



## **HISTORIC ZONING COMMISSION MEETING AGENDA**

**Monday, August 11, 2025 at 1:30 PM  
City Hall, 415 Broad Street, Room 226**

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**This meeting is an open and accessible meeting. If interested parties request special assistance or accommodations, please notify the Planning Department three (3) days in advance of the meeting.**

### **I. INTRODUCTION AND MEETING PROCEDURES**

### **II. APPROVAL OF THE AGENDA**

### **III. APPROVAL OF MINUTES**

- [1.](#) Minutes from July 14th, 2025 Regular Historic Meeting

### **IV. OLD BUSINESS**

### **V. NEW BUSINESS**

- [1.](#) 143/147/151 Broad Street- Revise the building's exterior to include historically inspired window elements, enhancing architectural character and increasing natural light. (HISTR25-0177)
- [2.](#) 244 E. Main Street- Exterior façade enhancements and signage installation (HISTR25-0179)
- [3.](#) 152-158 Broad Street- Install new storefronts in four designated locations and update the building's exterior to reflect historic architectural character by incorporating traditional upper-level windows and replacing existing windows (HISTR25-0188)
- [4.](#) 1253 Watauga Street - Transform current garage into a living space (HISTR25-0197)

### **VI. OTHER BUSINESS**

1. In-House Approvals:

1) 1244 Watauga Street- Remove old shingles and re-roof with new shingles. (HISTR25-0202)

2) 135 W. Main Street- Landscaping and signage. (HISTR25-0203)

2. Election for Chairman and Vice-Chairman

3. Commission Term Realignment

4. Signage

## **VII. PUBLIC COMMENT**

Citizens may speak on issue-oriented items. When you come to the podium, please state your name and address and sign the register that is provided. You are encouraged to keep your comments non- personal in nature, and they should be limited to five minutes.

## **VIII. ADJOURN**

MINUTES OF THE REGULAR SECHEDULED MEETING OF THE  
KINGSPORT HISTROIC ZONING COMMISSION

July 14<sup>th</sup>, 2025

1:30 p.m.

**Members Present:**

Jewell McKinney  
Lindsey Nieuwland  
Bob Grygotis  
Chip Millican

**Members Absent:**

Dineen West  
Jack Edwards  
Joe Cross

**Staff Present:**

Lori Pyatte  
Ken Weems  
Bart Rowlett

**Visitors Present:**

Martin Bagwell  
Lai Benson

Chairman Jewell McKinney called the meeting to order at 1:30 p.m. She welcomed everyone in attendance and provided an opportunity for all Historic Commissioners to introduce themselves and visitors.

The Chairman called for approval of the agenda. Commissioner Lindsey Nieuwland made a motion to approve the agenda as presented, which was seconded. The motion passed unanimously with a vote of 4 - 0.

Next, the Chairman called for approval of the minutes from the regular meeting on April 14<sup>th</sup>, 2025. Commissioner Lindsey Nieuwland made a motion to approve the minutes, which was seconded. The motion passed unanimously with a vote of 4-0.

**Old Business:**

**217 W. Wanola Ave- Demolition by Neglect (HISTR25-0082)**

Chairman McKinney reminded the Commission that the property at 217 W. Wanola Ave had previously been reviewed and referred to the City Building Department. She noted that the packet included several photographs that clearly illustrate the current condition of the property. Based on her discussions with staff, Chairman McKinney explained that the purpose of this agenda item was simply to vote on whether to continue the process and move the matter forward.

Staff confirmed that the City Building Department has scheduled a hearing for this property on August 21, 2025.

Chairman McKinney then asked City Attorney Mr. Rowlett what would occur if the property owner failed to attend the scheduled hearing. Mr. Rowlett explained that as long as the owner has been properly served with notice of the hearing, the Building Official may proceed in their absence. Evidence regarding the condition of the structure would still be presented, and a determination could be made based on whether the structure meets the criteria for action. Mr. Rowlett added that even if the owner does not attend, they retain the right to appeal any decision made by the Building Official.

He also clarified that if the owner fails to make the necessary repairs, the City has the authority to perform the repairs and place a lien on the property to recover the costs.

Chairman McKinney then opened the floor for questions.

Commissioner Millican asked for clarification on the Commission's role in the matter. Mr. Rowlett responded that the Commission's responsibility is to make a recommendation to the Building Official to proceed with a determination of Demolition by Neglect.

Commissioner Millican then made a motion to proceed with the recommendation, which was seconded and approved unanimously by a vote of 4-0.

### **New Business:**

#### **242 E. Main Street- Window Replacement and Sign Placement on Building (HISTR25-0162)**

Martin Bagwell addressed the Commission regarding the project at 242 E. Main Street, formerly the location of Main Street Pizza. He explained that the building had experienced water damage at the front and that necessary repairs had been made.

Mr. Bagwell stated that he was appearing before the Commission to seek approval for updates to the second-story windows and for new signage on the front of the building. He proposed installing a 6-square-foot sign.

Regarding the windows, Mr. Bagwell explained that the existing second-story wood-framed windows, currently painted black, would be removed and replaced. The new windows would be double-pane, fixed (non-operable), and framed in wood, offering improved energy efficiency.

As for the signage, Mr. Bagwell indicated plans for a flag-mounted, backlit sign to be installed between the two awnings on the front façade.

Chairman McKinney then opened the floor for questions.

Following discussion, Commissioner Lindsey Nieuwland made a motion to approve the project as presented. The motion was seconded and passed unanimously with a vote of 4-0.

#### **209/213 W. Sullivan Street- Window Replacement (HISTR25-0164)**

Lai Benson appeared before the Commission to present a proposal for the remodeling project at 213/209 W. Sullivan Street. Mr. Benson stated that the project involves both interior renovations and the replacement of all windows, totaling 40 new windows.



Chairman McKinney confirmed with Mr. Benson that the proposed replacement windows would match the pattern of the existing windows. Mr. Benson further clarified that the new windows would be similar in style to those at 414 and 418 W. Sullivan Street in the Park Hill Historic District—featuring white gridded vinyl windows, wrapped in maroon-colored metal.

Commissioner Millican inquired about the design of the proposed windows, specifically the white grid detail, and how it compares to the existing windows on the property.

Chairman McKinney then asked Mr. Benson whether there were any plans to address surface issues on the building's exterior, including potential future painting. Mr. Benson did not indicate any immediate plans for exterior painting.

Chairman McKinney opened the floor for further questions. Commissioner Millican asked whether there were any design guidelines for color applicable to Tudor-style buildings. Staff clarified that although the property shares visual similarities with those in the Park Hill Historic District, it is located within the Church Circle District, which currently has no color guidelines.

Commissioner Nieuwland added that on the street where her business is located within Church Circle, there is a mix of different window styles.

After discussion, Commissioner Gryotis made a motion to approve the project as presented. The motion was seconded and passed with a vote of 3-1.

### **Other Business:**

### **In-House Approvals:**

Staff reported that since last meeting the following seven projects approved through in-house review:

1. **410 W. Sullivan Street (HISTR25-0103)**  
*Approved to repaint the exterior of the home using the approved Park Hill color palette.*
2. **200 W. Church Circle (HISTR25-01015)**  
*Approved to replace the gym roof with shingles matching the current ones in both color and style.*
3. **1302 Watauga Street (HISTR25-0112)**  
*Approved gutter replacement and removal of existing landscaping for installation of new landscaping.*  
*(Note: This was an after-the-fact review.)*
4. **152–158 Broad Street (HISTR25-0145)**  
*Approved removal of paint from the building, necessary tuckpointing of the brick, and removal of pink, purple, yellow, and blue siding on the front façade.*
5. **242 E. Main Street (HISTR25-0160)**  
*Approved replacement of rotten wood in the window, repainting of the exterior storefront, and removal/replacement of the awning with a new one matching the current style.*
6. **240 E. Main Street (HISTR25-0161)**  
*Approved removal of existing mulch and replacement with pea gravel.*

**7. 116 W. Main Street (HISTR25-0178)**

*Approved removal and replacement of the existing awning with a new awning of the same style.*

**Officer Elections:**

Staff informed the Commission that it is time to hold elections for the positions of Chairman and Vice-Chairman. Currently, Chairman McKinney and Vice-Chairman West are serving in those roles. Staff noted that both individuals have expressed a willingness to continue serving if that is the desire of the Commission.

Given that only four members were present at the meeting, staff advised that a vote was not required at this time and could be postponed until the regular meeting in August.

Commissioner Millican stated his support for re-nominating the current officers and suggested that the Commission proceed with a formal vote at the August meeting.

Staff acknowledged the recommendation and confirmed that a final vote will be held at the August regular meeting.

**Member Terms/ Selection Process:**

Staff informed the Commission that the Board of Mayor and Aldermen has approved a term realignment for all city commissions. Under the new structure, the terms of current commission members will be extended to the following April after their original expiration date.

For example, Commissioner Nieuwland, whose term was originally set to expire on June 30, 2025 (as she had filled an unexpired term), will now have a new expiration date of April 30, 2026.

Staff also noted that when a member's term is approaching expiration, they will be required to submit a new application during the open application period, which begins 45 days prior to the month of consideration. For this Commission, applications will typically be accepted from February through mid-March.

Staff stated that this information will be reviewed again in August for the benefit of any members not present at this meeting.

**Staff Reports:**

Staff reported that the department has recently received an increasing number of sidewalk dining applications, particularly along Broad Street, and anticipates similar interest along Main Street as new businesses continue to open. In response to this trend, Chairman McKinney requested that staff consult with the City Attorney to determine the extent of the Historic Zoning Commission's authority in such matters.

Staff introduced the City Attorney, who was present to provide clarification.

The City Attorney explained that, under the current historic zoning regulations, the Historic Zoning Commission does not have authority to regulate sidewalk dining. The City of Kingsport already has established procedures in place for sidewalk dining, which fall under the jurisdiction of the Right-of-Way Superintendent and the Public Works Director.

Additionally, the City Attorney noted that if an establishment plans to sell beer in a sidewalk dining area, they must also appear before the Beer Permit Board and comply with the associated requirements.

He further clarified that for the Historic Zoning Commission to have regulatory authority over sidewalk dining, changes would need to be made to the City Code. Even then, the scope of regulation by the Commission might be limited, as the Commission primarily oversees private property and building premises, whereas the downtown sidewalks are owned outright by the City of Kingsport—not simply managed as right-of-way.

The City Attorney commented that perhaps the only aspect the Commission might regulate, if permitted, would be the appearance of tables and chairs, though he questioned whether the Commission would want to become involved in regulating patio furniture design.

Chairman McKinney inquired whether the design guidelines currently require any type of shield or barrier for sidewalk dining areas. The City Attorney responded that such requirements fall under City Code Chapter 6, which governs the sale of beer. According to that ordinance, no barrier is required for general sidewalk dining, but if the dining area is designated as a beer service area, then a 48-inch-high barrier is mandatory.

Staff added that when applications are reviewed, they accompany the Right-of-Way Superintendent on-site to ensure that ADA compliance is met.

With no further business, the Chairman adjourned the meeting at 2:04 p.m.

Respectfully Submitted,

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Jewell McKinney, Chairman

# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0177

Item V1.

<b>Property Information</b>			
Address	143/147/151 Broad Street		
Tax Map, Group, Parcel	046P B 013.00		
Civil District	11 <sup>th</sup>		
Overlay District	100 Block of Broad Street		
Land Use Plan Designation	Retail/Commercial		
Acres	+/- 0.32		
Existing Use	Retail/Commercial	Existing Zoning	B-2
Proposed Use	No Change	Proposed Zoning	No change
<b>Owner Information</b>			
<b>Name:</b> Selina Straley <b>Address:</b> 1425 Linville Street <b>City:</b> Kingsport <b>State:</b> TN <b>Zip Code:</b> 37664 <b>Phone Number:</b> 502-693-8432 <b>Representative:</b> Selina Straley		<b>Removal of the existing faux balcony, columns, windows, and cornice to reveal eight original windows, with the addition of new sills.</b>	
<b>Points for Consideration</b>			
<p><b>Request:</b> The property owner is proposing removal of the existing faux balcony, columns, windows, and cornice to reveal eight original windows, with the addition of new sills.</p> <p><b>When considering this request:</b> The majority of the commercial buildings in this historic district are of brick construction. Most of the original doors and windows in the buildings have been removed and replaced with modern materials. The retention and preservation of any original design element is encouraged throughout the district.</p> <ul style="list-style-type: none"> <li>• Preserve and maintain original masonry exteriors</li> <li>• Brick should be repaired or replaced with brick to match the original.</li> <li>• Maintain and preserve original storefronts and all their elements.</li> </ul> <p><b>Staff recommends:</b> approval based upon conformance with the design standards</p>			
Planning Tech:	Lori Pyatte	Date:	07/22/2025
<b>Historic Zoning Commission Action</b>		<b>Meeting Date:</b>	<b>08/11/2025</b>
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

**Historic Guidelines: Commercial Building Materials***Rehabilitation Guidelines for Commercial Historic Properties***1.0 COMMERCIAL BUILDING MATERIALS****Policy:**

The majority of the commercial buildings in Kingsport are of brick construction. The buildings in the Main Street Historic District are consistent in their height, brick exteriors and flat roofs. Most of the original doors and windows in the buildings have been removed and replaced with modern materials. The retention and preservation of any original design element is encouraged throughout the district.

**DESIGN GUIDELINES FOR COMMERCIAL BUILDING MATERIALS****1.1 All elements of historic windows (sills, lintels, frames, sashes, glass of windows, and transoms) should be preserved.**

If any of these components are damaged beyond repair, replace them with in-kind design and materials.

**1.2 Preserve and maintain original masonry exteriors.**

Preserve brick and masonry materials. Do not cover historic masonry surfaces. Use mild detergent and low-pressure water to clean any grime or graffiti. Sandblasting is extremely destructive to historic masonry and is not an acceptable treatment.

**1.3 Brick should be repaired or replaced with brick to match the original.** Missing bricks should be replaced with bricks that match the existing in color, size, texture, and coursing technique.**1.4 Keep historic masonry visible and unpainted.**

Do not paint masonry that has never been painted unless the exterior has mismatched brick or paint is required to seal a sandblasted building.

**1.5 Preserve original mortar if possible, but if re-pointing is necessary use mortar mixes similar to the original.**

Mortar mixes of the past had a higher lime content than today's Portland cement. When re-pointing historic mortar, match the original mortar in width, depth, color, joint profile, and texture.

**1.6 Retain original roof forms.**

Most commercial buildings have flat roofs, where their actual surface is not visible from street level. Where roof shapes have been altered, restoration to the original shape is encouraged. Roof surfaces for commercial buildings may be of appropriate metal designs, asphalt shingles, or rolled asphalt.

**Historic Guidelines: Storefronts**

*Rehabilitation Guidelines for Commercial Historic Properties:*

**2.0 STOREFRONTS****Policy:**

Commercial storefronts were designed with the consumer in mind. Pedestrians on the sidewalk viewed merchandise through the large display windows resting on low bulkheads. The storefront entrance consisted of single or double doors that often included a large single-light pane for transparency. Maintain and preserve original storefronts and all their elements. Business owners should retain their storefronts' original components. Storefronts should not be altered or covered with non-historic materials. A common practice during the mid-20th century was for property owners to add new materials in an attempt to modernize their commercial buildings to compete with new suburban shopping centers. None of these storefronts in the historic district possess architectural significance and restoration of storefronts that have been altered is encouraged.

**DESIGN GUIDELINES FOR STOREFRONTS****2.1 Retain and maintain historic storefronts and their components**

Retain and maintain storefront components, including display windows, bulkheads, transoms, doors, cornices, and pilasters. Do not cover or conceal any aspect of an original storefront with modern materials. Removal of added features or materials not original to the storefront is encouraged.

**2.2 Repair damaged or deteriorated storefront components. Replace missing storefront features.**

Replace missing storefront components with in-kind materials to match the original appearance. Replacement components should be the same size, material, texture, and detail as the original feature. Use historic photographs to determine the design and style of missing components. Alternatively, existing adjacent historic buildings are good models for appropriate replacement storefront components.



*This storefront at 242 E. Main Street retains its original frame bulkheads, display windows and transom.*

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Aerial View:



Google Street View:



Prepared by Kingsport Planning Department for the  
Kingsport Historic Zoning Commission Meeting on August 11<sup>th</sup>, 2025

# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0177

Item V1.

## Application:



### HISTORIC ZONING COMMISSION APPLICATION

#### APPLICANT INFORMATION:

Last Name STRALF First SELINA M.I. L. Date 6.30.25  
 Street Address 1425 LINVILLE ST. Apartment/Unit #  
 City KINGSPORT State TN ZIP 37664  
 Phone 502-693-8432 E-mail Address HUDSONS GENERAL STORE @ GMAIL.COM

#### PROPERTY INFORMATION:

Tax Map Information Tax map: Group: Parcel: Lot:  
 Street Address 143, 147, 151 BROAD ST. Apartment/Unit #  
 Name of Historic Zone 100 BLOCK OF BROAD ST.  
 Current Use COMMERCIAL RETAIL

#### REPRESENTATIVE INFORMATION:

Last Name First M.I. Date  
 Street Address Apartment/Unit #  
 City State ZIP  
 Phone E-mail Address

#### REQUESTED ACTION:

TO APPROVE PROJECT PLANS FOR FACADE. REMOVAL OF CURRENT FAUX BAKONY, COLUMNS, WINDOW AND CORNICE. EXPOSE 8 ORIGINAL WINDOWS AND ADD NEW SILLS.

#### DISCLAIMER AND SIGNATURE:

By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.

Signature: [Signature] Date: 6.30.25  
 Signed before me on this 7<sup>th</sup> day of July, 2025  
 a notary public for the State of Tennessee  
 County of Sullivan  
 Notary [Signature]  
 My Commission Expires 11-21-2026

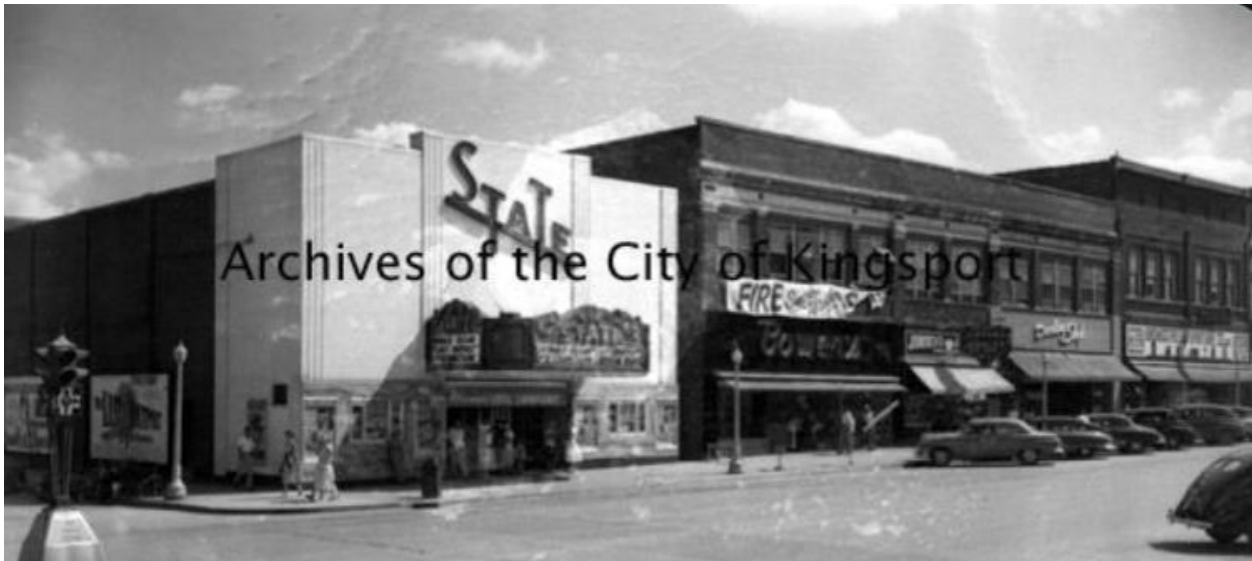


Prepared by Kingsport Planning Department for the  
 Kingsport Historic Zoning Commission Meeting on August 11<sup>th</sup>, 2025



**Historical Photos of the building:**

1923- 3 buildings were home to Sterchi Brothers Furniture, P.K. Hash Jewelers, and the first J.C. Penney Company

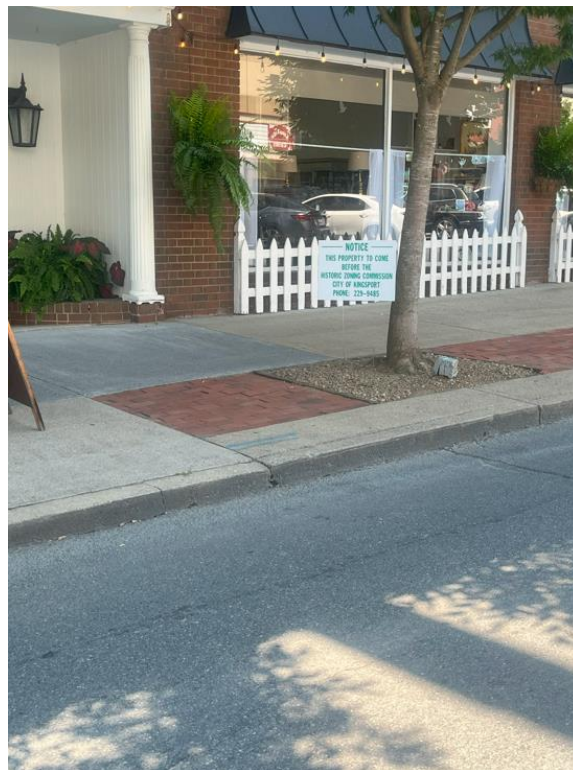


**Historical Photos of the building:**

1950 Ball Brothers Furniture combined the 3 buildings inside and built the current façade over the original façade.



**Current exterior views from Broad Street:**





**Current exterior views from Broad Street:**



# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0179

Item V2.

<b>Property Information</b>			
Address	244 E. Main Street		
Tax Map, Group, Parcel	046P C 001.00		
Civil District	11 <sup>th</sup>		
Overlay District	Main Street		
Land Use Plan Designation	Retail/Commercial		
Acres	+/- 0.09		
Existing Use	Retail/Commercial	Existing Zoning	B-2
Proposed Use	No Change	Proposed Zoning	No change
<b>Owner Information</b>			
<b>Name:</b> Martin Bagwell <b>Address:</b> 1932 Fleetwood Drive <b>City:</b> Kingsport <b>State:</b> TN <b>Zip Code:</b> 37660 <b>Phone Number:</b> 423-967-7742 <b>Representative:</b> Martin Bagwell		<b>Install flag-mounted signage on building.</b> <b>Replace existing doors, windows, and awnings.</b>	
<b>Points for Consideration</b>			
<p><b>Request:</b> The property owner proposes to replace the existing doors, windows, and awnings, and to install flag-mounted signs on the building.</p> <p><b>When considering this request:</b> The buildings in the Main Street Historic District are consistent in their height, brick exteriors and flat roofs. Most of the original doors and windows in the buildings have been removed and replaced with modern materials.</p> <ul style="list-style-type: none"> <li>• All elements of historic windows should be preserved if possible.</li> <li>• Storefront entrance consists of single or double doors that often include a large single light pane for transparency. Storefronts should not be altered or covered with non-historic materials.</li> <li>• Replacement doors should match traditional door designs in materials.</li> <li>• Awnings materials should be canvas, nylon, or acrylic.</li> <li>• Signs meet all zoning requirements for size</li> </ul> <p><b>Staff recommends:</b> approval based upon conformance with the design standards</p>			
Planning Tech:	Lori Pyatte	Date:	07/22/2025
<b>Historic Zoning Commission Action</b>		<b>Meeting Date:</b>	<b>08/11/2025</b>
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

## **Historic Guidelines: Commercial Building Materials**

*Rehabilitation Guidelines for Commercial Historic Properties*

### **1.0 COMMERCIAL BUILDING MATERIALS**

#### **Policy:**

The majority of the commercial buildings in Kingsport are of brick construction. The buildings in the Main Street Historic District are consistent in their height, brick exteriors and flat roofs. Most of the original doors and windows in the buildings have been removed and replaced with modern materials. The retention and preservation of any original design element is encouraged throughout the district.

### **DESIGN GUIDELINES FOR COMMERCIAL BUILDING MATERIALS**

#### **1.1 All elements of historic windows (sills, lintels, frames, sashes, glass of windows, and transoms) should be preserved.**

If any of these components are damaged beyond repair, replace them with in-kind design and materials.

#### **1.2 Preserve and maintain original masonry exteriors.**

Preserve brick and masonry materials. Do not cover historic masonry surfaces. Use mild detergent and low-pressure water to clean any grime or graffiti. Sandblasting is extremely destructive to historic masonry and is not an acceptable treatment.

#### **1.3 Brick should be repaired or replaced with brick to match the original.** Missing bricks should be replaced with bricks that match the existing in color, size, texture, and coursing technique.

#### **1.4 Keep historic masonry visible and unpainted.**

Do not paint masonry that has never been painted unless the exterior has mismatched brick or paint is required to seal a sandblasted building.

#### **1.5 Preserve original mortar if possible, but if re-pointing is necessary use mortar mixes similar to the original.**

Mortar mixes of the past had a higher lime content than today's Portland cement. When re-pointing historic mortar, match the original mortar in width, depth, color, joint profile, and texture.

#### **1.6 Retain original roof forms.**

Most commercial buildings have flat roofs, where their actual surface is not visible from street level. Where roof shapes have been altered, restoration to the original shape is encouraged. Roof surfaces for commercial buildings may be of appropriate metal designs, asphalt shingles, or rolled asphalt.



**Historic Guidelines: Storefronts**

*Rehabilitation Guidelines for Commercial Historic Properties*

**2.0 STOREFRONTS****Policy:**

Commercial storefronts were designed with the consumer in mind. Pedestrians on the sidewalk viewed merchandise through the large display windows resting on low bulkheads. The storefront entrance consisted of single or double doors that often included a large single-light pane for transparency. Maintain and preserve original storefronts and all their elements. Business owners should retain their storefronts' original components. Storefronts should not be altered or covered with non-historic materials. A common practice during the mid-20th century was for property owners to add new materials in an attempt to modernize their commercial buildings to compete with new suburban shopping centers. None of these storefronts in the historic district possess architectural significance and restoration of storefronts that have been altered is encouraged.

**DESIGN GUIDELINES FOR STOREFRONTS****2.1 Retain and maintain historic storefronts and their components**

Retain and maintain storefront components, including display windows, bulkheads, transoms, doors, cornices, and pilasters. Do not cover or conceal any aspect of an original storefront with modern materials. Removal of added features or materials not original to the storefront is encouraged.

**2.2 Repair damaged or deteriorated storefront components. Replace missing storefront features.**

Replace missing storefront components with in-kind materials to match the original appearance. Replacement components should be the same size, material, texture, and detail as the original feature. Use historic photographs to determine the design and style of missing components. Alternatively, existing adjacent historic buildings are good models for appropriate replacement storefront components.



*This storefront at 242 E. Main Street retains its original frame bulkheads, display windows and transom.*

**Historic Guidelines: Storefronts**

*Rehabilitation Guidelines for Commercial Historic Properties*

**DESIGN GUIDELINES FOR STOREFRONTS, continued...**

**2.3 Preserve and maintain original door elements.**

A storefront's entrance may include surrounds, transoms, and sidelights, in addition to doors. Retain and preserve original components of a commercial building's entrance. Any components deteriorated beyond repair, should be replaced in kind. Original framing components such as jambs, sills, and headers of openings define the entrance and should also be maintained. Historic doors are especially important to a building's historic appearance. Do not fill or partially block historic door openings.

**2.4 Repairs to deteriorated or damaged historic doors should be consistent with historic materials.**

When repairing original wood doors, use methods to retain their historic fabric and appearance as much as possible. Epoxy may be used for strengthening and replacing deteriorated wood.

**2.5 If original doors are beyond repair or missing, replace them with new doors that match the original.**

Replacement doors should match traditional door designs in materials and size. Use historic photos when available to match the original doors as closely as possible in the number and series of panels, number, glazing, and configuration of glass lights, materials, and dimensions.

**2.6 Do not create new door openings where none existed.**

Installing new door openings on the primary façade is not appropriate on the façade of a commercial building.



*The single-light glass and wood replacement doors at 102 W. Main Street resemble traditional designs and this type of door is appropriate for new doors on Main Street.*

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## Historic Guidelines: Storefronts

*Rehabilitation Guidelines for Commercial Historic Properties*

### DESIGN GUIDELINES FOR STOREFRONTS, continued...

#### **2.7 New awnings should be consistent with historic designs.**

Installing new awnings to downtown buildings is an appropriate treatment on commercial properties. New awnings should match traditional designs and placement. Follow these guidelines:

- **Scale:** The awning should be in scale with the building, with exact dimensions to fit precisely the storefront opening. The awning should not extend beyond the storefront opening to cover adjacent pilasters or wall surface.
- **Placement:** A new awning should not obscure design elements of the upper stories. At a maximum, the awning may extend one foot above the top of the storefront. The hanging level of the awning over the sidewalk should be at least seven and one-half feet.
- **Types:** Awnings placed over storefronts may be supported by metal or wood framing, or a gallery of wood or brick columns.
- **Materials:** Canvas or other natural materials (nylon, acrylic) are appropriate. Back-lit awnings are not appropriate in the historic district.
- **Overhangs:** Flat solid material overhangs held by a metal chain or bar support shall be permitted. These overhangs shall be wood or simulate appearance of wood.



*This shed roof canvas awning is an appropriate design at 104 E. Main Street.*

Historic Guidelines: Signage*Guidelines for Signage***CHAPTER 9 - GUIDELINES FOR SIGNAGE****Policy:**

Where historic signs exist, they should be retained and maintained. New signs should be installed in a manner that causes no damage to historic materials. Individual signs should be of traditional design, materials, and locations. Creative expression is encouraged, and signs within the historic district should complement each other and the design of the building to which they are attached. Within historic districts no sign shall be erected, altered, restored, or moved within the district until a certificate of appropriateness as to the exterior architectural features has been approved by the historic zoning commission.

**1.1 Size of Primary Signs**

Historic District signs should be pedestrian-oriented, but should still be visible to street traffic.

**1.2 Placement of Primary Signs**

The primary sign for a building should complement the lines of the building upon which it is placed. Signs flush with the façade are preferred. The major sign may also appear on a canvas awning. Large signs that project over the roof line, or are hung from poles not attached to the building, are not permitted.

**1.3 Projection of Primary Signs**

Any primary sign projecting from the building shall protrude no more than 36 inches and have a minimum clearance of none feet. Hardware should be inconspicuous.

**1.4 Window Signs**

Signs placed in windows or glass walls shall not cover more than 25 percent of the glass area.



*Examples of appropriate projecting or "blade" signs at 128 W. Main Street (left) and 124 W. Main Street (right).*

## Historic Guidelines: Signage

### *Guidelines for Signage*

#### **DESIGN GUIDELINES FOR SIGNS, continued...**

##### **1.4 Sign Materials**

Wood is the preferred material for primary signs, painted appropriate colors. Graphics or logos for the business are encouraged. Metal may also be used for signs, but internally illuminated plastic-faced fluorescent signs are not appropriate for the historic district.

##### **1.5 Signs Painted Directly on Building Walls**

The sign should be located so as to respect any architectural detail of the wall surface. Mural and wall murals are also permitted, subject to Commission approval.

##### **1.6 Signs on Awnings**

Signs may be added directly on an awning.

##### **1.7 Addresses**

Street addresses are encouraged on homes and business and should be in a lettering type appropriate to the style and design of the structure.

##### **1.8 Banners**

Temporary banners on buildings and/or eaves shall be allowed for special advertisement or special events. Banners shall be kept in good repair.



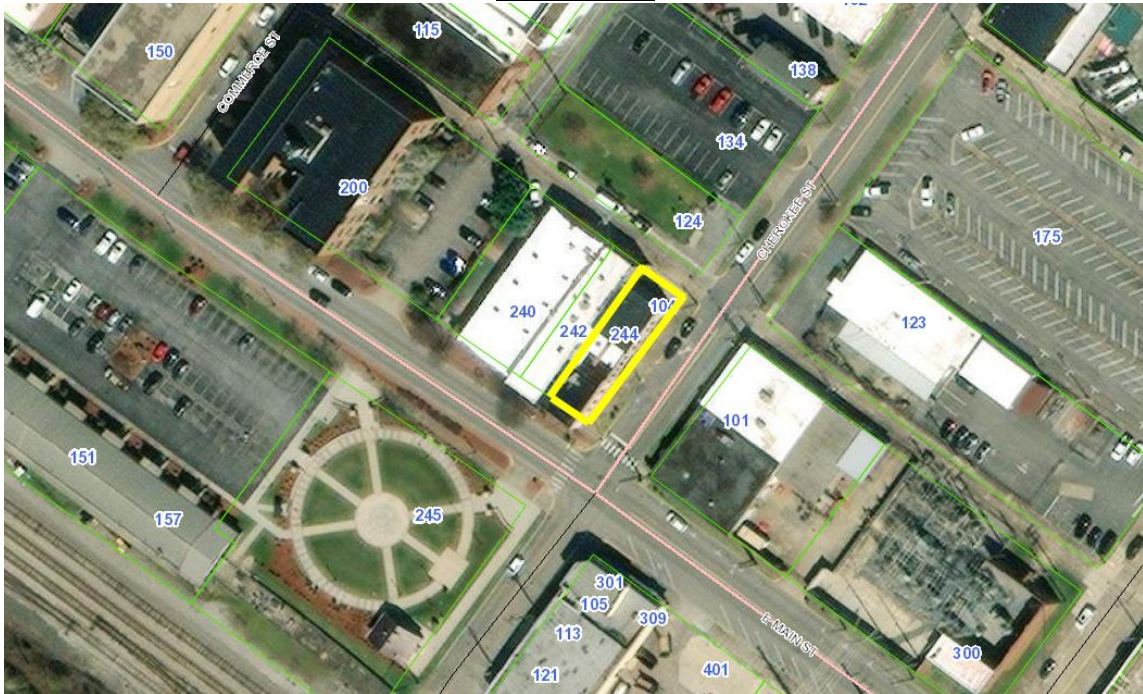
*Example of an appropriate wall sign at 151 W. Main Street*



*Awning signs with the business name or address are also appropriate on commercial buildings.*



**Aerial View:**



**Google Street View:**



# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0179

Item V2.

## Application:



### HISTORIC ZONING COMMISSION APPLICATION

#### APPLICANT INFORMATION:

Last Name Bagwell First Martin M.I. L Date 7/9/2025  
Street Address 1932 Fleetwood Dr, Apartment/Unit #  
City Kingsport State TN ZIP 37660  
Phone 423-967-7742 E-mail Address mbagwell41@gmail.com

#### PROPERTY INFORMATION:

Tax Map Information Tax map: Group: Parcel: Lot:  
Street Address 244 E. Main St Apartment/Unit #  
Name of Historic Zone  
Current Use Not in use

#### REPRESENTATIVE INFORMATION:

Last Name First M.I. Date  
Street Address Same As above Apartment/Unit #  
City State ZIP  
Phone E-mail Address

#### REQUESTED ACTION:

Install 34" x 24" Flag mounted Signs and Replace Front Doors, windows and Awnings

#### DISCLAIMER AND SIGNATURE

By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.

Signature: [Signature] Date: 7/9/2025

Signed before me on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_,

a notary public for the State of \_\_\_\_\_

County of \_\_\_\_\_

Notary \_\_\_\_\_

My Commission Expires \_\_\_\_\_



**Design Layout:**

**Pappy's Lofts**  
**MAIN STREET ELEVATION**

\*WOODEN TRIMSET ON ALL WINDOWS



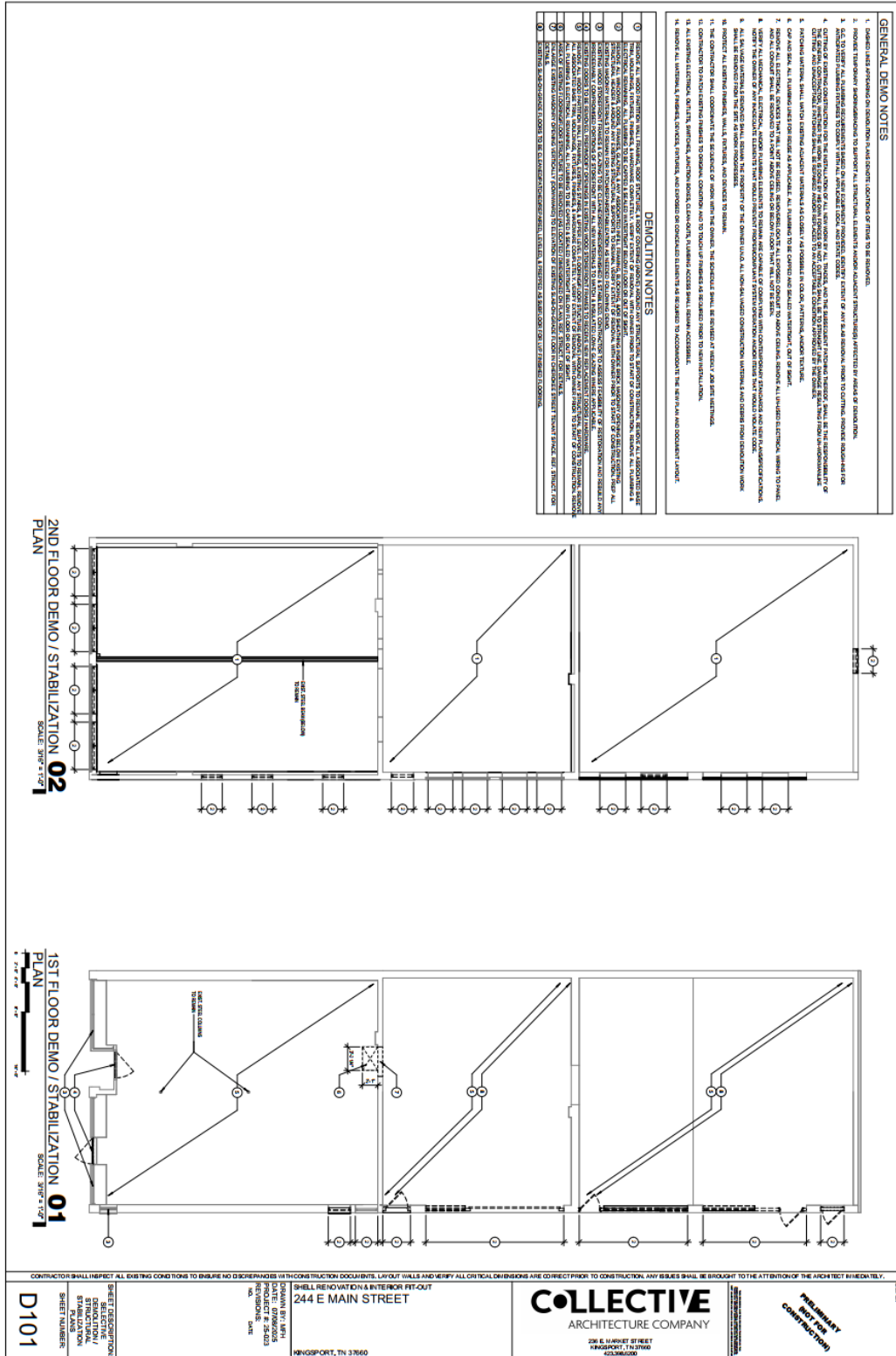
\*WOODEN TRIMSET ON ALL WINDOWS  
Signage to be Flag-mounted.

Design Layout:

**Pappy's Lofts**  
CHEROKEE STREET ELEVATION

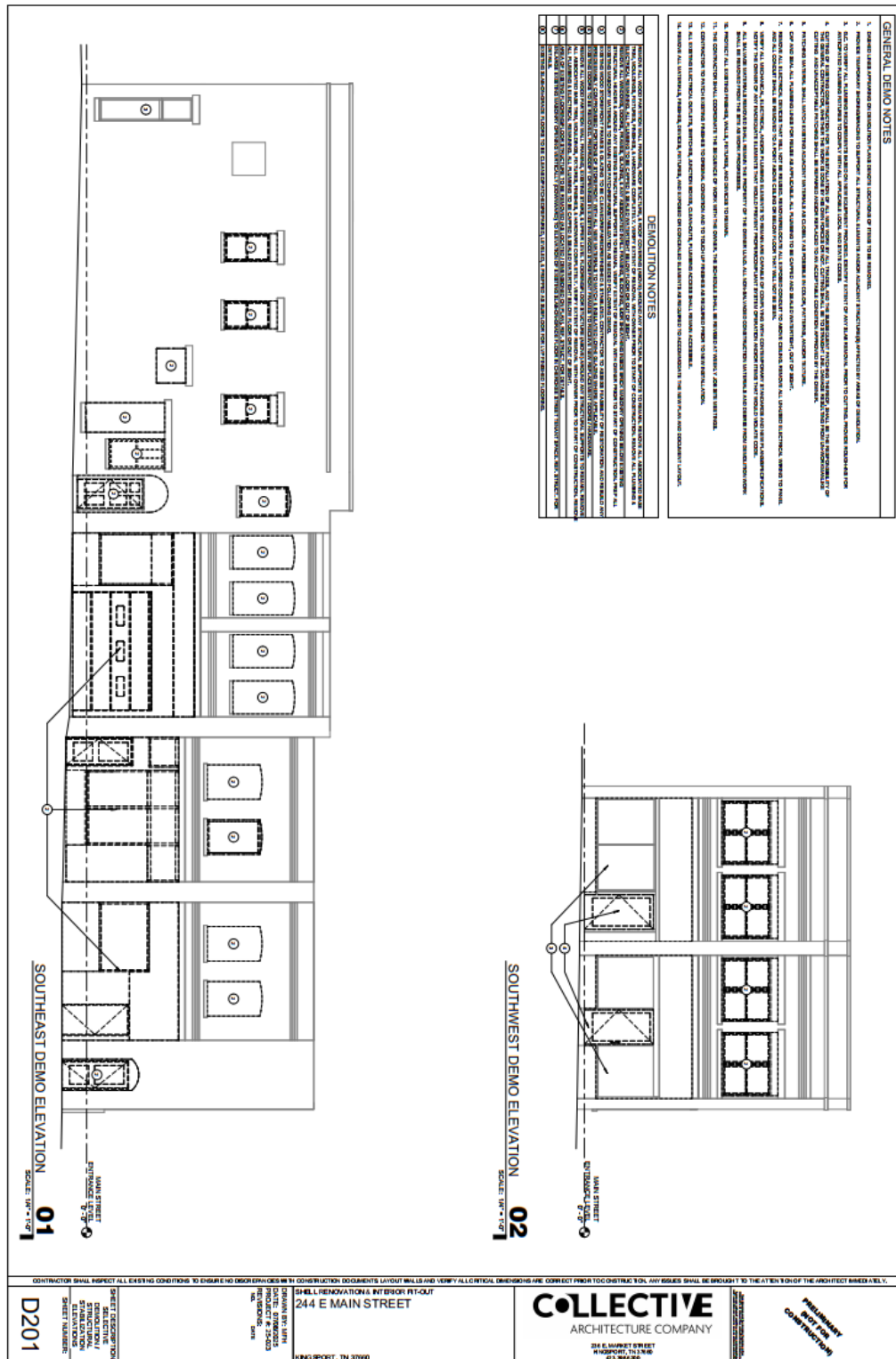


Plans:

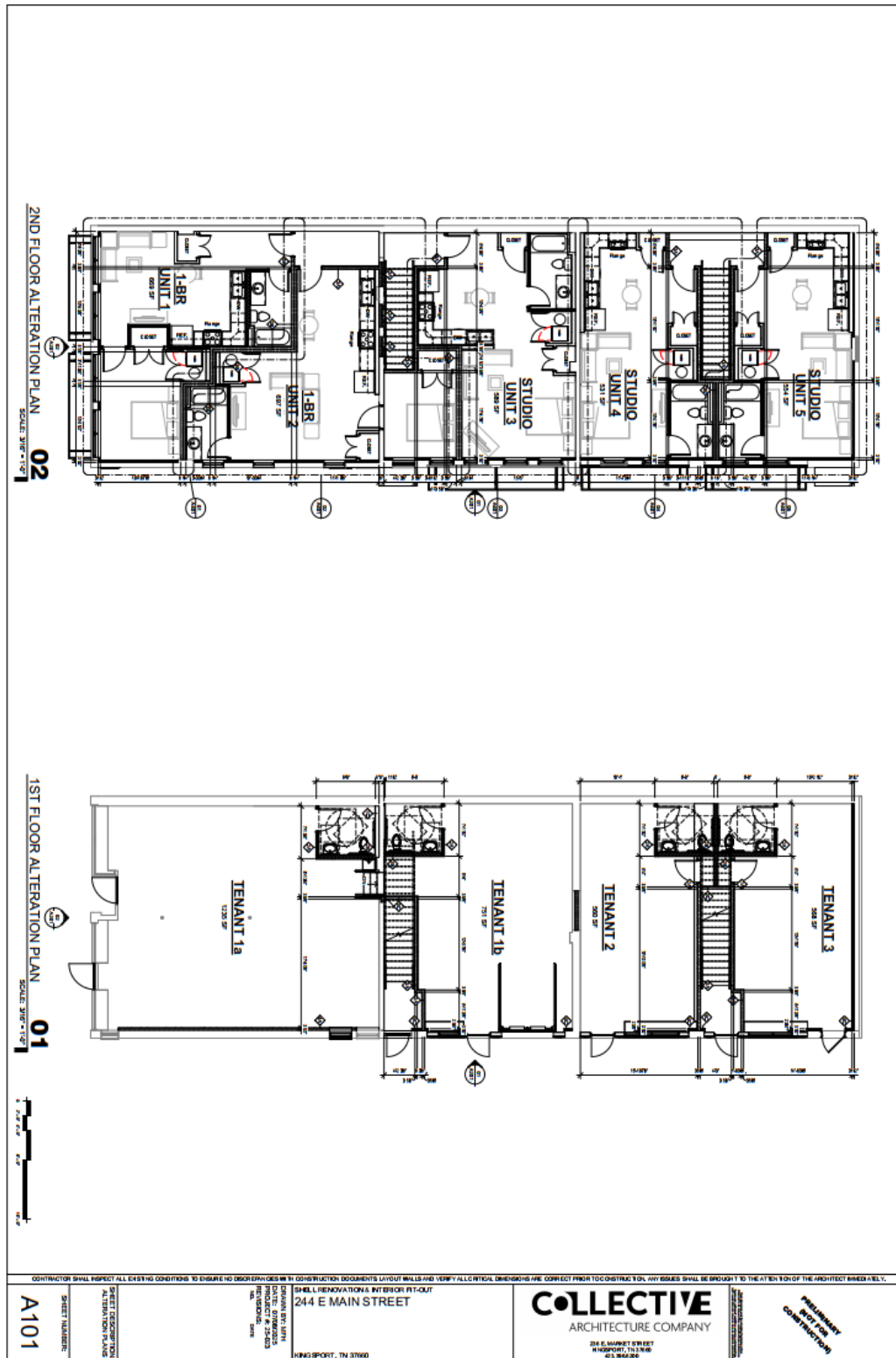




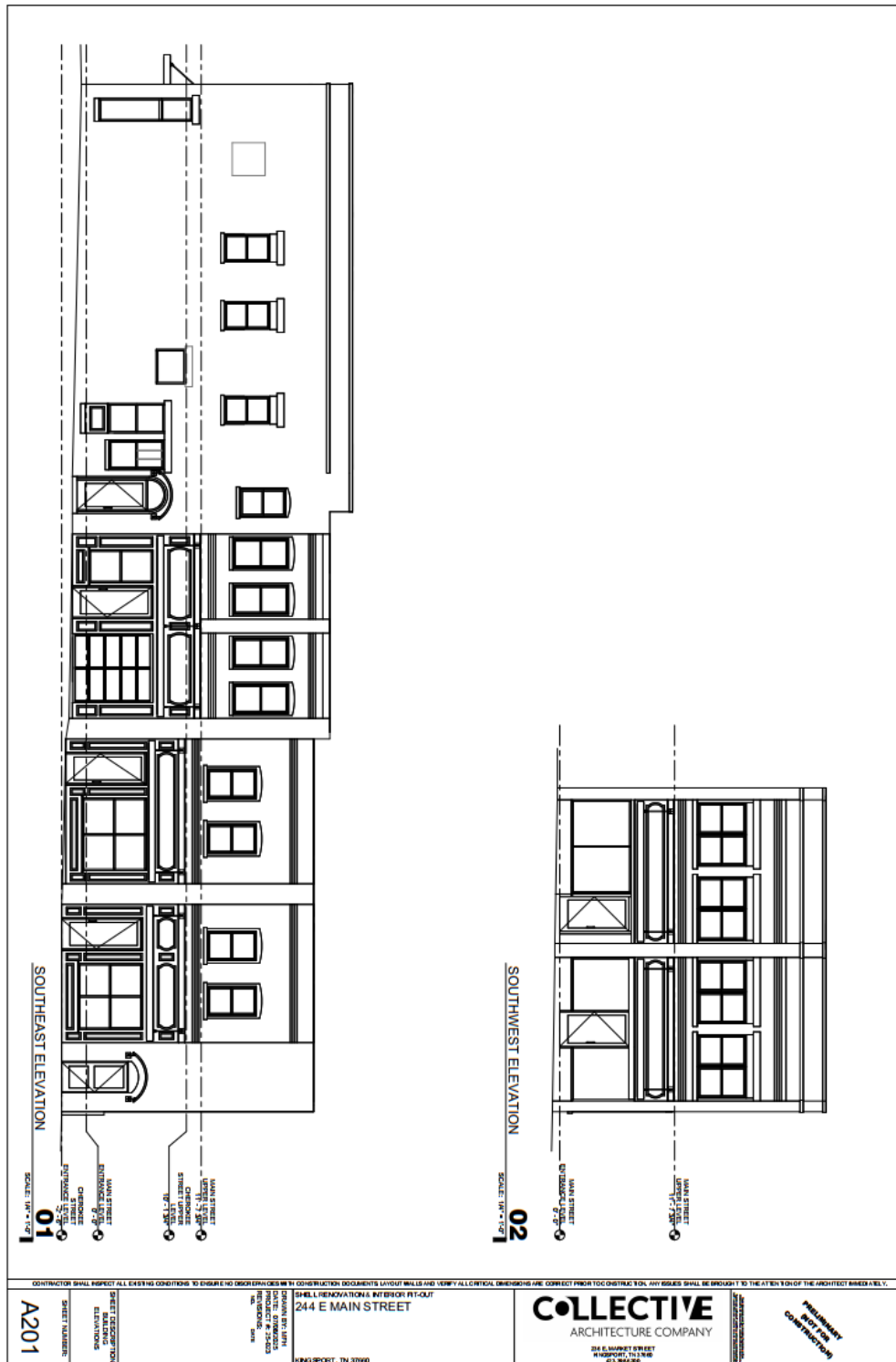
### Plans:



Plans:



Plans:



**Current exterior views from E. Main Street:**





**Current exterior views from E. Main Street:**



**Current exterior views from Cherokee Street:**





**Current exterior views from Cherokee Street:**



**Current exterior views from Cherokee Street:**





# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0188

Item V3.

<b>Property Information</b>			
Address	152/156/158 Broad Street		
Tax Map, Group, Parcel	046P A 022.00		
Civil District	11 <sup>th</sup>		
Overlay District	100 Block of Broad Street		
Land Use Plan Designation	Retail/Commercial		
Acres	+/- 0.21		
Existing Use	Retail/Commercial	Existing Zoning	B-2
Proposed Use	No Change	Proposed Zoning	No change
<b>Owner Information</b>			
<b>Name:</b> Kattie Casebolt <b>Address:</b> 3637 Hemlock Park Drive <b>City:</b> Kingsport <b>State:</b> TN <b>Zip Code:</b> 37663 <b>Phone Number:</b> 803-389-9494 <b>Representative:</b> Kattie Casebolt		Install single-hung, dark bronze aluminum-clad windows on the upper levels of both the Broad Street and Market Street elevations. Repair or replicate arched-top windows at five second-floor locations, along with the rectangular transom windows. Provide new storefront systems at four designated locations.	
<b>Points for Consideration</b>			
<p><b>Request:</b> The property owner proposes to install single-hung, dark bronze aluminum-clad windows on the upper levels of both the Broad Street and Market Street elevations. Additionally, the scope includes the repair or replication of five arched-top windows on the second floor, as well as associated rectangular transom windows. New storefront systems are also proposed at four designated locations.</p> <p><b>When considering this request:</b> Commercial storefronts were designed with the consumer in mind. Pedestrians on the sidewalk viewed merchandise through the large display windows resting on low bulkheads. The storefront entrance consisted of single or double doors that often included a large single-light pane for transparency. Maintain and preserve original storefronts and all their elements. A common practice during the mid-20th century was for property owners to add new façade materials in an attempt to modernize their commercial buildings to compete with new suburban shopping centers. None of the more modern storefronts in the historic district possess architectural significance and restoration of storefronts that have been altered from their original design is encouraged.</p> <p><b>Staff recommends:</b> approval based upon conformance with the design standards</p>			
Planning Tech:	Lori Pyatte	Date:	07/22/2025
<b>Historic Zoning Commission Action</b>		<b>Meeting Date:</b>	<b>08/11/2025</b>
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

**Historic Guidelines: Commercial Building Materials***Rehabilitation Guidelines for Commercial Historic Properties***1.0 COMMERCIAL BUILDING MATERIALS****Policy:**

The majority of the commercial buildings in Kingsport are of brick construction. The buildings in the Main Street Historic District are consistent in their height, brick exteriors and flat roofs. Most of the original doors and windows in the buildings have been removed and replaced with modern materials. The retention and preservation of any original design element is encouraged throughout the district.

**DESIGN GUIDELINES FOR COMMERCIAL BUILDING MATERIALS****1.1 All elements of historic windows (sills, lintels, frames, sashes, glass of windows, and transoms) should be preserved.**

If any of these components are damaged beyond repair, replace them with in-kind design and materials.

**1.2 Preserve and maintain original masonry exteriors.**

Preserve brick and masonry materials. Do not cover historic masonry surfaces. Use mild detergent and low-pressure water to clean any grime or graffiti. Sandblasting is extremely destructive to historic masonry and is not an acceptable treatment.

**1.3 Brick should be repaired or replaced with brick to match the original.** Missing bricks should be replaced with bricks that match the existing in color, size, texture, and coursing technique.**1.4 Keep historic masonry visible and unpainted.**

Do not paint masonry that has never been painted unless the exterior has mismatched brick or paint is required to seal a sandblasted building.

**1.5 Preserve original mortar if possible, but if re-pointing is necessary use mortar mixes similar to the original.**

Mortar mixes of the past had a higher lime content than today's Portland cement. When re-pointing historic mortar, match the original mortar in width, depth, color, joint profile, and texture.

**1.6 Retain original roof forms.**

Most commercial buildings have flat roofs, where their actual surface is not visible from street level. Where roof shapes have been altered, restoration to the original shape is encouraged. Roof surfaces for commercial buildings may be of appropriate metal designs, asphalt shingles, or rolled asphalt.

**Historic Guidelines: Storefronts**

*Rehabilitation Guidelines for Commercial Historic Properties*

**2.0 STOREFRONTS****Policy:**

Commercial storefronts were designed with the consumer in mind. Pedestrians on the sidewalk viewed merchandise through the large display windows resting on low bulkheads. The storefront entrance consisted of single or double doors that often included a large single-light pane for transparency. Maintain and preserve original storefronts and all their elements. Business owners should retain their storefronts' original components. Storefronts should not be altered or covered with non-historic materials. A common practice during the mid-20th century was for property owners to add new materials in an attempt to modernize their commercial buildings to compete with new suburban shopping centers. None of these storefronts in the historic district possess architectural significance and restoration of storefronts that have been altered is encouraged.

**DESIGN GUIDELINES FOR STOREFRONTS****2.1 Retain and maintain historic storefronts and their components**

Retain and maintain storefront components, including display windows, bulkheads, transoms, doors, cornices, and pilasters. Do not cover or conceal any aspect of an original storefront with modern materials. Removal of added features or materials not original to the storefront is encouraged.

**2.2 Repair damaged or deteriorated storefront components. Replace missing storefront features.**

Replace missing storefront components with in-kind materials to match the original appearance. Replacement components should be the same size, material, texture, and detail as the original feature. Use historic photographs to determine the design and style of missing components. Alternatively, existing adjacent historic buildings are good models for appropriate replacement storefront components.



*This storefront at 242 E. Main Street retains its original frame bulkheads, display windows and transom.*

Kingsport Design Review Guidelines

83

**Historic Guidelines: Storefronts**

*Rehabilitation Guidelines for Commercial Historic Properties*

**DESIGN GUIDELINES FOR STOREFRONTS, continued...****2.3 Preserve and maintain original door elements.**

A storefront's entrance may include surrounds, transoms, and sidelights, in addition to doors. Retain and preserve original components of a commercial building's entrance. Any components deteriorated beyond repair, should be replaced in kind. Original framing components such as jambs, sills, and headers of openings define the entrance and should also be maintained. Historic doors are especially important to a building's historic appearance. Do not fill or partially block historic door openings.

**2.4 Repairs to deteriorated or damaged historic doors should be consistent with historic materials.**

When repairing original wood doors, use methods to retain their historic fabric and appearance as much as possible. Epoxy may be used for strengthening and replacing deteriorated wood.

**2.5 If original doors are beyond repair or missing, replace them with new doors that match the original.**

Replacement doors should match traditional door designs in materials and size. Use historic photos when available to match the original doors as closely as possible in the number and series of panels, number, glazing, and configuration of glass lights, materials, and dimensions.

**2.6 Do not create new door openings where none existed.**

Installing new door openings on the primary façade is not appropriate on the façade of a commercial building.



*The single-light glass and wood replacement doors at 102 W. Main Street resemble traditional designs and this type of door is appropriate for new doors on Main Street.*



Aerial View:



Google Street View:



**Broad Street Side:**



**Market Street Side:**

# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0188

Item V3.

## Application:



### HISTORIC ZONING COMMISSION APPLICATION

APPLICANT INFORMATION:			
Last Name Casebolt	First Kattie	M.I. J	Date 07/14/25
Street Address 3637 Hemlock Park Drive		Apartment/Unit #	
City Kingsport	State TN	ZIP 37663	
Phone 803-389-9494	E-mail Address kattie@collectiveac.com		
PROPERTY INFORMATION:			
Tax Map Information Tax map: 046P Group: A Parcel: 022.00 Lot: PT24			
Street Address 152-158 Broad Street		Apartment/Unit #	
Name of Historic Zone Broad Street Historic District			
Current Use Vacant			
REPRESENTATIVE INFORMATION:			
Last Name Casebolt	First Kattie	M.I. J	Date 07/14/25
Street Address 3637 Hemlock Park Drive		Apartment/Unit #	
City Kingsport	State TN	ZIP 37663	
Phone 803-389-9494	E-mail Address kattie@collectiveac.com		
REQUESTED ACTION:			
Provide new single hung dark bronze aluminu cladd windows on the upper level of both the Broad Street and Market Street elevations of the building, current windows are in disrepair. Repair or replicate archtop windows on second floor in 5 locations as well as the rectangle transom windows. Provide new storefronts in 4 locations. See attached drawings.			
DISCLAIMER AND SIGNATURE			
By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.			
Signature: <i>Kattie J. Casebolt</i>		Date: 07/14/25	
Signed before me on this _____ day of _____, 20____,			
a notary public for the State of _____			
County of _____.			
Notary _____			
My Commission Expires _____			

Prepared by Kingsport Planning Department for the  
Kingsport Historic Zoning Commission Meeting on August 11<sup>th</sup>, 2025



Design Layout:



**BROAD ST. ELEVATION**  
SHEET 13  
A



**MARKET ST. ELEVATION**  
SHEET 13  
B

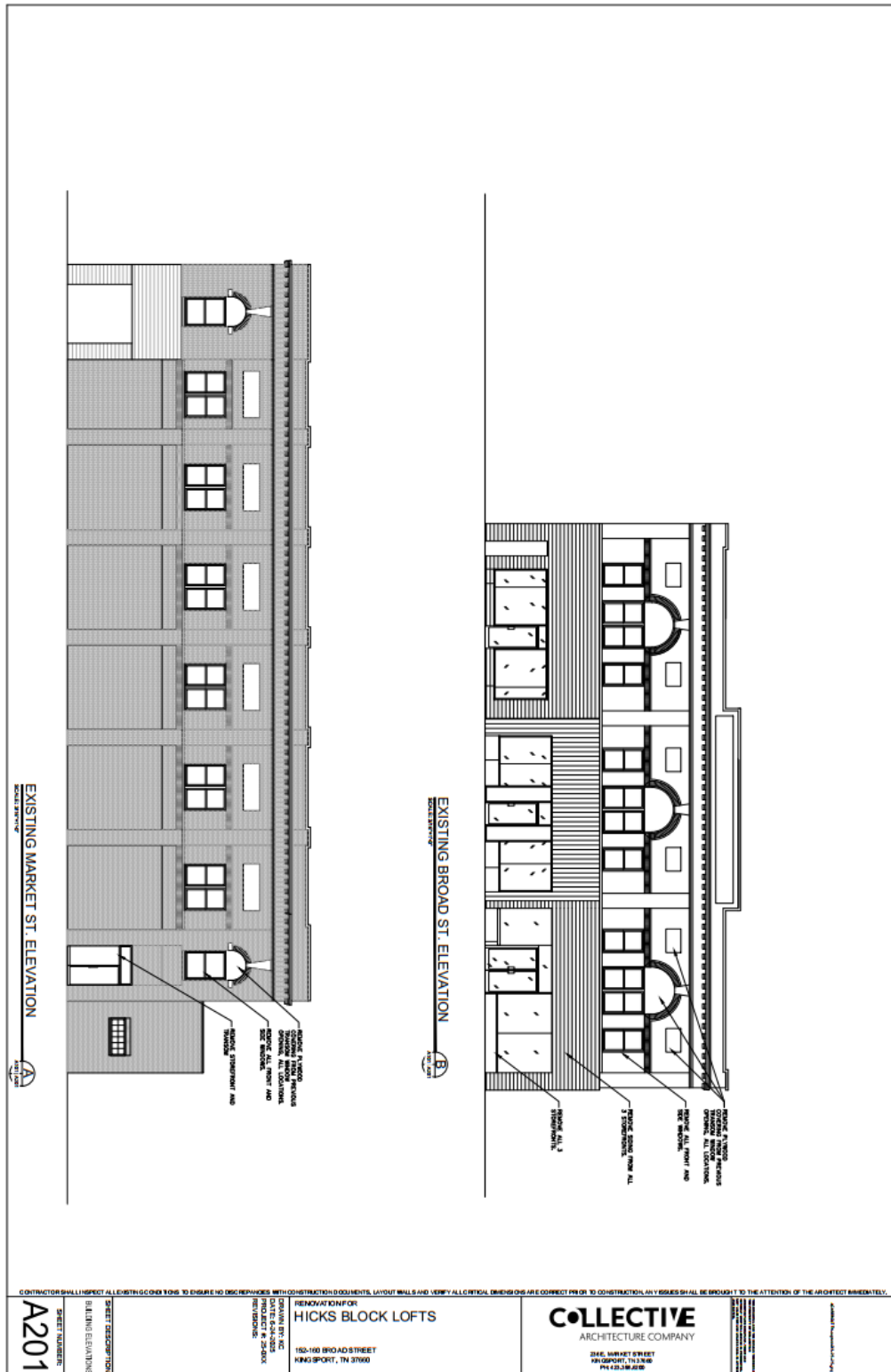


**BROAD & MARKET ST. RENDERING**  
SHEET 13  
C

CONTRACTOR SHALL INSPECT ALL EXISTING CONDITIONS TO ENSURE NO DISCREPANCIES WITH CONSTRUCTION DOCUMENTS & LAYOUT WALLS AND VERIFY ALL CRITICAL DIMENSIONS ARE CORRECT PRIOR TO CONSTRUCTION. ANY ISSUES SHALL BE BROUGHT TO THE ATTENTION OF THE ARCHITECT IMMEDIATELY.

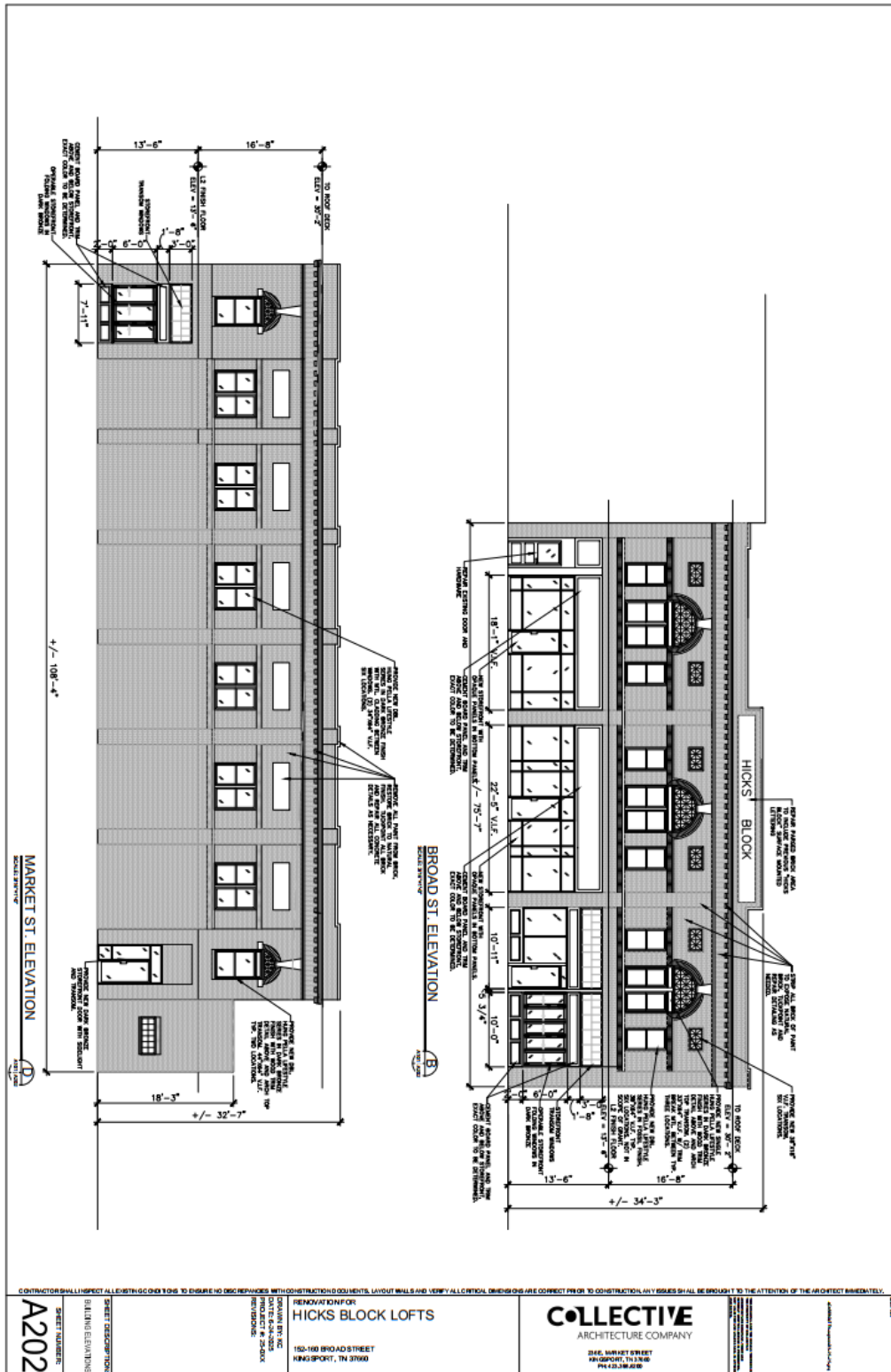
<p><b>A203</b></p> <p style="font-size: x-small;">SHEET DESCRIPTION BUILDING EXTERIOR PHOTOS &amp; RENDERING</p> <p style="font-size: x-small;">SHEET NUMBER</p>	<p style="font-size: x-small;">DRAWN BY: JAC DATE: 04-14-2025 PROJECT: HICKS BLOCK REVISIONS:</p> <p style="font-size: x-small;">RENOVATION FOR: <b>HICKS BLOCK LOFTS</b> 152-160 BROAD STREET KINGSPORT, TN 37660</p>	<p style="text-align: center;"><b>COLLECTIVE</b> ARCHITECTURE COMPANY</p> <p style="font-size: x-small;">201 E. HANCOCK STREET KINGSPORT, TN 37660 (615) 424-3800</p>
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Plans:





Plans:



Historical photos of the building:





Current exterior views from Broad Street:





**Current exterior views from Broad Street:**



*Working to expose the building's historic windows to restore its original architectural character.*



**Current exterior views from Market Street:**



# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0197

Item V4.

<b>Property Information</b>			
Address	1253 Watauga Street		
Tax Map, Group, Parcel	046N G 002.00		
Civil District	11 <sup>th</sup>		
Overlay District	Watauga		
Land Use Plan Designation	Single Family		
Acres	+/- 0.38		
Existing Use	Single Family	Existing Zoning	R-1A
Proposed Use	No Change	Proposed Zoning	No change
<b>Owner Information</b>			
<b>Name:</b> Sarah Fleming <b>Address:</b> 1253 Watauga Street <b>City:</b> Kingsport <b>State:</b> TN <b>Zip Code:</b> 37660 <b>Phone Number:</b> 865-603-1420 <b>Representative:</b> Cameron Trent		Transform the current garage into a living space	
<b>Points for Consideration</b>			
<p><b>Request:</b> The property owner is proposing to transform the current garage into a living space.</p> <p><b>When considering this request:</b> Architectural details are important features that help contribute to the historic character of a building and should be preserved and maintained.</p> <p>A dwelling's entrance is a major focal point and helps define its style. An entrance is composed of several elements, including doors, transoms, sidelights, shutters, pediments, and surrounds. Together, these components define the building's architectural style. Original entrance elements should be preserved and maintained.</p> <p>Awnings were originally of canvas or similar materials, and metal awnings were introduced by the 1930s.</p> <p><b>Staff recommends:</b> approval based upon conformance with the design standards</p>			
Planning Tech:	Lori Pyatte	Date:	07/28/2025
<b>Historic Zoning Commission Action</b>		<b>Meeting Date:</b>	<b>08/11/2025</b>
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

Historic Guidelines: Architectural Details

*Rehabilitation Guidelines for Residential Historic Properties*

## CHAPTER 5 - REHABILITATION GUIDELINES FOR RESIDENTIAL HISTORIC PROPERTIES

### 1.0 ARCHITECTURAL DETAILS

**Policy:**

Architectural details are important features that help contribute to the historic character of a building and should be preserved and maintained. Do not remove or conceal architectural details. Repair them as needed. If an architectural detail is beyond repair, replace it in kind, matching the original's material, design, color, and texture as closely as possible.

### DESIGN GUIDELINES FOR ARCHITECTURAL DETAILS

**1.1 Preserve and maintain historic architectural details and features.**

Historic architectural features help convey a historic building's architectural style. Preservation and maintenance of architectural details ensures the integrity of a historic building. Architectural details should not be covered or removed. Proper care and maintenance prevents deterioration and loss of individual elements and overall integrity.

**1.2 Cleaning architectural details may be appropriate.**

Depending on the material type, some architectural details and features may occasionally need cleaning to promote their longevity. Generally, the use of water with mild detergent and brushes are appropriate cleaning applications. For more complicated situations, a historic architect or contractor with experience in historic buildings may provide consultation.

**1.3 Deteriorated or damaged historic architectural features can regain their historic appearance when proper repair methods are practiced.**

Wooden features with small areas of deterioration can be fixed with epoxy. Larger areas of decay should be cut out and re-fitted with pieces of new wood. For metal features with light corrosion and flaking paint, use a wire brush. For heavier corrosion, low-pressure grit- or sand-blasting, flame cleaning, or chemical application may be appropriate treatments. Cover adjacent materials for their protection. After cleaning metal features, re-paint them immediately. Consult with a historic architect, architectural conservator, or experienced contractor to determine the appropriate treatment.



*Preserve original wood details such as brackets at 2305 Netherland Inn Road.*

**Historic Guidelines: Architectural Details**

*Rehabilitation Guidelines for Residential Historic Properties*

**ARCHITECTURAL DETAILS, continued...**

**1.4 Do not add non-original architectural features to historic buildings where none previously existed.**

The addition of non-historic architectural details creates an inauthentic appearance and detracts from the original character of the building. Such introductions compromise the building's historic integrity.

**1.5 Replace a missing or severely damaged historic architectural detail and feature in kind.**

Take care to select replacement features that match the original feature in design, proportion, and detail. Historic photographs, drawings, graphics, or other physical evidence are useful aids to determine an appropriate example for a replacement feature. If no historic documentation is available, select a simple design in keeping with the building's historic architectural style and period.

Ideally, the replacement feature should be made of the same material as the original, but when necessary, substitute materials may be considered if they successfully match the original detail appearance. The use of substitute materials may be especially appropriate where they are not readily visible from the street such as along upper facades and cornices.



*Highly detailed architectural features like this Palladian window at 1150 Watauga Street (left) and the Classical portico at 1204 Watauga Street (right) should be maintained and preserved.*



## Historic Guidelines: Awnings and Canopies

*Rehabilitation Guidelines for Residential Historic Properties*

### 2.0 AWNINGS AND CANOPIES

#### Policy:

Prior to the availability of air conditioning, awnings and canopies were in common use to provide shade, helping to reduce heat inside a building. Awnings were originally of canvas or similar materials, and metal awnings were introduced by the 1930s. Preserve and maintain historic metal awnings or original canopies. The introduction of awnings to historic dwellings may be appropriate, taking design, placement, and materials into consideration.

#### DESIGN GUIDELINES FOR AWNINGS

##### 2.1 Select awnings of traditional design.

Shed-type awnings are most appropriate for historic dwellings. Arched awnings should be installed only over an arched opening. Bubble, concave, or convex awnings are discouraged except where used originally. Awnings may be retractable or fixed in place. Awning colors should be unobtrusive.

##### 2.2 An awning should not conceal or detract from architectural details and features.

When adding an awning, take precise dimensions of the opening it will cover. The awning should be fitted into the opening with no overlap and covering of the adjacent surface, such as within a window opening or between porch columns. An awning should not extend over multiple openings; rather, each opening should have its own awning.

##### 2.3 Use awnings of traditional materials.

Canvas awnings are appropriate for late 19th- and early 20th-century dwellings. Metal awnings are appropriate on mid-century dwellings.



*Example of a permanent frame canopy over the entrance at 213 Wanola Avenue.*



*Appropriate canvas awning at 1150 Watauga Street.*



*Canopies can be locations for decorative designs such as this sunburst wood panel at 711 Yaddin Street.*

**Historic Guidelines: Entrances & Doors***Rehabilitation Guidelines for Residential Historic Properties***4.0 ENTRANCES & DOORS****Policy:**

A dwelling's entrance is a major focal point and helps define its style. An entrance is composed of several elements, including doors, transoms, sidelights, shutters, pediments, and surrounds. Together, these components define the building's architectural style. Original entrance elements should be preserved and maintained.

**DESIGN GUIDELINES FOR ENTRANCES & DOORS****4.1 Preserve and maintain original doors and entrances.**

Retain historic entrance features including decorative and functional aspects such as original jambs, sills, and headers of openings. Retain original primary doors on the main façade, as they contribute to a building's historic appearance. Never infill or cover historic door openings.

**4.2 Repair deteriorated or damaged historic doors consistent with historic materials.**

The repair of historic doors should be with methods to retain their historic fabric and appearance as much as possible. Use epoxy to strengthen deteriorated wood.

**4.3 If historic doors are missing or beyond repair, install replacement doors that match the originals.**

Select replacement doors carefully to match the original doors in materials and dimensions, ideally with the same number and series of panels and glass lights. The new doors should be in keeping with the style and period of the building. Use historic photographs to identify details about original doors if possible. Adjacent, similar buildings may provide guidance for selecting appropriate door designs.

**4.4 Never create a new door opening where none existed on a readily visible facade.**

Creating a new opening in a historically solid wall surface compromises the building's architectural integrity and is not appropriate. A new opening may be permitted on a side elevation if it is not visible from public view. The new entrance should still be compatible in scale, size, proportion, placement, and style to historic openings. Locate new openings on side or rear elevations rather than the main façade.

**4.5 Use storm or screen doors if desired.**

Preserve historic screen doors, or select a screen or storm door design that allows full view of the original primary door it covers.

## Historic Guidelines: Windows

*Rehabilitation Guidelines for Residential Historic Properties*

### 12.0 WINDOWS

#### Policy:

Preserve, maintain, or repair historic windows. Do not cover or enclose original window openings. Historic windows deteriorated beyond repair may be replaced in-kind, fitting the replacements into the original window opening. Replacement windows should also match the originals in number and configuration of panes, or lights and material, such as wood or metal. Adding new window openings on a primary façade is not appropriate.

#### Why Preserving Original Windows is Recommended and Makes Economic and Environmental Sense

Nationally-accepted recommendations for preservation of historic wood and metal windows call for retaining these important features except in cases of extreme deterioration. The reasons for preserving original windows include:

- Studies show that windows typically account for only 10% to 15% of a home's energy loss, and the payback for installing new windows can take decades.
- All windows are subject to expansion and contraction with temperature changes. Vinyl, however, experiences more than twice as much expansion as wood and seven times more than glass. This extreme expansion causes seals to fail between the frame and glass, as well as a significant performance reduction. More than one-third of vinyl windows being replaced today are less than ten years old.
- Vinyl windows do not match the appearance of historic wood windows; their texture and thinness are inappropriate for Kingsport's historic districts. A more acceptable alternative, if the original windows are beyond reasonable repair, aluminum clad wood windows or composite windows which have the appearance of a historic wood window.



Original casement windows at 309 Tarkin Street.



Original four-over-four, wood sash windows at 205 Compton Terrace.



Rotherwood features this variation of a Classical Palladian window.



**Historic Guidelines: Windows, continued...**

*Rehabilitation Guidelines for Residential Historic Properties*

**WINDOWS, continued...**

- Historic wood and metal windows are sustainable. These features represent embodied energy, already extracted from raw materials natural to the environment.
- Vinyl windows cannot be recycled and are detrimental to the environment when they are discarded.
- The old-growth lumber used in historic window frames can last indefinitely, unlike new-growth wood or vinyl.

*Treatment of historic wood windows*

**12.1 Preserve and maintain original windows.**

Window openings, windows, window details, and the size and shape of these elements help establish rhythm, scale, and proportion of buildings and reflect architectural style and character

**12.2 Repair deteriorating wood windows as needed. When possible, replace missing panes or deteriorated sashes rather than entire windows.**

Retaining as much of the historic window material and detail as possible will help protect the building's historic character and appearance. Replace only those elements necessary. Use epoxy to strengthen deteriorated wood.



*Original nine-over-six wood-sash window at the Netherland Inn.*



*This original six-over-six, wood-sash window with ornamental hood is an important component of Rotherwood.*



*The original twelve over-twelve, wood sash window at 1261 Watauga Street reflects the dwelling's Colonial Revival style.*



**Historic Guidelines: Windows, continued...**

*Rehabilitation Guidelines for Residential Historic Properties*

**DESIGN GUIDELINES FOR WINDOWS, continued...**

***Storm Windows, Screens and Shutters***

**12.7 Storm windows and screens should be full-view or have a similar meeting rail to allow the visibility of the historic window behind it.**

Select storm windows or screens of wood, baked-on enamel, or anodized aluminum. Install models that fit within, not overlap the window frames. Use full-view designs or those with the central meeting rail at the same location as that of the historic window.

**12.8 Retain historic shutters.**

Many homes in Kingsport retain their original or early 20th-century louvered shutters. These should be preserved and maintained.

**12.9 Added shutters or screens should be consistent with original designs in the city's historic districts.**

Newly-added shutters or screens should be constructed of wood and sized and installed like authentic operable examples.



*Example of an appropriate wood storm window over original six-over-six wood-sash windows (706 Yadkin Street)*



*Original window shutters are used to protect windows and should be preserved and maintained (701 Yadkin Street).*

Aerial View:



Google Street View:





# Kingsport Historic Zoning Commission

Project Number: HISTRC25-0197

Item V4.

## Application:



### HISTORIC ZONING COMMISSION APPLICATION

<b>APPLICANT INFORMATION:</b>			
Last Name Fleming	First Sarah	M.I. M	Date 7/23/25
Street Address 1253 Watauga St.		Apartment/Unit #	
City Kingsport	State TN	ZIP 37660	
Phone 865.603.1420	E-mail Address sarah@northeasttennessee.org		
<b>PROPERTY INFORMATION:</b>			
Tax Map Information	Tax map: 046N	Group: G	Parcel: 002 0 Lot: 2
Street Address 1253 Watauga St.		Apartment/Unit #	
Name of Historic Zone City of Kingsport			
Current Use Resident			
<b>REPRESENTATIVE INFORMATION:</b>			
Last Name Trent	First Cameron	M.I.	Date 7/23/2025
Street Address		Apartment/Unit #	
City	State	ZIP	
Phone 423.956.5783	E-mail Address trenthomerevival@gmail.com		
<b>REQUESTED ACTION:</b>			
Convert attached garage into interior living space, remove garage door, and replace with window matching dimension by front door including shutters and adding windowbox for cohesion. Relocate garage door to detached rear garage. Add matching awnings above front windows. Remove concrete below new window for landscaping. All updates will maintain craftsman style consistent with existing design.			
<b>DISCLAIMER AND SIGNATURE</b>			
By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.			
Signature: <u>Sarah Fleming</u>		Date: 7/23/2025	
Signed before me on this <u>24</u> day of <u>July</u> , 20 <u>25</u>			
a notary public for the State of <u>Tennessee</u>			
County of <u>ANY</u>			
Notary <u>JOSEPH GABRIEL SHERRILL</u>			
My Commission Expires <u>10-31-2027</u>			



Prepared by Kingsport Planning Department for the  
Kingsport Historic Zoning Commission Meeting on August 11<sup>th</sup>, 2025

Details:

## Garage Makeover: Creating Functional Square Footage



We're transforming the existing garage into a cozy living space by swapping out the garage door for a window and shutters that blend seamlessly with the home's original style. To tie it all together, we'll add a charming Craftsman-style awning with a sleek metal roof over both front windows. Below the new window, we'll break up some concrete to create a lovely window box with landscaping, adding fresh curb appeal without losing the historic vibe. Plus, the original garage door won't go to waste; it'll get a second life on our detached garage, giving it a fresh, updated look that keeps the whole property feeling connected.



[sarah@northeasttennessee.org](mailto:sarah@northeasttennessee.org)



Details:

## Garage Makeover: Creating Functional Square Footage

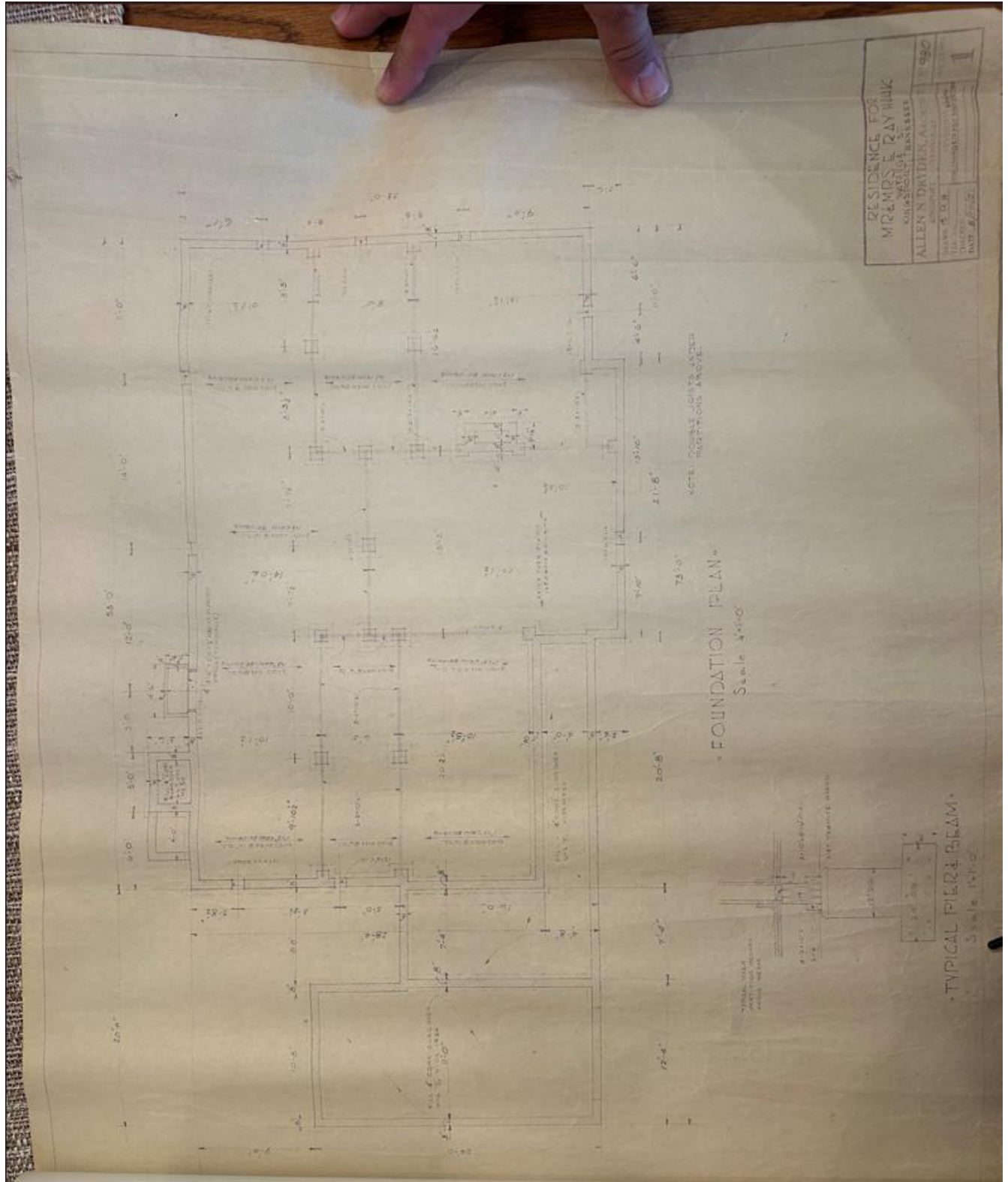


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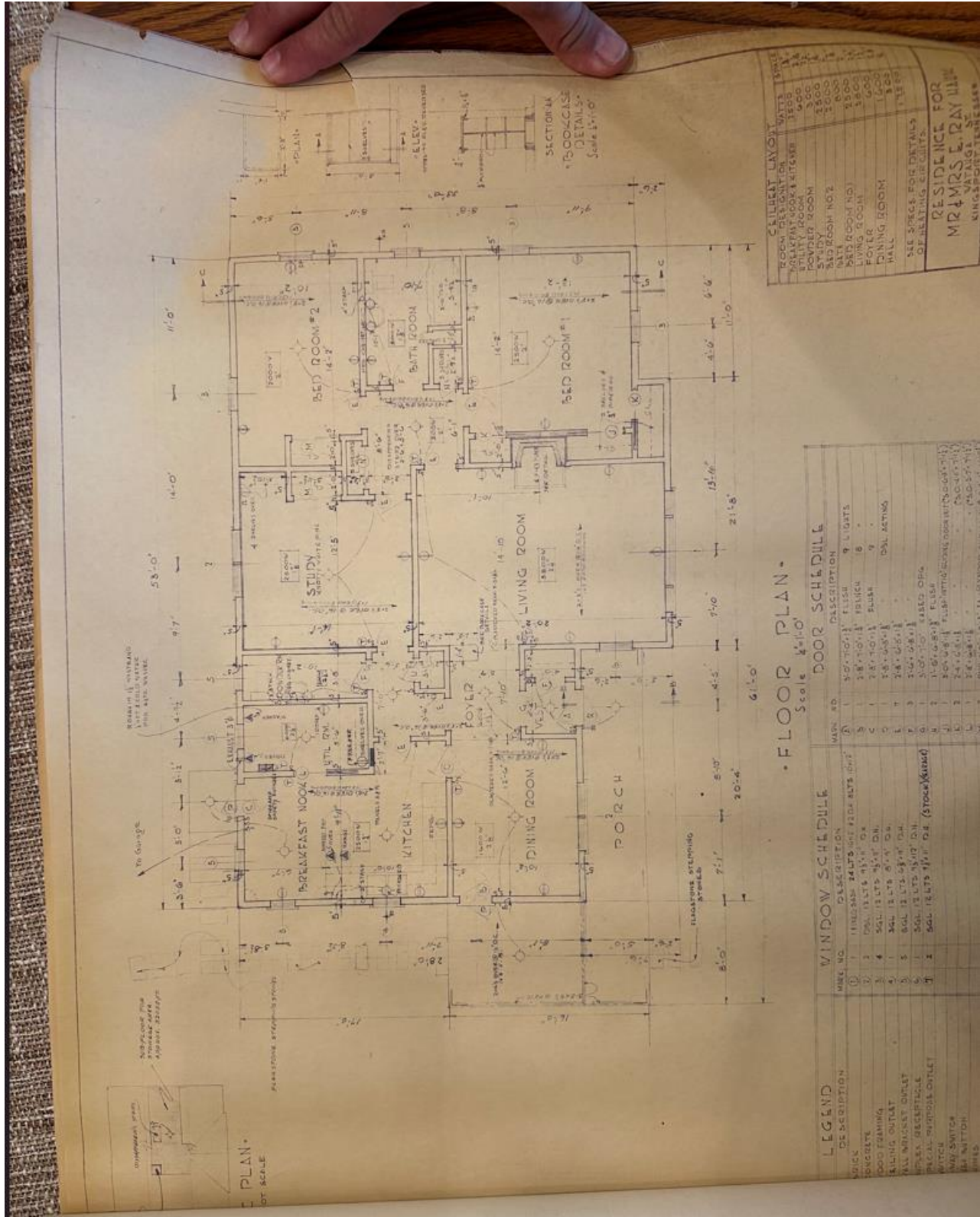
Blueprints from August 1951:



Prepared by Kingsport Planning Department for the  
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### Blueprints from August 1951:



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House views over the years:



2008



2012



2021

**Site Visit Photos:**



The current window on the house will be replicated on the proposed new side to ensure design consistency.

**Site Visit Photos:**



The existing garage door on the house will be relocated to the outdoor accessory building. The window, as shown in the before photo, will be installed in the area where the garage door was removed.



**Site Visit Photos:**



This is the outdoor accessory building where the existing garage door from the previous photo will be relocated and installed.