



## **CALLED HISTORIC ZONING COMMISSION MEETING AGENDA**

**Thursday, August 22, 2024 at 10:00 AM  
City Hall, 415 Broad Street, Conference Room 226**

---

**This meeting is an open and accessible meeting. If interested parties request special assistance or accommodations, please notify the Planning Department three (3) days in advance of the meeting.**

### **I. INTRODUCTION AND MEETING PROCEDURES**

### **II. APPROVAL OF THE AGENDA**

### **III. APPROVAL OF MINUTES**

### **IV. OLD BUSINESS**

### **V. NEW BUSINESS**

- 1.** 209 W. Wanola Ave- Home Addition- (HISTR24-0142)

### **VI. OTHER BUSINESS**

### **VII. PUBLIC COMMENT**

Citizens may speak on issue-oriented items. When you come to the podium, please state your name and address and sign the register that is provided. You are encouraged to keep your comments non- personal in nature, and they should be limited to five minutes.

### **VIII. ADJOURN**

Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142

<b>Property Information</b>	209 W. Wanola Ave home addition		
<b>Address</b>	209 W. Wanola Ave		
<b>Tax Map, Group, Parcel</b>	046I C 008.00		
<b>Civil District</b>	11 <sup>th</sup>		
<b>Overlay District</b>	Park Hill		
<b>Land Use Plan Designation</b>	Public		
<b>Acres</b>	+/- 0.16		
<b>Existing Use</b>	Single Family	<b>Existing Zoning</b>	R-2
<b>Proposed Use</b>	No Change	<b>Proposed Zoning</b>	No change
<b>Owner Information</b>			
<b>Name:</b> Cheri Anglin <b>Address:</b> 209 W. Wanola Ave <b>City:</b> Kingsport <b>State:</b> TN <b>Zip Code:</b> 37660 <b>Email:</b> <a href="mailto:cheri.anglin@aol.com">cheri.anglin@aol.com</a> <b>Phone Number:</b> 423-361-5001 <b>Representative:</b> Holly Trick		<b>New Construction For:</b> Home addition to the rear of the home by adding a laundry room, bathroom, and a ground floor den. The rear deck is also proposed to be extended.	
<b>Points for Consideration</b>			
<p><b>Request:</b> The property owner is proposing a home addition towards the rear of the property.</p> <p><b>When considering this request:</b> New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwelling. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features. New additions should be located on rear or side elevations where not visible from the street. It should blend well without duplicating the original form, material, style, wall plane, or roofline. Keep deck designs simple in appearance, if visible from the street, ensure the deck will have square balusters set no more than three inches apart and no more than two inches in width and dept.</p> <p><b>Board of Zoning Appeals:</b> Applicant did apply for a variance with the Board of Zoning Appeals to address the 2.6 foot side yard on the western side of property. The Board of Zoning Appeals heard this case on August 1<sup>st</sup> 2024 and approved the variance request.</p> <p><b>Staff recommends:</b> approval based upon conformance with the design standards</p>			
<b>Planning Tech:</b>	Lori Pyatte	<b>Date:</b>	08/02/2024
<b>Historic Zoning Commission Action</b>		<b>Meeting Date:</b>	08/12/2024
<b>Approval:</b>			
<b>Denial:</b>		<b>Reason for Denial:</b>	
<b>Deferred:</b>		<b>Reason for Deferral:</b>	

Historic Guidelines: Additions to Primary Dwellings**CHAPTER 6 - NEW RESIDENTIAL CONSTRUCTION****Policy:**

New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwellings. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features.

**1.0 ADDITIONS TO PRIMARY DWELLINGS  
DESIGN GUIDELINES FOR NEW ADDITIONS****1.1 Consider the location, size, and scale of the addition.**

A new addition should never overwhelm the historic dwelling. The window spacing and materials of the new addition should follow those of the original building. Locate new additions on rear or side elevations where not visible from the street.

**1.2 Retain historic character.**

Design the addition in a manner compatible with the historic character of the original building, as well as of surrounding buildings in the district. Though the addition should be a discernible wing from the historic building, it should blend well without duplicating the original form, material, style, wall plane, or roofline.

**1.3 Porch enclosures may be appropriate.**

If an owner chooses to enclose a porch (or a portion thereof), the floor fascia board and columns shall not be covered, and every effort shall be made to express the original intent of the porch with screen panels.

**1.4 The addition of decks on rear elevations may be appropriate.**

Place decks on rear elevations or in other locations that are out of view from the street. Paint and design decks to blend closely with the dwelling. Keep deck designs simple in appearance. If visible from the street, ensure that decks have square balusters set no more than three inches apart and no more than two inches in width and depth.



Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142

Aerial View:



Zoning Map: R-2 Two-Family Residential District Historic District: Park Hill

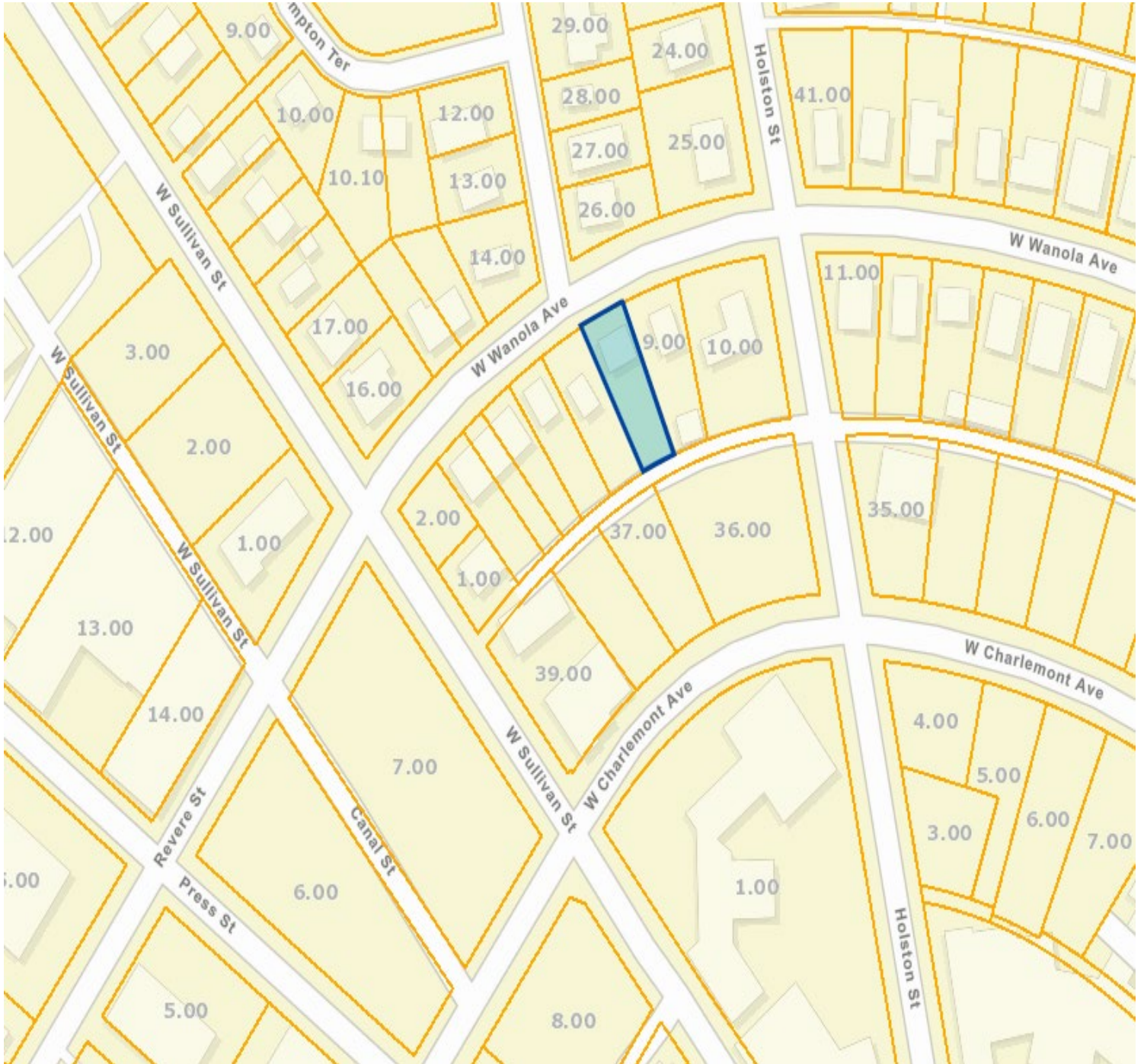




# Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142

## Location Map





Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142

Front of 209 W Wanola Ave from the roadway





Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142

Side yard of 209 W Wanola Ave: looking into the backyard area





Rear Yard of 209 W Wanola Ave: photos from backyard





Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142





Kingsport Historic Zoning Commission

Project Number: HISTRC24-0142

Rear Yard of 209 W Wanola Ave: photo from alleyway





# HISTORIC ZONING COMMISSION APPLICATION



APPLICANT INFORMATION:			
Last Name	Anglin	First	Cheri
M.I.	L	Date	07-14-2024
Street Address	209 W. Wanola Ave.		Apartment/Unit #
City	Kingsport	State	TN
ZIP	37660		
Phone	423-361-5001		
E-mail Address	cheri.anglin@aol.com		

PROPERTY INFORMATION:	
Tax Map Information	Tax map: 0461 Group: C Parcel: 008.00 Lot:
Street Address	209 W. Wanola Ave.
Apartment/Unit #	
Name of Historic Zone	
Current Use	Single Family Home

REPRESENTATIVE INFORMATION:			
Last Name	Trick	First	Holly
M.I.	S	Date	07-14-2024
Street Address	1292 Muddy Creek Road		Apartment/Unit #
City	Blountville	State	TN
ZIP	37617		
Phone	423-212-3153		
E-mail Address	holly.trick@collaboratearchitecture.com		

REQUESTED ACTION:
See attached form.

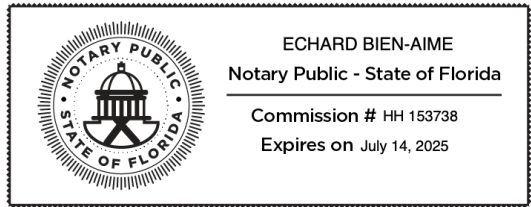
**DISCLAIMER AND SIGNATURE**

By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.

Signature: Holly Trick Date: 07/14/2024

Signed before me on this 14th day of July, 2024,  
a notary public for the State of Florida  
County of Saint Lucie

Notary Echard bien - aime  
My Commission Expires 07/14/2025



Notarized remotely online using communication technology via Proof.

## 209 W. Wanola: Requested Action for Historic Commission

---

The homeowner of 209 W. Wanola uses the home as primary residence. Due to the age of this structure, being constructed in 1920, there is no laundry room or ground floor bathroom in the original building. A temporary small extension was created to house a laundry room but is not sufficient for long-term needs.

This renovation intends to replace the temporary extension and further extend the existing structure to the rear of the property by adding a laundry room, bathroom and ground floor den.

The current structure uses a blend of stucco and wood board-and-batten façade materials. The extension will replicate these materials to ensure that the new construction integrates with the existing structure as well as the neighborhood. However, these materials are also used to create a visible transition from the existing structure to the new, so that the independence of the original form will be maintained.

The extension is directed solely to the rear yard so that it will be minimally visible from W. Wanola Ave. The new addition is also limited to a single story in order to minimize the impact on the property and surrounding structures.

The gable roof pitch over the new laundry room is noted to match the existing home roof pitch for continuity. The rear deck extension is centered in the property in order to be completely hidden from W. Wanola Ave. If this deck is ever enclosed in the future, it will not be visible from the street.

### **SUMMARY:**

- Existing materials are applied to new extension
- Extension is single story and in the rear yard to minimize view from the street
- Character and scale are intended to blend with original structure and meet historical guidelines



# ANGLIN HOME EXTENSION

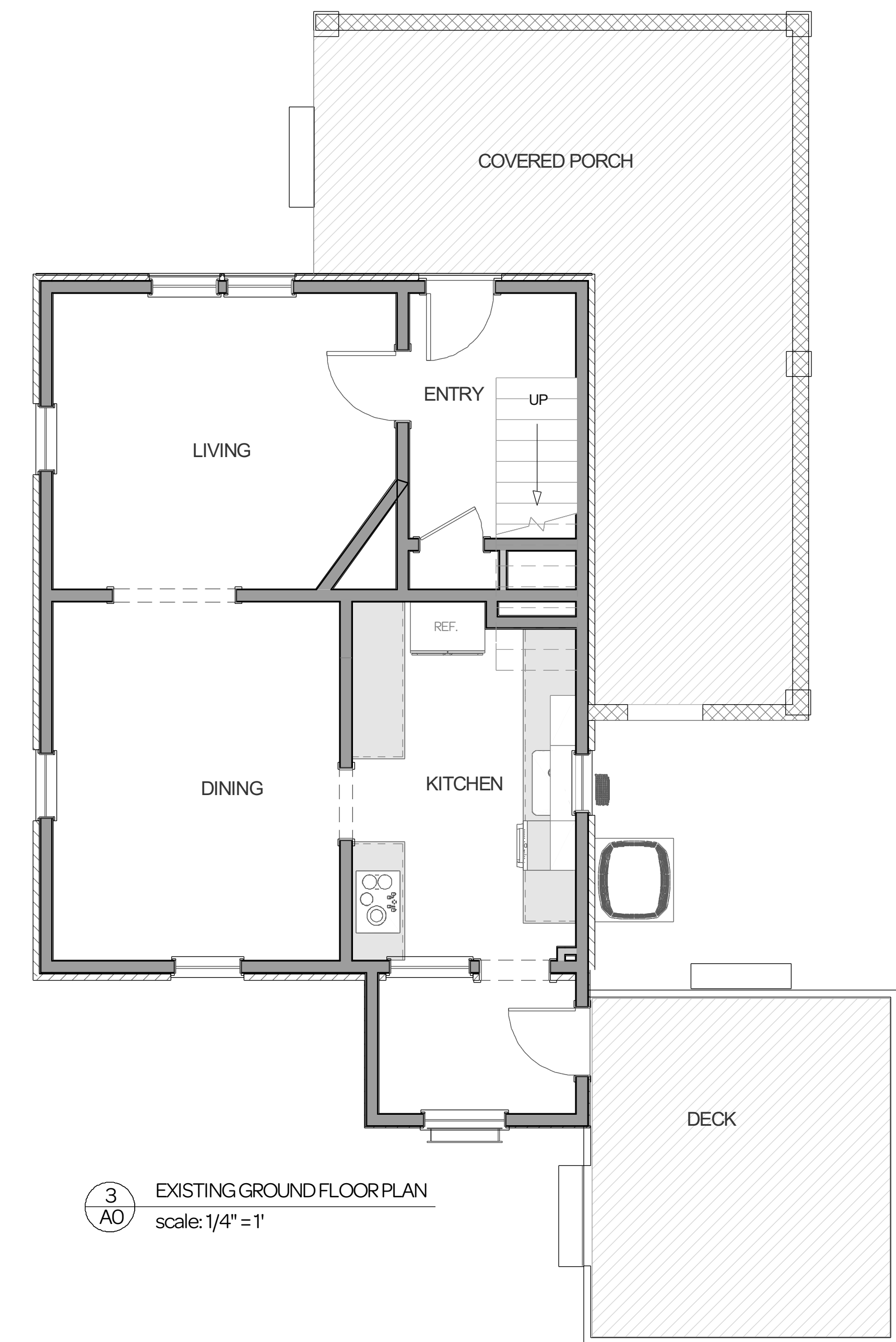
209 W. Wanola Ave, Kingsport, TN 37660



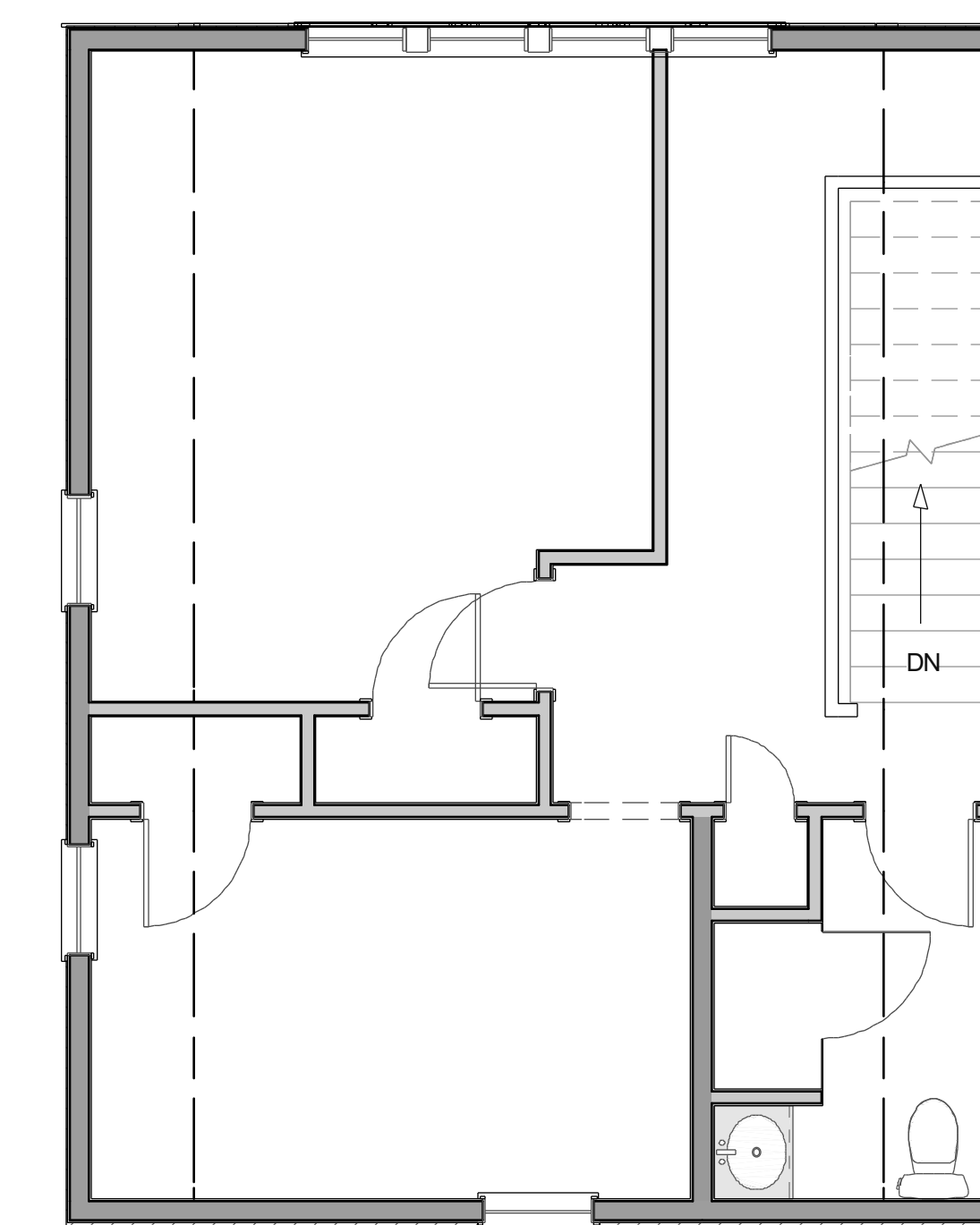
1  
A0 EXISTING HOME RENDERING



2  
A0 RENOVATION RENDERING



3  
A0 EXISTING GROUND FLOOR PLAN  
scale: 1/4" = 1'



4  
A0 EXISTING SECOND FLOOR PLAN  
scale: 1/4" = 1'

## DRAWING SHEET INDEX

- A0 - Cover Page
- A1 - Floor Plans, Door and Window Schedules
- A2 - Building Elevations and Sections
- A3 - Project Renderings

## PROJECT DATA

Description: Extension of single family home in R-2/ historical Zoning District

Owners: Cheri Anglin

Occupancy Group: Single Family Home R-3

## Square Footages:

- First Floor Dining/Kitchen Renovation - Conditioned: 323 sq. ft.
- First Floor Extension - Conditioned: 367 sq. ft.
- Second Floor Nook and Bathroom - Conditioned: 242 sq. ft.
- Second Floor Extension - Conditioned: 397 sq. ft.

Total Renovation + Extension: 1,329 sq. ft.

## R-VALUES

COMPONENT	REQUIRED	PROPOSED
Exterior Walls	20	20
Basement Walls	15	15
Windows	0.32	0.32
Ceilings	49	49

## CONSTRUCTION NOTES

All work shall be done in accordance with the requirements of the Tennessee building code as amended, the 2015 IECC and all other applicable laws. The contractor is to provide for all required notifications of and coordination with City and State agencies, and provide required permits to the owner. All tests and inspections associated with obtaining approvals to proceed with and complete the work shall be paid to the contractor.

General Contractor is responsible for reading and complying with all general notes on this page and sheet notes on drawing sheets that follow. Notify designer with any questions or discrepancies prior to installation and work.

Verify field conditions prior to commencement of each portion of the work.

All products and materials shall be installed in accordance with manufacturer's instructions/ specifications unless specified otherwise.

Materials, equipment and craftsmanship of all trades shall conform to recognized ASTM of quality appropriate to grade of said materials, equipment and craftsmanship. Materials and equipment shall be new, sound, of high quality and suitable for applications specified. Materials shall be positioned in an orderly manner and shall be aligned with the building structure. Vertical members/surfaces shall be plumb, horizontal and true to line and dimension. Finish materials shall be free of tool marks, flaws and blemishes. Joinery and connections shall be accurate, close/ tight fitting and well crafted. Tolerances recognized by national trade associations will be the minimum acceptable standard for respective trade work.

Materials, equipment, and/or constructive services not indicated in drawings or specified herein, but required for successful and efficient completion of the installation shall be considered implied in the documents. Content and said materials, equipment and/or constructive services shall be furnished and installed at no additional cost to the owner.

The contractor shall be responsible for maintaining the construction site and resulting construction. All shall be maintained neat, clean, orderly and free of debris.

## GENERAL NOTES

Dimensions are to face of frame unless otherwise noted.

All interior walls are shown as 2x4 unless otherwise noted or required by code or structural drawings.

All ceilings are 1/2" gypsum board unless otherwise specified.

Doors and cased openings indicated nearby wall intersections shall be located so that the edge of the finish opening is four inches from the face of the nearby wall unless otherwise indicated. All other doors and cased opening shall be centered between adjacent wall intersections.

Contractor shall provide blocking for all bathroom accessories as needed.

Contractor shall provide clothing rod at 5'-5" a.f.f. and painted birch plywood shelf for all closets unless otherwise specified.

All grille, register, thermostat, light, switch and outlet locations are to be approved by homeowner in the field before installation.

## STRUCTURAL DISCLAIMER

All structural elements shown or noted are suggestions based on preliminary calculations. These are not to be considered structurally adequate without review. It is highly recommended that these plans be reviewed by a structural engineer prior to construction.

DATE:

7/14/2024

SCALE:

NOT TO SCALE

SHEET:

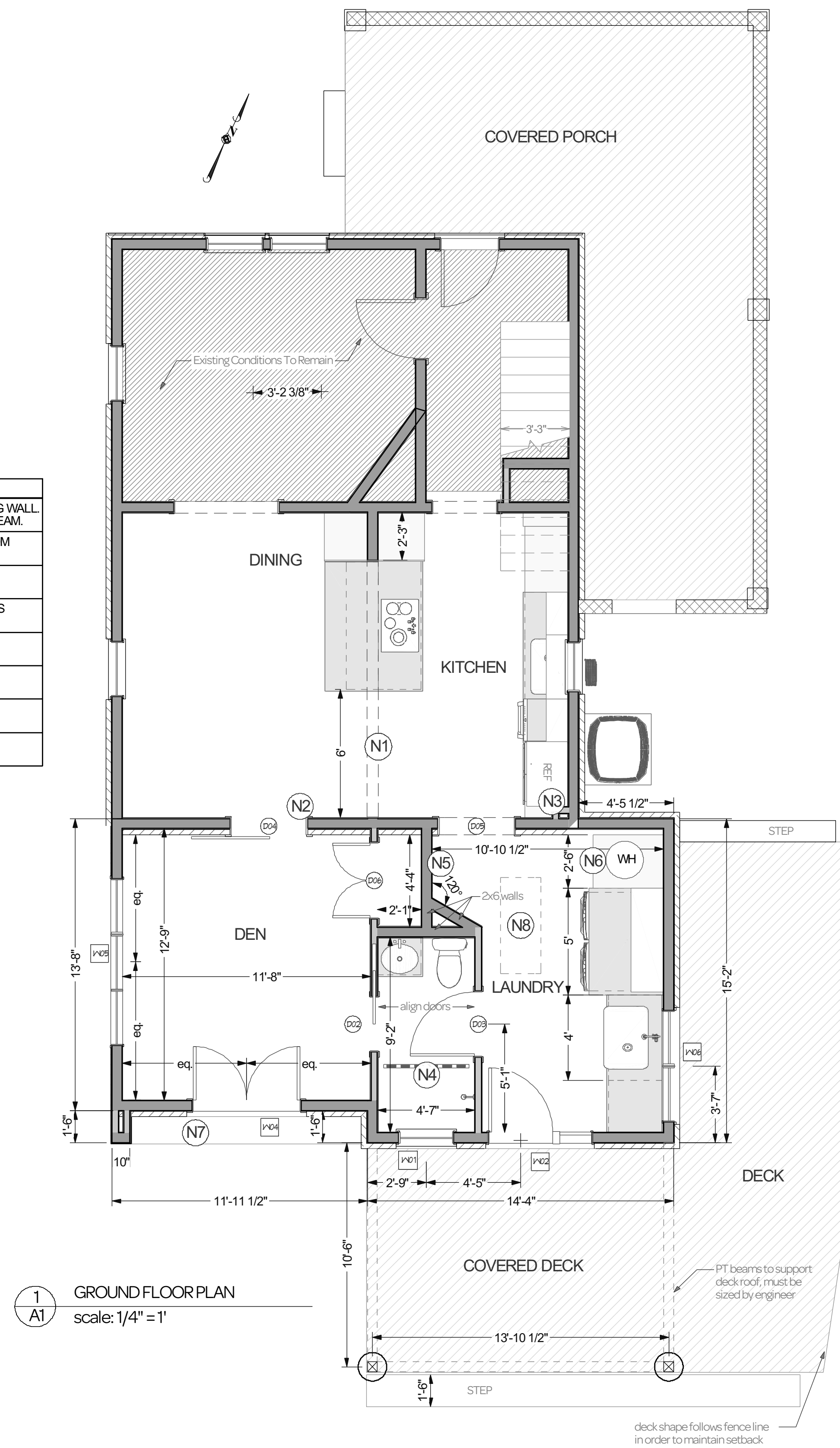
A0



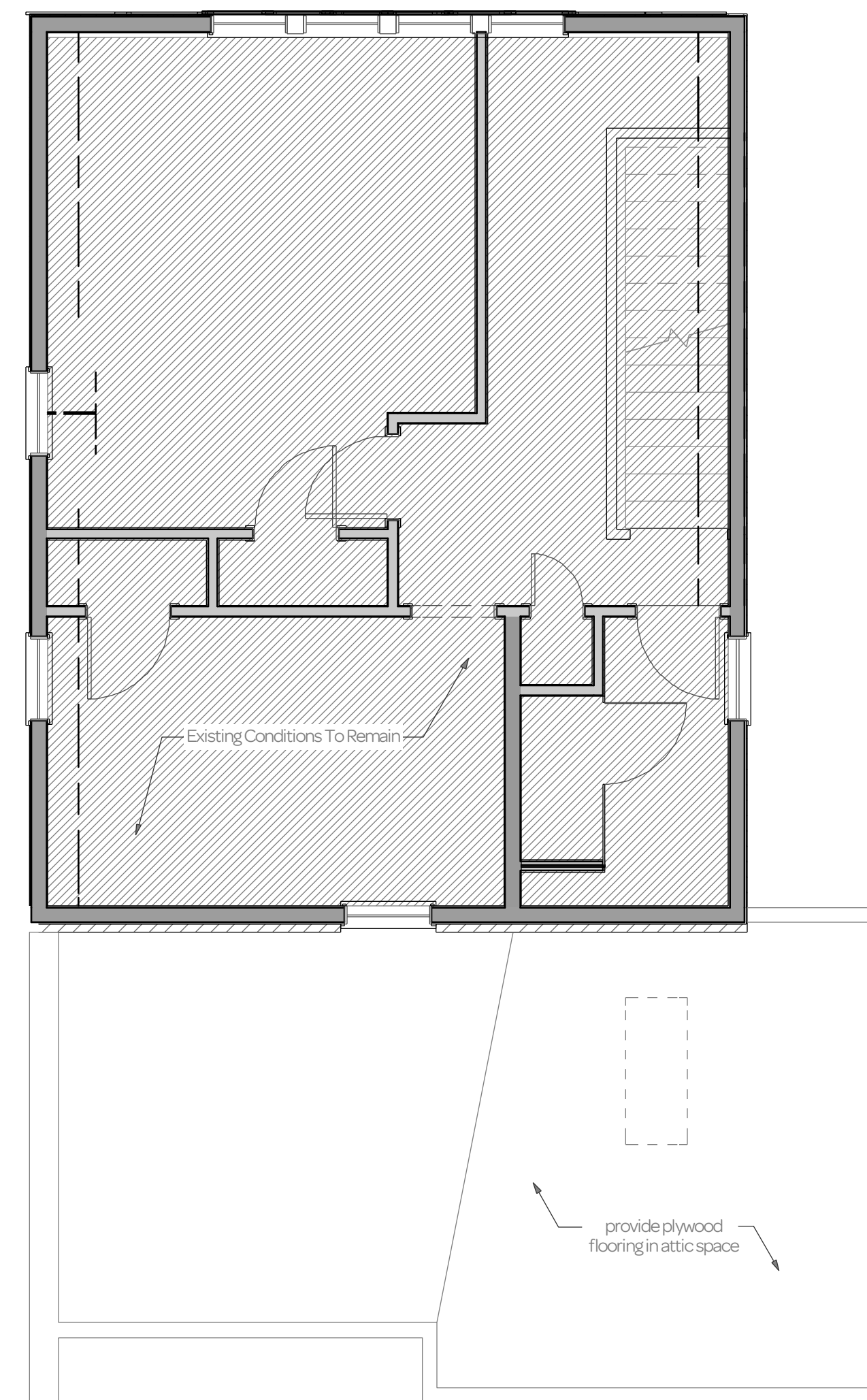
**ADDITIONAL NOTES**

- all exterior walls are 2x6 framing with 1/2" gypsum board interior
- all exterior walls are to have a minimum R-value of R-13
- any exterior light fixtures or hose bibs are to be reviewed with homeowner before construction
- it is suggested that the new spaces use minisplits for heating and cooling, this is to be reviewed with the homeowner before construction.
- It is recommended to seal, insulate and condition the new crawlspace. Review with homeowner before construction
- all cabinetry shown is for space planning purposes only, final cabinetry design is to be done by others

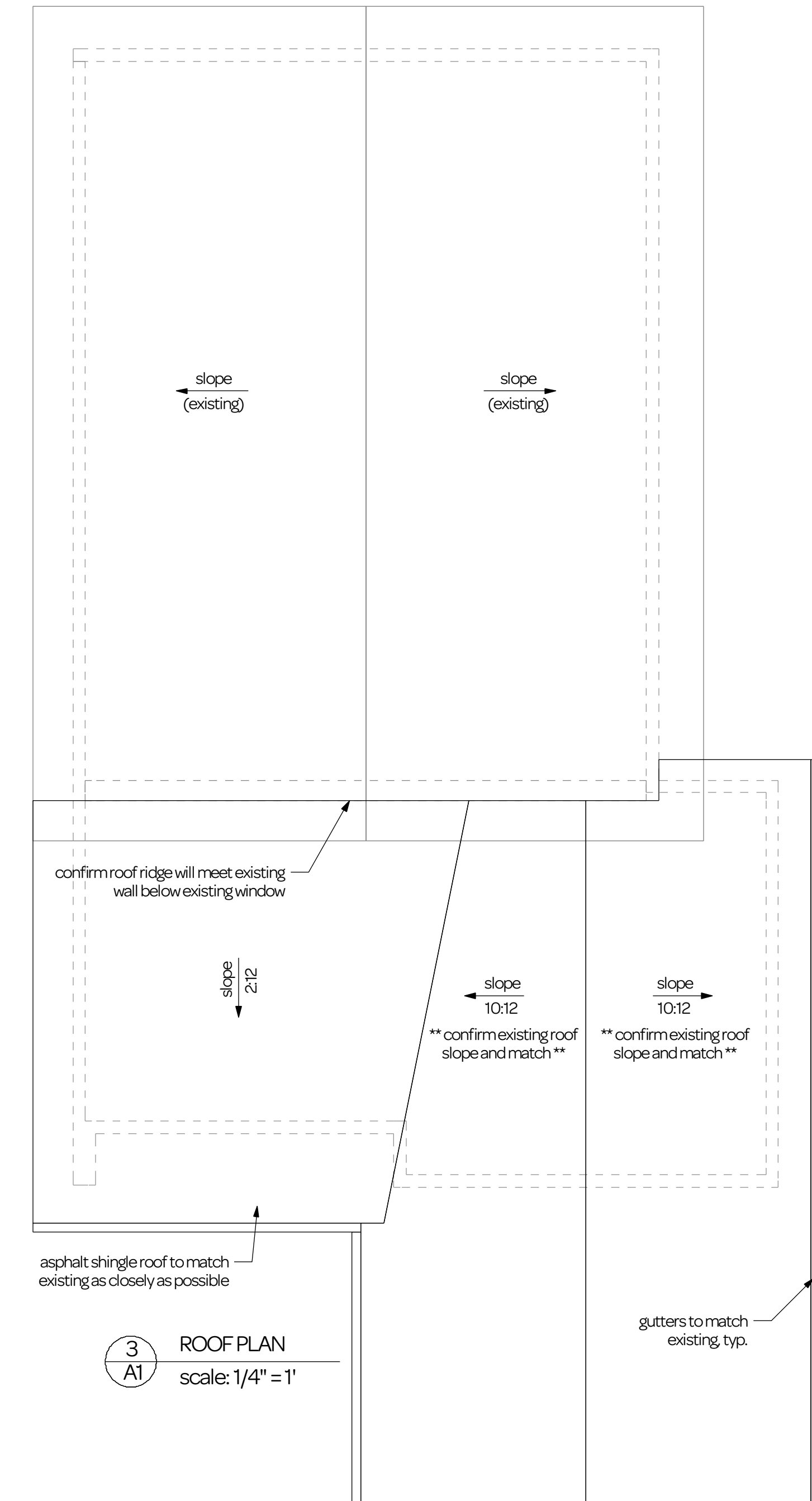
NOTE SCHEDULE	
(N1)	PROVIDE DROPPED BEAM AS NECESSARY TO CREATE OPENING IN EXISTING WALL MAINTAIN MAXIMUM HEIGHT BY USING WIDER BEAM INSTEAD OF DEEPER BEAM.
(N2)	SYMMETRICALLY PLACE BEDROOM DOOR ON OPPOSITE SIDE OF BEAM FROM DOORWAY INTO LAUNDRY ROOM
(N3)	RELOCATE PLUMBING CHASE INTO WATER HEATER CLOSET IF POSSIBLE
(N4)	PROVIDE FLUSH FLOOR DRAIN AND PITCH ALL BATHROOM FLOOR TOWARDS DRAIN
(N5)	ELECTRICAL PANEL LOCATION
(N6)	RELOCATE WATER HEATER TO THIS LOCATION AND INSTALL FULL HEIGHT CABINET AROUND HEATER
(N7)	PROVIDE DEEP STAIR TO YARD, MATCH DECKING STYLE AND MATERIALS
(N8)	PROVIDE DROP-DOWN ATTIC ACCESS STAIR CENTERED ON ROOF RIDGE



1  
A1 GROUND FLOOR PLAN  
scale: 1/4" = 1'



2  
A1 SECOND FLOOR PLAN  
scale: 1/4" = 1'

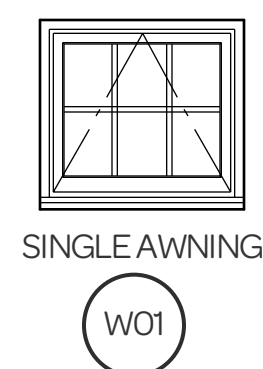


3  
A1 ROOF PLAN  
scale: 1/4" = 1'

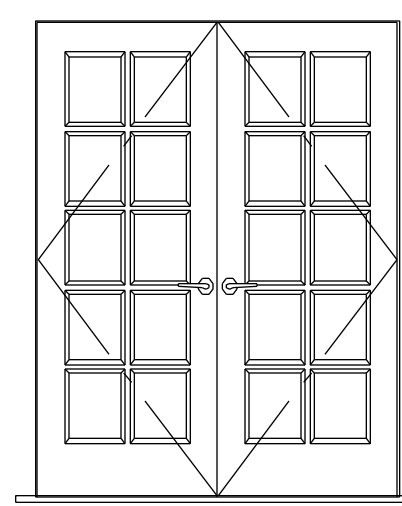
DOOR SCHEDULE					
NUMBER	QTY	HEIGHT	WIDTH	DESCRIPTION	COMMENTS
D02	1	80"	30"	PANEL POCKET DOOR	
D03	1	80"	36"	HINGED PANEL DOOR	
D04	1	80"	42"	BARN DOOR	
D05	1	80"	42"	CASED OPENING	
D06	1	80"	42"	DOUBLE HINGED PANEL DOOR	

WINDOW SCHEDULE				
NUMBER	QTY	DESCRIPTION	EGRESS	COMMENTS
W01	1	SINGLE AWNING		
W02	1	36W X 80H FRENCH DOOR AND 18W SIDELITE	YES	
W04	1	HINGED PATIO DOOR	YES	
W05	1	3X1 MULLED UNIT		
W06	1	2X1 MULLED UNIT		

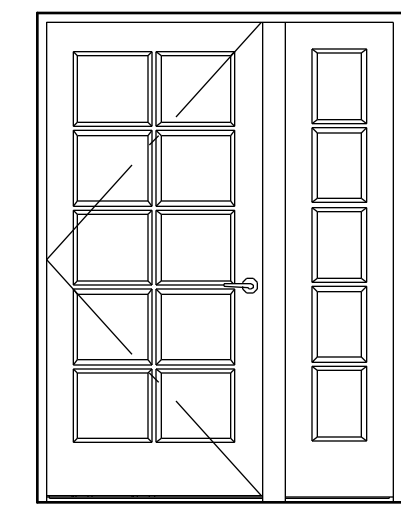
- provide tempered doors and windows as required by code
- window finish is to match existing as much as possible
- provide screens for all operable windows and doors



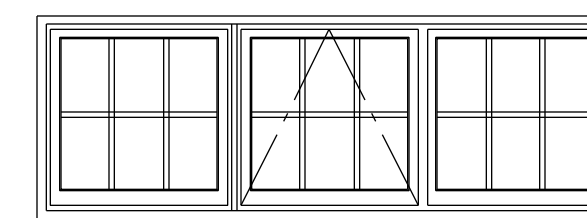
SINGLE AWNING  
W01



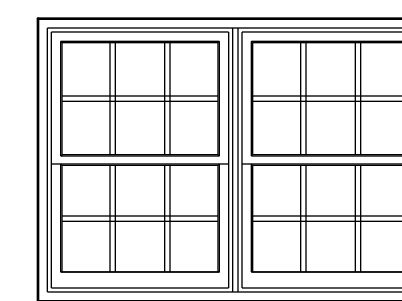
FRENCH PATIO DOOR  
W04



PATIO DOOR WITH SIDELITE  
W02



MULLED UNIT  
W05



MULLED UNIT  
W06

\*\* ALL WINDOW LITE PATTERNS TO BE APPROVED BY HOMEOWNER BEFORE PURCHASE \*\*

508-469-0802  
P.O. Box 621  
Chatham, MA 02633



ANGLIN EXTENSION  
209 W. Wanola Ave  
Kingsport, TN 37660

FLOOR AND ROOF PLANS

DATE:

7/14/2024

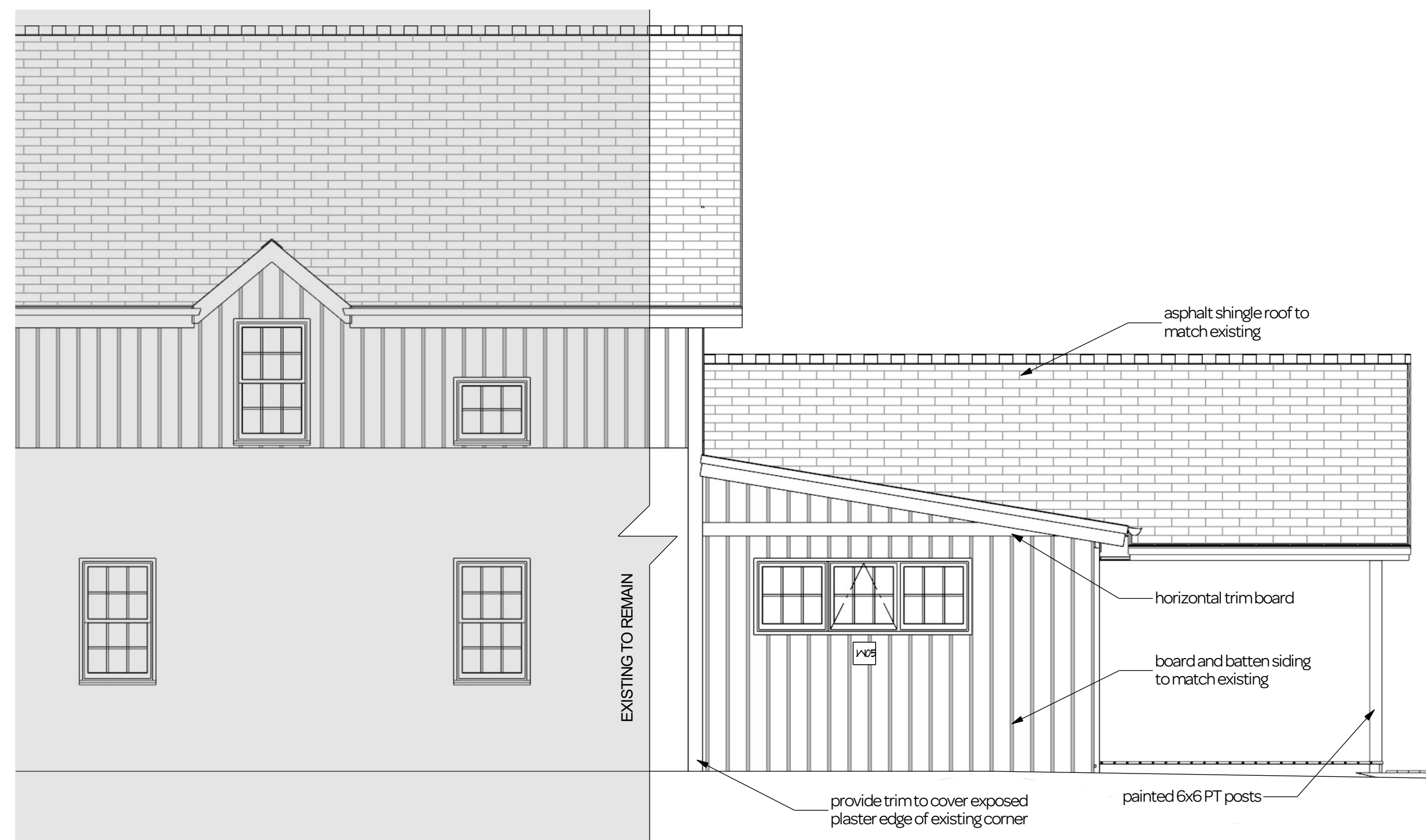
SCALE:

1/4" = 1'

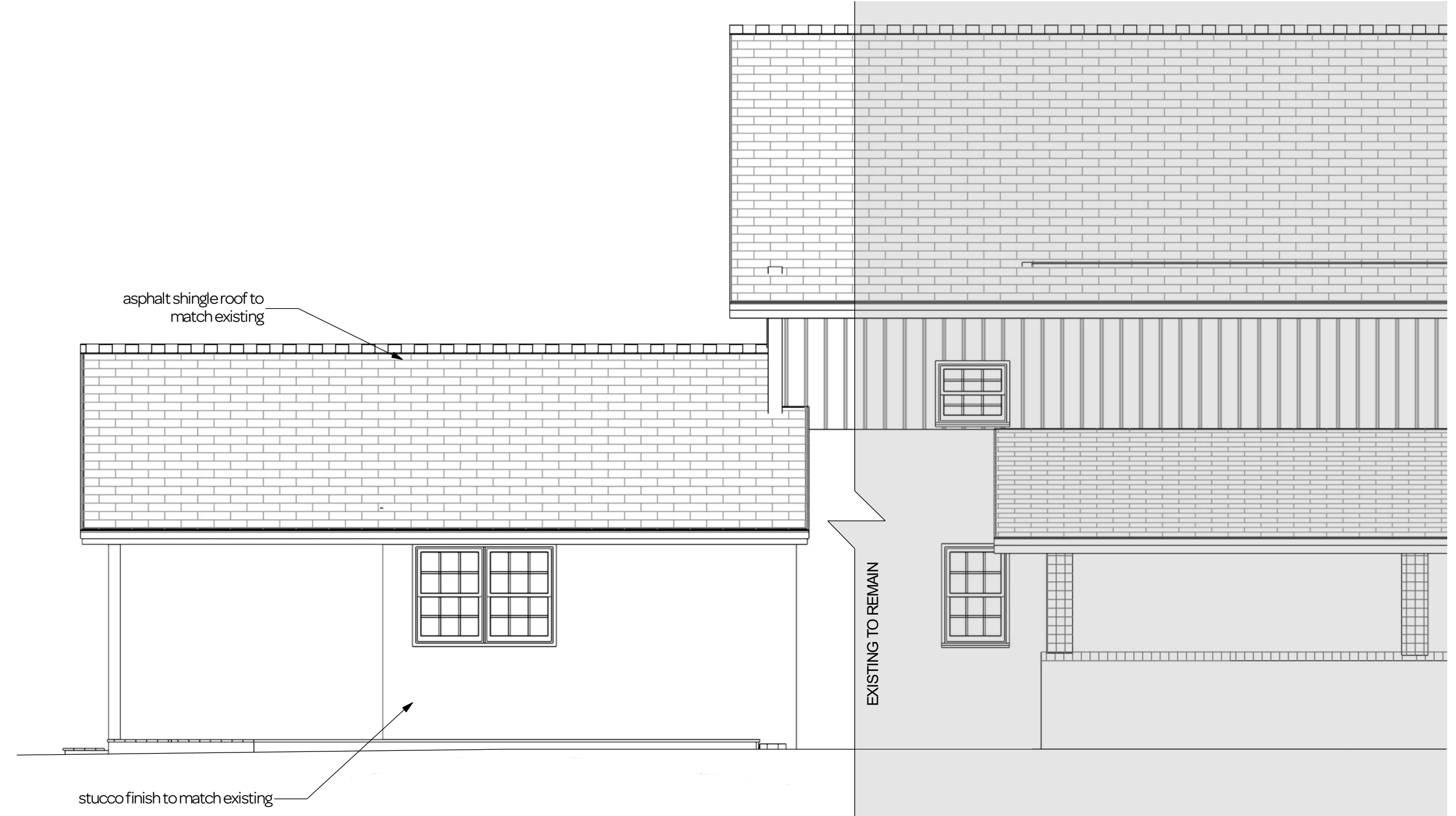
SHEET:

A1

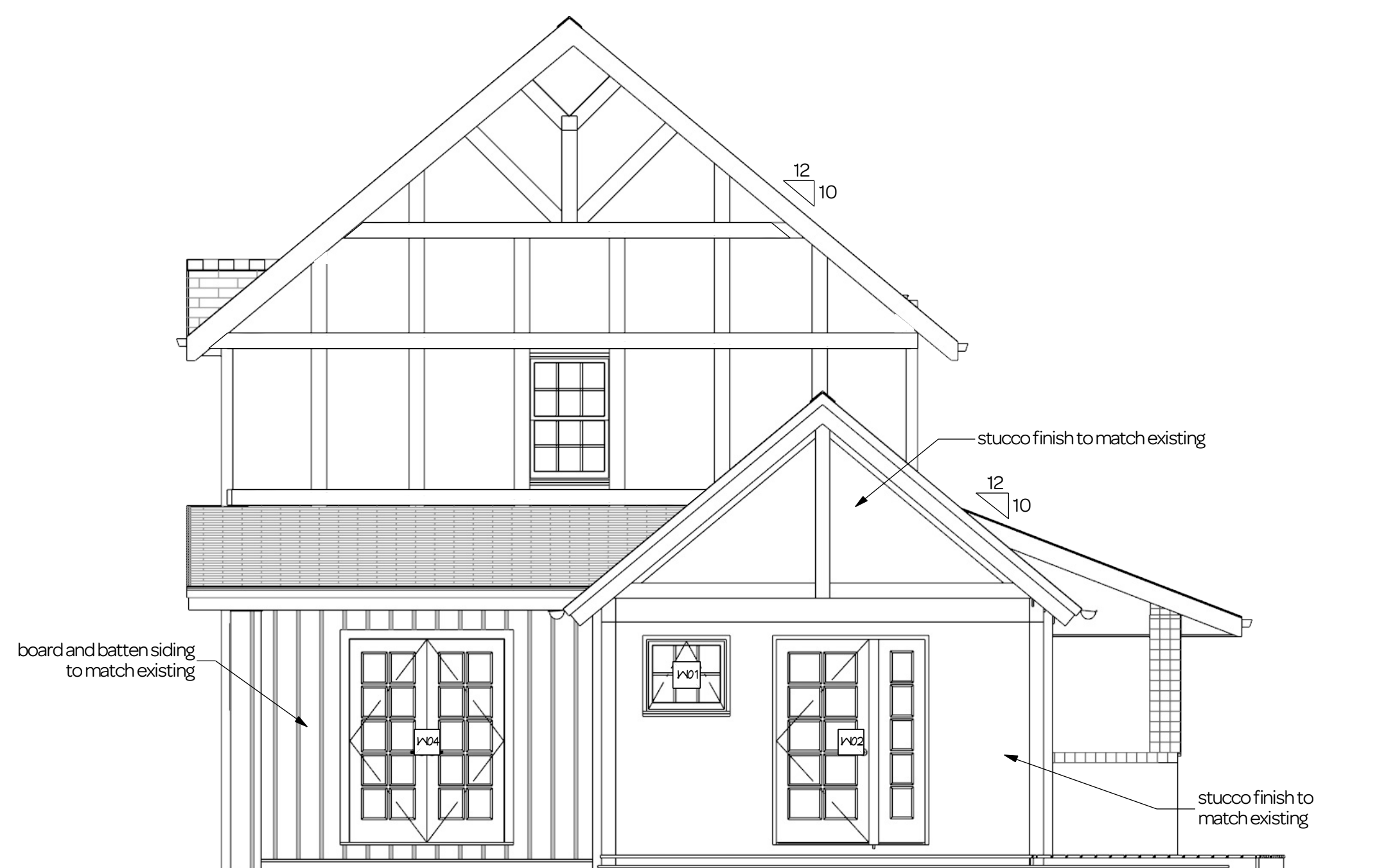




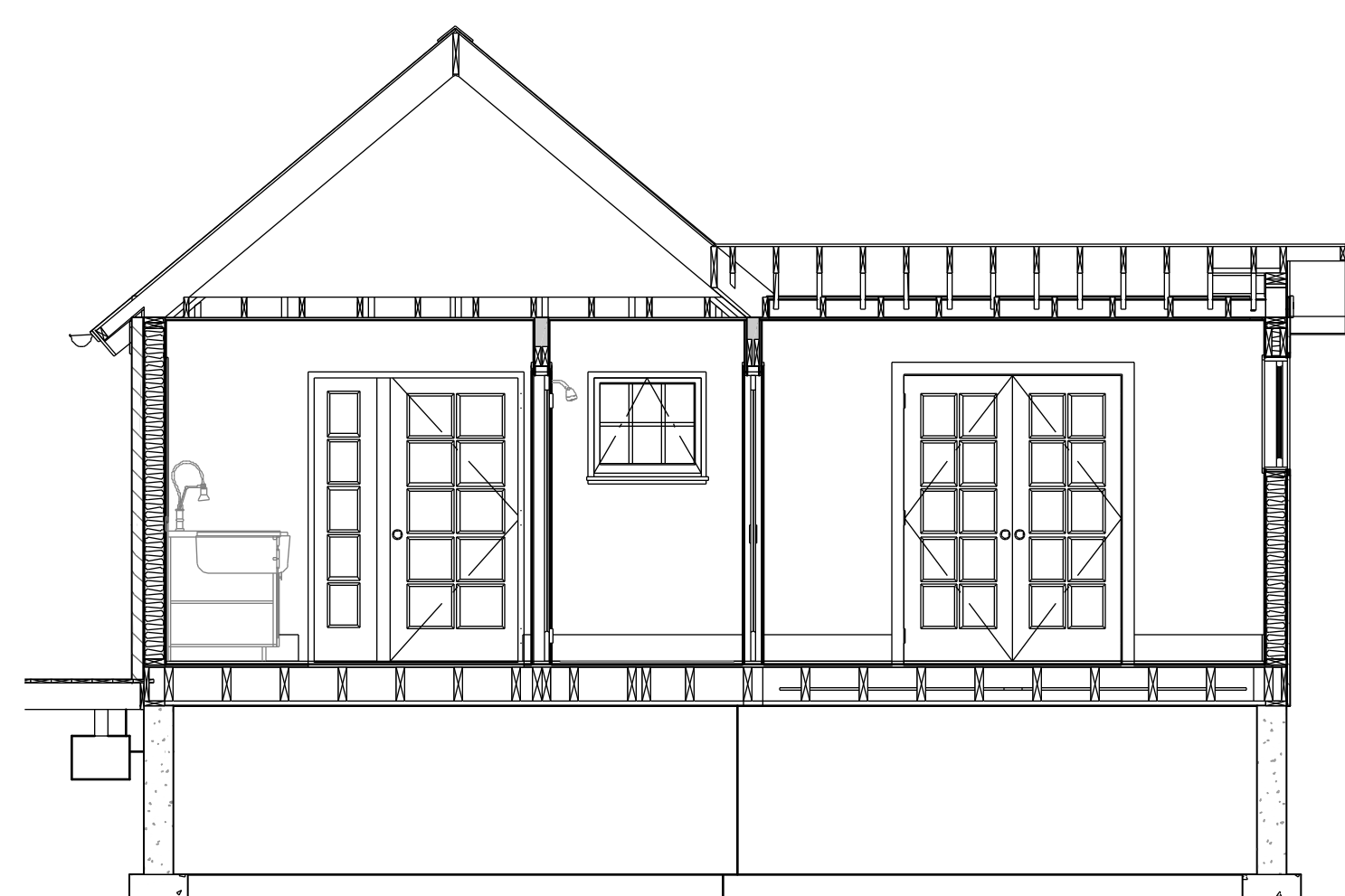
1 A2 SOUTHWEST / LEFT SIDE ELEVATION  
scale: 1/4" = 1'



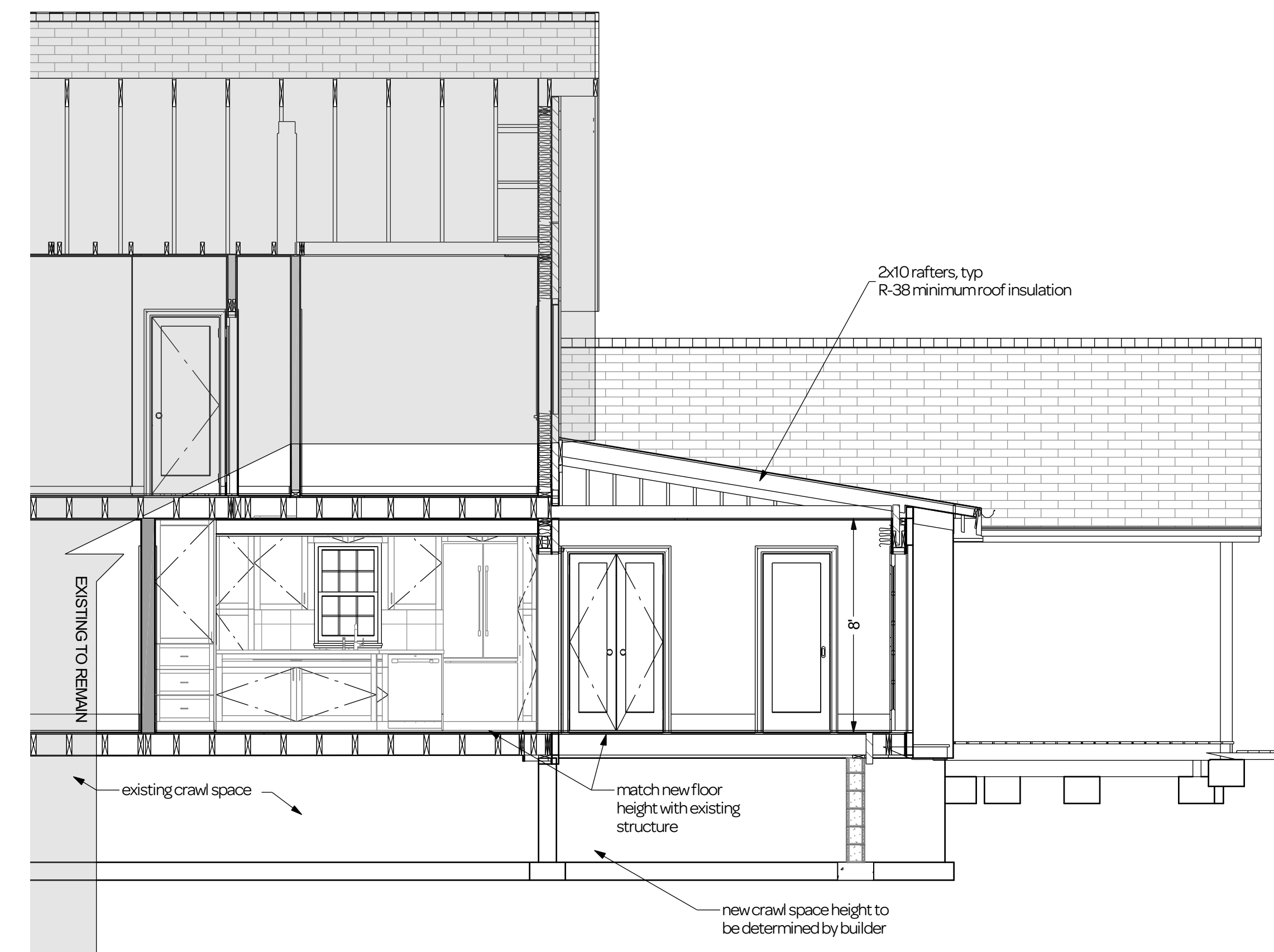
1 A2 NORTHEAST / RIGHT SIDE ELEVATION  
scale: 1/4" = 1'



1 A2 SOUTHEAST / BOTTOM SIDE ELEVATION  
scale: 1/4" = 1'



1 A2 SOUTHEAST / BOTTOM SIDE ELEVATION  
scale: 1/4" = 1'



1 A2 SOUTHEAST / BOTTOM SIDE ELEVATION  
scale: 1/4" = 1'

**STRUCTURAL AND FINISH NOTES**

All structural elements are intended to provide a level floor surface between the existing floors and new renovation. It is recommended that an engineer provides detailed sizing calculations for these components.

All exterior finishes are intended to match the existing as closely as possible. This includes eave details, trim style and finish, stucco paint and finish, and any other features that are a continuation or imitation of the existing facade. Builder is responsible for assessing existing finishes and providing suitable solutions to match.





508-469-0802  
P.O. Box 621  
Chatham, MA 02633



DRAWINGS PROVIDED BY:

**ANGLIN EXTENSION**  
209 W. Wanda Ave  
Kingsport, TN 37660

**PROJECT RENDERINGS FOR REFERENCE**

DATE:

7/14/2024

SCALE:

1/4" = 1'

SHEET:

**A3**



GENERAL NOTES:

- 1. This property is subject to any and all restrictions, zoning, ordinances, rights of way, or easements of record whether shown or not shown hereon.
- 2. This survey has been completed without the benefit of a full and complete title search.
- 3. Deed References and Adjoining Land Owner information is based on information from the County tax assessors office and is subject to the accuracy thereof.
- 4. This Survey is based upon a current field survey.

FLOOD NOTE:

This Property Lies within Zone X of FIRM Map 47163C0045D, Effective on 09/29/2006

Historic Zone R-2 Setbacks:

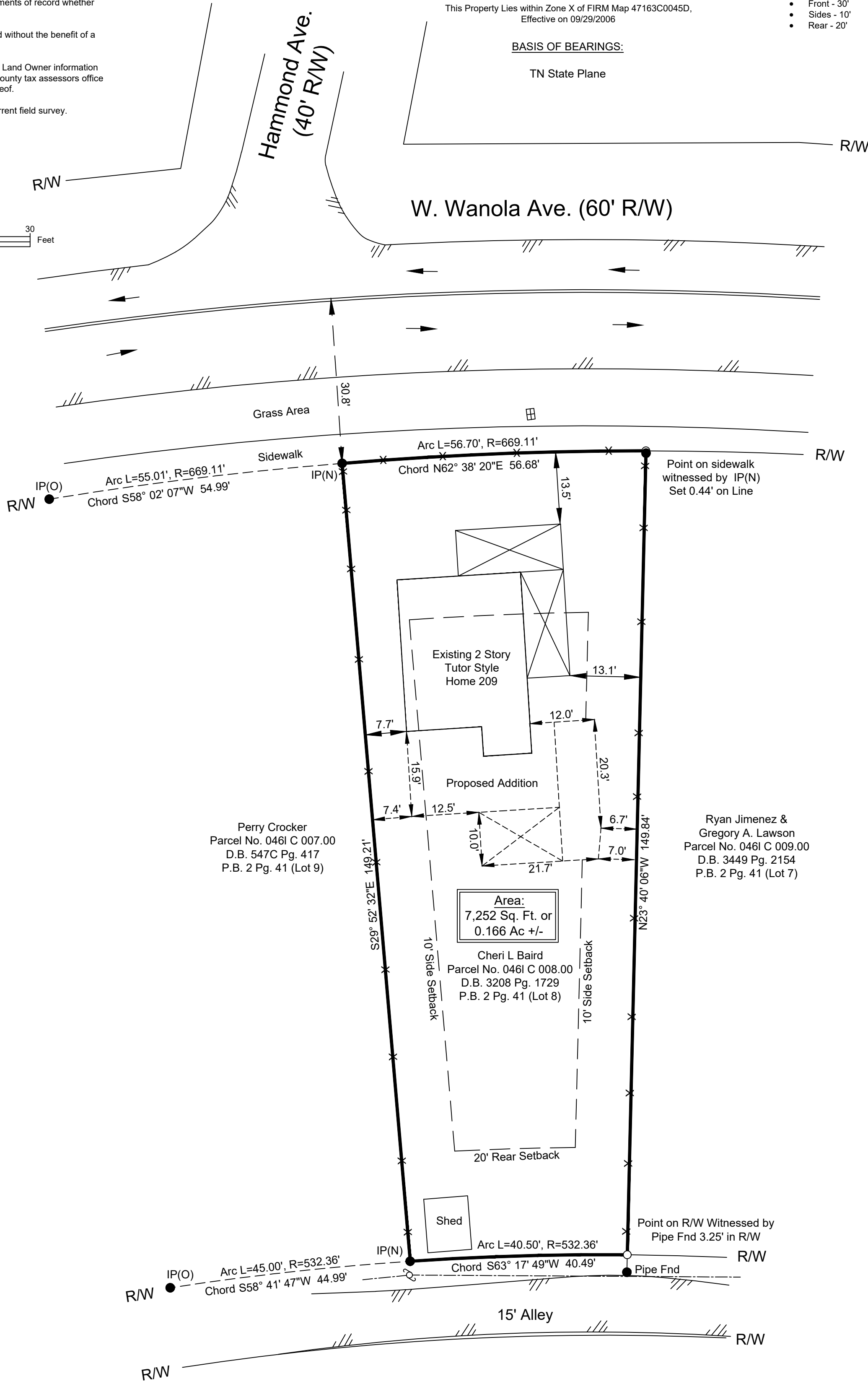
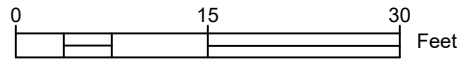
- Front - 30'
- Sides - 10'
- Rear - 20'

LEGEND:

- Boundary Line
- Overhead Elec
- Adjoining P/L
- Setbacks
- IR(O) Old Iron Rod Found
- IR(N) New Iron Rod Set Point
- Water Meter

BASIS OF BEARINGS:

TN State Plane

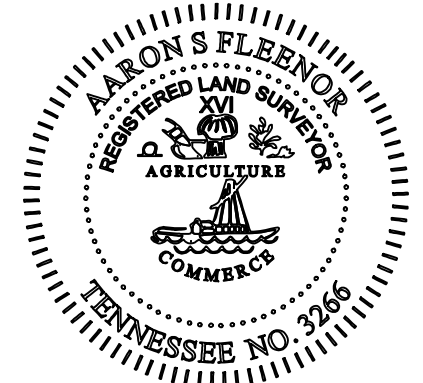


Perry Crocker  
Parcel No. 0461 C 007.00  
D.B. 547C Pg. 417  
P.B. 2 Pg. 41 (Lot 9)

Ryan Jimenez &  
Gregory A. Lawson  
Parcel No. 0461 C 009.00  
D.B. 3449 Pg. 2154  
P.B. 2 Pg. 41 (Lot 7)

Area:  
7,252 Sq. Ft. or  
0.166 Ac +/-

Cheri L Baird  
Parcel No. 0461 C 008.00  
D.B. 3208 Pg. 1729  
P.B. 2 Pg. 41 (Lot 8)



CERTIFICATE OF ACCURACY:

I hereby certify that this is a category 1 Survey and the ratio of precision of the unadjusted survey is 1:10,000 as shown hereon, and that the Lines taken from Plats of record are subject to the accuracy thereof.

Date \_\_\_\_\_, 20\_\_\_\_

Preliminary (For Review)

Tennessee Registered Land Surveyor

HIGHLANDS  
SURVEYING and MAPPING LLC

36435 Kelly Chapel Rd. Glade Spring, VA 24340  
(276) 477-4180 (276) 608-7777  
aflenor@hsmllc.org

CERTIFICATE OF THE APPROVAL OF STREETS

I hereby certify: (1) That streets have been installed in an acceptable manner and according to the specifications or, (2) Adequate rights-of-way dedication upon an existing public road shall serve these lots as proposed.

Date \_\_\_\_\_, 20\_\_\_\_

City Engineer or County Road Commissioner

CERTIFICATE OF APPROVAL OF PUBLIC WATER SYSTEMS

I hereby certify that the public water utility system installed or proposed for installation fully meets the requirements of the \_\_\_\_\_ utility system, and are hereby approved as shown.

Date \_\_\_\_\_, 20\_\_\_\_

Authorizing Agent

CERTIFICATE OF THE APPROVAL FOR 911-STREET ASSIGNMENT

I hereby certify that the addresses, as noted on the final plat, are approved as assigned.

Date \_\_\_\_\_, 20\_\_\_\_

City G.I.S. Division or Sullivan County Director of 911 Addressing or His/Her Authorized Representative

Survey and Variance Request  
of Property owned by:  
Cheri L. Baird

CERTIFICATE OF OWNERSHIP AND DEDICATION

I (we) hereby certify that I am (we are) the owner(s) of the property shown and described hereon and that I (we) hereby adopt this plan of subdivision with my (our) free consent, establish the minimum building restriction lines, and dedicate all streets, alleys, walks, parks and other open space to public or private use as noted.

Date \_\_\_\_\_, 20\_\_\_\_

Owner \_\_\_\_\_ Date \_\_\_\_\_

CERTIFICATE OF THE APPROVAL FOR RECORDING

I hereby certify that the subdivision plat shown hereon has been found to comply with the Subdivision Regulations for Kingsport, Tennessee, with the exception of such variances, if any, as are noted in the minutes of the Planning Commission and that it has been approved for recording in the Office of the \_\_\_\_\_ Register. If required, a surety bond in the amount of \$\_\_\_\_\_ has been posted with the Kingsport Regional Planning Commission to assure completion of all required improvements in case of default.

Date \_\_\_\_\_, 20\_\_\_\_

Kingsport Municipal/Regional Planning Commission

CERTIFICATE OF THE APPROVAL OF SEWERAGE SYSTEMS

I hereby certify that the sewerage disposal system installed fully meets the requirements of the Tennessee Department of Environment and Conservation and is hereby approved as shown

Date \_\_\_\_\_, 20\_\_\_\_

Tennessee Department of Environment and Conservation or

Kingsport Authorizing Agent

KINGSPORT, TENNESSEE REGIONAL PLANNING COMMISSION

TOTAL ACRES 0.166 +/- TOTAL LOTS 1  
ACRES NEW ROAD 0 MILES NEW ROAD 0

OWNER Cheri L. Baird CIVIL DISTRICT 11  
SURVEYOR Aaron S. Fleenor CLOSURE ERROR 1: 10,000

SCALE: 1" = 10'