corning Parkway, Toledo, OH 43659 (Arbitration Notice Address). The Notice must (a) describe the nature and basis of the claim or dispute and (b) set forth the specific relief sought ("Demand"). If the parties do not reach an agreement to resolve the claim within 30 days after Notice is received, you or Owens Corning may commence an arbitration proceeding. All issues are for the arbitrator to decide, including the scope of this arbitration clause, but the arbitrator is bound by the terms of this warranty. The arbitration shall be governed by the Commercial Dispute Resolution Procedures and the Supplementary Procedures for Consumer Related Disputes (collectively, "AAA Rules") of the American Arbitration Association ("AAA"), as modified by this warranty, and shall be administered by the AAA.

YOU AND OWENS CORNING HEREBY WAIVE THE RIGHT TO A TRIAL BY JURY.

The arbitrator may award injunctive relief only in favor of the individual party seeking relief and only to the extent necessary to provide relief warranted by that party's individual claim.

YOU AND OWENS CORNING MAY BRING CLAIMS AGAINST THE OTHER ONLY IN EACH PARTY'S INDIVIDUAL CAPACITY, AND NOT AS A PLAINTIFF OR CLASS MEMBER IN ANY PURPORTED CLASS OR REPRESENTATIVE PROCEEDING.

Further, you agree that the arbitrator may not consolidate proceedings of more than one person's claims and may not otherwise preside over any form of a representative or class proceeding.

GOVERNING LAW AND FORUM

This warranty and all Disputes are governed by United States Federal laws and laws of Ohio. Subject to the "Arbitration" provision in this warranty, if there are any Disputes that cannot be arbitrated, then the parties consent to the exclusive jurisdiction and venue of the state and federal courts in Ohio with respect to such Disputes.

SAVINGS AND SEVERABILITY

To the extent that this warranty is inconsistent with applicable law, this warranty is hereby modified to be consistent with such applicable law. If an arbitrator or court determines that any term in this warranty is illegal or unenforceable, the parties intend for the arbitrator or court to interpret or modify this warranty to the effect of the original intent of the parties as closely as possible while rendering the term and this warranty fully legal and enforceable. If a term in this warranty cannot be rendered legal and enforceable accordingly, the parties intend for the arbitrator or court to sever the illegal or unenforceable term from this warranty, leaving the remainder of this warranty enforceable.

WARRANTY REGISTRATION & TRANSFER INFORMATION

TO REGISTER THIS WARRANTY:

Visit our website at: www.owenscorning.com/roofing/warranty/

The following information is required for registration:

Owens Corning® Limited Lifetime Shingle/color name installed _____
 Number of squares installed _____

Other Owens Corning® Roofing Shingles and Components Installed:

	yes	no	don't know
Owens Corning® Hip & Ridge Shingles	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
VentSure® Ventilation Products	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Owens Corning® brand, RhinoRoof® U20 or Titanium® brand Underlayment Products	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Owens Corning® Starter Shingle Products	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Owens Corning® WeatherLock®, Titanium®, or RhinoRoof® Self-Adhered Ice & Water Barrier Products	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>
Other Owens Corning® Products	<input type="checkbox"/>	<input type="checkbox"/>	<input type="checkbox"/>

Original Installation Date _____
 Original Purchaser's Name _____
 Address of Property _____

Note: Please retain proof of purchase and installation date with your important records in the event that you choose to transfer this warranty in the future, or upload these documents as you register this warranty online.

TO TRANSFER THIS WARRANTY:

See **TRANSFERABILITY OF THIS WARRANTY** for exceptions.

Contact 1-800-ROOFING

For this warranty to be transferred, the second Owner must contact Owens Corning within sixty (60) days after the date of the real estate transfer to obtain the benefits of this warranty. We may be contacted by going to <https://www.owenscorning.com/en-us/roofing/warranty/manage-your-warranty> and click Transfer a Warranty, or by calling us at 1-800-Roofing. The following will be required:

1. Proof of purchase of the Owens Corning® Total Protection Roofing System®, and
2. The installation date and ownership history

LIMITATIONS
 NO DISPUTE MAY BE BROUGHT LATER THAN 1 YEAR AFTER ANY CAUSE OF ACTION HAS ACCRUED, AFTER WHICH ALL DISPUTES ARE FOREVER BARRED.

THIS WARRANTY IS YOUR EXCLUSIVE WARRANTY FROM OWENS CORNING AND REPRESENTS THE SOLE REMEDY TO ANY OWNER OF OWENS CORNING® ROOFING SHINGLES AND COMPONENTS. OWENS CORNING MAKES NO OTHER REPRESENTATIONS, WARRANTIES, OR GUARANTEES OF ANY KIND OTHER THAN THOSE STATED EXPLICITLY IN THIS WARRANTY.

YOUR REMEDY FOR DEFECTIVE SHINGLES OR OWENS CORNING® ROOFING SHINGLES AND COMPONENTS IS FULLY DESCRIBED IN THE SECTION, **"HOW LONG ARE YOU COVERED."** YOU ARE NOT ENTITLED TO ANYTHING MORE THAN WHAT IS DESCRIBED IN THAT SECTION. OWENS CORNING HAS NO REASON TO KNOW ANY PARTICULAR PURPOSE FOR WHICH YOU ARE BUYING ROOFING SHINGLES OR COMPONENTS.

OWENS CORNING IS NOT RESPONSIBLE FOR ANY INCIDENTAL, CONSEQUENTIAL, SPECIAL, PUNITIVE, OR OTHER DAMAGES OF ANY KIND, INCLUDING DAMAGE TO YOUR STRUCTURE OR TO YOUR STRUCTURE'S CONTENTS, WHETHER FOR BREACH OF THIS WARRANTY, NEGLIGENCE, STRICT LIABILITY, OR OTHER CLAIMS DERIVED IN TORT OR FOR ANY OTHER, SOME STATES OR PROVINCES DO NOT ALLOW THE EXCLUSION OR LIMITATION OF INCIDENTAL OR CONSEQUENTIAL DAMAGES, SO THE ABOVE LIMITATION OR EXCLUSION MAY NOT APPLY TO YOU.

FOR CANADA ONLY – The terms in this warranty, except to the extent lawfully permitted, do not exclude, restrict, or modify but are in addition to any provincial laws.

LIMITED WARRANTY INFORMATION TABLE

PRODUCT NAME	WARRANTY LENGTH	TRU PROTECTION® CHARGE PERIOD	WIND PROTECTION PERIOD	WIND WARRANTY PERIOD	AR ¹ WARRANTY PERIOD
Berkshire®	Lifetime ^a	10 Years	130 MPH	15 Years	25 Years****
Woodmoor®	Lifetime ^a	10 Years	110/ 130 MPH**	15 Years	25 Years****
Woodcrest®	Lifetime ^a	10 Years	110/ 130 MPH**	15 Years	25 Years****
Duration® Series [†]	Lifetime ^a	10 Years	130 MPH	15 Years	25 Years****
Oakridge®**	Lifetime ^a	10 Years	110/ 130 MPH***	15 Years	25 Years****
Supreme®	25 Years	5 Years	60 MPH	5 Years	10 Years

^a For as long as Owner owns home.
¹ Excludes non-Owens Corning roofing products, such as flashing, fasteners, pipe boots, and roof decking.
[†] AR is available regionally. Visit www.owenscorning.com/roofing for availability in your zip code.
^{**} Applies to Owens Corning® Shingles and Owens Corning Hip & Ridge Shingles. Three (3) qualifying components must be installed in addition to the shingles in order for all other Owens Corning components to qualify for this warranty.
^{††} Includes TrueDefinition® Duration MAX®, TrueDefinition® Duration® COOL Plus, TrueDefinition® Duration® COOL, TrueDefinition® Duration® Designer, TrueDefinition® Duration FLEX®, TrueDefinition® Duration STORM®, Duration® Premium, and TrueDefinition® Duration® Shingles.
^{†††} Includes TrueDefinition® Oakridge® Shingles.
^{**} TrueDefinition® Duration FLEX® and TrueDefinition® Duration STORM® Shingles require ImpactRidge® Hip & Ridge Shingles to complete UL 2218, Class IV impact-resistant roof system.
^{***} 110 MPH is standard with 4-nail application. 130 MPH is applicable only with 6-nail application and Owens Corning® Starter Shingle products application along eaves and rakes in accordance with installation instructions.
^{****} 25-year AR coverage requires the use of Owens Corning® Berkshire®, DecoRidge®, Durabridge®, ImpactRidge®, Ridge®, or RizzBridge®, Hip & Ridge Shingles. If a qualifying Owens Corning® manufactured ridge cap product is used, the AR warranty period is reduced from 25 to 10 years, and the non-protected period will be 1 year.

OWENS CORNING ROOFING AND ASPHALT, LLC
 ONE OWENS CORNING PARKWAY
 TOLEDO, OH 43659 USA
1-800-GET-PINK
www.owenscorning.com/roofing



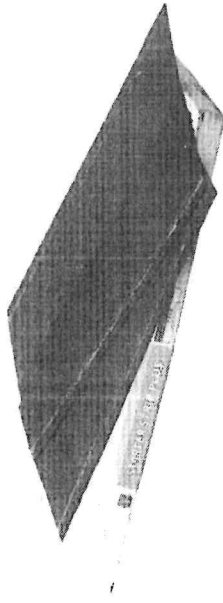
Starter Strip Plus Shingle

Goes on right—right away

Introducing the new Owens Corning™ Starter Strip Plus shingle. This product eliminates the need for cutting shingle tabs to create a starter row.



2. Perforation down the center allows for easy separation.



1. Starter Strip Plus is packaged two pieces per shingle, 16 shingles per bundle, 100 lineal feet.



3. Once apart, the Starter Strip Plus shingles should be aligned next to one another with the sealant toward the eave.

Starter Strip Plus shingle advantages:

Speeds installation and helps improve safety. Starter Strip Plus shingle eliminates the need to cut off tabs or headlap.

Clean look. Starter Strip Plus shingle provides a machine-cut straight edge at the eave and along the rake.

Saves labor. It's easy for a single person to position Starter Strip shingle on the roof.

Maximum compatibility. Extra-wide starter can be used with any shingle that has an exposure of up to 6".

Improves job quality. Puts the sealant appropriately at the eaves.

Cost savings. There's no need to cut down field shingles to use as a starter strip.

Exceptional bonding strength. Continuous sealant ensures an effective seal between the starter and the first course of shingles.

Application Instructions

Owens Corning™ Starter Strip Plus can be used with any shingle that has an exposure of up to 6". Starter Strip shingles cannot be used with Owens Corning™ Berkshire® Woodmoor® or Woodcrest® shingles.

Installation of Starter Strip Plus shingle

Starter Strip Plus shingle is designed to be broken into two pieces, and each piece has its own sealant strip. When separated, each starter shingle is 7¼" x 39%, and each bundle will cover approximately 100 lineal feet. See Fig. 1.

This starter can be used with shingles that have an exposure of no more than 6"; if the exposure is greater than 6", a full starter (15½" x 39%) would be required. See Fig. 1.

1. Start first Starter Strip Plus shingle with 6" removed from the rake edge and flush with the drip edge. Starter Strip Plus shingle can extend no greater than ¾" beyond the edge of the eave. Use 5 fasteners placed 2" to 3" from the edge of the eave. See Fig. 2.
2. During application, the installer must ensure that when the starter is applied, the overlaying shingles' end joints do not line up with the starter end joints. End joints must be a minimum of 4" from the overlaying shingle.
3. When the starter is used with 3-tab shingles, the installer must ensure that nails in the starter are not exposed between the cutouts of the overlaying shingle.

Product Specifications

Size	15½" x 39% (394 mm x 1000 mm)
Piece Size	7¾" x 39% (197 mm x 1000 mm)
Shingles per Bundle	16
Pieces per Bundle	32 (7¾" x 39% [197 mm x 1000 mm])
Lineal Feet per Bundle	Approximately 100 (30.5 m)

Applicable Standards and Codes

ASTM D 3462
UL 790, Class A
ASTM D 3161, Class F

Fig. 1 Starter Strip Plus Shingle

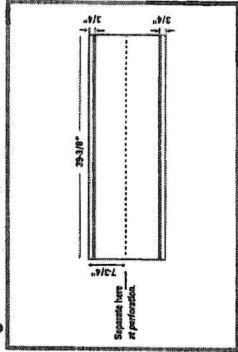
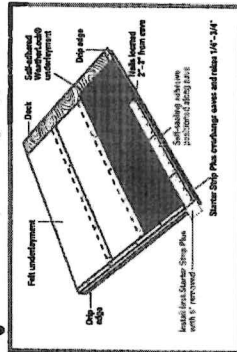


Fig. 2 Starter Strip Plus Shingle Application



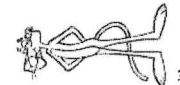
CAUTION

Roof surface may be slippery: Especially when wet or icy. Use a fall protection system when installing. Wear rubber-soled shoes. Walk with care.

Falling hazard: Secure area below work and materials on roof. Wear a hard hat.

Notice

It is important that attic space be properly ventilated to maintain product performance and to prevent damage from moisture condensation and excessively high attic temperatures. In this regard, FHA and National Building Code Minimum Property Standards must be met.



OWENS CORNING ROOFING AND ASPHALT, LLC
 ONE OWENS CORNING PARKWAY
 TOLEDO, OHIO, USA 43669
1-800-GET-PINK®
www.roofing.owenscorning.com
 Pub. No. 1001118-B. Printed in U.S.A., March 2010. THE PINK PANTHER™ & © 1964-2010 Metro-Goldwyn-Mayer Studios Inc. All Rights Reserved. THE PINK PANTHER™ is a registered trademark of Owens Corning. ©2010 Owens Corning.
 (Atlanta, Brookville, Jacksonville, Kearny, Medina, Minneapolis, Savannah, Summit)

Metal Shingle Roofing Bids

Request for Proposal

VILLAGE OF KRONENWETTER

MUNICIPAL CENTER ROOF REPAIR & REPLACEMENT PROJECT

This entire bid document must be returned, with all of the appropriate lines and spaces filled-in with the required information. To comply with this advertisement for bids, the following general specifications are to be adhered to: The materials must be NEW, the latest type and make manufacturer and must equal or exceed the following specification requirements.

Building Locations: 1582 I-39 Frontage Road, Kronenwetter WI 54455

1. Bid
 - This bid is intended for the removal and installation of a new roof on Village of Kronenwetter owned Municipal Center Facility locations listed above. Bids shall include all labor and materials to complete the entire project as specified.
2. Insurance
 - \$500,000 workmen's compensation policy
 - All workmen on the project shall be covered by workmen's compensation insurance and shall verify the same by providing the last two years insurance audits, if requested by owner. Workmen on the project shall not "opt out" of workmen's comp insurance.
 - A certificate of insurance shall be issued to the owner listing the owner as a certificate holder.
3. Safety Compliance
 - Compliance with all EPA and OSHA requirements shall be the responsibility of the Prime contractor, as published by local, state and federal authorities.
 - The Prime contractor shall be responsible for all means and methods as they relate to safety and shall comply with all applicable local, state and federal requirements that are safety related.
 - Safety shall be the responsibility of the Prime contractor.
 - All related personnel shall be instructed daily to be mindful of the full-time requirement to maintain a safe environment for the facility's occupants including staff, visitors, customers, and the occurrence of the general public on or near the site.
 - Written Safety Program including HazMat programs and MSDS sheets shall be on project site at all times. Prime contractor shall provide OSHA compliance plan for fall protection, barricades, and general work plan.
4. Contractor Qualifications
 - At least 75% of labor hours associated with this reroofing project must be worked by bona fide employees of the Prime Contractor, who have been employed by the Prime Contractor for more than one year, and for whom the Prime Contractor has paid worker's compensation premiums, based on hours worked, under a roofing class code during 9 of the 12 months immediately previous to the date of the contract. These pre-qualifications are subject to verification by the Owner.

- Contractor shall provide a minimum of 4 projects of similar scope and size with exact or similar materials.
 - Contractor shall have a minimum of 5 years of verifiable experience in both technical aspects of this type of work as well as verifiable experience in running and managing a business, unless approved by the owner prior to the bid opening
 - Contractor shall provide lien waivers at completion of project and before final payment is issued the Village of Kronenwetter.
5. Contractor Extent of Work
- Provide all labor, materials, tools, equipment, and supervision necessary to complete the installation of a stone coated steel roofing system including all flashing as specified herein* in accordance with the manufacturer's most current specifications and details.
 - The Prime contractor shall be fully knowledgeable of all requirements of the contract documents and shall make themselves aware of all job site conditions that will affect their work.
 - The Prime contractor shall confirm all given information and advise the building owner, prior to bid* of any conflicts that will affect their cost bid.
 - Prime contractor shall be responsible for obtaining the local building permit, and coordinating all required inspections.
6. Contractor Product Delivery, Storage, and Handling Responsibilities
- Contractor will be responsible for the unloading, proper storage and security of all materials delivered to the construction site.
 - Deliver materials to the job site in the manufacturer's original, unopened containers or wrappings with the manufacturer's name, brand name and installation instructions intact and legible. Deliver in sufficient quantity to permit work to continue without interruption.
 - Comply with the manufacturer's written instructions for proper material storage.
 - Store all materials in dry areas protected from water and direct sunlight. Follow all manufacturer's instructions for proper storage.
 - Any materials which are found to be damaged shall be removed and replaced at the Prime contractor's expense.
7. Use of the Premises
- Before beginning work, the Prime contractor must secure approval from the building owner's representative for the following:
 - Areas permitted for personnel parking.
 - Access to the site.
 - Areas permitted for storage of materials and debris.
 - Areas permitted for the locations of cranes, hoists and chutes for loading and unloading materials to and from the roof.
8. Discrepancies
- If discrepancies are discovered between the existing conditions and those noted, immediately notify the owner's representative by phone and solicit the manufacturer's approval prior to commencing with the work. Necessary steps shall be taken to make the building watertight until the discrepancies are resolved.
9. Temporary Facilities, Temporary Utilities: and Controls

- Water and power for construction purposes and lighting are available at the site and will be made available to the roofing contractor.
 - Provide all hoses, valves and connections for water from source designated by the owner when made available.
 - When available, electrical power should be extended as required from the source.
 - Contractor Supplied Temporary Sanitary Facilities – Prime contractor will be responsible for supplying temporary sanitary facilities at the job site, through the duration of the project.
 - Security - Obey the owner's requirements for personnel identifications, inspection and other security measures.
10. Job Site Protection & Debris Removal
- The Prime contractor shall adequately protect building, paved areas, service drives, lawns, shrubs, trees, etc. from damage while performing the required work. Provide canvas, boards and sheet metal (properly secured) as necessary for protection and remove protection material at completion. The contractor shall repair or be responsible for costs to repair all property damaged during the roofing application.
 - During the Prime contractor's performance of the work, the building owner will continuously occupy the existing building. The contractor shall take precautions to prevent the spread of dust and debris, where such material may shift into the building. The Prime contractor shall provide labor and materials to construct, maintain and remove necessary temporary enclosures to prevent dust or debris in the construction area(s) from entering the building.
 - Do not overload any portion of the building, either by use or placement of equipment, storage of debris, or storage of materials.
 - All materials and equipment hoisted to the rooftop shall be secured against wind and water damage.
 - Protect against fire and flame spread. Maintain proper and adequate fire extinguishers.
 - Store moisture susceptible materials aboveground and protect with waterproof coverings.
 - Remove all traces of piled bulk materials and return the job site to its original condition upon completion of the work.
 - The Prime contractor shall remove all debris from the job site in a timely and legally acceptable manner so as not to detract from the aesthetics or the functions of the building.
11. Workmanship
- Applicators installing new roof, flashing and related work shall be factory trained and approved by the manufacturer they are representing.
 - All work shall be of the highest quality and in strict accordance with the manufacturer's published specifications and shall be to the owner's satisfaction.
 - There shall be a supervisor on the job site at all times while the work is in progress.
12. Quality Assurance
- Unless otherwise noted in this specification, the Prime contractor must strictly comply with the manufacturer's current specifications and details.
 - The roofing system must be installed by an applicator authorized and trained by the manufacturer in compliance with shop drawings as approved by the manufacturer
 - Provide adequate number of experienced workmen engaged in each type of work who are skilled in the application techniques of the materials specified. Provide at least one

thoroughly trained and experienced superintendent on the job at all times work is in progress.

- There shall be no deviations made from this specification and/or the approved shop drawings without the prior written approval of the owner. Any deviation from the manufacturer's installation procedures must be supported by a written certification on the manufacturer's letterhead and presented for the owner's consideration.
 - Details shall be done according to Manufacturer's Specifications.
 - Reference materials for details are the NRCA Waterproofing Manual, and the Architectural Sheet Metal Manual by SMACNA, International Building Code, and other applicable industry publications.
 - Proceed with roofing work only when weather conditions are in compliance with the manufacturer's recommended limitations, and when conditions will permit the work to proceed in accordance with the manufacturer's requirements and recommendations.
 - The surface on which the roofing system is to be applied shall be clean, smooth, dry, and free of projections or contaminants that would prevent proper application of or be incompatible with the new installation, such as fans, sharp edges, foreign materials, oil and grease.
 - New roofing shall be complete and weather-tight at the end of each work day.
13. Job Conditions Cautions and Warnings
- Material Safety Data Sheets (MSDS) must be on location at all times during the transportation, storage and application of materials.
 - Do not apply adhesives in conditions such as fog, dew, rain or snow, or when frost occurs on the surfaces of the membrane or substrate.
 - When loading materials onto the roof, the Contractor must comply with the requirements of the building owner to prevent overloading and possible disturbance to the building structure.
14. Warranty
- Contractor's five-year labor, workmanship, and water-tightness warranty shall be issued upon completion.
 - Contractor shall complete all paperwork as needed for issuance of manufacturer's roof warranties.
15. Clean up
- Perform daily clean-up to collect all used roofing materials, wrappings, empty containers paper and other debris from the project site. Upon completion, all debris must be disposed of in a legally acceptable manner at an offsite facility.
 - Magnetic rake shall be used to ensure clean pick-up of metal debris and fasteners in driveway and landscaping areas.

Stone Coated Metal Roof Shingle

PART 1 - GENERAL

1.1 SUMMARY

- A. Related Documents: Provisions established within General and Supplementary Conditions of the Contract, Division 1 – General Requirements, and the Drawings are collectively applicable to this Section.
- B. Section Includes: Formed metal roofing panels with colored stone chip finish.
- C. Associated metal flashings.
- D. Alternates.

1.2 SUBMITTALS

- A. Submit full size shingle samples for color selection.
- B. Product Data: Include construction details, material descriptions, dimensions of individual components and profiles, finishes, fasteners, accessories, and manufacturers written installation instructions.
- C. Shop Drawings: Include roof plans and elevations; sections at ridges, gables, and eaves; and details of components, accessories, and attachments to other work.
- D. Samples for Initial Selection: Manufacturer's color charts and samples consisting of units or sections of units showing the full range of colors, textures, and patterns available for each type DECRA Shingle indicated.

1.3 QUALITY ASSURANCE

- A. Regulatory Requirements:
 - 1. Conform to applicable building code for roof assembly fire hazard requirements.
 - 2. Conform to building code for minimum wind uplift resistance.
 - 3. After project is completed, manufacturer's representative shall visit the site to verify compliance with manufacturer's installation instructions.

1.4 REFERENCES

- A. Fire-Test-Response Characteristics: Provide DECRA Shingle with fire-test-response characteristics indicated, as determined per test method ASTM E108 – Test Fire Resistance of Roof Covering Materials, for application and slopes indicated.
 - 1. Fire-Test Exposure: Class A.
- B. ASTM A792/A792M: Sheet Steel, Aluminum-Zinc Alloy Coated by the Hot Dip Process, Structural (physical) Quality.
- C. UL 1897 and UL 580: Wind Uplift Resistance of Roof Assemblies.
- D. ASTM C920: Specification for Elastomeric Joint Sealants.
- E. Impact Resistance: UL 2218, Class 4.
- F. Appraisal Certificates:
 - 1. International Code Council (ICC), Whittier California, Report No. ESR 1483.
 - 2. Underwriters Laboratories, Inc., Northbrook, Illinois, USA File No. R14710.
 - 3. Canadian Construction Materials Center, Ottawa, Ontario, CCMC#13085-R.

1.5 DELIVERY, STORAGE, AND HANDLING

- A. Store and handle roofing materials to ensure dryness. Store in a dry, well-ventilated, weather tight place. Protect from corrosion, staining and traffic and wind damage. Store rolls of felt and other sheet materials on end on pallets or another raised surface.

1.6 WARRANTY

- A. Manufacturing Warranty: Written, transferable, limited warranty provided by DECRA Roofing Systems, covering manufacturing defects/excessive granule loss. Refer to warranty for specifics.
 - 1. Warranty Period: 50 years from date of Substantial Completion.
 - 2. Wind Warranty: 120 mph winds, full warranty period.
 - 3. Hail Penetration: full warranty period.
 - 4. Normal warranty will apply without any exclusions.

PART 2 - PRODUCTS

2.1 MANUFACTURER or approved equal

- A. DECRA Roofing Systems, Inc., 1230 Railroad Street, Corona, CA 92882 (951-272-8180), (951-272-4476 FAX); www.decra.com.

2.2 MATERIALS

- A. Metal Shingle: DECRA Shingle formed interlocking panels resembling dimensional roofing shingles.
 - 1. Material: Rolled and pressure formed, Aluminum-Zinc Alloy Coated Steel with three vertical ribs forming three flat steps, each of which shall have raised and lowered pan sections.
 - 2. Finish: Ceramic coated colored stone chip finish.
 - 3. Thickness: 26 Gauge, .0179 inches (.455 mm).
 - 4. Size: 21" wide by 52" long (533 by 1321 mm).
 - 5. Exposure: 19-3/4" wide by 49" long (368 by 1270 mm).
 - 6. Weight: 125 pounds per square.
 - 7. Color: [Canyon Brown] [Fawn Grey] [Vintage Slate].
- B. Flashing:
 - 1. Valley: DECRA Roofing Systems, Inc., Shingle Valley, Aluminum-Zinc Alloy coated Steel sheet 26 Gauge, .0179 inches (.455 mm). Pressure formed into a valley with a stone coated valley cap. Finish: Match upper exposed stone coated surface of the valley cap to the shingle material.
 - 2. Drip Edge: DECRA Roofing Systems, Inc., Drip Edge, Aluminum-Zinc Alloy Coated Steel sheet, [3.5 inches] or [5 inches] (89 mm or 127 mm), 26 Gauge, .0179 inches (.455 mm). Pressure formed to fit along the leading edge of roof panels at eave/fascia.
 - 3. Rake / Gable Channel: DECRA Roofing Systems, Inc., Shingle Rake/Gable Channel, Aluminum-Zinc Alloy Coated Steel sheet, 26 Gauge,

- .0179 inches (.455 mm). Pressure formed to match roofing material, color, and finish to be applied along rakes and gables.
4. 24 gauge Kynar coated metal to be custom fabricated with an integral drip edge to transition from upper gambrel roof slope down over the skylight panels. Minimum lap over the upper end of skylight panels to be 4 inches with foam closure to be installed between skylight panel and metal trim.
- C. Substrate: 5/8" exterior structure plywood deck, must match existing substrate.
- D. Hip & Ridge: Shingle Hip & Ridge covers hips and ridges matching shingle material, color, and finish.
1. Hips / Ridges: DECRA Roofing Systems, Inc., DECRA Shingle Hip & Ridge, Aluminum-Zinc Alloy Coated Steel sheet, 26 Gauge, .0179 inches (.455 mm). Pressure formed to match roofing material, color, and finish to be applied along hips and ridges.
 2. Fasteners: Corrosion Resistant Screws: Minimum No. 8, of sufficient length to penetrate substrate 1/2 inch (12.7 mm) minimum, black or color coordinated to match the panels.]
- E. Translucent Panels: Translucent Panels: Polycarbonate translucent panels by Fabral or equal will be installed where the existing fiberglass panels are removed.

2.3 ACCESSORIES

- A. Synthetic Underlayment: Feltex, Deck Armor, Titanium UDL 30 or approved equal.
- B. Perimeter Underlayment: ASTM D 1970; self-adhering, polymer-modified, bituminous sheet underlayment; 40 mils (1 mm) thick. Provide primer when recommended by underlayment manufacturer.
- C. Sealant: One-part elastomeric polyurethane, sealant as recommended in writing by panel manufacturer. Where sealant will be exposed, provide in color to match panels.
1. Standard: ASTM C920-86.
- D. Fasteners: Corrosion resistant screws.
1. Screws: Minimum No. 8, hex head, of sufficient length to penetrate substrate 1/2 inch (12.7 mm) minimum see manufacturer's instructions for fastening positions. Recommended length is 1-1/2 inch (38mm) long.

PART 3 - EXECUTION

3.1 EXAMINATION

- A. Remove all roofing materials including existing shingles, tar paper, flashings, skylights, nails and/or staples and all other related roofing materials.
- B. Examine substrate and conditions for compliance with requirements for maximum moisture content, soundness of roof deck and other conditions affecting performance of DECRA metal roofing. [Damaged, rotted or loose roofing materials shall be removed and the substrate corrected for re-roofing applications]. Proceed with installation only after unsatisfactory conditions have been corrected.

3.2 PREPARATION

- A. Clean substrate of any projections and substances detrimental to metal panel roofing. Cover knotholes or other minor voids in substrate with sheet metal flashing secured with roofing nails.
- B. Remove existing skylight panels and replace with new polycarbonate translucent panels.
- C. Coordinate installation of metal shingles with roof deck, flashing and other adjoining work to ensure proper sequencing. Do not install roofing until vent stacks and other penetrations through roofing have been installed, are securely fastened and flashing is in place.

3.3 INSTALLATION

- A. General: Comply with manufacturer's written instructions for products and applications indicated, unless more stringent requirements apply.
- B. Underlayment: Apply number of plies required by governing code, but at least one ply, with each ply overlapping the ply below at least 3 inches (152 mm) and ends lapped at least 12 inches (457 mm).
 - 1. Omit synthetic underlayment at areas of perimeter underlayment. Lap felt underlayment over perimeter underlayment as recommended by manufacturer, but not less than 2 inches (51 mm).
- C. Perimeter Underlayment: (applicable only with complete tearoff of existing roofing shingles, and to be omitted if existing shingles remain in place) Apply minimum 24 inches (609 mm) wide layer of perimeter underlayment along entire perimeter of surface to receive metal shingles, including at eaves, ridges, edges, skylights, and around projections through roof. Extend perimeter underlayment a minimum of 36 inches (914 mm) inside exterior wall line at edges.]
- D. Drip edge will be installed on all roof plane perimeters.
- E. Shingle Panels: Install DECRA Shingle, accessories, flashing, and hip & ridge level and plumb. Use fasteners per above specifications.
 - 1. Using the recommended offset, the first course of panels lock into the Drip Edge.
 - 2. The second course of panels start at the rake edge, valley or hip with a panel that is 28 inches (711 mm) in length, panel exposure is 25 inches (635 mm), measured from the left side of the panel.
 - 3. Position the panel into the top clip of the panels on the course below. The center of each field panel will be placed directly above the overlap of the panels on the previous course.
 - 4. Make sure the top clips of each panel are flush. The maximum allowable gap should be 3/16 inches (76 mm).
 - 5. Once the panel is in position, firmly push (by hand or foot) on the panel in the area that overlaps the joint of the two panels below. This will help position the panel for fastener placement.
 - 6. After positioning the panel, firmly push (by hand or foot) on the left side of the panel until it is locked firmly into the clip-lock of the panel on the

- course below. Install a fastener in the upper left corner straight down through the panel.
7. Firmly push (by hand or foot) on the right side of the panel and make sure it is locked into the previously installed panel. Install a fastener in the upper right portion of the panel. Placing this fastener at a slight upward angle (45°) will help draw the shingle panel into the proper locking position. Complete the installation with 2 additional fasteners straight down into the panel.
 8. Fasten each panel with minimum [4] fasteners along top edge of panel.
 9. Cut and slot DECRA panels that will terminate at the Rake/Gable Channel or at the Valley in accordance with the manufacturer's instructions.
- F. Hip & Ridge: Install Shingle Hip & Ridge along hips, ridges and rakes as indicated on approved submittals and in accordance with manufacturers written instructions. Bend and fold exposed ends of hips ridges and neatly, cap with an end cap or a piece of similar material.
- 3.4 CLEANING AND PROTECTION
- A. Damaged Units: Replace panels and other components of the work that have been dented, damaged or have deteriorated beyond successful repair by finish touchup with acrylic coating and stone chip granules.
 - B. Cleaning: After completing installation, remove any debris from the roof.
 - C. Foot Traffic: Avoid walking on side laps.
4. WARRANTY Warranty must be furnished in writing, or printed material. All warranty work will be done by the selling dealer with all warranty work completed within 24 hours of notification of needed work, unless dealer can show justification for extension; mutually agreed upon by the county. Failure to comply with warranty specification will be grounds for disqualification for future bids. No service call, fuel or travel charges will be allowed for warranty repairs.
5. WAGES: Wage rates as established and set forth by the State of Wisconsin Department of Workforce Development, in accordance with Chapter 66.0903 of the Wisconsin Statute, shall be paid. **(SEE ATTACHED PDF FILE)**
6. OWNER MATERIAL PURCHASE LIST: The Owner will purchase the following materials directly from suppliers thru purchase orders. These items should be included in bid without the 5% sales tax (or county tax if applicable).
- Shingles/underlayment
 - Waterproofing membrane
 - Skylights
7. TAXES No State or Federal taxes are to be included in bid.

Bid Instructions

1. BID

- The Village of Kronenwetter is seeking bids for the teardown and replacement of the roofing system of the Municipal Center at 1582 and i-39 Frontage Road, Kronenwetter WI 54455. Estimated square footage is approximately 32,000 square feet but it is the bidder's responsibility to confirm. The bid specifications is attached, to include the following bid instructions:
- Bids must be submitted on or before Monday, October 16, 2023 by 4:30pm in a sealed envelope – addressed to Village of Kronenwetter, 1582 Kronenwetter Drive, Kronenwetter, WI 54455. Mark " VOK MUNICIPAL CENTER ROOF REPAIR & REPLACEMENT PROJECT" on outside of envelope. Bid will be considered good for 30 days unless otherwise indicated and can be received electronically if emailed to lludi@kronenwetter.org
- Please include all factory literature and specification sheets of complete units with bid.

2. BID FORM

- Bid must be on form issued by this office. Important: Incomplete bid form can result in loss of award All available lines on 'Bid Form' MUST BE filled in or failure to do so can result in bid disqualification.

3. BID AWARD

- Award will be made to a single vendor for the entire facility, unless agreed to otherwise. Payment will be made following accepted final installation and certification completion entire roofing system of the facility. Preliminary Procedures: Before requesting inspection for certification completion, the following must be met:
 - A. Show 100 percent completion
 - B. Advise the Owner of pending insurance changeover requirements
 - C. Submit specific warranties, workmanship bonds, maintenance agreements, final certifications, and similar documents.
 - D. Submit maintenance manuals & final record information.
 - E. Complete final cleanup requirements, including touchup painting.
 - F. Touch up and otherwise repair and restore marred, exposed finishes.

October 4, 2023

Section 5, Item J.

Note: The Village of Kronenwetter reserves the right to reject any or all bids or parts thereof, to waive any minor informalities in any bis submitted, and to make such award as deemed most advantageous to the Village of Kronenwetter.

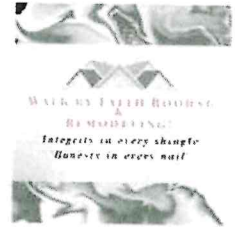
Answers to questions regarding the above should be directed:

Leonard Ludi, Director of Public Works 715-693-4200 extension #112 or Pete Wegner, Community Development Director 715-693-4200 extension #113

ESTIMATE

Walk by Faith Roofing and Remodeling
 2932 Creek Valley Ln
 Appleton, WI 54914

james@walkbyfaithroofing.com
 +1 (920) 977-9306
 WWW.WALKBYFAITHROOFING.COM



Leonard Ludi

Bill to
 Leonard Ludi
 Village of Kronenwetter
 1582 Kronenwetter Drive
 Kronenwetter, WI 54455 US

Ship to
 Leonard Ludi
 Village of Kronenwetter
 1582 Kronenwetter Drive
 Kronenwetter, WI 54455 US

Estimate details
 Estimate no.: 0088
 Estimate date: 10/15/2023

Material Deposit: 50 percent

Warranty not found in Packet.

#	Date	Product or service	SKU	Qty	Rate	Amount
1.		Introduction This estimate contains cost of materials, labor for tear off, disposal and installation of new stone coated steel shingles.		1	\$0.00	\$0.00
2.		Tear off Removal of asphalt shingles, ridge cap, underlayment and current metal edge.--includes disposal		320	\$150.00	\$48,000.00
3.		Check for damaged or weak decking. Replace decking as needed-----10 sheets of 4 ft by 8 ft 7/16 OSB provided---extras will be charged at \$25 per sheet.		1	\$0.00	\$0.00
4.		Metal edge Rake Channel---6.3 Linear Feet per piece		65	\$36.00	\$2,340.00
5.		Metal edge Fascia Starter---		210	\$30.00	\$6,300.00
6.		Install ice and water shield Install a moisture barrier in valleys and rakes----sold per roll		25	\$125.00	\$3,125.00
7.		Install synthetic underlayment Purchased by the roll---		40	\$150.00	\$6,000.00
8.		Install W Valley metal Install W valley metal in valleys---Sold in 10 Linear feet sections		8	\$75.00	\$600.00
9.		DECRA---Shingle XD approximately 6400 stone coated steel shingles----includes fasteners.		350	\$850.00	\$297,500.00
10.		clear silicone sealant		60	\$10.00	\$600.00

sold per tube

11.	Install hip and ridge cap 640 Linear feet	640	\$15.00	\$9,600.00
12.	Valley Cap 6.3 Linear Feet per piece	13	\$40.00	\$520.00
13.	Touch up paint Sold per gallon	5	\$325.00	\$1,625.00
14.	Notice Please note the following---- 1. Gas Furnace and water heater exhaust pipes, if not correctly installed, may become dislodged during roof replacement. We highly recommend the homeowner have these connections checked by their A/C or Plumbing Service professional following new roof installation.		\$0.00	\$0.00
15.	Notice--2 Installing the roof requires nailing through the roof deck. Items such as conduit lines and T.V, Cable or refrigerant lines installed closer than 1 1/2 inches of the underside of roof decking shall be protected from damage by nails and other fasteners. As per the current International Residential/ Commercial building code.		\$0.00	\$0.00
16.	Re-Use all plumbing and pipe vents. Re-use all plumbing and pipe vents. Spray with rust inhibitor.		\$1,000.00	\$1,000.00
17.	Complete and seal Seal all roof penetrations. Remove and dispose of all job related debris. Provide Contractor 5 year roof installation warranty. Provide Material Manufacturers Warranty.		\$0.00	\$0.00
18.	Thank you Thank you for the opportunity to serve your needs.		\$0.00	\$0.00

Total

\$377,210.00

ESTIMATE

Walk by Faith Roofing and Remodeling
 2932 Creek Valley Ln
 Appleton, WI 54914

james@walkbyfaithroofing.com
 +1 (920) 977-9306
 WWW.WALKBYFAITHROOFING.COM



Leonard Ludi

Bill to
 Leonard Ludi
 Village of Kronenwetter
 1582 Kronenwetter Drive
 Kronenwetter, WI 54455 US

Alternate Bid

Ship to
 Leonard Ludi
 Village of Kronenwetter
 1582 Kronenwetter Drive
 Kronenwetter, WI 54455 US

Estimate details

Material Deposit: 50 percent

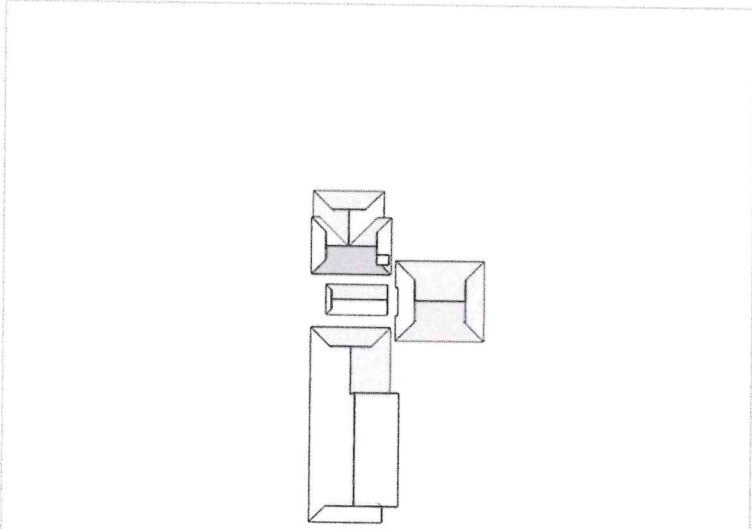
Estimate no.: 0088
 Estimate date: 10/15/2023
 Expiration date: 11/15/2023

#	Date	Product or service	SKU	Qty	Rate	Amount
1.		Introduction This estimate contains cost of materials, labor for tear off, disposal and installation of new stone coated steel shingles.		1	\$0.00	\$0.00
2.		Tear off Removal of asphalt shingles, ridge cap, underlayment and current metal edge.--includes disposal		320	\$100.00	\$32,000.00
3.		Check for damaged or weak decking. Replace decking as needed-----10 sheets of 4 ft by 8 ft 7/16 OSB provided---extras will be charged at \$25 per sheet.		1	\$0.00	\$0.00
4.		Metal edge Rake Channel---6.3 Linear Feet per piece		65	\$36.00	\$2,340.00
5.		Metal edge Fascia Starter---		210	\$30.00	\$6,300.00
6.		Install Ice and water shield Install a moisture barrier in valleys and rakes----sold per roll		25	\$125.00	\$3,125.00
7.		Install synthetic underlayment Purchased by the roll---			\$150.00	\$6,000.00
8.		Install W Valley metal Install W valley metal in valleys---Sold in 10 Linear feet sections		8	\$75.00	\$600.00
9.		DECRA---Shingle XD approximately 6400 stone coated steel shingles----includes fasteners.		350	\$850.00	\$297,500.00

10.	clear silicone sealant sold per tube	60	\$10.00	\$600.00
11.	Install hip and ridge cap 640 Linear feet		\$15.00	\$9,600.00
12.	Valley Cap 6.3 Linear Feet per piece	13	\$40.00	\$520.00
13.	Touch up paint Sold per gallon	5	\$325.00	\$1,625.00
14.	Notice Please note the following--- 1. Gas Furnace and water heater exhaust pipes, if not correctly installed, may become dislodged during roof replacement. We highly recommend the homeowner have these connections checked by their A/C or Plumbing Service professional following new roof installation.		\$0.00	\$0.00
15.	Notice--2 Installing the roof requires nailing through the roof deck. Items such as conduit lines and T.V, Cable or refrigerant lines installed closer than 1 1/2 inches of the underside of roof decking shall be protected from damage by nails and other fasteners. As per the current International Residential/ Commercial building code.		\$0.00	\$0.00
16.	Re-Use all plumbing and pipe vents. Re-use all plumbing and pipe vents. Spray with rust inhibitor.		\$1,000.00	\$1,000.00
17.	Complete and seal Seal all roof penetrations. Remove and dispose of all job related debris. Provide Contractor 5 year roof installation warranty. Provide Material Manufacturers Warranty.		\$0.00	\$0.00
18.	Thank you Thank you for the opportunity to serve your needs.		\$0.00	\$0.00

Total **\$361,210.00**

Expiry date 11/15/2023



In this 3D model, facets appear as semi-transparent to reveal overhangs.

Building: 1

PREPARED FOR

Contact:	James Franklin
Company:	Walk by Faith Roofing and Remodeling
Address:	2932 W Creek Valley Ln Appleton, WI 54914
Phone:	920-977-9306

TABLE OF CONTENTS

Images	1
Length Diagram	4
Pitch Diagram	5
Area Diagram	6
Notes Diagram.....	7
Penetrations Diagram.....	8
Report Summary.....	9

MEASUREMENTS

- Total Roof Area =31,129 sq ft
- Total Roof Facets =20
- Predominant Pitch =4/12
- Number of Stories >1
- Total Ridges/Hips =637 ft
- Total Valleys =79 ft
- Total Rakes =381 ft
- Total Eaves =1,306 ft
- Total Penetrations =22
- Total Penetrations Perimeter = 150 ft
- Total Penetrations Area = 72 sq ft

Measurements provided by www.eagleview.com



Certified Accurate

www.eagleview.com/Guarantee.aspx

IMAGES

The following aerial images show different angles of this structure for your reference.

Top View



IMAGES

North Side



South Side



IMAGES

East Side



West Side

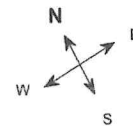
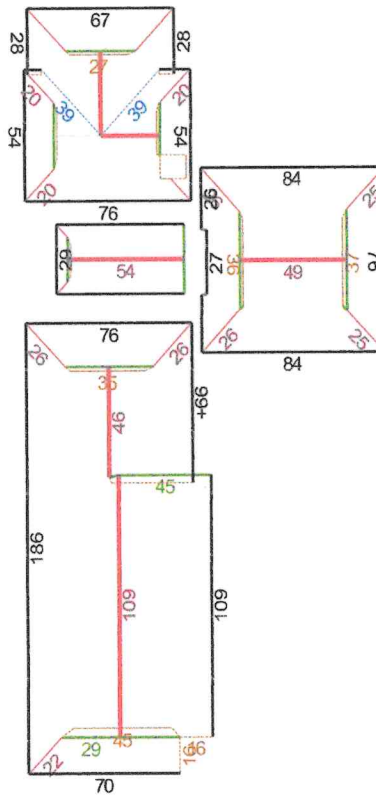


LENGTH DIAGRAM

Total Line Lengths:
Ridges = 320 ft
Hips = 317 ft

Valleys = 79 ft
 Rakes = 381 ft
 Eaves = 1,306 ft

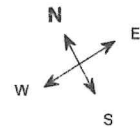
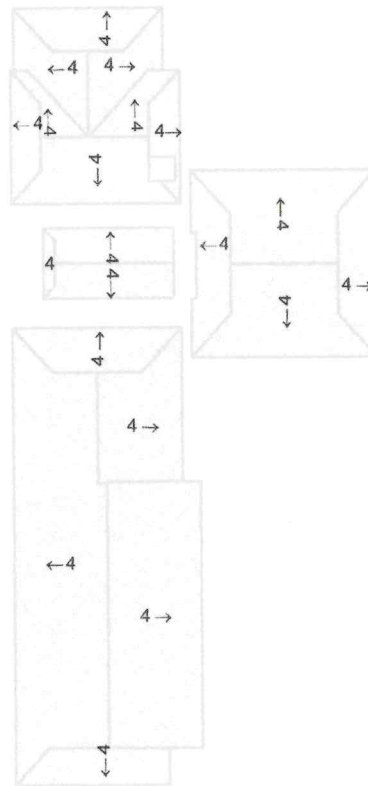
Flashing = 249 ft
 Step flashing = 171 ft
 Parapets = 0 ft



Note: This diagram contains segment lengths (rounded to the nearest whole number) over 5.0 Feet. In some cases, segment labels have been removed for readability. Plus signs preface some numbers to avoid confusion when rotated (e.g. +6 and +9).

PITCH DIAGRAM

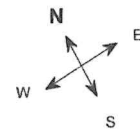
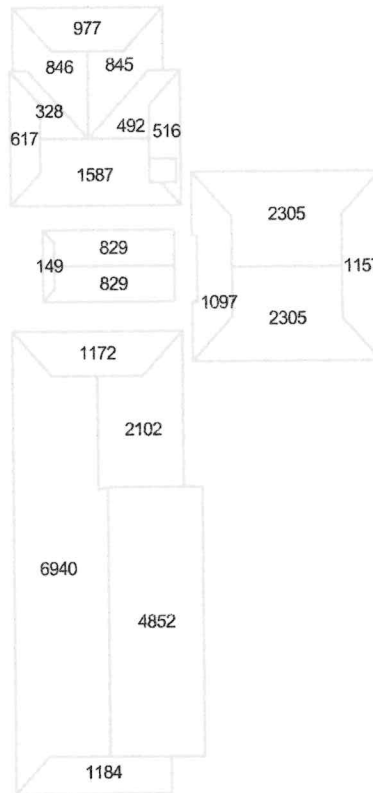
Pitch values are shown in inches per foot, and arrows indicate slope direction. The predominant pitch on this roof is 4/12



Note: This diagram contains labeled pitches for facet areas larger than 20.0 square feet. In some cases, pitch labels have been removed for readability. Blue shading indicates a pitch of 3/12 and greater.

AREA DIAGRAM

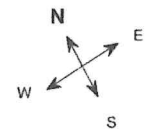
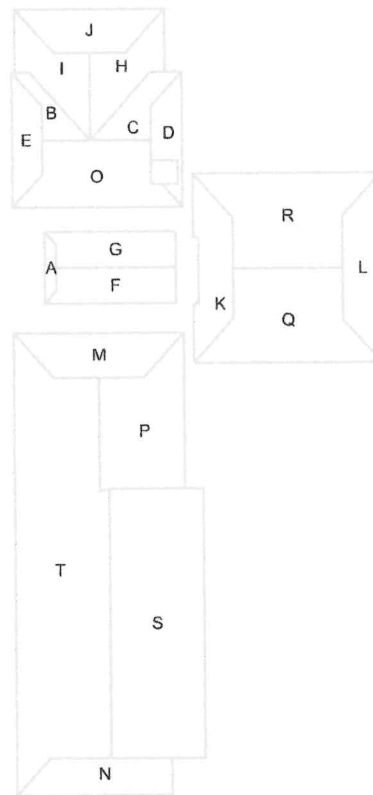
Total Area = 31,129 sq ft, with 20 facets.



Note: This diagram shows the square feet of each roof facet (rounded to the nearest Foot). The total area in square feet, at the top of this page, is based on the non-rounded values of each roof facet (rounded to the nearest square foot after being totaled).

NOTES DIAGRAM

Roof facets are labeled from smallest to largest (A to Z) for easy reference.



PENETRATIONS NOTES DIAGRAM

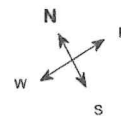
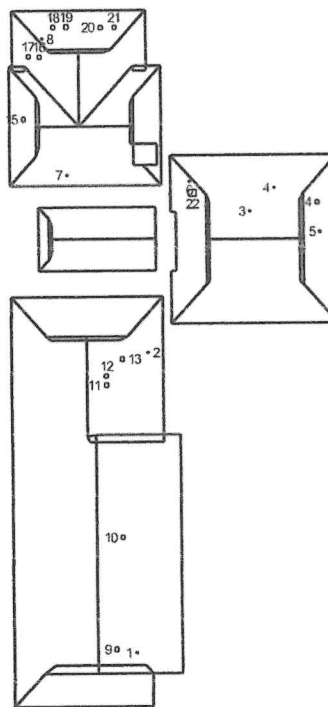
Penetrations are labeled from smallest to largest for easy reference.

Total Penetrations = 22

Total Penetrations Perimeter = 150 ft

Total Penetrations Area = 72 sq ft

Total Roof Area Less Penetrations = 31,057 sq ft



REPORT SUMMARY

All Structures

Areas per Pitch	
Roof Pitches	4/12
Area (sq ft)	31128.8
% of Roof	100%

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

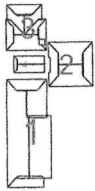
Waste Calculation Table							
Waste %	0%	10%	12%	15%	17%	20%	22%
Area (sq ft)	31,129	34241.9	34864.5	35798.4	36420.9	37354.8	37977.4
Squares	311.3	342.4	348.6	358.0	364.2	373.5	379.8

This table shows the total roof area and squares (rounded up to the nearest decimal) based upon different waste percentages. The waste factor is subject to the complexity of the roof, individual roofing techniques and your experience. Please consider this when calculating appropriate waste percentages. Note that only roof area is included in these waste calculations. Additional materials needed for ridge, hip, valley, and starter lengths are not included.

Penetrations	1-8	9-21	22						
Area (sq ft)	1	4	12						
Perimeter (ft)	4	8	14						

Any measured penetration smaller than 3.0x3.0 Feet may need field verification. Accuracy is not guaranteed. The total penetration area is not subtracted from the total roof area.

All Structures Totals



Total Roof Facets = 20
Total Penetrations = 22

Lengths, Areas and Pitches

Ridges = 320 ft (6 Ridges)
Hips = 317 ft (15 Hips).
Valleys = 79 ft (2 Valleys)
Rakes[†] = 381 ft (24 Rakes)
Eaves/Starter[‡] = 1,306 ft (22 Eaves)
Drip Edge (Eaves + Rakes) = 1,687 ft (46 Lengths)
Parapet Walls = 0 (0 Lengths).
Flashing = 249 ft (12 Lengths)
Step flashing = 171 ft (22 Lengths)
Total Penetrations Area = 72 sq ft
Total Roof Area Less Penetrations = 31,057 sq ft
Total Penetrations Perimeter = 150 ft
Predominant Pitch = 4/12
Total Area (All Pitches) = 31,129 sq ft

Property Location

Longitude = -89.6605102
Latitude = 44.8244954

Notes

This was ordered as a commercial property. There were no changes to the structure in the past four years.

[†] Rakes are defined as roof edges that are sloped (not level).

[‡] Eaves are defined as roof edges that are not sloped and level.

1582 Kronenwetter Dr, Kronenwetter, WI 54455

Report: 52697230

Measurements by Structure									
Structure	Area (sq ft)	Ridges (ft)	Hips (ft)	Valleys (ft)	Rakes (ft)	Eaves (ft)	Flashing (ft)	Step Flashing (ft)	Parapets (ft)
1	16250	154	74	0	149	507	80	92	0
2	6864	49	103	0	96	322	73	7	0
3	6208	62	124	79	86	330	83	64	0
4	1807	54	15	0	50	146	12	7	0

All values in this table are rounded up to the nearest Foot for each separate structure. Measurement totals displayed elsewhere in this report are added together before rounding which may cause totals to differ.

The table above lists each pitch on this roof and the total area and percent (both rounded) of the roof with that pitch.

Online Maps

Online map of property

http://maps.google.com/maps?f=q&source=s_q&hl=en&geocode=&q=1582+Kronenwetter+Dr,Kronenwetter,WI,54455

Directions from Walk by Faith Roofing and Remodeling to this property

http://maps.google.com/maps?f=d&source=s_d&saddr=2932+W+Creek+Valley+Ln,Appleton,WI,54914&daddr=1582+Kronenwetter+Dr,Kronenwetter,WI,54455



1582 Kronenwetter Dr, Kronenwetter, WI 54455

Report: 52697230

IMPORTANT LEGAL NOTICE AND DISCLAIMER

Notice and Disclaimer

No Warranty: The Copyrighted Materials are provided to you "as is," and you agree to use it at your own risk.

EagleView Technologies makes no guarantees, representations or warranties of any kind, express or implied, arising by law or otherwise, including but not limited to, content, quality, accuracy, completeness, effectiveness, reliability, fitness for a particular purpose, usefulness, use or results to be obtained from the Copyrighted Materials.

Contractors agree to always conduct a preliminary site survey to verify Roof Report ordered. In the event of an error in a Report, your sole remedy will be a refund of the fees paid by you to obtain this Report.

C&C Services, LLC
PO Box 317
Schofield, WI 54476
(715) 203-3696



October 14, 2023

23-135
Village of Kronenwetter
Attn: Leonard Ludi
1582 I-39 Frontage Road
Kronenwetter, WI 54455

RE: Municipal Center Roof Repair & Replacement Project

To Whom It May Concern:

The undersigned bidder hereby offers, in the amount stated below, to furnish all labor, materials, tools, equipment, apparatus, facilities, transportation and permits for the construction and installation of the roofing systems for the property at 1582 I-39 Frontage Road in Kronenwetter, WI, based on a site visit. C&C Services, LLC hereby agrees to enter contract if this offer is accepted.

TOTAL AMOUNT OF BASE BID: See Schedule

The above amount is the total amount bid for the entire contract work including all applicable taxes. Any alteration, erasure, or change must be clearly indicated and initialed by the bidder.

CLARIFICATIONS:

1. Proposal is based on all work to be performed on a straight time basis.
2. Proposal has not included a budget for engineering cost.
3. Proposal is based strictly on the site visit, and the RFP packet.
4. This proposal includes the use of C&C Services, LLC cranes and lifts.

PROJECT DESCRIPTIONS:

1. The asphalt shingles (1 Layer), underlayment and fasteners from the 1582 I-39 Frontage Road in Kronenwetter, WI will be removed from the building and hauled to a local recycling center in a dumpster trailer.
2. The roof substrate will be inspected for damage or deterioration. If any damage is found, it will be documented and brought to the owner's attention immediately, and a plan will be discussed to correct the damage, changes will be documented via change order.
3. New edge metal will be installed around the perimeter of the roof, eave metal will be installed prior to any underlayment and the rake edge will be installed after the underlayment.
4. New GAF Stormguard™ Ice and Water barrier will be installed two (2) rows up from the eave; and one row (1) in the valleys, around all roof penetrations and along any side wall flashings.
5. New Feltex™ synthetic underlayment will be installed over the entire roof deck including the newly installed ice and water barrier. Membranes will be installed with 1" cap nails according to manufacturer specifications.

C&C Services, LLC
 PO Box 317
 Schofield, WI 54476
 (715) 203-3696



6. New Ultimate Pipe Flashings™ will be installed at each soil stack.
7. New Decra Shingle XD™ panels will be installed, according to manufacturer's specifications.
8. New flashings will be installed.
9. **New Decra Shingle XD Hip** and Ridge panels will be installed at the hips and ridges of the building.

** Existing wall panels will have to be removed, trimmed and reinstalled to accommodate the new Decra Shingle XD system, included in this bid.

Alternate 1: Payment and Performance Bond

1. A Payment and Performance bond can be provided for this project at the cost of 3.5% of total project value.

Alternate 2: Sheeting Replacement

1. Replacement of decking will be subject to owner approval, base price listed below.

TERMS AND CONDITIONS:

Bid Pricing will only be valid for 30 days.

C&C Services, LLC will require a payment of 50% to begin the work, and the remaining balance is due upon completion.

No work outside of the scope of this contract will be performed without the written authorization of the owner or a designated representative.

Terms of payment on this contract are net 30. To cover the interest cost of payroll money, we will add one and a half percent (1.5%) per month to all unpaid invoices.

PLEASE NOTE:

The jobsite will be cleaned thoroughly at the end of each workday, and all work is to be performed in a manner consistent with OSHA guidelines. Also, all demolition will be performed with extreme caution as to protect the owner's property and employees.

Any permits will be acquired by C&C Services, LLC and will be displayed at the jobsite.

C&C Services, LLC will accept the use of all major credit cards; these payments will be subject to a four percent (4%) fee.

C&C Services, LLC
PO Box 317
Schofield, WI 54476
(715) 203-3696



Please indicate your acceptance by signing and returning one copy or by issuing your purchase order referring to this proposal.

Scheduling: This project is expected to take 30 days to complete and can be started within 30 days of contract finalization. This project will receive an official schedule at contract signing / material ordering.

TOTAL AMOUNT OF BASE BID: **See Schedule**

Roof Replacement Base Bid: \$346,500.00

Alternate 1: Add \$12,127.50

Alternate 2: Add \$2.00/SF

Acceptance of this proposal: I hereby accept the above prices, specifications and conditions. I authorize C&C Services, LLC, its employees and sub-contractors to perform the work specified above at the location above. I agree to make the payments as outlined above.


You have the right to cancel this contract with no penalty within 4 days. Cancellation of this contract after will result in the forfeiture of 15% of the value.

ACCEPTANCE:

Village of Kronenwetter
1582 I-39 Frontage Road
Kronenwetter, WI 54455

C&C Services, LLC
PO Box 317
Schofield, WI 54476
(715) 203-3696

(Signature)


(Cody Dement – President)

(Name & Title)

(Date)

October 14, 2023

(Date)

C&C Services, LLC
PO Box 317
Schofield, WI 54476
(715) 203-3696



October 14, 2023

23-135

Village of Kronenwetter
Attn: Leonard Ludi
1582 I-39 Frontage Road
Kronenwetter, WI 54455

RE: Recent Similar Projects

I have put together a list of similar projects (size and scope) for the Villages review in consideration of our bid to replace the Municipal Center's Roof.

Project 1: Pattison State Park, Superior Wisconsin.

This project was offered by the Wisconsin Department of Administration on behalf of the Wisconsin Department of Natural Resources. C&C Services installed a Decra Shake XD roofing system on this project.

Project 2: Mosquito Hill Nature Center, New London Wisconsin.

This project was offered by Outagamie County. C&C Services installed a Decra Shingle XD system on this project

Project 3: South Fork Suites, UWRF, River Falls Wisconsin.

This project was offered by the Wisconsin Department of Administration on behalf of the University of Wisconsin System. C&C Services installed a Decra Shingle XD system on this project.

Thank you for your consideration,

A handwritten signature in black ink, appearing to read 'Cody Dement', is written over a faint, circular watermark or stamp.

Cody Dement, President
C&C Services, LLC
PO Box 317
Schofield, WI 54476
(715) 203-3696



CERTIFICATE OF LIABILITY INSURANCE

Section 5, Item J.

DATE (MM/DD/YYYY)
10/10/2023

THIS CERTIFICATE IS ISSUED AS A MATTER OF INFORMATION ONLY AND CONFERS NO RIGHTS UPON THE CERTIFICATE HOLDER. THIS CERTIFICATE DOES NOT AFFIRMATIVELY OR NEGATIVELY AMEND, EXTEND OR ALTER THE COVERAGE AFFORDED BY THE POLICIES BELOW. THIS CERTIFICATE OF INSURANCE DOES NOT CONSTITUTE A CONTRACT BETWEEN THE ISSUING INSURER(S), AUTHORIZED REPRESENTATIVE OR PRODUCER, AND THE CERTIFICATE HOLDER.

IMPORTANT: If the certificate holder is an ADDITIONAL INSURED, the policy(ies) must have ADDITIONAL INSURED provisions or be endorsed. If SUBROGATION IS WAIVED, subject to the terms and conditions of the policy, certain policies may require an endorsement. A statement on this certificate does not confer rights to the certificate holder in lieu of such endorsement(s).

PRODUCER FEDERATED MUTUAL INSURANCE COMPANY HOME OFFICE: P.O. BOX 328 OWATONNA, MN 55060	CONTACT NAME: CLIENT CONTACT CENTER PHONE (A/C, No, Ext): 888-333-4949 FAX (A/C, No): 507-446-4664 E-MAIL ADDRESS: CLIENTCONTACTCENTER@FEDINS.COM INSURERS AFFORDING COVERAGE <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 80%;">INSURER A:</th> <th style="width: 20%;">NAIC #</th> </tr> <tr> <td>FEDERATED MUTUAL INSURANCE COMPANY</td> <td>13935</td> </tr> <tr> <td>INSURER B:</td> <td></td> </tr> <tr> <td>INSURER C:</td> <td></td> </tr> <tr> <td>INSURER D:</td> <td></td> </tr> <tr> <td>INSURER E:</td> <td></td> </tr> <tr> <td>INSURER F:</td> <td></td> </tr> </table>	INSURER A:	NAIC #	FEDERATED MUTUAL INSURANCE COMPANY	13935	INSURER B:		INSURER C:		INSURER D:		INSURER E:		INSURER F:	
INSURER A:	NAIC #														
FEDERATED MUTUAL INSURANCE COMPANY	13935														
INSURER B:															
INSURER C:															
INSURER D:															
INSURER E:															
INSURER F:															
INSURED C & C SERVICES, LLC PO BOX 317 SCHOFIELD, WI 54476-0317	407-338-3														

COVERAGES CERTIFICATE NUMBER: 6 REVISION NUMBER: 0

THIS IS TO CERTIFY THAT THE POLICIES OF INSURANCE LISTED BELOW HAVE BEEN ISSUED TO THE INSURED NAMED ABOVE FOR THE POLICY PERIOD INDICATED. NOTWITHSTANDING ANY REQUIREMENT, TERM OR CONDITION OF ANY CONTRACT OR OTHER DOCUMENT WITH RESPECT TO WHICH THIS CERTIFICATE MAY BE ISSUED OR MAY PERTAIN, THE INSURANCE AFFORDED BY THE POLICIES DESCRIBED HEREIN IS SUBJECT TO ALL THE TERMS, EXCLUSIONS AND CONDITIONS OF SUCH POLICIES. LIMITS SHOWN MAY HAVE BEEN REDUCED BY PAID CLAIMS.

INSR	TYPE OF INSURANCE	ADDL	SUBR	POLICY NUMBER	POLICY EFF	POLICY EXP	LIMITS
A	<input checked="" type="checkbox"/> COMMERCIAL GENERAL LIABILITY CLAIMS-MADE <input checked="" type="checkbox"/> OCCUR GEN'L AGGREGATE LIMIT APPLIES PER: <input checked="" type="checkbox"/> POLICY <input type="checkbox"/> PRO-JECT <input type="checkbox"/> LOC OTHER:	N	N	1824735	01/15/2023	01/15/2024	EACH OCCURRENCE \$1,000,000 DAMAGE TO RENTED PREMISES (E & S) \$100,000 MED EXP (Any one person) EXCLUDED PERSONAL & ADV INJURY \$1,000,000 GENERAL AGGREGATE \$2,000,000 PRODUCTS & COMP/OP AGG \$2,000,000
A	AUTOMOBILE LIABILITY <input checked="" type="checkbox"/> ANY AUTO <input type="checkbox"/> OWNED AUTOS ONLY <input type="checkbox"/> SCHEDULED AUTOS <input type="checkbox"/> HIRED AUTOS ONLY <input type="checkbox"/> NON-OWNED AUTOS ONLY	N	N	1824735	01/15/2023	01/15/2024	COMBINED SINGLE LIMIT (E & S) \$1,000,000 BODILY INJURY (Per Person) BODILY INJURY (Per Accident) PROPERTY DAMAGE (Per Accident)
A	<input checked="" type="checkbox"/> UMBRELLA LIAB <input checked="" type="checkbox"/> OCCUR <input type="checkbox"/> EXCESS LIAB <input type="checkbox"/> CLAIMS-MADE OED RETENTION	N	N	1824751	01/15/2023	01/15/2024	EACH OCCURRENCE \$2,000,000 AGGREGATE \$2,000,000
A	WORKERS COMPENSATION AND EMPLOYERS' LIABILITY ANY PROPRIETOR/PARTNER/ EXECUTIVE OFFICER/MEMBER EXCLUDED? (Mandatory in NH) If yes, describe under DESCRIPTION OF OPERATIONS below	Y/N	N/A	N	1824750	01/15/2023	<input checked="" type="checkbox"/> PER STATUTE <input type="checkbox"/> OTHER E.L EACH ACCIDENT \$500,000 E.L DISEASE EA EMPLOYEE \$500,000 E.L DISEASE - POLICY LIMIT \$500,000

DESCRIPTION OF OPERATIONS / LOCATIONS / VEHICLES (ACORD 101, Additional Remarks Schedule, may be attached if more space is required)

CERTIFICATE HOLDER 6 0	CANCELLATION SHOULD ANY OF THE ABOVE DESCRIBED POLICIES BE CANCELLED BEFORE THE EXPIRATION DATE THEREOF, NOTICE WILL BE DELIVERED IN ACCORDANCE WITH THE POLICY PROVISIONS. AUTHORIZED REPRESENTATIVE
--------------------------------------	--



October 10, 2023

C & C Services, LLC

Re: Owner Project Title: Municipal Center Roof Repair

To whom it may concern,

C & C Services, LLC is an approved contractor and has installed DECRA Roofing Systems previously. Provided the installation is per DECRA's Installation Guide, DECRA will honor the provisions of our Lifetime Limited Warranty.

If you have further questions, please call @ (951) 272-8180 X210.

Sincerely,

A handwritten signature in black ink, appearing to read "David Eldredge".

David Eldredge
Technical and Quality Manager



Leak Barrier

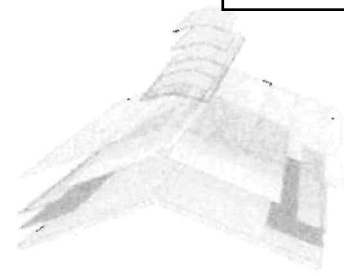
StormGuard[®] Film-Surfaced Leak Barrier

Help protect your home and roof system from
wind-driven rain and damaging ice dams



- Helps prevent leaks at the most vulnerable areas of your asphalt shingle or metal roofing system
- Reduces the risk of costly repairs due to wall or ceiling staining from leaks
- Meets code requirements where local building codes require the use of leak barriers¹

GAF StormGuard[®]
Film-Surfaced Leak Barrier



StormGuard® Film-Surfaced Leak Barrier

Benefits:

- **Strong protection** at the eave and rakes, in valleys, and around chimneys and skylights
- **Self-seals** around fasteners to help avoid leaks
- **High-temperature compound** for use with asphalt shingles and most metal roofing systems²
- **Blue synthetic patterned surface** provides excellent wet/dry traction and is cooler to work on (vs. typical black underlayments)
- **Integral surface channels** help guide moisture away from the walking surface
- **Fiberglass-reinforced construction**
- **Eligible for up to a Lifetime limited warranty** when used on Lifetime Shingle roofs³ and it's an eligible component of GAF residential enhanced warranties. It's also covered by up to a 10-year limited warranty⁴ when used with other approved non-asphaltic roof coverings.

In the "North," most building codes require the use of leak barriers at the eaves:⁵

- Protection against ice dams is required by most building codes¹ at the eaves where the January average temperature is 25°F (-4°C) or lower or where there is a possibility of ice forming in the eaves — i.e., areas labeled "North"⁵ (see map)
- Ice dams can still occur in areas where the average temperature is above 25°F (-4°C)
- In warmer/Southern climates, leak barriers provide critical protection against wind-driven rain

Meets or exceeds the following requirements of ASTM D1970

Property	Method	Requirement
Thickness (mils)	D5147	Min. 40
Tensile strength MD (lbf/in)	D2523	Min. 25
Tensile strength CMD (lbf/in)	D2523	Min. 25
Elongation at break, modified bitumen Portion – MD and CMD (%)	D2523	Min. 10
Adhesion to plywood at 75°F (24°C) (lbf/ft-width)	D903	Min. 12
Adhesion to plywood at 40°F (4°C) (lbf/ft-width)	D903	Min. 2
Thermal stability (mm)	D1204	Max. 3
Low temperature flexibility -20°F (-29°C)	D1970	Pass
Tear resistance MD (lbf)	D4073	Min. 20
Tear resistance CMD (lbf)	D4073	Min. 20
Moisture vapor permeance (U.S. perms)	E96 A	Max 0.1
Sealability around nail	D1970	Pass
Waterproof integrity after low temperature flexibility	D1970	Pass
Waterproof integrity of lap seam	D1970	Pass

Product Details:

Nominal Specifications:

- For asphalt shingles and most metal roofing systems²
- Roll size: 2 squares (200 ft² [18.58 sq. m]) excludes laps
 - Roll width: 36" (0.914 m)
 - Roll length: 66.7' (20.33 m)
 - High-temp rating: 250°F (121.1°C)²
 - UV exposure: Up to 90 days, if necessary
 - Shelf life: Best if used within 1 year from date of manufacture

Code Approvals:

- Meets or exceeds the performance criteria of ASTM D1970
- State of Florida approved
- Miami-Dade County Product Control approved
- Component of a UL Listed ANSI/UL 790 Class A system when used with UL Class A shingles⁶
- ICC-ES Evaluation Report (ESR-1322)

¹ Check local building codes for requirements in your area

² The high-temperature compound is suitable for most metal roofing system applications. For use under copper and zinc or for information on other approved non-asphaltic roofing systems, contact GAF Technical Support at 1-800-766-3411.

³ Lifetime refers to the length of warranty coverage provided and means as long as the original individual owner(s) of a single-family detached residence (or eligible second owner(s)) owns the property where the qualifying GAF products are installed. For other owners/structures, Lifetime coverage is not applicable. Lifetime coverage on shingles requires the use of GAF Lifetime Shingles only. Lifetime coverage on shingles and accessories requires the use of any GAF Lifetime Shingle and any 3 qualifying GAF Accessories. See GAF Roofing System Limited Warranty for complete coverage and restrictions. Visit gaf.com/LRS for qualifying GAF products. For installations not eligible for the GAF Roofing System Limited Warranty, see the GAF Shingle & Accessory Limited Warranty.

⁴ See StormGuard® Film-Surfaced Leak Barrier Limited Warranty for Non-Asphaltic Roofing Systems for complete coverage and restrictions.

⁵ Source: International Building Code (IBC) and International Residential Code (IRC)

⁶ Refer to UL Online Certification Directory for actual assemblies



To learn more about the Lifetime Roofing System visit gaf.com/Lifetime



We protect what matters most™



LIFETIME LIMITED WARRANTY

Lifetime Limited Warranty for wind \leq 120 mph and hailstone \leq 2.5 inches penetration 30 year limited warranty on finish

This Limited Warranty is intended to provide the owner of the structure on which DECRA Roofing Systems Inc. (the "Company") roofing panels (the "Panels") are installed certain remedies in the event a manufacturing defect causes the specific damages hereinafter set out. This Limited Warranty is NOT a guarantee of performance.

Please note that all disputes relating to this Limited Warranty must be resolved by mandatory binding arbitration and no claims may be filed on a consolidated or class action basis. Some jurisdictions do not allow for mandatory arbitration, so this requirement may not apply to you. Please see below for further details.

You may return all Panels to the Company's authorized dealer, no later than 30 days after purchase, for a full refund if you are unsatisfied with any of the terms and conditions of this Limited Warranty, provided that such Panels remain in their original and marketable condition and that all Panels purchased for the job are returned.

Remedy in the event of leaks, blow-off or hailstone penetration: In the event the Panels are determined to have a manufacturing defect which (a) directly results in leaks, (b) results in blow off of the Panels by winds of up to 120 mph (193 kph); or (c) results in damage to the Panels caused by the penetration of hailstones of 2.5 inches (6 cm) or less completely through the Panels, the Company will, at its option, either repair or replace the defective Panel(s), provided that the Company's liability will be limited (i) during the first 20 years following the original installation, to the reasonable replacement cost (labor and materials) of the particular defective Panel(s), as determined by the Company; (2) during years 21 through 40 following the original installation, to the reasonable replacement cost (materials only) of the particular defective Panel(s), prorated at 1/600 per month elapsed since the original installation; and (3) for years 41 and beyond, to 20% of the reasonable replacement cost (materials only) of the particular defective Panel(s), as determined by the Company.

Remedy in the event of deterioration of finish: In the event the Panels are determined to have a manufacturing defect which has caused the material deterioration of the Panels such that the appearance of the roof is substantially affected in areas of the roof that are visible from the ground, the Company will, during the first 15 years following the original installation, at its option, either repair or replace the defective Panels, at the Company's cost, including labor costs, as determined by the Company; and thereafter during the next 15 years, the Company's liability will be limited to the reasonable replacement cost (materials only) of the defective Panels only, prorated at 1/360 per month elapsed since the original installation, as determined by the Company. Coverage hereunder will terminate 360 months from the original installation of the Panels. Specifically excluded from coverage is normal weathering and aging, including minor granule loss, as well as deterioration of the finish resulting from improper use, handling and cleaning. Please see Exclusions for further details.

Warranty Period: This Limited Warranty provides coverage to the original owner of the single family detached residential dwelling on which the Panels were originally installed (the "Owner") for the following periods: (1) in respect of coverage for leaks, blow-off and hailstone penetration, for the lifetime of the Owner while the Owner owns the dwelling; and (2) in respect of coverages for the finish, for a period of 30 years from the date of the original installation of the Panels.

The coverage in respect of leaks, blow-off and hailstone penetration for any type of property other than a single family detached residential dwelling shall be 50 years from the date of original installation, and shall be limited to the reasonable replacement cost

(labor and materials) of the particular defective Panel(s) during the first 20 years and during years 21 through 50, to the reasonable replacement cost (materials only) of the particular defective Panel(s), prorated at 1/600 per month elapsed since the original installation.

Transferability; Coverage and Warranty Period on Transfer: The Owner may transfer this Limited Warranty to a subsequent owner of the dwelling during the first twenty (20) years after the Panels' original installation. To be effective, the transfer information (property address, original owner, new owner and a copy of the original proof of purchase) must be mailed to the Company by certified mail at the address noted below within 30 days from the change of ownership. Further transfers or transfers not in compliance with this notice provision will void the warranty.

The coverage extended to such subsequent owner in respect of the finish shall be as set out above.

The coverage extended to such subsequent owner in respect of leaks, blow-off a nd hailstone penetration shall be as set out above for the first 20 years since the original installation of the Panels, but shall thereafter be limited to a 50 year warranty, with the liability of the Company in years 21-50 being limited to the reasonable replacement cost (materials only) of the particular defective Panel(s), prorated at 1/600 per month elapsed since the original installation.

Exclusions: This Limited Warranty does not cover damages arising from any cause or circumstances other than those detailed above, and accordingly causes or circumstances not covered under this Limited Warranty include, but are not necessarily limited to: (a) damage resulting from improper installation, or inadequate roof pitch, or the failure to follow the Company's installation instructions, or failure to follow applicable building codes; (b) damage resulting from defects, movement or subsidence in the structure on which the Panels were installed; (c) damage caused by improper foot traffic, misuse, improper handling or neglect of or on the Panels; (d) damage or change in appearance resulting from application of cleaning solutions, paints or coatings not specifically approved in writing by the Company; (e) shading or discoloration or damage caused by fungus, mold, lichen or algae, or other contaminants; (f) color fading or color changes due to normal weathering and aging, including minor granule loss or (g) damages resulting from modifications or change in design and function of the Panels without the Company's prior written consent.

Claims Procedure: In order to make a valid claim under this Limited Warranty, the claim must be submitted within thirty (30) days from discovery of the facts on which the claim is based. The claim may only be submitted by the Owner and will not be accepted if it does not include the following: (a) name and contact information of the Owner (b) the date of original installation (c) documented proof of purchase, (d) the date of discovery of the damage, and (e) a detailed description of the defect, including the number of affected Panels and photographs. You may be required to supply additional information and samples of the affected Panels, if so requested by the Company. The claim can be submitted via email to claims@decra.com or in writing by certified mail to the address of the Company noted below.

All warranty repair and replacement work will be at the sole discretion of the Company. Decisions on warranty claims will be made only through the Company's Office of Warranty Claims and will be communicated in writing. No other representative of the Company shall have authority to bind the Company in respect of this Warranty, a

any oral communications will not be binding on the Company. Work done prior to a submitted claim or not authorized in writing by the Company or by a contractor not chosen by the Company may be subject to denial or limited claim reimbursement.

Limitation of Liability: If the Company elects to replace Panels, the Company will attempt to replace the Panels with Panels of the same color and design, but does not guarantee that such replacement Panels will be available, and accordingly, the Company bears no responsibility for variations in color or appearance by reason of the use of a different color and design, as well as by reason of progressive fading of the remaining Panels. The Limited Warranty term on repaired or replacement Panels will be the remaining term of the original Panels, which commenced on the date of installation of the original Panels, except if otherwise required by law. The reasonable cost of repair or replacement of any defective Panels shall be determined by the Company in its sole discretion. **THE REMEDIES SET OUT IN THIS LIMITED WARRANTY ARE THE OWNER'S SOLE AND EXCLUSIVE REMEDIES, AND THE COMPANY'S OBLIGATIONS CONTAINED IN THIS LIMITED WARRANTY ARE EXPRESSLY IN LIEU OF ANY OTHER OBLIGATIONS, GUARANTEES, WARRANTIES, AND CONDITIONS EXPRESSED OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OR CONDITION OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, AND OF ANY OTHER OBLIGATIONS OR LIABILITY ON THE PART OF THE COMPANY. THE COMPANY SHALL IN NO EVENT HAVE ANY LIABILITY FOR INJURY OR DAMAGE TO ANY PROPERTY OR PERSON, LOSS OF BUSINESS OR PROFITS, DIRECT OR INDIRECT ECONOMIC DAMAGES, CONSEQUENTIAL, INCIDENTAL, ECONOMIC, INDIRECT, SPECIAL OR PUNITIVE DAMAGES OR LOSSES OF ANY KIND WHATSOEVER, WHETHER TO THE OWNER OR THIRD PARTIES. THE FOREGOING LIMITATIONS WILL NOT APPLY IN ANY JURISDICTION WHICH DOES NOT ALLOW FOR SUCH LIMITATIONS AS A MATTER OF LAW.**

MANDATORY BINDING ARBITRATION AND WAIVER OF CLASS ACTION: BY PURCHASING THE PANELS, YOU HAVE AGREED THAT EVERY CLAIM, CONTROVERSY OR DISPUTE (EACH AN "ACTION") BETWEEN YOU AND THE COMPANY ARISING OUT OF OR RELATING TO THIS LIMITED WARRANTY OR THE BREACH THEREOF OR RELATING TO THE PANELS SHALL BE SETTLED BY FINAL AND BINDING ARBITRATION. **YOU AND THE COMPANY AGREE THAT ANY ACTION WILL BE ARBITRATED ON AN INDIVIDUAL BASIS AND THAT NO CLAIM(S) WILL BE CONSOLIDATED OR AGGREGATED WITH THE CLAIM(S) OF ANY OTHER PERSON BY CLASS ACTION, CLASS ARBITRATION, IN A REPRESENTATIVE CAPACITY OR OTHERWISE.** TO ARBITRATE AN ACTION AGAINST THE COMPANY, YOU MUST INITIATE THE ARBITRATION, FOR U.S. CLAIMS, IN ACCORDANCE WITH THE FEDERAL ARBITRATION ACT, TO BE CONDUCTED BY A SINGLE ARBITRATOR IN ACCORDANCE WITH THE RULES OF THE AMERICAN ARBITRATION ASSOCIATION, AND FOR CANADIAN CLAIMS, IN ACCORDANCE WITH THE ARBITRATION ACT, R.S.A. 2000, c.A-43, ALBERTA, AS MAY BE AMENDED, AND YOU MUST COMMENCE THE ARBITRATION AND PROVIDE WRITTEN NOTICE TO THE COMPANY BY CERTIFIED MAIL AT THE ADDRESS NOTED BELOW WITHIN THE TIME PERIOD SET OUT BELOW.

IF YOU PREVAIL ON YOUR CLAIMS IN THE ARBITRATION, THE COMPANY WILL REIMBURSE YOU FOR ANY FILING AND ADMINISTRATIVE FEES PAID BY YOU TO THE ARBITRATION ORGANIZATION.

YOU AND THE COMPANY AGREE THAT THE ARBITRATION, ALL PROCEEDINGS THEREUNDER AND THE RULING OR AWARD OF THE ARBITRATOR SHALL BE AND REMAIN CONFIDENTIAL AND SHALL NOT BE DISCLOSED TO ANY THIRD PARTIES. You and the Company acknowledge and agree that a breach of confidentiality by a party may cause irreparable harm to the other party. The party who breaches this confidentiality provision agrees that money damages would not be a sufficient remedy, and that in addition to all other remedies, the non-breaching party shall be entitled to injunctive or other equitable relief as a remedy for any such breach, and the breaching party further agrees to waive any requirement for the securing or posting of any bond in connection with such remedy. In the event of litigation or arbitration relating to this confidentiality provision, if an arbitrator or a court of competent jurisdiction determines that any party has breached this confidentiality provision, such breaching party shall be liable for and shall pay to the other party the reasonable legal fees and other costs incurred by the Disclosing Party in connection with such arbitration or litigation, including any appeal therefrom.

Some jurisdictions do not allow mandatory arbitration, so the above arbitration provision may not apply to you in those jurisdictions. An Action may also be referred to another arbitration organization if you and the Company agree in writing. The Company will not elect arbitration for any Action you file in court in which you agree not to seek to recover more than \$25,000, including attorney's fees and costs, so long as the claim is individual and pending only in that court. You may also reject this arbitration provision by notifying the Company in writing within 45 days of the installation of the Panels or the valid transfer of this Limited Warranty to you. If any portion of this arbitration provision is not enforced in the arbitration, then either you or the Company can file a lawsuit in court to adjudicate the arbitrability of the Action and the enforceability of the portion of the arbitration provision at issue.

ONE YEAR LIMITATION: ACTION FOR BREACH OF THIS LIMITED WARRANTY OR ANY OTHER ACTION AGAINST THE COMPANY ARISING OUT OF OR RELATING TO THE PANELS SHALL **NOT** BE BROUGHT LATER THAN ONE YEAR AFTER ANY CAUSE OF ACTION HAS ACCRUED. IN JURISDICTIONS WHERE STATUTORY CLAIMS OR IMPLIED WARRANTIES AND CONDITIONS CANNOT BE EXCLUDED, ALL SUCH STATUTORY CLAIMS, IMPLIED WARRANTIES AND CONDITIONS AND ALL RIGHTS TO BRING ACTIONS FOR BREACH THEREOF EXPIRE ONE YEAR (OR SUCH LONGER PERIOD OF TIME IF MANDATED BY APPLICABLE LAWS) AFTER THE DATE OF PURCHASE. SOME JURISDICTIONS DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY OR CONDITION LASTS, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU.

If any provision of this Limited Warranty if determined by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions shall continue in full force and effect.

This Limited Warranty applies to Panels purchased in the US or Canada on or after September 10, 2020 and supersedes any previously published warranties. The Company may from time to time amend the terms of this Limited Warranty, and the terms and conditions of the Limited Warranty in effect at the time of your purchase of the Panels shall govern your Panels. Dealers and installers of the Panel(s) are not authorized to extend or modify the terms of this Limited Warranty in any manner.



Highest Performance/Lightweight - #30 Felt Replacement



PRODUCT OVERVIEW

FelTex® synthetic roof underlayments is the safest, strongest, and best performing roof underlayment on the market. Woven of heavyweight polymer fabric, FelTex offers superior strength and durability, steep-slope traction, water resistance, a wrinkle free surface and resistance to UV-breakdown. The textured Fiber Claw™ woven fabric surface offers dynamic traction and is ideal for steep slopes in a variety of weather conditions. FelTex is rated for commercial and residential applications using roofing nails (3/8" head), and is an ideal roof underlayment for asphalt shingle, metal, tile, slate, and a variety of other sloped roofing materials.

FEATURES

Safest: Skid-resistant polymer coating underneath and proprietary Fiber Claw™ walking surface offers dynamic steep slope traction.
Hail Rated: FelTex has a Class 4 hail rating (UL 2218) and may help reduce insurance costs.

Strongest: FelTex is designed for high traffic and high winds with the most strength and durability available.

Lighter: FelTex is lighter than #15 or #30 felt and easier to handle during all stages of installation.

Simpler to Apply: FelTex installs quickly and easily. It is lighter, stronger, and covers more area than traditional underlayments.

More Coverage: FelTex offers five times more coverage per roll than Type 30 felt.

Advertise: Bigger and bolder with BROADCAST Custom Print – the easiest way to get leads or earn paid advertising revenue during your project. With Broadcast Custom Print your individual logo, phone number, web address and any other advertisements can be featured on the same roll, with individual images more than 2 feet tall and 10 feet wide. BROADCAST Custom Print offers the largest, most vivid job site advertising in the industry.

Gray Color: Provides a comfortable working surface in all temperatures and an excellent background for your extra large (up to 30" tall/unlimited width) full color custom printed logo, phone number, web site or other advertisement.

Won't Buckle, Warp or Crack: Superior lay-flat properties and water resistance keeps FelTex from wrapping, wrinkling, and cracking in cold weather.

UV Exposure Rating: FelTex is treated to resist excessive degradation from normal UV exposure for up to six months. See published installation guidelines for details.

Meets Building Codes: FelTex is rated for residential and commercial projects.

Asphalt Free: FelTex is 100% inorganic and will not rot or mold.

Sustainable: FelTex is environmentally responsible and may contribute to your LEED and NGBP ratings.

Warranty: Limited Lifetime Warranty.

Visit feltex-underlayment.com for more details.

TYPICAL PHYSICAL PROPERTIES

PROPERTY	TEST METHOD	TYPICAL PROPERTY
Tensile Strength (MD/CD)	ASTM D 882	MD 126/ CD 92
Tear Resistance	ASTM D 4533	MD 41/ CD 37
Rupture Resistance	ASTM D 3462-02 (LBF)	87
Beach Puncture	ICC AC-08	Pass
Long Term Sag	ICC AC-08	Pass
Liquid Water Transmission	ASTM-D 4869-02	Pass
Ultra Violet Aging	ICC-ES AC 188	Pass
Accelerated Aging	ICC-ES AC 188	Pass

Test data is based on average results and should not be considered or interpreted as minimum or maximum values. Values are typical data and not limiting specifications.

FELTEX PACKAGE SPECIFICATIONS

- Roll Dimensions 48"x 250'
- Weight per Roll 30 lbs
- Coverage per Roll 10 sq
- Rolls per Pallet 36
- Pallet Weight 1595 lbs

CODE & STANDARD COMPLIANCE

- ICC-ES AC188 (ESR-1293)
- ASTM D226 Type I & II
- ASTM D4869
- CSA A 123.3 Type 1 & 2
- FBC #17873
- Texas Dept. of Insurance (TDI)



©2015 System Components Corporation. All rights reserved. FelTex is a registered trademark of System Components Corporation.

Phone: 425-392-5150 (West) | 330-528-0255 (East) | System Components Corporation
 Email: support@systemcomponents.net | P.O. Box 2432
 Web: www.systemcomponents.net | Issaquah, WA 98027

FelTex® PRODUCT INFORMATION
 LAST UPDATED 6/22/2016

DECRA® Shake XD® & Shingle XD

INSTALLATION GUIDE

Section 5, Item J.



LEARN MORE AT DECRA.COM

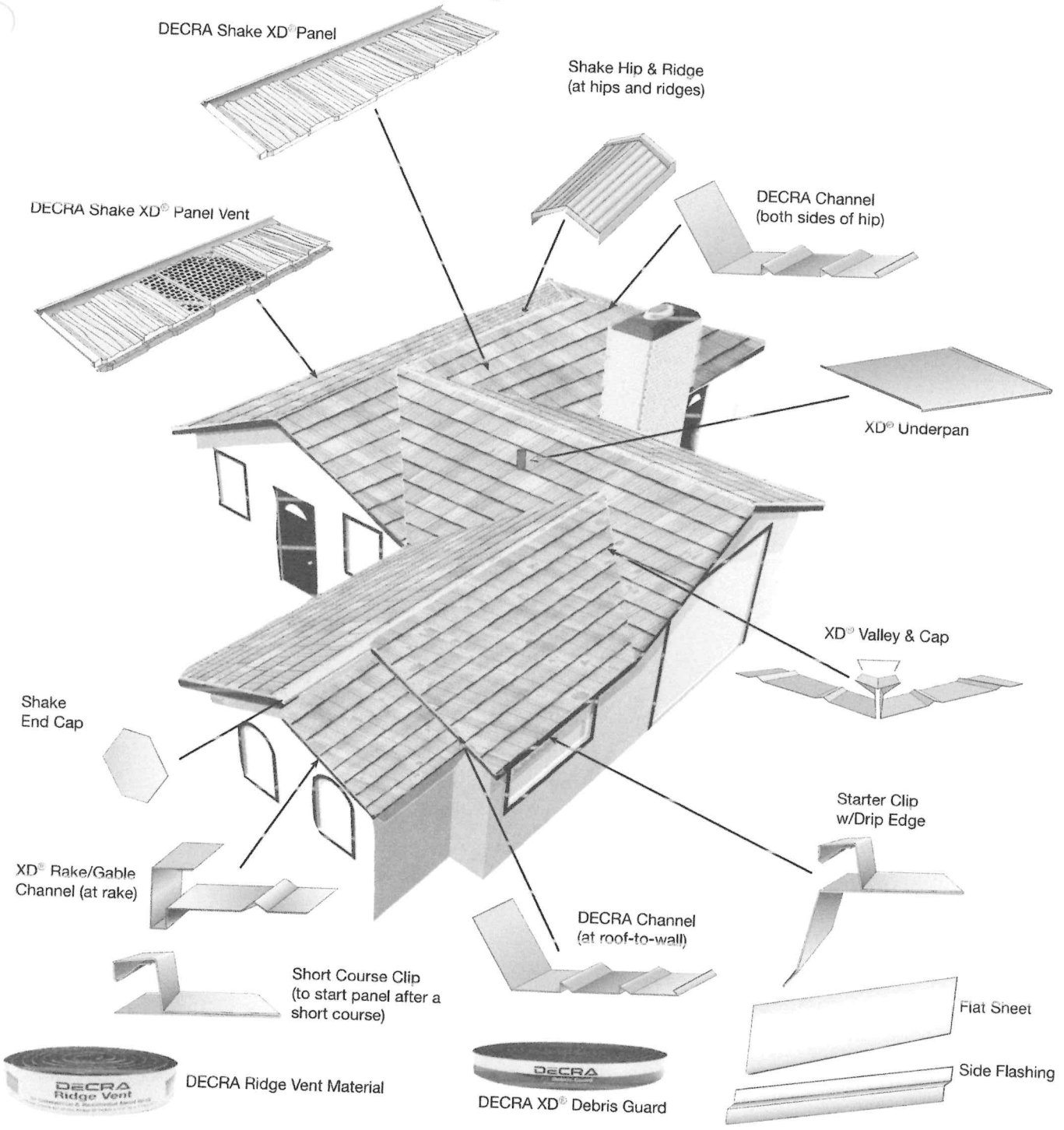
DECRA®
METAL ROOFING

Table of Contents

DECRA Shake XD Roof Overview.....	2	Roof Penetration - Pipes & Vents.....	10
DECRA Shingle XD Roof Overview.....	3	Chimneys, Skylights and Dormers.....	11
Introduction.....	4	Panel Layout, Panel Overlap & Fastening...12	
Safety.....	4	<i>Panel Layout</i>	12
Tools.....	4	<i>Panel Overlap</i>	12
Estimating Sheet.....	4	<i>Panel Fastening</i>	13
Codes & Requirements.....	4	Panel Installation.....	14
Roof Slope.....	4	<i>Panels at Rake/Gable, Hips and Valley</i>	14
Underlayment.....	5	<i>Panels at Rake/Gable</i>	14
Deck Preparation.....	5	<i>Panels at Hips</i>	14
<i>New Construction</i>	5	<i>Panels at Valley</i>	14-15
<i>Tear-off (Solid Deck)</i>	5	<i>Installing Small Cut Panels</i>	15
<i>Re-Roof Tear-off (Skip/Space Sheathing)</i>	5	<i>Panels at Ridge</i>	16
<i>Re-Roof Over Asphalt Shingles</i>	5	Venting.....	16
Fasteners.....	5	<i>Panel Vents</i>	16
Venting Preparation.....	5	<i>Ridge Venting - Shake XD</i>	17
Measuring and Cutting Panels.....	5	<i>Ridge Venting - Shingle XD</i>	17
<i>Measuring</i>	5	Hip & Ridge Installation - Shake XD.....	18
<i>Panels</i>	5	Hip & Ridge Installation - Shingle XD.....	19
<i>DECRA Shake XD Panel</i>	6	Alt. Install Method-XD Panel Bend-Ups... 20	
<i>DECRA Shingle XD Panel</i>	6	Pitch Change.....	21
Preparation for Panel Installation.....	7	Short Course.....	22
<i>Starter Clip w/ Drip Edge</i>	7	Roof Jacks/Steep Pitch Roof.....	22
<i>XD Rake/Gable Channel</i>	7	High Wind.....	22
<i>Valley</i>	8	Freeze/Thaw.....	22
<i>DECRA Channel (Hips)</i>	8	Foot Traffic.....	22
<i>Roof to Side Wall w/ Side Flashing</i>	9	Sealants.....	22
<i>Roof to Head Wall w/ Side Flashing</i>	9	Cleaning & Repairs.....	22

DECRA Shake XD® Direct-to-Deck

Install Shake XD on roof slopes of 3:12 and greater.

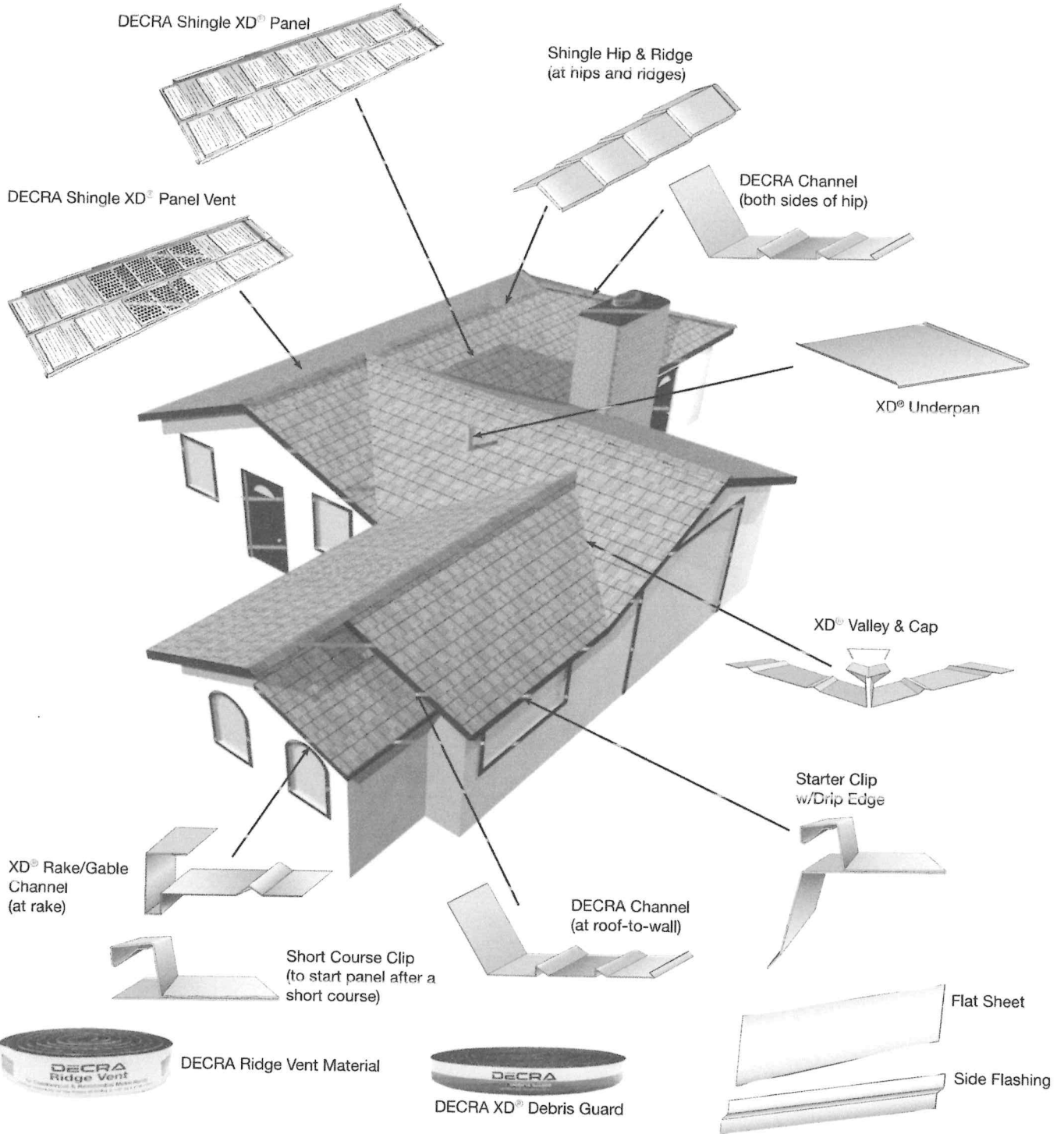


***Use 2 x 2s and / or 1 x 2s at hips and ridges.
Additional build up may be required depending on roof slope.***

DECRA panel vents should be installed on the last full course below the ridge, and no more than 4 feet down from the peak of the roof facet. Panel vents should NOT be used for air intake.

DECRA Shingle XD® Direct-to-Deck

Install Shingle XD on Standard Roof Slopes of 4:12 and greater.



***Use 2 x 2s and / or 1 x 2s at hips and ridges.
Additional build up may be required depending on roof slope.***

DECRA panel vents should be installed on the last full course below the ridge, and no more than 4 feet down from the peak of the roof facet. Panel vents should NOT be used for air intake.

Introduction

The instructions and drawings included here are intended only as a guide for the installation of DECRA Roofing Systems' XD profiles. The materials and methods specified help maintain the overall integrity of the roofing system. These instructions are not intended to address all aspects of roofing installation; a quality installation is ultimately dependent upon the workmanship of the roofing contractor. Information regarding alternative situations not covered in these instructions can be obtained by contacting DECRA Roofing Systems.

Safety

Adhere to recommended safe roofing practices. Wear appropriate clothing and use safety equipment, such as protective eyewear. Light, soft-soled shoes are recommended. Use proper tools and keep the roof clear of debris as you work.

Tools

DECRA panels and components are best cut with tin/aviation snips, a steel roof panel cutter shear, or a power saw with a *'cool cut' metal-cutting blade*.

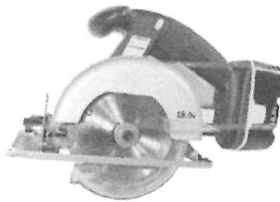
In all cases, wear eye protection!



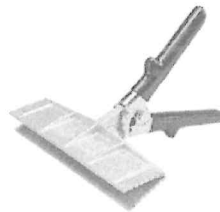
Cordless Drill



Aviation or Tin Snips



Circular Saw



Hand Bender



Table Saw

Estimating Sheet

The DECRA Shake XD and DECRA Shingle XD Estimating Sheets are available at DECRA.com.

Codes & Requirements

Refer to local codes and/or ICC Reports. A link to DECRA ICC reports is available at DECRA.com.

Roof Slope

Install Shake XD on roof slopes of at least 3:12 or install Shingle XD on roof slopes of at least 4:12. Roof slopes less than 3:12 for Shake XD or 4:12 for Shingle XD are considered decorative and panels must be applied over a roof system complying with local codes. Anything below 2:12 should be prohibited even though it is considered decorative.

Underlayment

One layer of Underlayment is required before installing ALL DECRA products in both New Construction and Reroofing applications.

Underlayment shall comply with ASTM D 226, Type I or Type II, ASTM D 4869, Type I or II or ASTM D 1970. Check local code requirements as ice and water shield and additional requirements may apply.

Deck Preparation

The deck must be level and square for proper installation. If it is not, shim to make any adjustments. It is required that a layer of underlayment be used before applying the XD panels.

New Construction: Prepare roof deck to meet local building codes.

Re-Roof Tear-off (Skip/Spaced Sheathing) or Over Asphalt Shingles: If tearing off old roof, clean and prepare deck to meet local building codes.

Panels may be installed over existing asphalt shingle or applied over existing spaced sheathing provided the space between the boards is filled as necessary to provide a base for fastening.

If installed over existing asphalt shingles, cut shingles back from the eaves and rake/gable edges approximately 8" or enough to allow for the Starter Clip w/Drip Edge and XD Rake/Gable Channel to be installed properly. Remove existing hip and ridge material. In situations where code allows re-roofing over 2 layers of asphalt shingles, follow the local code.

Fasteners

Screws: Use a minimum of at least 5 corrosion resistant screws minimum #9 Hex (1/4" hex head) x 1-1/2" long. Use fasteners of sufficient length to penetrate through the sheathing (deck) by at least 1/2". Recommended length is 1-1/2" long. High Wind details, see website.

Venting Preparation

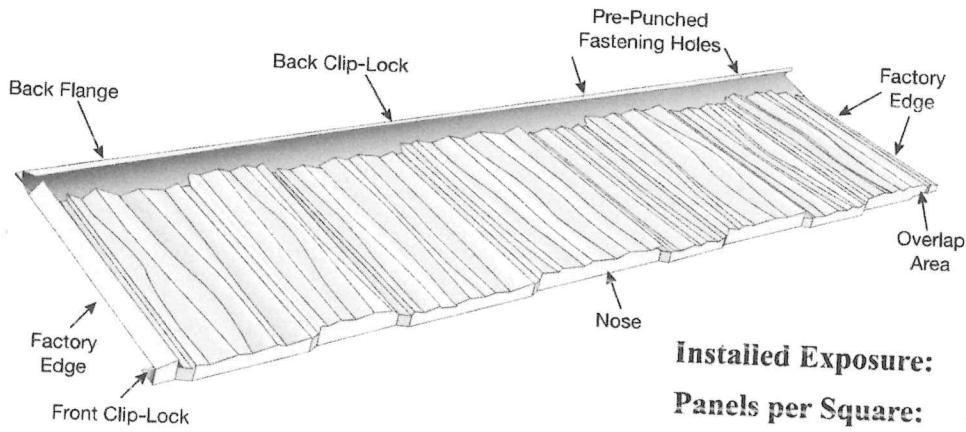
If using DECRA Ridge Vent material, prepare the deck for ridge venting (without center beam) by cutting both sides of the plywood 3/4" from the center of the ridge to expose attic space, or as required by local codes. Refer to Venting section or DECRA Ridge Venting wrapper for additional installation details. If DECRA Panel Vents will be used, *See Panel Installation - Installing Panel Vents and Venting.*

Measuring and Cutting Panels

Measuring: Measurements are made on the roof, however, the panels are normally marked and cut on the ground. Panels may be cut with a table saw or circular saw with a 'cool-cut' metal-cutting blade or tin snips. *Cut roof panels and accessories must have residue and all metal shavings completely removed, especially metal shavings on the roof.*

Panels: The DECRA panels are formed from corrosion resistant aluminum-zinc alloy coated steel with a protective coating of ceramic coated stone granules that provide an attractive appearance. The Shake XD and Shingle XD stone coated accessory/components are produced in a similar manner. The other accessories/components are also produced in the same manner, but are not stone coated.

DECRA Shake XD® Panel

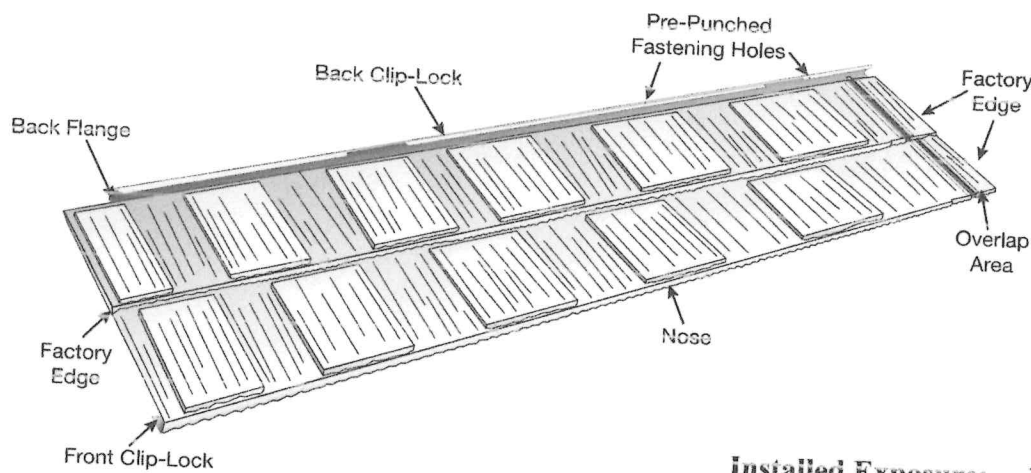


Installed Exposure: 12-3/8" x 49-7/8"

Panels per Square: 23.4

Installed Weight: 150 lbs./square

DECRA Shingle XD® Panel



Installed Exposure: 12-1/4" x 49-1/2"

Panels per Square: 23.8

Installed Weight: 150 lbs./square

XD panels are not designed to be installed over irregular surfaces.

Use a random pattern from course to course for best overall appearance.
Avoid creating a pattern with the light or dark color patches unless it is aesthetically pleasing.
Do not rack panels. Do not create a pattern.

**Do not use LEAD or COPPER with this steel roofing system because they are dissimilar metals and are not compatible.
Do not use pressure treated lumber i.e. decking or batten.**

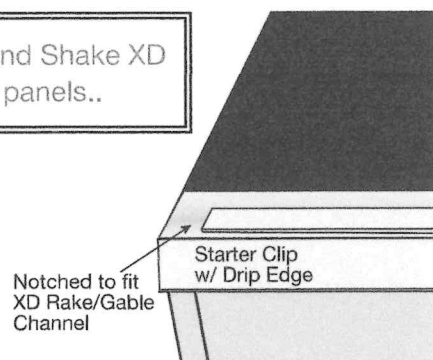
Preparation for Panel Installation

Pre-paint vertical/exposed portion of DECRA Channel, XD Valley and Shake XD or Shingle Rake/Gable Channels as needed prior to installing panels..

Starter Clip with Drip Edge: Use the Starter Clip with Drip Edge along the eaves. Paint along drip edge area of Starter Clip with Drip Edge to match fascia.

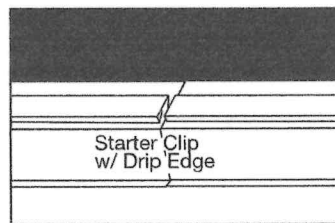
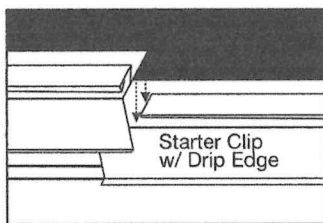
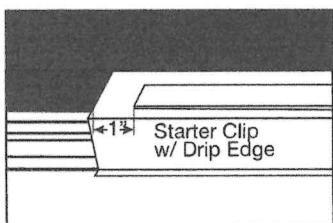
Prior to fastening the Starter, cut the top clip where it meets the rake/gable, valley, roof-to-wall and hips to allow for installation of the channels and valley. Cut back the top clip approximately 4" for XD Rake/Gable Channel, 6-1/2" for DECRA Channel at roof-to-wall and hips and cut back clip enough to accommodate XD Valley. All channels and valleys must be installed over the Starter Clip and extend 1" over fascia or onto the panel below.

Notch and overlap Starter pieces 1" when joining two pieces together. Fasteners should be spaced 6" on center. Do not screw through overlap (see diagrams below).



Starter Clip Notching, Cut-Back Top Clip at:

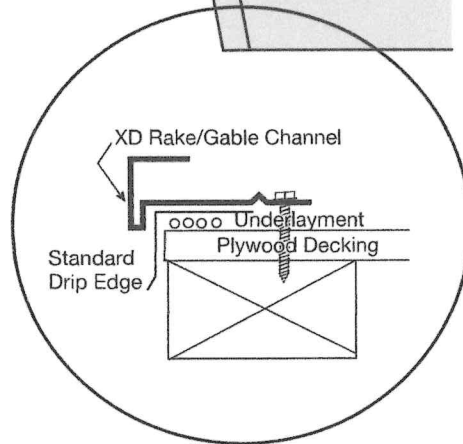
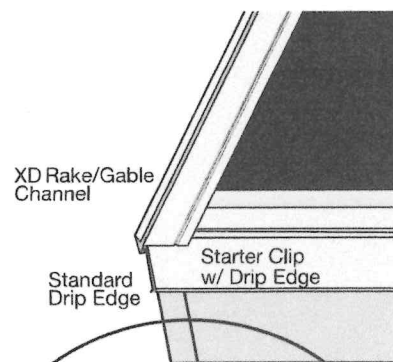
- Rake/gable
- Valley
- Roof-to-wall and hips



Rake/Gable Channel: Standard metal drip edge should be installed along all rake/gable edges. Position and fasten the XD Rake/Gable Channel directly over the existing drip edge.

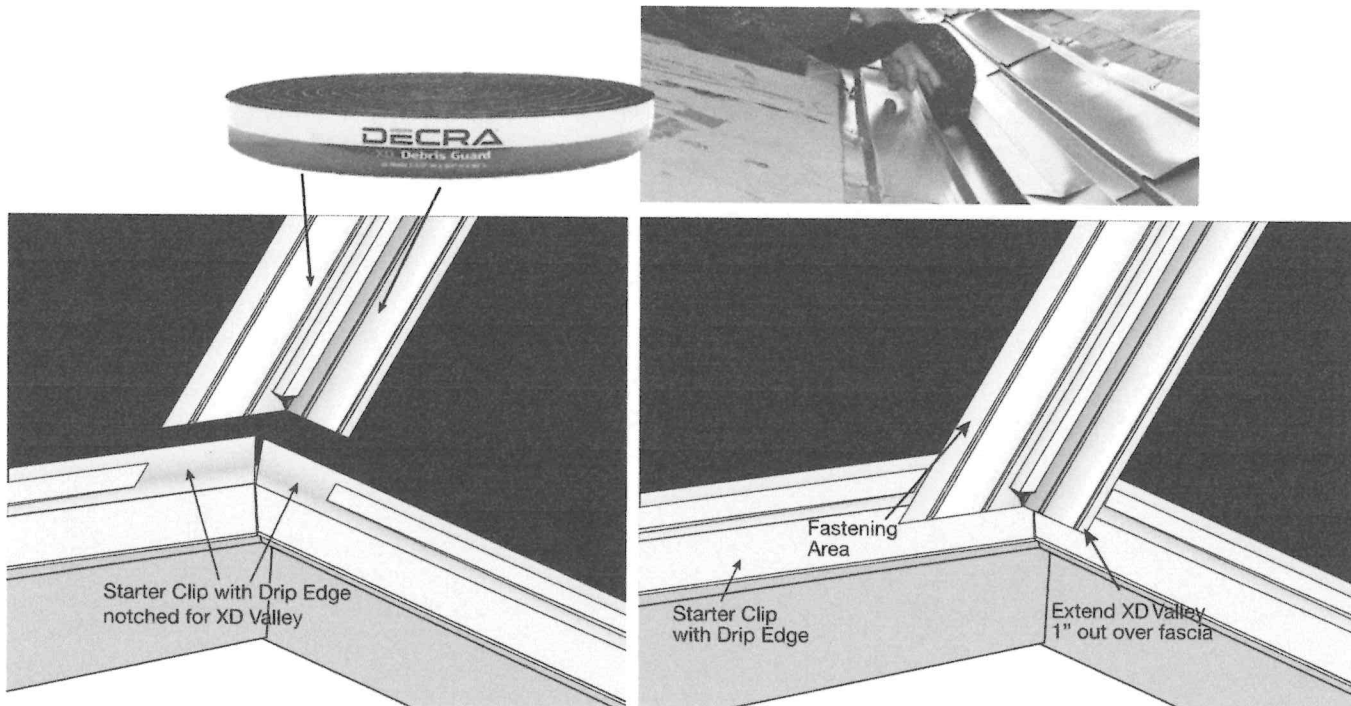
Cut the XD Rake/Gable Channel so that it installs over the Starter Clip with Drip Edge and hangs 1" past the eave. Notch and overlap XD Rake/Gable Channel pieces 1-1/2" when joining two pieces together. Notch the top channel to allow it to slide into the lower channel. The top channel should lay on top of the lower channel. Fasteners should be spaced 6" on center. Do not screw through overlap (see diagram).

In areas where debris is present, install DECRA XD Debris Guard prior to installing XD panels. Roll the XD Debris Guard into the XD Rake/Gable Channel. Remove the white paper while unrolling to expose the adhesive dots and press into place.



XD Valley: The XD Valley must be positioned along the center line of each valley area. Place the so that a minimum 1" runs past the edge of the eave. Continue to install the valley metal overlapping the pieces a minimum of 6". Fasteners should be positioned outside the last turn-up on each side. Finish with Valley Cap. The Valley Cap (stone coated) can be installed by snapping or sliding into place either before or after the valley pieces have been installed. Fasten the first Valley Cap with a stitch screw to Valley at the 1" overhang along eave. Additional Valley Caps will tuck into one another moving up the Valley.

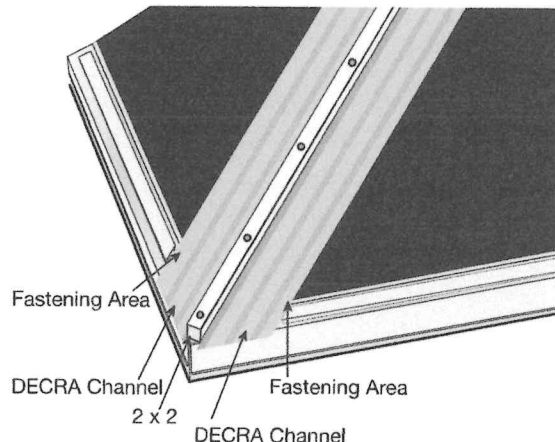
In areas where debris is present, install DECRA XD Debris Guard prior to installing the XD panels. Roll the Debris Guard into both sides of the XD Valley. Remove the white paper while unrolling to expose the adhesive dots and press into place.



DECRA Channel (Along Both Sides of Hips): Install one 2 x 2 along the center of the hip line. Attach the DECRA Channel on either side of the 2 x 2's. Fasten the DECRA Channel on the outside of the outer bump with fasteners every 12". **Recommendation:** apply roof sealant to fastener heads. Make sure the end of the DECRA Channel extends a minimum of 1" past the eave line. The top of the Starter Clip w/ Drip Edge will also need to be cut back to allow the DECRA Channel to lay flat onto the deck. Overlap Channel pieces a minimum of 6".

Pre-paint visible vertical/exposed portion of DECRA Channel as needed prior to installing panels.

Use 2 x 2s and 1 x 2s as needed at hips. Additional build up may be required depending on roof slope.

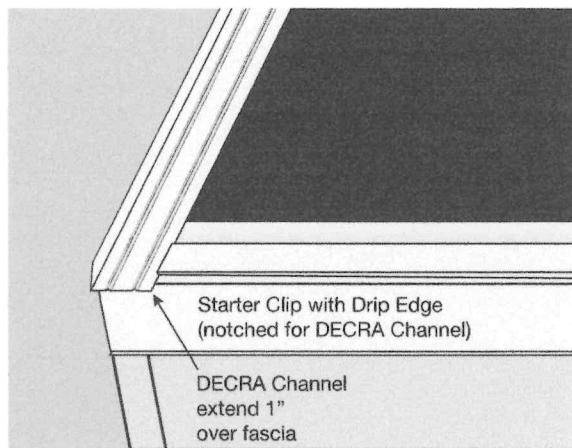
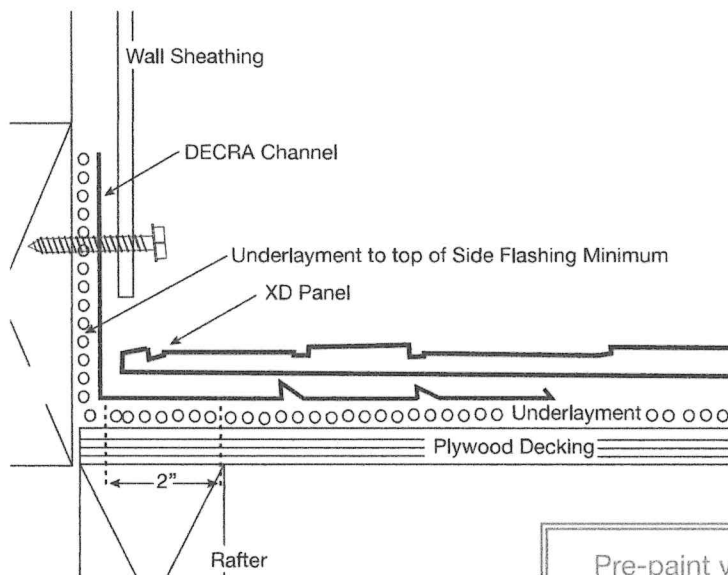


Roof to Side Wall w/Side Flashing: Starting at the eave, extend the DECRA Channel 1" eave over the Starter Clip. Work the DECRA Channel behind stucco or wood siding whenever possible or surface mount to the wall for surfaces like brick and seal with wall flashing. Stone coated counter flashing can also be used. Overlap the DECRA Channel at least 6" working up the roof. Screws should be spaced every 12". **Recommendation:** apply roof sealant to the fastener heads.

If standard wall flashing is present, tuck DECRA Channel behind existing flashing. If no existing flashing is present, counter flash with Side Flashing. Seal DECRA Channel to the wall with roofing grade sealant/adhesive. Apply sealant to the Side Flashing before attaching to the wall.

Cut the XD panel to length and fit into the DECRA Channel flashing at the roof-to-wall. Make a 2" notch at the front and back Clip-Locks where the panel fits into the DECRA Channel.

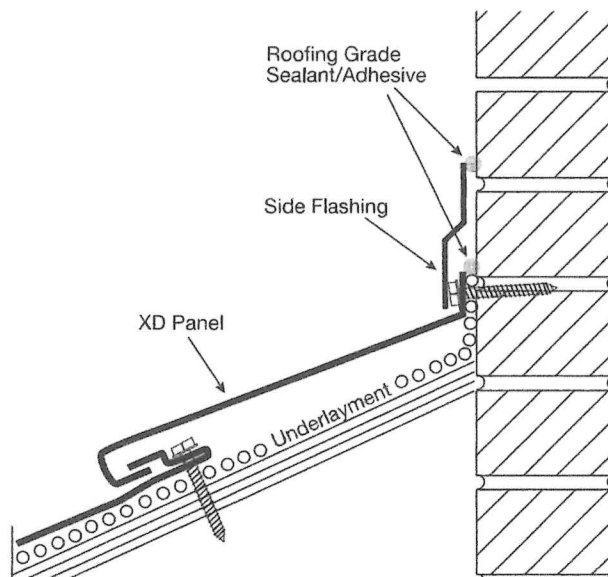
Lock the panel into place and screw down outside the second water channel.



Pre-paint vertical/exposed portion of DECRA Channel as needed prior to installing panels.

Roof to Head Wall: Start by measuring from the full panel below the wall. Cut panels to fit this area allowing for a minimum of a 1" bend up at the top. Using a hand bender, bend each panel up against the head wall and fasten the panel to the head wall.

For brick and stucco, counter flash and seal across the head wall. For siding, tuck the panel metal underneath the siding and seal with roofing grade sealant/adhesive.



Roof Penetrations – Pipes & Vents

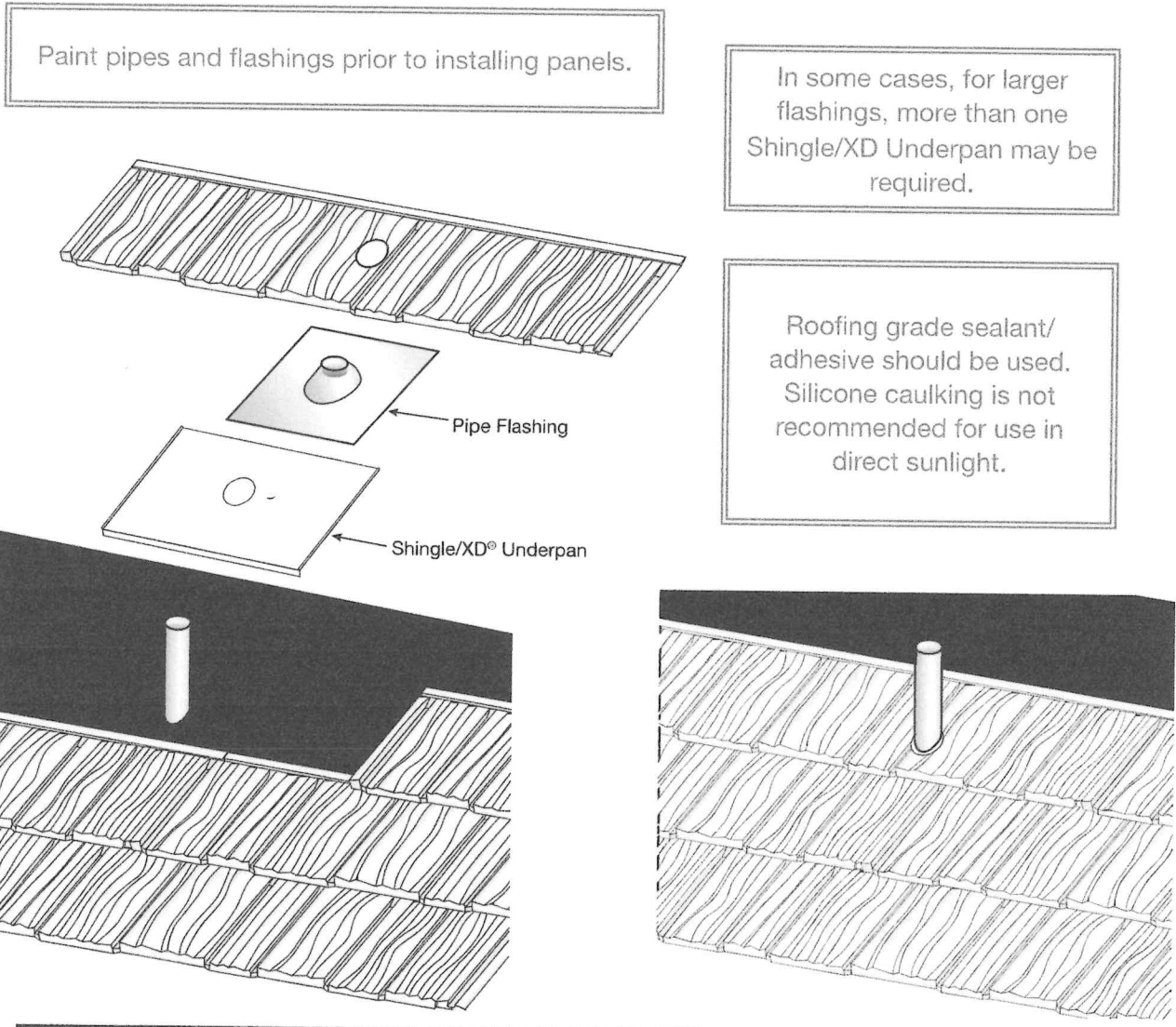
Roof penetrations should be flashed by installing standard roof jacks over a corrosion resistant DECRA Underpan which drains over the panel immediately below or as required by code.

Use the Shingle/XD Underpan to properly flash pipe penetrations. Cut the Underpan to fit tightly around the plumbing stack. The Underpan must fit tight over the lower field panel when positioned around the pipe.

Install the pipe-flashing apron so it fits onto the Underpan. Apply roofing grade sealant/adhesive on top and both sides. Finish with field panel by measuring and cutting panel to fit tight around pipe flashing. Make a 2” wide notch along the front Clip-Lock of the XD panel covering the jack.

Cut hole in panel according to flashing profile. Align roofing panel and seal around base using a roofing grade sealant/adhesive and finish with Touch-Up Kit.

Care should be taken to adequately weatherproof the flashings and to support them with additional blocking or roof framing as necessary.



Do not use LEAD or COPPER with this steel roofing system.

Chimneys, Skylights & Dormers

The following steps detail the procedure for installation around a chimney, skylight or dormer. Run full panels up to the bottom of the penetration as noted in the Chimney Illustration below. All the open areas will be filled in with cut panels.

1 Start by measuring from the full panel below the chimney. Cut panels to fit this area and install like at roof to head wall. *See Roof to Head Wall.*

2 3 Use the DECRA Channel along the left and right of the chimney and counter flash with Side Flashing. Extend the DECRA Channel 2-3" out over the top of the first panel below the chimney. *See Roof to Side Wall*

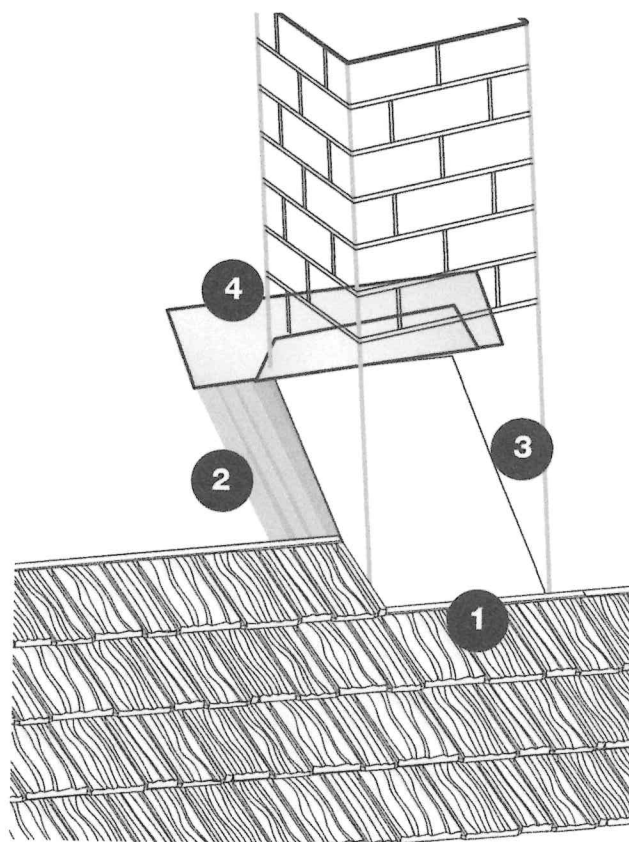
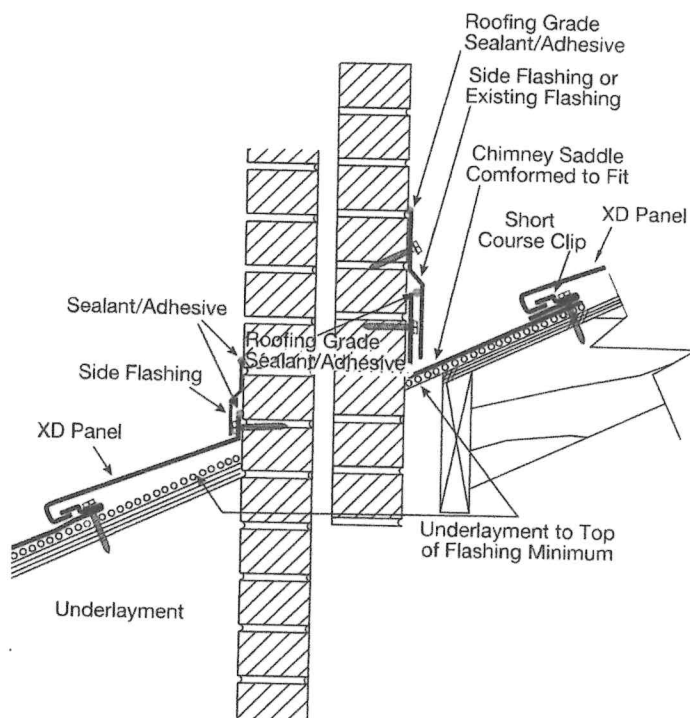
Panels to fit the left and right sides of the chimney will be measured, cut and fit into the DECRA Channel, similar to the roof to side wall. Be sure to notch out the top and bottom clip as was done for the Roof to Side Wall detail. *See Roof to Side Wall.*

4 The area directly above the chimney must be flashed and counter flashed. Measure the width of the chimney. Use a chimney saddle (**do not use lead or copper**) or a piece of flat metal can be cut and bent to fit around the chimney. Cut, conform and install the chimney saddle to fit above the chimney.

In the case of a cricket above the chimney, finish like valley. *See Valley.*

Next, cut a piece of the Short Course Clip to fit the length of the top of the chimney with an added 6" on either side. Attach the Short Course Clip on either side of the top of the chimney so the clip will allow the XD panel to engage into the clip as close to the top of the chimney as possible.

For brick and stucco, counter flash over the top of the chimney saddle. For siding, tuck the chimney saddle up under the siding. Use closure foam to fill gaps as needed (see diagram above).



Panel Layout, Panel Overlap & Fastening

Panel Layout: XD Panels (Shake XD and Shingle XD) install left to right. For first course, start with a full panel at the left side rake edge, valley or hip and continue with full panels locking them into the Starter Clip w/ Drip Edge. For second and subsequent courses, randomly install panels. **Do not create a pattern.** All subsequent courses of panels simply lock into place by sliding the nose of each panel onto the clip that is formed at the top back edge of each panel in the row below.

The side of each panel must be pushed into position to engage the Side-Lap locking mechanism.

Install the 4 screws into the predrilled fastening positions on the left of the panel leaving the 5th fastening position, on the far right of the panel, without a fastener. Properly lap the next panel to the right of the panel and insert at least one fastener. Now go back and insert the fifth fastener in the panel to the left.

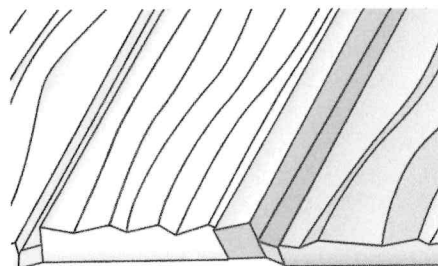
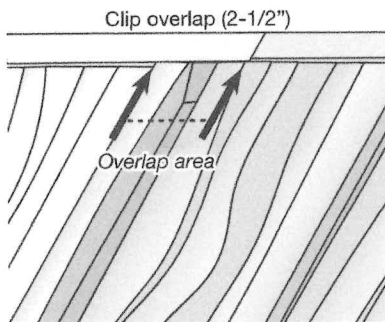
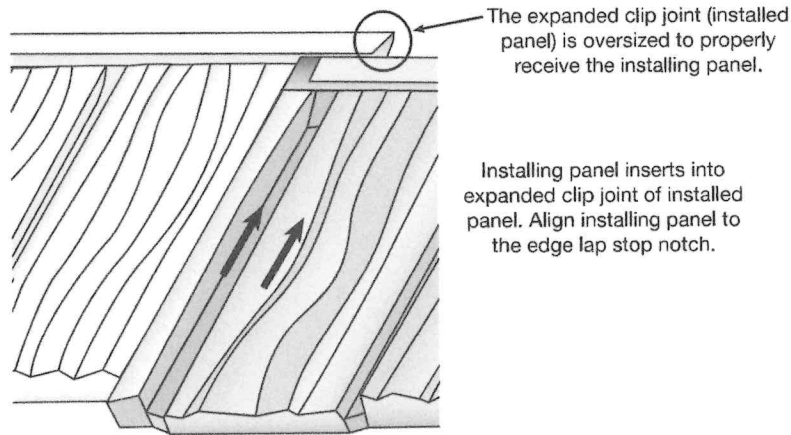
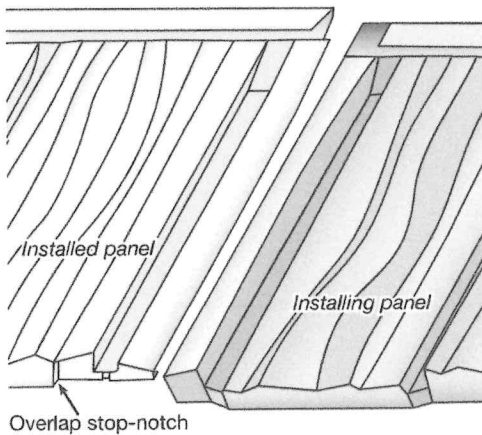
Panel Overlap:

Shake XD: Shake XD panels overlap 2-1/2". Ensure that top left corner of installing panel is butted up tight into upper clip of installed panel. Do not install the last screw on the far right until the next panel has been properly lapped and at least one screw attached.

Shake XD Panel Overlap:

DECRA Shake XD Panels install from LEFT to RIGHT. Install panels randomly, staggering sidelaps. Avoid creating a pattern with the light or dark color areas unless it is aesthetically pleasing.

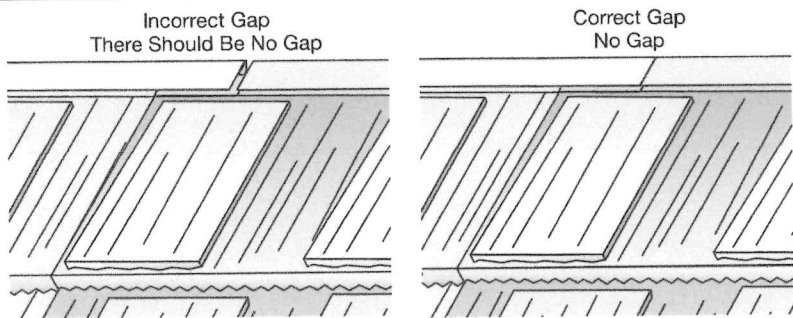
Panels install left to right. The installing panel (on right) will overlap the installed panel (on left).



Align installing panel with the stop-notch located 2-1/2" in from lower-right panel corner.

Shingle XD Panel Overlap:

Shingle XD: There should not be a gap between Shingle XD panels. Do not install the last screw on the far right until the next panel has been properly lapped and at least one screw attached.

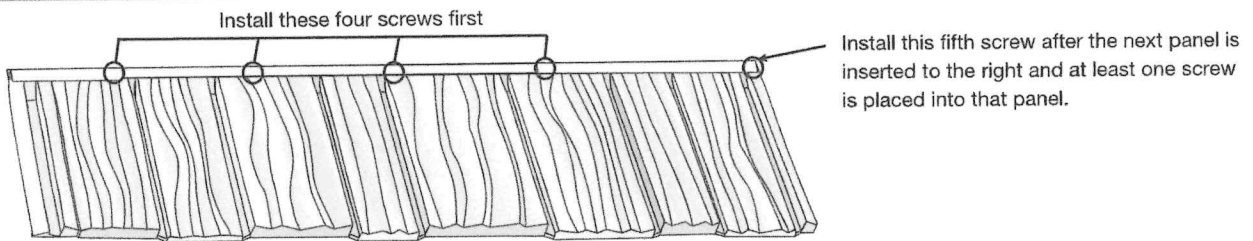


DECRA Shingle XD Panels install from LEFT to RIGHT. Install panels randomly, staggering sidelaps. Avoid creating a pattern with the light or dark color patches unless it is aesthetically pleasing.

Panel Fastening: Install the four screws on the left side of the panel first, then lay the next panel to the right overlapping the panel to the left. Install at least one screw into the panel on the left prior to installing the fifth screw into the right side of the panel (see diagrams below).

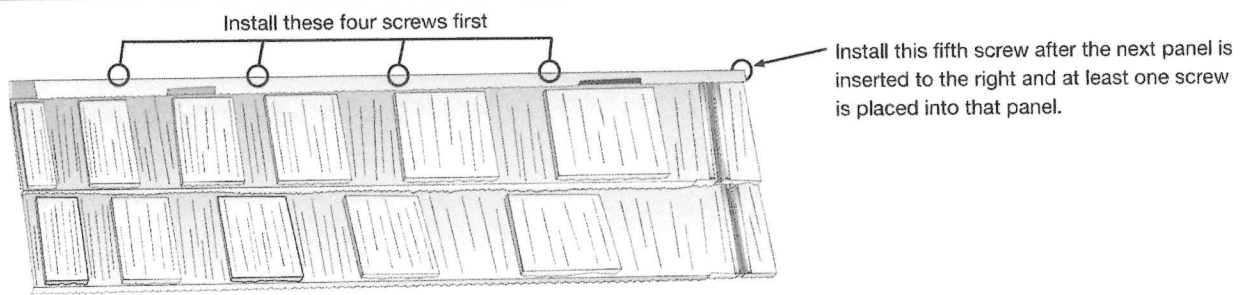
Shake XD Panel Fastening:

FASTENERS:
 Shake XD Panels - Min #9 Hex (1/4" hex head) x 1-1/2" long Corrosion Resistant Screws
 Shake Hip & Ridge - Min #9 Hex (1/4" hex head) x 1-1/2" long Corrosion Resistant Screws (color coordinated)



Shingle XD Panel Fastening:

FASTENERS:
 Shingle XD Panels - Min #9 Hex (1/4" hex head) x 1-1/2" long Corrosion Resistant Screws
 Shingle Hip & Ridge - Min #9 Hex (1/4" hex head) x 1-1/2" long Corrosion Resistant Screws



Panel Installation

Panels at Rake/Gable, Hips and Valley:

Where the panels fit into the Shake XD or Shingle Rake/Gable Channel, DECRA Channel or XD Valley, proper drainage will be attained by removing a portion of the front and back Clip-Locks on each XD Panel as noted below. Panels should be installed from left to right starting to the left of the Rake/Gable Channel, XD Valley or DECRA Channel. Cut and fit panels into Rake/Gable Channel, XD Valley or DECRA Channel as needed to create random stagger.

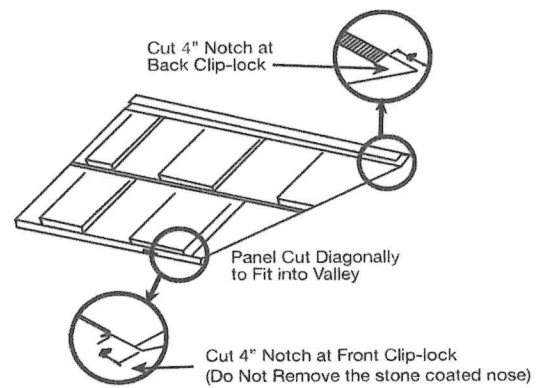
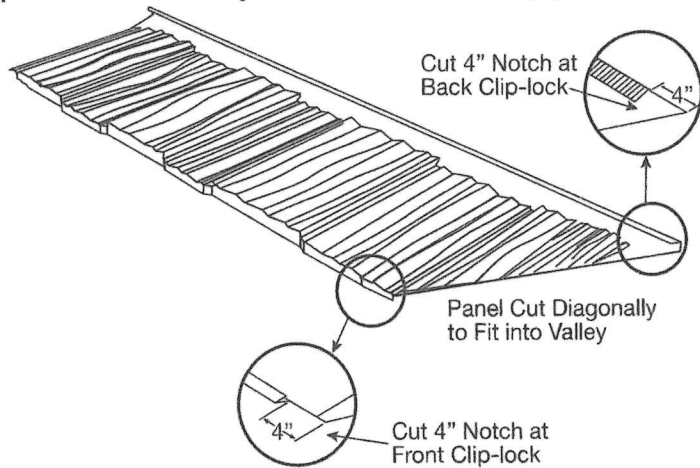
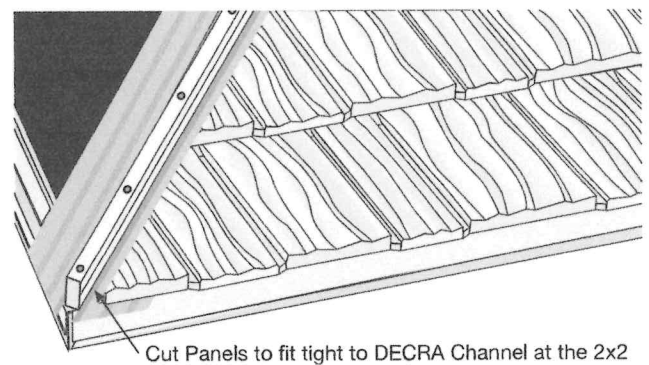
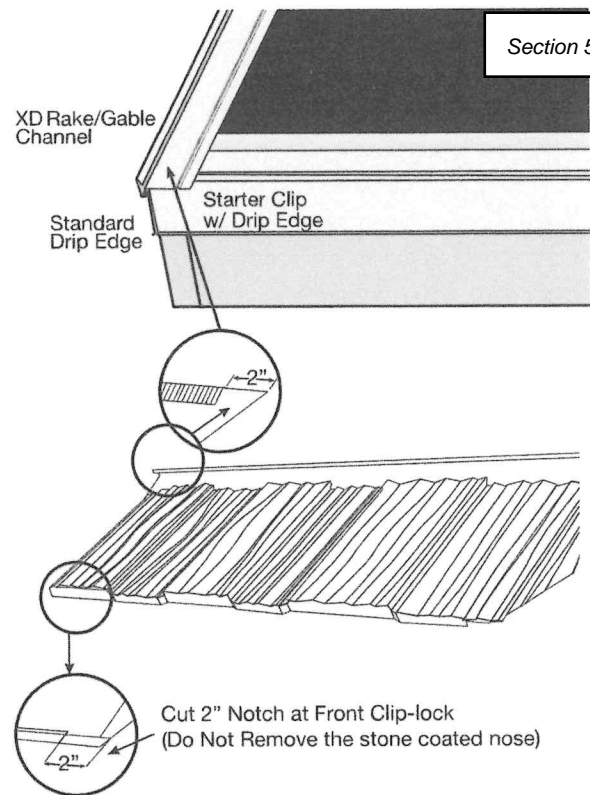
Panels at Rake/Gable: Where the XD panels fit into the XD or Rake/Gable Channel, proper drainage will be attained by removing 2" from the front and back Clip-Locks on each panel. Make a 2" notch at the front and back Clip-Locks where the panel fits into the DECRA Channel. Lock the panel into place and screw down.

Do not fasten panels into the inner-water channel on the Rake/Gable Channel, DECRA Channel or XD Valley.

Panels at Hips: Along both sides of the hips, cut XD Panels to fit into the DECRA Channel. Make a 2" notch at the front and back Clip-Locks where the panel fits into the DECRA Channel. Lock the panel into place and screw down.

Alternative Installation Method for Panels at Hips, Rakes/Gables and Sidewalls on pg. 20

Panels at Valley: At the XD Valley, cut panels to length and make a 4" notch at the front and back Clip-Locks where the panels fit into the Valley piece.

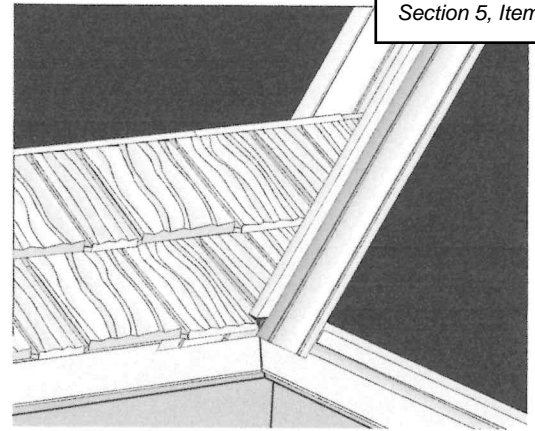
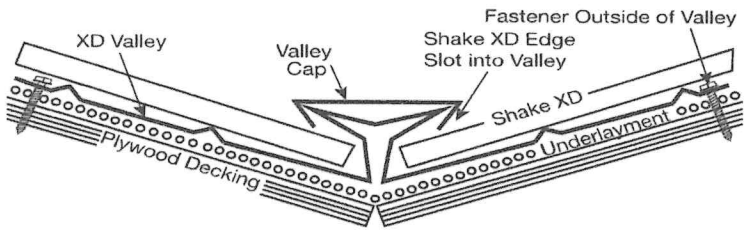


Do not remove the stone coated nose.

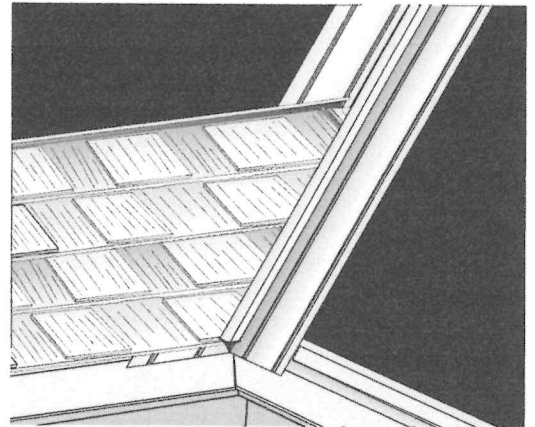
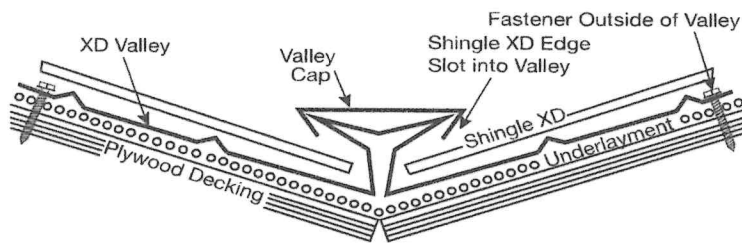
Panels at Valley (con't):

Section 5, Item J.

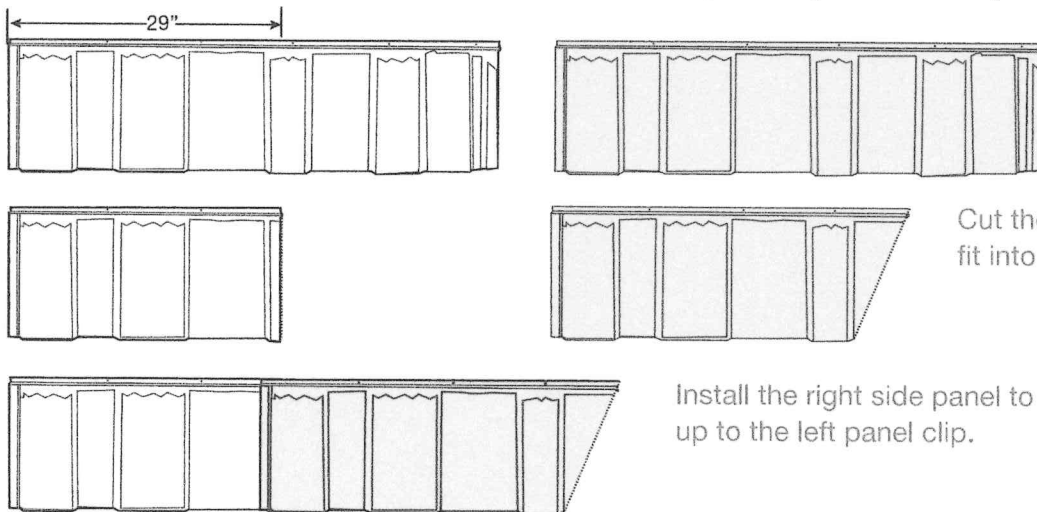
Shake XD - Use XD Valley & Cap



Shingle XD - Use XD Valley & Cap



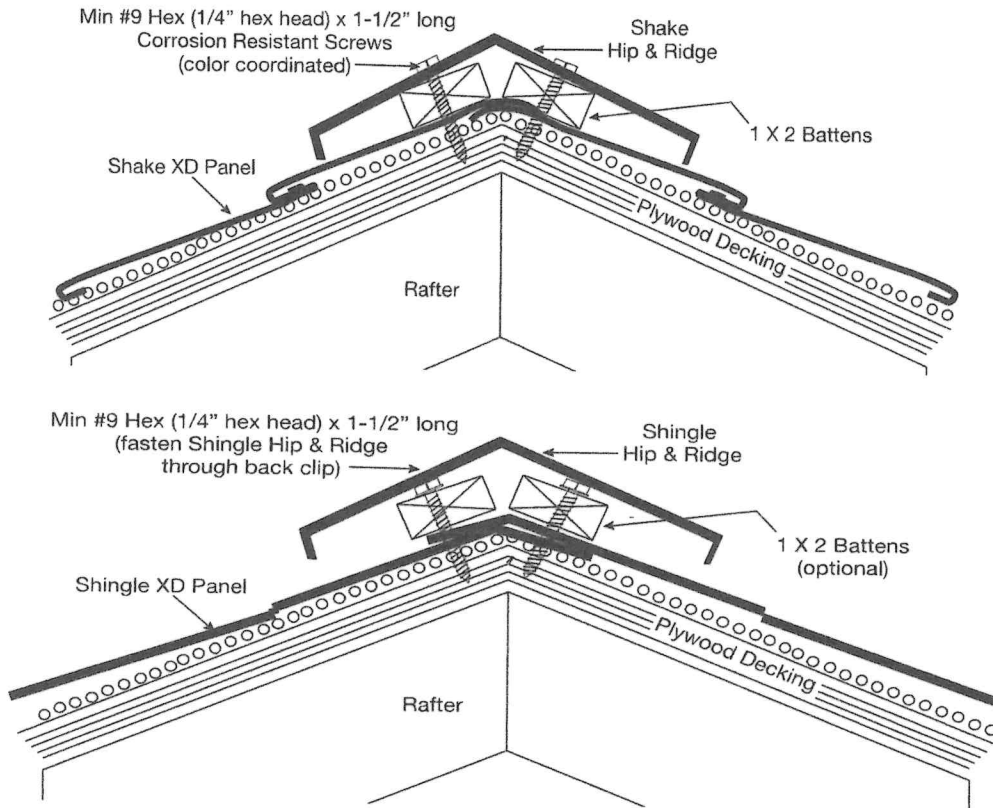
Installing Small Cut Panels: In this situation, cut the last full panel down to 29" to allow you to finish the course run with a longer panel. On the 29" panel, you must use the factory left edge as shown in the diagram below. **For Shingle XD:** on the 29" left panel that has just been shortened, cut out the right side bottom clip 2-1/2". Install the right side panel into the left panel clip as is normally done. **For Shake XD:** on the 29" left panel that has just been shortened, cut the right side bottom clip 2-1/2". An additional 2" cut must be made to the right side top clip lock on the 29" panel to allow the panel clip locks to butt together and form the overlap joint. Install the right side panel into the left panel clip as is normally done.



Cut the right side panel to fit into valley, hip or rake.

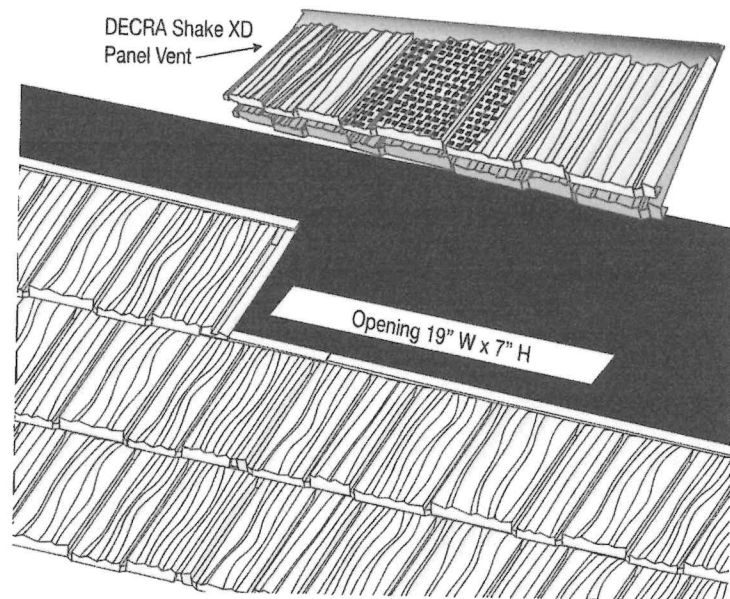
Install the right side panel to butt up to the left panel clip.

Panels at Closed Ridge: Install XD panels up to the top of the ridge, cutting off excess panel extends higher than the ridge. Use fasteners to attach panels 1" below the ridge line. On the other side of the ridge, run the top panel 2" past the top of the ridge line. Attach panel with fasteners 1" below the ridge line. Use a heavy hammer or mallet to fold and overlap the extra 2" down over the top of the ridge onto the opposite panel.



Venting

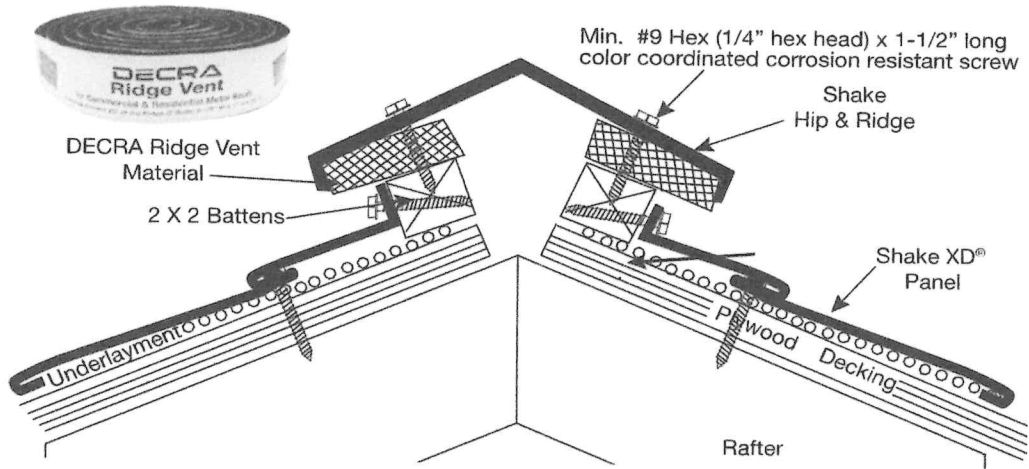
Panel Vents: If DECRA Panel Vents will be used, calculate the number of Panel Vents and select the proper location for each Panel Vent. Install DECRA panels up to Panel Vent location. Install the XD panel vent per the DECRA Roof Panel Vent Installation Guide found inside the panel vent carton, or available at DECRA.com.



DECRA panel vents should be installed on the last full course below the ridge, and no more than 4 feet down from the peak of the roof facet. Panel vents should NOT be used for air intake.

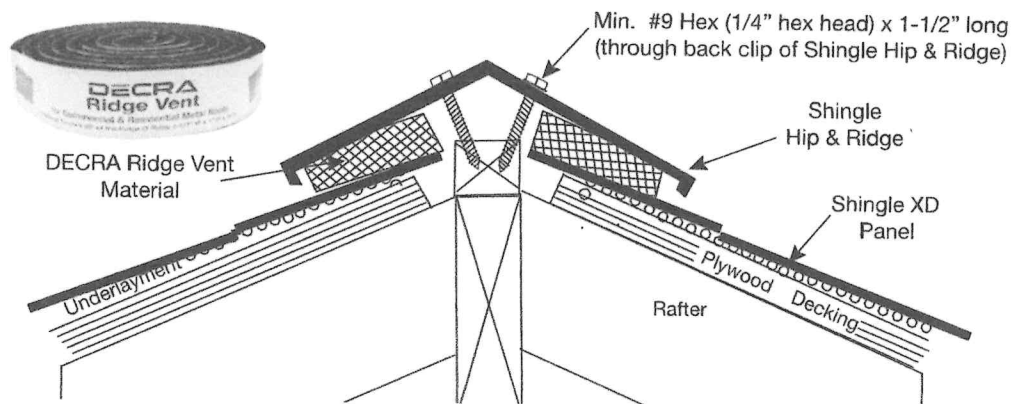
Ridge Venting - Shake XD: Install Shake XD panels up the last full course before the ridge. Install 2 x 2 wood battens along the ridge. Ridge vent can also be installed with stacked 2 x 2's on the center ridge beam. Please see our website for alternative installation details. Align the top edge of the 2 x 2 along the edge of the plywood on both sides of the ridge to expose the attic opening. Measure, cut, bend, and install the final course of panels. Roll out the vent material along the tops of the battens. Remove the white paper while unrolling to expose the adhesive dots. Apply pressure over the adhesive dots to hold the material in place during installation (see diagram below).

Install Shake Hip & Ridge pieces over the vent material. Fasten the screws through the vent material into the battens. See *Hip & Ridge Install at Hips & Ridges for Shake Hip & Ridge Installation*.



Ridge Venting - Shingle XD: Install Shingle XD panels up to the last full course before ridge. Install (optional) a 2 x 2 on top of the ridge beam. Note, the 2 x 2 will provide a firm fastening location for the ridge cap and ensure adequate opening for the ridge vent. Install panels up the ridge opening. Measure, cut, install, and fasten the panels so that a 3/4 inch opening is maintained between the top course of panels and the edge of ridge beam / 2 x 2. Roll out the vent material along the tops of the last panel course and ridge opening. Position the ridge vent material just inside the Hip & Ridge caps. Remove the white paper while unrolling to expose the adhesive dots. Apply pressure over the adhesive dots to hold the material in place during installation. (see diagram below).

Install Shingle Hip & Ridge pieces over the vent material. Fasten the screws through the vent material into the batten or plywood decking. See *Hip & Ridge Install at Hips & Ridges for Shingle Hip & Ridge Installation*).



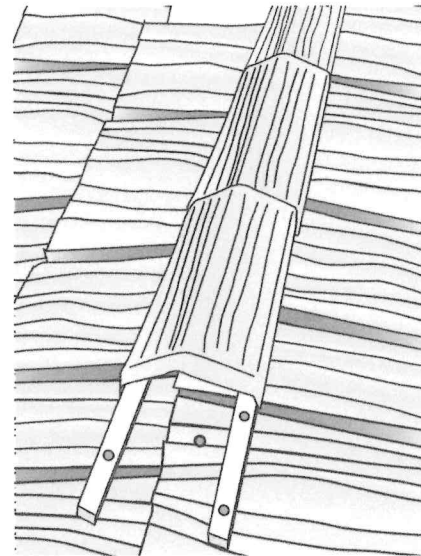
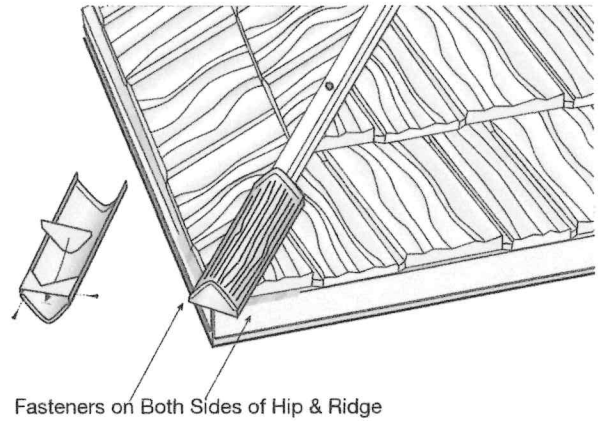
Hip & Ridge Installation at Hips & Ridges - Shake XD

Hip: The Shake Hip & Ridge piece should be attached directly into the 2 x 2 battens at the hips. Hip & Ridge pieces are overlapped and fastened through the sloped side using color coordinated minimum #9 Hex (1/4" hex head) x 1-1/2" long corrosion resistant screws.

Ensure that the fastener is long enough to penetrate into the 2 x 2. Finish the end of the hip or ridge with a Shake End Cap.

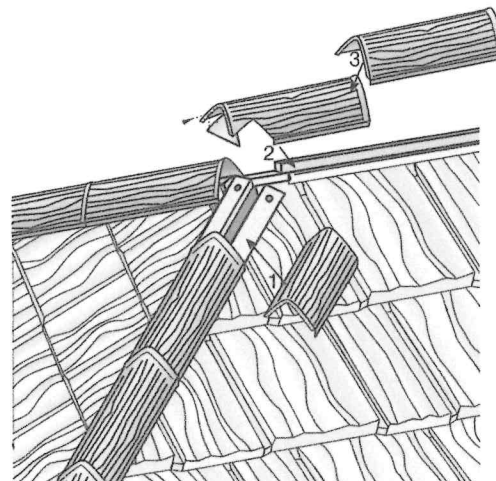
Ridge: At the ridge install a 1 x 2 wood batten directly over the Shake XD Panels on both sides of the ridge using fasteners sufficient to penetrate the roof deck. Apply roofing grade sealant/adhesive in-between the wood battens and the Shake XD panels. Note, do not use copper based pressure treated wood with any DECRA roofing system. However, composite deck board can be used as alternative for the wood batten once cut down to the needed size.

The Shake Hip & Ridge pieces are overlapped and fastened through the sloped side of the cap into the 1 x 2 as described above.



Install Shake Hip & Ridge up the hips to where it meets the ridge.
Trim and notch the first piece of Shake Hip & Ridge where it meets on top of the hips.
Finish with Shake End Cap and Touch-Up Kit.

Running Hips into a Ridge: Add the top pieces of Shake Hip & Ridge at the hip and the first piece at the ridge. Trim the last pieces of Hip & Ridge where they meet the ridge. Add a piece of Hip & Ridge at the ridge and cut it to fit with Hip & Ridge on the hips. Finish with Touch-Up Kit as needed. Continue on with the ridge installation. Finish the end of the hip or ridge with a Shake End Cap. Use minimum #9 Hex (1/4" hex head) x 1-1/2" long color coordinated screws.

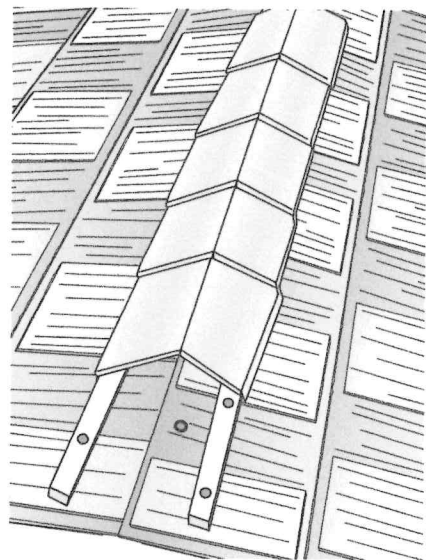
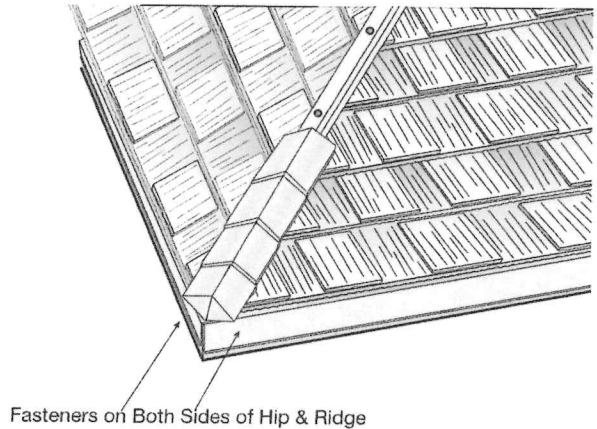


Hip & Ridge Installation at Hips & Ridges - Shingle XD

Hip: The Shingle Hip & Ridge piece should be attached directly into the 2 x 2 battens. Hip/Ridge pieces are overlapped and fastened through the back clip using minimum #9 Hex (1/4" hex head) x 1-1/2" long corrosion resistant screws. Ensure that the fastener is long enough to penetrate into the 2 x 2. The fasteners will be hidden by the next Shingle Hip & Ridge piece. No end cap is needed with the Shingle Hip & Ridge.

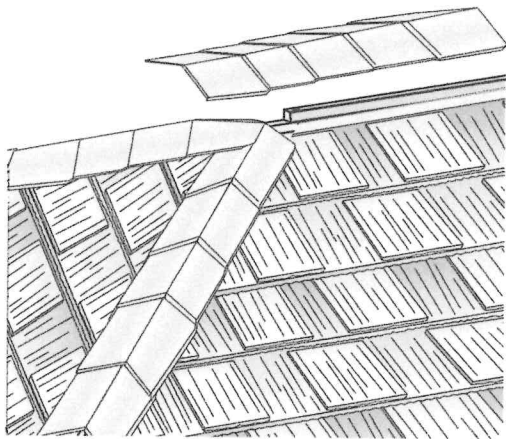
Ridge: Install a 1 x 2 wood batten (optional) directly over the Shingle XD Panels on both sides of the ridge using fasteners sufficient to penetrate the roof deck. Apply roofing grade sealant/adhesive in-between the wood battens and the Shingle XD panels. Note, do not use copper based pressure treated wood with any DECRA roofing system. However, composite deck board can be used as alternative for the wood batten once cut down to the needed size.

The Shingle Hip & Ridge pieces are overlapped and fastened through the back clip using minimum #9 Hex (1/4" hex head) x 1-1/2" long corrosion resistant screws. Fasteners should penetrate thru the decking or optional 1x2 wood batten.



Install Shingle Hip & Ridge up the hips to where it meets the ridge.
Trim and notch the first piece of Shingle Hip & Ridge where it meets on top of the hips.
Finish with Touch-Up Kit.

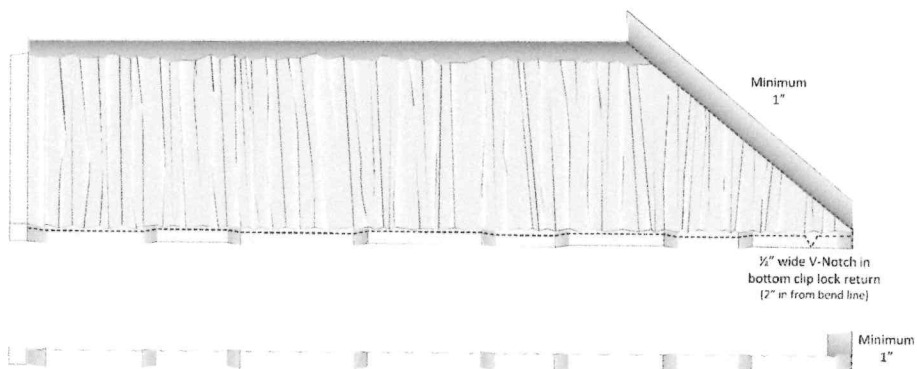
Running Hips into a Ridge: Add the top pieces of Shingle Hip & Ridge at the hip and the first piece at the ridge. Trim the last pieces of Hip & Ridge where they meet the ridge. Add a piece of Hip & Ridge at the ridge and cut it to fit with Hip & Ridge on the hips. Finish with Touch-Up Kit as needed. Continue on with the ridge installation. No end cap is needed with the Shingle Hip & Ridge.



Alternative Installation Method: XD Panel Bend-Ups

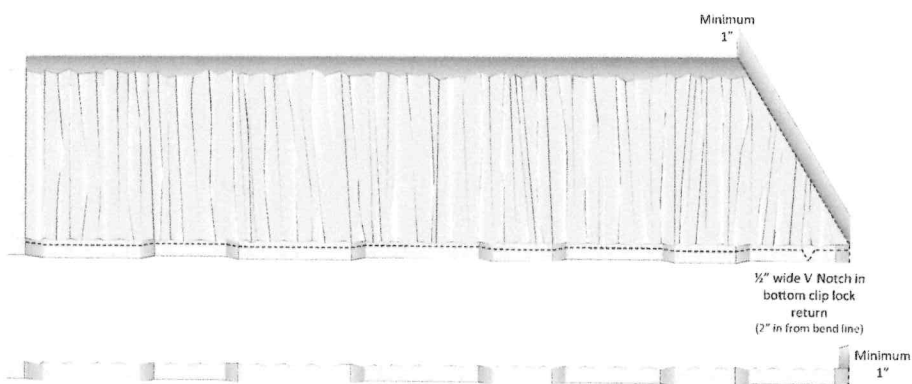
Bend-Up at Hips:

Mark the XD panel to length and add minimum 1" for bend-up. Remove Top and Bottom Clip Locks (including nose) to the bend line. Next, measure in from the bend line 2" and snip away a 1/2" wide V-Notch in Bottom Clip Lock return. Bend panel up minimum 1" and install the panel with bend-up against the 2x2. Proceed with the next row.



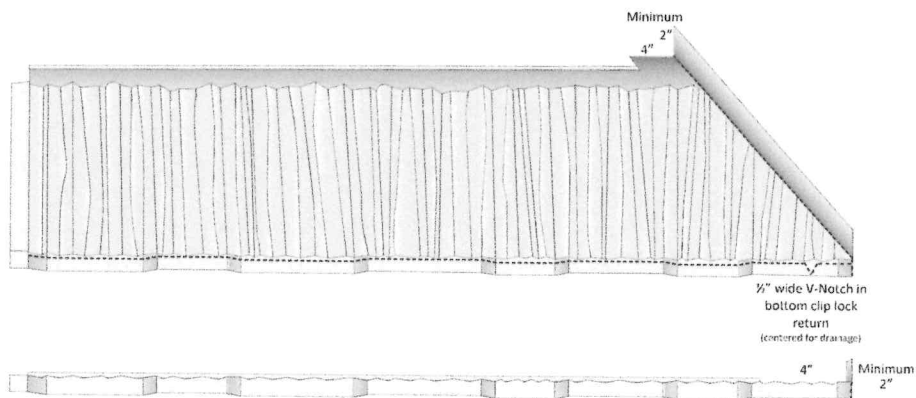
Bend-Up at Rake/Gable:

Mark the XD panel to length and add minimum 1" for bend-up. Remove Top and Bottom Clip Locks (including nose) to the bend line. Next, measure in from the bend line 2" and snip away a 1/2" wide V-Notch in Bottom Clip Lock return. Bend panel up minimum 1" and install the panel with bend-up against the 2x2. Proceed with the next row.



Bend-Up at Sidewalls:

Mark the XD panel to length and add a minimum of 2" for bend-up. Snip the Top Clip Lock 4" in from bend line, fold up and flatten down. **DO NOT** remove the Top Clip Lock. Snip and remove the Bottom Clip Lock (including nose) at the bend line. Next, measure in from the bend line 2" and snip away a 1/2" wide V-Notch in Bottom Clip Lock return. Bend panel up at the bend line. Flatten out bend-up and install the panel tight to the wall. Proceed with the next row.



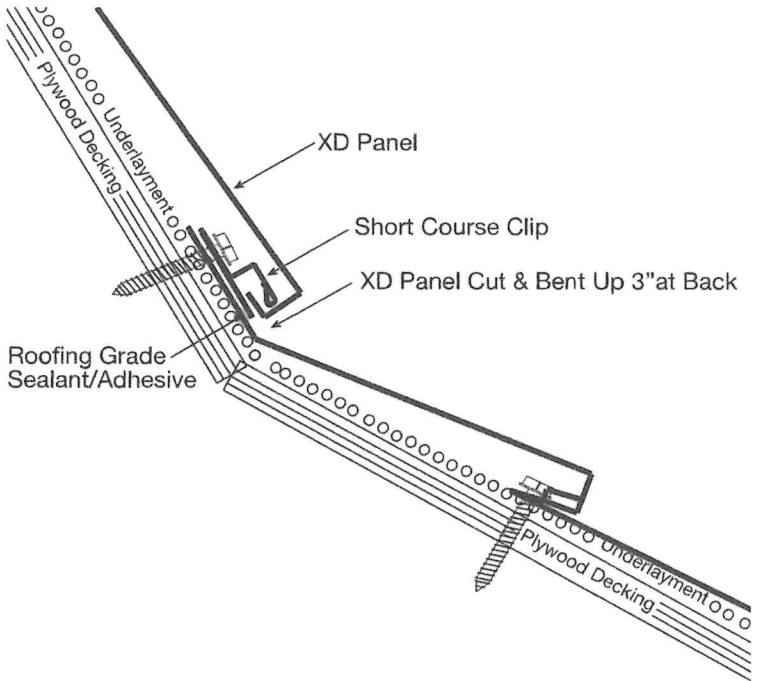
Pitch Change

Pitch Change - Low to High:

In instances where the roof pitches changes from low to high, run the XD Rake/Gable Channel up to the pitch change, cut bend and notch the channel to extend past the change in pitch approximately 3". Overlap the next piece of Rake/Gable Channel over the Rake/Gable Channel below the pitch change.

Install XD panels up to the area where the change occurs. Cut the back of the XD panel to extend 3" past the change in pitch. Bend the panel forward at the pitch change to conform to the deck. In lieu of bending panel at transition, an apron or transition metal may be installed from the upper slope down over the lower slope. The apron or transition metal should be bent to fit tight and provide adequate coverage over the lower slope.

Install the next panel using the Short Course Clip as a starter.

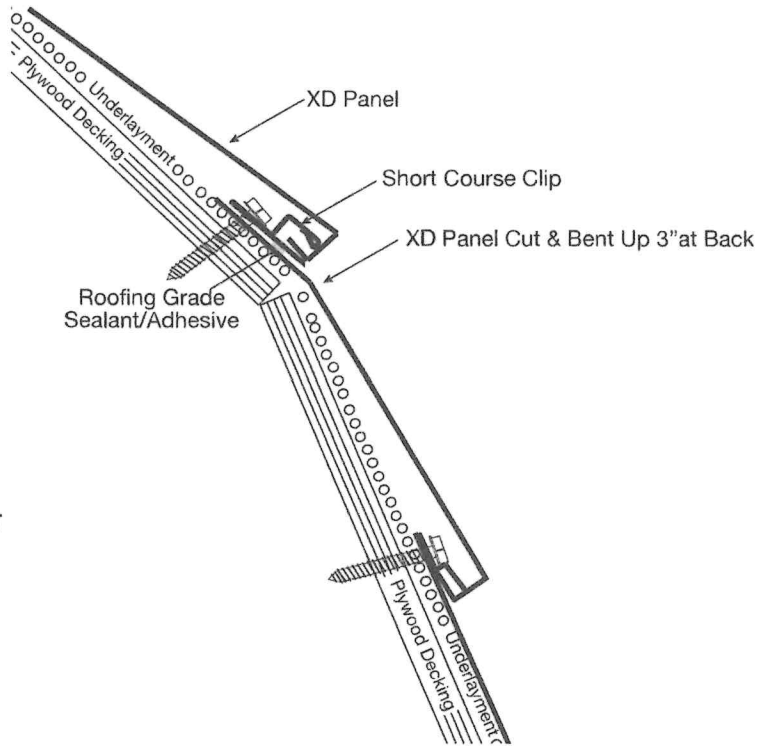


Pitch Change - High to Low:

In instances where the roof pitches changes from high to low, run the XD Rake/Gable Channel up to the pitch change, cut bend and notch the channel to extend past the change in pitch approximately 3". Overlap the next piece of Rake/Gable Channel over the Rake/Gable Channel below the pitch change.

Apply a roofing grade sealant/adhesive along the panel above the bend and below the cut edge. Install a Short Course Clip on top of the sealant above the change in pitch (see diagram to the right). If an apron or transition metal is used, apply a roofing grade sealant/adhesive along the upper slope over the apron or transition metal. Install a Short Course Clip on top of the sealant above the change in pitch.

Install the next panel using the Short Course Clip as a starter.

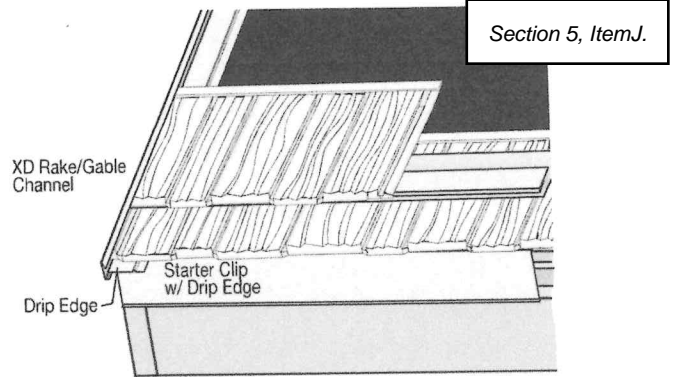


Short Course

In some instances, a short course will be necessary. A short course is needed when a section of the fascia steps out and is not an even panel width difference from the main fascia.

A short course is inserted by fastening the Short Course Clip over the panel in the course below at the point where the next full panel above will align with the panels to the right and left in the course above. Once the Short Course Clip is secured into the panel below, clip the next course of full panels into it.

Alternative Short Course detail: Align for full panels to be used along longest run of eave. Adjust for shorter run by cutting off bottom portion of panel and creating a bottom lock in the field. This is done by measuring up or down in panel exposure increments (Shake XD 12 3/8" and Shingle XD 12 1/4") and chalking lines. To measure for short course panel(s), measure from chalk line to edge of starter clip at the short eave then add 3/4-1" to be used for short panel bottom lock. Using hand seamer's crimp modified bottom lock to the starter.



Roof Jacks/Steep Pitch Roof

To use roof jacks, remove a portion of the top Clip Lock of panel to allow roof jack to lay flat on the deck and on top of the panel. Place padding between jack and panel to avoid scuffing. Install the next course of panels by notching out the bottom Clip-Lock of the panel at the jack location and folding it up (do not completely remove the piece). When removing the roof jack, fold the nose of the panel back into place and finish using a roofing grade sealant/adhesive and a Touch-Up Kit.

High Wind

In areas prone to high winds, installation must meet local codes. Reference International Code Council (ICC) **ESR-1754** for DECRA direct to roof deck roof system installations, section 4.4 Wind Resistance and Table 1 detail on wind uplift pressures and panel fastening procedures. **ESR-1754** code compliance document is available on DECRA.com.

Freeze Thaw

Ice and water shield is recommended in all areas susceptible to freeze/thaw conditions.

Foot Traffic

Avoid walking on side laps. See walking instructions at DECRA.com.

Sealants

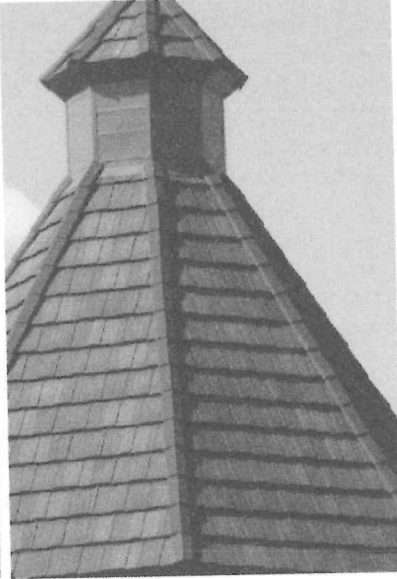
A roofing grade sealant/adhesive should be used with this roofing system. Where possible, the sealant should be covered by the roofing system or with matching stone granules. Sealant should not be used to refinish damaged panel surfaces. Touch-Up Kits are available in colors matching the various stone coated panel finishes.

Cleaning & Touch-Up (During Installation)

Section 5, Item J.

After installation is complete, be sure to clean all debris off of the roof, especially any metal shavings.

In cases where it is necessary to touch up a panel during the installation process or finish a roofing penetration or other detail, DECRA Touch-Up Kits are available in all of the colors matching the stone coated panel finishes. For answers to questions or more details not covered in this guide, call (877) 463-3272 or visit DECRA.com. Architectural Details and Product Specs are available at DECRA.com.



DECRA[®]
METAL ROOFING

877-GO-DECRA [463-3272] | DECRA.COM



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Roofing Proposal #6027

Client: Village of Kronenwetter

Phone: 715-432-2351

Address: 1582 Kronenwetter Drive, Kronenwetter, WI 54455

Job Description: Commercial Metal Roof replacement and Tower EPDM roof repair or replace.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Scope of Work:

CW Custom Exteriors.com proposes to perform labor and supply all necessary materials for the completion of the roof replacement as follows:

Building address: 1582 Kronenwetter Drive, Kronenwetter, WI 54455

Description of roofs to be completed: Remove existing 2 layers of Asphalt shingles and underlayment, on sloped areas and install new asphalt shingle roofing system. Repair or replace Tower EPDM rubber roofing.

Building breakdown is depicted in the attached aerial commercial report, page 3:

Pitched area = 31,237 total square feet, with 10% waste = 34360 sq ft.

Tower Flat roof area is 336 square feet. With 5 feet up side walls =690 sq. Ft

SCOPE OF WORK:

Remove all existing shingles down to the deck

Re-nail any loose wood

Install 3' of ice and water shield at all gutter lines, rakes edges, and valleys.

Install Synthetic underlayment to keep the roof dry

Install Decra Starter Course along all gutter lines and Stone Coated rake edges as required.

Install Decra Stone Coated Impact Resistant Lifetime Shingles per specifications using Decra screws.

Install all required accessories for the selected Decra Stone Coated Metal Roofing System.

Install Decra Hip & Ridge Stone Coated Shingles.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Install new ridge vent.

Install new pipe and chimney flashings.

Cover all bushes, shrubs and flowers for protection.

Clean up all job related debris.

Provide 50 year workmanship warranty and Decra Manufacturer Warranty.

INSURANCE & SAFETY

CWCustomExteriors.com LLC, shall provide general liability insurance as detailed on our certificate of insurance. Maximum liability is the limit of this insurance. A certificate of insurance will be issued upon request.

Safety is of primary importance to CWCustomExteriors.com LLC

We will set up required safety equipment at site needed to comply with OSHA construction guidelines including barricades, safety lines, ect.

We hereby propose to furnish material and labor – complete in accordance with



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

the above specifications dated this 25th day of September, 2023 for the sum of

Three hundred eighty-two thousand, ninety-two and ninety-two cents, (\$382,092.92)

With payments to be made as follows:

Scheduled Payments: 65%/35%

\$ 248,360.40 Initial down payment

\$ 133,732.52 upon completion

ADDITIONAL WORK:

1/2" OSB REPLACEMENT @ \$80/sheet, \$280/square

Reflash and seal other Tower flashing: \$25/lf

Other rubber roof repairs on main building: \$350+ depending on issues found. Change Order would then be addressed and completed to update.

Note: this proposal may be withdrawn by us if not accepted within 30 days.

All material is guaranteed to be as specified. All work to be completed in a workmanlike manner according to standard practices. Any alteration or deviation from above specifications involving extra costs will be executed only with approval.

All agreements contingent upon strikes, accidents, or delays beyond our control. Owner is to carry fire, tornado, and other necessary insurance.

Acceptance of Proposal – The above prices, specifications and conditions are satisfactory and are hereby accepted. Payment will be made as outlined above. A service charge of 1.5% per month will be charged to balance if not paid within 10 days. Replacement of any damaged or deteriorated decking discovered after removing existing roofing will be an additional cost of \$2.50 per square ft. of decking as needed after owner's approval. New decking will meet or exceed local building code requirements and H-clips will be used between all rafters.



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

Projected Start Date: Between 11-1-2023 to 11-10-2023. (Open window as dates can vary depending when the contract is signed and weather permitting.)

Acceptance of Proposal

Customer

_____ Date _____

_____ Date _____

CW Custom Exteriors.com

_____ Date _____

“CUSTOMER’S RIGHT TO CANCEL” You may cancel this agreement by mailing a written notice to CW Custom Exteriors.com before midnight of the third business day after you signed



CW CUSTOM EXTERIORS.COM * 143789 PACKER DR, WAUSAU, WI 54401 * 715-870-1892

this agreement. If you wish, you may use this page as that notice by writing "I hereby cancel" and adding your name and address. A duplicate of this is provided by CW Custom Exteriors.com for your records.

DECRA[®]
METAL ROOFING

DECRA Villa Tile

Capri Clay



BEAUTY THAT CAPTIVATES.
STRENGTH THAT PROTECTS.

The #1 Performing Roof to Protect Your Home.



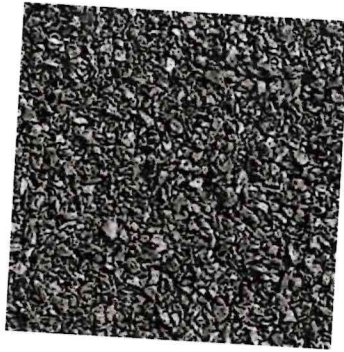
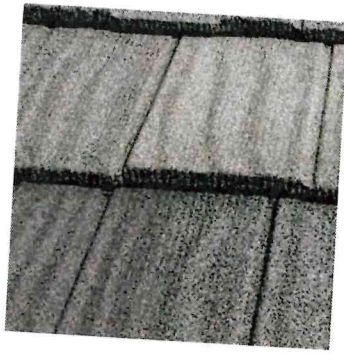
ROOFING WITH STYLE AND SUBSTANCE

A perfect blend of over 60 years of research and practical experience, DECRA's product lines offer the ultimate in style, performance and engineering design. You'll be the absolute envy of your neighborhood.



ENGINEERED TO PROTECT

The strength and durability of a DECRA roof is combined with the versatile good looks of a tile, shake or shingle style, all aimed at providing the optimal roof solution. DECRA panels have a unique interlocking design to withstand high winds while adding shear strength.



PEACE OF MIND

Breathtaking designs are what you see at first glance, but underneath are layers of pure protection. A DECRA roof is a piece of beauty that offers peace of mind.

- ✓ Protective Layers Deliver Long Life Performance
- ✓ Lifetime Limited Warranty
- ✓ Class A Fire Rated Material
- ✓ Best In Class Weight-To-Strength Ratio
- ✓ Severe Weather Resistance
- ✓ Class 4 Impact Resistance (Highest Rating)

“DECRA is not only a beautiful, durable roof that can withstand storms, but it is an investment into the value of our home. I am proud to be a DECRA roof owner.”

— Steven Sigler, Fairhope, Alabama



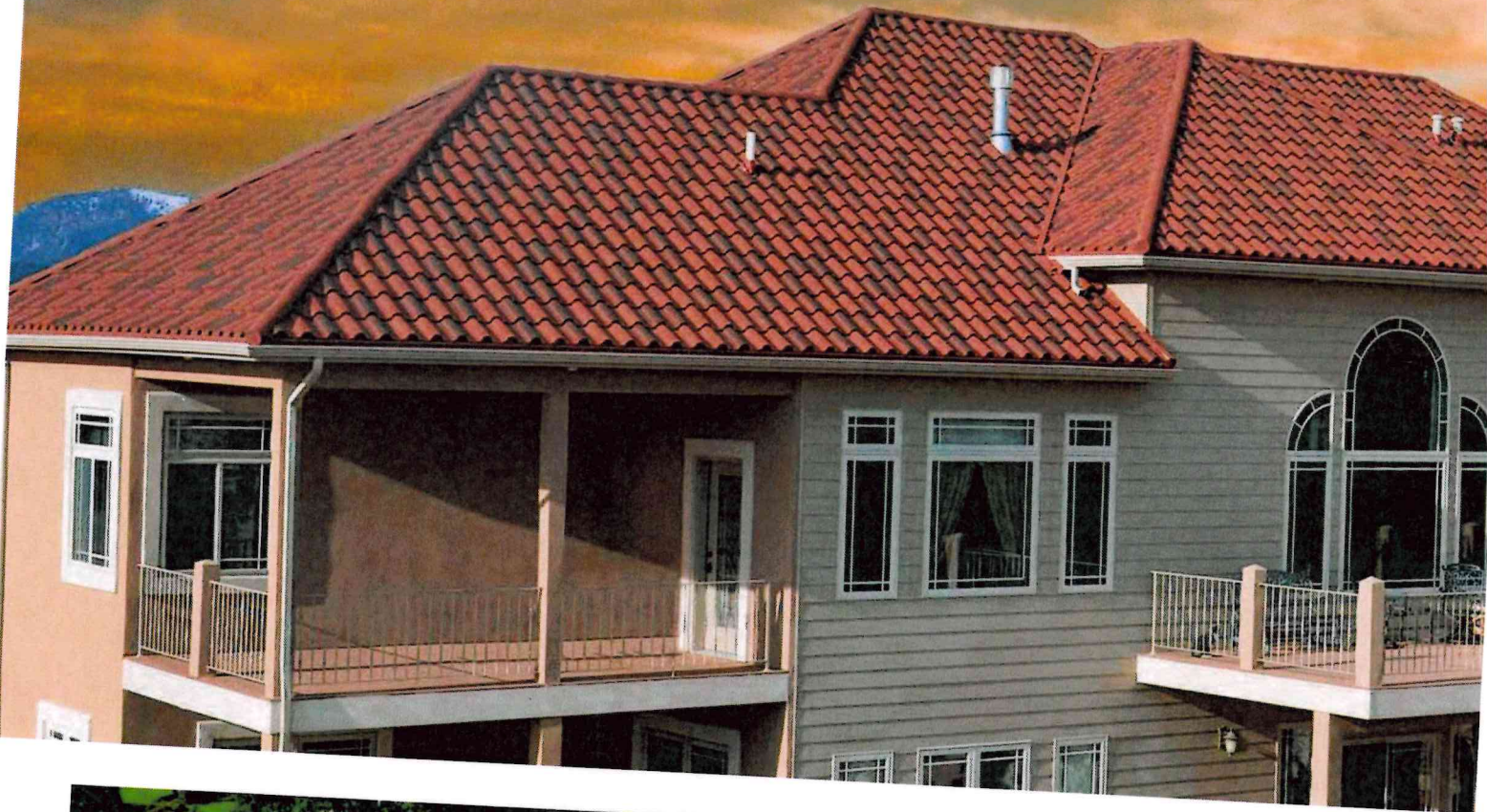
DECRA Villa Tile

Capri Clay

DECRA Villa Tile

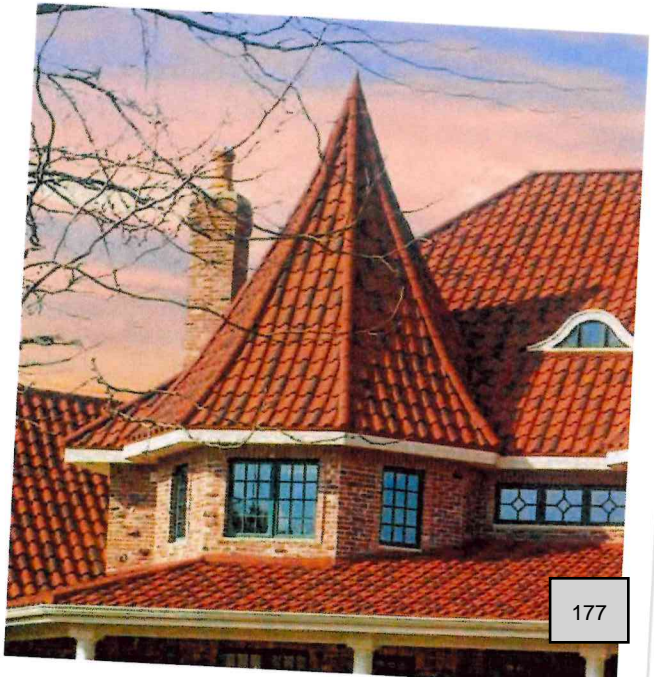
Rustico Clay

Section 5, Item J.



DECRA Villa Tile

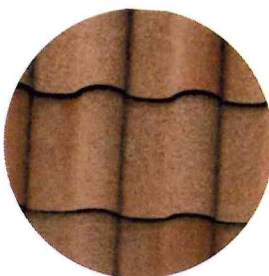
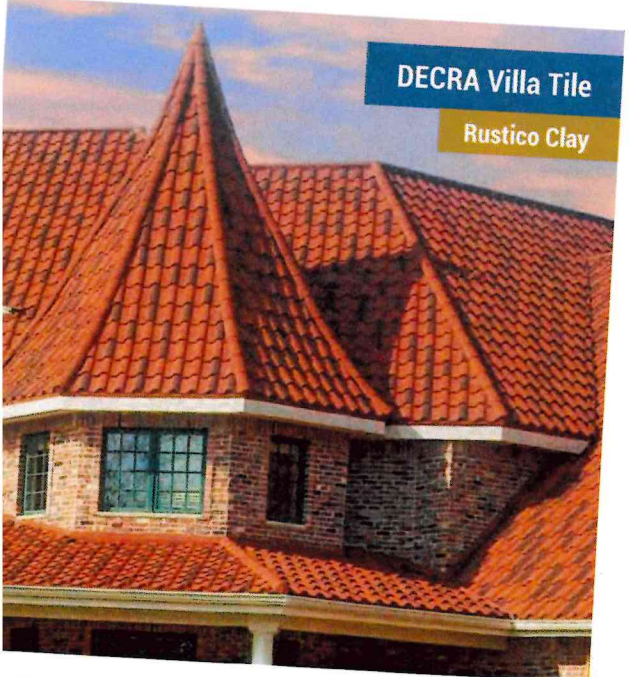
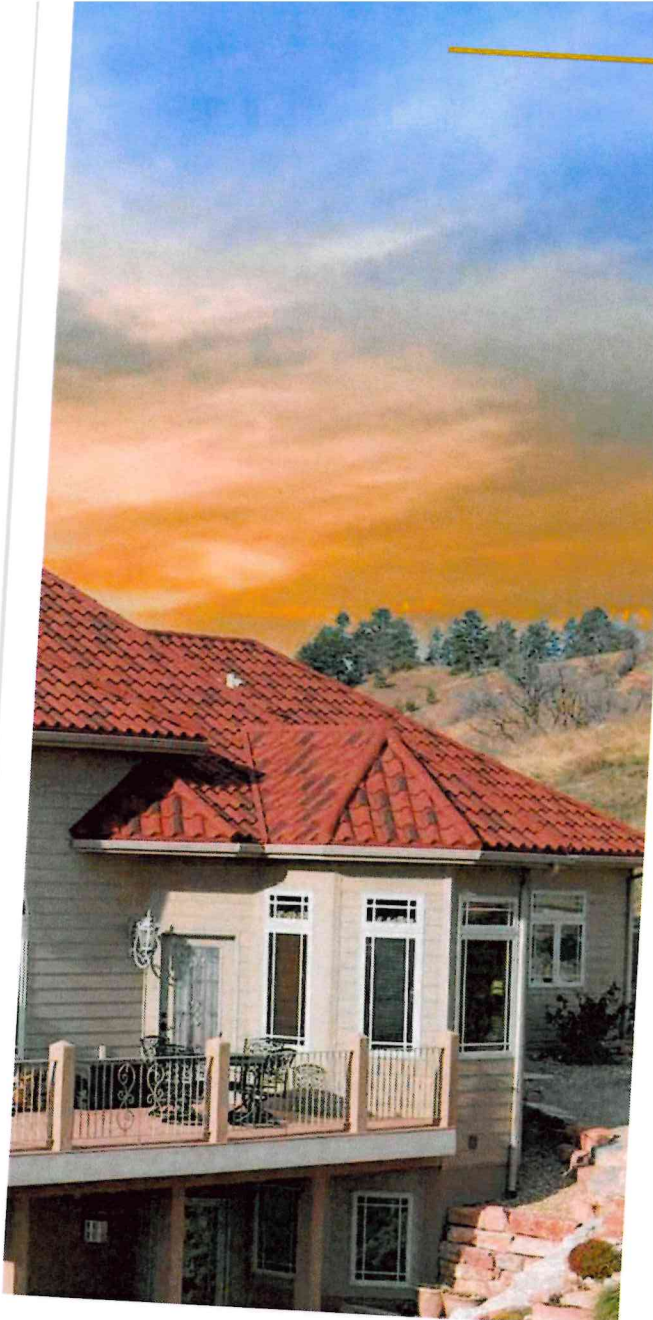
Venetian Gold



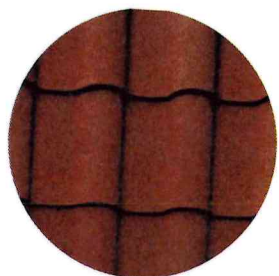
DECRA VILLA TILE

Classic Elegance of Old Barrel Tile

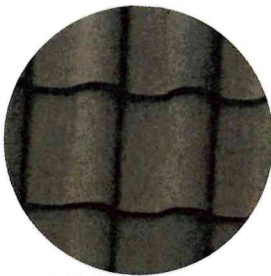
A unique and premium offering, DECRA Villa Tile features the classic beauty, elegance and architectural detail of an old-world Italian tile. Durable, lightweight and a true barrel tile, Villa Tile outclasses the competition. It's an excellent alternative to clay and concrete tiles, which crack easily and are vulnerable to hail and storm debris impact.



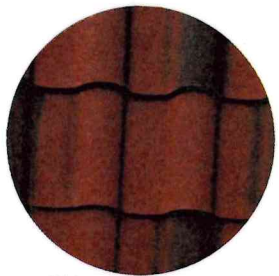
AMALFI SAND



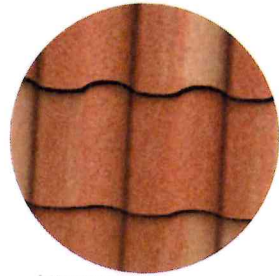
CAPRI CLAY



POMPEII ASH



RUSTICO CLAY



VENETIAN GOLD



CHARCOAL*



WOODLAND GREEN*

*Please note these colors are MTO (made to order) and production times may be extended.



Section 5, Item J.



DECRA TILE

Beauty and Style of Mediterranean Tile

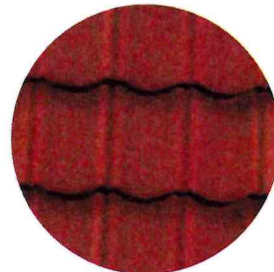
DECRA Tile, offering the beauty and style of Mediterranean tile, adds a unique elegance to any home. With a long-standing reputation for performance, longevity and versatility, it is an ideal, lightweight alternative to traditional tile products.



CHARCOAL



CHESTNUT



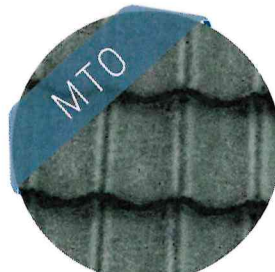
GARNET



TERRACOTTA



WEATHERED TIMBER



GRANITE GREY*



SHADOWOOD*



WOODLAND GREEN*



*Please note these colors are MTO (made to order) and production times may be extended.

DECRA Tile

Charcoal



DECRA Tile

Terracotta



DECRA Tile

Garnet





DECRA SHINGLE XD[®]

Shingle at a Fraction of the Weight

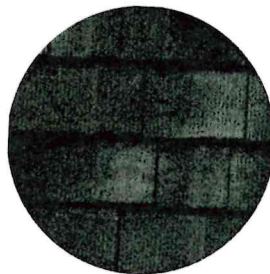
DECRA Shingle XD has the rich, bold appearance of a heavyweight architectural shingle at a fraction of the weight. With its thick-cut edges and deep, distinctive shadow lines, DECRA Shingle XD provides greater dimensionality and a robust appearance. This profile adds the aesthetics of wood shingles without the ongoing maintenance that comes with a conventional wood roof.



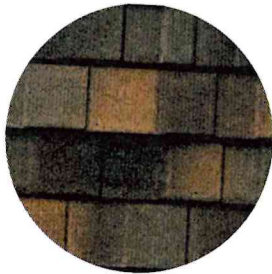
CLASSIC
COBBLESTONE



MIDNIGHT ECLIPSE



NATURAL SLATE



OLD HICKORY

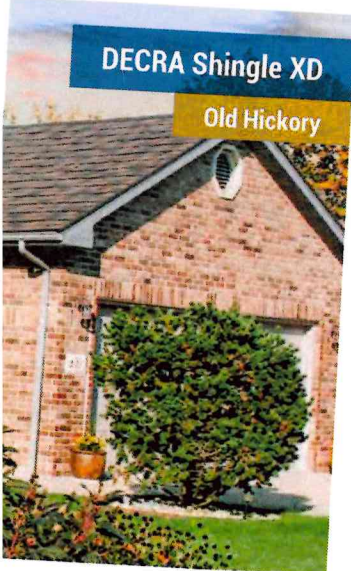
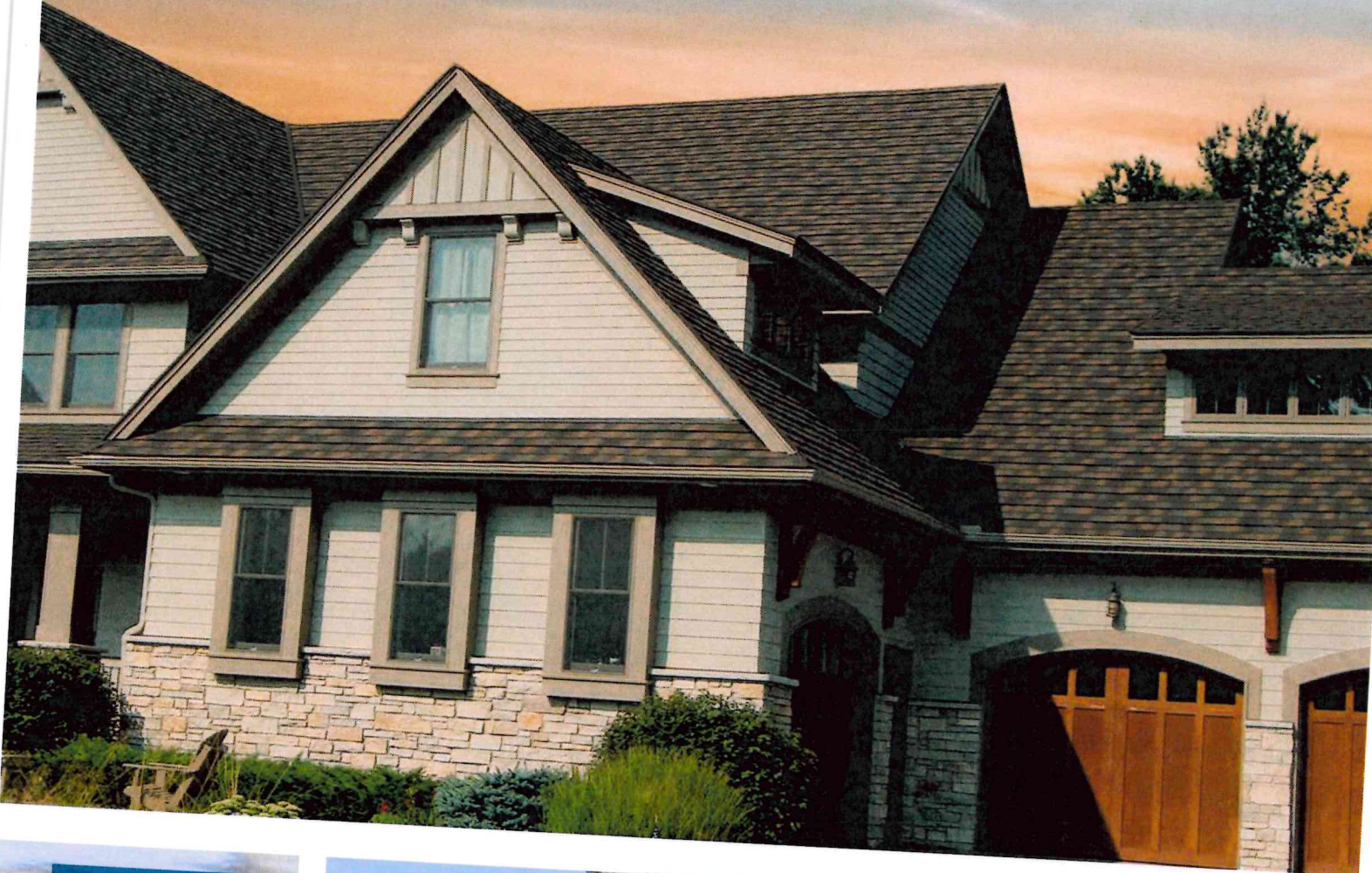


WOODLAND GREEN*

*Please note these colors are MTO (made to order) and production times may be extended.

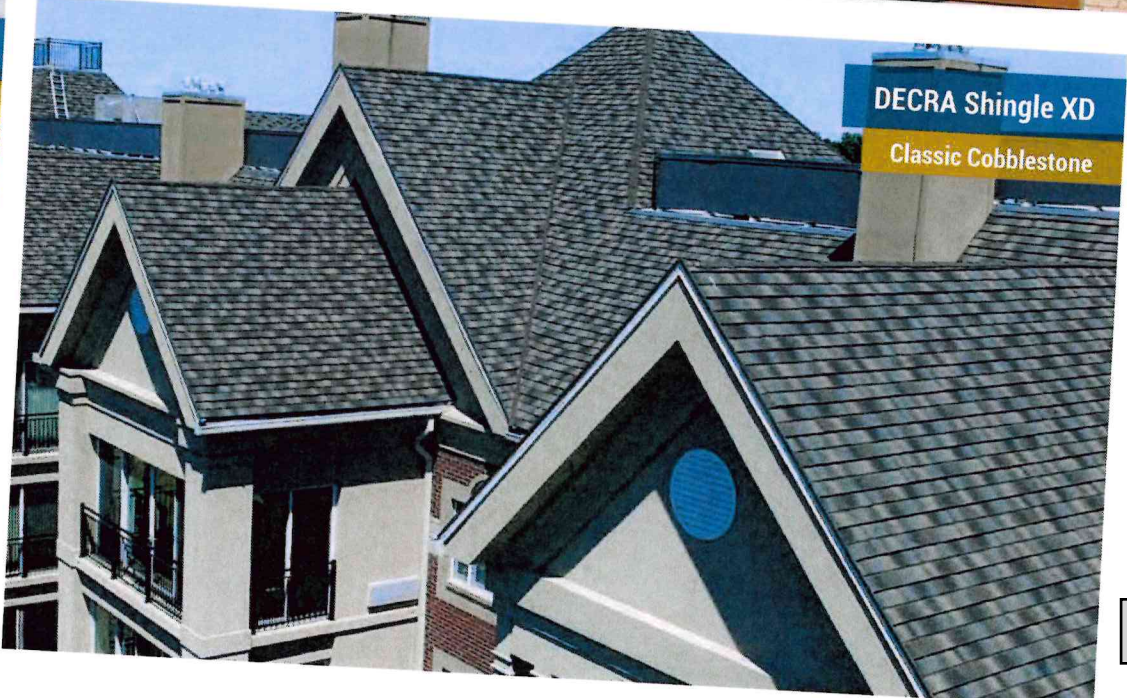
DECRA Shingle XD

Old Hickory



DECRA Shingle XD

Old Hickory



DECRA Shingle XD

Classic Cobblestone

DECRA Shake XD

Pinnacle Grey

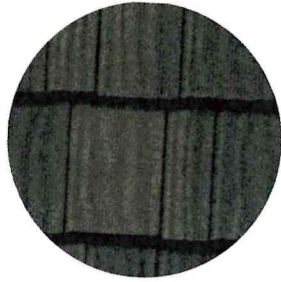
Section 5, Item J.



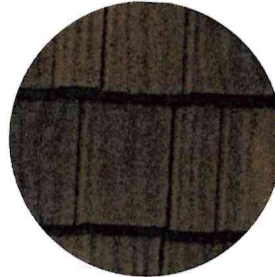
DECRA SHAKE XD[®]

Classic Beauty of Hand-Split Wood Shake

DECRA Shake XD, emulating the classic beauty and architectural detail of a rustic, hand-split wood shake, has a unique hidden fastening system and is installed direct-to-deck.



PINNACLE GREY



ANTIQUE CHESTNUT

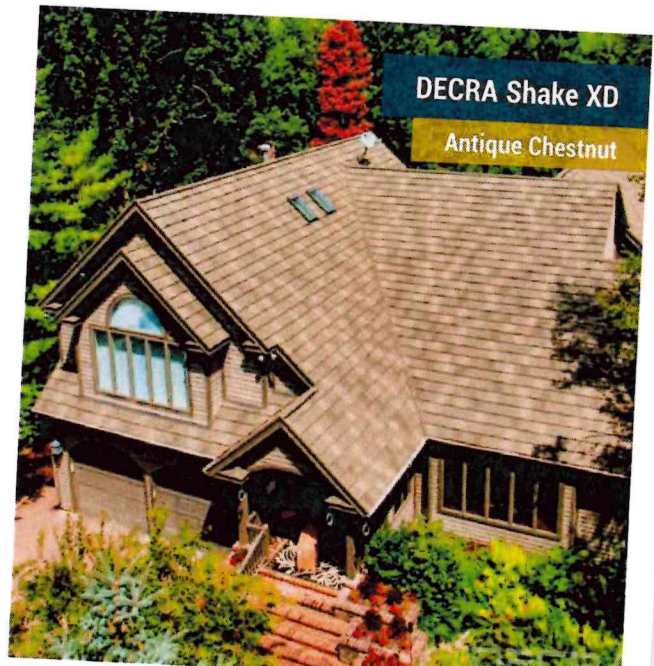


MIDNIGHT ECLIPSE*



WOODLAND GREEN*

*Please note these colors are MTO (made to order) and production times may be extended.



DECRA Shake

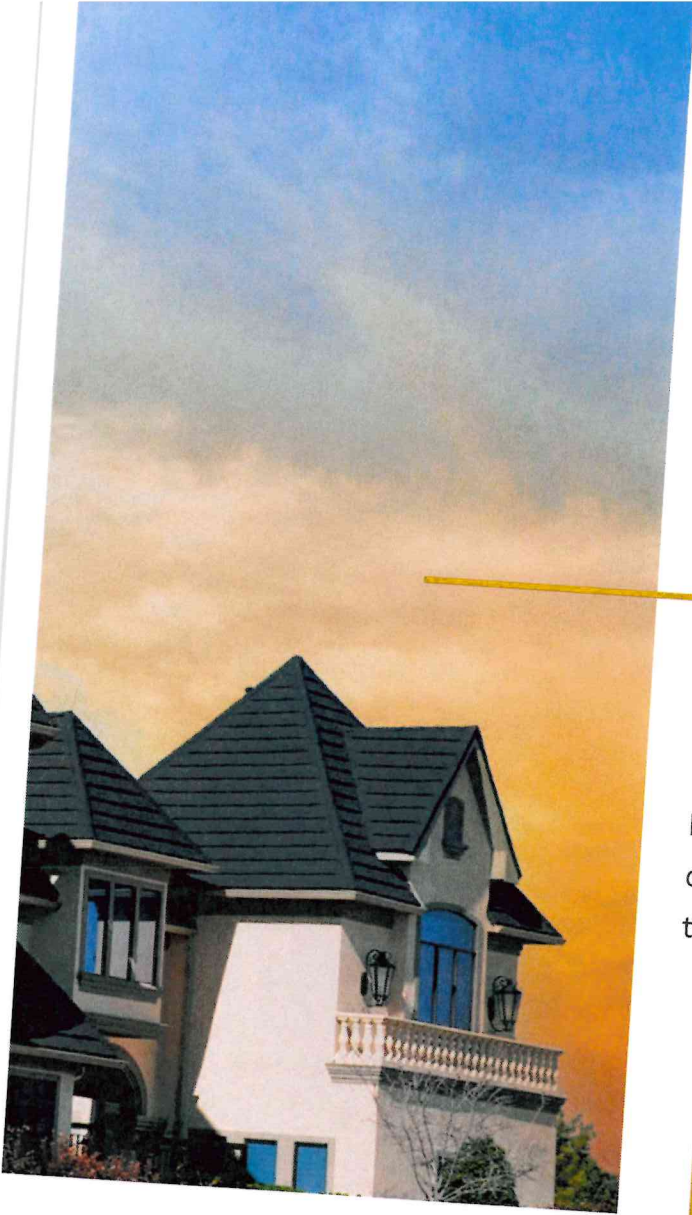
Charcoal



DECRA Shake

Chestnut

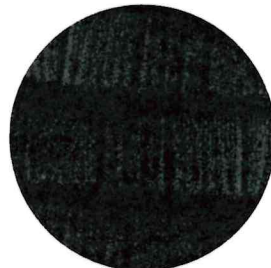




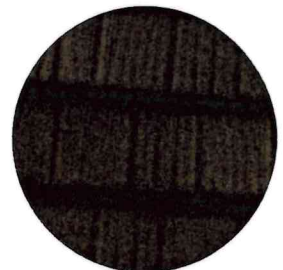
DECRA SHAKE

Beauty and Richness of Cedar Shake

DECRA stone-coated steel shakes provide the same distinctive rich beauty of cedar shakes with the durability to handle anything Mother Nature dishes out.



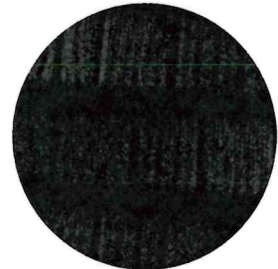
CHARCOAL



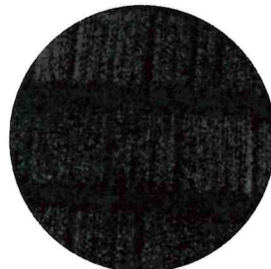
CHESTNUT



GRANITE GREY



WEATHERED TIMBER



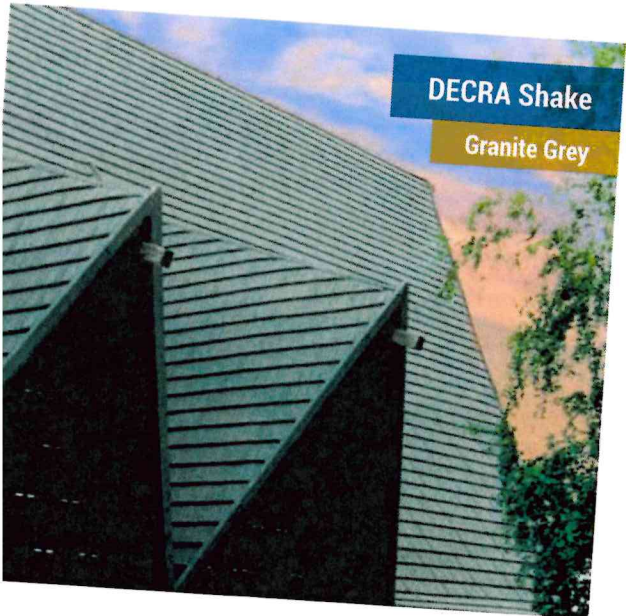
SHADOWWOOD



WOODLAND GREEN*

DECRA Shake

Granite Grey



*Please note these colors are MTO (made to order) and production times may be extended.



PRODUCT COMPARISON

Traditional roofs are temporary when compared to DECRA.

In an average lifetime, a homeowner will need to replace a traditional roof at least two-and-a-half times. With DECRA, there's no worrying about costly, unexpected expenses. Plus, DECRA's Lifetime Limited Warranty eliminates the hassle.



=



TRADITIONAL ROOF

PROVEN HISTORY OF SURVIVING HARSH CONDITIONS

DECRA's roofing systems have excelled through some of the harshest weather conditions around the world for over 60 years. DECRA's interlocking panels are strong and non-combustible (Class A fire-rated), and they are covered by a transferable Lifetime Limited Warranty, including peace-of-mind coverage for winds up to 120 mph and is class IV impact resistant.



A DECRA roof is durable, freeze-thaw resistant, and will offer richness and beauty to enhance your home. For style and protection, DECRA is the obvious choice.





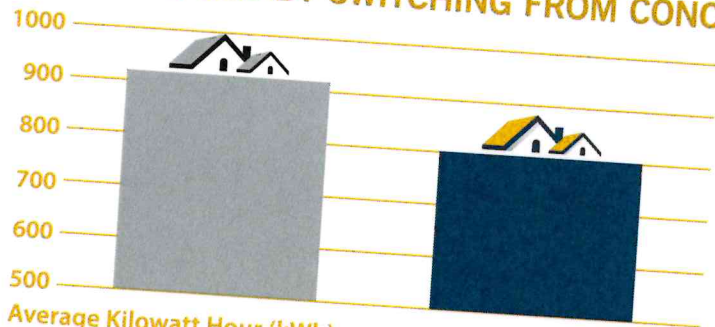
BENEFIT FROM ABOVE SHEATHING VENTILATION (ASV): DECRA Metal Roofing panels create an airspace between the panel and the roof deck thereby mitigating the amount of heat transferred into the structure so it remains cooler in the summer and reduces ice damming in the winter.



COOL ROOFING — LITERALLY

A DECRA family lowered its kilowatt use by 15%, simply by installing a DECRA Villa Tile roofing system.

ENERGY SAVED BY SWITCHING FROM CONCRETE TILE TO DECRA VILLA TILE



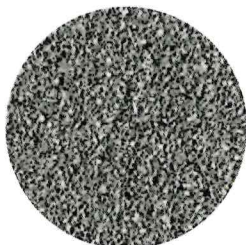
Average Kilowatt Hour (kWh)

■ Concrete Tile ■ DECRA Villa Tile
METAL ROOFING

DECRA'S COOL ROOF COLORS



ROYAL OAK



MIST GREY



SPANISH CLAY

Cool Colors qualify for Title 24 Cool Roof requirements. Available on all DECRA Metal Roofing Profiles.

“This spring was much hotter than last year, but we used our air conditioning much less. Clearly, our house has stayed cooler with the addition of our DECRA roof.”

— Holly Summers
Ellicott City, Maryland





YOU'LL KNOW WHEN IT'S A DECRA ROOF

What is DECRA's warranty?

DECRA roofs carry a Lifetime Limited Warranty, covering 120 mph winds and manufacturing defects, including excessive granule loss. In addition, material and labor are covered for the first 20 years; after that time, material is covered for the remaining warranty period.



Can I get a discount on my homeowners insurance?

In many states, the Class 4 Impact Resistance rating can earn a discount on homeowners insurance. Ask your local insurance agent for details.

Is a DECRA roofing system more expensive?

A DECRA roof offers more value for your money. You would have to purchase and install two-and-a-half shingle roofs for the cost of one DECRA roof. Similar to most products you buy – you get what you pay for. A DECRA roof offers more for your money and can last a lifetime.

DECRA[®]
METAL ROOFING

877-GO-DECRA [463-3272] | DECRA.COM

Due to lighting and the printing process, roof colors and color swatches may vary from the actual product.
DECRA Roofing Systems, Inc., Corona, CA | © 2022 DECRA Roofing Systems, Inc. 0620

LIFETIME LIMITED WARRANTY

Lifetime Limited Warranty for wind \leq 120 mph and hailstone \leq 2.5 inches penetration 30 year limited warranty on finish

This Limited Warranty is intended to provide the owner of the structure on which DECRA Roofing Systems Inc. (the "Company") roofing panels (the "Panels") are installed certain remedies in the event a manufacturing defect causes the specific damages hereinafter set out. This Limited Warranty is NOT a guarantee of performance.

Please note that all disputes relating to this Limited Warranty must be resolved by mandatory binding arbitration and no claims may be filed on a consolidated or class action basis. Some jurisdictions do not allow for mandatory arbitration, so this requirement may not apply to you. Please see below for further details.

You may return all Panels to the Company's authorized dealer, no later than 30 days after purchase, for a full refund if you are unsatisfied with any of the terms and conditions of this Limited Warranty, provided that such Panels remain in their original and marketable condition and that all Panels purchased for the job are returned.

Remedy in the event of leaks, blow-off or hailstone penetration: In the event the Panels are determined to have a manufacturing defect which (a) directly results in leaks, (b) results in blow off of the Panels by winds of up to 120 mph (193 kph); or (c) results in damage to the Panels caused by the penetration of hailstones of 2.5 inches (6 cm) or less completely through the Panels, the Company will, at its option, either repair or replace the defective Panel(s), provided that the Company's liability will be limited (i) during the first 20 years following the original installation, to the reasonable replacement cost (labor and materials) of the particular defective Panel(s), as determined by the Company; (2) during years 21 through 40 following the original installation, to the reasonable replacement cost (materials only) of the particular defective Panel(s), prorated at 1/600 per month elapsed since the original installation; and (3) for years 41 and beyond, to 20% of the reasonable replacement cost (materials only) of the particular defective Panel(s), as determined by the Company.

Remedy in the event of deterioration of finish: In the event the Panels are determined to have a manufacturing defect which has caused the material deterioration of the Panels such that the appearance of the roof is substantially affected in areas of the roof that are visible from the ground, the Company will, during the first 15 years following the original installation, at its option, either repair or replace the defective Panels, at the Company's cost, including labor costs, as determined by the Company; and thereafter during the next 15 years, the Company's liability will be limited to the reasonable replacement cost (materials only) of the defective Panels only, prorated at 1/360 per month elapsed since the original installation, as determined by the Company. Coverage hereunder will terminate 360 months from the original installation of the Panels. Specifically excluded from coverage is normal weathering and aging, including minor granule loss, as well as deterioration of the finish resulting from improper use, handling and cleaning. Please see Exclusions for further details.

Warranty Period: This Limited Warranty provides coverage to the original owner of the single family detached residential dwelling on which the Panels were originally installed (the "Owner") for the following periods: (1) in respect of coverage for leaks, blow-off and hailstone penetration, for the lifetime of the Owner while the Owner owns the dwelling; and (2) in respect of coverages for the finish, for a period of 30 years from the date of the original installation of the Panels.

The coverage in respect of leaks, blow-off and hailstone penetration for any type of property other than a single family detached residential dwelling shall be 50 years from the date of original installation, and shall be limited to the reasonable replacement cost

(labor and materials), of the particular defective Panel(s) during the first 20 years and during years 21 through 50, to the reasonable replacement cost (materials only) of the particular defective Panel(s), prorated at 1/600 per month elapsed since the original installation.

Transferability; Coverage and Warranty Period on Transfer: The Owner may transfer this Limited Warranty to a subsequent owner of the dwelling during the first twenty (20) years after the Panels' original installation. To be effective, the transfer information (property address, original owner, new owner and a copy of the original proof of purchase) must be mailed to the Company by certified mail at the address noted below within 30 days from the change of ownership. Further transfers or transfers not in compliance with this notice provision will void the warranty.

The coverage extended to such subsequent owner in respect of the finish shall be as set out above.

The coverage extended to such subsequent owner in respect of leaks, blow-off and hailstone penetration shall be as set out above for the first 20 years since the original installation of the Panels, but shall thereafter be limited to a 50 year warranty, with the liability of the Company in years 21-50 being limited to the reasonable replacement cost (materials only) of the particular defective Panel(s), prorated at 1/600 per month elapsed since the original installation.

Exclusions: This Limited Warranty does not cover damages arising from any cause or circumstances other than those detailed above, and accordingly causes or circumstances not covered under this Limited Warranty include, but are not necessarily limited to: (a) damage resulting from improper installation, or inadequate roof pitch, or the failure to follow the Company's installation instructions, or failure to follow applicable building codes; (b) damage resulting from defects, movement or subsidence in the structure on which the Panels were installed; (c) damage caused by improper foot traffic, misuse, improper handling or neglect of or on the Panels; (d) damage or change in appearance resulting from application of cleaning solutions, paints or coatings not specifically approved in writing by the Company; (e) shading or discoloration or damage caused by fungus, mold, lichen or algae, or other contaminants; (f) color fading or color changes due to normal weathering and aging, including minor granule loss or (g) damages resulting from modifications or change in design and function of the Panels without the Company's prior written consent.

Claims Procedure: In order to make a valid claim under this Limited Warranty, the claim must be submitted within thirty (30) days from discovery of the facts on which the claim is based. The claim may only be submitted by the Owner and will not be accepted if it does not include the following: (a) name and contact information of the Owner (b) the date of original installation (c) documented proof of purchase, (d) the date of discovery of the damage, and (e) a detailed description of the defect, including the number of affected Panels and photographs. You may be required to supply additional information and samples of the affected Panels, if so requested by the Company. The claim can be submitted via email to claims@decra.com or in writing by certified mail to the address of the Company noted below.

All warranty repair and replacement work will be at the sole discretion of the Company. Decisions on warranty claims will be made only through the Company's Office of Warranty Claims and will be communicated in writing. No other representative of the Company shall have authority to bind the Company in respect of this Warranty, and

any oral communications will not be binding on the Company. Work done prior to a submitted claim or not authorized in writing by the Company or by a contractor not chosen by the Company may be subject to denial or limited claim reimbursement.

Limitation of Liability: If the Company elects to replace Panels, the Company will attempt to replace the Panels with Panels of the same color and design, but does not guarantee that such replacement Panels will be available, and accordingly, the Company bears no responsibility for variations in color or appearance by reason of the use of a different color and design, as well as by reason of progressive fading of the remaining Panels. The Limited Warranty term on repaired or replacement Panels will be the remaining term of the original Panels, which commenced on the date of installation of the original Panels, except if otherwise required by law. The reasonable cost of repair or replacement of any defective Panels shall be determined by the Company in its sole discretion. **THE REMEDIES SET OUT IN THIS LIMITED WARRANTY ARE THE OWNER'S SOLE AND EXCLUSIVE REMEDIES, AND THE COMPANY'S OBLIGATIONS CONTAINED IN THIS LIMITED WARRANTY ARE EXPRESSLY IN LIEU OF ANY OTHER OBLIGATIONS, GUARANTEES, WARRANTIES, AND CONDITIONS EXPRESSED OR IMPLIED, INCLUDING ANY IMPLIED WARRANTY OR CONDITION OF MERCHANTABILITY OR FITNESS FOR A PARTICULAR PURPOSE, AND OF ANY OTHER OBLIGATIONS OR LIABILITY ON THE PART OF THE COMPANY. THE COMPANY SHALL IN NO EVENT HAVE ANY LIABILITY FOR INJURY OR DAMAGE TO ANY PROPERTY OR PERSON, LOSS OF BUSINESS OR PROFITS, DIRECT OR INDIRECT ECONOMIC DAMAGES, CONSEQUENTIAL, INCIDENTAL, ECONOMIC, INDIRECT, SPECIAL OR PUNITIVE DAMAGES OR LOSSES OF ANY KIND WHATSOEVER, WHETHER TO THE OWNER OR THIRD PARTIES. THE FOREGOING LIMITATIONS WILL NOT APPLY IN ANY JURISDICTION WHICH DOES NOT ALLOW FOR SUCH LIMITATIONS AS A MATTER OF LAW.**

MANDATORY BINDING ARBITRATION AND WAIVER OF CLASS ACTION: BY PURCHASING THE PANELS, YOU HAVE AGREED THAT EVERY CLAIM, CONTROVERSY OR DISPUTE (EACH AN "ACTION") BETWEEN YOU AND THE COMPANY ARISING OUT OF OR RELATING TO THIS LIMITED WARRANTY OR THE BREACH THEREOF OR RELATING TO THE PANELS SHALL BE SETTLED BY FINAL AND BINDING ARBITRATION. **YOU AND THE COMPANY AGREE THAT ANY ACTION WILL BE ARBITRATED ON AN INDIVIDUAL BASIS AND THAT NO CLAIM(S) WILL BE CONSOLIDATED OR AGGREGATED WITH THE CLAIM(S) OF ANY OTHER PERSON BY CLASS ACTION, CLASS ARBITRATION, IN A REPRESENTATIVE CAPACITY OR OTHERWISE.** TO ARBITRATE AN ACTION AGAINST THE COMPANY, YOU MUST INITIATE THE ARBITRATION, FOR U.S. CLAIMS, IN ACCORDANCE WITH THE FEDERAL ARBITRATION ACT, TO BE CONDUCTED BY A SINGLE ARBITRATOR IN ACCORDANCE WITH THE RULES OF THE AMERICAN ARBITRATION ASSOCIATION, AND FOR CANADIAN CLAIMS, IN ACCORDANCE WITH THE ARBITRATION ACT, R.S.A. 2000, c.A-43, ALBERTA, AS MAY BE AMENDED, AND YOU MUST COMMENCE THE ARBITRATION AND PROVIDE WRITTEN NOTICE TO THE COMPANY BY CERTIFIED MAIL AT THE ADDRESS NOTED BELOW WITHIN THE TIME PERIOD SET OUT BELOW.

IF YOU PREVAIL ON YOUR CLAIMS IN THE ARBITRATION, THE COMPANY WILL REIMBURSE YOU FOR ANY FILING AND ADMINISTRATIVE FEES PAID BY YOU TO THE ARBITRATION ORGANIZATION.

YOU AND THE COMPANY AGREE THAT THE ARBITRATION, ALL PROCEEDINGS THEREUNDER AND THE RULING OR AWARD OF THE ARBITRATOR SHALL BE AND REMAIN CONFIDENTIAL AND SHALL NOT BE DISCLOSED TO ANY THIRD PARTIES. You and the Company acknowledge and agree that a breach of confidentiality by a party may cause irreparable harm to the other party. The party who breaches this confidentiality provision agrees that money damages would not be a sufficient remedy, and that in addition to all other remedies, the non-breaching party shall be entitled to injunctive or other equitable relief as a remedy for any such breach, and the breaching party further agrees to waive any requirement for the securing or posting of any bond in connection with such remedy. In the event of litigation or arbitration relating to this confidentiality provision, if an arbitrator or a court of competent jurisdiction determines that any party has breached this confidentiality provision, such breaching party shall be liable for and shall pay to the other party the reasonable legal fees and other costs incurred by the Disclosing Party in connection with such arbitration or litigation, including any appeal therefrom.

Some jurisdictions do not allow mandatory arbitration, so the above arbitration provision may not apply to you in those jurisdictions. An Action may also be referred to another arbitration organization if you and the Company agree in writing. The Company will not elect arbitration for any Action you file in court in which you agree not to seek to recover more than \$25,000, including attorney's fees and costs, so long as the claim is individual and pending only in that court. You may also reject this arbitration provision by notifying the Company in writing within 45 days of the installation of the Panels or the valid transfer of this Limited Warranty to you. If any portion of this arbitration provision is not enforced in the arbitration, then either you or the Company can file a lawsuit in court to adjudicate the arbitrability of the Action and the enforceability of the portion of the arbitration provision at issue.

ONE YEAR LIMITATION: ACTION FOR BREACH OF THIS LIMITED WARRANTY OR ANY OTHER ACTION AGAINST THE COMPANY ARISING OUT OF OR RELATING TO THE PANELS SHALL **NOT** BE BROUGHT LATER THAN ONE YEAR AFTER ANY CAUSE OF ACTION HAS ACCRUED. IN JURISDICTIONS WHERE STATUTORY CLAIMS OR IMPLIED WARRANTIES AND CONDITIONS CANNOT BE EXCLUDED, ALL SUCH STATUTORY CLAIMS, IMPLIED WARRANTIES AND CONDITIONS AND ALL RIGHTS TO BRING ACTIONS FOR BREACH THEREOF EXPIRE ONE YEAR (OR SUCH LONGER PERIOD OF TIME IF MANDATED BY APPLICABLE LAWS) AFTER THE DATE OF PURCHASE. SOME JURISDICTIONS DO NOT ALLOW LIMITATIONS ON HOW LONG AN IMPLIED WARRANTY OR CONDITION LASTS, SO THE ABOVE LIMITATION MAY NOT APPLY TO YOU.

If any provision of this Limited Warranty if determined by a court of competent jurisdiction to be invalid, void or unenforceable, the remaining provisions shall continue in full force and effect.

This Limited Warranty applies to Panels purchased in the US or Canada on or after September 10, 2020 and supersedes any previously published warranties. The Company may from time to time amend the terms of this Limited Warranty, and the terms and conditions of the Limited Warranty in effect at the time of your purchase of the Panels shall govern your Panels. Dealers and installers of the Panel(s) are not authorized to extend or modify the terms of this Limited Warranty in any manner.

Manufactured by **DECRA Roofing Systems, Inc.**
1230 Railroad Street, Corona, CA 92882

Notice of Membership Interest In a Committee or Commission



Thank you for your interest in becoming involved with a Village of Kronenwetter Committee or Commission. The members of committees/commissions are critical to the Village's success in many areas. On the back of this form you'll find a brief description of each committee/commission that includes non-elected officials in its membership. At various times throughout the year, membership openings for residents may occur and, as they arise, we will follow up on your interest in participation. A stipend is paid for each meeting attended.

Name (as you prefer to be addressed) Bob Peterson

Address 1900 Deerwood Trail

E-Mail Bobopet@charter.net

Phone # 7153703080

INDICATE THE COMMITTEE(S)/COMMISSION(S) THAT ARE OF INTEREST TO YOU (see back for more info)

- | | |
|--|--|
| <input type="checkbox"/> Administrative Policy Committee (APC) | <input type="checkbox"/> Community Life, Infrastructure, & Public Property Committee (CLIPP) |
| <input checked="" type="checkbox"/> Utilities Committee (UC) | <input type="checkbox"/> Police and Fire Commission (PFC) |
| <input type="checkbox"/> Plan Commission (PC) | <input type="checkbox"/> Redevelopment Authority (RDA) |
| <input type="checkbox"/> Board of Appeals (BOA) | <input type="checkbox"/> Kowalski Overpass i39 Ad-hoc committee |

Why are you interested in serving on this/these particular group(s)?

Having worked around construction my entire career and possessing a fairly good mechanical Aptitude. Working for the village in this capacity piqued my interest. Now that I am retired.

How are your experiences or qualifications related to the selected committee/commission?

As stated, my construction and mechanical experience I believe would be a positive Background for the Village.

Describe professional background and other community involvement (current or in the past):

Territory mgr, for Cat, and Deere construction equipment. National sales for Local equipment Attachment mfg, product rep in the steel industry. Former coach, And Scoutmaster.

Signature _____

Date 12/07/2023



ADMINISTRATIVE POLICY COMMITTEE (APC) – Provides recommendations to the Village Board on issues regarding administrative procedures, human resources policies, and financial matters including policies and annual budgets, monitoring of revenues and expenses, and any other matters referred to it by Village Board or Administrator. Typically meets monthly; may meet more frequently during budget preparation period.

COMMUNITY LIFE, INFRASTRUCTRE AND PUBLIC PROPERTY COMMITTEE (CLIPP) – Provides recommendations to the Village Board on issues regarding community safety including police and fire department operations and budgets; village inspection services, traffic and pedestrian safety matters; community life matters such as recreation opportunities and community outreach, forestry Programs, refuse collection contracts; and any other matters referred to it by Village Board or Administrator. Typically meets monthly.

UTILITIES COMMITTEE (UC) – Provides recommendations to the Village Board on issues regarding policy and long-term planning for the Village of Kronenwetter Water and Sewer utilities, expansion of broadband services within the Village, storm sewer system policy and long-term planning, utility bill appeals for the Village of Kronenwetter Water and Sewer utility, review of the budget for the Village of Kronenwetter Water and Sewer utility; and any other matters referred to it by Village Board or Administrator. Typically meets monthly.

POLICE AND FIRE COMMISSION (PFC) – Exercises exclusive jurisdiction over the hiring, promotion, and discipline of police officers and fire fighters. Also has jurisdiction over the hiring, promotion, and discipline of Emergency Medical Technicians and First Responders. Typically meets monthly.

PLAN COMMISSION (PC) – Acts to further the health, safety, welfare, and wise use of resources for the benefit of current and future residents of the Village and affected neighboring jurisdictions. Adopts and implements comprehensive planning; emphasizes significant citizen involvement. Typically meets monthly; may meet more frequently while working on special projects.

REDEVELOPMENT AUTHORITY (RDA) – Created for the purpose of carrying out blight elimination, slum clearance, and urban renewal programs and projects. May transact business and exercise any of the powers granted by applicable state statutes or by resolution of the Village government. Typically meets monthly.

BOARD OF APPEALS (BOA) – In appropriate cases and subject to appropriate conditions and safeguards, the Board of Appeals is authorized to make special exceptions to the Village of Kronenwetter Zoning Ordinance, provided such exceptions are in harmony with the general and specific zoning rules. Typically meets very infrequently.

KOWALSKI OVERPASS i39 AD-HOC COMMITTEE – The Village Board at their September 10th 2019 Village Board meeting elected to put together a special committee that will review all of the information regarding access from Kowalski Road on i39. The Committee will be tasked with working with Village Staff to put together a recommendation to the Village Board regarding the next steps the Village should take to obtain an on and off ramp from i39 at Kowalski Road in the Village. The Committee will meet as needed to put together a report to the Village Board.

Animal Fancier License (Permit) Renewal

License Fee. \$75 per year (paid w/application) + Each Dog Individually Licensed (current tag fees; paid after approval)

Animal fancier is any person owning, harboring or keeping, when accessory to an established residential use, the allowable number of cats or dogs specified for an animal fancier in this Ordinance, for personal and noncommercial purposes, which includes but is not limited to hunting, tracking, exhibition in dog shows, obedience trials, field trials, dog sledding, animal foster rescue or to enhance or perpetuate a given breed, and other uses determined by the humane officers to be similar in nature.



Applicant Information

Applicant's Name Todd + Lisa Braun Phone Number 715-298-1227
 Property Address 1887 Kowalski City Kronenwetter State WI Zip Code 54455
 Application Year 2024 New Application or Renewal (Circle One)

Property Information

Section 12 Township T27N Range R7E or Parcel Identification # (PIN) 37.145.4.2707.122.0055
 Parcel Acreage 0.51 Zoning District Single Family Residential

Operations Information

Number of: Cats 0 Dogs 4

Have any changes been made in the past license year in regards to the animal fancier operation? If so, please explain:

no changes

Required Attachment

1. Animal Information for each animal owned, harbored, or kept under the Animal Fancier License.

Applicant Acknowledgement

All information included in this application is true to the best of my knowledge. I have read "§200-7. Animal fanciers" and understand the regulations that govern the Animal Fancier License. I understand that upon notice of any violation I will be allowed up to 30 days, following written notification of any violations of this Chapter or any subsection of this chapter by the humane officer or their designee, to correct any violations. Failure to correct these violations shall result in immediate revocation of the license by the Village Board.

Lisa Braun
Applicant

11/20/2023
Date

Same as 4 original dogs on app in 2021

Owner's Animal Information

Animal # 1
 Animal Name Auggie (15 pounds) D.O.B. / / or Age 11
 Primary Breed Terrier Mix Second Breed Shih Tzu
 Rabies Tag # 13173 Expiration Date 4/4/25
 Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable) NA

Animal # 2
 Animal Name Sempi (11 pounds) D.O.B. / / or Age 12
 Primary Breed Chihuahua Second Breed NA
 Rabies Tag # 14402 Expiration Date 7/10/26
 Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable) NA

Animal # 3
 Animal Name Benny (12 pounds) D.O.B. 12 / 2 / 2020 or Age
 Primary Breed Chihuahua Second Breed Mini Aussie
 Rabies Tag # 13172 Expiration Date 4/4/25
 Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable) 985141217974

Animal # 4
 Animal Name Gibson/Gibby (70 pounds) D.O.B. 2 / 27 / 2021 or Age
 Primary Breed Goldendoodle Second Breed NA
 Rabies Tag # 13297 Expiration Date 6/22/25
 Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable) 985141003214702

~~Animal #
 Animal Name D.O.B. / / or Age
 Primary Breed Second Breed
 Rabies Tag # Expiration Date
 Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable)~~

CERTIFICATE OF VACCINATION

Date of Rabies Vaccination: 06-23-22
Next Rabies Vaccination On: 06-22-25

VETERINARY CLINIC
Weston Veterinary Hospital
5803 Amir Drive
Weston, WI 54476
715-359-4004

OWNER OF ANIMAL
Lisa Braun
1887 Kowalski Road
Kronenwetter, WI 54455
County:

This is to certify...

THAT I HAVE VACCINATED AGAINST RABIES THE ANIMAL DESCRIBED BELOW.

PATIENT: Gibson
SPECIES: Canine
COLOR / MARKINGS: Tan
MICROCHIP NUMBER: 985141003214702

AGE: 20M
SEX: Neutered Male

Signed  _____
Kristin Raymond, DVM

License: 467509

Vaccinations due...

- 06-14-22 Wellness Exam
- 06-22-25 Canine Distemper (DHPP) 3yr
- 06-23-23 Heartworm test
- 06-23-23 Wellness Exam
- 07-12-22 Lepto 4-Way Vaccine 1yr
- 06-14-22 Lyme Vaccination 1yr
- 06-22-25 Rabies Vaccination 3 yr

Rabies Vaccine Information...

MFG BY: MERIA
SER. NO: 18528
LOT EXP: 09/15/23

TAG NO: 13297
ADM: SQ

CERTIFICATE OF VACCINATION

Date of Rabies Vaccination: 04-05-22
Next Rabies Vaccination On: 04-04-25

VETERINARY CLINIC
Weston Veterinary Hospital
5803 Amir Drive
Weston, WI 54476
715-359-4004

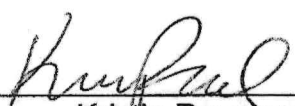
OWNER OF ANIMAL
Lisa Braun
1887 Kowalski Road
Kronenwetter, WI 54455
County:

This is to certify...

THAT I HAVE VACCINATED AGAINST RABIES THE ANIMAL DESCRIBED BELOW.

PATIENT: Auggie
SPECIES: Canine
COLOR / MARKINGS: Carmel
MICROCHIP NUMBER:

AGE: 9Y
SEX: Neutered Male

Signed  _____
Kristin Raymond, DVM

License: 467509

Vaccinations due...

- 04-04-25 Canine Distemper (DHPP) 3yr
- 04-05-23 Heartworm test
- 08-29-23 Wellness Exam
- 08-29-23 Lepto 4-Way Vaccine 1yr
- 08-29-23 Lyme Vaccination 1yr
- 04-04-25 Rabies Vaccination 3 yr

Rabies Vaccine Information...

MFG BY: MERIA
SER. NO: 18526
LOT EXP: 05-20-23

TAG NO: 13173
ADM: SQ

CERTIFICATE OF VACCINATION

Date of Rabies Vaccination: 04-05-22
Next Rabies Vaccination On: 04-04-25

VETERINARY CLINIC
Weston Veterinary Hospital
5803 Amir Drive
Weston, WI 54476
715-359-4004

OWNER OF ANIMAL
Lisa Braun
1887 Kowalski Road
Kronenwetter, WI 54455
County:

This is to certify...

THAT I HAVE VACCINATED AGAINST RABIES THE ANIMAL DESCRIBED BELOW.

PATIENT: Benny
SPECIES: Canine
COLOR / MARKINGS: Tan
MICROCHIP NUMBER: 985141217974

AGE: 23M
SEX: Neutered Male

Signed  _____
Kristin Raymond, DVM

License: 467509

Vaccinations due...

- 04-04-25 Canine Distemper (DHPP) 3yr
- 04-05-23 Heartworm test
- 04-05-23 Wellness Exam
- 06-23-23 Lepto 4-Way Vaccine 1yr
- 06-23-23 Lyme Vaccination 1yr
- 04-04-25 Rabies Vaccination 3 yr

Rabies Vaccine Information...

MFG BY: MERIA
SER. NO: 18526
LOT EXP: 05-20-23

TAG NO: 13172
ADM: SQ

CERTIFICATE OF VACCINATION

Date of Rabies Vaccination: 07-11-23
Next Rabies Vaccination On: 07-10-26

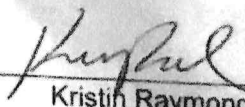
VETERINARY CLINIC
Weston Veterinary Hospital
5803 Amir Drive
Weston, WI 54476
715-359-4004

OWNER OF ANIMAL
Lisa Braun
1887 Kowalski Road
Kronenwetter, WI 54455
County:

This is to certify...
THAT I HAVE VACCINATED AGAINST RABIES THE ANIMAL DESCRIBED BELOW.

PATIENT: Sempi
SPECIES: Canine
COLOR / MARKINGS: Brown
MICROCHIP NUMBER:

AGE: 12Y
SEX: Spayed Female

Signed 
Kristin Raymond, DVM

License: 467509

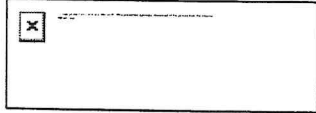
- Vaccinations due...**
- 07-10-26 Canine Distemper (DHPP) 3yr
 - 04-05-23 Heartworm test
 - 07-10-24 Wellness Exam
 - 04-05-23 Lepto 4-Way Vaccine 1yr
 - 04-05-23 Lyme Vaccination 1yr
 - 07-10-26 Rabies Vaccination 3 yr

Rabies Vaccine Information...

MFG BY: MERIA **TAG NO:** 14402
SER. NO: 18567 **ADM:** SQ
LOT EXP: 09/28/24

Sarah Fisher

From: no-reply@allpaid.com
Sent: Sunday, November 19, 2023 1:51 PM
To: Lou Luedtke; Kimberly Coyle; Dianne Drew; Sarah Fisher; Lisa Kerstner
Subject: [External] MISCELLANEOUS PAYMENTS Payment Notification



24 Hour Customer Service #: 800-989-7780

MISCELLANEOUS PAYMENTS CONFIRMATION EMAIL

PLC: VILLAGE OF KRONENWETTER **DATE:** 11/19/23
a000tt 1582 KRONENWETTER DRIVE
KRONENWETTER, WI 54455
FOR: MISCELLANEOUS PAYMENTS

TRANSACTION INFORMATION

Name: LISA BRAUN
Contact Phone #: 715-298-1227
Invoice #: FANCIER RENEWAL
Email Address: LJEANR@YAHOO.COM
Notes: RENEWAL APPLICATION EMAILED TO VILLAGE CLERK, BBIRKLABARGE@KRONENWETTER.ORG

APD TRANSACTION REFERENCE #: TX_11355103
TRANSACTION REFERENCE #: 40453729
TRANSACTION DATE/TIME: 11/19/2023 10:30:01 EST

BILLING INFORMATION

NAME: LISA BRAUN
ADDRESS: 1887 KOWALSKI
CITY, STATE ZIP: KRONENWETTER , WI 54455
PHONE #: 715-298-1227
CARD #: xxxx-xxxx-xxxx-4661

PAYMENT INFORMATION

APPROVAL #: 229520
PAYMENT AMOUNT: \$75.00
SERVICE FEE: \$1.75
TOTAL AMOUNT: \$76.75

The service fee is not refundable.

ATTENTION VILLAGE OF KRONENWETTER:

To make corrections, call AllPaid at 800-989-7780, or login to ProviewExp at www.ProViewEXP.com.

Thank you for using AllPaid

From: [Dianne Drew](#)
To: [Bobbi Birk-LaBarge](#)
Subject: RE: Animal Fancier Renewal Application
Date: Tuesday, November 28, 2023 8:33:23 AM

Bobbi Jo,

The only two calls at 1887 Kowalski Road were on 3/23/2010 and 7/14/2013, so nothing in over 10 years.

Dianne Drew, Police Clerk
Kronenwetter Police Department
1582 Kronenwetter Drive
Kronenwetter, WI 54455
(715)693-4215

-----Original Message-----

From: Bobbi Birk-LaBarge <bbirklabarge@kronenwetter.org>
Sent: Tuesday, November 28, 2023 8:28 AM
To: Dianne Drew <ddrew@kronenwetter.org>
Subject: Animal Fancier Renewal Application

Dianne,

Has there been any animal complaints in reference to Todd and Lisa Braun located at 1887 Kowalski? They are renewing their animal fancier permit.

Bobbi Birk-LaBarge
Village Clerk – Kronenwetter

Animal Fancier License (Permit) Renewal

License Fee: \$75 per year (paid w/application) + Each Dog Individually Licensed (current tag fees; paid after approval)

Animal fancier is any person owning, harboring or keeping, when accessory to an established residential use, the allowable number of cats or dogs specified for an animal fancier in this Ordinance, for personal and noncommercial purposes, which includes but is not limited to hunting, tracking, exhibition in dog shows, obedience trials, field trials, dog sledding, animal foster rescue or to enhance or perpetuate a given breed, and other uses determined by the humane officers to be similar in nature.



Applicant Information

Applicant's Name MaryAnn Stark Phone Number 715-218-2989

Property Address 1811 Jackie Rd City Kronenwetter State WI Zip Code 54455

Application Year 2024 New Application or Renewal (Circle One)

Property Information

Section _____ Township _____ Range _____ or Parcel Identification # (PIN) _____

Parcel Acreage _____ Zoning District _____

Operations Information

Number of: Cats _____ Dogs 4

Have any changes been made in the past license year in regards to the animal fancier operation? If so, please explain:

None

Required Attachment

1. Animal Information for each animal owned, harbored, or kept under the Animal Fancier License.

Applicant Acknowledgement

All information included in this application is true to the best of my knowledge. I have read "§200-7. Animal fanciers" and understand the regulations that govern the Animal Fancier License. I understand that upon notice of any violation I will be allowed up to 30 days, following written notification of any violations of this Chapter or any subsection of this chapter by the humane officer or their designee, to correct any violations. Failure to correct these violations shall result in immediate revocation of the license by the Village Board.

MaryAnn Stark
Applicant

Dec 4, 2023
Date

Please check my original application for info needed.

Owner's Animal Information

Animal # 1
Animal Name Eugene D.O.B. 4 / 4 / 2019 or Age 4
Primary Breed Corgi Second Breed color: sable
Rabies Tag # (in your files) Expiration Date _____
Species: Dog or Cat Sex: Male or Female neutered Microchip # (If Applicable) (in your files)

Animal # 2
Animal Name Gladys D.O.B. 4 / 29 / 2019 or Age 4
Primary Breed Corgi Second Breed color: sable/black
Rabies Tag # (in your files) Expiration Date (" files)
Species: Dog or Cat Sex: Male or Female spayed Microchip # (If Applicable) (" files)

Animal # 3
Animal Name Bernice D.O.B. 6 / 1 / 2021 or Age 2
Primary Breed Corgi Second Breed color: tri color
Rabies Tag # (in your files) Expiration Date (" files)
Species: Dog or Cat Sex: Male or Female spayed Microchip # (If Applicable) (" files)

Animal # 4
Animal Name Georgie D.O.B. 5 / 29 / 2023 or Age 6 mos
Primary Breed corgi Second Breed color: Merle
Rabies Tag # (in your files) Expiration Date (" files)
Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable) 900255000019867
will spay Dec. 12, 2023

Animal # _____
Animal Name _____ D.O.B. ____ / ____ / ____ or Age _____
Primary Breed _____ Second Breed _____
Rabies Tag # _____ Expiration Date _____
Species: Dog or Cat Sex: Male or Female Microchip # (If Applicable) _____

Jennifer Poyer

From: Dianne Drew
Sent: Tuesday, December 5, 2023 10:09 AM
To: Jennifer Poyer
Cc: Bobbi Birk-LaBarge
Subject: RE: Need info for fancier license application

Jennifer and Bobbi,

There have been no animal complaints at 1811 Jackie Road in Kronenwetter.

Dianne Drew, Police Clerk
Kronenwetter Police Department
1582 Kronenwetter Drive
Kronenwetter, WI 54455
(715)693-4215

From: Jennifer Poyer <jpoyer@kronenwetter.org>
Sent: Tuesday, December 5, 2023 10:02 AM
To: Dianne Drew <ddrew@kronenwetter.org>
Cc: Bobbi Birk-LaBarge <bbirklabarge@kronenwetter.org>
Subject: Need info for fancier license application

Hi Dianne,

Will you please look up any incidents regarding dogs for Mary Ann Stark at 1811 Jackie Road in Kronenwetter? She is applying for a fancier license.

Thank you!



Jennifer Poyer
Village of Kronenwetter
Communications Specialist
Deputy Clerk

Phone: 715-693-4200 ext. 1722
Email: jpoyer@kronenwetter.org

1582 Kronenwetter Drive
Kronenwetter, WI 54455

www.kronenwetter.org

[Subscribe to our monthly e-newsletter.](#)



Kennel Permit Renewal

License Fee: \$75 per year (paid w/application)

Kennel means a facility where dogs, cats or other animals are kept for boarding, grooming, training, breeding, purchase, sale or similar purposes for compensation. Such establishments may include incidental sale of pet supplies. This does not include animal shelters or a facility owned or operated by a veterinarian where animals are boarded only in conjunction with the provision of veterinary care.



Applicant Information

Applicant's Name: Cathy Fenner Phone Number: 715-551-7607
Kennel Name: Barking Kids LLC Phone Number: 715-470-3647
Property Address: 2318 Morningside Dr City: Kronenwetter State: WI Zip Code: 54455
Application Year: 2024

Property Information

Section _____ Township _____ Range _____ or Parcel Identification # (PIN) 145-2707-011-0030
Parcel Acreage _____ Zoning District SF - Single Family Residential

Operations Information

Maximum Number of Dogs: 10

Have any changes been made in the past license year in regards to the kennel operation? If so, please explain:

No

Required Attachment

1. Animal Information for each animal owned, harbored, or kept under the Kennel Permit.

Applicant Acknowledgement

All information included in this application is true to the best of my knowledge. I have read "§200-6. Kennels" and understand the regulations that govern the Kennel License. I understand that upon notice of any violation I will be allowed up to 30 days, following written notification of any violations of this Chapter or any subsection of this chapter by the humane officer or their designee, to correct any violations. Failure to correct these violations shall result in immediate revocation of the license by the Village Board.

Cathy M Fenner
Applicant

11/30/23
Date

FOR OFFICE USE ONLY:

Section 6, Item N.

Application Received: 12-1-23 Check # 1355

Zoning Administrator:
Waiver granted: Yes / No By: Pete A. Weg Date: 12/1/2023

Village Board:
Meeting Date: 12-11-23 Decision: Approved / Denied

Permit Information:
Permit# _____
Issue Date: _____
Expiration Date: _____

June 12

Jennifer Poyer

From: Dianne Drew
Sent: Tuesday, December 5, 2023 10:06 AM
To: Bobbi Birk-LaBarge
Cc: Jennifer Poyer
Subject: RE: Kennel Permit Renewal

Bobbi and Jennifer,

There have been no animal complaints at 2318 Morningside Drive (Cathy Fenner residence) since 2013 (over 10 years ago), when there was one.

Dianne Drew, Police Clerk
Kronenwetter Police Department
1582 Kronenwetter Drive
Kronenwetter, WI 54455
(715)693-4215

-----Original Message-----

From: Bobbi Birk-LaBarge <bbirklabarge@kronenwetter.org>
Sent: Friday, December 1, 2023 1:47 PM
To: Dianne Drew <ddrew@kronenwetter.org>
Cc: Jennifer Poyer <jpoyer@kronenwetter.org>
Subject: Kennel Permit Renewal

Dianne

Cathy Fenner has applied for a Kennel Renewal License. Can you see if there have been any animal complaints at the residence? Please send results to Jennifer so she can add the check to the VB packet as I will be on vacation next week.

Bobbi Birk-LaBarge
Village Clerk – Kronenwetter

Kennel Permit Renewal

License Fee: \$75 per year (paid w/application)

Kennel means a facility where dogs, cats or other animals are kept for boarding, grooming, training, breeding, purchase, sale or similar purposes for compensation. Such establishments may include incidental sale of pet supplies. This does not include animal shelters or a facility owned or operated by a veterinarian where animals are boarded only in conjunction with the provision of veterinary care.



Applicant Information

Applicant's Name: Patricia Artz Phone Number: 715-297-6960

Kennel Name: Animal House Pet Care Phone Number: 715-395-1117

Property Address: 1174 Gardner Park Rd. City: Kronenwetter State: WI Zip Code: 54455

Application Year: 2024

Property Information

Section _____ Township _____ Range _____ or Parcel Identification # (PIN) _____

Parcel Acreage _____ Zoning District _____

Operations Information

Maximum Number of Dogs: 90

Have any changes been made in the past license year in regards to the kennel operation? If so, please explain:

No

Required Attachment

1. Animal Information for each animal owned, harbored, or kept under the Kennel Permit.

That is so many. Each day we have a new group. If this is needed please reach out.

Applicant Acknowledgement All information included in this application is true to the best of my knowledge. I have read "§200-6. Kennels" and understand the regulations that govern the Kennel License. I understand that upon notice of any violation I will be allowed up to 30 days, following written notification of any violations of this Chapter or any subsection of this chapter by the humane officer or their designee, to correct any violations. Failure to correct these violations shall result in immediate revocation of the license by the Village Board.

Patricia Artz
Applicant

11-20-2023
Date

Jennifer Poyer

From: Dianne Drew
Sent: Thursday, December 7, 2023 1:53 PM
To: Jennifer Poyer
Cc: Bobbi Birk-LaBarge
Subject: RE: Animal House

There have been no animal-type complaints at the Animal House, 1174 Gardner Park Road, during the calendar year 2023. Officers did conduct business security checks at various times plus there was a false carbon monoxide alarm that went off while construction was occurring, but that is not related to the animals.

Dianne Drew, Police Clerk
Kronenwetter Police Department
1582 Kronenwetter Drive
Kronenwetter, WI 54455
(715)693-4215

From: Jennifer Poyer <jpoyer@kronenwetter.org>
Sent: Thursday, December 7, 2023 1:42 PM
To: Dianne Drew <ddrew@kronenwetter.org>
Cc: Bobbi Birk-LaBarge <bbirklabarge@kronenwetter.org>
Subject: Animal House

Hi Dianne,
Have there been any animal incidents at Animal House LLC, 1174 Gardner Park Rd.?

Thank you,



Jennifer Poyer
Village of Kronenwetter
Communications Specialist
Deputy Clerk

Phone: 715-693-4200 ext. 1722
Email: jpoyer@kronenwetter.org

1582 Kronenwetter Drive
Kronenwetter, WI 54455

www.kronenwetter.org

[Subscribe to our monthly e-newsletter.](#)



Kennel Permit Renewal

License Fee: \$75 per year (paid w/application)

Kennel means a facility where dogs, cats or other animals are kept for boarding, grooming, training, breeding, purchase, sale or similar purposes for compensation. Such establishments may include incidental sale of pet supplies. This does not include animal shelters or a facility owned or operated by a veterinarian where animals are boarded only in conjunction with the provision of veterinary care.



Section 6, Item P.

Applicant Information

Applicant's Name: Heather Zynda Phone Number: 715 432 7287
Kennel Name: Crossroads K9 Rescue Phone Number: 715 432 7287
Property Address: 839 Oak Rd City: Kronenwetter State: WI Zip Code: 54455
Application Year: 2024

Property Information

Section _____ Township _____ Range _____ or Parcel Identification # (PIN) _____
Parcel Acreage 10 acres Zoning District RR 5

Operations Information

Maximum Number of Dogs: ~~10~~ 20

Have any changes been made in the past license year in regards to the kennel operation? If so, please explain:

No

Required Attachment

- 1. Animal Information for each animal owned, harbored, or kept under the Kennel Permit.

Applicant Acknowledgement

All information included in this application is true to the best of my knowledge. I have read "§200-6. Kennels" and understand the regulations that govern the Kennel License. I understand that upon notice of any violation I will be allowed up to 30 days, following written notification of any violations of this Chapter or any subsection of this chapter by the humane officer or their designee, to correct any violations. Failure to correct these violations shall result in immediate revocation of the license by the Village Board.

Heather Zynda
Applicant

11/25/2023
Date

Jennifer Poyer

From: Dianne Drew
Sent: Thursday, December 7, 2023 2:05 PM
To: Jennifer Poyer
Cc: bobbi@nekoosawi.com
Subject: RE: Crossroads K9 Rescue, LLC License Renewal
Attachments: SKM_C30823120713580.pdf

Jennifer,

Attached is s Communications Event Report from an animal complaint at 839 Oak Road on 09/10/2023. That was the only animal-related report for the calendar year 2023 at that location.

Dianne Drew, Police Clerk
Kronenwetter Police Department
1582 Kronenwetter Drive
Kronenwetter, WI 54455
(715)693-4215

From: Jennifer Poyer <jpoyer@kronenwetter.org>
Sent: Thursday, December 7, 2023 1:43 PM
To: Dianne Drew <ddrew@kronenwetter.org>
Subject: RE: Crossroads K9 Rescue, LLC License Renewal

839 Oak Road

From: Dianne Drew <ddrew@kronenwetter.org>
Sent: Thursday, December 7, 2023 1:43 PM
To: Jennifer Poyer <jpoyer@kronenwetter.org>
Subject: RE: Crossroads K9 Rescue, LLC License Renewal

Jennifer,

Do you have an address of Crossroads K9?

Dianne Drew, Police Clerk
Kronenwetter Police Department
1582 Kronenwetter Drive
Kronenwetter, WI 54455
(715)693-4215

From: Jennifer Poyer <jpoyer@kronenwetter.org>
Sent: Thursday, December 7, 2023 1:23 PM
To: Dianne Drew <ddrew@kronenwetter.org>
Cc: Bobbi Birk-LaBarge <bbirklabarge@kronenwetter.org>
Subject: Crossroads K9 Rescue, LLC License Renewal

Hi Dianne,
Will you check for animal complaints against Crossroads K9 Rescue?
Thank you,



Jennifer Poyer
Village of Kronenwetter
Communications Specialist
Deputy Clerk

Phone: 715-693-4200 ext. 1722
Email: jpyoyer@kronenwetter.org

1582 Kronenwetter Drive
Kronenwetter, WI 54455

www.kronenwetter.org

[Subscribe to our monthly e-newsletter.](#)



COMMUNICATIONS

Event Report

Event ID: **23-124790** Call Ref #: 171 Date/Time Received: 09/10/23 12:32:56

Rpt #: Call Source: PHONE	Prime 2941 Unit: GUYER, MARIAH	Services Involved					
		<table border="1" style="margin: auto;"> <tr> <td style="width: 20px;">LAW</td> <td style="width: 20px;"></td> <td style="width: 20px;"></td> <td style="width: 20px;"></td> <td style="width: 20px;"></td> </tr> </table>	LAW				
LAW							
Location: 839 OAK RD							
X-ST: STATE HIGHWAY 153 MAPLE RIDGE RD							
Business:		Jur: CAD Service: LAW Agency: KP St/Beat: KPPD District: RA: Phone: GP: KPPD					
Nature: ANIMAL COMPLAINT Alarm Lvl: 1 Priority: 3 Medical Priority:							
Reclassified Nature:							
Caller: MENNING, RICHARD Addr: 809 OAK RD		Alarm: Alarm Type:					
Vehicle #:	St:	Report Only: No Race: Sex: Age:					
Call Taker: SOKRH1		Console: SOD2					
Geo-Verified Addr.: Yes Nature Summary Code: Disposition: C Close Comments:							

Notes: I talked with Sean the animal owner, Sean said he was aware the dogs are barking and that the neighbor was complaining. Sean said he did have a current up to date Kennel permit, Sean is going to send that over to my squad phone so I have the most recent one on record.

I called Richard back to inform him of my findings, Richard was not happy but was pleasant with LE. He said he just wants the dogs to stop barking, and doesn't want to cause an issue as "LE has better things to do than worry about barking dogs." I told Richard that unfortunately there isn't much I can do as Sean is following the Village Ordinance. [09/10/23 13:39:00 Unit:2941] RP lives at 809 Oak rd. Dogs woke RP up at 6:30 this morning. RP says there are at least half a dozen. RP has been trying to contact owners but they haven't replied. Sean Dmaus - Kronenwetter Village board? and Heather Zinda 715-697-4332 would be the neighbors phone number. It's been going on like this for 3 years, Richard is over this and has had enough. The dogs stay in the garage, and only stay in garage. Richard A. Menning 08-15-1962. Richard has not seen owners, nor are they returning his text messages. [09/10/23 12:45:37 Unit:2941]
 PRIORS SHOW POSS DOG RESCUE AT THIS ADDRESS [09/10/23 12:37:35 SOKRH1]
 Starting with 21 [09/10/23 12:37:05 Unit:2941]
 RP WOULD LIKE TO SPEAK TO OFFICER BEFORE THEY MAKE CONTACT AT NEIGHBORS [09/10/23 12:35:03 SOKRH1]
 POSS 21 FOR NEIGHBOR IS 715-697-4332 [09/10/23 12:34:44 SOKRH1]
 BARKING DOGS - 6 DOGS IN THE GARAGE BARKING SINCE 6AM - RP HAS TRIED REACHING OUT TO OWNERS WITH NO ANSWER - OWNER IS SHAWN DEMAS? 715- [09/10/23 12:34:22 SOKRH1]

Times

Event	Time From Call Received	Unit Reaction
Call Received: 09/10/23 12:32:56		
Call Routed: 09/10/23 12:35:16	000:02:20	Unit Reaction: 000:48:46 (1st Dispatch to 1st Arrive)
Call Take Finished: 09/10/23 12:36:25	000:03:29	En-Route: 000:48:46 (1st Dispatch to 1st En-Route)
1st Dispatch: 09/10/23 12:37:08	000:04:12 (Time Held)	On-Scene: 000:13:12 (1st Arrive to Last Clear)
1st En-Route: 09/10/23 13:25:54	000:52:58	
1st Arrive: 09/10/23 13:25:54	000:52:58 (Reaction Time)	
Last Clear: 09/10/23 13:39:06	001:06:10	

Event ID: 23-124790 Call Ref #: 171 **ANIMAL COMPLAINT at 839 OAK RD**

Radio Log

Unit	Empl ID	Type	Description	Time Stamp	Comments (may truncate in portrait)	Close Code	User
2941	KPMCG	DXY	DispatchXY	09/10/23 12:37:08	273488.52,152948.84		SOMKE1
2941	KPMCG	D	Dispatched	09/10/23 12:37:08	Out Srv: [C20] at KPD		SOMKE1
2941	KPMCG	L	Location Change	09/10/23 12:37:28	1582 KRONENWETTER DR		SOMKE1
2941	KPMCG	ENT	Entered Related Name	09/10/23 12:47:48	1) [LastName:] MENNING [OLN:] M5527		KPMCG1
2941	KPMCG	...	Entered Related Name.	09/10/23 12:47:48	2) [State:] WI		KPMCG1
2941	KPMCG	L	Location Change	09/10/23 13:19:14	839 OAK RD		KPMCG1
2941	KPMCG	A	Arrived	09/10/23 13:25:54			Unit:2941
2941	KPMCG	C	Cleared	09/10/23 13:39:06		C	KPMCG1

Event Log

Unit	Empl ID	Type	Description	Time Stamp	Comments (may truncate in portrait)	Close Code	User
		TR	Time Received	09/10/23 12:32:56	By: PHONE		SOKRH1
		ENT	Entered Street	09/10/23 12:33:04	809 OAK RD		SOKRH1
		VCH	Viewed Call History	09/10/23 12:33:13	Location Information		SOKRH1
		VCH	Viewed Call History	09/10/23 12:33:14	Location Information		SOKRH1
		CHG	Changed Street	09/10/23 12:33:26	809 OAK RD --> 839 OAK RD		SOKRH1
		ENT	Entered CallerAddress	09/10/23 12:33:31	809 OAK RD		SOKRH1
		ENT	Entered Remarks	09/10/23 12:34:22			SOKRH1
		ENT	Entered CallerPhone	09/10/23 12:34:27	7155735524		SOKRH1
		ARM	Added Remarks	09/10/23 12:34:44			SOKRH1
		ARM	Added Remarks	09/10/23 12:35:03			SOKRH1
		ENT	Entered CallerName_C	09/10/23 12:35:12	MENNING,RICHARD		SOKRH1
		ENT	Entered Nature	09/10/23 12:35:16	ANIMAL COMPLAINT		SOKRH1
		FF	Fast Forward to LAW	09/10/23 12:35:16	LAW		SOKRH1
		VCH	Viewed Call History	09/10/23 12:35:36	Location Information		SOKRH1
		VCH	Viewed Call History	09/10/23 12:35:37	Location Information		SOKRH1
		FIN	Finished Call Taking	09/10/23 12:36:25			SOKRH1
		VEV	Viewed Event	09/10/23 12:36:27	User First Viewed Event CAD		SONAK1
		VEV	Viewed Event	09/10/23 12:36:55	User First Viewed Event CAD		SOMKE1
		ARM	Added Remarks	09/10/23 12:37:05			Unit:2941
		ARM	Added Remarks	09/10/23 12:37:35			SOKRH1
		VCH	Viewed Call History	09/10/23 12:37:44	Location Information		SOMKE1
		VCH	Viewed Call History	09/10/23 12:37:46	Location Information		SOMKE1
		VEV	Viewed Event	09/10/23 12:40:54	User First Viewed Event CAD		SOBAP1
		ARM	Added Remarks	09/10/23 12:45:37			Unit:2941
2941	KPMCG	NCI	QRY: Names	09/10/23 12:47:47	Unit:2941 Args.DOB: 08/15/1962		Unit:2941
2941	KPMCG	NCI	QRY: Names	09/10/23 12:47:47	1) Unit:2941 LNAME=MENNING FNAME		Unit:2941
2941	KPMCG	...	QRY: Names...	09/10/23 12:47:47	2) DOB=08/15/1962 SEX=M RACE= SS		Unit:2941
2941	KPMCG	...	QRY: Names...	09/10/23 12:47:47	3) S2SAgencyCode=		Unit:2941
		VEV	Viewed Event	09/10/23 12:55:19	User First Viewed Event CAD		SOJAS1
		VCH	Viewed Call History	09/10/23 12:57:16	Location Information		SOMKE1
		VCH	Viewed Call History	09/10/23 12:57:17	Location Information		SOMKE1
		VEV	Viewed Event	09/10/23 13:09:14	User First Viewed Event CAD		SOAJL1
		VEV	Viewed Event	09/10/23 13:10:02	User First Viewed Event CAD		SOTMJ1

Event ID: 23-124790 Call Ref #: 171 **ANIMAL COMPLAINT at 839 OAK RD**

ARM Added Remarks

09/10/23 13:39:00

Unit:2941



VILLAGE BOARD MEETING BUDGET HEARING MINUTES

November 27, 2023 at 6:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL BUDGET HEARING MEETING TO ORDER

President Chris Voll called the meeting to order at 6:00 PM.

A. Pledge of Allegiance

Those in attendance recited the pledge of allegiance.

B. Roll Call

PRESENT

- Village President Chris Voll
- Trustee Ken Charneski (Arrived at 6:01 PM)
- Trustee Sean Dumais
- Trustee Alex Vedvik
- Trustee Chris Eiden
- Trustee Kelly Coyle
- Trustee Tim Shaw (Arrived at 6:10 PM)

STAFF PRESENT

- Village Clerk; Bobbi Birk-LaBarge
- Community Development Director; Pete Wegner
- Finance Director: Lisa Kerstner
- Police Chief; Terry McHugh
- Fire Chief; Theresa O'Brien
- Director of Public Works; Leonard Ludi

SPECIAL GUEST

Village of Rib Mountain Metropolitan Sewer District Director; Eric Donaldson

2. BUDGET HEARING

C. 2024 Budget Presentation; Budget Overview

Finance Director Lisa Kerstner explains the 2024 media budget notification was published to the media on November 10, 2023. Kerstner had since made changes to the line-item amounts published. Kerstner will publish the adjusted proposed 2024 budget on November 28, 2023.

Finance Director Lisa Kerstner gave a presentation and overview of the 2024 budget. Kerstner explained that the budget will be directed towards promoting economic growth, investing in infrastructure, building an inclusive community, meeting service demand, and replacing outdated equipment. The proposed property tax rate was calculated to be \$3.32 per \$1,000 of assessed property value. Kerstner also explained how the proposed budget and projected revenues factor in undesignated funds, carryovers, and other sources of income.

Trustee Charneski raised concerns about the clarity of earmarking budget allocations for capital projects and the use of undesignated funds. Kerstner clarified the reasoning for certain budget categories and how money from undesignated funds can be designated to specific projects in the following year based on needs. A discussion also ensued about how undesignated funds can be labelled as a reserve fund and the need for determining specific projects for the capital projects fund.

D. Public Comment and/or Questions

There was no public comment or questions.

3. CLOSE PUBLIC HEARING

President Voll closes the public hearing at 7:25 PM after the budget presentation and the request for discussions. No motions were made.

4. CALL VILLAGE BOARD MEETING TO ORDER

President Voll called the regular Village Board Meeting to order.

E. Roll Call

PRESENT

- Village President Chris Voll
- Trustee Ken Charneski
- Trustee Tim Shaw
- Trustee Sean Dumais
- Trustee Alex Vedvik
- Trustee Chris Eiden
- Trustee Kelly Coyle

STAFF PRESENT

- Village Clerk; Bobbi Birk-LaBarge
- Community Development Director; Pete Wegner
- Finance Director: Lisa Kerstner
- Police Chief; Terry McHugh
- Fire Chief; Theresa O'Brien
- Director of Public Works; Leonard Ludi

SPECIAL GUEST

Village of Rib Mountain Metropolitan Sewer District Director; Eric Donaldson

5. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

No public comment took place.

6. CONSENT AGENDA

- F. September 25, 2023, Village Board Meeting Minutes**
- G. October 09, 2023, Village Board Meeting Minutes**
- H. October 23, 2023, Village Board Meeting Minutes**
- I. November 13, 2023, Village Board meeting Minutes**

The meeting minutes from the Village Board meeting on September 25, 2023; October 09, 2023; October 23, 2023; and November 13, 2023, were reviewed. There were no corrections or amendments to the minutes discussed.

Motion made by Trustee Vedvik, Seconded by Trustee Shaw to approve the consent agenda as presented.

Voting Yea: Village President Voll, Trustee Charneski, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle

Motion carries 7:0 by voice vote.

7. REPORTS FROM STAFF AND VENDORS

J. Treasurer's Report

The Treasurer's report was presented and discussed by Director Lisa Kerstner. Trustee Charneski questions all of the bank fees currently being charged. Kerstner indicated that Incredible Bank currently has an interest rate of 4.01% and LGI has an interest rate of 5.37%. Kerstner had previously communicated with Incredible Bank about their lower interest rate, and she also indicated that if the interest rate from Incredible Bank could not be increased to be closer to LGIP's rate, the village might start pulling funds from Incredible Bank. A discussion also occurred about bank fees. It was explained that bank fees were divided amongst the general fund and utilities and usually amounted to about \$500-\$800 per month. Trustee Charneski would like Kerstner to negotiate with the banks for better fees to save the village monies.

K. Check Register 11/8-11/21

There were no questions or comments on the check register.

8. NEW BUSINESS

L. Discussion: Village of Rib Mountain Metropolitan Sewer District Director Eric Donaldson to discuss 53% Sewer Rate Increase

Eric Donaldson, the Director of the Rib Mountain Metropolitan Sewer District, was present to discuss a proposed 53% increase in sewer rates. The reasons for the proposed increase and its potential impact on the village were discussed. Donaldson explained they serve 5 communities for the sewer district. 10 years ago, a planning process was started to include 4 phases. Donaldson explained a rate structure has to be in place by January 01, 2024. The commissioners approved a budget for 2024 budget and rates are already set. The debt retirement rates significantly went up. Donaldson mentions this is a 22-million-dollar cost. 100% of their revenue comes in for rate payors. The communities are all billed. The payment of their loans will be paid by the household monthly cost. Details about the timing and implementation of the proposed increase were also shared. The floor was then opened for questions and discussion amongst the board members.

Trustee Vedvik questioned what phase they are in. Donaldson explained they are in phase 2 of 4. The next two phases are dependent on the DNR regulations. Vedvik requested some of those estimates be shared at the upcoming public forum. Donaldson explained the 22 million is being used for the updated motor control centers, there is 5 million dollars in the replacement fund, but it is not enough to cover the replacement cost of the outdated equipment. Kerstner asked if they are gradually increasing the percentages or increasing it all at once. Donaldson stated the rates set are the rates necessary to generate revenue to show the DNR they can make the payments on the loans. Trustee Eiden asked the estimates of phases 3 and 4. Donaldson stated those costs are included on the website (Rib Montani Metropolitan Sewage District) in the planning report. Trustee Dumais asked why we were not informed. Donaldson stated he communicated with all five communities in September and emailed whoever was the interim administrator at the time.

M. Discussion and Possible Action: Resolution No.: 2023-014; A Resolution to Adopt the 2024 Budgets for the Village of Kronenwetter and Authorize the Levy of Taxes Thereof

The board discussed Resolution No.: 2023-014 which proposed adopting the 2024 budgets for the Village of Kronenwetter and authorizing the levy of taxes. The board members deliberated on the proposed budget allocations, weighing the impact it would have on the village's essential services and development projects.

The discussion also encompassed the expected revenues, particularly in relation to the anticipated property tax levies. The potential implications on residents and businesses were also considered to ensure an equitable tax burden. Trustee Vedvik mentions we are under 1/3 of Wausau's mill rate. Motion made by Trustee Eiden, Seconded by Trustee Coyle to approve resolution 2023-014 to adopt the 2024 budgets and authorize the levy of taxes.

Voting Yea: Village President Voll, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle

Voting Nay: Trustee Charneski

Motion carried 6:1 by roll call vote.

N. Discussion and Possible Action - Budget Amendment #3

The discussion focused on Budget Amendment #3. Finance Director Lisa Kerstner explained the village is looking for funds to hire Ehlers to perform a cash flow analysis. The board reviewed the proposed changes to the budget, analyzing the merits and potential consequences of each amendment. Some items of discussion included reallocation of funds to different departments, increase in spending for certain projects, and the impact of these changes on the overall budget.

The board weighed the necessity of each amendment against their potential implications on the overall budget health and the delivery of public services.

Motion made by Trustee Charneski, Seconded by Trustee Eiden to approve budget amendment #3.

Voting Yea: Village President Voll, Trustee Charneski, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle

Motion carried 7:0 by roll call vote.

O. Discussion and Possible Action - Budget Amendment # 4

The board discussed Budget Amendment #4 which proposed changes to certain budget lines. A contentious point in the discussion was whether these changes were necessary or could potentially strain the Village's finances. Finance Director Kerstner explained these are budget adjustments for various funds to make the accounts balance out.

Trustee Charneski does not see a good reason to perform a budget amendment for legal fees. Director Kerstner explained November and December legal fees due still need to be paid.

Trustee Charneski Move to amend the \$2000.00 in legal fees. Motion died due to no second.

Motion made by Trustee Coyle, Seconded by Trustee Vedvik to approve budget amendment #4.

Voting Yea: Village President Voll, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle

Voting Nay: Trustee Charneski

Motion carried 6:1 by roll call vote.

P. Discussion and Possible Action: Cancellation of December 25, 2023, Village Board Meeting

President Chris Voll explained this year Christmas Day falls on the second village board meeting in December. The board discussed potentially cancelling the Village Board Meeting scheduled for December 25, 2023, due to the holiday. They acknowledged that conducting the meeting on a day when many members might be unavailable due to festive celebrations might lead to lack of quorum, thereby making it impossible to deliberate on important matters. While some members of the board expressed reservations, most agreed that cancelling the meeting would be appropriate under the circumstances.

Motion made by Trustee Vedvik, Seconded by Trustee Shaw to cancel the scheduled December 25, 2023, Village Board meeting.

Voting Yea: Village President Voll, Trustee Charneski, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle

Motion carries 7:0 by voice vote.

Q. Discussion and Possible Action: Amendment to Ordinance Chapter 520 - Zoning; Section 520-121 Conditional Use Permits

The board discussed possible amendments to Section 520-121 of Chapter 520 of the Zoning ordinance regarding Conditional Use Permits. The discussion focused on making the permits more accessible to developers and streamlining the process of application and approval. The board emphasized the need to strike a balance between easing zoning restrictions for the benefit of development and protecting the interests of existing residents. Some board members suggested consulting with lawyers or subject matter experts to improve the legislation process in this matter. Trustee Charneski mentioned the only one that had an issue with this amendment was Village Attorney Lee Turonie. Trustee Charneski mentioned Village Attorney Turonie makes statements that are not supported. Some board members mentioned the idea to form a committee tasked with reviewing and suggesting amendments to Section 520-121.

Motion made by Trustee Charneski, Seconded by Trustee Coyle to delay action until January 2024.
Voting Yea: Village President Voll, Trustee Charneski, Trustee Shaw, Trustee Dumais, Trustee Eiden, Trustee Coyle
Voting Nay: Trustee Vedvik
Motion carries 6:1 by voice vote.

R. Discussion and Possible Action: Municipal Attorney Contract Renewal with Wolfgram, Gamoke & Hutchinson

The contract renewal with the municipal attorneys Wolfgram, Gamoke & Hutchinson was discussed. The board went over the details of the services provided by the law firm and deliberated on their effectiveness and efficiency. They concluded that the attorneys had provided competent legal counsel and played a crucial role in helping the village navigate legal complexities. Based on their previous performance, the majority of the board agreed that the contract with Wolfgram, Gamoke & Hutchinson should be renewed.

Motion made by Trustee Shaw, Seconded by Trustee Vedvik to approve attorney Wolfgram, Gamoke & Hutchinson for Municipal Court Attorney Services for 2024.
Voting Yea: Village President Voll, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle
Voting Nay: Trustee Charneski
Motion carried 6:1 by roll call vote.

9. PREVIOUS MEETING MINUTES FROM COMMISSIONS AND COMMITTEES

S. August 15, 2023, Administrative Policy Committee Minutes

Trustee Charneski raised questions about the copier issue mentioned in the September 19th minutes. Clarification was provided that a new copier was purchased for the Village Office and the old copiers were moved to the Police and Fire Departments. Further understanding was requested on the language changes to be made in the FIN- 004 policy. The committee is still working on the language, and the final document is expected to be presented in the coming meetings.

T. September 05, 2023, Utility Committee Minutes

No comments or questions.

U. September 19, 2023, Administrative Policy Committee Minutes

Trustee Charneski asked where the copiers were distributed.

V. October 10, 2023, Utility Committee Minutes

The Utility Committee's meeting minutes from October 10, 2023, were brought up for discussion. No committee members raised questions or provided any comments. The collaborative summary developed by the committee was acknowledged and appreciated.

W. October 24, 2023, Administrative Policy Committee Minutes

President Voll thanks the committees for their minutes.

10. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

The agenda for future meetings was discussed. One of the key items suggested was a detailed discussion about the utilization of the Debt Service Fund, a point of ongoing concern (Trustee Vedvik). The Village would like to have a clear understanding of the restrictions and potential uses for this fund. An inquiry was also made about conducting a thorough background check on the newly hired administrator, similar to previous practice (Trustee Charneski). Another inquiry was made for a report on bank fees (Trustee Charneski).

11. ADJOURNMENT

Motion made by Trustee Vedvik, Seconded by Trustee Coyle to adjourn.
Voting Yea: Village President Voll, Trustee Charneski, Trustee Shaw, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Coyle
Motion carried 7:0 by voice vote.
Meeting was adjourned at 8:52 PM.
Minutes Drafted by: Clerk Bobbi Birk-LaBarge
Village Board Meeting Minutes Approved on: December 11, 2023



REVISED - SPECIAL JOINT MEETING OF REDEVELOPMENT AUTHORITY AND VILLAGE BOARD MINUTES

September 07, 2023 at 5:00 PM

Kronenwetter Municipal Center - 1582 Kronenwetter Drive Board Room (Lower Level)

1. CALL MEETING TO ORDER

Village Board president Chris Voll called the meeting to order at 5:00 PM.

A. Pledge of Allegiance

Those in attendance cited the pledge of allegiance.

B. Roll Call - Village Board

VILLAGE BOARD MEMBERS PRESENT

- Village President Chris Voll
- Trustee Sean Dumais
- Trustee Alex Vedvik
- Trustee Chris Eiden
- Trustee Kelly Coyle
- Trustee Ken Charneski - entered the meeting late @ 5:21 PM.

VILLAGE BOARD MEMBERS ABSENT

Trustee Tim Shaw

STAFF PRESENT

- Clerk Bobbi Birk-LaBarge
- Finance Director Lisa Kerstner
- Contractor Duane Gau
- Community Development Director Pete Wegner

GUEST(S) PRESENT

Robert Roth; RPS Roth Professional Solutions

C. Roll Call - Redevelopment Authority

REDEVELOPMENT AUTHORITY MEMBERS PRESENT

- Pat Kilsdonk
- Randy Fifrick
- Terry Radtke
- Lane Loveland
- Chris Eiden
- Chris Voll

2. ANNOUNCEMENT OF CLOSED SESSION

Village Board President Chris Voll announced the upcoming closed session.

3. PUBLIC COMMENT

Please be advised per State Statute Section 19.84(2), information will be received from the public. It is the policy of this Village that Public Comment will take no longer than 15 minutes with a three-minute time period, per person, with time extension per the Chief Presiding Officer's discretion. Be further advised that there may be limited discussion on the information received, however, no action will be taken under public comments.

No Public Comment

4. CONSENT AGENDA

- D. Approval of the May 8, 2023 Meeting Minutes
Randy Fifrick made a motion to approve the May 08, 2023, minutes with the correction "Lane" gets an "E" added to his name. Chris Eiden seconded the motion. Motion carries 6:0 by voice vote.
Randy Fifrick makes a motion to amend his previous motion and strike the wording of a "joint" meeting at the top of the May 08, 2023, meeting minutes and to add a "Y" to his name in the minutes. Pat Kilsdonk seconded the motion to approve with corrections. Motion carries 6:0 by voice vote.

5. REPORTS FROM STAFF AND VENDORS

- E. Finance Director - TID Reports
Finance Director Lisa Kerstner explains she handed out the (4) TID's, the PNL's and the standing balance of each TID account. RDA member Randy Fifrick advises Kerstner he had some questions in regard to the TID accounts. Fifrick believes some corrections are warranted. Kerstner explained she spoke with Interim Administrator Kim Manley and the payment was made based on the previous year's information and the TIDs were split as discussed, that year. Kerstner informed the members she could split them however is best. President Voll suggests since each TID has its own line item, each TID should be split about 25%.

6. NEW BUSINESS

- F. Discussion: Consideration of closing TID 3
Finance Director Lisa Kerstner explained TID 3 is sitting fine and there are no loans on the books. She explained TID 3 is sufficient on its own. Kerstner asked the members if they wanted to close TID 3 out or keep it open for borrowing purposes. Terry Radtke asked Kerstner if TID 3 can donate. Kerstner explained there is an option to donate TID 3 funds to TID 2 for some projects. RDA member Randy Fifrick corrected Kerstner and explained the way the funds are set up is TID 3 and TID 2 can donate to TID 4. Fifrick explained to the members if they wanted to keep TID 3 open to be able to donate to TID 4, more information is needed as to where TID 4 is financially sitting. Fifrick explained TID 3 doesn't donate a lot of revenue but will jump up significantly this upcoming budget year. TID 4 has a positive cash flow. TID 3 has room for development. The only room for development in TID 4 is if G3 Industries expands towards the municipal center. Randy Fifrick explained the members need to have a complete understanding of where TID 4 is sitting financially.
- G. RDA Action: Recommendation to close TID 3
RDA member Randy Fifrick made a motion to recommend the village board not close TID 3. Terry Radtke seconded the motion. Motion carries 6:0 by voice vote.
- H. Village Board Action: Approval of closing TID 3
No Action Taken
- I. Discussion and Possible Action: Resolution 2023-005; Tax Incremental District (TID 3) Termination
No Action Taken
- J. Discussion: Robert Roth Report - Lift Station 8 and 4
Robert Roth explained he was hired to do an assessment on lift stations 8 and 4. Lift station (LS) 8 and Lift Station (LS) 4 are within the TID expenditure range and are linked in system required upgrades that are needed for TID2 development as well as future capacity within the 208 area, those projects are recommended to be moved along a timeframe that allows for contracting by the end of 2024 prior to the close out deadline of TID2. The ultimate design and final improvement schedule will be identified as more detail and design is completed. But overall, the improvements would go towards better

system reliability, improved planning capacity, and orderly minimization of long-term replacement costs with those lift stations.

- K. Discussion: TID 2 Projections
Finance Director Lisa Kerstner explained the projects listed in TID 2. Trustee Charneski questioned if the projects listed on page 37 of the packet are necessities or discretionary. Kerstner explained the projects can be changed up. Contracted village consultant Duane Gau explains due to the short period of time left the village would want to look at concrete projects that would benefit the village in the future. Trustee Charneski mentioned his main concern is the language reads projects should only start if they are justifiably imminent. Charneski worries if the committee approved something, the committee will be accused of violating the agreement currently written in the documents. RDA member Randy Fifrick explained the materials in the meeting are introductory and doesn't limit the factors in which one chooses to do. Fifrick explained there will be a surplus at the end and gives the village an opportunity for new development which in turn will create a new tax base.

7. OLD BUSINESS

- L. Award engineering consultant contract for the design of Lift Stations 8-4 TID 2
RDA member Randy Fifrick believes if the village is going to spend money, they need to look at infrastructure maintenance issues within the district. Any major capital projects being looked at in the next 5-10 years definitely need to be reviewed. If there is a project the village can bid out before the 2024 deadline it will extent the expenditure period even longer.
- M. RDA Action: Motion to recommend that the Village Board enter into agreement with RPS for the upgrade design of lift stations No. 8 and 4 according to RSP Lift Station and Sewer Capacity Study Project report submitted to the Utility Committee on August 1, 2023.

Motion by Randy Fifrick to take no action. Motion seconded by Chris Voll. Motion carries 6:0 by voice vote.

- N. Village Board Action: Motion to approve a contract agreement with RPS for the upgrade design of lift stations No. 8 and 4 according to the RSP Lift Station and Sewer Capacity Study Project report submitted to the Utility Committee on August 1, 2023.

Motion by Trustee Sean Dumais to approve the contract with RPS for the upgrade design of lift stations No. 8 and 4 according to the RSP Lift Station and Sewer Capacity Study Project contingent upon the RDA getting the approval for the project amendment and if not, it will get sent to the utility committee for vote. Motion seconded by Trustee Eiden. Motion carries 6:0 by roll call vote.

- O. Award engineering consultant contract for the design of Beranek Road roadway, sewer, water mains and trail. And Village Rd., Jamroz Rd., and Flanner Rd. TID 2 (Project A-B)
RDA member Randy Fifrick states from the RDA perspective the list needs to be looked at to see what monies are being spent on before contracts are made.

RDA member Randy Fifrick makes a motion to take no action. Motion seconded by Terry Radtke. Motion carries 6:0 by voice vote.

RDA member Lane Loveland left the meeting @ 6:20 PM.

- P. Village Board Action: Motion to approve a contract agreement with RPS for the Designs of Beranek Roadway, Sewer, Watermains and Trails. And roadway design of Village, Jamroz, and Flanner Roads. TID 2

No Action Taken.

- 8. Consideration of Motion to convene into closed session pursuant to Wis. Stat. §19.85 (1) (e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session to wit "TID 2 Properties".

RDA member Chris Eiden reads aloud consideration of motion to convene into closed session for consideration of motion pursuant to Wis. Stat. §19.85 (1) (e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session to wit "TID 2 Properties.

Motion by RDA member Terry Radtke to move into closed session. Seconded by Pat Kilsdonk. Motion carries 5:0 by roll call vote.

President Chris Voll read aloud consideration of motion to convene into closed session pursuant to Wis. Stat. §19.85 (1) (e) Deliberating or negotiating the purchasing of public properties, the investing of public funds, or conducting other specified public business, whenever competitive or bargaining reasons require a closed session to wit "TID 2 Properties".

Motion made by Trustee Vedvik, Seconded by Trustee Coyle to move into closed session.

Voting Yea: Village President Voll, Trustee Dumais, Trustee Charneski, Trustee Vedvik, Trustee Eiden, Trustee Coyle. Motion carries 6:0 by roll call vote.

President Chris Voll states staff and village consultant Duane Gau are invited to be present during closed session.

Closed session begins at 6:20 PM

Q. CLOSED PACKET MATERIALS

Closed session materials were distributed.

9. CONSIDERATION OF MOTION TO RECONVENE INTO OPEN SESSION

Motion by Trustee Kelly Coyle, Seconded by Trustee Chris Eiden to resume into open session. Motion carries 6:0 by roll call vote.

Open session begins at 7:01 PM.

R. Village Board Action: Approve Scott Williams Appraisal Inc. for appraisal of parcels in TID 2.

Motion by RDA member Chris Voll to take no action. Motion seconded by RDA member Chris Eiden.

Motion carries 5:0 by voice vote.

S. Discussion and Action: Consideration of contacting commercial developers

Motion by RDA member Chris Voll to take no action. Motion seconded by RDA member Chris Eiden.

Motion carries 5:0 by voice vote.

No action by the Village Board is needed due to no action taken by RDA on items 9R and 9S.

10. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

President Voll states this item should not be on the agenda due to the next RDA meeting not being a joint meeting.

11. ADJOURNMENT

Motion by RDA member Chris Eiden, seconded by RDA member Pat Kilsdonk to adjourn. Motion carries 5:0 by voice vote.

RDA meeting adjourned at 7:10 PM.

Motion made by Trustee Eiden, Seconded by Trustee Shaw to adjourn.

Voting Yea: Village President Voll, Trustee Dumais, Trustee Vedvik, Trustee Eiden, Trustee Charneski, Trustee Coyle. Motion carries 6:0 by voice vote.

Village Board meeting adjourned at 7:11 PM.

Minutes by: Clerk Bobbi Birk-LaBarge
Minutes Approved by RDA on: December 7, 2023
Minutes Approved by Village Board on:



**AD HOC COMMITTEE MEETING ON COMMITTEE STRUCTURE
MINUTES
October 30, 2023**

1. CALL MEETING TO ORDER

- A. Pledge of Allegiance**
- B. Roll Call.**

The meeting was called to order by Chairman Vedvik at 6 p.m. Zero citizens were present. Roll call was taken. Present: Trustee Kenneth Charneski, Trustee Kelly Coyle, Trustee Alex Vedvik, Trenton Karch, Patrick Kilsdonk, Lyn McCarthy, Craig Mortensen. Staff Present: Kim Manley, Interim Administrator. Sean Dumais, alternate was absent and excused.

2. PUBLIC COMMENT. None

3. NEW BUSINESS

C. Discuss and Possible Action – Review of Utility Commission Ordinance Examples

Charneski reported he had looked at the statutes and the committee vs commission are very similar. What would the difference be then? Vedvik noted that there is a difference in the management and operations. Mortenson agreed stating it can vary and will be dependent on the ordinance created for the commission. Discussion followed on the current abilities the committee has – recommendations only, etc. and what a commission could do which is act on an item without having to refer it to another committee or village board. All realized that the village board is still involved in the general supervision and if debt would be issued but its role would be limited compared to what it is now. Vedvik also reminded the group that the utilities are a business entity and should operate as such. Discussion then focused on the structure of a commission – who would sit on the commission, how many years term. Manley noted in the draft ordinance it shows a staggered three-year term, five person – two trustees and three citizens example. Discussion then followed on continuity in appointments, use of rate payers as citizen members. Coyle brought forward an idea to have a split that would allow for continuity in the appointments of Trustees – one appointed in their one-year remaining term and one appointed at the start of the two-year term. That way one would always be on the commission or any committee to provide some continuity in appointments. Coyle stated he could put an example together for the group. All felt that would be a good idea to see the language.

D. Discuss and Possible Action – Review of Finance & Personnel Ordinance Examples

Discussion on the current Administrative Policy Committee’s duties and whether or not last year’s meetings were an exception. After discussion, it was felt that perhaps not. The policy review should continue annually by the Committee, as an example. The discussion also talked about Community Life, Infrastructure and Public Property (CLIPP) being a catch all for everything else. All felt that a split may provide for a more focused committee and create opportunities for more citizen involvement.

Broadband was discussed and the committee felt that it should be brought to the CLIPP duties going forward.

E. Discuss and Possible Action – Directive to Staff on Internship Duties

After discussion on the duties (creating Standard Operating Procedures) it was decided to table this item to get the new Administrator involved.

F. Discuss and Possible Action – Draft Utility Commission Ordinance.

Vedvik noted that this item was also discussed earlier on the agenda under item C.

4. OLD BUSINESS

5. PREVIOUS MEETING MINUTES FROM COMMISSIONS AND COMMITTEES

G. Discuss and Consider Minutes from the September 26, 2023 Meeting.

Minutes amended to include the research alternate Sean Dumais had done and the example provided by Charneski on the yard waste site. Motion by Coyle, seconded by Mortenson to approve as amended.

Motion carried on a unanimous voice vote, 7-0-0.

6. CONSIDERATION OF ITEMS FOR FUTURE AGENDA

Manley to provide:

- 1.) Madison Utility Commission Ordinance
- 2.) Marshfield Utility Commission Ordinance
- 3.) Updated Draft Utility Commission Ordinance

Coyle to provide:

- 1.) Language for appointments and splitting of Administrative Policy Committee

Karch to provide:

- 1.) Create a process to make a final recommendation

7. ADJOURNMENT

Motion to adjourn by Charneski, seconded by Karch. Motion carried on a unanimous voice vote, 7-0-0. Meeting adjourned at 8:35 p.m.

Respectfully Submitted By,
Kim Manley,
Interim Administrator/Acting Secretary