



HISTORIC ZONING COMMISSION MEETING AGENDA

Monday, January 12, 2026 at 1:30 PM

City Hall, 415 Broad Street, Conference Room 226

This meeting is an open and accessible meeting. If interested parties request special assistance or accommodations, please notify the Planning Department three (3) days in advance of the meeting.

I. INTRODUCTION AND MEETING PROCEDURES

II. APPROVAL OF THE AGENDA

III. APPROVAL OF MINUTES

1. Minutes from November 10th, 2025 Regular Historic Meeting

IV. OLD BUSINESS

V. NEW BUSINESS

1. 217 W Wanola Ave- Facade Update (HISTR25-0306)
2. 205 Canongate Road- Home Addition (HISTR25-0315)

VI. OTHER BUSINESS

- 1.** In-House Approvals:

1. 240 E. Main Street: Addition of two awnings. (HISTR25-0280)

VII. PUBLIC COMMENT

Citizens may speak on issue-oriented items. When you come to the podium, please state your name and address and sign the register that is provided. You are encouraged to keep your comments non- personal in nature, and they should be limited to five minutes.

VIII. ADJOURN

MINUTES OF THE REGULAR SECHEDULED MEETING OF THE
KINGSPORT HISTROIC ZONING COMMISSION

November 10th, 2025

1:30 p.m.

Members Present:

Jewell McKinney Bob Grygotis
Jack Edwards Dineen West
Joe Cross Lindsey Nieuwland
Chip Millican

Members Absent:

Staff Present:

Lori Pyatte
Jessica Harmon

Visitors Present:

Tiffany Owens

Chairman Jewell McKinney called the meeting to order at 1:30 p.m., warmly welcoming everyone in attendance. She then invited the staff, historic commission, and visitors to introduce themselves.

The Chairman called for approval of the agenda Commissioner Jack Edwards made a motion to approve the agenda as presented, which was seconded. The motion passed unanimously with a vote of 6-0.

Next, the Chairman called for approval of the minutes from the regular meeting on October 13th, 2025. Commissioner Lindsey Nieuwland made a motion to approve the minutes, which was seconded. The motion passed unanimously with a vote of 6-0

Chairman McKinney inquired whether there was any old business to address. Staff indicated that there was none.

New Business:

1358 Watauga Street (HISTR25-0262) – Exterior Front Entry and Sidelight Design

Chairman McKinney advised the Commissioners that the meeting packet included photographs of the existing front door and the proposed replacement. Chairman McKinney then asked Ms. Owens if she wished to address the Commission regarding her project.

Ms. Owens explained that she would like to replace the front door and sidelights. She stated that the existing door is deteriorating and crumbling in several areas and no longer locks due to damage. She also noted that the mortar surrounding the entrance is crumbling and that there are cracks in the glass. Ms.

Owens stated that she is seeking to replace the door and is open to comments and suggestions from the Commission.

Ms. Owens explained that the proposed door is fiberglass and energy efficient, with storm- and hurricane-rated glass. Chairman McKinney asked whether Ms. Owens had considered leaded or opaque glass. Ms. Owens responded that she had considered those options and felt the proposed glass met that description, noting it would provide medium privacy while still allowing visibility in and out.

Chairman McKinney stated that she and staff had reviewed other homes on Watauga Street to determine if similar doors existed and found that no other homes on the street currently have a door like the one proposed.

Commissioner Edwards asked whether the existing sidelights could be repaired. Ms. Owens stated that they could not, as many components are broken and removal of the fascia could cause additional damage. Commissioner Gryotis asked whether the blocks could be reinstalled since they are still present. Ms. Owens responded that she had consulted several contractors, all of whom advised that replacement was necessary. Commissioner Edwards asked whether a masonry contractor had reviewed the project, and Ms. Owens confirmed that one had.

Chairman McKinney thanked Ms. Owens for providing information on her project and called for a motion.

Vice-Chairman West asked an additional question regarding the color of the door and trim, specifically where the walnut color would begin and the white would end. Ms. Owens stated that the walnut color would apply to the entire front door, sidelights, and trim.

Vice-Chairman West stated that, based on comments from other Commissioners, the glass pattern appeared bold and asked whether it could be toned down with lighter or clearer glass. Ms. Owens stated that the manufacturer offers multiple options. She added that if the Commission required white or clear glass, she could work with that, but she was unaware of any rule on Watauga Street requiring only clear glass. Ms. Owens also noted that her property is near the edge of the historic district and that she appreciates the variety of styles along Watauga Street.

Vice-Chairman West stated that she needed clarification on what Ms. Owens was willing or unwilling to change before making a motion. Ms. Owens stated that she was willing to change the door color to white but wished to retain colored glass, as she did not believe it would be overly bold.

Commissioner Cross asked why Ms. Owens was proposing a glass door when the current door is solid. Ms. Owens explained that prior to 1987, the home had a door with glass, but after her grandfather passed away, the family replaced it with the existing solid door.

Chairman McKinney asked if there were any additional questions. Hearing none, she called for a motion.

Commissioner Millican made a motion to approve the request as submitted. Vice-Chairman West asked for clarification on the color. Commissioner Millican amended the motion to specify that the exterior door color be white. Chairman McKinney restated the motion for approval with the door to be white on the exterior. The motion was seconded and passed by a vote of 5–2.

1358 Watauga Street (HISTR25-0269) – Addition Enclosing the back patio

Chairman McKinney advised the Commissioners that the meeting packet included all relevant information regarding the proposed addition/enclosure of the rear patio. Chairman McKinney asked whether the Commissioners had any questions for Ms. Owens.

Commissioner Millican stated that the key factor for him was that the proposed work would not be visible from Watauga Street. No additional questions were raised by the Commissioners.

Chairman McKinney called for a motion. Commissioner Nieuwland made a motion to approve the request as submitted. The motion was seconded and passed unanimously by a vote of 7-0.

Final Approval of Historic Guidelines Update

Chairman McKinney advised the Commissioners that the proposed updates reflect discussions held over the past several meetings and are intended for inclusion in the Historic Design Guidelines book. Staff stated that the updates encompass all items discussed during those meetings. Staff further advised that, upon approval, they would work with the City of Kingsport Communications Department, specifically Adrienne Batara, to incorporate the updates into the Design Guidelines book. Staff noted that this process would occur in 2026, following the upcoming holidays.

Commissioner Millican referenced Robin Cleary with DKA and noted that, during a previous Main Street USA event, the State provided guidance to that organization. Commissioner Millican stated that Ms. Cleary had asked whether the Commission would be interested in having a representative from the State of Tennessee attend a meeting to discuss historic projects, the review process, and how the City has performed in managing its historic areas.

Chairman McKinney stated that the Commission could consider inviting a State representative to attend a meeting in 2026.

Chairman McKinney then called for a motion to approve the Historic Design Guidelines updates. Vice-Chairman West made a motion to approve. The motion was seconded and passed unanimously by a vote of 7-0.

Other Business:

In-House Approvals:

Staff Report: Since the last meeting, three projects were approved through in-house review:

1. **200 W. Church Circle (HISTR25-0268)**

Installation of central handrails on rear stairway of church at W. Charlemont Street and Holston Street

2. **410 Shelby Street (HISTR25-0272)**

Exterior façade repainting and installation of a new sign.

3. **1211 Watauga Street (HISTR25-0277)**

Replacement of existing roof.

With no further business, the Chairman adjourned the meeting at 2:33 p.m.

Respectfully Submitted,

Jewell McKinney, Chairman

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0306

Item V1.

Property Information			
Address	217 W. Wanola Ave		
Tax Map, Group, Parcel	046I C 004.00		
Civil District	11 th		
Overlay District	Park Hill		
Land Use Plan Designation	Single Family		
Acres	+/- 0.09		
Existing Use	Single Family	Existing Zoning	R-2
Proposed Use	No Change	Proposed Zoning	No change
Owner Information			
Name: B & A Soutions Address: 217 W. Wanola Ave City: Kingsport State: TN Zip Code: 37660 Phone Number: 423-366-2438 Representative: Brian Fitzgerald		Request: Review and approval for the installation of new doors, replacement of windows, closure of windows on the rear of the residence, removal of front handrails, and exterior painting.	
Points for Consideration			
Request: Review and approval for the installation of new doors, replacement of windows, closure of windows on the rear of the residence, removal of front handrails, and exterior painting. When considering this request: Review the following in our Historic Guidelines from Chapter 5 pertaining to the following sections: 4.0 (doors): A dwelling's entrance is a major focal point and helps define its style. An entrance is composed of several elements, including doors, transoms, sidelights, shutters, pediments, and surrounds. Together, these components define the building's architectural style. Original entrance elements should be preserved and maintained. 7.0 (paint): In Park Hill the required colors are Glidden "Desert Floor" Semi-Gloss, or an identical color of another brand for the stucco and Glidden "Stewart House Brown" High Gloss, or an identical color for the trim and doors. 9.0 (railing/ porch stairs): Porch railings and steps are integral elements of a historic porch. They provide functional and visual qualities. Preserve and maintain all original porch materials. 12.0 (windows): Preserve, maintain, or repair historic windows. Do not cover or enclose original window openings. Historic windows deteriorated beyond repair may be replaced in-kind, fitting the replacements into the original window opening. Replacement windows should also match the originals in number and configuration of panes, or lights and material, such as wood or metal. Adding new window openings on a primary façade is not appropriate. Staff recommends: Approval based upon conformance with the design standards.			
Planning Tech:	Lori Pyatte	Date:	12/19/2025
Historic Zoning Commission Action		Meeting Date:	01/12/2026
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

Historic Guidelines:

4.0 Doors

*Rehabilitation Guidelines for Residential Historic Properties***4.0 ENTRANCES & DOORS****Policy:**

A dwelling's entrance is a major focal point and helps define its style. An entrance is composed of several elements, including doors, transoms, sidelights, shutters, pediments, and surrounds. Together, these components define the building's architectural style. Original entrance elements should be preserved and maintained.

DESIGN GUIDELINES FOR ENTRANCES & DOORS**4.1 Preserve and maintain original doors and entrances.**

Retain historic entrance features including decorative and functional aspects such as original jambs, sills, and headers of openings. Retain original primary doors on the main façade, as they contribute to a building's historic appearance. Never infill or cover historic door openings.

4.2 Repair deteriorated or damaged historic doors consistent with historic materials.

The repair of historic doors should be with methods to retain their historic fabric and appearance as much as possible. Use epoxy to strengthen deteriorated wood.

4.3 If historic doors are missing or beyond repair, install replacement doors that match the originals.

Select replacement doors carefully to match the original doors in materials and dimensions, ideally with the same number and series of panels and glass lights. The new doors should be in keeping with the style and period of the building. Use historic photographs to identify details about original doors if possible. Adjacent, similar buildings may provide guidance for selecting appropriate door designs.

4.4 Never create a new door opening where none existed on a readily visible facade.

Creating a new opening in a historically solid wall surface compromises the building's architectural integrity and is not appropriate. A new opening may be permitted on a side elevation if it is not visible from public view. The new entrance should still be compatible in scale, size, proportion, placement, and style to historic openings. Locate new openings on side or rear elevations rather than the main façade.

4.5 Use storm or screen doors if desired.

Preserve historic screen doors, or select a screen or storm door design that allows full view of the original primary door it covers.

Historic Guidelines:

7.0 Paint

Rehabilitation Guidelines for Residential Historic Properties**7.0 PAINT****Policy:**

Exterior paint colors for historic buildings are generally not subject to Commission review. Exceptions are the traditional paint colors in the White City and Park Hill Historic Districts. In White City, white paint is required for the exterior. In Park Hill the required colors are Glidden "Desert Floor" Semi-Gloss, or an identical color of another brand for the stucco and Glidden "Stewart House Brown" High Gloss, or an identical color for the trim and doors. Property owners in the other districts are encouraged to follow general recommendations based on historic precedent. Traditionally, bright, garish colors and jarring combinations are avoided. The use of paint colors appropriate to the style and date of the dwelling will highlight significant details and contribute to the overall character of a building and district.

DESIGN GUIDELINES FOR PAINT**7.1 Maintain a building's original historic painted or unpainted appearance.**

Paint has aesthetic and functional purposes, helping to convey a building's style and protect materials from the elements. Maintain the painted exterior of historically painted buildings and features. Do not apply paint to masonry buildings that have not been previously painted, unless the surface is so deteriorated that paint would help strengthen the masonry.

7.2 Remove paint using non-abrasive methods, while protecting historic materials.

Appropriate non-abrasive methods for removing paint may include chemical cleaning, hand-scraping, or hand-sanding. Abrasive or high-pressure methods that will damage surfaces are inappropriate methods. Low-heat stripping with a heat gun or heat plate, with a temperature of less than 450 degrees, may be used for paint removal. This method softens paint layers by applying heat which then allows scraping.

7.3 Remove as little paint as possible.

Remove deteriorated paint only to the next sound layer. If paint is blistered to the bare surface level, remove all paint completely. Sand the surface, then apply primer and paint layers.

7.4 Use Appropriate Paint.

Oil-based or latex paint is compatible and will adhere to the previously painted surface. Do not use elastomeric paints that lack permeability and can trap moisture.

7.5 Follow traditional paint color palettes.

Paint colors should complement the style and period of the house and the overall streetscape. Select a color scheme of no more than three hues. Use the same color for all trim including horizontal and vertical trim boards, porch columns, and window framing; a contrasting color for walls; and a darker color for doors, shutters, and window sashes.

Historic Guidelines:

9.0 Porch Stairs & Railings

Rehabilitation Guidelines for Residential Historic Properties

9.0 PORCH STAIRS & RAILINGS

Policy:

Porch railings and steps are integral elements of a historic porch. They provide functional and visual qualities. Preserve and maintain all original porch materials.

DESIGN GUIDELINES FOR PORCHES & RAILINGS

9.1 Retain historic porch steps and railings

Retain historic porch steps and railings whenever possible. Replace individual sections of porch stairs and railings rather than a complete replacement. Use materials that match the porch's materials.

9.2 Avoid pre-cast concrete steps.

If replacement of original steps is necessary, pre-cast concrete steps should not be used on entrances that are readily visible from the street.

9.3 Keep replacement railings simple and in-kind with the original.

Replacement railings should match the style and appearance of the original railing. Simple painted wood railings with balusters between the top and bottom rail are appropriate.

9.4 New porch railings must have appropriate height and dimensions.

Porches 30" above grade are required to have a porch railing installed which is at least 36" above grade. Dimensions of balusters should be at least three inches by three inches and generally spaced four inches on center.



The dwelling at 1125 Wateree Street has an appropriate rebuilt wood stair and the porch railing is also compatible with the original design.

Historic Guidelines:

12.0 Windows

Rehabilitation Guidelines for Residential Historic Properties

12.0 WINDOWS

Policy:

Preserve, maintain, or repair historic windows. Do not cover or enclose original window openings. Historic windows deteriorated beyond repair may be replaced in-kind, fitting the replacements into the original window opening. Replacement windows should also match the originals in number and configuration of panes, or lights and material, such as wood or metal. Adding new window openings on a primary façade is not appropriate.

Why Preserving Original Windows is Recommended and Makes Economic and Environmental Sense

Nationally-accepted recommendations for preservation of historic wood and metal windows call for retaining these important features except in cases of extreme deterioration. The reasons for preserving original windows include:

- Studies show that windows typically account for only 10% to 15% of a home's energy loss, and the payback for installing new windows can take decades.
- All windows are subject to expansion and contraction with temperature changes. Vinyl, however, experiences more than twice as much expansion as wood and seven times more than glass. This extreme expansion causes seals to fail between the frame and glass, as well as a significant performance reduction. More than one-third of vinyl windows being replaced today are less than ten years old.
- Vinyl windows do not match the appearance of historic wood windows; their texture and thinness are inappropriate for Kingsport's historic districts. A more acceptable alternative, if the original windows are beyond reasonable repair, aluminum clad wood windows or composite windows which have the appearance of a historic wood window.



Original casement windows at 509 Yadkin Street.



Original four-over-four, wood sash windows at 205 Compton Terrace.



Rotherwood features this variation of a Classical Palladian window.

Historic Guidelines:

12.0 Windows (cont.)

Rehabilitation Guidelines for Residential Historic Properties

WINDOWS, continued...

- Historic wood and metal windows are sustainable. These features represent embodied energy, already extracted from raw materials natural to the environment.
- Vinyl windows cannot be recycled and are detrimental to the environment when they are discarded.
- The old-growth lumber used in historic window frames can last indefinitely, unlike new-growth wood or vinyl.

Treatment of historic wood windows

12.1 Preserve and maintain original windows.

Window openings, windows, window details, and the size and shape of these elements help establish rhythm, scale, and proportion of buildings and reflect architectural style and character

12.2 Repair deteriorating wood windows as needed. When possible, replace missing panes or deteriorated sashes rather than entire windows.

Retaining as much of the historic window material and detail as possible will help protect the building's historic character and appearance. Replace only those elements necessary. Use epoxy to strengthen deteriorated wood.



Original nine-over-six wood-sash window at the Netherland Inn.



This original six-over-six, wood-sash window with ornamental hood is an important component of Rotherwood.



The original twelve-over-twelve, wood sash window at 1261 Watauga Street reflects the dwelling's Colonial Revival style.

Kingsport Historic Zoning Commission

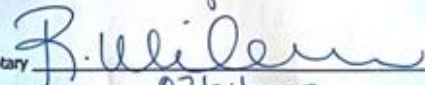
Project Number: HISTRC25-0306

Item V1.

Application:



HISTORIC ZONING COMMISSION APPLICATION

APPLICANT INFORMATION:			
Last Name <u>Fitzgerald</u>	First <u>Brian</u>	M.I. <u>P</u>	Date <u>12/15/2025</u>
Street Address <u>217 West Vansla</u>		Apartment/Unit #	
City <u>Kingsport</u>	State <u>TN</u>	ZIP <u>37660</u>	
Phone <u>423-366-2438</u>	E-mail Address [REDACTED]		
PROPERTY INFORMATION:			
Tax Map Information		Tax map: <u>0461</u> Group: <u>C</u> Parcel: <u>004</u> Lot: <u>00</u>	
Street Address <u>217 West Vansla</u>		Apartment/Unit #	
Name of Historic Zone <u>Parkhill</u>			
Current Use <u>Residence</u>			
REPRESENTATIVE INFORMATION:			
Last Name <u>Fitzgerald</u>	First <u>Brian</u>	M.I. <u>P</u>	Date
Street Address <u>217 West Vansla</u>		Apartment/Unit #	
City <u>Kingsport</u>	State <u>TN</u>	ZIP <u>37660</u>	
Phone <u>423-366-2438</u>	E-mail Address [REDACTED]		
REQUESTED ACTION:			
<u>Review door, window, and paint for approval. Approve closure of windows on back right to ensure proper layout of rooms and details. Additionally one window needs to be enclosed in the back to allow electrical panel and meter.</u>			
DISCLAIMER AND SIGNATURE			
By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.			
Signature: 		Date: <u>12/15/2025</u>	
Signed before me on this <u>15</u> day of <u>December</u>, 20<u>25</u>. a notary public for the State of <u>Virginia</u> County of <u>Washington</u> Notary  My Commission Expires <u>03/31/2027</u>			
			

Kingsport Historic Zoning Commission

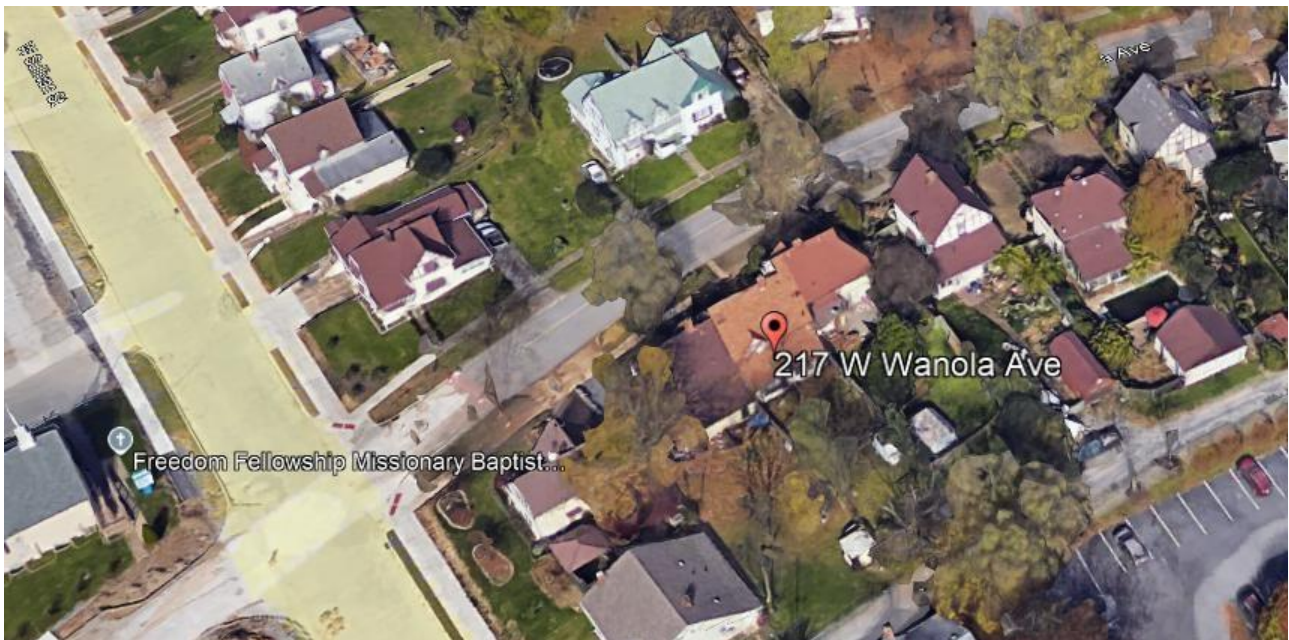
Item V1.

Project Number: HISTRC25-0306

Aerial View:



Google Earth View:





Remove metal storm windows and install new grid windows to allow egress.

Fix exterior wood trim and walls and repaint to historic district color scheme.

Remove storm windows and install new windows.

Remove storm door and paint existing exterior door color matched Glidden "Stewart House Brown" High Gloss

Remove both sides of railing.



The owner is also requesting approval to close the window area circled in purple.

This request is necessary to allow for the installation of a new electric meter and disconnect switch for the home. According to the owner, AEP requires the existing power to be relocated underground to a new power pole that will be positioned at the rear of the property. As part of this process, a new meter base will need to be installed in this location.



Series 700/705 Windows

Single or Multi-Lite Casement and Awning Windows

Casement Windows

Our versatile vinyl casements crank open easily to provide ventilation or for cleaning. They come in a range of styles, from single vent to 5-lite combinations of fixed and operating units.

Awning Windows

The perfect way to provide controlled ventilation. Simply crank open our vinyl awning window to let in just as much fresh air as you want. Window opens to the outside, keeping indoors dry even on rainy days.

Series 700 Casement and Series 705 Awning windows are compatible with all series of Replacement ReliaBilt windows.



Series 700/705 Windows to allow proper egress needed for bedrooms. Will use 5/8" Flat Grid and Colonial selection.

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Features

Colors

Grids

Glass

Additional Options

Grid Types



5/8-Inch Flat Grid



3/4-Inch Flat Grid



5/8-Inch Contoured Grid

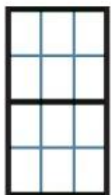


1-Inch Contoured Grid



1-1/8-Inch Simulated Divided Lite (SDL) Grid

Grid Patterns



Colonial



Diamond



Prairie



Perimeter Prairie

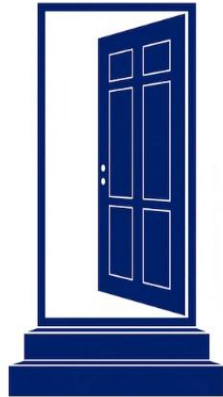


Valance

Door & Light to be used
at the back entrance.



Prehung Front Door - Right Hand Inswing



RELIABILT 32-in x 80-in x 4-9/16-in Steel Half lite Right-hand inswing Prehung Front Door with Brickmould Insulating core with Grilles



C Cattleya 1-Light 13.5-in H Matte Black Hardwired Dusk to Dawn Outdoor Wall Light

Item #4984885 | Model #CA2012-W



Quote Information - Quote 14697355 - Sales

All Item V1. outside

Company Name: LOWES

Sales Order:

Purchase Order:

Contractor: FITZGERALD

Job Name:

Account: LO0718

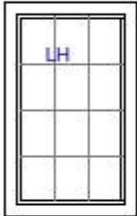
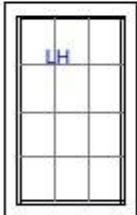
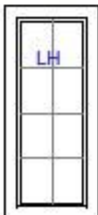
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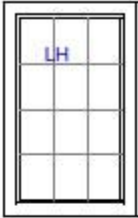
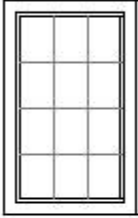
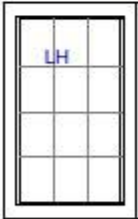
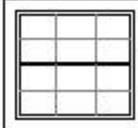
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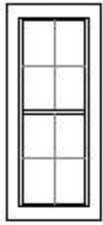
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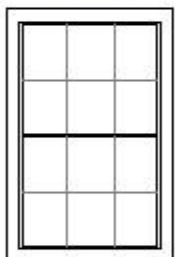
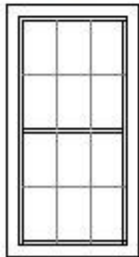
Created On: November 07, 2025

All prices subject to change without notice

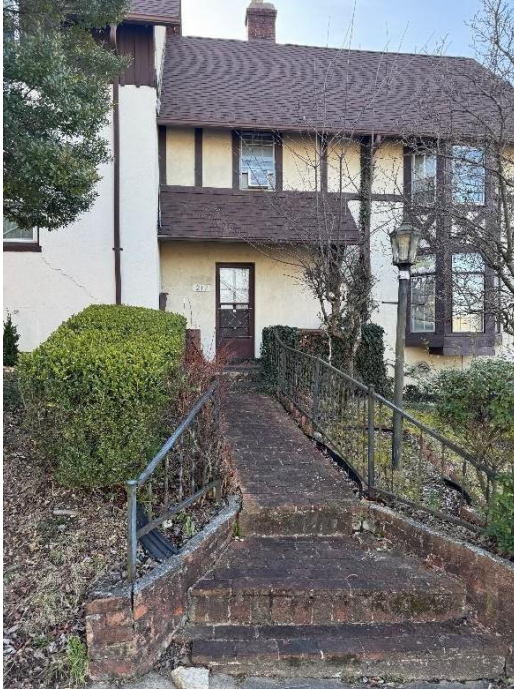
Line	Qty.	Description	Size
			(W x H)
1	1	New Series 750 Single Lite Casement - White - Clear - ULTRA LOW-E/ARGON - 5/8 Colonial - 3Hx2V (White) - Egress - Left - Screen - Standard Mesh - StandardWITH FIN (Opening Size: 29 W x 46 H , Egress Opening Size: 21.25 W x 40.31 H (5.95 SQ.FT)) - DP50: Size Tested 36" x 72" - U Factor: 0.27, SHGC: 0.17 Meets ENERGY STAR in region(s): [SOUTH-CENTRAL] [SOUTHERN] 	28 1/2" x 45 1/2" ES
2	1	New Series 750 Single Lite Casement - White - Clear - ULTRA LOW-E/ARGON - 5/8 Colonial - 3Hx2V (White) - Egress - Left - Screen - Standard Mesh - StandardWITH FIN (Opening Size: 28 3/4 W x 46 H , Egress Opening Size: 21.00 W x 40.31 H (5.88 SQ.FT)) - DP50: Size Tested 36" x 72" - U Factor: 0.27, SHGC: 0.17 Meets ENERGY STAR in region(s): [SOUTH-CENTRAL] [SOUTHERN] 	28 1/4" x 45 1/2" ES
3	2	New Series 750 Single Lite Casement - White - Clear - ULTRA LOW-E/ARGON - 5/8 Colonial - 3Hx1V (White) - Egress - Left - Screen - Standard Mesh - StandardWITH FIN (Opening Size: 21 1/4 W x 46 1/4 H , Egress Opening Size: 13.50 W x 40.56 H (3.80 SQ.FT)) - DP50: Size Tested 36" x 72" - U Factor: 0.27, SHGC: 0.17 Meets ENERGY STAR in region(s): [SOUTH-CENTRAL] [SOUTHERN] 	20 3/4" x 45 3/4" ES

4	1	New Series 750 Single Lite Casement - White - Clear - ULTRA LOW-E/ARGON - 5/8 Colonial - 3Hx2V (White) - Egress - Left - Screen - Standard Mesh - StandardWITH FIN (Opening Size: 29 W x 46 3/8 H , Egress Opening Size: 21.25 W x 40.69 H (6.00 SQ.FT)) - DP50: Size Tested 36" x 72" - U Factor: 0.27, SHGC: 0.17 Meets ENERGY STAR in region(s): [SOUTH-CENTRAL] [SOUTHERN] 	28 1/2" x 45 7/8" ES Item V1.
5	1	New Series 750 Picture Window - White - Clear - ULTRA LOW-E/ARGON - Double Strength - 5/8 Colonial - 3Hx2V (White) - No ScreenWITH FIN (Opening Size: 28 3/4 W x 46 1/4 H) - DP50: Size Tested 72" x 72" - U Factor: 0.27, SHGC: 0.21 Meets ENERGY STAR in region(s): [SOUTH-CENTRAL] [SOUTHERN] 	28 1/4" x 45 3/4" ES
6	1	New Series 750 Single Lite Casement - White - Clear - ULTRA LOW-E/ARGON - 5/8 Colonial - 3Hx2V (White) - Egress - Left - Screen - Standard Mesh - StandardWITH FIN (Opening Size: 28 3/4 W x 45 3/4 H , Egress Opening Size: 21.00 W x 40.06 H (5.84 SQ.FT)) - DP50: Size Tested 36" x 72" - U Factor: 0.27, SHGC: 0.17 Meets ENERGY STAR in region(s): [SOUTH-CENTRAL] [SOUTHERN] 	28 1/4" x 45 1/4" ES
7	1	Repl Series 3201 Best Buy Double Hung - White - Clear - Ultra Low-E/Argon - 5/8 Colonial - 1Hx2V-1Hx2V (White) - E Half Screen - Standard Mesh - 2 Locks (White) - Nailing Fin - Glass Breakage Warranty - w/InsulKor Multi Cavity Foam-Filled Frame (Opening Size: 31 1/4 W x 29 1/4 H) - DP35: Size Tested 36" x 74" - U Factor: 0.30, SHGC: 0.19 Meets ENERGY STAR in region(s): [SOUTHERN] 	30 3/4" x 28 3/4" ES

8	2	Repl Series 3201 Best Buy Double Hung - White - Clear - Ultra Low-E/Argon - 5/8 Colonial - 1Hx1V-1Hx1V (White) - E Half Screen - Standard Mesh - 1 Lock (White) - Nailing Fin - Glass Breakage Warranty - w/InsulKor Multi Cavity Foam-Filled Frame (Opening Size: 20 3/4 W x 45 3/4 H) - DP35: Size Tested 36" x 74" - U Factor: 0.30, SHGC: 0.19 Meets ENERGY STAR in region(s): [SOUTHERN] 	Item V1. 20 1/4" x 45 1/4" ES
---	---	--	---

9	2	Repl Series 3201 Best Buy Double Hung - White - Clear - Ultra Low-E/Argon - 5/8 Colonial - 1Hx2V-1Hx2V (White) - E Half Screen - Standard Mesh - 2 Locks (White) - Nailing Fin - Glass Breakage Warranty - w/InsulKor Multi Cavity Foam-Filled Frame (Opening Size: 36 W x 54 H) - DP35: Size Tested 36" x 74" - U Factor: 0.30, SHGC: 0.19 Meets ENERGY STAR in region(s): [SOUTHERN] 	35 1/2" x 53 1/2" ES
10	2	Repl Series 3201 Best Buy Double Hung - White - Clear - Ultra Low-E/Argon - 5/8 Colonial - 1Hx2V-1Hx2V (White) - E Half Screen - Standard Mesh - 2 Locks (White) - Nailing Fin - Glass Breakage Warranty - w/InsulKor Multi Cavity Foam-Filled Frame (Opening Size: 28 3/4 W x 53 3/4 H) - DP35: Size Tested 36" x 74" - U Factor: 0.30, SHGC: 0.19 Meets ENERGY STAR in region(s): [SOUTHERN] 	28 1/4" x 53 1/4" ES
Sub Totals			21
Totals	14		

Site Visit Photos:



Front of unit- From Street



Backside of the unit



Windows and Gutter on the unit

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Item V2.

Property Information			
Address	205 Canongate Road		
Tax Map, Group, Parcel	022M G 002.00		
Civil District	07 th		
Overlay District	Rotherwood		
Land Use Plan Designation	Single Family		
Acres	+/-		
Existing Use	Single Family	Existing Zoning	R-1A
Proposed Use	No Change	Proposed Zoning	No change
Owner Information			
Name: Bryston Winegar Address: 205 Canongate Road City: Kingsport State: TN Zip Code: 37660 Representative: Marvin Egan		New Construction For: Home addition to the rear of the home to make a master suite room.	
Points for Consideration			
Request: The property owner is proposing a home addition towards the rear of the property. When considering this request: Review the following in our Historic Guidelines from Chapter 6 pertaining to the following: New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwellings. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features. Staff recommends: approval based upon conformance with the design standards			
Planning Tech:	Lori Pyatte	Date:	12/22/2025
Historic Zoning Commission Action		Meeting Date:	01/12/2026
Approval:			
Denial:		Reason for Denial:	
Deferred:		Reason for Deferral:	

Historic Guidelines:

Additions to Primary Dwellings

New Residential Construction

CHAPTER 6 - NEW RESIDENTIAL CONSTRUCTION

Policy:

New additions to historic dwellings should be constructed and designed in a manner that maintains the overall character of the original dwellings. The addition should blend with the original design and not obscure or conceal the historic dwelling or its primary features.

1.0 ADDITIONS TO PRIMARY DWELLINGS DESIGN GUIDELINES FOR NEW ADDITIONS

1.1 Consider the location, size, and scale of the addition.

A new addition should never overwhelm the historic dwelling. The window spacing and materials of the new addition should follow those of the original building. Locate new additions on rear or side elevations where not visible from the street.

1.2 Retain historic character.

Design the addition in a manner compatible with the historic character of the original building, as well as of surrounding buildings in the district. Though the addition should be a discernible wing from the historic building, it should blend well without duplicating the original form, material, style, wall plane, or roofline.

1.3 Porch enclosures may be appropriate.

If an owner chooses to enclose a porch (or a portion thereof), the floor fascia board and columns shall not be covered, and every effort shall be made to express the original intent of the porch with screen panels.

1.4 The addition of decks on rear elevations may be appropriate.

Place decks on rear elevations or in other locations that are out of view from the street. Paint and design decks to blend closely with the dwelling. Keep deck designs simple in appearance. If visible from the street, ensure that decks have square balusters set no more than three inches apart and no more than two inches in width and depth.

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Item V2.

Application:

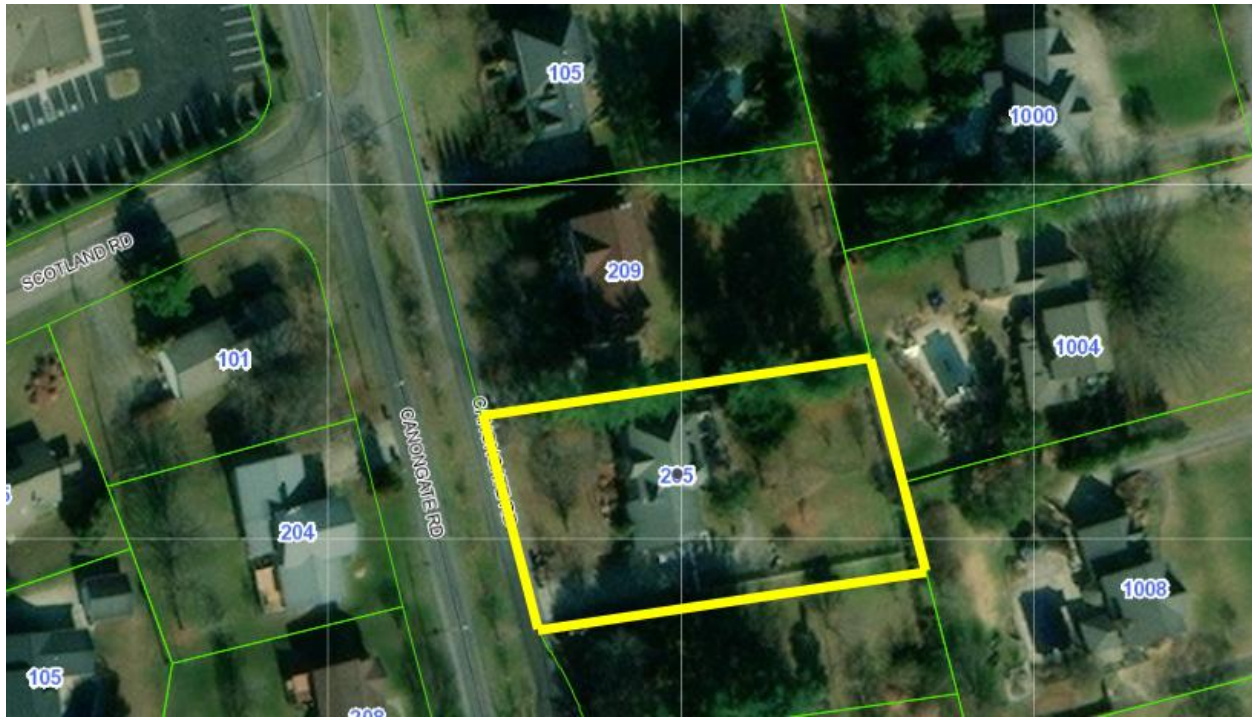


HISTORIC ZONING COMMISSION APPLICATION

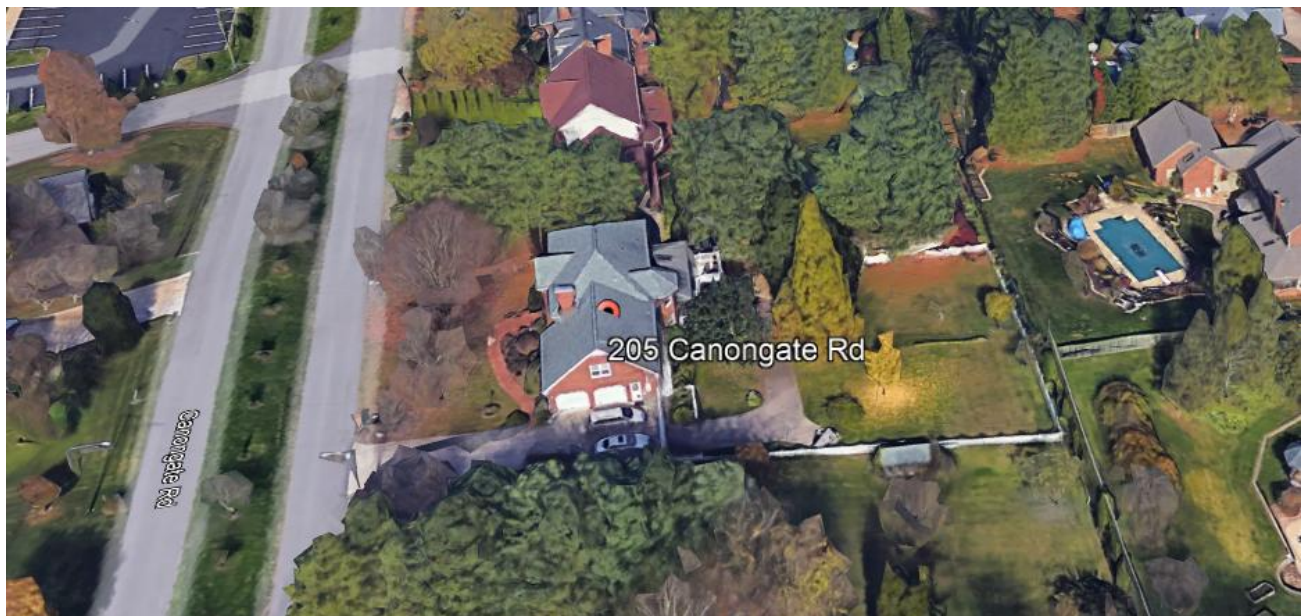
APPLICANT INFORMATION:			
Last Name	Winegar	First	Bryston
M.I.		Date	12/19/25
Street Address	205 Canongate Rd		Apartment/Unit #
City	Kingsport	State	TN
Phone	423-416-5054	ZIP	37660
E-mail Address			
PROPERTY INFORMATION:			
Tax Map Information	Tax map: 022M Group: G	Parcel:	002 001
Street Address	205 Canongate Rd		Apartment/Unit #
Name of Historic Zone	Rotherwood Hills		
Current Use	Primary Residence		
REPRESENTATIVE INFORMATION:			
Last Name	Egan	First	Marin
M.I.	R	Date	12/19/25
Street Address	5737 Fort Henry Drive		Apartment/Unit #
City	Kingsport	State	TN
Phone	423-378-2301	ZIP	37663
E-mail Address			
REQUESTED ACTION:			
Addition of master suite. Exterior of addition to match all existing finishes, including light fixtures, brick color, etc.			
DISCLAIMER AND SIGNATURE			
By signing below I state that I have read and understand the conditions of this application and have been notified as to the location, date and time of the meeting in which my application will be reviewed by the Commission. I further state that I am/we are the sole and legal owner(s) of the property described herein or have been appointed by the property owner to serve as a representative for this application and that I am/we are appealing to the Historic Commission.			
Signature:	Marin Egan		Date: 12/19/25
Signed before me on this 19th day of December 2025			
a notary public for the State of Tennessee			
County of Sullivan			
Notary:	Stephanie Archer		
My Commission Expires 07/26/25			



Aerial View:



Google Earth View:



**BUILDERS FS - KINGSPORT #88**

230 W MAIN STREET

MOUNT CARMEL

TN 37645

Phone: 423-357-4331

Fax: 1-423-357-4810

Cu
Item V2.

Short Form

QUOTE EXPIRES

N/A

QUOTE DATE

Quote Not Ordered

BID BY

PRICE BOOK

Price Book 2025

CREATED

12/19/2025

jr.justice@bldr.com

PK # 329

Customer Information:

Phone:

Fax:

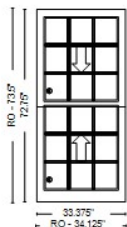
Delivery Information:

Phone:

Fax:

QUOTE #	STATUS	CUSTOMER PO#	DATE PRINTED
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CUSTOMER JOB NAME	TERMS	QUOTE NAME	PROJECT NAME
		Egan	Winegar

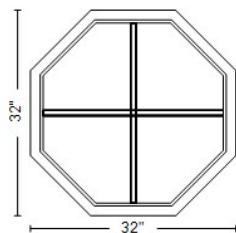
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
100	#W03 MBR	34 1/8" X 73 1/2"	33.375" X 72.75"	\$1,950.40	5	\$9,752.00



Pinnacle Clad White Double Hung 2832-1 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W03 MBR)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner)(Glass Stop Profile: Ogee)(Callout:2-8 x 5-10)(Pine Species)(White Paint)(With Finger Pulls)(Grey Spacer)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W3H/3W3H) (Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

* Units viewed from exterior.

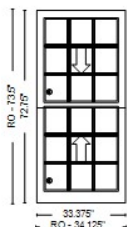
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
200	#W04 WIC	32 3/4" X 32 3/4"	32" X 32"	\$1,041.53	1	\$1,041.53



Pinnacle Clad White Direct Glaze Octagon Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W04 WIC)(2604 Powder)(Setup (Standard))(FBC: 11570)(Glass Stop Profile: Traditional)(FD: 32 x 32)(Pine Species)(White Paint)(Grey Spacer)(Preserve)(No Brickmould)(Rigid Nail Fin)(Full Width Jamb)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 2W2H)(Energy Star: Meets in S Zone)(CW-PG70-FW) Performance Data:(U-Value: 0.29)(SHGC: 0.21)(VT: 0.5)(CR: 52)

* Units viewed from exterior.

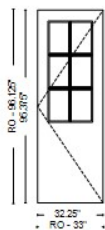
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
300	#W03 HALL	34 1/8" X 73 1/2"	33.375" X 72.75"	\$1,950.40	1	\$1,950.40



Pinnacle Clad White Double Hung 2832-1 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W03 HALL)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner)(Glass Stop Profile: Ogee)(Callout:2-8 x 5-10)(Pine Species)(White Paint)(With Finger Pulls)(Grey Spacer)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W3H/3W3H) (Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

* Units viewed from exterior.

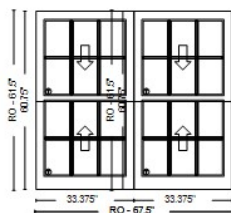
Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
400	#D07 HALL	33" X 96 1/8"	32.25" X 95.375"	\$4,175.64	1	Item V2.



* Units viewed from exterior.

Pinnacle Clad White Inswing Single Panel 2880 Complete Unit XL LoE 366 IG 6-9/16 Jamb Ext (Room ID: #D07 HALL)(2604 Powder)(Setup (Standard))(FBC: 11573)(Glass Stop Profile: Ogee)(French Panel)(1/2 Lite Panel with Simulated 2 Panel)(8 Inch Rail)(Pine Species)(White Paint)(White Threshold Finish)(Bronze Sill)(Grey Spacer)(Tempered Glass)(Preserve)(Satin Nickel Multi-Point Hardware)(Euro Handle Style)(No Brickmould)(Rigid Nail Fin)(White Powder Coat Standard Adjustable Hinges)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 2W3H)(Energy Star:)(R-PG50-SHD) Performance Data:(U-Value: 0.38)(SHGC: 0.07)(VT: 0.14)

Line #	Room ID	Overall RO	Overall Frame	Price	Qty	Extended
500	#W02	67 1/2" X 61 1/2"	66.75" X 60.75"	\$3,504.65	1	\$3,504.65



* Units viewed from exterior.

(A1) DDH 2826 - (A2) DDH 2826 - Standard Mulls

(A1)-Pinnacle Clad White Double Hung 2826 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W02)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner)(Glass Stop Profile: Ogee)(Callout:2-8 x 4-10)(Pine Species)(White Paint)(With Finger Pulls)(Grey Spacer)(Tempered Glass)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W2H/3W2H)(Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

(A2)-Pinnacle Clad White Double Hung 2826 Complete Unit LoE 366 IG 6-9/16 Jamb Ext (Room ID: #W02)(2604 Powder)(Setup (Standard))(FBC: 11092)(Concealed Jambliner)(Glass Stop Profile: Ogee)(Callout:2-8 x 4-10)(Pine Species)(White Paint)(With Finger Pulls)(Grey Spacer)(Tempered Glass)(Preserve)(White Hardware)(No Brickmould)(Rigid Nail Fin)(7/8" Standard WDL w/Inner Bar)(Ogee WDL Interior Profile)(Colonial Pattern 3W2H/3W2H)(Full Screen)(White Screen - Not Applied)(BetterVue)(Energy Star: Meets in S Zone)(LC-PG35-H) Performance Data:(U-Value: 0.31)(SHGC: 0.18)(VT: 0.41)(CR: 57)

Quote Comments:

Disclaimer:

SUB-TOTAL:	\$20,424.22
LABOR:	\$0.00
FREIGHT:	\$0.00
SALES TAX:	\$1,991.36
TOTAL:	\$22,415.58

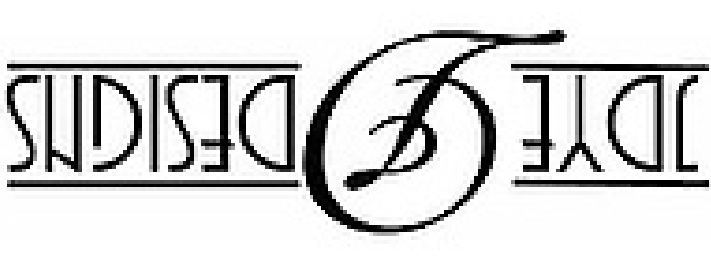
Messages:

* Units meeting Egress size conform to 2018 IRC Section R310.2 Egress requirements; Local codes may differ. Customer is responsible to confirm units meet all applicable requirements..

Submitted By: _____ Date: _____

Accepted By: _____ Date: _____

We appreciate the opportunity to provide you with this quote!



Jessica Dye
P.O. Box 1974, Abingdon, VA 24212
(276) 971-4082
jdyledesigns@outlook.com

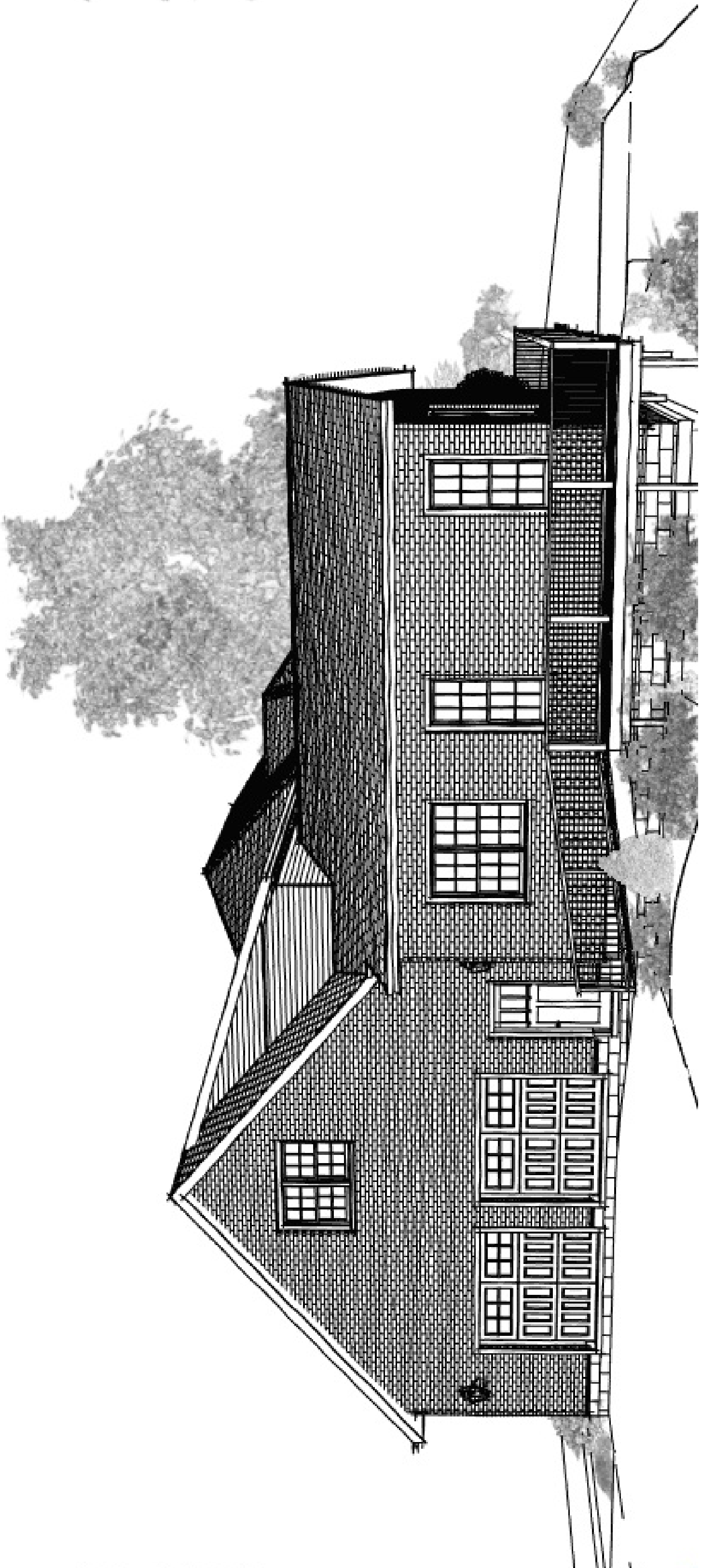
COVER

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

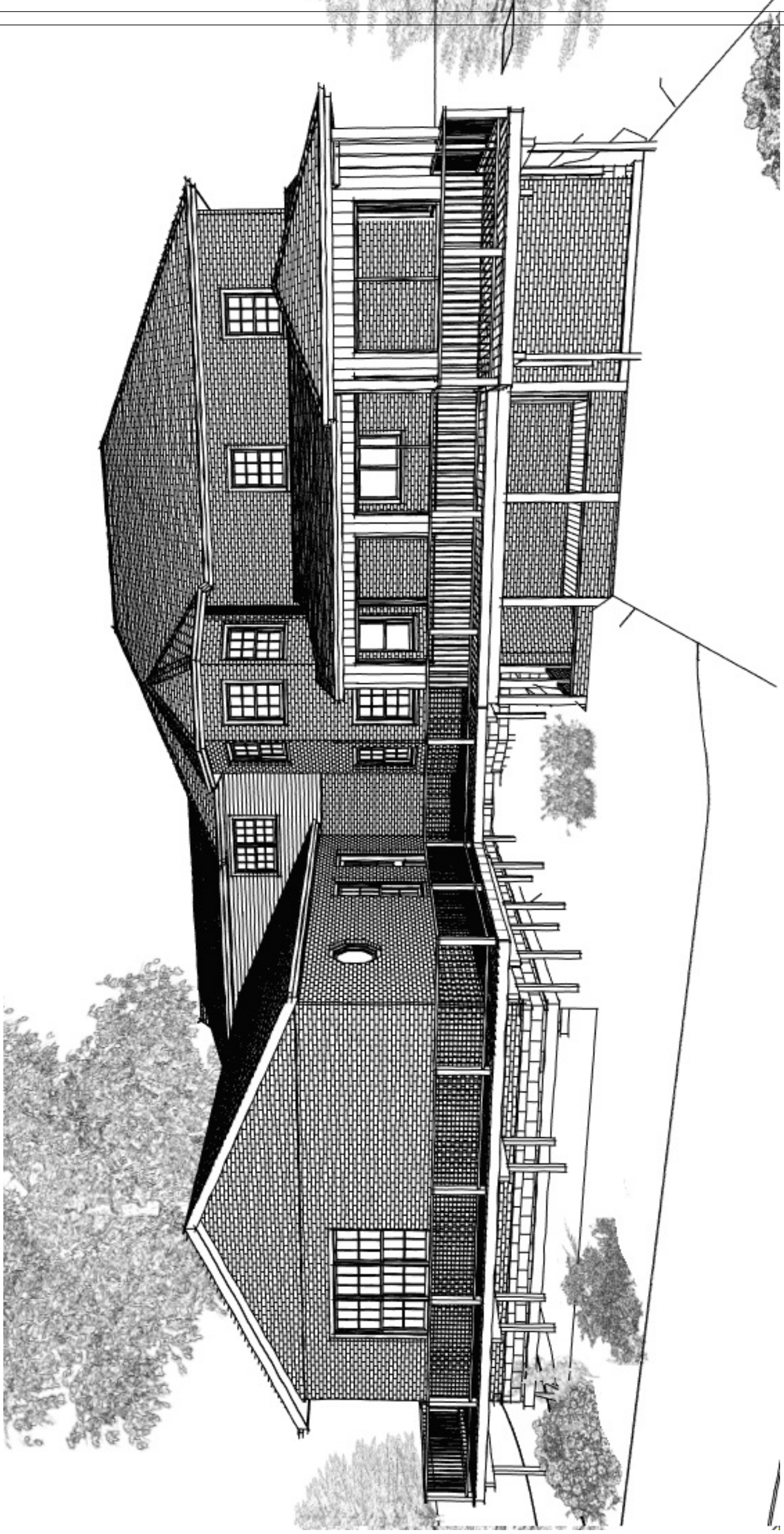
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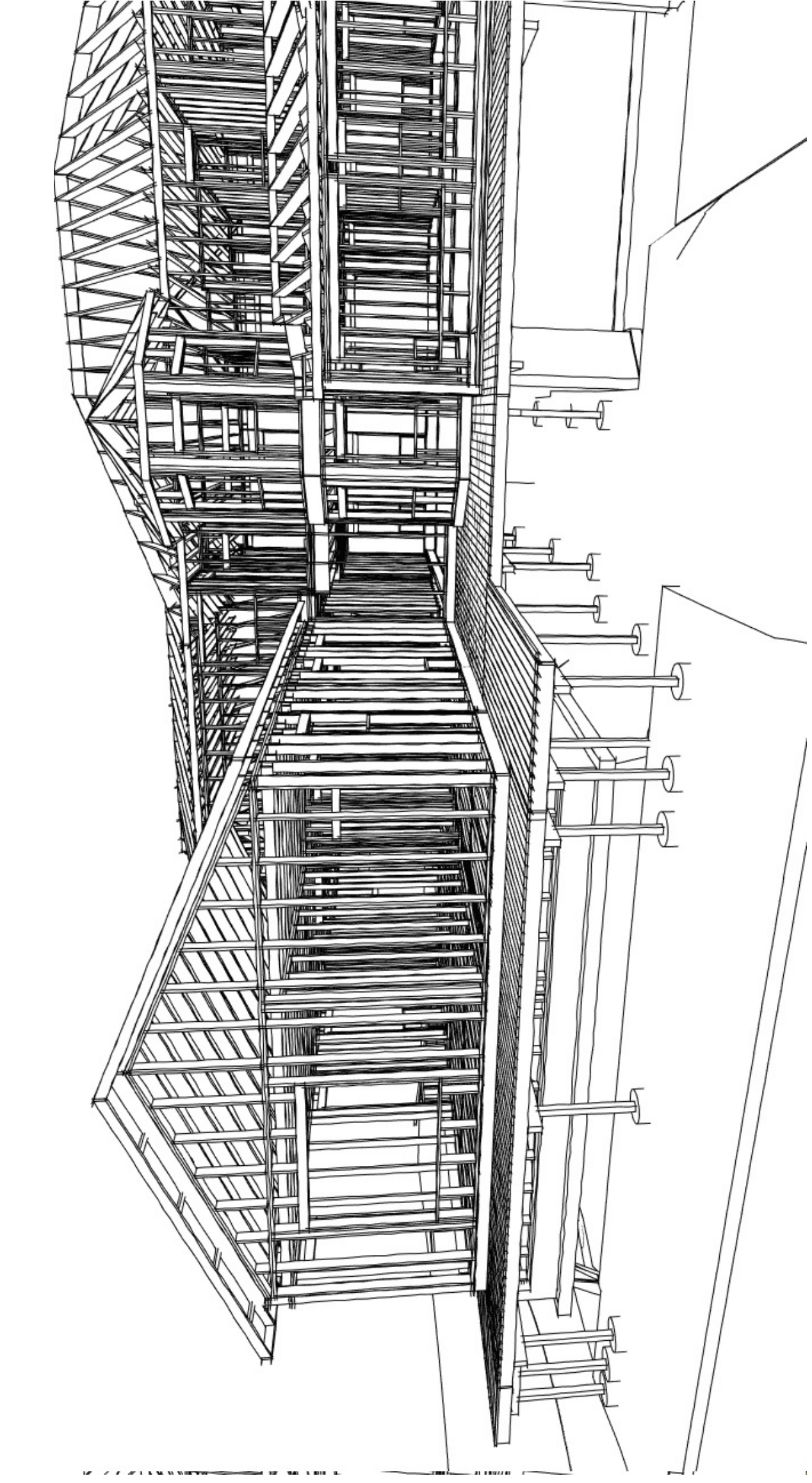
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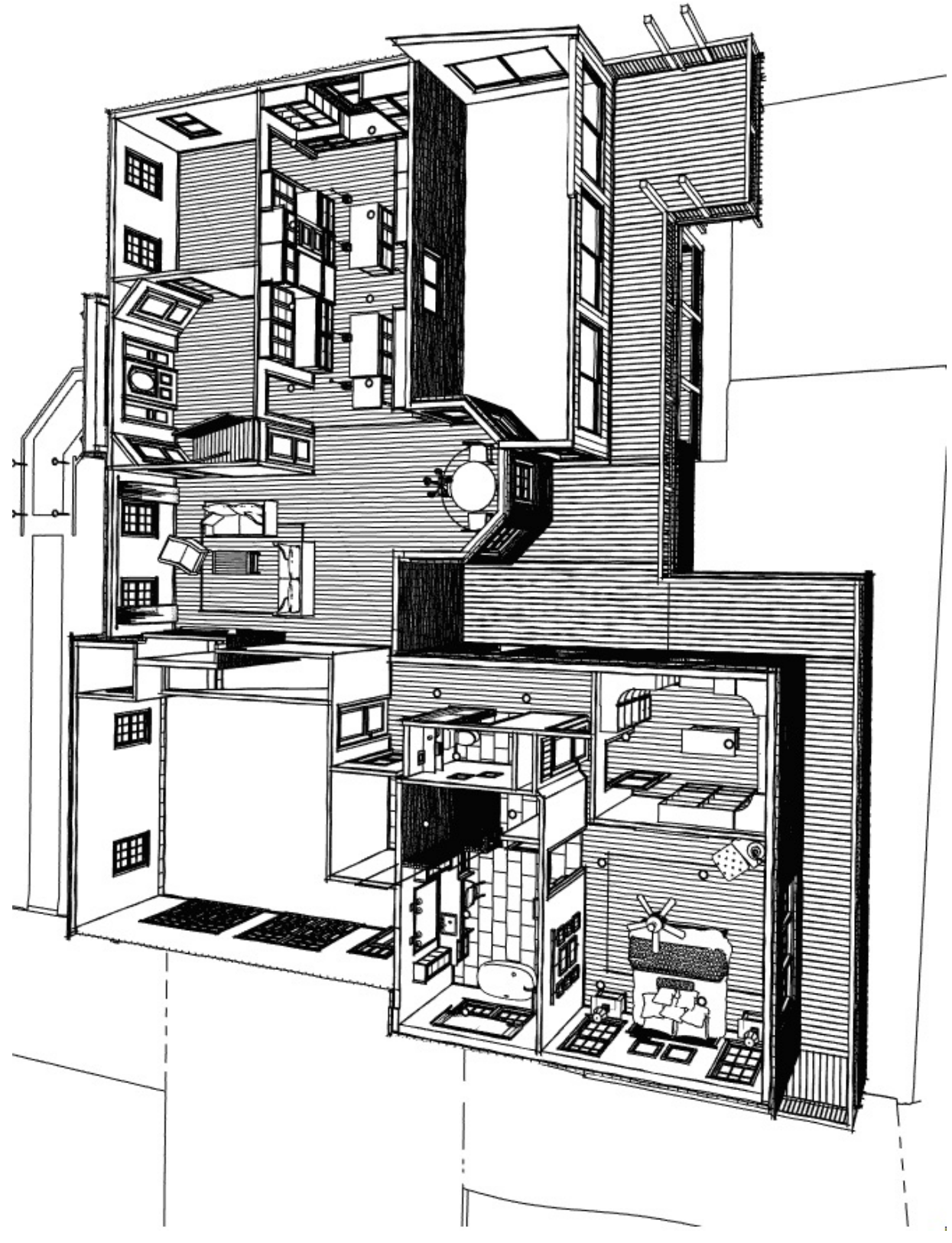
VIEW FROM RIGHT
NOT TO SCALE



VIEW FROM REAR
NOT TO SCALE



3D FRAMING VIEW
NOT TO SCALE



2D FLOOR PLAN
NOT TO SCALE

GENERAL NOTES:
THE BUILDER SHALL VERIFY THAT SITE CONDITIONS ARE CONSISTENT WITH THESE PLANS BEFORE STARTING WORK. WORK NOT SPECIFICALLY DETAILED SHALL BE CONSTRUCTED TO THE SAME QUALITY AS SIMILAR WORK THAT IS DETAILED. ALL WORK SHALL BE DONE IN ACCORDANCE WITH INTERNATIONAL BUILDING CODES AND LOCAL CODES.
WRITTEN DIMENSIONS AND SPECIFIC NOTES SHALL TAKE PRECEDENCE OVER SCALED OR UNANNOTATED DIMENSIONS. DIMENSIONS SHALL BE GIVEN IN FEET AND INCHES. IF A CLARIFICATION OF SITE CONDITIONS ARE ENCOUNTERED THAT ARE DIFFERENT THAN SHOWN, IF THE BUILDER HAS ANY QUESTIONS OR CONCERNS, THEY MUST BE RESOLVED PRIOR TO THE START OF CONSTRUCTION. THE BUILDER SHALL VERIFY THAT ALL DIMENSIONS (INCLUDING ROUGH OPENINGS).

PLEASE SEE ADDITIONAL NOTES CALLED OUT ON OTHER SHEETS.

BUILDING PERFORMANCE:
HEAT LOSS CALCULATIONS SHALL COMPLY WITH THE REQUIREMENTS OF REGIONAL AND LOCAL CODES. SEE CALCULATIONS, PORCHES, DECKS, FOUNDATION, FIREPLACE ENCLOSURES, AND GARAGE AREAS NOT INCLUDED IN LIVING AREA. ALL EXHAUST FANS TO BE VENTED DIRECTLY OUTSIDE THE HOME. ALL PENETRATIONS OF THE BUILDING ENVELOPE SHALL BE SEALED WITH CAULK OR FOAM.

STRUCTURAL ENGINEER (IF REQUIRED):
DESIGNER:
BUILDER:

HOMEOWNER & CONTRACTOR: TO VERIFY ALL DIMENSIONS, STRUCTURAL DETAILS, AND BUILDING CODES, AND GRADE REQUIREMENTS.

ALL RENDERINGS ARE FOR INSPIRATION PURPOSES ONLY AND ARE NOT GUARANTEED TO LOOK LIKE THE FINAL DESIGN

To the best of my knowledge these plans are drawn to comply with owner's and / or builder's specifications and any changes made on them after prints are made will be done at the owner's and / or builder's expense and responsibility. The contractor shall verify all dimensions and enclosed drawing. J DYE DESIGNS, LLC. is not liable for errors once construction has begun. While every effort has been made in the preparation of this plan to avoid mistakes, the maker can not guarantee against human error. The contractor of the job must check all dimensions and other details prior to construction and be solely responsible thereafter.

Label/Title	Description	Comments	Layout Page Table
1	COVER		
2	PROPOSED FLOOR PLAN, DOOR & WINDOW SCH.		
3	PROPOSED FOUNDATION PLAN		
4	EXISTING FLOOR PLAN AND REAR ELEVATION		
5	PROPOSED ELEVATIONS		
6	PROPOSED ROOF PLAN		
7	GROUPED TYPICALS		

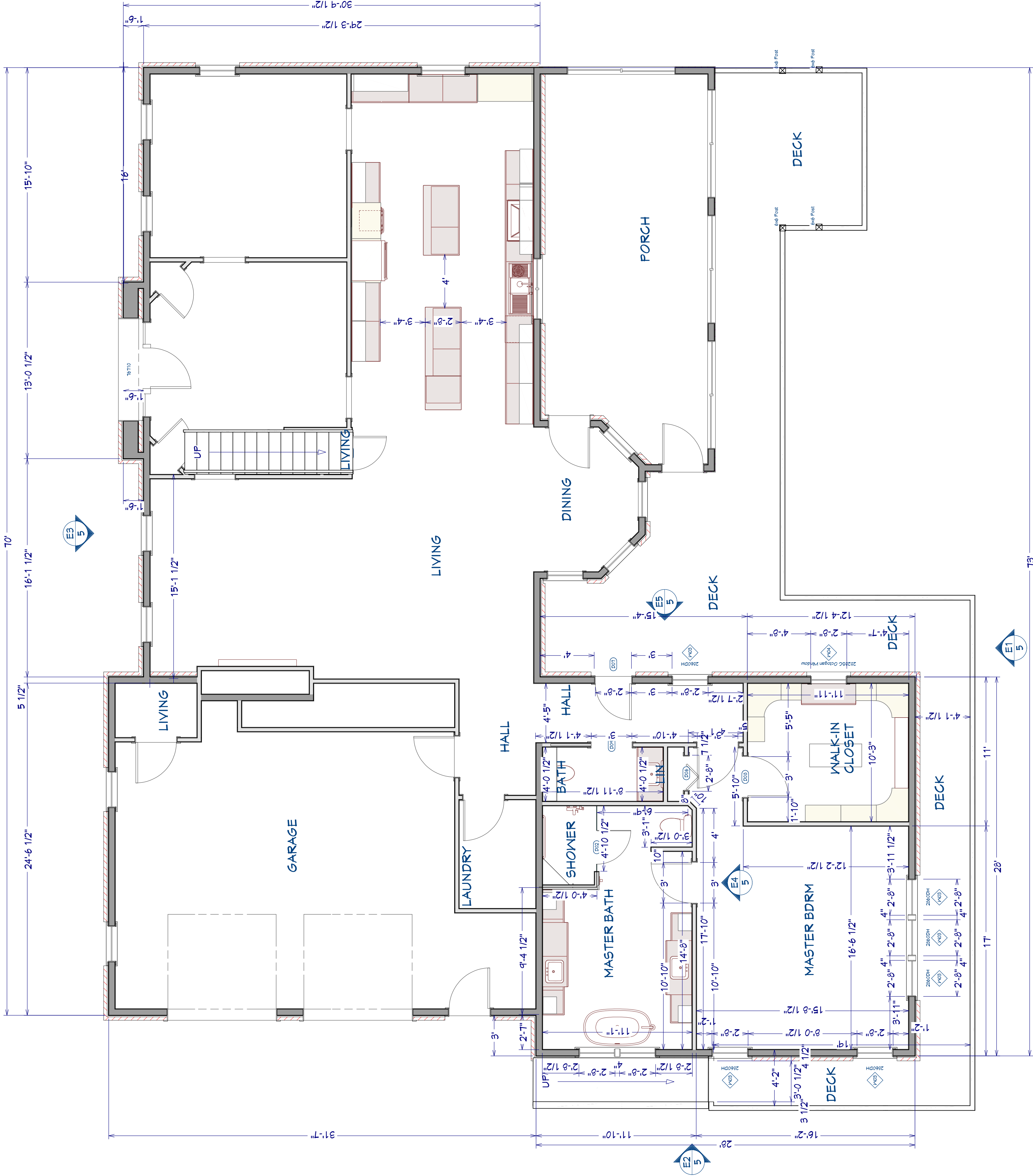


Jessica Dye
P.O. Box 1914, Abingdon, VA 24212
jdyledesigns@outlook.com
(276) 971-4082

PROPOSED FLOOR
PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

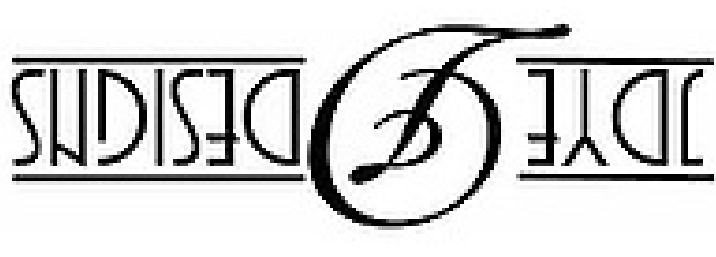
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SHEET: 2



3D VIEW NUMBER	LABEL	QTY	FLOOR SIZE	DOOR SCHEDULE		HEADER	CODE COMMENTS
				R/O	DESCRIPTION		
D02		1	2666 L	30"X60"	SHOWER-GLASS SLAB		
D03		1	2666 L IN	32"X62 1/2"	HINGED-DOOR F04	2"X6"X35" (2)	
D06		1	2660 R	32"X48 1/2"	2 DR. BIFOLD- 20 INTERIOR	2"X6"X35" (2)	
D07		1	2890 L EX	34"X44"	EXT. HINGED- 444 SASH	2"X6"X31" (2)	
D08		1	3066 R IN	36"X62 1/2"	HINGED-DOOR F04	2"X6"X41" (2)	
D09		1	3060 L	T3 1/4"X48 1/2"	POCKET-DOOR F04	2"X6"X16 1/4" (2)	

3D VIEW NUMBER	LABEL	QTY	FLOOR SIZE	WINDOW SCHEDULE		HEADER	CODE COMMENTS
				R/O	DESCRIPTION		
W02		2	2850DH	33"X61"	DOUBLE HUNG	2"X6"X36" (2)	
W03		6	2860DH	33"X13"	DOUBLE HUNG	2"X6"X36" (2)	
W04		1	28295C OCTOGON WINDOW	33"X33"	SINGLE CASEMENT-HL-AT	2"X6"X36" (2)	

PROPOSED FLOOR PLAN
SCALE: 1/4" - 1'

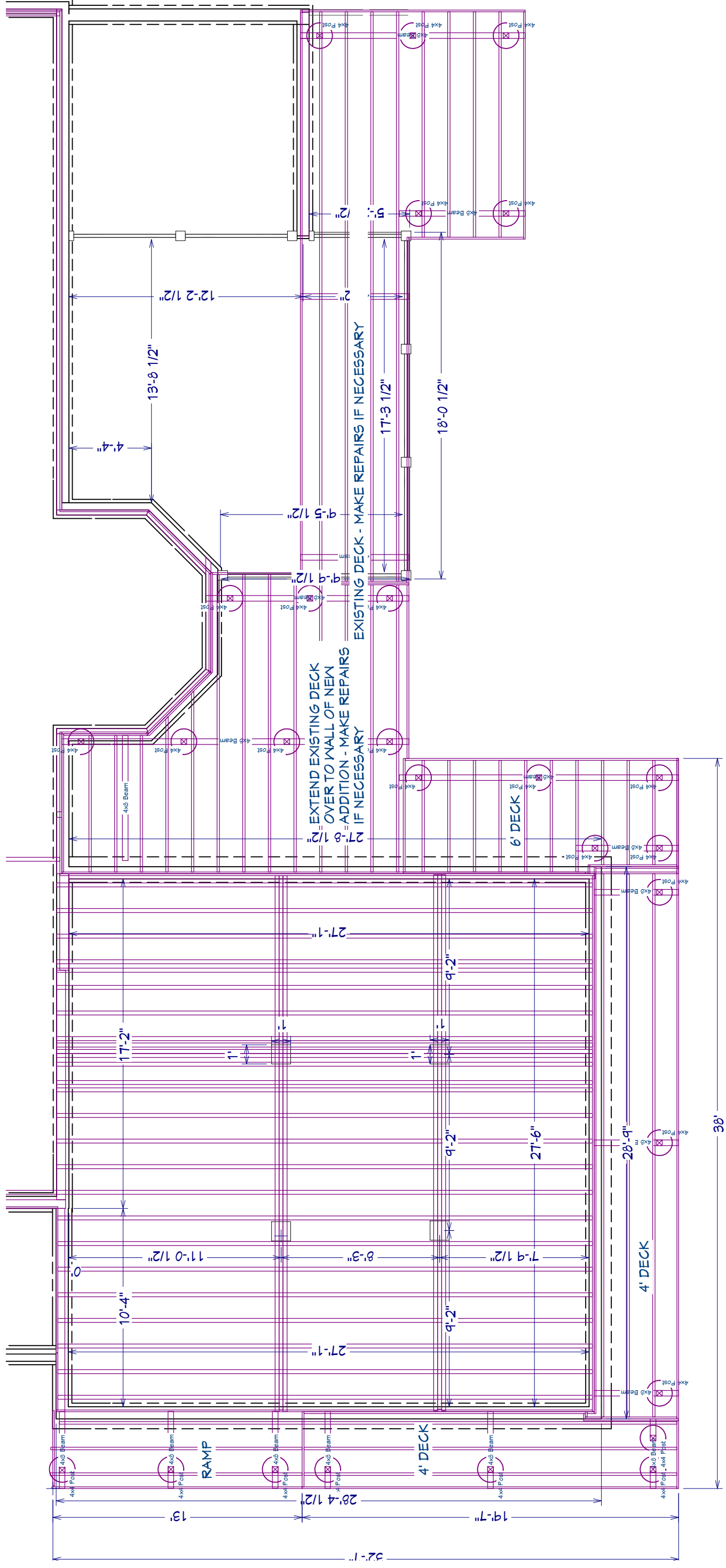
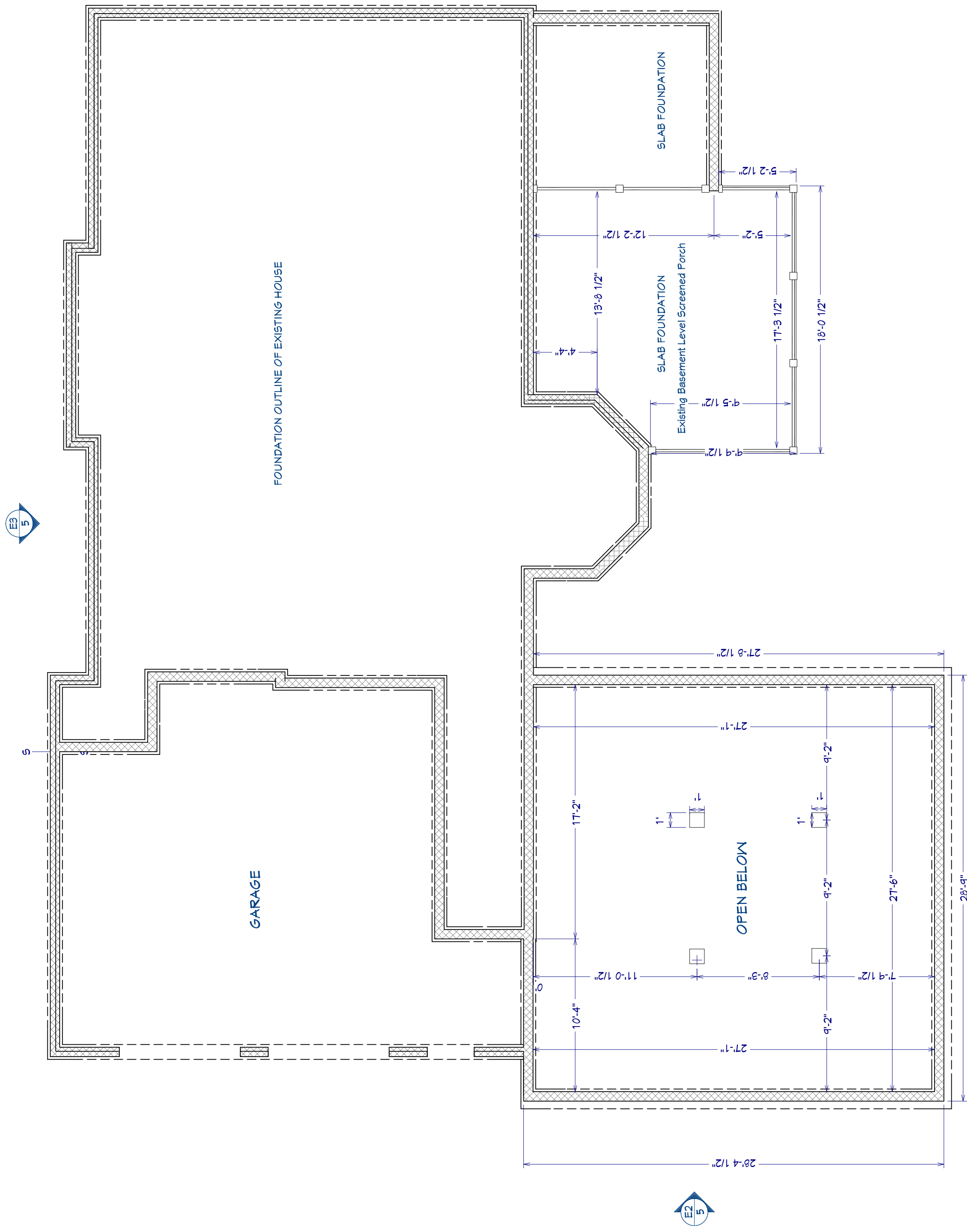


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(276) 971-4082
jdgedesigns@outlook.com

FLOOR FRAMING PLAN AND FOUNDATION PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

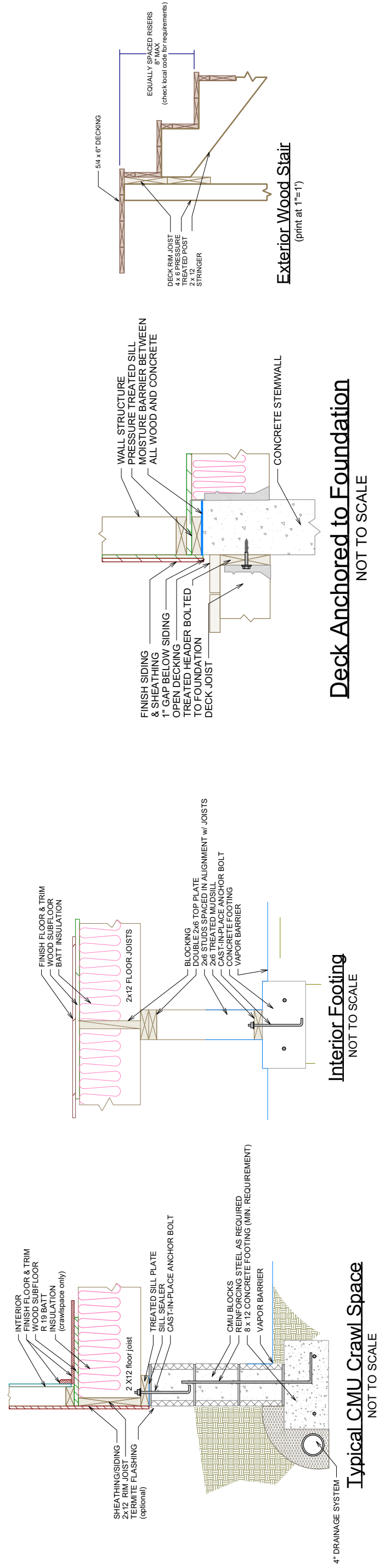
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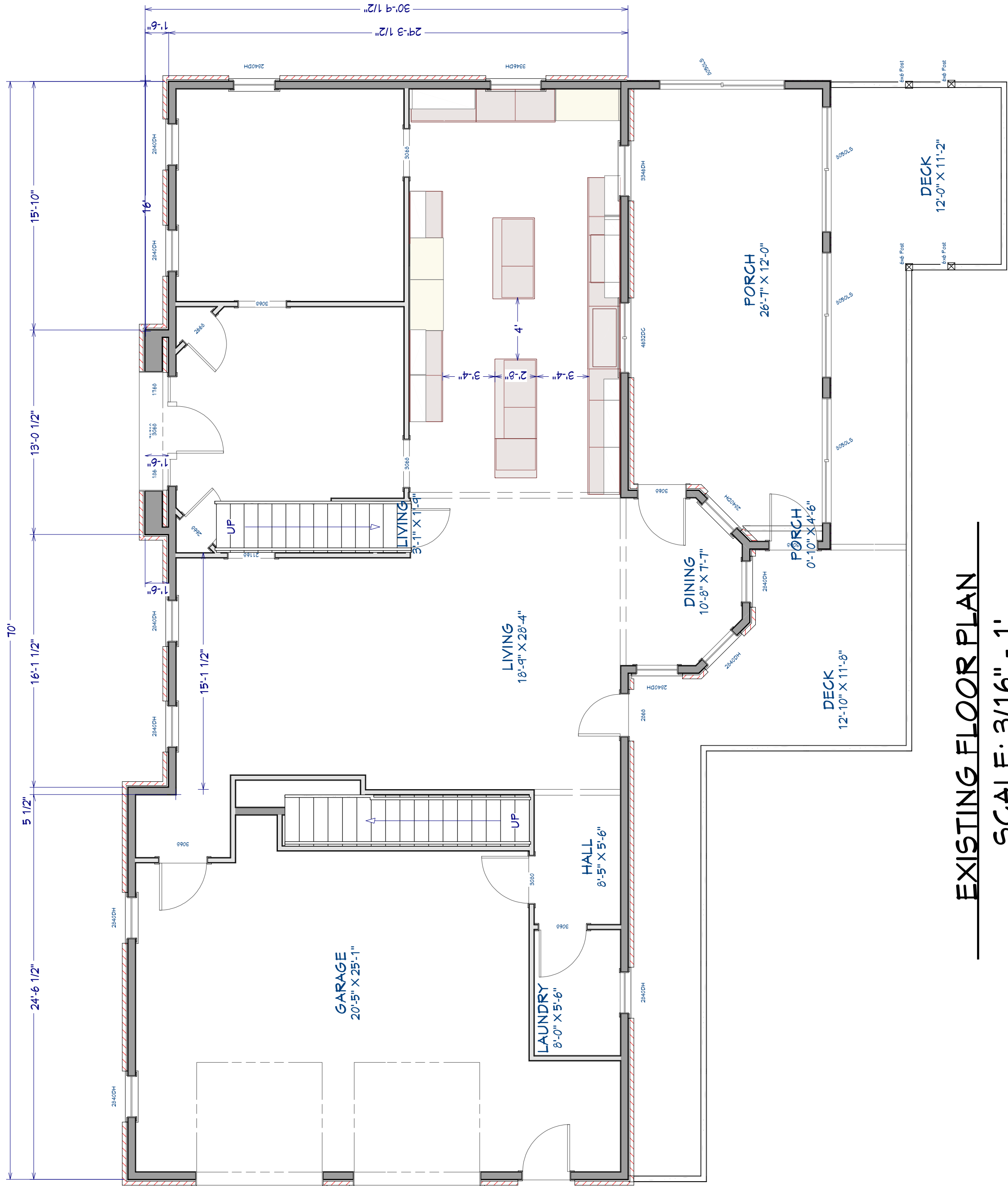


PROPOSED FOUNDATION PLAN

$$3/16" = 1'$$

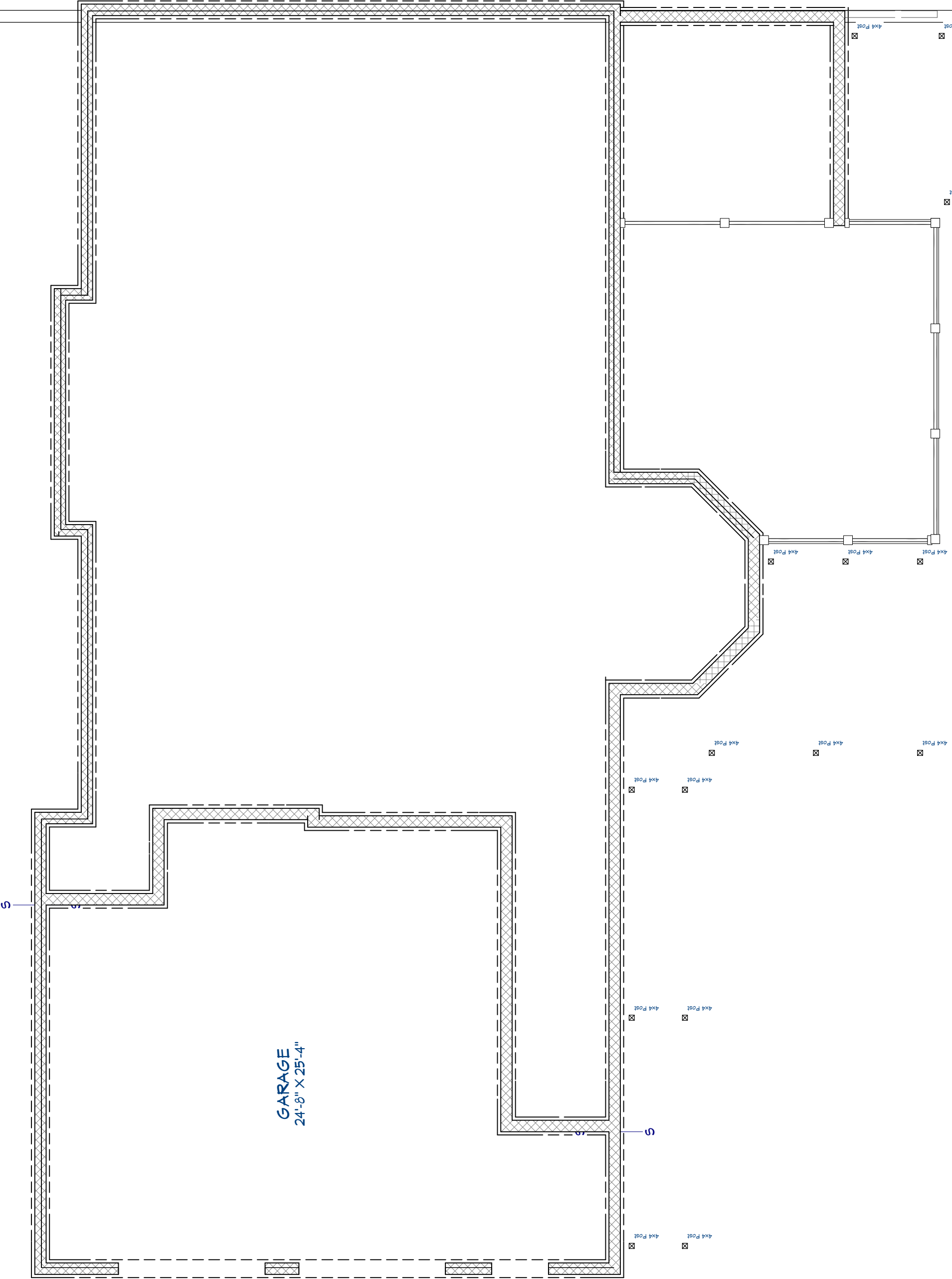
PROPOSED FLOOR FRAMING PLAN

$$3/16" = 1'$$




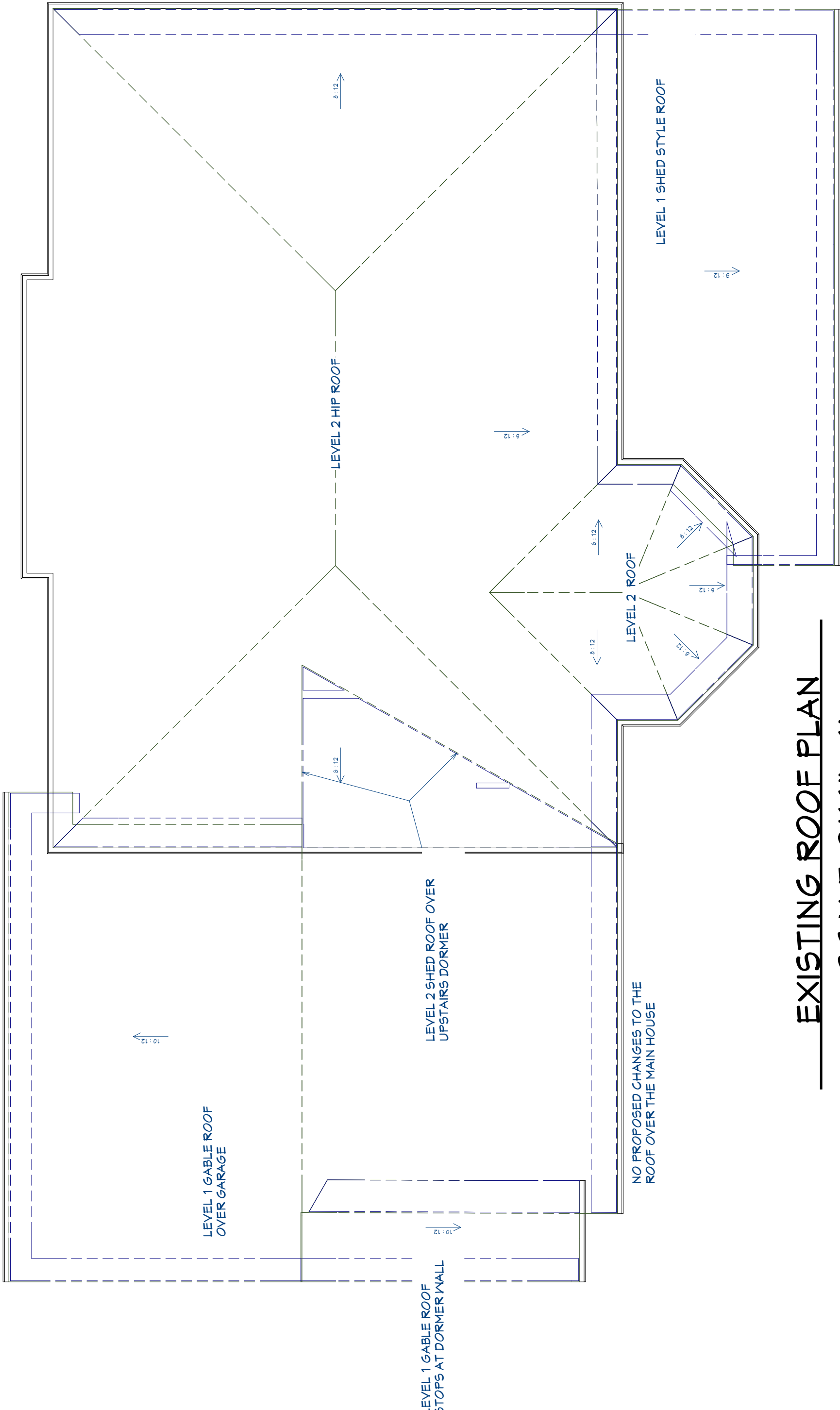
EXISTING FLOOR PLAN

SCALE: 3/16" - 1'



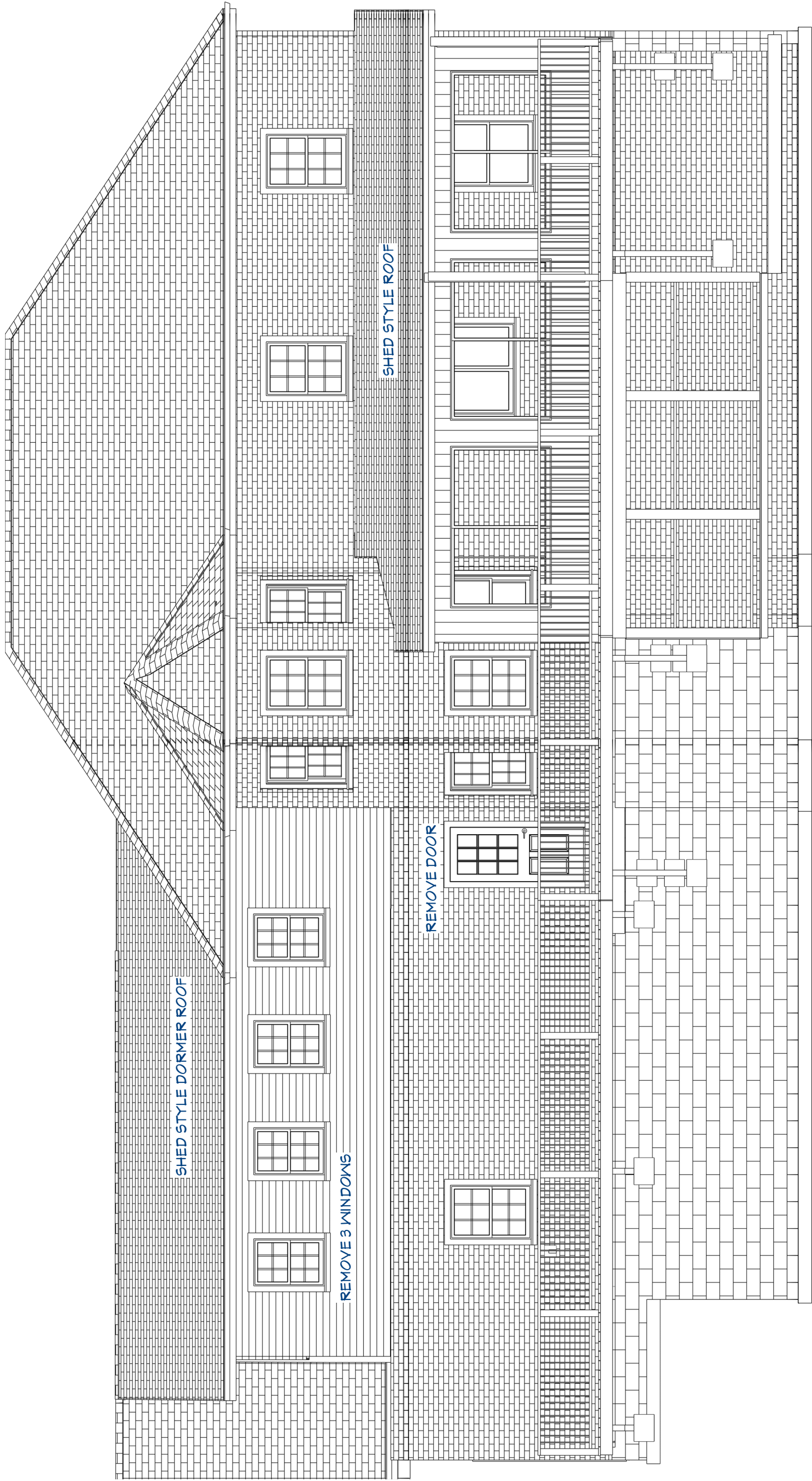
EXISTING FOUNDATION

SCALE: 3/16" - 1'



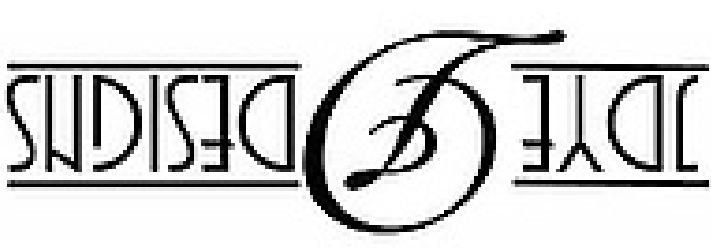
EXISTING ROOF PLAN

SCALE: 3/16" - 1'



EXISTING REAR ELEVATION

SCALE: 3/16" - 1'

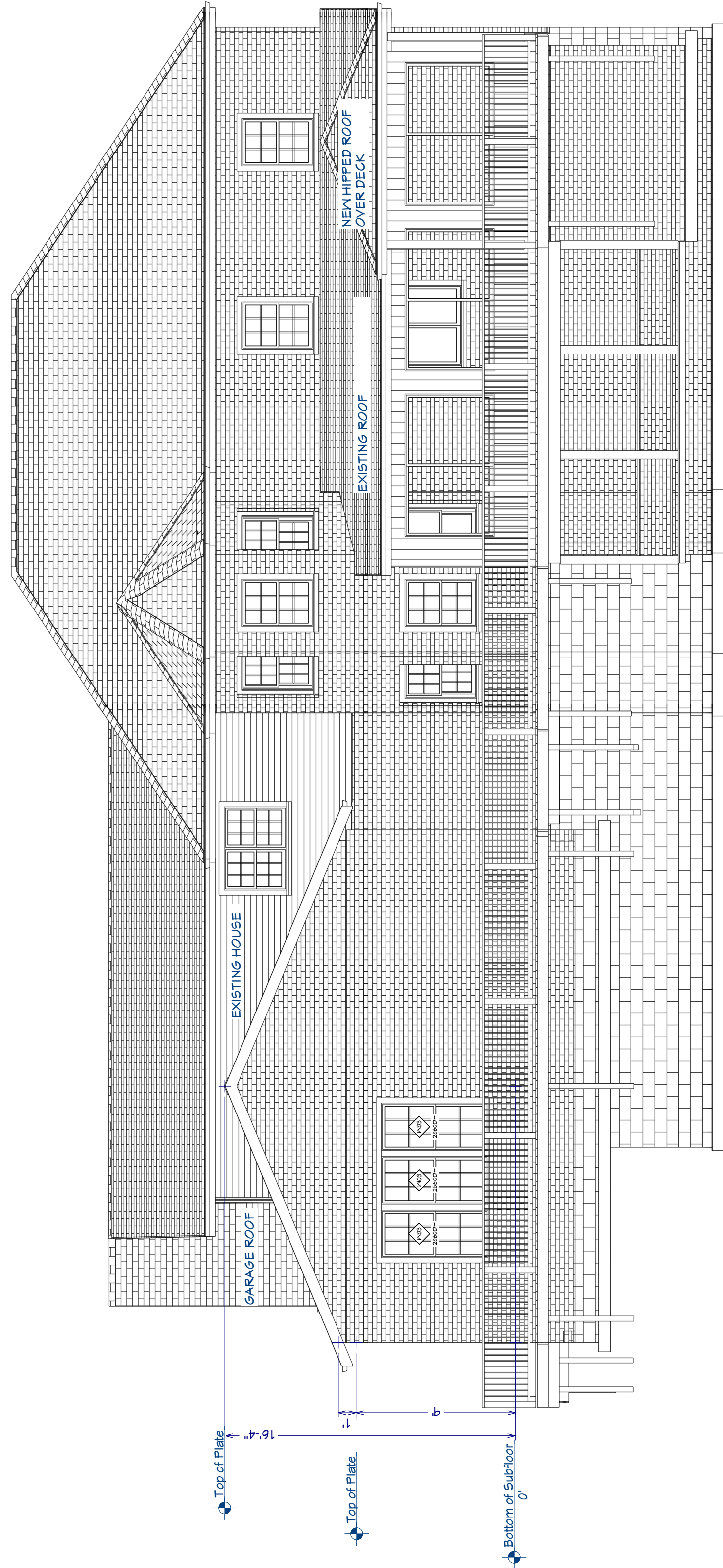


Jessica Dye
P.O. Box 1974, Abingdon, VA 24212
jdyledesigns@outlook.com
(276) 971-4082

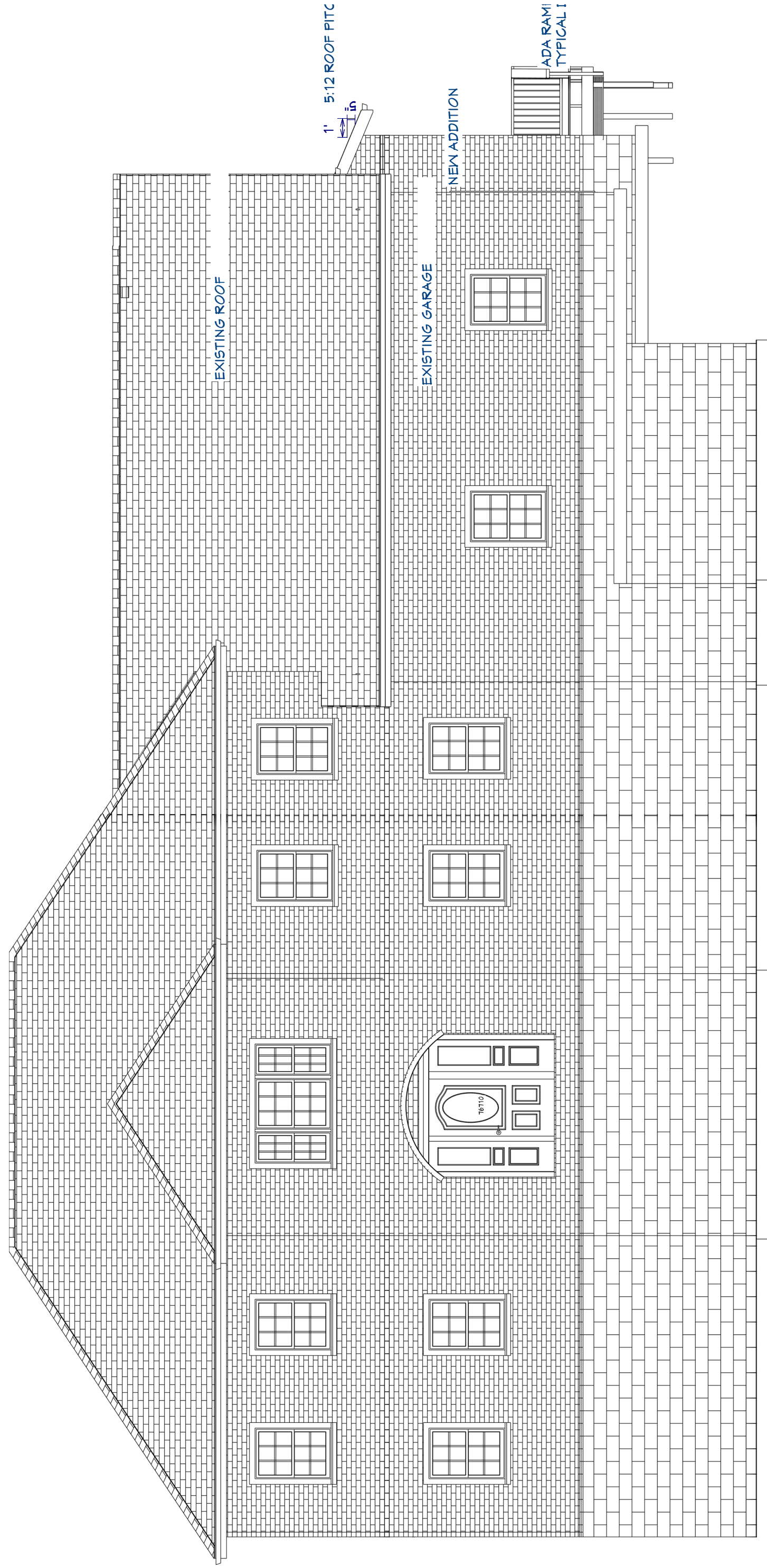
EXISTING FLOOR
PLAN AND REAR
ELEVATION

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

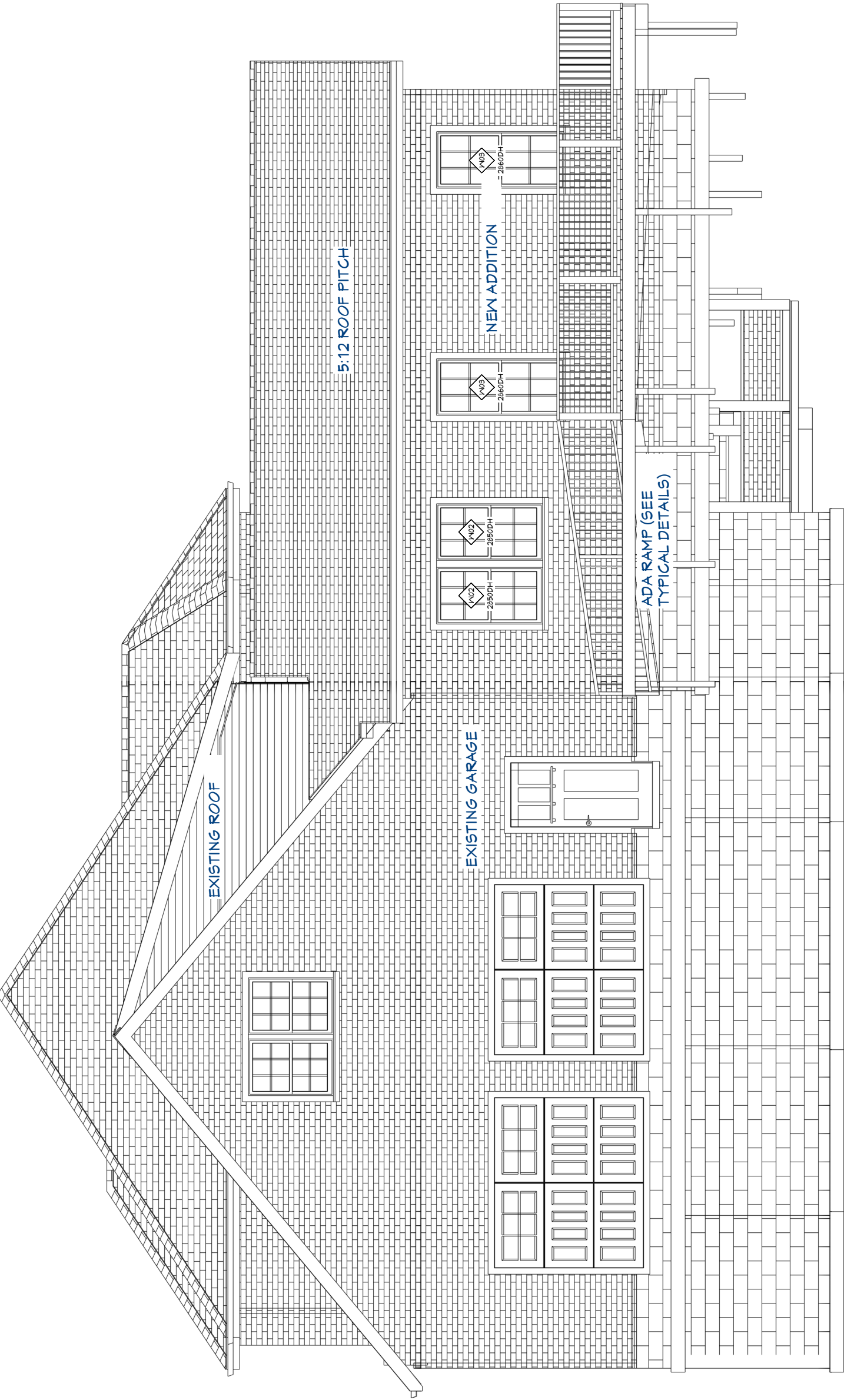
DATE:	03/27/2025
SCALE:	3/16" = 1'
SHEET:	4



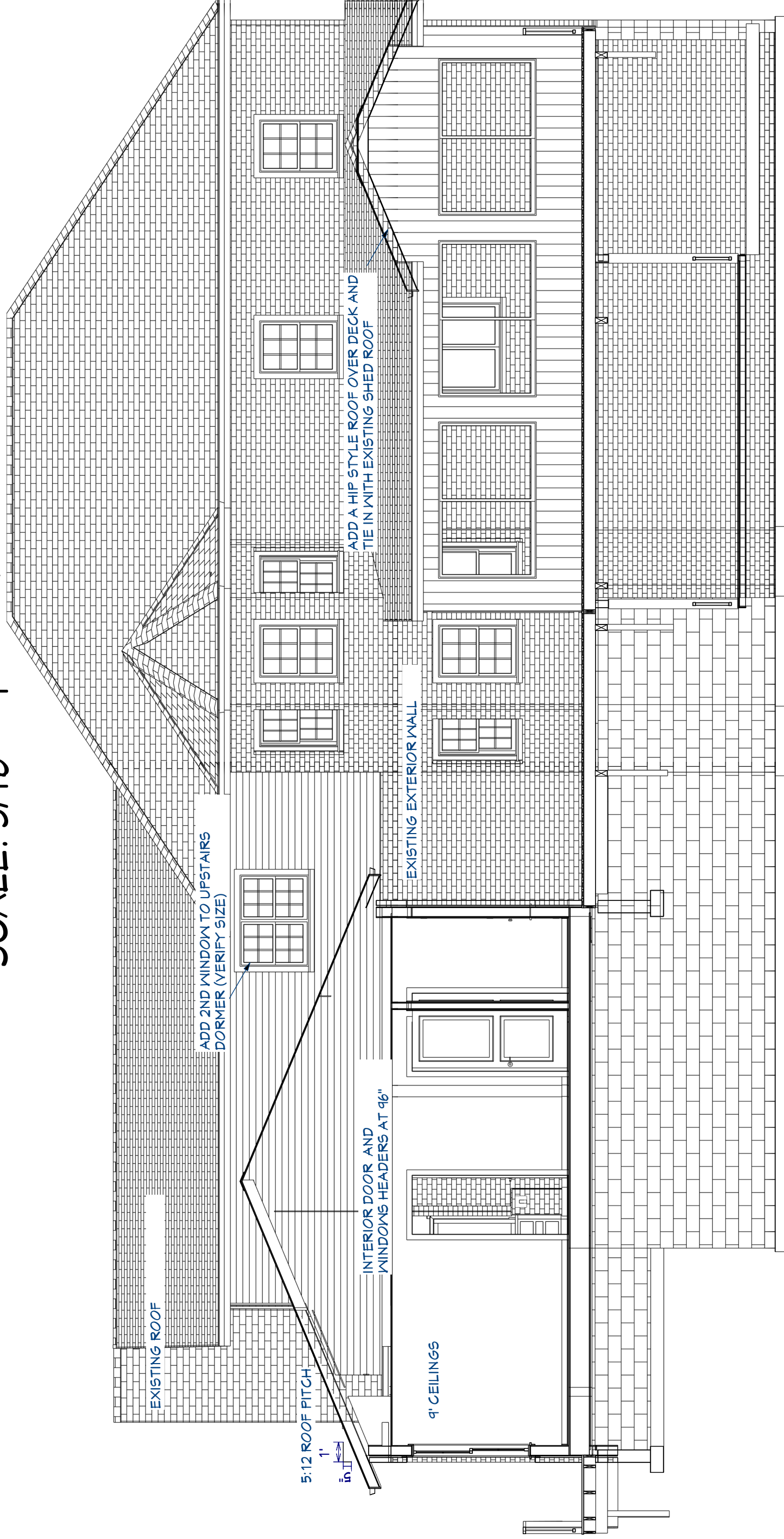
REAR ELEVATION
SCALE: 3/16" = 1'



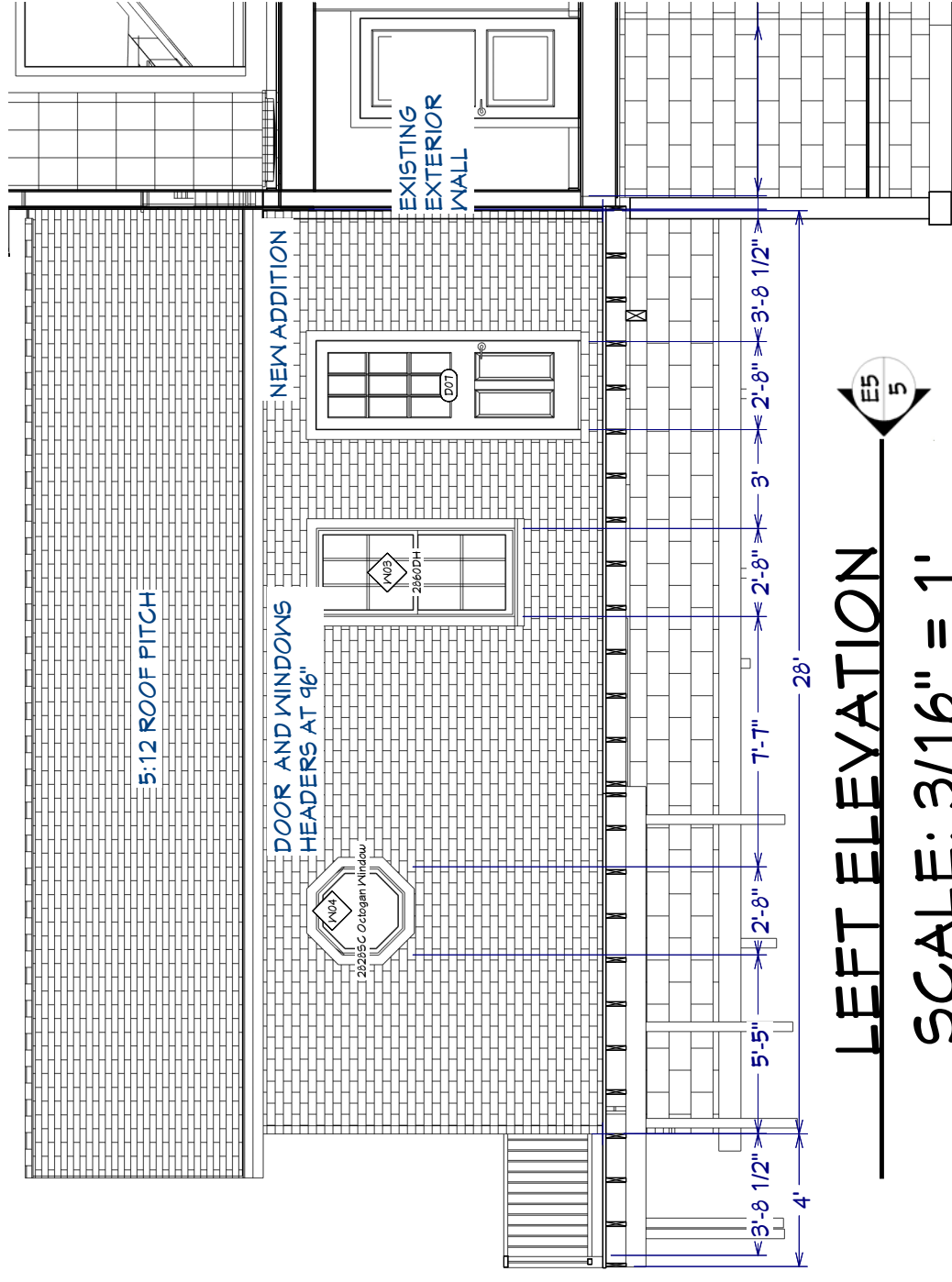
FRONT ELEVATION
SCALE: 3/16" = 1'



RIGHT ELEVATION
SCALE: 3/16" = 1'



CROSS-SECTION ELEVATION: ADDITION
SCALE: 3/16" = 1'



LEFT ELEVATION
SCALE: 3/16" = 1'



Jessica Dye
P.O. Box 1914, Abingdon, VA 24212
(276) 971-4082
jdyedesigns@outlook.com

ELEVATIONS

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

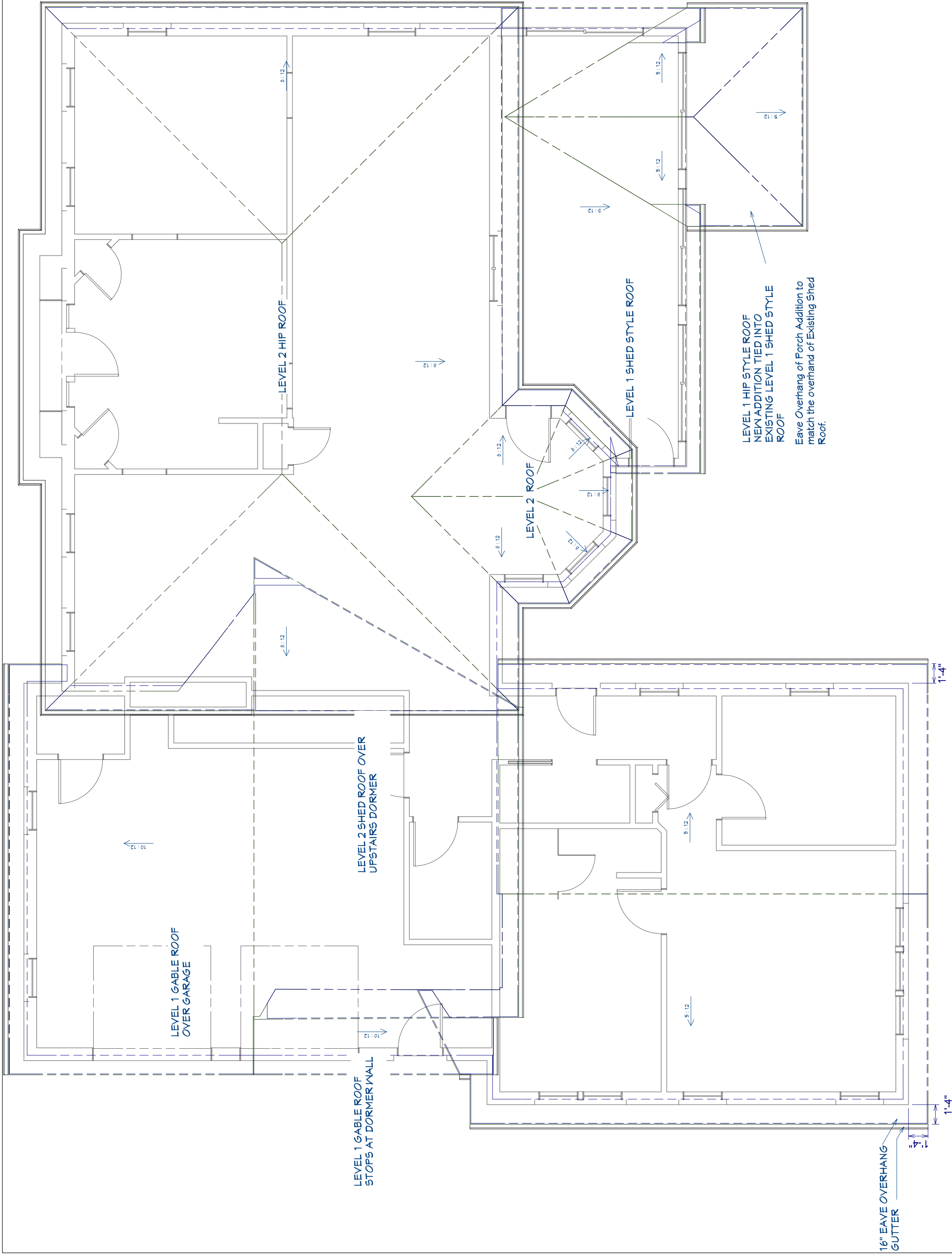
03/27/2025

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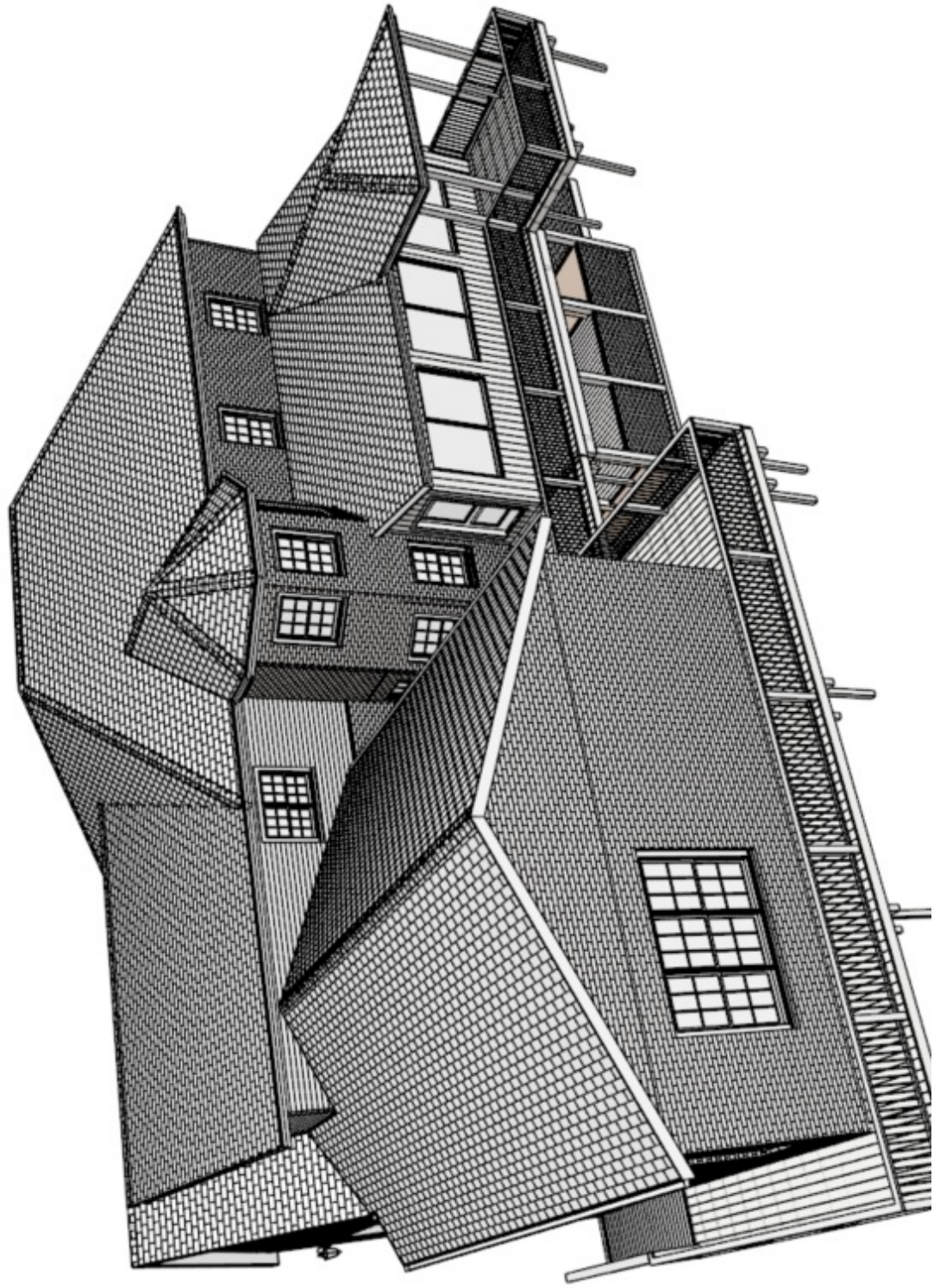
3/16" = 1'

SHEET:

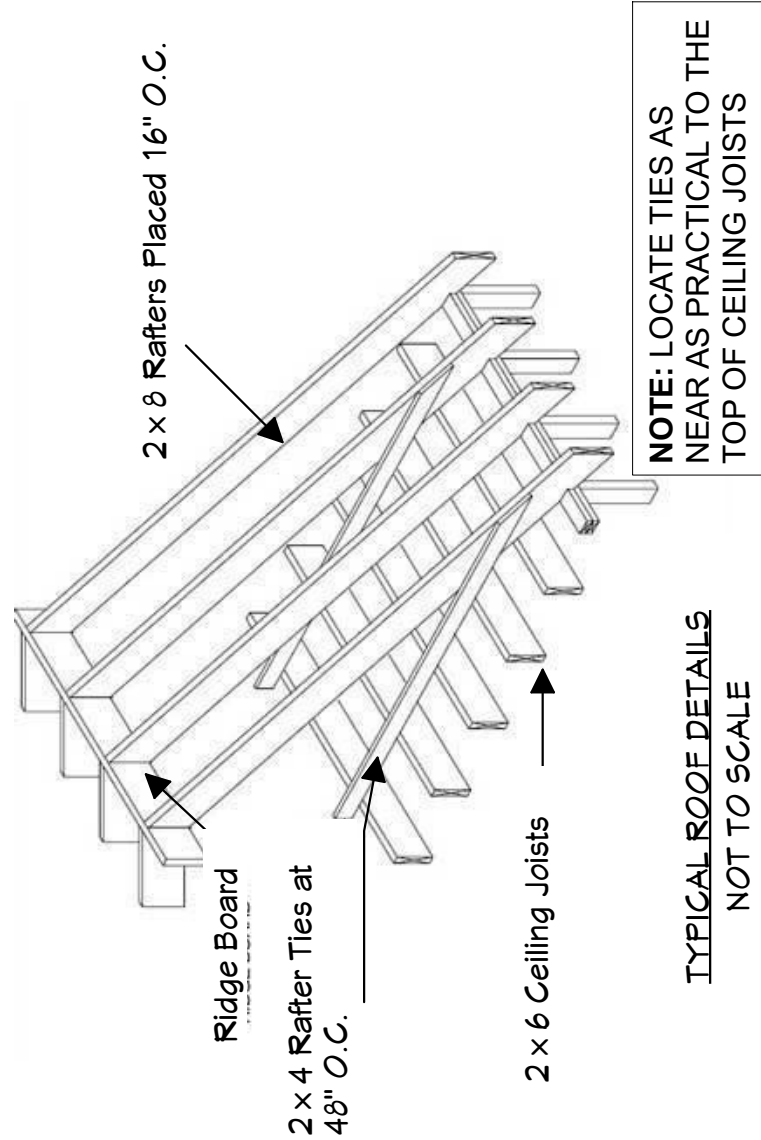
5



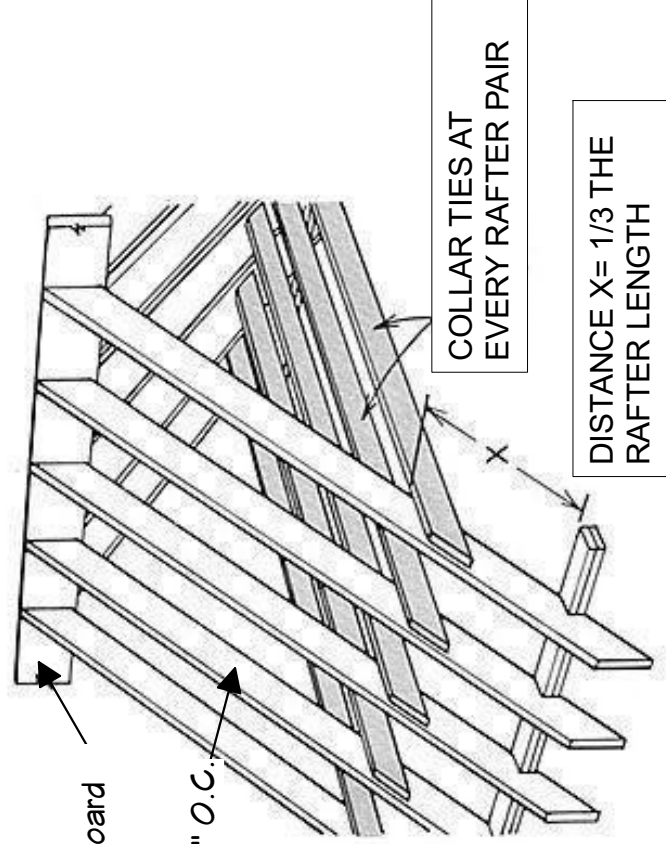
PROPOSED ROOF PLAN
SCALE: 3/16" = 1'



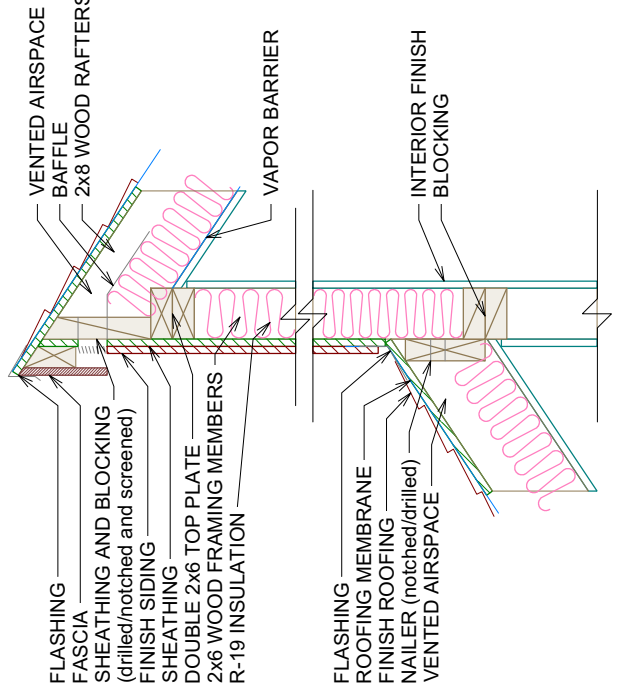
3D ROOF PLAN
NOT TO SCALE



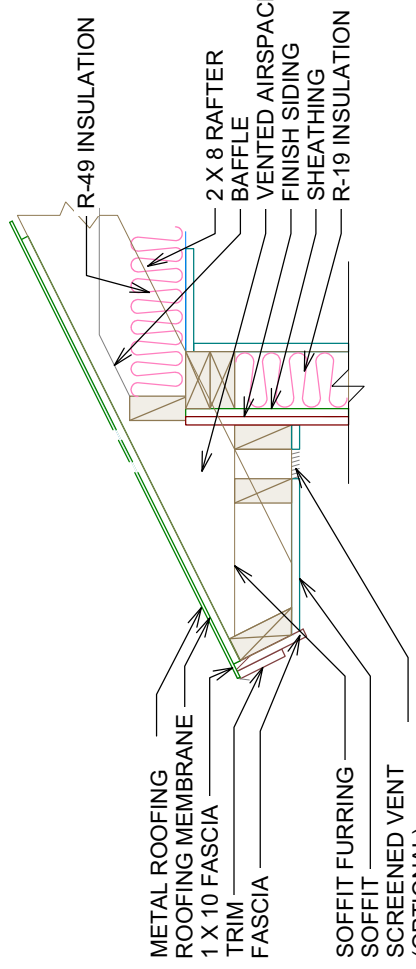
TYPICAL ROOF DETAILS
NOT TO SCALE



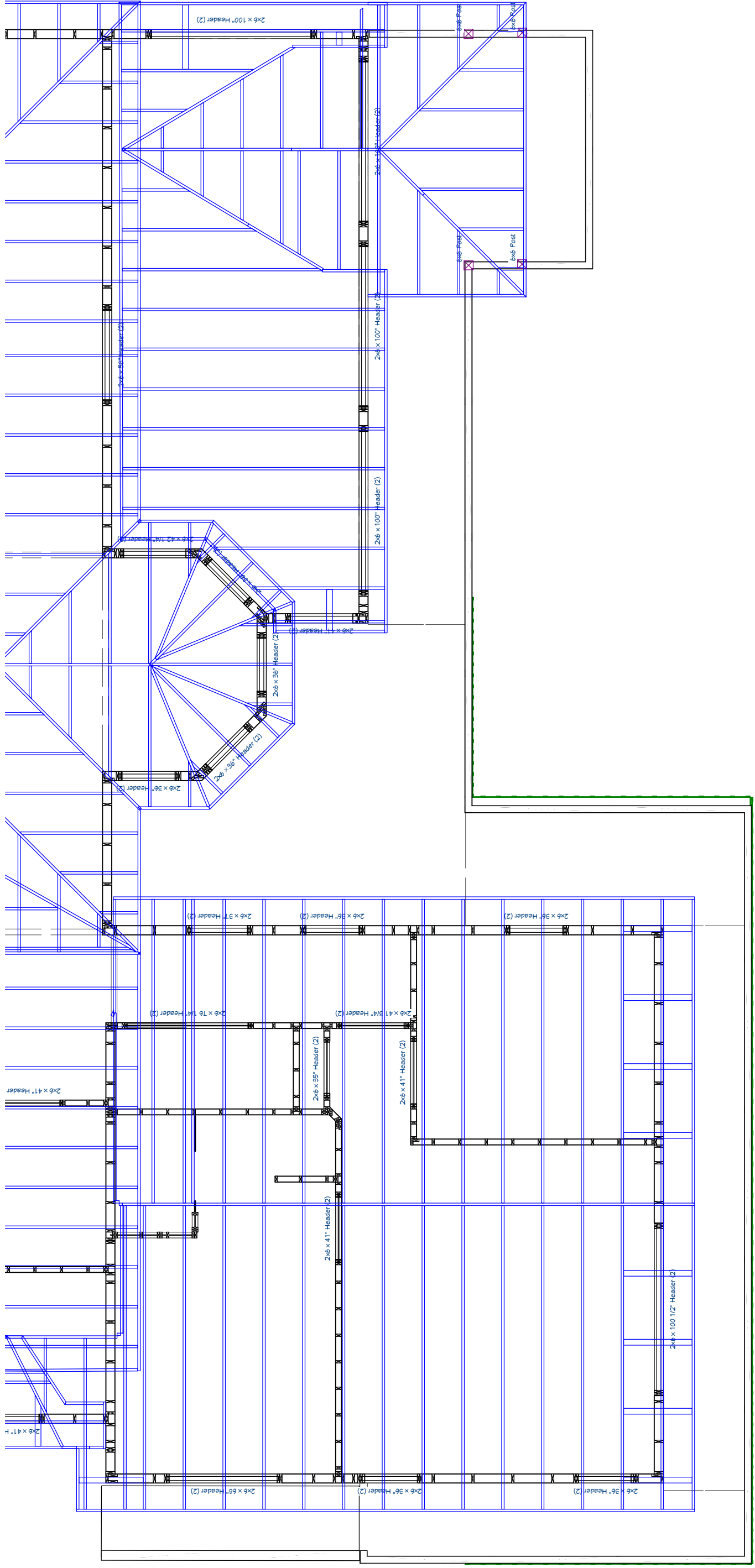
TYPICAL VAULTED ROOF DETAILS
NOT TO SCALE



TYPICAL SHED ROOF PEAK AND WALL DETAIL
NOT TO SCALE



TYPICAL VENTED SOFFIT
NOT TO SCALE



PROPOSED ROOF FRAMING PLAN
SCALE: 3/16" = 1'

ROOF FRAMING / TRUSS NOTES: (IF TRUSSES ARE USED IN THE PROJECT)

- TRUSS DRAWING IS FOR ILLUSTRATION ONLY. ALL TRUSSES SHALL BE INSTALLED & BRACED TO MANUFACTURERS DRAWINGS & SPECIFICATIONS.
- ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.
- ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.
- ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.
- ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.
- ALL ROOF FRAMING 24" O.C.
- ALL OVERHANGS 16".
- ROOF & FLOOR TRUSS MANUFACTURER: _____



JDYF & DESIGNS

Jessica Dye
P.O. Box 19174, Abingdon, VA 24212
jdyledesigns@outlook.com

ROOF PLAN AND
CEILING PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

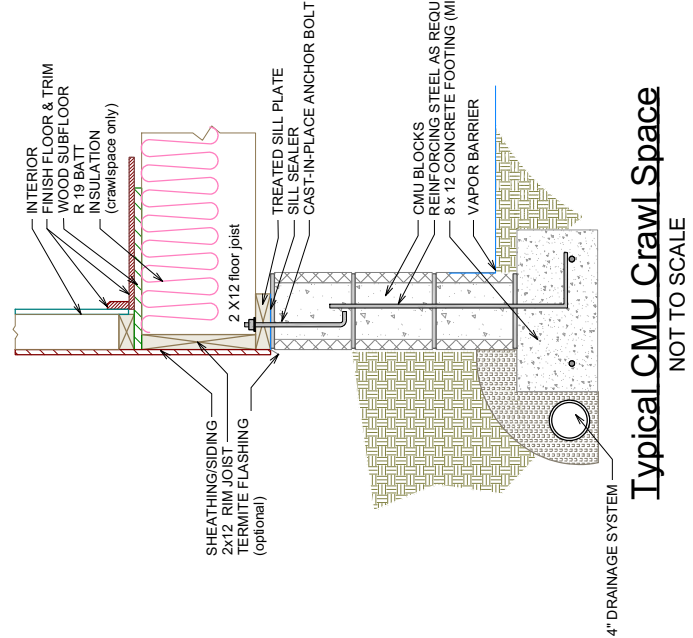
03/27/2025

SCALE:

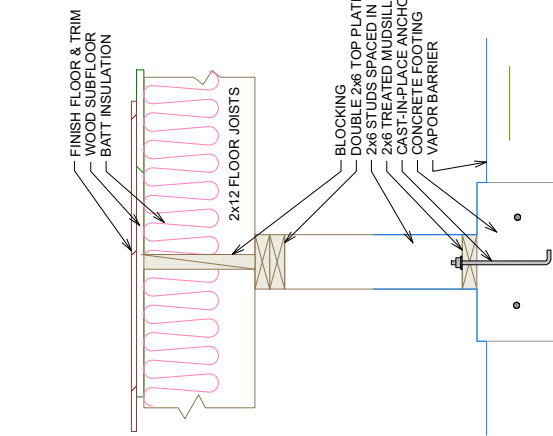
3/16" = 1'

SHEET:

6



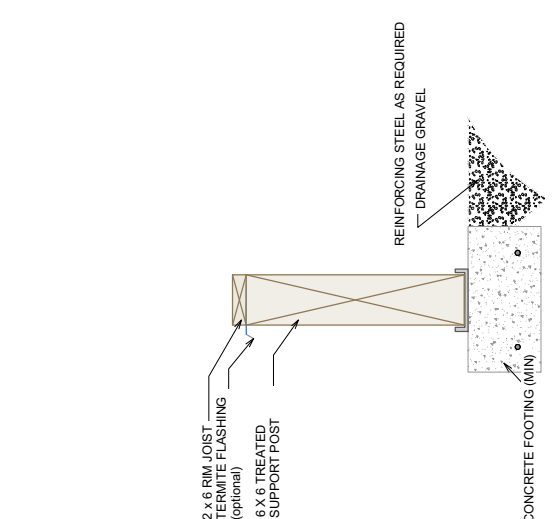
Typical CMU Crawl Space



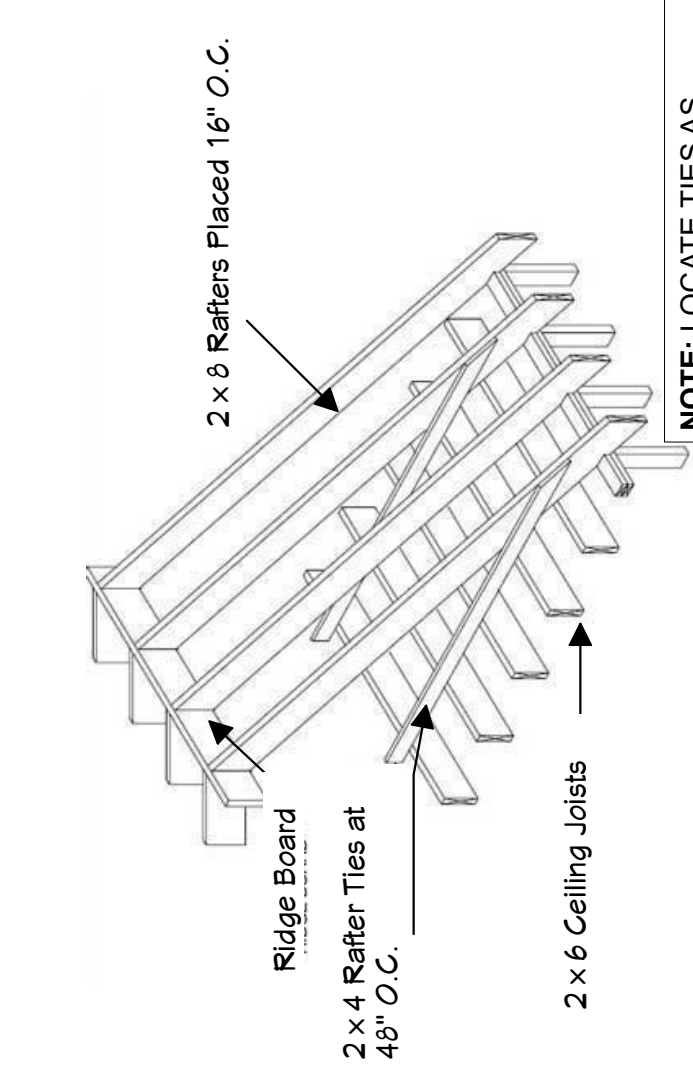
Interior Footing



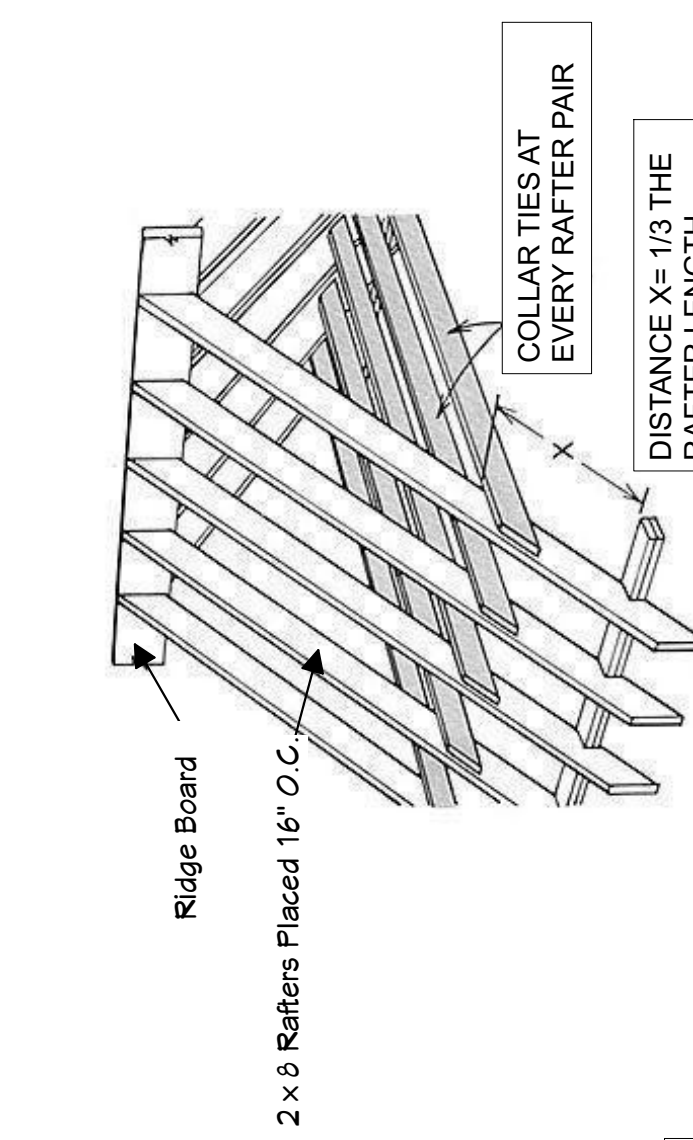
Footing and Support Post Details



Typical Roof Details



Typical Roof Details



Typical Vaulted Roof Details

GENERAL NOTES AND SPECIFICATIONS

THE GENERAL CONTRACTOR SHALL FULLY COMPLY WITH THE 2018 IBC AND ALL ADDITIONAL STATE AND LOCAL CODE REQUIREMENTS.

WRITTEN DIMENSIONS ON THESE DRAWINGS SHALL HAVE PRECEDENCE OVER SCALED DIMENSIONS. THE GENERAL CONTRACTOR SHALL VERIFY AND IS RESPONSIBLE FOR ALL DIMENSIONS (INCLUDING ROUGH OPENINGS) AND CONDITIONS ON THE JOB AND MUST NOTIFY THIS OFFICE OF ANY VARIATIONS FROM THESE DRAWINGS.

THIS OFFICE SHALL NOT BE RESPONSIBLE FOR CONSTRUCTION MEANS AND METHODS, ACTS OR OMISSIONS OF THE CONTRACTOR OR ANY SUBCONTRACTORS, OR FAILURE OF ANY OF THEM TO CARRY OUT WORK IN ACCORDANCE WITH THE CONSTRUCTION DOCUMENTS.

THIS STRUCTURE SHALL BE ADEQUATELY BRACED FOR WIND LOADS UNTIL THE ROOF, FLOOR AND WALLS HAVE BEEN PERMANENTLY FRAMED TOGETHER AND SHEATHED.

INSTALL WATERPROOF GYPSUM BOARD AT ALL WATER SPLASH AREAS TO MINIMUM 70" ABOVE SHOWER DRAINS.

EXHAUST ALL VENTS AND FANS DIRECTLY TO OUTSIDE VIA METAL DUCTS. PROVIDE 90 CFM (MIN) FANS TO PROVIDE 5 AIR CHANGES PER HOUR IN BATHS CONTAINING TUB AND / OR SHOWER AND IN LAUNDRY ROOMS.

ALL RECESSED LIGHTS IN INSULATED CEILINGS TO HAVE THE I.C. LABEL.

PROVIDE SOLID BLOCKING UNDER ALL BEARING WALLS PERPENDICULAR TO JOISTS AND OTHER BEARING POINTS NOT OTHERWISE PROVIDED WITH SUPPORT.

TYPICAL FOUNDATION NOTES:

SLOPE CRAWL SPACE TO DRAIN. MAXIMUM SLOPE IS 2 HORIZ. , 1 VERT. BETWEEN FOOTINGS AT DIFFERENT ELEVATIONS. ALL FOOTINGS TO REST ON CLEAN, FIRM UNDISTURBED SOIL. STEP FOOTINGS A REQUIRED TO MAINTAIN REQUIRED DEPTH BELOW FINISH GRADES.

CONCRETE STRENGTH,
3,000 PSI AT 28 DAYS FOR ALL SLABS. (FOUNDATION DESIGN BASED ON 2,500 PSI).
3,000 PSI AT 28 DAYS FOR ALL OTHER CONDITION.
MAXIMUM SLUMP, 4"

USE ASTM A-615 GRADE 60 DEFORMED REINFORCING BARS UNLESS NOTED OTHERWISE

CONCRETE EXPANSION ANCHORS SHALL BE 'SIMPSON WEDGE-ALL STUD ANCHORS' OR ENGINEER APPROVED EQUAL. EPOXY TO BE SIMPSON "SET" ADHESIVE OR APPROVED EQUAL.

INFILTRATION, ALL OPENINGS IN THE EXT. BLDG. ENVELOPE SHALL BE SEALED AGAINST AIR INFILTRATION. THE FOLLOWING AREAS MUST BE SEALED.

- * JOINTS AROUND WINDOW AND DOOR FRAMES
- * JOINTS BETWEEN WALL CAVITY AND WINDOW/DR. FME.
- * JOINTS BETWEEN WALL AND FOUNDATION
- * JOINTS BETWEEN WALL AND ROOF
- * UTILITY PENETRATIONS THROUGH EXTERIOR WALLS

THE FOUNDATION NOTES ARE SUBJECT TO CHANGE BASED ON STATE AND LOCAL BUILDING CODES.

FRAMING NOTES:

PROVIDE POSITIVE VENTILATION AT EACH END OF EACH RAFTER SPACE AT VAULTED CEILING AREAS.

PROVIDE FIRE BLOCKING, DRAFT STOPS AND FIRE STOPS AS PER I.B.C. SEC. R502.12. (IF CODE REQUIRES).

PROVIDE POSITIVE CONNECTIONS AT EACH END OF ALL POSTS AND COLUMNS TO RESIST LATERAL DISPLACEMENT.

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ALL TRUSSES SHALL CARRY MANUFACTURERS STAMP.

ALL TRUSSES WILL NOT BE FIELD ALTERED WITHOUT PRIOR BUILDING DEPT. APPROVAL OF ENGINEERING CALCULATIONS.

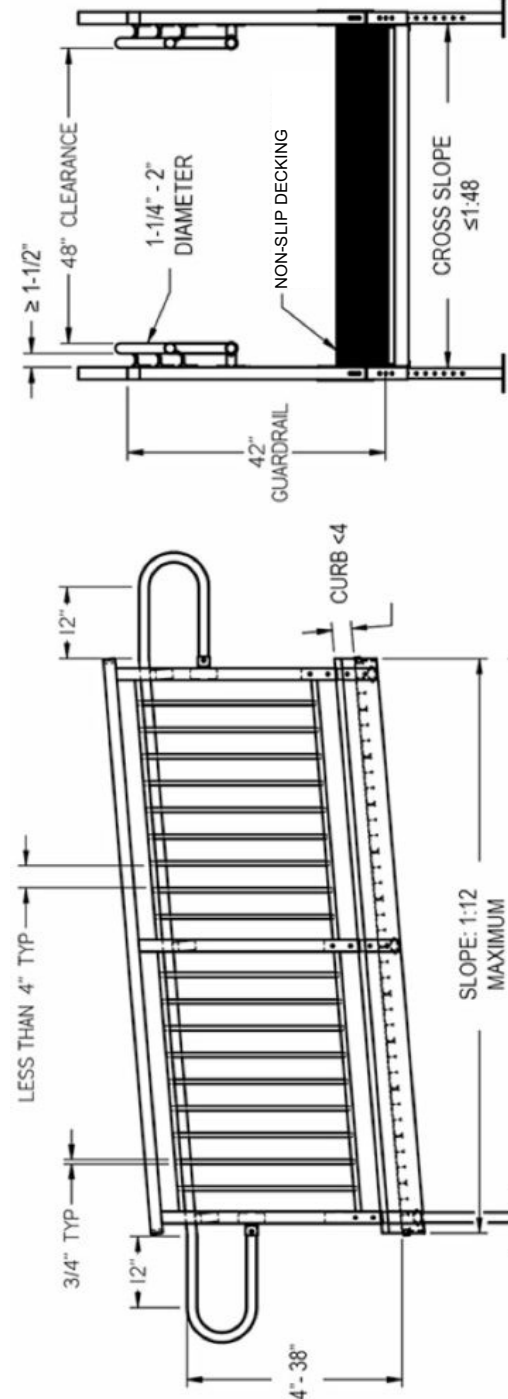
ALL TRUSSES SHALL HAVE DESIGN DETAILS & DRAWINGS ON SITE FOR FRAMING INSPECTION.

ALL CONNECTIONS OF RAFTERS, JACK OR HIP TRUSSES TO MAIN GIRDER TO BE PROVIDED BY TRUSS MANUFACTURER.

ALL ROOF FRAMING 24" O.C.

ALL OVERHANGS 16".

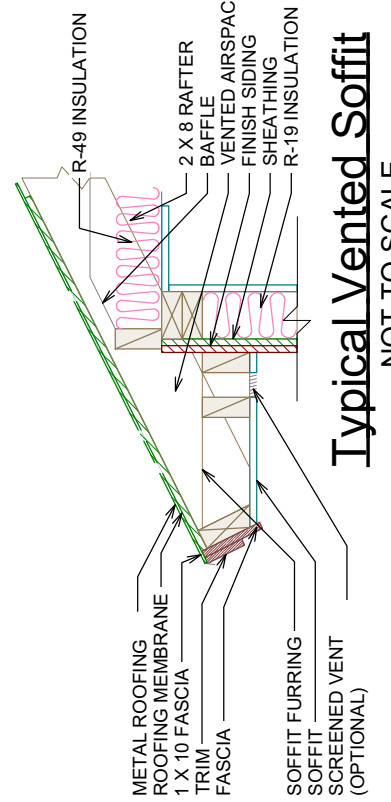
ROOF & FLOOR TRUSS MANUFACTURER:



TYPICAL ADA RAMP REQUIREMENTS

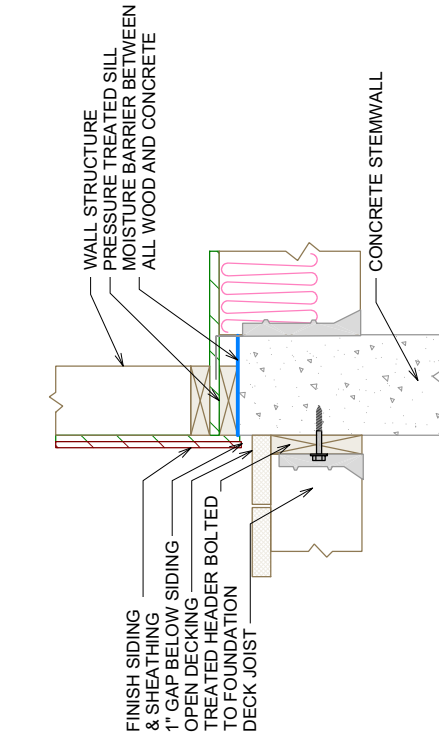
Typical Shed Roof Peak and Wall Intersection

NOT TO SCALE



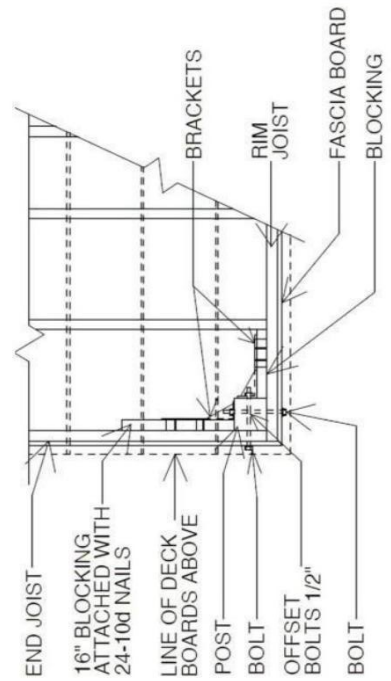
Typical Vented Soffit

NOT TO SCALE



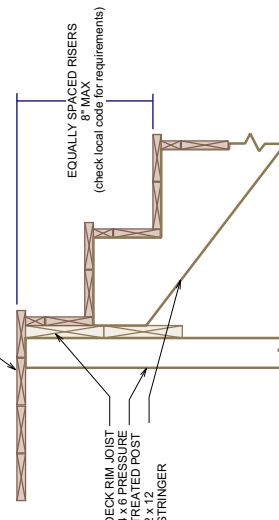
Deck Anchored to Foundation

NOT TO SCALE



TYPICAL FLOOR FRAMING SYSTEM

NOT TO SCALE



Connection of Rim Joists

NOT TO SCALE



Jessica Dye
P.O. Box 1914, Abingdon, VA 24212
(276) 471-4082
jdyfdesigns@outlook.com

GROUPED
TYPICALS

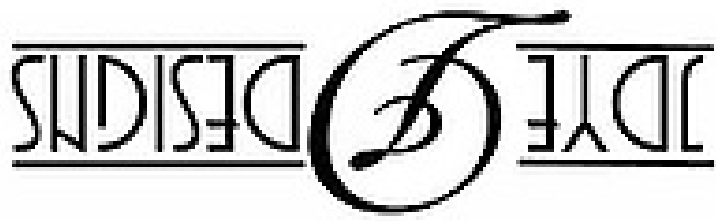
Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

03/27/2025

SHEET:

7



Jessica Dye
P.O. Box 1974, Abingdon, VA 24212
(276) 971-4082
jdyfdesigns@outlook.com

PROPOSED FLOOR
PLAN

Bryston Winegar
205 Canongate Rd
Kingsport, TN 37660

DATE:

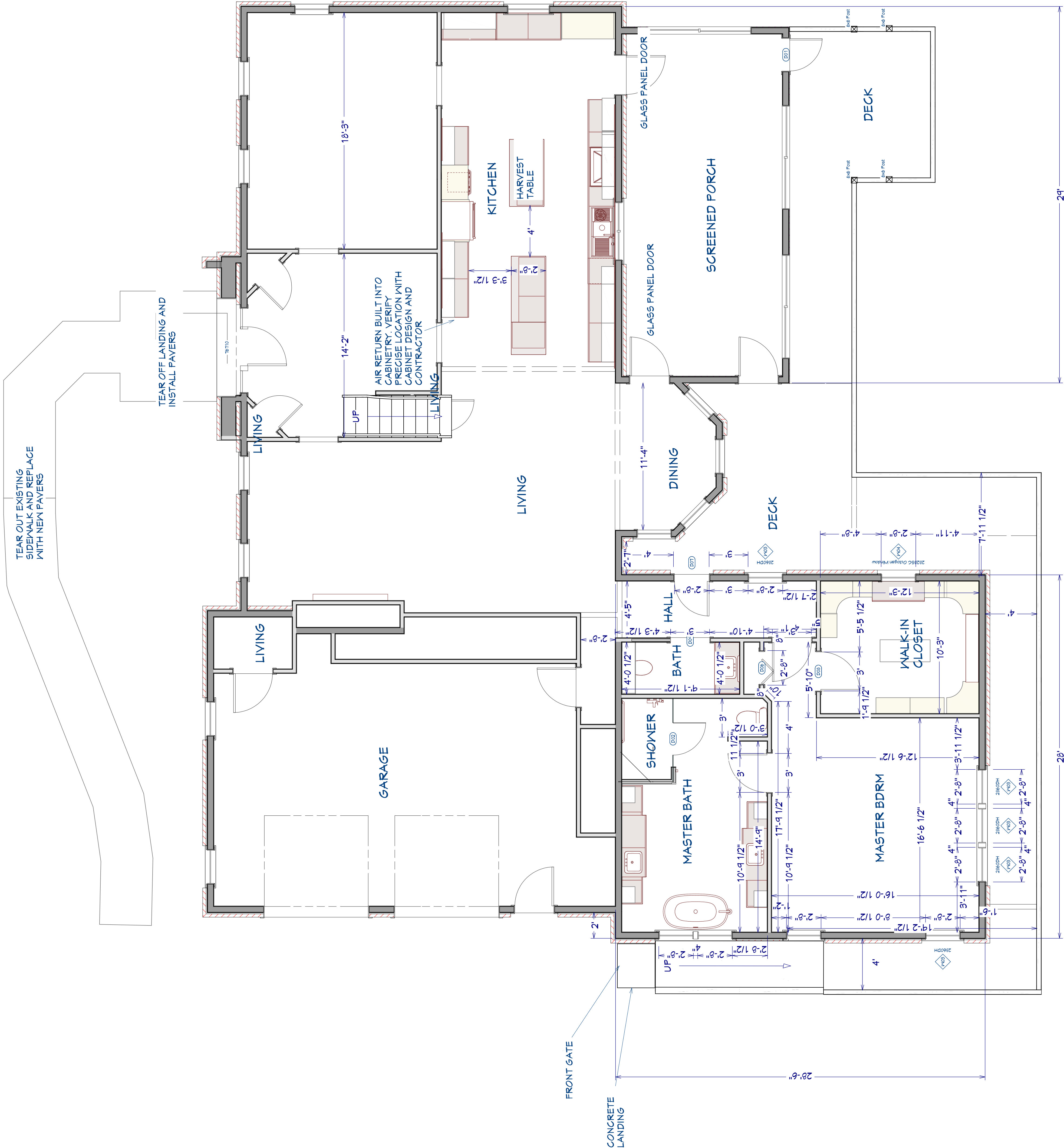
06/06/2025

SCALE:

1/4" = 1'

SHEET:

2



PROPOSED FLOOR PLAN

SCALE: 1/4" - 1'

Kingsport Historic Zoning Commission

Project Number: HISTRC25-0315

Item V2.

Photos provided by Egan Construction:



Site Visit Photos:

