



Planning and Zoning Commission Meeting - Regular AGENDA

Tuesday, May 11, 2021 at 4:30 PM
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

In recognition of the Coronavirus (COVID-19), members of the public may observe the meeting live on the City's website at ketchumidaho.org/meetings.

If you would like to comment on the agenda item, please submit your comment to participate@ketchumidaho.org by noon the day of the meeting.

Comments will be provided to the Planning and Zoning Commission.

If you would like to phone in and provide comment on the agenda item, please find the instructions, phone number, and meeting identification on the following page of this agenda. You will be called upon for comment during that agenda item.

If you would like to provide comment on the agenda item in person, you may speak to the Commission when called upon but must leave the room after speaking and observe the meeting outside City Hall.

CALL TO ORDER

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

CONSENT CALENDAR—ACTION ITEMS

1. Minutes of April 27, 2021

COMMUNICATIONS FROM STAFF – ACTION ITEMS

2. Bluebird Village Community Housing Project, P 21-027 Pre-Design Review

The project is proposed at 480 East Avenue. The project consists of two buildings providing 56 units of community housing within 60,038 square feet. A total of 49 parking space are proposed for the project.

The Planning and Zoning Commission will take public comment and discuss with the applicant the proposed design.

STAFF REPORTS & CITY COUNCIL MEETING UPDATE

ADJOURNMENT

PUBLIC CALL-IN INFORMATION

You may listen to the meeting through your phone or watch and listen by live streaming. If you would like to provide public comment on the agenda item, please following these instructions.

1. Dial the number below and provide the meeting ID. You may only provide comment by phone.
2. Mute your phone until the last four digits of your phone number are called out by staff.
3. **When your phone number is identified to testify, mute the sound on your computer or other device that is live streaming the meeting. Press *6 to unmute your phone to speak.**

4. Provide your testimony on your phone and respond to any questions on your phone. You can hear the meeting through your phone.
5. When your testimony is complete, hang up the phone. You can continue watching the meeting through live streaming.

You will be muted until you are called upon to testify,
please do not unmute your phone until you are asked to testify.

The public has 3 minutes to provide testimony to the
Planning and Zoning Commission.

Please keep your comments to 3 minutes.

May 11, 2021

Public Call-In Number: 1-253-215-8782

Meeting ID: 947 3972 6664

Any person needing special accommodations to participate in the meeting should contact the City Clerk's Office as soon as reasonably possible at 726-3841. All times indicated are estimated times, and items may be heard earlier or later than indicated on the agenda.



Planning and Zoning Commission - Special Meeting MINUTES

Tuesday, April 27, 2021 at 4:30 PM
Ketchum City Hall
480 East Avenue North, Ketchum, ID 83340

CALL TO ORDER

The meeting was called to order at 4:37 pm by Chairman Neil Morrow.

PRESENT

Chairman Neil Morrow
Vice-Chairman Mattie Mead
Commissioner Tim Carter
Commissioner Jennifer Cosgrove - via teleconference
Commissioner Brenda Moczygemba

COMMISSION REPORTS AND EX PARTE DISCUSSION DISCLOSURE

Commissioner Moczygemba drove by Westcliff Townhomes and spoke to the broker but did not discuss the project with him. She also walked by Warm Springs Ranch.

Commissioner Cosgrove drove by Warm Springs Ranch.

CONSENT CALENDAR — ACTION ITEMS

1. Minutes of March 23, 2021.

Motion to approve the Minutes of March 23, 2021.

Motion made by Vice-Chairman Mead, Seconded by Commissioner Moczygemba.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

2. ACTION ITEM: Recommendation to approve Swan Streambank Alteration Amendment P18-131 Findings of Fact and Conclusions of Law.

Director Suzanne Frick noted the Findings of Fact now reflect the changes made by the Commission at the last meeting.

Motion to approve the Findings of Fact and Conclusions of Law denying the Swan Streambank Alteration Amendment Application.

Motion made by Vice-Chairman Mead, Seconded by Commissioner Moczygemba.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

PUBLIC HEARINGS AND COMMUNICATIONS FROM STAFF – ACTION ITEMS

3. ACTION ITEM: Continued from March 23, 2021: Westcliff Townhomes Design Review and Townhouse Subdivision Preliminary Plat with Phased Development Agreement: 106 and 110 Rember Street (Bavarian Village Subdivision: Lot 3B) The Commission will consider and take action on a new four-unit, multi-family residential development comprised of four detached 3,737-square-foot townhome units and associated site improvements. The project's proposed FAR with a parking credit for the site's groundwater issues is .67.

Associate Planner Abby Rivin introduced the project, providing options for the screening and clearance of utilities. Options for the Commission to consider are:

- 1) Continue for further review
- 2) Approve with conditions.

Pete Anderson, applicant, presented the project for four (4) townhomes, showing Elevations, Landscaping, Parking, and Civil plans. The screening of the mechanical equipment had become problematic.

Chair Morrow asked about the possibilities of camouflaging the utility box. Director Frick stated there is a different standard for the location of the transformer from Idaho Power. Idaho Power wants the box accessible on the street. Ketchum does not want it on the walkway. Staff will meet with Idaho Power as to how to conceal the utility box.

Chair Morrow opened the floor to public comment.

Evan Robertson, developer, stated the property was purchased with the utility box in the same location. He questioned why it was the responsibility of the property owner.

Being no additional comments, Public Comment was closed.

Vice-Chair Mead liked the design and the landscaping.

Commissioners Cosgrove and Moczygemba agreed.

Chair Morrow felt it fit the area nicely.

Commissioner Carter was agreeable to approving with Conditions. Commissioner Cosgrove agreed.

Applicant Garth McClure asked for a change to the language as to who will propose change to the Utility Box.

Commissioner Moczygemba noted Idaho Power decisions were based on safety over design considerations.

Motion to approve the Westcliff Townhomes Design Review and Preliminary Plat, with Conditions 1-9. The applicant to work with Staff for Administrative Approval of the Utility Box or may return to the Commission for final approval on the May 25th PZ Meeting.

Motion made by Commissioner Carter, Seconded by Vice-Chairman Mead.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

Motion to recommend approval to City Council of the Westcliff Townhomes Preliminary Plat.

Motion made by Commissioner Carter, Seconded by Vice-Chairman Mead.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

4. **ACTION ITEM:** Recommendation to approve Warm Springs Ranch Floodplain Development Permit and Waterways Design Review Permit P21-002 for 1803 Warm Springs Road.

Director Frick introduced the project proposing to add fill to the floodplain and fill-in an old irrigation ditch and the restoration of the riparian areas. A comprehensive restoration plan would be presented when all riverfront parcels are sold.

Kurt Eggers, for the applicant, presented the riparian restoration project involving 13 riverfront lots. Eggers showed the evolution of the area of development and changes to the riparian area including the floodplain through the area. No building was proposed within the floodway.

Chuck Brockway, Brockway Engineering, spoke to the ineffective flow areas along the river. Filling it in would have no effect on the volume of water carried by the river.

Commissioner Mozygemba asked about the new willows along the river. Eggers noted they were "clumped" to discourage the new owners from planting non-native species.

Chair Morrow opened the floor to Public Comment.

Being no comments, Public Comment was closed.

Commissioners Moczygemba and Cosgrove were concerned with the new FEMA regulations and the development of the lots in the floodway.

Vice-Chair Mead had no concerns.

Commissioner Carter appreciated the thorough job done by Staff. He stated this was an opportunity to restore the habitat of Warm Springs Ranch as well as the stream itself. He was willing to approve but wanted to see a comprehensive plan for restoration when the parcels were sold.

Commissioner Moczygemba

Motion to approve the Warm Springs Ranch Floodplain Development Permit and Waterways Design Review with the added Condition that the applicant obtains all regulatory permits from FEMA and adopt the attached Findings of Fact and Conclusions of Law.

Motion made by Commissioner Carter, Seconded by Commissioner Moczygemba.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

STAFF AND COMMISSION COMMUNICATIONS (Planning & Zoning Commission Deliberation, Public Comment may be taken)—ACTION ITEMS

The Blue Bird Housing Project Pre-Design Review will be before the Planning and Zoning Commission at the May 11th meeting.

Vice-Chair Mead asked if deed restrictions change with the sale of a property. Director Frick noted all covenants transfer with the property for the Community Housing units. The market rate units are subject to change.

The Commission expressed their disappointment in the sale of the Ketch buildings and the rent increases on the market rate units.

ADJOURNMENT

Motion to adjourn at 6:58 PM.

Motion made by Chairman Morrow, Seconded by Commissioner Carter.

Voting Yea: Chairman Morrow, Vice-Chairman Mead, Commissioner Carter, Commissioner Cosgrove, Commissioner Moczygemba

Neil Morrow
Chairman Planning and Zoning Commission



**City of Ketchum
Planning & Building**

**STAFF REPORT
KETCHUM PLANNING AND ZONING COMMISSION
REGULAR MEETING OF MAY 11, 2021**

- PROJECT:** Bluebird Village Community Housing Project
- FILE NUMBER:** P 21-027
- APPLICATION TYPE:** Pre-Application Design Review
- ARCHITECT:** Michael Doty, Michael Doty Associates
- DEVELOPER:** Greg Dunfield, GMD Development, Ketchum Community Development Corporation
- PROPERTY OWNER:** City of Ketchum
- REQUEST:** Pre-Application Design Review for the development of a new community housing project consisting of two buildings containing 56 deed restricted units and retail on the ground floor. Building height for Building A (East Ave and 5th Street) is 50'-9" and Building B (5th Street) is 48'-1/2. There are 49 parking spaces provided.
- LOCATION:** 480 East Avenue, Lot 3A Block 45 and West 75' of Lots 7 and 8 in Block 45 of the Ketchum Township.
- ZONING:** Retail Core of the Community Core (CC-1)

POLICY BACKGROUND

For 52 years, the community of Ketchum has acknowledged the need to maintain and diversify housing within the city to retain a permanent population and labor force. The first policy statement on the need for affordable housing was adopted in 1969 in a city resolution that stated, "employment in the Ketchum area has drastically increased, to the end that a severe housing shortage exists for low-income families."

By the time the city adopted its first Comprehensive Plan in 1983, there was a firm understanding of the housing pressures and resulting consequences, "With the apparent high profitability of speculative and second-home production, the private sector has done little to develop housing affordable by residents of lower and moderate incomes [. . .] In order to encourage the construction of employee housing and affordable housing for low and moderate income persons, incentives should be developed by the City."

Twenty years later, the housing concerns had escalated without arrest and the 2001 Comprehensive Plan focused heavily on housing, emphasizing its role in a healthy community, "The City of Ketchum recognizes the

need for a balanced and sustainable housing supply for residents, employees and visitors. An adequate and diverse housing supply in Ketchum is needed to ensure the viability of town life and businesses". As discussed in the 2001 Comprehensive Plan, healthy communities provide permanent living units for a diverse group of people, making it possible to live and work within the community year-round.

The need for affordable housing was further reinforced in the 2014 Comprehensive Plan stating, "The Ketchum community wants the majority of people who work in Ketchum to have an opportunity to reside [in Ketchum]". It goes on to say "We also want people who have lived here to be able to stay here regardless of their age. We know that a diversity of housing is critically linked to a strong economy and year-round population." Citizens and community stakeholders contributed to the goals and policies of the 2014 plan, it was a community driven effort.

COMMUNITY HOUSING IN THE COMMUNITY CORE

Since 1994, deed-restricted community housing has been encouraged through development incentives in the Community Core of downtown Ketchum. The first regulations to incentivize development of deed-restricted housing for the local, full time, working population were enacted in 1994. Those incentives allowed additional height and floor area for community housing projects. Between 1994 and 2019, the incentives have increased in an effort to promote and develop community housing projects in the Community Core. Ketchum has long considered community housing projects to be a valuable and encouraged use within the downtown Community Core.

Presently, community housing projects are encouraged in the Community Core and are provided the following development incentives:

- No parking is required for community housing units.
- A height bonus of 10 feet is permitted (52 feet instead of 42 feet)
- The project floor area may exceed 2.25 subject to design review approval.

PRE-DESIGN REVIEW PROCESS

Pursuant to Ketchum Municipal Code (KMC) §17.96.010.A4, Design Review is required for the development of new mixed-use buildings. The proposed Bluebird Village project is subject to Pre-Application Design Review per Ketchum Municipal Code (KMC) §17.96.010.C.1. The purpose of Pre-Application Design Review is to allow the Commission to exchange ideas and give direction to the applicant on the preliminary design concept in relation to all Design Review criteria and evaluation standards (KMC §17.96.060). A complete analysis of each evaluation standard is included as an attachment to this report.

The Commission's focus is the project's compliance with KMC 17.96.050 (Criteria, Conditions and Security), 17.96.060 (Improvements and Standards), and 17.96.070 (Community Core Projects). The focus of the Planning and Zoning Commission is the project's conformance with the design review standards, design compatibility and integration of the design into the downtown core. The Commission does not have authority over the proposed use or determining if the location is suitable for the project. As outlined above, community housing projects are a permitted and encouraged use in the downtown core.

The proposed project plans and application materials are provided in Attachments A-D.

PROPOSED BLUEBIRD VILLAGE HOUSING PROJECT

The applicants, Greg Dunfield with GMD Development and Ketchum Community Development Corporation, are proposing a four story 56-unit deed restricted community housing project with ground floor commercial uses and 49 parking spaces. The location of the project is at the southeast corner of East Avenue and 5th Street and the parcel adjacent to the alley on 5th Street.

The project site consists of two parcels, Lot 3A (City Hall) and the west 75 feet of Lots 7 and 8 (rear parking lot). The City will be vacating 10 feet of the 30-foot wide alley adjacent to Lots 7 and 8 through a separate alley vacation and lot line shift.



As proposed, the project Floor Area Ratio is 2.29, and the building heights are 50'-9" for the building on Lot 3A and 48-1/2' for the building on Lots 7 and 8. The project is three stories at the East Avenue elevation with a fourth-floor setback from the face of the building along with a fourth-floor roof deck. (Figure 1)



Figure 1

Along 5th Street, the project heights are three stories and four stories. A walkway connecting the two buildings is proposed over the alley (Figure 2)



Figure 2

At the ground floor and above, the majority of both buildings extend to the edge of the property lines with the exception of the East Avenue ground floor frontage which has portions of the building setback from the sidewalk. The majority of the second, third and fourth floor are setback from the property lines. Features such as elevator and stair shafts extend to the property line (see Figures 3, 4 and 5).

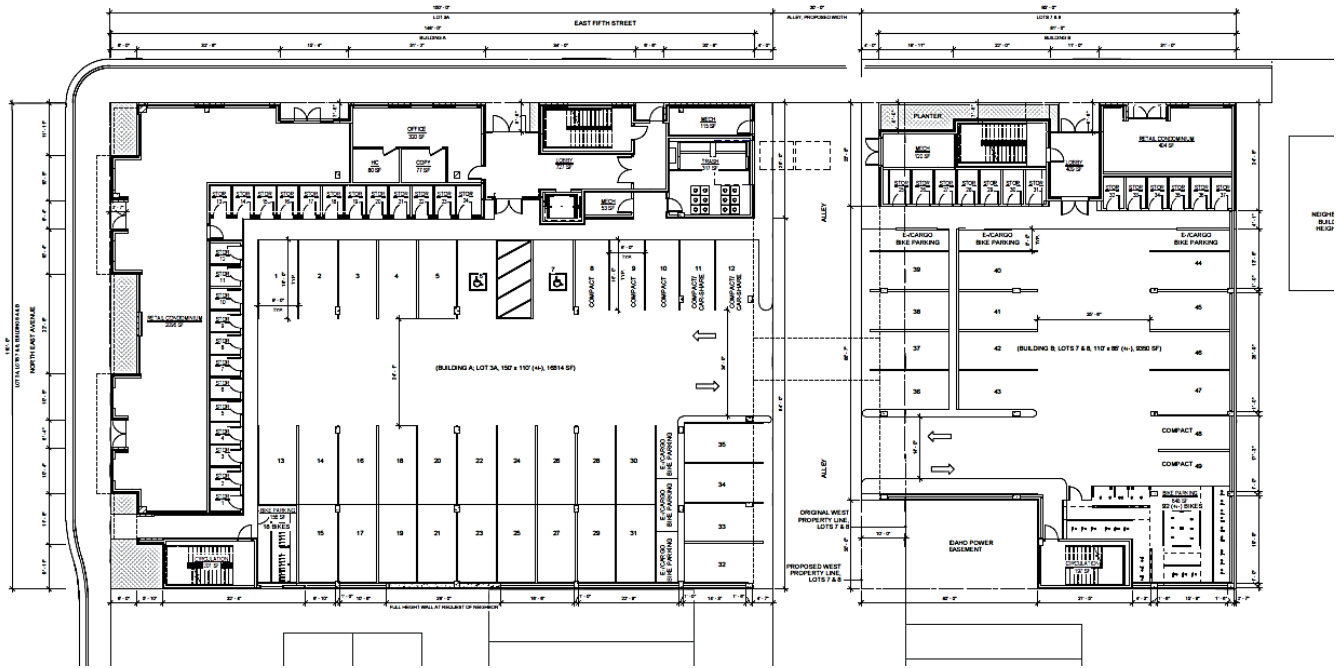


Figure 3



Figure 4



Figure 5

COMPLIANCE WITH CODE

The chart below provides the project compliance with the key development standards in the Community Core District. The full analysis is contained in Attachment E.

| Requirement | Code Standard | Project Compliance |
|-----------------------------------|--|--|
| Permitted Use | Deed restricted community housing is encouraged in the Community Core (in effect since 1994) | 56 deed restricted community housing units |
| Permitted Height | 52 Feet (height bonuses in effect since 2006) | Building on Lot 3A: 50'-9" Building on Lots 7&8: 48'-1/2" |
| Required Parking | No parking required (in effect since 2006) | 49 parking spaces provided |
| Maximum FAR | May exceed 2.25 FAR Subject to design review (FAR bonus in effect since 1994) | 2.29 |
| Setbacks Front and street side | 0 feet | Street setbacks range from 0 to 6 feet |

| | | |
|-----------------------------------|---------|---|
| Setback adjacent to alley | 3 feet | Needs to be clarified, portions of the buildings appear to encroach into the 3-foot alley setback |
| Rear side not adjacent to alley | 0 feet | 0 feet with the exception of the Idaho Power easement |
| Interior side | 0 feet | 0 feet |
| Setback for 4 th Floor | 10 feet | Setbacks range from 36 feet to 0 feet The city will propose a text amendment to allow averaging of the 10-foot setback to provide design flexibility but no increase in square footage that otherwise would be permitted on the fourth floor |

The project is in conformance with the development standards for the Community Core District with the exception of the fourth-floor setbacks. When the project proceeds to design review, three separate applications will be subject to review and approval. The design review application by the applicant, an alley vacation/lot line shift application from the City and a proposed text amendment requested by the City.

While the project is in conformance with the development standards, the Planning and Zoning Commission has the authority to request modifications to the design, massing, materials, and other building elements of the project to ensure the project is compatible and complimentary to the downtown and surrounding structures (KMC 17.96.060 E, F and 17.96.070) Attachment F.

BUILDING MATERIALS

The proposed exterior building finishes consist of an eclectic variety of colors, materials and textures. The East Avenue façade is primarily brick siding accented with wood board and fiber cement panels. The Fifth Street façade continues the mixture of brick siding, wood board and cement panels. All materials are identified on page PDR A.9.00. One of the recommendations for Commission consideration is the variety, placement and type of façade materials proposed.

PROJECT PARKING

Since 2006, no parking has been required for deed restricted community housing units in the Community Core. Affordable housing units that ensure Ketchum continues to be a diverse community with a mixture of housing types and affordability, outweigh the need to provide on-site parking. That has been the priority in Ketchum for 15 years.

While no parking is required for this project, the applicant is providing 49 on-site parking spaces, a car share program with two vehicles for residents, secure bike parking, and electric bike charging stations. The parking configuration consists of 49 spaces, 18 of the spaces are arranged in a tandem configuration, 7 are compact, with 2 designated for the car share vehicles. The Planning and Zoning Commission has approved tandem parking as the configuration for required parking for a number of market rate multi-family residential projects in the downtown and in other areas. In this case, the parking is not required, however the configuration is consistent with other projects approved by the Commission.

A parking analysis was prepared by AECOM, a traffic engineering firm that has conducted other parking and traffic studies in the city of Ketchum (Attachment C). The conclusions of the report indicate the project will generate a need between 0-12 off-site parking spaces. Currently, the off-site parking demand during the day for the existing City Hall use is approximately 20 vehicles (employees and visitors). Therefore, during the day, there is no net new on-street parking demand.

Currently, there is no on-street demand for parking during evening hours after City Hall is closed. It is anticipated the project residents will create a demand for on-street parking during the evening hours. The issue may be exacerbated in winter when on-street parking is prohibited from 2:00 AM to 7:00 AM November 1 to May 1 of each year. Prior to issuance of a certificate of occupancy, the applicant and City should develop a mitigation plan to address resident demand for on-street parking in the winter.

ISSUES FOR PLANNING AND ZONING COMMISSION CONSIDERATION

Staff recommends the Planning and Zoning Commission consider the following issues for discussion with the applicant.

- Discuss design modifications to help reduce the perceived building mass and scale and improve integration of the design into the surrounding context.
- Evaluate additional building articulation and design features to reduce the stark appearance of a hard-edge rectangular structure.
- Address the blank walls and lack of pedestrian interaction along the 5th Street elevation just west of and east of the alley.
- Review and discuss the building setbacks and relationship to the adjacent buildings along the south property line.
- Evaluate the proposed materials, textures and appearance of the exterior façades.

RECOMMENDATION

After considering the Pre-Application Design Review submittal attached as Exhibit A, the applicant's presentation, and any public comment received, Staff recommends the Commission provide feedback to the applicant and move to either:

- (a) Continue the Pre-Application Design Review to a date certain and direct the applicant to submit new drawings, renderings, or information that respond to the Commission's review of the project plans and the design concept, or
- (b) Advance the Bluebird Village project to final Design Review.

ATTACHMENTS:

- A. Bluebird Village Proposed Project Plans
- B. Applicant Project Information
- C. Parking Study
- D. Application Submittal
- E. Code Compliance Analysis
- F. Standards for Review
- G. Public Comment

ATTACHMENT A PROJECT PLANS



INDEX TO DRAWINGS

| | |
|--------------|---|
| P D R G0.00 | PROJECT COVER |
| P D R G1.00 | VICINITY MAP |
| P D R G2.00 | VICINITY PHOTOS |
| P D R G2.01 | VICINITY PHOTOS |
| P D R C0.00 | CIVIL COVER |
| P D R C1.00 | CONTEXTUAL HEIGHTS EXHIBIT |
| P D R C1.00B | CONTEXTUAL HEIGHTS EXHIBIT - BLOCK 45 |
| P D R C1.01 | SITE SURVEY |
| P D R C1.02 | PROPOSED GRADING, DRAINAGE, & UTILITIES PLAN |
| P D R C2.01 | DETAILS |
| P D R C2.02 | DETAILS |
| P D R L1.01 | PROPOSED GROUND LEVEL LANDSCAPE PLAN |
| P D R L1.02 | PROPOSED 2ND FLOOR LANDSCAPE PLAN |
| P D R L1.04 | PROPOSED 4TH FLOOR LANDSCAPE PLAN |
| P D R A1.00 | PROPOSED ARCHITECTURAL SITE PLAN |
| P D R A1.01 | PROPOSED ARCHITECTURAL SITE PLAN - GROUND LEVEL |
| P D R A1.02 | PROPOSED SECOND FLOOR PLAN |
| P D R A1.03 | PROPOSED THIRD FLOOR PLAN |
| P D R A1.04 | PROPOSED FOURTH FLOOR PLAN |
| P D R A1.05 | PROPOSED ROOF PLAN |
| P D R A2.01 | PROPOSED BUILDING ELEVATIONS - WEST & NORTH |
| P D R A2.02 | PROPOSED BUILDING ELEVATIONS - EAST & SOUTH |
| P D R A2.03 | PROPOSED BUILDING ELEVATIONS - ALLEY |
| P D R A3.01 | PROPOSED BUILDING SECTION |
| P D R A6.00 | FLOOR AREA + FLOOR AREA RATIO |
| P D R A6.01 | PROPOSED MASTER SIGNAGE PLAN |
| P D R A9.00 | PROPOSED EXTERIOR FINISHES |
| P D R A9.00B | PROPOSED EXTERIOR FINISHES (11 x 17) |
| P D R A9.01 | PROPOSED NW CORNER VIEW |
| P D R A9.02 | PROPOSED EAST AVENUE FACADE |
| P D R A9.03 | PROPOSED NE CORNER VIEW |
| P D R A9.04 | PROPOSED FIFTH STREET FACADE |
| P D R A9.05 | PROPOSED SW CORNER VIEW |
| P D R A9.06 | PROPOSED SE CORNER VIEW |
| P D R A9.07 | PROPOSED & EXISTING VIEW FROM SOUTHERN NEIGHBOR |
| P D R E0.00 | LEGENDS, KEYS, NOTES |
| P D R E1.00 | PROPOSED ELECTRICAL SITE PLAN |
| P D R E1.01 | PROPOSED ELECTRICAL SITE PHOTOMETRIC PLAN |
| P D R E1.04 | PROPOSED 4TH FLOOR EXTERIOR LIGHTING PLAN |
| P D R E2.00 | PROPOSED SITE LIGHTING FIXTURE SCHEDULE + SPEC SHEETS |
| P D R K0.00 | GENERAL CONTRACTOR COVER |
| P D R K1.01 | PROPOSED CONSTRUCTION MANAGEMENT PLAN |
| P D R K1.02 | PROPOSED CONSTRUCTION MANAGEMENT PLAN |

MATERIAL SYMBOLS

| PLAN AND SECTION | | ELEVATION | |
|------------------|----------------------------------|-----------|---|
| | EARTH / TOP SOIL | | SIDING - WOOD |
| | WASHED ROCK | | SIDING - FIBER CEMENT/ PHENOLIC CORE PANEL |
| | ASPHALT PAVING/ ROADBED MATL. | | BRICK |
| | CONCRETE | | CONCRETE |
| | BRICK | | STUCCO |
| | CONCRETE MASONRY UNIT | | GLASS |
| | CUT STONE | | CONCRETE MASONRY UNIT |
| | STEEL | | |
| | ALUMINUM | | |
| | | | PLYWOOD |
| | | | FINISH WOOD |
| | | | SAND, PLASTER, GYPSUM BOARD |
| | | | BATT INSULATION |
| | | | BIBS INSULATION |
| | | | RIGID INSULATION |
| | | | SPRAY FOAM INSULATION |
| | | | WALL - NEW CONSTRUCTION |
| | | | WALL - EXISTING TO REMAIN |
| | | | WALL - TO BE DEMOLISHED |

PROJECT TEAM

| | | | |
|----------------------|---|----------------------|---|
| OWNER: | GMD Development Greg Dunfield 520 Pike Street, Suite 1010 Seattle, Washington 98101 greg@gmddevelopment.com | LANDSCAPE ARCHITECT: | BYLA Landscape Architects Chase Gouley PO Box 594 323 North Lewis Street, Suite N Ketchum, Idaho 83340 (208) 726-5907 chase@byla.us |
| ARCHITECT: | Michael Doty Associates, Architects, PC PO Box 2792 371 Washington Avenue North Ketchum, Idaho 83340 (208) 726-4228 mike@mda-arc.com | CIVIL ENGINEER: | Galena Engineering, Inc. Sean Flynn 317 North River Street Hailey, Idaho 83333 (208) 788-1705 sflynn@galena-engineering.com |
| GENERAL CONTRACTOR: | Conrad Brothers Construction Paul Conrad PO Box 3432 1320 Heroic Road Hailey, ID 83333 (208) 726-3830 paul@conradbrothersconstruction.com | | |
| STRUCTURAL ENGINEER: | Frost Structural Engineering Markell Bateman 1020 Lincoln Road Idaho Falls, ID 83401 (208) 227-8404 x 201 markellb@froststructural.com | | |

PROJECT DATA

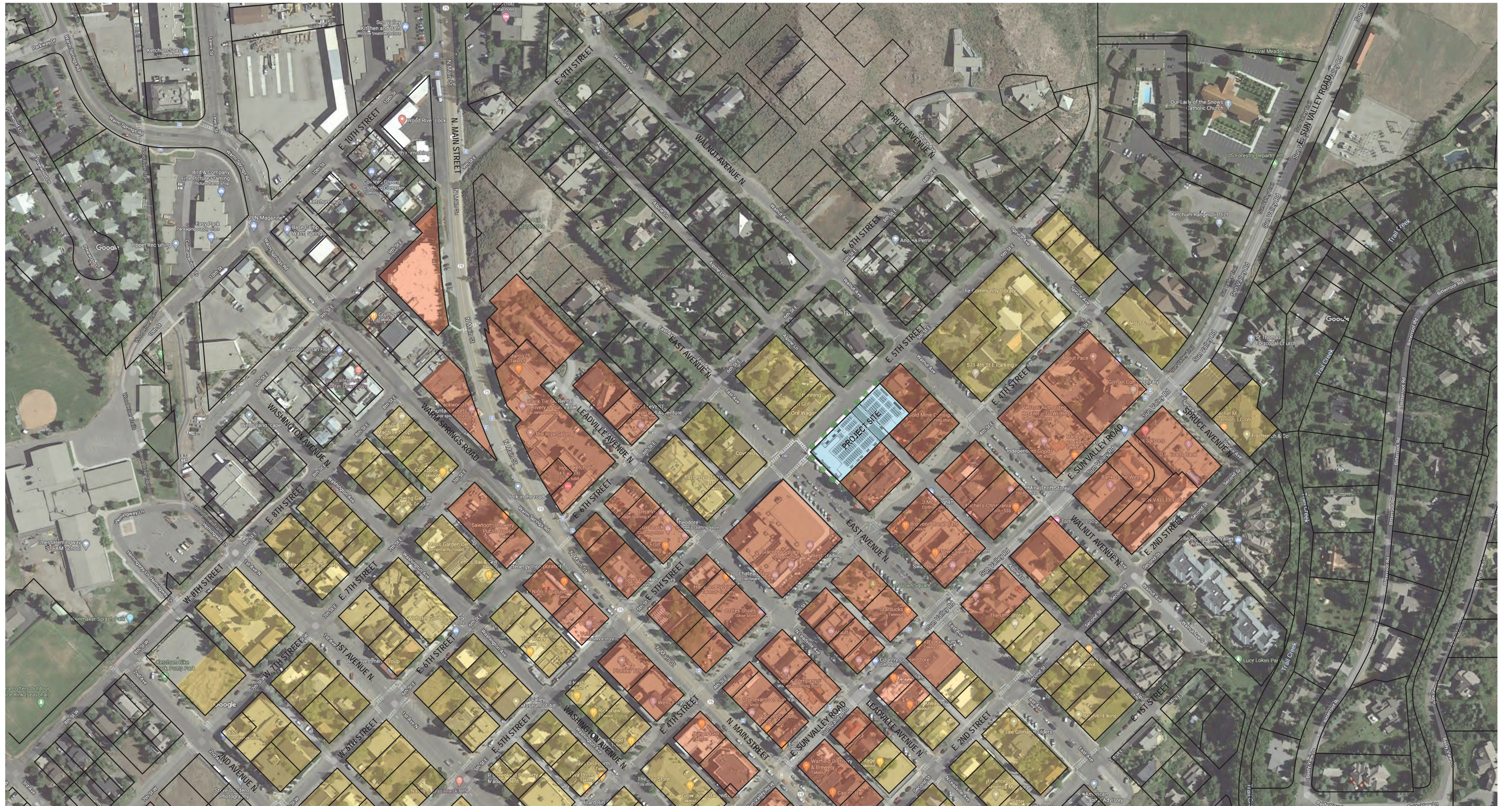
| | |
|------------------------|---|
| LEGAL DESCRIPTION: | LOT 3A, LOT 7, LOT 8, BLOCK 45, KETCHUM TOWNSITE, KETCHUM, IDAHO |
| ZONING: | CC-1 COMMUNITY CORE, RETAIL |
| CONSTRUCTION TYPE: | TYPE V-A |
| OCCUPANCY: | RESIDENTIAL GROUP R-2 BUSINESS GROUP B STORAGE GROUP S-2 ASSEMBLY GROUP A-3 |
| BUILDING AREA (GROSS): | GROUND FLOOR BLDG A: 5086 SF GROUND FLOOR BLDG B: 1663 SF 2ND FLOOR BLDG A: 12831 SF 2ND FLOOR BLDG B: 6031 SF 3RD FLOOR: 19186 SF 4TH FLOOR BLDG A: 9135 SF 4TH FLOOR BLDG B: 6106 SF TOTAL: 60038 SF |
| FIRE SPRINKLER SYSTEM: | NFPA 13 THROUGHOUT |
| SITE AREA: | 26164 SQ. FT. (0.60 ACRES) |
| CODES: | 2018 INTERNATIONAL BUILDING CODE (2018 IBC) AS ADOPTED BY CITY OF KETCHUM BUILDING DEPT. |
| JURISDICTIONS: | CITY OF KETCHUM PLANNING & ZONING CITY OF KETCHUM BUILDING DEPARTMENT CITY OF KETCHUM FIRE DEPARTMENT |

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





PROJECT NORTH TRUE NORTH

VICINITY MAP

- PROJECT SITE
- COMMUNITY CORE SUBDISTRICT 1 - RETAIL CORE
- COMMUNITY CORE SUBDISTRICT 2 - MIXED USE

SCALE: 1" = 100'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





NW CORNER, EAST AVE. & FIFTH ST.



NE CORNER, FIFTH ST.



SW CORNER, EAST AVE. & 4TH ST.



SE VIEW, 4TH ST. & ALLEY

VICINITY PHOTOS

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





VIEW LOOKING WEST FROM ALLEY ALONG PROPERTY LINE



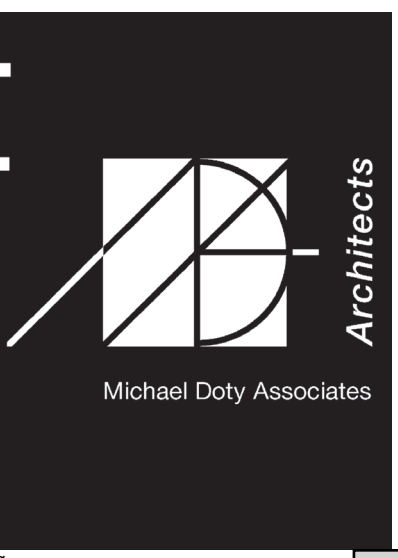
VIEW LOOKING SOUTHEAST ALONG PROPERTY LINE

VICINITY PHOTOS

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



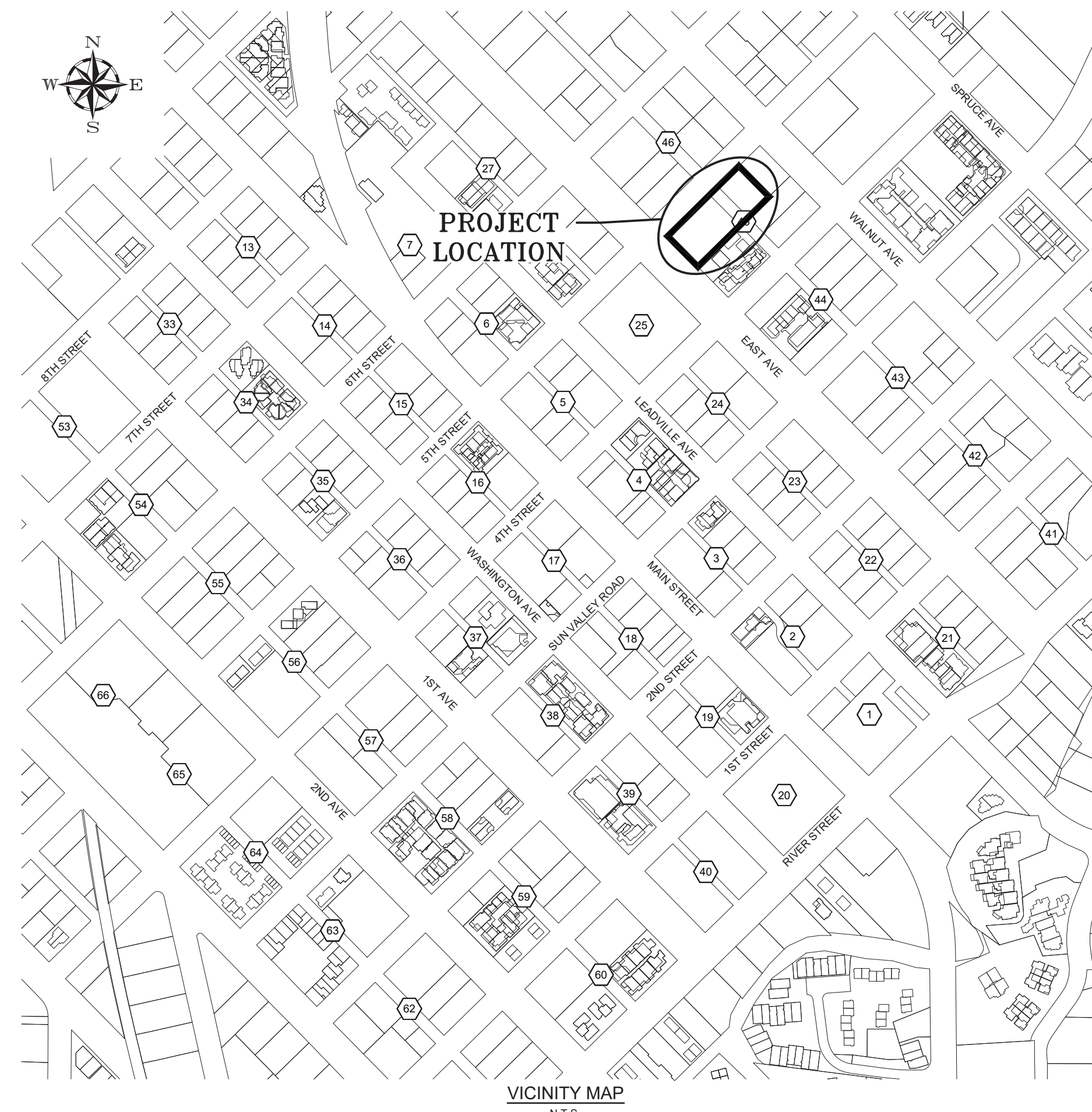
BLUEBIRD VILLAGE

CITY OF KETCHUM, BLAINE COUNTY, IDAHO

MARCH 2021

CONSTRUCTION NOTES

1. ALL CONSTRUCTION SHALL BE IN CONFORMANCE WITH THE MOST CURRENT EDITION OF THE "IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION" (ISPC) AND CITY OF KETCHUM STANDARDS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING AND KEEPING A COPY OF THE ISPC AND CITY OF KETCHUM STANDARDS ON SITE DURING CONSTRUCTION.
2. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN ON THE PLANS IN AN APPROXIMATE WAY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR LOCATING EXISTING UTILITIES PRIOR TO COMMENCING AND DURING THE CONSTRUCTION. THE CONTRACTOR AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH RESULT FROM HIS FAILURE TO ACCURATELY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. CONTRACTOR SHALL CALL DIGLINE (1-800-342-1585) TO LOCATE ALL EXISTING UNDERGROUND UTILITIES A MINIMUM OF 48 HOURS IN ADVANCE OF EXCAVATION.
3. CONTRACTOR SHALL COORDINATE RELOCATIONS OF DRY UTILITY FACILITIES (POWER, CABLE, PHONE, TV) WITH THE APPROPRIATE UTILITY FRANCHISE.
4. THE CONTRACTOR SHALL CLEAN UP THE SITE AFTER CONSTRUCTION SO THAT IT IS IN A CONDITION EQUAL TO OR BETTER THAN THAT WHICH EXISTED PRIOR TO CONSTRUCTION.
5. THE CONTRACTOR SHALL OBTAIN ALL NECESSARY PERMITS PRIOR TO CONSTRUCTION (THIS MAY INCLUDE ENCROACHMENT PERMITS AND NATIONAL POLLUTANT DISCHARGE ELIMINATION SYSTEM (NPDES) CONSTRUCTION GENERAL PERMIT (CGP) PERMIT COVERAGE).
6. ALL CLEARING & GRUBBING SHALL CONFORM TO ISPC SECTION 201.
7. ALL EXCAVATION & EMBANKMENT SHALL CONFORM TO ISPC SECTION 202. SUBGRADE SHALL BE EXCAVATED AND SHAPED TO LINE, GRADE, AND CROSS-SECTION SHOWN ON THE PLANS. THE SUBGRADE SHALL BE COMPACTED TO 95% OF MAXIMUM DENSITY AS DETERMINED BY ASTM D-698. THE CONTRACTOR SHALL WATER OR AERATE SUBGRADE AS NECESSARY TO OBTAIN OPTIMUM MOISTURE CONTENT. IN-LIEU OF DENSITY MEASUREMENTS, THE SUBGRADE MAY BE PROOF-ROLLED TO THE APPROVAL OF THE ENGINEER.
 - PROOF-ROLLING: AFTER EXCAVATION TO THE SUBGRADE ELEVATION AND PRIOR TO PLACING COURSE GRAVEL, THE CONTRACTOR SHALL PROOF ROLL THE SUBGRADE WITH A 5-TON SMOOTH DRUM ROLLER, LOADED WATER TRUCK, OR LOADED DUMP TRUCK, AS ACCEPTED BY THE ENGINEER. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER OF UNSUITABLE SUBGRADE MATERIAL AREAS, AND/OR AREAS NOT CAPABLE OF COMPACTION ACCORDING TO THESE SPECIFICATIONS. UNSUITABLE OR DAMAGED SUBGRADE IS WHEN THE SOIL MOVES, PUMPS AND/OR DISPLACES UNDER ANY TYPE OF PRESSURE INCLUDING FOOT TRAFFIC LOADS.
 - IF, IN THE OPINION OF THE ENGINEER, THE CONTRACTOR'S OPERATIONS RESULT IN DAMAGE TO, OR PROTECTION OF, THE SUBGRADE, THE CONTRACTOR SHALL, AT HIS OWN EXPENSE, REPAIR THE DAMAGED SUBGRADE BY OVER-EXCAVATION OF UNSUITABLE MATERIAL TO FIRM SUBSOIL, LINE EXCAVATION WITH GEOTEXTILE FABRIC, AND BACKFILL WITH PIT RUN GRAVEL.
8. ALL 2" MINUS GRAVEL SHALL CONFORM TO ISPC 802, TYPE II (ITD STANDARD 703.04, 2"), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 801 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 90% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99.
9. ALL 3/4" MINUS CRUSHED GRAVEL SHALL CONFORM TO ISPC 802, TYPE I (ITD STANDARD 703.04, 3/4" B), SHALL BE PLACED IN CONFORMANCE WITH ISPC SECTION 802 AND COMPACTED PER SECTION 202. MINIMUM COMPACTION OF PLACED MATERIAL SHALL BE 95% OF MAXIMUM LABORATORY DENSITY AS DETERMINED BY AASHTO T-99 OR ITD T-91.
10. ALL ASPHALTIC CONCRETE PAVEMENT WORK SHALL CONFORM TO ISPC SECTION(S) 805, 810, AND 811 FOR CLASS II PAVEMENT. ASPHALT AGGREGATE SHALL BE 1/2" (13MM) NOMINAL SIZE CONFORMING TO TABLE 803B IN ISPC SECTION 803. ASPHALT BINDER SHALL BE PG 58-28 CONFORMING TO TABLE A-1 IN ISPC SECTION 805.
11. ASPHALT SAWCUTS SHALL BE AS INDICATED ON THE DRAWINGS, OR 24" INCHES FROM EDGE OF EXISTING ASPHALT, IF NOT INDICATED OTHERWISE SO AS TO PROVIDE A CLEAN PAVEMENT EDGE FOR MATCHING. NO WHEEL CUTTING SHALL BE ALLOWED.
12. TRAFFIC CONTROL SHALL BE PER THE TRAFFIC CONTROL PLAN. CONTRACTOR WILL NEED TO MAINTAIN ACCESS TO ALL PRIVATE PROPERTIES, UNLESS OTHERWISE COORDINATE WITH THE PROPERTY OWNER THROUGH THE CITY ENGINEER.
13. ALL CONCRETE WORK SHALL CONFORM TO ISPC SECTIONS 701, 703, AND 705. ALL CONCRETE SHALL BE 3,000 PSI MINIMUM, 28 DAY, AS DEFINED IN ISPC SECTION 703, TABLE 1. IMMEDIATELY AFTER PLACEMENT PROTECT CONCRETE BY APPLYING MEMBRANE-FORMING CURING COMPOUND, TYPE 2, CLASS A PER ASTM C 309-94. APPLY CURING COMPOUND PER MANUFACTURER'S INSTRUCTIONS AND SPECIFICATIONS.
14. ALL TRENCHING SHALL CONFORM TO ISPC STANDARD DRAWING SD-301. TRENCHES SHALL BE BACKFILLED AND COMPACTED TO A MINIMUM OF 95% OF MAXIMUM DENSITY AS DETERMINED BY AASHTO T-99.
15. PER IDAHO CODE § 55-1613, THE CONTRACTOR SHALL RETAIN AND PROTECT ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS; ALL MONUMENTS, ACCESSORIES TO CORNERS, BENCHMARKS AND POINTS SET IN CONTROL SURVEYS THAT ARE LOST OR DISTURBED BY CONSTRUCTION SHALL BE REESTABLISHED AND RE-MONUMENTED, AT THE EXPENSE OF THE AGENCY OR PERSON CAUSING THEIR LOSS OR DISTURBANCE AT THEIR ORIGINAL LOCATION OR BY SETTING OF A WITNESS CORNER OR REFERENCE POINT OR A REPLACEMENT BENCHMARK OR CONTROL POINT, BY OR UNDER THE DIRECTION OF A PROFESSIONAL LAND SURVEYOR.
16. CONSTRUCTION OF WATER MAINS AND ALL OTHER RELATED APPURTENANCES SHALL BE IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), IDAPA 58.01.08, IDAHO RULES FOR PUBLIC DRINKING WATER SYSTEMS AND THE CITY OF KETCHUM UTILITIES DEPARTMENT STANDARDS.
17. CONTRACTOR SHALL PRESSURE TEST, DISINFECT, AND CONDUCT BIOLOGICAL TESTING IN ACCORDANCE WITH THE IDAHO STANDARDS FOR PUBLIC WORKS CONSTRUCTION (ISPC), AMERICAN WATER WORKS ASSOCIATION (AWWA) STANDARDS, AND THE PRESSURE TESTING, DISINFECTION, AND MICROBIOLOGICAL TESTING PROCEDURES.
18. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL BE ANSI/NSF STD. 61 COMPLIANT.
19. ALL WATER SUPPLY FIXTURES, FITTINGS, PIPING, AND ALL RELATED APPURTENANCES SHALL COMPLY WITH THE LOW LEAD ACT REQUIRING ALL MATERIALS TO HAVE A LEAD CONTENT EQUAL TO OR LESS THAN 0.25%.
20. THE CONTRACTOR SHALL USE ANSI/NSF STANDARD 60 CHEMICALS AND COMPOUNDS DURING INSTALLATION & DISINFECTION OF POTABLE WATER MAIN.
21. EXISTING CONDITIONS AND BOUNDARY INFORMATION SHOWN HEREON ARE PER A SURVEY CONDUCTED BY GALENA ENGINEERING. TOPOGRAPHIC INFORMATION IS AS IT EXISTED ON THE DATE THE FIELD SURVEY WAS PERFORMED (05/22/19).



SHEET INDEX

| SHEET# | DESCRIPTION |
|--------|-------------------------------------|
| C0.1 | COVER SHEET |
| C0.2 | DETAIL SHEET |
| C0.3 | DETAIL SHEET |
| C1.0 | GRADING, DRAINAGE, AND UTILITY PLAN |

COVER AND DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC
 PROJECT INFORMATION
 P:\sbs\p\98060\Draw\Construction\0600 Engineer 2021-02-23.dwg 03/29/21 10:18:41 AM
 DESIGNED BY _____
 CT
 DRAWN BY _____
 SMF
 CHECKED BY _____
GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com
 PURPOSE: ISSUE FOR INTERNAL REVIEW
 NO. DATE BY REVISIONS
 PDR0.00

LEGEND

| EXISTING ITEMS | | PROPOSED ITEMS | |
|----------------|-----------------------------|----------------|-----------------------------------|
| [Symbol] | Property Line | [Symbol] | PB = Buried Power Line |
| [Symbol] | Adjoinder's Lot Line | [Symbol] | Overhead Power Line |
| [Symbol] | Centerline | [Symbol] | Light |
| [Symbol] | Idaho Power Easement | [Symbol] | PBOX = Power Box |
| [Symbol] | FD5/8 = Found 5/8" Rebar | [Symbol] | PP = Power Pole |
| [Symbol] | FD1/2 = Found 1/2" Rebar | [Symbol] | EVAVLT = Power Vault |
| [Symbol] | CNTRL = Survey Control | [Symbol] | OUT = Power Outlet |
| [Symbol] | SET5/8 = Set 5/8" Rebar | [Symbol] | Sewer Main |
| [Symbol] | SET MAG = Set Mag Nail | [Symbol] | SS = Sewer Service |
| [Symbol] | 5' Contour Interval | [Symbol] | SMH = Sewer Manhole |
| [Symbol] | 1' Contour Interval | [Symbol] | Roof Drain |
| [Symbol] | Curb & Gutter | [Symbol] | Storm Drain |
| [Symbol] | FNC = Fence Line | [Symbol] | DWELL = Dry Well |
| [Symbol] | Building | [Symbol] | Ketchum Spring Line (10") |
| [Symbol] | Asphalt | [Symbol] | Ketchum Spring Line (4") |
| [Symbol] | Boll = Bollard | [Symbol] | WS = Water Service |
| [Symbol] | SGN = Sign | [Symbol] | WMTR = Water Meter |
| [Symbol] | GM = Gas Main | [Symbol] | FH = Fire Hydrant |
| [Symbol] | TVB = Cable TV Buried | [Symbol] | WV = Water Valve |
| [Symbol] | TVBOX = Cable TV Riser | [Symbol] | |
| [Symbol] | PHB = Buried Telephone Line | [Symbol] | |
| [Symbol] | PHBOX = Telephone Riser | [Symbol] | |
| [Symbol] | SYR MH = Syringa Manhole | [Symbol] | |
| [Symbol] | | [Symbol] | NEW ASPHALT |
| | | [Symbol] | CONCRETE SIDEWALK |
| | | [Symbol] | CONCRETE SIDEWALK |
| | | [Symbol] | CONCRETE 6" VERTICAL CURB |
| | | [Symbol] | TYPE II CONCRETE ROLLED CURB |
| | | [Symbol] | CURB TRANSITION |
| | | [Symbol] | ZERO REVEAL CURB & GUTTER |
| | | [Symbol] | RETAINING WALL |
| | | [Symbol] | ADA ACCESS TRUNCATED |
| | | [Symbol] | DOME |
| | | [Symbol] | STORM DRAIN |
| | | [Symbol] | CATCH BASIN |
| | | [Symbol] | SAWCUT LINE |
| | | [Symbol] | APPROXIMATE LIMITS OF DISTURBANCE |
| | | [Symbol] | ROAD PAINT |
| | | [Symbol] | GRADE |
| | | [Symbol] | SPOT ELEVATION |
| | | [Symbol] | STREET LIGHT |
| | | [Symbol] | PAVERS |

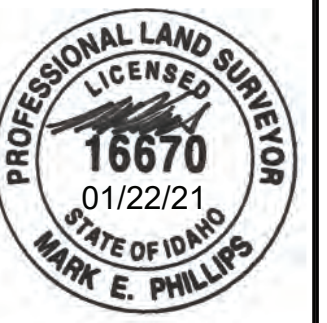
REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.



A MAP SHOWING BUILDING & TREE HEIGHTS AROUND LOT 3A AND THE WEST 75' OF LOTS 7 & 8, BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC



DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 788-1705
 email: galena@galena-engineering.com

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
| | | | |
| | | | |
| | | | |
| | | | |



A MAP SHOWING BUILDING & TREE HEIGHTS AROUND LOT 3A AND THE WEST 75' OF LOTS 7 & 8 BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GMD DEVELOPMENT, LLC

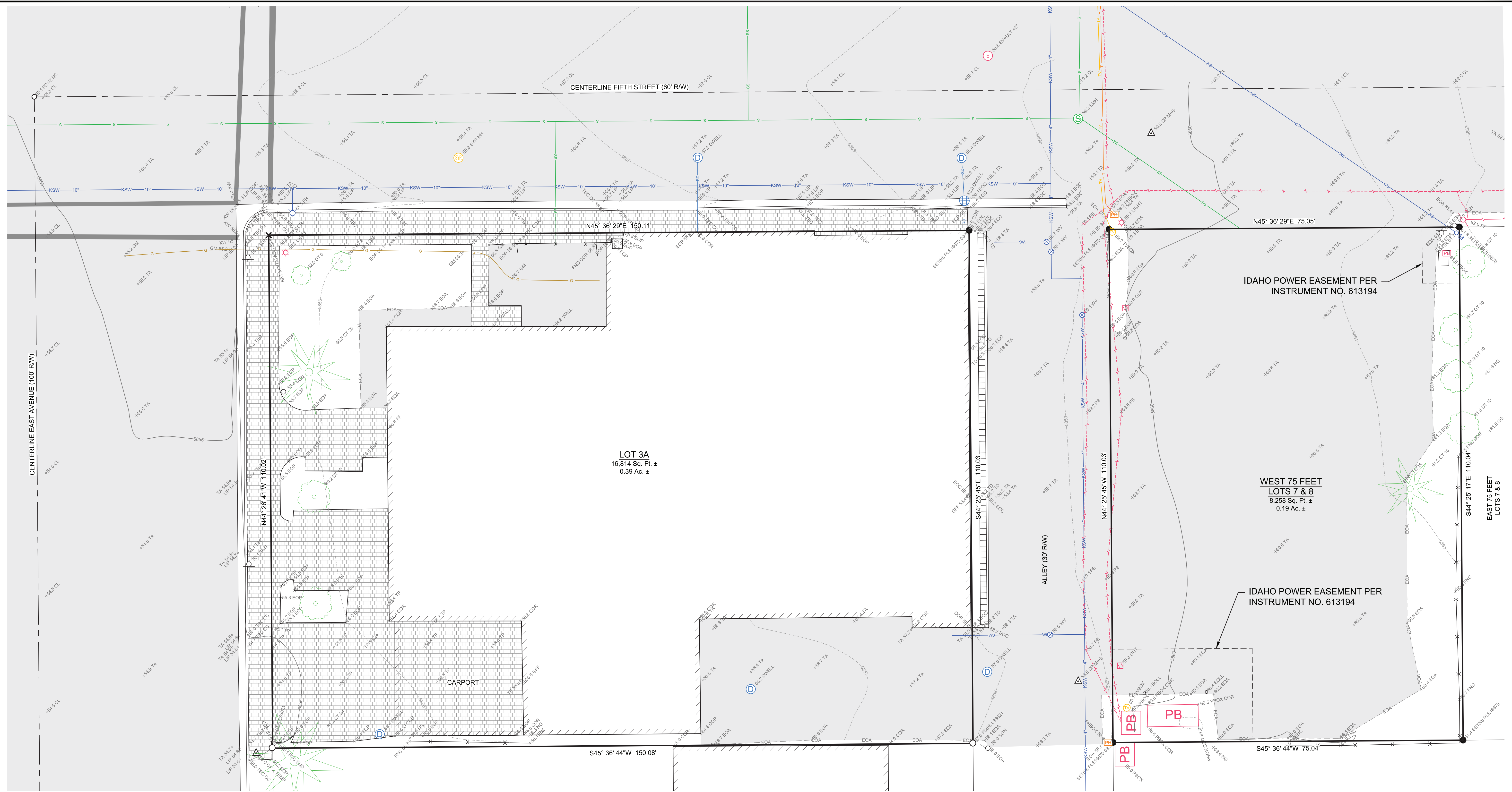


DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83433
(208) 788-1705
email: galena@galena-engineering.com

| PURPOSE: | NO. | DATE | BY | REVISIONS |
|----------|-----|------|----|-----------|
| | | | | |
| | | | | |
| | | | | |
| | | | | |
| | | | | |

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this Project except by agreement in writing with Galena Engineering, Inc.

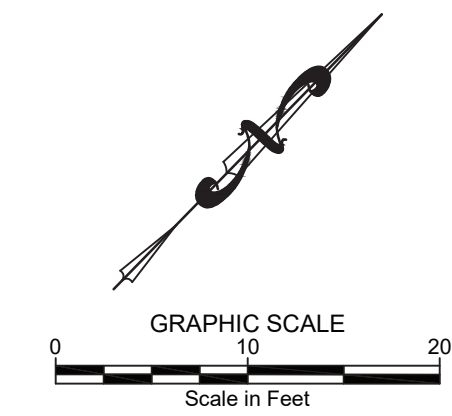


LEGEND

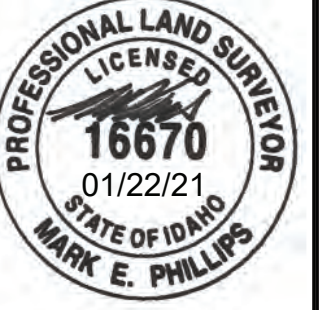
| | | |
|--------------------------|------------------------------------|-----------------------------|
| Property Line | SGN = Sign | AP = Angle Point |
| Adjoiner's Lot Line | GM = Gas Main | BEG = Beginning |
| Centerline | TVB = Cable TV Buried | CC = Curb Cut |
| Idaho Power Easement | TVR = Cable TV Riser | CL = Centerline |
| FD5/8 = Found 5/8" Rebar | PHB = Buried Telephone Line | COR = Corner |
| FD1/2 = Found 1/2" Rebar | PHBOX = Telephone Riser | EOA = Edge of Asphalt |
| CNTRL = Survey Control | SYR MH = Syringa Manhole | EOC = Edge of Concrete |
| SET5/8 = Set 5/8" Rebar | PB = Buried Power Line | EOP = Edge of Pavers |
| SET MAG = Set Mag Nail | Overhead Power Line | FF = Finished Floor |
| 5' Contour Interval | Light | GFF = Garage Finished Floor |
| 1' Contour Interval | PBOX = Power Box | IC = Illegible Cap |
| Curb & Gutter | PP = Power Pole | NC = No Cap |
| TD = Trench Drain | EVVAULT = Power Vault | NO = Natural Ground |
| FNC = Fence Line | OUT = Power Outlet | PC = Point of Curvature |
| Building | SS = Sewer Main | PT = Point of Tangent |
| Asphalt | SS = Sewer Service | TA = Top of Asphalt |
| Concrete | SMH = Sewer Manhole | TBC = Top Back of Curb |
| Pavers | Road Drain | TP = Top of Pavers |
| CT = Conifer Tree | CB = Catch Basin | |
| DT = Deciduous Tree | DWELL = Dry Well | |
| Boll = Bollard | KSL10" = Ketchum Spring Line (10") | |
| XW = Crosswalk | KSL4" = Ketchum Spring Line (4") | |
| | WS = Water Service | |
| | WMTR = Water Meter | |
| | FH = Fire Hydrant | |
| | WV = Water Valve | |

NOTES

- The purpose of this map is to show topographical information as it existed on the date the field survey was performed. Changes may have occurred to site conditions since survey date (12/22/2020).
- Boundary information is based on Found Monumentation. Please refer to the recorded map of the Official Map of the Village of Ketchum, Instr # 302967, records of Blaine County, Idaho. Refer to the Plat Notes, Conditions, Covenants, and Restrictions on Original Plat.
- Underground utility locations are based on above ground appurtenances / utilities visible at the time of the survey, and City Maps. Utilities should be located prior to any excavation.
- Galena Engineering Inc. has not received a Title Policy from the client and has not been requested to obtain one. Relevant information that may be contained within a Title Policy may therefore not appear on this map and may affect items shown hereon. It is the responsibility of the client to determine the significance of the Title Policy information and determine whether it should be included. If the client desires for the information to be included they must furnish said information to Galena Engineering, Inc. and request it be added to this map.
- Benchmark is top of 1/2" rebar marking the intersection of Fifth Street and East Avenue, elevation = 5855.13. Point elevations shown are truncated (i.e. 19.2 is 5819.2). Vertical Datum is NAVD 1988.



A TOPOGRAPHIC MAP SHOWING
LOT 3A AND THE WEST 75' OF LOTS 7 & 8
BLOCK 45, KETCHUM TOWNSITE (480 N EAST AVE)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC

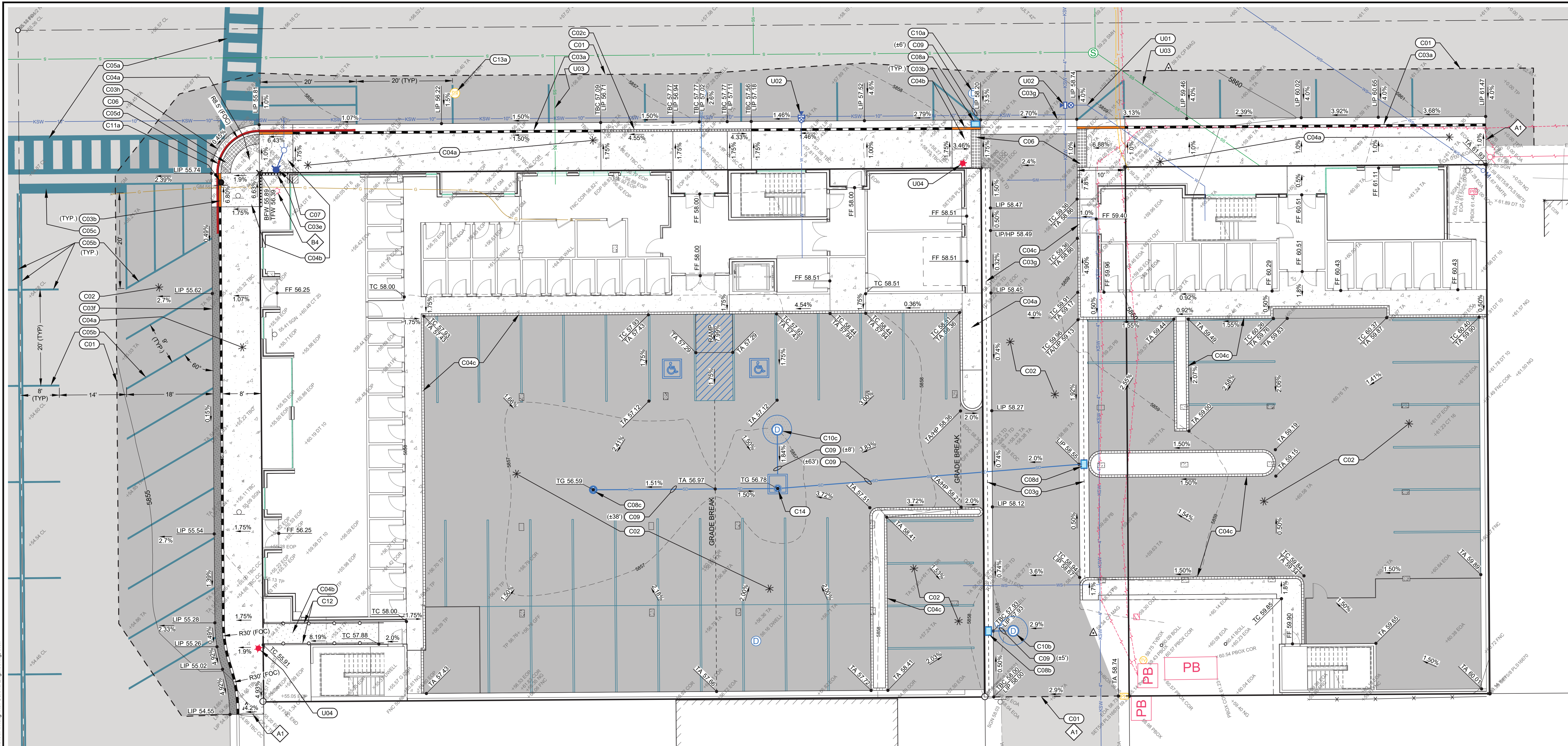


DESIGNED BY _____
 DRAWN BY _____
 SMF
 CHECKED BY _____

GALENA
ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 (208) 768-1705
 email: galena@galena-engineering.com

| PURPOSE: | NO. | DATE | BY | REVISIONS |
|----------|-----|------|----|-----------|
| PDR1.01 | | | | |

REUSE OF DRAWINGS: These drawings, or any portion thereof, shall not be used on any project or extension of this project except by agreement in writing with Galena Engineering, Inc.



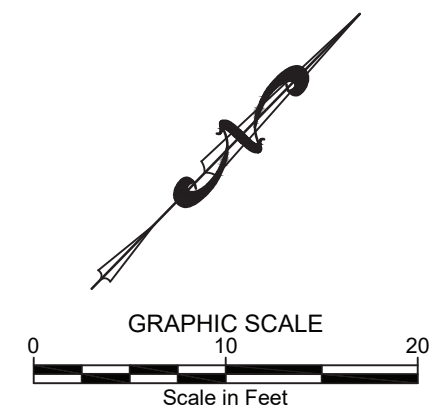
CONSTRUCTION (SITE, GRADING, & DRAINAGE) KEY NOTES

- C01** SAWCUT EXISTING ASPHALT TO PROVIDE FOR A CLEAN VERTICAL EDGE.
- C02** CONSTRUCT ASPHALT ROADWAY / ASPHALT REPAIR. SEE DETAIL 1 / C0.2.
- C03** CONSTRUCT CONCRETE CURB AND GUTTER
 - a. 6" VERTICAL C&G PER DETAIL 2a / C0.2.
 - b. CURB TRANSITION PER DETAIL 2b / C0.2.
 - c. VARIABLE REVEAL C&G PER DETAIL 2c / C0.2.
 - d. 36" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2d / C0.2.
 - e. VERTICAL CURB PER DETAIL 2e / C0.2.
 - f. 6" VERTICAL CURB WITH REVERSE GUTTER PAN PER DETAIL 2f / C0.2.
 - g. 24" WIDE CONCRETE VALLEY GUTTER PER DETAIL 2g / C0.2.
 - h. ZERO REVEAL CURB AND GUTTER PER DETAIL 2h / C0.2.
- C04** CONSTRUCT CONCRETE SIDEWALK. WIDTH AS SHOWN HEREON.
 - a. FLAT WORK, SEE DETAIL 3 / C0.2.
 - b. ADA COMPLIANT RAMPS, SEE DETAIL 3 / C0.2.
 - c. THICKENED EDGE SIDEWALK, SEE DETAIL 4 / C0.2.

- C05** INSTALL ROAD STRIPING / PAINT
 - a. WHITE CROSSWALK STRIPING (12" WIDE STRIPES AND 24" CROSS BARS).
 - b. YELLOW ASPHALT PARKING STRIPING (4" WIDE). MATCH CITY PATTERNS.
 - c. WHITE CROSSWALK / STOP BAR STRIPING (24" WIDE).
 - d. RED "NO PARKING" STRIPING ON CURB. MATCH CITY PATTERNS.
 - e. BLUE ADA PARKING STRIPING AND/OR PARKING SYMBOL (54" WIDE).
- C06** INSTALL CITY OF KETCHUM APPROVED CAST IRON TRUNCATED DOME DETECTABLE WARNING INSERT. SEE DETAIL 2 / C0.3.
- C07** RELOCATE FIRE HYDRANT ASSEMBLY TO BACK OF SIDEWALK.
 - a. ± 4 LF OF 6" C-900 PVC WATER MAIN 22.5' D.I. BEND W/ THRUST BLOCK
- C08** INSTALL CATCH BASIN. SEE DETAIL 5 / C0.2.
 - a. CONNECT TO EXISTING DRYWELL
 - b. RIM (R) = 5857.73
 - c. I.E. (IN) = 5854.7
 - d. I.E. (OUT) = 5853.4
 - e. RIM (R) = 5858.35
 - f. I.E. (OUT) = 5855.3
- (LF) C09** INSTALL 12" ADS N-12 STORM DRAIN PIPE WITH A MINIMUM SLOPE OF 2.0%. SEE DETAIL 1 / C0.3 FOR TRENCHING SECTION.

- C10** DRYWELL: SEE DETAIL 6 / C0.2.
 - a. CLEAN / RECONSTRUCT EXISTING
 - b. RIM = 5858.25
 - c. I.E. (IN) = 5854.8
 - d. CONSTRUCT NEW DRYWELL
 - e. RIM = 5857.95
 - f. I.E. (IN) = 5854.6
 - g. CONSTRUCT NEW DRYWELL
 - h. **ALL ROOF DRAINS TO BE CONNECTED TO THIS DRYWELL DIRECTLY OR INDIRECTLY
 - i. RIM = 5856.9
 - j. I.E. (IN) = 5853.7
- C11** SIGNS: SEE DETAIL 3 / C0.3 FOR SIGN BASE DETAIL.
 - a. INSTALL STOP / STREET SIGN. USE PREVIOUSLY REMOVED SIGN. COORDINATE FINAL LOCATION WITH CITY OF KETCHUM.
 - b. INSTALL REGULATORY SIGN. COORDINATE TYPE AND FINAL LOCATION WITH CITY OF KETCHUM.
- C12** INSTALL ADA COMPLIANT HAND RAIL PAINTED PER ARCHITECT'S SPECIFICATIONS. SEE DETAIL 4 / C0.3.
- C13** RESET UTILITY BOX LID ELEVATION.
 - a. SYRINGA MANDHOLE
 - b. ORIGINAL RIM = 5856.28
 - c. NEW RIM = 5856.36
- C14** INSTALL CONCRETE 350 GALLON SAND AND GREASE TRAP WITH STANDARD CAST IRON RING & ROUND 24" Ø GRATE.
 - a. RIM = 5856.88
 - b. I.E. (IN, C08c) = 5852.6
 - c. I.E. (IN, C08d) = 5854.0
 - d. I.E. (OUT) = 5853.9
- C15** RELOCATE UTILITIES. LOCATIONS TBD. CONTRACTOR TO COORDINATE WITH UTILITIES FRANCHISE.

- A** MATCH EXISTING LINES AND GRADES
 - B** RETAIN AND PROTECT
 - 1. UTILITY POLE AND TELEPHONE RISER
 - 2. UTILITY BOX / VAULT
 - 3. FIRE HYDRANT
 - 4. STREET LIGHT
- UTILITY IMPROVEMENT KEY NOTES**
- U01** INSTALL 6" C-900 PVC WATER LINE. SEE DETAIL 1 / C0.3 FOR TRENCHING STANDARDS.
 - U02** INSTALL 6" STAINLESS STEEL TAPPING SADDLE W/ THRUST BLOCKS
 - U03** EXISTING SEWER SERVICES TO BE UTILIZED
 - U04** INSTALL KETCHUM STANDARD STREET LIGHT: SOLAR (OFF-GRID). SEE DETAIL 6 / C0.3.



GRADING, DRAINAGE, AND UTILITY PLAN SHOWING BLUEBIRD VILLAGE (480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO

PROJECT INFORMATION
 Prepared for GMD Development, LLC
 02/29/21 10:18:41 AM

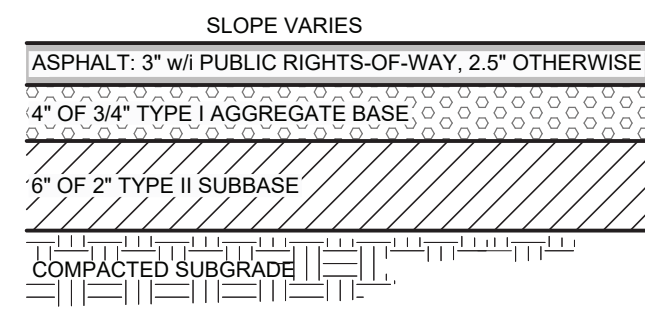


DESIGNED BY
 DRAWN BY
 SMF
 CHECKED BY

GALENA ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Hailey, Idaho 83433
 (208) 768-1705
 email: galena@galena-engineering.com

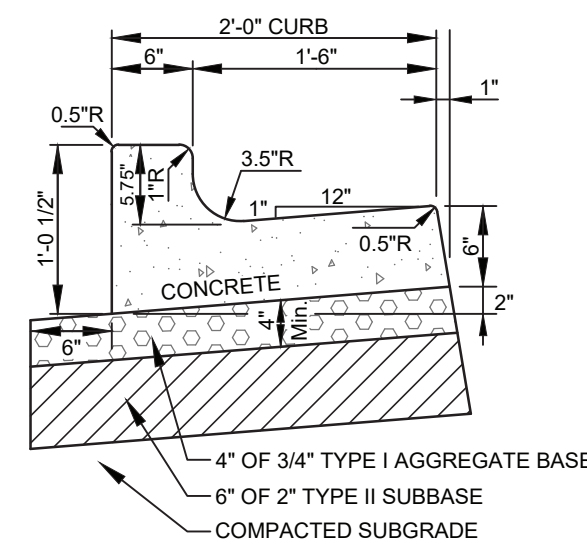
| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
| | | | |
| | | | |
| | | | |
| | | | |

PDR1.02



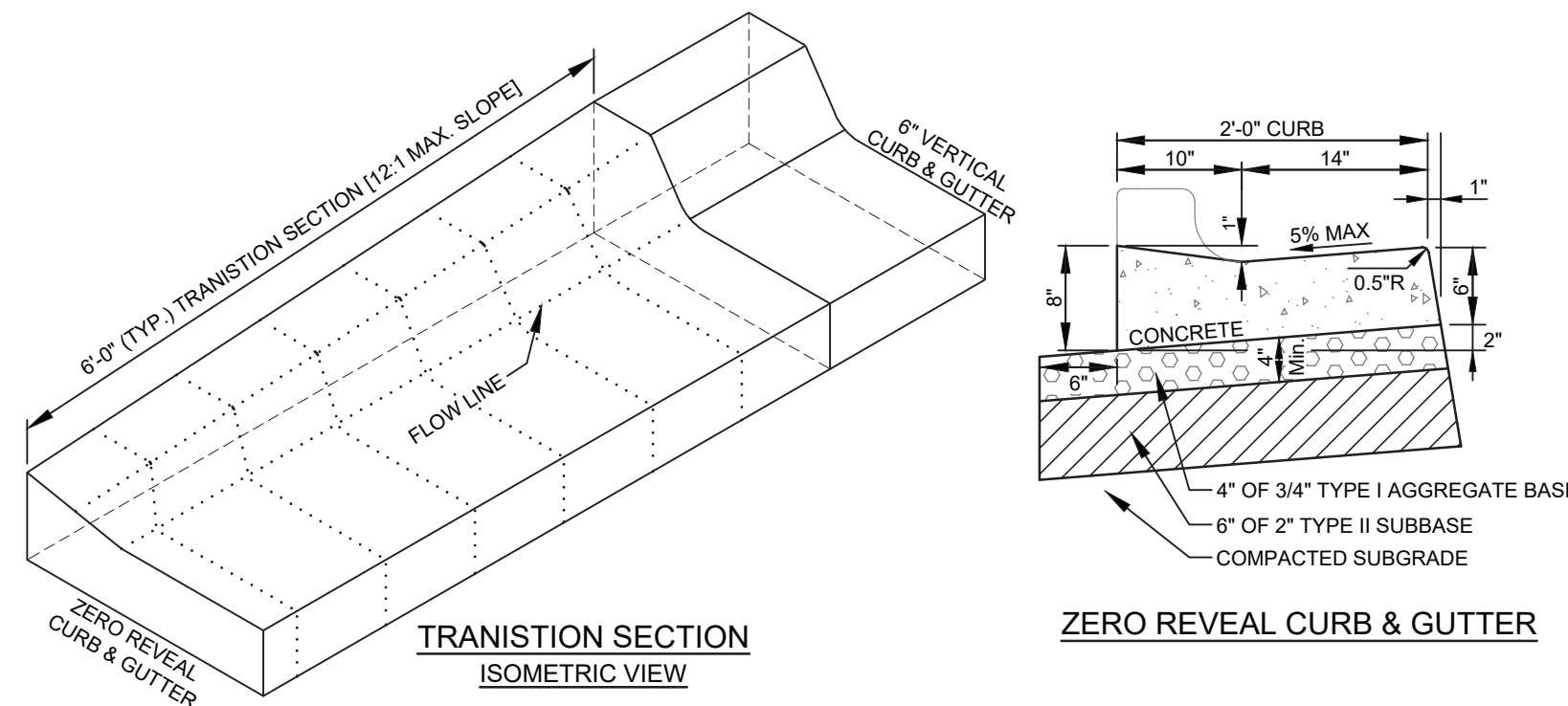
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.

1
C2.01 TYPICAL STREET ASPHALT SECTION
N.T.S.



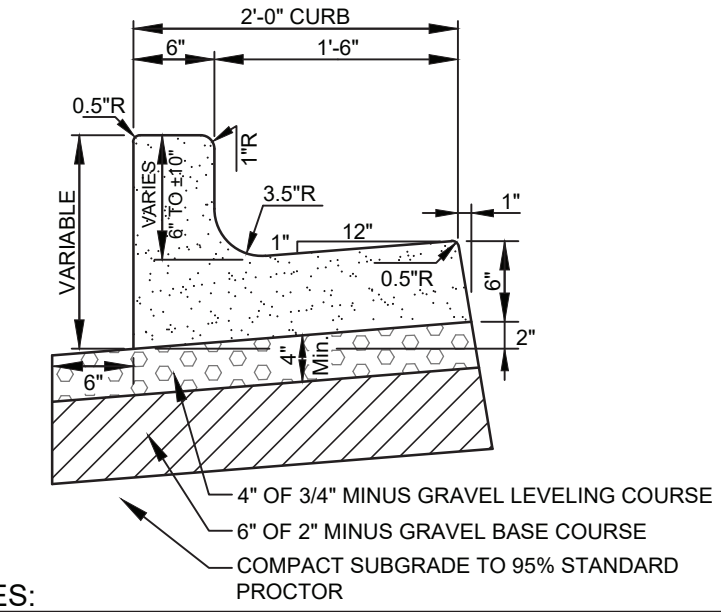
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2a
C2.01 6" CONCRETE VERTICAL CURB & GUTTER
N.T.S.



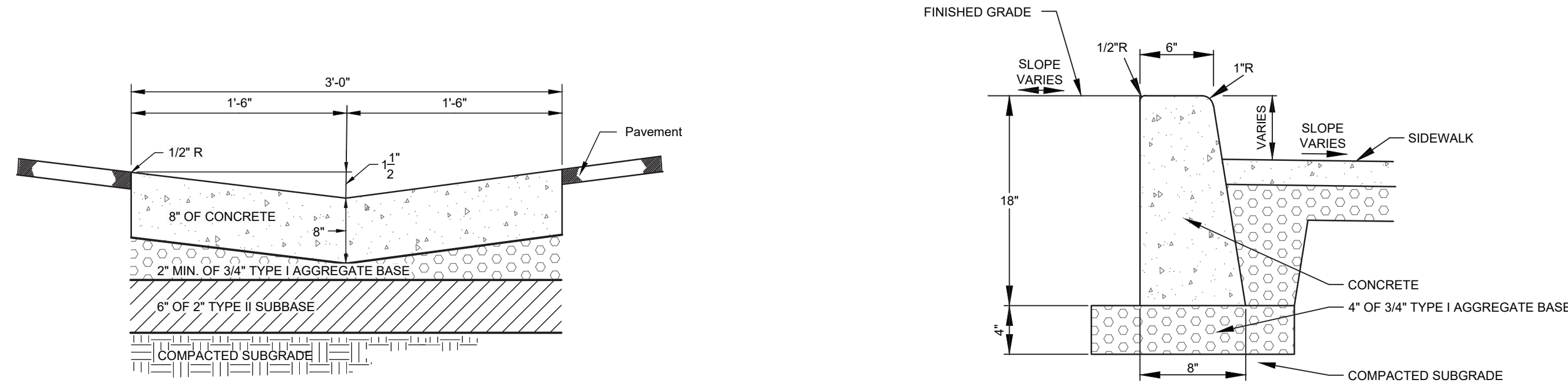
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2b
C2.01 TYPICAL CURB TRANSITION DETAIL
N.T.S.



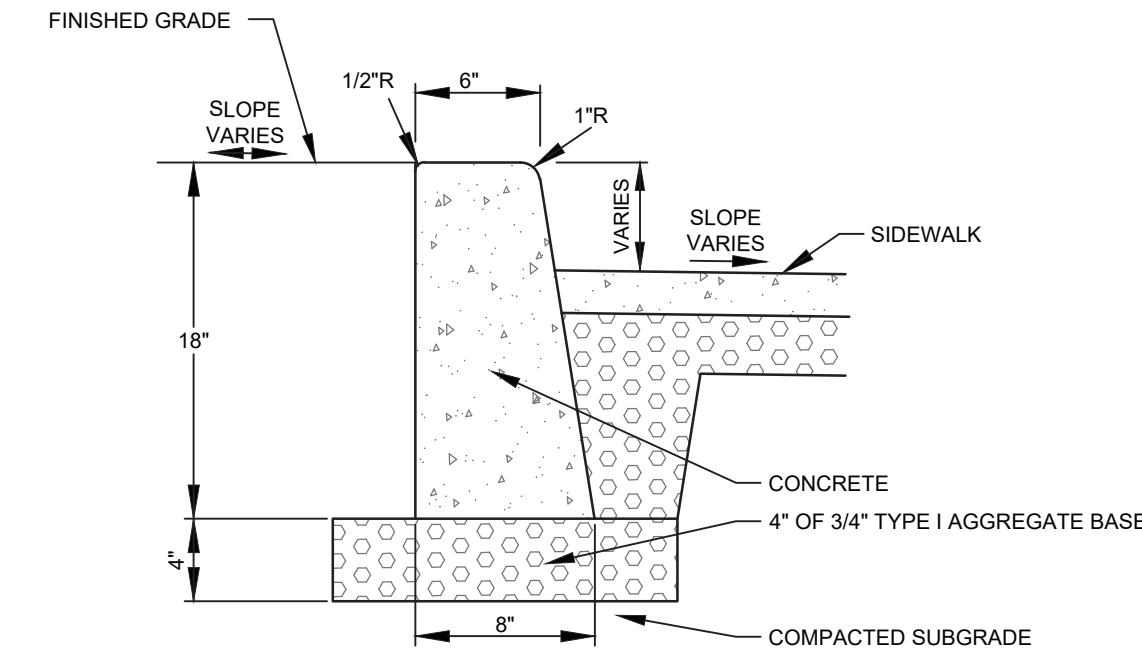
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS TO MATCH SIDEWALK WITH 10-FEET MAXIMUM SPACING.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.

2c
C2.01 CONCRETE VERTICAL CURB & GUTTER WITH VARIABLE REVEAL
N.T.S.



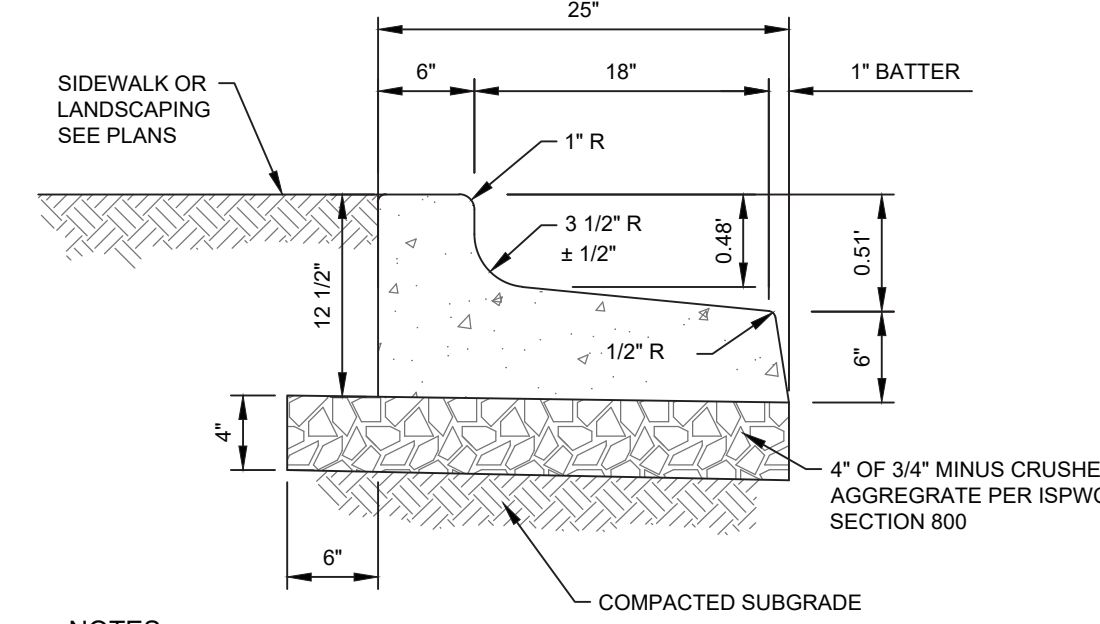
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING.

2d
C2.01 36" CONCRETE VALLEY GUTTER
N.T.S.



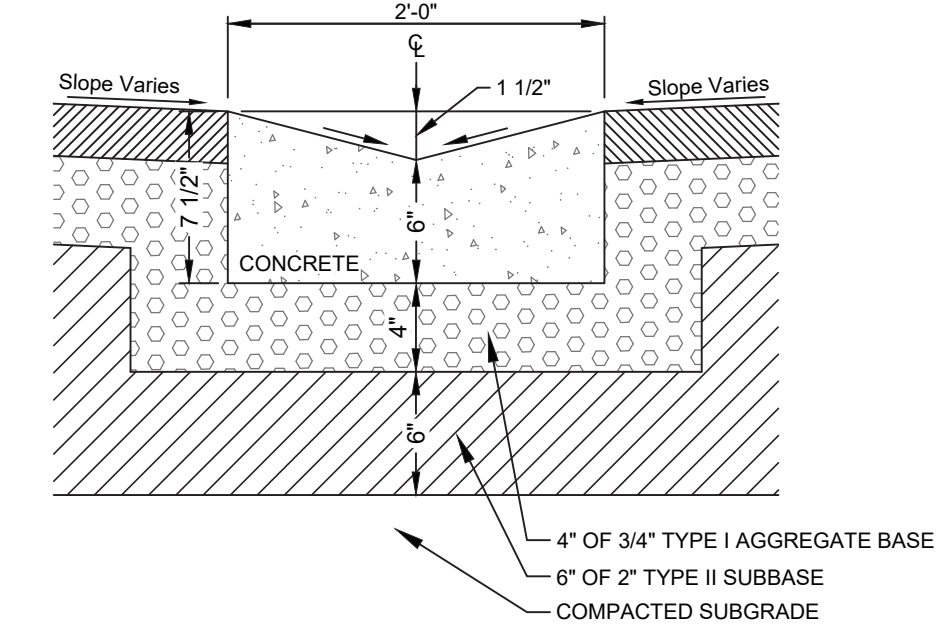
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2e
C2.01 CONCRETE VERTICAL CURB
N.T.S.



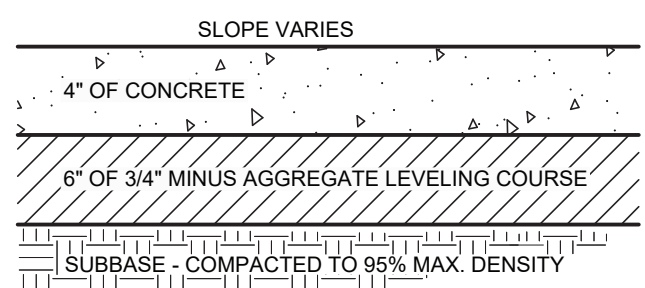
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2f
C2.01 VERTICAL CURB W/ REVERSE GUTTER PAN
N.T.S.



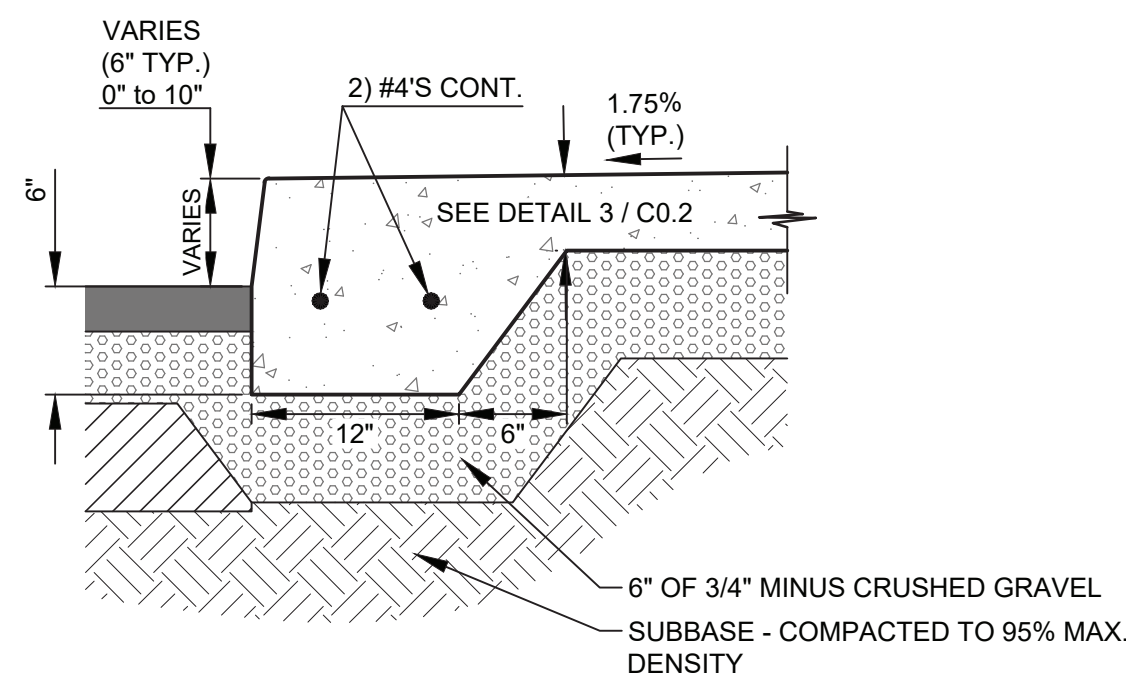
- NOTES:
- SUBBASE CAN BE 2" TYPE II OR 3/4" TYPE I CRUSHED AGGREGATE BASE COURSE.
 - MATERIALS SHALL CONFORM WITH CURRENT ISPCW STANDARDS, DIVISION 800 AGGREGATES AND ASPHALT.
 - PAVEMENT SECTION MAY BE MODIFIED IF A PROJECT SPECIFIC GEOTECHNICAL REPORT, STAMPED BY A LICENSED ENGINEER, IS PROVIDED.
 - 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE INTERVALS 10-FEET MAXIMUM SPACING (8-FEET WISIDEWALK).

2g
C2.01 24" WIDE CONCRETE VALLEY GUTTER
N.T.S.



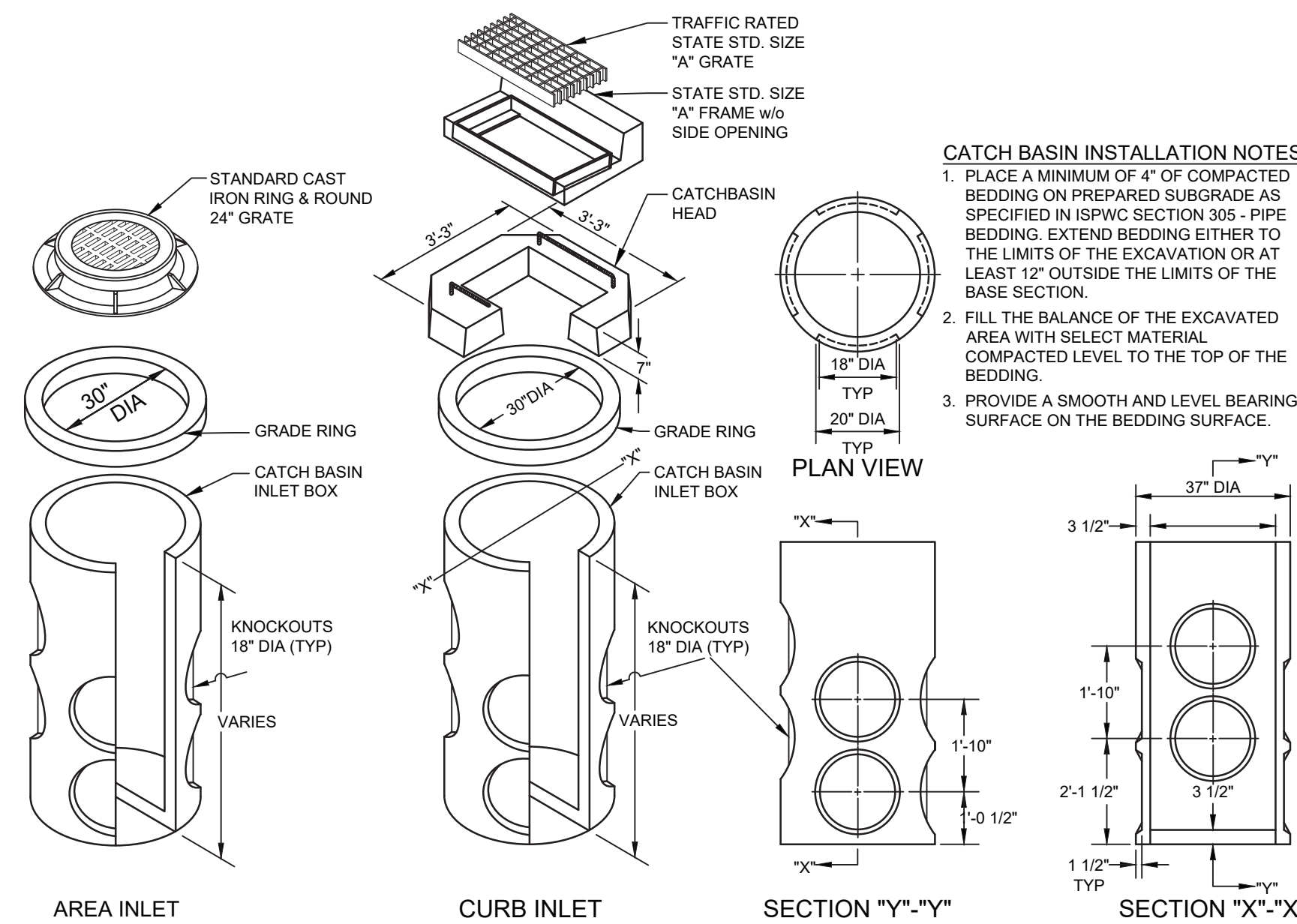
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPCW SPECIFICATIONS.

3
C2.01 TYPICAL CONCRETE SIDEWALK SECTION
N.T.S.



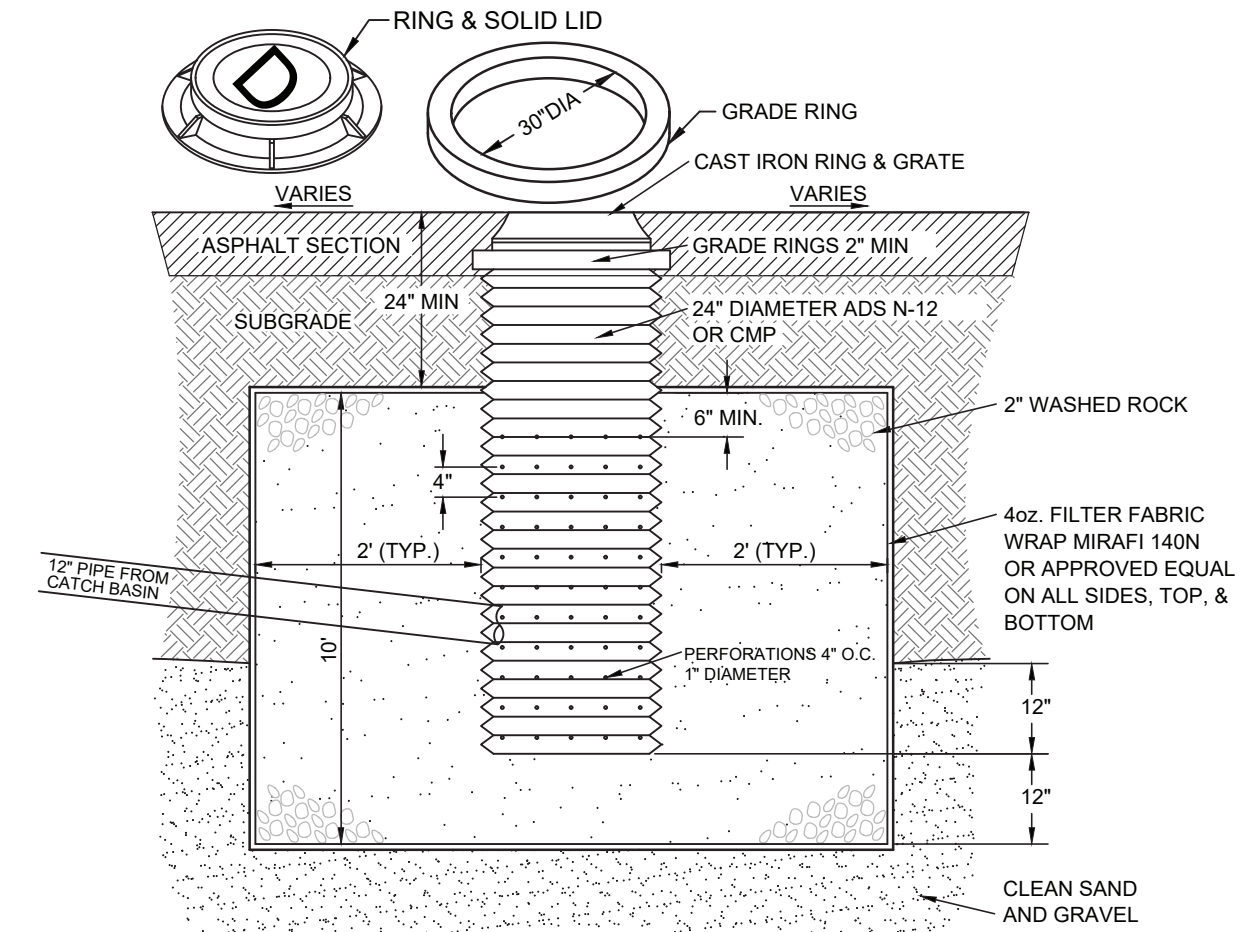
- NOTES:
- 1/2-INCH PREFORMED EXPANSION JOINT MATERIAL (AASHTO M 213) AT TERMINAL POINTS OF RADII.
 - CONTINUOUS PLACEMENT PREFERRED, SCORE AT INTERVALS TO MATCH WIDTH OF WALK NOT TO EXCEED 5 FEET SPACING.
 - 1/2" TRANSVERSE PREFORMED BITUMINOUS JOINTS AT THE TERMINUS POINTS FOR CURVE AND WHERE SIDEWALK IS PLACED BETWEEN TWO PERMANENT FOUNDATIONS.
 - MATERIALS AND CONSTRUCTION IN COMPLIANCE WITH ISPCW SPECIFICATIONS.

4
C2.01 THICKENED SIDEWALK EDGE
N.T.S.



- CATCH BASIN INSTALLATION NOTES:
- PLACE A MINIMUM OF 4" OF COMPACTED BEDDING ON PREPARED SUBGRADE AS SPECIFIED IN ISPCW SECTION 305 - PIPE BEDDING. EXTEND BEDDING EITHER TO THE LIMITS OF THE EXCAVATION OR AT LEAST 12" OUTSIDE THE LIMITS OF THE BASE SECTION.
 - FILL THE BALANCE OF THE EXCAVATED AREA WITH SELECT MATERIAL COMPACTED LEVEL TO THE TOP OF THE BEDDING.
 - PROVIDE A SMOOTH AND LEVEL BEARING SURFACE ON THE BEDDING SURFACE.

5
C2.01 30" DIAMETER CATCH BASIN
N.T.S.



- NOTES:
- THE BED SHALL BE EXCAVATED A MINIMUM OF 24" INTO CLEAN SAND AND GRAVEL.
 - MAXIMUM DEPTH SHALL NOT EXCEED 12 FEET.
 - IF CLEAN SAND AND GRAVEL IS NOT ENCOUNTERED WITHIN 12 FEET, THE CONTRACTOR SHALL CONTACT THE DESIGN ENGINEER.
 - GRATE OR SOLID LID AS APPROVED BY CITY OF KETCHUM.

6
C2.01 DRYWELL DETAIL (6' X 6')
N.T.S.

DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)

LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
PREPARED FOR GMD DEVELOPMENT, LLC

PROJECT INFORMATION
P:\sub\proj\30600\proj\Construction\18000 Engineer 2021-02-23.dwg 03/29/21 10:18:41 AM

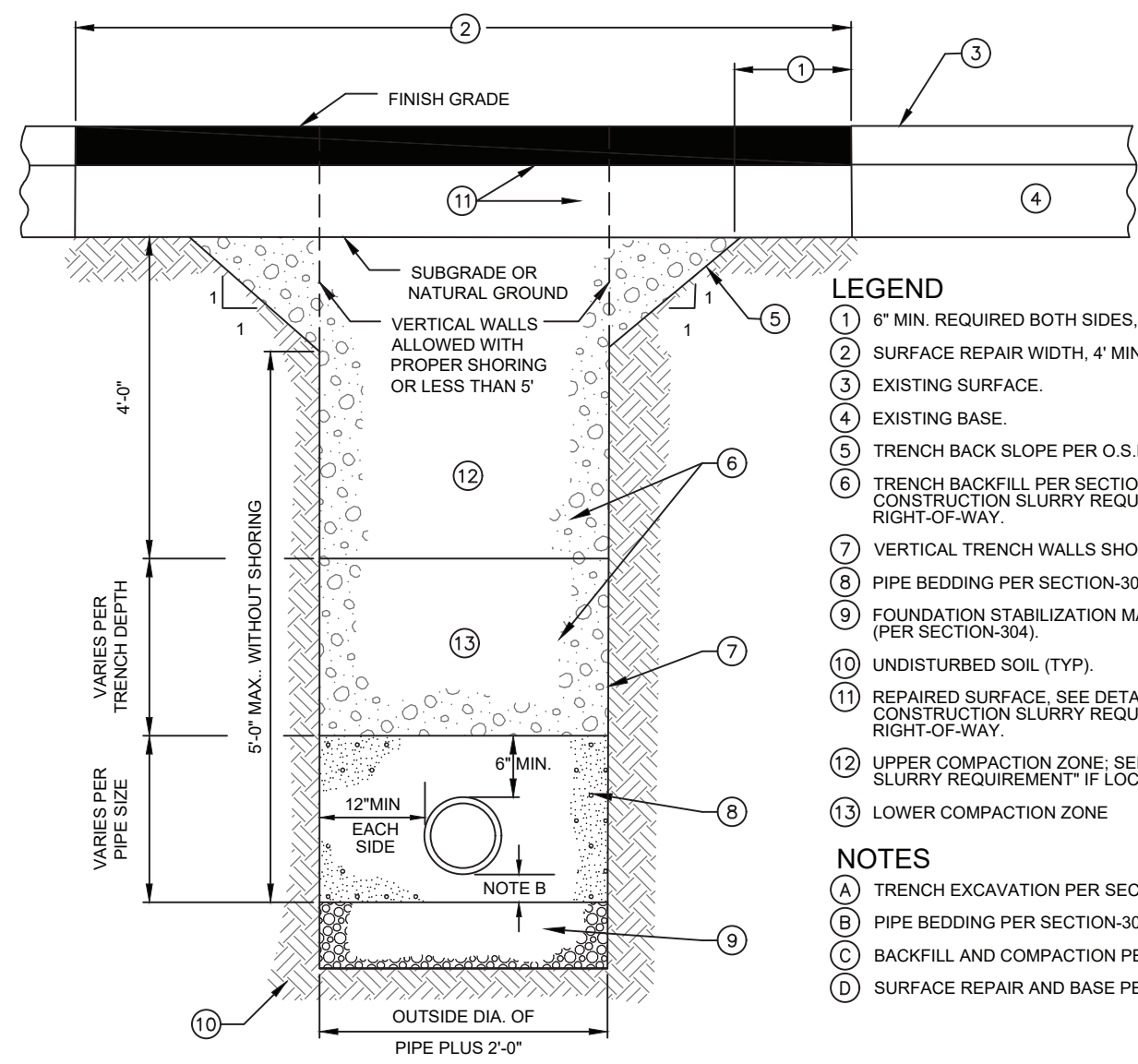


DESIGNED BY
CT
DRAWN BY
SMF
CHECKED BY

GALENA
ENGINEERING, INC.
Civil Engineers & Land Surveyors
317 N. River Street
Halley, Idaho 83333
(208) 768-1705
email: galena@galena-engineering.com

PURPOSE: ISSUE FOR INTERNAL REVIEW
NO. DATE BY REVISIONS

PDR2.01



- LEGEND**
- 6" MIN. REQUIRED BOTH SIDES, SAWCUT REQUIRED.
 - SURFACE REPAIR WIDTH, 4" MINIMUM.
 - EXISTING SURFACE.
 - EXISTING BASE.
 - TRENCH BACK SLOPE PER O.S.H.A. OR SUITABLE SHORING.
 - TRENCH BACKFILL PER SECTION-306, OR SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - VERTICAL TRENCH WALLS SHORING PER O.S.H.A.
 - PIPE BEDDING PER SECTION-305 (SEE SD-302).
 - FOUNDATION STABILIZATION MAY VARY PER SOIL TYPE AND STABILITY (PER SECTION-304).
 - UNDISTURBED SOIL (TYP)
 - REPAIRED SURFACE. SEE DETAILS 1 AND 2. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - UPPER COMPACTION ZONE. SEE "KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT" IF LOCATED WITHIN PUBLIC RIGHT-OF-WAY.
 - LOWER COMPACTION ZONE.
- NOTES**
- TRENCH EXCAVATION PER SECTION-301.
 - PIPE BEDDING PER SECTION-305.
 - BACKFILL AND COMPACTION PER SECTION-306.
 - SURFACE REPAIR AND BASE PER DETAIL 3/C20.

KETCHUM PUBLIC CONSTRUCTION SLURRY REQUIREMENT
 IN AREAS WHERE IT IS NECESSARY TO CUT THE ASPHALT PAVEMENT AND DIG A TRENCH FOR BURIAL OF CONDUIT CABLE OR OTHER CITY UTILITY, THE TRENCH SHALL BE BACKFILLED WITH A LEAN CONCRETE MIX TO THE BOTTOM OF FINISH SURFACE MATERIAL WITH THE FOLLOWING PROPORTIONS OF MATERIALS:

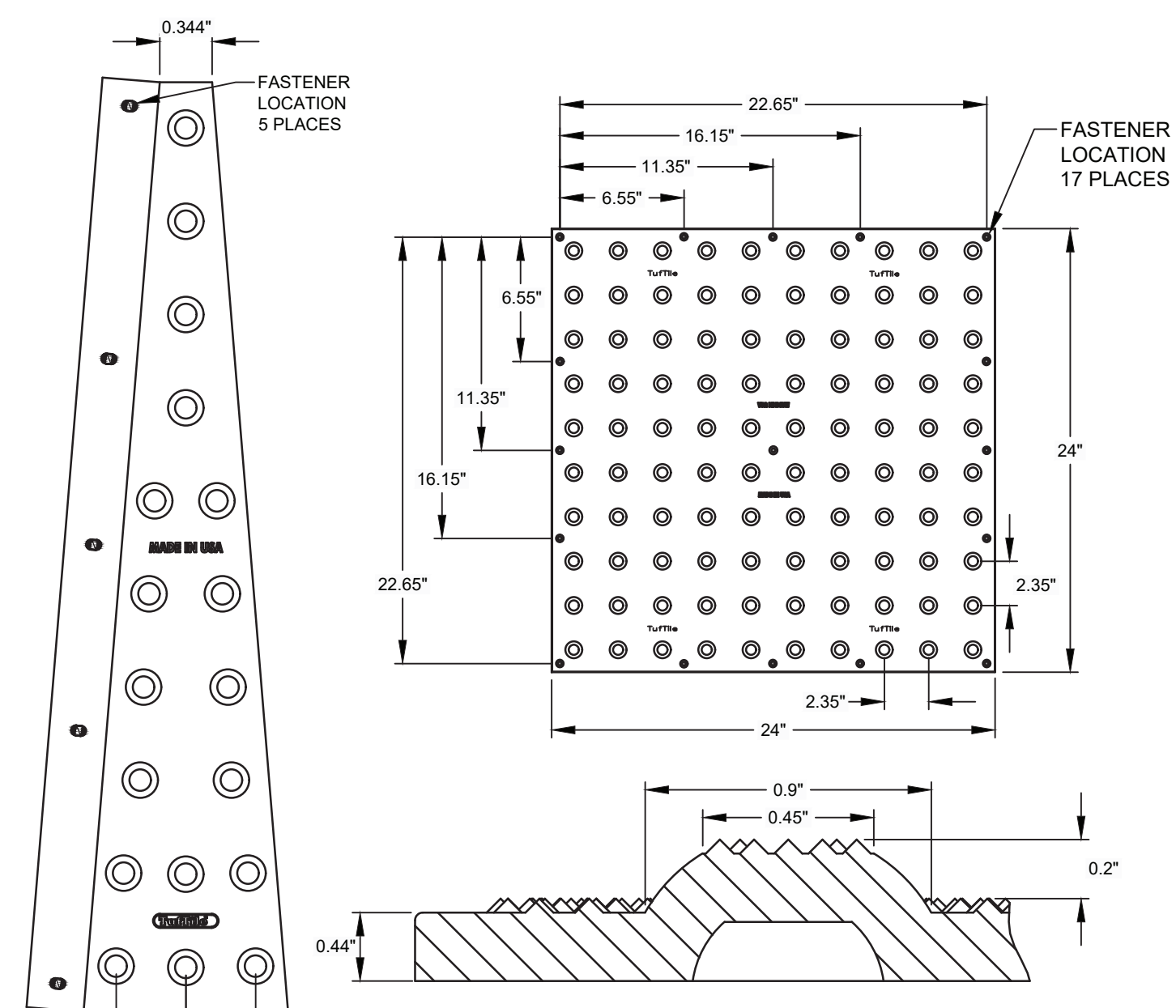
| | |
|-------------------------------|----------------|
| COARSE AGGREGATE (1/2" MINUS) | 2,600 LBS |
| SAND | 800 LBS |
| PORTLAND CEMENT | 94 LBS |
| WATER | 11 GAL. (MAX.) |

WATER CONTENT IS MAXIMUM AND MAY BE REDUCING DOWNWARD. CARES SHALL BE TAKEN TO ASSURE THAT EXCESS WATER IS NOT PRESENT IN THE MIXING DRUM PRIOR TO CHARGING THE MIXER WITH MATERIALS. THOROUGH MIXING WILL BE REQUIRED PRIOR TO DISCHARGE.

NO COMPACTION, VIBRATION OR FINISHING IS REQUIRED. THE LEAN CONCRETE MIX SHALL BE STRUCK OFF AT OR BELOW THE ELEVATION OF THE PLANTMIX SURFACING WITH A SQUARE SHOVEL OR SIMILAR HAND TOOL. THE BACKFILL MIX SHALL BE ALLOWED TO SET FOR A MINIMUM OF 2 HOURS BEFORE THE PERMANENT PLANTMIX SURFACING IS PLACED TO COMPLETE THE TRENCH REPAIR. TEMPORARY PLACEMENT OF ASPHALT COLD MIX SURFACING MAY BE NECESSARY TO ACCOMMODATE TRAFFIC WITHIN THE FIRST 2 HOURS OF BACKFILL PLACEMENT PRIOR TO COMPLETING THE PERMANENT REPAIR.

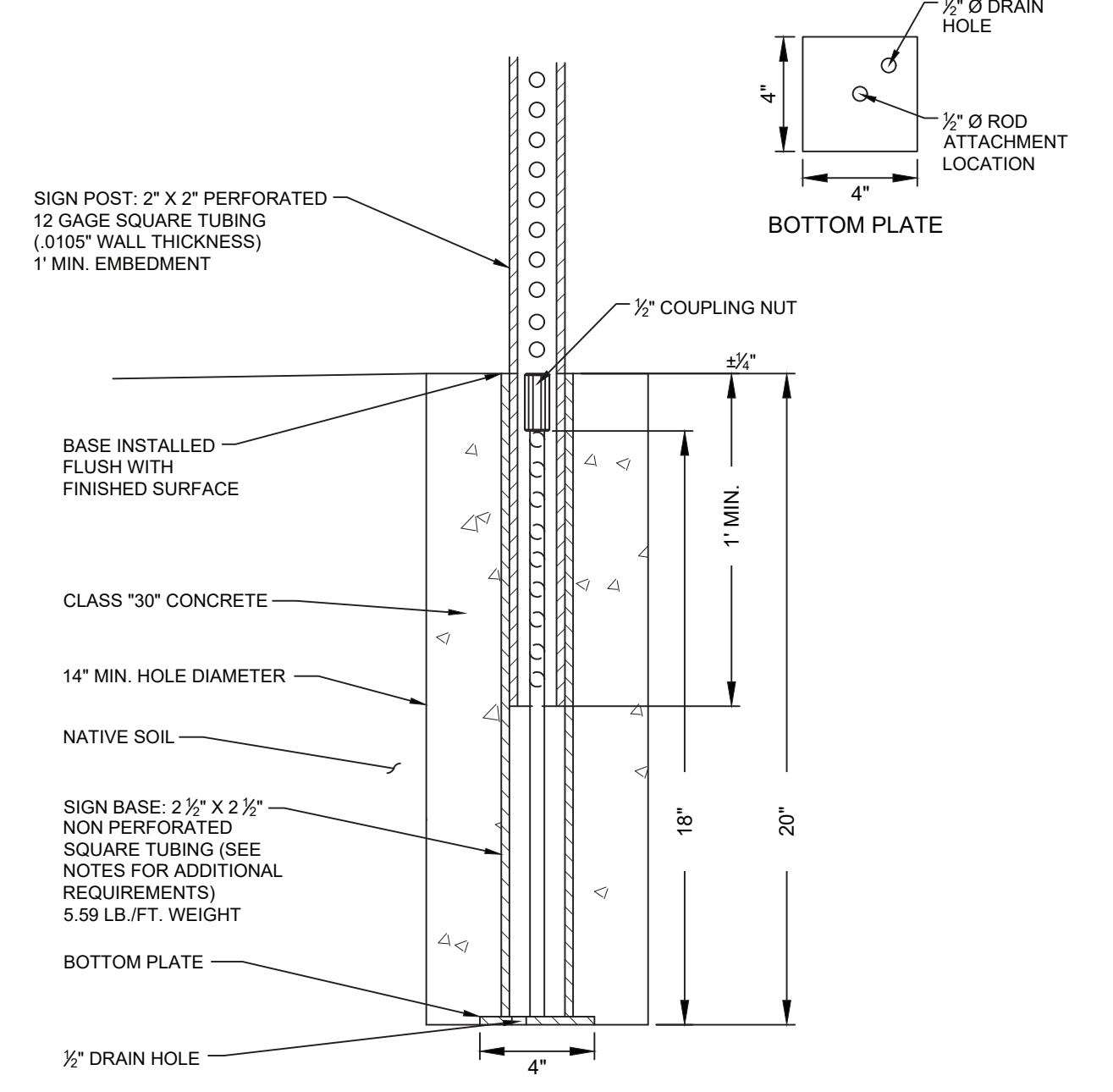
VARIES PER TRENCH DEPTH
 VARIES PER PIPE SIZE
 6" MAX. WITHOUT SHORING
 10" MIN. EACH SIDE
 NOTE B
 OUTSIDE DIA. OF PIPE PLUS 2-4"

1 C2.02 TYPICAL TRENCH SECTION
 N.T.S.



- NOTES:**
- DETECTABLE WARNING TILES SHALL BE TUFITILE (CAST IRON & WET SET) OR APPROVED EQUAL.
 - REFER TO DETAIL 8.
 - COLOR TO BE PATINA (NO FINISH).

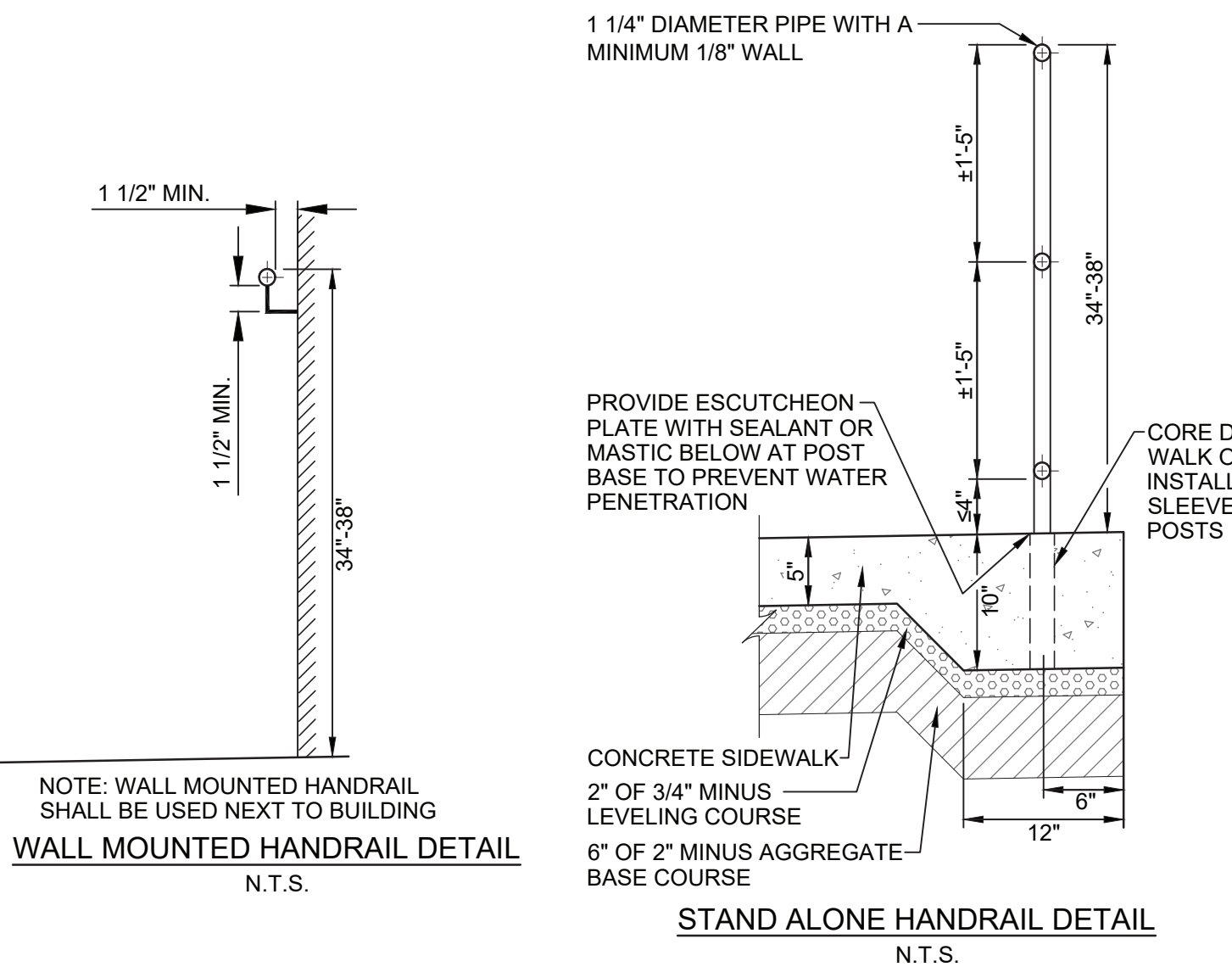
2 C2.02 DETECTABLE WARNING PLATE
 N.T.S.



- NOTES:**
- BASES SHALL BE INSTALLED TO BE FLUSH WITH SURFACE.
 - ALL INSTALLATIONS SHALL HAVE 14" Ø MINIMUM FOUNDATION OR GROUDED INTO SOLID ROCK.
 - ALL STREET SIGNS SHALL BE IN ACCORDANCE WITH THE MOST CURRENT EDITION OF THE MUTCD.
 - SIGN PLACEMENT SHALL BE APPROVED BY THE CITY OF KETCHUM.
 - CITY TO PROVIDE BASES.

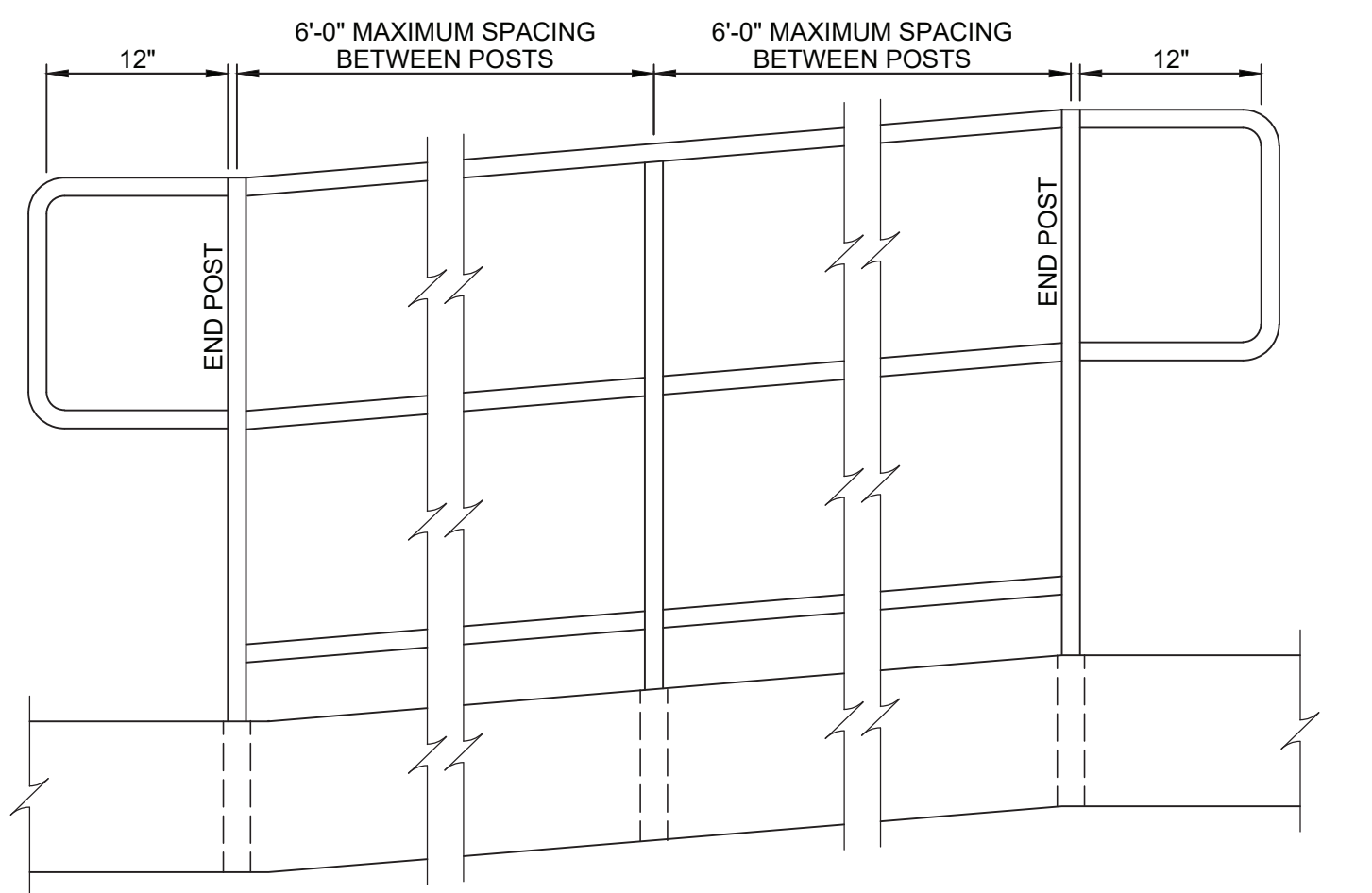
SIGN BASE MATERIAL & DIMENSION REQUIREMENTS
 2 1/2" OUTSIDE TUBE STEEL (20" LENGTH)
 2 1/2" INSIDE TUBE STEEL
 3/8" THICK
INTERNAL ROD MATERIAL & DIMENSION REQUIREMENTS
 1/2" COLD ROLLED ROD (18" LENGTH)
 1/2" COUPLING NUTS
BOTTOM PLATE MATERIAL & DIMENSION REQUIREMENTS
 4" X 4" X 1/2" STEEL STRAP

3 C2.02 TYPICAL SIGN BASE
 N.T.S.



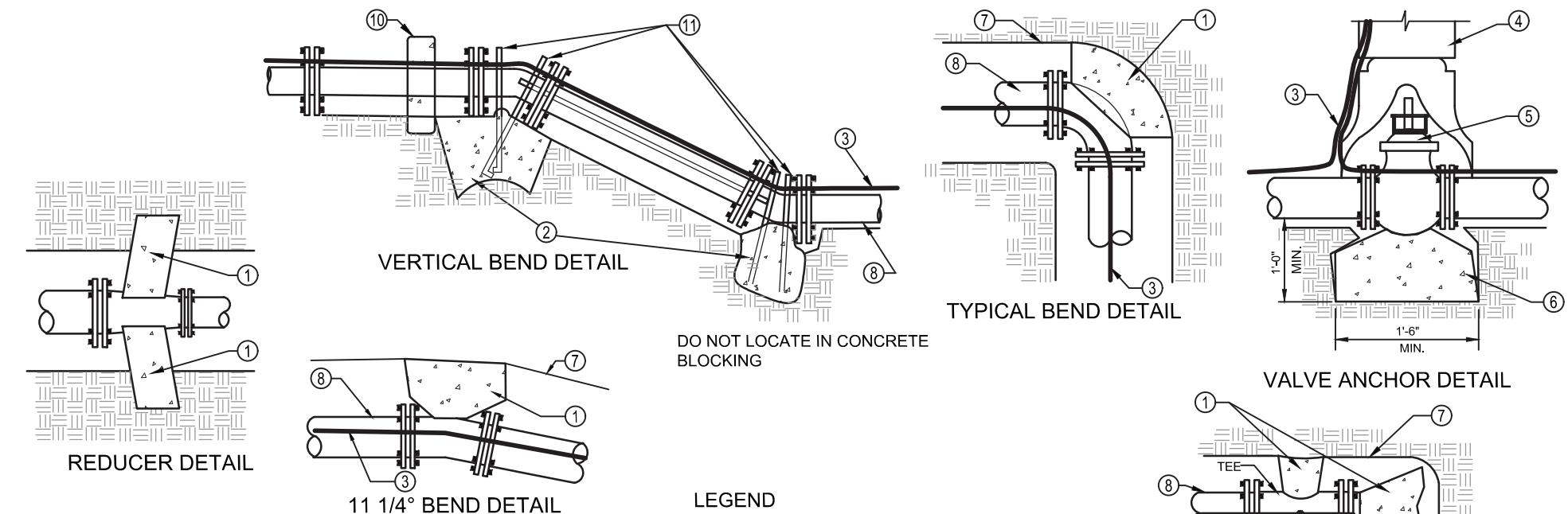
NOTE: WALL MOUNTED HANDRAIL SHALL BE USED NEXT TO BUILDING
WALL MOUNTED HANDRAIL DETAIL
 N.T.S.

NOTE: WALL MOUNTED HANDRAIL SHALL BE USED NEXT TO BUILDING
WALL MOUNTED HANDRAIL DETAIL
 N.T.S.



- NOTES:**
- HANDRAIL SHALL BE PAINTED. PAINT SPECIFICATIONS PER OWNER.
 - CLEAR WIDTH: THE CLEAR WIDTH OF A RAMP RUN AND, WHERE HANDRAILS ARE PROVIDED, THE CLEAR WIDTH BETWEEN HANDRAILS SHALL BE 36 INCHES MINIMUM PER ADA REQUIREMENTS (405.5)

4 C2.02 TYPICAL HANDRAIL DETAIL
 N.T.S.



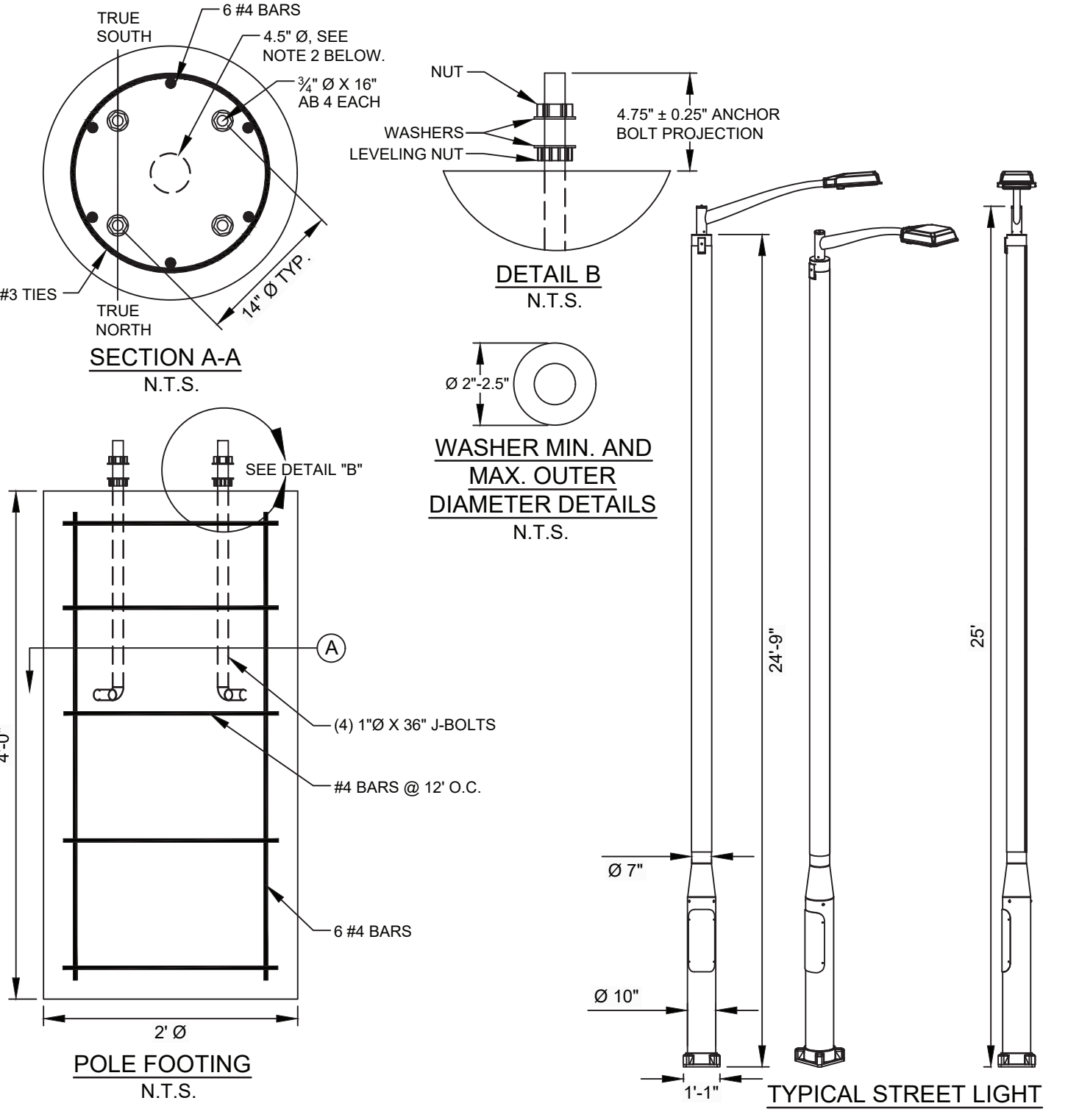
- LEGEND**
- FOR HORIZONTAL PIPE BENDS, BEARING THRUST BLOCKS MUST PROVIDE 2500 PSI CONCRETE POURED AGAINST UNDISTURBED EARTH PER TABLE 1.
 - FOR VERTICAL PIPE BENDS, GRAVITY THRUST BLOCKS MUST PROVIDE A VOLUME OF CONCRETE POURED AGAINST UNDISTURBED EARTH WHICH IS SIZED FOR EXPECTED FORCES WITH A MINIMUM 1.5 FACTOR OF SAFETY.
 - NO. 12 COPPER FINDER WIRE. SEE SD-514 FOR SPLICING.
 - C.I. VALVE BOX WITH COVER.
 - C.I. GATE VALVE (M.J.).
 - PRECAST BLOCK FOR CUT IN TEE AND VALVE OR CAST IN PLACE WITH 2-1/2" Ø MIN REBAR.
 - TRENCH SIDE.
 - PIPE.
 - PLUG.
 - HAMMERHEAD THRUST BLOCKING.
 - ANCHOR BARS (1/2" Ø MIN)

TABLE 1
 THRUST AREA FOR HORIZONTAL BENDS***

| PIPE SIZE | MINIMUM SQUARE FEET OF THRUST AREA ONTO UNDISTURBED EARTH* | | | |
|-----------|--|------------|------------|--------------------------------|
| | TEE, PLUG OF VALVE | 90° BEND** | 45° BEND** | 22.5°, 11.25° BENDS OR REDUCER |
| 3" | 0.8 | 1.1 | 0.6 | 0.3 |
| 4" | 1.4 | 2.0 | 1.1 | 0.6 |
| 6" | 3.2 | 4.5 | 2.4 | 1.2 |
| 8" | 5.7 | 8.0 | 4.3 | 2.2 |
| 10" | 8.8 | 12.5 | 6.8 | 3.4 |
| 12" | 12.7 | 18.0 | 9.7 | 5.0 |
| 14" | 17.3 | 24.5 | 13.3 | 6.8 |
| 18" | 22.6 | 32.0 | 17.3 | 8.8 |
| 18" | 26.6 | 40.5 | 21.9 | 11.2 |

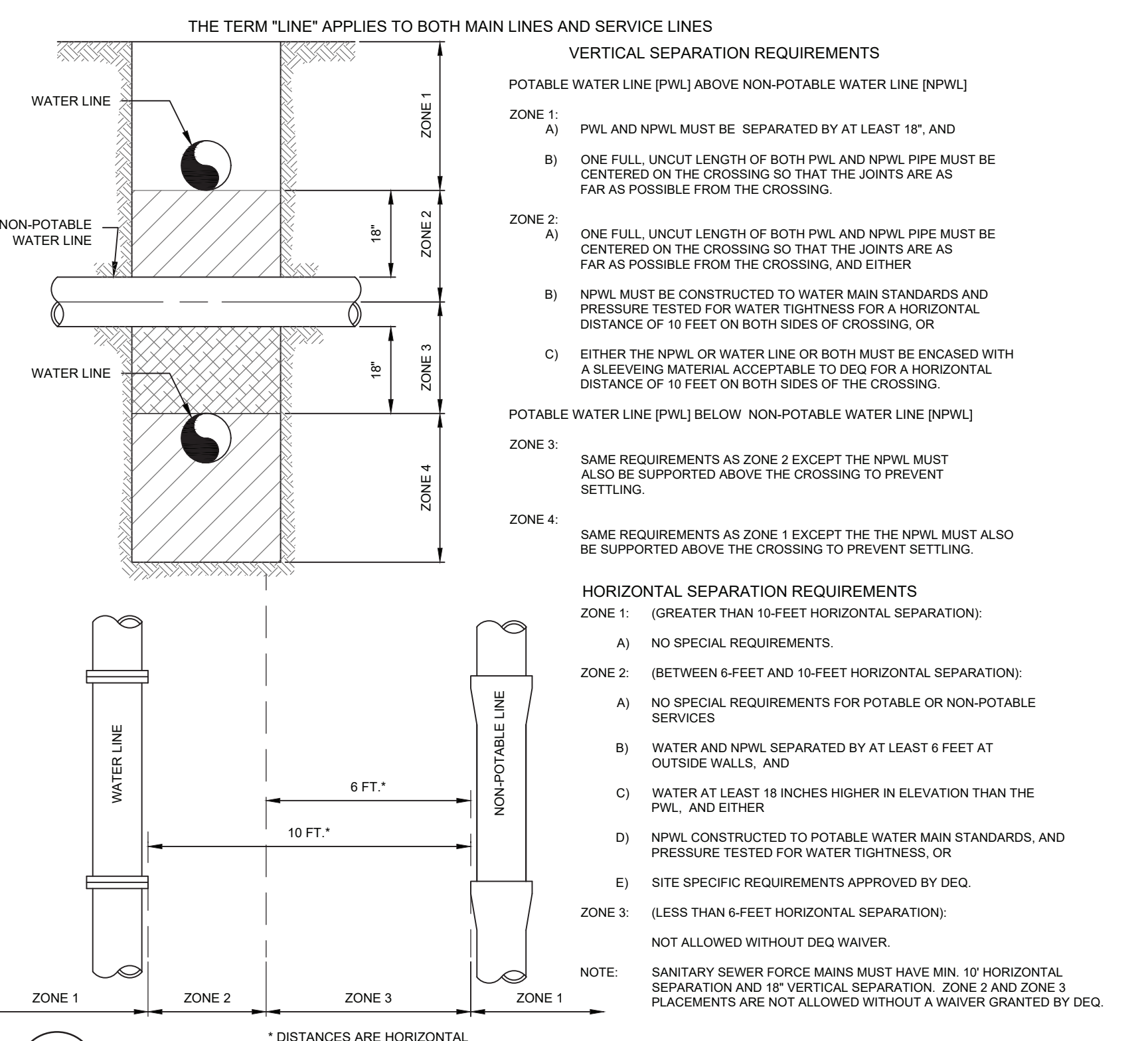
* MUST BE INCREASED BASED ON DIFFERENT CONDITIONS (HIGHER WORKING PRESSURE OR LOWER SOIL BEARING STRENGTH).
 ** OR TEE ACTING AS A 90° BEND
 *** THRUST BLOCK DEPTH TO BE A MINIMUM PF 12" FOR PIPE SIZES 3"-8" AND 18" FOR PIPE SIZES 10"-18" OR THE SQUARE ROOT OF THE REQUIRED BEARING AREA, WHICHEVER IS GREATER.

5 C2.02 THRUST BLOCK AND ANCHOR DETAILS
 N.T.S.



- NOTES:**
- STREET LIGHT IS SOLARONE RFS DESIGN 158 LFP OR APPROVED EQUAL.
 - ANY CONDUITS AND/OR GROUNDING WIRES MUST BE HARDWIRED AND CONTAINED WITHIN A 4.5" Ø CIRCLE CENTERED ON THE FOUNDATION. GROUNDING ELECTRODE WIRE (IF REQUIRED) ARE 5" MIN. ABOVE THE BASE.
 - ANCHOR BOLT ORIENTATION TO TRUE NORTH/SOUTH IS ONLY RELEVANT FOR OFF-GRID SOLAR POLES. DISREGARD FOR GRID-TIED POLES.
 - GROUNDING WIRE MUST BE 60" FROM BASE SO IT CAN REACH THE GROUNDING LUG INSIDE THE POLE.
 - STREET LIGHT SHALL BE 25' IN HEIGHT OR AS APPROVED BY CITY OF KETCHUM.

6 C2.02 TYPICAL STREET LIGHT
 N.T.S.



7 C2.02 POTABLE AND NON-POTABLE WATER LINE (NPWL) SEPARATION
 N.T.S.

COVER AND DETAIL SHEET
BLUEBIRD VILLAGE
(480 N EAST AVE)
 LOCATED WITHIN SECTION 18, T.4 N., R.18 E., B.M., CITY OF KETCHUM, BLAINE COUNTY, IDAHO
 PREPARED FOR GMD DEVELOPMENT, LLC

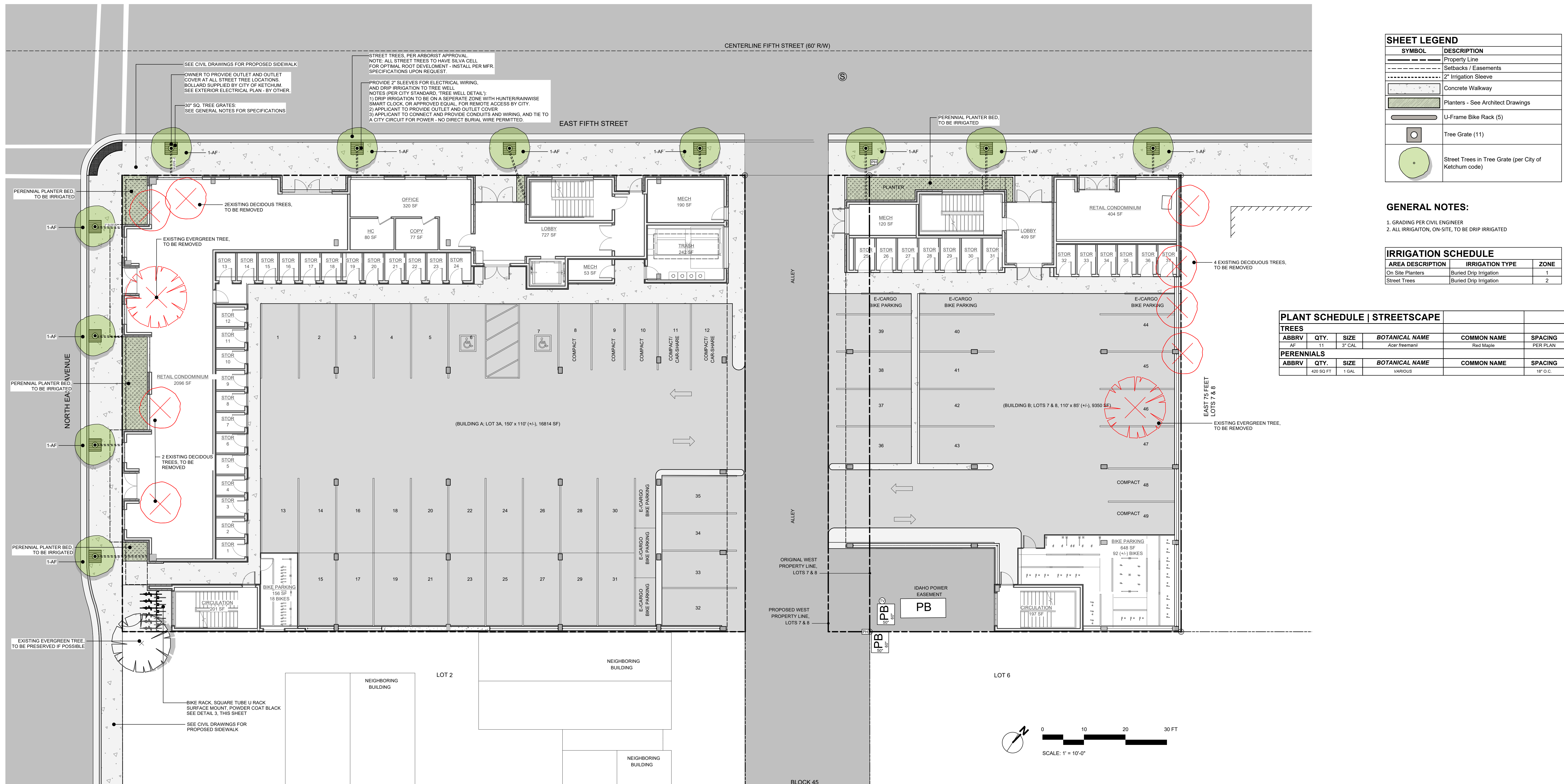


DESIGNED BY
 CT
 DRAWN BY
 SMF
 CHECKED BY

GALENA
 ENGINEERING, INC.
 Civil Engineers & Land Surveyors
 317 N. River Street
 Halley, Idaho 83333
 email: galena@galena-engineering.com
 (208) 768-1705

PURPOSE: ISSUE FOR INTERNAL REVIEW

| NO. | DATE | BY | REVISIONS |
|-----|------|----|-----------|
| | | | |
| | | | |
| | | | |
| | | | |

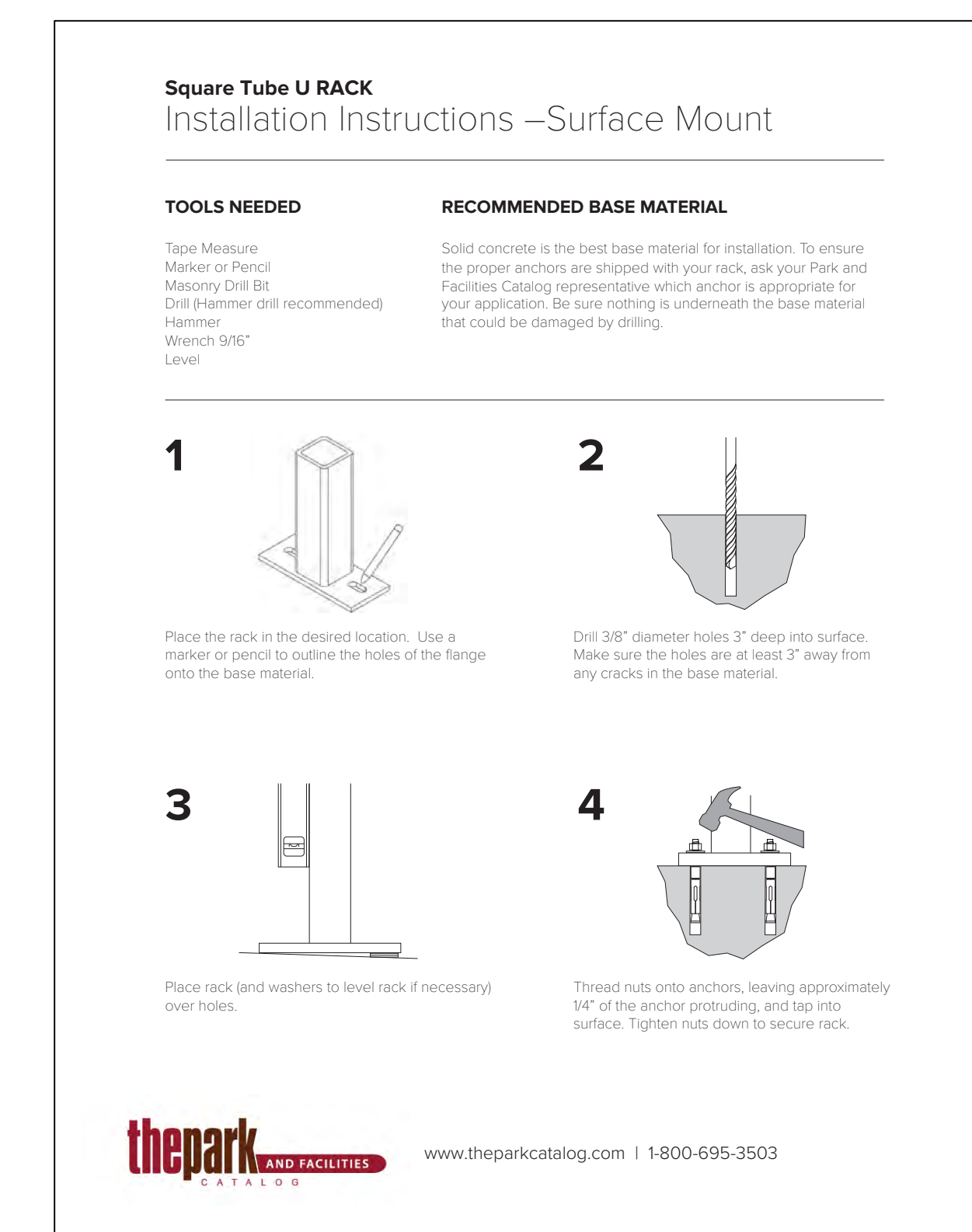
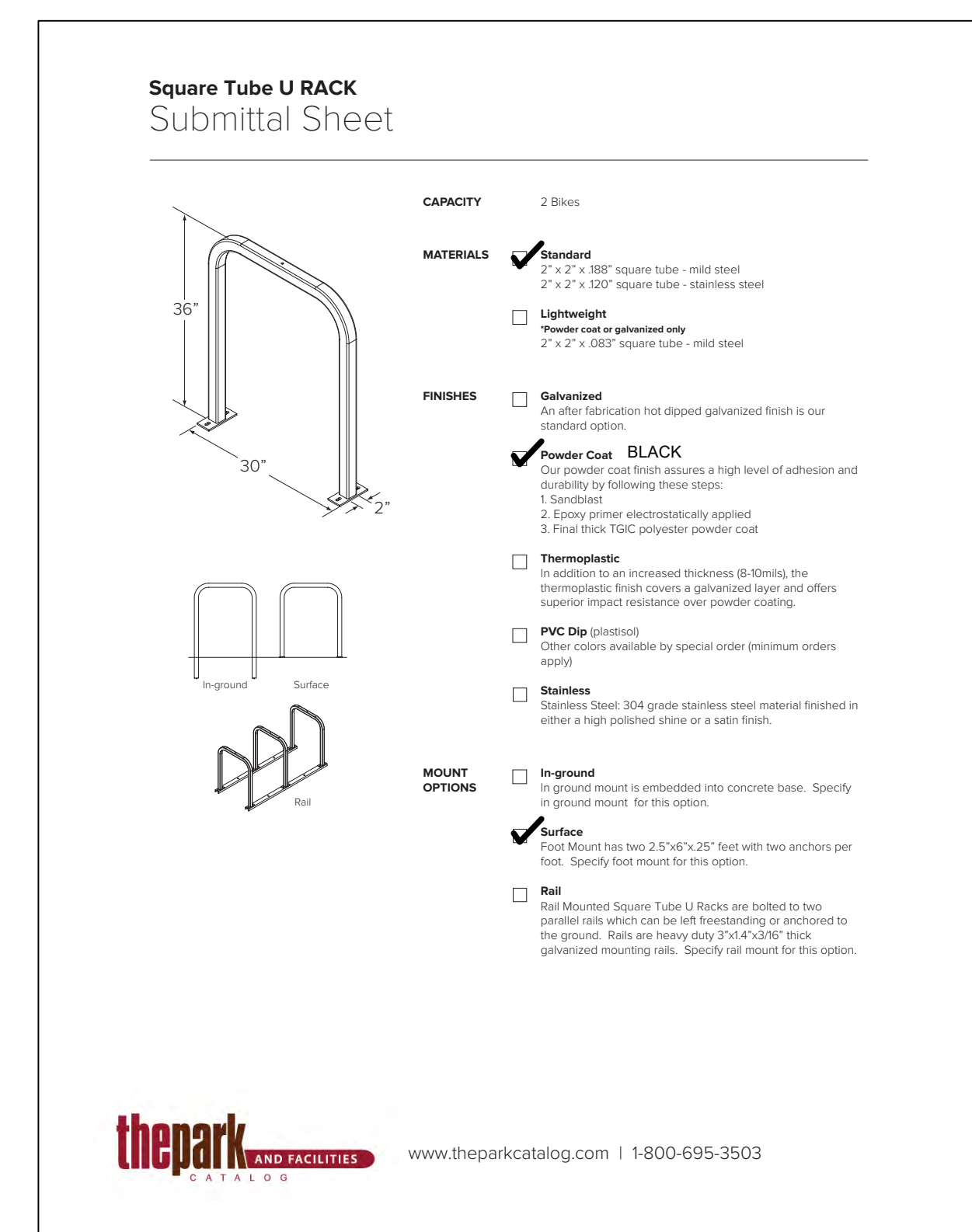
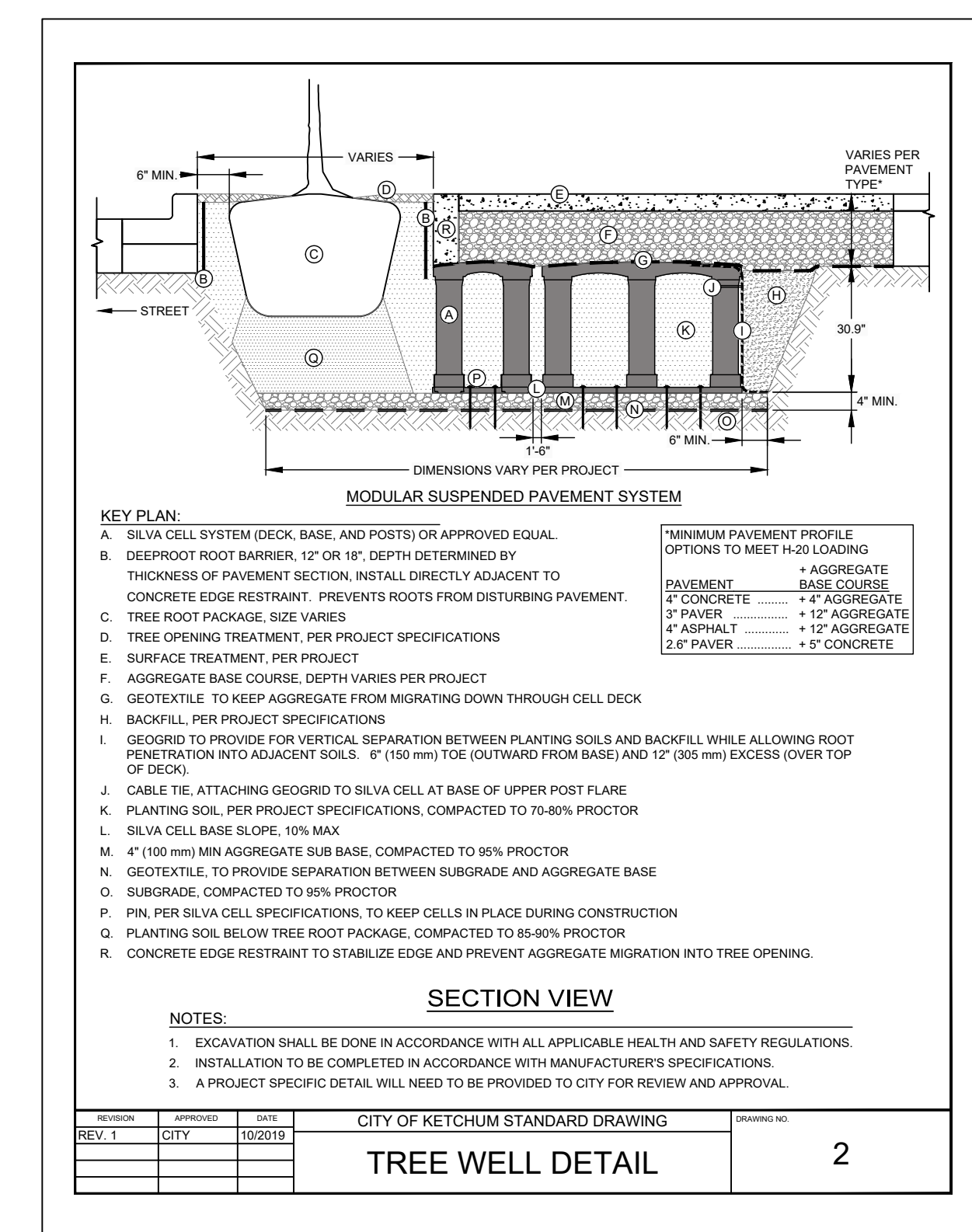
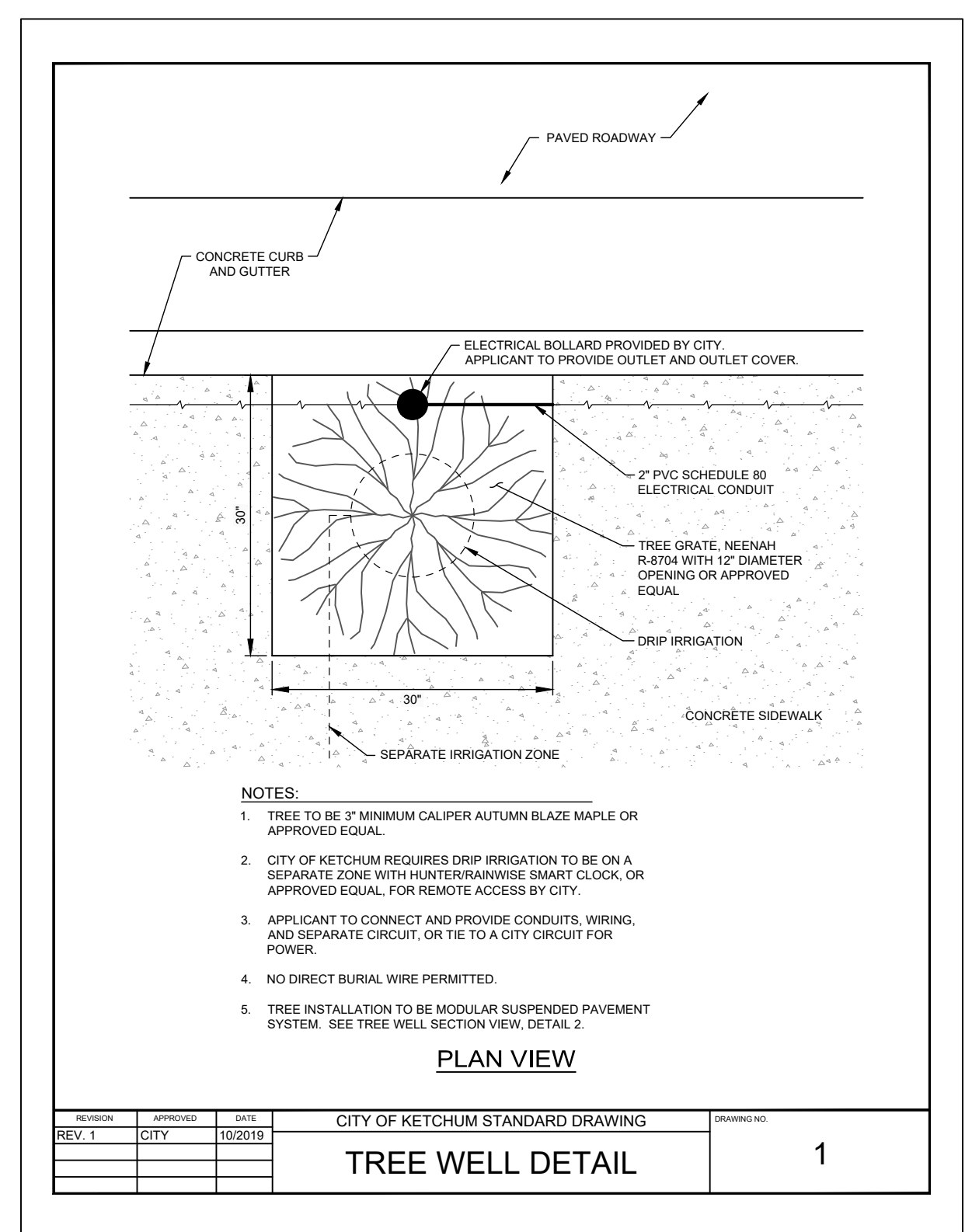


| SHEET LEGEND | |
|--------------|---|
| SYMBOL | DESCRIPTION |
| --- | Property Line |
| --- | Setbacks / Easements |
| --- | 2" Irrigation Sleeve |
| --- | Concrete Walkway |
| --- | Planters - See Architect Drawings |
| --- | U-Frame Bike Rack (5) |
| ○ | Tree Grate (11) |
| ○ | Street Trees in Tree Grate (per City of Ketchum code) |

- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

| IRRIGATION SCHEDULE | | |
|---------------------|------------------------|------|
| AREA DESCRIPTION | IRRIGATION TYPE | ZONE |
| On Site Planters | Buried Drip Irrigation | 1 |
| Street Trees | Buried Drip Irrigation | 2 |

| PLANT SCHEDULE STREETScape | | | | | |
|------------------------------|------|---------|----------------|-------------|----------|
| TREES | | | | | |
| ABBREV | QTY. | SIZE | BOTANICAL NAME | COMMON NAME | SPACING |
| T1 | 11 | 3" CAL. | Acer freemanii | Red Maple | PER PLAN |
| PERENNIALS | | | | | |
| ABBREV | QTY. | SIZE | BOTANICAL NAME | COMMON NAME | SPACING |
| P1 | 420 | 92 FT | VARIOUS | | 18" G.C. |

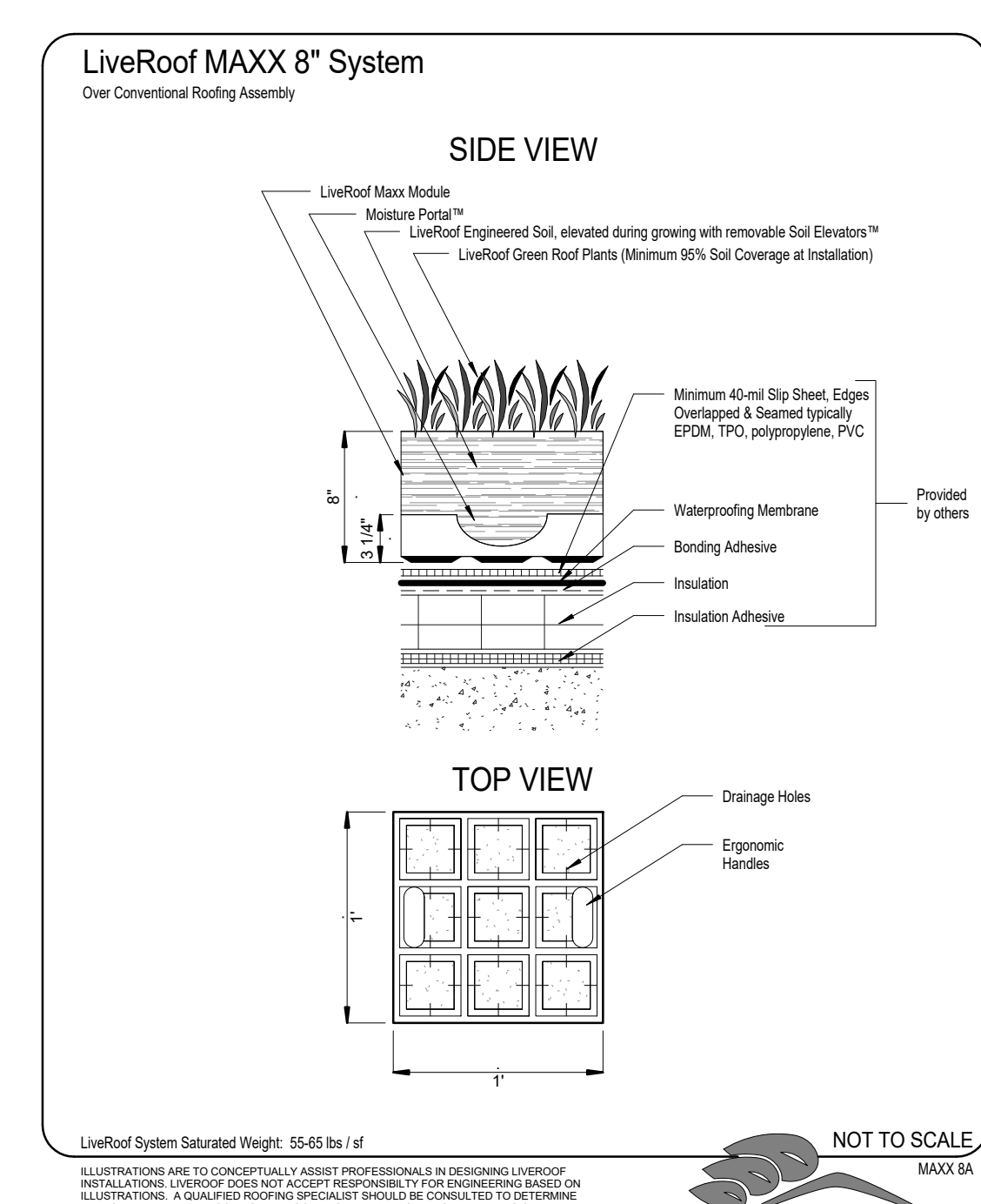


| SHEET LEGEND | |
|--------------|-----------------------------------|
| SYMBOL | DESCRIPTION |
| | Property Line |
| | Setbacks / Easements |
| | Planters - See Architect Drawings |

- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

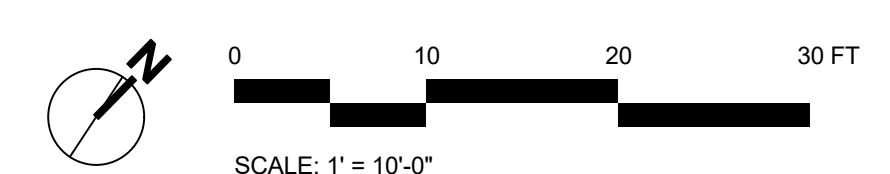
| IRRIGATION SCHEDULE | | |
|---------------------|------------------------|------|
| AREA DESCRIPTION | IRRIGATION TYPE | ZONE |
| Live Roof Planters | Buried Drip Irrigation | 1 |

| PLANT SCHEDULE SECOND LEVEL | | | | | |
|-------------------------------|-------|-------|----------------|---------|----------|
| PERENNIALS | | | | | |
| ABBRV | QTY. | SIZE | BOTANICAL NAME | SPACING | |
| | 2,070 | 50 FT | 1 GAL | VARIOUS | 18" O.C. |



LiveRoof, LLC
P.O. Box 253
Spring Lake, MI 49456
(800) 875-1392
www.liveroof.com

1 LIVE ROOF SYSTEM
Scale: NTS



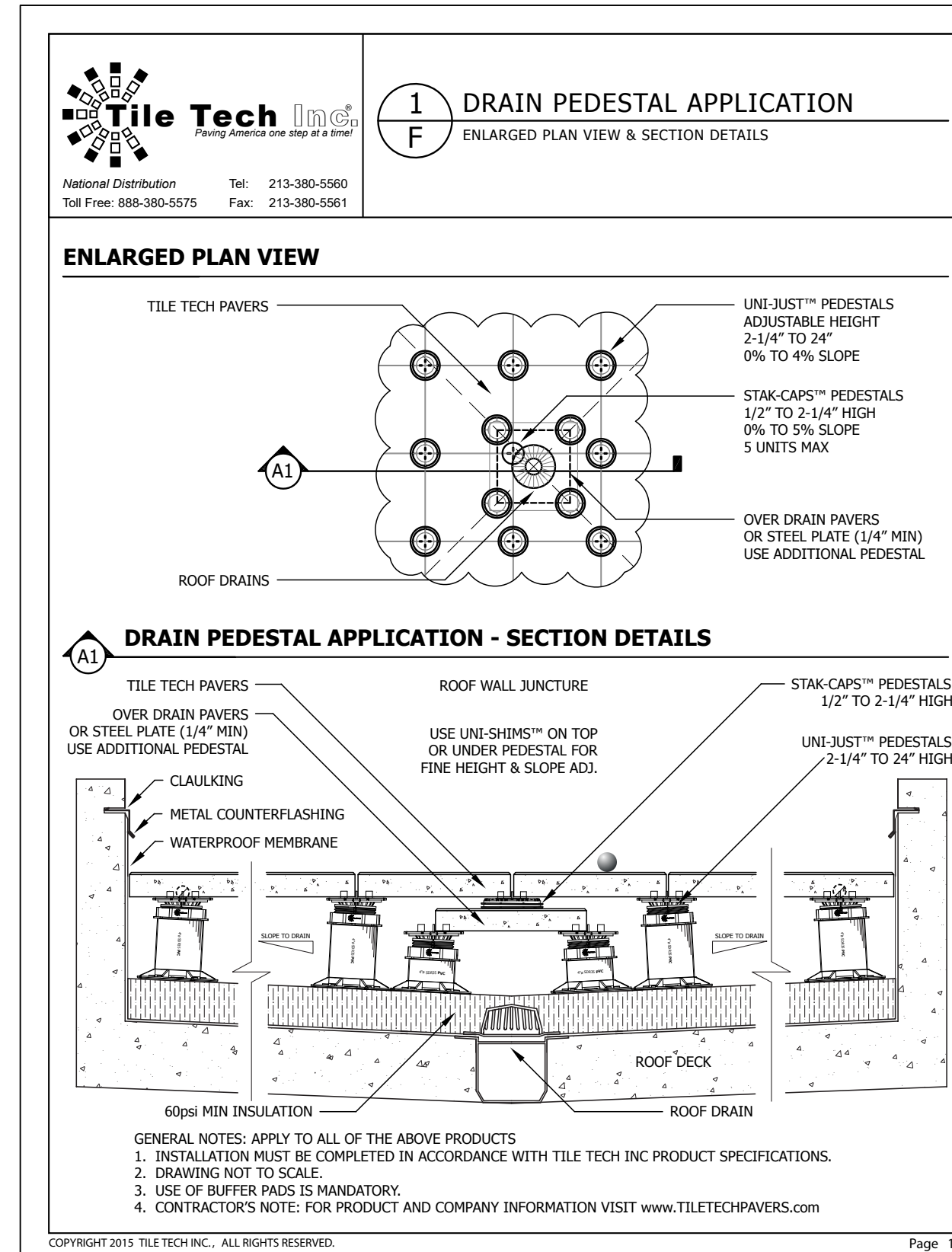


| SHEET LEGEND | |
|-----------------|-----------------------------------|
| SYMBOL | DESCRIPTION |
| --- | Property Line |
| - - - - | Setbacks / Easements |
| [Grid Pattern] | Pedestal Pavers |
| [Green Hatched] | Planters - See Architect Drawings |
| [Green Circle] | Landscape - Tree |

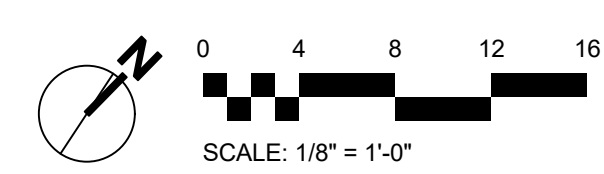
- GENERAL NOTES:**
1. GRADING PER CIVIL ENGINEER
 2. ALL IRRIGATION, ON-SITE, TO BE DRIP IRRIGATED

| IRRIGATION SCHEDULE | | |
|---------------------|------------------------|------|
| AREA DESCRIPTION | IRRIGATION TYPE | ZONE |
| Raised Planters | Buried Drip Irrigation | 1 |

| PLANT SCHEDULE FOURTH FLOOR DECK | | | | | |
|------------------------------------|-----------|--------|----------------|-------------|----------|
| TREES | | | | | |
| ABBRV | QTY. | SIZE | BOTANICAL NAME | COMMON NAME | SPACING |
| AF | 6 | 3" CAL | Acer freemanii | Red Maple | PER PLAN |
| PERENNIALS | | | | | |
| ABBRV | QTY. | SIZE | BOTANICAL NAME | COMMON NAME | SPACING |
| | 880 SQ FT | 1 GAL | VARIOUS | | 18" O.C. |



1 TILE TECH - DRAIN PEDESTAL APPLICATION
Scale: NTS



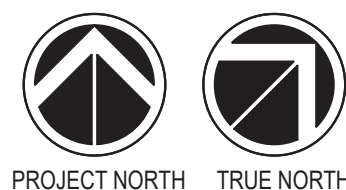
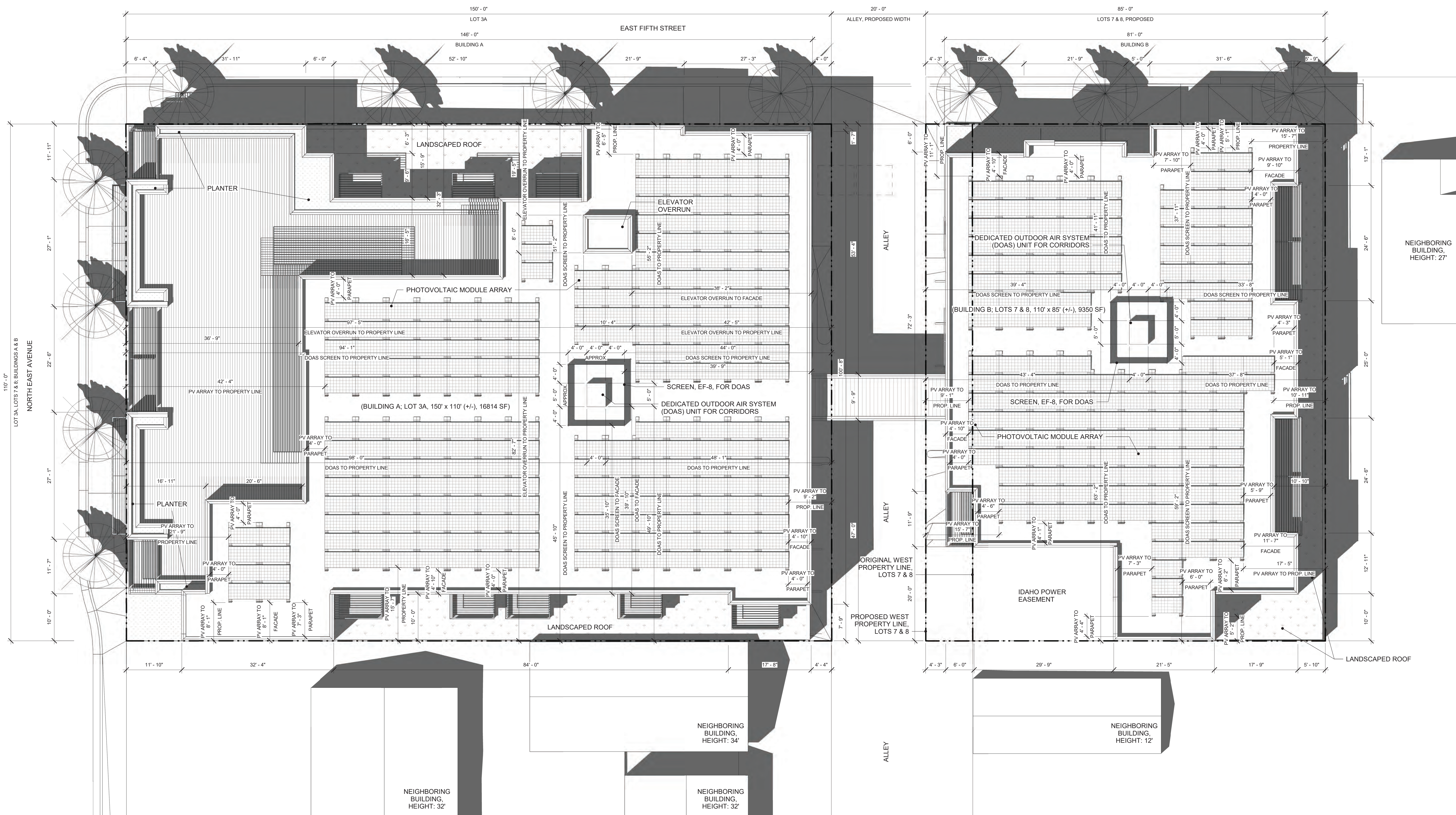
PRE-APPLICATION DESIGN REVIEW
BLUEBIRD VILLAGE
 480 N. EAST AVE. | KETCHUM, ID 83340

FILENAME: Bluebird.vwx
PROJECT MANAGER: CG
DRAWN BY: TP
ISSUE DATE: 04.09.2021
PLOT DATE: 4/9/21 4:10:13

FOURTH FLOOR PATIO OVERVIEW

SHEET NO.

PDR L1.04



PROPOSED ARCHITECTURAL SITE PLAN

12:45 PM, JUNE 21, 2021

SITE DIMENSIONS & AREAS

LOT 3A: 110' x 150' (+/-) = 16814 SF
 LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
 TOTAL: 26164 SF

USE & OCCUPANCY CLASSIFICATION

- RESIDENTIAL GROUP R-2
- BUSINESS GROUP B
- STORAGE GROUP S-2
- ASSEMBLY GROUP A-3

SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

ZONING

ZONING: CC-1 COMMUNITY CORE, RETAIL

CONSTRUCTION TYPE

CONSTRUCTION TYPE: TYPE V-A

BUILDING AREA

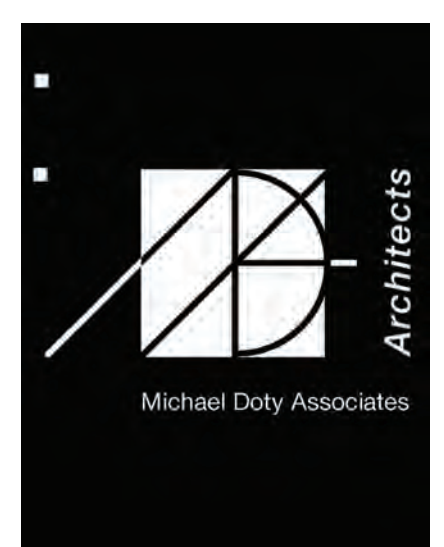
BUILDING AREA (GROSS): 60038 SF

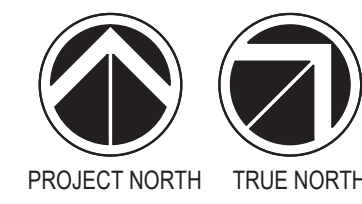
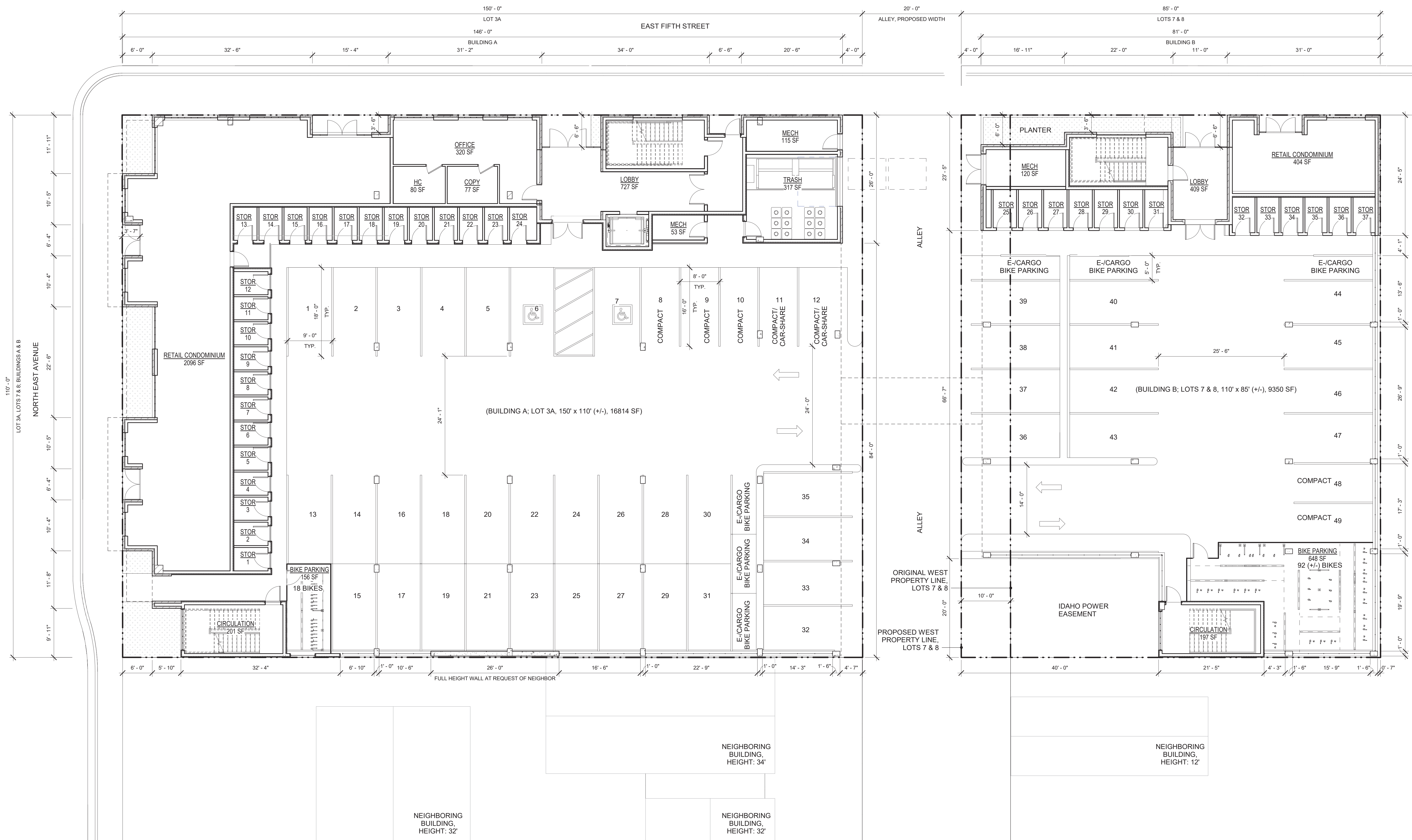
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
 KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
 4/12/2021





PROPOSED ARCHITECTURAL SITE PLAN - GROUND LEVEL

SITE DIMENSIONS & AREAS

LOT 3A: 110' x 150' (+/-) = 16814 SF
 LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
 TOTAL: 26164 SF

USE & OCCUPANCY CLASSIFICATION

BUSINESS GROUP B

STORAGE GROUP S-2

SNOW STORAGE CALCULATION

NO VIABLE ON-SITE SNOW STORAGE AREAS. SNOW MANAGEMENT TO BE ACCOMPLISHED BY SNOWMELT AND HAULING OFF-SITE.

SCALE: 1/8" = 1'-0"

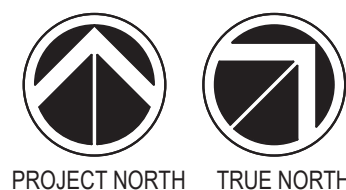
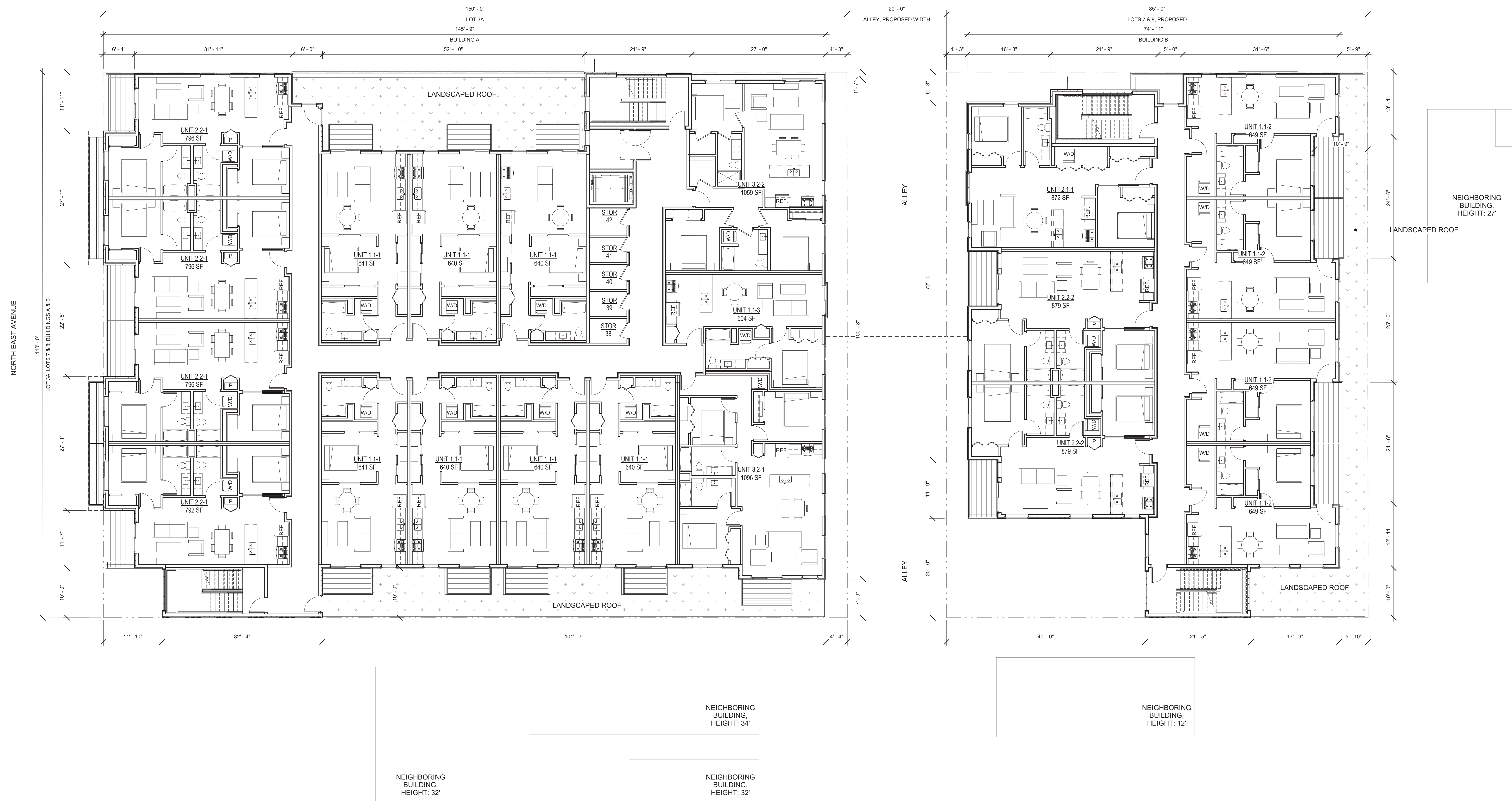
BLUEBIRD VILLAGE

480 N. EAST AVE.
 KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
 4/12/2021



EAST FIFTH STREET



PROPOSED SECOND FLOOR PLAN

USE & OCCUPANCY CLASSIFICATION

RESIDENTIAL GROUP R-2
STORAGE GROUP S-2

RESIDENTIAL UNIT TYPE KEY

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)
NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)
FLOOR PLAN TYPE & PREVALENCE IN PROJECT*
*PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

SCALE: 1/8" = 1'-0"

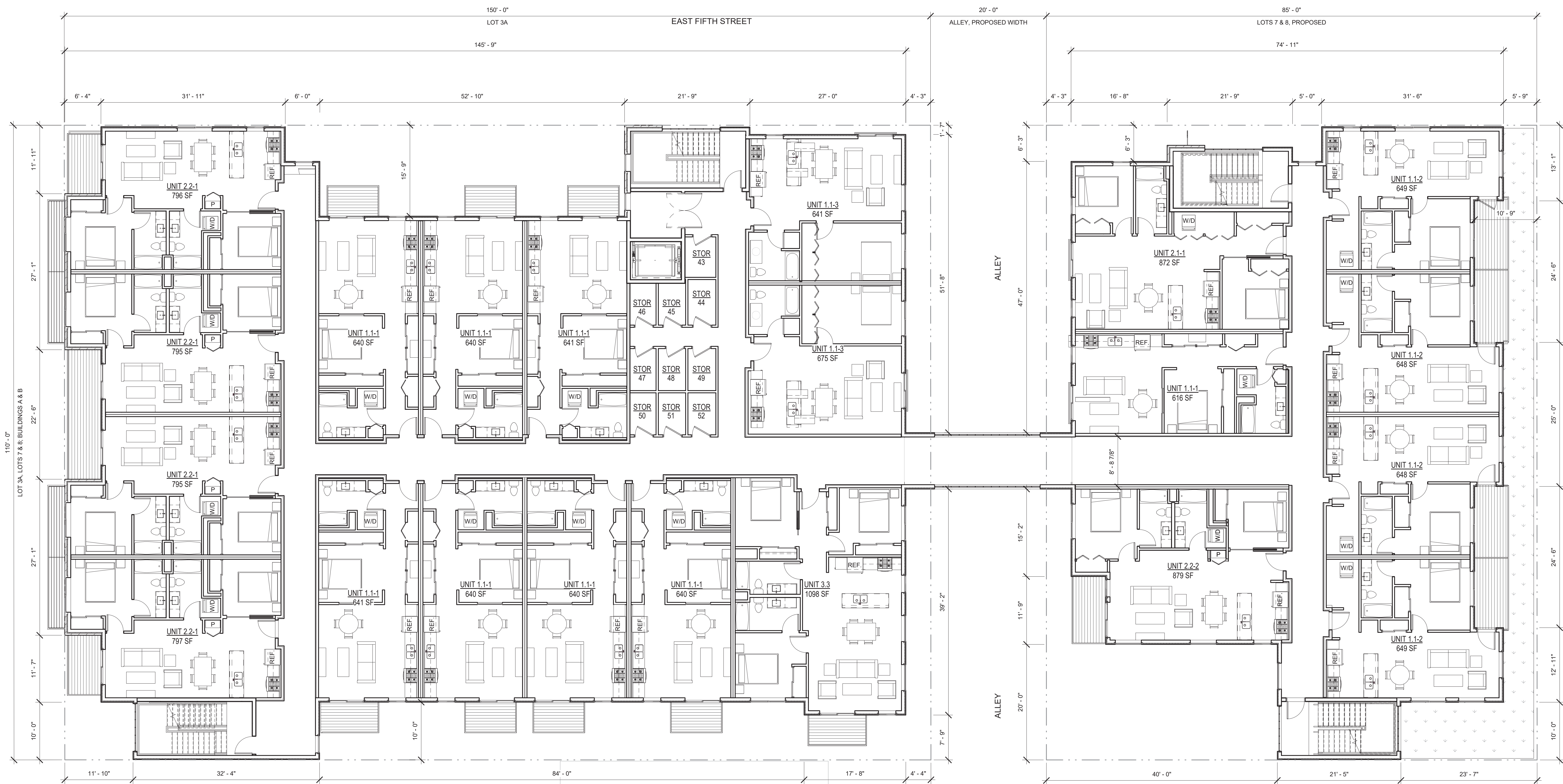
BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



NORTH EAST AVENUE



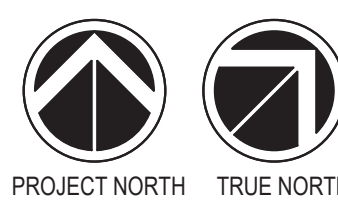
NEIGHBORING BUILDING, HEIGHT: 32'

NEIGHBORING BUILDING, HEIGHT: 34'

NEIGHBORING BUILDING, HEIGHT: 32'

NEIGHBORING BUILDING, HEIGHT: 12'

NEIGHBORING BUILDING, HEIGHT: 27'



PROPOSED THIRD FLOOR PLAN

USE & OCCUPANCY CLASSIFICATION

- RESIDENTIAL GROUP R-2
- STORAGE GROUP S-2

RESIDENTIAL UNIT TYPE KEY

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)
 NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)
 FLOOR PLAN TYPE & PREVALENCE IN PROJECT*
 *PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

SCALE: 1/8" = 1'-0"

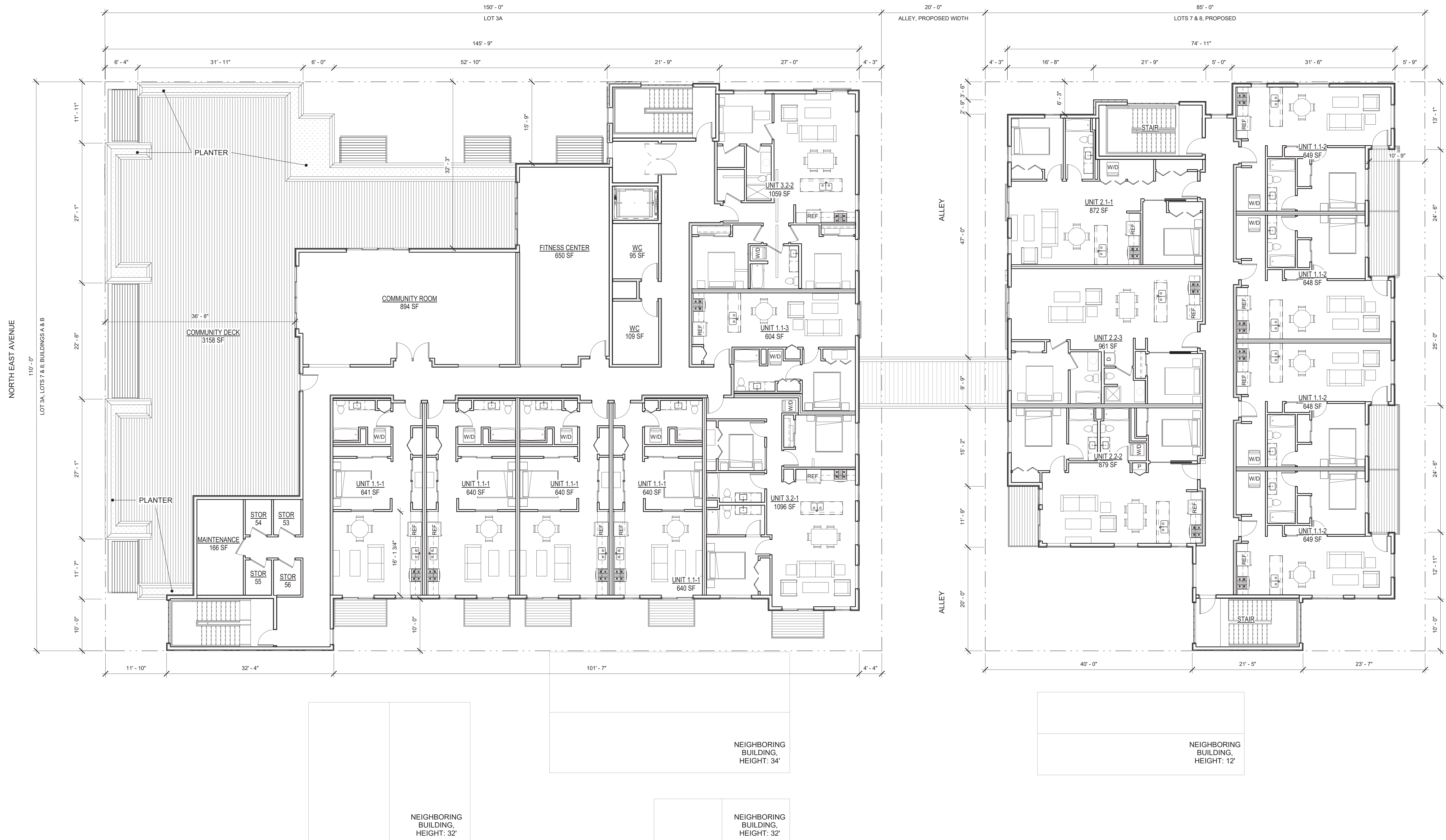
BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



EAST FIFTH STREET



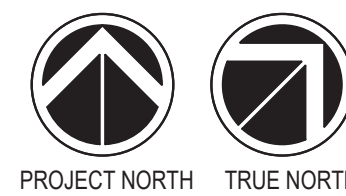
NEIGHBORING BUILDING, HEIGHT: 27'

NEIGHBORING BUILDING, HEIGHT: 34'

NEIGHBORING BUILDING, HEIGHT: 12'

NEIGHBORING BUILDING, HEIGHT: 32'

NEIGHBORING BUILDING, HEIGHT: 32'



PROPOSED FOURTH FLOOR PLAN

USE & OCCUPANCY CLASSIFICATION

- RESIDENTIAL GROUP R-2
- STORAGE GROUP S-2
- ASSEMBLY GROUP A-3

RESIDENTIAL UNIT TYPE KEY

NUMBER OF BEDROOMS (PRIMARY DEFINITION OF TYPE)
 NUMBER OF BATHROOMS (SECONDARY DEFINITION OF TYPE)
 FLOOR PLAN TYPE & PREVALENCE IN PROJECT*
 *PER TYPE: WHERE TYPES HAVE EQUAL NUMBERS OF DIFFERENT FLOOR PLANS, NUMBER DOES NOT NECESSARILY ALSO INDICATE PREVALENCE; 1 INDICATES MOST PREVALENT, 2 LESS PREVALENT, & SO ON

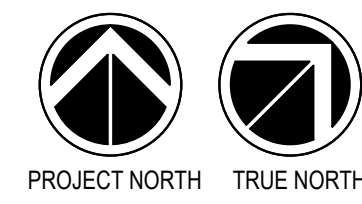
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





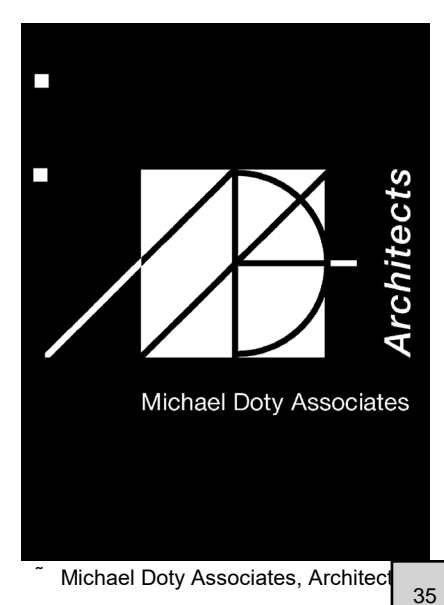
PROPOSED ROOF PLAN 9:00 AM, JUNE 21, 2021

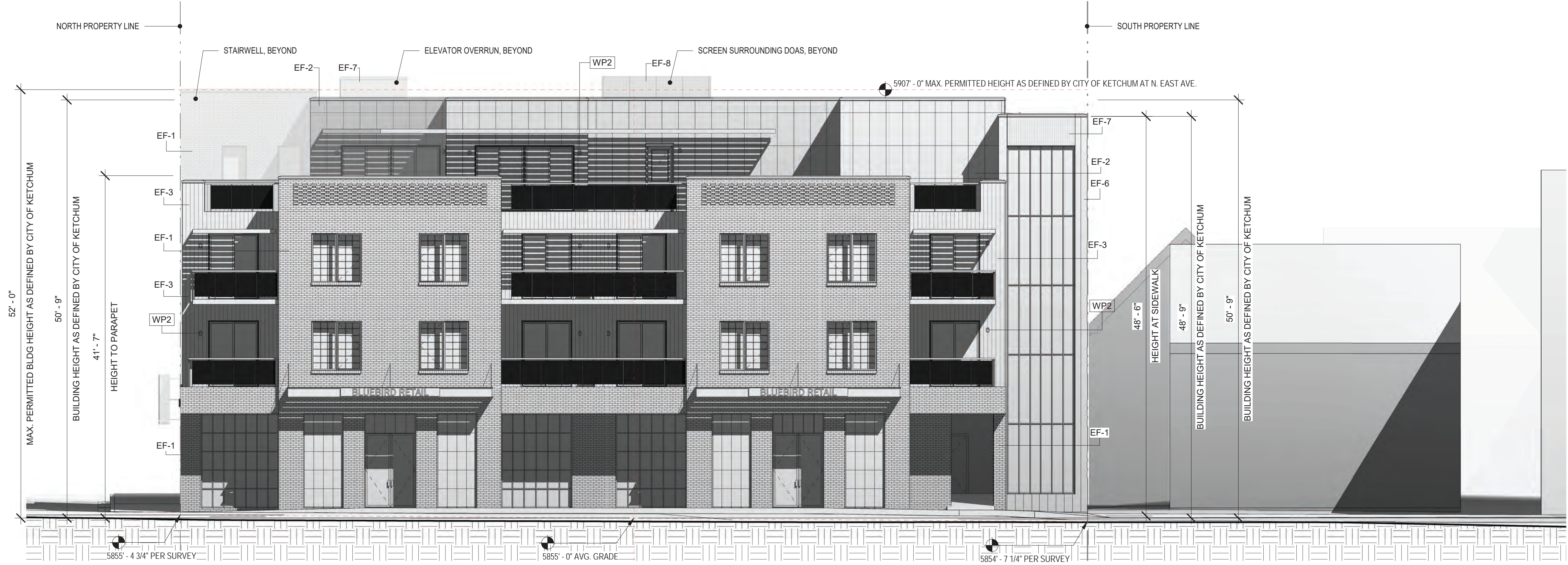
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

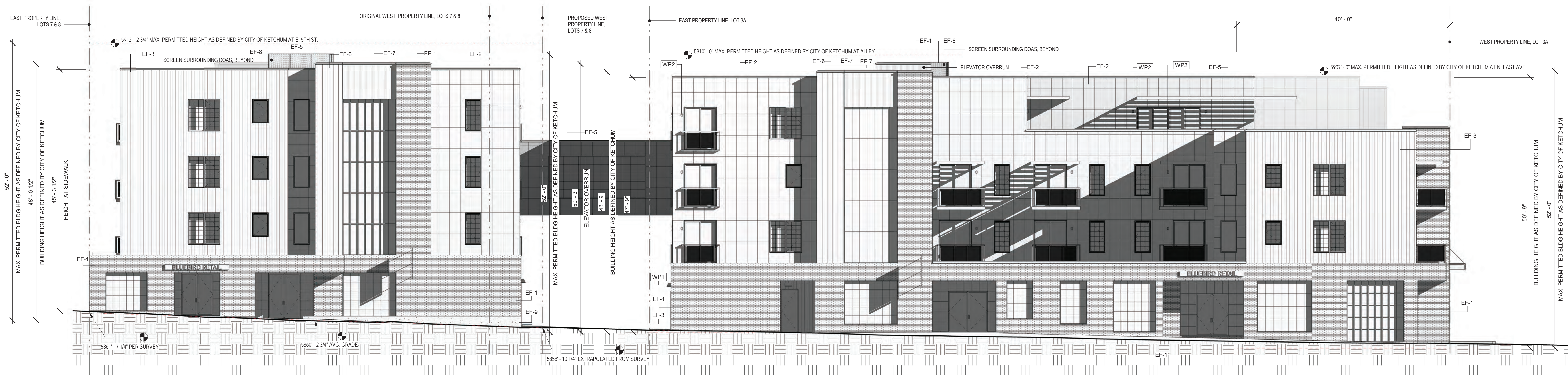
480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





WEST ELEVATION - NORTH EAST AVENUE 12:45 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"



NORTH ELEVATION - EAST FIFTH STREET 4:00 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - WEST & NORTH

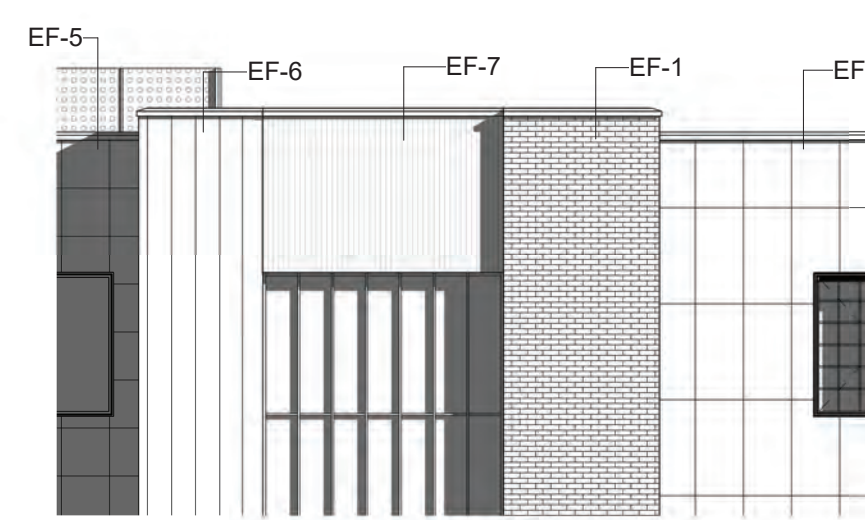
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

- GENERAL CATEGORY OF INFORMATION
- SPECIFIC TYPE OR INSTANCE
- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
- EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
- EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
- A PRODUCT OR MATERIAL DESCRIPTION ALSO ACCOMPANIES THE TAG & IMAGE
- SEE EXAMPLES AT RIGHT
- NOT EVERY MATERIAL OR PRODUCT IS ACCOMPANIED BY A TAG.



EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

- GENERAL CATEGORY OF INFORMATION
- SPECIFIC TYPE OR INSTANCE
- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT
- NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.



BLUEBIRD VILLAGE

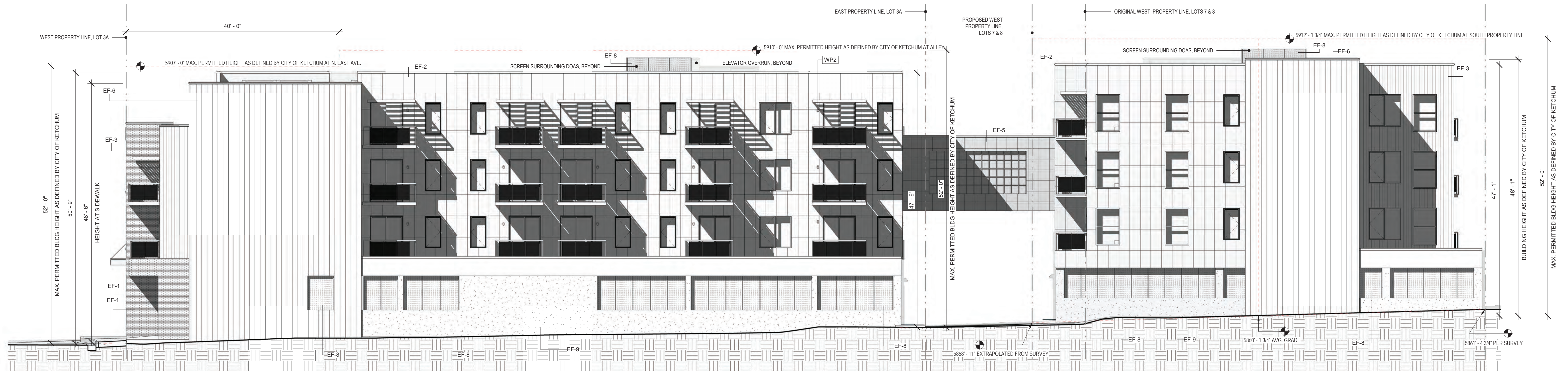
480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





EAST ELEVATION - BUILDING B 9:00 AM, SEPTEMBER 22, 2021
1/8" = 1'-0"



SOUTH ELEVATION 1:00 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - EAST & SOUTH

PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

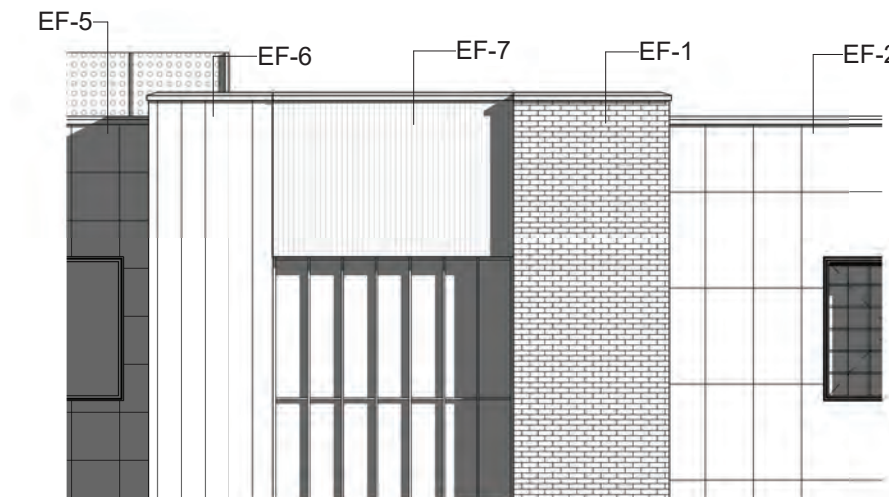
GENERAL CATEGORY OF INFORMATION
SPECIFIC TYPE OR INSTANCE

- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
- EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
- EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
- A PRODUCT OR MATERIAL DESCRIPTION ALSO ACCOMPANIES THE TAG & IMAGE
- SEE EXAMPLES AT RIGHT

NOT EVERY MATERIAL OR PRODUCT IS ACCOMPANIED BY A TAG.



EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

GENERAL CATEGORY OF INFORMATION
SPECIFIC TYPE OR INSTANCE

- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
- THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT

NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.

SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





EAST ELEVATION - BUILDING A (ALLEY) 9:00 AM, SEPTEMBER 22, 2021
1/8" = 1'-0"



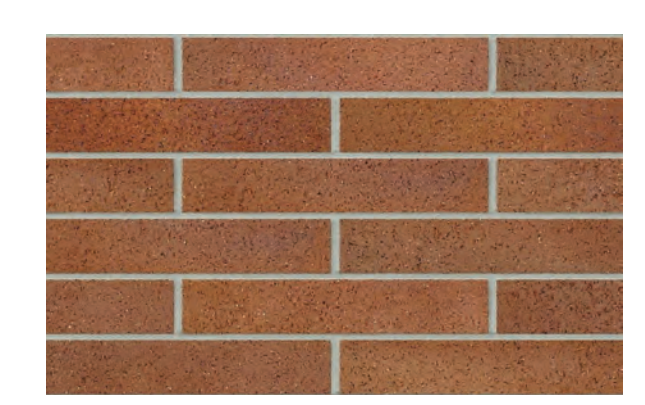
WEST ELEVATION - BUILDING B (ALLEY) 4:00 PM, SEPTEMBER 22, 2021
1/8" = 1'-0"

PROPOSED BUILDING ELEVATIONS - ALLEY

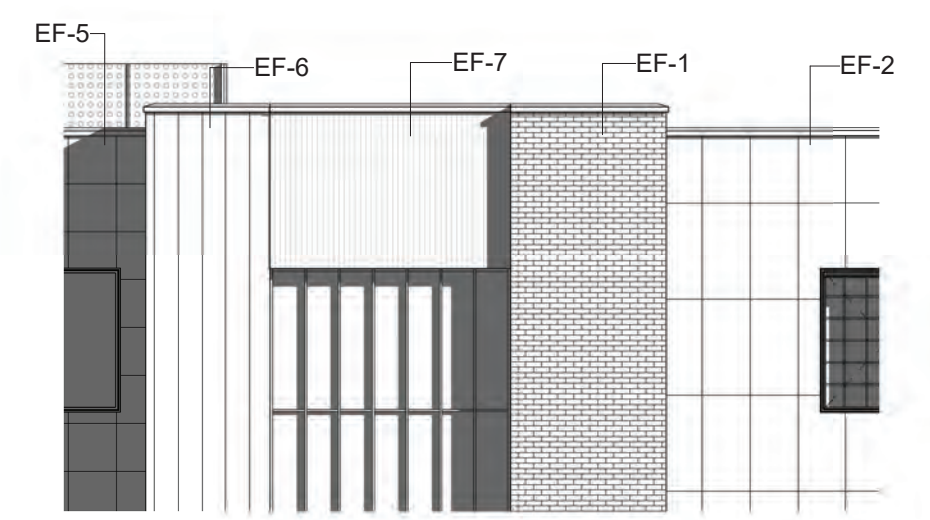
PROPOSED EXTERIOR FINISH TAG USE INSTRUCTIONS & EXAMPLE KEY

FOR FULL KEY REFER TO SHEET A9.00 AND/OR A9.00B (11x17 VERSION)

- EF DENOTES EXTERIOR FINISH (CATEGORY OF INFORMATION)
 - THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC EXTERIOR FINISH
 - EACH EXTERIOR FINISH IS REPRESENTED BY AN IMAGE OF THE MATERIAL ON SHEETS PDR A9.00 & A9.00B.
 - EACH IMAGE DEFINES THE TAG, WHICH IS SHOWN BELOW
 - A PRODUCT OR MATERIAL DESCRIPTION ALSO ACCOMPANIES THE TAG & IMAGE
 - SEE EXAMPLES AT RIGHT
- NOT EVERY MATERIAL OR PRODUCT IS ACCOMPANIED BY A TAG.



EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



PROPOSED EXTERIOR LIGHTING FIXTURE TAG USE INSTRUCTIONS

FOR LIGHTING FIXTURE SCHEDULE & SPEC. SHEETS REFER TO SHEET PDR E2.00

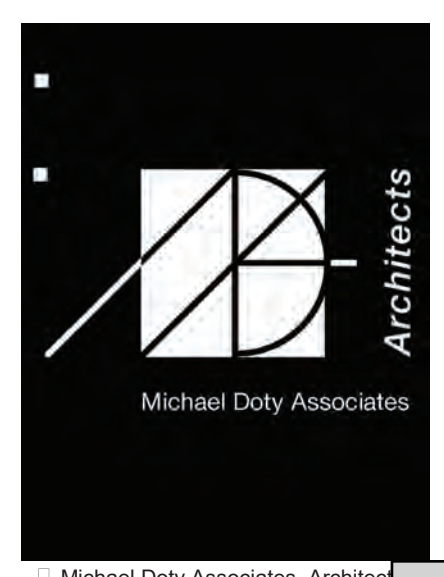
- WP DENOTES WALL MOUNTED LIGHT FIXTURE (CATEGORY OF INFORMATION)
 - THE NUMBER ASSOCIATED WITH EACH TAG IS ASSIGNED TO A SPECIFIC PRODUCT
- NOT ALL TYPES OF LIGHT FIXTURES ARE SHOWN OR TAGGED ON THE ELEVATIONS.

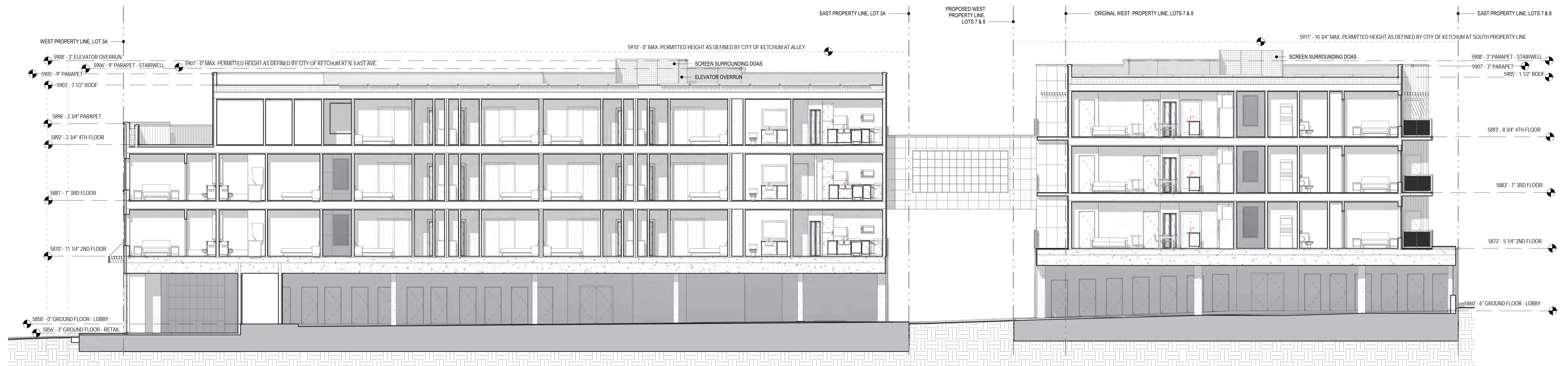
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





SECTION - EAST - WEST
1/8" = 1'-0"

PROPOSED BUILDING SECTION

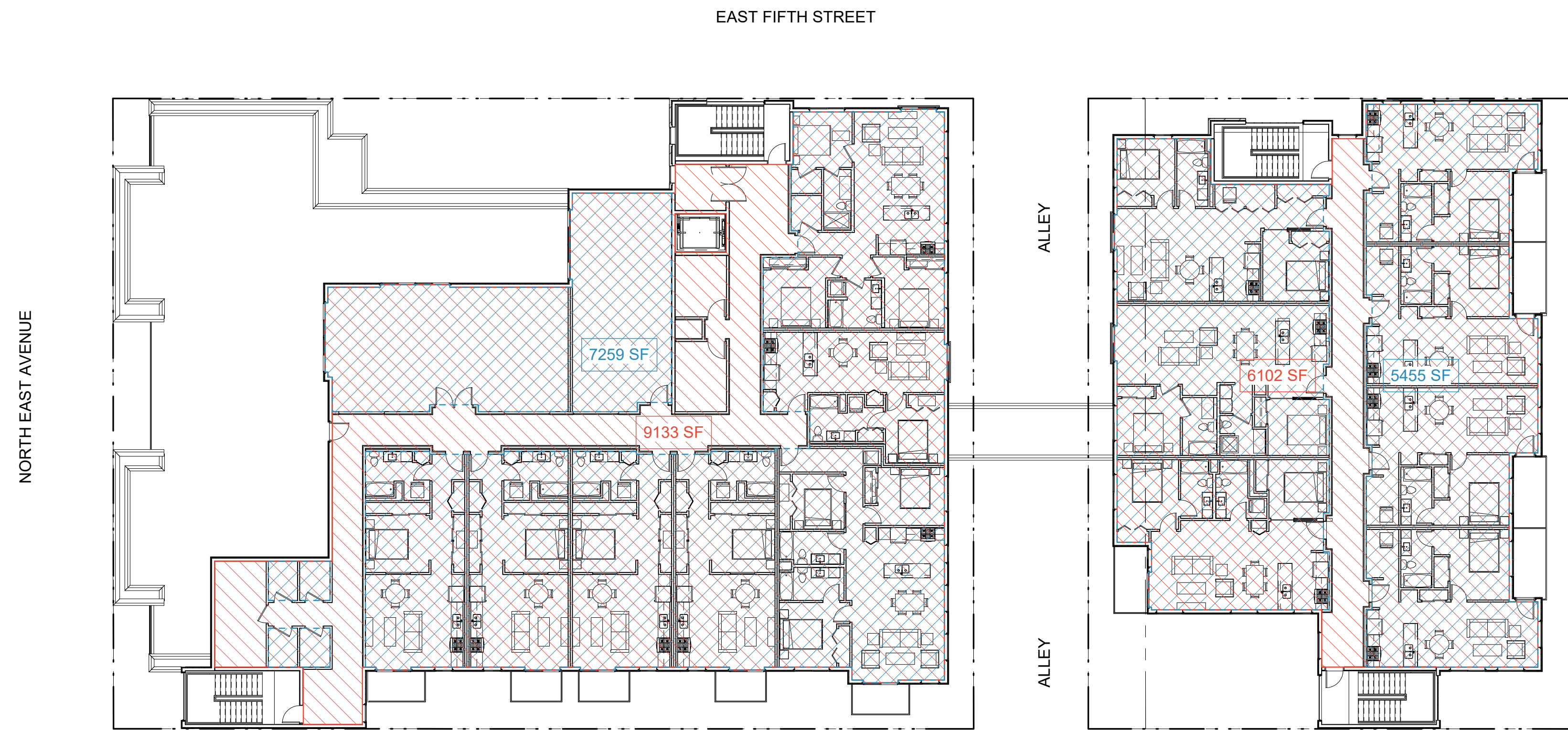
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021

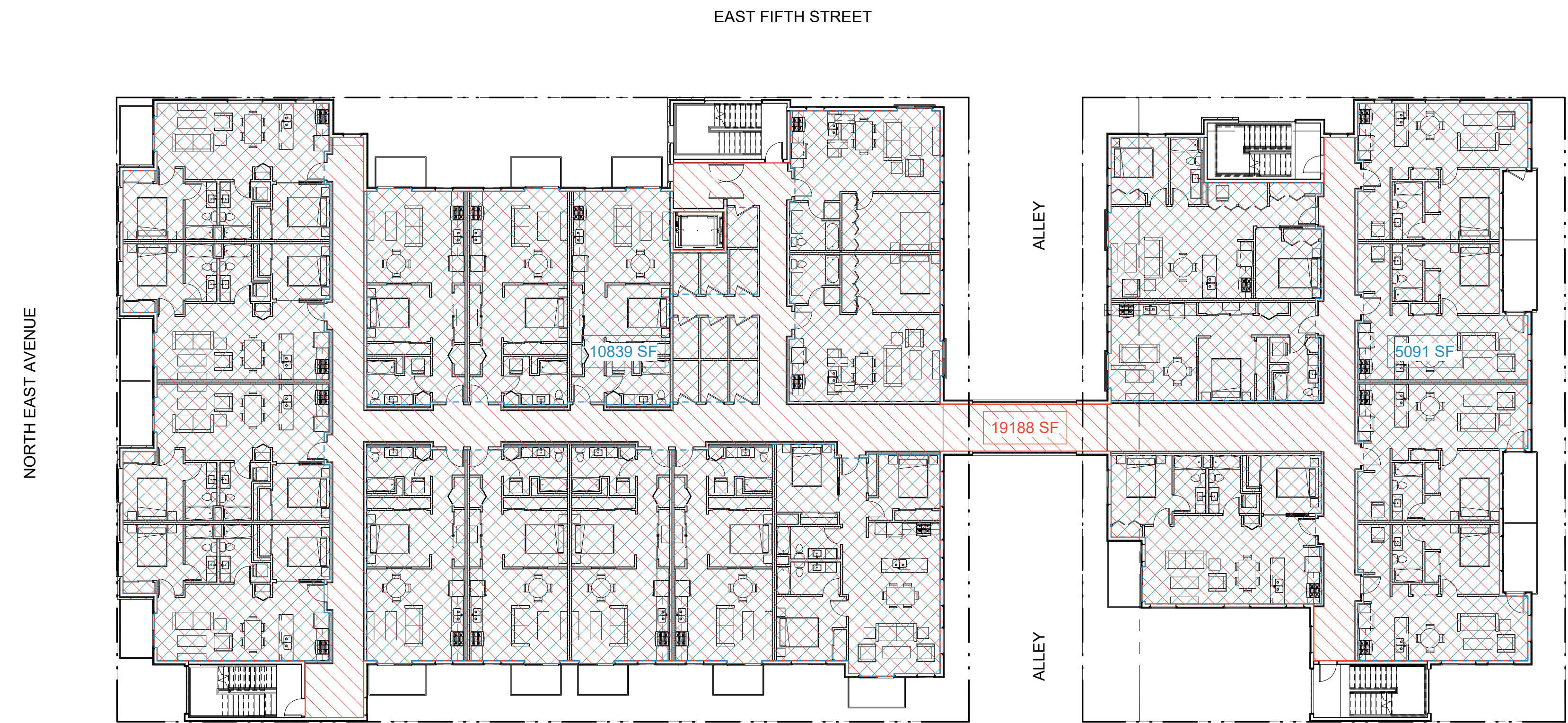




4TH FLOOR
1/16" = 1'-0"

TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 9133 SF + 6102 SF = 15235 SF

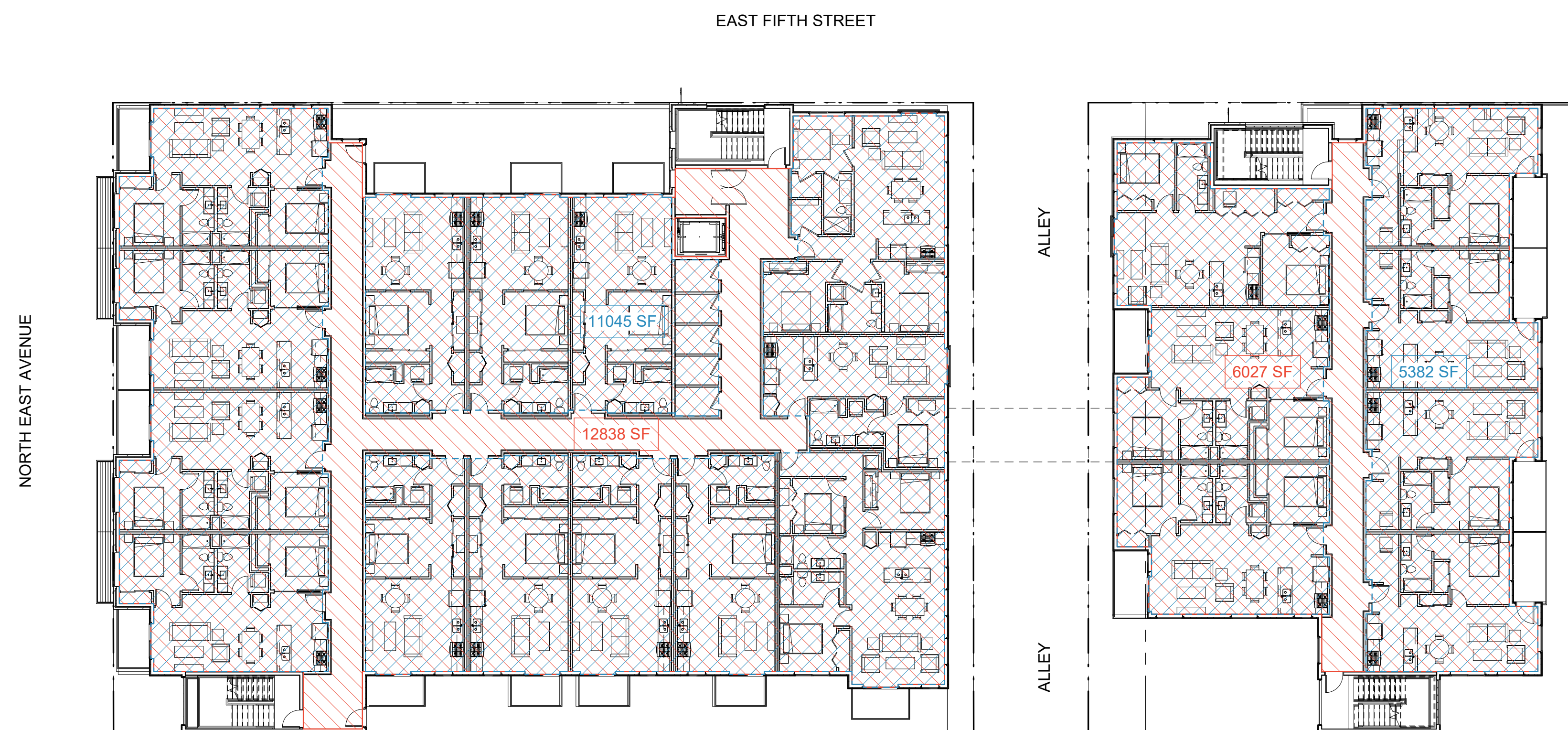
TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 7259 SF + 5455 SF = 12714 SF



3RD FLOOR
1/16" = 1'-0"

TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 19188 SF

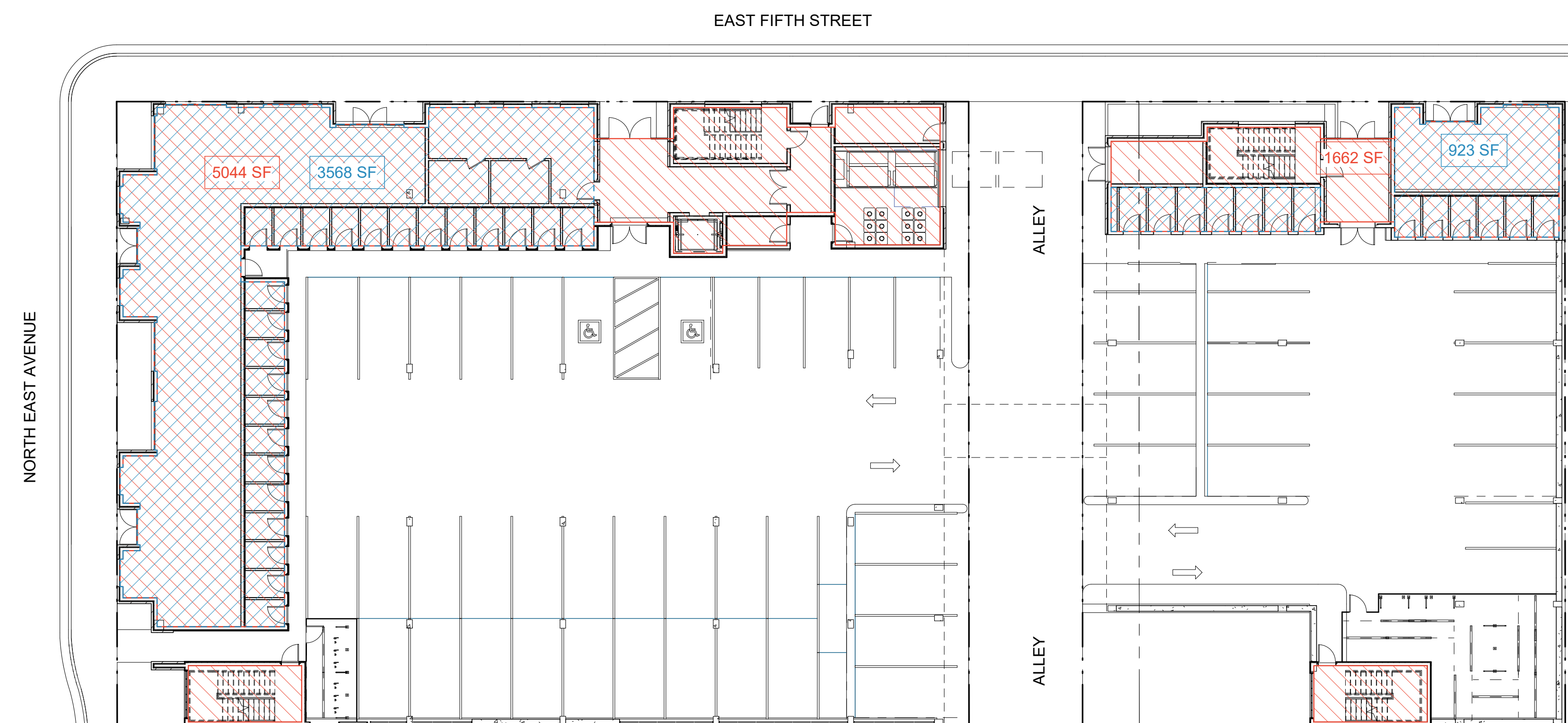
TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 10839 SF + 5091 SF = 15930 SF



2ND FLOOR
1/16" = 1'-0"

TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 12838 SF + 6027 SF = 18865 SF

TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 11045 SF + 5382 SF = 16427 SF



GROUND FLOOR
1/16" = 1'-0"

TOTAL AREA FACTORED INTO GROSS F.A.R. CALCULATION: 5044 SF + 1662 SF = 6706 SF

TOTAL AREA FACTORED INTO NET F.A.R. CALCULATION: 3568 SF + 923 SF = 4491 SF

FLOOR AREA + FLOOR AREA RATIO

FLOOR AREA RATIO, GROSS

SITE AREA
LOT 3A: 110' x 150' (+/-) = 16814 SF
LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
TOTAL: 26164 SF

BUILDING GROSS AREA
GROUND FLOOR: 6706 SF
2ND FLOOR: 18865 SF
3RD FLOOR: 19188 SF
4TH FLOOR: 15235 SF
TOTAL: 59994 SF


FLOOR AREA RATIO, GROSS: 59994 SF ÷ 26164 SF = 2.29 F.A.R.

FLOOR AREA RATIO, NET

SITE AREA
LOT 3A: 110' x 150' (+/-) = 16814 SF
LOTS 7 & 8: 110' x 85' (+/-) = 9350 SF
TOTAL: 26164 SF

BUILDING NET AREA
GROUND FLOOR: 4491 SF
2ND FLOOR: 16427 SF
3RD FLOOR: 15930 SF
4TH FLOOR: 12714 SF
TOTAL: 49562 SF

FLOOR AREA RATIO, NET: 49562 SF ÷ 26164 SF = 1.89 F.A.R.

 FLOOR AREA, GROSS 12838 SF

 FLOOR AREA, NET 11045 SF

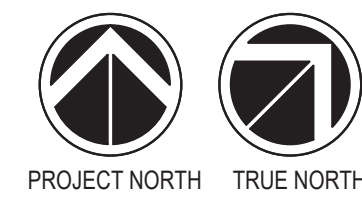
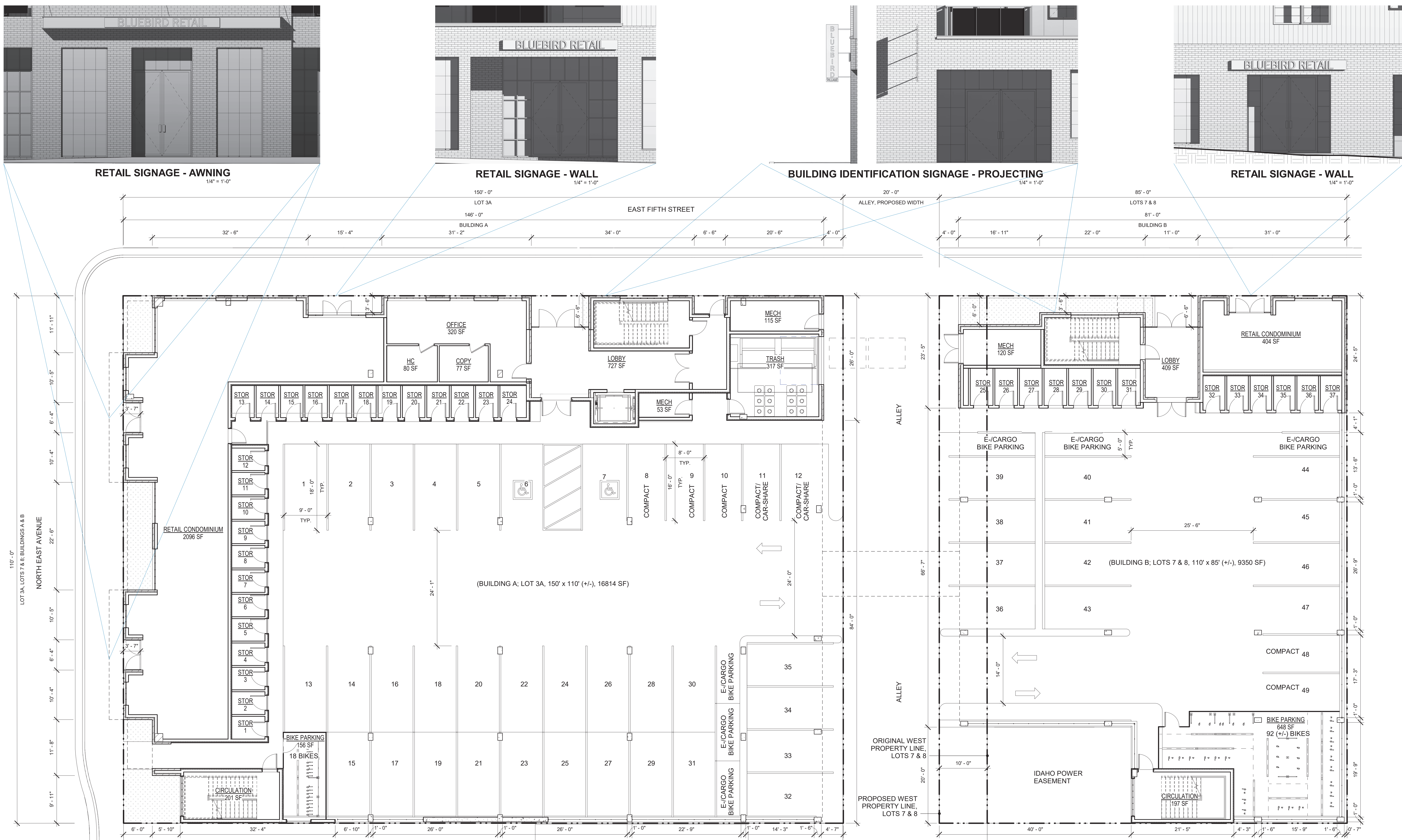
SCALE: As Indicated
12 4 8

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





PROPOSED MASTER SIGNAGE PLAN

EXTERIOR SIGNAGE INFORMATION, FACTORS, & CALCULATIONS

SIGNAGE MATERIALS AND COLORS
 CARBON STEEL, BLACKENED and/or
 PATINATED BLUE, and/or BLACK, and/or
 BLUE and/or CLEAR POWDER COAT or
 OTHER CLEAR PROTECTIVE COAT
 FASTENERS AS REQUIRED

SIGNAGE FONT
 TBD (FRANKLIN GOTHIC, AS SHOWN)

BUILDING A, LOT 3A STREET FRONTAGE EAST AVENUE N.
 110' (+/-)
 SIGN TYPE
 AWNING (RETAIL)
 AREA/SIZE/HEIGHT LIMITATIONS OF AWNING SIGNAGE
 1SqF/3LnFt Street Frontage, ≤ 60SqFt;
 Height ≤ 1' or 80% of Height of Face or Valance, Whichever is Less;
 Lowest Portion ≥ 8' Above Grade
 AREA/SIZE/HEIGHT PROPOSED FOR AWNING SIGNAGE
 X SqFt = 110 Ln Ft + 3 LnFt = 36.67 Sq Ft
 6 SIGNS, 11' FT HIGH EACH, on 2 AWNINGS of 3 FACES EACH
 4 SIGNS, EACH 3' x 1' = 3 SqFt x 4 = 12 SqFt
 2 SIGNS, EACH 12' x 1' = 12 SqFt x 2 = 24 SqFt
 TOTAL SIGNAGE AREA = 36 SqFt
 SIGNAGE AREA per AWNING = 18 SqFt

BUILDING A, LOT 3A STREET FRONTAGE FIFTH STREET E.
 150' (+/-)
 SIGN TYPES
 PROJECTING (BUILDING IDENTIFICATION)
 WALL (RETAIL)
 AREA/SIZE/HEIGHT LIMITATIONS OF PROJECTING SIGNAGE
 Lowest Portion ≥ 8' Above Grade
 Top of Sign Below Windows on 2nd Floor
 1 Per (Residential) Entrance
 Projection from Building ≤ 4'
 Max. Profile or Thickness ≤ 6"
 AREA/SIZE/HEIGHT PROPOSED FOR PROJECTING SIGNAGE
 1 SIGN, APPROX. 6' 0" HIGH x 1' 3" WIDE = 7 1/2 SqFt/Face
 2 FACES, 2 x 7 1/2 SqFt = 15 SqFt
 PROJECTION FROM BUILDING ≤ 4'
 EXACT DIMENSIONS, PROJECTION, & THICKNESS TBD
 AREA/SIZE/HEIGHT LIMITATIONS OF WALL SIGNAGE
 1SqF/3LnFt Street Frontage, ≤ 60SqFt, ≤ 40% of Unbroken Facade Area
 2 Signs Per Permitted Use
 AREA/SIZE/HEIGHT/NUMBER PROPOSED FOR WALL SIGNAGE
 X SqFt = 150 Ln Ft + 3 LnFt = 50 Sq Ft
 1 SIGN, 12' x 1' = 12 SqFt
 TOTAL SIGNAGE AREA, WALL & PROJECTING SIGNAGE
 15 SqFt + 12 SqFt = 27 SqFt, or more, but ≤ 50 Sq Ft

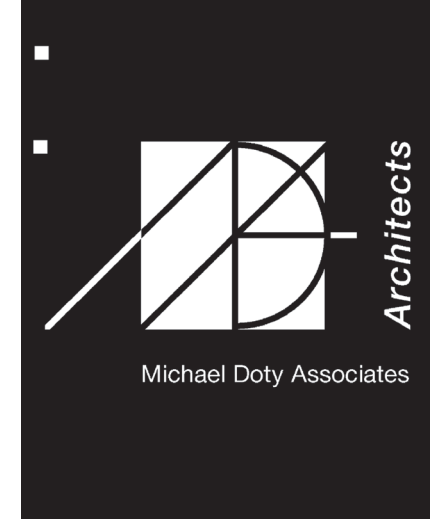
BUILDING B, LOTS 7&8 STREET FRONTAGE FIFTH STREET E.
 85' (+/-)
 SIGN TYPES
 PROJECTING (BUILDING IDENTIFICATION)
 WALL (RETAIL)
 AREA/SIZE/HEIGHT LIMITATIONS OF PROJECTING SIGNAGE
 Lowest Portion ≥ 8' Above Grade
 Top of Sign Below Windows on 2nd Floor
 1 Per (Residential) Entrance
 Projection from Building ≤ 4'
 Max. Profile or Thickness ≤ 6"
 AREA/SIZE/HEIGHT PROPOSED FOR PROJECTING SIGNAGE
 1 SIGN, APPROX. 6' 0" HIGH x 1' 3" WIDE = 7 1/2 SqFt/Face
 2 FACES, 2 x 7 1/2 SqFt = 15 SqFt
 PROJECTION FROM BUILDING ≤ 4'
 EXACT DIMENSIONS, PROJECTION, & THICKNESS TBD
 AREA/SIZE/HEIGHT LIMITATIONS OF WALL SIGNAGE
 1SqF/3LnFt Street Frontage, ≤ 60SqFt, ≤ 40% of Unbroken Facade Area
 2 Signs Per Permitted Use
 AREA/SIZE/HEIGHT/NUMBER PROPOSED FOR WALL SIGNAGE
 X SqFt = 85 Ln Ft + 3 LnFt = 28.33 Sq Ft
 1 SIGN, 12' x 1' = 12 SqFt
 TOTAL SIGNAGE AREA, WALL & PROJECTING SIGNAGE
 15 SqFt + 12 SqFt = 27 SqFt, or more, but ≤ 28.33 Sq Ft

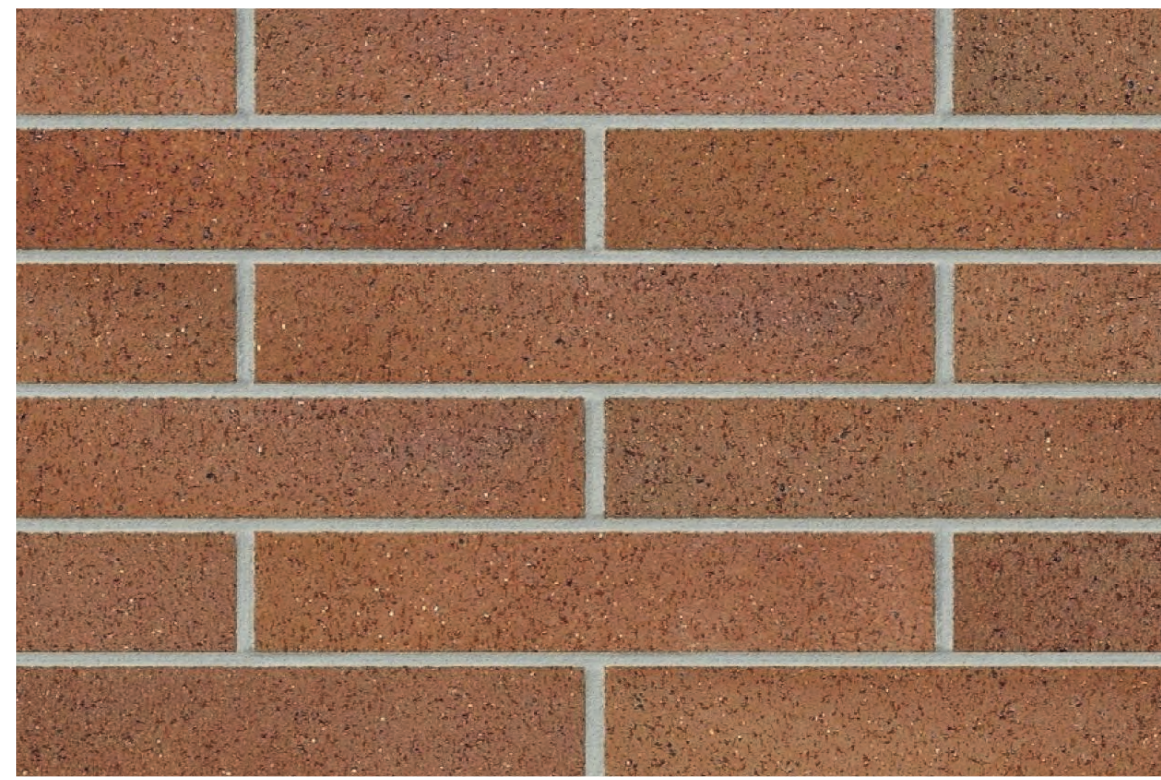
SCALE: 1/8" = 1'-0"

BLUEBIRD VILLAGE

480 N. EAST AVE.
 KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
 4/12/2021





EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN, BRONZESTONE



EXTERIOR FINISH 2 (EF-2):
2' x 8' FIBER CEMENT PANEL RAINSCREEN,
AMERICAN FIBER CEMENT CORPORATION,
PATINA 313 (TUFA)



EXTERIOR FINISH 3 (EF-3):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
CORRAL BOARD



EXTERIOR FINISH 4 (EF-4):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
AQUAFIR LIGHT BROWN WIRE BRUSHED



EXTERIOR FINISH 5 (EF-5): SOLID PHENOLIC
PANEL RAINSCREEN, STONEWOOD
ARCHITECTURAL PANELS, 7875-CB LAPIS BLUE



EXTERIOR FINISH 6 (EF-6): 12" WIDE METAL
FLAT PANEL, VERTICAL SIDING, WESTERN
STATES METAL ROOFING, MATTE PATINA



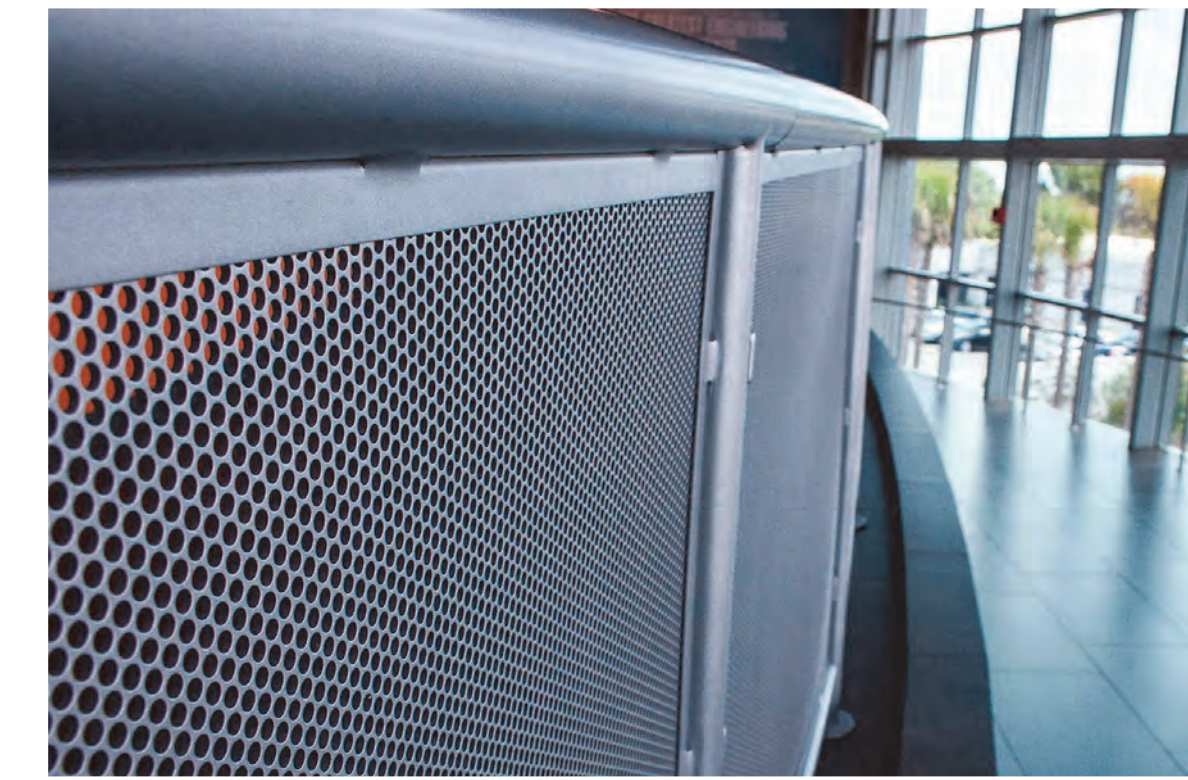
EXTERIOR FINISH 7 (EF-7):
CORRUGATED METAL, VERTICAL SIDING,
WESTERN STATES METAL ROOFING, MATTE
PATINA



EXTERIOR FINISH 8 (EF-8):
PERFORATED SHEET METAL



EXTERIOR FINISH 9 (EF-9):
EXPOSED CONCRETE



GUARDRAIL 1 (GR-1):
MATTE BLACK PERFORATED SHEET METAL



DOORS AND WINDOWS, GROUND FLOOR:
BLACK ANODIZED THERMALLY BROKEN
ALUMINUM STOREFRONT SYSTEM



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) CASEMENT WINDOW
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE OR TRINSIC SERIES
VINYL (PVC) SLIDING PATIO DOOR
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) PICTURE WINDOW
BLACK



METAL FLASHING
KYNAR 500, COLOR: BLACK

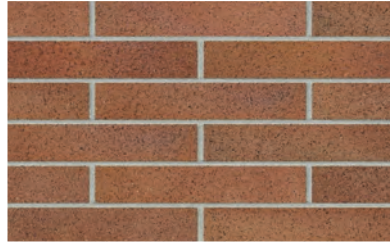
PROPOSED EXTERIOR FINISHES

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021





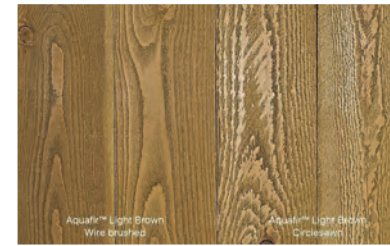
EXTERIOR FINISH 1 (EF-1):
2-1/4" MODULAR BRICK
VENEER RAINSCREEN
INTERSTATE BRICK, NORMAN,
BRONZESTONE



EXTERIOR FINISH 2 (EF-2):
2' x 8' FIBER CEMENT PANEL
RAINSCREEN, AMERICAN FIBER
CEMENT CORPORATION,
PATINA 313 (TUFA)



EXTERIOR FINISH 3 (EF-3):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
CORRAL BOARD



EXTERIOR FINISH 4 (EF-4):
WOOD BOARD RAINSCREEN, VERTICAL
MONTANA TIMBER PRODUCTS
AQUAFIR LIGHT BROWN WIRE BRUSHED



EXTERIOR FINISH 5 (EF-5): SOLID
PHENOLIC PANEL RAINSCREEN,
STONEWOOD ARCHITECTURAL
PANELS, 7875-CB LAPIS BLUE



EXTERIOR FINISH 6 (EF-6): 12"
WIDE METAL FLAT PANEL,
VERTICAL SIDING, WESTERN
STATES METAL ROOFING,
MATTE PATINA



EXTERIOR FINISH 7 (EF-7):
CORRUGATED METAL,
VERTICAL SIDING, WESTERN
STATES METAL ROOFING,
MATTE PATINA



EXTERIOR FINISH 8 (EF-8):
PERFORATED SHEET METAL



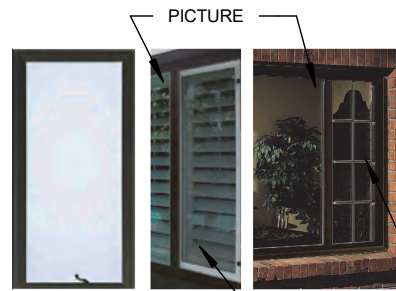
EXTERIOR FINISH 9 (EF-9):
EXPOSED CONCRETE



GUARDRAIL 1 (GR-1):
MATTE BLACK PERFORATED
SHEET METAL



DOORS AND WINDOWS,
GROUND FLOOR:
BLACK ANODIZED THERMALLY
BROKEN ALUMINUM
STOREFRONT SYSTEM



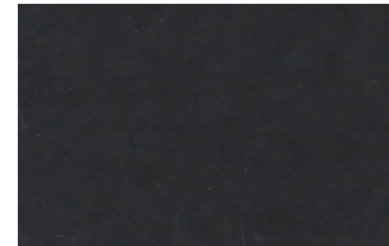
WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) CASEMENT WINDOW
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE OR TRINISC SERIES
VINYL (PVC) SLIDING PATIO DOOR
BLACK



WINDOW, FLOOR 2, 3, 4:
MILGARD STYLE LINE SERIES
VINYL (PVC) PICTURE WINDOW
BLACK

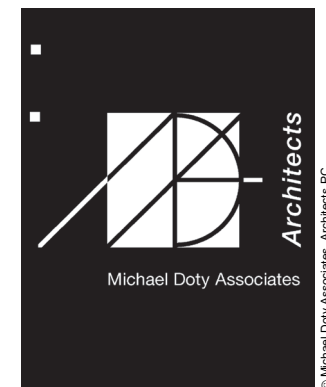


METAL FLASHING
KYNAR 500, COLOR: BLACK

BLUEBIRD VILLAGE

PROPOSED EXTERIOR FINISHES (11 x 17)

04/09/21



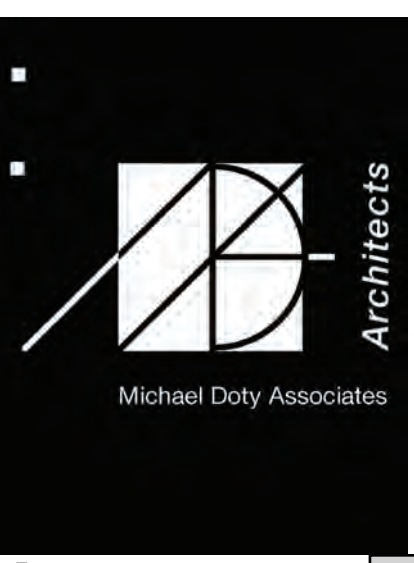


PROPOSED NW CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED EAST AVENUE FACADE

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021



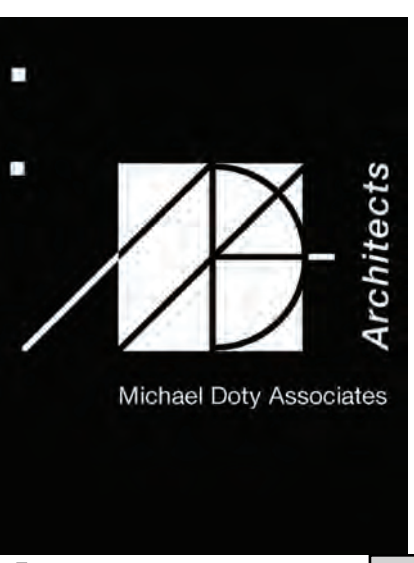


PROPOSED NE CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021



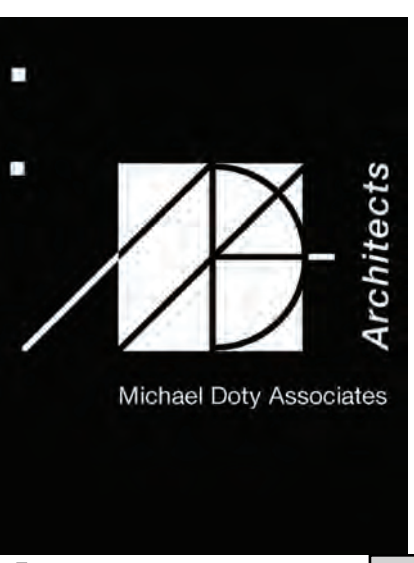


PROPOSED FIFTH STREET FACADE

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021



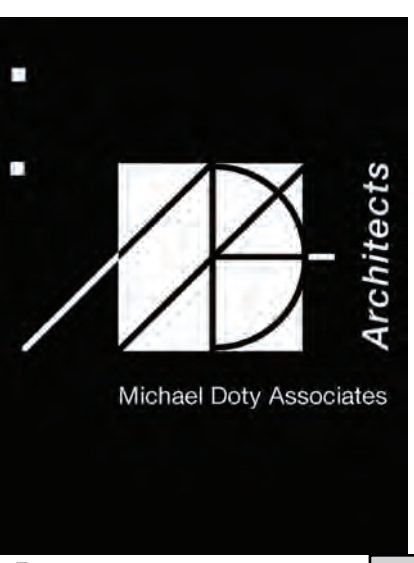


PROPOSED SW CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021



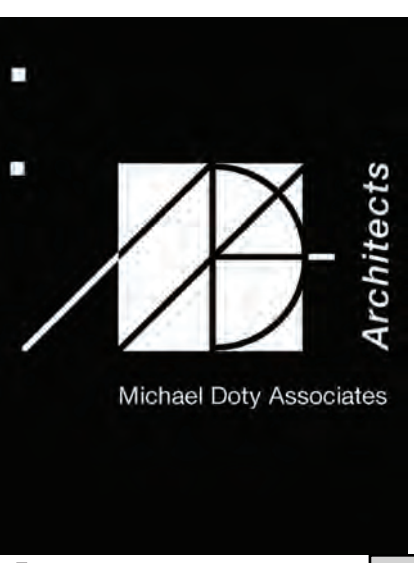


PROPOSED SE CORNER VIEW

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
04/12/2021





PROPOSED VIEW



EXISTING VIEW

PROPOSED & EXISTING VIEW FROM SOUTHERN NEIGHBOR

BLUEBIRD VILLAGE

480 N. EAST AVE.
KETCHUM, ID 83340

PRE-APPLICATION DESIGN REVIEW
4/12/2021



ELECTRICAL LEGEND - LIGHTING

| | |
|--|--|
| | REFERENCE FIXTURE SCHEDULE FOR MOUNTING TYPE, MOUNTING HEIGHT, AND FIXTURE TYPE. |
| | DOUBLE FACE EXIT SIGN, CEILING MOUNTED, PROVIDE UNSWITCHED CONDUCTOR. |
| | WALL MOUNTED DOUBLE FACE EXIT SIGN PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO. |
| | SINGLE FACE EXIT SIGN, CEILING MOUNTED PROVIDE UNSWITCHED CONDUCTOR. |
| | WALL MOUNTED SINGLE FACE EXIT SIGN PROVIDE UNSWITCHED CONDUCTOR. MOUNT AT +8'-0" UNO. |
| | ARROW INDICATES DIRECTION TO BE SHOWN ON SIGN. |
| | 1'X1' LIGHT FIXTURE. |
| | 1'X1' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | TRACK LIGHT |
| | 1'X4' LIGHT FIXTURE. |
| | 1'X4' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | 2'X4' LIGHT FIXTURE. |
| | 2'X4' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | 2'X2' LIGHT FIXTURE. |
| | 2'X2' LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | DIRECT/INDIRECT LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. |
| | DIRECT/INDIRECT LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | STRIP LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. |
| | STRIP LIGHT FIXTURE. SEE SCHEDULE FOR LENGTH. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | WALL MOUNTED LIGHT FIXTURE. |
| | WALL MOUNTED LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | RECESSED LIGHT FIXTURE |
| | RECESSED LIGHT FIXTURE, PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | ROUND LIGHT FIXTURE |
| | ROUND EMERGENCY LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | WALL MOUNTED LIGHT FIXTURE. |
| | WALL MOUNTED EMERGENCY LIGHT FIXTURE. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |
| | POLE LIGHT 1 HEAD WITH POLE |
| | TIME CLOCK |
| | PHOTO CONTROL CELL LOCATED 12" ABOVE ROOF FACING NORTH. |
| | OCCUPANCY SENSOR. PROVIDE RELAYS AND POWER PACKS AS REQUIRED. |
| | LED DRIVER |
| | EMERGENCY EGRESS LIGHTING WITH OUT FIXTURE HEADS. CONNECT TO AN UNSWITCHED CONDUCTOR. |
| | EMERGENCY EGRESS LIGHTING. CONNECT TO AN UNSWITCHED CONDUCTOR. |
| | INDICATES FIXTURE TYPE. REFER TO FIXTURE SCHEDULE. |
| | EXTERIOR WALL PACK |
| | EMERGENCY EXTERIOR WALL PACK. PROVIDE EMERGENCY BATTERY BACKUP CONNECTED TO AN UNSWITCHED CONDUCTOR. |

DEVICES

| | |
|----|--|
| S1 | SWITCH, TYPE AS INDICATED. +48V AFF |
| 2 | DOUBLE POLE |
| 3 | 3-WAY |
| 4 | 4-WAY |
| K | KEYED |
| P | PILOT LIGHT |
| D | DIMMER |
| HP | HORSEPOWER RATED TO THERMAL OVERLOAD |
| LV | LOW VOLTAGE |
| OS | OCCUPANCY SENSOR |
| OR | LOW VOLTAGE, MOMENTARY OVERRIDE |
| VS | VACUANCY SENSOR |
| a | SUPERSCRIPIT INDICATES LIGHTS TO BE SWITCHED TOGETHER |
| S1 | DUAL LEVEL SWITCHING, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY. |
| S2 | DUAL LEVEL SWITCHING WITH OCCUPANCY SENSOR, INSIDE AND OUTSIDE LAMPS OF FIXTURE TO BE SWITCHED SEPARATELY. |
| S3 | OCCUPANCY SENSOR WITH MANUAL DIMMING, SET FOR 50% AUTOMATIC ON, AUTOMATIC OFF, WITH MANUAL DIMMING. |
| 1 | SINGLE CONVENIENCE OUTLET, +18" AFF UNO |
| 1 | FLOOR MOUNT SINGLE CONVENIENCE OUTLET |
| 1 | DUPLEX CONVENIENCE OUTLET, +18" AFF UNO |
| 1 | FLOOR MOUNT DUPLEX CONVENIENCE OUTLET |
| 1 | SWITCHED DUPLEX CONVENIENCE OUTLET, +18" AFF UNO |
| 1 | FLOOR MOUNTED SWITCHED DUPLEX CONVENIENCE OUTLET |
| 1 | USB DUPLEX CONVENIENCE OUTLET, +18" AFF UNO |
| 1 | USB FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO |
| 1 | FOURPLEX CONVENIENCE OUTLET, +18" AFF UNO |
| 1 | FLOOR MOUNT FOURPLEX CONVENIENCE OUTLET |
| 1 | CONNECTION POINT TO EQUIPMENT SPECIFIED. ELECTRICAL CONTRACTOR TO SUPPLY RACEWAY AND CONDUCTORS AND MAKE FINAL CONNECTION TO EQUIPMENT UNDER THIS SECTION. UNO |
| 1 | FLOOR MOUNTED CONNECTION POINT. SEE NOTE ABOVE FOR REQUIREMENTS |
| 1 | FLOOR MOUNTED JUNCTION BOX |
| 1 | JUNCTION BOX |
| 1 | WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO |
| 1 | WALL MOUNTED PUSH BUTTON, MOUNT AT SWITCH HEIGHT UNO |
| 1 | MOTOR STARTER/CONTACTOR, SIZE/POLES NEMA 1 UNO AS INDICATED |
| 1 | COMBINATION STARTER AND DISCONNECT, SIZE/POLES, STARTER SIZE AS INDICATED, NEMA 1 UNO |
| 1 | FUSED DISCONNECT SWITCH, SIZE/POLES, FUSE SIZES AS INDICATED, NEMA 1 UNO |
| 1 | NON-FUSED DISCONNECT SIZE/POLES AS INDICATED, NEMA 1 UNO |
| 1 | THERMOSTAT, +48" AFF PROVIDE CONDUIT, J-BOX, CONDUCTORS AS REQUIRED TO CONTROL ASSOCIATED UNITS. UNO COORDINATE WITH DIVISION 15 |
| 1 | POWER POLE - DUAL CHANNEL |
| 1 | TRANSFORMER |
| 1 | PANELBOARD. SEE SCHEDULE FOR TYPE |
| 1 | EQUIPMENT CABINET, SURFACE MOUNTED |
| 1 | EQUIPMENT CABINET FLUSH MOUNTED |
| 1 | SURFACE MULTI-OUTLET RACEWAY |
| 1 | MECHANICAL EQUIPMENT CALL OUT |
| 1 | KITCHEN EQUIPMENT CALLOUT |

ONE LINE

| | |
|--|--|
| | DELTA WYE TRANSFORMER UNO |
| | PANEL BOARD, SEE SCHEDULE FOR TYPE AND SIZE |
| | CIRCUIT BREAKER, SIZE AND POLES INDICATED |
| | INTERRUPTER SWITCH, SIZE AND POLES INDICATED |
| | FUSED SWITCH, SIZE/POLES AND FUSE SIZE INDICATED |
| | DRAW OUT CIRCUIT BREAKER, SIZE AND POLES INDICATED |
| | INDIVIDUAL BREAKER WITH SHUNT TRIP, SIZE AND POLES INDICATED. NEMA 1 UNO |
| | INDIVIDUAL BREAKER, SIZE AND POLES INDICATED. NEMA 1 UNO |
| | GROUND FAULT PROTECTION |
| | TRANSIENT VOLTAGE SURGE SUPPRESSION |
| | ADJUSTABLE BREAKER SETTINGS (PER SPECIFICATIONS): L=LONG TIME S=SHORT TIME T=INSTANTANEOUS G=GROUND FAULT R=ENERGY REDUCING MAINTENANCE SWITCH W/STATUS INDICATOR |
| | GROUND |
| | SHUNT TRIP COIL |
| | MOTOR |
| | DISCONNECT SWITCH, SIZE AND POLES INDICATED. NEMA 1 UNO |
| | OVERHEAD SERVICE DROP |
| | GENERATOR SET, MAIN BREAKER SIZE INDICATED |
| | AUTOMATIC TRANSFER SWITCH (ATS) |
| | METER AND BASE |
| | NEUTRAL |
| | DRY TYPE TRANSFORMER |
| | PAD MOUNT TRANSFORMER |

SECURITY

| | |
|--|--|
| | CCTV CAMERA POWER SUPPLY |
| | CCTV SYSTEM POWER SUPPLY |
| | ADJUSTABLE CAMERA (PAN/TILT/ZOOM) |
| | FIXED CAMERA |
| | CAMERA IN OUTDOOR HOUSING |
| | ADJUSTABLE CAMERA (PAN/TILT/ZOOM) IN OUTDOOR HOUSING |
| | CCTV OUTLET, +18" UNO |
| | CEILING MOUNTED CCTV OUTLET |
| | SECURITY SYSTEM KEYPAD CONTROLLER COORDINATE BOX SIZE AND MOUNTING WITH VENDOR |
| | CARD READER |
| | CEILING MOUNTED MOTION SENSOR |
| | WALL MOUNTED MOTION SENSOR, MOUNTING HEIGHT INDICATED |
| | PANIC BUTTON - MOUNTED UNDER COUNTER |

NOTE: THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL SYMBOLS. SOME OF THE SYMBOLS SHOWN MAY NOT HAVE BEEN USED IN THIS DRAWING PACKAGE.

FIRE ALARM

| | |
|--|--|
| | PULL STATION, +44" AFF WITH PRE-ALARM COVER |
| | FIRE ALARM HORN, +84" AFF UNO |
| | FIRE ALARM STROBE, +84" AFF UNO, STROBE INTENSITY INDICATED. 'C' INDICATES CEILING MOUNTED |
| | FIRE ALARM HORN/STROBE +84" AFF UNO, STROBE INTENSITY INDICATED. 'C' INDICATES CEILING MOUNTED |
| | FIRE ALARM BELL, +84" AFF UNO. 'C' INDICATES CEILING MOUNTED |
| | FIRE ALARM CHIME, +84" AFF UNO. 'C' INDICATES CEILING MOUNTED |
| | FIRE ALARM CHIME/STROBE, +84" AFF UNO, STROBE INTENSITY INDICATED. 'C' INDICATES CEILING MOUNTED |
| | SPEAKER STROBE, +84" AFF UNO. 'C' INDICATES CEILING MOUNTED |
| | END OF LINE RESISTOR |
| | FLOW SWITCH, PROVIDE MONITOR MODULE AS REQUIRED |
| | TAMPER SWITCH, PROVIDE MONITOR MODULE AS REQUIRED |
| | PRESSURE SWITCH, PROVIDE MONITOR MODULE AS REQUIRED |
| | FIRE SYSTEM ANNUNCIATOR, FLUSH MOUNTED +54" UNO |
| | POST INDICATOR VALVE, PROVIDE MONITOR MODULE AS REQUIRED |
| | ELECTROMAGNETIC DOOR HOLDER |
| | RELAY |
| | CONTROL MODULE |
| | MONITOR MODULE |
| | FIRE ALARM KNOX BOX |
| | FIRE ALARM CONTROL PANEL |
| | NAC EXTENDER PANEL |
| | FIRE/SMOKE DAMPER |
| | LED INDICATOR LIGHT, CEILING MOUNTED UNO |
| | LED INDICATOR LIGHT WITH TEST SWITCH, CEILING MOUNTED UNO |
| | DUCT-MOUNTED SMOKE DETECTOR |
| | SMOKE DETECTOR, CEILING MOUNTED UNO |
| | H HEAT |
| | I IONIZATION |
| | ID IN DUCT |
| | P PHOTOELECTRIC |
| | R RELAY |
| | WG PROVIDE PROTECTIVE WIRE GUARD |
| | BEAM DETECTOR, SENDER & RECEIVER |

COMMUNICATIONS

| | |
|--|--|
| | JUNCTION BOX FOR FUTURE TELEPHONE/DATA OUTLET. MOUNT AT 18" AFF UNO. PROVIDE SINGLE-GANG MUD RING WITH BLANK COVER PLATE. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE. |
| | TELEPHONE/DATA OUTLET. MOUNT AT 18" AFF UNO. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING. INSTALL QUANTITY OF DATA (D) AND TELEPHONE (T) CABLES INDICATED TO THE NEAREST DATA RACK. PROVIDE (2) DATA CABLES IF A CABLE QUANTITY IS NOT INDICATED. |
| | FLOOR MOUNTED BOX FOR FUTURE TELEPHONE/DATA OUTLET. JUNCTION BOX WITH SINGLE-GANG MUD RING. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE. PROVIDE BLANK COVER PLATE. |
| | FLOOR MOUNTED TELEPHONE/DATA OUTLET. PROVIDE 1" CONDUIT TO NEAREST ACCESSIBLE CEILING. INSTALL QUANTITY OF DATA (D) AND TELEPHONE (T) CABLES INDICATED TO THE NEAREST DATA RACK. PROVIDE (2) DATA CABLES IF A CABLE QUANTITY IS NOT INDICATED. |
| | INTERCOM SYSTEM CALL BUTTON, +48" UNO. |
| | CEILING MOUNTED SPEAKER WITH BACKBOX |
| | WALL MOUNTED SPEAKER, WITH BACKBOX +80" UNO |
| | VOLUME CONTROL, +48" UNO |
| | TELEVISION OUTLET, +18" AFF UNO. PROVIDE 1-1/4" CONDUIT TO NEAREST ACCESSIBLE CEILING SPACE |
| | CEILING MOUNTED TELEVISION OUTLET |
| | CABLE TRAY, 4" DEEP WIRE BASKET STYLE. 'XX' INDICATES WIDTH PROVIDE ALL FITTINGS AND SUPPORT HARDWARE REQUIRED |

ELECTRICAL ABBREVIATIONS

| | |
|-----------|--|
| A | AMPERES |
| AC | 6" ABOVE BACKSPLASH AND ABOVE FINISHED FLOOR |
| AFG | ABOVE FINISHED GRADE |
| AF | AMP FRAME |
| AT | AMPS INTERRUPTING CAPACITY |
| ATS | AMERICAN WIRE GAUGE |
| ATS | AUTOMATIC TRANSFER SWITCH |
| AWG | AMERICAN WIRE GAUGE |
| BD | BOTTOM OF DECK |
| BS | BOTTOM OF STRUCTURE |
| C | CEILING MOUNTED CONDUIT |
| CB | CIRCUIT BREAKER |
| CF | COMPACT FLUORESCENT |
| CKT | CIRCUIT |
| CO | CONDUIT ONLY, PROVIDE PULL-LINE |
| CT | CURRENT TRANSFORMER |
| CTL | CONTROL |
| DC | DIRECT CURRENT |
| DEM | DEMOLITION |
| DET | DETAIL |
| DTT | DOUBLE TWIN TUBE |
| E | EMERGENCY EXISTING |
| EC | ELECTRICAL CONTRACTOR |
| EL | EMERGENCY LIGHT |
| F | FUSE |
| F1 | FUTURE |
| FACP | FIRE ALARM CONTROL PANEL |
| G/ND | GROUND |
| GFI | GROUND FAULT CIRCUIT INTERRUPTER |
| GFI | GROUND FAULT INTERRUPTER |
| HH | HAND HOLE |
| HD | HIGH INTENSITY DISCHARGE |
| HOA | HAND-OFF-AUTO |
| HPS | HIGH PRESSURE SODIUM |
| HVAC | HEATING, VENTILATION, & AIR CONDITIONING |
| IG | ISOLATED GROUND |
| IPCO | INDIAN POWER COMPANY |
| J-BOX | JUNCTION BOX |
| KVA | KILOVOLT-AMPERE |
| KW | KILOWATT |
| KWH | KILOWATT HOUR |
| LCP | LIGHTING CONTROL PANEL |
| MB | MAIN BREAKER |
| MBC | MAIN CIRCUIT BREAKER |
| MCC | MOTOR CONTROL CENTER |
| MDD | MAIN DISTRIBUTION PANEL |
| MLO | MAIN LUGS ONLY |
| MIC | MODULAR METERING CENTER |
| MH | METAL HALIDE |
| MSS | MAIN SWITCH BOARD |
| MTC | MOUNTING |
| N | NEUTRAL |
| N | NEW |
| NC | NORMALLY CLOSED |
| NEC | NATIONAL ELECTRICAL CODE |
| NIC | NOT IN CONTRACT |
| NL | NIGHT LIGHT |
| NO | NORMALLY OPEN |
| NTS | NOT TO SCALE |
| OH | OVERHEAD |
| OS | OCCUPANCY SENSOR |
| P | POLES |
| PC | PHOTO-CONTROL |
| PVC | POLYVINYL CHLORIDE |
| PWR | POWER |
| RE | REFERENCE |
| REC | RECEPTACLE |
| R | RELOCATED |
| SF | SQUARE FEET |
| TB | TO BE DETERMINED |
| TDR | TIME DELAY RELAY |
| TK | TOE KICK |
| TSP | TWISTED SHIELDED PAIR |
| TRT | TRIPLE TUBE |
| TBT | TELEPHONE TERMINAL BOARD |
| (TT) | TYPICAL |
| UC | UNDERCABINET |
| UG | UNDERGROUND |
| U.N.O. | UNLESS NOTED OTHERWISE |
| V | VOLT |
| VA | VOLT-AMPERE |
| W | WATT |
| WG | WIRE GUARD |
| WP | WEATHER PROOF/NEMA 3R |
| PROVIDED/ | PROVIDE AND INSTALL / PROVIDED AND |
| INSTALL/ | INSTALL BY / PROVIDE AND INSTALL |
| INSTALL | INSTALL |

NOTE: THIS IS A STANDARD LIST OF COMMONLY USED ELECTRICAL ABBREVIATIONS. SOME OF THE ABBREVIATIONS SHOWN ABOVE MAY NOT BE USED IN THIS DRAWING PACKAGE.

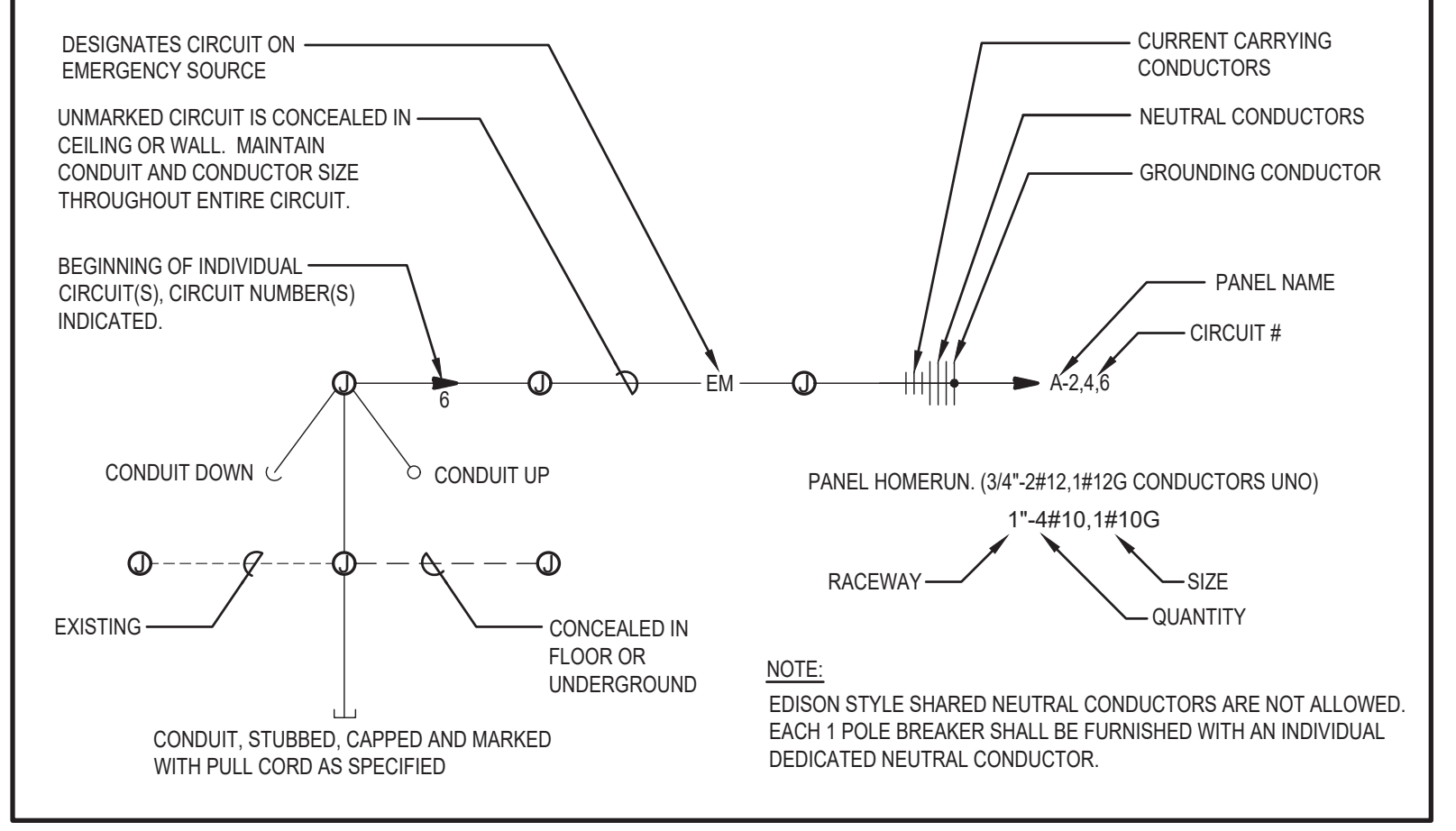
ELECTRICAL GENERAL NOTES

- THESE ELECTRICAL DRAWINGS ARE DIAGRAMMATIC IN NATURE. THEREFORE, THE ELECTRICAL CONTRACTOR SHALL COORDINATE ALL ELECTRICAL EQUIPMENT AND DEVICE LOCATIONS WITH ARCHITECTURAL, MECHANICAL AND PLUMBING DIVISIONS PRIOR TO ROUGH-IN. REFER TO AND COORDINATE WITH ARCHITECTURAL, MECHANICAL, AND PLUMBING DRAWINGS FOR ADDITIONAL WORK THAT IS REQUIRED BY THE ELECTRICAL CONTRACTOR.
 - ALL CONDUIT AND JUNCTION BOXES ARE TO BE CONCEALED UNLESS LOCATED WITHIN DEDICATED ELECTRICAL OR MECHANICAL ROOMS. USE OF SURFACE MOUNTED RACEWAYS IN ALL OTHER SPACES MUST BE APPROVED BY THE ARCHITECT FOR EACH LOCATION, WHERE SURFACE RACEWAYS ARE APPROVED, UTILIZE WIREMOLD, OR APPROVED EQUAL, SURFACE MOUNTED RACEWAYS PAINTED TO MATCH SURROUNDING WALLS.
 - REFER TO ARCHITECTURAL ELEVATIONS FOR OUTLET HEIGHTS WHERE THE SPECIFIC OUTLET HEIGHT IS NOT INDICATED. REFER TO THE ELECTRICAL LEGEND FOR THE DEFAULT OUTLET HEIGHT WHEN NOT INDICATED ON ELEVATIONS OR ON AT THE DEVICES.
 - PROVIDE PULL-LINE IN ALL EMPTY CONDUITS.
 - TERMINATE ALL LOW-VOLTAGE CONDUITS WITH INSULATED THROAT BUSHING.
 - MECHANICAL EQUIPMENT INDICATED IS SHOWN IN AN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH MECHANICAL CONTRACTOR PRIOR TO ROUGH-IN.
 - ALL NON-LOCKING, 120V, 15 AND 20-AMP RECEPTACLES SHALL BE LISTED TAMPER-RESISTANT RECEPTACLES PER NEC 408.12
- FIRE ALARM:**
- INSTALL PLENUM RATED FIRE ALARM CONDUCTORS FROM ALL FIRE ALARM DEVICES INDICATED TO THE FIRE ALARM CONTROL PANEL OR NAC EXTENDER PANEL(S) AS REQUIRED. STUB 3/4" CONDUIT FROM DEVICE TO VOID ABOVE CEILING. PROVIDE NAC EXTENDER PANELS (QUANTITY AS REQUIRED) IN LOCATIONS INDICATED AND CIRCUITING AS REQUIRED FOR A COMPLETE INSTALLATION. CIRCUIT THE FIRE ALARM NOTIFICATION AND INITIATION DEVICES PER THE ELECTRICAL SPECIFICATIONS. FURNISH AND INSTALL ALL APPURTENANCES AND PROGRAMMING REQUIRED FOR A COMPLETE AND OPERATIONAL SYSTEM. REFER TO ELECTRICAL FIRE ALARM SPECIFICATIONS FOR SYSTEM REQUIREMENTS AND SUBMITTAL PROCEDURES.
- SITE:**
- CONTRACTOR SHALL COORDINATE WITH AN UNDERGROUND LOCATING SERVICE PRIOR TO COMMENCING WORK. SEE CIVIL DRAWINGS FOR ADDITIONAL SITE INFORMATION. COORDINATE WITH OTHER SITE DISCIPLINES.
 - SITE LIGHTING AND UTILITY EQUIPMENT SHOWN IN APPROXIMATE LOCATION. COORDINATE EXACT LOCATION WITH CIVIL DRAWINGS, PROPERTY LINES, AND UTILITY COMPANIES PRIOR TO ROUGH-IN.
 - REFER TO POLE BASE DETAIL FOR SITE LIGHTING POLE BASE REQUIREMENTS.
 - ROUTE CONDUITS IN COMMON TRENCH WHERE POSSIBLE REFER TO TRENCHING DETAIL.
- DEMCO:**
- THE ELECTRICAL DEMOLITION DRAWING(S) PROVIDED ARE INTENDED TO ASSIST THE ELECTRICAL CONTRACTOR IN ESTABLISHING AREAS REQUIRING DISCONNECTION, REMOVAL, OR RELOCATION OF ELECTRICAL EQUIPMENT, OUTLETS, WIRING, DEVICES, FIXTURES, ETC. AND MAY NOT INDICATE ALL DEVICES OR THE FULL EXTENT OF DEMOLITION AND RECONNECTION WHICH MAY BE REQUIRED. THE ELECTRICAL CONTRACTOR SHALL VISIT THE JOB SITE AND THOROUGHLY EXAMINE ALL REQUIRED DEMOLITION WORK AND INCLUDE ALL LABOR AND INCIDENTALS THAT WILL BE NECESSARY TO PERFORM DEMOLITION RECONNECTION AND TEMPORARY POWER CONNECTIONS IN THE BID.
 - ALL ELECTRICAL DEVICES AND WALLS INDICATED ON THE ELECTRICAL DEMOLITION DRAWING(S) ARE TO REMAIN UNLESS OTHERWISE NOTED.

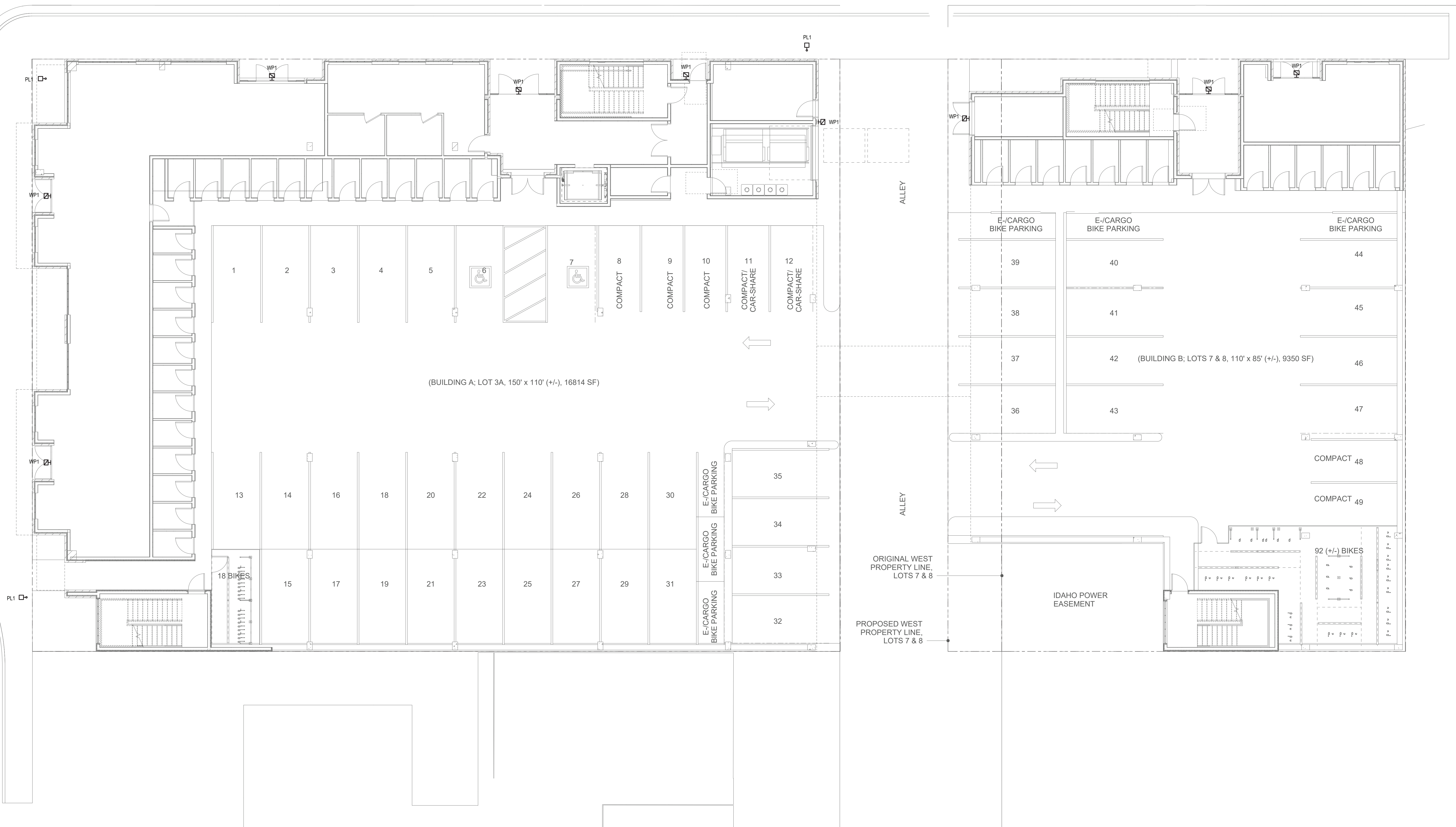
ELECTRICAL SPECIFICATIONS

- ALL WORK SHALL BE IN ACCORDANCE WITH THE LATEST EDITION OF THE LOCALLY ADOPTED ELECTRICAL CODE, ALL LOCAL CODES, AND TO THE FULL ACCEPTANCE OF THE AUTHORITY HAVING JURISDICTION.
 - OBTAIN ALL PERMITS, COORDINATE, FURNISH, INSTALL, CONNECT AND TEST ALL ELECTRICAL EQUIPMENT REQUIRED FOR ALL THE SYSTEMS INSTALLED UNDER THIS CONTRACT TO INSURE COMPLETE AND FULLY OPERATIONAL SYSTEMS.
 - CONTRACTOR SHALL MAINTAIN A COMPLETE SET OF AS-BUILT DRAWINGS, AS-BUILT SET OF DRAWINGS SHALL BE UPDATED DAILY AND SHALL DOCUMENT THE ACTUAL INSTALLED CONDITION OF THE ENTIRE ELECTRICAL INSTALLATION. AS-BUILT SET OF DRAWINGS SHALL BE AVAILABLE AT ALL TIMES ON THE SITE FOR INSPECTION BY CODE OFFICIALS, OWNER, ARCHITECT, AND ENGINEER.
 - PROTECT ALL EXISTING WORK FROM DAMAGE DURING CONSTRUCTION.
 - DESIGN IS BASED ON BEST AVAILABLE INFORMATION. CONTRACTOR SHALL FIELD VERIFY EXISTING CONDITIONS TO DETERMINE STATUS OF ACTUAL CONDITIONS AS THEY RELATE TO THE SCOPE OF WORK AS SHOWN ON THESE PLANS.
 - COORDINATE ALL ELECTRICAL WORK WITH ALL OTHER TRADES.
 - COORDINATE EXACT LOCATION AND MOUNTING HEIGHTS OF ALL ELECTRICAL EQUIPMENT AND DEVICES WITH THE ARCHITECTURAL ELEVATIONS AND DETAILS PRIOR TO ROUGH-IN.
 - DEMOLITION WORK IS A PART OF THIS PROJECT. SEE DRAWINGS FOR EXISTING ELECTRICAL DEVICES TO BE REMOVED. REMOVE ASSOCIATED BOXES, RACEWAYS AND CONDUCTORS BACK TO SOURCE, AND MAKE SAFE.
 - ALL MATERIALS AND EQUIPMENT FURNISHED TO THE PROJECT SHALL BE NEW AND SHALL BEAR THE LISTING LABEL OF A NATIONALLY RECOGNIZED TESTING LAB AS DEFINED BY OSHA.
 - ALL ELECTRICAL DEVICES AND TERMINALS SHALL BE RATED 75°C MINIMUM.
 - ALL CONDUCTORS SHALL BE STRANDED COPPER, 800 VOLT RATED. INSULATION TYPE SHALL BE THINWALL, FULLY COLOR CODED WITH GAUGE, TYPE AND MANUFACTURER MARKED EVERY 24" ALONG. CONDUCTOR COLOR CODE SHALL BE AS FOLLOWS:
- | 208Y/120 VOLT SYSTEM | 480Y/277 VOLT SYSTEM |
|----------------------|----------------------|
| PHASE A - BLACK | PHASE A - BROWN |
| PHASE B - RED | PHASE B - ORANGE |
| PHASE C - BLUE | PHASE C - YELLOW |
| NEUTRAL - WHITE | NEUTRAL - GRAY |
| GROUND - GREEN | GROUND - GREEN |
- MINIMUM SIZE WIRE FOR POWER AND LIGHTING CIRCUITS SHALL BE #12 AWG. ALL POWER AND LIGHTING CONDUCTORS SHALL BE CONCEALED IN 3/4" CONDUIT MINIMUM.
 - EMT OR MC TYPE CABLE IS ALLOWED WHEN CONCEALED IN INTERIOR SPACES. MC TYPE CABLE IS NOT ALLOWED FOR HOMERUNS.
 - MAKE ALL CONNECTIONS TO EQUIPMENT PER MANUFACTURER'S REQUIREMENTS.
 - ALL EQUIPMENT, SWITCHING DEVICES AND PANELS SHALL BE MOUNTED SO AS TO BE ACCESSIBLE AND SHALL BE MOUNTED PLUMB AND SQUARE WITH WALLS.
 - DEVICES AND RACEWAYS PENETRATING FIRE RATED WALLS AND FLOORS SHALL BE SEALED WITH FIRE RESISTIVE MATERIAL. COMPATIBLE WITH CONSTRUCTION PENETRATED. TO MAINTAIN RATING OF THE WALL. SEALANT SYSTEM SHALL BE A U.L. APPROVED SYSTEM AND INSTALLED PER MANUFACTURER'S INSTRUCTIONS.
 - FURNISH AND INSTALL PULL CORD IN ALL EMPTY CONDUITS.
 - ALL JUNCTION BOX COVERS WITH POWER WIRING SHALL HAVE THE PANEL AND CIRCUIT LABELED ON THE OUTSIDE SURFACE. ALL LABELS FOR EXPOSED JUNCTION BOXES IN "FINISHED AREAS" SHALL BE LABELED UTILIZING SELF ADHESIVE LABELS PRODUCED BY A MECHANICAL LABELING MACHINE. LABELS FOR JUNCTION BOX COVERS IN CONCEALED LOCATIONS SHALL CONSIST OF THE INFORMATION BEING NEATLY HANDWRITTEN ON THE OUTSIDE SURFACE OF THE COVER WITH A PERMANENT STYLE MARKER.
 - CLEARLY LABEL ALL ACCESSIBLE CONDUIT STUBS WITH SYSTEM NAME AND LOCATION (ROOM NUMBER) WHERE THE OTHER END OF THE CONDUIT TERMINATES. USE INDELEIBLE INK. THE LABELS SHALL BE LOCATED ON THE CONDUIT IN A POSITION THAT CAN BE EASILY READ.
 - ALL 1 POLE BREAKER CIRCUITS SHALL HAVE AN INDEPENDENT NEUTRAL CONDUCTOR. NO EDISON STYLE SHARED NEUTRAL CONDUCTORS ARE ALLOWED.
 - ALL CONDUCTORS IN ELECTRICAL PANELS, CABINETS AND EQUIPMENT SHALL BE NEATLY TRAINED AND LABELED.
 - THE CONTRACTOR SHALL PROVIDE UPDATED CIRCUIT PANEL DIRECTORIES FOR ALL PANELS. DIRECTORIES SHALL BE TYPED.
 - PROVIDE ELECTRICAL SUBMITTALS FOR EQUIPMENT SHOWN AS REQUIRED BY DIVISION 1 SPECIFICATIONS.
 - ELECTRICAL CONTRACTOR SHALL OBTAIN THE AVAILABLE FAULT CURRENT VALUE FROM THE LOCAL UTILITY OR THE ONE-LINE DIAGRAM AND LABEL THE MAIN BREAKER WITH THAT VALUE.
 - SWITCH AND RECEPTACLE LABELING: IDENTIFY PANELBOARD AND CIRCUIT NUMBER FROM WHICH DEVICES ARE SERVED. USE MACHINE PRINTED LABEL AND 1/8" TEXT. INSTALL ON THE OUTSIDE OF THE FACEPLATE FOR RECEPTACLES AND INSIDE THE FACEPLATE FOR SWITCHES.

CIRCUITING SYMBOLS



EAST FIFTH STREET




ELECTRICAL SITE PLAN

SCALE: 1/8" = 1'-0"

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

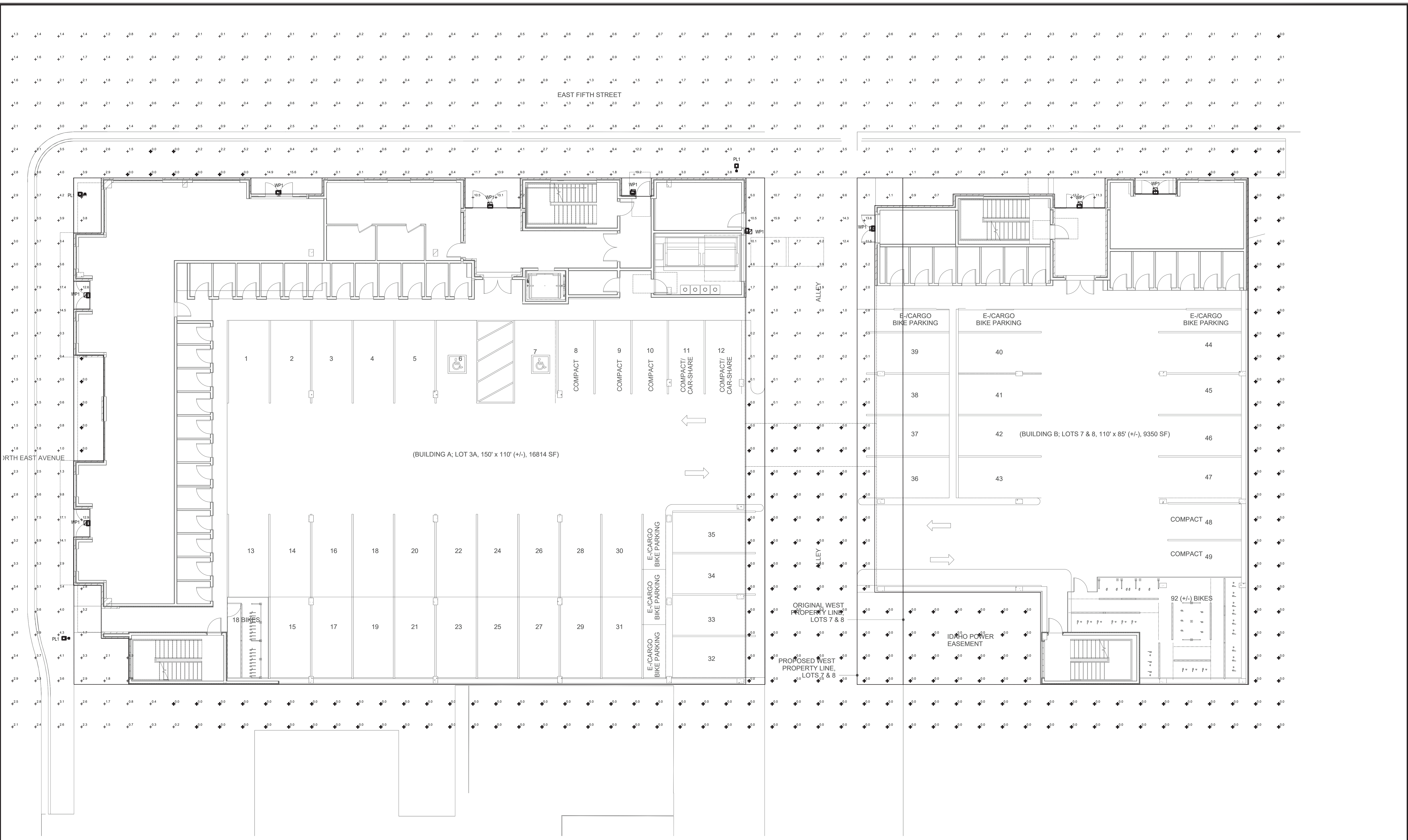
MUSGROVE ENGINEERING, P.A.
 224 S. Whispered Way, 645 W. 25TH St.
 Boise, Idaho 83709 Idaho Falls, Idaho 83402
 208.384.1038 musgrovepa.com 208.321.2862
OVER 40 YEARS OF EXCELLENCE



BLUEBIRD VILLAGE
480 N. EAST AVE.
KETCHUM, ID 83340

| | |
|---------|----------------|
| PROJECT | 20-523 |
| DRAWN | RM |
| CHECKED | TM |
| DATE | 4/09/21 |
| SCALE | NOTED ON PLANS |
| SHEET | |

PDR E1.00



ELECTRICAL SITE PHOTOMETRIC PLAN

S C A L E : 1/8" = 1'-0"

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

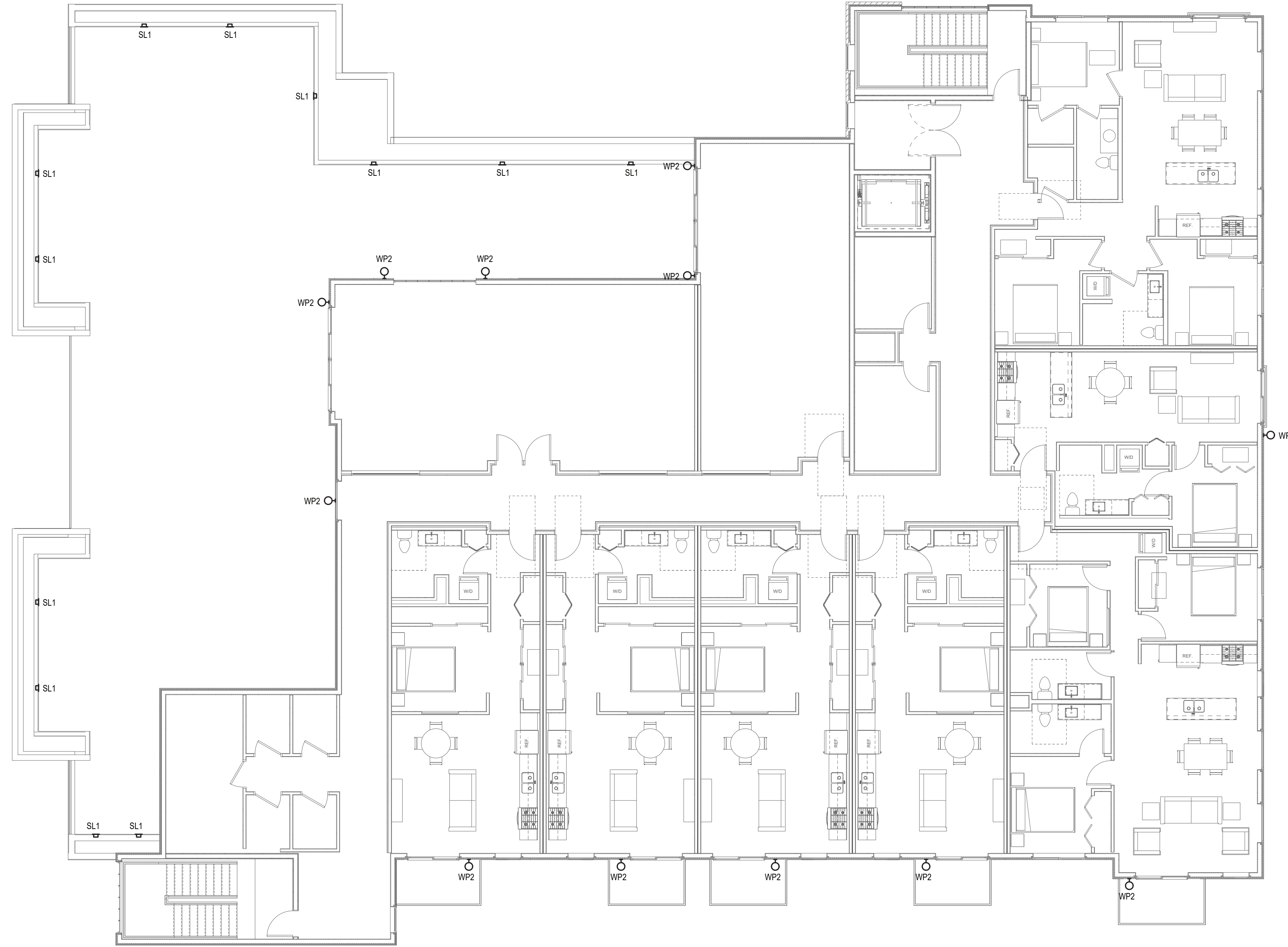
MUSGROVE
ENGINEERING, P.A.
 224 S. Whispered Way, 645 W. 25TH St.
 Boise, Idaho 83709 Idaho Falls, Idaho 83402
 208.384.0388 musgrovepa.com 208.321.2862
 OVER 40 YEARS OF EXCELLENCE



BLUEBIRD VILLAGE
480 N. EAST AVE.
KETCHUM, ID 83340

| | |
|---------|----------------|
| PROJECT | 20523 |
| DRAWN | RM |
| CHECKED | TM |
| DATE | 4/09/21 |
| SCALE | NOTED ON PLANS |
| SHEET | |

PDR E1.01



4TH FLOOR EXTERIOR LIGHTING PLAN

SCALE: 1/8" = 1'-0"

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

MUSGROVE
ENGINEERING, P.A.
 224 S. Whisperwood Way, 645 W. 25TH St.
 Boise, Idaho 83709 Idaho Falls, Idaho 83402
 208.384.0300 musgrovepa.com 208.321.2862
 OVER 40 YEARS OF EXCELLENCE



BLUEBIRD VILLAGE
480 N. EAST AVE.
KETCHUM, ID 83340

| | |
|---------|----------------|
| PROJECT | 20-523 |
| DRAWN | RM |
| CHECKED | TM |
| DATE | 4/09/21 |
| SCALE | NOTED ON PLANS |
| SHEET | |

PDR E1.04

| SITE LIGHTING FIXTURE SCHEDULE (20523) | | | | | | | |
|---|--|--------------------------|-------|---------------------------|--|-------------|-------|
| TYPE | DESCRIPTION | MTG. | LAMPS | WATTS | MFG. & CATALOG NUMBER | OR EQUAL BY | NOTES |
| PL1 | STREET LIGHT, INOVUS DESIGN SERIES ON GRID 25 FT POLE, MAST ARM, LED TYPE II FIXTURE | POLE MOUNTED +25'-0" AFF | 80W | 80W LED 9430 LUMENS 3000K | INOVUS, LED ROADWAY LIGHTING POLE, GSP-01-208-FX, MAST ARM, MA-06-S-12-BK FIXTURE, NXT-48M-0--2E-S-52S-BK-4-UL-X2H** | | 1 |
| SL1 | STEP LIGHT, RECESSED IN CONCRETE | RECESSED IN WALL | 5.9W | 5.9W 340 LUMENS 2700K | BEGA 33054-K27-BLK | | 1 |
| WP1 | WALL MOUNTED, PROVIDE WITH OPTION E20WC/ WHERE EMERGENCY IS INDICATED | WALL MOUNTED | 25W | 25W LED 3276 LUMENS 3000K | LITHONIA NO. WST LED-P2-30K-VW-MVOLT-E20WC-DDBXD | | 1 |
| WP2 | PATIO WALL SCONCE, DOWNLIGHT ONLY | WALL MOUNTED | 10W | 10W LED 985 LUMENS 4000K | EATON 9002-W1-RW-LED 4080-F**-L1-UNV-WRS | | 1 |
| LIGHTING FIXTURE SCHEDULE NOTES: | | | | | | | |
| 1. SUBSTITUTIONS WILL BE ALLOWED IF SUBMITTED PRIOR TO BID DATE BY THE GREATER OF: 7 BUSINESS DAYS OR THE TIME PERIOD SPECIFIED BY DIVISION 1 SPECIFICATIONS, AND IF DEEMED EQUAL BY THE ENGINEER. THE CONTRACTOR IS RESPONSIBLE FOR ENSURING SUBSTITUTED FIXTURES MEET OR EXCEED THE SPECIFICATIONS OF THE FIXTURES SPECIFIED. | | | | | | | |

NXT[®] SERIES

NXT-C SPECIFICATIONS

Housing: Single piece, die-cast A360 premium aluminum alloy with <0.6% copper content

Operating Temperature: -40°C to +40°C (-40°F to +104°F)¹

Mounting: 1.625" x 2.375" (42 - 60 mm) O.D. Tenons

Mounting Methods: Horizontal Entry or Post-Top Mount

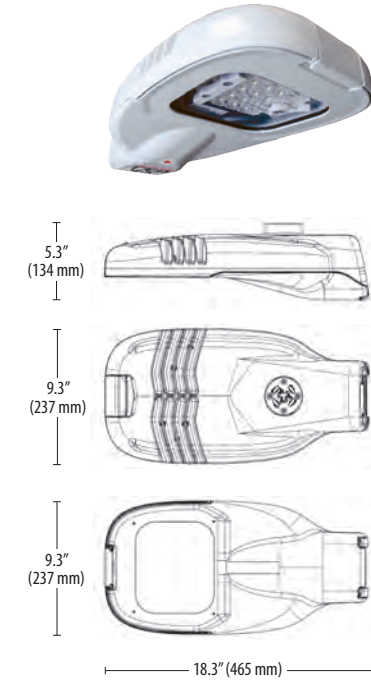
Weight: 12 lbs (5.4 kg)

EPA Rating: <0.34 ft³ (< 0.032 m³)

Lens Material: IK09 Rated Glass

Ingress Protection: Power Supply and optical module are located inside chamber rated IP66 per IEC 60529/ANSI C136.25. Luminaire is rated for wet locations.

Finish: Durable polyester powdercoat topcoat



Available Colors: **GREY (RAL 7021)** **BRONZE (RAL 7002)** **BLACK (RAL 9005)**



| NXT-C (12 LEDs) | | | | | | |
|-----------------------|---|-----|-----|------|------|-------|
| Drive Currents (mA) | 525 | 700 | 850 | 1050 | 1200 | 1250* |
| Power Consumption (W) | 22 | 27 | 34 | 42 | 48 | 50 |
| Input Voltage (V) | 120-277V (Standard) | | | | | |
| Surge Protection | Meets the requirements of ANSI C-High (10kV / 10kA) | | | | | |
| Power Factor | >0.90 | | | | | |

| OPTICS & PERFORMANCE | | | | | | |
|-------------------------------|--|-------|-------|-------|-------|-------|
| Photometry (Distribution) | 2E5, 4A4 | | | | | |
| Color Temperature (CCT) | 4000K (Standard) 3000K & 5000K (Optional) | | | | | |
| Color Rendering Index (CRI) | ~70 | | | | | |
| 3000K Fixture Efficacy (lm/W) | 101 | 99 | 96 | 88 | 84 | 83 |
| 4000K Fixture Efficacy (lm/W) | 105 | 104 | 99 | 94 | 90 | 88 |
| 3000K Fixture Output (lm) | 2,020 | 2,760 | 3,250 | 3,700 | 4,000 | 4,130 |
| 4000K Fixture Output (lm) | 2,300 | 2,800 | 3,368 | 3,930 | 4,300 | 4,400 |
| LED L70 (hours) | > 100,000 hours (at maximum drive current) | | | | | |
| Shielding | Optional shields available upon request | | | | | |

| PHOTOCELL & CONTROLS | |
|----------------------|--|
| Photocell Options | 20-year life photocell available. |
| Control & Monitoring | Dimming power supply (1-10V) is standard equipment. We offer a complete range of control and monitoring solutions. |

¹ Celsius maximum temperature 60°C (141°F) for standard models only. ² Not available for outdoor use. ³ See technical data for details. ⁴ See technical data for details. ⁵ See technical data for details. ⁶ See technical data for details. ⁷ See technical data for details. ⁸ See technical data for details. ⁹ See technical data for details. ¹⁰ See technical data for details.

Liveable Cities 115 Chain Lake Drive, Halifax, Nova Scotia, Canada, B3S 1B3 T: +1.877.533.5755 F: +1.888.533.5755 info@liveablecities.com

LED recessed wall luminaires - asymmetrical

Application: LED recessed wall luminaire with asymmetrical light distribution for the illumination of ground surfaces, building entrances, stairs and footpaths.

Materials: Luminaire housing constructed of die-cast aluminum marine grade, copper free (c. 0.3% copper content) A360.0 aluminum alloy. Clear safety glass. Silicone applied robotically to casting, plasma treated for increased adhesion. High temperature silicone gasket. Mechanically captive stainless steel fasteners. Stainless steel screw clamps. Composite installation housing. Protection class IP65. Weight: 1.8 lbs.

Electrical: Operating voltage: 120-277V AC. Minimum start temperature: -40°C. LED module wattage: 5.9 W. Controllability: 0-100% TRIAC, and ELV dimmable. Color rendering index: Ra > 80. Luminaire lumens: 342 lumens (3000K) > 500,000 h (L70) 185,000 h (L70). LED color temperature: 2700K - Product number + K27 3000K - Product number + K31 4000K - Product number + K35 4000K - Product number + K4

Finish: All BEGA standard finishes are matte, textured polyester powder coat with minimum 2 mil thickness. Available colors: Black (BLK) White (WHT) RAL Bronze (BRZ) Silver (SLV) CUS.

BEGA can supply you with suitable LED replacement modules for up to 20 years after the purchase of LED luminaires - see website for details.

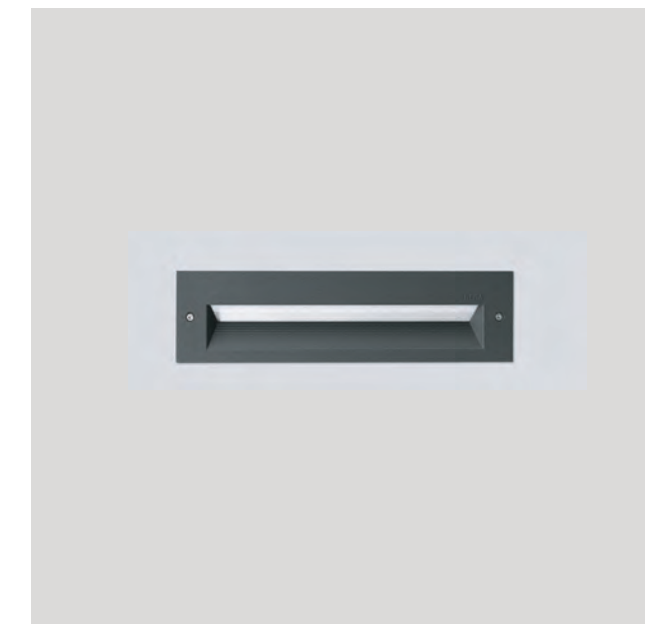
Finish: All BEGA standard finishes are matte, textured polyester powder coat with minimum 2 mil thickness. Available colors: Black (BLK) White (WHT) RAL Bronze (BRZ) Silver (SLV) CUS.

| LED recessed wall luminaires - asymmetrical | | | |
|---|-------|---------|-------------|
| LED | A | B | C |
| 33 054 | 5.9 W | 10 1/4" | 2 1/4" x 5" |

BEGA 1000 BEGA Way, Carpinteria, CA 93013 805.1684.0533 info@bega.com
Due to the dynamic nature of lighting products and the associated technology, luminaire data on this sheet is subject to change or the discretion of BEGA North America. For the most current technical data, please refer to bega.com or request a data sheet.

BEGA

Type: BEGA Product.
Project: Modified.
Project: Modified.



WST LED Architectural Wall Sconce



Catalog Number: _____
Finish: _____
Type: _____

See the full line of recessed wall sconces on our professional website.

Capable Luminaire

This item is an A+ capable luminaire, which has been designed and tested to provide consistent color appearance and system-level interoperability.

- All configurations of this luminaire meet the Acuity Brands' specification for chromatic consistency.
- This luminaire is A+ Certified when ordered with DTL* controls marked by a shaded background. DTL, DTL equipped luminaires meet the A+ specification for luminaire to photocell interoperability.
- This luminaire is part of an A+ Certified solution for ROAM* or XPoint** Wireless control networks, providing out-of-the-box control compatibility with simple commissioning, when ordered with drivers and control options marked by a shaded background.

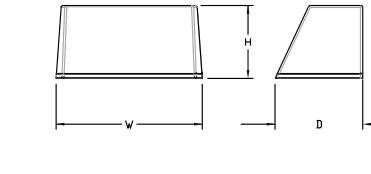
To learn more about A+, visit www.acuitybrands.com/a-plus.

See ordering tree for details.

A+ Certified Solutions for ROAM: See the order of one ROAM node per luminaire. Sold Separately. [Link to Roam](#); [Link to DTL](#).

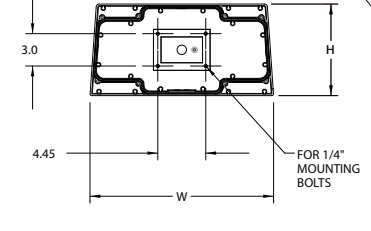
Specifications Luminaire

Height: 8-1/2" (21.59 cm)
Width: 17" (43.18 cm)
Depth: 10-3/16" (26.19 cm)
Weight: 20 lbs (9.1 kg)



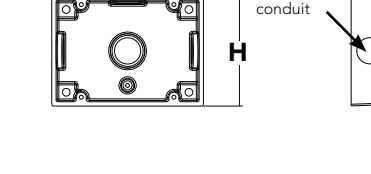
Optional Back Box (BBW)

Height: 8-9/16" (21.96 cm)
Width: 17-0/16" (43.17 cm)
Depth: 1-7/8" (47.6 mm)



Optional Back Box (BBW)

Height: 4" (102 mm)
Width: 5-1/2" (141 mm)
Depth: 1-1/2" (38 mm)



Lumiere

| Catalog # | Type |
|-------------|------|
| Project | Date |
| Comments | |
| Prepared by | |

DESCRIPTION

Lanterra 9002-W1 (Up or Down) and 9002-W2 (Up and Down) are small 2.5" O.D. line voltage cylinder fixtures with dimmable LED. The luminaires come in various mounting, surface mount with integral driver in the housing, remote driver mount with round and square wall plates and square wall integral driver, all of which can be mounted over standard 4 inch j-box. The luminaire also comes with various field-replaceable optics. It also comes with various lens, louvers and colors or diffusive filters, which can combine up to two at once to create multiple lighting effects. The fixture may be used indoors or outdoors and carries IP66 rating.

Material: Housing and hood are precision-machined from corrosion resistant billet stock 6061-T6 aluminum. CSB bronze, CSB bronze*, C110 copper or 303/304 stainless steel.

Finish: Fixtures constructed from 6061-T6 aluminum are double protected by an RCHES* chemical film undercoating and polyester powder coat paint finish, surpassing the rigorous demands of the outdoor environment. A variety of standard colors are available.

Natural Metals: Fixtures constructed from bronze, bronze, copper or stainless steel are left unpainted to reveal the natural beauty of the material. Brass, bronze, and copper will patina naturally over time.

Hood: Hood is removable and accepts up to two internal accessories at once (lenses, louvers and filters) to achieve multiple lighting effects. Weep holes prevent water and mineral deposits from collecting on the lens, even in

SPECIFICATION FEATURES

the straight up position. The flush lens design reduces fixture length, minimizes debris collection and prevents water and mineral stains from collecting on the lens.

Gasket: Housing and hood are sealed with a high temperature silicone O-ring gasket to prevent water intrusion.

Lens: Tempered glass lens, factory sealed with high temperature silicone O-ring to prevent water intrusion and breakage due to thermal shock.

Hardware: Stainless steel hardware is standard to provide maximum corrosion resistance.

Electrical: Long life LED system coupled with electronic driver (120-277V/50-60Hz) is compatible with TRAC (Leading Edge Dimming), ECL (Trailing Edge Dimming) and 0-10V dimming to deliver optimal performance. Light can be dimmed from 100-1% while maintaining constant CCT. It will operate in -30°C to 50°C unless noted otherwise. The driver incorporates

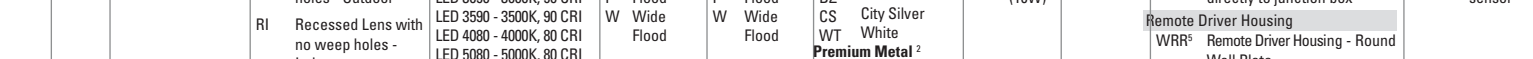
ORDERING INFORMATION

| MODEL | DESCRIPTION | HOOD | FIELD-REPLACEABLE OPTICS | FIELD-REPLACEABLE FINISH | FINISH | LIGHT LEVEL | VOLTAGE | MOUNTING | OPTIONS |
|------------|-------------|-------------|--------------------------|--------------------------|-------------|-------------|---------------------|---------------|---------|
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |

LED INTERIOR / EXTERIOR CYLINDER FLOOD LIGHT CERTIFICATION DATA

eULus - 1988
Wet Location Listed - IP66
LM79/LM80 Compliant
RoHS* Compliant
10W LED, L70/90,000+Hr 20° Celsius
DLC Qualified
DLC Qualified
DLC Qualified

9002-W1-FL 9002-W2-WV 9002-W1-FL 9002-W2-FL



ORDERING INFORMATION

| MODEL | DESCRIPTION | HOOD | FIELD-REPLACEABLE OPTICS | FIELD-REPLACEABLE FINISH | FINISH | LIGHT LEVEL | VOLTAGE | MOUNTING | OPTIONS |
|------------|-------------|-------------|--------------------------|--------------------------|-------------|-------------|---------------------|---------------|---------|
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |
| 9002-W1-FL | Up or Down | Standard CR | Standard CR | Standard CR | Standard CR | 11 | 120-277V (50/60 Hz) | Surface Mount | None |

Note: 1. Only available for double hood option (W2).
2. Chromaticity not available for W2 option.
3. Only available for Single Hood, Up or Down (W1) with 4000K only.
4. Bronze finish only (W2).

*RoHS Compliant. For National electrical code history, visit www.nec.org.

© 2011-2021 Acuity Brands Lighting, Inc. All rights reserved. WST-LED Rev. 03/17/21

| NO. | REVISIONS | DATE |
|-----|-----------|------|
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |
| | | |

MUSGROVE ENGINEERING, P.A.
224 S. Whisperwood Way, Suite 100
Boise, Idaho 83709
208.344.0388
musgrove.com

645 W. 25TH St.
Idaho Falls, Idaho 83402
208.362.2862

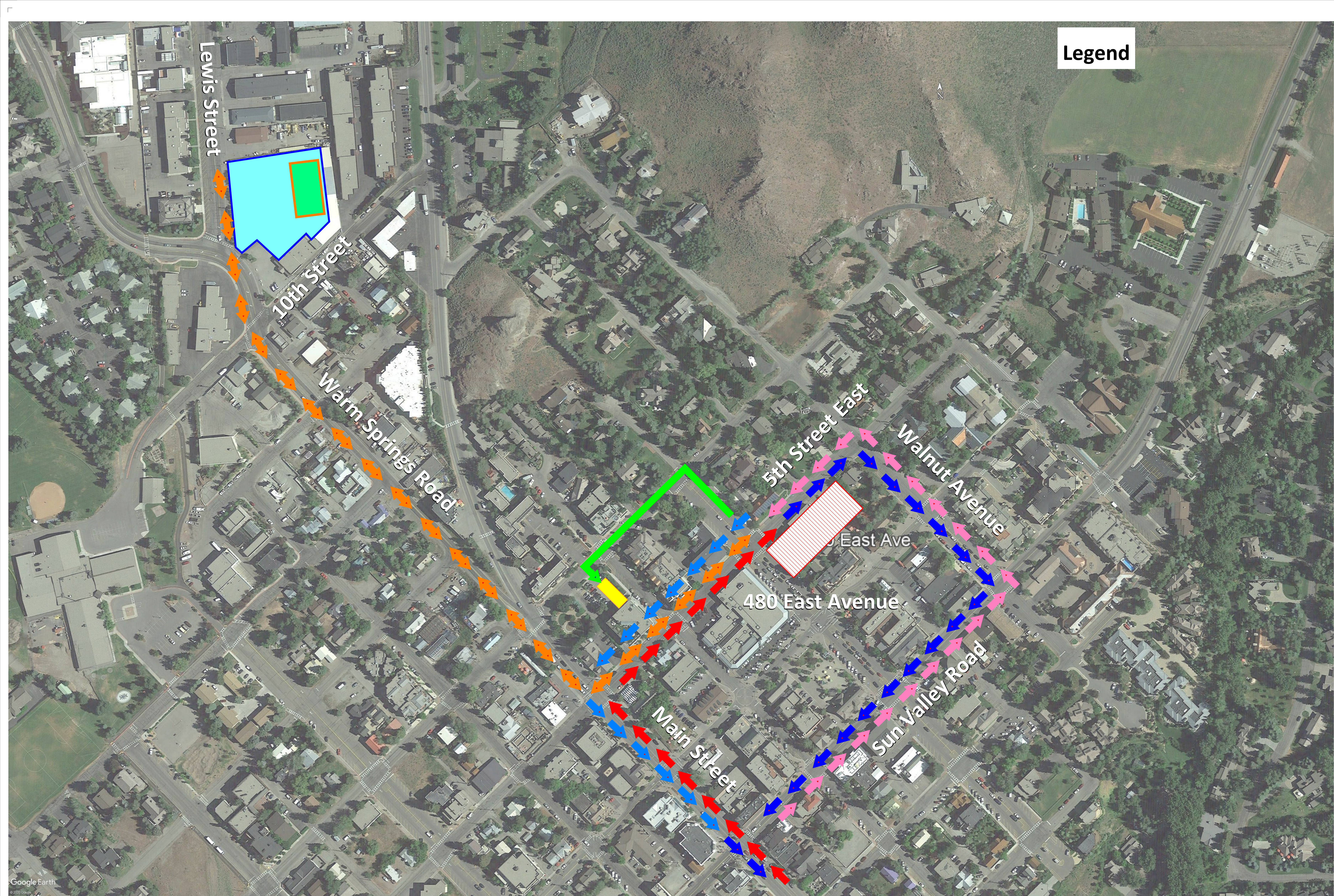
OVER 40 YEARS OF EXCELLENCE



BLUEBIRD VILLAGE
480 N. EAST AVE.
KETCHUM, ID 83340

| | |
|---------|----------------|
| PROJECT | 20523 |
| DRAWN | RM |
| CHECKED | TM |
| DATE | 4/06/21 |
| SCALE | NOTED ON PLANS |
| SHEET | |

PDR E2.00



Legend

PROJECT NO.
SET NO.

BLUEBIRD VILLAGE
GMD KCDC APPLICATION

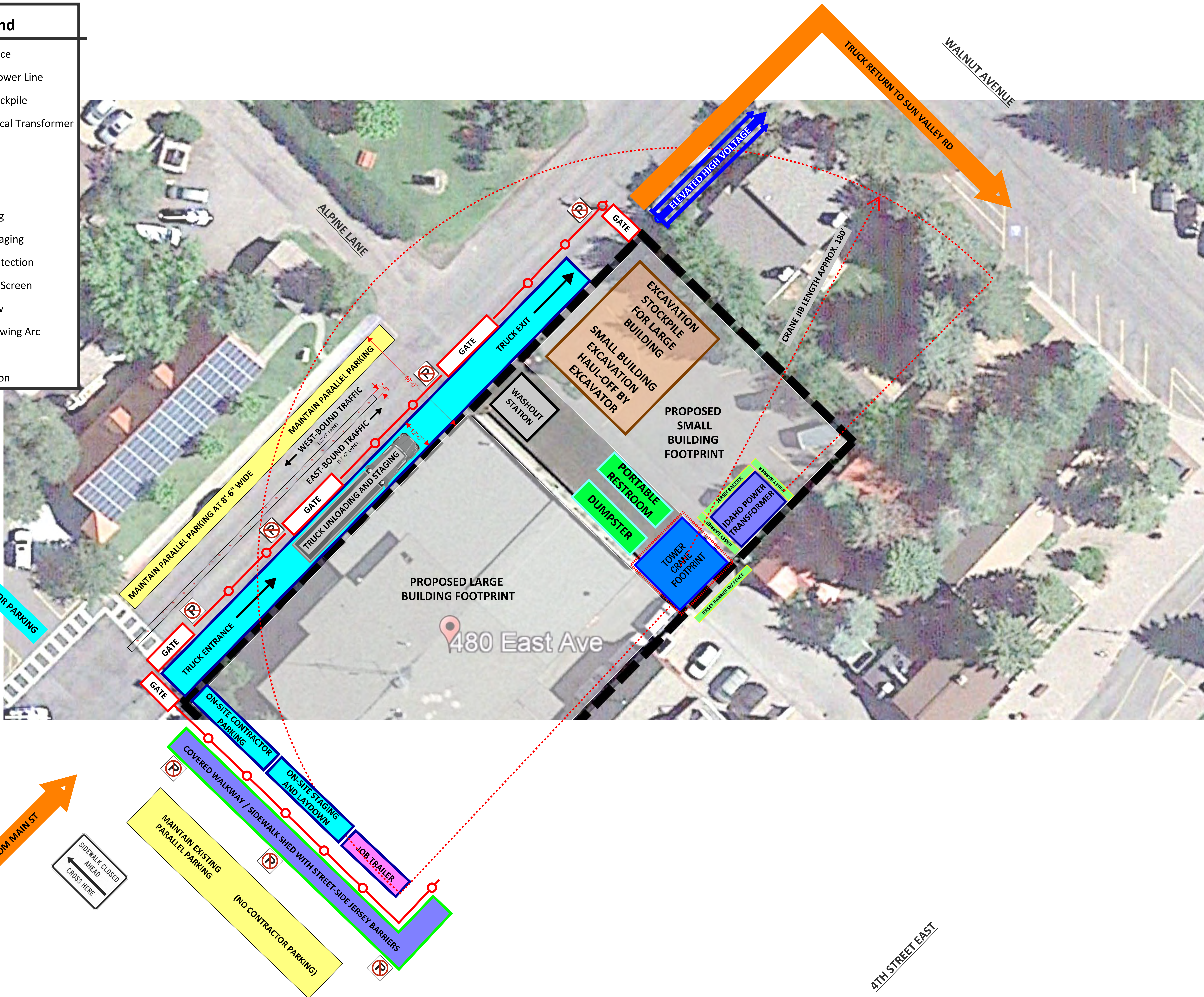
PRINT RECORD
PURPOSE: PRELIM BUDGET
DATE: 6/12/2020

REVISION RECORD
CONSTRUCTION MANAGEMENT PLAN: CHANGE

DRAWN:
CHECKED:
DATE: 12/14/2020

SHEET TITLE:
CONSTRUCTION MANAGEMENT PLAN

| Legend | |
|--------|---------------------------------|
| | Chain-Link Fence |
| | Elevated HV Power Line |
| | Excavation Stockpile |
| | Existing Electrical Transformer |
| | Group |
| | Jersey Barrier |
| | Job Trailer |
| | Parallel Parking |
| | Parking and Staging |
| | Pedestrian Protection |
| | Post Fence w/ Screen |
| | Snow Windrow |
| | Tower Crane Swing Arc |
| | Tower Crane |
| | Washout Station |



PROJECT NO.
SET NO.

BLUEBIRD VILLAGE
GMD KCDC APPLICATION

PRINT RECORD
PURPOSE: PRELIM BUDGET
DATE: 6/12/2020

REVISION RECORD
CONSTRUCTION MANAGEMENT PLAN: CHANGE

DRAWN:
CHECKED:
DATE: 12/14/2020

SHEET TITLE:
CONSTRUCTION
MANAGEMENT PLAN

ATTACHMENT B APPLICANT PROJECT INFORMATION



March 10, 2021

City of Ketchum Planning and Zoning Commission and City Council
Attn: Planning and Building Director Suzanne Frick
P.O. Box 2315
480 East Ave. N
Ketchum, ID 83340

RE: Bluebird Village Design Review Application
Pre-Application Design Review Submittal

Dear Ketchum Planning Staff, Planning and Zoning Commission, Mayor and City Council:

We are pleased to present this project narrative and the enclosed materials in support of the Bluebird Village Design Review Application.

Introduction

Bluebird Village is a residential and retail development on the former City Hall Site at 5th Street and East Avenue that provides street-level retail and 56 units of needed affordable rental housing in two energy-efficient buildings designed to blend into Ketchum's downtown.

Bluebird Village is the culmination of a decades-long effort in the City to provide pedestrian-accessible, affordable housing integrated into the downtown core. Many sites have been considered and pursued but have not come to fruition. The location of this project on the current City Hall site began with a City request for proposals in Spring 2018. GMD Development LLC responded and was awarded the contract. The project recently received tax credit approval by the Idaho Housing and Finance Association ("IHFA"). Before submitting this application, the developer conducted three phases of public outreach to present the project and receive public input via open house meetings and a website portal.

Public Outreach

The first phase of public outreach began in July 2020, prior to the IHFA tax credit application submittal, with outreach to existing affordable housing Northwood Place residents to obtain input on the features and amenities.

The second phase of outreach occurred after the tax credit award on January 7 and 12, 2021, when the developer presented to the general public three external design options in open house meetings. During that same time, a website portal was open for feedback submission. From that feedback, the design option with the most positive feedback was chosen as the direction to proceed with the design effort. In addition, based on the open house comments and website input, the area of the 4th floor coverage was reduced, more brick façade was added and vertical glass elements were added on the staircases. More storage and bike parking was added, along with screening of the decks.

In the third phase of outreach, a more developed single design was presented on February 5 and 9, 2021. Input from those meetings and website submissions was also incorporated into the design and features of the development. The resulting design is reflected in this application the developer is now making for pre-application design review.

Co-Developers

Bluebird Village is being co-developed by GMD Development LLC ("GMD") and Ketchum Community Development Corporation ("KCDC").

GMD is a Seattle-based development firm with significant experience in developing affordable housing throughout the Pacific Northwest. One of the principals of GMD, Greg Dunfield, has been a part-time and full-time resident in Ketchum for 45 years and was the co-developer of Northwood Place, an affordable housing multi-unit complex in Ketchum.

KCDC is a 501(c)(3) nonprofit organization formed by Ketchum community members in July 2006 as part of an overall revitalization plan that also included a Downtown Master Plan and the formation of the Ketchum Urban Renewal Agency. KCDC's mission is to create adequate affordable workforce housing in collaboration with the City of Ketchum, the Ketchum Urban Renewal Agency, and other appropriate entities. KCDC played a role in creating Northwood Place, which it now owns.

Project Site

The Bluebird Village project site is 480 East Avenue, at the corner of 5th Street – the current City Hall location. The property is zoned CC-Subdistrict 1 (retail core). Multi-family is a permitted use in the CC Zone.

The City of Ketchum owns the property. If the project is approved, the City will enter into a long-term lease with KCDC for the land. The value of the project improvements will be taxable, benefiting the City of Ketchum, Blaine County, the school district, emergency services and recreation.

The City of Ketchum, as the property owner, is pursuing a Vacation and Readjustment of Lot Line application to adjust the alley width from 30' to 20' along the property, adding 10' to the City Hall property and project site. Because the Bluebird Village project will occupy both sides of the alley, the change in alley width should not impact other properties. Most alleys in the City of Ketchum currently are 20' wide.

The project site slopes uphill from the northwest corner on East Avenue, along 5th Street, to the northeast corner of the property. Given the slope, both buildings will be further set into the grade at the rear, reducing the buildings' visible mass from the rear. The grade change continues beyond the site so that residences to the northeast are at a higher elevation than the project site.

Building Design

The project consists of two buildings, breaking up the building mass. Building A has a three-story façade on East Avenue and a partial fourth story at the rear of the building. The first floor of Building A includes retail units available to Ketchum businesses, along with property management, storage and parking. Building B, in the rear across the alley, has three stories of housing over one floor of retail units, parking and storage. An elevator serves Building A, and a sky bridge over the alley connects the buildings on the third level.

Residential units range from 640 to 1,130 square feet with internal entrances and include 1BR, 2BR, and 3BR units to meet the needs of a variety of household sizes. Residential amenities include decks/patios, 56 generous storage lockers, leasing office, convenient bike storage, and community amenity spaces. The top floor of Building A has an outdoor community patio space and indoor fitness center and community space. Internal unit amenities include "Energy Star" efficient appliances, washer/dryers and individual unit electric space heating. Rooftop solar photovoltaic panels will supplement the energy needs of the system and building electricity.

Street-level retail uses will activate the streetscape and add to the vitality of East Avenue as a pedestrian-friendly commercial area. The majority of retail frontage faces East Avenue as the main existing pedestrian corridor extends northwest from the Ketchum Town Square. Residential entries are located off of the less bustling 5th Street. Garage parking, accessed off the alley, includes 49 vehicle parking spaces, 110 bike parking spaces, 6 e-cargo bike parking spaces with charging stations, and 2 car-share car spaces.

The buildings' material palette seeks to blend historic rustic charm with contemporary durable maintenance-free materials. The brick veneer located on the ground floor anchors the building and provides historical context, while the wood and fiber cement cladding on the upper floors provides warmth and helps modernize the building and also complements the heavy texture brick elements. The brick along the East Avenue façade extends to the three-story roof line, paying homage to the multi-story brick buildings found throughout downtown Ketchum.

Glass vertical stairwell enclosures clad in steel offer striking architectural features from the inside and out, providing a naturally-lit and view-filled experience for the user, while also providing a lightened appearance and interesting design element from the street.

Landscaping is integral to the architecture with tree-lined street frontage and rooftop landscaping areas visible from the public way below.

Height and FAR

The Ketchum City Code incentivizes 100% community housing projects with height and floor area ratio ("FAR") bonuses.

As to height, for 100% community housing projects such as Bluebird Village, the allowed height is 52' in accordance with KCC 17.12.040. Buildings greater than 48' in height or that contain a fourth or fifth floor require final approval from the City Council. The maximum height of Bluebird Village as measured by the City of Ketchum is 50'9", at the south (interior) elevation of Building A, where the partial fourth floor is stepped back from both East Avenue and 5th Street. This height is within the 52' allowed by KCC 17.12.040, subject to final approval by the City Council.

Building height along the exterior façades is lower than the maximum height. In particular, the façade along East Avenue is 40'-8". Façade heights include:

Building A:

- Height of exterior elevation at the East Avenue third floor level brick parapet = 40'-8"
- Height of exterior elevation at the alley = 47'-5"

Building B:

- Height of exterior elevation at the alley = 48'-4"
- Height of exterior elevation at the rear property line = 45'-4"

The Bluebird Village height is comparable to other buildings in the downtown core. The immediate vicinity includes buildings with heights ranging from 36' to 41' feet. The current City Hall building is 36'.

As to FAR, KCC 17.040.124 provides two levels of incentives for community housing in the CC zoning district:

1. Projects that meet the inclusionary housing incentive may be approved with a FAR up to 2.25. This incentive applies to buildings up to three stories in height. KCC 17.040.124(B)(3).
2. Projects that provide 100% community housing, such as Bluebird Village, may exceed the 2.25 FAR. "Buildings above three (3) stories may exceed the 2.25 FAR maximum only in accordance with the pertinent code provisions allowing for a fourth floor (for example, hotels, PUDs and 100 percent community housing project, etc.)." KCC 17.040.124(B)(3). As described above, per KCC 17.12.040, 100% community housing projects with a fourth floor are allowed up to 52' with final approval by the City Council.

The FAR for Bluebird Village is 2.36, and the development provides 56 units of community housing. Compare this to a market rate project that can qualify for nearly the same FAR at 2.25, yet, based on the same property size and footprint as Bluebird Village, would only provide approximately 6 units of community housing per the requirements in KCC 17.040.124(B)(2).

The Bluebird Village building design reduces the appearance of height and massing. Building planes undulate in and out both horizontally and vertically along the facades of each story avoiding the creation of blank wall expanses. Applied canopies and cantilevered deck structures provide further undulation and textural variation. The facades facing 5th Street and East Avenue are designed with ground floor glazing to break up solid walls and invite window shopping. All facades on the upper floors have a combination of solid walls and windows for the residential apartments.

Concurrent with this application, the City is proposing an amendment to KCC 17.12.040 to remove the 10' fourth floor setback for qualifying community housing projects. If the code amendment is approved, then we request the Bluebird Village project be approved subject to the amended standard.

Parking

No onsite parking is required for the project consistent with KCC 17.125.040(B). Nonetheless, Bluebird Village includes 49 parking spaces. The onsite parking will not only serve the development's residents but will also improve the current parking conditions in the area by providing parking where none exists today and reducing peak hour demand.

Bluebird Village will replace an existing use that has no onsite parking for City Hall employees or the visiting public. The current parking lot east of City Hall is reserved for emergency volunteer first responder vehicles.

The project will also reduce the need for workers to commute into town and find parking. The Comprehensive Plan recognizes this connection: "Because of inadequate workforce housing, a significant number of the community's employees reside outside of Ketchum. This imbalance between housing opportunities and jobs has triggered a high volume of regional commuter traffic." (Plan, p.46).

Transportation engineering expert, AECOM, analyzed the parking needs of the proposed use and of the current City Hall use. AECOM's parking demand study concludes that the proposed development is not anticipated to have an adverse effect on on-street parking; instead it is anticipated to alleviate parking demand during peak periods.

The AECOM study finds that the current City Hall use creates offsite parking demand of at least 20 cars during the same daytime hours that area retail businesses have peak parking needs. In contrast, even using conservative assumptions, the proposed housing will have an offsite parking demand ranging between 0 and 12 cars, primarily during the evening when adjacent retail businesses are closed. Bluebird Village will *reduce* peak hour demand for street parking.

The location of the development in the downtown core significantly reduces the need for residents to have cars. Residents can walk to employment, to shopping, to restaurants and gathering places. Residents can also walk or bike to multiple Mountain Rides public transportation bus stops within one and two blocks away to take them to employment or recreation at Sun Valley and Elkhorn, north to Galena, west on Warm Springs, south to Hailey and Bellevue. The buses are equipped with bike racks to allow point-to-point commuting for users to extend their travel.

The project will include a car-share program with two vehicles to meet residents' needs for occasional car use. Secure bike parking and electric bike charging stations are provided in the garage. Additional bike parking will be available for residents and guests on street amenity bike parking racks. Residents can also rent parking at reasonable monthly rates approximately five blocks from the project site at 2nd Street and Washington.

The City has begun a comprehensive parking study and is evaluating a residential parking permit program as part of a larger strategic master parking plan. The plan would allow on-street parking away from high-demand parking areas for business establishments. Employees may be required to park in long-term parking areas that are less utilized by customers and visitors. Results of the study may also require large employers' workers and residential building occupants be provided parking passes. The City is also developing a program for overnight parking during the winter.

Community Housing

Bluebird Village will provide needed community housing for a broad spectrum of incomes primarily ranging from 50% to 70% of area median income (“AMI”). These households include essential members of the Ketchum community, including teachers, police officers, firefighters, restaurant employees, construction workers, ski resort personnel, nonprofit organization staff and others.

Resident incomes may increase during their residency, and they can still remain at the property. The project will be subject to a recorded regulatory agreement that income restricts these rental units for a minimum of 40 years. Bluebird Village units will all have a one-year lease term.

Comprehensive Plan

Bluebird Village fulfills many goals in the City’s Comprehensive Plan. The 2014 Plan focuses on what makes Ketchum sustainable in terms of the natural environment as well as social and economic vibrancy. A key aspect of the Plan’s sustainability focus is creation of affordable and diverse housing, which in turn supports other community values and Plan goals including attracting/retaining younger residents and a year-round population (pp. 1, 25); boosting community and downtown vitality (p.9); supporting a varied demographic of people who live and work in Ketchum (p.7); promoting non-vehicular access to downtown businesses (p.14); reducing regional commuter traffic (p.46); and maintaining a strong economy with a diverse base of jobs, including small locally-run businesses (pp. 15, 21).

The Plan recognizes the links between affordable housing and a diverse and healthy city: “We know that a diversity of housing is critically linked to a strong economy and a year-round population. We also know that diverse and affordable housing ... is often one of the first considerations for new business locating in a community.... If Ketchum fails to provide adequate affordable housing, the community will continue to lose more of its resident workforce and along with it, social and economic diversity.” (Plan, p. 25).

Chapter 3 of the Plan includes specific policies to improve the diversity and affordability of housing, and Bluebird Village fulfills many of these, including:

- Policy H-1.4 Housing should be integrated into the downtown core and light industrial areas, and close to the ski bases. The resulting mix of land use will help promote a greater diversity of housing opportunities as well as social interactions.

Bluebird Village provides 56 new residential units in the downtown core. The mix of unit types and range of affordable rents provide a diversity of housing opportunities that is under-represented in Ketchum currently. Locating this

development in the downtown core promotes walkability and encourages social interactions, creating a dynamic and diverse city.

- Policy H-2.1 BCHA [Blaine County Housing Authority], ARCH [Community Housing Trust], and KCDC will serve the important functions of promoting, planning, developing, managing and preserving the long-term supply of affordable housing options in Ketchum. The City will partner with other entities to fulfill its housing goals.

KCDC is co-developing Bluebird Village in partnership with experienced affordable housing developer GMD to bring this long-pursued goal of increasing Ketchum's affordable housing supply to fruition. KCDC will control and manage the project long-term after GMD's initial development and tenure ends.

- Policy H-3.1 The City should encourage the private sector, through land-use regulations and incentive programs, to provide a mixture of housing types with varied price ranges and densities that meet a variety of needs. The City will evaluate the use of incentives, such as flexibility in height, density and parking requirements to achieve greater housing diversity. Additionally, the City will promote the siting of higher density housing near public transportation, the ski base areas, shopping, and designated neighborhoods and districts.

The City's zoning ordinance and policies have created incentives to support development of diverse housing and affordable housing in particular, including by allowing flexibility in height, FAR, and parking requirements for 100% community housing projects. Based on those incentives, Bluebird Village in turn will provide needed diversity in housing - affordable housing to serve Ketchum residents and workers - in a location requested by the City and consistent with Comprehensive Plan goals.

- Policy H-3.4 New housing will be energy-efficient, emphasize the use of durable and environmentally responsible materials, and implement best practices in site design and construction.

Bluebird Village will include energy-efficient construction and operation through energy-efficient appliances and rooftop solar photovoltaic panels. Concrete sidewalks will be snow melted with hydronic heat tubing. Onsite parking will be in a screened open garage, avoiding the unsightly use of surface parking. The covered parking eliminates the need for inefficient snow storage areas and the hauling of snow.

City of Ketchum
Bluebird Village Design Review Application
March 10, 2021
Page 9

Design Review Criteria

Bluebird Village meets all of the design review criteria set forth in KCC 17.96. The project does not jeopardize the health, safety or welfare of the public. The project will serve and improve the health and vitality of the city for all residents by providing much-needed affordable housing in the walkable downtown core and by improving parking conditions in the area.

The project also conforms to all of Ketchum's design review standards and criteria as detailed in the enclosed document "Improvements and Standards for All Projects, 17.96.060."

Thank you for your consideration of the Bluebird Village project. We look forward to addressing your comments and questions at the pre-application design review meeting and subsequent hearings before the Planning and Zoning Commission and City Council.

Sincerely,



Gregory M Dunfield
GMD Development LLC



Charles Friedman
Ketchum Community Development Corporation

Enclosure

ATTACHMENT C PARKING STUDY



AECOM
756 E Winchester Street, Ste 400
Salt Lake City, Utah 84107
aecom.com

**Project name: Bluebird Village Affordable
Housing Parking Study**

Project ref: 60654270

To: Greg Dunfield – GMD Development

From: Kordel Braley, PE, PTOE

Date: March 9, 2021

Memo

Subject: Ketchum Bluebird Village Housing Parking Study

Background

On behalf of GMD Development, AECOM has conducted this parking study for a proposed 56-unit affordable housing complex to be constructed within the block bordered by East Ave, Alpine Lane, 5th Street, and 4th Street/Sun Valley Trail in Ketchum, Idaho. The purpose of this parking study is to provide an estimate of the off-site parking demand of the current use (city hall) as well as the proposed use (affordable housing).

Based on the analysis provided in this study, the proposed development is not anticipated to have an adverse effect on on-street parking; instead it is anticipated to alleviate parking demand during peak periods. The addition of affordable housing in the downtown core could also decrease commuting trips in and out of Ketchum.

Existing Conditions

The City of Ketchum's city hall is currently located on the project site and would be replaced with the proposed development. According to data provided by the city, the building houses 15 city employees during normal business hours plus additional emergency service personnel as follows:

- Fire Department:
 - 2 Command Staff (daytime)
 - 3 Firefighters (24/7)
- Police Department:
 - 2 Police Officers and 1 Admin (daytime)
 - 2 Police Officers (24/7)

During the daytime, a total of 25 city employees can be on-site at any given time. An additional 2 walk-up patrons can also be expected at any given time. However, it's estimated that at least

4 employees may use alternate forms of transportation (bus, walking, biking, or being dropped off). The total existing peak parking demand is therefore estimated to be approximately 23 vehicles. No on-site parking is provided, so all employees and visitors that drive use on-street parking.

Proposed Conditions

According to the development team, the proposed Bluebird Village development will have 56 units that are a variety of sizes ranging from one-bedroom to three bedrooms per unit. The total number of bedrooms is 82. A total of 49 on-site parking stalls will be provided (see site plan in Appendix A). Additional travel demand management amenities include secured bike storage, an on-site vehicle share program (two vehicles), and electric bike charging stations. Furthermore, the project's location in downtown Ketchum in close proximity to retail, employment, recreation, and transit (Mountain Rides) access is likely to reduce the need for dependence on vehicle ownership and use.

Parking demand was estimated using parking rates obtained from the most recent edition of Institute of Transportation Engineers (ITE) *Parking Generation Manual*, 5th Edition (2019). The most applicable land use code is "Affordable Housing – Income Limits" (ITE Land Use Code 223).¹ Parking demand was calculated using both total units and total bedrooms as the independent variable.

Using units as the independent variable, the average parking demand ranges between 41 and 55 vehicles depending on whether the average rate or a fitted curve equation is used. Using bedrooms as the independent variable, the average parking demand ranges between 44 and 45 vehicles depending on whether the average rate or a fitted curve equation is used (see parking demand calculations in Appendix B). Based on the ITE data, the 95% Confidence Interval of average parking demand per unit is between 0.89 and 1.09 which equates to 50 to 61 vehicles. In summary, the Bluebird Village development is likely to generate the need to accommodate 44 to 61 parked cars.

With 49 on-site parking stalls provided, the number of cars not able to be accommodated on site could range from 0 to 12. Given the project's travel demand management amenities and downtown location, this estimate is likely on the conservatively high side.

While specific off-site traffic impacts were beyond the scope of this parking study, the addition of affordable housing in downtown Ketchum should decrease commuting trips in and out of the city from other nearby communities as many jobs will be within walking distance of the proposed affordable housing.

Other Affordable Housing Projects in Ketchum

Based on information provided by the development team, the only other affordable housing project in Ketchum is Northwood Place, which includes 32 units (with 58 bedrooms) and 32 parking stalls. Currently, only 27 of the of the renters own vehicles (84%), although it is unknown if any renters own multiple vehicles. This parking review study utilizes an 89% vehicle parking

¹ ITE's description of this land use is as follows: "Affordable housing includes all multifamily housing that is rented at below market rate to households that include at least one employed member. Eligibility to live in affordable housing can be a function of limited household income and resident age."

demand per unit, which is more conservative than the comparable 84% observed at the Northwood Place development.

Key Findings

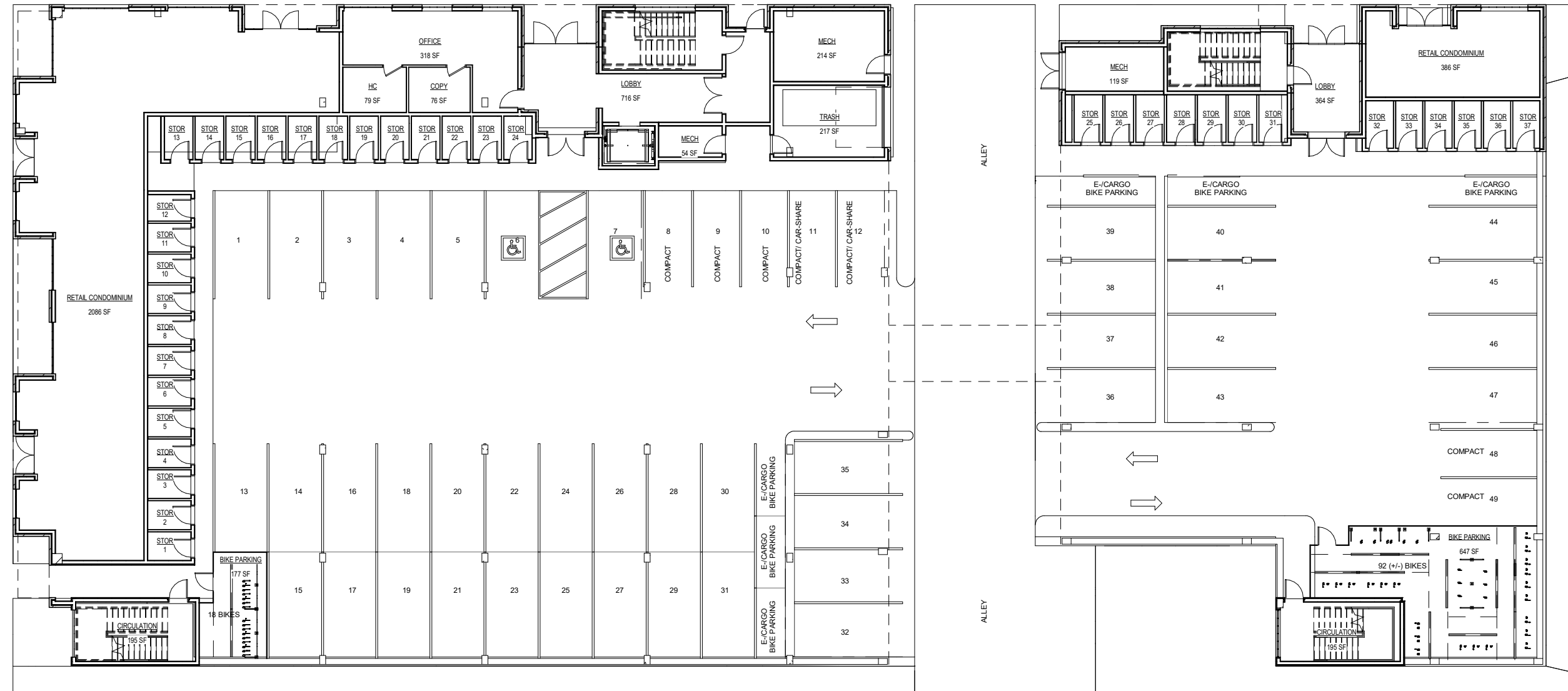
The existing peak off-site parking demand for city hall likely exceeds 20 vehicles. The proposed housing development will likely generate 0 to 12 off-site parked vehicles. Therefore, the proposed development will decrease the net on-street parking demand. The existing use utilizes on-street parking primarily during the daytime, whereas the peak parking demand for the residential use will occur overnight. Therefore, fewer parked cars will be observed during the daytime, but more parked cars will be observed in the overnight hours. An inventory of the existing on-street parking supply within walking distance of the proposed project was not included in the scope of this parking study. However, given the retail nature of nearby uses, the proposed change in land use is expected to decrease parking demand when the nearby retail uses utilize more parking, and increase on-street parking demand when the nearby retail uses are utilizing less on-street parking.

The proposed development is not anticipated to have an adverse effect on on-street parking; instead it is anticipated to alleviate parking demand during peak periods. The addition of affordable housing in the downtown core could also decrease commuting trips in and out of Ketchum.

APPENDIX A: Site Plan

EAST FIFTH STREET

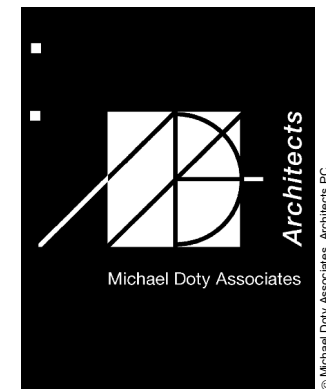
NORTH EAST AVENUE



BLUEBIRD VILLAGE

PROPOSED GROUND FLOOR PLAN

03/09/21



© Michael Doty Associates, Architects PC

APPENDIX B: Parking Demand Calculations

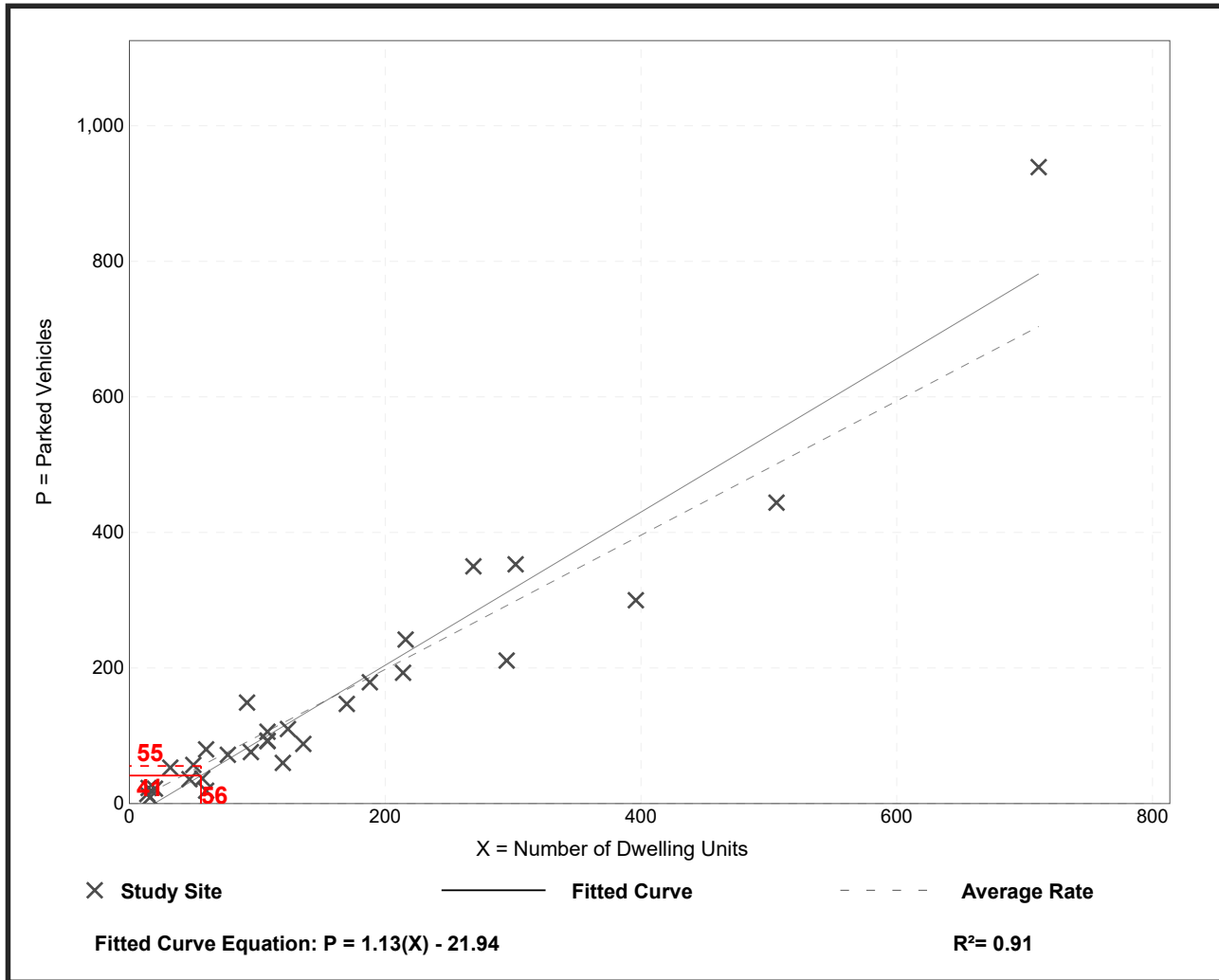
Affordable Housing - Income Limits (223)

Peak Period Parking Demand vs: Dwelling Units
On a: Weekday (Monday - Friday)
Setting/Location: General Urban/Suburban
Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.
 Number of Studies: 29
 Avg. Num. of Dwelling Units: 159

Peak Period Parking Demand per Dwelling Unit

| Average Rate | Range of Rates | 33rd / 85th Percentile | 95% Confidence Interval | Standard Deviation (Coeff. of Variation) |
|--------------|----------------|------------------------|-------------------------|--|
| 0.99 | 0.32 - 1.66 | 0.85 / 1.33 | 0.89 - 1.09 | 0.27 (27%) |

Data Plot and Equation



Parking Generation Manual, 5th Edition • Institute of Transportation Engineers

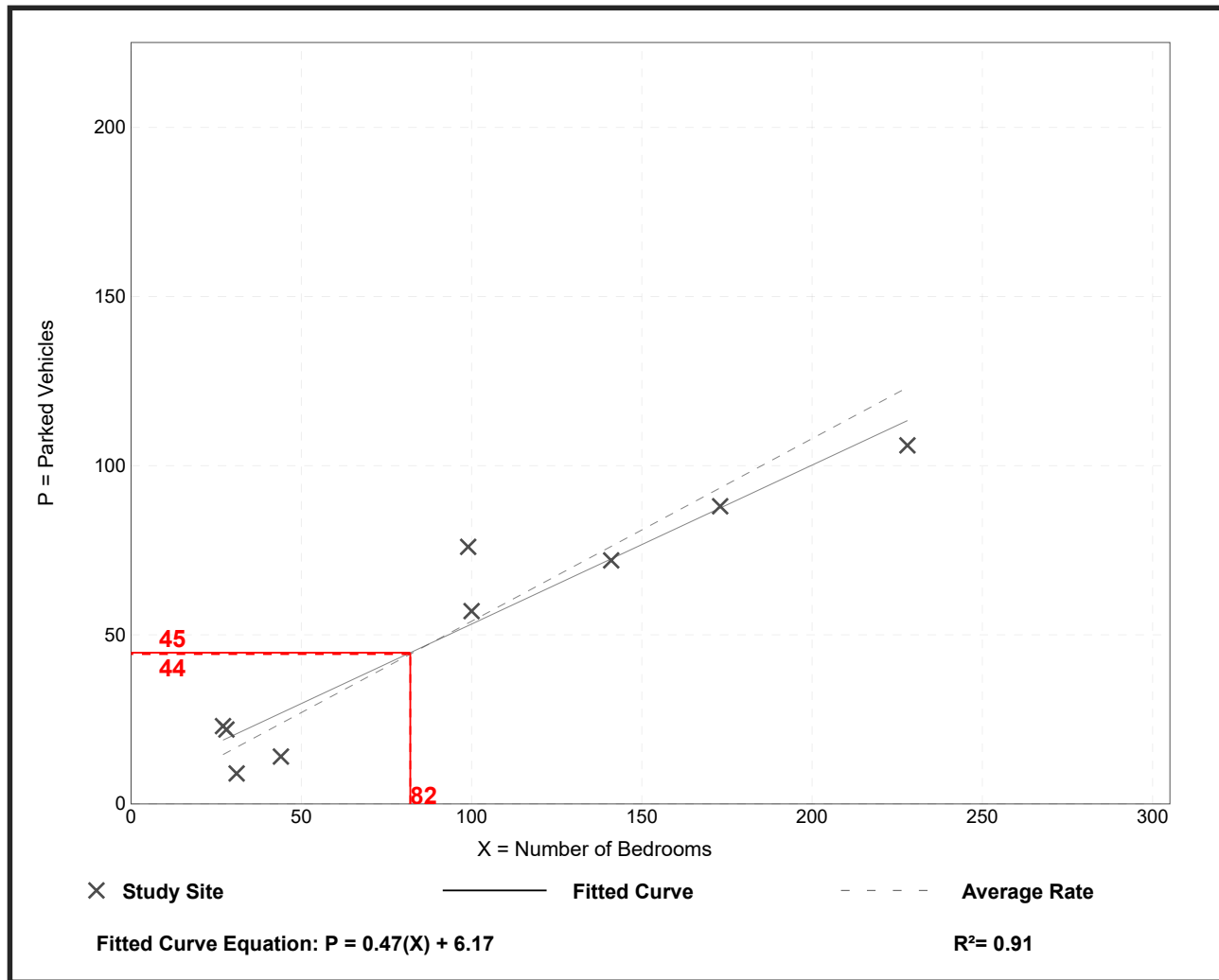
Affordable Housing - Income Limits (223)

Peak Period Parking Demand vs: Bedrooms
On a: Weekday (Monday - Friday)
Setting/Location: General Urban/Suburban
Peak Period of Parking Demand: 10:00 p.m. - 5:00 a.m.
 Number of Studies: 9
 Avg. Num. of Bedrooms: 97

Peak Period Parking Demand per Bedroom

| Average Rate | Range of Rates | 33rd / 85th Percentile | 95% Confidence Interval | Standard Deviation (Coeff. of Variation) |
|--------------|----------------|------------------------|-------------------------|--|
| 0.54 | 0.29 - 0.85 | 0.48 / 0.82 | *** | 0.14 (26%) |

Data Plot and Equation



Parking Generation Manual, 5th Edition • Institute of Transportation Engineers

ATTACHMENT D APPLICATION SUBMITTAL



City of Ketchum
Planning & Building

**CERTIFIED
COMPLETE**

3-10-21

PRE- Design Review Application

| OFFICIAL USE ONLY | |
|-------------------|--|
| File Number | P21-027 |
| Date Received | 3-10-21 |
| By: | mp |
| Pre-Applica | 110000 |
| Design Review | |
| Approved Date: | |
| Denied Date: | |
| By: | |
| ADRE: Yes | <input type="checkbox"/> No <input type="checkbox"/> |

APPLICANT INFORMATION

| | |
|--|--|
| Project Name: Bluebird Village | Phone: (206) 745-3699 |
| Owner: GMD Development LLC., and Ketchum Community Development Corporation | Mailing Address: 520 Pike Street, Suite 1010, Seattle, WA. 98101 |
| Email: greg@gmddevelopment.com | |
| Architect/Representative: Michael Doty Associates, Architects PC | Phone: (208) 726-4228 |
| Email: mike@mda-arc.com | Mailing Address: PO Box 2792, Ketchum, Idaho 83340 |
| Architect License Number: AR-1612 | |
| Engineer of Record: Frost Structural Engineering | Phone: (208) 227-8404 |
| Email: markellb@froststructural.com | Mailing Address: 1020 Lincoln Road, Idaho Falls, ID 83401 |
| Engineer License Number: P-11697 | |

All design review plans and drawings for public commercial projects, residential buildings containing more than four (4) dwelling units and development projects containing more than four (4) dwelling units shall be prepared by an Idaho licensed architect or an Idaho licensed engineer.

PROJECT INFORMATION

| | |
|---|---------------------------------|
| Legal Land Description: AM Lot 3A BLK 45 and Lots W 75" of 7 & 8 BLK 45 | |
| Street Address: 480 N East Avenue | |
| Lot Area (Square Feet): 16,814 SF + 9,358 SF = 26,172 SF | |
| Zoning District: CC-1, Community Core-Retail Core | |
| Overlay District: <input type="checkbox"/> Floodplain <input type="checkbox"/> Avalanche <input type="checkbox"/> Mountain | |
| Type of Construction: <input checked="" type="checkbox"/> New <input type="checkbox"/> Addition <input type="checkbox"/> Remodel <input type="checkbox"/> Other | |
| Anticipated Use: Mixed-Use: Retail and Community Housing Apartments | Number of Residential Units: 56 |

TOTAL FLOOR AREA

| | Proposed | Existing |
|---------------------------------|----------|----------|
| Basements | N/A | Sq. Ft. |
| 1 st Floor | 7,164 | Sq. Ft. |
| 2 nd Floor | 19,280 | Sq. Ft. |
| 3 rd Floor | 19,618 | Sq. Ft. |
| Mezzanine 4 th Floor | 15,625 | Sq. Ft. |
| Total | 61,687 | Sq. Ft. |

FLOOR AREA RATIO

| | | |
|----------------------|----------|---------------------------|
| Community Core: 2.36 | Tourist: | General Residential-High: |
|----------------------|----------|---------------------------|

BUILDING COVERAGE/OPEN SPACE

Percent of Building Coverage: N/A

DIMENSIONAL STANDARDS/PROPOSED SETBACKS

| | | | |
|--|---------|---------|-------------------|
| Front: 0 | Side: 0 | Side: 0 | Rear: 3' at Alley |
| Building Height: Building A, 50'-9" / Building B, 49'-3" | | | |

OFF STREET PARKING

| | | |
|-----------------------------|---------|---|
| Parking Spaces Provided: 49 | | |
| Curb Cut: N/A | Sq. Ft. | % |

WATER SYSTEM

| | |
|---|--|
| <input checked="" type="checkbox"/> Municipal Service | <input checked="" type="checkbox"/> Ketchum Spring Water |
|---|--|

CERTIFIED

The Applicant agrees in the event of a dispute concerning the interpretation or enforcement of the Design Review Application in which the city of Ketchum is the prevailing party, to pay the reasonable attorney fees, including attorney fees on appeal and expenses of the city of Ketchum. I, the undersigned, certify that all information submitted with and upon this application form is true and accurate to the best of my knowledge and belief.

3-9-21

Signature of Owner/Representative

Date

DESIGN REVIEW EVALUATION STANDARDS

(May not apply to Administrative Design Review):

17.96.060: IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS

A. Streets:

1. The applicant shall be responsible for all costs associated with providing a connection from an existing city streets to their development.
2. All streets designs shall be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Sidewalks:

1. All projects under 17.96.010(A) that qualify as a "Substantial Improvement" shall install sidewalks in conformance with the right-of-way standards. Sidewalk improvements may be waived for projects that qualify as a "Substantial Improvement" which comprise additions of less than 250 square feet of conditioned space.
2. The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street.
3. New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building.
4. The city may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the Public Works Director. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy.

C. Drainage:

1. All storm water shall be retained on site.
2. Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street.
3. The Public Works Director may require additional drainage improvements as necessary, depending on the unique characteristics of a site.

4. Drainage facilities shall be constructed per city standards and designed by a licensed civil engineer.

D. Utilities:

1. All utilities necessary for the development shall be improved and installed at the sole expense of the applicant.
2. Utilities shall be located underground and utility, power and communication lines within the development site shall be concealed from public view.
3. When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and approved by the Public Works Director.

E. Compatibility of Design:

1. The project's materials, colors and signing shall be complementary to the townscape, surrounding neighborhoods and adjoining structures.
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
2. The building character shall be clearly defined by use of architectural features.
3. There shall be continuity of materials, colors and signing within the project.
4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
6. Building(s) shall orient towards their primary street frontage.
7. Sufficient garbage and recycling areas shall be provided onsite.
8. Garbage and recycling storage areas, satellite receivers and mechanical equipment shall be screened from public view and located off alleys.
9. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

G. Circulation Design:

1. Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways.
2. Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way.

3. Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage.
4. Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the Public Works Director may increase the minimum distance requirements.
5. Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project.

H. Snow Storage:

1. Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas.
2. Snow storage areas shall be provided on-site.
3. A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet.
4. In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed.

I. Landscaping:

1. Landscaping is required for all projects.
2. Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape.
3. All plant species shall be drought tolerant. Native species are recommended but not required.
4. Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged.

J. Public Amenities:

1. Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission.

17.96.070: COMMUNITY CORE (CC) PROJECTS

In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district.

A. Streets:

1. A minimum of one (1) street tree shall be required for every forty (40') feet of street frontage, including both street frontages on corner lots, the location of which shall be determined by the Public Works Director.
2. Street trees, street lights, street furnishings and all other street improvements are required to be in conformance with the right-of-way standards and approved by the Public Works Director.

B. Architectural:

1. Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials and colors as the front façade.
2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.
3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.
4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.
5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters and downspouts.
6. Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Director.
7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.

C. Service Areas and Mechanical/Electrical Equipment:

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views.
2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.

D. Landscaping:

1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.
2. Trees that are placed within a courtyard, plaza or pedestrian walkway shall be placed within tree wells that are covered by tree grates.
3. The city arborist shall approve all parking lot and replacement trees.

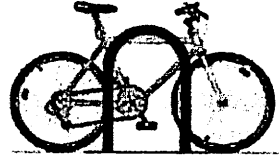
E. Surface Parking Lots:

1. Surface parking lots shall be accessed from off the alley and shall be fully screened from the street.
2. Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public.
3. Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways.

F. Bicycle Parking:

1. One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development.
2. When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number.
3. Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles.

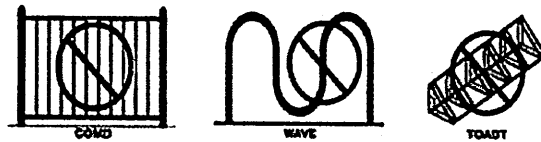
Supports frame in two places:



Appropriate designs:



Inappropriate designs:



17.96.080: NOTICE:

All property owners adjacent to properties under application for design review shall be notified by mail ten (10) days prior to the meeting of the date at which said design review is to be considered by the Commission.

17.96.090: TERMS OF APPROVAL:

A. Design Review Approval

1. The term of design review approval shall be twelve (12) months from the date that findings of fact, conclusions of law and decision are adopted by the Commission or upon appeal, the date the approval is granted by the Council subject to changes in zoning regulations.
2. Application must be made for a building permit with the Ketchum planning and building department during the twelve (12) month term. Once a building permit has been issued, the design review approval shall be valid for the duration of the building permit.
3. Unless an extension is granted as set forth below, failure to file a complete building permit application for a project in accordance with these provisions shall cause said approval to be null and void.

B. Extensions of Design Review Approval.

1. For design review approvals pertaining to "civic" buildings, the Administrator may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval.

2. For design review approvals pertaining to all other buildings, the city may, upon written request by the holder, grant a maximum of two (2) twelve (12) month extensions to an unexpired design review approval. The first twelve (12) month extension shall be reviewed by the Administrator. The second twelve (12) month extension shall be reviewed by the Commission. Whether or not an extension is warranted shall be based on the following considerations:
 - a. Whether there have been significant amendments to ordinances which will apply to the subject design review approval;
 - b. Whether significant land use changes have occurred in the project vicinity which would adversely impact the project or be adversely impacted by the project;
 - c. Whether hazardous situations have developed or have been discovered in the project area; or
 - d. Whether community facilities and services required for the project are now inadequate.
3. If any of the foregoing considerations are found to exist with regard to the project for which an extension is sought, an extension will not be granted and the city shall issue this decision in writing; otherwise the city shall approve such an extension. No extensions shall be granted for an expired design review approval.

17.96.100: FEES AND COSTS:

Each applicant for design review approval shall pay to the city certain fees and costs to reimburse the city the reasonable costs of administering and regulating this chapter, including reimbursement for city engineer fees. Said fees and refunds, if any, shall be set by resolution of the Council and shall be paid prior to scheduling of an application before the Commission for design review consideration. Said fees shall be nonrefundable.

DESIGN REVIEW APPLICATION CERTIFICATION OF COMPLETENESS

| | |
|---------------|--------------|
| Project Name: | Reviewed by: |
| Date: | Time: |

REQUIRED DOCUMENTS (CHECK ALL THAT APPLY):

- Design review application form including project name, location, applicant, owner, project representatives and contact information.

- One (1) PDF electronic set of the complete application containing all requirements as listed below, plans appropriately scaled, shall be submitted. Electronic record of the materials and color sample board may be satisfied with photos. One (1) hardcopy set of scalable plans showing at a minimum the following:
 - Vicinity map, to scale, showing the project location in relationship to neighboring buildings and the surrounding area. Note: a vicinity map must show location of adjacent buildings and structures.

 - Drainage plan (grading, catch basins, piping, and dry-wells).

 - Utilities plan (location and size of water and sewer mains and services, gas, electric, TV and phone).

 - Site plan, to scale, showing proposed parking (including parking stall dimensions), loading, general circulation and snow storage. List square footage of subject property including lot dimensions.

 - Landscape plan (existing landscaping on the site shown and adjacent right-of-way as retained, relocated or removed; proposed landscaping including species type, size and quantity).

 - Floor plan. List gross and net square footage for each floor. List occupancy classification and type of construction.

 - Detailed elevations of all sides of the proposed building and other exterior elements (colors, materials).

 - Exterior lighting plan, pursuant to chapter 17.132, showing location, height, type and lumen output; spec sheets for fixtures; illuminance levels/photometrics for area lighting.

 - One (1) 11" x 17" materials and colors sample board showing all exterior materials used on the façade of the structure. A digital copy may be sufficient as approved by the Administrator.

 - Construction management plan showing where staging will occur, where materials are stored and parking plan for contractors. If any staging or parking shall occur off-site, a staging/parking plan must be submitted including materials storage, excavation (backfill) stockpile areas, job trailers, blue rooms, dumpsters and contractor parking.

Building corners for all proposed buildings and additions shall be staked on the site and all trees proposed to be removed shall be flagged at least one week prior to the Commission meeting. The applicant shall install story poles, or other approved method, at the maximum roof peaks of the proposed buildings as required by the Administrator.

For projects requiring pre-application design review, a model or computer simulation renderings, as described in subsection 17.96.010(C) of this chapter shall be required.

- For new multi-tenant buildings, a master signage plan shall be submitted.
- The Administrator may waive some submittal requirements if it is determined the information is not relevant to the design review.
- Other information as required by the Administrator or the Commission.
- Design review fee shall be submitted as described in section 17.96.100 of this chapter.

STAFF COMMENTS:

| |
|--|
| |
| |
| |
| |
| |
| |
| |
| |

IMPROVEMENTS AND STANDARDS FOR ALL PROJECTS: 17.96.060

| City Code | City Standards and <i>Applicant Comments</i> |
|----------------------------|---|
| 17.96.060(A)(1) Streets | The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development. |
| <i>Comments</i> | <i>Applicant will provide and be responsible for all costs of connections from the existing city street to the development. Applicant may request a portion of funds from KURA.</i> |
| 17.96.060(A)(2) Streets | All street designs shall be approved by the city engineer. |
| <i>Comments</i> | <i>Proposed street design has been prepared by Galena Engineering. The applicant will work and coordinate with the city engineer to ensure compliance with standards at the time of final design review approval.</i> |
| 17.96.060(B)(1) | All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the public works department. |
| | <i>The applicant shall provide new sidewalks and repair/replace existing sidewalks at East Avenue, and 5th Street, as required by the Public Works Department.</i> |
| 17.96.060 (B)(2) | Sidewalk width shall conform to the city's right of way standards, however the city engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. |
| <i>Comments</i> | <i>The sidewalk improvement has been designed by Galena Engineering after consulting with city staff. 8-foot-wide sidewalks will extend the length of the property on all public street frontages.</i> |
| 17.96.060 (B)(3) | Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than two hundred fifty (250) square feet of conditioned space. b. The city engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. |
| <i>Comments</i> | <i>N/A. The applicant is not considering any options to waive requirements for sidewalk construction.</i> |
| 17.96.060 (B)(4) | The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. |
| <i>Comments</i> | <i>The sidewalk improvements have been designed by Galena Engineering after consulting with city staff. 8-foot-wide sidewalks will extend equal to the length of the subject property lines adjacent to all public street frontages.</i> |
| 17.96.060 (B)(5) | New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. |
| <i>Comments</i> | <i>The sidewalk improvement has been designed by Galena Engineering to provide safe pedestrian access to and from the building from all street frontages. Connections to existing sidewalks to the southeast of the subject property are provided in the design.</i> |
| 17.96.060 (B)(6) | The city may approve and accept voluntary cash contributions in-lieu of the above-described improvements, which contributions must be segregated by the city and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage |

| | |
|-----------------|---|
| | improvements provided by a qualified contractor, plus associated engineering costs, as approved by the city engineer. Any approved in-lieu contribution shall be paid before the city issues a certificate of occupancy. |
| <i>Comments</i> | <i>N/A. The applicant will not pursue an in-lieu contribution to avoid sidewalk improvements. Applicant may request a portion of funds from KURA.</i> |
| 17.96.060(C)(1) | All storm water shall be retained on site. |
| <i>Comments</i> | <i>On-site storm water shall be directed to internal roof drains, drain leaders, and trench drain grates and retained on site through an underground infiltration system designed by Galena Engineers.</i> |
| 17.96.060(C)(2) | Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. |
| <i>Comments</i> | <i>Applicant will provide drainage improvements equal to the length of the subject property lines adjacent to public streets. This includes sidewalk along East Avenue and 5th Street. Applicant may request a portion of funds from KURA.</i> |
| 17.96.060(C)(3) | The city engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site. |
| <i>Comments</i> | <i>Final design of drainage improvements by Galena Engineers will be coordinated at the time of final design review approval including for any improvements deemed necessary by the city engineer.</i> |
| 17.96.060(C)(4) | Drainage facilities shall be constructed per city standards. |
| <i>Comments</i> | <i>Final design of drainage facilities by Galena Engineering will be coordinated at the time of final design review approval to meet and be constructed per city standards.</i> |
| 17.96.060(D)(1) | All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. |
| <i>Comments</i> | <i>Applicant will provide all utilities improvements necessary for the development. Applicant may request a portion of funds from KURA.</i> |
| 17.96.060(D)(2) | Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view. |
| <i>Comments</i> | <i>Applicant will work with utility companies to meet city standards.</i> |
| 17.96.060(D)(3) | When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the city engineer. |
| <i>Comments</i> | <i>N/A. Project needs are met without the need to extend existing utilities.</i> |
| 17.96.060(E)(1) | The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures. |
| <i>Comments</i> | <i>The applicant is proposing to utilize materials, colors, and signing that we believe to be complementary with the townscape, surrounding neighborhoods, and adjoining structures. A digital exterior materials board is included in the design review submission materials.</i> |
| 17.96.060(E)(2) | Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. |
| <i>Comments</i> | <i>N/A</i> |
| 17.96.060(E)(3) | Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to. |

| | |
|-----------------|---|
| <i>Comments</i> | <i>N/A</i> |
| 17.96.060(F)(1) | Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined. |
| <i>Comments</i> | <i>The building's ground floor street frontage is made up of retail space, office space, and the lobby entrances to the apartments above. Direct, unobstructed pedestrian access to sidewalks is provided at each storefront, office, and residential entry point. The residential entry points are clearly defined by setback alcoves clad in a contrasting accent material.</i> |
| 17.96.060(F)(2) | The building character shall be clearly defined by use of architectural features. |
| <i>Comments</i> | <i>The building's material palette seeks to blend historic rustic charm with contemporary durable maintenance-free materials. The brick veneer located on the ground floor anchors the building and provides an historical context, while the wood and fiber cement cladding on the upper floors provides warmth and helps modernize the building while complementing the heavy texture brick elements. The brick along portions of the East Avenue and 5th Street façades extends to the roof, paying homage to the multi-story brick buildings found throughout downtown Ketchum. Steel and brick clad stair towers and various accents provide color blocking to help lessen the perceived scale and direct pedestrians to the various access points.</i> |
| 17.96.060(F)(3) | There shall be continuity of materials, colors and signing within the project. |
| <i>Comments</i> | <i>See above. Also, the materials and color palette provide continuity in appearance with accents to add visual interest.</i> |
| 17.96.060(F)(4) | Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building. |
| <i>Comments</i> | <i>The building does not have accessory structures, fences, or walls. Landscaping is integral to the architecture with several rooftop landscaping areas visible from the public way below.</i> |
| 17.96.060(F)(5) | Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. |
| <i>Comments</i> | <i>Building planes undulate in and out both horizontally and vertically along the facades of each story. Applied canopies and cantilevered deck structures provide further undulation and textural variation.</i> |
| 17.96.060(F)(6) | Building(s) shall orient towards their primary street frontage. |
| <i>Comments</i> | <i>The majority of retail frontage faces East Avenue as the main existing pedestrian corridor extends northwest from the Ketchum Town Square. Residential entries are located off of the less bustling 5th Street.</i> |
| 17.96.060(F)(7) | Garbage storage areas and satellite receivers shall be screened from public view and located off alleys. |
| <i>Comments</i> | <i>Garbage will be collected in an enclosed trash room accessed from inside the parking garage. Collection will occur through a roll-up door in the "alley" that is Alpine Lane. Individual satellite receivers will not be allowed.</i> |
| 17.96.060(F)(8) | Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. |
| <i>Comments</i> | <i>All proposed roof elements are flat roofs which will be drained internally. Pedestrians will be sheltered at exterior doorways by building projections or steel canopies above.</i> |

| | |
|-----------------|---|
| 17.96.060(G)(1) | Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways. |
| <i>Comments</i> | <i>Direct access to sidewalks is provided at each storefront, office, and residential entry point. Generous bicycle parking is provided in secured fenced areas within the parking garage under both buildings. Direct access to the garages is from Alpine Lane.</i> |
| 17.96.060(G)(2) | Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way. |
| <i>Comments</i> | <i>The entry canopy along East Avenue extends 5 feet over the sidewalk, stopping 3 feet short of the parking in the right of way.</i> |
| 17.96.060(G)(3) | Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage. |
| <i>Comments</i> | <i>Traffic flow to and from the site will be through alley access or internal sidewalks connecting the parking garage to public sidewalks.</i> |
| 17.96.060(G)(4) | Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the Public Works Director may increase the minimum distance requirements. |
| <i>Comments</i> | <i>N/A. No new curb cuts or driveways are being proposed.</i> |
| 17.96.060(G)(5) | Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. |
| <i>Comments</i> | <i>The applicant has coordinated requirements with Clear Creek Disposal so that the location of the trash room will not place the trash truck onto 5th Street or the sidewalk during pick-up. Emergency vehicles, snowplows, and service vehicles will have to access the site from the right-of-way and Alpine Lane.</i> |
| 17.96.060(H)(1) | Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas. |
| <i>Comments</i> | <i>The applicant does not propose snow storage on site. Concrete sidewalks will be snow melted with hydronic heat tubing. Parking is in covered garage and unimpacted by snow. No other hardscape areas are on site that require snow removal/storage.</i> |
| 17.96.060(H)(2) | Snow storage areas shall be provided on-site. |
| <i>Comments</i> | <i>See above.</i> |
| 17.96.060(H)(3) | A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet. |
| <i>Comments</i> | <i>See above.</i> |
| 17.96.060(H)(4) | In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. |
| <i>Comments</i> | <i>See above. In lieu of snow storage, the site is providing for snow melt via hydronic heat tubing in concrete sidewalks.</i> |
| 17.96.060(I)(1) | Landscaping is required for all projects. |
| <i>Comments</i> | <i>Street trees are proposed along the East Avenue and 5th Street frontages. Tree species will be coordinated with and approved by the City Arborist. Tree grates will be coordinated with the City Engineer. Additionally, the raised decks and</i> |

| | |
|---|--|
| | <i>roofs will have regional plantings adaptable to the site's microclimate as recommended by the landscape architect.</i> |
| 17.96.060(I)(2) | Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and aspect, and shall serve to enhance and complement the neighborhood and townscape. |
| <i>Comments</i> | <i>See above.</i> |
| 17.96.060(I)(3) | All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required. |
| <i>Comments</i> | <i>See above.</i> |
| 17.96.060(I)(4) | Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. |
| <i>Comments</i> | <i>See above.</i> |
| 17.96.060(J)(1) | Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall be approved by the Public Works Director prior to design review approval from the Commission. |
| <i>Comments</i> | <i>Bicycle racks will be installed along the street frontages in accordance with design review regulations and at the direction of the Public Works Director.</i> |
| 17.96.060(K)(1) | Encroachments of below grade structures into required setbacks are subject to subsection 17.128.020(K) of this title and shall not conflict with any applicable easements, existing underground structures, sensitive ecological areas, soil stability, drainage, other sections of this Code or other regulating codes such as adopted International Code Council Codes, or other site features concerning health, safety, and welfare. |
| <i>Comments</i> | <i>N/A. Below grade encroachments are not being proposed.</i> |
| 17.96.060(K)(2) | No below grade structure shall be permitted to encroach into the riparian setback. (Ord. 1186, 2018; Ord. 1148, 2016) |
| <i>Comments</i> | <i>N/A. Below grade encroachments are not being proposed.</i> |
| IMPROVEMENTS AND STANDARDS: COMMUNITY CORE (CC) PROJECTS | |
| In addition to the requirements of section 17.96.060, unless otherwise specified, the below standards apply to projects in the Community Core district. | |
| 17.96.070 A(1) | Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department. |
| <i>Comments</i> | <i>Landscape Architect and General contractor will coordinate with the Public Works Department during construction to ensure the approved design will be installed and constructed as determined by the Public Works Director.</i> |
| 17.96.070 A(2) | Street trees with a minimum caliper size of three inches (3"), shall be placed in tree grates. |
| <i>Comments</i> | <i>The landscape architect will specify, and the landscape contractor will install, street trees according to City requirements and coordinate City Arborist approval.</i> |
| 17.96.070 A(3) | Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department. |

| | |
|-----------------|---|
| <i>Comments</i> | <i>Landscape Architect and General contractor will coordinate with the Public Works Department during construction to ensure the approved design will be installed and constructed as determined by the Public Works Director.</i> |
| 17.96.070 B(1) | Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade. |
| <i>Comments</i> | <i>The facades facing 5th Street and East Avenue are designed with ground floor glazing to break up solid walls and invite window shopping. All facades on the upper floors have a combination of solid walls and windows for the residential apartments. Building undulation and change in materials avoid the creation of blank walls.</i> |
| 17.96.070 B(2) | For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways. |
| <i>Comments</i> | <i>Storefront windows and doors will be incorporated into the lower-level showroom areas along both street frontages. Pockets of landscaping will be provided at the back edge of sidewalk.</i> |
| 17.96.070 B(3) | For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows. |
| <i>Comments</i> | <i>The proposed design provides floor to ceiling glass doors and glazing interspersed with brick at the facades along 5th Street and East Avenue.</i> |
| 17.96.070 B(4) | Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited. |
| <i>Comments</i> | <i>All proposed roof elements are flat roofs which will be drained internally. A rooftop deck accessed from the 4th floor is provided as an amenity to the residents. No reflective materials will be used in the roofing.</i> |
| 17.96.070 B(5) | All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts. |
| <i>Comments</i> | <i>All proposed roof elements are flat roofs which will be drained internally.</i> |
| 17.96.070 B(6) | Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department. |
| <i>Comments</i> | <i>All proposed roof elements are flat roofs which will be drained internally.</i> |
| 17.96.070 B(7) | Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials. |
| <i>Comments</i> | <i>The front entry walkways are simply hardscape to connect to the sidewalk. No enclosures or surrounds are proposed or contemplated.</i> |
| 17.96.070 C(1) | Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views. |
| <i>Comments</i> | <i>Garbage will be collected in an enclosed trash room accessed from inside the parking garage. Collection will occur through a roll-up door in the rear of the building via the "alley" that is Alpine Lane. Shipping and receiving for the retail spaces will occur through the garage, with truck loading zone located in the alley.</i> |

| | |
|----------------|---|
| 17.96.070 C(2) | Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design. |
| Comments | <i>Ground mounted mechanical equipment is located within dedicated mechanical rooms located at the intersection of 5th Street and Alpine Lane. Rooftop solar equipment will be screened from view.</i> |
| 17.96.070 D(1) | When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site. |
| Comments | <i>The applicant and landscape architect will work with the city arborist to determine if any of the existing trees removed as part of the construction of this project will be replaced, and if so, where they will be located.</i> |
| 17.96.070 D(2) | Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates. |
| Comments | <i>Trees located within the City right-of-way pedestrian walkways on East Avenue, 5th Street, and Walnut Avenue will be placed in tree wells and covered by tree grates as approved by the City Engineer.</i> |
| 17.96.070 D(3) | The city arborist shall approve all parking lot and replacement trees. |
| Comments | <i>The applicant and landscape architect will work the city arborist on the selection of replacement trees should they be required.</i> |
| 17.96.070 E(1) | Surface parking lots shall be accessed from off the alley and shall be fully screened from the street. |
| Comments | <i>N/A. The surface parking lots are fully screened from East Avenue and 5th Street. Although there is no required parking for this project, the building includes 49 vehicle parking stalls for residents in the garage.</i> |
| 17.96.070 E(2) | Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public. |
| Comments | <i>N/A. See above.</i> |
| 17.96.070 E(3) | Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways. |
| Comments | <i>Trees located within the City right-of-way pedestrian walkways on East Avenue, 5th Street, and Walnut Avenue will be placed in tree wells and covered by tree grates as approved by the City Engineer.</i> |
| 17.96.070 F(1) | One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the proposed use. At a minimum, one (1) bicycle rack shall be required per development. |
| Comments | <i>There is no required parking for this project; however, 49 parking stalls are provided for the residents. Two (2) large bicycle parking enclosures are provided within the garage, one in each building providing storage for a total of 110 bikes and 6 e-cargo bicycles.</i> |
| 17.96.070 F(2) | When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number. |
| Comments | <i>N/A. See above.</i> |

| | |
|-----------------------|---|
| 17.96.070 F(3) | Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles. |
| Comments | <i>In addition to the secure bicycle parking enclosures within the garages, bicycle racks will be provided as public amenities.</i> |

ATTACHMENT E CODE COMPLIANCE ANALYSIS

Zoning and Dimensional Standards Analysis

| Compliant | | | Standards and Staff Comments | |
|-------------------------------------|--------------------------|--------------------------|--------------------------------|--|
| Yes | No | N/A | Ketchum Municipal Code Section | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.040 | Minimum Lot Area |
| | | | Staff Comments | <p>Required: 5,500 square feet minimum</p> <p>Site Dimensions & Areas Lot 3A: 16,814 square feet West 75 feet of Lots 7 & 8: 8,258 square feet Block 45 Alley: 1,092 square feet Total Site Area: 26,164 square feet</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.124.040 | Floor Area Ratios and Community Housing |
| | | | Staff Comments | <p>Permitted Gross FAR in Community Core Subdistrict 1(CC-1): 1.0 Gross FAR with for deed-restricted Community Housing may exceed 2.25 subject to design review approval.</p> <p>KMC §17.124.040.B3: In the CC Zone, the maximum floor area incentive applies to buildings up to 3 stories in height. Buildings above 3 stories may exceed the 2.25 FAR maximum only in accordance with the pertinent code provisions allowing for a fourth floor (for example, hotels, PUDs and 100 percent community housing project, etc).</p> <p>Proposed The gross floor area calculations are indicated on Sheet PDR A6.00 of the project plans. Total Gross Floor Area: 60,038 gross square feet Site Area: 26,164 square feet FAR Proposed: 2.29 (60,038 gross sq ft/26,164 sq ft site area)</p> <p>Increase Above Permitted 1.0 FAR: 33,874 square feet 20% of Increase: 6,775 square feet Net Livable (15% Reduction): 5,759 square feet</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.040 | Minimum Building Setbacks |
| | | | Staff Comments | <p>Required Front & Street Side: 0' Rear Side Adjacent to an Alleyway: 3' Interior Side: 0' Cantilevered decks and overhangs: 0' Setbacks for 4th floor: 10' Non-habitable Structures/Fixed Amenities/Solar and Mechanical Equipment Affixed to the Roof from all Building Facades: 10'</p> <p>Proposed The applicant has indicated the proposed setbacks on the Architectural Site Plan (Sheet PDR A1.00) of the Pre-Application Design Review submittal.</p> |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-----------------------|---|
| | | | | <p><i>Building A</i> Front (East Avenue/west): 0' Rear Adjacent to Alley: 4'-4'' further clarification necessary Interior Side (south): 0' Street Side (north): 0'</p> <p><i>Building B</i> Front (5th Street/north): 0' Alley Side (west): 4'-3'' further clarification necessary Rear (interior/south): 0' Interior Side (west): 0'</p> <p><i>Roof Setbacks</i> Elevator Overrun: 19' minimum to 97'-6'' feet maximum Air System: 33'-8'' minimum to 59'-2'' maximum Solar Panels: The roof-mounted solar panels must be setback a minimum of 10 feet from all building facades.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.12.040 | Maximum Building Heights |
| | | | Staff Comments | <p>Permitted 100% Community Housing Building Height: 52 feet</p> <p>Footnote 1: For the purposes of this section, a project in the Retail Core (CC-1) that provides 100% community housing above the first floor and complies with the ground floor street frontage uses of the Retail Core, shall be considered a 100% community housing project.</p> <p>Footnote 2: All buildings greater than 48 feet in height or that contain a 4th or 5th floor shall require final approval from the City Council.</p> <p>Non-Habitable Structures Located on Building Rooftops: 10 feet</p> <p><i>KMC §17.08.020: HEIGHT OF BUILDING/CC DISTRICT: The greatest vertical distance of a building in the Community Core District measured by determining the average elevation of the front property line and rear property line. Draw a line from the average front or rear elevation up to the maximum building height allowed, and then draw a line at that height parallel to the front or rear property line. The resulting line establishes the highest elevation of the front or rear facade. The front or rear facade shall not extend above this line. Side facades may be stepped up or down to transition from the highest elevation of the front facade height to the highest elevation of the rear facade. One or multiple steps along the side facades are allowed, except no step shall occur within 40 feet of the front elevation or within 35 feet of the rear facade.</i></p> |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-----------------------|---|
| | | | | <p><u>Average Elevations at Property Lines</u></p> <p><i>Building A</i> Average Elevation at Front Property Line (East Avenue): 5855' Average Elevation at Rear Property Line (Alley): 5858'</p> <p><i>Building B</i> Average Elevation at Front Property Line (5th Street): 5860' Average Elevation at Rear Property Line (south/interior): 5860'</p> <p>Proposed</p> <p><i>Building A</i> Proposed Building Height at Front Elevation: 50'-9" Proposed Building Height at Rear Elevation (Alley): 47'-9"</p> <p><i>Building B</i> Proposed Building Height at Front Elevation (5th Street): 48' Proposed Building Height at Rear Elevation (south/interior): 48'-1"</p> <p>Height at Elevator Overrun: 50'-3"</p> <p>The Bluebird Village project exceeds 48 feet in height and will require final review and approval from the City Council.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.125.030 | Off-Street Parking Access Standards |
| | | | Staff Comments | <p>Required KMC §17.125.030.H Street Frontage: A total of 35% of the linear footage of any street frontage can be devoted to access to off street parking. Corner lots that front two or more streets may select either or both streets as access but shall not devote more than 35% of the total linear footage of street frontage to access off street parking.</p> <p>KMC §17.125.030.I Alley Access:</p> <ol style="list-style-type: none"> 1. Off-street parking spaces may be located directly off the alley if the width of the alley can adequately accommodate ingress and egress to the parking spaces. 2. No parking space shall project into an alley, sidewalk, or street. 3. All alleys used as access to loading areas and/or to an off-street parking space or spaces shall be surfaced with asphalt or cement concrete. <p>Proposed The parking spaces are accessed from the Block 45 alleyway. No curb cuts or driveway accesses along East Avenue or 5th Street are proposed with this project. The proposed width of the Block 45 alleyway is 20 feet. The Block 45 alleyway will be surfaced with asphalt.</p> |
| | | | | |

| | | | | |
|---|---|---|---|---|
| ☒ | ☐ | ☐ | <p>17.125.040</p> <p>Staff Comments</p> | <p>Parking Spaces</p> <p>Required Multi-Family Dwelling Units in CC Zone Units 750 square feet or less: 0 parking spaces Units 751 square feet to 2,000 square feet: 1 parking space Units 2,001 square feet and above: 2 parking spaces</p> <p>KMC §17.125.040.A.3 Area Measurements: Unless otherwise specifically noted, residential parking requirements for all square footage based parking and loading standards shall be computed on the interior square footage of each residential unit, as measured between the interior walls of the unit.</p> <p>KMC §17.125.040.C Exemptions in CC Zone:</p> <ul style="list-style-type: none"> • Community Housing • The first 5,500 gross square feet of retail trade <p>Project Parking Demand 56 Total Community Housing Units: Exempt Retail (2,500 square feet): Exempt</p> <p>Proposed 49 total parking spaces are provided on the project site. 18 of the parking spaces are arranged in a tandem configuration. 7 of the parking spaces are compact. 2 of the compact spaces will be designated for car share.</p> |
|---|---|---|---|---|

Design Review Standards Evaluation

| Design Review Improvements and Standards (KMC §17.96.060) | | | | |
|---|--------------------------|--------------------------|---------------------------|---|
| Yes | No | N/A | City Code | City Standards and Staff Comments |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.A1 Streets | <p>The applicant shall be responsible for all costs associated with providing a connection from an existing city street to their development.</p> |
| | | | Staff Comments | <p>The project site has street frontage along East Avenue and 5th Street. The off-street parking will be accessed from the Block 45 alley.</p> <p>Pursuant to KMC §17.96.060.G3, vehicle, bicycle, and pedestrian traffic shall flow safely within the project and onto adjacent streets. Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the project’s circulation design.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.A2 Streets | <p>All street designs shall be approved by the City Engineer.</p> |
| | | | Staff Comments | <p>No changes to the lanes of travel or the street design are proposed with this project.</p> <p>The project’s circulation design is indicated on Sheet PDR C1.02 of the project plans.</p> <p>Prior to issuance of a building permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the project’s circulation design. The circulation design shall be indicated on civil drawings stamped by an Idaho-licensed engineer (KMC §12.04.020.C.3) included with the project plans submitted with the building permit application for final review and approval by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.B1 Sidewalks | <p>All projects under 17.96.010(A) that qualify as a “Substantial Improvement” shall install sidewalks as required by the Public Works Department.</p> |
| | | | Staff Comments | <p>The project qualifies as a substantial improvement project. The project’s sidewalk design is indicated on Sheet PDR C1.02 of the project plans. 8-foot wide sidewalks are provided along East Avenue and 5th Street. As part of the public improvements, a bulb out will be required at the SE corner of East Avenue and 5th Street.</p> <p>Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified,</p> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-------------------------------|--|
| | | | | reviewed, and approved by the City Engineer and Streets Department prior to issuance of a Building Permit for the project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.B2 Sidewalks | Sidewalk width shall conform to the City’s right-of-way standards, however the City Engineer may reduce or increase the sidewalk width and design standard requirements at their discretion. |
| | | | Staff Comments | The applicant will improve the sidewalks to City ROW standards along both East Avenue and 5 th Street. Sheet PDR C1.02 indicates 8-foot wide concrete sidewalks, which is the required width for 100-foot-wide (East Avenue) and 60-foot-wide (5 th Street) rights-of-way. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B3 Sidewalks | Sidewalks may be waived if one of the following criteria is met: <ul style="list-style-type: none"> a. The project comprises an addition of less than 250 square feet of conditioned space. b. The City Engineer finds that sidewalks are not necessary because of existing geographic limitations, pedestrian traffic on the street does not warrant a sidewalk, or if a sidewalk would not be beneficial to the general welfare and safety of the public. |
| | | | Staff Comments | N/A. The project qualifies as a substantial improvement and sidewalks are required to be provided. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.B4 Sidewalks | The length of sidewalk improvements constructed shall be equal to the length of the subject property line(s) adjacent to any public street or private street. |
| | | | Staff Comments | The proposed sidewalk improvements are equal to the length of property’s frontage along East Avenue and 5 th Street. Final civil drawings for all associated ROW improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.B5 Sidewalks | New sidewalks shall be planned to provide pedestrian connections to any existing or future sidewalks adjacent to the site. In addition, sidewalks shall be constructed to provide safe pedestrian access to and around a building. |
| | | | Staff Comments | The proposed sidewalk design connects with existing sidewalks. The project’s circulation design indicated on Sheet PDR C1.02 includes crosswalks to connect to the sidewalks along East Avenue and 5 th Street. The sidewalk along 5 th Street is designed to connect to future sidewalks to the east along 5 th Street. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.B6 Sidewalks | The City may approve and accept voluntary cash contributions in-lieu of the above described improvements, which contributions must be |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------------|--|
| | | | | <p>segregated by the City and not used for any purpose other than the provision of these improvements. The contribution amount shall be one hundred ten percent (110%) of the estimated costs of concrete sidewalk and drainage improvements provided by a qualified contractor, plus associated engineering costs, as approved by the City Engineer. Any approved in-lieu contribution shall be paid before the City issues a certificate of occupancy.</p> |
| | | | Staff Comments | N/A. Staff does not recommend a voluntary cash contribution in-lieu of improvements for this project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C1 Drainage | All storm water shall be retained on site. |
| | | | Staff Comments | <p>All storm water is proposed to be retained on site, including storm water from roof drains. Sheet PDR C1.02 indicates the proposed drainage improvements.</p> <p>Roof drain locations and specifications must be indicated the project plans submitted with the Building Permit application for review and approval by the City Engineer.</p> <p>Prior to issuance of a Building Permit for the project, the applicant shall submit a final drainage plan indicating grading, catch basins, piping, and drywells (KMC §17.96.040.C.2b & KMC §17.96.060.C.1-4) prepared by a civil engineer licensed in the state for review and approval by the City Engineer and Streets Department.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C2 Drainage | Drainage improvements constructed shall be equal to the length of the subject property lines adjacent to any public street or private street. |
| | | | Staff Comments | <p>Drainage improvements shall be equal to the length of the property lines along East Avenue and 5th Street. See above analysis for Ketchum Municipal Code §17.96.060.C1. All drainage improvements are required to be constructed City standards.</p> <p>Final civil drawings for all drainage improvements shall be submitted with the Building Permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C3 Drainage | The City Engineer may require additional drainage improvements as necessary, depending on the unique characteristics of a site. |
| | | | Staff Comments | The City Engineer will determine if the drainage improvements are sufficient after reviewing the final civil drawings submitted with the Building Permit application. The City Engineer may require additional drainage improvements if necessary. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.C.4 Drainage | Drainage facilities shall be constructed per City standards. |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-------------------------------|--|
| | | | Staff Comments | All drainage facilities within the project site and the public right-of-way shall meet City standards. Final drainage specifications must be included with the civil drawings submitted with the Building Permit application to be reviewed and approved by the City Engineer & Streets Department. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.D1 Utilities | All utilities necessary for the development shall be improved and installed at the sole expense of the applicant. |
| | | | Staff Comments | All utilities necessary for the project shall be improved and installed at the sole expense of the applicant. Prior to issuance of a Building Permit, the applicant must secure a will-serve letter from Idaho Power. Requirements and specifications for the water and sewer connections will be verified, reviewed, and approved by the Utilities and Wastewater departments prior to issuance of a building permit for the project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.D2 Utilities | Utilities shall be located underground and utility, power, and communication lines within the development site shall be concealed from public view. |
| | | | Staff Comments | All utilities, including transformers, within the development site shall be underground and concealed from public view. As indicated on Sheets C1.01. and C1.02, power boxes are located at the southwest corner of Lots 7 and 8 within an Idaho Power Easement (Instrument No. 613194). The applicant must indicate the required screening for the project's electrical infrastructure on the project plans. Screening must comply with Ketchum Municipal Code standards and Idaho Power Company's clearance requirements. The applicant shall submit written confirmation of Idaho Power's approval of the proposed location and screening of all electrical infrastructure prior to issuance of a building permit for the project. All roof and ground mounted mechanical, electrical, and plumbing equipment must be screened from public view. The project plans indicate screening for the roof-mounted air system equipment. The solar panels will be screened by the roof parapets. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.D3 Utilities | When extension of utilities is necessary all developers will be required to pay for and install two (2") inch SDR11 fiber optical conduit. The placement and construction of the fiber optical conduit shall be done in accordance with city of Ketchum standards and at the discretion of the City Engineer. |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|---|---|
| | | | Staff Comments | The subject property is served by high-speed internet. If an extension is needed, then the applicant will work with the City Engineer to identify the location of a fiber line to serve the project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.E1 Compatibility of Design | The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures. |
| | | | Staff Comments | The project's exterior materials and colors are included on Sheet PDR A9.00 of the project plans. The project's master signage plan is indicated on Sheet PDR A6.01 of the project plans. The proposed exterior materials and finishes include brick veneer, fiber cement panels, wood board rainscreen panels, blue architectural panels, metal panels, corrugated vertical siding, exposes concrete, and metal flashing painted black. The exterior elevations submitted with the project plans show the proposed materials, colors, and signing. The modern building alludes to more traditional design through natural materials, like the brick. The design approach refashions traditional materials combined with contemporary finishes to enhance visual interest. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.E2 Compatibility of Design | Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community. |
| | | | Staff Comments | N/A. No significant landmarks of historical or cultural importance have been identified on the property. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.E3 Compatibility of Design | Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to. |
| | | | Staff Comments | N/A This standard does not apply because the existing City Hall building will be demolished. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F1 Architectural | Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined. |
| | | | Staff Comments | Entrances to Building B's retail unit and residential lobby are provided along 5 th Street. Entrances to Building's A residential lobby is provided along 5 th Street. An additional entrance to Building A's interior circulation to access the residential units is provided at the southwest corner of the property along East Avenue. Building A includes two retail units—one accessed from an entrance along 5 th Street and one accessed from two entrances along East Avenue. All building entrances are recessed from the street frontage and defined by floor |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|---|--|
| | | | | <p>to ceiling glass doors and windows. The entrances to the retail units are further defined by metal canopy overhangs with signage.</p> <p>The building entrances provided unobstructed pedestrian access to the sidewalks along 5th Street and East Avenue.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.96.060.F2 Architectural</p> <p>The building character shall be clearly defined by use of architectural features.</p> <p>Staff Comments</p> <p>The Bluebird Village project building characterized by modern design elements with simple building forms with traditional materials. The two buildings are broken up into distinct one-, two-, and three- story building masses that area distinguished by exterior material variation, fenestration, and wall setbacks.</p> <p>The ground-floor street frontage is defined through brick façade broken up by large storefront windows and glass doors. The East Avenue façade is broken up into two brick, three-story masses. These masses are further defined by decorative brick detailing at top of the third floor. Two-story vertical wood panel siding masses attempt to break up the building and define the street corner at East Avenue and 5th Street. The stairwell at the southwest corner of the property along 5th Street is a 4-story vertical element comprised of windows that grounds the building to the project site. The 5th Street façade is broken up into two- and three-story masses defined by changes in exterior materials. The vertical wood board siding and rectangular Stonewood panels provide visual relief to the building walls. Two 4-story brick columns along 5th Street further define the façade.</p> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.96.060.F3 Architectural</p> <p>There shall be continuity of materials, colors and signing within the project.</p> <p>Staff Comments</p> <p>The same materials and colors are proposed to be used on all four facades of the two buildings. The consistent use of the same materials across all elevations ties the horizontal and vertical patterns arranged in one-, two-, three-, and four-story elements into one cohesive project design.</p> | |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | <p>17.96.060.F4 Architectural</p> <p>Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.</p> <p>Staff Comments</p> <p>The project does not propose any fences or accessory structures.</p> <p>Landscaping is indicated on Sheets PDR L1.01, L1.02, and L1.04. Landscape features soften the mass of building and provide visual relief to the vertical wall planes. Sheet PDR L1.01 shows 4 street trees along East Avenue and 7 street trees along 5th Street. The trees soften the mass of the building and enhance the streetscape to create a walkable environment. At-grade planters along East Avenue and 5th</p> | |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|-----------------------------------|--|
| | | | | Street define the building entrances. Sheet PDR L1.02 shows landscaped roofs provided at the wall setbacks along 5 th Street, the south interior façade, and the east rear façade. Sheet PDR L1.04 shows the landscaped screening provided at the roof deck, which includes 6 trees and perennial beds. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F5 Architectural | Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness. |
| | | | Staff Comments | The Bluebird Village project building characterized by modern design elements with simple building forms clad with traditional materials. The two buildings are broken up into distinct one-, two-, and three- story building masses that area distinguished by exterior material variation, fenestration, and wall setbacks. The ground-floor street frontage is defined through brick façade broken up by large storefront windows and glass doors. The East Avenue façade is broken up into two brick, three-story masses. These masses are further defined by decorative brick detailing at top of the third floor. Two-story vertical wood panel siding masses break up the building and define the street corner at East Avenue and 5 th Street. The stairwell at the southwest corner of the property along 5 th Street is a 4-story vertical element comprised of windows that grounds the building to the project site. The 5 th Street façade is broken up into two- and three-story masses defined by changes in exterior materials. The vertical wood board siding and rectangular Stonewood panels provide visual relief to the building walls. Two 4-story brick columns along 5 th Street further define the façade. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F6 Architectural | Building(s) shall orient towards their primary street frontage. |
| | | | Staff Comments | The two buildings orient toward their primary street frontages along 5 th Street and East Avenue. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F7 Architectural | Garbage storage areas and satellite receivers shall be screened from public view and located off alleys. |
| | | | Staff Comments | The garbage storage area is proposed to be located within Building A and will be accessed from the alley. The applicant shall submit written confirmation of Clear Creek Disposal’s approval of the proposed garbage disposal configuration at final Design Review. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.F8 Architectural | Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties. |
| | | | Staff Comments | The building design includes weather protection that prevents water from dripping or snow from sliding onto areas where pedestrians gather and circulate and onto adjacent properties. The recession |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|--|---|
| | | | | created by the wall setbacks at the building entrances will provide weather protection. The flat roof design will include internal drains providing weather protection to prevent water from dripping or snow from sliding onto circulation areas. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G1 Circulation Design | Pedestrian, equestrian and bicycle access shall be located to connect with existing and anticipated easements and pathways. |
| | | | Staff Comments | This standard has been met by the proposed sidewalk improvements. The sidewalks will connect to the existing sidewalks downtown. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G2 | Awnings extending over public sidewalks shall extend five (5') feet or more across the public sidewalk but shall not extend within two (2') feet of parking or travel lanes within the right of way. |
| | | | Circulation Design | Canopy elements at the building entrances along East Avenue overhang past the property line. These overhangs will final review and approval from the City Engineer as well as a Right-of-Way Encroachment Agreement. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G3 Circulation Design | Traffic shall flow safely within the project and onto adjacent streets. Traffic includes vehicle, bicycle, pedestrian and equestrian use. Consideration shall be given to adequate sight distances and proper signage. |
| | | | Staff Comments | Vehicle access to the project's off-street parking is provided from the Block 45 alleyway. This circulation configuration complies with the Ketchum Traffic Authority's recommendation that no curb cuts be permitted if there is alley access available to serve the development. No curb cuts are proposed along 5 th Street or East Avenue, which enhances safety as driveways intersecting sidewalks may increase congestion and create safety hazards for pedestrians and bicyclists. Prior to issuance of a Building Permit for the project, the City Engineer and Streets Department shall review the civil drawings to ensure adequate sight distances and proper signage for the proposed driveway access. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.G4 Circulation Design | Curb cuts and driveway entrances shall be no closer than twenty (20') feet to the nearest intersection of two or more streets, as measured along the property line adjacent to the right of way. Due to site conditions or current/projected traffic levels or speed, the City Engineer may increase the minimum distance requirements. |
| | | | Staff Comments | N/A as no curb cuts or driveway entrances are proposed along 5 th Street or East Avenue. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.G5 Circulation Design | Unobstructed access shall be provided for emergency vehicles, snowplows, garbage trucks and similar service vehicles to all necessary locations within the proposed project. |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|----------------------------------|--|
| | | | Staff Comments | Unobstructed access for emergency vehicles, snowplows, and garbage trucks is provided from the Block 45 alley, 5 th Street, and East Avenue. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.H1 Snow Storage | Snow storage areas shall not be less than thirty percent (30%) of the improved parking and pedestrian circulation areas. |
| | | | Staff Comments | The architectural site plan on Sheet PDR A1.01 notes: <i>No viable on-site snow storage areas. Snow management to be accomplished by snowmelt and hauling snow off-site.</i> The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.H2 Snow Storage | Snow storage areas shall be provided on-site. |
| | | | Staff Comments | The applicant proposes to snowmelt or haul snow off-site, which is permitted as an alternative to providing a snow storage area by KMC §17.96.060.H4. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.060.H3 Snow Storage | A designated snow storage area shall not have any dimension less than five (5') feet and shall be a minimum of twenty-five (25) square feet. |
| | | | Staff Comments | The applicant has proposed snowmelt and snow hauling in lieu of providing any snow storage areas on site. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.H4 Snow Storage | In lieu of providing snow storage areas, snow melt and hauling of snow may be allowed. |
| | | | Staff Comments | The architectural site plan on Sheet PDR A1.01 notes: <i>No viable on-site snow storage areas. Snow management to be accomplished by snowmelt and hauling snow off-site.</i> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I1 Landscaping | Landscaping is required for all projects. |
| | | | Staff Comments | Landscaping is indicated on Sheets PDR L1.01, L1.02, and L1.04. Landscape features soften the mass of building and provide visual relief to the vertical wall planes. Sheet PDR L1.01 shows 4 street trees along East Avenue and 7 street trees along 5 th Street. The trees soften the mass of the building and enhance the streetscape to create a walkable environment. At-grade planters along East Avenue and 5 th Street define the building entrances. Sheet PDR L1.02 shows landscaped roofs provided at the wall setbacks along 5 th Street, the south interior façade, and the east rear façade. Sheet PDR L1.04 shows the landscaped screening provided at the roof deck, which includes 6 trees and perennial beds. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I2 Landscaping | Landscape materials and vegetation types specified shall be readily adaptable to a site's microclimate, soil conditions, orientation and |

| | | | | |
|-------------------------------------|--------------------------|--------------------------|--------------------------------------|--|
| | | | | aspect, and shall serve to enhance and complement the neighborhood and townscape. |
| | | | Staff Comments | The proposed landscaping is complementary to the buildings and surrounding downtown area. The landscape plan has been prepared by a professional landscape architect and is understood to meet requirements for microclimate, soil conditions, orientation and aspect. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I3 Landscaping | All trees, shrubs, grasses and perennials shall be drought tolerant. Native species are recommended but not required. |
| | | | Staff Comments | All trees, shrubs, grasses, and perennials shall be drought tolerant. Native plants are recommended. The landscape plan indicates that all vegetation will be drip irrigated. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.I4 Landscaping | Landscaping shall provide a substantial buffer between land uses, including, but not limited to, structures, streets and parking lots. The development of landscaped public courtyards, including trees and shrubs where appropriate, shall be encouraged. |
| | | | Staff Comments | The subject property is surrounded by compatible uses within the Community Core Zone. Landscape features soften the mass of building and provide visual relief to the vertical wall planes. Sheet PDR L1.01 shows 4 street trees along East Avenue and 7 street trees along 5 th Street. The trees soften the mass of the building and enhance the streetscape to create a walkable environment. At-grade planters along East Avenue and 5 th Street define the building entrances. Sheet PDR L1.02 shows landscaped roofs provided at the wall setbacks along 5 th Street, the south interior façade, and the east rear façade. Sheet PDR L1.04 shows the landscaped screening provided at the roof deck, which includes 6 trees and perennial beds. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.060.J1 Public Amenities | Where sidewalks are required, pedestrian amenities shall be installed. Amenities may include, but are not limited to, benches and other seating, kiosks, bus shelters, trash receptacles, restrooms, fountains, art, etc. All public amenities shall receive approval from the Public Works Department prior to design review approval from the Commission. |
| | | | Staff Comments | The applicant has provided bicycle racks at the southwest corner of the site along 5 th Street. Staff recommends the applicant add additional pedestrian amenities, like benches, to enhance the streetscape. |

Community Core Design Review Standards Evaluation

| IMPROVEMENTS AND STANDARDS: 17.96.070 - Community Core (CC) Projects | | | | |
|--|----|-----|--------------------------------|---|
| Yes | No | N/A | Ketchum Municipal Code Section | City Standards and Staff Comments |
| ☒ | ☐ | ☐ | 17.96.070A(1) | <p>Street trees, street lights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.</p> |
| | | | Staff Comments | <p>The project's street improvements are indicated on Sheets PDR C1.02 and PDR L1.01. Street improvements include new 8-foot-wide concrete sidewalks along 5th Street and East Avenue, street trees, and streetlights.</p> <p>Final civil drawings for all associated right-of-way and street improvements shall be submitted with the building permit application to be verified, reviewed, and approved by the City Engineer and Streets Department.</p> |
| ☒ | ☐ | ☐ | 17.96.070(A)(2) Streets | <p>Street trees with a minimum caliper size of three (3") inches, shall be placed in tree grates.</p> |
| | | | Staff Comments | <p>Specifications for the proposed street trees are included on Sheet PDR L1.01 of the project plans. The notes indicate that trees will be a minimum caliper size of 3 inches and will be placed tree wells.</p> <p>Streetscape improvements must be indicated on civil plans with the Building Permit application for final review and approval by the City Engineer and Streets Department.</p> |
| ☒ | ☐ | ☐ | 17.96.070(A)(3) | <p>Due to site constraints, the requirements if this subsection 17.96.070(A) may be modified by the Public Works Department.</p> |
| | | | Staff Comments | <p>Modification to the requirements of KMC §17. 96.070(A) may be recommended by the City Engineer and Streets Department following review of the civil drawings submitted with the building permit application. Preliminary plans submitted with Design Review are reviewed by the City Engineer and Streets Department in concept only. The final civil drawings including the streetscape, sidewalk, utilities, and drainage plans shall be reviewed and approved by the City Engineer and Streets Department prior to issuance of a building permit for the project.</p> |
| ☒ | ☐ | ☐ | 17.96.070(B)(1) | <p>Facades facing a street or alley or located more than five (5') feet from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front façade.</p> |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------|---|
| | | | Staff Comments | <p>The Bluebird Village project building characterized by modern design elements with simple building forms. The two buildings are broken up into distinct one-, two-, and three- story building masses that area distinguished by exterior material variation, fenestration, and wall setbacks.</p> <p>The ground-floor street frontage is defined through brick façade broken up by large storefront windows and glass doors. The East Avenue façade is broken up into two brick, three-story masses. These masses are further defined by decorative brick detailing at top of the third floor. Two-story vertical wood panel siding masses break up the building and define the street corner at East Avenue and 5th Street. The stairwell at the southwest corner of the property along 5th Street is a 4-story vertical element comprised of windows that grounds the building to the project site. The 5th Street façade is broken up into two- and three-story masses defined by changes in exterior materials. The vertical wood board siding and rectangular Stonewood panels provide visual relief to the building walls. Two 4-story brick columns along 5th Street further define the façade. Special attention should be given to the façade along 5th Street east and west of the alley in relation to this design standard.</p> |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(B)(2) | For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways. |
| | | | Staff Comments | The ground-floor street frontage on East Avenue is defined through brick façade broken up by large storefront windows and glass doors. Revisions to the 5 th Street frontage should be considered. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(B)(3) | For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows. |
| | | | Staff Comments | The proposed design maximizes views into the retail units within the Bluebird Village building. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(B)(4) | Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited. |
| | | | Staff Comments | Flat roofs at varying height and canopy elements define the building. Special attention should be given to the design to reduce the perceived mass and scale of the buildings. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.070(B)(5) | All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts. |
| | | | Staff Comments | N/A as no pitched roofs are proposed for the project. |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|-----------------|--|
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(B)(6) | Roof overhangs shall not extend more than three (3') feet over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department. |
| | | | Staff Comments | Canopy elements at the building entrances along East Avenue overhang past the property line. These overhangs will final review and approval from the City Engineer as well as a Right-of-Way Encroachment Agreement. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.070(B)(7) | Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials. |
| | | | Staff Comments | No front porches or stoops are proposed with the Bluebird Village project. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(C)(1) | Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right of way and shall be screened from public views. |
| | | | Staff Comments | The garbage storage area is proposed to be located within Building A and will be accessed from the alley. The applicant shall submit written confirmation of Clear Creek Disposal's approval of the proposed garbage disposal configuration at final Design Review. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(C)(2) | Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design. |
| | | | Staff Comments | All utilities, including transformers, within the development site shall be underground and concealed from public view. As indicated on Sheets C1.01. and C1.02, power boxes are located at the southwest corner of Lots 7 and 8 within an Idaho Power Easement (Instrument No. 613194). The applicant must indicate the required screening for the project's electrical infrastructure on the project plans. Screening must comply with Ketchum Municipal Code standards and Idaho Power Company's clearance requirements. The applicant shall submit written confirmation of Idaho Power's approval of the proposed location and screening of all electrical infrastructure prior to issuance of a building permit for the project. All roof and ground mounted mechanical, electrical, and plumbing equipment must be screened from public view. The project plans indicate screening for the roof-mounted air system equipment. The solar panels will be screened by the roof parapets. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(D)(1) | When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site. |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------|--|
| | | | Staff Comments | Sheet PDR L1.01 indicates 10 total trees will be removed from the project site to accommodate the new Bluebird Village buildings. The replacement trees include 10 street trees and 6 trees that border the roof deck. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(D)(2) | Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates. |
| | | | Staff Comments | Specifications for the proposed street trees are included on Sheet PDR L1.01 of the project plans. The notes indicate that trees will be a minimum caliper size of 3 inches and will be placed tree wells. Streetscape improvements must be indicated on civil plans with the Building Permit application for final review and approval by the City Engineer and Streets Department. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(D)(3) | The city arborist shall approve all parking lot and replacement trees. |
| | | | Staff Comments | No surface parking lots are proposed with the project. The City Arborist will review all replacement trees at final Design Review. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.070(E)(1) | Surface parking lots shall be accessed from off the alley and shall be fully screened from the street. |
| | | | Staff Comments | N/A. No surface parking lot is proposed with the project. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.070(E)(2) | Surface parking lots shall incorporate at least one (1) tree and one (1) additional tree per ten (10) onsite parking spaces. Trees shall be planted in landscaped planters, tree wells and/or diamond shaped planter boxes located between parking rows. Planter boxes shall be designed so as not to impair vision or site distance of the traveling public. |
| | | | Staff Comments | N/A. The project does not include a surface parking lot. On-site parking is accommodated within the two parking garages. 4 spaces are provided off of the Block 45 alley. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(E)(3) | Ground cover, low lying shrubs, and trees shall be planted within the planters and planter boxes. Tree grates or landscaping may be used in tree wells located within pedestrian walkways. |
| | | | Staff Comments | Landscaping is indicated on Sheets PDR L1.01, L1.02, and L1.04. Landscape features soften the mass of building and provide visual relief to the vertical wall planes. At-grade planters along East Avenue and 5 th Street define the building entrances. Sheet PDR L1.02 shows landscaped roofs provided at the wall setbacks along 5 th Street, the south interior façade, and the east rear façade. Sheet PDR L1.04 shows the landscaped screening provided at the roof deck, which includes perennial beds. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(F)(1) | One (1) bicycle rack, able to accommodate at least two (2) bicycles, shall be provided for every four (4) parking spaces as required by the |

| | | | | |
|-------------------------------------|--------------------------|-------------------------------------|------------------------|--|
| | | | | proposed use. At a minimum, one (1) bicycle rack shall be required per development. |
| | | | Staff Comments | 6 bike racks accommodating 2 bicycles each are provided at the southwest corner of the project site along 5 th Street. Bike storage is also provided within the garages of both buildings. Building A's bike storage area accommodates 18 bikes. Building B's bike storage area accommodates 92 bikes. |
| <input type="checkbox"/> | <input type="checkbox"/> | <input checked="" type="checkbox"/> | 17.96.070(F)(2) | When the calculation of the required number of bicycle racks called for in this section results in a fractional number, a fraction equal to or greater than one-half (1/2) shall be adjusted to the next highest whole number. |
| | | | Staff Comments | The fraction of the calculation is not equal to or greater than one-half. |
| <input checked="" type="checkbox"/> | <input type="checkbox"/> | <input type="checkbox"/> | 17.96.070(F)(3) | Bicycle racks shall be clearly visible from the building entrance they serve and not mounted less than fifty (50') feet from said entrance or as close as the nearest non-ADA parking space, whichever is closest. Bicycle racks shall be located to achieve unobstructed access from the public right-of-way and not in areas requiring access via stairways or other major obstacles. |
| | | | Staff Comments | 6 bike racks accommodating 2 bicycles each are provided at the southwest corner of the project site along 5 th Street. |

ATTACHMENT F STANDARDS FOR REVIEW

Compatibility of Design Criteria

KMC 17.96.060

E. Compatibility Of Design:

1. The project's materials, colors and signing shall be complementary with the townscape, surrounding neighborhoods and adjoining structures.
2. Preservation of significant landmarks shall be encouraged and protected, where applicable. A significant landmark is one which gives historical and/or cultural importance to the neighborhood and/or community.
3. Additions to existing buildings, built prior to 1940, shall be complementary in design and use similar material and finishes of the building being added to.

F. Architectural:

1. Building(s) shall provide unobstructed pedestrian access to the nearest sidewalk and the entryway shall be clearly defined.
2. The building character shall be clearly defined by use of architectural features.
3. There shall be continuity of materials, colors and signing within the project.
4. Accessory structures, fences, walls and landscape features within the project shall match or complement the principal building.
5. Building walls shall provide undulation/relief, thus reducing the appearance of bulk and flatness.
6. Building(s) shall orient toward their primary street frontage.
7. Garbage storage areas and satellite receivers shall be screened from public view and located off alleys.
8. Building design shall include weather protection which prevents water to drip or snow to slide on areas where pedestrians gather and circulate or onto adjacent properties.

17.96.070: COMMUNITY CORE (CC) PROJECTS:

In addition to the requirements of section 17.96.060 of this chapter, unless otherwise specified, the standards of this section apply to projects in the Community Core District. The purpose of this section is to ensure the addition of high quality architecture for new development, while maintaining the unique character of existing building stock found in the Community Core.

A. Streets:

1. Street trees, streetlights, street furnishings, and all other street improvements shall be installed or constructed as determined by the Public Works Department.
2. Street trees with a minimum caliper size of three inches (3"), shall be placed in tree grates.
3. Due to site constraints, the requirements of this subsection A may be modified by the Public Works Department.

B. Architectural:

1. Facades facing a street or alley or located more than five feet (5') from an interior side property line shall be designed with both solid surfaces and window openings to avoid the creation of blank walls and employ similar architectural elements, materials, and colors as the front facade.
2. For nonresidential portions of buildings, front building facades and facades fronting a pedestrian walkway shall be designed with ground floor storefront windows and doors with clear transparent glass. Landscaping planters shall be incorporated into facades fronting pedestrian walkways.

3. For nonresidential portions of buildings, front facades shall be designed to not obscure views into windows.

4. Roofing forms and materials shall be compatible with the overall style and character of the structure. Reflective materials are prohibited.

5. All pitched roofs shall be designed to sufficiently hold all snow with snow clips, gutters, and downspouts.

6. Roof overhangs shall not extend more than three feet (3') over a public sidewalk. Roof overhangs that extend over the public sidewalk shall be approved by the Public Works Department.

7. Front porches and stoops shall not be enclosed on the ground floor by permanent or temporary walls, windows, window screens, or plastic or fabric materials.

C. Service Areas And Mechanical/Electrical Equipment:

1. Trash disposal areas and shipping and receiving areas shall be located within parking garages or to the rear of buildings. Trash disposal areas shall not be located within the public right-of-way and shall be screened from public views.

2. Roof and ground mounted mechanical and electrical equipment shall be fully screened from public view. Screening shall be compatible with the overall building design.

D. Landscaping:

1. When a healthy and mature tree is removed from a site, it shall be replaced with a new tree. Replacement trees may occur on or off site.

2. Trees that are placed within a courtyard, plaza, or pedestrian walkway shall be placed within tree wells that are covered by tree grates.

3. The City arborist shall approve all parking lot and replacement trees.

ATTACHMENT G PUBLIC COMMENTS

Public Comments can be found at the following link to the City's website:

https://www.ketchumidaho.org/sites/default/files/fileattachments/planning_amp_building/project/43741/combined_public_comment_pre-noticing.pdf