



**City of King City Council Called Budget Workshop  
Meeting**

9:00 AM Thursday, April 16, 2026

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City of King City Hall Council Chambers  
229 S. Main St., King, NC 27021

**AGENDA**

**MEETING CALLED TO ORDER**

**PLEDGE**

**Notes on Pledge:** Remain Standing for the invocation

**INVOCATION**

**1. PUBLIC HEARING**

- A. Public Hearing - Voluntary Annexation Request by Sam Hooker (King's Cross Properties, LLC).**

**2. DISCUSSION ITEMS**

- A. Discussion of FY 2026-2027 Budget**

**ITEMS OF GENERAL CONCERN**

**ADJOURNMENT**



**CITY OF KING  
CITY COUNCIL**

**MEETING DATE:**

**APRIL 16, 2026**

**PART A**

**Subject:** **PUBLIC HEARING - VOLUNTARY ANNEXATION REQUEST BY SAM HOOKER (KING'S CROSS PROPERTIES, LLC).**

**Action Requested:** Approve voluntary annexation request.

- Attachments:**
- Request form for voluntary annexation.
  - Resolution 2026-04 directing the city clerk to investigate the request.
  - Resolution 2026-05 setting the public hearing date.
  - Public notice.
  - Ordinance 2026-04 with metes & bounds description.
  - Site map.

**This abstract requires review by:**

**City Manager**

**City Attorney**

**Todd Cox, Int. Planning & Zoning Official**  
**Emerson Wright, Planning & Zoning intern**

**X**

**PART B**

**Introduction and Background:**

We have a request from Sam Hooker (King's Cross Properties, LLC) to voluntarily annex into the city limits a contiguous 79.41-acre tract. This is phase 2 of the residential section known as The Retreat at King's Crossing and also a phase of King's Crossing PUD. This would be the last large section of land in this PUD to be annexed into the city. There remains one 16-acre +- tract the abuts Moore Road which would finish out this PUD as far as annexation.

**Discussion and Analysis:**

The property owner is requesting voluntary annexation per our utilities extension section of our ordinance.

**Sec. 29-232. General policies regarding extensions.**

(b) It shall be the general policy of the city to permit extensions of water and sewer service to areas outside the city's corporate limits, but within the city's adopted area of consideration for annexation, only when such areas or developments simultaneously with the request for water and/or sewer service agree to petition the city for annexation, where practical, prior to the extension of such service. The board shall have the authority to waive this requirement when

annexation would be impractical, legally impossible, or would not be in the best interest of the city.

**Budgetary Impact:**

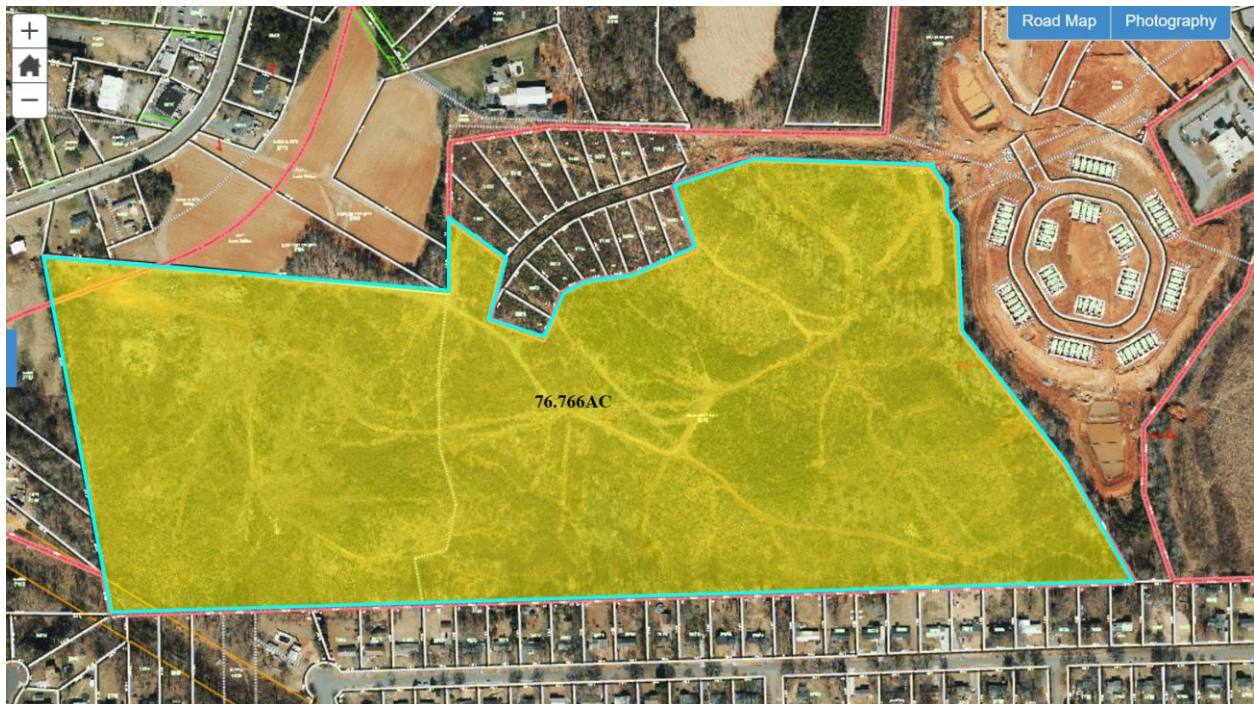
Additional city and county tax base; additional city utility and permit fees; additional city services.

**Recommendation:**

Staff recommends the following –

1. Approve **Ordinance 2026-04**, and making the effective date for April 16, 2026, and causing the ordinance and plat map to be recorded within the next 30 days per the NC General Statutes.

**Location Map**





City of King

Resolution No. 2026-04

Certificate of Sufficiency

Resolution directing the city clerk to investigate a petition received under NC G.S. 160A-31(c)

**Whereas**, a petition requesting voluntary annexation of a contiguous area described in said petition has been received on February 23, 2026 by the City of King; and

**Whereas**, NC G.S. 160A-31 provides that the sufficiency of the petition shall be investigated by the City Clerk before further annexation proceedings may take place; and

**Whereas**, the City Council of the City of King deems it advisable to proceed in response to the request for voluntary annexation;

**Now, Therefore, Be It Resolved**, by the City Council of the City of King:

That the City Clerk has performed this investigation and found the voluntary petition to be accurate per the requirements of 160A-31(c).

Adopted this the 2<sup>nd</sup> day of March 2026.



Richard E. McCraw – Mayor

ATTEST:

Nicole Branshaw, City Clerk



City of King

Resolution 2026-05

**Resolution fixing date of a public hearing on question of annexation pursuant to NC G.S. 160A.31(c)**

**Whereas**, a petition requesting annexation of the contiguous area described herein has been received; and

**Whereas**, the City Council has by resolution directed the City Clerk to investigate the sufficiency of the petition: and

**Whereas**, certification by the City Clerk as to the sufficiency of the petition has been made;

**Now, therefore, be it resolved**, by the King City Council of the City of King, North Carolina that:

Section 1. A public hearing on the question of annexation of the contiguous area described herein will be held at City Hall at 6 p.m. on April 6, 2026.

Section 2. The area proposed to be annexed is described as follows:

(See metes & bounds description attached along with plat map that will be recorded at the appropriate register of deeds office)

Section 3. Notice of the public hearing shall be published once in the Stokes News, a newspaper having general circulation in the City of King, NC, at least ten (10) days prior to the date of the public hearing.



*Richard E. McCraw*

Richard E. McCraw – Mayor

ATTEST:

*Nicole Branshaw*

Nicole Branshaw, City Clerk

# SLATE SURVEYING COMPANY P.A

## 1944 Mountain View Road

King, NC 27021

(336) 983-9743

[slatesc@aol.com](mailto:slatesc@aol.com)

Feb. 25, 2026

### PROPERTY DESCRIPTION

Lying and being in the Yadkin Township of Stokes County and in the City of King, North Carolina. Bounded on the north by Shugart Development, LLC, Cheston Pulliam, Zachary Pulliam, Matthew C. Smith, on the east by King's Cross Properties, LLC., on the south by Dunwoody, Section 2, and on the west by Lewis N. Carroll, Berati Investment, LLC, Aldridge Veterinary and Benjamin K. Gatewood and being more particularly described as follows:

Beginning on a 1" pipe 3" above ground, the northwest corner of the within described tract, a bend point for Gatewood, PB. 5, Pg. 36, said iron having NC grid coordinates of N = 919,262.34 E = 1.160,103.13, said iron also being S 09 53' 30" W 177.69' from a 3/4" pipe flush, the northwest corner of Shugart Development, LLC DB. 659, Pg. 624 Within the southern R/W of Kirby Road, S.R. 1115, of the Stokes County Registry. Thence, from said POINT OF BEGINNING, with the southern line of Cheston Pulliam DB. 763, Pg. 532, PB. 20, Pg. 94, S 84 47' 05" E 1283.16' to a nail in a 3/4" pipe flush, thence, with the eastern line of Zachary Pulliam N 00 25' 49" W 155.42' to a 3/4" pipe flush Pulliam's northeast corner, Smith's southeast corner, thence with Smith DB. 766, Pg. 1203, PB. 20, Pg. 118 N 00 32' 00" E 93.10' to a 5/8" rebar, flush, the southwest corner of Lot 8 of King's Crossing Phase 1, PB. 24, Pg. 27 and the existing King City Limit line, S 52 05' 14" E 220.41' to a 5/8" rebar flush in the northwestern R/W of Kingscote Way (55' Public R/W), thence crossing said Kingscote Way and continuing with the existing city limit line and the southern lines of King's Crossing Phase the following seven (7) courses and distances: S 12 36' 52" W 192.10' to a 5/8" rebar in the southeastern R/W of Kingscote Way, the northwest corner of Lot 16, thence S 69 45' 12" E 170.84' to a 5/8" rebar, thence N 25 21' 42" E 72.13' to a 5/8" rebar, thence N 19 00' 04" E 85.01' to a 5/8" rebar, thence N 64 34' 22" E 83.84' to a 5/8" rebar, thence N 83 00' 50" E 138.95' to a 5/8" rebar, Thence N 70 35' 26" E 225.00' to a 5/8" rebar, the southeast corner of Lot 9, thence with the eastern line of Lot 9 N 19 30' 51" W 220.00' to a 5/8" rebar in the southern R/W of Kingscote

Way, thence along the southern R/W of Kingscote Way and the existing city limit line N 70 33'52" E 189.95' to a point ,thence continuing with said R/W along the arc of a curve to the right N 83 18'09" W 83.83', said curve having a radius of 269.67' and a length of 84.17' to a point, thence continuing S 87 29'05" E 557.47' to a 5/8" rebar, the northwest corner of King's Crossing Properties, LLC PB. 23, Pg. 98 thence continuing with Kings Cross Properties and the existing City Limit line, S 15 41'20" E 157.61 to a 5/8" rebar, thence S 38 47'20" E 43.41' to a 5/8" rebar, thence S 05 25'05" E 330.88' to a 5/8" rebar in a 3/4" pipe in the creek, thence S 37 27'50" E 544.70' to a 5/8" rebar, thence S 30 13'27" E 421.52' to a 3/4" pipe 2" above ground in the creek in the northern line of Lot 9 of Dunwoody, Section 2, PB. 3, Pg. 148 , thence along the northern line of said Dunwoody S 88 09'03" W 3214.07' to a 3/4" pipe 2" below ground , the northwest corner of lot 10, and Lewis Carrolls southeast corner, thence with the eastern line of Carroll DB. 376, Pg. 457, PB. 9, Pg. 113 Berati Investment DB. 756, Pg. 1464, Aldridge Veterinary Real Estate, LLC DB. 777, Pg. 218 and Benjamin Gatewood Estate File 2018E/74, PB. 5, Pg. 36 N 10 41'56" W 1157.59' to the point of beginning containing 77.839 Ac. As per survey by Slate Surveying Co. P.A. dated Feb. 11, 2026, oriented to NC Grid north.

A portion of the above property being described in DB. 691, Pg. 126 of the Stokes County Registry and designated as parcel 34699 on the Stokes County Tax Maps.

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J. Dean Slate PLS L-2818

# KING'S CROSSING

## MOORE ST., KING N.C.

### STOKES COUNTY, NORTH CAROLINA

OWNER-DEVELOPER  
 SAMUEL G. HOOKER  
 P.O. BOX 21029, WINSTON-SALEM, NC 27120  
 EMAIL: SHOOKER@GMAIL.COM  
 PHONE 336 414 3796



**KING'S CROSSING**  
 SITE LOCATION  
 SHOOKER@GMAIL.COM  
 WINSTON-SALEM, NC 27120  
 KING'S CROSS PROPERTIES, LLC  
 P.O. BOX 21029  
 WINSTON-SALEM, NC 27120



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### GUPTON RDG NOTES

1. ALL WATER METERS AND SERVICE CLEANOUTS SHALL BE INSTALLED AT AN INTERSECTION OR AT THE END OF A SERVICE LINE.
2. ALL SERVICE LATERALS SHALL BE INSTALLED AT AN INTERSECTION OR AT THE END OF A SERVICE LINE. ALL SERVICE LATERALS SHALL BE INSTALLED AT AN INTERSECTION OR AT THE END OF A SERVICE LINE. ALL SERVICE LATERALS SHALL BE INSTALLED AT AN INTERSECTION OR AT THE END OF A SERVICE LINE.
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### GENERAL NOTES

1. CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS FROM THE CITY OF KING.
2. CONTRACTOR SHALL VERIFY ALL EXISTING UTILITIES PRIOR TO ANY CONSTRUCTION.
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### SHEET INDEX

SHEET 6.01	PROFILE - STORM OUTFALL - PIPES 65-68
SHEET 6.02	PROFILE - STORM OUTFALL - PIPES 69-76
SHEET 6.03	PROFILE - STORM OUTFALL - PIPES 77-82, 84, 85
SHEET 6.04	PROFILE - STORM OUTFALL - PIPES 83-95
SHEET 6.05	PROFILE - STORM OUTFALL - PIPES 96-104, 102-108, 110-111
SHEET 6.06	PROFILE - STORM OUTFALL - PIPES 97, 98A, 98B, 128-129, 131-133
SHEET 6.07	PROFILE - STORM OUTFALL - PIPES 132-132A, 137A-139
SHEET 6.08	PROFILE - STORM OUTFALL - PIPES 52A-53
SHEET 6.09	PROFILE - SEWER OUTFALL 1 OF 2
SHEET 6.10	PROFILE - SEWER OUTFALL 2
SHEET 6.11	PROFILE - STREAM CROSSINGS
SHEET 6.12	PROFILE - MOORE ROAD WIDENING PLAN
SHEET 6.13	DETAIL SHEET - SITE (1)
SHEET 6.14	DETAIL SHEET - SITE (2)
SHEET 6.15	DETAIL SHEET - SEWER (1)
SHEET 6.16	DETAIL SHEET - SEWER (2)
SHEET 6.17	DETAIL SHEET - WATER (1)
SHEET 6.18	DETAIL SHEET - WATER (2)
SHEET 6.19	DETAIL SHEET - STORM (1)
SHEET 6.20	DETAIL SHEET - STORM (2)
TOTAL OF 48 SHEETS	

Section 1, Item # A.

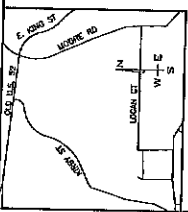
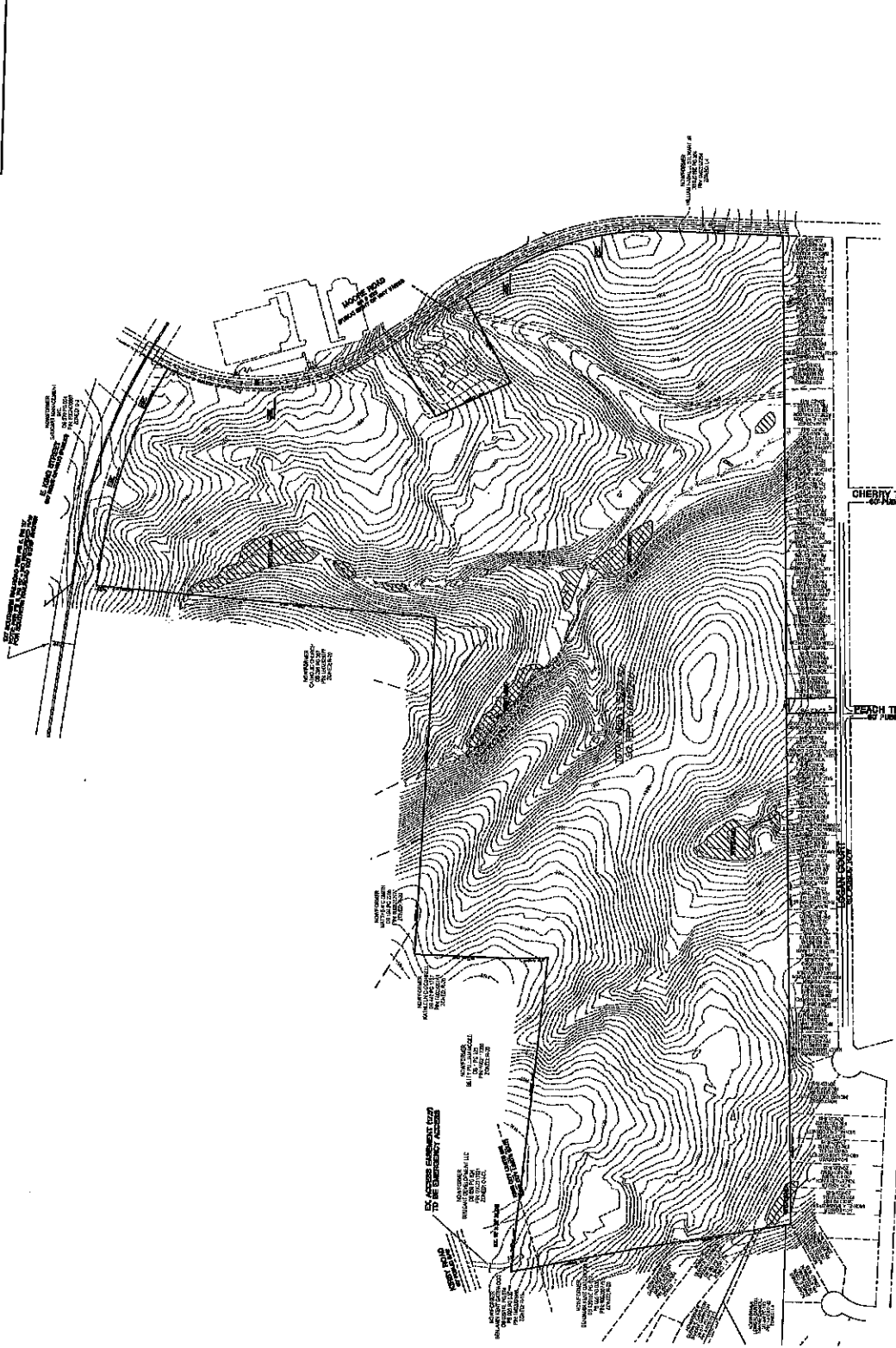
PLAN SCALE: 1"=20'

REVISIONS	DATE	BY	DESCRIPTION
02/01/20	02/01/20	MM	ISSUE FOR PERMITS
12/16/20	12/16/20	MM	UPDATE
3/17/21	3/17/21	MM	UPDATE

DESIGNED BY: MM  
 DRAWING BY: MM  
 CHECKED BY: MM  
 APPROVED BY: MM

SHEET TITLE:  
 EXISTING CONDITIONS  
 (2.01) of 45  
 DATE: 04/07/21  
 PROJECT NO: 12501-18

**CITY OF KING PLANNING BOARD**  
**SITE PLAN LEGEND**  
 SUB AREA:  
 1000 WEST 10TH AVENUE, 1000 WEST 11TH AVENUE, 1000 WEST 12TH AVENUE  
 City of King  
 City of Denver  
 City of Aurora  
 City of Littleton  
 City of Centennial  
 City of Arapahoe  
 City of Adams  
 City of Broomfield  
 City of Jefferson  
 City of Weld  
 City of Douglas  
 City of El Paso  
 City of Park  
 City of Summit  
 City of Clear Fork



Section 1, Item # A.

**CITY OF KING PLANNING BOARD**  
**SITE PLAN LEGEND**

**SITE DATA**  
 Owner/Developer: KING'S CROSSING, LLC  
 Site Address: 6009 WEST 14TH AVENUE, DENVER, CO 80202  
 Site Address: 14th & King  
 Jurisdiction: CITY OF KING  
 PIN: 8002-0000  
 DP: 80 0001 PG 0120

**PERMITS INFORMATION**  
 Type of Permit: **REDEVELOPMENT**  
 Jurisdiction: **CITY OF KING**  
 Applicant: **KING'S CROSSING, LLC**  
 Project Name: **KING'S CROSSING**  
 Project Number: **2008-0001**  
 Project Address: **6009 WEST 14TH AVENUE, DENVER, CO 80202**  
 Project City: **CITY OF KING**  
 Project State: **CO**  
 Project Zip: **80202**

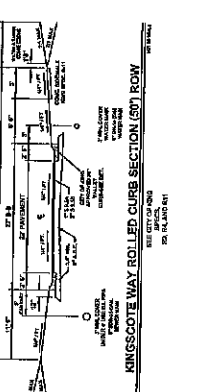
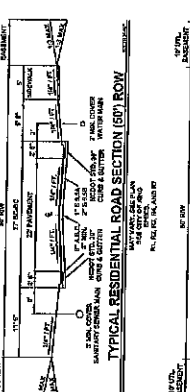
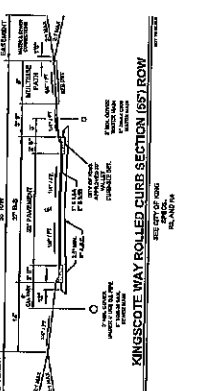
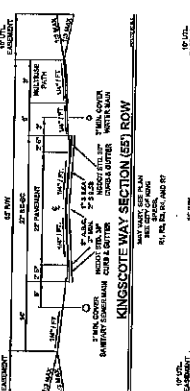
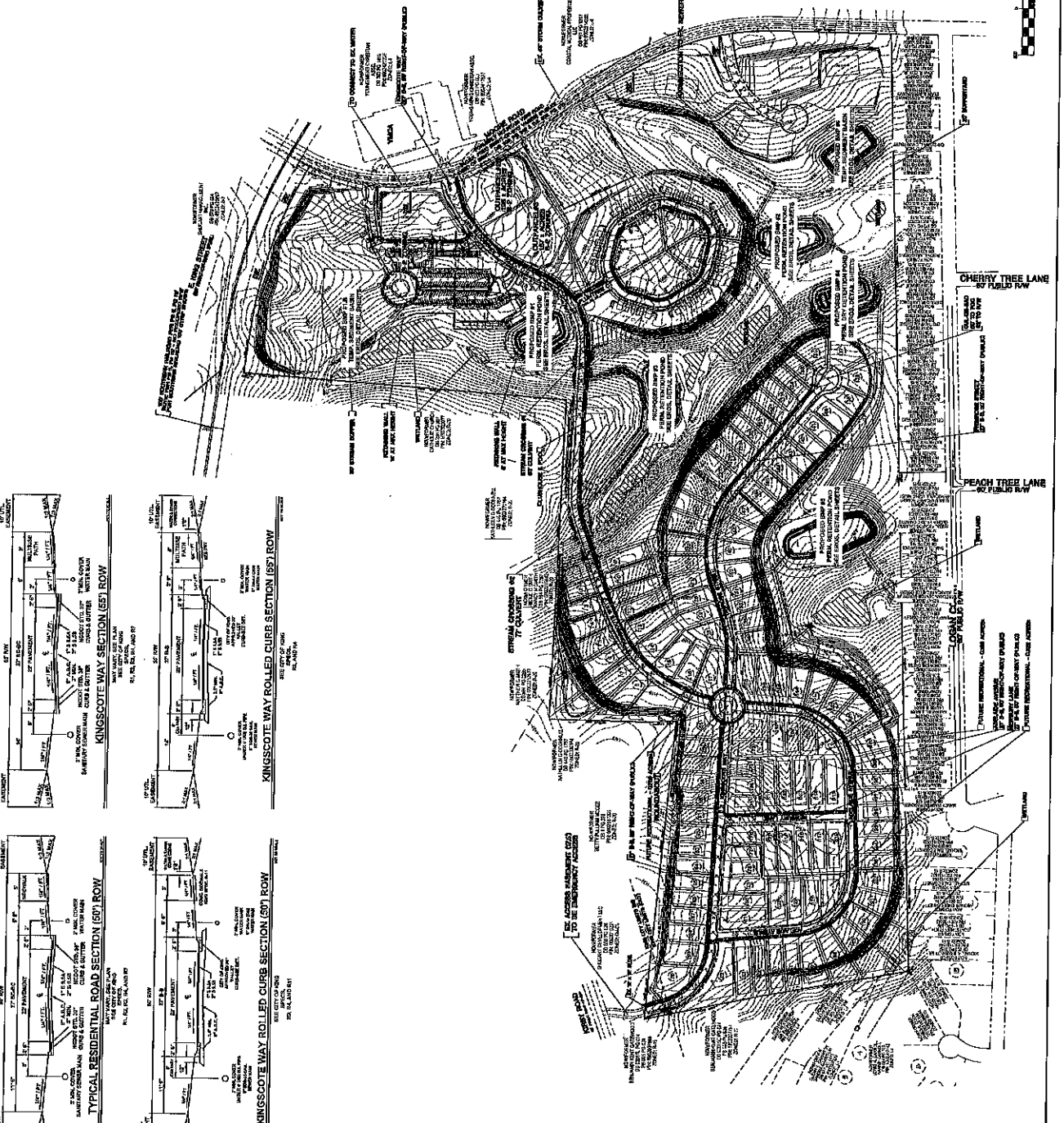
**EXISTING UTILITIES**  
 Utility Name: **Public**  
 Utility Type: **Water**  
 Utility Depth: **18"**  
 Utility Material: **Cast Iron**  
 Utility Status: **Active**  
 Utility Notes: **See Utility Map for Details**

**SECTION 44**  
 Section 44 Area: **1.50 Acres**  
 Section 44 Sub-area: **1.50 Acres**  
 Section 44 Notes: **See Section 44 Map for Details**

**SECTION 45**  
 Section 45 Area: **1.50 Acres**  
 Section 45 Sub-area: **1.50 Acres**  
 Section 45 Notes: **See Section 45 Map for Details**

**SECTION 46**  
 Section 46 Area: **1.50 Acres**  
 Section 46 Sub-area: **1.50 Acres**  
 Section 46 Notes: **See Section 46 Map for Details**

**SECTION 47**  
 Section 47 Area: **1.50 Acres**  
 Section 47 Sub-area: **1.50 Acres**  
 Section 47 Notes: **See Section 47 Map for Details**



Section 1, Item # A.





## **NOTICE OF PUBLIC HEARING ON QUESTION OF ANNEXATION**

The public will take notice that the City Council of the City of King will hold a public hearing at the King City Hall, 229 S Main St, King, NC 27021, on the 16<sup>th</sup> day of April 2026, on the question of annexation of the territory described below, pursuant to North Carolina General Statute 160A.31(c), at which time the plans for extending municipal services to said territory will be explained and all persons resident or owning property in said territory and all residents of the City of King, will be given an opportunity to be heard.

A legible map of the area to be annexed and a list of persons holding freehold interests in the area to be annexed who have been identified will also be posted in the office of City Hall at least thirty (30) days prior to the date of said public hearing.

### **ALL THAT CERTAIN PIECE, PARCEL, OR TRACT OF LAND LOCATED IN STOKES COUNTY, NORTH CAROLINA, AND MORE PARTICULARLY DESCRIBED AS FOLLOWS.**

Lying and being in the Yadkin Township of Stokes County and in the City of King, North Carolina. Bounded on the north by Shugart Development, LLC, Cheston Pulliam, Zachary Pulliam, Matthew C. Smith, on the east by King's Cross Properties, LLC., on the south by Dunwoody, Section 2, and on the west by Lewis N. Carroll, Berati Investment, LLC, Aldridge Veterinary and Benjamin K. Gatewood and being more particularly described as follows: Beginning on a 1" pipe 3" above ground, the northwest corner of the within described tract, a bend point for Gatewood, PB. 5, Pg. 36, said iron having NC grid coordinates of N =919,262.34 E = 1.160,103.13, said iron also being S 09 53' 30" W 177.69' from a 3/4" pipe flush, the northwest corner of Shugart Development, LLC DB. 659, Pg. 624 Within the southern R/W of Kirby Road, S.R. 1115, of the Stokes County Registry. Thence, from said POINT OF BEGINNING, with the southern line of Cheston Pulliam DB. 763, Pg. 532, PB. 20, Pg. 94, S 84 47' 05" E 1283.16' to a nail in a 3/4" pipe flush, thence, with the eastern line of Zachary Pulliam N 00 25' 49" W 155.42' to a 3/4" pipe flush Pulliams northeast corner, Smiths southeast corner, thence with Smith DB. 766, Pg. 1203, PB. 20, Pg. 118 N 00 32' 00" E 93.10' to a 5/8" rebar, flush, the southwest corner of Lot 8 of King's Crossing Phase 1, PB. 24, Pg. 27 and the existing King City Limit line, S 52 05' 14" E 220.41' to a 5/8" rebar flush in the northwestern R/W of Kingscote Way (55' Public R/W), thence crossing said Kingscote Way and continuing with the existing city limit line and the southern lines of King's Crossing Phase the following seven (7) courses and distances: S 12 36' 52" W 192.10' to a 5/8" rebar in the southeastern R/W of Kingscote Way, the northwest corner of Lot 16, thence S 69 45' 12" E 170.84' to a 5/8" rebar, thence N 25 21' 42" E 72.13' to a 5/8" rebar, thence N 19 00' 04" E 85.01' to a 5/8" rebar, thence N 64 34' 22" E 83.84' to a 5/8" rebar, thence N 83 00' 50" E 138.95' to a 5/8" rebar, Thence N 70 35' 26" E 225.00' to a 5/8" rebar, the southeast corner of Lot 9, thence with the eastern line of Lot 9 N 19 30' 51" W 220.00' to a 5/8" rebar in the southern R/W of Kingscote Way, thence along the southern R/W of Kingscote Way and the existing city limit line N 70 33' 52" E 189.95' to a point, thence continuing with the existing city limit line along the arc of a curve to the right

N 83 18'09" W 83.83', said curve having a radius of 269.67' and a length of 84.17' to a point, thence continuing S 87 29'05" E 557.47' to a 5/8" rebar, the northwest corner of King's Crossing Properties, LLC PB. 23, Pg. 98 thence continuing with Kings Cross Properties and the existing City Limit line, S 15 41'20" E 157.61 to a 5/8" rebar, thence S 38 47'20" E 43.41' to a 5/8" rebar, thence S 05 25'05" E 330.88' to a 5/8" rebar in a 3/4" pipe in the creek, thence S 37 27'50" E 544.70' to a 5/8" rebar, thence S 30 13'27" E 421.52' to a 3/4" pipe 2" above ground in the Creek in the northern line of Lot 9 of Dunwoody, Section 2, PB. 3, Pg. 148, thence along the northern line of said Dunwoody S 88 09'03" W 3214.07' to a 3/4" pipe 2" below ground, the northwest corner of lot 10, and Lewis Carrolls southeast corner, thence with the eastern line of Carroll DB. 376, Pg. 457, PB. 9, Pg. 113 Berati Investment DB. 756, Pg. 1464, Aldridge Veterinary Real Estate, LLC DB. 777, Pg. 218 and Benjamin Gatewood Estate File 2018E/74, PB. 5, Pg. 36 N 10 41'56" W 1157.59' to the point of beginning containing 77.839 Ac. As per Survey by Slate Surveying Co. P.A. dated Feb. 11, 2026, oriented to NC Grid north. A portion of the above property being described in DB. 691, Pg. 126 of the Stokes County Registry and designated as parcel 34699 on the Stokes County Tax Maps.

Nicole Branshaw, City Clerk

**CITY OF KING  
ORDINANCE NO. 2026-04  
AN ORDINANCE TO EXTEND THE CORPORATE LIMITS OF THE  
CITY OF KING, NORTH CAROLINA**

WHEREAS, the City Council of the City of King has been petitioned under G.S. 160A-31, as amended, to annex the areas described herein; and

**WHEREAS**, the City Council of the City of King has, by resolution, directed the city clerk to investigate the sufficiency of said petition(s) and by resolution set the public hearing; and

**WHEREAS**, the City Clerk has certified the sufficiency of said petition(s), and a public hearing on the question of this annexation was held at the City Hall, 229 South Main Street, King, North Carolina, at nine o'clock a.m. on the 16<sup>th</sup> day of April 2026; and

**WHEREAS**, the City Council of the City of King does hereby find as a fact that said petition meets the requirements of G.S. 160A-31, as amended.

**NOW THEREFORE, BE IT ORDAINED** by the City Council of the City of King, North Carolina:

Section 1. By virtue of the authority granted by G.S. 160A-31, as amended, the following described property is hereby annexed and made part of the City of King as of the 16<sup>th</sup> day of April 2026.

**(SEE ATTACHED BOUNDARY DESCRIPTIONS AND MAP.)**

**The property consists of a 79.41-acre tract located at the end of Kingscote Way, being Phase 2 of The Retreat at King's Crossing and a phase of the King's Crossing PUD.**

Section 2. Upon and after the 16<sup>th</sup> day of April 2026, the described property shall be subject to all debts, laws, ordinances, and regulations in force in the City of King and shall be entitled to the same privileges and benefits as other parts of the City of King.

Section 3. The Mayor of the City of King shall cause to be recorded in the office of the Register of Deeds of Stokes County, and in the office of the Secretary of State at Raleigh, North Carolina, an accurate map of the annexed territory, described in Section 1, hereof, together with a duly certified copy of the ordinance. Such a map shall also be delivered to the County Board of Elections, as required by G.S. 160A-288.1, as amended, and various other state and local departments.

**Adopted this on the 16<sup>th</sup> day of April 2026.**

ATTEST:

\_\_\_\_\_  
Richard E. McCraw, Mayor

\_\_\_\_\_  
Nicole Branshaw, City Clerk

City Seal:

# KING'S CROSSING

## MOORE ST., KING N.C.

### STOKES COUNTY, NORTH CAROLINA

OWNER-DEVELOPER  
 SAMUEL G. HOOKER  
 P.O. BOX 21029, WINSTON-SALEM, NC 27120  
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**Gupton's Royal Design Group**  
 CIVIL ENGINEERING • SITE PLANNING  
 STORMWATER DESIGN  
 LANDSCAPE DESIGN • LAND SURVEYING

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 KING, NC 27021  
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 CORPORATE LICENSE NO. C-0423

**KING'S CROSSING**  
 SITE LOCATION  
 MOORE ROAD

OWNER-DEVELOPER  
 KING'S CROSS PROPERTIES, LLC  
 P.O. BOX 21029  
 WINSTON-SALEM, NC 27120  
 336 414 3796  
 SHOOKER@GMAIL.COM

### GUPTON RDG NOTES

- HYDRANTS, WATER METERS, AND SEWER CLEANOUTS MUST BE INSTALLED ATION RIGHT-OF-WAY LINE BEHIND SIDEWALK (MEASURED TO CENTER OF OBJECT). NO HYDRANT, METER, OR CLEANOUTS PERMITTED IN SIDEWALK OR DRIVEWAYS.
- SEWER CONNECTION TAIL PIECES SHALL EXTEND TO BACK OF 5' UTILITY EASEMENT. ALL SEWER LATERALS TO BE SCHEDULE 40 PVC AND A MIN. SLOPE OF 2.0% FROM SANITARY SEWER MAIN TO CLEANOUT.
- ALL STATIONS, DIMENSIONING, AND STRUCTURE LABELS ARE BASED ON THE STREET CENTERLINE AND THE STRUCTURE OBJECT CENTERLINE. TOP OF CURB (TOC) ELEVATIONS FOR ALL CATCH BASINS IN ROAD ARE IN REFERENCE TO TOP OF STANDARD CURB. CATCH BASINS INSTALLED IN VALLEY CURB WILL REQUIRE THE CONTRACTOR TO MAKE THE NECESSARY ADJUSTMENTS. YARD INLETS AND THROAT INLETS TOP ARE AT THE RIM OF THE INLET. TOP OF THROAT INLETS CONCRETE BOX STRUCTURE IS NOT INCLUDED IN THE ELEVATIONS SHOWN ON THE PROFILE SHEETS. SANITARY SEWER MANHOLE ELEVATIONS ARE TO TOP OF RIM AND CENTERLINE OF STRUCTURE. INVERT ELEVATIONS ARE TO CENTERLINE OF MANHOLE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL CONTACT PIEDMONT NATURAL GAS PRIOR TO ANY SITE DISTURBANCE.
- DUE TO ADJUSTABILITY REQUIRED FOR STORM STRUCTURES, ALL CATCH BASINS AND YARD INLETS TO BE BUILT PER NCDOT BRICK SPECIFICATIONS. STORM MH'S TO BE APPROVED PRE-CAST CONSTRUCTION. PRE-FAB. CONCRETE STRUCTURES MAY BE USED BUT MUST ALLOW FOR FINAL TOP ADJUSTMENTS AS MAY BE REQUIRED TO MEET FINISH GRADES. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ADJUSTING CONCRETE STRUCTURES TO FINAL GRADES THAT MAY BE REQUIRED BY UNAVOIDABLE CONDITIONS OR BY GOVERNMENT OFFICIALS REQUEST REGARDLESS OF THE SITE OR GRADING PLAN. PIPEWORK IS TO HAVE A MINIMUM OF FOUR FOOT (4') COVER.
- ALL WATER MAINS TO BE DR-14 C900. SANITARY SEWER TO BE SDR-35, DR-14 900, AND DUCTILE IRON AS NOTED. CONNECTIONS MADE TO WATER METERS TO BE PER PLANS AND AS SPECIFIED ON ARCHITECTURAL PLANS.
- THE ORIGINALLY PROPOSED QUEENS STREET HAS BEEN RENAMED PRIMROSE STREET. ANY REFERENCE TO QUEENS STREET IS OUTDATED AND IS REFERENCING PRIMROSE STREET.
- ALL STREETS & PARKING LOTS, OTHER THAN KINGSCOTE WAY, TO BE EDGED WITH 5" MIN. SIDEWALK. ALL STORE FRONTS AND DELIVERY AREAS IN PHASE 1A SHALL HAVE SIDEWALK THAT MEETS THE PARKING. KINGSCOTE WAY TO BE EDGED WITH A 6" PAVED MULTIPLE PATH.
- REGARDLESS OF DISPLAYED GRADE ON GRADING PLAN SHEETS, THE ROADS ARE TO BE BUILT TO CORRELATIONS OF ROAD PROFILES AND WITH SIDESLOPES OF ROAD MATCHING THE ROAD SECTION DETAILS. VARIATION TO THESE PLANS REQUIRES ENGINEER CONSULTATION AND APPROVAL.

CITY OF KING - PLAN REVIEW	
PLANNING & INSPECTIONS DEPT.	<input type="checkbox"/> APPROVED
REVIEWED BY: <i>[Signature]</i>	<input type="checkbox"/> APPROVED AS NOTED
DATE: 2-11-2021	<input checked="" type="checkbox"/> CORRECT AND RESUBMIT
FIRE INSPECTIONS DEPT.	<input type="checkbox"/> APPROVED
REVIEWED BY: <i>[Signature]</i>	<input type="checkbox"/> APPROVED AS NOTED
DATE: 1/26/2021	<input checked="" type="checkbox"/> CORRECT AND RESUBMIT
ENGINEERING DEPT.	<input type="checkbox"/> APPROVED
REVIEWED BY: <i>[Signature]</i>	<input type="checkbox"/> APPROVED AS NOTED
DATE: 2-24-21	<input checked="" type="checkbox"/> CORRECT AND RESUBMIT
ARCHITECT ENGINEER AND/OR CONTRACTOR RESPONSIBLE FOR COMPLIANCE WITH ALL STATE & LOCAL REGULATIONS, REGARDLESS OF PLAN APPROVAL	
INSP./ENG. 336 983-8265 FIRE 336 983-3030	

### GENERAL NOTES

- CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- ALL EROSION CONTROL DEVICES SHALL BE CONSTRUCTED AND MAINTAINED IN ACCORDANCE WITH THE MOST CURRENT STANDARDS OF THE LAND QUALITY SECTION OF THE NCDENR.
- STABILIZATION STONE UNDER PIPING TO BE PLACED AS REQUIRED BY CITY INSPECTOR WHEN CONDITIONS WARRANT.
- AS A MINIMUM REQUIREMENT, ALL GRADED AREAS NOT UNDER PAVEMENT AND WITHIN THE RIGHT-OF-WAY AND/OR EASEMENTS SHALL BE PREPARED, FERTILIZED AND LINED, SEEDED, AND MULCHED IMMEDIATELY UPON COMPLETION OF CONSTRUCTION AS FOLLOWS (APPLICATION RATE PER 1,000 SQUARE FEET):  
**TYPE 1 SEEDING (LAWNS OR OTHER FOCAL AREAS)**  
 100 LBS. OF LIME  
 20 LBS. OF 10-20-20 OR 20 LBS. OF 10-10-10 IN COMBINATION 1/3 LBS. OF 0-46-6  
 4 LBS. OF TALL FESCUE, CONTAINING A BLEND OF 2 OR MORE TALL FESCUES  
 1 LB. OF SERICEA LESPEDEZA (USE UNSCARIFIED SEED AUGUST 15 TO FEBRUARY 1)  
 1/2 LB. OF GERMAN MILLET (MAY TO AUGUST 15)  
 1 LB. OF RYE GRAIN (PRIOR TO MAY 1 OR AFTER AUGUST 15)  
 SEEDING MIXTURES OTHER THAN THOSE LISTED ABOVE MUST BE APPROVED BY THE CITY INSPECTOR PRIOR TO SEEDING.
- PRIOR TO REQUESTING A FINAL INSPECTION, THE OWNER MUST SUBMIT RECORD DRAWINGS AND ENGINEERING CERTIFICATION TO THE ENGINEERING DIVISION'S RECORD CENTER. THE OWNER MUST ALSO SUBMIT THE CONSTRUCTION CHECKLIST TO THE CITY INSPECTOR.
- ALL WORK MUST CARRY A ONE-YEAR WARRANTY TO COVER ALL DEFECTS IN MATERIALS AND WORKMANSHIP.
- PRIOR TO BEGINNING ANY WORK WITHIN NCDOT RIGHT-OF-WAY, THE CONTRACTOR MUST HAVE A COPY OF THE THREE-PARTY ENCROACHMENT AGREEMENT ON THE JOB SITE.
- PRIOR TO BEGINNING ANY WORK, THE CONTRACTOR SHALL NOTIFY THE CITY AT LEAST THREE (3) BUSINESS DAYS BEFORE THE PLANNED START OF THE WORK. ANY WORK PERFORMED PRIOR TO NOTIFYING THE CITY IS SUBJECT TO REJECTION BY THE CITY. THE CONTRACTOR MUST ALSO CONTACT THE ENGINEERING FIELD OFFICE TO ARRANGE FOR CONSTRUCTION INSPECTION.
- WATER AND/OR SANITARY SEWER:  
 1. THE MOST CURRENT EDITION OF THE CITY OF KING'S MUNICIPAL CODE AND MEET THEIR CURRENT STANDARDS FOR ENGINEERING AND CONSTRUCTION. WILL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.  
 2. WATER AND SEWER CONNECTIONS SHALL BE BESIDE EACH OTHER AT THE CENTER OF EACH LOT. CONNECTIONS ARE TO BE SPACED NOT MORE THAN 30" CENTER TO CENTER AND HAVE WOODEN STAKES PLACED ON EACH SIDE. STAKES SHOULD BE FLAGGED OR PAINTED FOR VISIBILITY.  
 3. DENSITY TESTS BY AN INDEPENDENT TESTING LAB ARE TO BE MADE AS DIRECTED BY THE CITY INSPECTOR AT THE OWNER'S EXPENSE.
- ROADWAY:  
 1. THE MOST CURRENT EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION ROADWAY STANDARD DRAWINGS WILL GOVERN ALL ROADWAY CONSTRUCTION UNLESS OTHERWISE SPECIFIED HEREIN.  
 2. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.  
 3. ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) (15" MIN. DIAMETER) UNLESS OTHERWISE NOTED. RCP SHALL BE MINIMUM CLASS III AND JOINTS MUST HAVE O-RINGS OR FLEXIBLE JOINT MATERIAL. METAL PIPE SHALL BE CORRUGATED ALUMINUM PIPE (CAP). CAP MUST HAVE HUGGER BAND CONNECTORS WITH FLAT GASKETS. AASHTO M197 AND/OR ASTM B744 MUST BE CLEARLY MARKED ON ALL CAP.
- ALL DRAINAGE STRUCTURES MUST MEET NCDOT STANDARDS. SOLID WALL, PRECAST CONCRETE STRUCTURES CONFORMING TO NCDOT 840.45 ARE ACCEPTABLE (NO WAFFLE WALLS). ALL PIPE OPENINGS IN PRECAST STRUCTURES MUST BE CAST OR CORED. CATCH BASINS FOR CURB AND GUTTER MUST CONFORM TO NCDOT 840.01 OR 840.02 AND NCDOT 840.03. NCDOT APPROVED PRECAST CONCRETE MANHOLES ARE ACCEPTED AS SUBSTITUTES FOR CATCH BASINS.
- FRAMES, GRATES AND HOODS SHALL BE MANUFACTURED AND INSTALLED PER CITY OF KING SPECS AND STANDARDS. KING SD-4 & SD-5.  
 THE NAME OF THE MANUFACTURER MUST BE PERMANENTLY CAST ON THE FRAME AND ON THE GRATE.
- DOUBLE CATCH BASINS SHALL BE TWO SEPARATE BASINS WITH RCP BETWEEN THE BASINS. THE RCP SHALL BE GREATER THAN OR EQUAL TO THE SIZE OF THE OUTLET PIPE.
- IF A DRIVEWAY LOCATION CONFLICTS WITH A CATCH BASIN, THE FOLLOWING FRAME AND GRATE SHALL BE USED:  
 EAST JORDAN IRON WORKS, INC. - CATALOG NUMBER V-4510
- ALL SUBGRADE UNDER PAVED AREAS, CURB AND GUTTER, SIDEWALK, AND ROADWAY SHOULDERS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T99 AND THE NCDOT. THE FINAL 12" OF SUBGRADE UNDER PAVED AREAS AND UNDER CURB AND GUTTER SHALL BE COMPACTED TO 100%. DENSITY TESTS BY AN INDEPENDENT TESTING LAB ARE TO BE MADE AS DIRECTED BY THE CITY INSPECTOR AT THE OWNER'S EXPENSE. THE SUBGRADE SHALL BE PROOF ROLLED (MIN. 25 TONS) AND WITNESSED BY THE INSPECTOR PRIOR TO PLACEMENT OF STONE OR ASPHALT BASE. THE PROOF ROLL SHALL PROVIDE A NON-YIELDING SURFACE (PUMPING, RUTTING, SATURATED SOIL, ETC. ARE UNACCEPTABLE). FOR SUBGRADE UNDER SIDEWALKS, CITY INSPECTOR WILL PROBE TO DETERMINE IF THE SUBGRADE IS SUFFICIENTLY COMPACTED.
- ALL STONE BASE SHALL BE COMPACTED TO AN AVERAGE OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T188 AND THE NCDOT. THE UNIT WEIGHT AND OPTIMUM MOISTURE CONTENT WILL BE THE LATEST NUMBERS ON FILE AT THE QUARRY FROM WHICH THE ABC STONE IS OBTAINED. ON-SITE TESTS (AT OWNER'S EXPENSE) MAY BE REQUIRED TO VERIFY THE UNIT WEIGHT AND MOISTURE NUMBERS. STONE FROM DIFFERENT QUARRIES SHALL NOT BE MIXED. DENSITY WILL BE TESTED WITH A NUCLEAR DENSITY GAUGE BY THE CITY INSPECTOR. THE INSPECTOR'S RESULTS ARE FINAL. MOISTURE CONTENT (AS TESTED BY THE INSPECTOR) MUST BE NO MORE THAN THE OPTIMUM MOISTURE CONTENT PRIOR TO PAVING. THE STONE BASE SHALL ALSO BE PROOF ROLLED (MIN. 25 TONS) AND WITNESSED BY THE INSPECTOR PRIOR TO PAVING. THE PROOF ROLL SHALL PROVIDE A NON-YIELDING SURFACE (PUMPING, RUTTING, SATURATED STONE, ETC. ARE UNACCEPTABLE). IF RAINFALL OCCURS AFTER TESTING BUT PRIOR TO PAVING, THE INSPECTOR AND ENGINEERING FIELD MANAGER WILL DETERMINE IF ADDITIONAL TESTING AND/OR PROOF ROLL WILL BE REQUIRED.
- THE CITY INSPECTOR RESERVES THE RIGHT TO TEST ASPHALT BY CORE SAMPLING OR BY NUCLEAR METHODS AT THE OWNER'S EXPENSE.
- TRACK COAT TO BE APPLIED TO ALL EXISTING ASPHALT SURFACES PRIOR TO PLACING NEW ASPHALT.
- LIFT OF ASPHALT TO MATCH GUTTER (MAXIMUM 1/4" ABOVE GUTTER). ASPHALT BELOW GUTTER IS UNACCEPTABLE.
- SUB-DRAINS TO BE CONSTRUCTED AS REQUIRED BY CITY INSPECTOR TO STABILIZE THE SUBGRADE. METHOD TO BE DETERMINED BY OWNER'S TESTING LAB OR OWNER'S ENGINEER.
- EXISTING CURB AND GUTTER AND PAVEMENT TO BE REPLACED OR REPAIRED AS REQUIRED TO THE TO SOUND MATERIAL.
- WHEEL CHAIR RAMPS ARE REQUIRED FOR STANDARD CURB AND GUTTER INTERSECTIONS AND AT LOCATIONS SHOWN ON THE CONSTRUCTION DRAWINGS. EACH RAMP SHALL HAVE A 24"x48" AREA OF DETECTABLE WARNING DOMES. THIS AREA SHALL BE A ONE PIECE PANEL (NO CONCRETE BLOCKS OR STAMPED CONCRETE). CAST-IN-PLACE COMPOSITE PANELS SHALL BE ADA SOLUTIONS, ARMBOR-TILE, OR APPROVED EQUAL. COLOR SHALL BE BLACK. PAINTING OF THE PRODUCTS WILL NOT BE ALLOWED. SEE NCDOT STANDARD DRAWINGS 848 FOR RAMP CONSTRUCTION DETAILS.
- GUARDRAIL TO BE INSTALLED (PER DETAIL, D-18 SH. 9.02) AS REQUIRED BY CITY INSPECTOR AND AT LOCATIONS SHOWN ON THE CONSTRUCTION DRAWINGS. REFLECTIVE END OF ROAD MARKERS SHALL BE INSTALLED (PER NCDOT 1264) BEHIND GUARDRAIL AT TURNAROUNDS AND DEAD END STREETS.
- ALL EXPANSION JOINTS FOR CONCRETE TO BE SEALED WITH SILICONE OR POLYURETHANE PER NCDOT SPECIFICATIONS. HOT APPLIED JOINT SEALER SHALL NOT BE USED. COLOR MUST BE GRAY OR A COLOR THAT MATCHES THE CONCRETE (NOT BLACK).
- SIDEWALKS SHALL BE INSTALLED IN THE THICKNESSES AS FOLLOWS:  
 a. RESIDENTIAL: 4" THICK  
 6" THICK FROM PC TO PT AT INTERSECTIONS INCLUDING HCR.  
 6" THICK ACROSS ALL DRIVEWAYS  
 b. COMMERCIAL: 6" THICK  
 c. INDUSTRIAL: 8" THICK  
 8" THICK ACROSS ALL DRIVEWAYS
- ALL CONCRETE SHALL BE A MINIMUM OF CLASS A (3,000 psi). CLASS B (2,500 psi) SHALL NOT BE USED. THE CONTRACTOR SHALL PROVIDE TEST RESULTS FOR SLUMP (AASHTO T-119/ASTM C-143), AIR CONTENT BY PRESSURE AIR METER (AASHTO T-152/ASTM C-231), TEMPERATURE (ASTM C-1064) AND TEST SPECIMENS (AASHTO T-29/ASTM C-31) FOR CONCRETE SIDEWALKS. PERFORM ONE SET OF TESTS WITHIN THE FIRST 10 CUBIC YARDS POURED ON THE PROJECT. CITY INSPECTOR MAY REQUEST ADDITIONAL TESTING THEREAFTER.
- ALL SIGNAGE TO BE INSTALLED PER NCDOT, STATE, OR CITY STANDARDS AT DEVELOPERS COST. PROPOSED SIGN LAYOUT SHALL BE SUBMITTED AND APPROVED PRIOR TO SIGNS BEING INSTALLED.

### ROADWAY FINAL INSPECTION PROCEDURE:

- OWNER PUTS DOWN 2" ASPHALT AND RAISES STRUCTURES TO FINAL GRADE (INCLUDING CONCRETE COLLARS 1" BELOW FINAL GRADE). ASPHALT IS TO BE PLACED AROUND STRUCTURES TO PREVENT DAMAGE.
- OWNER SUBMITS RECORD DRAWINGS AND ENGINEER'S CERTIFICATION TO THE ENGINEERING DIVISION'S RECORD CENTER.
- UPON APPROVAL BY THE RECORD CENTER, OWNER MAY REQUEST FINAL INSPECTION FOR WATER AND/OR SANITARY SEWER. OWNER SHALL THEN SUBMIT THE CONSTRUCTION CHECKLIST FOR WATER AND/OR SANITARY SEWER TO THE CITY INSPECTOR.
- PRIOR TO THE PLACEMENT OF THE FINAL 1" OF ASPHALT, THE FOLLOWING MUST OCCUR:  
 100% OF HOUSES MUST BE BUILT OR ONE YEAR HAS LAPSED SINCE THE APPROVAL OF THE 2" ASPHALT.
- THE FINAL ASPHALT MUST BE PLACED AFTER TWO (2) YEARS HAVE LAPSED SINCE APPROVAL OF THE 2" ASPHALT LAYER. SURETY MUST BE APPROVED BY THE CITY TO COVER THE 2 YEAR PERIOD.
- AFTER PLACEMENT OF THE FINAL ASPHALT, THE OWNER MAY REQUEST FINAL INSPECTION FOR THE ROADWAY. OWNER MUST ALSO SUBMIT THE CONSTRUCTION CHECKLIST FOR ROADWAY TO THE CITY INSPECTOR.

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TOTAL OF 45 SHEETS	

REVISIONS:

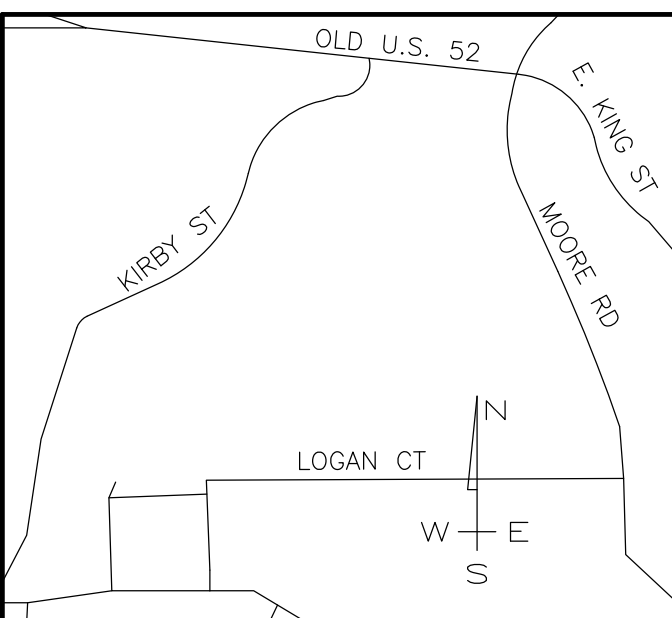
09/25/20	BID SET
12/16/20	UPDATE
03/19/21	UPDATE
12/09/21	UPDATE

SURVEYED BY: OTHERS  
 DRAWN BY: DHB  
 DRAWN BY: MDE  
 DRAWN BY: BSH  
 DESIGNED BY: HBG  
 APPROVED BY: HBG

SHEET TITLE:  
**UTILITY COVER SHEET**

1.01 OF 45

DATE: 04/01/19  
 PROJECT NO: 12804-15



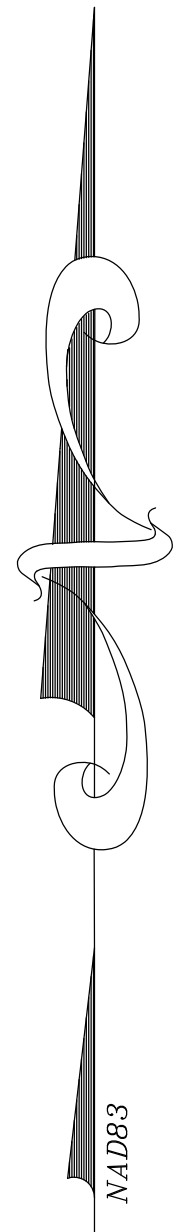
**CITY OF KING PLANNING BOARD  
SITE PLAN LEGEND**

SITE DATA	
Owner/Applicant:	KING'S CROSS PROPERTIES, LLC P.O. BOX 21029 WINSTON-SALEM, NC 27120
Site Acreage:	149.68 ± Acres
Site Address:	Moore RD King, NC
Jurisdiction:	City of King not in a protected watershed
PIN:	6902-20-0669 6902-40-1971
DB:	DB 0691 PG 0126

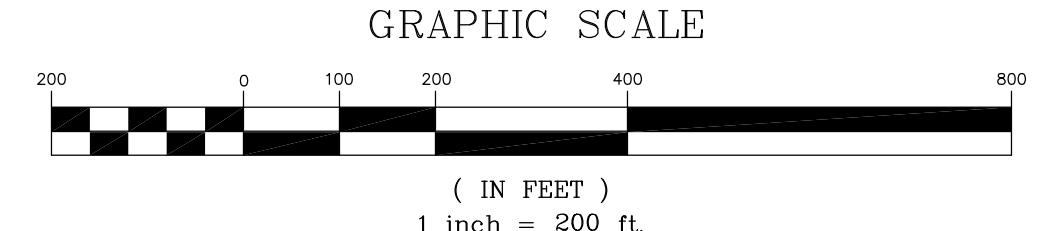
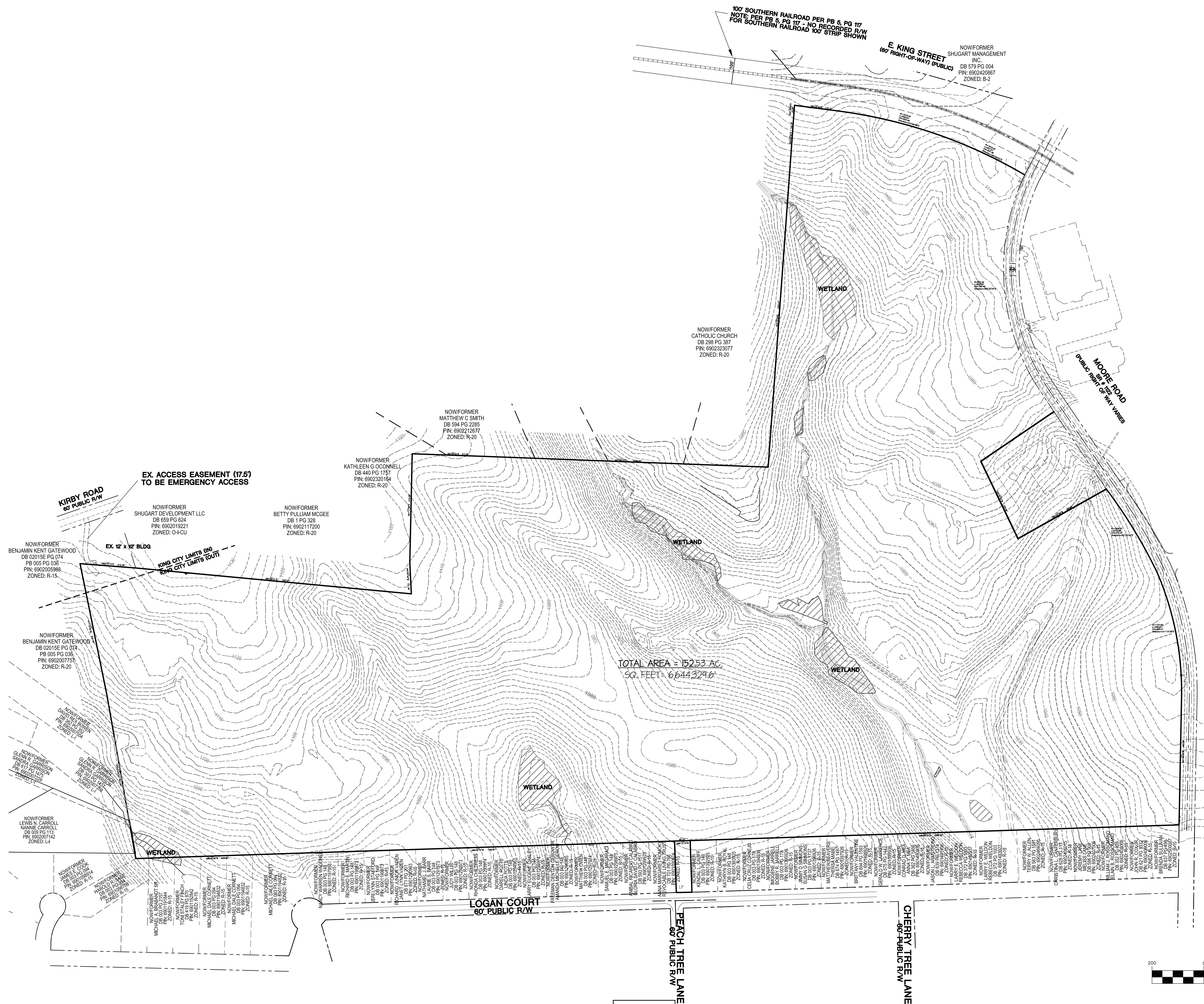
**Gupton's Royal Design Group**  
CIVIL ENGINEERING - SITE PLANNING  
STORMWATER DESIGN  
LANDSCAPE DESIGN - LAND SURVEYING

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336.414.3796  
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**NOTES:**  
THIS IS NOT AN ACTUAL SURVEY BY GUPTON'S ROYAL DESIGN GROUP. BOUNDARY INFORMATION FROM PLATS, DEEDS OF RECORD, OR MAPS BY OTHERS. TOPOGRAPHIC INFORMATION AND DATA SHOWN ON THIS PLAT WERE TAKEN FROM STOKES COUNTY MAPS.



PLAN SCALE: 1:200

**REVISIONS:**

07/01/20	CONST. SUB.
12/16/20	UPDATE
3/19/21	UPDATE

**SURVEYED BY:** OTHERS  
**DRAWN BY:** DHB  
**DRAWN BY:** MDE  
**DRAWN BY:** BSH  
**DESIGNED BY:** HBG  
**APPROVED BY:** HBG

**SHEET TITLE:**  
**EXISTING CONDITIONS**

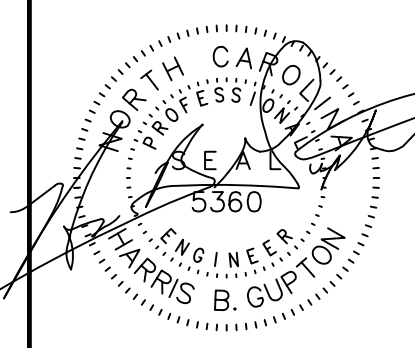
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( IN FEET )  
DATE: 04/01/19  
PROJECT NO: 12804-16



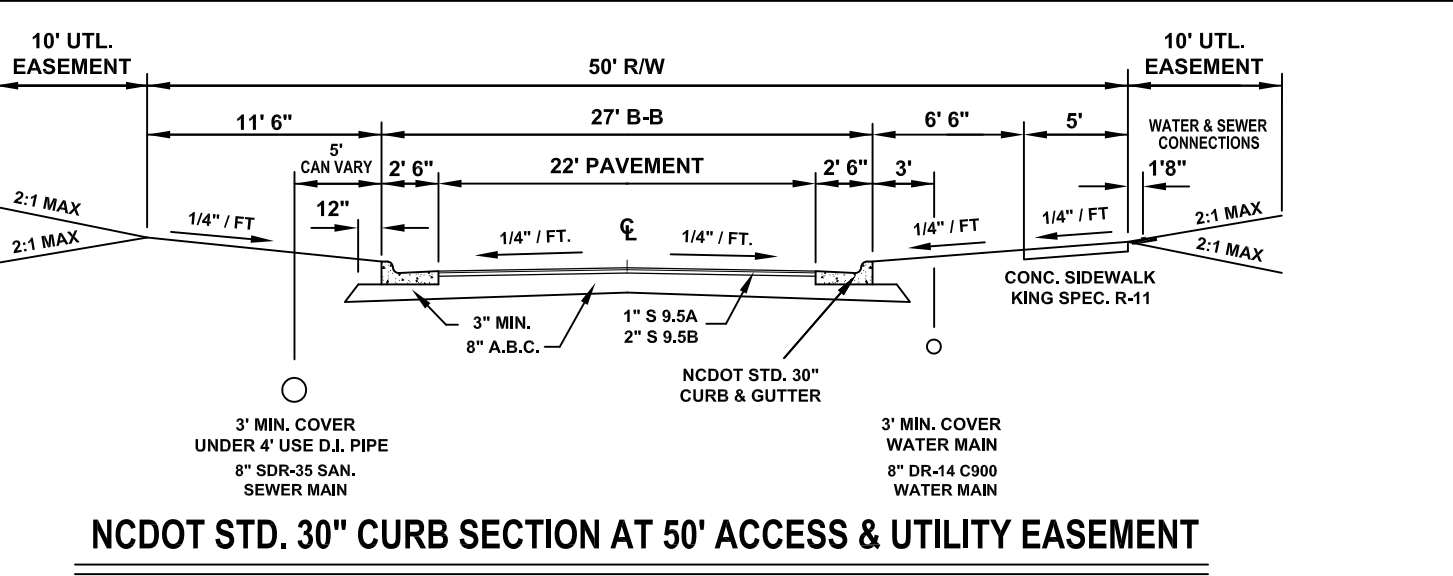
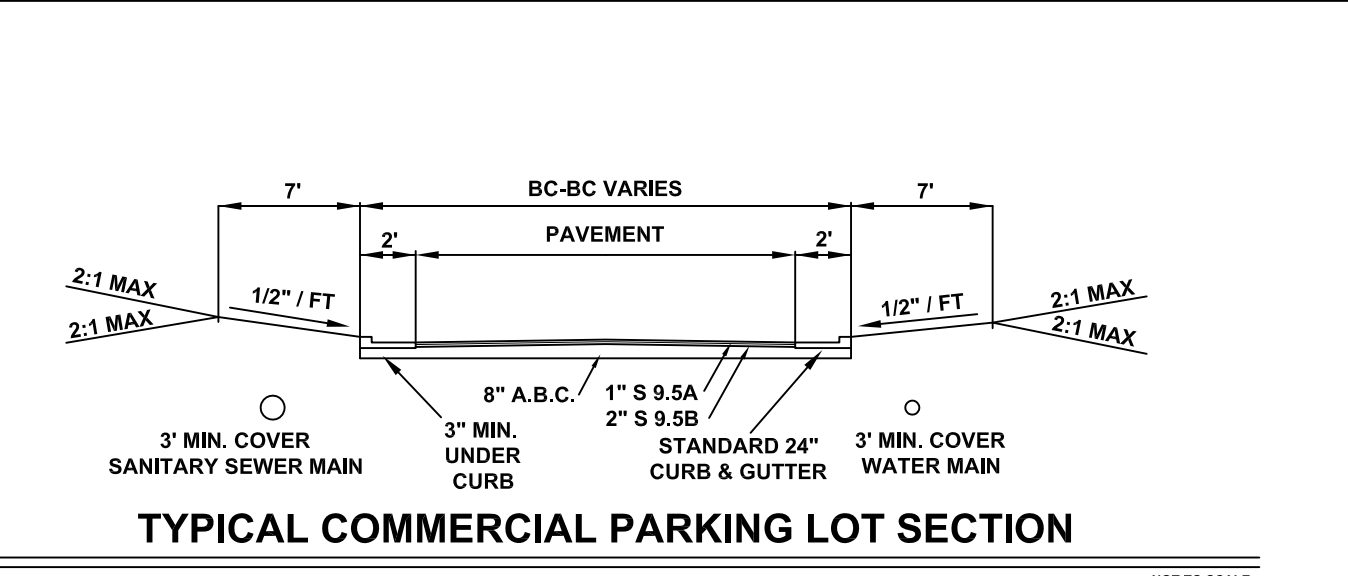
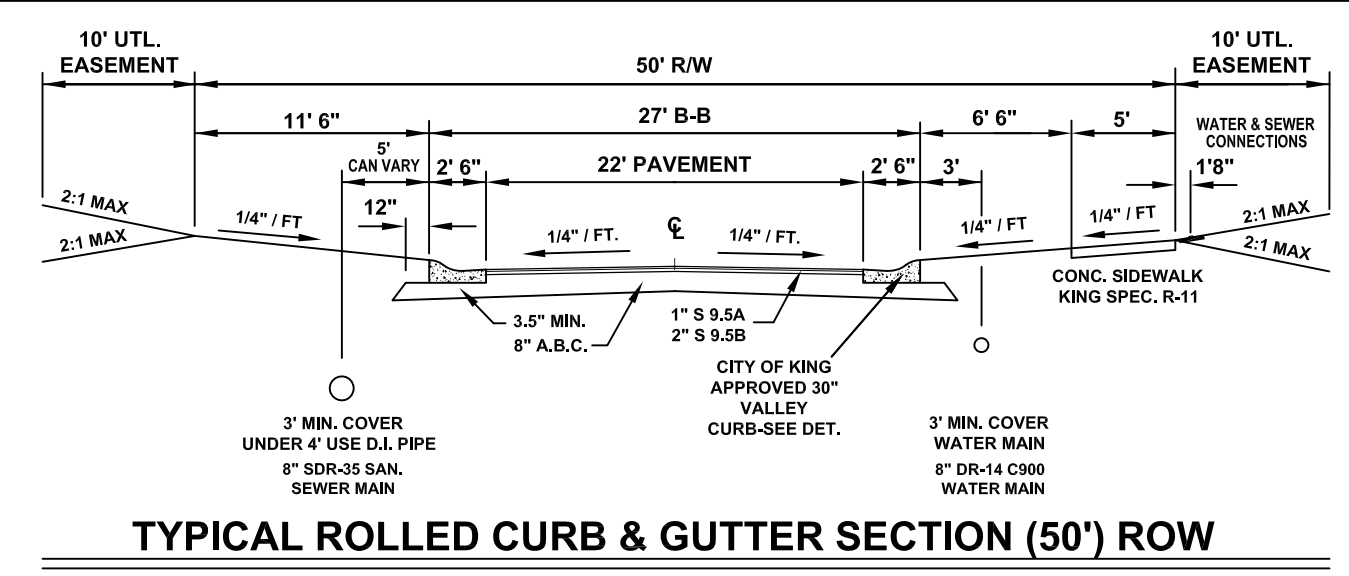
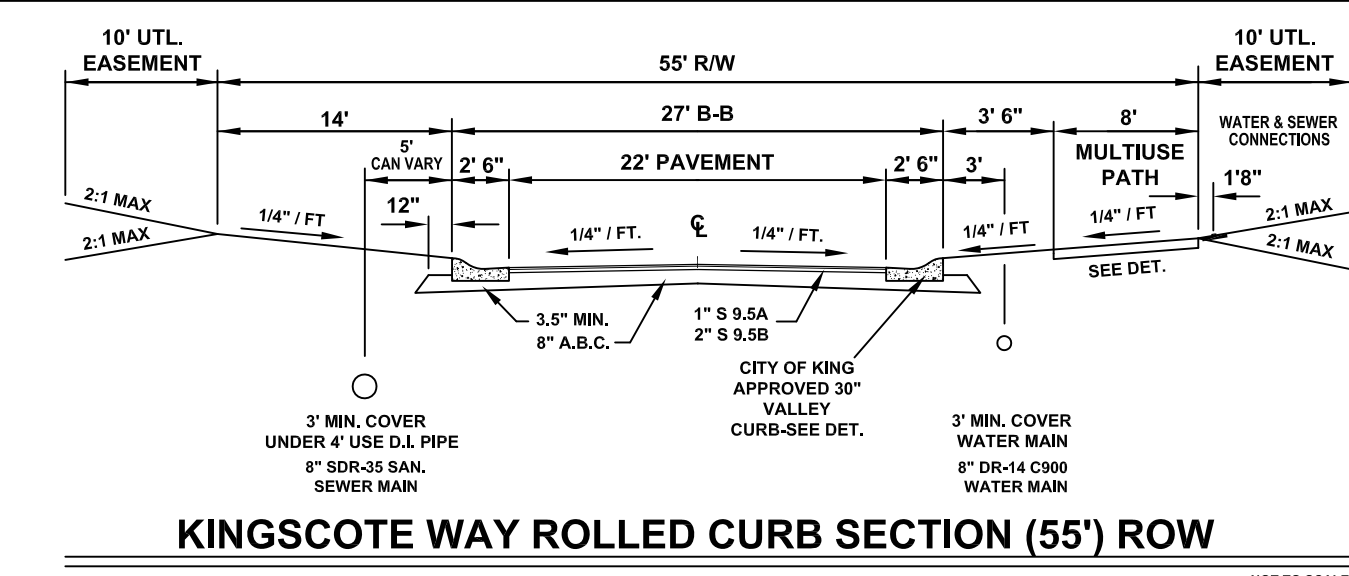
REVISIONS:

07/01/20	BID SET
12/16/20	UPDATE
03/19/21	UPDATE

SURVEYED BY: OTHERS  
 DRAWN BY: DHB  
 CHECKED BY: MDE  
 DESIGNED BY: BSH  
 APPROVED BY: HBG



SHEET TITLE:  
**UTILITY COVER SHEET**



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- ALL STATIONS, DIMENSIONING, AND STRUCTURE LABELS ARE BASED ON THE STREET CENTERLINE AND THE STRUCTURE/OBJECT CENTERLINE. TOP OF CURB (TOC) ELEVATIONS FOR ALL CATCH BASINS IN ROAD ARE IN REFERENCE TO TOP OF STANDARD CURB. CATCH BASINS INSTALLED IN VALLEY CURB WILL REQUIRE THE CONTRACTOR TO MAKE THE NECESSARY ADJUSTMENTS. YARD INLETS AND THROAT INLETS TOP ARE AT THE RIM OF THE INLET. TOP OF THROAT INLET'S CONCRETE BOX STRUCTURE IS NOT INCLUDED IN THE ELEVATIONS SHOWN ON THE PROFILE SHEETS. SANITARY SEWER MANHOLE ELEVATIONS ARE TO TOP OF RIM AND CENTERLINE OF STRUCTURE. INVERT ELEVATIONS ARE TO CENTERLINE OF MANHOLE UNLESS NOTED OTHERWISE.
- CONTRACTOR SHALL CONTACT PIEDMONT NATURAL GAS PRIOR TO ANY SITE DISTURBANCE.
- DUE TO ADJUSTABILITY REQUIRED FOR STORM STRUCTURES, ALL CATCH BASINS AND YARD INLETS TO BE BUILT PER NCDOT BRICK SPECIFICATIONS. STORM MI'S TO BE APPROVED PRE-CAST CONSTRUCTION. PRE-CAST CONCRETE STRUCTURES MAY BE USED BUT MUST ALLOW FOR FINAL TOP ADJUSTMENTS AS MAY BE REQUIRED TO MEET FINISH GRADES. THE CONTRACTOR ASSUMES ALL RESPONSIBILITY FOR ADJUSTING CONCRETE STRUCTURES TO FINAL GRADES THAT MAY BE REQUIRED BY UNAVOIDABLE CONDITIONS OR BY GOVERNMENT OFFICIALS REQUEST REGARDLESS OF THE SITE OR GRADING PLAN. PIPEWORK IS TO HAVE A MINIMUM OF FOUR FOOT (4') COVER.
- ALL WATER MAINS TO BE DR-14 C900. SANITARY SEWER TO BE SDR-35, DR-14 900, AND DUCTILE IRON AS NOTED. CONNECTIONS MADE TO WATER METERS TO BE PER PLANS AND AS SPECIFIED ON ARCHITECTURAL PLANS.
- THE ORIGINALLY PROPOSED QUEENS STREET HAS BEEN RENAMED PRIMROSE STREET. ANY REFERENCE TO QUEENS STREET IS OUTDATED AND IS REFERENCING PRIMROSE STREET.
- ALL STREETS & PARKING LOTS, OTHER THAN KINGSCOTE WAY, TO BE EDGED WITH 5' MIN. SIDEWALK. ALL STORE FRONTS AND DELIVERY AREAS IN PHASE 1A SHALL HAVE SIDEWALK THAT MEETS THE PARKING. KINGSCOTE WAY TO BE EDGED WITH A 8' PAVED MULTUSE PATH.
- REGARDLESS OF DISPLAYED GRADE ON GRADING PLAN SHEETS, THE ROADS ARE TO BE BUILT TO CENTERLINE OF ROAD PROFILES AND WITH SIDESLOPES OF ROAD MATCHING THE ROAD SECTION DETAILS. VARIATION TO THESE PLANS REQUIRES ENGINEER CONSULTATION AND APPROVAL.

**WATER AND/OR SANITARY SEWER:**

- THE MOST CURRENT EDITION OF THE CITY OF KING'S MUNICIPAL CODE AND MEET THEIR CURRENT STANDARDS FOR ENGINEERING AND CONSTRUCTION. WILL GOVERN ALL WATER AND SANITARY SEWER CONSTRUCTION.
- WATER AND SEWER CONNECTIONS SHALL BE BESIDE EACH OTHER AT THE CENTER OF EACH LOT. CONNECTIONS ARE TO BE SPACED NOT MORE THAN 30" CENTER TO CENTER AND HAVE WOODEN STAKES PLACED ON EACH SIDE. STAKES SHOULD BE FLAGGED OR PAINTED FOR VISIBILITY.
- DENSITY TESTS BY AN INDEPENDENT TESTING LAB ARE TO BE MADE AS DIRECTED BY THE CITY INSPECTOR AT THE OWNER'S EXPENSE.

**ROADWAY:**

- THE MOST CURRENT EDITIONS OF THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD SPECIFICATIONS FOR ROADS AND STRUCTURES AND THE NORTH CAROLINA DEPARTMENT OF TRANSPORTATION STANDARD DRAWINGS WILL GOVERN ALL ROADWAY CONSTRUCTION UNLESS OTHERWISE SPECIFIED HEREIN. CONTRACTOR IS RESPONSIBLE FOR LOCATING ALL EXISTING UTILITIES PRIOR TO START OF CONSTRUCTION.
- ALL STORM SEWER PIPE SHALL BE REINFORCED CONCRETE PIPE (RCP) (15" MIN. DIAMETER) UNLESS OTHERWISE NOTED. RCP SHALL BE MINIMUM CLASS III AND JOINTS MUST HAVE O-RINGS OR FLEXIBLE JOINT MATERIAL. METAL PIPE SHALL BE CORRUGATED ALUMINUM PIPE (CAP). CAP MUST HAVE HUGGER BAND CONNECTORS WITH FLAT GASKETS. AASHTO M197 AND/OR ASTM B744 MUST BE CLEARLY MARKED ON ALL CAP.
- ALL DRAINAGE STRUCTURES MUST MEET NCDOT STANDARDS. SOLID WALL, PRECAST CONCRETE STRUCTURES CONFORMING TO NCDOT 840.45 ARE ACCEPTABLE (NO WAFLE WALLS). ALL PIPE OPENINGS IN PRECAST STRUCTURES MUST BE CAST OR CORED. CATCH BASINS FOR CURB AND GUTTER MUST CONFORM TO NCDOT 840.01 OR 840.02 AND NCDOT 840.03. NCDOT APPROVED PRECAST CONCRETE MANHOLES ARE ACCEPTED AS SUBSTITUTES FOR CATCH BASINS.
- FRAMES, GRATES AND HOODS SHALL BE MANUFACTURED AND INSTALLED PER CITY OF KING SPECS AND STANDARDS. KING SD-4 & SD-5.

THE NAME OF THE MANUFACTURER MUST BE PERMANENTLY CAST ON THE FRAME AND ON THE GRATE.

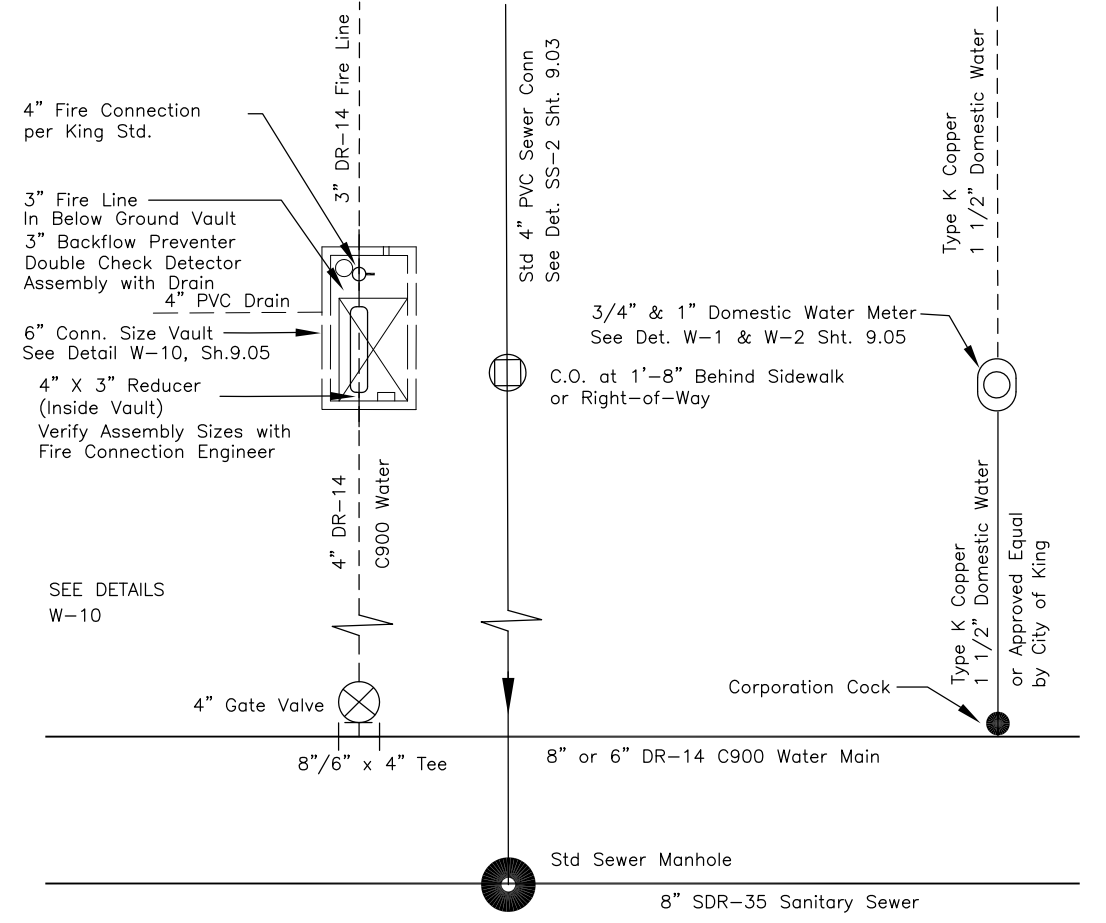
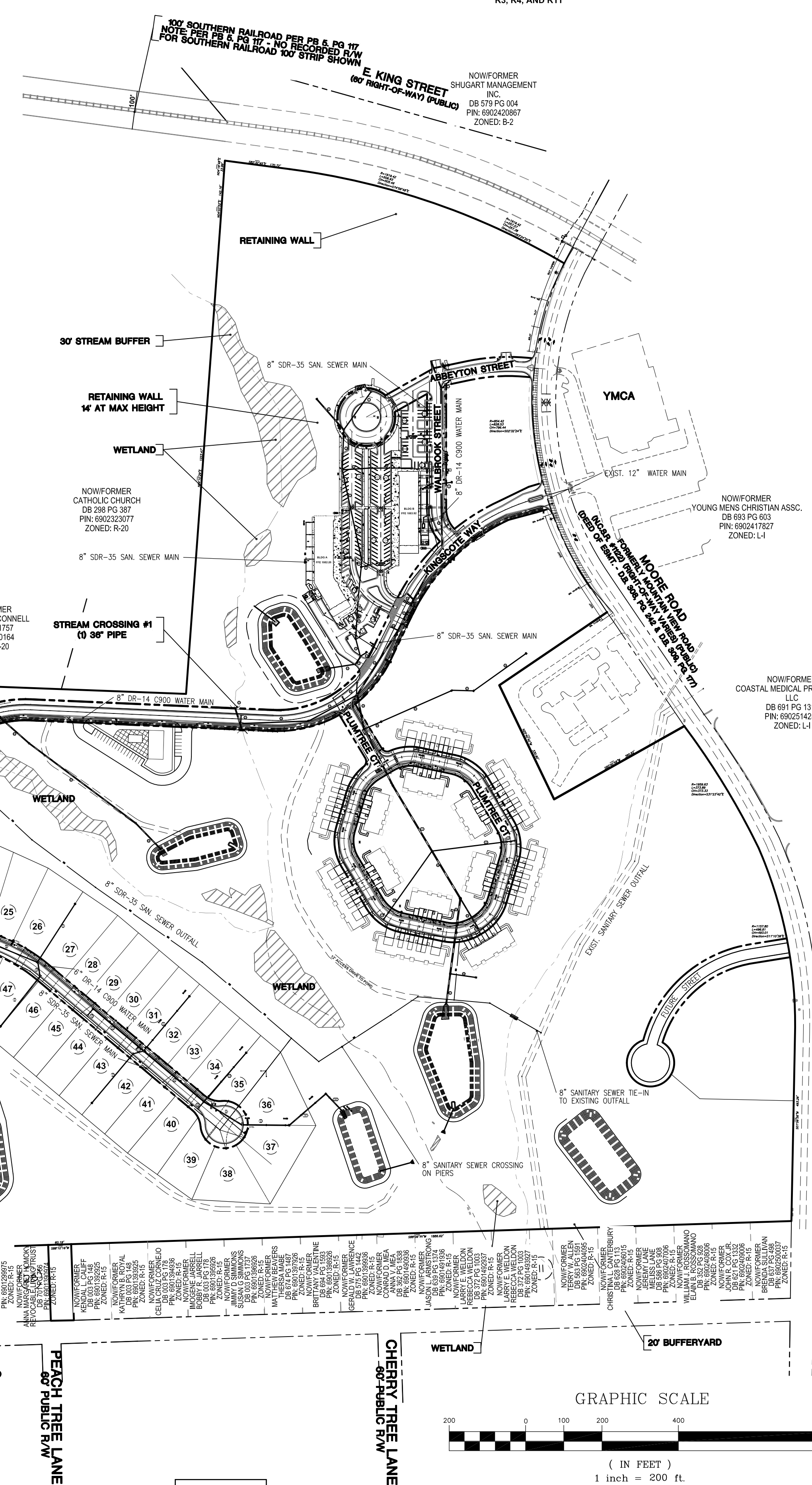
DOUBLE CATCH BASINS SHALL BE TWO SEPARATE BASINS WITH RCP BETWEEN THE BASINS. THE RCP SHALL BE GREATER THAN OR EQUAL TO THE SIZE OF THE OUTLET PIPE.

IF A DRIVEWAY LOCATION CONFLICTS WITH A CATCH BASIN, THE FOLLOWING FRAME AND GRATE SHALL BE USED:

EAST JORDAN IRON WORKS, INC. - CATALOG NUMBER V-4510

- ALL SUBGRADE UNDER PAVED AREAS, CURB AND GUTTER, SIDEWALK, AND ROADWAY SHOULDERS SHALL BE COMPACTED TO AT LEAST 95% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T99 AND THE NCDOT. THE FINAL 12" OF SUBGRADE UNDER PAVED AREAS AND UNDER CURB AND GUTTER SHALL BE COMPACTED TO 100%. DENSITY TESTS BY AN INDEPENDENT TESTING LAB ARE TO BE MADE AS DIRECTED BY THE CITY INSPECTOR AT THE OWNER'S EXPENSE. THE SUBGRADE SHALL BE PROOF ROLLED (MIN. 25 TONS) AND WITNESSED BY THE INSPECTOR PRIOR TO THE PLACEMENT OF STONE OR ASPHALT BASE. THE PROOF ROLL SHALL PROVIDE A NON-YIELDING SURFACE (PUMPING, RUTTING, SATURATED SOIL, ETC. ARE UNACCEPTABLE). FOR SUBGRADE UNDER SIDEWALKS, CITY INSPECTOR WILL PROBE TO DETERMINE IF THE SUBGRADE IS SUFFICIENTLY COMPACTED.
- ALL STONE BASE SHALL BE COMPACTED TO AN AVERAGE OF 98% OF THE MAXIMUM DRY DENSITY AS DETERMINED BY AASHTO T180 AND THE NCDOT. THE UNIT WEIGHT AND OPTIMUM MOISTURE CONTENT WILL BE THE LATEST NUMBERS ON FILE AT THE QUARRY FROM WHICH THE ABC STONE IS OBTAINED. ON-SITE TESTS (AT OWNER'S EXPENSE) MAY BE REQUIRED TO VERIFY THE UNIT WEIGHT AND MOISTURE NUMBERS. STONE FROM DIFFERENT QUARRIES SHALL NOT BE MIXED. DENSITY WILL BE TESTED WITH A NUCLEAR DENSITY GAUGE BY THE CITY INSPECTOR. THE INSPECTOR'S RESULTS ARE FINAL. MOISTURE CONTENT (AS TESTED BY THE INSPECTOR) MUST BE NO MORE THAN THE OPTIMUM MOISTURE CONTENT PRIOR TO PAVING. THE STONE BASE SHALL ALSO BE PROOF ROLLED (MIN. 25 TONS) AND WITNESSED BY THE INSPECTOR PRIOR TO PAVING. THE PROOF ROLL SHALL PROVIDE A NON-YIELDING SURFACE (PUMPING, RUTTING, SATURATED STONE, ETC. ARE UNACCEPTABLE). IF RAINFALL OCCURS AFTER TESTING BUT PRIOR TO PAVING, THE INSPECTOR AND ENGINEERING FIELD MANAGER WILL DETERMINE IF ADDITIONAL TESTING AND/OR PROOF ROLL WILL BE REQUIRED.

- THE CITY INSPECTOR RESERVES THE RIGHT TO TEST ASPHALT BY CORE SAMPLING OR BY NUCLEAR METHODS AT THE OWNER'S EXPENSE.
- TRACK COAT TO BE APPLIED TO ALL EXISTING ASPHALT SURFACES PRIOR TO PLACING NEW ASPHALT.
- FINAL LIFT OF ASPHALT TO MATCH GUTTER (MAXIMUM 1/4" ABOVE GUTTER), ASPHALT BELOW GUTTER IS UNACCEPTABLE.
- SUB-DRAINS TO BE CONSTRUCTED AS REQUIRED BY CITY INSPECTOR TO STABILIZE THE SUBGRADE. METHOD TO BE DETERMINED BY OWNER'S TESTING LAB OR OWNER'S ENGINEER.
- EXISTING CURB AND GUTTER AND PAVEMENT TO BE REPLACED OR REPAIRED AS REQUIRED TO TIE TO SOUND MATERIAL.



Water, Sewer & Sprinkler/FDC Connection Details

NOTES:  
 THIS IS NOT AN ACTUAL SURVEY BY GUPTON'S ROYAL DESIGN GROUP. BOUNDARY INFORMATION FROM PLATS, DEEDS OF RECORD, OR MAPS BY OTHERS. TOPOGRAPHIC INFORMATION AND DATA SHOWN ON THIS PLAN WERE TAKEN FROM STOKES COUNTY MAPS.

